
Heritage Advisory Committee

Date: March 10, 2020
Time: 9:30 AM
Location: Civic Centre, Council Chamber
300 City Centre Drive, Mississauga, Ontario, L5B 3C1

Members

Councillor George Carlson	Ward 11 (Chair)
Councillor Carolyn Parrish	Ward 5
David Cook	Citizen Member (Vice-Chair)
Alexander Hardy	Citizen Member
James Holmes	Citizen Member
Rick Meteljan	Citizen Member
Lisa Small	Citizen Member
Jamie Stevens	Citizen Member
Melissa Stolarz	Citizen Member
Terry Ward	Citizen Member
Matthew Wilkinson	Citizen Member

Contact

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NOTE: To support corporate waste reduction efforts the large appendices in this agenda can be viewed online.

Find it Online

<http://www.mississauga.ca/portal/cityhall/heritageadvisory>

1. CALL TO ORDER

2. APPROVAL OF AGENDA

3. DECLARATION OF CONFLICT OF INTEREST

4. MINUTES OF PREVIOUS MEETING

4.1 Heritage Advisory Committee Minutes - February 11, 2020

5. DEPUTATIONS - Nil

6. PUBLIC QUESTION PERIOD

Pursuant to Section 42 of the Council Procedure By-law 0139-2013, as amended:

Heritage Advisory Committee may grant permission to a member of the public to ask a question of Heritage Advisory Committee, with the following provisions:

1. The question must pertain to a specific item on the current agenda and the speaker will state which item the question is related to.
2. A person asking a question shall limit any background explanation to two (2) statements, followed by the question.
3. The total speaking time shall be five (5) minutes maximum, per speaker.

7. MATTERS TO BE CONSIDERED

7.1 Request to Alter a Heritage Designated Property: 2700 Lakeshore Road West (Ward 2)

7.2 Request to Demolish a Heritage Listed Property: 1365 Stavebank Road (Ward 1)

7.3 Request to Demolish a Heritage Listed Property: 10 Mississauga Road North (Ward 1)

7.4 Request to Alter a Heritage Designated Property: 271 Queen Street South (Ward 11)

7.5 Establishing the Port Credit Heritage Conservation District Subcommittee (Ward 1)

8. INFORMATION ITEMS

8.1 Alteration to a Designated and Listed Property: 4415 Mississauga Road (Ward 8)

9. OTHER BUSINESS

10. DATE OF NEXT MEETING - April 14, 2020

11. ADJOURNMENT

Heritage Advisory Committee

Date: February 11, 2020
Time: 9:31 AM
Location: Civic Centre, Council Chamber
 300 City Centre Drive, Mississauga, Ontario, L5B 3C1

Members Present	Councillor George Carlson Councillor Carolyn Parrish David Cook Alexander Hardy James Holmes Rick Mateljan Lisa Small Jamie Stevens Melissa Stolarz Terry Ward	Ward 11 (Chair) Ward 5 (departed at 10:45 am) Citizen Member (Vice-Chair) Citizen Member Citizen Member Citizen Member Citizen Member Citizen Member (departed at 10:04 am) Citizen Member (arrived at 9:42 am) Citizen Member
Members Absent	Michael Battaglia Matthew Wilkinson	Citizen Member Citizen Member

1. CALL TO ORDER – 9:31 am

2. APPROVAL OF AGENDA

Councillor Carlson noted the following additions to the agenda:

- Item 9.1 Letter from Jim Holmes on behalf of the Meadowvale Village Community Association in regards to Sanford Farm, 1200 Old Derry Road and
- Item 9.2 Resignation email dated February 4, 2020 from Michael Battaglia, Citizen Member.

Approved, as amended (Councillor C. Parrish)

3. DECLARATION OF CONFLICT OF INTEREST

Rick Mateljan, Citizen Member declared a conflict of interest during item 9.

4. MINUTES OF PREVIOUS MEETING

4.1. Heritage Advisory Committee Minutes – January 14, 2020

Approved (D. Cook)

5. DEPUTATIONS

Councillor Carlson advised the committee that item 5.1 was for information purposes only and noted that if the committee would like to discuss the previous decision regarding the intention to designate the 2 structures located at 1200 Old Derry Road then the committee would have to move into closed session.

M. Stolarz arrived at 9:42 am.

5.1 Randy Eadie, Owner and Ragavan Nithiyanantham, Golder Associates Ltd. with respect to a Heritage Listed Property: 1200 Old Derry Road (Ward 11)

Mr. Eadie and Mr. Ragavan provided a summary of the property that included the proposed development, property history, cultural heritage evaluation and conservation methods.

The committee engaged in discussion regarding the proposed conservation methods and expressed concerns with moving the Foreman's Residence. The committee also expressed concerns with the cultural heritage evaluation with respect to the findings that the Owner's and Foreman's Residence were not directly related to the Credit River Corridor.

The Committee came to the consensus that there should be further discussion regarding 1200 Old Derry Road. At this time the committee added closed session to the agenda following other business.

RECOMMENDATION HAC-0003-2020

That the deputation from Randy Eadie, Owner and Ragavan Nithiyanantham, Golder Associates Ltd. with respect a Heritage Listed Property: 1200 Old Derry Road (Ward 11) be received for information.

Received (R. Mateljan)

J. Stevens departed at 10:04 am.

6. PUBLIC QUESTION PERIOD

Greg Young, Resident expressed concerns with item 5.1 with respect to the cultural heritage evaluation of the Foreman's Residence.

7. MATTERS CONSIDERED

7.1 Heritage Planning 2019 Year in Review

No discussion took place regarding this item.

RECOMMENDATION HAC-0004-2020

That the Corporate Report dated January 9, 2020 from the Commissioner of Community Services, entitled "Heritage Planning 2019 Year in Review" be received for information.

Received (D. Cook)

8. INFORMATION ITEMS

8.1 Peel Heritage Committees Meeting Working Group

John Dunlop, Supervisor, Heritage Planning requested the participation of Heritage Advisory Committee members on the Peel Heritage Committees Meeting Working Group. David Cook, Terry Ward, Lisa Small and Alexander Hardy, Citizen Members volunteered to participate on the working group along with Councillor Carlson.

RECOMMENDATION HAC-0005-2020

That the Memorandum dated January 14, 2020 from Paul Damaso, Director, Culture Division, entitled "Peel Heritage Committees Meeting Working Group" be received for information.

Received (D. Cook)

8.2 Alteration to a Property adjacent to Listed Property: 5150 Ninth Line (Ward 10)

Councillor Parrish noted that the property was worthy of designation and directed staff to investigate the feasibility of designating the property.

RECOMMENDATION HAC-0006-2020

That the Memorandum dated January 15, 2020 from Paul Damaso, Director, Culture Division, entitled "Alteration to a Property adjacent to Listed Property: 5150 North Line (Ward 10)" be received and that the feasibility of designation under the Ontario Heritage Act be directed to staff for investigation.

Approved (Councillor C. Parrish)

9. OTHER BUSINESS

Councillor Parrish requested an update on the LPAT case involving the Piatto Property. Rick Mateljan, Citizen Member declared a conflict of interest with respect to the property discussed and left the meeting room at 10:19 am. John Dunlop, Supervisor, Heritage Planning advised that staff would coordinate with Legal Services and report back at the next meeting.

Councillor Parrish requested an update on Harding Waterfront Estates with respect to replacing the tent on the property with a glass pavilion. Mr. Dunlop advised that the tenants would need to submit a heritage application to move forward.

Councillor Parrish advised the committee that the property owners of Trinity United Church located at 7113 Airport Road would like their property designated. Mr. Dunlop advised Councillor Parrish to have the property owners contact him to begin the process.

R. Mateljan returned at 10:23 am.

9.1. Letter from Jim Holmes on behalf of the Meadowvale Village Community Association in regards to Sanford Farm, 1200 Old Derry Road

No discussion took place regarding this item.

RECOMMENDATION HAC-0007-2020

That the letter from Jim Holmes on behalf of the Meadowvale Village Community Association in regards to Sanford Farm, 1200 Old Derry Road be received for information.

Received (J. Holmes)

9.2. Resignation email dated February 4, 2020 from Michael Battaglia, Citizen Member

Councillor Carlson noted that Mr. Battaglia had served on the committee for over 2 terms of Council and thanked Mr. Battaglia for his contribution to the committee.

RECOMMENDATION HAC-0008-2020

That the resignation email dated February 4, 2020 from Michael Battaglia, Citizen Member be received for information.

Received (J. Holmes)

10. CLOSED SESSION
(Pursuant to Subsection 239 (2) of the Municipal Act, 2001)

Due to the discussion in item 5.1, the committee decided to go in closed session to further discuss 1200 Old Derry Road.

Whereas the *Municipal Act, 2001*, as amended, requires Council to pass a motion prior to closing part of a meeting to the public;

And whereas the Act requires that the motion states the act of the holding of the closed meeting and the general nature of the matter to be considered at the closed meeting;

Now therefore be it resolved that a portion of the Heritage Advisory Committee meeting to be held on February 11, 2020 shall be closed to the public to deal with the following matter:

(Pursuant to Subsection 239 (2) of the Municipal Act, 2001)

10.1. Litigation or potential litigation, including matters before administrative tribunals, affecting the municipality or local board - Heritage Listed Property: 1200 Old Derry Road, Ward 11 (Verbal)

This motion was voted on and carried at 10:25 am.

Item#7 Litigation or potential litigation, including matters before administrative tribunals, affecting the municipality or local board - Heritage Listed Property: 1200 Old Derry Road, Ward 11 (Verbal)

Lia Magi, Legal Counsel spoke to the subject matter. Members of the Committee asked questions related to the matter.

Councillor Parrish departed at 10:45 am.

The Committee moved out of closed session at 11:01 am.

As a result of the closed session, the following recommendation was voted on during public session:

RECOMMENDATION HAC-0009-2020

That the closed verbal discussion regarding Heritage Listed Property: 1200 Old Derry Road, Ward 11, be received.

Received (J. Holmes)

11. DATE OF NEXT MEETING - March 10, 2020
12. ADJOURNMENT – 11:02 am (D. Cook)

City of Mississauga Corporate Report



Date: 2020/02/20

To: Chair and Members of Heritage Advisory Committee

From: Paul Mitcham, P. Eng, MBA, Commissioner of
Community Services

Originator's files:

Meeting date:
2020/03/10

Subject

Request to Alter a Heritage Designated Property: 2700 Lakeshore Road West (Ward 2)

Recommendation

That the City approve the temporary alteration to the designated property at 2700 Lakeshore Road West, known as Harding Estate, as a temporary measure with a defined duration for its use, as per the Corporate Report from the Commissioner of Community Services dated February 20, 2020.

Report Highlights

- The property operator, with permission from the property owner (the City of Mississauga), has submitted an application to replace the temporary tent structure with a new style of temporary tent.
- The current tent is at the end of its life span and can no longer be used. It was intended as a temporary solution events space to determine the feasibility of using the property as an events venue.
- The proposed tent is larger than the existing tent, and would have a frame erected year-round, although it would not be permanently in place and could be reversed.
- Staff concur with the submitted heritage impact assessment amendment that the proposed tent only be used on a temporary basis as it is not sympathetic to the heritage attributes of the property.

Background

Charles Powell Bell commissioned the current estate in the early twentieth century. Unfortunately, in 1938, the year of its completion, Bell died prematurely. His widowed wife Kathleen Harding remarried millionaire financier and philanthropist James Arthur Gairdner. The

couple moved back into the subject estate after World War II. Stories relayed by their descendants paint an idealistic image of privileged country life in this home.

The City of Mississauga took ownership of the estate and property in 1999, and created a program of restoration and adaptive reuse in 2012 to begin operating the property as an events venue. The property, in its entirety, was designated under Part IV of the Ontario Heritage Act in 2009. Section 33 of the Act requires permission from Council in order to make alterations to property designated under Part IV of the Act.

The proposed alteration includes replacing the temporary seasonal event tent with a temporary solar system tent structure.

Comments

The proposed alteration is brought forward by Pegasus Waterfront Corporation (the property operator), who has a lease and operation agreement with the City of Mississauga. The property is owned by the City and the terms of the agreement are that any alterations are to be proposed by Pegasus Waterfront Corporation.

The current temporary tent structure came as a recommendation from the 2012 adaptive re-use program and the heritage impact assessment submitted in support of the program. The use of the property as an events venue necessitated a larger event space than could be provided in either the Coach House or the Estate House without either structure undergoing significant alteration. It was further determined that the event space should be temporary, until the feasibility of a more permanent space in the property could be determined.

The temporary tent structure requires replacement and the applicant seeks to replace the approved tent structure with a different temporary 'solar system tent structure'. The applicant has submitted an amendment to the 2012 heritage impact assessment (Appendix 1), which notes that the proposed tent would consist of an aluminum frame which would remain year-round, and which would be enclosed by glass panels for seasonal use throughout the spring, summer and fall.

The proposed tent is larger than the existing temporary tent structure however it was selected as its mass, height and transparency would minimize its impact to the adjacent heritage structures (Appendix 2).

The heritage impact assessment amendment notes that the proposed tent should only be considered as a temporary solution. The heritage impact assessment amendment also notes that the existing tent requires replacement and a new tent is required by the beginning of April to accommodate the upcoming events season.

Staff note that the heritage impact assessment amendment notes that the proposed tent is not an ideal solution, and only suggests its use as temporary alteration as it is a reversible alteration to the property. The recommended conservation strategy included in the amendment provides

guidance towards a permanent structure for the events space within the property, which concurs with the original recommendations from the 2012 heritage impact assessment.

Staff concur that this proposed alteration should only be approved as a temporary measure, as it is neither contextually nor architecturally sympathetic to the heritage property.

Financial Impact

There is no financial impact resulting from the recommendation in this report.

Conclusion

The applicant has applied for a heritage permit to replace the temporary tent structure at Harding Estates. The proposed tent structure is not sympathetic to the heritage attributes of the property. Staff recommends that the alteration be approved provided;

- The proposed tent be used as a temporary measure with a defined duration for its use; and
- The City of Mississauga, in cooperation with the property operator, determine the feasibility of constructing a permanent events structure to service the ongoing use of the property.

Attachments

Appendix 1: Appendix 1: Heritage Impact Assessment Amendment

Appendix 2: Appendix 2: Drawings



Paul Mitcham, P. Eng, MBA, Commissioner of Community Services

Prepared by: John Dunlop, Supervisor, Heritage Planning

Amendment to
“Bell Gairdner Heritage Impact Statement”
by ATA Architects Inc. and Dated January 2012

Amendment Prepared by
Paul Dilse, Heritage Planning Consultant

on February 18, 2020

Background and Purpose of Amendment

Known as the Bell Gairdner Estate when Alex Temporale of ATA Architects Inc. wrote the heritage impact statement in 2012 and renamed the Harding Waterfront Estate in 2016, the property contains a wedding banquet hall and conference facility set in a public park. It is located on the Lake Ontario shoreline where Joshua Creek empties. Standing at the foot of Winston Churchill Boulevard and on the border with the Town of Oakville, the property whose municipal address is 2700 Lakeshore Road West holds a commanding position along the Mississauga waterfront.

Two permanent buildings define the site – the house erected in 1937 for Charles Powell Bell, his wife Kathleen Harding and their daughter Daphne and a complementary garage or coach house. Set back from Lakeshore Road West and sited on axis with its central driveway, the house has both a street front and a lake front. The garage, whose large footprint corresponds with the great size of the house, is sited perpendicularly to the house at an ample distance eastward from the house.

Within the last decade, the City has rehabilitated the buildings for contemporary use and improved the grounds. The City conferred heritage designation on the property in 2009, naming it after Charles Bell and Kathleen Harding’s second husband, James Arthur Gairdner. ATA Architects Inc. designed the program of work for which building permits were issued in 2012. The object was to reestablish the buildings’ original character, which had suffered from insensitive alterations and vandalism, as much as possible for their new use as an events facility.

In his heritage impact statement, Alex Temporale recommended adding a 200-person temporary seasonal event tent between the house and garage (coach house) rather than erecting additions to either existing building. His rationale for accommodating additional floor area needed for the wedding and conference facility in a tent was given on page 52 of the assessment report:

“In lieu of constructing an addition to either building, which in case of a conference/banquet facility would be a significant increase in size to either the Coach House or Main House, a multi-faced temporary season tent is proposed. The tent consists of a series of modules which breaks the outdoor venue into a scale appropriate to the two main structures. The location between the two buildings is the optimum location. It links the public area between the two buildings. It retains the courtyard space between the two buildings as the primary gathering space and maintains the façades of the two heritage structures as both visual foci and the backdrop that enhances the experience of the visitors. In addition, the lake view from the tent provides a complementary distant vista. The tent location provides excellent access to the Main House’s rear terrace and the House itself. Support facilities such as the catering kitchen, the Bride’s Room, and a cocktail reception space are within the Main House. Washrooms and storage are allocated to the Coach House. There are no physical changes resulting from this approach other than the filling in of an existing doorway on the south side of the Coach House.”

He continued on page 70:

“The proposed tent structure will be kept between the Main House and Coach House and scaled down into two segments to reduce its mass. It will be separated from both the Main House and Coach House, with no physical connection to either building, so views of the building[s] will not be affected. The sides of the tent will be raised to allow visibility into the site during good weather or when the tent is not in use.

“Under the requirements of Conservation Halton, the location of the new tent structure was restricted as our new structure cannot be built past the top of the ridge line above Joshua Creek. The conditions beyond the ridge are not conducive to construction [so] this was not an issue. A few of the positive attributes about the tent’s location are:

- It is functional, as the tent can use the service provided by the two buildings.
- It has a public presence that allows the guests to be among the buildings so that they may experience them and the views of the property.
- Its proximity to the parking.
- Its location near the Main House and Coach House allows for easier security monitoring of the facilities.

“The current location is the best position at this time but it is not necessarily the permanent location. A better location may arise as the park is developed or future phases of restoration and development of the house and grounds occurs.

“Overall this has little visual impact to the property due to the distance the tent will be set back from Lakeshore Road and its nature of seasonal use. The tent will only be used during the spring and summer so events may be held outside. During the fall and winter the decorative framework that acts as the structure will remain. The alternative approach would be to build an entirely new structure or add to one of the existing buildings to house approximately 200

guests. A temporary tent has much less of a visual and physical impact on the site than a solid, permanent structure would.”

He included a site plan showing a large, six-sided tent sited between the house and garage, resting just behind the top of bank (see Figure 1 in Appendix A to the amendment). Elevations or renderings of the proposed tent were not provided.

Instead of the six-sided modular tent he proposed, a commercially available tent with conical peaks akin to a circus tent was installed in his recommended location. Serving for a number of seasons and having performed its function rather poorly (with water infiltration a problem), it is unusable for the 2020 season. This year’s season begins in April when weddings are already booked.

Pegasus Waterfront Corporation, which entered into agreement with the City in 2019 to operate the facility, has attempted to get approval for a new and better-functioning seasonal tent. Discussions with the City have not been conclusive. Pegasus is proposing a short-term solution – a factory-made, easy-to-assemble tent structure in about the same location as Alex Temporale’s proposed six-sided modular tent (Fig. 2 and 3).

Proposed Structure and Its Impact on the Property’s Heritage Attributes

The proposed “solar system tent structure” is a 3,500-square-foot rectangle placed diagonally between the house and garage, 50 feet across and 70 feet in depth (Fig. 4 and 5). It would rest on the existing concrete pad. Its lightweight frame made of box beam aluminum would form a year-round shell. During spring, summer and fall, the shell would be enclosed by clear or opaque glass panels for the walls and white vinyl panels for the gable roof. The structure’s front-facing gable and rear-facing gable would permit a very tall unimpeded ceiling inside but appear to shelter a single storey on the exterior. The structure would stand ten-feet tall up to the top of the cross beam and another seven feet and eight inches to the roof peak. Figure 6 is a conceptual photographic image showing the proposed tent structure as it would stand between the house and garage.

The proposed structure respects Alex Temporale’s recommended modular structure in its siting and its removable enclosure. Its cross beam and gable roof echo the garage’s front-facing gable. Facing north toward Lakeshore Road West, it reads as a one-storey structure against the house’s apparent two storeys and the garage’s two-storey central block. The extensive use of glass in the proposed structure lightens its visual effect against the solid appearance of the house’s brick elevations and the garage’s mostly wood elevations. In these ways, the proposed structure is satisfactory for the short term: The proposed structure is a reversible intervention.

Ultimately, however, an architecturally elegant solution to accommodate the facility's 200-person capacity will be required.

Recommended Conservation Strategy

It is recommended that the proposed tent structure be accepted as a short-term measure to open the 2020 season and to operate for a maximum duration of ten years. In the intervening years, the design of a preferred long-lasting replacement structure should be incorporated as a component in master planning for the public park.

In designing the preferred long-lasting structure to accommodate 200 guests, the following questions can be posed:

- Is the structure's siting between the house and garage the best place in the park for the structure's use and for its impact on the property's heritage attributes?
- What general shape best harmonizes with the house and garage? Is the six-sided structure proposed in 2012 or the rectangular shape proposed in 2020 better?
- How can the impression of mass be reduced in the structure? Can the structure's street and lake fronts be articulated, for example in wings which are still found on the garage or through low sun rooms such as were once attached to the house? Can gable, flat and shed roofs be combined to break up the structure's profile?
- What early twentieth century materials found on the house and garage originally – brick, wood, Credit Valley stone, metal grillwork, slate – can be mirrored in the twenty-first century structure? How much glazing is appropriate?
- What features in the buildings or on the site today or in the past can be interpreted in the structure's contemporary architecture? How does the study of the early twentieth century design of country estates inform an understanding of the role of the structure in the park?

Summary Statement

The Harding Waterfront Estate is a protected heritage property.

In 2012, a 200-person-capacity seasonal event tent was recommended for placement between the property's house and garage (coach house). Instead of the recommended modular tent structure, a commercially available big-top circus tent was installed. Serving for a number of

seasons and having performed its function rather poorly, it is unusable for the 2020 season. This year's season begins in April when weddings are already booked. A factory-made, easy-to-assemble "solar system tent structure" is proposed to replace the circus tent.

In terms of the proposed structure's impact on the property's heritage attributes, it is satisfactory for the short term. It would be a reversible intervention. It is recommended that the proposed tent structure be accepted as a short-term measure to open the 2020 season and to operate for a maximum duration of ten years. In the intervening years, the design of a preferred long-lasting replacement structure should be incorporated as a component in master planning for the public park.

Fig. 1 Proposed site plan reproduced from Alex Temporale's 2012 heritage impact statement

PROPOSED PAVILION STATS:

STRUCTURE AREA = +/- 325.16 M (3,500.00 SF)
STRUCTURE HEIGHT = +/- 5.69 M (17' - 8")
STRUCTURE SETBACK = MIN 3M TO EXISTING BUILDINGS.
TOP OF BANK SETBACK = 7.5 M

PROPERTY DETAILS

Address: 2700 LAKESHORE RD W
Legal Description: CON 4 SDS PT LT 35 - PTS 5 - 7 43R22402
Roll Number: 21-05-020-025-06000-0000
Common Name: HARDING WATERFRONT ESTATE P-389
Property Code: MUNICIPAL PARK

Ward: 2
Councillor: KAREN RAS
Area: 177380.01 SM
Depth: M
Frontage: M
Status: Registered

Site Plan Control

This property is subject to Site Plan Control By-law regulations.
Properties subject to the regulations of the Site Plan Control By-law require that the owner receive site plan approval from the Development and Design Division for any new development on-site or addition. This requirement is necessary prior to the issuance of a building permit. To read more about the Site Plan Approval process please [click here](#).

Zoning Information

The zone(s) for this property are listed below. Please [click here](#) to access our online zoning by-law.

By-law In Force

Zone	Master Bylaw	Enacting Bylaw	OMB Case / File No.	Status
OS2-11	0225-2007	BL-0396/09	PL081164 / PL100096	BOARD ORDER
G1	0225-2007	BL-0396/09	PL081164 / PL100096	BOARD ORDER
G2	0225-2007	BL-0396/09	PL081164 / PL100096	BOARD ORDER
D	0225-2007	BL-0396/09	PL081164 / PL100096	BOARD ORDER
E2-108	0225-2007	BL-0396/09	PL081164 / PL100096	BOARD ORDER
G1-14	0225-2007	BL-0179/18	N/A	IN FORCE

Heritage Status

Status: DESIGNATED UNDER THE TERMS OF THE ONTARIO HERITAGE ACT
Conservation District: 101-2009
Bylaw: 2009-04-08

Inventory Item

INV #	Property Name	Constructed	Decade	Demolished	Year Demolished
175	HOLCIM ESTATE	1938	1930	N	

Committee of Adjustment Applications

1 Application(s) found Page: 1 of 1

Address/Description	App Number	App Date	Status
2700 LAKESHORE RD W	A-51/99	1999-01-05	TEMP APPROVAL

The applicants request the Committee to authorize a minor variance to permit the utilization of the existing building for a business office; whereas By-law 5500, as amended, does not make any provisions for such a use in an PB1 zone.

Additional Permitted Uses

10.2.2.14.1	(1) Temporary Tent and/or Stage
	(2) Shade Structure

E2-15

LAKESHORE ROAD WEST

G1-14

G1

Greenlands Overlay

Zoning Notation Example:
R4-12 = R4-Exception 12

Zoning Map 04

Schedule "B" To
By-law No. 0225-2007
Revised: 2016 December 31

arch-tech design group inc.

30 INVERMACAD DRIVE, UNIT 3 BRAMPTON ONTARIO L6Y 5K1
T: 905-877-2221 F: 905-899-4245 W: ARCH-TECH.CA

KEY PLAN

5	ISSUED FOR CITY REVIEW	20-02-14
3	ISSUED FOR FEASIBILITY REPORT	19-12-12
2	ISSUED FOR REVIEW	19-12-06
1	ISSUED FOR REVIEW	19-12-04

NO.

DESCRIPTION

DATE

5 ISSUED FOR CITY REVIEW | 20-02-14 || 3 | ISSUED FOR FEASIBILITY REPORT | 19-12-12 |
| 2 | ISSUED FOR REVIEW | 19-12-06 |
| 1 | ISSUED FOR REVIEW | 19-12-04 |

ALL DRAWINGS ARE THE PROPERTY OF THE DESIGNER AND THEY ARE NOT TO BE REPRODUCED IN WHOLE OR IN PART WITHOUT WRITTEN CONSENT FROM THE DESIGNER. CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS BEFORE COMMENCING WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. DO NOT SCALE DRAWINGS. ALL CONSTRUCTION TO BE ACCORDING TO BEST COMMON PRACTICE AND CONFORM TO THE ONTARIO BUILDING CODE.

NORTH

STAMP

CLIENT

PEGASUS HOSPITALITY GROUP
2700 LAKESHORE RD W, MISSISSAUGA, ON L5J 0B4

PROJECT

SOLAR SYSTEM TENT STRUCTURE
2700 LAKESHORE RD W,
MISSISSAUGA, ON L5J 0B4

DRAWING

OVERALL SITE PLAN

DRAWN: KP

PROJECT NO: 19-518

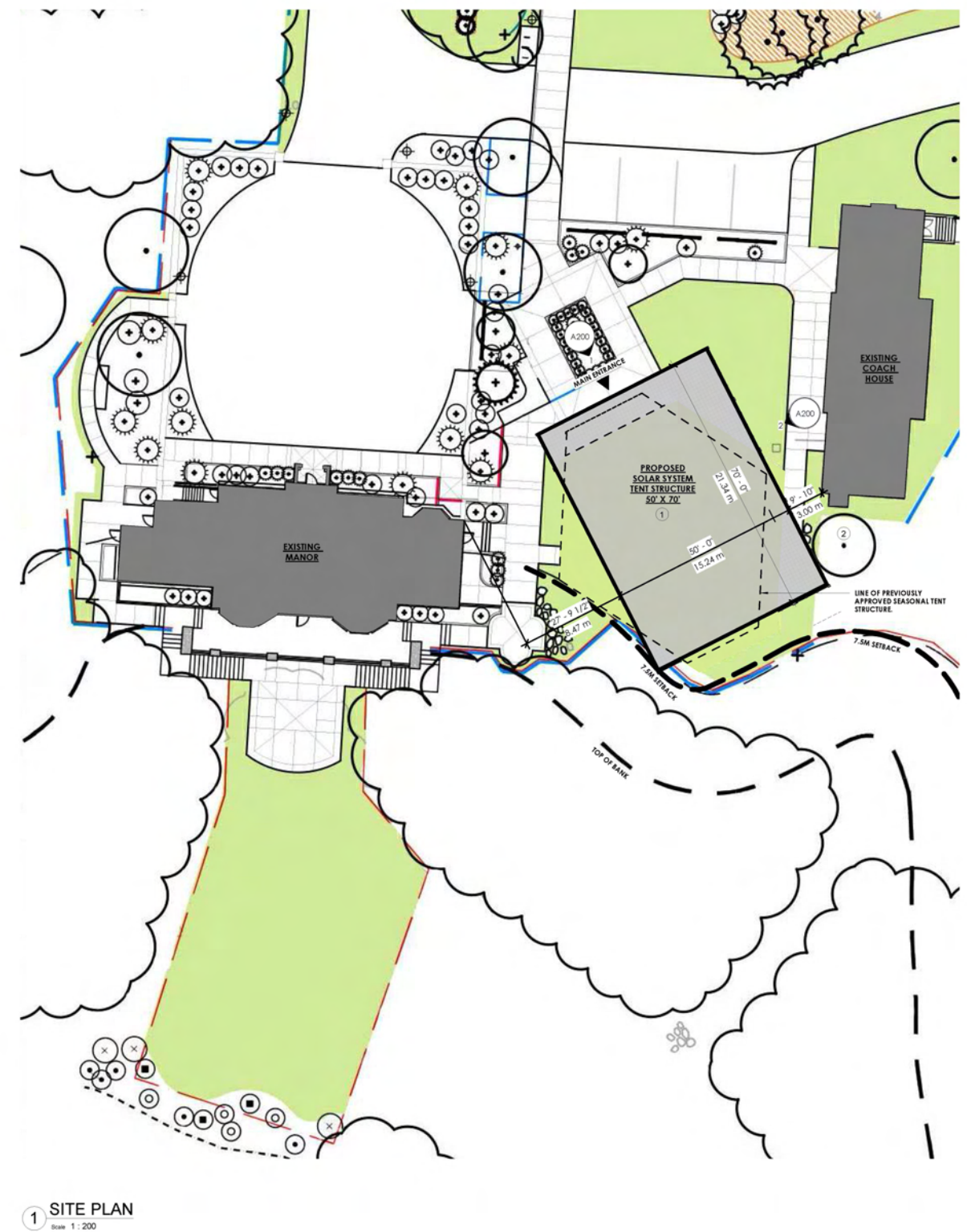
SCALE: 1:500

SHEET: A100

CHECKED: JAMP

Fig. 2 Proposed overall site plan prepared by Arch-tech Design Group Inc. for Pegasus Hospitality Group, 14 Feb. 2020.

7



GENERAL NOTES:

- 1. **50'X70' SOLAR SYSTEM TENT STRUCTURE** - BOX BEAM ALUMINUM FRAME CONSTRUCTION WITH WHITE ROOF PANELS, FRAME WOULD REMAIN ALL YEAR. TENT TOP AND WALLS ARE REMOVED DURING WINTER SEASON.
 - COMPRISED OF 15' AND 10' GLASS PANELS
 - BACK SIDE WALL TOWARDS CONSERVATION- VINYL WALL 50'
- RAISED FLOOR** - LEVELED DECK FOR TENTED AREA - CONSTRUCTION IS PRESSURE TREATED WOOD, PLYWOOD TOP SURFACE FINISH, VINYL LAMINATE FLOORING INSTALLED ON TOP - RAISED 12" ABOVE GRADE AT EXISTING CONCRETE PAD ELEVATION AND LEVELED TO THAT HEIGHT (CAN BE REMOVED AT END OF TERM AND KEEPS EVERYTHING ELSE INTACT). FLOORING WOULD BE COVERED DURING THE WINTER SEASON WITH TARP.
- 2. EXISTING TREE TO BE RELOCATED IF REQUIRED. CURRENT SHRUBS TO BE REPLANTED, POTENTIAL FOR TREE TO BE MOVED AND REPLANTED/REPLACED.
- 3.

Table 3.7.4.3.E
Water Closets for Assembly Occupancies
Forming Part of Sentences 3.7.4.3.(5) and 3.14.1.8.(1)

Number of Persons of Each Sex	Minimum Number of Water Closets for Each Sex
1 to 50	2
51 to 70	3
71 to 90	4
91 to 110	5
111 to 140	6
141 to 180	7
181 to 220	8
221 to 260	9
over 260	10 plus 1 for each additional increment of 40 persons of each sex in excess of 260
Column 1	2

FOR WASHROOM FACILITIES SPECIFIC A TENT AS PER TABLE 3.7.4.3.E - THE MAXIMUM OCCUPANT LOAD FOR THE TENT WILL BE 220 PERSONS WITH THE FOLLOWING CONFIGURATION.

- A. THE EXISTING COACH HOUSE CURRENTLY HAS 3 MALE AND 3 FEMALE WASHROOMS.
- B. THE EXISTING MAIN HOUSE HAS 3 UNDEFINED OR UNISEX PUBLIC WASHROOMS (1 PER FLOOR) (1 OF WHICH WILL BE CONSIDERED A UNIVERSAL WASHROOM WHICH WILL COUNT AS TWO WASHROOMS.)
- C. THE MAIN HOUSE ALSO HAS TWO SMALLER WASHROOMS IN BASEMENT THAT WE ASSUME ARE FOR STAFF.

THEREFORE WE HAVE A TOTAL OF 5 PUBLIC WASHROOMS FOR EACH SEX. THIS ALLOWS A TOTAL OCCUPANT LOAD FOR THE TENT OF 220 PERSONS. ADDING TWO ADDITIONAL PORTABLE WASHROOMS WILL GIVE YOU AN OCCUPANT LOAD OF 280 PERSONS.

- 4. COOKING EQUIPMENT IN THE KITCHEN LOCATED IN THE BASEMENT OF THE EXISTING MAIN HOUSE. THE TENT IS 8.47M (27'9.5") FROM THE MAIN HOUSE (REFER TO DRAWING A101).



5	ISSUED FOR CITY REVIEW	20-02-14
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2	ISSUED FOR REVIEW	19-12-06
1	ISSUED FOR REVIEW	19-12-04
NO.	DESCRIPTION	DATE
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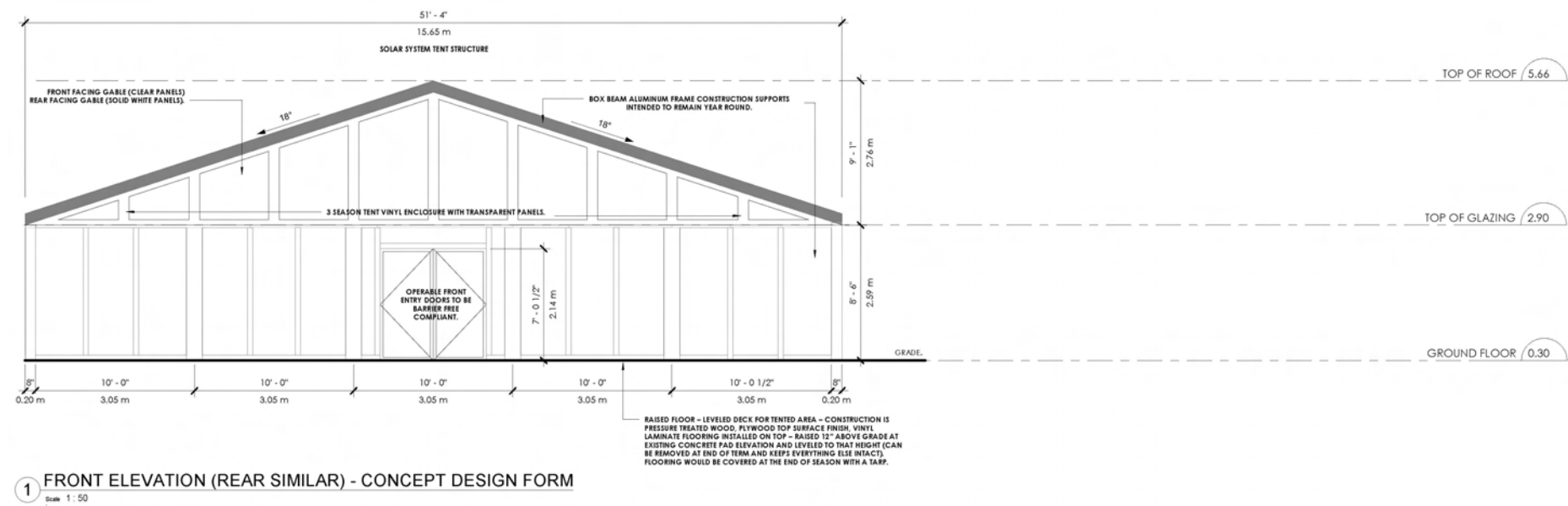
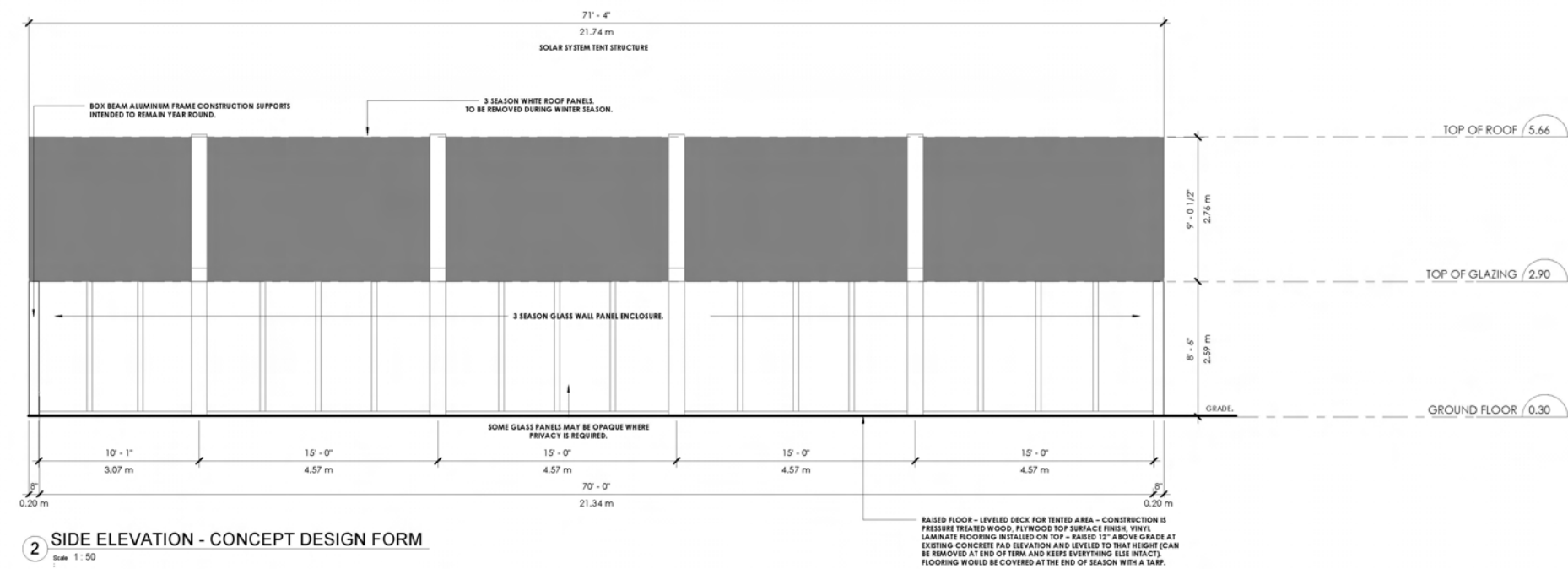
CLIENT: PEGASUS HOSPITALITY GROUP
2700 LAKESHORE RD W, MISSISSAUGA, ON L5J 0B4

PROJECT: SOLAR SYSTEM TENT STRUCTURE
2700 LAKESHORE RD W, MISSISSAUGA, ON L5J 0B4

DRAWING: SITE PLAN

DRAWN: KP PROJECT NO: 19-518
SCALE: AS SHOWN SHEET: A101
CHECKED: MAP

Fig. 3 Site plan detail, 14 Feb. 2020.



5	ISSUED FOR CITY REVIEW	20-02-14
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1	ISSUED FOR REVIEW	19-12-04

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NORTH

CLIENT
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PROJECT
SOLAR SYSTEM TENT STRUCTURE
2700 LAKESHORE RD W,
MISSISSAUGA, ON L5J 0B4

DRAWING
BUILDING EXTERIOR
ELEVATIONS

DRAWN: KP PROJECT NO: 19-518
SCALE: 1:50 SHEET: A200
CHECKED: JAMP

Fig. 4 Elevations of proposed solar system tent structure, 14 Feb. 2020.

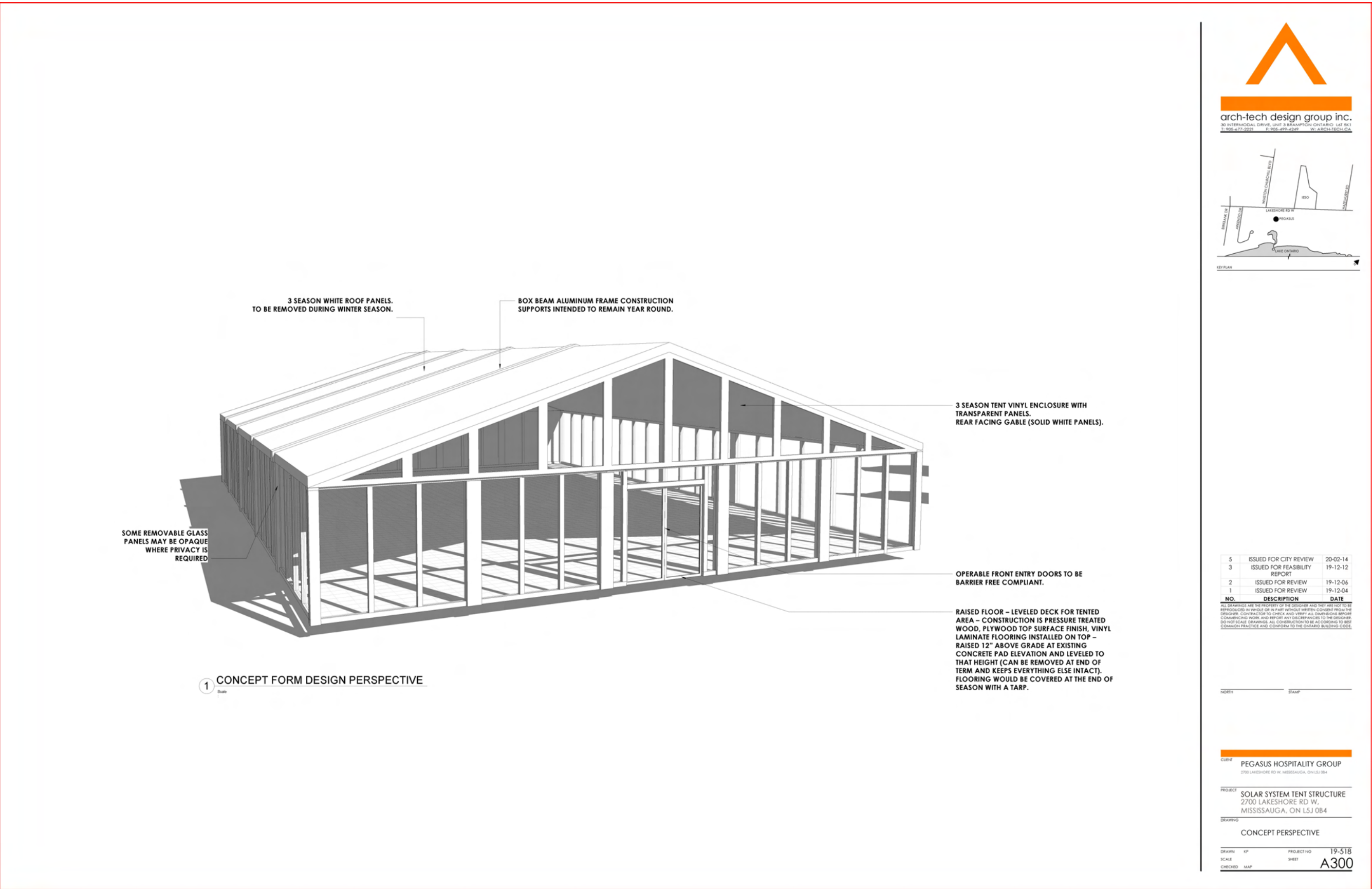


Fig. 5 Conceptual perspective of proposed solar system tent structure, 14 Feb. 2020.





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KEY PLAN

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NORTH		
STAMP		
CLIENT		
PEGASUS HOSPITALITY GROUP 2700 LAKESHORE RD W, MISSISSAUGA, ON L5J 0B4		
PROJECT		
SOLAR SYSTEM TENT STRUCTURE 2700 LAKESHORE RD W, MISSISSAUGA, ON L5J 0B4		
DRAWING		
STREETSCAPE PERSPECTIVE		
DRAWN: KP	PROJECT NO:	19-518
SCALE: 1:1	SHEET:	A400
CHECKED: MAP		

Fig.6 Conceptual photographic image

Appendix B: Author's Qualifications

Paul Dilse has specialized in heritage planning and historical study since his graduation from the professional planning school at the University of Waterloo in 1979.

He has written official plan policies on heritage conservation for the former Municipality of Metropolitan Toronto and for the City of Cambridge (his related official plan background study, in which he delineated the boundaries of prospective heritage conservation districts, remained a reference document there for three decades). He has surveyed the entire rural and exurban municipality of the Town of Caledon to compile a comprehensive inventory of built heritage resources located on 1,643 properties. He has assessed the cultural heritage value of two French Canadian Roman Catholic churches in rural Essex County as well as the cultural heritage landscape of the David Dunlap Observatory in Richmond Hill, and successfully defended their designation under the *Ontario Heritage Act* at Conservation Review Board hearings. He has also provided expert witness testimony at the Ontario Municipal Board and its successor the Local Planning Appeal Tribunal, successfully defending the designation of the first heritage conservation district in the Town of Markham, contributing to the positive outcome in favour of retaining a complex of rare garden apartments in the Leaside neighbourhood of Toronto, and ensuring the designation of the second heritage conservation district in the Town of Whitby.

He has produced heritage conservation district plans for the Thornhill-Markham heritage conservation district, Old Port Credit Village in Mississauga, the MacGregor/Albert neighbourhood in Waterloo, Lower Main Street South in Newmarket and Werden's Plan neighbourhood in Whitby. Another study of his – pertaining to the George Street and Area neighbourhood in Cobourg – has supported its designation as a heritage conservation district. He is also the author of a report on the feasibility of establishing heritage conservation districts in downtown Brampton. His knowledge of heritage conservation districts spans 35 years – from the time when he reviewed heritage conservation district plans for the provincial government in the early 1980s to the post-2005 era when amendments to the *Ontario Heritage Act* clarified and strengthened Part V of the Act. As well, he has prepared conservation-based design guidelines for the historic commercial centres of Alliston, Beeton, Tottenham and Picton.

Since 2004 when municipalities in Central and Southwestern Ontario started requesting heritage impact assessments from him, he has completed 59 such reports – 14 for subjects in Mississauga. In addition to the heritage impact assessments, he has described and evaluated many other historic properties, for instance, Delta Collegiate Institute in Hamilton. Its 2014 designation under the *Ontario Heritage Act* was the first in Hamilton in five years.

He has written text for commemorative plaques, including several for the Ontario Heritage Trust, and has planned an extensive program to interpret the history of the Freeport

Sanatorium at the Grand River Hospital in Kitchener. His major work in 2011, a history of the Legislative Building in Queen's Park and a statement on its cultural heritage value, forms part of an historic structure report commissioned by the Legislative Assembly of Ontario. In 2016, he prepared a strategic conservation plan for the Hamilton GO Centre Station, formerly, the Toronto, Hamilton & Buffalo Railway Station. Its historic significance is recognized in the station property's designation under the *Ontario Heritage Act* by the City of Hamilton, a rating as a Provincial Heritage Property of Provincial Significance and designation under the *Heritage Railway Stations Protection Act* by the Historic Sites and Monuments Board of Canada. In 2017, his report in support of the designation of Belfountain Conservation Area under the *Ontario Heritage Act* was adopted by the Town of Caledon.

Paul Dilse is qualified as a planner and historian by the Canadian Association of Heritage Professionals, of which he is a founding member.

PROPOSED PAVILION STATS:

STRUCTURE AREA = +/- 325.16 M (3,500.00 SF)
STRUCTURE HEIGHT = +/- 5.69 M (17' - 8")
STRUCTURE SETBACK = MIN 3M TO EXISTING BUILDINGS.
TOP OF BANK SETBACK = 7.5 M

PROPERTY DETAILS

[View Another Property.](#)

Address: 2700 LAKESHORE RD W Ward: 2
Legal Description: CON 4 SDS PT LT 35 - PTS 5 - 7 43R22402 Councillor: KAREN RAS
Roll Number: 21-05-020-025-06000-0000 Area: 177380.01 SM
Common Name: HARDING WATERFRONT ESTATE P-389 Depth: M
Property Code: MUNICIPAL PARK Frontage: M
Status: Registered

Site Plan Control

This property is subject to Site Plan Control By-law regulations.

Properties subject to the regulations of the Site Plan Control By-law require that the owner receive site plan approval from the Development and Design Division for any new development on-site or addition. This requirement is necessary prior to the issuance of a building permit. To read more about the Site Plan Approval process please [click here](#).

Zoning Information

The zone(s) for this property are listed below. Please [click here](#) to access our online zoning by-law.

By-law In Force

Zone	Master Bylaw	Enacting Bylaw	OMB Case / File No.	Status
OS2-11	0225-2007	BL-0396/09	PL081164 / PL100096	BOARD ORDER
G1	0225-2007	BL-0396/09	PL081164 / PL100096	BOARD ORDER
G2	0225-2007	BL-0396/09	PL081164 / PL100096	BOARD ORDER
D	0225-2007	BL-0396/09	PL081164 / PL100096	BOARD ORDER
E2-108	0225-2007	BL-0396/09	PL081164 / PL100096	BOARD ORDER
G1-14	0225-2007	BL-0179/18	N/A	IN FORCE

Heritage Status

Status: DESIGNATED UNDER THE TERMS OF THE ONTARIO HERITAGE ACT
Conservation District:
Bylaw: 101-2009
Bylaw Date: 2009-04-08

Inventory Item

INV #	Property Name	Constructed	Decade	Demolished	Year Demolished
175	HOLCIM ESTATE	1938	1930	N	

Committee of Adjustment Applications

1 Application(s) found Page: 1 of 1

Address/Description	App Number	App Date	Status
2700 LAKESHORE RD W	A-51/99	1999-01-05	TEMP APPROVAL

The applicants request the Committee to authorize a minor variance to permit the utilization of the existing building for a business office; whereas By-law 5500, as amended, does not make any provisions for such a use in an PB1 zone.

Additional Permitted Uses

10.2.2.14.1	(1)	Temporary Tent and/or Stage
	(2)	Shade Structure



Greenlands Overlay

Zoning Notation Example:

R4-12 = R4-Exception 12

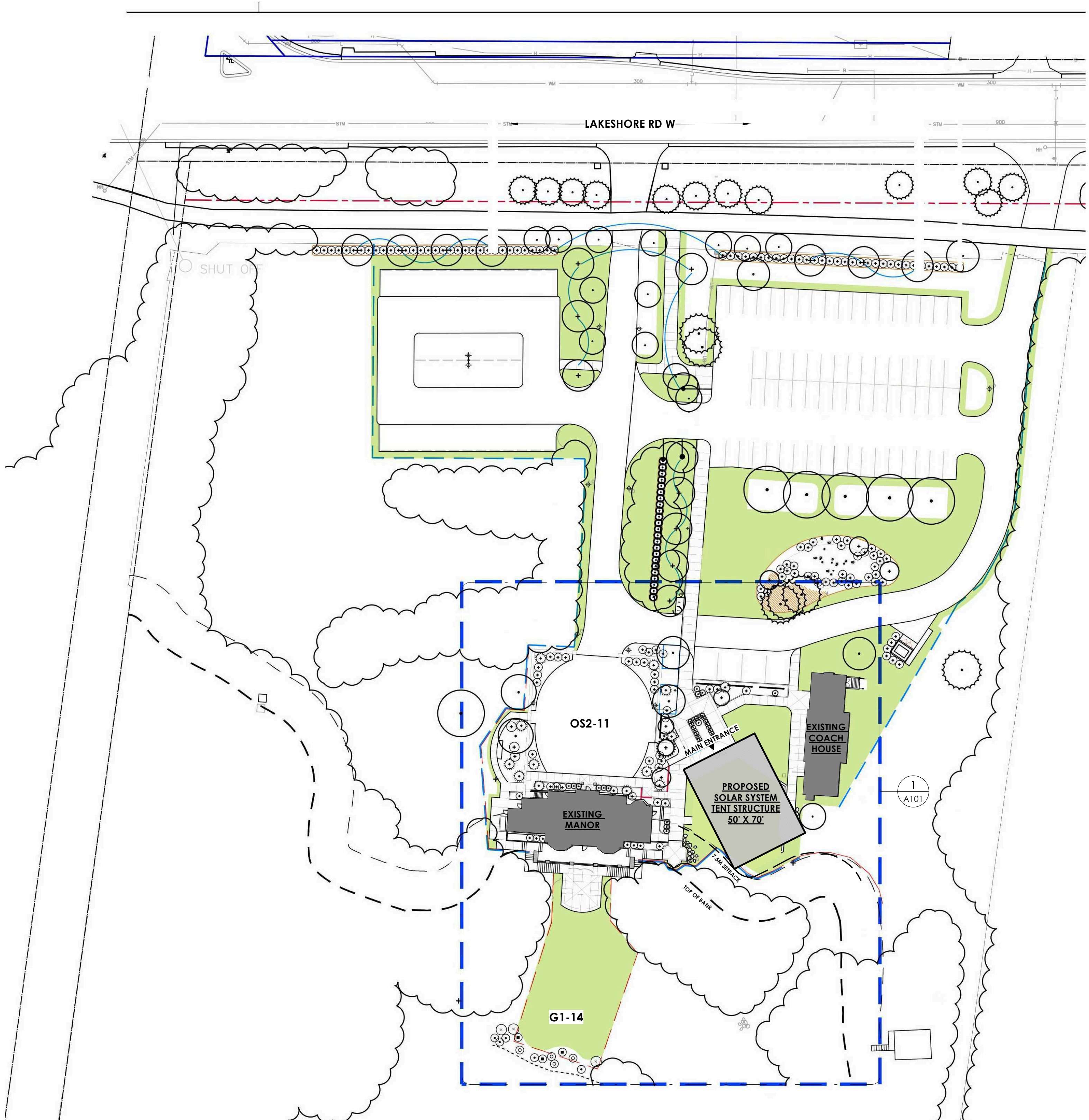
Zoning Map 04

Schedule "B" To
By-law No. 0225-2007

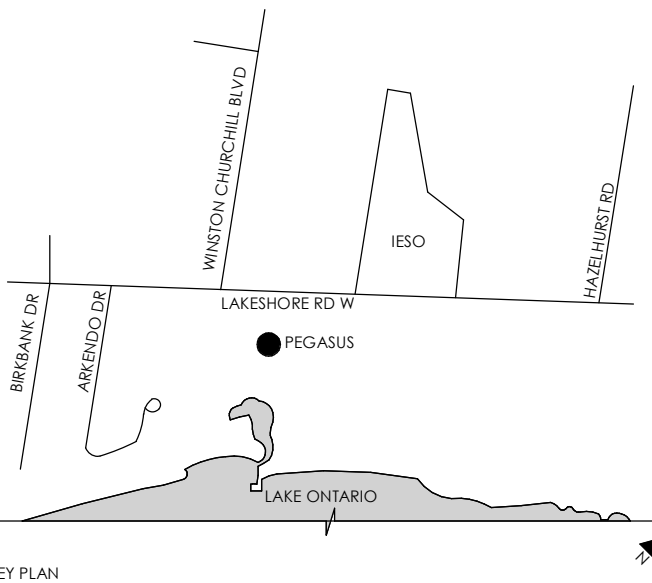
Revised: 2016 December 31

1 OVERALL SITE PLAN

Scale 1 : 500

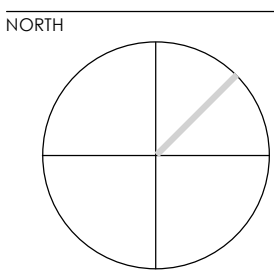


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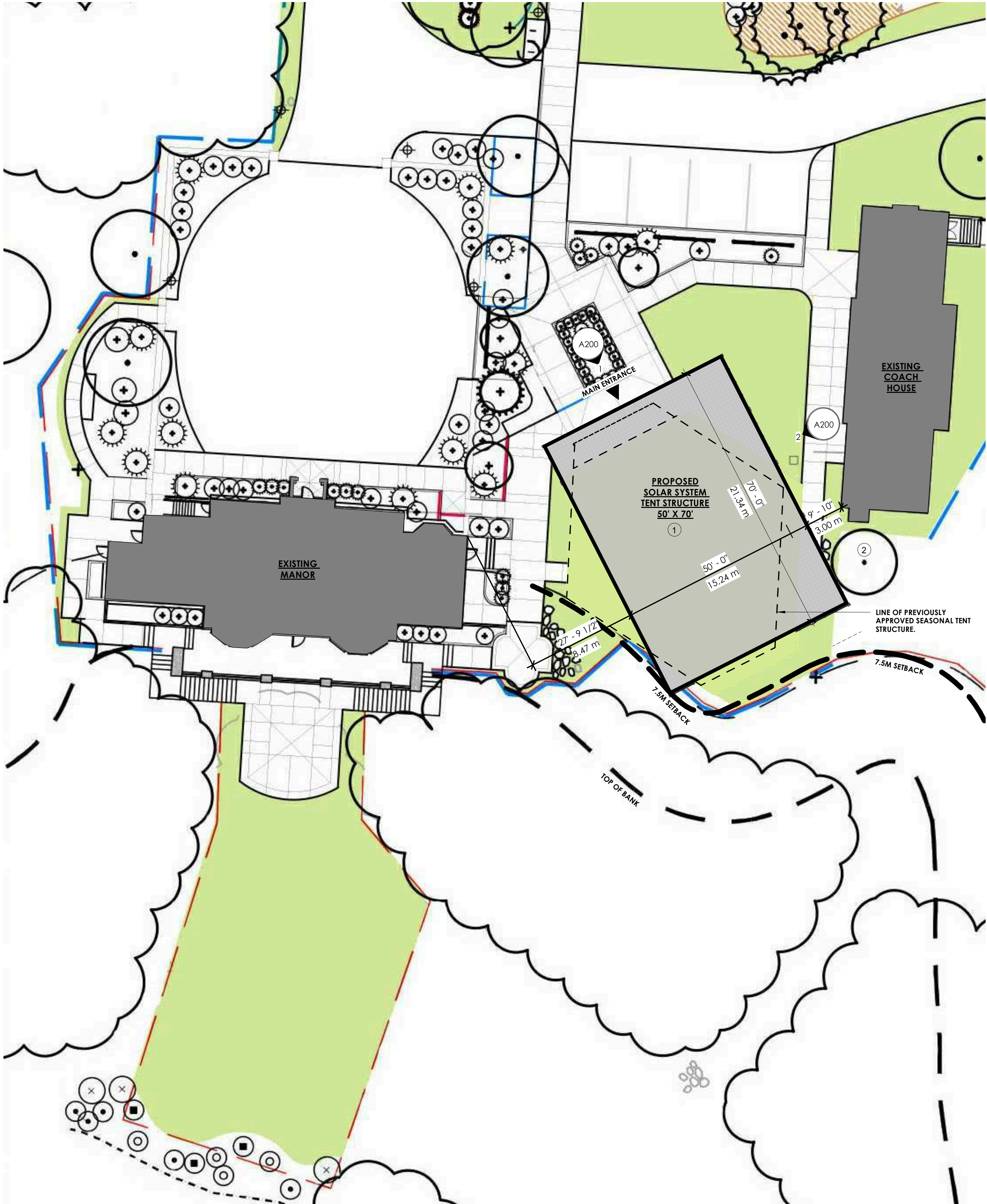


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PROJECT SOLAR SYSTEM TENT STRUCTURE
2700 LAKESHORE RD W,
MISSISSAUGA, ON L5J 0B4

DRAWING OVERALL SITE PLAN

DRAWN KP PROJECT NO 19-518
SCALE 1 : 500 SHEET A100
CHECKED MAP

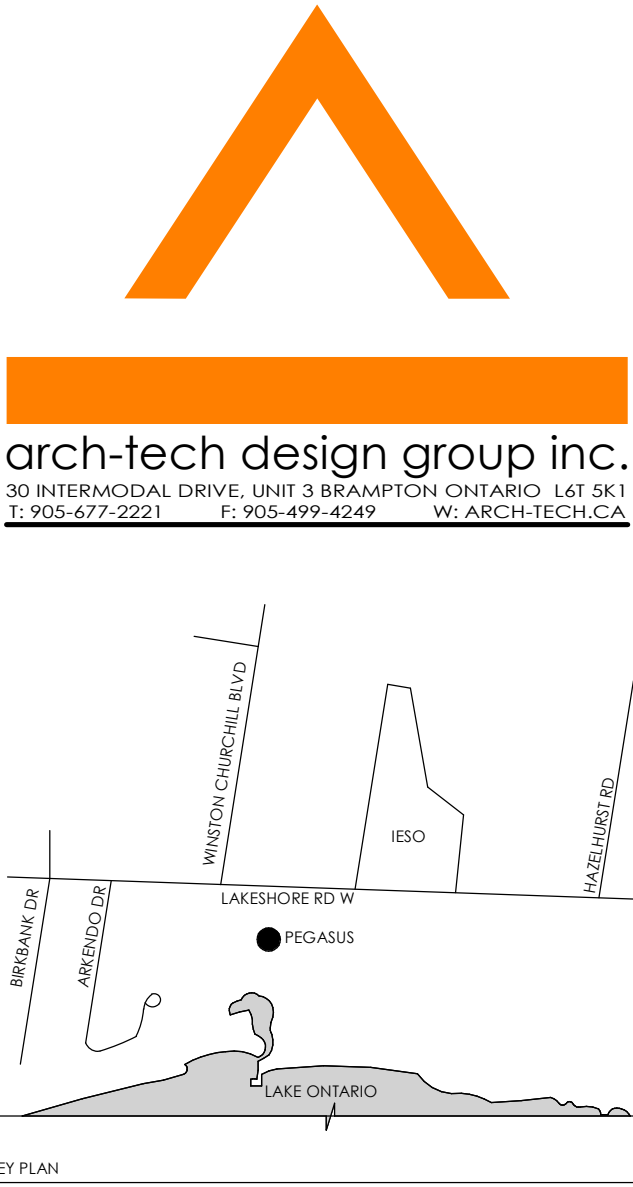


1 SITE PLAN
Scale 1 : 200

GENERAL NOTES:

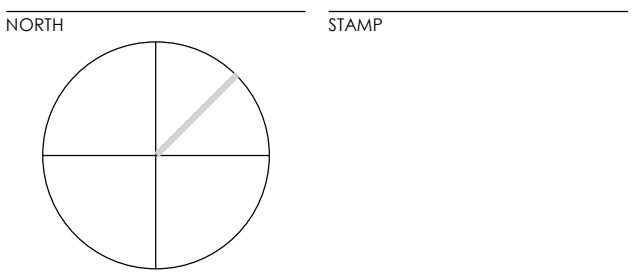
- 50'X70' SOLAR SYSTEM TENT STRUCTURE** - BOX BEAM ALUMINUM FRAME CONSTRUCTION WITH WHITE ROOF PANELS. FRAME WOULD REMAIN ALL YEAR. TENT TOP AND WALLS ARE REMOVED DURING WINTER SEASON.
 - COMPRISED OF 15' AND 10' GLASS PANELS
 - BACK SIDE WALL TOWARDS CONSERVATION- VINYL WALL 50'

RAISED FLOOR – LEVELED DECK FOR TENTED AREA – CONSTRUCTION IS PRESSURE TREATED WOOD, PLYWOOD TOP SURFACE FINISH. VINYL LAMINATE FLOORING INSTALLED ON TOP – RAISED 12" ABOVE GRADE AT EXISTING CONCRETE PAD ELEVATION AND LEVELED TO THAT HEIGHT (CAN BE REMOVED AT END OF TERM AND KEEPS EVERYTHING ELSE INTACT). FLOORING WOULD BE COVERED DURING THE WINTER SEASON WITH TARP.
- EXISTING TREE TO BE RELOCATED IF REQUIRED.
CURRENT SHRUBS TO BE REPLANTED, POTENTIAL FOR TREE TO BE MOVED AND REPLANTED/REPLACED.



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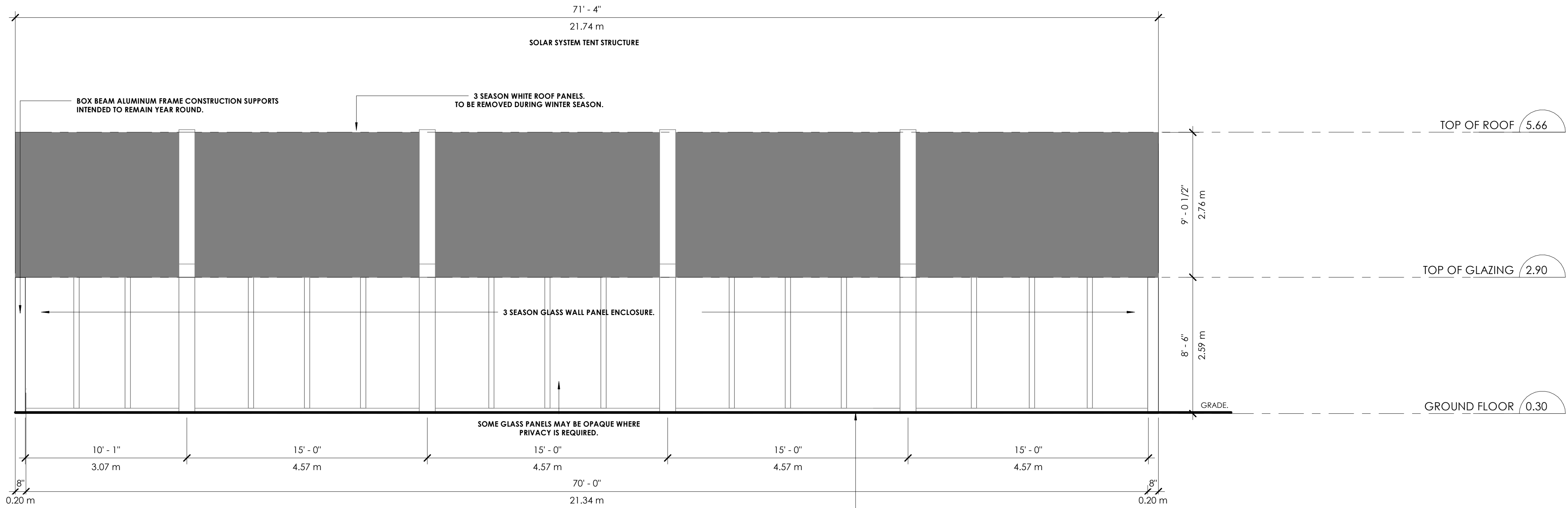


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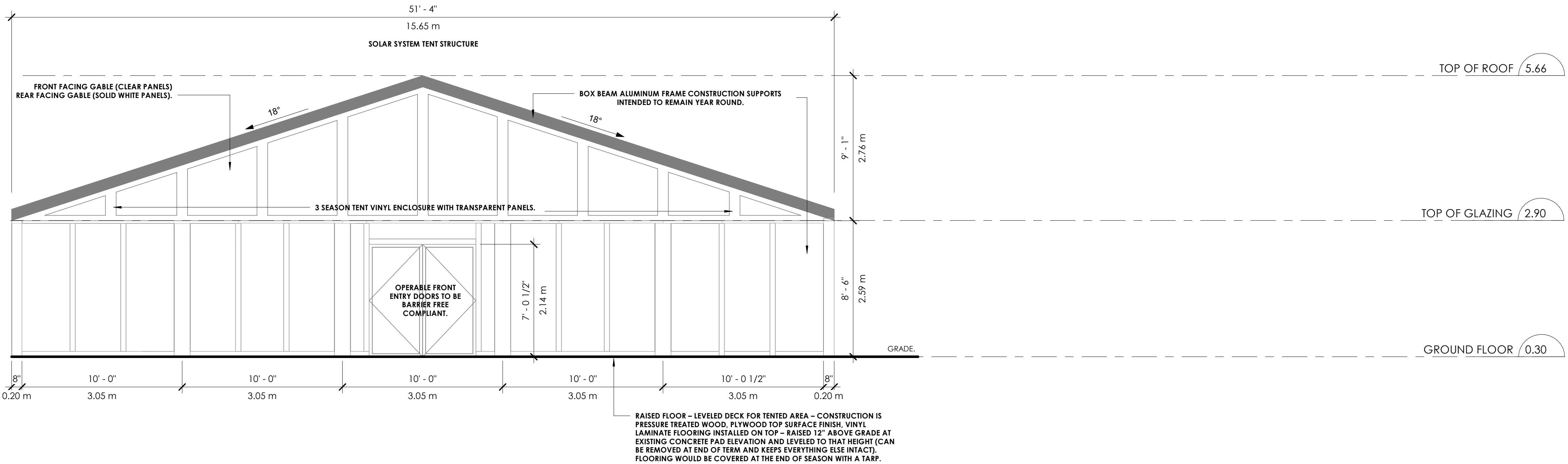
PROJECT SOLAR SYSTEM TENT STRUCTURE
2700 LAKESHORE RD W,
MISSISSAUGA, ON L5J 0B4

DRAWING SITE PLAN

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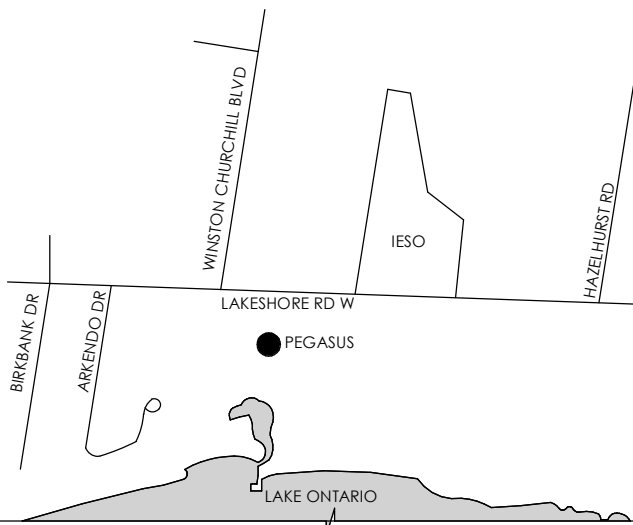
2 SIDE ELEVATION - CONCEPT DESIGN FORM
Scale 1 : 50



1 FRONT ELEVATION (REAR SIMILAR) - CONCEPT DESIGN FORM
Scale 1 : 50



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NORTH STAMP

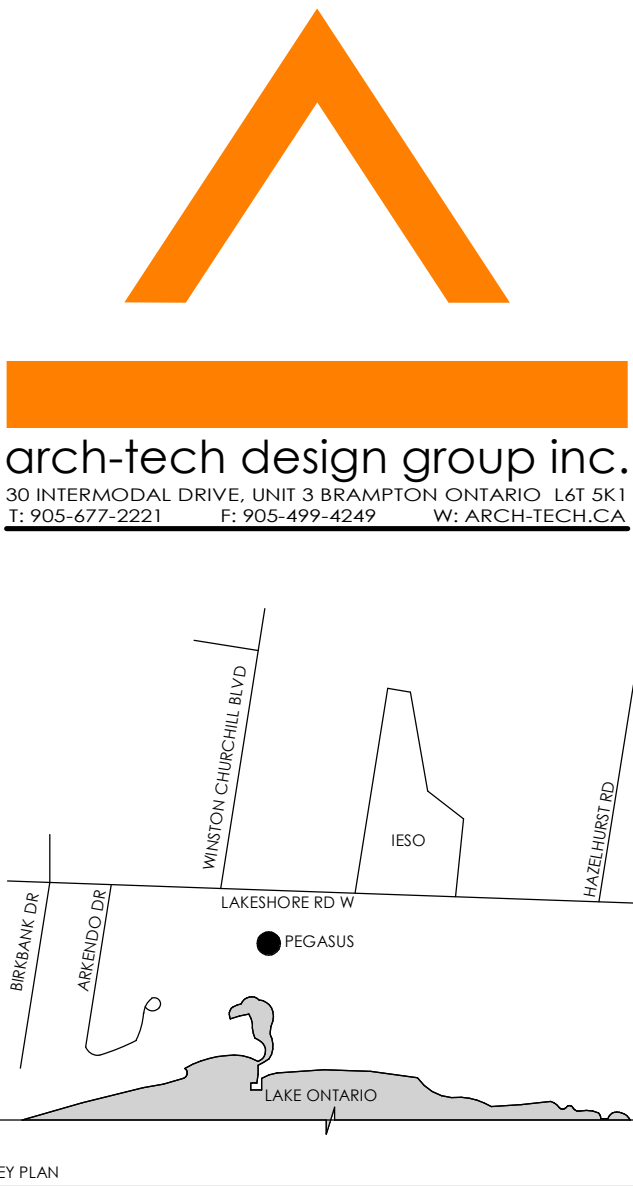
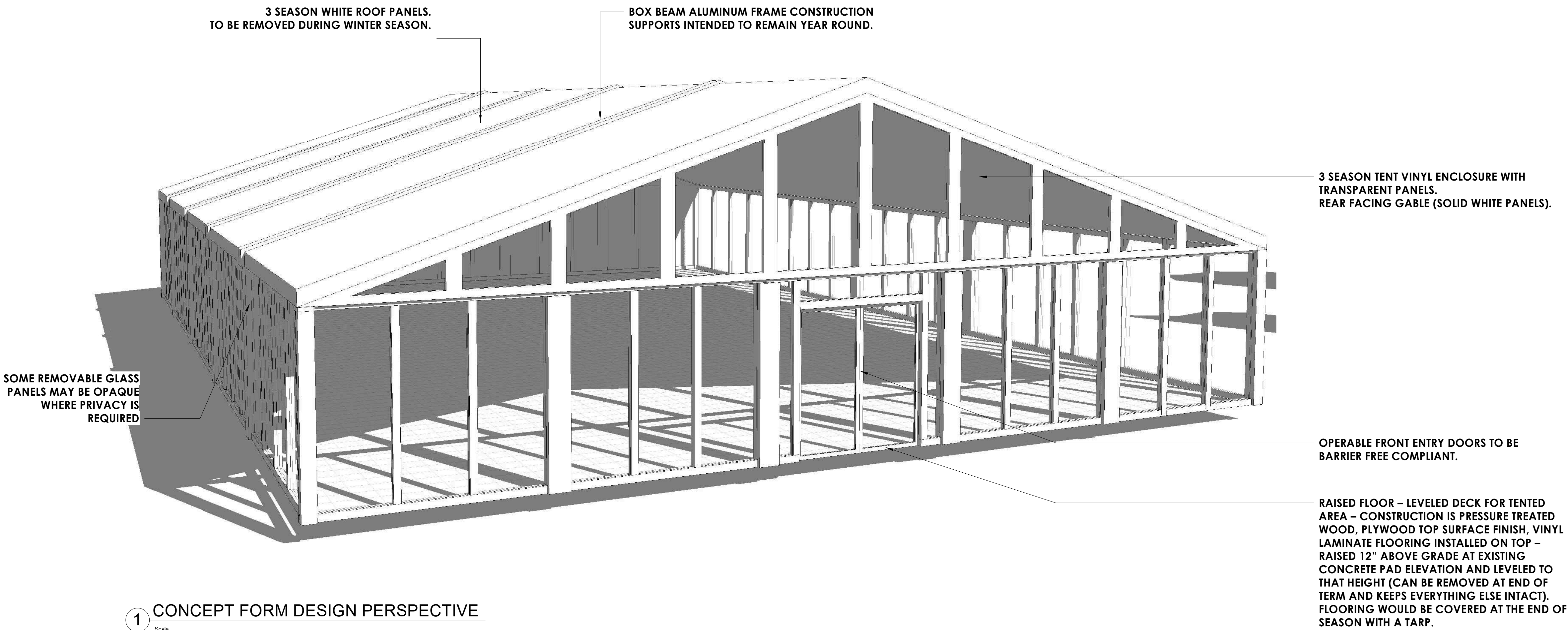
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MISSISSAUGA, ON L5J 0B4

DRAWING

BUILDING EXTERIOR
ELEVATIONS

DRAWN KP PROJECT NO 19-518
SCALE 1 : 50 SHEET A200
CHECKED MAP



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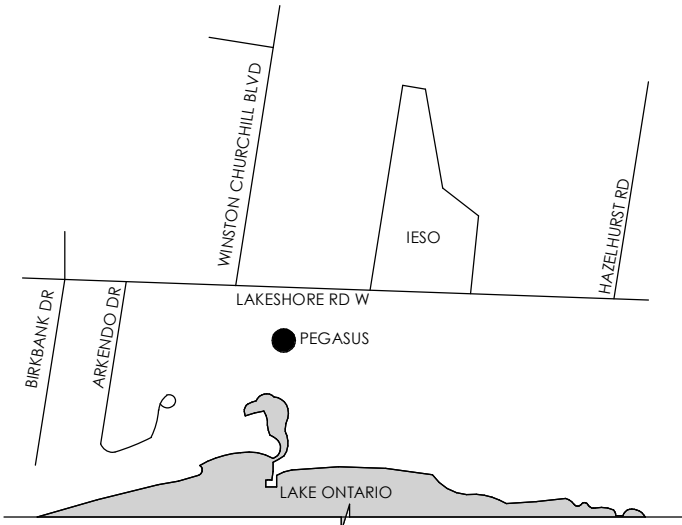
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PROJECT	SOLAR SYSTEM TENT STRUCTURE 2700 LAKESHORE RD W, MISSISSAUGA, ON L5J 0B4		
DRAWING	CONCEPT PERSPECTIVE		
DRAWN	KP	PROJECT NO	19-518
SCALE		SHEET	A300
CHECKED	MAP		



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2700 LAKESHORE RD W,
MISSISSAUGA, ON L5J 0B4

DRAWING
STREETSCAPE PERSPECTIVE

DRAWN	KP	PROJECT NO	19-518
SCALE	1 : 1	SHEET	A400
CHECKED	MAP		

City of Mississauga Corporate Report



Date: 2020/02/18

To: Chair and Members of Heritage Advisory Committee

From: Paul Mitcham, P. Eng, MBA, Commissioner of
Community Services

Originator's files:

Meeting date:

2020/03/10

Subject

Request to Demolish a Heritage Listed Property: 1365 Stavebank Road (Ward 1)

Recommendation

That the property at 1365 Stavebank Road, which is listed on the City's Heritage Register, is not worthy of heritage designation, and consequently, that the owner's request to demolish proceed through the applicable process, as per the Corporate Report from the Commissioner of Community Services dated February 18, 2020.

Background

Section 27.3 of the *Ontario Heritage Act* states that structures or buildings on property listed on the City's Heritage Register cannot be removed or demolished without at least 60 days' notice to Council. This legislation allows time for Council to review the property's cultural heritage value to determine if the property merits designation.

Comments

The owner of the subject property has submitted a heritage application to demolish the existing detached dwelling. The subject property is listed on the City's Heritage Register as it forms part of the Mineola Neighbourhood cultural landscape, due to the development of this area in a time when natural elements respected the lot pattern and road system. The Heritage Impact Assessment is attached as Appendix 1. It is the consultant's conclusion that the proposed new construction at 1365 Stavebank Road will not negatively impact the cultural heritage landscape. Staff concurs with this opinion.

Financial Impact

There is no financial impact resulting from the recommendation in this report.

Conclusion

The owner of 1365 Stavebank Road has requested permission to demolish a structure on a property that is listed on the City's Heritage Register. The applicant has submitted a Heritage Impact Assessment that provides information which does not support the cultural landscape's merit for designation under the Ontario Heritage Act.

Attachments

Appendix 1: Heritage Impact Assessment



Paul Mitcham, P. Eng, MBA, Commissioner of Community Services

Prepared by: Brooke Herczeg, Heritage Analyst



Heritage Impact Assessment: 1365 Stavebank Road, Part of Lot 3, Range 2 Credit Indian Reserve Geographic Township of Toronto, now City of Mississauga, Plan B13, Part Lots 2 & 3, Regional Municipality of Peel, Ontario

Project number: PHC-2019-1052

Report Type: Original

Report Date: 28 January 2020

Parslow Heritage Consultancy Inc.

WestHall Heritage Research and Consulting

Proponents: Sacha and Tony Lee

Address: 43 Coleridge Avenue, Toronto, ON, M4C 4H4

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1. Executive Summary

Parslow Heritage Consultancy, Inc. (PHC) was retained by Tony and Sacha Lee (the Proponents) to prepare a Heritage Impact Assessment (HIA) for the property at 1365 Stavebank Road in Mississauga, Ontario. The Proponents are preparing an application to the City of Mississauga (the City) to demolish the current structure on the property prior to redevelopment. As the property is “listed” on the City’s Heritage Register because of its location within the former Credit Indian Reserve (CIR) and the Mineola Neighbourhood Cultural Landscape, the Planning and Building Services Department and **Heritage Planning, Culture Division** requested the preparation of an HIA. 1365 Stavebank Road has been a freehold residence since its construction.

The purpose of this HIA is to review relevant historical documents, evaluate the potential cultural heritage value or interest, identify cultural heritage resources and assess of potential impacts, and recommend mitigation options, if necessary. Provisions in the *Ontario Heritage Act* (OHA) under Regulation 9/06, the *Planning Act (1990)* and the City of Mississauga’s *Heritage Impact Assessment - Terms of Reference* were applied to evaluate the potential cultural heritage value or interest and recommend mitigation strategies, if necessary. A site visit was conducted on November 29, 2019 to document the property, structure and surrounding neighbourhood.

The property is “listed” in the City of Mississauga’s Heritage Register because it is on the City’s Cultural Landscape Inventory (Mineola Neighbourhood). The property has a deep setback from the road, and there are mature deciduous and conifer trees in the front and rear of the property. There are no sidewalks along the street at the front of the property. All of these features are indicative and representative of the original Mineola Neighbourhood cultural landscape concept. Therefore, the property (the lot, not the structure) is “integral to defining, maintaining or supporting the character of the area” and is “physically and visually linked to its surroundings.”

In addition to the O.Reg. 9/06 evaluation, the City of Mississauga requires that Cultural Heritage Landscape Inventory heritage impact statements demonstrate how any proposed development will conserve the criteria that distinguish it as a cultural heritage landscape and/or feature.

The proposed redevelopment for the property, with the appropriate setback, general massing and modest style of the structure, and a protection plan sympathetic to the existing property landscape, appears to maintain an awareness of and respect for the original Mineola Neighbourhood cultural landscape concept, and the Cultural Landscape Inventory’s identification criteria. Additionally, the redevelopment plan meets or is below the maximum lot and building requirements for the neighbourhood’s zoning designation R1-1. (see Appendix A – Page 2)

After a review of the heritage attributes of the property, the current structure at 1365 Stavebank Road does not retain Cultural Heritage Value or Interest. As to the cultural landscape attributes, as long as the arborist report and tree protection plan are an integral part of the overall redevelopment plan, no other mitigation measures are recommended.

All salvageable materials from the original structure should be made available for reuse, such as the hardwood flooring, wood mantelpiece, wood trim, etc.

2. Introduction

Parslow Heritage Consultancy, Inc. (PHC) was retained by Tony and Sacha Lee (the Proponents) to prepare a Heritage Impact Assessment (HIA) for the property at 1365 Stavebank Road in Mississauga, Ontario (**Figures 1 and 2**). The Proponents are preparing an application to the City of Mississauga (the City) to demolish the current structure on the property prior to redevelopment. As the property is “listed” on the City’s Heritage Register because of its location within the former Credit Indian Reserve (CIR) and the Mineola Neighbourhood Cultural Landscape, the Planning and Building Services Department and Heritage Planning, Culture Division requested the preparation of an HIA. 1365 Stavebank Road has been a freehold residence since its construction.

This HIA is designed meet the scope of work required by the City of Mississauga’s *Heritage Impact Assessment - Terms of Reference* (Appendix X), as well as meet provincial standards and guidelines as required under the *Ontario Heritage Act*.

A site visit was conducted by PHC on November 29, 2019.

2.1 Site Description and Context

The property at 1365 Stavebank Road is located in the western end of the Mineola neighbourhood in south-central Mississauga. It is south of the Queen Elizabeth Way, west of Hurontario Street and east of the Credit River. The City of Mississauga legal description is Plan B13, PT Lots 2,3. The lot is 1157.62 square metres and basically rectangular in shape, fronting on Stavebank Road to the southwest. The property is designated as residential in the City of Mississauga Official Plan¹. (Figure X)

The only structure on the property is a one-story, wood frame bungalow-style residence with an attached two-bay garage. The garage section has a ½ -story second floor with a two-window dormer at the rear (**Figure 3**). The exact date of construction and the builder are unknown at this time, however, based on observable, surviving features; it appears to be of mid-20th century vintage. A Municipal Property Assessment Corporation (MPAC) property report lists the “year built” for the residence and garage as 1949².

The 1953 Toronto Township fire insurance map shows a one-story, wood frame structure at the same location with a one-story detached garage. However, this detached garage is no longer present on the property. It is likely that the present garage (and half-story) was added as a later addition. There is an asphalt driveway on the north side extending from the street to the double

¹ Municipal Property Assessment Corporation, *Residential Level 2 Property Report* for 1365 Stavebank Road, Mississauga, ON, Plan B13, PT Lots 2,3, accessed online at <https://mps.ilookabout.com/Multi/Multi/?ilaSession=8274caea-df0a-411c-8cc1-852c93f677ae#>, November 30, 2019; City of Mississauga, Planning & Building Department, Property Information, accessed online at https://www.mississauga.ca/portal/services/property?paf_gear_id=6500016&action=details&id=3080&addressId=4926&rollNumber=2105010015160000000&pin=null&_requestid=164258, December 1, 2019.

² Municipal Property Assessment Corporation, *Residential Level 2 Property Report* for 1365 Stavebank Road, Mississauga, ON, Plan B13, PT Lots 2,3, accessed online at <https://mps.ilookabout.com/Multi/Multi/?ilaSession=8274caea-df0a-411c-8cc1-852c93f677ae#>, November 30, 2019; City of Mississauga, Planning & Building Department, Property Information, accessed online at https://www.mississauga.ca/portal/services/property?paf_gear_id=6500016&action=details&id=3080&addressId=4926&rollNumber=2105010015160000000&pin=null&_requestid=164258, December 1, 2019.

garage. The surrounding area is mixture of mid-20th century and modern infill residential properties³. **(Figure 2)**

The structure as a deep setback from the road, and there is extensive landscaping on the property, with a grass lawn and shrubs in the front and back yards. There are mature deciduous and conifer trees in the front and rear of the property. There are no sidewalks along the street at the front of the property. All these features are indicative and representative of the original Mineola neighbourhood landscape concept.

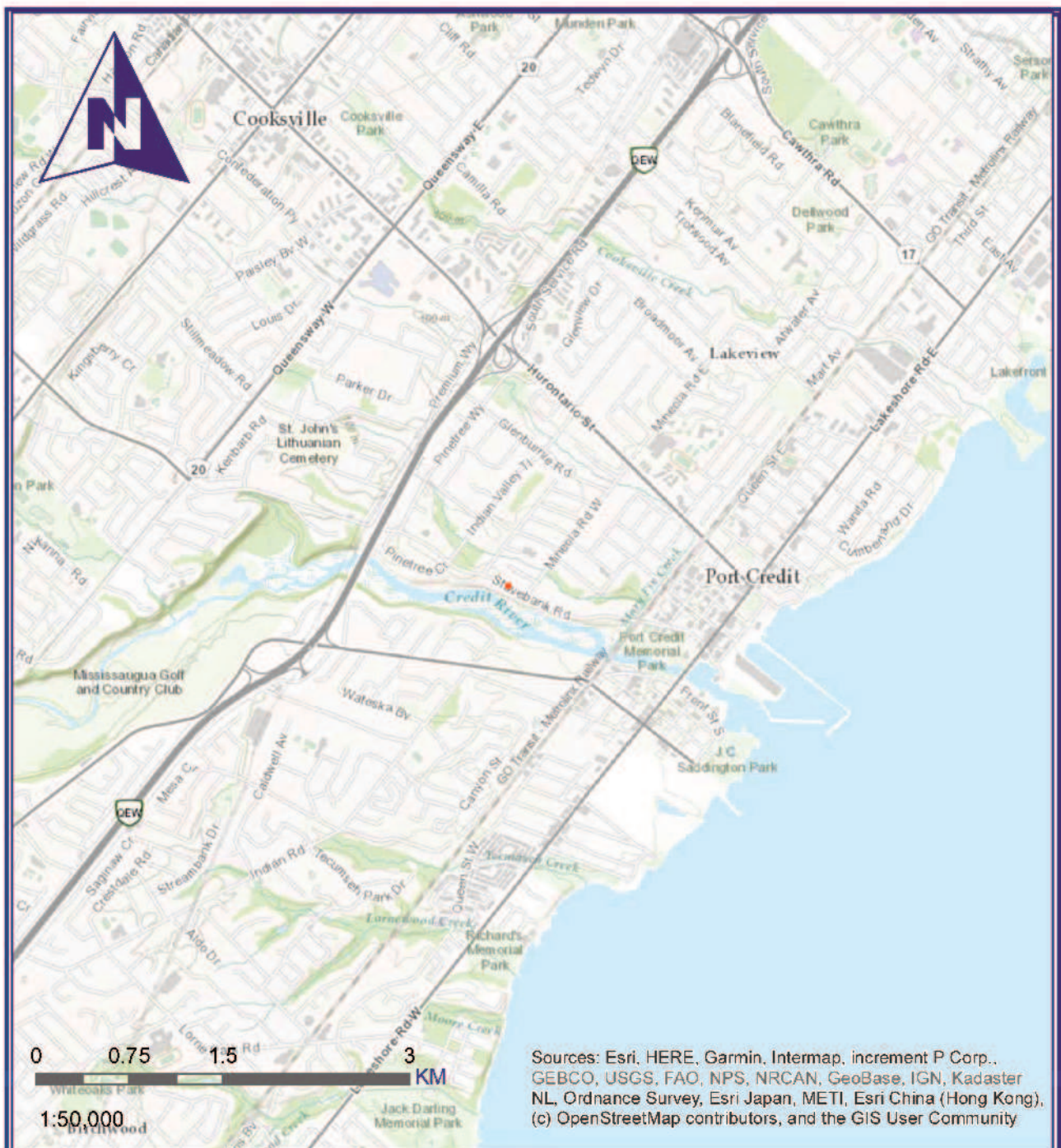
Other than the photographs taken during the site visit, no extant images of the property have been located.

NEARBY HERITAGE PROPERTIES

All properties adjacent to and in the vicinity of the subject property on Stavebank Road and Windigo Trail are “listed” on the City’s Heritage Register because of their location in the Cultural Heritage Landscape Inventory (Mineola Neighbourhood).

³Municipal Property Assessment Corporation, *Residential Level 2 Property Report* for 1365 Stavebank Road, Mississauga, ON, Plan B13, PT Lots 2,3, accessed at <https://mps.ilookabout.com/Multi/Multi/?ilaSession=8274caea-df0a-411c-8cc1-852c93f677ae#>, November 30, 2019.

Figure 1 - Study Area on Topographic Map



**Part of Lot 3, Range 2 Credit Indian Reserve, City of Mississauga,
Plan B13, Part Lots 2 & 3, RM of Peel, ON**

Legend

Approximate Location of Study Area

Date: 2019-11-08



Figure 2 - Study Area on Aerial Image





Figure 3 - Front of 1365 Stavebank Rd. looking northeast (All exterior and interior photos by W. West, 2019)

3. Legislation and Policy

The following assessment reviews provincial and municipal legislation and policies designed to protect cultural heritage resources that may be affected by development in the City of Richmond Hill.

3.1 Provincial Legislation and Policy

3.1.1 Ontario Heritage Act

The criteria for determining cultural heritage value or interest are outlined in the *Ontario Heritage Act, 2005* (OHA) under Regulation 9/06 as follows:

1. (1) The criteria set out in subsection (2) are prescribed for the purposes of clause 29 (1) (a) of the Act.
- (2) A property may be designated under section 29 of the *Act* if it meets one or more of the following criteria for determining whether it is of cultural heritage value or interest:
 1. The property has design value or physical value because it,
 - I. is a rare, unique, representative or early example of a style, type, expression, material or construction method,
 - II. displays a high degree of craftsmanship or artistic merit, or
 - III. demonstrates a high degree of technical or scientific achievement.
 2. The property has historical value or associative value because it,
 - I. has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community,
 - II. yields, or has the potential to yield, information that contributes to an understanding of a community or culture, or
 - III. demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.
 3. The property has contextual value because it,
 - I. is important in defining, maintaining or supporting the character of an area,
 - II. is physically, functionally, visually or historically linked to its surroundings, or
 - I. is a landmark.

3.1.2 Planning Act

The *Planning Act (1990)* provides the legislative framework for land use planning in Ontario. Part 1, Section 2 (d) and (r) of the Act identifies matters of provincial interest.

Part I, Section 2

The Minister, the council of a municipality, a local board, a planning board and the Tribunal, in carrying out their responsibilities under this Act, shall have regard to, among other matters, matters of provincial interest such as,

(d.) the conservation of features of significant architectural, cultural, historical, archaeological or scientific interest;

(r.) the promotion of built form that,

I.is well-designed,

II.encourages a sense of place, and

III.provides for public spaces that are of high quality, safe, accessible, attractive and vibrant.

3.1.3 Provincial Policy Statement (2014)

The Provincial Policy Statement (PPS), issued under Section 3 of the *Planning Act*, came into effect on April 30, 2014. It applies to all planning decisions made on or after that date and replaced the PPS, 2005. The PPS provides direction for the appropriate regulation for land use and development while protecting resources of provincial interest, and the quality of the natural and built environment, which includes cultural heritage and archaeological resources. These policies are specifically addressed in Part V, Sections 1.7 and 2.6.

Section 1.7.1d of the PPS addresses long-term economic prosperity by “encouraging a sense of place, by promoting well-designed built form and cultural planning, and by conserving features that help define character, including built heritage resources and cultural heritage landscapes”.⁴

Section 2.6 of the PPS addresses the protection and conservation cultural heritage and archaeological resources in land use planning and development and requires and requires the following:

2.6.1 Significant built heritage resources and significant cultural heritage landscapes shall be conserved.

2.6.2 Development and site alteration shall not be permitted on lands containing archaeological resources or areas of archaeological potential unless significant archaeological resources have been conserved.

2.6.3 Planning authorities shall not permit development and site alteration on adjacent lands to protected heritage property except where the proposed development and site alteration has been evaluated and it has been demonstrated that the heritage attributes of the protected heritage property will be conserved.

2.6.4 Planning authorities should consider and promote archaeological management plans and cultural plans in conserving cultural heritage and archaeological resources.

⁴Ministry of Municipal Affairs and Housing, *Planning Act, Provincial Policy Statement (2014)*, pp. 20, 29.

2.6.5 Planning authorities shall consider the interests of Aboriginal communities in conserving cultural heritage and archaeological resources.

3.2 Municipal Policy Framework

3.2.1 City of Mississauga Official Plan (2019 - consolidated)

The *Official Plan*⁵ (OP) is a key part of the planning structure that ensures that the goals, objectives and policies of the OP “align with the City’s Strategic Plan and focus on the long term land use, growth and development plans for Mississauga”.

Chapter 4: Vision, Section 4.4: Guiding Principles focuses on the following key principles for land use:

- “1. Mississauga will promote development decisions that support the sustainability of our Natural Heritage System and enhance the quality of life for our present and future generations;
2. Mississauga will protect, enhance and where possible restore distinct natural features, areas and linkages, including their ecological functions, particularly those associated with the Lake Ontario waterfront and the city’s river and valley corridor system;
- 3. Mississauga will preserve the character, cultural heritage and livability of our communities;**
4. Mississauga will maintain and promote a strong and sustainable, diversified economy that provides a range of employment opportunities for residents and attracts lasting investment to secure financial stability;
5. Mississauga will provide a range of mobility options (e.g., walking, cycling, transit, vehicular) for people of all ages and abilities by connecting people with places through coordinated land use, urban design and transportation planning efforts;
6. Mississauga will plan for a wide range of housing, jobs and community infrastructure resources so that they are available to meet the daily needs of the community through all stages of life;
7. Mississauga will support the creation of distinct, vibrant and complete communities by building beautifully designed and inspiring environments that contribute to a sense of community identity, cultural expression and inclusiveness; and
8. Mississauga will be a city that promotes the participation and collaboration of all sectors including residents, employees, entrepreneurs, government, business, education and non-profit, to achieve this vision.”⁶

Chapter 7: Complete Communities includes policies directly related to “protecting and enjoying the city’s rich cultural heritage.”⁷

⁵City of Mississauga, *Official Plan*, Consolidated as of March 13, 2019, accessed online at <http://www.mississauga.ca/portal/residents/mississaugaofficialplan>, December 16, 2019.

⁶Ibid, *Part Two: City Wide Policies*, pp. 4-6 & 4-7.

⁷Ibid, p. 7-2.

Section 7.4: Heritage Planning states that, “Heritage planning is the responsibility of the Provincial Government and the City. The Heritage Advisory Committee has been established to advise City Council on matters pertaining to cultural heritage value or interest.”⁸

Sections 7.4.1 through 7.4.5 cover policies related to cultural heritage resources, cultural heritage properties, heritage conservation districts, archaeological resources and archaeological protection areas.

In particular, Sections 7.4.1.10, Sections 7.4.1.12 and Sections 7.4.2.2 outline the policies for construction, development or property alterations to identified cultural heritage resources that will a **Heritage Impact Assessment**.⁹

Chapter 16: Neighbourhoods

This section identifies the modifications to the General Land Use designations in Chapter 11 that apply to all Neighbourhoods. Mineola is one of 23 Neighbourhood Character Areas in Mississauga.

16.18: Mineola

16.18.1: Urban Design Policies

Infill Housing

16.18.1.1 For development of all detached dwellings on lands identified in the Site Plan Control By-law, the following will apply:

- a. preserve and enhance the generous front, rear and side yard setbacks;**
- b. ensure that existing grades and drainage conditions are preserved;
- c. encourage new housing to fit the scale and character of the surrounding area, and take advantage of the features of a particular site, i.e. topography, contours, mature vegetation;**
- d. garages should be recessed or located behind the main face of the house.
Alternatively, garages should be located in the rear of the property;
- e. ensure that new development has minimal impact on its adjacent neighbours with respect to overshadowing and overlook;
- f. encourage buildings to be one to two storeys in height. The design of the building should de-emphasize the height of the house and be designed as a composition of small architectural elements, i.e. projecting dormers and bay windows;
- g. reduce the hard surface areas in the front yard;
- h. existing trees, large groupings or areas of vegetation and landscape features such as retaining walls, fences, hedgerows, etc. should be preserved and enhanced, along with the maintenance of topographic features and drainage systems;**
- i. large accessory structures will be discouraged, and any accessory structures will be located in side and rear yards only;
- j. house designs which fit with the scale and character of the local area, and take advantage of the particular site are encouraged. The use of standard, repeat designs is strongly discouraged; and

⁸Ibid, p. 7-7.

⁹Ibid, pp. 7-8 & 7-9.

k. the building mass, side yards and rear yards should respect and relate to those of adjacent lots.¹⁰

3.2.2 Peel Region Official Plan (2016)

The Peel Region Official Plan supports heritage preservation and recognizes the role of heritage in developing the overall quality of life for residents and. It promotes the Region's heritage and supports the area municipal heritage policies and programs.

Chapter 3, Section 3.6 directly addresses cultural heritage resource conservation and in part states:

3.6.1 OBJECTIVES

- 3.6.1.1 To identify, preserve and promote cultural heritage resources, including the material, cultural, archaeological and built heritage of the region, for present and future generations.
- 3.6.1.2 To promote awareness and appreciation and encourage public and private stewardship of Peel's heritage.
- 3.6.1.3 To encourage cooperation among the area municipalities, when a matter having inter-municipal cultural heritage significance is involved.
- 3.6.1.4 To support the heritage policies and programs of the area municipalities.

3.6.2 POLICIES

It is the policy of Regional Council to:

- 3.6.2.1 Direct the area municipalities to include in their official plans policies for the definition, identification, conservation and protection of cultural heritage resources in Peel, in cooperation with the Region, the conservation authorities, other agencies and aboriginal groups, and to provide direction for their conservation and preservation, as required.
- 3.6.2.2 Support the designation of Heritage Conservation Districts in area municipal official plans.
- 3.6.2.3 Ensure that there is adequate assessment, preservation, interpretation and/or rescue excavation of cultural heritage resources in Peel, as prescribed by the Ministry of Citizenship, Culture and Recreation's archaeological assessment and mitigation guidelines, in cooperation with the area municipalities.
- 3.6.2.4 Require and support **cultural heritage resource impact assessments**, where appropriate, for infrastructure projects, including Region of Peel projects.
- 3.6.2.5 Direct the area municipalities to require, in their official plans, that the proponents of development proposals affecting heritage resources provide for sufficient documentation to meet Provincial requirements and address the Region's objectives with respect to cultural heritage resources.
- 3.6.2.6 Encourage and support the area municipalities in preparing, as part of any area municipal official plan, an inventory of cultural heritage resources and provision of guidelines for identification, evaluation and impact mitigation activities.

¹⁰Ibid, *Part Three: Land Use Designations*, pp. 16-94 & 16-95.

- 3.6.2.7 Direct the area municipalities to only permit development and site alteration on lands containing archaeological resources or areas of archaeological potential if the significant archaeological resources have been conserved by removal and documentation, or by preservation on site. Where significant archaeological resources must be preserved on site, only development and site alteration which maintain the heritage integrity of the site may be permitted.
- 3.6.2.8 Direct the area municipalities to only permit development and site alteration on adjacent lands to protected heritage property where the proposed property has been evaluated and it has been demonstrated that the heritage attributes of the protected heritage property will be conserved.¹¹

The Peel Regional Official Plan recognizes that the Official Plan will manage local matters related to the protection and conservation of cultural heritage resources.

¹¹Region of Peel, *Official Plan - Office Consolidation*, December 2016, pp. 89-90 & 197.

4. Historical Research and Analysis

4.1 Early Settlement – Peel

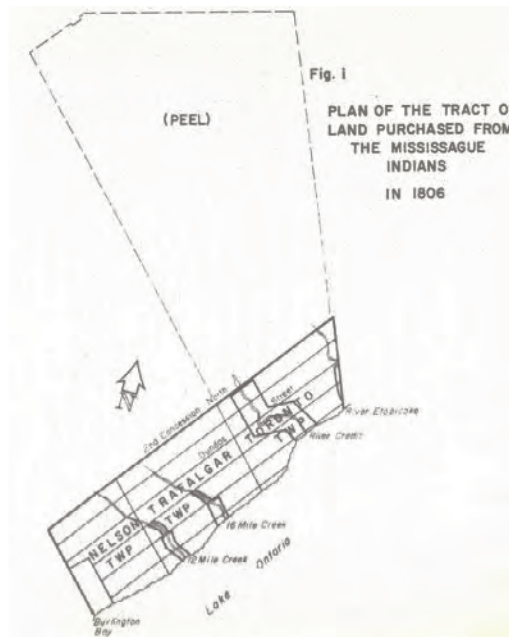


Figure 4 - 1806 purchase
(Settlement History of Peel)

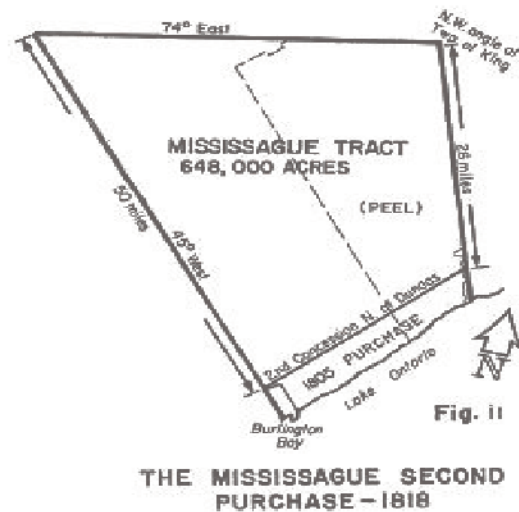


Figure 5 - 1818 purchase (Settlement
History of Peel)

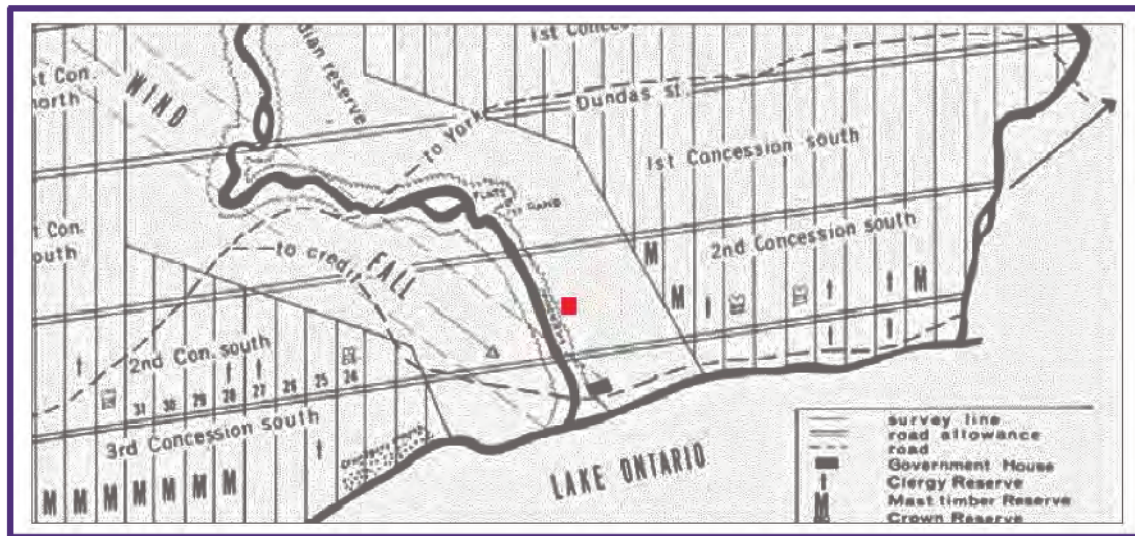


Figure 6 - Modern rendering of 1806 Wilmet survey map showing approximate location of Study Area RED in the Credit Indian Reserve (from Hicks, "Lakeview: Journey from Yesterday")

4.1.1 Toronto Township & Port Credit



Figure 7 - County of Peel, 1820, showing townships (from Settlement History of Peel)



Figure 8 - County of Peel, 1867, showing townships & villages - location of study area in RED (from Settlement History of Peel)

Range II, Lot 3, Credit Indian Reserve (CIR)

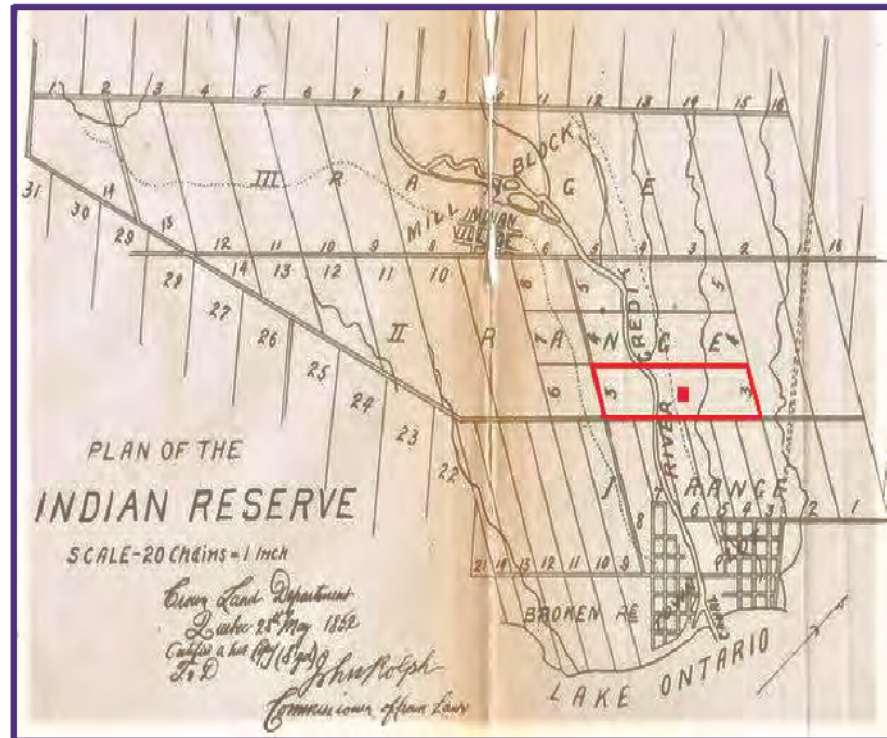


Figure 9 - 1852 Plan of Indian Reserve showing Study Area **RED** in Range II, Lot 3 - dotted line is the main road (now Stavebank) running north from Port Credit (Robertson's Landmarks of Toronto, 1908)

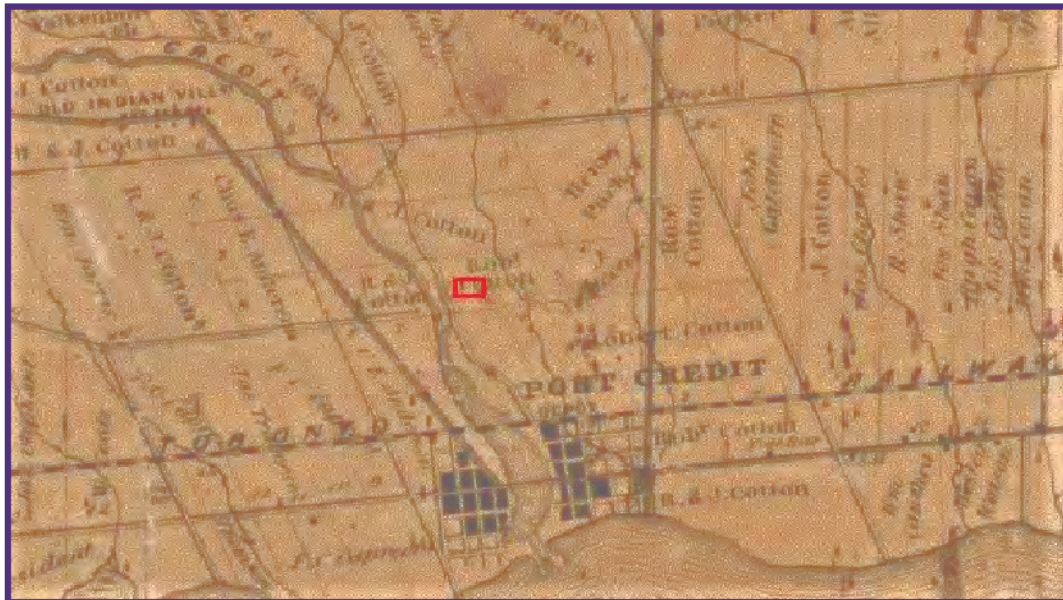


Figure 10 -View of Study Area from 1859 Tremaine Map of the County of Peel - Study Area in RED



Figure 11 - Study area on 1877 Illustrated Map of Toronto Township showing Dr. Dixie property and Study Area in RED

5. Assessment of Existing Conditions

5.1 Site Context

The City of Mississauga's Cultural Landscape Inventory defines two main categories of resources, cultural landscapes and cultural features. Within these categories that are seven sub-type for each. For the purposes of this HIA and the property under review, our focus is on the criteria for Cultural Landscapes – Residential.¹⁹

The Mineola Neighbourhood lies in south-central Mississauga, south of the Queen Elizabeth Way (QEW), west of Hurontario Street and east of the Credit River. This area grew rapidly after World War II and the construction of QEW, and was popular because of its location, lot size and suburban, but still rural-like setting with rivers, ravines and mature growth. The Cultural Landscape Inventory entry succinctly describes the appeal and significance of the designation for the neighbourhood.

Mineola was developed before it became standard practice to regrade top soil into large piles in the early twentieth century, level every nuance of natural topography and engineer the complete stormwater drainage system artificially. In Mineola a road system was gently imposed on the natural rolling topography of the Iroquois Plain; homes were nestled into slightly larger lots and natural drainage areas were retained. This provided greater opportunity to save existing trees and because the soils and drainage system were minimally impacted, provided fertile ground for the planting of new vegetation, the natural regeneration of native trees and landscaping of the residential landscapes.

What has evolved today is a wonderful neighbourhood with a variety of quality housing stock and a rich stimulating landscape that blends the houses with their natural and manicured surroundings. There are no curbs on the roads which softens the transition between street and front yards. The roads wind, rise and fall with the natural topography and houses sit often at odd angles to take advantage of slopes and the location of large trees. A gradual infilling has increased the density over the years and care must be taken to ensure that this does not, in the end, ruin the very quality and character that makes this neighbourhood so appealing and attractive. Of the many neighbourhoods in Mississauga, the Mineola neighbourhood stands out as one of the most visually interesting and memorable. As is often the case, when new development is balanced with the protection of the natural environment, a truly livable and sustainable community evolves. Mineola is an excellent example of this type of community.²⁰

¹⁹City of Mississauga, Cultural landscape Inventory, January 2005.

²⁰City of Mississauga, Community Services, *Cultural Landscape Inventory, Appendix 2: Cultural Landscapes: Matrix, Resource Map & Site Descriptions, L-RES-6. Mineola Neighbourhood*, THE LANDPLAN COLLABORATIVE LTD, January 2005; City of Mississauga, Planning and Building Services, Property information, Property Heritage Detail, 1365 Stavebank Rd., accessed at https://www.mississauga.ca/portal/services/property?paf_portalId=default&paf_communityId=200005&paf_pageId=2700006&paf_dm=shared&paf_gear_id=6500016&paf_gm=content&paf_gear_id=6500016&action=heritage_desc&id=3080&addressId=4926&invId=3290&heritageTab=yes&propDetailsTab=no, December 9, 2019.

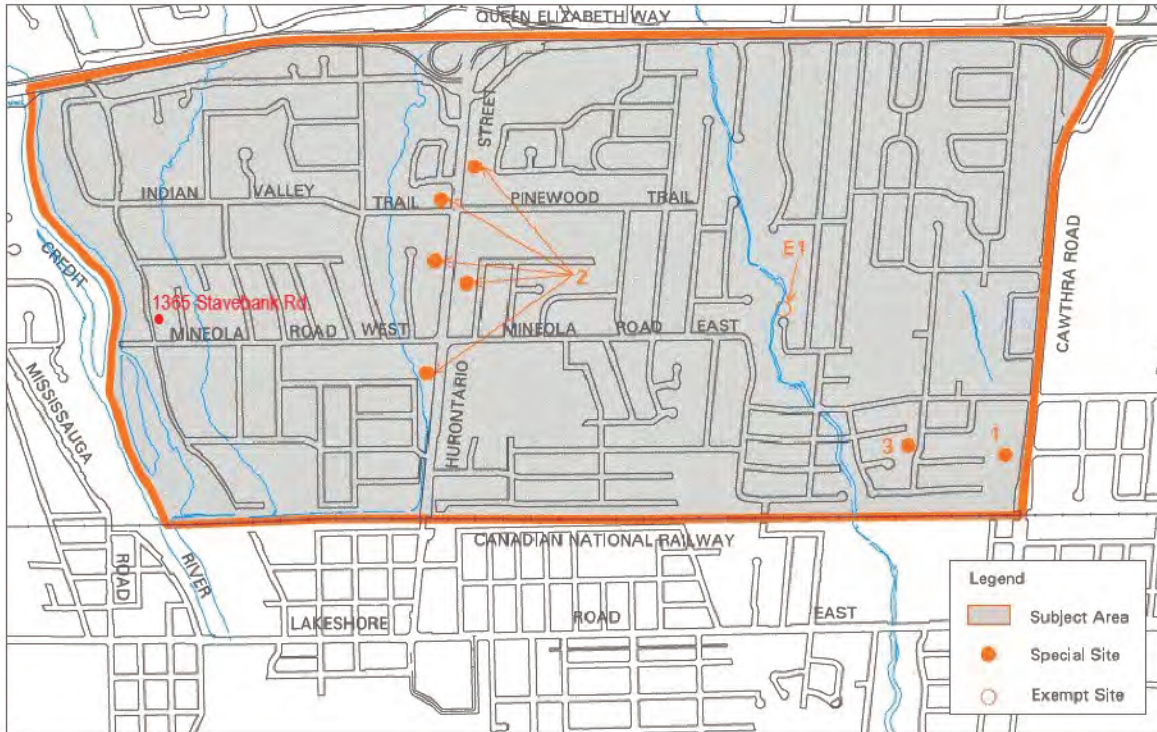


Figure 12 - Mineola Neighbourhood - study location in Red (City of Mississauga Official Plan)

5.2 1365 Stavebank Road



Figure 13 - Looking southeast along Stavebank Road - 1365 is on the left beyond the yellow house.



Figure 14 - Looking northwest along Stavebank Road - 1365 is on the right behind the trees.



Figure 15- Front of 1365 Stavebank Rd. looking northeast (All exterior and interior photos by W. West, 2019)

5.2.1 Structure Exterior



Figure 16 - Front elevation – note twin gables over bay windows and recessed front porch



Figure 17 - Oblique view of front elevation, looking north



Figure 18 - View of double attached garage, looking northwest



Figure 19 - View of left gable and bay window - note unique scallop pattern above and below



Figure 20 - View of front walkway and right bay window



Figure 21 - View of front entrance



Figure 22- Rear elevation - note garage shed dormer, centre chain-link fence and deck on and overgrowth on the right



Figure 23 - View of rear entrance, looking west



Figure 24 - View of garage shed dormer - note siding condition



Figure 25 - View of rear entrance and



Figure 26 - View of rear entrance and deck - note condition of siding and deck



Figure 27 - View of basement window



Figure 28 - View of condition of shed dormer siding



Figure 29 - Condition of cinder block foundation on southwest side



Figure 30 - View of front setback looking northeast from the street



Figure 31 - reverse angle of front setback, looking southwest



Figure 32 - Backyard looking north



Figure 33 - Backyard looking northeast



Figure 34 - Backyard looking south



Figure 35 - Overgrowth on northeast side of house and lot.

5.2.2 Structure Interior

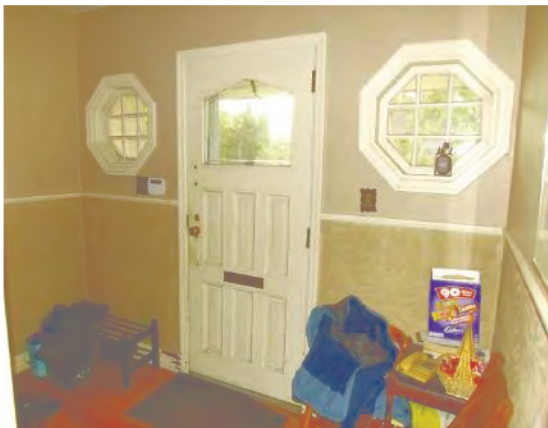


Figure 36 - View of foyer/entry area

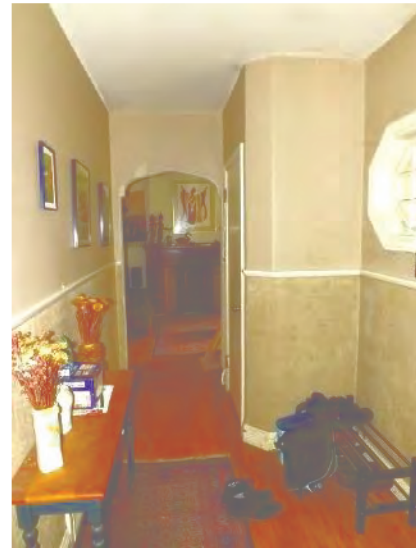


Figure 37 - View to living room from foyer/entry area



Figure 38 - View from dining to living room



Figure 39 - View from living to dining room



Figure 40 - 24-pane bay window in living room

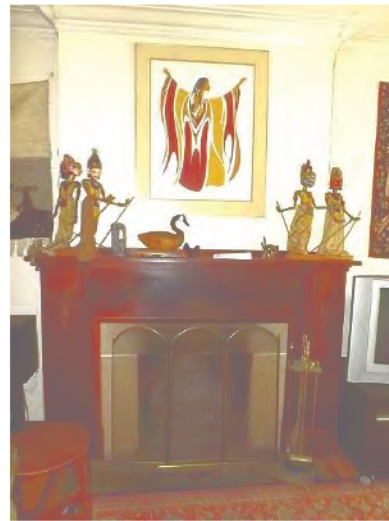


Figure 41- Living room fireplace and mantel



Figure 42 - View looking to bedroom side of the house



Figure 43 - Office (former master bedroom)



Figure 44 - 2nd bedroom with sliding glass door to back deck

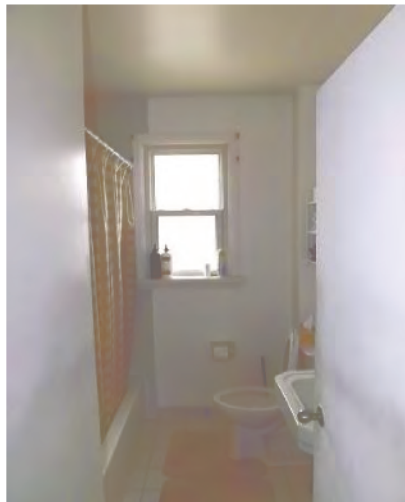


Figure 45 - Main floor washroom



Figure 46 - Kitchen



Figure 47 - Entrance to garage

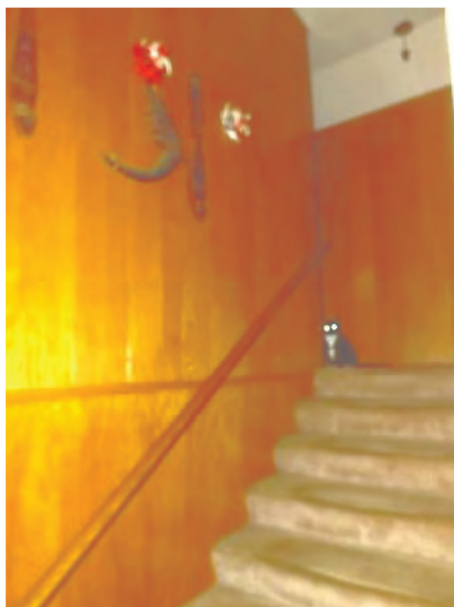


Figure 48 - Entrance to garage
"bonus rooms" and washroom -
note cat



Figure 49 - Two-bay garage



Figure 50 - Over garage hallway



Figure 51 - Over garage Bedroom 1

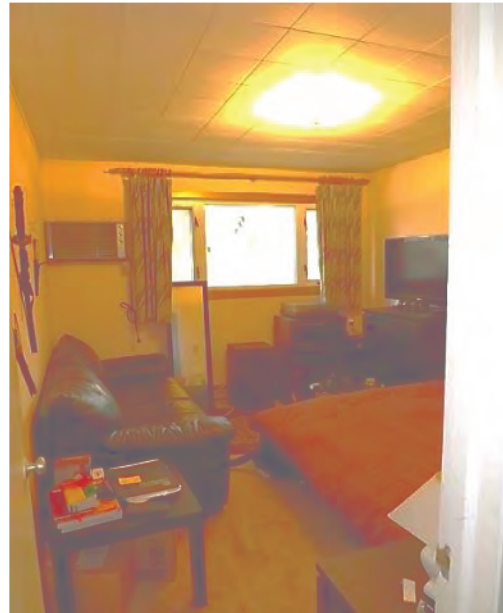


Figure 52 - Over garage Bedroom 2

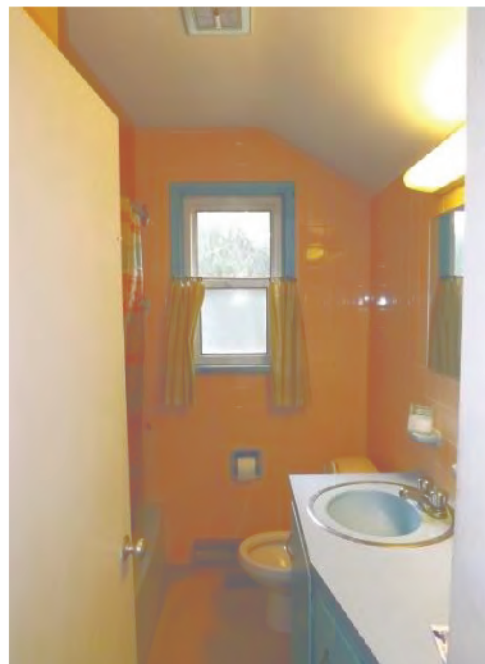


Figure 53 - Over garage washroom



Figure 54 - Basement utility room



Figure 55 - Basement furnace room



Figure 56 - Basement "rec" room 1



Figure 57 - Basement "rec" room 2

6. Evaluation

6.1 Evaluation

Ontario Regulation 9/06 prescribes the criteria for determining property of Cultural Heritage Value or Interest (CHVI) in a municipality. The regulation requires that, to be designated, a property must meet “one or more” of the criteria grouped into the categories of Design/Physical Value, Historical/ Associative Value and Contextual Value.²⁵ The structure at 1365 Stavebank Road is the only resource on the property the being considered for potential to meet the criteria outlined under O.Reg. 9/06.

Table 1 - The criteria for determining property of Cultural Heritage Value or Interest (CHVI)

O.Reg.9/06 Criteria	Criteria Met (Y/N)	Justification
The property has design value or physical value because it,		
i. is a rare, unique, representative or early example of a style, type, expression, material, or construction method,	N	The structure at 1365 Stavebank Road was built as a one-story, wood frame vernacular ranch-style residence with an attached two-bay garage.. This property does not satisfy this criterion.
ii. displays a high degree of craftsmanship or artistic merit, or	N	The features associated with 1365 Stavebank Road were constructed using methods and techniques that were common for their age of construction. This property does not satisfy this criterion.
iii. demonstrates a high degree of technical or scientific achievement.	N	The simple vernacular ranch-style design and methods of construction are consistent with the associated periods of construction. This property does not satisfy this criterion.
The property has historical value or associative value because it,		
i. has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community,	N	Although the original land is associated with early prominent settlers of the Port Credit area, the current property and structure at 1365 Stavebank Road do not have direct associations with any theme, event, belief, person, activity, organization or institution that is significant to the community. This property does not satisfy this criterion.
ii. yields, or has the potential to yield, information that contributes to an understanding of a community or culture, or	N	Typical for its age, the style, construction and function, the structure at 1365 Stavebank Road does not have the potential to yield information that contributes to an understanding of or culture. This property does not satisfy this criterion.

²⁵Ministry of Heritage, Sport, Tourism and Cultural Industries, Ontario *Heritage Toolkit, Heritage Property Evaluation, A Guide to Listing, Researching, and Evaluating Heritage Property in Ontario Communities* (2006), p. 20.

iii.	Demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.	N	The builder/designer of the structure at 1365 Stavebank Road is unknown. This property does not satisfy this criterion.
The property has contextual value because it,			
i.	is important in defining, maintaining or supporting the character of an area,	Y	The property, <i>not the structure</i> , at 1365 Stavebank Road is part of the City of Mississauga's Cultural Landscape Inventory (Mineola Neighbourhood). Therefore, it is integral to defining, maintaining or supporting the character of the area.
ii.	is physically, functionally, visually or historically linked to its surroundings, or	Y	As noted above, the property, <i>not the structure</i> , at 1365 Stavebank Road is part of the City of Mississauga's Cultural Landscape Inventory (Mineola Neighbourhood). Therefore, it is physically and visually linked to its surroundings.
iii.	is a landmark.	N	1365 Stavebank Road is not a landmark.

The property is “listed” in the City of Mississauga’s Heritage Register because it is on the City’s Cultural Landscape Inventory (Mineola Neighbourhood). The property has a deep setback from the road, and there are mature deciduous and conifer trees in the front and rear of the property. There are no sidewalks along the street at the front of the property. All of these features are indicative and representative of the original Mineola Neighbourhood cultural landscape concept. Therefore, the property (the lot, not the structure) is “integral to defining, maintaining or supporting the character of the area” and is “physically and visually linked to its surroundings.”

In addition to the O.Reg. 9/06 evaluation, the City of Mississauga requires that Cultural Heritage Landscape Inventory heritage impact statements demonstrate how any proposed development will conserve the criteria that distinguish it as a cultural heritage landscape and/or feature.

6.2 Cultural Landscape Inventory Criteria

Each cultural heritage landscape and/or feature includes a checklist of criteria. Within the overall categories of landscape and feature, there are seven sub-types for landscapes: agricultural, historic settlement, industrial, institutional, natural, parks & other urban landscapes, and residential. The Mineola Neighbourhood falls within the residential landscapes sub-type and is designated as L-RES-6. Within overall landscape sub-type there are four categories, with sixteen sub-criteria. For the purposes of this report, there are eight sub-criteria identified as pertinent to the conservation of the cultural heritage landscape of the Mineola Neighbourhood. The proposed development meets these criteria as follows:²⁶

²⁶City of Mississauga, Community Services, *Cultural Landscape Inventory, Appendix 2: Cultural Landscapes: Matrix, Resource Map & Site Descriptions, L-RES-6. Mineola Neighbourhood*, THE LANDPLAN COLLABORATIVE LTD, January 2005, pp, 13-13 & Appendix 1 & 2.

6.2.1 Landscape Environment

Scenic and visual quality

This quality may be both positive (resulting from such factors as a healthy environment or having recognized scenic value) or negative (having been degraded through some former use, such as a quarry or an abandoned, polluted or ruinous manufacturing plant). The identification is based on the consistent character of positive or negative aesthetic and visual quality. Landscapes can be visually attractive because of a special spatial organization, spatial definition, scale or visual integrity.

The proposed redevelopment attempts to maintain a positive aesthetic and visual quality by incorporating the scale of the new structure within the existing landscape features (Figures 58 - 60).

Natural environment

Natural history interest can include such features as the remnants of glacial moraines, shoreline features of former water courses and lakes, and concentrations of distinct features such as specific forest or vegetation types or geological features. Remnants of original pre-settlement forests would fall into this category.

The proposed redevelopment does not appear to substantially alter any existing remnants of the pre-settlement landscape.

6.2.2 Built Environment

Aesthetic/visual quality

This quality may be both positive (as resulting from such factors as a good design or integration with site and setting) or negative (being visually jarring or out of context with the surrounding buildings or landscape or of utilitarian nature on such a scale that it defines its own local character i.e. an industrial complex). The identification is based on the consistent level of the aesthetic and visual quality of both architecture and landscape architecture and may include noted award winning sites and more modest structures of unique quality or those sites having association with similar structures in other cities and regions.

The proposed redevelopment for the property, with the appropriate setback and general massing and modest style of the new structure, and a sympathetic landscaping report, appears to maintain an awareness of and respect for the original Mineola Neighbourhood cultural landscape concept.

Consistent scale of built features

Pleasing design usually is associated with a consistent scale of buildings and landscapes which complement each other visually. Other zones, although not visually pleasing, may have a consistent size and shape of structures due to use or planning constraints. Such groupings may include housing, commercial and industrial collections of buildings with the key criteria being similarity of scale.

See comments above. Additionally, the development plan meets or is below the maximum lot and building requirements for the neighbourhood's zoning designation R1-1.

6.2.3 Historical Associations

Illustrates a style, trend or pattern

Landscapes and buildings, as well as transportation and industrial features in any community, do not develop in isolation from the same forces elsewhere in the world. For each feature, whether a university campus, residential landscape, railway or highway bridge, building type or an industrial complex, each has a rich story. The degree to which a specific site is a representative example of a specific style, trend or pattern will require careful consideration in determining its relevance to the inventory.

The degree to which the property is a representative example of a specific style, trend or pattern is in its value as a residential landscape. The proposed redevelopment does not appear to detract from the relevance of the property's inclusion in the inventory.

Illustrates an important phase of social or physical development

A site may be evocative or representative of a phase or epoch in the development of the City. Such remnants provide context for an on-going understanding of the development of the community.

The proposed redevelopment does not appear to detract from the importance of the development of the Mineola Neighbourhood cultural landscape.

6.2.4 Other

Significant ecological interest

...having value for its natural purpose, diversity and educational interest.

The proposed redevelopment for the property does not appear to devalue the natural purpose, diversity and educational interest of the original concept and design for the Mineola Neighbourhood cultural landscape.

The proposed redevelopment for the property, with the appropriate setback, general massing and modest style of the structure, and a protection plan sympathetic to the existing property landscape, appears to maintain an awareness of and respect for the original Mineola Neighbourhood cultural landscape concept, and the Cultural Landscape Inventory's identification criteria.



Figure 58 - Front elevation - looking northeast



Figure 59 - View of front setback looking northeast from the street



Figure 60 - reverse angle of front setback, looking southwest

7. Impact, Mitigation and Recommendations

7.1 Description of Proposed Development



Figure 61 - Proposed Dwelling, looking northeast (AEON Design Studio, Inc., 2019)

7.2 Impact

The property is “listed” in the City of Mississauga’s Heritage Register because it is on the City’s Cultural Landscape Inventory (Mineola Neighbourhood), however, the current structure does not retain or contain in attributes of Cultural Heritage Value or Interest (CHVI). Although representative of a vernacular mid-20th century ranch style house, the current structure on the property does not meet the O.Reg. 9/06 criteria for design/physical value, historical/associative value or contextual value.

The property has a deep setback from the road, and there are mature deciduous and conifer trees in the front and rear of the property. There are no sidewalks along the street at the front of the property. All of these features are indicative and representative of the original Mineola Neighbourhood cultural landscape concept. Therefore, the property (the lot, not the structure) is “integral to defining, maintaining or supporting the character of the area” and is “physically and visually linked to its surroundings.”

The Ministry of Heritage, Sport, Tourism and Cultural Industries (MHSTCI) *Info Sheet #5 Heritage Impact Assessments and Conservation Plans* was also reviewed to further assess seven potential negative impacts on the property **landscape** arising from the proposed site redevelopment:²⁸

Destruction of any, or part of any, significant heritage attributes or features.

- ▶ Minimal landscape attributes selected for removal by permit will be monitored through established protocols outlined in the arborist report and tree protection plan.

Alteration that is not sympathetic, or incompatible, with the historic fabric and appearance.

- ▶ All alterations to existing grades through excavation, scraping or movement of construction equipment will be monitored through established protocols outlined in the arborist report and tree protection plan.

Shadows created that alter the viability of a heritage attribute or an associated natural feature or plantings, such as a garden.

- ▶ Not applicable. The size and design of the proposed new dwelling does not alter or interfere with the natural features of the original or proposed landscape alterations.

Isolation of a heritage attribute from its surrounding environment, context or a significant relationship.

- ▶ Not applicable. The proposed landscape alterations will not result in the isolation of attributes will result in isolation from the surrounding environment or context.

Direct or indirect obstruction of significant views or vistas within, from or of built and natural features.

- ▶ The size and design of the proposed new dwelling and landscaping plan meets the required zoning standards and cultural landscape inventory criteria.

²⁸Ministry of Heritage, Sport, Tourism and Cultural Industries, Ontario Heritage Toolkit, *Info Sheet #5 Heritage Impact Assessments and Conservation Plans*, p. 3.

A change in land use where the change in use may impact the property's cultural heritage value or interest;

- ▶ Not applicable. Land use as a single-family residential property remains the same.

Land disturbances such as a change in grade that alters soils and drainage patterns that may adversely affect archaeological or cultural heritage resources.

- ▶ All alterations to existing grades through excavation, scraping or movement of construction equipment will be monitored through established landscape protection protocols outlined in the arborist report and tree protection plan.

7.3 Arborist Report

The arborist report identifies twenty-six permit-sized trees on the subject property. These trees are or located on the property, within the City road allowance adjacent to the property, on adjacent private property (within 6 metres) and within the City road allowance adjacent to a neighbouring property. The majority are boundary trees, particularly in the backyard area. The report further identifies eleven trees that will be impacted by the proposed new dwelling and driveway and that will require a "permit to injure". The report further identifies only three dead trees and one live tree for removal and recommends a City inspection and permit prior to removal. The report also establishes protocols for work impacting all Tree Protection Zones (TPZ) including barriers (hoarding), signage and on-site supervision and documentation of all excavation and/or disturbance areas.²⁹ (See Appendix E – Arborist Report & Tree Protection Plan)

7.4 Mitigation and Recommendations

The proposed redevelopment for the property, with the appropriate setback, general massing and modest style of the structure, and a protection plan sympathetic to the existing property landscape, appears to maintain an awareness of and respect for the original Mineola Neighbourhood cultural landscape concept, and the Cultural Landscape Inventory's identification criteria. Additionally, the redevelopment plan meets or is below the maximum lot and building requirements for the neighbourhood's zoning designation R1-1. (see Appendix A – Page 2)

After a review of the heritage attributes of the property, the current structure at 1365 Stavebank Road does not retain Cultural Heritage Value or Interest. As to the cultural landscape attributes, as long as the arborist report and tree protection plan are an integral part of the overall redevelopment plan, no other mitigation measures are recommended.

All salvageable materials from the original structure should be made available for reuse, such as the hardwood flooring, wood mantelpiece, wood trim, etc.

This HIA represents the documentation of this opinion and should be filed with the City of Mississauga's Heritage Planning Office, the Mississauga Public Library and made available to the public.

²⁹Central Tree Care, Ltd., *Arborist Report □ Construction/Tree Protection, Re: 1365 Stavebank Rd.*, January 13, 2109, pp. 3-6; □Permit to Injure□means the TPZ will be impacted but the tree is expected to survive.

8. References

Maps, Atlases and Plans

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Other

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Underwriters' Survey Bureau Limited, Mississauga Fire Insurance Maps, 1956.

9. Appendices

All appendices on the following pages.

9.1 Appendix A – Proposed Development Site Plans, Floor Plans and Elevations

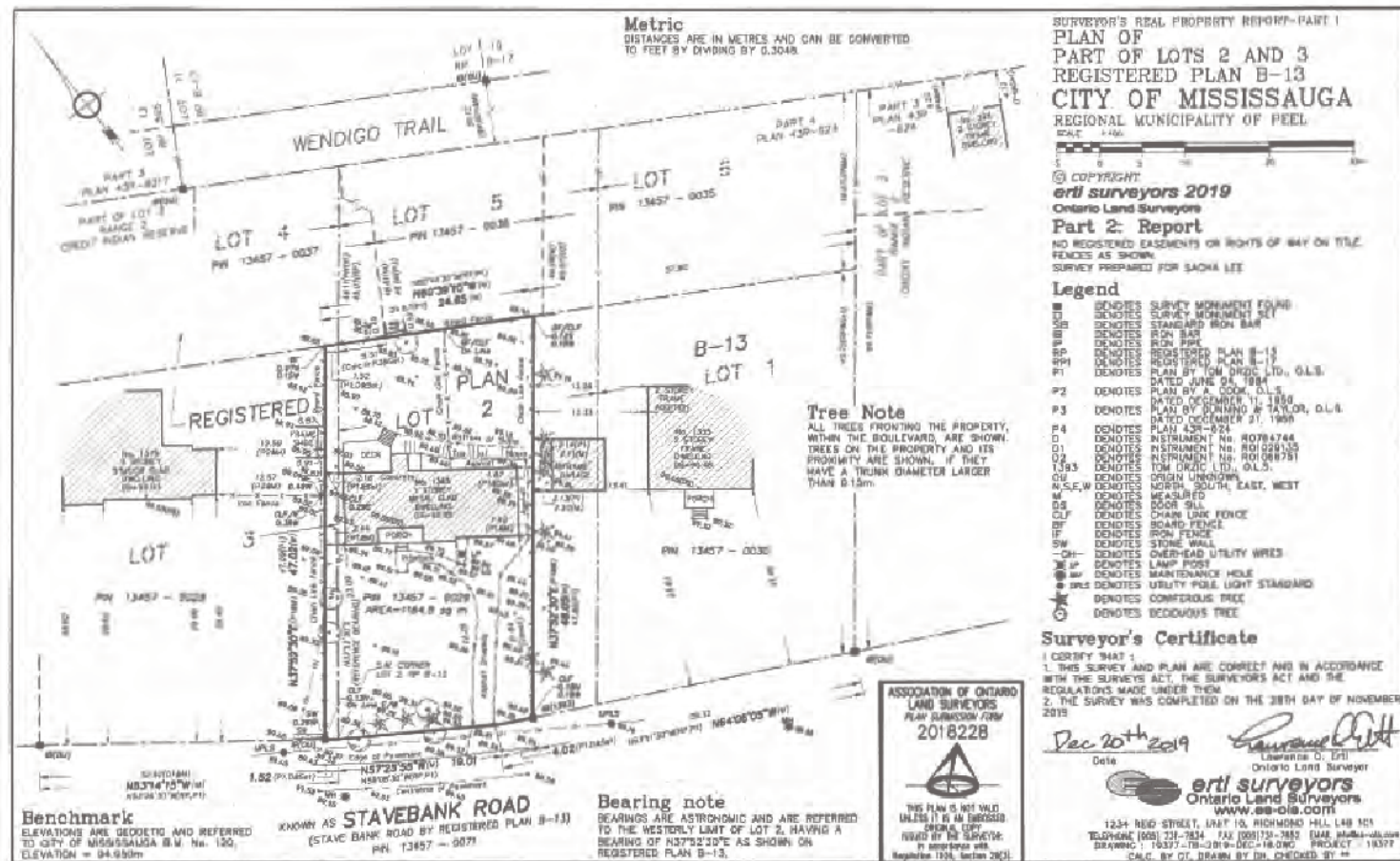


Figure XX Plan of Part of Lots 2 and 3 (ertl surveyors, 2019)



PROPOSED 2 STOREY SINGLE FAMILY DWELLING

1365 STAVEBANK ROAD, MISSISSAUGA, ON

ARCHITECT STRUCTURAL ENGINEER MECHANICAL ENGINEER

Aeon Design Studio Inc.
43 Coleridge Avenue
Toronto, ON M4C 4H4



1365 STAVEBANK ROAD

CONTEXT PLAN
1 : 2000

Sheet List_SPA		
Sheet Number	Sheet Name	Sheet Issue Date
A 001	TITLE SHEET, STATS AND CONTEXT PLAN	14/01/2020
A 002	SITE PLAN	14/01/2020
A 101	BASEMENT FLOOR PLAN	14/01/2020
A 102	GROUND FLOOR PLAN	14/01/2020
A 103	SECOND FLOOR PLAN	14/01/2020
A 104	ROOF PLAN	14/01/2020
A 301	WEST ELEVATION (FRONT)	14/01/2020
A 302	NORTH ELEVATION	14/01/2020
A 303	EAST ELEVATION (REAR)	14/01/2020
A 304	SOUTH ELEVATION	14/01/2020

ZONING REVIEW - Project Summary & Statistics

15-Jan-20

Zoning Designation: R1-1

By LHM 0225-2007

	Reference	Existing	Required	Proposed
Lot Area	4.2.1 (3.1)	1173.2 m ² 12629 ft ²	792 m ² 8573 ft ²	NO CHANGE
Lot Frontage (Minimum)	4.2.1 (4.1)	24.38 m 80 ft	18.0 m 60 ft	NO CHANGE
Lot Coverage	4.2.1 (5.3)	209.7 m ² 2267 ft ²	258.5 m ² 2787 ft ² (0.25)	195.1 m ² 2100 ft ² (0.17)
Gross Floor Area		209.7 m ²	N/A	381 m ²
Ground		209.7 m ²	N/A	175.5 m ²
Second		N/A	N/A	205.5 m ²
Building Setbacks				
Front Yard	4.2.1 (6.1/7)	21.4m	12.6m	12.6m
Rear Yard	4.2.1 (6.1)	14.4m	7.5m	19.6m
Side Yard (North)	4.2.2 (2.2)	1.4m	2.42m	2.42m
Side Yard (South)	4.2.2 (2.2)	1.6m	4.2m	4.40m
Building Depth		11.9m	20m	13.0m
		39'-2"	65.6ft	42'-7"
Building Height	4.2.2 (4.0)	4.7 m	9.5 m	9.5m
Min. Front Yard Landscaping		N/A	40%	31'-2"
Max. Driveway Width	4.1.5 (13)	2.0m	8.5m (At Property Line)	5.0m
Parking Spaces	3.1.2.1 (5.6)	4	2	4
Floor Area				
Basement (Excluded from GFA)		60 ft ²	60 ft ²	
Ground		150.8	150.8	
Second		179.8	179.8	
Total Proposed		312.4	312.4	

AEON DESIGN STUDIO INC.
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info@aeonstudio.com
www.aeonstudio.com

153 - REVISIONS (RECORD) DATE

REVISION TITLE:

TITLE SHEET, STATS AND CONTEXT PLAN

PROJECT TITLE:

1365 STAVEBANK

SCALE:

1" = 2000

PLATT 0001

10/01/2020

AE

15/01/2020

15/01/2020

A 001

Figure 62 - Proposed dwelling, statistics & context plan (AEON Design Studio, Inc., 2019)

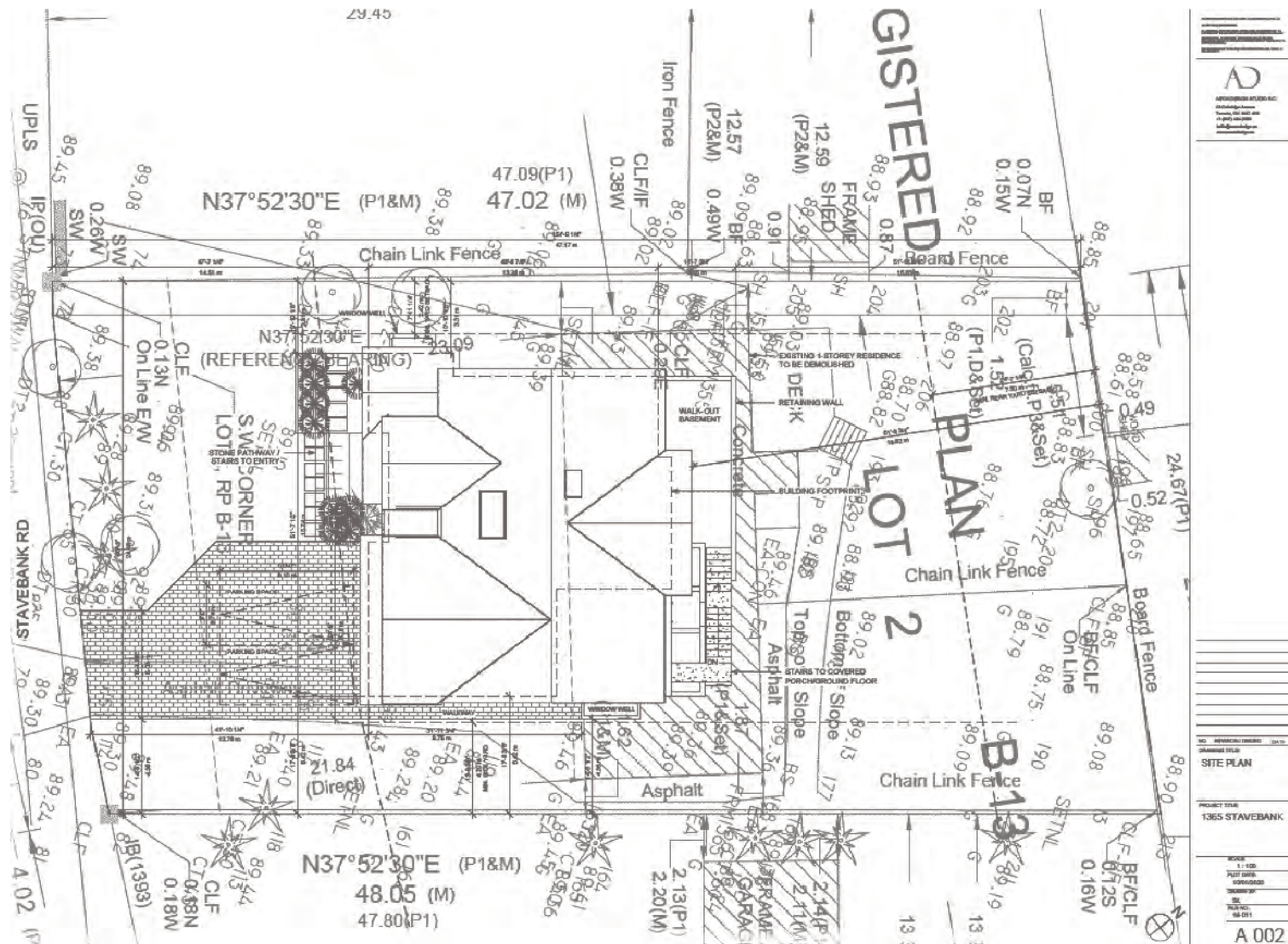


Figure 63 – Proposed Site Plan (AEON Design Studio, Inc., 2019)



Figure 64 - Proposed Front Elevation (West) (AEON Design Studio, Inc., 2019)

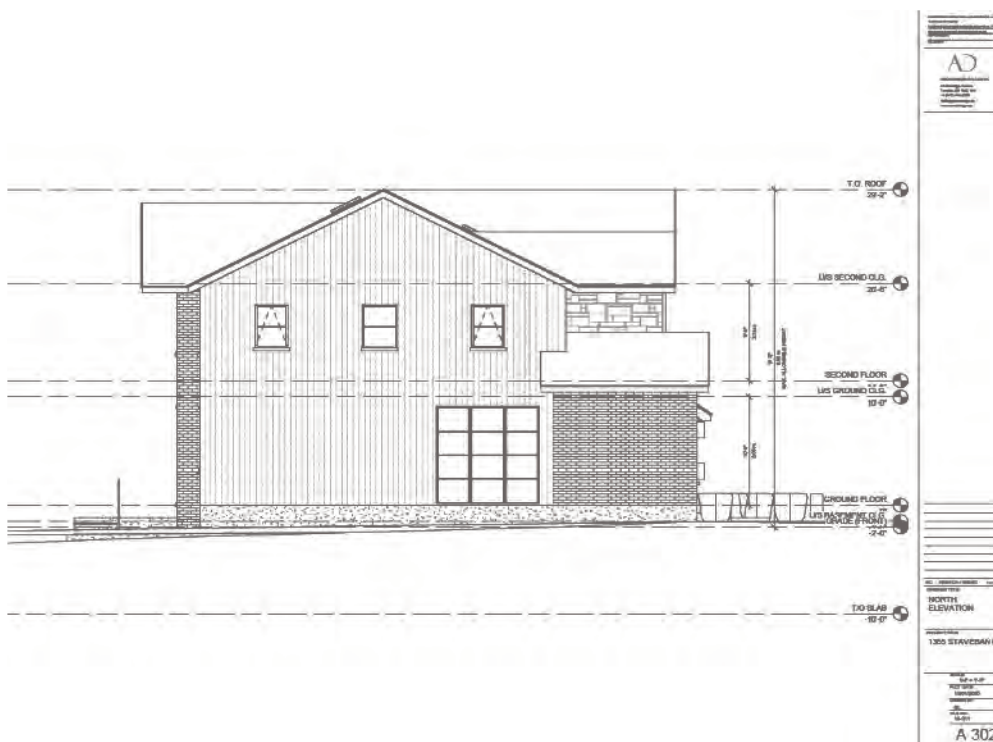


Figure 65 - Proposed North Elevation (AEON Design Studio, Inc., 2019)



Figure 66 - Proposed East Elevation (Rear) (AEON Design Studio, Inc., 2019)

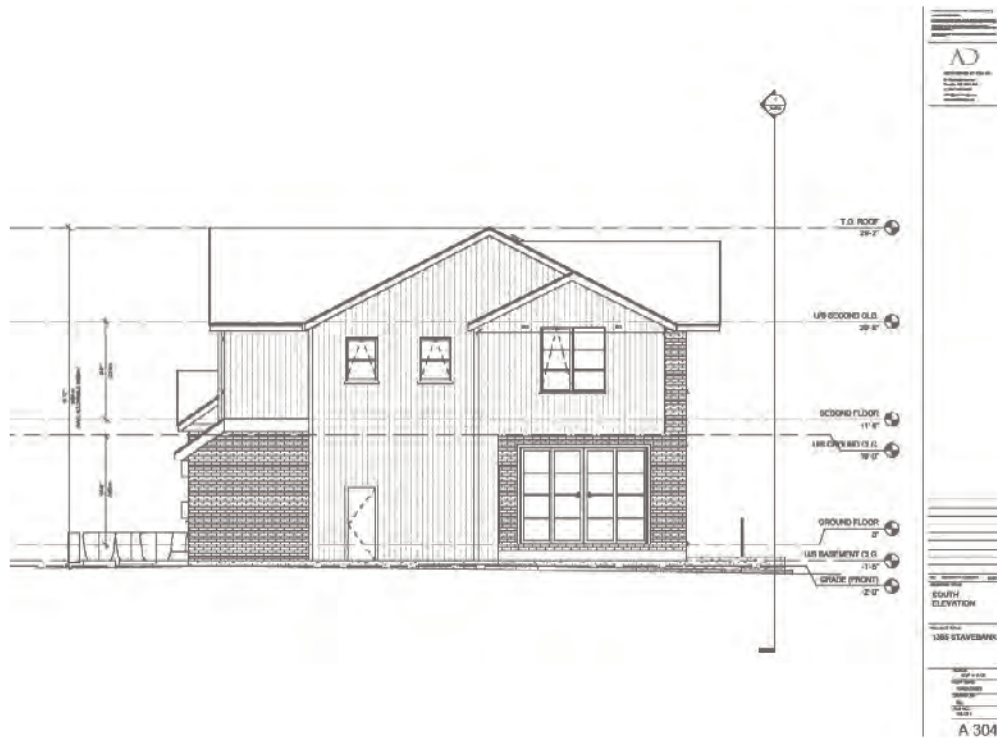


Figure 67 - Proposed South Elevation (AEON Design Studio, Inc., 2019)

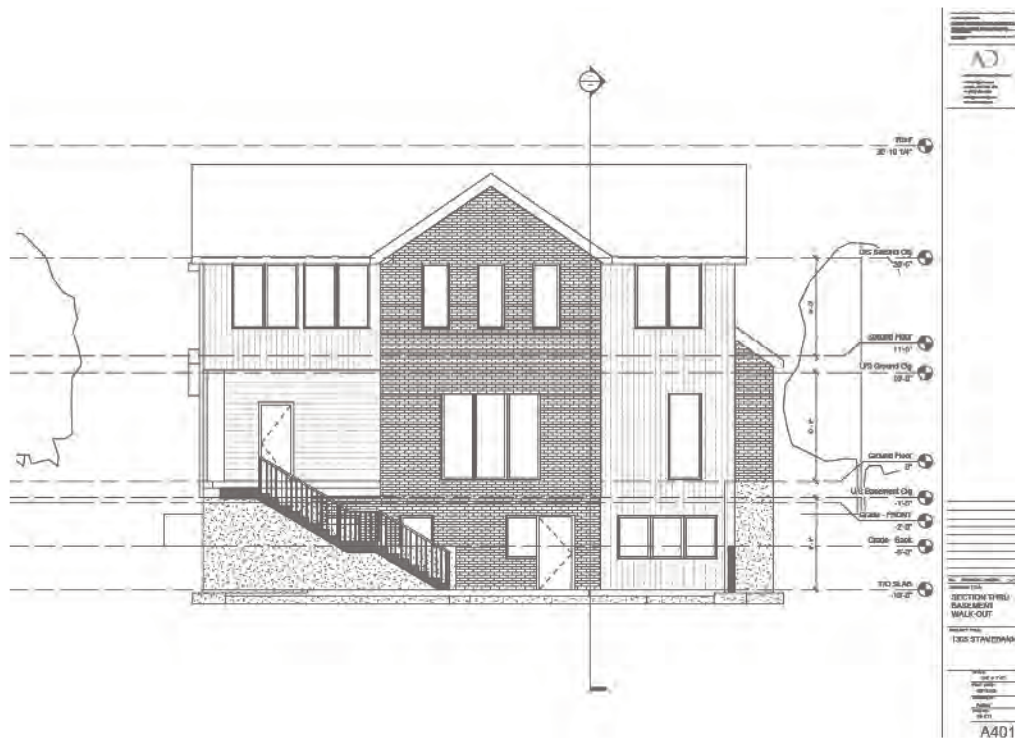


Figure 68 - Proposed Section Thru Basement Walkout (AEON Design Studio, Inc., 2019)

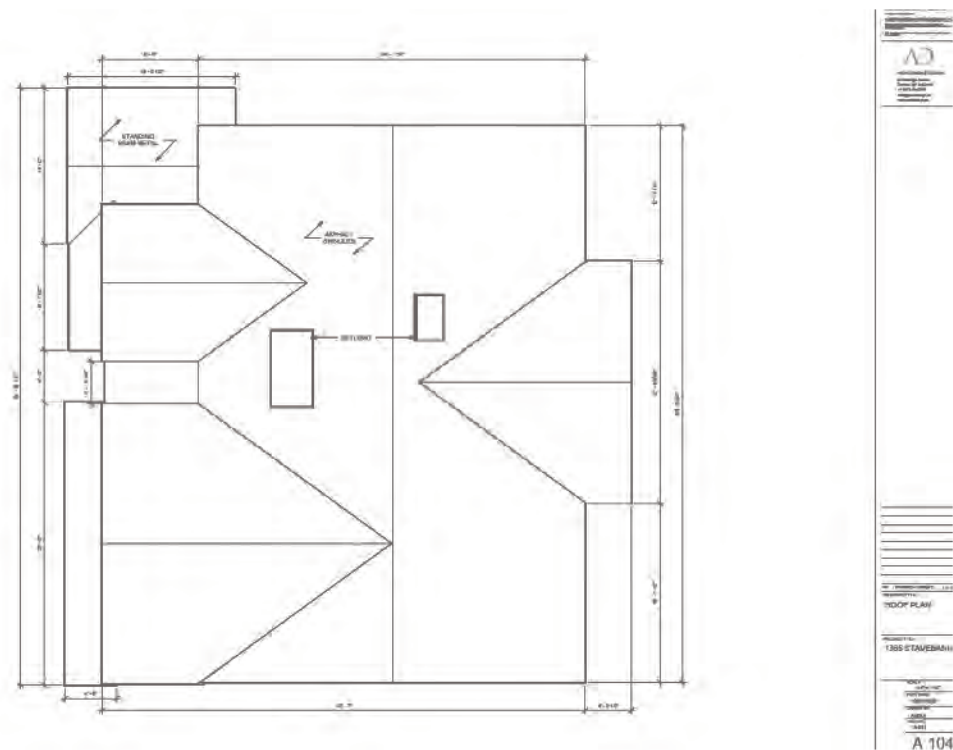


Figure 69 - Proposed Roof Plan (AEON Design Studio, Inc., 2019)



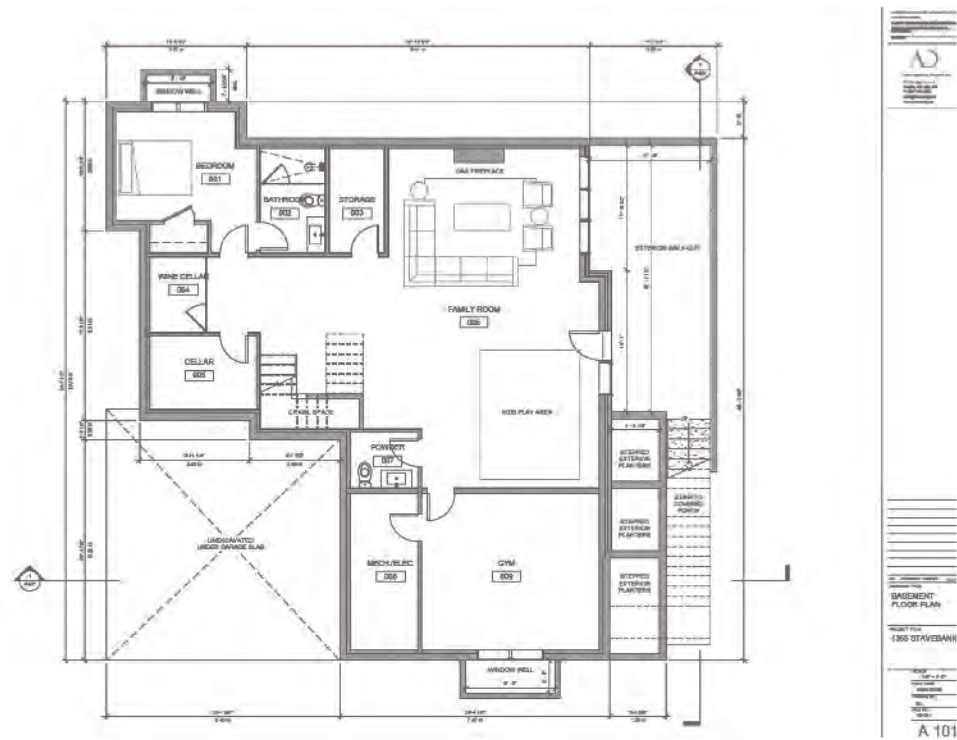


Figure 72 - Proposed Basement Floor Plan (AEON Design Studio, Inc., 2019)

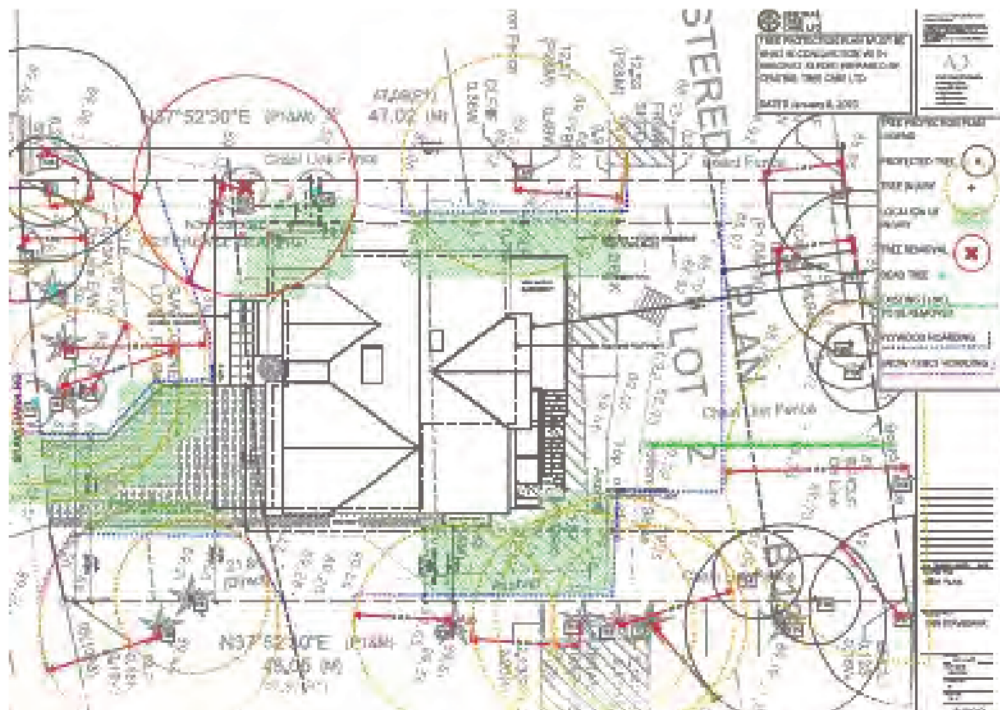


Figure 73 - Proposed Arborist Plan (Central Tree Care Limited, Ltd., January 2019)

9.2 Appendix B – Property Ownership – Plan B13 PT Lot 2,3 (1365 Stavebank Road)

Instrument	Date	Grantor	Grantee	Consideration	Remarks
Patent	1855	Crown	Robert Cotton		Lot 3 CIR 2
After this date, Cotton began to sell off portions of Lot 3. In 1859, Robert and James Cotton still owed Lot 3. By 1877, maps indicate that Dr. Beaumont Dixie held title to the portion of Lot 3 north of what is now Stavebank Road. It is difficult to determine the ownership and what part Lot 3 became the current Lot 2 (1365 Stavebank Road) until March 1913.					
B&S	March 14, 1913	Kenneth Skinner, et.ux.	Annie A. Innes	\$2000.00	All &O.L.
B&S	January 29, 1914	Annie A. Innes	William C.C. Innes	\$1.00	All &O.L.
B&S	May 13, 1919	William C.C. Innes, et. ux.	Sarah A. Lee	\$975.00	Wly 75'
Grant	July 15, 1927	Sarah A. Lee	Dorothy E. Clarke	\$1400.00	Wly 75'
Grant	November 5, 1941	William C.C. Innes, et. ux.	Florence M. Roberts	\$4000.00	SEly 25' & O.L.
Agree't. For Sale	July 24, 1945	Florence M. Roberts	Caswell W. McLean	\$11,300.00	SE 25' & O.L.
Grant	November 21, 1947	Florence M. Roberts	Caswell W. MacLean & Sophie K. MacLean, as Joint Tenants	\$11,300.00	SE 25' & O.L.
Grant	July 11, 1949	Edith D. Clarke, Sometimes known as Dorothy E. Clarke	Felix Davies	\$2,000.00	Wly 75' & O.L.
426 BY-LAW 1 June/54 9 June/54 Re SUBDIV. CONTROL					
Grant	March 25, 1953	Felix Davies, et. ux	Winnifred C. Davies	\$18,000.00	Wly 75' & O.L.
Grant	June 1, 1956	Caswell W. MacLean & Sophie K. MacLean	John B. Somerset, Et. al, Extrs. Of William B, Somerset Est.	\$18,000.00	SE 25' & O.L.
Bar of Power	January 15, 1959	Jean Somerset	Donald A. Dobson	\$1.00	SE 25' & O.L.
Grant	December 19, 1958	John B. Somerset, Et. al, Extrs. Of William B, Somerset Est.	Donald A. Dobson	\$1.00 & c.	SE 25' & O.L Treasurer's consent endorsed
Grant	May 12, 1960	Walter S. Dunford, et. ux.	Frank C. Knott & Margaret B. Knott as joint tenants	\$2.00 & c.	SE 25' & O.L.
Grant	May 17, 1966	Donald A. Dobson, et. ux.	Thomas E. Dubois & Audrey M. Dubois as joint tenants	\$1.00 & c.	Wly 75' & O.L..
Grant	May 27, 1977	Thomas E. Dubois & Audrey M. Dubois as	Thomas A. Healy & Rita J. Healy as joint tenants	\$2.00 & c.	Wly 75' & O.L..
Grant	July 4, 1984	Thomas A. Healy Rita J. Healy	David N. Talbot Rachel Talbot As J.T.		Wly 75' & O.L..

9.3 Appendix C City of Mississauga Cultural Heritage Landscape Terms of Reference and Inventory

See the following pages



Cultural Landscape Heritage Impact Assessment (HIA) Terms of Reference

1. Introduction

The City of Mississauga adopted a Cultural Landscape Inventory in 2005. Cultural landscapes include neighbourhoods, roadways, waterways and more. The Cultural Landscape Inventory is available online at http://www5.mississauga.ca/pdfs/Cultural_Landscape_Inventory_Jan05.pdf.

All of the properties listed on the Cultural Landscape Inventory are listed on the City's Heritage Register. In compliance with the City's policy 7.4.1.12, as stated below, the City of Mississauga seeks to conserve, record, and protect its heritage resources:

*7.4.1.12: The proponent of any construction, development, or property alteration that might adversely affect a listed or designated cultural heritage resource or which is proposed adjacent to a cultural heritage resource will be required to submit a **Heritage Impact Assessment**, prepared to the satisfaction of the City and other appropriate authorities having jurisdiction.*

These cultural heritage resources include properties identified on the City's Heritage Register as being part of Cultural Landscapes.

A Heritage Impact Assessment is a study to determine the impacts to known and potential heritage resources within a defined area proposed for future development. The study would include an inventory of all heritage resources within the planning application area. The study results in a report which identifies all known heritage resources, an evaluation of the significance of the resources, and makes recommendations toward mitigation measures that would minimize negative impacts to those resources. A Heritage Impact Assessment will be required on a property which is listed on the City's Heritage Register, a property designated under the *Ontario Heritage Act*, or where development is proposed adjacent to a known heritage resource. The requirement may also apply to unknown or recorded heritage resources which are discovered during the development application stage or construction.¹

¹ For the definition of "development," please refer to the Mississauga Official Plan.

2. General Requirements include:

- A location map
- A site plan drawing/survey of existing conditions, to include buildings, structures, roadways, driveways, drainage features, trees and tree canopy, fencing, and topographical features
- A written and visual inventory (legible photographs □we suggest no more than two per page) of all elements of the property that contribute to its cultural heritage value, including overall site views. For buildings, internal and external photographs and measured floor plans to scale are also required. Please note that due to the Freedom of Information and Protection of Privacy Act, photographs should not contain people or highlight personal possessions. The purpose of the photographs is to capture architectural features and building materials.
- A site plan drawing and elevations of the proposed development
- For cultural landscapes or features that transcend a single property, a streetscape measured drawing is required, in addition to photographs of the adjacent properties
- Qualifications of the author completing the report
- Two hard copies and a PDF

The City reserves the right to require further information, or a full HIA. These terms of reference are subject to change without notice.

3. Addressing the Cultural Landscape or Feature Criteria

Cultural Heritage Landscape Inventory Heritage Impact Assessments must demonstrate how the proposed development will conserve the criteria that render it a cultural heritage landscape and/or feature. Each cultural heritage landscape and feature includes a checklist of criteria. The Heritage Impact Assessment need only address the checked criteria for the pertinent cultural heritage landscapes or features. (Please note: some properties constitute more than one cultural heritage landscape.) Criteria include the following:

Landscape Environment

- scenic and visual quality
- natural environment*
- horticultural interest
- landscape design, type and technological interest

Built Environment

- aesthetic/visual quality
- consistent with pre World War II environs
- consistent scale of built features
- unique architectural features/buildings
- designated structures

Historical Associations

- illustrates a style, trend or pattern

- direct association with important person or event
- illustrates an important phase of social or physical development
- illustrates the work of an important designer

Other

- historical or archaeological interest**
- outstanding features/interest
- significant ecological interest
- landmark value

Descriptions of these criteria are available in the Cultural Landscape Inventory document (pages 13 to 16).

*For cultural landscapes or features noted for their **natural environment** (i.e. checked off in the Cultural Landscape Inventory document), and when also required as part of the Planning process, a copy of a certified arborist's report will be included as part of the scope of the Heritage Impact Assessment.

For cultural landscapes or features noted for their **archaeological interest (i.e. checked off in the Cultural Landscape Inventory document), and when also required as part of the Planning process, a stage 1 archaeological assessment is required.

4. Property Information

The proponent must include a list of property owners from the Land Registry office. Additional information may include the building construction date, builder, architect/designer, landscape architect, or personal histories. However, please note that due to the Freedom of Information and Protection of Privacy Act current property owner information must NOT be included. As such, Heritage Planning will request that current property owner personal information be redacted to ensure the reports comply with the Act.

5. Impact of Development or Site Alteration

An assessment identifying any impact the proposed development or site alteration may have on the cultural heritage resource(s). Negative impacts on a cultural heritage resource(s) as stated in the *Ontario Heritage Tool Kit* include, but are not limited to:

- Destruction of any, or part of any, significant heritage attributes or features
- Removal of natural heritage features, including trees
- Alteration that is not sympathetic, or is incompatible, with the historic fabric and appearance
- Shadows created that alter the appearance of a heritage attribute or change the viability of an associated natural feature, or plantings, such as a garden
- Isolation of a heritage attribute from its surrounding environment, context or a significant relationship

- Direct or indirect obstruction of significant views or vistas within, from, or of built and natural features
- A change in land use where the change in use negates the property's cultural heritage value
- Land disturbances such as change in grade that alter soils, and drainage patterns that adversely affect cultural heritage resources

The proponent must demonstrate how the new proposed built form reflects the values of the identified cultural landscape and its characterizations that make up that cultural landscape.

6. Mitigation Measures

The Heritage Impact Assessment must assess alternative development options and mitigation measures in order to avoid or limit the negative impact on the cultural heritage resources. Methods of minimizing or avoiding negative impact on cultural heritage resources, noted by the Ministry of Culture, include but are not limited to the following:

- Alternative development approaches
- Isolating development and site alteration from the significant built and natural heritage features and vistas
- Design guidelines that harmonize mass, setback, setting and materials
- Limiting height and density
- Allowing only compatible infill and additions
- Reversible alterations

These alternate forms of development options presented in the Heritage Impact Assessment must be evaluated and assessed by the heritage consultant writing the report as to the best option to proceed with and the reasons why that particular option has been chosen.

7. Qualifications

The qualifications and background of the person completing the Heritage Impact Assessment will be included in the report. The author must be a qualified heritage consultant by having professional standing with the Canadian Association of Heritage Professionals (CAHP) and/or clearly demonstrate, through a Curriculum Vitae, experience in writing such Assessments or experience in the conservation of heritage places. The Assessment will also include a reference for any literature cited, and a list of people contacted during the study and referenced in the report.

8. Recommendation

The heritage consultant must provide a recommendation as to whether the subject property is worthy of heritage designation in accordance with the heritage designation criteria per Regulation 9/06, *Ontario Heritage Act*. Should the consultant not support heritage designation then it must be clearly stated as to why the subject property does not meet the criteria as stated in Regulation 9/06.

The following questions must be answered in the final recommendation of the report:

- Does the property meet the criteria for heritage designation under Ontario Regulation 9/06, *Ontario Heritage Act*?
- If the subject property does not meet the criteria for heritage designation then it must be clearly stated as to why it does not
- Regardless of the failure to meet criteria for heritage designation, does the property warrant conservation as per the definition in the Provincial Policy Statement:
☐ **Conserved:** means the identification, protection, use and/or management of cultural heritage and archaeological resources in such a way that their heritage values, attributes and integrity are retained. This may be addressed through a conservation plan or heritage impact assessment. ☐

Please note that failure to provide a clear recommendation as per the significance and direction of the identified cultural heritage resource will result in the rejection of the Heritage Impact Assessment.

9. Approval Process

Two copies of the Heritage Impact Assessment will be provided to Heritage staff, along with a PDF version. Hard copies must be no larger than 11 x 17 inches. Staff will ensure that copies are distributed to the Planning and Building Department and relevant staff and stakeholders within the Corporation. The Heritage Impact Assessment will be reviewed by City staff to determine whether all requirements have been met and to evaluate the preferred option(s). The applicant will be notified of Staff's comments and acceptance, or rejection of the report. The Heritage Impact Assessment may be subject to a peer review by a qualified heritage consultant at the owner's expense.

All Heritage Impact Assessments will be sent to the City's Heritage Advisory Committee for information or review. Reports will be published online.

An accepted Heritage Impact Assessment will become part of the further processing of a development application under the direction of the Planning and Building Department. The recommendations within the final approved version of the Heritage Impact Assessment will be incorporated into development related legal agreements between the City and the proponent at the discretion of the municipality.

10. References

Applicants seeking professional assistance may wish to refer to the Canadian Association of Heritage Professionals website: <http://www.cahp-acecp.ca/>

Interpretation Services: <http://www.mississauga.ca/portal/cityhall/languages>

For more information on Heritage Planning at the City of Mississauga, visit us online at www.mississauga.ca/heritageplanning.

Mineola Neighbourhood

L-RES-6

Location Located north of Lakeshore Road bounded by the Credit River on the west and Hurontario on the east

Heritage or Other Designation None

Landscape Type Residential (Neighbourhood)

LANDSCAPE ENVIRONMENT

- ☒ Scenic and Visual Quality
- ☒ Natural Environment
- ☐ Horticultural Interest
- ☒ Landscape Design, Type and Technological Interest

HISTORICAL ASSOCIATION

- ☒ Illustrates Style, Trend or Pattern
- ☐ Direct Association with Important Person or Event
- ☒ Illustrates Important Phase in Mississauga's Social or Physical Development
- ☐ Illustrates Work of Important Designer

BUILT ENVIRONMENT

- ☒ Aesthetic/Visual Quality
- ☐ Consistent Early Environs (pre-World War II)
- ☒ Consistent Scale of Built Features
- ☐ Unique Architectural Features/Buildings
- ☐ Designated Structures

OTHER

- ☐ Historical or Archaeological Interest
- ☐ Outstanding Features/Interest
- ☒ Significant Ecological Interest
- ☐ Landmark Value



**Mineola Neighbourhood****L-RES-6****SITE DESCRIPTION**

Mineola was developed before it became standard practice to regrade top soil into large piles in the early twentieth century, level every nuance of natural topography and engineer the complete stormwater drainage system artificially. In Mineola a road system was gently imposed on the natural rolling topography of the Iroquois Plain; homes were nestled into slightly larger lots and natural drainage areas were retained. This provided greater opportunity to save existing trees and because the soils and drainage system were minimally impacted, provided fertile ground for the planting of new vegetation, the natural regeneration of native trees and landscaping of the residential landscapes. What has evolved today is a wonderful neighbourhood with a variety of quality housing stock and a rich stimulating landscape that blends the houses with their natural and manicured surroundings. There are no curbs on the roads which softens the transition between street and front yards. The roads wind, rise and fall with the natural topography and houses sit often at odd angles to take advantage of slopes and the location of large trees. A gradual infilling has increased the density over the years and care must be taken to ensure that this does not, in the end, ruin the very quality and character that makes this neighbourhood so appealing and attractive. Of the many neighbourhoods in Mississauga, the Mineola neighbourhood stands out as one of the most visually interesting and memorable. As is often the case, when new development is balanced with the protection of the natural environment, a truly livable and sustainable community evolves. Mineola is an excellent example of this type of community.



9.4 Appendix D – Resume for Heritage Consultants

W. Wilson West PhD CAHP

48 Braemar Avenue, Upper
Toronto, Ontario | M5P 2L2
1 (416) 694-5684 (o) | 1 (416) 316-3726 (c)
wwilsonwest@gmail.com
www.westhallheritage.com

Selected Professional Experience

- | | |
|--------------------|--|
| Current | <i>Principal Consultant</i>
<i>WestHall Heritage Research & Consulting (WHRC), Toronto, Ontario</i> <ul style="list-style-type: none">• WHRC provides heritage resource management services to federal, provincial, state and local agencies, and the private sector, in Canada and the United States.• WHRC offers heritage preservation planning guidance of all types, including research, documentation, analysis and report preparation for the management of significant cultural resources.• WHRC has developed, researched, and written heritage preservation studies for the U.S. Navy, the U.S. National Park Service, the states of Alabama, Georgia and Virginia, the Province of Ontario, municipalities, and not-for-profit organizations. |
| 2017-2018 | <i>Senior Historian</i>
<i>Letourneau Heritage Consulting, Kingston, Ontario</i> <ul style="list-style-type: none">• Project Lead for the Development of a Strategic Conservation Plan for Ontario Place• Co-Project Lead for the development of a Heritage Impact Assessment for the Village of Brooklin, Ontario• Historical research and evaluation• Writing and editing of cultural heritage management reports• Technical support to senior staff and project managers |
| 2014 – 2016 | <i>Culture Services Advisor/Cultural Consultant</i>
<i>Programs and Services Branch / Program Planning and Delivery Unit</i>
<i>Ministry of Tourism, Culture and Sport, Toronto, Ontario</i> <ul style="list-style-type: none">• Project leadership and coordination for the development of program evaluation and accountability for implementation across government.• Conducting research and environmental scans for best practices of compliance and performance metrics, theories and implementation practices.• Development of quantitative and qualitative compliance metrics, related to performance objectives, outcomes and indicators.• Design of methodology for data collection and analysis.• Creation of associated reporting templates, and development and implementation of a data review regime for team members.• Organization and facilitation of consultations with stakeholders on framework implementation plan.• Design and preparation of content and data visualization for the report to the Management Board of Cabinet and Minute on the implementation of and |

compliance with the Standards and Guidelines for Conservation of Provincial Heritage Properties.

- Preparation and presentation of briefing materials for senior management, Deputy Minister's Office, Minister's Office and Management Board of Cabinet for the report approvals process.
- Met and often exceeded extremely tight deadlines.

2007 □ 2012 *Policy/Program Advisor*

Office of the Fairness Commissioner (OFC)

Ministry of Citizenship and Immigration, Toronto, Ontario

- Development and management of relationships with a portfolio of regulatory bodies and advised on the implementation of the legislation, associated regulations and reporting requirements.
- Preparation of briefing notes, presentation materials, correspondence for the Commissioner, Executive Director and others as required.
- Preparation and presentation of findings, reports and supporting documents for approval for proposed project/program initiatives.
- Chaired and/or acted as a member of stakeholder committees.
- Establishment of a network of contacts within and outside the regulatory community and liaised with government ministries and other stakeholders on issues related to the regulated professions.
- Design and preparation of content and data visualization for OFC Annual Report.
- Subject matter expert and primary contact in response to public inquiries and/or complaints regarding professional licensing practices.
- Met and often exceeded extremely tight deadlines.

2005 □ 2007 *Policy Advisor*

Heritage and Libraries Branch / Culture Policy Unit

Ministry of Culture, Toronto, Ontario

- Professional and technical advice to ministry offices, stakeholders and other preservation groups related to the 2005 amendments to the Ontario Heritage Act.
- Project Lead for the development and implementation of regulations and guidelines for the protection and preservation of Ontario's marine heritage resources. This included background research, criteria determination and site selection for the development of a list of marine archaeological resources selected for special protection.
- Preparation of discussion guides for stakeholder feedback.
- Preparation of briefing notes, presentation materials and responses to correspondence for senior management team.
- Coordination a series of stakeholder consultations related to site selection, licensing, and other regulatory controls involving federal, provincial, territorial, and local agencies and interested parties.
- Compiled and analyzed feedback, reported consultation results, and made recommendations to senior management and the Minister.
- This work resulted in the establishment of O. Reg. 11/06, Ontario's first marine protected areas for the wreck sites of the USS *Hamilton* and USS *Scourge* in Lake Ontario and the SS *Edmund Fitzgerald* in Lake Superior.
- Met and often exceeded extremely tight deadlines.

1989 □ 1994 *Senior Researcher*

**House Library, Office of the Clerk, U. S. House of Representatives,
Washington, DC**

- Assistance to Members of Congress and their staffs with research related to the legislative histories of bills and public and private laws.
- Research assistance for the Office of the Clerk related to the administration of the House.
- Maintenance of the library's collection of documents including public laws, statutes, bills, House and Senate committee reports, and the Congressional Record.
- Oversaw the yearly process of binding of the Congressional Record for library use and archival storage.
- Response to public inquiries related to all aspects of the history and operation of Congress.

**1983-1989 *Director/Curator/Assistant Curator*
U.S. Navy Museum System**

- Directed the planning, design and fabrication of permanent and temporary museum exhibits related to the history of regional naval establishments in Virginia, Rhode Island and Connecticut.
- Developed and managed museum collections policy and provided professional assessment and evaluations of prospective acquisitions.

Education

2003 **PhD** in History (Maritime, Naval, Military)
The University of Alabama, Tuscaloosa, AL

1985 **MA** in History (American, Maritime, Naval)
East Carolina University, Greenville, NC

1978 **BA** in Anthropology (Archaeology), History minor.
East Carolina University, Greenville, NC

Professional Memberships

- iv. Member □ Canadian Association of Heritage Professionals
 - v. Member - North American Society for Oceanic History
 - vi. Member - Canadian Nautical Research Society
 - vii. Fellow International - The Explorers Club □ Canadian Chapter
- Member □ The Arts & Letters Club of Toronto

Additional Training

Ontario Ministry of Labour □ *Worker Health and Safety Awareness*

St. John Ambulance Canada □ *Creating a Safe Workplace*

St. John Ambulance Canada □ *Workplace Hazardous Materials Information System 2015*

St. John Ambulance Canada □ *Standard First Aid* □ *CPR C* □ *AED*

OPS Innovation & Leadership Course: *The Circle Game* □ *360 Evaluations that Support Policy and Program*

OPS Centre for Leadership and Learning Course: *Conflict Resolution*

9.5 Appendix E – Arborist Report

See the following pages

January 13, 2019

Community Services Department, Forestry Section

950 Burnhamthorpe Road West
Mississauga, ON L5C 3B4
T 905-615-4311
F 905-615-3098
E aaron.schmidt@mississauga.ca

Aeon Design Studio Inc.

Attn: Sacha Lee
43 Coleridge Ave.
Toronto, ON M4C 4H4
T (647) 484-2350 x 1
E sacha@aeondesign.ca

Re: 1365 Stavebank Rd.

Arborist Report – Construction/Tree Protection

Central Tree Care Ltd. has been retained by Aeon Design Studio Inc. to provide a professional arborist report for the proposed construction at 1365 Stavebank Rd.

The nature of the work includes demolishing the existing single-storey detached dwelling and driveway, to build the proposed two storey detached dwelling with a larger foundation footprint, and larger driveway footprint.

To facilitate the proposed construction, the following permit-sized trees will be affected:

	Privately-Owned	Privately-Owned Neighbouring / Boundary Trees	City-Owned Trees
Injury	3	8	-
Removal	-	1	-
Exemption	-	-	-

This arborist report and the attached Tree Protection Plan assume that *no additional permit sized trees will be injured or removed.*

LIMITATIONS

Inspection of the trees on site was limited to a visual assessment from the ground only. No inspection via climbing, exploration below grade, probing, or coring were conducted, unless stated otherwise. Any observations and data collected from site are based on conditions at the time of inspection. Diameters of trees located on neighbouring properties were estimated to avoid trespassing. It must be noted that trees are living organisms and their conditions are subject to change.

This report was completed using the following document labelled, SITE PLAN, 1365 STAVEBANK, A002, Dated 18/11/2019
If there are any changes to the noted site plan or a new landscape has been proposed, the consulting arborist must be notified immediately. It is the assumption that no further work, other than what has been presented above list, has been proposed.

TREE INVENTORY

Permit-sized trees located on and within the 6.0m work area were inspected on November 21, 2019.

Tree #	Common	Scientific	Health	Structure	DBH (cm)	TPZ (m)	Drip Line (m)	Category #	Assessment	Comments
1	White Elm	<i>Ulmus americana</i>	Good	Good	16	2.4	3	1	Healthy	Protected
2	Crab Apple	<i>Malus sp.</i>	Fair	Fair	28	3.6	5	3	Large deadwood throughout canopy, hydro cut back,	Protected
3	Norway Spruce	<i>Picea pungens</i>	Dead	Dead	32.5	4.2	3	1	Dead	Exemption
4	Norway Spruce	<i>Picea pungens</i>	Good	Good	64.5	7.8	6	1	Healthy, hydro cut back	Injury, Permit to Injure required
5	White Elm	<i>Ulmus americana</i>	Good	Good	32	4.2	5	1	Epicormic growth on main stem	Injury, Permit to Injure required
6	Norway Spruce	<i>Picea pungens</i>	Fair	Fair/Poor	54	6.6	4	1	10meter vertical seam, 12cm wide starting at grade, large deadwood throughout canopy, hydro cut-back	Injury, Permit to Injure required
7	Crab Apple	<i>Malus sp.</i>	Dead	Dead	19	2.4	3	3	City to inspect – Dead Hazardous	Dead
8	Norway Spruce	<i>Picea pungens</i>	Good	Good	~55	6.6	5	2	Healthy, hydro cut back	Injury, Permit to Injure required
9	Yew	<i>Taxus sp.</i>	Good	Good	~32	4.1	5	1	Semi sparse canopy with minor deadwood throughout	Injury, Permit to Injure required
10	Norway Spruce	<i>Picea pungens</i>	Fair	Fair	~45	5.4	5	2	Lifted 11 meters, sparse canopy with minor deadwood throughout, poor live canopy ratio	Injury, Permit to Injure required
11	Norway Spruce	<i>Picea pungens</i>	Fair	Fair	~48	6	5	2	Lifted 11 meters, sparse canopy with minor deadwood throughout, 2 meters vertical seam on stem	Injury, Permit to Injure required
12	Norway Spruce	<i>Picea pungens</i>	Good	Good	~55	6.6	7.5	2	Lift 10 meters, Healthy	Injury, Permit to Injure required
13	Norway Spruce	<i>Picea pungens</i>	Good	Good	~45	5.4	5.5	2	Lift 10 meters, Healthy	Injury, Permit to Injure required
14	Mulberry	<i>Morus alba</i>	Good	Good	16	2.4	4.5	1	Healthy	Protected
15	Norway Spruce	<i>Picea pungens</i>	Good	Fair	~45	5.4	5	2	Lifted 11 meters, sparse canopy with minor deadwood throughout, poor live canopy ratio	Protected
16	Yew	<i>Taxus sp.</i>	Good	Good	~16	2.4	4	1	Sparse, minor deadwood throughout, stem in conflict with fence	Protected
17	Norway Spruce	<i>Picea pungens</i>	Good	Good	~45	5.4	5	2	Lift 8 meters, Healthy	Protected
18	Silver Maple	<i>Acer saccharinum</i>	Good	Good	~85	10.2	7	2	Lifted 10meters, basal area with sucker growth and many burls	Injury, Permit to Injure required
19	Manitoba Maple	<i>Acer negundo</i>	Good	Good	19	2.4	8	1	Heavy lean west, suckering	Protected
20	White Elm	<i>Ulmus americana</i>	Good	Good	20.5	2.4	5	1	Minor deadwood throughout canopy, crossing limbs, suppressed	Protected
21	Norway Maple	<i>Acer platanoides</i>	Fair	Fair	~22, ~39	4.8	7	2	Lifted 3 meters, poor responsive growth on old cuts, included bark, minor deadwood through out	Protected
22	Norway Maple	<i>Acer platanoides</i>	Fair	Poor	~37	4.8	7	2	Mature target canker on main stem, epicormic growth, sparse canopy	Protected
23	Norway Spruce	<i>Picea pungens</i>	Fair	Fair	~50	6	6	2	Ivy and grape vine through out stem and some canopy, minor die back throughout canopy, sparce	Injury, Permit to Injure required
24	Crab Apple	<i>Malus sp.</i>	Dead	Dead	~17, ~19.5	2.4	4	1	Dead, grape vine throughout	Exemption
25	Black Locust	<i>Robina pseudoacacia</i>	Fair	Fair/Poor	48.5, 49.5	6	8	1	2 stem main union soil cavity with rot present, Large deadwood throughout canopy, multiple branch failures	Remove, permit required

Tree #	Common	Scientific	Health	Structure	DBH (cm)	TPZ (m)	Drip Line (m)	Category #	Assessment	Comments
26	Norway Spruce	<i>Picea pungens</i>	Good	Good	~48	6	6	2	Hydro cut back, minor deadwood throughout canopy, semi sparse	Protected

* Tree was plotted to an approximate location. If there are any disputes over the tree's location, an official survey will be required.

- Category #:
0. Tree NOT regulated under City of Mississauga by-laws
 1. Trees with diameters of 15cm or more, situated on private property on the subject site.
 2. Trees with diameters of 15cm or more, situated on private property, within 6m of subject site.
 3. Trees of all diameters situated within the City road allowance adjacent to the subject site.
 4. Trees of all diameters situated within the City road allowance adjacent a neighbouring property

DISCUSSION

Please refer to "Recommendations" section for further details on tree preservation and how to conduct work within a Tree Protection Zone (TPZ).

Trees to be Protected (T1, T2, T14, T15, T16, T17, T19, T20, T21, T22, T26) The listed trees are not impacted by the proposal and are fully protected. **Hoarding is to be constructed prior to the start of construction.**

Trees that are Dead (T3, T24) The listed trees are completely dead, and the property owner would like to have them assessed as candidates for exemption.

Trees to be Injured (T4, T5, T6, T8, T9, T10, T11, T12, T13, T18, T23). **Permit to injure required.**

All proposed injuries except for T18, require Arborist Supervision when the work is performed. **Excavation required for the installation of the proposed dwelling foundation within the TPZ of trees shall be by hand and supervised by an Arborist.** Supervision is required to ensure roots are pruned properly and that no heavy machinery is used within the TPZ. **No heavy machinery shall be used within the TPZ of any tree on site**, except for parking vehicles on the existing or proposed driveway. The **removal of the driveway and asphalt walkway** areas, that encroach into TPZs **shall be performed by hand.**

T4, T5, T6, T8, T9 – The listed trees require a permit to injure because the proposed driveway removal and installation of a new expanded driveway, encroach into the TPZ of these trees. **Permit to injure required.**

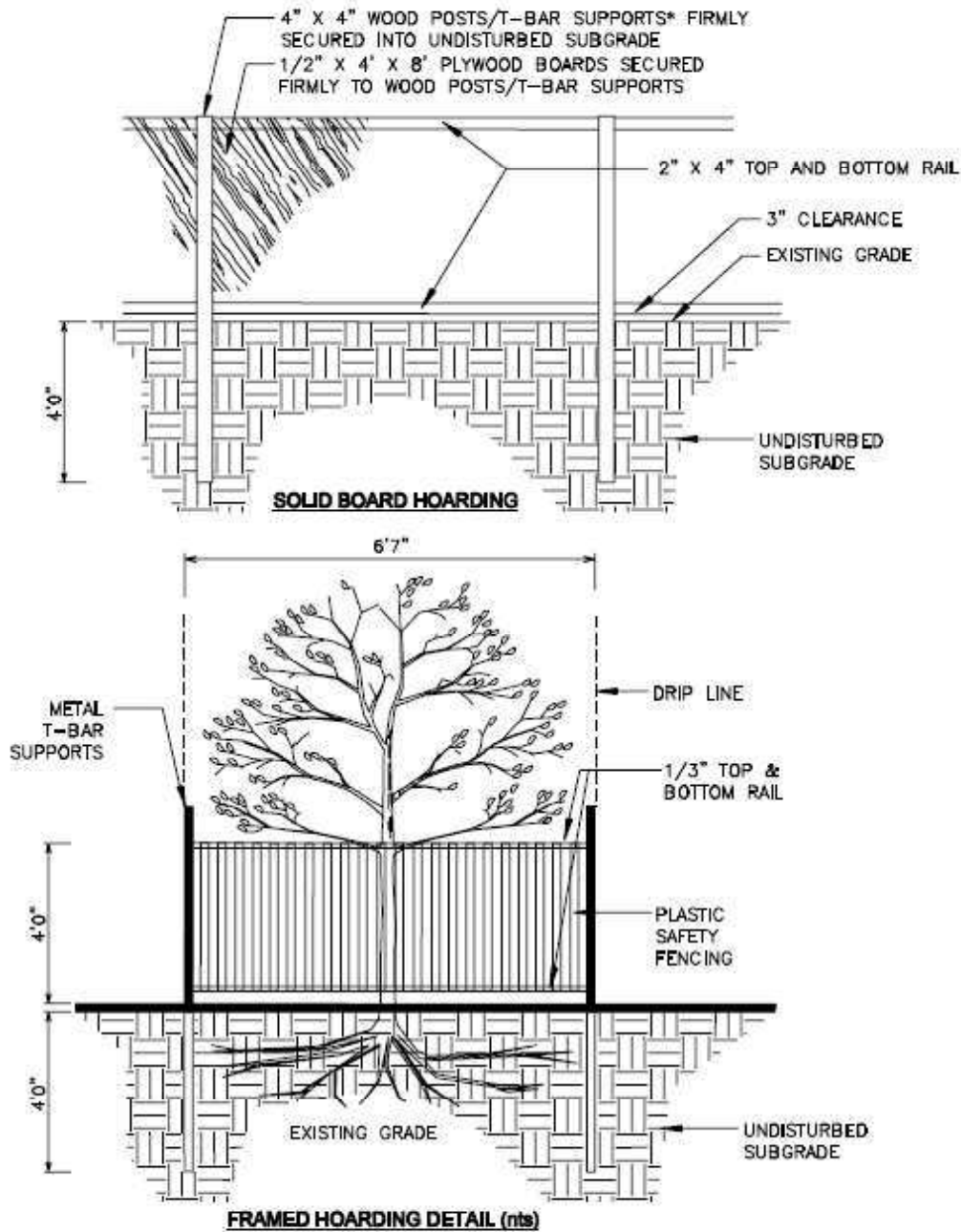
T10 - T13 - The listed trees require a permit to injure because the proposed existing house demolition, driveway/asphalt removal and the proposed location of the new dwelling foundation, encroach within the TPZ of these trees. **Permit to injure required.**

T18 – Tree 18 requires a permit to injure because the removal of the post and chain link fence in the rear yard is within the TPZ of this tree. The fence removal shall be the last task prior to the completion of the proposal. The demolition of the fence shall take place during the landscaping phase to ensure that no heavy machinery is used within the TPZ of this tree. **Permit to injure required.**

T23 – Tree 23 requires a permit to injure because both the demolition of the existing house and the proposed location of the new dwelling foundation, are within the TPZ of this tree. **Permit to injure required.**

Tree to be Removed (T25)

This tree cannot tolerate the level of injury the proposed foundation expansion will have on it, given the level of encroachment and based on the fair/poor structural condition of this tree. **The tree requires a permit to remove to facilitate the proposal.**

RECOMMENDATIONS**Recommendations for Hoarding****NOTES:**

1. HOARDING DETAILS TO BE DETERMINED FOLLOWING INITIAL SITE INSPECTION.
 2. HOARDING TO BE APPROVED BY DEVELOPMENT AND DESIGN.
 3. HOARDING MUST BE SUPPLIED, INSTALLED AND MAINTAINED BY THE APPLICANT THROUGHOUT ALL PHASES OF CONSTRUCTION, UNTIL APPROVAL TO REMOVE HOARDING IS OBTAINED FROM DEVELOPMENT AND DESIGN.
 4. DO NOT ALLOW WATER TO COLLECT AND POND BEHIND OR WITHIN HOARDING.
- * T-BAR SUPPORTS FOR SOLID HOARDING WILL ONLY BE ALLOWED WITH PRE APPROVAL FROM DEVELOPMENT AND DESIGN.

The TPZ is established on construction sites to help protect the trees from

- Alteration of existing grades
- Changes in grade by excavating and scraping
- Movement of construction vehicles and people
- Disposal of foreign materials
- Storage of waste of construction materials

The tree protection barriers can be constructed from:

- 4ft. high plywood hoarding that can be lowered around limbs, with the supports on the outside
- 4ft. high orange plastic snow fence on a 2"X 4" framework, this is recommended where visibility is an issue. This is recommended for city trees
- If fill or excavates are going to be placed near the plastic fence a plywood barrier must be used to stop these materials from entering the TPZ.
- For minimizing compaction within the TPZ, horizontal plywood hoarding may be used. Horizontal hoarding consists of landscape fabric applied to grade, 30cm layer of mulch, and two layers of plywood secured together above the mulch.
- For more information on the construction of a tree protection zone please see the City of Mississauga's forestry's web site and go to By-laws and Policies.

Tree protection signage:

- This sign will be mounted on each TPZ and should be a minimum of 40cm x 60cm and made on white gator board.
- The sign must say in bold letters as a heading: Tree Protection Zone (TPZ) the rest of the text is as follows: No grade changes, storage of materials or equipment is permitted within this TPZ. Tree protection barriers must not be removed without written authorization of the City of Mississauga, Forestry Department Services. For info call Forestry Department Services at 905-615-4311, or the project consultant

Implementation of protection:

- All TPZ must be erected before any type of construction commences on the subject site.
- Before construction begins the TPZ must be inspected by city forestry staff and the consulting arborist.
- Before any digging commences around a tree subject to injury by permit, the consulting arborist must be informed.
- To dig near a tree subject to injury by permit the consulting arborist must be on site to supervise the excavation.
- Hoarding cannot be removed until all construction is finished

Recommendations for Excavation within a TPZ

To minimize the impact of the proposed work, the following must be adhered to:

- A qualified arborist must be on site for the complete duration of each excavation. It is the arborist's duty to instruct the laborers and minimize damage to the tree.
- The arborist is also responsible for all root pruning, and to promote 'working around' roots whenever possible.
- Roots within the proposed work area shall first be exposed prior any root pruning is to take place
- All root pruning is to be conducted to proper arboricultural standards with sharp, sanitized tools and exposed roots to be recovered with parent soil
- All excavation/digging is to be done by hand or air spade to the required depth of the proposed work
- If roots measuring a minimum of 5cm in diameter or if a large mass of roots are found, the impact of the proposed work shall be evaluated with Urban Forestry, and other methods of construction must be considered in order to preserve the subject tree
- All excavation within the minimum TPZ of a protected tree is to be documented; a report of the findings should then be submitted to Urban Forestry

Recommendations for Remedial Care

All trees slated for preservation located within the work area are to receive a deep root fertilization treatment to prepare the trees for the impact of the proposed work. Stela Maris®, a seaweed-based extract, is recommended to be used to help improve overall plant health, improve root growth and development, improve plant vigor, and to help trees overcome periods of stress.

To aid in the affected trees' recovery, the subject trees should be consistently watered throughout the construction process to have the soil kept moist.

SUMMARY

The owner of 1365 Stavebank Rd. is proposing to demolish the existing single-storey detached dwelling and driveway, to build the proposed two storey detached dwelling with a larger foundation footprint, and larger driveway footprint.

To facilitate the proposed construction, the following TPPR trees will require a permit:

	Privately-Owned	Privately-Owned Neighbouring / Boundary Trees	City-Owned Trees
Injury	3	8	-
Removal	-	1	-
Exemption	-	-	-

If there are any questions or concerns regarding the contents of this report, please feel free to contact me at wesley@centraltreecare.com.

Thank you,

c/o Wesley ON-2149A
Mike Spencley ON-1379A
Central Tree Care Ltd.



ON-1379A

Site Photos

Photo 1 – North-east facing, front yard profile



Photo 2 – South-east facing, south-east front property line



Photo 3 – North-west facing, North west property line

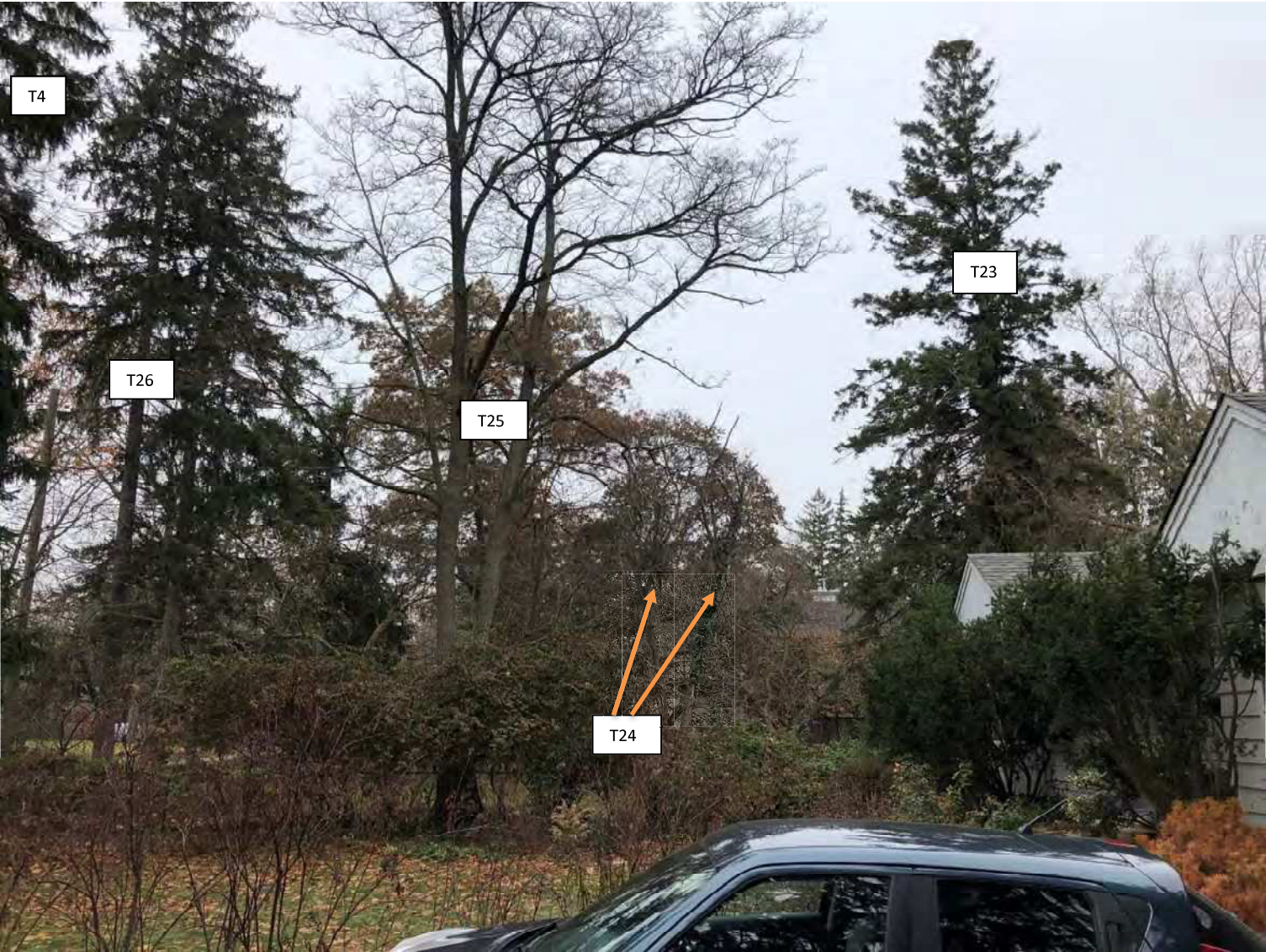


Photo 4 – South-east facing, south-east rear-side property line

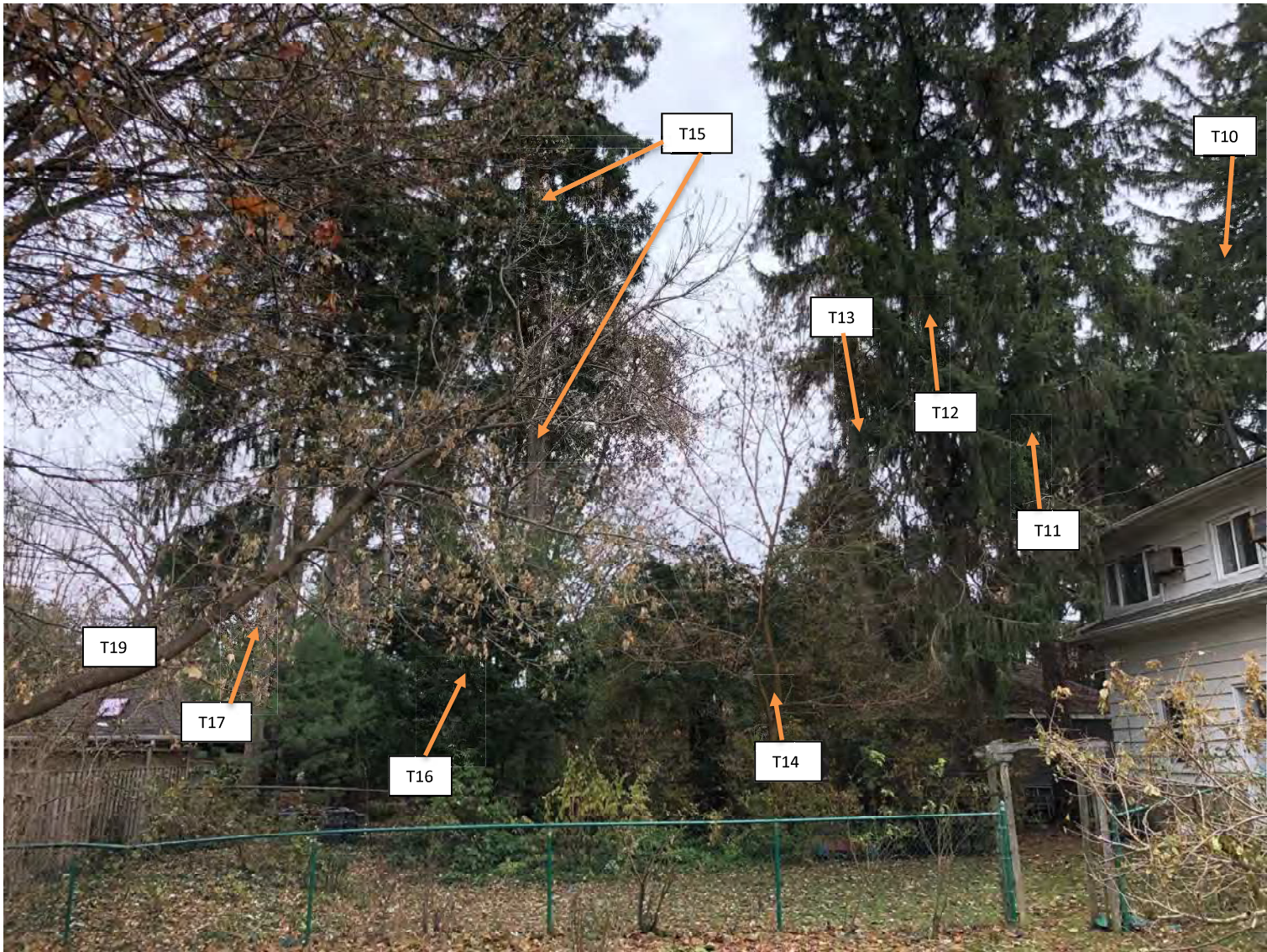
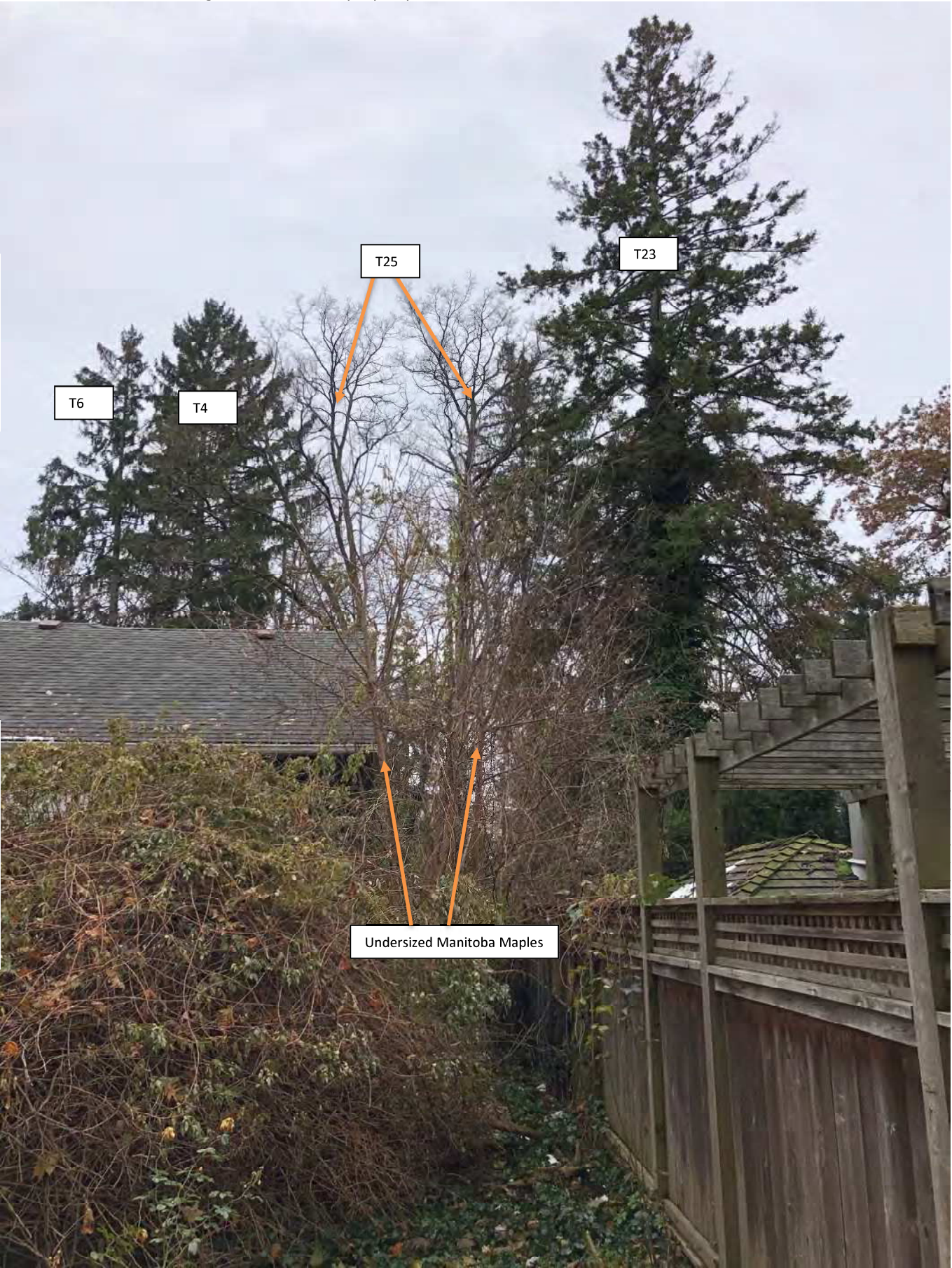


Photo 5 – South-east facing, south-east rear property



Photo 6 – South-west facing - north-east side property line





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City of Mississauga Corporate Report



Date: 2020/02/18

To: Chair and Members of Heritage Advisory Committee

From: Paul Mitcham, P. Eng, MBA, Commissioner of
Community Services

Originator's files:

Meeting date:
2020/03/10

Subject

Request to Demolish a Heritage Listed Property: 10 Mississauga Rd North (Ward 1)

Recommendation

That the property at 10 Mississauga Road North, which is listed on the City's Heritage Register, is not worthy of heritage designation, and consequently, that the owner's request to demolish proceed through the applicable process, as per the Corporate Report from the Commissioner of Community Services dated February 18, 2020.

Background

Section 27.3 of the *Ontario Heritage Act* states that structures or buildings on property listed on the City's Heritage Register cannot be removed or demolished without at least 60 days' notice to Council. This legislation allows time for Council to review the property's cultural heritage value to determine if the property merits designation.

Comments

The owner of the subject property has submitted a heritage application to demolish the existing detached dwelling. The subject property is listed on the City's Heritage Register as it forms part of the Mississauga Road Scenic Route cultural landscape, recognized for its role as a pioneer road and its scenic interest and quality. The Heritage Impact Assessment is attached as Appendix 1. It is the consultant's conclusion that the house at 10 Mississauga Road North is not worthy of heritage designation. Staff concurs with this opinion.

Financial Impact

There is no financial impact resulting from the recommendation in this report.

Conclusion

The owner of 10 Mississauga Road North has requested permission to demolish a structure on a property that is listed on the City's Heritage Register. The applicant has submitted a Heritage

Heritage Advisory Committee	2020/02/18	2
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Impact Assessment that provides information which does not support the building's merit for designation under the Ontario Heritage Act.

Attachments

Appendix: Heritage Impact Assessment



Paul Mitcham, P. Eng, MBA, Commissioner of Community Services

Prepared by: P. Wubbenhorst, Heritage Planner

10 Mississauga Road North, Mississauga, ON
Heritage Impact Assessment



Prepared by
Heritage Resources Consulting
January 2020

10 MISSISSAUGA ROAD, MISSISSAUGA, ON. HERITAGE IMPACT ASSESSMENT

INTRODUCTION

10 Mississauga Road North, Mississauga is a modest, one and a half storey cottage-style single family residence with a closed-in front porch. It sits on two narrow, 25 foot lots that have been under one ownership since their creation in 1913. The current owner wishes to demolish the existing structure and replace it with two semi-detached residences of a modern, angular design. The property is not designated under Part IV of the Ontario Heritage Act but it is registered in the city's list of properties of heritage value or interest. It is located in the Mississauga Road Scenic Landscape area and as such requires a heritage assessment prior to demolition.

DESCRIPTION OF 10 MISSISSAUGA ROAD NORTH TODAY

The property is located in Port Credit about 300 metres west of the Credit River, on Mississauga Road and 50 metres north of Lakeshore Road West. The residence is a modest one and a half storey cottage-style structure with entrances front and rear. It has a full basement with a brick and cement block foundation, part of which is seriously deteriorating and has been temporarily repaired. It is finished in beige aluminum siding and its front façade forms a one storey closed in verandah with six parallel sets of six paned windows. Above is a prominent sloping eave with a simple two paned sliding window in its centre. The north or side façade has a small, square dormer.

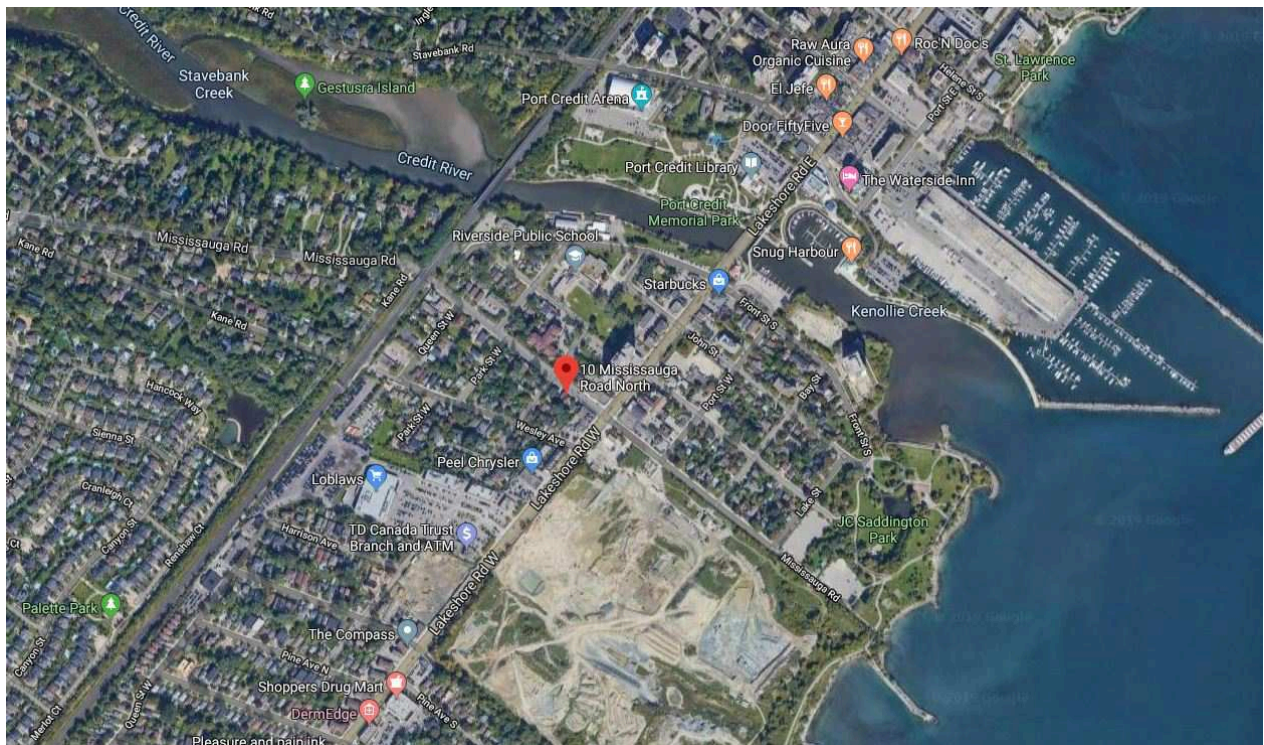


Figure 1 An aerial view of 10 Mississauga Road North and its relationship to Port Credit.
(Google Image:

10 MISSISSAUGA ROAD, MISSISSAUGA, ON. HERITAGE IMPACT ASSESSMENT

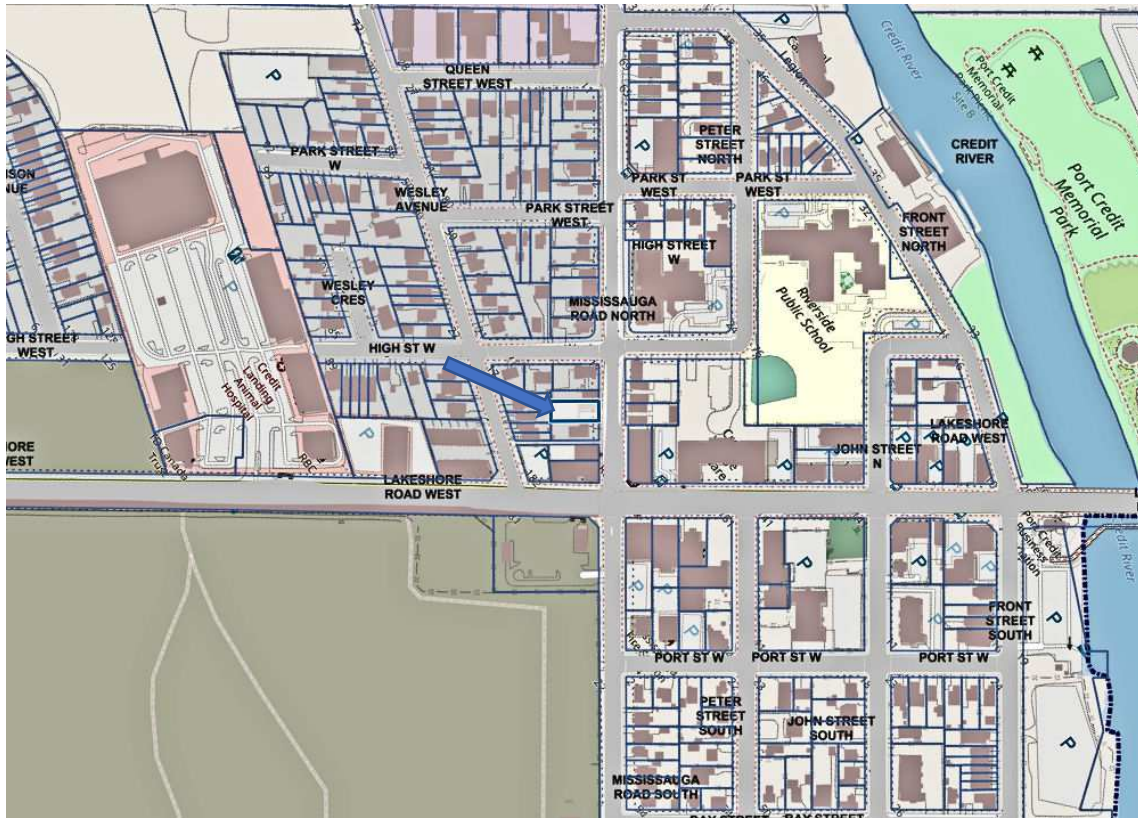


Figure 2 10 Mississauga Road North, Mississauga, *in situ*. (Image from Mississauga Property Information, Mississauga Web Site.)



Figure 3 The east or front façade of 10 Mississauga Road North, 2019. (Photo by author.)

10 MISSISSAUGA ROAD, MISSISSAUGA, ON. HERITAGE IMPACT ASSESSMENT

Figure 4 The south façade of 10 Mississauga Road North, 2019. *(Photo by author.)*



Figure 5 The west or rear façade of 10 Mississauga Road North, 2019. *(Photo by author.)*

10 MISSISSAUGA ROAD, MISSISSAUGA, ON. HERITAGE IMPACT ASSESSMENT



Figure 6 The front and north façades of Mississauga Road North, 2019. *(Photo by author.)*

SITE HISTORY

The following overview traces the property and structure which is now identified as lots 85 and 86 in Plan I13, City of Mississauga.

PRE-SETTLEMENT TO 1913

By the end of the 17th century much of what is now southern and south-western Ontario was occupied by the Ojibwa who pushed the Iroquois Confederacy south of the Lower Great Lakes during these years. The Credit River valley and a large tract of territory around it became the traditional hunting lands of the Mississauga, part of the larger Ojibwa cultural group early in the 18th century.¹ Here, at the mouth of the Credit River, the Mississauga met French traders and began exchanging furs for European manufactured goods. It is said that the name of the river derives from the willingness of the French to extend credit to their native partners, a gesture of good will by and no doubt an economic benefit for the French.

In the first years of the 19th century it was becoming clear that European settlement was only going to increase along lakes Ontario and Erie. In 1805 the Mississauga sold their lands around the Credit River, retaining a reserve on the river and a one-mile wide stretch of land on either side of the river for fishing and hunting.² The Mississauga Purchase in the southern half of

¹ Mississauga Heritage Web Site, Aboriginal Culture; <http://www.heritagemississauga.com/page/Aboriginal-Culture>.

² Kathleen A. Hicks, *Port Credit: Past to Present* (Mississauga Library System: Mississauga, ON, 2007), p. xiii.

10 MISSISSAUGA ROAD, MISSISSAUGA, ON. HERITAGE IMPACT ASSESSMENT

Toronto Township was surveyed by Samuel Wilmot.³ Further sales took place in 1818 and 1820, an indication of the unrelenting tide of newcomers seeking farmland and establishing communities. The following maps show the Mississauga lands, both the areas ceded and those for a time retained. The one-mile wide strip of land on either side of the Credit River was also ceded in the 1820 treaties but would remain unsettled for another quarter century. The maps also show the first survey boundaries established after the Mississauga People surrendered their treaty land along both sides of the Credit River.

Lot 8, Credit Indian Reserve, Range 1 was first patented in July 1854 to James Cotton along with other lots in the same range east of the Credit River. Cotton was postmaster of Port Credit in the mid-nineteenth century and owned a wharf and storehouse in the village.⁴ He was also a prominent land speculator. Cotton sold lot 8 and other land to Charles E. Anderson in 1857 for £5,000. In October 1863 Anderson sold the lot to Timothy Madigan who, in 1864 sold the southern ten acres to John Thompson. Thompson appears to have retained this portion of lot 8 until 1913 when it was subdivided into 112 housing lots.

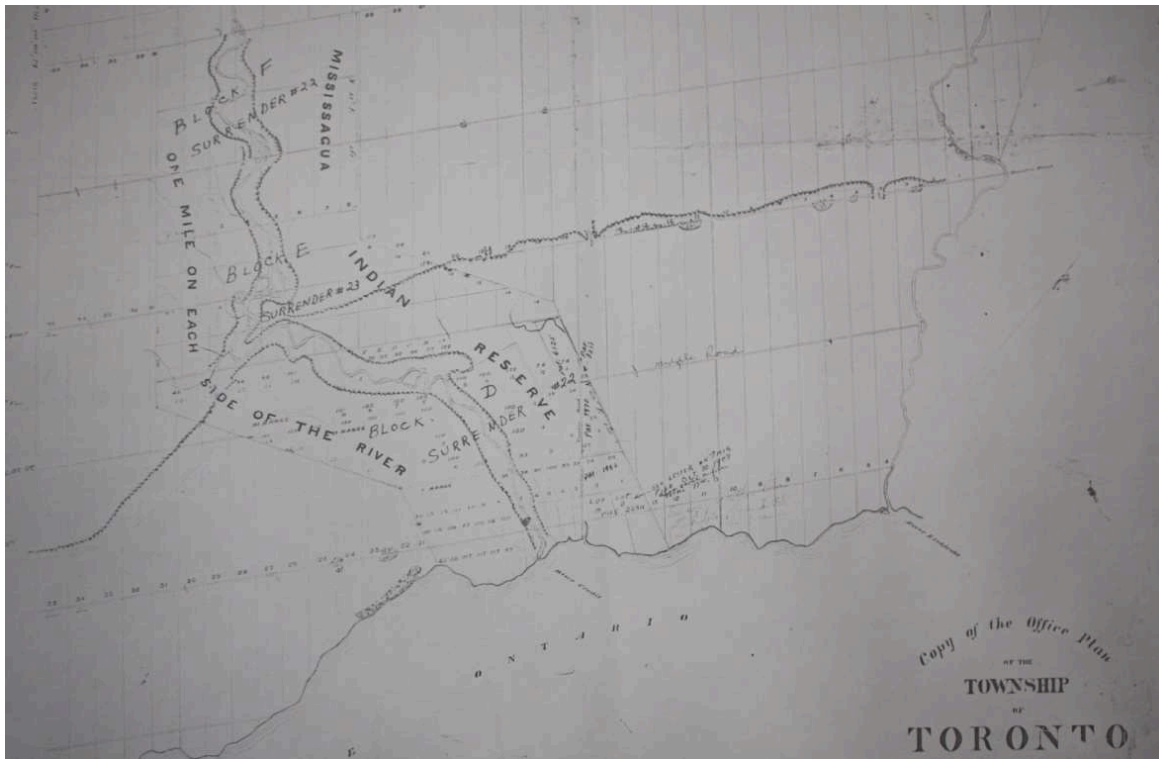


Figure 7 Lands along the Credit River surrendered by the Mississauga, 1818 and 1820, detail. (*Library and Archives Canada [hereafter LAC], National Map Collection [hereafter NMC], 13121.*)

³ D. B. Simpson, "Major Samuel Street Wilmot," *Association of Ontario Land Surveyors*, <https://www.aols.org/sites/default/files/Wilmot-S.S.pdf>, pp. 108-11.

⁴ Betty Clarkson, *Credit Valley Gateway: The Story of Port Credit* (Port Credit Public Library: Toronto, 1967), p. 120.

10 MISSISSAUGA ROAD, MISSISSAUGA, ON. HERITAGE IMPACT ASSESSMENT



Figure 8 Toronto Township Survey, 1818, prior to Credit Indian Reserve being surveyed. (Ontario Archives, item 10050669.)

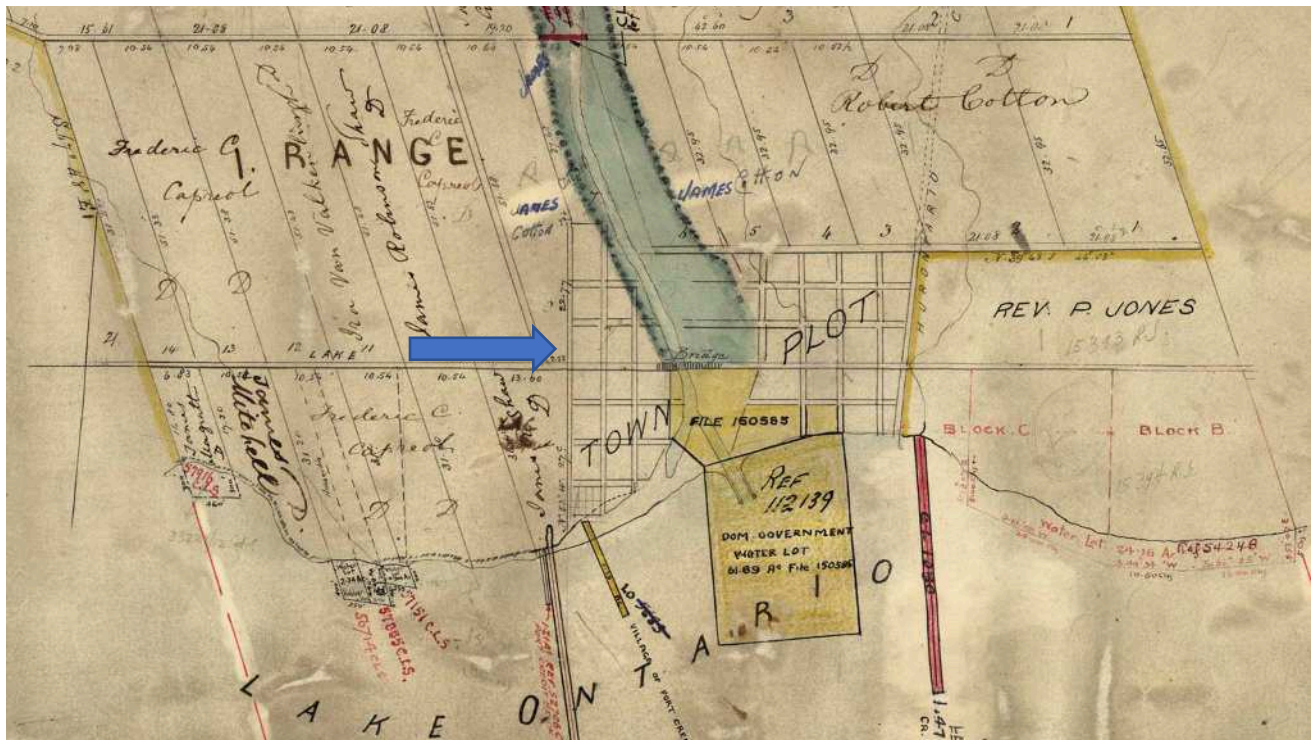


Figure 9 Credit Indian Reserve showing first surveys, 1846. (Ontario Archives, RG100-0-3657, item 10051351.)

10 MISSISSAUGA ROAD, MISSISSAUGA, ON. HERITAGE IMPACT ASSESSMENT

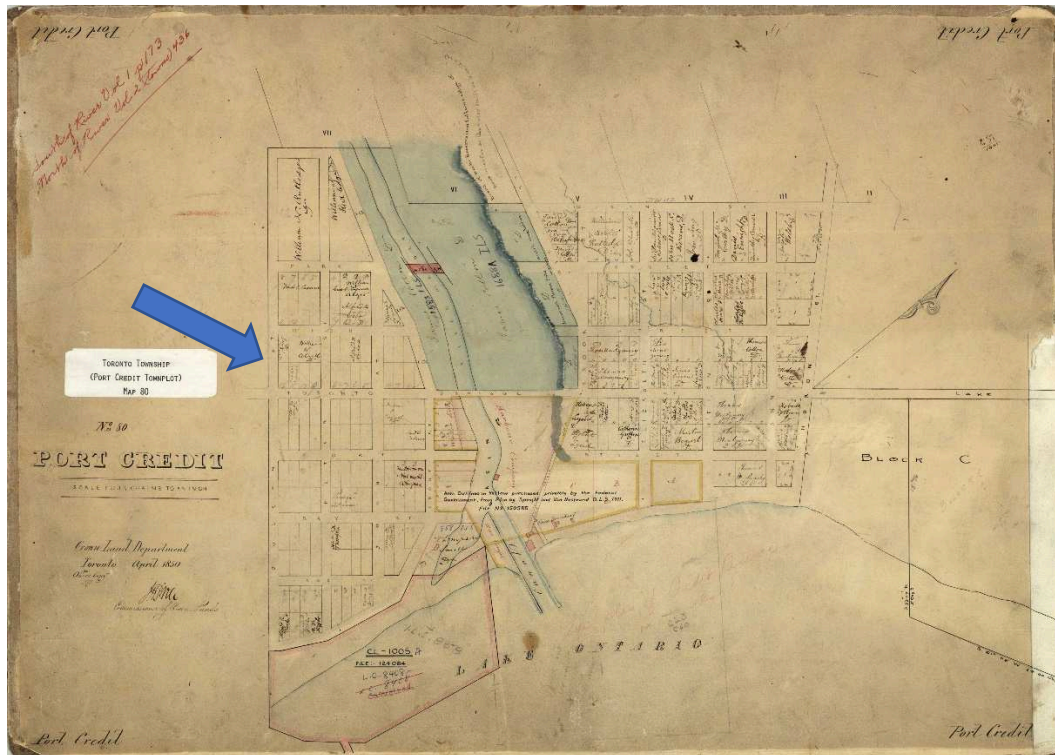


Figure 10 Port Credit Survey, 1850. (Ontario Archives, RG100-0-0-3655, item 10051349.)



Figure 11 1859 Tremaine Map of Port Credit.
(<http://maps.library.utoronto.ca/hqis/countymaps/peel/index.html>.)

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Figure 12 Map of Port Credit and Surrounding area, 1877. (*Historical Atlas of Peel County: Walker & Miles, Toronto, 1877*), pp. 24-25.)

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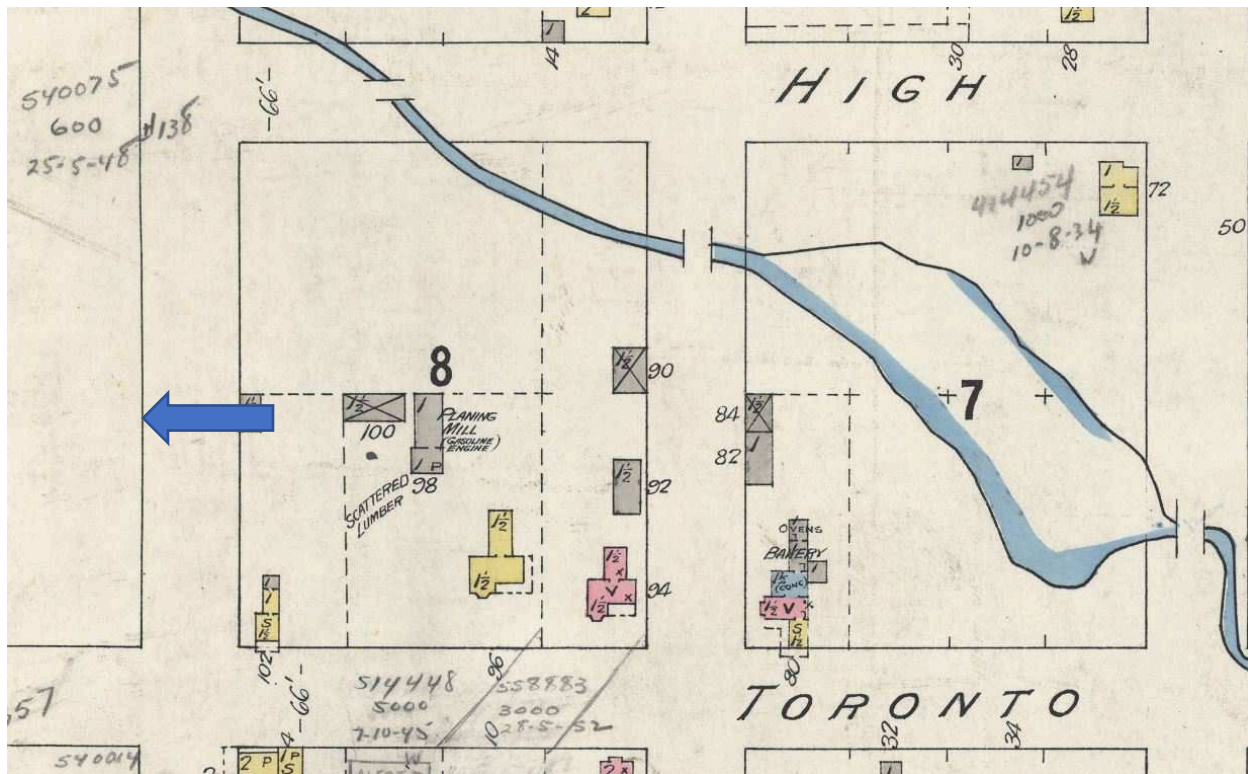


Figure 13 Detail of 1910 Insurance Plan of Port Credit showing absence of development on the west side of Mississauga Road North. (*Western University, Archives and Special Collections, Insurance Plans.*)

1913 TO 2019

In April 1913 the land was sold to the International Permanent Investments Limited and they sold lots 85 and 86 to Marco Biscaro for \$500. In July 1926 Biscaro took out a mortgage on his lots for \$2,500 and it is likely around this time that the current residence was constructed. The house is shown in the 1934 aerial photograph reproduced below as Figure 17. Biscaro sold his property in October 1954 to Herbert Joseph and Mabel Joyce Smith. In May 2006 Richard David Smith, acting for the Herbert J. Smith estate, sold the property to Huo-Hsiung Liao and Chi-Chin Lo. They in turn owned the property until May 2010 when they sold it to Agnieszka Zieba. The current owner purchased 10 Mississauga Road North in November 2011.

10 MISSISSAUGA ROAD, MISSISSAUGA, ON. HERITAGE IMPACT ASSESSMENT

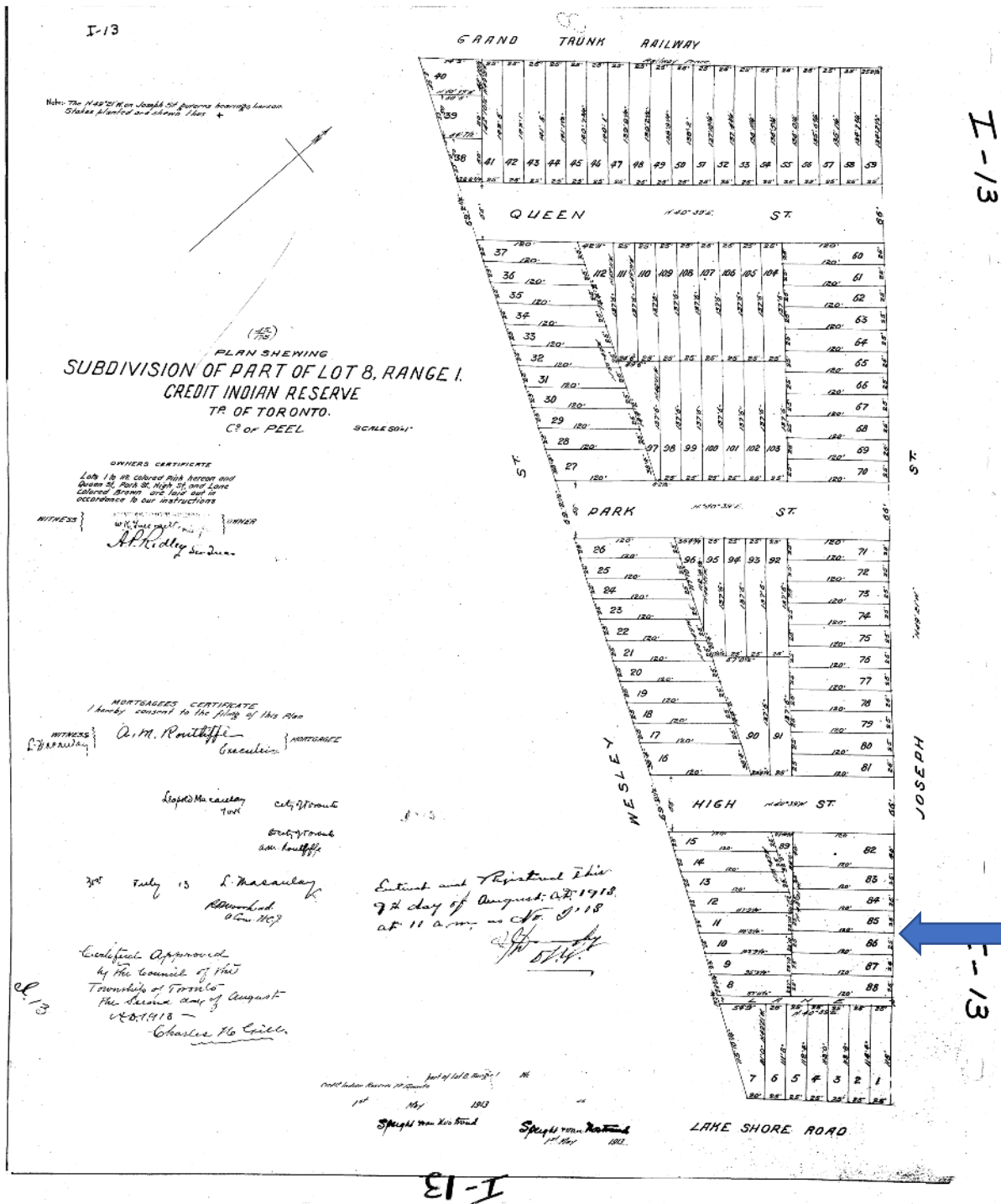


Figure 14 Plan I13, Toronto Township, registered 9 August 1913. (Peel County Land Registry Office, Plan I13.)

10 MISSISSAUGA ROAD, MISSISSAUGA, ON. HERITAGE IMPACT ASSESSMENT

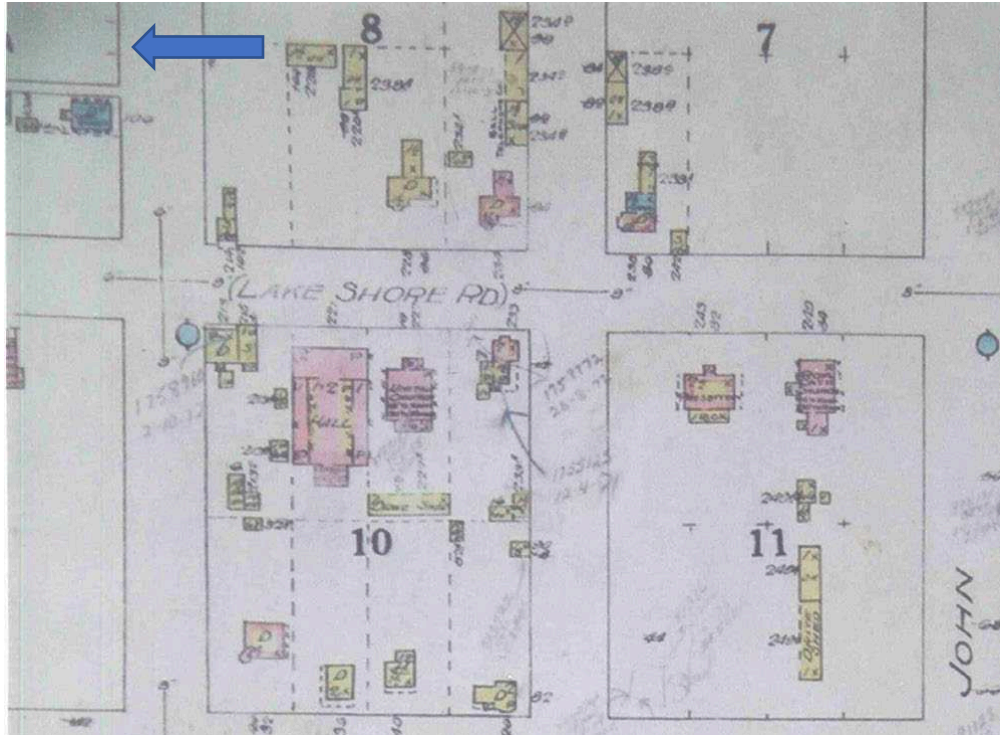


Figure 15 Detail of 1928 Fire Insurance Plan for Port Credit. (University of Toronto, Fisher Rare Book Collection.)



Figure 16 Aerial View of part of Port Credit, 1931. (Canada, Ministry of Natural Resources, National Aerial Photo Library, item 1931 A3249_040.)

10 MISSISSAUGA ROAD, MISSISSAUGA, ON. HERITAGE IMPACT ASSESSMENT

Figure 17 Aerial View of part of Port Credit, 1934. (*Canada, Ministry of Natural Resources, National Aerial Photo Library, item 1934 A4837_021.*)



Figure 18 Aerial View of part of Port Credit, 1946. (*Canada, Ministry of Natural Resources, National Aerial Photo Library, item 1946 A9669_072.*)

10 MISSISSAUGA ROAD, MISSISSAUGA, ON. HERITAGE IMPACT ASSESSMENT

10 MISSISSAUGA ROAD NORTH: ANALYSIS OF THE EXISTING PROPERTY

The structure at 10 Mississauga Road North is a modest one and a half storey four bedroom residence clad in beige aluminum siding. Figures 19 and 20 show the home as it appears today and in 1981. The main entrance is via a closed in veranda on its front façade. There is also a rear entrance and a step down access to the basement (Figure 27). A rear Extension has been added to the building at some time in the past (Figure 28). The main floor is divided into a living room, a kitchen, two bedrooms, a bathroom, a dining room and a laundry room at the rear. Steep stairs, too narrow to accommodate a railing, figure 23, lead to the second level which consists of two slope-ceilinged bedrooms, figure 24, and another bathroom.



Figure 19 10 Mississauga Road North, front and south façades, 2019. *(Photo by author.)*



10 MISSISSAUGA ROAD, MISSISSAUGA, ON. HERITAGE IMPACT ASSESSMENT

Figure 22 Dining room with two over two-paned window, 2019. *(Photo by author.)*



Figure 23 Steep staircase to upper level, 10 Mississauga Road North, 2019. *(Photo by author.)*

10 MISSISSAUGA ROAD, MISSISSAUGA, ON. HERITAGE IMPACT ASSESSMENT

Figure 24 Second floor bedroom, 10 Mississauga Road North, 2019. *(Photo by author.)*



Figure 25 Basement wall and foundation showing structural repairs, 2019. *(Photo by author.)*

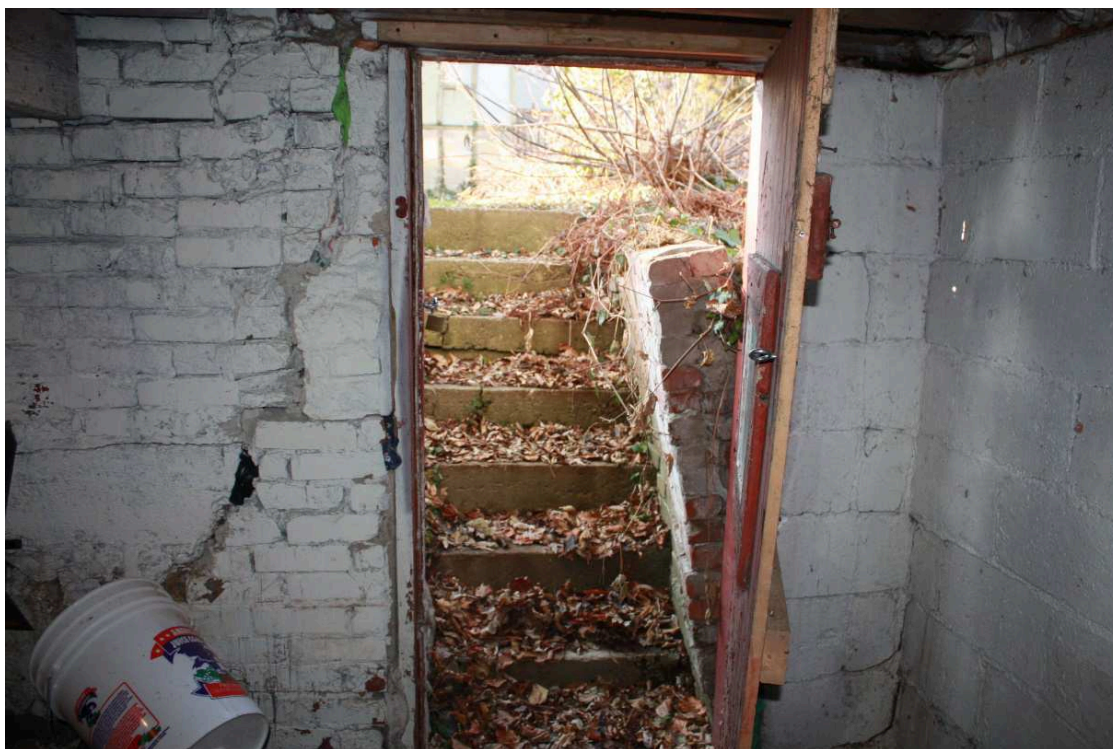
10 MISSISSAUGA ROAD, MISSISSAUGA, ON. HERITAGE IMPACT ASSESSMENT

Figure 26 Rear exit from basement showing structural repairs, 2019. *(Photo by author.)*



Figure 27 Rear access to the basement, 2019. *(Photo by author.)*

10 MISSISSAUGA ROAD, MISSISSAUGA, ON. HERITAGE IMPACT ASSESSMENT



Figure 28 The rear extension at 10 Mississauga Road North, 2019. *(Photo by author.)*

ANCILLARY BUILDING

There is one small building, a greenhouse, at the rear boundary of the property. It is a small rectangular structure with a sloping roof and an entrance door on its southern façade. Its date of construction is not known but its current condition - several of its roof panes are missing - indicates that it has been derelict for some time.

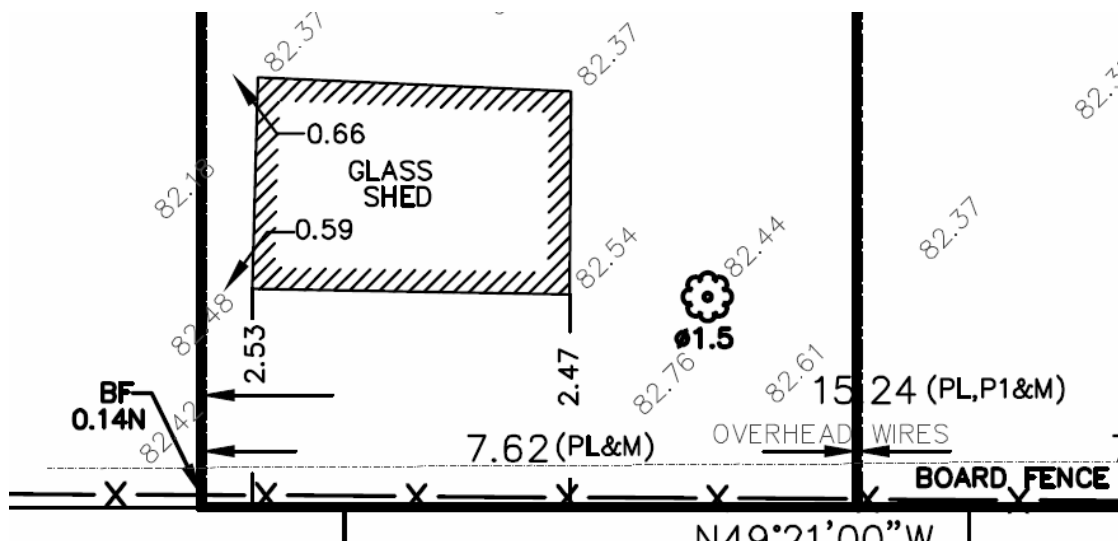


Figure 29 Site plan showing rear greenhouse, 2019. *(Image from owner.)*

10 MISSISSAUGA ROAD, MISSISSAUGA, ON. HERITAGE IMPACT ASSESSMENT

Figure 30 The greenhouse at the west or rear border of the property. *(Photo by author.)*



Figure 31 The greenhouse at the west or rear border of the property. *(Photo by author.)*

10 MISSISSAUGA ROAD, MISSISSAUGA, ON. HERITAGE IMPACT ASSESSMENT

LANDSCAPE

The landscape is largely grassed with an asphalt linear driveway and a small, deteriorating greenhouse and a metal storage container at the rear of the property. Wooden fences mark its southern and western borders.



Figure 32 The backyard of 10 Mississauga Road North, 2019. *(Photo by author.)*



Figure 33 Fenced borders, 10 Mississauga Road North, 2019. *(Photo by author.)*

10 MISSISSAUGA ROAD, MISSISSAUGA, ON. HERITAGE IMPACT ASSESSMENT



Figure 34 Northern backyard boundary, 10 Mississauga Road North, 2019. *(Photo by author.)*

STREETSCAPE

The Mississauga Scenic Route is described as Follows:

Mississauga Road is recognized as a Cultural Landscape, as it is one of the City's oldest and most picturesque thoroughfares. Its alignment varies from being part of the normal road grid in the north to a curvilinear alignment in the south, following the top of the bank of the Credit River. The scenic quality of the road is notable because it traverses a variety of topography and varying land use, from old established residential neighbourhoods to new industrial and commercial areas. From Streetsville south the boulevards and adjacent landscapes are home to some of the oldest and most spectacular trees in the City. The road also includes some of the city's most interesting architecture and landscape features, including low stone walls. The road's pioneer history and its function as a link between Mississauga's early communities, makes it an important part of the City's heritage.⁵

The streetscape surrounding 10 Mississauga Road North does harbour some mature trees but it is not a good example of the scenic route within which it sits. It consists of an eclectic collection of residences, including single and multi family homes, and some commercial ventures.

⁵ City of Mississauga Property Information, 10 Mississauga Road North, Mississauga Web Site.

10 MISSISSAUGA ROAD, MISSISSAUGA, ON. HERITAGE IMPACT ASSESSMENT

Figure 35 Looking southeast from 10 Mississauga Road North, 2019. *(Photo by author.)*



Figure 36 Looking southwest from 10 Mississauga Road North, 2019. *(Photo by author.)*

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Figure 37 Looking northeast from 10 Mississauga Road North, 2019. *(Photo by author.)*



Figure 38 Looking northwest from 10 Mississauga Road North, 2019. *(Photo by author.)*

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Figure 39 10 Mississauga Road North and its neighbour to the north, 2019. *(Photo by author.)*



Figure 40 18 Mississauga Road North, now a lawyer's office, 2019. *(Photo by author.)*

10 MISSISSAUGA ROAD, MISSISSAUGA, ON. HERITAGE IMPACT ASSESSMENT



Figure 41 6 Mississauga Road North, a recently built home immediately south of our property of interest, 2019. *(Photo by author.)*

PROPOSED DEVELOPMENT

The owner wishes to demolish the existing structure at 10 Mississauga Road North and replace it with a two unit semi-detached residence. The existing house sits on lot 85 of the 1913 subdivision plan; its driveway is on lot 86 to the immediate south. The residence next door, a recent replacement structure, straddles lots 87 and 88. In a similar fashion the footprint of the proposed double residence also covers both lots 85 and 86 (Figures 42 and 43).

10 MISSISSAUGA ROAD, MISSISSAUGA, ON. HERITAGE IMPACT ASSESSMENT

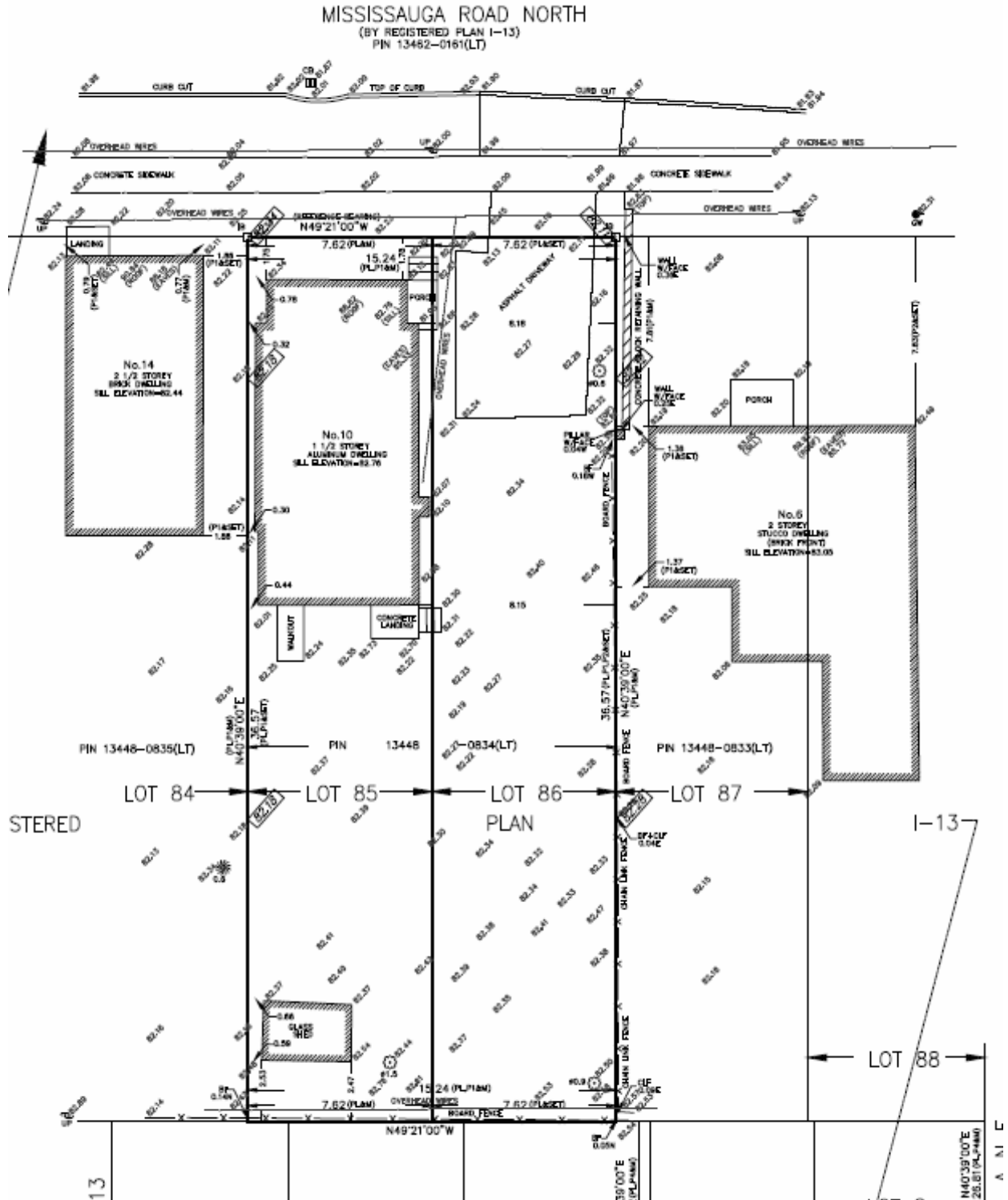


Figure 42 Survey of 10 Mississauga Road North. (Image from owner.)

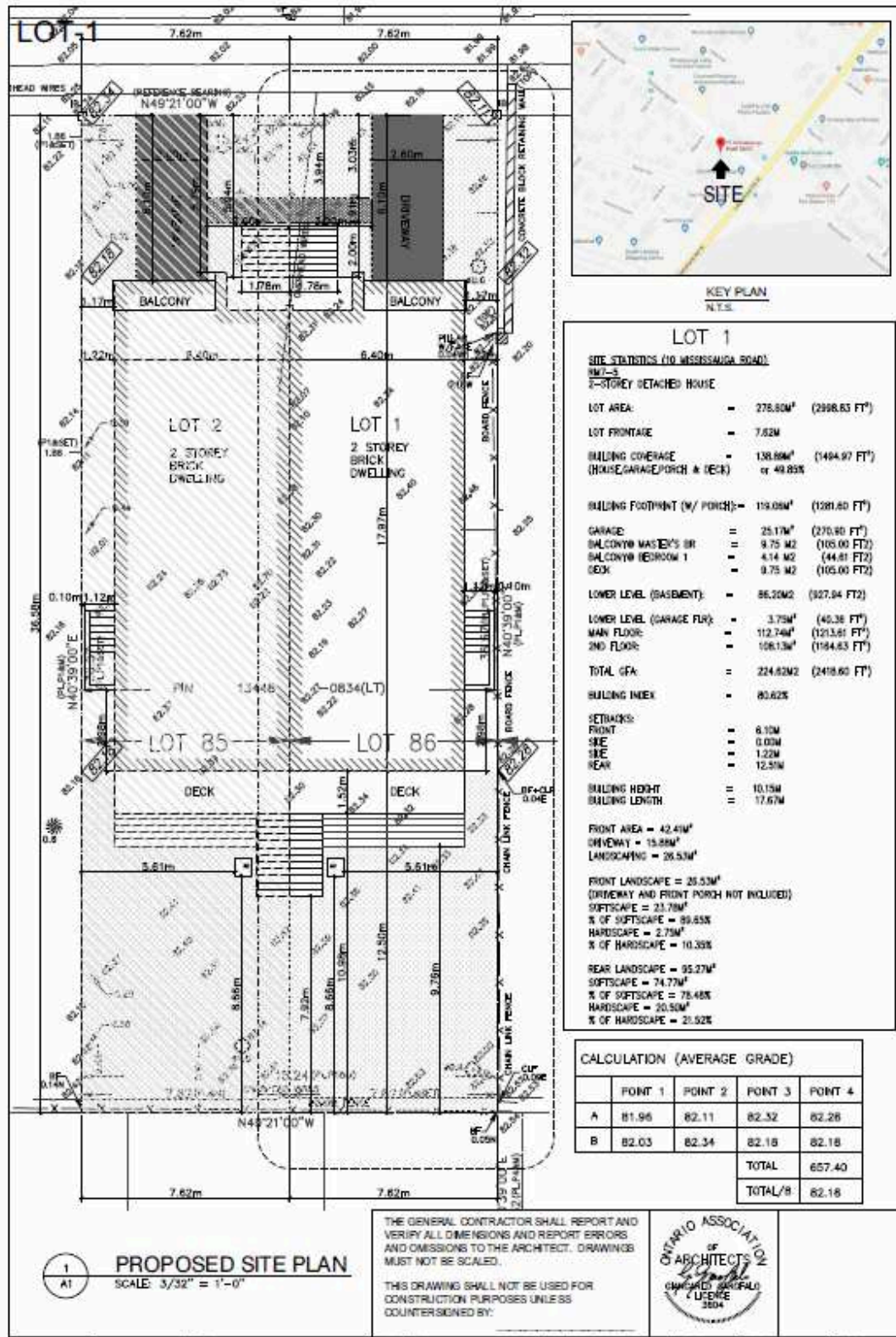


Figure 43 The proposed site plan of 10 Mississauga Road North. *(Image from owner.)*

10 MISSISSAUGA ROAD, MISSISSAUGA, ON. HERITAGE IMPACT ASSESSMENT

The front façade of the proposed double residence is modern and angular. Much of it is faced with windows surrounded by limestone blocks on the main level and wood on the second storey. Wide steps lead to two closely set doors, one for each residence, and the ground level is flanked with two single car garages. There are spacious balconies on the second storey and the two units are united by a distinctive arch. The structure is surmounted with a low sloping roof.



Figure 44 Front or west façade of the semi-detached residence proposed for 10 Mississauga Road North. *(Image from the owner.)*

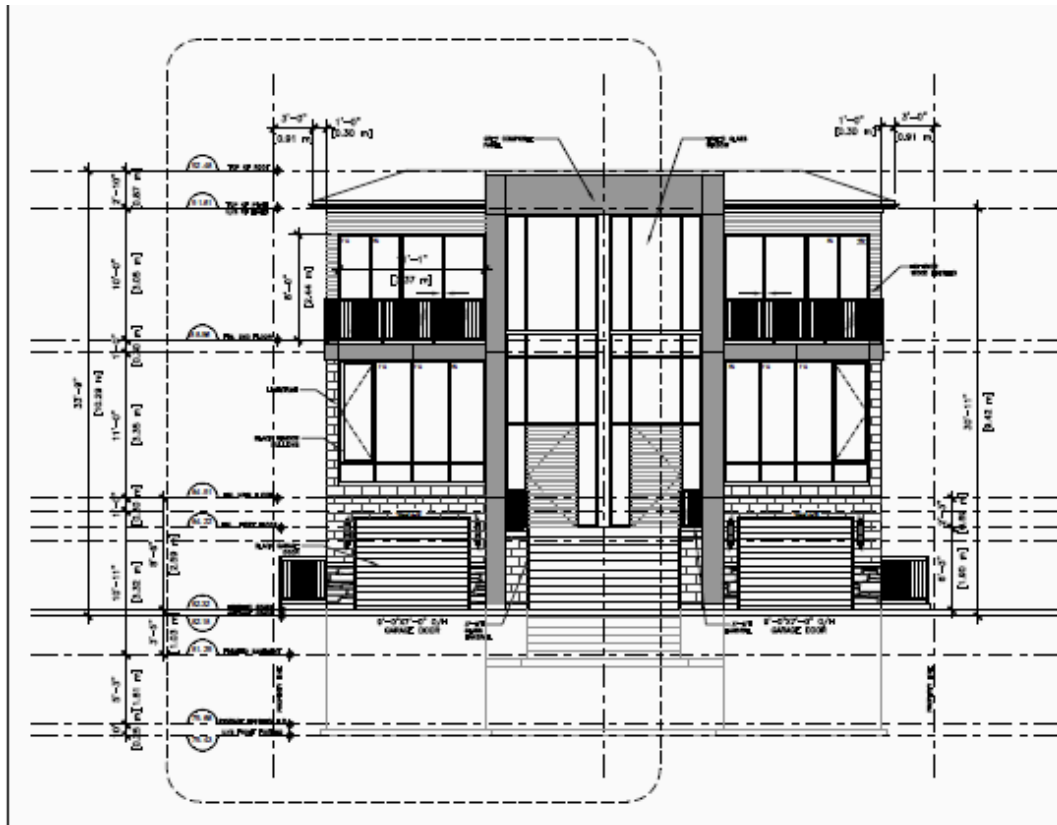


Figure 45 Front elevation of 10 Mississauga Road North. *(Image from owner.)*

10 MISSISSAUGA ROAD, MISSISSAUGA, ON. HERITAGE IMPACT ASSESSMENT

The rear elevation has two sets of balconies and is finished in stucco. The sides are stuccoed.

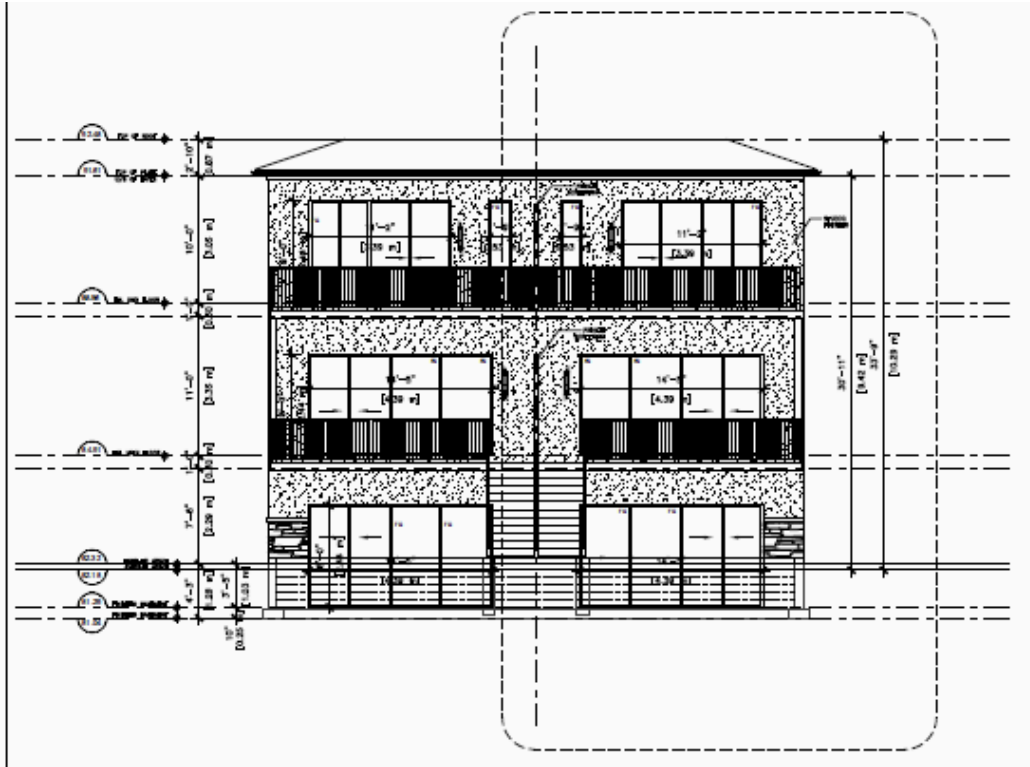


Figure 46 Rear elevation of 10 Mississauga Road North. *(Image from owner.)*

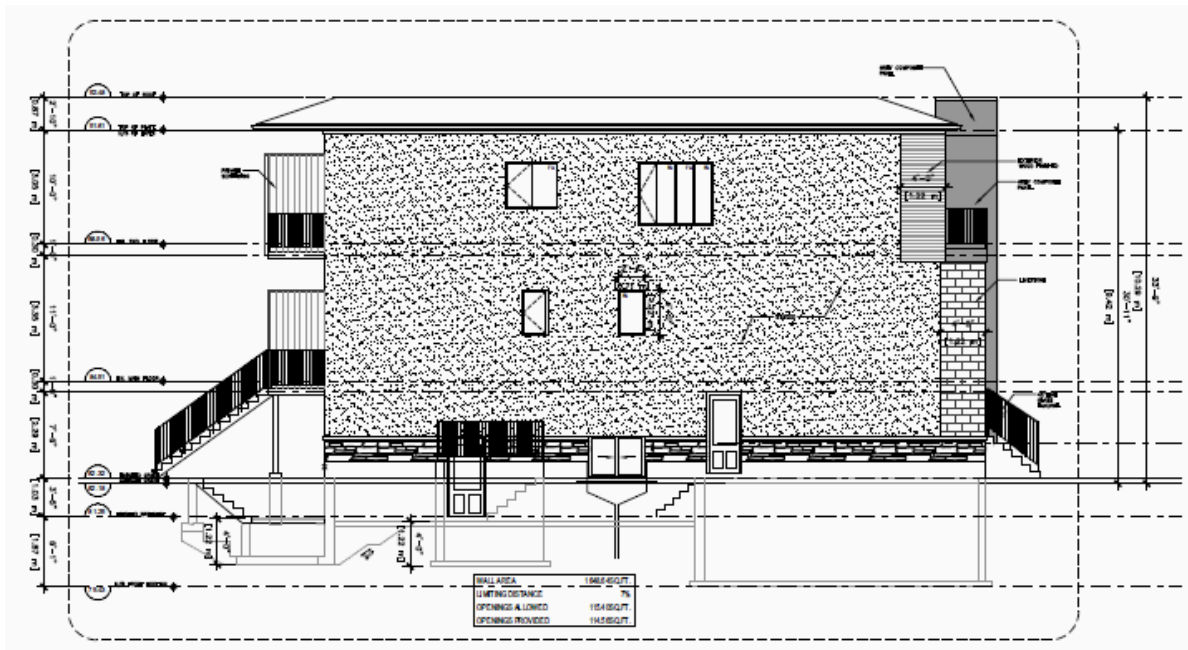


Figure 47 South elevation of 10 Mississauga Road North. *(Image from owner.)*

10 MISSISSAUGA ROAD, MISSISSAUGA, ON. HERITAGE IMPACT ASSESSMENT

EVALUATION OF PROPOSED 10 MISSISSAUGA ROAD NORTH IN TERMS OF ITS CULTURAL HERITAGE LANDSCAPE

10 Mississauga Road North lies within the Mississauga Road Scenic Route, a cultural heritage landscape area. The area has the following seven evaluation criteria:

LANDSCAPE ENVIRONMENT	BUILT ENVIRONMENT
<input checked="" type="checkbox"/> Scenic and Visual Quality	<input type="checkbox"/> Aesthetic/Visual Quality
<input type="checkbox"/> Natural Environment	<input type="checkbox"/> Consistent Early Environs (pre-World War II)
<input checked="" type="checkbox"/> Horticultural Interest	<input checked="" type="checkbox"/> Consistent Scale of Built Features
<input checked="" type="checkbox"/> Landscape Design, Type and Technological Interest	<input type="checkbox"/> Unique Architectural Features/Buildings
	<input type="checkbox"/> Designated Structures
HISTORICAL ASSOCIATION	OTHER
<input checked="" type="checkbox"/> Illustrates Style, Trend or Pattern	<input checked="" type="checkbox"/> Historical or Archaeological Interest
<input type="checkbox"/> Direct Association with Important Person or Event	<input type="checkbox"/> Outstanding Features/Interest
<input checked="" type="checkbox"/> Illustrates Important Phase in Mississauga's Social or Physical Development	<input type="checkbox"/> Significant Ecological Interest
<input type="checkbox"/> Illustrates Work of Important Designer	<input type="checkbox"/> Landmark Value

Figure 48 Evaluation Criteria for the Mississauga Road Scenic Route. (*City of Mississauga Property Information, 10 Mississauga Road North, Mississauga Web Site.*)

Landscape Environment

Scenic and Visual Quality

The scenic and visual quality of the proposed semi-detached residences is similar, though more modern in design, to the apartments directly across the street.



Figure 49 Properties directly across from 10 Mississauga Road North, 2019. (*Photo by author.*)

10 MISSISSAUGA ROAD, MISSISSAUGA, ON. HERITAGE IMPACT ASSESSMENT

Horticultural Interest

10 Mississauga Road North does not exhibit any elements of horticultural interest.

Landscape Design

The landscape at 10 Mississauga Road North is grassed with a few mature trees along its boundaries but does not display features of landscape design.

Historical Association

Style, Trends or Patterns

The existing structure and its landscaping do not represent historical trends or patterns for this area.

Phase of Development

This section of Mississauga Road North is influenced by the commercial area immediately to its south and was on the periphery of Port Credit until well into the twentieth century. As such it does not illustrate a significant development in Port Credit or Mississauga's development.

Built Environment

Consistent Scale of Built Features

The existing residence at 10 Mississauga Road North sits amid an eclectic mix of single and multi family dwellings, and commercial ventures. The proposed development is not out of keeping with these features though its massing is somewhat more imposing than the structures in the immediate neighbourhood.

Other

Historical or Archaeological Interest

No indications have been found to suggest the property has historical interest. Because of its proximity to the Credit River, ancestral home of the Mississauga People, care should be taken during construction to identify any indications of past occupation of the property and bring them to the attention of the Heritage Planning Department of the City of Mississauga.

HERITAGE EVALUATION OF 10 MISSISSAUGA ROAD N. UNDER ONTARIO REGULATION 9/06

The government of Ontario has provided a series of booklets to explain the concept of cultural heritage properties. *Heritage Property Evaluation* is a guide for determining the cultural heritage values of a property and the means by which a municipality may protect those values.⁶ The guide provides the following description of the evaluation process:

Non-designated properties listed on the municipal register of cultural heritage properties and newly identified properties may be candidates for heritage conservation and protection. Section 29 of the Ontario Heritage Act enables

⁶ Government of Ontario, *Heritage Property Evaluation: A Guide to Listing, Researching and Evaluating Cultural Heritage Property in Ontario Communities* (Queen's Printer, 2006.)

10 MISSISSAUGA ROAD, MISSISSAUGA, ON. HERITAGE IMPACT ASSESSMENT

municipalities to pass bylaws for the protection (designation) of individual real properties that have cultural heritage value or interest to the municipality. Heritage designation is a protection mechanism with long-term implications for the alteration and demolition of a cultural heritage property.

Individual properties being considered for protection under section 29 must undergo a more rigorous evaluation than is required for listing. The evaluation criteria set out in Regulation 9/06 essentially form a test against which properties must be assessed. The better the characteristics of the property when the criteria are applied to it, the greater the property's cultural heritage value or interest, and the stronger the argument for its long-term protection.

To ensure a thorough, objective and consistent evaluation across the province, and to assist municipalities with the process, the Ontario Heritage Act provides that: 29(1) The council of a municipality may, by bylaw, designate a property within the municipality to be of cultural heritage value or interest if, (a) where criteria for determining whether property is of cultural heritage value or interest have been prescribed by regulation, the property meets the prescribed criteria;

Regulation 9/06 prescribes the criteria for determining property of cultural heritage value or interest in a municipality. The regulation requires that, to be designated, a property must meet "one or more" of the criteria grouped into the categories of Design/Physical Value, Historical/Associative Value and Contextual Value.⁷

The evaluation criteria are provided in Ontario Regulation 9/06 of the Ontario Heritage Act (2006) as Criteria For Determining Cultural Heritage Value of Interest.⁸ The criteria are:

Criteria

1. (1) The criteria set out in subsection (2) are prescribed for the purposes of clause 29 (1) (a) of the Act. O. Reg. 9/06, s. 1 (1).

(2) A property may be designated under section 29 of the Act if it meets one or more of the following criteria for determining whether it is of cultural heritage value or interest:

1. The property has design value or physical value because it,

i. is a rare, unique, representative or early example of a style, type, expression, material or construction method,

ii. displays a high degree of craftsmanship or artistic merit, or

⁷ Government of Ontario, *Heritage Property Evaluation: A Guide to Listing, Researching and Evaluating Cultural Heritage Property in Ontario Communities* (Queen's Printer, 2006), p 20.

⁸ <https://www.ontario.ca/laws/regulation/060009>.

10 MISSISSAUGA ROAD, MISSISSAUGA, ON. HERITAGE IMPACT ASSESSMENT

iii. demonstrates a high degree of technical or scientific achievement.

2. The property has historical value or associative value because it,

i. has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community,

ii. yields, or has the potential to yield, information that contributes to an understanding of a community or culture, or

iii. demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.

3. The property has contextual value because it,

i. is important in defining, maintaining or supporting the character of an area,

ii. is physically, functionally, visually or historically linked to its surroundings, or

iii. is a landmark. O. Reg. 9/06, s. 1 (2).⁹

Criteria 1: Design Value or Physical Value

The property at 10 Mississauga Road North does not have significant design or physical values. It is a cottage type structure common to the early twentieth century. Its craftsmanship is of average quality for the period and it does not represent any level of technical or scientific achievement. Its narrow staircase and its decaying foundation support these conclusions.

Criteria 2: Historical Value Associative Value

While the larger property of which 10 Mississauga Road North is a small part initially belonged to James Cotton, it was for him a simple speculative venture which he soon sold. None of the subsequent owners were prominent within Port Credit and the existing structure is not linked to a builder of significance to the community. Marco Biscaro, who owned the property from 1913 to 1954, is described in census and voters' records from the 1920s and 1930s as a labourer.¹⁰

Herbert Joseph Smith who owned the property from 1954 until 2006 is listed as a machinist in the 1957 and 1972 voters' records.¹¹

⁹ Emphases added.

¹⁰ https://www.ancestry.ca/interactive/2983/33022_294117-00419?pid=89467675&treeid=&personid=&rc=&usePUB=true&_phsrc=pR11&_phstart=successSource and https://www.ancestry.ca/interactive/8991/1921_080-e003027183?pid=1315595&treeid=&personid=&rc=&usePUB=true&_phsrc=pR11&_phstart=successSource

¹¹ https://www.ancestry.ca/interactive/2983/33022_301891-01061?pid=87071668&treeid=&personid=&rc=&usePUB=true&_phsrc=pR12&_phstart=successSource and https://www.ancestry.ca/interactive/2983/33022_302474-01222?pid=64868288&treeid=&personid=&rc=&usePUB=true&_phsrc=pR15&_phstart=successSource.

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Criteria 3: Contextual Value

The structure at 10 Mississauga Road North does not define or support the character of the neighbourhood and it is not a landmark within the community.

HERITAGE EVALUATION OF 10 MISSISSAUGA ROAD NORTH UNDER THE PROVINCIAL POLICY STATEMENT

The *Provincial Policy Statement (2014)* provides the following guidance on the conservation of cultural heritage properties:

2.6 Cultural Heritage and Archaeology

2.6.1 Significant built heritage resources and significant cultural heritage landscapes shall be conserved.

2.6.2 Development and site alteration shall not be permitted on lands containing archaeological resources or areas of archaeological potential unless significant archaeological resources have been conserved.

2.6.3 Planning authorities shall not permit development and site alteration on adjacent

lands to protected heritage property except where the proposed development and site alteration has been evaluated and it has been demonstrated that the heritage attributes of the protected heritage property will be conserved.

2.6.4 Planning authorities should consider and promote archaeological management plans and cultural plans in conserving cultural heritage and archaeological resources.

2.6.5 Planning authorities shall consider the interests of Aboriginal communities in conserving cultural heritage and archaeological resources.¹²

The *Policy* defines Conserved in these terms:

Conserved: means the identification, protection, management and use of built heritage resources, cultural heritage landscapes and archaeological resources in a manner that ensures their cultural heritage value or interest is retained under the Ontario Heritage Act. This may be achieved by the implementation of recommendations set out in a conservation plan, archaeological assessment, and/or heritage impact assessment. Mitigative measures and/or alternative development approaches can be included in these plans and assessments.

10 Mississauga Road North does not exhibit significant built heritage resources that should be conserved under the terms of the Provincial Policy Statement (2014).

SUMMARY STATEMENT, PROPOSED MITIGATION MEASURES AND RECOMMENDATION

10 Mississauga Road North was placed in the inventory of properties of cultural heritage interest of value for the following reasons because it is located within the Mississauga Road Scenic Route. This portion of the identified cultural landscape exhibits few of the attributes common to other parts of Mississauga Road to the north. It lacks the canopy of mature trees other portions

¹² Government of Ontario, *Provincial Policy Statement (2014)*, p. 20.

10 MISSISSAUGA ROAD, MISSISSAUGA, ON. HERITAGE IMPACT ASSESSMENT

of the route exhibit and its architecture is an eclectic mix of early twentieth century residences, mid-century apartments and commercial ventures.

After addressing the detailed criteria above individually, it can be said that 10 Mississauga Road North, in its current form, has no design or physical value, no historical or associative value and no contextual value.

Based on the above analysis it can also be stated with confidence that the property at 10 Mississauga Road North does not fall within the purview of the *Provincial Policy Statement (2014)* in that it does not exhibit the cultural heritage values required for consideration.

The massing of the proposed structure for 10 Mississauga Road North is somewhat imposing in relation to the domestic residences on either side of it. This could be mitigated by setting the new building further back on the two lots as was done with the residence at 6 Mississauga Road North. The sense of mass could also be decreased by reducing the size and prominence of the grey composite panel or arch which now unites the two portions of the building.

It is the recommendation of this assessment that the current owner of 10 Mississauga Road North be granted a demolition permit for the existing structure and permission to erect a semi-detached dwelling in its place.

10 MISSISSAUGA ROAD, MISSISSAUGA, ON. HERITAGE IMPACT ASSESSMENT

CHAIN OF OWNERSHIP

- 11 July 1854, patent for all of lot 8, range 1, Credit Indian Reserve is issued to James Cotton
- 4 Dec. 1857, James Cotton sells lot 8, range 1, CIR and other land to Charles E. Anderson for £5,000, memorial 4478
- 19 Oct. 1863, Charles E. Anderson sells lot 8, range 1, CIR to Timothy Madigan for £1, memorial 11609
- 24 Dec. 1864, Timothy Madigan sells southern ten acres of lot 8, range 1, CIR to John Thompson for \$651.00, memorial 12894
- 10 April 1913, land is sold to International Permanent Investments Ltd., memorial 15605
- 9 Aug. 1913, International Permanent Investments Ltd. registers Plan I13, memorial I13
- 2 Dec. 1913, International Permanent Investments Company sells lot 85 and 86 of Plan I13 to Marco Biscaro for \$500.00, memorial 16137
- 7 July 1926, Marco Biscaro takes out mortgage on lots 85 and 86 for \$2,500.00, memorial 27839
- 4 Oct. 1954, Marco Biscaro grants lots 85 and 86 to Herbert Joseph and Mabel Joanne Smith for \$1.00, memorial 6683
- 18 May 2006, Richard David Smith, executor of Herbert Joseph Smith estate, transfers lot 85 and 86 to Huo-Hsiung Liao and Chi-Chin Lo, memorial PR1063405
- 28 May 2010, Huo-Hsiung Liao and Chi-Chin Lo transfer lots 85 and 86 to Agnieszka Zieba, memorial PR1828196
- 1 Nov. 2011, Agnieszka Zieba transfers lots 85 and 86 to current owner, memorial 2101382

10 MISSISSAUGA ROAD, MISSISSAUGA, ON. HERITAGE IMPACT ASSESSMENT

QUALIFICATIONS OF AUTHOR

Robert Joseph Burns

Principal

Heritage Resources Consulting

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Education

- PhD. in history, University of Western Ontario, London, ON

Career Highlights

- Principal, Heritage Resources Consulting, 1995 to the present
- Historian, Parks Canada, 1976 to 1995
- Manuscript editor, *Dictionary of Canadian Biography*, University of Toronto, 1973 to 1976

Summary

Dr. Burns has over four decades of experience in historical research and analysis. As a Parks Canada Project Historian he prepared a narrative and structural history of Inverarden, a Cornwall, Ontario domestic property built in 1816, and a structural and social history of Fort Wellington National Historic Site at Prescott, Ontario. As a member (history) of the Federal Heritage Buildings Review Office (FHBRO) from 1990 to 1995 he participated in the review of some 500 federal properties including CFB Esquimalt and the Kingston Penitentiary. As a consultant since 1995 he has completed a wide range of heritage assessment and research projects in co-operation with Heritage Research Associates, Inc., Ottawa and has prepared FHBRO cultural heritage assessment reports on numerous federal properties including CFB Goose Bay and its buildings, hangars, munitions bunkers and former nuclear weapons storage facilities. His examination of the temporary storage of nuclear weapons at Goose Bay during the Korean War crisis led to the publication of "Bombs in the Bush," *The Beaver*, Jan. 2005.

Heritage Assessment Projects

Heritage Assessments prepared for the Federal Heritage Buildings Review Office

- CFB Goose Bay, Heritage Assessment of 124 buildings, 2000. Building functional types included barracks, hangars, storage bunkers for conventional and nuclear weapons, guard towers, warehouses, and offices.
- CFB Goose Bay, Heritage Assessment of 16 buildings, 2001. Building functional types consisted of hangars for medium and heavy bombers.

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- CFB Gagetown, Heritage Assessment of 77 buildings, 2002. Building Functional types included office/admin buildings, barracks, drill halls, garages, gate/guard houses, lecture/training buildings, mess halls, quarters, shops and recreational buildings.
- Bedford Institute of Oceanography, Heritage Assessment of the Van Steenburgh and Polaris Buildings, 2003.
- Hudson's Bay Company Post (abandoned), Ukkusiksalik National Park, Nunavut, 2005.
- Nanaimo Foundry, Nanaimo, BC, 2005.
- Heritage Assessments of the following lighthouses, lightstations and range light towers in the Great Lakes and Atlantic regions, 2006-2008:
 - Shoal Island Lighthouse, Manitoulin Island, Heritage Assessment 2006.
 - Badgeley Island Rear Range Light Tower, Georgian Bay, Heritage Assessment 2006.
 - Byng Inlet Rear Range Light Tower, Georgian Bay, Heritage Assessment 2006.
 - Brebeuf Island Rear Range Light Tower, Georgian Bay, Heritage Assessment 2006.
 - Pigeon Island Rear Range Light Tower, Lake Ontario, Heritage Assessment 2006.
 - Pointe Au Baril Rear Range Light Tower, Georgian Bay, Heritage Assessment 2006.
 - Rondeau East Pier Light Tower, Lake Erie, Heritage Assessment 2006.
 - Stokes Bay Rear Range Light Tower, Lake Huron, Heritage Assessment 2006.
 - Owen Sound Front Range Light Tower, Georgian Bay, Heritage Assessment 2006.
 - Brebeuf Island Front Range Light Tower, Georgian Bay, Heritage Assessment 2006.
 - Chantry Island Lighthouse Dwelling, Lake Huron, Heritage Assessment 2006.
 - Gros Cap Reef Lighthouse, St. Mary's River, Heritage Assessment 2006.
 - Janet Head Lighthouse, Manitoulin Island, Heritage Assessment 2006.
 - Red Rock Lighthouse, Georgian Bay, Heritage Assessment 2006.
 - Snug Harbour Lighthouse, Georgian Bay, Heritage Assessment 2006.
 - Byng Inlet Front Range Light Tower, Georgian Bay, Heritage Assessment 2007.
 - Kagawong Lighthouse, Manitoulin Island, Heritage Assessment 2007.
 - Manitouwaning Lighthouse, Manitoulin Island, Heritage Assessment 2007.
 - Shaganash Light Tower, Lake Superior, Heritage Assessment 2007.
 - Saugeen River Front Range Light Tower, Lake Huron, Heritage Assessment 2007.
 - Saugeen River Rear Range Light Tower, Lake Huron, Heritage Assessment 2007.
 - Shoal Light Tower, Lake Rosseau, ON., Heritage Assessment 2007.
 - Wilson Channel Front Range Light Tower, near Sault Ste. Marie, Heritage Assessment 2007.
 - Wilson Channel Rear Range Light Tower, near Sault Ste. Marie, Heritage Assessment 2007.
 - Canso Front Range Light, Heritage Assessment, 2008.
 - Canso Rear Range Light, Heritage Assessment, 2008.
 - Cape Croker Light Tower, Heritage Assessment, 2008.
 - Jones Island Front Range Light, Heritage Assessment, 2008.
 - Jones Island Rear Range Light, Heritage Assessment, 2008.
 - Margaree Harbour Front Range Light, Heritage Assessment, 2008.
 - Margaree Harbour Rear Range Light, Heritage Assessment, 2008.

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- Thunder Bay Main Lightstation, Heritage Assessment, 2008.
- West Sister Rock Lighttower, Heritage Assessment, 2008.

Heritage Assessments prepared for the federal Heritage Lighthouse Preservation program

- Great Duck Island, Georgian Bay, ON, 2010.
- Janet Head Lighthouse, Manitoulin Island, Heritage Assessment, 2010.
- Kagawong Lighthouse, Manitoulin Island, Heritage Assessment, 2010.
- Killarney East Lighthouse, Georgian Bay, Heritage Assessment, 2010.
- Killarney Northwest Lighthouse, Georgian Bay, Heritage Assessment, 2010.
- Manitouwaning Lighthouse, Manitoulin Island, Heritage Assessment, 2010.
- Victoria Beach Lighthouse, NS, Heritage Assessment, 2011.
- Schafner Point Lighthouse, NS, Heritage Assessment, 2011.
- Port Bickerton Lighthouse, NS, Heritage Assessment, 2011.
- McNab Point Lighthouse, Heritage Assessment, 2011.
- Saugeen River Front Range Light, Heritage Assessment, 2011.
- Saugeen River Rear Range Light, Heritage Assessment, 2011.
- Pointe au Baril Front Range Light, Heritage Assessment, 2014.
- Pointe au Baril Rear Range Light, Heritage Assessment, 2014.
- Snug Harbour Front Range Light, Heritage Assessment, 2014.
- Snug Harbour Rear Range Light, Heritage Assessment, 2014.

Heritage Assessments prepared for the private sector

- Madill barn, 6250 Hurontario Street, Mississauga, ON, Heritage Assessment, 2009.
- Stone residence, 7129 Tremaine Road, Milton, ON, Heritage Assessment, 2009.
- Smye estate, 394 Lakeshore Road West, Mississauga, ON, Heritage Assessment, 2009.
- Dudgeon cottage, 305 Lakeshore Road West, Oakville, ON, Heritage Assessment, 2010.
- five domestic structures, Bronte Road, Bronte, ON, Heritage Assessment, 2010.
- Lorne Park Estates cottage, 1948 Roper Avenue, Mississauga, ON, Heritage Assessment, 2012.
- Farm house, 11687 Chinguacousy Road, Brampton, ON, Heritage Assessment, 2012.
- Farm house, 3650 Eglinton Ave., Mississauga, ON, Heritage Assessment, 2013.
- Downtown Campbellford Properties, Heritage Assessment, 2013.
- residence, 1422 Mississauga Road, Heritage Impact Statement, 2015.
- residence, 2560 Mindemoya Road, Mississauga, Heritage Impact Statement, 2018.
- residence/offices, 70 Queen Street South, Mississauga, Heritage Impact Assessment, 2018.
- residence, 869 Sangster Avenue, Lorne Park Estates, Mississauga, Heritage Impact Assessment, 2018.
- residence, 1341 Stavebank Road, Mississauga, Heritage Impact Assessment, 2019.
- residence, 972 Bexhill Road, Mississauga, Heritage Impact Assessment, 2019.
- residence, 795 First Street, Mississauga, Heritage Impact Statement, 2019.
- residence, 10 Mississauga Road North, Mississauga, Heritage Impact Assessment, 2019.

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Heritage Assessments and Plaque Texts prepared for the Ontario Heritage Trust

- J. L. Kraft, Fort Erie, ON, 2003.
- Reid Mill, Streetsville, ON, 2004.
- George Weston, Toronto, ON., 2005.
- Pauline McGibbon, Sarnia, ON, 2006.
- W. P. Bull, Brampton, ON, 2007.
- Founding of Englehart, ON, 2008.
- George Drew, Guelph, ON, 2008.
- Founding of Latchford, ON, 2009.
- Ball's Bridge, Goderich, ON, 2011.
- Canadian Tire Corporation, 2012.
- Ontario Paper Mill, 2013.
- Louise de Keriline Lawrence, 2016.

Publications and Other Major Projects

- "God's chosen people: the origins of Toronto society, 1793-1818", *Canadian Historical Association: Historical Papers*, 1973, Toronto, 1974. Republished in J. Bumsted (ed.), *Canadian History Before Confederation: Essays and Interpretations*, 2nd ed. (Georgetown, Ont.: Irwin-Dorsey Ltd., 1979).
- "James Grant Chewett", "William Botsford Jarvis", "George Herkimer Markland" and "Thomas Gibbs Ridout" published in the *Dictionary of Canadian Biography*, vol. IX, Toronto, 1976.
- "The post fur trade career of a North West Company partner: a biography of John McDonald of Garth", *Research Bulletin No. 60*, Parks Canada, 1977. Reprinted in *Glengarry Life*, Glengarry Historical Society, 1981.
- "Inverarden: retirement home of North West Company fur trader John McDonald of Garth". *History and Archaeology No. 25*, Parks Canada, 1979. First printed as *Manuscript Report Series No. 245*, 1978.
- "Fort Wellington: a Narrative and Structural History, 1812-38", *Manuscript Report Series No. 296*, Parks Canada, 1979.
- A review of J.M.S. Careless (ed.), *The Pre-Confederation Premiers: Ontario Government Leaders, 1841-1867* (Toronto: University of Toronto Press, 1980) in *Ontario History*, LXXIII, No.1, March 1981.
- A review of Mary Larratt Smith (ed.), *Young Mr. Smith in Upper Canada* (Toronto: University of Toronto Press, 1980) in *Ontario History*, LXXIV, No. 2, June 1982.
- "William Jarvis", "Robert Isaac Dey Gray" published in the *Dictionary of Canadian Biography*, Vol. V, Toronto, 1983.
- "Bulk packaging in British North America, 1758-1867: a guide to the identification and reproduction of barrels", *Research Bulletin No. 208*, Parks Canada, December 1983.
- "Cornwall, Ontario" in *The Canadian Encyclopedia* (Edmonton: Hurtig Publishers, 1985).

10 MISSISSAUGA ROAD, MISSISSAUGA, ON. HERITAGE IMPACT ASSESSMENT

- "Samuel Peters Jarvis [with Douglas Leighton]" and "Samuel Smith Ridout" in the *Dictionary of Canadian Biography*, Vol. VIII, Toronto, 1985.
- "The Burns and Gamble Families of Yonge Street and York Township [with Stanley J. Burns]", *O.G.S. Seminar '85* (Toronto: Ontario Genealogical Society, 1985).
- "Starting From Scratch: the Simcoe Years in Upper Canada", *Horizon Canada*, No. 22, July 1985.
- "Upper Canada In the Making, 1796-1812", *Horizon Canada*, No. 23, August 1985.
- A review of Bruce G. Wilson, *The Enterprises of Robert Hamilton: A Study of Wealth and Influence in Early Upper Canada, 1776-1812* (Ottawa: Carleton University Press, 1983) in the *Canadian Historical Review*, LXVI, No. 3, Sept. 1985.
- Lila Lazare (comp.) with an intro. by Robert J. Burns, "Artifacts, consumer goods and services advertised in Kingston newspapers, 1840-50: a resource tool for material history research", *Manuscript Report Series No. 397*, Parks Canada, 1980.
- "W.A. Munn and the discovery of a Viking occupation site in northern Newfoundland", Historic Sites and Monuments Board agenda paper, 1982.
- Research and writing of "The Loyalists," a booklet to accompany the Loyalist Bicentennial travelling exhibit prepared by Parks Canada, 1983.
- "Paperboard and Paper Packaging in Canada 1880-1930: An Interim Report" *Microfiche Report Series No. 210* (1985).
- "Packaging Food and Other Consumer Goods in Canada, 1867-1927: A guide to Federal Specifications For Bulk and Unit Containers, Their Labels and Contents" *Microfiche Report Series No. 217* (1985).
- "Paperboard Packaged Consumer Goods: Early Patterns of Product Availability" (1986).
- "Thomas Ridout" in the *Dictionary of Canadian Biography*, Vol. VI, Toronto, 1987.
- "Paperboard and Paper Packaging in Canada, 1880-1930", 2 Vols. *Microfiche Report Series No. 393* (1989).
- Curator, along with Marianne McLean and Susan Porteus, of "Rebellions in the Canadas, 1837-1838," an exhibition of documents and images sponsored by the National Archives of Canada, 1987.
- "Marketing Food in a Consumer Society: Early Unit Packaging Technology and Label Design" in *Consuming Passions: Eating and Drinking Traditions in Ontario* (Meaford, Ont.: Oliver Graphics, 1990).
- "Robert Isaac Dey Gray" reprinted in *Provincial Justice: Upper Canadian Legal portraits from the Dictionary of Canadian Biography*, ed. Robert L. Fraser (Toronto: University of Toronto Press, 1992).
- "John Warren Cowan" and "Thomas McCormack" published in the *Dictionary of Canadian Biography*, Vol. XIII, 1994.
- *Guardians of the Wild: A History of the Warden Service of Canada's National Parks* (University of Calgary Press, 2000).
- "'Queer Doings': Attitudes toward homosexuality in nineteenth century Ontario," *The Beaver*,

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Apr. May. 2003.

- “Bombs in the Bush: The Strategic Air Command in Goose Bay, 1953,” *The Beaver*, Dec. 2004/Jan. 2005.
- preparation of a history of the Royal Canadian Mounted Police under contract for the Force, 2004-2007.
- press releases regarding heritage plaque unveilings for Parks Canada, Ottawa, ON, 2010.
- a review and analysis of heritage bulk containers in the Parks Canada Artifact Collection, Ottawa, ON, 2011.
- *Port Stanley: The First Hundred Years, 1804-1904*, with Craig Cole (Heritage Port: Port Stanley, ON, 2014).

Related Professional Associations

- Professional member of Canadian Association of Heritage Professionals.
- Member of Federal Heritage Building Review Board (retired).
- Chair, Heritage Central Elgin.
- President of the Sparta (Ontario) and District Historical Society.
- Member, St. Thomas-Elgin Branch of the Architectural Conservancy of Ontario.
- Member (Past), Board of Directors, Elgin County Archives Association.
- Member, Board of Directors, Sparta Community Association.
- Former member, Board of Directors, and Publications Committee Chair, Ontario Historical Society.
- Past president, Stormont, Dundas and Glengarry Historical Society.
- Past chair, Local Architectural Conservation Advisory Committee, Cornwall, ON.
- Former chair, Heritage sub-committee, “Central Elgin - Growing Together Committee,” Municipality of Central Elgin.

City of Mississauga Corporate Report



Date: 2/26/2020

To: Chair and Members of Heritage Advisory Committee

From: Paul Mitcham, P. Eng, MBA, Commissioner of
Community Services

Originator's files:

Meeting date:
3/10/2020

Subject

Request to Alter a Heritage Designated Property: 271 Queen Street South (Ward 11)

Recommendation

That the City approve restoration and repair work on the designated property at 271 Queen Street South, known as Odd Fellows Hall, as per the Corporate Report from the Commissioner of Community Services dated February 18, 2020.

Report Highlights

- The property owner has submitted an application for the restoration of Odd Fellows Hall.
- The work plan for the restoration generally conforms to a previously approved work plan for the property.
- The current work plan adheres to Parks Canada Standards and Guidelines and conforms to the best principles of heritage restoration.
- Final details for the work plan are to be submitted as part of the Designated Heritage Property Grants program and will be reviewed by Staff and the Grants Sub Committee prior to issuance of any grant funding.

Background

In 1875, Timothy Street transferred this property to the Odd Fellows Society of Streetsville for the sum of one dollar. Later that year, the current building, the Odd Fellows Hall, was constructed where the ground floor was an assembly hall and the second floor was used as meeting space. The Odd Fellows sold the Hall in 1972. A number of businesses have operated since that time, however the building has been vacant for the better part of the past two decades.

Odd Fellows Hall at 271 Queen Street South is designated under Part IV of the Ontario Heritage Act. The property was designated under the Act in 1983. Section 33 of the Act requires permission from Council in order to make alterations to property designated under Part IV of the Act. The

Heritage Advisory Committee	2020/02/18	2
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property recently changed hands and the new owner has submitted a heritage permit to conduct the following alterations:

- Repointing of selective portions of the exterior walls;
- Replace modern masonry around windows on main façade with salvaged original material;
- Removal of non-heritage paint from front façade;
- Restoration of original windows;
- Chimney stabilization or restoration.

Comments

The property owner has submitted a Heritage Impact Assessment and drawings which detail the proposed work plan for the property (Appendix 1 and 2).

The proposed work plan consists of repair and restoration work of the exterior masonry of the Hall, as well as the restoration of the original windows and the stabilization of the chimneys.

The exterior masonry work will involve re-pointing of the masonry where required, as well as the replacement of a more recent masonry repair around a window on the front façade with salvaged original masonry material. The front façade was painted in the latter twentieth century, and the paint will be removed using a non-abrasive process done by an experienced heritage professional in order to ensure that no damage will occur to the existing masonry.

The windows require restoration and the wood window frames and sashes are being restored and replaced as needed. Like for like materials are being used and each frame is being custom built made for each window.

The chimneys require stabilization and possibly complete restoration and rebuilding. A further assessment of the condition of the chimneys is to be done once conditions allow.

The above work plan follows the best principles for heritage restoration and repair, with original materials remaining in place as much as possible, more recent repairs replaced with original materials and an approach which focuses on the least possible impact to the existing exterior of the Hall.

The above work plan is similar to a previous work plan submitted to the City in 2014. Details of the previous submission can be found on the December 9, 2014 HAC agenda (http://www7.mississauga.ca/documents/agendas/committees/heritage/2014/HAC_Agenda_2014_12_09.pdf). This work plan was approved under permit HPA 15-1, which has since expired.

There are two substantial differences between the previously approved work plan and the current application. First, the previous application sought to replace all the windows whereas the current application seeks to restore as much as possible, leaving replacement only for those windows which cannot be restored.

Second, the previous application sought to re-paint the front façade of the building as it was believed that removing the paint would be damaging to the masonry. More recent advances in restoration techniques have allowed for the removal of paint from masonry in a manner which can preserve the existing brick. As noted in the HIA, these newer techniques will be tested prior to the entire façade being treated.

The Heritage Impact Assessment notes that final details of the work plan are to be submitted to Staff for review and approval. The property owner has also made it known to Staff that they will be applying to the Designated Heritage Property Grants program for the above work plan, and the details surrounding the work will be required as part of that application. The application will be reviewed by Staff and the Grants Sub Committee prior to issuance of any grants funding.

Financial Impact

There is no financial impact resulting from the recommendation in this report.

Conclusion

The applicant has applied for a heritage permit to complete restoration work of Odd Fellows Hall. The proposal adheres to Parks Canada's Standards and Guidelines and staff recommends approval conditional to the review of all work plan details to be provided through the Designated Heritage Property Grants Program.

Attachments

Appendix 1: Appendix 1: Heritage Impact Assessment

Appendix 2: Appendix 2: Drawings



Paul Mitcham, P. Eng, MBA, Commissioner of Community Services

Prepared by: John Dunlop

IMPACT ASSESSMENT



FORMER ODD FELLOWS HALL

271 Queen Street South
STREETSVILLE, MISSISSAUGA

31 JAN 2020

MEGAN HOBSON

M.A. DIPL. HERITAGE CONSERVATION

Built Heritage Consultant

905.975-7080

mhobson@bell.net

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APPENDIX A: SITE PHOTOS (P. MANCHANDA)	ATTACHED
APPENDIX B: DESIGNATION BY-LAW 122-83	ATTACHED
APPENDIX C: ARCHITECTURAL DRAWINGS (SMDA INC)	ATTACHED

BACKGROUND & METHODOLOGY

This report was prepared by heritage consultant Megan Hobson for the owner of the former Odd Fellows Hall in Streetsville located at 271 Queen Street South in the village core. The owner is proposing to rehabilitate this historic building for a new use as a commercial space and small event rental hall.

The building was originally constructed in 1875 and is a protected heritage property that is Designated under Part IV of the *Ontario Heritage Act*. The building is currently vacant and is boarded up and in a dilapidated state. The Heritage Committee has reviewed and approved two previous approvals for this property that were submitted by previous owners in 2014 and 2016 but were not carried out. The current proposal includes conservation work that is consistent with recommendations in two previous *Heritage Impact Assessments* that were reviewed and approved by the Heritage Committee. The owner has met with heritage staff regarding the proposed alterations and the conservation requirements.

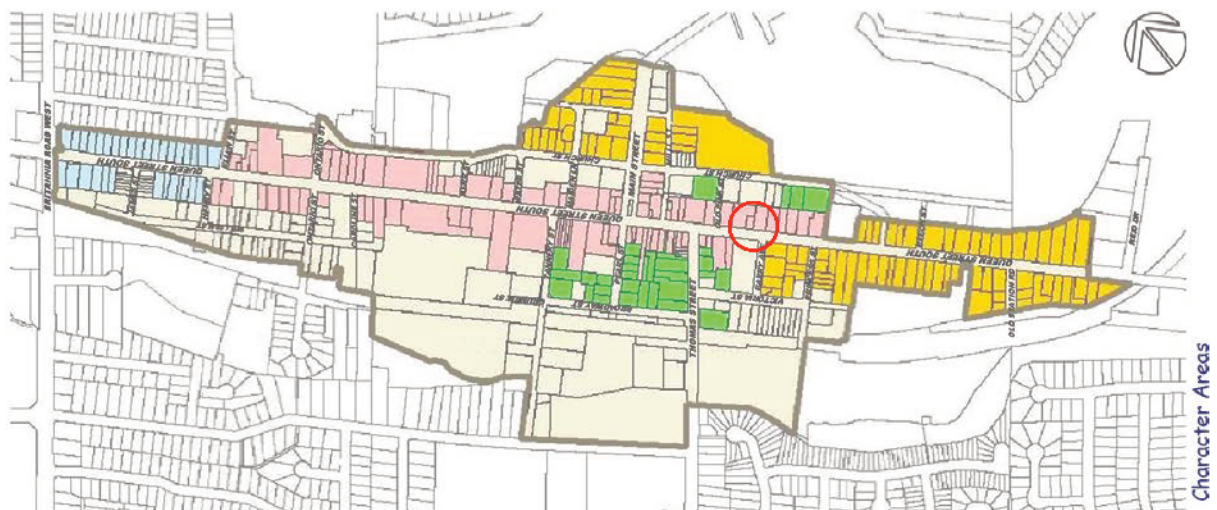
This *Heritage Impact Assessment* report has been prepared in accordance with the City of Mississauga's *Terms of Reference for Heritage Impact Assessments*.¹ Information in this report is based on extensive research and site investigation contained in two previous *Heritage Impact Assessments* by the author. Updated information about the current condition of the property was provided to the consultant by the owner and by Rick Matejlan who is the architectural designer retained by the owner. Updated photos of the current condition of the building are included as an appendix to this report. The owner has consulted with Walter Furlan of Walter Furlan Restoration regarding a strategy to retain and restore the original windows. Some preliminary investigation of the masonry issues has been done but a detailed scope of work has not yet been determined.

¹ Culture Division, *City of Mississauga Heritage Impact Assessment Terms of Reference*, (October 2015).

HERITAGE PLANNING CONTEXT

The subject property is a Designated Heritage Property protected under Part IV of the *Ontario Heritage Act* and City of Mississauga *By-law 122-83*. Mississauga's official planning policies support the Provincial Policy on cultural heritage resources which states that municipalities 'shall protect significant cultural heritage resources'. As a Designated Heritage property, a *Heritage Impact Assessment* is required for any significant alteration to the building on that property. This report must be prepared by a qualified heritage consultant and meet all requirements in *Terms of Reference for Heritage Impact Statements* prepared by the City of Mississauga. This report is reviewed by Heritage Planning Staff and the Municipal Heritage Committee and a recommendation is made to Council regarding the development proposal.

The subject property is located on the east side of Queen Street South in the historic core of Streetsville, a former village that is now part of the City of Mississauga. This is a special policy area subject to the *Historic Streetsville Design Guidelines* developed to ensure that any alterations to existing buildings or new developments will enhance the historic character of the area. This area contains a significant concentration of Designated and Listed 19th century buildings. Designated heritage properties located near the subject property include: Streetsville United Church (1875) which is directly opposite at 274 Queen Street, Franklin House (c. 1850) which is located one lot over to the north at 263-65, and St. Andrew's Presbyterian Church (1868) located a short distance to the south at 295 Queen Street South.



PLANNING CONTEXT: Special Policy Area; Historic Streetsville Character Areas Map

LOCATION AND SURROUNDINGS

The subject property is located on the east side of Queen Street South just south of the main commercial hub of Streetsville centered around the intersection of Main and Queen. The village is located between the Credit River and the former Credit Valley Railway line now operated by Go Transit.

Streetsville was named after Timothy Street (1777-1848) a prominent early citizen and landowner. The subject property is located on a village lot subdivided by Timothy Street (a relative) in 1856 and transferred to the Independent Order of Odd Fellows in 1875.

Queen Street is a busy commercial strip lined with small-scale buildings containing a range of businesses and services. This area is subject to the *Historic Streetsville Design Guidelines* intended to preserve the scale and character of the streetscape. The 19th century streetscape is still clearly legible. The subject property has been identified as a Landmark Building in this streetscape.

The subject property is located on a lot that is significantly larger than those associated with other commercial properties in the historic core and the building fills the entire site. It is similar in scale to lots just south of core that contain buildings associated with religious or institutional uses. Like other commercial properties on Queen Street it is close to the street and does not have onsite parking.



AERIAL VIEW: 271 Queen Street South, Streetsville

Nearby Designated heritage properties: 1. Streetsville United Church (1875), 274 Queen Street South, 2. Franklin House (c. 1850), 263-65 Queen Street South, 3. St. Andrew's Presbyterian Church (1868), 295 Queen Street South.

SITE DESCRIPTION (SEE APPENDIX A: SITE PHOTOS)



STREETSCAPE: 271 Queen Street South, Streetsville

The subject property contains a large red brick building originally constructed in 1875 by Lodge No. 122 of the Independent Order of Odd Fellows (IOOF). The main façade is oriented to Queen Street South and consists of a three-bay symmetrical façade with an arched main entrance flanked by very tall round arched windows. There is a large double window on the 2nd floor above the main entrance with tall round arched windows on either side. The main entrance is recessed slightly in a decorative brick arch. The upper floor windows are recessed slightly in brick piers and have decorative brick paneling below the sills.

The foundation is rubble stone and the exterior walls consist of 4 layers of brick laid in common bond. The brick is a soft red clay brick, probably produced locally c. 1875 when the building was originally constructed. Some older 4 over 4 wood sash windows survive and there are also some recent replacements and modern metal doors. The basement windows on the rear façade have been bricked in. The brick is generally sound but there are localized areas that require repair and repointing. Corbelled brick details at the corners of the roof and the four brick chimneys are in poor condition. The chimneys have been parged with a cementitious material. The original cornice has been removed and there is a simple capped brick parapet wall on the front with a shallow sloped gable roof behind.

There are no other structures on the property and the building fills most of the lot. The street frontage is very narrow. There is a one and a half brick commercial building to the north, an empty lot to the south. The lot backs onto the rear of lots fronting on Church Street. There is a loading dock at the rear of the south side elevation.

The interior contains two double-height floors and a small loft at the back. There is an unfinished basement under a small portion of the building towards the back. The interior has

been completely gutted by previous owners. Remnants of the original plaster has survived on the exterior walls on the ground floor but large areas are missing. The plaster is approximately $\frac{3}{4}$ inch thick and is applied directly to the brick with no lathe. There is no plaster on the lower portion of the wall suggesting there may have been wood paneling here that has been removed.

The ground floor is one large space with no partition walls. The floors had narrow pine boards 2 ins wide and $\frac{3}{4}$ in thick but they are in very poor condition and are not salvageable. An area at the back that originally contained a stage now has no floor. The basement below the stage area is exposed and a sump pump has been installed to drain rainwater that collects here because of an opening in the foundation at grade level.

The ground floor ceiling is exposed and there are 3 modern steel I-beams that go through the exterior masonry walls from side to side. In addition, there are 2 original cast iron columns supporting 2 original wood beams that run from the front to the back of the building that are supported on the exterior masonry walls.

The second floor was previously divided into 3 rooms but all of the partition walls have been removed. The plaster ceiling has been removed and the wooden roof timbers and joists are now exposed. The wood floors have boards of varying widths from 5-8 inches. They are in very poor condition and are not salvageable. There are remnants of original millwork around a few windows.

The loft is a small dry-walled room with a modern sliding glass door to the roof. The original timber roof framing has been left exposed.

HISTORICAL CONTEXT

Streetsville, located in the southeast corner of Peel County, was at one time considered the 'Queen of the County'. Streetsville reached its height of prosperity in the 1850s. This prosperity waned slightly when the town was by-passed by the Great Western Railway and Grand Trunk Railway lines in the late 1850s when Brampton rose to prominence in the County. The opening of the Credit Valley Railway (CVR) line through Streetsville in 1879 brought renewed prosperity to the town. The Odd Fellows Hall was constructed in this period of renewed prosperity.

The Independent Order of Odd Fellows (IOOF) was a fraternal society that originated in Britain. The first lodge in Canada was founded in Montreal in 1843. The first Lodge in Canada West was in Belleville, founded in 1845. Following that, lodges were established in many towns in Ontario and in 1855 the Grand Lodge of Canada West was formed. Initially the Grand Lodge had 12 local Lodges in its jurisdiction but by 1923 there were over four hundred.

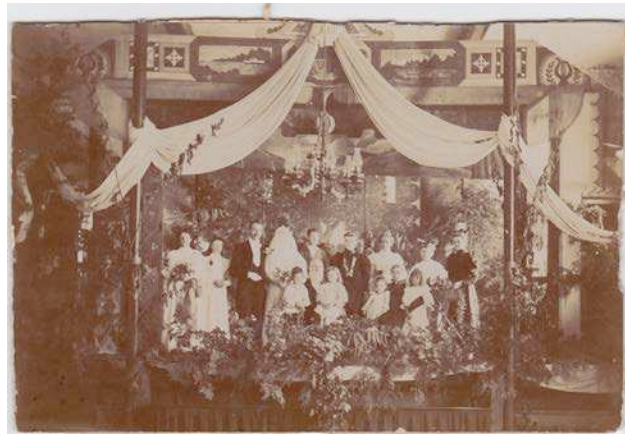
The Streetsville Lodge was founded in 1847 and was therefore one of the earliest Odd Fellow lodges in Ontario and one of the earliest fraternal societies founded in Streetsville and perhaps Peel Township.

Land records indicate that a large lot in the Village that belonged to Timothy Street was transferred to the Odd Fellows Society in 1875 for a small sum of \$1.00. The Odd Fellows

constructed a large brick building that contained a large public assembly hall on the main floor and a lavish meeting room for the Odd Fellows' on the upper floor. Another large room on the upper floor was used by the Farmers' and Mechanics' Institute as a library and reading room. This collection formed the basis of the Streetsville Library and was housed here until 1902 when the Streetsville Public Library moved to its own premises.

The Odd Fellows Society was comprised of members of the professional, commercial and social elite and supported various charitable organizations that benefited poor and working class people in the community. One of the principal goals of the organization was to further public education. The public hall on the main floor served as a social, educational and cultural center for the community for many years. Various types of community events were held here including lectures, concerts, plays, dances and banquets.

The Odd Fellows sold the hall in 1972. Subsequent owners converted it for commercial uses and removed many original features.



HISTORIC PHOTOS: The exterior of the Odd Fellows Hall c. 1920 and an undated photo showing a theatrical production on the main floor stage.



20th CENTURY: Unsympathetic alterations and conversion to commercial use.

The chart below provides a brief chronology of the subject property:

DATE	EVENT
1822	Crown Grant of 200 acres (Lot 3, Concession 4, Township of Toronto) to William Lindsay.
1822	William Lindsay sells 100 acres to Timothy Street
1843	Independent Order of Odd Fellows (IOOF) is introduced into British North America
1847	Streetsville establishes Lodge no. 122 of the IOOF
1855	IOOF establishes the Grand Lodge of Canada West
1856	Timothy Street Registers a Plan for Building Lots in Streetsville (STR-3) Annotation on the plan reads; "N.B. This property is composed of part of Lot No. 3 (West half of same) in the 4 th Concession West of Hurontario Street Toronto Tp." 271 Queen Street West is identified on this plan as Lot no. 21. There is a blacksmith shop on the adjacent lot to the south. The plan covers an area between Queen and Church Street from Pine Street east to the division line between Lots 2 and 3. There are 49 building lots of various sizes on the plan. Lot no. 21 (271 Queen Street South) is one of the larger lots.
1876	Lot 21 (271 Queen Street South) is sold by Bennet Franklin et ux to Charles Douglas et al. (There is no record of a transfer from Timothy Street to Bennet Franklin at the Registry Office).
1877	Lot 21 (271 Queen Street South) is sold by Charles Douglas et al. to the Odd Fellows Society for \$1.00. The Odd Fellows finance construction of a large two-storey brick hall that contains a public assembly hall on the first floor and a lavish meeting room on the 2 nd floor. The Streetsville lodge is identified as Lodge No. 122 of the Independent Order of Odd Fellows.
1877	The Farmers' and Mechanics' Institute (est. 1858) moves into the Odd Fellows' Hall and occupies a large room on the 2 nd floor that served as a library and reading room until 1902. This was Streetsville's first public library.
1877	The River Park Masonic Lodge holds its meetings in the Odd Fellow's meeting room.
1902	Streetsville Library (formerly the Farmers' and Mechanic's Institute) moves out of the Odd Fellows' Hall into its own premises on land purchased from the Cunningham family.
1972	The Odd Fellows' Hall is sold by the IOOF to Susan C. Campbell.
1972	River Park Masonic Lodge that had met in the Odd Fellows' Hall since 1877 moves to new premises.
?	The Odd Fellows' Hall is converted for commercial uses. Subsequent owners make various changes to the building including; removal of architectural features from the facade such as the cornice and roofline ornaments and other stone elements, removal of the gabled architrave over the double windows on the 2 nd floor, application of commercial cladding and glazing on the ground floor, painting of the masonry on the front façade, removal of original wood sash and wood panel doors including the front door, inappropriate masonry repairs
1983	Designation under Part Iv of the Ontario Heritage Act by Corporation of the City of Mississauga By-Law 122-83 for its architectural and historical value.

HERITAGE VALUE (SEE APPENDIX B: DESIGNATION BY-LAW 122-83)

Heritage values associated with 271 Queen Street South identified by the City of Mississauga in By-law 122-83 are contextual. (See Appendix B) Schedule A of the By-law contains a 'Short Statement of the Reasons for Designation';

Contextually, the building built in 1875, is a landmark building in the historic streetscape of Streetsville's main commercial thoroughfare. The height and prominent façade further enhance the structure's placement in the historic core.

The subject property meets criteria for designation under Ontario Regulation 09/06; Criteria for Determining Cultural Heritage Value or Interest in the following ways:

1. The property has design value or physical value because it,
 - i. is a rare, unique, representative or early example of a style, type, expression, material or construction method,
 - ii. displays a high degree of craftsmanship or artistic merit, or
 - iii. demonstrates a high degree of technical or scientific achievement.

271 Queen Street South is a representative example of the type of building built by fraternal societies in Ontario in the last quarter of the 19th century when these societies were at the height of their influence. Due to the fact that many of its original exterior and interior features have been removed, it can not be considered a good example. It displays a moderately high degree of craftsmanship in terms of its exterior brick work and interior plaster work. It demonstrates a moderate degree of technical achievement in terms of the large open-span interior spaces achieved through thick masonry walls and timber framing in order to accommodate large public assemblies.

2. The property has historical value or associative value because it,
 - i. has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community,
 - ii. yields, or has the potential to yield, information that contributes to an understanding of a community or culture, or
 - iii. demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.

271 Queen Street South is associated with the Independent Order of Odd Fellows (IOOF), specifically Streetsville Lodge No. 122 founded in 1847 and is one of the earliest lodges in Ontario. The Streetsville Lodge is significant to the history of Mississauga because it is an example of a private fraternal societies established by local elites to provide charitable services and free public education to working class people before public institutions were well established. The physical fabric of this structure yields information that contributes to an understanding of the community and its culture because it is a large and well constructed assembly hall built and financed by private citizens for public use to benefit the community. In its original state it had an exotic and eclectic architectural style that is associated with the IOOF. Its architectural character is now somewhat diminished due to the removal of many original features including the cornice and other embellishments on the main facade. It was likely designed by a local builder or a member of the lodge but this person has not been identified as of yet. It may be associated with a particular architect, artist, builder, designer or theorist who is significant to the community. It is similar to halls built in the 1870s by fraternal orders in small towns across Ontario.

3. The property has contextual value because it,
 - i. is important in defining, maintaining or supporting the character of an area,
 - ii. is physically, functionally, visually or historically linked to its surroundings, or
 - iii. is a landmark.

271 Queen Street South has significant contextual value as a component of the historic core of Streetsville. Individually it has considerable importance in defining the character of the area because of its scale, its eclectic High Victorian style and its use of locally produced red brick. This has been somewhat diminished by the removal of original exterior features, specifically the elaborate cornice and finials on the roofline and stone decorative details on the main façade. It is a landmark building that occupies a prominent position on Queen Street South in the historic core of Streetsville. It is part of a significant concentration of built heritage resources dating from the mid to late 19th century when Streetsville was a prosperous village in Peel County.

In conclusion, the subject property meets criteria for individual Designation under Part IV of the Heritage Act.

PROPOSED ALTERATIONS (SEE APPENDIX C: ARCHITECTURAL DRAWINGS)

The proposed alterations will have beneficial impacts. The following conservation work is being proposed:

- Repairs to the existing wood windows
- Repairs to the masonry including the stone foundation, exterior brick walls, and brick chimneys
- Brick cleaning to remove paint on the exterior of the building
- Removal of inappropriate metal doors at the front entrance
- Restoration of the original wood doors shown in historic photos

The interior of the building has been completely gutted by previous owners. New services, drywall and flooring will be installed throughout the building. There is currently no operational heating or cooling system so a new HVAC system will be installed. It is anticipated that two mechanical units will be installed, one in the basement and one in the loft area at the rear of the building.

CONSERVATION STRATEGY

The conservation strategy is to stabilize and repair the masonry, restore the wood windows and rehabilitate the interior. This approach is a 'good fit' because it is a low impact approach that will not require any major changes to the surviving historic fabric and will facilitate the reuse of this building.

Given the poor condition of the building, the lack of original interior elements and its status as a landmark building that contributes to the historic character of Streetsville, the proposed changes will be beneficial to the historic building and its historic context and it will make a significant contribution to the economic and social vitality of Streetsville.

CONSERVATION PLAN

Masonry Repairs

An experienced heritage masonry contractor will be retained to provide a more detailed scope of work. Further details will be reviewed by the heritage consultant and provided to heritage staff for final approval to ensure that all new work is compatible.

Masonry Cleaning

An experienced heritage masonry contractor will be retained to provided more details regarding the most appropriate non-abrasive cleaning method. Further details will be reviewed by the heritage consultant and provided to heritage staff for final approval to ensure that all new work is compatible




Doors



The metal doors at the front entrance will be replaced with more appropriate wood doors based on historic photos. Details are provided on the attached drawings by SMDA.

Windows

An experience heritage window expert will be retained to restore the original wood windows. If new windows are installed they will match the historic windows. Further details will be reviewed by the heritage consultant and provided to heritage staff for final approval to ensure that all new work is compatible. Walter Furlan of Walter Furlan Restoration, who is a heritage window expert, has inspected the windows and proposed to remove one window at a time and restore it in his workshop in Hamilton.

Table 1.0 RECOMMENDATIONS FOR PROPOSED CONSERVATION WORK

PROPOSED UNDERTAKING	IMAGE	RECOMMENDATIONS
<p>MASONRY REPAIRS</p> <ul style="list-style-type: none"> selective repairs and re-pointing throughout, as required, original fabric will be preserved, new work will match old. 		<ul style="list-style-type: none"> Work to be carried out by an experienced heritage mason. Samples of replacement brick and new mortar to be provided to staff for final approval.
<p>SELECTIVE MASONRY REPLACEMENT</p> <ul style="list-style-type: none"> remove new brick around window opening on the main façade that was repaired by a previous owner replace with salvaged brick to match original 		<ul style="list-style-type: none"> Work to be carried out by an experienced heritage mason Samples of replacement brick and new mortar and replacement brick to be provided to staff for final approval.
<p>MASONRY CLEANING</p> <ul style="list-style-type: none"> remove non-historic paint coatings on the main façade 		<ul style="list-style-type: none"> Use a non-abrasive cleaning method Work to be carried out by an experienced heritage brick cleaning expert. Test patches to be carried with various cleaning methods to determine most appropriate cleaning method

		<ul style="list-style-type: none"> • <i>Samples and details to be provided to heritage staff for final approval.</i>
<p>WINDOW REPAIRS</p> <ul style="list-style-type: none"> • restore the original wood sash windows 		<ul style="list-style-type: none"> • <i>Work to be carried out by an experience heritage window expert.</i> • <i>A detailed condition assessment and recommendation from a heritage window expert should be provided to staff if any window replacements are required.</i>
<p>CHIMNEY STABLIZATION</p> <ul style="list-style-type: none"> • stabilize the chimneys and carry out repairs if necessary 		<ul style="list-style-type: none"> • <i>Carry out further investigation to determine if the chimneys can be stabilized or require rebuilding.</i> • <i>If rebuilding is required, new work should match the existing.</i>

CONCLUSION

This property has sat vacant for several years and is unheated and continues to deteriorate. There are holes in the foundation and the interior has been gutted. In order to ensure the conservation of this building it is imperative that a new use be found before further and non-reversible deterioration occurs. The proposed alterations represent an opportunity to restore the historic façade and rehabilitate the interior space to modern standards. It is therefore recommended that the city approve the proposed development for 271 Queen Street South since it will allow conservation of this landmark heritage building, contribute to the economic vitality of the Historic Streetsville area, and visually enhance the streetscape.

QUALIFICATIONS OF THE AUTHOR

The author of this report is a professional member of the Canadian Association of Heritage Professionals. Formal education includes a Master of Arts in Architectural History from the University of Toronto and a diploma in Heritage Conservation from the Willowbank School of Restoration Arts. Professional experience includes an internship at the Ontario Heritage Trust, three years as Architectural Historian and Conservation Specialist at Taylor Hazell Architects in Toronto, and 9 years in private practice in Ontario as a heritage consultant. Other relevant experience includes teaching art history at the University of Toronto and McMaster University and teaching Research Methods and Conservation Planning at the Willowbank School for Restoration Arts in Queenston. In addition to numerous heritage reports, the author has published work in academic journals such as the *Journal for the Study of Architecture in Canada* and the *Canadian Historical Review*.

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APPENDIX A: PHOTOS



EXTERIOR – front elevation



EXTERIOR – side elevation



EXTERIOR – rear elevation



EXTERIOR – side elevation



EXTERIOR – brick masonry



EXTERIOR – rubble stone foundation



INTERIOR – 1st FLOOR – 2 cast iron columns are original



INTERIOR – 1st FLOOR



INTERIOR – 1st FLOOR



INTERIOR – 1st FLOOR



INTERIOR – 2nd FLOOR



FOUNDATION – existing basement at the back of the building



FOUNDATION – preliminary investigation of the footings

Appendix B: Reasons for Designation (City of Mississauga By-law no. 122-83)

SCHEDULE 'A' TO BY-LAW 122-83

SHORT STATEMENT OF THE REASONS FOR
THE PROPOSED DESIGNATION

Contextually, the building built in 1875, is a landmark building in the historic streetscape of Streetsville's main commercial thoroughfare. The height and prominent facade further enhance the structure's placement in the historic core.

No.	Date	Issued/Revision	By:
1	2019-09-04	For Preliminary Review	RHM
2	2019-09-19	For Preliminary Review	RHM
3	2019-10-17	For Preliminary Review	RHM
4	2019-10-23	For Preliminary Review	RHM
5	2019-10-25	For Preliminary Review	RHM
6	2019-10-31	For Preliminary Review	RHM
7	2019-11-06	For Preliminary Review	RHM
8	2019-11-08	For Preliminary Review	RHM
9	2019-11-12	For Preliminary Review	RHM
10	2019-12-17	For Preliminary Review	RHM
11	2020-01-09	For Preliminary Review	RHM
12	2020-05-15	For Preliminary Review	RHM
13	2020-05-17	For Preliminary Review	RHM
14	2020-01-23	For Preliminary Review	RHM
15	2020-01-24	For Preliminary Review	RHM
16	2020-01-28	For Preliminary Review	RHM
17	2020-01-31	For Preliminary Review	RHM

SMDA

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Designer: Engineer:

ONTARIO
ASSOCIATION
OF ARCHITECTS

LICENSED TECHNOLOGIST
OAA
RICK MATELJAN
LICENCE
7846

Project

271 Queen st S
Odd Fellows

Sheet Title

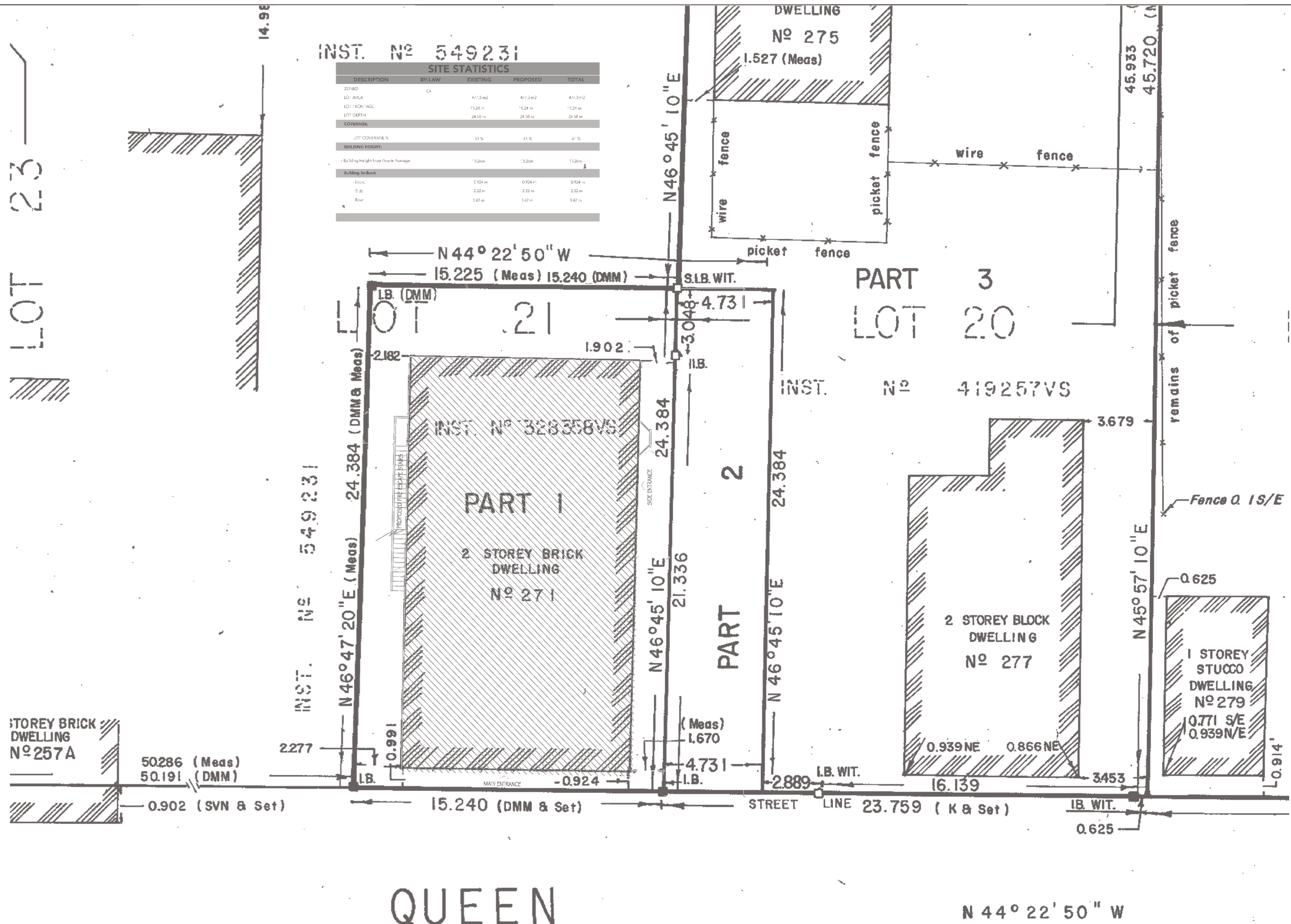
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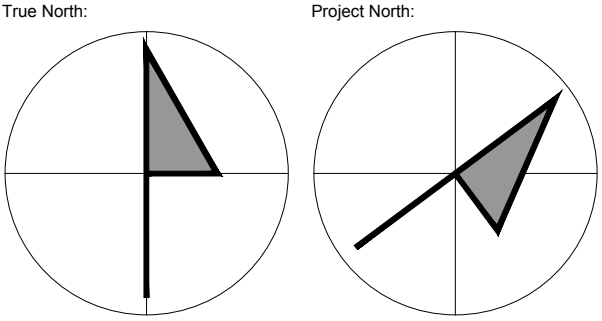
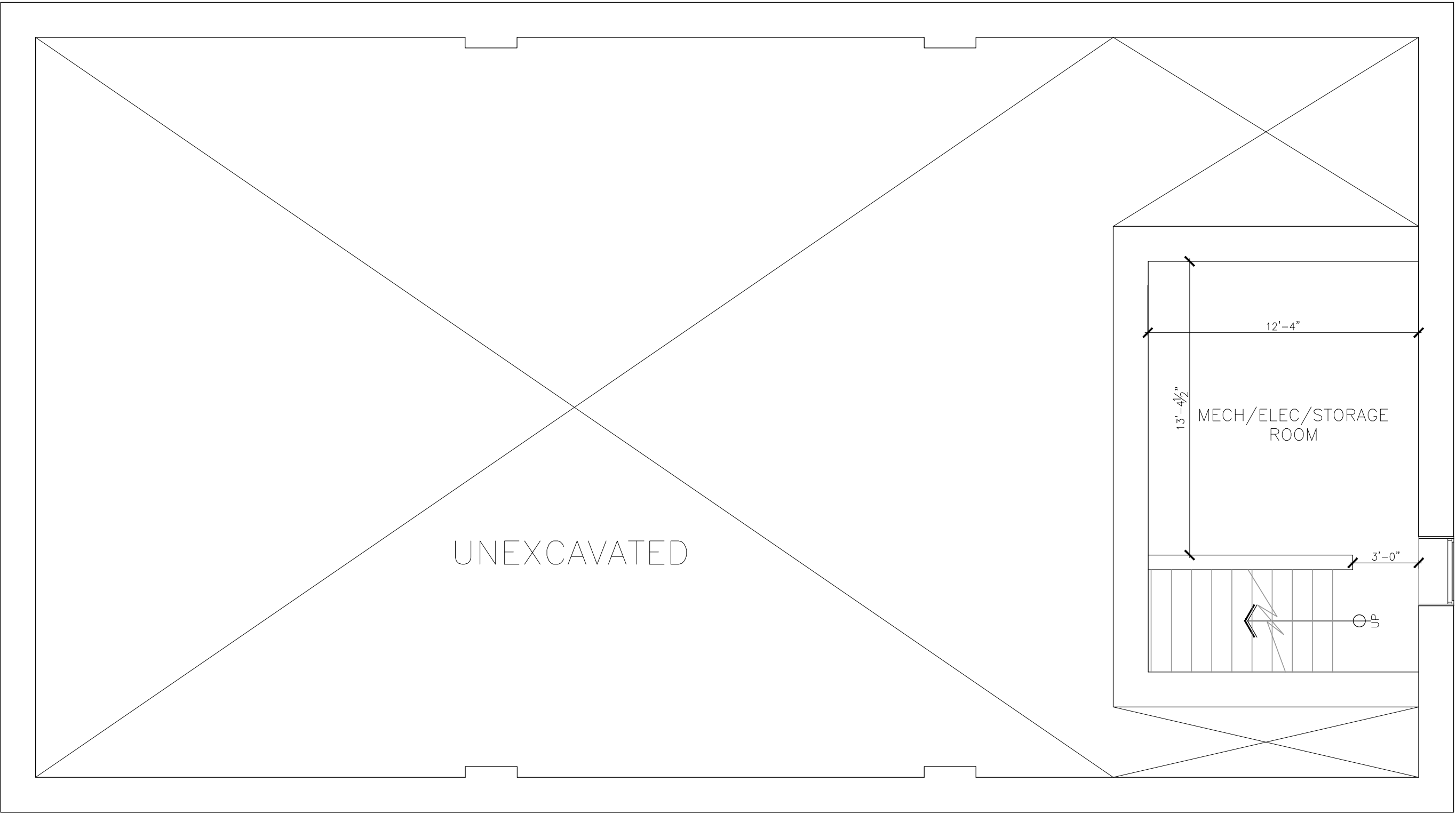
Design By: R.H.M. Drawn By: R.H.M. Approved By: R.M.

Scale: 1:100 Date: 2020-01-31 Project No:

Drawing No:

A001.1





Key Plan:

17	2020-01-31	For Preliminary Review	RHM
16	2020-01-28	For Preliminary Review	RHM
15	2020-01-24	For Preliminary Review	RHM
14	2020-01-23	For Preliminary Review	RHM
13	2020-01-17	For Preliminary Review	RHM
12	2020-01-15	For Preliminary Review	RHM
11	2020-01-09	For Preliminary Review	RHM
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No.	Date	Issued/Revision	By:



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Designer:



Engineer:

Project:

271 Queen st S
Odd Fellows

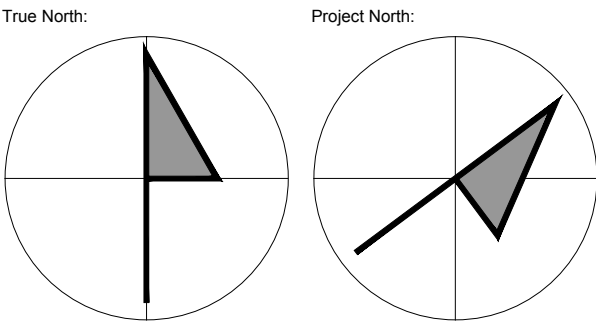
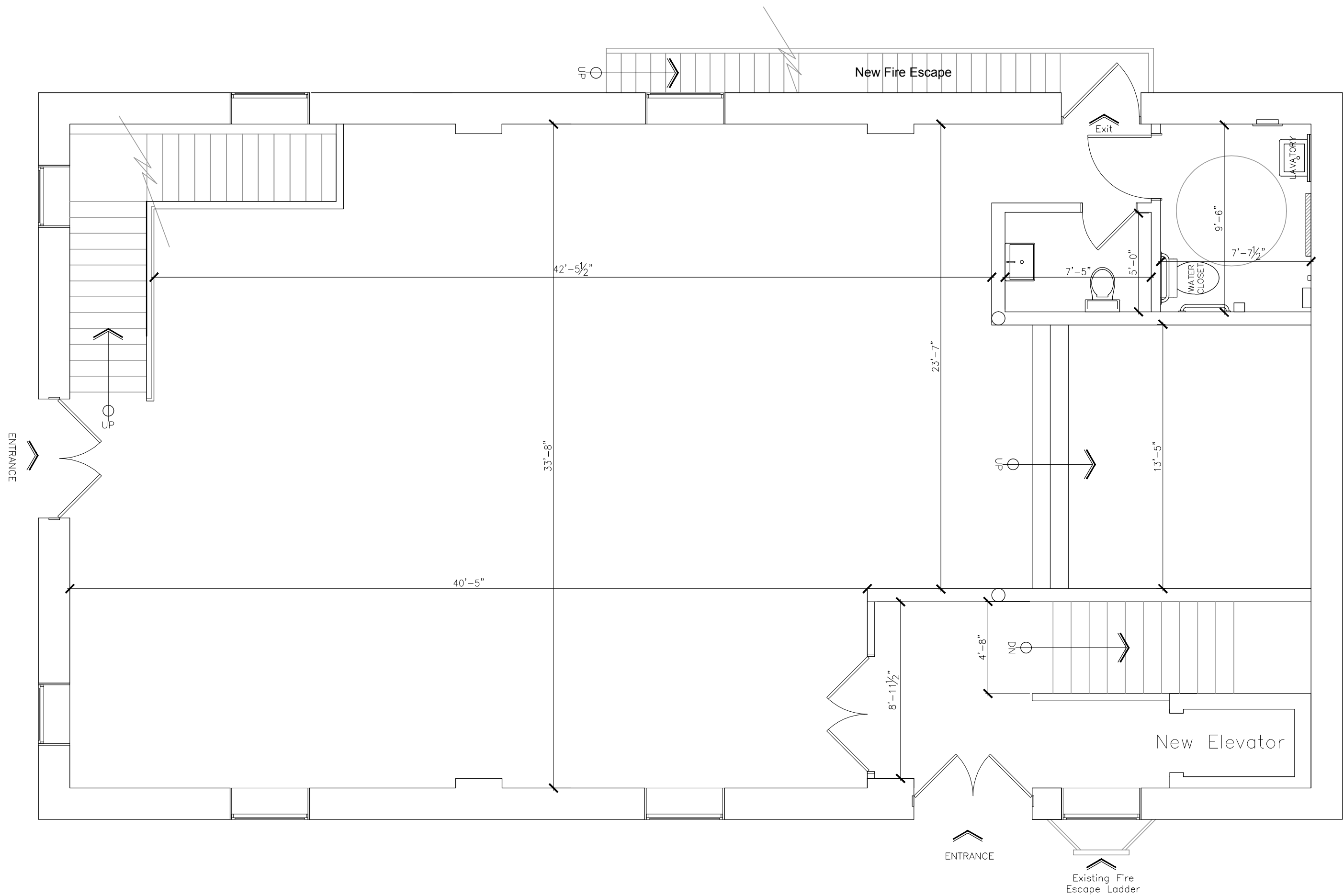
Sheet Title:

Basement Plan

Design By: R.H.M.	Drawn By: R.H.M.	Approved By: R.M.
Scale: 1/4"=1'-0"	Date: 2020-01-31	Project No:

Drawing No:

A002.1



Key Plan:

17	2020-01-31	For Preliminary Review	RHM
16	2020-01-28	For Preliminary Review	RHM
15	2020-01-24	For Preliminary Review	RHM
14	2020-01-23	For Preliminary Review	RHM
13	2020-01-17	For Preliminary Review	RHM
12	2020-01-15	For Preliminary Review	RHM
11	2020-01-09	For Preliminary Review	RHM
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8	2019-11-08	For Preliminary Review	RHM
7	2019-11-06	For Preliminary Review	RHM
6	2019-10-31	For Preliminary Review	RHM
5	2019-10-25	For Preliminary Review	RHM
4	2019-10-23	For Preliminary Review	RHM
3	2019-10-17	For Preliminary Review	RHM
2	2019-09-19	For Preliminary Review	RHM
1	2019-09-04	For Preliminary Review	RHM
No.	Date	Issues/Revision	By



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Designer:



Engineer:

Project:

271 Queen st S
Odd Fellows

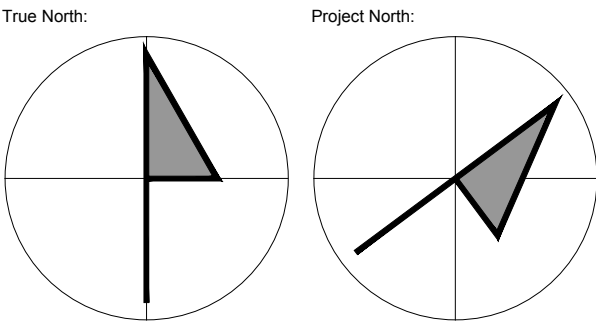
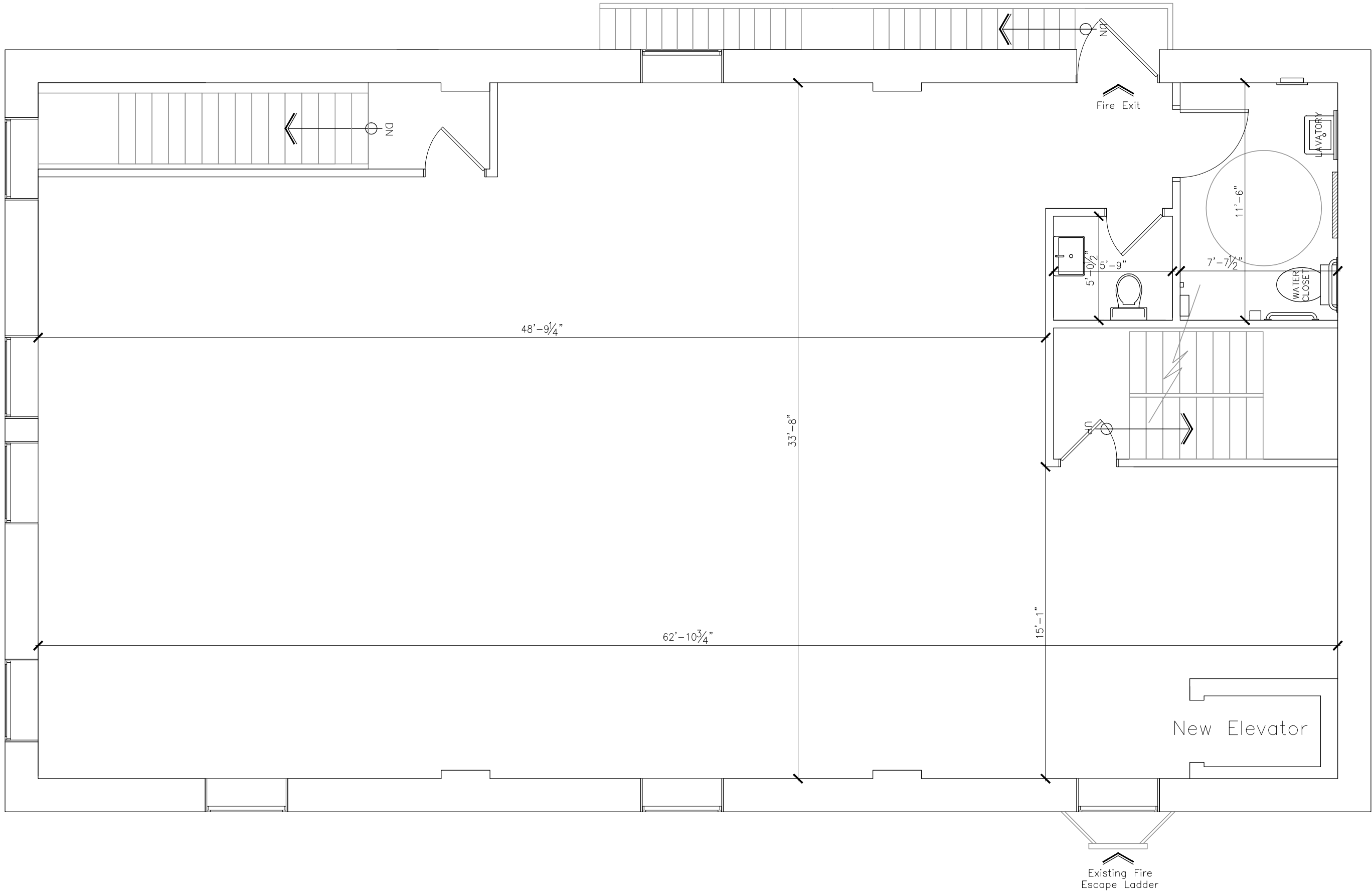
Sheet Title:

First Plan

Design By: R.H.M.	Drawn By: R.H.M.	Approved By: R.M.
Scale: 1/4"=1'-0"	Date: 2020-01-31	Project No:

Drawing No:

A002.2



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16	2020-01-28	For Preliminary Review	RHM
15	2020-01-24	For Preliminary Review	RHM
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No.	Date	Issues/Revision	By
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Designer:



Engineer:

Project:

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Odd Fellows

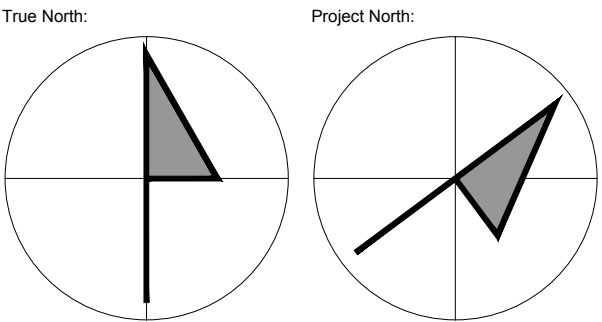
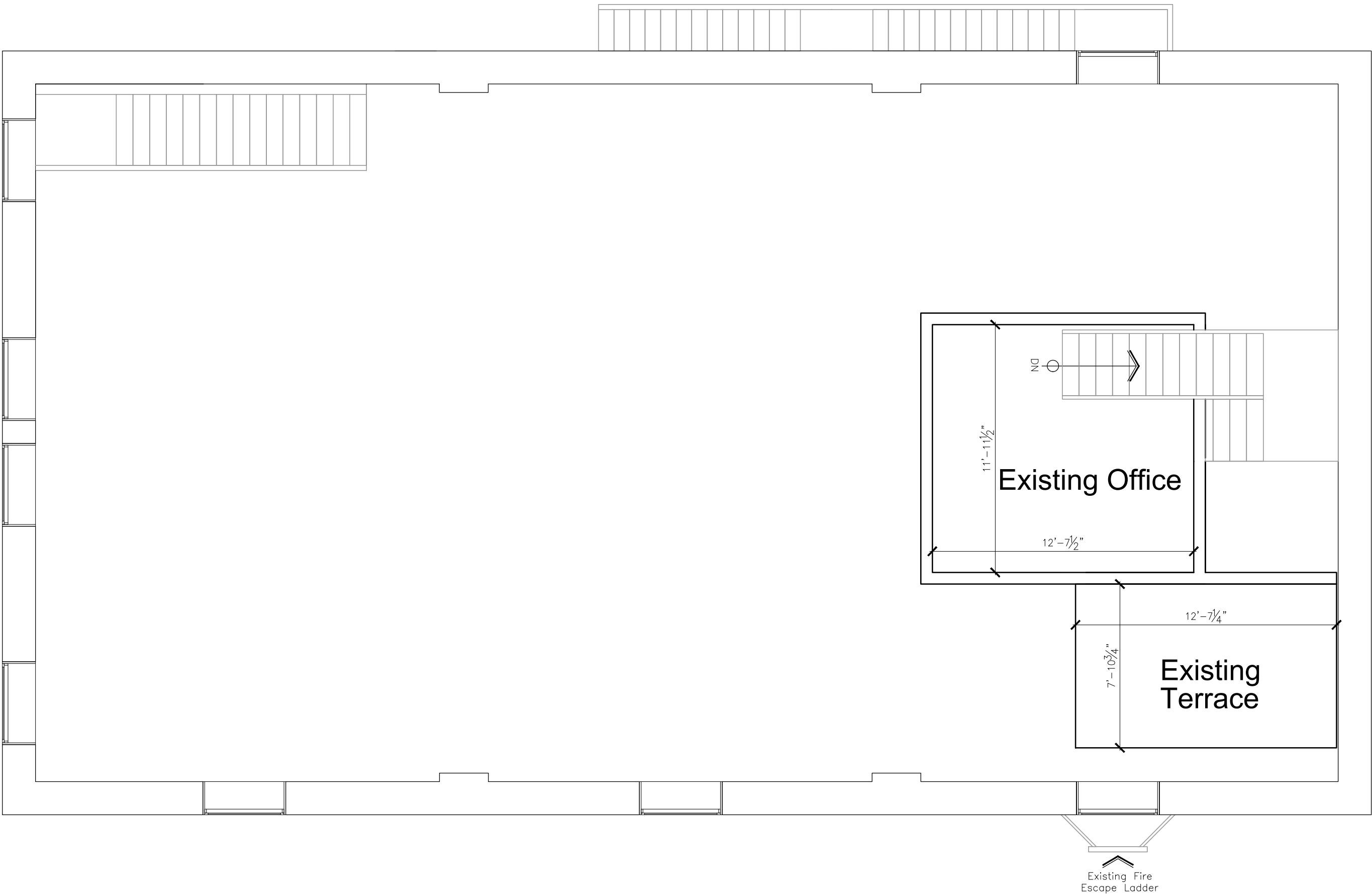
Sheet Title:

Second Plan

Design By: R.H.M.	Drawn By: R.H.M.	Approved By: R.M.
Scale: 1/4"=1'-0"	Date: 2020-01-31	Project No:

Drawing No:

A002.3



Key Plan:

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16	2020-01-28	For Preliminary Review	RHM
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Designer:



Engineer:

Project:

271 Queen st S
Odd Fellows

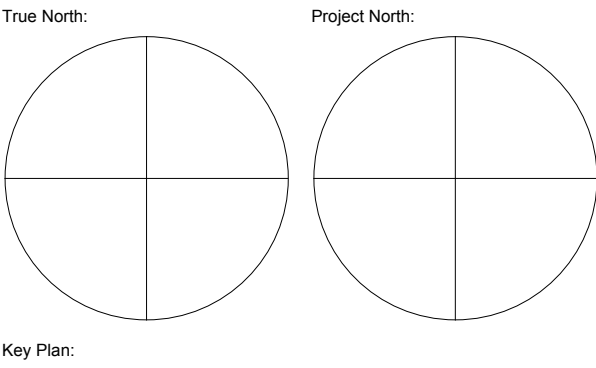
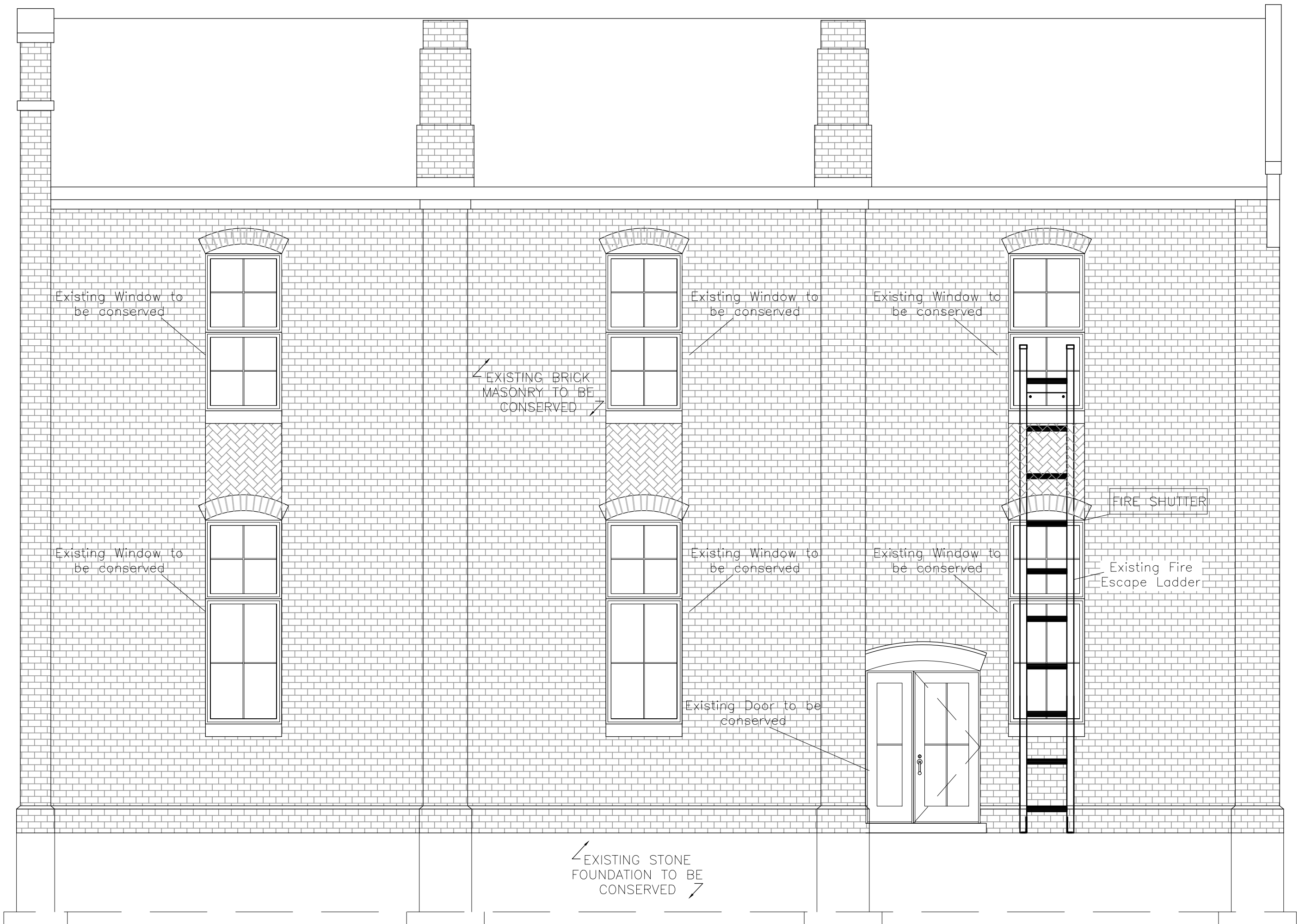
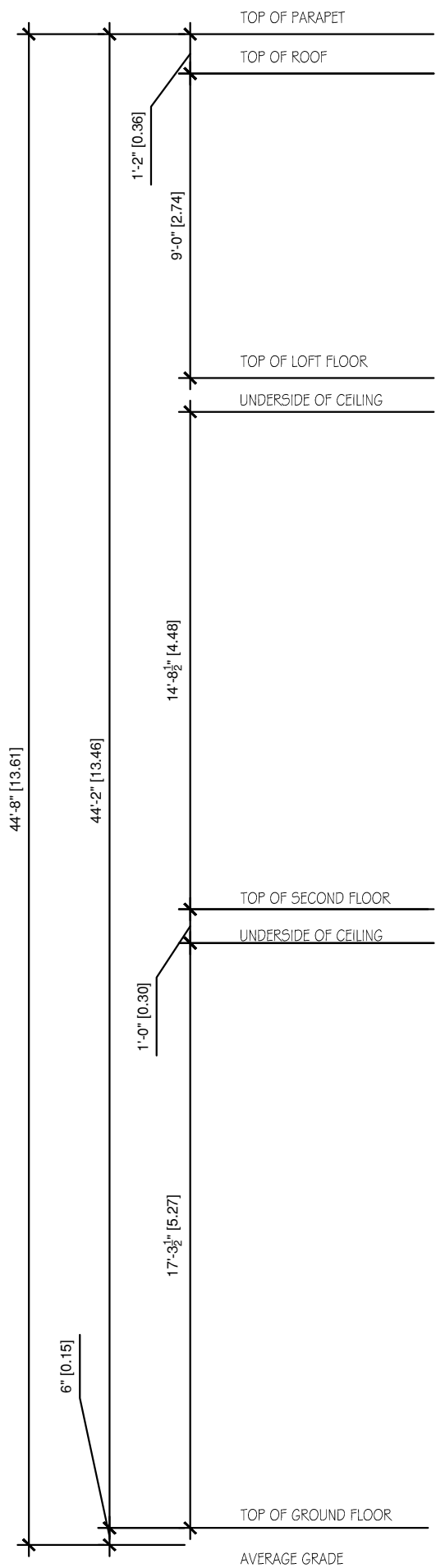
Sheet Title:

Floor Plan

Design By: R.H.M.	Drawn By: R.H.M.	Approved By: R.M.
Scale: 1/4"=1'-0"	Date: 2020-01-31	Project No:

Drawing No:

A002.4



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16	2020-01-28	For Preliminary Review	RHM
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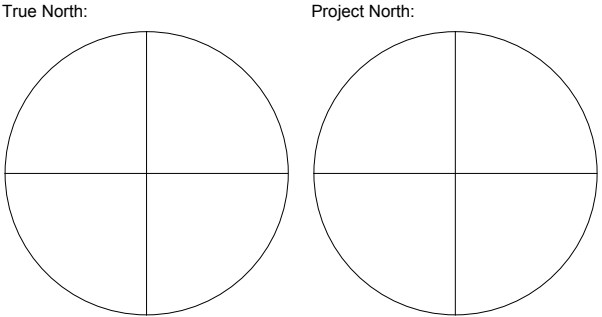
Designer: [Signature]
Engineer: [Signature]

Project:
271 Queen st S
Odd Fellows

Sheet Title:
South Elevation

Design By: R.H.M.	Drawn By: R.H.M.	Approved By: R.M.
Scale: 1/4"=1'-0"	Date: 2020-01-31	Project No:

Drawing No:
A003.1



Key Plan:

17	2020-01-31	For Preliminary Review	RHM
16	2020-01-28	For Preliminary Review	RHM
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1	2019-09-04	For Preliminary Review	RHM
No.	Date	Issued/Revision	By



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Designer:



Engineer:

Project:

271 Queen st S
Odd Fellows

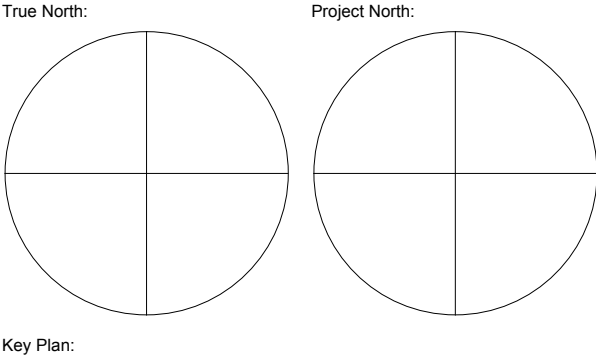
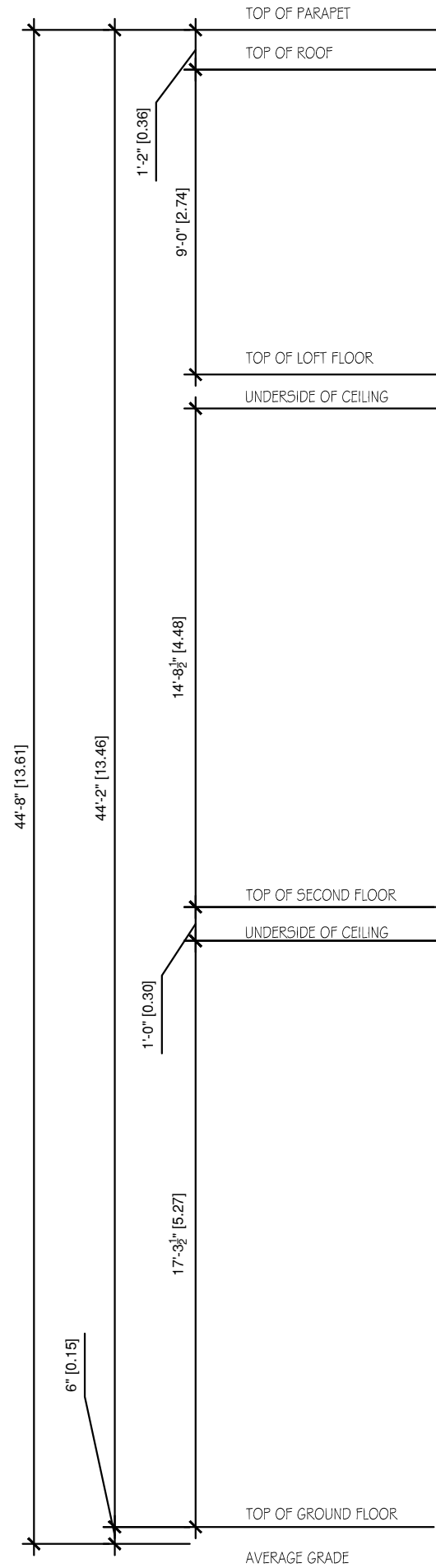
Sheet Title:

Front Elevation

Design By: R.H.M.	Drawn By: R.H.M.	Approved By: R.M.
Scale: 1/4"=1'-0"	Date: 2020-01-31	Project No:

Drawing No:

A003.2



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Engineer:

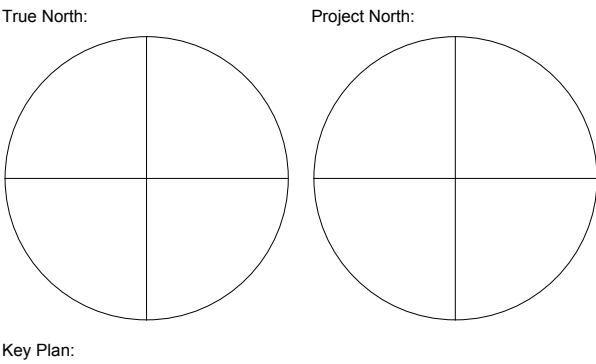
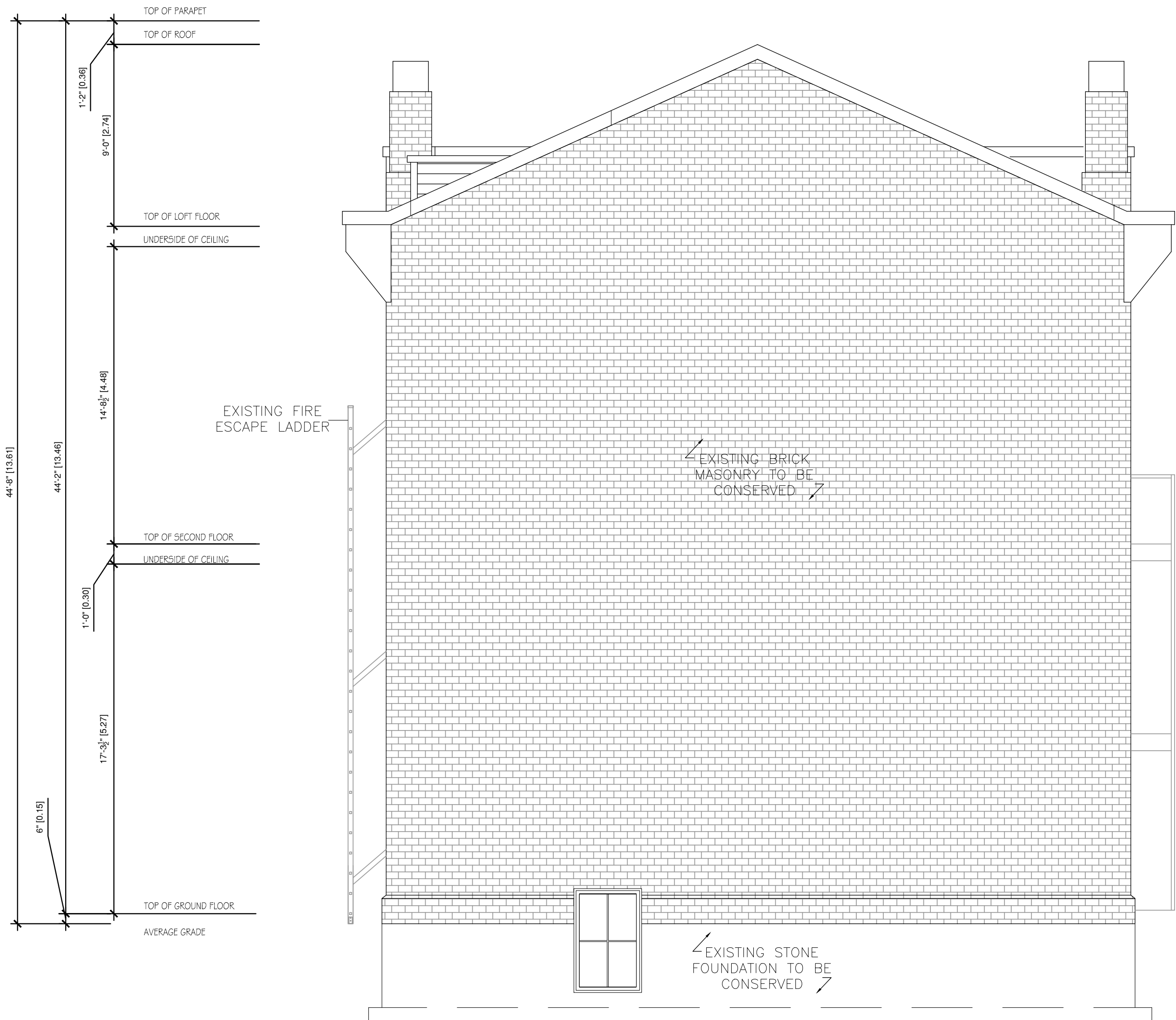
Project:
271 Queen st S
Odd Fellows

Sheet Title:
North Elevation

Design By: R.H.M.	Drawn By: R.H.M.	Approved By: R.M.
Scale: 1/4"=1'-0"	Date: 2020-01-31	Project No:

Drawing No:

A003.3



Key Plan:

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Designer:



Engineer:

Project:

271 Queen st S
Odd Fellows

Sheet Title:

Rear Elevation

Design By: R.H.M.	Drawn By: R.H.M.	Approved By: R.M.
Scale: 1/4"=1'-0"	Date: 2020-01-31	Project No:

Drawing No:

A003.4

City of Mississauga Memorandum



Date: 2020/02/18

To: Chair and Members of Heritage Advisory Committee

From: Megan Piercey, Legislative Coordinator

Meeting Date: 2020/03/10

Subject: Establishing the Port Credit Heritage Conservation District Subcommittee

The Port Credit Heritage Conservation District (HCD) Plan was revised and adopted by Council under By-law 0109-2018 on June 6, 2018. After further decision by LPAT the HCD came into force on January 29, 2020. In consultation with the local community it was agreed that a new HCD advisory subcommittee be established to advise the Heritage Advisory Committee (HAC) on heritage permit applications within the Port Credit HCD.

The City Clerk will call for membership to the subcommittee by posting a public notice on the City's website and by sending a letter to the Town of Port Credit Association (TOPCA) and Cranberry Cove Port Credit Ratepayers Association, which are the two ratepayers associations within the HCD. A letter will also be sent to all property owners within the HCD.

A Draft Terms of Reference for the subcommittee is attached for HAC's review and approval along with the establishment of the subcommittee.

Attachments

Appendix 1: Draft Port Credit Heritage Conservation District Subcommittee Terms of Reference
Appendix 2: Port Credit Heritage Conservation District Map

Sincerely,

Megan Piercey
Legislative Coordinator
Legislative Services, Office of the City Clerk
300 City Centre Drive, Mississauga, ON L5B 3C1
(905) 615-3200 ext. 4915
Megan.piercey@mississauga.ca

Terms of Reference PORT CREDIT HERITAGE CONSERVATION DISTRICT ADVISORY SUBCOMMITTEE

Background

In 2004, the Port Credit Heritage Conservation District (HCD) Plan was approved and became the second heritage district of its type in the City of Mississauga under municipal By-law 0273-2004. The Port Credit Heritage Conservation District Plan was revised and adopted under By-law 0109-2018 on June 6, 2018. After further decision by LPAT the HCD came into force on January 29, 2020. In consultation with the local community it was agreed that a new HCD advisory subcommittee be established to advise the Heritage Advisory Committee (HAC) on heritage permit applications within the Port Credit HCD.

Mandate

The purpose of the Port Credit Heritage Conservation District Advisory Subcommittee (PCHCD Subcommittee) is to make recommendations to the Heritage Advisory Committee on heritage permit applications received within the HCD boundary as defined in By-law 0109-2018.

Objectives/Goals

The PCHCD Subcommittee provides comment on heritage permit applications based on the objectives, policies and guidelines set out in the HCD Plan to the Heritage Advisory Committee. The role of the PCHCD Subcommittee is to be ambassadors and stewards of the HCD Plan by assisting property owners seeking application to alter property within the HCD.

Term of Office

The term of office for Citizen Members of the PCHCD Subcommittee shall run concurrent with the term of Council, or until successors are appointed.

At the first meeting of the PCHCD Subcommittee, the members shall appoint, from among their number, a Chair and Vice Chair.

Membership

All members are subject to the Code of Conduct and Complaint Protocol for Local Boards. http://www7.mississauga.ca/documents/CityHall/pdf/2014/Local_Boards_Code_of_Conduct.pdf, and Corporate Policy 02-01-01: Citizen Appointments to Committees, Boards and Authorities. <http://inside.mississauga.ca/Policies/Documents/02-01-01.pdf>

Composition

Members on the PCHCD Subcommittee shall consist of:

- (a) Five (5) members from the Port Credit Community with a commitment to protecting and adhering to the principles and policies as set out in the HCD Plan.
- (b) At least one (1) Member of the Heritage Advisory Committee (HAC) may be appointed.

All appointed members have the right to vote.

Role of the Chair

The role of the Chair is to:

- 1. Preside at the meetings of the PCHCD Subcommittee using City of Mississauga's Procedure By-law and keep discussion on topic.
- 2. Provide leadership to PCHCD Subcommittee to encourage that its activities remain focused on its mandate.
- 3. The Vice Chair will assume the role of Chair in the Chair's absence.

Role of Committee Members

- 1. Ensure that the mandate of the PCHCD Subcommittee is being fulfilled.
- 2. Provide the Chair with solid, factual information regarding agenda items.

Quorum

A quorum of this subcommittee shall be a majority of all members present at a time no later than thirty (30) minutes past the time for which the meeting was scheduled and so noted on the agenda or notice of meeting.

Members must comply with the section in the Procedural By-law 139-13 regarding attendance at meetings: http://www7.mississauga.ca/documents/bylaws/procedural_by-law_2013.pdf

An issuance of an Agenda for a meeting of this Subcommittee will be considered as notice of that meeting.

Procedures

- 1. Procedures will be consistent with the City's Procedural By-law 139-13.
- 2. Meetings will be held on a monthly basis if required, or as determined by the PCHCD Subcommittee at the call of the Chair.

3. Applications to alter a property within the HCD are presented to the Subcommittee by Heritage Planning staff. Applications would be required to be submitted to staff at a minimum of three weeks prior to a scheduled meeting. City staff would notify the applicant as to when their application was on the agenda.
4. Meetings will be held at the Civic Centre, open to the public and applicants are encouraged to attend in order to provide information and details related to the application. Members of the public may address the Subcommittee about a specific application providing they have requested to be on the agenda (limited to 10 minutes).
5. At the conclusion of an applicant's deputation or any other public input, the members of the Subcommittee will provide a motion to approve, reject, modify or defer the application.
6. Motions are approved based on a majority of votes from the Subcommittee members. The Chair may choose to vote but must vote in the case to break a tie.
7. The Subcommittee does not have the authority to issue or deny a heritage permit whereas this authority lies ultimately with Council in accordance with the Ontario Heritage Act.

Reporting

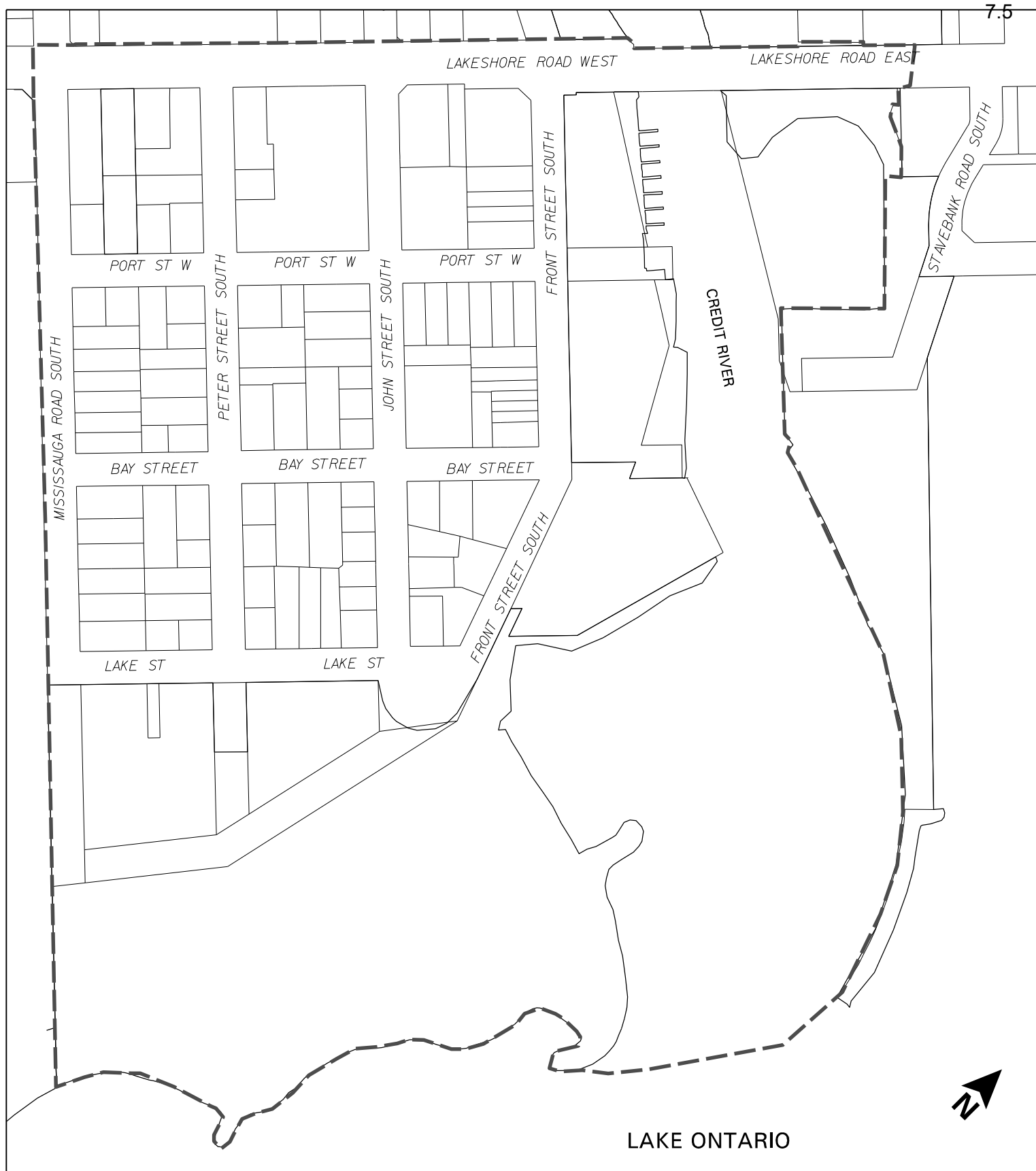
A Report of recommendations from the PCHCD Subcommittee will be prepared by the Legislative Coordinator for the next meeting of HAC. Heritage Staff will also incorporate the recommendations from the PCHCD Subcommittee in their corporate report to HAC.

City Staff Support

The PCHCD Subcommittee will be supported by a Legislative Coordinator from the City Clerk's Office, and therefore subject to all rules and regulations as determined by the City Clerk. The agendas, minutes, official correspondence and notices will be coordinated through the Clerk's Office. Assistance will also be provided by Heritage Planning staff in attendance at all meetings of the PCHCD Subcommittee. Additional staff, such as planners, urban designers, or other technical staff, may be requested to assist when required.

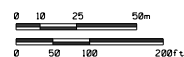
Confidentiality

There may be occasions whereby an application or material within an application contains sensitive material provided to members of the PCHCD Subcommittee for purposes of comment and feedback on a specific application. City staff will advise when confidentiality may apply. All materials provided to the PCHCD Subcommittee will be governed by the City's policies related to freedom of information.



Old Port Credit Heritage Conservation District

— — — Old Port Credit Heritage Conservation District Boundary



MISSISSAUGA
Produced by T&W, Geomatics

City of Mississauga
Memorandum



Date: 2/18/2020
To: Chair and Members of Heritage Advisory Committee
From: Paul Damaso, Director, Culture Division
Meeting Date: 3/10/2020
Subject: Alteration to a Designated and Listed Property: 4415 Mississauga Rd (Ward 8)

This memorandum and its attachment are presented for HAC's information.

Section 7.4.1.12 of the Mississauga Official Plan states that: "The proponent of any construction, development, or property alteration that might adversely affect a listed or designated cultural heritage resource or which proposed adjacent to a cultural heritage resource will be required to submit a Heritage Impact Assessment, prepared to the satisfaction of the City and other appropriate authorities having jurisdiction." The Heritage Impact Assessment report is attached for your reference.

Attachments

Appendix 1: Heritage Impact Assessment

Prepared by: Paul Damaso, Director, Culture Division

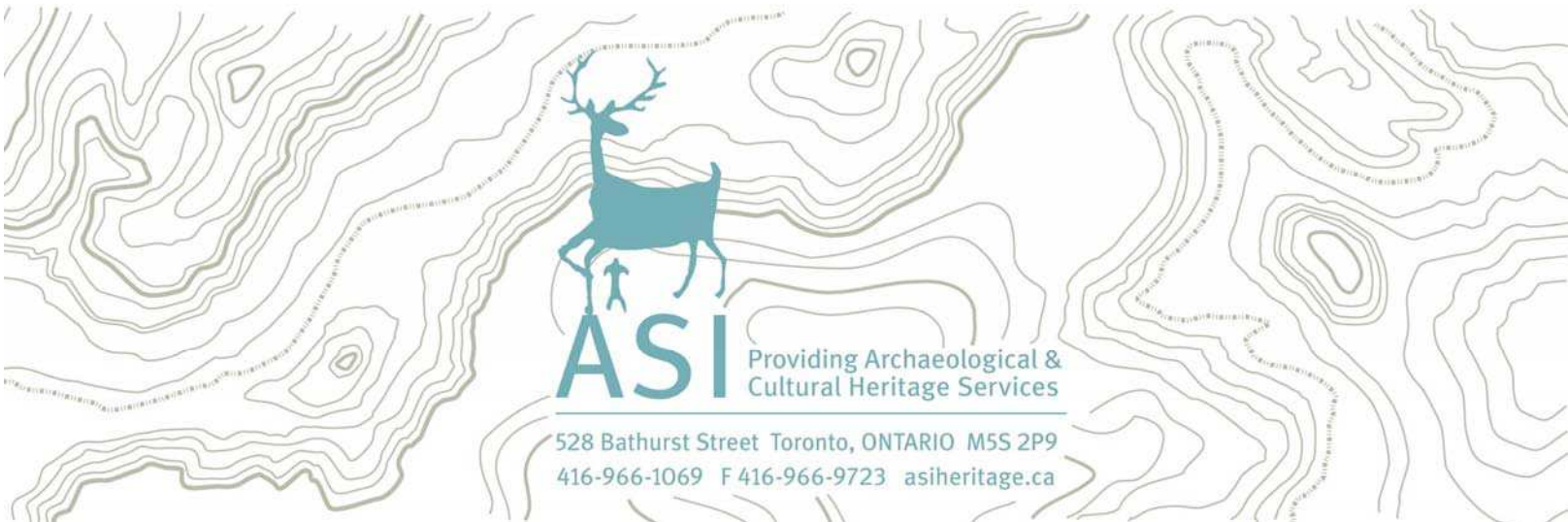
HERITAGE IMPACT ASSESSMENT

**WATERDOWN TO FINCH PROJECT
4415 MISSISSAUGA ROAD: LESLIE LOG HOUSE, PINCHIN FARM, AND ADJACENT CREDIT RIVER
CITY OF MISSISSAUGA, ONTARIO**

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EXECUTIVE SUMMARY

In 2019, Archaeological Services Inc. (ASI) was contracted by ERM Consultants Canada Ltd to prepare a Heritage Impact Assessment (HIA) for the property at 4415 Mississauga Road in relation to the installation of a proposed pipeline which will extend through the subject property.

The subject property was identified in the Existing Conditions Report (ECR) for Imperial Oil Ltd.'s proposed Waterdown to Finch Project, which identified existing and potential cultural heritage resources along the existing pipeline and HydroOne Networks Inc. corridor which consists of a buffer of 62.5 metres on either side of the proposed pipeline location. This forms a study corridor 125 metres across, which runs through the City of Hamilton, the City of Burlington, the Town of Oakville, the Town of Milton, City of Mississauga and City of Toronto (Figure 1). The study corridor begins east of Highway 6 in the City of Hamilton to the west and extends to east of Keele Street in the City of Toronto.

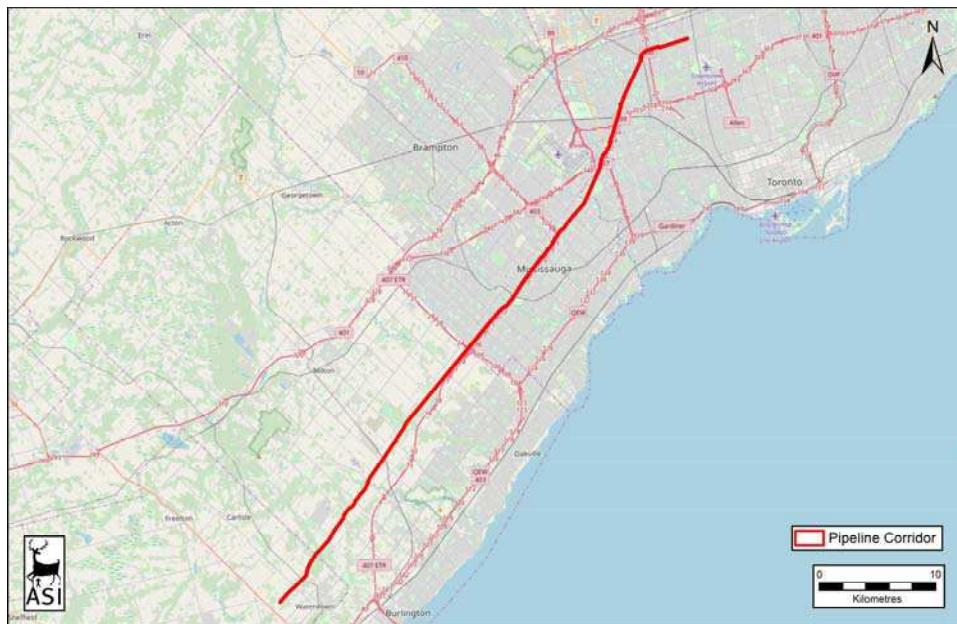


Figure 1: Map of the pipeline corridor

The subject property is the home of the Leslie Log House (Designation By-law 330-94) and Pinchin Farm Cultural Heritage Landscape (CHL), also known as Hewick Meadows, on the east side of Mississauga Road in the City of Mississauga, Regional Municipality of Peel. The Leslie Log House was relocated to the property in 1994. Adjacent to this property is the Credit River, part of the Credit River Corridor CHL. The proposed development consists of the laying of an underground pipeline along the HydroOne Networks Inc. corridor that is located between Highway 403 and Hewick Meadows. The proposed development is within the Pinchin Farm and Credit River Corridor CHLs, which are listed on the City of Mississauga's 2005 Cultural Landscape Inventory and adjacent to the Leslie Log House, which is designated by the City of

Mississauga under Part IV of the *Ontario Heritage Act*. Additionally, there is an area designated as a construction work space near the Leslie Log House, which will be used for storing materials and equipment and will allow for parking during construction.

The intent of this HIA is to measure the impacts of the proposed development on the cultural heritage attributes of the designated property, the Leslie Log House, at 4415 Mississauga Road, and two areas identified as Cultural Heritage Landscapes on the City of Mississauga's Cultural Landscape Inventory (2005) as per the City of Mississauga's Heritage Impact Assessment *Terms of Reference*.

The assessment of the property determined the Leslie Log House, Pinchin Farm CHL, and the Credit River Corridor CHL will retain their cultural heritage value, and the proposed pipeline development will not have significant direct impacts on the cultural heritage value of the property.

The following recommendations are based on the recognized heritage value of the identified cultural heritage resources:

1. Tree avoidance mitigation, through the establishment of a tree protection zone, shall be implemented to protect mature trees near areas of construction and near areas where construction vehicles are entering and departing the property and could impact mature trees.
2. Any landscape features identified as cultural heritage attributes temporarily impacted by the construction of the proposed pipeline development shall be returned to their previous state upon completion of the project.
3. In order to mitigate any indirect impacts to the subject properties, construction and staging activities shall be suitably planned and executed to ensure that the identified heritage attributes of the subject property are avoided and protected. Suitable staging activities may include temporary barriers and the establishment of no-go zones throughout construction. On-site workers shall be notified of the cultural heritage significance of the subject property in advance of the starting construction. Plans for construction and staging activities may be finalized in consultation with a qualified heritage professional and any changes to the proposed work shall undergo review for potential impacts to the subject properties.



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1.0 INTRODUCTION

In 2019, Archaeological Services Inc. (ASI) was contracted by ERM Consultants Canada Ltd. to prepare a Heritage Impact Assessment (HIA) for the property at 4415 Mississauga Road. This site, home of the Leslie Log House and Pinchin Farm Cultural Heritage Landscape (CHL), is located on the grounds of Hewick Meadows, on the east side of Mississauga Road in the City of Mississauga, Regional Municipality of Peel. Adjacent to this property is the Credit River, part of the Credit River Corridor CHL (Figure 2). The proposed development consists of the laying of an underground pipeline along the HydroOne Networks Inc. corridor that is located between Highway 403 and Hewick Meadows. The proposed development is within the Pinchin Farm and Credit River Corridor CHLs, which are listed on the City of Mississauga's 2005 Cultural Landscape Inventory and adjacent to the Leslie Log House, which is designated by the City of Mississauga under Part IV of the *Ontario Heritage Act*, By-law 330-94.

The subject property was identified in the Existing Conditions Report (ECR) (Unterman McPhail Associates 2018) for Imperial Oil Ltd.'s proposed Waterdown to Finch Project, which identified existing and potential cultural heritage resources along the HydroOne Networks Inc. corridor which consists of a buffer of 62.5 metres on either side of the proposed pipeline location. This forms a study corridor 125 metres across, which runs through the City of Hamilton, the City of Burlington, the Town of Oakville, the Town of Milton, City of Mississauga and City of Toronto. The study corridor begins east of Highway 6 in the City of Hamilton to the west and extends to east of Keele Street in the City of Toronto.

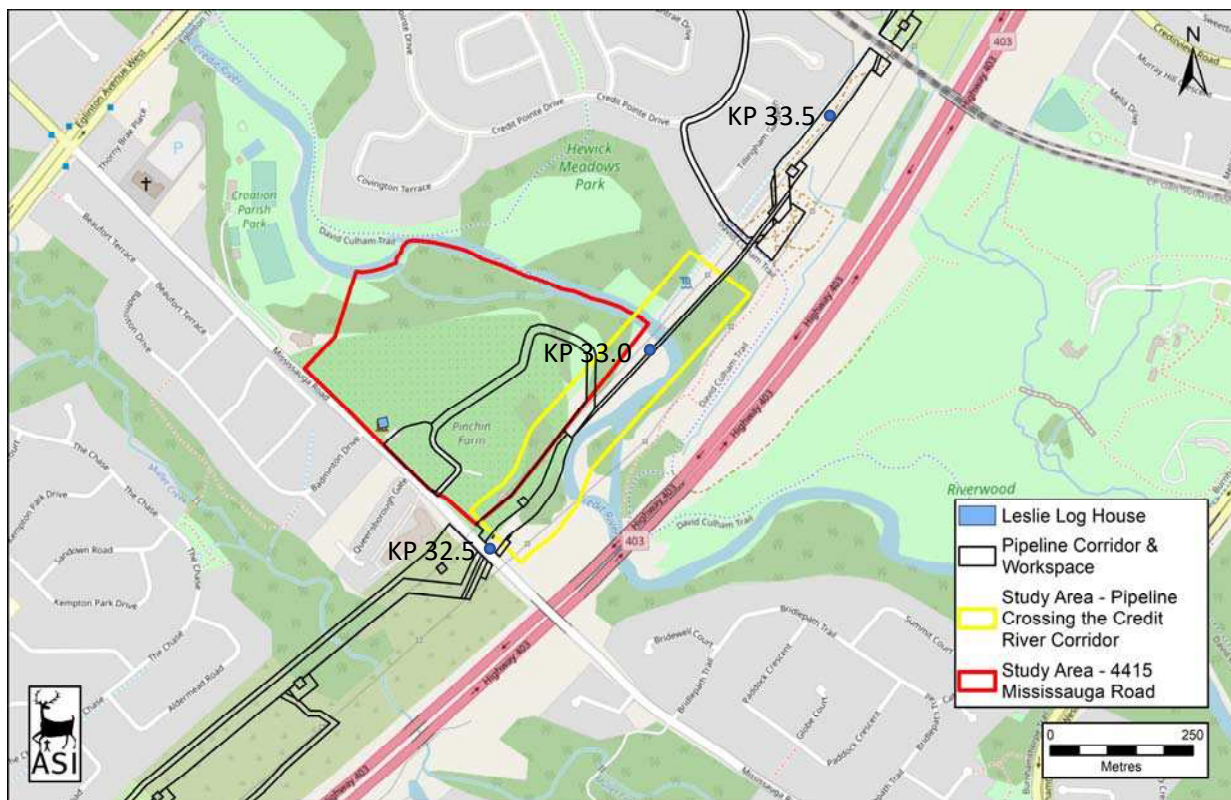


Figure 2: Study Area (Open Street Maps, Annotated by ASI)

The research, analysis, and site visits were conducted by Kristina Martens, Cultural Heritage Specialist and Michael Wilcox, Cultural Heritage Assistant, under the senior project direction of Annie Veilleux, Manager, Cultural Heritage Division, ASI. This HIA follows the Ministry of Tourism, Cultural and Sports' *Ontario Heritage Toolkit* (2006), the City of Mississauga's *Official Plan* (2010), and the *Parks Canada Standards and Guidelines for the Conservation of Historic Places in Canada* (2010). Research was completed to investigate, document, evaluate and measure the impact of the proposed development on the heritage property.

This document will provide:

- A historical overview and analysis of the property, including a detailed land use history and photographic documentation
- An evaluation of the property at 4415 Mississauga Road under Ontario Regulation 9/06 criteria and proposed Statement of Significance for the Pinchin Farm CHL and Credit River CHL;
- A copy of the Statement of Significance for the Leslie Log House
- A description of the proposed development
- An assessment of the impacts of the proposed development
- A description of potential mitigation measures and recommendations

1.1 Location and Study Area Description

1.1.1 4415 Mississauga Road: Leslie Log House and Pinchin Farm

This study area consists of the property at 4415 Mississauga Road. This site, home of the Leslie Log House and the former Pinchin Farm, is located on the grounds of Hewick Meadows in the City of Mississauga, Regional Municipality of Peel. The borders roughly consist of Mississauga Road on the west, a HydroOne Networks Inc. corridor on the south, the Credit River on the east, and the side and rear of a residential property at 4495 Mississauga Road on the north (Figure 3).

1.1.2 Credit River

This study area consists of the Credit River Corridor on the southern boundary with the property at 4415 Mississauga Road. This portion of the Credit River runs below the power lines of HydroOne Networks Inc. corridor. The borders roughly consist of Mississauga Road on the west, Highway 403 on the south, Culham Trail on the east, and the southern property line of Hewick Meadows on the north (Figure 3).





Figure 3: Aerial Photograph of the Subject Property. The Leslie Log House is sited near Mississauga Road, the former Pinchin Farmhouse was to the northeast of the log house and the foundation of the Pinchin barn is at the end of the L-shaped driveway.



Figure 4: Hewick Meadows looking north from Mississauga Road near proposed pipeline (ASI)

1.2 Policy Framework

The authority to request this Heritage Impact Assessment arises from the *Ontario Heritage Act*, Section 2(d) of the *Planning Act* (Ministry of Municipal Affairs and Housing 1990), the *Provincial Policy Statement* (2014), and the City of Mississauga's *Official Plan* (2017).

1.2.1 Ontario Heritage Act

The *Ontario Heritage Act* (OHA) enables designation of properties and districts under Part IV and Part V, Sections 26 through 46 and provides the legislative bases for applying heritage easements to real property (Ministry of Culture 1990).

1.2.2 Ontario Energy Board Act, Planning Act and Provincial Policy Statement

The Ontario Energy Board (OEB) document *Environmental Guidelines of the Location, Construction and Operation of Hydrocarbon Pipelines and Facilities in Ontario* (2016) provides direction in the preparation for an Environmental Report (ER). The Guidelines are not statutory regulations, but a rule or code issued under the authority of the OEB. The Guidelines represent current knowledge and practice concerning matters that should be considered when applying to the EB for the approval of hydrocarbon facilities development in Ontario.

The Guidelines are applicable to transmission pipelines and ancillary facilities. Transmission pipelines require an application to the OEB for permission to construct under subsection 90 (1) of the Act. In particular the Guidelines prescribe the environmental analysis and reporting related to a gas facilities application including hydrocarbon pipelines leave to construct applications under sections 90, 91, 95 and 96 of the Act. The OEB must be satisfied the application is in the public interest prior to authorizing the facility development. Environmental impacts are broadly defined to include all impacts on the components of the environment including cultural heritage.

Chapter 4 of the Guidelines describes the process for selecting pipeline routes and sites, provides mapping requirements, outlines the methods of evaluating alternatives and describes the types of impacts to be assessed in evaluating alternatives. It emphasizes the need to assess all types of environmental impacts (e.g. natural, built, cultural, social, economic) including their cumulative impact. Subsection 4.3.4 Cultural Heritage Resources states the following with regard to potential effects resulting from pipeline development.

The possible effects or impacts resulting from pipeline development that could affect cultural heritage resources include:

- (a) Destruction or removal of any – or any part of – significant heritage attributes or features;



- (b) Alteration that is not sympathetic, or is not compatible, with heritage character or appearance;
- (c) Isolation of heritage attributes or features from their surrounding environment, context or a significant relationship;
- (d) Visual intrusions, direct or indirect obstruction of significant views or vistas from, within, or to a built or natural feature;
- (e) Shadows created by new development that alter the appearance or character of a heritage resource;
- (f) A change in physical character, such as when development fills in formerly open spaces, or when significant vegetation is removed; and
- (g) Ground disturbances or land alterations, such as a change in grade, alteration of soil composition or drainage patterns that could adversely affect a cultural heritage resource.

As well, the Guidelines state:

Any pipeline project that may affect a known or potential built heritage resource, cultural heritage landscape, a known archaeological site, or an area of archaeological potential may require further technical heritage studies by qualified persons. The MTCS recommends heritage evaluations and impact assessments be undertaken by qualified persons with relevant, recent experience in work of similar scope in Ontario.

In addition, subsection 4.3.4 Cultural Heritage Resources notes the OHA “provides for the conservation, protection and preservation of the heritage of Ontario and the Province Criteria for determining cultural heritage value or interest” under Ontario Regulation 9/06 and 10/06 under the OHA. The MTCS is responsible for the administration of the OHA. The assessment of impacts to cultural heritage resources due to a proposed gas pipeline project should inform decisions in the pipeline development planning stage. With regard to cultural heritage resources, the Guidelines state pipeline proponents must self-assess and demonstrate appropriate due diligence by:

- (a) recognizing cultural heritage resources that may be affected by pipeline development, identifying significant cultural heritage resources and understanding their cultural heritage value or interest;
- (b) assessing the effects or impacts that could result from proposed pipeline development; and
- (c) protecting cultural heritage resources by appropriate conservation, avoidance and mitigation.

Additionally, the *Planning Act* (MMAH 1990) and related *Provincial Policy Statement (PPS)* (Ministry of Municipal Affairs and Housing 2014), which was updated in 2014, make a number of provisions relating to heritage conservation. One of the general purposes of the *Planning Act* is to integrate matters of



provincial interest in provincial and municipal planning decisions. To inform all those involved in planning activities of the scope of these matters of provincial interest, Section 2 of the *Planning Act* provides an extensive listing. These matters of provincial interest shall be regarded when certain authorities, including the council of a municipality, carry out their responsibilities under the *Act*. One of these provincial interests is directly concerned with:

- 2.(d) the conservation of features of significant architectural, cultural, historical, archaeological or scientific interest

Part 4.7 of the *PPS* states that:

The official plan is the most important vehicle for implementation of this Provincial Policy Statement. Comprehensive, integrated and long-term planning is best achieved through official plans.

Official plans shall identify provincial interests and set out appropriate land use designations and policies. To determine the significance of some natural heritage features and other resources, evaluation may be required.

Official plans should also coordinate cross-boundary matters to complement the actions of other planning authorities and promote mutually beneficial solutions. Official plans shall provide clear, reasonable and attainable policies to protect provincial interests and direct development to suitable areas.

To protect provincial interests, planning authorities shall keep their official plans up-to-date with this Provincial Policy Statement. The policies of this Provincial Policy Statement continue to apply after adoption and approval of an official plan.

Those policies of relevance for the conservation of heritage features are contained in Section 2- Wise Use and Management of Resources, wherein Subsection 2.6 - Cultural Heritage and Archaeological Resources, makes the following provisions:

- 2.6.1 Significant built heritage resources and significant cultural heritage landscapes shall be conserved.

Several definitions that have specific meanings for use in a policy context accompany the policy statement. These definitions include built heritage resources and cultural heritage landscapes.

A *built heritage resource* is defined as: “a building, structure, monument, installation or any manufactured remnant that contributes to a property’s cultural heritage value or interest as identified by a community, including an Aboriginal community” (Ministry of Municipal Affairs and Housing 2014).

A *cultural heritage landscape* is defined as “a defined geographical area that may have been modified by human activity and is identified as having cultural heritage value or interest by a community, including an Aboriginal community. The area may involve features such as structures, spaces, archaeological sites



or natural elements that are valued together for their interrelationship, meaning or association” (Ministry of Municipal Affairs and Housing 2014). Examples may include, but are not limited to farmscapes, historical settlements, parks, gardens, battlefields, mainstreets and neighbourhoods, cemeteries, railways, and industrial complexes of cultural heritage value.

In addition, significance is also more generally defined. It is assigned a specific meaning according to the subject matter or policy context, such as wetlands or ecologically important areas. Regarding cultural heritage and archaeology resources, resources of significance are those that are valued for the important contribution they make to our understanding of the history of a place, an event, or a people (Ministry of Municipal Affairs and Housing 2014).

Criteria for determining significance for the resources are recommended by the Province, but municipal approaches that achieve or exceed the same objective may also be used. While some significant resources may already be identified and inventoried by official sources, the significance of others can only be determined after evaluation (Ministry of Municipal Affairs and Housing 2014).

Accordingly, the foregoing guidelines and relevant policy statement were used to guide the scope and methodology of the cultural heritage evaluation.

1.2.3 The City of Mississauga Official Plan (2017)

The following policies, outlined in the City of Mississauga’s *Official Plan* (dated March 13, 2017), direct the undertaking of Heritage Impact Assessments within the City:

- 7.4.1.12 The proponent of any construction, development, or property alteration that might adversely affect a listed or designated cultural heritage resource or which is proposed adjacent to a cultural heritage resource will be required to submit a *Heritage Impact Assessment*, prepared to the satisfaction of the City and other appropriate authorities having jurisdiction.

The City of Mississauga’s *Official Plan* provides policy direction for development on or adjacent to cultural heritage resources. These policies include:

- 7.4.1.2 Mississauga will discourage the demolition, destruction or inappropriate alteration or reuse of cultural heritage resources.
- 7.4.1.3 Mississauga will require development to maintain locations and settings for cultural heritage resources that are compatible with and enhance the character of the cultural heritage resource.
- 7.4.1.11 Cultural heritage resources designated under the *Ontario Heritage Act*, will be required to preserve the heritage attributes and not detract or destroy any of the heritage attributes in keeping with the *Ontario Heritage Tool Kit*, the



Ontario Ministry of Culture, and the *Standards and Guidelines for the Conservation of Historic Places in Canada*, Parks Canada.

- 7.4.2.3 Development adjacent to a cultural heritage property will be encouraged to be compatible with the cultural heritage property.
- 9.5.1.15 Development in proximity to landmark buildings or sites, to the Natural Areas System or cultural heritage resources, should be designed to:
- a. respect the prominence, character, setting and connectivity of these buildings, sites and resources; and
 - b. ensure an effective transition in built form through appropriate height, massing, character, architectural design, siting, setbacks, parking, amenity and open spaces.

1.3 Project Consultation

The following organizations, websites, online heritage documents, and online heritage mapping tools were consulted to confirm the level of significance of the subject property, the location of additional previously identified cultural heritage resources adjacent to the study area, and to request additional information generally:

- Matthew Wilkinson, Historian, City of Mississauga [Contacted 17 July 2019]
- Barbara Murck, Professor, Department of Geography, University of Toronto at Mississauga [Contacted 6 June 2019]
- Anne Byard, Archives, Display, Volunteers, City Contact, Streetsville Historical Society [Contacted 27 June 2019]
- City of Mississauga's Heritage Register [Accessed 11 June 2019 at: https://www7.mississauga.ca/documents/culture/heritage/2018-07-01_Mississauga_Heritage_Register_Web.pdf]
- Canadian Register of Historic Places [Accessed 17 July 2019 at: <http://www.historicplaces.ca/en/pages/about-apropos.aspx>]
- Parks Canada website (National Historic Sites) [Accessed 17 July 2019 at: <http://www.pc.gc.ca/eng/progs/lhn-nhs/index.aspx>]
- The Ontario Heritage Trust's *Ontario Heritage Plaque Guide*, an online, searchable database of Ontario Heritage Plaques [Accessed 11 June 2019 at: <https://www.heritagetrust.on.ca/en/online-plaque-guide>]
- *Ontario's Historical Plaques* website [Accessed 11 June 2019 at: www.ontarioplaques.com]
- Parks Canada's *Directory of Federal Heritage Designations* [Accessed 11 June 2019 at: http://www.pc.gc.ca/apps/dfhd/search-recherche_eng.aspx]
- Canadian Heritage Rivers System [Accessed 11 June 2019 at: <http://chrs.ca/the-rivers/>]



1.4 Cultural Heritage Value

The proposed pipeline development is adjacent to Hewick Meadows, the property on which the Leslie Log House and the former Pinchin Farm is found. The Leslie Log House, at 4415 Mississauga Road, is designated under Part IV of the *Ontario Heritage Act* By-law 330-94. The Statement of Significance for the Leslie Log House can be found in Section 4.2.2 below. Pinchin Farm and the Credit River Corridor were identified as cultural heritage landscapes in the City of Mississauga's Cultural Landscape Inventory (2005) and described as excerpted below.¹

1.4.1 Pinchin Farm Site Description

The City of Mississauga's 2005 Cultural Landscape Inventory includes the following Site Description:

SITE DESCRIPTION

The Pinchin Farm, like the Sandford and Madhill Farms, is one of the last active farms in the City of Mississauga and one of the few farms that was within the Credit River Valley. This scenic farm is sandwiched between Mississauga Road and the west bank of the Credit River. It is made up of tableland, alluvial benches created by glacial lakes and the flood plain of the Credit River. The house, barn and orchards are relatively intact with the orchards planted in apple, pear and plum trees. The farm has been in operation since 1833 and in the Pinchin family since 1926. Average production is about 400 bushels/acre annually. Its significance is that it is one of the last remaining active orchards within the City of Mississauga of approximately 1500 orchard farms that predominated the north shore of Lake Ontario between Burlington and Toronto, prior to extensive urbanization beginning in the 1950s and 1960s. The farm is in the ownership of the City of Mississauga. The Leslie Log House, which was moved to the farm by the City, is a designated structure. A management plan will be implemented that will determine the future purpose of the farm landscape.

1.4.2 Credit River Corridor Site Description

The City of Mississauga's 2005 Cultural Landscape Inventory includes the following Site Description:

SITE DESCRIPTION

The Credit River is 58 miles long in total and has a drainage area of 328 square miles. From south of Georgetown to Erindale, the river cuts through the boulder till of the Peel Plain and in some areas exposes the underlying Paleozoic bedrock of shales and sandstones. The River flows through a wide alluvial terrace at Meadowvale where its banks are gentle and tree covered. As it approaches the old Shoreline of glacial Lake Iroquois at Erindale it cuts deeper and deeper into the Peel Plain creating steep valley walls in excess of 75 feet deep. In several locations, such as on the former Bird property north of Burnhamthorpe, intermediate benches were formed as the water levels of the glacial lakes receded. These benches and alluvial terraces provide wonderful natural and recreational settings for trails and other recreational activities. South of the Iroquois shoreline the River cuts through the sands and boulder till of the Iroquois Plain. The last mile of the river is drowned and marshy. The wave action of Lake Ontario continues in its efforts to build a bar across the mouth of the river which is periodically removed by dredging. Despite its size, the River has had significant impact on the settlement of the area. At one time, Erindale had a mill and for a short while a small hydroelectric generating station. At Streetsville, four flour mills operated some of which remain today as modern mills. Two sawmills and a carding mill were built in Meadowvale. The banks of the river continue to be developed for attractive residential neighborhoods, parks and special uses such as the University of Toronto Erindale campus. The river provides the residents of Mississauga with a variety of recreational and educational opportunities. The Credit River Valley is the most significant natural feature remaining in the City of Mississauga. (excerpts from *The Physiography of Southern Ontario*)

¹ The 2005 Cultural Landscape Inventory is currently under review by ASI and the results of the study have not yet been made public.

2.0 HISTORICAL RESEARCH

A review of available primary and secondary source material was undertaken to produce a contextual overview of the study area, including a general description of the physiography, Indigenous land use, Euro-Canadian settlement, and land use history. The following section provides the results of this research.

2.1 Physiography

The subject property is located within the Peel Plain physiographic region. The Peel Plain is a level-to-undulating area of clay soil which covers an area of approximately 77,700 hectares across the central portions of the Regional Municipalities of York, Peel, and Halton. The Peel Plain has a general elevation of between 500 and 750 feet above sea level with a gradual uniform slope towards Lake Ontario. The Peel Plain is sectioned by the Credit, Humber, Don, and Rouge Rivers with deep valleys as well as a number of other streams such as the Bronte, Oakville, and Etobicoke Creeks. These valleys are in places bordered by trains of sandy alluvium. The region is devoid of large undrained depressions, swamps, and bogs though nevertheless the dominant soil possesses imperfect drainage.

The Peel Plain overlies shale and limestone till which in many places is veneered by occasionally varved clay. This clay is heavy in texture and more calcareous than the underlying till and was presumably deposited by meltwater from limestone regions and deposited in a temporary lake impounded by higher ground and the ice lobe of the Lake Ontario basin. The Peel Plain straddles across the contact of the grey and red shales of the Georgian Bay and Queenston Formations, respectively, which consequently gives the clay southwest of the Credit River a more reddish hue and lower lime content than the clay in the eastern part of the plain. Additionally, the region exhibits exceptional isolated tracts of sandy soil specifically in Trafalgar Township, near Unionville, and north of Brampton where in the latter location there is a partly buried esker. The region does not possess any good aquifers and the high level of evaporation from the clay's now deforested surface is a disabling factor in ground-water recharge. Further, deep groundwater accessed by boring is often found to be saline (Chapman and Putnam 1984: 174-175).

2.2 Overview of Indigenous Land Use

Southern Ontario has a cultural history that begins approximately 11,000 years ago. The land now encompassed by the City of Mississauga has a cultural history which begins approximately 10,000 years ago and continues to the present. Table 1 provides a general summary of the history of Indigenous land use and settlement of the area.²

² While many types of information can inform the precontact settlement of the City of Mississauga, this summary table provides information drawn from archaeological research conducted in southern Ontario over the last century. As such, the terminology used in this review related to standard archaeological terminology for the province rather than relating to specific historical events within the region. The chronological ordering of this summary is made with respect to two temporal referents: BCE – before Common Era and CE – Common Era.



Table 1: Outline of Southern Ontario Prehistory

Period	Archaeological/ Material Culture	Date Range	Lifeways/ Attributes
PALEO-INDIAN PERIOD			
Early	Gainey, Barnes, Crowfield	9000-8500 BCE	Big game hunters
Late	Holcombe, Hi-Lo, lanceolate	8500-7500 BCE	Small nomadic groups
ARCHAIC			
Early	Nettling, Bifurcate-base	7800-6000 BCE	Nomadic hunters and gatherers
Middle	Kirk, Stanley, Brewerton, Laurentian	6000-2000 BCE	Transition to territorial settlements
Late	Lamoka, Genesee, Crawford Knoll, Innes	2500-500 BCE	Polished/ground stone tools (small stemmed)
WOODLAND PERIOD			
Early	Meadowood	800-400 BCE	Introduction of pottery
Middle	Point Peninsula, Saugeen	400 BCE-CE 800	Incipient horticulture
Late	Algonkian, Iroquoian	CE 800-1300	Transition to village life and agriculture
	Algonkian, Iroquoian	CE 1300-1400	Establishment of large palisaded villages
	Algonkian, Iroquoian	CE 1400-1600	Tribal differentiation and warfare
POST-CONTACT PERIOD			
Early	Huron, Neutral, Petun, Odawa, Ojibwa	CE 1600-1650	Tribal displacements
Late	Six Nations Iroquois, Ojibwa	CE 1650-1800's	
	Euro-Canadian	CE 1800-present	European settlement

The subject property is located within Treaty Nos. 22 and 23, signed in 1820 between the Mississaugas and the Crown wherein the Mississaugas surrendered the last of their small reserves at 12 Mile Creek, 16 Mile Creek, and the Credit River in exchange for a 200-acre plot of land on the Credit River to be used as a village site: the Credit Mission Reserve (Mississauga of the New Credit First Nation 2017).



2.3 Township and Settlement History

2.3.1 *Toronto Township*

At the conclusion of the American War of Independence (1775-1783), the British were forced to recognize the emergence of a new political frontier, one that had to be maintained by a strong military presence. In addition, thousands of British loyalists had travelled north and crossed the border in order to remain in British territory. Many of them were given land grants by the Crown in exchange for loyal service. These new developments ultimately led to several treaties between the Crown and the Mississaugas between 1781 and 1820. In 1791, the British organized the colony of Upper Canada and quickly subdivided the land into nineteen counties – themselves divided into townships – by its first Lieutenant Governor, Colonel John Graves Simcoe. With an agreement between the Crown and the Mississaugas of the Credit negotiated in 1805 (ultimately signed in 1806 as the Head of the Lake Treaty), land was made available for white settlement in the area now called Mississauga (Mississauga of the New Credit First Nation 2017).

Toronto Township, originally part of York County, was formed in 1805 and surveyed in 1806. The population of the Township in 1808 consisted of seven families, scattered along Dundas Street. The number of inhabitants gradually increased as the number of land grants grew. When war broke out in 1812, there was a considerable slowdown in Toronto Township's progress. However, when the war ended in 1814, the township's growth revived. Over the course of the following few decades, there was more surveying, higher immigration, municipal organizing, community services, and road building. Local roads were initially cleared by the grantees of adjacent land as part of their settlement duties. At the same time, many rivers and creeks posed a challenge to the gridded road system, and nineteenth-century maps detail the many jags and detours necessary to avoid bad crossing points.

Toronto Township contained excellent, rolling land. The soil condition varied from sandy loam to stiff loam and clay and the primary farm products and crops grown included wheat, barley, oats, peas, potatoes, turnips, wool and butter. The timber consisted of a mixture of hardwood and pine. The Credit River proved to be especially important to the township's development throughout the nineteenth century, as it was useful for transportation, fishing, recreation, and mill development. By 1849-1850, the township contained seven grist mills and 17 sawmills to serve the approximately 6,200 inhabitants (Smith 1851:277-278).

In 1851, Toronto Township became a part of Peel County. Several villages of varying sizes had developed by the end of the nineteenth century, including Streetsville, Meadowvale, Churchville, and Malton. Several crossroad communities also began to grow. These included Britannia, Derry, Palestine, Mt. Charles, and Grahamsville. The political municipality of Toronto Township stayed in effect until 1967 when it changed to the Town of Mississauga, an amalgam of all the former township's small villages and rural hamlets except Streetsville and Port Credit who joined in 1974. As the population grew, Mississauga became a City in 1974. Peel County was succeeded by the Regional Municipality of Peel in 1973-74 (Armstrong 1985:138-148, 152; Jonasson 2006:191-209).



2.4 Land Use History

2.4.1 Pinchin Farm Property

The subject property at 4415 Mississauga Road is located on Lots 3 and 4, Range 5 North of Dundas Street in the former Toronto Township in the County of Peel (now in the City of Mississauga, in the Region of Peel).

Historical mapping, topographic maps, aerial photography, and land registry abstracts, along with archival materials and secondary sources, were reviewed to prepare a land-use history for the subject property.³

The subject property was part of the large swath of land negotiated between the British and the Mississaugas in 1805. The Crown land grant for the subject property was to Thomas Silverthorn in 1832, and it's likely that a small farm began operation shortly thereafter. Silverthorn had been a British private during the War of 1812, first in the York Militia and later with the Norfolk Militia, fighting in the battles of Stoney Creek and Queenston Heights, amongst others. Following the war's end, he petitioned the Crown for land as recognition for his military efforts. Silverthorn ultimately received 300 acres – Lots 3, 4, and 5 in Range 5 – in 1832. Before he died in 1834, Silverthorn conveyed his property to Jannet Douglass, Elizabeth Butter, and General Peter Adamson (Wilkinson 2011). Douglass' portion of the property likely stayed in the family, as the 1859 Tremaine Map of Peel County shows a William Douglass on the north-western portion of the property, west of Mississauga Road (Figure 5). To the east, the Butter and Adamson portions (and a part of the Douglass portion) were ultimately united between 1847 and 1856 by Alexander McGlashan, who was likely married to Butter (Wilkinson 2011).

The 1859 Tremaine Map demonstrates that Mississauga Road was a concession road, dividing the lot in two. A brick yard is illustrated on the left (west) side. The Credit River is depicted as flowing in the north-eastern corner of the subject property, though primarily in the McGlashan estate property, which also included a saw mill (Figure 5). No further cultural features are decipherable on the map.

³ It should be noted that not all features of interest appear on historical mapping. Features such as farmhouses were generally not illustrated on the Tremaine series of maps and features of interest were not mapped systematically in the Ontario series of historical atlases, given that they were financed by subscription, and subscribers were given preference regarding the level of detail provided on the maps. Moreover, not every feature of interest would have been within the scope of the maps.



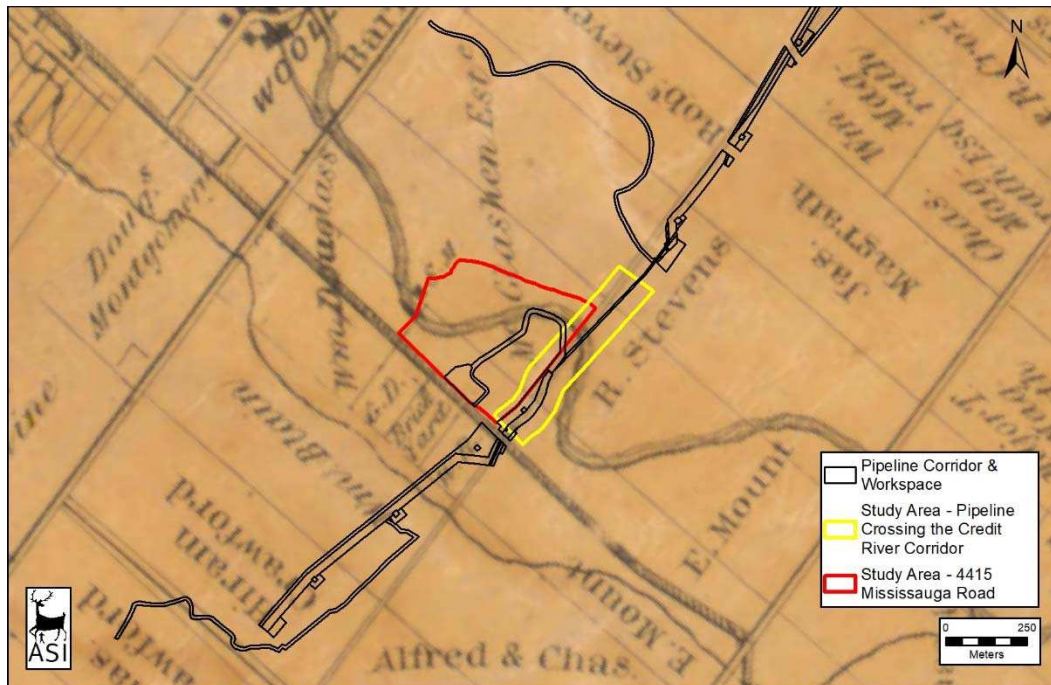


Figure 5: 1859 Tremaine Map of Peel County (Tremaine 1859)

When McGlashan died in 1861, his estate lands were rented out briefly until English immigrant Henry Rundle and his Irish immigrant father-in-law James O'Neill mortgaged some of the property in 1864 and built a rare plank-on-plank style centre-gable farmhouse from 1865 to 1868. Rundle and O'Neill ultimately purchased 44 acres, parts of Lots 3 and 4, in 1871, and added a barn c. 1875 (Wilkinson 2011). Remnants of the barn are still on-site today (Figure 31). The 1877 *Illustrated Historical Atlas of the County of Peel* still identifies McGlashan as the owner of the east side of the subject property, while James O'Neill is listed on the west side (Figure 6).⁴ The map also confirms that the same road network was in place during the mid-late nineteenth century with Mississauga Road acting as a primary thoroughfare.

⁴ However, a Corporate Report written by Paul A. Mitcham in 2006 as part of the proposed Heritage Designation for the "Rundle Farmhouse" notes that the Rundle family lived in the house until 1890 and then was followed by the family of O'Neill's youngest son from 1891-1896.



Figure 6: 1877 Illustrated Historical Atlas of the County of Peel (Pope 1877)

By the turn of the twentieth century, the subject property changed ownership from Robert Greig (1901) to William Crozier (1905) to Frank Steen (1926). It was Steen who sold the property to James Herbert (J.H.) Pinchin in 1931. Pinchin, a World War I veteran who had been the Reeve (mayor) of Toronto Township in 1930-31, soon opened an orchard and turkey farm, later to be called Riviere Farm (Wilkinson 2011). Pinchin soon began to plant apple trees, as well as pear and plum trees. By 1942, a full-scale orchard was in operation, with a storage shed and barn slightly south of the house (Figure 7). The surrounding landscape remained primarily agricultural into the 1950s (Figure 8). However, beginning in the 1960s, significant suburban development was occurring in the surrounding area. By the 1990s, the Pinchin property was virtually surrounded by residential development (Figure 9).

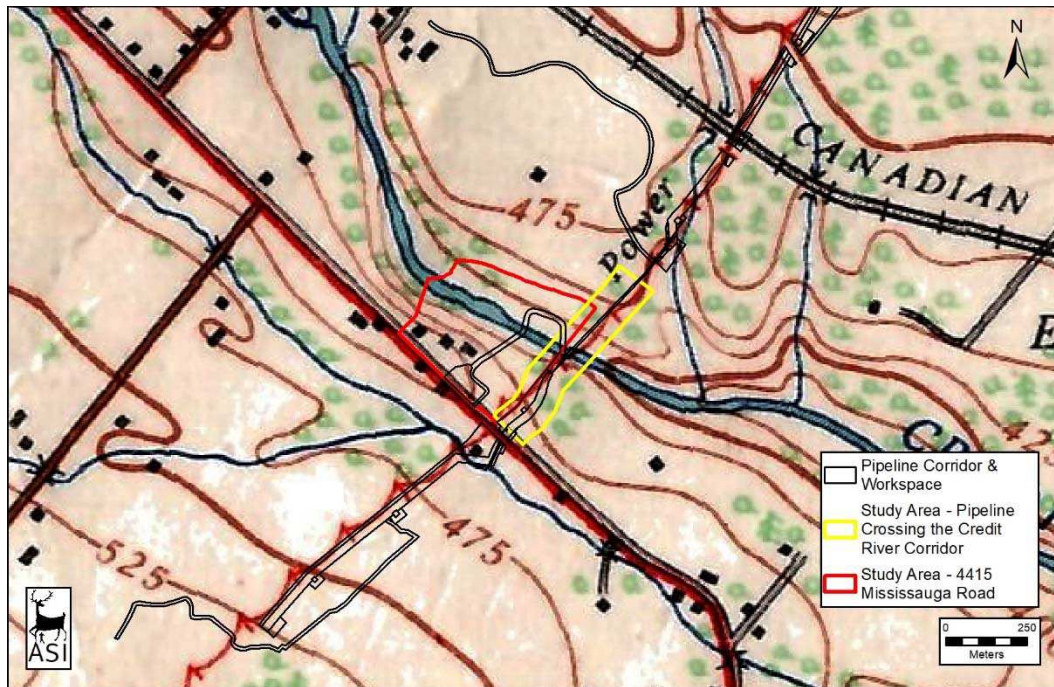


Figure 7: 1942 National Topographic Map (Department of National Defence 1942)

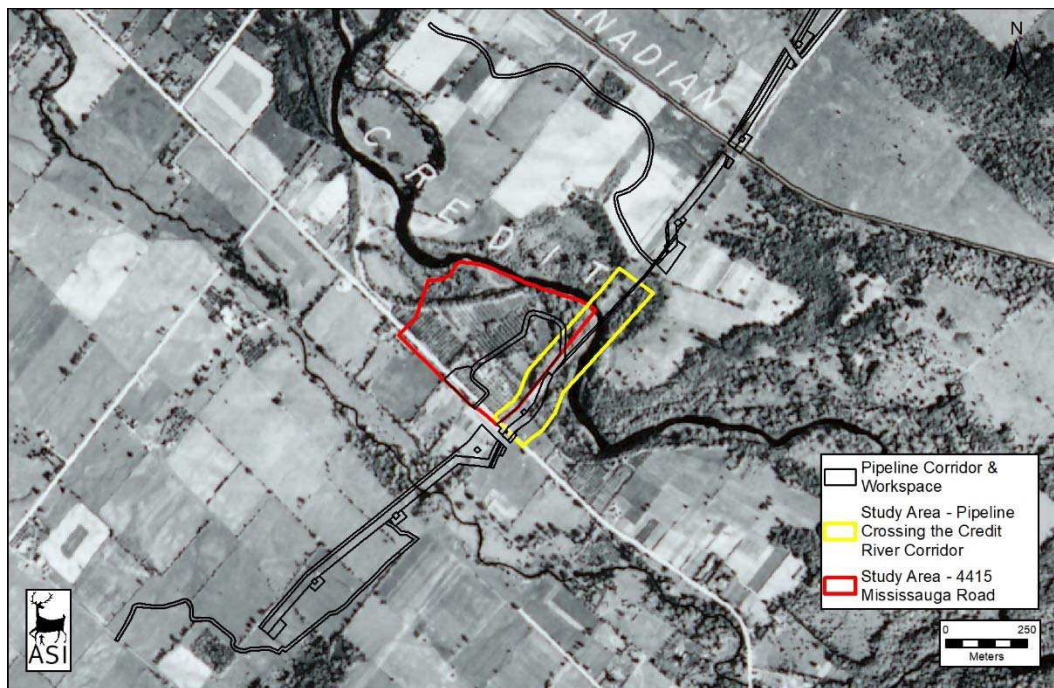


Figure 8: 1954 Aerial Photograph (Hunting Survey Corporation Limited 1954)

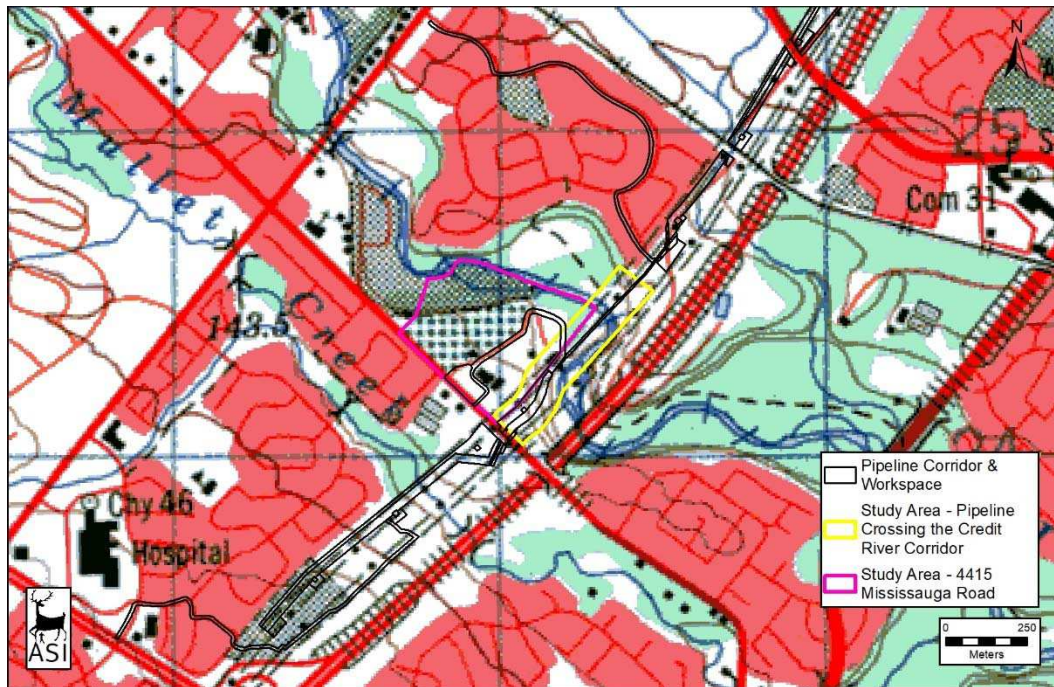


Figure 9: 1994 National Topographic Map (Department of Energy, Mines and Resources 1994)

James Pinchin's son Victor Pinchin sold the property to the Cadillac Fairview Corporation in 1969. It was then conveyed to the province in 1979 and purchased by the City of Mississauga in 1992. All the while, Pinchin continued to lease the land and the orchard remained operational until 2004 (Wilkinson 2011). The land continued to be popularly known as the Pinchin property.

The farm produced an average of about 400 bushels of apples per year and was one of the last orchards within Mississauga's city limits when it closed in 2004. Despite a Proposed Heritage Designation for the Rundle Farmhouse in 2006, the house and barn were demolished in 2009 because of deterioration and a loss of structural integrity (Mackintosh 2009). The property was renamed Hewick Meadows in honour of Stephen and Laura Hewick, who owned property in the vicinity of the Pinchin Farm since 1945 and granted their land to the City of Mississauga in the late 1980s.

Select photos of the grounds, home, and barn as they appeared c. 1989, 2001, and 2009 are found below (Figure 10, Figure 11, Figure 12, Figure 13). An aerial photograph showing the layout and site locations of buildings on the Pinchin property from c. 2005 is also found below (Figure 14). Finally, two Google Earth images, from 2009 and 2019, are shown below to illustrate that the historical integrity of the site has significantly diminished (Figure 15 and Figure 16).



Figure 10: Pinchin Farm, Driveway, Streetsville, c. 1989 (City of Mississauga, Historic Images Gallery)



Figure 11: Barn on Pinchin Property, c. 1989 (City of Mississauga, Historic Images Gallery)



Figure 12: Pinchin Orchard, Streetsville, 2001 (City of Mississauga, Historic Images Gallery)



Figure 13: Pinchin Farmhouse, 2009 (Streetsville Historical Society)



Figure 14: Aerial photo of Pinchin Farm, c. 2005 facing south. Mississauga Road is in the location of the black line in the top right corner (Cropped from Cardin 2018)



Figure 15: Pinchin Farm, 2009 (Google Earth)

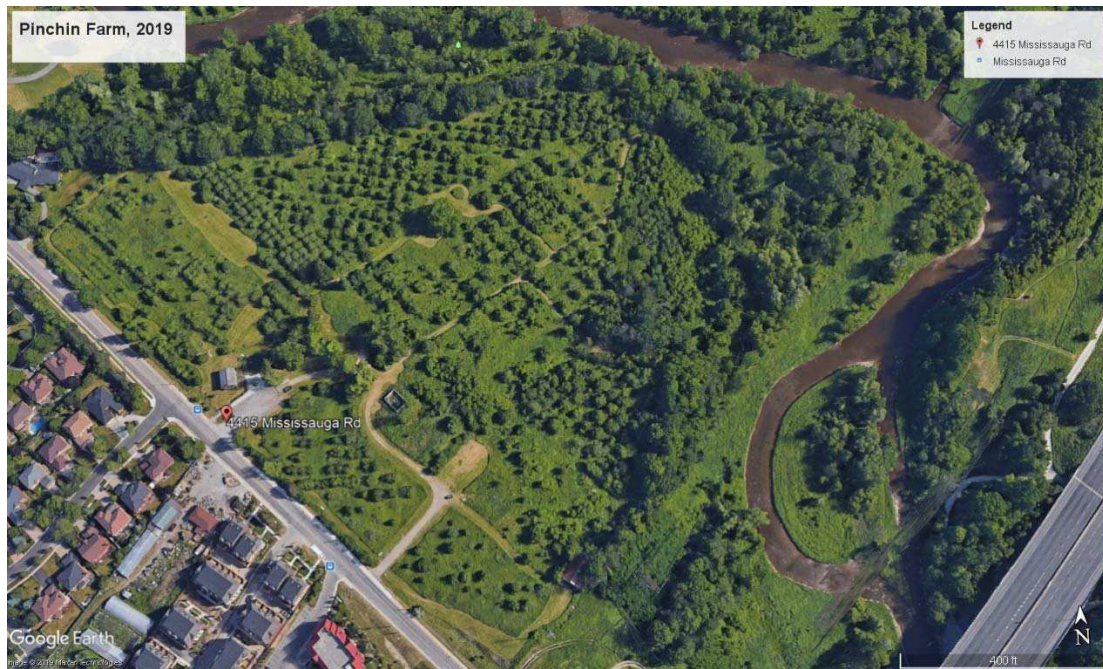


Figure 16: Pinchin Farm, 2019 (Google Earth)

2.4.2 Leslie Log House

Designated by the City of Mississauga for its architectural, cultural landscape, and historical value under Part IV of the *Ontario Heritage Act*, the Leslie Log House is located on the old Pinchin Farm property. Originally found at 7250 Mississauga Road on Lot 12, Concession 5 West of Hurontario Street (WHS) (now near the northwest corner of Mississauga Road and Derry Road West), the Leslie Log House was moved onto the Pinchin Farm by the City of Mississauga in 1994 in order to more suitably fit with its historic surroundings rather than remain in its original location which had become increasingly industrial (Streetsville Historical Society). The one-and-a-half storey, 26' by 36' rectangular log house was built in 1826 by John Leslie Sr. and his wife Esther Beattie Leslie (Canada's Historic Places). Later additions included the installation of a stone walled basement, clapboard siding (which was removed c. 1960), and summer kitchen (also removed). The character-defining elements of the house include its low-pitch gable roof, internally bracketed brick chimneys, dovetailed log joints, 12-over-12 pane windows on the façade and 9-over-9 pane windows at the rear and side, plain mouldings, and original wood trim. Renovations c. 1850-1860 widened the main entry – including a classically-inspired door surround and sidelights – giving the house a more neo-classical appearance. When the house was moved in 1994, a new concrete foundation was provided, replacing the original stone foundation (Canada's Historic Places). The Streetsville Historical Society and its archives and artifact collection are now located in the building, which provides educational programming and meeting opportunities. The Streetsville Horticultural Society maintain the shrubs and perennials around the house (Discover Mississauga).

2.4.3 Credit River

The Credit River is almost 90 km long, beginning in Orangeville, Mono, and Erin, flowing through nine municipalities before draining into Lake Ontario at Port Credit (Credit Valley Conservation 2018). Within the City of Mississauga itself the Credit River runs for approximately 24 km and has shaped the land, both physically and culturally, contributing largely to the region today.

The Credit River adjacent to 4415 Mississauga Road is located on Lots 3 and 4, Range 4 North of Dundas Street in the former Toronto Township in the County of Peel (now in the City of Mississauga, in the Region of Peel). This particular stretch of the river is immediately south of Hewick Meadows and runs underneath a HydroOne Networks Inc. corridor and parallel to Highway 403.

Historical mapping, topographic maps, aerial photography, and land registry abstracts, along with archival and secondary materials, were reviewed.

The subject river was part of the large swath of land negotiated between the British and the Mississaugas in 1805. Treaty negotiations, however, ensured that a one-mile strip of land on either side of the Credit River was to be reserved for the Mississaugas from Lake Ontario northward to what is now Eglinton Avenue. These Range Lands, as they came to be known, were only made available for settlement following new treaty negotiations in 1820. The following year, the land was surveyed and then steadily made available for settlement over the following decades (Wilkinson).

In 1859, the Tremaine Map shows E. Mount as owner of Lots 3 and R. Stevens as owner of Lot 4, possibly dividing the land ownership by the river rather than by the land grid (Figure 5).

The 1877 *Illustrated Historical Atlas of the County of Peel* shows a John C. Crozier on Lot 3 and a George Staggall on Lot 4 (Figure 6). Lot 3 stayed in the Crozier family for generations (at least until the 1990s), with portions only beginning to be sold off in the 1930s and 1940s. The Hydro Electric Power Commission of Ontario purchased nearly 10 acres of land for the erection of a power line across the northern edge of the property in 1942. Save for this power line, the land on either side of the Credit River remained largely forested through the 1950s (Figure 8). In 1961-62, the Department of Highways purchased parts of the land immediately south of this portion of the Credit River for the creation of Highway 403 (Figure 9).

3.0 EXISTING CONDITIONS

On July 22, 2019, a field review was undertaken by Kristina Martens, Cultural Heritage Specialist, and Michael Wilcox, Cultural Heritage Assistant, both of ASI, to document the existing conditions of the subject property and to assess the built heritage resources or cultural heritage landscapes within and adjacent to the study area. The Credit River is located on the east side of Mississauga Road, immediately south of Hewick Meadows and runs parallel to a HydroOne Networks Inc. corridor and Highway 403. There was no access to this part of the Credit River.



3.1 4415 Mississauga Road: Leslie Log House and Pinchin Farm

The subject property is located on the east side of Mississauga Road, south of the historic town of Streetsville between Eglinton Avenue to the north and Highway 403 to the south (Figure 16).

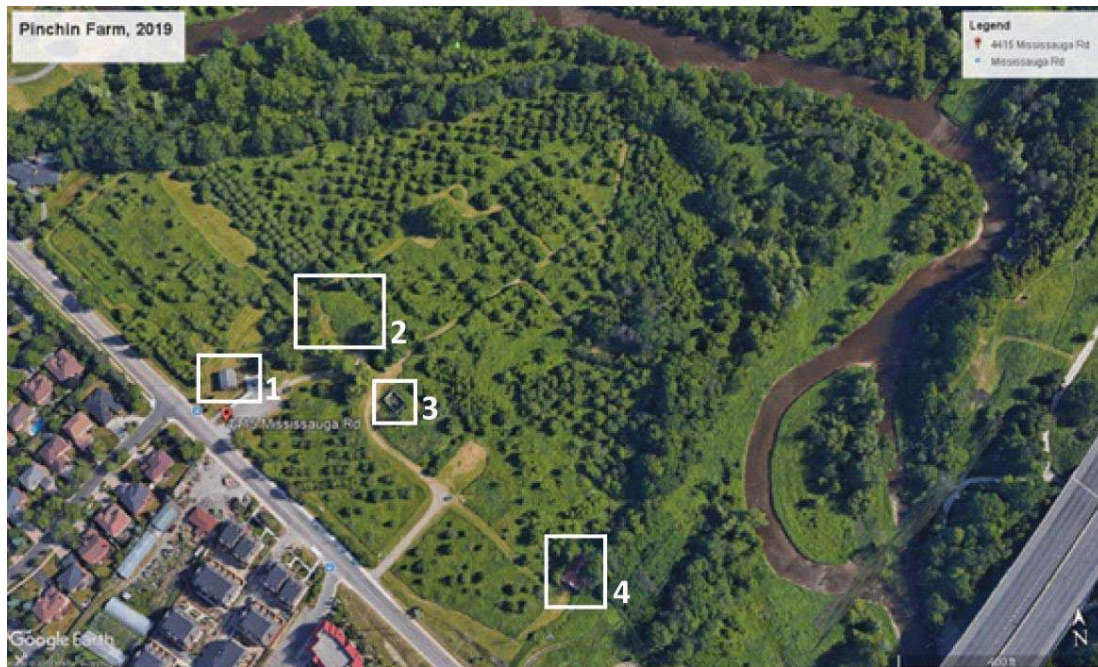


Figure 17: Pinchin Farm, 1. Leslie Log House, 2. Former location of farmhouse, 3. Barn foundation, 4. Shed, 2019 (Google Earth)

3.1.1 Landscape

Much of the property includes the remnants of an old orchard (Figure 18 and Figure 19). The vegetation, including trees, shrubs, brush, and long grasses, is dense (Figure 20 to Figure 22). Flowers and fruit bushes (wild raspberries and blackberries) can be found scattered throughout the property (Figure 22). The ground is uneven, with natural berms and there is a steep slope down to the waters of the Credit River (Figure 24). There is a limited amount of open space, found close to the Leslie Log House to the north and west (Figure 25 and Figure 26). There is one maintained grass trail (including the remnants of the old driveway) from the parking lot through to a large walnut tree near the middle of the grounds (Figure 27, Figure 28, Figure 29). A series of unmaintained trails can be found throughout the property, veering in every direction (Figure 30). The foundation of the old Pinchin Barn is found just to the southeast of the current parking lot (Figure 31). A metal sided shed is located in the south side of the property. The western boundary of the property, Mississauga Road, is largely residential on the west/opposite side of the street, including a retirement home, townhouses, and houses both north and south of the Leslie Log House and Pinchin Property (Figure 32 and Figure 33). Much of the southwest portion of the property is filled with long grasses and trees, while a HydroOne Networks Inc. corridor traverses through the entire southern end of the property (Figure 34 and Figure 35).



Figure 18: Remnants of old orchard (ASI)



Figure 19: Apples (ASI)



Figure 20: Thick vegetation (ASI)



Figure 21: Thick vegetation (ASI)



Figure 22: Thick trees and brush (ASI)



Figure 23: Flowers (ASI)



Figure 24: Shrubs, trees, and Credit River below (ASI)



Figure 25: Parkland to east of Leslie Log House (ASI)



Figure 26: Open expanse in front of old orchard (ASI)



Figure 27: Former driveway to Pinchin Farmhouse (ASI)



Figure 28: Pathway (ASI)



Figure 29: Pathway and large walnut tree (ASI)



Figure 30: Forest and unmaintained trail (ASI)



Figure 31: Remnant foundation of barn (ASI)



Figure 32: Mississauga Road, facing south from Leslie Log House (ASI)



Figure 33: Mississauga Road, facing north from Leslie Log House (ASI)



Figure 34: Trees and long grasses, facing northwest from Mississauga Road (ASI)



Figure 35: Old storage barn and hydro lines at southern edge of property line (ASI)

3.1.2 Building Exterior – Leslie Log House

The Leslie Log House is sited at an angle to Mississauga Road with the primary façade facing inwards to the property. The house is one-and-a-half storeys and constructed of cedar logs and plaster chinking on a concrete masonry foundation. It is rectangular in plan with a low-pitched, side gable roof. The logs are squared and rough hand-hewn with dovetailed joints at the corners. There are Neo-Classical details throughout the building including a wide central door framed by sidelights and an entablature above and gable end returns. Two 12-over-12 double hung sash windows flank the front door. The rear and side elevations have nine-over-nine casement windows (Figures 34 to 37).



Figure 36: Leslie Log House, side angle (ASI)



Figure 37: Leslie Log House, front facing (ASI)



Figure 38: Leslie Log House, from Mississauga Road (ASI)



Figure 39: Plaque and rear of Leslie Log House, from Mississauga Road (ASI)

4.0 CULTURAL HERITAGE VALUE

4.1 Existing Heritage Protection

4.1.1 *Leslie Log House*

The Leslie Log House is designated on the City of Mississauga's Heritage Register, By-law 330-94. Details are provided in Section 4.2.2 below.

4.1.2 *Pinchin Farm*

Pinchin Farm is listed on the City of Mississauga's 2005 Cultural Landscape Inventory. The Inventory entry remarked on four key aspects of the site:

Landscape Environment:

Pinchin Farm is noted for: Scenic and Visual Quality; Natural Environment; and Horticultural Interest.

Built Environment:

Pinchin Farm is noted for: Aesthetic/Visual Quality; Consistent Early Environs (pre-World War II); Consistent Scale of Built Features; and Designated Structures.

Historical Association:

Pinchin Farm is notable because it: Illustrates Style, Trend or Pattern and Illustrates Important Phase in Mississauga's Social or Physical Development

Other:

Pinchin Farm is noted for: Historical and Archaeological Interest

4.1.3 Credit River Corridor

The Credit River Corridor is listed on the City of Mississauga's 2005 Cultural Landscape Inventory. The Inventory entry remarked on three key aspects of the site:

Landscape Environment:

The Credit River Corridor is noted for: Scenic and Visual Quality; Natural Environment; and Landscape Design, Type and Technological Interest.

Historical Association:

The Credit River Corridor is notable because it has a: Direct Association with an Important Person or Event and it Illustrates Important Phase in Mississauga's Social or Physical Development.

Other:

Credit River Corridor is noted for: Historical and Archaeological Interest; Outstanding Features/Interest; and Significant Ecological Interest.

4.2 Ontario Regulation 9/06 Evaluation and Statement of Significance

Table 2 contains the evaluation of the subject property at 4415 Mississauga Road against the criteria as set out in Ontario Regulation 9/06 of the *Ontario Heritage Act*. While it is understood that the Credit River Corridor retains cultural heritage value for the reasons described in Section 1.4.2 above, Table 3 contains the evaluation of the section of the Credit River Corridor *within* the pipeline study area against criteria as set out in Ontario Regulation 9/06 in the *Ontario Heritage Act*.

4.2.1 Evaluation of 4415 Mississauga Road (Leslie Log House and Pinchin Farm CHL) Against Ontario Regulation 9/06

Table 2: Evaluation of 4415 Mississauga Road using Ontario Regulation 9/06

1. The property has design value or physical value because it:

<i>Ontario Heritage Act Criteria</i>	<i>Yes/No</i>	<i>Analysis</i>
i. is a rare, unique, representative or early example of a style, type, expression, material or construction method;	Yes	The property at 4415 Mississauga Road contains a rare surviving example of an early nineteenth century log house in the City of Mississauga. The



Table 2: Evaluation of 4415 Mississauga Road using Ontario Regulation 9/06

		log house demonstrates characteristics of log construction including squared, hand-hewn logs and dovetailed joints at the corners.
		While Pinchin Farm was recognized in 2005 as a cultural heritage landscape due to its continued and ongoing agricultural uses within the City, these uses have since ceased. With the removal of the main farmhouse and the degradation of the barn structure and orchards this property no longer contains the representative elements of a farmstead.
ii. displays a high degree of craftsmanship or artistic merit, or;	No	The property at 4415 Mississauga Road does not display a high degree of craftsmanship or artistic merit as the log house, while rare is typical of this type of construction and there are no other surviving elements which demonstrate craftsmanship or artistic merit.
iii. demonstrates a high degree of technical or scientific achievement.	No	The property at 4415 Mississauga Road does not demonstrate a high degree of technical or scientific achievement.

2. The property has historical value or associative value because it:

<i>Ontario Heritage Act Criteria</i>	<i>Yes/No</i>	<i>Analysis</i>
i. has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community;	Yes	The Leslie Log House has direct associations with the pioneer settlers in the area, in particular the Leslie Family. The Leslie Family is significant to the City of Mississauga as an early settler family. While the property is associated with James Herbert Pinchin who served as Reeve of the Township of Toronto for a year, he is not known to have made significant contributions to the community.
ii. yields, or has the potential to yield, information that contributes to an understanding of a community or culture, or;	No	The property at 4415 Mississauga Road does not yield, or have the potential to yield, information that contributes to an understanding of a community or culture.
iii. demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.	No	The property at 4415 Mississauga Road is not associated with a known builder.

3. The property has contextual value because it:

<i>Ontario Heritage Act Criteria</i>	<i>Yes/No</i>	<i>Analysis</i>
--------------------------------------	---------------	-----------------



Table 2: Evaluation of 4415 Mississauga Road using Ontario Regulation 9/06

i. is important in defining, maintaining or supporting the character of an area;	No	The property at 4415 Mississauga Road does not contribute to defining, maintaining or supporting the character of the area. The character of the area is varied with a major highway, residential neighbourhoods and commercial properties. The rural nature of the property is not important to defining, maintaining or supporting the character of the area.
ii. is physically, functionally, visually or historically linked to its surroundings, or;	No	While the property at 4415 Mississauga Road is situated along the Credit River and Mississauga Road, there is no evidence that the property is physically, functionally, visually or historically linked to its surroundings. The Leslie Log House was relocated to the site and while the rural character is appropriate to the building's original siting, it does not provide a significant connection. There is also no evidence the Credit River featured highly in the farming operations of Pinchin Farm, nor is the river visible from the property.
iii. is a landmark.	Yes	The Leslie Log House at 4415 Mississauga Road is a landmark as the property's log construction is easily noted along Mississauga Road and signals the approach into Streetsville.

The Leslie Log House has cultural heritage value for physical, historical and contextual reasons. The Pinchin Farm which is directly associated with the property at 4415 Mississauga Road has lost numerous built and landscape features which contributed to its listing on the 2005 Cultural Landscape Inventory as one of the last remaining active orchards in the City of Mississauga. Due to the loss of historical integrity, the Pinchin Farm is determined to no longer retain cultural heritage value. To ensure the intention that the Leslie Log House be conserved in a rural context, the property should be maintained with a rural character.

4.2.2 Leslie Log House Statement of Significance

While By-law 330-94 provides a short statement of the reasons for the designation of the Leslie Log House, the Canadian Register on Canada's Historic Places website provides long-form Statement of Significance for the Leslie Log House including character defining elements which is included below.

DESCRIPTION OF HISTORIC PLACE

The Leslie Log House is located at 4415 Mississauga Road, on the east side of the street, north of Highway 403, in the City of Mississauga. The one-and-a-half storey cedar log house was constructed in 1826.



The property was designated, by the City of Mississauga in 1994, for its architectural, cultural landscape and historical value, under Part IV of the Ontario Heritage Act, By-law 330-94.

HERITAGE VALUE

The Leslie Log House is associated with the lifestyle of Mississauga's pioneer settlers, specifically the Leslie family. John Leslie, his wife Esther and their seven sons emigrated to Streetsville, Upper Canada from the parish of Rogart in Sutherlandshire, Scotland. They likely came at the urging of Esther's brother John Beattie who was one of the founders of Victoria College in Cobourg. The Leslie family leased 200 acres of land for 21 years from King's College before purchasing it; the log house was built by John Leslie on the southern half of the land. The land and structure remained in the family for 100 years. After passing through various owners the property and house came into the hands of Markborough Properties Ltd. who agreed to designate the house in 1978 and donate it to the City of Mississauga seven years later.

In 1994, the house was moved to its present location, on an apple farm dating to 1833, which is owned by the City of Mississauga. This enabled the Leslie Log House to be preserved in a compatible setting, rather than the industrial area that had developed around its original location.

Most of the Leslie children remained in the area; Robert Leslie was a master builder and is credited with buildings such as the William Barber House, Oliver Hammond House and Benares. George Leslie became successful in the Toronto area now known as Leslieville.

The Leslie Log House is a rare surviving example of an early nineteenth century log house. The one-and-a-half storey cedar log house, built in 1826, is rectangular in plan, measuring 26 by 36 feet, and consists of architectural features that distinguished it from other log cabins. The house was renovated in circa 1850 to 1860, to give it more of a Neo-Classical Style, with a wide central door framed by sidelights and an entablature above. Despite alterations, over the years, the integrity of the original structure has been preserved.

The side gable roof is low pitched and a small return of the eaves is evident at the gable ends. Two internally bracketed chimneys are located at either end of the main block. The original stone foundation was replaced with concrete when the house was moved in 1994. The walls of the house are constructed from rough hand-hewn squared logs with joints dovetailed at the corners and plaster chinking. The purlins of the second floor beams are visible along the facade and rear elevation, illustrating the log house method for building a second storey. Two 12 over 12 double hung sash windows flank the front door and similar fenestration, some nine over nine, appears in the rear and side elevations with nine paned casement windows in the gable ends. True to the early log house style, all mouldings are very plain.



Sources: City of Mississauga By-law 330-94; Heritage Status Report, City of Mississauga; Streetsville Historical Society Report, September 1994.

CHARACTER-DEFINING ELEMENTS

Character defining elements that contribute to the heritage value of the Leslie Log House include its:

- one-and-a-half storey rectangular log construction
- low pitch gable roof
- internally bracketed brick chimneys
- return eaves at the gable ends
- dovetailed log joints
- externally visible second floor beams
- Neo-Classical Style front entrance
- 12 over 12 pane windows on the facade
- 9 over 9 pane windows at rear and side elevations
- nine pane windows in the gable ends
- plain mouldings
- original wood trim

4.2.3 Evaluation of the Credit River Corridor CHL against Ontario Regulation 9/06

Table 3: Evaluation of the Credit River Corridor at the location of the Pipeline using Ontario Regulation 9/06

1. The property has design value or physical value because it:

<i>Ontario Heritage Act Criteria</i>	Yes/No	Analysis
i. is a rare, unique, representative or early example of a style, type, expression, material or construction method;	No	Not applicable.
ii. displays a high degree of craftsmanship or artistic merit, or;	No	Not applicable.
iii. demonstrates a high degree of technical or scientific achievement.	No	Not applicable.

2. The property has historical value or associative value because it:

<i>Ontario Heritage Act Criteria</i>	Yes/No	Analysis
i. has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community;	No	The section of the Credit River Corridor within the proposed pipeline study area does not meet this criterion. This area is devoid of attributes that retain direct associations with a theme, event,



Table 3: Evaluation of the Credit River Corridor at the location of the Pipeline using Ontario Regulation 9/06

		belief, person, activity, organization or institution that is significant to a community.
ii. yields, or has the potential to yield, information that contributes to an understanding of a community or culture, or;	No	The section of the Credit River Corridor within the proposed pipeline study area does not meet this criterion. It is not considered to yield, or have the potential to yield, information that contributes to an understanding of a community or culture.
iii. demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.	No	The section of the Credit River Corridor within the proposed pipeline study area does not meet this criterion. No known architect, artist, builder, designer, or theorist significant to the community is known to have been associated with the engineering and construction within this section of the Credit River.

3. The property has contextual value because it:

<i>Ontario Heritage Act Criteria</i>	Yes/No	Analysis
i. is important in defining, maintaining or supporting the character of an area;	No	This section of the Credit River Corridor, is not considered to be important in defining, maintaining, or supporting the character of the area.
ii. is physically, functionally, visually or historically linked to its surroundings, or;	No	This section of the Credit River Corridor does not have a physical, functional, visual or historical link to its surroundings.
iii. is a landmark.	No	This section of the Credit River is not a landmark.

Overall, the Credit River Corridor as a whole natural environment entity is considered to be of local heritage interest. The siting of Indigenous villages and campsites as well as many early Euro-Canadian farmsteads, mills, and settlements in the area has direct associations with the watercourse. The Credit River, deep valleys, and surrounding topography are important in defining and maintaining the character of the watershed within the region.

However, the section of the Credit River located within the proposed pipeline study area, is not considered to meet the criteria set out in Ontario Regulation 9/06 and is not considered to have local cultural heritage value. As well there are no identified or known heritage attributes within the proposed pipeline study area.



5.0 HERITAGE IMPACT ASSESSMENT

5.1 Proposed Development

Operating safely for many decades, Imperial Oil Limited's ("Imperial") Sarnia Products Pipeline ("SPPL") is important infrastructure that provides refined products used by households and businesses across the Greater Toronto and Hamilton Area. To support continued safe, reliable, and environmentally responsible transportation of products, Imperial is planning to construct and operate a new pipeline that will replace the transportation capabilities of the existing SPPL.

The Waterdown to Finch Project ("the Project") is the proposed installation of approximately 63 kilometres (km) of pipeline between the company's pump station in rural Hamilton (Waterdown Station) and its terminal storage facility in Toronto's North York area (Finch Terminal). To accommodate reliable supply of products throughout this process, the Project involves the construction of the new pipeline while the existing pipeline continues to operate. Once the new pipeline is successfully installed, the existing line will be safely deactivated in compliance with applicable regulations and the new pipeline will operate in its place.

The new pipeline will be constructed following the existing SPPL as closely as possible, in consideration of environmental and social constraints, and other infrastructure and land uses in the area. The proposed Project will include the construction of a new 12-inch diameter pipeline and associated infrastructure between Imperial's Waterdown Station and Finch Terminal. The existing pipeline is located within an existing 15 m Imperial right-of-way (ROW) for approximately 18.8 km and within a ROW managed by HydroOne Networks Inc. ("HONI") for approximately 43 km, from kilometre post (KP) 18.8 to 61.9 at the Finch Terminal. New easement or ROW will be required on a limited number of private lands and Imperial will be working directly with the affected landowners to obtain these agreements. New ROW will also be required within the HONI ROW, and Imperial is working with HONI and Infrastructure Ontario to secure the necessary agreements. Pipelines owned by other operators inside the ROW will continue to operate without disruption.

The new pipeline will be constructed using the following general methods:

- Open cut trench from Mississauga Road to the point labeled at "Credit River Tie-In" (Figure 40);
- At this point, tie into the recently installed pipe under the river and no additional installation until that new pipe comes back up near KP 33.2 on the other side of the river, where the pipeline then continues eastward;
- All areas within the yellow boxes below are planned to be cleared if they are not already, including all vegetation and trees; and
- There will be a site-specific reclamation plan developed for this site.

Of the 63 km long pipeline, 37 km will be trenched construction and 25 km will be trenchless construction to minimize disturbance to environmentally or socially sensitive features and other infrastructure and land uses. A portion of this work will traverse through 4415 Mississauga Road and the Credit River Corridor CHL within the existing HydroOne Networks Inc. corridor (Figure 41).



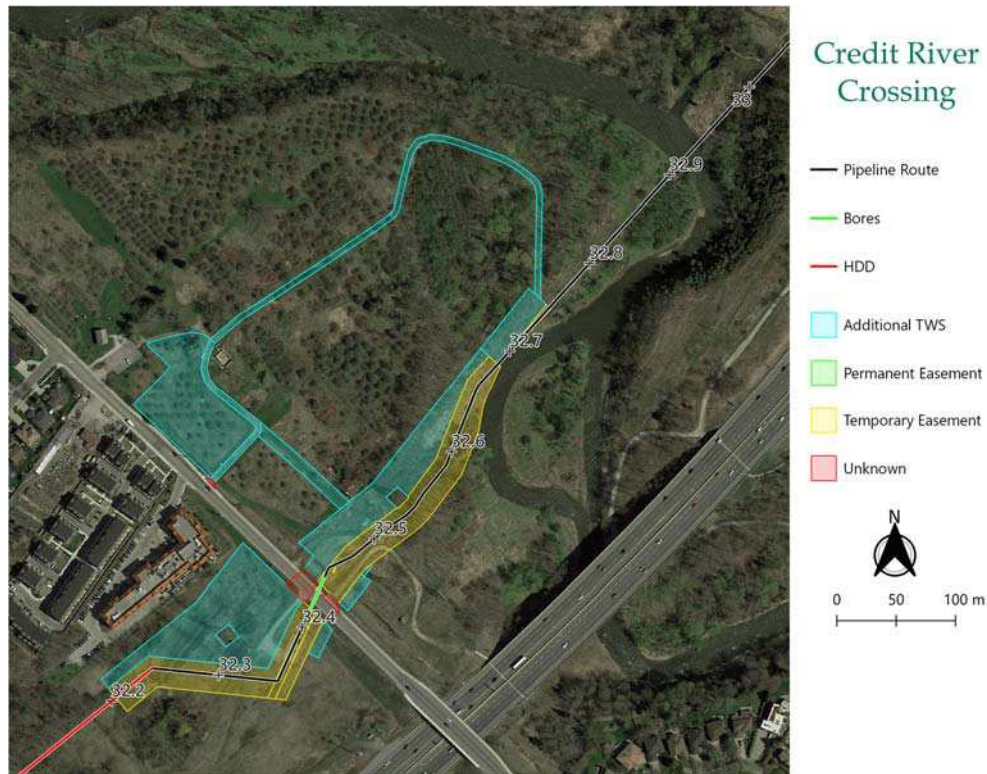


Figure 40: Credit River Existing Crossing (ERM 2019)

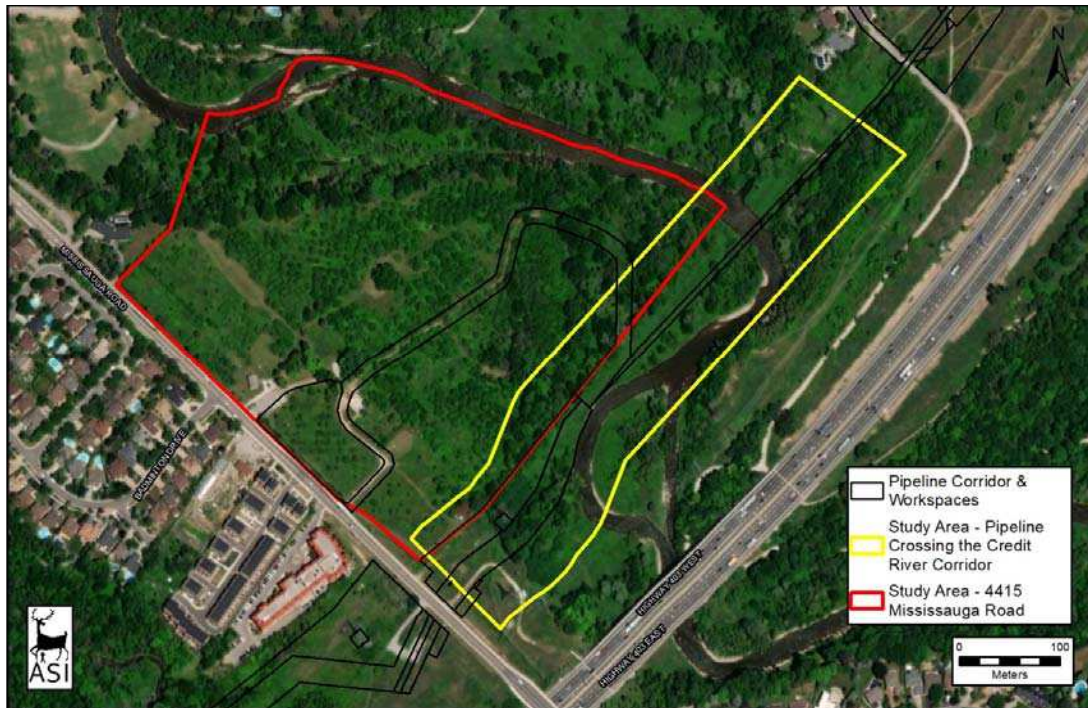


Figure 41: Proposed pipeline development (in black) overlaid on 4415 Mississauga Road and the adjacent Credit River (ERM 2019; ASI 2019)

5.2 Impact Assessment

To assess the potential impacts of the undertaking, the cultural heritage resource and identified cultural heritage attributes were considered against a range of possible impacts as outlined in the *Ontario Heritage Toolkit*, which include:

- Destruction of any, or part of any, significant heritage attributes or features
- Alteration that is not sympathetic, or is incompatible, with the historic fabric and appearance
- Shadows created that alter the appearance of a heritage attribute or change the viability of an associated natural feature or plantings, such as a garden
- Isolation of a heritage attribute from its surrounding environment, context or a significant relationship
- Direct or indirect obstruction of significant views or vistas within, from, or of built and natural features
- A change in land use (such as rezoning a church to a multi-unit residence) where the change in use negates the property's cultural heritage value
- Land disturbances such as a change in grade that alters soils, and drainage patterns that adversely affect a cultural heritage resource, including archaeological resources.

Several other factors outlined in the OEB Act 4.3.4 are also considered when evaluating potential impacts on identified cultural heritage resources, including self-assessment and demonstrating appropriate due diligence by:

- (a) recognizing cultural heritage resources that may be affected by pipeline development, identifying significant cultural heritage resources and understanding their cultural heritage value or interest;
- (b) assessing the effects or impacts that could result from proposed pipeline development; and
- (c) protecting cultural heritage resources by appropriate conservation, avoidance and mitigation.

The following chart from the OEB's Environmental Guidelines of the Location, Construction and Operation of Hydrocarbon Pipelines and Facilities in Ontario (Figure 42) provides brief description of situations in real property that may have cultural heritage value:



INDICATORS OF CULTURAL HERITAGE VALUE OR INTEREST	IDENTIF	POTENT
Property designated under Part IV of the Ontario Heritage Act	<input type="checkbox"/>	
A bridge on Ontario Heritage Bridge List	<input type="checkbox"/>	
Property within a Heritage Conservation District designated under Part V of the Ontario Heritage Act	<input type="checkbox"/>	
Property with a Ontario Heritage Trust or municipal heritage conservation easement	<input type="checkbox"/>	
Property with a provincial or federal plaque	<input type="checkbox"/>	
A National Historic Site	<input type="checkbox"/>	
Property containing a registered archaeological site	<input type="checkbox"/>	
Property with archaeological potential ¹		<input type="checkbox"/>
Property listed on a municipal heritage register or the provincial register		<input checked="" type="checkbox"/>
Property adjacent ² to an identified heritage property		<input checked="" type="checkbox"/>
Property that has buildings or structures over 40 years old		<input checked="" type="checkbox"/>
Property within a Canadian Heritage River watershed		<input type="checkbox"/>
Property associated with a renowned architect or builder		<input type="checkbox"/>
Property containing or adjacent to a burial site or cemetery		<input type="checkbox"/>
Parkland		<input type="checkbox"/>
Land with distinctive landforms or geographic features		<input type="checkbox"/>
Historic transportation corridors (such as navigational canals, rail lines or trails, traditional Métis portage routes etc.)		<input type="checkbox"/>
Sites of Indigenous cultural significance		<input type="checkbox"/>
Other human-made alterations to natural landscapes (such as earthworks, plantings, etc.)		<input type="checkbox"/>

Figure 42: Indicators of Cultural Heritage Value or Interest (Ontario Energy Board 2016)

Several additional factors are also considered when evaluating potential impacts on identified cultural heritage resources. These are outlined in a document set out by the Ministry of Culture and Communications (now Ministry of Tourism, Culture and Sport) and the Ministry of the Environment entitled *Guideline for Preparing the Cultural Heritage Resource Component of Environmental Assessments* (October 1992) and include:

- Magnitude: the amount of physical alteration or destruction which can be expected;
- Severity: the irreversibility or reversibility of an impact;
- Duration: the length of time an adverse impact persists;
- Frequency: the number of times an impact can be expected;
- Range: the spatial distribution, widespread or site specific, of an adverse impact; and
- Diversity: the number of different kinds of activities to affect a heritage resource.

Impacts beyond those identified within the *Ontario Heritage Toolkit* were also considered, including potential vibration impacts related to the construction of the proposed pipeline. Possible impacts are further discussed in Table 4.

Table 4: Impact Assessment – heritage resources at and adjacent to proposed pipeline including 4415 Mississauga Road and the Credit River Corridor

Impact	Analysis
Destruction, removal or relocation	The proposed pipeline at and adjacent to 4415 Mississauga Road is not anticipated to result in the destruction, removal, or relocation of any identified cultural heritage attributes of the subject properties.
Alteration	While the proposed pipeline at and adjacent to 4415 Mississauga Road is anticipated to alter the existing landscape along the south property line of 4415 Mississauga Road and within the Credit River Corridor, the alteration will be temporary, and it is not anticipated to alter any identified cultural heritage attributes.
Shadows	The proposed pipeline at and adjacent to 4415 Mississauga Road is not anticipated to result in any significant shadow impacts.
Isolation	The proposed pipeline at and adjacent to 4415 Mississauga Road is not anticipated to result in the isolation of any identified cultural heritage attributes.
Direct or indirect obstruction of significant views	No significant views within the subject property at and adjacent to 4415 Mississauga Road have been identified.
A change in land use	The proposed pipeline at and adjacent to 4415 Mississauga Road is not anticipated to result in a change of land use.
Soil disturbance	The construction of the proposed pipeline at and adjacent to 4415 Mississauga Road will result in soil disturbance along the south property line of 4415 Mississauga Road and within the Credit River Corridor. The proposed soil disturbance should not extend near any identified heritage attributes within the subject properties.
Vibration	The construction of the proposed pipeline at and adjacent to 4415 Mississauga Road are not anticipated to result vibration impacts to the subject property during construction.

The construction of the proposed pipeline will ensure that the identified heritage attributes of the subject property at 4415 Mississauga Road and the Credit River Corridor will be conserved. While soil disturbance is anticipated during construction, the soil disturbance is temporary and is not anticipated to result in permanent impacts to the cultural heritage value of the property. Anticipated impacts associated with construction activities (e.g., air, noise, vibration, dust) to the subject property will be



short-term, and with mitigation measures, any impacts on structures within the property can be avoided.

5.3 Mitigation Measures

To mitigate any unanticipated indirect impacts to the subject properties, construction and staging activities shall be suitably planned and executed to ensure that the identified heritage attributes of the subject property are avoided and protected. Tree avoidance mitigation, through the establishment of a tree protection zone, shall be implemented to protect mature trees near areas of construction and near areas where construction vehicles are coming in and out of the property and could impact mature trees. Suitable staging activities may include temporary barriers and construction shall occur only within the proposed linear footprint. On-site workers shall be notified of the cultural heritage significance of the subject property in advance of the starting construction. Plans for construction and staging activities may be finalized in consultation with a qualified heritage professional and any changes to the proposed work shall undergo review for potential impacts to the subject properties. All areas temporarily impacted by the proposed pipeline development shall be restored to their previous state upon project completion. A plan shall be prepared prior to construction to guide landscape protection and post construction restoration.

6.0 CONCLUSION AND RECOMMENDATIONS

The assessment of the property determined that the Leslie Log House, Pinchin Farm CHL, and the Credit River Corridor CHL will retain their cultural heritage value, and that the proposed pipeline development will not have significant direct impacts on the cultural heritage value of the property.

The following recommendations have been made based on the recognized heritage value of the identified cultural heritage resources:

1. Tree avoidance mitigation, through the establishment of a tree protection zone, shall be implemented to protect mature trees near areas of construction and near areas where construction vehicles are entering and departing the property and could impact mature trees.
2. Any landscape features identified as cultural heritage attributes temporarily impacted by the construction of the proposed pipeline development shall be returned to their previous state upon completion of the project.
3. In order to mitigate any indirect impacts to the subject properties, construction and staging activities shall be suitably planned and executed to ensure that the identified heritage attributes of the subject property are avoided and protected. Suitable staging activities may include temporary barriers and the establishment of no-go zones throughout construction. On-site workers shall be notified of the cultural heritage significance of the subject property in advance of the starting construction. Plans for construction and staging activities may be finalized in



consultation with a qualified heritage professional and any changes to the proposed work shall undergo review for potential impacts to the subject properties.



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