

# AGENDA

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## **HERITAGE ADVISORY COMMITTEE**

THE CORPORATION OF THE CITY OF MISSISSAUGA

**TUESDAY, JANUARY 21, 2014 – 9:00 A.M.**

**COUNCIL CHAMBER**

**SECOND FLOOR, CIVIC CENTRE**

300 CITY CENTRE DRIVE, MISSISSAUGA, ONTARIO, L5B 3C1

[www.mississauga.ca](http://www.mississauga.ca)

### Members

Councillor George Carlson, Ward 11 (CHAIR)

Councillor Jim Tovey, Ward 1 (VICE-CHAIR)

Robert Cutmore, Citizen Member

David Dodaro, Citizen Member

Mohammad N. Haque, Citizen Member

James Holmes, Citizen Member

Rick Mateljan, Citizen Member

Cameron McCuaig, Citizen Member

Deanna Natalizio, Citizen Member

Michael Spaziani, Citizen Member

Michelle Walmsley, Citizen Member

Matthew N. Wilkinson, Citizen Member

CONTACT PERSON: Julie Lavertu, Legislative Coordinator, Office of the City Clerk

Telephone Number: 905-615-3200, ext. 5471; Fax Number: 905-615-4181

Email Address: [Julie.Lavertu@mississauga.ca](mailto:Julie.Lavertu@mississauga.ca)

CALL TO ORDERDECLARATIONS OF DIRECT (OR INDIRECT) PECUNIARY INTERESTPRESENTATIONS/DEPUTATIONSMATTERS TO BE CONSIDERED1. Approval of Minutes of Previous Meeting

Minutes of the meeting held November 19, 2013.

RECOMMEND APPROVAL2. Request to Demolish a Structure within the Old Port Credit Village Heritage Conservation District, 43 John Street South, Ward 1

Corporate Report dated December 10, 2013 from the Commissioner of Community Services with respect to a request to demolish a structure within the Old Port Credit Village Heritage Conservation District located at 43 John Street South.

RECOMMENDATION

That the garage structure on the property located at 43 John Street South, which is Designated under Part V of the *Ontario Heritage Act* as part of the Old Port Credit Heritage Conservation District, be demolished as per the owner's request and be allowed to proceed through the applicable process.

RECOMMEND APPROVAL3. Request to Demolish a Heritage Listed Property, 1364 Glenburnie Road, Ward 1

Corporate Report dated November 25, 2013 from the Commissioner of Community Services with respect to a request to demolish a heritage listed property located at 1364 Glenburnie Road.

RECOMMENDATION

That the property at 1364 Glenburnie Road, which is listed on the City's Heritage Register, is not worthy of heritage designation, and consequently, that the owner's request to demolish the structure proceed through the applicable process.

RECOMMEND APPROVAL

4. Request to Demolish a Heritage Listed Property, 1293 Woodland Avenue, Ward 1

Corporate Report dated November 25, 2013 from the Commissioner of Community Services with respect to a request to demolish a heritage listed property located at 1293 Woodland Avenue.

RECOMMENDATION

That the property at 1293 Woodland Avenue, which is listed on the City's Heritage Register, is not worthy of heritage designation, and consequently, that the owner's request to demolish the structure proceed through the applicable process.

RECOMMEND APPROVAL5. Grand Duchess Olga Lived on Camilla Road, Ward 7

Email message dated November 29, 2013 from Barbara Johnstone, Executive Assistant to Councillor Nando Iannicca, Ward 7, with respect to correspondence from Meryl Fisher, Ward 7 resident, entitled "Grand Duchess Olga Lived on Camilla Road."

DIRECTION REQUIRED6. Status of Outstanding Issues Chart from the Heritage Advisory Committee

Chart dated January 21, 2014 from Julie Lavertu, Legislative Coordinator, Heritage Advisory Committee, with respect to the status of outstanding issues from the Heritage Advisory Committee.

RECOMMEND RECEIPTSUBCOMMITTEE UPDATES FROM CHAIRS7. Heritage Designation Subcommittee8. Meadowvale Village Heritage Conservation District Review Committee

8.1 Correspondence dated November 22, 2013 from James P. Holmes, Chair, and Mike Byrne, Vice-Chair, Meadowvale Village Community Association, with respect to the Meadowvale Village Heritage Conservation District Plan Review.

RECOMMEND RECEIPT9. Public Awareness SubcommitteeMONTHLY UPDATE MEMORANDUM FROM HERITAGE COORDINATORS

INFORMATION ITEMS

DATE OF NEXT MEETING – Tuesday, February 18, 2014 at 9 a.m., Council Chamber

OTHER BUSINESS

ADJOURNMENT

**IT IS RECOMMENDED THAT HERITAGE ADVISORY COMMITTEE MEMBERS  
VISIT THE PROPERTIES LISTED ON THE AGENDA PRIOR TO THE MEETING.**





# MINUTES

## HERITAGE ADVISORY COMMITTEE

THE CORPORATION OF THE CITY OF MISSISSAUGA

**TUESDAY, NOVEMBER 19, 2013 – 9:30 A.M.**

**COUNCIL CHAMBER**

**SECOND FLOOR, CIVIC CENTRE**

300 CITY CENTRE DRIVE, MISSISSAUGA, ONTARIO, L5B 3C1

[www.mississauga.ca](http://www.mississauga.ca)

### MEMBERS PRESENT:

Councillor George Carlson, Ward 11 (CHAIR)  
 Councillor Jim Tovey, Ward 1 (VICE-CHAIR)  
 Robert Cutmore, Citizen Member  
 David Dodaro, Citizen Member  
 James Holmes, Citizen Member  
 Rick Mateljan, Citizen Member  
 Cameron McCuaig, Citizen Member  
 Michelle Walmsley, Citizen Member  
 Matthew N. Wilkinson, Citizen Member

### MEMBERS ABSENT:

Mohammad N. Haque, Citizen Member  
 Deanna Natalizio, Citizen Member  
 Michael Spaziani, Citizen Member

### STAFF PRESENT:

Elaine Eigl, Heritage Coordinator  
 Julie Lavertu, Legislative Coordinator  
 Gavin Longmuir, Manager, Forestry  
 Laura Waldie, Heritage Coordinator  
 Andrew Whittemore, Manager, Culture and Heritage Planning

CONTACT PERSON: Julie Lavertu, Legislative Coordinator

Office of the City Clerk, Telephone: 905-615-3200, ext. 5471; Fax 905-615-4181

[Julie.Lavertu@mississauga.ca](mailto:Julie.Lavertu@mississauga.ca)

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CALL TO ORDER – 9:32 a.m.DECLARATIONS OF DIRECT (OR INDIRECT) PECUNIARY INTEREST – NilPRESENTATIONS/DEPUTATIONS – NilMATTERS CONSIDERED1. Approval of Minutes of Previous Meeting

Minutes of the meeting held October 22, 2013.

Approved (Councillor J. Tovey)

2. Heritage Tree Subcommittee

Corporate Report dated November 1, 2013 from the Commissioner of Community Services with respect to the Heritage Tree Subcommittee.

Ms. Walmsley requested clarification on the possible role of Citizen Members during Arbor Week and discussed the loss of trees in the Mineola West Cultural Landscape, arborist report requirements for property owners in Cultural Landscapes, whether Urban Forestry staff could better monitor the loss of trees and overall canopy in Cultural Landscapes via arborist reports, and the City's tree-related by-laws and processes.

Mr. Longmuir discussed the City's various tree-related initiatives, such as Arbor Week and the One Million Trees Mississauga Program, and related volunteering opportunities and suggested that those interested visit Urban Forestry's web page for more information. He spoke about the monitoring of removed trees and the overall canopy, arborist report requirements, and the City's tree-related by-laws vis-à-vis the removal of trees and said that Urban Forestry staff could discuss a process to monitor the loss of trees and canopy in Cultural Landscapes via arborist reports with the Heritage Designation Subcommittee.

In response to Mr. Cutmore, Mr. Dodaro discussed the recommendation for the designation of heritage trees under the *Ontario Heritage Act* to be addressed via the Heritage Designation Subcommittee as well as the Subcommittee's membership and role.

The Chair said that property owners in Cultural Landscapes and Heritage Conservation Districts and property owners of heritage designated properties can currently remove up to two trees without a permit or notifying anyone at the City. He added that the Committee would need to pass a recommendation for Council's consideration on this matter if they believed that this is a loophole. Mr. Longmuir concurred with the Chair, noting that these matters are not in the purview of the Private Tree Protection By-Law so the by-law would need to be amended to capture these matters.

Recommendation

HAC-0105-2013

1. That the mandate of the Heritage Tree Subcommittee to investigate the feasibility of a Heritage Tree Program has been fulfilled and therefore the Subcommittee can be dissolved; and
2. That the designation of Heritage Trees under the Ontario Heritage Act be addressed through the Heritage Designation Subcommittee.

Approved (J. Holmes)3. Request to Demolish a Heritage Listed Property, 4067 Mississauga Road, Ward 8

Corporate Report dated October 18, 2013 from the Commissioner of Community Services with respect to a request to demolish a heritage listed property located at 4067 Mississauga Road.

Mr. Wilkinson requested clarification regarding the number of lots being proposed on the property and whether the houses will both face Mississauga Road or the street behind the properties, noting that this is a tight corner along Mississauga Road. Ms. Waldie said that the property will be subdivided into two lots, that the houses will likely face the street behind the properties, and that latter issue will be addressed via the Site Plan process.

Recommendation

HAC-0106-2013

That the property at 4067 Mississauga Road, which is listed on the City's Heritage Register, is not worthy of heritage designation, and consequently, that the owner's request to demolish the structure proceed through the applicable process.

Approved (M. Wilkinson)4. Heritage Impact Statement, 1370 Milton Avenue, Ward 1

Memorandum dated October 18, 2013 from Laura Waldie, Heritage Coordinator, with respect to the Heritage Impact Statement for the property located at 1370 Milton Avenue.

Mr. Mateljan requested clarification on the criteria used by Heritage staff to request a Heritage Impact Statement (HIS) from the property owner, noting that this is the first time that he had seen an HIS for this type of project. Ms. Waldie clarified that Heritage staff did not request an HIS for this second floor addition, but that the property owners wanted to chronicle their property's history so they hired Gillespie Heritage Consulting to write an HIS which is now being brought forward to the Committee for receipt only.

Recommendation

HAC-0107-2013

That the Memorandum dated October 18, 2013 from Laura Waldie, Heritage Coordinator, entitled "Heritage Impact Statement, 1370 Milton Avenue (Ward 1)," be received.

Received (R. Mateljan)

5. Municipal Water Servicing within the Willow Lane Right-of-Way, Ward 11

Memorandum dated November 4, 2013 from Elaine Eigl, Heritage Coordinator, with respect to municipal water servicing within the Willow Lane right-of-way.

Mr. Holmes said that the Meadowvale Village Heritage Conservation District (MVHCD) Review Committee had no concerns regarding this matter, as there would be no visual impacts to the laneway or to nearby houses as a result of the work undertaken by the Region of Peel. The Chair said that this matter was long overdue and will benefit Willow Lane residents and Meadowvale Village overall. In response to Mr. Wilkinson, Ms. Eigl briefly explained the Region's trenchless methods for installing the watermain.

Recommendation

HAC-0108-2013

That the Memorandum dated November 4, 2013 from Elaine Eigl, Heritage Coordinator, entitled "Municipal Water Servicing within the Willow Lane Right-of-Way (Ward 11)," be received.

Received (J. Holmes)

6. 2013 Cultural Heritage Program Award of Excellence Expenditure

Memorandum dated November 5, 2013 from Elaine Eigl, Heritage Coordinator, with respect to 2013 Cultural Heritage Program Award of Excellence expenditure.

In response to the Chair, Ms. Lavertu briefly discussed the Memorandum and said that the estimated \$70 expenditure is being brought to the Committee for their information, as the cost will be incurred by the Committee's 2013 budget. She added that Item 7 deals with the Committee's overall 2013 budget in detail by expenditure type.

Recommendation

HAC-0109-2013

That the Memorandum dated November 5, 2013 from Elaine Eigl, Heritage Coordinator, entitled "2013 Cultural Heritage Program Award of Excellence Expenditure," be received.

Received (Councillor J. Tovey)

7. Heritage Advisory Committee's Budget and Spending History

Memorandum dated November 12, 2013 from Julie Lavertu, Legislative Coordinator, Heritage Advisory Committee, with respect to the Heritage Advisory Committee's budget and spending history.

Ms. Lavertu briefly discussed the Memorandum, noting that it responds to a previous recommendation that was made by the Committee in April 2011 and is being provided to

the Committee at this time because the City Committees of Council Structure Review has been largely completed at this time. She added that City Council approved changes to Committee budgets as part of the above-noted Review in April 2013 (specifically, a single operating budget account that supports all typical annual expenditures for Committees of Council, including a policy outlining approved expenditures) and directed that these changes be implemented for the next term of Council (2015-2018).

#### Recommendation

HAC-0110-2013

That the Memorandum dated November 12, 2013 from Julie Lavertu, Legislative Coordinator, Heritage Advisory Committee, entitled "Heritage Advisory Committee's Budget and Spending History, Clerk's File Number: MG.07," be received.

Received (C. McCuaig)

#### 8. Status of Outstanding Issues Chart from the Heritage Advisory Committee

Chart dated November 19, 2013 from Julie Lavertu, Legislative Coordinator, Heritage Advisory Committee, with respect to the status of outstanding issues from the Heritage Advisory Committee.

Clarkson General Store, 1130-1132 Clarkson Road North, and William Clarkson House, 1140 Clarkson Road North, Ward 2

Mr. Dodaro discussed the above-noted properties and requested clarification from Heritage staff regarding the three properties and their heritage status. He discussed the properties and their current condition, a recent fire in one of the properties, and referred to two photographs of the properties that he recently took which were projected on the screen by Ms. Lavertu for the Committee's information. Mr. Dodaro noted that work is currently going on at the properties, including reframing work, and suggested that the City issue a stop work order, as this work is taking place without the appropriate permits.

Mr. Whittemore said that Heritage staff followed up with Legal Services staff who confirmed that the ownership of the properties has not been determined. He added that Heritage staff will advise appropriate staff regarding the work that is now going on at the properties and seek clarity respecting the possibility of staff issuing a stop work order.

Ms. Waldie discussed the three properties, their addresses, and their heritage statuses. She spoke about the status of the court case regarding the ownership of the properties and said that the City's Property Standards Order (PSO) had been appealed and that she had consulted Planning and Building Department and By-Law Enforcement staff regarding the properties and their various issues. Ms. Waldie said that the fire in one of the properties occurred in late August and news reports said that there was minimal damage.

The Chair and Vice-Chair discussed the properties and their heritage and financial value, ownership, and property tax status, the importance of discussing the status of the properties and next steps with Councillor Pat Mullin, Ward 2, the properties and related PSO vis-à-vis the City's new and old Property Standards By-Laws, and the possibility of

reviewing the PSO regarding the properties during the Committee's next meeting.

Committee members discussed the properties, the possibility of the Heritage Designation Subcommittee discussing the properties with Councillor Mullin and Heritage staff and/or assisting staff with any tasks related to the properties, the importance of Heritage staff keeping Committee members aware of any developments regarding the properties, the disputed property owners, a recent fire in one of the properties vis-à-vis the current work being done, the importance of ensuring that the properties are adequately protected and preserved unlike other heritage properties (e.g., the Dowling House), the City's new Property Standards By-Law vis-à-vis the properties, the possibility of the City fixing up the properties and billing the property owners for related costs, and the possibility of Heritage staff bringing this matter to the Mayor and/or Council for immediate resolution.

Mr. Whittemore said that Heritage staff would follow up with Councillor Mullin so that she is aware of the current status of the properties and that he would raise this issue with the management of affected departments so that they are aware of the seriousness of this matter and the Committee's concerns. He added that this is a complex file due to the disputed ownership and various regulatory by-laws, that Heritage staff would consult with Legal Services staff regarding the possibility of levying fines or penalties on the property owners, and that Heritage staff would email any updates to the Committee.

#### Recommendation

HAC-0111-2013

That the chart dated November 19, 2013 from Julie Lavertu, Legislative Coordinator, Heritage Advisory Committee, with respect to the status of outstanding issues from the Heritage Advisory Committee, be received.

Received (M. Wilkinson)

#### SUBCOMMITTEE UPDATES FROM CHAIRS

9. Heritage Designation Subcommittee – Nil
10. Heritage Tree Subcommittee – Nil
11. Meadowvale Village Heritage Conservation District Review Committee – Nil
12. Public Awareness Subcommittee – Nil

The Chair noted that the above-noted heading for the Heritage Tree Subcommittee would be removed from future agendas due to its dissolution during today's Committee meeting (please see Item 2 on pages 1-2 of the minutes for more information regarding this issue).

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## INFORMATION ITEMS

### 13. 2014 Volunteer Service Awards Program

Correspondence dated November 2013 from the Honourable Michael Coteau, Minister of Citizenship and Immigration, with respect to the 2014 Volunteer Service Awards Program.

#### Recommendation

HAC-0112-2013

That the correspondence dated November 2013 from the Honourable Michael Coteau, Minister of Citizenship and Immigration, with respect to the 2014 Volunteer Service Awards Program, be received.

Received (R. Cutmore)

DATE OF NEXT MEETING – Tuesday, January 21, 2014 at 9 a.m., Council Chamber

## OTHER BUSINESS

### 2014 Heritage Work Plan Suggestions

Mr. McCuaig said that he had discussions with Heritage staff during the past few months regarding the 2014 work plan and wanted to share these dealings with the Committee. He said that he raised three issues: (1) developing a documented 2014 heritage strategic plan, including a communications plan, for heritage and cultural landscape designations; (2) conducting heritage market research to help direct the Committee and the heritage strategic plan; and (3) reviewing the culture on the map website's traffic and feedback and pursuing enhancements. Mr. McCuaig said that Heritage staff advised him that the three issues will not be pursued in 2014 due to other priorities and that he wanted to make the Committee aware of these discussions in case there was interest in making this an agenda item in January 2013 or having an off-site meeting to discuss them further.

Mr. Whittemore thanked Mr. McCuaig for his email message to Heritage staff regarding the above-noted matter and his interest in heritage at the City. He noted that the heritage strategic plan is being targeted for late 2014 or 2015, as Paula Wubbenhorst, Senior Heritage Coordinator, will be returning from maternity leave in mid-2014 and be actively involved in developing and implementing this plan, and that the Committee will be consulted on this matter in 2014. Mr. Whittemore discussed the City's heritage processes, systems, and plans, the need to adopt a more proactive and efficient approach for the Committee's decision-making in Cultural Landscapes in the near future, current priorities (e.g., completing the MVHCD Plan Review), and the workload of Heritage staff which is largely driven by dealing with incoming applications as per the *Ontario Heritage Act*.

Committee members discussed the possibility of the Committee or the Public Awareness Subcommittee assisting Heritage staff and/or contributing to the heritage strategic plan,

the value of heritage market research for the Public Awareness Subcommittee, the importance of staff working with Citizen Members on public awareness and other subcommittee-related initiatives and ideas, the possibility of the Public Awareness Subcommittee resurrecting "The Bridge" newsletter to increase awareness of heritage designations and other heritage-related issues, the value of having an off-site meeting in early 2014 to discuss all or some of the issues identified by Mr. McCuaig, and the timelines for drafting a heritage strategic plan and related advantages and disadvantages.

The Chair said that the MVHCD Plan Review has taken a lot of Heritage staff time and is coming to an end. He discussed the roles of Heritage staff and the Committee, upcoming changes to decision-making processes via the Plan Review, and the dissolution of the MVHCD Review Committee and related impacts on the Committee and the application process, adding that the new process will likely lighten the workload of Heritage staff. The Chair added that proactive heritage initiatives are more likely when the Heritage staffing situation stabilizes and Ms. Wubbenhorst returns from maternity leave.

Mr. Holmes discussed the Plan Review, the proposed process for applications and related guidelines in the MVHCD, and the need to keep residents informed of applications and developments with the dissolution of the Review Committee in the near future. He also thanked contract Heritage staff for their work and responsiveness on the Plan Review.

The Chair complimented Mr. Whitemore for his leadership and the work of Mr. Holmes and Heritage staff on the Plan Review. He suggested that the Committee could have a Saturday morning meeting in early 2014 to discuss enhancing the culture on the map website and possible public relations, marketing, and outreach opportunities in the future.

#### "The Credits": Heritage Mississauga Awards

Mr. Wilkinson reminded the Committee that the above-noted event was taking place on Thursday, November 21, 2013 at the Mississauga Grand Banquet and Convention Centre.

#### Transfer of Microfilm Land Registry Records to Thunder Bay, Ontario

Mr. Wilkinson discussed the recent transfer of microfilm land registry records from the Peel Art Gallery, Museum + Archives (PAMA) to the ServiceOntario office in Thunder Bay, Ontario and associated impacts on citizens, researchers, the Committee, and others. He said that he would be visiting PAMA in the near future and would update the Committee via email regarding the types of records that are still available at PAMA. Ms. Waldie said that her Heritage Planning colleagues in London, Ontario had waited as long as eight weeks to obtain records. In response to the Chair and Ms. Waldie, Mr. Wilkinson discussed the records available at PAMA and the Mississauga Central Library. The Chair asked if realtors are aware of this change, as it could affect the closing dates of properties.

ADJOURNMENT – 10:40 a.m. (C. McCuaig)





# Corporate Report

Clerk's Files

Originator's  
Files

Heritage Advisory Committee

**January 21 2014**

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**DATE:** December 10, 2013

**TO:** Chair and Members of the Heritage Advisory Committee  
Meeting Date: January 21, 2014

**FROM:** Paul A. Mitcham, P.Eng, MBA  
Commissioner of Community Service

**SUBJECT:** **Request to Demolish a Structure within the Old Port Credit  
Village Heritage Conservation District  
43 John Street South  
(Ward 1)**

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**RECOMMENDATION:** That the garage structure on the property located at 43 John Street South, which is Designated under Part V of the *Ontario Heritage Act* as part of the Old Port Credit Village Heritage Conservation District, be demolished as per the owner's request and be allowed to proceed through the applicable process.

**BACKGROUND:** The subject property was Designated in 2004 as part of the Old Port Credit Village Heritage Conservation District (HCD) under Bylaw 272-2004. The dwelling on this property was constructed in 1952 and is considered a "complimentary building" within the HCD, meaning its size, shape and form compliment the overall look and feel of the HCDs heritage defining attributes. The garage on the property was built much later and although its size, shape and form are complimentary to the property, its removal would not be affecting the overall heritage character of the HCD.

**COMMENTS:** Section 42. (1) 2 of the *Ontario Heritage Act* states that no owner of a property located within a heritage conservation district shall erect, demolish or remove any building or structure on the property without

a heritage permit. The Old Port Credit HCD Plan also states that any structure on a property, whether it is the main dwelling or an outbuilding, requires a heritage property permit to be demolished. Currently, the property owner has no plans to rebuild the garage. However, the property owner must contact the City's Planning and Building Department for approvals required to meet set back and lot coverage requirements for a new garage when the time comes. The addition of a new garage will also require a heritage property permit as per the Old Port Credit HCD Plan.

The applicant has provided photos of the current condition of the garage attached as Appendix 1. Heritage staff has reviewed the photographs and conclude that although the size, shape and form of the current structure compliments the property, it does not add to the heritage character of the HCD. Heritage Planning staff, therefore, recommend demolition of the structure.

**FINANCIAL IMPACT:** There is no financial impact.

**CONCLUSION:** The owner of 43 John Street South has requested permission to demolish a structure on a property that is Designated within the Old Port Credit Village HCD. The owner is citing the poor condition of the garage in the reason for removal. Therefore, Heritage Planning staff recommend the owner's request for demolition be recommended for approval.

**ATTACHMENTS:** Appendix 1: Photos of garage



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Paul A. Mitcham, P. Eng, MBA  
Commissioner of Community Service

*Prepared By: Laura Waldie, Heritage Coordinator*



**APPENDIX 1**



















# Corporate Report

Clerk's Files

Originator's  
Files

Heritage Advisory Committee

**January 21 2014**

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**DATE:** November 25, 2013

**TO:** Chair and Members of the Heritage Advisory Committee  
Meeting Date: January 21, 2014

**FROM:** Paul A. Mitcham, P.Eng, MBA  
Commissioner of Community Service

**SUBJECT:** **Request to Demolish a Heritage Listed Property**  
**1364 Glenburnie Road (Ward 1)**

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**RECOMMENDATION:** That the property at 1364 Glenburnie Road, which is listed on the City's Heritage Register, is not worthy of heritage designation, and consequently, that the owner's request to demolish the structure proceed through the applicable process.

**BACKGROUND:** The subject property was Listed on the City's Heritage Register in 2005 as part of the Mineola West Neighbourhood Cultural Landscape, noted for its historical origins as one of Mississauga's first planned subdivisions as well as its natural heritage and rolling topography.

The original Crown Grant for this property was granted to farmer James Jennings in 1881 for \$425. This Land Grant was one of the few parcels of land not awarded to the Cotton family in 1837. The property eventually passed down to James and Mildred Whitehead, who constructed the home in 1944. Since the early 1990s, the front façade has altered greatly from its original design. Window openings were added to give the front façade a Cape Cod appearance. A sunroom was added at the back, as well as a dormer to add light.

**COMMENTS:**

Section 27.3 of the *Ontario Heritage Act* states that structures or buildings on property listed on the City's Heritage Register cannot be removed or demolished without at least 60 days notice to Council. This legislation allows time for Council to review the property's cultural heritage value to determine if the property merits designation. The applicant has provided a Heritage Impact Statement, including an arborist's report, compiled by Gren Weis Architect. (Appendix 1). It is the consultant's conclusion that the house at 1364 Glenburnie Road is not worthy of heritage designation under Regulation 9/06 of the Ontario Heritage Act. Heritage staff has reviewed the findings of the Heritage Impact Statement and concurs with this opinion.

The property owner has submitted a Site Plan application SPI 13/018, for the purpose of removing an existing single detached dwelling and replacing it with new construction of a single detached dwelling. Pursuant to Section 27.5 of the Ontario Heritage Act, the proposed new build design with a post-modern, Arts and Crafts influence, blends well into the existing natural landscape which is keeping with the character of the overall building stock in the neighbourhood. The cultural heritage attributes of Mineola West's open green space and soft shoulders are being retained and the natural rolling topography and landscaping are being minimally impacted through the Site Plan process.

**FINANCIAL IMPACT:** There is no financial impact.

**CONCLUSION:** The owner of 1364 Glenburnie Road has requested permission to demolish a structure on a property that is listed within a Cultural Landscape on the City's Heritage Register. The subject property is not worthy of designation and the request for demolition should, therefore, be recommended for approval.

**ATTACHMENTS:** Appendix 1: Heritage Impact Statement from CHC Ltd.



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Paul A. Mitcham, P.Eng, MBA  
Commissioner of Community Service

*Prepared By: Laura Waldie, Heritage Coordinator*





# Corporate Report

Clerk's Files

Originator's  
Files

Heritage Advisory Committee

**January 21 2014**

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**DATE:** November 25, 2013

**TO:** Chair and Members of the Heritage Advisory Committee  
Meeting Date: January 21, 2014

**FROM:** Paul A. Mitcham, P.Eng, MBA  
Commissioner of Community Service

**SUBJECT:** **Request to Demolish a Heritage Listed Property**  
**1293 Woodland Avenue (Ward 1)**

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**RECOMMENDATION:** That the property at 1293 Woodland Avenue, which is listed on the City's Heritage Register, is not worthy of heritage designation, and consequently, that the owner's request to demolish the structure proceed through the applicable process.

**BACKGROUND:** The subject property was Listed on the City's Heritage Register in 2005 as part of the Mineola West Neighbourhood Cultural Landscape, noted for its historical origins as one of Mississauga's first planned subdivisions and its natural landscape heritage.

The original Crown Grant for this property was awarded to Robert Cotton, an Irish immigrant, in 1837. This Land Grant comprised all the properties now found within the Mineola West Neighbourhood Cultural Landscape. Cotton had a general store in Port Credit, shipped wholesale goods to Toronto and was Post Master General in the southern section of Toronto Township. The subject property eventually transferred to subsequent generations of the Cotton family until a Plan of Subdivision was registered of Mineola West in 1943 when the last generation of Cottons sold their properties. Since the early turn of the twentieth century, this land has been subdivided several times. The current structure on the subject property was

constructed in approximately 1955 by Kermit and Maude Allard. It is a modest one storey ranch style house, which was a common architectural design found in Canada from 1955-1975. The structure itself has undergone many alterations over the years including the addition of stone veneer facing and an attached garage.

**COMMENTS:**

Section 27.3 of the *Ontario Heritage Act* states that structures or buildings on property listed on the City's Heritage Register cannot be removed or demolished without at least 60 days notice to Council. This legislation allows time for Council to review the property's cultural heritage value to determine if the property merits designation. The applicant has provided a Heritage Impact Statement compiled by David Small Designs. (Appendix 1). It is the consultant's conclusion that the house at 1293 Woodland Avenue is not worthy of heritage designation under Regulation 9/06 of the Ontario Heritage Act. Heritage staff has reviewed these findings of the Heritage Impact Statement and concurs with this opinion. In addition, an Arborist's Report was also submitted for this property (Appendix 2).

The property owner has submitted a Site Plan application SPI 13/018, for the purpose of removing an existing single detached dwelling and replacing it with new construction of a single detached dwelling. Pursuant to Section 27.5 of the Ontario Heritage Act, the plans listed in the Heritage Impact Statement outline a post-modernist designed home, which is keeping with the character of the overall building stock in the neighbourhood. The cultural heritage attributes of Mineola West's open green space and soft shoulders are being retained and the natural rolling topography and landscaping are being minimally impacted through the Site Plan process.

**FINANCIAL IMPACT:** There is no financial impact.

**CONCLUSION:**

The owner of 1293 Woodland Avenue has requested permission to demolish a structure on a property that is listed within a Cultural Landscape on the City's Heritage Register. The subject property is not worthy of designation and the request for demolition should, therefore, be recommended for approval.

**ATTACHMENTS:**

Appendix 1: Heritage Impact Statement from CHC Ltd.

Appendix 2: Arborist's Report by Welwyn Consulting



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Paul A. Mitcham, P.Eng, MBA

Commissioner of Community Service

*Prepared By: Laura Waldie, Heritage Coordinator*

January 21 2014

**Julie Lavertu**

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**From:** Barbara Johnstone  
**Sent:** 2013/11/29 1:13 PM  
**To:** Julie Lavertu  
**Cc:** George Carlson  
**Subject:** Heritage Advisory Committee - Agenda Item (Grand Duchess Olga)

Good Afternoon Julie,

Councillor Iannicca is in receipt of the attached request from Mrs. Meryl Fisher, a respected, long-time Cooksville resident.

Councillor Iannicca respectfully requests this item to be placed on the first available Heritage Advisory Committee agenda. With thanks.

Regards,

Barbara

Barbara Johnstone  
Executive Assistant, Ward 7  
City of Mississauga  
300 City Centre Drive  
Mississauga, ON  
L5B 3C1

phone: 905-615-4614

email: [barbara.johnstone@mississauga.ca](mailto:barbara.johnstone@mississauga.ca)



*"This e-mail may not be forwarded to anyone for any reason without express written permission of the author."*

### Grand Duchess Olga Lived on Camilla Road

The property at 2130 Camilla Rd, has been recently sold and probably will be renovated (rightfully so). I had hoped that the city of Mississauga or that the Historical Society would put a sign on the property (not on the house) to denote that Grand Duchess Olga Alexandrovna (once a Russian princess) lived the last 8 years of her life there.

A courageous woman whose brother (the last Tsar of Russia) and his family were shot by revolutionaries in 1917, she served as a nurse in the first World War. She married a commoner, an army officer, and escaped to the Crimea where they lived until the threat of revolutionaries forced them to escape to Denmark where her mother, the Dowager Empress lived. After her mother died they lived in an ordinary way on a farm near the village of Ballerup, until the Danish government suggested they leave as the Russian government was becoming threatening. Her sister lived in England but they chose to come to Canada. Fred and I visited Ballerup Museum in Denmark and there was a picture of 2130 Camilla as well as many of her paintings.

Around Cooksville she was frequently seen in her rubber boots at the bank, walking in Hancock woods and painting along Cooksville Creek. Colonel Rattray encouraged her to paint on his property, and bought her paintings. English royalty visited her on Camilla - Duchess of Kent in 1954 and Louis Mountbatten in 1959. Queen Elizabeth had her for lunch on the Royal Yacht. Stories circulated about getting her dressed up for these occasions. During her time in this home her maid, who had walked across Europe with her jewels in the hem of her dress, to Denmark died after Olga had nursed her. Her beloved husband also died here. Olga died in 1960 in a friends' apartment over a store in New Toronto.

I just wanted my neighbours to know something about this house. More information can be found at the library and / at [wikipedia.org/wiki/Grand\\_Duchess\\_Olga\\_Alexandrovna\\_of\\_Russia](http://wikipedia.org/wiki/Grand_Duchess_Olga_Alexandrovna_of_Russia).

Meryl

**STATUS OF OUTSTANDING ISSUES FROM THE HERITAGE ADVISORY COMMITTEE**  
**Prepared by Julie Lavertu, Legislative Coordinator, for the January 21, 2014 Heritage Advisory Committee Agenda**

<b>Property Name, Address or Issue</b>	<b>Property Address</b>	<b>HAC Recommendation (if passed)</b>	<b>Latest Status</b>
N/A	3650 Eglinton Avenue West	HAC-0087-2013	That the request to demolish the heritage listed property located at 3650 Eglinton Avenue West be deferred until the property owners and/or his agents submit a detailed Site Plan to Heritage staff for consideration at a future Heritage Advisory Committee meeting.
<b>Clarkson General Store and William Clarkson House</b>	1130-1132 Clarkson Road North and 1140 Clarkson Road North, respectively	HAC-0103-2013	That Heritage staff prepare a Cultural Heritage Assessment to designate the Clarkson General Store and William Clarkson House properties located at 1130-1132 and 1140 Clarkson Road North, respectively, for consideration at a future Heritage Advisory Committee meeting once the ownership of the properties has been determined by the judicial system.
<b>2014 Heritage Work Plan Suggestions and Possible Off-Site Meeting</b>	N/A	N/A	The Chair complimented Mr. Whittemore for his leadership and the work of Mr. Holmes and Heritage staff on the Meadowvale Village Heritage Conservation District Plan Review. He suggested that the Committee could have a Saturday morning meeting in early 2014 to discuss enhancing the culture on the map website and possible public relations, marketing, and outreach opportunities in the future.

January 21 2014

**Julie Lavertu**

**From:** Jim & Pat Holmes  
**Sent:** 2013/11/22 3:24 PM  
**To:** Andrew Whittemore; George Carlson; Mark Warrack; Laura Waldie; Elaine Eigl; Julie Lavertu  
**Subject:** Meadowvale Village HCD Plan Review

A signed copy of this letter has been faxed to Andrew Whittemore



## *Meadowvale Village Community Association*

1045 Old Derry Road  
 Meadowvale Village, ON L5W 1A1

Phone 905 564-0076  
 FAX 905 795-

0835

November 22, 2013.

City of Mississauga Culture Division  
 201 city Centre Drive,  
 Mississauga, ON L5B 2T4

Att'n: Mr. Andrew Whittemore, Manager of Cultural Planning

Dear Andrew

Re: MVHCD Plan Review

Residents wish to express their appreciation to the City for its ongoing support in protecting Ontario's first Heritage Conservation District, and for having had the opportunity to participate in the Plan Review process.

With increased pressure to demolish some of the smaller, less significant homes and replace them with larger more elaborate buildings, it is critical that the Guidelines be strengthened to preserve the unique character of Meadowvale Village. The concept of separating substantive and non-substantive alterations is an excellent method for streamlining the approval process.

After consideration, residents have expressed concern over the proposal to entirely eliminate the Heritage Review Committee which was the safeguard set up in the original Conservation District Plan. Being left out of the loop until the final stages of the approval process will leave residents in a very weak position. The MVCA Executive met November 22, 2013 and strongly recommends that three or four residents living in the district be appointed to represent Villagers to work with heritage staff in lock-step for input comments on substantive alterations particularly when compromise is required. City staff is understandably in constant

change and having members of the MVCA included in the process could ensure that Meadowvale's unique character does not get compromised at some time in the future.

This matter requires further discussion.

Yours truly,  
Meadowvale Village Community Association

Jas.P Holmes, Chair  
cc Councillor Carlson  
Mississauga HAC  
Village Residents

Mike Byrne, Vice-Chair

*To Preserve the Quality of Life*



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# G R E N W E I S   A R C H I T E C T

A N D   A S S O C I A T E S

Item 3, Appendix 1

Heritage Advisory Committee

Agenda – January 21, 2014

Heritage Advisory Committee

**January 21 2014**

## Heritage Impact Statement

1364 Glenburnie Road

Mississauga, ON, L5G 3C8

October 22, 2013

**AUTHOR QUALIFICATIONS**

Gren Weis Architect and Associates is a 16 person award winning practice of talented architects and designers in Oakville, Ontario. The firm has earned a high profile for its personalized service and residential excellence, and is equally proud of its extensive project diversity. Since inception in 1992 GWA has specialized in single-family residential projects and larger scaled projects that require a creative passionate approach, thoughtful planning, and engaging design. The firm has built an extensive portfolio of homes, cottages, private schools, multi-residential condominiums, and boutique commercial projects throughout southern Ontario. Renovations and heritage conservation work are substantial areas of strength and expertise. Projects are followed from the conceptual design stage through to completion to ensure quality and attention to the finer detail.

Gren Weis, principal of Gren Weis Architect & Associates, received his honorary fellowship to the College of Fellows of the Royal Architectural Institute of Canada in 2009. Terry Martino & Geoffrey Roche are associate licensed architects having both worked with the firm for over 18 years. Together they have decades of experience in heritage renovation, with submissions before heritage committees throughout Ontario. They are well versed in heritage conservation and the architectural vernacular within the province.

GWA has completed dozens of residential homes in the Site Plan residential zones of Mississauga. They have received awards for sensitive infill housing and heritage restoration from the Town of Oakville & City of Burlington.

Report prepared by:

---

Geoffrey Roche  
B. Arch., OAA

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## SECTION 1 | OVERVIEW

This report has been prepared for the proposed demolition and re-development of the property at 1364 Glenburnie Road, Mississauga, ON. The property was acquired in October 2005 [REDACTED]

The owners' intent is to demolish the existing 1 ½ storey dwelling, with adjacent garage and replace it with a larger two-storey residence with built-in garage. The redeveloped property will become the new home for the owners and family. The property is located on the west side of Glenburnie just west of Hurontario Street and south of the QEW, in what is known as the Mineola West neighbourhood of Mississauga.

The property is designated Residential Low Density 1 in the Mineola District Policies of the Mississauga Plan. This designation provides for single detached residential dwellings only.

The property is listed on the Mississauga Heritage Register because it is located in the Mineola West Cultural Landscape Inventory, L-RES-6. As per section 7.4.1.10 of the Mississauga Official Plan, applications to develop such property require a Heritage Impact Statement to demonstrate how the proposed development will conserve the criteria that render it a cultural heritage landscape.

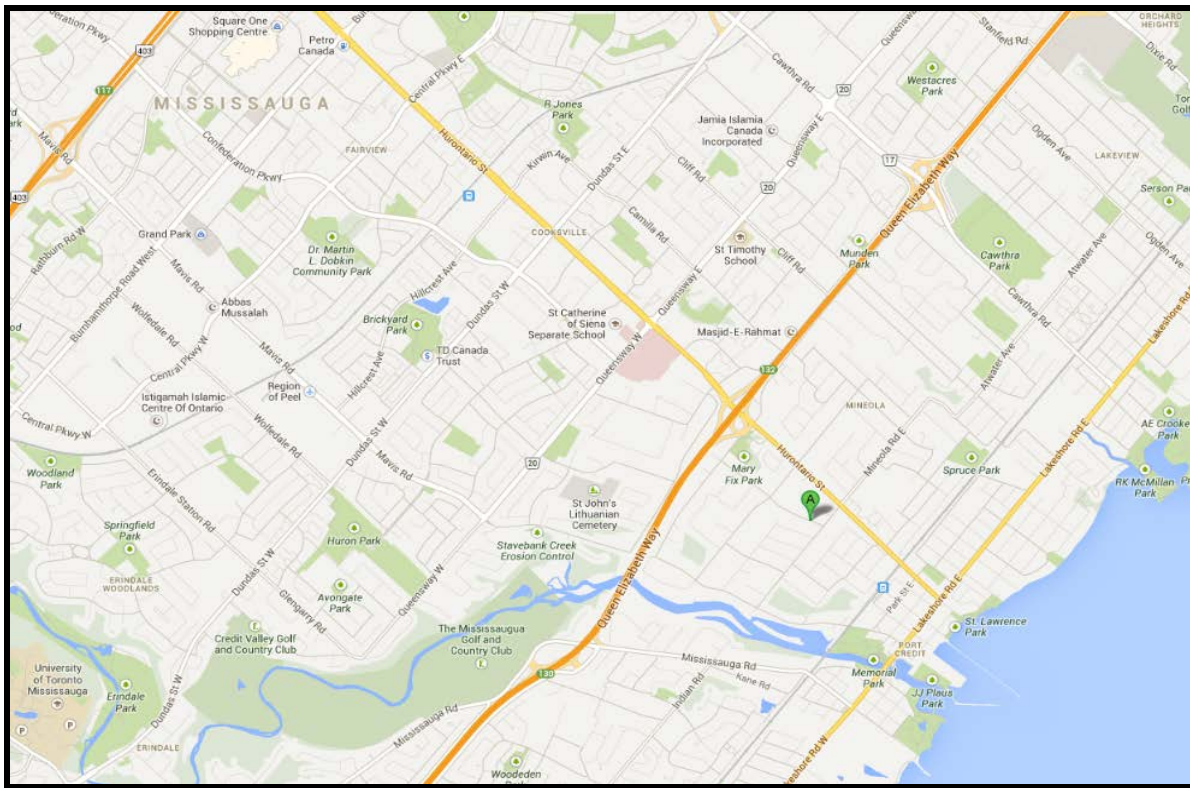


Figure 1: Location map of 1364 Glenburnie Road.

## SECTION 2 | THE MINEOLA WEST NEIGHBOURHOOD / CULTURAL LANDSCAPE

The Mineola West Neighbourhood is bordered on the West by the Credit River, the East by Hurontario Street (Hwy. 10), the north by the Queen Elizabeth Way and the South by the CN Rail line. It falls directly into what was previously known as the "Credit Indian Reserve" (CIR). The CIR originated as a part of a land sale by the Mississauga Indians to the British Government in 1805. The sale included lands stretching from Lake Ontario to a line 6 miles inland but excluded a strip of land one mile each side of the Credit River which was reserved for the Mississaugas.

The following is taken from the City of Mississauga Cultural Landscape Inventory L-RES-6:

*Mineola was developed before it became standard practice to re-grade top soil into large piles in the early twentieth century, level every nuance of natural topography and engineer the complete storm water drainage system artificially. In Mineola, a road system was gently imposed on the natural rolling topography of the Iroquois Plain; homes were nestled into slightly larger lots and natural drainage areas were retained. This provided greater opportunity to save existing trees and because the soils and drainage system were minimally impacted, provided fertile ground for the planting of anew vegetation, the natural regeneration of native trees and landscaping of the residential landscapes. What has evolved today is a wonderful neighbourhood with a variety of quality housing stock and a rich stimulating landscape that blends the houses with their natural and manicured surroundings. There are no curbs on the road, which softens the transition between street and front yards. The roads wind, rise and fall with the natural topography and houses sit often at odd angles to take advantage of slopes and the location of large trees. A gradual infilling has increased the density over the years and care must be taken to ensure that this does not, in the end, ruin the very quality and character that makes this neighbourhood so appealing and attractive. Of the main neighbourhoods in Mississauga, the Mineola neighbourhood stands out as one of the most visually interesting and memorable. As is often the case, when new development is balanced with the protection of the natural environment, a truly livable and sustainable community evolves. Mineola is an excellent example of this type of community.*

The City of Mississauga adopted a *Cultural Landscape Inventory* in 2005. All properties located in Mineola West are listed on the City's Heritage Register regardless of individual architectural or historical interest. The Mineola West Cultural Landscape is one of several residential areas identified as cultural landscapes, which include a similar low-density residential community known as Lorne Park Estate.

More than most neighbourhoods, Mineola West is dominated by the presence of mature trees. They are the predominant physical feature that stands out as one travels through the area. Most of these trees are found along property boundaries and therefore have been preserved through the years.

The 2011 Mississauga Natural Areas Survey identifies Mineola as one of three residential woodland areas in Mississauga. These woodland areas exist in older residential areas, generally with large lots, and almost completely in private ownership. They support trees with a mature, fairly continuous canopy, but the native understory is generally absent or degraded, usually through maintenance of residential lawns and landscaping. However, these areas still serve some functions such as: providing habitat for tolerant canopy birds, both in migration and for breeding; fixing atmospheric carbon; and facilitating groundwater recharge owing to the high proportion of permeable ground cover. With approaches that involve landscaping with native species, the ecological function of these areas is greatly increased.

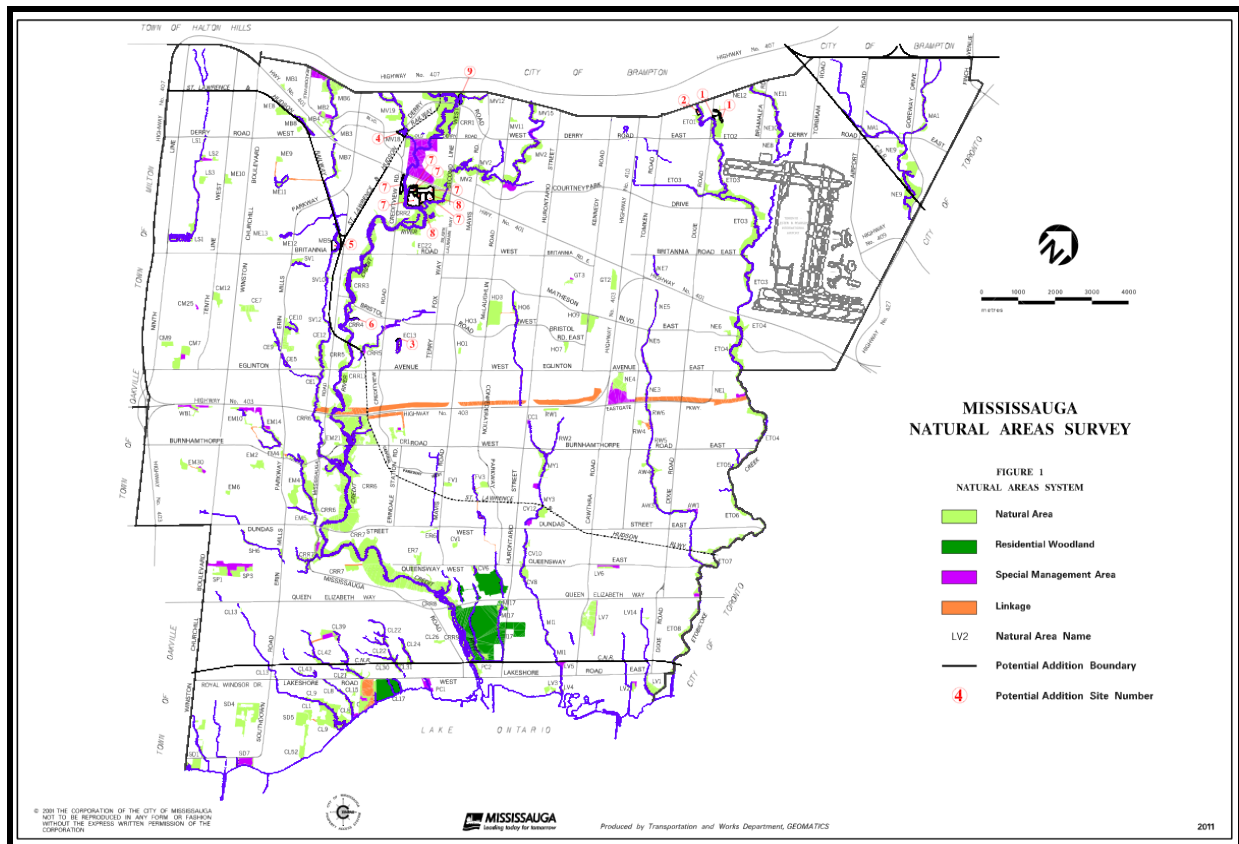


Figure 2: 2011 Mississauga Natural Areas Survey showing Mineola West as one of three Residential Woodland areas in Mississauga.

Mineola is notable for its forest-like setting with creeks, ravines, wildlife, abundance of mature deciduous and coniferous trees, and generous lot sizes. What also makes Mineola West different than most neighbourhoods is the lack of “engineered streets”. The original survey had gravel roads and lacked storm sewers, relying on roadside ditches instead. This is unlike most neighbourhoods found throughout the city. Large trees are often in very close proximity to roads, lending to the aesthetic appeal that is admired so much in this neighbourhood.

Intense urban development began after the Second World War and continued at an accelerated pace after the construction of the highway interchange at Hurontario and the QEW. Mineola West development was fairly typical of the low-density suburban residential areas built in Ontario towns and cities during the 1950s and 60s. Land was plentiful and relatively inexpensive. This resulted in the construction of modest single-family dwellings, mostly 1 or 1 ½ storeys, with driveways. Later garages were built separately or attached to the dwelling to accommodate the increased usage of cars for basic transportation.

Today, Mineola West is home to a broad range of housing sizes, configurations, and styles. The area is in rapid transition, with original homes being purchased and replaced with larger two-storey single-family dwellings. Despite the rapid change and development in this area, the newer homes continue to be integrated successfully into their environment as the natural surroundings continue to dominate visually. Original homes generally co-exist comfortably with the newer homes, as a result of good design and craftsmanship.

### SECTION 3 | HISTORICAL ASSOCIATIONS

Modern Mississauga is divided into five parts or areas on historic maps. The majority of Mississauga was originally known as Toronto Township. Toronto Township was divided into three survey areas: The Old Survey (1806), the New Survey (1819), and the Credit Indian Reserve (1821).

The Credit Indian Reserve lands comprised lands within a 1-mile strip along both sides of the Credit River between the waterfront and modern Eglinton Avenue. The Credit Indian Reserve was divided into several parts over periods of time. The First Part consisted of Ranges 1 and 2 North of Dundas Street (NDS) and Ranges 1 and 2 South of Dundas Street (SDS). These ranges were divided into 50-acre lots, and other sizes, and are part of the lands known as the "Racey Tract". Lots are numbered from West to East. On the South side of Dundas Street, south of Range 2, SDS, was another division referred to as the "Credit Indian Reserve". These lands were also divided into Ranges 1 through 3. The lots for these Ranges run East to West. In this division, Range 1 is the most southerly, and Range 3 abuts the south side of Range 2 from the Racey Tract.

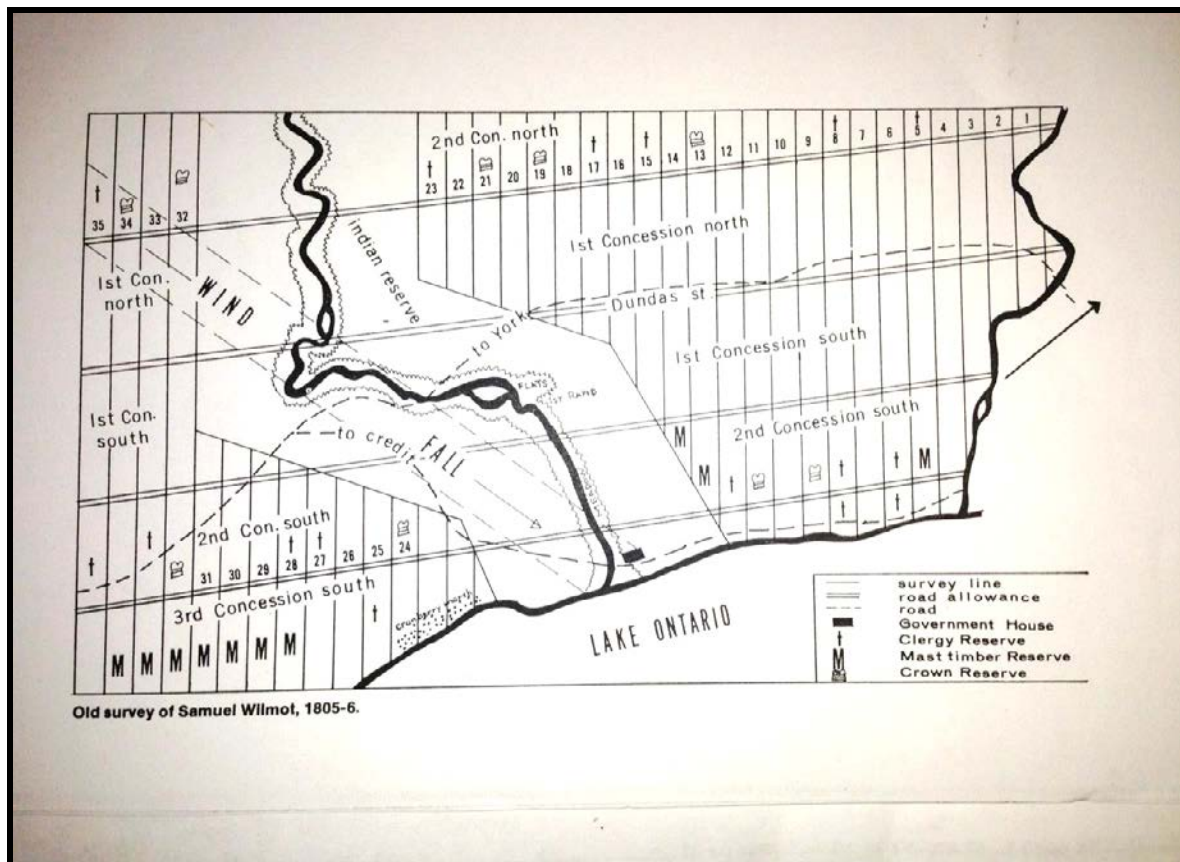
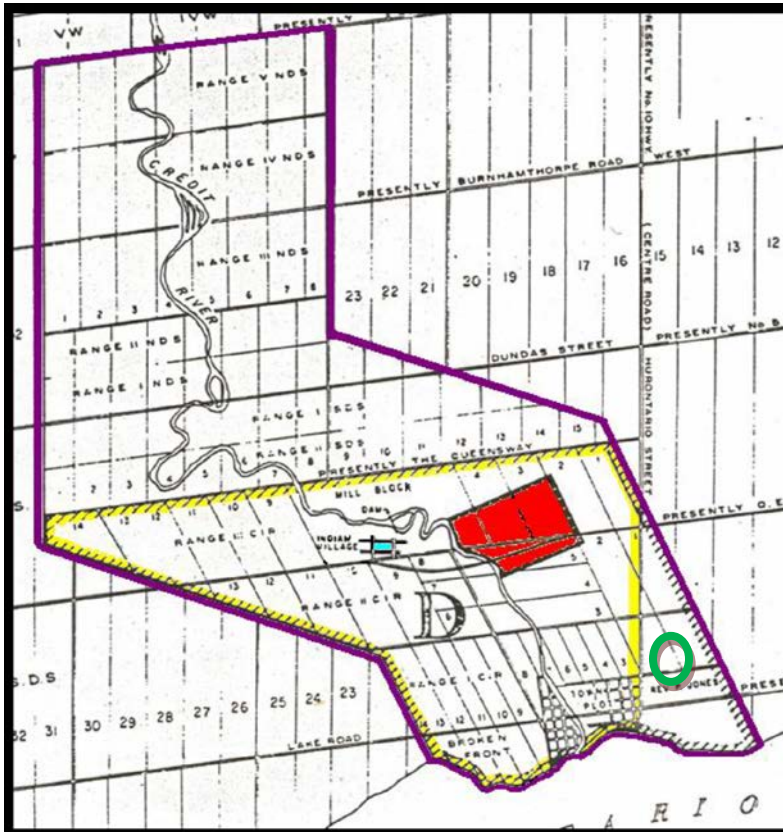


Figure 3: The Old Survey (1806) of the Toronto Township.



The property at 1364 Glenburnie Road was originally part of 25 acres of the southerly part of Lot 2, Second Range, CIR. On June 1<sup>st</sup> 1881 it was granted to James Jennings, a farmer, from The Crown for \$425.00. Unlike much of the land in Mineola West that was originally purchased by Robert Cotton, this particular parcel of land did not fall to the Cotton brothers. James Jennings was born in about 1863 in Port Credit. He was the son of Samuel Jennings, a sailor from Ireland who immigrated to Canada and worked as an inn keeper in the county of Peel, and Mary Jennings (nee Blackhall). He had two sisters, Mary Jennings and Ellen Jennings. James worked as a farmer in Port Credit and married Rosa Collins, a housekeeper, on 21Feb1905. He married and produced two daughters, Margaret Jennings (March 9, 1898) and Catherine Jennings (February 24, 1900). He died on October 6, 1928, at the age of 65, in York, Ontario. He was noted to be 'retired' at the time.



**Figure 4: Yellow bordered area shows the area known as the Credit Indian Reserve.**  
**Photo courtesy of Heritage Mississauga.**

- Source: <http://www.heritagemississauga.com/page/Credit-Mission-Maps>
- **Purple:** One-mile tract on each side of the Credit River reserved by the Native Mississaugas in Treaty 13A, signed on August 2nd, 1805.
- **Yellow:** Part of the area ceded on February 28th, 1820, in Treaty 22. This entire area is known as the Credit Indian Reserve.
- **Red:** 200-acre reserve set aside solely for the use of the Native Mississaugas in Treaty 23.
- **Blue:** Site of the Government-built Credit Indian Village, or the Credit Mission.
- **Green circle:** depiction of approximate location of the 25 acres part of the southerly part of Lot 2, Range 2.

**Parcel Register:**

Information gathered from the Ontario Land Registry Office for the Regional of Peel indicates the chain of ownership from 1 June 1881. The information has been obtained through use of microfilm archives along with current Land Title Search. The following ownership transfers have taken place since the earliest records of the property on title.

1. The Crown—Granted to James Alexander Jennings for Lot 2, Second Range, Credit Indian Reserve, pt 25, southerly pt., WHS (Its date 1Jun1881, registered 19Mar1912).
2. James Jennings—Granted to Edward Burns (19Mar1912), for 11,000.

*On March 19<sup>th</sup>, 1912 a Mr. Edward Burns purchased the southerly part of Lot 2, Range 2, pt 25, from James Jennings for \$11,000. Further review of identiture records reveals that Edward Burns lived most of his adult life at 1370 Centre Road (Hurontario), in what is now known as the Field Residence. The Field Residence was built in 1914. In 1920, Edward Burns registered a plan of a subdivision consisting of a part of lot 2, range 2, CIR, and lot 12, Township of Toronto, County of Peel [See figure below]. The 1935 List of Electors of the Dominion Franchise Act lists Mr. Edward Burns' occupation as 'gentleman'. Earlier records of occupation indicate that he worked for John MacDonald & Co, the largest dry goods firm in Toronto, which was later put out of business by Eaton's Co. It is clear that he was a wealthy man; having spent 33 winters in Florida. Two records noting time spent in St. Petersburg, Florida; one time accompanied by a private nurse. He was married to Agnes Jane (nee Wilkinson), who later died in 1936. They did not produce any children.*

*The current property owners spoke with Robert Whitehead on October 15<sup>th</sup>, 2013. Robert Whitehead is the son of James Bruce Whitehead, who is credited with building the current home at 1364 Glenburnie Road. Robert remembers Edward Burns and stated that he owned all of the land along this stretch of Glenburnie Road, leading back to his home at 1370 Centre Road. He fondly remembers that there were no homes across the street from 1364 Glenburnie Road and it consisted of farmers' field; a fence ran along the other side of Glenburnie, running parallel to the road. Edward Burns had two horses that would often graze at the top of the hill opposite 1364 Glenburnie Road and the Whitehead boys (Robert, Paul, and Cameron) would enjoy watching the horses. Robert recalls that Glenburnie Road acquired its name in association with Edward Burns. Another interesting note shared by Robert Whitehead is that Edward Burns was instrumental in securing Port Credit as a stopping point on the CN Railway. Shortly thereafter, a group in Oakville sought the same.*

3. Edward Burns—granted to James Bruce Whitehead and Mildred Louise Whitehead (nee Burns) (22Sep1944). The current home was built by Mr. and Mrs. Whitehead in 1947 (source: Robert Whitehead). The northerly 75 feet of Lot 3, Plan G-20, was given to Mr. and Mrs. Whitehead by Edward Burns. According to Robert, Edward Burns was Robert's grandfather's uncle. The southerly 25 feet of Lot 3, Plan G-20 was sold to Edward Cockshutt on 6Jun1944 and now comprises part of the property at 1358 Glenburnie Road. Mr. Whitehead was a retired executive with the Goodyear Tire and Rubber Company. He was a very active member of the Port Credit community and resided for many years, with his wife and family, on Maplewood Rd. in east Mineola.
4. James B. Whitehead and Mildred L. Whitehead—granted to Deryck H. Wellard and Margeurite Wellard (19Aug1957). Mr. Wellard worked for Shell Oil and Mrs. Wellard was a homemaker. They later moved next door to 1358 Glenburnie Road.
5. Deryck H. Wellard and Margeurite Wellard—granted to Joyce J. Warren and Henry R. Warren (22Jul1964). Mr. Warren was an aeronautical engineer.
6. Joyce J. Warren and Henry R. Warren—granted to Charles J. Cunningham (3Sep1968). *Through research of Mr. Cunningham's indenture there was no information on what his occupation may have been.*
7. Charles J. Cunningham—granted to Ian A Adair and Avril F. Adair as joint tenants (13Mar1975). *Through research of Mr. and Mrs. Adair's indenture there was no information on what their occupation may have been.*
8. Ian A Adair and Avril F Adair—granted to Ronald L. McCallum (24May 1978).
9. Ronald M. McCallum Estate—granted to Stella M. McCallum (9Nov1987).
10. Stella M. McCallum—granted to Michael J. Lemiski and Carol A. Brockenshire (30Oct1987).
11. Michael J. Lemiski and Carol A. Brockenshire—granted to [REDACTED] [REDACTED] (26Oct2005).

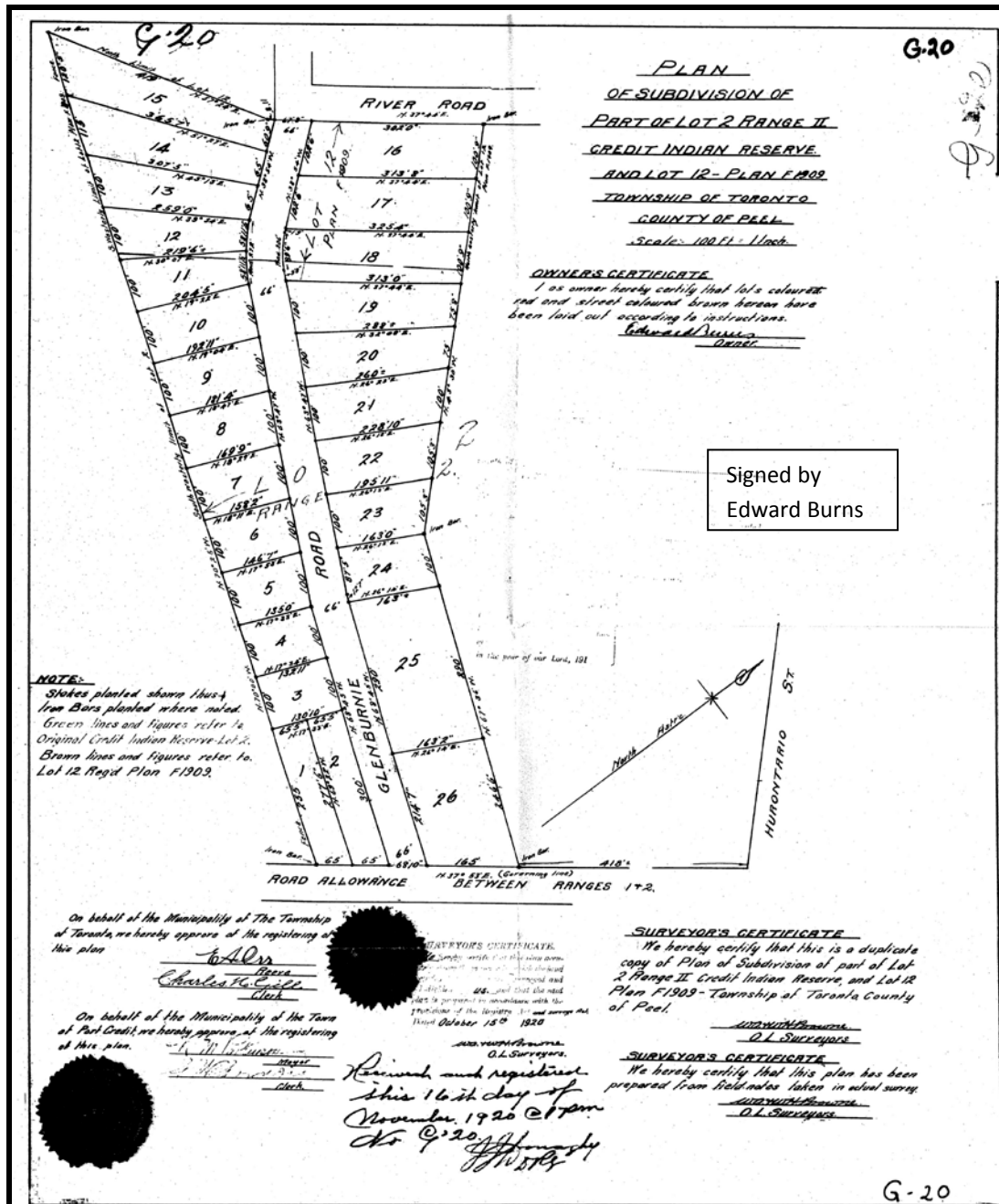


Figure 5: Survey dated 1920 for Part of Lot 2 Range II CIR showing ownership by Edward Burns.

**SECTION 4 | PROPERTY OVERVIEW**

The property is zoned R2-5 under the City of Mississauga Zoning By-Law 225-2007.

<b>Municipal Address</b>	1364 Glenburnie Road
<b>Legal Description</b>	PLAN G20 LOT 3
<b>Roll Number</b>	21-05-010-016-24200-0000
<b>Municipal Ward</b>	1
<b>Zoning</b>	R2-5
<b>Lot Frontage</b>	22.6 M
<b>Lot Depth</b>	40.51 M
<b>Lot Area</b>	915.805 SM
<b>Orientation</b>	Front facing North-East
<b>Type</b>	Existing 1.5 Storey Dwelling
<b>Vegetation</b>	Large white oak, white pine, beech, and maple trees located throughout property
<b>Access</b>	Linear asphalt driveway
<b>Current Property Owners</b>	[REDACTED]

The Municipal Property Assessment Corporation data records the original home as built in 1946. According to Robert Whitehead, the house was built in 1947. The house reflects post World War II construction.

The subject property is a rectangular lot approximately 74' wide X 133' deep. The house is approximately 1800 square feet. The site is bordered on all sides by similar single family residences. The property is characterized by a number of mature trees and other tree specimens that were planted by the current residents and earlier residents. These trees have now grown to significant size.

The original house was constructed on a concrete block foundation. The current wood frame exterior walls are clad with vinyl siding. Originally the house had asbestos siding. The subsequent family room addition was constructed on a poured concrete foundation. The sitting room addition was constructed on piers with no foundation.

The front windows are constructed of wood but are not original. They are large double hung windows balanced symmetrically either side of the front entry door. The muntin pattern is 3 wide by 2 high in both top and bottom sashes. There are similar 2 wide x 2 high muntins in the top and bottom sashes of the double hung windows on the south side of the living room. From the earlier photograph of the home you can see that the original windows were not symmetrical to the front door and were of differing proportions and design to the current windows. There were in fact no windows flanking the brick chimney as there are today. In the rear and side additions the windows are more recent double glazed casement units that are irregular placed. They are simple punched opening picture units without muntin bars. There is no architectural significance or merit to the windows that remain on the home. The front has a simple painted wood entry door with pilasters and architrave. The door and trim are more



recent and not original. The front windows retain have shutters that have been reworked to the newer proportioned windows to emulate a simple Cape Cod styling. The chimney is plain brick and ordinary. The roof is finished in asphalt shingles.

The main floor consists of entrance, living room, dining room (used as an office), kitchen, kitchen eating area, sitting area, main bathroom, master bedroom, and second bedroom. The second floor consists of two bedrooms almost identical in size and small second bathroom. A dormer was added at some point at the top of the stairs to allow more light.

The interior of the home lacks any significant features. The baseboards are basic as are the window casings and trim in general. There is a simple wood mantle on the living room fireplace which would have been original to the home. The interior finishes are plaster and drywall, with wood flooring in some areas, and vinyl flooring and carpet in others.

There are no further interior details of particular character or architectural significance within the home.

The history of all additions and building permits are listed below.



**Figure 6: Photo of original house in 1948 (courtesy of Robert Whitehead).**

## ALTERATIONS TO ORIGINAL HOUSE

## PROPERTY BUILDING PERMITS

[View Another Property](#)

Address: 1364 GLENBURNIE RD

Legal Description: PLAN G20 LOT 3

Roll Number: 21-05-010-016-24200-0000

## Building Permits

5 Permit(s) found Page: of 1

App Number	Address	Scope	Issue Date
App Date	Description	Type Description	Status
BPC 92 7372	1364 GLENBURNIE RD	ALTERATION TO EXIST BLDG	1992-04-03
1992-03- 31	WINDOW ADDITION	DETACHED DWELLING	ISSUED PERMIT
BPC 88 5442	1364 GLENBURNIE RD	ADDITION TO EXIST BLDG	1988-09-13
1988-07- 20		DETACHED DWELLING	ISSUED PERMIT
HCC 84 196697	1364 GLENBURNIE RD		
1984-07- 31	SUNROOM ADDITION CODE: 1933 PER#58254 SEPT 14/84		HISTORY COMMENT PERMIT
HCC 68 196695	1364 GLENBURNIE RD		
1968-12- 31	PLUMBING PERMIT 4959		HISTORY COMMENT PERMIT
HCC 68 196696	1364 GLENBURNIE RD		
1968-12- 31	DRAIN PERMIT 4960		HISTORY COMMENT PERMIT





Figure 8: Topographical map of 1364 Glenburnie Road showing the trees and tree canopy of this property. All existing trees on the property will be preserved, as none are in conflict with the proposed dwelling.





Figure 10: North-west view of Glenburnie Road from driveway.



Figure 9: East-south view of Glenburnie Road from driveway.



SECTION 5 | EXISTING BUILDING DETAILS



Figure 11: EXTERIOR PHOTO 1. Existing 1.5 storey dwelling at 1364 Glenburnie Road. The exterior of the home was originally asbestos siding, which was later covered with white vinyl siding to mimic the classic clapboard look of traditional Cape Cod homes.



Figure 12: EXTERIOR PHOTO 2. Existing 1.5-storey dwelling showing the subsequent addition of a detached 1.5 garage added against the northwest exterior wall of the main dwelling.



Figure 13: EXTERIOR PHOTO 3. Rear view of 1364 Glenburnie. Large peaked room reflects an addition to the home in 1988. 4-paned room adjacent to peaked family room addition reflects a sunroom addition in 1984 which was later closed in to provide a 4-season room.

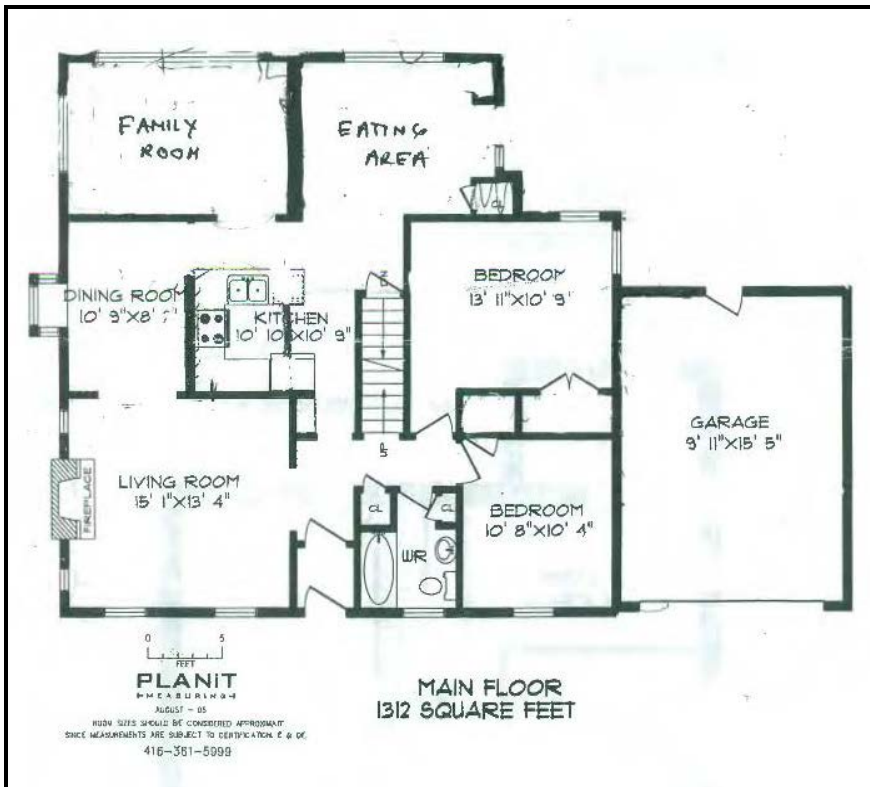


Figure 14: Existing house - Main floor plan

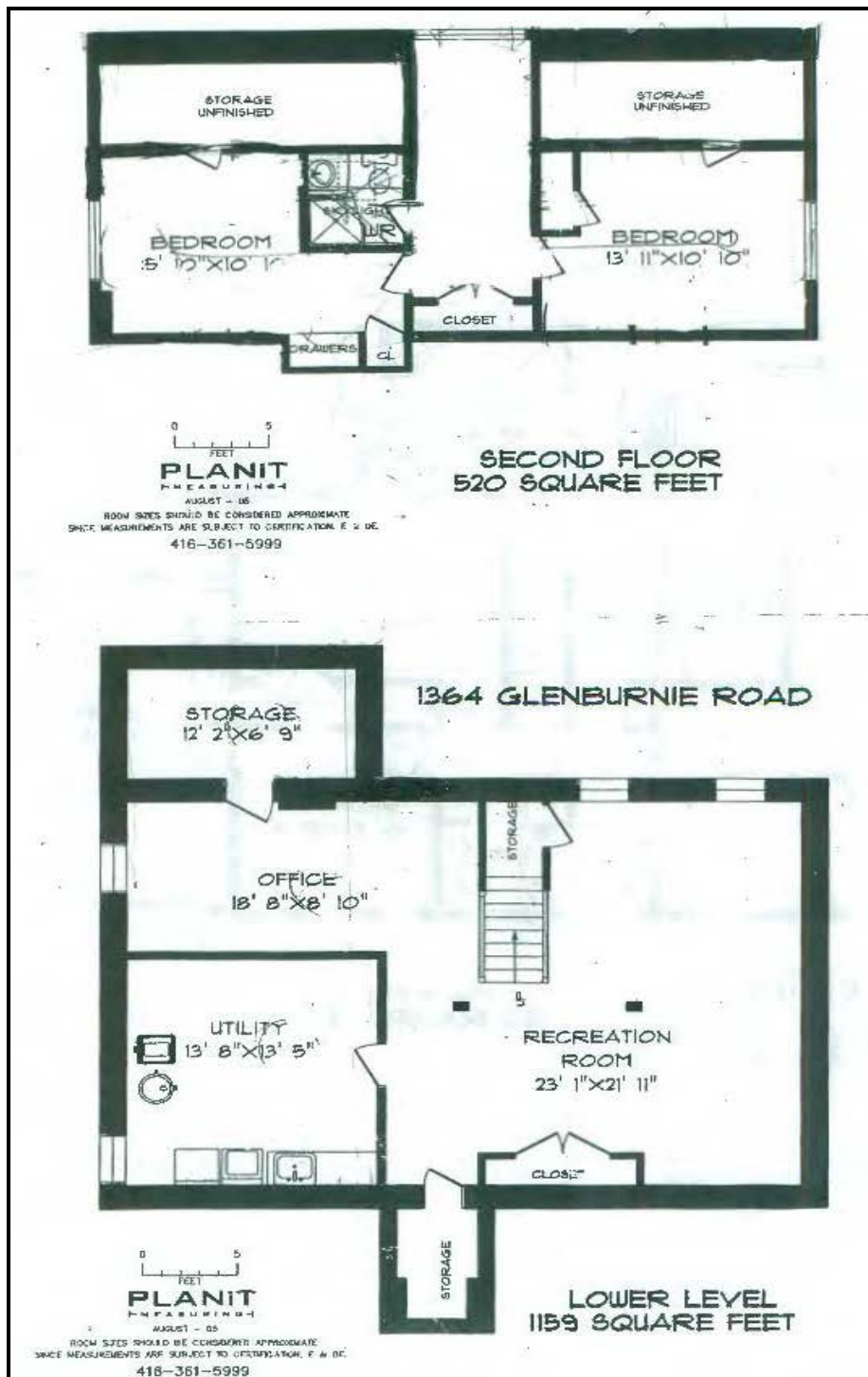


Figure 15: Existing house – Basement and second floor plan





Figure 16: Front door (not original, vinyl trim work added at later date)



Figure 17: INTERIOR PHOTO - Living Room. The crown moulding is made of a foam-based material and added by the previous owners. The fireplace mantel is original wood, with added natural stone around.



Figure 18: INTERIOR PHOTO - Dining (this area was designed as the family room addition added in 1987).



Figure 19: INTERIOR PHOTO – Kitchen.





Figure 20: INTERIOR PHOTO - Main floor, Sitting Room (original sunroom addition, supported by piers).



Figure 21: INTERIOR PHOTO - Main floor, office (former dining room)



Figure 22: INTERIOR PHOTO - Main floor, 4th bedroom.



Figure 23: INTERIOR PHOTO - Main floor, master bedroom.



Figure 24: INTERIOR PHOTO - Main floor, bathroom.



Figure 25: INTERIOR PHOTO - Second floor, bedroom 2.





Figure 26: INTERIOR PHOTO - Second floor, bedroom 3.



Figure 27: INTERIOR PHOTO - Second floor, bathroom.



Figure 28: EXTERIOR PHOTO - View of exterior side wall of house, from inside garage, shows original asbestos siding.



Figure 29: INTERIOR PHOTO - Basement recreation area.





Figure 30: Basement - boiler/radiant heat plumbing.



Figure 31: Basement, Cold cellar under front step, shows block foundation walls.

## SECTION 6 | DEVELOPMENT PROPOSAL

**Zoning Requirements**

The proposed new dwelling at 1364 Glenburnie Road is a two-storey residence to be built on the lot presently occupied by the smaller 1 ½ storey dwelling with adjacent detached garage. Based on site plan data, the chart below indicates that the proposed new dwelling meets all of the applicable R2-5 regulations of the current zoning by-law 225-2007.

<b>Description</b>	<b>Proposed</b>	<b>By-Law</b>
Foot Print Area (2 storey)	2555.99 sq ft	2970.68 sq ft
Lot Coverage (Gross Floor Area)	25.81%	30%
First Floor (incl. garage)	2258.21 sq ft	
Second Floor	1666.39 sq ft	
Total Garage Area	446.14 sq ft	
Front Yard Setback	9 M	9 M
Rear Yard Setback	7.5 M	
Side Yard Setback	2.41 M on north side 3.76 M on south side	6.17 M (combined)

**Proposed New Dwelling**

The design of the new dwelling exhibits the characteristic features of the *Arts & Craft* or *Craftsman* style which is predominant in the Mineola area. The second story is smaller than that of the ground floor plan and the sloping rooflines allow light into the neighbouring properties and soften the streetscape, thereby blending with the natural surroundings and neighbouring properties. The Arts & Crafts styling of the proposed new home includes cedar shingle siding on the second floor with a clay brick on the ground floor. The ribbon casement windows with simulated divided lites will be dark in colour and sympathetic to the brick and stained cedar siding. The colours will compliment the garden landscape that is Mineola. The Craftsman shingle styling will be evident in the gables, bays, dormers, and window trim. The porch columns, exterior soffits, window casings, frieze and fascia will be well detailed with wood mouldings. The generous entry porches will add to the welcoming and neighbourly environment of Mineola in keeping with the Arts & Crafts movement of the early 1900's.





Figure 33: Proposed new dwelling (exterior is a mix of brick and painted cedar shingles, exterior wood trim and detailing reflective of the Arts and Craft Style).

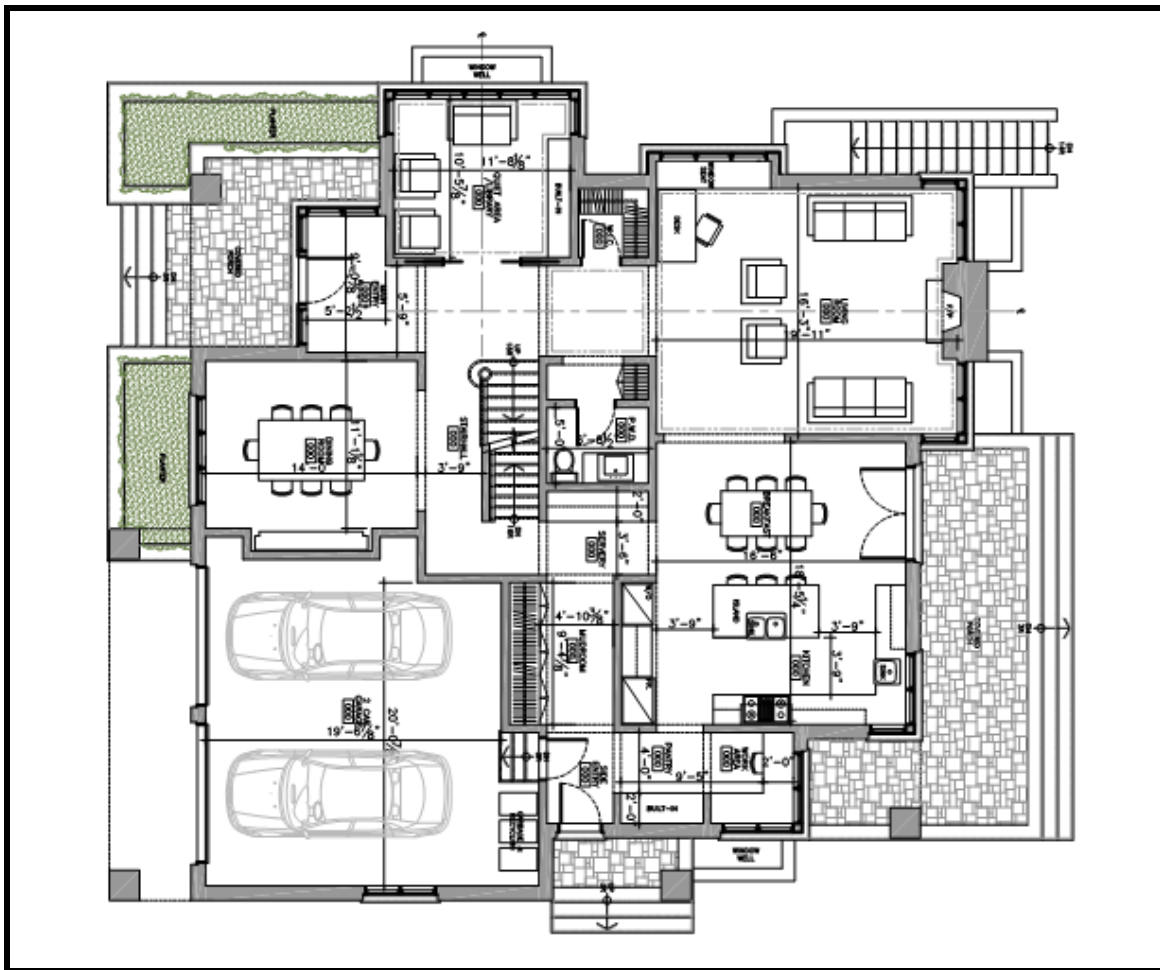


Figure 34: Proposed Ground Floor Plan



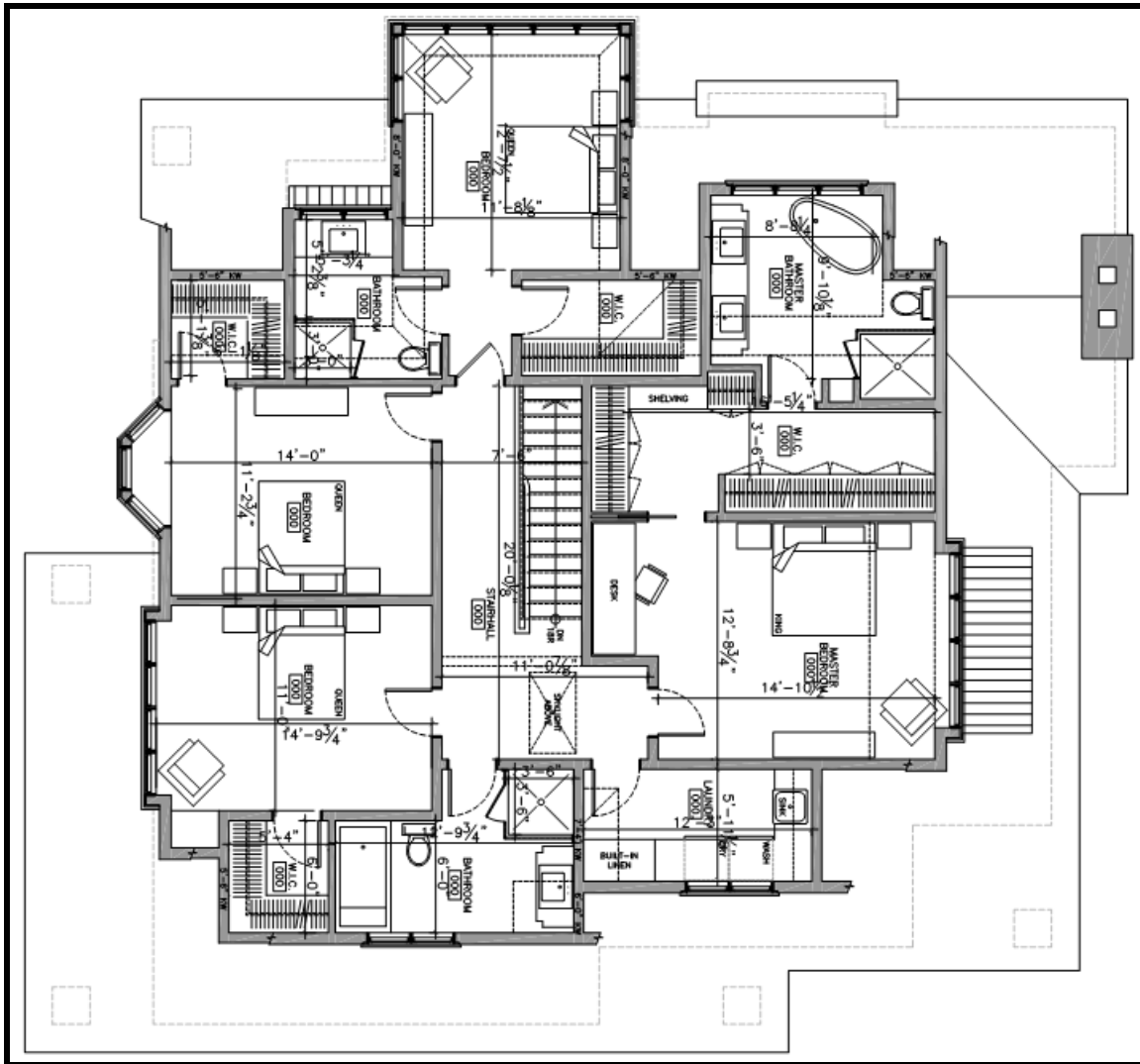


Figure 35: Proposed Second Floor Plan



Figure 36: Front and Left Side Elevations.



**Figure 37: Rear and Right Side Elevations.**



Figure 38: Streetscape of 1364 Glenburnie Road and adjacent properties (left- 1358 Glenburnie Road, right-1374 Glenburnie Road).

**SECTION 7 | CULTURAL LANDSCAPE CRITERIA****LANDSCAPE ENVIRONMENT**Scenic and Visual Quality of the Landscape Environment

The new dwelling is larger than the existing and the house to lot ratio will decrease, however the scale of the new home will be consistent with those in the neighbourhood and will meet all the current zoning with regards to size and height (refer to Figures 39 through 48). The scenic/visual quality of the site will not be negatively affected as all existing mature trees will be preserved through the development. The driveway will maintain the same position as is currently. Information on the location, species and condition of the trees on site was taken from the tree inventory undertaken by an arborist from The Tree Specialist, as a requirement for Site Plan Approval [Section 7]. The owners have stressed the importance of minimizing impact and stress to existing trees. As a preventive measure in preparation for construction, the owners had Davey Tree conduct deep root fertilization of all mature trees in September 2013.

Natural Environment / Horticultural Interest of the Landscape

There are no significant natural features or horticultural features that would be classified as unique to the property. The existing tree canopy is the only natural feature and it will remain largely untouched. A variety of new deciduous and coniferous shrubs, as well as, native perennial flowering plants, as presently exists, will be planted in new beds to continue to attract the natural life that currently exists.

Landscape Design, Type, and Technological Interest

There is no significant landscape design on the property that would warrant designation. The landscape is consistent with the natural topography and plantings in the area and will remain so. The landscaping will be enhanced by a landscaping plan that focuses on native species. There are no features of technological interest on the subject property.

**BUILT ENVIRONMENT**Aesthetic/Visual Quality of the Built Environment

The existing home is not architecturally important and does not contribute to an important group of similar note worthy buildings in the existing environ that could be grouped by significant type. It would have constituted a fairly generic, common, and inexpensive post World War II home when it was built. The new proposals architecture will be similar and complimentary to the existing built environment.



Consistent with pre-World War II Environs

The existing home is post World War II and as such is not architecturally consistent with Pre World War II settlements.

Consistent scale of Built Features/Buildings

The size of the existing home is no longer consistent with the others in the area and not of a consistent size and shape and pattern to warrant recognition and designation.

Unique architectural Features/Buildings

There are no unusual or distinctive features to the existing building that would suggest that it was of significance to the community.

Designated Structures

The building is not a historically designated structure.

**HISTORICAL ASSOCIATIONS**

Illustrates, Style, Trend, or Pattern

The existing structure does not represent a specific style, trend or pattern of building type that would warrant inclusion or relevance to an inventory type.

The Arts & Crafts styling of the proposed new dwelling will appeal visually and aesthetically. The impact of the proposed development has been taken into consideration when designing both the proposed home and the natural preservation of the streetscape aesthetic. The proposed dwelling has been designed in a manner with a mixed massing and scale which helps lower the impact to adjacent properties, and is in keeping with newer homes on Glenburnie Road and throughout the neighbourhood.

Direct Association with an Important Person or Event

There exists no important person or event on record that can be demonstrated to be associated with the property.

Illustrates Important Phase in Mississauga's Social or Physical Development

Mineola West represents a stage in Mississauga's physical development when land was relatively cheap and residential dwellings sprang up in the post WWII boom. The home at 1364 Glenburnie Road is an example of post WWII house construction however its resonance with the original buildings type has been diluted by renovations and alterations to the existing structure whereby the significance is characterized only by its diminutive scale and massing.

Illustrates the Work of an important designer

The building does not illustrate the work of an important designer as there is no significance to the architecture and the designer is unknown.

**OTHER**

Significant Historical/ Archaeological/ Ecological Interest

The existing property and building are not significant by association to a unique historical record, or to an archaeological or ecological record. There is no landmark value associated with the property.

## SECTION 8 | CONCLUSION AND MANDATORY RECOMMENDATION

### CONCLUSION

The subject property is not worthy of heritage designation in accordance with Regulation 9/06 of the Ontario Heritage Act. The property is not a landmark and does not have any significant unique contextual value, and is not physically, functionally, historically or otherwise important in defining the character of the Mineola area. It does not warrant conservation as per the provincial policy statement.

The proposed new home will contribute to the evolved variety in housing and landscape design in Mineola and will become an attractive addition to the cultural landscape of the Mineola area. It is an appropriate infill single family dwelling for the property.

### MANDATORY RECOMMENDATION

As per criteria set out in Regulatory 9/06 of the Ontario Heritage Act the following reasons are why the subject property is not worthy of heritage designation and does not meet such criteria stated in Regulation 9/06.

1. *Does the property meet the criteria for heritage designation under Ontario Regulation 9/06, Ontario Heritage Act?*

The property itself has been listed on the heritage register under the Mineola West Cultural Landscape; however, the existing dwelling and property do not meet criteria set out in Regulation 9/06, Ontario Heritage Act that would be required for designation.

2. *If the subject property does not meet the criteria for heritage designation then it must be clearly stated why it does not.*

The existing home is not known to represent significance related to theme, event, belief, person, activity, organization or institution in the community. The current property and home do not hold any intrinsic value that makes it rare, unique, or representative of an early style, type, expression, or material or construction method. It is not known to possess any characteristics that contribute to an enhanced understanding of the community or local culture. It is also not known to represent the work of any architect, artist, builder, designer or theorist in the community. The property has only modest contextual value as far as its support of the character of the area. There is no link to its physical, functional, visual or historic surroundings.

3. *Regardless of the failure to meet criteria for heritage designation, does the property warrant conservation as per the definition in the Provincial Policy Statement?*

The proposed new development proposes conservation of the cultural landscape but not of the existing architecture. As stated above the existing dwelling does not warrant conservation as per Ontario Regulation 9/06, Ontario Heritage Act or the Provincial Policy Statement.

The proposed development will conserve the criteria that render it a cultural heritage landscape. It will maintain and contribute to the scenic, aesthetic and visual quality of the Mineola West Neighbourhood. It will co-exist with the natural environment, and maintain a consistent scale with adjacent and neighbouring properties.





Figure 39: 1358 Glenburnie Road.



Figure 39: 1374 Glenburnie Road.



Figure 40: 1389 Glenburnie Road.



Figure 41: 1404 Glenburnie Road



Figure 43: 1359 Glenburnie Road



Figure 44: 1348 Glenburnie Road





Figure 45: 1412 Glenburnie Road



Figure 42: 1394 Glenburnie Road



Figure 47: 1422 Glenburnie Road



Figure 48: 1456 Glenburnie Road



Providing professional tree care & consulting services

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August 26, 2013

Gren Weis Architect and Associates  
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**ATTENTION: Mr. Geoff Roche**

[groche@gw-architect.com](mailto:groche@gw-architect.com)  
905-842-1314

**RE: 1364 Glenburnie Road - Mississauga  
Tree Preservation Plan**

I have been retained by Mr. Geoff Roche of *Gren Weis Architect and Associates*, to provide an arborist consulting report concerning the above subject site. The purpose of this report is to provide a tree preservation plan, with recommendations, regarding all regulated trees affected by the proposed development.

**History and Definition of Assignment:**

I have been advised by Mr. Roche that the above subject site is scheduled for development, which includes the demolition of the existing dwelling and construction of a proposed two-storey dwelling as per the Tree Preservation Plan (TPP-1) in Appendix I. There are five (5) city-owned trees involved with this project.

The assignment is as follows:

1. Survey all regulated trees that will be affected by the proposed project, assess their condition and determine if they are suitable for preservation.
2. Provide recommendations for tree preservation.
3. Determine if proposed construction will adversely affect the health of such trees.

**Assumptions and Limiting Conditions:**

See Appendix II:

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### Tree Identification and Location:

See TPP-1 plan in Appendix I for tree location and Table #1 for species identification, condition, and recommendations.

Table #1: 1364 Glenburnie Road - Mississauga

Tree #	Species	DBH (cm) <sup>1</sup>	Condition <sup>2</sup>	Category <sup>3</sup>	Comments	Suitability <sup>4</sup> for Conservation	Recommendation <sup>5</sup>	M <sup>6</sup> TPZ (M)
202	<i>Pinus strobus</i>	50	F	4	- lean, deadwood - clear of proposed construction - shall retain its existing root structure	M	Ps	3.0
203	<i>Quercus rubra</i>	84	G	1/2	- clear of proposed construction - shall retain its existing root structure	G	Ps	5.4
204	<i>Picea glauca</i>	20	G	2	- clear of proposed construction - shall retain its prescribed TPZ	G	Ps	1.8
205	<i>Quercus rubra</i>	18	G	4	- clear of proposed construction - shall retain its prescribed TPZ	G	Ps	1.8
206	<i>Fagus grandifolia</i>	64	G	4	- clear of proposed construction - shall retain its prescribed TPZ	G	Ps	4.2
207	<i>Quercus rubra</i>	84	G	1	- encroached upon by 6%	G	PsI	5.4
208	<i>Thuja occidentalis</i>	22	G	1/2	- poor union, deadwood - clear of proposed construction - shall retain its existing root structure	M	Ps	1.8
209	<i>Thuja occidentalis</i>	19	G	1/2	- poor union, deadwood - clear of proposed construction - shall retain its existing root structure	M	Ps	1.8
210	<i>Thuja occidentalis</i>	16	F	1/2	- poor union, deadwood - clear of proposed construction - shall retain its existing root structure	M	Ps	1.8
211	<i>Thuja occidentalis</i>	19	F	1/2	- deadwood - clear of proposed construction - shall retain its existing root structure	M	Ps	1.8

<sup>1</sup> **DBH:** Diameter at Breast Height is a measurement in centimeters, using a caliper tape, of the tree stem at 1.37 meters above existing grade.

<sup>2</sup> **Condition:** A rating of **Hazardous/Dead/Poor/Fair/Good/Excellent** was determined for each tree by visually assessing all the above ground components of the tree, using acceptable arboricultural procedures as recommended in the "Guide for Plant Appraisal", prepared under contract by the "Council of Tree & Landscape Appraisers (CTLA)", an official publication of the *International Society of Arboriculture (I.S.A.)*, 9<sup>th</sup> Edition, 2000".

<sup>3</sup> **Category #:**

1. Trees with diameters of 15 cm or more, situated on private property on the subject site.
2. Trees with diameters of 15 cm or more, situated on private property, within 6 m of the subject site.
3. Trees of all diameters situated on City owned parkland within 6 m of the subject site.
4. Trees of all diameters situated within the Municipal road allowance adjacent to the subject site.

### <sup>4</sup> Suitability for Conservation:

A rating of **Poor/Moderate/Good** is assigned to each tree taking in to account four factors which include, 1) Tree health 2) Structural integrity 3) Species response and 4) Tree Age and longevity, as recommended in the "For Tree Care Operation – Trees, Shrubs, and Other Woody Plant Maintenance Standard Practice" prepared as part of the "ANSI A300 Standards."

<sup>5</sup> **Recommendation:** Preserve (Ps), Preserve with Injury (PsI), Remove (Rv), Transplant (Tp)

<sup>6</sup> **MTPZ:** Minimum tree protection zone distance as per *The Tree Specialists Inc.*

Davide P. Carnevale - Consulting Arborist





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Tree #	Species	D B H (cm)	Condition	Category	Comments	Suitability for Conservation Recommendation	M T P Z (M)
212	<i>Thuja occidentalis</i>	15	F	1/2	- deadwood - clear of proposed construction - shall retain its existing root structure	M Ps	1.8
213	<i>Acer saccharum</i>	45	F	1	- poor union with included bark - clear of proposed construction - shall retain its prescribed TPZ	M Ps	3.0
214	<i>Quercus alba</i>	49	F	1	- poor form, deadwood - clear of proposed construction - shall retain its prescribed TPZ	M Ps	3.0
215	<i>Acer saccharum</i>	18	F	1	- deadwood - clear of proposed construction - shall retain its prescribed TPZ	M Ps	1.8
C1	<i>Quercus rubra</i>	48	F	4	- leaf scorch deadwood - clear of proposed construction - shall retain its prescribed TPZ	M Ps	3.0
C2	<i>Liriodendron tulipifera</i>	8	G	4	- clear of proposed construction - shall retain its prescribed TPZ	G Ps	1.2
N1	<i>Quercus rubra</i>	73	F	2	- leaf scorch deadwood, in decline - clear of proposed construction - shall retain its prescribed TPZ	M Ps	4.8
N2	<i>Acer saccharum</i>	49	G	2	- clear of proposed construction - shall retain its prescribed TPZ	G Ps	3.0
N3	<i>Quercus rubra</i>	66	F	2	- seam in trunk - clear of proposed construction - shall retain its prescribed TPZ	M Ps	4.2
N4	<i>Quercus rubra</i>	50	F	2	- leaf scorch deadwood - clear of proposed construction - shall retain its prescribed TPZ	M Ps	3.0
N5	<i>Picea pungens</i>	16	F	2	- in decline, deadwood - clear of proposed construction - shall retain its prescribed TPZ	M Ps	1.8
N6	<i>Picea glauca</i>	38	F	2	- deadwood - clear of proposed construction - shall retain its prescribed TPZ	M Ps	2.4

**Site Notes and Comments:**

City Owned Trees:

- As listed above, 22 regulated trees are involved with this project, 5 of which are City owned, being trees no. 202, 205, 206, C1 and C2. Tree no. 202 is situated adjacent to an existing structure, being the driveway. With the above in mind, proposed construction will not infringe on the existing root structure of this tree as the existing hard surface structure protect the roots from disturbance and if protected by hoarding, as outlined in the Tree Protection Plan, will not adversely affect the trees current condition..
- Trees no. 205, 206, C1 and C2 are clear of proposed development, shall retain its prescribed TPZ and, as such will not be disturbed during construction.

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Privately Owned Trees That Are Situated within 6.0 m of the Subject Site:

1. There are 7 trees (no. 204, N1- N6) situated on adjacent private properties within 6.0 metres of the subject site and 6 trees (no. 203 and 208-212) located on the property line, which are mutually owned. Trees no. 204 and N1-N6 are clear of proposed development, shall retain their prescribed TPZ and as such, will not be disturbed by proposed construction.
2. Trees no. 203 and 208-212 are situated adjacent to existing structures, being the driveway and stone walk way. With the above in mind, proposed construction will not infringe on the existing root structure of these trees as the existing hard surface structure protect the roots from disturbance and if protected by hoarding, as outlined in the Tree Protection Plan, will not adversely affect the trees current condition.

Privately Owned Trees Located on the Subject Site:

1. There are 4 regulated trees located on the subject site that are involved with this project, being trees 207 and 213-215. With the exception of tree no. 207 all trees found on the subject site are clear of proposed development, shall retain their prescribed tree preservation zones and as such, will not be disturbed during construction.
2. Tree no. 207 is encroached upon by proposed construction by 6%. Such encroachment is located outside of the critical root zone along the outer edge of the tree preservation zone. Roots disturbed within this area are likely to be no larger than 2-3cm in diameter and can easily be ameliorated by retaining a qualified arborist to supervise excavation, root prune as required and fertilize to promote root regeneration. This tree is healthy and vigorous and has an excess of stored energy (carbohydrates) to easily recover from this minor disturbance.
3. To further protect each tree scheduled for preservation from the potential of construction disturbance, it is recommended that the below listed tree preservation recommendations are implemented.

1.0 ESTABLISH TREE PROTECTION ZONE

The purpose of the tree protection zone (TPZ) is to prevent root damage, soil compaction and soil contamination. Workers and machinery shall not disturb the tree protection zone in any way. To prevent access, the following is required:

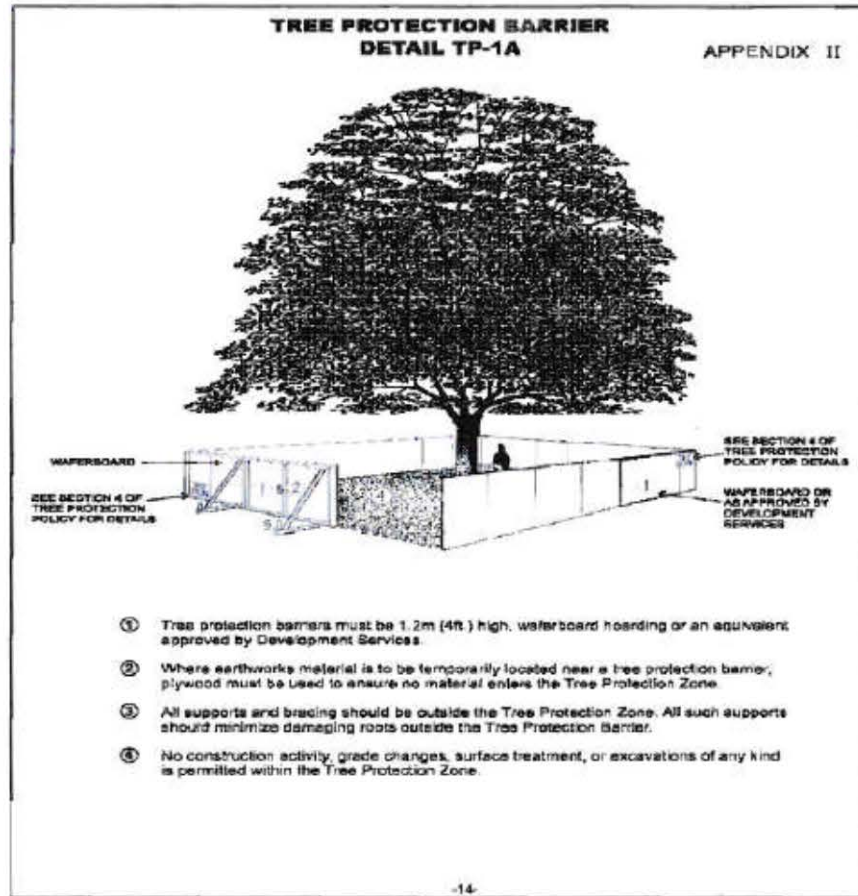
- 1.1 Install hoarding as per attached Tree Protection Plan in Appendix L.
- 1.2 Hoarding shall consist of the following:

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- 1.3 When visibility is a consideration and **upon approval from the City**, 1.2 meter high orange plastic web snow fencing on a 2”X4” frame is recommended.
- 1.4 **Upon approval from the City of Mississauga, substitute wooden and/or orange plastic web snow fencing hoarding with a page wire fence supported by T-bars.**
- 1.5 No fill, equipment or supplies are to be stored within the tree protection zone.
- 1.6 Activities, which are likely to injure or destroy tree(s), are not permitted within the TPZ.
- 1.7 No objects may be attached to tree(s) within the TPZ.
- 1.8 Tree protection barriers are to be erected prior to the commencement of any construction or grading activities on the site and are to remain in place in good condition throughout the entire duration of the project.
- 1.9 Once all tree/site protection measures have been installed you must notify Urban Forestry staff to arrange for an inspection of the site and approval of the site protection requirements.
- 1.10 All Hoarding shall not be removed until all construction activity is complete.
- 1.11 A sign that is similar to the illustration below must be mounted on all sides of a tree protection barrier for the duration of the project. The sign should be a minimum of 40cm X 60cm and made of white gator board, laminates or equivalent material.

**TREE PROTECTION ZONE (TPZ)**

No grade change, storage of materials or equipment is permitted within the TPZ. The tree protection barrier must not be removed without the written authorization of Urban Forestry.

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## 2.0 ROOT PRUNING

Where possible, hand dig areas closest to each tree to prevent any unnecessary tearing or pulling of roots. Removal of roots that are greater than 2.5 centimetres in diameter or roots that are injured or diseased should be performed as follows:

- 2.1 Preserve the root bark ridge (similar in structure to the branch bark ridge). Directional Root Pruning (DRP) is the recommended technique and should be used during hand excavation around tree roots. Roots are similar to branches in their response to pruning practices. With DRP, objectionable and severely injured roots are properly cut to a lateral root that is growing downward or in a favorable direction.
- 2.2 All roots needing to be pruned or removed shall be cut cleanly with sharp hand tools, by a Certified Arborist or by the PCA.
- 2.3 No wound dressings/pruning paint shall be used to cover the ends of each cut.
- 2.4 All roots requiring pruning shall be cut using any of the following tools:
  - Large or small loppers
  - Hand pruners
  - Small hand saws
  - Wound scribes
- 2.5 Avoid prolonged exposure of tree roots during construction - keep exposed roots moist and dampened with mulching materials, irrigation or wrap in burlap if exposed for longer than 4 hours.

## 3.0 ESTABLISH MAINTENANCE PROGRAM

All maintenance work must be completed by the approved Project Consulting Arborist or an equivalent qualified arborist.

### *Pre-Construction:*

- 3.1 Prune trees to remove deadwood, objectionable limbs while maintaining crown form.

### *During- Construction:*

- 3.2 Irrigate tree preservation zones during drought conditions, June – September, to reduce drought stress.
- 3.3 Inspect the site every month to ensure that all hoarding is in place and in good condition. Inspect the trees to monitor condition.

### *Post-Construction:*

- 3.4 Inspect the trees two times per year – May and September – to monitor condition for a minimum of 2 additional years.

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#### 4.0 LANDSCAPING

Any landscaping completed within the tree preservation zones, after construction is completed and hoarding has been removed, cannot cause damage to any of the trees or their roots. The trees must be protected for the same reasons listed above but without using hoarding.

4.1 No grade changes are permitted which include adding and/or removing soil.

4.2 No excavation is permitted that can cause damage to the roots of the tree.

4.3 No heavy equipment can be used to compact the soil within the tree preservation zone.

4.4 Any hard-surface sidewalks, paths, etc. should be constructed using permeable products such as interlocking stone, etc.

#### SUMMARY TABLE:

Tree Category	Total	Scheduled for Preservation		Remove
		Preserve	Preserve with Injury	
4 (Town owned trees)	5	5	0	0
2 (Regulated tree within 6.0 m of the Subject Site)	13	13	0	0
1 (Regulated tree on subject site)	4	3	1	0
<b>Total</b>	<b>22</b>	<b>22</b>		<b>0</b>

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#### CONCLUSIONS:

As listed in the Summary Table above, 22 regulated trees are involved with this project, 5 of which are located within the municipal road allowance. One tree located on the subject site cannot maintain 100% of its prescribed TPZ and therefore is to be injured. Finally, with the above in mind, it's the consultant's opinion that if the above tree preservation recommendations are implemented, which includes installing tree protection hoarding as mandated by the City of Mississauga as outlined in this report, proposed construction will not adversely affect the long-term health, safety and/or existing condition of all trees scheduled for preservation.

Trusting this report meets your needs. For further information, you may contact me directly at (905)-469-1717 or at [cgavin@thetreespecialists.com](mailto:cgavin@thetreespecialists.com).

THE TREE SPECIALISTS, INC.



**Cletus Gavin, B.Sc.**  
ISA Certified Arborist (ON-1576A)  
E-mail: [cgavin@thetreespecialists.com](mailto:cgavin@thetreespecialists.com)

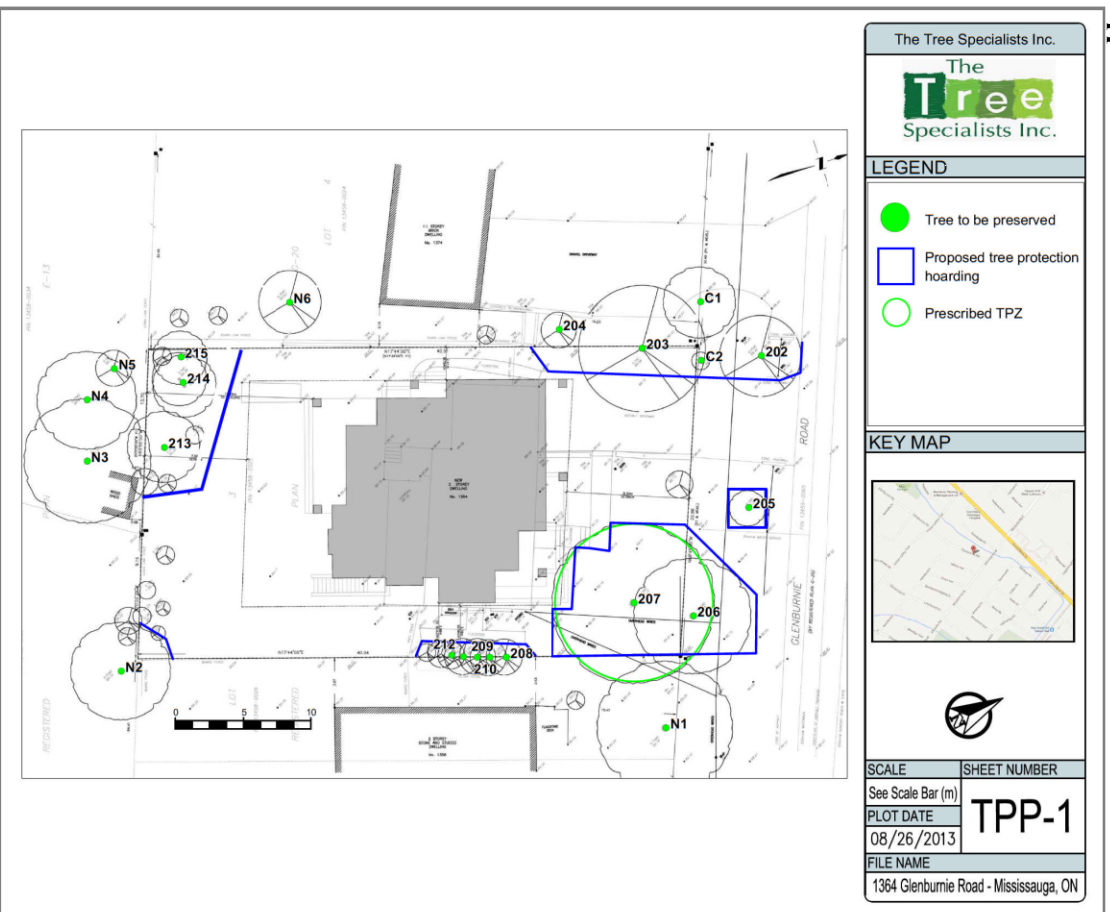
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#### Appendix I: Tree Preservation Plan



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**The Tree Specialists Inc.**

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**Appendix II:**

**ASSUMPTIONS AND LIMITING CONDITIONS**

1. Care as been taken to obtain all information from reliable sources. All data has been verified insofar as possible; however *The Tree Specialists, Inc.* can neither guarantee nor be responsible for the accuracy of information provided by others.
2. Unless otherwise required by law, possession of this report or a copy thereof does not imply right of publication or use for any purpose in whole or in part by any other than the person to whom it is addressed, without the prior expressly written or verbal consent of the author or his company.
3. Excerpts or alterations to the report, without the authorization of the author or his company invalidates its intent and/or implied conclusions. This report may not be used for any expressed purpose other than its intended purpose and alteration of any part of this report invalidates the report.
4. **Unless expressed otherwise: 1) information contained in this report covers only those items that were examined and reflect the condition of those items at the time of inspection; and 2) the inspection was made using accepted arboricultural techniques and is limited to visual examination of accessible items without climbing, dissection, probing or coring and detailed root examination involving excavation. While reasonable efforts have been made to assess trees outlined in this report, there is no warranty or guarantee, expressed or implied, that problems or deficiencies with the tree(s) or any part(s) of them may not arise in the future. All trees should be inspected and re-assessed periodically.**
5. The determination of ownership of any subject tree(s) is the responsibility of the owner and any civil or common-law issues, which may exist between property owners with respect to trees, must be resolved by the owner. A recommendation to remove or maintain tree(s) does not grant authority to encroach in any manner onto adjacent private properties

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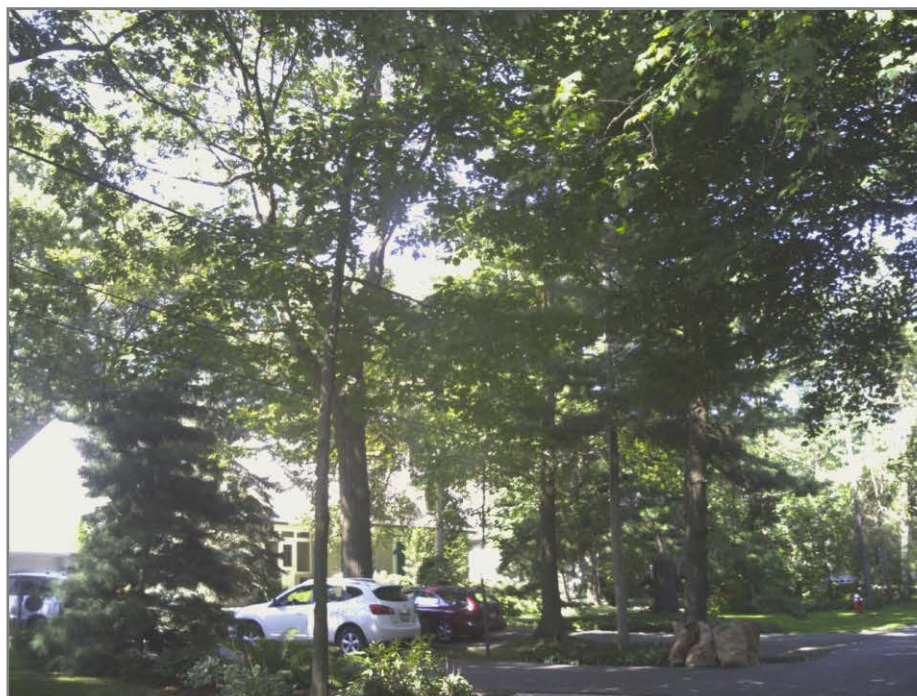
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**Appendix III:**

**DIGITAL IMAGES**

**Photo #1: Trees no202-203, 205 and C1-C2 looking west**



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Photo #2: Trees no. 206-208 and N1 looking southwest.



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Photo #3: Trees no. 213-215 and N3-N5 looking southwest.



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Property Research in Peel ~ A How To Guide~

<http://www.pama.peelregion.ca/en/pamascollection/resources/Heritage%20Property%20Research%20Guide%20-%20Draft%2019%20-%20Final.pdf>

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IT REFERENCE

LOT. No. \* 1 \*

2ND RANGE

CONCESSION S.D.S.

INSTRUMENT	ITS DATE	DATE OF REGISTRATION	GRANTOR	GRANTEE	QUANTITY OF LAND	CONSIDERATION OR AMOUNT OF MORTGAGE	REMARKS
PATENT	5NOV1871		THE CROWN	HON. SAMUEL SMITH JOHN B. ROBINSON	ALL		TRUSTEES FOR SALE
16 B.S.	5AUG1835	8SEP1835	JOHN B. ROBINSON	HENRY CARPENTER	**	£215.	
17 **	6AUG1850	17AUG1850	JOSEPH ADAMSON	JAMES ADAMSON	**	£50.	

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CREDIT RESERVE

LOT No.    • 2 •

2ND RANGE

CONCESSION<sub>S.D.S.</sub>

INSTRUMENT	ITS DATE	DATE OF REGISTRATION	GRANTOR	GRANTEE	QUANTITY OF LAND	CONSIDERATION OR AMOUNT OF MORTGAGE	REMARKS
PATENT	5NOV1871		THE CROWN	HON. SAMUEL SMITH JOHN B. ROBINSON HENRY CARPENTER	ALL		TRUSTEES FOR SALE
12096 B.S.	5AUG1835	8SEP1835	JOHN B. ROBINSON		"	£215.	
37747 "	6AUG1850	17AUG1850	JOSEPH ADAMSON	JAMES ADAMSON	"	£50.	

LOT No. 3		3 Range		CONCESSION		Sef Dundas St	
INSTRUMENT	ITS DATE	DATE OF REGISTRATION	GRANTOR	GRANTEE	QUANTITY OF LAND	CONSIDERATION OR AMOUNT OF MORTGAGE	REMARKS
Patent 6 Nov 1831			The Crown	Hon. Samuel Smith John B. Robinson	All		Trustees for sale
1009 B.S.	19 July 1835	22 July 1835	John B. Robinson	Thomas L. B. Evans	"	£142. 1/2	
6110 B.S.	"	"	Thomas L. B. Evans	John B. Robinson	"	£145. 1/4	htader
1225 B.S.	21 July 1835	22 July 1835	John B. Robinson	Thomas L. B. Evans	"	£145	htader
6881 B.S.	11 July 1835	22 July 1835	Thomas L. B. Evans	John B. Robinson	"	£145	
1496 B.S.	"	"	John B. Robinson	Thomas L. B. Evans	"	£145	htader
1272 B.S.	15 June 1835	12 July 1835	Thomas L. B. Evans	John B. Robinson	"	£145	htader
100 B.S.	10 June 1835	22 July 1835	James Frederick & Co.	Alexander M. Thomson	25 acres	£150	
106 B.S.	"	"	Alexander M. Thomson & Co.	William M. Thomson	"	£150	
1210 B.S.	15 July 1835	22 July 1835	John B. Robinson	Thomas L. B. Evans	"	£145	



TOWNSHIP OF TORONTO					
481					
In the SECOND RANGE Concession C.I.R.					
Its Date	Date of Registration	GRANTOR	GRANTEE	Consideration or Amount of Mortgage	REMARKS
5May1869	6 Sep1869	Bank of Upper Canada	John Crickmore	\$7000.00	All and O.L.
2Jul1869	20Sep1869	John Crickmore et ux	Wm. B. Hunter	25000.00	All and O.L.
10Jul1869	20Sep1869	Wm. B. Hunter et ux	Peel General Mfg. Co.	14000 shares.	All and O.L.
Sep1876	23Sep1876	Peel General Mfg. Co.	S. S. Lee	20000.00	Part and O.L. E.H.S.
8Nov1876	4 Apr1877	S. S. Lee et al	Canada Life Assce. Co.	5.00 & C.	Part and O.L. E.H.S.
9Nov1885	21Dec1885	Isaac Middleton et al	John Forder Jr.	10930.00	All and O.L. 182.20 E.H.S.
9Nov1885	21Dec1885	John Forder Jr.	Isaac Middleton et al	9932.00	All and O.L. E.H.S.
5Mar1886	14May1886	Canada Life Assce. Co. et al	Peel General Mfg. Co.	6000.00	Part and O.L. E.H.S.
Apr1886	4 Nov1886	The Crown	Wm. J. McKay et al	1232.00	Part and O.L. E.H.S.
10Oct1889	9 Nov1889	John Forder Jr. et al	Henry H. Shaver	11304.30	Part and O.L. E.H.S.
7Dec1889	1 May1890	H. Herbert Shaver et ux	Miles W. Cook	4500.00	Part and O.L. E.H.S.
Nov1891	24Dec1891	The Crown	Sir Melville Parker	1160.00	N. part 72 1/2 ac. W.H.S. -?
10Apr1893	8Sep1893	W. J. McKay Extr.	Miles W. Cook	3012.80	leaving 4132.00 Part & O.L. E.H.S.
		J. W. Cotton			
5Sep1893	4 Oct1893	W. J. McKay Extr.	Humphrey E. Buchan et al	3000.00	security. Part & O.L. E.H.S.
			Trustees		
6Apr1896	20May1896	Wm. J. McKay sole sur. Extr.	The Trusts Corp. of Ontario	1.00	Part (except parts sold) & O.L. E.H.S.
		J. W. Cotton Hst.			
1May1896	22May1896	Humphrey E. Buchan et al	Toronto General Trusts		27.15 ac. Part and O.L.
		Trustees under will of	Co. et al (E)		Vested in George Johnson and
		Hon. Wm. McMaster (P)			27.4 ac. Part and O.L. Vested
					in William Naish. E.H.S.
4Mar1889	27Mar1889	George Johnson (widower)	John Davis	600.00	Part and O.L. E.H.S.
4Mar1899	27Mar1899	George Johnson (widower)	Charles Wm. Noble	1020.00	Part and O.L. E.H.S.
		TO BOOK "C"			

Page 546		Lot No.	Lot 2	Range 2	Concession	Credit Indian Reserve.		
No. of Instrument	Instrument	ISS DATE	DATE OF REGISTRATION	GRANTOR	GRANTEE	QUANTITY OF LAND	Consideration or Amount of Mortgage	REMARKS
1355	Grant	12Mar1912	19Mar1912	James Jennings et ux	Edward Burns	pt 25	11000.00	ely pt. W.H.S.
1356	Grant	11Mar1912	24Apr1912	Thomas A. Martin et ux	David B. Hughes	pt	4000.00	pt & O.L. W.H.S.
1346	Offer	19Apr1912	29Apr1912	Onsey M. Hudson	Layton J. Weather	pt 4.85/100	4000.00	pt & O.L. W.H.S.
1371	Agree	10May1912	14May1912	Chas. M. Gunnerson et ux	Wm. H. Cunningham	pt	425.00	pt & O.L. W.H.S.
1367	Grant	27Jan1912	27Jul1912	Lucinda Gunnerson married George Bell		pt 2	1400.00	pt W.H.S.
1372	Grant	30Sep1912	30Oct1912	Milford A. Gunnerson	Charles W. Gunnerson	4.4/5	1.	to correct description in 14
1372	Grant	30Sep1912	2 Oct1912	Chas. M. Gunnerson et ux	Milford A. Gunnerson	pt & O.L.	1.	lands intended to be c in instrument #14082
1375	M.	30Sep1912	30Oct1912	Wellington B. Gunnerson et ux	Milford A. Gunnerson	pt 40	175.00	pt A
1376	Grant	30Sep1912	2 Oct1912	Milford A. Gunnerson	Wellington B. Gunnerson	pt & O.L.	1.	to correct error in 1455
1384	M.	12Nov1912	27Nov1912	Wm. R. Hadsoworth et ux	John Davis	pt	5420.00	pt & O.L.
1385	Grant	28Nov1912	27Nov1912	John Davis unmarried	Wm. R. Hadsoworth	pt	1000.00	& Mtgs back for \$5400.00
1388	Mort.	29Aug1912	28Aug1912	Vipond & Sonney	Wm. R. Hadsoworth	pt & O.L.	450.00	pt & O.L. 24/4/39
1340	Grant	15May1912	23Sep1912	Wellington B. Gunnerson	Winifred E. Gunnerson	pt & O.L.	1.	pt & O.L. M.H.S. 7?
1371	Grant	30Dec1912	30Jan1914	Andrew Robertson et ux	Wm. A. Bowbeer	pt 10	5000.00	pt except pt. M.H.S.
1318	Grant	25Mar1914	22Jul1914	Lucinda Gunnerson	Aaron Gunnerson	pt 1	1.	pt W.H.S.
1319	Grant	25Mar1914	22Jul1914	Lucinda Gunnerson	Aaron Gunnerson	pt 1/2/3	1.	pt W.H.S.
1376	A.M.	25Mar1914	19Sep1914	Lucinda Gunnerson	Aaron Gunnerson	pt 2	1.	assigning Mtgs Date 27th 1912 W.H.S.
1360	Grant	9Apr1916	21Apr1916	Andrew Robertson et ux	Marie S. McGill	pt	3800.00	pt W.H.S.
1352	Grant	4 Oct1916	19Nov1916	Wm. A. Bowbeer et ux	Elizabeth Mathews	pt 10	1. etc	pt W.H.S.
1377	Grant	6Sep1916	4Sep1916	Wellington B. Gunnerson et ux	Ben F.K. Goldthorpe		1. etc	pt & O.L. W.H.S.
1353	D.M.	11Sep1916	11Sep1916	George McClelland	W.B. Gunnerson			Dischg. 15175 W.H.S.
1354	M.	25Aug1917	7Sep1917	John M. Vale et ux	Samuel Pickering	Sec	2500.00	pt & O.L. W.H.S.
1355	Grant	25Aug1917	7Sep1917	Samuel Pickering et ux	John M. Vale et ux	3	1. etc	pt & O.L. W.H.S.
1306	Grant	18Jun1918	6Feb1918	Elizabeth Mathews	George F. Burton		1.	10 acres less 5 acres.
1300	Grant	10Jul1918	26Aug1918	Milford A. Gunnerson et ux	Wm. H. Cunningham		1500.00	pt & O.L. W.H.S.
1301	M.	11Jul1918	26Aug1918	Wm. H. Cunningham et ux	Lisa B. Brunskill		1500.00	pt & O.L.
1305	M.	12Feb1919	10Feb1919	Fred. Adams et ux	Aaron Gunnerson		560.00	pt W.H.S. 24/4/39
1306	Grant	6Feb1919	12Feb1919	Aaron Gunnerson et ux	Fred. Adams	2.2/5	1600.00	pt W.H.S.
1305	Q.O.	6Feb1919	10Jul1919	Burgayne Gordon et ux	Arthur L. Gordon		1.	pt as shown on Plan F
1307	Q.O.	6Feb1919	10Jul1919	Ottillie Bridge	Arthur L. Gordon		1.	" " "
1308	Q.O.	6Feb1919	10Jul1919	Burgayne Gordon et ux	Arthur L. Gordon		1.	" " "
1300	Grant	2May1919	18Jul1919	George F. Burton et ux	Wm. A. Bowbeer	5ac	4500.00	pt
1301	M.	May 1919	18Jul1919	Wm. A. Bowbeer et ux	George F. Burton	5ac	1515.00	pt
1309	Agree	1May1919	29Jul1919	Onsey M. Hudson	Ellen Gallowith	4.35/100		Assign (14944) W.H.S.
1304	Grant	25Jul1919	2Aug1919	Samuel Pickering et ux	Frank Bernard		1.	pt & O.L. W.H.S.
1305	M.	25Jul1919	2Aug1919	Frank Bernard et ux	Samuel Pickering		5000.00	pt & O.L.
1303	M.	25Sep1919	27Sep1919	Wilson B. Markle et ux	Wellington B. Mitchell		4700.00	pt & O.L. W.H.S.
1304	Grant	24Sep1919	27Sep1919	Wellington B. Mitchell et ux	Wilson B. Markle		10700.00	pt & O.L. W.H.S.
1305	Grant	25Sep1919	27Sep1919	Wilson B. Markle et ux	George S. Gallowith		13500.00	pt & O.L. W.H.S.
1302	Grant	12 Aug1919	4Oct1919	David B. Hughes et ux	Spencer S. Hunter	1.55/100	4500.00	pt & O.L. W.H.S.
1309	Grant	29Sep1919	30Oct1919	Milford A. Gunnerson et ux	Alfred A. Thompson		5000.00	pt & O.L. W.H.S.



page 546 Lot No. 2 Second Range Concession Credit Indian Reserve.

INSTRUMENT	ISS DATE	DATE OF REGISTRATION	GRANTOR	GRANTEE	QUANTITY OF LAND	Consideration or Amount of Mortgage	REMARKS
M.	24Sep1919	11Oct1919	Philip W. Greene et ux	Wm. A. Bowbeer	5	\$305.00	pt W.H.S.
Grant	24Aug1919	11Oct1919	George F. Burton et ux	Philip W. Greene	5	1.	pt W.H.S.
Grant	20Oct1919	7Nov1919	Arthur L. Gordon exr.	Dixie C. Cotton	54/100	\$25.00	pt W.H.S.
Grant	1 Oct1919	20Nov1919	Charles M. Gunnerson et ux	Wm. E. Ward	2	\$500.00	pt & O.L. W.H.S.
M.	20Nov1919	20Nov1919	Spencer De Wynter et ux	Samuel Rogers		\$500.00	pt & O.L.
Q.C.	22Mar1920	14Apr1920	Charles M. Gunnerson et ux	Wm. E. Ward	pt & O.L.	1.	pt & O.L. correcting error in number 19435 W.H.S.
M.	20Mar1920	14Apr1920	Wm. E. Ward et ux	Samuel Rogers	pt & O.L.	\$500.00	pt & O.L. W.H.S.
Grant	15Oct1919	24Apr1920	Spencer De Wynter et ux	Richard H. Miller		\$20.00	pt & O.L. W.H.S.
Grant	11Mar1920	19Jul1920	Aaron Gunnerson et ux	George Bell	1.	\$20.00	pt W.H.S. reg. 1920
Grant	11May1920	22Jul1920	Fred. Adams et ux	Wm. A. Bowbeer	2.2/5	\$400.00	pt W.H.S.
M.	10Jun1920	22 Jun1920	Wm. A. Bowbeer et ux	Fred. Adams	"	\$500.00	pt W.H.S. 12/1/2
Grant	11Mar1920	13Jul1920	Aaron Gunnerson et ux	George Bell	pt1	\$60.00	pt W.H.S.
M.	16Jul1920	17Jul1920	Wm. E. Ward et ux	Wm. E. Ward	2	\$500.00	pt & O.L. MAY 31 1937
Grant	25Sep1920	7Oct1920	Philip W. Greene et ux	Robert M. Dunlop	5	1.	pt W.H.S.
Grant	25Oct1920	11Nov1920	Wm. A. Bowbeer et ux	Albert E. Woods	2.2/5	\$400.00	giving second mortgage for \$500.00 & assumption of mortgage for \$500 W.H.S.
M.	25Oct1920	11Nov1920	Albert E. Woods et ux	Wm. A. Bowbeer	2.2/5	\$500.00	pt W.H.S.
Grant	26Oct1920	15Nov1920	George F. Burton et ux	Wm. A. Bowbeer	5	2.2/5	pt W.H.S.
M.	26Oct1920	15Nov1920	Wm. A. Bowbeer et ux	George F. Burton	5	\$200.00	pt NOV 23 1935
A.M.	26Oct1920	15Nov1920	Wm. A. Bowbeer	George F. Burton	5	\$305.00	assign (19308) W.H.S.
PLAN	15Oct1920	16Nov1920	Edward Burns				Subdivision of part of said 1st W.H.S.
Grant	28Feb1921	16Mar1921	Robert M. Dunlop et ux	Wm. A. Bowbeer	1.	1.	pt W.H.S.
Grant	18Mar1921	10Mar1922	Robert M. Dunlop et ux	Karna Patchett	5	\$600.00	pt W.H.S.
A.M.	1Apr1921	7Apr1921	Samuel Rogers	Gertrude Rogers		1.	pt & O.L. W.H.S.
Mr.	20Mar1921	20May1921	George F. Burton	Wm. A. Bowbeer			dischg. pt in 190414
Mr.	24Mar1921	24May1921	George F. Burton	Philip W. Greene			pt dischg. 19202 W.H.S.
Grant	7Aug1921	9May1921	Georg M. Hudson	Georgina E.M. Sheather et ux	4.25/100	\$200.00	pt & O.L. W.H.S.
Grant	14May1921	27May1921	Charles M. Gunnerson et ux	Josephine W. Gardiner	4.4/5	\$500.00	pt & O.L. W.H.S.
Mr.	14Jun1921	17Jun1921	Aaron Gunnerson	Fred. Adams			dischg. 19016 19451
Grant	10Jul1921	22Jun1921	Albert E. Woods et ux	Ida H. Brasier	2.2/5	\$500.00	pt W.H.S.
Grant	25Jul1921	2Aug1921	George Bell et ux	John F. Burrows	1.2/5	\$150.00	pt W.H.S.
Mr.	20Sep1921	20Sep1921	William E. Mitchell	William E. Mitchell	2.25/100	\$1000.00	dischg. pt 190414
Grant	28Sep1921	29Sep1921	George C. Crickshank et ux	Wm. E. Stollwerth	" "	\$500.00	pt & O.L. W.H.S.
Mr.	28Sep1921	29Sep1921	Wm. E. Stollwerth et ux	Geo. C. Crickshank	" "	\$500.00	pt & O.L. W.H.S.
Mr.	28Sep1921	29Sep1921	Geo. C. Crickshank	William E. Mitchell	" "	1.	pt & O.L. W.H.S.
Mr.	28Sep1921	29Sep1921	William E. Mitchell	William E. Mitchell	2.45/100	\$1000.00	dischg. pt 190414
Grant	30Sep1921	29Oct1921	Geo. C. Crickshank et ux	Lillian M. Samuel	" "	\$500.00	pt & O.L. W.H.S.
Mr.	30Oct1921	29Oct1921	Lillian M. Samuel et ux	Geo. C. Crickshank	" "	\$500.00	pt & O.L. 7
Grant	10Nov1921	24Nov1921	Geo. C. Crickshank et ux	James A. Young	5.25/100	1.	pt & O.L. W.H.S.



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Page 47		Lot No. 2	Second Range		Concession	Credit Indian Reserve.		
OF	INSTRUMENT	ITS DATE	DATE OF	GRANTOR	GRANTEE	QUANTITY OF	CONSIDERATION	REMARKS
DEED			RECORDED			LAND	OR AMOUNT OF	
							RENTAGE	
12	M.H.	30Nov1921	1Jan1922	Wellington B. Mitchell	William B. Markle	1.00/100	1500.00	standing pt 1922
14	M	15Dec1921	1Jan1922	James A. Burns etur	Geo. C. Craickahask		7500.00	pt & o.l. E.H.S.
15	A.H.	15Dec1921	1Jan1922	Geo. C. Craickahask	Wellington B. Mitchell	"	7500.00	pt & o.l. E.H.S. 1924 (
16	M	1Jan1922	1Jan1922	Ada E. Fraser	Mary A. Bell	2 1/2	1000.00	pt
17	M	2Feb1922	2Feb1922	William M. Soud etur	Geo. C. Ford	2	1500.00	2 o.l. MAY 31 1937
19	M	18Mar1922	21Mar1922	Josephine M. Gardiner	Murray Gordon	{ 8 1/5 }	1500.00	pt & o.l. W.H.S.
20	M	21Mar1922	21Mar1922	Geo. F. MacFarlane etur	John F. Burrows	1 acre & 200	4000.00	pt W.H.S.
21	Grant	15Mar1922	31Mar1922	John F. Burrows	Sam. F. MacFarlane	1	2.0040	pt W.H.S.
22	Grant	16Mar1922	5Apr1922	John M. Yale etur	John F. Burrows		4000.00	pt & o.l. W.H.S.
23	D.H.	21Mar1922	2Apr1922	Samuel Pickering	John M. Yale etur			standing pt (1922) W.H.S.
24	D.H.	11Apr1922	26Apr1922	Geo. E. Dutton	Geo. A. Bowbeer etur			standing 1922
25	Grant	18Apr1922	26Apr1922	Norman Patchett etur	Hilma G. Johnston etal	5	6500.00	pt W.H.S.
26	M	15Apr1922	26Apr1922	Hilma G. Johnston etal	Norman Patchett	"	4915.00	pt W.H.S. Page 744
27	Grant	27Apr1922	5May1922	John Davis etal	Walter Calvert	3 1/2	6800.00	pt W.H.S.
28	M	1May1922	4May1922	Walter Calvert etur	John Davis etal		6000.00	NOV 19 1935
29	Grant	27Apr1922	5May1922	Martha A. Davis	John Davis	1/2	1.	pt W.H.S.
30	D.H.	4May1922	10May1922	Wellington B. Mitchell	William B. Markle			standing 1922
31	Grant	1May1922	10May1922	George C. Craickahask etur	Arthur V. Sterling		8700.00	pt & o.l. E.H.S.
32	A.H.	10May1922	11May1922	Wellington B. Mitchell	Geo. C. Craickahask		1.	Assign. (1920 & 1921) W.H.S.
33	M	1Jun1922	10Jun1922	James Heywood etur	Ben. F.H. Goldthorpe		1900.00	pt & o.l. W.H.S.
34	Grant	1Jun1922	10Jun1922	Ben. F.H. Goldthorpe	James Heywood & Mary A. Heywood		2900.00	pt & o.l. W.H.S.
35	M	20Jun1922	20Jun1922	John M. Yale etur	Sam. F.H. Goldthorpe		4500.00	pt & o.l. JUL 15 1938
36	M.H.	29Jun1922	29Jun1922	Richard Brooks etal	John M. Yale		1550.00	pt & o.l.
37	Over L.	10Aug1922	10Sep1922	Fred Varley etal	Richard Brooks			standing 1922
38	M	1Nov1922	12Jan1923	Josephine M. Gardiner etur	Geo. A. Neelands	pt	5000.00	pt & o.l. W.H.S.
39	Grant	25Nov1922	31Jan1923	W.M.A. Bowbeer etur	James Sargeant etur	10	1. etc	Awly 28th of Dec 1922
40	M	25Nov1922	31Jan1923	James Sargeant etur	W.M.A. Bowbeer	10	5000.00	NOV 29 1922
41	Grant	2Mar1923	16Mar1923	Walter Calvert etur	Wm. W. Farr etur		1500.00	pt W.H.S.
42	pt & o.l.	16Mar1923	16Mar1923	John Davis etal	Walter Calvert			standing 1922
43	M	16Mar1923	16Mar1923	Wm. W. Farr etur	John Davis etal		2100.00	pt
44	M	23Jul1923	23Jul1923	Wm. W. Farr etur	Margaret Bowbeer	pt	4000.00	pt
45	C.R.	23Jul1923	23Jul1923	Finance Ltd.				NOV 23 1923
46	Agree	18Aug1923	21Aug1923	Josephine M. Gardiner	Chas. M. Gammerson etal	4.4/5	1. etc	pt & o.l. W.H.S.
47	Grant	13Jul1923	21Aug1923	Charles M. Gammerson etur	Josephine M. Gardiner	"	1. etc	pt & o.l. W.H.S.
48	D.H.	20Sep1923	22Sep1923	Isabella Davis etal	William W. Farr	pt		1923
49	D.H.	28Aug1923	28Sep1923	Josephine M. Gardiner	George A. Neelands	4.4/5	1. etc	pt & o.l. W.H.S.
50	D.H.	20Sep1923	2 Oct1923	Hilma G. Johnston	Ada E. Halloway etal	pt	2000.00	pt
51	D.H.	28Sep1923	31Oct1923	Samuel Pickering	John F. Burrows & John M. Yale etur			standing 1923
52	Grant	22Nov1923	17Nov1923	James Sargeant etur	Margaret Bowbeer	10	500.00	





Lot No.	Lot 2	Second Range	Concession	Credit Indian Reserve.			
CONVEY	DEED DATE	DATE OF REGISTRATION	GRANTOR	GRANTEE	QUANTITY OF LAND	Consideration or Amount of Mortgage	REMARKS
rest	20Dec1923	11Mar1924	Anna L. MacCallum	Georgina E.W. Sheather	4.3/100	1500.00	Agreed extending Hige. w.H.S.
M.	15Mar1924	19Mar1924	George F. Burton	Arthur J. Adanson		2542.75	Assigning(19200) w.H.S.
M.	7Apr1924	10Apr1924	Ada E. Hollisworth Olive M. Wood & Hilma C. Johnston	Bella Scott	pt	200.00	pt
L.C.	30May1924	5Jul1924	George C. Neelands	Murray Gordon	5.1/5	1.	pt & O.L. except pte sold w.H.S.
M.	1924	28Sep1924	Geo. C. Grutskhank	Lillian M. Gammel	5.45		Dischg. 21528
M.	10Oct1924	1 Oct1924	Lillian M. Gammel et ux	Bartholomew J. Ball	3.45	4000.00	pt & O.L. NOV 23 1925
M.	19Oct1924	21Oct1924	Bella Scott	Ada E. Hollisworth et ux			Dischg. 21528
M.	24Oct1924	29Oct1924	Frank Gerhardt et ux	Standard Life Assurance Co.	pt	4000.00	pt & O.L. w.H.S.
M.	25Oct1924	28Nov1924	Frank Gerhardt et ux	Muriel G. Sinclair	pt	1000.00	pt & O.L. 1925
M.	30Oct1924	14Nov1924	Gammel Pickering	Frank Gerhardt	pt		Dischg. 19125
M.	23Dec1924	11Dec1924	Canada Permanent Mortgage Corporation	Spencer B. DeWynter	pt		Dischg. 19423
M.	12Dec1924	11Dec1924	Spencer B. DeWynter et ux	Edward A. Cox	pt	2000.00	pt & O.L. w.H.S.
rest	10Feb1925	14Feb1925	William R. Wadsworth	Mildred A. Wadsworth	pt	1.00	pt & O.L. E.H.S.
M.	7Apr1925	11Apr1925	Mildred A. Wadsworth & Wm. R. Wadsworth	Canada Permanent Mortgage Corporation	pt	10000.00	pt & O.L. E.H.S.
M.	15Apr1925	20Apr1925	Isabelle Davis et ux Ears of John Davis Deceased	Wm. R. Wadsworth	pt		Dischg. 15284 JUN 11 1935
See Order 29049							
Plan	10May1925	22May1925	Edward A. Hobblerlin	subdivision of part of said lot.			E.H.S.
M.	5Apr1925	30Jul1925	Isabelle Davis & Robert J. Davis Ears of John Davidson	Walter Calvert	pt		Dischg. 21824 NOV 19 1935
Grant	30Mar1925	30Jul1925	Walter Calvert et ux	Hilton G.S. Hassell & Elizabeth Hassell	pt	2500.00	pt w.H.S.
M.	12Apr1925	30Jul1925	Hilton G.S. Hassell & Elizabeth Hassell	Walter Calvert	pt	1081.12	pt JUL 15 1937
Q.C.	24Aug1925	28Aug1925	Milford S. Gummeron et ux Charles H. Gummeron et ux	Wm. R. Cunningham Ida I. Cunningham	pt	1.	pt & O.L. w.H.S.
M.	2Jul1925	21Aug1925	Wm. R. Cunningham et ux	The Agrl. Devlp. Board	pt	2000.00	pt & O.L. 1/2/42 w.H.S.
M.	10Sep1925	17Sep1925	Ada E. Hollisworth Olive M. Wood & Hilma C. Johnston	Stanford H. Dawson	pt	1000.00	pt w.H.S. 2/2/25
M.	19Sep1925	19Sep1925	Ida I. Cunningham	Wm. R. Cunningham			Dischg. 18451 NOV 22 1935
M.	17Sep1925	24Sep1925	Lillian M. Gammel	Maud Torrence	5.45	2500.00	pt & O.L. 1/2/25 w.H.S.
M.	20Sep1925	20Oct1925	Mortgage Discharge etc.	Wm. R. Dawson	pt	1.	assign(12099) NOV 23 1935
M.	22Sep1925	20Oct1925	George F. Burton	Wm. R. Dawson	pt		Dischg. 20404 NOV 23 1935
M.	20Sep1925	20Oct1925	Wm. R. Dawson	Margaret Dawson	pt		Dischg. 20404 NOV 23 1935
M.	12Sep1925	20Oct1925	Margaret Dawson et ux	Vivian C. Barnes et ux	pt	4000.00	pt & O.L. 1/2/25 w.H.S.
M.	12Sep1925	20Oct1925	Bartholomew J. Ball	Lillian M. Gammel & Vivian C. Barnes et ux	pt		Dischg. 20404 NOV 23 1935
M.	6Oct1925	12Oct1925	Ada E. Hollisworth & Olive M. Wood	Canada Permanent Mortgage Corporation	5	1.00	pt except pt w.H.S.
M.	22Dec1925	22Jan1926	James A. Burns	George C. Grutskhank	5.25	1.00	pt & O.L. E.H.S.



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from page 549 Lot No. 2 Second Range Concession Credit Indian Reserve.

No. of Instrument	Instrument	IN Date	Date of Registration	GRANTOR	GRANTEE	Quantity of Land	Consideration or Amount of Mortgage	REMARKS
27455	M.	15Mar1926	24Apr1926	William H. Gangel & Walter W. Gangel	Edward A. Thompson	2.00	1200.00	pt & O.L. W.H.S.
27765	Grant	16Dec1924	22Jun1926	Murray Gordon et ux	Ethel M. Case	4.4/5	2.00 mortgage for \$6000.00 & second mortgage for \$2100.00	W.H.S.
27764	M.	15Dec1924	22Jun1926	Ethel M. Case et ux	Murray Gordon	4.4/5	2100.00	pt & O.L. W.H.S.
27765	Grant	16Jun1926	22Jun1926	Ethel M. Case	Ernest Reithman et ux	4.4/5	2.00 mortgage of \$4000.00 & second mortgage for \$1920.00	W.H.S.
27789	Grant	10Mar1925	29Jun1926	Walter Olver et ux	William W. Parr & Sarah A. Parr	pt	250.00	pt as joint tenants. W.H.S.
27816	Grant	15Jun1926	5Jul1926	Walter Olver et ux	Charles S. Vine & Maggie Vine	pt	2400.00	as joint tenants. W.H.S.
28555	M.	13Jan1927	17Feb1927	William A. Walworth	Ray Wallace	pt	1245.15	pt & O.L. W.H.S.
28758	Grant	16Mar1927	14Apr1927	Geo. A. Stephenson Trustee of William M. Ward et ux	Thomas F. Bunker & Minnie Bunker	pt	10000.00	pt & O.L. W.H.S.
28759	M.	24Mar1927	24Apr1927	Wm. O. Ward	Wm. H. Ward	pt	2	Dischg. 28047 MAY 31 1937
28760	M.	24Mar1927	24Apr1927	Wm. O. Ward	Wm. H. Ward	pt	2	Dischg. 28047 MAY 31 1937
28797	Grant	15Apr1927	14Apr1927	John F. Burrows et ux	Alfred E. Archibald	pt	2 18000.00	pt & O.L. W.H.S.
28798	M.	15Apr1927	14Apr1927	Alfred E. Archibald et ux	John F. Burrows	pt	2 11000.00	pt & O.L. W.H.S.
28817	M.	28Jan1927	27Jan1927	Hilton Geo. Hassell & his wife Elizabeth Hassell	John Taylor	pt	1000.00	pt 7/12/23 W.H.S.
29003	M.	27Jan1927	27Jan1927	Walter Olver et ux	Hilton Geo. Hassell et ux	pt	2	Dischg. 28449 JUL 15 1937
29048	Order	10Jan1927	14Jan1927	E.P. Justin "Judge"	Cancelling & Removing Glenwood Ave, from Plan 2828.			W.H.S.
29100	M.	27Jan1927	27Jan1927	Marcel G. Gauthier	Frank Gerhardt		24402	Dischg. 24402
29101	Grant	27Jan1927	27Jan1927	Frank Gerhardt et ux	Frederick Chappell	pt	1000.00	exchange of property pt & O.L. W.H.S.
29144	M.	16Oct1927	28Dec1927	Mary E. Reid	Ida M. Krueger	4.0/5	21551	Dischg. 21551 JAN 15 1938
29272	M.	20Mar1928	20Mar1928	John M. Vale et ux	The Canada Permanent Mortgage Corporation	pt	4500.00	pt & O.L. W.H.S. sketch attached Instrument 15238
29273	M.	20Mar1928	20Mar1928	John M. Vale et ux	The Canada Permanent Mortgage Corporation	pt	4500.00	pt & O.L. W.H.S. sketch attached Instrument 15238
29499	Grant	10May1928	28Jun1928	George C. Quickshank et ux Hattie A. Ward & Wm. H. Ward		pt	4000.00	pt & O.L. W.H.S.
29500	M.	10Jun1928	28Jun1928	Wm. H. Ward et ux	Geo. C. Quickshank	pt	2800.00	pt & O.L. W.H.S.
29546	M.	14Feb1928	16Feb1928	William A. Walworth & Wm. E. Walworth	George May	pt	2000.00	pt & O.L. W.H.S. MAY 31
31255	M.	10Feb1928	10Mar1928	Ray Wallace	William A. Walworth	pt	2	Dischg. 28555 W.H.S.
31400	M.	19Apr1928	18Apr1928	George May	Ida May	pt	1.00	Dischg. 31045 W.H.S.
31401	Grant	18Apr1928	18Apr1928	John M. Vale et ux	Alfred E. Archibald	pt	1275.00	pt & O.L. W.H.S.
31402	Release of Mortgage	18Apr1928	18Apr1928	Canada Permanent Mortgage Corporation	John M. Vale	pt	1012.00	Instrument 28047 W.H.S.
31941	M.	14Aug1929	16Aug1929	Ernest Reithman & Pauline Reithman	Charles C. Schiller	pt	800.00	pt & O.L. W.H.S.
32122	M.	12Oct1929	14Oct1929	Fred C. Chappell et ux	Edna Chappell & Century Life Office	pt	1000.00	pt & O.L. W.H.S.



Page 550	Lot No.	Lot 2	Second Range	Concession	Credit Indian Reserve		
Instrument	Doc Date	Date of Registration	GRANTOR	GRANTEE	QUANTITY OF LAND	Consideration or Amount of Mortgage	REMARKS
<del>D.M.</del>	<del>22Oct1929</del>	<del>18Nov1929</del>	<del>Standard Life Assurance Co.</del>	<del>Fred. G. Campbell</del>	<del>pt</del>		<del>Diachg. 25372 &amp; C.L. W.H.S.</del>
<del>D.M.</del>	<del>27Feb1929</del>	<del>2May1929</del>	<del>Wm. A. Bouteer</del>	<del>Albert B. Woods</del>	<del>pt</del>		<del>Diachg. 29427 W.H.S.</del>
<del>M.</del>	<del>15May1930</del>	<del>31May1930</del>	<del>William G. Gibbs &amp; Eunice E. Gibbs</del>	<del>David E. Hughes</del>	<del>pt</del>	<del>2500.00</del>	<del>pt &amp; C.L. W.H.S.</del>
Grant	16May1930	31May1930	David E. Hughes et ux.	William G. Gibbs & Eunice E. Gibbs	pt	700.00	etc pt & C.L. W.H.S.
<del>D.M.</del>	<del>27Jan1930</del>	<del>27Jan1930</del>	<del>Ada May</del>	<del>Mildred A. Wadsworth</del>	<del>pt</del>		<del>Diachg. 21946 E.H.S.</del>
Grant	16Jan1930	27Jul1930	Mildred A. Wadsworth	Gordon Webster	pt	1000.00	etc. pt & C.L. E.H.S.
<del>M.</del>	<del>17Jul1930</del>	<del>27Jul1930</del>	<del>Gordon Webster et ux</del>	<del>Mildred A. Wadsworth</del>	<del>pt</del>	<del>2500.00</del>	<del>pt &amp; C.L. E.H.S.</del>
<del>M.</del>	<del>27Jul1930</del>	<del>19Jul1930</del>	<del>Georgina Shasther et ux</del>	<del>Joan Robinson</del>	<del>4.35</del>	<del>1800.00</del>	<del>pt &amp; C.L. 17/1/35 W.H.S.</del>
<del>D.M.</del>	<del>6Aug1930</del>	<del>8Aug1930</del>	<del>Harold L. MacLellan &amp; Exrs of Geo. MacLellan</del>	<del>Georgina E.M. Shasther</del>	<del>pt &amp; C.L.</del>		<del>Diachg. 18706 W.H.S.</del>
<del>Q.O.</del>	<del>25Sep1930</del>	<del>10Oct1930</del>	<del>Toronto General Trust Corporation et ux Exrs W. E. Wadsworth</del>	<del>Gordon Webster</del>	<del>pt &amp; C.L.</del>	<del>2.etc</del>	<del>pt &amp; C.L. E.H.S.</del>
<del>M.</del>	<del>25Oct1930</del>	<del>16Oct1930</del>	<del>Gordon Webster et ux</del>	<del>P. Eaton Ltd et ux</del>	<del>pt &amp; C.L.</del>	<del>10000.00</del>	<del>pt &amp; C.L. 21/11/66 E.H.S.</del>
<del>M.</del>	<del>17Jul1930</del>	<del>1 Oct1930</del>	<del>Gordon Webster et ux</del>	<del>Mildred A. Wadsworth</del>	<del>pt &amp; C.L.</del>	<del>2500.00</del>	<del>pt &amp; C.L. 9/6/35 E.H.S.</del>
<del>D.M.</del>	<del>26Oct1930</del>	<del>6Nov1930</del>	<del>Mildred A. Wadsworth</del>	<del>Gordon Webster</del>	<del>pt &amp; C.L.</del>		<del>Diachg. 25059 E.H.S.</del>
<del>D.M.</del>	<del>26Oct1930</del>	<del>11Oct1930</del>	<del>Donato Permanent Mortgage Corporation</del>	<del>Mildred A. Wadsworth</del>	<del>pt &amp; C.L.</del>		<del>Diachg. 25020 E.H.S.</del>
<del>M.</del>	<del>29Dec1930</del>	<del>29Jan1931</del>	<del>James Heywood et ux</del>	<del>Grace L. Featherstone et ux</del>	<del>pt</del>	<del>1800.00</del>	<del>pt &amp; C.L. 16/4/35 W.H.S.</del>
<del>D.M.</del>	<del>31Dec1930</del>	<del>17Jan1931</del>	<del>James B. Thomson et ux Benjamin F. Goldthorpe</del>	<del>exrs. James Heywood et ux</del>	<del>pt</del>		<del>Diachg. No. 25029 &amp; C.L. W.H.S.</del>
<del>D.M.</del>	<del>28Feb1931</del>	<del>21Mar1931</del>	<del>Margaret F. Harcourt</del>	<del>Edw. F.T. Morris</del>	<del>pt</del>	<del>100.00</del>	<del>assigned to 25029 W.H.S.</del>
<del>M.</del>	<del>18Feb1931</del>	<del>18Mar1931</del>	<del>Weston Realty Limited</del>	<del>Edward A. Hobberlin</del>	<del>pt</del>	<del>22500.00</del>	<del>pt as shown on plan 2-25 as Glenwood Avenue closed &amp; C.L. E.H.S.</del>
Grant	18Nov1931	15Feb1932	Edward A. Hobberlin et ux Weston Realty Ltd.		pt	22500.00	do do do do do do E.H.S.

TO BOOK "D"

DATE PLAN REGISTERED 16 Nov. 1920

OWNERS Edward Burns

TOWNSHIP OF TORONTO

LOTS SUBDIVIDED Pt. 2, R. 2 CIR. 6 O.L.

SHEET NO. 1

LOT NO. 3

STREET Glenburnie

PLAN NO. G-20

NUMBER	INSTRUMENT	DATE OF INSTRUMENT	DATE OF REGISTRATION	GRANTOR	GRANTEE	CONSIDERATION	REMARKS
44173	Grant	15 May 1944	6 Jun 1944	Edward Burns, widower	Edward Cookshutt	825 00	8ly. 25' more or less & O.L. Restrictions
44568	Grant	6 Jun 1944	22 Sep 1944	Edward Burns, widower	J. Bruce Whitehead and Mildred L. Whitehead as joint tenants	825 00	8ly. 75' Restrictions
47950	MORTGAGE BY-LAW	3 Jul 1946	11 Jul 1946	Mildred L. Whitehead and J. Bruce Whitehead	The Mutual Life Assurance Co.	2000 00	8ly. 75' 21/6/68
57266 866	MORTGAGE BY-LAW	24 Sep 1947	26 Nov 1947	Edward Cookshutt et al	The Mutual Life Assurance Co. et al	7180 00	21/8/67 21/8/67
59327	Grant	24 Sep 1951	24 Sep 1951	Edward Cookshutt et al	Travelling Corp. Ltd.	12479 00	21/8/67 21/8/67
64576	Grant	24 Sep 1951	24 Sep 1951	Edward Cookshutt et al	Travelling Corp. Ltd.	12479 00	21/8/67 21/8/67
64925	MORTGAGE BY-LAW	24 Sep 1951	24 Sep 1951	Edward Cookshutt et al	Travelling Corp. Ltd.	12479 00	21/8/67 21/8/67
9912	MORTGAGE BY-LAW	24 Sep 1951	24 Sep 1951	Edward Cookshutt et al	Travelling Corp. Ltd.	12479 00	21/8/67 21/8/67
105904	Grant	Aug 1953	30 Aug 1953	James B. Whitehead & Mildred L. Whitehead	Derek H. Welland & Marguerite Welland as joint tenants	21000 00	8ly. 75' 21/8/67
106398	MORTGAGE BY-LAW	24 Sep 1951	24 Sep 1951	Edward Cookshutt et al	Travelling Corp. Ltd.	12479 00	21/8/67 21/8/67
106355	MORTGAGE BY-LAW	24 Sep 1951	24 Sep 1951	Edward Cookshutt et al	Travelling Corp. Ltd.	12479 00	21/8/67 21/8/67
151465	MORTGAGE BY-LAW	24 Sep 1951	24 Sep 1951	Edward Cookshutt et al	Travelling Corp. Ltd.	12479 00	21/8/67 21/8/67
151466	MORTGAGE BY-LAW	24 Sep 1951	24 Sep 1951	Edward Cookshutt et al	Travelling Corp. Ltd.	12479 00	21/8/67 21/8/67
154058	Grant	24 Sep 1951	24 Sep 1951	Edward Cookshutt et al	Travelling Corp. Ltd.	12479 00	21/8/67 21/8/67
157504	Grant	24 Sep 1951	24 Sep 1951	Edward Cookshutt et al	Travelling Corp. Ltd.	12479 00	21/8/67 21/8/67
189763	Grant	24 Sep 1951	24 Sep 1951	Edward Cookshutt et al	Travelling Corp. Ltd.	12479 00	21/8/67 21/8/67
189764	MORTGAGE BY-LAW	24 Sep 1951	24 Sep 1951	Edward Cookshutt et al	Travelling Corp. Ltd.	12479 00	21/8/67 21/8/67
169988	Grant	24 Sep 1951	24 Sep 1951	Edward Cookshutt et al	Travelling Corp. Ltd.	12479 00	21/8/67 21/8/67
169989	MORTGAGE BY-LAW	24 Sep 1951	24 Sep 1951	Edward Cookshutt et al	Travelling Corp. Ltd.	12479 00	21/8/67 21/8/67



DATE PLAN REGISTERED 16 Nov. 1920				SHEET NO. 1			
OWNERS Edward Burns				LOT NO. 3			
TOWNSHIP OF TORONTO				STREET Glenburnie			
LOTS SUBDIVIDED Pt. 2, RE CIR & O.L.				PLAN NO. G-20			
NUMBER	INSTRUMENT	DATE OF INSTRUMENT	DATE OF REGISTRATION	GRANTOR	GRANTEE	CONSIDERATION	REMARKS
12619	Mortgage	1 May 1968	1 May 1968	The Royal Trust Company	Joseph H. & Margaret Holland	discharge No. 151566	Page 1
895211	Mortgage	1 Dec 1968	1 Dec 1968	Charles Cunningham-Dunlop	Monna B.	9,000.00	Discharge No. 231502-3
895256	Mortgage	21 Dec 1968	1 Jan 1969	Charles J. Cunningham-Dunlop	Charles J. Cunningham-Dunlop	8,500.00	Discharge No. 231502-3
895265	Grant	3 Sept 1968	1 Jan 1969	Joyce L. Warren & Harry R. Warren	Charles J. Cunningham-Dunlop	1,000.00	Discharge No. 231502-3
215450	Grant	6 Feb 1973	2 Feb 1973	Donna B. Cunningham-Dunlop	Charles J. Cunningham-Dunlop		Discharge No. 895211
215394	Grant	24 Oct 1973	2 Oct 1973	Treasurers Consent	William M. Jenkins, et al		Re: No 168764
215376	Grant	20 Oct 1973	16 Nov 1973	Canada Permanent Trust Company, Executor of William M. Jenkins, Estate	Dezack Wellard, Estate		Discharge No. 168764
215203	Grant	4 Feb 1974	27 June 1974	Treasurers Consent	Jack M. Cunningham-Dunlop		Re: 75'
215254	Grant	6 June 1974	4 Sept 1974	Re: Estate Tax Act.	Jack M. Cunningham-Dunlop		Re: 75'
231502	Grant	7 Sept 1974	3 Oct 1974	Mary M. Cunningham-Dunlop	Charles J. Cunningham-Dunlop		Discharge No. 895256
34559	Grant	5 Feb 1975	17 Feb 1975	Dezack Wellard	Harold H. Donagh	2.00	Part of Lot 1 for description
346737	Grant	25 Sept 1975	1 Apr 1975	The Royal Trust Company	Joyce L. Warren & Harry R. Warren		Discharge No. 168764
346738	Grant	13 Mar 1975	1 Apr 1975	Charles J. Cunningham-Dunlop	Alan R. Adair & Avril F. Adair as joint tenants	2,000.00	Re: 75'
346739	Mortgage	24 Mar 1975	1 Apr 1975	Alan R. Adair & Avril F. Adair	Standard Trust Company	55,550.00	Discharge No. 576962
366816	Grant	13 Aug 1975	17 Sept 1975	David F. Adair	Standard Trust Company	1.00	To amend Mfg. No 346739
476250	Grant	24 May 1978	2 June 1978	David F. Adair, Jan A. Adair, and Avril F. Adair	Ronald L. McCallum	100.00	Re: 75'

LOT 3 PLAN G-20 PAGE NO. 2

REGISTRATION NUMBER	INSTRUMENT	DATE OF INSTRUMENT	REGISTRATION DATE	GRANTOR	GRANTEE	CONSIDERATION ETC.	LAND AND REMARKS
554627	MORTGAGE	30 July 80	1 Aug 80	Ronald R. McCallum Stella M. McCallum, Widow	Koross Mortgage Corporation	\$2,500.00	Reg. 75
576969	Grant	01 05 81		STANDARD Trust Co	McCALLUM, Ronald L.		Discharged by # 784962 Part Reg. Land Reg. Ht
644459	MORT	23 06 82		McCALLUM, Ronald L. McCALLUM, Stella M. Widow	THE Royal Bank of Canada	\$7,000.00	Reg. 75
823018	Grant	30 10 87		McCALLUM, Stella M.	LEMISKI, Michael J. BROOKSHIRE, Carol A. as J.T.		Part - hung Reg. 75
823019	Mort	30 10 87		LEMISKI, Michael J. BROOKSHIRE, Carol A.	HEPPEB Credit Union Limited	\$20,000.00	Reg. 75
824344	Grant	09 11 87		McCALLUM, Ronald L. Estate	McCALLUM, Stella M.		Part - hung Reg. 75
RD 1116694	Transfer		96 06 14	McDONAGH, Muriel	R. Pagani Investments Limited	242,000.00	Part & OL as in 168763
RD 1116695	Charge		96 06 14	R. Pagani Investments Limited	The Toronto-Dominion Bank	30,000.00	Part & OL as in 168763
RD1130399	Transfer		96 12 05	R. PAGANI Investments Limited	NAUMOVSKI, Darko	630,841.12	Part & OL as in no. 168763
RD1130400	Charge		96 12 05	NAUMOVSKI, Darko	BANCO Commerciale Italiana of Canada	375,000.00	Part & OL as in RD116694

NOTICE  
All Document/Instruments  
submitted to  
MAR 14 1997  
are recorded in the Superior Court  
Index Set out in subsection 2(1) of the  
REGISTRY ACT

### James Jennings, "Canada Census, 1891"

Name: James Jennings  
Gender: Male  
Age: 28  
Birth Year (Estimated): 1863  
Birthplace: Ontario  
Marital Status: Single  
Religion: Roman Catholic  
Province: Ontario  
District: Peel  
District Number: 106  
Sub-District: Toronto  
Affiliate Film Number: [30953\\_148163](#)

#### Citing this Record

"Canada Census, 1891," index, *FamilySearch* (<https://familysearch.org/pal:/MM9.1.1/MWL1-BM1> : accessed 31 Jul 2013), James Jennings, Toronto, Peel, Ontario, Canada.

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[Church Websites](#)

### James Alexander Jennings, "Ontario Deaths, 1869-1937 and Overseas Deaths, 1939-1947"

Name: James Alexander Jennings  
Event Type: Death  
Event Date: 06 Oct 1928  
Event Place: York, Ontario, Canada  
Gender: Male  
Age: 65  
Birth Date:  
Birthplace: Port Credit  
Birth Year (Estimated): 1863  
Burial Date:  
Burial Place:  
Father's Name: [Samuel Jennings](#)  
Mother's Name: [Mary Blackhall](#)  
Spouse's Name:  
Reference ID: 6523  
GS Film number: [2148994](#)  
Digital Folder Number: [4000402](#)  
Image Number: 00589

#### Citing this Record

"Ontario Deaths, 1869-1937 and Overseas Deaths, 1939-1947," index, *FamilySearch* (<https://familysearch.org/pal:/MM9.1.1/JKWL-CYP> : accessed 31 Jul 2013), James Alexander Jennings, 1928.

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[Church Websites](#)



### James Jennings, "Ontario Marriages, 1869-1927"

Name: James Jennings  
Event Type: Marriage  
Event Date: 14 Feb 1898  
Event Place: Dike, Peel, Ontario, Canada  
Age: 35  
Birth Year (Estimated): 1863  
Father's Name: Samuel Jennings  
Mother's Name: Mary Blackall  
Spouse's Name: Mary Collins  
Spouse's Age: 22  
Spouse's Birth Year (Estimated): 1876  
Spouse's Father's Name: John Collins  
Spouse's Mother's Name: Catharine Morse  
Registration Number: 011676  
GS Film number: 1870921  
Digital Folder Number: 004529269  
Image Number: 01095

#### Citing this Record

"Ontario Marriages, 1869-1927," index, *FamilySearch*  
(<https://familysearch.org/pal:/MM9.1.1/KZBQ-Q3Y> : accessed 31 Jul 2013), James Jennings and Mary Collins, 1898.

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[Church Websites](#)

### James Jennings in entry for Catherine Jennings, "Ontario Births, 1869-1912"

Name: Catherine Jennings  
Event Type: Birth  
Event Date: 24 Feb 1900  
Event Place: Peel, Ontario, Canada  
Gender: Female  
Father's Name: James Jennings  
Mother's Name: Mary Collins  
Registration Year:  
Registration Number:  
GS Film number: 2056566  
Digital Folder Number: 004656986  
Image Number: 00886

#### Citing this Record

"Ontario Births, 1869-1912," index, *FamilySearch*  
(<https://familysearch.org/pal:/MM9.1.1/FM6Z-L2J> : accessed 31 Jul 2013),  
James Jennings in entry for Catherine Jennings, 1900.

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[Church Websites](#)



## James Alexander Jennings in entry for Margaret Jennings, "Ontario Births, 1869-1912"

Name: [Margaret Jennings](#)  
Event Type: Birth  
Event Date: 09 Mar 1898  
Event Place: Toronto Township, Peel, Ontario, Canada  
Gender: Female  
Father's Name: James Alexander Jennings  
Mother's Name: [Mary Collins](#)  
Registration Year:  
Registration Number:  
GS Film number: [1928125](#)  
Digital Folder Number: [004656970](#)  
Image Number: 01142

### Citing this Record

"Ontario Births, 1869-1912," index, *FamilySearch*  
(<https://familysearch.org/pal:/MM9.1.1/FM6M-RMP> : accessed 31 Jul 2013), James Alexander Jennings in entry for Margaret Jennings, 1898.

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Ontario, Canada, Deaths, 1869-1938 and Deaths Overseas, 1939-1947 for James Alexand... Page 1 of 1

[illegible]



## Page 1 of 1

Bums



**Heritage Impact Statement: 1364 Glenburnie Road**

Page 1  
7119

### DOMINION FRANCHISE ACT LIST OF ELECTORS, 1935

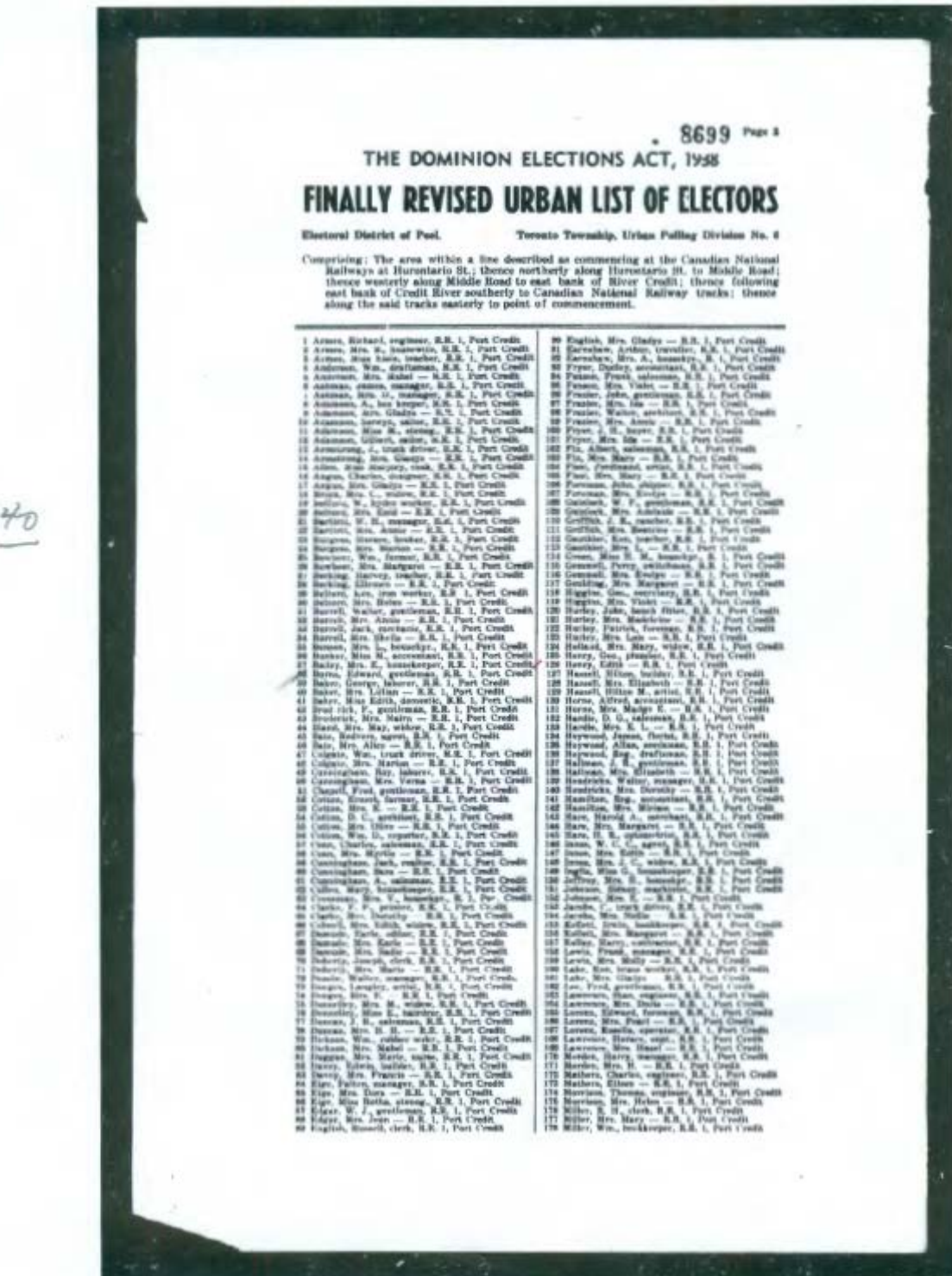
Explanation: Number, Surname, Christian Name, Occupation, Post Office Address.

Electoral District of Peel, Rural Polling Division No. 6, Center Road West, Township of Toronto

Comprising the area included within a line described as commencing at the Canadian National Railways tracks at Hurontario Street; thence northerly along Hurontario street to the Middle road; thence westerly along the Middle road to the east bank of the River Credit; thence following the east bank of the River Credit northerly to the Canadian National Railways tracks; thence along said tracks westerly to the point of commencement.

1	Albright, Miss Jean (W), dressmaker, Port Credit.	101	Grocock, B. G., accountant, Port Credit.
2	Adams, Arthur, gardener, Port Credit.	102	Grocock, Mrs. B. G. (W), married woman, Port Credit.
3	Adams, Mrs. Arthur (W), married woman, Port Credit.	103	Grove, Miss Hilda (W), secretary, Port Credit.
4	Adams, Selma, gardener, Port Credit.	104	Grove, Walter, laborer, Port Credit.
5	Allen, Miss Margaret (W), clerk, Port Credit.	105	Grove, Mrs. Walter (W), married woman, Port Credit.
6	Amos, B. J., laborer, Port Credit.	106	Harfield, William, laborer, Indian Valley Trail, Port Credit.
7	Amos, Mrs. B. J. (W), married woman, Port Credit.	107	Harfield, Mrs. William (W), (MW), Indian Valley Trail, Port Credit.
8	Amos, Julia, subwoman, Port Credit.	108	Hallman, Hilary, gardener, Port Credit.
9	Anderson, William, postman, Port Credit.	109	Hallman, Mrs. Hilary (W), married woman, Port Credit.
10	Anderson, Mrs. Wm. (W), married woman, Port Credit.	110	Hawthorn, Mrs. Mary M. (W), widow, Port Credit.
11	Angus, T. P., gardener, Port Credit.	111	Hawson, George, gardener, Port Credit.
12	Angus, Mrs. T. P. (W), married woman, Port Credit.	112	Hawson, Mrs. George (W), married woman, Port Credit.
13	Arnold, Alfred, gardener, Port Credit.	113	Hardy, David, subwoman, Port Credit.
14	Arnold, Mrs. Alfred (W), married woman, Port Credit.	114	Hart, Mrs. David (W), married woman, Port Credit.
15	Arns, Richard, engineer, Port Credit.	115	Hart, Harold, merchant, Port Credit.
16	Arns, Mrs. Richard (W), married woman, Port Credit.	116	Hart, Mrs. Harold (W), married woman, Port Credit.
17	Arns, Miss Elsie (W), student, Port Credit.	117	Hart, Harold E., clerk, Port Credit.
18	Baker, Mrs. Mary (W), housekeeper, Port Credit.	118	Hart, Gerald, clerk, Port Credit.
19	Baker, George, laborer, Port Credit.	119	Hawell, H. G., electrician, Port Credit.
20	Baker, Mrs. George (W), married woman, Port Credit.	120	Hawell, Mrs. H. G. (W), married woman, Port Credit.
21	Baker, Mrs. Hannah (W), widow, Port Credit.	121	Hawell, Edward MacDonald, artist, Port Credit.
22	Bartlett, W. H., manager, Port Credit.	122	Haywood, James, gardener, Port Credit.
23	Bartlett, Mrs. W. H. (W), married woman, Port Credit.	123	Haywood, Mrs. James (W), married woman, Port Credit.
24	Bawell, Harold, gardener, Port Credit.	124	Higgins, W. L., engineer, Port Credit.
25	Bawell, William, gardener, Port Credit.	125	Higgins, Mrs. W. L. (W), married woman, Port Credit.
26	Bawell, Mrs. Wm. (W), married woman, Port Credit.	126	Holland, George, gardener, Port Credit.
27	Bawell, Charles, gardener, Port Credit.	127	Holland, Mrs. George (W), married woman, Port Credit.
28	Bawell, Mrs. Charles (W), married woman, Port Credit.	128	Horne, Alfred, clerk, Port Credit.
29	Bawell, Miss Florence (W), operator, Port Credit.	129	Horne, Mrs. Alfred (W), married woman, Port Credit.
30	Bawell, Mrs. Christian (W), widow, Port Credit.	130	Hughes, D. E., gardener, Port Credit.
31	Bawell, Mrs. Esther (W), widow, Port Credit.	131	Hughes, Mrs. D. E. (W), married woman, Port Credit.
32	Bawell, Miss Blanche (W), clerk, Port Credit.	132	Hughes, David, Jr., clerk, Port Credit.
33	Bawell, Edward, gardener, Port Credit.	133	Hughes, Andrew, artist, Port Credit.
34	Bawell, Mrs. Edward (W), married woman, Port Credit.	134	Hunt, T. J., newspaperman, Port Credit.
35	Baxter, T. P., teacher, Port Credit.	135	Hunt, Mrs. T. J. (W), married woman, Port Credit.
36	Baxter, Gordon D., student, Port Credit.	136	Harris, Andrew, musician, Port Credit.
37	Baxter, Mrs. Gordon D. (W), married woman, Port Credit.	137	Harris, Mrs. Andrew (W), artist, Port Credit.
38	Baxter, Fred, gardener, Port Credit.	138	Harris, Mrs. Albert (W), married woman, Port Credit.
39	Baxter, John, carpenter, Port Credit.	139	Harris, Mrs. C. C. (W), married woman, Port Credit.
40	Baxter, F. J., painter, Port Credit.	140	Harris, Mrs. Wm. C. C. (W), married woman, Port Credit.
41	Baxter, Mrs. F. J. (W), married woman, Port Credit.	141	Harris, Miss Annie (W), spinster, Port Credit.
42	Baxter, A. H., subwoman, Port Credit.	142	Harris, Miss Annie (W), spinster, Port Credit.
43	Baxter, Mrs. A. H. (W), married woman, Port Credit.	143	Harris, Mrs. Annie (W), spinster, Port Credit.
44	Baxter, Ernest, farmer, Port Credit.	144	Harris, Mrs. Annie (W), spinster, Port Credit.
45	Baxter, Mrs. Ernest (W), married woman, Port Credit.	145	Harris, Mrs. Annie (W), spinster, Port Credit.
46	Baxter, Miss C. (W), student, Port Credit.	146	Harris, Mrs. Annie (W), spinster, Port Credit.
47	Baxter, Mrs. Elsie (W), married woman, Port Credit.	147	Harris, Mrs. Annie (W), spinster, Port Credit.
48	Baxter, William, subwoman, Port Credit.	148	Harris, Mrs. Annie (W), spinster, Port Credit.
49	Baxter, J. H., subwoman, Port Credit.	149	Harris, Mrs. Annie (W), spinster, Port Credit.
50	Baxter, Mrs. J. H. (W), married woman, Port Credit.	150	Harris, Mrs. Annie (W), spinster, Port Credit.
51	Baxter, Gordon, gardener, Port Credit.	151	Harris, Mrs. Annie (W), spinster, Port Credit.
52	Baxter, Alfred, clerk, Port Credit.	152	Harris, Mrs. Annie (W), spinster, Port Credit.
53	Baxter, Mrs. Alfred (W), married woman, Port Credit.	153	Harris, Mrs. Annie (W), spinster, Port Credit.
54	Baxter, Kenneth, advertising agent, Port Credit.	154	Harris, Mrs. Annie (W), spinster, Port Credit.
55	Baxter, Mrs. Kenneth (W), married woman, Port Credit.	155	Harris, Mrs. Annie (W), spinster, Port Credit.
56	Baxter, Mrs. Mary (W), maid, Port Credit.	156	Harris, Mrs. Annie (W), spinster, Port Credit.
57	Baxter, Roy, gardener, Port Credit.	157	Harris, Mrs. Annie (W), spinster, Port Credit.
58	Baxter, Mrs. Roy (W), married woman, Port Credit.	158	Harris, Mrs. Annie (W), spinster, Port Credit.
59	Baxter, Miss Mary (W), operator, Port Credit.	159	Harris, Mrs. Annie (W), spinster, Port Credit.
60	Baxter, John, laborer, Port Credit.	160	Harris, Mrs. Annie (W), spinster, Port Credit.
61	Baxter, Mrs. John (W), married woman, Port Credit.	161	Harris, Mrs. Annie (W), spinster, Port Credit.
62	Baxter, W. Mitchell (W), married woman, Port Credit.	162	Harris, Mrs. Annie (W), spinster, Port Credit.
63	Baxter, John, merchant, Port Credit.	163	Harris, Mrs. Annie (W), spinster, Port Credit.
64	Baxter, Mrs. John (W), married woman, Port Credit.	164	Harris, Mrs. Annie (W), spinster, Port Credit.
65	Baxter, John, merchant, Port Credit.	165	Harris, Mrs. Annie (W), spinster, Port Credit.
66	Baxter, Mrs. John (W), married woman, Port Credit.	166	Harris, Mrs. Annie (W), spinster, Port Credit.
67	Baxter, John, merchant, Port Credit.	167	Harris, Mrs. Annie (W), spinster, Port Credit.
68	Baxter, Mrs. John (W), married woman, Port Credit.	168	Harris, Mrs. Annie (W), spinster, Port Credit.
69	Baxter, John, merchant, Port Credit.	169	Harris, Mrs. Annie (W), spinster, Port Credit.
70	Baxter, Mrs. John (W), married woman, Port Credit.	170	Harris, Mrs. Annie (W), spinster, Port Credit.
71	Baxter, John, merchant, Port Credit.	171	Harris, Mrs. Annie (W), spinster, Port Credit.
72	Baxter, Mrs. John (W), married woman, Port Credit.	172	Harris, Mrs. Annie (W), spinster, Port Credit.
73	Baxter, John, merchant, Port Credit.	173	Harris, Mrs. Annie (W), spinster, Port Credit.
74	Baxter, Mrs. John (W), married woman, Port Credit.	174	Harris, Mrs. Annie (W), spinster, Port Credit.
75	Baxter, John, merchant, Port Credit.	175	Harris, Mrs. Annie (W), spinster, Port Credit.
76	Baxter, Mrs. John (W), married woman, Port Credit.	176	Harris, Mrs. Annie (W), spinster, Port Credit.
77	Baxter, John, merchant, Port Credit.	177	Harris, Mrs. Annie (W), spinster, Port Credit.
78	Baxter, Mrs. John (W), married woman, Port Credit.	178	Harris, Mrs. Annie (W), spinster, Port Credit.
79	Baxter, John, merchant, Port Credit.	179	Harris, Mrs. Annie (W), spinster, Port Credit.
80	Baxter, Mrs. John (W), married woman, Port Credit.	180	Harris, Mrs. Annie (W), spinster, Port Credit.
81	Baxter, John, merchant, Port Credit.	181	Harris, Mrs. Annie (W), spinster, Port Credit.
82	Baxter, Mrs. John (W), married woman, Port Credit.	182	Harris, Mrs. Annie (W), spinster, Port Credit.
83	Baxter, John, merchant, Port Credit.	183	Harris, Mrs. Annie (W), spinster, Port Credit.
84	Baxter, Mrs. John (W), married woman, Port Credit.	184	Harris, Mrs. Annie (W), spinster, Port Credit.
85	Baxter, John, merchant, Port Credit.	185	Harris, Mrs. Annie (W), spinster, Port Credit.
86	Baxter, Mrs. John (W), married woman, Port Credit.	186	Harris, Mrs. Annie (W), spinster, Port Credit.
87	Baxter, John, merchant, Port Credit.	187	Harris, Mrs. Annie (W), spinster, Port Credit.
88	Baxter, Mrs. John (W), married woman, Port Credit.	188	Harris, Mrs. Annie (W), spinster, Port Credit.
89	Baxter, John, merchant, Port Credit.	189	Harris, Mrs. Annie (W), spinster, Port Credit.
90	Baxter, Mrs. John (W), married woman, Port Credit.	190	Harris, Mrs. Annie (W), spinster, Port Credit.
91	Baxter, John, merchant, Port Credit.	191	Harris, Mrs. Annie (W), spinster, Port Credit.
92	Baxter, Mrs. John (W), married woman, Port Credit.	192	Harris, Mrs. Annie (W), spinster, Port Credit.
93	Baxter, John, merchant, Port Credit.	193	Harris, Mrs. Annie (W), spinster, Port Credit.
94	Baxter, Mrs. John (W), married woman, Port Credit.	194	Harris, Mrs. Annie (W), spinster, Port Credit.
95	Baxter, John, merchant, Port Credit.	195	Harris, Mrs. Annie (W), spinster, Port Credit.
96	Baxter, Mrs. John (W), married woman, Port Credit.	196	Harris, Mrs. Annie (W), spinster, Port Credit.
97	Baxter, John, merchant, Port Credit.	197	Harris, Mrs. Annie (W), spinster, Port Credit.
98	Baxter, Mrs. John (W), married woman, Port Credit.	198	Harris, Mrs. Annie (W), spinster, Port Credit.
99	Baxter, John, merchant, Port Credit.	199	Harris, Mrs. Annie (W), spinster, Port Credit.
100	Baxter, Mrs. John (W), married woman, Port Credit.	200	Harris, Mrs. Annie (W), spinster, Port Credit.









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AFFIDAVITS OF OBJECTION	NOTICES TO ELECTORS	LOCATION OF POLLING STATION
On Monday, Tuesday, and Wednesday, (22, 23, 24, and 25 days of July, 1963, during the hours fixed by the revising officer for the revision of the list of electors in which the undersigned urban polling division is comprised, any duly qualified elector of such urban polling division may appear before the said revising officer to object to the inclusion of a person whose name appears on this list of electors.	<p><b>NOTICES TO ELECTORS</b></p> <p><b>SITTINGS FOR REVISION</b></p> <p>The sittings for the revision of the preliminary list, as printed hereunder, will be held at 1544 Centre Rd., Pt. Croft, between ten and eleven o'clock in the morning and between seven and ten o'clock in the evening (Standard time) of Thursday, Friday, and Saturday, the 22, 23, and 24 days of July, 1963, when all applications for changes to and additions to the said preliminary list will be dealt with by the revising officer.</p> <p><b>CERTIFICATE</b></p> <p>I hereby certify that the list printed hereunder is the preliminary list of electors for urban polling division No. 6A, Centre Road West, of the electoral district of Peel, as prepared by the commissioner in connection with the pending federal election.</p> <p>Given under my hand at Brampton, this 2nd day of July, 1963.</p> <p>C. CARMAN CURR, Returning Officer</p> <p><b>NOTE</b>—This list of electors should be preserved until after polling day at the polling station.</p>	<p>The polling station will be located at or near Mrs. Manohar, 1280 Glenburnie</p> <p>for the taking of the votes of the qualified electors at the pending federal election in the urban polling division.</p>

## THE CANADA ELECTIONS ACT

### URBAN PRELIMINARY ALPHABETICAL LIST OF ELECTORS

Electoral District of Peel, Centre Road West. Urban Polling Division No. 6A.

Comprising the area commencing at intersection of Minerva Road and Hurontario St.; thence northerly along Hurontario Street to the Middle Road, thence westerly along the Middle Road to the east bank of the River Credit, thence following east bank of River Credit to a line described as an extension to Minerva Road; thence westerly along Minerva Road taking in the north side to the point of commencement.

The following names have been enumerated during a recent house-to-house visitation in the above mentioned polling division by a pair of urban enumerators:

1. Aik, Edward, officer, 1261 Forest	61. Bedford, Henry, retired, 120 Queen Elizabeth
2. Aik, Mrs. Dorothy, 1401 Forest	62. Bedford, Harold, teacher, 120 Queen Elizabeth
3. Adams, Arthur, bookkeeper, 157 Indian Valley	63. Bedford, Mrs. Payton, 120 Queen Elizabeth
4. Adams, Mrs. Gladys, 157 Indian Valley	64. Bell, John, driver, 1200 Victor
5. Agnew, Ralph, salesman, 120 Kenzie	65. Bell, Mrs. John, 1200 Victor
6. Agnew, Mrs. May, 120 Kenzie	66. Bender, J. H., surveyor, 1200 Glenburnie
7. Aik, Sarah, 1261 Forest	67. Bender, Mrs. J. H., 1200 Glenburnie
8. Alexander, David, teacher, 1412 Centre	68. Bennett, William, salesman, 1571 Douglas
9. Alcock, Ralph, manufacturer, 1280 Sherbrook	69. Bennett, John T., secretary, 1411 Glenwood
10. Alcock, Mrs. Ursula, 1280 Sherbrook	70. Bennett, Mrs. Ida, 1411 Glenwood
11. Alexander, Mrs. Isabel, clerk, 1412 Centre	71. Bandy, Edward, chemist, 1200 Milton
12. Allen, John, draftsman, 220 Indian Valley	72. Bandy, Mrs. Margaret, 1200 Milton
13. Allen, Mrs. Elizabeth, 220 Indian Valley	73. Bandy, A. J., manager, 1411 Centre
14. Anderson, Chas., genl., 1200 Victor	74. Bandy, Mrs. Margaret, 1411 Centre
15. Anderson, Mrs. Chas., 1200 Victor	75. Bandy, Donald, student, 1411 Centre
16. Anderson, Thomas, manager, 120 Douglas	76. Bandy, John, manager, 220 Indian Valley
17. Anderson, Mrs. Margaret, 120 Douglas	77. Bandy, Mrs. Ida, 220 Indian Valley
18. Anderson, Robert, welder, Centre	78. Bandy, E. J., engineer, 1411 Glenburnie
19. Angus, Howard, jeweller, 1200 Sherbrook	79. Bandy, Mrs. Mary, 1411 Glenburnie
20. Angus, Mrs. G., 1400 Sherbrook	80. Bandy, Robert, driver, 1200 Milton
21. Angus, Charles F., jeweller, 1400 Sherbrook	81. Bandy, G. E., engineer, 120 Indian Valley
22. Angus, Mrs. Doris, 1400 Sherbrook	82. Bandy, Mrs. Doris, 120 Indian Valley
23. Angus, Mrs. Doris, 1411 Forest	83. Bandy, Donald, driver, 1200 Glenwood
24. Armstrong, John, painter, 1411 Douglas	84. Bandy, Mrs. Myrtle, 1200 Glenwood
25. Armstrong, Mrs. Margaret, 1411 Douglas	85. Bandy, Richard J., carpenter, 1200 Victor
26. Armit, William, salesman, 1200 Forest	86. Bandy, Mrs. E. J., 1200 Victor
27. Armit, Mrs. Helen, 1200 Forest	87. Bandy, Douglas B., clerk, 1200 Victor
28. Aspin, William, 1200 Centre	88. Bandy, Charles E., retired, 1200 Glenwood
29. Aspin, Mrs. Wm., 1200 Centre	89. Bandy, Mrs. C. E., 1200 Glenwood
30. Aspin, Mrs. Wm., 1200 Centre	90. Bandy, Mrs. Wm., 1200 Glenwood
31. Aspin, Mrs. Wm., 1200 Centre	91. Bandy, Mrs. Wm., 1200 Glenwood
32. Aspin, Mrs. Wm., 1200 Centre	92. Bandy, Mrs. Wm., 1200 Glenwood
33. Aspin, Mrs. Wm., 1200 Centre	93. Bandy, Mrs. Wm., 1200 Glenwood
34. Aspin, Mrs. Wm., 1200 Centre	94. Bandy, Mrs. Wm., 1200 Glenwood
35. Aspin, Mrs. Wm., 1200 Centre	95. Bandy, Mrs. Wm., 1200 Glenwood
36. Aspin, Mrs. Wm., 1200 Centre	96. Bandy, Mrs. Wm., 1200 Glenwood
37. Aspin, Mrs. Wm., 1200 Centre	97. Bandy, Mrs. Wm., 1200 Glenwood
38. Aspin, Mrs. Wm., 1200 Centre	98. Bandy, Mrs. Wm., 1200 Glenwood
39. Aspin, Mrs. Wm., 1200 Centre	99. Bandy, Mrs. Wm., 1200 Glenwood
40. Aspin, Mrs. Wm., 1200 Centre	100. Bandy, Mrs. Wm., 1200 Glenwood
41. Aspin, Mrs. Wm., 1200 Centre	101. Bandy, Mrs. Wm., 1200 Glenwood
42. Aspin, Mrs. Wm., 1200 Centre	102. Bandy, Mrs. Wm., 1200 Glenwood
43. Aspin, Mrs. Wm., 1200 Centre	103. Bandy, Mrs. Wm., 1200 Glenwood
44. Aspin, Mrs. Wm., 1200 Centre	104. Bandy, Mrs. Wm., 1200 Glenwood
45. Aspin, Mrs. Wm., 1200 Centre	105. Bandy, Mrs. Wm., 1200 Glenwood
46. Aspin, Mrs. Wm., 1200 Centre	106. Bandy, Mrs. Wm., 1200 Glenwood
47. Aspin, Mrs. Wm., 1200 Centre	107. Bandy, Mrs. Wm., 1200 Glenwood
48. Aspin, Mrs. Wm., 1200 Centre	108. Bandy, Mrs. Wm., 1200 Glenwood
49. Aspin, Mrs. Wm., 1200 Centre	109. Bandy, Mrs. Wm., 1200 Glenwood
50. Aspin, Mrs. Wm., 1200 Centre	110. Bandy, Mrs. Wm., 1200 Glenwood
51. Aspin, Mrs. Wm., 1200 Centre	111. Bandy, Mrs. Wm., 1200 Glenwood
52. Aspin, Mrs. Wm., 1200 Centre	112. Bandy, Mrs. Wm., 1200 Glenwood
53. Aspin, Mrs. Wm., 1200 Centre	113. Bandy, Mrs. Wm., 1200 Glenwood
54. Aspin, Mrs. Wm., 1200 Centre	114. Bandy, Mrs. Wm., 1200 Glenwood
55. Aspin, Mrs. Wm., 1200 Centre	115. Bandy, Mrs. Wm., 1200 Glenwood
56. Aspin, Mrs. Wm., 1200 Centre	116. Bandy, Mrs. Wm., 1200 Glenwood
57. Aspin, Mrs. Wm., 1200 Centre	117. Bandy, Mrs. Wm., 1200 Glenwood
58. Aspin, Mrs. Wm., 1200 Centre	118. Bandy, Mrs. Wm., 1200 Glenwood
59. Aspin, Mrs. Wm., 1200 Centre	119. Bandy, Mrs. Wm., 1200 Glenwood
60. Aspin, Mrs. Wm., 1200 Centre	120. Bandy, Mrs. Wm., 1200 Glenwood

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**URBAN POLLING DIVISION No. 45****NOTICES TO ELECTORS****Settings for Revision**

The settings for the revision of the preliminary list, as printed herewith, will be held at 1418 Indian Grove, Port Credit, between 10 and 11 a.m. and between 7 and 10 p.m. Standard time of Thursday, Friday, and Saturday, the 16th, 17th and 18th days of June, 1968, when all applications for corrections to and additions to the said preliminary list will be dealt with by the revising officer.

**Affidavits of Objections**

During the settings for revision on the Thursday and Friday mentioned opposite, any duly qualified elector of the revised district in which the above-mentioned urban polling division is comprised may appear before the revising officer of such revised district to subscribe to an affidavit of objection attaching the qualifications as elector of a person whose name appears on this list of electors.

**Location of Ordinary Polling Station**

The polling station at which you may vote on the 18th day of June, 1968, between 8 a.m. and 1 p.m. (Standard time), will be located at or near

**Kenslie School**  
1360 Brackenroad Rd.

**Advance Poll**

You may vote at the advance poll (1) if your name appears on the list of electors for your polling division; and  
(2) if you have reason to believe that you will be absent from and unable to vote in your polling division on the ordinary polling day, and you take and subscribe to an affidavit in that effect before the deputy returning officer at the advance polling station.

If such conditions exist, you may vote at the advance polling station located at or near 7 Wanda Rd., Port Credit, between 8 a.m. and 8 p.m. (Standard time) of Saturday, the 16th day of June, 1968, or of Monday, the 17th day of June, 1968.

**Certificate**

I hereby certify that the list printed hereunder is the preliminary list of electors for urban polling division No. 45 of the electoral district of Peel South, as prepared by the enumerators in connection with the pending federal election.

Given under my hand at Milton, this 14th day of May, 1968.

**KEITH SHAW**

Returning Officer

2910 Derry Road E., Milton

Office Address

677-8921

Telephone Number

NOTE—This list of electors should be preserved until after polling day at the pending federal election.

**CANADA ELECTIONS ACT****URBAN PRELIMINARY LIST OF ELECTORS**

Electoral District of Peel South. Town of Mississauga.

Urban Polling Division No. 45.

Comprising an area included within a line described as commencing at the intersection of Indian Valley Trail and Hurontario St.; thence westerly on Indian Valley Trail to Glenwood Drive; thence southerly on Glenwood Drive to Kenslie Ave.; thence easterly on Kenslie Ave. to Victor Ave.; thence southerly on Victor Ave. to Mineola Road; thence easterly on Mineola Road to Hurontario St.; thence northerly on Hurontario St. to point of commencement.

The following names have been enumerated during a recent house-to-house visitation in the above mentioned polling division by a pair of urban enumerators.

**AVONBRIDGE ROAD**

1348 McTavish, Mrs. Margaret, secretary  
1349 McTavish, Miss Dawn, student  
1349 Desile, Mrs. Mary B. —  
1350 Guster, Garth A., manager  
1350 Guster, Mrs. Ivy —  
1350 Guster, Miss Carol, R.N.  
1351 Humes, Howard, per. director  
1351 Humes, Mrs. Betty, publishing mng.  
1354 Finley, William, salesman  
1354 Finley, Mrs. Anne —  
1355 Field, Lloyd A., superintendent  
1356 Field, Mrs. Jeanne —  
1374 Lockwood, Thomas M., doctor  
1374 Lockwood, Mrs. Dorothy —  
1374 Lockwood, Donald, teacher  
1375 Stewart, Mrs. Genevieve —  
1382 Thornycroft, Jack, ironworker  
1382 Thornycroft, Mrs. Leslie —  
1383 Wadia, Gerald, salesman  
1383 Wadia, Mrs. Dorothy —  
1383 Wadia, Bill, sales & accounting  
1390 Jackson, Robert, teacher  
1390 Jackson, Mrs. Kathleen —  
1391 Wilman, Wilfred, engineer  
1391 Wilman, Mrs. Shirley —

**GLENBURNIE ROAD**

1326 Hall, Elmer, underwriter  
1326 Hall, Mrs. Berenice —  
1328 Hall, Grant, student  
1328 Perkins, Edmund O'Hall, retired  
1328 Perkins, Mrs. Frances —  
1348 Walter, James, doctor  
1348 Walter, Mrs. Elsie —  
1348 Staker, James, self employed  
1348 Staker, Mrs. Wendy —  
1358 Welland, Doris H., chef of  
1358 Welland, Mrs. Margaret —  
1360 Saville, Henry, salesman  
1360 Saville, Mrs. Edna —  
1360 Saville, Miss Dorothy —  
1361 Warren, Henry Robert, architectural eng.  
1361 Warren, Mrs. Joyce —  
1362 Johns, Fred, chef/cook  
1362 Johns, Mrs. Audrey —  
1366 Johns, Douglas, student  
1371 Turner, Charles F., publisher  
1371 Turner, Mrs. Jenny —  
1374 Taylor, Robert, engineer

**GLENBURNIE ROAD—Con.**

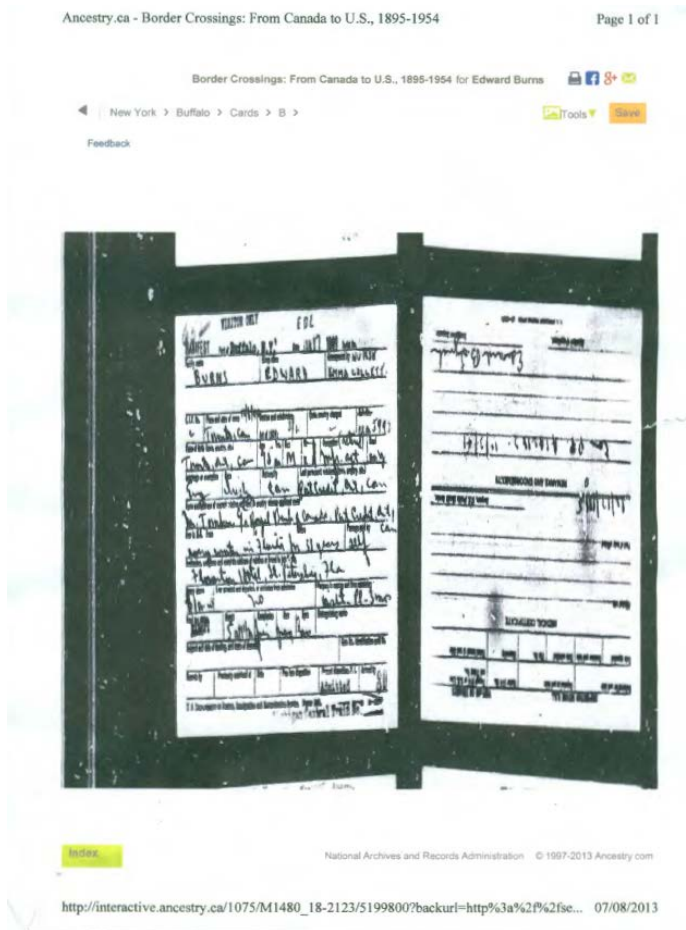
1374 Taylor, Mrs. Myrtle, secretary  
1375 Noble, Reginald, builder  
1379 Noble, Mrs. Theresa —  
1387 Perry Willett A., self employed  
1388 Perry, Mrs. Joyce, self employed  
1390 Gann, Robert F., executive  
1390 Gann, Mrs. Charlotte —  
1391 Gardner, Victor, real estate  
1391 Gardner, Mrs. Una —  
1391 Gardner, Sam, tax manager  
1394 Chipman, Raymond L., dir. of Marketing  
1394 Chipman, Mrs. Mary —  
1400 Black, Ray, engineer  
1400 Black, Mrs. Gladys —  
1404 Black, Robert, civil engineer  
1404 Black, Mrs. Lois —  
1414 Theobald, Arthur, advertising mng.  
1414 Theobald, Mrs. Susan —  
1421 Stiles, Everett, engineer  
1421 Stiles, Mrs. Ivy —  
1421 Stiles, William, student  
1422 Lister, Jack, stockbroker  
1422 Lister, Mrs. Margaret —  
1422 Lister, Miss Diana, stewardess  
1422 Denovon, Harry Hattman, publisher  
1422 Denovon, Mrs. Lois —  
1423 Hewes, Thomas, exp. pilot  
1423 Hewes, Mrs. Charlotte, pediatrician  
1440 Meyer, Harold Wallace, vice-president  
1440 Meyer, Mrs. Elliott J. —  
1440 Meyer, Miss Barbara, teacher  
1448 Peck, Frank H., salesman  
1448 Peck, Mrs. Irene —  
1452 Mason, Mrs. Julia, receptionist  
1452 Steward, Mrs. Mary —  
1452 McDevitt, Mrs. Lillian, widow  
1454 Archer, John, manager  
1454 Archer, Mrs. Ruth —  
1455 Debarry, John W., bus manager  
1455 Debarry, Mrs. Jane —  
1455 Cooper, George, retired  
1455 Finch, Stanley, salesmanager  
1455 Finch, Mrs. Isabelle —

**GLENWOOD DR.**

1457 Hara, Edward, executive  
1457 Hara, Mrs. Ruth —  
1458 Kowal, Robert, bus manager  
1458 Kowal, Mrs. Kathryn —

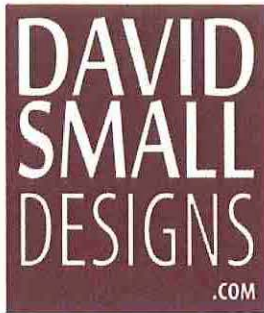
well read  
Wons







341 Kerr Street Suite 210 Oakville Ontario Canada L6K 3B7 Tel 905.842.1314 Fax 905.842.1160



Heritage Advisory Committee <b>January 21 2014</b>
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## Heritage Impact Statement

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**1293 Woodland Avenue  
Mississauga ON L5G 2W9**

**March 21, 2013**

**Report prepared by David W. Small**

A handwritten signature in black ink, appearing to read "D. Small", is written over a horizontal line.

David W. Small

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## Section 1 | Introduction

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### Author:

David W. Small Designs Inc. is a custom home design firm that specializes in infill housing. (i.e. redevelopment of properties in existing mature neighbourhoods. David Small was born to design houses as he grew up watching and learning from his Father and Grandfather who were builders and developers. Growing up with such a 'heritage of housing' David's passion for the business was ignited and this passion led him to where he is today.

Over the past decade, David W. Small Designs Inc. recognizes what heritage is and what it means because as a firm we have done our research and have been involved in the design of over 80 new homes and renovations within cultural landscapes of the area. When designing these custom homes, David takes into consideration the heritage and the cultural landscape in question. The success of the firm is largely based on developing "neighbourhood sensitive" designs that respect the integrity of the existing natural and currently constructed surroundings.

The firm has successfully prepared heritage impact statements for the City of Mississauga for properties listed in numerous cultural landscapes for the last 4 years. Through the preparation of over 20 "H.I.S" documents David W. Small Designs has acquired a clear understanding of cultural within the City of Mississauga.

David W. Small Designs Inc has successfully completed "H.I.S" documents for the following properties located in Mississauga:

1. 250 Pinetree Way – March 2013
2. 1296 Woodland Avenue – March 2013
3. 29 Cotton Drive – March 2013
4. 1373 Glenwood Drive – August 2012
5. 1394 Victor Avenue – May 2012
6. 1570 Stavebank Road – May 2012
7. 2494 Mississauga Road - April 2012
8. 162 Indian Valley Trail – March 2012



9. 500 Comanche Road – March 2012
10. 277 Pinetree Way – January 2012
11. 1362 Stavebank Road – August 2011
12. 1448 Stavebank Road – July 2011
13. 1359 Milton Avenue – July 2011
14. 1380 Milton Avenue – April 2010
15. 1248 Vesta Drive – March 2010
16. 64 Veronica Drive – February 2010
17. 125 Veronica Drive – January 2010
18. 224 Donnelly Drive – October 2009
19. 1570 Stavebank Road – October 2009
20. 1379 Wendigo Trail – September 2008
21. 142 Inglewood Drive – September 2008
22. 1524 Douglas Drive – September 2008
23. 1443 Aldo Drive – July 2008
24. 1397 Birchwood Height Drive – July 2008
25. 1285 Stavebank Road – May 2008

**Relevance of Heritage Impact Statement:**

The subject property is located in the Mineola West neighbourhood otherwise known as the ‘Mineola West cultural landscape’. As such, it is listed on the City of Mississauga’s heritage register but it is not designated.



## Current City of Mississauga Map:



## Mineola West Neighbourhood Map:





## The Mineola West Cultural Landscape:

“Mineola was developed before it became standard practice to re-grade top soil into large piles in the early twentieth century, level every nuance of natural topography and engineer the complete storm water drainage system artificially. In Mineola a road system was gently imposed on the natural rolling topography of the Iroquois Plain; homes were nestled into slightly larger lots and natural drainage areas were retained. This provided greater opportunity to save existing trees and because the soils and drainage system were minimally impacted, provided fertile ground for the planting of new vegetation, the natural regeneration of native trees and landscaping of the residential landscapes. What has evolved today is a wonderful neighbourhood with a variety of quality housing stock and a rich stimulating landscape that blends the houses with their natural and manicured surroundings. There are no curbs on the roads which softens the transition between street and front yards. The roads wind, rise and fall with the natural topography and houses sit often at odd angles to take advantage of slopes and the location of large trees. A gradual infilling has increased the density over the years and care must be taken to ensure that this does not, in the end, ruin the very quality and character that makes this neighbourhood so appealing and attractive. Of the many neighbourhoods in Mississauga, the Mineola neighbourhood stands out as one of the most visually interesting and memorable. As is often the case, when new development is balanced with the protection of the natural environment, a truly livable and sustainable community evolves. Mineola is an excellent example of this type of community.” – Excerpt from City of Mississauga Cultural Landscape Inventory L-RES-6

## The Mineola West Neighbourhood is Unique in Several Ways:



Mineola West Vegetation

**Vegetation:** More than most neighbourhoods, Mineola West is dominated by the presence of mature trees. They are the number one physical feature that shapes one's impression as they travel through the area. Most of these trees are found along property boundaries and have been, therefore easily preserved through the years.



Narrow Roads, road side ditches and mature vegetation

**Engineering Infrastructure:** Unlike most neighbourhoods, Mineola West is composed of very few “Engineered Streets”. Roads are often narrow and lack the presence of curbs or sidewalks. Storm drainage is dealt with via a network of road side ditches as opposed to the more intrusive storm sewer system found throughout the city. Large trees are often in very close proximity to roads which reinforce the ‘soft’ overall impression of the neighbourhood.



**Housing:** As previously stated Mineola West is home to a broad range of housing sizes, configurations and styles.



Examples of broad range of housing in the Mineola West Neighbourhood



The housing stock continues to evolve as many are attracted to the neighbourhood's aforementioned attributes. Although the overall housing density has increased most homes have been assimilated successfully into their context as the imposing natural elements continue to visually dominate. Attention to architectural detail and craftsmanship have been the most important characteristics and have superseded house style and size in the redevelopment of the area. One can see numerous examples of new and original homes, large and small homes or homes of varying architectural styles coexisting comfortably.



Houses of varying architectural styles



Houses of varying architectural styles



Houses of distinct size differences



Houses both old and new

## Historical Associations

The following is a brief history of the Port Credit area through a chronological overview of the people and events that shaped Mineola West neighbourhood.

In 1837 Robert Cotton emigrated from Ireland where he became a well known farmer and merchant in Toronto. Robert Cotton purchased land and had a house built in 1856, of which remnants of this log cabin still exist. The Cotton Homestead is located on 1234 Old River Road part of range 1 of the C.I.R. Robert Cotton passed away in 1885 and before that time he had transferred the Cotton Homestead to James W. Cotton. Robert and James Cotton were brothers and to most are considered to be the “Fathers” of Port Credit. James Cotton worked along side Robert as a postmaster, storemaster and was the owner of a Wharf. The Cotton Homestead remained in the family until it was sold by Cyril E. Cotton in 1943, and now the Cotton Homestead is designated under Part IV of the Ontario Heritage Act in June 1984.



## Section 3 | Property Details

---

<b>Municipal Address</b>	1293 Woodland Avenue
<b>Legal description</b>	PLAN 355 LOT 2
<b>Municipal Ward</b>	1
<b>Zoning</b>	R2-5 (0225-2007)
<b>Lot Frontage</b>	30.48 m
<b>Lot Depth</b>	45.72 m
<b>Lot Area</b>	1393.85 m <sup>2</sup> (0.139 ha)
<b>Orientation</b>	Front facing South - West
<b>Type</b>	Existing 1 Storey Dwelling
<b>Vegetation</b>	Several mature trees located throughout site
<b>Access</b>	Existing liner asphalt driveway
<b>Current Property Owner</b>	1058849 Ontario Ltd. (416-460-4465)

### Parcel Register:

Information gathered from the Ontario Land Registry office for the Region of Peel indicates the chain of ownership from August 13, 1856 to current. The information provided has been acquired through use of microfilm archives along with current Land Title search. The following ownership transfers have taken place since the earliest records of the property on title.

1. The Crown – Granted to Robert Cotton for Lot 2 Range 1 (Aug.13/1856)
2. Frederick W. Jarvis transferred to Bank of Upper Canada (Nov.17/1865)  
(The above information is taken from the Toronto township book A)
3. Bank of Upper Canada transferred to James W. Cotton (Dec.5/1867)
4. James W. Cotton's will (The Toronto General Trusts Corp.) transferred to Cyril E. Cotton (Mar.16/1905)  
(The above information is taken from the Toronto township book B)
5. Cyril E. Cotton transferred to Mary C. Cotton (Feb.28/1950)
6. Mary C. Cotton transferred to Kermit C. Allard & Maude S. Allard (May.27/1950)
7. Kermit C. Allard & Maude S. Allard transferred to Robert E. Ashford & Evelyn M. Ashford (Jan.18/1956)  
Through research of Kermit C. Allard's indenture it indicated that he was an Advertising Agent, it is unknown for what advertising company he was employed by.
8. Robert E. Ashford & Evelyn M. Ashford transferred to Michael W. Bremner (Sept.8/1965)  
Through research of Robert E. Ashford's indenture there was no information indicated of what his occupation may have been.

**9. Michael W. Bremner transferred to Anne Bremner (Sept.28/1971)**

Through research of Micheal W. Bremner's indenture indicated that he was 21 years old when he made this transfer, and he was also from British Columbia.

**10. Anne Bremner transferred to Nancy A. Birchall (Apr.30/1973)**

Through research of Nancy A. Birchall's indenture there was no information indicated on what her occupation might have been.

**11. Nancy A. Birchall transferred to James K. Young (Apr.1.1977)**

(The above information is taken from the Toronto township book D)

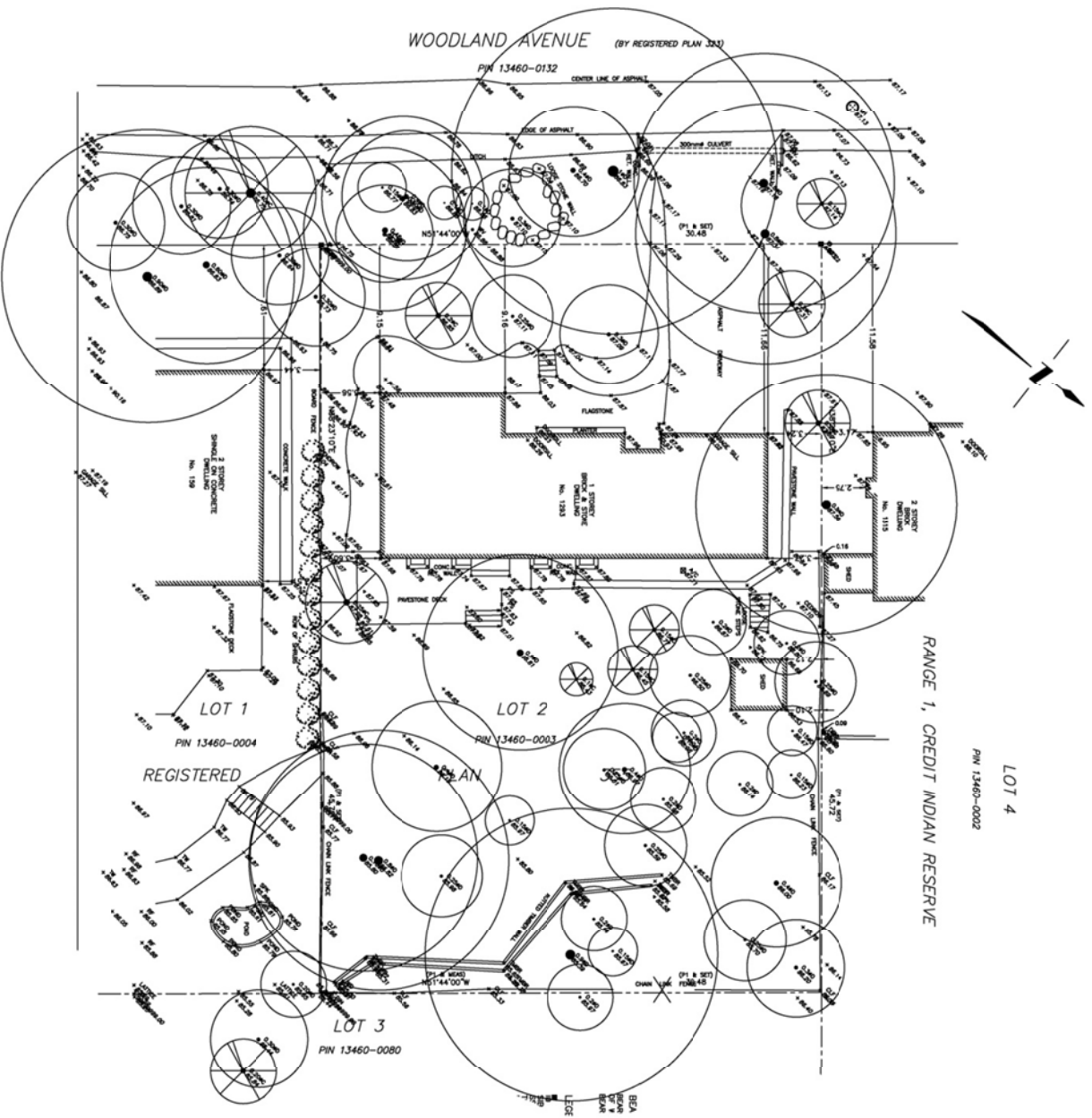
**12. James K. Young transferred to Anne L. Young & Douglas L. Young (Feb.06/1985)**

**13. Anne L. Young & Douglas L. Young transferred to 1058849 Ontario Ltd. (Aug.1/2012)**

James K. Young purchased 1293 Woodland Avenue from Nancy A. Burchall in 1977 and with his wife James lived in their home for 8 years. James K. Young was in the Air Force, so him and his wife traveled and lived many places. In 1985 James K. Young transferred his property to his son Douglas L. Young and his wife Anne L. Young who have lived there for 27 years. Douglas use to work for a company called Briggs & Steaton that speacilzed in lawn mower engines and small engines, and Anne was a speacial education teacher for the Peel District School Board . The house that Douglas and Anne lived in was built in 1950 and also was a prefabricated house, they know this information from Douglas's father James K. Young.

(This information was aquired from Anne L. Young)

## Subject Property Topographical Survey:



## Section 4 | Building Details

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### Exterior Photos



Front Elevation



Rear Elevation



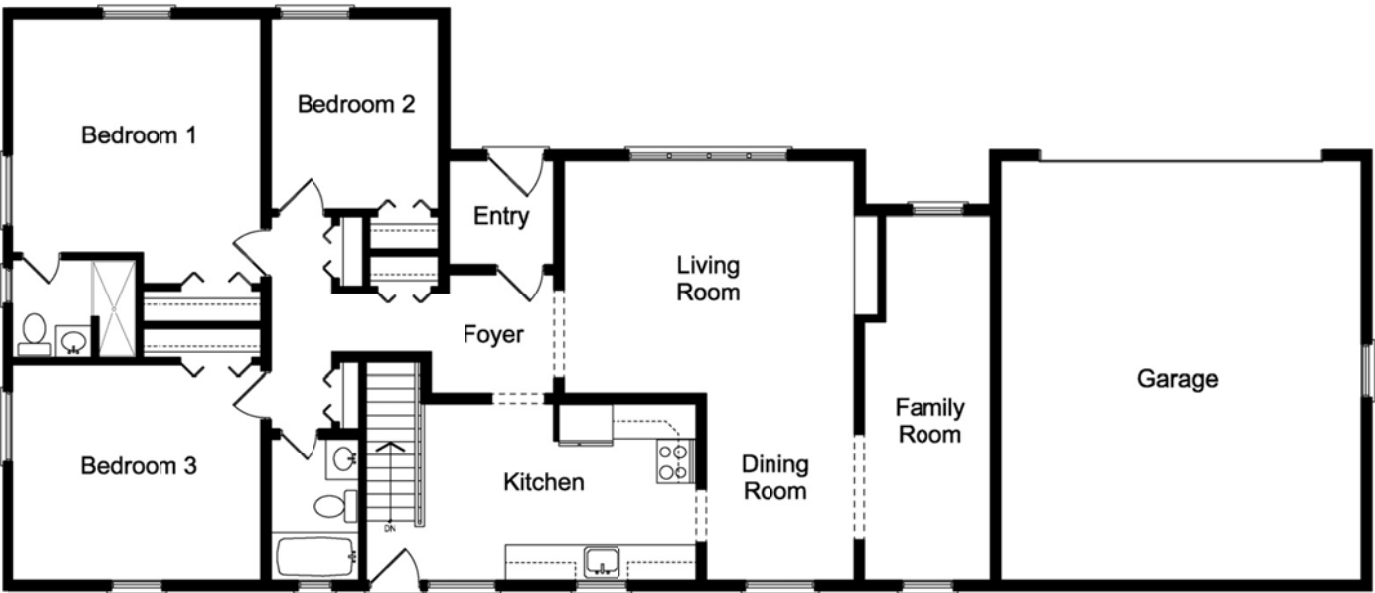


Right-Side Elevation

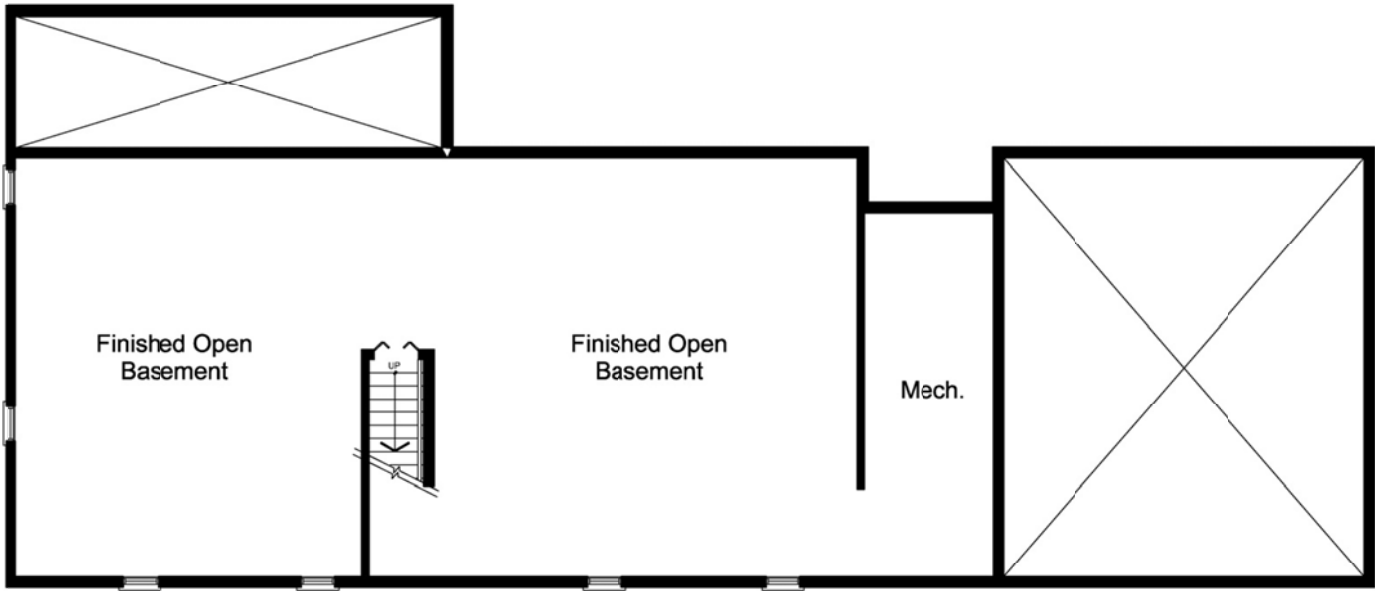


Left-Side Elevation

Existing Floor Plans (not to scale)

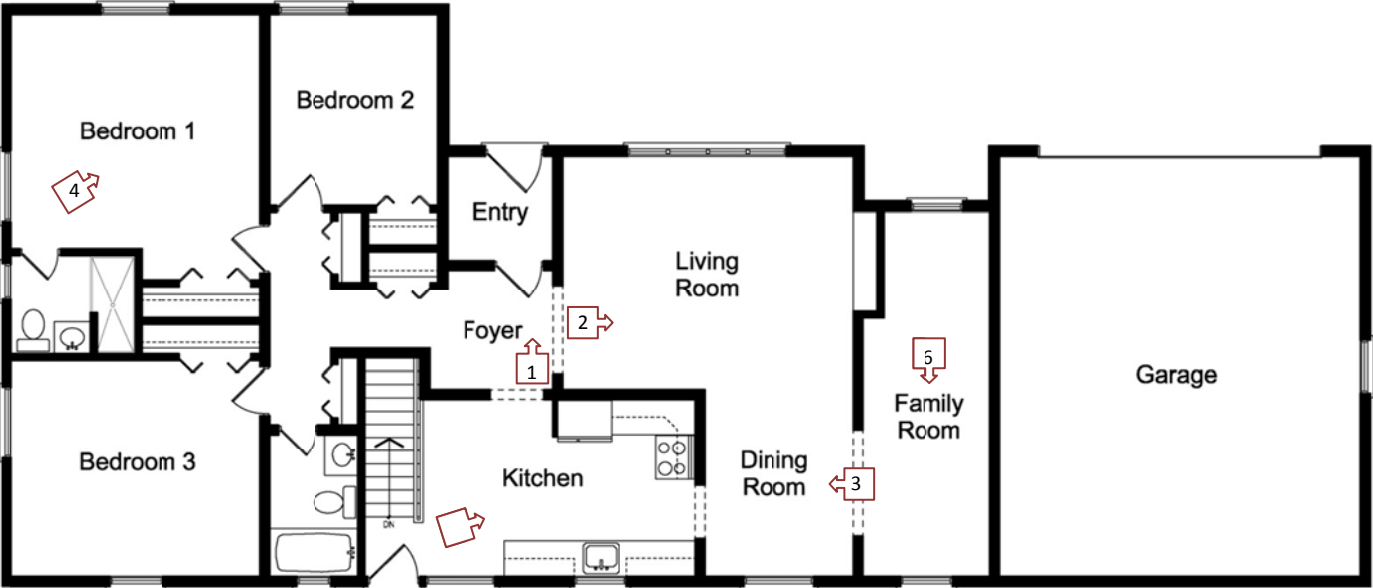


Main Floor Plan

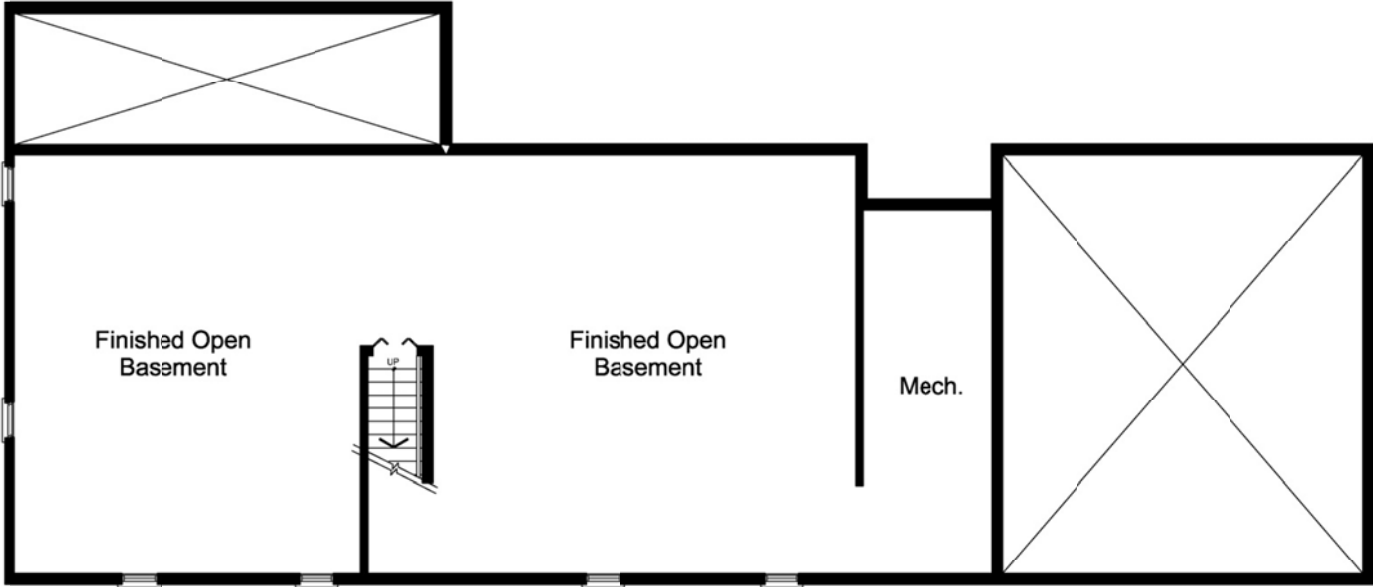


Basement Floor Plan

Interior Photo reference Plan (not to scale)



Main Floor Plan



Basement Floor Plan

## Interior Photos



Interior Photo 1 - Entrance



Interior Photo 2 – Living Room





Interior Photo 3 – Dining Room



Interior Photo 4 – Bedroom



Interior Photo 5 – Kitchen



Interior Photo 6 – Family Room

## House Description:

<b>Construction Date</b>		Circa 1950
<b>Size</b>		Approximately 2100 sf including attach Garage
<b>Building Type</b>		1 Storey dwelling
<b>Wall Construction</b>		Wood Frame and Concrete Block
<b>Exterior Cladding</b>		Stone, Wood Siding and Brick
<b>Roofing Material</b>		Asphalt Shingles
<b>Setbacks</b>		Front Yard – 9.0 m
		Right Side – 6.47 m
		Left Side – 2.41 m
		Rear Yard – 24.28 m

## Alterations to the Original House

The original home, built circa 1950, is a 1 Storey dwelling. We have made reference to the City of Mississauga permitting records the files do not show firm evidence that it was exactly 1950 as they do not go back far enough. However confirmation was provided through conversation with Anne L. Young.

▫ App Number  ▫ <u>App Date</u>	▫ Address  ▫ Description	▫ Scope  ▫ Type Description	▫ <u>Issue Date</u>  ▫ Status
HC 79 386875  1979-04-09	1293 WOODLAND AVE  QUEENSWAY DRN. - CONVERSION CODE - BLDG		HISTORY COMMENT PERMIT
HC 79 386876  1979-04-09	1293 WOODLAND AVE  QUEENSWAY DRN. - CONVERSION CODE - PLUM		HISTORY COMMENT PERMIT

## Analysis of Existing Structure

The existing home is representative of circa 1950 vernacular 1 Storey dwelling. The home does not display any outstanding degree of craftsmanship, technical achievement and has only moderate artistic merit.

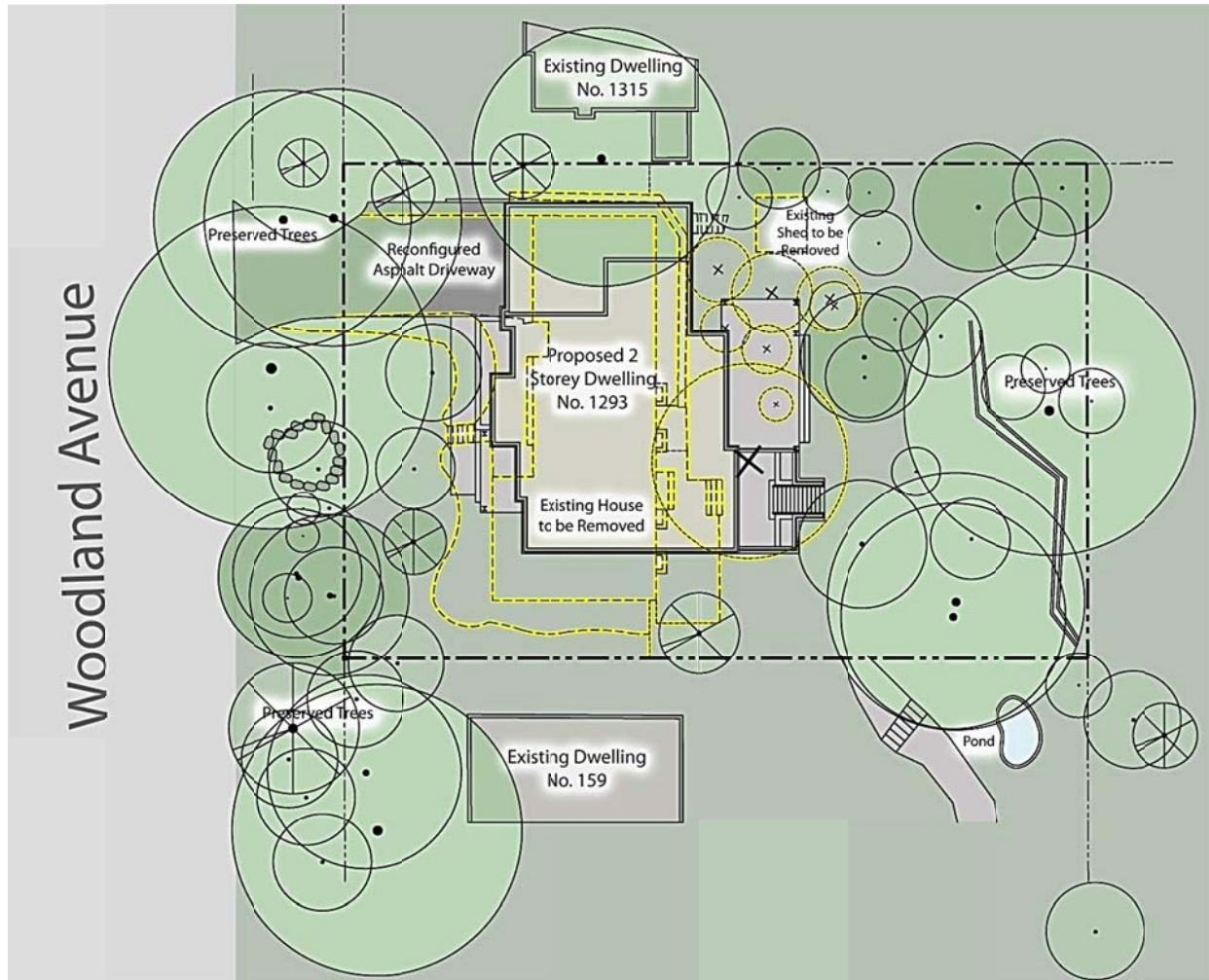
The existing home is not known to represent significance related to theme, event, belief, person, activity, organization or institution in the community. It is not known to possess any characteristics that contribute to an enhanced understanding of the community or local culture. It is also not known to represent the work of any architect, artist, builder, designer or theorist in the community. The property has only modest contextual value as far as its support of the character of the area. There is no link to its physical, functional, visual or historic surroundings.

The existing home plays a moderately significant role in its support of the character of the area as its massing and scale are similar to the adjacent homes on Woodland Avenue.

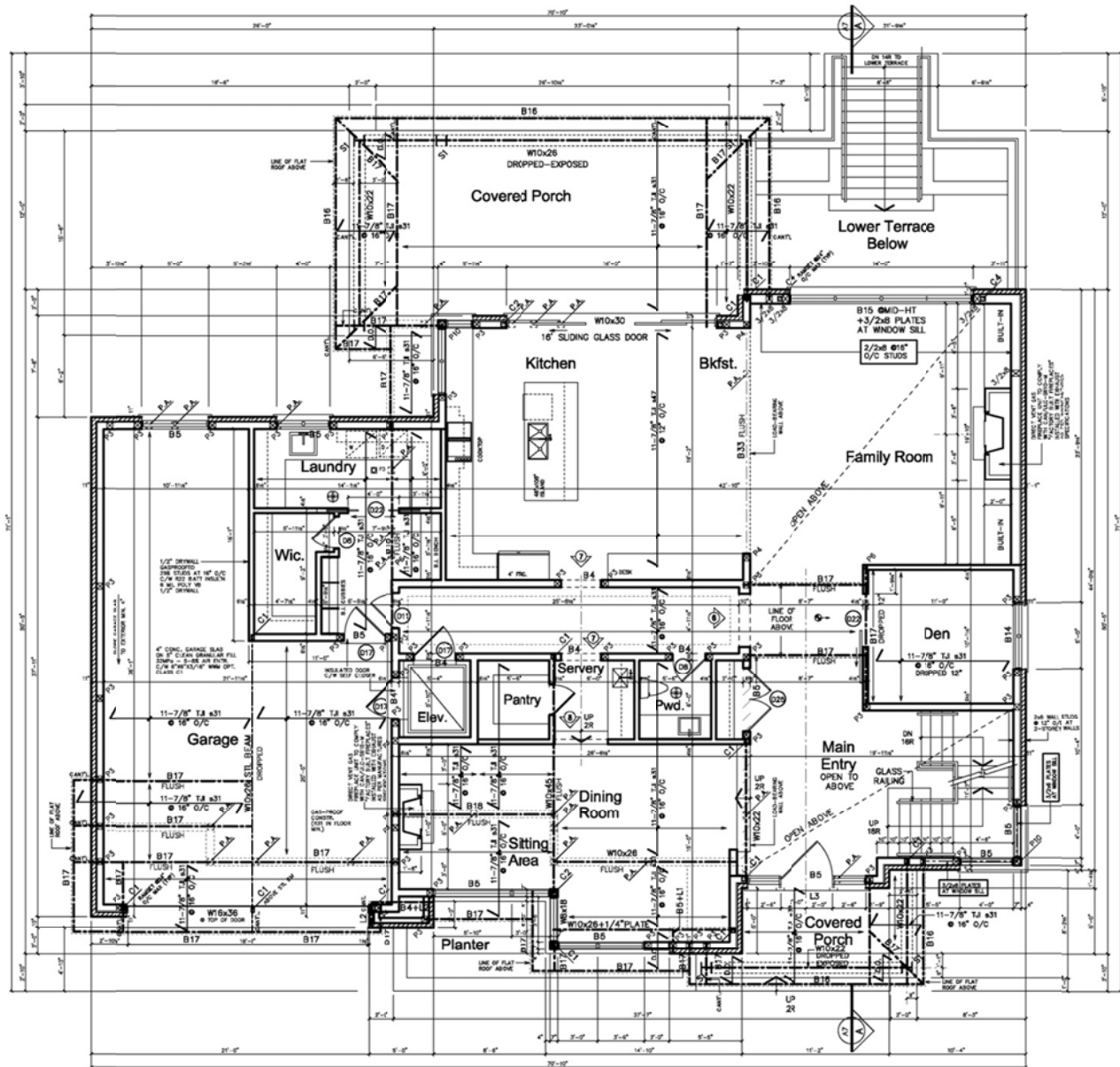


## Section 5 | Development Proposal

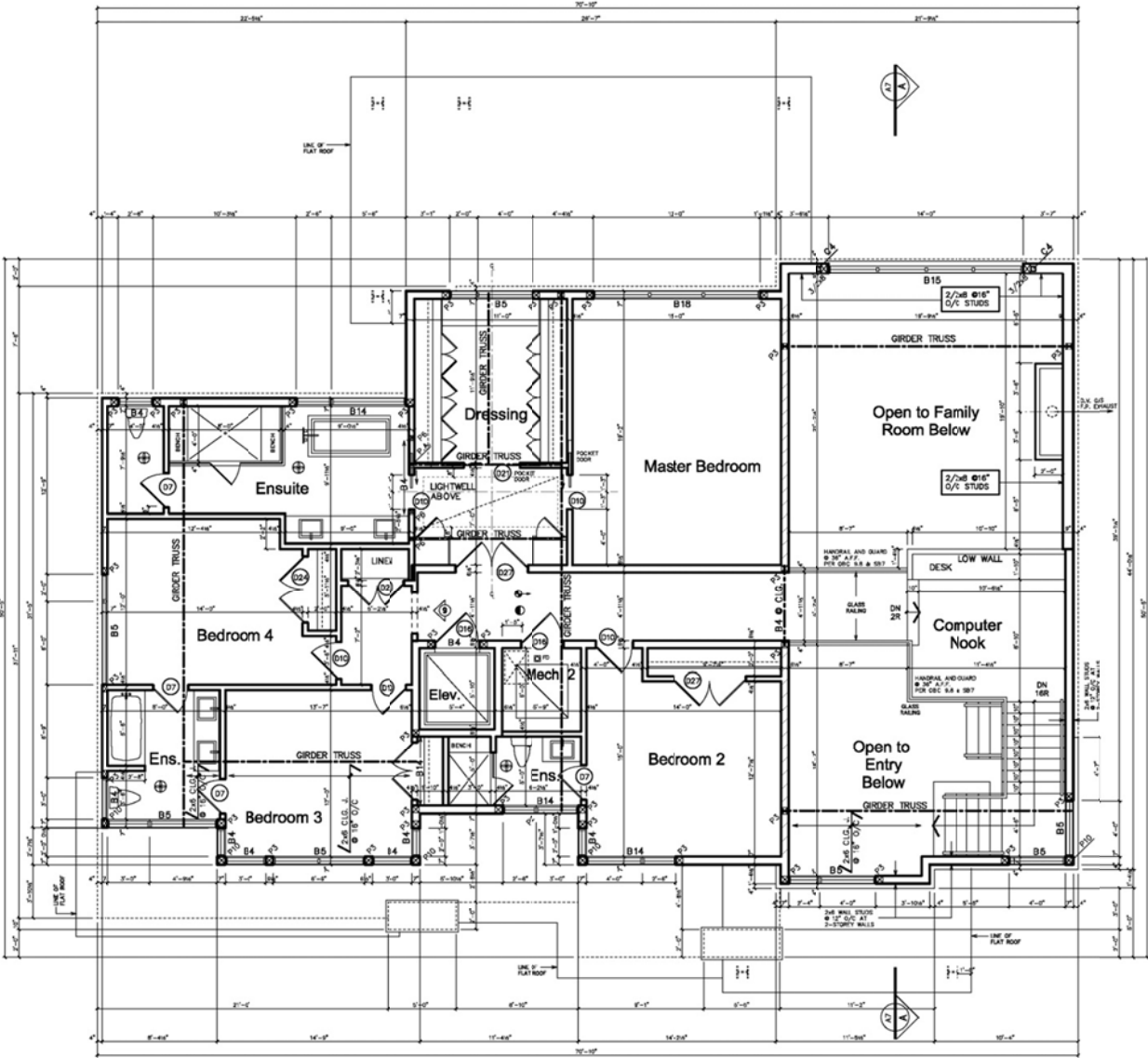
### Site Development Plan



## Proposed Ground Floor Plan:



Proposed Second Floor Plan





Proposed Elevations:



1315 Woodland Avenue

1293 Woodland Avenue

159 Veronica Drive

Streetscape Elevation



Left - Side Elevation

Rear Elevation

Right - Side Elevation



## Section 6 | Conclusion

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The proposed home at 1293 Woodland Avenue has been designed with similar massing characteristics of other homes on Woodland Avenue and adjacent streets throughout the neighborhood. Although the massing of the proposed home does not represent the immediate adjacent neighbors the house has been designed in a manner in which it can successfully cohabitate with the existing dwellings.



Property adjacent to 1293 Woodland Avenue

The scale of the proposed dwelling is similar to other dwellings located throughout the neighborhood. As seen on the streetscape sketch in Section 5 of this report this area is home to mature foliage throughout the property.



View of where driveway access is being maintained

The majority of existing mature trees have been preserved through the development with the exclusion of trees in direct conflict with the proposed house footprint. The driveway has been reconfigured internally; however it maintains the same access to Woodland Avenue.



Photo 1 – View from street looking North



Photo 2 – View from street looking East



Photo 3 – View from street looking South



Photo 4 – View from street looking West

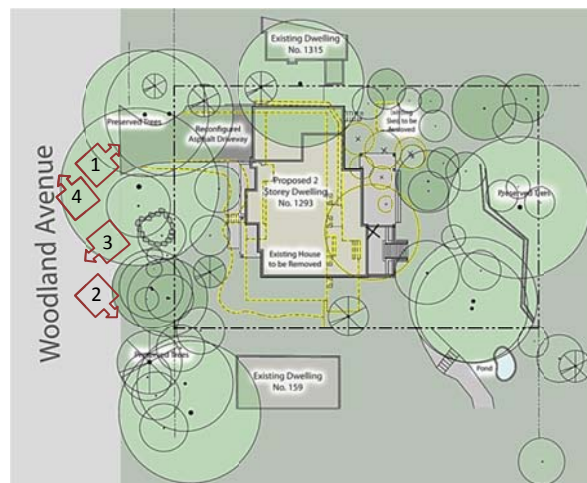


Photo Reference Plan

The proposed home respects the Mineola West Cultural Landscape’s characteristics and is consistent with all planned redevelopment efforts throughout the area.

### **Summary Statement and Conservation Recommendations:**

The existing 1 storey dwelling located at 1293 Woodland Avenue has not been designated under the Ontario Heritage Act; however, the property has been listed on the register under the Mineola West Cultural landscape. As such the significance of the existing dwelling does not merit conservation measures. The impact of the proposed development has been taken into consideration when designing both the proposed home and the natural preservation of streetscape presence. The proposed dwelling has been designed to respect the front yard setbacks and adjacent properties. The proposed dwelling has been designed in such a manner that the frontage represents a 2-storey dwelling with mixed massing and scale which helps lower the impact on adjacent properties. The proposal does not contravene the intentions of the Mineola West Cultural Landscape listing. For the aforementioned reasons we are certain that conservation or alternative development measures are not appropriate for the subject property.

### **Mandatory Recommendation:**

As per criteria set out in Regulation 9/06 of the Ontario Heritage Act the following reasons are why the subject property is not worthy of heritage designation and does not meet such criteria stated in Regulation 9/06.

1. *Does the property meet the criteria for heritage designation under the Ontario Regulation 9/06, Ontario Heritage Act?*

The property itself has been listed on the heritage register under the Mineola West Cultural Landscape; however the existing dwelling has not been designated. The existing house does not meet criteria set out in Regulation 9/06, Ontario Heritage Act.

2. *If the subject property does not meet the criteria for heritage designation then it must be clearly stated why it does not.*

The existing home is not known to represent significance related to theme, event, belief, person, activity, organization or institution in the community. It is not known to possess any characteristics that contribute to an enhanced understanding of the community or local culture. It is also not known to represent the work of any architect, artist, builder, designer or theorist in the community. The property has only modest contextual value as far as its support of the character of the area. There is no link to its physical, functional, visual or historic surroundings.

3. *Regardless of the failure to meet criteria for heritage designation, does the property warrant conservation as per the definition in the Provincial Policy Statement?*

The property has been listed on the register and does warrant conservation as per the Mineola West Cultural landscape. The proposed development proposes conservation methods of the cultural landscape of the property as a whole. As stated above the existing dwelling does not warrant conservation as per Ontario Regulation 9/06, Ontario Heritage Act or the Provincial Policy Statement.



## Section 7 | Bibliography

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Dieterman, Frank A. Mississauga The first 10,000 Years. The Mississauga Heritage Foundation Inc., 2002

City of Mississauga Cultural Landscape Inventory L-RES-6 Community Services Department January 2005

City of Mississauga Services Online – eMaps <http://www6.mississauga.ca/eMaps/llafipz55wrpwqa55adxyff55/default.aspx>

Wilkinson, Matthew. Historian. Heritage Mississauga, 2013

Young, Anne L. Resident. Mississauga, 2013



**Welwyn Consulting**

June 7, 2013

**GARDROSE CUSTOM HOMES**

c/o Milton Fonseca  
305 Iroquois Avenue  
Mississauga, Ontario  
L5G 1M8

Heritage Advisory Committee

January 21 2014

**SUBJECT: Arborist Report and Tree Preservation Plan  
1293 Woodland Avenue, Mississauga**

Dear Milton:

Attached please find the Arborist Report and Tree Preservation Plan that I have prepared for your property.

My report includes an evaluation of all trees on or within 6 metres of the subject site's property lines with a diameter at breast height (DBH) of 15cm or greater. This evaluation includes the DBH, height, canopy spread, health, and structural condition of all trees that may be affected by the currently proposed site plan. My report also provides a Tree Preservation Plan for the property, including the appropriate Tree Protection Zones (TPZ).

This information complies with The City of Mississauga's *Private Tree Protection By-Law 254-12* and *Site Plan Control By-Law 0293-2006*.

Included in the report (if required) are Valuation Appraisals of any City-owned trees as required by the City of Mississauga to obtain the necessary tree permits.

This letter is part of the Arborist Report and Tree Preservation Plan and may not be used separately. Please feel free to contact me to discuss this report further.

Best regards,

A handwritten signature in black ink, appearing to read "Tom Bradley".

Tom Bradley B.Sc. (Agr)  
ASCA Registered Consulting Arborist #492  
ISA Certified Arborist #ON-1182A  
Butternut Health Assessor #257 (MNR)  
**Welwyn Consulting**  
welwyntrees@gmail.com  
(905)301-2925



**Welwyn Consulting**

# **Arborist Report and Tree Preservation Plan**

**1293 Woodland Avenue, Mississauga**

**Prepared For**

**GARDROSE CUSTOM HOMES**

c/o Milton Fonseca

305 Iroquois Avenue

Mississauga, Ontario

L5G 1M8

**Prepared By**

**Tom Bradley**

**ASCA Registered Consulting Arborist #492**

**ISA Certified Arborist #ON-1182A**

**Butternut Health Assessor #257 (MNR)**

**Welwyn Consulting**

1222 Welwyn Drive

Mississauga, Ontario

L5J 3J3

**Prepared On**

**June 7, 2013**

**Amended On**

**June 27, 2013 (building footprint re-location)**



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## Summary

This Arborist Report and Tree Preservation Plan addresses all trees with a diameter at breast height (D.B.H.) of 15cm or greater and within 6 metres of the subject site that may be affected by the proposed property development and provides recommendations for their preservation and/or removal. This report also includes hoarding distances for the Tree Protection Zones (TPZ) and provides recommendations for current and future tree health care.

Based upon the Tree Inventory for this property, there are **47 trees** that may be affected by the proposed site development plan:

- 34 trees on the subject site
- 4 neighbouring trees within 6 metres of the subject site property line
- 1 shared ownership tree (subject site and neighbour west of subject site)
- 8 City-owned trees within proximity to the subject site

**Table 1: Tree Preservation and Removal**

<b><u>TREES TO PRESERVE</u></b>	<b><u>TREE NUMBER</u></b>	<b><u>TOTAL</u></b>
i) Subject Site Trees	5, 8, 16, 17, 19, 20, 21, 22, 27, 28, 29, 30, 32, 33, 34, 35, 37, 38, 43, 44, 45	21
ii) Neighbouring Trees	6, 18, 36, 39	4
iii) Shared-ownership Trees	7	1
iv) City-owned Trees	1, 2, 3, 40, 42, 46, 47	7
	<b>#of Trees To Be Preserved:</b>	<b>33</b>
<b><u>TREES TO BE REMOVED</u></b>	<b><u>TREE NUMBER</u></b>	<b><u>TOTAL</u></b>
i) Subject Site Trees	4, 9, 10, 11, 12, 13, 14, 15, 23, 25, 26, 31	13
ii) Neighbouring Trees	0	0
iii) Shared-ownership Trees	0	0
iv) City-owned Trees	41	1
	<b>#of Trees To Be Removed:</b>	<b>14</b>
	<b>Total trees on or adjacent to subject site:</b>	<b>47</b>

**Specific tree-related issues on this site:**

- 1.) A Certified Consulting Arborist should be on-site during the demolition and subsequent building foundation excavation near Tree #6 to assess and possibly root prune the tree. Please refer to Page 7 of this report for further information.
- 2.) Tree #37 should receive a full Tree Risk Assessment to determine the extent of decay within the north co-dominant stem. If the amount of decay does not warrant removal, then the tree should be fitted with a Dynamic cabling system to support the 2 large co-dominant stems and help to mitigate the tree's hazard potential. Please refer to Page 9 and the photos on Page 34 of this report for further information.



## **Introduction**

This Arborist Report and Tree Preservation Plan provides the current condition of all trees with a D.B.H of 15cm or greater on or adjacent to the subject site that may be affected by the proposed site development plan, including any City and/or neighbouring trees within 6 metres of the subject site's property lines as indicated by the attached site plan in Appendix A. The intent of the Tree Preservation Plan is to retain as many trees on the site as is reasonable through the use of Tree Protection Zones (TPZ) and other generally recognized arboricultural practices, and to minimize the potential impact of construction injury to the trees.

## **Assignment**

I was contacted by Milton Fonseca of Gardrose Custom Homes to provide an Arborist Report and Tree Preservation Plan, as required by the City of Mississauga's *Private Tree Protection By-Law 254-12* and *Site Plan Control By-Law 0293-2006* to minimize the impact that the proposed construction may have on the trees on or adjacent to this property. My report shall list specific trees to be preserved or removed, recommend any immediate maintenance required to create a safer environment for contractors and the property owner and provide a long-term tree preservation and management plan for the site.

## **Limits of Assignment**

This report is limited to assessing and documenting the health and structural condition of the trees with a D.B.H of 15cm or greater on or 6 metres from the subject site during my site survey on June 3, 2013. My evaluation is based upon a visual inspection of the trees from the ground, the analysis of photos, and any samples taken during that inspection. Unless specifically stated in the report, neither aerial inspections nor root excavations were performed on any trees on site or within 6 metres of the subject site.

## **Purpose and Use**

The purpose of this report is to document the current health and structural condition of the trees with a D.B.H of 15cm or greater on and within 6 metres of the subject site property, and to provide an Arborist Report and Tree Preservation Plan that complies with the City of Mississauga's *Private Tree Protection By-Law 254-12* and *Site Plan Control By-Law 0293-2006*.

This report is intended for the exclusive use of Milton Fonseca and Gardrose Custom Homes. Upon submission by and payment to Welwyn Consulting, this report will become their property to use at their discretion.



## Observations

The proposed development is located in an established residential area near the intersections of Mineola Road and Woodland Avenue within the City of Mississauga. This site presently contains a residential dwelling that will be demolished and replaced with a new home. I visited the site on June 3, 2013 to conduct my tree inventory and take photographs of the trees on site, as well as any neighbouring or City-owned trees that may be affected by the proposed site plan.



Photo #1



Photo #2

**Figure #1:** These 2 photos show the front and back yard of the property at 1293 Woodland Avenue as they appeared during the tree inventory conducted on June 3, 2013.

## Appendices

**Appendix A** contains the most current site plan supplied by Gardrose Custom Homes and provides the following information:

- The location of the trees on or adjacent to the subject site
- Property lines for the subject site and neighbouring properties
- Property lines for City-owned lands adjacent to the subject site
- All existing buildings and hard surfaces
- An outline of the proposed building

**Appendix B** contains the Tree Inventory for this site. All trees were assigned numbers, and measured for diameter at breast height (DBH=1.4m), height, and canopy spread. The trees' health and structural condition were evaluated, which provides the basis for their recommended preservation or removal.

**Appendix C** contains the Tree Appraisal values for any City-owned trees on municipal property adjacent to the subject site that may be impacted by the proposed site plan.

**Appendix D** contains selected photos of trees on this site.



**Welwyn Consulting**

### **Trees to Preserve (33)**

Prior to any work commencing, an on site meeting should take place with the following people to discuss the Tree Preservation Plan:

- A Certified Consulting Arborist
- A representative from the City of Mississauga's Urban Forestry Department
- The property owner(s) and any Architects, Engineers, and contractors involved with the project

▪ **Trees #1-3, 40, 42, 46 and 47      City owned trees**

These 7 trees are located in the front yard of 1293 Woodland Avenue on lands owned by the City of Mississauga. The root systems and branch canopies of these trees could be injured during the proposed demolition and construction activities on this site so they must be protected.

These 7 City-owned trees must be preserved. Full implementation of the Tree Care Recommendations, Tree Preservation Plan and Tree Preservation Guidelines starting on Page 11 of this report should result in the trees' continued survival.

▪ **Tree #5                                      Blue Spruce (subject site)**

This tree is located in the front yard of 1293 Woodland Avenue and adjacent to the proposed subject site garage. The tree's root system and branch canopy could be injured during the demolition and construction phases of this project so it should be protected.

This tree should be preserved. Full implementation of the Tree Care Recommendations, Tree Preservation Plan and Tree Preservation Guidelines starting on Page 11 of this report should result in the tree's continued survival.

▪ **Tree #6                                      Red Oak (neighbouring tree)**

This large-caliper neighbouring tree is located west of the proposed subject site garage at 1293 Woodland Avenue. **The proposed building foundation has been moved southeast to better accommodate this tree's root system and will now be located 1.15m southeast of the existing west wall of the garage foundation.**

*A Certified Consulting Arborist should be on-site during both demolition and the proposed building foundation excavation to determine the size and quantity of Tree #6's roots that could be affected. Any roots in the immediate area of the excavation could be assessed and properly pruned by the attending Arborist. This action should reduce the potential for root injury caused by the excavating equipment, and provide any pruned roots with the best opportunity to regenerate.*

This neighbouring tree must be preserved. Full implementation of the Tree Care Recommendations, Tree Preservation Plan and Tree Preservation Guidelines starting on Page 11 of this report should result in the tree's continued survival.





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### **NOTE:**

Below is a comment regarding the potential root system injury to Tree #6 from the City of Mississauga's Development and Design/Planning and Development Division:

One mature neighbors tree will incur 40 to 50% root loss as a result of excavation on this site. Relocating the proposed dwelling to the south of the site would improve this situation. The owner is responsible for damage or injury to neighbours trees and bears all responsibility should a civil action be launched by a neighbour. Add the following note to the site plan drawing: "The proposed development of the subject site may negatively impact the root zones of nearby trees on adjacent property and ultimately damage the trees. The owner should take all reasonable steps to minimize disturbance to the adjacent trees root zones that are within the subject site."

### ■ **Tree #7                                      Yellow Birch (shared ownership tree)**

This tree is located in the back yard of 1293 Woodland Avenue and adjacent to a wooden privacy fence separating the subject site from the neighbouring property to the west. The tree's root system and branch canopy could be injured during the demolition and construction phases of this project so it should be protected.

All shared trees must be preserved unless their removal is agreed upon in a "Letter of Agreement" signed by all owners. Full implementation of the Tree Care Recommendations, Tree Preservation Plan and Tree Preservation Guidelines starting on Page 11 of this report should result in the tree's continued survival.

### ■ **Trees #8, 16, 17, 19, 20, 21, 22, 27, 28, 29, 30, 32, 33, 34, 35, 37, 38, 43, 44, and 45 (Subject site trees)**

With the exceptions of Trees #43, 44 and 45 located in the front yard, these trees are located in the back yard of 1293 Woodland Avenue as part of a natural "woodlot" near the rear of the property. A small creek also passes through this woodlot area. The root systems and branch canopies of these trees could be injured during the demolition and construction phases of this project so they should be protected.

These 20 trees should be preserved. Full implementation of the Tree Care Recommendations, Tree Preservation Plan and Tree Preservation Guidelines starting on Page 11 of this report should result in the trees' continued survival.

### ■ **Trees #18, 36 and 39                      Neighbouring trees**

These 3 trees are located on the neighbouring properties to the north and east of 1293 Woodland Avenue and appear to be outside the scope of the currently proposed site plan.

These 3 neighbouring trees must be preserved. Full implementation of the Tree Care Recommendations, Tree Preservation Plan and Tree Preservation Guidelines starting on Page 11 of this report should result in the trees' continued survival.



### **Trees to Remove (14)**

Prior to construction, all trees scheduled for removal should be removed to grade level to increase the safety for both the property owner and any contractors.

■ **Trees #4, 9-14, 24 and 25      Subject site trees**

These 9 trees are in conflict with the proposed site plan, and should be safely removed to grade level prior to the commencement of on-site construction activities.

**NOTES:**

- 1.) Trees 11, 12 and 13 are below the 15cm DBH threshold for protection under the City of Mississauga's Private Tree By-Law and may be removed at the discretion of the homeowner/builder.
- 2.) Tree #25 is in conflict with the proposed site plan and is also in poor health and structural condition.

■ **Trees #15, 23, 26, 31, and 41      Subject site trees**

These 5 trees should be safely removed to grade level prior to the commencement of on-site construction activities for the following reasons:

- 1.) Tree #15 has a large open cavity decay column extending a minimum of 8m up the main stem and represents a high "level of risk."
- 2.) Trees #23, 26 and 41 are 100% dead and represent an increased "level of risk".
- 3.) Tree #31 is over 90% dead and represents an increased "level of risk".

### **Trees to Inspect (1)**

■ **Tree #37      Silver Maple (subject site tree)**

This large-caliper tree has two structural weaknesses that increase its "level of risk." The tree has 2 co-dominant stems with a narrow included bark union near the tree's base and there is a significant cavity (minimum 2m tall x 10cm wide x 40cm deep) at the base of the north co-dominant stem. Given the tree's poor structural condition and its proximity to a failure target such as the nearby neighbour's home to the north of 1293 Woodland Avenue, this tree poses an increased safety risk.

Tree #37 should receive a full Tree Risk Assessment to determine the extent of decay within the north co-dominant stem. If the amount of decay does not warrant removal, then the tree should be fitted with a Dynamic cabling system to support the 2 large co-dominant stems and help to mitigate the tree's hazard potential.



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### **Replacement Tree Planting**

Below is the Tree Replacement Plan Policy from The City of Mississauga's *Private Tree Protection By-Law 254-12*:

- (2) Where the planting of a Replacement Tree(s) has been imposed as a condition, the Commissioner may require any one or more of the following:
  - (a) the Replacement Tree(s) be located on the same Lot in a location, number, size; and/or species to the satisfaction of the Commissioner;
  - (b) a replanting plan be filed to the satisfaction of the Commissioner;
  - (e) a written undertaking by the Owner to carry out the replacement planting;
  - (f) monies or a letter of credit in a form satisfactory to the Commissioner be delivered to the Commissioner to cover the costs of the Replacement Trees, and the maintenance of the Tree(s) for a period of up to two (2) years; or
  - (g) payment of each Replacement Tree not replanted on the Owner's Lot be made into the City's Replacement Tree Planting Fund. The payment for each such Tree shall be the cost of each street Tree planting as provided in the Fees and Charges By-law.

As required by the City of Mississauga, replacement trees are to be planted as compensation for re-development of the site at 1293 Woodland Avenue as described in the note below from the Planning and Building Department:

Replacement trees are required to compensate for the mature trees being removed as a result of the redevelopment of this site. The number of replacement trees is to be in accordance with the Tree By-law and will be specified once the Tree Removal Permit application has been submitted. Replacement trees are to be native in species, a minimum 100mm caliper for deciduous trees and a minimum 1.80m high for coniferous trees.

A Tree Replacement Plan can be provided by Welwyn Consulting upon notification by the City of Mississauga and by request from the homeowner/builder at 1293 Woodland Avenue.



## Tree Care Recommendations

### **Cabling**

Cabling is a practice which provides physical support for trees with structurally weak limbs, co-dominant stems, any branch or trunk unions with included bark, and tree species generally known to be weak-wooded. An aerial inspection of the tree's structural condition should be performed prior to cable installation, and any dead, diseased, or hazardous wood should be removed. Cabled trees should be inspected annually to assess both the cabling hardware and the tree's structural condition. Cabling reduces but does not eliminate a tree's hazard or failure potential.

#### **Tree #37: Silver Maple (subject site)**

- Pending the results of a full Tree Risk Assessment, this tree should have an approved Dynamic Cabling System installed to help support the co-dominant stems.

### **Fertilization**

Current research conducted through the International Society of Arboriculture (I.S.A.) indicates that preserved trees within close proximity of proposed construction activities should not be fertilized during the 1<sup>st</sup> year following construction injury. Uptake of nutrients and water in compacted soils can be reduced and fertilizer salts may actually remove water from a tree's root zone. If and when supplemental fertilization is deemed necessary, products which stimulate root growth should be employed over those that stimulate shoot and foliage growth and be applied at low application rates.

*Supplemental fertilization needs should be assessed by a Certified Consulting Arborist upon completion of all on-site construction activities, and any recommendations should be based on site-specific soil nutrient deficiencies determined primarily through soil testing and secondarily by visual analysis of nutrient deficiencies in foliage, twigs, buds, and roots.*

### **Pruning**

Pruning is a practice which removes dead, diseased, broken, rubbing, crossing, and hazardous limbs 2.5 cm and larger from trees to create a safer working environment and improve tree health and vigor. Pruning also provides an excellent opportunity for an aerial inspection of the structural integrity of the tree(s). All pruning should be completed prior to any site demolition or construction.

#### **Trees #6 and 39 (neighbours) and 17, 20, 28 and 37 (subject site)**

- Remove large-caliper hazardous deadwood from subject site trees and request removal of deadwood from neighbouring trees

#### **Trees #2, 3, 40 and 47: City owned trees**

- Request the removal of large-caliper hazardous deadwood from these trees by the City of Mississauga's Urban Forestry Department





### **Root Pruning**

Root pruning is performed to minimize a tree's potential loss of structural stability through root removal and/or injury due to excavation within close proximity of its root zone. While not always feasible for all projects, root pruning should occur in late autumn during tree dormancy and ideally one full growing season prior to any on-site construction or demolition to allow for root regeneration. Root pruning should be performed by a Certified Arborist in accordance with generally recognized standards and principles within the field of Arboriculture.

*Hydro-Vac or Air-Spade technologies provide two of the least invasive methods for root zone excavation, and should be performed under the supervision of a Certified Arborist.*

■ **Tree #6: Red Oak (subject site)**

A Certified Consulting Arborist should be on-site during both the demolition and the proposed building foundation excavation to determine the size and quantity of Tree #6's roots that could be affected. Any roots in the immediate area of the excavation could be assessed and properly pruned by the attending Arborist.

### **Irrigation**

An irrigation plan for preserved trees should be designed and implemented with the assistance of a Certified Consulting Arborist. The amount and frequency of irrigation will depend on factors such as soil type, local and seasonal precipitation patterns, duration of droughts, and the amount of construction activity near specific trees.

The top 30 cm of soil in a tree's root zone should be kept moist without being saturated. Infrequent deep watering produces trees with deeper roots, while frequent shallow watering produces shallow-rooted trees.

*When combined with soil aeration improvement techniques such as vertical mulching, drill holes, and radial trenching, an adequate but not excessive supply of moisture to a tree's root zone can be an effective and efficient way to help alleviate construction injury.*

Preserved trees should be monitored at regular intervals by a Certified Consulting Arborist for signs of drought stress or excess irrigation.

■ **An irrigation plan has not been established at this time.**



### **Mulching**

It may be determined by the Certified Consulting Arborist that trees within close proximity of construction activities will require a layer of composted wood chip mulch applied to the root zones inside the TPZ hoarding. Decomposed wood mulch 5–10 cm (2–4 inches) deep applied to a tree's root zone should help to retain soil moisture, regulate soil temperature, and provide a natural organic source of nutrients in their elemental form over time. Piling of mulch against the tree stem should be avoided. Fresh wood chip mulch should be applied to a depth of 20 – 30 cm over steel plates or plywood on vehicle and equipment traffic areas within close proximity to the TPZ to distribute weight on the soil and help reduce potential root zone soil compaction.

- **There are no specific mulching requirements at this time.**

### **Root Zone Aeration Improvements**

Aeration improvement techniques such as drill holes, vertical mulching, soil fracturing, and radial trenching have the ability to reduce various degrees of soil compaction by increasing the amount of soil macro and micropores. Any form of root zone aeration improvement should be performed post-construction and under the supervision of a Certified Consulting Arborist to help remediate soil compaction caused by construction activity near preserved trees.

- **There are no root zone aeration improvements required at this time.**

### **Transplanting**

Transplanting of larger caliper trees, through either hand digging or tree spade, allows for relocation and retention of desirable trees that might have otherwise been removed due to conflict with the proposed property construction design. Trees should be tree-spaded out by a reputable operator, and are best transplanted during dormancy in late autumn. No construction activity should take place near re-located trees either before or after transplantation.

Any transplanted trees should be fertilized using a complete fertilizer with a preferred nitrogen/phosphorus/potassium ratio of 1-2-2, with the Nitrogen component in slow release form. A 10 cm layer of composted wood mulch should be applied to the root zone, and the tree should receive regular irrigation for a period of at least one year. The tree may also require staking for a period of 1 year to provide stability while it re-establishes its root system.

- **There are no trees to be transplanted on this site at this time.**



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## **Tree Preservation Plan**

The following Tree Preservation Plan should be implemented prior to any on-site construction activity.

### **Hoarding**

Hoarding is used to define the **Tree Protection Zone (TPZ)**, which protects a tree's root zone, trunk, and branches from injury during both construction and landscaping phases of the project. Hoarding should be installed prior to any construction activity, and remain intact until construction and landscaping is completed. **No** TPZ should be used for the temporary storage of building materials, storage or washing of equipment, or the dumping of construction debris, excess fill, or topsoil.

*As required by the City of Mississauga, hoarding should be constructed of 4x8 plywood sheets using 2x4 top and bottom rail construction supported by 4x4 wooden posts. A TPZ may be constructed of orange safety fencing using 2x4 top and bottom rail construction and supported by t-bar supports when protecting street trees where site line obstruction is a concern. TPZ signage should be posted in visible locations on the TPZ hoarding. T-bar supports for solid hoarding will only be allowed through pre-approval from the City of Mississauga's Development and Design Department.*

The architect of record for the project should update the most current site plan/grading plan to include all existing trees properly plotted and numbered, with TPZ hoarding locations clearly indicated.

### **Hoarding Installation**

A diagram of the proposed hoarding plan for this site can be found in Appendix A on Page 19 of this report. The recommended radial distances from the trunk for installation of TPZ hoarding are listed in Appendix B starting on Page 20 of this report, and the hoarding should be installed using the following guidelines:

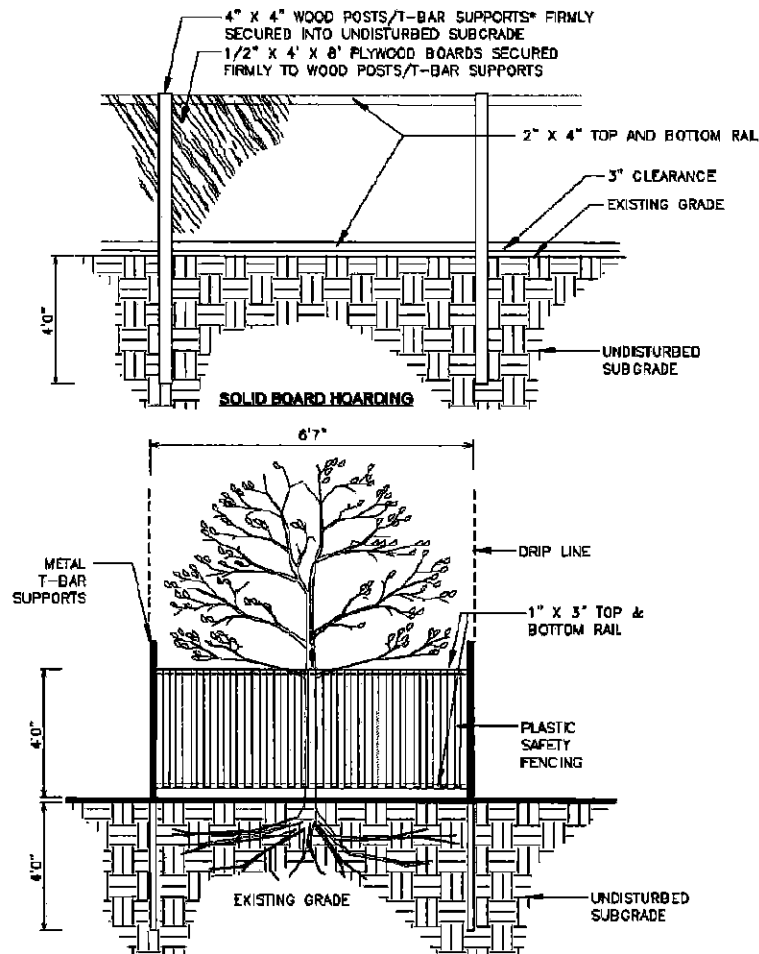
- 1) All TPZ hoarding should be placed at the recommended radial distance from the base of all trees to be protected, or up to all existing and/or proposed hard surfaces to allow for construction.
- 2) Any large numbers of trees that can be grouped together in a closed box or continuous line system for protection should have their TPZ hoarding placed at the recommended radial distance from the base of all of the largest peripheral trees of the system, or up to all existing and/or proposed hard surfaces to allow for construction.
- 3) Encroachment within a tree's TPZ may require a special permit from the City of Mississauga and/or on-site supervision by a Certified Consulting Arborist during any proposed excavation activities for root pruning and assessment.



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## **City of Mississauga TPZ Hoarding Specifications**

The diagram below provides the City of Mississauga's standards for Tree Protection Zone (T.P.Z) hoarding.



**NOTES:**

1. HOARDING DETAILS TO BE DETERMINED FOLLOWING INITIAL SITE INSPECTION.
  2. HOARDING TO BE APPROVED BY DEVELOPMENT AND DESIGN.
  3. HOARDING MUST BE SUPPLIED, INSTALLED AND MAINTAINED BY THE APPLICANT THROUGHOUT ALL PHASES OF CONSTRUCTION, UNTIL APPROVAL TO REMOVE HOARDING IS OBTAINED FROM DEVELOPMENT AND DESIGN.
  4. DO NOT ALLOW WATER TO COLLECT AND POND BEHIND OR WITHIN HOARDING.
- \* T-BAR SUPPORTS FOR SOLID HOARDING WILL ONLY BE ALLOWED WITH PRE APPROVAL FROM DEVELOPMENT AND DESIGN.

**MISSISSAUGA**  
**Development and Design**

SCALE: N.T.S.  
DATE: JAN, 2008

**DEVELOPMENT & DESIGN CONSTRUCTION HOARDING**





## Tree Preservation Plan Summary

### **I.) Pre-Construction Phase**

- If necessary, have the Certified Consulting Arborist schedule an on-site meeting with a representative from the City of Mississauga's Urban Forestry Department, the property owner(s), and any Architects, Engineers, and contractors involved with the project to discuss the Tree Preservation Plan.
- Complete all Tree Care Recommendations, including pruning and any required tree removals.
- Install Tree Protection Zone (TPZ) hoarding as required.
- Where required, apply composted wood mulch to tree root zones within the TPZ hoarding, and apply fresh wood mulch over steel plates and/or plywood to any high-traffic areas immediately adjacent to the TPZ hoarding to help reduce soil compaction.
- If feasible, root-prune any preserved trees adjacent to excavation areas prior to construction under the supervision of a Certified Consulting Arborist.
- Establish an irrigation plan with the assistance of a Certified Consulting Arborist.

### **II.) Construction Phase**

- Maintain and respect TPZ hoarding throughout the construction phase. Do not store or dump materials in this area.
- Continue irrigation plan as directed by a Certified Consulting Arborist.
- Prune any roots exposed during excavation under the supervision of a Certified Consulting Arborist.
- On-going monitoring by a Certified Consulting Arborist to evaluate construction injury/stress and make recommendations.

### **III.) Post-Construction Phase**

- Remove hoarding only after permission from the City of Mississauga.
- Continue irrigation program as directed by a Certified Consulting Arborist.
- Supplemental fertilizer needs assessment by a Certified Consulting Arborist.
- Post-construction monitoring of all trees by a Certified Consulting Arborist.

#### **NOTE:**

#### **Post-Construction Monitoring**

Construction injury may take several years to become apparent. All preserved trees should be inspected by a Certified Consulting Arborist on a semi-annual basis for a period of up to 2 years to pro-actively address any tree health related issues as they occur.



### **ASSUMPTIONS AND LIMITING CONDITIONS**

Any legal description provided to the consultant/appraiser is assumed to be correct. Any titles and ownerships to any property are assumed to be good and marketable. No responsibility is assumed for matters legal in character. Any and all property is appraised or evaluated as though free and clear, under responsible ownership and competent management. It is assumed that any property is not in violation of any applicable codes, ordinances, statutes, by-laws, or other governmental regulations.

Care has been taken to obtain all information from reliable sources, and all data has been verified insofar as possible. The consultant/appraiser can neither guarantee nor be responsible for the accuracy of information provided by others.

The consultant/appraiser shall not be required to give testimony or to attend court by reason of this report unless subsequent contractual arrangements are made, including payment of an additional fee for such services as described in the fee schedule and contract of engagement.

Loss or alteration of any part of this report invalidates the entire report.

Possession of this report or a copy thereof does not imply right of publication or use for any purpose by anyone other than the person to whom it is addressed without the prior expressed written or verbal consent of the consultant/appraiser.

Neither all nor any part of the contents of this report, nor any copy thereof, shall be conveyed by anyone, including the client, to the public through advertising, public relations, news, sales or other media without the prior expressed written or verbal consent of the consultant/appraiser particularly as to value conclusions, identity of the consultant/appraiser, or any reference to any professional society, institute, or any initialed designation conferred upon the consultant/appraiser as stated in his/her qualification.

This report and the values expressed herein represent the opinion of the consultant/appraiser, and the consultant/appraiser's fee is in no way contingent upon the reporting of a specified value, a stipulated result, the occurrence of a subsequent event, nor upon any finding to be reported.

Sketches, diagrams, graphs, and photographs in this report, being intended as visual aids, are not necessarily to scale and should not be construed as either engineering or architectural reports or surveys.

Unless expressed otherwise: 1) Information contained in this report covers only those items that were examined and reflections the condition of those items at the time of inspection, and 2) the inspection is limited to visual examination of accessible items without dissection, excavation, probing, or coring. There is no warranty or guarantee, expressed or implied, that problems or deficiencies of the plants or property in question may not arise in the future.



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## **CERTIFICATE OF PERFORMANCE**

I, Tom Bradley, certify that:

- I have personally inspected the tree(s) and/or the property referred to in this report, and have stated my findings accurately. The extent of any evaluation or appraisal is stated in the attached report and the Limits of Assignment.
- I have no current or prospective interest in the vegetation of the property that is the subject of this report, and have no personal interest or bias with respect to the parties involved.
- The analysis, opinions and conclusions stated herein are my own, and are based on current scientific procedures and facts.
- My compensation is not contingent upon the reporting of a pre-determined conclusion that favours the cause of the client or any other party, or upon the results of the assessment, the attainment of stipulated results, or the occurrence of any subsequent events.
- My analysis, opinions and conclusions were developed and this report has been prepared according to commonly accepted arboricultural practices.
- No one provided significant professional assistance to the consultant, except as indicated within the report.

I further certify that I am a Registered Consulting Arborist through the American Society of Consulting Arborists (A.S.C.A), and a Certified Arborist with the International Society of Arboriculture (I.S.A). I have been involved in the fields of Arboriculture and Horticulture in a full-time capacity for a period of more than 20 years.

Signed: \_\_\_\_\_

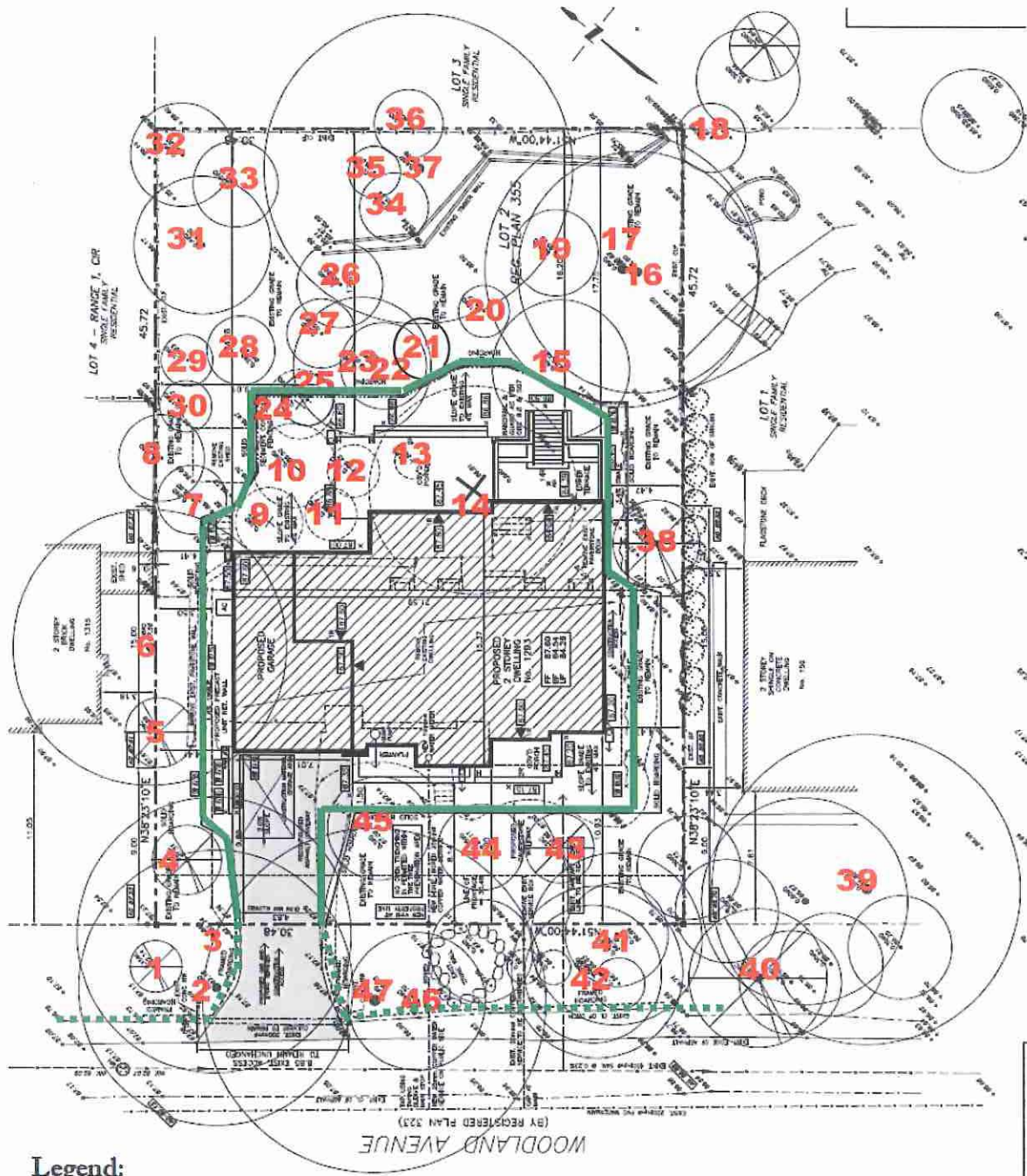
Date: June 7, 2013



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## Appendix A: Proposed Site Plan

Note: The location of Tree #21 is an approximation. The proposed Tree Protection Zone (TPZ) hoarding is shown as green lines and is not to scale on this drawing.



### Legend:

Solid Hoarding



Framed Hoarding







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## Appendix B: Tree Survey

LD #	Owner	Tree Species Common Name	Tree Species Botanical Name	DBH (cm)	Height (m)	Canopy (m)	Tree Health	Structural Condition	Comments	Action
1	City of Mississauga	Colorado Blue Spruce	<i>Picea pungens</i> 'Glauc'	13	4.5	3	Good	Good	Small-caliper deadwood in canopy; lower branch canopy clearance pruned 1.5m from tree base	Preserve: TPZ = 2.4m
2	City of Mississauga	Red Oak	<i>Quercus rubra</i>	67	24	12	Good	Good	Large-caliper deadwood in upper canopy; reduced canopy branching on north side due to shading from adjacent tree species; branch canopy begins 10m from tree base; existing driveway is adjacent to east side of tree base	Preserve: TPZ = 4.2m
3	City of Mississauga	Red Oak	<i>Quercus rubra</i>	71	24	12	Good	Good	Large-caliper deadwood in lower canopy; branch canopy begins 8m from tree base and is reduced on south side due to shading from adjacent tree species; divergent central leader at 20m; existing driveway adjacent to east side of tree base	Preserve: TPZ = 4.8m
4	Subject Site	Colorado Blue Spruce	<i>Picea pungens</i> 'Glauc'	16	5	4	Good	Fair	Small-caliper deadwood and branch stubs in canopy; lower branch canopy clearance pruned 2m from tree base on west side and 2.5m on east side; tree is 1m from existing driveway	Remove: Proposed site plan in conflict with the tree
5	Subject Site	Colorado Blue Spruce	<i>Picea pungens</i> 'Glauc'	18	6	4	Good	Good	Small-caliper deadwood in canopy; lower branch canopy clearance pruned 2m from tree base; tree is 2.5m from existing driveway	Preserve: TPZ = 2.4m
6	Neighbour	Red Oak	<i>Quercus rubra</i>	83	22	14	Good	Fair	Large-caliper deadwood in canopy; co-dominant stems with included bark union 10m from tree base with branch canopy above union; foliage appears reduced near tree apex; root flare appears to be buried 10cm; within proximity of proposed garage foundation excavation	Preserve: TPZ = 5.4m  recommend Dynamic cabling of co-dominant stems to owner  Arborist on site during excavation to assess and root prune



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LD #	Owner	Tree Species Common Name	Tree Species Botanical Name	DBH (cm)	Height (m)	Canopy (m)	Tree Health	Structural Condition	Comments	Action
7	Shared Ownership	Yellow Birch	<i>Betula alleghaniensis</i>	25.5	16	6	Good	Good	Small-caliper deadwood in canopy; branch canopy shaded and reduced on east side; lower branch canopy clearance pruned 4m from tree base; tree is adjacent to wooden privacy fence on west side	Preserve: TPZ = 2.4m
8	Subject Site	Balsam Fir	<i>Abies balsamea</i>	24	15	9	Good	Good	Small-caliper deadwood in canopy; north side of branch canopy shaded and reduced	Preserve: TPZ = 2.4m
9	Subject Site	Paper Birch	<i>Betula papyrifera</i>	18.5	18	6	Good	Good	Small-caliper deadwood in canopy; reduced canopy branching on north side; lower branch canopy clearance pruned 4m from tree base	Remove: Proposed site plan in conflict with the tree
10	Subject Site	White Ash	<i>Fraxinus americana</i>	28	19	8	Good	Fair	Large-caliper deadwood in canopy; divergent central leader at 8m; reduced canopy branching on west side	Remove: Proposed site plan in conflict with the tree
11	Subject Site	Colorado Blue Spruce	<i>Picea pungens</i> 'Glauc'	12.5	6	3	Good	Good	Small-caliper deadwood in canopy; lower branch canopy clearance pruned 1.5m from tree base; branch canopy shaded and reduced on east side; <u>below 15cm DBH threshold for protection by Mississauga's Private Tree By-Law</u>	Remove: Proposed site plan in conflict with the tree – can be removed at owner's discretion
12	Subject Site	Colorado Blue Spruce	<i>Picea pungens</i> 'Glauc'	13	6	4	Good	Good	Small-caliper deadwood in canopy; lower branch canopy clearance pruned 1.5m from tree base; branch canopy reduced on north side; <u>below 15cm DBH threshold for protection by Mississauga's Private Tree By-Law</u>	Remove: Proposed site plan in conflict with the tree – can be removed at owner's discretion
13	Subject Site	Red Pine	<i>Pinus resinosa</i>	11.5	4.5	3	Good	Good	Small-caliper deadwood in canopy; branch canopy reduced on north side due to shading; <u>below 15cm DBH threshold for protection by Mississauga's Private Tree By-Law</u>	Remove: Proposed site plan in conflict with the tree – can be removed at owner's discretion



# **Welwyn Consulting**

LD #	Owner	Tree Species Common Name	Tree Species Botanical Name	DBH (cm)	Height (m)	Canopy (m)	Tree Health	Structural Condition	Comments	Action
14	Subject Site	Red Maple	<i>Acer rubrum</i>	70.5	20	11	Fair	Fair	Large-caliper deadwood in canopy; co-dominant stems with included bark union 12m from tree base; branch canopy begins 8m from tree base; root flare appears to be buried; 5 degree stem lean south; reduced canopy branching	Remove: Proposed site plan in conflict with the tree
15	Subject Site	Yellow Birch	<i>Betula alleghaniensis</i>	51	16	15	Good	Poor	Large-caliper deadwood in canopy; 1.6m tall x 10cm wide x 20cm deep cavity at tree base with decay column to a minimum of 8m up stem	Remove: Potential safety hazard
16	Subject Site	Red Maple	<i>Acer rubrum</i>	17	12	9	Good	Good	Small-caliper deadwood in canopy; branch canopy shaded on north side; tree growing at south side of Tree #17's base	Preserve: TPZ = 2.4m
17	Subject Site	Red Oak	<i>Quercus rubra</i>	78	22	14	Fair	Fair	Large-caliper deadwood in canopy; reduced canopy branching and foliage	Preserve: TPZ = 4.8m
18	Neighbour	Red Maple	<i>Acer rubrum</i>	30	15	8	Good	Fair	Small-caliper deadwood in canopy; lower branch canopy clearance pruned on north side to 8m from tree base; 2m from subject site privacy fence on east property line	Preserve: TPZ = 2.4m
19	Subject Site	Red Oak	<i>Quercus rubra</i>	35	18	11	Good	Good	Small-caliper deadwood in canopy; branch canopy shaded on east side	Preserve: TPZ = 2.4m
20	Subject Site	White Spruce	<i>Picea glauca</i>	15	11	4	Good	Fair	Large-caliper deadwood in lower canopy; divergent central leader at 4.5m from tree base	Preserve: TPZ = 2.4m
21	Subject Site	White Spruce	<i>Picea glauca</i>	16	6	6	Fair	Fair	Small-caliper deadwood in canopy; branch canopy shaded on west side with reduced foliage; lower branch canopy clearance pruned 2m from tree base; divergent central leader	Preserve: TPZ = 2.4m
22	Subject Site	White Pine	<i>Pinus strobus</i>	26	15	6	Good	Fair	Small-caliper deadwood in canopy; branch canopy shaded on north side; stem bend north at 6m then corrects	Preserve: TPZ = 2.4m
23	Subject Site	Yellow Birch	<i>Betula alleghaniensis</i>	42	16	2	—	—	Dead tree	Remove: Potential safety hazard



# **Welwyn Consulting**

LD #	Owner	Tree Species Common Name	Tree Species Botanical Name	DBH (cm)	Height (m)	Canopy (m)	Tree Health	Structural Condition	Comments	Action
24	Subject Site	Red Maple	<i>Acer rubrum</i>	11	10	9	Good	Good	Small-caliper deadwood in canopy; stem adhered to south side of Tree #24; reduced canopy branching on north side	Remove: Proposed site plan in conflict with the tree
25	Subject Site	Paper Birch	<i>Betula papyrifera</i>	22	15	6	Poor	Poor	Large-caliper deadwood in canopy with dead top; one branch with foliage on west side near tree apex	Remove: Potential safety hazard and site plan in conflict with the tree
26	Subject Site	Yellow Birch	<i>Betula alleghaniensis</i>	26	11	2	---	---	Dead tree	Remove: Potential safety hazard
27	Subject Site	Red Maple	<i>Acer rubrum</i>	16	14	8	Good	Good	Small-caliper deadwood in canopy; lower branch canopy shaded and reduced	Preserve: TPZ = 2.4m
28	Subject Site	White Ash	<i>Fraxinus americana</i>	22	18	5	Fair	Fair	Large-caliper deadwood in lower canopy; branch canopy begins at 12m from tree base	Preserve: TPZ = 2.4m
29	Subject Site	White Ash	<i>Fraxinus americana</i>	17	12	5	Good	Fair	Small-caliper deadwood in canopy; canker 2m from tree base on north side	Preserve: TPZ = 2.4m
30	Subject Site	Paper Birch	<i>Betula papyrifera</i>	15	12	5	Good	Good	Small-caliper deadwood in canopy; reduced lower canopy branching due to shading	Preserve: TPZ = 2.4m
31	Subject Site	Yellow Birch	<i>Betula alleghaniensis</i>	35.5	16	6	Poor	Poor	90% dead, one branch with foliage; fungal conks in upper canopy	Remove: Potential safety hazard
32	Subject Site	Red Oak	<i>Quercus rubra</i>	34	19	11	Good	Good	Small-caliper deadwood in canopy; branch canopy begins 10m from tree base	Preserve: TPZ = 2.4m
33	Subject Site	Red Maple	<i>Acer rubrum</i>	23	20	11	Good	Good	Small-caliper deadwood in canopy; branch canopy begins 9m from tree base	Preserve: TPZ = 2.4m
34	Subject Site	Silver Maple	<i>Acer saccharinum</i>	17	13	8	Good	Good	Small-caliper deadwood in canopy	Preserve: TPZ = 2.4m
35	Subject Site	Serviceberry	<i>Amelanchier arborea</i>	15	15	6	Good	Good	Small-caliper deadwood in canopy	Preserve: TPZ = 2.4m
36	Neighbour	White Ash	<i>Fraxinus americana</i>	17	18	10	Good	Poor	Small-caliper deadwood; co-dominant stems with included bark union 8m from tree base; lower branch canopy reduced below 8m	Preserve: TPZ = 2.4m





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LD #	Owner	Tree Species Common Name	Tree Species Botanical Name	DBH (cm)	Height (m)	Canopy (m)	Tree Health	Structural Condition	Comments	Action
37	Subject Site	Silver Maple	<i>Acer saccharinum</i>	79	24	16	Good	Poor	Large-caliper deadwood in canopy; co-dominant stems with narrow included bark union 2m from tree base; <u>2m tall x 40cm deep cavity on north side of north co-dominant stem; hollow sound when struck with rubber mallet; increased "level of risk"</u>	Preserve: TPZ = 4.8m  <b>Recommend full Tree Risk Assessment to determine extent of decay- if tree is safe, install Dynamic cabling system</b>
38	Subject Site	Austrian Pine	<i>Pinus nigra</i>	21	8	8	Good	Good	Small-caliper deadwood in canopy; approx. 20% Diplodia Tip Blight present; lower branch canopy clearance pruned 2m from tree base	Preserve: TPZ = 2.4m
39	Neighbour	Red Oak	<i>Quercus rubra</i>	75	22	16	Good	Good	Large-caliper deadwood in canopy; canopy branching begins 12m from tree base; tree is 6m from east subject site property line	Preserve: TPZ = 4.8m
40	City of Mississauga	White Pine	<i>Pinus strobus</i>	50.5	18	9	Good	Good	Large-caliper deadwood on south side at 8m (branch failure); lower branch canopy clearance pruned 6m from tree base; branch canopy shaded on east side	Preserve: TPZ = 3.6m
41	City of Mississauga	Black Cherry	<i>Prunus serotina</i>	34.5	20	5	---	---	Dead tree	<b>Remove: Potential safety hazard</b>
42	City of Mississauga	American Beech	<i>Fagus grandifolia</i>	44.5	18	12	Good	Fair	Small-caliper deadwood in canopy; lower branch canopy clearance pruned 8m from tree base; upper canopy bends south over roadway	Preserve: TPZ = 3.0m
43	Subject Site	Colorado Blue Spruce	<i>Picea pungens 'Glauc'</i>	17	7	4	Good	Good	Small-caliper deadwood in canopy; lower branch canopy clearance pruned 1.8m from tree base	Preserve: TPZ = 2.4m
44	Subject Site	Crimson King Norway Maple	<i>Acer platanoides 'Crimson King'</i>	30	15	8	Good	Good	Small-caliper deadwood in canopy; shaded and reduced branch canopy on south and east sides; lower branch canopy clearance pruned 6m from tree base	Preserve: TPZ = 2.4m



# **Welwyn Consulting**

LD #	Owner	Tree Species Common Name	Tree Species Botanical Name	DBH (cm)	Height (m)	Canopy (m)	Tree Health	Structural Condition	Comments	Action
45	Subject Site	Crimson King Norway Maple	<i>Acer platanoides</i> 'Crimson King'	31	16	8	Good	Good	Small-caliper deadwood in canopy; reduced canopy branching on west side; lower branch canopy clearance pruned 5m from tree base	Preserve: TPZ = 2.4m
46	City of Mississauga	American Beech	<i>Fagus grandifolia</i>	37	16	16	Good	Good	Small-caliper deadwood in canopy; branch canopy growing into Tree #47	Preserve: TPZ = 2.4m
47	City of Mississauga	Red Oak	<i>Quercus rubra</i>	79	24	18	Good	Good	Large-caliper deadwood in canopy; branch canopy shaded on west side; west side of tree base adjacent to existing subject site driveway	Preserve: TPZ = 4.8m



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## **Appendix C: Tree Valuation Appraisals**

### **TREE APPRAISAL Trunk Formula Method**

Tree Number:	One (1)
Address:	1293 Woodland Avenue, Mississauga
Owner:	City of Mississauga
Date of Appraisal:	June 3, 2013
Appraiser:	Tom Bradley
Certification Number:	R.C.A. #492 (A.S.C.A.)

#### **Field Observations (based on *Guide for Plant Appraisal, 9th Edition*)**

Species:	Colorado Blue Spruce	<i>Picea pungens 'Glauca'</i>
Condition:	88 %	
DBH:	13 cm	
Location:	73 %	

#### **Regional Plant Appraisal Committee Information - *Guide for Plant Appraisal, 9th Edition***

Species Rating:	76 %
Replacement Plant Size:	9 cm
Trunk Area:	63.585 cm <sup>2</sup>
Replacement Plant Cost:	\$340.00
Installation Cost: (1.5x Plant Cost)	\$510.00
Installed Tree Cost:	\$850.00
Unit Tree Cost:	\$13.37

#### ***Calculations by Appraiser Using Field and /or Regional Information***

Appraised Trunk Area (using Table 4.6) :	133 cm <sup>2</sup>
Appraised Tree Trunk Increase (#11 - #6b):	69 cm <sup>2</sup>
Basic Tree Cost (#12 x #10 + #9) :	\$1,777.94
Appraised Value (#13 x #5 x #2 x #4) :	\$867.04
Appraised Value > \$5000.00 is rounded to the nearest \$100.	
Appraised Value < \$5000.00 is rounded to the nearest \$10.	

<b>APPRAISED VALUE:</b>	<b>\$870</b>
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## **TREE APPRAISAL**

### **Trunk Formula Method**

Tree Number:	Two (2)
Address:	1293 Woodland Avenue, Mississauga
Owner:	City of Mississauga
Date of Appraisal:	June 3, 2013
Appraiser:	Tom Bradley
Certification Number:	R.C.A. #492 (A.S.C.A.)

#### Field Observations (based on *Guide for Plant Appraisal, 9th Edition*)

Species:	Red Oak	<i>Quercus rubra</i>
Condition:	75 %	
DBH:	67 cm	
Location:	78 %	

#### Regional Plant Appraisal Committee Information - *Guide for Plant Appraisal, 9th Edition*

Species Rating:	81 %
Replacement Plant Size:	9 cm
Trunk Area:	63.585 cm <sup>2</sup>
Replacement Plant Cost:	\$340.00
Installation Cost: (1.5x Plant Cost)	\$510.00
Installed Tree Cost:	\$850.00
Unit Tree Cost:	\$13.37

#### *Calculations by Appraiser Using Field and /or Regional Information*

Appraised Trunk Area (using Table 4.6) :	3524 cm <sup>2</sup>
Appraised Tree Trunk Increase (#11 - #6b):	3460 cm <sup>2</sup>
Basic Tree Cost (#12 x #10 + #9) :	\$47,108.59
Appraised Value (#13 x #5 x #2 x #4) :	\$22,417.80
Appraised Value > \$5000.00 is rounded to the nearest \$100.	
Appraised Value < \$5000.00 is rounded to the nearest \$10.	

<b>APPRAISED VALUE:</b>	<b>\$22,400</b>
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## **TREE APPRAISAL**

### **Trunk Formula Method**

<b>Tree Number:</b>	<b>Three (3)</b>
<b>Address:</b>	<b>1293 Woodland Avenue, Mississauga</b>
<b>Owner:</b>	<b>City of Mississauga</b>
<b>Date of Appraisal:</b>	<b>June 3, 2013</b>
<b>Appraiser:</b>	<b>Tom Bradley</b>
<b>Certification Number:</b>	<b>R.C.A. #492 (A.S.C.A.)</b>

#### **Field Observations (based on *Guide for Plant Appraisal, 9th Edition*)**

<b>Species:</b>	<b>Red Oak</b>	<i>Quercus rubra</i>
<b>Condition:</b>	<b>75 %</b>	
<b>DBH:</b>	<b>71 cm</b>	
<b>Location:</b>	<b>78 %</b>	

#### **Regional Plant Appraisal Committee Information - *Guide for Plant Appraisal, 9th Edition***

<b>Species Rating:</b>	<b>81 %</b>
<b>Replacement Plant Size:</b>	<b>9 cm</b>
<b>Trunk Area:</b>	<b>63.585 cm<sup>2</sup></b>
<b>Replacement Plant Cost:</b>	<b>\$340.00</b>
<b>Installation Cost: (1.5x Plant Cost)</b>	<b>\$510.00</b>
<b>Installed Tree Cost:</b>	<b>\$850.00</b>
<b>Unit Tree Cost:</b>	<b>\$13.37</b>

#### ***Calculations by Appraiser Using Field and /or Regional Information***

<b>Appraised Trunk Area (using Table 4.6) :</b>	<b>3957 cm<sup>2</sup></b>
<b>Appraised Tree Trunk Increase (#11 - #6b):</b>	<b>3893 cm<sup>2</sup></b>
<b>Basic Tree Cost (#12 x #10 + #9) :</b>	<b>\$52,896.91</b>
<b>Appraised Value (#13 x #5 x #2 x #4) :</b>	<b>\$25,172.32</b>
<b>Appraised Value &gt; \$5000.00 is rounded to the nearest \$100.</b>	
<b>Appraised Value &lt; \$5000.00 is rounded to the nearest \$10.</b>	

<b>APPRAISED VALUE:</b>	<b>\$25,200</b>
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## **TREE APPRAISAL**

### **Trunk Formula Method**

Tree Number:	Forty (40)
Address:	1293 Woodland Avenue, Mississauga
Owner:	City of Mississauga
Date of Appraisal:	June 3, 2013
Appraiser:	Tom Bradley
Certification Number:	R.C.A. #492 (A.S.C.A.)

#### **Field Observations (based on *Guide for Plant Appraisal, 9th Edition*)**

Species:	White Pine	<i>Pinus strobus</i>
Condition:	81 %	
DBH:	50 cm	
Location:	77 %	

#### **Regional Plant Appraisal Committee Information - *Guide for Plant Appraisal, 9th Edition***

Species Rating:	75 %
Replacement Plant Size:	9 cm
Trunk Area:	63.585 cm <sup>2</sup>
Replacement Plant Cost:	\$265.00
Installation Cost: (1.5x Plant Cost)	\$397.50
Installed Tree Cost:	\$662.50
Unit Tree Cost:	\$10.42

#### ***Calculations by Appraiser Using Field and /or Regional Information***

Appraised Trunk Area (using Table 4.6) :	1963 cm <sup>2</sup>
Appraised Tree Trunk Increase (#11 - #6b):	1899 cm <sup>2</sup>
Basic Tree Cost (#12 x #10 + #9) :	\$20,452.74
Appraised Value (#13 x #5 x #2 x #4) :	\$9,555.26
Appraised Value > \$5000.00 is rounded to the nearest \$100.	
Appraised Value < \$5000.00 is rounded to the nearest \$10.	

<b>APPRAISED VALUE:</b>	<b>\$9,600</b>
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## **TREE APPRAISAL**

### **Trunk Formula Method**

Tree Number:	Forty Two (42)
Address:	1293 Woodland Avenue, Mississauga
Owner:	City of Mississauga
Date of Appraisal:	June 3, 2013
Appraiser:	Tom Bradley
Certification Number:	R.C.A. #492 (A.S.C.A.)

#### **Field Observations (based on *Guide for Plant Appraisal, 9th Edition*)**

Species:	American Beech	<i>Fagus grandifolia</i>
Condition:	78 %	
DBH:	44 cm	
Location:	73 %	

#### **Regional Plant Appraisal Committee Information - *Guide for Plant Appraisal, 9th Edition***

Species Rating:	70 %
Replacement Plant Size:	6 cm
Trunk Area:	28.26 cm <sup>2</sup>
Replacement Plant Cost:	\$245.00
Installation Cost: (1.5x Plant Cost)	\$367.50
Installed Tree Cost:	\$612.50
Unit Tree Cost:	\$21.67

#### ***Calculations by Appraiser Using Field and /or Regional Information***

Appraised Trunk Area (using Table 4.6) :	1520 cm <sup>2</sup>
Appraised Tree Trunk Increase (#11 - #6b):	1492 cm <sup>2</sup>
Basic Tree Cost (#12 x #10 + #9) :	\$32,944.09
Appraised Value (#13 x #5 x #2 x #4) :	\$13,211.95
Appraised Value > \$5000.00 is rounded to the nearest \$100.	
Appraised Value < \$5000.00 is rounded to the nearest \$10.	

<b>APPRAISED VALUE:</b>	<b>\$13,200</b>
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## **TREE APPRAISAL**

### **Trunk Formula Method**

Tree Number:	Forty Six (46)
Address:	1293 Woodland Avenue, Mississauga
Owner:	City of Mississauga
Date of Appraisal:	June 3, 2013
Appraiser:	Tom Bradley
Certification Number:	R.C.A. #492 (A.S.C.A.)

#### **Field Observations (based on *Guide for Plant Appraisal, 9th Edition*)**

Species:	American Beech	<i>Fagus grandifolia</i>
Condition:	75 %	
DBH:	37 cm	
Location:	72 %	

#### **Regional Plant Appraisal Committee Information - *Guide for Plant Appraisal, 9th Edition***

Species Rating:	70 %
Replacement Plant Size:	6 cm
Trunk Area:	28.26 cm <sup>2</sup>
Replacement Plant Cost:	\$245.00
Installation Cost: (1.5x Plant Cost)	\$367.50
Installed Tree Cost:	\$612.50
Unit Tree Cost:	\$21.67

#### ***Calculations by Appraiser Using Field and /or Regional Information***

Appraised Trunk Area (using Table 4.6) :	1075 cm <sup>2</sup>
Appraised Tree Trunk Increase (#11 - #6b):	1047 cm <sup>2</sup>
Basic Tree Cost (#12 x #10 + #9) :	\$23,299.27
Appraised Value (#13 x #5 x #2 x #4) :	\$8,766.35
Appraised Value > \$5000.00 is rounded to the nearest \$100.	
Appraised Value < \$5000.00 is rounded to the nearest \$10.	

<b>APPRAISED VALUE:</b>	<b>\$8,800</b>
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## **TREE APPRAISAL**

### **Trunk Formula Method**

<b>Tree Number:</b>	Forty Seven (47)
<b>Address:</b>	1293 Woodland Avenue, Mississauga
<b>Owner:</b>	City of Mississauga
<b>Date of Appraisal:</b>	June 3, 2013
<b>Appraiser:</b>	Tom Bradley
<b>Certification Number:</b>	R.C.A. #492 (A.S.C.A.)

**Field Observations (based on *Guide for Plant Appraisal, 9th Edition*)**

<b>Species:</b>	Red Oak	<i>Quercus rubra</i>
<b>Condition:</b>	75 %	
<b>DBH:</b>	79 cm	
<b>Location:</b>	78 %	

**Regional Plant Appraisal Committee Information - *Guide for Plant Appraisal, 9th Edition***

<b>Species Rating:</b>	81 %
<b>Replacement Plant Size:</b>	9 cm
<b>Trunk Area:</b>	63.585 cm <sup>2</sup>
<b>Replacement Plant Cost:</b>	\$340.00
<b>Installation Cost: (1.5x Plant Cost)</b>	\$510.00
<b>Installed Tree Cost:</b>	\$850.00
<b>Unit Tree Cost:</b>	\$13.37

***Calculations by Appraiser Using Field and /or Regional Information***

<b>Appraised Trunk Area (using Table 4.6) :</b>	4899 cm <sup>2</sup>
<b>Appraised Tree Trunk Increase (#11 - #6b):</b>	4835 cm <sup>2</sup>
<b>Basic Tree Cost (#12 x #10 + #9) :</b>	\$65,489.50
<b>Appraised Value (#13 x #5 x #2 x #4) :</b>	\$31,164.82
<b>Appraised Value &gt; \$5000.00 is rounded to the nearest \$100.</b>	
<b>Appraised Value &lt; \$5000.00 is rounded to the nearest \$10.</b>	

<b>APPRAISED VALUE:</b>	<b>\$31,200</b>
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## Appendix D: Site Photos



Photo #3



Photo #4

### **Figure #2:** Tree #15 (Yellow Birch – subject site)

The above photos provide the following information:

- Photo #3 shows a general view of Tree #15
- Photo #4 shows the 1/6m tall x 20cm deep cavity on the north side of the main stem. The decay column extends a minimum of 8m up the tree's stem.

This tree is in poor structural condition and is at a higher risk of failure. This tree should be removed prior to the commencement of any construction activities on this site.



## **Appendix D: Site Photos (continued)**



**Photo #5**



**Photo #6**



**Photo #7**

### **Figure #3:** Tree #37 (Silver Maple – subject site)

The above photos provide the following information:

- Photo #5 shows a basal view of the 2 co-dominant stems of Tree #37 looking upward
- Photo #6 shows the narrow included bark union of Tree #37's co-dominant stems
- Photo #7 shows the opening of the cavity (minimum 2m tall x 10cm wide x 40cm deep) near the base of the northern co-dominant stem of Tree #37

Given the tree's poor structural condition and its proximity to a failure target such as the nearby neighbour's home to the north of 1293 Woodland Avenue, this tree poses an increased safety risk.

*Tree #37 should receive a full Tree Risk Assessment to determine the extent of decay within the north co-dominant stem. If the amount of decay does not warrant removal, then the tree should be fitted with a Dynamic cabling system to support the 2 large co-dominant stems and help to mitigate the tree's hazard potential.*

Please refer to Page 9 of this report for further information.