
Heritage Advisory Committee

Date

2019/09/10

Time

9:30 AM

Location

Civic Centre, Council Chamber,
300 City Centre Drive, Mississauga, Ontario, L5B 3C1

Members

Councillor George Carlson, Ward 11 (Chair)
David Cook, Citizen Member (Vice-Chair)
Councillor Carolyn Parrish, Ward 5
Michael Battaglia, Citizen Member
Alexander Hardy, Citizen Member
James Holmes, Citizen Member
Rick Mateljan, Citizen Member
Lisa Small, Citizen Member
Jamie Stevens, Citizen Member
Melissa Stolarz, Citizen Member
Terry Ward, Citizen Member
Matthew N. Wilkinson, Citizen Member
Adrian Zita-Bennett, Citizen Member

Contact

Megan Piercey, Legislative Coordinator, Legislative Services
905-615-3200 ext. 4915
megan.piercey@mississauga.ca

NOTE: To support corporate waste reduction efforts the large
appendices in this agenda can be viewed at:
<http://www.mississauga.ca/portal/cityhall/heritageadvisory.ca>

Find it Online

<http://www.mississauga.ca/portal/cityhall/heritageadvisory>

1. **CALL TO ORDER**

2. **APPROVAL OF AGENDA**

3. **DECLARATION OF CONFLICT OF INTEREST**

4. **MINUTES OF PREVIOUS MEETING**

4.1. Heritage Advisory Committee Minutes - July 2, 2019

5. **DEPUTATIONS**

5.1. Item 8.1 Krystyna Stechly, Resident regarding a request to consider Lakeview Park Public School for Heritage Designation

6. **PUBLIC QUESTION PERIOD** - 15 Minute Limit (5 Minutes per Speaker)
Pursuant to Section 42 of the Council Procedure By-law 0139-2013, as amended the Heritage Advisory Committee may grant permission to a member of the public to ask a question of the Committee with the following provisions:
1. The question must pertain to a specific item on the current agenda and the speaker will state which item the question is related.
 2. A person asking a question shall limit any background explanation to two (2) statements, followed by the question.
 3. The total speaking time shall be five (5) minutes maximum per speaker.

7. **MATTERS TO BE CONSIDERED**

- 7.1. Petition for Removal of Securities: 915 North Service Road
- 7.2. Request to Alter a Heritage Designated Property: 850 Enola Avenue (Ward 2)
- 7.3. Request to alter a Heritage Designated Property: 1352 Lakeshore Road East (Ward 1)
- 7.4. Request to Alter a Heritage Designated Property: 7060 Old Mill Lane (Ward 11)
- 7.5. Request to Demolish a Heritage Listed Property: 1431 Stavebank Road (Ward 1)
- 7.6. Request to Alter a Heritage Designated Property: 1060 Old Derry Road (Ward 11)
- 7.7. Request to Alter a Heritage Designated Property: 223 Queen Street South (Ward 11)
- 7.8. Request to Demolish a Heritage Listed Property: 2417 Mississauga Road (Ward 8)
- 7.9. Request to Demolish a Heritage Listed Property: 1641 Blythe Road (Ward 8)

7.10. Meadowvale Village Heritage Conservation District Advisory Subcommittee Report dated August 6, 2019

7.11. Memorandum from Megan Piercey, dated, August 26, 2019 with respect to Adrian Zita-Bennett – Request for Temporary Leave from the Heritage Advisory Committee

8. **INFORMATION ITEMS**

8.1. Historical Assessment of 1239 Lakeshore Road East (Ward 1)

8.2. New Construction Adjacent to a Designated and Listed Property: 354 Meadow Wood Lane (Ward 2)

8.3. Alteration Adjacent to a Listed Property: 411 Lakeshore Road East (Ward 1)

8.4. Alteration to a Listed Property: 1815 Outer Circle Road (Ward 8)

9. **OTHER BUSINESS**

10. **DATE OF NEXT MEETING** – October 7, 2019

11. **ADJOURNMENT**

City of Mississauga

Minutes



Heritage Advisory Committee

Date

2019/07/02

Time

9:33 AM

Location

Civic Centre, Council Chamber,
300 City Centre Drive, Mississauga, Ontario, L5B 3C1

Members Present

Councillor George Carlson, Ward 11 **(Chair)**
David Cook, Citizen Member **(Vice-Chair)**
Councillor Carolyn Parrish, Ward 5
Michael Battaglia, Citizen Member
Alexander Hardy, Citizen Member
James Holmes, Citizen Member
Rick Mateljan, Citizen Member
Lisa Small, Citizen Member
Jamie Stevens, Citizen Member
Melissa Stolarz, Citizen Member
Terry Ward, Citizen Member
Matthew N. Wilkinson, Citizen Member
Adrian Zita-Bennett, Citizen Member

Staff Present

Michael Tunney, Manager, Culture and Heritage Planning
John Dunlop, Supervisor, Heritage Planning
Paula Wubbenhorst, Heritage Planner, Culture Division
Brooke Herczeg, Heritage Analyst
Megan Piercey, Legislative Coordinator

Find it online

<http://www.mississauga.ca/portal/cityhall/heritageadvisory>

1. CALL TO ORDER – 9:33 AM

2. APPROVAL OF AGENDA

Approved (D. Cook)

3. DECLARATION OF CONFLICT OF INTEREST

Rick Mateljan, Citizen Member, declared conflicts with items 7.5, 7.6, 7.7 and 8.1.

4. MINUTES OF PREVIOUS MEETING

4.1. Heritage Advisory Committee Minutes - June 4, 2019

Approved (Councillor Parrish)

5. DEPUTATIONS - Nil

6. PUBLIC QUESTION PERIOD – Nil

No members of the public requested to speak.

7. MATTERS TO BE CONSIDERED

7.1. Request to Alter a Designated Heritage Property: 4300 Riverwood Park Lane (Ward 6)

No discussion took place regarding this item. Committee Members noted approval.

RECOMMENDATION

HAC-0047-2019

That the proposed alteration at 4300 Riverwood Park Lane, as per the Corporate Report from the Commissioner of Community Services, dated June 18, 2019 be approved.

Approved (M. Wilkinson)

7.2. Request to Alter a Heritage Designated Property: 1352 Lakeshore Road East (Ward 1)

No discussion took place regarding this item. Committee Members noted approval.

RECOMMENDATION

HAC-0048-2019

That the request to alter the heritage designated property at 1352 Lakeshore Road East, as per the Corporate Report from the Commissioner of Community Services, dated June 18, 2019 be approved.

Approved (D. Cook)

7.3. Request to Alter a Heritage Designated Property: 161 Lakeshore Road West (Ward 1)

Mathew Wilkinson, Citizen Member, inquired about the access to a Heritage Consultant while the alterations were taking place and was advised that there would be a Heritage Consultant on call in the event that new elements are exposed while enlarging the elevator corridor.

RECOMMENDATION

HAC-0049-2019

That the request to alter the heritage designated property at 161 Lakeshore Road West, as per the Corporate Report from the Commissioner of Community Services, dated June 18, 2019 be approved.

Approved (M. Stolarz)

7.4. Request to Alter a Heritage Designated Property: 1900 Derry Road East (Ward 5)

Members of the committee engaged in discussion regarding the condition of the building and whether the building should be demolished. John Dunlop, Supervisor, Heritage Planning, advised the committee that Heritage Engineers had examined the building and they believed the interior was in better shape than they anticipated and that the issues with the building were mostly superficial.

RECOMMENDATION

HAC-0050-2019

That the request to alter the heritage designated property at 1900 Derry Road East, as per the Corporate Report from the Commissioner of Community Services, dated June 18, 2019 be approved on the condition that the work adheres to Parks Canada's Standards and Guidelines for the Conservation of Historic Places in Canada.

Approved (Councillor Parrish)

At this point R. Mateljan left the meeting due to a conflict with Item 7.5, 7.6 and 7.7.

7.5. Request to Alter a Heritage Designated Property: 1507 Clarkson Road North (Ward 2)

No discussion took place regarding this item. Committee Members noted approval.

RECOMMENDATION

HAC-0051-2019

That the request to alter the heritage designated property at 1507 Clarkson Road North, as per the Corporate Report from the Commissioner of Community Services, dated June 18, 2019 be approved.

Approved (D. Cook)

7.6. Request to Alter a Heritage Designated Property: 1050 Old Derry Road (Ward 11)

Jim Holmes, Citizen Member, provided comments on behalf of the Meadowvale Heritage Conservation District Subcommittee and noted that the subcommittee and the owner supported approval.

RECOMMENDATION

HAC-0052-2019

That the request to alter the property at 1050 Old Derry Road as per the Corporate Report from the Commissioner of Community Services dated June 18, 2019, be approved.

Approved (J. Holmes)

7.7. Request to Alter a Heritage Designated Property: 7059 Second Line West (Ward 11)

Jim Holmes, Citizen Member, provided comments on behalf of the Meadowvale Heritage Conservation District Subcommittee and expressed concerns with the fence and the diamond shaped motif on the top of the addition and recommended that the owner reconsider those alterations. Mr. Holmes also noted that the owner had agreed to meet with residents to discuss their concerns.

RECOMMENDATION

HAC-0053-2019

That the request to alter the property at 7059 Second Line West as per the Corporate Report from the Commissioner of Community Services dated June 18, 2019, be approved.

Approved (J. Holmes)

R. Mateljan returned to the meeting.

7.8. Request to Alter a Heritage Designated Property: 915 North Service Road (Ward 1)

No discussion took place regarding this item. Committee Members noted approval.

RECOMMENDATION

HAC-0054-2019

That the request to alter the property at 915 North Service Road as per the Corporate Report from the Commissioner of Community Services dated June 18, 2019, be approved.

Approved (D. Cook)

7.9. Appointments to the Meadowvale Village Heritage Conservation District Subcommittee

Jim Holmes, Citizen Member advised the committee of the new members appointed to the Meadowvale Village Heritage Conservation District Subcommittee. Megan Piercey, Legislative Coordinator, advised the committee that the terms of reference for the subcommittee stated that a member of the Heritage Advisory Committee should be

appointed to provide procedural guidance. Rick Mateljan, Citizen Member volunteered to be appointed to the subcommittee.

RECOMMENDATION

HAC-0055-2019

1. That the following Citizen Members from the Meadowvale Heritage Village Association be appointed to the Meadowvale Village Heritage Conservation District Subcommittee for a term ending November 14, 2022, or until a successor is appointed:
 - a. Jim Holmes
 - b. Brian Carmody
 - c. John McAskin
 - d. Dave Moir
 - e. Greg Laughton
 - f. Gord Mackinnon
 - g. Carmela Piero
 - h. Terry Wilson
 - i. Greg Young
2. That Rick Mateljan, Member of the Heritage Advisory Committee, be appointed to the Meadowvale Village Heritage Conservation District Subcommittee to provide professional guidance for the term ending November 14, 2022, or until a successor is appointed.

Approved (J. Holmes)

At this point R. Mateljan left the meeting due to a conflict with Item 8.1.

8. INFORMATION ITEMS

8.1. Demolition to a Listed Property: 25 Queen St S. (Ward 11)

No discussion took place regarding this item. Committee Members noted receipt.

RECOMMENDATION

HAC-0056-2019

That the Memorandum dated June 18, 2019 from Paul Damaso, Director, Culture Division, entitled "Demolition to a Listed Property: 25 Queen Street South (Ward 11)" be received for information.

Approved (Councillor Parrish)

R. Mateljan returned to the meeting.

8.2. Alteration to a Listed Property: 927 Meadow Wood Road (Ward 2)

No discussion took place regarding this item. Committee Members noted receipt.

RECOMMENDATION

HAC-0057-2019

That the Memorandum dated June 18, 2019 from Paul Damaso, Director, Culture Division, entitled "Alteration to a Listed Property: 927 Meadow Woods Road (Ward 2)" be received for information.

Approved (R. Mateljan)

8.3. Alteration to a Listed Property: 3658 Burnbrae Dr. (Ward 6)

No discussion took place regarding this item. Committee Members noted receipt.

RECOMMENDATION

HAC-0058-2019

That the Memorandum dated June 18, 2019 from Paul Damaso, Director, Culture Division, entitled "Alteration to a Listed Property: 3658 Burnbrae Dr. (Ward 6)" be received for information.

Approved (A. Hardy)

8.4. 2019 Designated Heritage Property Grant Program - Round One Approved Grants

John Dunlop, Supervisor, Heritage Planning provided a brief update in regards to the status of the Heritage Property Grant Program. Rick Mateljan, Citizen Member inquired if someone who received a property grant in the first round could apply for a grant in the second round. Mr. Dunlop advised that they could apply in the second round; however they would be moved to the bottom of the queue.

RECOMMENDATION

HAC-0059-2019

That the Memorandum dated June 10, 2019 from Paul Damaso, Director, Culture Division, entitled "2019 Designated Heritage Property Grant Program - Round One Approved Grants" be received for information.

Approved (R. Mateljan)

9. OTHER BUSINESS

Matthew Wilkinson, Citizen Member advised the committee about a program he attended through Blackwood Gallery at Riverwood, which consisted of a timber framing workshop and an artist installation. Mr. Wilkinson noted that a lot of heritage discussion took place and advised the committee that he would reach out to Blackwood Gallery to see if there were similar events that the Heritage Advisory Committee could participate in.

John Dunlop, Supervisor, Heritage Planning provided an overview of an archeological

assessment demonstration he provided at the Streetsville Cemetery to show Councillor Carlson and staff where the first church in Streetsville used to be prior to 1877. Mr. Dunlop noted that the City would be coming to the Heritage Advisory Committee with a permit, as they will be building a columbarium in the cemetery.

10. DATE OF NEXT MEETING - September 10, 2019
11. ADJOURNMENT - 10:11 AM (M. Wilkinson)

DRAFT

City of Mississauga Corporate Report



Date: 8/20/2019

Originator's files:

To: Chair and Members of Heritage Advisory Committee

From: Paul Mitcham, P. Eng, MBA, Commissioner of
Community Services

Meeting date:
9/10/2019

Subject

Request to Alter a Heritage Designated Property: 850 Enola Avenue (Ward 2)

Recommendation

That the City approve restoration and repair work on the Adamson and Derry Houses at the subject property, as per the Corporate Report from the Commissioner of Community Services dated August 20, 2019.

Background

The Adamson Estate at 850 Enola Avenue is designated under Part IV of the Ontario Heritage Act. Section 33 of the Act requires permission from Council in order to make alterations to property designated under Part IV of the Act. Staff from the City's Facilities and Property Management Division has submitted a heritage application to complete restoration and repair work to exterior stairs, walkways, driveways for both houses and the gutters and downspouts of the Derry House.

Comments

The proposed work plan consists of repair and restoration work of the paved areas around both houses. These areas are paved with a variety of materials, including flagstone, concrete and asphalt. None of these paved areas are original to the property. Concrete and asphalt areas will be repaved with like and kind, and the flagstone paved areas will have the existing flagstones lifted, a new sand and lime base poured, and the flagstones re-laid and leveled. Any broken flagstones will be replaced with like and kind materials.

The exterior stairways will be rebuilt to match the existing, with all flagstones lifted and new footings, foundation and concrete structure built in place of the current stairs. All existing flagstones will be reused and broken ones will be replaced with like and kind.

The gutters and downspouts on the Derry House require restoration and repair. The existing gutters and downspouts will be replaced with like and kind materials. The current gutters are concealed, so the work will involve removing the sheathing and reinstating it once the new gutters have been installed. New concealed gutters will be installed along the southern side of the house to match existing gutters on other parts of the house. New downspouts will also be installed along the southern side of the house to match existing on the other sides of the house. Replacement of damaged sheathing as required will also be completed on the Derry House.

The City's Building and Facilities Property Management Division has submitted an application and drawings depicting the detailed work plan (Appendix 1). The proposed work is based on a condition assessment of the Derry House and the need to meet accessibility standards for all exterior paved areas and stairways.

Financial Impact

The cost is covered under Facility and Property Management's approved capital budget.

Conclusion

The applicant has applied for a heritage permit to complete restoration work on the exterior of the Adamson and Derry Houses. The proposal adheres to Parks Canada's Standards and Guidelines and staff recommends approval.

Attachments

Appendix 1: Submitted work plan and drawings



Paul Mitcham, P. Eng, MBA, Commissioner of Community Services

Prepared by: John Dunlop, Supervisor, Heritage Planning

City of Mississauga Memorandum



Date: 2019/08/20

To: John Dunlop, Supervisor, Heritage Planning

From: Milka Zlomislic, Project Manager

Meeting Date: 2019/08/20

Subject: Heritage Application- Alterations to Adamson Estates

This heritage application is submitted for a scope of work which will cover the repairs and restoration of exterior walkways, driveway, flagstone areas; exterior concrete and flagstone stair cases around both the Adamson Estate and Derry House, and repairs and replacement work to the gutters and downspouts on the Derry House. The scope of work and drawings have been prepared for the City of Mississauga by Strickland Mateljan Design and Architecture, who will oversee the work.

Regarding Derry House, the scope of work is as follows:

1. Replacement and repair of small sections of the south walkway to meet accessibility standards (note, existing walkway is not original to the house);
2. Replacement of south exterior stair (stone steps, badly deteriorated);
3. Repair or replacement of north flagstone; existing is cracking and not graded properly (note, existing flagstone is not original to the house);
4. Replacement of a small section of asphalt paving on west side of house (note, existing paving is not original to the house);
5. Partial roof shingle replacement (includes partial replacement of roof sheathing as required- to be replaced with like and kind);
6. Replacement of gutters and downspouts- existing gutters are concealed and will be repaired and replaced in a manner which will minimize any impacts to the house.

Regarding Adamson house, the scope of work is as follows:

1. Repair or replacement of flagstone on the north and south sides of the house (note, flagstone is nor original to the house);
2. Repair or replacement of flagstone on one landing, near the barrier-free ramp (note, flagstone and ramp are not original to the house);
3. Replace south west and south east stair to match existing. Reuse existing flagstone where possible.

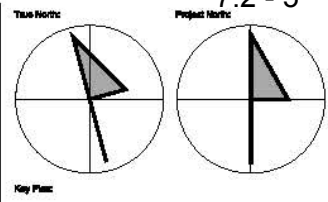
Attachments (optional)

Adamson Drawings

Derry House Drawings

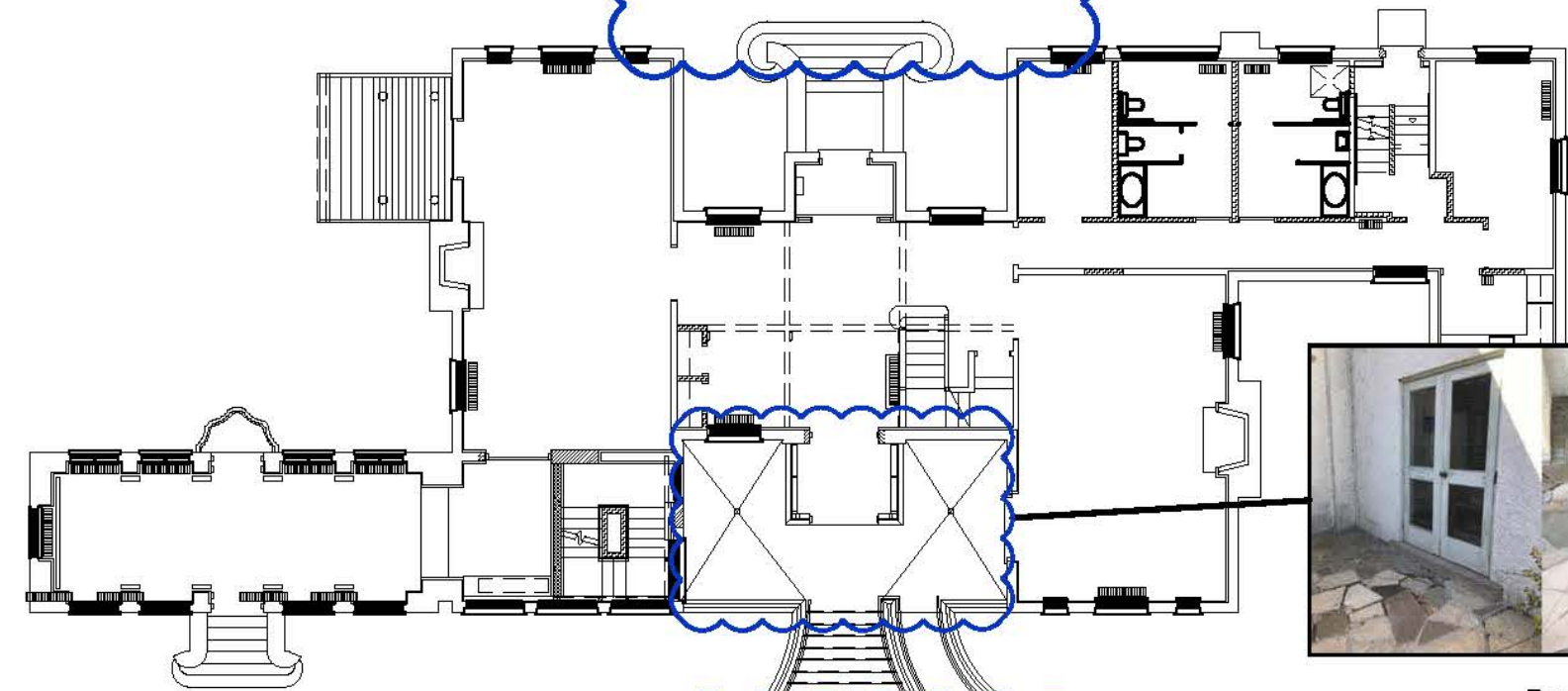
A handwritten signature in black ink, appearing to read 'Milka Zlomislic', with a long horizontal flourish extending to the left.

Milka Zlomislic, Project Manager
Capital Design & Construction, F&PM
City of Mississauga



Replace/Repair of the flagstone on the North Side of the house

- Lift up existing stones
- Create new sand/ lime-stone bed
- Relay existing stone on repaired bed
- Replace any cracked or broken stones with new flagstone to match existing



Replace/Repair Stair landing flagstone to match existing

- Lift up existing stones
- Repair existing concrete bed
- Relay existing stone on repaired bed
- Replace any cracked or broken stones with new flagstone to match existing



Replace/Repair of the flagstone on the South Side of the house

- Lift up existing stones
- Create new sand/ lime-stone bed
- Relay existing stone on repaired bed
- Replace any cracked or broken stones with new flagstone to match existing

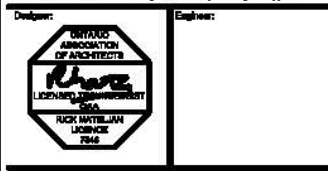


Drawing Credits
ARCOP Architects Inc.

3	July 25 '18	General Revisions	R.M.
2	July 12 '18	General Revisions	R.M.
1	May 28 '16	Preliminary Review	R.M.
No.	Date	Issued/Revised	By

Strickland Mateljan
Design + Architecture
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Chelville ON L5K 3G4
Tel: 905 842 2848
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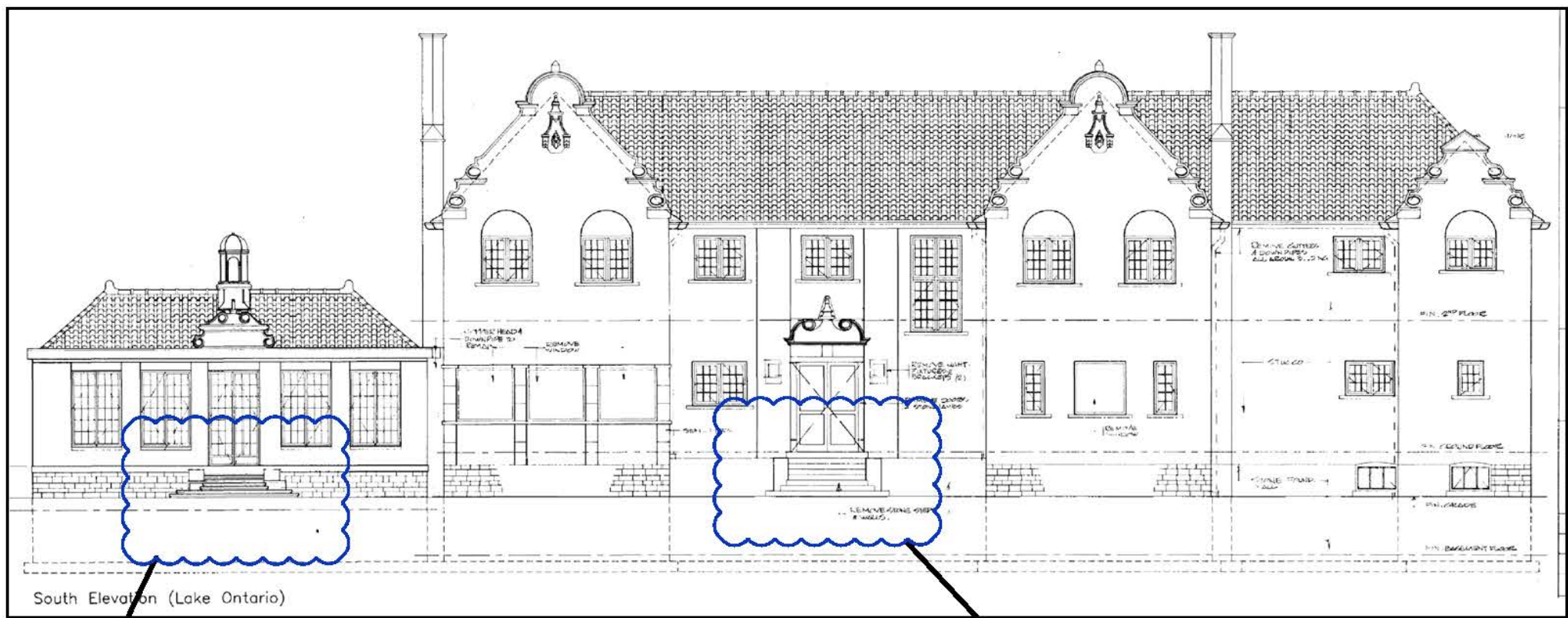
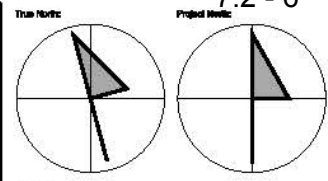


Project:
Adamson Estate
City of Mississauga
850 Errol Ave.
Mississauga, ON

Sheet Title:
Ground Floor Plan
Key Plans

Design By:	Drawn By:	Approved By:
R.M.	R.H.M.	R.M.
Scale:	Date:	Project No.:
1/4" = 10' or as shown	Aug 15, '19	
Drawn By:		

A002.1



South Elevation (Lake Ontario)



Replace South West stair to match existing Including new footing, foundation and poured concrete structure. Reuse existing flagstone if possible



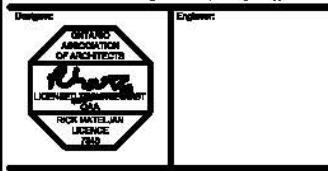
Replace South East stair to match existing Including new footing, foundation and poured concrete structure. Reuse existing flagstone if possible

Drawing Credits
ARCOP Architects Inc.

1	July 26 '18	Original Proposal	R.M.
2	July 26 '18	Revised Proposal	R.M.
3	May 23 '19	Preliminary Review	R.M.

Strickland Mateljan
Design + Architecture
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Oshawa, ON L1H 3G4
Tel: 905 842 2848
smatd.ca

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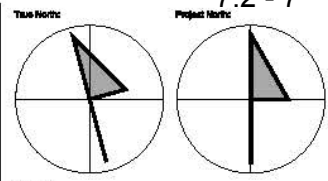


Adamson Estate
City of Mississauga
880 Ecola Ave.
Mississauga, ON

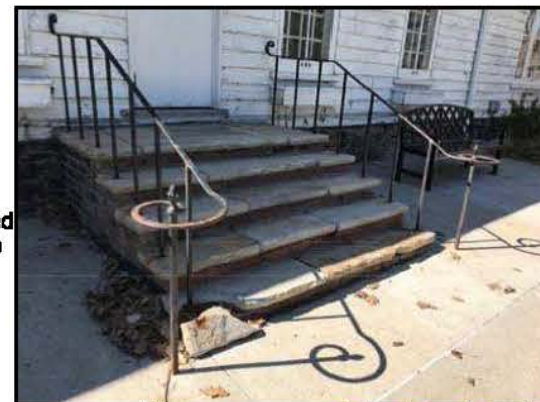
Sheet Title:
**South Elevation
Key Plans**

Design By:	Drawn By:	Approved By:
R.M.	R.H.M.	R.M.
Scale:	Date:	Project No.:
1/4" = 1'0" or as shown	Aug 16, '19	

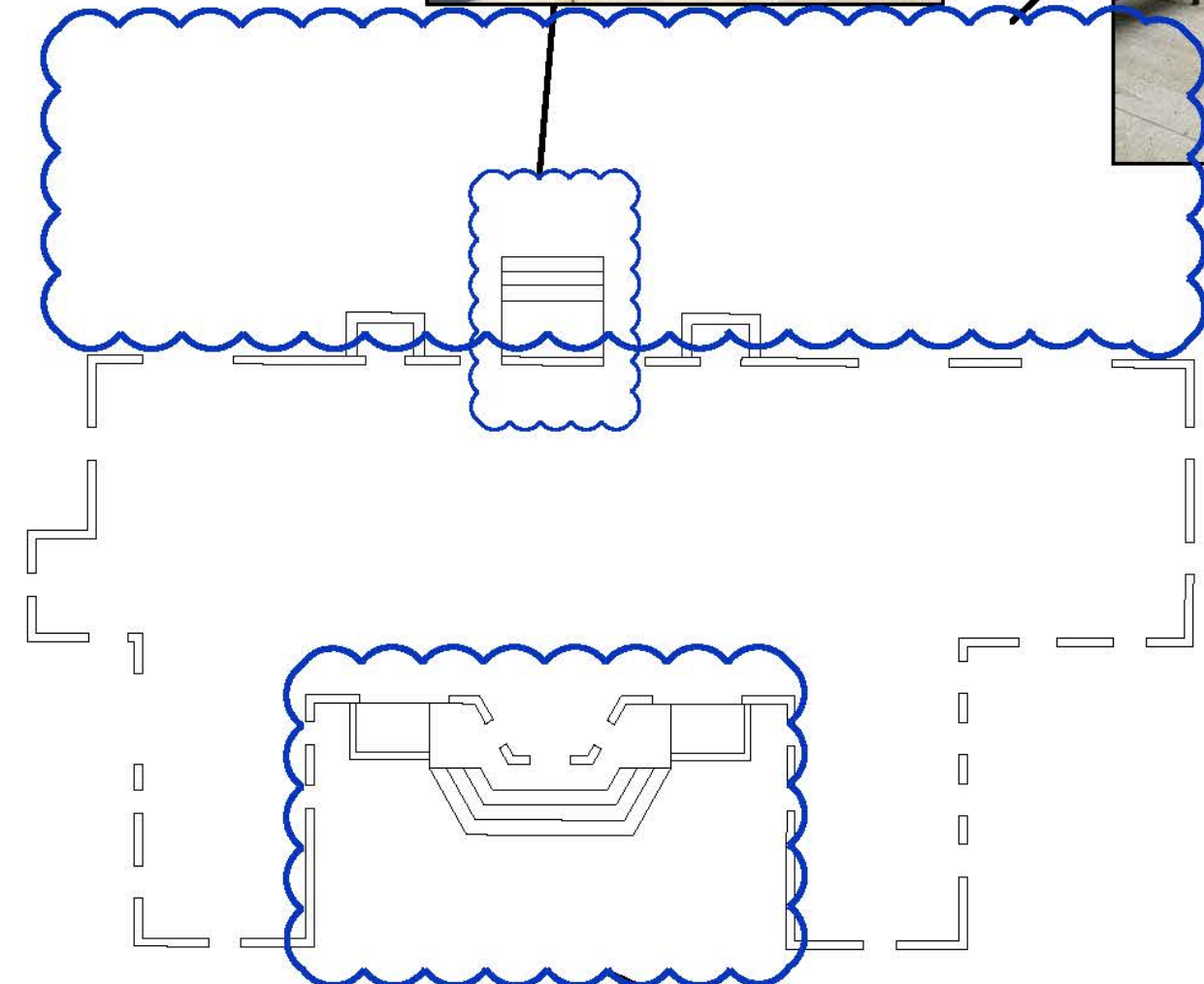
Drawing No.:
A002.2



Replace South stair to match existing including new footing, foundation and poured concrete structure. Reuse existing flagstone if possible



Repair concrete walkway in isolated areas to meet AODA Standards



Replace Asphalt driveway on the west side of the house



Replace/Repair of the flagstone on the North Side of the house to match existing

- Lift up existing stones
- Create new sand/ lime-stone bed
- Relay existing stone on new bed
- Replace any cracked or broken stones with new flagstone to match existing

Drawing Credits
JAIN & Associates Limited

3	July 25 '18	General Revisions	R.M.
2	July 12 '18	General Revisions	R.M.
1	May 28 '16	Preliminary Review	R.M.

No.	Date	Issued/Revised	By
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smda.ca

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Design:

Engineer:

Project:
Derry House
City of Mississauga
850 Errol Ave.
Mississauga, ON

Sheet Title:
Ground Floor Plan
Key Plans

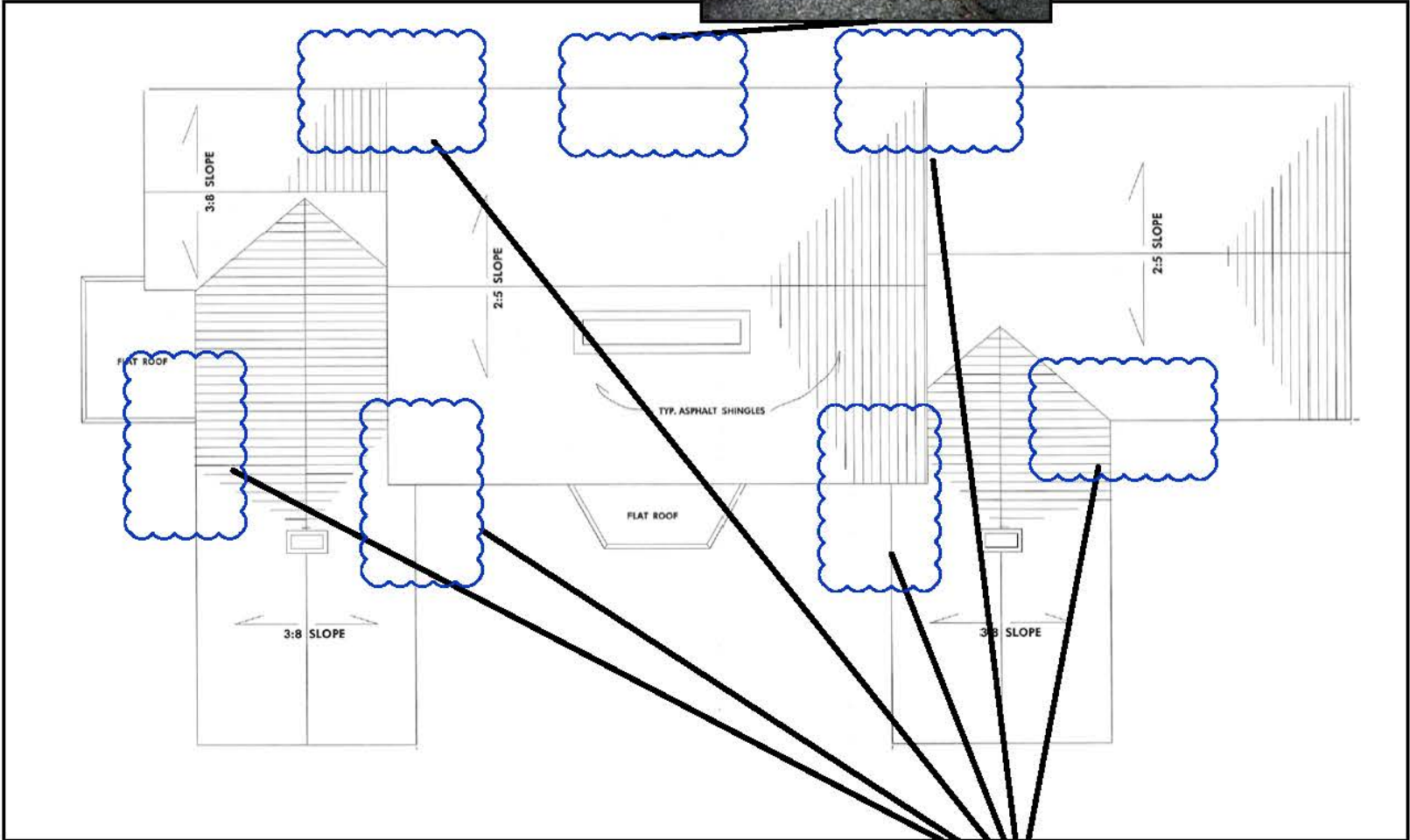
Design By: R.M.	Drawn By: R.H.M.	Approved By: R.M.
Scale: 1/4" = 10' or as shown	Date: Aug 15, '19	Project No:

Drawing No:
A002.1

Replaced damaged roof sheathing boards as required

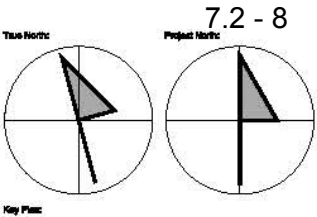


Balance of the asphalt roof shingles to be replaced to match



Replace gutters and downspouts to promote positive drainage and water shedding off the roof.

Drawing Credits
JAIN & Associates Limited

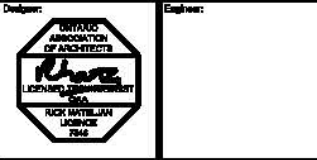


3	July 25 '18	General Revision	R.M.
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**Strickland
Mateljan**
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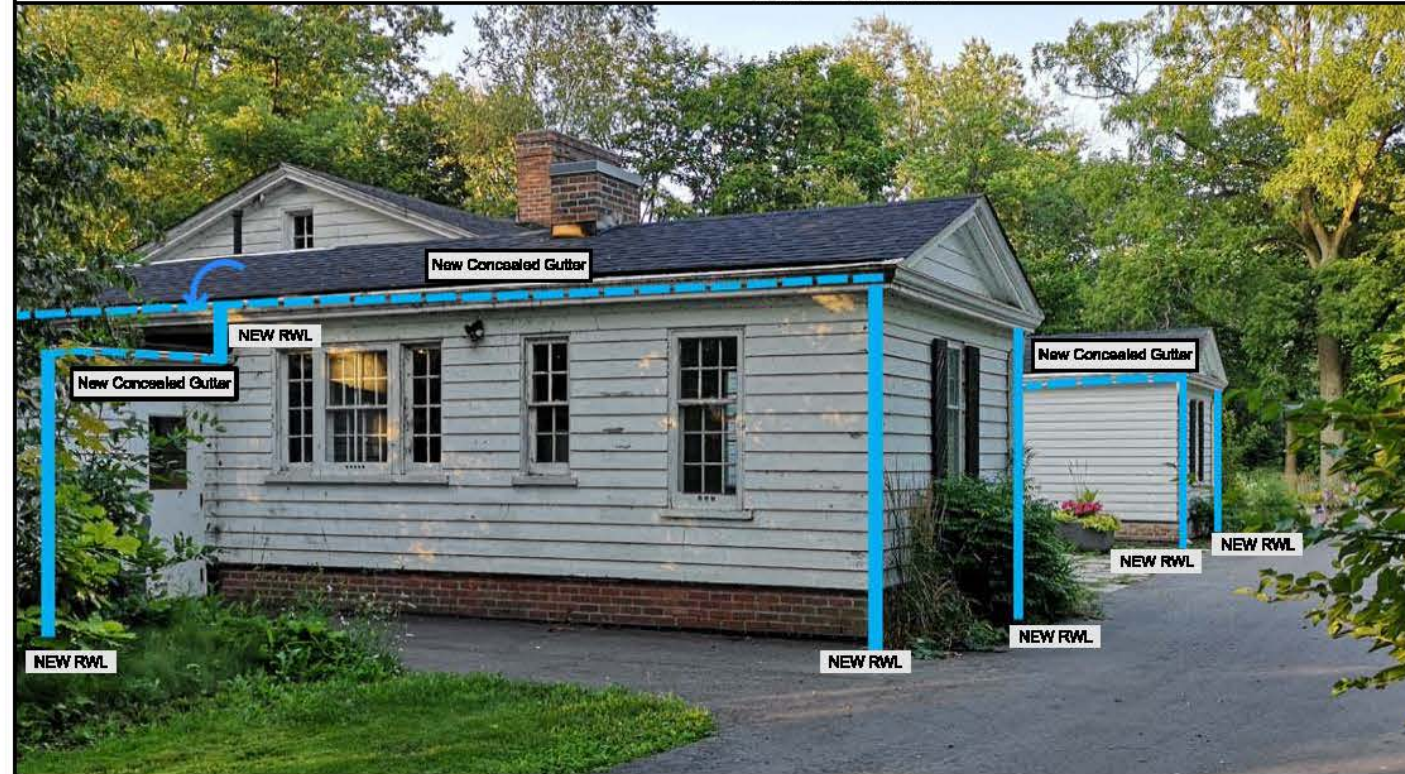


Derry House
City of Mississauga
850 Errol Ave.
Mississauga, ON

Design By:	Drawn By:	Approved By:
R.M.	R.H.M.	R.M.
Scale:	Date:	Project No:
1/4" = 10' or as shown	Aug 15, '19	

Drawing No:
A002.2

East Elevation



North Elevation



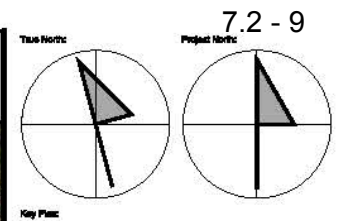
South Elevation



West Elevation



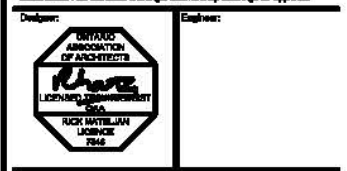
Typical round zinc RWL and filling available from guttersupply.com



No.	Date	Issued/Revised	By
3	July 25, 18	General Revisions	R.M.
2	July 10, 18	General Revisions	R.M.
1	May 28, 16	Preliminary Review	R.M.

Strickland Mateljan
Design + Architecture
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Project:
Derry House
City of Mississauga
850 Errol Ave.
Mississauga, ON

Sheet Title:
Roof Gutters-RWL

Design By: R.M.	Drawn By: R.H.M.	Approved By: R.M.
Scale: 1/4" = 10' or as shown	Date: Aug 15, '19	Project No.:

Drawing No:
A002.3

City of Mississauga

Corporate Report



Date: 8/20/2019

To: Chair and Members of Heritage Advisory Committee

From: Paul Mitcham, P. Eng, MBA, Commissioner of
Community Services

Originator's files:

Meeting date:
9/10/2019

Subject

Request to alter a Heritage Designated Property: 1352 Lakeshore Road East (Ward 1)

Recommendation

That the owner of the property at 1352 Lakeshore Road East, which is Designated under Part IV of the Ontario Heritage Act, is requesting to temporarily alter the north façade windows proceed through the applicable process, as per the Corporate Report from the Commissioner of Community Services dated August 20, 2019.

Background

Section 33.1 of the *Ontario Heritage Act* states that no owner of property designated under section 29 shall alter the property or permit the alteration of the property if the alteration is likely to affect the property's heritage attributes, as set out in the description of the property's heritage attributes that was required to be served and registered under subsection 29 (6) or (14), as the case may be, unless the owner applied to the council of the municipality in which the property is situated and receives consent in writing to the alteration.

Comments

The owner of the subject property has submitted a heritage application to temporarily install adhesive vinyl window coverings, with graphic treatments to the windows of the northern portion of the building. The subject property is designated under Part IV of the Ontario Heritage Act as it was once part of a large WWII government firearms manufacturing complex. The details regarding this temporary alteration are attached as Appendix 1. This proposal is a short term approach to mitigating risks presented by the unoccupied North Building in an effort to beautify the space and invite the community to embrace and make use of the grounds. This approach aligns with Corporate Security's implementation of Crime Prevention Through Environmental Design (CPTED) principles. Staff supports this proposal.

Financial Impact

The cost is covered under Community Services' approved operating budget.

Conclusion

The owner of 1352 Lakeshore Road East has requested permission to temporarily install adhesive vinyl window coverings to mitigate risks associated with the unoccupied space. The applicant has submitted a description that provides information detailing the scope of work necessary to achieve a higher level of security and community presence.

Attachments

Appendix 1: Proposal

Appendix 2: Window Design Presentation



Paul Mitcham, P. Eng, MBA, Commissioner of Community Services

Prepared by: Brooke Herczeg, Heritage Analyst

SAIB Streetscape Improvement Proposal for Heritage Advisory Committee

Background

The south portion of the Small Arms Inspection Building has recently undergone a multi-million dollar renovation project. This renovation has reinvented the south half of the building, outfitting it for use as a multi-disciplinary arts facility and event space.

The north section of the building, which includes the street facing façade, is presently un-renovated, and from the street appears to be an abandoned space. Future renovations are planned for this building, however, they are presently unscheduled and unbudgeted.

While the north building remains unoccupied, we are proposing to install non-permanent vinyl graphic treatments in all ground floor windows of the north building. These will serve several purposes:

- Mitigate security risks:

Prior to the city's assumption of ownership of the building, the SAIB was a derelict space where illicit activity took place. There were break-ins, vandalism and the building had been used as temporary housing for people in need. While many improvements have been made to the infrastructure (alarms and motion detectors) and grounds (lawn and garden) around the SAIB, the street-side face of the building still appears to be derelict.

This appearance of abandonment has been identified as a risk to the property. In consultation with Corporate Security, a short term approach to mitigating the risks presented by the north building included a project to beautify the space; making it appear to be a more vibrant and "lived in" building and property. These site beautifications would also serve to invite the community to embrace and make use of the grounds, thus acting as a deterrent to unwanted activity onsite both indoors and out.

This proposed approach aligns with Corporate Security's Crime Prevention Through Environmental Design (CPTED) approach, and this, along with other ground beautification efforts, has been deemed an appropriate risk mitigation measure.

- Building Identity/Brand:

Temporary aesthetic improvements to the building streetscape will improve awareness of this new cultural facility in the community. It will raise the profile of the SAIB and identify it as a space where cultural activity happens. Increased awareness and development of the SAIB's brand identity will be central to maintaining enthusiasm internally and externally for the ongoing renovations of the space.

Scope of Work

The proposal is to temporarily install adhesive vinyl window coverings with graphic treatments in all windows on the ground floor of the north SAIB.

This would include:

- Removing all existing air conditioning units and empty shelves from the windows of the north SAIB
- Installing pressure mounted frames in all ground floor windows. Frames will not disturb the brick, mortar or windows of the building
- Installing plywood window coverings in all ground floor frames. Vinyl graphic treatments will be applied to all vinyl.

Consideration will be given to the aesthetics of the finish and durability of the product when selecting final materials.

Improvements would not disturb or permanently alter in any way the façade or envelope of the building; the windows and frames – included in the heritage designation – would be preserved in both character and appearance beneath the plywood coverings. All installations would be temporary, and removed on the commencement of future phase renovations.

Design and Materials

Design work will be done by the City's creative department. Graphic treatments will be colourful, abstract, vibrant, and reflect the creative nature of this newly renovated cultural space.

Graphics will be applied on removable plywood, cut to fit within each window frame so as not to affect the character of the windows while future renovations are in their planning phase.

Alternative branding treatments were explored, however this approach was deemed most suitable for addressing both the aesthetic and security concerns presented by the space.

Appendices

- Appendix A – Window images (current state)

SAIB Window Designs

DESIGN PRESENTATION

AUGUST 16, 2019

The problem

The SAIB has no curb appeal. It appears abandoned and residents don't know the building has been repurposed.

The solution

Create window graphics that grab attention and communicate that something has changed and that there is more than meets the eye. The graphics will invite the public to explore the new SAIB.

Designs need to be:

- Impactful from a far
- one heritage focused concept
- one modern focused concept
- Speak to the building's new purpose

Heritage designs

- using heritage photos from the building's archival photo library the design uses portraits of the women who worked at the facility
- the graphic treatment of the photographs helps to create impact from a far.

Concept 1b

Heritage 1



City of Mississauga

Corporate Report



Date: 8/20/2019

To: Chair and Members of Heritage Advisory Committee

From: Paul Mitcham, P. Eng, MBA, Commissioner of
Community Services

Originator's files:

Meeting date:
9/10/2019

Subject

Request to Alter a Heritage Designated Property: 7060 Old Mill Lane (Ward 11)

Recommendation

That the request to alter the heritage designated property at 7060 Old Mill Lane as per the Corporate Report from the Commissioner of Community Services dated August 20, 2019, be approved.

Background

The subject property is designated under Part V of the Ontario Heritage Act as it forms part of the Meadowvale Village Heritage Conservation District (HCD). Changes to the property are subject to the Meadowvale Village HCD Plan, 2014 and substantive changes identified in said plan require a heritage permit.

Comments

Credit Valley Conservation (CVC), the property owner, has filed a rezoning application under OZ 18/004 to create a buildable residential lot along Old Mill Lane. The proposal, outlined in Appendix 1, includes reconfiguring the lot boundary, demolishing the 1970s garage and installing new fencing.

Currently the property includes a trail that provides access from Old Mill Lane to the Meadowvale Conservation Area. Due to community interest in this trail, it has been retained, albeit shifted slightly to the north. A two metre aggregate screening pathway would comprise the new conservation lands access. It would be bound by City of Mississauga Parks standard black chain link fencing with a white picket fence closer to the road to match and align with the picket fence to the north at 7080 Old Mill Lane. Plantings and a park entrance sign are also proposed on the north side of the trail.

Heritage Advisory Committee	2019/08/20	2
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The proposed lot size is comparable to the surrounding lots and would include a 9 metre setback to the house, maintaining views down Old Mill Lane. The trail and proposed treatments are sympathetic to the character of the immediate area. As such, the proposal should be approved.

The Meadowvale Village HCD Subcommittee recommended approval, though requested modifications to the access sign that was presented at its meeting on August 6, 2019. As such, the sign will be subject to an additional heritage permit application.

Financial Impact

There is no financial impact resulting from the recommendation in this report.

Conclusion

CVC has applied to reconfigure the lot boundary, demolish the garage and install new fencing at the subject property. The proposal would include a trail to the conservation lands but allow for residential development, which would be subject to the Meadowvale Village HCD Plan. The proposed lot and trail is consistent with the character of the area. As such, it should be approved.

Attachments

Appendix 1: Heritage Impact Assessment



Paul Mitcham, P. Eng, MBA, Commissioner of Community Services

Prepared by: P. Wubbenhorst, Heritage Planner



July 3, 2019

Paula Wubbenhorst, MA, CAHP, RPP, MCIP
Heritage Planner
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City of Mississauga | Community Services Department, Culture Division
201 City Centre Drive, Suite 202, Mississauga, ON L5B2T4

**Re: Heritage Application – Demolition & Lot Line Adjustment – 7060 Old Mill Lane [OZ 18 4]
Meadowvale Village Heritage Conservation District**

In connection with the planning process to facilitate the sale of surplus Credit Valley Conservation Authority (CVC) lands at 7060 Old Mill Lane, we are pleased to submit this Heritage Permit Application for the demolition of the existing garage and for a Lot Line Adjustment to the property boundary. As you will recall from our most recent meeting RE: 7060 Old Mill Lane, CVC has completed a second submission for a zoning by-law amendment (OZ 18 4) to rezone a portion of the lands to a site-specific exception zone to the Parkway Belt West designations to allow for a single residential home on the existing lot of record.

In determining the next steps towards completing the planning process, this Heritage Permit Application is required to seek clearance for both the demolition of the existing garage and, more importantly, to allow for a lot line adjustment to the boundary of the existing lot (Plan TOR-5 Lots 40 & 41).

This application is made within the context of the overall file and the extensive studies that have been completed and submitted as part of the rezoning process. We have attempted to include as much detail in the Heritage Impact Assessment as possible to allow for a fulsome review of the heritage aspects and impacts of the proposal, in accordance with the terms of reference. However, we would be happy to provide any and all available studies, plans, surveys and reports for the file upon request; the full list of available materials are listed on the last page.

Below I have included a summary description of the proposal (with a site plan map) and the actions within it that relate to Heritage Permit and Heritage review; I have also included a summary of community consultation, including with the Meadowvale Village Community Association, which helps to illustrate the actions taken already in addressing community and heritage concerns. During the next phases of Heritage Permit review, including the meetings with the advisory committee and the MVCA, we would welcome the opportunity to come and speak to the proposal.

Sincerely,

Jesse de Jager
Conservation Lands Planner
jesse.dejager@cvc.ca | 905-670-1615 ext. 281

Description of Proposal

The existing garage on 7060 Old Mill Lane has been declared surplus to corporate needs by the CVC Board of Directors; the Board has directed the sale of the lands at highest and best use market value to facilitate further acquisitions of environmentally important lands.

To facilitate this disposition, the following actions are proposed for the lands, in combination with the other relevant planning processes:

- Reconfigure the lot lines of historical Lots 40 & 41 (TOR-5) to a size and scale appropriate to the Meadowvale Village lot fabric [Heritage Permit Requirement]
- Establish, through the rezoning process, a development envelope which protects environmental and heritage features (i.e. generous 9m front yard setback), as well as firm guidelines for a future home, to be constructed in accordance with the HIA recommendations, the HCD guidelines, and the strict limitations of the site-specific zoning (e.g. 7.5m height restriction). [Heritage staff review comments incorporated]
- Retain and upgrade existing Pedestrian Access Trail to Meadowvale Conservation Area to allow for continued community access to the natural area and park land, and erect 1.5m (5ft) chain link fence along adjusted property boundary.
- Demolish the existing garage structure (circa 1970) [Heritage Permit Requirement]

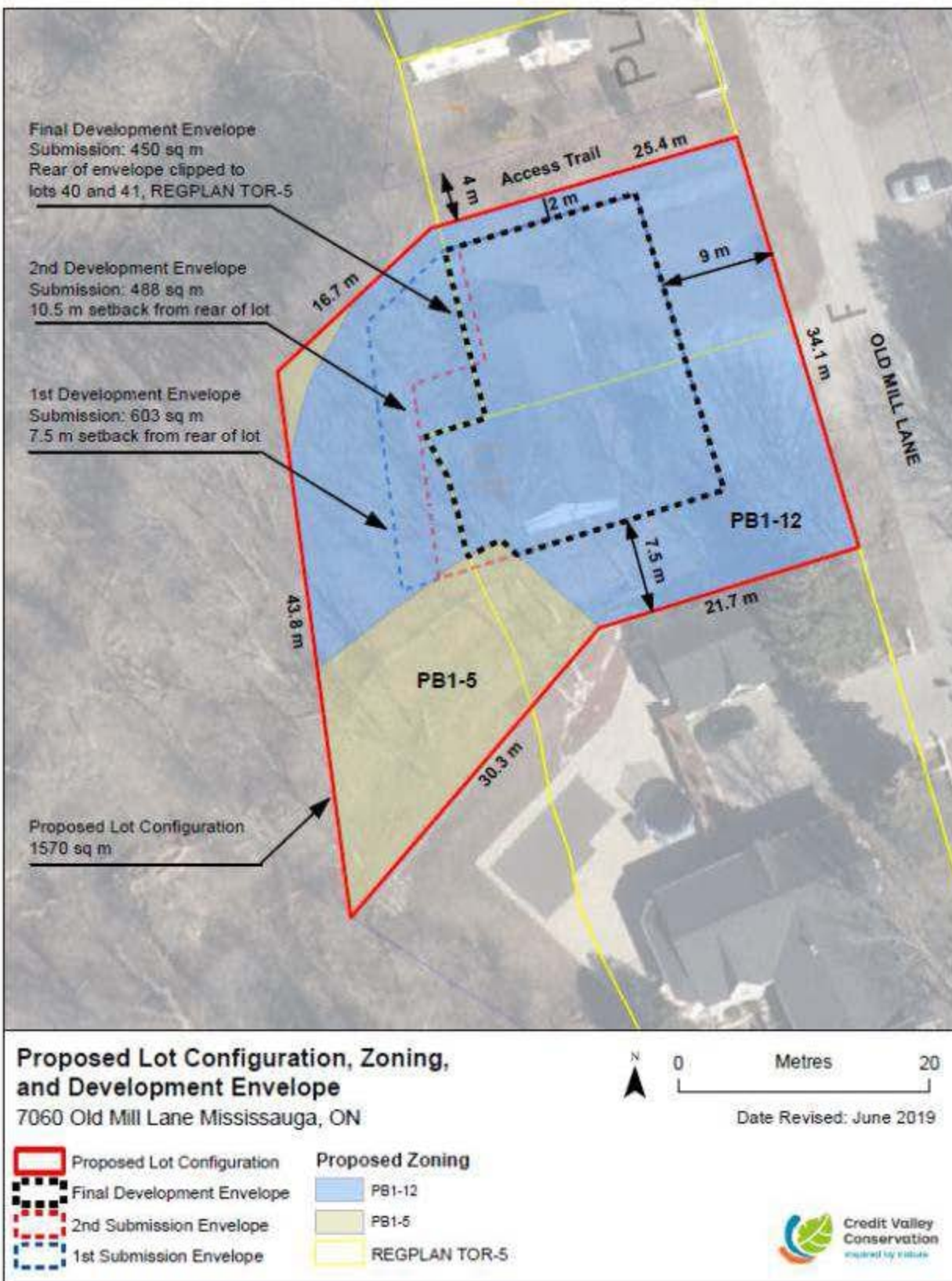
CVC will complete the rezoning and heritage permit for demolition and lot lines only. It will be up to the future owner to abide by the terms of the development agreement and envelope established through the zoning by-law, and the future owner must apply for Site Plan Approval, Building Permit and Heritage Permit for the proposed home, which must be in conformity with zoning, the Heritage Impact Assessment recommendations and the Heritage Conservation District Plan guidelines.

Consultation with the Community

CVC has been a longstanding member and neighbour within Meadowvale Village since 1963, and the largest landowner within the Heritage Conservation District. The CVC Administrative Office was located in the historic Silverthorn House from 1965 – 1987, and this proposed disposition represents the final village lots in CVC ownership which have not already been sold as CVC operations grow and change.

Since the start of the proposed rezoning and sale, CVC has been actively engaged with community members on the proposal. We have communicate and met with the executive committee of the Meadowvale Village Community Association several times, including site meetings, telephone calls and email correspondence. We have conducted door to door mail drops and conversations with direct neighbours regarding the proposal, and we have fielded several phone calls from residents about the proposal. We have also updated Councillor Carlson on the proposal so he is aware of the proposal.

CVC has received no negative comments regarding the proposal. We have, rather, received positive feedback about the change in land use, and residents and neighbours are happy to see the lots returned to a residential use, to complete the community character. Our proposal as been modified based on the community feedback, including the amendment of the development envelope to retain large sugar maple species where possible. We have also had the proposal details supported in particular for the retention of the pedestrian access trail (which is important to the community) and the hard restrictions on height (7.5m) and the front yard setback (9m – which is the line with the neighbouring houses).



In addition to the *Heritage Impact Assessment* which has been provided, the following additional Studies, Plans, Surveys and Reports for 7060 Old Mill Lane are available and have been provided to the City of Mississauga as part of the Zoning By-Law Amendment [OZ 18 4] – these can be made available again for the Heritage Permit review upon request:

- Planning Justification Report
- Supplementary Planning Justification Report and Lot History
- Stage I & II Archaeological Assessment
- Urban Design Study and Addendum
- Environmental Impact Study and Addendum
- Designated Substance Survey
- Functional Servicing Report Brief
- Land Registry Title Abstract
- Phase I & II Environmental Site Assessments
- Draft Zoning By-Law
- Concept Site Plan
- Context Map Location
- CVC-Approved Development Envelope Plan (stamped)
- Grading Plan
- Registered Plan 43R-37578 (Lot Boundary Adjustment)
- Comprehensive Planning Application Status Report Comment Disposition Table (2nd sub)

HERITAGE IMPACT ASSESSMENT

***7060 OLD MILL LANE
CITY OF MISSISSAUGA***

PREPARED FOR CREDIT VALLEY CONSERVATION

SU MURDOCH HISTORICAL CONSULTING
705.728.5342 SUMURDOC@SYMPATICO.CA

**ORIGINAL: AUGUST 2017
REVISED: JULY 2019**



SUMMARY

This Heritage Impact Assessment was prepared for Credit Valley Conservation as owner of 7060 Old Mill Lane. This property is within the Meadowvale Village Heritage Conservation District and, as such, is designated by bylaw under Part 5 of the Ontario Heritage Act.

Based on the findings of this HIA, it is concluded that there will be no loss of cultural heritage value or interest resulting from the removal of the c.1970 garage from this property. The integration of new construction into this mid 19th century streetscape should be possible with careful planning and by applying the design parameters of the *Meadowvale Village Heritage Conservation Plan*.

The site plan showing the building envelope proposed by CVC, and subsequently revised and reduced based on City comments, is compatible with the Old Mill Lane streetscape and the MHCD. The nine metre setback for the envelope is identical to that of the two adjacent properties. It is cognizant of the important viewscape looking north/northwest from Old Mill Lane at Old Derry Road, across 7050 Old Mill Lane and toward 7070 Old Mill Lane. The side yard allowances are generous enough to maintain the traditional sense of spaciousness at this location. The north side yard is enhanced by the proposed public pathway to the conservation area at the west.

It is recommended that any future development proposal be made aware of the reasoning for the placement of this building envelope. The finished height of the new construction also will need to be considered in the context of this important viewscape, and the proposed zoning by-law limiting height to 7.5m is consistent with the Village character.

Ideally, the new building design should be an interpretation of 1840 to 1860 architectural style traditions in Ontario, with an emphasis on Georgian Revival, Regency, and early Gothic Revival.; the related Urban Design Study illustrates local examples compatibility to site.

All new development on this property must adhere to the provisions and requirements of the MHCD Plan. As the proposal to develop evolves to its final form with a future owner at Site Plan, Building Permit and Heritage Permit stage, it needs to be monitored for any emerging short or long term negative impacts on the streetscape and the overall MHCD.

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APPENDIX B: SUMMARY OF HERITAGE CONSULTING CREDENTIALS AND EXPERIENCE

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HERITAGE IMPACT ASSESSMENT 7060 OLD MILL LANE

PART, EAST HALF, LOT 11, CONCESSION 3, WEST HURONTARIO STREET, TORONTO TOWNSHIP; NOW PART LOTS 40 AND 41, PLAN TOR-5, CITY OF MISSISSAUGA

1.0 REPORT OBJECTIVE AND TERMS OF REFERENCE

The property known municipally as 7060 Old Mill Lane (formerly Mill Street) is owned by Credit Valley Conservation (“CVC”). It is within the Meadowvale Village Heritage Conservation District (“MHCD”) which is an area designated by bylaw under Part 5 of the Ontario Heritage Act (“Act”). The only structure on the subject property is a frame garage erected about 1970 by CVC.

The City of Mississauga (“City”) requires a Heritage Impact Assessment (“HIA”) to accompany any application for demolition or removal, a Heritage Permit, Planning Act requirements, and/or other matters related to development or site alteration on or adjacent to a designated property. This includes all properties within the MHCD.

The objective of a HIA is to identify and evaluate the cultural heritage resources on a property; analyze the impact a proposed development or site alteration could have on those resources; and recommend how best to manage that impact. The HIA is to be compiled according to the *Mississauga Heritage Impact Assessment Terms of Reference, October 2014*. These Terms of Reference, in conjunction with the provisions of the MHCD Plan, are the basis of the analysis and recommendations of this HIA.

In this instance, CVC is proposing to demolish the c.1970 garage, relocate a pedestrian right of way, and apply for a severance and zoning bylaw amendment to permit a single-family residence. The land will be sold vacant. A draft site plan indicating a building envelope has been prepared by CVC (Figure 14). As the CVC will not be developing the land, the primary objectives of this HIA are to consider this draft site plan and to recommend a general direction for the future development of this MHCD property.

2.0 METHODOLOGY

2.1 SOURCES

The findings and recommendations of this HIA are based on documentary research, a property title search at the Land Registry Office, the MHCD Plan, and information extracted from studies compiled for CVC. A site visit by the heritage consultant and a CVC staff member on July 24, 2017, examined the exterior of the garage, the grounds, and the Old Mill Lane streetscape.

2.2 EVALUATION CRITERIA

The MHCD Statement of Cultural Heritage Value or Interest and Description of Heritage Attributes (Appendix A) form the context for evaluating the property at 7060 Old Mill Lane. In addition, the evaluation criteria of Ontario Heritage Act Regulation 9/06: *Criteria for Determining Cultural Heritage Value or Interest* ("O. Reg. 9/06") were considered.

2.3.1 RELEVANT POLICIES AND REGULATORY OR MUNICIPAL REQUIREMENTS

In connection with the Zoning By-Law Amendment application for 7060 Old Mill Lane, CVC has prepared and comprehensive Planning Justification and Supplementary Planning Justification report which outlines all application legislation, regulation, policy and code requirements applicable to the application and property, including specific information on the Lot history and the status of historical lot line boundaries in the Meadowvale Village surrounding 7060 Old Mill Lane. Both Justification reports are attached to this HIA as Appendix E. Additional refinement of agency and municipal requirements are shown in the Planning ASR (Application Status Report) comment disposition table which is attached as Appendix F.

In summary, the following requirements apply to the CVC proposal for 7060 Old Mill Lane:

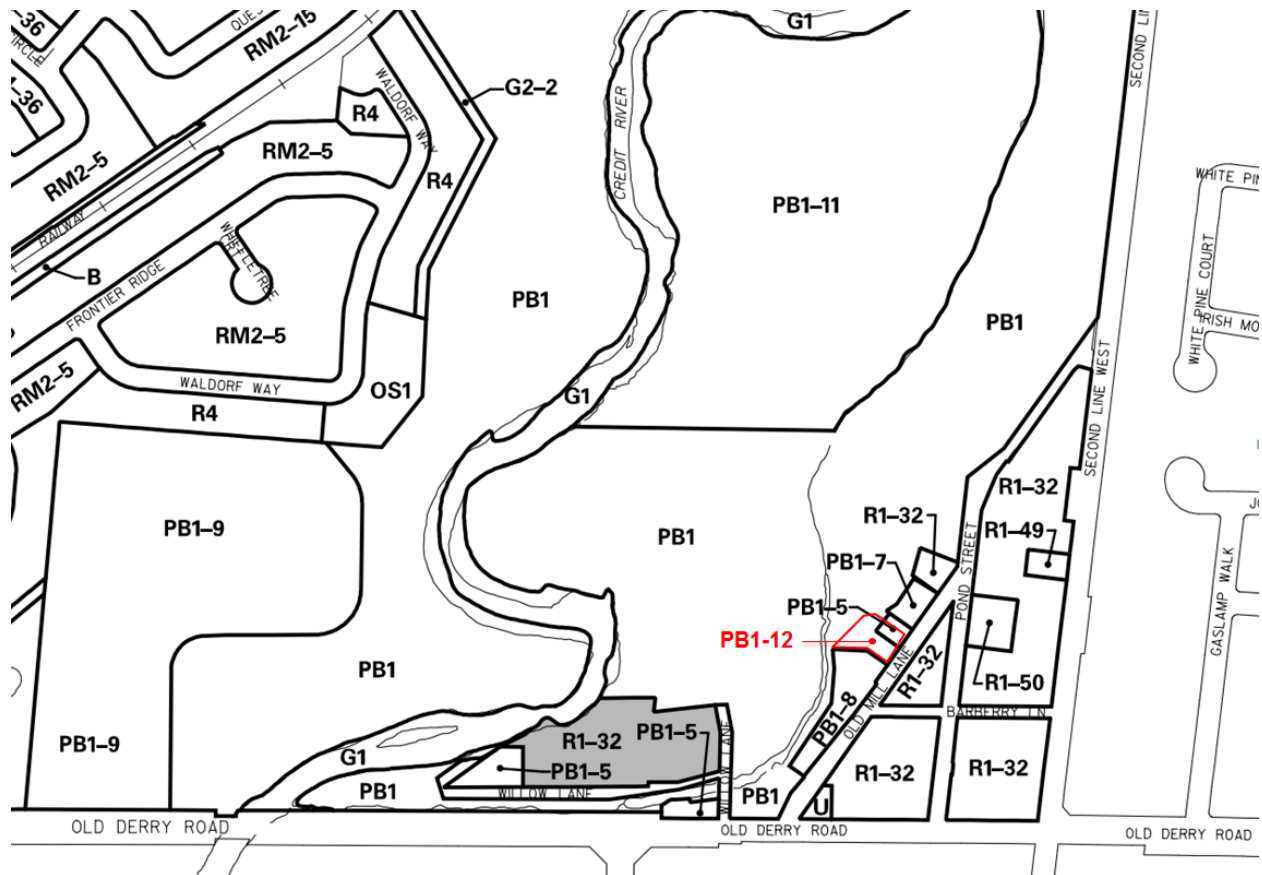
Zoning By-Law Amendment

Currently, zoning for the Shop lands is split between PB-1 (Parkway Belt West 1 – permitting Conservation and Passive Recreational uses) and PB1-5 (which allows for One (1) detached dwelling and accessory structures legally existing on the date of passing of the by-law). The City of Mississauga zoning office recognizes the dual zoning, which splits the Shop lands. This is the result of historical zoning attributed to the remnant village Lot 41, Plan TOR-5 which was partially sold off in 1988.

New exception zoning and a lot line adjustment is required update the lands to appropriate Village zoning to permit infill development of a single detached dwelling to return the site to the most appropriate land use within the historic village. The proposed lot zoning in relation to existing zoning is shown below Zoning By-Law Amendment

Currently, zoning for the Shop lands is split between PB-1 (Parkway Belt West 1 – permitting Conservation and Passive Recreational uses) and PB1-5 (which allows for One (1) detached dwelling and accessory structures legally existing on the date of passing of the by-law). The City of Mississauga zoning office recognizes the dual zoning, which splits the Shop lands. This is the result of historical zoning attributed to the remnant village Lot 41, Plan TOR-5 which was partially sold off in 1988.

New exception zoning and a lot line adjustment is required update the lands to appropriate Village zoning to permit infill development of a single detached dwelling to return the site to the most appropriate land use within the historic village. The proposed lot zoning in relation to existing zoning is shown below:



Committee of Adjustment – Lot Creation and Lot Line Adjustment Consent

The creation of a newly configured lot based upon modern zoning would require the consent of the City of Mississauga Committee of Adjustment. The City has identified our Lot Creation application **as a prior existing lot** (remnant historical village Lot 41) which has been administratively merged on title with CVC's overall Meadowvale Lands (the main PIN) by Teranet. The title root to Lot 41 remains distinct however, and a Lot Creation process is the most appropriate method to re-establish the PIN with new lot lines that conform to overriding village zoning policy (i.e. R1-32 exceptions for Village Heritage character). Lot configuration is appropriate to village character and supports OP 16.17.2.21 for lots of varying sizes sympathetic to streetscape aesthetics and heritage settlement patterns demonstrated on Registered Plan TOR-5.

Greater Toronto Airport Authority (GTAA)

Meadowvale CA is located within the Airport Operating Area identified in the City of Mississauga Official Plan. The Shop lands are within the specific exemption area which allows for compatible residential development applications for zoning by-law amendments or committee of adjustment approvals below the 35 Noise Projection Contour of the Airport.

Parkway Belt West Amendment

In 2003, CVC staff sought and obtained a Parkway Belt West Amendment (amendment no. 172) with the Province to allow for General Complimentary Uses on the Shop lands in a 0.13ha area, based on the previously proposed lot configuration. General Complementary Uses allow for infilling of a single detached dwelling provided all Municipal approvals are obtained. We have included the Amendment (no. 172) and the City of Mississauga Staff report in the list of uploaded documents to the e-plans portal.

Site Plan Approval

The Shop lands are also under City of Mississauga Site Plan Control (OP 16.17.2.11), which requires that prior to any development on site a Site Plan is to be approved by the City which meets the requirements of the Meadowvale Heritage Conservation District Plan.

Heritage Conservation District Plan

The Meadowvale Heritage Conservation District Plan developed by the City of Mississauga with support from CVC, describes the heritage significance of the Shop lands at 7060 Old Mill Lane that is associated with the location of the building to the rear of the lot which provides for a large open space which is representative of the historic open spaces within the nineteenth century character of the Village.

Demolition Permit

CVC would require a Demolition Permit to demolish and remove the Shop itself. It is anticipated that there will be no issues in obtaining this permit once other approvals are in place. A Phase 1 ESA is attached with this application and a Designated Substance Survey (DSS) is currently being undertaken.

Ontario Regulation No. 160/06

The subject property is located partially within the Credit Valley Conservation Regulated Area. As such, the property is subject to CVC Regulation of Development Interference with Wetlands, and Alterations to Shorelines and Watercourses (Ontario Regulation 160/06).

Floodplain

The larger property is traversed by the Credit River and contains portions of the associated floodplain.

Environmentally Significant Area (ESA)

This area contains significant natural features within the Credit River Watershed. The designation of these areas is based on criteria related to terrain, flora and fauna hydrological significance, aesthetic qualities and educational values.

Peel Greenlands

The subject property is within an area designated as Core Greenlands by the Region of Peel.

2.3.2 TREE INVENTORY

A *Tree Inventory Plan* compiled by qualified CVC staff arborists on June 22, 2017, was submitted to the City as part of the Environmental Impact Study in support of the Zoning By-Law Amendment Application. The Tree Inventory and Assessment includes all trees above 15cm DBH within the proximity of the application area, with locations surveyed by an Ontario Land Surveyor (Cunningham McConnell Ltd), and species identification and health recorded for each. The Tree Inventory Plan is appended to this report for information. The Tree Inventory may be relied upon for an assessment of species and health within the study area and has been used by CVC and the City in the negotiation of a compatible 'building envelope' within the proposed lot which seeks to minimize potential tree loss and retain all mature sugar maple species which are of ecological, aesthetic and/or cultural value.

CVC staff consultation with the Meadowvale community, including the Meadowvale Village Community Association, has resulted in a proposed building envelope which protects the largest Sugar Maple (tree 31, 63cm DBH) which is of particular interest to the community.

A Tree Protection Plan based upon the building envelope and the proposal of the future owner for a single-family residence (within the envelope) must be prepared at the time of Site Plan Approval and Heritage Permit application for construction of the dwelling. It is assumed that provisions to mitigate any other negative impact on trees and/or plant species will be part of the development agreement and site plan approvals.

2.4 ARCHAEOLOGICAL RESOURCES

Stage I and II Archaeological Assessment was undertaken, and a report compiled on June 26, 2017, by the TRCA Archaeological Resource Management Services. The finding is that "no artifactual material or cultural features were located during the archaeological investigation. Accordingly, the project area as tested requires no further archaeological assessment."

CVC has submitted the Stage I and II Archaeological Assessment to the City separately as part of the zoning bylaw amendment application package – a copy of which can be provided to Heritage Staff as reference in the Heritage Permit process for Lot Line Adjustment and Demolition of the existing shop building.





Figure 2: North and east (L) facades of garage, 2017



Figure 3: North and west (R) facades of garage, 2017



Figure 4: East façade of garage, 2017. Garage at 7050 Old Mill Lane is in centre.

3.2 MHCD DESCRIPTION

The MHCD Plan contains the Statement of Cultural Heritage Value or Interest and Description of Heritage Attributes that apply to the District overall (Appendix A). Each property within the MHCD has been evaluated for its individual contribution to this overall value or interest. The *Property Inventory: Schedule B.1* describes the contribution of 7060 Old Mill Lane:

Date of Construction: c. 1970

Historical Background: This is a very practical and utilitarian structure which was built to house equipment, tools and supplies for the CVC. The CVC acquired their current lands surrounding Meadowvale Village in 1963 from the last mill owners, Luther and Grace Emerson. The structure was erected in the early 1970s. Its simplicity and practicality allows the building to retain its usefulness while not drawing attention to itself or being out of place within the current building stock of the Village. The structure is well removed from the road edge and is surrounded by mature trees and an old pathway that leads into the CVC lands.

Description: This frame structure, one storey in height, is a garage, storage and work area owned and utilized by the CVC. It is a utility building finished in manufactured siding. The building is recessed deep onto the lot which provides for a large gravel area to the front of the building for CVC service vehicles. This open space contributes to the nineteenth century character of the Village with large open spaces. To the south of the property is a small watercourse that drains away from the road.

Heritage Attributes:

The location of the building to the rear of the lot provides for a large open space which is representative of the historic open spaces within the nineteenth century character of the Village

Statement of Significance:

The historic association of this property is with the former mill operation and property owner Francis Silverthorn. The property has significant context in that the setback of the structure provides for a large open space true to the nineteenth century character of the property and Village development contributing to the streetscape.

4.0 HISTORICAL BACKGROUND

4.1 TORONTO TOWNSHIP

Toronto Township is intersected by the Etobicoke and Credit rivers and fronts on the shoreline of Lake Ontario at the south. By 1807, settlers were arriving via the lake and the early colonization roads. With good soil, the initial economy of the township was agriculturally based. Communities were established at crossroads to service the surrounding farm families. The

waterpower of the river systems allowed for a proliferation of saw and grist mills that supported the farming community and new settlement.

The 1846 Smith's Canadian Gazetteer describes Toronto Township as "one of the best settled townships in the Home District. . . . There are four grist and twenty-one saw mills in the township. Population in 1842, 5,377."

In 1905, the Toronto and York Radial Railway extended a line along the Lake Ontario shoreline to the St. Lawrence Starch Company in Port Credit. This opened the possibility of local residents commuting to employment in larger centres. In 1915, the Toronto Suburban Railway was built along the Credit River valley passing through Cooksville, Britannia, Meadowvale, and Churchville to Guelph. Both railways were phased out by the 1930s as automobiles, trucks, and buses became increasingly available and roadways were paved.

The Township settlements of Lakeview, Cooksville, Lorne Park, Clarkson, Erindale, Sheridan, Dixie, Meadowvale Village, and Malton were amalgamated in 1968 to form the Town, now City of Mississauga.

4.2 MEADOWVALE

Meadowvale was founded in the 1830s on a section of the Credit River with sufficient waterpower to operate several mills. The surrounding area was good farmland. The following is extracted from the description of the Village of Meadowvale contained in the 1877 *Historical Atlas for Peel County*:

Meadowvale, a very pretty village in the Township of Toronto is situated on the River Credit, having fine water privileges, which are to a certain extent utilized. Although the village is not quite so prosperous nor so populous as it was in days of yore, still, those who do business here are very enterprising, and run their businesses to their fullest capacities.

The first starting of the village was the building of a saw mill by Mr. John Crawford in 1831. He was followed by Mr. John Simpson, who built another one in 1836. By this time quite a number of settlers had gathered around, and for several years found it very difficult to obtain the necessities of life, being obliged to trudge to Toronto, and carry their provisions home on their backs. In 1847, however, James Ward started the first store and kept a general stock, suitable for the wants of the pioneers.

In 1856 Francis Silverthorn built a grist mill, which made it still better for the inhabitants. He carried on a large business, until the property was purchase by the firm of Gooderham & Worts in 1860, who have since greatly added to its proportions. . . .

Thomas Shaughnessy owns a lumber, lath and shingle factory. John Simpson also has a saw mill, both of which are kept constantly running. . . .

5.0 HISTORICAL OR ASSOCIATIVE VALUE

5.1 PROPERTY CHRONOLOGY

5.1.1 JOHN BEATTY

On July 23, 1821, John Beatty received the Crown Patent for the 200 acres of Lot 11, Concession 3, West Hurontario Street, North Division, Toronto Township. He also acquired other lands in Toronto and Albion townships.

According to the MHCD history of Meadowvale, John Beatty was born in Ireland but entered Upper Canada via New York City. He, his wife Sarah Sproule, and their six children: John, Jr., James, Joseph, Elizabeth, Margaret, and Mary, arrived in Meadowvale in April 1819. They were part of a group of United Empire Loyalist families, which included John's brothers David and James. John was a farmer and a Methodist preacher. In 1832, he was offered the stewardship post of the Upper Canada Methodist Academy. He left Meadowvale and settled permanently at Cobourg, where he died in 1864.

5.1.2 JAMES CRAWFORD

In October 1833, John Beatty sold 75 acres of Lot 11, Concession 3, to James Crawford for £400.¹ The 1837 Home District Directory entry for Toronto Township lists Crawford on "Lot 11, Concession 3, New Survey."

According to the MHCD history, Crawford attempted to establish a sawmill operation at Meadowvale:²

It is believed he built his sawmill on the banks of the Credit River on the north side of the present Old Derry Road iron bridge.³ This location, however, proved insufficient to provide the necessary water supply to make the sawmill function. Crawford abandoned his idea and went back to farming and cutting down the pine trees on his land by hand to sell these raw logs to regional lumber merchants.

In the MHCD Inventory, Crawford is attributed with erecting in 1844 the dwelling at 7050 Old Mill Lane, said to be the oldest frame house in Meadowvale. The same Inventory entry also attributes the construction of the dwelling to Francis Silverthorn. Further research may reveal which attribution is correct.

5.1.3 FRANCIS SILVERTHORN

In February 1845, James Crawford sold 7.5 acres of Lot 11, Concession 3, for £275 to Francis Silverthorn, the son of Aaron Silverthorn. In 1847, Crawford sold additional acreage (likely 60 acres) to Aaron Silverthorn for a substantial £2,125.

According to the MHCD history, the Silverthorns were among the earliest United Empire Loyalist families to arrive in Upper Canada in 1786. Aaron became a partner in a mill in the Niagara region around the time of the War of 1812. Francis was born in Etobicoke (near Toronto) in 1815. Francis is said to have arrived in Meadowvale about 1836. The 1837 Home District Directory lists several Silverthorns in Toronto Township but none on Lot 11, Concession 3.

According to the MHCD:

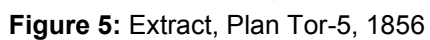
Francis Silverthorn's first venture was to create a saw mill in 1840 along the banks of the Credit River in what is now the Credit Valley Conservation lands, just north of the old mill ruins site on Old Derry Road. This saw mill location can be seen on the 1856 Bristow Survey of Meadowvale.

In 1845, Francis chose the location of 1095 Old Derry Road as the site to build a grist mill. This is within the land purchased from Crawford that year. According to the *Brampton Conservator* newspaper, the mill burned down shortly before midnight on November 21, 1849. He rebuilt the mill as a two storey, frame structure. This rebuilding may explain the need to mortgage the property with John Wilmot in February 1852.

After Britain entered the Crimean War in October 1853, the price for grain doubled. At the end of the War in 1856, it went below its original price. This swing in value caused both profit and financial hardship for Silverthorn and the grist mill.

In April 1854, Aaron Silverthorn sold his 60 acres ("less part sold") of Lot 11, Concession 3, to his son Francis. Francis immediately mortgaged the property (and other lands) with William Gooderham for £3,000.

Francis then commissioned Provincial Land Surveyor Arthur Bristow to subdivide part of the east halves of Lots 11 and 12, Concession 3, North Division, Toronto Township, into building and park lots. The resulting Plan Tor-5, also known as "Bristow's Plan or Survey," is dated July 1 and was registered on July 21, 1856. This is a "Plan of Building and Park Lots in Meadowvale Village" (Figure 5). In spite of the lot numbering created by Plan Tor-5, legal transactions for lots in this area continued for several decades to be described as subparcels of the Lot 11, Concession 3, WHS, Toronto Township acreage. The property at 7060 Old Mill Lane is parts of Lots 40 and 41, Plan Tor-5.



Plan Tor-5 (Figure 5) plots a large building standing on Lot 40 when the survey was undertaken in 1856. This is the Crawford and/or Silverthorn dwelling at 7050 Old Mill Lane. Lot 41 is shown on Plan Tor-5 as vacant. The dwelling (said to be built as a workers' double cottage and later known as The Boathouse) at 7070 Old Mill Lane is not shown on the Plan as it was built about 1860 on Lot 42 and part of Lot 41. The garage now at 7060 Old Mill Lane was built about 1970 and straddles the boundary of Lots 40 and 41.

Francis secured another mortgage with William Gooderham in October 1857. The amount was £4,268 with the approximately 60 acres used as collateral. In 1858, the 1852 Wilmot mortgage was assigned to James Gooderham Worts. Francis is listed in the 1857-58 Canada Directory entry for Meadowvale as "postmaster, flour, saw and stave mill owner, dealer in dry goods, hardware, groceries, &c., cooper and barrel manufacturer."

5.1.4 GOODERHAM & WORTS

By 1861, Silverthorn must have defaulted on the mortgage, as his mill and associated holdings were soon transferred to the Gooderham & Worts firm of Toronto.⁴ According to the MHCD history, Silverthorn left Meadowvale in 1860 to reside on his family's property, known as Cherry Hill, in Etobicoke. He farmed there until his death in 1894.

In the early 1860s when William Gooderham acquired the Silverthorn grist mill due to the mortgage default, he sent his youngest sons, James and Charles Horace Gooderham, to Meadowvale. It was James who took possession of the grist mill property. Presumably he lived at 7050 Old Mill Lane. He made improvements to the mill, became postmaster in 1862, and helped the village in general. The decade of the 1860s was very prosperous for the village. In 1865, James resigned as postmaster and left Meadowvale to manage his father's milling and farm interests in Streetsville. Charles H. Gooderham became postmaster.

5.1.5 EDWARD WHELER

The Abstracts of Title for Lots 40, 41, and 42, Plan Tor-5, separate from the Abstract for Lot 11, Concession 3, beginning with Instrument (document) 13398 dated April 12, 1865. This is a sale of several lots valued at \$4,000 from John Wilmot and others to William Gooderham and others. Each Lot and Plan Abstract then has a gap in registrations until 1950. Filling this gap is Instrument 8906 for Lot 11, Concession 3, dated March 1, 1882, by which J.G. Worts and others sold their real property holdings to Edward Wheeler for \$12,000.

5.1.6 HENRY ALBERT BROWN AND GRACE (BROWN) EMERSON

On August 14, 1895, miller Edward Wheeler of Toronto Township and lumber merchant John Reesor Wheeler of Wilkesburg, Pennsylvania, sold 118.36 acres of land to a Meadowvale area

farmer, Henry Albert Brown, for \$7,800. This acreage was within Lots 11, 12, and 13, Concession 3, Toronto Township. It includes the subject property.

The MHCD entry for 7050 Old Mill Lane notes that Brown “settled his family at the Silverthorn House and made a number of significant changes to the property.” Brown died on March 10, 1911, by drowning in the mill pond. His wife Lillie and daughter Grace moved to the “Brown family homestead now located at 6970 Vicar Gate Drive in Mississauga.”

5.1.7 CREDIT VALLEY CONSERVATION AUTHORITY

Henry Brown’s daughter, Grace H., married Luther P. Emerson.

On October 23, 1963, Luther P. Emerson, a teacher at Meadowvale, and Grace sold property to the Credit Valley Conservation Authority. This was a 119.2 acre parcel within part of Lots 11, 12, and 13, Concession 3, WHS, Toronto Township. The sale included Lot 40, Plan Tor-5 (and other lots on this Plan).

The affidavit signed by Grace Emerson and attached to the deed explains that “the said land and premises have been occupied, possessed and used by myself and by my parents before me since about 1895.” Her father, Henry Brown, was conveyed the land and held “undisputed possession and occupation of the said lands and of the houses and other buildings” until his death on March 10, 1911. Her mother died September 8, 1949. The affidavit denies all claims of possession by others.

On July 7, 1952, Grace sold Lot 41 and other lands to Roy M. Robertson. He sold in February 1954 to Ruth Lomas MacKendrick. MacKendrick was living in Denwood, Alberta, on October 15, 1969, when she sold Lots 41 and 42 to the Credit Valley Conservation Authority.

Between 1963 and 1974, CVC acquired other lands to form the Meadowvale Conservation Area. From the 1960s until 1988, CVC’s Head Office was located in the former Silverthorn/Brown house at 7050 Old Mill Lane.

Between 1986 and 1988, CVC sold some of these lands, including most of Lot 40 (7050 Old Mill Lane) and part of Lot 41 and Lot 42 (7070 Old Mill Lane).

5.1.8 SUMMARY OF HISTORICAL OR ASSOCIATIVE VALUE

O. Reg. 9/06

The property has historical value or associative value because it,

- i. has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community,

- ii. yields, or has the potential to yield, information that contributes to an understanding of a community or culture, or
- iii. demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.

There is no archaeological evidence and there is a lack of documentary evidence to confirm that the subject property was other than a vacant buffer between the 1840s mill owner's dwelling at 7050 Old Mill Lane and the 1860s workers' cottage (later The Boathouse) at 7070 Old Mill Lane. Whether or not future evidence proves otherwise, there is no extant building or structure on the property that could be construed as contributing to the cultural heritage value or interest of the adjacent properties or the larger MHCD.

The c.1970 garage has a direct association with the Credit Valley Conservation Authority, but is incidental to the activity of that organization.

Considering these findings, it is concluded that the property does not hold any historical or associative value as prescribed by the MHCD Statement of Cultural Heritage Value or Interest or by O. Reg. 9/06.

6.0 DESIGN OR PHYSICAL VALUE

As described in the MHCD Inventory, the garage is a "very practical and utilitarian structure which was built to house equipment, tools and supplies for the CVC. . . . It is a utility building finished in manufactured siding." There is no evidence of it embodying any technological function or design unique to the work of CVC.

6.1 SUMMARY OF DESIGN OR PHYSICAL VALUE

O. Reg. 9/06

The property has design value or physical value because it,

- i. is a rare, unique, representative or early example of a style, type, expression, material or construction method,
- ii. displays a high degree of craftsmanship or artistic merit, or
- iii. demonstrates a high degree of technical or scientific achievement.

The c.1970 garage is strictly functional, made of common materials, and lacks any design or physical value or interest as prescribed by O. Reg. 9/06.



Figure 6: 7050 Old Mill Lane, mill owners' dwelling, 2017

Clockwise from top left:

South façade facing Old Derry Road and former location of the mill. When built, this façade may have faced east to Old Mill Lane (Mill Street), then was turned about 1907 to face south.



East façade fronting on Old Mill Lane

Full east façade fronting on Old Mill Lane

North façade (addition) facing north to 7060 Old Mill Lane. Frame garage of No. 7050 is on right.





Figure 7: South façade of 7070 Old Mill Lane, 2017



Figure 8: East façade of 7070 Old Mill Lane, 2017

Figure 9: East façade of No. 7070 garage on north side; south and east facades of Gothic Revival style dwelling to north at No. 7076, 2017



7.0 CONTEXTUAL VALUE

7.1 STREETScape CONTEXT

The subject property is classified as a “contributing property” to the MHCD. In the MHCD Inventory, its heritage attribute is not the garage structure, but its deep setback resulting in a large percentage of “open space” on the site:

The location of the building to the rear of the lot provides for a large open space which is representative of the historic open spaces within the nineteenth century character of the Village.

The “Statement of Significance” for the property also references this contextual value:

The property has significant context in that the setback of the structure provides for a large open space true to the nineteenth century character of the property and Village development contributing to the streetscape.

7.2 ANALYSIS

The description in the MHCD Inventory of the “large open space” (resulting from the setback of the c.1970 garage) as “true to the nineteenth century character of the property and Village development contributing to the streetscape” may not be an accurate reflection of the historic pattern of setbacks in this area. It is suspected that this property may always have been the vacant buffer between the mill owner’s dwelling to the south and the workers’ cottage to the north. Its vacancy would have contributed to the sense of “open space” along the streetscape.

The 1856 Tor-5 Plan (Figure 5) plots the 1840s dwelling (7050 Old Mill Lane) and four outbuildings to the south of the dwelling. The outbuildings are identified in the MHCD Inventory as “barns, driveshed, piggery.” They were removed by Henry Brown (owner from 1895; died 1911) and the area was landscaped. As evident by the Plan and endorsed by local historians, the dwelling was built facing east to Mill Street (Old Mill Lane). Brown is attributed with turning the front orientation of the dwelling to the south toward the newly landscaped grounds, Old Derry Road, and the mill. This was about 1907. Knowing this chronology, the statement that “a large open space” “is representative of the historic open spaces within the nineteenth century character of the Village” seems misleading for this stretch of Mill Street.

No. 7070 Old Mill Lane is the location of a dwelling “believed to be the last building Francis Silverthorn constructed in Meadowvale before leaving the Village in 1861.” “It was originally a semi-detached structure built to house the local mill workers and converted in the early twentieth century to a boat house for Willow Lake in support of tourism in the Village.” According to the MHCD Inventory entry for 7070 Old Mill Lane:

The front portion of this structure is one of the original stacked plank buildings from the mid nineteenth century. In 2001, the original structure was removed from its stone foundation, a new concrete foundation built on the same site, and the stacked plank structure replaced [onto the concrete foundation] and finished in stucco. . . .

This structure has a shallow set-back from Old Mill Lane and is highly visible from the front façade and south façade which opens onto CVC lands that provide a walkway into the neighbouring parkland. The structure contributes to the historic streetscape with open landscaping at the front and side yards. A picket fence defines the front yard which is typical of the nineteenth century roadside.

Based on this MHCD Inventory description, it appears that the stacked plank structure at No. 7070 had a “shallow set-back.”

Several buildings with narrow setbacks are plotted on Plan Tor-5. Many structures with narrow setbacks are visible throughout the MHCD. The “open space” for some is a large rear yard.

7.3 SUMMARY OF CONTEXTUAL VALUE

O. Reg. 9/06

The property has contextual value because it,

- i. is important in defining, maintaining or supporting the character of an area
- ii. is physically, functionally, visually or historically linked to its surroundings, or
- iii. is a landmark.

Based on the buildings plotted on the 1856 Tor-5 Plan; the known chronologies of 7050 and 7070 Old Mill Lane; and in viewing extant dwellings elsewhere in the MHCD, a deep setback providing for a large open space does not appear to be a consistent, historic pattern in this area.

This property may always have been the vacant buffer between the mill owner’s dwelling to the south and the workers’ cottage to the north, thereby contributing to the sense of “open space” along the streetscape. The deep setback of the garage, however, is the result of CVC choosing to place it at rear of the property, to allow for parking and an operational area, and not out of an awareness of historic context or patterning.

As such, this property is not found to hold any historically based, contextual value as prescribed by O. Reg. 9/06. There are other valid reasons for encouraging a deep setback in its redevelopment, but these are related to the protection of adjacent viewsapes, as analysed in section 8.0 of this HIA.



Figure 10: Above: From MHCD Inventory: “View from Old Mill Lane near the house [7050] toward Old Derry Road, c.1900. On the right is the mill begun by Francis Silverthorn and across the street the former Bell Hotel.”

Figure 11: Below: From MHCD Inventory: “View of the house [7050] on the left, along Old Mill Lane, c.1910.” The house is facing south to Old Derry Road. If the same fence is shown in both views, Figure 10 may be later than c.1900 as the house may have been turned south about 1907.



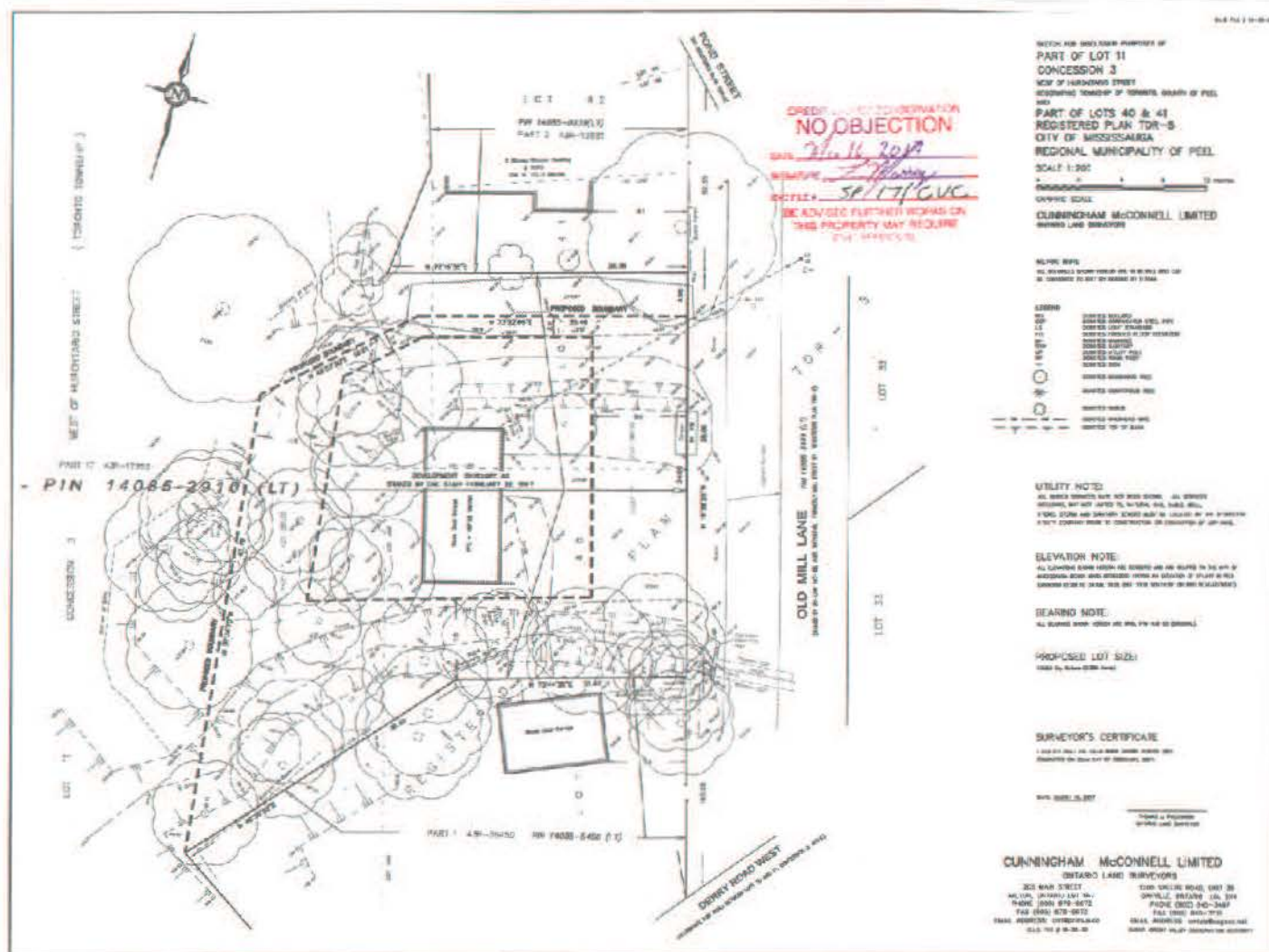


Figure 12: Old Mill Lane, west side streetscape, south (top left) to north (bottom right), 2017.



Figure 13: Old Mill Lane, 2017.

New development at No. 7060 should not be permitted to visually obtrude into the historic setting of No. 7050 (on left). As proposed by CVC, this could be achieved by aligning the setback of No. 7060 so the front façade of the new dwelling will not be within the viewscape of No. 7050 when looking north/northwest from Old Mill Lane at Old Derry Road. Height and roof type should also be evaluated for negative impact on this viewscape. Maintaining the linear alignment of the street, as defined by the fencing at No. 7050 and No. 7070, is another consideration.

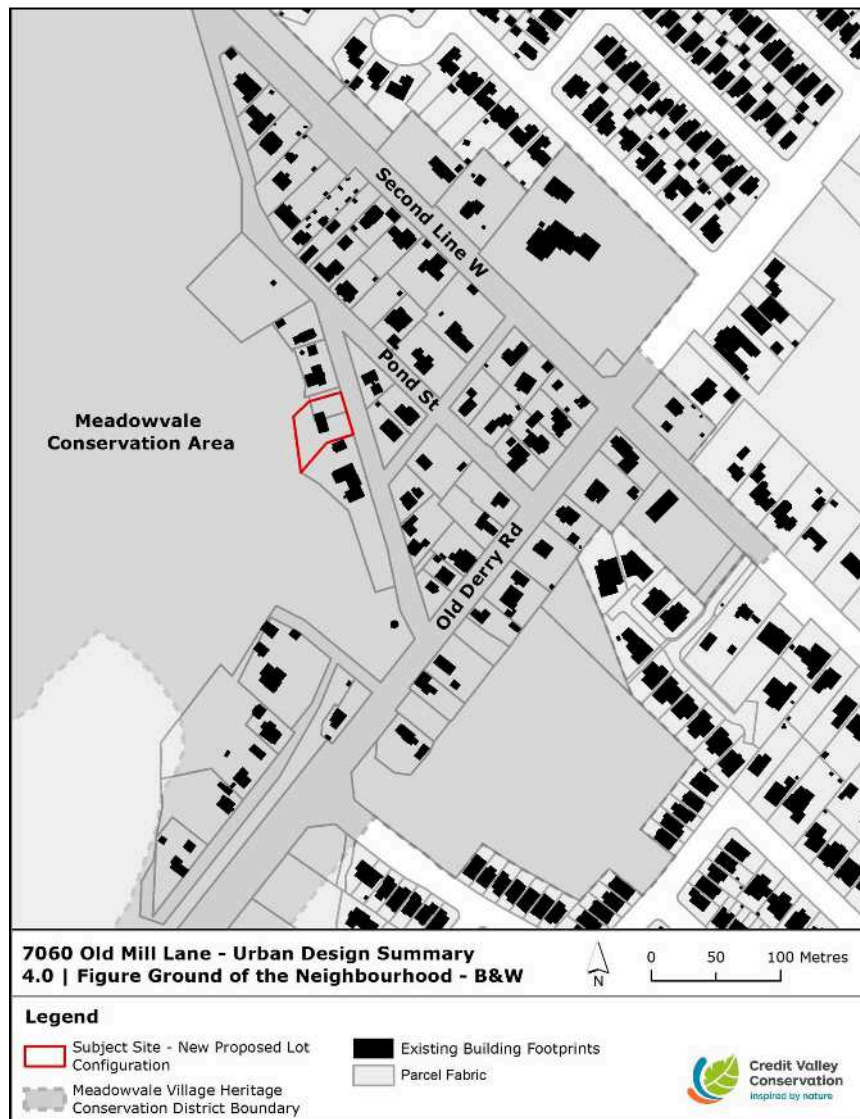


8.0 DEVELOPMENT PROPOSAL

The intent of CVC is to demolish the c.1970 garage, relocate a pedestrian pathway (between the lot and the woodlot) to closer to the north boundary of the lot, and apply for a severance and zoning bylaw amendment to permit a single family residence within an appropriate development envelope that supports the village character and HCD. The land will be sold vacant.

CVC is partway through the City's planning processes for the proposal as outlined at DARC. They have submitted a Zoning By-Law Amendment and are on the third resubmission, which has followed the public meeting, and it is anticipated that a recommendation report will be forthcoming with an agreed Holding zoning which will be conditioned upon completing the Heritage Permit (Lot Line Adjustment and Demolition), Committee of Adjustment (consent) and registration of the Record of Site Condition (ESA) for the lands. Following the comments on the first and second resubmission of the Zoning By-Law Amendment, CVC has amended the development envelope shown on Figure 14 to a smaller envelope which addresses comments in the ASR (Appendix F).

Below is series of Images and Site Plan maps showing the configuration of the lot, the reduced development envelope, and the related zoning and policy features which demonstrate the proposal and the constraints.



Street View of 7060 Old Mill Lane

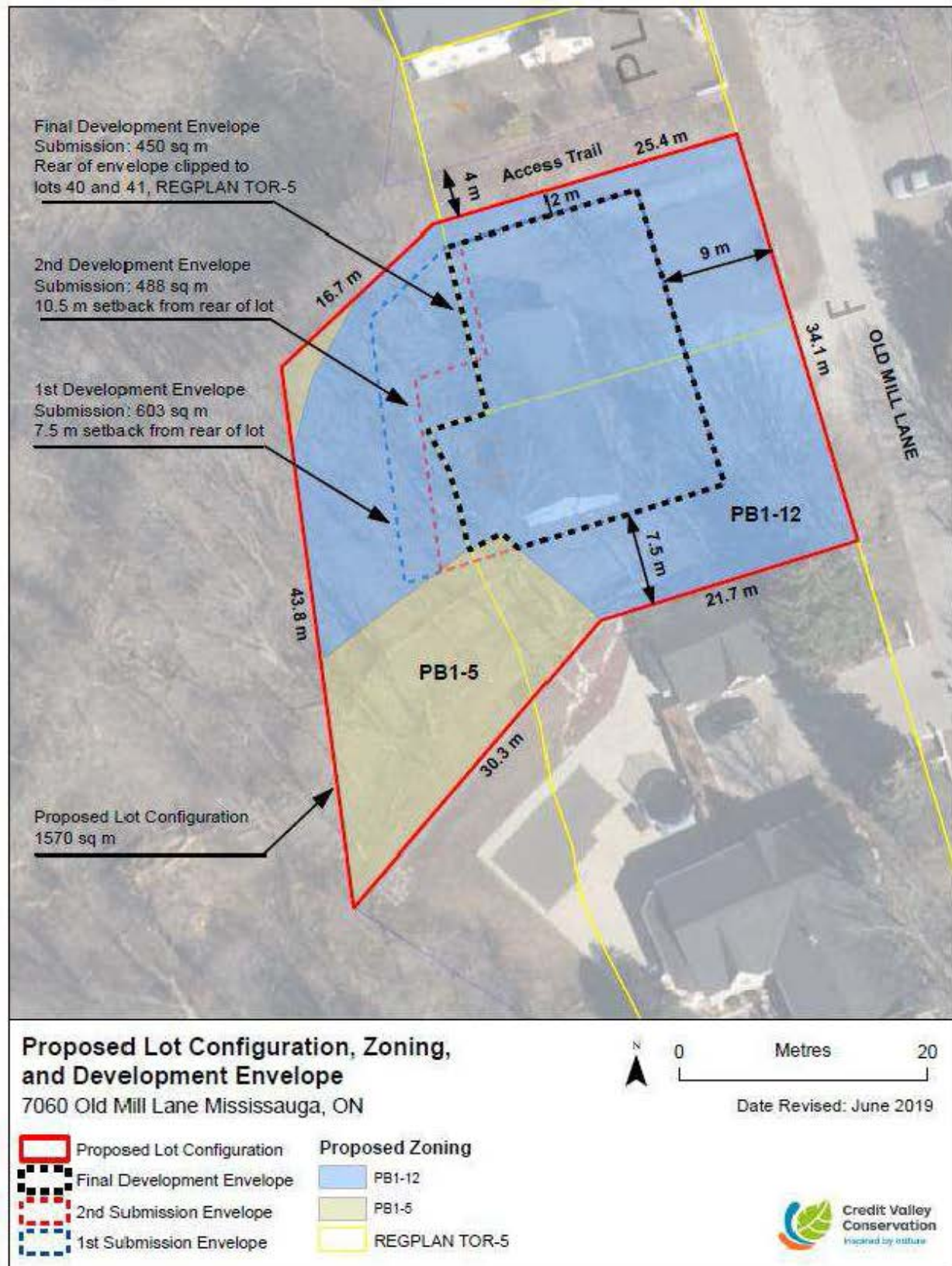
CVC Garage

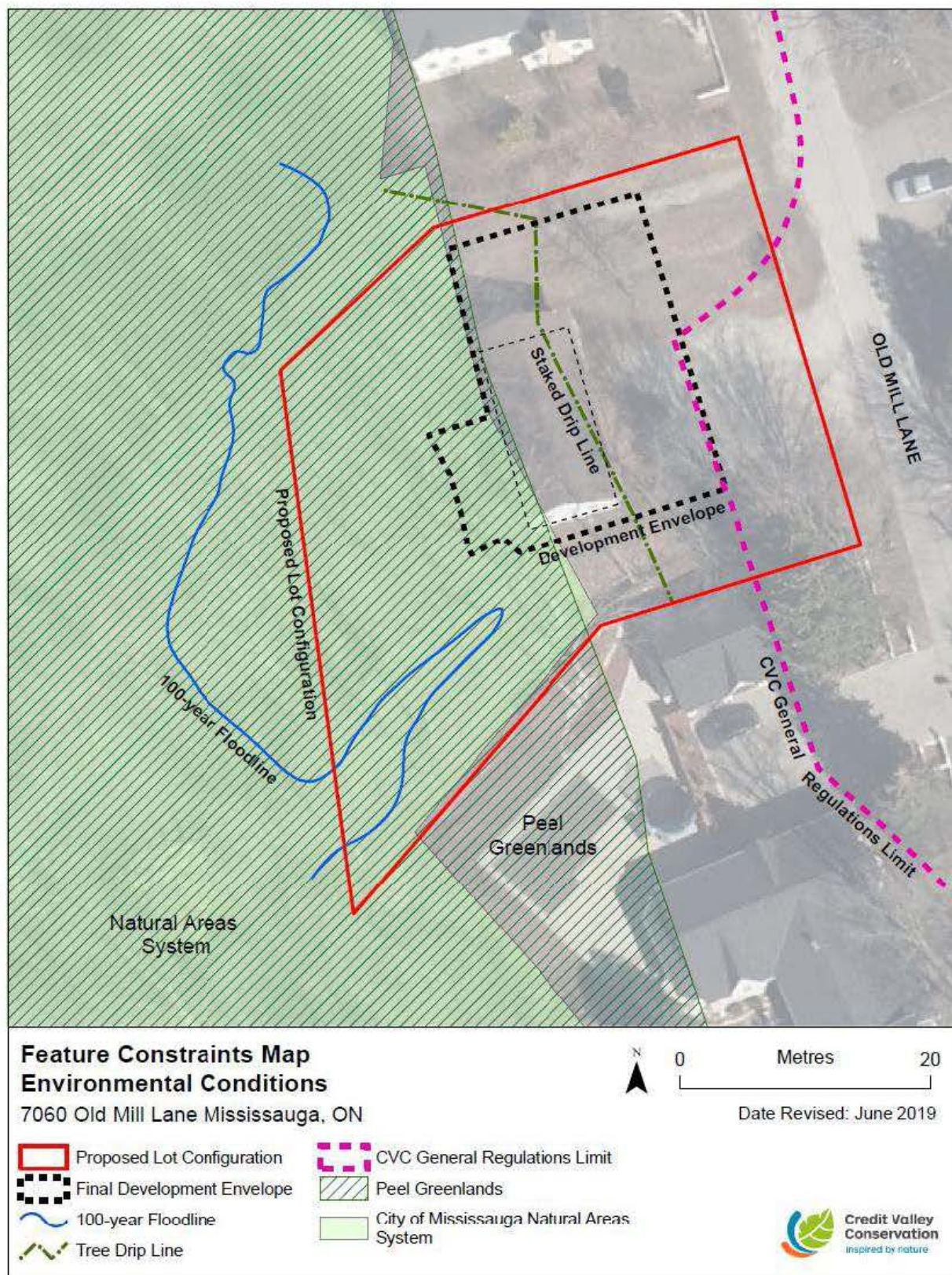


Public Pathway to Meadowvale Conservation Area

Rear View of 7060 Old Mill Lane







Given that the land will be developed by a future owner, not CVC, the intent of this HIA is to provide general direction toward achieving a site plan and new build design that are appropriate to this location within the MHCD. Once the actual redevelopment of the property unfolds, a second HIA review is advised.

8.1 BUILDING ENVELOPE AND SETTING – CONSERVATION PRINCIPLES

The MHCD Inventory entry for No. 7050 notes: “The house is highly visible from Old Mill Lane and Barberry Lane with open green space to the south, shallow setback to the east and open space to the north.” This value is also referenced in the description of heritage attributes: “The location of the house on the property and the open, green views and vistas of the house from both Old Derry Road and Old Mill Lane.”

A draft site plan by CVC indicating a proposed building envelope (Figure 14) has received tentative approval by CVC regulations and planning staff and is before the City through the application process. Further revisions to the development envelope as shown on page 32 above show a reduced development envelope which maintains a strict generous front yard setback. As drawn, the east boundary of the building envelope aligns with the northeast corner of the garage at No. 7050; and the southeast corner of the dwelling at No. 7070. CVC surveyors measured the setbacks for Nos. 7050 and 7070 to ensure that the proposed nine metre setback is identical. This setback also meets the requirements of R1-32 village zoning.

The objective of this building envelope is to not allow new construction to become the backdrop to the highly significant dwelling at No. 7050. One should be able to look north/northwest from Old Derry Road, across No. 7050, and have the illusion of the mid 19th century, when only the mill owner’s house and the workers’ cottage to the north formed the west side of this stretch of Mill Street. This building envelope may also give the illusion that the “open space” at No. 7060 is being maintained.

No building envelope will be able to avoid the “intrusion” of a dwelling on the view looking west from Barberry Lane. If the intent is to allow new construction at No. 7060, the impact could be minimized by side yard setbacks, landscaping, and not “overbuilding” in height and massing. The proposed zoning by-law further addresses these concerns by limiting height of the building to 7.5m, consistent with Village character and dominant zoning (R1-32), and further establishes minimum side yard as a combination of 27% of frontage – which, in this case, is 9.5m, which is reflected in the envelope. The rear yard setbacks further increase protection of trees and natural features, including special protection for the large Sugar Maple tree in the north west corner of the lot (refer to development envelop map and Tree Inventory and Assessment).

RECOMMENDATION

The MHCD Plan recommends that the setback for new construction be a “median of neighbouring properties.” This cannot be applied to this section of Old Mill Lane. To maintain the heritage character of this important streetscape, it is important to establish the setback of any new dwelling at the point where:

1. The front façade of the new dwelling is not in view when looking north/northwest from Old Mill Lane at Old Derry Road, across No. 7050.
2. The new dwelling does not obstruct the traditional (albeit post 1907) view corridor between the 1840s mill owner’s house (No. 7050) and the original front (west) section of the 1860s workers’ cottage (No. 7070).
3. The view west from Barberry Lane is of a dwelling within a spacious greenspace setting.

The building envelope proposed by CVC achieves these parameters. It is recommended that a future development proposal be reviewed by the City to ensure that the resulting sight lines continue to achieve these three considerations.

8.2 ARCHITECTURAL STYLE, FORM, AND MASSING

Section 4.2: Design Guidelines of the MHCD Plan outlines the built form objectives necessary to maintain the cultural heritage value of the District. Subsection 4.2.4 is specific to Substantive Alteration: New Structures. The emphasis is on spatial relationship, orientation, historic pattern of construction, etc. An important design principle is that “New construction should be reflective of the HCD’s simplicity of the vernacular style, but not mimic an architectural style, remaining an expression of its own era.”

It is evident throughout the MHCD that the trend is to replace and/or infill with new, 1.5 and 2 storey, dichromatic (red and buff brick), late 19th century, Gothic Revival/Renaissance Revival/Italianate style influenced replica dwellings, referred to by many as “Victorian Gothic.” In considering the traditional built form in this stretch of Old Mill Lane, arguably the oldest and most significant part of the MHCD, this building type is not appropriate.

The 1840s dwelling at No. 7050 (Figure 6) has a broad, 1.5 storey massing. Its 1840s design is a blend of the founding style of Upper Canada, Georgian Revival, and an early Gothic Revival style as evident in the pointed gable and lancet window.

The original form of the 1860s dwelling at No. 7070 (Figure 8) is also influenced by Georgian Revival. Its 2001 makeover is a modern interpretation that has elements of 20th century Arts and Crafts or Craftsman styling.

The modest, Gothic Revival style dwelling at 7076 Old Mill Lane (Figure 9), near the intersection with Pond Street, is a c.1880 addition to the older west side of Mill Street.

RECOMMENDATION

To maintain the 1840s to 1860s integrity of this streetscape, the choice of style of any new dwelling at No. 7060 is best rooted in Georgian Revival, Regency, and early Gothic Revival. Each of these styles have the characteristics of balance, symmetry, low profile roofs, and deep eaves, in one to two storey forms. Multipaned double hung and/or casement style window sashes were standard. The focal point of the front façade is the doorcase, often with glazed and/or panelled sidelights and transom, side pilasters, moulded cornices. Verandahs or porticos were standard features. Roughcast plaster, horizontal clapboard, and monochromatic brick were common exterior finishes.

The total height of the new dwelling should be such that no part of the structure becomes a looming backdrop to No. 7050.

A modern interpretation drawn from these design parameters should support the older form of this streetscape. A colour selection drawn from the 19th century would be appropriate.

We note that the Urban Design Study (Appendix G) contains a detailed analysis of the above mentioned home styles and their suitability to site, including potential massing and location within the development envelope which demonstrates compatibility to site.

9.0 CONCLUSION

Based on the findings of this HIA, it is concluded that there will be no loss of cultural heritage value or interest resulting from the removal of the c.1970 garage from this property. The integration of new construction into this mid 19th century streetscape should be possible with careful planning and by applying the design parameters of the *Meadowvale Village Heritage Conservation Plan*.

The site plan showing the building envelope proposed and amended by CVC is compatible with the Old Mill Lane streetscape and the MHCD. The nine metre setback for the envelope is identical to that of the two adjacent properties. It is cognizant of the important viewscape looking north/northwest from Old Mill Lane at Old Derry Road, across 7050 Old Mill Lane and toward 7070 Old Mill Lane. The side yard allowances are generous enough to maintain the traditional sense of spaciousness at this location. The north side yard is enhanced by the proposed public pathway to the conservation area at the west.

The related Urban Design Study for 7060 Old Mill Lane further concludes that appropriate development is achieved within the envelope and shows that village character is maintained and improved with the lotting, massing and architectural guidelines recommended in that study, which are consistent with and supportive of the Meadowvale Village Heritage Conservation District.

It is recommended that any future development proposal be made aware of the reasoning for the placement of this building envelope. The finished height of the new construction also will need to be considered in the context of this important viewscape. The proposed Zoning By-Law (PB1-12 under the Zoning By-Law Amendment) limits height to 7.5m which is conformity with the dominant Village R1-32 zoning which reflects height limitations in the HCD.

Ideally, the new building design should be an interpretation of 1840 to 1860 architectural style traditions in Ontario, with an emphasis on Georgian Revival, Regency, and early Gothic Revival. The related Urban Design Study references the local Village examples and shows how these could be achieved within the development envelope.

All new development on this property must adhere to the provisions and requirements of the MHCD Plan. As the proposal to develop evolves to its final form, it needs to be monitored for any emerging short or long term negative impacts on the streetscape and the overall MHCD.

Disclaimer: Overall professional judgment was exercised in gathering and analyzing the information obtained and in the formulation of the conclusions and recommendations. Like all professional persons rendering advice, the consultant does not act as absolute insurer of the conclusions reached, but is committed to care and competence in reaching those conclusions.

APPENDIX A

MHCD PLAN, STATEMENT OF CULTURAL HERITAGE VALUE OR INTEREST AND DESCRIPTION OF HERITAGE ATTRIBUTES

STATEMENT OF CULTURAL HERITAGE VALUE OR INTEREST

The Meadowvale Village HCD is characterized and defined by its inherent heritage value, size, shape, and form adjacent to the Credit River at the intersection of two roadways at Old Derry Road and Second Line West. The relationship of the historic Village to the Credit River has not altered since its founding in the early nineteenth century. The Village plan with lotting and road pattern has been retained since the 1856 Bristow Survey. The grid road pattern, aligning with the early established concession road and the inter-relationship of the lotting pattern as it relates to the topography, the river valley and ridge, is distinct within Mississauga. The Village is situated in the low river valley, bordered to the south and east by a shallow ridge that establishes the table lands above the floodplain. The location of the Village, adjacent to the Credit River, illustrates the dependency of the early settlers on the river as a source of water and travel and its proximity to the natural open space of a meadow and vale. These same conditions are not found elsewhere in Mississauga. First Nation populations, prior to contact with European settlement, inhabited the area for over 10,000 years. The Village's property plan, street pattern and physical layout have changed very little, although the once rural Village is now within an urban context of the larger City of Mississauga.

Between 2012 and 2014, the original Meadowvale Village HCD Plan from 1980 was under review. This comprehensive review proposed a boundary study area enlarged from the original 1980 HCD Plan to include the Meadowvale Conservation Area to the west and Old Ridge Park to the south, both of which are significant to the development of the Village. Entry points to the Village from all directions were also considered in this review to ensure that the transition to the historic Village is conserved.

The Meadowvale Village HCD has maintained a pedestrian friendly scale, with the exception of Old Derry Road, whereby streets have a rural community lane-like appearance with soft shoulders, mature street trees, varied building set-backs and consistency of building size. What was once a commercial core, along Old Derry Road supporting a mill-based Village, has now become mostly residential with a few reminiscent commercial buildings, creating a quieter version of an earlier era. The narrow side streets retain an open character with views and vistas both to and from residential properties, void of privacy fencing, united by large open yards of green space and mature trees. In general, there are modest design and scale homes set on larger lots within a soft naturalised landscape. Historic photographs indicate that much of the vegetation in the area was cleared in the mid to late nineteenth century.

The Village and immediate area were farmed for both wood products (sawmill production) and mixed agrarian farming. Today, public lands have become naturalised with a good deal of random mature tree growth of both native and invasive species. Private residential lots also

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APPENDIX B

SUMMARY OF HERITAGE CONSULTING CREDENTIALS AND EXPERIENCE

Founded in 1990, a variety of projects have been completed by SU MURDOCH HISTORICAL CONSULTING for individual, corporate, public, and non profit clients across Ontario. Much of this work has involved the identification and evaluation of the cultural heritage value or interest of properties, heritage impact assessments/statements, designation reports, and advising on the framework for heritage conservation in Ontario.

Su Murdoch is a 2017 professional member of the Canadian Association of Heritage Professionals.

EDUCATION

- Bachelor of Arts (History)
- Certificate in Cultural Landscape Theory and Practice (Willowbank Centre)
- Osgoode Hall Law School, Certificate in Adjudication for Administrative Agencies, Boards and Tribunals
- Archival Principles and Administration certification
- Related research skills training

AWARDS AND RECOGNITION

- City of Barrie Heritage Conservation Awards
- Town of Markham Heritage Award of Excellence
- Ontario Historical Society Fred Landon Award for Best Regional History Publication (*Beautiful Barrie: The City and Its People: An Illustrated History*)
- Ontario Heritage Foundation Community Heritage Achievement Award
- Ontario Historical Society Special Award of Merit

FREQUENT CLIENTS AND RELATED EXPERIENCE

TOWN OF COLLINGWOOD: CONTACT: Town of Collingwood, Building Services, Kandas Bondarchuk, kbondarchuk@collingwood.ca

TOWN OF GEORGINA: CONTACT: Sarah Brislin, Committee Services Coordinator, Clerk's Division, Town of Georgina, sbrislin@georgina.ca

TOWN OF CALEDON: CONTACT: Town of Caledon, Sally Drummond, Heritage Resource Officer, sally.drummond@caledon.ca

A list of other projects and clients is available on request.

APPENDIX C: SOURCES

Abstracts of Title and related documents for Lot 11, Concession 3, Toronto Township, and Lots 40, 41, and 42, Plan Tor-5. Peel Region Land Registry Office.

Su Murdoch Historical Consulting. *Heritage Impact Assessment of 7085 Pond Street, Mississauga, February 2015.*

Peel County Directories. Online editions and private collection.

Walker & Miles, ed. *Historical Atlas of Peel County*. Toronto, 1877.

Meadowvale Village HCD Plan, 2014.

Meadowvale Village HCD Plan, 2014: Cultural Heritage Assessment of Meadowvale Village and Area.

Studies and reports provided by Credit Valley Conservation in 2017.

Meadowvale Village HCD Plan, 2014: Property Inventory.

APPENDIX D: TREE INVENTORY PLAN

Tree Inventory and Assessment Report

Prepared by: Credit Valley Conservation
Jake Burleigh- Forest Management Technician
ISA Certified Arborist # ON-1855A, Ontario Chapter Mem. # 233925
Jamie Wilton- Forestry Crew Leader

Date of Assessment: June 16th, 2017

Location: 7060 Old Mill Lane, Mississauga Ont.

INTRODUCTION

On June 16th, 2017 Credit Valley Conservation Forestry staff undertook an assessment of the existing trees throughout the property located at 7060 Old Mill Lane, Mississauga (Appendix A). CVC intends to sell this subject property as a residential lot. In doing so, CVC must provide a Tree Inventory and Assessment Report (Arborist Report) as part of the Environmental Impact Statement. There is currently a building on the property that serves as a workshop and storage facility (Appendix B). CVC does not intend to develop the lot. However, CVC recognizes the importance of maintaining the character and intent of the village and will work to ensure that the urban design guidelines are respected by the purchaser. The purpose of this report is to determine the composition, character and health of existing trees and assess opportunities for preservation in relation to a possible development.

TREE INVENTORY AND ASSESSMENT

The assessment presented in this report has been made using accepted standard arboriculture techniques as outlined in Council of Tree & Landscape Appraisers Guide for Plant Appraisal, 9th Edition (2000). These techniques include visual examination of above-ground parts of each tree. The trees observed were not climbed, probed, cored, or dissected, and excavation for detailed root crown inspection was not performed. Since some symptoms may only be present seasonally, the extent of observations that can be made may be limited by the time of year in which the inspection took place.

It must be realized that trees are living organisms, and their health and vigour continually change over time due to seasonal variations, changes in site conditions, and other factors. For this reason, the assessment presented in this report is valid at the time of inspection, and no guarantee is made about the continued health of trees that are deemed to be in good condition. It is recommended that the trees be re-assessed periodically. While every standing tree has the potential for failure and therefore poses some risk, a tree assessment is a good indication of present health and potential problems that could arise in the future.

Trees were identified, sized, and assessed for condition. Each tree was given a subjective condition rating of Excellent, Good, Fair, Poor, Very Poor, or Dead. Following is a summary of how the ratings were determined:

Excellent (E) no apparent health problems; good structural form

Good (G) minor problems with health and/or structural form

Fair (F) more serious problems with health and/or structural form




Poor (P) major problems with health and structural form

Very Poor (VP) extensive problems with health and structural form

Dead (D) no live growth

Tree size is expressed in Diameter at 1.3m above the base (DBH) and measured in cm.

Tree locations are shown on the topographical maps provided (Appendix C, Appendix D). The following chart summarizes the observations made concerning species, size and condition.

	-Consider protection and retention
	-Possible removal or pruning may be required
	-Removal

Tree ID #	Tree Species Common Name	Tree Species Botanical Name	DBH (cm)	Height (m)	Condition	Comments
1	Sugar Maple	<i>Acer saccharum</i>	34	15	G	Larger corner-lot tree; consider protection & retention for property separation, privacy, and erosion control of ditch
2	Sugar Maple	<i>Acer saccharum</i>	15		G	Growing in ditch
3	Sugar Maple	<i>Acer saccharum</i>	26		F	Outside property-line
4	Sugar Maple	<i>Acer saccharum</i>	16		F	Outside property-line; co-dominant stems
5	Sugar Maple	<i>Acer saccharum</i>	45	20	G	Well-spaced, healthy crown; consider retention-privacy
6	Sugar Maple	<i>Acer saccharum</i>	20		F	Competing with adjacent tree (7); future stem inclusion; branches overhanging neighboring home; overcrowding of nearby stems; consider removal
7	Sugar Maple	<i>Acer saccharum</i>	26		F	Competing with adjacent tree (6); future stem inclusion; branches overhanging neighboring home; overcrowding of nearby stems; consider removal
8	Sugar Maple	<i>Acer saccharum</i>	24		G	
9	Sugar Maple	<i>Acer saccharum</i>	23		F	Some branches overhanging neighboring home
10	Manitoba Maple	<i>Acer Negundo</i>	18		P	Heavy lean towards driveway area, invasive species; Remove
11	Sugar Maple	<i>Acer saccharum</i>	30		F	Some deadwood in crown + overhanging current structure; consider pruning
12	Sugar Maple	<i>Acer saccharum</i>	45	30	G	Good shape and structure; consider retention for erosion control and privacy
13	Sugar Maple	<i>Acer saccharum</i>	44		G	Outside property-line

14	Sugar Maple	<i>Acer saccharum</i>	38		G	Outside property-line
15	Sugar Maple	<i>Acer saccharum</i>	54	30	G	Larger tree, some deadwood and hangers, overhanging current structure; removal may be required for future development
16	Sugar Maple	<i>Acer saccharum</i>	18	15	G	Prune to remove smaller competing stem for proper form; well-spaced; retain for erosion control and privacy
17	Sugar Maple	<i>Acer saccharum</i>	43	35	E	Good shape, form, condition; possible controlling further erosion to neighboring property
18	Sugar Maple	<i>Acer saccharum</i>	41		F	
19	Sugar Maple	<i>Acer saccharum</i>	19		G	
20	Sugar Maple	<i>Acer saccharum</i>	36		P	Vertical crack (healing), cavity, old pruning wounds, minor decay; corner property line
21	Sugar Maple	<i>Acer saccharum</i>	27	25	E	On embankment; may prevent future erosion of ditch; outside property-line
22	Sugar Maple	<i>Acer saccharum</i>	50	35	G	Few broken branches; some pruning may be required; well-spaced; healthy crown; outside property-line
23	Sugar Maple	<i>Acer saccharum</i>	32	25	G	Minor deadwood; may require protection from development
24	Sugar Maple	<i>Acer saccharum</i>	41		P	Broken branches + overhanging current structure: removal may be required for future development
25	Sugar Maple	<i>Acer saccharum</i>	32		F	Heavy lean towards current structure; recommend removal
26	Sugar Maple	<i>Acer saccharum</i>	33		F	Possible removal for future development
27	Sugar Maple	<i>Acer saccharum</i>	43		E	Good shape and form, but removal may be needed for future development; consider protecting if

						possible
28	Sugar Maple	<i>Acer saccharum</i>	36		F	Asymmetrical; removal may be required for future development
29	Sugar Maple	<i>Acer saccharum</i>	35		F	Co-dominant stems; removal may be required for future development
30	Sugar Maple	<i>Acer saccharum</i>	46	30	F	Overhanging current structure, split lower limb, deadwood + hangers + included bark; possible removal for future development
31	Sugar Maple	<i>Acer saccharum</i>	63		G	Larger tree, separates property from public pathway, large hanger, old pruning wounds; removal may be required for future development; consider protecting if possible
32	Sugar Maple	<i>Acer saccharum</i>	34		P	Deadwood+ decay; obstructing footpath; remove
33	Sugar Maple	<i>Acer saccharum</i>	43		F	Possible removal for future development
34	Manitoba Maple	<i>Acer Negundo</i>	25		P	Leaning, obstructing footpath, massive sucker growth, invasive species; Remove
35	Manitoba Maple	<i>Acer Negundo</i>	15		P	Leaning, obstructing footpath, massive sucker growth, invasive species; Remove
36	Manitoba Maple	<i>Acer Negundo</i>	40		P	Multi-stemmed, broken top, invasive species; Remove
37	Sugar Maple	<i>Acer saccharum</i>	35		P	Asymmetrical + deadwood, slight lean towards current structure; outside property line
38	Sugar Maple	<i>Acer saccharum</i>	46		P	Co-dominant stems, very included bark + decay, hazardous; outside property line
39	Sugar Maple	<i>Acer saccharum</i>	41		F	Some deadwood, included bark + girdling roots; outside property line
40	Sugar Maple	<i>Acer saccharum</i>	36	30	F	Large dead stem; outside property line

41	Sugar Maple	<i>Acer saccharum</i>	46		G	Good forest cover and canopy spread, minor deadwood; outside property line
42	Sugar Maple	<i>Acer saccharum</i>	38		F	
43	Sugar Maple	<i>Acer saccharum</i>	28	20	G	Well-spaced, Retain
44	Red Maple	<i>Acer Rubrum</i>	27		G	Small broken branch, conflicting with hydro service line; removal may be required for future development; consider protecting if possible
45	Sugar Maple	<i>Acer saccharum</i>	~95		VP	Large tree, 50% canopy, large dead stem, large cavity, bird and insect damage; habitat tree; outside of property line
46	Columnar English Oak	<i>Quercus robur</i> <i>Fastigiata</i> □	17	10	E	Good form and condition; Retain and protect during future development; outside of property line
47	Ivory Silk	<i>Syringa reticulata</i>	15		P	*Attention required* cage girdling stem- must be removed, minor deadwood, split bark, still flowering; pruning may be required; outside of property line

ASSESSMENT SUMMARY

Recommendations for trees to be retained or removed were determined based upon tree condition of growth, detailed site examination, and location in relation to the proposed lot boundary, and development envelope. The vast majority of the property is made up of mixed aged Sugar Maple. Special consideration has been given to the preservation of healthy, mature trees within the property boundary. Also, to those serving some purpose on the property; erosion control, aesthetics, privacy etc. No significant presence of fungus, disease, insects etc. was detected during the assessment and most trees appear to be in relatively good condition.

Trees to be retained and protected

It is recommended that the following trees be retained and/or protected from future development:

- 1) Sugar Maple
 - 5) Sugar Maple
 - 12) Sugar Maple
 - 16) Sugar Maple
 - 43) Sugar Maple
 - 46) Columnar English Oak
 - 47) Ivory Silk- *steel cage girdling lower stem must be removed*
- note:** *There are no significant Heritage trees within proposed lot area*

See Comments column on Tree Inventory for reasoning

Trees to be removed

While it is always positive to retain as many trees as possible on a site, some trees, because they are in poor condition/location or an undesirable species cannot be saved for safety, aesthetics, or silvicultural reasons. The following trees are recommended for removal:

- 10) Manitoba Maple- *Invasive*
- 25) Sugar Maple
- 32) Sugar Maple
- 34) Manitoba Maple- *Invasive*
- 35) Manitoba Maple- *Invasive*
- 36) Manitoba Maple- *Invasive*

See Comments column on Tree Inventory for reasoning

Trees recommended for removal should be felled carefully to minimize impact to the trees to be retained.

Potential impacts from future development may include:

- Physical damage to branches, trunk and roots of trees to be retained.
- Local moisture loss which may result from a decline in the water table during and after construction.

The successful survival of the trees to be retained is largely dependent on adhering to the recommendations as outlined in "RECOMMENDATIONS – TREE PRESERVATION AND PROTECTION MEASURES" section.

Possible removals or maintenance

In addition to trees recommended for removal, the following trees could be considered for removal or maintenance pruning due to associated risks/hazards, condition or location to development envelope:

- 6) Sugar Maple
- 7) Sugar Maple
- 15) Sugar Maple
- 24) Sugar Maple
- 26) Sugar Maple
- 27) Sugar Maple
- 28) Sugar Maple
- 29) Sugar Maple
- 30) Sugar Maple
- 31) Sugar Maple
- 33) Sugar Maple
- 44) Red Maple

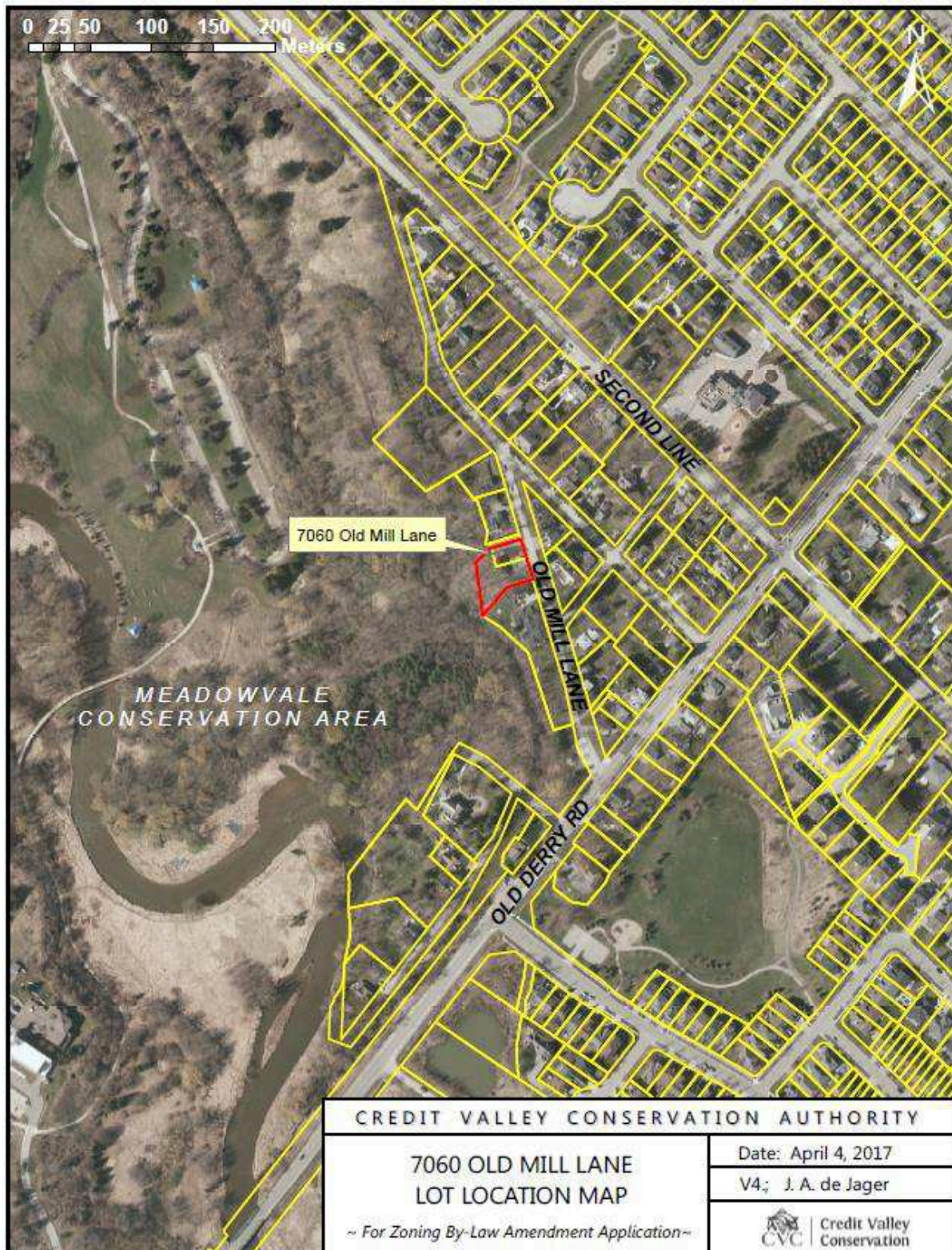
See Comments column on Tree Inventory for reasoning

RECOMMENDATIONS – TREE PRESERVATION AND PROTECTION MEASURES

Pre-Construction

The following practical recommendations are made to enhance the survival potential of the trees to be retained on site.

1. Prior to tree removal operations, the limit of the removals will be clearly marked (i.e. all trees designated for removal to be marked with spray paint).
 2. Trees on the site that should be removed for silvicultural, safety and aesthetic reasons should also be marked for cutting. (i.e. spray paint) during the overall tree clearing operation. Any cutting should be encouraged to take place prior to the end of April or after September. All cutting will be done by chain saw.
 3. Care should be taken during the felling operation to avoid damaging the branches, stems and roots of the trees to be retained. Where possible all trees are to be felled towards construction to minimize impacts to adjacent vegetation.
 4. Stem damage to trees from skidding operations during the removal process should be avoided. Trunks of trees to be retained near the construction zone should be wrapped with three layers of snow fencing to provide protection.
 5. Heavy equipment should not be allowed under the drip line (limit of branches) of the trees to be retained.
 6. Broken branches on trees to be retained should be cleanly cut by a qualified arborist/horticulturalist as soon as possible after the damage occurred.
 7. Final site grading should ensure that surface water is discharged from the site and the existing soil moisture conditions are maintained.
 8. It is recommended that the existing ground layer vegetation remain intact as not to disturb the virgin soil around the base of the existing trees.
-
4. If grade changes are required in areas adjacent to trees to be retained, work should be done to minimize impacts to the trees. Tree wells, retaining walls or other site features should be used.
 5. Avoid running above ground wires and underground services near trees to be retained.
-
1. After construction, a qualified arborist / horticulturalist should deep root feed and prune all trees that were retained.
 2. Avoid discharging rain water leaders adjacent to retained trees. This may cause an overly moist environment which will cause the tree roots to rot.
 3. After all work is completed, snow fences and other barriers should be removed.
 4. A final review must be undertaken by a qualified environmental consultant to ensure that all mitigation measures as described above have been met.

APPENDIX A

Legend

- Proposed Lot Configuration (0.4 ac)
- CVC Property Boundary

Sketch of 7060 Old Mill Lane [CVC Meadowdale Shop]

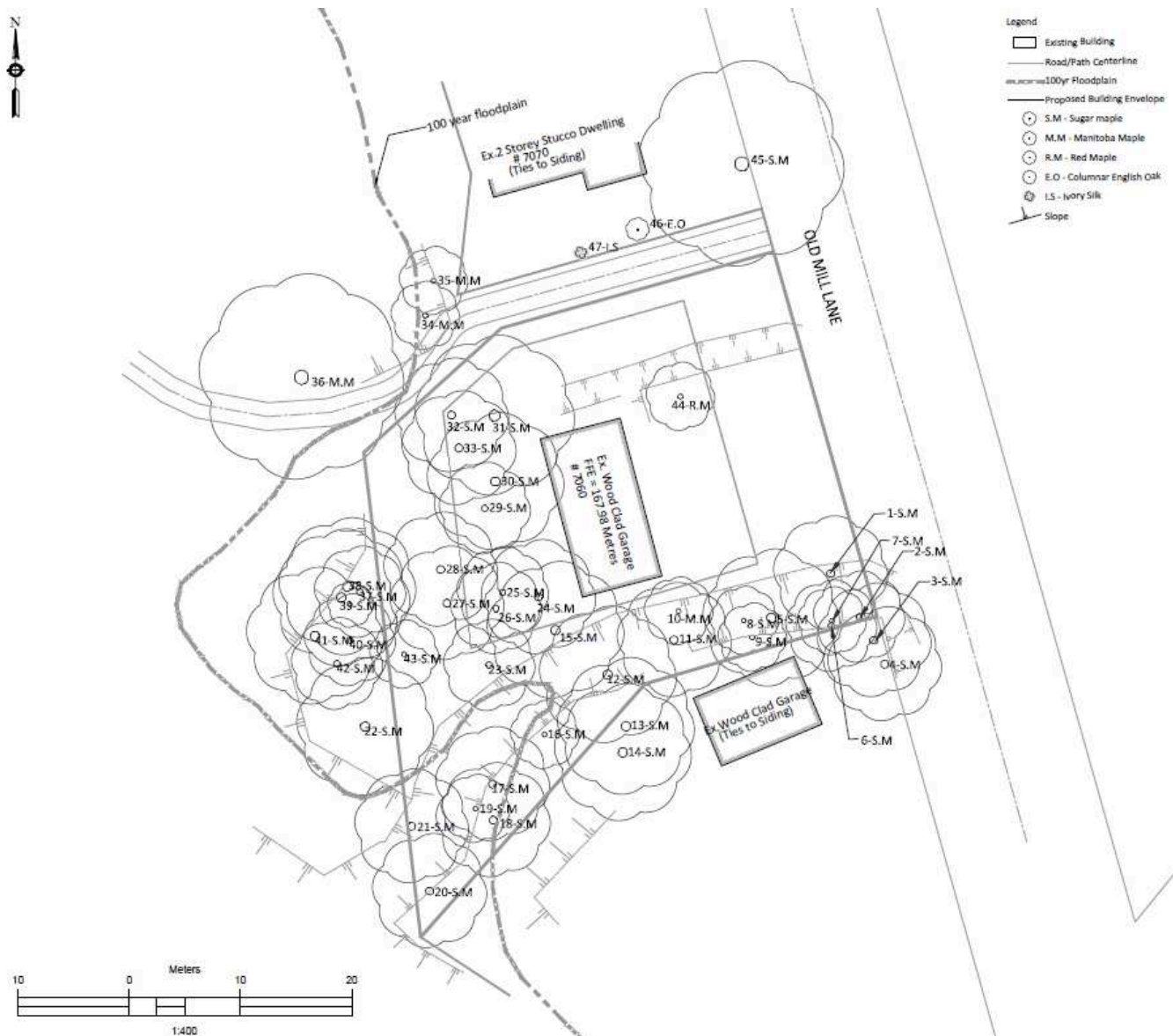
CREDIT VALLEY CONSERVATION AUTHORITY

DATE: June 6, 2016

BY: J.A. de Jager

FOR: Disposition Planning Purposes

CVC Credit Valley Conservation

APPENDIX C

Legend

- Existing Building
- Road/Path Centerline
- 100yr Floodplain
- Proposed Building Envelope
- S.M - Sugar maple
- M.M - Manitoba Maple
- R.M - Red Maple
- E.O - Columnar English Oak
- I.S - Ivory Silk
- Slope

Tree Inventory Table

Tree ID #	Tree Species Common Name	Tree Species Botanical Name	DBH (cm)	Height (m)	Condition
1	Sugar Maple	Acer saccharum	34	15	G
2	Sugar Maple	Acer saccharum	15		G
3	Sugar Maple	Acer saccharum	26		F
4	Sugar Maple	Acer saccharum	16		F
5	Sugar Maple	Acer saccharum	45	20	G
6	Sugar Maple	Acer saccharum	20		F
7	Sugar Maple	Acer saccharum	26		F
8	Sugar Maple	Acer saccharum	24		G
9	Sugar Maple	Acer saccharum	23		F
10	Manitoba Maple	Acer Negundo	18		P
11	Sugar Maple	Acer saccharum	30		F
12	Sugar Maple	Acer saccharum	45	30	G
13	Sugar Maple	Acer saccharum	44		G
14	Sugar Maple	Acer saccharum	38		G
15	Sugar Maple	Acer saccharum	54	30	G
16	Sugar Maple	Acer saccharum	18	15	G
17	Sugar Maple	Acer saccharum	43	35	E
18	Sugar Maple	Acer saccharum	41		F
19	Sugar Maple	Acer saccharum	19		G
20	Sugar Maple	Acer saccharum	36		P
21	Sugar Maple	Acer saccharum	27	25	E
22	Sugar Maple	Acer saccharum	50	35	G
23	Sugar Maple	Acer saccharum	32	25	G
24	Sugar Maple	Acer saccharum	41		P
25	Sugar Maple	Acer saccharum	32		F
26	Sugar Maple	Acer saccharum	33		F
27	Sugar Maple	Acer saccharum	43		E
28	Sugar Maple	Acer saccharum	36		F
29	Sugar Maple	Acer saccharum	35		F
30	Sugar Maple	Acer saccharum	46	30	F
31	Sugar Maple	Acer saccharum	63		G
32	Sugar Maple	Acer saccharum	34		P
33	Sugar Maple	Acer saccharum	43		F
34	Manitoba Maple	Acer Negundo	25		P
35	Manitoba Maple	Acer Negundo	15		P
36	Manitoba Maple	Acer Negundo	40		P
37	Sugar Maple	Acer saccharum	35		P
38	Sugar Maple	Acer saccharum	46		P
39	Sugar Maple	Acer saccharum	41		F
40	Sugar Maple	Acer saccharum	36	30	F
41	Sugar Maple	Acer saccharum	46		G
42	Sugar Maple	Acer saccharum	38		F
43	Sugar Maple	Acer saccharum	28	20	G
44	Red Maple	Acer Rubrum	27		G
45	Sugar Maple	Acer saccharum	95		VP
46	Columnar English Oak	Quercus robur 'Fastigiata'	17	10	E
47	Ivory Silk	Syringa reticulata	15		P

Conditional Legend

Excellent (E)	No apparent health problems; good structural form
Good (G)	Minor problems with health and/or structural form
Fair (F)	More serious problems with health and/or structural form
Poor (P)	Major problems with health and structural form
Very Poor (VP)	Extensive problems with health and structural form
Dead (D)	No live growth

Tree Size is expressed in Diameter at 1.3m above the base (DBH) and measured in cm.

ALL MEASUREMENTS ARE IN METER

CREDIT VALLEY CONSERVATION

Tree Inventory Plan - 7060 Old Mill Lane

Sheet No	2
Drawing No	
Dwn By:	HT
Date	June 22, 2017
SCALE:	AS SHOWN

CERTIFICATION

I certify that all the statements of fact in this assessment are true, complete, and correct to the best of my knowledge and belief, and that they are made in good faith

Jake Burleigh
ISA Certified Arborist

Jamie Wilton
CVC Forestry, Crew Lead

APPENDIX D: PLANNING JUSTIFICATION AND SUPPLEMENTARY JUSTIFICATION REPORTS

Planning Justification

RE: Meadowvale Shop Lot Disposal	
TO: City of Mississauga Planning Staff	FROM: Jesse de Jager and Suzie Losiak
cc: Eric Baldin, Suzie Losiak	DATE: April 4, 2017

Background

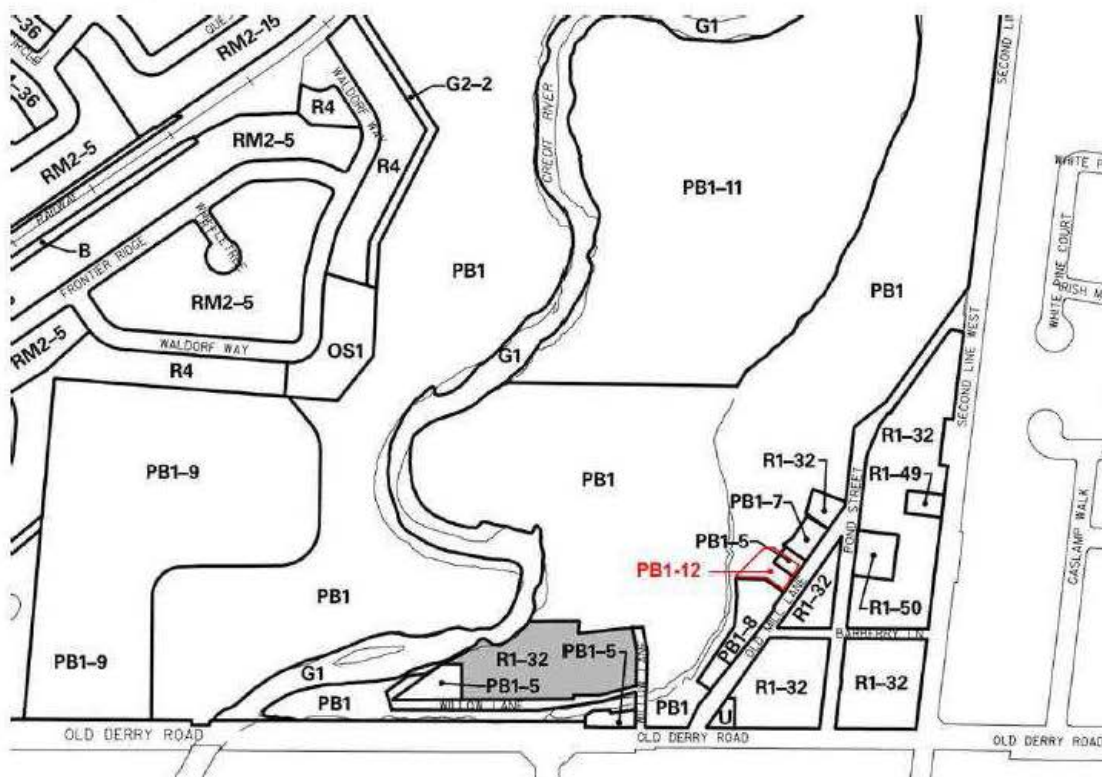
CVC's Meadowvale Conservation Area is located in Mississauga on the Credit River, in the historic Village of Meadowvale and contains CVC's Administrative Office, a Shop structure, trails, washrooms and picnicking facilities. At 74 hectares (157 acres), it is one of CVC's Core -10 conservation areas, with 62 ha (153 ac) leased to the City of Mississauga for park management. CVC acquired the lands that form Meadowvale CA from 1963-1974 as one of the key recommendations coming out of the landmark 1956 Credit River Report, which called for the establishment of a key multi-use recreational area in this area of the Watershed. From the late 1960's until 1988, CVC's Head Office was located in the former Silverthorne House on the east side of the River in the old Meadowvale Village. In 1988, CVC sold off two village lots (including the former office site) to help fund the new office; however, CVC retained a portion of the remnant village lands containing a Shop structure to be used for storage and operational needs (7060 Old Mill Lane).

In 2003, CVC staff was directed to explore the sale of the last of the Meadowvale Village lands to similarly fund head office improvements and other CVC programs. Extensive work was undertaken, including a Parkway Belt West Amendment and new lot survey, but the plans were abruptly halted before completion of all necessary planning approvals were obtained, due to concerns about lack of suitable storage and ongoing CVC operational needs.

Currently, head office storage and operational requirements are not being met and Meadowvale Shop continues to be undersized and poorly located to serve CVC purposes. With the potential to create new storage on site at the Head Office, Meadowvale Shop will become surplus to CVC needs. Potential revenue associated with the sale of the Shop lands can help fund the building of a new storage facility as well as priority programs of CVC.

Zoning By-Law Amendment

New exception zoning and a lot line adjustment is required update the lands to appropriate Village zoning to permit infill development of a single detached dwelling to return the site to the most appropriate land use within the historic village. The proposed lot zoning in relation to existing zoning is shown below:



SU MURDOCH HISTORICAL CONSULTING AUGUST 2017 - 58

Committee of Adjustment – Lot Creation and Lot Line Adjustment Consent

The creation of a newly configured lot based upon modern zoning would require the consent of the City of Mississauga Committee of Adjustment. The City has identified our Lot Creation application **as a prior existing lot** (remnant historical village Lot 41) which has been administratively merged on title with CVC's overall Meadowvale Lands (the main PIN) by Teranet. The title root to Lot 41 remains distinct however, and a Lot Creation process is the most appropriate method to re-establish the PIN with new lot lines that conform to overriding village zoning policy (i.e. R1-32 exceptions for Village Heritage character). Lot configuration is appropriate to village character and supports OP 16.17.2.21 for lots of varying sizes sympathetic to streetscape aesthetics and heritage settlement patterns demonstrated on Registered Plan TOR-5.

Greater Toronto Airport Authority (GTAA)

Meadowvale CA is located within the Airport Operating Area identified in the City of Mississauga Official Plan. The Shop lands are within the specific exemption area which allows for compatible residential development applications for zoning by-law amendments or committee of adjustment approvals below the 35 Noise Projection Contour of the Airport.

Parkway Belt West Amendment

In 2003, CVC staff sought and obtained a Parkway Belt West Amendment (amendment no. 172) with the Province to allow for General Complimentary Uses on the Shop lands in a 0.13ha area, based on the previously proposed lot configuration. General Complimentary Uses allow for infilling of a single detached dwelling provided all Municipal approvals are obtained. We have included the Amendment (no. 172) and the City of Mississauga Staff report in the list of uploaded documents to the e-plans portal.

Site Plan Approval

The Shop lands are also under City of Mississauga Site Plan Control (OP 16.17.2.11), which requires that prior to any development on site a Site Plan is to be approved by the City which meets the requirements of the Meadowvale Heritage Conservation District Plan.

Heritage Conservation District Plan

The Meadowvale Heritage Conservation District Plan developed by the City of Mississauga with support from CVC, describes the heritage significance of the Shop lands at 7060 Old Mill Lane that is associated with the location of the building to the rear of the lot which provides for a large open space which is representative of the historic open spaces within the nineteenth century character of the Village.

Demolition Permit

Credit Valley Conservation 1255 Old Derry Road, Mississauga, ON L5N 6R4
Phone: 905-670-1615 Fax: 905-670-2210 creditvalleyca.ca

CVC would require a Demolition Permit to demolish and remove the Shop itself. It is anticipated that there will be no issues in obtaining this permit once other approvals are in place. A Phase 1 ESA is attached with this application and a Designated Substance Survey (DSS) is currently being undertaken.

Ontario Regulation No. 160/06

The subject property is located partially within the Credit Valley Conservation Regulated Area. As such, the property is subject to CVC Regulation of Development Interference with Wetlands, and Alterations to Shorelines and Watercourses (Ontario Regulation 160/06).

Floodplain

The larger property is traversed by the Credit River and contains portions of the associated floodplain.

Environmentally Significant Area (ESA)

This area contains significant natural features within the Credit River Watershed. The designation of these areas is based on criteria related to terrain, flora and fauna hydrological significance, aesthetic qualities and educational values.

Peel Greenlands

The subject property is within an area designated as Core Greenlands by the Region of Peel.

Proposal

The subject lands are located in the historic Village of Meadowvale in Mississauga. The parcel is presently a part of the CVC owned Meadowvale Conservation Area. The park portion is leased to the City of Mississauga. The remainder has been retained by CVC for our seasonal operations. There is garage building on the property that serves as a workshop and storage facility.

The portion of the CVC property proposed to be lot line adjusted (to recognize a previously existing lot) is located on Old Mill Lane (municipal address 7060 Old Mill Lane). There are existing residences on either side of the subject property as well as across the street. CVC intends to sell this land as a residential lot. The residential use would be consistent with the surrounding residential uses on Old Mill Lane. This property is proposed to be zoned PB1-12 which provides exceptions to the Parkway Belt West 1 zone that are consistent with residential uses set out in the neighbouring and complimentary R1-32 exception zoning. We have provided a drawing indicating the potential building envelope within our proposed PB1-12 zoning that complements the R1-32 zoning parameters, consistent with Meadowvale Village zoning.

Credit Valley Conservation 1255 Old Derry Road, Mississauga, ON L5N 6R4
Phone: 905-670-1615 Fax: 905-670-2210 creditvalleyca.ca

CVC recognizes this property falls within the Heritage Conservation District and as such the Meadowvale Village Policies of the Mississauga Plan apply. CVC does not intend to develop the lot. However, CVC recognizes the importance of maintaining the character and intent of the village and will work to ensure that the urban design guidelines are respected by the purchaser. The proposed PB1-12 zoning places restrictions on building height, gross floor area, front yard, side yard and rear yard setbacks that ensure future residential development respects the Heritage Conservation District values and design guidelines as well as Official Plan Neighbourhood policies for Meadowvale Village.

The Ministry of Municipal Affairs and Housing has granted CVC an amendment to the Parkway Belt West Plan July 13, 2004 to re-designate the 0.13 hectare subject lands from Public Open Space and Buffer Area to General Complimentary Use Area most appropriate for single family dwelling.

CVC, in consultation with City of Mississauga staff and in conformity to the completed studies (EIS, HIS, Archaeology, ESA, etc.) has determined the appropriate limits of development, as noted on the attached reference plan.

CVC-Identified Building Envelope

CVC has consulted appropriate CVC technical and regulatory staff and has staked a proposed building envelope (February 22nd, 2017, shown on attached survey plan) for the lot. The proposed building envelope is located within the Environmentally Significant Area and within the Peel Core Greenlands; conformity with these policy features has been confirmed (EIS Report). The envelope additionally respects appropriate setbacks from the regulated floodplain (Ontario Reg. 160/06). CVC technical staff have no objection to the proposed building envelope, as evidenced by 'No Objection' to the by authorized CVC staff on March 15, 2017 (CVC File no. SP 17/CVC). The building envelope further respects the requirements of the proposed PB1-12 zoning for the lot (which is based on the dominant R1-31 Meadowvale Village zoning), which specifies front yard, rear yard and side yard setbacks. In support of OP 16.17.2.16 the existing grades and ditches are maintained by setting development outside of the drainage feature.



CVC, as a public body, is retaining ownership of lands along the north side of the lot to maintain and improve the public access trail to its Meadowvale Conservation Area, for the benefit of the residents of Meadowvale Village. This continued and enhanced public access supports Meadowvale Village neighbourhood policy encouraging physical public access to open spaces as per OP 16.17.2.2.

December 14th, 2018

Caleigh McInnes, M.Pl., MCIP, RPP
 Planner, Development North
 T 905-615-3200 ext.5598
caleigh.mcinnnes@mississauga.ca
 Planning and Building Department | Development and Design Division
 City of Mississauga

Re: Supplemental Planning Justification Report - 7060 Old Mill Lane - Historical Lot Summary

Summary:

- 7060 Old Mill Lane meets the Region of Peel definition as an *Existing Lot of Record*, as historical Lots 40 & 41 are part of distinct and separate conveyances of land in the registry office, as per Official Plan definitions.
- Mississauga and Peel staff, throughout the historical, pre-consultation and submission phases of the project, have confirmed the status and planning policy application of the lands as an existing and distinct lot.
- The proposed and subsequent Lot Line Adjustment conforms to the Village heritage character, urban fabric and dominant zoning, and is both minor in nature and supported by the Region of Peel Official Plan and the Provincial Policy Statement (PPS).

Comment Response Context

This letter is in response to comments provided by Region of Peel (Angelo Ambrico) dated May 18, 2018 via the City of Mississauga's Application Status Report (ASR) (Appendix 1A), and email correspondence from Angelo Ambrico dated August 23, 2018 related to the proposed lot line adjustment as identified through the OZ 18/004 for 7060 Old Mill Lane (Appendix 1B). Comments provided by the Region of Peel state the Region does not recognize the "lot line reconfiguration" as an existing lot of record; rather, the Region recognizes the existing lot of record being part of lots 40 & 41, registered plan TOR-5.

The process CVC is currently pursuing is a zoning by-law amendment (OZ18/004). In discussions with Caleigh McInnes (the planner assigned to this file) it was highlighted to CVC that the zoning (first step) is to be in place prior to a Committee of Adjustment application (second step) being submitted (email dated February 14/18 to CVC staff) (Appendix 2).

Although the Mississauga zoning by-law amendment application that is currently under review is not in absence of the entire submission (including the minor boundary adjustment) being provided for the fulsome technical review.

Existing Lot of Record

As noted in the Peel Regional staff comments, the Region of Peel Official Plan policy 2.3.2.6 i) permits a new single residential dwelling on an *existing lot of record* provided it would have been permissible prior to ROPA 21B coming into effect [May 13, 2010]. An *Existing Lot of Record* is defined in the Region of Peel official plan (pg. 218) as: “a lot held under distinct and separate ownership from all abutting lots as shown by a registered conveyance in the records of the Land Registry Office at the date Regional Official Plan Amendment 21B came into effect.”

As illustrated in the chronological lot history (below), remnant lots 40 & 41 are and were in separate and distinct title ownerships from abutting lots and evidenced by registered conveyances from 1963 and 1969 (i.e. prior to ROPA 21B, 2010) through instruments TT159765 (Emmerson Purchase) and 128009 (MacKendrick Purchase) (See Appendix 7 for Instruments). These separate and distinct conveyances, arising out of distinct title roots the Land Registry Office (43), meet the definition of the Region's Official Plan as Existing Lots of Record.

The lands of Lots 40 & 41 TOR-5 are currently registered under the Land Titles Act and were subject to administrative conversion under the authority of the Land Registration Reform Act and were converted on March 9, 1999. That is, PIN (Property Identification Number) creation for the lands comprising Lots 40 & 41 occurred administratively and is not indicative of the title quality for the purposes of determining existing lot of record for planning purposes. Though we note that remnant Lot 41 is still a separate and distinct ARN (Assessment Roll Number) parcel for valuation, taxation and planning purposes evidence by its designation as ARN 210504009904000, and that it is likewise distinct in the City of Mississauga's own Zoning by-law and parcel mapping system as shown on e-maps and on Zoning by-law map PB1-5, which forms part of the overall Zoning By-Law.

As the remnant Lots 40 & 41 meet the Region of Peel OP definition of Existing Lot of Record, therefore applicable policy to apply in for Zoning purposes is that of an existing lot – not a new lot – and that subsequent to the zoning amendment the Lot Line Adjustment process is likewise applicable and proper to adjust the boundary between two existing lots.

Title Chain and Lot Ownership of Credit Valley Conservation Authority

To assist the City of Mississauga and Peel Region staff in understanding the historical lot fabric and lots of record/remnant lots that are constituent of 7060 Old Mill Lane, we have undertaken a narrative and chronological mapping exercise to demonstrate the title and survey root of the Lot and its remnant core in comparison to the lot line adjustment that is shown on the current zoning by-law amendment application (Map 1-3).

Narrative

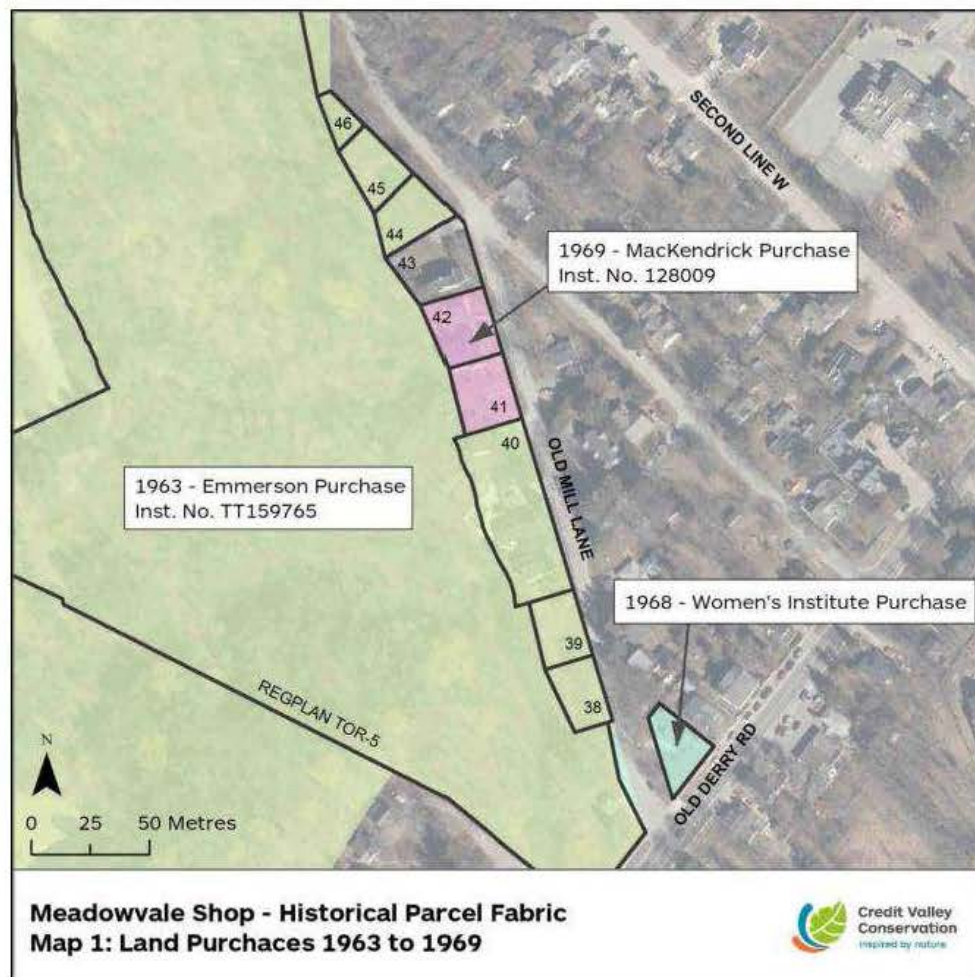
- On October 23, 1963, Luther P. Emerson, a teacher at Meadowvale, and Grace sold property to the Credit Valley Conservation Authority. This was a 119.2 acre parcel within part of Lots 11, 12, and 13, Concession 3, WHS, Toronto Township. The sale included Lot 40, Plan Tor-5 (and other lots on this Plan). The affidavit signed by Grace Emerson and attached to the deed explains that “the said land and premises have been occupied, possessed and used by myself and by my parents before me since about 1895.” Her father, Henry Brown, was conveyed the land and held “undisputed possession and occupation of the said lands and of the houses and other buildings” until his death on March 10, 1911. Her mother died September 8, 1949. The affidavit denies all claims of possession by others.

- On July 7, 1952, Grace sold Lot 41 and other lands to Roy M. Robertson. He sold in February 1954 to Ruth Lomas MacKendrick. MacKendrick was living in Denwood, Alberta, on October 15, 1969, when she sold Lots 41 and 42 to the Credit Valley Conservation Authority.
- Between 1963 and 1974, CVC acquired other lands to form the Meadowvale Conservation Area. From the 1960s until 1988, CVC's Head Office was located in the former Silverthorn/Brown house at 7050 Old Mill Lane.
- Between 1986 and 1988, CVC sold some of these lands, including most of Lot 40 (7050 Old Mill Lane) and part of Lot 41 and Lot 42 (7070 Old Mill Lane).
- CVC sold off two village lots (including the former office site) to help fund the new office. CVC retained a portion of the remnant village lands containing a shop structure to be used for storage and operational needs (7060 Old Mill Lane).

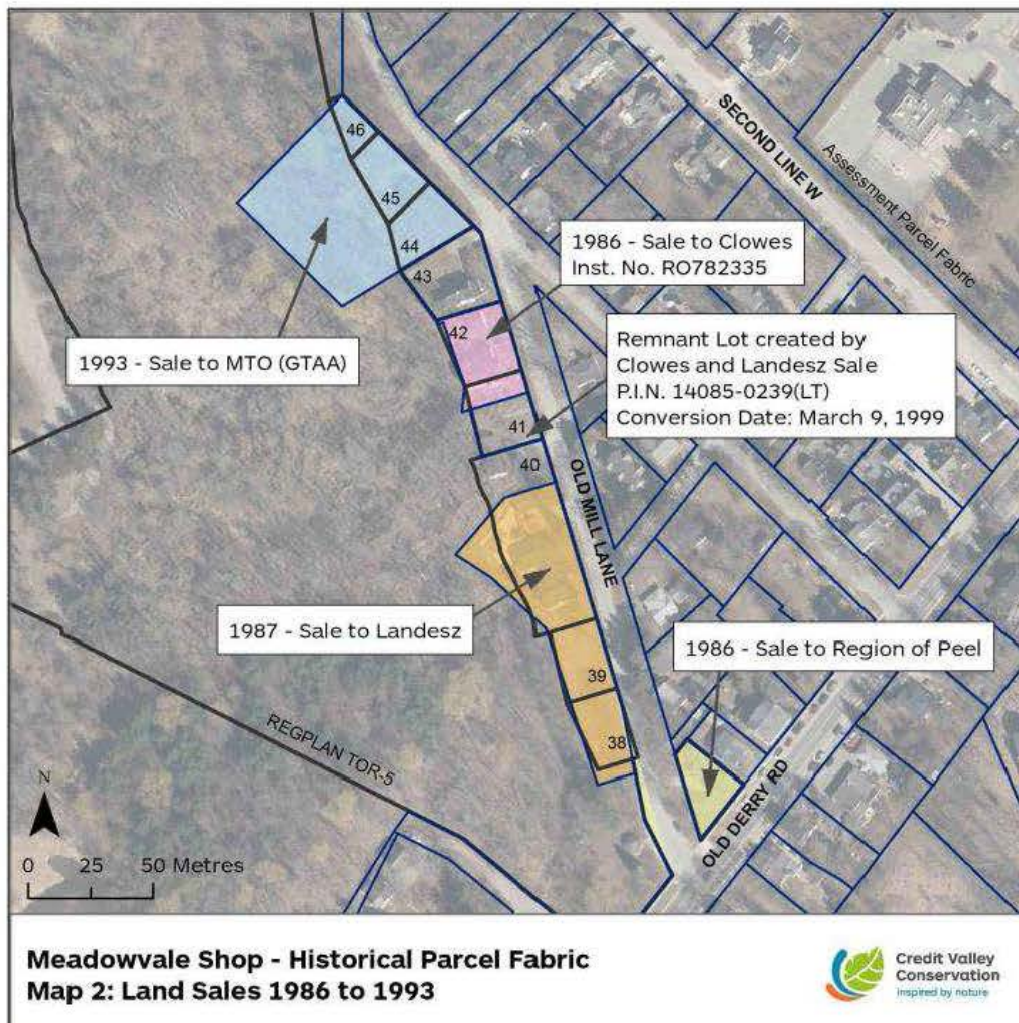
Visual Mapping Chronology

The first map demonstrates the purchases that took place from 1963 to 1969, highlighting the Emerson Purchase in 1963 (Instrument No. TT159765) and the MacKendrick Purchase in 1969 (Instrument No. 128009).

Map 1



Map 2 shows the sale in 1986 to the Clowes, which created remnant lot 41, and the sale to the Landesz in 1987 which created remnant lot 40.



Map 2

Map 3, below, demonstrates the existing lot (on which the "meadowvale shop" is currently located) and the proposed boundary adjustment to meet the residential zoning and Meadowvale Village district plan requirements.



Map 3

From this mapping of the property transactions by Registered Instrument from 1963 to present, we show that subject lands are comprised of two distinct Lots of Record according to the Region of Peel Official Plan's definition – Inst. No. TT159765 (Emmerson Purchase) for remnant Lot 40 and beyond, and Inst. No. 128009 (MacKendrick Purchase) for remnant Lot 41. This further helps to clarify the location of the existing building and the lot line adjustment in relation to the underlying lot fabric.

Chronology Specific to Meadowvale Shop Disposition

CVC's process of disposing of 7060 Old Mill Lane has had a long history starting as early as 2003 in a letter to MMAH requesting a Parkway Belt Amendment. It has included a DARC process in 2006 (Appendix 4) with all agency comments related to a lot configuration very similar to the one proposed today and has now resumed again in 2016. It is instructive here to review the file history which has also confirmed the planning approach to the zoning by-law and lot line adjustment, to ensure that the current file review is consistent with the recent history of comments and approaches that the City of Mississauga and Region of Peel have taken towards the subject lands:

- June 17, 2003: Letter to Ministry of Municipal Affairs and Housing for a Parkway Belt Amendment Request from CVC.
- July 13, 2004: Letter to CVC from MMAH. MMAH approved the amendment to the Parkway Belt West Plan to redesignate 0.13 hectares of land from Public Open Space and Buffer Area to Complementary Use Area (for 7060 Old Mill Lane) allowing for a single residence. (Appendix 3)
- January 31, 2006: Request for DARC for 7060 Old Mill Lane, Letter to City of Mississauga
- February 15, 2006: DARC: Haig Yegouchain comment notes not needing an OPA, also noise study through site plan process; amendment to official plan has already been handled (Appendix 4).
- February 17, 2006: Region of Peel's comments related to DARC DI-06-010 the Region has no objection to the proposed application and is in conformation to the OP (Appendix 5).
- May 24, 2016: City of Mississauga Zoning Manager recognizes 7060 Old Mill Lane as a separate Lot/A Lot (Appendix 6)

Lot Line Adjustment Process

Subsequent to a zoning by-law amendment, CVC proposes to make a minor adjustment to the existing lot boundaries (through the committee of adjustment process) to meet the Meadowvale Village Heritage Conservation District requirements. The minor boundary adjustment also fulfills the requirements for minimum residential distances and setbacks for the proposed zoning (R1-32).

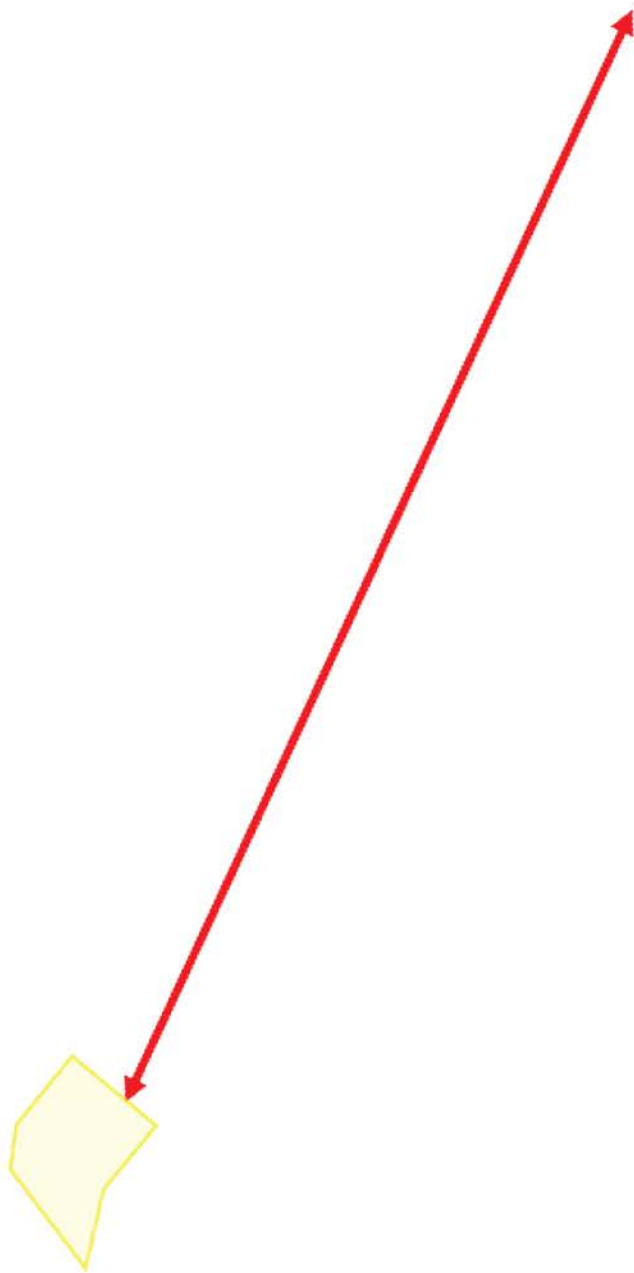
CVC views lot line adjustment as changes in the boundary between two or more existing adjacent parcels, where the land taken from one parcel is added to an adjacent parcel, and where a greater number of parcels than originally existed are not thereby created. The Ontario Provincial Policy statement references "minor boundary adjustments" as a process that "do[es] not result in the creation of a new lot" (Ontario 2014). CVC also understands "minor lot additions" as being synonymous with "lot line adjustment" and "minor boundary adjustments". Our proposal is therefore consistent with Provincial Policy and would not be the creation of a new lot, but the adjustment of a line between two existing lots, which is a supported and common practice.

We trust that this additional information about the history of the title of the subject lands, its legal registered status, and the associated applicability of planning policy addresses the current Region of Peel and City of Mississauga comments. This letter forms part of an overall re-submission for 7060 Old Mill Lane and should be read as part of the full package for the proposed Zoning By-Law Amendment for the subject property.

Sincerely,

A handwritten signature in black ink, appearing to read 'Jesse de Jager'.

Jesse de Jager
Conservation Lands Planner
905-670-1615 ext. 281
jesse.dejager@cvc.ca



Appendix 1A

Application Detail Information

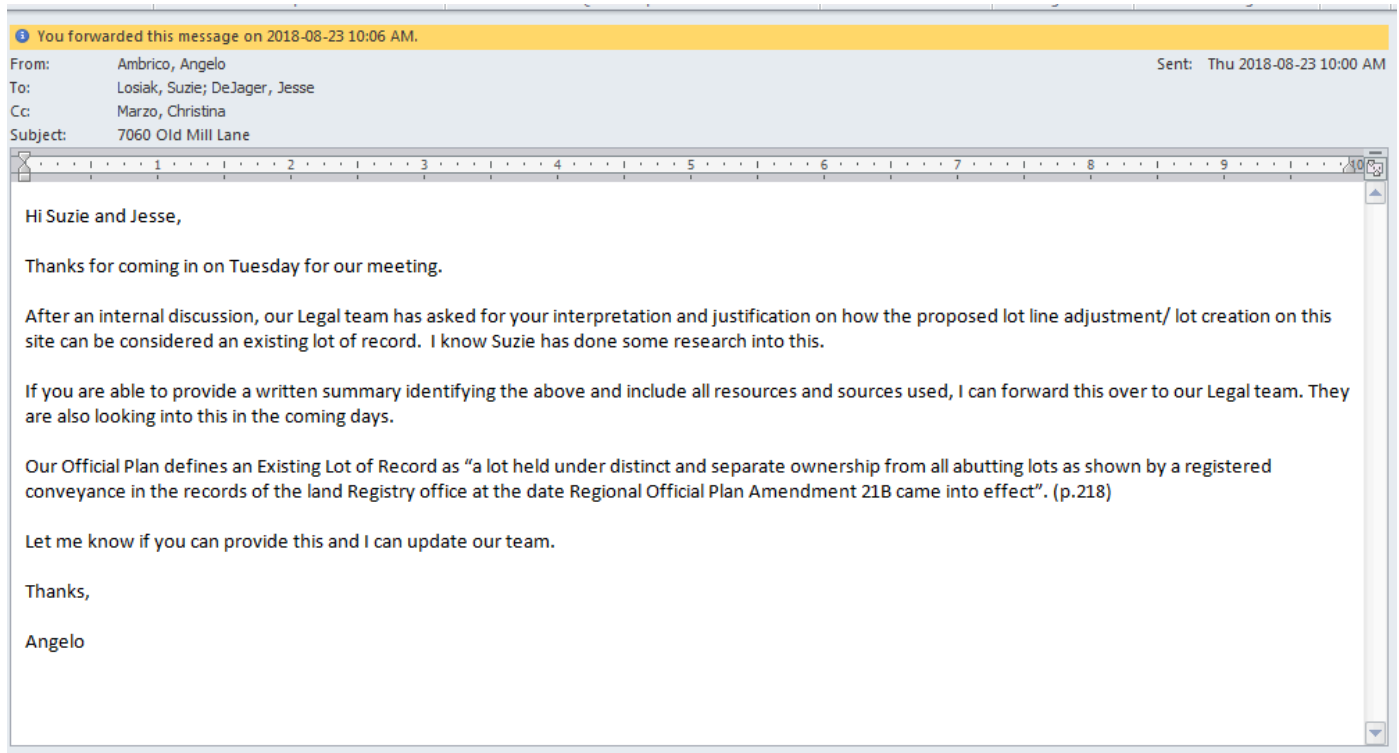
App Number: OZ 18 4 App Date: 2018-02-27
 App Type: REZONING Status: APPLICATION IN PROCESS
 Location: NW OLD DERRY ROAD AND 2ND LINE W
 Description: Rezone lands to permit one detached dwelling.

Conditions

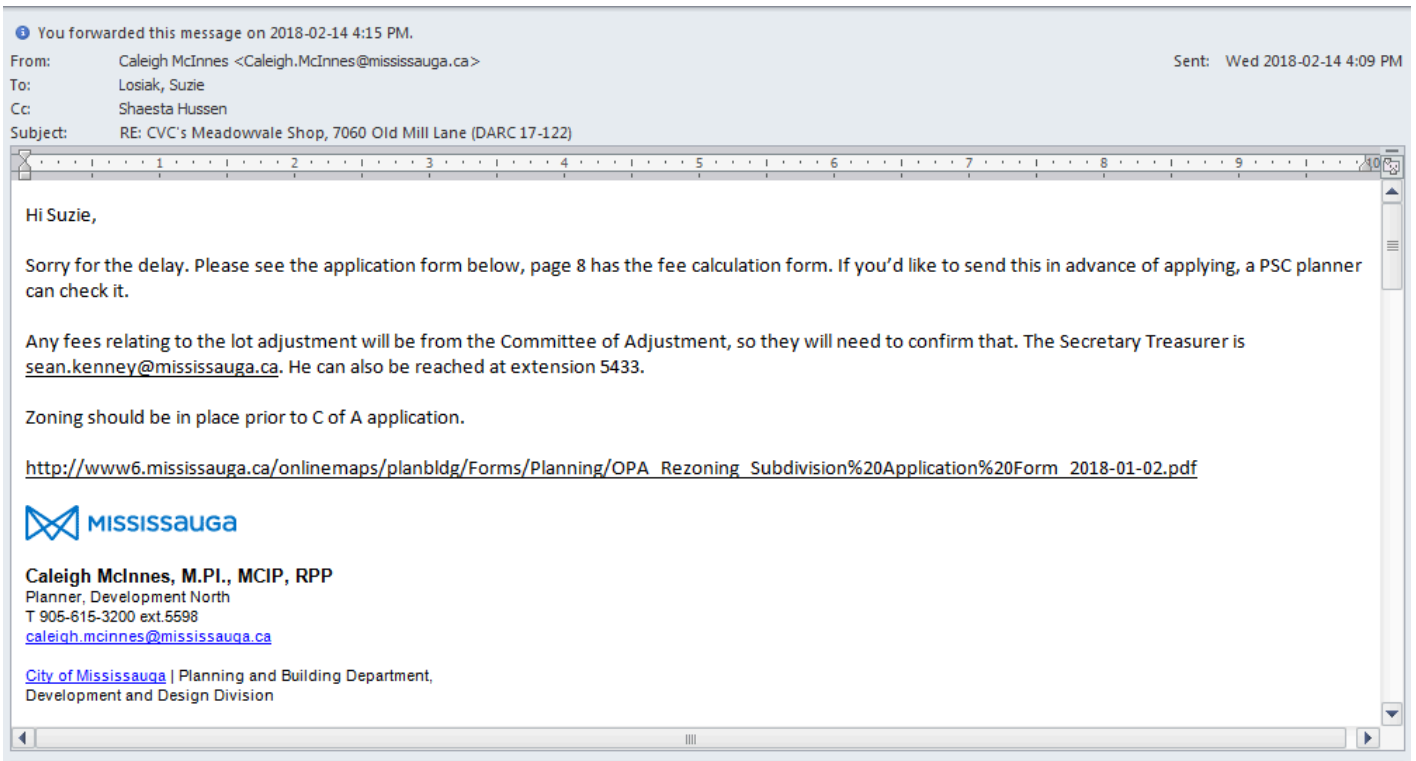
(REGION OF PEEL)

Role	No.	Milestone	Status
REGION OF PEEL	1	INFO REPORT	WITHHELD
Milestone Description			
Required prior to planner preparing Information Report to PDC			
Condition			
<p>The proposed lot line reconfiguration and proposed building envelope is located within a Core Woodland and Valley Area of the Greenlands System in Peel, under Policy 2.3.2 and Schedule A of the Region of Peel Official Plan. As per Section 2.3.2.6 of the Region of Peel Official Plan, development and site alteration is not permitted within the Core Areas of the Greenlands System in Peel. With regards to Section 2.3.2.6 (i) of the Region of Peel Official Plan ?Prohibit development and site alteration within the Core Areas of the Greenlands System in Peel, except for; A new single residential dwelling on an existing lot of record provided that the dwelling would have been permitted by the applicable the applicable planning legislation or zoning by-law on the date the Regional Official Plan Amendment 21B came into effect?. The Region of Peel does not recognize the new lot line reconfiguration as an existing lot of record and therefore will not permit development and/or site alterations within the Core Areas of the Greenland System. Regional staff recognizes the existing lot of record being Part of Lots 40 & 41, Registered Plan TOR-5, which does not include the portion of lands located within the limits of the Core Areas of the Greenlands System. The Region of Peel will work with the CVC to establish an appropriate building envelope that does not include development within the Core Areas of the Greendlands System.</p> <p>Created : 2018-05-18 10:54:22 Last Modified : -</p>			

Appendix 1B



Appendix 2



Appendix 3

Mike

Ontario

RECEIVED
2004 JUL 15 A 9 31

Ministère des Affaires municipales et du Logement
Bureau des services aux municipalités
Centre de l'Ontario
777, rue Bay, 2^e étage
Toronto ON M5G 2E5
Téléphone: 416-595-0226
Télécopieur: 416-595-6882
Sans frais: 1-800-668-0230

Ministry of Municipal Affairs and Housing
Municipal Services Office
100, King Street West, 2nd Floor
Toronto ON M5G 2E5
T: 416-595-0226
F: 416-595-6882
Toll-free: 1-800-668-0230

Valley Conservation Authority
Old Derry Road
Mississauga, Ontario
L4R 4R4

Mr. Horst:

Amendment to the Parkway Belt West Plan
City of Mississauga
Amendment No. 172
MMAH File: 21-PBA-005-172

3, 2004

to inform you that the Ministry of Municipal Affairs has approved the above-noted amendment to the Parkway Belt West Plan in the City of Mississauga on July 5, 2004.

our information and the completion of your records, enclosed is a photocopy of the amendment to the Parkway Belt West Plan. A certificate page to that effect has also been added to the Regional Municipality of Peel and the City of Mississauga.

If you have any questions on the above, please do not hesitate to call me at 585-6048.

Sincerely,
Danny Lyons
M. Lyons, M.P.I.
Municipal Planning Advisor

Nick Tunnaciffe, Commissioner of Planning, Peel Region (with attachments)
Edward Sajecki, Commissioner of Planning and Building, Mississauga (with attachments)

LEGEND

- SUBJECT LANDS
- GENERAL COMPLIMENTARY USE AREA
- PUBLIC OPEN SPACE & BUFFER AREA

SUBJECT: PROPOSED PARKWAY BELT AMENDMENT CREDIT VALLEY CONSERVATION

MISSISSAUGA Planning and Building

FILE NO: BL 09/PAR
DWG NO: MEADVILL
SCALE: 1:5000
DATE: 2003 09 09
DRAWN BY: D. GREEN

EXHIBIT 1

Appendix 4

DARC AGENDA - FEB 15/06

KEN THASER, CUC

HEATHER HEWITT, CUC

RICHARD CLARK, CUC

MARY BRACKEN, ENV PLANNER, CofM

Jonathan Fumme, Planner

Doreen Morita, T+W

DAUER KOROL, T+W

KATIE MALONEY, Comm. SERV.

(Lawrence)

Sue Annalakis, P+B.

MARK WARRACK, Comm SERV.

Paula Wubbenhoat

Diana Rusnov, P+B.

HAIG YEGHUCHIAN, PLANNER

MB. - no hazards, natural area.

DM. - Phase I ESA. → submit with any app.

- \$100 per → think about through SR

DK. - No TIS (traffic impact study)

MW. - HCD → request to council, have
official request to have building removed.

→ pass on info

KM. - any entrance to CA → no Hlt.

- CofM would like access; isn't set up that way.

- not a site we want accessed.

LF. - Miss Plan; Res. Plan Design Guidelines

→ urban design study

→ Sec

- if noise study, City would like to see LF.

- concept plan

- Urban Design Study → determine what would be appropriate

P+B. - tree inventory

- identify existing driveway

- energy conservation

HY. - no OPA required; lot to north took care of OPA.

Post History - interest from public to purchase property
 Neighbours - based on information received neighbours would like to see lot in residential use
 DARC Summary Sheet

Location: 7060 Old Mill Lane

Proposal: Detached Dwelling

Existing Official
 Plan Designation
 Meadowvale Village District: Parkway Belt West

Proposed Official
 Plan Designation: Not applicable. Parkway Belt West Plan was amended on July 13, 2004 redesignating the subject lands from "Public Open Space and Buffer Area" to "General Complimentary Use Area" which permits a detached dwelling.

Existing Zoning: "PB1" which generally permits public uses which implements the Parkway Belt West Plan prior to the recent amendment to the Plan by the Province.

Proposed Zoning: "R1 Special Section" to permit a detached dwelling.

Owner: Credit Valley Conservation

Applicant: subject to change - new floodline mapping
 Credit Valley Conservation

R1 zone Building Envelope - ask Brian about area
 Front need 22.5m we have 33.44m
 Side 3m
 back 7.5m
 1300m² lot area
 municipal scrip

urban design guidelines
 minimum 5m setback from floodplain 166.135 38
 → what was used 2003

K:\PLAN\DEV\CONT\GROUP\WPD\DATA\CENTRAL\DARC\DARC7060\062MILL\Feb1506E1Y.docx

Appendix 5

February 17, 2006

Mr. Haig Yeghouchian, Planner
Development and Design
City of Mississauga
Mississauga, Ontario
L5B 3C1

at 5515

RE: DI-06-010
7060 Old Mill Lane
West side of Old Mill Lane / North of Old Derry Rd.
City of Mississauga
Credit Valley Conservation Authority

Dear Mr. Yeghouchian,

Region of Peel staff have completed its review and offers the following comments on this DARC item DI-06-010 for the construction of a detached dwelling.

Planning:

The Peel Region Official Plan designates the subject lands located within the Credit River Core Area of the Region's Greenlands System. Within the Credit River Core Area of the Region's Greenlands System, policy 2.3.2.5 of our Official Plan permits *minor development*. This application is considered to be in conformance to our Official Plan. We note that the Parkway Belt West "Public Open Space and Buffer Area" designation on the subject lands was apparently amending in July 2004 to "General Complimentary Use Area". The proposed single detached dwelling would be permitted in the General Complimentary Use Area.

Regional Roads:

The Region of Peel Traffic and Engineering staff has reviewed the above noted DARC item and advise that they have no comments or concerns with this application.

Waste Management:

Region of Peel Waste Management staff have reviewed the DARC item noted above and advise the following comments:

1. The subject land is not located within the vicinity of a landfill.
2. Curbside waste collection will be provided by the Region of Peel.

Regional Water and Sanitary Sewer Services:

Appendix 6

DeJager, Jesse

From: Tim Gallagher <Tim.Gallagher@mississauga.ca>
Sent: May 24, 2016 9:32 AM
To: DeJager, Jesse
Subject: RE: 7060 Old Mill Lane - Lot Recognition

Hello Jesse.

It may be difficult for you to tell but, it looks like the zone boundary line cuts through the building that is sitting on 7060 Old Mill Lane.

You are correct in saying that 7060 Old Mill Lane (OML) is zoned PB-5 and the rest of your land is PB1.

Yes, the City recognizes both of these zone designations and 7060 OML as a separate Lot/a Lot.

If your intention is to demolish the existing building at 7060 OML and not use the lot for anything that the existing PB1-5 would permit

you to do/have, then I would say you could rezone it to a straight PB1. That would keep things cleaner, at least.

I hope that answers your question.

Please do not hesitate to follow up with me if I have not been clear in my response or if there is anything else.

Regards

This message is intended for the addressees only. Any copying, retransmittal, taking of action in reliance on, or other use of the information in this communication by persons other than the addressees is prohibited. If you have received this message in error, please reply to the sender by e-mail and delete or destroy all copies of this message



Tim Gallagher
Manager, Zoning
Zoning Administrator
T 905-615-3200 ext.5579
tim.gallagher@mississauga.ca
[City of Mississauga](#) | Planning and Building Department,
Building Division

[Zoning Information now available on line!](#)

Losiak, Suzie

From: DeJager, Jesse
Sent: May 19, 2016 7:45 AM
To: 'Dave Martin'
Subject: RE: CVC Application for Meadowvale CA Lot Severance and Facility Enhancement

Thanks Dave, it is certainly a lot addition (increasing the overall size of the existing lot as the same parcel) – I can see why “flag” lots would represent bad planning.

- Jesse

Jesse de Jager

Conservation Lands Planner | Credit Valley Conservation
 905.670.1615 ext 281 | 1.800.668.5557
jesse.dejager@creditvalleyca.ca | creditvalleyca.ca

From: Dave Martin [mailto:dave.martin@mississauga.ca]
Sent: May 18, 2016 3:18 PM
To: DeJager, Jesse
Subject: RE: CVC Application for Meadowvale CA Lot Severance and Facility Enhancement

Comments! Yikes!

Is this a lot addition to the existing lot or are you proposing a “flag” lot around the existing lot?

FYI – Planning has been dead opposed to “flag” lots. If it is a lot addition to the existing lot, looks good!

Let me know which one it is!!!

Regards,

**David L. Martin, C.P.T., C.Tech, ACST**

Manager of Vital Statistics & Secretary Treasurer, Committee of Adjustment
 T 905-615-3200 ext.5433 | F 905-615-3950
dave.martin@mississauga.ca

City of Mississauga | Corporate Services Department,
 Legislative Services Division



**Mississauga
2016**

Ontario
Summer Games
Jeux d'été
de l'Ontario

Please consider the environment before printing.

From: DeJager, Jesse [<mailto:jdejager@creditvalleyca.ca>]
Sent: 2016/05/18 1:31 PM
To: Dave Martin
Subject: RE: CVC Application for Meadowvale CA Lot Severance and Facility Enhancement

Hey Dave,

My apologies for the delayed response – but this is great feedback. I have started a request for DARC and will be uploading some information now.

But here's what we are thinking on the lot line adjustment, zoning amendment and sale:

There's an existing lot at 7060 Old Mill Lane which is recognized as PB-5 zoning and as a separate assessment parcel... but has disappeared as a PIN (administratively merged with adjacent CVC lands by Teranet, it seems). We need confirmation from the City that this lot is still recognized and the zoning as well.

We want to undertake a Lot Line Adjustment to a larger configuration as per Sketch v2 attached to better meet CVC policy, zoning by-law requirements and future Site Plan control requirements (Heritage district policies). We prefer to retain the drainage feature at the south of the property and relocated the public access trail to the conservation area in this area (consolidate public functions). As well, we will be demolishing the shop itself – the heritage value of the shop is in its citing, not the structure – hence a lot line configuration that will be better to accommodate the open neighbourhood views and set back from roads as identified as important in the Meadowvale HCD plan.

It's a question of what comes first I suppose, and your guidance on the Zoning by-law amendment as first step is appreciated.

Any other thoughts at this point?

Much appreciated,

- Jesse

Jesse de Jager

Conservation Lands Planner | Credit Valley Conservation

905.670.1615 ext 281 | 1.800.668.5557

jesse.dejager@creditvalleyca.ca | creditvalleyca.ca

Appendix 7

Instrument No. TT159765 (Emmerson Purchase)

Deed — Without Dower

This Indenture

made (in duplicate) the 23rd day of October
one thousand nine hundred and sixty-three.

In Pursuance of The Short Forms of Conveyances Act

Between

LUTHER P. EMERSON, of the Village of Meadowvale,
in the County of Peel, Teacher, and
GRACE H. EMERSON, his wife

hereinafter called the Grantors,

OF THE FIRST PART

-and-

CREDIT VALLEY CONSERVATION AUTHORITY

hereinafter called the Grantee,

OF THE SECOND PART

WHEREAS the Grantors own as joint tenants a portion of the
lands herein described.

AND WHEREAS the said Grantor, Grace H. Emerson, is the regis-
tered owner of the remainder of the said lands.

Witnesseth that in consideration of other valuable consideration

and the sum of - - - TWO - - - (\$2.00) - - - - - Dollars
of lawful money of Canada now paid by the said Grantee to the said
Grantor^s (the receipt whereof is hereby by them acknowledged), they
the said Grantor^s do Grant unto the said Grantee in fee simple
All and Singular th^{at} certain parcel or tract of land and premises
situate lying and being in the Township of Toronto, County of Peel
and Province of Ontario and being composed of part of Register-
ed Plan Toronto 5 known as the Village of Meadowvale Plan and
part of Lots 11, 12, and 13, Concession 3 West of Hurontario
Street for the said Township, and containing by admeasurement
119.2 Acres be the same more or less, which said parcel of
land is more particularly described in Schedule "A" attached
hereto.

Dye & Durborn
Limited
10 Adelaide St. W.
Toronto, Can.
Form 1 to 4

SCHEDULE "A"

Attached to Conveyance by Grace H. Emerson
to Credit Valley Conservation Authority dated
October 23, 1963.

ALL AND SINGULAR that certain parcel or tract of land and premises situate, lying and being in the Township of Toronto, County of Peel and Province of Ontario and being composed of part of Registered Plan Toronto 5 known as the Village of Meadowvale Plan and part of Lots 11, 12, and 13, Concession 3 West of Hurontario Street for the said Township, and containing by ad-measurement 119.2 Acres be the same more or less, which said parcel of land is more particularly described as follows:

PREMISING that the road allowance between Lots 10 and 11 for the said Concession in front of the herein described parcel has a bearing of N 39° 15' 40" E and that all bearings used herein are related thereto;

FIRSTLY COMMENCING at the north east corner of the said Lot 12;

THENCE south westerly along the limit between Lots 12 and 13 on a general bearing of S 39° 40' 10" W, 243.52 feet;

THENCE N 81° 29' 30" W, 334.62 feet;

THENCE S 68° 53' 30" W, 409.15 feet;

THENCE S 6° 56' 20" E, 651.89 feet more or less to a point in the said limit between Lots 12 and 13;

THENCE continuing south westerly along the said limit on a general bearing of S 38° 28' 20" W, 644.66 feet more or less to a point in the easterly limit of the lands of the Canadian Pacific Railway;

THENCE S 50° 51' 10" E along the said easterly limit, 258.00 feet to an angle point therein;

THENCE S 36° 07' 30" W, 17.02 feet to an angle point therein;

THENCE continuing S 50° 51' 10" E, 129.58 feet to a point therein;

THENCE N 26° 32' 40" E, 518.66 more or less to an old iron bar described in Instrument No. 3613 dated March, 1862;

THENCE N 54° 18' 40" E, 223.08 feet;

THENCE N 35° 14' 40" E, 247.94 feet;

THENCE S 66° 37' 00" E, 450.89 feet;

THENCE S 30° 17' 20" E, 232.32 feet more or less to a point in the west bank of the west branch of the Credit River;

THENCE in a southerly direction with the stream following the westerly bank of the westerly branch of the said River to its intersection with the westerly bank of the main branch of the said River;

THENCE still in a southerly direction following the said bank of the said River to its intersection with a line drawn parallel to the westerly limit of the road allowance between the said Lots 10 and 11 and distant 17.00 feet measured north westerly therefrom;

(over)

(1a)

THENCE N 39° 10' E along the said parallel line, 192.98 feet;

THENCE N 30° 15' 40" E along the said parallel line, 1029.58 feet more or less to a point in the south westerly limit of Lot 67 as shown on the said plan of the Village of Meadowvale;

THENCE north westerly along the said south westerly limit, 17.95 feet more or less to the top of an old mill race;

THENCE northerly along the top of the said old mill race, 84 feet more or less to a point in the north easterly limit of the said Lot 67;

THENCE south easterly along the said north easterly limit, 10.00 feet more or less to the south west corner of Lot 68 as shown on the said Plan;

THENCE north easterly along the westerly limit of the said Lot 68, 83.36 feet more or less to a point in the southerly limit of Willow Lane as shown on the said Plan;

THENCE north westerly along the said southerly limit, 58.74 feet more or less to the intersection of the easterly limit of Water Street;

THENCE S 23° 32' 40" W along the said easterly limit of Water Street, 118.80 feet to an angle point therein;

THENCE S 30° 33' 40" W along the said easterly limit of Water Street, 203.94 feet;

THENCE S 39° 13' 40" W along the said easterly limit of Water Street, 476.97 feet;

THENCE continuing southerly, westerly and north westerly along the said limit of Water Street, 150 feet more or less to its intersection with the east bank of the Credit River;

THENCE northerly along the said east bank, 115 feet more or less to a point in the west limit of Lot 83 as shown on the said Village plan;

THENCE northerly along the west limit of Lots 83, 82, 81, 80 and 79, 262.72 feet more or less to a point in the west limit of the said Lot 79 distant 24.41 feet measured northerly therealong from the south west corner thereof;

THENCE N 38° 18' 40" E to and along an old post and wire fence, 250.30 feet to an angle point therein;

THENCE S 44° 48' 20" E along the said fence, 41.54 feet to an angle point therein;

THENCE N 32° 19' 20" E along the said fence, 177.12 feet more or less to a point in the south limit of Willow Lane as shown on the said Village Plan;

THENCE N 37° 38' 10" E, 33.49 feet more or less to a point in the north limit of the said Willow Lane;

THENCE S 62° 11' 10" E along the said limit, 80.52 feet to an angle point therein;

THENCE S 49° 32' 30" E along the said limit of Willow Lane, 248.29 feet more or less to a point in the west limit of the said road allowance between Lots 10 and 11;

THENCE north easterly along the said west limit, 139.26 feet more or less to a point of intersection with the west limit of Mill Street as shown on the said Village Plan;

(over)

(1-b)

THENCE northerly along the said limit of Mill Street 602.39 feet more or less to the north east corner of Lot 40 as shown on the said Village Plan;

THENCE westerly along the said north limit, 83.83 feet more or less to the south west corner of Lot 41 as shown on the said Village Plan;

THENCE northerly along the west limit of Lot 41 as shown on the said Village Plan, 95.56 feet more or less to the north west corner of the said Lot;

THENCE northerly along the west limit of Lot 42 as shown on the said Village Plan, 90.65 feet to a point therein;

THENCE N 37° 41' 40" W, 88.59 feet more or less to a point in a fence running easterly;

THENCE easterly along the said fence on a general bearing of N 59° 43' 20" E, 115.50 feet more or less to a point in the west limit of Pond Street as shown on the said Village Plan;

THENCE northerly along the said west limit, 245.25 feet to an angle point therein;

THENCE N 0° 49' 40" E, 133.25 feet to an angle point therein;

THENCE N 15° 22' 40" W along the westerly limit of a forced road, 463.27 feet more or less to a point in the south westerly limit of the road allowance between concessions 2 and 3;

THENCE north westerly along the said limit of road allowance, 2559.08 feet more or less to the POINT OF COMMENCEMENT.

SECONDLY BEGINNING at the north east corner of the said Lot 12

THENCE south westerly along the limit between Lots 12 and 13 on a general bearing of S 39° 40' 10" W, 243.52 feet;

THENCE N 81° 29' 30" W, 334.62 feet;

THENCE S 68° 53' 30" W, 409.15 feet;

THENCE S 6° 56' 20" E, 651.89 feet more or less to a point in the said limit between Lots 12 and 13;

THENCE continuing south westerly along the said limit on a general bearing of S 36° 28' 20" W, 644.66 feet more or less to a point in the easterly limit of the lands of the Canadian Pacific Railway;

THENCE continuing south westerly along the said limit between Lots 12 and 13 on a general bearing of S 36° 07' 30" W, 100.14 feet to a point in the westerly limit of the lands of the Canadian Pacific Railway being the Point of Commencement;

THENCE S 50° 51' 10" E along the said westerly limit of the railway 258.00 feet to an angle point therein;

THENCE N 36° 07' 30" E, 17.02 feet to an angle point therein;

THENCE continuing S 50° 51' 10" E, 125.89 feet to a point therein;

THENCE S 63° 33' 10" W, 370.41 feet more or less to the line between the east and west halves of the said Lot 12, Concession 3, West of Hurontario Street;

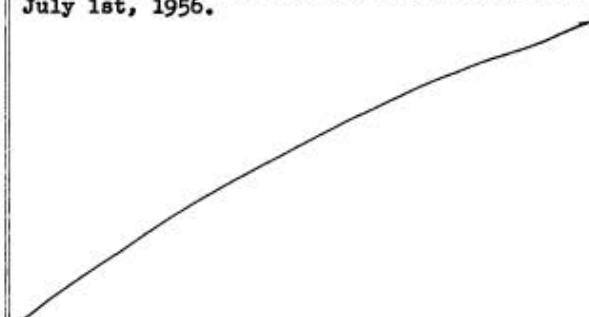
THENCE N 44° 43' 40" W, 237.93 feet more or less to the north limit of the said Lot;

(over)

(1-c)

THENCE N 37° 28' 50" E along the said north limit,
296.64 feet more or less to the POINT OF COMMENCEMENT.

AND ALSO including all and singular those certain parcels or tracts of land and premises situate, lying and being in the Township of Toronto, County of Peel and Province of Ontario, and being composed of the whole of building lots 38 to 40 inclusive, 44 to 47 inclusive, 53 to 65 inclusive, and 72 to 76 inclusive, and that part of lots 48-52 inclusive lying to the west of the forced road shown on the attached sketch of survey and that part of lots 71 to 79 inclusive shown bordered in red on the attached sketch of survey and the whole of park lots 1 to 22 inclusive and Mill lot, all according to and as shown on a plan of subdivision of part of Lot 11, Concession 3, W.H.S. in the said Township prepared by Arthur Bristow, Public Land Surveyor, and dated July 1st, 1956.



Deed of Land
Page 2 — Eye & Durham

To have and to hold unto the said Grantee ^{successors} ~~its~~ / heirs and assigns, to and for ~~its~~ and their sole and only use for ever. ~~Subject~~
~~Notwithstanding~~ to the reservations, limitations, provisoes and conditions, expressed in the original grant thereof from the Crown.

Deed — Without Dower
Page 1 — Dye & Durham

The said Grantor \equiv Covenant \equiv with the said Grantee That she y
ha y the right to convey the said lands to the said Grantee notwithstand-
ing any act of the said Grantor \equiv .

And that the said Grantee shall have quiet possession of the said lands,
free from all encumbrances.

And the said Grantor \equiv Covenant \equiv with the said Grantee that the y
will execute such further assurances of the said lands as may be requisite.

And the said Grantor \equiv Covenant \equiv with the said Grantee that the y
ha y done no act to encumber the said lands.

And the said Grantor \equiv Release \equiv to the said Grantee All their
claims upon the said lands.

In Witness Whereof
their hands and seals.

Signed, Sealed and Delivered
IN THE PRESENCE OF

Ruth Bradley

the said parties hereto have hereunto set

Luther P. Emerson
Luther P. Emerson
Grace H. Emerson
Grace H. Emerson

AFFIDAVIT AS TO LEGAL AGE AND MARITAL STATUS

PROVINCE OF ONTARIO } ~~LXXX~~ Luther P. Emerson
COUNTY OF Ontario } of the Village of Meadowvale
To Wit: } In the County of Peel, Teacher

Strike out
words not
applicable
and initial.

If Attorney
see footnote.

in the within instrument named, make oath and say that at the time of the execution of the within instrument,

1. I was of the full age of twenty-one years.

2. And that Grace H. Emerson

who also executed the within instrument WAS of the full age of twenty-one years

3. I was legally married to the person named therein as my wife/~~husband~~

~~Not a married couple~~

SWORN before me at the City
of ~~Toronto~~ *Peel*
in the County of ~~York~~ *Peel*
this 29 day of October
A.D. 19 63.

Luther P. Emerson

A Commissioner for taking Affidavits, etc.

NOTE: If Attorney, substitute in space provided "I am Attorney for..... (State name)..... one of the parties named therein and he/she was of the full age of twenty-one years."

Affidavit, Land Transfer Tax Act
IN THE MATTER OF THE LAND TRANSFER TAX ACT

PROVINCE OF ONTARIO
COUNTY OF

I,
of the
in the County of for the
To Wit: named in the within (or annexed) transfer make oath and say:

This affidavit may
be made by the
purchaser or ven-
dor or by any one
acting for them
under power of
attorney or by an
agent, provided
in writing by the
purchaser or ven-
dor or by the attor-
ney or agent of either of
them.

1. I am named in the within (or annexed) transfer.
2. I have a personal knowledge of the facts stated in this affidavit.
3. The true amount of the monies in cash and the value of any property or security included in the consideration is as follows:

(a) Monies paid in cash	\$	
(b) Property transferred in exchange; Equity value	\$	
Encumbrances	\$	
(c) Securities transferred to the value of	\$	
(d) Balances of existing encumbrances with interest owing at date of transfer	\$	
(e) Monies secured by mortgage under this transaction	\$	
(f) Liens, annuities and maintenance charges to which transfer is subject	\$	
Total consideration	\$	
4. If consideration is nominal, is the transfer for natural love and affection?
5. If so, what is the relationship between Grantor and Grantee?
6. Other remarks and explanations, if necessary

all
figures
must
be filled
in.

Sworn before me at the
of
in the County of
this
day of

A.D. 19

A Commissioner, etc.

COUNTY OF YORK

I, Luth Bradley
 of the City of Toronto in the
 County of York
 TO WIT: Secretary make oath and say:

1. THAT I was personally present and did see the within or annexed Instrument and a duplicate thereof duly signed, sealed and executed by Luther P. Emerson and Grace H. Emerson,

two of the parties thereto.
 2. THAT the said Instrument and duplicate were executed by the said part ies at the City of Toronto.

3. THAT I know the said part ies.

4. THAT I am a subscribing witness to the said Instrument and duplicate.

SWORN before me at the City
 of Toronto in the County
 of York this 29th
 day of October A.D. 19 63.

Luth Bradley

A Commissioner for taking Affidavits, etc.

OF

I, _____ of _____ in the
 County of _____
 TO WIT: _____ make oath and say:

1. THAT I was personally present and did see the within or annexed Instrument and a duplicate thereof duly signed, sealed and executed by _____

2. THAT the said Instrument and duplicate were executed by the said part _____ of the parties thereto, at the _____ of _____

3. THAT I know the said part _____

4. THAT I am a subscribing witness to the said Instrument and duplicate.

SWORN before me at the _____
 of _____ in the County
 of _____ this _____
 day of _____ A.D. 19 _____

A Commissioner for taking Affidavits, etc.

Dated October 23rd 19 63.

LUTHER P. EMERSON and
 GRACE H. EMERSON

TO

CREDIT VALLEY CONSERVATION
 AUTHORITY

Address:

Deed of Land

SITUATE

IN the Tshp of Toronto, County
 of Peel, part reg'd Plan Toronto S.
 Village of Meadowvale Plan, etc.

One & Dunsm Limited, 10 Adelaide Street West, Toronto, Canada
 Law and Commercial Solicitors

RETURN TO

Davis, Davis, Wells
Burph

HAROLD M. SMITH
 Barrister & Solicitor
 80 Richmond St. W.,
 Toronto 1, Ontario.

THIS SPACE TO BE RESERVED FOR REGISTRY OFFICE CERTIFICATES

I certify that the within Instrument
 is duly executed and registered in the
 Registry Office for the Registry Division
 of the City of York.

For TWP. 425

425-159765

1 NOV 1963

159765

Seventy Beatty

Register

Instrument No. 128009 (MacKendrick Purchase)

Deed — Without Dower

This Indenture

made (in duplicate) the 15th day of October
one thousand nine hundred and sixty-nine.

In Pursuance of The Short Forms of Conveyances Act
Between

RUTH LOMAS MacKENDRICK, of the Town of
Denwood, in the Province of Alberta
(formerly of the Township of Toronto, in the
County of Peel), Married Woman,

hereinafter called the Grantor,
of the FIRST PART;

- and -

CREDIT VALLEY CONSERVATION AUTHORITY

hereinafter called the Grantee,
of the SECOND PART;

Witnesseth that in consideration of other good and valuable

consideration and the sum of TWO ----- (\$2.00) ----- Dollars
of lawful money of Canada now paid by the said Grantee to the said
Grantor (the receipt whereof is hereby by her acknowledged),
the said Grantor doth Grant unto the said Grantee in fee simple.
All and Singular that certain parcel or tract of land and premises
situate lying and being in the Town of Mississauga (formerly
the Township of Toronto), in the County of Peel and being
composed of Village Lots 41 and 42 on the westerly side of
Mill Street according to the plan of the Village of
Meadowvale in the Town of Mississauga, registered in the
Registry Office for the County of Peel.

Dye & Durham
Limited
Toronto, Canada
Form 1 to 4

Deed of Land
Page 2 -- Dye & Durham

To have and to hold unto the said Grantee its ^{successors} ~~heirs~~ and assigns, to and for their sole and only use for ever. **Subject** ~~Notwithstanding~~ to the reservations, limitations, provisoes and conditions, expressed in the original grant thereof from the Crown.

Deed — Without Dower
Page 2 — Doe & Durham

The said Grantor Covenants with the said Grantee That she has the right to convey the said lands to the said Grantee notwithstanding any act of the said Grantor, subject only to any rights which may be claimed by the Grantee.

And that the said Grantee shall have quiet possession of the said lands, free from all encumbrances.

And the said Grantor Covenants with the said Grantee that she will execute such further assurances of the said lands as may be requisite.

And the said Grantor Covenants with the said Grantee that she has done no act to encumber the said lands.

And the said Grantor Releases to the said Grantee All her claims upon the said lands.

In Witness Whereof the said parties hereto have hereunto set their hands and seals.

Signed, Sealed and Delivered
IN THE PRESENCE OF

[Signature]

[Signature]
Ruth Lomas MacKendrick

AFFIDAVIT AS TO LEGAL AGE AND MARITAL STATUS

Northwest Territories
 PROVINCE OF ONTARIO } 1/1000 Ruth Lomas Mackendrick
 COUNTY OF PEEL } of the Town of Fort Smith,
 To Wit: in the ~~COMMONWEALTH~~ Northwest Territories

in the within instrument named, make oath and say that at the time of the execution of the within instrument,

1. I was of the full age of twenty-one years;

If Attorney
 are footnote.

EXAMINING

~~WHEREAS AND WHEREBY THE WITHIN INSTRUMENT~~ of the father of twenty-one years

2. I was legally married ~~as the person named therein as my wife or husband~~

~~as the person named therein as my wife or husband~~

SWORN before me at the Town of Port Smith
 of the Northwest Territories
 in the Northwest Territories
 this 19th day of December
 A.D. 1969

Ruth Lomas Mackendrick
 Ruth Lomas Mackendrick

A Commissioner for taking Affidavits, etc.

NOTE: If Attorney, substitute in space provided "I am Attorney for (State name) one of the parties named therein and he/she was of the full age of twenty-one years."

Affidavit, Land Transfer Tax Act
IN THE MATTER OF THE LAND TRANSFER TAX ACT

PROVINCE OF ONTARIO
 COUNTY OF

I,
 of the
 in the County of for the
 named in the within (or annexed) transfer make oath and say:

To Wit:

This affidavit may be made by the purchaser or vendor or by any one acting for them under power of attorney or by an agent accredited in writing by the purchaser or vendor or by the solicitor of either of them.

1. I am named in the within (or annexed) transfer.
2. I have a personal knowledge of the facts stated in this affidavit.
3. The true amount of the monies in cash and the value of any property or security included in the consideration is as follows:

(a) Monies paid in cash	\$
(b) Property transferred in exchange: Equity value	\$
Encumbrances	\$
(c) Securities transferred to the value of	\$
(d) Balances of existing encumbrances with interest owing at date of transfer	\$
(e) Monies secured by mortgage under this transaction	\$
(f) Liens, annuities and maintenance charges to which transfer is subject	\$
Total consideration	\$
4. If consideration is nominal, is the transfer for natural love and affection?
5. If so, what is the relationship between Grantor and Grantee?
6. Other remarks and explanations, if necessary

all
 marks
 must
 be
 filed
 in.

Sworn before me at the
 of
 in the County of
 this
 day of

A.D. 19

A Commissioner, etc.

NORTHWEST TERRITORIES
COUNTY OF PEEL

I, Patricia May Stevenson
of the Town of Fort Smith in the
District of Mackenzie

TO WIT:
make oath and say:

1. THAT I was personally present and did see the within or annexed Instrument and a duplicate thereof duly signed, sealed and executed by Ruth Lomas Mackendrick
of the parties thereto.

2. THAT the said Instrument and duplicate were executed by the said part y at the Town of Fort Smith

3. THAT I know the said part y

4. THAT I am a subscribing witness to the said Instrument and duplicate.

SWORN before me at the Town District of Fort Smith in the County of Mackenzie this 19th day of November A.D. 19 69

R. J. Taylor
A Commissioner for taking Affidavits, etc.

OF

TO WIT:

I, _____ of the _____ of _____ in the _____ of _____ make oath and say:

1. THAT I was personally present and did see the within or annexed Instrument and a duplicate thereof duly signed, sealed and executed by _____ of the parties thereto.

2. THAT the said Instrument and duplicate were executed by the said part _____ at the _____ of _____

3. THAT I know the said part _____

4. THAT I am a subscribing witness to the said Instrument and duplicate.

SWORN before me at the _____ in the County of _____ this _____ day of _____ A.D. 19 _____

A Commissioner for taking Affidavits, etc.

Dated 15th October, 19 69

RUTH LOMAS MACKENDRICK

TO

CREDIT VALLEY CONSERVATION
AUTHORITY

Address:

Deed of Land

SITUATE

in the Town of Mississauga,
in the County of Peel.One & Division Limited - Toronto, Canada
Printed in the Legal Profession

RETURN TO

Doris Davis Webb
HellmireLAWRENCE, LAWRENCE, STEVENSON & JACOBSON
BARRISTERS & SOLICITORS
204 QUEEN STREET WEST
TORONTO - ONTARIO

Number 128009 VS




I certify that the within Instrument is registered in the Registry Office for the Registry Division of the County of Peel, MISSISSAUGA at _____

For _____ at _____

28 NOV 1969 A.D.

Registrar

THIS SPACE TO BE RESERVED FOR REGISTRY OFFICE CERTIFICATES

Department	Role	Contact	Comments	Response
		Jenifer Giles 	▪	
		Aaron Schmidt 	▪	
		Aaron Schmidt	▪	
			▪	
		Sandra Neal 	▪	


			<div>□</div> <div>□</div>	
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		Ibrahim Dia	<div><div></div></div>	

			<div><div></div><div></div><div></div><div></div></div>	
		<div><div>Joanne Rogers</div><div></div></div>	<div><div></div></div>	
			<div><div></div></div>	
		<div><div>Helena Turkiewicz</div><div></div></div>	<div><div></div></div>	

		Greg Phelps	▫	
		Greg Straatsma	▫	
			▫	
		Amar Singh	▫	
		Cameron Maybee	▫ ▫	

		<div><div>Michael Votruba</div><div></div></div>	<div><div></div><div></div><div></div></div>	
		Caleigh McInnes		
		Debbie Sheffield		
		<div><div>Michael Votruba</div><div><div>Michael Votruba</div></div></div>	<div><div></div><div></div><div></div><div></div></div>	

			▪	
		Angelo Ambrico 	<div>▪</div> <div>▪</div> <div>▪</div> <div>▪</div> <div>▪</div> <div>▪</div>	
		Tony Iacobucci		
		Trevor Swift		

		Ghazwan Yousif		
		Linda Wu Linda Wu Linda Wu	<ul style="list-style-type: none">▪▪	
		Alana Tyers		

APPENDIX G: URBAN DESIGN STUDY & ADDENDUM 1**7060 Old Mill Lane**
Urban Design Study

Prepared by: Credit Valley Conservation

December 2018
Revised June 2019

1.0 | Introduction

Credit Valley Conservation (CVC) is currently pursuing a zoning by-law amendment (OZ 18/004) for 7060 Old Mill Lane. The proposed new zoning (PB1-12, modeled on R1-32) would permit the construction of one detached dwelling and accessory structures (eg. garage). The City of Mississauga has provided coordinated agency comments on the zoning application to CVC. This report addresses six (6) specific comments from Michael Votruba, Urban Designer for the Planning and Building department, City of Mississauga (See Table 1).

Furthermore, this report is in response to a request from the City of Mississauga to complete an urban design summary that outlines the parameters of a potential new dwelling that could be constructed on 7060 Old Mill Lane. This report is structured according to the Terms of Reference outlined by Mr. Votruba via email correspondence with CVC dated May 7, 2018.

The purpose of the 7060 Old Mill Lane Urban Design Study is to highlight potential architectural styles, massing, form and materials for a potential new dwelling at 7060 Old Mill Lane. The examples and recommendations in this study are not meant to be prescriptive of the final built form of the proposed dwelling; rather, it is intended that this document will be read as a guideline to inform future potential development.

Table 1: City of Mississauga Comments, Planning and Building, Urban Design

ID	Comment
UD001	<p>OP & OZ - The recommendation report is to note that site plan development applications for the property will be reviewed on the basis of the Meadowvale Village Official Plan Policies (Section 16.17 of the Official Plan) and the design criteria contained within the Meadowvale Village Heritage conservation District Plan, 2014; as well as the development regulations for the R1-32 Zone contained with Zoning By-law 0225-2007.</p> <p>CVC Response: Acknowledged.</p>
UD002	<p>Rear Yard Setback - To maintain the character of the existing neighbourhood context increased setbacks are recommended from the rear yard to match the rear setback of the residential lots to the north and south. Align the proposed building envelope to better match the depth of the adjacent lots to the north and south with a similar building footprint and larger rear yard setback of 15.0 meters.</p> <p>CVC Response: Acknowledged. In Section 6 of this report, potential site layouts are presented showing a minimum setback of 15m from the rear of the proposed dwelling to the lot line. The proposed layouts show theoretical site plans that match and are compatible with adjacent residential lots. Note that the total proposed development envelope extends beyond the rear wall of the proposed dwelling to allow for the construction of other landscape features.</p>

UD003	<p>Development Envelope - The Meadowvale Conservation District Plan requires development that is modestly sized and has the characteristics of a rural community with low volume lot coverage retaining large diameter trees. According to R1-32 zoning maximum GFA is 160 square meters plus 0.10 times the lot area or 316.9 square meters. It is recommended that the proposed development envelop of 602 square meters be reduced to be consistent with the MCDP and R1-32 Zoning Requirements. Reduce the proposed development area to strategically retain large diameter trees located at the rear of the site.</p> <p>CVC Response: Acknowledged. The development envelope has been reduced to 450 square metres, and has been adjusted to retain the large diameter trees located at the rear of the site. The development envelope is appropriately sized to contain a new dwelling with a maximum GFA of 316.9 square metres, an accessory garage structure with a maximum footprint of 50 square metres, and additional landscape features. See proposed site layout maps in Section 6 of this report.</p>
UD004	<p>Side Yard Setback - Note proposed alternate public access is provided north of the property. It is recommended that a greater side yard setback be provided to maintain the natural characteristics of the site and experience of the public access to the Meadowvale Conservation Area. The adjacent lot to the north provides a greater setback to this lot line. Increasing the side yard setback to improve the character of the proposed development and relationship to the adjacent property is recommended. Provide a minimum 7.5 meter setback to the proposed public access. Note that the underlying R1 zoning requires a minimum exterior side yard setback of 7.5 meters.</p> <p>CVC Response: The proposed site layouts presented in Section 6 of this report show that the potential new dwelling will have a side yard setback to the north of at least 7.5 metres. A modestly sized garage will have a side yard setback to the north of less than 7.5 metres, but will be appropriately sited on the lot to maintain open views on the lot. Note that the adjacent lot to the north (7070 Old Mill Lane) has a side yard setback of 5.4 metres to the south and 0.9 metres to the north, so the proposed side yard setbacks for a dwelling at 7060 are greater than at 7070.</p>
UD005	<p>Urban Design Summary - As per the Heritage Impact Assessment provided by Su Murdoch Historical Consulting dated August 2017 it is recommended that the future development be designed in the 1840 to 1860 architectural style traditions of Ontario, with an emphasis on Georgian Revival, Regency, and early Gothic Revival. Urban design would to review a design summary with illustrations and photos that describe the design intent of the proposal. In the summary provide the proposed height of the development, slope of roofs, roof type, and proposed architectural features of development. Note that R1-32 does not permit flat roofs and the maximum permitted height is 7.5 meters to the highest roof ridge.</p>

	<p>CVC Response: Acknowledged. The potential new dwelling at 7060 Old Mill Lane should be designed in an appropriate architectural style as outlined in the Heritage Impact Statement. Potential compatible design elements are presented in Section 3 of this report. Further detail on any proposed development on the site, including building height, slope off roof, roof type and architectural features will be presented by a consulting architect during a future site plan submission. At this time, CVC is intending only to confirm zoning amendment and lot line adjustment for 7060 Old Mill Lane in advance of the sale of the property.</p>
UD006	<p>Parking - Note R1-32 requires a maximum driveway width of 3.0 meters and a detached garage with a maximum floor area of 50 square meters. An attached garage is not permitted. Greater detail is required to review the proposed location of the detached garage. Provide the proposed location and all dimensions of the detached garage and driveway on the lot configuration plan and grading plan.</p> <p>CVC Response: Acknowledged. See Maps in Section 6 for potential locations of an accessory garage structure. Note that the garage will not extend beyond the front wall of any potential dwelling, and will be sited appropriately to balance the need to retain large diameter maple trees in the rear of the lot, and maintain open views to the east and north of the lot.</p>

2.0 | Meadowvale Village HCD Compatibility

The 2014 Meadowvale Village Heritage Conservation District Plan states that the “style, massing, form, and materials [of new structures] should be subject to the historic pattern of construction throughout the Village” (City of Mississauga, 2014b, p. 52). The style should be reflective of the vernacular style, but not mimic any particular style. Rather, the structure should be reflective of “its own era”. Garages are to be simple and utilitarian.

In the Heritage Impact Assessment prepared for CVC, Su Murdoch states that while the current trend for new structures in the Heritage Conservation District is to construct Victorian Gothic-style dwellings, this building style is not appropriate for 7060 Old Mill Lane considering the “traditional built form in this stretch, [...] arguably the oldest and most significant part of the MHCD.”

Ms. Murdoch points to three nearby dwellings as being built in appropriate and compatible architectural style. Note that these examples are not meant to be prescriptive about the proposed dwelling at 7060 Old Mill Lane, and that the new structure will not mimic these architectural styles, but rather be constructed in a reflective and appropriate style with compatible massing, form, and materials.

The three examples listed in the Heritage Impact Assessment are:

1. 7050 Old Mill Lane (Figure 1)
 - 1840s dwelling
 - broad, 1.5 storey massing
 - design is a blend of the founding style of Upper Canada, Georgian Revival, and an early Gothic Revival style as evident in the pointed gable and lancet window
2. 7070 Old Mill Lane (Figure 2)
 - 1860s dwelling
 - original form influenced by Georgian Revival
 - 2001 makeover is a modern interpretation that has elements of 20th century Arts and Crafts or Craftsman styling
3. 7076 Old Mill Lane (Figure 3)
 - modest, Gothic Revival style dwelling
 - circa 1880 addition to the older west side of Mill Street



Figure 1: 7050 Old Mill Lane



Figure 2: 7070 Old Mill Lane



Figure 3: 7076 Old Mill Lane

3.0 | Urban Design Guidelines for New Dwellings, Replacement Housing, and Additions Compatibility

In the Heritage Impact Statement for 7060 Old Mill Lane, Su Murdoch outlines recommended style, form and massing for a new dwelling. The recommendations are as follows:

"To maintain the 1840s to 1860s integrity of this streetscape, the choice of style of any new dwelling at No. 7060 is best rooted in Georgian Revival, Regency, and early Gothic Revival. Each of these styles has the characteristics of balance, symmetry, low profile roofs, and deep eaves, in one to two storey forms. Multi-paned double hung and/or casement style window sashes were standard. The focal point of the front façade is the door case, often with glazed and/or panelled sidelights and transom, side pilasters, moulded cornices. Verandahs or porticos were standard features. Roughcast plaster, horizontal clapboard, and monochromatic brick were common exterior finishes." (Murdoch, 2017 p. 28-29)

Three photographic examples of potential design elements with short descriptions for the new dwelling are provided below. The design elements summarized are as listed in Section 2 (Design Guidelines) of the Urban Design Guidelines for New Dwellings, Replacement Housing, and Additions (City of Mississauga, 2018a).

A. Scale and Character

- House design to fit with scale and character of local area
- Repeat designs are discouraged
- New dwellings should fit with scale and character of site and context



Figures 4, 5, 6. Clockwise from top left: 7057 Pond Street, 7076 Old Mill Lane, 7070 Old Mill Lane

The above examples feature typical and compatible scale and character. 7057 Pond Street is a new dwelling (in-fill) built in 2003 using compatible scale form and materials. It is a 1.5 storey dwelling, and is set back from the roadway to maintain the open space character of the village. 7076 Old Mill Lane is a 1.5 storey dwelling, with appropriate setbacks and open space to the north of the house. 7070 Old Mill Lane is a 1.5 storey building with a slight setback to allow for open views.

B. Massing

- Preserve and enhance front, rear and side setbacks
- Massing should relate to adjacent lots
- New houses should not have detrimental impact on immediate neighbours



Figures 7, 8, 9. Clockwise from top left: 7053 Pond Street, 7091 Pond Street, 7050 Second Line West

The above massing examples show typical massing and built form representative of the open space character of Meadowvale Village. 7053 Pond Street is located on a corner lot and features significant open space to the south of the dwelling. 7091 Pond Street is a 1.5 storey dwelling, featuring a slight setback with mature trees and open space in the front of the lot. 7050 Second Line West has a more shallow setback, but still maintains an open space character through open green space to the north and south of the building.

C. Building Height

- Encourage buildings to be 1 to 2 storeys in height
- Design should de-emphasize height and include elements such as dormers and bay windows
- A single 2-storey wall, or other 2-storey design elements are to be avoided



Figures 10, 11, 12. Clockwise from top left: 7057 Pond Street, 7135 Pond Street, 7143 Pond Street

The above building height examples are all 1.5 to 2 storey new buildings that were designed with compatible scale and design features. Design elements such as bay windows and wall dormers, as well as open front porches act to de-emphasize the building height. The above examples are also comparable heights to their adjacent lots.

D. Materials

- Materials for new construction should be compatible with the existing community
- The following materials were identified in the Heritage Impact Assessment as being compatible with the Georgian Revival, Regency, and early Gothic Revival styles that characterize the village. Note, these examples are not meant to be prescriptive of the final building design:
 - Multi-paned double hung and/or casement style window sashes
 - Focal point at door case, including glazed or panelled sidelights and transom, side pilasters, and moulded cornices

- Verandahs or porticos
- Exterior finishes of roughcast plaster, horizontal clapboard, or monochromatic brick



Figures 13, 14, 15. Clockwise from top left: 7070 Old Mill Lane, 7076 Old Mill Lane, 7025 Pond Street

The above examples illustrate typical building materials and style that may be incorporated in the proposed new dwelling at 7060 Old Mill Lane. 7070 Old Mill Lane features a stucco / plaster over a stacked plank structure. 7076 Old Mill Lane features an enclosed verandah. 7025 Pond Street is clad in horizontal wood siding, and features an open porch. The porch was recreated, but was recreated in a style that is compatible with the existing house.

E. Grades

- Grading should be compatible with the finished grades of neighbouring properties
- Existing grades should be maintained if possible, especially adjacent to tree preservation areas



Figures 16, 17, 18. Clockwise from top left: 7050 Old Mill Lane (c.1976), Intersection of Old Mill Lane and Pond Street, rear yard of 7060 Old Mill Lane, 7070 Old Mill Lane.

The above examples show examples of typical grades in Meadowvale Village. The top left photo shows 7050 Old Mill Lane in 1976, with a gently sloping grade, mature trees and large open views. The photo of the intersection of Old Mill Lane and Pond Street, near 7060 Old Mill Lane, shows the open space character and gradual grades that characterize the area. 7070 Old Mill Lane show to the open front yard and rural character of the neighbourhood. The bottom right photo shows the current rear yard of 7060 Old Mill Lane, showing the gently sloping grade and sugar maple trees on the lot.

F. Garages

- Garages should be recessed or located in the rear of the property



Figures 19, 20, 21. Clockwise from top left: 1045 Old Derry Road, 7053 Pond Street (Original Drive Shed c. 1990), 7057 Pond Street.

The above dwellings feature detached and recessed garages that are typical of Meadowvale Village. The top right photo shows the original drive shed at 7053 Pond Street, which is located in the rear of the lot and incorporated into the existing landscape.

G. Driveways

- The amount of paved surfaces should be limited
- Paved surfaces should not result in additional parking spaces in front of a dwelling



Figures 22, 23, 24. Clockwise from top left: 7135 Pond Street, 7143 Pond Street, 1115 Willow Lane.

The above dwelling examples are all recent infill dwellings, but feature appropriate and in-character recessed garages and unobtrusive driveways that meet the width requirements of the heritage district.

H. Natural Environmental Preservations

- Existing trees and landscape features (stone walls, fences, hedgerows) should be preserved and protected



Figures 25, 26, 27. Clockwise from top left: 7057 Pond Street, 7040 Second Line West, 7050 Second Line West (addition).

The above new dwellings and additions illustrate successful tree and landscape feature preservation. Trees on the existing lot at 7057 Pond Street were preserved. A mature conifer tree and stone landscape feature were preserved at 7040 Second Line West. An addition at 7050 Second Line West was completed in a compatible style and did not adversely impact the natural environment.

4.0 | Figure Ground of the Neighbourhood

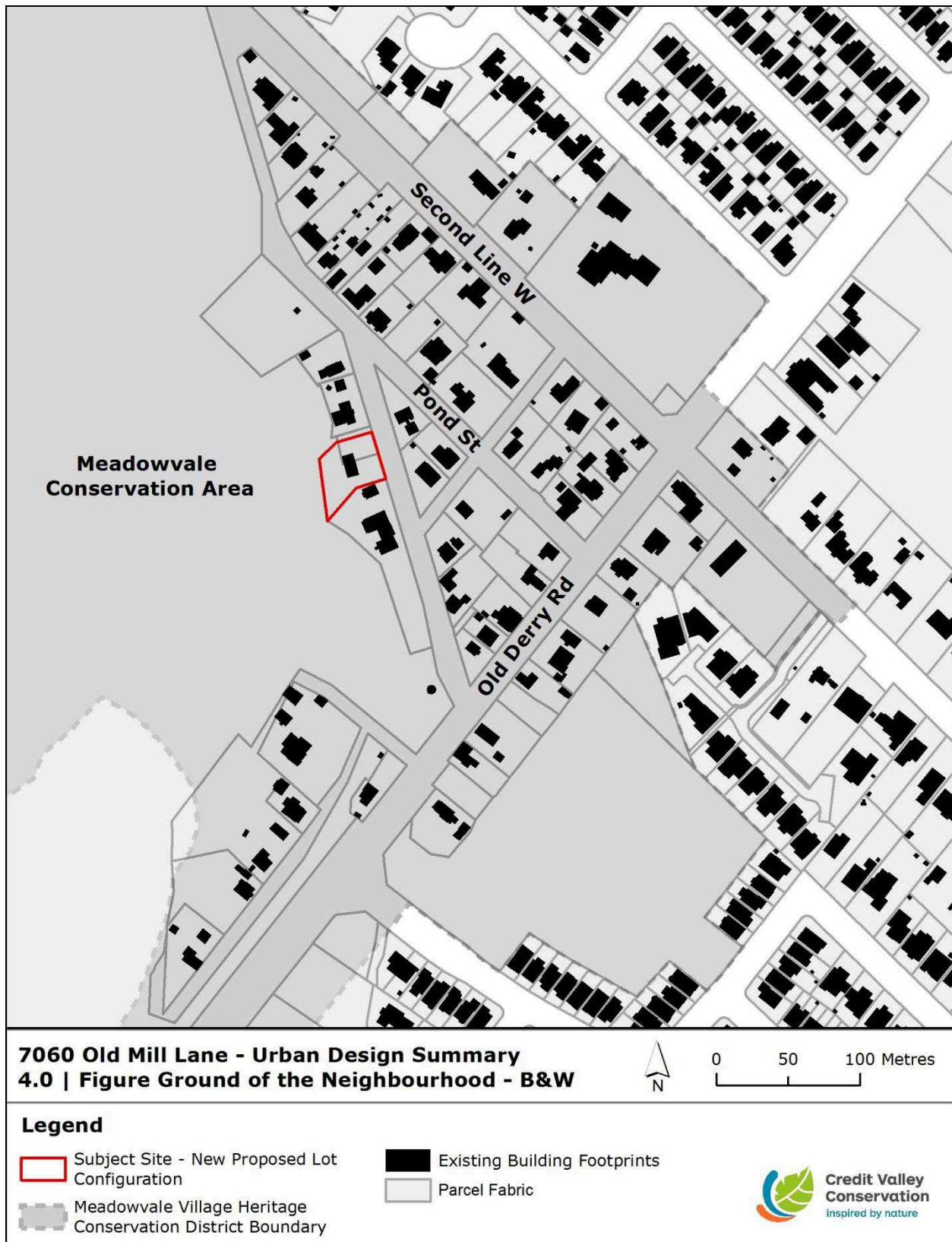
7060 Old Mill Lane is located within the Meadowvale Village Heritage Conservation District Boundary. The property abuts Meadowvale Conservation Area to the west (See Map 1, 2, and 3). There are 3 other dwellings on the west side of Old Mill Lane, each featuring large irregular lots. A one storey frame structure garage current exists on the property, which is used by Credit Valley Conservation (CVC) to house equipment, tools and supplies. The building is recessed deep onto the lot, and there is a large gravel area in front of the structure for CVC service vehicles. The rear of the garage has had previous disturbance associated with maintenance/staging for various CVC programs, including a rear access driveway and garage door with outdoor storage.



Figure 28: Rear yard of 7060 Old Mill Lane



Map 1: Figure Ground of the Neighbourhood



Map 2: Figure Ground of the Neighbourhood Massing Model



Map 3: Figure Ground of the Neighbourhood - Detail

5.0 | Figure Ground Analysis of Adjacent Houses

A figure ground analysis of 3 adjacent houses was completed for the following properties:

- Building A: 7070 Old Mill Lane
- Building B: 7057 Pond Street
- Building C: 1033 Barberry Lane

An additional 5 properties were also summarized to provide greater neighbourhood context. There properties are:

- D: 7050 Old Mill Lane
- E: 1045 Barberry Lane
- F: 7076 Old Mill Lane
- G: 7053 Pond Street
- H: 7040 Second Line West

The results of the figure ground analysis are summarized below. Full analysis results are presented in Table 2 and Table 3.

5.1 | House Foot Print Areas

The house foot print areas of the adjacent houses range between 130 square metres and 400 square metres, with most dwellings in the range of 200 to 250 square metres. This represents between 10% and 30% of the total lot area, depending on the size of the lot.

The foot print area calculation represents a rough approximation of the first floor area, and is not the same as the Gross Floor Area (GFA). GFA as defined by the City of Mississauga is:

“the sum of the areas of each storey of a building, structure or part thereof, above or below established grade, excluding storage below established grade and a parking structure above or below established grade, measured from the exterior of outside walls, or from the mid-point of common walls” (City of Mississauga, 2018).

Most heritage dwellings in the Meadowvale Heritage District are 1.5 storeys, which would imply that the GFA would be 400 to 500 square metres or greater if there is a furnished basement.

5.2 | Lot Open Areas

A review of adjacent properties show that open lot areas, excluding dwellings and accessory structures such as garages range between 600 to 2500 square metres. Open lot area accounts for 65% to 90% of the adjacent lots. Three adjacent lots are above 1500 square metres, allowing for ample open area on the lot.

5.3 | Building Depth and Width

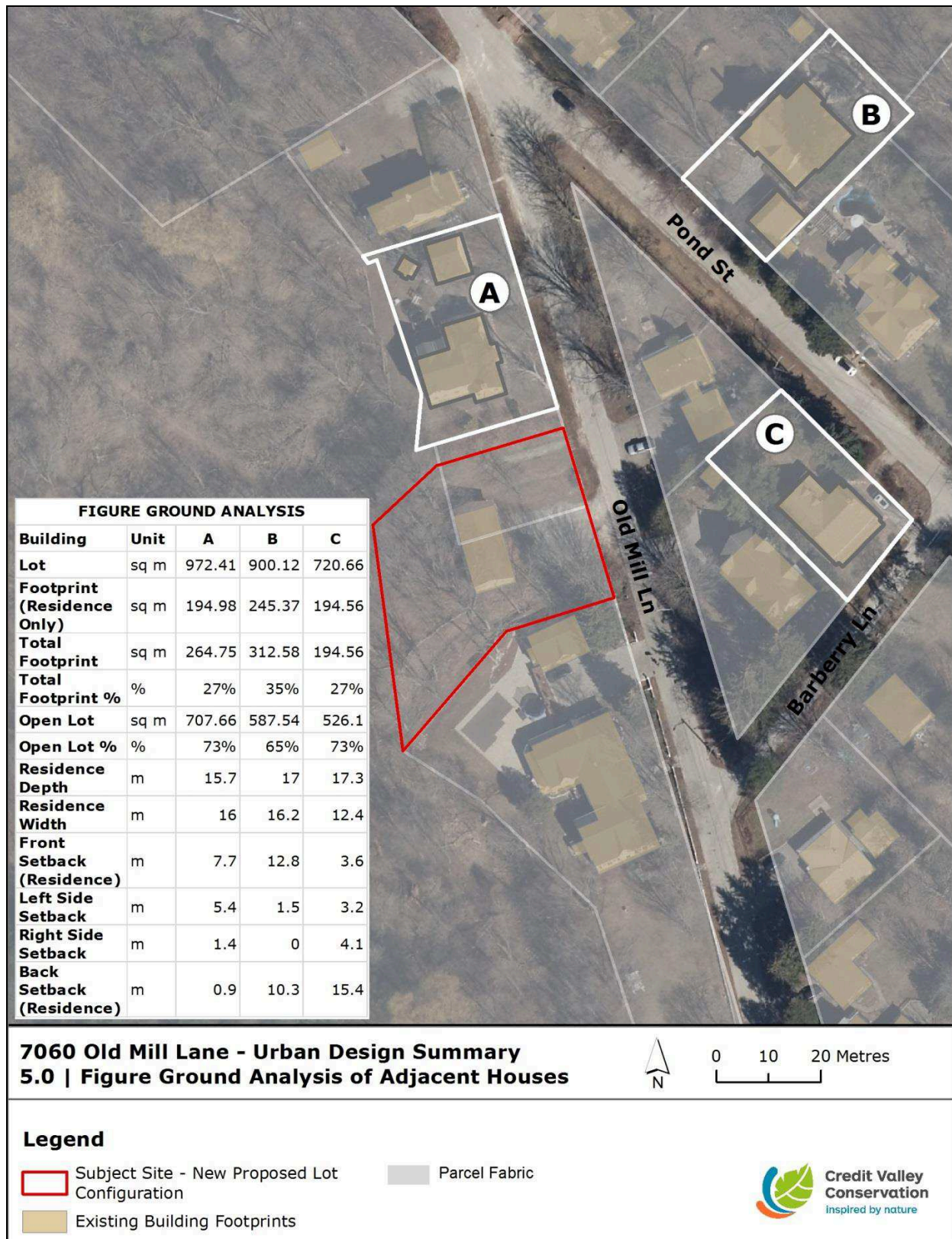
Building depths are around 18 metres, and building widths are variable depending on the lot configuration. Widths are typically around 16 metres, but some dwellings are very narrow (8 metres) or wide (24 metres).

5.4 | Setbacks Front, Rear, and Sides

The front, rear and side setbacks of adjacent properties are highly variable. Front setbacks from the lot line are typically between 4 and 7 metres.

Rear setbacks are highly variable; on larger lots, setbacks are up to 15 metres, but smaller lots can have very shallow setbacks (5 metres to less than 1 metre).

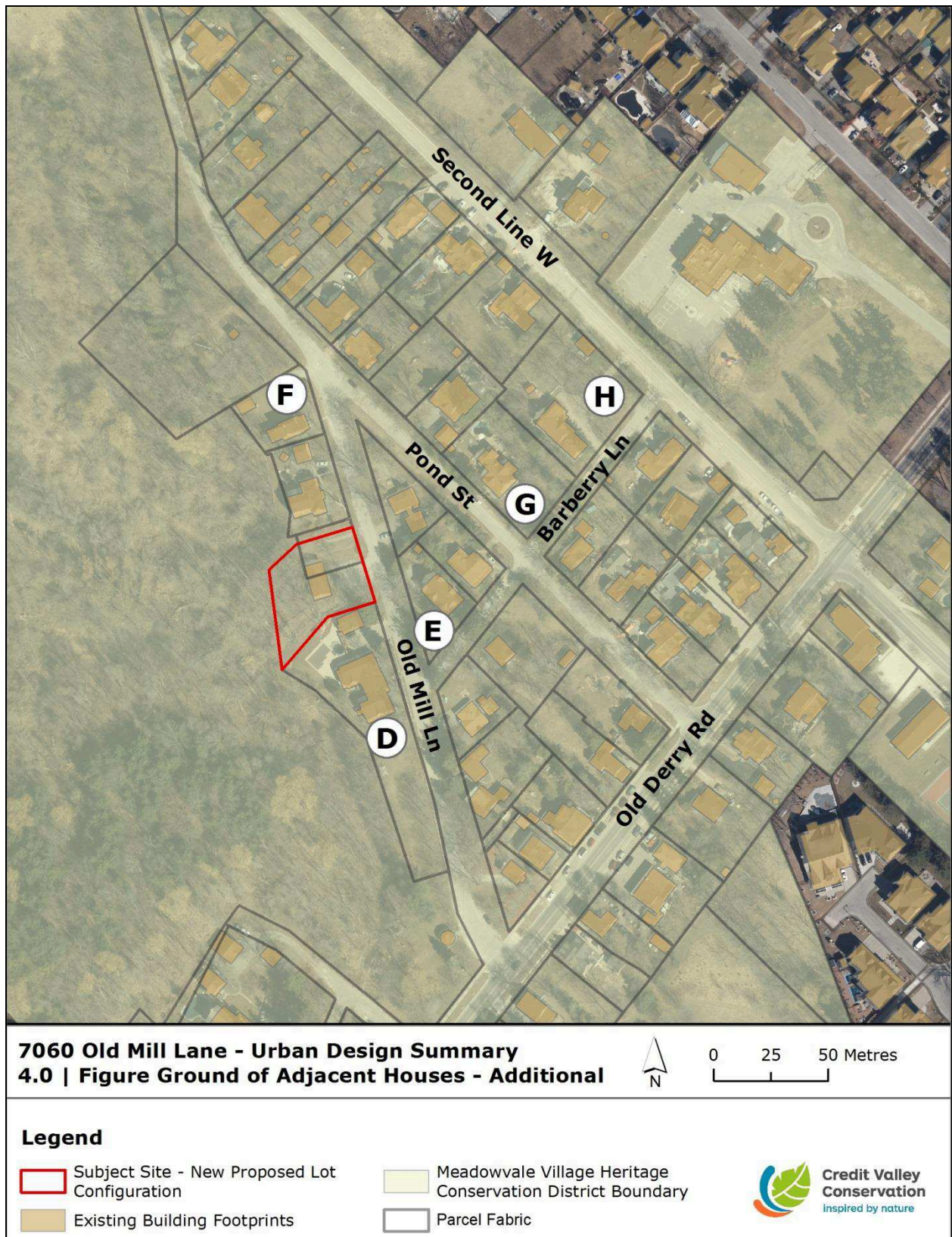
Side setbacks are also highly variable depending on the size of the lot. Some site setbacks are very large (over 20 metres). On smaller lots, side setbacks are very small, typically less than 5 metres, with some lots having minimal or negligible setbacks on either the left or right side.



Map 4: Figure Ground Analysis of Adjacent Houses – Buildings A - C

Table 2: Figure Ground Analysis of Adjacent Houses (See Map 4)

Address	Description and Heritage Features	Relative to Proposed Lot	Lot Area (sq m)	Open Lot Area (sq m)	Building Footprint (sq m)	Building Depth and Width (m)	Min. Setbacks (m)	Additional Structures (sq m)
Analysis of 3 Adjacent Houses								
Building A: 7070 Old Mill Lane	The Boathouse, c. 1860. Structure, size, shape, massing, form, stack plank construction. Slight setback with open views.	Directly north of proposed lot	972	708 (72.8%)	195 (20.1%)	16 w 15.7 d	Front (7.7) Right (1.4) Left (5.4) Rear (0.9)	57 (5.9%) 12 (1.2%)
Building B: 7057 Pond Street	New lot from Apple Tree Inn, c. 2003. Compatible scale, form and materials. Setback and open space.	One street east of proposed lot	900 <i>(1805 sq m including 7061 Pond)</i>	588 (65.3%)	245 (27.2%)	16.2 w 17 d	Front (12.8) Right (0) Left (1.5) Rear (10.3)	67 (10.8%)
Building C: 1033 Barberry Lane	1832 farmhouse relocated from Richmond Hill. Prior mid-century bungalow demolished in 1998. Typical of 1830 period, stucco finish, window pattern.	One street east of proposed lot	721	526 (73%)	195 (27%)	12.4 w 17.3 d	Front (3.6) Right (4.1) Left (3.2) Rear (15.4)	None



Map 5: Figure Ground of Adjacent Houses – Additional Buildings D - H

Table 3: Figure Ground Analysis of Additional Lots (See Map 5)

Address	Description and Heritage Features	Relative to Proposed Lot	Lot Area (sq m)	Open Lot Area (sq m)	Building Footprint (sq m)	Building Depth and Width (m)	Min. Setbacks (m)	Additional Structures (sq m)
Additional Adjacent Houses								
D: 7050 Old Mill Lane	Silverthorn House, c. 1844. Materials, style, shape, windows, form. Location on property and open vistas	Directly south of proposed lot	3098	2603 (84.0%)	405 (13.1%)	28 w 18 d	Front (4.6) Right (20.5) Left (71.5) Rear (5.5)	81 (2.6%)
E: 1045 Barberry Lane	Former "three corners" open space, c. 1992. Overall size and location is compatible	Directly to south east of proposed lot	886	696 (78.6%)	177 (20.0%)	16.5 w 11 d	Front (5.8) Right (5.6) Left (16.5) Rear (2.5)	13 (1.4%)
F: 7076 Old Mill Lane	Post Office c. 1880. Size, shape, form, massing, materials. Open space to north and clear view of side façade.	Two properties north of proposed lot	909	738 (81.2%)	131 (14.4%)	8 w 18 d	Front (5.4) Right (17.2) Left (2) Rear (5)	40 (4.4%)
G: 7053 Pond Street	Cheyne / Apple Tree Inn, c. 1858. Shape, form, style, materials, stacked plank construction. Open space to south.	One street east of proposed lot	1728	1511 (87.4%)	208 (12.0%)	19 w 14.5 d	Front (4) Right (20) Left (12) Rear (15)	9 (0.5%)
H: 7040 Second Line West	Former school, c. 1990. Location near original structure, cobble gates, open space to east and north, size, shape, form, materials in vernacular style	Two streets east of proposed lot	2373	2067 (87.1%)	249 (10.5%)	24 w 13 d	Front (28.8) Right (22) Left (5.5) Rear (4.8)	45 (1.9%) 12 (0.5%)

6.0 | Figure Grounds of Potential Buildings on 7060 Old Mill Lane

Three potential site layouts of new dwellings at 7060 Old Mill Lane are presented below. These site layouts are conceptual only and meant to illustrate how potential development may be compatible with new dwelling guidelines and the Heritage Conservation District Plan.

6.1 | Site Layout

To create the potential site layouts, the building footprints of 7070 Old Mill Lane, 7057 Pond Street, and 1033 Barberry Lane were placed on the site (Maps 6, 7, and 8). A modest garage of 41 square metres was also sited on the. The proposed layouts show the dwelling and garage within a 450 square metre development envelope. The development envelope has been modified (i.e. reduced from original submission) to accommodate the retention of a mature sugar maple tree at the rear of the lot. All proposed grading and landscape work would be constrained within the development envelope.

6.2 | Maximum Footprint

According to R1-32 zoning maximum GFA is 160 square meters plus 0.10 times the lot area or 316.9 square meters. Additionally, the maximum floor area of a separate accessory garage structure would be 50 square metres.

In comparison to adjacent dwellings, a gross floor area of 316.9 square metres is very restrictive when accounting for a finished basement and second building storey. To meet these restrictions, a new 1.5 storey dwelling would be confined to a 200 square metre footprint with a minimal basement area.

6.3 | Open Areas

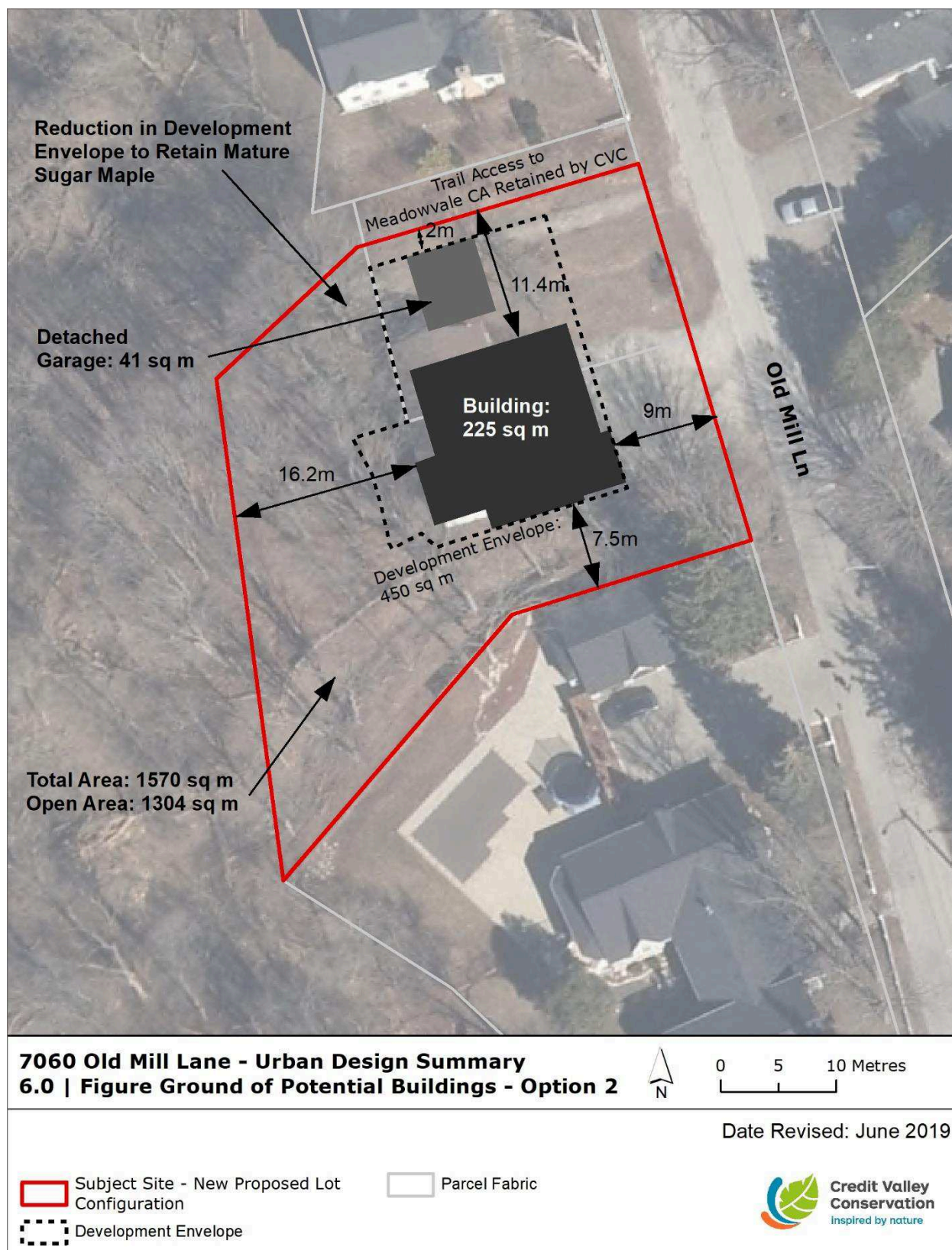
The total adjusted lot area of 7060 Old Mill Lane is 1570 square metres. Open areas (excluding dwelling and garage footprint) are between 1330 square metres and 1300 square metres in the proposed layout. This accounts for 83% to 85% of the total lot area, which is representative of the adjacent lots.

6.4 | Setbacks

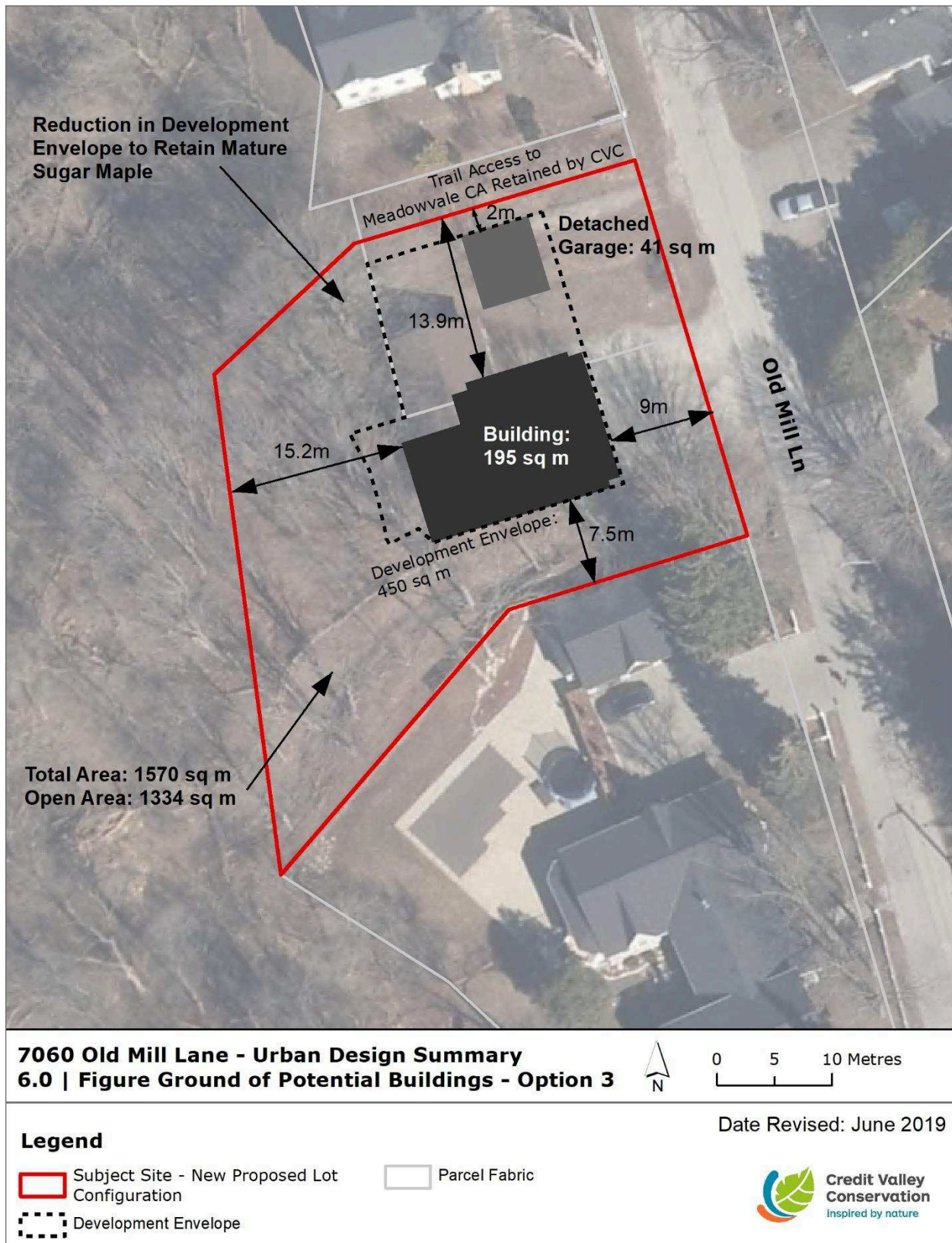
The dwelling is setback 9 metres from the front lot line, and at least 15m from the rear lot line. Additionally the dwelling is set back at a minimum of 7.5 metres from the side lot line. The potential garage would have a setback of less than 7.5 metres; however, it is typical of almost all adjacent properties to have a reduced setback for accessory structures. The garage would have a footprint under 50 metres square, and would not extend beyond the front wall of the building, allowing for open views onto the property from either side.



Map 6: Figure Ground Option 1 (Footprint of Building A: 7070 Old Mill Lane)



Map 7: Figure Ground Option 2 (Footprint of Building B: 7057 Pond Street)



Map 8: Figure Ground Option 3 (Footprint of Building C: 1033 Barberry Lane)

7.0 | Recommendations

This report presents the following recommendations for compliance with the Meadowvale Village HCD, and Replacement housing Urban Design Guidelines:

- A potential new dwelling will have a minimum front setback of 9 metres, rear setback of 15 metres, and side yard setback of 7.5 metres.
- A potential new dwelling will have a GFA of 316.9 square metres.
- A potential new dwelling will be designed in the 1840 to 1860 architectural style traditions of Ontario, with an emphasis on Georgian Revival, Regency, and early Gothic Revival, and will feature style, form, and material that are compatible with other buildings in Meadowvale Village as outlined in Section 3 of this report.
- A potential garage will have a total footprint of less than 50 square metres and will be sited appropriately to maintain open views of the lot, and to reduce impact on large diameter maple trees in the rear of the lot.
- All development will be within the 450 square metre development envelope, and existing large diameter trees and heritage landscape features will be preserved.

References

- City of Mississauga (2014a). Urban Design Guidelines: New Dwellings, Replacement Housing, and Additions
- City of Mississauga (2014b). Meadowvale Village Heritage Conservation District Plan, 2014.
- City of Mississauga (2014c). Property Inventory, Schedule B.1
- City of Mississauga (2014d). Cultural Heritage Assessment of Meadowvale Village and Area, Schedule B.2
- City of Mississauga (2018). Definition: Gross Floor Area.
<http://www.mississauga.ca/portal/pb/grossfloorarea>
- Su Murdoch (2017). Heritage Impact Assessment: 7060 Old Mill Lane, City of Mississauga.

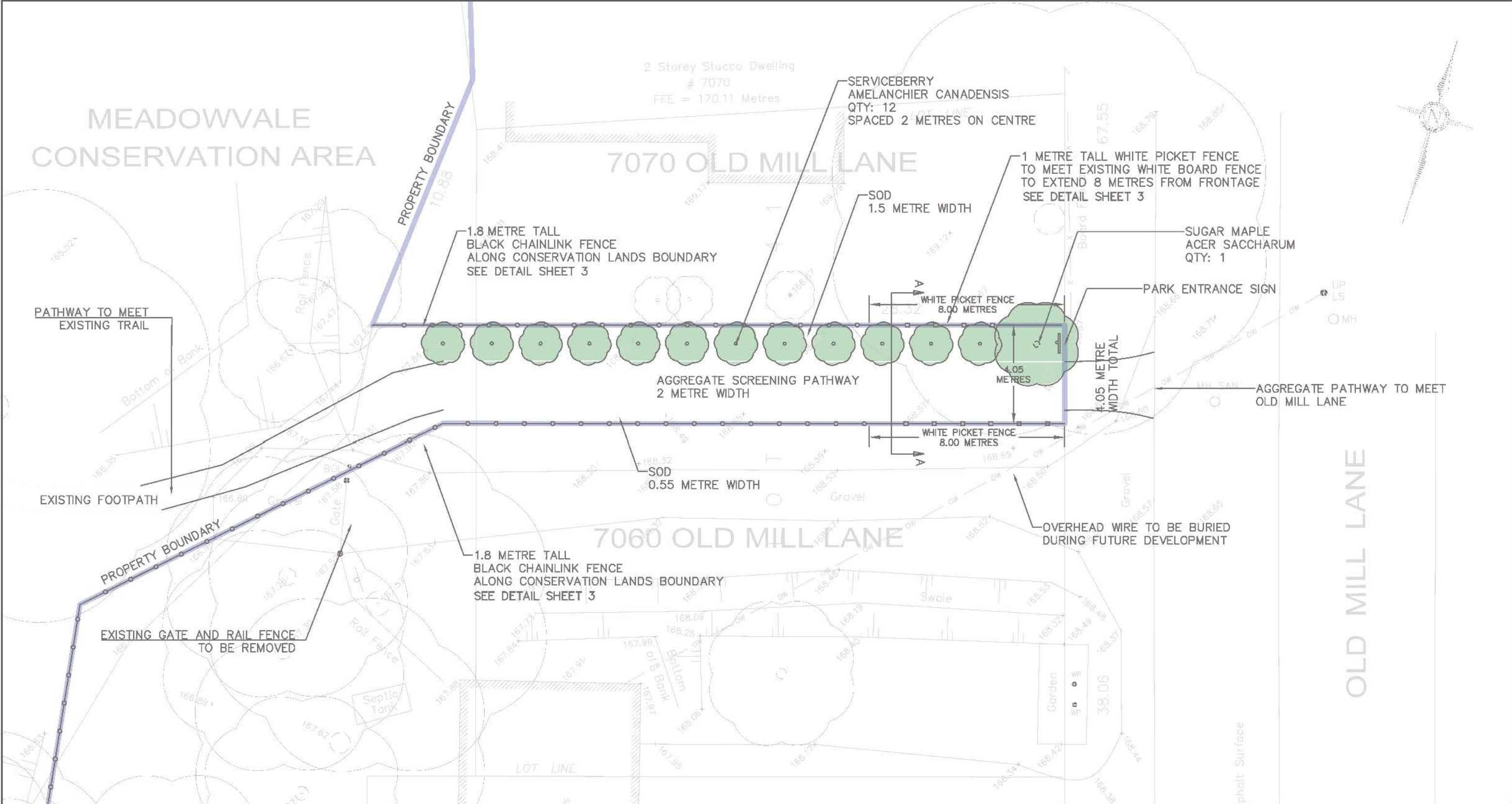
APPENDIX H: ENDNOTES

¹ In July 1845, Beatty sold 120 acres to William Neelands for £500.

² The MHCD history also notes that Crawford was not the only settler interested in milling at Meadowvale: “In 1836, John Simpson arrived in southern Ontario from Yorkshire, England and bought 300 acres of land on what is now the south side of Old Derry Road from Second Line West to Creditview Road. In 1837, Simpson succeeded in damming the Credit River sufficiently to operate Meadowvale’s first commercial saw mill. Simpson built it on Lot 10, Concession 3, all of which Simpson owned. . . . Simpson also operated a carding mill on his property at about the same time. There is no mention of this carding mill in any source after 1840, so it appears he ceased operations to focus on the saw mill. . . .”

³ The 1877 atlas gives 1831 as the date Crawford built his sawmill.

⁴ In 1832, William Gooderham co-founded with his brother-in-law James Worts, the Gooderham & Worts milling business along the Don River in Toronto. James committed suicide in 1834, leaving William as the sole proprietor. James’ son, James Gooderham Worts, joined as a partner in 1845. In 1859, the company founded a large distillery on Toronto’s waterfront.



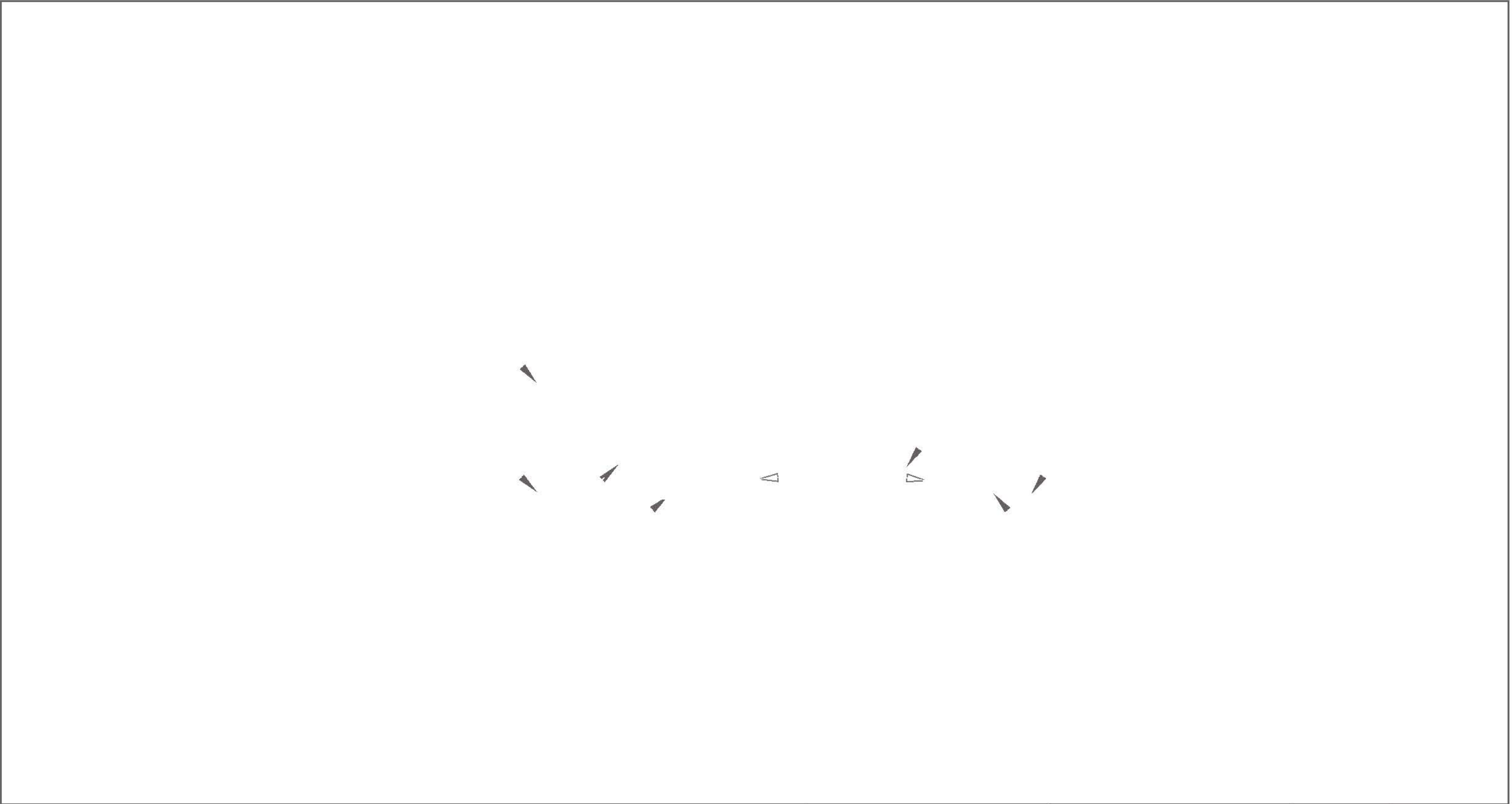
PRELIMINARY

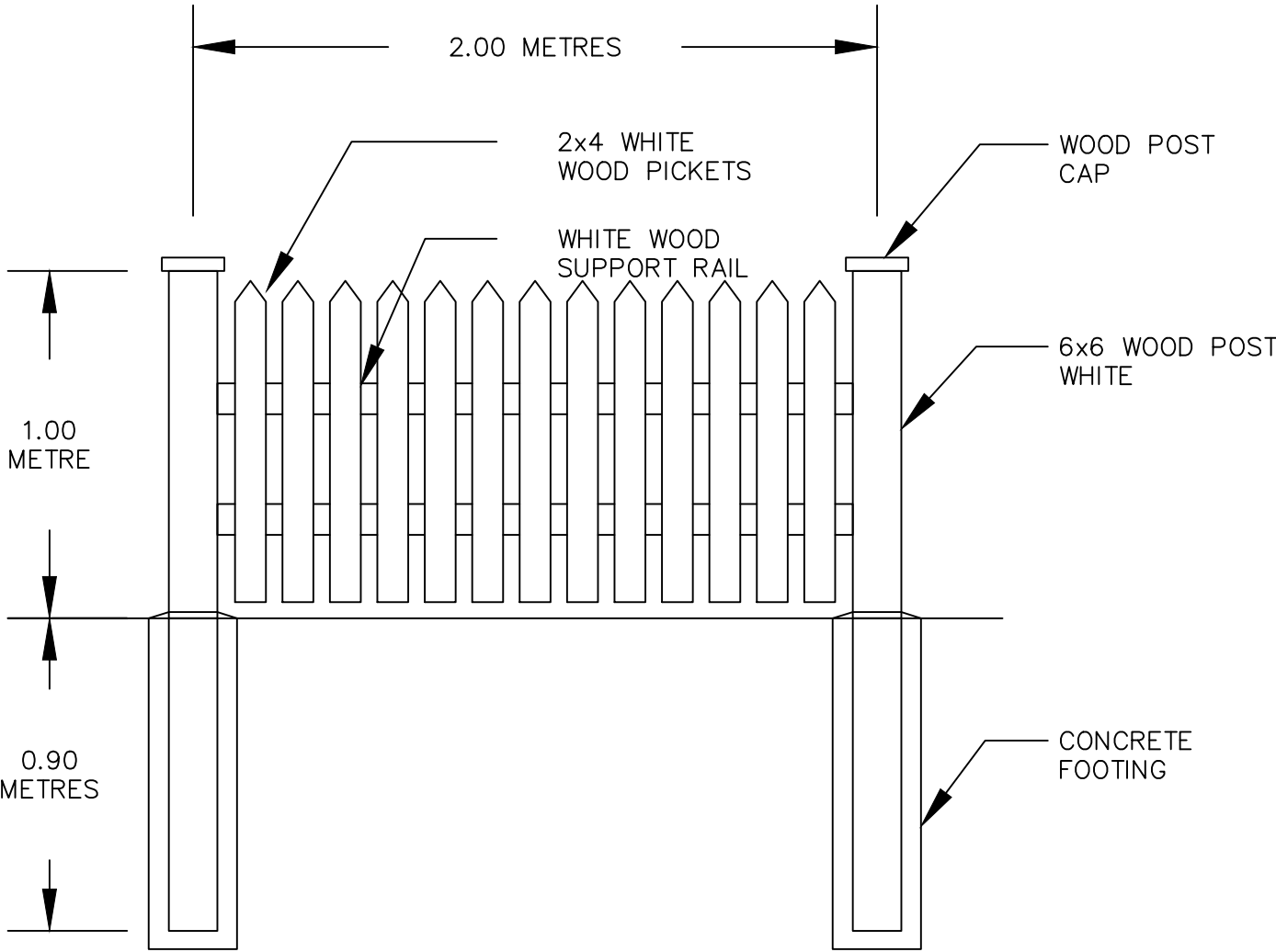
7060 OLD MILL LANE
CONSERVATION AREA ACCESS
TRAIL CONCEPT SKETCH

LANDSCALE PLAN
SCALE
1:150

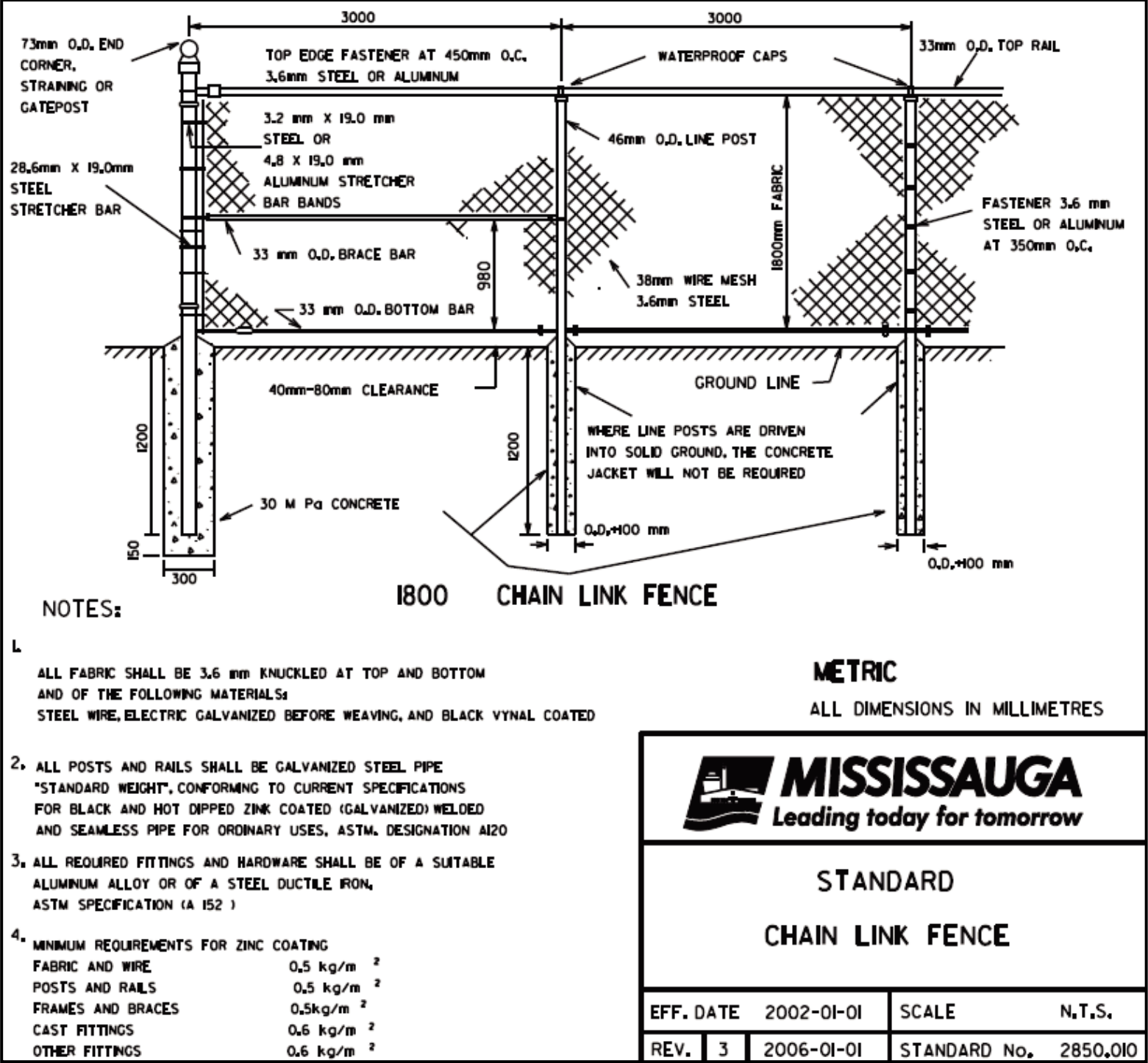


DRAWN BY SC
DATE 2019-07-12
DRAWING SHEET 1 OF 3





FRONT VIEW
HERITAGE WHITE PICKET FENCE



CITY OF MISSISSAUGA
1800mm CHAIN LINK FENCE DETAIL
BLACK VINYL COATED
STANDARD NO. 2850.010

PRELIMINARY

7060 OLD MILL LANE
CONSERVATION AREA ACCESS
TRAIL CONCEPT SKETCH

FENCE DETAIL
SCALE
1:10



DRAWN BY SC
DATE 2019-07-12
DRAWING SHEET 3 OF 3

City of Mississauga

Corporate Report



Date: 8/20/2019

To: Chair and Members of Heritage Advisory Committee

From: Paul Mitcham, P. Eng, MBA, Commissioner of
Community Services

Originator's files:

Meeting date:
9/10/2019

Subject

Request to Demolish a Heritage Listed Property: 1431 Stavebank Road (Ward 1)

Recommendation

That the property at 1431 Stavebank Road, which is listed on the City's Heritage Register, is not worthy of heritage designation, and consequently, that the owner's request to demolish proceed through the applicable process, as per the Corporate Report from the Commissioner of Community Services dated August 20, 2019.

Background

Section 27.3 of the *Ontario Heritage Act* states that structures or buildings on property listed on the City's Heritage Register cannot be removed or demolished without at least 60 days' notice to Council. This legislation allows time for Council to review the property's cultural heritage value to determine if the property merits designation.

Comments

The owner of the subject property has submitted a heritage application to demolish the existing detached dwelling. The subject property is listed on the City's Heritage Register as it forms part of the Mineola West cultural landscape, noted for its original large lotting pattern, mature trees, undulating topography and overall character of early twentieth century development. The Heritage Impact Assessment is attached as Appendix 1. It is the consultant's conclusion that the house at 1431 Stavebank Road is not worthy of heritage designation. Staff concurs with this opinion.

The landscaping and urban design related issues are being reviewed as part of the Site Plan review process to ensure the project respects the character of the surrounding community.

Financial Impact

There is no financial impact resulting from the recommendation in this report.

Heritage Advisory Committee	2019/08/20	2
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Conclusion

The owner of 1431 Stavebank Road has requested permission to demolish a structure on a property that is listed on the City's Heritage Register. The applicant has submitted a Heritage Impact Assessment that provides information which does not support the building's merit for designation under the Ontario Heritage Act.

Attachments

Appendix 1: Heritage Impact Assessment



Paul Mitcham, P. Eng, MBA, Commissioner of Community Services

Prepared by: P. Wubbenhorst, Heritage Planner



CULTURAL LANDSCAPE HERITAGE IMPACT ASSESSMENT

1431 STAVEBANK ROAD

MISSISSAUGA, ONTARIO

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 - 2.2 site plan drawings
 - 2.3 written and visual inventory, with photographs
 - 2.4 measured floor plans
 - 2.5 site plan drawing and elevations of the proposed development
 - 2.6 streetscape measured drawing
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- 5.1.4 - shadows
- 5.1.5 - isolation of a heritage attribute
- 5.1.6 - direct or indirect obstruction of significant views or vistas
- 5.1.7 - a change in land use
- 5.1.8 - land disturbances that affect cultural heritage resources
- 5.1.9 - reflecting the values of the cultural landscape

6 Mitigation Measures

- 6.1 alternative development approaches
- 6.2 isolating development from built and natural heritage and vistas
- 6.3 harmonizing mass, setback, setting and materials
- 6.4 limiting height and density
- 6.5 allowing only compatible infill and additions
- 6.6 reversible alterations

7 Qualifications

- 7.1 author's background
- 7.2 references

8 Recommendation

- 8.1 Criteria for Determining Cultural Heritage Value or Interest
- 8.2 Does the property meet the criteria for heritage designation
- 8.3 Provincial Policy Statement - 2014, under the Planning Act

1.0

GENERAL INFORMATION

Name(s)

1.11 Historic Place Name

- none

1.12 Other Name(s)

- none

Recognition

1.21 Authority

- City of Mississauga

1.22 Inventory Code

- L-RES-6

Location

1.31 Address

- 1431 Stavebank Road

1.32 Postal Code

- L5G 2V5

1.33 Lower Tier

- City of Mississauga

Coordinates

1.41 Latitude

- 43° 33' 22.5" north

1.42 Longitude

- 79° 36' 6.2" west

Boundaries

1.51 Lot

- 2nd Range South, Credit Indian Reserve; part of Lot 3

1.52 Property Area

- 2,216.4 m²

1.53 Depth

- 58.34 m

Zoning

1.61 Zoning

- R2-4

1.62 Status

- listed, but not designated,
as part of the Mineola Neighbourhood Cultural Landscape

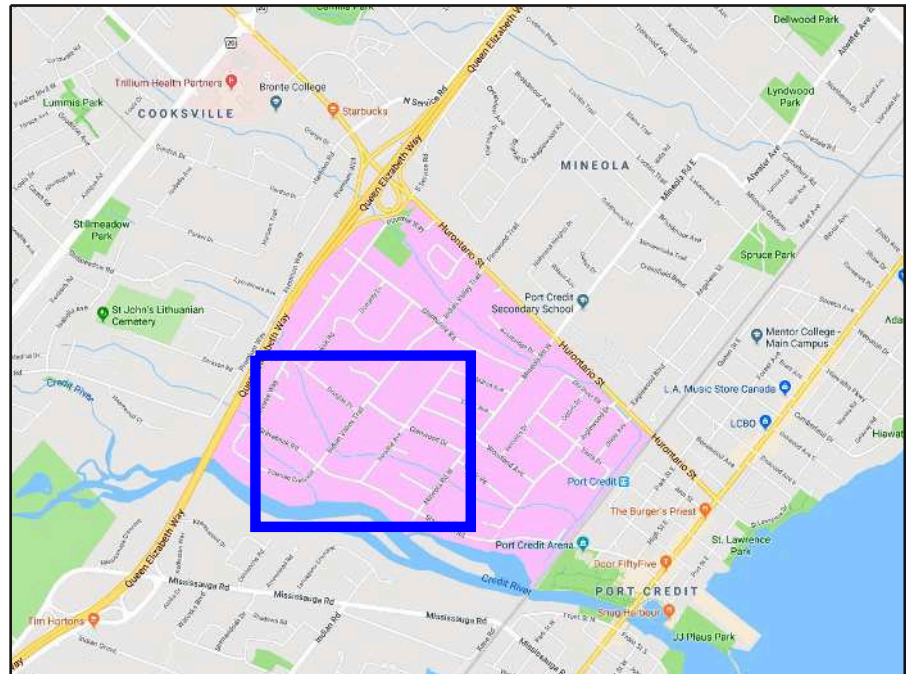
1.63 Bylaw

- n/a

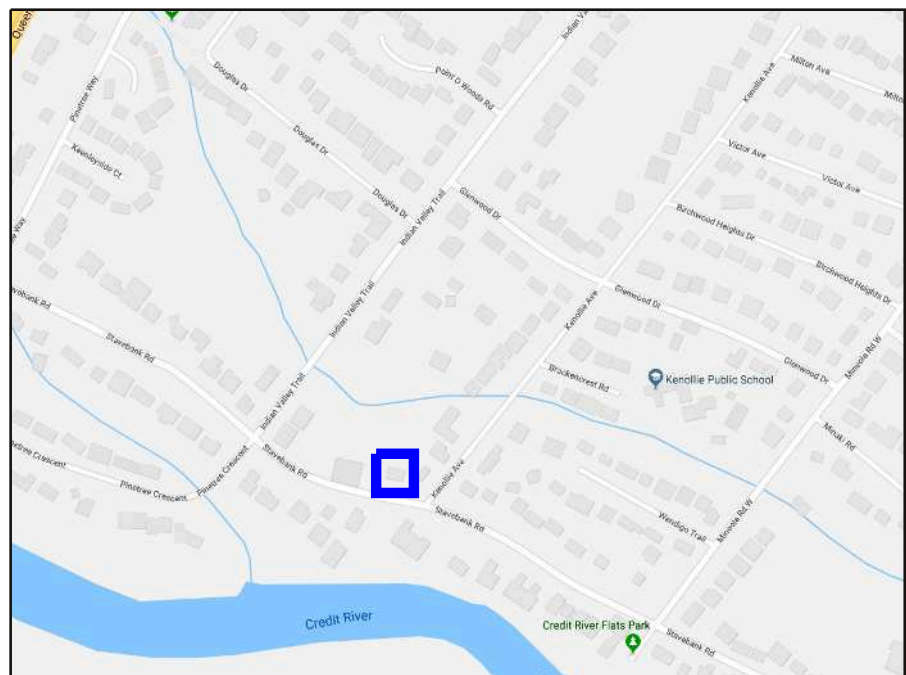
2.0

GENERAL REQUIREMENTS

2.1 Location Map



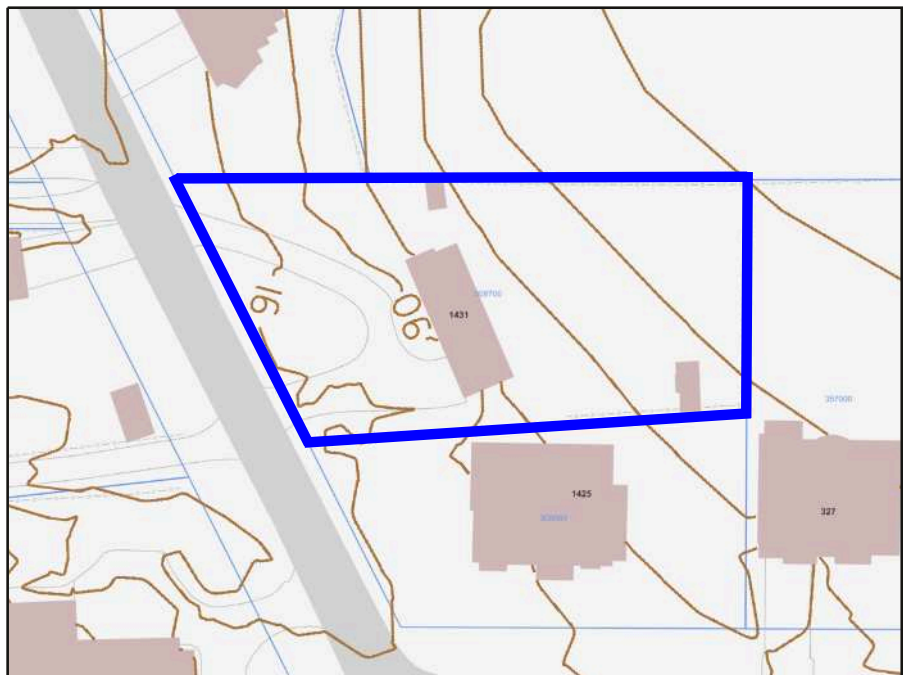
*Location of 1431 Stavebank Road
as part of the Mineola Neighbourhood Cultural Landscape*



*Location of 1431 Stavebank Road
(both images: Google Maps)*



*2017 aerial image
(City of Mississauga e-maps)*



*2017 solid fill map
(City of Mississauga e-maps)*

2.2 Site Plan Drawings

See pages 36 to 46.

2.3 Written and Visual History

The subject property is located on the east side of Stavebank Road, north of Kenollie Avenue and south of Indian Valley Trail, in the Mineola Neighbourhood Cultural Landscape. The area bounded by Hurontario Street on the east, the QEW on the north, the Credit River on the west and the current Metrolinx rail line to the south is defined by the City of Mississauga as the Mineola Neighbourhood Cultural Landscape.

The property has a semi-circular driveway access from Stavebank Road.

The front of the house is set back ~20 metres from the front property line.

The main residence is the only built structure on the property with a foundation. Situated on a steeply sloping lot, the south (front) facade appears as a one-and-a-half storey structure, as seen from street level (referred to henceforth as the 'upper level' and 'attic'). Three attic dormers extend southward. From the rear (north), the main residence is two full storeys, plus a smaller, northerly ground level (henceforth, the 'lower level' and 'basement', respectively).

There is wooden deck extending from the north (rear) face of the lower level storey.

The residence has a medium-pitched, asphalt-shingled lengthwise-gable roof. An attached two-car garage is incorporated as part of the upper level.

The main residence is rectangular, with a ground floor area of about 140 square metres.

There are two smaller structures on the property; a storage shed and service shed for the related pool. Both are on the north (back) yard of the subject property. The in-ground pool is located northeast of the main residence.

The property slopes steeply (at about 1-in-10) downward in a northeasterly direction, from 91 metres ASL at the south (front) end of the property to 86 m ASL at the north tip of the property.

The arborist's report for the subject property, attached to this report as an appendix, identifies the location, canopy coverage and species of the trees on this property.

2.4 Measured Floor Plans

See pages 36 to 46.

2.5 Elevations of Proposed Development

See pages 36 to 46.



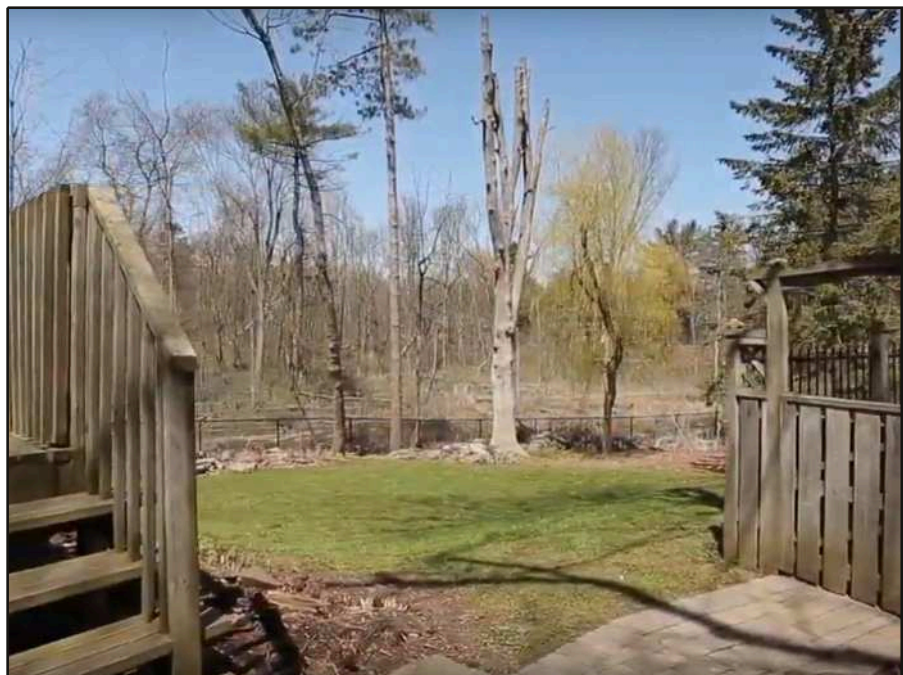
*South (front) facade,
looking northeast*



*Front elevation, front yard and driveway
looking north*



*Back yard,
looking northeast*



*Back yard,
looking north*



*Back yard,
looking east*



*Back yard,
looking southwest*



*Back yard,
looking south*



*Back yard,
looking northwest*



1459 Stavebank Road

1431 Stavebank Road
(subject property)

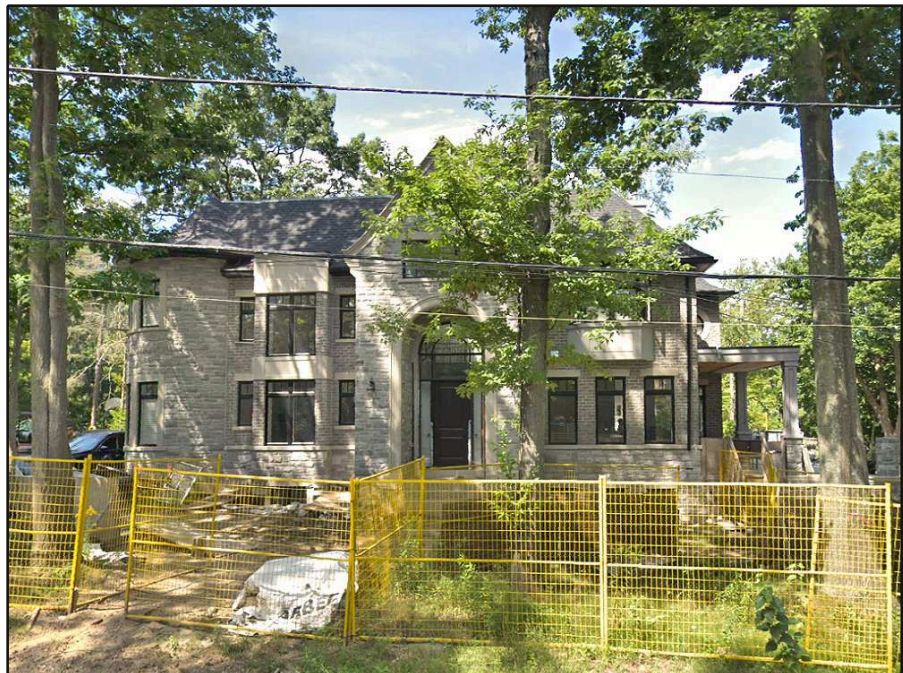
1425 Stavebank Road

2.6 Streetscape Measured Drawings

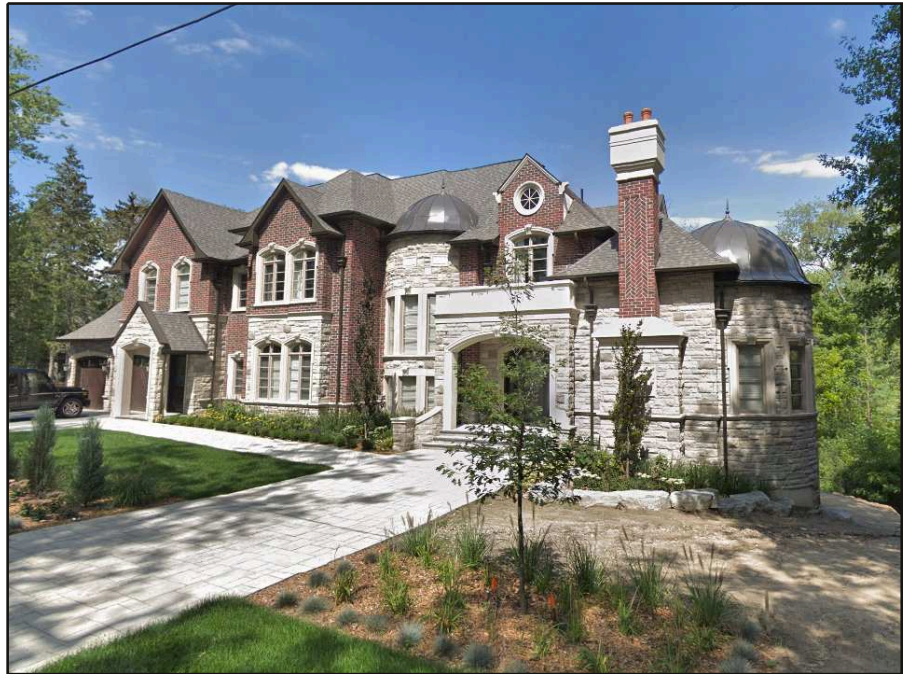
2.7 Photographs of the Adjacent Properties



*1440 Stavebank Road
Property south of the subject property*



*1425 Stavebank Road
Property east of the subject property*



*1459 Stavebank Road
Property west of the subject property*

2.7 Photographs of the Adjacent Properties

1459 Stavebank Road

The property due west of the subject property (northbound along Stavebank Road) is a two-and-a-half storey single family dwelling built in 2013, replacing an earlier structure built sometime between the 1955 and 1958.

1440 Stavebank Road

The main residence at the property due south of the subject property (across Stavebank Road) is a two-storey structure built circa 1975. It cannot be easily seen from street level, being concealed by pine trees and a white clapboard fence.

1425 Stavebank Road

The main residence due east (southbound along Stavebank Road) of the subject project is a two-and-a-half storey single family dwelling built in 2015, replacing an earlier one-storey Modernist-style residence built in 1953. The current residence on this property has a Stavebank Road address, but has a front facade facing Kenollie Avenue.

3.0

ADDRESSING the CULTURAL LANDSCAPE

3.1 Landscape Environment

One of the more unique characteristics of the Mineola West community is the lengthwise streetscape of the roads, with tall trees and wide tree canopies forming a cathedral-like ceiling of green overhead.

The Mineola Neighbourhood Cultural Landscape is also set apart from other residential neighbourhoods in lacking engineered culverts. These weren't considered necessary in a low-density neighbourhood; especially one with so many trees to retain stormwater runoff naturally. And since development of lots took place individually in the Mineola West neighbourhood, rather than in mass assembly, there was no single occasion to install street-length culverts and sidewalks. As a result there are no abrupt curbs and other engineered forms in the neighbourhood to form a barrier between private property and the public realm.

3.1.1: scenic and visual quality

It is necessary to remove one healthy tree. The owner has agreed to plant three new trees. The owner has also proposed to re-naturalize the west perimeter of the property, where the subject property borders a property identified by the Credit Valley Conservation Authority as a significant natural area (1459 Stavebank Road).

3.1.2: natural environment

In redeveloping this property, no alterations are to be made to the vegetation, or to the existing natural lay of the land, except for some fill and a retaining wall at the rear of the proposed residence to support the addition where the current land profile slopes steeply to the rear of the property.

3.1.3: horticultural interest

The subject property has no horticultural features or landscaped terrain or gardens of interest or significance.

Front and rear open space areas consist of grass lawns.

3.1.4: landscape design, type and technological interest

There are no notable landscape design features on the subject property. Kenollie Creek can be seen from the subject property but is not part of the property, being located two properties further north. The property located immediately west of the subject property – 1459 Stavebank Road – is identified by the City of Mississauga as a significant natural area (Site M17), but this parkland classification does not extend onto the subject property.



*Stavebank Road
looking north from Kenollie Avenue*



*Stavebank Road
looking south to Kenollie Avenue*

3.2 Built Environment

The variety of styles, construction materials and size of residences in the Mineola Neighbourhood Cultural Landscape is so varied that it cannot be stated that any style typifies the community, except for the general sense that the finer homes in the community create a 'cottage community' atmosphere, rare in Mississauga.

Visually, the residence at 1431 Stavebank Road is inconsistent with the character of finer homes in the neighbourhood, being a simple, stuccoed exterior, asphalt gable-roofed home of conventional design, generally of smaller scale and simpler elaboration compared to neighbouring homes on Stavebank Road.

Mineola's charm is the haphazard style of homes, which itself symbolizes the random development of this dynamic community from the late 1890s (when Kenneth Skinner – an early owner of the subject property – first began severing portions of his larger unregistered property as needed) to the more formal wartime housing blocks of the *Peel Gardens* development, north of Port Credit's Go station, developed soon after WWII, and which only recently has begun to be replaced by larger homes more indicative of its residents who plan to 'settle in' to this prestigious neighbourhood. The current home at 1431 Stavebank Road, while renovated in recent years remains a 1960s-style home that is inconsistent with property size and value for this lot and others in this prestigious neighbourhood.

3.2.1: aesthetic/visual quality

The current resident on the subject property is generally inconsistent with the cultural heritage of the Mineola West landscape, being generally a suburban-style home of simple design.

3.2.2: consistent with pre World War II environs

The residence at 1431 Stavebank Road was built after WWII and is not consistent with the pre-World War II homes in the Mineola Neighbourhood Cultural Landscape.

3.2.3: consistent scale of built features

Neighbouring properties on Stavebank Road are mostly of stone and brick exterior, built in the past decade, and being larger than the current residence at 1431 Stavebank Road. These newer designer-built homes make optimal economic use of the large, scenic lots. Being of earlier construction than neighbouring residences on Stavebank Road, the home on the subject property is smaller than earlier homes that define the cultural landscape, and has the appearance of a standard mass-produced home similar in style to residences in middle-income, high-density SFD neighbourhoods.

3.2.4: unique architectural features/buildings

Being of a conventional architectural style, there are no unique architectural features to the current structure.

3.2.5: designated structures

The current property is not designated under the terms of either Part IV or Part V of the Ontario Heritage Act.

3.3 Historical Associations

Since the 1970s, the City of Mississauga has maintained a growing database of historic and potentially historic sites specific to individual properties within the city, but in 2003, the City began a study to determine potential historical and cultural “landscapes” which cover residential, natural, geological and industrial sites normally consisting of more than one property. The final report, approved by city council in 2005, identifies the Mineola neighbourhood (L-RES-6) as one of 41 “settings which has enhanced a community's vibrancy, aesthetic quality, distinctiveness, sense of history or sense of place.”

The property at 1431 Stavebank Road is not listed individually in the City of Mississauga's heritage registry, but because the property is geographically and historically a part of the Mineola Neighbourhood Cultural Landscape (commonly referred to as “Mineola West”), it is important that proposed changes to the property be reviewed by the Mississauga Heritage Advisory Committee to ensure that such proposed changes do not adversely affect the vibrancy, aesthetic quality, distinctiveness, sense of history or sense of place of the Mineola Neighbourhood.

Mineola West

In defining the unique qualities of the Mineola Neighbourhood, Landplan Collaborative Limited noted that the streets in the neighbourhood follow the contours of the “natural rolling topography”. The report stated that “Mineola was developed before it became standard practice to regrade top soil into large piles”.

Mineola West (as it is known locally, to define it from the earlier section of Mineola Road which extends eastward from Hurontario Street) is very much a one-of-a-kind community today. Trees form cathedral-like canopies over narrow streets. These street form a seamless transition into private properties. The private properties have generous front lawns. It is from these well-groomed lawns that the sheltering trees rise up, completing a symbiotic cycle between human and natural growth.

3.3.1: illustrates a style, trend or pattern

The current main residence on the subject property is of a conventional gable-roof style, with minimal architectural styling and adornment.

3.3.2: direct association with important person or event

Historical research on the property has not uncovered records identifying that the property was owned or occupied by a resident who was important to the history and/or development of Mississauga.

3.3.3: illustrates an important phase of social/physical development

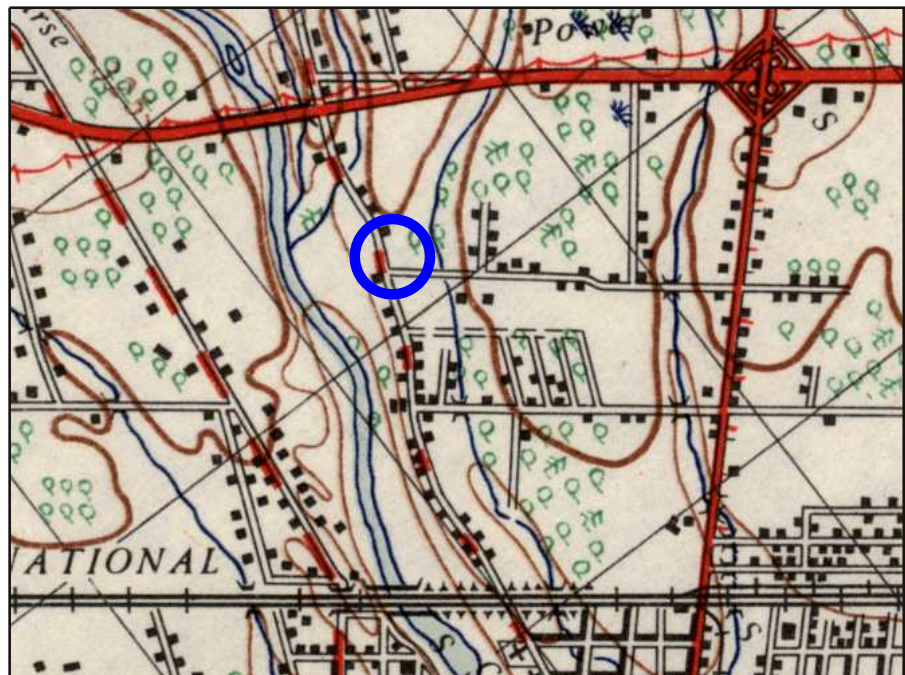
The house was built ~1955 and does not represent an important stage in the social or physical development of Mississauga or of the Mineola neighbourhood.

3.3.4: illustrates the work of an important designer

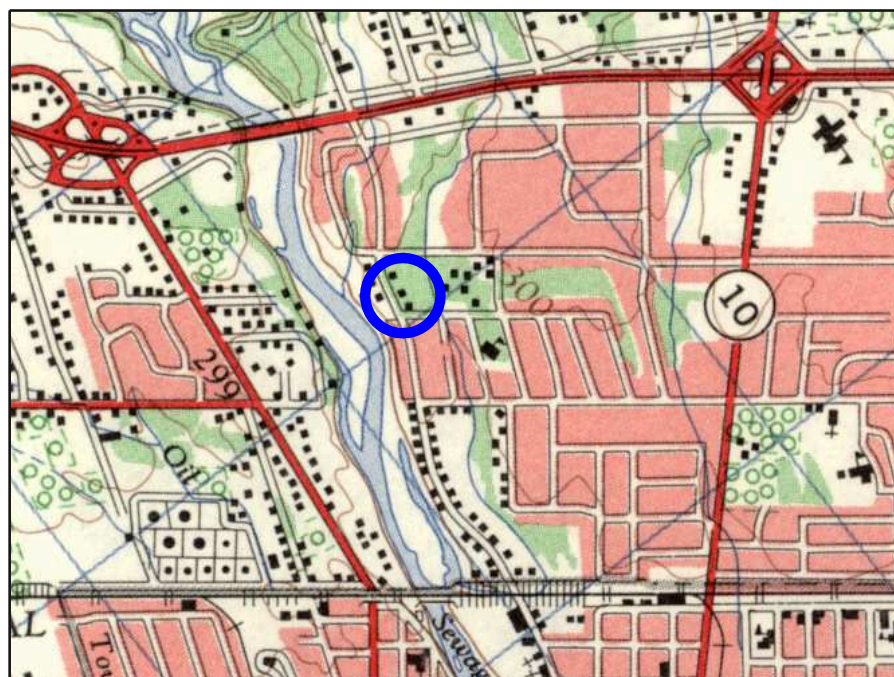
No record has been found of the original architect, but the conventional design of the home indicates that it is not the work of an important designer or architect.



1922 topographic map
(Toronto Reference Library)



1951 topographic map
(Toronto Reference Library)



*1964 topographic map
(Toronto Reference Library)*

3.4 Others

3.4.1: historical or archaeological interest

An archaeological study commissioned for the subject property uncovered fragments of potential historic significance.

3.4.2: outstanding features/interest

There are no features of physical or historical interest of the property.

3.4.3: significant ecological interest

There are no features of ecological significance on the property. The neighbouring property to the west (northbound along Stavebank Road) is defined as a significant natural area (Site M17), but this parkland classification does not extend onto the subject property. A report regarding potential bat habitats, in relation to Site M17, was commissioned by the property owner.

3.4.4: landmark value

The property and the buildings on it are not regarded locally as landmarks.

4.0

PROPERTY INFORMATION

4.1 List of Property Owners from the Land Registry Office

Credit Indian Reserve

The first peoples in the area that would come to be called the Mineola West neighbourhood were an Anishinabe group referred to by the British Crown as the Mississauga Nation. The Mississaugas moved into this territory about 1700 AD. Archaeological evidence confirms that the Mississaugas settled along the Credit River, used it for transportation and for fishing, considered the river sacred, and continued to hold title to the river and the land for ~1.6 km on both sides of the river after selling the remainder of the land along the shore of Lake Ontario to the British crown in 1805. The last settlement for the Christianized Mississaugas in the area was located about two kilometres north of 1431 Stavebank Road.

Before it came to be known as Stavebank Road, a trail along the alignment of this road served as a route from the Credit Mission settlement to the lakeshore.

(1) Mississauga Nation: ~1700

The subject property is located on part of the ~3.2 km-wide Credit Indian Reserve that was retained by the Credit Mississauga nation after the 1805 land surrender. After 1818, when additional land was purchased by the Crown north of the present-day Eglinton Avenue, mills and tanneries along the Credit River severely damaged the Credit River. (Dams and pollution completely wiped out the Atlantic salmon population in the river by the 1840s.) As a result, the Credit Mississauga moved to a new reserve 70 km away in 1847.

(2) British Crown: February 8, 1820

Having already purchased all the land between Etobicoke Creek and the “head of the lake” at Burlington Bay in 1805, except for the aforementioned ~3.2 kilometre reserve, the Mississauga Nation sold most of this Credit Indian Reserve to the British Crown in 1820. This sale included the current subject property.

(3) Robert Cotton: July 11, 1854

The Crown purchased the reserve land for resale to settlers and developers. In 1854 Port Credit businessman Robert Cotton purchased part of the reserve lands, including the subject property, for speculation.

(4) Frederick Chase Capreol: March 11, 1869

In 1869, most of the Cotton speculation lands were purchased by Frederick Chase Capreol, including the land now occupied by the current subject property. “Mad Cap” also purchased much of the property south of here, along the lakeshore. His goal was to build a series of mills along the shore, powered by water diverted along aqueducts from further upstream of the Credit River.

For about seven years Capreol attempted, without success to find investors for his grand scheme. From 1876 to 1889, the land on which 1431 Stavebank Road was later built was transferred to various of Capreol’s creditors, finally being held by the son of one of his former business partners – Erindale businessman, Thomas Hector.

(5) Thomas Hector: 1894

Hector never developed the property. It appears his only desire was to sell the

land to get back some of the money his family lost investing in Capreol's failed industrial development. Failing to find buyers for lots, Hector arranged in March 1894 to transfer the land to the Bank of Upper Canada, which then transferred the land to John and Edwin Crickmore, who were likely land agents working for that bank. The Bank of Upper Canada sold property (which includes the subject property) on April 2, 1894 to Kenneth Skinner.

(6) Kenneth Skinner: April 2, 1894

Kenneth Skinner was 28 years old when he came to Port Credit from Schomberg, Ontario in 1893. Presumably a farmer in Schomberg, Kenneth likely purchased a 3.2 hectare portion of the former Cotton lands for a farm and to start a family. Two years later he married. Based on land registry records for the subject property, and for various other existing homes that were also part of Skinner's original 1894 land purchase, Kenneth was already building and selling homes along Stavebank Road in an area he advertised as *Riverside Park*.

There is no registered plan for this earlier neighbourhood. (By comparison, the property immediately north of the subject property – 1459 Stavebank Road – was part of Dixie Cotton's Registered Plan B-09, of 1909.) The township was responsible for building and maintaining roads and supplying running water and hydro-electric power, so township council required developers to register plans where subdivisions were to include municipal services. Since Skinner never registered a subdivision plan for *Riverside Park*, it appears that he intended to sell off portions of his 1894 property as buyers became available and then build one-off homes. But because electricity and running water were a considerable marketing draw, Cotton's Plan B-09 lots sold easily, while most of Skinner's unregistered property remained unsold during his life, including the subject lot.

(7) The Current Home

Because the subject property was retained for so long as an unregistered lot owned by Kenneth Skinner and his descendants, it is difficult to determine when the current home was built. The portion of Skinner's lot that is now the current subject property appears to have been sold to a D. Duncliffe in 1954, but the current residence appears on the first aerial photographs for the first time in 1960, so the house was likely built circa 1955. This is consistent with first-build dates for neighbouring lots, including the property due south of the subject property – 1425 Stavebank Road – which was built in 1953.

The property remained in the Duncliffe family until May 17, 2011 when Kenneth Duncliffe sold the property to Sharon Hines. She sold the property on February 13, 2017 to Ravi and Nina Jain, who granted the land to Gyan Chan Jain. It appears that between 2013 and 2017 the house was rented, since names appearing in the telephone directories indicated that others lived on the property.

Information regarding the current owner(s) is withheld from this assessment, in compliance with the Freedom of Information and Protection of Privacy Act (R.S.O. 1990, c. F.31).

Land registry record for 2nd Range South, Credit Indian Reserve; part of Lot 3 from Book 1.

Land registry record for 2nd Range South, Credit Indian Reserve; part of Lot 3 from Book 2.

Ontario ServiceOntario LAND REGISTRY OFFICE #43 13457-0022 (LIT) PARCEL REGISTER (ABBREVIATED) FOR PROPERTY IDENTIFIER PAGE 1 OF 2 PREPARED FOR RICHARD COLLINS ON 2019/02/25 AT 19:49:04
* CERTIFIED IN ACCORDANCE WITH THE LAND TITLES ACT * SUBJECT TO RESERVATIONS IN CROWN GRANT *

PROPERTY DESCRIPTION: PT LT 3, RANGE 2 CIR TT, AS IN R01041904; CITY OF MISSISSAUGA

PROPERTY REMARKS:

ESTATE/QUALIFIED: RE-ENTRY FROM 13457-0096 **PIN CREATION DATE:** 1998/02/23

OWNERS' NAMES: JTER JTER **CAPACITY SHARE:**

REG. NUM.	DATE	INSTRUMENT TYPE	AMOUNT	PARTIES FROM	PARTIES TO	CERT/CRKD
<p>**EFFECTIVE 2008/07/29 THE NOTATION OF THE "BLOC IMPLEMENTATION DATE" OF 1997/03/18 ON THIS PIN**</p> <p>**HAS REPLACED WITH THE "PIN CREATION DATE" OF 1998/02/23**</p> <p>** PRINTOUT INCLUDES ALL DOCUMENT TYPES AND DELETED INSTRUMENTS SINCE 1998/02/23 **</p> <p>**SUBJECT, ON FIRST REGISTRATION UNDER THE LAND TITLES ACT, TO</p> <p>** SUBSECTION 4(1) OF THE LAND TITLES ACT, EXCEPT PARAGRAPH 11, PARAGRAPH 14, PROVINCIAL SUCCESSION DUTIES</p> <p>** AND ESCHEATS OR FORFEITURE TO THE CROWN.</p> <p>** THE RIGHTS OF ANY PERSON WHO WOULD, BUT FOR THE LAND TITLES ACT, BE ENTITLED TO THE LAND OR ANY PART OF</p> <p>** IT THROUGH LENGTH OF ADVERSE POSSESSION, PRESCRIPTION, MISDESCRIPTION OR BOUNDARIES SETTLED BY</p> <p>** CONVENTION.</p> <p>** ANY LEASE TO WHICH THE SUBSECTION 70(2) OF THE REGISTRY ACT APPLIES.</p> <p>**DATE OF CONVERSION TO LAND TITLES: 1998/02/24 **</p>						
R01041904	1993/06/30	TRANSFER		*** DELETED AGAINST THIS PROPERTY ***	DUNCLIFFE, KENNETH ROBERT	
R01041905	1993/06/30	CHARGE		*** COMPLETELY DELETED ***	BANK OF MONTREAL	
R01098131	1995/09/07	CHARGE		*** COMPLETELY DELETED ***	BANK OF MONTREAL	
PR1527143	2008/09/04	DISCH OF CHARGE		*** COMPLETELY DELETED ***	BANK OF MONTREAL	
REMARKS: RE: R01041905						
PR1997177	2011/05/02	TRANSFER		*** COMPLETELY DELETED ***	DUNCLIFFE, KENNETH ROBERT	

NOTE: ADJOINING PROPERTIES SHOULD BE INVESTIGATED TO ASCERTAIN DESCRIPTIVE INCONSISTENCIES, IF ANY, WITH DESCRIPTION REPRESENTED FOR THIS PROPERTY.
NOTE: ENSURE THAT YOUR PRINTOUT STATES THE TOTAL NUMBER OF PAGES AND THAT YOU HAVE PICKED THEM ALL UP.

Land registry record;
Teranet electronic record, page 1

Ontario ServiceOntario LAND REGISTRY OFFICE #43 13457-0022 (LIT) PARCEL REGISTER (ABBREVIATED) FOR PROPERTY IDENTIFIER PAGE 2 OF 2 PREPARED FOR RICHARD COLLINS ON 2019/02/25 AT 19:49:04
* CERTIFIED IN ACCORDANCE WITH THE LAND TITLES ACT * SUBJECT TO RESERVATIONS IN CROWN GRANT *

REG. NUM.	DATE	INSTRUMENT TYPE	AMOUNT	PARTIES FROM	PARTIES TO	CERT/CRKD
PR0004628	2011/05/17	CHARGE		*** COMPLETELY DELETED *** DUNCLIFFE, KENNETH ROBERT HINES, SHARON	HINES, SHARON BANK OF MONTREAL	
PR0010741	2011/05/27	DISCH OF CHARGE		*** COMPLETELY DELETED *** BANK OF MONTREAL		
REMARKS: R01098131.						
PR0079391	2017/02/13	TRANSFER		*** COMPLETELY DELETED *** DUNCLIFFE, KENNETH ROBERT HINES, SHARON	JAIN, RAVI JAIN, NINA	
REMARKS: PLANNING ACT STATEMENTS.						
PR0079392	2017/02/13	CHARGE		*** COMPLETELY DELETED *** JAIN, RAVI JAIN, NINA	JAIN, GYAN CHAND	
PR0091026	2017/03/08	DISCH OF CHARGE		*** COMPLETELY DELETED *** BANK OF MONTREAL		
REMARKS: PR0004628.						
PR0269305	2018/01/12	DISCH OF CHARGE		*** COMPLETELY DELETED *** JAIN, GYAN CHAND		
REMARKS: PR0079392.						
PR0269368	2018/01/12	TRANSFER	\$1,900,000	JAIN, NINA JAIN, RAVI		C
PR0269369	2018/01/12	CHARGE				C

NOTE: ADJOINING PROPERTIES SHOULD BE INVESTIGATED TO ASCERTAIN DESCRIPTIVE INCONSISTENCIES, IF ANY, WITH DESCRIPTION REPRESENTED FOR THIS PROPERTY.
NOTE: ENSURE THAT YOUR PRINTOUT STATES THE TOTAL NUMBER OF PAGES AND THAT YOU HAVE PICKED THEM ALL UP.

Land registry record;
Teranet electronic record, page 2

5.0

IMPACT of DEVELOPMENT

5.1 Assessment of Impact of Proposed Development

It is proposed to replace the existing two-and-a-half storey residence at 1431 Stavebank Road, built circa 1955, and to build in its place a three-storey residence (with the lower storey set into the natural slope of the property in the manner of the current home). The foundation of western portion of the current residence will be retained as retaining walls, with the enlarged eastern portion being built on a new foundation and aligned perpendicular to Stavebank Road to minimize visual impact of the home as seen from Stavebank Road.

Visually, from Stavebank Road, the proposed residence will appear as two-storeys with a medium-pitch roof, consistent with the massing of the main residences on the two neighboring properties due west and due east of the subject property.

The current set back from the Stavebank Road lot line will be retained. One existing tree is to be removed. Three replacement trees will be replanted.

In terms of architectural style, the new home will be more consistent with the cultural landscape characteristics of the Mineola West neighbourhood than the existing home. The current structure on the subject property was built in a common, mass-produced suburban rectangular-plan style. This building is a notable contrast to the predominant architectural character of the Mineola Neighbourhood Cultural Landscape which consists mostly of larger, custom-designed homes, built on neighbouring properties in the 2010s. The proposed home will be consistent in massing and architectural style to the existing neighbouring homes.

The existing home at 1431 Stavebank Road does not represent an architectural style or pattern of building type that is relevant to the local cultural landscape.

5.1.1: destruction of any, or part of any, significant heritage attributes or features

Precautions have been taken during the design process to ensure that the healthy trees on the subject property will be preserved. The arborist report for 1431 Stavebank (attached to this report as an appendix), identifies a number of dead or infested trees along the east and west lot lines. Four of the five larger, healthy trees along the Stavebank Road lot line of the property will not be affected by the development, thus retaining the visual character of the Stavebank Road streetscape. Three new trees are to be planted.

5.1.2: removal of natural heritage features, including trees

One tree on the property, identified in the Arborist Report as healthy, is to be removed. Four others are to be retained, and the owner has agreed to plant three new trees.

5.1.3: alteration that is not sympathetic, or is incompatible, with the historic fabric and appearance

The proposed residence at 1431 Stavebank Road is designed to be consistent in style and massing to existing residences on the neighbouring properties to the east and west on Stavebank Road. The current structure on the subject property does not achieve this visual link to the Mineola Neighbourhood Cultural Landscape.

The proposed structure will retain the existing front setback and position relative to its adjacent properties.

5.1.4: shadows created that alter the appearance of a heritage attribute or change the viability of an associated natural feature, or plantings

Because of the existing ample spacing between neighbouring homes, there will be minimal shadowcast on adjacent properties. The proposed structure will have no shadow impact on the property to the east. The existing row of trees separating the subject property and 1425 Stavebank are much taller than the proposed residence on the subject property.

5.1.5: isolation of a heritage attribute from its surrounding environment, context or a significant relationship

The current property has no identifiable heritage value, or any direct heritage link to the neighbourhood.

5.1.6: direct or indirect obstruction of significant views or vistas within, from, or of built and natural features

There are no significant views or vistas on this property.

5.1.7: a change in land use where the change in use negates the property's cultural heritage value

The property will remain in use as a single family residence in compliance with current Zone R2-4 requirements.

5.1.8: land disturbances such as change in grade that alter soils, and drainage patterns that adversely affect cultural heritage resources

There are to be no changes to the topography of the land, aside from a minimal foundation enlargement to the rear of the proposed structure, out of the view from the public realm and, similarly some fill, out of view of the public realm, to compensate for the steep sloping contour of the property.

5.1.9: demonstration of how the proposed built form reflects the values of the identified cultural landscape and its characterizations that make up that cultural landscape

There is no standard character to the Mineola Neighbourhood Cultural Landscape except for variety itself, in the form of character of housing styles, age, position and alignment of structures on a property, and size of properties. The architectural style of the proposed residence is more consistent with the existing homes, built within the last 10 years, to the west and east of the subject property.

6.0

MITIGATION MEASURES

These are not required for the built forms, since the proposed residence is not of historical significance. Natural mitigation will include planting of three new trees to replace one existing tree to be removed.

The proposed development will not block vistas that could be considered indicative of the cultural landscape character of the neighbourhood. Mass and setback are to be retained.

7.0

QUALIFICATIONS

7.1 Author's Background

Since 2007 Richard Collins has prepared Heritage Impact Statements for sites in Burlington, Gravenhurst, Mississauga, Oakville and Welland Ontario.

- Clarkson 1808-2008 Committee; heritage coordinator
- City of Mississauga; 2012 Civic Award of Recognition
- Heritage Mississauga; volunteer,
 recipient of the 2007 Lifetime Membership Award
 2008 Member's Choice Award
 2018 Community Heritage Award
- Mississauga HAC; member of the Heritage Designation Subcommittee
- Mississauga South Historical Society; past president
- Museums of Mississauga, historical interpreter
- Muskoka Steamship Society, restoration fundraiser for *R.M.S. Segwun*
- Page+Steele Architects, Toronto; past archivist
- Peel District School Board Heritage Fair, member and adjudicator
- Port Credit 175th Anniversary Committee; project leader and secretary
- Port Credit Village Project; secretary and co-chair of the Heritage Circle
- The Booster; author of over 200 articles on Mississauga's history
- Canadian Museum of Nature, Ottawa - interpreter

7.2 References

Ancestry.ca

 Ontario and Canada voters' lists, 1935-1980

Blumenson, John

 Ontario Architecture: Guide to Styles and Terms

City of Toronto archives

 aerial photos, 1960 and 1961

Google Maps

Heritage Mississauga

 image archive

Kalman, Harold D.

 A History of Canadian Architecture

National Resources Canada

 topographic maps, 1922 and 1951, quadrant 30M12

mississauga.ca - Services Online - e-maps

mississauga.ca - Services Online - Property Information

Port Credit News (1927-1937) / Port Credit Weekly (1937-1959)

Service Ontario at www.e-laws.gov.on.ca

 Ontario Heritage Act, RSO 1990, Chapter O.18

 Land Registry records

Toronto Daily Star (1896-1971) / Toronto Star (1971-present)

Walker and Miles

 Historical Atlas of Peel County, 1877

8.0

RECOMMENDATION

8.1 Criteria for Determining Cultural Heritage Value or Interest

A municipal council may designate heritage resources by by-law pursuant to Section 29 of the Ontario Heritage Act based on criteria set forth in Ontario Regulation 9/06; Criteria for Determining Cultural Heritage Value or Interest.

Section 1

The property has design value or physical value because it;

- i: is a rare, unique, representative or early example of a style, type, expression, material or construction method,
- ii: displays a high degree of craftsmanship or artistic merit, or
- iii: demonstrates a high degree of technical or scientific achievement.

Section 2

The property has historical value or associative value because it;

- i: has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community,
- ii: yields, or has the potential to yield, information that contributes to an understanding of a community or culture, or
- iii: demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.

Section 3

The property has contextual value because it is;

- i: important in defining, maintaining or supporting the character of area,
- ii: physically, functionally, visually or historically linked to its surrounding,
- iii: a landmark.

8.2 Does the property meet the criteria for heritage designation?

Section 1

The property has design value or physical value:

i: The main structure on the subject property is a conventional, rectangular-plan single family dwelling in the style of mass produced homes. The specific property is not listed independently as a site of possible heritage value by the City of Mississauga, but is included in the City of Mississauga's inventory of properties of potential cultural landscape significance because it is located in the Mineola Neighbourhood Cultural Landscape.

ii: The current main residence on the subject property is of a conventional design and as a result does not display a high degree of craftsmanship or artistic merit.

iii: As with Item ii, the main structure on the subject property does not demonstrate a high degree of technical or scientific achievement.

Section 2

The property has historical value or associative value:

i: Based on research conducted of local newspaper resources, none of the residents played a significant role in the development and growth of the Mineola neighbourhood, or of Mississauga.

ii: The current residence at 1431 Stavebank Road has little potential to help define the character of the Mineola Neighbourhood Cultural Landscape. The main structure on the subject property is a contrast to the prevailing 'cottage country' theme of the neighbourhood; being a standard-plan house in a residential area otherwise predominated by builder designed homes. The style, scale, massing and building materials of the main structure on the subject property is not consistent with homes on the neighbouring properties.

iii: Based on the conventional style of the home and use of standardized building materials, it is unlikely that the main structure at the subject property is the work of a skilled architect, artist, builder, designer or theorist. No information has been uncovered through research, identifying the residence at 1431 Stavebank Road with a noted architect.

Section 3

The property has contextual value:

i: The main structure of the subject property does not adequately define, maintain or support the unique character of the Mineola Neighbourhood Cultural Landscape. Built in a conventional architectural style, the residence on the subject property lacks the defining architectural characteristics that are more indicative of the cultural landscape.

ii: Built in the mid 1950s, the residence at 1431 Stavebank Road is not historically linked to the other properties along Stavebank Road.

iii: The residence at the subject property is not regarded locally as a landmark.

Conclusion

The subject property does not meet any of the above criteria for designation.

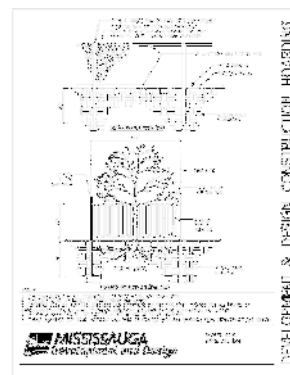
8.3 Provincial Policy Statement - 2014, under the Planning Act

The preamble to the *Provincial Policy Statement - 2014* states that “the Provincial Policy Statement provides for appropriate development while protecting resources of provincial interest, public health and safety, and the quality of the natural and built environment.”

Careful measures have been taken by both the current property owner and the architect to assure that the proposed development has no adverse effect on the characteristics of the local cultural landscape, recognizing and protecting the scenic/visual quality, natural environment, aesthetic quality, and consistency of the proposed development with the scale of existing built features, and acknowledging in the specific case of 1431 Stavebank Road that there are no landscape items of interest or items of significant ecological interest, other than current setback of the property from the road to protect front lawn greenspace, and the current inventory of trees.

In specific regard to Section 2.6 of the PPS, Cultural Heritage, the proposed development at 1431 Stavebank Road is in compliance with the regulation. There are no identifiable built or natural heritage resources on the subject property, aside from the trees and existing green spaces, which are to be conserved.

An archaeological study, commissioned in 2019 uncovered items of potential historical significance.



TREE INVENTORY - REFER TO ARBORIST REPORT FOR FURTHER INFORMATION

# SPECIES	DBH	TPZ	CONDITION	COMMENTS
1. Red oak	40cm	2.0m	Good	Private @ front #1439
2. Silver maple	50cm	3.0m	Excellent	City mngt. @ #1431
3. Silver maple	74cm	4.0m	Excellent	Private @ front #1431
4. Spruce	50cm	3.0m	Good	Private @ front #1431
5. Sugar maple	18cm	1.8m	Excellent	Private @ front #1431
6. Sugar maple	40cm	2.4m	Moderate	City mngt. @ #1431
7. Spruce	50cm	3.0m	Poor	Private @ front #1425
8. Scott's pine	20cm	1.8m	Fair	Private @ front #1431
9. Scott's pine	34cm	2.4m	Stone dead	Private @ front #1431
10. Scott's pine	30cm	2.4m	Good	Private @ front #1431
11. Black oak	61cm	4.2m	Excellent	Private @ front #1425
12. Red maple	30cm	2.4m	Excellent	Private @ side #1431
13. Red maple	30cm	1.8m	Excellent	Private @ side #1431
14. Silver maple	50cm	3.0m	Moderate	Private @ side #1431
15. Birch	40cm	2.4m	Moderate	Private @ side #1431
16. Red maple	35cm	2.4m	Good	Private @ near #1431
17. Norway maple	20cm	1.8m	Good	Private @ near #1431
18. Norway maple	20cm	1.8m	Good	Private @ near #1431
19. Norway maple	45cm	3.0m	Excellent	Private @ near #1431
20. Red maple	20cm	1.8m	Good	Private @ near #1431
21. Dead ash	20cm	1.8m	Dead	Private @ near #1431
22. Colorado spruce	50cm	2.4m	Good	Private @ near #1431
23. Willow	50cm	3.0m	Excellent	Private @ near #1431
24. Scott's pine	50cm	3.0m	Poor	Private @ near #1431
25. Black walnut	20cm	1.8m	Excellent	Private @ side #1431
26. Norway maple	20cm	1.8m	Good	Private @ side #1431
27. Black walnut	45cm	3.0m	Excellent	Private @ side #1431

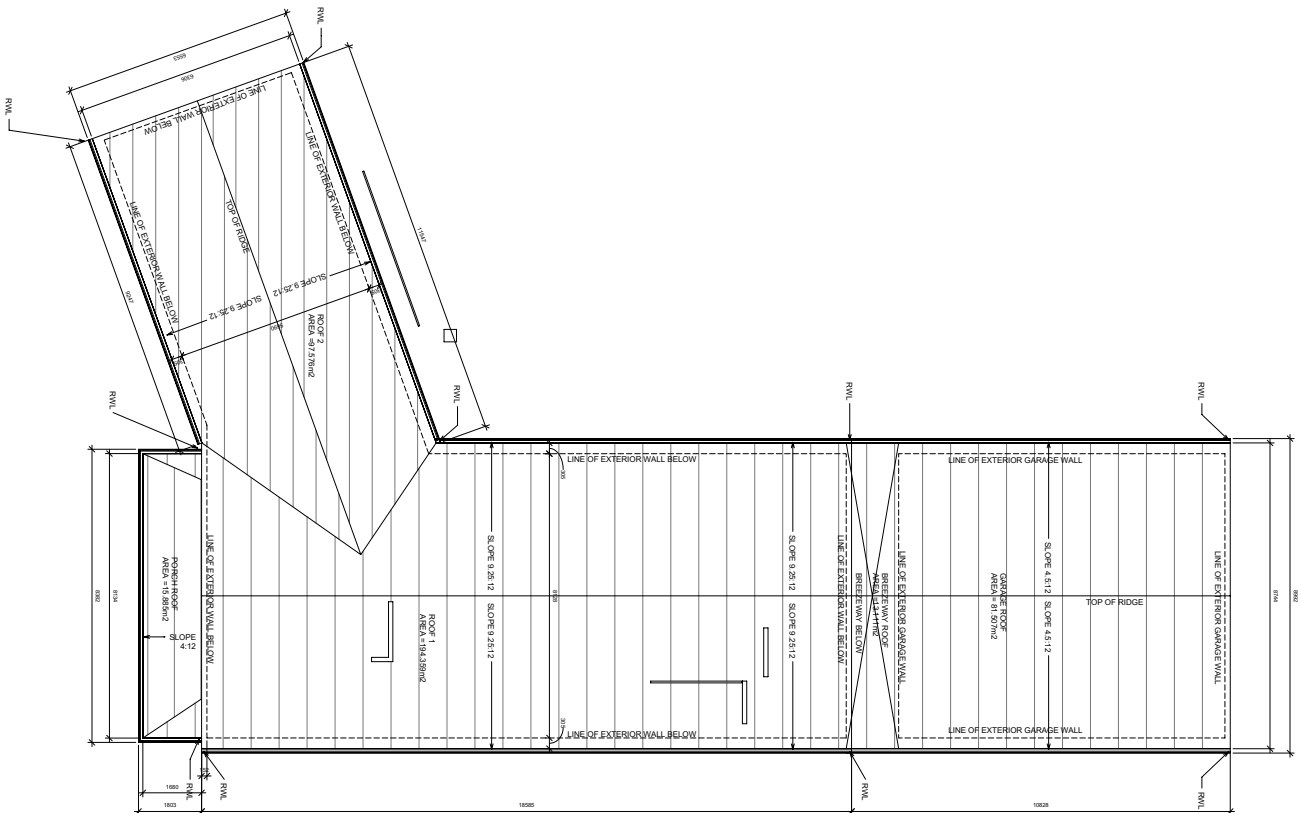
DRAWING SHOULD NOT BE SCALED
 MISSISSAUGA, ON L5G 2V5
 416-291-2222
 www.mississauga.ca

OWNERS:

1431 STAVEBANK ROAD	
MISSISSAUGA, ON L5G 2V5	
416-291-2222	
www.mississauga.ca	



1431 STAVEBANK RD
 MISSISSAUGA, ON L5G 2V5
 TREE PRESERVATION
 PLAN
 AG05



DRAWING SHOULD NOT BE SCALED
 Dimensions and areas are based on the information provided in the project description. The drawing is not to be used for construction purposes without the approval of the engineer. The drawing is not to be used for any other purpose without the approval of the engineer.

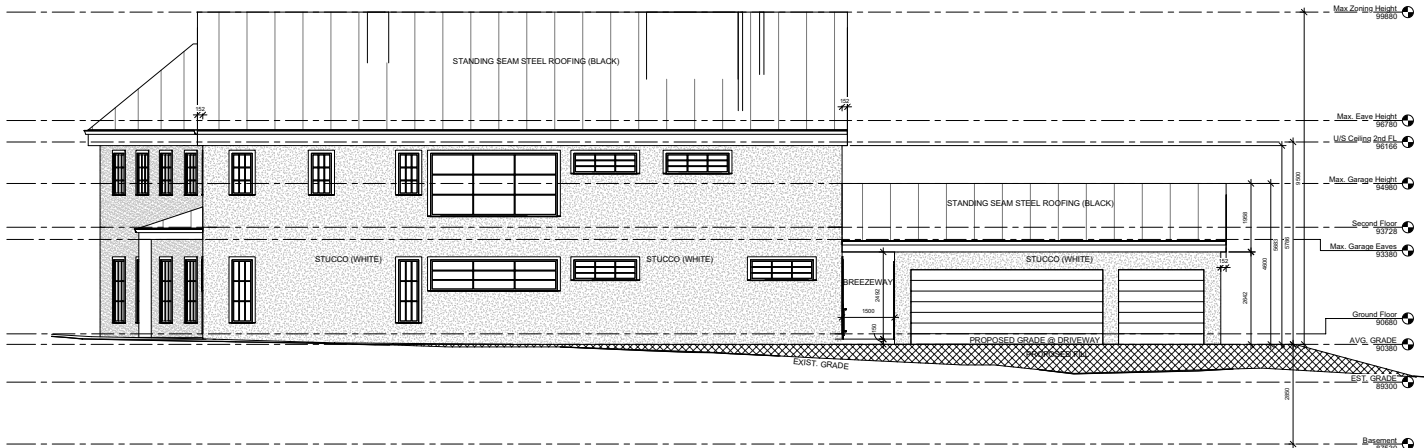
CORRECTIONS
 1. 101 STAVESBANK ROAD
 MISSISSAUGA, ON L5G 2V5
 2. 101 STAVESBANK ROAD
 MISSISSAUGA, ON L5G 2V5
 3. 101 STAVESBANK ROAD
 MISSISSAUGA, ON L5G 2V5



101 STAVESBANK ROAD
 MISSISSAUGA, ON L5G 2V5
ROOF PLAN
 A104



FRONT ELEVATION (SOUTH)
1:50



RIGHT SIDE ELEVATION (EAST)
1:50

DRAWING SHOULD NOT BE SCALED
Dimensions and notes are for information only. The contractor shall verify all dimensions and notes on the ground and in the field. The contractor shall be responsible for any errors or omissions in the drawing and shall be liable for any damages or losses resulting therefrom. The contractor shall not be held responsible for any errors or omissions in the drawing or for any damages or losses resulting therefrom. The contractor shall be responsible for any errors or omissions in the drawing and shall be liable for any damages or losses resulting therefrom.

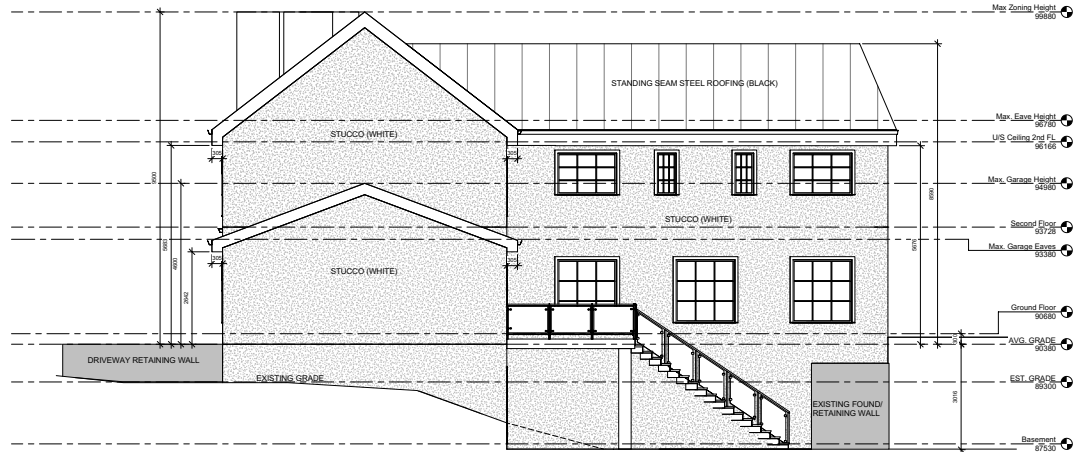
OWNERS:
1431 STAVEBANK ROAD
MISSISSAUGA, ON, L5G 2V5
e: stavebank@gmail.com
p: 416-453-2244



1431 STAVEBANK RD
MISSISSAUGA, ON, L5G 2V5

ELEVATIONS

A301



1 REAR ELEVATION (NORTH)
1:50



2 LEFT SIDE ELEVATION (WEST)
1:50

DRAWING SHOULD NOT BE SCALED
OWNER'S RESPONSIBILITY TO VERIFY ALL INFORMATION
GENERAL NOTES

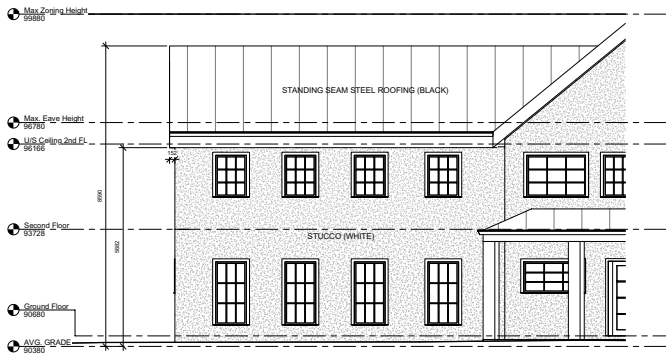
OWNERS:
1431 STAVEBANK ROAD
MISSISSAUGA, ON L5G 2V5
416-443-2244
PHOTOGRAPHY

ph43
PHOTOGRAPHY

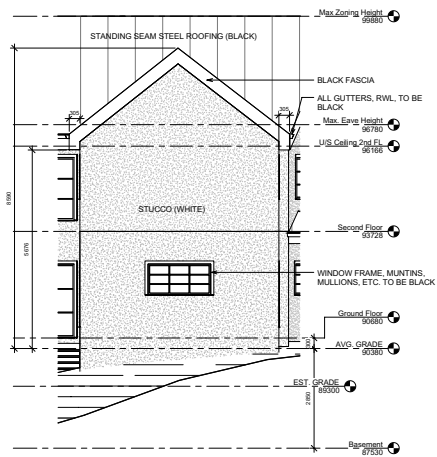
MISSISSAUGA
1431 STAVEBANK RD
MISSISSAUGA, ON L5G 2V5

ELEVATIONS

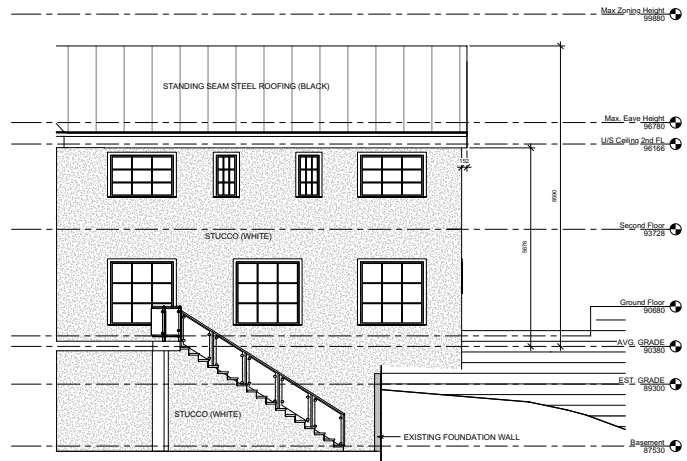
A302



① WEST WING FRONT ELEVATION
1:50



② WEST WING SIDE ELEVATION
1:50



③ WEST WING REAR ELEVATION
1:50

DRAWING SHOULD NOT BE SCALED
GENERAL NOTES
1. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
2. FINISHES ARE TO BE AS SHOWN ON THE DRAWING.
3. MATERIALS AND METHODS OF CONSTRUCTION SHALL BE AS APPROVED BY THE ENGINEER.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
5. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES.
7. THE CONTRACTOR SHALL MAINTAIN THE SITE IN A SAFE AND SOUND CONDITION AT ALL TIMES.

OWNERS:
1431 STAVEBANK ROAD
MISSISSAUGA, ON L5G 2V5
416-443-2244
416-443-2244

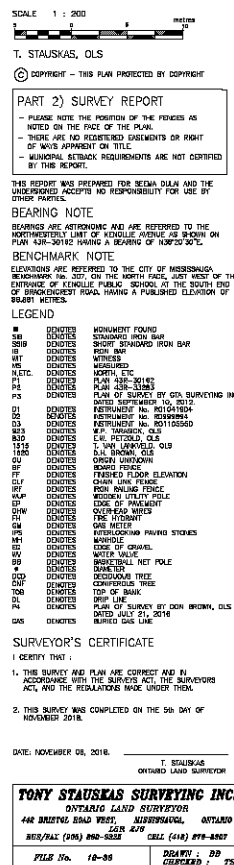
ph43
architectural



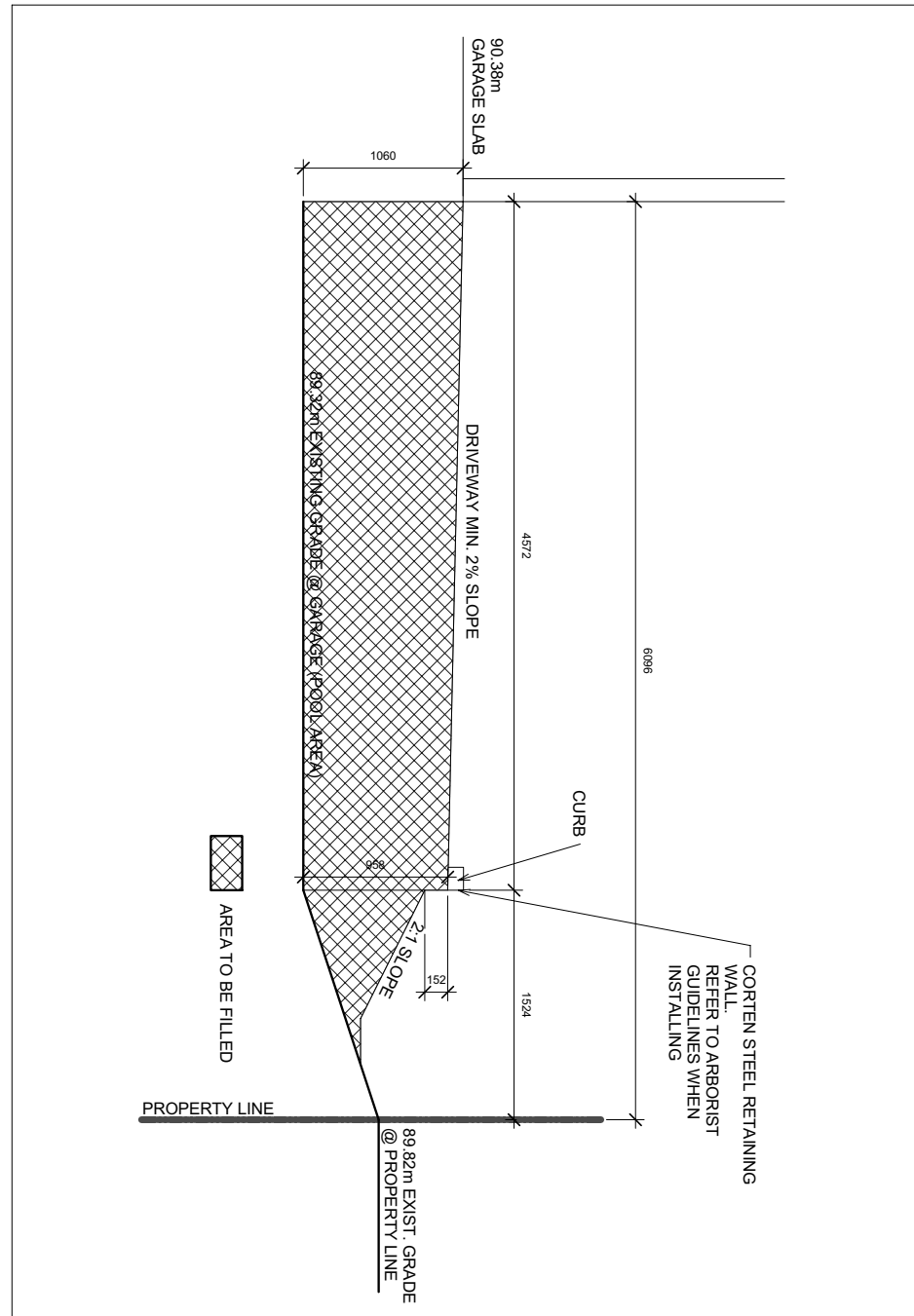
DATE: 10/10/2024
DRAWN BY: J. SMITH
CHECKED BY: M. JONES
APPROVED BY: P. ROBERTS

1431 STAVEBANK RD
MISSISSAUGA, ON L5G 2V5


ELEVATIONS - WEST WING
A303



2018-12-17 3:22:09 PM



DRAWING SHOULD NOT BE SCALED. Contractor must check and verify all dimensions on the job and report any discrepancies to the architect before proceeding with the work. This drawing shall not be used for construction purposes until issued as such by the consultant responsible. This drawing, as an instrument of service, is provided by and is the property of Passive House 43 Architecture.

 ph43 Passive House 43 Architecture P a s s i v e H o u s e A r c h i t e c t u r e	1431 STAVEBANK RD MISSISSAUGA, ON, L5G 2V5		<table border="1"><tr><td>Date</td><td>Rev</td><td>Issue</td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr></table>		Date	Rev	Issue										<table border="1"><tr><td colspan="3">Issued for SITE PLAN APPROVAL</td><td>Issue date 12/14/2018</td></tr><tr><td>Project no. 18005</td><td>Drawn by CE</td><td>Checked by CE</td><td>Scale 1 : 24</td></tr><tr><td colspan="3">PROPOSED DRIVEWAY</td><td>SK1</td></tr><tr><td colspan="3">Drawing title</td><td>Sheet no.</td></tr></table>		Issued for SITE PLAN APPROVAL			Issue date 12/14/2018	Project no. 18005	Drawn by CE	Checked by CE	Scale 1 : 24	PROPOSED DRIVEWAY			SK1	Drawing title			Sheet no.
	Date	Rev	Issue																															
Issued for SITE PLAN APPROVAL			Issue date 12/14/2018																															
Project no. 18005	Drawn by CE	Checked by CE	Scale 1 : 24																															
PROPOSED DRIVEWAY			SK1																															
Drawing title			Sheet no.																															

**WHITESIDE TREE
& GARDEN INC.
21 GLENHOLME AVE.
TOR. ONT.M6H 3A8
416-873-4736**

trevor@whitesidetreeandgarden.com

ATTN:
CITY OF MISSISSAUGA
URBAN FORESTRY
PRIVATE TREE BI-LAWS

2018-12-13

RE: TREE INVENTORY AND PRESERVATION PLAN FOR 1431 STAVEBANK RD.,
MISSISSAUGA.

It is proposed that the existing residential dwelling be demolished and replaced with a new larger house. The existing pool is to be removed and a new in ground pool now installed in a different location.

TREE INVENTORY

#	SPECIE	DBH	TPZ	CONDITION	COMMENTS
1.	Red oak	49cm	2.4m	Good	Private @ front #1459
2.	Silver maple	50cm	3.0m	Excellent	City mngd. @ #1431
3.	Silver maple	74cm	4.8m	Excellent	City mngd. @ #1431
4.	Spruce	50cm	3.0m	Good	Private @ front #1431
5.	Sugar maple	18cm	1.8m	Excellent	Private @ front #1431
6.	Sugar maple	40cm	2.4m	Moderate	City mngd. @1431
7.	Spruce	50cm	3.0m	Poor	Private @ front #1425
8.	Scott's pine	28cm	1.8m	Fair	Private @ front #1431
9.	Scott's pine	34cm	2.4m	Stone dead	Private @ front #1431
10.	Scott's pine	32cm	2.4m	Good	Private @ front #1431
11.	Black oak	61cm	4.2m	Excellent	Private @ front #1425
12.	Red maple	33cm	2.4m	Excellent	Private @ side #1431
13.	Red maple	3x20cm	1.8m	Excellent	Private @ side #1431
14.	Silver maple	50cm	3.0m	Moderate	Private @ side #1431
15.	Birch	40cm	2.4m	Moderate	Private @ side #1431
16.	Red maple	35cm	2.4m	Good	Private @ rear #4131
17.	Norway maple	20cm	1.8m	Good	Private @ rear #4131
18.	Norway maple	62cm	4.2m	Poor	Private @ rear #4131
19.	Norway maple	20cm	1.8m	Good	Private @ rear #4131
20.	Red maple	45cm	3.0m	Excellent	Private @ rear #4131
21.	Dead ash	20cm	1.8m	Dead	Private @ rear #4131

TREE INVENTORY CONT...

#	SPECIE	DBH	TPZ	CONDITION	COMMENTS
22.	Colorado spruce	40cm	2.4m	Good	Private @ rear #4131
23.	Willow	50cm	3.0m	Excellent	Private @ rear #4131
24.	Scott's pine	50cm	3.0m	Poor	Private @ rear #4131
25.	Black walnut	20cm	1.8m	Excellent	Private @ side #1431
26.	Norway maple	20cm	1.8m	Good	Private @ side #1431
27.	Black walnut	49cm	3.0m	Excellent	Private @ side #1431

COMMENTS

Tree #1.

This is a large Red oak located on the neighbouring property addressed 1459 Stavebank Rd. It is currently rated to be in good physiological condition. It should be noted that it appears a construction project has just finished at the address mentioned. If the tree does go into decline, it will be not be as a result of any proposed work for the project at 1431 Stavebank Rd. It is located outside the realm of the construction and will be fully protected through the course of the project.

Tree #2.

This is a Silver maple located on the City of Mississauga easement portion of the property addressed 1431 Stavebank Rd. It is located next to Tree #1 on the west side of the circle driveway. It is currently rated to be in excellent condition with no defects noted. A minor amount of work is required within the TPZ of this tree. The existing driveway, which is to remain in the same footprint at its entrance as the original, has a small portion which passes through the TPZ of this tree. It is therefore requested that the TPZ hoarding location for this tree be adjusted to accommodate the required re-cladding of the driveway.

While the existing asphalt maybe lifted and gravel base be re-graded, any excavation into the native sub-soil is prohibited. It is recommended that Granite HPB or Granite $\frac{3}{4}$ " clear gravel be used if added base is required. The driveway through this space should also be a permeable paver product. Any root discovered to be less than 5cm in diameter may be pruned by a qualified arborist to accommodate the driveway. Any root discovered measuring 5cm in diameter or greater is to remain intact and incorporated into the new driveway system. Providing care is taken this tree should continue to thrive at its currently rated level of condition post construction.

Tree #3 & #4.

These two trees are located in the central grassed portion of the circle drive. Tree #3, a large Silver maple, is located on the City of Mississauga easement. Tree # 4 a spruce tree is located on the private portion. These two trees are both rated to be in good to excellent physiological condition. The existing driveway, which is to remain in the same footprint at its entrance as the original, does have a small portion which passes through the TPZ of Tree #3 and Tree #4. It is therefore requested that the TPZ hoarding location for these two trees be adjusted to accommodate the required re-cladding of the driveway.

While the existing asphalt maybe lifted and gravel base be re-graded, any excavation into the native sub-soil is prohibited. It is recommended that Granite HPB or Granite $\frac{3}{4}$ " clear gravel be used if added base is required. The driveway through this space should also be a permeable paver product. Any root discovered measuring 5cm in diameter or greater is to remain intact and incorporated into the new driveway system. Providing care is taken these two trees should continue to thrive at their currently rated level of condition post construction.

COMMENTS CONT...

Tree #5.

This tree is a small Sugar maple also located in the central grassed portion of the circle drive. The tree is also situated on the private portion of the property. This tree is rated to be in excellent physiological condition. No work is proposed within the TPZ of this tree whatsoever. TPZ hoarding will be erected at the outside edge of the set and approved TPZ of this tree. The tree will be fully protected through all phases of the project and therefore continue to thrive at its currently rated level of condition post construction.

Tree #6.

This is a Silver maple located on the City of Mississauga easement portion of the property addressed 1431 Stavebank Rd. It is located at the mouth of the circle driveway on the east side. It is currently rated to be in moderate condition with signs of tip dieback through the canopy. A minor amount of work is required within the TPZ of this tree. The existing driveway, which is to remain in the same footprint at its entrance as the original, does have a small portion which passes through the TPZ of this tree. It is therefore requested that the TPZ hoarding for this tree be adjusted to accommodate the required re-cladding of the driveway.

While the existing asphalt maybe lifted and gravel base be re-graded, any excavation into the native sub-soil is prohibited. It is recommended that Granite HPB or Granite $\frac{3}{4}$ " clear gravel be used if added base is required. The driveway through this space should also be a permeable paver product. Any root discovered measuring 5cm in diameter or greater is to remain intact and incorporated into the new driveway system. Providing care is taken this tree should continue to thrive at its currently rated level of condition post construction.

Tree #7.

This is a spruce tree located on the private portion of the property along the east side of the driveway. It is currently rated to be in poor physiological condition, with showing as sparse canopy with dead branches and needle drop. No work is proposed within the TPZ of this tree. The tree will have TPZ hoarding erected at the outside edge of the set TPZ distance. The tree will be fully protected through the course of the project. If the tree does go further into decline it will not be as a result of any work proposed.

Tree #8.

This is a Scott's pine located along the east side of the driveway. The tree is rated to be in fair physiological condition. It has only approximately 25% canopy coverage left. The tree measures under 30cm DBH. It is recommended the tree be removed based on its condition.

Tree #9.

This is another Scott's pine. It is currently stone dead and requires removal. It is recommended that this tree be removed prior to the commencement of the project.

COMMENTS CONT...

Tree #10, #11, & #12.

These three trees, in order, are Scott's pine, a Black oak and a Red maple. They are located along the shared property line with 1425 Stavebank Road. Tree #10 is currently rated to be in good physiological condition, with Tree #11 and #12 in excellent condition. A large portion of the tree TPA are currently covered over by the existing impermeable asphalt driveway. Where trees have grown near such driveways the likelihood of roots growing under it are less likely. Roots require water and more importantly oxygen. Where the soil is deprived of either, roots tend not to be present.

It is now proposed that this driveway be lifted and replaced. It is therefore requested that the TPZ hoarding for this tree be adjusted to accommodate the required installation of the driveway.

The grading along this side of the property drops continuously. As a result of this, in order to have a level surface, the proposed driveway will be installed completely above the existing grade. Granite HPB or Granite $\frac{3}{4}$ " clear gravel is to be used as base. The driveway through this space will also be clad with a permeable paver product. The driveway will be retained using a Cortan steel and rebar system. The rebar locations can be adjusted to accommodate any discovered roots. The HPB and permeable paver system will continue to allow water and oxygen down into the rooting system of the tree. This will be an improvement to the tree over the existing asphalt driveway. Given no excavation is required within the various TPZ, other than the rebar, providing care is taken these three trees will continue to thrive at their currently rated level of condition post construction. The growing environment may actually be improved.

Tree #13 & #14.

These two trees like the previous three are also located along the shared property line with 1425 Stavebank Road. They also have the proposed driveway intersect their TPZ. The information provided in regard to the driveway in the previous paragraphs remains the same.

Also required within the TPZ of these two trees is the proposed new garage. The outside edge of excavation required for the foundation of the garage is 4m from the base of either tree. This is far enough away that the likelihood of root disturbance of concern is low. Regardless, the initial outside edge of excavation closest to the trees is to be hand dug only and under the supervision of a qualified arborist. The arborist may root prune as required to correct arboriculture standards.

Given the distance from the trees, providing care is taken these two trees should continue to thrive at their currently rated level of condition post construction.

COMMENTS CONT...

Tree #15.

This is one final Birch tree located along the same line as the previous two sets of trees. Like Tree #10-#12 it is only impacted by the installation of the new driveway. Again no excavation is required other than the rebar installation. While this tree requires a modification to its hoarding location, will continue to thrive at its currently rated level of condition post construction.

Tree #16.

This medium sized red maple, while currently rated to be in good condition is located entirely within the footprint of the proposed foundation. It therefore requires removal to accommodate the project.

Tree #17-#26.

These 8 trees are scattered throughout the rear of the property. They generally present as a healthy stand of trees. It should be noted that Tree #21 is a stone dead ash tree. It should also be noted that Tree #18 is a large Norway maple located at the very north east corner of the property. It has significant rot and defect in the main trunk and should be considered a candidate for removal base entirely on its physiological condition. Regardless of this, all trees cited in this section require no work whatsoever within the set TPZ. The trees will continue to thrive at their currently rated levels of condition post construction.

Tree #27.

This is a medium size Black walnut located near the north/west corner of the existing dwelling. It is currently rated to be in excellent physiological condition. A portion of the proposed dwelling does intersect the TPZ of this tree. It is therefore requested the TPZ hoarding location be adjusted to accommodate this portion of the project. Horizontal hoarding will be installed in all remaining sections of this tree TPZ outside the vertical hoarding. This will greatly reduce any inadvertent root compaction within the exposed TPZ. The horizontal hoarding is to be constructed of a double layer of heavy gauge plywood nailed together.

The edge of the house closest to the walnut is 3m away. This section has also been designed with a 'slab on grade' foundation. Similar to the opposite side of the property the grade has a continuous drop as it moves away from the tree. Therefore a shallow excavation of no more than 30cm is required and only for a portion of the slab, with the remainder of slab above the existing grade. The edges of excavation closest to the tree are to be hand dug only and under the supervision of a qualified arborist. The arborist may prune any roots required to correct arboriculture standards. This is an acceptable design for the protection of the root mass of this tree.

The tree also requires a modest amount of pruning to elevate the canopy to accommodate the roofline of the proposed house. It is recommended that pruning be completed by a qualified arborist and performed to correct arboricultural standards. The level of pruning required is deemed acceptable.

Providing care is taken the tree will continue to thrive at its currently rated level of condition post construction.

REMAINING TREES

There are a series of trees now shown on the site plan indicated with a green coloured circle. This series of trees were omitted from the original survey as they are all either stone dead, previously partially removed or currently infested. As a result no further comment is required on their condition and no protection is required for them through the course of the project.

The two Ash trees closes to Tree #27 are all but dead as a result of being infested with Emerald Ash Borer.

RECOMMENDATIONS AND REQUIREMENTS

It is understood that no tree requiring a 'Permit to Injure or Destroy Trees' will be injured or removed prior to the payment of all fees and the issuance of all permits. Until this time all City of Mississauga managed trees of any size will be fully protected. All private managed trees measuring 30cm DBH or greater will also be fully protected.

All trees of concern at the front of the property will have TPZ hoarding constructed with snow fencing and 2x4 lumber. All trees of concern at the side and back yard are to have TPZ hoarding erected with the use of plywood and 2x4 lumber. Hoarding is to be erected at the distances stipulated in the Tree Inventory or to the edge of existing hardscape, i.e. Driveways, roadways, sidewalks, etc... Hoarding within ecological sensitive areas is to have Frozen Ground Silt Barriers attached to the bottom of all plywood hoarding. TPZ hoarding signage is to be attached to all hoarding. All hoarding is to be erected and approved by Urban Forestry prior to the commencement of the project. No use of heavy equipment, storage of materials or excavation is permitted within the TPZ of any tree without an issued permit by Urban Forestry. Staging of all material and equipment will occur outside of all TPZ vertical hoarding.

It is suggested that a site visit occur by a qualified arborist at the commencement and completion of the project, with periodic visits throughout. This will help ensure all trades are in compliance of the various City of Mississauga by-laws concerning trees. Any root pruning can be performed by the arborist during one of these scheduled visits.

SUMMARY

The proposed construction project has made every effort to preserve trees. For the size of the development only 3 trees require removal to accommodate the project. One tree is located within the footprint of the foundation of the house. The other two are either already dead or close to it and require removal primarily for physiological reasons.

Replacement tree planting will be included in the landscape portion of the project as canopy loss replacement.

There are several other trees mentioned in this report that are already dead or in serious decline and with significant defect. If it is decided that these trees are to be removed it is not as a result of the proposed project but instead as a safety issue.

Of the trees impacted by the proposed project, the design provided has taken great strides in reducing root disturbance. Providing care is taken, these trees will continue to thrive at their currently rated levels of condition post construction.

All other trees are to be preserved and maintained through the course of the project. Providing care is taken all remaining trees will continue to thrive at their currently rated level of condition post construction.

If there are any concerns in regard to the information provided please contact Trevor Whiteside at 416-893-4736.

With kind Regards,

Trevor Whiteside
Whiteside Tree & Garden Inc.

This is a view of the front of the property with the various trees in sight. Please note the outside edges of the existing driveway are to remain as the proposed footprint of the proposed upgrades drive.



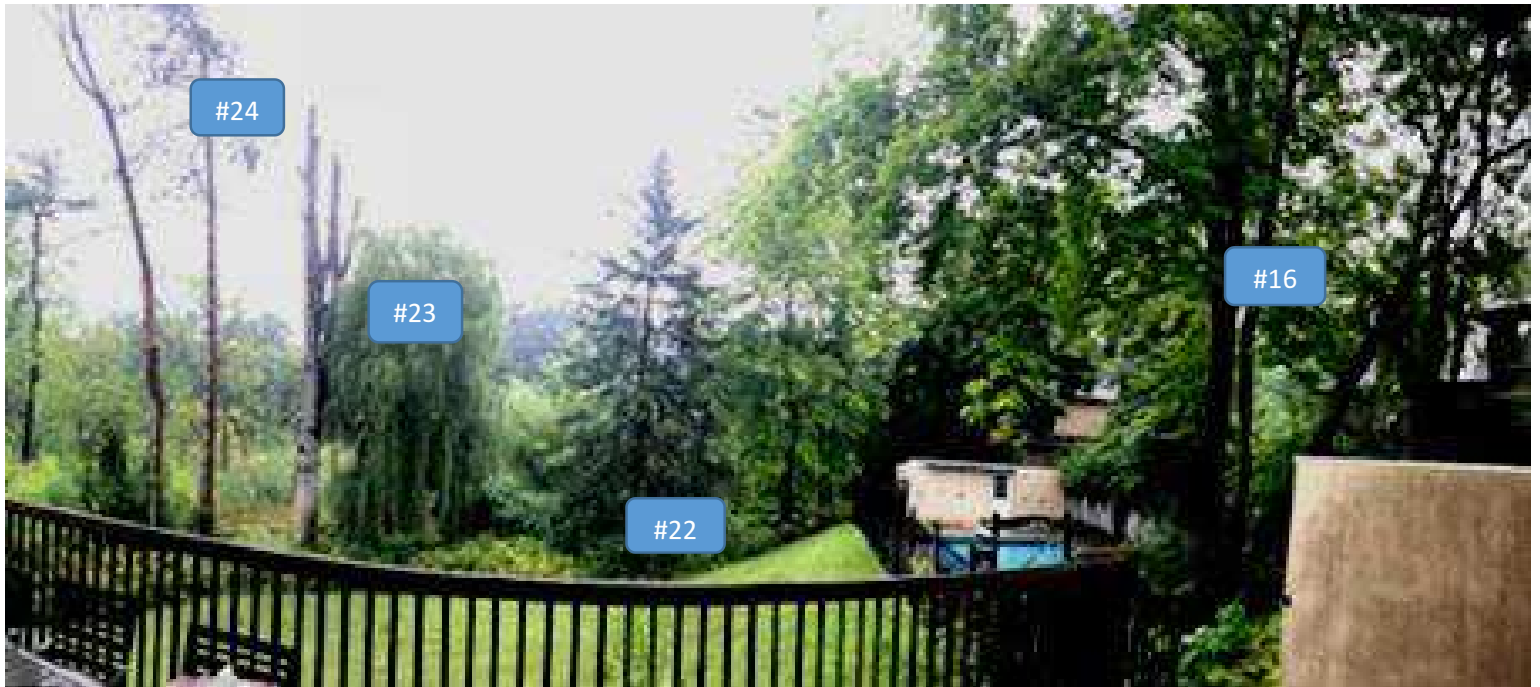
This is a panoramic photo of the east side of the property at the front. The various trees can be seen.



This is a view of the west side of the property at the front.



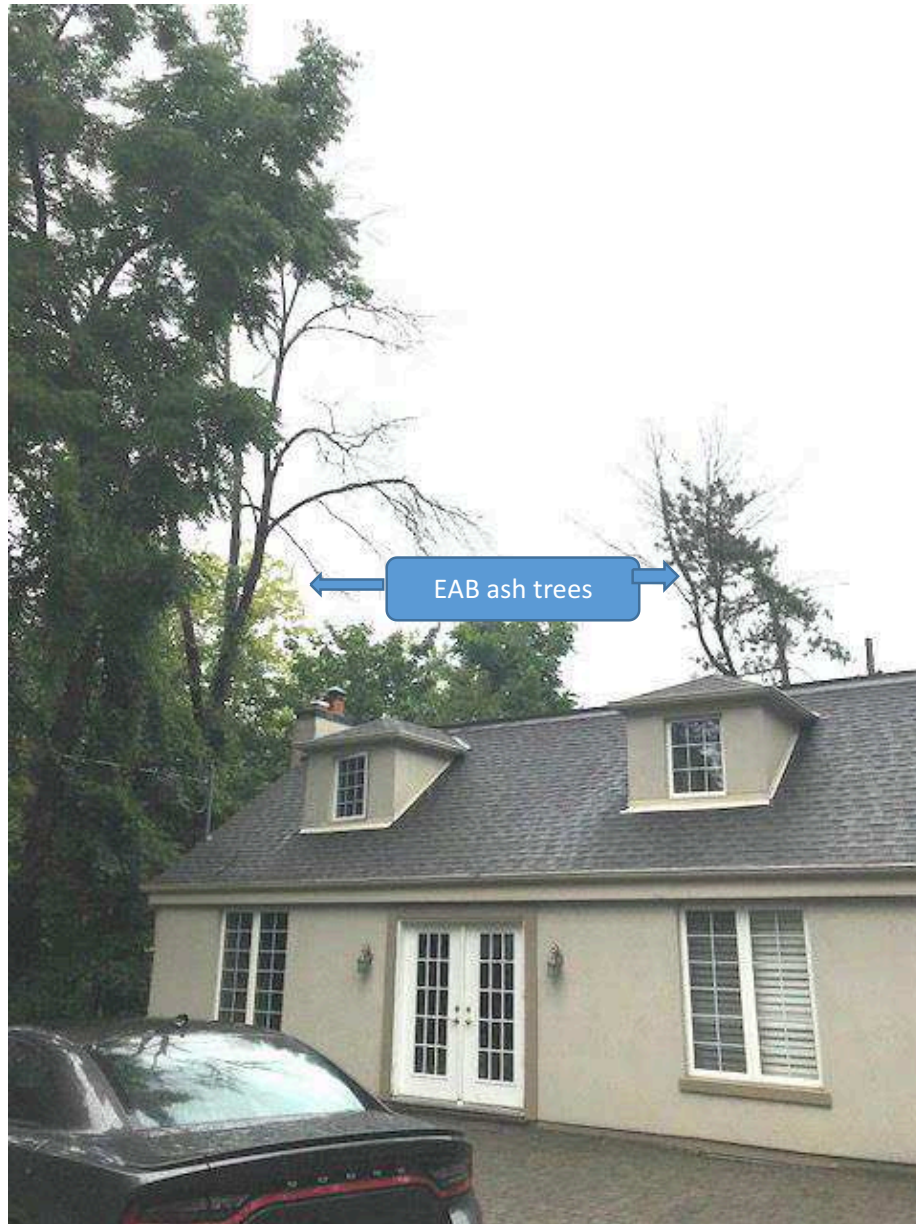
This is a panoramic view of the back yard in its entirety. Aside from the trees documented, the existing pool can be seen as well as the remains of a dead ash tree which succumbed to EAB quite some time ago.

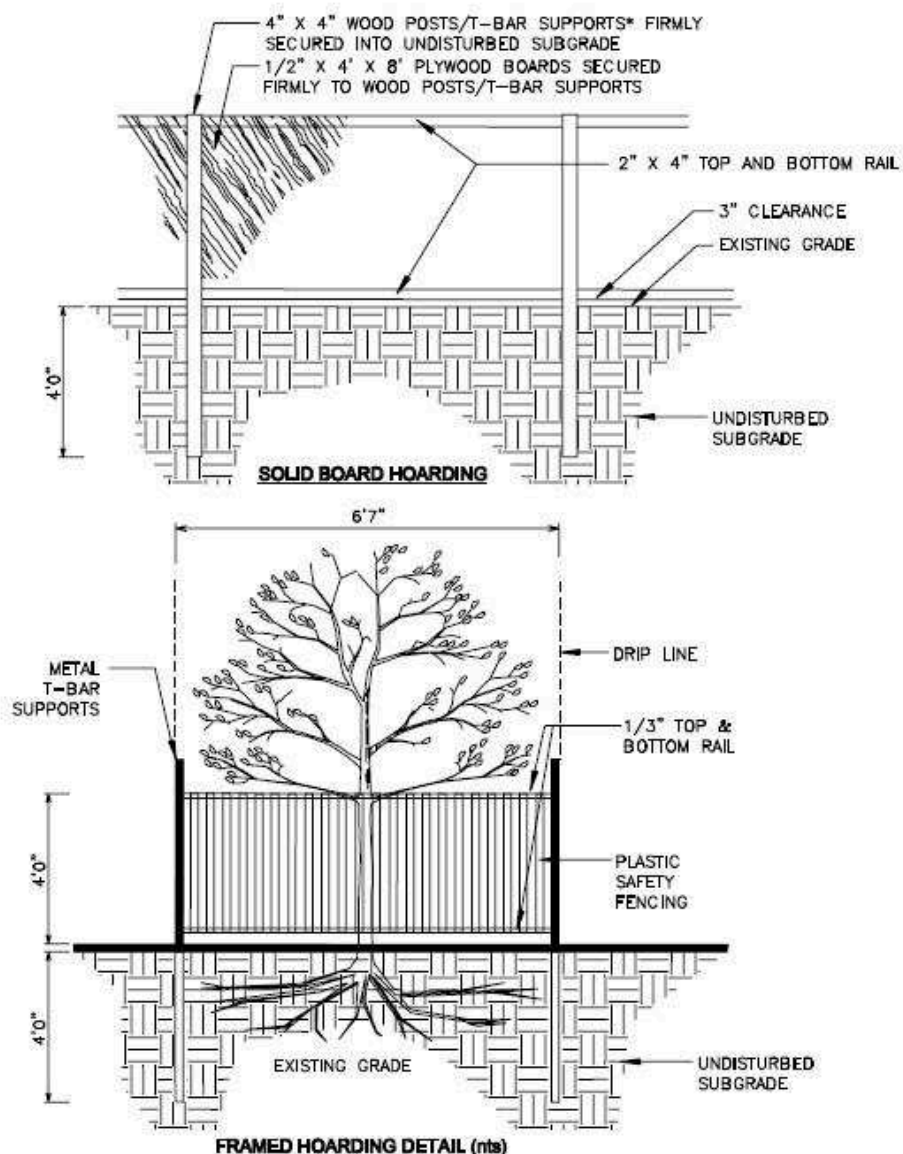


This is a closer view of the section of yard with where trees #17 through #22 are located.



This is a view of tree #27. Two stone dead ash trees can be seen in the photo. They have succumbed to EAB and therefore have not been included in the Tree



**NOTES:**

1. HOARDING DETAILS TO BE DETERMINED FOLLOWING INITIAL SITE INSPECTION.
 2. HOARDING TO BE APPROVED BY DEVELOPMENT AND DESIGN.
 3. HOARDING MUST BE SUPPLIED, INSTALLED AND MAINTAINED BY THE APPLICANT THROUGHOUT ALL PHASES OF CONSTRUCTION, UNTIL APPROVAL TO REMOVE HOARDING IS OBTAINED FROM DEVELOPMENT AND DESIGN.
 4. DO NOT ALLOW WATER TO COLLECT AND POND BEHIND OR WITHIN HOARDING.
- * T-BAR SUPPORTS FOR SOLID HOARDING WILL ONLY BE ALLOWED WITH PRE APPROVAL FROM DEVELOPMENT AND DESIGN.



SCALE: N.T.S.
DATE: JAN, 2008

DEVELOPMENT & DESIGN CONSTRUCTION HOARDING

City of Mississauga

Corporate Report



Date: 8/20/2019

Originator's files:

To: Chair and Members of Heritage Advisory Committee

From: Paul Mitcham, P. Eng, MBA, Commissioner of
Community Services

Meeting date:
9/10/2019

Subject

Request to Alter a Heritage Designated Property: 1060 Old Derry Road (Ward 11)

Recommendation

That the request to alter the heritage designated property at 1060 Old Derry Road as per the Corporate Report from the Commissioner of Community Services dated August 20, 2019, be approved.

Background

The subject property is designated under Part V of the Ontario Heritage Act as it forms part of the Meadowvale Village Heritage Conservation District (HCD). Changes to the property are subject to the Meadowvale Village HCD Plan, 2014 and substantive changes identified in said plan require a heritage permit.

Comments

The owner of the subject property proposes to grade and pave the rear and side yards with asphalt to accommodate parking. (See the site plan drawing and images of the existing rear yard, attached as Appendices 1 and 2 respectively.) Porous asphalt is marked on the plans in compliance with the HCD guidelines. However, the Meadowvale Village HCD Subcommittee recommended that regular asphalt also be permitted due to the high cost of porous. Crushed gravel is also being considered and is preferred. The topography change, though a large surface would be minimal. The proposal would allow the requisite seven parking spots for the newly approved use, by zoning variance, as a real estate office, with apartment above. The Subcommittee had no concerns with the grading change.

Financial Impact

There is no financial impact resulting from the recommendation in this report.

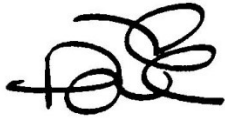
Conclusion

The owner of the property has applied to grade the rear and side yard of their property to allow for rear access and parking. The proposal would facilitate the newly approved use of the building and should therefore be approved, including the employment of regular asphalt paving, if necessary.

Attachments

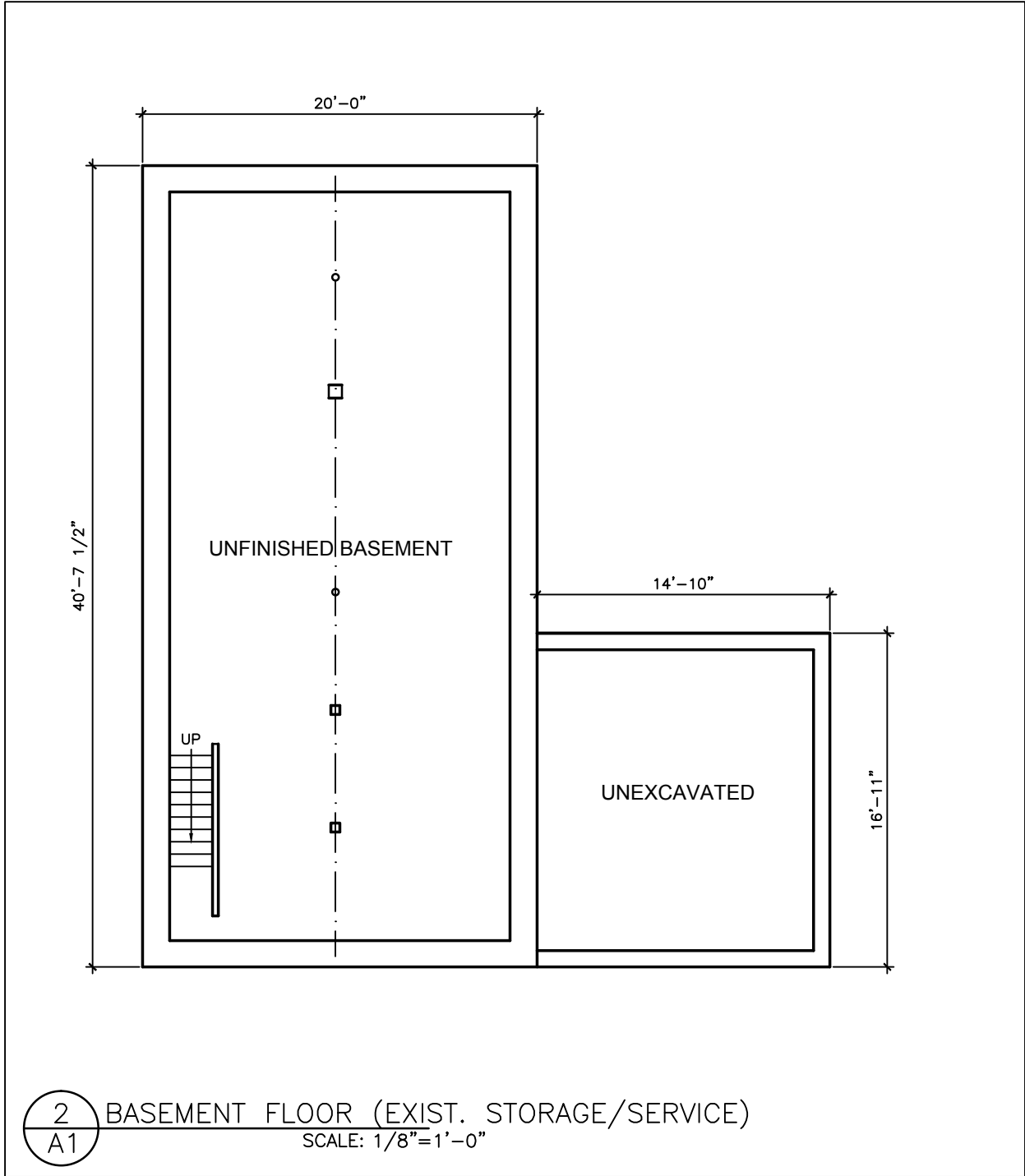
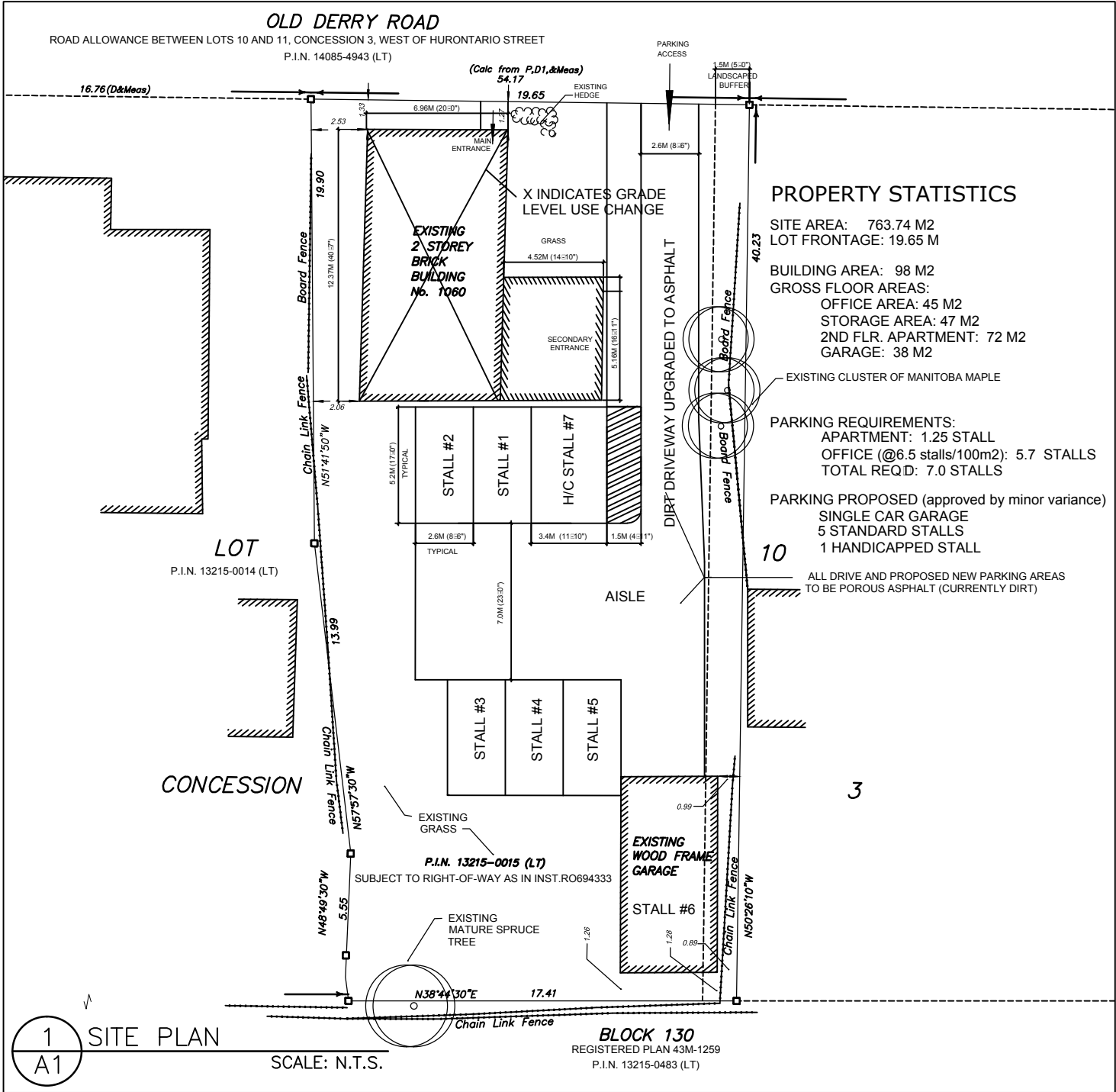
Appendix 1: Site Plan Drawing

Appendix 2: Existing Rear Yard Images



Paul Mitcham, P. Eng, MBA, Commissioner of Community Services

Prepared by: P. Wubbenhorst, Heritage Planner



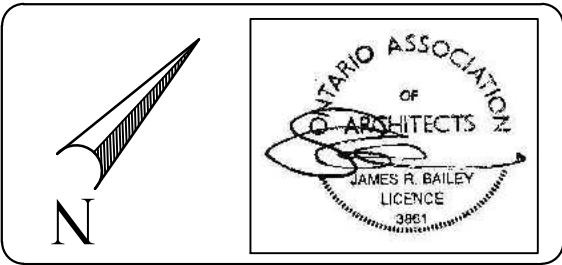
Project:
INTERIOR RENOVATION

1060 Old Derry Road

Drawing Title:
SITE PLAN & BASEMENT PLAN

Date:
June 2019

Scale:
AS SHOWN



Architect:

James Bailey Architect

49 Melbourne Avenue
TORONTO, ONTARIO
M6K 1K6
VOICE: (416) 537-4140 FAX (416) 537-0405

A1



City of Mississauga

Corporate Report



Date: 8/20/2019

To: Chair and Members of Heritage Advisory Committee

From: Paul Mitcham, P. Eng, MBA, Commissioner of
Community Services

Originator's files:

Meeting date:
9/10/2019

Subject

Request to Alter a Heritage Designated Property: 223 Queen Street South (Ward 11)

Recommendation

That the City approve the alteration of the designated property at 223 Queen Street South, as per the Corporate Report from the Commissioner of Community Services dated August 20, 2019.

Background

The Robinson-Bray House, the subject property, is designated under Part IV of the Ontario Heritage Act. Section 33 of the Act requires permission from Council in order to make alterations to property designated under Part IV of the Act.

Comments

The owner of the subject property has submitted an application to replicate what is thought to be the original front upper wood balcony of the building. (Images and annotated drawings are attached as Appendix 1.) Peter John Stokes, Consulting Restoration Architect, presumably drew what was originally on site in 1986; sometime after which the balcony was modified from its original form to comply with building code. In addition to the change in height, the design was subtly modified as well.

The balcony is in poor repair and requires work. The proposal is to revert back to the original design but with slightly elongated balusters to increase the height of the balcony. The balusters would be increased to a height of 78cm to give the balcony a height of 107cm, which meets the building code. The proposal would allow for the continued use of the balcony truer to its original form and should therefore be approved.

Financial Impact

There is no financial impact resulting from the recommendation in this report.

Conclusion

The owner of the property has applied for a heritage permit to replicate the original front upper balcony at the subject address albeit at an increased height to comply with the building code. The proposal would allow for the continued use of this architectural feature and should therefore be approved.

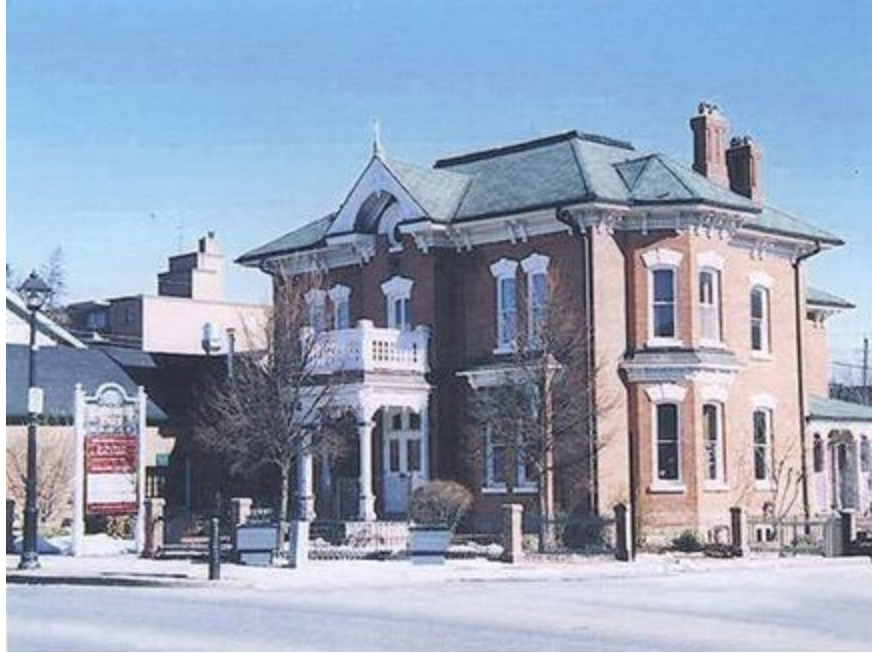
Attachments

Appendix 1: Images and Annotated Drawings

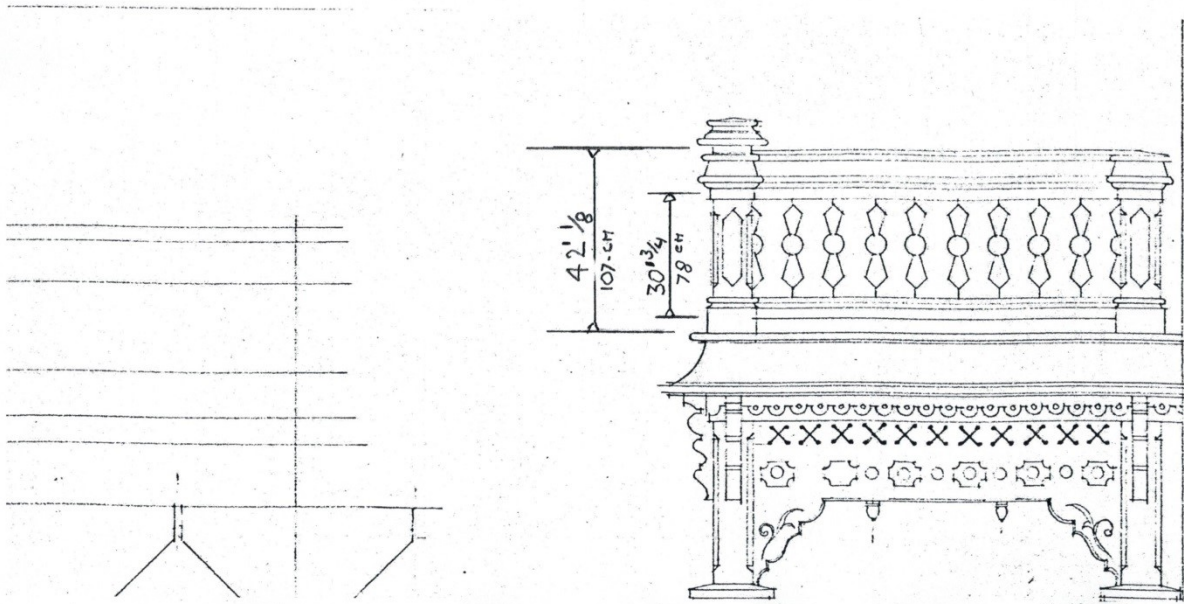


Paul Mitcham, P. Eng, MBA, Commissioner of Community Services

Prepared by: P. Wubbenhorst, Heritage Planner

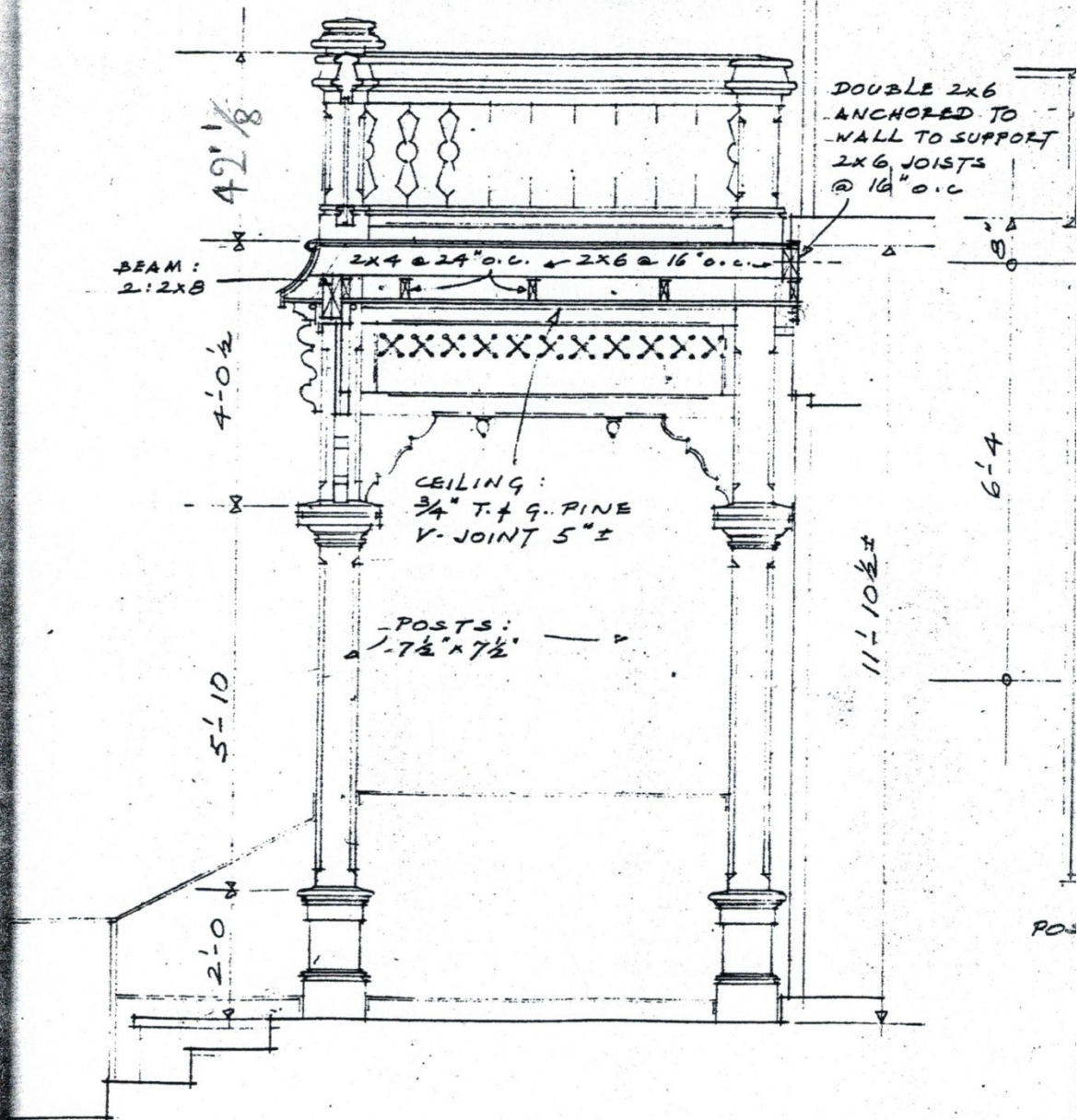






SIDE ELEVATION

F R



CROSS-SECTION A.A

NOTES:

- ① STRUCTURAL WOODWORK, WHERE CONCEALED, & EXCLUDING POSTS, TO BE TREATED LUMBER, SPRUCE OR EQUIVALENT.
- ② POSTS MAY BE SOLID OR LAMINATED EASTERN WHITE PINE, OR WITH TREATED 4x4 CORN &

City of Mississauga

Corporate Report



Date: 8/20/2019

To: Chair and Members of Heritage Advisory Committee

From: Paul Mitcham, P. Eng, MBA, Commissioner of
Community Services

Originator's files:

Meeting date:
9/10/2019

Subject

Request to Demolish a Heritage Listed Property: 2417 Mississauga Road (Ward 8)

Recommendation

That the property at 2417 Mississauga Road, which is listed on the City's Heritage Register, is not worthy of heritage designation, and consequently, that the owner's request to demolish proceed through the applicable process, as per the Corporate Report from the Commissioner of Community Services dated August 20, 2019.

Background

Section 27.3 of the *Ontario Heritage Act* states that structures or buildings on property listed on the City's Heritage Register cannot be removed or demolished without at least 60 days' notice to Council. This legislation allows time for Council to review the property's cultural heritage value to determine if the property merits designation.

Comments

The owner of the subject property has submitted a heritage application to demolish the existing detached dwelling. The subject property is listed on the City's Heritage Register as it forms part of the Mississauga Road Scenic Route cultural landscape, recognized as one of the City's oldest and most picturesque thoroughfares. The Heritage Impact Assessment is attached as Appendix 1. It is the consultant's conclusion that the house at 2417 Mississauga Road is not worthy of heritage designation and the cultural landscape will not be impacted by the proposed development. Staff concurs with this opinion.

Financial Impact

There is no financial impact resulting from the recommendation in this report.

Heritage Advisory Committee

2019/08/20

2

Conclusion

The owner of 2417 Mississauga Road has requested permission to demolish a structure on a property that is listed on the City's Heritage Register. The applicant has submitted a Heritage Impact Assessment that provides information which does not support the building's nor the cultural landscape's merit for designation under the Ontario Heritage Act.

Attachments

Appendix 1: Heritage Impact Assessment



Paul Mitcham, P. Eng, MBA, Commissioner of Community Services

Prepared by: Brooke Herczeg, Heritage Analyst

2417 Mississauga Road

Heritage Impact Assessment

June 12, 2019



Table of Contents

1. Introduction
2. Location & Site Description
3. Property History
4. Development Proposal
5. Evaluation According to Ontario Regulation 09/06
6. Assessment of Impact of Development or Site Alteration
7. Mitigation Measures
8. Conservation of Cultural Landscape Feature Criteria
9. Conclusions and Recommendations
10. References

Introduction

This Heritage Impact Assessment (HIA) has been prepared by W.E. Oughtred & Associates Inc. as a requirement for obtaining a heritage permit for the proposed new dwelling at 2417 Mississauga Road. An HIA is required as this property is located within the Cultural Heritage Landscape area of Mississauga Road. “Mississauga Road is recognized as a Cultural Landscape, as it is one of the City's oldest and most picturesque thoroughfares. Its alignment varies from being part of the normal road grid in the north to a curvilinear alignment in the south, following the top of bank of the Credit River. The scenic quality of the road is notable because it traverses a variety of topography and varying land use, from old established residential neighbourhoods to new industrial and commercial areas. From Streetsville south the boulevards and adjacent landscapes are home to some of the oldest and most spectacular trees in the City. The road also includes some of the city's most interesting architecture and landscape features, including low stone walls. The road's pioneer history and its function as a link between Mississauga's early communities, makes it an important part of the City's heritage.¹

This report was prepared in accordance with the City of Mississauga's Terms of Reference for Heritage Impact Assessments (June, 2017). A site visit was undertaken by W.E.

¹ City of Mississauga

Oughtred & Associates on April 1st, 2019 to assess and document the property and its relationship to the neighbourhood.

Location & Site Description

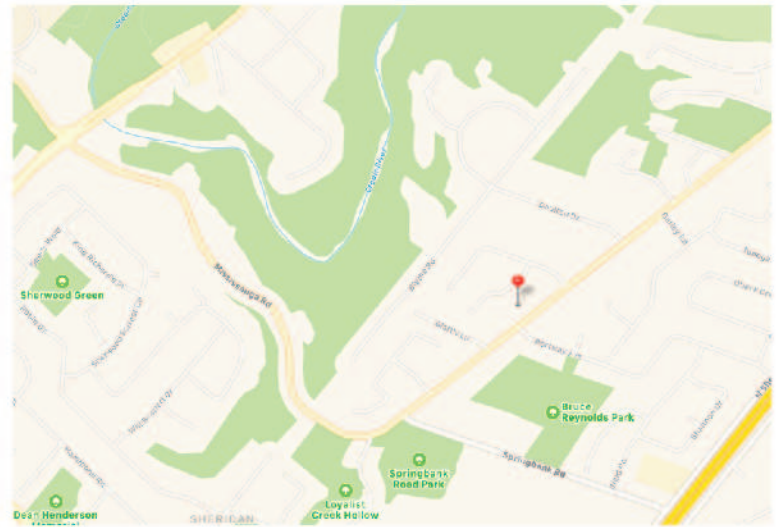
Municipal Address: 2417 Mississauga Road

Legal Description: Lot 4, Plan 647

Lot Area: 1883.06 m²

Zoning: R1, Residential

General Location: North Side of Mississauga Road, South of Dundas Street West, North of the QEW and east of Glatt's Lane.



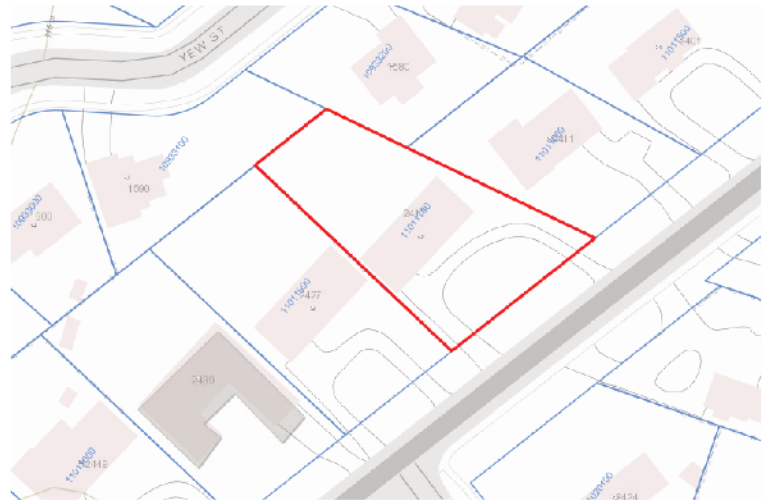
The subject property is located on the north side of Mississauga Road between Glatt's Lane and Otami Trail. Mississauga Road is a multifaceted roadway. Along with its scenic route designation; it is also a collector road and a cycling route. It is designated as a Major Collector (Scenic Route) on Schedule 5 of the Long Term Road Network within the City of Mississauga Official Plan. It is also a primary on-road Cycling Route (Schedule 7 - Long Term Cycling Routes).





A current survey of the property is shown below

The lot has an area of 1883.6 m², a street frontage of 41.63m and a depth of 61.44m. It is an irregular shaped, pie shaped lot, narrowing towards the rear. The property is well treed on the east property boundary with both deciduous and coniferous trees. The home is situated midway back on the lot with a generous front yard setback. The property is accessed by a u-shaped driveway from Mississauga Road. The subject property contains a one-storey bungalow c 1964. It is a vernacular dwelling. The home at some point has been stuccoed to cover the existing brick.



The windows are new and the interior finishes have been updated. The home is currently vacant.



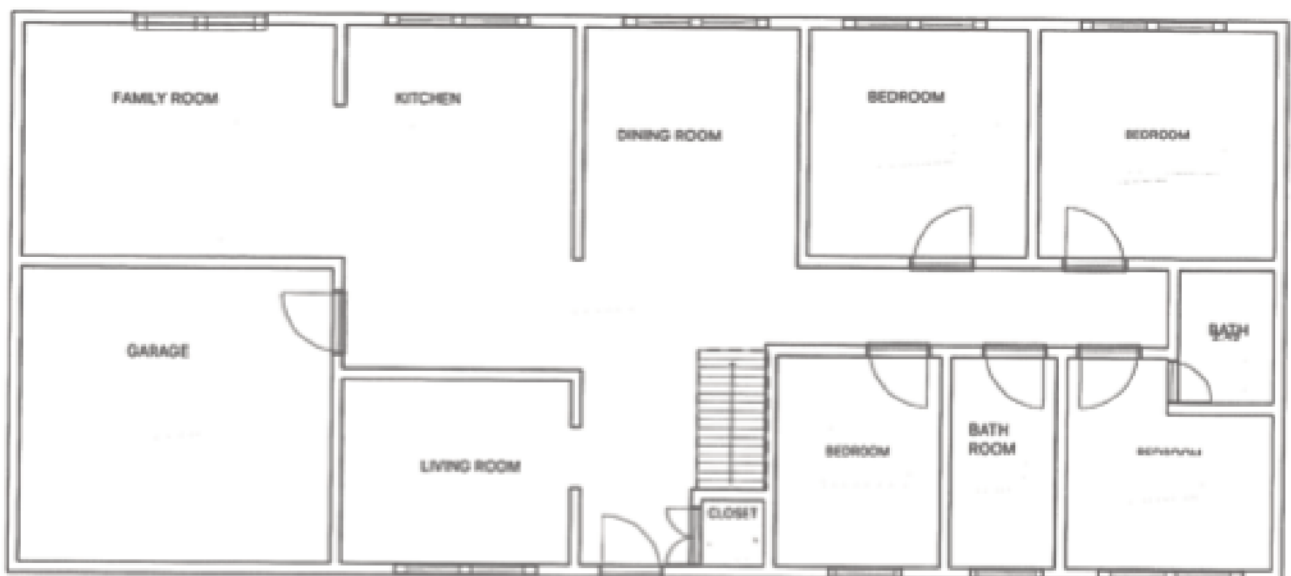
The main floor of the dwelling has four bedrooms, two bathrooms, kitchen, dining and living room. There is also an attached two car garage.

The front entry leads directly to the rear of the home with the kitchen and dining room. Adjacent to the entry is the living room. A hallway just beyond the entry leads to the bedrooms on the east side of the home. The bedrooms are small and unassuming, as are the bathrooms.

Front Elevation (above), rear elevation (below).



The existing floor plan is shown below.



Side elevations are shown below.



Hallway (above), living room (right).



Kitchen (above).

Dining room (below).

Built in bookshelves and cabinetry in small
bedroom (right)





The basement is partially finished with a rec room, laundry room and storage area.



Property History

2417 Mississauga Road is a vernacular bungalow constructed sometime between 1963 and 1966 as evidenced by the aerial photography.

City of Mississauga Building Permit records (right) do not show any permits issued for the dwelling. However, the kitchen has been upgraded from the original.

PROPERTY BUILDING PERMITS

[View Another Property](#)

Address: 2417 MISSISSAUGA RD
 Legal Description: LT 4 PL 647
 Roll Number: 21-05-060-131-07900-0000

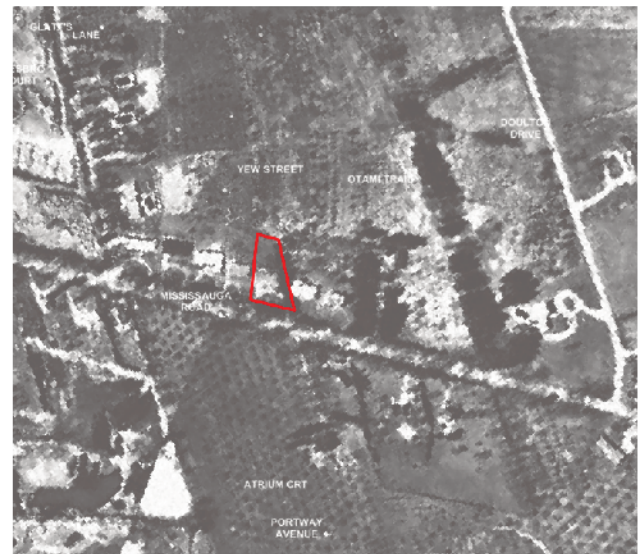
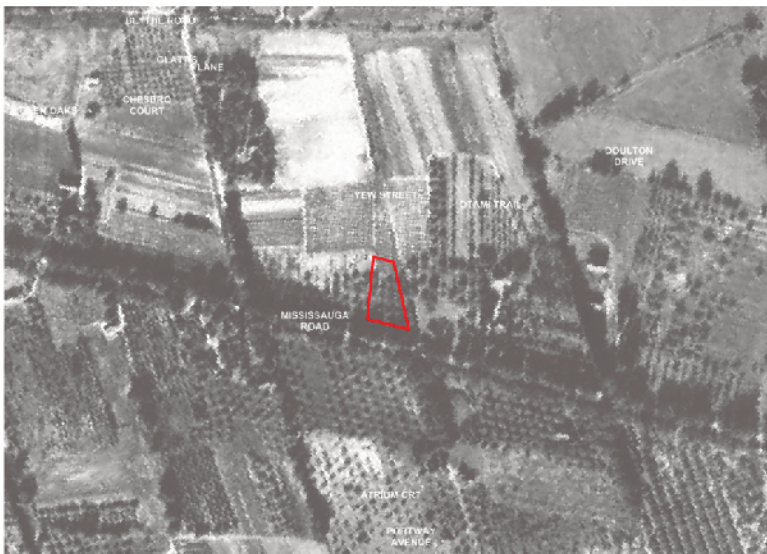
[Print Friendly Page](#)

Building Permits

2 Permit(s) found Page: 1 of 1

App Number	Address	Scope	Issue Date
App Date	Description	Type Description	Status
PLUMHOUS 16 79 DRA	2417 MISSISSAUGA RD	OTHER	2016-01-12
2016-01-12	SEWER CONVERSION	DETACHED DWELLING	COMPLETED -ALL INSP SIGNED OFF
HCC 84 195686	2417 MISSISSAUGA RD		
1984-07-24	FURNACE REPLACEMENT CODE: 1864 PERMIT 57622 JULY 26/84		HISTORY COMMENT PERMIT

2 Permit(s) found Page: 1 of 1



1944 Aerial Mosaic (above right) and 1963 Aerial Mosaic (above left)

Prior to construction of the dwelling, it was part of the fruit orchards and farmland bisected by Mississauga Road. The aerial photo from 1966 (below) demonstrates that development was occurring rapidly along Mississauga Road. The home may have been constructed for Cecil and Marion Brown who owned the home from 1964 through to 2004. An obituary for Cecil Brown was found on legacy.com. It seems as if Cec Brown lived a fulfilling life, but has no connection to Mississauga.



1966 Aerial photo

CECIL THOMAS BROWN Veteran WW II, RCAF 403 Sqdn. (Spitfires) Passed away suddenly on Wednesday, October 01, 2003 in Mississauga. Born Dec. 15, 1917 in Prescott, Ontario. Graduate of Queen's University '41 and Ford of Canada Retiree. A D-Day veteran, Cec was honoured to participate in the opening of the Juno Beach Memorial in Normandy, France, on June 06 of this year. Cecil was the beloved husband of Joyce and was pre-deceased by former wife Marion (1989). Loving father of James (Deborah), Thomas (Cynthia), Janet, and Douglas (Vanita). Also sadly missed by Stepchildren Jack Wilson (Denise) and Janet Wilson. Devoted Grandfather of Nicole (Scott), Shannon (Dan), Adam, Jennifer (Luke), Lisa, Jessica, James and Dylan and Great-grandchildren Ethan, Benjamin and Malcolm. Missed by Monica Grainger, Stephanie, Laura and Richard Wilson and Dan Cummins. Friends will be received at the NEWEDUK FUNERAL HOME- 'MISSISSAUGA CHAPEL,' 1981 Dundas St. W. (1 block east of Erin Mills Pkwy.) from 7-9 p.m. on Friday. A Memorial Service will be held in the Chapel on Saturday, Oct. 4 at 2 p.m. on Interment Trafalgar Lawn Cemetery. Neweduk Funeral Home 905-828-8000

Published in The Globe and Mail from Oct. 3 to Oct. 4, 2003

The following article appears to have been written for the Globe and Mail's Lives Lived Section: (however it was found through a google document).

Cecil Thomas Brown

By Tom Brown

UPDATED AT 10:35 AM EDT Friday, Jun 4, 2004

D-Day veteran. Born Dec. 15, 1917, in Prescott, Ont. Died Oct. 1, 2003, of a heart attack, in Mississauga, Ont., aged 85. Cec Brown was an old warrior. Growing up in Eastern Ontario, on the St. Lawrence, he had a happy-go-lucky childhood filled with baseball and hikes. After repeating the last year of high school, Cec went on to Queen's in Kingston to obtain a BA. He spent three years in the service of his country during the Second World War and these were the most exciting times of his life. These were the times that formed Cec's character: values like loyalty, duty and steadfastness were born and instilled. "Don't complain -- Don't explain" were his bywords. He trained in Canada and had the poor luck (so he said) of being an excellent pilot so that he was recruited to instruct at several wartime aviation training centres. After being posted to England in August, 1943, Cec got his first Spitfire. In more than 300 hours of combat flight, lasting to the end of the war, many unfortunate enemy perished in the rain of death pouring from the deadly Spitfire's wings. He described combat as "blasting" them or "blowing them up." When asked if he had any regrets about it, the answer was a steadfast "No; they were shooting back, so it was them or me."

Several of his Spitfires suffered badly but the sturdy machine brought him home all but once, when he was shot down by Americans. Cec cursed them to his final days. He saw the glory and pain of D-Day from above the beaches. His logbook from June 06, 1944, reads: "Role of our wing is to provide close cover for the beachhead armies against enemy aircraft. First patrol at 0700 hrs. All AC back OK, having seen no Hun, but apparently some flak. Flew four patrols today. Began rainy and cleared by 0830 hrs. "Naval and airborne forces a magnificent sight as they go toward beach. Hundreds of Dakotas towing gliders and carrying paratroopers. Thunderbolts and Typhoons and Mustangs doing dive-bombing just inside beachhead. Hundreds of landing craft pouring into beach and an unbroken stream of naval craft all the way across channel. Truly the greatest 'show on earth' and one well worth seeing. The organization for this must be terrific, but things seem to be going to plan." Between sorties there were many happy and sad anecdotes. Happy times of leave in England and staying with families, some of whom became lifelong friends. Frolic and a certain disregard for the rules: "Did you know that a Spitfire magazine will

hold 40 bottles of champagne in each wing?" (He had a champagne shuttle service from France to London just after the invasion.) Sadness in the loss of his fellow young men who never returned to base. Cec was particularly touched when his steadfast best friend since childhood went down in a Typhoon. His son bears Barclay's name.

After marrying Marion in 1949 (d. 1989), and later Joyce in 1991, Cec went on to become a successful executive; 27 years with the same firm -- Ford Motor Co. His four children, (James Barclay, Thomas, Douglas and Janet) became happy and successful under his stern sight. His war stories never ceased and his old, tattered (but much reviewed) log book was always nearby. Cec lived a long and privileged life (his words). It ended in October, 2003, when he had a heart attack while at the wheel of his new Mercury Grand Marquis. He held on long enough to safely bring it to a stop. At a backyard gathering shortly before his passing, Cec rose to say: "I may have experienced a lot more than you in my life, but in the end, it's family that counts." Words to live by from the old warrior.

Tom Brown is Cec Brown's son.

A summary of Title Chain from the Crown to the current owner is provided below. This was prepared by Stephen Nott Conveyancing Services Inc.

DATE	GRANTOR	GRANTEE
1856	The Crown	Christopher Robinson
1871	Christopher Robinson	James Teeter
1886	James Teeter	Helen Teeter
1887	Helen Teeter	John McMillan
1887 (mtg)	John McMillan	Helen Teeter
1895	Helen Teeter	Thaddens Ghent
1895	Thaddens Ghent	Wm. J. Hare
1914	Wm. J. Hare	Clarence A. Hare
1919	Clarence A. Hare	Robert G. Hodge
1929	Robert G. Hodge	Wm. D. Airth
1940	Wm. D. Airth	George & Margerite Glatt
1960	George & Margerite Glatt	Joan Glatt
1961	Plan 647	

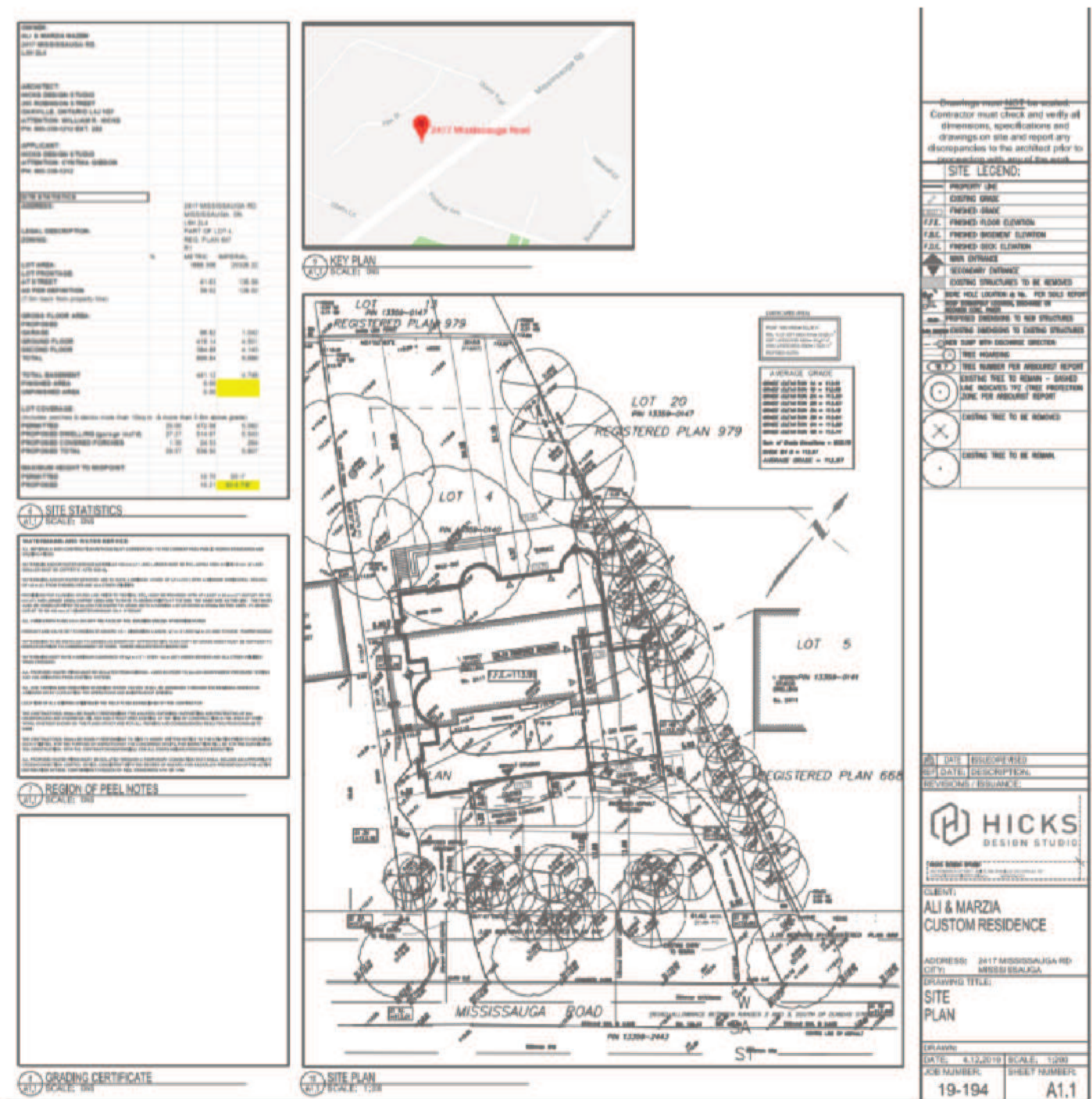
DATE	GRANTOR	GRANTEE
1961	Joan Glatt	Salem Construction Limited
1961	Salem Construction Limited	Mary A. K. Kingsland
1964	Mary A. K. Kingsland	Cecil & Marion Brown
2004	Cecil & Marion Brown	James Barclay Brown & Thomas Richard Brown
2004	James Barclay Brown & Thomas Richard Brown	Ashgar Kay, Fahimeh Ghazvini Sharifi
2016	Ashgar Kay, Fahimeh Ghazvini Sharifi	West Joumaa Hussain Rasha Ahmed Qabani
2018	West Joumaa Hussain Rasha Ahmed Qabani	Current Owner

The existing home is not known to represent significance related to a style, trend or pattern. Nor does it illustrate an important phase in Mississauga social or physical development. It does not have any characteristics that contribute to an enhanced understanding of the community or location culture. There is no link to its physical, functional, visual or historic surroundings.

Development Proposal

This particular area along Mississauga Road, between Glatts Lane and Otmi Trail, has seen significant redevelopment in the last number of years. Although all of the homes on the north side of Mississauga are original, nearly every home on the south side is new construction (within the last 10 years). The new dwelling has been designed by Hicks Design Studio in a classic design to address the requirements of the property owner.

Proposed Site Plan





Thinking about **you** is great. But better still when you and your all-in-one appliance are working together to get the most out of your computer is the actual fun of providing self care, at the end.



The existing dwelling to the west is shown below.



The dwelling to the east is well screened from the road by a hedge row, below.





2427 Mississauga Road

2417 Mississauga Road

2411 Mississauga Road

Existing streetscape



Proposed Streetscape

Evaluation according to Ontario Regulation 09/06

Criteria for Determining Cultural Heritage Value or Interest	Assessment (yes/no)	Rationale
1. Design or physical value:		
a) Is a rare, unique, representative or early example of a style, type, expression, material or construction method	NO	Both the interior and exterior of the home have been significantly modified since original construction. Homes of this style can be found throughout Mississauga

Criteria for Determining Cultural Heritage Value or Interest	Assessment (yes/no)	Rationale
b) Displays a high degree of craftsmanship or artistic merit	NO	It is constructed of standard building materials and does not display a high degree of craftsmanship or artistic merit
c) Demonstrates a high degree of technical or scientific achievement	NO	This is a typical home reflecting the era in which it was built.
2. Historical or associative value		
a) Has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community	NO	The home is not known to be associated with any direct associations significant to the community.
b) Yields, or has potential to yield, information that contributes to an understanding of a community or culture	NO	The existing home is typical to the era in which it was built.
c) Demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community	NO	The home is not associated with a builder, developer or architect significant to the community.
3. Contextual Value		
a) Is important in defining, maintaining, or supporting the character of an area	NO	Mississauga Road is undergoing considerable redevelopment. The scenic character and nature of the road will not be altered with the new construction.
b) Is physically, functionally, visually, or historically linked to its surroundings	NO	No change is proposed to the property's existing landscaping. The existing trees at the front of the property will be maintained.
c) Is a landmark	NO	It is not a landmark. It is a typical suburban home.

Evaluation of Impact of Proposed Development

Potential Negative Impact	Assessment
Destruction of any part, or part of any, significant heritage attributes or features	No perceived impact. No part of the existing home contains any heritage attributes or features.

Potential Negative Impact	Assessment
Removal of natural heritage features, including trees.	No perceived impact. No trees in the front yard will be removed as part of the new construction..
Alteration that is not sympathetic, or is incompatible, with the historic fabric and appearance.	No perceived impact. Although this is the first property on the north side to be redeveloped between Glatts Lane and Otami Trail, all but one of the homes on the south side have been reconstructed. The design and style is in keeping with the redevelopment on the south side of the street.
Shadows created that alter the appearance of a heritage attribute or change the viability of an associated natural feature, or plantings, such as a garden	No perceived impact. There will be no change to a natural feature or plantings.
Isolation of a heritage attribute from its surrounding environment, context or a significant relationship.	No perceived impact. The scenic and visual quality of Mississauga Road will remain.
Direct or indirect obstruction of significant views or vistas within, from, or of built and natural features.	No perceived impact.
A change in land use where the change in use negates the property's cultural heritage value.	Not applicable. The existing and continued use of the property is residential.
Land disturbances such as change in grade that alters soils, and drainage patterns that adversely affect cultural heritage resources.	No perceived impact. The existing grading and drainage pattern around the dwelling is to be maintained.

Mitigation Measures

The proposal for 2417 Mississauga Road is the demolition and construction of a new single family detached dwelling. An assessment of alternative development options and mitigation measures has been considered in order to limit the negative impact on the cultural heritage resource. Methods of minimizing or avoiding negative impact on a cultural heritage resource as stated in the Ontario Heritage Tool Kit (InfoSheet #5, Ministry of Culture) include but are not limited to:

1. Isolating development and site alteration from significant built and natural features and vistas
2. Design guidelines that harmonize mass, setback, setting, and materials
3. Limiting height and density
4. Allowing only compatible infill and additions
5. Buffer zones, site plan control, and other planning mechanisms

The subject property is subject to site plan control and will be reviewed through the City of Mississauga Planning process, thus ensuring the development is compatible infill

development. Further, the dwelling complies with City Zoning requirements with regards to setbacks and height. By maintaining a consistent scale of built features and retaining the existing mature trees at the front of the property, the proposed development is compatible with recent development along Mississauga Road. As such, no mitigation is required.

Conservation of Cultural Landscape Feature Criteria

FEATURE	CONSEVATION METHOD
<u>Landscape Environment</u>	
Scenic and Visual Quality	The nature of Mississauga Road will not change. There is no change to the lot frontage or the roadway.
Horticultural Interest	The existing front yard landscaping will be maintained and enhanced.
Landscape Design, Type and Technological Interest	Not applicable
<u>Built Environment</u>	
Consistent Scale of Built Features	Although this is the first home to be redeveloped on the north side of Mississauga Road between Glatts Lane and Otami Trail, the proposed home is in keeping with adjacent development on the street.
<u>Historical Association</u>	
Illustrates Style, Trend or Pattern	The existing dwelling was constructed in the 1960's and has no historical associations. It does not illustrate a style, trend or pattern. No conservation necessary.
Illustrates Important Phase in Mississauga's Social or Physical Development	The lot was created around the 1950's through a plan of subdivision. There is no impact with the redevelopment of the lot.
<u>Other</u>	
Historical or Archaeological Interest	There is nothing on the lot of historical or archaeological interest.

Conclusions, Recommendations

The subject property contains a one-storey residential dwelling built in approximately 1963-64. It does not meet any of the criteria for Designation under the Ontario Heritage Act. The proposed new construction will not impact the cultural heritage resource, that being the Mississauga Road Scenic Route. Mitigation measures, as noted above, have been considered and no further action is required.

About the Author:

William Oughtred of W.E. Oughtred & Associates Inc., is a development and land use consultant who has been practicing in the Mississauga and GTA area for over 30 years. Mr. Oughtred has a Bachelor of Arts from McMaster University. Mr. Oughtred is well versed in both Planning and building procedures and the City of Mississauga Zoning By-law and Official Plan.

Mr. Oughtred specializes in infill development projects. His extensive experience has afforded him the opportunity to see the City evolve and be at the forefront of growing trends and patterns in land development in Mississauga. He consults regularly on both heritage and urban design for infill projects.

Heritage Impact Statements and Assessments have been completed for many properties in Mississauga, including, but not limited to. the properties listed below.

- ❖ 1532 Adamson Road
- ❖ 1484 Hurontario Street
- ❖ 191 Donnelly Drive
- ❖ 2222 Doulton Drive
- ❖ 915 North Service Road
- ❖ 2375 Mississauga Road
- ❖ 943 Whittier Crescent

References

www5.mississauga.ca/pdfs/Cultural_Landscape_Inventory_Jan05.pdf

<https://www.mississauga.ca/portal/services/property>

<http://www.mtc.gov.on.ca/en/heritage/heritage.shtml>

<https://www.legacy.com/obituaries/theglobeandmail/obituary.aspx?n=cecil-thomas-brown&pid=189772518>

<https://groups.google.com/d/topic/alt.obituaries/PXW5eMC5zUM>

City of Mississauga

Corporate Report



Date: 8/20/2019

To: Chair and Members of Heritage Advisory Committee

From: Paul Mitcham, P. Eng, MBA, Commissioner of
Community Services

Originator's files:

Meeting date:
9/10/2019

Subject

Request to Demolish a Heritage Listed Property: 1641 Blythe Road (Ward 8)

Recommendation

That the property at 1641 Blythe Road, which is listed on the City's Heritage Register, is not worthy of heritage designation, and consequently, that the owner's request to demolish proceed through the applicable process, as per the Corporate Report from the Commissioner of Community Services dated August 20, 2019.

Background

Section 27.3 of the *Ontario Heritage Act* states that structures or buildings on property listed on the City's Heritage Register cannot be removed or demolished without at least 60 days' notice to Council. This legislation allows time for Council to review the property's cultural heritage value to determine if the property merits designation.

Comments

The owner of the subject property has submitted a heritage application to demolish the existing detached dwelling. The subject property is listed on the City's Heritage Register as it forms part of the Credit River Corridor cultural landscape, recognized as a rare natural landmark. The Heritage Impact Assessment is attached as Appendix 1. It is the consultant's conclusion that the house at 1641 Blythe Road is not worthy of heritage designation and the cultural landscape will not be impacted by the proposed development. Staff concurs with this opinion.

Financial Impact

There is no financial impact resulting from the recommendation in this report.

Heritage Advisory Committee

2019/08/20

2

Conclusion

The owner of 1641 Blythe Road has requested permission to demolish a structure on a property that is listed on the City's Heritage Register. The applicant has submitted a Heritage Impact Assessment that provides information which does not support the building's nor the cultural landscape's merit for designation under the Ontario Heritage Act.

Attachments

Appendix 1: Heritage Impact Assessment



Paul Mitcham, P. Eng, MBA, Commissioner of Community Services

Prepared by: Brooke Herczeg, Heritage Analyst

1641 Blythe Road

Heritage Impact Assessment

June 12, 2019



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1. Introduction
2. Location & Site Description
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5. Evaluation According to Ontario Regulation 09/06
6. Assessment of Impact of Development or Site Alteration
7. Mitigation Measures
8. Conservation of Cultural Landscape Feature Criteria
9. Conclusions and Recommendations
10. References

Introduction

This Heritage Impact Assessment (HIA) has been prepared by W.E. Oughtred & Associates Inc. as a requirement for obtaining a heritage permit for the proposed new dwelling at 1641 Blythe Road. An HIA is required as this property is located within the Cultural Heritage Landscape area of the Credit River Corridor. "The Credit River is 58 miles long in total and has a drainage area of 328 square miles. From south of Georgetown to Erindale, the river cuts through the boulder till of the Peel Plain and in some areas exposes the underlying Paleozoic bedrock of shales and sandstones. The River flows through a wide alluvial terrace at Meadowvale where its banks are gentle and tree covered. As it approaches the old Shoreline of glacial Lake Iroquois at Erindale it cuts deeper and deeper into the Peel Plain creating steep valley walls in excess of 75 feet deep. In several locations, such as on the former Bird property north of Burnhamthorpe, intermediate benches were formed as the water levels of the glacial lakes receded. These benches and alluvial terraces provide wonderful natural and recreational settings for trails and other recreational activities. South of the Iroquois shoreline the River cuts through the sands and boulder till of the Iroquois Plain. The last mile of the river is drowned and marshy. The wave action of Lake Ontario continues in its efforts to build a bar across the mouth of the river which is periodically removed by dredging. Despite its size, the River has had significant impact on the settlement of the area. At one time, Erindale had a mill and for a short while a small hydroelectric generating station. At Streetsville, four flour mills operated some of which remain today as modern mills. Two sawmills and a carding mill were built in Meadowvale. The banks of the

river continue to be developed for attractive residential neighborhoods, parks and special uses such as the University of Toronto Erindale campus. The river provides the residents of Mississauga with a variety of recreational and educational opportunities. The Credit River Valley is the most significant natural feature remaining in the City of Mississauga. (excerpts from The Physiography of Southern Ontario)’¹

This report was prepared in accordance with the City of Mississauga’s Terms of Reference for Heritage Impact Assessments (June, 2017). A site visit was undertaken by W.E. Oughtred & Associates on April 12th, 2019 to assess and document the property and its relationship to the neighbourhood.

Location & Site Description

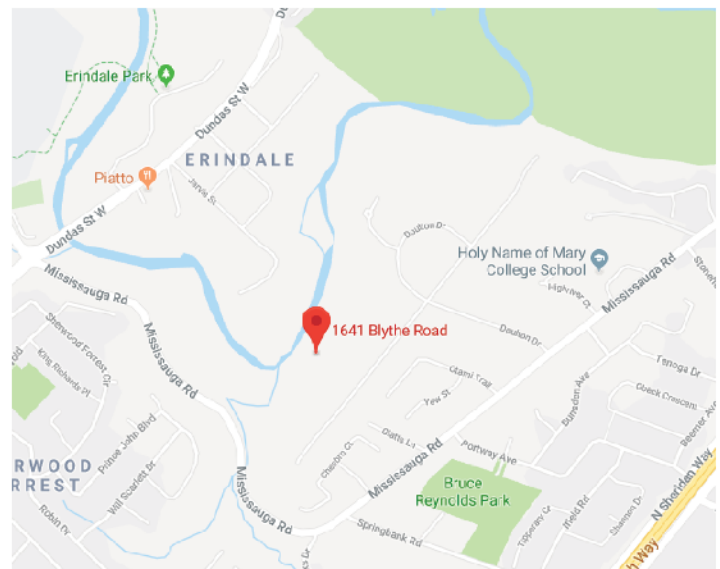
Municipal Address: 1641 Blythe Road

Legal Description: Lot 4, Concession 2, SDS

Lot Area: 10,816.66 m²

Zoning: R1, Residential
and G1, Greenbelt

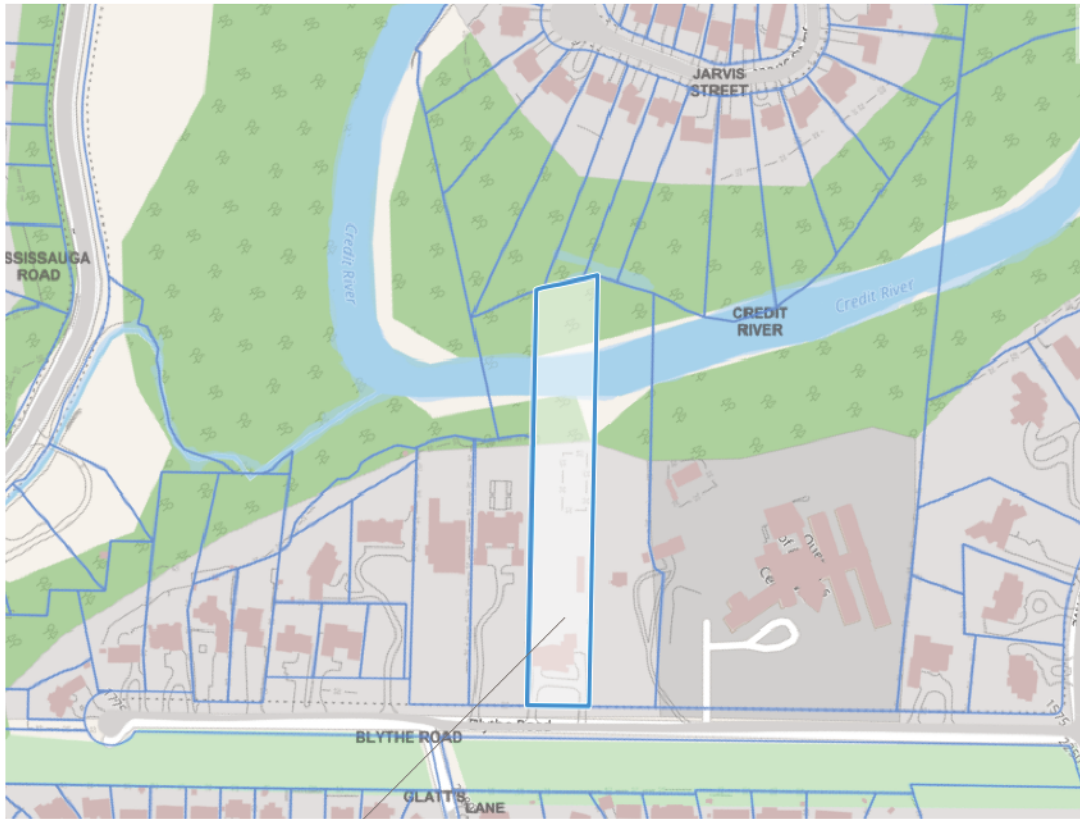
General Location: South of Dundas Street
West, East of Mississauga Road



The subject property is located on the north side of Blythe Road, west of Doulton Drive abutting the Credit River. Located in a highly desirable area of Mississauga, the area is defined by large single family homes on generous lots. Blythe Road is a dead end street accessed only by Doulton Drive from Mississauga Road. There are no sidewalks, curbs or street lines. Blythe Road is a minimalist street in stark contrast to the homes having a Blythe Road address.

¹ City of Mississauga

The subject property has a lot frontage of 39.62m and a lot depth of 167.39m to the staked top of bank of the Credit River. The property includes a portion on the north side of the Credit River, accessible by crossing the river. It is one of the largest, if not the largest lot, (aside from the Queen of Apostles Renewal Centre just east of the subject property) on Blythe Road.

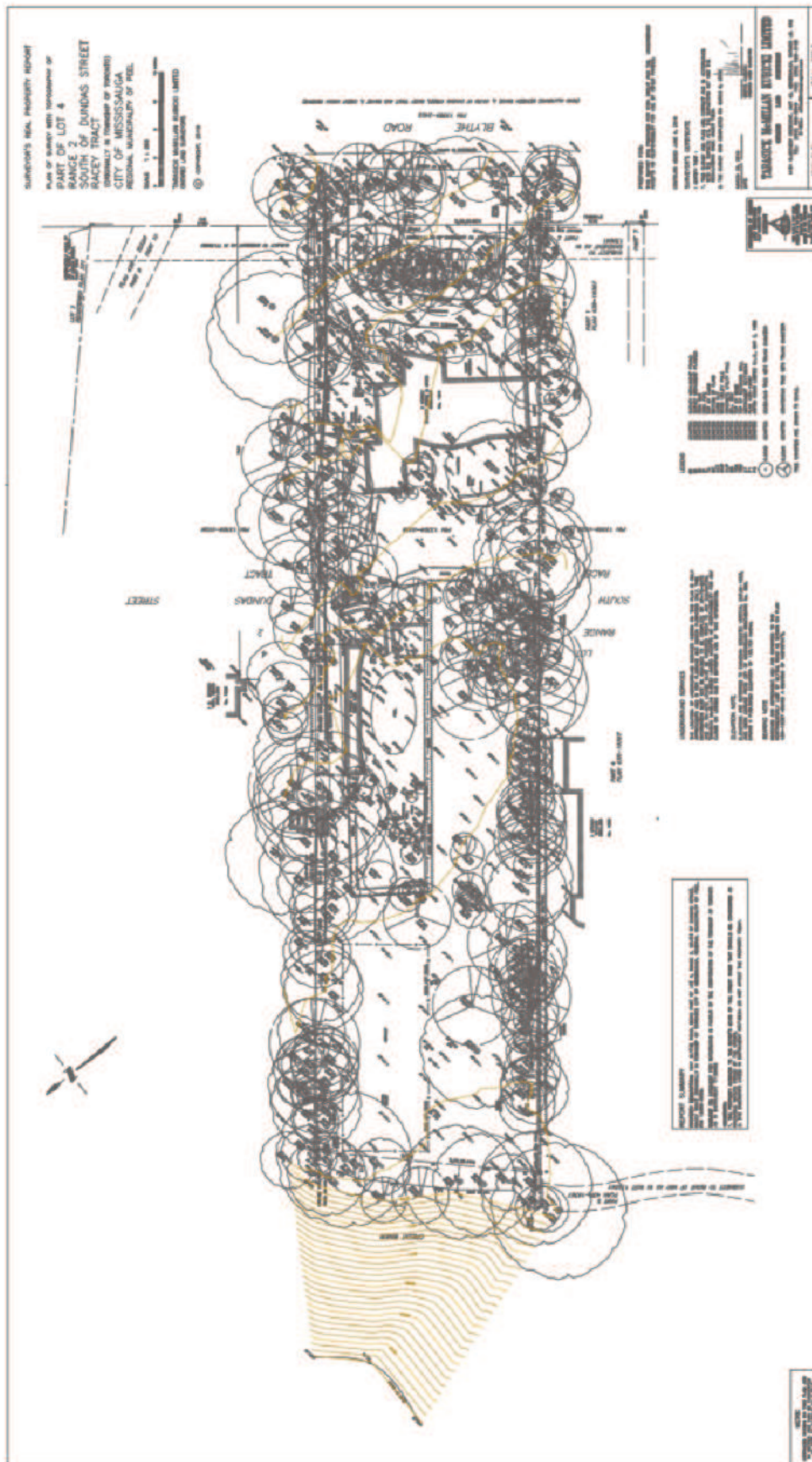


Subject property

City of Mississauga web mapping.

Located within the property boundaries are a single family detached dwelling, an in-ground pool, a pool house and a tennis court. All of these structures and features will be removed as part of the redevelopment of the lot. The existing dwelling is accessed by a u-shaped driveway. The entire property is well treed and relatively flat to the top of bank. At the staked top of bank line, the elevation drops significantly prohibiting safe access to the river below.

A survey of the property is shown below.



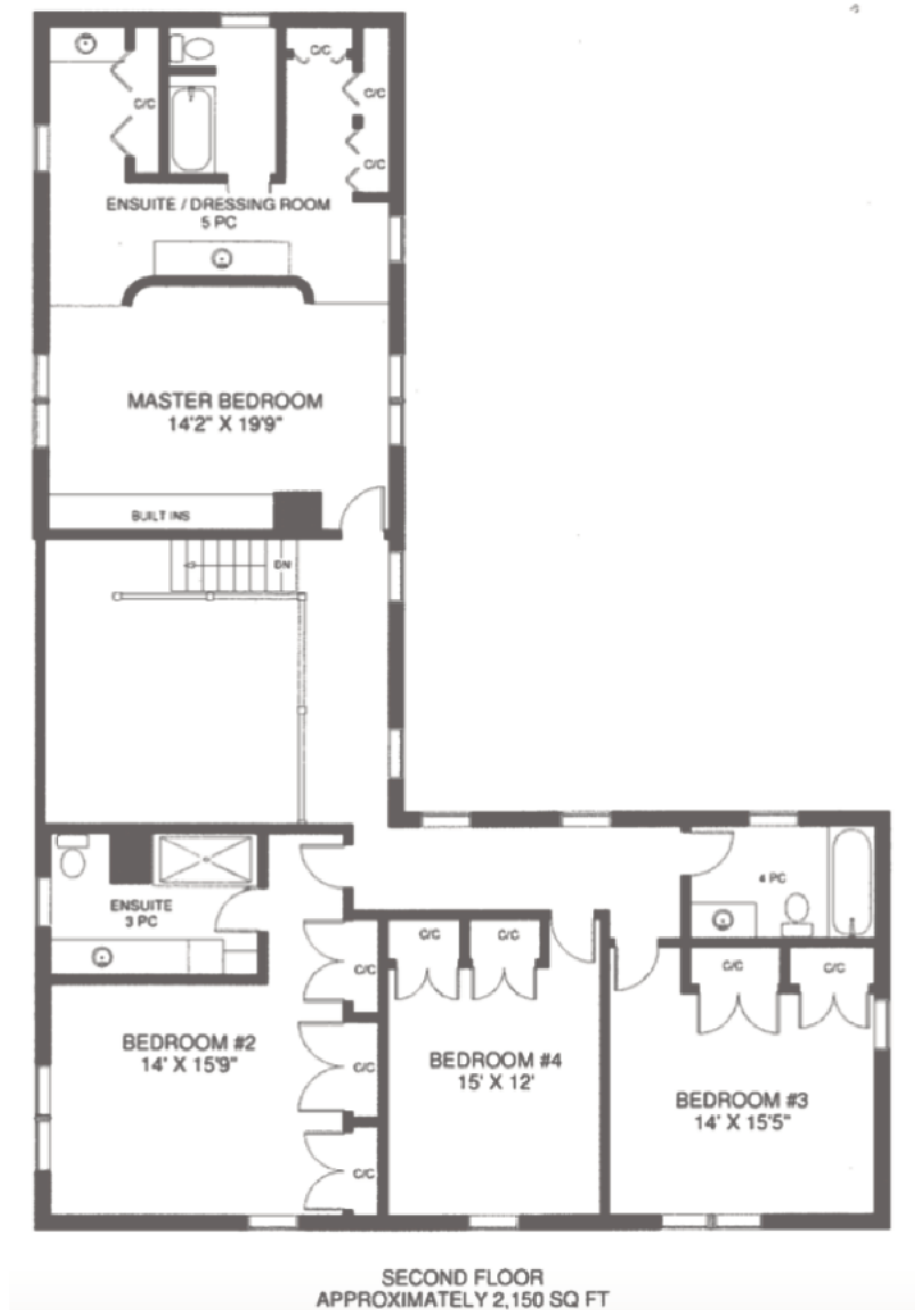
The existing home has been renovated over the years. Based on City of Mississauga aerial mapping, the existing home was built prior to prior 1954, but after 1944. The pool house was constructed in 1960 based on the permit information.

The existing two storey dwelling has five bedrooms and six bathrooms. The detached pool house has a single bathroom as well as a kitchen and recreational space.

Existing Main floor layout.



The main floor layout features a garage, a side entry (on the east side - as opposed to the entry facing Blythe Road), large living spaces as well as a kitchen and a nanny suite. The second floor is accented by a master bedroom and three smaller bedrooms. The basement contains a second garage, a recreational room and storage areas.

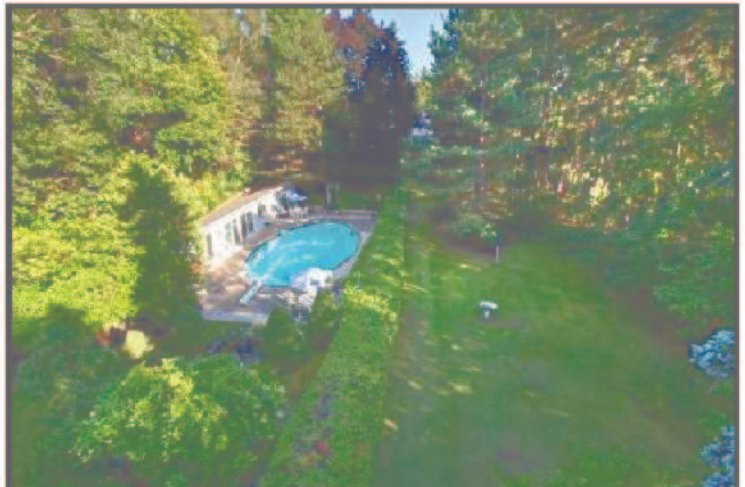


The existing home was owned by the Hristovski family for over 30 years and both the interior and exterior reflect their design style and preferences. The exterior yards are

extensively landscaped with gardens. However, over the last number of years, the landscaping has not been maintained and has become overgrown. The pool and pool house have been neglected for the last number of years as evidenced by their current condition. The same is true for the tennis court.

The enclosed photos are provided from the real estate listing as well as the site visit.

Exterior Photos -Tennis Court and Pool & Pool House (below)





Rear yard look towards the rear of the dwelling. (left). Rear yard looking towards the Credit River (above right).



Rear Elevations (above and below)





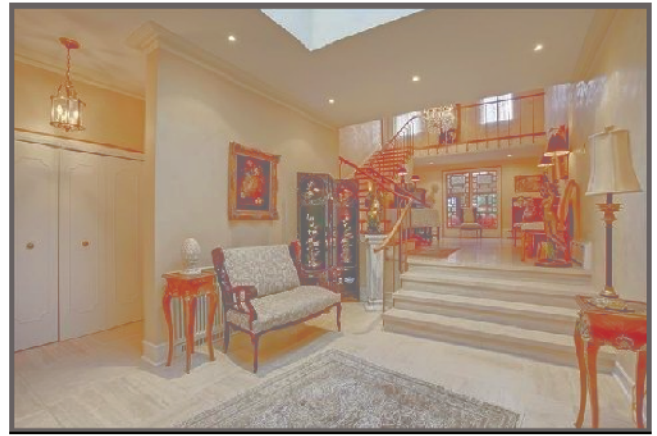
Partial front elevation (above)
West side elevations (below)



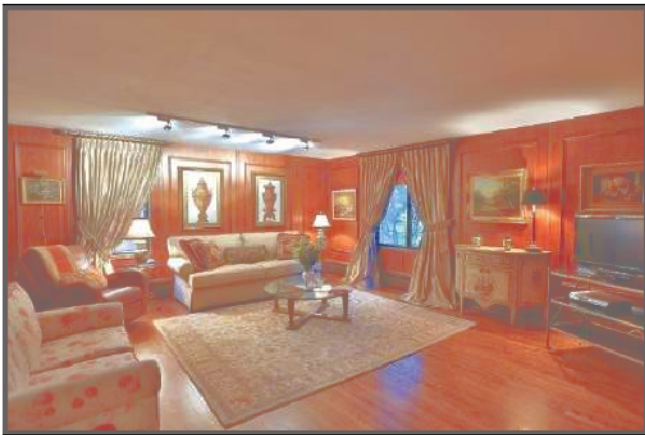


East elevations - above

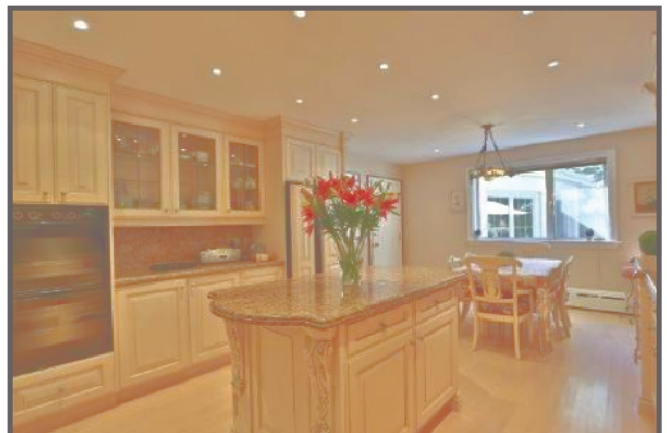
Interior Photos



Front entry (above left), Foyer (above right)

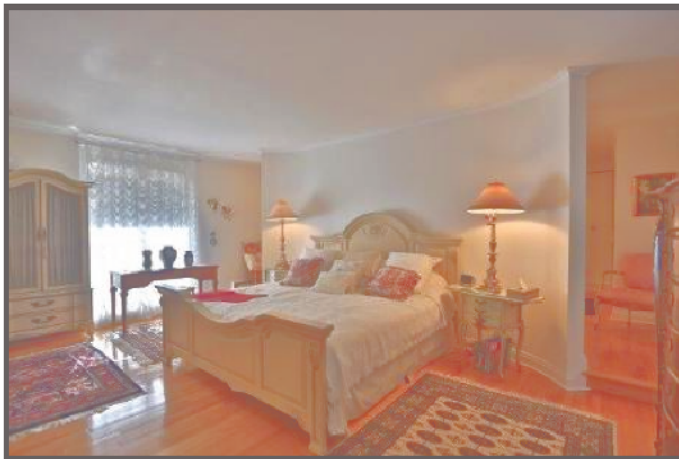


Study (above left), living room (above right).



Dining room (bottom left), kitchen (above right).

Master bedroom and ensuite



The exterior of the existing home is stucco. It is not known if this is original to the home, but it is assumed not to be.

Windows and doors and the interior have all been updated since original construction. This would include the kitchen and bathrooms.

Property History

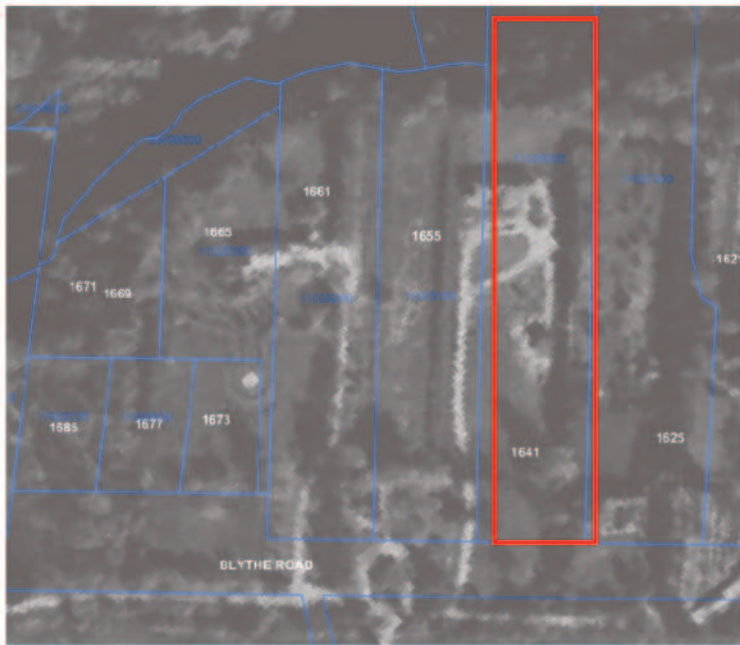
1641 Blythe Road is a 2 storey vernacular dwelling constructed sometime after 1954 but before 1966 as evidenced by the aerial photography.

City of Mississauga Building Permit records (right) do not show any permits issued for the dwelling. Records indicate that the pool & tool house was constructed in 1960, so it can be assumed that the original home was built prior to then.

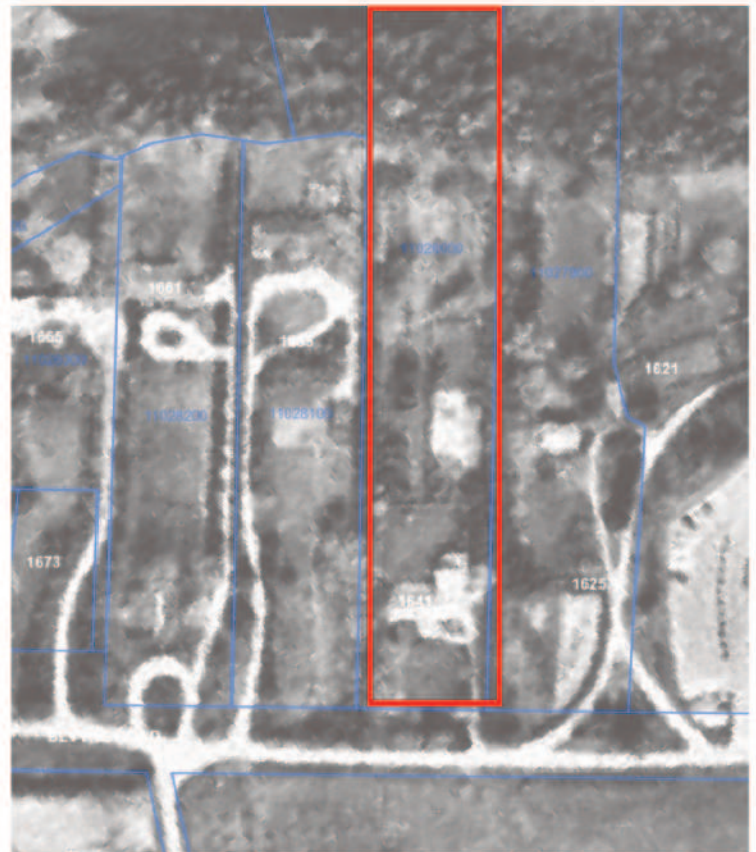
Building Permits

11 Permit(s) found Page: 1 of 1

App Number	Address	Scope	Issue Date
App Date	Description	Type Description	Status
BP 9ALT 1 7007 2001-02-22	1641 BLYTHE RD ADDITION - 1 STOREY	ADDITION TO EXISTING BLDG DETACHED DWELLING	2001-04-30 COMPLETED -ALL INSP SIGNED OFF
BPC 90 14151 P 1990-09-26	1641 BLYTHE RD PLUMBING ONLY	ALTERATION TO EXISTING BLDG DETACHED DWELLING	1990-09-26 COMPLETED -ALL INSP SIGNED OFF
BPC 87 9884 1987-09-10	1641 BLYTHE RD Unit - J	ALTERATION TO EXISTING BLDG DETACHED DWELLING	1989-01-19 COMPLETED -ALL INSP SIGNED OFF
BPC 85 1743 1985-10-29	1641 BLYTHE RD	ADDITION TO EXISTING BLDG DETACHED DWELLING	1986-05-07 COMPLETED -ALL INSP SIGNED OFF
HCC 62 138316 1962-06-18	1641 BLYTHE RD DR PERMIT 7382		HISTORY COMMENT PERMIT
HCC 62 138315 1962-05-30	1641 BLYTHE RD PLG PERMIT 7241		HISTORY COMMENT PERMIT
HCC 62 138314 1962-04-04	1641 BLYTHE RD ADDITION TO DWELLING		HISTORY COMMENT PERMIT
HCC 61 138313 1961-07-14	1641 BLYTHE RD PLG PERMIT 5471		HISTORY COMMENT PERMIT
HCC 61 138312 1961-04-28	1641 BLYTHE RD ADDITION		HISTORY COMMENT PERMIT
HCC 60 138311 1960-05-24	1641 BLYTHE RD PLG PERMIT 2785		HISTORY COMMENT PERMIT
HCC 60 138310 1960-05-05	1641 BLYTHE RD POOL & TOOL HOUSE		HISTORY COMMENT PERMIT



1954 aerial photo (right) Black and white
1966 aerial photo (below). Black and white



All photos are from the City of Mississauga website.

The subject property is outlined in red in all images.



2018 aerial photo (left) Colour

The 2018 aerial photo demonstrates the new construction occurring on Blythe Road.

Matthew Wilkinson from Heritage Mississauga was consulted with regards to any historical significance for the property. Matthew suggested that it could have been linked to the adjacent property, 1625 Blythe Road, however, no link was found.

A summary of Title Chain from the Crown to the current owner is provided below. This was prepared by Stephen Nott Conveyancing Services Inc.

DATE	GRANTOR	GRANTEE
November 6, 1821	The Crown	Hon Samuel Smith, John B. Robinson
July 22, 1828	John B. Robinson	Thomas S. McEwan
July 23, 1829	Thomas S. McEwan	John McGill
July 25, 1858	John McGill	Henry McGill
July 26, 1865	Henry McGill	John McGill
February 27, 1866	John McGill	Michael Murphy
May 9, 1868	John McGill	Henry McGill
October 18, 1879	Michael Murphy	James Wilson
April 10, 1885	Henry McGill	James Wilson
December 1, 1924	James Wilson	Kenneth Skinner, Milton Skinner
April 7, 1925	Milton Skinner	Kenneth Skinner
March 7, 1930	Kenneth Skinner	Clarence Hare
March 21, 1932	Clarence Hare	Alan Bland
October 7, 1938	Alan Bland	Frank & Catharine Wright
June 13, 1957	Frank & Catharine Wright	Audrie W. Allen
June 28, 1985	Audrie W. Allen	Neda Hristovski
February 13, 2018	Neda Hristovski - Estate	Nevenka Gospodnetic
2019	Nevenka Gospodnetic	Current Owner

The title search and aerial photography would indicate that the current home was built by Audrie W. Allen. A search on the name provided no additional information, ie death notice. One could also surmise that the updates (bathroom, kitchens, windows, etc) were undertaken by the Hristovski Family.

The existing home is not known to represent significance related to a style, trend or pattern. Nor does it illustrate an important phase in Mississauga social or physical

development. It does not have any characteristics that contribute to an enhanced understanding of the community or location culture. There is no link to its physical, functional, visual or historic surroundings.

A partial history of the lot was found in the Heritage Impact Statement prepared for 1625 Blythe Road. 1625 Blythe Road is also part of Lot 4.

“Because the Credit River passes through the subject property, the property was originally part of a reserve retained by the Mississauga nation after signing Treaty 13a in 1805, in which the Mississauga nation sold all land south of present- day Eglinton Avenue, from Etobicoke Creek to the Brant Tract in modern-day Burlington, excluding all land for ~1.6 kilometres on both sides of the Credit River.

In 1822, the councilors of the Mississauga nation signed Treaty 22, selling the part of the 1805 reserve for one-quarter the distance of a concession (approximately 500 metres) on both sides of the Dundas Street survey line. The southern lot line of Treaty 22 is today’s Blythe Road, which is the southern lot line of the subject property. Being the lot line halfway between the Dundas Street survey line and the 1st Concession South (called the Middle Road), Blythe Road was known as Upper Middle Road to August 1958, when the current name was adopted.

Thomas Racey purchased the Treaty 22 tract from the Crown with the guarantee to pay for the tract by way of revenue generated by a saw and/or grist mill he proposed to build on the Credit River about one kilometre upstream of the subject property. Racey’s mill did not generate sufficient revenue to cover cost, and he surrendered the land in 1828. The Crown divided the surrendered land into smaller lots to be resold by trustees of the land.

An ~81 hectare (200 acre) portion of this surrender was transferred to Thomas McEwen who acted as an agent for the sale of this section of the Racey Tract,

referred to from this date as Lot 4 of Range 2 S.D.S. (south of Dundas Street) of the C.I.R. (Credit Indian Reserve).

Following this transfer, the record of the subject property is uncertain, because the land registry record lists all land transactions within Lot 4, CIR Range 2 SDS without specifying which portions of the lot were sold. With the assistance of the historian for Heritage Mississauga, the following sequence of land transactions has been assembled for the subject property by going through the sequence of transactions back in time from the current owner.

It is likely that John McGill planned to rebuild Racey's mill, purchasing the land in Lots 3 and 4, CIR Range 2 SDS (through which the river meandered) in 1868. He purchased Lot 4 for £1,280.

There is some confusion regarding the next transaction. The land registry record states that the southernmost 20 acres of Lot 4 was purchased by William Fletcher in 1890 for \$2,000, but the Walker and Miles map of Toronto Township of 1877 shows the land in Fletcher's possession in 1877. It is possible that Fletcher was managing the land for the McGills, who were only interested in the water rights to the property.”²

The subject property was not part of the transaction that was purchased by William Fletcher. Title documents indicate that the portions of subject parcel were sold to a Michael Murphy in 1879 and to a James Wilson in 1885.

Development Proposal

Blythe Road is a hidden gem in Mississauga. Having less than twenty properties on the street, all those west of the Queen of Apostles Renewal Centre back onto the Credit River. These properties offer well treed, oversized lots, away from the hustle and bustle of City life, but providing quick access to major transportation routes. They afford the owner a rare opportunity to build substantially sized custom homes to meet their needs. The two properties immediately to the west of the subject property have been re-developed in the last

² HIS, 1625 Blythe Road, Richard Collins

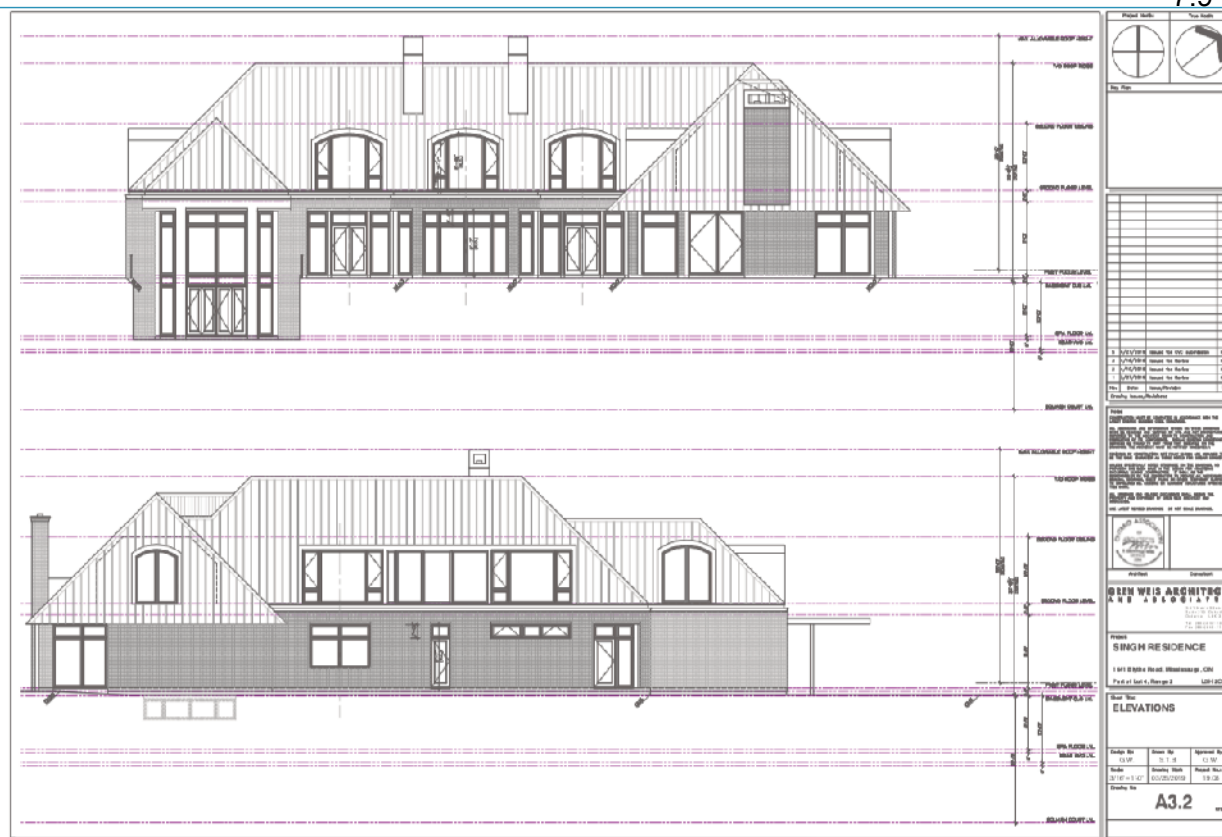
5 years. The property at 1641 Blythe Road is no different. The owner has designed their dream home using Gren Weis Architect and Associates.

The proposed home will present a classic facade. Exterior finishes have not been chosen at this time. The home has an approximate GFA of 1900 square meters (19,000 square feet).

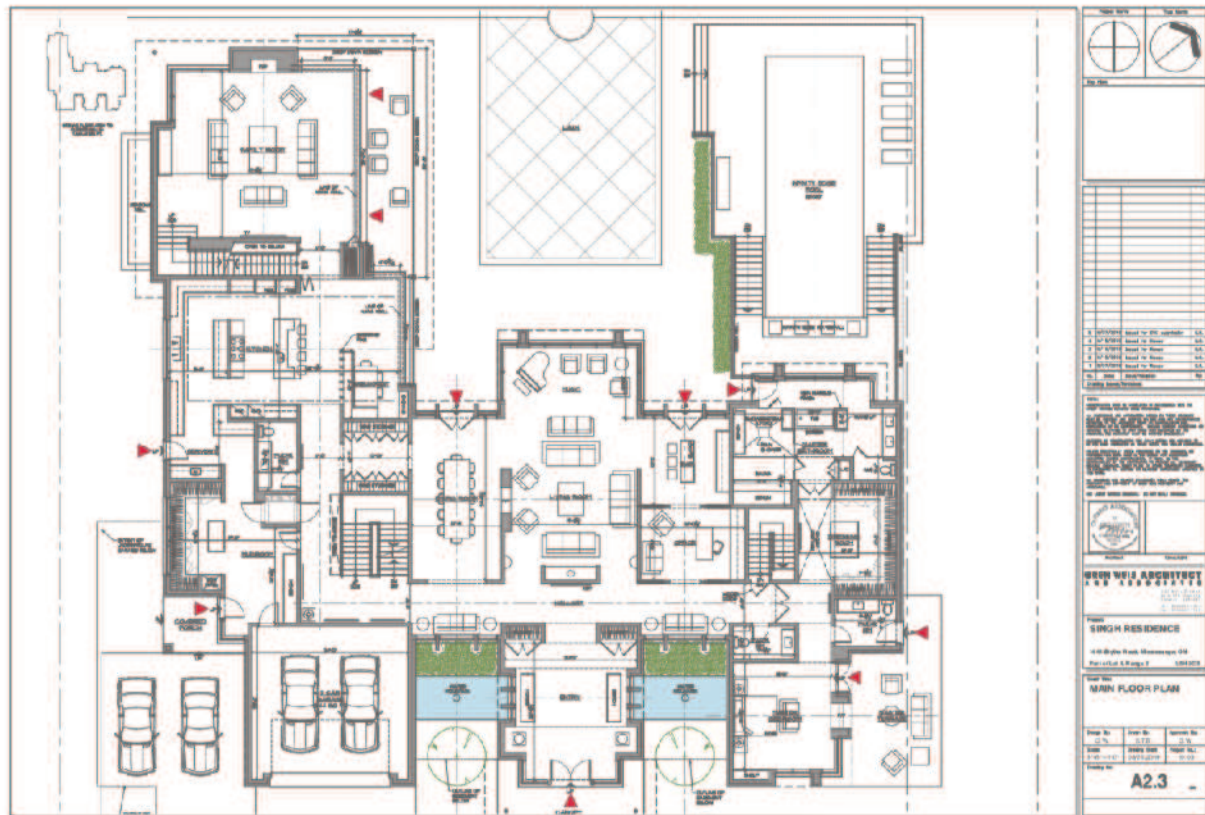
A site plan, elevations and floor plans are included below.



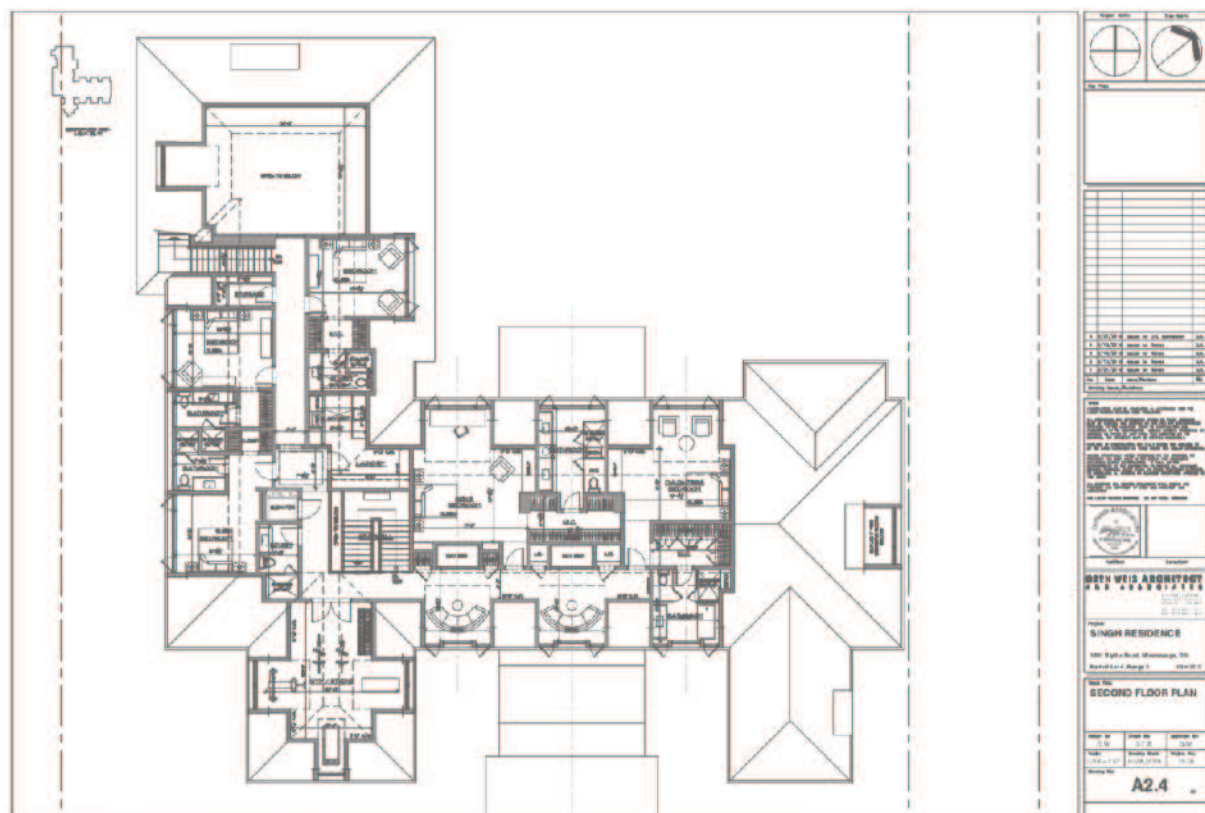
Front and west elevations (above), rear and east (below).

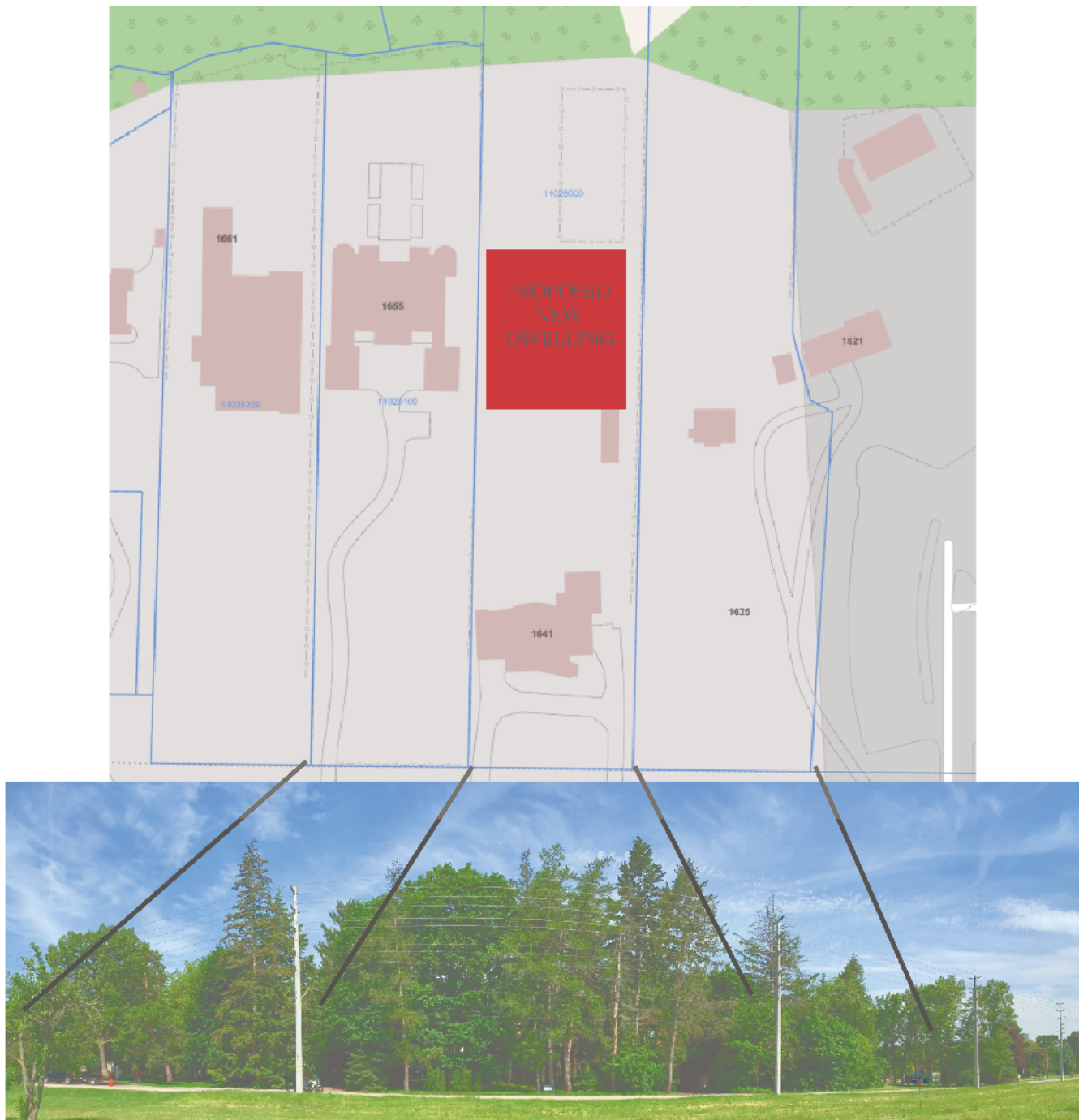


Architectural drawing of the basement floor plan for a residence. The plan shows a large central living area with a fireplace, a kitchen with a large island, and a dining area. There are several bedrooms, a bathroom, and a laundry room. A large garage area is located on the left side, with three cars parked. The drawing includes dimensions for various rooms and overall sections. A title block on the right side contains project information, including the project name 'SINGH RESIDENCE', the architect 'SINGH & ASSOCIATES', and the date '10/10/2013'.



Main floor (above) and second floor (below) plans.





Existing Streetscape

The only way to provide a representation of the streetscape is with a panoramic photo. None of the existing houses are visible from the street. A proposed streetscape is not provided due to the inability to see any of the houses from the street. Photos of the adjacent houses are provided for reference.



1655 Blythe Road



1625 Blythe Road

Evaluation according to Ontario Regulation 09/06

Criteria for Determining Cultural Heritage Value or Interest	Assessment (yes/no)	Rationale
1. Design or physical value:		
a) Is a rare, unique, representative or early example of a style, type, expression, material or construction method	NO	It is a well built home, but does not represent a rare or unique representation of a construction method.
b) Displays a high degree of craftsmanship or artistic merit	NO	It is constructed of standard building materials and does not display a high degree of craftsmanship or artistic merit
c) Demonstrates a high degree of technical or scientific achievement	NO	This is a typical home reflecting the era in which it was built.
2. Historical or associative value		
a) Has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community	NO	The home is not known to be associated with any direct associations significant to the community.
b) Yields, or has potential to yield, information that contributes to an understanding of a community or culture	NO	The existing home and pool house do not have the potential to yield any information that would contribute to an understanding of the community or culture.

Criteria for Determining Cultural Heritage Value or Interest	Assessment (yes/no)	Rationale
c) Demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community	NO	The home is not associated with a builder, developer or architect significant to the community. It is not known who constructed the home.
3. Contextual Value		
a) Is important in defining, maintaining, or supporting the character of an area	NO	The subject property is not known to support the character of an area. It is not recognized as part of a greater area of Mississauga, ie, Erindale.
b) Is physically, functionally, visually, or historically linked to its surroundings	NO	The existing structures are not physically, functionally, visually or historically linked to its surroundings.
c) Is a landmark	NO	It is not a landmark. It is a typical suburban home.

Evaluation of Impact of Proposed Development

Potential Negative Impact	Assessment
Destruction of any part, or part of any, significant heritage attributes or features	No perceived impact. No part of the existing home or detached structures contains any heritage attributes or features.
Removal of natural heritage features, including trees.	No perceived impact. No trees in the front yard will be removed as part of the new construction..
Alteration that is not sympathetic, or is incompatible, with the historic fabric and appearance.	No perceived impact. The proposed home is setback over 90m from the front property line. The existing mature trees will be retained.
Shadows created that alter the appearance of a heritage attribute or change the viability of an associated natural feature, or plantings, such as a garden	No perceived impact. There will be no change to a natural feature or plantings.
Isolation of a heritage attribute from its surrounding environment, context or a significant relationship.	No perceived impact. The scenic and visual quality of the Credit River will remain unchanged.
Direct or indirect obstruction of significant views or vistas within, from, or of built and natural features.	No perceived impact.

Potential Negative Impact	Assessment
A change in land use where the change in use negates the property's cultural heritage value.	Not applicable. The existing and continued use of the property is residential.
Land disturbances such as change in grade that alters soils, and drainage patterns that adversely affect cultural heritage resources.	No perceived impact. The existing grading and drainage pattern for the property is to remain.

Mitigation Measures

The proposal for 1641 Blythe Road is the demolition of the existing dwelling, pool house and tennis court, and construction of a new single family detached dwelling. An assessment of alternative development options and mitigation measures has been considered in order to limit the negative impact on the cultural heritage resource. Methods of minimizing or avoiding negative impact on a cultural heritage resource as stated in the Ontario Heritage Tool Kit (InfoSheet #5, Ministry of Culture) include but are not limited to:

1. *Isolating development and site alteration from significant built and natural features and vistas*
2. Design guidelines that harmonize mass, setback, setting, and materials
3. Limiting height and density
4. Allowing only compatible infill and additions
5. Buffer zones, site plan control, and other planning mechanisms

The proposed dwelling is significantly setback from Blythe Road and the Credit River. The proposed dwelling will not be visible from either Blythe Road or the Credit River, thus avoiding a negative impact on the cultural heritage resource. Although the dwelling to the east at 1625 Blythe Road is an anomaly on Blythe Road, the proposed dwelling is in keeping with the style and stature of homes built to the west. By maintaining a consistent scale of built features and retaining the existing mature trees at the front of the property, the proposed development is compatible with recent development along Blythe Road. As such, no mitigation is required.

Conservation of Cultural Landscape Feature Criteria

FEATURE	CONSEVATION METHOD
<u>Landscape Environment</u>	
Scenic and Visual Quality	The nature of Blythe Road or the Credit River will not change with the proposed new construction. The new house will not be visible from either the road or the river.
Natural Environment	The majority of the mature trees on the property will be maintained. There will be no development below the staked top of bank on the Credit River.
Landscape Design, Type and Technological Interest	Not applicable
<u>Historical Association</u>	
Direct Association with Important Person or Event	The existing dwelling was constructed in the 1960's and has no historical associations. It does not illustrate a style, trend or pattern. No conservation necessary.
Illustrates Important Phase in Mississauga's Social or Physical Development	The lot and existing structures do not have a link to the social or physical development of Mississauga. No conversation is required.
<u>Other</u>	
Historical or Archaeological Interest	There is nothing on the lot of historical or archaeological interest.
Outstanding Features/Interest	The Credit River is identified as the feature, and this will remain unaltered and untouched.
Significant Ecological Interest	The Credit River is situated at the rear of the lot, some 30m below the top of bank. No development is proposed below the top of bank, thus conserving the river.

Conclusions, Recommendations

The subject property contains a two-storey residential dwelling built between 1954 and 1966. It does not meet any of the criteria for Designation under the Ontario Heritage Act. The proposed new construction will not impact the cultural heritage resource, that being the Credit River Corridor. Mitigation measures, as noted above, have been considered and no further action is required.

About the Author:

William Oughtred of W.E. Oughtred & Associates Inc., is a development and land use consultant who has been practicing in the Mississauga and GTA area for over 30 years. Mr. Oughtred has a Bachelor of Arts from McMaster University. Mr. Oughtred is well versed in both Planning and building procedures and the City of Mississauga Zoning By-law and Official Plan.

Mr. Oughtred specializes in infill development projects. His extensive experience has afforded him the opportunity to see the City evolve and be at the forefront of growing trends and patterns in land development in Mississauga. He consults regularly on both heritage and urban design for infill projects.

Heritage Impact Statements and Assessments have been completed for many properties in Mississauga, including, but not limited to. the properties listed below.

- ❖ 1532 Adamson Road
- ❖ 1484 Hurontario Street
- ❖ 191 Donnelly Drive
- ❖ 2222 Doulton Drive
- ❖ 915 North Service Road
- ❖ 2375 Mississauga Road
- ❖ 943 Whittier Crescent
- ❖ 2417 Mississauga Road

References

www5.mississauga.ca/pdfs/Cultural_Landscape_Inventory_Jan05.pdf

<https://www.mississauga.ca/portal/services/property>

<http://www.mtc.gov.on.ca/en/heritage/heritage.shtml>

Matthew Wilkinson, Heritage Mississauga

Collins, Richard, Heritage Impact Assessment, 1625 Blythe Road, Undated

REPORT 1 - 2019

To: CHAIR AND MEMBERS OF HERITAGE ADVISORY COMMITTEE

The Meadowvale Village Heritage Conservation District Advisory Subcommittee presents its first report for 2019 and recommends:

MVHCD-0001-2019

That the request to grade and pave the rear and side yards of 1060 Old Derry Road with gravel, porous and regular asphalt be approved.

MVHCD-0002-2019

That the request to: alter the lot line of 7060 Old Mill Lane; demolish the existing garage; and install fencing along the property to be retained, be approved.

City of Mississauga
Memorandum



Date: 2019/08/26

To: Chair and Members of Heritage Advisory Committee

From: Megan Piercey, Legislative Coordinator

Meeting Date: 2019/09/10

Subject: Adrian Zita-Bennett – Request for Temporary Leave from the Heritage Advisory Committee

Due to professional obligations, Adrian Zita-Bennett, Citizen Member of the Heritage Advisory Committee is requesting a temporary leave from the Heritage Advisory Committee until December, 2019.

Megan Piercey
Legislative Coordinator
Legislative Services, Office of the City Clerk
300 City Centre Drive, Mississauga, ON L5B 3C1
(905) 615-3200 ext. 4915
Megan.piercey@mississauga.ca



A PHYSICAL, HISTORICAL and CONTEXTUAL ASSESSMENT of

1239 LAKESHORE RD. E.

MISSISSAUGA, ONTARIO

1.0: IDENTIFICATION

Name(s)

1.11 Historic Place Name

Township of Toronto School Section #7: Lakeview Park

1.12 Other Name(s)

Lakeview Park Public School

Indec School South

Peel Alternative School South

Recognition

1.21 Authority

City of Mississauga

1.22 Inventory Number

510

Location

1.31 Address

1239 Lakeshore Road East

1.32 Postal Code

L5E 1G2

1.33 Lower Tier

City of Mississauga

Coordinates

1.41 Latitude

43° 34' 55" north

1.42 Longitude

79° 33' 15" west

Boundaries

1.51 Lot

Plan H-23, Lots 11 to 14, and part of Lots 35 and 36

1.52 Property Area

9,748.97 m²

1.53 Depth

~205 m

Zoning

1.61 Zoning

R3-75 and RA1-27

1.62 Status

listed, but not designated

1.63 Bylaw

n/a

*looking north**looking east**looking south**looking west*

(all photos above: Bing Maps)

1.71 Property Description

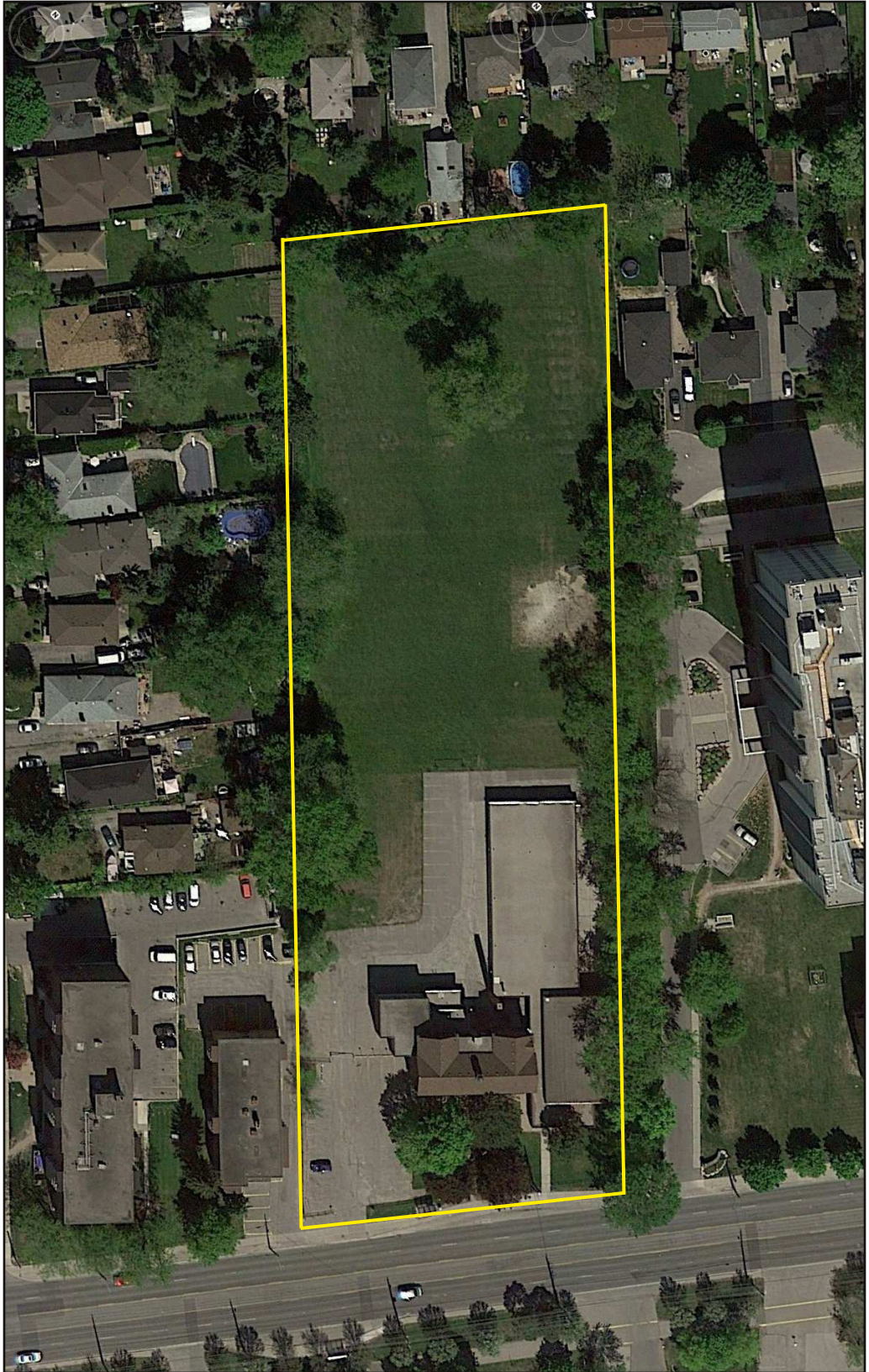
The subject property is located on the north side of Lakeshore Road East, between Fergus Avenue and Orchard Road, in the historic village of Lakeview, in modern-day Mississauga, Ontario.

The complex of structures at the south end of the property consists of a two-floor, four-room, red-brick schoolhouse built in 1923, with a two-floor, two-room 1954 extension north and west of the 1923 school, and a 1965 addition located to the east of the 1923 school, consisting of a tall gymnasium to the south end of the extension and a four-room, single-floor extension northward from the gymnasium.

The 1923 section of the complex – the schoolhouse – sits approximately 24 metres in from the front lot line. The complex of buildings is angled slightly northeastward to the alignment of Lakeshore Road East.

1.72 Landscape Features on the Property

The property is relatively flat. Because the property northward from the main complex of buildings was used as a school recreation field, there are no trees, shrubs or gardens here. A variety of deciduous trees, ranging in height from approximately 15 to 20 metres mark the east property line. Four taller trees at the south end of the property – a pine, a sugar maple and two black maples – block the view of the facade of the 1923 schoolhouse, and form a canopy over the sidewalk leading to the 1923 main entrance.



1239 Lakeshore Road East - property lines
Plan H-23, Lots 11 to 14, and part of Lots 35 and 36 (Google Earth)



*Aerial view of school complex at 1239 Lakeshore Road East
with the 1923 schoolhouse highlighted. (Google Earth)*

2.0: DESIGN and PHYSICAL VALUE

“Show me your school-houses. They will tell me more about the people of your township than I can learn in any other way. They speak the truth . . . about the attitude of your municipality towards all that makes for genuine progress.”

Ontario Department of Education, 1909

2.1 A Rural School in an Urbanizing Community

According to the City of Mississauga’s heritage database, the subject property at 1239 Lakeshore Road East is included in the city’s inventory of heritage properties for its architectural merit. This institutional building is defined in the database as being in the Georgian Revival style, although the schoolhouse was built at the peak of the Edwardian period in Canada, and contains elements of that contemporary style, too.

Lakeview Park schoolhouse does have some characteristic Georgian features; most notably its horizontal symmetry, which was requisite of the architectural style. Viewed from the front (south) façade, the east half of the schoolhouse is a mirror image of the west half. The centre line of the main entrance of the 1923 structure is precisely the centre line of the whole structure. Seen from the point of view of an overhead plan, the 1923 schoolhouse also has a symmetrical east-west axis, but breaks from perfect symmetry in having two perpendicular (north-south axis) gable roofs at both ends of the east-west axis, but which extend only from the northward face of the east-west axis. There are no end-gables on the south (front façade) view. There is also a small break from symmetry in the form of a smaller gable roof extending eastward only, from the east end-gable. The west end-gable does not have a corresponding gable. (Refer to both photos, page 15.)

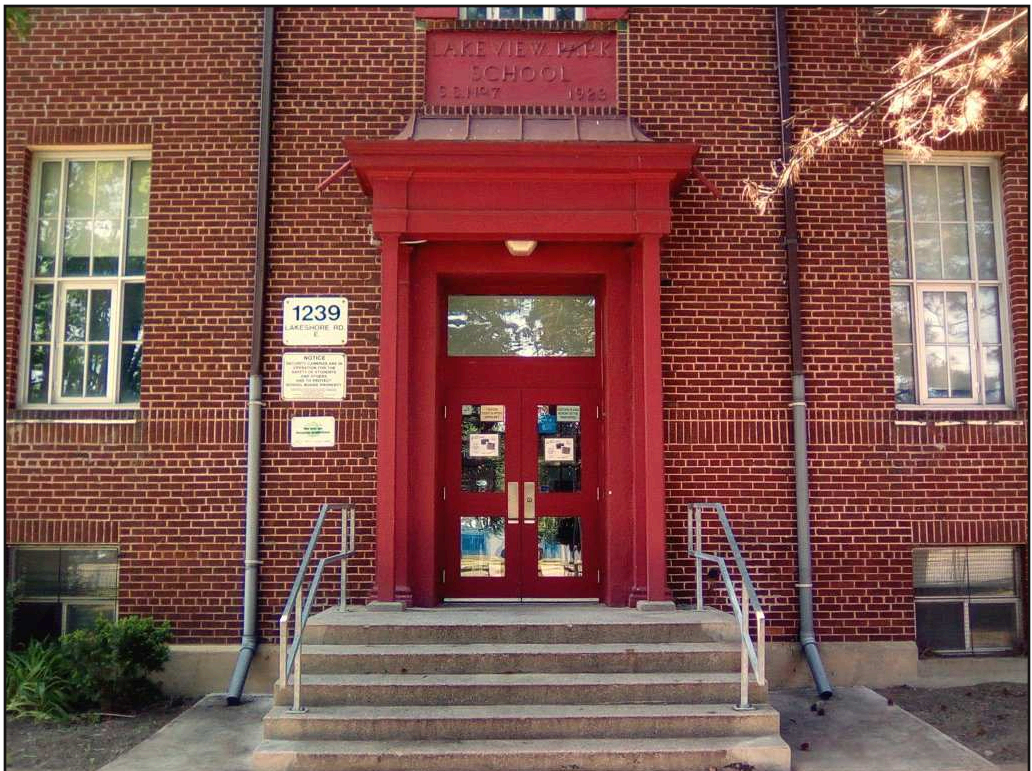
The cupola on the roof of the building is decorative (cupolas on barns during the Georgian Revival period in Canada were functional, allowing gases from the fermenting grain stored in the mow to be vented), and were often added to rural schoolhouses to emphasize the agricultural character of the community – which Lakeview was at the time the subject schoolhouse was built. A plan book was printed by the Ontario Department of Education in 1909 setting standards for rural schoolhouses in the province, in which cupolas were a common design motif. Because they were associated with barns, cupolas were rarely used for urban schools, but can be seen atop S.S. #4: Erindale at 3057 Mississauga Road, which is in the Classical style. Here the cupola mimics the campaniles that were a common design element in Classical architecture.

The portico entrance at Lakeview Park school is typical of the Georgian Revival era, being generally more understated than the elaborate porticos of the Classical style. Lakeview Park’s portico has two narrow, square columns and a flat roof, which seems modest compared to the multi-columned portico at S.S. #4, capped with a pediment.

The brass plaque above the portico, with the name of the school and its “school section” number is unique to S.S. #7: Lakeview Park. No other schoolhouse built in Mississauga prior to the end of school sections, in 1952, has this design element. Even the S.S. #7: Lakeview Beach school built the same year, less than a mile away, did not have an identifying plaque. It’s as if the Lakeview Park school is proud to be in Lakeview.



Front (south) façade of 1923 section



Main entrance to the 1923 schoolhouse

2.2 Setting the Right Mood for Learning

The design standards for rural schoolhouses in Ontario in 1909 were established partly to create a cohesive look for all schools in the province, and to take advantage of the economy of scale inherent in standardized plans using common building materials of specified dimensions. But more importantly, the political administrators established design criteria for the school and the schoolgrounds on the naïve belief that such standards could create an ideal setting of neatly-trimmed hedges, a manicured garden (as if the school section's lone groundskeeper would have the time) and spartan fences to promote the right environment for a proper conservative education. Refer to the photo on page 17.

The same Crown architects that defined Ontario's standards for schoolhouses would be appalled today to see one of the finer examples of their standard – S.S. #7: Lakeview Park – laying vacant with its once finely-trimmed grassy fields now paved over with asphalt and scattered cold tar patches, while untamed maples obscure the view of the school's front façade.

2.3 Lakeview Park's Place in Mississauga's Heritage Inventory

Four general periods of school architecture in Ontario can be discerned.

The first period includes schools built during the early settlement period in Upper Canada. There was no consistency in school "design" (if such a term fits), except those which came about by necessity. Most pioneer-era schools were built of logs, or of lumber if the village had a sawmill. They were small; almost always one room.

No schools from this period remain in Mississauga. Few remain anywhere in Ontario, mostly because these pioneer schools were replaced by a newer, larger schoolhouse on the same property, as the community grew.

The second phase in school architecture in the province becomes prominent around 1846. In that year, a legislative act to provide funds for schools through municipal levies created, as an afterthought, general standards for schoolhouse styles and dimensions. Most schools built after the Common Schools Act - 1846 continued to be one-room schoolhouses, still built by local hands and still using local, donated building materials, but over time the schools in this period came to take on a common form, as a school in one "school section" copied the effective techniques from earlier schools. The resulting plain, gable-roofed style of schoolhouse can be seen all over Ontario.

Two one-room schoolhouses in this style survive in Mississauga. The 1876 schoolhouse on the Britannia Farm is made of brick, while the 1871 schoolhouse in the Meadowvale Heritage Conservation District is wood frame, but both have essentially the same basic form, and a nearly identical interior layout.

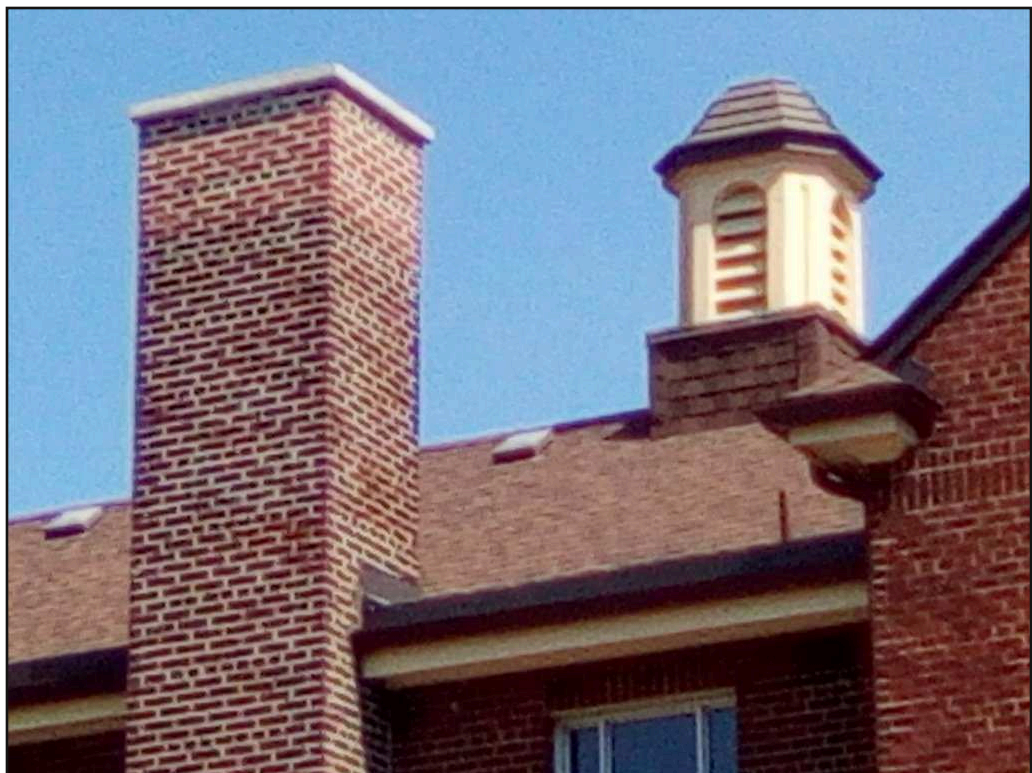
The third period evolved from the second, with the Department of Education taking on, at first, an advisory role "to provide [school] trustees with the help they need", then later enforcing (through the Provincial Inspector of Public Schools) guidelines that had been adopted from experience by school trustees over the previous decades. Today, the Ministry of Education would likely use the latest catch phrase "best practices" to express the same concept.

The province's standards discouraged wood. Timber lacked a sense of permanence. Brick was the nearly universal construction material after 1909, with sturdier, usually double-wythe walls all around.

A "private room" for the teacher (usually at front end, to one side, with a storage room on the other side) was advised by the education department. "Most of our teachers



*Main entrance, front (south) façade,
looking northeast*



*Cupola and chimney of 1923 schoolhouse,
looking south*

are women, and it is only reasonable that they should have some place where they can make necessary changes or adjustments of their clothing. The slight additional expense of a private room should not deter the trustees from providing one.”

Also standard form was an isolated, enclosed entrance vestibule with cloak rooms (one side for boys, and the other for girls). “The exudations from damp clothing” the province warned, “are a source of air pollution”. Hence the enclosed nature of the cloak room. Ben Madill, a lifetime resident of Mississauga, and supporter of the Britannia schoolhouse restoration in the 1980s, liked to tell the story of the day he caught a skunk in the Britannia Farm field and kept the carcass in the cloak room to be picked up at the end of the school day. It took all afternoon for the smell to reach Miss Anderson at the teacher’s lectern at the front of the room – a testament to the effectiveness of the enclosed vestibule in this second-period Ontario school.

While on the topic of “exudations”, space was to be made available for two washrooms (gender specific, again) in third-phase schools if and when the surrounding neighbourhood should ever be equipped with sewage mains.

Also, all three surviving multi-room, third-phase schools in Mississauga sit on raised, windowed, cement foundations complying with the guidebook regulation that multi-room schools have a full basement to serve as a recreation room when it rained during recess. Historian and Lakeview resident Verna Mae Weeks remembers the basement of Lakeview Park being in two halves – one side for boys and the other for girls.

The provincial manual for good schools even included the 1909 equivalent of ‘paint chips’ so that school walls and wainscoting could convey an image of professionalism, no matter what direction the sun was shining. See page 18.

These same design elements for rural schools were incorporated into urban schools, which were usually of a multi-room plan, often two-storeys, but where the architect had an increased freedom to design in a style of his choice, so long as standard brick, masonry and lumber frame materials specified by the Department of Education were used, or where provision for additional funding were secured when deviating from the standard. Many urban schoolhouses in this period incorporated bas relief carvings, intricate brickwork and/or brass highlights. Well-designed schoolhouses in Ontario could still stand out from the norm, even while staying within standard form, as we’ll see later with S.S. #7: Lakeview Park.

No one-room school from this third period survives in Mississauga. The closest extant school in this style is “Trafalgar Township S.S. #2: Palermo” in Oakville, which was built near the end of this period, in 1942 as an enlarged version of the previous, second period schoolhouse built on the same site in 1875. However Mississauga does have three fine examples of the urban school from the third period, each in a different style. Dixie’s school at 2520 Dixie Road, built in 1921, is in a Romanesque Revival style. Erindale’s 1922 school – with its Corinthian-columned portico and symmetric facade – would be at home in ancient Greece (if the ancient Greeks used red bricks).

Finally, from this period we have our subject property, Lakeview Park, which merges elements of Georgian Revival and contemporary Edwardian elements into a simple, elegant form. Despite the unique style of each, the three surviving third-period urban schools in Mississauga share a common rectangular plan (Lakeview Park is essentially a two-storey version of Erindale), and all three are made of brick. All three adhere to the same standard for classroom dimensions, and for location of closets and



*Second floor, central hallway window
1923 section*



*First floor classroom windows
1923 section*



1965 addition (right), and 1923 main schoolhouse,
looking northeast



1954 addition (left) and 1923 schoolhouse,
looking northeast



*Rear (north) façade
and school recreation field*



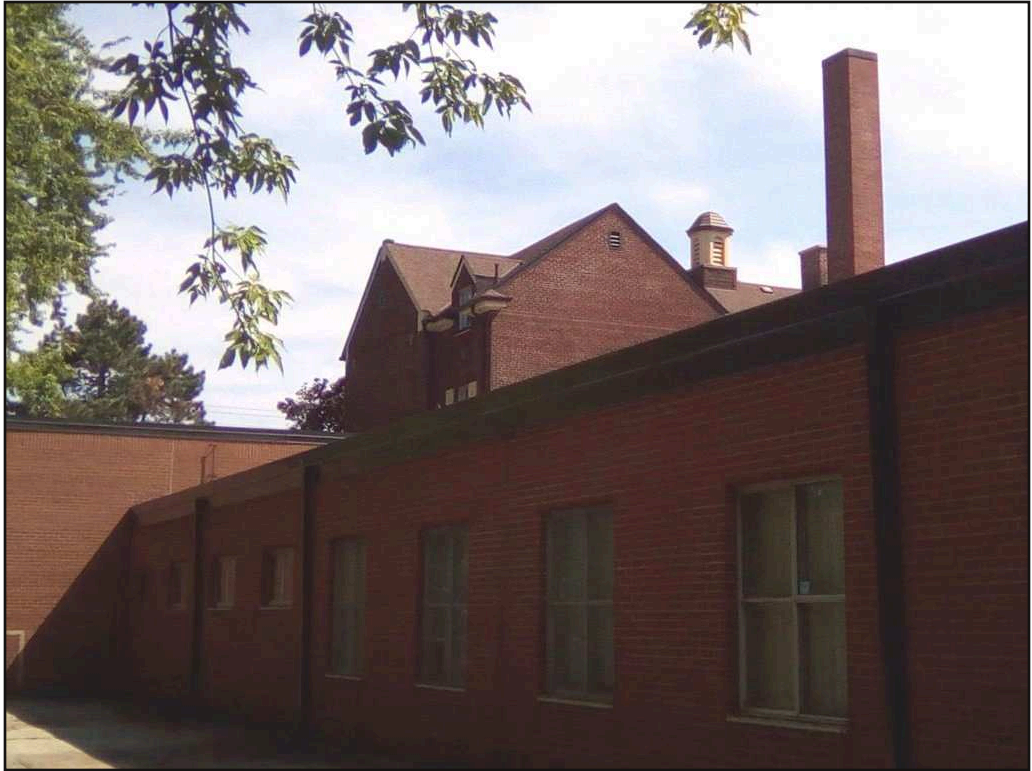
Rear (north) façade



1954 addition (right) and 1923 schoolhouse,
looking south



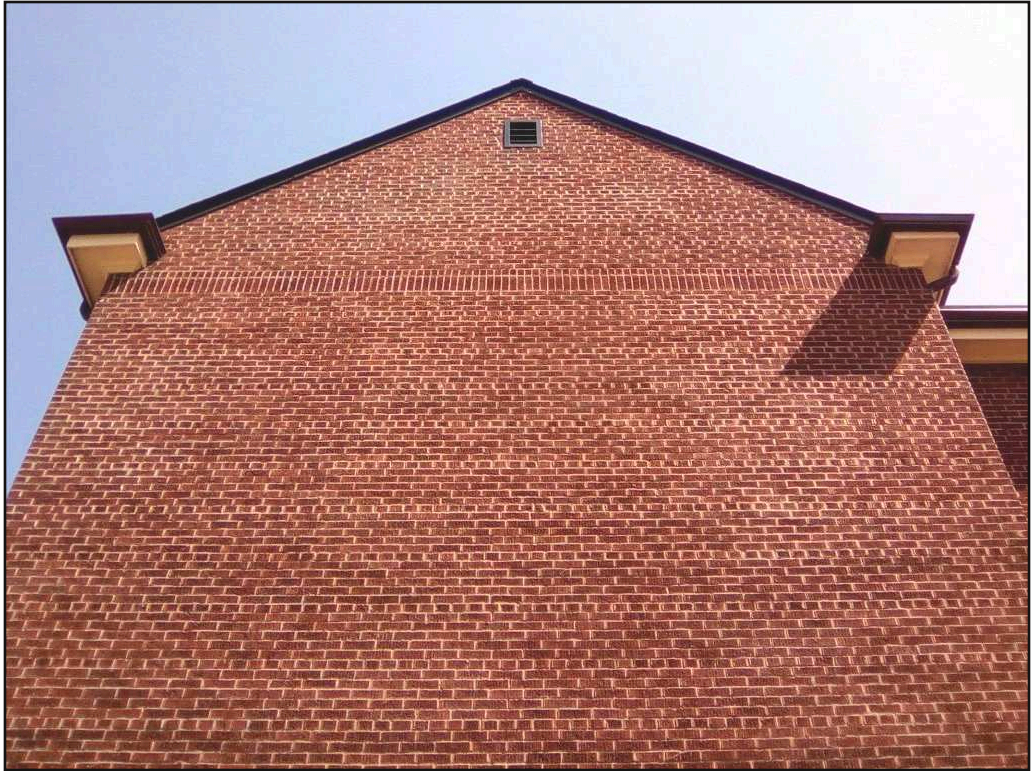
1954 (right), 1923 and 1965 (left) sections,
looking southeast



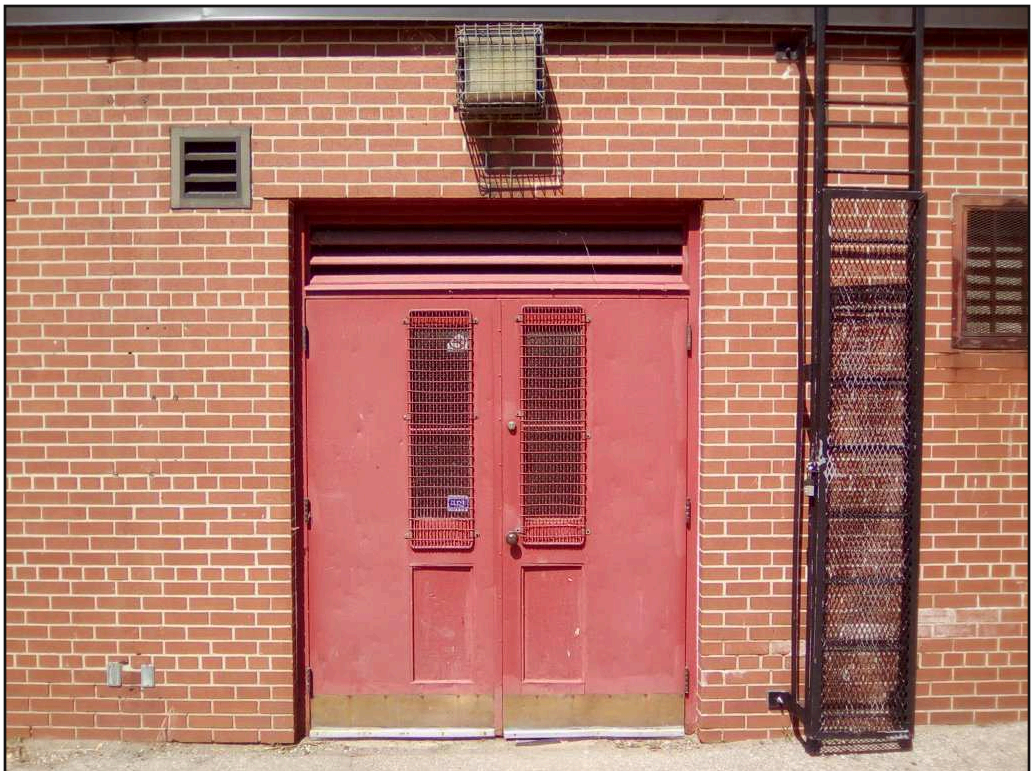
*1965 classroom addition, with 1923 schoolhouse above,
looking southwest*



*1923 schoolhouse, upper floor
looking southwest*



1923 schoolhouse, second floor east wing, with eave returns
looking south



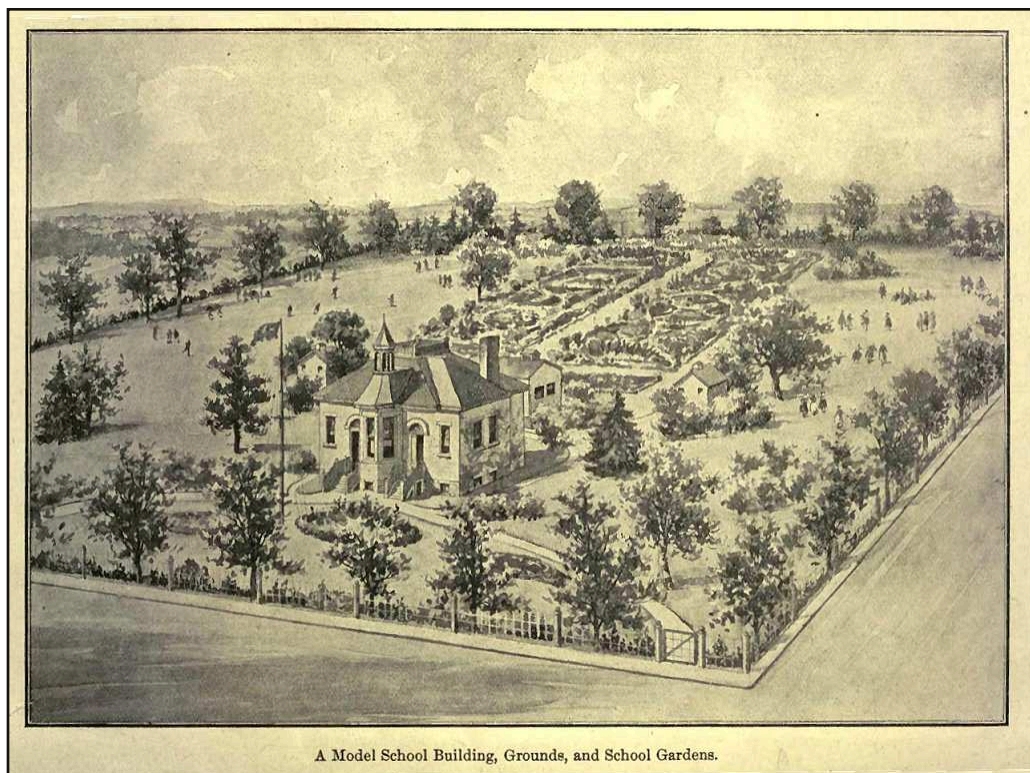
1965 section service doors

office space. Each has a cupola, although the three are as distinct as their overall architectural differences. The three also share commonalities in what they don't have. During the third phase of school design in Ontario, the bell tolled for the once-obligatory bell tower. None of the three surviving third phase, multi-room schools in Mississauga has a bell tower. The cupola appears to have evolved into a vestigial version of it in third period schools.

For the sake of finality, a fourth period of school architecture arrived after World War II in the form of boxy, unadorned styles often referred to architecturally as Functional or Rational. The style was popular partly because the simplicity of the style made it trendy after WWII, but mostly because uncomplicated building forms were easy to construct en masse – which was an important factor for Ontario's treasurer to consider when confronted with a rapidly-increasing demand for postwar schools.

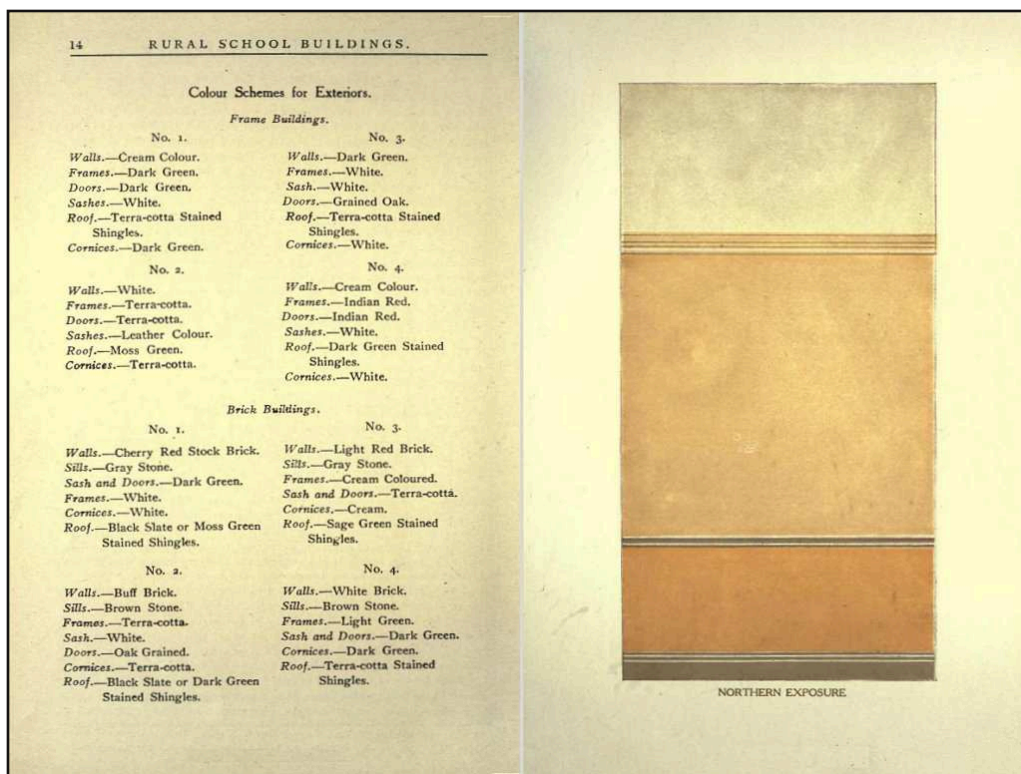
Having expanded from farmland to suburban wasteland over the past 50 years, almost all schools in Mississauga are built in this fourth style, which makes the few schools that predate the style all the more important in preserving the pre-suburban heritage of this city. A number of recent schools have incorporated either post-modern or heritage pastiche elements, but these schools remain boxy and functional underneath. Lakeview Park is a survivor from that early period when the province's education department took much care to present their schools as models of (in their own words) “stability, simplicity and dignity in form and design”.

Or, to conclude as we began, the old S.S. #7 schoolhouse tells us more about the people of old Mississauga than can be learned in any other way.

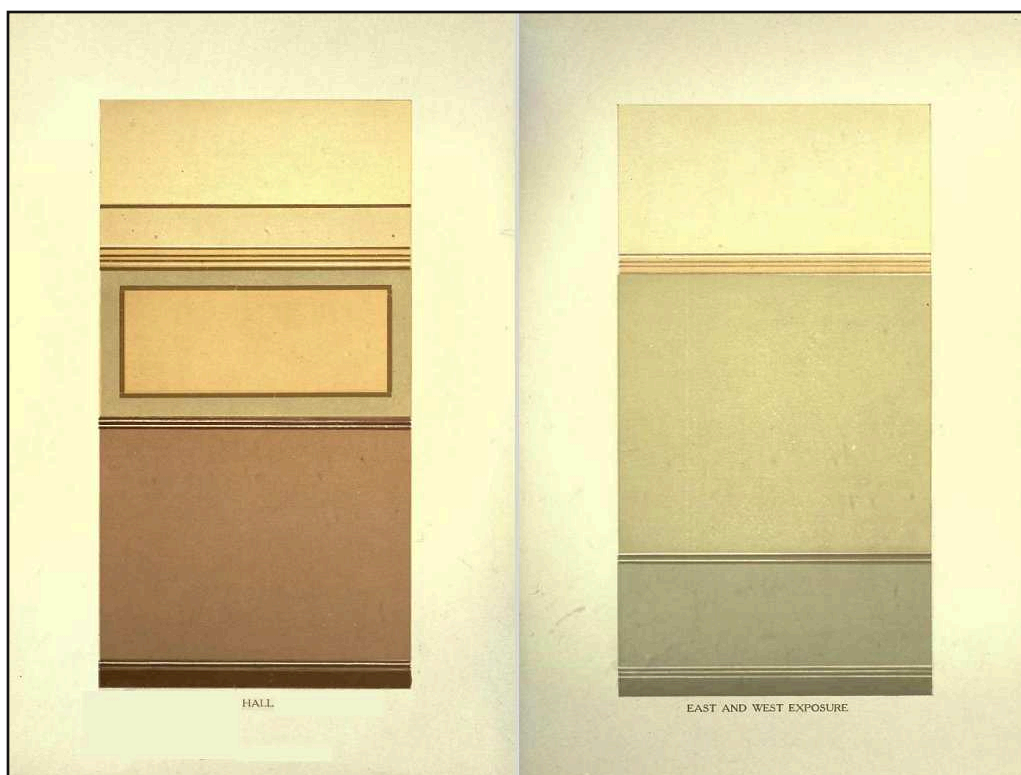


A Model School Building, Grounds, and School Gardens.

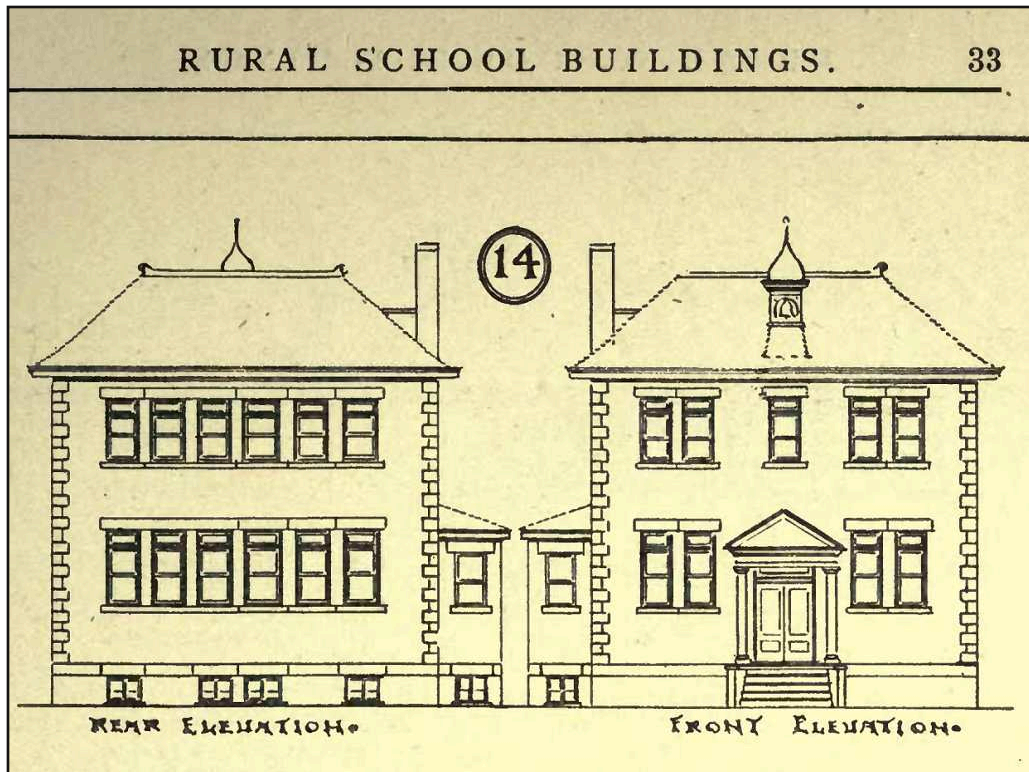
*The Ideal Schoolhouse Setting - 1909
(Ontario Department of Education)*



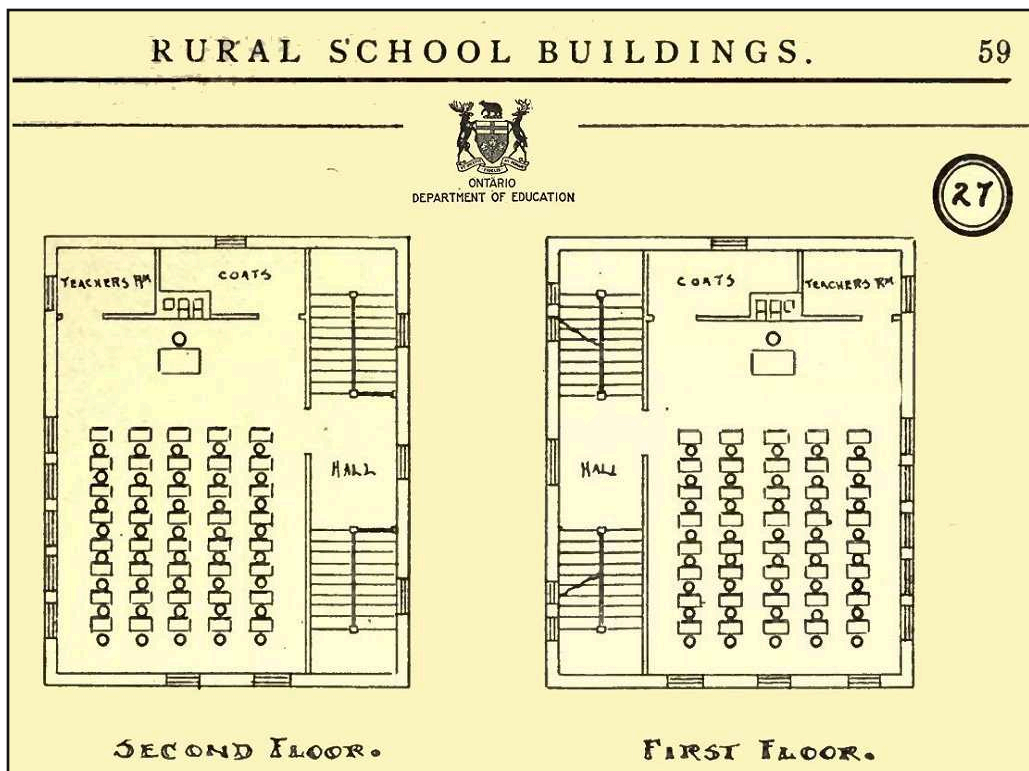
Paint colour scheme standards - 1909
(Ontario Department of Education)



Paint colour scheme standards - 1909
(Ontario Department of Education)



Front façade standards used for Lakeview Park schoolhouse
(Ontario Department of Education - 1909)



Standard schoolroom plans for two-room floor with central hallway
(Ontario Department of Education - 1909)

3.0: HISTORICAL VALUE

3.1 Five-Mile Walk

If you're one of those who believed your grandfather was exaggerating when he told you that he used to walk five miles to school, you may be relieved to hear that your grandfather *was* exaggerating – just a bit. Back in his day, in Ontario at least, schools were few but they were located in well-defined “school sections” that were, for the most part not far between. School sections were geographically subdivided to serve an area roughly equivalent to two concession roads, with the corresponding school located somewhere along, or near the middle concession road, making the longest walk about two kilometres. Still, that was no small stroll for your grandfather, especially when his school-aged legs were shorter . . . and when the walk to school was uphill both ways.

The “S.S” in the plaque above the front door of Lakeview Park's historic school refers to one of these “school sections”. School sections defined which school you had to go to, based on where you lived, and it also determined which school your parents had to foot the bill for. Historic Mississauga – called Toronto Township back in 1846, when school sections were established – had 24 sections. As you can see from the plaque above the door (see the photo on the front page of this report) Lakeview was in School Section #7.

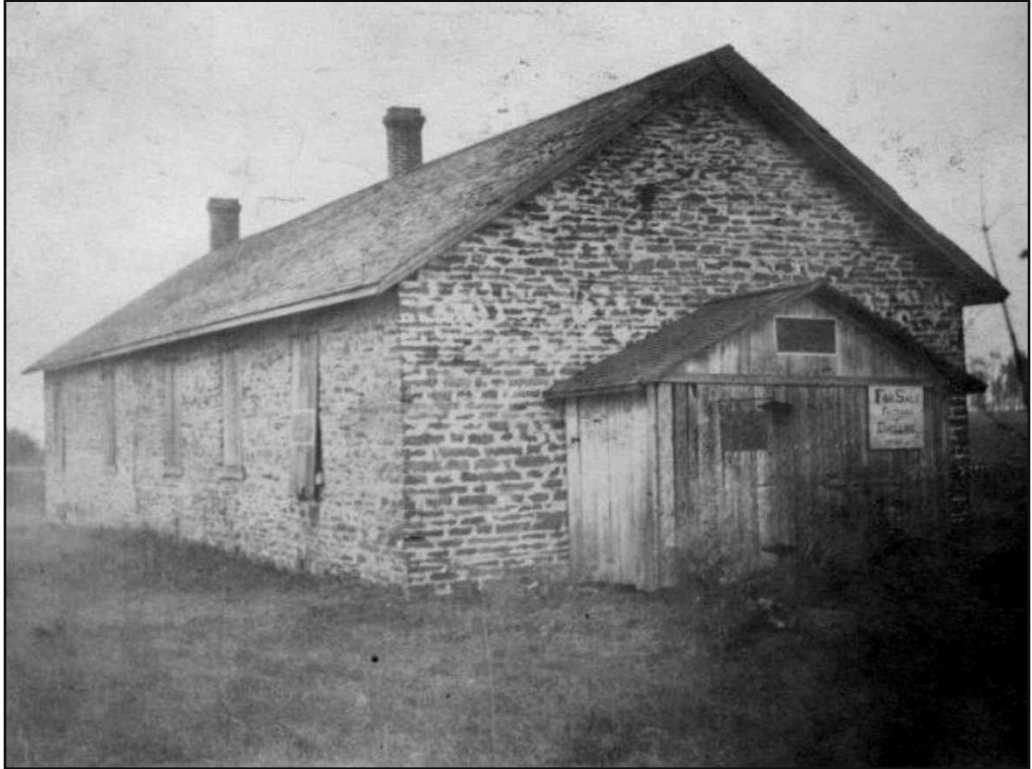
3.2 Establishing School Section #7

A simple method for dividing a township into sections was to lay a checkerboard grid over the area, with each section about 15 square kilometres. This simple apportioning system worked well in 1846 when Toronto Township consisted almost entirely of large farm lots, but the process tended towards awkwardness where the grid overlapped “broken lots”. Broken lots were standard grid lots interrupted where a natural shoreline didn't fit the neat order that the British surveyors would have preferred. Because the southeastern-most two grids in Toronto Township were half-sized thanks to Lake Ontario, they were merged into one longer, narrow school section, assigned the number “7”. The sectioning process didn't factor for future growth, especially in areas where farmland eventually gave way to suburban communities, as happened in Port Credit and Lakeview, beginning in the last decade of the 19th century.

As the population of S.S. #7 grew, the decision was made by the school trustees in 1893 to divide Toronto Township School Section #7 into two separate sections, with Lakeview keeping the #7 designation, and Port Credit taking the #19 designation that had originally been assigned to the Alpha Mills area, north of Streetsville, but which was never used because the population of that area was slow to grow.

3.3 Before the Common Schools Act - 1846

The first schoolhouse in the Port Credit-Lakeview area was built in 1833, before the establishment of publicly-funded schools, and the division of townships into sections. Like other schools in historic Mississauga built before the Common Schools Act - 1846 (the Credit Mission school and Sebastian Greeniaus' school near Sheridan), the first school in the Port Credit-Lakeview area was built on land donated by a local landowner; in this case, John Cawthra, Sr. (1789-1851). Conveniently, Cawthra's property was located about midway between Etobicoke Creek and the Credit River, so the school was central for students in both Port Credit and Lakeview. The former school was located on the south side of Lakeshore Road East, at the south end of Shaw Drive. The school site is now part of the Lakeshore Plaza parking lot.



Lakeview's first school - S.S. #7: Lake Shore - 1872 to 1893
(Heritage Mississauga collection)



The first S.S. #7: Lakeview school - 1893-1923
(Heritage Mississauga collection)

The school was known locally as the “Lake Shore” school. The village of Port Credit was not founded until a year after the school was built so that name was not yet in common use, and while a number of farm families were already well established in what is now “Lakeview”, the area was not known by that name at the time.

Local stories state that this 1833 school was built in the tradition of a log building. Being built before the era of public funding for schools, this log school was likely managed by a trusteeship appointed by the families in the area to collect donations for its construction, to pay for books, and to provide a salary for a schoolmaster. The school was likely built by members of the community, who also donated the logs. This typical method for funding and building schools remained essentially the same after 1846, except that funding of schools after 1846 was drawn from property levies.

3.4 After Establishment of the Common Schools Act - 1846

With a larger funding base, following the passage of the Common Schools Act - 1846, the 1833 school was replaced by a larger frame school in 1850, built a few hundred metres further west at a site halfway between Shaw Drive and Seneca Avenue. There is little information on this school, but it was likely larger than the log school, and likely of wood-frame construction. The 1850 school was replaced in January 1872, possibly after a fire destroyed the 1850 school. Local author Verna Mae Weeks identified the 1872 school as “the stone school”. Refer to the upper photo on page 24. This stone school was used by students in both Lakeview and Port Credit until 1893, when a separate school section was established for the village of Port Credit, and plans were made for a school located at the present site of Riverside Public School.

3.5 The 1893 Split

When S.S. #7 became a Lakeview-only section in 1893, the old stone school was considered too far west, being just a stone’s throw from the S.S. #19 boundary, so a new school was built at what is now the northwest corner of Lakeshore Road and Greaves Avenue. (See lower photo, page 24.) When the Toronto and York Radial Railway extended electric rail service to Port Credit from Sunnyside in 1905, this school was at Stop 35 (Stop 8, from Brown’s Line, from 1928). From 1921, when the Hydro-Electric Power Commission of Ontario operated the radial line, their timetables referred to the radial stop as the “Lakeview School” stop.

3.6 The 1923 Schools

The S.S. #7 Lakeview schoolhouse was a victim of a 1921 fire. The damage was not serious, but based on the cost to repair the damage to the existing building, combined with the rapidly growing population of Lakeview, the secretary of the S.S. #7 board, Harry Long (1883-1941) urged his fellow trustees to replace the 1893 one-room schoolhouse school with a multi-room school.

Lakeview’s one-room school had started out with 20 students, falling to a low during World War I when teacher Harriet Black had only 14 students. But in the decade following the war, Lakeview’s population increased by a factor of five times. Seventy-two students found themselves with an extended holiday after the 1921 fire. Enrollment was up to 95 students by the time the replacement school opened.

At the same time the S.S. #7 school trustees were planning for a multi-room school, James Walsh offered land along the Lakeshore Road frontage of his farm property, near Dixie Road, to the trusteeship. Walsh owned the farm at Conc. II SDS, Lot 6 and had registered a residential development proposal, Plan H-23, in 1923. It was to Walsh’s



*S.S. #7 school, circa 1975, after being renamed Lakeview Park Public School
(Heritage Mississauga collection)*

advantage to have a new school adjacent to his proposed development, but since this development was well to the east end of the village, the S.S. #7 trustees felt that a second school would be needed for the larger residential base that already existed in the west end of the village, closer to Cawthra Road. The trustees decided to build two schools – a six-room school in the west end, on the property of the 1893 school, and a four-room school in the east end, in Walsh’s development. The new four-room school was near Stop 31 (Stop 3, from 1928) on the Port Credit electric radial line; known locally as Walsh’s stop. Meredith Avenue (Stop 34 - Rifle Ranges) was the boundary between the two school zones.

The school built at this site, for \$10,000, is the subject property of this report.

3.7 S.S. #7: Lakeview Park

With two new schools opening in 1923 in the same school section, individual names were needed to identify them. The west-end school that was built immediately west of the 1893 one-room Lakeview school was named “Lakeview Beach” and the new school at the east end – the subject property – was named “Lakeview Park”.

The first classes were held at both new Lakeview schools in 1923. The Lakeview Park school was designed from the start as a four-room school, but only two rooms were ready for students at the start of the 1923 school year. Eighty students were taught by two teachers; Gertrude Lewis, who had moved over to Lakeview Park from the old Lakeview School, and a newly-hired teacher, Phyllis Ford. Because both new schools were part of the same school section, they shared one principal, James H.S. “Stan” Leuty, whose office was at the larger Lakeview Beach school. Lillian Davidson was hired to assist the two Lakeview Park teachers, when overcrowding became a problem.

Just when it was desperately needed, the third classroom at Lakeview Park was made ready for students in 1926. Miss Wilmer D. Wells was hired at this time. The fourth room at Lakeview Park was completed in 1930 for kindergarten students, at which time the school had 126 students. Howard Bowyer was principal at Lakeview Beach, with Colin A. McIntosh hired as a vice-principal to manage Lakeview Park.

Lakeview Park was never equipped with a cafeteria, so students walked down Lakeshore Road (or hopped the trolley) to have lunch at Lakeview Beach's cafeteria before heading back to Lakeview Park for afternoon classes.

In 1936, at the abyss of the Depression, enrollment was up to 136 students. The four teachers in the four-room school at this time were V. Isobel Cherry, Agnes E. Cochrane, Lillian Davidson (now as a full-time teacher) and vice principal McIntosh.

3.8 Overcrowding at Lakeview's Schools

Because Lakeview had become such a busy place during World War II, with a basic training camp, bomber training centre and a large, purpose-built small arms factory, Lakeview Park teachers Evelyn V. Giles, Kathleen Morrison, Catherine Shaw, and (soon-to-be locally renown) Neil C. Matheson were kept busy with a peak enrollment of 160 students, through the early 1940s.

Matheson (1908-1978) moved from Lakeview Park to Lakeview Beach in 1943 to become the S.S. #7 principal. While in this position, the community of Lakeview expanded even more rapidly after World War II – so much so that the trustees of School Section #7 decided to build a new school closer to the newer residential developments near the Q.E.W, rather than commit to expansions at the two older schools on Lakeshore Road.

The first school at Ogden Avenue and Fifth Avenue (now Atwater Avenue) was not much of a school. While S.S. #7 ratepayers squabbled with the trustees over the cost of a new school, two portables were installed in 1946. This “school” was used by the 90 students from Grades 1 to 4 who lived north of the CN railway tracks. This school relieved overcrowding not only at Lakeview Beach school, but also at Forest Avenue School in Port Credit, where two rooms had been rented out by the S.S. #7 trustees to accommodate Lakeview's ballooning population.

With some of Lakeview Park's students switching over to one of the new schools, attendance fell to 133. Evelyn Giles was moved to the new school from Lakeview Park, with Kathleen Morrison remaining on to guide Lakeview Park's three new teachers, John T. Burrows, Elizabeth Crewe and Roberta McMunn.

In 1950 a 10-room school was built, replacing the two portables. It was named Lakeview Central School. This was the last school to be built in Toronto Township before 1952, when the eight 106-year old school sections south of Eglinton Avenue were amalgamated into the South Peel Board of Education to more efficiently finance new schools in the rapidly growing township. With this new funding, Lyndwood Elementary School opened in 1952. Just two years later, Ogden Avenue School (now Neil C. Matheson Public School) opened, while Orchard Heights school was under construction, and the first sod was being turned on the first Catholic district school in Mississauga; Mary Queen of Heaven, also in Lakeview.

In 1951, the four teachers in the four-room Lakeview Park school were Faith M. Crozier, Kathleen R. Meldrum, Peter Neislon and Herbert J. Smith. With the change in school administration in Toronto Township in 1952, “S.S. #7: Lakeview Park” was renamed “Lakeview Park Public School”.



S.S. #7 Lakeview Park school and Lakeview Park neighbourhood - 1951
(Energy, Mines and Resources)



Lakeview Park Public School - 1964
(City of Toronto Archives)

Even with the opening of five new schools in Lakeview in as many years, a two-storey, two-room addition was completed at Lakeview Park Public School in 1954, at which time Lakeview Park had just over 200 students. With six rooms, Lakeview Park was assigned six teachers; M. Anne Cross, Joyce Hall, W. Alec Hume, G. Malcolm Kennedy, Mildred Stankie and Margaret Wood. Now that the school was considered large enough, the new school board assigned Eric N. Trewin as Lakeview Park's first independent principal. Lakeview Park's two other principals, in later years, were Grant Ferguson and Cathy Standing.

3.9 Going Underground

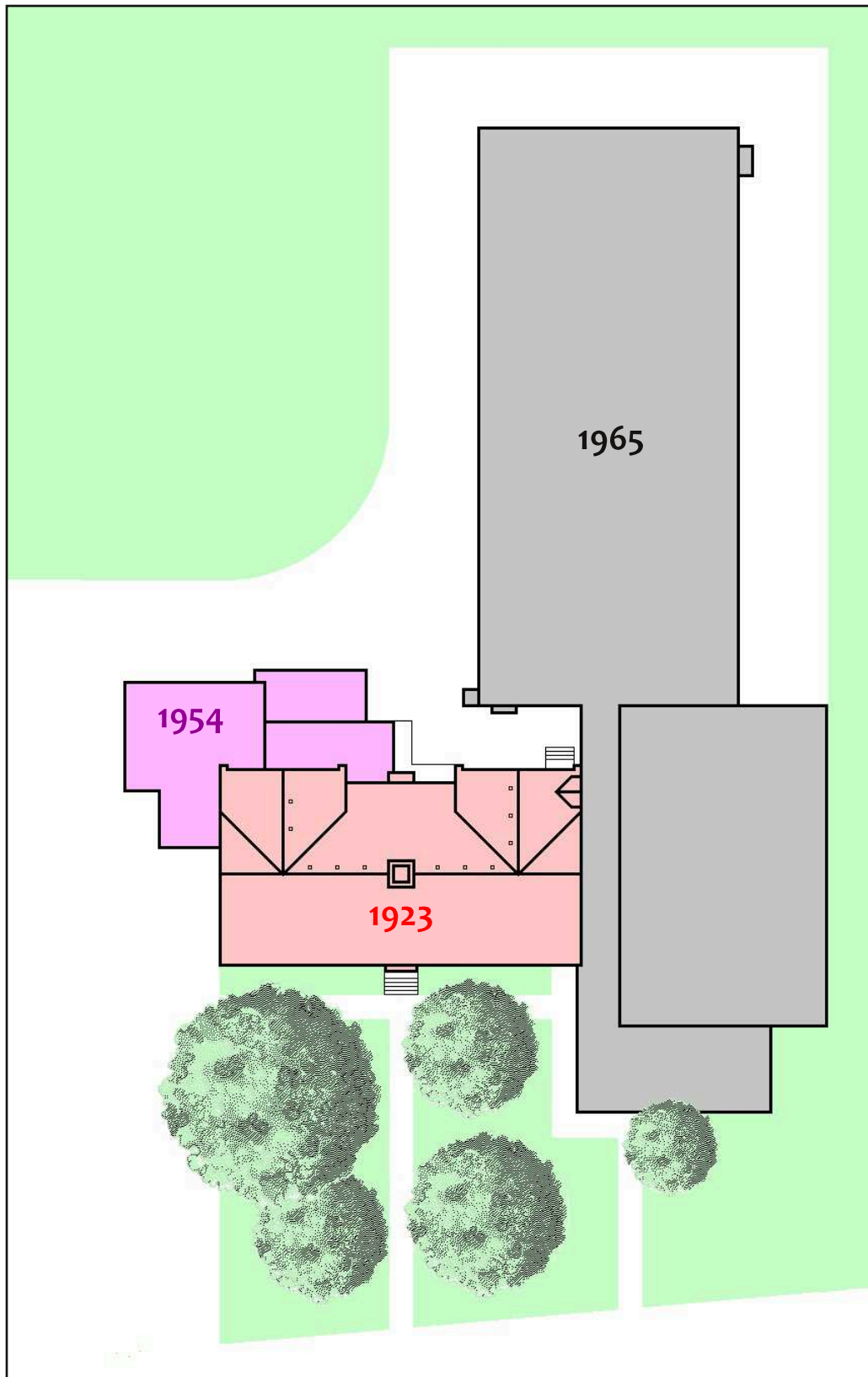
The urgent need for expansion of Lakeview Park was first put to the South Peel School Board at an April 1964 community meeting. One of the more interesting ideas for the much-needed expansion at the historic Lakeview Park school was a plan to build the school addition underground. The school board's general business committee expressed concern that noise from Lakeshore Road could have an adverse effect on students and that burrowing a new school would resolve this problem. The Department of Education's 1909 standards for rural schools suggested, at first, then later required schools to be no less than 30 feet (~9 metres) from a "public highway", but that rule was defined back when fewer than 1 in 1,000 Canadians owned a car, and Lakeshore Road – the first highway in Canada – was still an unpaved concession line. Noise, at the least, and more detrimental yet, carbon monoxide and lead, were concerns for students and their parents in 1964.

The committee recommended that an architect be hired to draft plans to replace the 41 year old schoolhouse with such an underground school. The head of the business committee, Jack Brown (for whom the Peel District School Board's administrative centre in Britannia is currently named) told the community members in attendance that he had heard of just such a school near the U.S. Army's atomic testing grounds in Nevada. Brown's biggest concern was not imaginary nuclear testing at the Rifle Ranges across the street, but rather the more mundane issue of the cost of a new school. "With no windows and heating", Brown suggested "the construction cost of such a school could be lower than the regular school building". Another trustee, Albert Bond thought an underground replacement school for Lakeview Park school would be a great idea, noting that he had been to NORAD's underground base near North Bay, Ontario and "there were no complaints from any of the people working there."

An extension was approved at a later meeting, above ground, and this was opened in time for the 1965-66 school year. At age 84, James Boyle (1880-1970), was invited to open the two-room extension. Boyle was first elected trustee of School Section #7 in 1924 and served as secretary in Lakeview until all school trusts in Peel County were eliminated in 1952, when the new amalgamated school board replaced the 1846 method of local financing. Because Boyle had served as S.S. #7's secretary for 29 years – longest of all school trustee secretaries in Mississauga's history – it was fitting to have the retired trustee open the new wing, consisting of a gymnasium/meeting hall, a second Lakeshore Road entrance, and four more classrooms.

3.10 Lakeview Park's Last Years

Lakeview Beach Public School closed in 1985. Lakeview Park held on for another 16 years. Two portables were added in 1975. Lakeview Park closed for regular school classes in 2001. Its 97 students were dispersed to other, younger Lakeview-area schools. That year, the 78 year old school became one of the board's new alternative schools, Indec



Growth of S.S. #7: Lakeview Park - 1923 to 1965

– for students who spent time in the workforce to support themselves and could only attend classes at limited times. Nancy McDonald Foster was “program leader”. Indec School South was later renamed Peel Alternative School South. At PASS an Experiential Credit Program was established to assist students who had difficulty learning in a conventional school setting. The Peel Alternative School South moved out of the historic Lakeview Park School in 2015, with students moving to nearby Niel C. Matheson Public School – named in honour of the former principal of Lakeview Park school. About 400 PASS students were reintegrated into the standard school curriculum at the former Lakeview Park school.

Lakeview Park school was in the news again in late 2015 when the Region of Peel (which agreed to accommodate some of the Syrian refugees in Canada) asked the Peel District School board if the unused Lakeview Park school (and a second closed school, Ashgrove, in west Mississauga) could be used to house displaced families until more suitable, permanent housing could be arranged for the new Canadians. It would certainly be a fitting use. Seventy years earlier, dozens of students attended this very school when the Department of National Defense’s military camp across the road from Lakeshore Park school were used to house returning veterans of the Second World War in need of temporary housing as a result of the shortfall in new housing starts during the war.



*S.S. #7's "other" school - Lakeview Beach (left) - and the 1893 S.S. #7: Lakeview schoolhouse.
(Heritage Mississauga collection)*

4.0: CONTEXTUAL VALUE

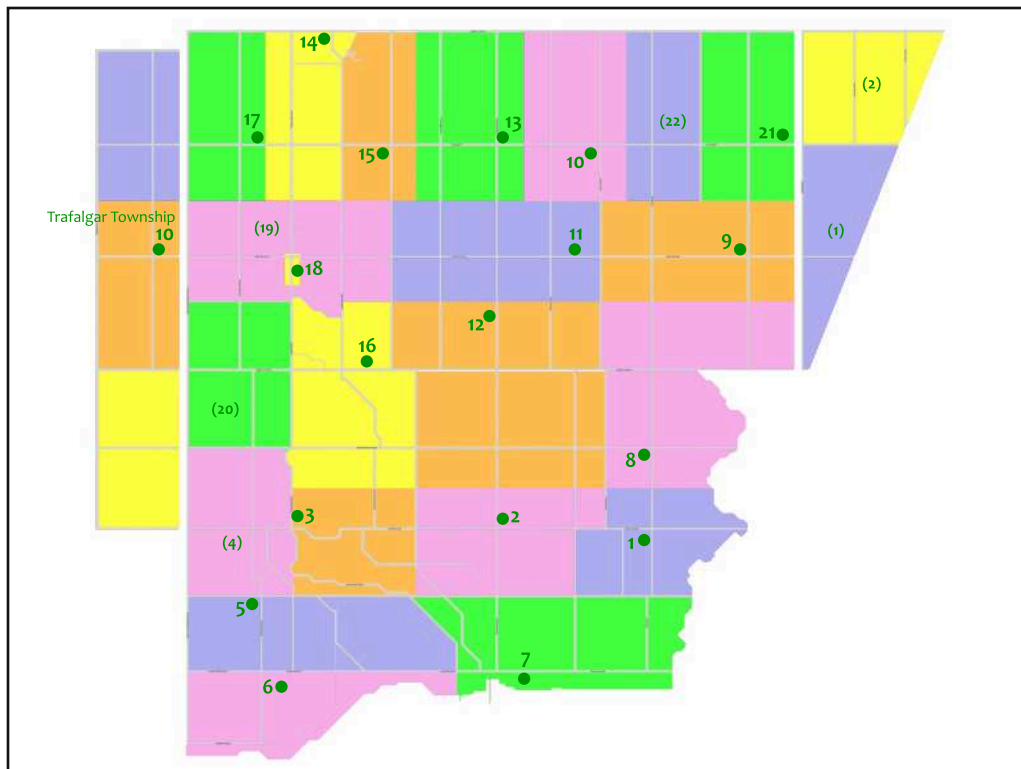
4.1 Mississauga's Longest-Running School

There was no fanfare. The occasion arrived without anyone noticing, but when the new school year began, the day after Labour Day 2011, the Peel Alternative School South became the oldest operating school in Peel Region. September 6, 2011 was opening day of Lakeview Park's 90th year as a public school. The record had previously been held by Meadowvale's historic one-room schoolhouse which still functions as a community hall, but closed in 1959 after 89 years as a public school.

When PASS students began the move to Neil C. Matheson Public School at the end of 2015, their old school at 1239 Lakeshore Road East was the lone surviving public school in Mississauga dating back to the days of 'school sections'.

At 146 years, it is S.S. #15: Meadowvale that is the city's oldest surviving elementary school. Mississauga's only other surviving one-room school, S.S. #12: Britannia, is five years younger but distinguishes itself from its older rival by still being active as a school. However, it has not served as a public school as long as Lakeview Park school. The Peel District School Board defines S.S. #12 as a 'field centre' which holds day-classes, and not full-year public school classes. Britannia's S.S. #12 was not in continuous use over those past 141 years. It closed as a public school in 1959, remaining vacant until restored in 1982.

The earliest part of Streetsville's grammar school dates to 1851, making it the oldest surviving senior school in Mississauga, but the building was enlarged significantly in 1877. The main structure, with its distinctive Second Empire tower functioned as a public school for 80 years. Lakeview Park's 93 years and four months as a public school is the



School sections in Toronto Township, Toronto Gore Township and part of Trafalgar Township.



S.S. #12: Britannia - 1876



S.S. #15: Meadowvale - 1871

record for continuous use of any school in Mississauga. Lakeview Park is also the only historic S.S. school to function both as an elementary school (from 1923 to 2001) and a secondary school (2001 to 2015).

It's been enlarged twice, has seen portables come and go, witnessed proposals for underground classrooms quashed and was the victim of at least one small fire, in 1963 but otherwise old S.S. #7: Lakeview Park has held up well as Mississauga's venerable education institution.

4.2 Early Schools Defined Mississauga's Unique Identity

There's a university named in his honour. Adolphus Ryerson, better known by his middle name Egerton, is considered the father of Ontario's schools. He developed the system for building schools, funding them through levies, establishing a standard province-wide curriculum and, later, making school attendance compulsory. Back in 1826, when Ryerson was a youthful Methodist preacher, the church assigned him to the Credit Mission where he helped the Mississaugas build a chapel and log school north of present-day Port Credit. Reverend Peter Jones (born Kahkewaquanaby, or Sacred Feathers) commented in his diary that his friend Ryerson had taught the Credit Mississaugas carpentry skills and that Ryerson himself was of the type of man who were willing to "blacken their hands by logging the timber." With iron tools, Ryerson literally built his first school here in Mississauga, 20 years before he urged his fellow parliamentarians to pass the Common Schools Act - 1846.

This was the act that required each township in Canada West (Ontario's name, at the time) to divide into school sections to determine the location of local schools and to assign local levies for funding these schools. Historic Mississauga was divided into 22 more-or-less equal-sized sections. The first eight sections, in the older, southerly part of the township already had community schools, so were assigned the first eight numbers in geographic order westward along Dundas Street, then back eastward along the lakeshore. Northward from about the Burnhamthorpe Side Road, where farm families were just settling in, each section was assigned a number when the population was large enough to finance a school and settle on a location within the section. Refer to the map on page 30.

Of the 22 school sections planned, four of them (#4, #19, #20 and #22) never built a publicly-funded school. In the other 18 sections, small schools were initially built. From 1846 until 1952 (when school section administration in Peel County ended) 58 elementary public schools were built in Mississauga (including Ryerson's Credit Mission school which closed in 1847 – one year after the school sections were established. It was not assigned a section number). Of these 58 schools, 45 were room-one schoolhouses. About a third of these were quickly replaced by larger schools from the 1850s through the 1870s as each school section grew. Only S.S. #12 and S.S. #15 remain. See page 31.

Unique of these were the 13 schools, built between 1876 and 1940, that were larger and largely-impromptu variations on one-room schools. Mississauga had a unique collection of early multi-roomed schoolhouses whose physical design elements are defined at least in part by the financial limitations imposed on Mississauga's urbanizing school sections when Mississauga as a whole was still considered rural countryside. Three of these survive, including S.S. #7: Lakeview Park.

Early in the 20th century Ontario's Department of Education adopted standard design criteria for schools, to reduce costs through standardization. A planbook was adopted in 1909 for schools in rural townships, and since Mississauga was almost entirely



S.S. #1: Dixie - 1921
(Heritage Mississauga collection)



S.S. #3: Springfield (later, Erindale) - 1922

farm country at this time the schools here were designed with these rural schoolhouse standards in mind. However as Dixie, Cooksville, Erindale, Lakeview, Streetsville and Port Credit outgrew their rural origins the trustees of the respective school sections – #1, #2, #3, #7, #18 and #19 – found themselves in need of larger schools yet unable to finance them when property assessment continued to be based on rural zoning bylaws. Being the only incorporated village in 1876, and the first in Mississauga in need of a multi-room school, Streetsville’s trustees addressed the problem of limited school section revenue by simply taking the basic plan of the existing 1853 school, with its conventional rectangular plan and gable-roof, and enlarging it into an over-sized version of the same.

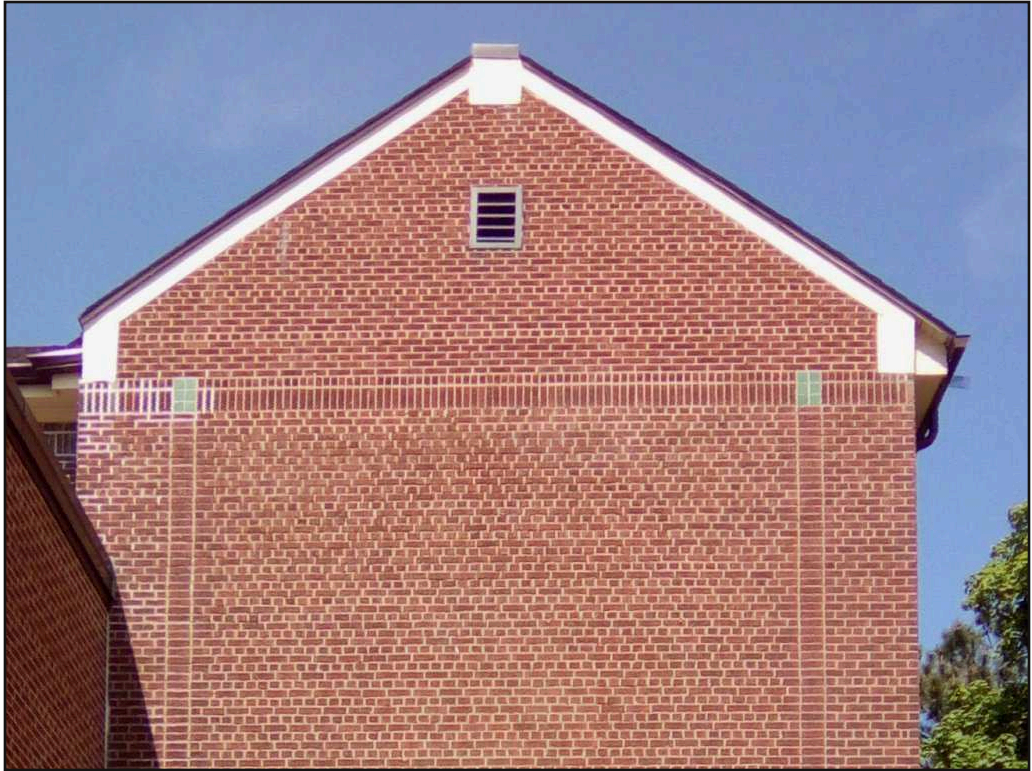
Mississauga’s later multi-roomed schools were a more interesting amalgam of rural and urban design elements. Confronted with the same problem of underfunding, these share a common rural simplicity, at least in plan; with rectangular classrooms, longer than wider, with a raised podium for the teacher, hardwood floor, full-width blackboard, and even ministry-preferred outward-swinging doors. But otherwise they deviate from S.S. #18: Streetsville’s rural influence in scale, massing and period style in an attempt to look more cosmopolitan. Of the surviving multi-room schools, S.S. #1: Dixie’s four-room school has a Romanesque style and S.S. #4: Erindale’s two-room school has a distinctly Classical look. Refer to page 33.

4.3 Lakeview Park in Context with Other Historic Schools in Mississauga

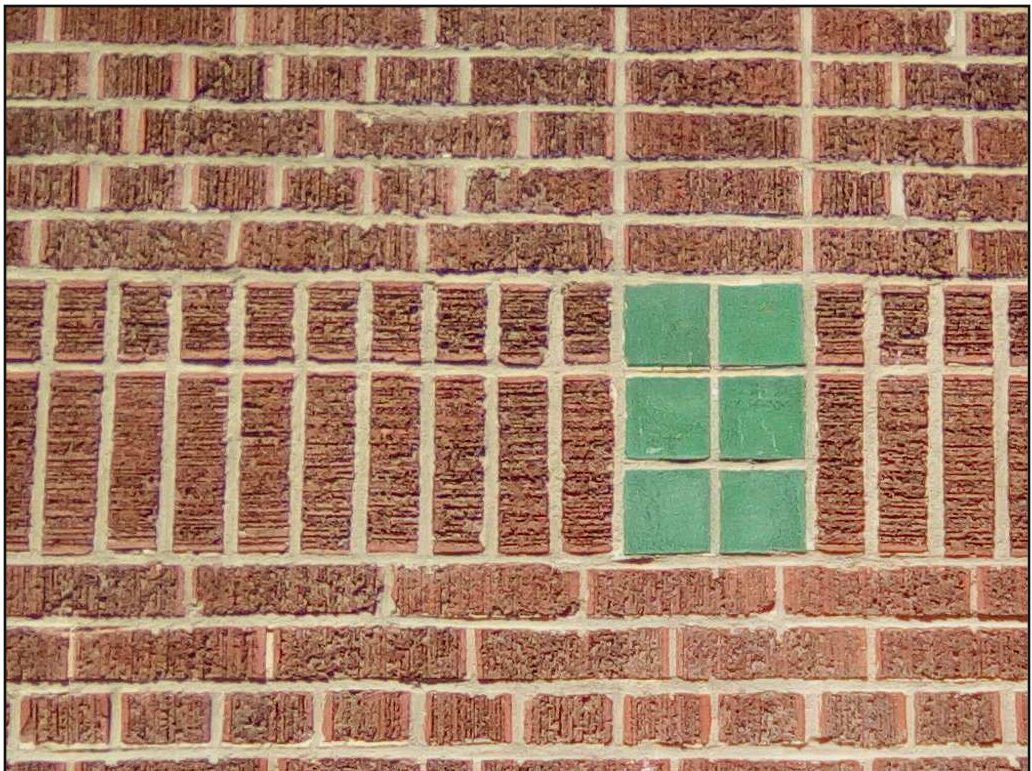
S.S. #7: Lakeview Park shares traits with its sister multi-room schoolhouses in Mississauga in that it is essentially rural in basic form – with a central hallway and stairs leading to four equal-sized, evenly-spaced rooms in symmetric layout, but deviates from that norm by incorporating Georgian Revival and contemporary Edwardian elements that were not typical of the township’s many one-room schoolhouses based on the 1909 Department of Education guidelines, or the earlier simple gable-roofed schools that influenced the province’s 1909 standards.

The many design elements common to urban schools that find their way into Lakeview Park’s otherwise rural form include Classical eave returns and an arched central, second floor, front (south) façade window, large Edwardian 16-pane windows, and a modest portico with pilasters and square, simple-form columns. Especially notable at S.S. #7: Lakeview Park is the decorative brickwork used to highlight the east and west façades. These are the two walls that would be seen first as the Lakeshore Road trolley approached from either direction. The dominant red brick is subtly contrasted by green-tinted brick highlights located where decorative vertical- and horizontal-stacked pattern bricks meet at rectangular corners. Outside this stacked-bond design feature, bricks in a conventional stretcher bond contrast with bricks in an English bond pattern inside the rectangle. The patterns are complex on close inspection, but convey an almost subliminal pattern at a distance.

Lakeview Park school is a fine, surviving example of a rural school incorporating design elements that acknowledge the suburbanization taking place in Lakeview at the time of its construction. Anyone driving along Lakeshore Road East today, who is not familiar with the history and the character of this neighbourhood could easily conclude by looking at Lakeview Park school that Lakeview was a village of growing prominence at the time this school was built.



West facade,
S.S. #7: Lakeview Park - 1923 section



Decorative brick work,
S.S. #7: Lakeview Park - 1923 section

5.0: ASSESSMENT

In January 2006, the Province of Ontario, through the Ontario Heritage Act approved Regulation 9/06 which established a criteria for determining the heritage value of a property, based on three criteria – 1) design and/or physical value, 2) historical and/or associative value, and 3) contextual value.

This regulation functions as a formal guideline to be used in evaluating a property for possible designation under the terms of the Ontario Heritage Act. This approved regulation will be used, following, to determine if the subject property, 1239 Lakeshore Road East, Mississauga, Ontario has “cultural heritage value or interest” under Section 29 of the Ontario Heritage Act.

Under the terms of the Ontario Heritage Act a property needs to comply with any one of the items of Regulation 9/06, in any one of the three subsections of Section 29 of the Ontario Heritage Act to be considered suitable for designation.

Regulation 9/06

A municipal council may designate heritage resources by by-law pursuant to Section 29 of the Ontario Heritage Act based on criteria set forth in Ontario Regulation 9 / 06; Criteria for Determining Cultural Heritage Value or Interest.

Section 1

The property has design value or physical value because it;

- i: is a rare, unique, representative or early example of a style, type, expression, material or construction method,
- ii: displays a high degree of craftsmanship or artistic merit, or
- iii: demonstrates a high degree of technical or scientific achievement.

Section 2

The property has historical value or associative value because it;

- i: has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community,
- ii: yields, or has the potential to yield, information that contributes to an understanding of a community or culture, or
- iii: demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.

Section 3

The property has contextual value because it is;

- i: important in defining, maintaining or supporting the character of area,
- ii: physically, functionally, visually or historically linked to its surrounding,
- iii: a landmark.

5.1 Assessment

Following is an analysis of the 1923 segment of the current building complex at 1239 Lakeshore Road East in Mississauga, Ontario – that being the original schoolhouse of Toronto Township S.S. #7: Lakeview Park.

The 1954 addition does show some merit for its associative value, but less so than the 1923 section. The 1965 addition is a conventional classroom extension typical of the period of construction, and common throughout Mississauga.

1. The [1923 section of the] property has design value or physical value because it,
i. is a rare, unique, representative or early example of a style, type, expression, material or construction method,

The 1923 section of the current building complex at 1239 Lakeshore Road East is unique in being the only school in Mississauga during the “school section” era built in an architectural style that incorporates elements of Georgian Revival architecture with contemporary Edwardian elements. The 1923 school (along with two existing schools in Mississauga, built in 1921 and 1922 but of different architectural styles) is a rare and successful attempt by the S.S. #7 trustees to commission a design for a school of essentially urban proportions but with the limited funding that was available when the school section was still assessed under rural funding standards.

ii. displays a high degree of craftsmanship or artistic merit,

Special attention was applied to structural details during the design and construction of the 1923 section of the building complex at 1239 Lakeshore Road East, notably in the use of contrasting brick bonds and brick colours to create subtle design contours and reliefs.

2. The property has historical value or associative value because it,
i. has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community,

Schools are naturally a significant institution in any community. All children aged five to 13 living in east Lakeview from 1923 to 2001, including children of veterans living in emergency shelters located across the street from 1946 to 1954, attended this school. Over 8,000 Lakeview residents attended S.S. #7: Lakeview Park in those 78 years.

ii. yields, or has the potential to yield, information that contributes to an understanding of a community or culture

Being one of only 13 multi-room schools built in Mississauga prior to 1952, and one of only three surviving multi-room schools from the initial “school section” era, S.S. #7: Lakeview Park represents a period of transition in Lakeview from a rural farming community into Mississauga’s earliest large suburban neighbourhood.

3. The [1923 section of the] property has contextual value because it,
i. is important in defining, maintaining or supporting the character of an area,
Currently, the closed school has lost its link to the neighbourhood, but has the potential to function as a reminder of the rural and suburban communities that once existed in the area, being the community school for this area.

ii. is physically, functionally, visually or historically linked to its surroundings,

Historically, all schools are naturally linked to their surroundings. This school was

attended by all children aged five to 13 who lived in the surrounding area. Because the subject property closed as a public school for local families 15 years ago, the current generation of Lakeview residents have little to no link to the historical and associative assets of the site, but the 1923 section of the subject property is the oldest institutional building in Lakeview, and the only one of five pre-WWII schools in the community to survive. In seven years, S.S. #7: Lakeview Park will celebrate its centenary.

iii. is a landmark.

The subject property's value as a landmark is yet to be determined. Currently the school complex is vacant, with the historic section obscured by trees. However, S.S. #7: Lakeview Park is the oldest large structure in Lakeview and could serve as the historical focus in an area otherwise defined by undistinguished and nearly-indistinguishable apartment complexes and factory/warehouse buildings. The S.S. #7: Lakeview Park school has the essential architectural, historical and contextual merits to become a much-needed landmark in this part of Lakeview.

5.2 Conclusion

Based on the criteria set forth by Regulation 9/06 of Section 29 of the Ontario Heritage Act, the 1923 section of the building complex at 1239 Lakeshore Road East, known historically as Township of Toronto School Section #7: Lakeview Park, is worthy of protection because it complies with, or has the potential to comply with seven of the nine subsections of Regulation 9/06, including at least one subsection of each section regarding design/physical, historical/associative and contextual criteria.



*Lakeview Park School - Mr. Hume's Room 8
Class of 1963-64*

6.0: RESOURCES

6.1 Resources:

Blumenson, John
 Ontario Architecture: Guide to Styles and Terms
 The Globe (Toronto) (1844-1936) / Globe and Mail (1936-present)
 Google Earth
 Heritage Mississauga
 image archive
 Kalman, Harold D.
 A History of Canadian Architecture
 Legislative Assembly of Ontario
 Schools and Teachers in the Province of Ontario:
 1921, 1926, 1931, 1936, 1941, 1946, 1951 and 1956 editions
 mississauga.ca - Services Online - e-maps
 mississauga.ca - Services Online - Property Information
 Ontario Department of Education - 1909
 Plans for Rural School Buildings
 Port Credit News (1927-1937) / Port Credit Weekly (1937-1959)
 Service Ontario at www.e-laws.gov.on.ca
 Ontario Heritage Act, RSO 1990, Chapter O.18
 Toronto Daily Star (1896-1971) / Toronto Star (1971-present)
 Walker and Miles
 Historical Atlas of Peel County, 1877
 Weeks, Verna Mae
 Lakeview: More Than Just Land - Volume 1
 Lakeview: More Than Just Land - Volume 2

6.2 Author:

Since 2007 Richard Collins has prepared Heritage Impact Statements for sites in
 Burlington, Gravenhurst, Mississauga, Oakville and Welland Ontario.

- Clarkson 1808-2008 Committee; heritage coordinator
- City of Mississauga; 2012 Civic Award of Recognition
- Heritage Mississauga; volunteer, recipient of the 2007 Lifetime Membership Award and the 2008 Member's Choice Award
- Mississauga HAC; member of the Heritage Designation Subcommittee
- Mississauga South Historical Society; past president
- Museums of Mississauga, historical interpreter
- Muskoka Steamship Society, restoration fundraiser for R.M.S. Segwun
- Page+Steele Architects, Toronto; past archivist
- Peel District School Board Heritage Fair, member and adjudicator
- Port Credit 175th Anniversary Committee; project leader and secretary
- Port Credit Village Project; secretary and co-chair of the Heritage Circle
- The Booster; author of over 200 articles on Mississauga's history

City of Mississauga Memorandum



Date: 20/8/2019

To: Chair and Members of Heritage Advisory Committee

From: Paul Damaso, Director, Culture Division

Meeting Date: 9/10/2019

Subject: New Construction Adjacent to a Designated and Listed Property: 354 Meadow Wood Lane

This memorandum and its attachment are presented for HAC's information.

The property at 1620 Orr Road, adjacent to 354 Meadow Wood Lane, is both designated under Part IV of the OHA and is Listed on the City's heritage register as a Cultural Heritage Landscape. Section 7.4.1.12 of the Mississauga Official Plan states that: "The proponent of any construction, development, or property alteration that might adversely affect a listed or designated cultural heritage resource or which proposed adjacent to a cultural heritage resource will be required to submit a Heritage Impact Assessment, prepared to the satisfaction of the City and other appropriate authorities having jurisdiction." A scoped Heritage Impact Assessment report is attached for your reference.

Attachments

Appendix 1: Heritage Impact Assessment

Prepared by: Paul Damaso, Director, Culture Division

HERITAGE IMPACT ASSESSMENT



354 MEADOW WOOD LANE, CLARKSON
ADJACENT TO THE BRADLEY MUSEUM CULTURAL LANDSCAPE

FINAL REPORT

01 August 2019

MEGAN HOBSON

M.A. DIPL. HERITAGE CONSERVATION

Built Heritage Consultant

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(905) 975-7080

mhobson@bell.net

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APPENDIX B: PROPOSED DEVELOPMENT (AJM DESIGNS INC)		ATTACHED

EXECUTIVE SUMMARY

The subject property is a residential property on Meadow Wood Lane that backs onto a public park called Meadow Wood Park, a component of the Bradley Museum Cultural Landscape. The applicant is proposing to demolish an existing frame cottage and build a larger home and swimming pool. The proposal has been evaluated and it has been determined that it will have no impact on heritage values or attributes associated with the Bradley Museum Cultural Landscape. An archaeological assessment has been undertaken and determined that no further work is required for archaeology. Therefore, no mitigation is required.

1.0 BACKGROUND & METHODOLOGY

This *Heritage Impact Assessment* was undertaken by heritage consultant Megan Hobson for the property owner of 354 Meadow Wood Lane as a requirement for obtaining planning approvals to replace an existing residence that backs onto the Bradley Museum Cultural Landscape.

This report was prepared according to a scoped *Terms of Reference* provided by heritage staff at the City of Mississauga. A site visit was undertaken by Megan Hobson on May 21st, 2019 to assess and document the property and its relationship to the Bradley Museum Cultural Landscape. Heritage values associated with the Bradley Museum property were reviewed and potential impacts were assessed according to Provincial guidelines.

2.0 LOCATION

The subject property is located in Clarkson in a residential neighbourhood near the shore of Lake Ontario called Meadow Wood. It is located on Meadow Wood Lane, a private lane from Watersedge Road that provides access to 8 residential properties. These properties all back onto a public park called Meadow Wood Park. Meadow Wood Park is a component of the Bradley Museum Cultural Landscape (L-RES-4).



Location Map: The rear yard of the subject property backs onto Meadow Wood Park, a public park that is part of the Bradley Museum Cultural Landscape.

3.0 SITE DESCRIPTION

See Appendix A: SITE PHOTOS

The subject property is a small rectangular lot on the west side of Meadow Wood Lane. It contains a small 1.5-storey frame cottage and garage. The rear yard backs onto Meadow Wood Park. Meadow Wood Lane is a private unpaved road that does not have a sidewalk. It is a dead end street that provides access to 8 residences.



354 Meadow Wood Lane

Above: view from Meadow Wood Lane

Below: view from Meadow Wood Park

4.0 HERITAGE PLANNING CONTEXT

The Bradley Museum Cultural Landscape is one of 11 sites that have been identified as significant 'residential' landscapes within the City of Mississauga because they have cultural heritage value to the community.¹ The Bradley Museum Cultural Landscape contains a collection of 4 historic buildings including 2 Part IV Designated buildings. The Bradley Museum complex includes:

- Bradley House, a c. 1830 wooden farmhouse (*Designated Part IV*)
- The Anchorage, an early 19th century Ontario Regency style cottage that was relocated here in the 2007 (*Designated Part IV*)
- An early 19th century log cabin that was relocated here from Port Credit Drive
- A late 19th century barn & drive shed



The Anchorage (left) and the barn & drive shed (right)

The 'park-like setting' associated with the Bradley Museum complex contributes to its heritage value and to the operation of this site as a community museum. Values associated with the Bradley Museum Cultural Landscape are identified in the *Cultural Landscape Inventory* (2005) and include the following:

1. Historical Value; the buildings and the land that surrounds them have historical associations with several important people who contributed to the early development of Mississauga
2. Architectural Value: the historic buildings contribute to the built environment as representative examples of early buildings in Mississauga and the activities associated with them
3. Archaeological Potential: the site has archaeological potential because of its proximity to the shore of Lake Ontario

The museum buildings are clustered at the north end of the property near Orr Road. The property is a long narrow parcel that extends down to the lake. The area south of the museum buildings contains woods and parkland. The parkland is known as Meadow Wood Park and is

¹ *Cultural Landscape Inventory* (2005) Currently being updated.

owned and maintained by the City. This area is not actively used by the Bradley Museum and is maintained by the City. Public access to Meadow Wood Park is primarily from Watersedge Road where there is a parking area.



Left: Map of the Bradley Museum site – a collection of historic buildings at 1620 Orr Road



Right: Land Use Map – the subject property backs onto Meadow Wood Park, a component of the Bradley Museum Cultural Landscape (green)

Meadow Wood Park is a public City-owned park that has the character of a natural area with lawns and large trees. The park is bordered by former industrial lands to the west and a residential neighbourhood called Meadow Wood to the east. The residential properties that back on to the east side of the park typically have chain link fences so that residents can enjoy views of the park. Several of these properties have gates so that they can access the park from their back yards. There is a shallow, grassed drainage ditch between the park and the residential properties.



Meadow Wood Park – view looking to the north – the subject property is on the right

5.0 PROPOSED DEVELOPMENT

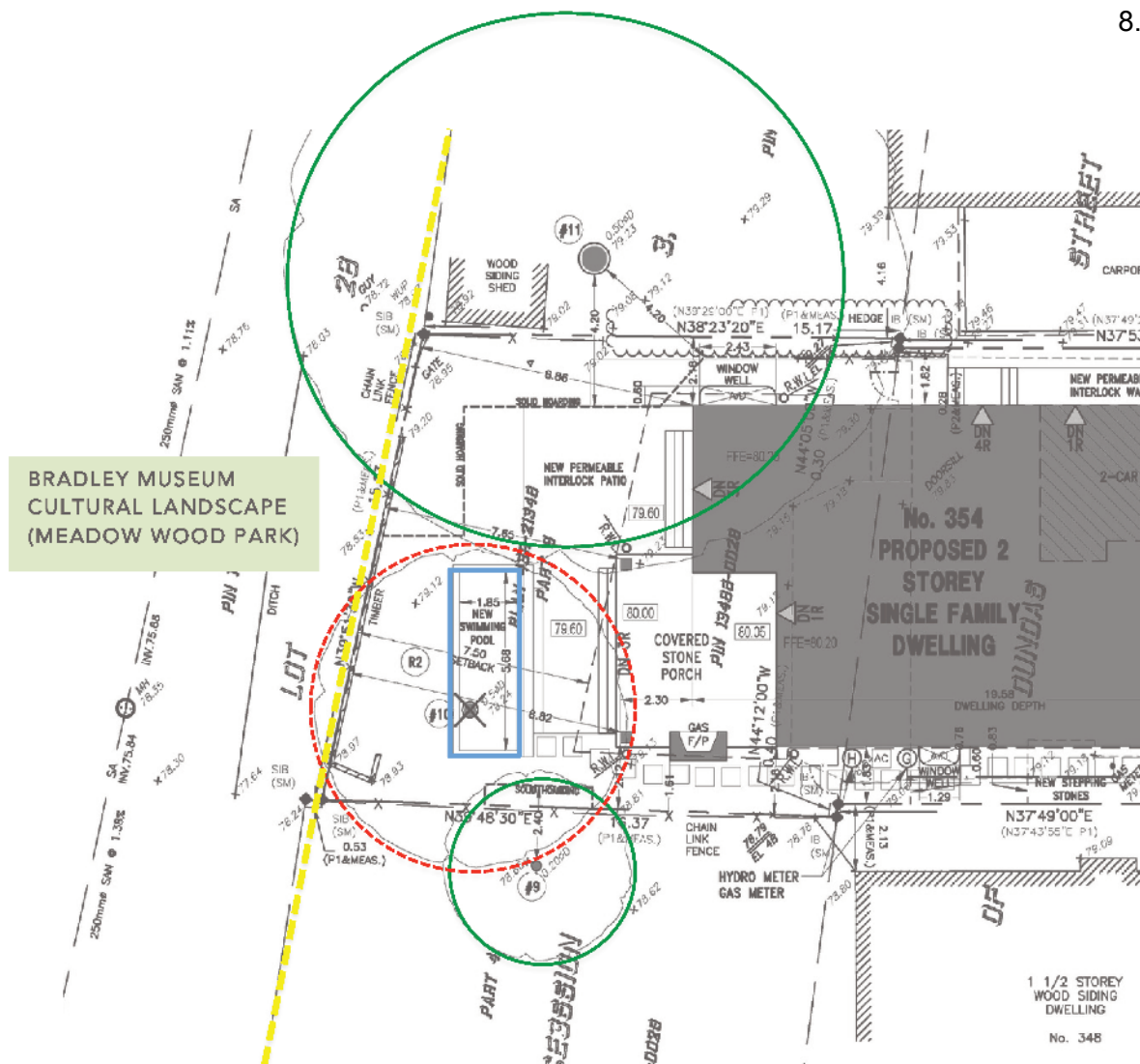
See Appendix B: Drawings [Hicks Design Studio]

The applicant proposes to demolish the existing 1.5 storey frame cottage with a 1-storey attached garage located at 354 Meadow Wood Lane and construct a larger 2-storey house and garage with stone cladding in the same location. The proposed house will exceed the footprint of the existing dwelling, extending closer to the rear property line. The proposed development is consistent with the zoning for this area and no variances will be required. The lot coverage will be 34.91% (up to 35% is permitted) and the building height will be 8.81 m (up to 9 m is permitted).

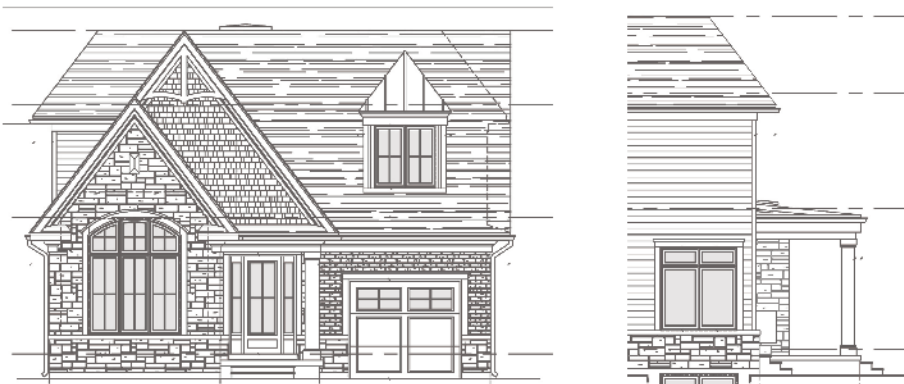


Land-use and zoning map – the subject property is in a low-density residential area that is zoned R3-3 for single-detached dwellings (yellow) – it backs on to open space that is a public park called Meadow Wood Park. Meadow Wood Park is a component of the Bradley Museum Cultural Landscape (L-RES-4)

The proposal includes an in-ground swimming pool at the back of the property approximately 3-4 m from the rear property line. There is one tree on the subject property in this location that will be removed. Protection measures are being undertaken to protect two large trees on neighbouring properties so that they will not be harmed during excavation for the swimming pool.



Proposed development at 354 Meadow Wood Lane – one tree on the subject property will be removed (red line) - 2 trees on neighbouring properties will be retained and protected - the proposed swimming pool (blue outline) is approximately 3-4 m from the rear property line (yellow line) – there will be no impacts to trees in Meadow Wood Park



354 Meadow Wood Lane - the proposed dwelling in a Neo-Traditional style has a compact 2-storey form with an integrated garage

Left: front elevation

Right: side elevation detail showing the back porch

6.0 IMPACT ON HERITAGE VALUES

The proposed development will have no direct impact on the Bradley Museum Cultural Landscape. Indirect impacts are very minor and are limited to a portion of the public parkland that contributes to the 'park-like' setting that is an attribute of the Bradley Museum Cultural Landscape.

Minor impacts include visual impacts from Meadow Wood Park. The slight increase in height and the reduced rear-yard setback will make the new house more visible from Meadow Wood Park. This impact is not considered excessive because the proposed dwelling is consistent with the land use and zoning for this area and is similar to other residential buildings that back onto Meadow Wood Park. Therefore, no mitigation is required.

The proposed swimming pool in the back yard will be fairly close to the property line adjacent to Meadow Wood Park, approximately 3-4 m. The applicant has already retained an arborist to determine if excavation for the pool would impact any mature trees. There will be no impacts to trees in Meadow Wood Park because there are no significant trees in the park that are close to the subject property. Protection measures to protect 2 mature trees on neighbouring properties are being undertaken. The only park feature that is directly adjacent to the subject property is the lawn. The lawn in the park will not be impacted by landscaping on the subject property because the existing grade along the property line will be maintained. An existing drainage ditch located in the park behind the subject property will continue to provide adequate water management. Therefore, no mitigation is required.



Park area adjacent to the subject property - drainage ditch and storm sewer in the park – there are no trees in this area just lawn

7.0 CONCLUSIONS & RECOMMENDATIONS

The proposed development will have no adverse affects on the adjacent heritage property known as the Bradley Museum Cultural Landscape. Therefore, no mitigation is required. The following recommendations can be implemented through the regular site plan and building permit approval process:

- the existing grade along the rear property line should be maintained to prevent water running off into the park
- new fencing and/or plantings along the rear property line should maintain the park-like character of Meadow Wood Park

8.0 QUALIFICATIONS OF THE AUTHOR

The author of this report is a member in good standing of the Canadian Association of Heritage Professionals. Formal education includes a Master of Arts in Architectural History from the University of Toronto and a diploma in Heritage Conservation from the Willowbank School of Restoration Arts. Professional experience includes an internship at the Ontario Heritage Trust, three years as Architectural Historian and Conservation Specialist at Taylor Hazell Architects in Toronto, and 7 years in private practice in Ontario as a heritage consultant. Other relevant experience includes teaching art history at the University of Toronto and McMaster University and teaching Research Methods and Conservation Planning at the Willowbank School for Restoration Arts in Queenston. In addition to numerous heritage reports, the author has published work in academic journals such as the *Journal of the Society of Architectural Historians* and the *Canadian Historical Review*.

8.0 SOURCES

City of Mississauga, *Cultural Landscape Heritage Impact Assessment (HIA) Terms of Reference* (2017)

-----, *Cultural Landscape Inventory* (2005)

-----, *Municipal By-law 477-77; Lewis Bradley Pioneer Museum*

-----, *Municipal By-law 661-83; The Anchorage*

-----, *Official Plan*.

Heritage Mississauga, 'Clarkson', online resource <https://heritagemississauga.com/clarkson/>

-----, *The Clarkson Book*, available online
http://www.mississauga.ca/file/COM/8147_ClarksonBook_PartOne.pdf

Ontario Ministry of Tourism & Culture, *Heritage Resources in the Land Use Planning Process, Ontario Heritage Tool Kit* (2006)

APPENDIX A: SITE PHOTOS



Figure 1: MEADOW WOOD LANE – the subject property is located on a short dead-end street – there are eight residential properties on the south side that back onto a public park that is part of the Bradley Museum Cultural Landscape



Figure 2: 354 MEADOW WOOD LANE – the subject property



Figure 3: 354 MEADOW WOOD LANE – front elevation of the subject property – existing frame cottage with a small front yard



Figure 4: 354 MEADOW WOOD LANE – existing driveway and attached garage – there is no sidewalk



Figure 5: 354 MEADOW WOOD LANE – the park yard backs on to a public park that is part of the Bradley Museum Cultural Landscape – chain link fence along the property line



Figure 6: PUBLIC PARK –view towards the back yard of the subject property – there is a drainage ditch and sewer line in the park behind the subject property



Figure 7: PUBLIC PARK – view from the park towards the Bradley Museum site at the west end of the park - the museum site is heavily screened by vegetation – the subject property is on the right



Figure 8: PUBLIC PARK – view from the park towards the parking area at the east end of the park and views to Lake Ontario

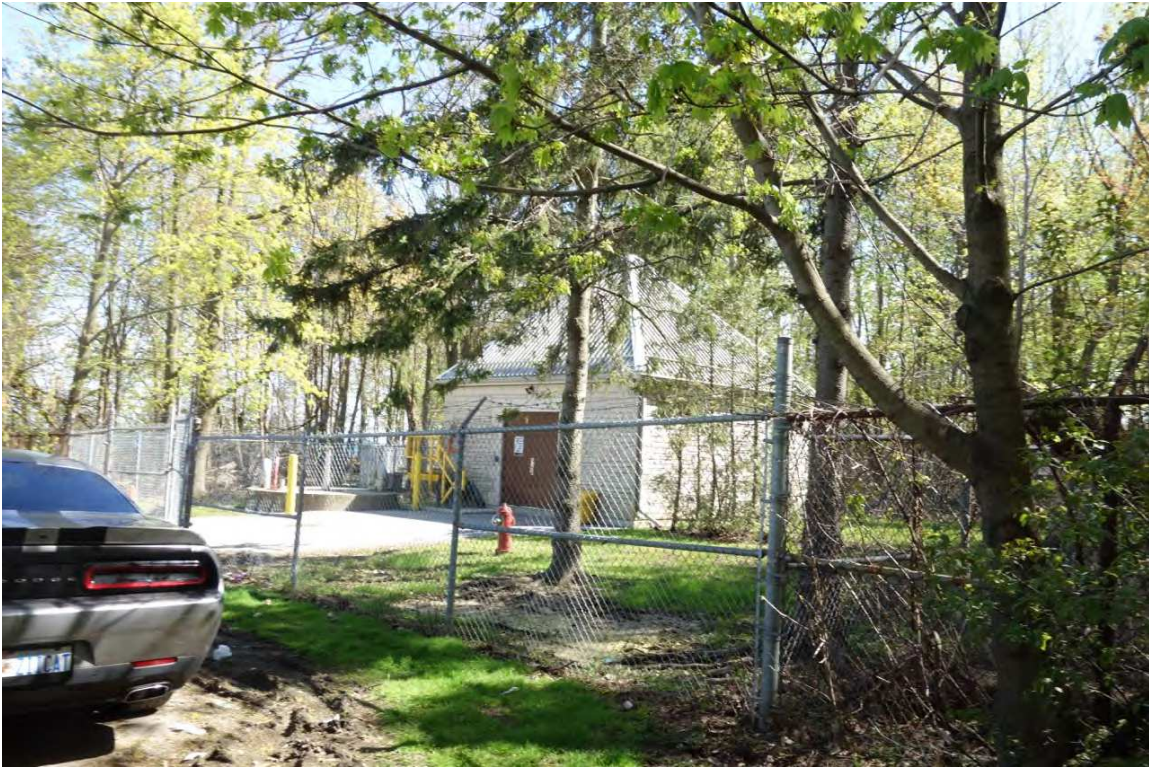


Figure 9: PUBLIC PARK – utility building and woods along the south side of the park – chain link fence along the property line – no public access



PLUTINO RESIDENCE
354 MEADOW WOOD LANE, MISSISSAUGA.

8.2 - 18.3
19.07.23

WATERMANS AND WATER SERVICE

ALL MATERIALS AND CONSTRUCTION METHODS MUST CORRESPOND TO THE CURRENT PEEL PUBLIC WORKS STANDARDS AND SPECIFICATIONS.

WATERMAIN AND/OR WATER SERVICE MATERIALS 100 mm (4") AND LARGER MUST BE PVC. SIZE 50 mm (2") AND SMALLER MUST BE COPPER "K".

WATERMANS AND/OR WATER SERVICES ARE TO HAVE A MINIMUM COVER OF 1.7 m (5'6") WITH A MINIMUM HORIZONTAL SPACING OF 1.2 m (4') FROM THEMSELVES AND ALL OTHER UTILITIES

PROVISIONS FOR FLUSHING WATER LINE PRIOR TO TESTING, ETC. MUST BE PROVIDED WITH AT LEAST A 50 mm (2") OUTLET ON 100 mm (4") AND LARGER LINES. COPPER LINES ARE TO HAVE FLUSHING POINTS AT THE END, THE SAME SIZE AS THE LINE. HOSEY MUST ALSO BE HOSED OR PIPED TO ALLOW THE WATER TO DRAIN ONTO A PARKING LOT OR DOWN A DRAIN. ON FIRE LINES, FLUSHING OUTLET TO BE 100 mm (4") DIAMETER MINIMUM ON A HYDRANT

ALL CURB STOPS TO BE 3.0 m (10') OFF THE FACE OF THE BUILDING UNLESS OTHERWISE NOTED

HYDRANT AND VALVE SET TO REGION STANDARD 1-6-1 DIMENSION A AND B, 0.7 m (2') AND 0.9 m (3') AND TO HAVE PUMPER NOZZLE

WATERMANS TO BE INSTALLED TO GRADES AS SHOWN ON APPROVED SITE PLAN. COPY OF GRADE SHEET MUST BE SUPPLIED TO INSPECTOR PRIOR TO COMMENCEMENT OF WORK, WHERE REQUESTED BY INSPECTOR

WATERMANS MUST HAVE A MINIMUM CLEARANCE OF 0.3 m (12") OVER / 0.5 m (20") UNDER SEWERS AND ALL OTHER UTILITIES WHEN CROSSING

ALL PROPOSED WATER PIPING MUST BE ISOLATED FROM EXISTING LINES IN ORDER TO ALLOW INDEPENDENT PRESSURE TESTING AND CHLORINATING FROM EXISTING SYSTEMS

ALL LIVE TAPPING AND OPERATION OF REGION WATER VALVES SHALL BE ARRANGED THROUGH THE REGIONAL INSPECTOR ASSIGNED OR BY CONTACTING THE OPERATIONS AND MAINTENANCE DIVISION

LOCATION OF ALL EXISTING UTILITIES IN THE FIELD TO BE ESTABLISHED BY THE CONTRACTOR

THE CONTRACTOR(S) SHALL BE SOLELY RESPONSIBLE FOR LOCATES, EXPOSING, SUPPORTING AND PROTECTING OF ALL UNDERGROUND AND OVERHEAD UTILITIES AND STRUCTURES EXISTING AT THE TIME OF CONSTRUCTION IN THE AREA OF THEIR WORK, WHETHER SHOWN ON THE PLANS OR NOT AND FOR ALL REPAIRS AND CONSEQUENCES RESULTING FROM DAMAGE TO SAME.

THE CONTRACTOR(S) SHALL BE SOLELY RESPONSIBLE TO GIVE 72 HOURS WRITTEN NOTICE TO THE UTILITIES PRIOR TO CROSSING SUCH UTILITIES, FOR THE PURPOSE OF INSPECTION BY THE CONCERNED UTILITY. THIS INSPECTION WILL BE FOR THE DURATION OF THE CONSTRUCTION, WITH THE CONTRACTOR RESPONSIBLE FOR ALL COSTS ARISING FROM SUCH INSPECTION

ALL PROPOSED WATER PIPING MUST BE ISOLATED THROUGH A TEMPORARY CONNECTION THAT SHALL INCLUDE AN APPROPRIATE CROSS-CONNECTION CONTROL DEVICE, CONSISTENT WITH THE DEGREE OF HAZARD, FOR BACKFLOW PREVENTION OF THE ACTIVE DISTRIBUTION SYSTEM, CONFORMING TO REGION OF PEEL STANDARDS 1-7-7 OR 1-7-8

GENERAL SITE PLAN APPROVAL NOTES:

- GRADES MUST BE MET WITHIN 33% MAX. SLOPE AT PROPERTY LINES AND WITHIN THE SITE.
- THE CONTRACTOR (BUILDER) TO CHECK AND VERIFY LOCATION AND ELEVATION OF EXISTING UTILITIES (CONNECTIONS) PRIOR TO CONSTRUCTION.
- ALL DISTURBED AREAS WITHIN EXISTING ROADS AND BOULEVARDS TO BE RECONSTRUCTED TO THE SATISFACTION OF THE CITY OF MISSISSAUGA WORKS DEPARTMENT.
- ROOF DOWN SPOUTS TO SPILL ONTO GROUND VIA SPLASH PADS.
- I HEREBY CERTIFY THAT THIS DRAWING CONFORMS IN ALL RESPECTS TO THE SITE DEVELOPMENT PLANS AS APPROVED BY THE CITY OF MISSISSAUGA UNDER FILE NUMBER SPA-45481

SIGNATURE: *Janet McNamee*

- THE CITY OF MISSISSAUGA REQUIRES THAT ALL WORKING DRAWINGS SUBMITTED TO THE BUILDING DIVISION AS PART OF AN APPLICATION FOR THE ISSUANCE OF A BUILDING PERMIT SHALL BE IN CONFORMITY WITH THE SITE DEVELOPMENT PLAN AS APPROVED BY THE CITY OF MISSISSAUGA, DEVELOPMENT AND DESIGN DIVISION
- THE STRUCTURAL DESIGN OF ANY RETAINING WALL OVER 0.60m (2.00 ft.) IN HEIGHT OR ANY RETAINING WALL LOCATED ON A PROPERTY LINE IS SHOWN ON THE SITE PLAN AND GRADING PLAN AND IS TO BE APPROVED BY THE CONSULTING ENGINEER FOR THE PROJECT.
- THE OWNER IS RESPONSIBLE FOR ENSURING THAT THE TREE PROTECTION HOARDING IS MAINTAINED THROUGHOUT ALL PHASES OF DEMOLITION AND CONSTRUCTION IN THE LOCATION AND CONDITION AS APPROVED BY THE PLANNING AND BUILDING DEPARTMENT. NO MATERIALS (BUILDING MATERIALS, SOIL, ETC.) MAY BE STOCKPILED WITHIN THE AREA OF HOARDING. FAILURE TO MAINTAIN THE HOARDING AS ORIGINALLY APPROVED OR THE STORAGE OF MATERIALS WITHIN THE HOARDING WILL BE CAUSE FOR THE LETTER OF CREDIT TO BE HELD FOR TWO (2) YEARS FOLLOWING COMPLETION OF SITE WORKS.

SIGNATURE OF HOMEOWNER: _____

- SEDIMENT CONTROLS AS PER CITY STANDARD ARE TO BE IMPLEMENTED DURING CONSTRUCTION.
- ALL DAMAGED LANDSCAPE AREAS WILL BE REINSTATED WITH TOPSOIL AND SOD PRIOR TO THE RELEASE OF SECURITIES.
- ALL EXCESS EXCAVATED MATERIALS WILL BE REMOVED FROM THE SITE.
- THE EXISTING DRAINAGE PATTERN WILL BE MAINTAINED.
- THE PORTIONS OF THE DRIVEWAY WITHIN THE MUNICIPAL BOULEVARD WILL BE PAVED BY THE APPLICANT.
- RESERVED
- OMITTED
- NO CONSTRUCTION ACCESS WILL BE PERMITTED FROM THE ADJOINING PARK/GREENBELT.
- ALL EXTERIOR LIGHTING WILL BE DIRECTED ONTO THE SITE AND WILL NOT INFRINGE UPON THE ADJACENT PROPERTIES.
- IF A WELL IS DISCOVERED, IT WILL BE DECOMMISSIONED IN ACCORDANCE WITH THE ONTARIO WATER RESOURCES ACT REGULATION 903 (formerly 612/84) AND ANY OTHER APPLICABLE REGULATIONS AND GUIDELINES.
- STOCKPILING OF TOPSOIL DURING EXCAVATION WILL NOT BE PERMITTED. ALL EXCAVATED MATERIAL IS TO BE REMOVED FROM SITE AND NOT STOCK PILED ON THE SITE. FAILURE TO COMPLY WITH THIS REQUIREMENT MAY IMPACT SECURITIES

SIGNATURE OF HOMEOWNER: _____

- PRIOR TO ANY CONSTRUCTION TAKING PLACE, HOARDING ADJACENT TO EXISTING PROPERTIES TO PROTECT FROM CONSTRUCTION ACTIVITY, AND ALL REQUIRED HOARDING IN ACCORDANCE WITH THE ONTARIO OCCUPATIONAL HEALTH AND SAFETY ACT AND REGULATIONS FOR CONSTRUCTION PROJECTS MUST BE ERECTED AND MAINTAINED THROUGHOUT ALL PHASES OF CONSTRUCTION.
- ALL PROPOSED CURBING WITHIN THE MUNICIPAL BOULEVARD AREA FOR THE SITE IS TO SUIT AS FOLLOWS: a) FOR ALL SINGLE FAMILY RESIDENTIAL PROPERTIES INCLUDING ON STREET TOWNHOUSES, ALL PROPOSED CURBING AT THE ENTRANCES TO THE SITE IS TO STOP AT THE PROPERTY LINE OR AT THE MUNICIPAL SIDEWALK, WHICH IS APPLICABLE, OR b) FOR ALL OTHER PROPOSALS INCLUDING INDUSTRIAL, COMMERCIAL AND CONDOMINIUM DEVELOPMENTS, ALL ENTRANCES TO THE SITE ARE TO BE IN ACCORDANCE WITH O.P.S.D. 350.010
- THE APPLICANT WILL BE REQUIRED TO CONTACT ALL UTILITY COMPANIES TO OBTAIN ALL REQUIRED LOCATES PRIOR TO THE INSTALLATION OF HOARDING WITHIN THE MUNICIPAL RIGHT-OF-WAY
- WORKS IN THE MUNICIPAL RIGHT-OF-WAY BEING PERFORMED BY THE CITY'S CONTRACTOR WILL REQUIRE 4-6 WEEKS NOTICE PRIOR TO COMMENCEMENT OF CONSTRUCTION AFTER ALL DRAWINGS HAVE BEEN APPROVED AND SECURITIES HAVE BEEN RECEIVED.
- THE PROPOSED DEVELOPMENT OF THE SUBJECT SITE MAY NEGATIVELY IMPACT THE ROOT ZONE(S) OF NEARBY TREE(S) ON ADJACENT PROPERTY AND ULTIMATELY DAMAGE THE TREE(S). THE OWNER SHOULD TAKE ALL REASONABLE STEPS TO MINIMIZE THE DISTURBANCE TO THE ADJACENT TREES ROOT ZONE(S) THAT ARE WITHIN THE SUBJECT SITE. THE CITY OF MISSISSAUGA TAKES NO RESPONSIBILITY FOR THE PROTECTION OF TREES ON ADJACENT PROPERTIES.
- THE PORTION OF THE DRIVEWAY WITHIN THE MUNICIPAL BOULEVARD WILL BE PAVED BY THE APPLICANT.
- THE APPLICANT WILL BE RESPONSIBLE FOR THE COST OF ANY UTILITIES RELOCATIONS NECESSITATED BY THE SITE PLAN.
- SHOULD THE INSTALLATION OF BELOW GROUND SERVICES REQUIRE HOARDING TO BE REMOVED, PLANNING AND BUILDING STAFF ARE TO BE CONTACTED PRIOR TO THE COMMENCEMENT OF SUCH WORK. SHOULD AN ALTERNATIVE SERVICE ROUTE NOT BE POSSIBLE, STAFF WILL INSPECT AND DOCUMENT THE CONDITION OF THE VEGETATION AND SERVING INSTALLATION IN ORDER TO MINIMIZE DAMAGE TO THE VEGETATION.
- ONCE ALL WORKS ARE COMPLETE, THE APPLICANT IS TO CONTACT THE PLANNING AND BUILDING DEPARTMENT, DEVELOPMENT AND DESIGN DIVISION, AT (905) 896-5511 FOR AN INSPECTION PRIOR TO HOARDING BEING REMOVED.
- FOUNDATION WEEPERS AND FLOOR DRAINS WILL BE SLUMPED AND PUMPED TO THE SURFACE AND WILL DISCHARGE ONTO A CONCRETE SPLASH PAD IN THE FRONT OF THE HOUSE.
- GRADING AT THE BASE OF EXISTING TREES MUST BE PRESERVED ADJACENT THE CONSTRUCTION ZONE.
- ALL SURFACE DRAINAGE WILL BE SELF CONTAINED, COLLECTED AND DISCHARGED AT A LOCATION TO BE APPROVED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT.
- AT THE ENTRANCES TO THE SITE, THE MUNICIPAL CURB AND SIDEWALK WILL BE CONTINUOUS THROUGH THE DRIVEWAY AND A CURB DEPRESSION WILL BE PROVIDED FOR EACH ENTRANCE.
- ALL UTILITY COMPANIES WILL BE NOTIFIED FOR LOCATES PRIOR TO THE INSTALLATION OF THE HOARDING THAT LIES WITHIN THE LIMITS OF THE CITY BOULEVARD AREA.
- CONSTRUCTION MATERIALS ARE NOT TO BE PUT OUT FOR COLLECTION.
- IF A SEPTIC SYSTEM IS DISCOVERED ON SITE, IT WILL BE DECOMMISSIONED AND REMOVED ACCORDING TO ALL APPLICABLE GUIDELINES AND REGULATIONS.
- SLUMP PUMP AND DOWNSPOUT DISCHARGE TO BE MANAGED WITH PROPERTY BOUNDARIES AND NOT HAVE AN ADVERSE EFFECT ON ADJUTING OR CITY OWNED LANDS AND INFRASTRUCTURE INCLUDING DITCHES.

PROPOSED CERTIFICATION FOR GRADING
I HAVE REVIEWED THE PLANS FOR THE CONSTRUCTION OF A BUILDING LOCATED AT 354 MEADOW WOOD LANE AND HAVE PREPARED THIS PLAN TO INDICATE THE COMPATIBILITY OF THE PROPOSAL TO EXISTING ADJACENT PROPERTIES AND MUNICIPAL SERVICES. IT IS MY BELIEF THAT ADHERENCE TO THE PROPOSED GRADES AS SHOWN WILL PRODUCE ADEQUATE DRAINAGE AND PROPER FACILITY OF MUNICIPAL SERVICES WITHOUT ANY DETRIMENTAL EFFECT TO THE EXISTING DRAINAGE PATTERNS OR ADJACENT PROPERTIES.

DATE: MARCH 29, 2017
MISSISSAUGA, ONTARIO BORYS KUBICKI, Ontario Land Surveyor
FILE 7501

1 GENERAL NOTES + GRADING NOTE

SCALE: N.T.S.

PLAN OF SURVEY WITH TOPOGRAPHY OF
PART OF LOT 28
CONCESSION 3,
SOUTH OF DUNDAS STREET
(ORIGINALLY IN TOWNSHIP OF TORONTO)

CITY OF MISSISSAUGA REGIONAL MUNICIPALITY OF PEEL

TARASICK McMILLAN KUBICKI LIMITED
ONTARIO LAND SURVEYORS

© COPYRIGHT, 2018

EASEMENTS

SUBJECT TO AND TOGETHER WITH A RIGHT-OF-WAY AS IN R01063139.

SUBJECT TO EASEMENT IN FAVOUR OF THE CONSUMER'S GAS COMPANY OVER PART 5, PLAN 43R-20070 AS IN R01056050.

UNDERGROUND SERVICES

THE LOCATION OF UNDERGROUND SERVICES SHOWN ON THIS PLAN IS ONLY APPROXIMATE AND IS FOR PLANNING AND DESIGN PURPOSES ONLY. THIS INFORMATION MUST NOT BE ASSUMED TO BE COMPLETE OR UP-TO-DATE AND AN ON-SITE LOCATE MUST BE ORDERED PRIOR TO ANY EXCAVATION. TARASICK McMILLAN KUBICKI LIMITED ACCEPTS NO RESPONSIBILITY FOR ANY CLAIMS OR LOSSES DUE TO IMPROPER USE OF THIS INFORMATION.

ELEVATION NOTE

ELEVATIONS ARE REFERRED TO CANADIAN GEODETIC VERTICAL DATUM-1928, AND WERE DERIVED FROM CITY OF MISSISSAUGA BENCHMARK No. 321, HAVING A PUBLISHED ELEVATION OF 89.178 metres.

BEARING NOTE

BEARINGS ARE ASTRONOMIC AND ARE REFERRED TO THE SOUTHWESTERLY LIMIT OF PART 5, AS SHOWN ON PLAN 43R-21348, HAVING A BEARING OF N39°51'30"W.

LEGEND

■	DENOTES	SURVEY MONUMENT FOUND
□	DENOTES	SURVEY MONUMENT PLANTED
IS	DENOTES	IRON BAR
SIB	DENOTES	STANDARD IRON BAR
SSIB	DENOTES	SHORT STANDARD IRON BAR
PHI	DENOTES	MANHOLE
WUP	DENOTES	WOOD UTILITY POLE
WV	DENOTES	WATER VALVE
P1	DENOTES	PLAN 43R-21348
P2	DENOTES	WILMAN, HADFIELD, STEWARD O.L.S., MAR. 25, 1987
(SM)	DENOTES	SEXTON MCKAY LTD., O.L.S.
(OU)	DENOTES	ORIGIN UNKNOWN
WIT	DENOTES	WITNESS

0.20" DENOTES DECIDUOUS TREE WITH TRUNK DIAMETER

0.20" DENOTES CONIFEROUS TREE WITH TRUNK DIAMETER

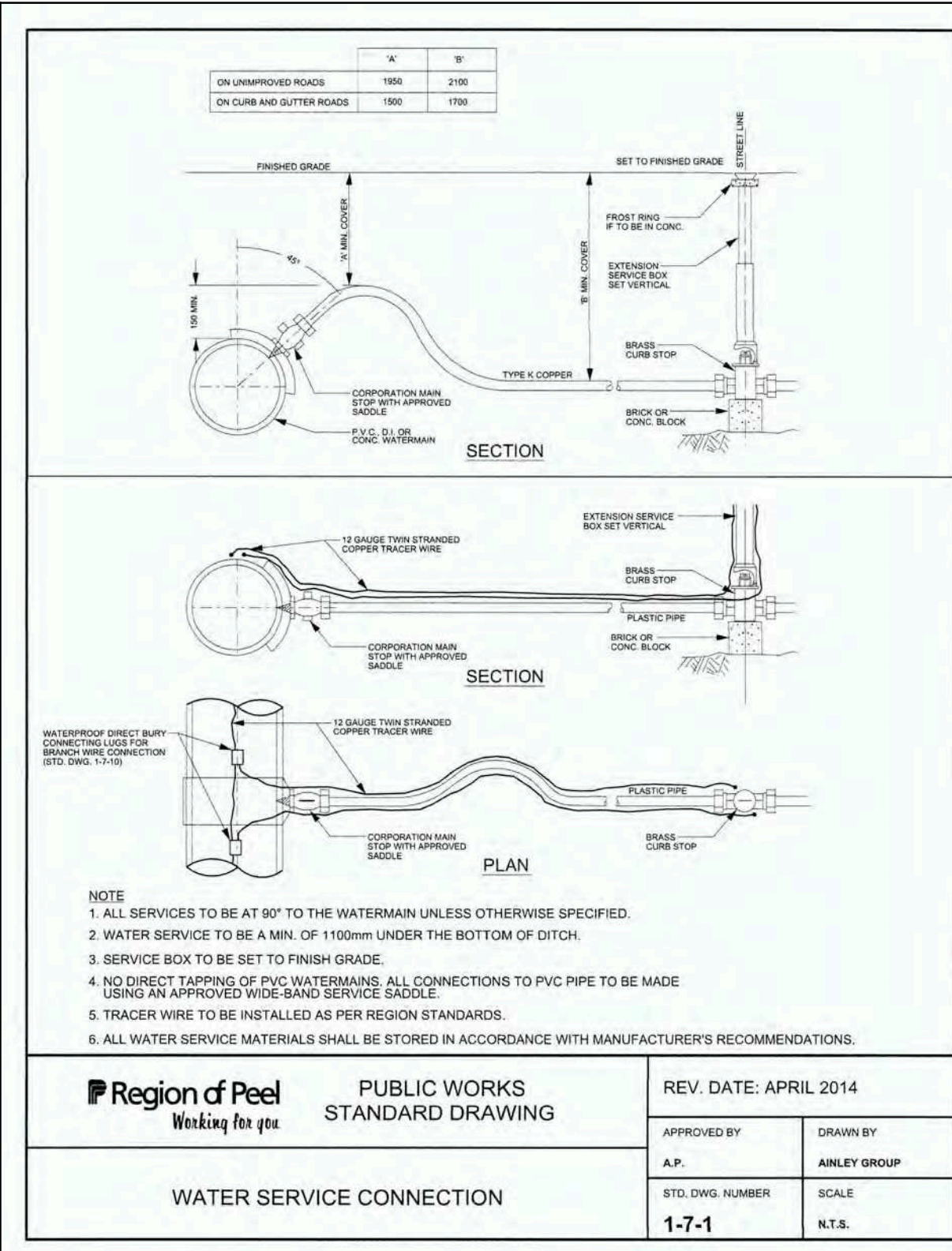
TREE CANOPIES ARE DRAWN TO SCALE.

SURVEYOR'S CERTIFICATE

I CERTIFY THAT :

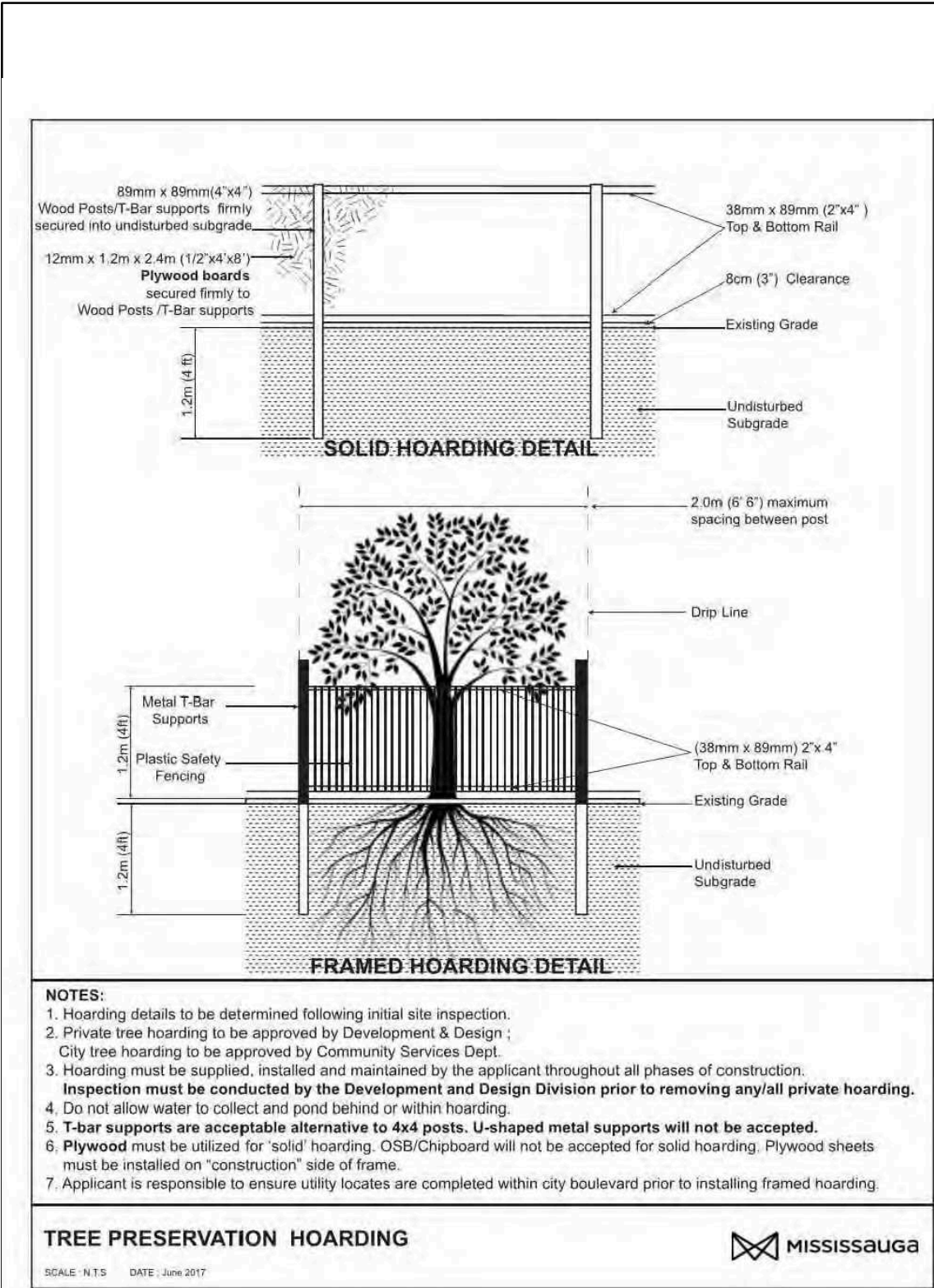
- THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYOR'S ACT, THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM.
- THE SURVEY WAS COMPLETED ON JUNE 4, 2018

JUNE 5, 2018
DATE BORYS KUBICKI
ONTARIO LAND SURVEYOR



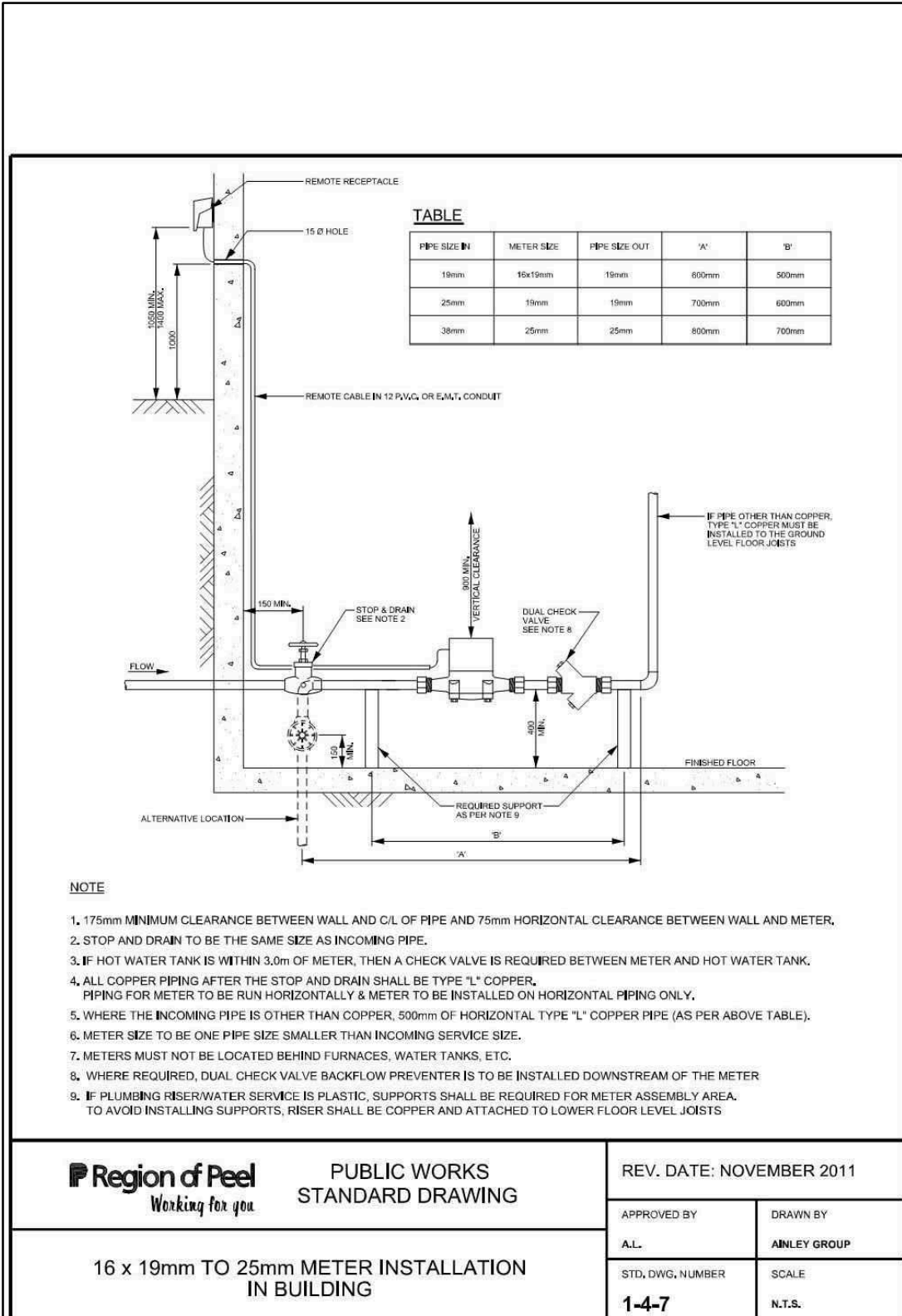
3 WATER SERVICE CONNECTION DETAIL

SCALE: N.T.S.



5 HOARDING DETAIL

SCALE: N.T.S.



4 WATER METER DETAIL

SCALE: N.T.S.

CLIENT:
ROSANNA PLUTINO
354 MEADOW WOOD LANE
MISSISSAUGA, ONTARIO
L5J 2S9
(416) 000-0000

DESIGNER:
OM ARCHITECTURE INC.
#3 - 2526 SPEERS ROAD
OAKVILLE, ONTARIO L6L 5M2
ATTENTION: JARRET MCNAMEE
PH: 905-825-0433

SITE STATISTICS
ADDRESS: 354 MEADOW WOOD LANE
MISSISSAUGA, ONTARIO
L5J 2S9
LOT 28 CON. 3
R3-3

LEGAL DESCRIPTION:	%	METRIC	IMPERIAL
LOT AREA:		618.27	6,655.22
LOT FRONTAGE:			
AT STREET		14.59	47.87
AS PER DEFINITION		14.59	47.87
(7.5m back from property line)			

GROSS FLOOR AREA - INFILL RESIDENTIAL:	%	METRIC	IMPERIAL
PERMITTED		313.65	3,376.25
(190 SQ.M. + 0.20 X AREA OF LOT)			

PROPOSED	%	METRIC	IMPERIAL
GARAGE		27.87	300.00
GROUND FLOOR		148.64	1,600.00
SECOND FLOOR		137.12	1,476.00
TOTAL		313.63	3,376.00

TOTAL BASEMENT	%	METRIC	IMPERIAL
FINISHED AREA		131.08	1,411.00
UNFINISHED AREA		117.82	1,268.20
		13.27	142.80

LOT COVERAGE:	%	METRIC	IMPERIAL
(Includes porches & decks more than 10sq.m. & more than 0.6m above grade)			
PERMITTED		35	216.39
PROPOSED DWELLING FOOTPRINT		29.81	184.32
PROPOSED COVERED PORCHES		5.09	31.49
PROPOSED TOTAL		34.91	215.81

MAXIMUM HEIGHT TO RIDGE:	%	METRIC	IMPERIAL
PERMITTED		=	9.00
PROPOSED		=	8.81

MAXIMUM HEIGHT TO EAVES:	%	METRIC	IMPERIAL
PERMITTED		=	6.40
PROPOSED		=	6.51

TOTAL SIDE YARD SETBACK CALCULATIONS:	%	METRIC	IMPERIAL
PROPOSED:		3.64	11.94
AT WEST = 1.82 + AT EAST = 1.82			

DWELLING DEPTH: (MAX. 20.0m)	%	METRIC	IMPERIAL
		19.58	64.24
SLOPED ROOF AREA	%	METRIC	IMPERIAL
		62.28	149.57
FLAT ROOF AREA	%	METRIC	IMPERIAL
		37.74	90.67
TOTAL ROOF AREA	%	METRIC	IMPERIAL
		240.24	2,586.00

5 SITE STATISTICS

SCALE: N.T.S.

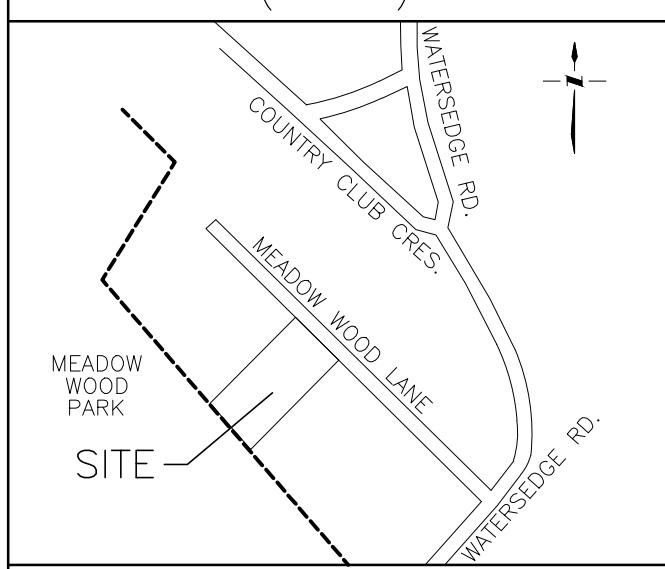
Drawings must NOT be scaled. Contractor must check and verify all dimensions, specifications and drawings on site and report any discrepancies to the Architect prior to proceeding with any of the work.

The undersigned has reviewed and takes responsibility for this design, has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. REGISTRATION AND QUALIFICATION INFORMATION Required unless design is exempt under 2.17.5.1 and/or 2.17.4.1 of the Ontario Building Code

FIRM BCIN: 111071
INDIVIDUAL BCIN: 36866

NAME: A. Jarret McNamee SIGNATURE: *Janet McNamee*
This document must be signed above to be valid. Reproductions should not be accepted.

KEYPLAN: (N.T.S.)



SITE LEGEND:

PROPERTY LINE
EXISTING GRADE
FINISHED GRADE
FINISHED FLOOR ELEVATION
FINISHED BASEMENT ELEVATION
FINISHED DECK ELEVATION
MAIN ENTRANCE
SECONDARY ENTRANCE
PROPOSED DWELLING AREA
EXISTING TREE TO REMAIN
EXISTING TREE TO BE REMOVED
SOLID WOOD HOARDING
FRAMED HOARDING
EXISTING FENCE
PROPOSED FENCE
TREE NUMBERING AS PER ARBORIST REPORT
DOWN SPOUT LOCATIONS

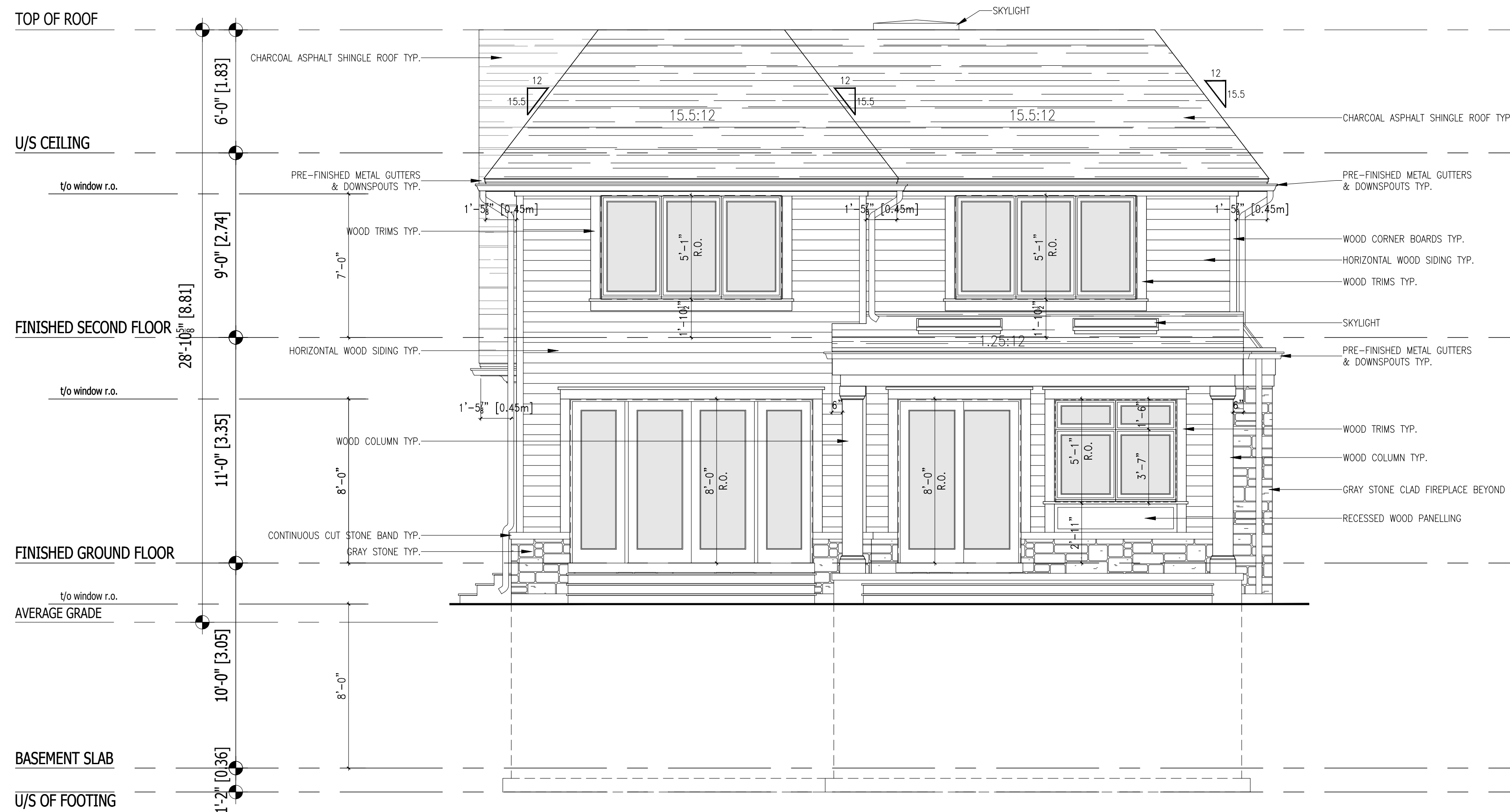
1 19.05.24 ISSUED FOR S.P.A.
REF. DATE: DESCRIPTION:
REVISIONS / ISSUANCE:

AJM DESIGNS INC.
#3 - 2526 Speers Road, Oakville ON, L6L 5M2
T: 905.825.0433 E: info@ajmdesigns.ca

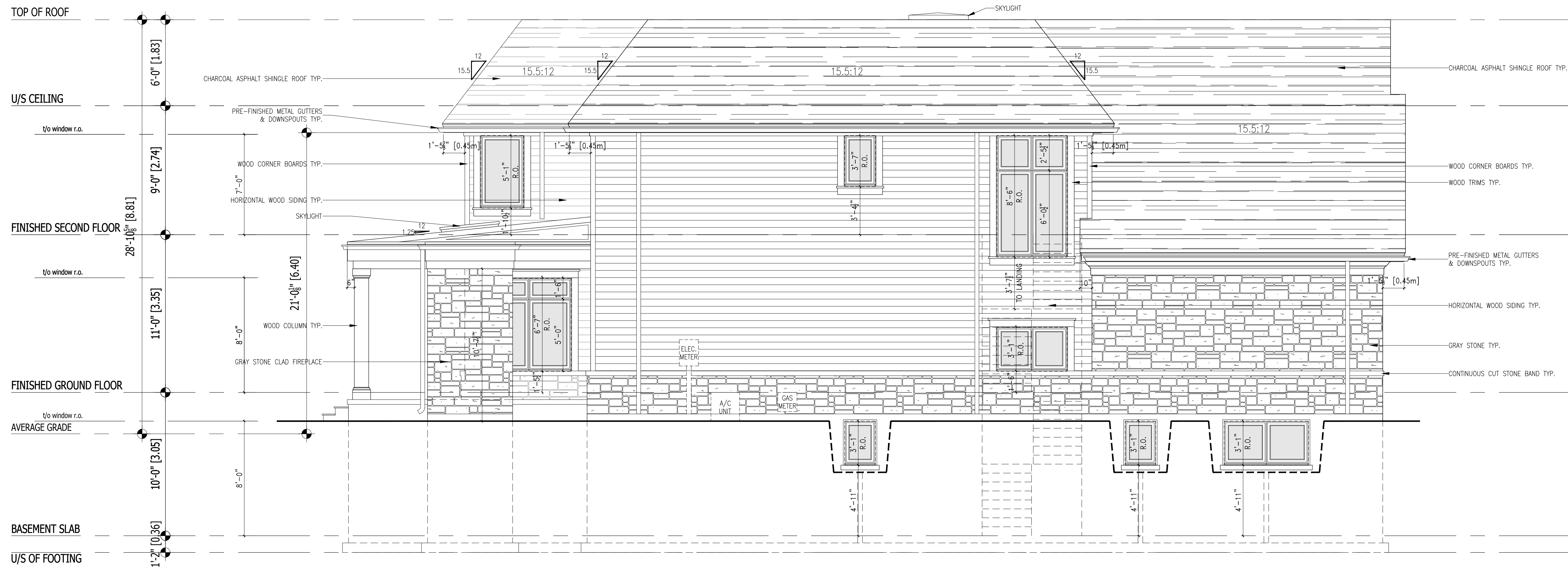
CLIENT:
ROSEANNE PLUTINO
TEL: (416) 995-5970
ADDRESS: 354 MEADOW WOOD LANE
CITY: MISSISSAUGA, ONTARIO

DRAWING TITLE:
SITE PLAN &
SITE STATS

DRAWN: J.Mc.
DATE: 18.07.06
JOB NUMBER: 335-18
SCALE: NOTED
SHEET NUMBER: A1.0



1 **SOUTH ELEVATION**
A4.2 SCALE: 1/4"=1'-0"



2 **EAST ELEVATION**
A4.2 SCALE: 1/4"=1'-0"

Drawings must NOT be scaled. Contractor must check and verify all dimensions, specifications and drawings on site and report any discrepancies to the Designer prior to proceeding with any of the work.

The undersigned has reviewed and takes responsibility for this design, has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.
REGISTRATION AND QUALIFICATION INFORMATION
Required unless design is exempt under 2.17.5.1 and/or 2.17.4.1 of the Ontario Building Code

FIRM BCIN: 111071

INDIVIDUAL BCIN: 36866

NAME: A. Jarret McNamee SIGNATURE: *A. Jarret McNamee*
This document must be signed above to be valid.
Reproductions should not be accepted.

1 19.05.24 ISSUED FOR S.P.A.

REF. DATE: DESCRIPTION:

REVISIONS / ISSUANCE:



#3 - 2524 Speers Road, Oakville ON, L6L 5M2
T: 905.825.0433 E: info@ajmdesigns.ca

CLIENT:

PLUTINO RESIDENCE

ADDRESS: 354 MEADOW WOOD LANE
CITY: MISSISSAUGA, ON.

DRAWING TITLE:
**SOUTH & EAST
ELEVATIONS**

DRAWN: J.Mc.

DATE: 18.07.16

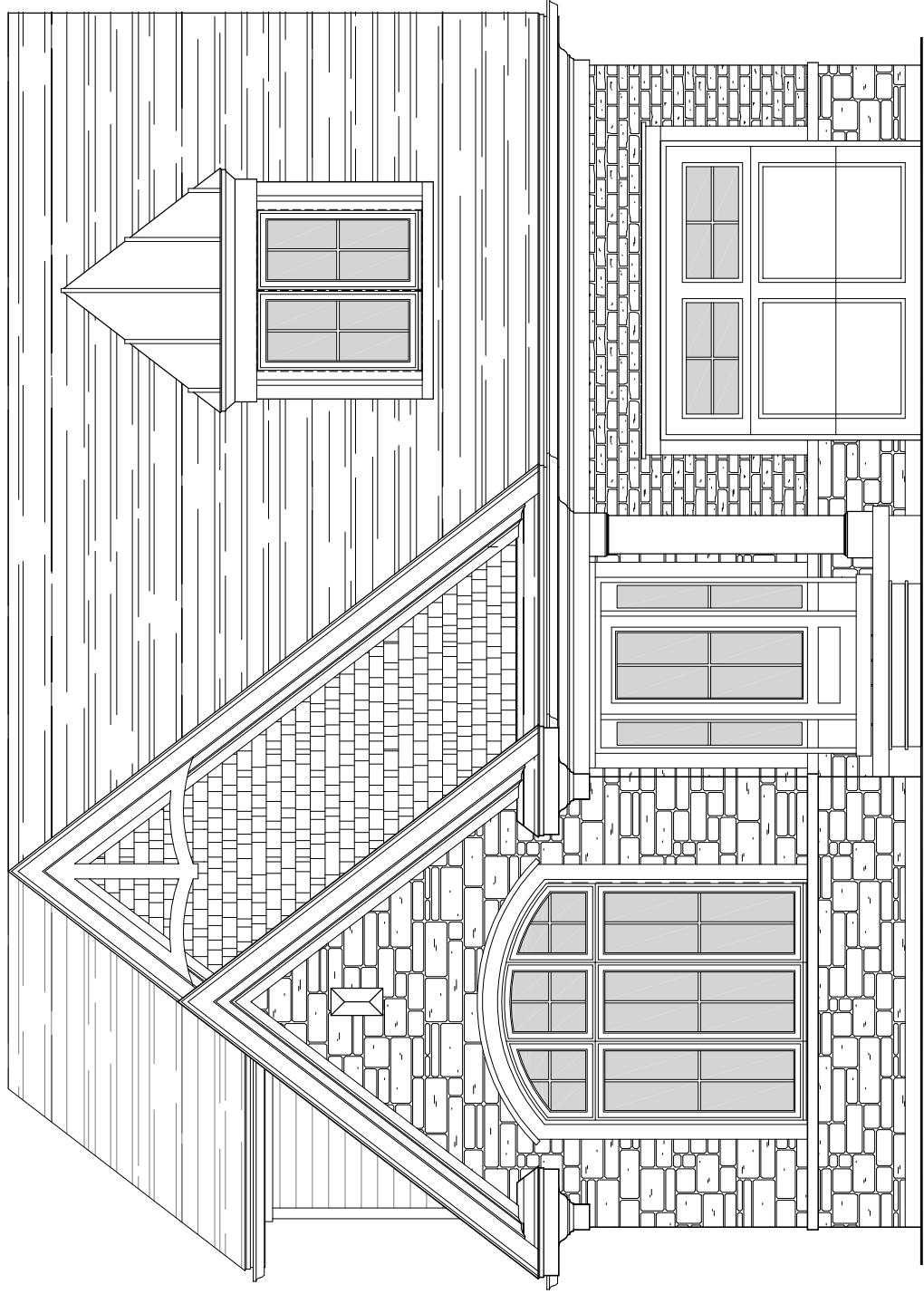
JOB NUMBER:

335-18

SCALE: 1/4"=1'-0"

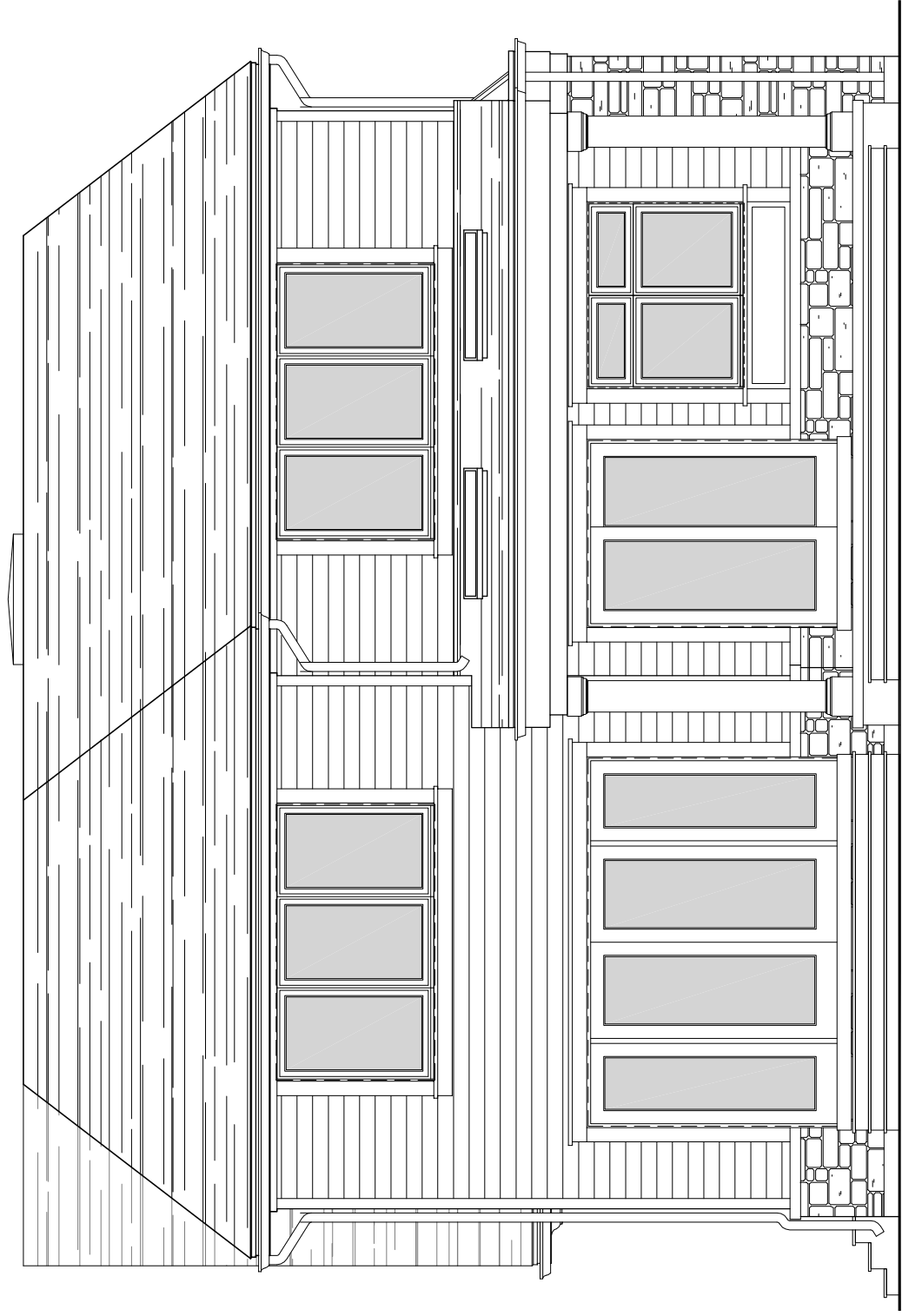
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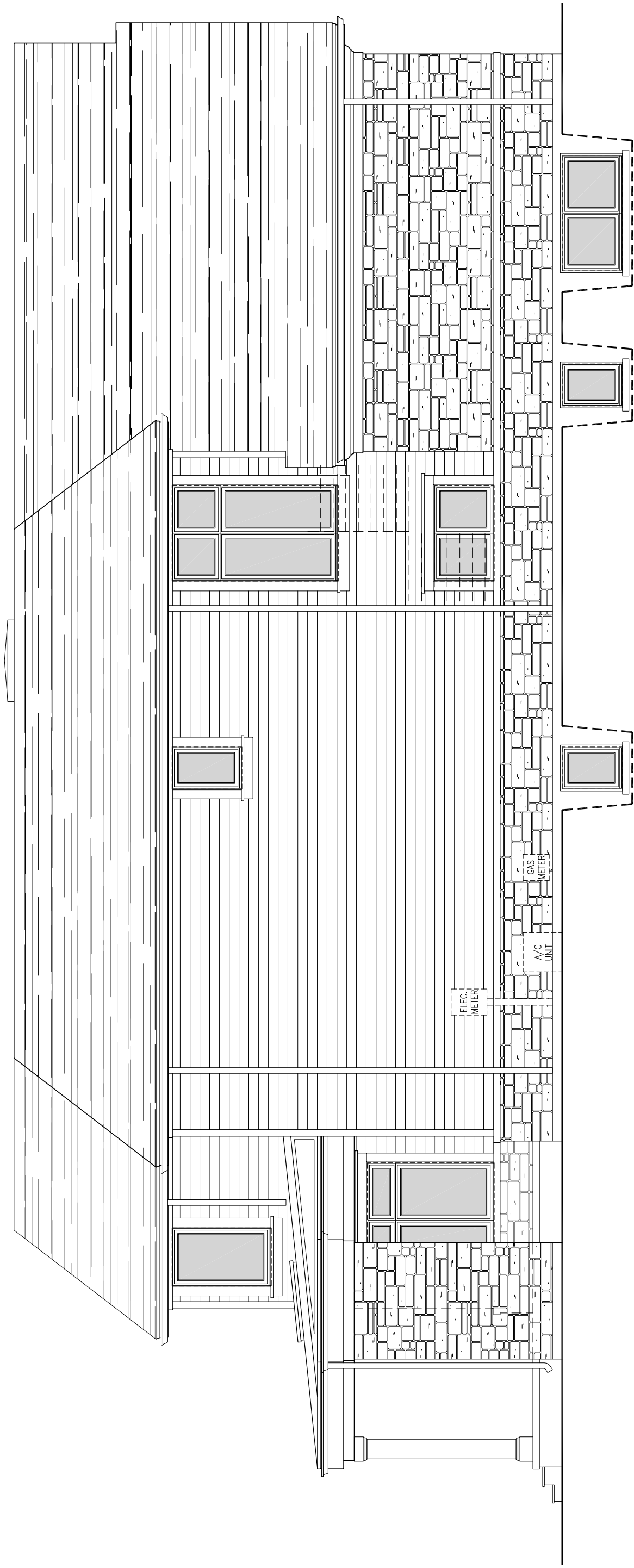
PLUTINO RESIDENCE
354 MEADOW WOOD LANE, MISSISSAUGA.

FRONT ELEVATION



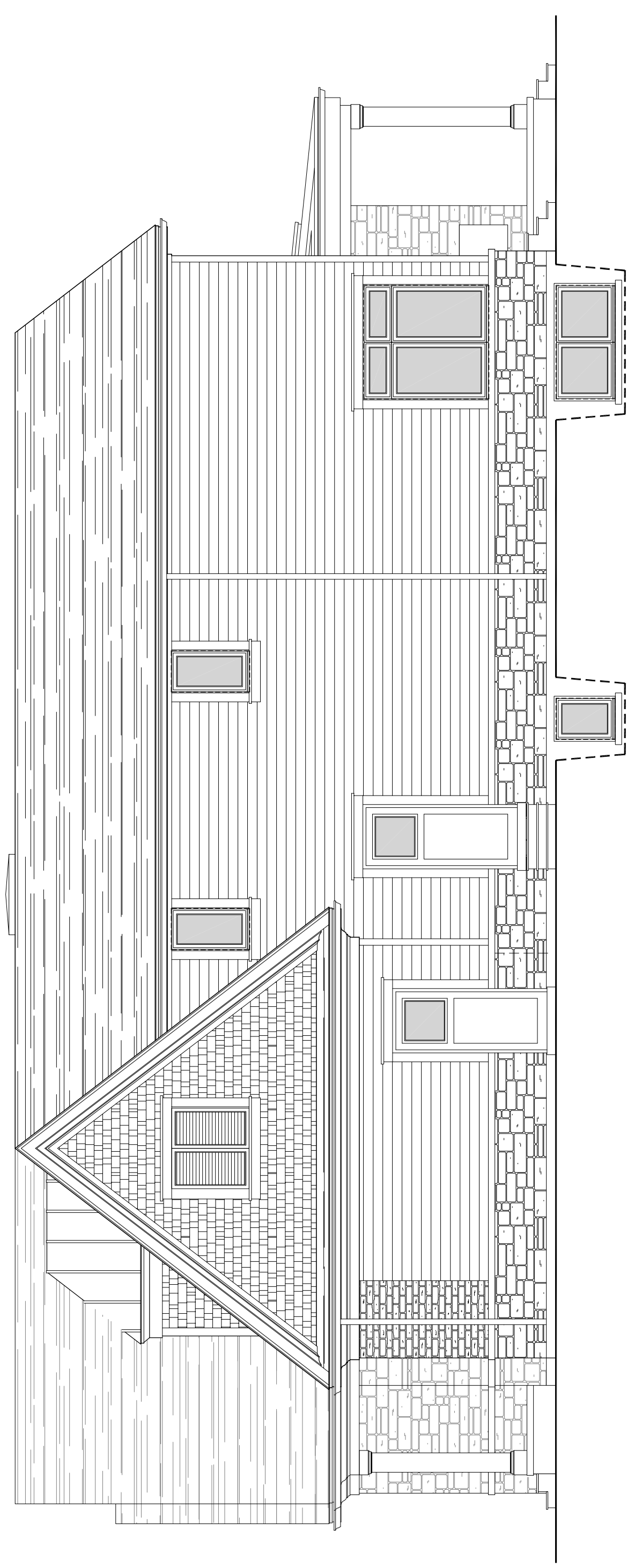
PLUTINO RESIDENCE
354 MEADOW WOOD LANE, MISSISSAUGA.

REAR ELEVATION



PLUTINO RESIDENCE
354 MEADOW WOOD LANE, MISSISSAUGA.

SOUTH ELEVATION



PLUTINO RESIDENCE
354 MEADOW WOOD LANE, MISSISSAUGA.

NORTH ELEVATION

City of Mississauga
Memorandum



Date: 8/20/2019
To: Chair and Members of Heritage Advisory Committee
From: Paul Damaso, Director, Culture Division
Meeting Date: 9/10/2019
Subject: Alteration Adjacent to a Listed Property: 411 Lakeshore Road East (Ward 1)

This memorandum and its attachment are presented for HAC's information.

Section 7.4.1.12 of the Mississauga Official Plan states that: "The proponent of any construction, development, or property alteration that might adversely affect a listed or designated cultural heritage resource or which is proposed adjacent to a cultural heritage resource will be required to submit a Heritage Impact Assessment, prepared to the satisfaction of the City and other appropriate authorities having jurisdiction." A report is attached for your reference.

Attachments

Appendix 1: Heritage Impact Assessment

Prepared by: Paul Damaso, Director, Culture Division

HERITAGE IMPACT ASSESSMENT



425 LAKESHORE ROAD EAST, PORT CREDIT
ADJACENT TO 411 LAKESHORE ROAD EAST (FORMER TEXACO GAS STATION)

FINAL REPORT

02 Aug 2019

MEGAN HOBSON

M.A. DIPL. HERITAGE CONSERVATION

Built Heritage Consultant

45 James Street, Dundas, ON L9H 2J5

(905) 975-7080

mhobson@bell.net

Table of Contents

EXECUTIVE SUMMARY

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APPENDIX A: SITE PHOTOS

ATTACHED

APPENDIX B: PROPOSED DEVELOPMENT (INVIZIJ ARCHITECTS)

ATTACHED

EXECUTIVE SUMMARY

The subject property is a vacant lot that is adjacent to 411 Lakeshore Road East, a *non-Designated* heritage property that is included on the *Municipal Heritage Register*. The heritage property contains a building that was originally built by Texaco Canada Ltd in the 1950s. The proposed development consisting of a 4-storey mixed used building with commercial space on the ground floor and 68 units above, has been evaluated and it has been determined that there will be no negative impacts on the built heritage resource located at 411 Lakeshore Road East. Therefore no mitigation is required.

1.0 BACKGROUND & METHODOLOGY

This *Heritage Impact Assessment* was undertaken by heritage consultant Megan Hobson for Invizij Architects as a requirement for obtaining planning approvals for redevelopment of a vacant parcel located at 425 Lakeshore Road East.

This report was prepared according to a scoped *Terms of Reference* because there will be no direct impacts to the heritage property since the proposed development will occur on an adjacent property. A site visit was undertaken by Megan Hobson to assess and document the current condition of the heritage property and its relationship to the proposed development. The development proposal provided by Invizij Architects was evaluated to determine if any negative impacts may occur.

2.0 LOCATION

The heritage property (411 Lakeshore Road East) and the adjacent development parcel (425 Lakeshore Road East) are located on the north side of Lakeshore Road East, east of Hurontario Street, between Shaw Drive and Enola Avenue. They are located in an area that contains a mix of large-scale commercial and residential uses fronting on Lakeshore Road East, including apartment towers to the west and a commercial plaza across the street. Both properties back onto a small-scale residential neighbourhood that contains 1-2-storey residential dwellings.

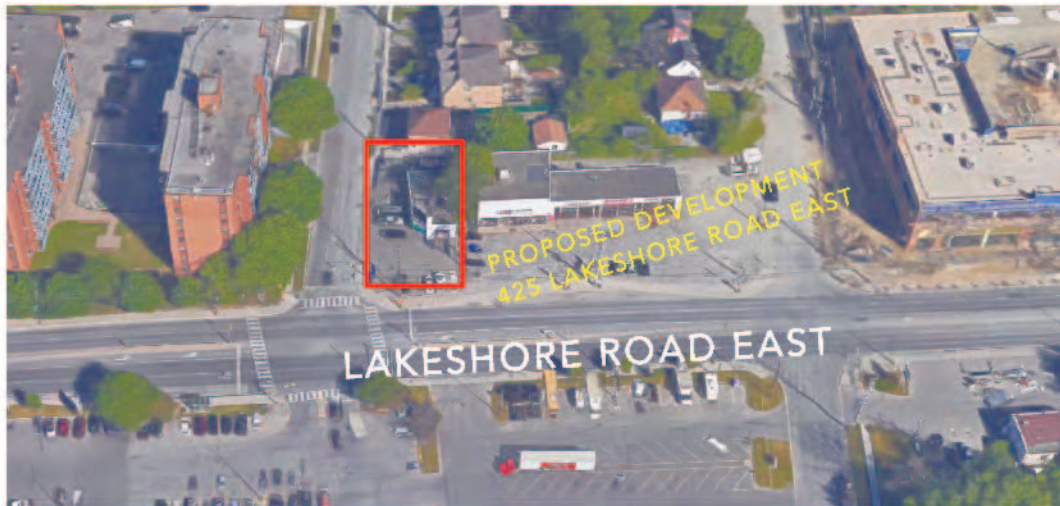


Location Map: The heritage property is located on the northeast corner of Lakeshore Road East and Shaw Drive. The proposed development will cover a large vacant lot to the east of the subject property that extends to Enola Avenue.

3.0 SITE DESCRIPTION

See Appendix A: SITE PHOTOS

The heritage property is a small rectangular lot with a short frontage on Lakeshore Road East and a longer frontage on Shaw Drive. The adjacent development parcel is a large rectangular parcel with a long frontage on Lakeshore Road East and a shorter frontage on Enola Avenue. Together these properties occupy the entire frontage along the north side of Lakeshore Road East between Shaw Drive and Enola Avenue. The development parcel formerly contained a Firestone Auto Centre. The Firestone building has been demolished and the site has been cleared and graded and is surrounded by fencing.



Aerial photo: The Heritage property at 411 Lakeshore Road East is outlined in red. The Firestone Auto Garage located at 425 Lakeshore Road East that appears in this photo has since been demolished.
[Google Maps]

The heritage property located at 411 Lakeshore Road East contains a one-storey auto garage. The garage has a rectangular plan with one garage bay facing Lakeshore Road East and ... garage bays facing Shaw Drive. There is a small office in the centre with a customer service area.



411 Lakeshore Road East (left) – an historic corner gas station on the corner of Lakeshore Road East and Shaw Drive. The subject property is adjacent to the side property line on the east side.

4.0 HERITAGE PLANNING CONTEXT

The heritage property (411 Lakeshore Road East) contains a built heritage resource that has been identified as an example of a '50s Contempo Style' gas station built by Texaco Canada. Since its original construction in the 1950s, the building has undergone some changes. The gas pumps have been removed while enameled metal panels have been installed over the original stucco finish (according to the Heritage Inventory)¹. Heritage attributes include the modern design to fit a suburban street corner and its towering signboard that originally displayed the Texaco name and logo. The original logo has been replaced by subsequent owners. It is currently operated as A.B.V. Autocare

Historically and contextually, the Texaco gas station is associated with suburbanization and car ownership after World War II that transformed Lakeshore Road East. It was originally built as a neighbourhood gas bar and auto centre. Texaco is significant to Port Credit because they operated a large oil refinery in Port Credit from c. 1955 to 1985.²

Architecturally, the building is an example of a neighbourhood gas bar and auto centre built to a standardized design by the Texaco oil company across Canada. Starting in the 1930s, Texaco, and other oil companies, developed standardized building plans in response to consumer demand for safe and convenient gas bars in suburban neighbourhoods as car ownership increased. After WWII, European Modernism influenced the design of these stations and Texaco and other companies adopted a modern style for their stations that included stylized lettering and logos so that the stations were highly visible and easily recognizable. In the 1950s, the stations were one-storey boxes with flat roofs. Stations on corner sites were designed with an angled corner with a display window and a garage bay facing the main street and several garage bays on the side street. White enameled metal cladding was commonly used with simple 'streamlined' details. The use of steel framing meant that the elevations facing the street could be cut out for multiple garage doors and large display windows. The buildings were set back from the road to allow room for a gas bar in front. Towers, sign poles and flags with the company logo were used to attract the attention of motorists on the main road.



Texaco Postcard [Hatten]



Texaco Oil Refinery in Port Credit [Hatten]

¹ If stucco cladding is confirmed beneath the metal paneling, it may suggest a date of construction in the 1930s, with metal paneling installed later in the 1950s to update the look of the building and reduce maintenance.

² In 1955, a subsidiary of Texaco took over an earlier refinery in Port Credit (Lloyd Refineries/Good Rich Oil/Regent Refinery). In 1959 the name was changed to Texaco Canada Ltd. The company stopped production in 1985.



411 Lakeshore Road East, c 1978 photo – Texaco gas bar & auto centre [Heritage Mississauga]



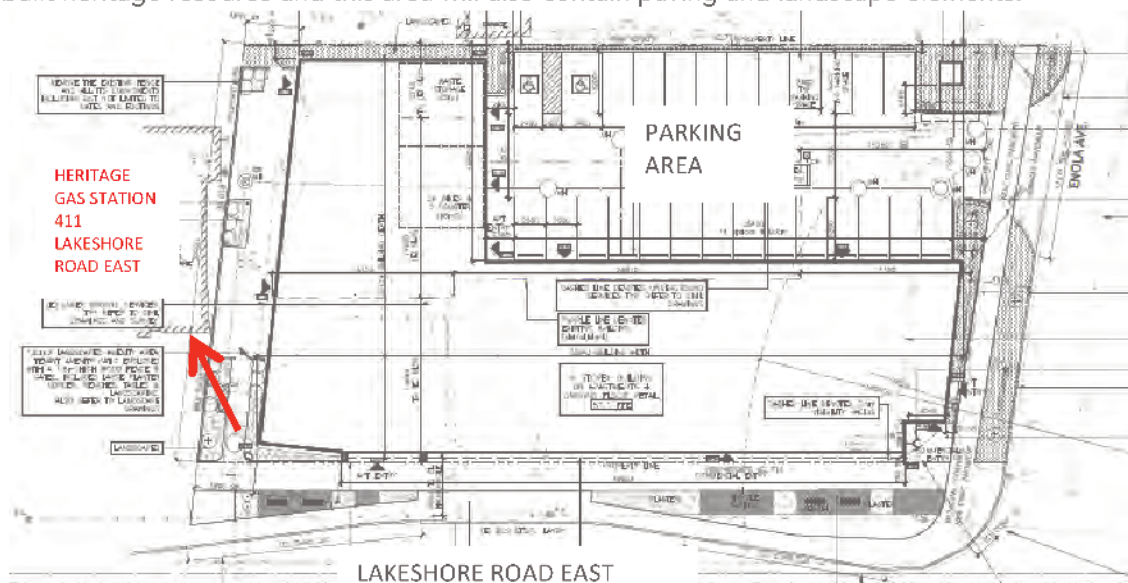
1930s Texaco Station in California (left) and a Regent Station (acquired by Texaco) 25 Lakeshore Road West in Mississauga (right).

5.0 PROPOSED DEVELOPMENT

See Appendix B: Proposed Development [Invizij Architects]

The proposed development is for construction of a 4-storey multi-residential building to contain 68 affordable housing units, including 13 barrier-free units, and commercial space on the ground floor. The use is permitted under the Official Plan and there is a public transit stop at this location. Currently, both properties have a C4 Zoning for 'Commercial Main Street' land uses. Because both properties contained existing uses when the zoning by-law was put in place, there is a special exception on both properties for use as a 'Motor vehicle repair facility' that is identified as C4-12. The former Firestone Garage located on the development parcel has been demolished. The proposed development will therefore involve a minor change and the exemption will be lifted. The proposed mixed-use development therefore fully supports the intent of the C4 zoning By-law that encourages commercial and residential uses along this portion of Lakeshore Road East.

The proposed building has an L-Shaped plan so that on-site surface parking can be located at the rear with access from Enola Avenue. The frontage along Lakeshore Road East provides public realm enhancements including a paved area with landscape elements and seating. The interior side yard will provide adequate separation between the new development and the built heritage resource and this area will also contain paving and landscape elements.



Site Plan for the proposed development at 425 Lakeshore Road E – red arrow indicates the edge of the heritage garage at 411 Lakeshore Road. Physical separation, landscape elements and fencing will buffer the new development from the heritage property. [Invizij Architects]

The proposed development has a box-like massing with modestly scaled windows to meet Passive House standards. The ground floor has additional glazing for the commercial units located at street level. The exterior will be clad with cement board panels in varied colours. The panels will be laid on the diagonal with dark grey at the base, green and blue accents in the middles and white at the top. The diagonal lines and colour transitions will visually break up the massing of the façade.



Streetscape Drawing of the proposed development showing the heights of adjacent properties – the heritage gas station is a one-storey structure that is set further back from Lakeshore Road East. There is adequate separation between the building to prevent excessive shadows or obstruction of views. [Invizij Architects]

6.0 IMPACT ON HERITAGE VALUES

The proposed development is limited to a vacant property that is adjacent to the heritage property. Therefore, there will be no direct impacts to the heritage gas station located at 411 Lakeshore Road East. Potential indirect impacts that may affect the heritage property are:

- change in land use on the adjacent property from auto-garage to mixed-use with commercial at street level and residential above
- land disturbances caused by excavation and construction on the adjacent property
- shadows cast by the new building on the adjacent property
- obstruction of views to and/or from the heritage property

Potential impacts are discussed below to provide a rationale for the consultant's opinion that the proposed development will have no negative impacts to the heritage property and may have some positive benefits to the heritage property.

(i) Change in land use

The vacant parcel that is being redeveloped by Indwell formerly contained a Firestone Auto Centre. This building has been demolished to allow redevelopment of the site. The new mixed-use building being proposed will include commercial space on the ground floor with 68 residential units above. This mix of uses is consistent with and will support existing uses along Lakeshore Road East in this area. The change from 'auto centre' to commercial/residential is not anticipated to have any negative impacts on the ongoing use of 411 Lakeshore Road East as an

auto garage. In fact, it may bring benefits, since the new businesses and residents may become customers and have their cars serviced there. If the garage closes some time in the future, the proposed change in use next door would support various types of adaptive re-use. Successful conversions of 1950s auto centres include various compatible uses such as professional offices, retail, café or restaurant. The change in use is therefore seen as having positive benefits to the ongoing and long-term conservation of the built heritage resources located at 411 Lakeshore Road East.

(ii) Land disturbances

The heritage garage building at 411 Lakeshore Road East is a small one-storey building with no basement. Land surrounding the building is paved with asphalt. Therefore, land disturbances associated with excavation and construction on the adjacent property will have no negative impacts on heritage values or attributes associated with the heritage property.

(iii) Shadows

The proposed development is only 4-stories in height and is below what is permitted in this area. Given the modest height, the interior side yard setback provides adequate distance between the new building and the built heritage resource. The east wall of the heritage garage building that faces the development is an unadorned wall with no windows. Therefore, there will be no negative impacts from shadows.

(iv) Obstruction of views

The heritage garage building is set back from Lakeshore Road East. The new development will be built closer to Lakeshore Road East but there is adequate separation along the side property line to prevent excessive obstruction of views. The spacing between the buildings will allow adequate visibility to the heritage garage from Lakeshore Road East. Furthermore, the area in front of the proposed development will contain landscape elements, seating and lighting. These elements have the potential to enhance views of the built heritage resource by pedestrians since people can gather and sit here. The heritage garage is oriented such that primary views to and from the garage are associated with the intersection of Shaw Drive and Lakeshore Road East and there will be no negative impacts to this viewshed.



The east side of the heritage garage that is adjacent to the proposed development is a blank unadorned wall with no windows.

7.0 CONCLUSIONS & RECOMMENDATIONS

The proposed development will have no negative impacts on the adjacent heritage property located at 411 Lakeshore Road East. Therefore, no mitigation is required. It has also been noted that the proposed development may provide positive benefits in a number of ways. Those benefits include an increase in potential customers to support ongoing of the building use as a garage, public realm benefits that will increase visibility of the built heritage resource from the pedestrian realm, and a change in use that will support various adaptive re-use options for the garage if that occurs in the future.

8.0 QUALIFICATIONS OF THE AUTHOR

The author of this report is a member in good standing of the Canadian Association of Heritage Professionals. Formal education includes a Master of Arts in Architectural History from the University of Toronto and a diploma in Heritage Conservation from the Willowbank School of Restoration Arts. Professional experience includes an internship at the Ontario Heritage Trust, three years as Architectural Historian and Conservation Specialist at Taylor Hazell Architects in Toronto, and 7 years in private practice in Ontario as a heritage consultant. Other relevant experience includes teaching at the University of Toronto, McMaster University the Willowbank School for Restoration Arts in Queenston. In addition to numerous heritage reports, the author has published work in academic journals such as the *Journal of the Society for the Study of Architecture in Canada* and the *Canadian Historical Review*.

8.0 SOURCES

City of Mississauga, *Official Plan*. (March 13, 2019). Available online, accessed 30 July 2019

Hatten, Gordon J. *For the Love of Port Credit*. Self published, n.d.

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Macfarlane, L.c. (kate). "Gasoline Stations". *The Canadian Encyclopedia*, 04 March 2015, *Historica Canada*. Online edition, accessed 30 July 2019.

National Park Service, U.S. Department of the Interior, *Preservation Brief 46; The Preservation and Reuse of Historic Gas Stations*, September 2008.

Ontario Ministry of Tourism & Culture, *Heritage Resources in the Land Use Planning Process, Ontario Heritage Tool Kit* (2006)

APPENDIX A: SITE PHOTOS



Figure 1: 411 LAKESHORE ROAD EAST – view from Lakeshore Road East looking west

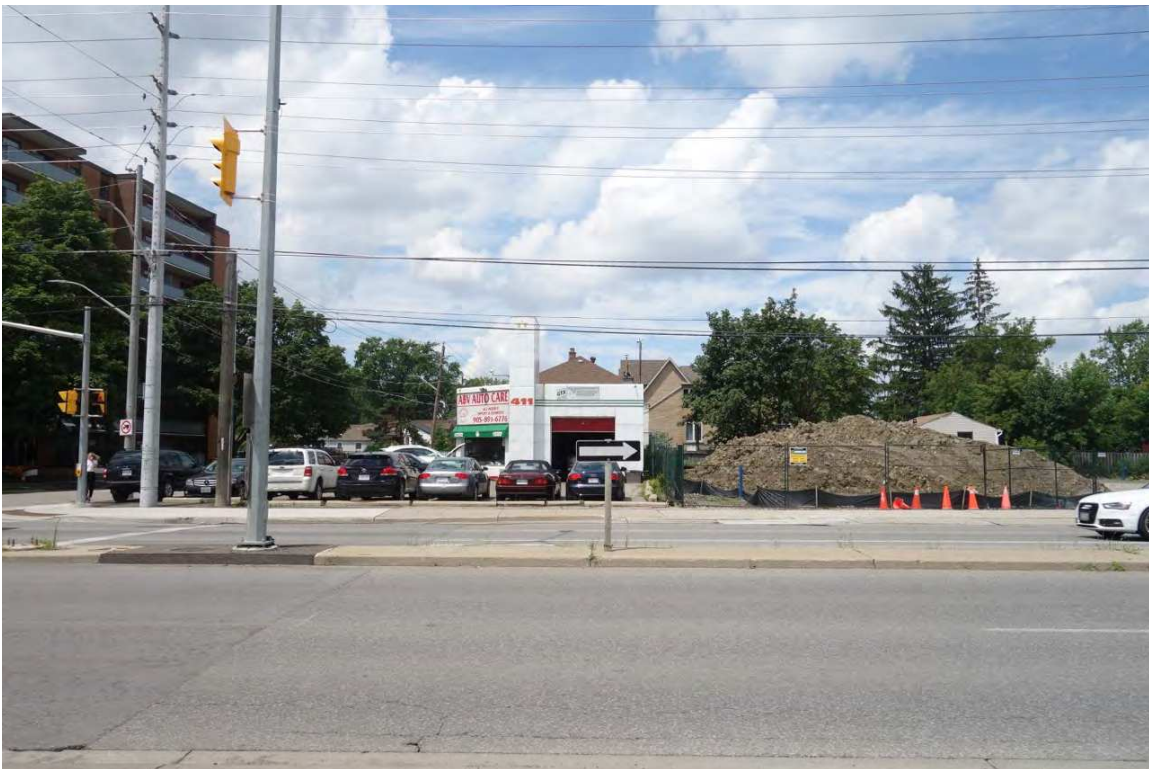


Figure 2: 411 LAKESHORE ROAD EAST – view from Lakeshore Road East



Figure 3: 411 LAKESHORE ROAD EAST – view from the intersection of Lakeshore East & Shaw Drive



Figure 4: 411 LAKESHORE ROAD EAST – angled corner oriented towards the intersection of Lakeshore Road East & Shaw Drive



Figure 5: 411 LAKESHORE ROAD EAST – elevation facing Lakeshore Road East



Figure 6: 411 LAKESHORE ROAD EAST – east side elevation adjacent to the development site



Figure 7: 411 LAKESHORE ROAD EAST – side elevation on Shaw Drive



Figure 8: 411 LAKESHORE ROAD EAST – west side elevation adjacent to low-rise residential on Shaw Drive









VOID BETWEEN STUDS TO BE FILLED
WITH MINERAL WOOL, ACOUSTIC BATT INSULATION

19 STAINED SMOOTH PLYWOOD ON 22 STEEL FURRING CHANNELS @ 600 O/C
ON 38 STEEL CARRYING CHANNELS @1200 O.C.
INSTALLED PERPENDICULAR TO EACH OTHER
C/W AIRCRAFT CABLE SUSPENSION.

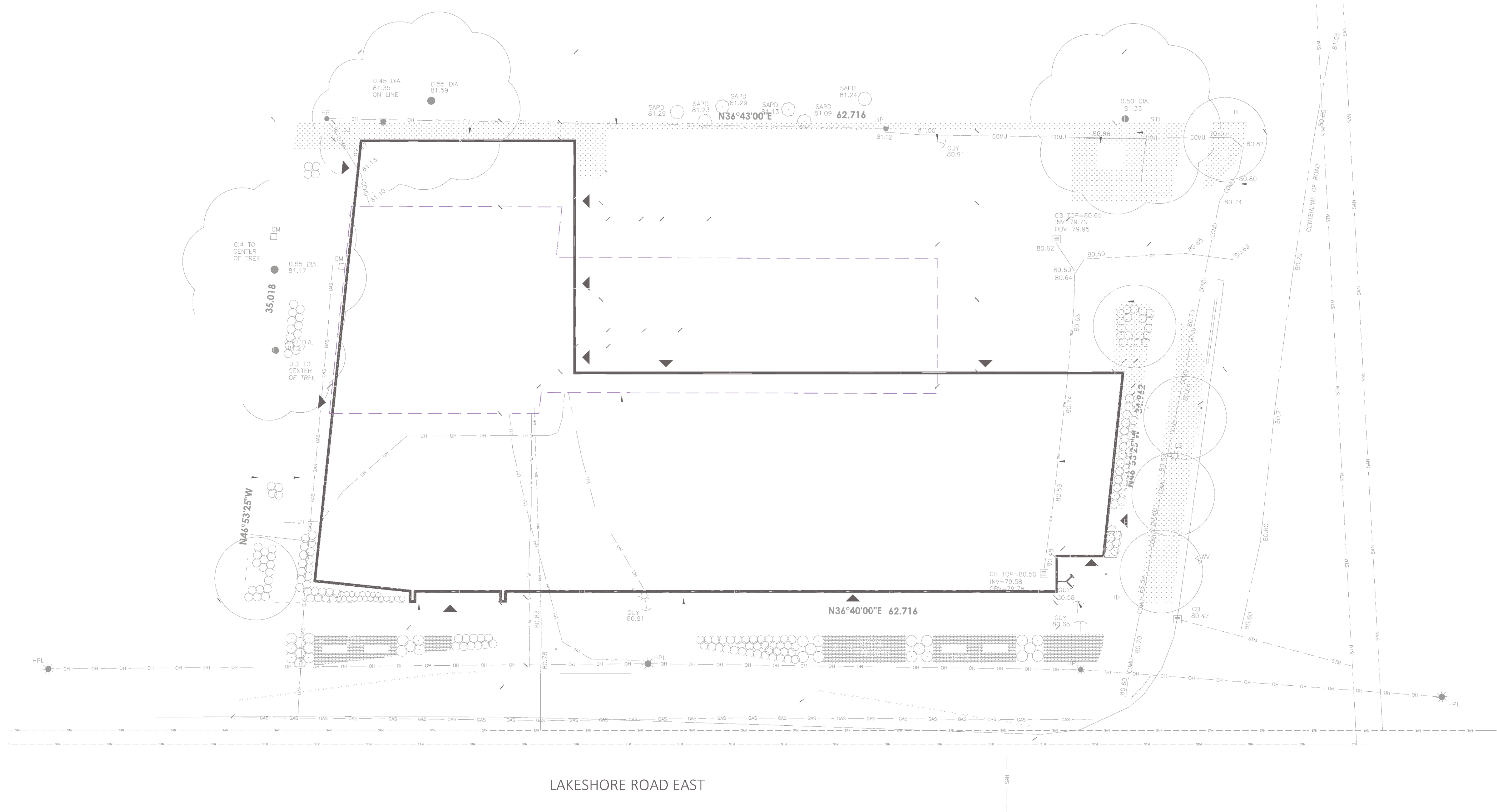
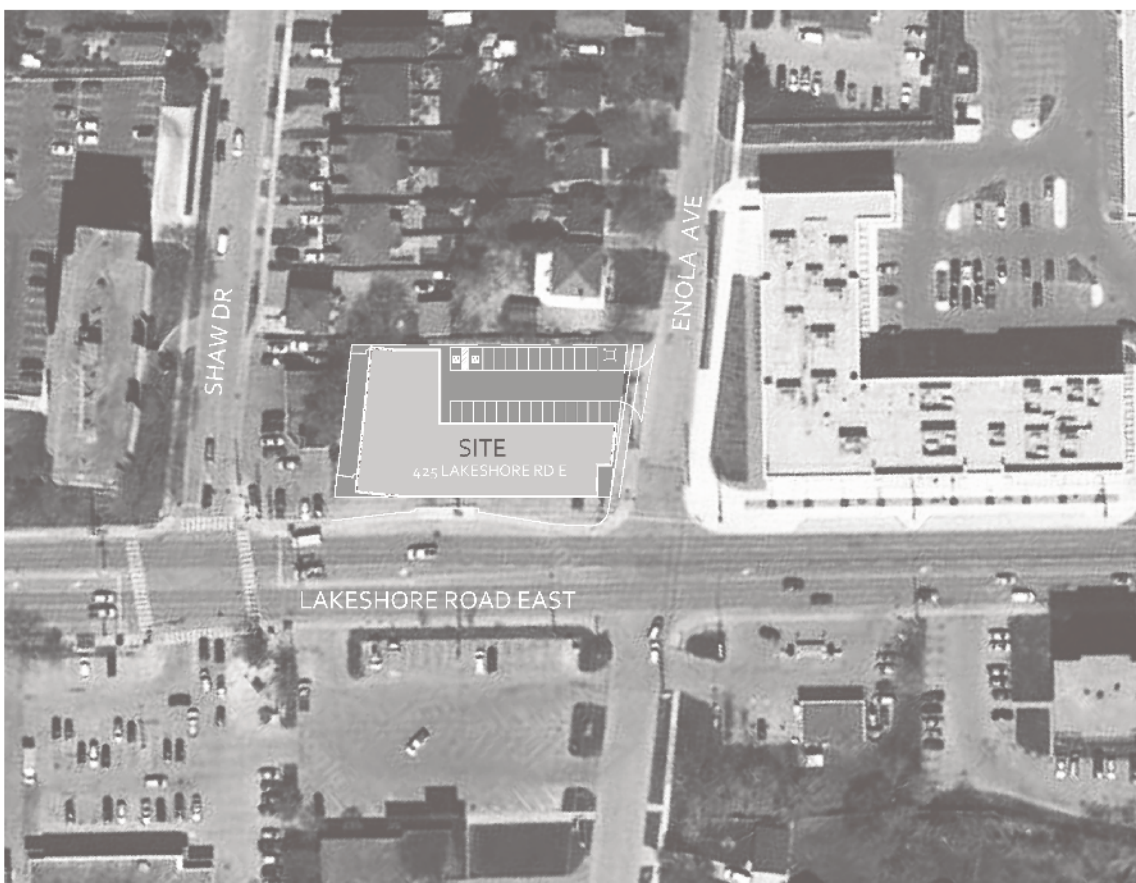
WALL TYPE W3A EXTERIOR WALL SAME AS WALL TYPE W3 EXCEPT
= 1HR MIN FRR
CONCRETE MASONRY UNITS TO CONFORM TO SB-2, 2.1 REQUIREMENTS FOR
1HR FRR.

- 75 XPS INSULATION (R20.0)
- 240 CONCRETE BLOCK (R1.5) – REFER TO STRUCT
- 75 XPS INSULATION (R20.0)



185 YOUNG STREET,
HAMILTON, ON L8S 1V9
T: 905 525 9000 | invizij.ca

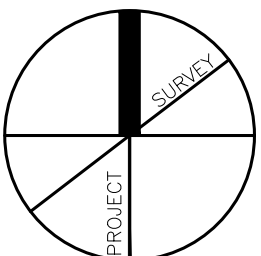
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3.00	Building Code Version:	O. Reg. 332/12 _____ Last Amendment _____ O. Reg. 191/14 _____			
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3.02	Major Occupancy Classification:	<div>Occupancy _____ Use _____</div> <div>Group E _____ Mercantile Occupancy – Ground Level _____</div> <div>Group C _____ Residential Occupancy – Level 1-4 (partial level 01) _____</div>			3.1.2.1.(1)
3.03	Superimposed Major Occupancies:	<div><input type="checkbox"/> No <input checked="" type="checkbox"/> Yes</div> <div>Description: Three stories of Group C – Residential, superimposed over one storey of Group E-Mercantile</div>			3.2.2.7.
3.04	Building Area (m²)	<div>Description: _____ Existing _____ New _____ Total _____</div> <div>Group C and Group E _____ N/A 1,205 1,205</div> <div>Total _____ N/A 1,205 1,205</div> <div>Insert additional lines as needed</div>			[A] 1.4.1.2.
3.05	Gross Area (m²)	<div>Description: _____ Existing _____ New _____ Total _____</div> <div>Ground Floor Level (586 m² Group E) _____ 0 1,180 1,180</div> <div>Level 02 _____ 0 1,205 1,205</div> <div>Level 03 _____ 0 1,205 1,205</div> <div>Level 04 _____ 0 1,205 1,205</div> <div>Total _____ 0 4,795</div> <div>Insert additional lines as needed</div>			[A] 1.4.1.2.
3.06	Mezzanine Area (m²)	<div>Description: _____ Existing _____ New _____ Total _____</div> <div>N/A _____</div> <div>Insert additional lines as needed</div>			3.2.1.1.
3.07	Building Height	<div>4 _____ Storeys above grade 14.01 17.26 (m) Above grade</div> <div>Building height measured from established Grade to T/O structure @ stair tower</div> <div>0 _____ Storeys below grade</div>			[A] 1.4.1.2. & 3.2.1.1.
3.08	High Building	<div><input checked="" type="checkbox"/> No <input type="checkbox"/> Yes</div>			3.2.6.
3.09	Number of Streets/ Firefighter access	2 _____ street(s)			3.2.2.10. & 3.2.5.
3.10	Building Classification: (Size and Construction Relative to Occupancy)	3.2.2. _____ 3.2.2.45 Group C, up to 4 Storeys, Sprinklered 3.2.2.58 Group E, up to 4 Storeys, Sprinklered			3.2.2.20. - 83.
3.11	Sprinkler System	<div><input checked="" type="checkbox"/> Required <input type="checkbox"/> Not Required</div> <div>Proposed: <input checked="" type="checkbox"/> entire building <input type="checkbox"/> selected compartments</div> <div><input type="checkbox"/> selected floor areas <input type="checkbox"/> basement</div> <div><input type="checkbox"/> In lieu of roof rating <input type="checkbox"/> none</div>			3.2.1.5. & 3.2.2.17.
3.12	Standpipe System	<div><input type="checkbox"/> Not required <input checked="" type="checkbox"/> Required</div>			3.2.9.
3.13	Fire Alarm System	<div><input checked="" type="checkbox"/> Required <input type="checkbox"/> Not required</div> <div>Proposed: <input checked="" type="checkbox"/> Single stage <input type="checkbox"/> Two stage <input type="checkbox"/> None</div>			3.2.4.
3.14	Water Service / Supply is Adequate	<div><input type="checkbox"/> No <input checked="" type="checkbox"/> Yes</div>			
3.15	Construction Type:	<div>Restriction: <input checked="" type="checkbox"/> Combustible permitted <input type="checkbox"/> Non-combustible required</div> <div>Actual: <input type="checkbox"/> Combustible <input type="checkbox"/> Non-combustible <input checked="" type="checkbox"/> Combination</div> <div>Heavy Timber Construction: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes</div>			3.2.2.20. - 83. & 3.2.1.4.
3.16	Importance Category:	<div><input type="checkbox"/> Low <input type="checkbox"/> Low human occupancy <input type="checkbox"/> Post-disaster shelter</div> <div><input checked="" type="checkbox"/> Normal</div> <div><input type="checkbox"/> High <input type="checkbox"/> Minor storage building <input type="checkbox"/> Explosive or hazardous substances</div> <div><input type="checkbox"/> Post-disaster</div>			4.1.2.1.(3) & T4.1.2.1.B
3.17	Seismic Hazard Index:	<div>(Ie Fa Sa (0.2)) = 0.28 _____</div> <div>Seismic design required for Table 4.1.8.18. Items 6 to 21: (Ie Fa Sa (0.2)) ≥ 0.35 or Post-disaster) <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes</div>			4.1.2.1.(3) 4.1.8.18.(2)
3.18	Occupant Load	<div>Floor Level/Area _____ Occupancy Type _____ Based On _____ Occupant Load (Persons) _____</div> <div>Ground _____ Group C _____ Design _____ 7 staff</div> <div>7 Total</div> <div>Ground _____ Group E _____ Design _____ 100 + 15 staff</div> <div>115 Total</div> <div>Level 02 _____ Group C _____ 3.1.17.1 _____ 46</div> <div>Level 03 _____ Group C _____ 3.1.17.1 _____ 46</div> <div>Level 04 _____ Group C _____ 3.1.17.1 _____ 44</div> <div>Insert additional lines as needed</div>			3.1.17.
3.19	Barrier-free Design:	<div><input checked="" type="checkbox"/> Yes _____</div> <div><input type="checkbox"/> No _____</div>			3.8.
3.20	Hazardous Substances:	<div><input type="checkbox"/> Yes _____</div> <div><input checked="" type="checkbox"/> No _____</div>			3.3.1.2. & 3.3.1.19.
3.21	Required Fire Resistance Ratings	<div>Horizontal Assembly _____ Rating _____ Supporting Assembly (H) _____ Noncombustible in lieu of rating? _____</div> <div>Floors over basement _____ n/a _____ n/a <input type="checkbox"/> No <input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A</div> <div>Typical Floors _____ 1HR _____ 1HR <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> N/A</div> <div>Partial Floor Level 02 Between Group C and E _____ 2HR _____ 2HR <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> N/A</div> <div>Mezzanine _____ n/a _____ n/a <input type="checkbox"/> No <input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A</div> <div>Roof _____ 0 _____ 0 <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> N/A</div>			3.2.2.20. - 83. & 3.2.1.4.
3.22	Spatial Separation	<div>Wall _____ EBF Area (m²) _____ L.D. (m) or H/L _____ L/H or H/L _____ Required FRR (H) _____ Construction Type Required _____ Cladding Type Required _____</div> <div>South Group C _____ 643 17.5 _____ n/a _____ n/a <input type="checkbox"/> Noncombustible <input type="checkbox"/> Noncombustible</div> <div>South Group E _____ 153 17.5 _____ n/a _____ n/a <input type="checkbox"/> Noncombustible <input type="checkbox"/> Noncombustible</div> <div>North Group C _____ 394 17.9 _____ n/a _____ n/a <input type="checkbox"/> Noncombustible <input type="checkbox"/> Noncombustible</div> <div>North Group E _____ 149 17.9 _____ n/a _____ n/a <input type="checkbox"/> Noncombustible <input type="checkbox"/> Noncombustible</div> <div>North Group C _____ 215 1.2 _____ n/a _____ 1 _____ <input type="checkbox"/> Noncombustible <input checked="" type="checkbox"/> Noncombustible</div> <div>West Group C _____ 200 10.9 _____ n/a _____ n/a <input type="checkbox"/> Noncombustible <input type="checkbox"/> Noncombustible</div> <div>West Group E _____ 45 10.9 _____ n/a _____ n/a <input type="checkbox"/> Noncombustible <input type="checkbox"/> Noncombustible</div> <div>West Group E _____ 230 50 _____ n/a _____ n/a <input type="checkbox"/> Noncombustible <input type="checkbox"/> Noncombustible</div> <div>East Group C _____ 446 4.5 _____ n/a _____ 3/4 <input type="checkbox"/> Noncombustible <input checked="" type="checkbox"/> Noncombustible</div> <div>Insert additional lines as needed</div>			3.2.3.
3.23	Plumbing Fixture Requirements	<div>Ratio: _____ Male:Female = 50:50 Except as noted otherwise</div> <div>Floor Level/Area _____ Occupant Load _____ OBC Reference _____ Fixtures Required _____ Fixtures Provided _____</div> <div>Ground Group C (D) _____ 7 Staff 3.7.4.7 1M/1F 1 wc + Universal W/C</div> <div>office staff _____ - - - -</div> <div>Ground Group C _____ - - - -</div> <div>Amenity _____ - - - -</div> <div>Ground Group E _____ 100 3.7.4.8 (2) 1M/1F 1M/1F + Universal W/C</div> <div>- _____ 15 staff 3.7.4.8 (2) - -</div> <div>- _____ - - - -</div> <div>Level 02 Group C _____ 46 3.7.4.5 1/unit=23 23</div> <div>Level 03 Group C _____ 46 3.7.4.5 1/unit=23 23</div> <div>Level 04 Group C _____ 44 3.7.4.5 1/unit=22 22</div> <div>Level 04 Group C amenity _____ - - - +Universal W/C</div> <div>Insert additional lines as needed</div>			3.7.4.
3.24	Energy Efficiency:	<div>Compliance Path: _____ SB 10 - Energy Modeling</div> <div>Climatic Zone: _____ Zone 5</div>			





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REV.	DESCRIPTION	DATE
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B	ISSUED FOR SPA	2019/05/02
A	BUDGET COSTING	19/02/14



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INDWELL LAKESHORE RD. REDEVELOPMENT

PROJECT ADDRESS:
425 LAKESHORE EAST,
MISSISSAUGA,
ONTARIO

PROJECT NO.:
17-041

DRAWING TITLE:
LEVEL 01
FLOOR PLAN

PLOT DATE: 30-Jul-19

DRWN.: MS,MK

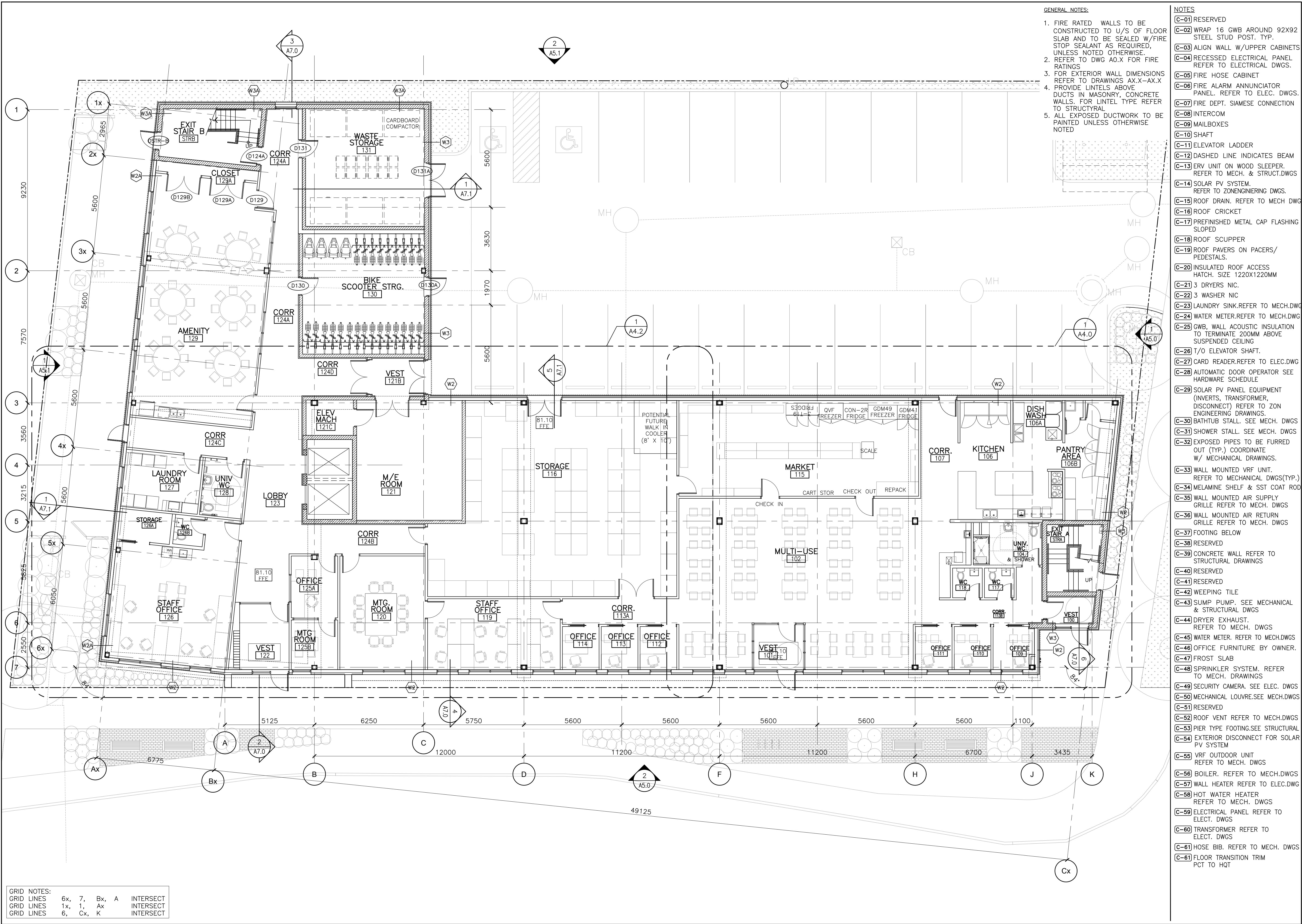
CHKD.: EC

DATE: NOVEMBER 2018

SCALE: 1:100

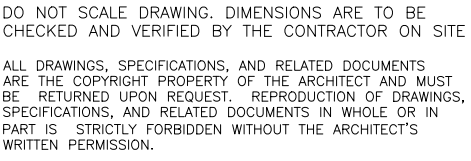
DRAWING NO.:

A2.0





C	ISSUED FOR MINOR VARIANCE	2019/06/17
B	ISSUED FOR SPA	2019/05/02
A	BUDGET COSTING	19/02/14
REV.	DESCRIPTION	DATE

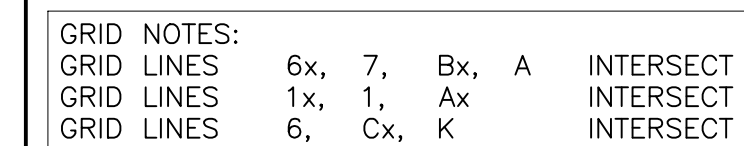


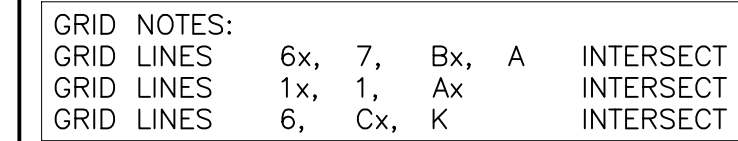
PROJECT ADDRESS:
425 LAKESHORE EAST,
MISSISSAUGA,
ONTARIO

DRAWING TITLE:

LEVEL 02
FLOOR PLAN

DRAWING NO.:





1. FIRE RATED WALLS TO BE CONSTRUCTED TO U/S OF FLOOR SLAB AND TO BE SEALED W/FIRE STOP SEALANT AS REQUIRED, UNLESS NOTED OTHERWISE.
2. REFER TO DWG AO.X FOR FIRE RATINGS
3. FOR EXTERIOR WALL DIMENSIONS REFER TO DRAWINGS AX.X-AX.X
4. PROVIDE LINTELS ABOVE DUCTS IN MASONRY, CONCRETE WALLS, FOR LINTEL TYPE REFER TO STRUCTURAL
5. ALL EXPOSED DUCTWORK TO BE PAINTED UNLESS OTHERWISE NOTED

- [C-01] RESERVED
- [C-02] WRAP 16 GWB AROUND 92X92 STEEL STUD POST. TYP.
- [C-03] ALIGN WALL W/UPPER CABINETS
- [C-04] RECESSED ELECTRICAL PANEL REFER TO ELECTRICAL DWGS.
- [C-05] FIRE HOSE CABINET
- [C-06] FIRE ALARM ANNUNCIATOR PANEL. REFER TO ELEC. DWGS.
- [C-07] FIRE DEPT. SIAMESE CONNECTION
- [C-08] INTERCOM
- [C-09] MAILBOXES
- [C-10] SHAFT
- [C-11] ELEVATOR LADDER
- [C-12] DASHED LINE INDICATES BEAM.
- [C-13] ERV UNIT ON WOOD SLEEPER. REFER TO MECH. & STRUCT. DWGS
- [C-14] SOLAR PV SYSTEM. REFER TO ZONENGINEERING DWGS.
- [C-15] ROOF DRAIN. REFER TO MECH DWG
- [C-16] ROOF CRICKET
- [C-17] PREFINISHED METAL CAP FLASHING SLOPED
- [C-18] ROOF SCUPPER
- [C-19] ROOF PAVERS ON PACERS/ PEDESTALS.
- [C-20] INSULATED ROOF ACCESS HATCH. SIZE 1220X1220MM
- [C-21] 3 DRYERS NIC.
- [C-22] 3 WASHER NIC
- [C-23] LAUNDRY SINK.REFER TO MECH.DWG
- [C-24] WATER METER.REFER TO MECH.DWG
- [C-25] GWB, WALL ACOUSTIC INSULATION TO TERMINATE 200MM ABOVE SUSPENDED CEILING
- [C-26] T/O ELEVATOR SHAFT.
- [C-27] CARD READER.REFER TO ELEC.DWG
- [C-28] AUTOMATIC DOOR OPERATOR SEE HARDWARE SCHEDULE
- [C-29] SOLAR PV PANEL EQUIPMENT (INVERTS, TRANSFORMER, DISCONNECT) REFER TO ZON ENGINEERING DRAWINGS.
- [C-30] BATHTUB STALL. SEE MECH. DWGS
- [C-31] SHOWER STALL. SEE MECH. DWGS
- [C-32] EXPOSED PIPES TO BE FURRED OUT (TYP.) COORDINATE W/ MECHANICAL DRAWINGS.
- [C-33] WALL MOUNTED VRF UNIT. REFER TO MECHANICAL DWGS.(TYP.)
- [C-34] MELAMINE SHELF & SST COAT ROD
- [C-35] WALL MOUNTED AIR SUPPLY GRILLE REFER TO MECH. DWGS
- [C-36] WALL MOUNTED AIR RETURN GRILLE REFER TO MECH. DWGS
- [C-37] FOOTING BELOW
- [C-38] RESERVED
- [C-39] CONCRETE WALL REFER TO STRUCTURAL DRAWINGS
- [C-40] RESERVED
- [C-41] RESERVED
- [C-42] WEEPING TILE
- [C-43] SUMP PUMP. SEE MECHANICAL & STRUCTURAL DWGS
- [C-44] DRYER EXHAUST. REFER TO MECH. DWGS
- [C-45] WATER METER. REFER TO MECH.DWGS
- [C-46] OFFICE FURNITURE BY OWNER.
- [C-47] FROST SLAB
- [C-48] SPRINKLER SYSTEM. REFER TO MECH. DRAWINGS
- [C-49] SECURITY CAMERA. SEE ELEC. DWGS
- [C-50] MECHANICAL LOUVRE.SEE MECH.DWGS
- [C-51] RESERVED
- [C-52] ROOF VENT REFER TO MECH.DWGS
- [C-53] PIER TYPE FOOTING.SEE STRUCTURAL
- [C-54] EXTERIOR DISCONNECT FOR SOLAR PV SYSTEM
- [C-55] RV OUTDOOR UNIT REFER TO MECH. DWGS
- [C-56] BOILER. REFER TO MECH.DWGS
- [C-57] WALL HEATER REFER TO ELEC.DWG
- [C-58] HOT WATER HEATER REFER TO MECH. DWGS
- [C-59] ELECTRICAL PANEL REFER TO ELEC. DWGS
- [C-60] TRANSFORMER REFER TO ELEC. DWGS
- [C-61] HOSE BIB. REFER TO MECH. DWGS
- [C-61] FLOOR TRANSITION TRIM PCT TO HOT

PROJECT NAME:
INDWELL LAKESHORE
RD. REDEVELOPMENT

PROJECT ADDRESS:
425 LAKESHORE EAST,
MISSISSAUGA,
ONTARIO

PROJECT NO.:
17-041

DRAWING TITLE:

LEVEL 03
FLOOR PLAN

PLOT DATE: 30-Jul-19

DRWN.: MS MK

CHKD.:	EC
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DATE: NOVEMBER 2018

SCALE: 1:100

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DRAWING TITLE:

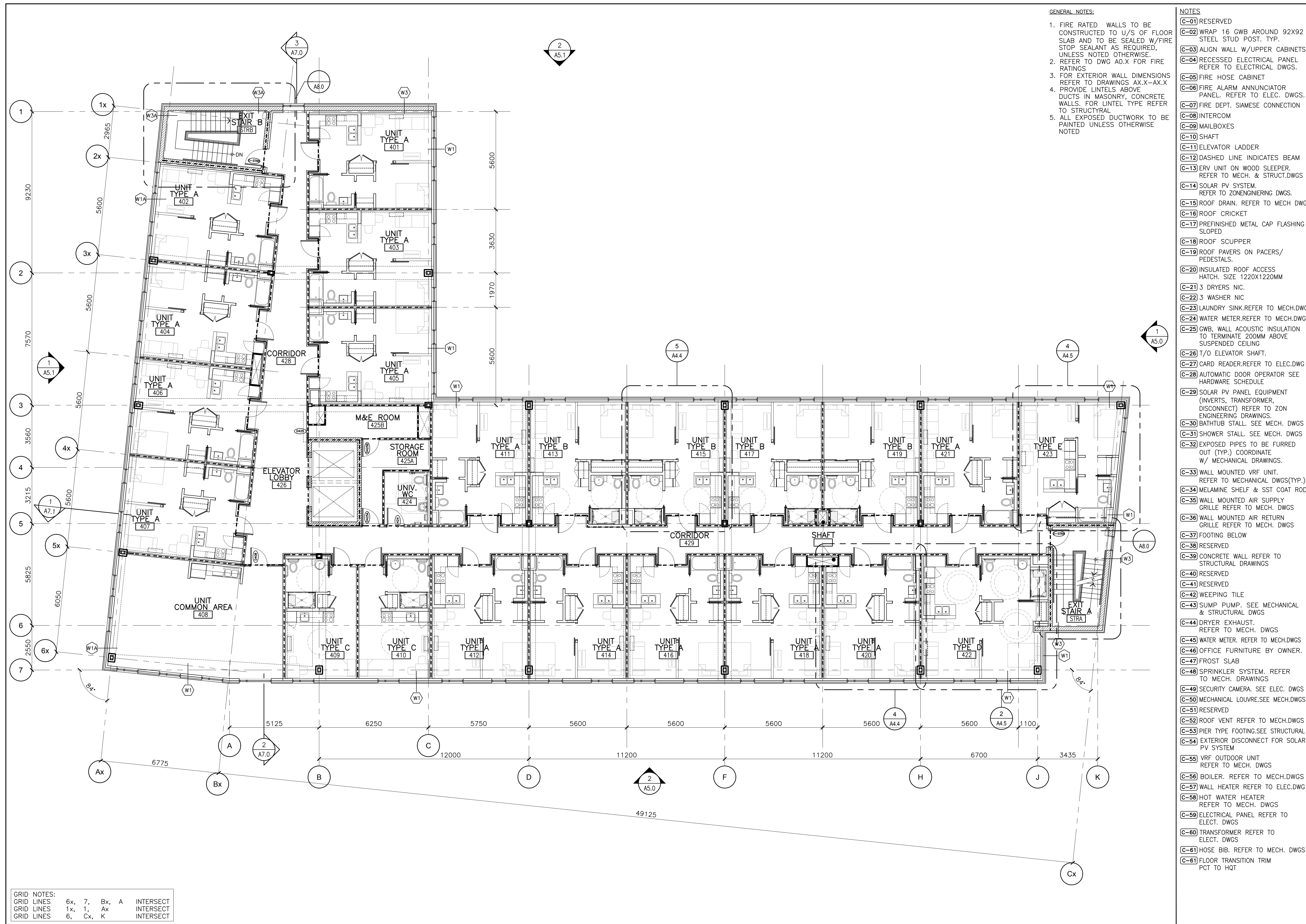
LEVEL 04
FLOOR PLAN

DRWN.:	MS MK
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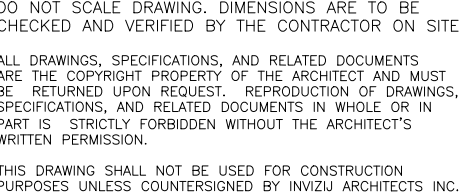
DATE: NOVEMBER 2018

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A2.3



B	ISSUED FOR MINOR VARIANCE	2019/06/17
A	ISSUED FOR SPA	2019/05/02
REV.	DESCRIPTION	DATE



PROJECT ADDRESS:
425 LAKESHORE EAST,
MISSISSAUGA,
ONTARIO

DRAWING TITLE:

ROOF PLAN

DRAWING NO.:

NOTES

- C-01 RESERVED
- C-02 WRAP 16 GWB AROUND 92X92 STEEL STUD POST. TYP.
- C-03 ALIGN WALL W/UPPER CABINETS
- C-04 RECESSED ELECTRICAL PANEL REFER TO ELECTRICAL DWGS.
- C-05 FIRE HOSE CABINET
- C-06 FIRE ALARM ANNUNCIATOR PANEL. REFER TO ELEC. DWGS.
- C-07 FIRE DEPT. SIAMESE CONNECTION
- C-08 INTERCOM
- C-09 MAILBOXES
- C-10 SHAFT
- C-11 ELEVATOR LADDER
- C-12 DASHED LINE INDICATES BEAM
- C-13 ERV UNIT ON WOOD SLEEPER. REFER TO MECH. & STRUCT.DWGS
- C-14 SOLAR PV SYSTEM. REFER TO ZONENGINEERING DWGS.
- C-15 ROOF DRAIN. REFER TO MECH DWG
- C-16 ROOF CRICKET
- C-17 PREFINISHED METAL CAP FLASHING SLOPED
- C-18 ROOF SCUPPER
- C-19 ROOF PAVERS ON PACERS/ PEDESTALS.
- C-20 INSULATED ROOF ACCESS HATCH. SIZE 1220X1220MM
- C-21 3 DRYERS NIC.
- C-22 3 WASHER NIC
- C-23 LAUNDRY SINK.REFER TO MECH.DWG
- C-24 WATER METER.REFER TO MECH.DWG
- C-25 GWB, WALL ACOUSTIC INSULATION TO TERMINATE 200MM ABOVE SUSPENDED CEILING
- C-26 T/O ELEVATOR SHAFT.
- C-27 CAR READER.REFER TO ELEC.DWG
- C-28 AUTOMATIC DOOR OPERATOR SEE HARDWARE SCHEDULE
- C-29 SOLAR PV PANEL EQUIPMENT (INVERTS, TRANSFORMER, DISCONNECT) REFER TO ZON ENGINEERING DRAWINGS.
- C-30 BATHTUB STALL. SEE MECH. DWGS
- C-31 SHOWER STALL. SEE MECH. DWGS
- C-32 EXPOSED PIPES TO BE FURRED OUT (TYP.) COORDINATE W/ MECHANICAL DRAWINGS.
- C-33 WALL MOUNTED VRF UNIT. REFER TO MECHANICAL DWGS(TYP.)
- C-34 MELAMINE SHELF & SST COAT ROD
- C-35 WALL MOUNTED AIR SUPPLY GRILLE REFER TO MECH. DWGS
- C-36 WALL MOUNTED AIR RETURN GRILLE REFER TO MECH. DWGS
- C-37 FOOTING BELOW
- C-38 RESERVED
- C-39 CONCRETE WALL REFER TO STRUCTURAL DRAWINGS
- C-40 RESERVED
- C-41 RESERVED
- C-42 WEEPING TILE
- C-43 SUMP PUMP. SEE MECHANICAL & STRUCTURAL DWGS
- C-44 DRYER EXHAUST. REFER TO MECH. DWGS
- C-45 WATER METER. REFER TO MECH.DWGS
- C-46 OFFICE FURNITURE BY OWNER.
- C-47 FROST SLAB
- C-48 SPRINKLER SYSTEM. REFER TO MECH. DRAWINGS
- C-49 SECURITY CAMERA. SEE ELEC. DWGS
- C-50 MECHANICAL LOUVRE.SEE MECH.DWGS
- C-51 RESERVED
- C-52 ROOF VENT REFER TO MECH.DWGS
- C-53 PIER TYPE FOOTING.SEE STRUCTURAL
- C-54 EXTERIOR DISCONNECT FOR SOLAR PV SYSTEM
- C-55 VRF OUTDOOR UNIT REFER TO MECH. DWGS
- C-56 BOILER. REFER TO MECH.DWGS
- C-57 WALL HEATER REFER TO ELEC.DWG
- C-58 HOT WATER HEATER REFER TO MECH. DWGS
- C-59 ELECTRICAL PANEL REFER TO ELEC. DWGS
- C-60 TRANSFORMER REFER TO ELEC. DWGS
- C-61 HOSE BIB. REFER TO MECH. DWGS
- C-61 FLOOR TRANSITION TRIM PCT TO HOT

ROOF PLAN

SCALE: 1:100

1
A2.4

GRID NOTES:				
GRID LINES	6x,	7,	Bx,	A INTERSECT
GRID LINES	1x,	1,	Ax	INTERSECT
GRID LINES	6,	Cx,	K	INTERSECT



--

PROJECT NAME:
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PROJECT ADDRESS:
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ONTARIO

PROJECT NO.:
17-041

DRAWING TITLE:

EXTERIOR
ELEVATIONS

PLOT DATE: 30-Jul-19

DRWN.: MS.MK

CHKD.:	EC
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DATE: NOVEMBER 2018

SCALE: 1:100

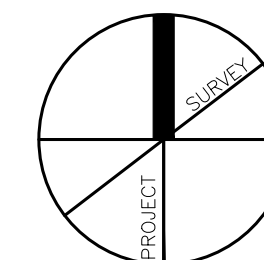
DRAWING NO.:

A5.0



- NOTES**
- EL-01** ALUMINIUM COMPOSITE PANELS, VARIOUS COLOURS, TYP.
 - EL-02** FIBRE CEMENT PANELS
 - EL-03** CONCRETE FACED INSULATION
 - EL-04** OPERABLE/FIXED PASSIVE HOUSE TRIPLE GLAZED WINDOW. TYP.
 - EL-05** FIXED PASSIVE HOUSE TRIPLE GLAZED WINDOW. TYP.
 - EL-06** PREFINISHED THERMALLY BROKEN ALUMINIUM WINDOW C/W TRIPLE GLAZED INSULATING UNIT.
 - EL-07** PREFINISHED THERMALLY BROKEN ALUMINIUM DOOR & FRAME. C/W DOUBLE GLAZED INSULATING UNIT
 - EL-08** PREFINISHED ALUMINIUM CAP FLASHING
 - EL-09** ROOFTOP SOLAR PANELS. TYP.
 - EL-10** MECHANICAL RTU UNIT
 - EL-11** INSULATED METAL DOOR AND THERMALLY BROKEN FRAME COMPLETE WITH TRIPLE GLAZED IGU TRANSOM. COLOUR TO MATCH CLADDING.
 - EL-12** CANOPY CONSTRUCTED OF FIBRE CEMENT PANELS
 - EL-13** TENANT SIGNAGE
 - EL-14** PREFINISHED ALUMINIUM SCUPPER C/W DOWN SPOUT
 - EL-15** FIRE DEPARTMENT CONNECTION

F	RE-ISSUED FOR MINOR VARIANCE	2019/06/18
D	ISSUED FOR MINOR VARIANCE	2019/06/17
C	RE-ISSUED FOR SPA	2019/05/06
B	ISSUED FOR SPA	2019/04/11
A	FOR INFORMATION	18/05/24
REV	DESCRIPTION	DATE



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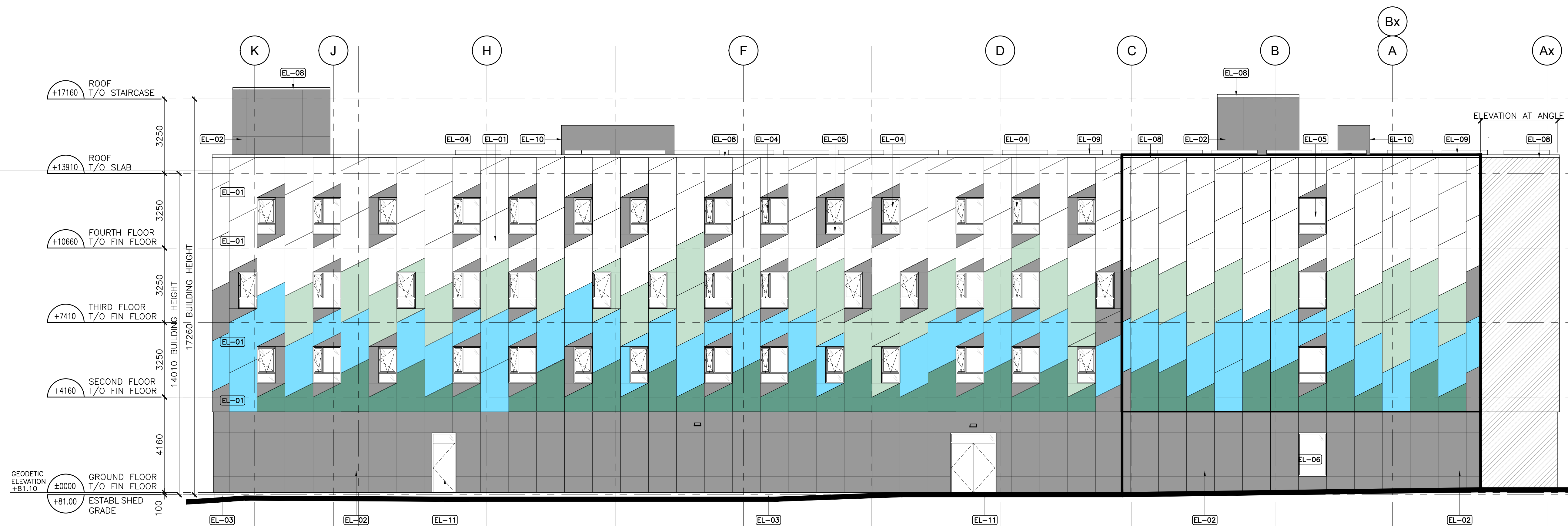
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MISSISSAUGA,
ONTARIO

DRAWING TITLE:

EXTERIOR
ELEVATIONS

DRAWING NO.:

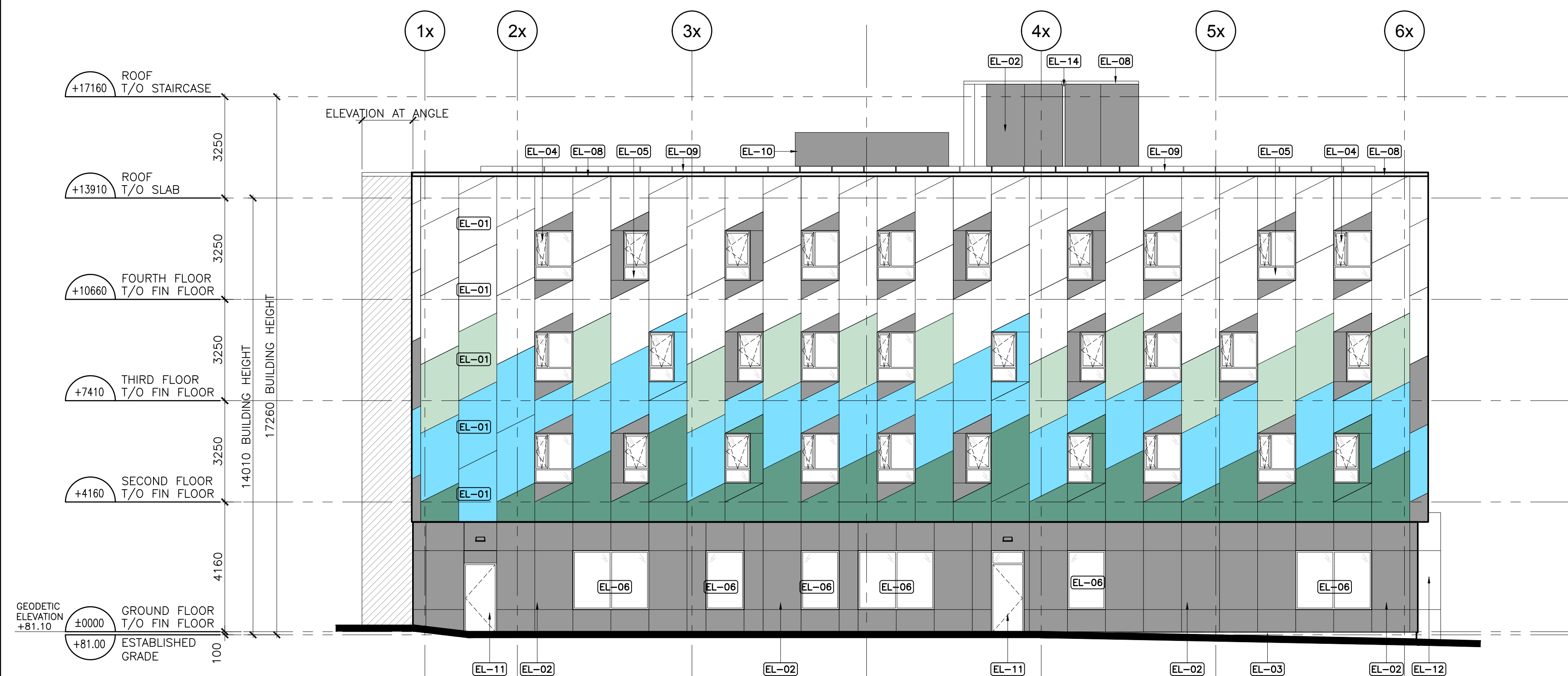
A5.1



NORTH-WEST BUILDING ELEVATION

SCALE = 1:100

2
A5.1



SOUTH-WEST BUILDING ELEVATION

SCALE = 1:100

1
A5.1

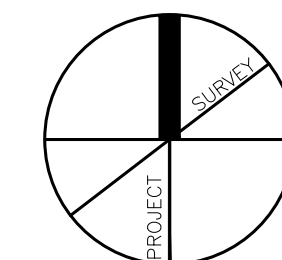
- EL-15** FIRE DEPARTMENT CONNECTION



arv

HAMILTON, ON L8N 1

2019-20

[illegible]

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ONTARIO

PROJECT NO.:
17-041

DRAWING TITLE:

BUILDING
SECTIONS

PLOT DATE: 30-Jul-19

DRWN.:	MK
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CHKD.:	EC
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DATE:

SCALE: AS NOTED

DRAWING NO.:

A6.0



SCALE: 1:100

1

A6.C



SCALE: 1:10C

2

A6.C

City of Mississauga
Memorandum



Date: 8/20/2019
To: Chair and Members of Heritage Advisory Committee
From: Paul Damaso, Director, Culture Division
Meeting Date: 9/10/2019
Subject: Alteration to a Listed Property: 1815 Outer Circle Road (Ward 8)

This memorandum and its attachment are presented for HAC's information.

Section 7.4.1.12 of the Mississauga Official Plan states that: "The proponent of any construction, development, or property alteration that might adversely affect a listed or designated cultural heritage resource or which is proposed adjacent to a cultural heritage resource will be required to submit a Heritage Impact Assessment, prepared to the satisfaction of the City and other appropriate authorities having jurisdiction." A report is attached for your reference.

Attachments

Appendix 1: Heritage Impact Assessment

Paul Damaso, Director, Culture Division

SCIENCE BUILDING UNIVERSITY OF TORONTO MISSISSAUGA

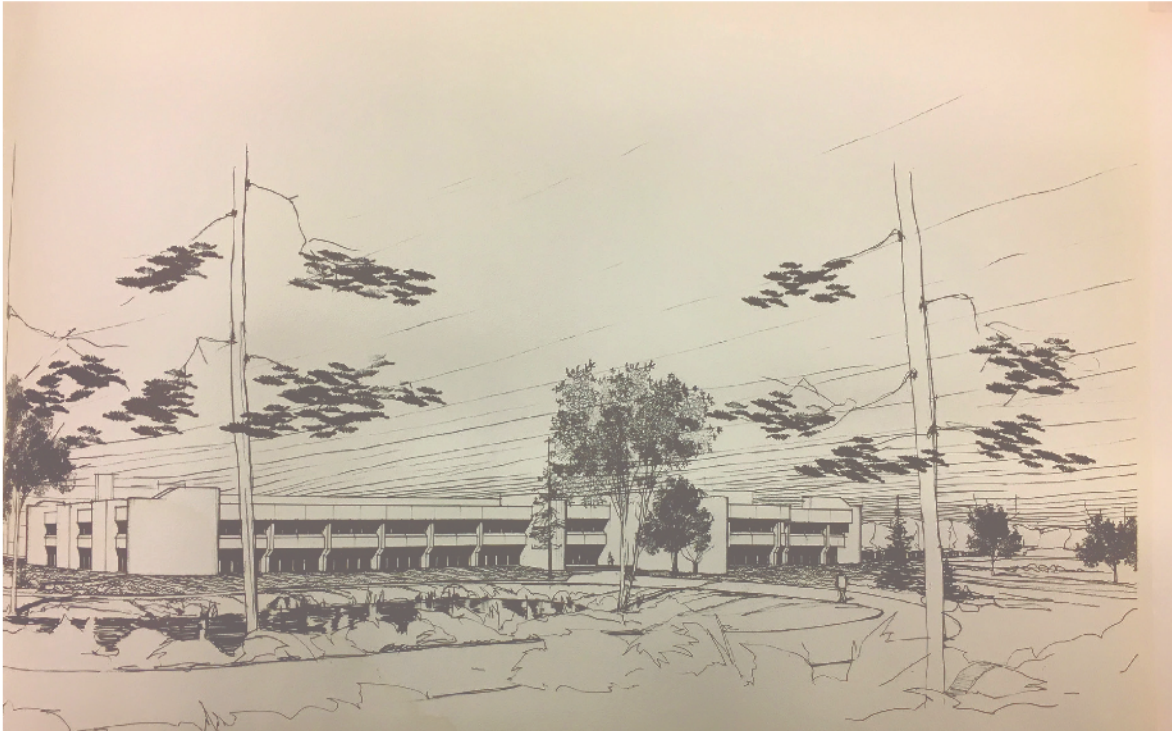
Outer Circle Road, Mississauga, Ontario

HERITAGE IMPACT ASSESSMENT & CULTURAL LANDSCAPE HERITAGE IMPACT ASSESSMENT

Issued: December 18, 2018

Revised: May 24, 2019





Sketch of William G. Davis Building c. 1969 (A. D. Margison).

REVISED: May 24, 2019

Prepared for:
University of Toronto Mississauga
3359 Mississauga Road
Mississauga, ON L5L 1C6

Prepared by:
ERA Architects Inc.
600-625 Church Street
Toronto, ON M4Y 2G1
(416) 963-4497

Project: # 18-092-01
Prepared by:
PE/EC/SC/EC

CONTENTS

EXECUTIVE SUMMARY	V
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EVOLUTION OF THE CAMPUS AND ANTICIPATED DEVELOPMENT ON THE SITE



EXECUTIVE SUMMARY

Background

This combined Heritage Impact Assessment (HIA) and Cultural Landscape Heritage Impact Assessment (CLHIA), prepared for the University of Toronto, assesses the impact of the proposed new science building on the University of Toronto at Mississauga (UTM) campus (“the Site”).

Cultural Heritage Value

The UTM campus balances an architecturally significant portfolio of buildings in a forested natural setting. The campus is recognized as a unique cultural landscape in Mississauga and is included on the City of Mississauga’s Cultural Landscape Inventory (L-INS-2).

The campus contains individually listed and designated cultural heritage resources. The Lislehurst and Alumni House buildings are designated under Part IV of the Ontario Heritage Act. The William G. Davis Building (“Davis Building”) and Student Centre are listed on the City’s Heritage Register. The Davis Building is located adjacent to the Site.

Proposed Development

The proposed development anticipates the construction of a 3-tiered 5-storey building built into the slope of the land. The building is to serve as a new academic science building with a connection to the Davis Building. The proposed building is accompanied by a landscape plan that consists of new tree plantings, rainwater collection systems, and sidewalks.

Impact on Heritage Resources

The proposed development will be built in a naturalized area, which will have a minimal impact on the campus’ cultural heritage landscape value. The proposed development will alter the adjacent 1970s Brutalist-style Davis Building with the addition of a new connection.

Mitigation

The impact on the adjacent heritage resource will be mitigated by:

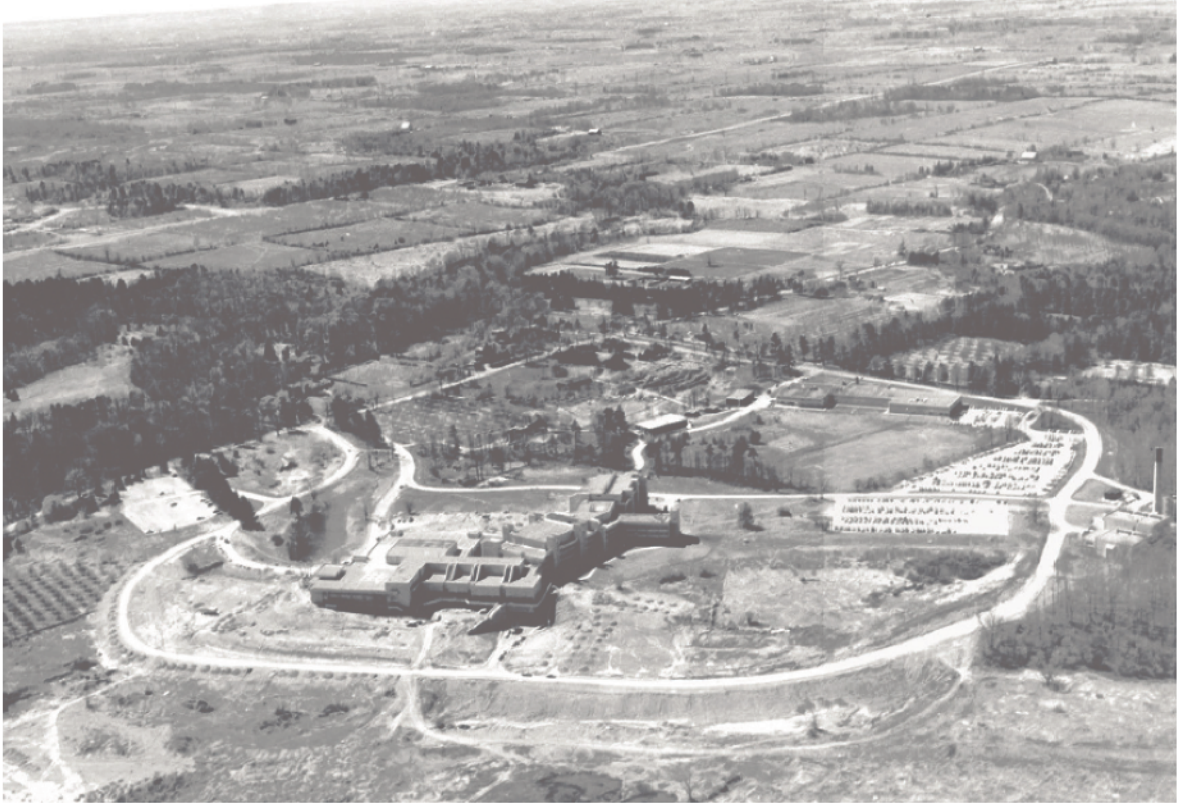
- Sympathetic built form, setbacks and materiality, including the new connection to the Davis Building; and
- Complementary design that is contemporary and landscape-focused.

In addition, the proposed development respects the scale and architectural quality of surrounding built fabric on the UTM campus.

Conclusion

The proposed development is in keeping with the former and current Campus Master Plan, including the intention of a northern addition to the Davis Building.

The proposed development will enhance the campus, through its high quality architecture and landscape design. It will have a minimal negative impact on the UTM cultural heritage landscape value and adjacent listed Davis Building. Overall, the proposed building and landscape strategy fits in with and complements the existing and evolving character of the campus.



North-west view of UTM campus c. 1972. Prominent buildings include Frindale College South Building (centre) and Central Utilities Plant (right) (UTM Master Plan).

1 INTRODUCTION

1.1 Scope of the Report

ERA Architects has prepared this combined Heritage Impact Assessment (HIA) and Cultural Landscape Heritage Impact Assessment (CLHIA) to assess the impact of the proposed development on the heritage resources at the University of Toronto Mississauga campus.

According to the City of Mississauga, the purpose of an HIA and CLHIA is to determine the impact to known and potential heritage resources within a defined area proposed for future development. The study shall recommend an approach to mitigate negative impacts, to the satisfaction of the City.

Multiple sources of data were collected, sorted, and analysed for this assessment. Both primary and secondary sources were examined, including:

- historical maps, atlases, and aerial photographs;
- archival documents and photographs;
- historic periodicals;
- City of Mississauga Heritage Register;
- previous application documents and staff reports; and
- observations from a site visit.

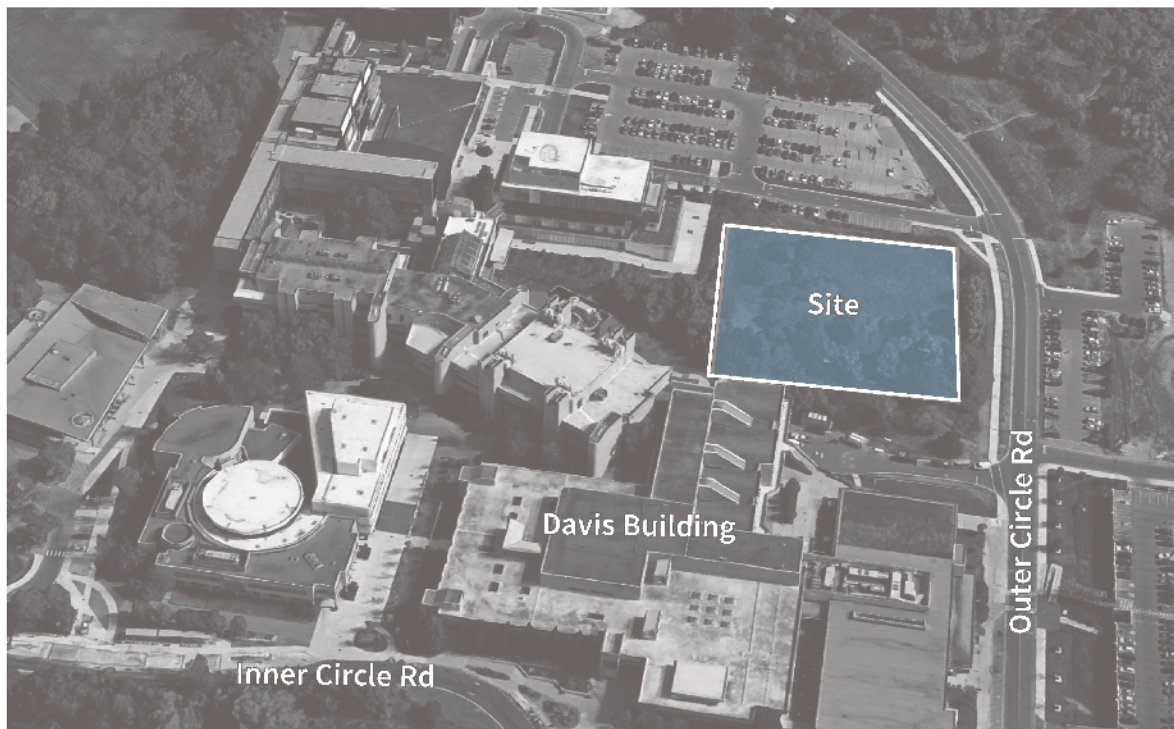
This report was prepared with reference to Ontario Regulation 9/06: Criteria for Determining Cultural Heritage Value or Interest, the Ontario Heritage Tool Kit, the Parks Canada *Standards and Guidelines for the Conservation of Historic Places in Canada (Standards and Guidelines)*, the Province of Ontario's 2014 Provincial Policy Statement, the *Ontario Heritage Act*, the City of Mississauga's *Cultural Landscape Heritage Impact Assessment Terms of Reference* (2016), and the City of Mississauga's *Cultural Landscape Inventory* (2005).

1.2 Site Location and Description

The Site is located on the University of Toronto Mississauga (UTM) Campus, fronting Outer Circle Road, north of the William G. Davis Building (“Davis Building”) formerly known as the South Building and east of the Terrence Donnelly Health Sciences Complex (“Donnelly Building”). The Site is not visible from Mississauga Road due to distance, topography, and existing buildings on campus.

The Site is currently a sloped, naturalized area containing:

- Overgrown grass;
- Deciduous and evergreen trees of various sizes (see Arborist report in Appendix D for additional information);
- Pioneering woody plants (c.g. staghorn sumac), grasses, and other ground covers; and
- Mowed openings and paths, including one connecting Outer Circle Road and the north entrance of the Davis Building.



Aerial context view with Site outlined in blue (Google Maps, 2018, annotated by ERA).






Location Map

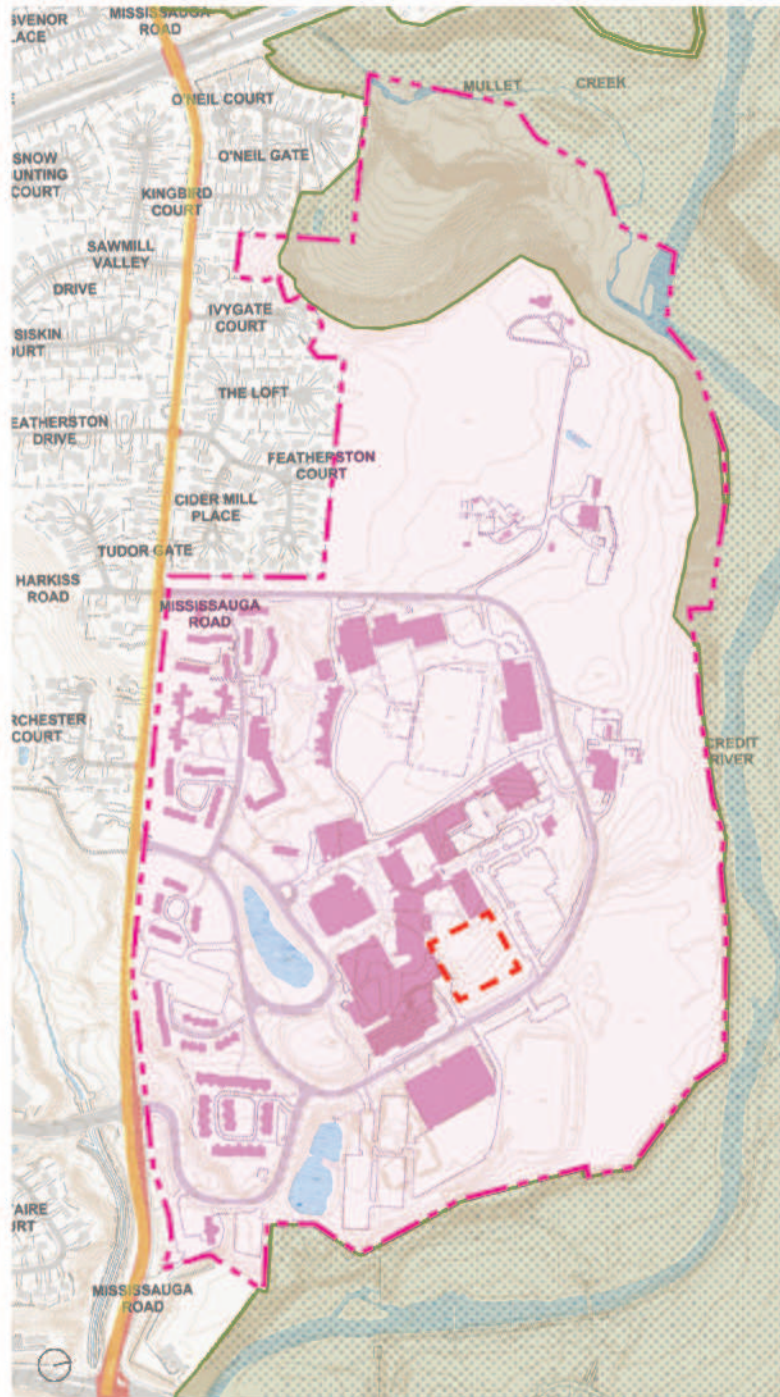


Above - The UTM campus is situated along, though set back from Mississauga Road in the city of Mississauga (City of Mississauga Mapping Service, annotated by ERA).

Right - The UTM campus is bounded by Mississauga Road and the Credit River Valley. The Site is located in the core of the campus, along Outer Circle Road.

LEGEND

-  City boundary
-  UTM campus boundary (L-INS-2)
-  Site
-  Water bodies
-  Mississauga Road Scenic Route (# TC 4)



Site Plan of Existing Conditions



1.3 Site Photographs



View of Site, looking north from Recreation Athletics & Wellness Building (FRA, 2018).



View of Site, looking southwest (ERA, 2018).

TERRENCE DONNELLY
HEALTH SCIENCES COMPLEX



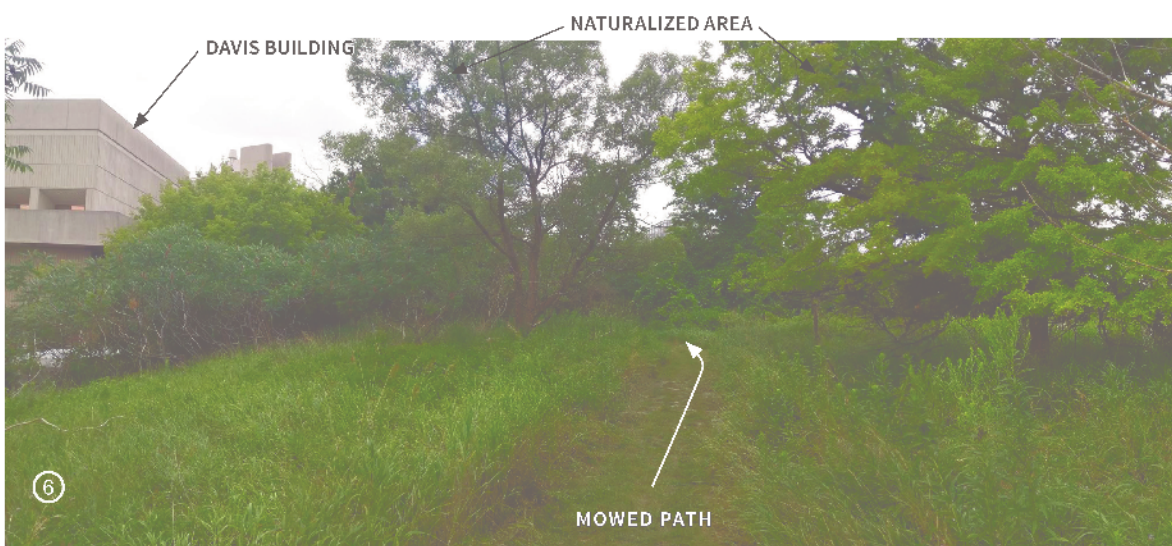
View of Site, looking east from the Davis Building (ERA, 2018).



View of Site, looking northeast from the Davis Building (ERA, 2018).



View of Site, looking southeast from Terrence Donnelly Health Sciences Complex (ERA, 2018).



View of Site, looking northwest from Outer Circle Rd corner (FRA, 2018).

1.4 Heritage Context

The Site is within the UTM Cultural Landscape, which is included in the City of Mississauga's Cultural Landscape Inventory (L-INS-2). The Inventory provides the following site description:

Initiated as a satellite suburban campus of the University of Toronto, the University of Toronto at Mississauga (UTM), has and continues to evolve into a mature and well respected centre of learning. Nestled against the west bank of the Credit River, the university takes advantage of its wonderful setting, locating buildings on prominent landform and table lands to take best advantage of views to the river valley with its forested table land and mature treed slopes. The campus grounds have struck a good balance between preserving and enhancing natural areas and developing manicured grounds for campus activities. The campus has an interesting portfolio of buildings ranging from modern to newer international styled structures. As the campus matures, this range of styles will expand and form an impressive collection of architecturally significant buildings. If the campus plan continues to acknowledge an environmentally friendly, sustainable balance between natural and developed landscape areas, the campus will be unique among Ontario universities in terms of its visual quality and character. This site is recognized as a unique cultural landscape within the City of Mississauga and one which is expected to demonstrate leadership balancing development requirements with the protection and enhancement of the natural environment. Lislehurst, the President's residence, is a heritage designated structure for architectural and historical significance.

The UTM campus also contains individually listed and designated cultural heritage resources.

Two properties are designated under Part IV of the Ontario Heritage Act:

- **Lislehurst** - Tudor Revival House built c.1885, now home to Principal of Erindale College (UTM) (By-law 879-85); and
- **Alumni House (originally Old Erindale Public School)** - Georgian Revival school built 1922 (By-law 662-83).

Two properties are listed on the City of Mississauga's Heritage Register:

- **Erindale College South Building (now William G. Davis Building) & Central Utilities Plant** - Rare example of Brutalism in Mississauga, 1972 (Inventory No. 493); and
- **Student Centre** - Postmodern student centre, 1992 (Inventory No. 570).

1.5 Adjacent Heritage Building

The Davis Building, formerly the Erindale College South Building, is adjacent to the Site. The Mississauga Heritage Register states the building was constructed in 1970 and describes it as:

The only example of Brutalism within Mississauga. Brutalism was a style that grew out of the International style in the early to late 1950s. The style has highly textured surfaces, usually of concrete, monochromatic tones, recessed windows of a plain nature and a variety of load bearing walls at odd angles.

The Erindale College South Building was renamed the William G. Davis Building in 2010, in honor of the former premier of Ontario who was instrumental in the establishment of the UTM campus.



Erindale College South Building, date unknown (UTM Archives).

Heritage Status & Identified Buildings

LEGEND

-  UTM campus boundary/
Cultural Landscape (L-INS-2)
-  Erindale Park (L-PA-6)
-  Credit Valley Corridor (L-NA-2)
-  Site
-  Water bodies
-  Mississauga Rd Scenic Route
-  Roadways
-  Designated Heritage Property
-  Listed Heritage Property

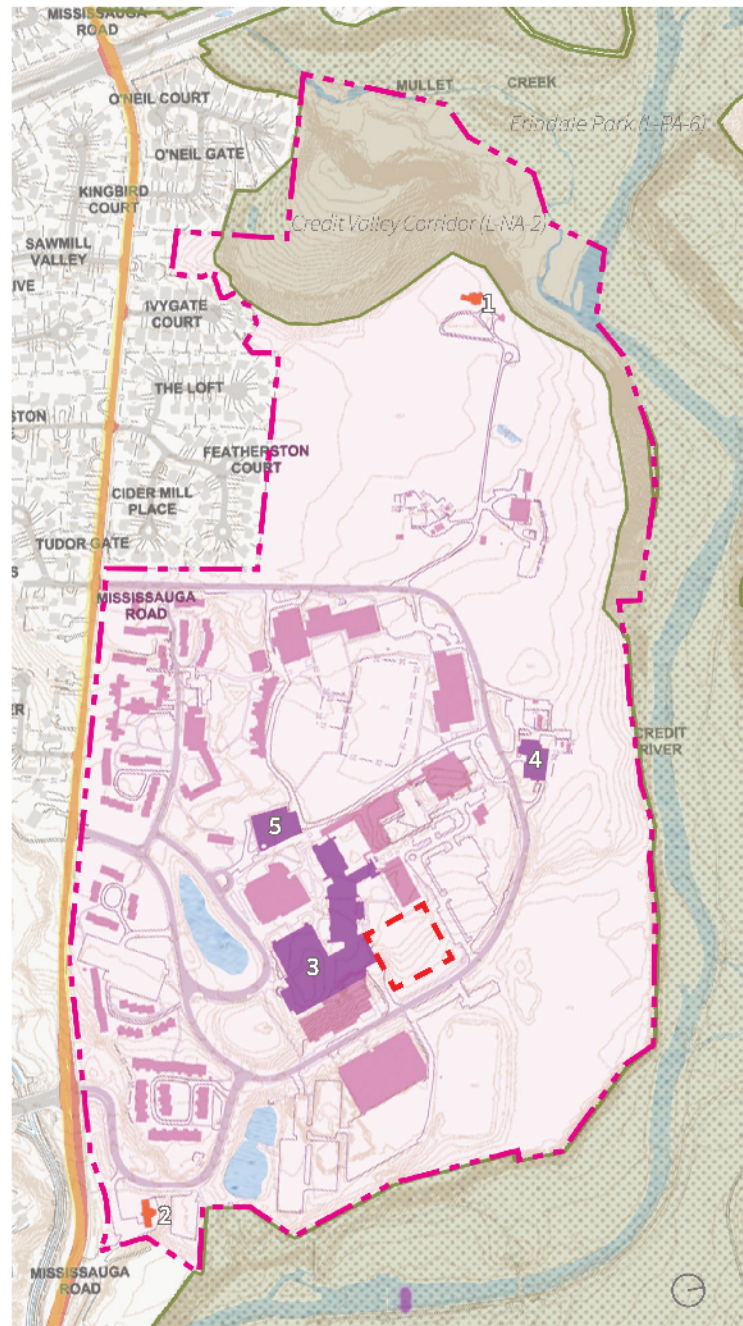
Designated Heritage Properties

1. Lislehurst (By-Law 879-85)
2. Alumni House (By-Law 662-83)

Listed Heritage Properties

3. Erindale College South Building*
(Mississauga Heritage INV #493)
4. Central Utilities Plant
(Mississauga Heritage INV #493)
5. Student Centre
(Mississauga Heritage INV #570)

*Erindale College South Building is now known as the William G. Davis Building



2 SITE HISTORY

The earliest evidence of native peoples in the City of Mississauga dates back to 8000 BCE. Archaeological evidence has confirmed 23 Archaic sites concentrated in and around the Credit River and Cooksville Creek drainage areas.

The Mississauga First Nations established themselves along the Credit River in what is now the City of Mississauga in 1700 to 1720 and remained for just over 100 years. In the 1780s the British Crown began to purchase large tracts of land for the incoming Loyalists. By 1820, the Mississaugas only owned two hundred acres on the east side of Credit River. In 1825, the government agreed to build the Mississaugas a village near the Credit River, near what is now Mississauga Road just south of the UTM campus. This village became known as the Credit Mission. By 1947, the majority of Mississaugas left the Credit River for the Six Nations Reserve, near today's City of Brantford.

The lands bounded by Mississauga Road, Dundas Street West and Burnhamthorpe Road West were part of the Crown's second purchase of lands from the Mississaugas around 1805. According to the 1880 County Atlas, the lands were divided into four parcels, with various owners.



1880 County Atlas Map (Toronto Archives).

One of the owners of the lands north east of Mississauga Road and Dundas Street West was the Schreiber family. The Schreiber family emigrated from England, acquired the lands and built three houses. One of their houses, built in 1885, still exists today on UTM's campus and is known as Lislehurst or home of the UTM principals. In 1928, the Schreiber family sold 50 acres of their land, including Lislehurst, to a Hamilton-based business man named Reginald Watkins.

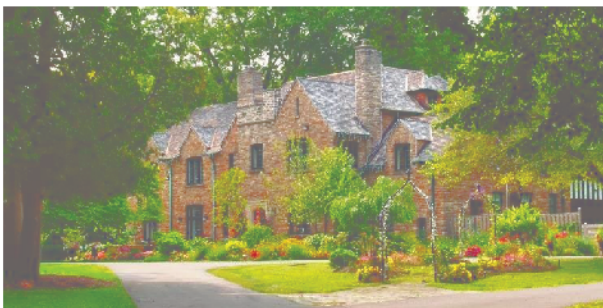
In 1963, the University of Toronto purchased the property from Mr. Watkins for a satellite campus that was to be known as Erindale College. Within the next year, the University acquired additional lands for the campus, for a total of 224 acres of land.



North-west view of UTM, prior to 1970 (UTM Archives).



Aerial photo of Site prior to construction (UTM Master Plan, 1967).



Current photo of the Lislehurst home (UTM Archives).

3 EVOLUTION OF THE CAMPUS

With the boom of university and college applications in the 1950s and 60s, the University of Toronto decided to expand, purchasing 224 acres in Erindale, Mississauga for the University of Toronto Mississauga Campus.

Architects

John Andrews, the architect who prepared the University of Toronto Scarborough campus plan, was originally commissioned to prepare the master plan for the new campus.

A few years later, for unknown reasons, the planning process was taken over by A.D Margison Architects and Associates Ltd. in collaboration with Raymond Moriyama Architects and Planners, based out of Toronto.

A.D Margison Architects and Associates Ltd. was founded in 1950 as a result of the dissolving and renaming of Margison and Babcock, a well-established firm of engineer consultants. The original firm was involved with primarily engineering projects, including bridges and the planning of Toronto's Gardiner Expressway. Later, the firm was involved in architectural and engineering design, as well as transportation studies. The firm's involvement in the Erindale Campus was one of their greatest achievements, and also their last project.

Raymond Moriyama Architects and Planners was established in 1958. Raymond Moriyama is a well known and established architect, notable for his work including the Toronto Reference Library, North York Central Library, Ottawa City Hall and the Ontario Science Centre. Moriyama received various awards throughout his career, including the 1997 RAIC Gold Medal, Canadian Architecture's highest honour.



Arthur D. Margison



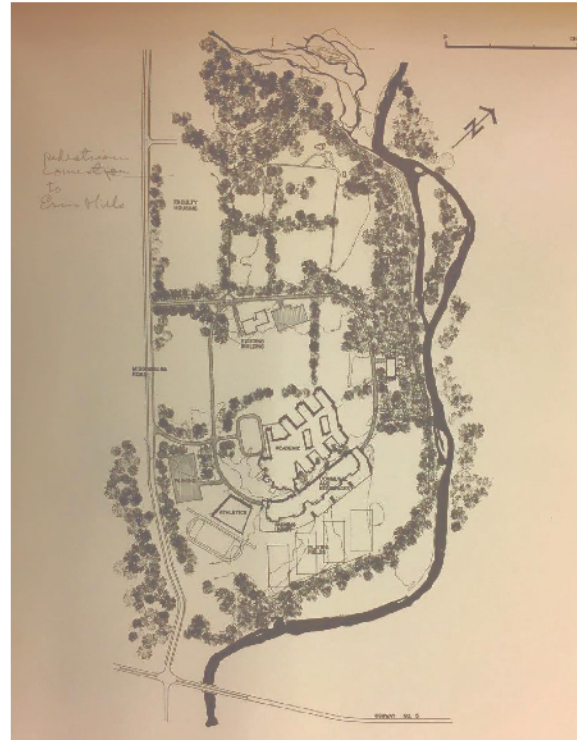
Raymond Moriyama

1967 Campus Master Plan

A.D. Margison and R. Moriyama envisioned the campus as a single mega-structure surrounded by open space and a ring road.

The principles and planning objectives for the 1967 Master Plan included, but were not limited to the following:

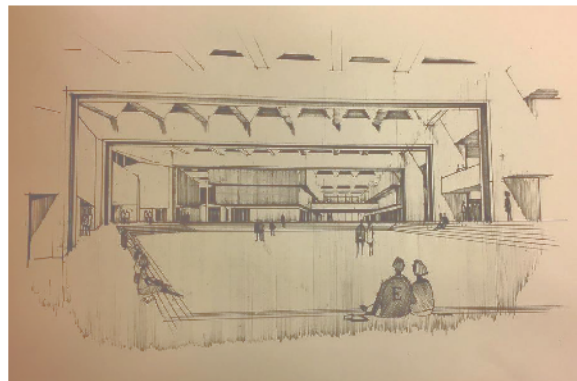
- Focus on central meeting spaces to orient oneself to all major elements of the college;
- The expression of “community,” including careful attention to communal spaces;
- Plan for and integrate additional capacity;
- Students and staff should be able to move under cover between facilities;
- Respect the natural features of the site; and
- Provide a system of open-ended growth, which permits different elements to grow independently at their own rate.



Site Plan, 1967 (UTM Master Plan, 1967).



Exterior perspective, 1967 (UTM Master Plan, 1967).



Interior perspective, 1967 (UTM Master Plan, 1967).

Construction

In 1969, a preliminary design was submitted for the library, meeting place, lecture theaters, athletics and related facilities.

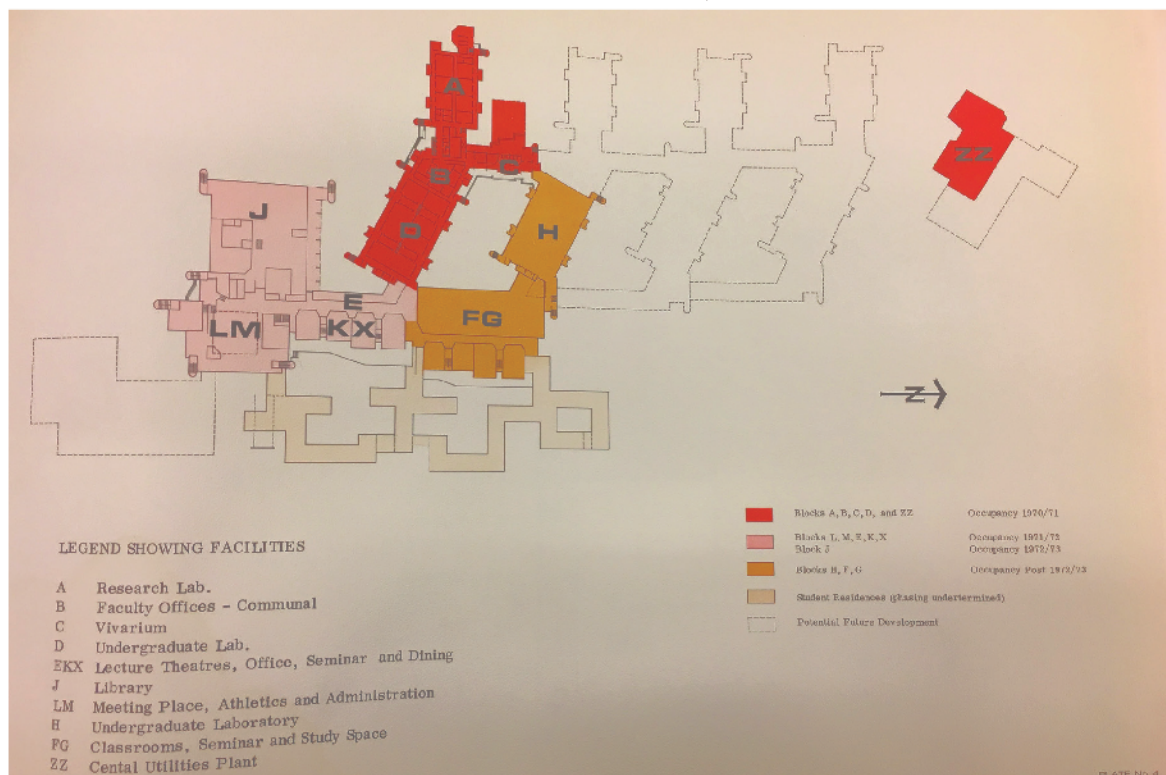
Between 1969 and 1970 the envisioned design was realized through the construction of Outer Circle Road and the Davis Building (then known as the Erindale College South Building). The only structures that were not realized at this time were buildings FG and H identified in the diagram below. The location of building H reflects the location of the recently constructed Donnelly Building. Building FG, which was slated to be classrooms, seminar and study space, reflects the location of today's development Site.



Drawing of South Building, c. 1969 (UTM Preliminary Design 1969).



South Building under construction (A.D. Margison Book).



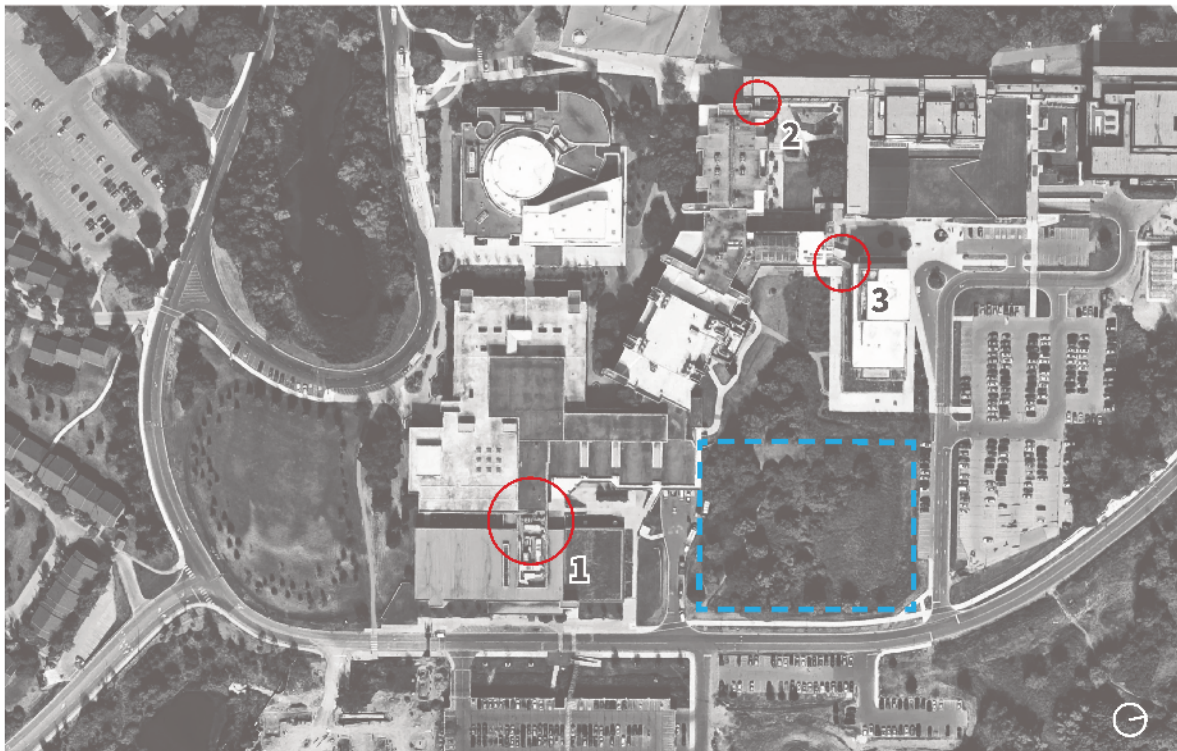
Campus Plan 1969 (UTM Preliminary Design 1969).

Campus Expansion

After 1970, the campus slowly began to expand as enrollment numbers increased. To keep up with extensive growth a new/revised Campus Master Plan was undertaken in 1994, 2000 and 2011. Each plan focused on the importance and interrelation of the campus' natural and built environment.

Development on campus has generally been in keeping with Margison and Moriyama's vision, having new development expand outwards from the Davis Building. To date, the following buildings have been constructed with connections to the Davis Building: Recreation Athletics & Wellness (1), Communication Culture & Technology (2) and most recently, the Donnelly Building (3).

The Site, which includes the lands to the north of the Davis Building and east of the Donnelly Building, has remained as open space despite the anticipated development as shown on the 1967, 1994, 2000 and 2011 Master Plans.



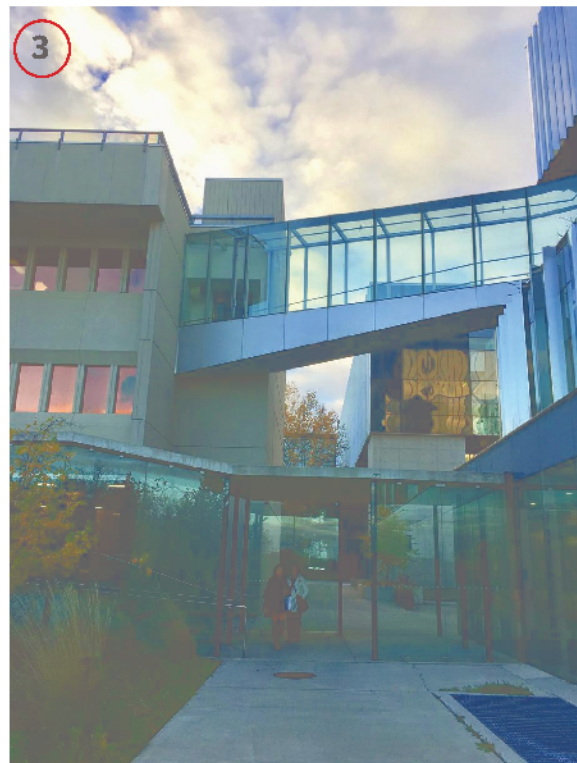
Aerial identifying connections to the Davis Building in red, and the Site in dashed blue (Google Maps, annotated by ERA).



Connection from Davis Building to Recreation, Athletic & Wellness Building (Google Maps).



Connection from Davis Building to Communication Culture & Technology Building (ERA, 2018).



Connection from Davis Building to Donnelly Building (ERA, 2018).



Evolution of the University of Toronto Mississauga's campus. Each UTM Master Plan shows anticipated development on the Site (ERA, 2018).

4 ASSESSMENT OF CULTURAL HERITAGE VALUE

Recommendation

ERA finds that the Davis Building meets the criteria for designation under Ontario Regulation 9/06, as identified in the chart below. As such, the building warrants conservation, as defined in the Provincial Policy Statement:

Conserved: means the identification, protection, use and/or management of cultural heritage and archaeological resources in such a way that their heritage values, attributes and integrity are retained. This may be addressed through a conservation plan or heritage impact assessment.

Value (quoted from Ontario Reg. 9/06)	Assessment (Davis Building)
<p><i>The property has design value or physical value because it,</i></p> <p><i>i. is a rare, unique, representative or early example of a style, type, expression, material or construction method,</i></p> <p><i>ii. displays a high degree of craftsmanship or artistic merit, or</i></p> <p><i>iii. demonstrates a high degree of technical or scientific achievement.</i></p>	<p>The building is an exceptional representative example of Brutalism. It is also a rare example in the city of Mississauga. As noted by the City, it is the only Brutalist building in Mississauga.</p> <p>The building displays a high degree of artistic merit, as represented in its form, articulation and materiality.</p>
<p><i>The property has historical value or associative value because it,</i></p> <p><i>i. has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community,</i></p> <p><i>ii. yields, or has the potential to yield, information that contributes to an understanding of a community or culture, or</i></p> <p><i>iii. demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.</i></p>	<p>The building demonstrates the work of Raymond Moriyama. Moriyama is a well-known and established architect. Other notable projects in Ontario include: Toronto Reference Library; North York Central Library; Ottawa City Hall; and Ontario Science Centre. Moriyama received various awards throughout his career, including the 1997 RAIC Gold Medal, Canadian Architecture's highest honour.</p>
<p><i>The property has contextual value because it,</i></p> <p><i>i. is important in defining, maintaining or supporting the character of an area,</i></p> <p><i>ii. is physically, functionally, visually or historically linked to its surroundings, or</i></p> <p><i>iii. is a landmark.</i></p>	<p>The building is important in defining the character of UTM's campus. New development on campus has continued to span outwards from this original mega-structure.</p>

5 HERITAGE POLICY CONTEXT

Overview

The following documents comprise the policy framework relevant to the heritage considerations at the Site:

- Ontario's Provincial Policy Statement ("PPS 2014");
- Region of Peel Official Plan, 2010;
- City of Mississauga Official Plan, 2015; and
- University of Toronto Mississauga Campus Master Plan, 2011.

Provincial Policy Statement

The PPS provides policies to ensure new development on lands on and adjacent to protected heritage properties are evaluated. Section 2.6.1 states:

Significant built heritage resources and significant cultural heritage landscapes shall be conserved.

Additionally, Section 2.6.3 states:

Planning authorities shall not permit development and site alteration on adjacent lands to protected heritage property except where the proposed development and site alteration has been evaluated and it has been demonstrated that the heritage attributes of the protected heritage property will be conserved.

Region of Peel Official Plan

Chapter 3.6 of the Official Plan of the Region of Peel contains policies relating to development on or adjacent to heritage properties. Policy 3.6.2.8 states:

Direct the area municipalities to only permit development and site alteration on adjacent lands to protected heritage property where the proposed property has been evaluated and it has been demonstrated that the heritage attributes of the protected heritage property will be conserved.

City of Mississauga Official Plan

The City of Mississauga Official Plan identifies structures, landscapes and streetscape as possible cultural heritage resources, and encourages their identification and protection.

Policy 7.4.2.3 states development adjacent to a cultural heritage property will be encouraged to be compatible with the cultural heritage property.

Policy 9.2.4.2 states development and open spaces adjacent to significant cultural heritage resources will:

- a. contribute to the conservation of the heritage attributes of the resource and the heritage character of the area;*
- b. emphasize the visual prominence of cultural heritage resources; and*
- c. provide a proper transition with regard to the setting, scale, massing and character to cultural heritage resources.*

Section 18 of the Official Plan identifies Special Purpose Areas in the city, of which Pearson Airport and the UTM campus are identified. Section 18.3.1 provides generally policies about the city's special areas.

Policy 18.1.1 states that Special Purpose Areas will develop as unique destinations of city and regional significance.

Section 18.3.2 contains policies related to the campus lands:

Policy 18.3.2.2 states development should be located and designed to minimize adverse effects on adjacent residential areas.

Policy 18.3.2.3 states development should have regard for the Mississauga Road Scenic Route Policies.

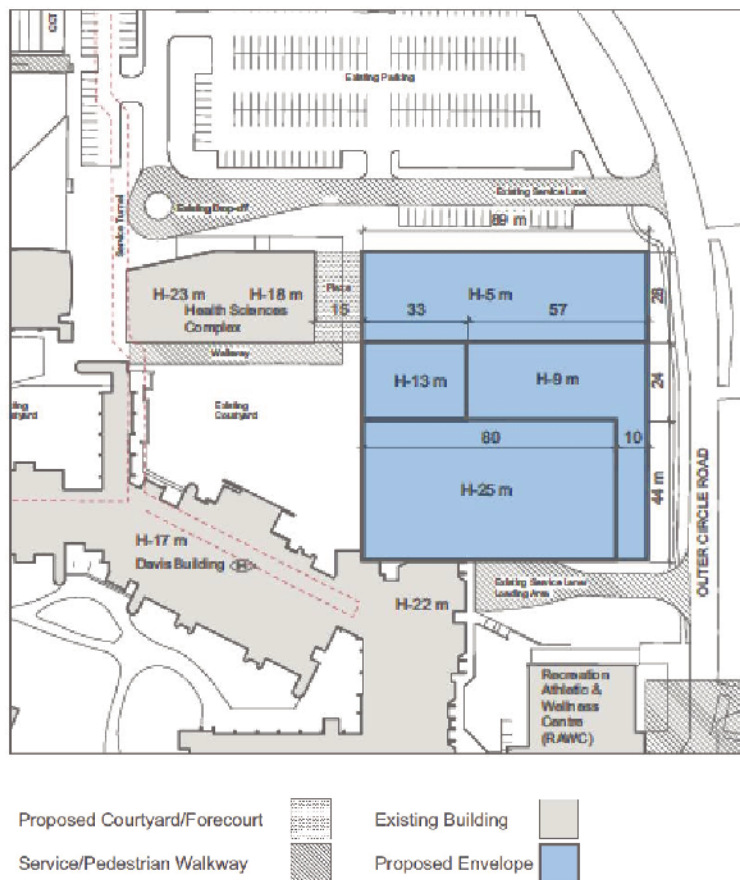
Campus Master Plan

The University of Toronto Mississauga's current Campus Master Plan (2011), developed in coordination with City of Mississauga staff, identifies nine sites within the campus for future development. The subject property is identified as Site 1: Davis Building Science Expansion. The Plan states the following for development on Site 1:

- A building or complex of buildings, on Site 1 will be highly visible from Outer Circle Road, and will complete the formation of a courtyard between the Davis Building science wing and the new Health Sciences Complex; and
- The proposed building envelope could connect to the Davis Building on all levels, enabling the expansion of existing academic and ancillary space.

In addition, the Plan states the following in regards to heritage preservation on the Campus:

Listed and designated properties should not be considered in isolation, but as character-defining elements within the overall campus context. Development should respect and engage with the contextual value of these elements.



Campus Master Plan's Site 1 proposed envelope (UTM Campus Master Plan, 2011).

6 DESCRIPTION OF PROPOSED DEVELOPMENT

Overview

The proposed development anticipates the construction of a new academic science building in the open space area to the north of the Davis Building.

The proposed development is a 3-tiered 5-storey building built into the slope of the land. The first and second tiers are 2-storeys in height and the third tier 1-storey in height. The second tier provides a generous stepback from the north and east facade to allow for a large green roof and terrace above the first tier. A glazed connection to the Davis Building is proposed at the south facade.

The proposed building will be accompanied by new pedestrian walkways, a terraced landscape to the north and enhanced courtyard to the west.



Rendering of the proposed new science building seen looking south west (Kieran Timberlake, 2019).

Proposed Integration with Davis Building

The proposed new science building will provide a lobby with a connection to the north end of the Davis Building. The later one-storey addition of the Davis Building at the north end is proposed to be demolished to allow for the new connection.

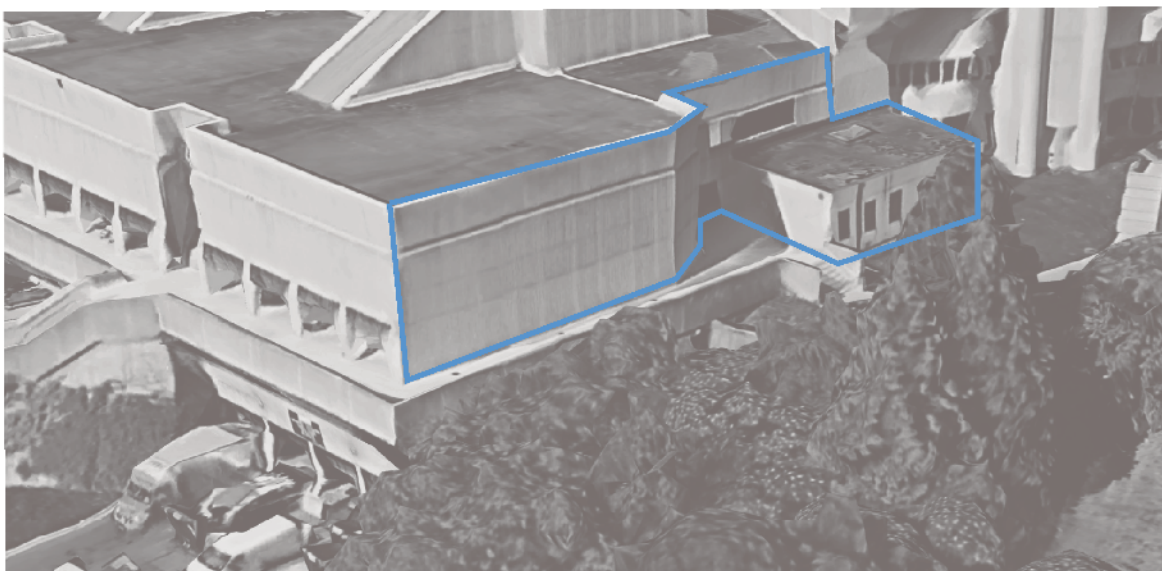
New construction will reinstate, expose, and remove portions of the Davis Building's precast paneling. A portion of the paneling behind the existing addition will be reinstated or restored. A small area of the paneling is proposed to be removed to allow for the installation of a new lift, a west entrance and a fire rated wall. The remainder of the paneling will be exposed in the interior of the new lobby space (see illustration on page 27).



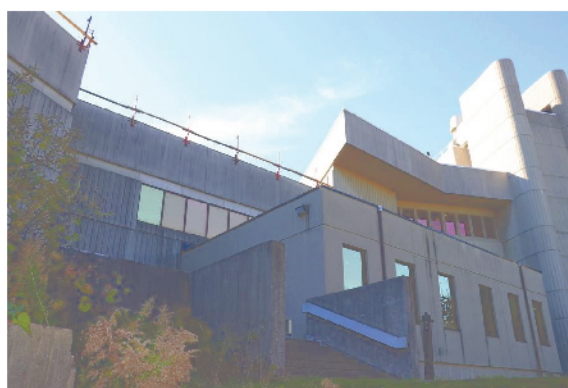
Rendering of proposed vestibule and connection (Kieran Timberlake, 2019).



Rendering of proposed connection to the Davis Building from the courtyard to the west (Kieran Timberlake, 2019).



View looking south west, section of Davis Building to be integrated with new construction outlined in green (Google Maps).



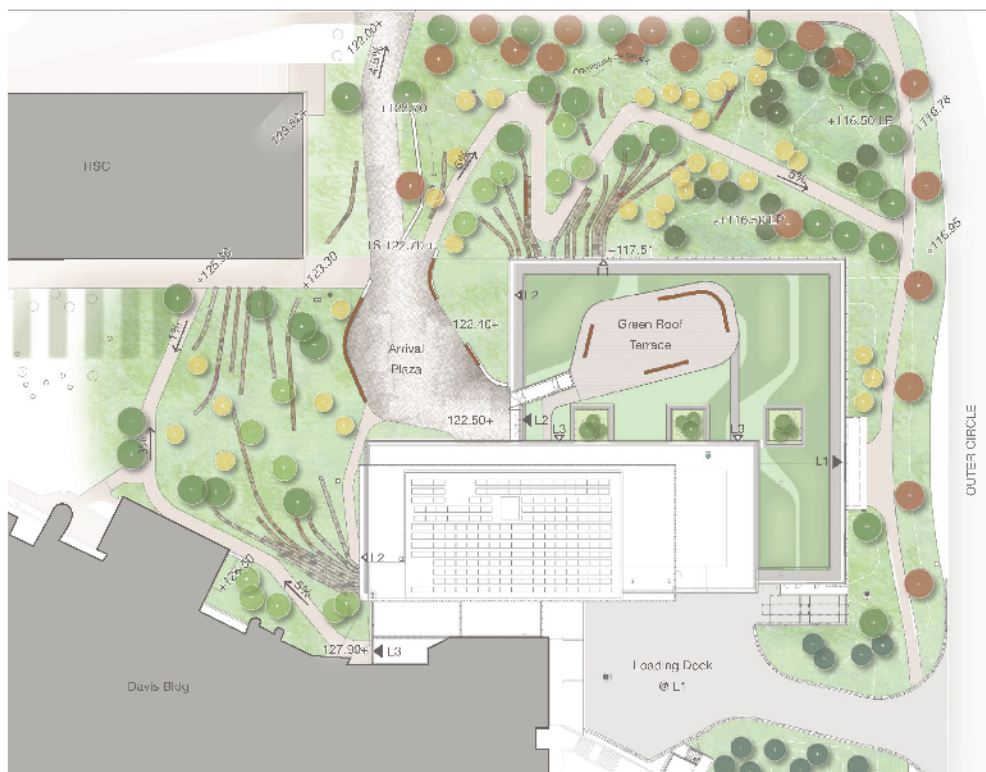
Photos of the east elevation of the Davis Building where the connection to the new building is proposed (Kieran Timberlake, 2019).

Proposed Landscape

The unique topography provides opportunities for animating surface runoff as it is directed towards an infiltration landscape at the east edge of the Site. The landscape will embody a curated naturalized condition, drawing its plant palette from the existing Site and nearby Credit River Valley. Small deciduous trees within the low-lying landscape will provide visual interest from the interior spaces of the new academic science building without obstructing key views from the Davis and Donnelly buildings.

Pathways will be informed by desire lines and provide connections to nearby campus destinations and the Credit River trails. Paving will use concrete and stabilized aggregate to evoke the river character.

Retaining walls on the terraced landscape north of the proposed building and in the courtyard west of our building, will be stone gabion walls. Wood bench tops will be incorporated in the tops of some of the gabion walls.



Landscape Concept (DTAH, 2019).

7 CULTURAL HERITAGE LANDSCAPE IMPACT ASSESSMENT

7.1 Criteria associated with Cultural Heritage Landscape

As outlined in the CLHIA Terms of Reference (2016), it must be demonstrated how the proposed development conserves the applicable criteria. The following table assesses the criteria that apply to the Site.

7.2 Assessment

The following table identifies and assesses the possible impacts of the proposal on the cultural heritage landscape and the associated criteria as set out in City of Mississauga's Cultural Landscape Inventory, attached as Appendix A.

Criteria	Impact and Remediation
Landscape Environment	
<i>Scenic and Visual Quality</i>	<p>Some impact - The Site is currently an unprogrammed and naturalized space sloping downwards from west to east. It is comprised predominantly of pioneering species and some mature deciduous and coniferous trees. The dense vegetation obstructs views of the Donnelly Building and northern wing of the Davis building from Outer Circle Road. The Site does not have amenities for gathering or seating and is a passive open space.</p> <p>The visual quality of the Site from Outer Circle Road is retained by keeping the slope planted and the paved Arrival Plaza hidden behind the proposed building.</p> <p>The planned development is consistent with the City of Mississauga's Cultural Landscape Inventory's description of the campus's development pattern of "locating buildings on prominent landform and tablelands to take advantage of views of the river valley" (City of Mississauga L-INS-2).</p>

Criteria	Impact and Remediation
<i>Natural Environment</i>	<p>Some impact - The Site is currently comprised of predominantly pioneering species and deciduous and coniferous trees common to mature Carolinian forests. The Site is habitat for wildlife and provides stormwater management functions.</p> <p>100 trees are surveyed and identified on Site. The proposed development will remove 84 trees in total, of which 45 trees (38 healthy, 7 dead/dying) are subject to a by-law and require a permit for their removal. Existing shrubs, herbaceous plants and grasses will also be removed for site work, and the surface runoff will be rerouted. The proposal includes the preservation of 16 trees and the planting of 116 new trees, including birch, maple and aspen, on the Site.</p> <p>The proposed Terraced Landscapes north and west of the proposed building will retain some planting and provide some stormwater management functions. Intensified human activity on the Site will increase pressure on wildlife making the Site a less desirable habitat. The proposed native planting palette and swale somewhat mitigates these effects.</p> <p>See Appendix C - Landscape Design and Appendix D - Arborist Report for more details.</p>
<i>Horticultural Interest</i>	<p>No Impact - <i>No distinct horticultural interest exists on the Site. The Site has been left open and natural with minimal interventions since the campus opened. The plant species on Site are consistent with species found in natural edges across Southern Ontario (e.g. Staghorn sumacs, Manitoba maples, paper birch, etc.). A native planting palette is proposed for the green spaces. See Appendix C - Landscape Design for more details.</i></p>
<i>Landscape Design, Type and Technological Interest</i>	<p>No Impact - The proposed building and landscape maintains the South Campus Sector's "courtyards" typology identified in the current and previous Campus Master Plans.</p>
<p>Historical Association</p> <p><i>illustrates Style, Trend or Pattern</i></p>	<p>No impact - The proposed development respects the scale and architectural quality of surrounding built fabric and landscape.</p>

Criteria	Impact and Remediation
<i>Illustrates important Phase in Mississauga's Social or Physical Development</i>	No impact - The proposed building and landscape is a continuation of the campus' development pattern.
Built Environment	
<i>Aesthetic/Visual Quality</i>	No impact - The proposed building continues the campus' trend of building distinct contemporary architecture interconnected by manicured landscapes and courtyards.
<i>Consistent Scale of Built Features</i>	No impact - The proposed building is consistent with the scale, height and massing of adjacent buildings (i.e. Recreation Athletics & Wellness Centre, Davis Building and Donnelly Building).
<i>Unique Architectural Features/Buildings</i>	Minimal impact - The proposed building adjoins the listed Davis Building. Internal connections between the two buildings are proposed. The proposed glazed connection is to be in glazing, creating a visual separation through its distinct design.
<i>Designated Structures</i>	No impact - The proposed building is a significant distance away from designated heritage structures — Lislehurst (By-Law 879-85) Alumni House (By-Law 662-83).
Other	
<i>Historical or Archaeological Interest</i>	Please refer to the Stage 1 Archaeological Assessment, dated March 28, 2019, submitted to the MTCS.
<i>Significant Ecological Interest</i>	No impact - No significant ecological interest has been found.

8 IMPACT OF DEVELOPMENT

City of Mississauga's CLHIA Terms of Reference (2016)/Ontario Heritage Toolkit

The following table assesses the impact the proposed development on the cultural heritage resources, including the UTM Campus Cultural Heritage Landscape and the identified adjacent heritage resource, the Davis Building.

Possible Effect	Assessment
Destruction of any, or part of any, significant heritage attributes or features	To provide a connection between the new building and Davis Building there will be minimal alterations to existing openings, the addition of new openings, and the removal of small portions of the existing building, including a portion of the balcony at the northeast corner of the building. The proposed connection is designed to be distinguishable from and complementary to the Davis Building.
Removal of natural heritage features, including trees	The proposed building will necessitate the removal of 84 trees, existing plants and grasses, and the rerouting of surface runoff. Terraced landscapes north and west of the building will retain some planting and provide some stormwater management functions. Intensified human activity on the Site will increase pressure on wildlife making the Site a less desirable habitat. The proposal includes the preservation of 16 trees and the planting of 116 new trees, including birch, maple and aspen. Additionally, the installation of a rainwater infiltration landscape mitigates the impact to the existing natural open space.
Alteration that is not sympathetic, or is incompatible, with the historic fabric and appearance	The proposed development is conceived in architectural and scalar sympathy with the surrounding built fabric. The proposed alterations to the Davis Building are minimal and sympathetic to the design.
Shadows created that alter the appearance of a heritage attribute or change the viability of an associated natural feature, or plantings, such as a garden	There will be no shadow impacts on the Davis Building. Minimal shadows on the Site's surrounding landscape will not alter their appearance.
Isolation of a heritage attribute from its surrounding environment, context or a significant relationship	The proposed building enhances the connectivity of the Davis Building to its surroundings through the proposed new connection, as well as the designed pathways and landscape along Outer Circle Road.
Direct or indirect obstruction of significant views or vistas within, from, or of built and natural features	Existing views to the east of the Credit River valley will be altered, with some minor obstruction.

A change in land use where the change in use negates the property's cultural heritage value	Though the parcel of land will change in use, it will not negate any cultural heritage value.
Land disturbances such as a change in grade that alters soils, and drainage patterns	Changes to grade and drainage patterns are proposed. However, these land disturbances will be mitigated through the preservation of some trees, renaturalization, planting of new trees, new drainage and permeable paving treatments.

City of Mississauga's HIA Terms of Reference (2016) / Eight Guiding Principles in the Conservation of Built Heritage Properties (Standards & Guidelines)

The following table assesses any impact the proposed development may have on the cultural heritage resources, including the identified adjacent heritage resource, the Davis Building.

Standard/ Guideline		Assessment
1	Respect for Documentary Evidence Do not base restoration on conjecture. Conservation work should be based on historic documentation such as historic photographs, drawings and physical evidence.	Historic documentation, including original plans and archival photos of the adjacent heritage resource, the Davis Building were referenced and integrated throughout the design development for the Site.
2	Respect for the Original Location Do not move buildings unless there is no other means to save them. Site is an integral component of a building or structure. Change in site diminishes cultural heritage value considerably.	The location of the adjacent heritage resource will not be impacted.
3	Respect for Historic Material Repair or conserve rather than replace building materials and finishes, except where absolutely necessary. Minimal intervention maintains the heritage content of the built resource.	Some historic materials of the adjacent Davis Building will be removed to allow for the new connection. The proposed connection is designed to be sympathetic to and distinguishable from the Davis Building. There will be minimal intervention of existing fabric. Areas of demolition/alteration, including new and altered openings will require conservation scope (to be detailed in a forthcoming Conservation Plan).

Standard/ Guideline	Assessment
<p>4 Respect for Original Fabric</p> <p>Repair with like materials to return the resource to its prior condition, without altering its integrity.</p>	<p>Materials used for the proposed new connection respect the original fabric of the heritage resource.</p> <p>Most of the north elevation of the Davis Building will be retained and exposed, conservation and repair scope to be in line with heritage best practice and detailed in a forthcoming Conservation Plan.</p>
<p>5 Respect for the Building's History</p> <p>Do not restore one period at the expense of another period. Do not destroy later additions to a building or structure solely to restore to a single time period.</p>	<p>The proposed building and new connection respect the adjacent building's evolution as intended by the original architects and current and past Campus Plans.</p>
<p>6 Reversibility</p> <p>Alterations should be able to be returned to original conditions. This conserves earlier building design and technique. e.g. When a new door opening is put into a stone wall, the original stones are numbered, removed and stored, allowing for future restoration.</p>	<p>The proposed new building results in minimal intervention to the existing fabric of the Davis Building. Alterations to existing openings, the proposed new openings at level 1 and the proposed demolition of portions of the existing building (i.e. balcony) at the northeast corner are minimal and reversible.</p>
<p>7 Legibility</p> <p>New work should be distinguishable from old. Buildings should be recognized as products of their own time, and new additions should not blur the distinction between old and new.</p>	<p>The contemporary design of the proposed building and new connection are distinguishable from and sympathetic to the adjacent heritage resource.</p>
<p>8 Maintenance</p> <p>With continuous care, future restoration will not be necessary. With regular upkeep, major conservation projects and their high costs can be avoided.</p>	<p>Regular maintenance will be undertaken.</p>

9 CONSERVATION STRATEGY

8.1 Conservation Approach

The Site is currently vacant. The conservation approach for the proposed connection to the adjacent Davis Building is rehabilitation.

The proposed development is designed to conserve the heritage value and defining features of the Davis Building by:

- Maintaining the existing building with select areas of alteration;
- Providing modest, sympathetic alterations;
- Exposing existing exterior walls as new interior walls; and
- Repairing areas of demolition with sympathetic materials, in keeping with the original building detailing.

This approach will ensure that the building remains legible as a 1970s Brutalist building, while allowing for a new connection to the proposed science building.

8.2 Conservation Scope

The following provides an overview of the proposed conservation scope of work for the purposes of this report. Conservation work can be described in further detail in a forthcoming Conservation Plan, as requested by City Staff.

The proposed conservation scope for the connection to the Davis Building includes:

- Exterior wall at location of new walkway to be ground smooth and finished similar to existing detail bands;
- Restoration of existing wall at location of one storey demolition in new atrium;
- Coordinate new openings to ensure reversibility;
- Detailing the interface between the new envelope and the existing board formed concrete wall; and
- Ongoing continued maintenance.

Further details of the conservation work and treatment of the Davis Building will be described in a forthcoming Conservation Plan.

Rehabilitation: the action or process of making possible a continuing or compatible contemporary use of an historic place, or an individual component, while protecting its heritage value.

Restoration: the action or process of accurately revealing, recovering or representing the state of an historic place, or of an individual component, as it appeared at a particular period in its history, while protecting its heritage value.

Preservation: the action or process of protecting, maintaining, and/or stabilizing the existing materials, form, and integrity of a historic place or of an individual component, while protecting its heritage value.

Source: Standards and Guidelines for the Conservation of Historic Places in Canada (2010).

10 MITIGATION MEASURES

The impact of the proposed development will be mitigated by the design and siting of the new building and landscape strategy, including:

- Setbacks from the road and integration with surrounding open space network, including the courtyard to the west;
- Sympathetic (contemporary) connection to the adjacent Davis Building, including select areas of proposed conservation scope;
- Complementary scale and design of the proposed building to fit-in with adjacent buildings and landscape setting;
- Retention of the existing slope of the land and views to the Credit River Valley; and
- Continuation of manicured courtyard landscape typology and landscape design that minimizes loss of local species, trees and green space.

Further details of the conservation work and mitigation strategies for the Davis Building will be described in a forthcoming Conservation Plan.

11 CONCLUSION

The proposed development will provide a new academic building and landscaped area for the evolving University of Toronto Mississauga campus. The proposed development will be in keeping with the former and current Campus Master Plan, including the addition of a northern link to the Davis Building.

The proposed development will enhance the campus, through its high quality architecture and landscape design. It will enhance the UTM cultural heritage landscape and adjacent Davis Building by providing a new internal connection and landscaped area. Overall, the proposed building and landscape design appropriately speaks to and maintains the campus character.

12 REPORT AUTHORS

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Stuart Chan is a landscape designer with ERA Architects. He holds a Master of Landscape Architecture (University of Guelph) and has practiced in Canada and Hong Kong.

13 REFERENCES

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14 APPENDICES

Appendix A Cultural Landscape Inventory - UTM



Cultural Landscape Inventory

University of Toronto at Mississauga (UTM)

L-INS-2

Location Located on Mississauga Road north of Dundas Street West and south of Burnhamthorpe Road West

Heritage or Other Designation Lislehurst 879-85

Landscape Type Institutional

LANDSCAPE ENVIRONMENT

- ☒ Scenic and Visual Quality
- ☒ Natural Environment
- ☒ Horticultural Interest
- ☒ Landscape Design, Type and Technological Interest

HISTORICAL ASSOCIATION

- ☒ Illustrates Style, Trend or Pattern
- ☐ Direct Association with Important Person or Event
- ☒ Illustrates Important Phase in Mississauga's Social or Physical Development
- ☐ Illustrates Work of Important Designer

BUILT ENVIRONMENT

- ☒ Aesthetic/Visual Quality
- ☐ Consistent Early Environs (pre-World War II)
- ☒ Consistent Scale of Built Features
- ☒ Unique Architectural Features/Buildings
- ☒ Designated Structures

OTHER

- ☒ Historical or Archaeological Interest
- ☐ Outstanding Features/Interest
- ☒ Significant Ecological Interest
- ☐ Landmark Value





Cultural Landscape Inventory

University of Toronto at Mississauga (UTM)

L-INS-2

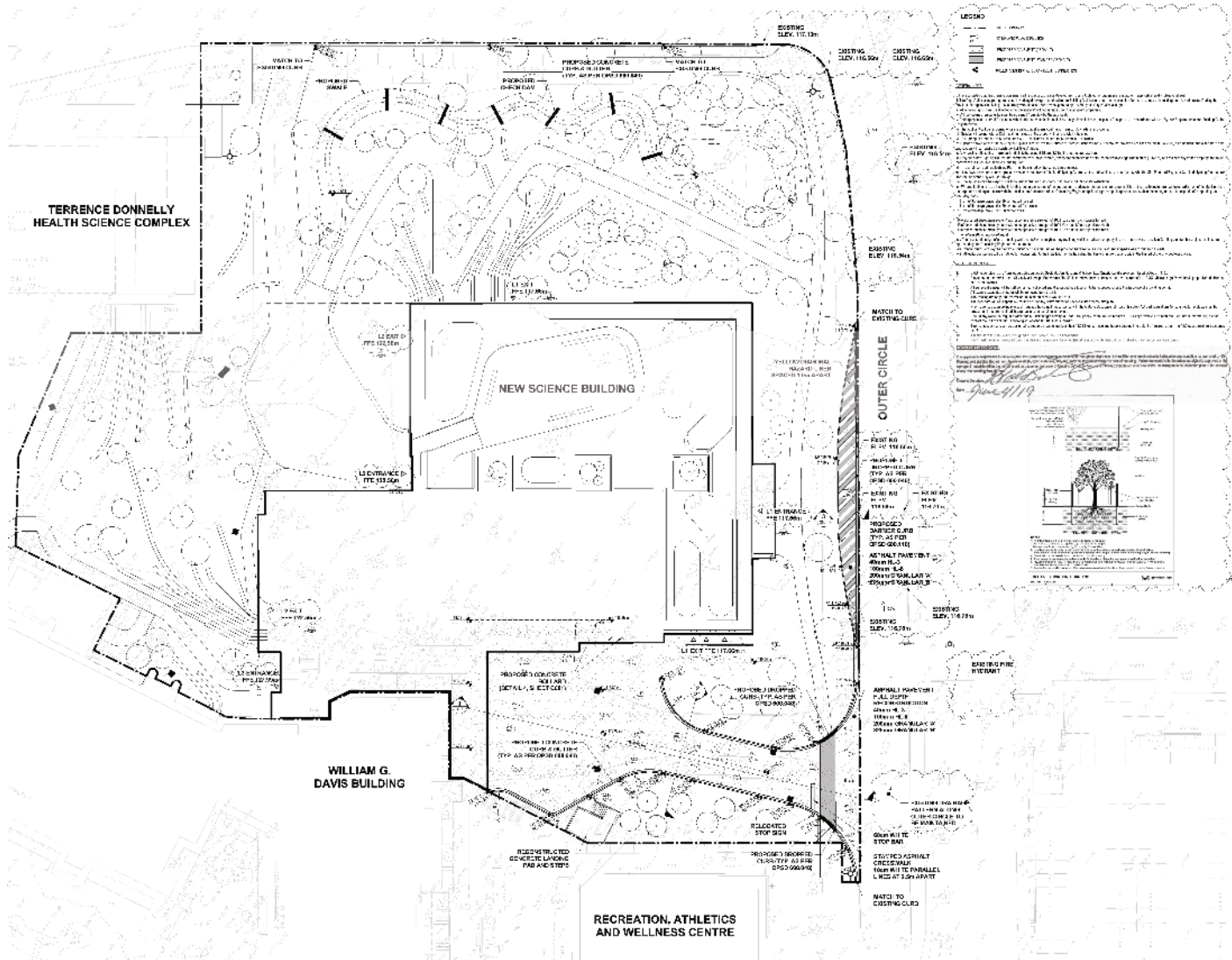
SITE DESCRIPTION

Initiated as a satellite suburban campus of the University of Toronto, the University of Toronto at Mississauga (UTM), has and continues to evolve into a mature and well respected centre of learning. Nestled against the west bank of the Credit River, the university takes advantage of its wonderful setting, locating buildings on prominent landform and table lands to take best advantage of views to the river valley with its forested table land and mature treed slopes. The campus grounds have struck a good balance between preserving and enhancing natural areas and developing manicured grounds for campus activities. The campus has an interesting portfolio of buildings ranging from modern to newer international styled structures. As the campus matures, this range of styles will expand and form an impressive collection of architecturally significant buildings. If the campus plan continues to acknowledge an environmentally friendly, sustainable balance between natural and developed landscape areas, the campus will be unique among Ontario universities in terms of its visual quality and character. This site is recognized as a unique cultural landscape within the City of Mississauga and one which is expected to demonstrate leadership balancing development requirements with the protection and enhancement of the natural environment. Lislehurst, the President's residence, is a heritage designated structure for architectural and historical significance.



Appendix B: Architectural and Landscape Drawing Set - Kieran Timberlake 2019

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NEW SCIENCE BUILDING
UNIVERSITY OF TORONTO MISSISSAUGA

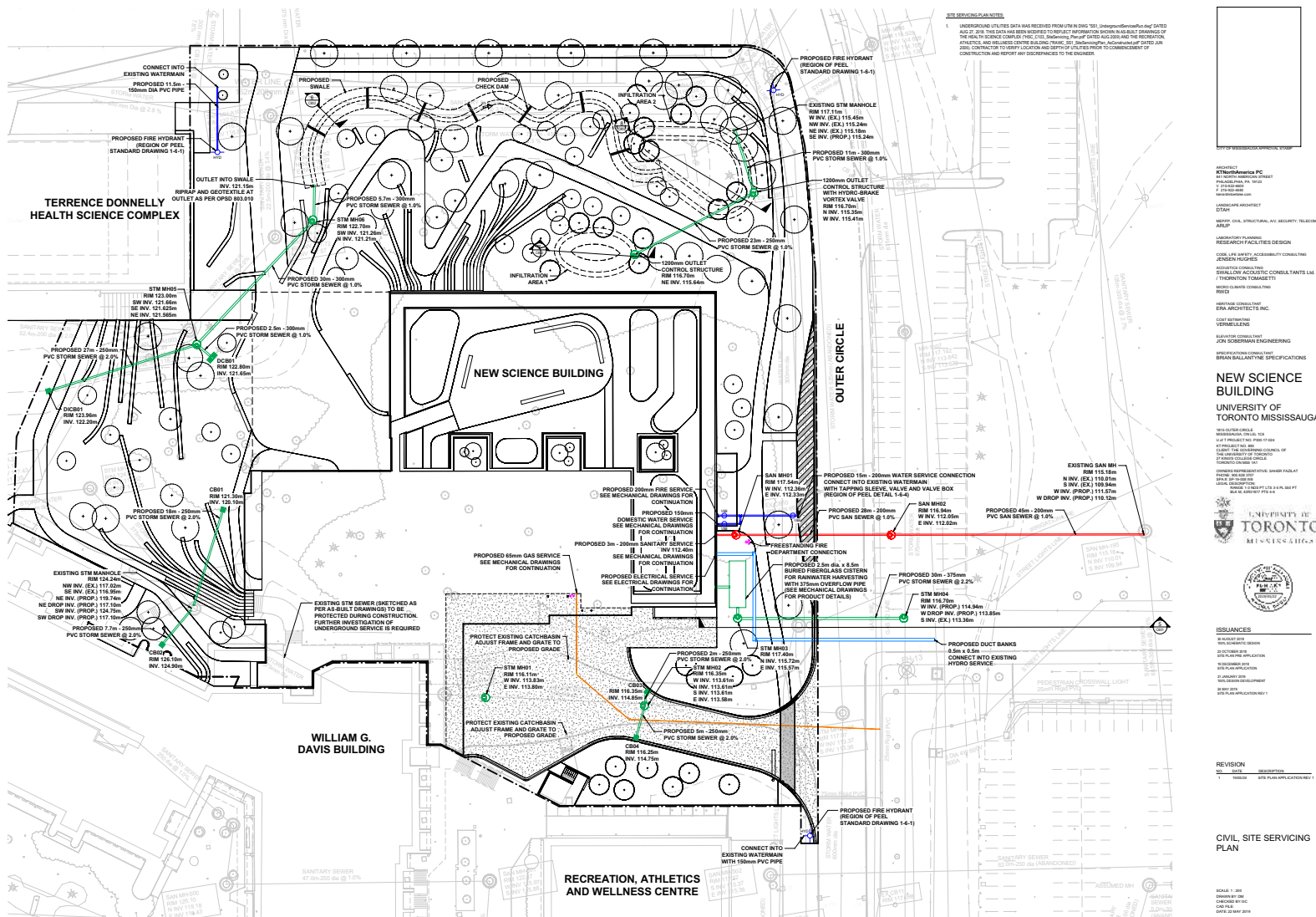


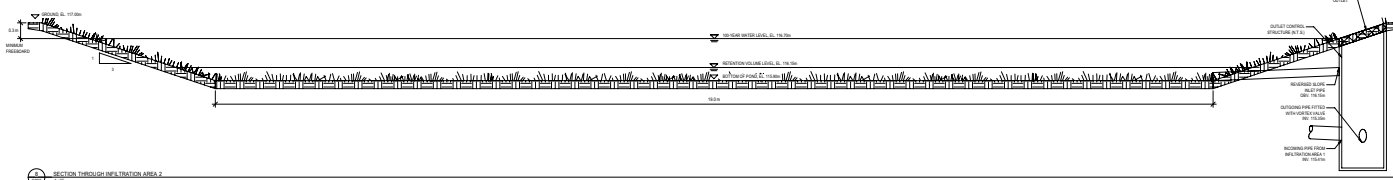
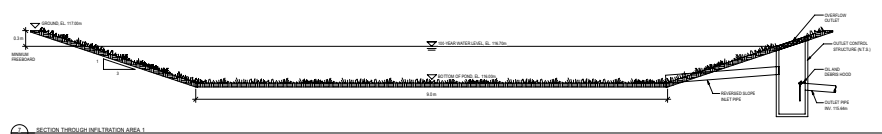
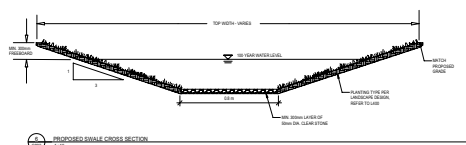
DESIGNED BY
ARCHITECTURAL DESIGN
UNIVERSITY OF TORONTO MISSISSAUGA

REVISED BY
ARCHITECTURAL DESIGN
UNIVERSITY OF TORONTO MISSISSAUGA

CIVIL SITE PLAN

C010
SITE PLAN FOR CONSTRUCTION
NOT FOR CONSTRUCTION





11

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F 219-422-6002
kna@ktna.com

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DTAH
MURPHY, CIVIL, STRUCTURAL, ENV. SECURITY, TELECOM
ARUP

LABORATORY PLANNING
RESEARCH FACILITIES DESIGN

CODE LIFE SAFETY, ACCESSIBILITY CONSULTING
JENSEN HUGHES

ACCREDITED CONSULTING
SMALL-OWN CONSULTANTS L.L.C.
/ THORNTON TOMASETTI

MACRO CLIMATE CONSULTING
RIVERA

HERITAGE CONSULTANT
EVA ARCHITECTS INC.

COST ESTIMATING
VERMILION & ASSOC.

NEW SCIENCE
BUILDING
UNIVERSITY OF
TORONTO MISSISSAUGA

1815 CATER CIRCLE
MISSISSAUGA, ON L4L 1G8
U AT PROJECT NO. P000-17-024
KT PROJECT NO. 880
CLIENT: THE GOVERNING COUNCIL OF
THE UNIVERSITY OF TORONTO
27 KING'S COLLEGE CIRCLE
TORONTO ON M5S 1A1
OWNER'S REPRESENTATIVE: SAHER FAZLAT
PHONE: 905 828 3757
FAX: 905-828-388
LEGAL DESCRIPTION:
RANGE 1-3 NESS PT LTS 2-6 PL 562 PT



ISSUANCES

23 OCTOBER 2018
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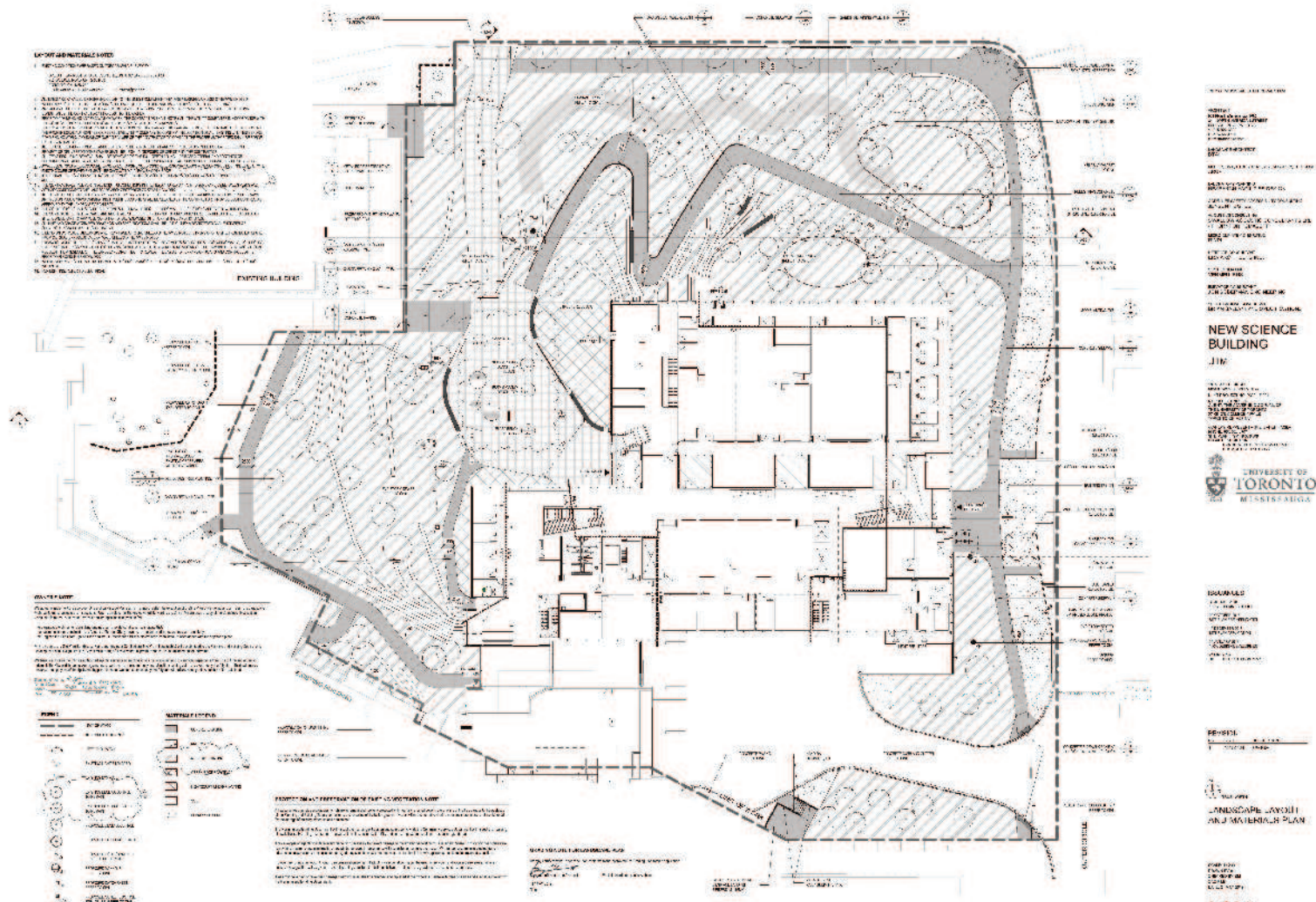
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C802

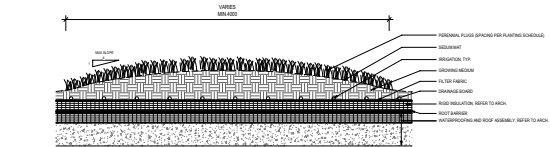
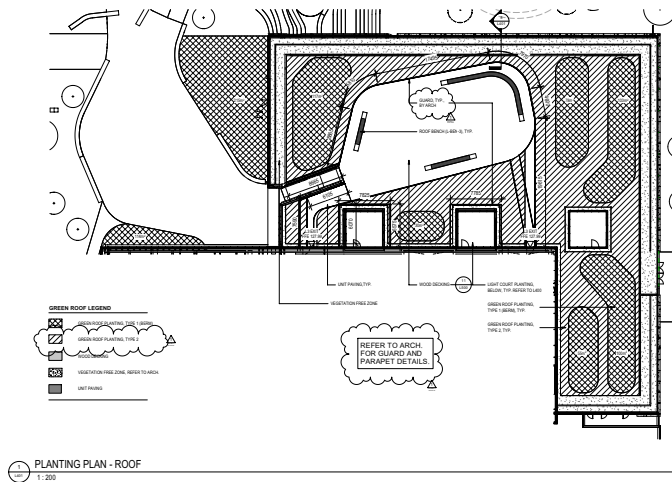
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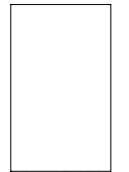
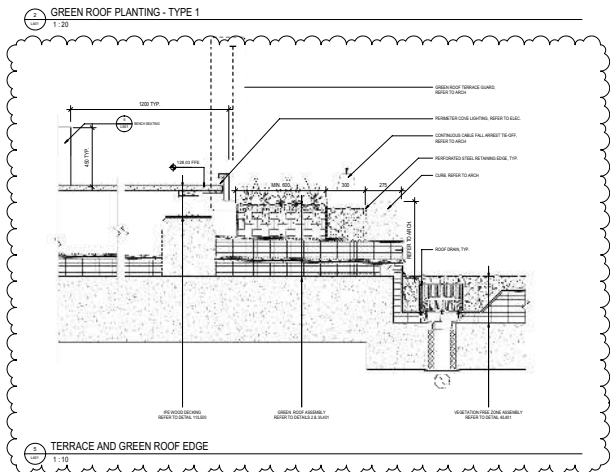
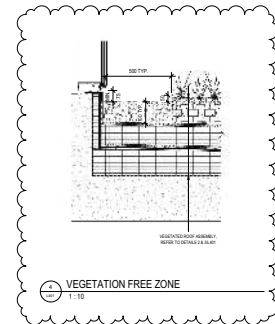
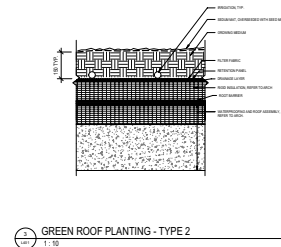


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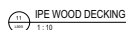
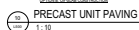
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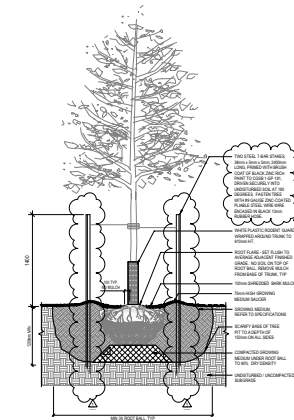
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NEW SCIENCE BUILDING UTM

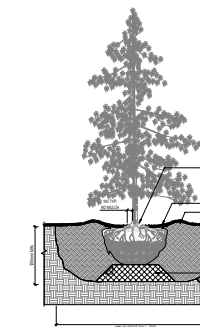
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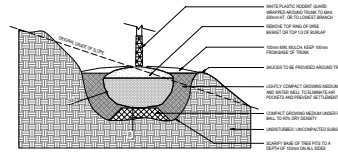


DECIDUOUS TREE PLANTING

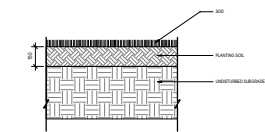


CONIFEROUS TREE PLANTING

- GENERAL TREE PLANTING NOTES**
1. REMOVE ALL DEBRIS AND CONTAMINATED SOIL FROM PLANTING SPACE PRIOR TO PLANTING.
 2. DISPLANTING HOLE TO THE DEPTH OF ROOT BALL SUCH THAT THE TRUNK FLARE IS FLUSH WITH THE PAVING ELEVATION.
 3. TREE WILL BE POSITIONED WITH TRUNK FLARE SLIGHTLY ABOVE FINAL GRADE AND TOP ROOTS NEAR SURFACE. TOP OF ROOT BALL SHOULD NOT BE DISTURBED OR COVERED WITH SOIL.
 4. CUT BURLAP AWAY - DO NOT FOLD DOWN. FOLD WIRE DOWN INTO THE HOLE.
 5. GROWING MEDIUM SHOULD BE LIGHTLY TAMPED ONCE HALF THE PLANTING HOLE IS FILLED, ONCE 2/3 OF DEPTH OF PLANTING PIT HAS BEEN BACKFILLED, FILL REMAINING SPACE WITH WATER. ONCE WATER HAS PENETRATED GROWING MEDIUM, FILL TO FRESH GRADE. SOAK GROWING MEDIUM TO ENSURE FULL CONTACT BETWEEN ROOT BALL AND GROWING MEDIUM.
 6. IN OPEN PLANTING BEDS, A 25-50mm HIGH SAUCER OF SOIL SHOULD BE FORMED AROUND THE EDGE OF THE ROOT BALL.
 7. 100mm MULCH SHOULD BE ADDED ON TOP OF AND AROUND THE ROOT BALL TO A DEPTH NOT EXCEEDING 100mm AND SET A MINIMUM OF 100mm AWAY FROM ROOT FLARE/TRUNK.
 8. PRUNE TO REMOVE DAMAGED BRANCHES. DO NOT REMOVE LEADER. REMOVE ANY CO-DOMINANT STEMS.
 9. REMOVE NURSERY TRUNK WRAP FROM TRUNK AND INSPECT FOR DAMAGE.
 10. AVOID STAKING BALLED OR BURLAPPED TREES. BELOW-GRADE TREE ANCHOR TO BE USED WHERE REQUIRED.
 11. DO NOT DROP, BREAK, CRACK OR COMPACT ROOT BALL.
 12. ROTATE TREE TO ORIENT BEST FACE TOWARD VEHICULAR / PEDESTRIAN ACTIVITY ON SITE.



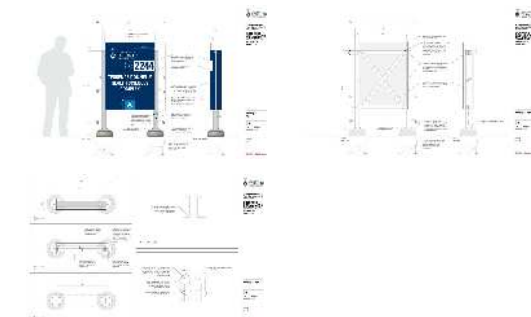
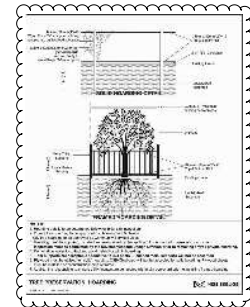
TREE PLANTING ON SLOPE



SOD PLANTING

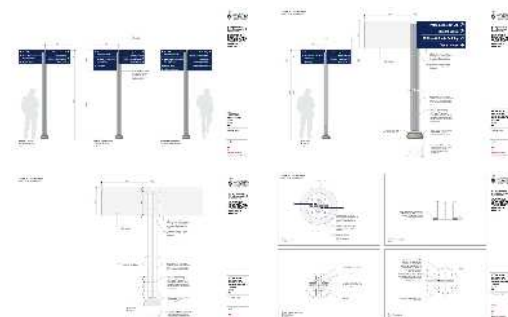


BIKE RACK

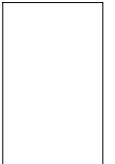


BUILDING ID SIGN - FOR INFORMATION ONLY

- GENERAL SIGNAGE NOTES**
1. SIGNAGE IS FOR REFERENCE ONLY AND SUBJECT TO THE PROVISIONS OF SIGN BY LAW 0054-2002, AS AMENDED, AND A SEPARATE SIGN APPLICATION WILL BE REQUIRED THROUGH THE BUILDING DIVISION.



PEDESTRIAN DIRECTIONAL SIGN - FOR INFORMATION ONLY



ARCHITECT
ATKINS
 1000 SHEPPARD AVENUE EAST
 SUITE 1000
 SCARBOROUGH, ONTARIO M1B 2Y9
 TEL: 416-291-1000
 FAX: 416-291-1001
 WWW.ATKINS.COM

LANDSCAPE ARCHITECT
CTRM
 1000 SHEPPARD AVENUE EAST, SUITE 1000
 SCARBOROUGH, ONTARIO M1B 2Y9
 TEL: 416-291-1000
 FAX: 416-291-1001
 WWW.CTRM.COM

ENGINEERING CONSULTANT
JENSEN HENDERSON
 1000 SHEPPARD AVENUE EAST, SUITE 1000
 SCARBOROUGH, ONTARIO M1B 2Y9
 TEL: 416-291-1000
 FAX: 416-291-1001
 WWW.JHCONSULTANTS.COM

ENGINEERING CONSULTANT
ERA ARCHITECTS INC.
 1000 SHEPPARD AVENUE EAST, SUITE 1000
 SCARBOROUGH, ONTARIO M1B 2Y9
 TEL: 416-291-1000
 FAX: 416-291-1001
 WWW.ERAARCHITECTS.COM

ENGINEERING CONSULTANT
JOHN SOBERMAN ENGINEERING
 1000 SHEPPARD AVENUE EAST, SUITE 1000
 SCARBOROUGH, ONTARIO M1B 2Y9
 TEL: 416-291-1000
 FAX: 416-291-1001
 WWW.JSENG.COM

ENGINEERING CONSULTANT
BRUNN BARNETT CONSULTANTS
 1000 SHEPPARD AVENUE EAST, SUITE 1000
 SCARBOROUGH, ONTARIO M1B 2Y9
 TEL: 416-291-1000
 FAX: 416-291-1001
 WWW.BBCONSULTANTS.COM

NEW SCIENCE BUILDING

UTM

NEW SCIENCE BUILDING
 1000 SHEPPARD AVENUE EAST, SUITE 1000
 SCARBOROUGH, ONTARIO M1B 2Y9
 TEL: 416-291-1000
 FAX: 416-291-1001
 WWW.UTM.COM

UNIVERSITY OF TORONTO
 1000 SHEPPARD AVENUE EAST, SUITE 1000
 SCARBOROUGH, ONTARIO M1B 2Y9
 TEL: 416-291-1000
 FAX: 416-291-1001
 WWW.UTM.COM

ISSUANCES

ISSUANCES

1. SIGNAGE IS FOR REFERENCE ONLY AND SUBJECT TO THE PROVISIONS OF SIGN BY LAW 0054-2002, AS AMENDED, AND A SEPARATE SIGN APPLICATION WILL BE REQUIRED THROUGH THE BUILDING DIVISION.

REVISION

REVISION

1. SIGNAGE IS FOR REFERENCE ONLY AND SUBJECT TO THE PROVISIONS OF SIGN BY LAW 0054-2002, AS AMENDED, AND A SEPARATE SIGN APPLICATION WILL BE REQUIRED THROUGH THE BUILDING DIVISION.

LANDSCAPE DETAILS

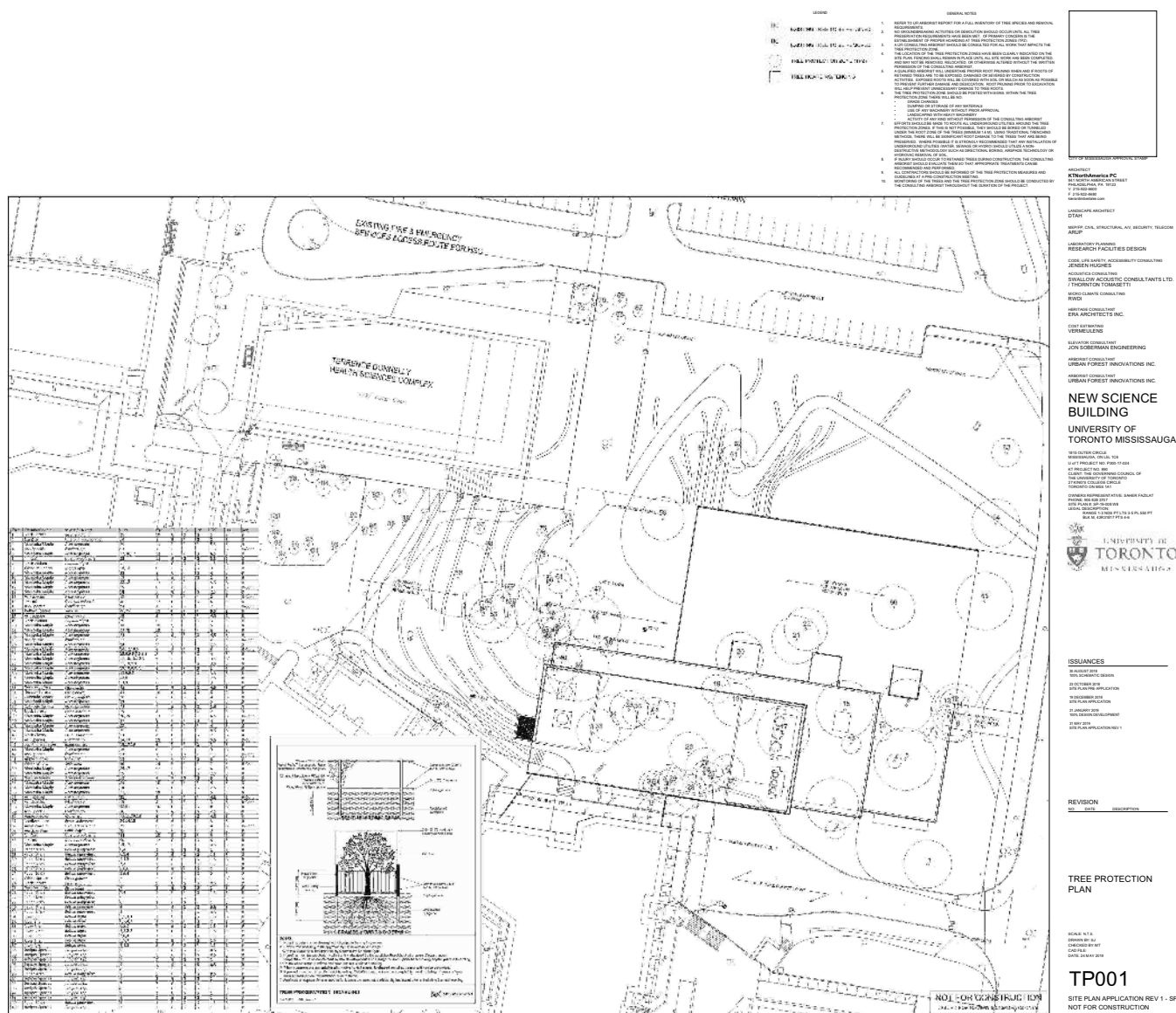
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1:100

L502

SITE PLAN APPLICATION REV 1

NOT FOR CONSTRUCTION






ELEVATOR CONSULTANT
JON SOBERMAN ENGINEERING

ARBORIST CONSULTANT
URBAN FOREST INNOVATIONS INC.

ARBORIST CONSULTANT
URBAN FOREST INNOVATIONS INC.



A000
SITE PLAN APPLICATION REV 1 -
NOT FOR CONSTRUCTION



-
- Site plan showing the location of the new science building and the existing building. The new building is labeled "NEW SCIENCE BUILDING" and is situated adjacent to the existing building. A dashed line indicates the boundary of the site. A north arrow is present, pointing towards the top right. A scale bar is located at the bottom left, labeled "0 10 20 METERS".

NEW SCIENCE
BUILDING
UNIVERSITY OF
TORONTO MISSISSAUGA



20 AUGUST 2018
100% SCHEMATIC DESIGN

23 OCTOBER 2018
SITE PLAN PRE-APPLICATION

19 DECEMBER 2018
SITE PLAN APPLICATION

21 JANUARY 2019
100% DESIGN DEVELOPMENT

24 MAY 2019

REVISION		
NO.	DATE	DESCRIPTION
1	10/10/2018	Initial revision
2	11/10/2018	Final revision



 DEMO FLOOR PLAN -
 LEVEL 1

SCALE As indicated
0 = never; 1 = sometimes;
2 = often

A101

SITE PLAN APPLICATION REV 1 - SITE
NOT FOR CONSTRUCTION



- DEMOLITION LEGEND**
- | | |
|---|--|
|  | EXD-BEAM TO REMAIN |
|  | REMOVE EXD WALLELEMENT |
|  | EXD-DOOR TO REMAIN |
|  | REMOVE DOOR |
|  | LIMITED SCOPE OF WORK LINE |
|  | EXD-FLOOR TO REMAIN |
|  | REMOVE FLOOR FIN ARCH TOPPING SLAB AND STR SLAB - SEE S-B SERIES FOR SCOPE OF WORK |
|  | REMOVE CEILING |
|  | CLEAN AND REPAIR CONC THAT WAS PREVIOUSLY BELOW GRADE |
|  | NOT IN CONTRACT |

11

ARCHITECT
KTNorthAmerica PC
841 NORTH AMERICAN STREET
PHILADELPHIA, PA. 19123
V. 215-622-8900

LANDSCAPE ARCHITECT
DTAM

LABORATORY PLANNING
RESEARCH FACILITIES DESIGN
CODE, LIFE SAFETY, ACCESSIBILITY CONSULTING

ACOUSTICS CONSULTING
SWALLOW ACOUSTIC CONSULTANTS LTD
/ THORNTON TOMASETTI
MACRO CLIMATE CONSULTING
RWDI

COST ESTIMATING
VERMEULENS

JON SOBERMAN ENGINEERING
ASSISTANT CONSULTANT
URBAN FOREST INNOVATIONS INC.

NEW SCIENCE
BUILDINGUNIVERSITY OF
TORONTO MISSISSAUGA

UFT PROJECT NO. P90-17-626
KT PROJECT NO. 880
CLIENT: THE GOVERNING COUNCIL OF
THE UNIVERSITY OF TORONTO
27 KING'S COLLEGE CIRCLE

OWNER REPRESENTATIVE: SAKER FAZLAT
PHONE: 905-828-3757
3756 PLANE E, 3P-19-028/038
LEGAL DESCRIPTION:
RANGE 1-3 N2S PT L23 3-6 PL S32 PT
BLK M, C2C2517 P23 4-6


UNIVERSITY OF
TORONTO

ASSOCIATES

[Handwritten signature]

ISSUANCES

23 OCTOBER 2018
SITE PLAN PRE-APPLICATION

19 DECEMBER 2018
SITE PLAN APPLICATION

26 MAY 2019
SITE PLAN APPLICATION REV 1

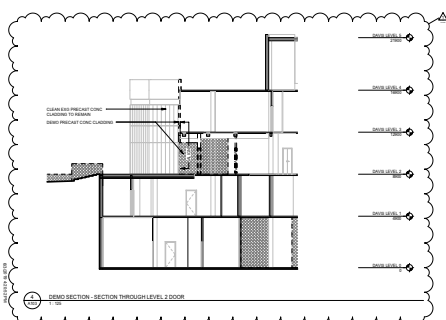
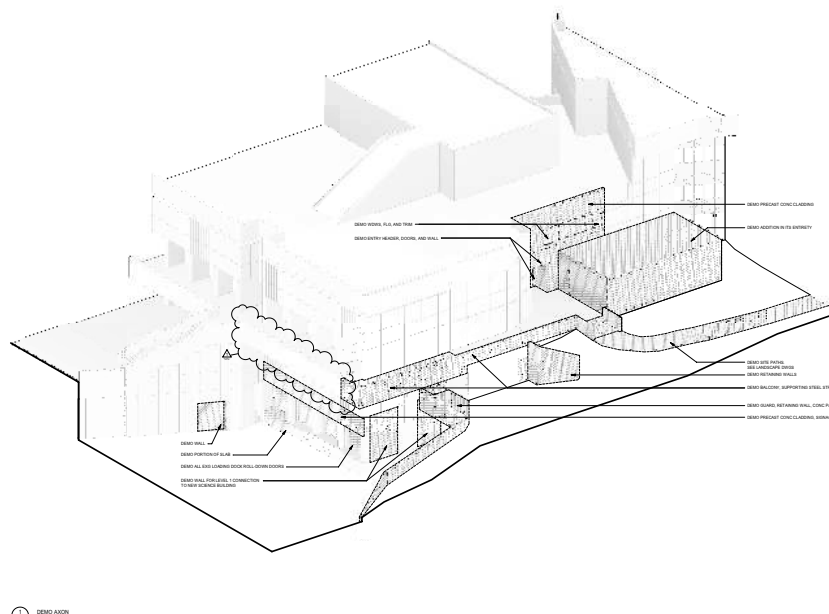
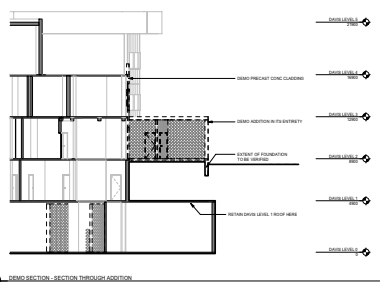
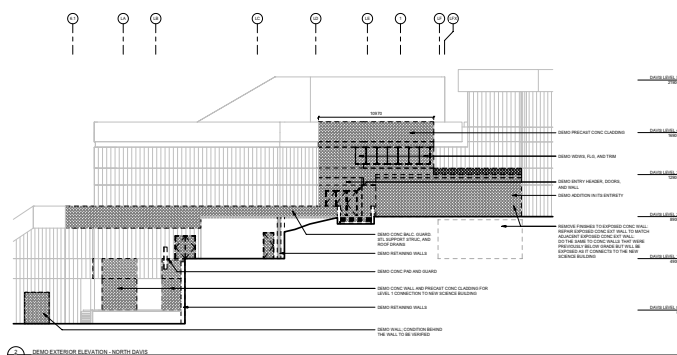
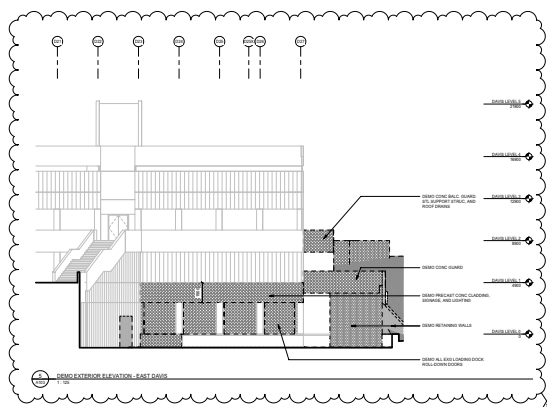
REVISION		
NO.	DATE	DESCRIPTION
1	03/01/2014	ISSUED

DEMO FLOOR PLAN -
LEVEL 2-4

②

DRAWN BY: PS
CHECKED BY: THNS
CAD FILE:
DATE: 24 MAY 2019

A102
SITE PLAN APPLICATION REV 1 - S

[illegible]

ARCHITECT
KTNorthAmerica PC
1000 PENNSYLVANIA AVENUE STREET
PHILADELPHIA, PA. 19102
TEL 215-582-1000
F 215-582-6880
www.ktnorthamerica.com

LANDSCAPE ARCHITECT
CTAM
4000 CAMP STRUCTURAL, AV. SECURITY, TELECOM
ARIZONA

LABORATORY PLANNING
RESEARCH FACILITIES DESIGN

CODE LIFE SAFETY ACCESSIBILITY COMPLIANCE
JEROME HUGHES

ACOUSTICS CONSULTANT
**SWALLOW ACOUSTIC CONSULTANTS LTD
T HORTON CO TOMASSETTI**

MERCER/GRANT CONSULTING
RWCD

INTERIORS CONSULTANT
ERA ARCHITECTS INC.

COST ESTIMATING
VERMEULEN

ELEVATION CONSULTANT
JON SOBERMAN ENGINEERING

PROJECT CONSULTANT
FOREST INNOVATIONS INC.

NEW SCIENCE
BUILDING
UNIVERSITY OF
TORONTO MISSISSAUGA

1816 OYSTER CIRCLE
MISSISSAUGA, ON L4L 1G8
U AT PROJECT NO. P880-17-026
KT PROJECT NO. 880
CLIENT: THE GOVERNING COUNCIL OF
THE UNIVERSITY OF TORONTO
27 KING'S COLLEGE CIRCLE
TORONTO ON M5S 1A1
OWNER'S REPRESENTATIVE: SUEHER FAZLA
PHONE: 905 828 2717
FAX: 905 828 2717
LEGAL DESCRIPTION:
RANGE 1-3 N20E PL T12S 2-6 PL S32 P1



ISSUANCES

20 AUGUST 2018
100% SCHEMATIC DESIGN

23 OCTOBER 2018
SITE PLAN PRE-APPLICATION

19 DECEMBER 2018
SITE PLAN APPLICATION

21 JANUARY 2019
100% DESIGN DEVELOPMENT

24 MAY 2019

REVISION

NO	DATE	DESCRIPTION
1	18/04/24	SPRINT 1

DEMO AXON, SECTION
& ELEVATION

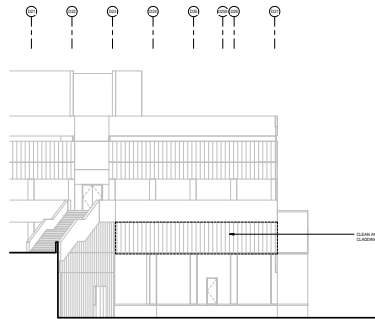
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CHECKED BY: THOMAS
CAD FILE:
DATE: 24 MAY 2018

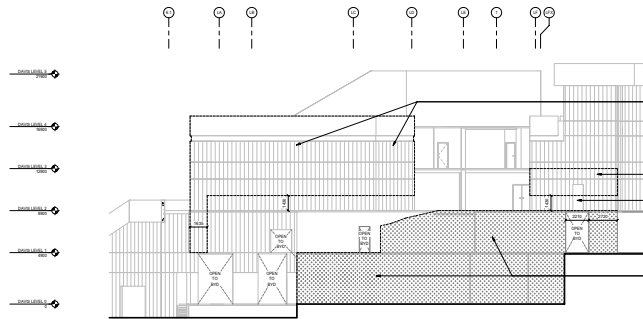
A103

SITE PLAN APPLICATION REV 1 - SF
NOT FOR CONSTRUCTION

A103

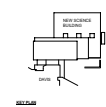


RESTORATION EXTERIOR ELEVATION - EAST SIDE



RESTORATION EXTERIOR ELEVATION - NORTH SIDE

- GENERAL NOTES:**
1. REMOVE EXISTING CONCRETE AND REINFORCEMENT TO EXPOSE ALL STRUCTURAL ELEMENTS AND REINFORCEMENT TO REMAIN.
 2. REMOVE EXISTING CONCRETE AND REINFORCEMENT TO EXPOSE ALL STRUCTURAL ELEMENTS AND REINFORCEMENT TO REMAIN.
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 10. REMOVE EXISTING CONCRETE AND REINFORCEMENT TO EXPOSE ALL STRUCTURAL ELEMENTS AND REINFORCEMENT TO REMAIN.
- LEGEND:**
- EXISTING CONCRETE
 - EXISTING REINFORCEMENT
 - REMOVE EXISTING CONCRETE
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UNIVERSITY OF TORONTO

NEW SCIENCE BUILDING

UNIVERSITY OF TORONTO MISSISSAUGA

ISSUANCES

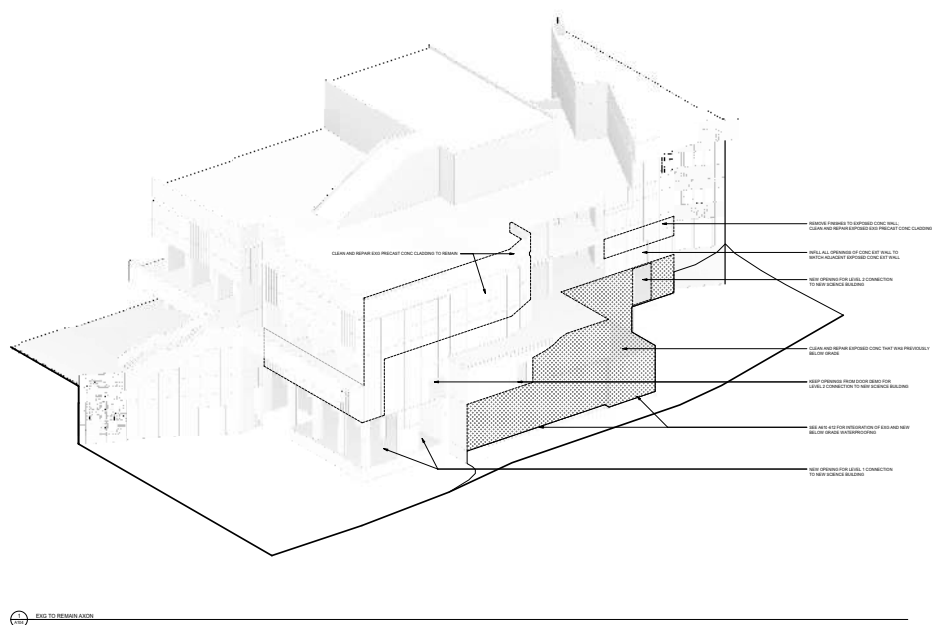
REVISION

RESTORATION AXON & ELEVATION

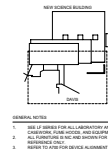
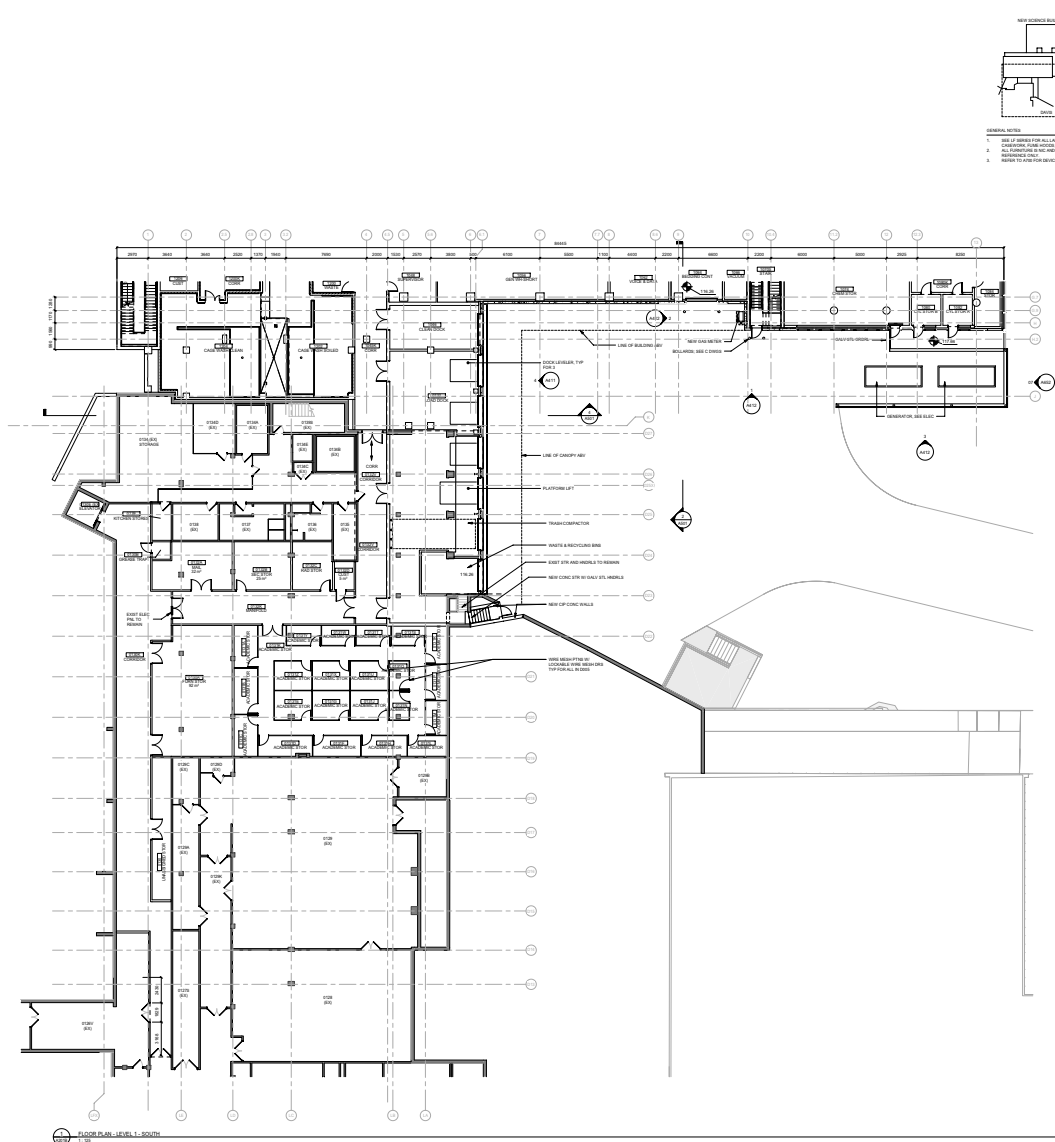
A104

SITE PLAN APPLICATION REV 1 - SP

NOT FOR CONSTRUCTION



END TO REMAIN AXON



GENERAL NOTES:
1. SEE ALL NOTES FOR ALL LABORATORY AND KIT
2. ALL EQUIPMENT AND MATERIALS TO BE PROVIDED BY THE USER
3. REFER TO ANY FOR DEVICE ALLOCATION

NO.	DESCRIPTION	QTY	UNIT
1	LABORATORY EQUIPMENT	1	UNIT
2	LABORATORY EQUIPMENT	1	UNIT
3	LABORATORY EQUIPMENT	1	UNIT
4	LABORATORY EQUIPMENT	1	UNIT
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98	LABORATORY EQUIPMENT	1	UNIT
99	LABORATORY EQUIPMENT	1	UNIT
100	LABORATORY EQUIPMENT	1	UNIT

UNIVERSITY OF TORONTO
MISSISSAUGA

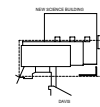
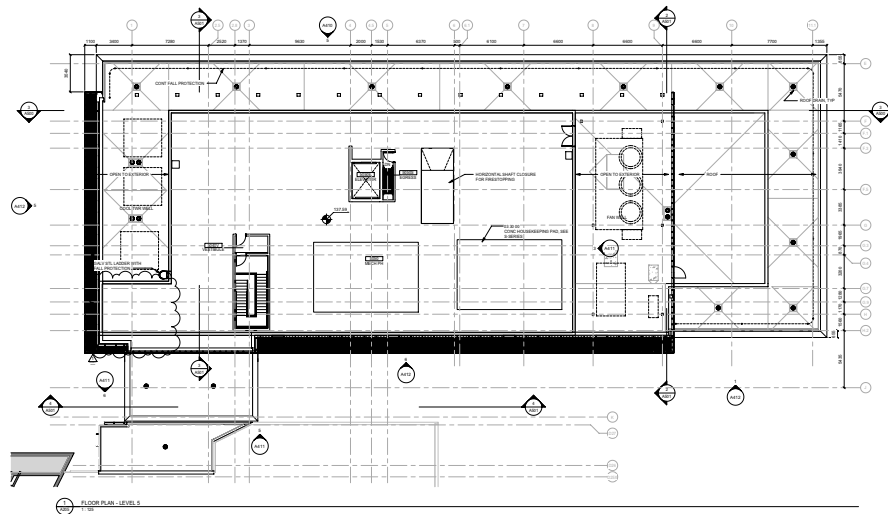
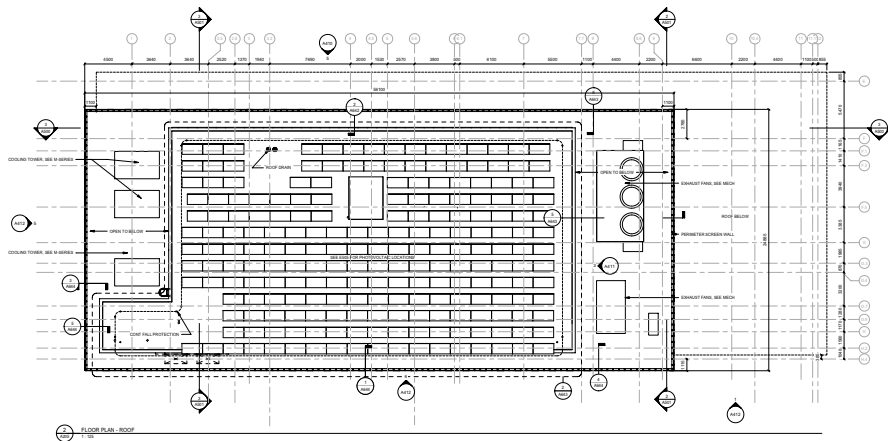
NEW SCIENCE BUILDING
UNIVERSITY OF TORONTO MISSISSAUGA

ISSUANCES

REVISION

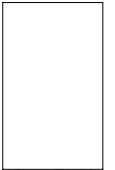
FLOOR PLAN - LEVEL 1 SOUTH

A201B
SITE PLAN APPLICATION REV 1 - SP
NOT FOR CONSTRUCTION



GENERAL NOTES
1. SEE NOTES FOR ALL LABORATORY AND NOT
2. ALL ROOMS IN THIS AND ADJACENT
3. ROOMS TO AVOID FOR DEVICE ALLOCATION

REVISION	DATE	BY	CHKD	APPD
1	2018-01-10	...	...	...
2	2018-01-10	...	...	...
3	2018-01-10	...	...	...
4	2018-01-10	...	...	...
5	2018-01-10	...	...	...



ARCHITECT
KTH Architecture PC
1000 UNIVERSITY AVENUE
TORONTO, ONTARIO M5S 1A5
TEL: 416-593-8888
WWW.KTHARCHITECT.COM

ARCHITECT
KTH Architecture PC
1000 UNIVERSITY AVENUE
TORONTO, ONTARIO M5S 1A5
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UNIVERSITY OF
TORONTO MISSISSAUGA

NEW SCIENCE BUILDING
UNIVERSITY OF TORONTO MISSISSAUGA
1000 UNIVERSITY AVENUE
TORONTO, ONTARIO M5S 1A5
TEL: 416-593-8888
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UNIVERSITY OF TORONTO MISSISSAUGA
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TORONTO, ONTARIO M5S 1A5
TEL: 416-593-8888
WWW.KTHARCHITECT.COM

NEW SCIENCE BUILDING
UNIVERSITY OF TORONTO MISSISSAUGA
1000 UNIVERSITY AVENUE
TORONTO, ONTARIO M5S 1A5
TEL: 416-593-8888
WWW.KTHARCHITECT.COM

ISSUANCES
1. SITE PLAN APPLICATION
2. SITE PLAN APPLICATION
3. SITE PLAN APPLICATION
4. SITE PLAN APPLICATION
5. SITE PLAN APPLICATION

REVISION
NO. DATE DESCRIPTION
1. 2018-01-10 SITE PLAN APPLICATION
2. 2018-01-10 SITE PLAN APPLICATION
3. 2018-01-10 SITE PLAN APPLICATION
4. 2018-01-10 SITE PLAN APPLICATION
5. 2018-01-10 SITE PLAN APPLICATION

NEW SCIENCE BUILDING
UNIVERSITY OF TORONTO MISSISSAUGA
1000 UNIVERSITY AVENUE
TORONTO, ONTARIO M5S 1A5
TEL: 416-593-8888
WWW.KTHARCHITECT.COM

NEW SCIENCE BUILDING
UNIVERSITY OF TORONTO MISSISSAUGA
1000 UNIVERSITY AVENUE
TORONTO, ONTARIO M5S 1A5
TEL: 416-593-8888
WWW.KTHARCHITECT.COM

NEW SCIENCE BUILDING
UNIVERSITY OF TORONTO MISSISSAUGA
1000 UNIVERSITY AVENUE
TORONTO, ONTARIO M5S 1A5
TEL: 416-593-8888
WWW.KTHARCHITECT.COM

A205
SITE PLAN APPLICATION REV 1 - SP
NOT FOR CONSTRUCTION



SITE PLAN APPLICATION REV
NOT FOR CONSTRUCTION







A diagram of a 2D coordinate system. The horizontal axis is labeled 1 and 2, and the vertical axis is labeled 3 and 4. A point is labeled 5. The origin is marked with a small square.

CITY OF MASSACHUSETTS APPROVAL STAMP

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ARUP

CODE, LIFE SAFETY, ACCESSIBILITY CONSULTING
JENNIFER M. SCHWAB

J. THORNTON TORRIS ET AL.

ERA ARCHITECTS INC.

ELEVATOR CONSULTANT
JON KOFFMAN ENGINEERING

אשר חתם ביום הזה

NEW SCIENCE

UNIVERSITY OF

MISSISSAUGA, ON L4L 5C6

THE UNIVERSITY OF TORONTO
27 KING'S COLLEGE CIRCLE
TORONTO, ONTARIO M5S 1A5

LÉGAL DESCRIPTION:
RANGÉ 1-2 NOIR PT 1,73-2-6 PL 100 PT

TORONTO

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1857

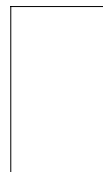
ISSUANCES
 75 AUGUST 2008

29 DECEMBER 2018

DE NIEUW ZIEKENHUIS
 www.ziekenhuisdordrecht.nl

DESIGN BY JF
CHECKED BY TH

A412



NEW SCIENCE
BUILDING
UNIVERSITY OF
TORONTO MISSISSAUGA

9615 OUTER CIRCLE
MISSISSAUGA, ON L5L 1C8
U AT PROJECT NO. P300-17-028
KT PROJECT NO. 880
CLIENT: THE GOVERNING COUNCIL OF
THE UNIVERSITY OF TORONTO
27 KENNEDY COLLEGE CIRCLE
TORONTO ON M5S 1A1
OWNER'S REPRESENTATIVE: ZAHER FAZLA
PHONE: 905-826-2757
3175 PLAN E: 3P-19-028-03
LEGAL DESCRIPTION:
RANGE 1-2-1628 PT L3 3-6 PL 552 PT



ISSUANCES

20 AUGUST 2018
100% SCHEMATIC DESIGN

23 OCTOBER 2018
SITE PLAN PRE-APPLICATION

19 DECEMBER 2018
SITE PLAN APPLICATION

21 JANUARY 2019
100% DESIGN DEVELOPMENT

26 MAY 2019

REVISION		
NO.	DATE	DESCRIPTION



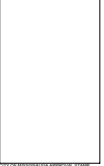
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DRAWN BY: AD
CHECKED BY: TH
CADD FILE:
DATE: 24 MAY 2019

A652

SITE PLAN APPLICATION REV 1 - SP
NOT FOR CONSTRUCTION

GENERAL LIGHTING NOTES

1. ONLY ILLUMINATED EXTERIOR LIGHT FIXTURES SHALL BE USED EXCEPT AS SHOWN OR OTHERWISE INDICATED. ALL LIGHTING SHALL BE COMPLETED WITHIN THE DESIGN BUILDING CONSTRUCTION PROGRAM AND SHALL BE SUBJECT TO THE UNIVERSITY OF TORONTO'S LIGHTING DESIGN HANDBOOK FOR LIGHTING DESIGN.



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 411 NORTH HURONTARIO STREET
 MISSISSAUGA, ON L4Y 1P8
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LANDSCAPE ARCHITECT
CCOOP

MEP/ELECTRICAL/STRUCTURAL/SECURITY/TELECOM
ARUP

LANDSCAPE PLANNING
RESEARCH FACILITIES DESIGN

CODE LIFE SAFETY/ACCESSIBILITY CONSULTANT
JENSEN HENDERSON

ACoustics CONSULTANT
STRAHLER & ASSOCIATES CONSULTANTS LTD.

7 TRINITY DRIVE TORONTO, ONTARIO
STRAHLER & ASSOCIATES CONSULTANTS LTD.

LANDSCAPE CONSULTANT
ERA ARCHITECTS INC.

CODE INSPECTOR
JON SCHIRMANN ENGINEERING

APPROVAL CONSULTANT
BRAND BALLANTINE THE SPECIFICATIONS

NEW SCIENCE BUILDING

UNIVERSITY OF TORONTO MISSISSAUGA

NEW SCIENCE BUILDING
 UNIVERSITY OF TORONTO MISSISSAUGA
 1000 SHEPPARD AVENUE EAST, SUITE 100
 MISSISSAUGA, ONTARIO L4Y 1P8
 PROJECT NO. 1000-01-001
 DESIGN NO. 1000-01-001-001
 PROJECT NO. 1000-01-001-001
 DESIGN NO. 1000-01-001-001
 PROJECT NO. 1000-01-001-001
 DESIGN NO. 1000-01-001-001



ISSUANCES

NO.	DATE	DESCRIPTION
1	2018-01-10	ISSUED FOR PERMIT APPLICATION
2	2018-01-10	ISSUED FOR PERMIT APPLICATION
3	2018-01-10	ISSUED FOR PERMIT APPLICATION
4	2018-01-10	ISSUED FOR PERMIT APPLICATION
5	2018-01-10	ISSUED FOR PERMIT APPLICATION

REVISION

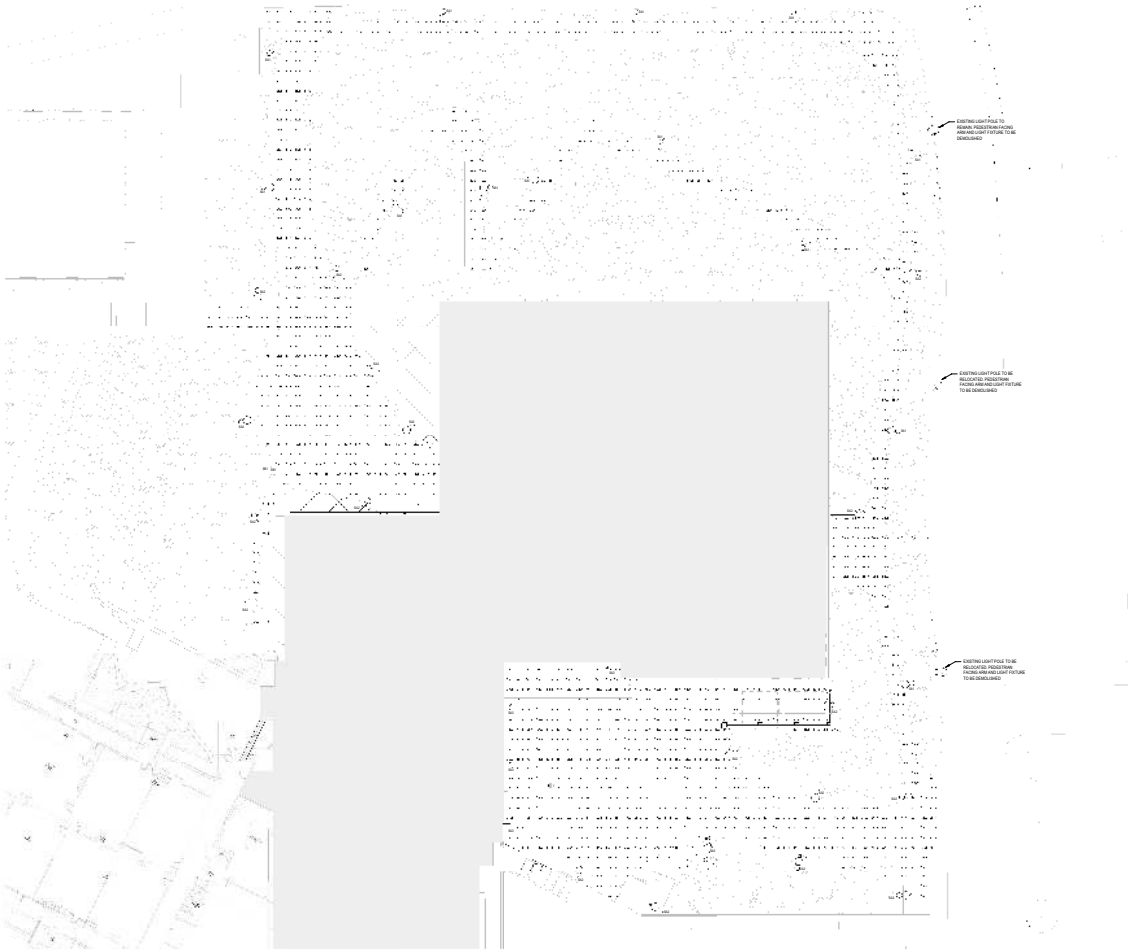
NO.	DATE	DESCRIPTION
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LIGHTING, SITE PLAN

SCALE: 1:100
 DRAWN BY: JAC
 CHECKED BY: JAC
 DATE: 2018-01-10

E020

SITE PLAN APPLICATION REV 1
 NOT FOR CONSTRUCTION



1000-01-001-001 LIGHTING SITE PLAN



11

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TORONTO MISSISSAUGA



20 AUGUST 2018	100% SCHEMATIC DESIGN
23 OCTOBER 2018	SITE PLAN Pkg. APPLICATION
19 DECEMBER 2018	SITE PLAN APPLICATION
31 JANUARY 2019	100% DESIGN DEVELOPMENT
24 MAY 2019	SITE PLAN APPLICATION

REVISION		
NO.	DATE	DESCRIPTION
1	7/20/20	2020 PLAN APPLICATION REV

LIGHTING, TERRACE
PLAN

SCALE: 1:100
DRAWN BY: HQ
CHECKED BY: JIV
CAD FILE:
DATE: 22 MAY 2015

E021

SITE PLAN APPLICATION REV 1
NOT FOR CONSTRUCTION

LUMINAIRE SCHEDULE - EXTERIOR										
TAG	VOLTAGE	WATTAGE	Count	COLOR TEMPERATURE	LUMEN OUTPUT	BASES OF DESIGN MANUFACTURER		CATALOG NO.	MOUNTING	FIXTURE DESCRIPTION
S01	120	30W	3	4000K	600LM	SEACOR	APPROXIMATE	100-36-10-0170 100-36-10-0170	POA (DOWNCAST)	20' EXPOSED TIE IN 10' EXPOSED TIE IN 30' 30'
S02	120	30W	7	4000K	600LM	SEACOR	APPROXIMATE	100-36-10-0170 100-36-10-0170	POA (DOWNCAST)	20' EXPOSED TIE IN 10' EXPOSED TIE IN 30' 30'
S03	120	30W	7	4000K	600LM	SEACOR	APPROXIMATE	100-36-10-0170 100-36-10-0170	POA (DOWNCAST)	20' EXPOSED TIE IN 10' EXPOSED TIE IN 30' 30'

1. ONLY SHIELDED EXTERIOR LIGHTING FIXTURES WILL BE USED EXCEPT AS REQUIRED FOR COMPLIANCE WITH THE ONTARIO BUILDING CODE AND/OR THE RECOMMENDATIONS OF THE ILLUMINATING ENGINEERING SOCIETY OF NORTH AMERICA (IESNA) LIGHTING HANDBOOK FOR USE AND/OR ACTIVITIES.

1. ONLY SHIELDED EXTERIOR LIGHTING FIXTURES WILL BE USED EXCEPT AS REQUIRED FOR COMPLIANCE WITH THE ONTARIO BUILDING CODE AND/OR THE RECOMMENDATIONS OF THE ILLUMINATING ENGINEERING SOCIETY OF NORTH AMERICA (IESNA) LIGHTING HANDBOOK FOR USE AND/OR ACTIVITIES.

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LABORATORY PLANNING
RESEARCH FACILITIES DESIGN

COSL LINE SERVICE/ ACCESSIBILITY CONSULTANTS
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ACQUISITION CONSULTING
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/ THORNTON TOMASETTI

MAGNET LENSING CONSULTANT
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HEAVYBUILT CONSULTANT
ERA ARCHITECTS INC.

COST ESTIMATING
VERMUELEN

ELEVATION CONSULTANT
JOE SOBERMAN ENGINEERING

SPECIFICATIONS CONSULTANT
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NEW SCIENCE
BUILDING
UNIVERSITY OF
TORONTO MISSISSAUGA

1815 OUTER CIRCLE
MISSISSAUGA, ON L4L 1G8
U of T PROJECT NO. P300-17-024
KT PROJECT NO. 880
CLIENT: THE GOVERNING COUNCIL OF
THE UNIVERSITY OF TORONTO
27 KING'S COLLEGE CIRCLE
TORONTO ON M5S 1A1
CONCRETE REPRESENTATIVE: SAHER FAZLAT
PHONE: 905 828 3757
SPRINK: SP-19-028-000
LEGAL DESCRIPTION:
RANGE 1-1 NE25 PT L7S 3-6 PL 562 PT



ISSUANCES

30 AUGUST 2018
100% SCHEMATIC DESIGN

23 OCTOBER 2018
SITE PLAN PING APPLICATION

19 DECEMBER 2018
SITE PLAN APPLICATION

31 JANUARY 2019
100% DESIGN DEVELOPMENT

26 MAY 2019

REVISION		
NO.	DATE	DESCRIPTION
1	11/05/06	SITE PLAN APPLICATION REV 1

LUMINAIRE SCHEDULE

SCALE:
DRAWN BY: BT
CHECKED BY: SV
CAD FILE:
DATE: 09/09/2009

E901

Appendix D Arborist Report - Urban Forest Innovations Inc.

Arborist Report

University of Toronto Mississauga
Mississauga, Ontario

December 17, 2018

Prepared for:

Kieran Timberlake
Attn: Rachel Stoudt
841 North American Street
Philadelphia PA 19123

Prepared by:

Urban Forest Innovations Inc.
1331 Northaven Drive
Mississauga, ON L5G 4E8



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NB: This Arborist Report has been prepared using the latest drawings and information provided by the client and/or agents and may be intended for inclusion in a site plan approval or similar planning submission. Any subsequent design or site plan changes affecting trees may require revisions to this report. New drawings and information should be provided to UFI prior to report submission to municipal planning authorities.

Links (URLs) provided to web-based resources are current to the date of the report.

Introduction

Urban Forest Innovations Inc. (UFI) has been requested to prepare an arborist report for the proposed development at University of Toronto Mississauga, in Mississauga, Ontario. This report reviews the potential impacts of the proposed site works upon trees within or close to the limits of disturbance, and outlines required and recommended tree protection measures and regulatory requirements associated with the proposed development.

In total, 100 trees are addressed in this report. The tree inventory is provided in Appendix 1. Selected photographs are provided in Appendix 2. A tree protection plan is provided in Appendix 3.

This report should be read in conjunction with all other servicing, grading and landscaping plans prepared for the project.

Field Observations

Field observations were made on November 7, 2018 and November 16, 2018 by Daniel Chevalier, ISA Certified Arborist ON-2353A. There was no construction activity on the site at the time of the field observations. Subject site trees and off-site trees within 6 meters of the potential limits of disturbance are included in the inventory. Tree diameter was measured at 1.4 metres above grade (DBH) and trees were assessed for health, structure and risk potential. A full explanation of tree assessment categories is included in Appendix 1 – Tree Inventory. No trees were tagged as part of this inventory.

Results and Discussion

This section of the report outlines the key issues related to the proposed works from an arboricultural and tree preservation perspective. Specific recommendations regarding tree protection are outlined. General recommendations are also provided in Appendix 4.

By-laws and Legislation

By-laws and legislation enacted by the City of Mississauga and/or the Province of Ontario regulate the injury or destruction of trees depending upon their location, size and other factors.

Private Tree Protection By-law

The City of Mississauga's Private Tree Protection By-law (0254-2012) regulates the injury and destruction of certain privately-owned trees. Pursuant to this by-law, removal or injury of more than 2 healthy trees with a diameter at breast height (dbh) of over 15 cm per calendar year requires a permit. Removal or injury of trees less than 15 cm in diameter, or removal or injury of one or two trees greater than 15 cm dbh per year does not require a permit.

43 inventoried trees (#1, 3, 5, 6, 9, 11-13, 15, 18-23, 33-42, 44-46, 49-53, 55, and 56, 59-66) are regulated by the City of Mississauga's Private Tree Protection By-law (0254-2012).

Detailed information about the Private Tree Protection by-law can be found online at:

http://www.mississauga.ca/portal/residents/urbanforestry?paf_gear_id=9700018&itemId=300012

Boundary Trees – Ontario Forestry Act, R.S.O. 1990

The Provincial *Forestry Act, R.S.O. 1990* states:

10. (2) Every tree whose trunk is growing on the boundary between adjoining lands is the common property of the owners of the adjoining lands. 1998, c. 18, Sched. I, s. 21.
- (3) Every person who injures or destroys a tree growing on the boundary between adjoining lands without the consent of the land owners is guilty of an offence under this Act. 1998, c. 18, Sched. I, s. 21.

No inventoried trees appear to be growing on the boundary between the subject site and the adjacent properties.

Endangered, Rare or Protected Species

No endangered, rare or otherwise protected tree species were observed on or adjacent to the site.

General Work Plan

The proposed site works include the construction of a new science building and associated hardscape surfaces.

Tree Removal

Tree removal will be necessary to facilitate the proposed works. Recommendations for tree removal are based upon consideration of the anticipated impacts upon trees due to implementation of the proposed works, the immediate and forecasted health and structural condition of the tree, and the ability of the tree to make continued contributions to the newly modified landscape.

Site Works

The proposed site works and associated landscape modifications will require the removal of 71 trees on the subject site:

- Trees #1-3, 5-11, 13, 15, 17-22, 24, 26-38, 40-43, 45, 46, 48, 50-55, 58-61, 63-70, 73-82, and 88-91.

Condition

13 inventoried trees are recommended for removal for reasons unrelated to the proposed works:

- Trees #4, 14, 16, 23, 44, and 56 are ash species (*Fraxinus* sp.) and were assessed as being in declining health with symptoms of emerald ash borer (*Agrilus planipennis*) infestation at the time of field observations. The trees are recommended for removal prior to the commencement of site works.
- Trees #47 and 57, both 13cm diameter ash species (*Fraxinus* sp.), were assessed as standing dead at the time of field observations. The trees are recommended for removal prior to the commencement of site works.
- Trees #12, 25, 39, 49, and 62 were assessed as being in declining health at the time of field observations. The trees are recommended for removal prior to the commencement of site works.

Tree Retention

All other trees addressed in this report are proposed for retention. This section outlines specific tree protection measures for retained trees. General tree protection recommendations and specifications are found in Appendix 4.

Tree Protection

All trees to be retained within or adjacent to the limits of project works are designated for Protection. Retained trees in proximity to the proposed works shall be protected behind tree preservation fencing that satisfies minimum required distances for each tree, as specified in Appendix 1, and in configurations as shown in Appendix 3. Fencing is to be established in advance of all proposed works, including but not limited to material and equipment delivery, staging and storage, hardscape destruction, excavation and groundbreaking work, and new construction activity.

Specifications for the establishment of protection fencing are outlined further in Appendix 4 – Section 4.2.1.1 (pg. 13).

Tree Risk and Required Tree Maintenance

At the time of inspection, there were no immediate risks posed by any trees on the subject site.

By-law and Permit Requirements

In total, 45 privately-owned trees greater than 15 cm dbh are proposed for removal:

- Trees #1, 3, 5, 6, 9, 11, 13, 15, 17-22, 33-38, 40-42, 45, 46, 50-53, 55, 58-61, and 63-66, for removal due to proposed works.
- Trees #12, 23, 39, 44, 49, 56, and 62, for removal due to poor condition.

An *Application to Permit the Injury or Destruction of Trees on Private Property* and a *Tree Injury or Destruction Questionnaire and Declaration* may be required to enable the proposed removals and injuries.

The City's *Application to Permit the Injury or Destruction of Trees on Private Property* form can be found online at:

http://www7.mississauga.ca/documents/FormsOnline/Form_2205_Permit_Destroy_Trees.pdf

The City of Mississauga's *Tree Injury or Destruction Questionnaire and Declaration* form can be found online at: <http://www7.mississauga.ca/Documents/FormsOnline/2206.pdf>

Conclusion

There are 100 trees associated with the proposed development at University of Toronto Mississauga, in Mississauga, Ontario. The proposed works will require the implementation of specific measures to ensure effective tree protection. 45 by-law regulated trees (greater than 15 cm) will require removal to enable the proposed works. An *Application to Permit the Injury or Destruction of Trees on Private Property* and a *Tree Injury or Destruction Questionnaire and Declaration* will likely be required to enable the proposed removals.

With the implementation of the recommendations provided in this report, no significant adverse effects are anticipated as a result of the proposed works upon the long-term health and condition of inventoried trees that have been designated for retention. It is important that good arboricultural practices be undertaken during the entire course of construction. No material storage or construction access shall take place within tree protection zones (TPZs); sensitive excavation and root pruning shall be undertaken, as required; and any necessary branch and/or root pruning shall be undertaken by an ISA Certified Arborist.

Appendix 1 – Tree Inventory

Table 1: Inventory of trees at University of Toronto Mississauga, Mississauga, Ontario. Tree assessments are based upon field observations undertaken on November 7, 2018 and November 16, 2018, by D. Chevalier (ISA Certified Arborist ON-2353A). Attribute definitions are provided following the table, on page 9.

Tree	Common Name	Scientific Name	DBH	CW	TI	CS	CV	TPZ	Loc.	Rec.	Comments
1	Black Spruce	<i>Picea mariana</i>	35	10	G	G	G	5.0	S	R	
2	Bur Oak	<i>Quercus macrocarpa</i>	14	4	G	F	G	2.0	S	R	
3	Manitoba Maple	<i>Acer negundo</i>	29	11	F	F	F	5.5	S	R	
4	Ash Species	<i>Fraxinus</i> sp.	13	3	F	F	P	1.5	S	R-Cond.	EAB symptomatic.
5	Manitoba Maple	<i>Acer negundo</i>	32,30,17	13	F	F	G	6.5	S	R	
6	Pin Oak	<i>Quercus palustris</i>	35	11	G	G	G	5.5	S	R	
7	Black Walnut	<i>Juglans nigra</i>	11	3	G	G	G	1.5	S	R	
8	White Mulberry	<i>Morus alba</i>	14,14	6	F	F	G	3.0	S	R	
9	Manitoba Maple	<i>Acer negundo</i>	23	8	G	F	G	4.0	S	R	
10	Manitoba Maple	<i>Acer negundo</i>	12	4	G	F	G	2.0	S	R	
11	Manitoba Maple	<i>Acer negundo</i>	22,18	11	G	F	F	5.5	S	R	
12	Manitoba Maple	<i>Acer negundo</i>	15	6	P	P	F	3.0	S	R-Cond.	Poor structure beyond correction.
13	Manitoba Maple	<i>Acer negundo</i>	18	5	G	F	G	2.5	S	R	
14	Ash Species	<i>Fraxinus</i> sp.	13	4	F	F	P	2.0	S	R-Cond.	EAB symptomatic.
15	Pin Oak	<i>Quercus palustris</i>	40	12	G	F	G	6.0	S	R	
16	Ash Species	<i>Fraxinus</i> sp.	14	4	F	G	P	2.0	S	R-Cond.	EAB symptomatic.
17	Willow Species	<i>Salix</i> sp.	40,25	11	F	F	F	5.5	S	R	
18	Ash Species	<i>Fraxinus</i> sp.	25	9	F	F	F	4.5	S	R	
19	Black Walnut	<i>Juglans nigra</i>	20	6	F	F	G	3.0	S	R	
20	Manitoba Maple	<i>Acer negundo</i>	28	10	G	F	F	5.0	S	R	Vines.
21	Manitoba Maple	<i>Acer negundo</i>	23,18	10	F	F	F	5.0	S	R	
22	Manitoba Maple	<i>Acer negundo</i>	24	9	G	F	G	4.5	S	R	
23	Ash Species	<i>Fraxinus</i> sp.	23	8	F	F	P	4.0	S	R-Cond.	EAB symptomatic.
24	Manitoba Maple	<i>Acer negundo</i>	13	5	G	F	F	2.5	S	R	
25	Manitoba Maple	<i>Acer negundo</i>	14,12,10,6	6	P	F	G	3.0	S	R-Cond.	Basal cavities.

Tree	Common Name	Scientific Name	DBH	CW	TI	CS	CV	TPZ	Loc.	Rec.	Comments
26	Manitoba Maple	<i>Acer negundo</i>	10,9,9,9,9,8,8	8	F	F	G	4.0	S	R	
27	Manitoba Maple	<i>Acer negundo</i>	12,10,10,10,8	7	F	F	F	3.5	S	R	
28	Manitoba Maple	<i>Acer negundo</i>	11,10,9,8	7	F	F	G	3.5	S	R	
29	Manitoba Maple	<i>Acer negundo</i>	10,10,9,8,7,7	6	F	F	G	3.0	S	R	
30	Manitoba Maple	<i>Acer negundo</i>	12,6,6,5	7	F	F	G	3.5	S	R	
31	Manitoba Maple	<i>Acer negundo</i>	12,5	5	F	F	F	2.5	S	R	
32	Manitoba Maple	<i>Acer negundo</i>	13,9	6	F	F	G	3.0	S	R	
33	Norway Spruce	<i>Picea abies</i>	45	9	G	G	G	4.5	S	R	
34	Norway Spruce	<i>Picea abies</i>	41	10	G	G	G	5.0	S	R	
35	Colorado Spruce	<i>Picea pungens</i>	38	8	G	G	F	4.0	S	R	
36	Manitoba Maple	<i>Acer negundo</i>	23	6	F	F	F	3.0	S	R	
37	Colorado Spruce	<i>Picea pungens</i>	48	7	G	G	G	3.5	S	R	
38	Black Spruce	<i>Picea mariana</i>	15	4	F	F	G	2.0	S	R	
39	Manitoba Maple	<i>Acer negundo</i>	30,19	13	P	P	F	6.5	S	R-Cond.	Basal cavity, decay.
40	Manitoba Maple	<i>Acer negundo</i>	27	8	F	F	G	4.0	S	R	
41	Manitoba Maple	<i>Acer negundo</i>	23	8	F	F	F	4.0	S	R	
42	Manitoba Maple	<i>Acer negundo</i>	35	9	F	F	F	4.5	S	R	Vines. Monitor lean
43	Black Cherry	<i>Prunus serotina</i>	13	4	G	F	G	2.0	S	R	
44	Ash Species	<i>Fraxinus</i> sp.	24,23	11	F	P	P	5.5	S	R-Cond.	EAB symptomatic. In decline.
45	Buckthorn Species	<i>Rhamnus</i> sp.	18,10,10	6	F	F	G	3.0	S	R	
46	Manitoba Maple	<i>Acer negundo</i>	18	6	F	F	F	3.0	S	R	
47	Ash Species	<i>Fraxinus</i> sp.	13	3	F	G	-	1.5	S	R-Cond.	EAB symptomatic.
48	Apple Species	<i>Malus</i> sp.	12	6	G	F	G	3.0	S	R	
49	White Willow	<i>Salix alba</i>	56	14	P	P	F	7.0	S	R-Cond.	Significant basal decay. In decline.
50	Manitoba Maple	<i>Acer negundo</i>	29,17	12	F	F	G	6.0	S	R	
51	Manitoba Maple	<i>Acer negundo</i>	15	5	G	F	G	2.5	S	R	
52	Norway Maple	<i>Acer platanoides</i>	18	6	F	G	G	3.0	S	R	
53	Manitoba Maple	<i>Acer negundo</i>	29	10	G	F	F	5.0	S	R	
54	Manitoba Maple	<i>Acer negundo</i>	14	5	G	F	G	2.5	S	R	

Tree	Common Name	Scientific Name	DBH	CW	TI	CS	CV	TPZ	Loc.	Rec.	Comments
55	Manitoba Maple	<i>Acer negundo</i>	23,11	10	F	F	F	5.0	S	R	Vines.
56	Ash Species	<i>Fraxinus</i> sp.	23	9	F	F	P	4.5	S	R-Cond.	EAB symptomatic. In decline.
57	Ash Species	<i>Fraxinus</i> sp.	13	4	F	F	-	2.0	S	R-Cond.	EAB symptomatic.
58	Manitoba Maple	<i>Acer negundo</i>	52,31	16	G	F	G	8.0	S	R	Reduce end weight.
59	Ash Species	<i>Fraxinus</i> sp.	26	9	G	F	G	4.5	S	R	
60	Apple Species	<i>Malus</i> sp.	33,21,19,18	9	F	F	G	4.5	S	R	DBH estimated.
61	Bradford Pear	<i>Pyrus calleryana</i>	24,14,10	6	G	F	F	3.0	S	R	
62	American Elm	<i>Ulmus americana</i>	31	8	P	P	F	4.0	S	R-Cond.	Vines. In decline.
63	Austrian Pine	<i>Pinus nigra</i>	25	6	F	F	F	3.0	S	R	
64	Pin Oak	<i>Quercus palustris</i>	41	10	G	G	F	5.0	S	R	
65	Pin Oak	<i>Quercus palustris</i>	50	12	G	F	G	6.0	S	R	
66	Manitoba Maple	<i>Acer negundo</i>	18,17,11	9	F	F	F	4.5	S	R	
67	Paper Birch	<i>Betula papyrifera</i>	6,4	2	G	G	G	1.0	S	R	
68	Paper Birch	<i>Betula papyrifera</i>	6,5,4	3	G	G	G	1.5	S	R	
69	Paper Birch	<i>Betula papyrifera</i>	4,4,3	3	G	F	G	1.5	S	R	
70	Paper Birch	<i>Betula papyrifera</i>	7,4	3	F	F	G	1.5	S	R	
71	Paper Birch	<i>Betula papyrifera</i>	8,6,6	4	G	F	G	2.0	S	P	
72	Paper Birch	<i>Betula papyrifera</i>	5,5,4	4	G	F	G	2.0	S	P	
73	White Spruce	<i>Picea glauca</i>	7	2	G	G	G	1.0	S	R	
74	Black Spruce	<i>Picea mariana</i>	5	1	G	G	G	0.5	S	R	
75	Norway Spruce	<i>Picea abies</i>	7	2	G	G	G	1.0	S	R	
76	Paper Birch	<i>Betula papyrifera</i>	7,4	3	F	F	G	1.5	S	R	
77	Paper Birch	<i>Betula papyrifera</i>	5	2	F	G	F	1.0	S	R	
78	Paper Birch	<i>Betula papyrifera</i>	6	2	F	G	F	1.0	S	R	
79	Paper Birch	<i>Betula papyrifera</i>	6	1	G	G	G	0.5	S	R	
80	Paper Birch	<i>Betula papyrifera</i>	4	1	F	F	G	0.5	S	R	
81	River Birch	<i>Betula nigra</i>	5,5,4,3	3	G	F	G	1.5	S	R	
82	River Birch	<i>Betula nigra</i>	6,5,4,3	4	F	F	G	2.0	S	R	
83	River Birch	<i>Betula nigra</i>	6,5,3	3	G	G	G	1.5	S	P	

Tree	Common Name	Scientific Name	DBH	CW	TI	CS	CV	TPZ	Loc.	Rec.	Comments
84	River Birch	<i>Betula nigra</i>	4,3,2,2	3	G	F	F	1.5	S	P	
85	River Birch	<i>Betula nigra</i>	7,6,4	3	F	G	G	1.5	S	P	
86	River Birch	<i>Betula nigra</i>	5,5,3	3	G	F	G	1.5	S	P	
87	River Birch	<i>Betula nigra</i>	4,4,3	3	G	G	F	1.5	S	P	
88	Juniper Species	<i>Juniperus</i> sp.	5	1	G	G	G	0.5	S	R	
89	Juniper Species	<i>Juniperus</i> sp.	6	1	G	G	G	0.5	S	R	
90	Juniper Species	<i>Juniperus</i> sp.	7	2	G	G	G	1.0	S	R	
91	Juniper Species	<i>Juniperus</i> sp.	5	1	G	G	G	0.5	S	R	
92	Juniper Species	<i>Juniperus</i> sp.	8	2	F	F	G	1.0	S	P	
93	Paper Birch	<i>Betula papyrifera</i>	5	1	F	G	G	0.5	S	P	
94	Juniper Species	<i>Juniperus</i> sp.	6	2	G	G	G	1.0	S	P	
95	Juniper Species	<i>Juniperus</i> sp.	7	2	G	G	G	1.0	S	P	
96	Juniper Species	<i>Juniperus</i> sp.	8	2	G	G	G	1.0	S	P	
97	Juniper Species	<i>Juniperus</i> sp.	5	2	G	G	G	1.0	S	P	
98	Juniper Species	<i>Juniperus</i> sp.	6	2	G	G	G	1.0	S	P	
99	Paper Birch	<i>Betula papyrifera</i>	5	3	F	G	G	1.5	S	P	
100	Juniper Species	<i>Juniperus</i> sp.	7	2	G	G	G	1.0	S	P	

Tree Inventory Attribute Definitions

Species	The common and scientific names are provided for each tree.
Diameter at Breast Height (DBH)	The diameter of each tree, in centimetres, at breast height (1.4 m above grade).
Canopy Width (CW)	An estimation of the average diameter of the tree canopy, in metres.
Trunk Integrity (TI)	An assessment of the tree's trunk for any externally-visible defects or weaknesses. It is rated on an ascending scale of poor-fair-good.
Canopy Structure (CS)	An assessment of the tree's main scaffold branches and the canopy of the tree for defects or weaknesses visible from ground level. It is also rated on an ascending scale of poor-fair-good.
Canopy Vitality (CV)	An assessment of the general health and vigour of the tree, derived partly through a comparison of deadwood and live growth relative to a 100% healthy tree. The size and colour of foliage are also considered in this category. During the leaf-off season, the number and distribution of buds is an important determinant of canopy vitality. This indicator is also rated on an ascending scale of poor-fair-good.
Tree Protection Zone (TPZ)	The recommended tree protection zone radius, in metres, as measured from the base of the subject tree's main trunk.
Location (Loc.)	The location of the tree relative to the subject site: on the subject site (S), on neighbouring property (N), on municipal property (M), or on a property boundary (B).
Recommendation (Rec.)	The recommendation for each tree: Protect (P), Injure (I), Remove (R) and/or Maintenance Required (M). A dash (-) denotes trees to be preserved with no additional protection requirements.
Comments	Comments pertaining to the tree provided as needed.

Appendix 2 – Selected Figures

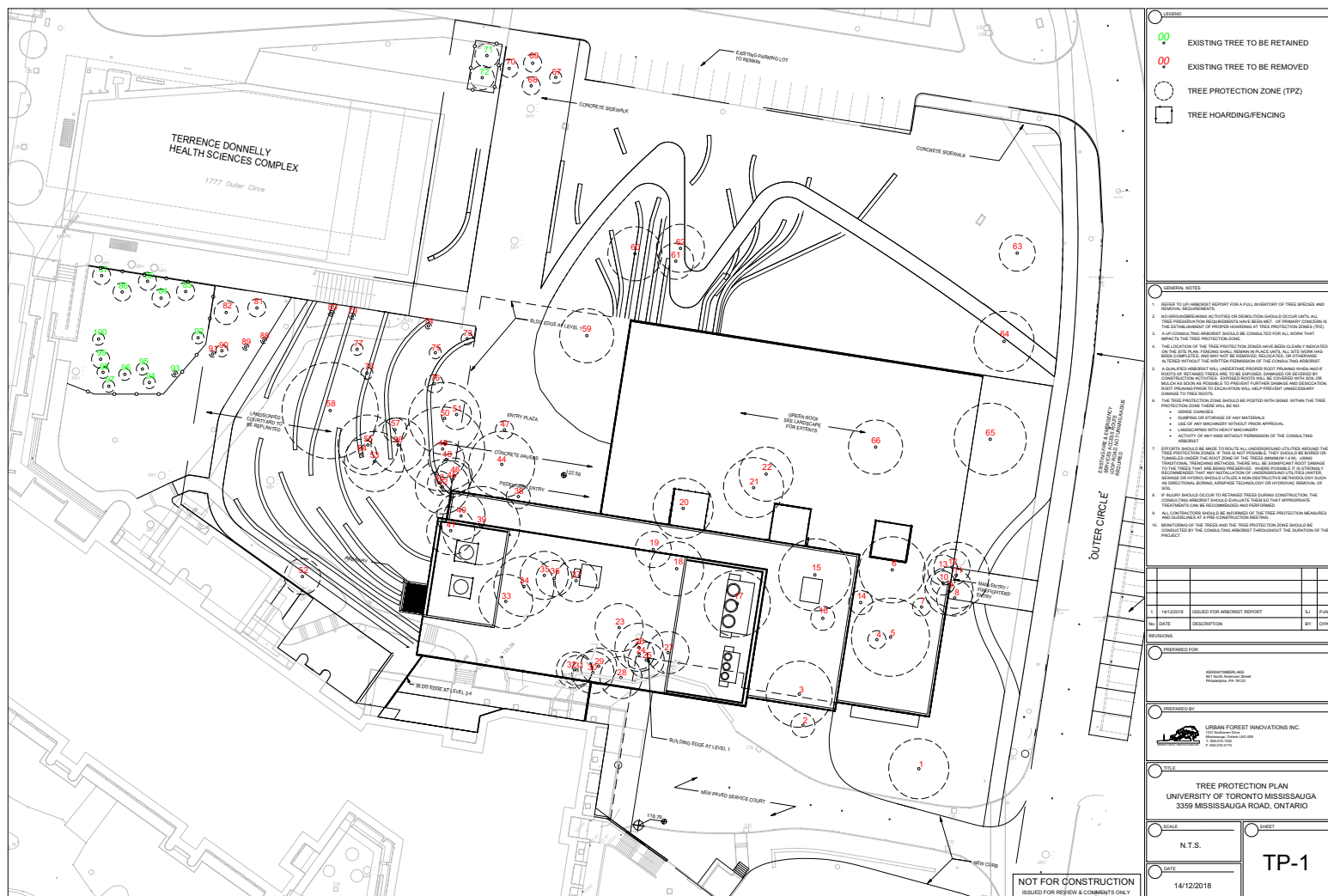


Figure 1: Tree protection fencing to be established around young trees at west side of subject site.

Appendix 3 – Site Plans

Inclusions:

1. Tree Protection Plan (1 page)



Appendix 4 – Tree Protection Specifications

4.1 Scope and Purpose

This section outlines general recommendations for tree protection, and **not all recommendations may apply to the subject project**. Refer to the preceding sections for tree-by-tree recommendations. This section should be read in conjunction with the City of Mississauga's various tree protection and site plan application guidelines and policies, including:

Private Tree Protection By-law (0254-2012):

<http://www.mississauga.ca/file/COM/treeprotection.pdf>

Tree Protection and Hoarding Requirements:

http://www.mississauga.ca/file/COM/tree_hoarding_req.pdf

Site Plan and Development Applications information:

http://www.mississauga.ca/portal/residents/urbanforestry?paf_gear_id=9700018&itemId=104803033n

Site Plan Application: Process Guidelines:

<http://www6.mississauga.ca/online/planbldg/Manuals/ExternalGuidelines-SitePlan-2013August.pdf>

4.2 General Provisions

4.2.1 Tree Protection

Four important tree protection measures should be undertaken on the project site if trees are to be preserved in a manner which will maintain their health over the long term. These include:

1. Establishment of tree protection fencing and/or hoarding around adequately-sized Tree Protection Zones (TPZs) prior to the commencement of any construction activity;
2. Installation of root zone compaction protection where compaction may be caused by construction traffic or materials/equipment storage and staging;
3. Implementation of root-sensitive excavation wherever Tree Protection Zones (TPZs) or significant rooting areas may be encroached upon by excavation and/or grading, and;
4. Root pruning in advance of conventional excavation, on an as-needed basis.

4.2.1.1 Tree Protection Zones (TPZs)

The purpose of a Tree Protection Zone (TPZ) is to prevent root damage, soil compaction and soil contamination, and workers and machinery must not encroach upon Tree Protection Zones in any way.

To prevent access and ensure that the TPZ is effective, the following steps shall be implemented in the establishment of TPZ fencing and/or hoarding.

1. The locations of TPZs should be clearly identified on the project Site Plan. Typically, TPZs are to be shown as circles around tree location points, and are to be drawn to scale in accordance with the minimum required TPZ radius, as outlined in Appendix 1.
2. No groundbreaking activities or demolition should occur until all tree protection requirements have been met and the consulting arborist has confirmed the establishment of Tree Protection Zone fencing and/or hoarding.
3. Hoarding shall consist of 4' x 8' sheets of plywood laid lengthwise and supported using "L" shaped supports to prevent root damage. Hoarding shall be affixed to the frame in such a manner as to prevent removal of individual sections or movement of the entire hoarding structure. Construction fencing can be used where pedestrian or motorist sightlines may be obscured by solid hoarding. Framed construction fencing can also be used to frame large Tree Protection Zones or tree groups, with expressed prior approval of the City of Mississauga. Framed fencing must be supported by a solid 2" x 4" frame. Fencing and/or hoarding shall be maintained intact throughout the duration of the construction project, unless otherwise specified.
4. Upon installation, all tree protection fencing and/or hoarding must be approved by the City of Mississauga.
5. All fencing and/or hoarding is to remain in place in good condition throughout the entire duration of the project. No fencing and/or hoarding is to be removed, relocated or otherwise altered without the written permission of the City of Mississauga.
6. No grade change, excavation, or storage of fill, equipment or supplies is permitted within the TPZ at any time. Any encroachment of the TPZ shall not be undertaken without expressed written permission of the City of Mississauga. TPZ encroachment may constitute Tree Injury as defined by various municipal tree protection policies and by-laws, and may subject the responsible parties to prescribed penalties.
7. Signage similar to Figure 1, below, should be mounted on each side of TPZ fencing and/or hoarding immediately upon establishment and should be maintained for the duration of the project. Every sign should have minimum dimensions of 40 cm x 60 cm.
8. All contractors and supervisors should be informed of the tree protection requirements, including potential penalties, at a pre-construction meeting.
9. Trees and TPZs should be regularly monitored by a consulting arborist throughout the duration of the project.
10. If TPZ encroachment should occur at any time during construction, the consulting arborist should evaluate the trees immediately so that appropriate treatment can be performed in a timely manner.

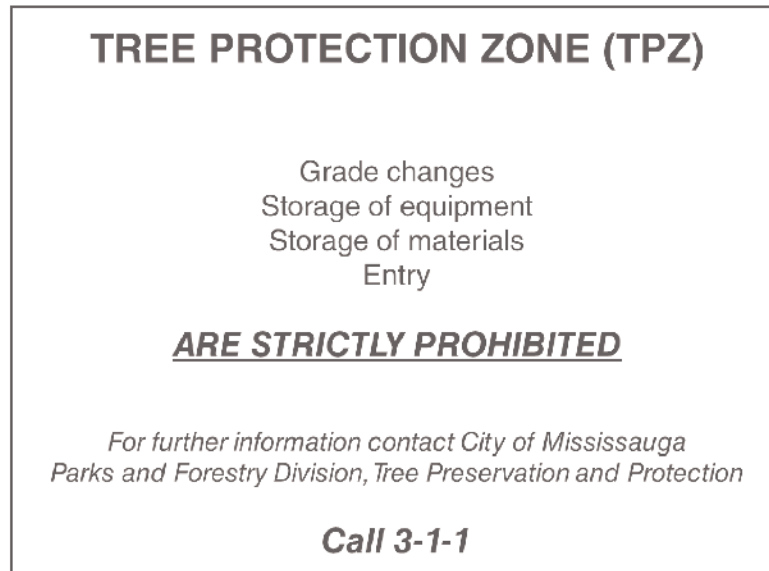


Figure 2: Sample TPZ information sign.

4.2.1.2 Root Zone Compaction Protection

Where traffic or access through the root zone is anticipated, a Root Zone Compaction Protection treatment should be installed.

Where limited non-vehicular access across the root zone is anticipated (e.g., occasional foot traffic, wheelbarrow), a Light Root Zone Compaction Protection specification should be implemented, as described below:

- Installation of medium-weight non-woven geotextile fabric or landscape cloth over affected area;
- Installation of 150 mm of wood chips over the fabric area;
- Installation of ½" plywood over wood chip mulch, and;
- Installation of appropriate covering material, if desired.

Where moderate non-vehicular access across the root zone is anticipated (e.g., materials staging) a Moderate Root Zone Compaction Protection specification should be implemented, as described below:

- Installation of medium-weight non-woven geotextile fabric or landscape cloth over affected area;
- 100 mm of granular clear stone lain over fabric area;
- Installation of medium-weight non-woven geotextile fabric or landscape cloth over the stone;
- Installation of 150 mm of wood chips over fabric area, and;

- Installation of ½" plywood over wood chip mulch.

In areas where frequent non-vehicular access or longer-term materials storage in the root zone is anticipated, or in areas where additional measures must be implemented to ensure complete exclusion of excavation activity, a Horizontal Hoarding/Excavation Exclusion specification should be implemented, as described below:

- Installation of medium-weight non-woven geotextile fabric or landscape cloth over affected area;
- Installation of 3 stacked and joined courses of 4" x 4" timbers around the area to be protected (including cross-members or joists, as required to maintain structural integrity);
- Installation of wood chip mulch in entire protected area, and;
- Installation of 2 layers of ¾" plywood or 1 steel plate over the protected area.

In areas where vehicular access or severe potential root zone compaction are anticipated, such as site access roads, temporary parking areas or heavy machine staging areas, a more robust Heavy Root Zone Compaction Protection specification should be developed and implemented on a site-specific basis. Key elements of such a specification may include multiple steel plates over load-dissipating materials, or modular geocellular systems such as Permavoid ArborRaft.

4.2.1.3 Root-sensitive Excavation

Efforts should be made to exclude excavation or grade changes, including cutting or filling, from all TPZs. Where this is not possible, and unless otherwise specified, excavation shall utilize a root-sensitive methodology such as hand-digging, hydrovac or pneumatic (e.g., AirSpade) soil excavation, as specified in the arborist report.

Root-sensitive excavation must be conducted in advance of excavation using conventional excavation machinery. The objective of root-sensitive excavation is twofold: 1) to determine whether roots will be present beneath areas to be excavated and therefore determine the likely extent of damage to trees to be retained, and 2) to enable proper root pruning, as described below.

Unless otherwise specified, root-sensitive excavation typically entails creating a trench approximately 200-300 mm wide between the subject tree (e.g., outside the established TPZ) and the area to be excavated, without damaging existing significant roots. Unless otherwise specified, root-sensitive excavation should be undertaken to a minimum depth of 800 mm, unless excavation is proposed to a shallower final depth. If excavation is for exploratory reasons and root pruning is not anticipated, equipment utilized during root-sensitive excavation should be operated at reduced pressures to prevent damage to root bark.

No excavation, whether undertaken by conventional or root-sensitive means shall take place within established tree protection zones without expressed written permission of the City of Mississauga.

4.2.1.4 Root Pruning

Root pruning can help reduce the stresses experienced by a tree with root damage, encourage the growth of new fine and feeder roots, and prevent the spread of decay. Root pruning should be undertaken in conjunction with root-sensitive excavation in advance of conventional excavation, or immediately afterwards if unexpected roots are encountered. Root pruning should only be undertaken by an ISA Certified Arborist, and in the manner outlined below:

1. Roots that are severed, exposed, or diseased and are greater than 2.0 cm in diameter should be properly pruned. All roots must be pruned with clean and sharp hand tools only. Shovels, picks or other construction tools shall not be used to prune roots. Wound dressings or pruning paint must not be used to cover the ends of any cut.
2. Roots should be pruned in a similar fashion as branches, taking care to maintain the integrity of the root bark ridge. Root should be pruned back to native soil; root stubs must not be left upon completion of root pruning.
3. Prolonged exposure of tree roots must be avoided – exposed roots should be covered and kept moist with soil, mulch, irrigation, or at least moistened burlap if they are to be exposed for longer than 3 hours. All cut roots should be covered with soil or excavated trenches should be backfilled with native material as soon as possible following root pruning.

4.2.1.6 Crown Pruning

Any branches found to be in conflict with construction access should be tied back on a temporary basis, taking care to avoid constricting knots and bark friction/stripping. If branches cannot be safely tied back without breaking, pruning should be performed by a Certified Arborist, as necessary.

During the course of project works, the branches of retained trees may be in conflict with construction, including machinery, infrastructure, buildings. Clearance may require pruning of interfering tree branches. Where any project works may result in unavoidable conflict with and potential damage to tree branches, clearance pruning should be performed. All necessary pruning must be conducted in an arboriculturally-correct manner by an ISA Certified Arborist; *trades workers must not be involved in any tree-related work.*

4.2.2 Post-construction Care

The following recommendations should be implemented upon completion of construction to ensure that the health and condition of retained and newly-planted trees is maintained and improved.

4.2.2.1 Retained Trees

1. Trees which have been retained through the construction process should be regularly monitored by an ISA Certified Arborist for signs of construction-induced stress, which may not be apparent until 3-6 years after site disturbance.
2. Wherever possible, root zone amelioration including watering and mulching should be undertaken. However, treatments such as fertilization should be avoided unless directly specified by the project consulting arborist.
3. Any physical damage to retained trees should be assessed by the project consulting arborist and properly mitigated, as required. If necessary, broken limbs or exposed roots should be pruned, damaged bark should be traced, and soil decompaction and/or decontamination should be undertaken by an ISA Certified Arborist. Stability of trees with significant root zone disturbance should be assessed, and advanced stability assessment or mitigation should be implemented if necessary.

4.2.2.2 New Trees

1. All newly planted trees and shrubs should be provided with a bed of composted woodchip mulch 10-15 cm thick, extending to at least the dripline of the plant. Mulch should be periodically replaced as it decomposes, and weeds should be removed from the mulch bed manually. The mulch must not touch the bark of the tree and under no circumstances should it be mounded up against the stem in a “volcano” style. This is especially damaging for young trees with thin bark.
2. All new plantings should be watered at least once per week during the growing season within the first two years after planting. Watering intensity should be increased during periods of drought. Watering should be deep and slow, ensuring that water penetrates to deep roots. Trees should not be watered directly adjacent to the trunk, but rather in a circular pattern extending from the trunk to at least the dripline. The soil should be allowed to dry in between watering periods to allow air to reach the roots.
3. Minimal pruning should be undertaken in the first two years after planting. Foliage should be retained to allow for the roots to establish. Only dead, crossing and broken branches should be pruned back to an appropriate pruning point at the time of planting.
4. New plantings should be inspected in the second year to assess health and condition. Dead or dying plants should be replaced in the next appropriate planting season.

Limitations of Assessment

It is our policy to attach the following clause regarding limitations. We do this to ensure that the client is aware of what is technically and professionally realistic in assessing and retaining trees.

The assessment(s) of the tree(s) presented in this report has been made using accepted arboricultural techniques. These may include, among other factors, a visual examination of: the above-ground parts of the tree(s) for visible structural defects, scars, external indications of decay such as fungal fruiting bodies, evidence of pests or pathogens, discoloured foliage, the condition of any visible root structures, the degree and direction of lean (if any), the general condition of the tree(s) and the surrounding site, and the proximity of property and people. Except where specifically noted, the tree(s) was not cored, probed, climbed or assessed using any advanced methods, and there was no detailed inspection of the root crown(s) involving excavation.

Notwithstanding the recommendations and conclusions made in this report, it must be recognized that trees are living organisms, and their health and vigour constantly change over time. They are not immune to changes in site or weather conditions, or general seasonal variations. Weather events such as wind or ice storms may result in the partial or complete failure of any tree, regardless of assessment results.

While reasonable efforts have been made to accurately assess the overall condition of the subject tree(s), no guarantee or warranty is offered, expressed or implied, that the tree(s) or any of its parts will remain standing or in stable condition. It is both professionally and practically impossible to predict with absolute certainty the behaviour of any single tree or its component parts, regardless of the assessment methodology implemented. Inevitably, a standing tree will always pose some level of risk. Most trees have the potential for failure under adverse weather conditions, and the risk can only be eliminated if the tree is removed.

Although every effort has been made to ensure that this assessment is reasonably accurate, the tree(s) should be re-assessed periodically. The assessment presented in this report is only valid at the time of inspection.

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