Agenda



Heritage Advisory Committee

Date

2019/07/02

Time

9:30 AM

Location

Civic Centre, Council Chamber, 300 City Centre Drive, Mississauga, Ontario, L5B 3C1

Members

Councillor George Carlson, Ward 11 (Chair)
David Cook, Citizen Member (Vice-Chair)
Councillor Carolyn Parrish, Ward 5
Michael Battaglia, Citizen Member
Alexander Hardy, Citizen Member
James Holmes, Citizen Member
Rick Mateljan, Citizen Member
Lisa Small, Citizen Member
Jamie Stevens, Citizen Member
Melissa Stolarz, Citizen Member
Terry Ward, Citizen Member
Matthew N. Wilkinson, Citizen Member
Adrian Zita-Bennett, Citizen Member

Contact

Megan Piercey, Legislative Coordinator, Legislative Services 905-615-3200 ext. 4915 megan.piercey@mississauga.ca

NOTE: To support corporate waste reduction efforts the large appendices in this agenda can be viewed at: http://www.mississauga.ca/portal/cityhall/heritageadvisory.ca

Find it online

- 1. CALL TO ORDER
- 2. <u>APPROVAL OF AGENDA</u>
- 3. <u>DECLARATION OF CONFLICT OF INTEREST</u>
- 4. MINUTES OF PREVIOUS MEETING
- 4.1. Heritage Advisory Committee Minutes June 4, 2019
- 5. DEPUTATIONS Nil
- 6. PUBLIC QUESTION PERIOD 15 Minute Limit (5 Minutes per Speaker)
 Pursuant to Section 42 of the Council Procedure By-law 0139-2013, as amended the
 Heritage Advisory Committee may grant permission to a member of the public to ask a
 question of the Committee with the following provisions:
 - 1. The question must pertain to a specific item on the current agenda and the speaker will state which item the question is related.
 - 2. A person asking a question shall limit any background explanation to two (2) statements, followed by the question.
 - 3. The total speaking time shall be five (5) minutes maximum per speaker.

7. MATTERS TO BE CONSIDERED

- 7.1. Request to Alter a Designated Heritage Property: 4300 Riverwood Park Lane (Ward 6)
- 7.2. Reguest to Alter a Heritage Designated Property: 1352 Lakeshore Road East (Ward 1)
- 7.3. Request to Alter a Heritage Designated Property: 161 Lakeshore Road West (Ward 1)
- 7.4. Request to Alter a Heritage Designated Property: 1900 Derry Road East (Ward 5)
- 7.5. Request to Alter a Heritage Designated Property: 1507 Clarkson Road North (Ward 2)
- 7.6. Request to Alter a Heritage Designated Property: 1050 Old Derry Road (Ward 11)
- 7.7. Request to Alter a Heritage Designated Property: 7059 Second Line West (Ward 11)
- 7.8. Request to Alter a Heritage Designated Property: 915 North Service Road (Ward 1)
- 7.9. Appointments to the Meadowvale Village Heritage Conservation District Subcommittee
- 8. <u>INFORMATION ITEMS</u>
- 8.1. Demolition to a Listed Property: 25 Queen St S. (Ward 11)
- 8.2. Alteration to a Listed Property: 927 Meadow Wood Road (Ward 2)
- 8.3. Alteration to a Listed Property: 3658 Burnbrae Dr. (Ward 6)

- 8.4. 2019 Designated Heritage Property Grant Program Round One Approved Grants
- 9. <u>OTHER BUSINESS</u>
- 10. <u>DATE OF NEXT MEETING</u> September 10, 2019
- 11. <u>ADJOURNMENT</u>

City of Mississauga

Minutes



Heritage Advisory Committee

Date

2019/06/04

Time

9:30 AM

Location

Civic Centre, Council Chamber, 300 City Centre Drive, Mississauga, Ontario, L5B 3C1

Members Present

Councillor George Carlson, Ward 11 (Chair)
David Cook, Citizen Member (Vice-Chair)
Councillor Carolyn Parrish, Ward 5 (arrived at 9:36 AM)
Michael Battaglia, Citizen Member
Alexander Hardy, Citizen Member
James Holmes, Citizen Member
Rick Mateljan, Citizen Member
Lisa Small, Citizen Member
Jamie Stevens, Citizen Member
Melissa Stolarz, Citizen Member (arrived at 9:31 AM)
Terry Ward, Citizen Member
Matthew N. Wilkinson, Citizen Member
Adrian Zita-Bennett, Citizen Member

Staff Present

Michael Tunney, Manager, Culture and Heritage Planning John Dunlop, Supervisor, Heritage Planning Paula Wubbenhorst, Heritage Planner, Culture Division Brooke Herczeg, Heritage Analyst Megan Piercey, Legislative Coordinator

Find it online

- 1. CALL TO ORDER 9:30 AM
- 2. APPROVAL OF AGENDA

Approved (D. Cook)

- 3. DECLARATION OF CONFLICT OF INTEREST Nil
- 4. MINUTES OF PREVIOUS MEETING
- 4.1. Heritage Advisory Committee Minutes May 7, 2019

Approved (D. Cook)

- 5. <u>DEPUTATIONS</u> Nil
- 6. PUBLIC QUESTION PERIOD Nil

No members of the public requested to speak.

At this point Melissa Stolarz, Citizen Member, arrived to the meeting at 9:31 AM.

- 7. MATTERS CONSIDERED
- 7.1. Removal of Non-significant Cultural Heritage Landscape Properties from the City's Heritage Register (Wards 2, 5, 9, 10, 11)

At this point Councillor Parrish arrived to the meeting at 9:36 AM.

Members of the Committee noted concerns with removing the Malton Wartime Housing from the City's Heritage Register, as they believe the area has cultural heritage value. John Dunlop, Supervisor, Heritage Planning advised the committee that the historical integrity and community value were not strong enough factors to keep the cultural heritage landscape (CHL) on the heritage register. Mr. Dunlop further noted that heritage planning staff would investigate other options of how they can preserve the story of this CHL. Matthew Wilkinson, Citizen Member, advised that interpretive plaques or videos could be an option for telling the story of the Malton Wartime Housing in an equally compelling way.

RECOMMENDATION

HAC-0042-2019

That the properties deemed not to be significant Cultural Heritage Landscapes, as per the Corporate Report from the Commissioner of Community Services, dated May 14, 2019, be removed from the City's Heritage Register, save for any individually listed properties.

Approved (Councillor Parrish)

7.2. Request to Alter a Heritage Designated Property: 44 Peter Street South (Ward 1)

No discussion took place regarding this item. Committee Members noted approval.

RECOMMENDATION

HAC-0043-2019

That the request to alter the heritage designated property at 44 Peter Street South, as per the Corporate Report from the Commissioner of Community Services, dated May 14, 2019 be approved.

Approved (M. Wilkinson)

7.3. Request to Alter a Heritage Designated Property: 43 Mississauga Road South (Ward 1)

No discussion took place regarding this item. Committee Members noted approval.

RECOMMENDATION

HAC-0044-2019

That the request to alter the heritage designated property at 43 Mississauga Road South, as per the Corporate Report from the Commissioner of Community Services, dated May 14, 2019 be approved.

Approved (A. Hardy)

7.4. Appointments to the Heritage Designation Working Group

John Dunlop, Supervisor, Heritage Planning provided a brief overview of the Heritage Designation Working Groups terms of reference and requested that around 3 members of the Heritage Advisory Committee be appointed. Alexander Hardy, Rick Mateljan and Terry Ward expressed their interest in the working group. Councillor Carlson volunteered to serve on the working group as ex-officio and Councillor Parrish volunteered to be Councillor Carlson's back-up in the case of an absence.

RECOMMENDATION

HAC-0045-2019

- That Alexander Hardy, Rick Mateljan and Terry Ward, Citizen Members of the Heritage Advisory Committee, be appointed to serve on the Heritage Designation Working Group for the term ending November 14, 2022, or until a successor is appointed.
- 2. That Councillor Carlson, be appointed to serve as ex-officio with Councillor Parrish as an alternate, on the Heritage Designation Working Group for the term ending November 14, 2022, or until a successor is appointed.

Approved (Councillor Parrish)

8. INFORMATION ITEMS

Matthew Wilkinson, Citizen member provided a brief update regarding the Avro Arrow Replica model and displays at the 2019 Carassauga Festival. Mr. Wilkinson noted that

the model and displays were well received by the attendees of the festival.

RECOMMENDATION

HAC-0046-2019

That the verbal update on June 4, 2019 from Matthew Wilkinson, Citizen Member, in regards to the Avro Arrow Replica model and displays at the 2019 Carassauga Festival, be received.

Received (Councillor Parrish)

9. <u>OTHER BUSINESS</u>

John Dunlop, Supervisor, Heritage Planning advised the committee that the agenda for the next meeting on July 2, 2019 is anticipated to be large and that attendance would be crucial.

- 10. DATE OF NEXT MEETING July 2, 2019
- 11. <u>ADJOURNMENT</u> 10:08 AM (J. Holmes)

City of Mississauga

Corporate Report



Date: 6/18/2019

To: Chair and Members of Heritage Advisory Committee

From: Paul Mitcham, P. Eng, MBA, Commissioner of Community Services

Meeting date: 7/2/2019

Subject

Request to Alter a Designated Heritage Property: 4300 Riverwood Park Lane (Ward 6)

Recommendation

That the proposed alteration at 4300 Riverwood Park Lane, as per the Corporate Report from the Commissioner of Community Services, dated June 18, 2019 be approved.

Background

- The City designated the McEwan, Parker Estate in 2004 as an architectural example of the Arts and Crafts movement.
- The City of Mississauga's Security Services has submitted a heritage permit application to alter the exterior of the property.

Comments

The owner of the subject property has requested permission to alter the existing structure. The applicant has provided drawings of the proposed locations. Justification for the alteration is for public safety reasons. The alteration will take place with the utmost care to the exterior stone walls; the installation will take place through the mortar in-between the stones that encompass the façade to ensure there is little disruption to the heritage attribute. This installation will include a sleek unobtrusive fob scanning device attached to the exterior façade. Drawings are attached as Appendix 1. As such, staff recommend that the work be approved as it will contribute to the long term stability and use of the property.

Financial Impact

The cost is budgeted and covered under the Security Services approved budget funding.

Conclusion

The City has submitted an application to relocate an Intrusion Key Pad at the McEwan House. The applicant's request for a minor alteration should proceed through the applicable process.

Attachments

Appendix 1: Drawings



Paul Mitcham, P. Eng, MBA, Commissioner of Community Services

Prepared by: Brooke Herczeg, Heritage Analyst

McEwan House – Key Pad Installation

Parks Entrance Lower *Basement* Level East Exterior McEwan Presentation Centre Entrance Upper Level

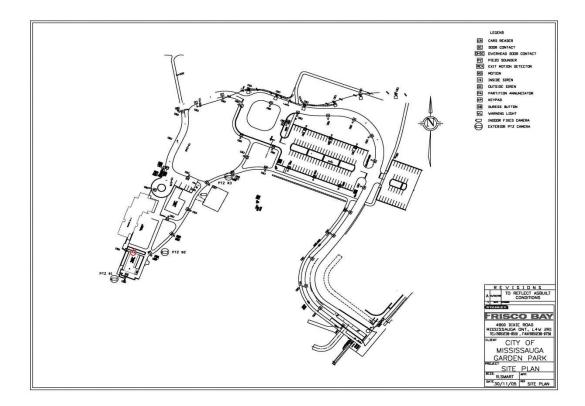


Blue Square indicates the approximate location of new key pad

Proposed Card Reader to be Mounted on the Exterior Wall



McEwan Site Plan – Entrance marked in red



City of Mississauga

Corporate Report



Date: 6/18/2019

To: Chair and Members of Heritage Advisory Committee

From: Paul Mitcham, P. Eng, MBA, Commissioner of Community Services

Meeting date: 7/2/2019

Subject

Request to Alter a Heritage Designated Property: 1352 Lakeshore Road East (Ward 1)

Recommendation

That the request to alter the heritage designated property at 1352 Lakeshore Road East, as per the Corporate Report from the Commissioner of Community Services, dated June 18, 2019 be approved.

Background

The City designated the subject property, known as the Small Arms Inspection Building (SAIB), which, is now City owned and operated, under Part IV of the Ontario Heritage Act in 2009. Section 33 of the Act requires Council permission for alterations likely to affect the property's heritage attributes.

Comments

The City proposes to install a "bat box" at the rear of the building to facilitate bat conservation. Such boxes provide a place for bats to sleep and raise their young. The specifications and proposed location are attached in Appendix 1.

The wooden box is proposed to be installed with lag bolts drilled into the mortar of the exterior wall at the back of the "bridge" portion of the building. The box would be accessible from the roof but have limited visibility from the ground. The installation is reversible and would not negatively impact the brickwork, one of the property's heritage attributes. As such, the proposal should be approved.

Financial Impact

The cost is covered under Community Services' approved operating budget.

Conclusion

The City proposes to install a wooden bat box at the rear of the subject building. The proposal would not negatively impact the property's heritage character and may assist with local bat survival. As such, it should be approved.

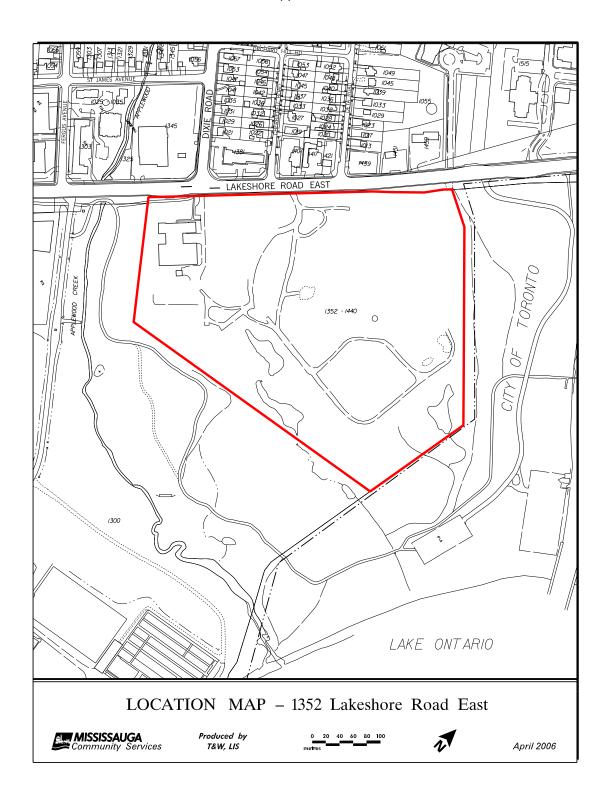
Attachments

Appendix 1: Drawings



Paul Mitcham, P. Eng, MBA, Commissioner of Community Services

Prepared by: P. Wubbenhorst, Heritage Planner

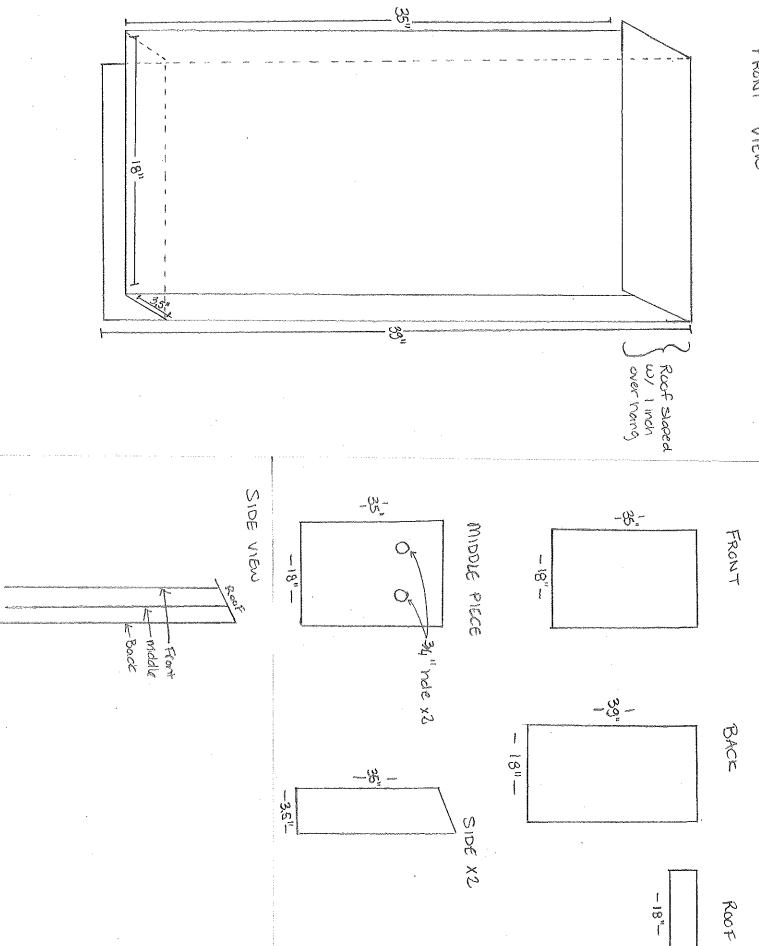












City of Mississauga

Corporate Report



Date: 6/18/2019

To: Chair and Members of Heritage Advisory Committee

From: Paul Mitcham, P. Eng, MBA, Commissioner of Community Services

Meeting date: 7/2/2019

Subject

Request to Alter a Heritage Designated Property: 161 Lakeshore Road West (Ward 1)

Recommendation

That the request to alter the heritage designated property at 161 Lakeshore Road West, as per the Corporate Report from the Commissioner of Community Services, dated June 18, 2019 be approved.

Background

The City designated the subject property, Clarke Memorial Hall (which is owned by the City) under Part IV of the Ontario Heritage Act in 1986 and under Part V, as part of the Old Port Credit Village Heritage Conservation District (HCD), in 2004. The original HCD plan remains in effect due to a Local Planning Appeal Tribunal (LPAT) appeal. The subject property is included in the district and identified as a "historic" building in the plan. As such, the property is subject to the heritage permitting requirements outlined in the plan for this classification.

Comments

The City proposes alterations to the accessible parking and path, the installation of a new push plate pedestal, as well as an additional support to the service guardrail on the roof at the rear of the building. The proposal is attached as Appendix 1. The elevator entrance door would be restored rather than replaced. The proposal is simple, a minimal intervention and will serve to make the building safer and more accessible. The concrete pad provides an efficient and comfortable barrier-free path to the building. The proposal increases the accessibility and safety of the property with minimum impact on the character. As such, it should be approved.

Financial Impact

The cost is budgeted and covered under Facility and Property Management's approved capital budget funding.

Conclusion

The City proposes alterations to Clarke Memorial Hall to make it more accessible and safe. The proposed changes have minimal impact on the character and should therefore be approved.

Attachments

Appendix 1: Proposal



Paul Mitcham, P. Eng, MBA, Commissioner of Community Services

Prepared by: P. Wubbenhorst, Heritage Planner

Date: 2019/05/23

To: Paula Wubbenhorst/ John Dunlop

From: Mukesh Jain

Meeting Date: 2019/05/16

Subject: Heritage Pemit Application

The scope of the work proposed along exterior envelope of Clarke Memorial Hall is to comply with the accessibility requirements set forth by the AODA and further compliance with the FADS requirements of the City of Mississauga. These improvements will include the following scope:

- 1. Relocation of the accessible parking stall from the West side of the north parking lot to the East side of the parking lot.
- 2. Improvements to the grading at the new accessible parking stall, to include a new accessible ramp to help mediate the existing parking lot grading to the existing concrete pathway leading to the the front of the hall.
- A new concrete pad will be constructed at the north side of the facility, linking the
 existing concrete pathway from the back of the parking lot and accessible parking stall.
 This new concrete pad will flank the north of the hall to the existing foyer of the
 accessible lift.
- 4. A new pedestal will be constructed on the edge of this new concrete pad to allow for the HC push plate to be installed. This pedestal will be free standing.
- 5. An additional structural support, made of a steel painted pipe, 2" in diameter, will be attached to the existing upper rear roof service guard to improve the stability of the guard system. This system will be attached to a single plate above the existing door access to the existing rear roof of the hall, where three existing rooftop mechanical units are located.

Mukesh Jain M.Arch, OAA, LEED AP

Project Manager

Capital Design and Construction (CDC)

CLARKE MEMORIAL HALL 161 Lakeshore Road West, Mississauga



Image 1: Clarke Memorial Hall, 161 Lakeshore Road West, Mississauga

Feasibility Study Upgrading Elevators in Various Facilities

Clarke Memorial Hall (Clarkson Community Centre, Port Credit) Heritage Impact Assessment Revised: May 23 2019

> Prepared By: Don Loucks, Metropolitan Design Ltd. 416.579-7026

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1. INTRODUCTION - HIA Scope

The City of Mississauga is studying the feasibility of upgrading elevators in five city facilities. The scope of the following Heritage Impact Assessment is to assess the impact of this proposed alteration to the heritage character and value of the Designated, Clarke Memorial Hall.

2. HISTORY AND CONTEXTUAL SIGNIFICANCE

The Clarke Memorial Hall is located at 161 Lakeshore Road West, in the Old Port Credit Village Heritage Conservation District in the City of Mississauga. The two-and-a-half-storey buff brick building was constructed in 1923. Clarke Memorial Hall is designated by the City of Mississauga By-Law 91-86 (See Image: 1).

Clarke Memorial Hall is associated with the Boustead and Clarke families, with the Port Credit Methodist Church, and with the administrative operation of the Village of Port Credit.

James Bellingham Boustead, a Toronto entrepreneur, was an active member of his community, and was actively involved with the Central Methodist Church, the Temperance League as well as holding local office in the municipal council of Toronto from 1865-1897. As a businessman, Boustead was a shareholder and the first president of the Toronto and Lorne Park Summer Resort Company, which bought land in Mississauga's Lorne Park and built summer homes. Boustead, himself, summered in Lorne Park, as did his daughter, Mary Louise Clarke.

Upon Boustead's death, Mary Louise continued her father's community work and especially his association with the Methodist Church. She was approached by the Port Credit Methodist Church to help build a hall for the Methodist Sunday School, which would also accommodate church meetings, community concerts and other events. Mary Louise Clarke purchased the property next to the church and in 1922, construction began on the building. It was named in memory of her late husband, Alfred Russell Clarke, who had died as a result of pneumonia which set in after he survived the 1915 sinking of the luxury liner the Lusitania in the North Atlantic. In 1923, the property was donated to the Port Credit Methodist Church with the stipulation that the building be used for public purposes. It served as a church hall and, from 1941-1974, as the Port Credit Municipal Offices. Upon amalgamation of Port Credit with the City of Mississauga, the building was converted into a community centre. During the 1970s it also housed the offices of the Mississauga Symphony. Today, it remains a community hall. This rectangular, two-and-a-half storey building is constructed of red brick upon a stone foundation and is a fine example of Spanish Colonial Revival popular in the 1920s for public buildings.

The two-and-a-half storey, buff brick building is a landmark in the Old Port Credit Village Heritage Conservation District. Its buff brick walls are a contrast to the stone columns and arches and the white multi-paned windows. Two chimneys, at opposing ends of the structure, protrude above the clay roof tiles, as does the curved front gable. The roof, covered in red clay tiles, gives the illusion of a truncated hipped roof in the front portion, while the two storey rear addition, which houses the building's auditorium and stage, is covered by a gable roof. Six

monumental pilasters with stone capitals and bases divide the symmetrical facade into five bays. The centre bay is highlighted by a classical entrance, which is approached by a wide staircase of brick and stone. The tall engaged columns and pilasters in a modified Roman Doric arch frame the entry. Above the main doorway is the inscription "The Town of Port Credit Municipal Offices". Four round-headed, fan lit windows are found on the main floor, while segmental square-headed sash windows are on the upper floor. One of the main floor windows has been converted into a door to allow for barrier-free access. In the centre, beneath a false wall front, is a double-hung segmental window. The crowning feature is the baroque-like curvilinear centre gable that breaks the otherwise straight silhouette of the roofline. A commemorative plaque is located in this centre gable. Two chimneys, one at either end of the main block, protrude their corbelled caps and chimney pots above the roof.

Clarke Memorial Hall is one of the key buildings within the Old Port Credit Village Heritage Conservation District, forming part of a significant institutional block on Lakeshore Road. Its size, location along the west bank of the Credit River and architecture make this building a landmark structure.

Sources: City of Mississauga By-law 91-86; Heritage File 161 Lakeshore Road.

3. HERITAGE SIGNIFICANCE

3.1 Character–Defining Elements

Character-defining elements that reflect the heritage value of Clarke Memorial Hall include its:

- Rectangular, two-and-a-half storey Spanish Colonial Revival popular in the 1920s for public buildings
- Six monumental pilasters with stone capitals and bases creating five bays
- Classical entrance, which is approached by a wide staircase of brick and stone with tall engaged columns and pilasters
- Stone inscription "The Town of Port Credit Municipal Offices" relating to its former use
- Baroque-like curvilinear centre gable, with commemorative plague and corbelled chimneys rising above the roofline (See Image: 1, 2, 3).

Sources: City of Mississauga By-law 91-86; Heritage File 161 Lakeshore Road.

3.2 Heritage Status

Clarke Memorial Hall was designated under Part IV of the Ontario Heritage Act Ontario in January 27, 1986.

4. PROPOSED ALTERATIONS APPROACH AND SCOPE

(Preliminary until detailed plans of proposed alterations are available)

The purpose of the alteration is to install an upgraded elevator in the building to provide full access to all three floors from the exterior.

Currently there is an elevator, elevator shaft, vestibule and access door from the exterior street elevation (See Images: 7, 8). The entry elevation is mid-way between the ground floor and basement level and serves all three floors (see Images: 4, 5, 6).

5. ALTERATION IMPACTS AND PROPOSED MITIGATION

(Preliminary until detailed plans of proposed alterations are available)

The installation of this new elevator will require a larger shaft which will result in the demolition of certain interior partitions, the reconfiguration of the elevator entry on the three floors and entry vestibule. As there has been extensive renovations and alterations to this portion of the building in the past (see Images: 10, 11), today there is no heritage value to these particular partitions and walls.

The exterior street elevation of Clarke Memorial Hall has significant heritage value and is described in Section 3.1, above (see Images: 1, 2, 3).

The alterations of the interior that are required to accommodate the upgraded elevator installation, will have no impact on those exterior heritage features.

- 5.1 Care must be taken during demolition to record and preserve if possible, any important heritage features that are uncovered as the layers of past alterations and renovations are removed.
- 5.2 The enlarged shaft should be designed to be set back from exterior walls to avoid impacting the existing exterior window openings.
- 5.3 The existing exterior entry door to the elevator vestibule must be either restored and re-installed or a door selected that is appropriate and compatible with the heritage exterior.

The scope of the work proposed for Clarke Memorial Hall is to comply with the accessibility requirements set forth by the AODA and further compliance with the FADS requirements of the City of Mississauga. These improvements will also include the following scope:

1. Relocation of the accessible parking stall from the West side of the north parking lot to the East side of the parking lot.

- Improvements to the grading at the new accessible parking stall, to include a new accessible ramp to help mediate the existing parking lot grading to the existing concrete pathway leading to the front of the hall.
- 3. A new concrete pad will be constructed at the north side of the facility, linking the existing concrete pathway from the back of the parking lot and accessible parking stall. This new concrete pad will flank the north of the hall to the existing foyer of the accessible lift.
- 4. A new pedestal will be constructed on the edge of this new concrete pad to allow for the HC push plate to be installed. This pedestal will be free standing.
- 5. An additional structural support, made of a steel painted pipe, 3" in diameter, will be attached to the existing upper rear roof railing/guard to improve the stability of the railing system. This system will be attached to a single plate above the existing door access to the existing rear roof of the hall, where three existing rooftop mechanical units are located.

6. CONCLUSION

Clarke Memorial Hall has been an important part of life in Port Credit for almost ten decades and will continue to contribute to the rich quality of life of this waterfront community. The improved accessibility that will result in the proposed elevator upgrading will add to the building's accessibility and inclusivity.

7. APPENDICES

7.1 Site Photographs



Image 2: Primary entry, north elevation.



Image 4: Elevator entry vestibule from street elevation.



Image 3: North-east corner.



Image 5: Stairs from street elevation to basement.



Image 6: Stairs from basement to street elevation.



Image 8: Elevator vestibule, view of altered window.





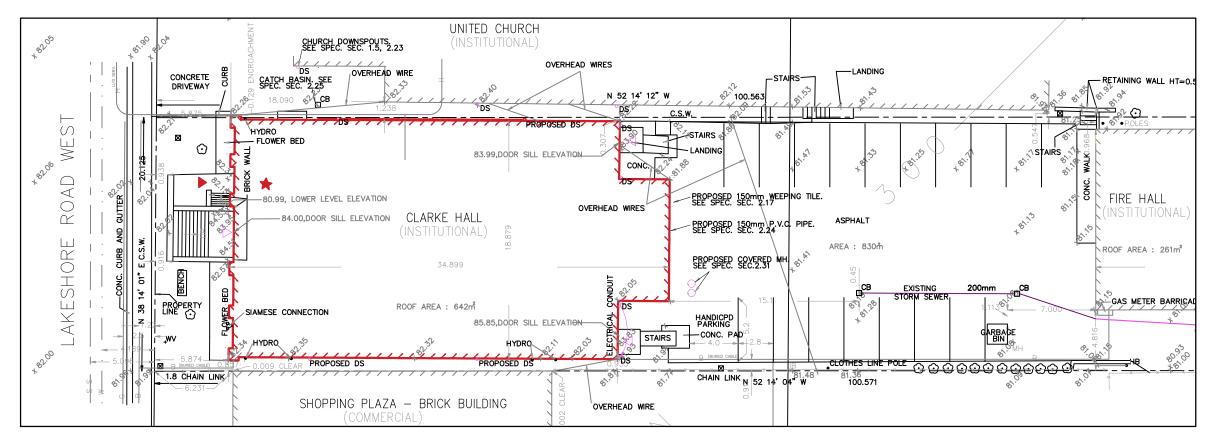
Image 9: Second floor Interior wall, and window.



Image 10: Foundation wall, showing previous alterations.



Image 11: Contemporary interior finishes.



1) SITE SURVEY

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REVISIONS/SUBMISSIONS

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			ESCRIPTION		
1	2019-05-16	ISSUED F	FOR CLIENT REVIEW		
2	2019-05-17	ISSUED FO	R HERITAGE ADVISORY COMMITTEE		
Jr	Irue North		Project North		





Archite

Cellucci+Pace

510 Rowntree Dairy Road, unit 3C Woodbridge, ON. Canada L4L 8H2 Tel: (416) 885-2260



CLARKE MEMORIAL HALL LIFT UPGRADES

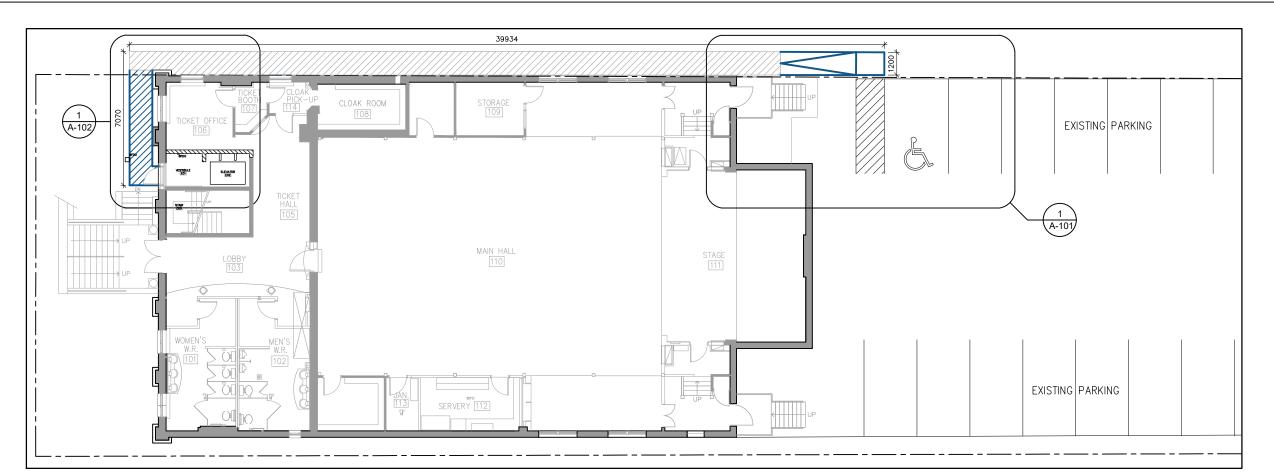
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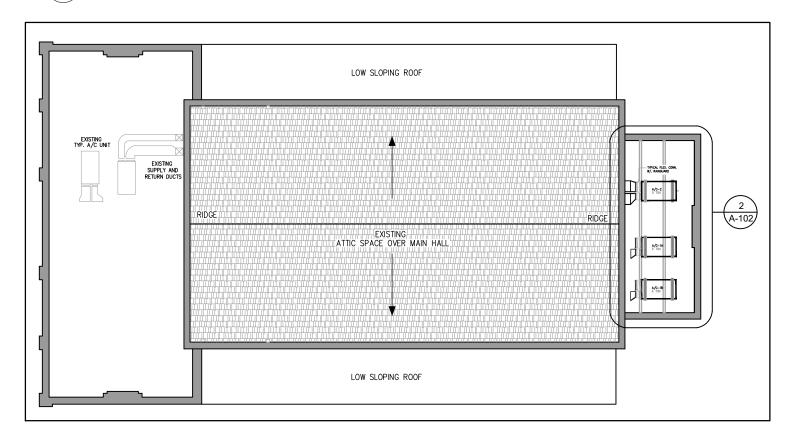
SITE SURVEY

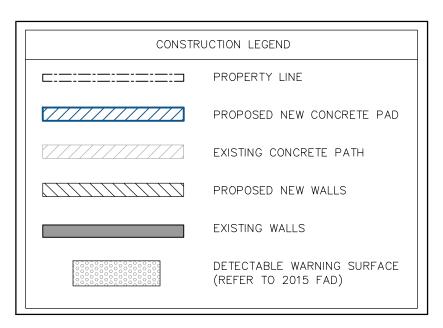
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Date:	2019-05-07
Drawn:	MP
Checked:	CC
Scale:	1:300
Sheet No.	

A-002



1 GROUND FLOOR PLAN
1: 200





THIS DRAWING, AS AN INSTRUMENT OF SERVICE IS 13 FROPER 40 FTHE ARCHITECT/ENGINEER AND MAY NOT BE REPRODUCED WITHOUT THEIR PERMISSION AND UNLESS THE REPRODUCTION CARRIES THEIR NAME. ALL USE ON THE SPECIFIED PROJECT ONLY AND SHALL NOT BE USED. OTHERWISE WITHOUT WRITTEN PERMISSION OF THE ARCHITECTENOISE WITHOUT WRITTEN PERMISSION OF THE ARCHITECTENOISE DIMENSIONS AND CONDITIONS ON THE JOB AND THE ARCHITECTENOISE SHALL BE INFORMED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS ON THE JOB AND THE ARCHITECTHENISES SHALL BE INFORMED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS OF THE ARCHITECTHENISES SHALL BE INFORMED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS THE CONTROL OF A SHALL BE INFORMED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS THE CONTROL OF THE ARCHITECTHENISES FROM THE DIMENSIONS AND CONDITIONS THE CONTROL OF THE ARCHITECTHENISES FOR THE DIMENSIONS AND CONDITIONS THE CONTROL OF THE ARCHITECTHENISES FOR APPROVAL BEFORE PROCEEDING WITH ANY FABRICATION.

REVISIONS/SUBMISSIONS

No.	DATE	DE	SCRIPTION
1	2019-05-16	ISSUED F	OR CLIENT REVIEW
2	2019-05-17	ISSUED FO	R HERITAGE ADVISORY COMMITTEE
_	<u> </u>		I 5 1 1 1 11
True North			Project North

Architect

Cellucci+Pace

510 Rowntree Dairy Road, unit 3C Woodbridge, ON. Canada L4L 8H2 Tel: (416) 885-2260



CLARKE MEMORIAL HALL LIFT UPGRADES

161 Lakeshore Rd. West, Mississauga, Ontario, L5H 1G3

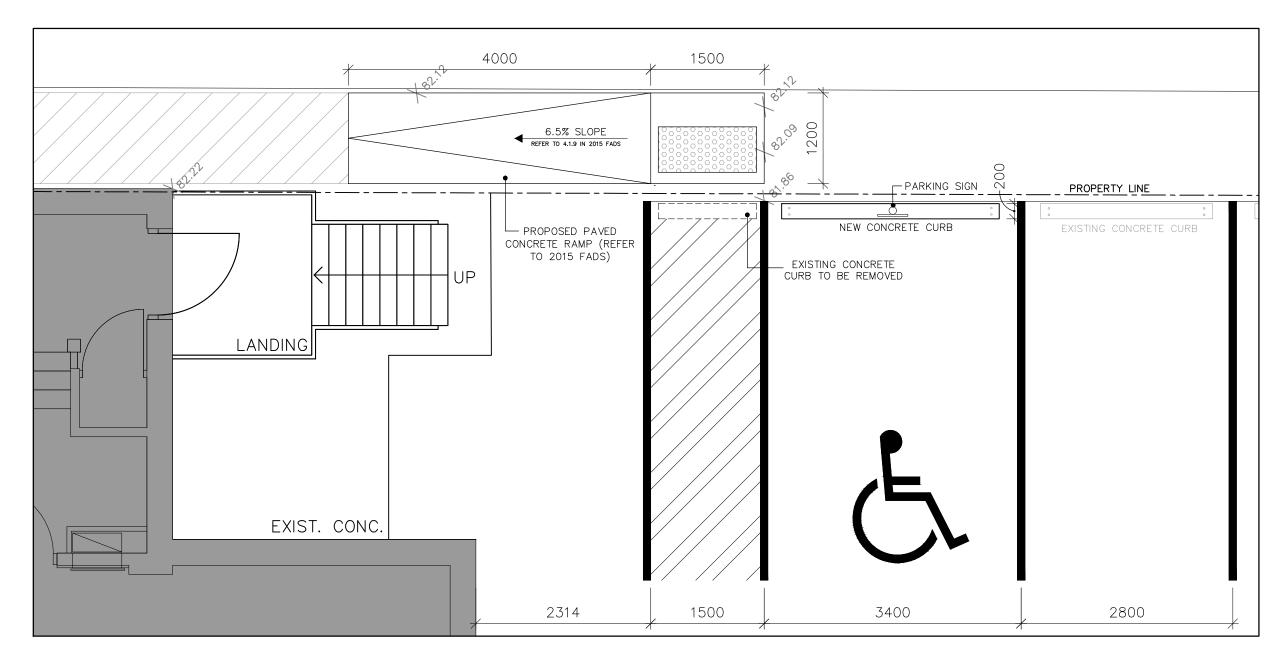
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SCOPE OF WORK

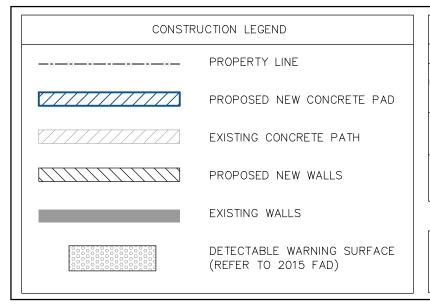
Project No:	19 - 016
Date:	2019-05-07
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A-100

2 ROOF PLAN 1: 200



1 HANDICAP PARKING ACCESS PATH



WALL TYPE LEGEND					
No. DETAIL DESCRIPTION			DESCRIPTION	REQ'D FRR	
NON-LOADBEARING STEEL STUDS	P1	+ 124 + + + + + + + + + + + + + + + + + + +	INTERIOR GYPSUM BRD. BRACED TO U/S OF STRUCTURE • 16mm GYPSUM BOARD (TAPED, SANDED AND PAINTED) ON BOTH SIDES OF • 92mm METAL STUDS @ 400mm 0.C		
LOADBEARING CONCRETE BLOCK NORMAL AGG. WEIGHT	P2A	 1000000	190mm CONCRETE BLOCKS	1 HR	
CAST IN PLACE CONCRETE	P1	* * * *	200mm CAST IN PLACE CONCRETE WALL (REFER TO STRUCT.)		

NOTE: ALL RAMP AND ACCESSIBILITY STANDARDS ARE IN COMPLIANCE WITH THE 2015 ACCESSIBILITY DESIGN STANDARDS (FADS) BY THE CITY OF MISSISSAUGA

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PERMISSION AND UNLESS THE REPRODUCTION CARRIES THEIR NAME ALL
BE ON THE SPECIFIED PROJECT ONLY AND SHALL NOT BE USED
OTHERWISE WITHOUT WRITTEN PERMISSION OF THE ARCHITECTENSINEER
WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALED
DIMENSIONS CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL
DIMENSIONS AND CONDITIONS ON THE JOB AND THE ARCHITECTENSINEER
CONDITIONS SHOWN ON THE DRAWING. SHOP DRAWINGS SHALL BE
SUBMITTED TO THE ARCHITECTENSINEER
PROCEEDING WITH ANY FABRICATION.

REVISIONS/SUBMISSIONS

No.	DATE	DE	SCRIPTI	ON	
1	2019-05-16	ISSUED F	OR CLIENT	REVIEW	
2	2019-05-17	ISSUED FO	R HERITAGE	ADVISORY	COMMITTEE
-					
Jr	ue North		Proj	ect No	orth
			(;		



510 Rowntree Dairy Road, unit 3C Woodbridge, ON. Canada L4L 8H2 Tel: (416) 885-2260



CLARKE MEMORIAL HALL LIFT UPGRADES

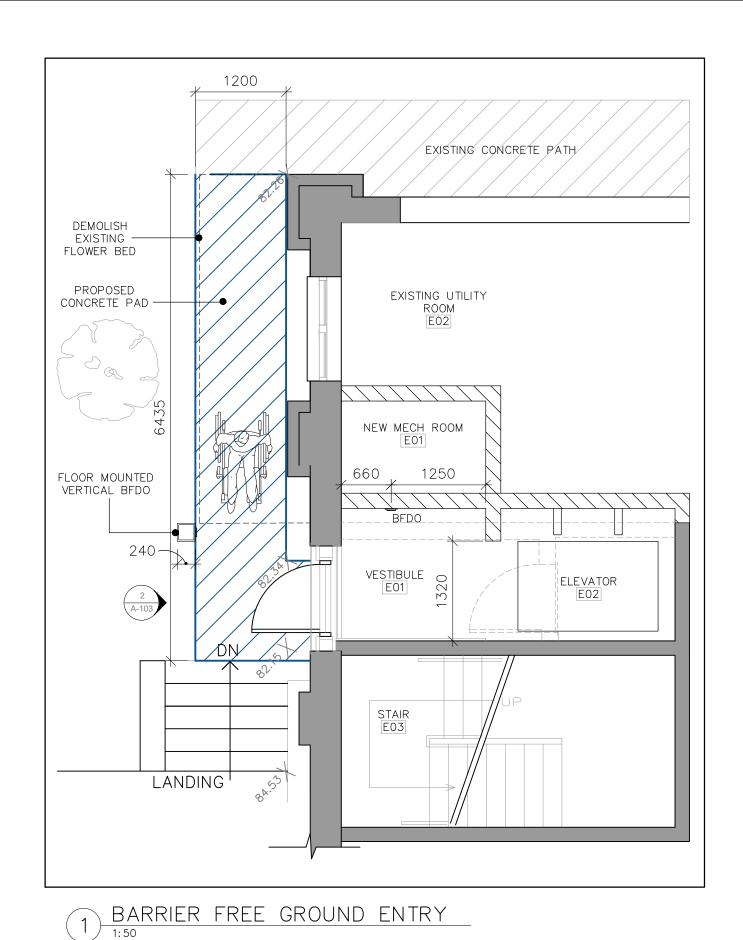
161 Lakeshore Rd. West, Mississauga, Ontario, L5H 1G3

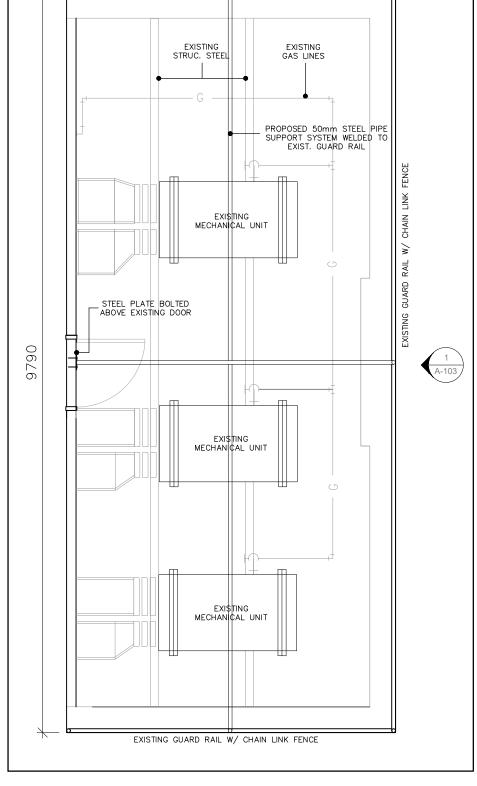
Sheet Title

SITE PLAN PARKING ACCESS

Project No:	19 - 016
Date:	2019-05-07
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A-101





4350

EXISTING GUARD RAIL W/ CHAIN LINK FENCE

2 GUARD RAIL SUPPORT SYSTEM
1:50

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REVISIONS/SUBMISSIONS

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1	2019-05-16		
2	2019-05-17	ISSUED FO	R HERITAGE ADVISORY COMMITTEE
True North			Project North



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CLARKE MEMORIAL HALL LIFT UPGRADES

161 Lakeshore Rd. West, Mississauga, Ontario, L5H 1G3

Sheet Title

Architect

ENLARGED SCOPE OF WORK PLANS

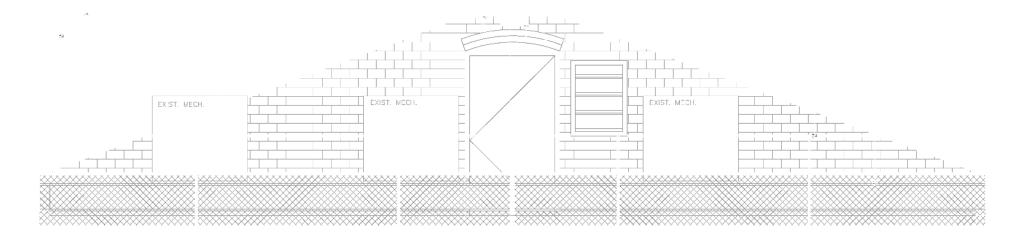
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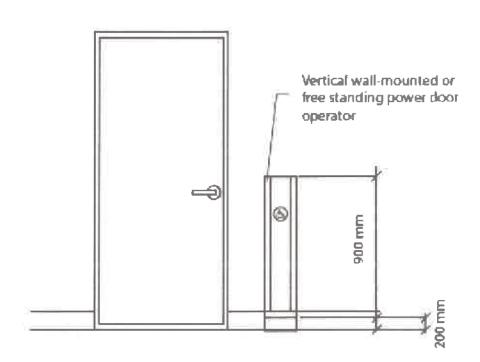
A-102

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REVISIONS/SUBMISSIONS

D. DATE DESCRIPTION





Cellucci+Pace

APCHITECT.RETHEANING PROJECT MANAGEMENT 510 Rowntree Dairy Road, unit 3C Woodbridge, ON. Canada L4L 8H2 Tel: (416) 885-2260



CLARKE MEMORIAL HALL

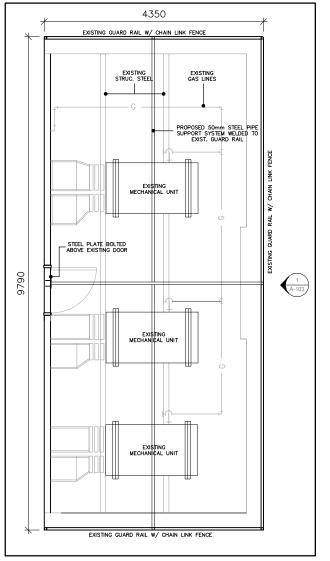
a_{2.1} A-3.8.3.3.(17)(c) Vertical Power Door Operators.

The height range permitted for the location of a power door operators in Subclause 3.8.3.3.(17)(c)(ii) allows for the installation of vertical power door operators, either wall- or floor-mounted, that can be operated by a closed fist, a foot or other pressure anywhere within the height of the door operating device.

19 - 016 2019-05-07

AS SHOWN

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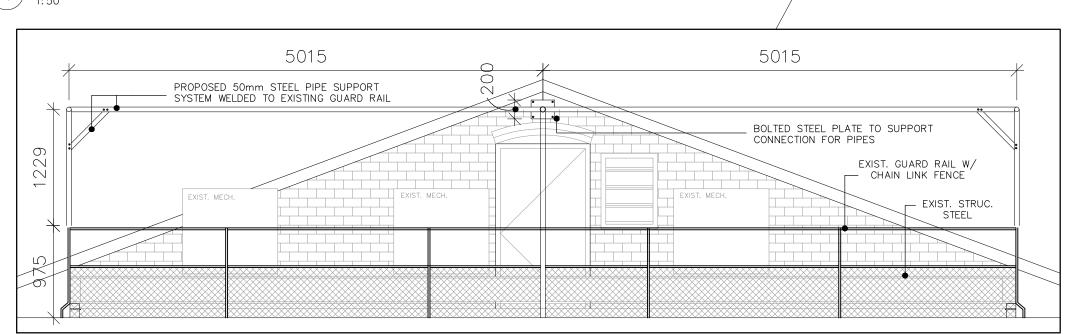








ENLARGED SOUTH ROOF PLAN



2 SOUTH ROOF ELEVATION

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REVISIONS/SUBMISSIONS

NO. DATE		DESCRIPTION			
1	2019-05-16	ISSUED FOR CLIENT REVIEW			
2	2019-05-17	ISSUED FO	R HERITAGE ADVISORY COMMITTEE		
					
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CLARKE MEMORIAL HALL LIFT UPGRADES

161 Lakeshore Rd. West, Mississauga, Ontario, L5H 1G3

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SOUTH ROOF ENLARGED PLAN AND ELEVATION

 Project No:
 19 - 016

 Date:
 2019-05-07

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A-104

City of Mississauga

Corporate Report



Date: 6/18/2019

To: Chair and Members of Heritage Advisory Committee

From: Paul Mitcham, P. Eng, MBA, Commissioner of Community Services

Meeting date: 7/2/2019

Subject

Request to Alter a Heritage Designated Property: 1900 Derry Road East (Ward 5)

Recommendation

That the request to alter the heritage designated property at 1900 Derry Road East, as per the Corporate Report from the Commissioner of Community Services, dated June 18, 2019 be approved on the condition that the work adheres to Parks Canada's Standards and Guidelines for the Conservation of Historic Places in Canada.

Background

The City designated the subject property under Part IV of the Ontario Heritage Act in 1992. Section 33 of the Act requires Council permission for alterations likely to affect the property's heritage attributes.

Comments

The owner proposes repair work "to make the structure watertight to protect it from further deterioration." This work includes masonry and foundation repair. Location images and the proposal are attached as Appendix 1.

The proposed work includes the: removal of deteriorated mortar by hand; replacement of missing bricks with existing spare ones stored on site and; use of lime based mortar to match the existing pointing profile and colour. The proposed work would help protect the building from the elements and bring it to a better state of repair. As such, it should be approved on the condition that it adheres to Parks Canada's Standards and Guidelines for the Conservation of Historic Places in Canada. A qualified heritage mason is strongly recommended.

Financial Impact

There is no financial impact resulting from the recommendation in this report.

Conclusion

The owner of the subject property proposes repair work to help seal the house and bring it to a better state of repair. As such, the proposal should be conditionally approved.

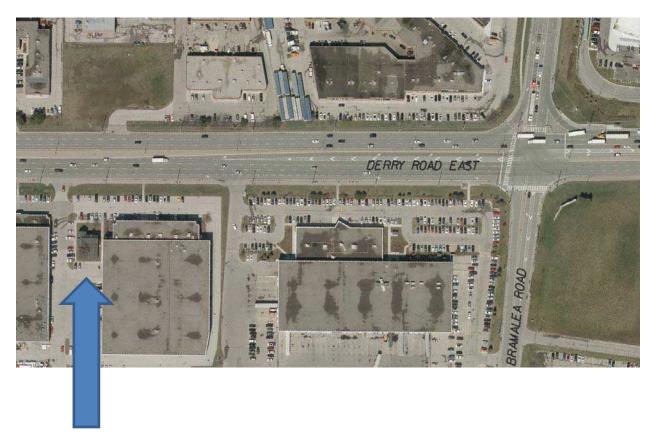
Attachments

Appendix 1: Location Images and Proposal



Paul Mitcham, P. Eng, MBA, Commissioner of Community Services

Prepared by: P. Wubbenhorst, Heritage Planner



House



Google Street View

1900 Derry Road East, Mississauga

Owner: Floorwood Limited.



PROPERTY DETAILS • View Another Property

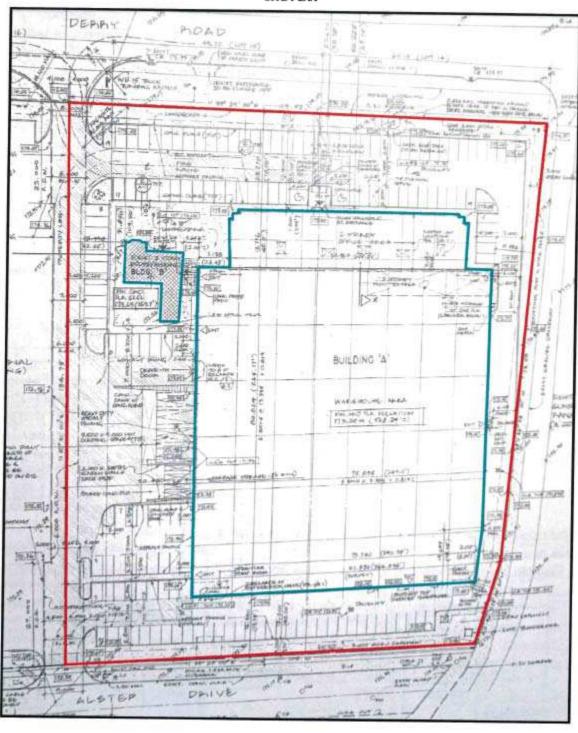
Address: 1900 DERRY RD E 1840 DERRY RD E Ward: 5

 Legal Description:
 LTS 14, 15, PT LT 16 PLAN M805 - PTS 8, Councillor:
 CAROLYN PARRISH 9, 12 - 23 43R22106
 Area:
 15421.04 SM

9, 12 - 23 43R22106 Area: 15
Roll Number: 21-05-050-117-25614-0000 Depth: M
Common Name: Frontage: M

Common Name: Frontage: M
Property Code: WAREHOUSING Status: Registered

SITE PLAN



Preservation plan for 1900 Derry Road East, Mississauga (Heritage House)

Over the years, the structural integrity has been affected by moisture, especially from rainwater penetrating through the roof as well as the brick & stone envelope.

First phase of the preservation project is to make the structure watertight to protect from further deterioration.

Initial phase I Scope of work:

- 1. Paint & seal all door & Window Openings
- 2. Roof repairs
- 3. External Brick wall repairs
- 4. External stone wall base repairs.

1) Paint & seal all door & Window Openings

- i) All openings are currently protected by painted plywood. (see Fig. # 1)
- ii) Repair all plywood currently covering all window openings as well as door openings using 5/8 waterproof plywood. Replace Plywood where required.
- iii) repaint all plywood surfaces using light yellow paint, with window cross members painted black, to match current look.
- iv) Apply CLEAR silicone caulking all around the windows perimeter to make them watertight.

2) Roof Repairs

- i) Repair & Replace all roofing materials where required. (see Fig # 2)
- ii) Roof materials to be Asphalt Shingles as per the current structure (3 -tab type).
- iii) Asphalt Shingles to be Black in colour and match the current design as much as possible as available.
- iv) Re caulk flashing all around the chimney.

v)

3) External Brick wall repairs

- i) The existing external brick wall is double 4" red clay brick with yellow 4" brick accents on the top & corners of windows & doors (see Fig # 3)
- ii) replace missing Brick in several spots all around the structure, using same colour & type 4" brick to match current materials & structure (see Fig # 4)
- iii) Repair all diagonal cracks over widows and doors with matching brick & repoint all joints with Lime based mortar to match current mortar lines. (see Fig # 5)
- iv) Wall on both sides of door opening on east exterior wall is missing some bricks. Replace with matching brick and repoint joints with Lime based brick mortar to match current look . (see Fig # 6)
- v) Replace missing bricks on window wells, and re caulk current cover with clear silicone to make it watertight... (see Fig # 7)
- vi) Repoint all external Brick walls with lime based brick mortar to match current structure & look. Remove all deteriorated mortar using hand tools & replace with new mortar to match the colour and pointing profile of the original mortar (see Fig # 8)

4) External stone wall base repairs

- i) The external base of outside walls is made of rectangular shaped stone laid on a mortar bed and grouted to make it watertight.
- ii) Repair all areas where stone is falling off, using lime based stone mortar, then repoint all surfaces to match current pointing profile.... (see Fig # 9)
- iii) Repoint complete perimeter of all stone surfaces, to prevent water from entering the structure, to match current wall base.(see Fig # 10)

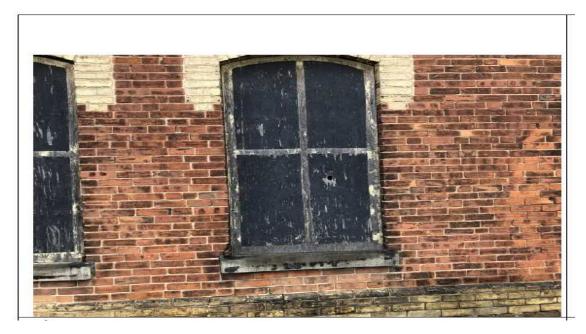


Fig # 1 – Window openings covered with Painted Plywood



Fig # 2 – Asphalt Shingles black



Fig # 3 – external red Brick wall with Yellow brick accents



Fig # 4 – repair & replace brick where missing



Fig # 5 Repair all diagonal cracks over windows & Doors



Fig # 6 – Replace all missing bricks



Fig # 7 – repair stone & brick works around window wells



Fig #8 – re grout all brick external surfaces



Fig # 9 – Repair external stone work



Fig # 10 – re grout all external stonework.

City of Mississauga

Corporate Report



Date: 6/18/2019

To: Chair and Members of Heritage Advisory Committee

From: Paul Mitcham, P. Eng, MBA, Commissioner of Community Services

Meeting date: 7/2/2019

Subject

Request to Alter a Heritage Designated Property: 1507 Clarkson Road North (Ward 2)

Recommendation

That the request to alter the heritage designated property at 1507 Clarkson Road North, as per the Corporate Report from the Commissioner of Community Services, dated June 18, 2019 be approved.

Background

The City designated the subject property, known as Benares, which is owned and operated by the City, under Part IV of the Ontario Heritage Act in 1977. Section 33 of the Act requires Council permission for alterations likely to affect the property's heritage attributes.

Comments

Following up on a similar 2017 application, Facility and Property Management (FPM) proposes to restore the potting shed at the rear of the property. The proposal includes restoring the windows and doors, and replacing the cedar roof, siding, soffit and fascia. The elements that require replacement are in too poor a condition to conserve and would be replaced in kind. The proposal is attached as Appendix 1. The proposal also includes work on the chimneys of the main house. The chimney cap on the rear kitchen would be replaced "like for like" and the other chimneys restored. The proposed work is sympathetic to the property's heritage attributes and should be approved. Consultation with the Ontario Heritage Trust, a requirement as per the heritage easement, is in process.

Financial Impact

The cost is budgeted and covered under Facility and Property Management's approved capital budget funding.

Conclusion

FPM has submitted an application to conserve the potting shed and chimneys at the subject property. The conservation work depicted in the proposal is sympathetic to the heritage attributes of the property and should therefore be approved.

Attachments

Appendix 1: Proposal



Paul Mitcham, P. Eng, MBA, Commissioner of Community Services

Prepared by: P. Wubbenhorst, Heritage Planner



May 29, 2019

Heritage Conservation Management Plan – Roof, Eaves & Chimney Renewal at Benares Historic House and Roof & Siding Renewal at Benares Estate Potting Shed, Clarkson Rd., Mississauga ON

- 1. Introduction
- -An executive summary of the scope of the project:

The proposal is to do significant conservation work on the existing potting shed and minor maintenance work on the existing estate house. The work on the potting shed will consist of replacement of the existing cedar shingle roof; replacement of the existing wood siding, soffit and fascia, doors; conservation of windows. The work on the estate house will consist of minor repairs to the roof and chimneys; replacement of some eavestroughs and associated components.

-Background information to document the historical and development history of the site

This site has been heavily researched and documented, including in the Benares Visitor Center located on this property.

- Identification of the property owner and stakeholders, current and proposed use

The property is currently owned by the City of Mississauga although the Ontario Heritage Trust has a conservation easement over the property. The current and proposed uses are as a cultural history museum. The potting shed forms part of the fabric of the estate however the public is not admitted inside the building and it is not used as part of the historical interpretation. This building is used for general storage only. The estate house is a major part of the historical interpretation of the site with the public admitted to the building and it and the environs used for public events.

2. Project Description

Property Description:

- Identify the location, municipal address and provide an appropriate location map

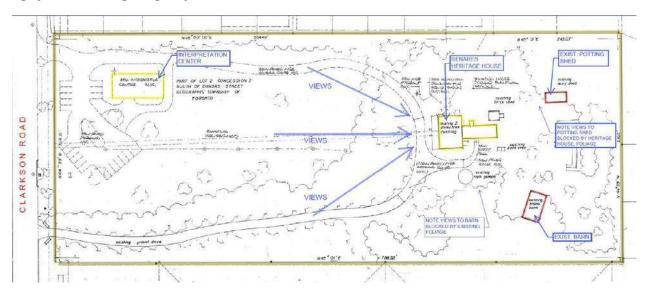
1507 Clarkson Rd N, Mississauga, ON L5J 2W8

- Documentation of the existing conditions to include recent specialized photograph documentation, measured drawings, site plan, identification of site features such as topography, landscaping or other on-site features

See attached architectural drawings.

- Landscape inventory and documentation will include a site plan, views and vistas, water features, tree location and species, land forms, geological formations, fences, walls, berms, pathways, or any other landscape features

There are no significant views or vistas associated with these buildings. There are no water features, significant land or geological formations.



- Identification of neighbouring properties, including any built form or features, required to illustrate the context of the subject property



Benares Estate is located in a stable residential community. To the north, east and south are single family dwellings. To the west is a place of worship and further north along Clarkson Rd. N. is a community shopping plaza. The subject buildings are located at the rear of the Estate. The front elevation of the house is visible from the street but the other elevations are not. The potting shed is not at all visible from the street.

- Summary of the history of the property outlining its development over time within a timeframe context
- Documentation of land ownership from the original Crown Grant and subsequent records from the land registry office

The history of the Benares estate has been extensively researched and documented, including in the Benares Visitor Center. This history does not have to be repeated for this document.

- B) Significance:
- Statement of cultural heritage value or interest

Property Heritage Detail (City of Mississauga website):

Some of the out-buildings on the property date to the original Edgar Neave estate, circa 1835. The main house, a two storey brick and stone structure is rectangular in shape with a long single storey stone portion to the rear. The rear stone part of the building dates to 1835 whereas the brick portion was built circa 1855 after a fire destroyed the original stone building. There are various out buildings on the property as well. The main block has a medium hipped roof. The molded cornice has paired dentils along its frieze. At each side of the structure, there are two pairs of internally bracketed, brick, double-linked chimneys. Two other internally bracketed brick chimneys appear in the rear section, which has a gabled roof. The full lighted basement beneath the main section is accessible from outside. A stone foundation supports brick walls. The walls and foundation of the rear section are constructed completely of stone. Along both floors of the front facade, there are four, six over six paned, double hung windows. All fenestration is shuttered. The front entrance is set into a paneled umbrage. A glazed transom and sidelights surround the four paneled door. Above, there is a small balcony with turned balusters, spoolwork and lattice frame work. A door opens out onto it from the second floor. Along the complete width of the front facade there is an open verandah, with no balustrade. The posts are cambered and the cornice is trimmed with brackets. The colours on the building were done to reflect the 1890 period. The house has been retrofitted and generally restored based on research and informed detailing on the inside and out from 1990 to 1995, by the Ontario Heritage Foundation. Completed as a community museum to reflect the 1918 period. The history of this site dates to the 1830s, which is evident in the remaining stone (rear) portion of the main house. The site is an important cultural landscape as the six acre parcel provides a link to the area's agrarian past; with it historic elements, mature trees, open space, all within an urban context

- Identification of the cultural heritage attributes and values of the property structures and landscape features

City of Mississauga Designation Statement:

"Benares" property is recommended for designation on the architectural grounds that it is a substantial house built in the Georgian style with such vernacular adaptations as the veranda and balcony. The main brick block incorporates the original cut stone house as a rear wing. There are also interesting outbuildings on this property. Historically, the original stone wing is believed to have been started in 1835 by Edgar Neave. The property was then sold to Captain James B. Harris in 1837 who built the main block in 1857. The house has added interest in that it is believed to have been the model for Jalna in Mazo de la Roche's White Oaks series.

- Identification of any recognized significance, such as a heritage designation by- law, historic plaque, etc

The property is Designated under Part IV of the Ontario Heritage Act and functions as a museum and interpretive center. It is highly recognized as a heritage resource within the City of Mississauga.

- C) Planning and Policy Status:
- Provide details of the current land use and related Official Plan policies and Zoning

The property is zoned OS2 under the Mississauga Zoning By-law 0225-2007. This is a zone that allows only a City Park with active and passive recreational uses

- Identify any regulatory requirements (e.g. heritage designation, flood plain requirements, etc.)

The heritage designation is noted above. There are no flood plain or other issues.

- 3. Project Objectives
- Outline what is to be achieved by this project

As regards the potting shed, the intention of the project is to conserve the building by replacing weathered siding, roof, soffits and doors and by repairing weathered windows to prevent the intrusion of moisture and wild animals into the building and by so doing to ensure the long-term viability of the building.

As regards the estate house, the intention of the project is to do ongoing maintenance of the building to prevent decay caused by water infiltration and invasive animal activity.

- Provide short term and long term goals and objectives

As regards the potting shed, the short term objective is to improve the building's appearance, to restore the building to water-tightness and to secure it against animal intrusion. The long term objective is to have this building remain as part of the fabric of the Benares museum and to continue to allow it to be used for seasonal and miscellaneous storage.

As regards the estate house, the short term objective is to prevent deterioration due to water infiltration and invasive animal activity. The long term objective is to properly conserve the building to allow it to remain as the most significant part of the Benares museum.

- Proposed solutions for conservation of the property's heritage attributes

Conservation recommendations: POTTING SHED

Photo-documentation:

-once appropriate scaffolding is on site the existing siding, soffit, fascia, windows and doors should be thoroughly photo-documented prior to beginning work

-the potting shed is presently vertical board siding (no battens) on the south elevation and horizontal wood siding on the other elevations. The horizontal wood siding is (at least partially) held in place by newer dipped galvanized nails while the vertical boards are held by older square nails (with some newer nails from later repairs). Research conducted by a review of available historic photographs is inconclusive as regards whether the building was originally one siding material or varied, as presently existing. Consequently, the conservation methodology is to retain the existing condition and to replace the deteriorated materials like-for-like.



Existing siding detail showing differential nailing pattern. Horizontal siding at left fastened with newer, round galvanized nails. Vertical siding at right fastened by older, non-coated square head nail

Demolition:

<u>South Elevation</u>: the vertical board siding on the south elevation appears to have come to the end of its serviceable life. The boards all appear to display evidence of cracking, splitting and local deterioration. The board material on the south elevation should be removed completely. The removed board material should be inspected and if serviceable portions (generally 1.2m long or longer) from these removed boards can be recovered they should be cut out and saved for potential re-use at some future time. Other boards can be discarded.

<u>North, East and West Elevations</u>: the bevelled siding on these elevations is weathered but in generally better condition. The siding should be removed and inspected. The removed siding material should be inspected and if serviceable portions (generally 2.4m long or longer) from this removed siding can be recovered they should be set aside and saved for potential re-use at some future time. Other pieces can be discarded.

<u>Roof:</u> the existing cedar shingles are relatively recent additions to the building but now heavily deteriorated. They should be removed and discarded together with any paper or other underlayment material that may be present. The roof sheathing boards must be inspected for damage or deterioration and sheathing boards replaced as required. Assume that 25% of these boards may require replacement.

<u>Windows</u>: the windows (including all associated sills, trims and casings) should be removed by a specialist window conservator and taken off-site for repair and replacement of deteriorated elements

<u>Doors</u>: the doors are visibly sagging and deteriorated. They should be taken off their hinges and used as templates for the construction of new doors. The original hardware (if serviceable) including fasteners should be marked as to location and set aside for re-use.

<u>Soffits and Fascia:</u> the soffits and fascia are weathered and damaged by animal intrusion and should be removed. The removed pieces should be inspected and if serviceable portions (generally 1.2m long or longer) from these removed boards can be recovered they should be cut out and saved for potential re-use at some future time. Other boards can be discarded.

<u>Nails:</u> original square head nails removed during the demolition should be retained. Newer wire nails can be discarded.

<u>Wooden head flashings</u>: original wooden head flashings (if present) or other features should be removed and documented

<u>Animal intrusion</u>: if invasive animals are discovered during the course of this work a pest control strategy will have to be developed. This is outside the scope of this report.

Inspection:

<u>Air Barrier:</u> it is not anticipated that any building paper/air barrier/vapour barrier will be discovered following removal of the siding. In the event that this material is present a strategy for inspection, re-use or replacement will have to be developed at that time.

<u>Asbestos</u>: it is not anticipated that any asbestos or similar deleterious materials will be discovered. In the event that these materials are found to be present a strategy for removal and abatement will have to be developed at that time.

<u>Elevations</u>: the substrate conditions must be must be inspected for serviceability following removal of the siding. It is expected that vertical elements +/- 0.6m on center will be available for re-use. If these elements are loose, missing, deteriorated or otherwise not suitable for re-use a conservation strategy will have to be developed at that time. Replacement of these structural elements is not part of the scope of work of this project.

<u>Soffit and Fascia</u>: the points of attachment of the soffit and fascia must be inspected for structural soundness and ability to be re-used. If these elements are loose, missing, deteriorated or otherwise not suitable for re-use a conservation strategy will have to be developed at that time. Replacement of these structural elements is not part of the scope of work of this project.

<u>Wood sill</u>: It is expected that the potting shed is founded on a heavy wooden sill resting on the earth. These sills frequently deteriorate over time. The sill will be exposed with the removal of the siding. It must be completely inspected for structural soundness. A conservation strategy for the sill will be developed at that time. Replacement of the sill is not part of the scope of work of this project.

<u>Doors</u>: the doors must be completely inspected following removal and used as a template for the construction of new doors to match the existing in size and construction technique. Re-use salvaged hardware where possible.

<u>Roof:</u> the existing roof sheathing boards should be inspected for deterioration and to ensure they are well fastened to the underlying structure. Deteriorated boards should be removed and replaced with similar material. Replacement sheathing boards must match the existing in size and profile. Plywood or other sheet sheathing materials are not acceptable. Assume that 25% of the sheathing boards will require replacement.

Note: Professional engineering assessment may be required if unexpected conditions are encountered.

Protection during Construction:

-tarps or plywood must be used to protect the building at all times while the roof and siding replacement is taking place

-it is expected that the windows will be off-site undergoing conservation for several weeks or longer. During that time the openings in the building must be temporarily blocked with tightly fitted plywood or other material to prevent water and animal intrusion. All other areas of the building must be similarly protected during the construction process.

Construction:

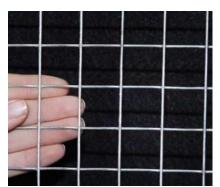
<u>South Elevation</u>: new vertical wood board siding should be installed on this elevation. This siding should replicate in size, species and dimension the existing size and profile. Nailing pattern should be as per existing or min. 2 rows of nails @ 0.6m on center.

<u>North, East and West Elevations</u>: new horizontal siding should be installed on these elevations. This siding should replicate in size, species and dimension the existing size and profile. Nailing pattern should be as per existing or min. one nail @ 0.6m on center.

<u>Windows</u>: the windows (including all associated sills, trims and casings) should be re-installed by the specialist window conservator.

<u>Doors</u>: the replacement doors should be re-hung using original hinges and fasteners in their original locations as closely as possible.

<u>Soffits and Fascia:</u> the soffits and fascia should be entirely replaced using materials matching the existing in dimension, profile and species. The underside of the soffits should be lined with 50mm x 50mm 10 gauge galvanized welded wire mesh. This should be discreetly fastened with stainless steel clips and wood screws.



50mm x 50mm galvanized welded wire mesh

<u>Nails:</u> nails should be common wire or spiral nails. All nails must be hand driven – no pneumatic or automatic nailing equipment may be used (except as regards roof shingles, see below). Nails must be appropriate for their use with a minimum embedment into the substrate of double the thickness of the member being fastened.

<u>Wooden head flashings</u>: Wooden head flashings with size and detail to match the existing should be provided at all openings where they presently exist or are known to have existed.

<u>Cedar Shingles</u>: Cedar shingles to be "Certigrade Blue Label" in size and coursing to match existing. Use IKO "RoofGard" underlayment on entire roof. Ensure eave protection and flashings per Ontario Building Code. Use "Cedar Breather" material by Benjamin Obdyke on entire roof. General installation of cedar roof to requirements and specification of Cedar Shake & Shingle Bureau (<u>www.cedarbureau.org</u>) and Ontario Building Code. Pneumatic driven fasteners may be used for cedar shingle installation. Shingle fasteners must be galvanized or stainless steel.

<u>Flashings</u>: Required flashings to be galvanized metal, copper or lead coated copper only. Prefinished aluminum or metal flashings are not acceptable.

<u>Sill Beam:</u> Any proposed replacement of the sill beam will require a conservation methodology to be developed on-site once some initial demolition, excavation and exploration of this area is undertaken.

Replacement sill beam to match existing sill in size and means of attachment to other members. Replacement sill beam to be heavy-duty pressure-treated suitable for ground contact and meeting the standards of the American Wood Protection Association UC4B or similar.

<u>Salvage Material</u>: Any material salvaged from the removal of the siding, etc., should be stored in situ for potential re-use as patching elements for this or other buildings in the future. There is no intention to re-use salvaged material as part of this project.

Inspection:

SMDA should be called to inspect at the following project stages at a minimum:

- -following scaffolding of building but prior to any removals
- -following removal of deteriorated siding and shingles
- -following removal of doors and windows
- -prior to placing any new material
- -prior to re-installation of doors and windows
- -in the event that unexpected conditions are encountered

Recommended siding material supplier:

-Hoffmeyer's Mill, 189 Huron Rd., Sebringville, ON www.hoffmeyersmill.com

Recommended Window Conservator:

-Walter Furlan Conservation 905 383 3704

Submittals:

Contractor will be required to submit to SMDA and the City of Mississauga the following:

- -details of preferred material suppliers
- -samples of all fasteners, siding, building materials proposed to be used
- -sample of cedar shingle material, underlayment, cedar breather, fasteners

Conservation recommendations: ESTATE HOUSE

Photo-documentation:

-any area proposed to be disturbed should be thoroughly photo-documented prior to beginning work

Inspection:

-the consultant and contractor will carry out a site inspection to review the areas of concern and to develop a construction methodology

Protection during Construction:

-The estate house must be protected at all times against water or animal intrusion during the course of this work. This protection may include tarps, temporary plywood coverings, temporary measures to divert water, etc.

Construction:

Ridge slates on north elevation: loose ridge slates must be re-attached and this area of the roof restored to water-tightness. It may be necessary in doing this to remove and re-attach other (presently firmly attached) slates and/or flashings. Some replacement slates and/or flashings may be necessary. Replacement slates must match the existing in size and colour as closely as possible. Replacement flashings must be copper, lead or leaded-coated copper to match the existing as closely as possible. Aluminum and pre-finished flashings are not appropriate.

Eavestrough repairs: Eavestroughs and rain water leaders (downspouts) on the entire building must be inspected for water tightness, general deterioration, attachment and to ensure positive slope to drain. The eavestroughs (and downspouts) on the lower roof on the north and south elevations are in poor condition and should be replaced (refer to Architectural drawings for location and extent). Other eavestroughts should be inspected and the findings reported to the consultant. The original eavestrough materials on the building consist of painted galvanized steel and copper profiles with soldered connections. New eavestroughs and rain water leaders may be galvanized steel (if available) or copper shaped to match the existing profiles. Do not use typical "K" section contemporary extruded aluminum sections. Do not use contemporary 5" eavestrough. Do not use contemporary straps, hangers or downpipes. All profiles and detailing must match existing. Connections should be soldered. Provide samples to consultant. Paint new metal components with primer specified for the purpose and two coats finish paint.

<u>Downspout on north-east corner of building</u>: One piece of downspout has been replaced with a temporary plastic pipe. This must be replaced to the above specifications.

<u>Cap-stone on east chimney</u>: The cap-stone on the east chimney (kitchen) appears from the ground to be deteriorated. This should be replaced with a new stone of similar colour and type to the existing.

<u>Paired chimneys on south elevation</u>: These are highly articulated brick chimneys. There appears to be some deterioration of these chimneys when viewed from the ground. These must be inspected and a conservation strategy developed. This will include re-pointing and potentially localized replacement of bricks. Full demolition and rebuilding of the chimneys is not anticipated. A conservation strategy will be developed once this can be examined from a scaffold or lifting device.

Brick maintenance and repointing should be undertaken by qualified individuals under the supervision of a heritage consultant and using as a guideline for their work "General Guidelines"

for the Preservation, Rehabilitation and Restoration of Masonry" from the Standards and Guidelines for the Conservation of Historic Places in Canada and "Practical Conservation Guide for Heritage Properties – Masonry" available from the Region of Waterloo.

Inspection:

SMDA should be called to inspect at the following project stages at a minimum:

- -following scaffolding of building but prior to any removals
- -following thorough inspection by contractor of eavestroughs and rain water leaders
- -following removal of deteriorated elements
- -prior to painting of any new elements
- -in the event that unexpected conditions are encountered

Submittals:

Contractor will be required to submit to SMDA and the City of Mississauga the following:

- -details of preferred material suppliers
- -samples of proposed materials
- -sample of replacement eavestrough and rain water leader profile
- -30cm x 30cm sample panel of proposed brick re-pointing
- Provide the conservation policies to be used in this project (i.e. what conservation principles will be used to ensure long term conservation, maintenance, monitoring, and sustainable use of the property)

ESTATE HOUSE: Generally the existing building is in good condition, appears to have had regular routine maintenance and the work proposed is limited to the replacement of existing deteriorated elements that left un-repaired will allow moisture and animal intrusion into the building and threaten its long term viability. Only deteriorated items will be replaced and serviceable elements will be repaired and retained. The nature of the present and future use, the ownership by the City and the involvement of the Ontario Heritage Trust makes the likelihood of long term maintenance and sustainable use very high.

POTTING SHED: The Potting Shed is in much poorer condition and has had poor and inappropriate maintenance. It also has suffered from moisture and animal intrusion with serious consequences to the building. This building will likely not survive much longer unless urgent conservation work is done.

4. Statement of Heritage Intent

- An explanation is required that proposes the reasoning and considerations behind the choice of conservation treatments.

The conservation treatments proposed are the minimum maintenance requirements to allow the buildings to continue to function and survive in their present use.

- Statement as to why one period of restoration over another was selected, rationale for new interventions, background resources used such as principles and conventions of heritage conservation.

There is no restoration proposed as part of this project and no choice of period. The intention here is periodic maintenance.

- Statement as to the recording, inventory and disposition/retention of moveable cultural heritage resources (e.g. artifacts, archival material, salvaged material) and its incorporation into the conservation project.

It is recommended that any salvage materials that are suitable for re-use are stored and conserved. Original square nails should also be stored and conserved.

- 5. Condition Assessment of the Cultural Heritage Resource(s)
- Condition report of the cultural heritage resource(s) and specific attributes, identifying any deficiencies or concerns.

This is discussed above.

- Detailed recommendations to mediate and prevent further deterioration. Direction as to use or change in use and how that relates to conserving the heritage attributes.

The purpose of the intervention on the estate house is to provide routine maintenance that will prevent further deterioration. It is expected that routine re-inspection of the building will be necessary as is typical with any heritage building, but no more so than any other similar structure.

The potting shed is in much poorer condition and requires comprehensive work to ensure its continued viability. The purpose of this intervention is to do this work. Following this work the building will continue to require on-going maintenance, but no more so than any other similar structure.

- Outline opportunities and constraints with relation to all aspects of the project (i.e. budget, planning issues, public access, long term needs)

There are no planning issues or other similar considerations.

- Recommendations for conservation treatments that reference the framework provided in Parks Canada Standards and Guidelines for the Conservation of Historic Places In Canada.

See Appendix at end of this document.

- 6. Building System and Legal Considerations
- Statement to explain the building and site use from a practical, logistical and legal perspective

The potting shed presently functions as an ancillary building to the Benares museum. There is no public access to the building or programming associated with this building. The estate house is a critical part of the museum with significant programming and frequent public access associated with it.

- Input from structural, mechanical, electrical, planning, geotechnical, trades, and all other required fields of expertise to ensure the project is viable and sustainable. Building and site system review may include:
- Site Work (e.g. landscaping, drainage, servicing)

Proposed site work is minimal and not expected to require professional engineering services but they will be called if unexpected conditions are encountered

- Trees, shrubs, other plantings

There is expected to be minimal impact on trees and plantings

- Archaeological concerns and mitigation

The site has been extensively archaeologically investigated by the Ontario Heritage Trust. No excavation is proposed regarding this work and no archaeological concerns expected.

- Structural elements (e.g. foundation, load bearing)

Professional engineering review will be called upon in the event that these situation are encountered

- Building Envelope (roof, wall cladding, window type), Ontario Building Code, Accessibility

SMDA Design Ltd. are the architectural consultants on the project. There are no accessibility issues

- Mechanical, Plumbing, Electrical

No mechanical, plumbing or electrical work is proposed

- Finishes and Hardware

No significant new finishes or hardware are proposed

- Fire Safety and Suppression

No fire safety or suppression work is proposed

- Environmental Considerations, Lighting, Signage and Wayfinding, Security

No significant environmental considerations are expected. There is no requirement for lighting, signage, wayfinding or security as part of this proposal.

- Legal Considerations (e.g. easements, encroachments, leasing, etc.)

The present owners are also the operators of the building. There are no leasing arrangements. There are no encroachments. There is a heritage easement in favour of the Ontario Heritage Trust.

7. Work Plan

- Timeline to describe, in chronological order, to meet the objectives and goals Statement as to specialized trades or skills that will be required to complete the work

The work will consist of:

-this is summarized above

The work will require qualified local trades but nothing particularly specialized. It is not expected that it will be difficult to find trades to execute the work.

- Proposed budget to meet and sustain the goals and timeline; long term and short term maintenance schedule

The budget has not been finalized. The City of Mississauga owns a number of heritage buildings and is aware of the cost of maintenance.

- Monitoring schedule, process and identify those responsible for monitoring

This is discussed above.

- 8. Qualifications
- Heritage Conservation Management Plans will only be prepared by accredited, qualified professionals with demonstrated experience in the field of heritage conservation
- Conservation Plans are usually a multidiscipline exercise whereby all consultants on the project must demonstrate accredited professionalism, experience and knowledge in their chosen field of expertise
- Additional Information
- Bibliography of all documentation resources
- List of consultants and other professionals related to the project

A CV for Rick Mateljan of SMDA is included.

- 10. Additional Reports that may be required:
- Archaeological report, Arborist's report, Structural engineering report

Noted above

- Any other report that City staff may require to assess the project
- 11. Approval Authority

The City of Mississauga will be the approval authority for a Heritage Conservation Management Plan

Inquiries regarding the submission and requirements of a Heritage Conservation Management Plan should be addressed to Heritage Planning, Culture Division, City of Mississauga

Email: culture.division@mississauga.ca

APPENDIX:

<u>Commentary based on Parks Canada Standards and Guidelines for the Conservation of Historic Places In</u> Canada

1. Conserve the heritage value of a historic place. Do not remove, replace or substantially alter its intact or repairable character-defining elements. Do not move a part of a historic place if its current location is a character-defining element.

Only removal of deteriorated elements is proposed. No movement of any part of the building is proposed.

2. Conserve changes to a historic place that, over time, have become character- defining elements in their own right.

No changes to character-defining elements are proposed

3. Conserve heritage value by adopting an approach calling for minimal intervention.

The proposed intervention to these buildings is as minimal as possible.

4. Recognize each historic place as a physical record of its time, place and use. Do not create a false sense of historical development by adding elements from other historic places or other properties, or by combining features of the same property that never coexisted.

There is no attempt to create a false sense of development.

5. Find a use for a historic place that requires minimal or no change to its character-defining elements.

The ongoing use is an excellent and appropriate use of this property.

6. Protect and, if necessary, stabilize a historic place until any subsequent intervention is undertaken. Protect and preserve archaeological resources in place. Where there is potential for disturbing archaeological resources, take mitigation measures to limit damage and loss of information.

Both of these buildings will be protected and stabilized as a result of this intervention. The Ontario Heritage Trust has done extensive archeological work on this site previously.

7. Evaluate the existing condition of character-defining elements to determine the appropriate intervention needed. Use the gentlest means possible for any intervention. Respect heritage value when undertaking an intervention.

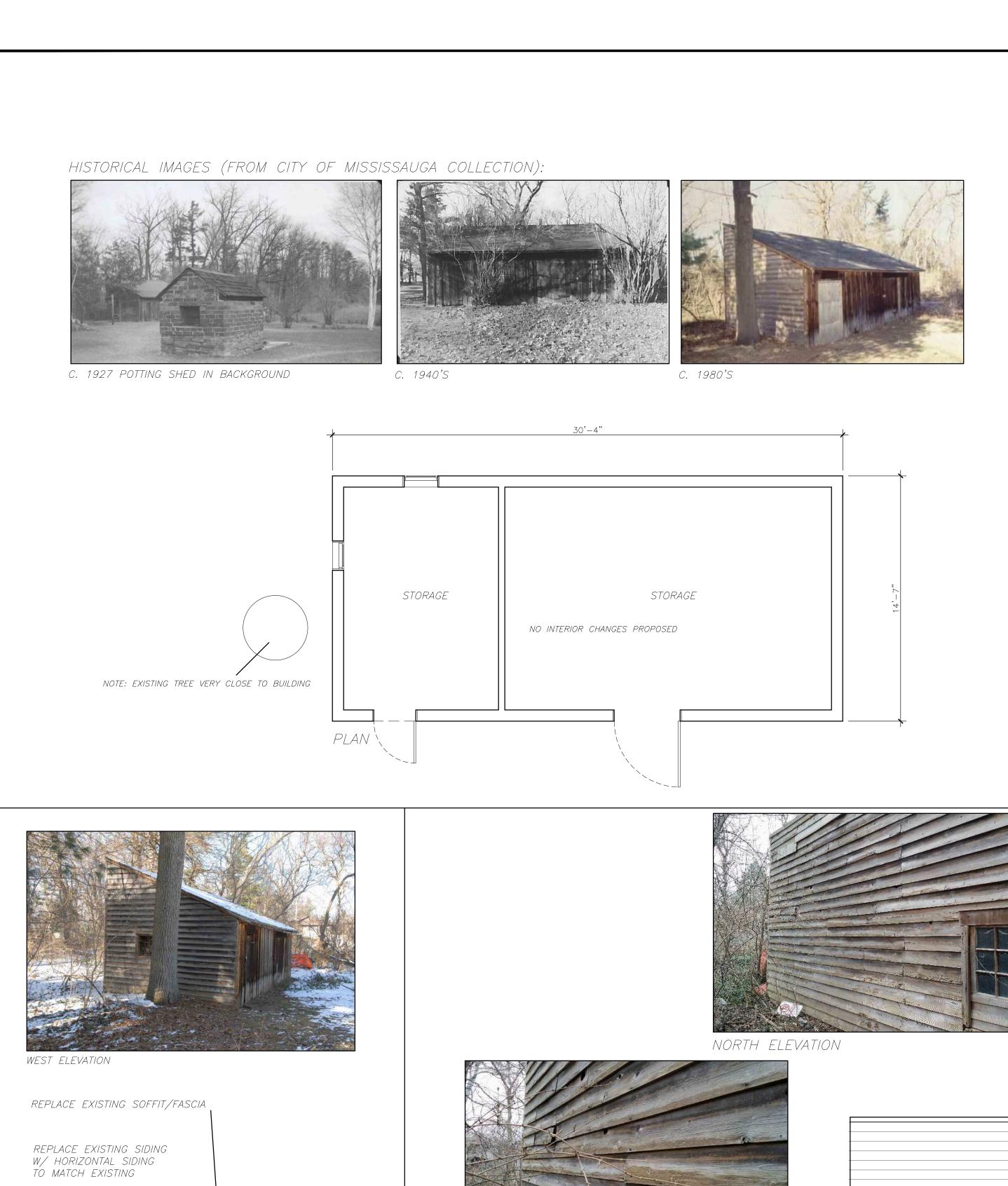
These are gentle and required interventions to these buildings.

8. Maintain character-defining elements on an ongoing basis. Repair character- defining elements by reinforcing their materials using recognized conservation methods. Replace in kind any extensively deteriorated or missing parts of character-defining elements, where there are surviving prototypes.

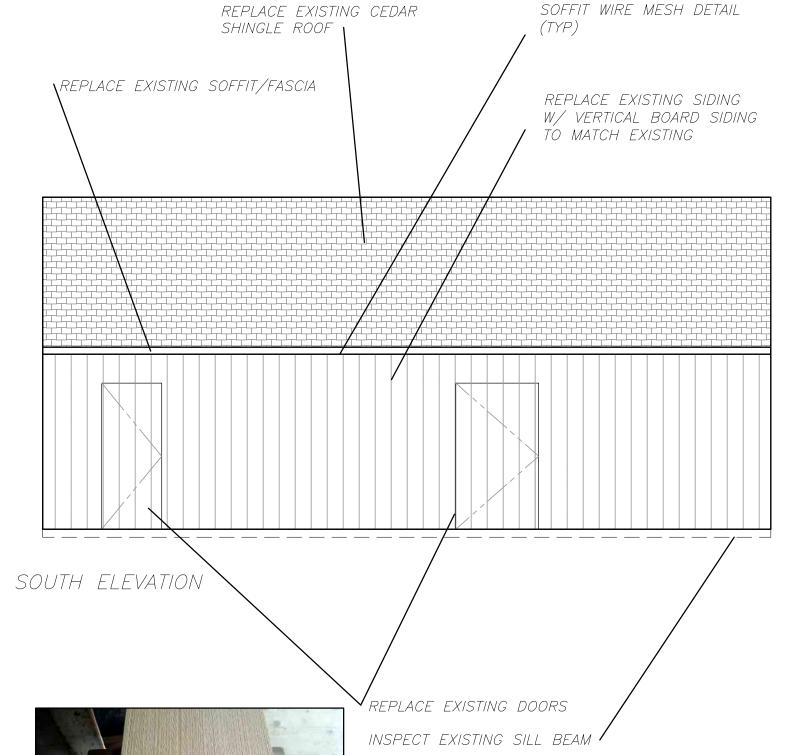
Noted. This is exactly the purpose of this intervention

9. Make any intervention needed to preserve character-defining elements physically and visually compatible with the historic place and identifiable on close inspection. Document any intervention for future reference.

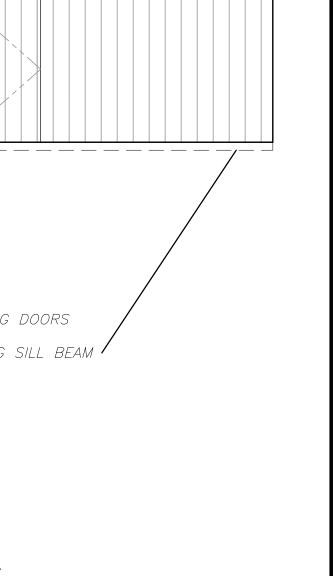
The new siding and roofing material on the potting will be identifiable at first but will eventually fade and come to match the patina of the existing. There will be no identifiable change to the estate house. The buildings will be thoroughly photo-documented prior to work commencing.

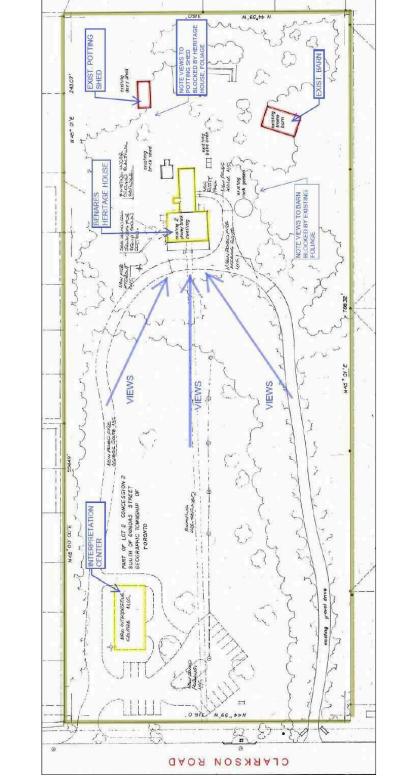






ROUGH-SAWN BOARDS TO MATCH EXISTING VERTICAL WOOD SIDING (TYP) SOURCE: HOFFMEYERS MILL, 189 HURON RD. SEBRINGVILLE ON







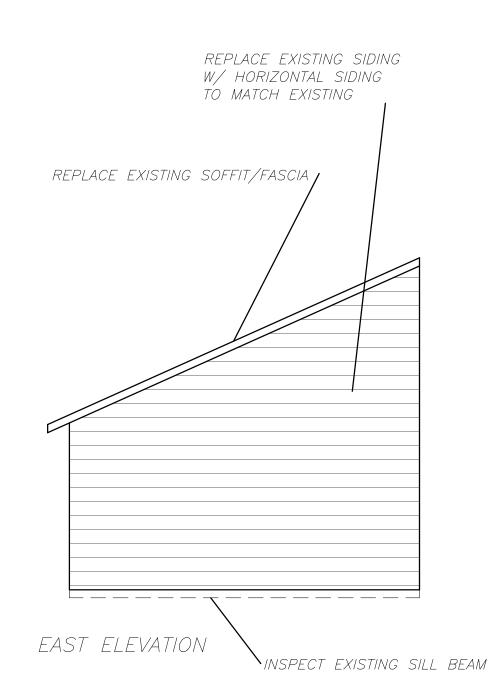


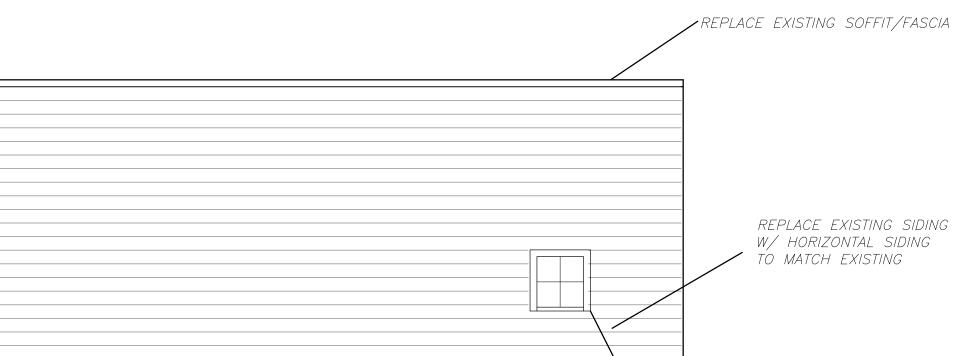
CORNER BOARD — NOTE WEAR

EXISTING DETERIORATED SILL CONDITION



EAST ELEVATION





DOOR AND SIDING

NOTE GENERAL DETERIORATION, GAPS, CRACKS

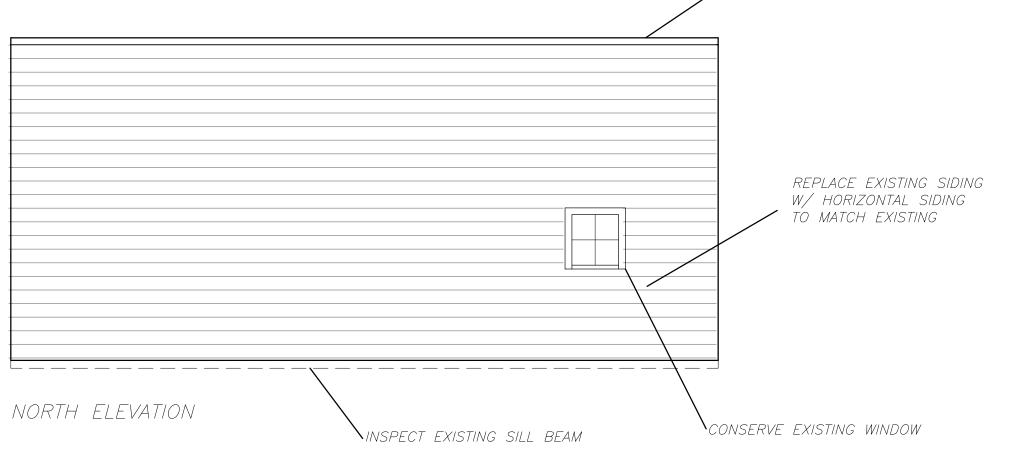


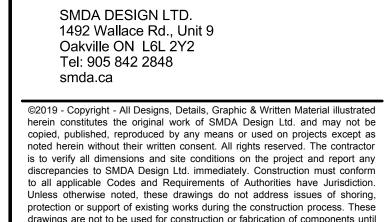
NEST ELEVATION

INSPECT EXISTING SILL BEAM

CONSERVE EXISTING WINDOW

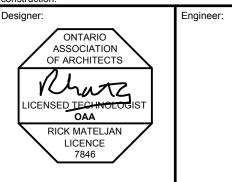
CUSTOM MILLED HORIZONTAL WOOD SIDING TO MATCH EXISTING (TYP) SOURCE: HOFFMEYERS MILL, 189 HURON RD. SEBRINGVILLE ON





1 May 28, 2019 For permit No. Date Issued/Revision

drawings are not to be used for construction or fabrication of components until marked "Issued for construction". Do not scale drawings. Submit shop drawings for review. All setback dimensions from property lines, grades and heights are to be confirmed in the field by a land surveyor prior to

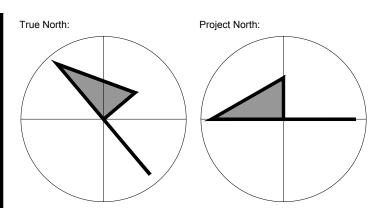


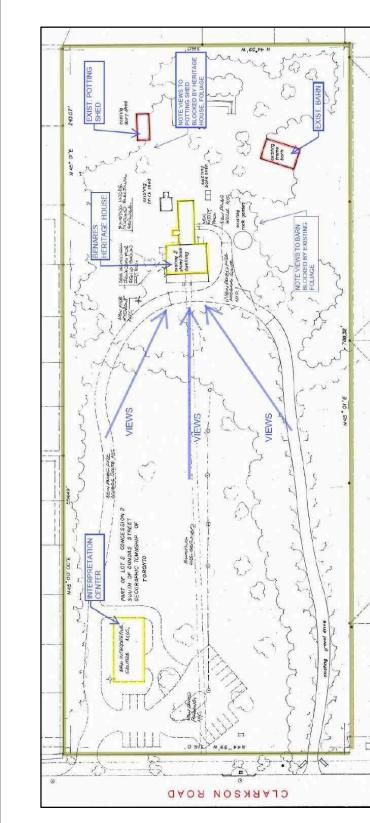
Proposed Conservation Benares Estate 1507 Clarkson Rd. Mississauga, ON

Potting Shed Siding, Door, Roof Replacement Window Conservation

Design By:	Drawn By:	Approved By:
R.M.	R.M.	R.M.
Scale:	Date:	Project No:
3/16" = 10"	MAY 29, 2019	00.00







1 May 28, 2019 For permit

No. Date Issued/Revision



SMDA DESIGN LTD. 1492 Wallace Rd., Unit 9 Oakville ON L6L 2Y2 Tel: 905 842 2848 smda.ca

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Unless otherwise noted, these drawings do not address issues of shoring, protection or support of existing works during the construction process. These drawings are not to be used for construction or fabrication of components until marked "Issued for construction". Do not scale drawings. Submit shop drawings for review. All setback dimensions from property lines, grades and heights are to be confirmed in the field by a land surveyor prior to

ONTARIO ASSOCIATION OF ARCHITECTS Rhanz RICK MATELJAN LICENCE 7846

Proposed Conservation
Benares Estate
1507 Clarkson Rd.
Mississauga, ON

Sheet Title:

Estate House Eavestrough & Chimney Conservation

Design By:	Drawn By:	Approved By:
R.M.	R.M.	R.M.
Scale:	Date:	Project No:
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City of Mississauga

Corporate Report



Date: 6/18/2019

To: Chair and Members of Heritage Advisory Committee

From: Paul Mitcham, P. Eng, MBA, Commissioner of Community Services

Meeting date: 7/2/2019

Subject

Request to Alter a Heritage Designated Property: 1050 Old Derry Road (Ward 11)

Recommendation

That the request to alter the property at 1050 Old Derry Road as per the Corporate Report from the Commissioner of Community Services dated June 18, 2019, be approved.

Background

The subject property is designated under Part V of the *Ontario Heritage Act* as it forms part of the Meadowvale Village Heritage Conservation District (HCD). Changes to the property are subject to the Meadowvale Village HCD Plan, 2014, and substantive changes identified in said plan require a heritage permit.

The owner of the property has submitted an application to replace the existing gravel driveway with an asphalt driveway. The drawings and work plan are attached as Appendix 1.

Comments

The Meadowvale Village Heritage Conservation District plan design guidelines note that the use and installation of permeable paving methods are permitted. As the proposal is for a paved driveway, a heritage permit is required. The current owner of the property met with Heritage Planning staff on-site and discussed the need for better drainage on the driveway and sidewalk adjacent to the property. The paving of the driveway will prevent water from 'pooling' at the end of the driveway where it freezes in the winter, creating a safety concern. It will also divert the water away from the existing structure, adding to its longevity.

Given the safety concern and recognized concern for surface drainage Heritage Planning staff recommend approval.

Financial Impact

There is no financial impact resulting from the recommendation in this report.

Conclusion

The owner of the property has applied for a heritage permit to modify the property by paving the existing gravel driveway. The proposal addressing ongoing safety concerns, is sympathetic to the character of the dwelling and will help provide further longevity to it. As such, the proposal should be approved.

Attachments

Appendix 1: Drawing and Work Plan



Paul Mitcham, P. Eng, MBA, Commissioner of Community Services

Prepared by: J. Dunlop, Supervisor, Heritage Planning

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City of Mississauga

Corporate Report



Date: 6/18/2019

To: Chair and Members of Heritage Advisory Committee

From: Paul Mitcham, P. Eng, MBA, Commissioner of Community Services

Meeting date: 7/2/2019

Subject

Request to Alter a Heritage Designated Property: 7059 Second Line West (Ward 11)

Recommendation

That the request to alter the property at 7059 Second Line West as per the Corporate Report from the Commissioner of Community Services dated June 18, 2019, be approved.

Background

The subject property is designated under Part V of the Ontario Heritage Act as it forms part of the Meadowvale Village Heritage Conservation District (HCD). Changes to the property are subject to the Meadowvale Village HCD Plan, 2014 and substantive changes identified in said plan require a heritage permit. Non-substantive changes that do not comply with the design guidelines also require a heritage permit.

The owner (Rotherglen School Meadowvale Campus) has submitted an application for the following alterations:

- To amend the original 2017 application to address alterations of the windows on the southern addition of the building; as well as a new roof guard and fence; and
- A new roof cover and columns at the rear door to cover the accessibility lift.

The windows on the southern addition, as well as the roof guard and the fence have already been constructed on the property. A justification for their design is included in an addendum to the 2017 Heritage Impact Assessment (HIA) and is attached in Appendix 1. The cover for the accessibility lift is a new proposed alteration to the property. Drawings for all the alterations are included in Appendix 2.

Comments

7059 Second Line West is noted in the Meadowvale Village HCD plan (MVHCD plan) as being a two storey red brick house that is the only example of the Edwardian style within the Village HCD. The house remains fairly true to its original shape, form and design. Its heritage attributes include its original shape, form, massing, design and materials and its location and landscaping of mature trees and open green space on all sides.

The MVHCD plan speaks to new window design that will be compatible with the original in terms of proportions, rhythm and scale and that the style of new windows on an addition should be consistent with the original structure in form, size and alignment.

The MVHCD plan further speaks to new fencing being permitted when the fencing is sited within the boundary of the private property, is constructed of fence materials which currently exist within the Village and complies with City by-laws.

The MVHCD plan does not address roof guards per se, however the design guidelines for nonsubstantive alterations clearly stressed that any alterations must not impact the heritage attributes of the property.

The MVHCD plan speaks to substantive alterations through additions, although it does not speak directly with regards to covers for accessibility lifts. However, the proposed addition is in keeping with the plan as it does not impact the roofline, is located at the rear of the building and cannot be seen from the front, and is of a scale and design in keeping with the overall heritage characteristics of the house.

Financial Impact

There is no financial impact resulting from the recommendation in this report.

Conclusion

The owner of the property has applied for a heritage permit to amend the previous 2017 heritage permit with regards to the windows on the southern addition, as well as the fence, roof guard and accessibility lift cover. The alterations to the property do not comply with the design guidelines within the HCD plan however a justification demonstrating that there are no impacts to the heritage attributes of the property is included in the HIA and the permit should therefore be approved.

Attachments

Appendix 1: Heritage Impact Assessment

Appendix 2: Drawings



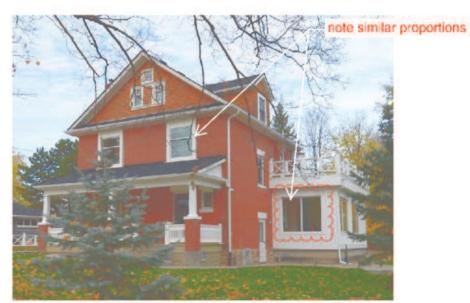
Paul Mitcham, P. Eng, MBA, Commissioner of Community Services

Prepared by: J. Dunlop, Supervisor, Heritage Planning









2018 PHOTOGRAPH SHOWING AS-BUILT CONDITION

Rationale/explanation: The construction drawings called for the existing window at this location to be replaced with a fire-rated wired glass window with a steel frame (the fire rating was required to protect the basement exit door located adjacent to the window) but there were difficulties sourcing such a window and the contractor opted instead to install a regular window protected by a sprinkler inside. This also meets the fire rating requirement. The decision to order the two-gang and not three was inadvertent and made in the confusion of changing suppliers. The proportions of the two-gang window are actually closer to the proportions of the other windows in the front elevation (principally the second floor windows) and in my opinion are appropriate in this case.

2. **Diamond motif in decorative flat roof guard.** The original permit drawings show a guard on the 1990 flat roof made of simple repetitive vertical members. This was also the original condition (likely the as-built condition from 1990). What was installed was a decorative guard with an open diamond motif.



ORIGINAL DRAWING FROM 2017 HERITAGE APPROVAL



2016 PHOTOGRAPH SHOWING ORIGINAL CONDITION



2018 PHOTOGRAPH SHOWING AS-BUILT CONDITION

Rationale/explanation: The original conditions was that there was a terrace on the flat roof and the guard with vertical members was a building code requirement. With the renovations and the addition of the exterior stair/fire escape the building code requirement was no longer an issue because the exterior stair had its own guard. The contractor on his own initiative decided to install a decorative element in place of the former guard.

Heritage practice is generally not supportive of the addition of decorative elements such as this on heritage buildings unless supported by documentary evidence, which is not the case here. The Meadowvale District HCD Plan 2014 states that:

 \square New railings and staircases should be constructed in a design that is consistent with the style of the building and in the Village

The diamond motif implemented here is a classic design but one not typically associated with Meadowvale Village, nevertheless here it has been installed on what is clearly a newer part of the building and does not negatively impact any of the heritage attributes of the building. I recommend that it be allowed to remain.

3. **Perimeter fencing.** The original condition of the property was that there was some newer wood fencing along the south and east property lines. There was no fencing on the north and west property lines. The contractor decided on his own initiative to install perimeter fencing in a diamond pattern along the north and west sides of the property.



2016 PHOTOGRAPH SHOWING ORIGINAL CONDITION NO PERIMETER FENCING



2018 PHOTOGRAPH SHOWING AS-BUILT CONDITION PERIMETER FENCING



2018 PHOTOGRAPH SHOWING DETAIL OF FLAT ROOF GUARD AND RELATIONSHIP TO PERIMETER FENCING

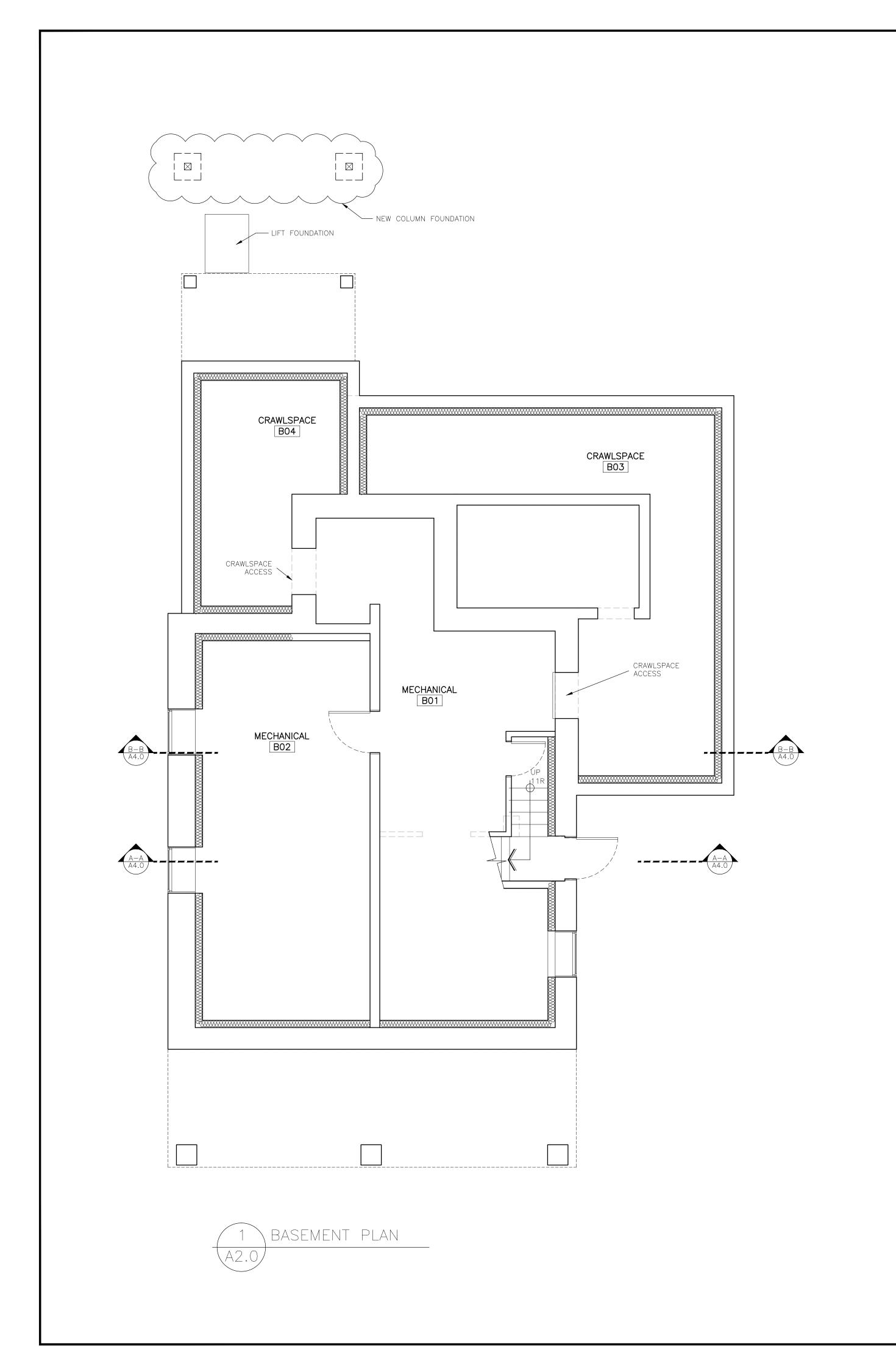
RATIONALE/EXPLANATON: The contractor's choice of the diamond pattern fencing and flat roof guard was intentionally done to create a relationship between these two elements and to unify the building and site. The diamond pattern fencing is typically associated with horse farms and

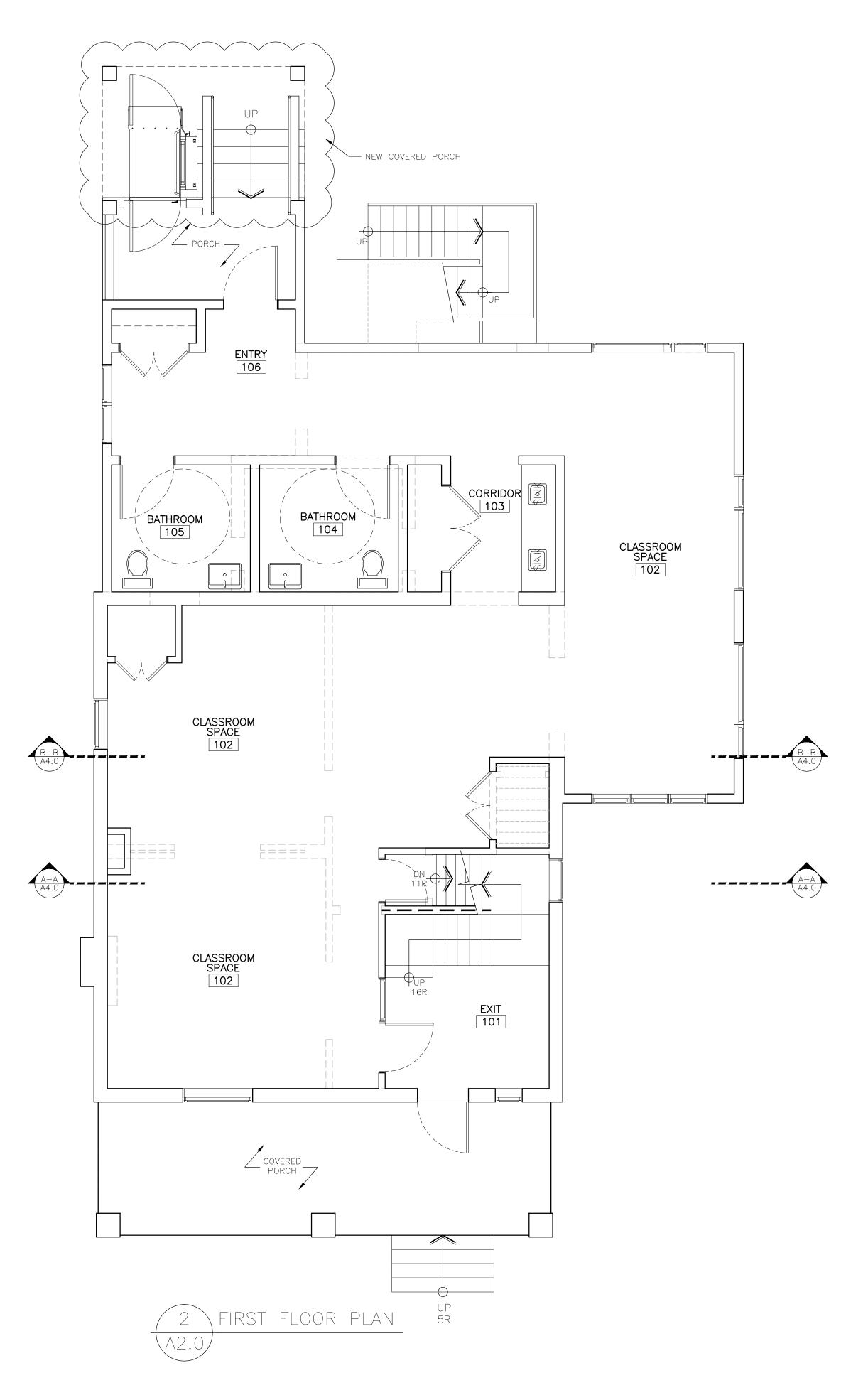
is not really appropriate in the Meadowvale context. The Meadowvale District HCD Plan 2014 states that:

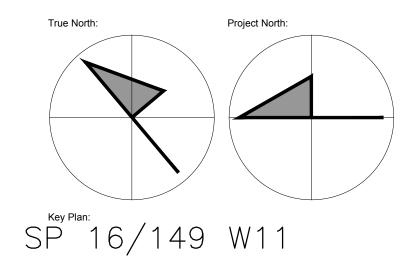
Fencing, in keeping with traditional fencing styles within the Village, when required for safety and security, will be permitted where the following conditions are satisfied:

- sited within the boundary of the private property
- constructed of fence materials which currently exist within the Village
- complies with City by-laws

The fencing installed here is not a traditional style within the Village but it constructed of traditional materials (wood) and does comply with City by-laws. Given that it has been installed some distance away from the heritage building and does not negatively impact any of the heritage attributes of the building. I recommend that it be allowed to remain.







No.	Date	Issued/Revision	Ву:
16	August 14/17	Addressing the Citys comments	A.B.
17	October 03/17	Addressing the Citys comments	K.A.
18	Nov 07/17	Accessory building issue	K.A.
19	Nov 15/17	Addressing the Citys comments	K.A.
20	Dec 19/17	Addressing the heritage comments	K.A.
21	Feb 06/18	Per Client	K.A.
22	Jan 15/19	Heritage Re-submission	R.M.

Architect:

Belinda Jones Architect 159 Martin Street Milton ON L9T 2R3

Structural Engineer:



200 Queens Avenue, Suite 301 London ON N6A 1J3 Tel: 905 842 2848 centricengineering.ca

Prime Consultant:

SM Strickland Mateljan Design + Architecture

79 Wilson Street, Suite 301 Oakville ON L6K 3G4 Tel: 905 842 2848 smda.ca

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Project: 7059 Second Line West, Mississauga ON

Rotherglen School

Meadowvale Campus

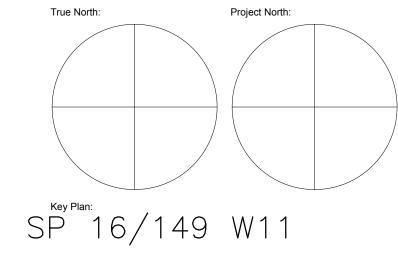
1 Storey Addition and Conversion of Existing 3-Storey

Dwelling Into Learning Centre

Basement Floor Plan First Floor Plan

Aug 2016 16.16





No.	Date	Issued/Revision	Ву:
16	August 14/17	Addressing the City's comments	A.B.
17	October 03/17	Addressing the City s comments	K.A.
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Belinda Jones Architect 159 Martin Street Milton ON

P 416-662 6024

Structural Engineer:



200 Queens Avenue, Suite 301 London ON N6A 1J3 Tel: 905 842 2848 centricengineering.ca

Prime Consultant:



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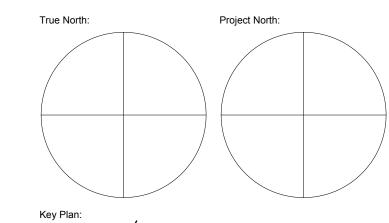
Project: 7059 Second Line West, Mississauga ON

Rotherglen School Meadowvale Campus 1 Storey Addition and Conversion of Existing 3-Storey Dwelling Into Learning Centre

Front Elevation North Elevation

Aug 2016





20 Dec 19/17 Addressing the heritage comments 19 Nov 15/17 Addressing the City's comments 17 October 03/17 Addressing the City® comments 16 August 14/17 Addressing the City s comments





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Rotherglen School Meadowvale Campus 1 Storey Addition and Conversion of Existing 3-Storey Dwelling Into Learning Centre

City of Mississauga

Corporate Report



Date: 6/18/2019

To: Chair and Members of Heritage Advisory Committee

From: Paul Mitcham, P. Eng, MBA, Commissioner of Community Services

Meeting date: 7/2/2019

Subject

Request to Alter a Heritage Designated Property: 915 North Service Road (Ward 1)

Recommendation

That the request to alter the heritage designated property at 915 North Service Road, as per the Corporate Report from the Commissioner of Community Services, dated June 18, 2019 be approved.

Background

William Hedge built the farmhouse, designed by Port Credit architect Dixie Cox Cotton, on the subject property in 1928. The City designated the property under Part IV of the Ontario Heritage Act in early 2016. Section 33 of the Act requires Council permission for alterations likely to affect the property's heritage attributes. In the fall of 2016, staff became aware that heritage attributes were removed without a heritage permit. Charges were laid; the court sentenced the owner to a \$10,000 fine plus \$2500 in court costs. The City granted heritage permits to correct the situation in 2017. However, the work was not completed and the house sat vacant; ownership transferred in May 2019.

Comments

Financial Impact

There is no financial impact resulting from the recommendation in this report.

2019/06/11

2

Conclusion

The owner of the subject property proposes to replicate the original windows. Because the original windows are no longer salvageable, the proposal serves as the best way to conserve the house at this time and should therefore be approved.

Attachments

Appendix 1: Proposal



Paul Mitcham, P. Eng, MBA, Commissioner of Community Services

Prepared by: P. Wubbenhorst, Heritage Planner

RE: 915 NORTH SERVICE ROAD - WINDOW REPLACEMENT (31 May 2019)

BACKGROUND INFORMATION

The new owner of 915 North Service Road is requesting permission to replace the original windows with new wood windows to match the originals. A detailed conservation plan will be submitted at a later date but this matter needs to be resolved right away so that the building envelope can be secured as soon as possible. The owner has requested a quote from Allan Sauder from Window Craft Industries based on the heritage requirements outlined below. Window Craft Industries is included on the City's list of Heritage Trades and has experience making replacement window for heritage designated buildings.

CONDITION ISSUES

An inspection of the current condition of the windows was carried out on May 24, 2019 after the new owner took possession of the property. It was determined that repair of the original windows is no longer feasible due to the extensive damage caused by vandalism and exposure to the elements that has accrued over several years while the house has sat vacant. All of the wood storms are missing, almost all of the glazing is smashed, and many of the frames and muntin bars are smashed. The window sash and the window frames have been exposed to moisture and freeze/thaw cycles and the wood is wet and split.





Typical condition of the original windows – missing storm window, missing lower sash, missing trim, broken sill, water damaged frame

CONSERVATION STRATEGY

The current owner is not responsible for this damage and neglect and would like to install new energy efficient period windows as soon as possible to secure the building from the weather and from further break-ins. He plans to restore the exterior to its original condition by installing custom-made wood windows to match the original windows. He also plans to replace the vinyl windows in the modern dormers on the main elevation so that they match the other windows. This will be an improvement because the current windows detract from the appearance of the main elevation.

REPLACEMENT WINDOWS

The replacement windows will match the configuration, size and profiles of the original windows. Measurements will be taken from the original sash to ensure accuracy. Most of the windows are single sash with a 3 over 1 configuration. There are two casement windows on the west elevation on the ground floor that will be replaced with new casement windows. There are two roof dormers that have vinyl casement windows. These will be replaced with period appropriate windows to match the other windows. The basement windows will also require replacement and are fixed sash.



The widths and profile of the original window stile (left) and muntin bar (right) will be matched.

The windows will be wood construction with a simulated divided light (SDL) with a spacer bar to give the appearance of a true divided light. This is not a flat grille but a full profile muntin bar that is attached to the exterior and interior with a stop so that it appears to go through the glass like a true divided light. The benefit of this option is that the width of the original muntin bar can be retained. The muntin bars on a reproduction wood window that has a true divided light is typically wider than a historic single paned window because of the additional weight of the modern glazing.



Double pane wood window with simulated divided light (SDL) with a spacer bar. The profile of the muntin bar will match the original c. 1920s windows.

MATERIALS & FINISH

A high quality paint grade pine will be used with all components back-primed in the shop. The windows and frames will be painted or will be clad with a high quality extruded aluminum cladding with a matte paint finish.

HARDWARE

The windows will be fitted with period appropriate hardware include metal sash locks and pulls for sash windows and metal lock levers and crank handles for casement windows. The sash cord detail will not be replicated because the modern window assembly does not require a weighted cord.

SCREENS & STORMS

All windows will be operable and the single hung sash windows will interior wood screens with a high transparency mesh. The new windows will be double-glazed so a storm window will not be required.

915 NORTH SERVICE ROAD - WINDOW PROFILES

Manufacturer to provide measured drawings and specifications



3 OVER 1 CONFIGURATION



FRAME STOP PROFILE



MUNTIN BAR PROFILE

City of Mississauga

Memorandum



Date: 2019/06/25

To: Chair and Members of the Heritage Advisory Committee

From: Megan Piercey, Legislative Coordinator

Meeting Date: 2019/07/02

Subject: Appointments to the Meadowvale Village Heritage Conservation District

Subcommittee

The Meadowvale Village Community Association has submitted names of its executives for appointment by Heritage Advisory Committee (HAC) to the Meadowvale Village Heritage Conservation District Subcommittee below:

	Meadowvale Village Community Association Executives					
	First Name	Last Name				
1.	Jim	Holmes				
2.	Brian	Carmody				
3.	John	McAskin				
4.	Dave	Moir				
5.	Greg	Laughton				
6.	Gord	MacKinnon				
7.	Carmela	Piero				
8.	Terry	Wilson				
9.	Greg	Young				

As well that a member of the Heritage Advisory Committee, be appointed to the Meadowvale Village Heritage Conservation District Advisory Subcommittee to provide professional guidance for the term ending November 14, 2022, be approved.

Megan Piercey
Legislative Coordinator
Legislative Services, Office of the City Clerk
300 City Centre Drive, Mississauga, ON L5B 3C1
(905) 615-3200 ext. 4915
Megan.piercey@mississauga.ca

City of Mississauga

Memorandum



Date: 6/18/2019

To: Chair and Members of Heritage Advisory Committee

From: Paul Damaso, Director, Culture Division

Meeting Date: 7/2/2019

Subject: Demolition to a Listed Property: 25 Queen St S.

This memorandum and its attachment are presented for HAC's information.

The property at 25 Queen St South, which forms part of the Streetsville Cultural Heritage Landscape, was evaluated in 2013 for its cultural heritage value and interest resulting in a conclusion that the property was not worthy of heritage designation. A demolition permit was granted at that time. Heritage demolition permits dating prior to April 2, 2014 do not have an expiry date.

A second demolition application was made for the same property in 2015, which was subsequently granted. This permit expired after one year. However; the preceding 2013 permit remained active.

The applicant has re-applied for a demolition permit and provided an updated addendum to the 2013 Heritage Impact Assessment compiled by Strickland Mateljan Design and Architecture, attached as Appendix 1. The consultant has concluded that the subject property is not worthy of designation and the design revisions will not impact or contradict the original reasons for approval.

Heritage planning continues to support the demolition and recommends that the application proceed through the applicable process and notes that an active heritage demolition permit remains for this property. Heritage planning is in discussions with the owner concerning alternative designs to be more consistent with previously approved applications.

The addendum to the 2013 HIA report is attached for your reference.

Attachments

Appendix 1: Heritage Impact Assessment Addendum

Prepared by: Paul Damaso, Director, Culture Division



May 6, 2019

Revision to Heritage Impact Study 25 Queen St. South, Mississauga ON dated October, 2012 (revised February 22, 2013)

Background:

Strickland Mateljan Design Associates Ltd. was engaged in 2012 by Cordoba Construction Management, agents for the then owners of this property, to undertake a Heritage Impact Study to assess the impact of the proposed demolition of the existing building on the site and to comment on the proposed replacement building on the site. This site is part of the Streetsville Village Core Cultural Landscape and Mississauga Road Scenic Route Cultural Landscape.

The proposed demolition and replacement successfully went through the City of Mississauga Heritage approvals process and the Heritage Property Permit application to allow the demolition of the existing building was approved in 2015. The property changed hands and the new owners wish to proceed with a slightly revised building program. This addendum analyzes the impact of this revision.

The proposed development is similar to the previously approved one but with several exceptions, most notable being the removal from the front elevation of a step and corresponding secondary entry door at the south end of the main north-south roof ridge and soffit. The proposed main floor entry door, two flanking windows and second floor windows have been re-spaced and re-centered to suit. The main floor ceiling height has been increased by 2'0" (floor to floor height increased from 11'6" to 13'6") and the overall building height has increased from 31' 9 ½" to 33' 11 ½". The number of second floor windows has been increased from three to four and the main floor window sills have been lowered to ground level from an approximate height of 2'0". The width and height of the paneled trim feature ("boomtown" retail storefront as described below) at the ground level surrounding the front door and window has increased with the re-centering of the front door and the increased floor-to-floor height.

The proposed south elevation is similar to the previously approved one with the exception of the elimination of the step in ridge and soffit described above plus a general re-arrangement and re-sizing of windows and doors. The proposed north and east elevations are very similar to the previously approved version.



Proposed front elevation February 2013



Proposed front elevation May 2019



Proposed South Elevation February 2013



Proposed South Elevation May 2019

The 2013 Heritage Impact Statement offered the following description and rationale for the proposed development (blue font):

The proposal involves the demolition of the existing home on this site and the construction of a new building of approximately 340 m2 designed by Nadeem Irfan Architect Inc. The new building is proposed to be sited approximately in the same area as the home to be demolished. It will feature commercial uses on the ground floor and one residential apartment above, with parking provided in the rear yard.

Comment: no changes to the above are proposed.

The proposed building is a simple, two-storey volume with brick finish and asphalt shingle roof. The roof ridge has been turned at the front so that it runs parallel to the street. This configuration is similar to the existing buildings along the east side of Queen Street South.

Comment: no changes to the above are proposed.

At the ground floor there is a bay window and door combination that recalls a classic "boomtown" retail storefront arrangement surmounted by three smaller casement windows. This is a feature common many of the existing commercial buildings in the historic downtown core of Streetsville. To the south is a single door that accesses the second floor suite.

Comment: the "boomtown" retail storefront arrangement remains although now surmounted by four casement windows and re-centered because of the re-location to the south of the single access door.

The roofline is broken above this second door to give a symmetry to the main entry and windows above. This also serves to visually break down the front elevation and reduce the apparent massing of the building.

Comment: the broken roofline is eliminated although the symmetry of the main entry and windows above remains. The proposal, by eliminating this feature and by increasing the building height does increase the massing of the building.

The building is larger than its immediate neighbours but because of the simplicity of its design it will integrate well into the streetscape. It meets all zoning by-law requirements and meets the intent of the Official Plan policies described above.

Comment: the proposed building is slightly larger than the approved design but retains a simplicity of design and will integrate well into the streetscape. It continues to meet zoning by-law requirements and Official Plan policies.

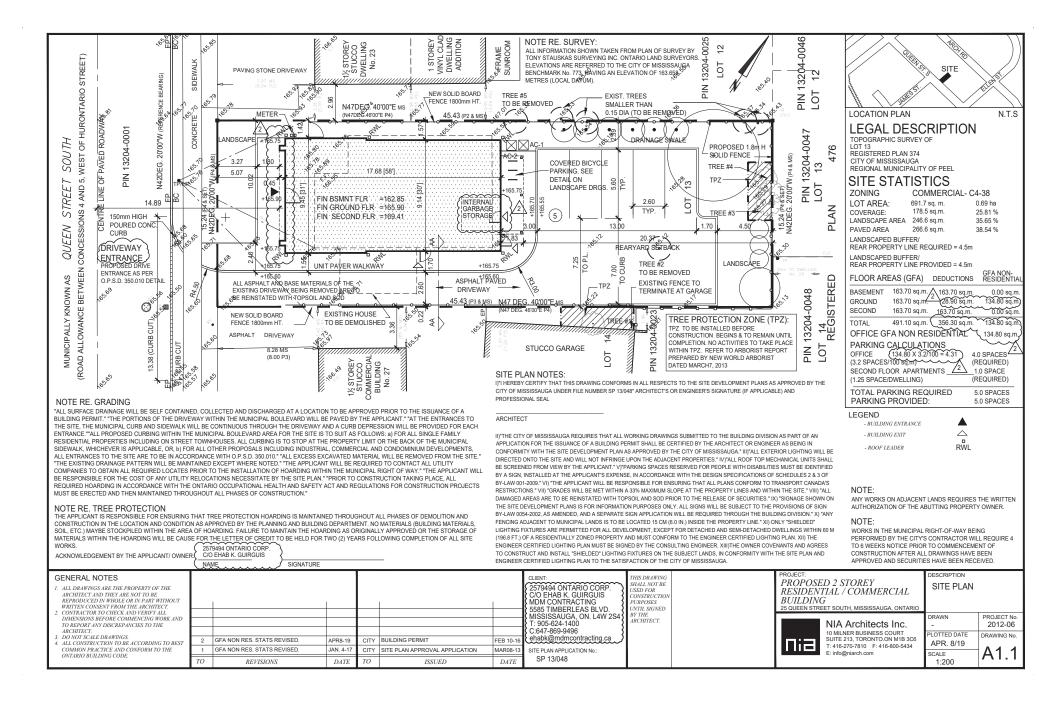


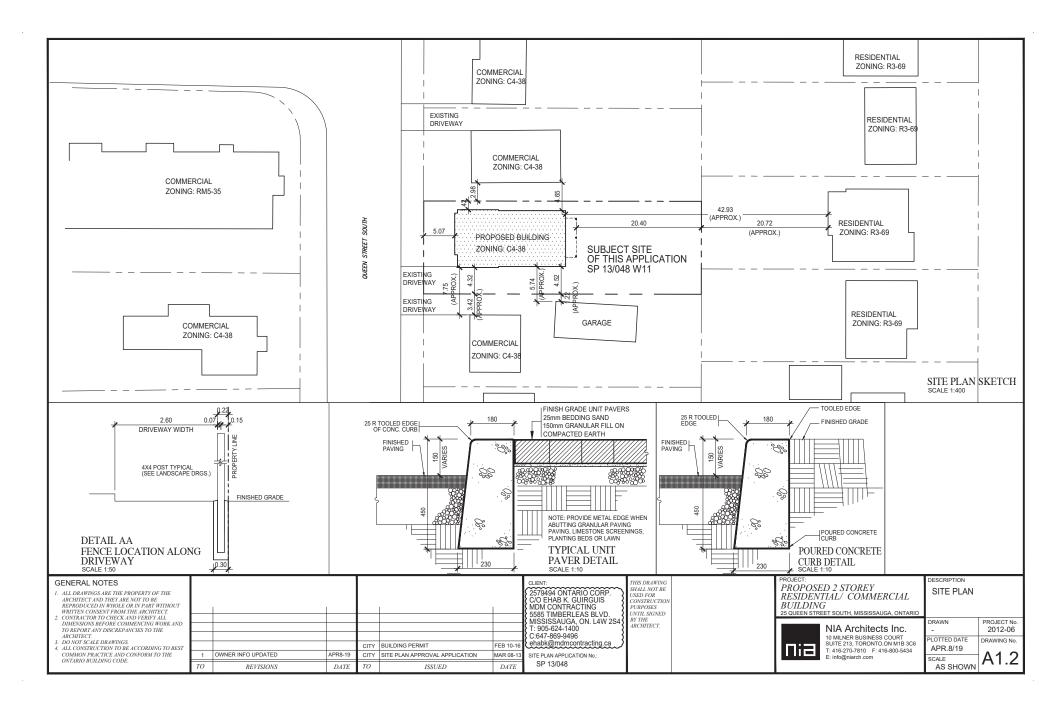
Comparison of Streetscape Elevations: approved vs proposed versions

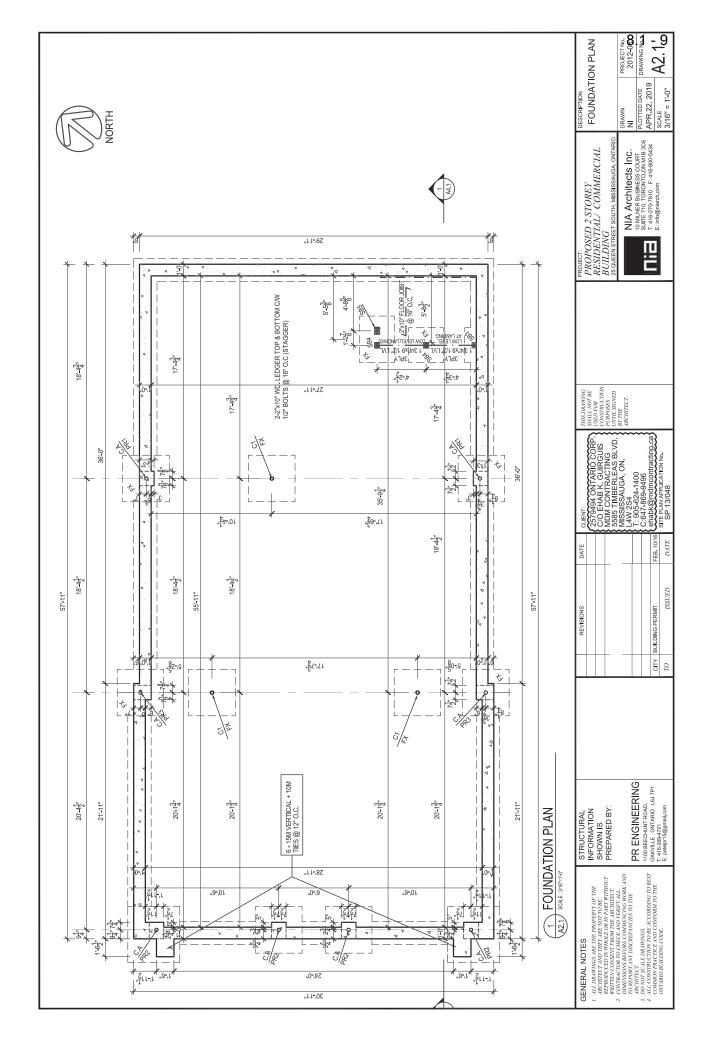
Conclusion: The proposed building is fundamentally similar to the earlier approved version in its use of materials, simplicity, overall form and symmetry. It exhibits slightly increased massing when viewed from the street and south but not so much as to contradict the original reasons for approval.

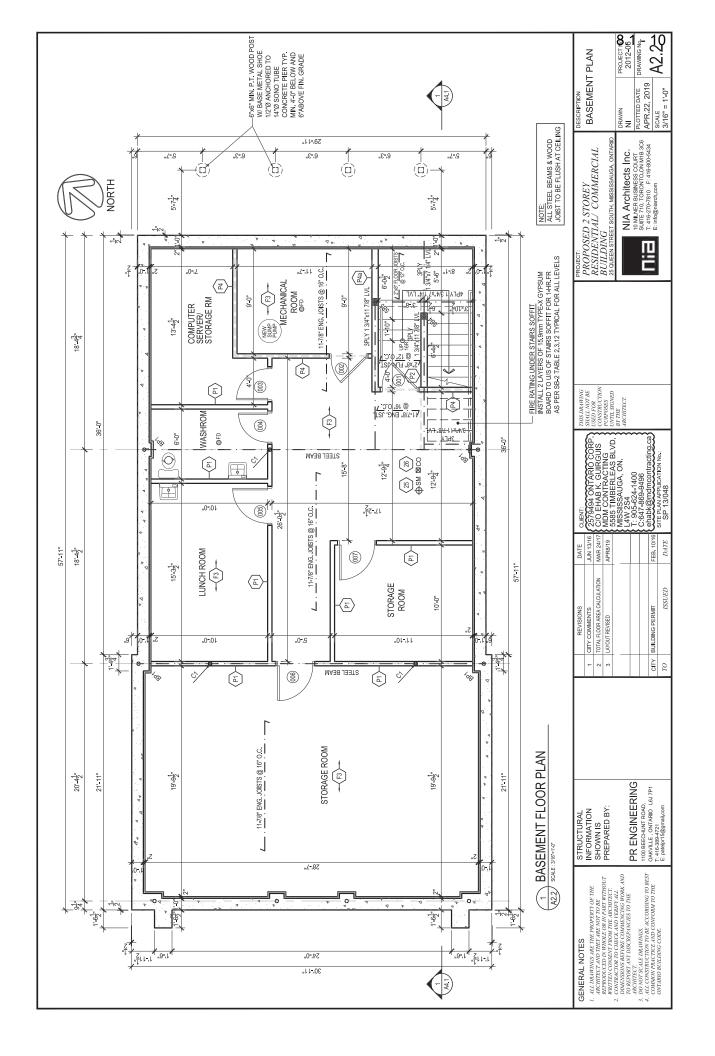


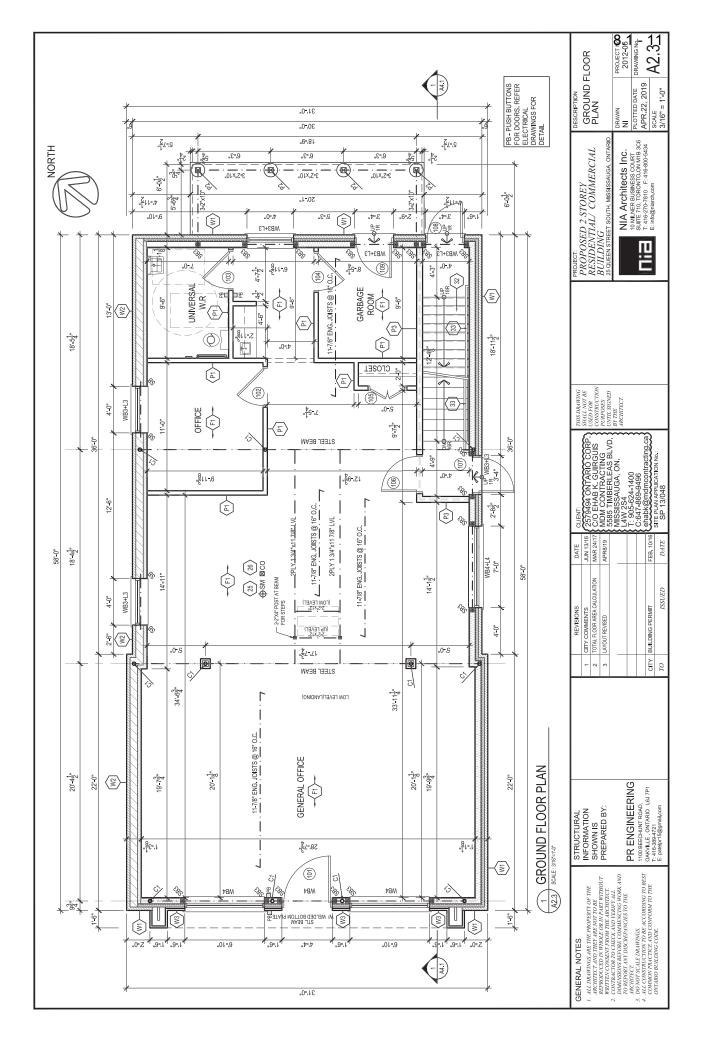
Appendix: Proposed revised building drawings

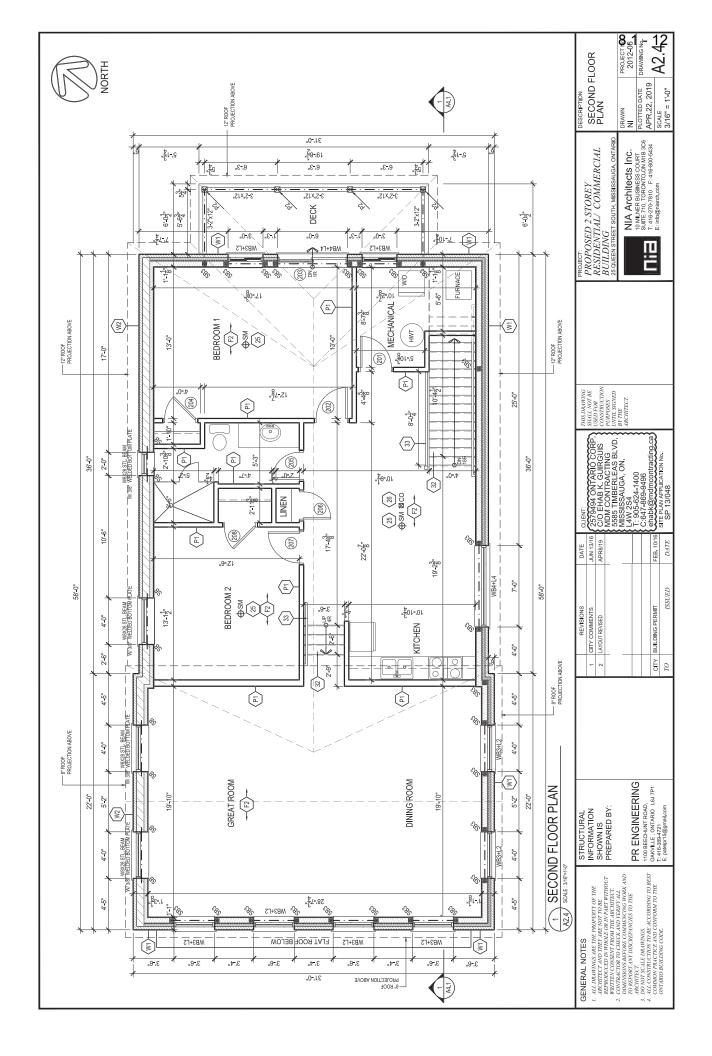


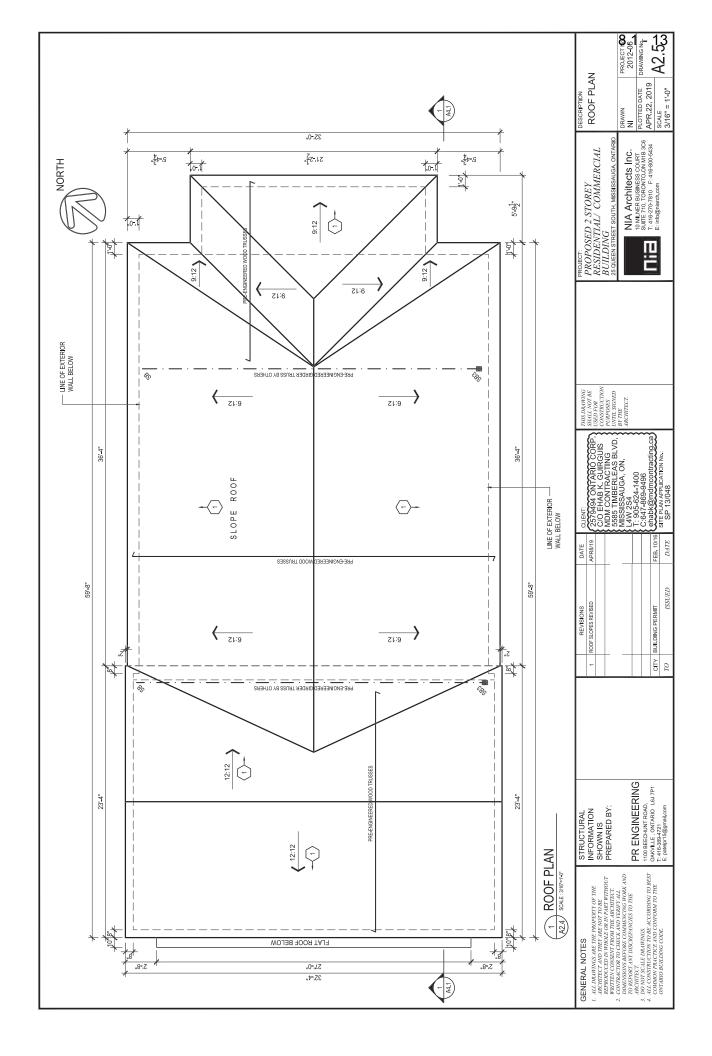


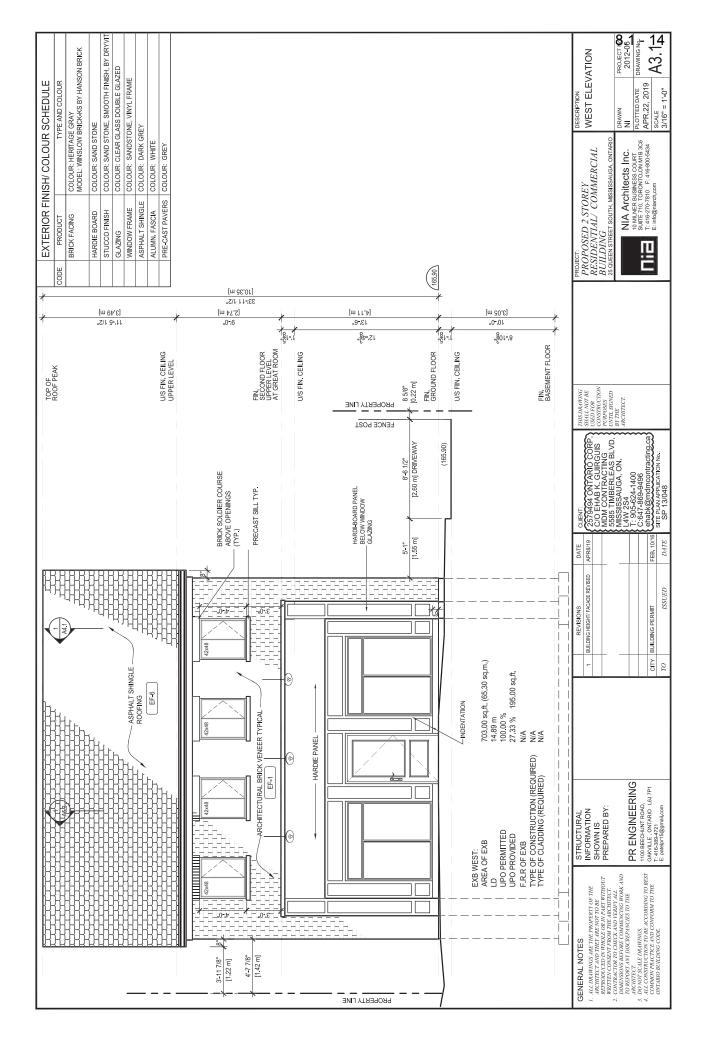


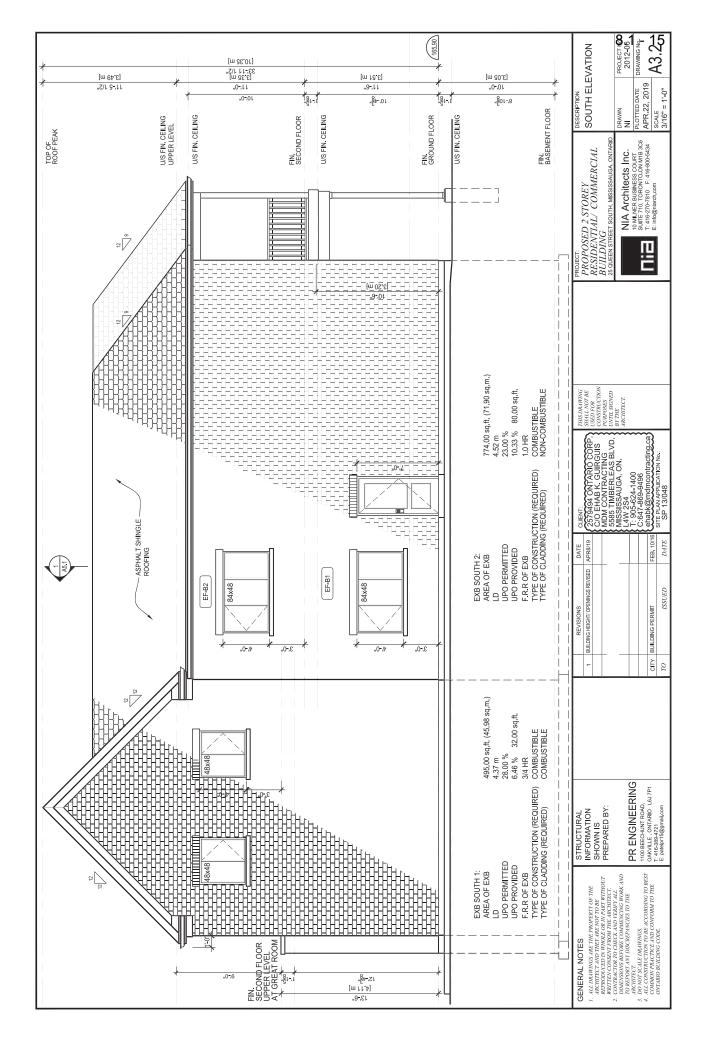


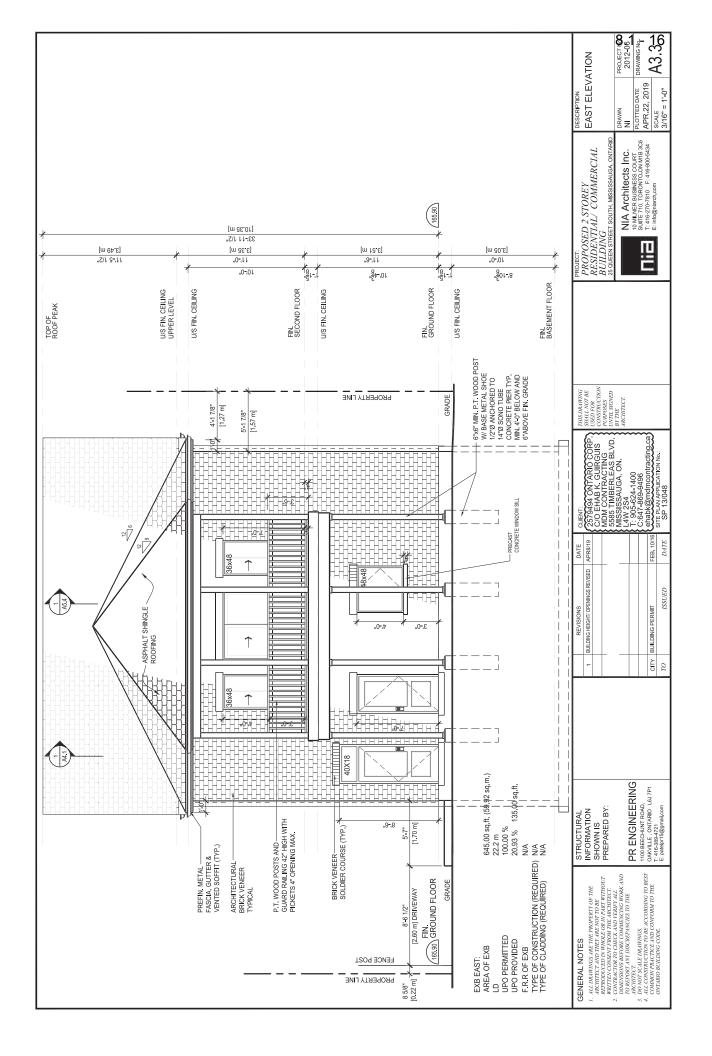


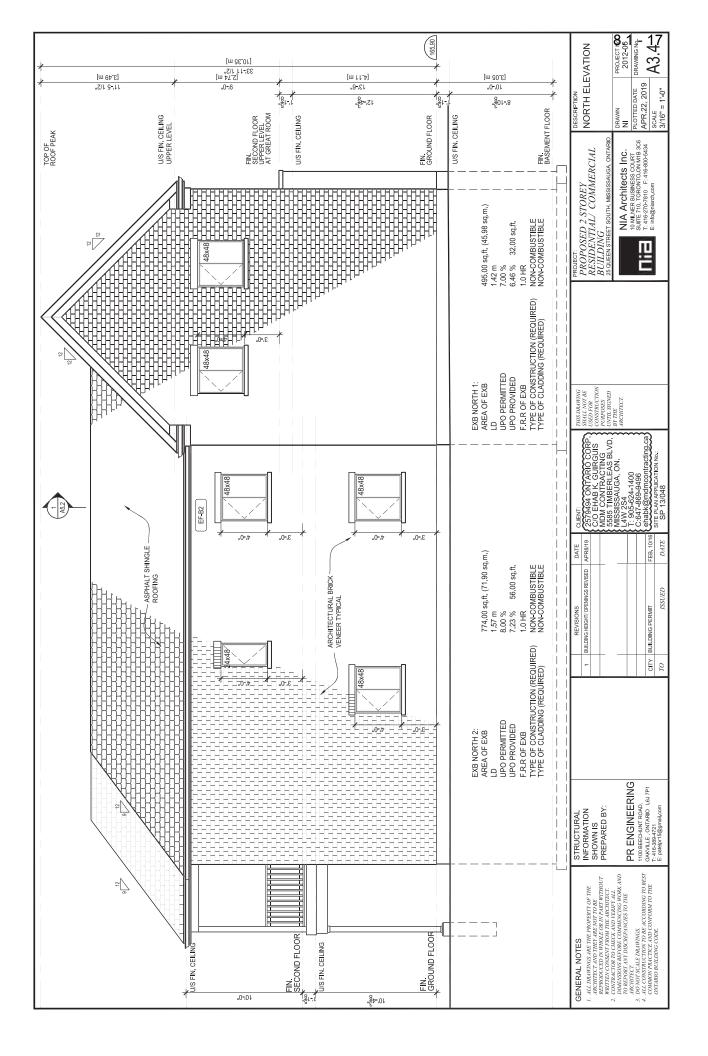


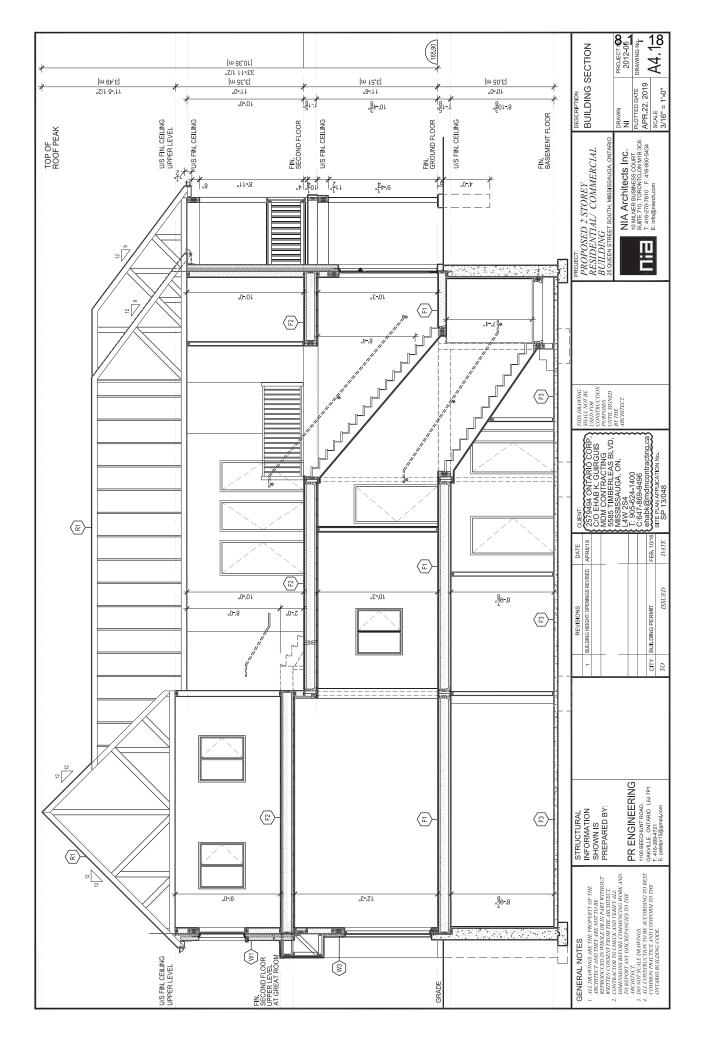












City of Mississauga

Memorandum



Date: 6/18/2019

To: Chair and Members of Heritage Advisory Committee

From: Paul Damaso, Director, Culture Division

Meeting Date: 7/2/2019

Subject: Alteration to a Listed Property: 927 Meadow Wood Road (Ward 2)

This memorandum and its attachment are presented for HAC's information.

Section 7.4.1.12 of the Mississauga Official Plan states that: "The proponent of any construction, development, or property alteration that might adversely affect a listed or designated cultural heritage resource or which proposed adjacent to a cultural heritage resource will be required to submit a Heritage Impact Assessment, prepared to the satisfaction of the City and other appropriate authorities having jurisdiction." A scoped report is attached for your reference.

Attachments

Appendix 1: Heritage Impact Assessment

Prepared by: Paul Damaso, Director, Culture Division



927 Meadow Wood Road Armagh House Mississauga, Ontario

(GBCA Project No: 18037)

Heritage Impact Assessment

Date of issue: 15 November 2018 Date of revision: 11 April 2019

prepared for	prepared by
Armagh	GBCA Architects
PO Box 52581	362 Davenport Road, suite 100
1801 Lake Shore Road	Toronto, Ontario
Mississauga, ON L5J 4S6	M5R 1K6 416-929-6556



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Cover photo: View of Amargh House, looking north, towards the west elevation (from Mississauga L.A.C.A.C. Heritage Inventory and Heritage Structure Report, April 30 1992).

drawings

1. INTRODUCTION

This HIA, prepared in accordance with the City of Mississauga's Heritage Impact Assessment Terms of Reference (as of July 2017), assesses the impact of an application for a development in compliance with the City's requirements for an R1-42 Residential zone. The development is located at 927 Meadow Wood Road, which is south of Lakeshore Road West. The property is located on the east side of Meadow Wood Road, and bordered to the north by Petrie Way.

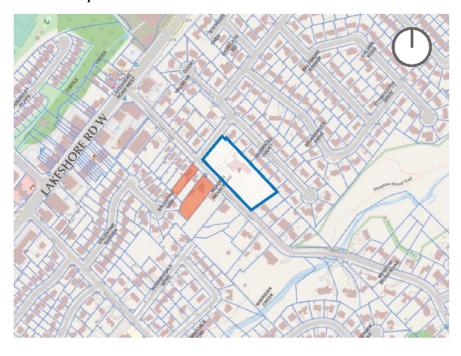
The building on the property is a cottage-style residence which dates to 1922 and includes a 1956 addition. The property is currently known as the Armagh House, which offers affordable temporary housing to women and their children.

The property is listed in the City's Heritage Register, but not designated. There are heritage properties (listed) adjacent to the subject site.

Pursuant to Section 7.4.1.10 and 7.4.1.12 of the City's Official Plan, the applicant is required to submit a Heritage Impact Assessment to ensure that the proposed development, which involves a cultural heritage resource does not negatively impact the heritage resource on the property or those adjacent to it.

This HIA, prepared in accordance with the City of Mississauga's Heritage Impact Assessment Terms of Reference (as of July 2017). It describes the built and natural features within the application area to determine if there are any negative impacts on heritage resources.

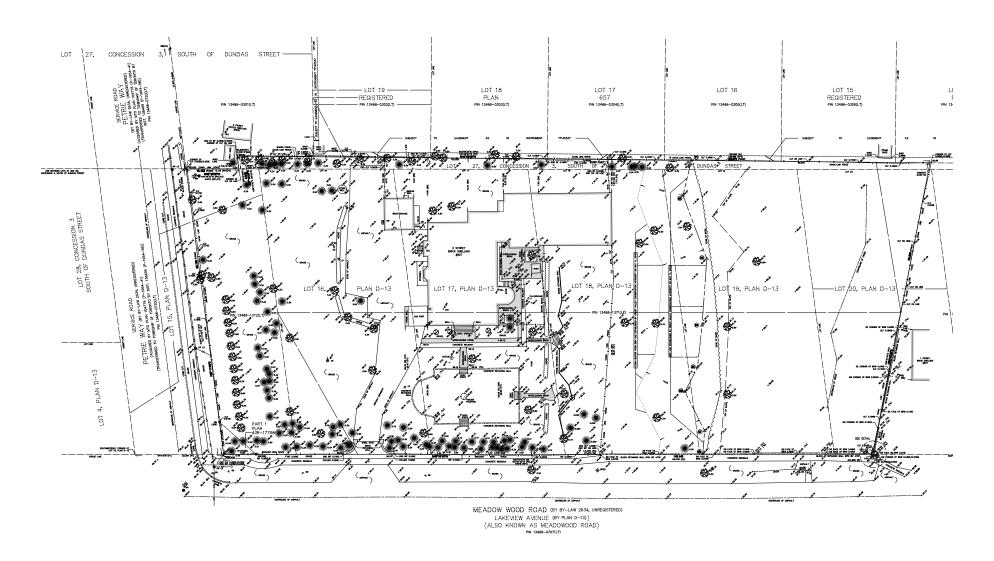
Location Map



Property Map showing the extent of the subject site at 387 Meadow Wood Road (blue outline) in its context. Adjacent properties listed on the City's Heritage Register are indicated in a red hatch (Map from City of Mississauga, annotated by GBCA).

1.1 Present Owner Contact Information





Legal Site Survey, as prepared by KRCMAR

2. SITE HISTORY

The subject property is located in the City of Mississauga, Regional Municipality of Peel, Ontario, formerly known as the Township of Toronto, in the former Peel County.

Toronto Township contained 64,777 acres of assessed land and was divided into a grid system through the Old Survey (1806) and New Survey (1819). The Old Survey, undertaken in 1806 under Samuel Street Wilmot, Deputy Surveyor, included all lands from the Lake Ontario shoreline to Eglinton Avenue, from Winston Churchill Boulevard to Etobicoke Creek, excluding one mile on each side of the Credit River for exclusive use of the Aboriginal population.

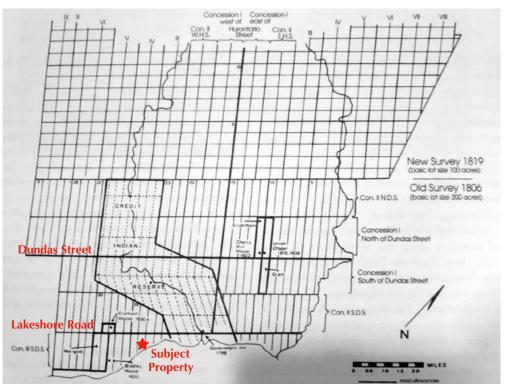
The Mississauga Nation first colonized the area adjacent to Lake Ontario in the early eighteenth century. By the late-eighteenth century to early nineteenth century, the Mississaugas had been engaged with the British in a series of treaty negotiations. The First Purchase, Treaty 13A, dated August 2, 1805, marked the date of European settlement in this area. The Mississauga Nation sold the British Government the tract from the Etobicoke Creek to Burlington Bay, 26 miles of shoreline and five miles inland, an estimated area of 84,000 acres.

The lands of the Old Survey were charted into 200-acre lots that were designated grants for the incoming settlers. Many of the early settlers were United Empire Loyalists, soldiers and the descendants of Loyalists who were eligible to petition the Government to receive land patents and grants. By the outbreak of the War of 1812 most lots had been granted, although the Crown and Clergy each retained one lot in seven. When first settled, the area was uncleared and heavily forested.

Dundas Street was the dividing line, with two concessions North of Dundas Street (NDS) and four concessions South of Dundas Street (SDS). Lots were numbered from east to west, with Lot 1 beginning at the Etobicoke Creek and Lot 35 ending at the border of the Toronto Township and the neighbouring Township of Trafalgar.

The Town Line would later be renamed Winston Churchill Boulevard (also known as the Sixth Line West).

The first recorded settler in Toronto Township, Col. Thomas Ingersoll, came to the area in 1806.



Toronto Township, Old Survey (1806) and New Survey (1819)

The lands of the Old Survey were charted into 200-acre lots. The subject property at 927 Meadow Wood Road constitute a portion of Lot 27, Concession 3 South of Dundas Street (SDS). Dundas Street was laid out under John Graves Simcoe as a military road from Toronto to Hamilton and beyond and became one of the province's leading roads. It was gravelled by 1836 to accommodate the increase in travel.

Clarkson Village and area

Within the Township of Toronto, several villages of varying sizes developed by the end of the nineteenth century, including Streetsville, Meadowvale, Churchville, and Malton, and a number of crossroad communities and settlements also began to grow. The first of these settlements to emerge was known as Merigold's Point, which evolved into the historic village of Clarkson.

Arriving in 1808, Warren Clarkson (from Albany, New York) began buying land in the area. He built the community's first store and a stagecoach trail – eventually the town council named this trail Clarkson Road. A post office was opened in 1875 in the family store and William Clarkson, Warren's son, became the postmaster of this modest settlement.

In 1853 the Great Western Railway purchased nearly six acres of Warren Clarkson's property for the right-of-way for the railway tracks and a station. The station was built on the north side of the tracks and called "Clarkson's." In 1855 the first train travelled through Clarkson connecting Hamilton to Toronto.

Lot 27, Concession 3

The subject property is located on Lot 27, Concession 3, Lakeview Avenue (today Meadow Wood Road) and originally consisted of four parcels. on a 4 1/2-acre site. The list on this page was assembled from research prepared by Ms. Monica Mitchell, Title Searcher. with the following owners occupying the parcels:

Year	Parcel 1	Parcel 2	Parcel 3	Parcel 4
1808				John Martlatt
1811	Lewis Bradley			
1829	·		Aaron Oliphant	
1844	John Bradley			
1846	Barth	olomew Beardsley		
1865	Sta	nley B. Beardsley		
1868				Sarah Oliphant Philip Oliphant
1869	Cornelia G. Upham & A.	Judith Beardsley & Stan	ley B. Beardsley	
1870				Duncan Oliphant
1876		Thomas Mason		
1886				Alfred Mason
1888	Alfred Mason			
1892			Elizabeth A. Bowbeer	
1893				William A. Bowbeer
1901	William G. Pratt			
1905	Eliz	abeth A. Bowbeer		
1907				Maggie L. Bowbeer
1911				William A. Bowbeer
1912	Wi	lliam A. Bowbeer		Walter Stephens
1913	John S. Moore	Margaret Moore	Margaret S. Wilson / Percy W. Rogers	Gordon M. Petrie
1917	David A. Atki	inson		
1918	Fannie L. Atkinson			
1921	General Investments Limited / Harvey C. Kennedy	George F. Atkinson / Harvey C. Kennedy		
1924	Margaret A. Mo	Mullen	Ida M. Rogers	
1928				Robert McMullen
1932	Robert & Margaret McMullen		Robert & Margaret McMullen	
1939			Lilian V. Rogers / Robert & Margaret McMullen	
1939				
1954	General Board of Missions of the Presbyterian Church of Canada			
1964 to present	Armagh			

927 Meadow Wood Road

The original cottage-style residence was built in an Arts and Crafts style, around 1922 on a 4 1/2 acres site. The residence was built by Robert McMullen, who was secretary/ treasurer of the Ideal Bread Company. The Ideal Bread Company factory was located at the corner of Argyle Street and Dovercourt Road in Toronto and produced bread between 1919 and 1957.

The residence was named Armagh, for the County in Ireland where Margaret McMullen (Robert McMullen's wife) was born.

The residence remained under private ownership until it was acquired by the General Board of Missions of the Presbyterian Church of Canada in 1954, the year Robert McMullen passed away. The following year, it was opened to provide accommodations for the Board's Children and Family Services.

As a sign of the Church's growing needs for accommodation, a two-storey brick addition for Armagh - Presbyterian Church Home was designed in 1956, with drawings prepared by the office of W.L. Somerville McMurrich & Oxley. The addition is distinguished, from the original Arts and Crafts building, with a more modest style that bears no particular attention given to ornamentation. It is designed with simple rectangural forms that are functional for the needs and resources of social services. The new addition was built specifically to accommodate such services and is associated primarily with the change of ownership of the property, shifting from a residential to an institutional one, where it is currently used as an affordable and temporary housing for women and their children.



1980s photograph of Armagh House's west elevation, showing the building at a time when it had its original clay tile roofing. Photo courtesy of the Mississauga Central Library

In 1992, the Armagh House underwent alterations to the property. Drawings prepared by C.A. Ventin Architect Ltd. resulted in the following alterations:

- new concrete walkways on the southwestern portion the 1922 building
- new wood fencing on the property
- · removal of the fountain and water pond on the south elevation
- provisions for new sanitary systems
- revisions to the asphalt road from Meadow Wood Road and review of extent of new parking lot
- removal of a garden shed / greenhouse on the northeast side of the existing building
- window replacements on the 1956 addition
- general interior alterations

A Site Plan of the 1992 alterations is included on page 15 of this HIA.

3. DOCUMENTATION OF HERITAGE RESOURCES

3.1 Description of the cultural heritage resource

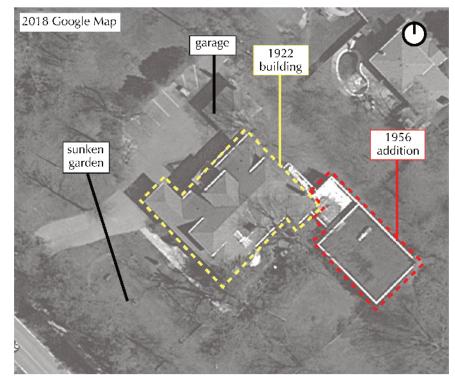
The building on the property is a cottage-style residence,1 1/2 storey in height, which dates to 1922. The property includes a 1956 two-storey addition to the southeast. The property is currently used as the Armagh House, and provides affordable temporary housing.

The existing built features on the property are comprised of the following:

- The original 1922 building, noticeable with the use of credit valley stone and rugged buff bricks and the hipped roofs with dormers. This portion is visible throughout the property and is its main focus and feature.
- The 1956 two-storey flat roof addition which is linked to the southeastern end of the original 1922 residence and is clad in smooth buff bricks.
- A detached square plan two car brick garage, located northeast of the 1922 building and is topped with a hip roof with clay tiles
- A sunken garden on the west side of the 1922 building, which is built with credit valley stone and capped with sandstone.
- A wooden carved statue of a woman holding a child, in front of the main entrance (west).
- Stone gates (with credit valley stone) at the entrance from Meadow Wood Road, topped with lamp posts, and includes wrought iron fencing along the length of Meadow Wood Road.
- The main entryway from Meadow Wood Road, paved in asphalt, and includes the parking lot on the north side of the 1922 building.

A substantial portion of the property has natural features. The northern portion, facing Petrie Way, is undisturbed grassed areas with trees, and is similar to the southern portion. The southern portion has a slope and includes a dripline (established by the Credit Valley Conservation Authority).

No Archaeological Assessment has been known to be performed on the site, and the City did not require one to be conducted.





Overall view of the property, from the main entrance at the stone gates fronting Meadow Wood Road. This view looks at the west (main) elevation of the 1922 building.

1922 building (Robert McMullen)

The 1922 building was originally constructed as a cottage-style residence which displays features of the Arts and Crafts style. The building is of rectangular plan on two floors (the upper floor is considered a half-storey considering the hipped roof) and is augmented with a sunroom, verandah and porte-cochère on the west elevation, a glazed semi-circular conservatory on the south elevation, and a bay window on the north elevation. The 1922 building houses the offices of the Armagh House and other public rooms, such as dining rooms, a kitchen and general storage.

All exterior walls are clad in rugged buff bricks laid in common bond, with header bricks every sixth course, with stone sills at the window openings.

The hip roof includes four dormers (one facing each elevation). There are additional (smaller) dormers on the east elevation, which appear to have been added at a later time. The roof is clad with asphalt shingles and the dormer faces are clad with wood shingles. The Arts and Crafts character of the building is present by the low-profile roof and the generous overhangs beyond the face of the building below. The soffits consist of tongue and groove wood boards and are ornamented with modestly shaped brackets, and are spaced twelve inches off center. A metal gutter, which appears to be original, runs along the perimeter of the roofline.

The west (main) elevation has a large verandah held with solid pilasters clad with credit valley stone and marks the principal entrance to the building.

Existing windows on the building vary in size and materiality. A large number of windows appear to be modern double hung metal replacements. Some windows are wood framed and original (those that are on portions of the conservatory and those at the entrance on the north elevation.

The main door is a single leaf door flanked by two side lights. Doors and sidelights are ornamented with leaded glass and are original.



View of the west (main) elevation, with the sunken garden in the foreground, as seen from the public sidewalk.



East elevation view. The 1956 addition, with buff brick, is visible on the left. Windows on the east elevation of the 1922 building appear to be modern replacements.



Close-up view of the west elevation and the main entrance. Note the credit valley stone cladding on the pilasters. The staircase is of concrete and is in good to fair condition, with some cracking at the joints (visible on the second step). The roof overhang is generous and features a wood soffit that is ornamented. That ornamentation is also replicated on the roof dormer. The windows to the right of the image lead to a sunroom and appear to be original.



Partial view of the north elevation, showing a portion of the front verandah, clad in credit valley stone. Note the metal staircase which was added to provide a fire escape at the dormer, which has resulted in the alteration from a window to a door.



Partial south elevation (1992). This photograph was taken from the Heritage Structure Report. Note the presence of a water pool with stone pilasters and a statuette of a duck.



Partial south elevation (2018). The conservatory volume, on the left has wood-framed windows and an iron-framed glass dome. The base consists of bricks with stone quoins. All windows on the south elevation are modern replacements (compare with 1992 photograph on the left). Note the many dormers on the roof. The smaller ones appear as possibly be later additions. Note the water pool has been removed and the majority of the south elevation area is used as a playground.



Partial view of the south elevation, looking northwest, towards the junction with the 1956 addition.



Close-up view of the conservatory volume, with the wood-framed windows surrounding the volume and the iron-framed glass dome on top.



View of the garage, which shares similar architectural characteristics with the main 1922 building. The hipped roof is covered in clay tiles. The garage doors are of wood and appear to be original.



View of the sunken garden.



View of the stone gates at the entrance from Meadow Wood Road. Note the lamp posts on the stone capping. "Armagh" is carved in stone on the gates.

1956 addition (Somerville, McMurrich & Oxley Architects)

The 1956 addition is a rectangular volume with varying flat roof heights. The addition is built over the sloped portion of the property. Exterior walls consist of a brick veneer supported on concrete masonry blocks. The bricks are laid in common bond with header bricks at every seventh course (which varies from the 1922 building, that is laid with header bricks at every sixth course).

The addition houses a large meeting room, a playroom and dwelling units.

The bases of the addition are of concrete, which steps down to follow the slope of the property.

Windows vary throughout the addition, in size, material and operation. Windows consist of units in wood frame and vinyl frame. All windows are in good condition.



Above right:

Partial east elevation, showing the link with the 1922 building. Note the varying sizes of the windows, as well as the varying heights of the flat roofs.

Below right:

Overall east elevation, looking west. The hipped roof garage is visible in the background. Note the varying window sizes and styles. The concrete base height varies according to the ground slope.









Above left:

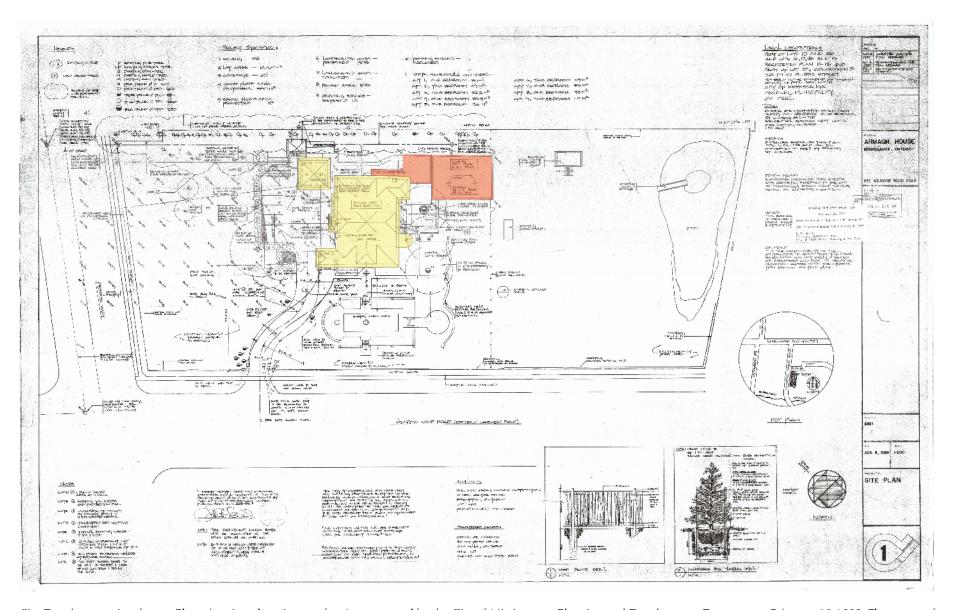
South elevation of the 1956 addition.

Above right:

Overall view of the 1956 addition, taken from the sloped grounds of the property.

Below right:

View of a portion of the west elevation of the 1956 addition, hidden by vegetation. Photograph taken within the playground area. Note the 1922 building on the left of the image.



Site Development Landscape Plan, showing alterations to the site, approved by the City of Mississauga, Planning and Development Department, February 19 1992. The extent of the 1922 building is in yellow and of the 1956 addition, in red (annotations by GBCA).

3.2 Heritage Significance of the Cultural Heritage Resource

The property at 927 Meadow Wood Road is currently listed in the City's Heritage Register, yet is not designated. As such, there is no available statement of cultural heritage value or a list of heritage attributes. The City does provide a description of the property's history. This description formed the cultural heritage value used in this HIA.

The City's description of the property includes features that are heritage attributes. On the following page is a Statement of Significance, which includes a Statement of Cultural Heritage Value and list of Heritage Attributes. This statement is to be considered a draft version and can be used by the City in its preparation of an official Statement of Cultural Heritage Value and List of Heritage Attributes.

PROPERTY HERITAGE DETAIL

Property Heritage Detail

Address: 927 MEADOW WOOD RD Area: CLARKSON

Type: RESIDENTIAL Reason: ARCHITECTURAL/HISTORICAL/CULTURAL LANDSCAPE

Style: VERNACULAR - COTTAGE



Images







History

This home, being a cottage style mansion is a rare design piece in terms of basic shape and structure. The immediate front facade entrance (west) consists of a credit valley stone exterior with the entire roof portion covering a large verandah. where the room to the right is the main entrance. The front door is a singlepaneled door with single-paned glass, while the roof of the entire mansion is a clay and hipped tile, with soffit brackets spaced twelve inches apart around the entire roof liner and is routed (or dadoed) longitudinally. A front facade dormer also exists, with three double hung windows. The front facade also leads to a front courtyard where a sunken garden exists. It is enclosed in the same stone as the exterior and capped in sandstone. At each corner and at various intervals are several pillar-like, circular planters about six inches to one foot high and one foot to zero inches in diameter. The north end of the garden is circular, while the south end is squared. The north facade is of various window sizes and types. Two bays exist, one directly in the centre of the facade, another to it's left. The centre bay is cornered at a forty-five degree angle, while the other bay is rectangular in shape. This bay contains a single-paneled door with a single paned glass in it. There are also a set of outdoor frame construction stairs that lead to a dormer above the cornered bay. This leads to a paneled door with a sidelight, and to it's left, a single double hung window. Attached by a small shed, facing west, is a separate two car garage with a hipped clay tile roof. The garage door is nine over nine paned glass, while directly behind the garage is another structure of wooden struts and lattice exterior with an asphalt hipped roof. The double doors on the front facade are large, each with four over four paned glass and single paneled lattice work. The south facade has a few main features, this includes a seven sided bay window area that is connected to the front entrance room. The bay also has single paned windows (of various window types) all around and stairs leading to a door on the right side of the bay, with a full three by six paned glass panel in it. There is a small water pool with two stone planters and a statuette of a duck in the middle of it. The whole area is of block slab concrete flooring. Canadian Homes and Gardens publishes photos of the landscape designed by A.M. Kruse, landscape architect, for Robert McMullen, Armagh, Clarkson, October 1940. LOW STONE WALLS: Stone walls line some of the streets of Mississauga's older neighbourhoods. Some are constructed of shale either from the Credit River Valley or from the bottom of Lake Ontario. These walls add character and diversity to the neighbourhood.

Evaluation of the property under Ontario Regulation 9/06

The property's listing on the Heritage Register is a clear indication from the City that the property has historical significance. Whether a property merits heritage status beyond listing requires an evaluation under Ontario Regulation 9/06 to determine if the property meets the criteria for heritage designation under the Ontario Heritage Act.

To determine if the property meets the criteria, the evaluation on this page was prepared. Based on this evaluation, the property meets the criteria and is a candidate for designation under Part IV of the Ontario Heritage Act.

The City's description of the property, in the previous page, includes features that are heritage attributes. On the following page is a Statement of Significance, which includes a Statement of Cultural Heritage Value and list of Heritage Attributes. This statement is to be considered a draft version and can be used by the City in its preparation of an official Statement of Cultural Heritage Value and List of Heritage Attributes.

1			
Criteria (quoted from O.Reg. 9/06)	Assessment of Value for 927 Meadow Wood Road		
1. The property has design value or ph	ysical value because it,		
i) is a rare, unique, representative or early example of a style, type, expression, material or construction method,	Meets the criteria. The building on the property includes a cottage-style residence built with features of the Arts and Crafts Style. The building is a handsome example of the style with the use of local credit valley stone materials		
ii) displays a high degree of craftsmanship or artistic merit, or	Meets the criteria. The building is a well executed building with attention to detail on the roof design and the massing. The use of leaded glass on the main door is indicative of the degree of artistic merit on the building.		
iii) demonstrates a high degree of technical or scientific achievement.	Does not meet the criteria. The building does not demonstrate a high degree of technical or scientific achievement.		
2. The property has historical value or	associative value because it,		
i) has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community,	Meets the criteria The property is directly associated with the Armagh House, which provides temporary housing to women and their children. This association to serving community and social needs begun when the property was acquired by the Presbyterian Church of Canada from private use in 1954. The property is also associated to Robert McMullen, original owner of the residence, who held a prominent position as secretary / treasurer of the Ideal Bread Company.		
ii) yields, or has the potential to yield, information that contributes to an understanding of a community or culture, or	Meets the criteria The property's stature and scale provides information about the affluent nature of the residential area.		
iii) demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.	Not applicable. The architect or builder related to the 1922 building has not surfaced during research.		
3. The property has contextual value b	pecause it,		
i) is important in defining, maintaining or supporting the character of an area,	Meets the criteria The property defines and supports the residential character of the area		
ii) is physically, functionally, visually or historically linked to its surroundings, or	Meets the criteria While the property is the only one of its stature within the area, it remains physically, visually and historically linked to its residential surroundings.		
iii) is a landmark. O. Reg. 9/06, s. 1 (2).	Does not meet the criteria The property is not a landmark		

DRAFT STATEMENT OF SIGNIFICANCE

Statement of Cultural Heritage Value

The property at 927 Meadow Wood Road has cultural heritage value as an example of a cottage-style residence with features of the Arts and Crafts style. The building was designed in 1922 as the residence of Robert McMullen, secretary/ treasurer of the Ideal Bread Company. It remained in private ownership for 32 years. The property was acquired, in 1954 by the General Board of Missions of the Presbyterian Church of Canada to provide accommodations for the Board's Children and Family Services. Known as the Armagh House, the property is associated with supportive social service housing in the community and plays an important role in offering a temporary home to women in need.

Heritage Attributes

- The front (west) facade entrance with credit valley stone exterior with the roof portion covering a large verandah
- The sunroom on the front (west) elevation
- The front door, with two sidelights and transoms, all of which include leaded glass
- The hipped roof, with decorative soffit brackets and dormers
- The front courtyard, which features a sunken garden, enclosed in credit valley stone and capped with sandstone.
- The sunken garden, which includes pillar-like planters
- The shape of the sunken garden, with a semi-circular end to the north and a squared end to the south
- The north facade which features two bay windows and the dormer
- · The detached two-car garage, with a hipped roof clad in clay tiles
- The garage wood doors, which have nine over nine paned glass under which is a single panelled lattice work
- The south facade which includes a seven-sided bay window, housing a conservatory

The City's description, on the previous page, includes a number of features which are no longer present on the existing building. Such features are:

- Clay tiles on the hipped roof of the 1922 building. These clay tiles have been removed and replaced with asphalt shingles.
- A small water pool with two stone planters and a statuette of a duck in the middle of it. These features have been removed and replaced with a playground.
- A structure of wooden struts and lattice exterior with an asphalt hipped roof. This structure refers to a garden shed / greenhouse which was removed during the 1992 alterations.



West elevation of the 1922 building.

3.3 Relevant Municipal or Agency Requirements

Zoning By-Laws (Municipal)

The subject property is located in Residential zone R1-42. Section 4.2.1 of the zoning by-laws includes permitted uses and zone regulations for zones R1 to R5. Exception 42 is applicable to the property. This exception permits the land to be used for a Supportive Housing Dwelling, and includes under 4.2.2.42 additional provisions.

When implemented, the provisions of the zoning by-law will have no impact on the heritage attributes of the property and will conserve the heritage resource on the site.

Credit Valley Conservation Authority (Provincial)

The southern portion of the subject property has a creek, which can be prone to flooding. The property is therefore subject to provisions under the Credit Valley Conservation Authority. As the portion that is subject to flooding is located south of the heritage resource, applicable provisions will not affect the conservation of the heritage building.

Ontario Building Code (Provincial)

The 2012 Ontario Building Code is applicable to this site. Provisions under the Ontario Building Code can be met, without significantly impacting the heritage attributes of the subject property, notably because the current proposal is for a new construction adjacent to the existing building.

4. PROPOSED DEVELOPMENT

The proposed development for the site consists of a two-storey addition on the southern portion of the site to increase the number of dwelling units and program amenities for the Armagh House. The addition will be linked to the 1956 addition and to the 1922 building's sun room through a new ramp. The placement of the new addition will create an enclosed outdoor courtyard.

The proposed design consists of the following:

- A new two-storey building, with a basement level
- A barrier free ramp between the new building and the existing
- An enclosed exterior courtyard
- Additional parking spaces on the northern portion of the site
- A new two-way drive aisle and entrance from Petrie Way
- New fencing to limit access towards the sloped grounds



Rendering of the proposed development, which includes a built addition on the southern portion of the site (Hilditch Architect).

The addition will be located on a vacant lot and will not result in any building demolition. Materials employed on the new addition will consist of brick masonry, and siding for exterior walls and hipped roofs clad in asphalt. A portion of the roof of the proposed addition will be flat to accommodate mechanical units, which will be screened by neighbouring pitched roofs. The link with the existing sunroom will be glazed.

To accommodate the proposed addition, the south elevation of the 1956 addition will be modified with new door openings, located at existing window openings.

To accommodate the new ramp linking the proposed two-storey addition with the existing sunroom, the south exterior wall of the sunroom will be altered. The window will be removed and the opening will be partly infilled. The new ramp will be enclosed in a glass link with a flat roof, which will at a height below the existing roofline of the 1922 building.

All development drawings are included in Appendix III.



Bird's eye view of the proposed new addition on the south side of the property (Hilditch Architect).

5. IMPACT ON HERITAGE RESOURCES

Heritage resource on the subject property: 927 Meadow Wood Road

The primary impact on the property will be the new two-storey addition on the southern portion of the property. This new addition will be attached to the existing building via the 1956 addition and via the south elevation of the existing sunroom. The northern portion of the site will include additional parking spots and a new entrance from Petrie Way.

Impacts on the cultural heritage value will be minimal as the new addition is designed to respect the heritage value of the property. The two-storey addition is of similar height to the existing 1922 building and the 1956 addition. The hipped roofs of the new addition complement the existing roof shape of the original building, and offers an appropriate roofscape on the property, informing on the evolution of additions on the property.

Materials proposed for the new addition include, for the exterior walls, brick masonry, glass and siding. Materials for the hipped roofs include asphalt shingles. These materials are appropriate as they are complementary to the existing material palette on the site. Further details on material finishes have not been confirmed at the time of this HIA. Once materials have been specified, details will be shared with Heritage Staff for review and approval.

The new addition will be physically connected to the existing building in two ways:

- firstly, through the south elevation of the 1956 addition. Alterations to
 this existing elevation will be required to transition between the existing
 and new addition. Alterations will include the provision of new
 passageways on the ground and second levels and proposed to be
 placed at the locations of existing window openings. As the 1956
 addition is not character-defining to the property, alterations to this wall
 will have no impact on heritage value.
- secondly, through the sunroom of the 1922 building. This connection will consist of an enclosed, one-storey high barrier free ramp. The height of the enclosed ramp will fall below the eave of the roofline, so that there is no physical alteration to the existing roof. The south wall of the sunroom currently includes a window, as shown on the image below. This window will be removed. The existing window opening will need to be modified to suit a passageway leading to the new addition. The alteration to the wall will not have an impact on the heritage value of the building as the enclosed ramp is of modest scale and uses contrasting and compatible materials (glass) which will not compete with the mass and volume of the 1922 building. The ramp will be located so it aligns with the original window opening and maintain its original symmetrical layout. Further, the enclosed volume for the ramp will be stepped back from the face of the wall to reveal the corner, and express the volume and materiality of the sunroom.



South elevation of the 1956 addition. The existing windows will be removed and the openings will be used as the passageways to the new addition.

South elevation of the sunroom, showing the extent of the required alteration ion a red boundary. Note the existing window will be removed and the opening will be used as the passageway.

The new addition will be built with a front yard setback from Meadow Wood Road of approximately 23 metres, in comparison with the existing setback of the 1922 building's sunroom of 30m. This results in a building addition that is closer to the street than the main building, and requires a minor variance. This location will not affect the prominence of the 1922 building as the view looking south from Meadow Wood Road is the more prominent vista towards the property, and will fully express the built form of the cottage-style residence. While an alternative massing can be suggested to move the volume away from Meadow Wood Road to increase the setback from the street, this alternative will result in a modification to the shape of the exterior enclosed courtyard. This modified shape is untypical for a courtyard and the design will not be favourable for the uses of the House.



View of the property from Meadow Wood Road. The bushes in the foreground (behind the fence) is approximately where the new addition is proposed to be built.

Possible negative impacts	Assessment
Destruction of any, or part of any, significant heritage attributes or features	No destruction will occur in this proposed development
Alteration that is not sympathetic, or is incompatible with the historic fabric and appearance	Alterations to the existing fabric will include two links to building. One of the links will be made through the 1956 addition, which has limited heritage value. The other link is made through the existing 1922 building, and will use an existing window opening. These alterations are respectful of the mass of the historic building and will not impact on their appearance.
Shadows created that alter the appearance of a heritage attribute or change the viability of an associated natural feature or plantings, such as a garden.	Shadows cast by the new development will not be significant.
Isolation of a heritage attribute from its surrounding environment, context or a significant relationship	No isolation of a heritage attribute will occur in this development.
Direct or indirect obstruction of significant views or vistas within, from or of built and natural features	No obstructions of significant views or vistas are noted.
A change in fand use (such as rezoning a church to a multi-unit residence) where the change in use negates the property's cultural heritage value	The property is zoned for residential use with an exception provision for Support Housing Dwelling. This existing use will be maintained in the new development and is compatible with the existing building, which is historically associated with a housing use.
Land disturbances such as a change in grade that alters soils and drainage patterns	There will be no land disturbances as a result of this development.

New access from Petrie Way

The vehicular access to the property from Petrie Way will result in a new viewpoint towards the north side of the building and surface parking spaces will be added to the north side of the property. While these alterations will impact the existing landscaping, by reducing the amount of green surfaces, it will not impact the heritage attributes of the property, which are focused on the 1922 building and the sunken courtyard, both of which front Meadow Wood Road and have no immediate relationship with Petrie Way.

Request for minor variance

The proposed addition requires a minor variance to the current provisions of the zoning by-laws for Residential Zone R1. Some of these amendments pertain to an increase in the permitted number of dwelling units, and reductions in the minimum permitted front yard and southerly side yard dimensions. It is our opinion that these will not impact the cultural heritage value of the property. The increase in the permitted number of dwelling units will be focused in a new addition, attached to the 1956 addition and is located away from the 1922 cottage-style residence. Such an increase will not physically impact the 1922 building, and will pursue the important mission of the Armagh House. The reduction in the front and southerly side yard dimensions will equally have no impact on the prominence of the existing building on the site as the proposed addition is located in a way that conserves and maintains visibility of the cottage-style residence.

As the proposed development is found to be sensitive to the existing built fabric on the site, any physical impact on the building fabric to accommodate the new addition is accomplished in a manner that mitigates impact on the heritage attributes of the building, and permits reversibility, in the event the addition needs to be removed in the future. This HIA does not recommend any alternative development approaches as the current design does not impact the heritage value of the property.

The changes to the property complies with Standard 11 of the *Standards* and *Guidelines for the Conservation of Historic Places in Canada* as the new addition is physically and visually compatible with, subordinate to and distinguishable from the historic place (the 1922 building).

Possible mitigation strategies	Assessment
Alternative development approaches	The current development proposal is appropriate to conserve the heritage value of the property. No alternative development approaches are proposed.
Isolating development and site alteration from the significant built and natural heritage features and vistas	The current development is well distinguished from the portion of the site that holds cultural heritage value, which is the 1922 building.
Design guidelines that harmonize mass, setback, setting and materials	The proposed addition has regard to the existing setting of the site. The proposed setback of the new addition from Meadow Wood Road is discussed in the HIA and is found to be appropriate as it does not reduce the prominence of the 1922 building.
Limiting height and density	The proposed height of the new addition will not go beyond the existing height of the 1922 building and will not impede on its scale. The proposed height does not need to be reduced. The proposed density is appropriate for the site and will have no impact on the heritage value of the property.
Allowing only compatible infill and additions	Infill and additions to the site are compatible with the existing built form in height, mass and materials.
Reversible alterations	Physical links to the existing building fabric will be designed in a manner that they can be removed in the future with limited damage to the exiting fabric. Alterations to the fabric have been mitigated to consider the principle of reversible alterations.

Heritage resources adjacent to the subject property: 914 and 928 Meadow Wood Road

Pursuant to Section 7.4.2.3 of the City of Mississauga's Official Plan, Development adjacent to a cultural heritage property will be encouraged to be compatible with the cultural heritage property.

Further, with respect to the adjacent heritage properties, in keeping with the Standards and Guidelines, the proposed development should not negatively impact those aspects that have been identified as characterdefining features.

In this instance, the adjacent cultural heritage properties are residential buildings at 914 and 928 Meadow Wood Road, which are listed in the City's Heritage Register, The City of Mississauga's Property Search identifies 914 Meadow Wood Road as the Rockett Residence and 928 Meadow Wood Road, the Grimason Residence. These buildings are located on the west side of Meadow Wood Road, and are setback from the street. Although no list of heritage attributes exists, the available description on this page speaks of features of scale, mass and materials. None of these attributes will be impacted by the adjacent proposed development.

PROPERTY HERITAGE DETAIL

View Another Property

Property Heritage Detail

Address: 914 MEADOW WOOD RD RESIDENTIAL

VERNACULAR

Area: CLARKSON

ARCHITECTURAL/CULTURAL

LANDSCAPE

Print Friendly Page

Images

Type:

Style:







History

This is a full two storey frame structure, three bay facade, with a central door and windows on either side. The windows are of particular interest in their form of twoover-one. There have been extensive renovations on the house, but these have been well executed and in character with the original structure. LOW STONE WALLS: Stone walls line some of the streets of Mississauga's older neighbourhoods. Some are constructed of shale either from the Credit River Valley or from the bottom of Lake Ontario. These walls add character and diversity to the neighbourhood.

PROPERTY HERITAGE DETAIL

View Another Property

Property Heritage Detail

Address: 928 MEADOW WOOD RD RESIDENTIAL Type: Style: BUNGALOW

CLARKSON Area: ARCHITECTURAL Reason:



Images



History

This is a two storey frame house recently having received extensive renovation. Building materials include a wood frame, wood clapboards. There is a hipped roof with asphalt shingles. There is an east three bay symmetrical facade. The windows are casement six pane, transom over each window (unusual). There is a stone foundation and a detached garage and cabin on the property. A single storey addition stretches across the rear of the house with many windows and a





6. CONSERVATION STRATEGY

The heritage value of the site is associated with the Armagh House, a cottage-style residence that has been a home to women (and children) facing abuse. The property not only holds architectural interest as a fine example of a cottage-style residence with features of the Arts and Crafts style, it holds historical significance for its association with community and social services since the property was acquired by the Church in 1954.

The conservation strategy for the site will include Preservation and Rehabilitation. Definitions are derived from the *Standards and Guidelines* for the Conservation of Historic Places in Canada.

Preservation involves the protection, maintenance and stabilization of the existing form, material and integrity of a historic place or of an individual component, while its heritage value is protected.

In this instance, the proposed addition to the site will preserve the Armagh House's form, materials and integrity.

Rehabilitation is the sensitive adaptation of an historic place or of an individual component for a continuing or compatible contemporary use, while protecting its heritage value.

In this instance, the Armagh House has already undergone a rehabilitation in 1954, when the original residence was converted to serve social needs in the community. The current addition to the site will pursue this mission by increasing the number of dwelling units, creating a new courtyard on the south side of the property and providing barrier-free access to the Armagh House.

We recommend a series of steps that will furthercontribute to the conservation of the area as follows:

5.1 Site Documentation

Prior of commencement of any construction work, the site should be documented in its pre-addition phase. This documentation is suggested to be through photographs of the current condition, with a focus on these areas where alterations will occur.

5.2 Conservation Plan

The building portion that holds value on the property is the 1922 building, which is being preserved. The only alteration proposed on this building portion is to allow a physical link on the south wall of the sunroom, which will require a window unit to be removed and the window opening to be modified.

Based on the above information, a Conservation Plan is likely not required. The existing 1922 building, which holds heritage value, is in good condition and this project does not include any further conservation work. The building is in use and has been well maintained by Armagh. In order to ensure the proposed connecting details are done appropriately, drawings and specifications that relate to the connection to the heritage fabric of the 1922 building should be reviewed by a qualified heritage professional prior of submission for building permit.

7. SUMMARY STATEMENT AND CONSERVATION RECOMMENDATIONS

The property at 927 Meadow Wood Road is currently listed in the City's Heritage Register, which is a clear statement of its heritage significance. The heritage value of the property is associated with the Armagh House, and specifically the original 1922 building, as it is the portion that is described in the City's description under the Property Heritage Detail (see page 16).

The 1956 addition by Somerville McMurrich and Oxley is not described in the Property Heritage Detail. It is not clear in what year the property was listed on the City's Heritage Register and it is possible that at the time of listing, the addition did not meet the 40-year threshold for heritage significance. The addition is now more than 60 year old and merits a review of its significance. This addition is primarily valued for its association with the property's expansion and evolution (from a private residential usage to an institution for social services), rather than its architectural design (which is a modest structure that does not express a typical or representative style, nor does it exhibit craftsmanship of artistic merit). As such, the cultural heritage value of the addition is linked to a historical and contextual association and not to an architectural one. For this reason, the 1956 addition has limited heritage value.

The proposed change to the site primarily involves a new addition on the southern portion of the site, linked to the 1956 addition, as well as a revised parking layout, which includes a new entrance from Petrie Way. The impacts of the proposed change have been assessed and were found to have no impact on the cultural heritage value of the property. An alternative approach to push back the new addition from Meadow Wood Road (increasing the front yard setback) was considered and found impractical as it created a new impact with an unusual courtyard configuration. As such the current proposal is appropriate and no mitigation measures or alternative development approaches are proposed.

Based on the evaluation under Ontario Regulation 9/06, the property meets the criteria and is a good candidate for designation under Part IV of the Ontario Heritage Act. Such designation should be accompanied by a carefully written Statement of Significance, which includes a Statement of Cultural Heritage Value and a list of Heritage Attributes. The description of the heritage resource in the Property Heritage Detail (page 16) should be updated to reflect the existing condition of the property. A draft list of Heritage Attributes has been prepared (page 17) for the purposes of this HIA.

8. SOURCES

Websites:

City of Mississauga, Property Information Searches for 914, 927 and 928 Meadow Wood Road

http://armaghhouse.ca/

Journal Article:

Armagh - a sanctuary for unwed mothers, *Mississauga News*, August 19, 1970

Previous Reports:

Mississauga L.A.C.A.C. Heritage Inventory and Heritage Structure Report, written by Chris Ferguson, April 30, 1992 Land Registry, Abstract Records

Phase 1 Environmental Site Assessment for 927 Meadow Wood Road, by BluMetric, April 2016 (source used for ownership information)

Policies and Guidelines:

O. Reg. 9/06: Criteria for Determining Cultural Heritage Value or Interest, under the Ontario Heritage Act

Standards and Guidelines for the Conservation of Historic Places in Canada, Second Edition, Parks Canada, 2010

Drawings and photographs:

The Site Plan archival drawing (page 15) was obtained as a courtesy from the Owner.

All proposed development drawings were obtained by Hilditch Architects

The 1980 archival drawing (page 6) was obtained via courtesy of the Mississauga Central Library

9. CLOSURE

The information and data contained herein represents GBCA's best professional judgment in light of the knowledge and information available to GBCA at the time of preparation. GBCA denies any liability whatsoever to other parties who may obtain access to this report for any injury, loss or damage suffered by such parties arising from their use of, or reliance upon, this report or any of its contents without the express written consent of GBCA and the client.

APPENDIX I

Standards and Guidelines for the Conservation of Historic Places in Canada

THE STANDARDS

The Standards are not presented in a hierarchical order. All standards for any given type of treatment must be considered, and applied where appropriate, to any conservation project.

General Standards for Preservation, Rehabilitation and Restoration

- Conserve the heritage value of an historic place. Do not remove, replace or substantially alter its intact or repairable characterdefining elements. Do not move a part of an historic place if its current location is a character defining element.
- Conserve changes to an historic place that, over time, have become character-defining elements in their own right.
- Conserve heritage value by adopting an approach calling for minimal intervention.
- 4. Recognize each historic place as a physical record of its time, place and use. Do not create a false sense of historical development by adding elements from other historic places or other properties, or by combining features of the same property that never coexisted.
- Find a use for an historic place that requires minimal or no change to its character-defining elements.
- 6. Protect and, if necessary, stabilize an historic place until any subsequent intervention is undertaken. Protect and preserve archaeological resources in place Where there is potential for disturbing archaeological resources, take mitigation measures to limit damage and loss of information.
- Evaluate the existing condition of character-defining elements to determine the appropriate intervention needed. Use the gentlest means possible for any intervention. Respect heritage value when undertaking an intervention.
- Maintain character-defining elements on an ongoing basis. Repair character-defining elements by reinforcing their materials using recognized conservation methods. Replace in kind any extensively deteriorated or missing parts of character-defining elements, where there are surviving prototypes.
- Make any intervention needed to preserve character-defining elements
 physically and visually compatible with the historic place and
 identifiable on close inspection. Document any intervention for
 future reference.

Additional Standards Relating to Rehabilitation

- 10. Repair rather than replace character-defining elements. Where character-defining elements are too severely deteriorated to repair, and where sufficient physical evidence exists, replace them with new elements that match the forms, materials and detailing of sound versions of the same elements. Where there is insufficient physical evidence, make the form, material and detailing of the new elements compatible with the character of the historic place.
- 11. Conserve the heritage value and character-defining elements when creating any new additions to an historic place or any related new construction. Make the new work physically and visually compatible with, subordinate to and distinguishable from the historic place.
- 12. Create any new additions or related new construction so that the essential form and integrity of an historic place will not be impaired if the new work is removed in the future.

Additional Standards Relating to Restoration

- 13. Repair rather than replace character-defining elements from the restoration period. Where character-defining elements are too severely deteriorated to repair and where sufficient physical evidence exists, replace them with new elements that match the forms, materials and detailing of sound versions of the same elements.
- 14. Replace missing features from the restoration period with new features whose forms, materials and detailing are based on sufficient physical, documentary and/or oral evidence.

APPENDIX II

Authors' Qualifications

COMPANY PROFILE

Goldsmith Borgal & Company Ltd. Architects (GBCA) provide a full range of architectural services to clients for a wide range of built projects including adaptive reuse, restoration, rehabilitation and new design. At GBCA, we bring together the skills, sensitivity, specialized knowledge and commitment to undertake technically demanding work that not only conserves our built and cultural heritage but also creates contemporary environments that support our clients' needs and objectives.

In addition to our design and built work GBCA has established itself as a leading heritage firm. We provide consultancy services for projects across the country, including the preparation of heritage impact assessments, conservation reports, master plans and feasibility studies, as-found documentation, and construction drawings.

Led by the Principal of the firm, Christopher Borgal, GBCA associates and architectural and support staff, all bring to the firm distinct specialties in the heritage and conservation field. Years of successful, award-winning projects and satisfied clients are a testament to our dedicated staff.



Christopher Borgal

B.ARCH, OAA, FRAIC, CAHP - PRINCIPAL

CHRISTOPHER BORGAL, PRESIDENT

Christopher Borgal has over 35 years experience in architecture with specialized knowledge in heritage planning, building science, historical restoration and museum design.

His project experience includes a complete array of building types including some of the most important buildings in Canada.

RELEVANT PROJECTS

Partner-in-charge and Owner of GBCA

- Heritage Architect in charge of Massey Music Hall Revitalization, Toronto, Ontario
- GBCA heritage specialist (P. Goldsmith was GBCA partner-in-charge) for the new National Ballet School Phase 1 in joint venture with KPMB; and heritage specialist (GBCA as principal architects) for the redevelopment, restoration and adaptive reuse of the original facility as residences in Phase 2, Toronto, Ontario
- Team Leader, redevelopment of the Peel Heritage Complex. Brampton. Ontario
- Heritage Consultant, Union Station Train Shed Revitalization, Toronto, Ontario for Metrolinx
- Architect in charge of Thomas Fisher Rare Books Library condensation remediation at University of Toronto, Toronto, Ontario
- Heritage Consultant for the redevelopment of the Guelph City Hall Complex, and Architect in Joint Venture for \$10M Guelph POA Court in the former 1856 William Thomas-designed City Hall, Guelph, Ontario, with Moriyama and Teshima Architects
- Heritage Architect, various conservation projects at the Legislative Assembly of Ontario including a heritage skylight and decorative metalwork
- Restoration of the exterior façade and various other projects at the Royal Alexandria Theatre, Toronto, Ontario
- Heritage Consultant for renovations of Governor's House, Don Jail (now Bridgepoint Hospital), Toronto, Ontario
- Condition review, the Arts and Letters Club, Toronto, Ontario
- Expert Witness, Heritage Architect, various Ontario Municipal Board hearings

- Heritage Advisor, redevelopment of the former U.S. Embassy Building into the proposed National Portrait Gallery, Ottawa, Ontario
- Analysis for repairs and upgrades of the Ontario Veterinary College, Creelman Hall, Mills Hall, MacDonald Hall and Johnston Hall, and restoration of portions of the Reynolds Building, University of Gueloh, Gueloh, Ontario
- Renovations and addition to the Bruce County Museum and Cultural Centre, Southampton, Ontario
- Advisor to the Canada Agriculture Museum for implementation of Master Plan elements including new buildings, renovations and site work, Ottawa, Ontario
- Project Conservation Architect for restoration of the South Façade, (Centre Block, Parliament Hill), and masonry repairs and studies for the Parliamentary Library, East Block, West Block and Vaux walls, Ottawa, Ontario
- Consultant for projects at the National Gallery of Canada, including window replacements and interior renovations. Ottawa. Ontario

EDUCATION

- B.Arch., University of Toronto, 1974
- Post-professional seminars at West Dean College, UK and University of York, UK
- Seminars presented by the Danish Institute and National Research Council of Canada

MEMBERSHIPS

- Royal Architectural Institute of Canada, since 1977
- · Ontario Association of Architects, since 1977
- Heritage Canada / National Trust for Canada, since 1981
- Construction Specifications Canada, since 1978
- · Architectural Conservancy of Ontario since 1977
- Canadian Association of Heritage Professionals since 1992



Sharon Vattay

GBCA

Emad Ghattas

B. SC. ARCH, M.ARCH, MRAIC, OAA

SHARON VATTAY, ASSOCIATE

Sharon Vattay has been an Associate at GBCA since 2008. She brings to the firm a diverse set of skills and experiences developed over the course of 20 years in the field of architectural history and historic preservation. Her expertise includes primary archival research and analysis, heritage assessments and report writing and the preparation of heritage conservation and management strategies. She not only has a demonstrated knowledge of building restoration techniques and the application of the Standards and Guidelines for the Conservation of Historic Places in Canada, but also of municipal and provincial heritage approvals.

Sharon holds a Ph.D. from the University of Toronto, where she teaches courses in architectural history. She lectures on related topics and has presented and published scholarly papers. Prior to joining GBCA, contract work included research projects for federal heritage programs, including the National Historic Sites Directorate and the Federal Heritage Buildings Review Office. Several years working as a municipal heritage planner honed skills in assessing official plan and zoning applications with relation to heritage properties and advising owners of heritage properties on conservation techniques and adaptive reuse.

Sharon is committed to the conservation and reuse of Canada's built heritage. To this end, she was appointed to the Toronto Preservation Panel, served a term as Vice-President of the Architectural Conservancy of Ontario, and was a member of Heritage Canada. As part of this commitment to architecture. Sharon contributes to the education of the field, teaching at the University of Victoria's Graduate Professional Program in Cultural Heritage Studies. She is also active with a number of related organizations, such as the Society for the Study of Architecture in Canada, the Society of Architectural Historians, and the Association of Preservation Technology. Professional service also included jury member of the City of Toronto Heritage Grant Program Selection Committee (2009-2010).

Since 2012, Sharon has been advising a consultant team carrying out repairs to the roof of the underground parking garage lying below the proposed Correctional Workers' Monument. She has familiarity with the heritage and technical issues related to the location.

SAMPLE OF GBCA PROJECTS

- Thomas Fisher Rare Books Library Heritage research and approvals for the recladding and building envelope repairs and upgrade for this significant Brutalist landmark, to enable the building to better handle humidity levels required to maintain the collection.
- Toronto Golf Club Heritage research for master planning, and phased revitalization project, to enable this historically important building to meet a new vision for the 21st Century while retaining its beloved heritage characteristics
- Heritage Consultant, MacDonald / Whitney Block, Queens Park, Historic Landscape Assessment as part of subterranean garage roof deck restoration/repair
- Massey Music Hall Revitalization Project, with KPMB Architects - ongoing
- Legislative Assembly of Ontario, Historic Metalwork Conservation Report and Life Safety Upgrades
- Hudson's Bay Building (Toronto), Heritage Impact Assessment for alterations
- Former Traders Bank (Toronto), copper cornice restoration report
- Humber College Lakeshore Campus (Toronto),
 Adaptive reuse of former Lakeshore Mimico Asylum building (with Moriyama & Teshima Architects)

PROFESSIONAL DEVELOPMENT & TRAINING

- Guastavino Tile Vault Construction Workshop (Association of Preservation Technology)
- Willowbank (Centre for Cultural Landscape) and Canova Association Field School Program in Northern Italy
- Historic Masonry Conservation Workshop (Parks Canada)
- Le Sabranenque Traditional Building Techniques in Southern France
- Windows Conservation for Historic Places Workshop (Parks Canada)
- Fire Risk Management for Historic Places Workshop (Parks Canada)
- Conserving the Modern Workshop (Parks Canada)

EXPERIENCE

Emad Ghattas is a registered architect in Ontario and a graduate of both McGill University and the University of Waterloo. Raised in Quebec and fluent in both French and English, Emad started his work experience in architectural conservation in Montreal. His architectural experience spans a total of 7 years throughout a variety of architectural projects, focusing on the reuse and conservation of existing buildings.

At GBCA since 2014, Emad has been a project manager for the design and construction of three seasonal recreational facilities for a private club. He is currently managing, with the assistance of the principal, Chris Borgal, the preparation of reports for submission to municipal authorities such as Heritage Impact Assessments and Conservation Plans, Emad prepares these reports, coordinates the various requirements (policy reviews, historical research, and assessment of design), assists in the progress to subsequent development phases, and guides clients through heritage approvals. Prior to joining GBCA, Emad has worked with the Montreal office of EVOQ Architecture on the rehabilitation of the West Block on Parliament Hill in Ottawa, where he assisted in preparing construction documents and coordinated masonry investigations.

RECENT GBCA PROJECTS

Construction of three new seasonal facilities for the Toronto Golf Club's course:

- Schematic Design, Design Development, Construction Documents, Tender and Contract Administration
- Coordination with Structural & M/E Engineers, Code Consultant, Kitchen Consultant, Interior Designer
- Application for Permit and Coordination with the municipality (City of Mississauga)

HERITAGE IMPACT ASSESSMENTS

Preparation and Coordination of more than 40 Heritage Impact Assessment reports and Letters of Opinion submitted as part of development applications across the GTA assessing and evaluating impacts on heritage resources by reviewing applicable municipal and provincial policies. Many of the Heritage Impact Assessments prepared evolve into Conservation Plans

CONSERVATION PLANS (ONGOING)

- William Luke Buildings (774 Yonge Street) –
 Preliminary construction documents for a façade
 restoration
- Silver Dollar Room (484 Spadina) –Conservation and reinterpretation of interior heritage attributes.
- Small warehouse buildings (Peter and Adelaide Streets) integrated into new mixed-use development
- King Street East façade restoration (71-85 King Street East), integrated into an office development.
- Gore Park Restoration (18-28 King Street East, Hamilton)

EDUCATION

B.Sc.Arch., McGill University, Montreal, QC (Canada), 2009

M.Arch, University of Waterloo, Cambridge, ON (Canada), 2013

AFFILIATIONS

- Ontario Association of Architects Member (2017).
- Canadian Association of Heritage Professionals CAHP – intern member (2017)
- Royal Architectural Institute of Canada member (2015)
- Toronto Society of Architects member (2013)
- Architectural Preservation Technology member (2015)

APPENDIX III

Development Drawings and Streetscape drawings

Proposed Transitional Housing Addition

for

Armagh

927 Meadow Wood Road Mississauga, ON

Architect:

Hilditch Architect Inc. 401 Richmond St. W, Suite 139 Toronto, Ontario M5V 3A8

(t) 416 977 7877 (f) 416 977 8460

List of Architectural Drawings:

- Existing Site Plan
- Proposed Site Plan
- Reserved
- Basement Floor Plan
- Ground Floor Plan
- Second Floor Plan
- Reserved A4.0
- Reserved A5.0
- A6.0 Reserved
- **Building Elevations**
- **Building Elevations**
- **Building Sections**
- **Building Sections**

Issued for Site Plan Approval August 16, 2017

Revision 01 August 28, 2017

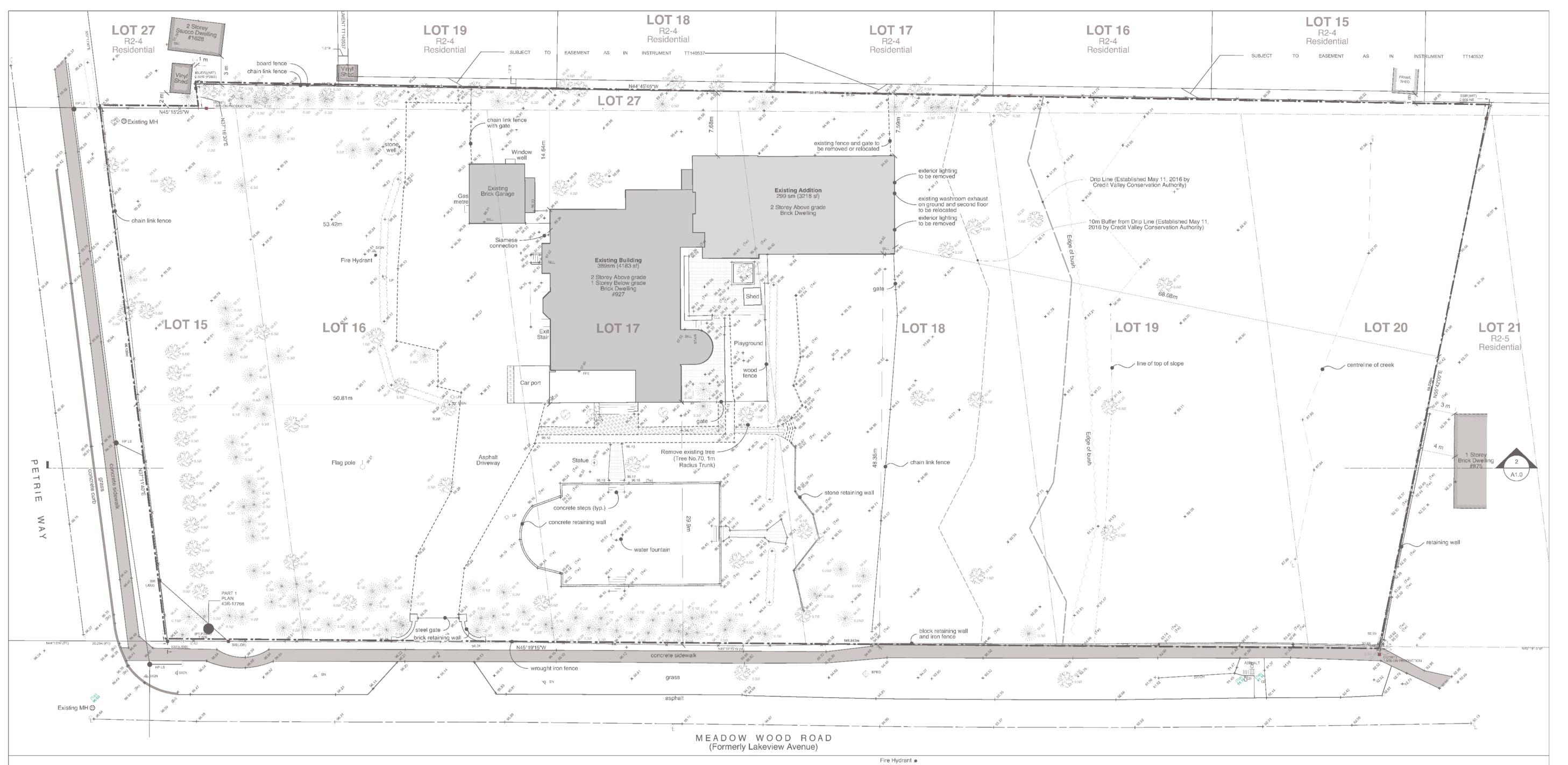
Revision 02 October 12, 2017

Revision 03 October 17, 2018

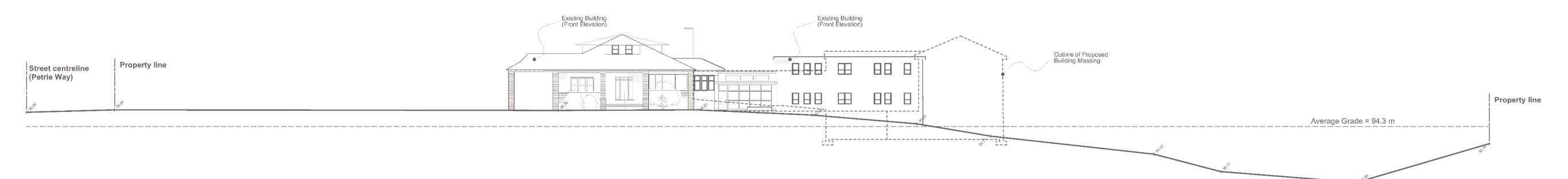
Issued for Minor Variance Approval December 14, 2017

Issued Without Prejudice for Appellant Review September 21, 2018

Project No. 1523



1 Existing Site Plan A1.0 1: 250



Existing Site Section
1:250

Site plan information from Registered Site Survey prepared by KRCMAR SURVEYORS LTD. 2016: Survey completed on the 4th Day of March, 2016

April 14, 2016: Updated to show location of 3 deciduous trees, southeast of edge of bush, on Lot 19, PlanD-13.

May 12, 206: Updated to show drip line established by Credit Valley Conservation Authority and Surveyed on May 11, 2016.

Boundary and Topographic Survey of Lot 16 to 19 Inclusive and Parts of Lots 15 and 20, Plan D-13 and Part of Lot 27, Concession 3 South of Dundas Street (Formerly in the Township of Toronto County of Peel) Now in the City of Mississauga, Regional Municipality of Peel.

LEGEND:

- Existing Vegetation to remain
- உsign Existing Sign Existing Fire Hydrant
- Existing Catch Basin
- Proposed Catch Basin Refer to Civil Engineering
- Existing Manholes

Note: All drawings to be read in conjunction with Tree Inventory & Preservation Plan, Restoration & Enhancement Plan, Civil Engineering Report and drawings and all other disciplines (typical).

Site Plan Application No. SP 17-148 W2

Applicant:
Daniel Stummer, SHS Consulting
70 East Beaver Creek Rd, Unit 30
tel: 905.763.7555 x114
fax: 905.763.7558

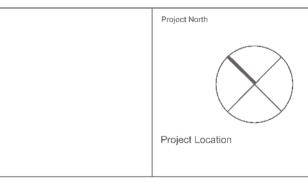
Owner: Armagh, Lucy Cameron (Board President) PO Box 52581 - 1801 Lake Shore Road tel: 905.855.0299 x23 fax: 905.855.3189

11	Issued for Site Plan Approval - Revision 03	10.17.2018
10	Issued Without Prejudice for Review by Appellants	09.21.2018
09	Issued Without Prejudice to City Planning Department	07.13.2018
08	Issued for Client Review	06.08.2018
07	Issued for Client Review	05.24.2018
06	Issued for Minor Variance Approval	12.14.2017
05	Issued for Site Plan Approval - Revision 02	10.12.2017
04	Issued for Site Plan Approval - Revision 01	08.28.2017
03	Issued for Site Plan Approval	08.16.2017
02	Issued for Cost Consultant - Revised	07.19.2017
01	Issued for Cost Consultant	07.18.2017
No	Issuance	Date
Contra	actor must verify all dimensions on the job & report any discrepancy to the	architect before

Contractor must verify all dimensions on the job & report any discrepancy to the architect before proceeding with the work. All drawings & specifications are instruments of service & the property of the architect & must be returned upon completion of the work. © 2013 Hilditch Architect

Hilditch Architect Inc.

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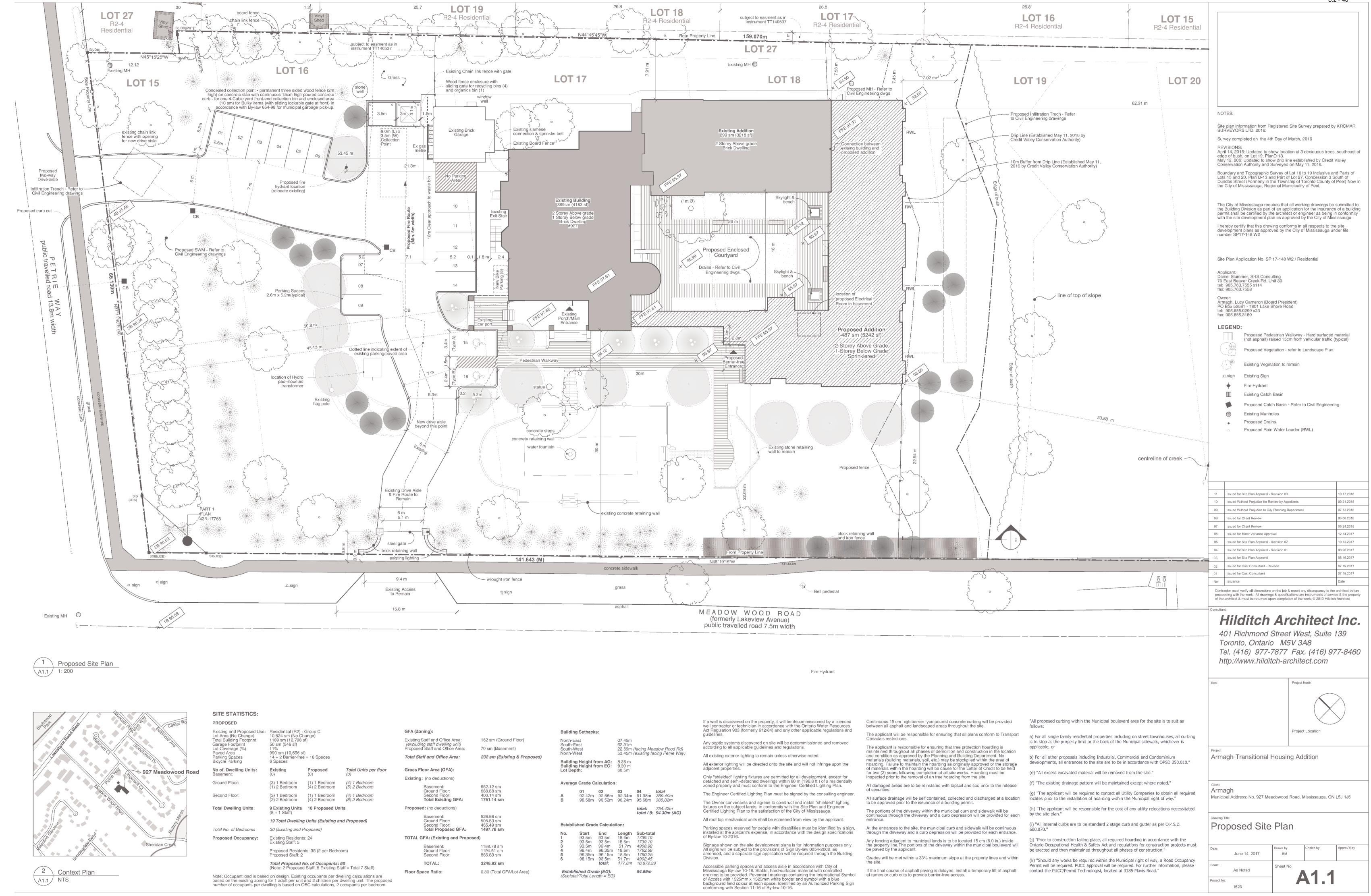


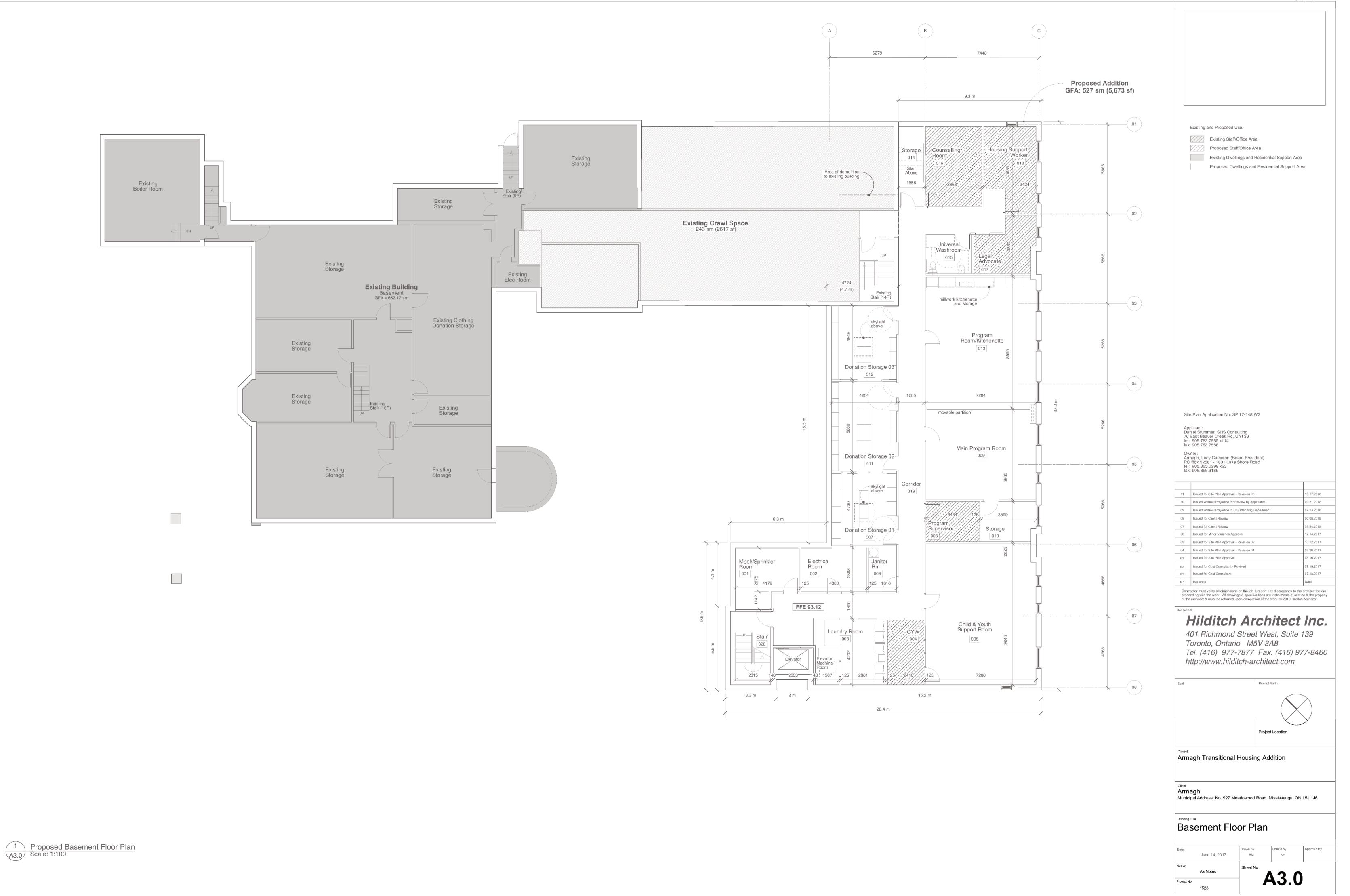
Armagh Transitional Housing Addition Residential Low Density

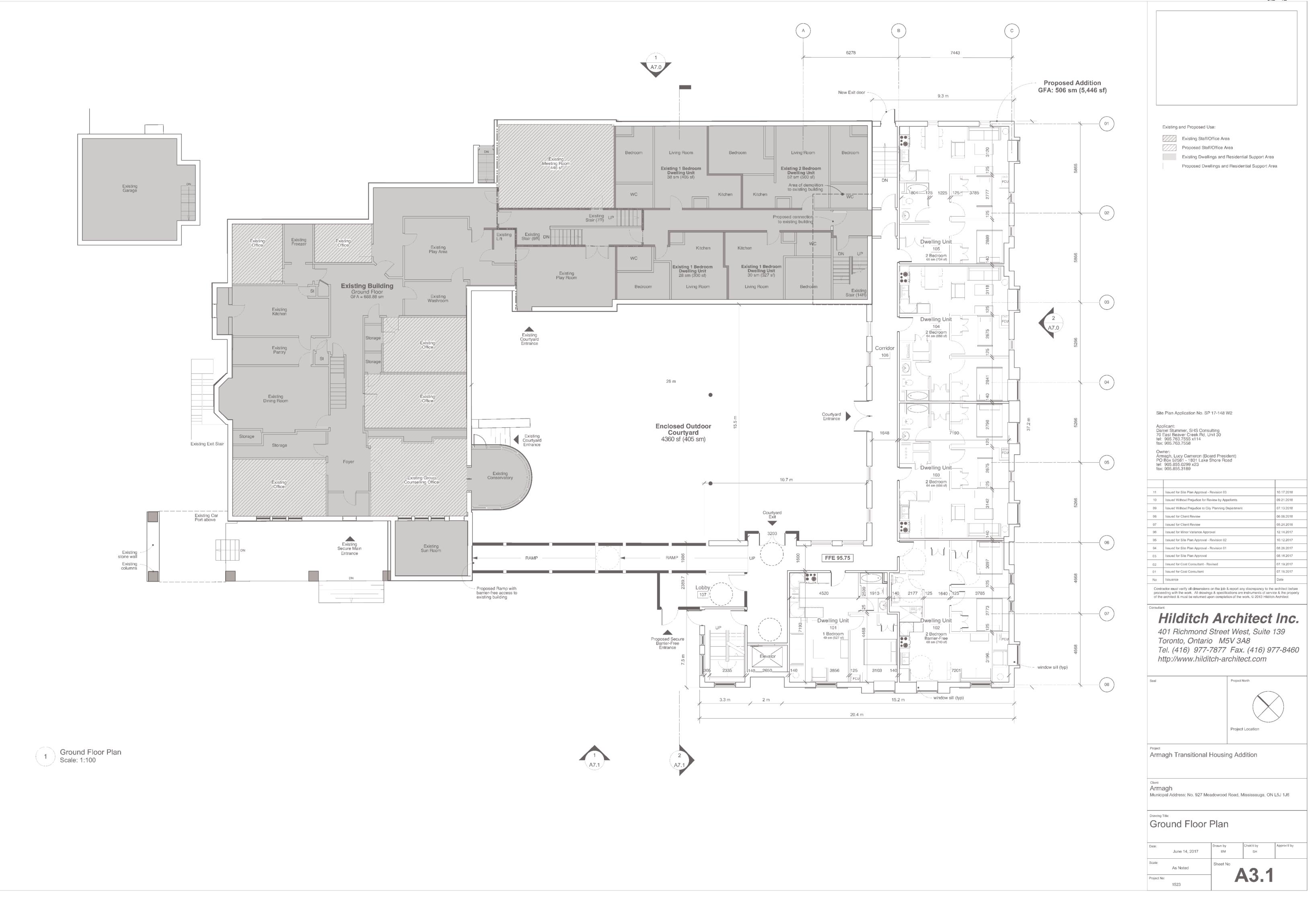
Municipal Address: No. 927 Meadowood Road, Mississauga, ON L5J 1J6

Existing & Demolition Site Plan

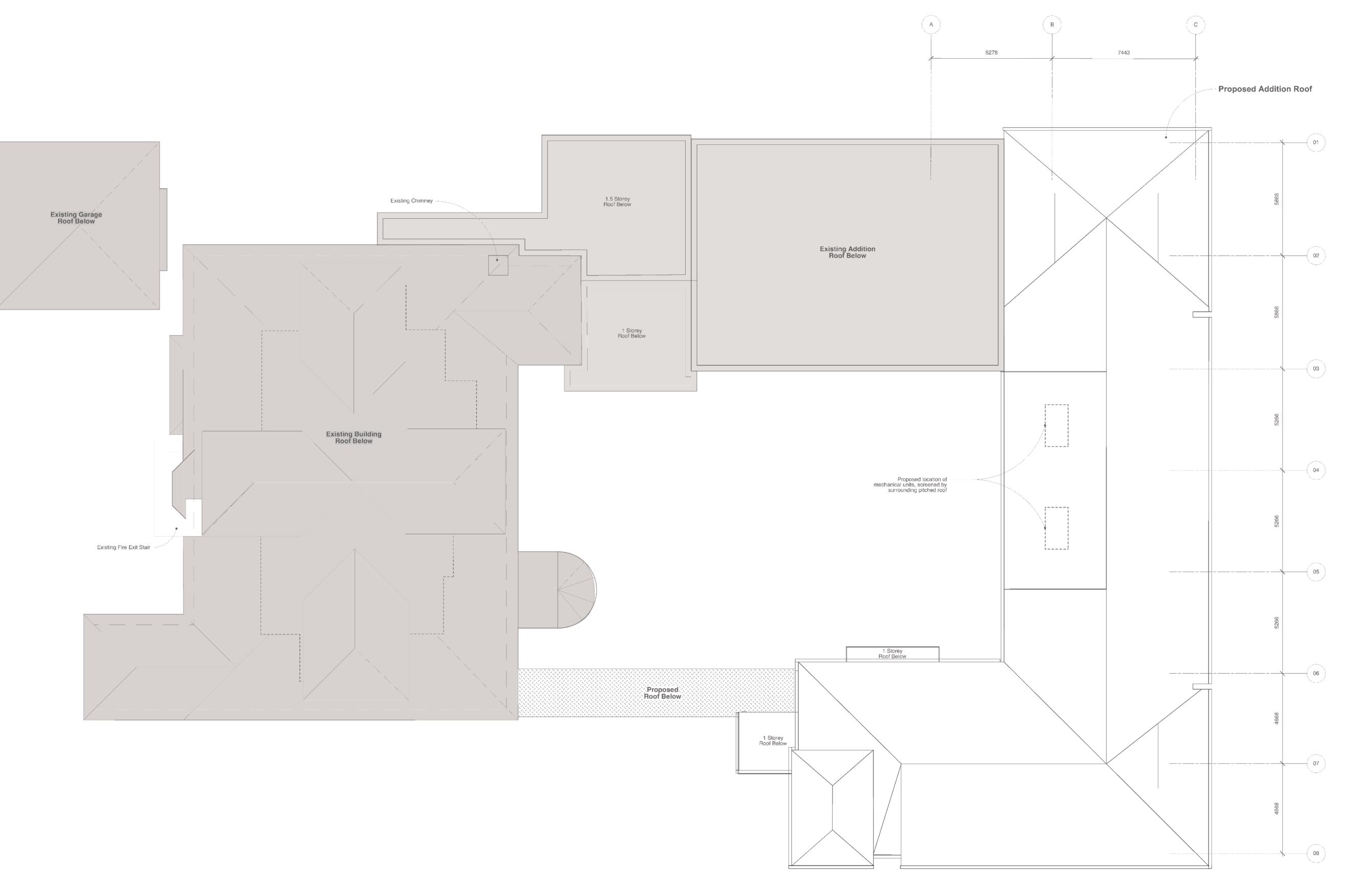
Date:	June 14, 2017	Drawn by BM	Chek'd by SH	Approv'd by
Scale:	As Noted	Sheet No	110	
Project No:	1523	A1.0		











Applicant:
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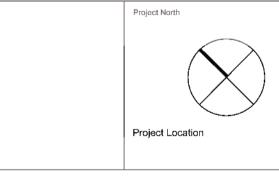
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Armagh Transitional Housing Addition

Armagh
Municipal Address: No. 927 Meadowood Road, Mississauga, ON L5J 1J6

Roof Plan

1523

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Scale:	As Noted	Sheet No	^ ^ ^	
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Applicant:
Daniel Stummer, SHS Consulting
70 East Beaver Creek Rd, Unit 30
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Owner: Armagh, Lucy Cameron (Board President) PO Box 52581 - 1801 Lake Shore Road tel: 905.855.0299 x23 fax: 905.855.3189

	06	Issued for Site Plan Approval - Revision 3	10.17.2018
	05	Issued Without Prejudice for Appellant Review	09.21.2018
	04	Issued Without Prejudice for Review	07.13.2018
	03	Issued for Site Plan Approval	08.16.2017
	02	Issued for Cost Consultant - Revised	07.19.2017
	01	Issued for Cost Consultant	07.18.2017
	No	Issuance	Date
	Contra	actor must verify all dimensions on the job & report any discrepancy to the	architect before

Contractor must verify all dimensions on the job & report any discrepancy to the architect before proceeding with the work. All drawings & specifications are instruments of service & the property of the architect & must be returned upon completion of the work. © 2013 Hilditch Architect

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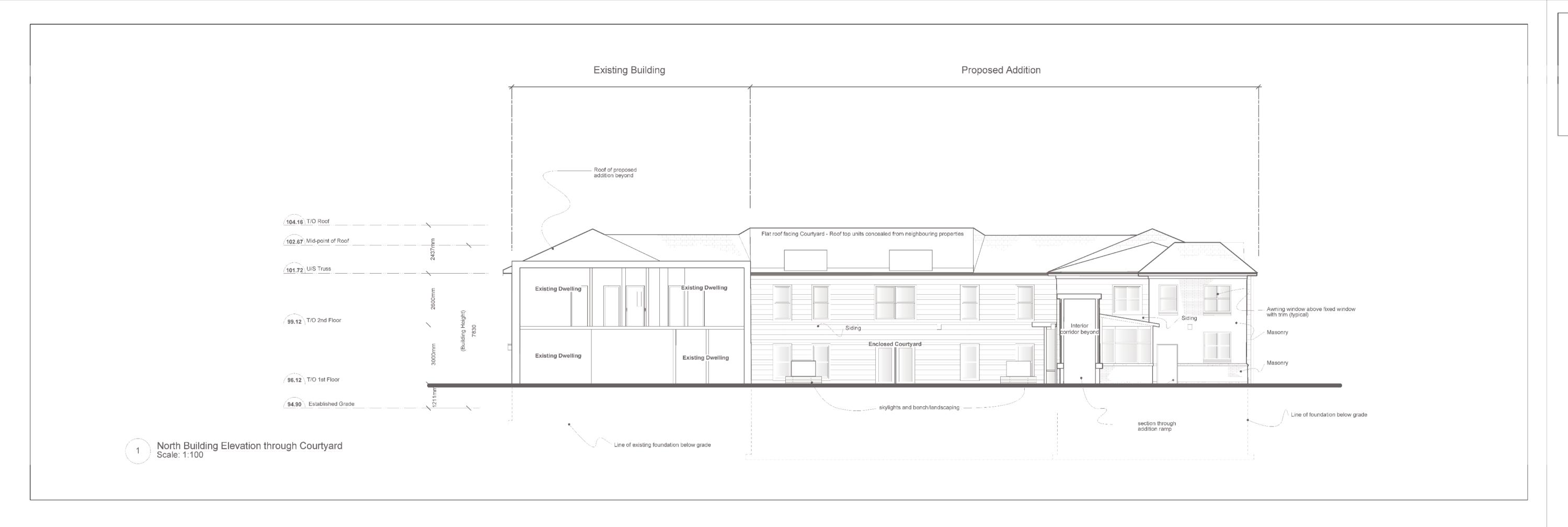


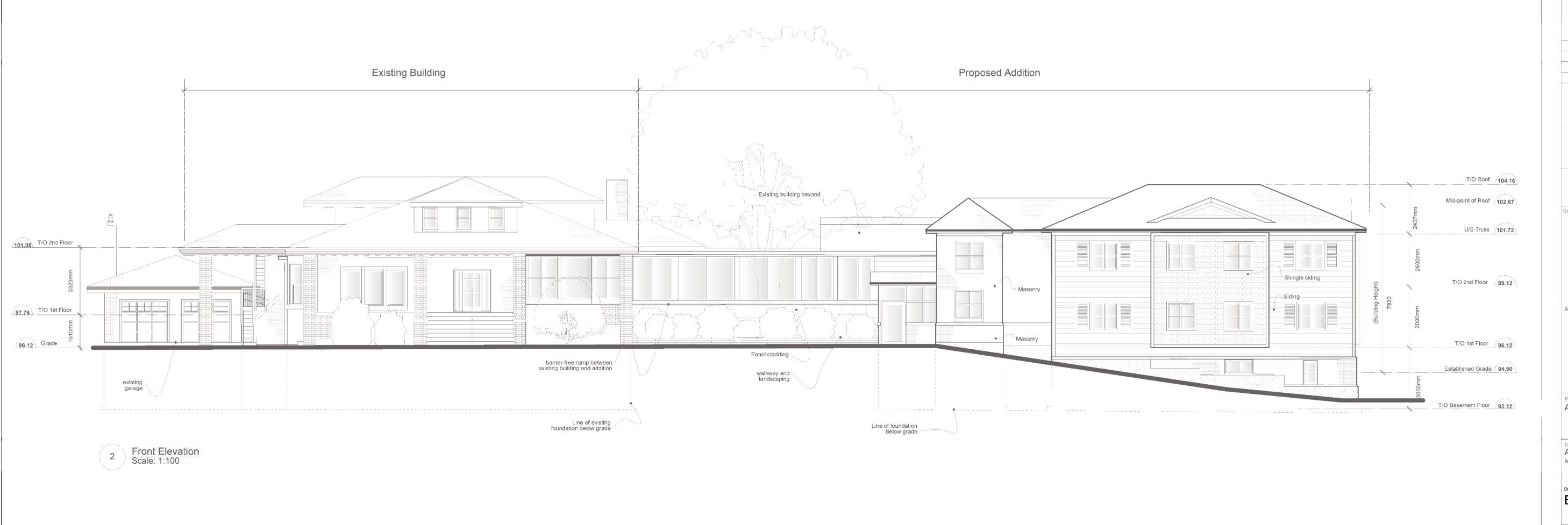
Armagh Transitional Housing Addition

Armagh
Municipal Address: No. 927 Meadowood Road, Mississauga, ON L5J 1J6

Exterior Elevations

Date:		Drawn by	Chek'd by	Approv'd by
	September 21, 2018	BM, SS	SH	
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05	Issued Without Prejudice for Appellant Review	09.21.2018
04	Issued Without Prejudice for Review	07.13.2018
03	Issued for Site Plan Approval	08.16.2017
02	Issued for Cost Consultant - Revised	07.19.2017
01	Issued for Cost Consultant	07.18.2017
No	Issuance	Date

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http://www.hilditch-architect.com



Armagh Transitional Housing Addition

Project No:

Armagh
Municipal Address: No. 927 Meadowood Road, Mississauga, ON L5J 1J6

Exterior Elevations

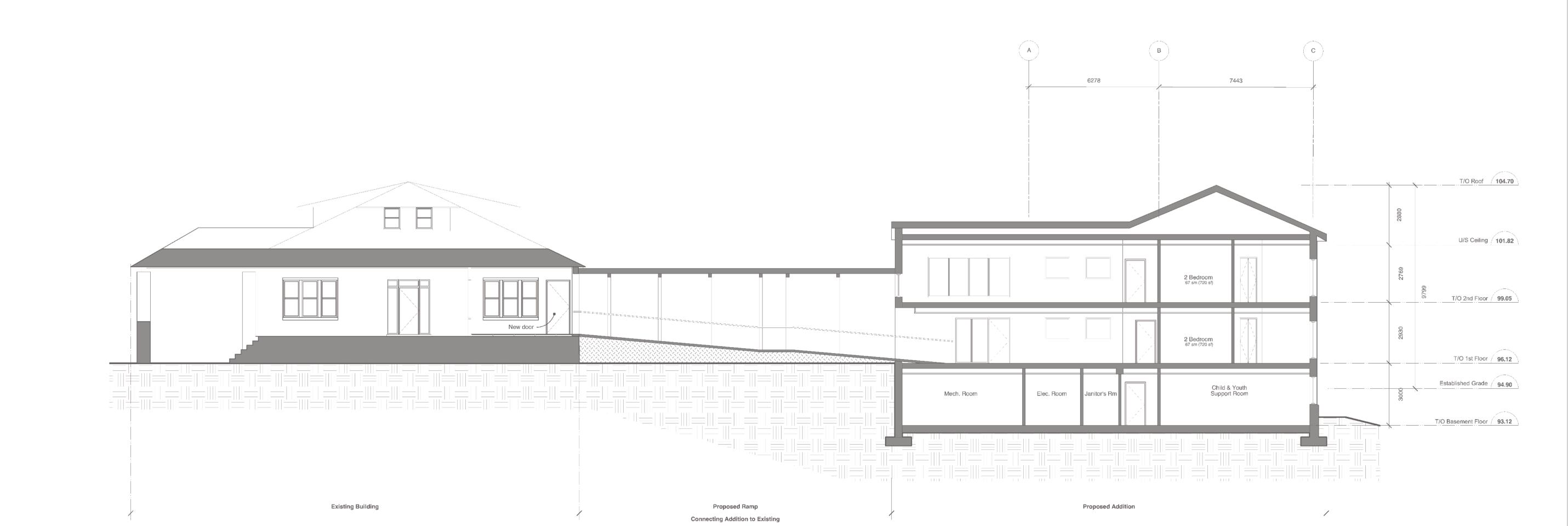
September 21, 2018 BM, SS

A7.1 1523



Building Section Through Courtyard

A8.0 Scale: 1:100



Site Plan Application No. SP 17-148 W2

Applicant:
Daniel Stummer, SHS Consulting
70 East Beaver Creek Rd, Unit 30
tel: 905.763.7555 x114
fax: 905.763.7558

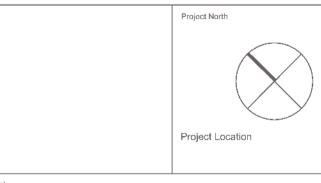
Owner: Armagh, Lucy Cameron (Board President) PO Box 52581 - 1801 Lake Shore Road tel: 905.855.0299 x23 fax: 905.855.3189

11	Issued for Site Plan Approval - Revision 03	10.17.2018
10	Issued Without Prejudice for Review by Appellants	09.21.2018
09	Issued Without Prejudice to City Planning Department	07.13.2018
08	Issued for Client Review	06.08.2018
07	Issued for Client Review	05.24.2018
06	Issued for Minor Variance Approval	12.14.2017
05	Issued for Site Plan Approval - Revision 02	10.12.2017
04	Issued for Site Plan Approval - Revision 01	08.28.2017
03	Issued for Site Plan Approval	08.16.2017
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Armagh Transitional Housing Addition

Armag

Municipal Address: No. 927 Meadowood Road, Mississauga, ON L5J 1J6

Building Sections

1523

Date:

June 14, 2017

BM

Chek'd by SH

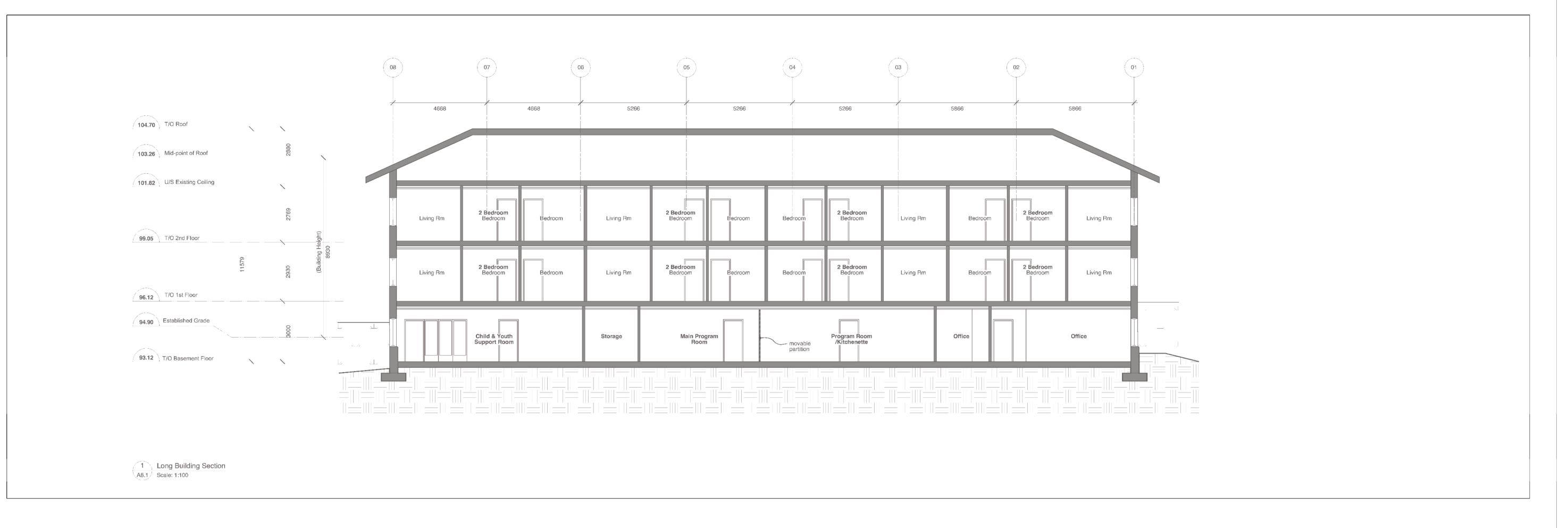
Approv'd by SH

Scale:

As Noted

Project No:

Building Section through Proposed Ramp Scale: 1:100



Applicant: Daniel Stummer, SHS Consulting 70 East Beaver Creek Rd, Unit 30 tel: 905.763.7555 x114 fax: 905.763.7558

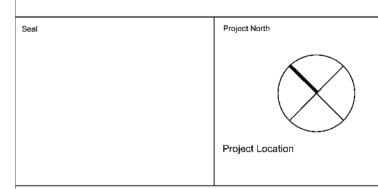
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Armagh Transitional Housing Addition

Armagh
Municipal Address: No. 927 Meadowood Road, Mississauga, ON L5J 1J6

Building Sections

Date:	June 14, 2017	Drawn by BM	Chek'd by SH	Approv'd by
Scale: As Noted		Sheet No		
Project No:	1523	A8.1		



Meadow Wood Streetscape Looking East



Meadow Wood From North Looking South



Meadow Wood From South Looking North







892 Meadow Wood



898 Meadow Wood



904 Meadow Wood



914 Meadow Wood



924 Meadow Wood

Meadow Wood West Side of Street



Petrie Way Streetscape Looking South



Petrie Way Looking West





Petrie Way Looking East



Petrie Way Streetscape Looking North

City of Mississauga

Memorandum



Date: 6/18/2019

To: Chair and Members of Heritage Advisory Committee

From: Paul Damaso, Director, Culture Division

Meeting Date: 7/2/2019

Subject: Alteration to a Listed Property: 3658 Burnbrae Dr. (Ward 6)

This memorandum and its attachment are presented for HAC's information.

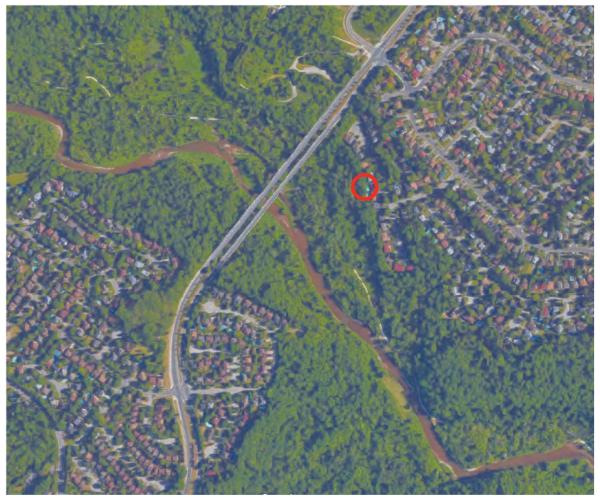
Section 7.4.1.12 of the Mississauga Official Plan states that: "The proponent of any construction, development, or property alteration that might adversely affect a listed or designated cultural heritage resource or which proposed adjacent to a cultural heritage resource will be required to submit a Heritage Impact Assessment, prepared to the satisfaction of the City and other appropriate authorities having jurisdiction." A scoped report is attached for your reference.

Attachments

Appendix 1: Heritage Impact Assessment

Prepared by: Paul Damaso, Director, Culture Division

HERITAGE IMPACT STATEMENT



3658 BURNBRAE DRIVE, MISSISSAUGA

Credit River Corridor Cultural Landscape

FINAL REPORT 24 May 2019

MEGAN HOBSON

M.A. DIPL HERITAGE CONSERVATION
Built Heritage Consultant
45 James Street, Dundas, ON L9H 2J5

(905) 975-7080 mhobson@bell.net

Table of Contents

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4.0	HERITAGE PLANNING CONTEXT	4
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APPE	NDIX A: SITE PHOTOS	ATTACHED
APPE	NDIX B: CULTURAL LANDSCAPE INVENTORY	ATTACHED
APPE	NDIX C: PROPOSED ALTERATIONS (DRAWINGS BY VGA ARCHITECTURE)	ATTACHED

1.0 BACKGROUND & METHODOLOGY

The subject property is located in the *Credit River Corridor Cultural Landscape* (L-NA-2). This report was prepared by heritage consultant Megan Hobson for the property owner of 3658 Burnbrae Drive as a requirement for obtaining approvals to enlarge and existing residence.

This report was prepared in accordance with the City of Mississauga's *Terms of Reference for Cultural Landscape Heritage Impact Assessments (2016)* based on a scoped Terms of Reference determined by heritage staff. A site visit was undertaken by Megan Hobson on April 5th 2019 to assess and document the property and its relationship to the Credit River Corridor Cultural Landscape. Relevant heritage planning policies were reviewed.

2.0 LOCATION

The subject property is situated in a residential subdivision called the 'Credit Woodlands'. It is located on the west side of Burnbrae Drive, a residential street on the eastern edge of the Credit River Valley. It is located just south of Burnhamthorpe Road West where there is a bridge that crosses the river valley. Burnbrae Drive is not a through street and has cul-de-sacs at each end.



Location Map: 3658 Burnbrae Drive

3.0 SITE DESCRIPTION

See Appendix A: SITE PHOTOS

The subject property is a rectangular lot that is approximately 1400 square meters with frontage on. It contains a one storey dwelling with an L-shaped plan that has a raised basement and an integrated garage. The lot slopes so that the back of the house has a walk-out from the basement level. There is a concrete swimming pool in the back yard close to the house that appears to be unused and is filled with organic debris. There is a curb at the road but no sidewalk. There is fencing on the side property line but no fence at the back. The house is set back from the road and has a large back yard. The front yard has clumps of birch trees and a large Blue Spruce that were probably planted when the survey was laid out. The side yards are narrow. The back yard slopes down into the ravine. There are no large trees in the back yard but there are several trees along the ravine edge including small evergreens that were planted fairly recently and larger self-seeded maples.





View from Burnbrae Drive

View from the back yard to the Credit River Valley

The house is clad with white brick and has a recessed glazed entry. It has an L-shaped plan and a shallow hipped roof with a wide overhang. It has a raised basement and an integrated garage. Architecturally it is a builder's vernacular that has integrated some Mid-Century Modern features, such as the use of a glazed white brick, overhanging roof and some areas of floor to ceiling glazing, with a conventional raised ranch suburban house form.

4.0 HERITAGE PLANNING CONTEXT

See Appendix B: Cultural Landscape Inventory

Cultural Heritage Landscape Inventory

The City of Mississauga adopted a *Cultural Landscape Inventory* in 2005. All of the properties listed on the *Cultural Heritage Inventory* are listed on the *City's Heritage Register*. Under City policy 7.4.1.12, the City of Mississauga seeks to conserve, record and protect its heritage resources and a *Heritage Impact Assessment* is required for any "construction, development, or property alterations that might adversely affect" those resources. The *Heritage Impact Assessment* must be prepared by a qualified

heritage consultant and must satisfy the Terms of Reference for Cultural Landscape Impact Assessments (2016).

Credit River Corridor Cultural Landscape

The subject property is identified in the *Cultural Heritage Inventory* as being part of the *Credit River Corridor Cultural Landscape (L-NA-2)*. The *Inventory* provides a general description of the character of this resource and includes a checklist of natural and cultural values associated with it. The Mississauga Road Scenic Route Cultural Landscape is described as follows:

The Credit Valley is a Provincially Significant Landscape that has been identified by the City of Mississauga as a 'cultural heritage landscape'. The 'Credit River Corridor Cultural Landscape' is described in the *Cultural Heritage Landscape Inventory* as follows:

The Credit River is 58 miles long in total and has a drainage area of 328 square miles. From south of Georgetown to Erindale, the river cuts through the boulder till of the Peel Plain and in some areas exposes the underlying Paleozoic bedrock of shales and sandstones. The River flows through a wide alluvial terrace at Meadowvale where its banks are gentle and tree covered. As it approaches the old Shoreline of glacial Lake Iroquois at Erindale it cuts deeper and deeper into the Peel Plain creating steep valley walls in excess of 75 feet deep. In several locations, such as on the former Bird property north of Burnhamthorpe, intermediate benches were formed as the water levels of the glacial lakes receded. These benches and alluvial terraces provide wonderful natural and recreational settings for trails and other recreational activities. South of the Iroquois shoreline the River cuts through the sands and boulder till of the Iroquois Plain. The last mile of the river is drowned and marshy. The wave action of Lake Ontario continues in its efforts to build a bar across the mouth of the river which is periodically removed by dredging.

Despite its size, the River has had significant impact on the settlement of the area. At one time, Erindale had a mill and for a short while a small hydroelectric generating station. At Streetsville, four flour mills operated some of which remain today as modern mills. Two sawmills and a carding mill were built in Meadowvale. The banks of the river continue to be developed for attractive residential neighborhoods, parks and special uses such as the University of Toronto Erindale campus. The river provides the residents of Mississauga with a variety of recreational and educational opportunities.

The Credit River Valley is the most significant natural feature remaining in the City of Mississauga.

The subject property is located in a residential subdivision that was built on the 'intermediate benches' that are a feature of the Credit River Valley near Burnhamthorpe Road West. This is reflected in the grade changes evident between Burnbrae Drive located on the ravine edge and the adjacent street that located on top of a bank, several metres above Burnbrae Drive. Similarly, Burnbrae Drive is several metres below Burnhamthorpe Road West and the bridge that crosses the Credit River Valley at this location.





Burnbrae Drive - the embankment opposite the subject property is an 'alluvial bench'

The built features, such as the roads, bridges and residential development, in this area have had a significant impact on the natural edge of the Credit River Corridor in this area. The houses backing onto the ravine have large back yards that provide a buffer between the wooded ravine and the residential subdivision. Retaining the large rear yards, the tree canopy and the natural edge of the ravine behind the houses on Burnbrae Drive are important for protecting the Credit River Corridor Landscape.



View from the back yard across the Credit River Valley from the top of the steep and heavily wooded banks in this location

Values associated with the *Credit River Corridor Cultural Landscape* identified in the *Inventory* are grouped under 3 headings and are:

- Landscape Environment
 - Scenic and visual quality
 - o Horticultural interest
 - o Landscape Design, Type and Technological Interest
- Historical Associations
 - o Direct Associations with an Important Person or Event
 - o Illustrates Style, Trend or Pattern
 - o Illustrates Important Phase in Mississauga's Social or Physical Development
- Other
 - Historical and Archaeological Interest
 - o Outstanding Feature/Interest
 - Significant Ecological Interest

The subject property is located in an existing residential subdivision that encroaches on the *Credit River Corridor*. Its main contribution to the landscape environment is the back yard that extends into the ravine and maintains the natural edge and tree canopy of the ravine edge.

The subject property is part of a residential subdivision that was built in the 1960s century Historical associations are limited to the later 20th century when residential lots backing onto the ravine edges were built and continue to be sought after because they provide the occupants with privacy and scenic views into the ravine. These properties attract affluent residents to Mississauga and renovations and additions to these properties generally reflect current architectural fashions since much of the housing stock was built by large development companies using standardized plans that incorporated features associated with architectural trends at the time. The subject dwelling was built in 1966 and is not associated with an important designer or builder.

The subject property does not have any outstanding features, ecological or archaeological interest because it is part of a residential subdivision that altered and disturbed the environment. The land was cleared and leveled to build roads and create lots for large-scale development of single-detached homes.

5.0 PROPOSED ALTERATIONS

See Appendix C: Drawings

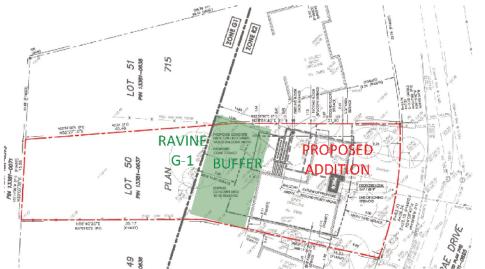
The proposed alterations involve adding a 2nd storey to the existing house to increase the living space without expanding the footprint of the house. The increase in lot coverage will require a minor variance because it will exceed the maximum lot coverage by approximately 5%. This is a minor increase above the 30% lot coverage that is permitted under the current

R2 zoning on the portion of the property where the dwelling is located. The back portion of the property that extends into the ravine is zoned G1 (Greenbelt).

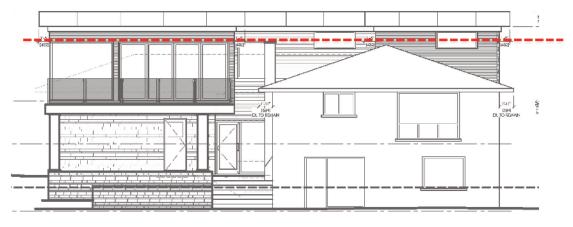
The house will be updated with new cladding materials and the new roofline will be flat. The increase in height will not be only slightly higher than the peak of the existing hipped roof.

The house is slightly skewed in relation to the north side property line so a minor variance will be required for the proposed balcony at the back of the house. The house on the property next door is skewed away from the property line so there will be adequate space between the two structures.

The proposal includes a deck and planter box in the back yard, in an area where there is an existing in-ground pool and concrete deck. There will be no impact on the rear yard and no trees will be removed.



The back yard provides a buffer between the ravine edge and the house. No tree removals are required.



WEST ELEVATION

Rear elevation – the proposed increase in height is minor and does not exceed the height permitted under R2 zoning.

6.0 IMPACT ON HERITAGE VALUES

The proposed alterations will have <u>no negative impact</u> on the Credit River Corridor Cultural Landscape for the following reasons:

- there will be no destruction or removal of heritage attributes because the subject dwelling is not a heritage attribute
- the proposed alterations are not incompatible because they are being undertaken within the context of an existing residential subdivision that backs onto the Credit River Valley
- there will be a slight increase in height of an existing house that will not cause shadows, isolation or obstruction of views
- the alterations will support ongoing use as a single-family residence and there will be no change in land use
- the existing footprint of the house will not be enlarged so there will be no land disturbances and no trees will be removed

7.0 CONCLUSIONS & RECOMMENDATIONS

Due to the fact that no negative impacts will occur, no mitigation or avoidance is required.

Due to the fact that no trees will be removed, an Arborist's Report is not required.

Due to the fact that this property is part of a residential subdivision that was built in the 1960s, an archaeological report is not required because the land has been previously disturbed and has little archaeological potential.

It is therefore recommended that this application for a heritage permit be approved.

8.0 QUALIFICATIONS OF THE AUTHOR

The author of this report is a member in good standing of the Canadian Association of Heritage Professionals. Formal education includes a Master of Arts in Architectural History from the University of Toronto and a diploma in Heritage Conservation from the Willowbank School of Restoration Arts. Professional experience includes an internship at the Ontario Heritage Trust, three years as Architectural Historian and Conservation Specialist at Taylor Hazell Architects in Toronto, and 7 years in private practice in Ontario as a heritage consultant. Other relevant experience includes teaching art history at the University of Toronto and McMaster University and teaching Research Methods and Conservation Planning at the Willowbank School for Restoration Arts in Queenston. In addition to numerous heritage reports, the author has published work in academic journals such as the *Journal of the Society of Architectural Historians* and the *Canadian Historical Review*.

8.0 **BIBLIOGRAPHY**

Ontario Heritage Tool Kit (2006)

APPENDIX A: SITE PHOTOS - 3658 BUNBRAE DRIVE



Figure 1: VIEW FROM BUNBRAE DRIVE



Figure 2: FRONT ELEVATION



Figure 3: FRONT ELEVATION – FEATURE - RECESSED GLAZED ENTRY



Figure 4: FRONT ELEVATION – FEATURE - INTEGRATED GARAGE



Figure 5: MATERIALS – GLAZED WHITE BRICK & CUT STONE SILLS



Figure 6: FEATURE - ROOF OVERHANG / MATERIALS - VINYL SOFFIT & VINYL WINDOWS



Figure 7: FRONT YARD



Figure 8: BURNBRAE DRIVE STREETSCAPE - NO HOUSES AND A WOODED EMBANKMENT ON THE OTHER SIDE OF BURNBRAE DRIVE



Figure 9: BURNGRAE DRIVE STREETSCAPE – VIEW LOOKING NORTH (TOWARDS BURNHAMTHORPE ROAD WEST)



Figure 10: BURNGRAE DRIVE STREETSCAPE – VIEW LOOKING SOUTH



Figure 11: NORTH SIDE YARD



Figure 12: SOUTH SIDE YARD



Figure 13: SOUTH SIDE YARD – STEPS DOWN TO BACK YARD



Figure 14: BACK YARD – VIEW LOOKING NORTH TO ADJACENT NEIGHBOUR - PROPERTY SLOPES DOWN INTO THE CREDIT RIVER VALLEY



Figure 15: BACK YARD – VIEW LOOKING SOUTH TO ADJACENT NEIGHBOUR – PROPERTY SLOPES DOWN INTO THE CREDIT RIVER VALLEY



Figure 16: BACK YARD – VIEW LOOKING WEST TOWARDS THE CREDIT RIVER RAVINE



Figure 17: BACK YARD - VIEW LOOKING WEST TOWARDS THE CREIDT RIVER VALLEY



Figure 18: REAR ELEVATION – SLIDING DOOR TO PATIO WTH CONCRETE PAVERS



Figure 19: REAR ELEVATION – IN-GROUND SWIMMING POOL FILLED WITH DEBRIS – CONCRETE DECK AND WALKWAY



Figure 20: REAR ELEVATION – BACK WALL OF THE GARAGE – GLAZED WALL INTO THE LIVING AREA



Cultural Landscape Inventory

Credit River Corridor

☐ Illustrates Work of Important Designer

L-NA-2

Location The River runs north south and transects the City from the Brampton border to the Lake

Ontario shoreline.

Heritage or Other Designation None

Landscape Type Natural Area

LANDSCAPE ENVIRONMENT BUILT ENVIRONMENT ✓ Scenic and Visual Quality Aesthetic/Visual Quality ✓ Natural Environment Consistent Early Environs (pre-World War II) ☐ Horticultural Interest Consistent Scale of Built Features ✓ Landscape Design, Type and Technological Interest Unique Architectural Features/Buildings Designated Structures **HISTORICAL ASSOCIATION OTHER** ☐ Illustrates Style, Trend or Pattern ✓ Historical or Archaelogical Interest $\ensuremath{\overline{\hspace{1pt}\hspace{1pt}\hspace{1pt}}}$ Direct Association with Important Person or Event ✓ Outstanding Features/Interest ightharpoonup Illustrates Important Phase in Mississauga's Social or ✓ Significant Ecological Interest Physical Development Landmark Value





Cultural Landscape Inventory

Credit River Corridor

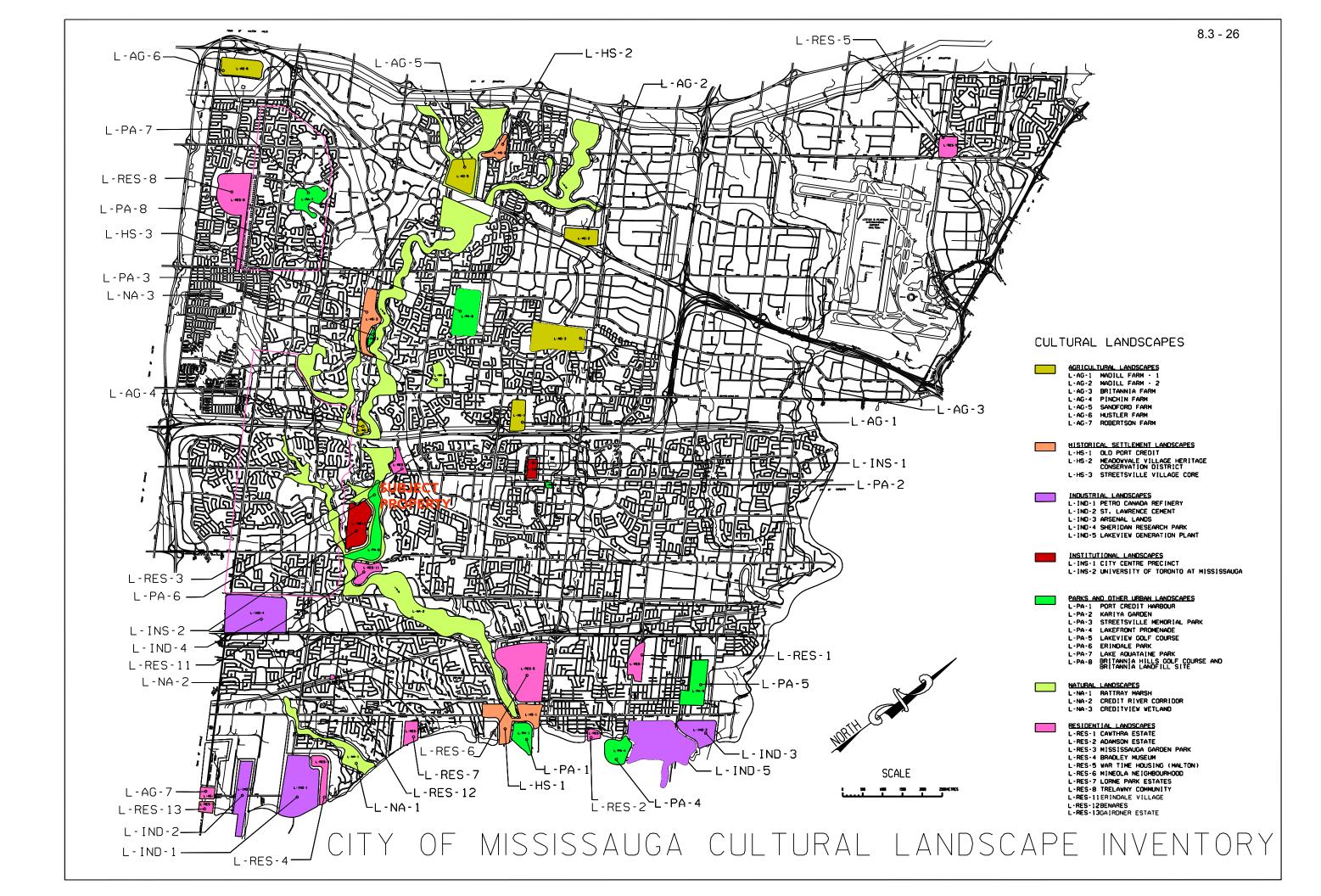
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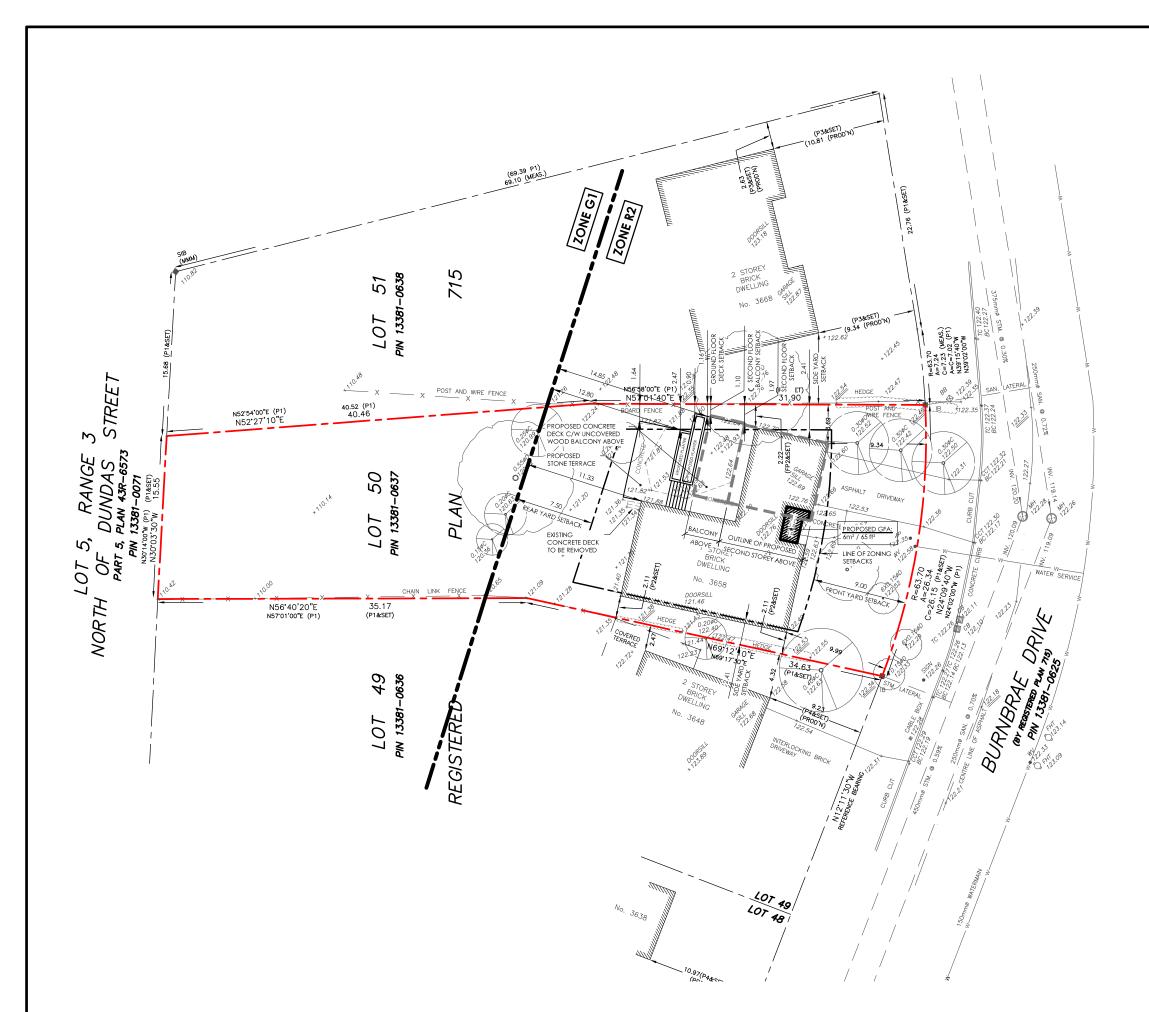
The Credit River is 58 miles long in total and has a drainage area of 328 square miles. From south of Georgetown to Erindale, the river cuts through the boulder till of the Peel Plain and in some areas exposes the underlying Paleozoic bedrock of shales and sandstones. The River flows through a wide alluvial terrace at Meadowvale where its banks are gentle and tree covered. As it approaches the old Shoreline of glacial Lake Iroquois at Erindale it cuts deeper and deeper into the Peel Plain creating steep valley walls in excess of 75 feet deep. In several locations, such as on the former Bird property north of Burnhamthorpe, intermediate benches were formed as the water levels of the glacial lakes receded. These benches and alluvial terraces provide wonderful natural and recreational settings for trails and other recreational activities. South of the Iroquois shoreline the River cuts through the sands and boulder till of the Iroquois Plain. The last mile of the river is drowned and marshy. The wave action of Lake Ontario continues in its efforts to build a bar across the mouth of the river which is periodically removed by dredging. Despite its size, the River has had significant impact on the settlement of the area. At one time, Erindale had a mill and for a short while a small hydroelectric generating station. At Streetsville, four flour mills operated some of which remain today as modern mills. Two sawmills and a carding mill were built in Meadowvale. The banks of the river continue to be developed for attractive residential neighborhoods, parks and special uses such as the University of Toronto Erindale campus. The river provides the residents of Mississauga with a variety of recreational and educational opportunities. The Credit River Valley is the most significant natural feature remaining in the City of Mississauga. (excerpts from The Physiography of Southern Ontario)







CITY OF MISSISSAUGA CULTURAL LANDSCAPE INVENTORY



APPENDIX C

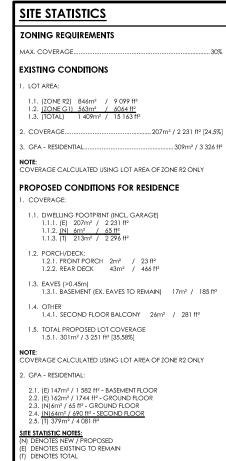
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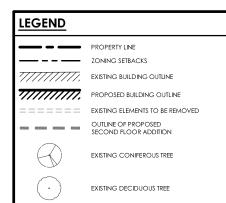
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REGISTERED PLAN 715 CITY OF MISSISSAUGA

TARASICK MCMILLAN KUBICKI LIMITED ONTARIO LAND SURVEYORS









DRAWINGS SHALL NOT BE SCALED. CONTRACTOR SHALL VERIFY ALL
DIMENSIONS, SPECIFICATIONS AND DRAWINGS ON SITE AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO PROCEEDING WITH ANY OF THE WORK.



02	19.04.09	ISSUED FOR ZONING REVIEW, REV 01
01	19.01.28	ISSUED FOR ZONING REVIEW
REF.	DATE	DESCRIPTION
V	'GA	van Groll & Associates Inc. 295 Robinson Street, Suite 300 Oakville, ON L6J 1G7 (905) 339-2811

03 19.04.25 ISSUED FOR COA

CLIENT:

JASON COLATOSTI

PROJECT:

COLATOSTI RESIDENCE

ADDRESS: 3658 BURNBRAE DRIVE MISSISSAUGA, ON L5C 2N7

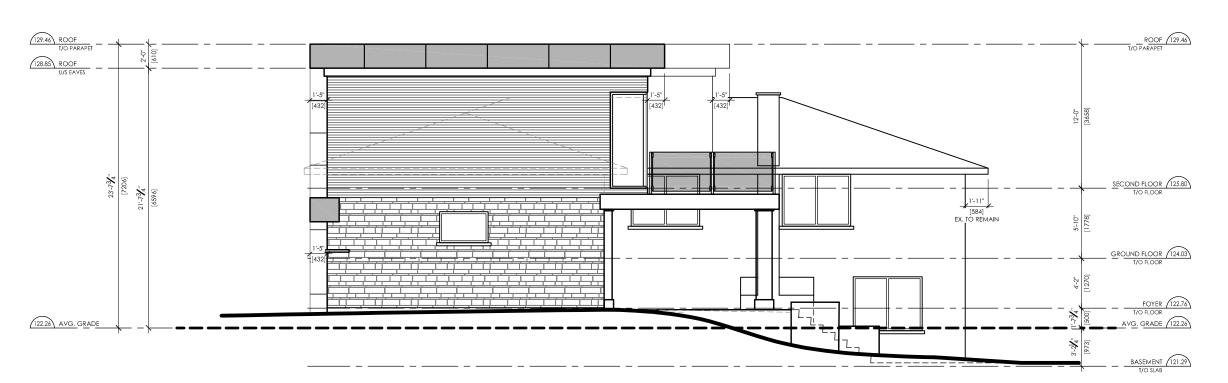
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SITE PLAN AND SITE STATISTICS

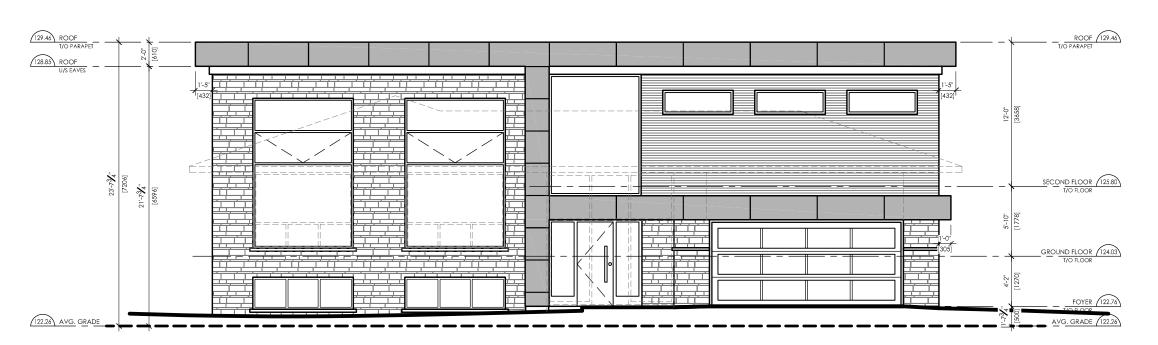
DATE: 2019.04.25 SCALE: 1" = 30'-0" JOB NUMBER:

DRAWN: C.H. / A.P. SHEET NUMBER:

18-168-03



NORTH ELEVATION



EAST ELEVATION

8.3 - 29 SEAL: SENO ASSOCIA S ARCHITECTS 2 ELROYVAN GROLL
LICENCE
4707

DRAWINGS SHALL NOT BE SCALED.
CONTRACTOR SHALL VERIFY ALL
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TRUE NORTH:



DRAWING NORTH:

 03
 19.04.25
 ISSUED FOR COA

 02
 19.04.09
 ISSUED FOR ZONING REVIEW, REV 01

 01
 19.01.28
 ISSUED FOR ZONING REVIEW

REF. DATE DESCRIPTION



JASON COLATOSTI

PROJECT:

COLATOSTI RESIDENCE

ADDRESS: 3658 BURNBRAE DRIVE MISSISSAUGA, ON L5C 2N7

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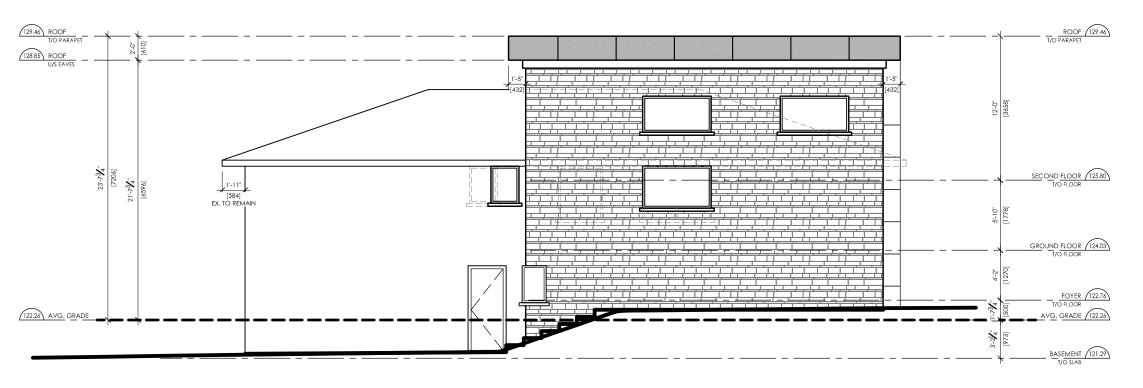
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DATE: 2019.04.25 SCALE: 1/8" = 1'-0"

JOB NUMBER:

DRAWN: C.H. / A.P. SHEET NUMBER:

18-168-03



SOUTH ELEVATION



WEST ELEVATION

8.3 - 30 ASSOCIA S ARCHITECTS 2 ELROYVAN GROLL
LICENCE
4707

DRAWINGS SHALL NOT BE SCALED.
CONTRACTOR SHALL VERIFY ALL
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PROCEEDING WITH ANY OF THE WORK.

SEAL:



DRAWING NORTH:

 03
 19.04.25
 ISSUED FOR COA

 02
 19.04.09
 ISSUED FOR ZONING REVIEW, REV 01

 01
 19.01.28
 ISSUED FOR ZONING REVIEW
 REF. DATE DESCRIPTION

JASON COLATOSTI

PROJECT:

COLATOSTI RESIDENCE

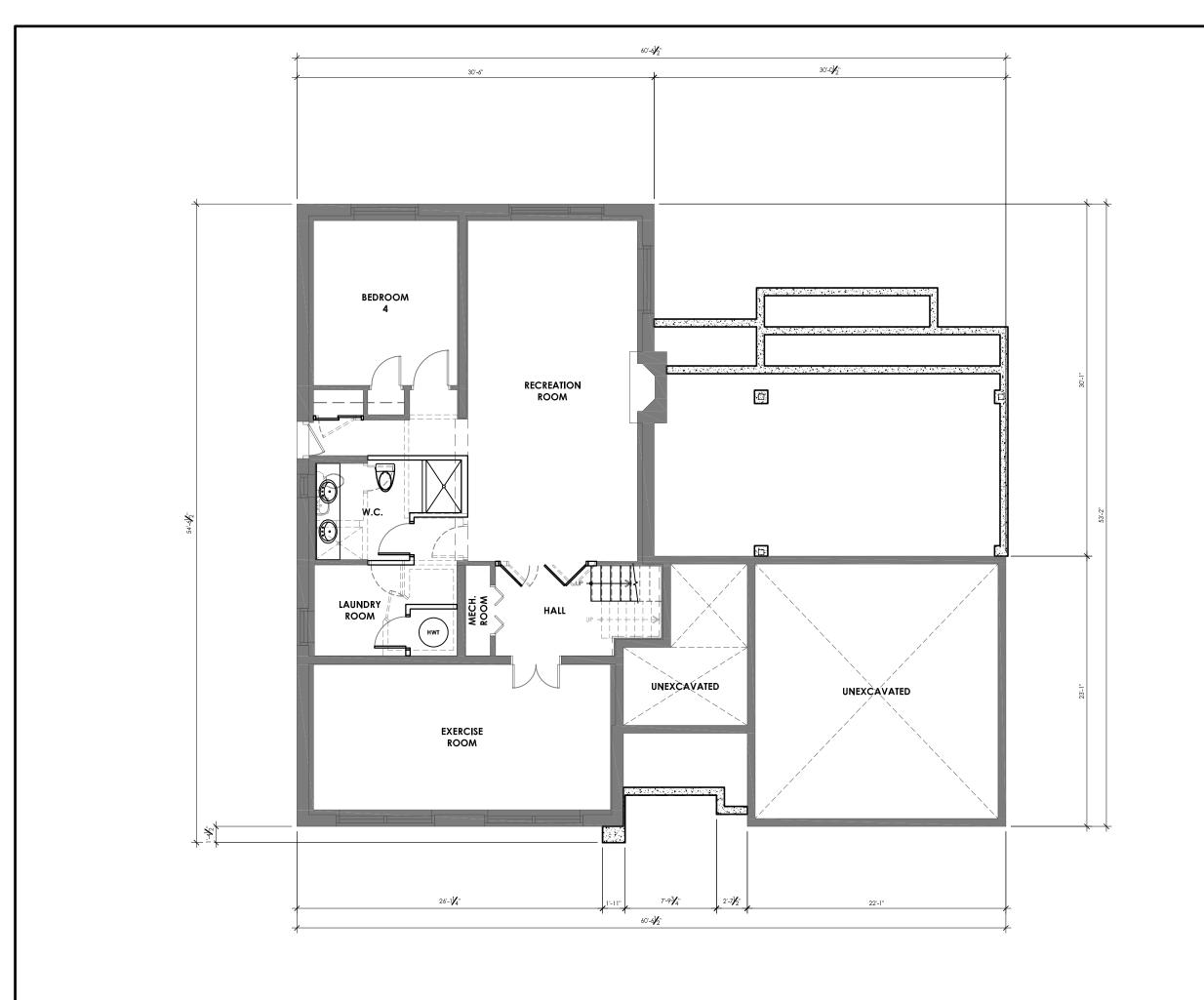
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BUILDING ELEVATIONS

DATE: 2019.04.25 SCALE: 1/8" = 1'-0"

DRAWN: C.H. / A.P. SHEET NUMBER:

JOB NUMBER: 18-168-03



8.3 - 31 NO ASSOC

& ARCHITECTS & ELROYVAN GROLL LICENCE 4707

DRAWINGS SHALL NOT BE SCALED.
CONTRACTOR SHALL VERIFY ALL
DIMENSIONS, SPECIFICATIONS AND
DRAWINGS ON SITE AND REPORT ANY
DISCREPANCIES TO THE ARCHITECT PRIOR TO
PROCEEDING WITH ANY OF THE WORK.



DRAWING NORTH:

 03
 19.04.25
 ISSUED FOR COA

 02
 19.04.09
 ISSUED FOR ZONING REVIEW, REV 01

 01
 19.01.28
 ISSUED FOR ZONING REVIEW

 REF.
 DATE
 DESCRIPTION



JASON COLATOSTI

PROJECT:

COLATOSTI RESIDENCE

ADDRESS: 3658 BURNBRAE DRIVE MISSISSAUGA, ON L5C 2N7

DRAWING TITLE:

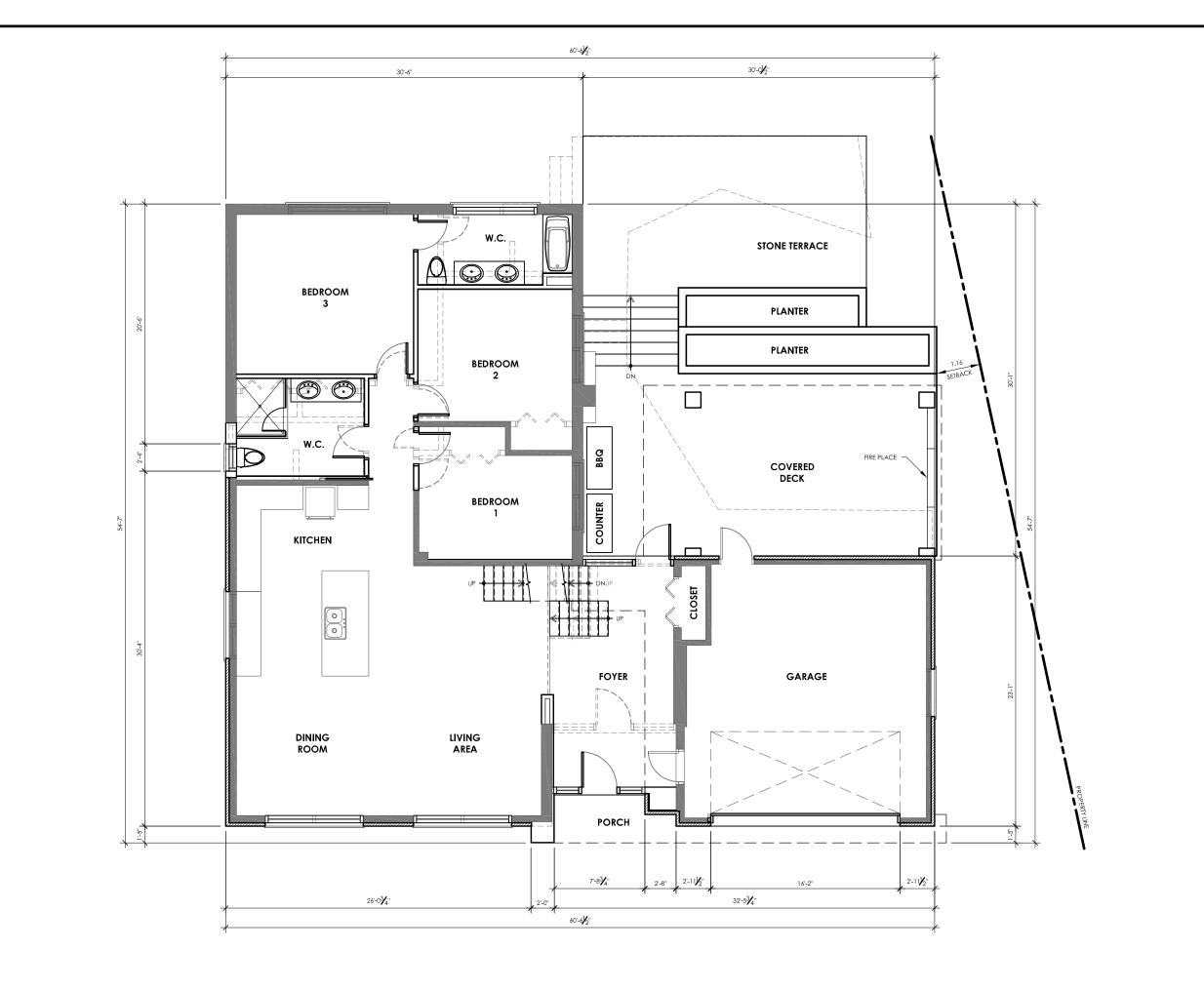
BASEMENT FLOOR PLAN

JOB NUMBER:

DATE: 2019.04.25

DRAWN: C.H. / A.P. SHEET NUMBER:

18-168-03



8.3 - 32 NEW ASSOCIA S ARCHITECTS 2 ELROYVAN GROLL
LICENCE
4707

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 DATE
 DESCRIPTION

JASON COLATOSTI

PROJECT:

COLATOSTI RESIDENCE

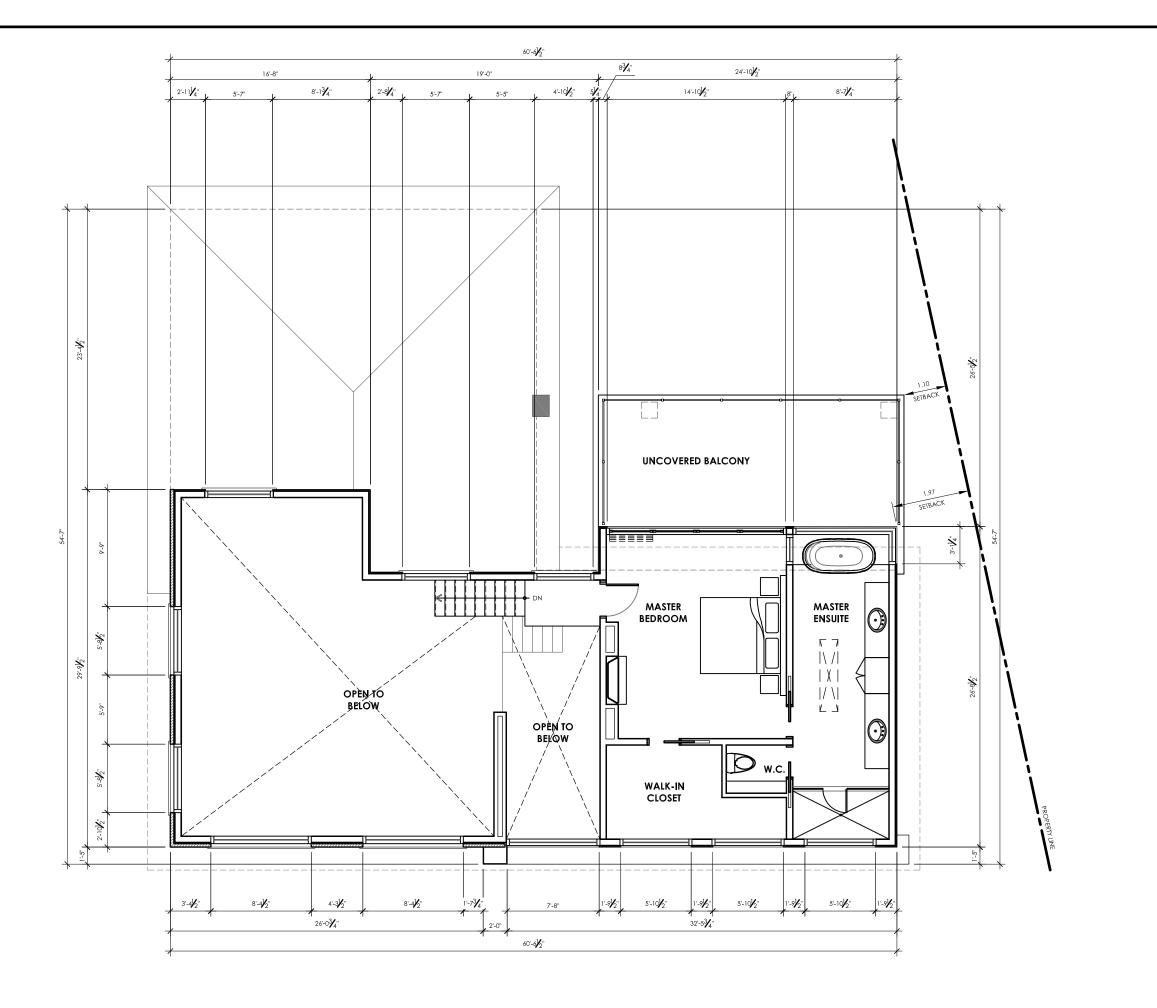
ADDRESS: 3658 BURNBRAE DRIVE MISSISSAUGA, ON L5C 2N7

GROUND FLOOR PLAN

JOB NUMBER:

DATE: 2019.04.25 SCALE: 1/8" = 1'-0" DRAWN: C.H. / A.P. SHEET NUMBER:

18-168-03



8.3 - 33 NO ASSOC & ARCHITECTS & ELROYVAN GROLL
LICENCE
4707

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DRAWING NORTH:

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 ISSUED FOR COA

 02
 19.04.09
 ISSUED FOR ZONING REVIEW, REV 01

 01
 19.01.28
 ISSUED FOR ZONING REVIEW

REF. DATE DESCRIPTION

JASON COLATOSTI

PROJECT:

COLATOSTI RESIDENCE

ADDRESS: 3658 BURNBRAE DRIVE MISSISSAUGA, ON L5C 2N7

DRAWING TITLE:

SECOND FLOOR PLAN

DATE: 2019.04.25 SCALE: 1/8" = 1'-0" DRAWN: C.H. / A.P. SHEET NUMBER:

JOB NUMBER:

A302 18-168-03

City of Mississauga

Memorandum



Date: 6/10/2019

To: Chair and Members of Heritage Advisory Committee

From: Paul Damaso, Director, Culture Division

Meeting Date: 2019/07/02

Subject: 2019 Designated Heritage Property Grant Program - Round One Approved

Grants

Please be advised the Designated Heritage Grant Working Group met on May 17, 2019 and reviewed 11 grant applications (Appendix 1) for the first round of this year's grant cycle. Nine applications were recommended by the Working Group and approved by the Director of the Culture Division as per by-law 0184-2007. All applicants have been notified.

As per Council's approval, the Designated Heritage Property Grant program now offers property owners multiple opportunities to apply for funding. This increases the opportunity for heritage grant applicants to utilize all of the allocated funding in a given year. Round one of 2019 was launched on February 15, 2019 and closed on March 22, 2019.

A total of \$50,699 in funding has been allocated in round one against a budget of \$75,000. The remainder of \$24,301 will be available to applicants for round two of the 2019 grant cycle. Round two will open on June 24, 2019 and close on July 12, 2019.

The Heritage Grant Working Group was formed by the Heritage Advisory Committee to review and make recommendations on the Designated Heritage Property Grant program. The working group consists of four members: Ward 5 Councillor Carolyn Parrish, Matthew Wilkinson, Lisa Small and Melissa Stolarz; their term will end on December 31, 2022.

Background

Council adopted the Heritage Grant By-law in May 2007 to provide grants to owners of heritage designated properties. The program assists heritage designated property owners with financial assistance from a minimum of \$500 to a maximum of \$5,000 in matching funds for conservation projects, and up to \$10,000 for structural projects. Properties must be designated under the *Ontario Heritage Act*, and the work proposed must be a restoration or reconstruction of original architectural elements.

Should you have any questions about this grant program, please contact Andrew Douglas, Grants Coordinator at 905-615-3200, ext. 5476.

Attachments

Appendix 1: List of Approved Grant Applications

Paul Damaso, Director, Culture Division

Prepared by: Andrew Douglas, Grants Coordinator

Approved Applications									
Number	Address	Applicant	Project	Max. Gran Amount	nt				
1	32 Front Street	Louie Manzo	Re-painting	\$!	5,000				
2	1009 Old Derry Road	Joane Redhead	Removing and replacing cedar shakes	\$1	.0,000				
3	1234 Old River Road	Melissa Battey-Pratt	Restore seven wood windows and install 12 storm windows	\$!	5,000				
4	7057 Pond Street	Susy Picco	Replacement of doors, window sills, backbands and brickmold.	\$	3,133				
5	223 Queen Street South	Lorenzo Cacciacarro	Restoration of upper front balcony	\$!	5,000				
6	292 Queen Street South	Gino Bonaccorso	Replacement of eaves troughs and fascia board	\$ <i>-</i>	4,006				
7	259 Queen Street South	Gregory Tyrala	Restoration of 2 front entrance doors	\$ <i>,</i>	54,238				
8	1173 Queen Victoria Avenue	Keith Davey	Tuck pointing of three brick chimneys	\$ <i>-</i>	54,322				
9	1155 Willow Lane	Edik Baibachaev	Restoration of the foundation	\$1	.0,000				
				Total \$ 50,69	99.00				

Not Funded							
Number	Address	Rational		Max. Gra Amount			
			•	Amount			
1	1011 Old Derry Road	Funding has been allocated to this project but not used on two previous occasions					
2	7235 Second Line West	The application contained elements which were ineligible for funding. The property owners were directed to speak with heritage staff to develop a conservation plan prior to applying for funding					
			Total	\$	-		