
Heritage Advisory Committee

Date

2019/05/07

Time

9:30 AM

Location

Civic Centre, Council Chamber,
300 City Centre Drive, Mississauga, Ontario, L5B 3C1

Members

Councillor George Carlson, Ward 11 (Chair)
David Cook, Citizen Member (Vice-Chair)
Councillor Carolyn Parrish, Ward 5
Michael Battaglia, Citizen Member
Alexander Hardy, Citizen Member
James Holmes, Citizen Member
Rick Mateljan, Citizen Member
Lisa Small, Citizen Member
Jamie Stevens, Citizen Member
Melissa Stolarz, Citizen Member
Terry Ward, Citizen Member
Matthew N. Wilkinson, Citizen Member
Adrian Zita-Bennett, Citizen Member

Contact

Megan Piercey, Legislative Coordinator, Legislative Services
905-615-3200 ext. 4915
megan.piercey@mississauga.ca

NOTE: To support corporate waste reduction efforts the large
appendices in this agenda can be viewed at:
<http://www.mississauga.ca/portal/cityhall/heritageadvisory.ca>

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-
1. CALL TO ORDER
 2. APPROVAL OF AGENDA
 3. DECLARATION OF CONFLICT OF INTEREST
 4. MINUTES OF PREVIOUS MEETING
 - 4.1. Heritage Advisory Committee Minutes - April 2, 2019
 5. DEPUTATIONS - Nil
 6. PUBLIC QUESTION PERIOD - 15 Minute Limit (5 Minutes per Speaker)

Pursuant to Section 42 of the Council Procedure By-law 0139-2013, as amended the Heritage Advisory Committee may grant permission to a member of the public to ask a question of the Committee with the following provisions:

 1. The question must pertain to a specific item on the current agenda and the speaker will state which item the question is related.
 2. A person asking a question shall limit any background explanation to two (2) statements, followed by the question.
 3. The total speaking time shall be five (5) minutes maximum per speaker.
 7. MATTERS TO BE CONSIDERED
 - 7.1. Request to Alter a Heritage Designated Property: 36 Lake Street (Ward 1)
 - 7.2. Request to Alter a Heritage Designated Property: 58 Lake Street (Ward 1)
 - 7.3. Request to Alter a Heritage Designated Property: 26 Bay Street (Ward 1)
 - 7.4. Request to Demolish a Heritage Listed Property: 3131 Merritt Avenue (Ward 5)
 - 7.5. 2019 Ontario Heritage Conference – May 30 to June 1, 2019
 - 7.6. Heritage Designation Working Group
 8. INFORMATION ITEMS
 - 8.1. 3650 Dixie Road (Ward 3)
 - 8.2. New Rear Addition to a Listed Property: 943 Whittier Cres.
 - 8.3. New Heritage Designation Plaque Design
 9. OTHER BUSINESS

-
10. DATE OF NEXT MEETING – June 4, 2019
 11. ADJOURNMENT

City of Mississauga

Minutes



Heritage Advisory Committee

Date

2019/04/02

Time

9:32 AM

Location

Civic Centre, Council Chamber,
300 City Centre Drive, Mississauga, Ontario, L5B 3C1

Members Present

Councillor George Carlson, Ward 11 **(Chair)**

David Cook, Citizen Member **(Vice-Chair)**

Councillor Carolyn Parrish, Ward 5

Alexander Hardy, Citizen Member

Lisa Small, Citizen Member

Jamie Stevens, Citizen Member

Melissa Stolarz, Citizen Member

Terry Ward, Citizen Member

Matthew N. Wilkinson, Citizen Member

Adrian Zita-Bennett, Citizen Member

Members Absent

Michael Battaglia, Citizen Member

James Holmes, Citizen Member

Rick Mateljan, Citizen Member

Staff Present

Michael Tunney, Manager, Culture and Heritage Planning

John Dunlop, Supervisor, Heritage Planning

Paula Wubbenhorst, Heritage Planner, Culture Division

Brooke Herczeg, Heritage Analyst, Heritage Planning

Megan Piercey, Legislative Coordinator, Legislative Services

Find it online

<http://www.mississauga.ca/portal/cityhall/heritageadvisory>

1. CALL TO ORDER – 9:32 AM

1.1. Appointment of Chair

Megan Piercey, Legislative Coordinator, called the meeting to order and called for nominations for appointment to the office of the Chair for Heritage Advisory Committee for the term ending November 14, 2022. Councillor Parrish nominated Councillor George Carlson. No further nominations were received.

RECOMMENDATION

HAC-0022-2019

That Councillor George Carlson be appointed Chair of the Heritage Advisory Committee for the term ending November 14, 2022, or until a successor is appointed.

Approved (Councillor Parrish)

At this point, Councillor Carlson took over as Chair.

1.2. Appointment of Vice-Chair

Councillor Carlson called for nominations for appointment to the office of the Vice-Chair for the Heritage Advisory Committee for the term ending November 14, 2022. Councillor Parrish nominated David Cook, Citizen Member, for appointment. No further nominations were received.

RECOMMENDATION

HAC-0023-2019

That David Cook be appointed Vice-Chair of the Heritage Advisory Committee for the term ending November 14, 2022, or until a successor is appointed.

Approved (Councillor Parrish)

2. APPROVAL OF AGENDA

Approved (D. Cook)

3. DECLARATION OF CONFLICT OF INTEREST – Nil

4. MINUTES OF PREVIOUS MEETING

4.1. Heritage Advisory Committee Minutes - March 5, 2019

Approved (Councillor Parrish)

5. DEPUTATIONS

5.1. Andrew Douglas, Grants Officer, Culture Division, in regards to appointments to the Designated Heritage Property Grant Assessment Panel

Mr. Douglas advised that approximately three members of the Heritage Advisory

Committee were required for the Designated Heritage Property Grant Assessment Panel for the term ending November 2022. Mr. Douglas noted that The Panel reviews all Heritage grant applications and makes recommendations based on the criteria of the Heritage Property Grant Program. Councillor Parrish, Lisa Small, Melissa Stolarz and Matthew Wilkinson volunteered to serve on the Panel.

RECOMMENDATION

HAC-0024-2019

That Councillor Carolyn Parrish, Lisa Small, Melissa Stolarz and Matthew Wilkinson, Members of the Heritage Advisory Committee, be appointed to serve on the Designated Heritage Property Grant Assessment Panel for the term ending November 14, 2022, or until a successor is appointed.

Approved (Councillor Parrish)

6. PUBLIC QUESTION PERIOD - Nil

No members of the public requested to speak.

7. MATTERS TO BE CONSIDERED

7.1. Upcoming Changes to the Designated Heritage Property Grant Program

John Dunlop, Supervisor, Heritage Planning, provided a brief summary of the report and advised the committee that the recommended changes to the Heritage Property Grant Program would make the process more efficient and more accessible. The committee noted support for the recommendation.

RECOMMENDATION

HAC-0025-2019

1. That the Corporate Report entitled "Upcoming Changes to the Designated Heritage Property Grant Program" dated March 12th, 2019, from the Commissioner of Community Services, be approved.
2. That the Designated Heritage Property Grant Program allow for multiple application intakes within a given year.
3. That the Designated Heritage Property Grant Program be expanded to include a third-tier of available grants funding to a maximum of \$25,000 as a three-year pilot program.

Approved (D. Cook)

7.2. Request to Demolish a Heritage Listed Property: 70 Mississauga Road South (Ward 1)

David Cook, Citizen Member, inquired about the address of the property and John Dunlop, Supervisor, Heritage Planning, advised that 70 Mississauga Road South is the legal address of this property.

RECOMMENDATION

HAC-0026-2019

That the property at 70 Mississauga Road South, which is currently under development application with the City of Mississauga. The small garage, (former fire station) located on the property is not worthy of heritage designation, and consequently, that the owner's request to demolish proceed through the applicable process, as per the Corporate Report from the Commissioner of Community Services dated March 19, 2019.

Approved (D. Cook)7.3. Request to Demolish a Heritage Listed Property: 2375 Mississauga Road (Ward 8)

David Cook, Citizen Member, noted that this property will be coming to the Committee of Adjustments on April 4, 2019 for approval of a minor variance application.

RECOMMENDATION

HAC-0027-2019

That the property at 2375 Mississauga Road, which is listed on the City's Heritage Register, is not worthy of heritage designation, and consequently, that the owner's request to demolish proceed through the applicable process, as per the Corporate Report from the Commissioner of Community Services dated March 19, 2019.

Approved (M. Wilkinson)8. INFORMATION ITEMS8.1. Alteration to a Listed Property: 3119 Churchill Ave (Ward 5)

Councillor Parrish provided a brief explanation of the regulations that have been put in place to preserve the look of this neighbourhood. Councillor Parrish noted support for the alteration.

RECOMMENDATION

HAC-0028-2019

That the Memorandum dated March 19, 2019 from Paul Damaso, Director, Culture Division entitled Alteration to a Listed Property: 3119 Churchill Ave (Ward 5), be received.

Received (Councillor Parrish)8.2. Alteration to a Listed Property: 7153 Lancaster Ave (Ward 5)

No discussion took place regarding this item. Committee Members noted receipt of this item at the same time as item 8.3.

RECOMMENDATION

HAC-0029-2019

That the Memorandum dated March 19, 2019 from Paul Damaso, Director, Culture Division entitled Alteration to a Listed Property: 7153 Lancaster Ave (Ward 5), be received.

Received (Councillor Parrish)

8.3. New Construction Adjacent to a Designated Property: 6650 Hurontario Street (Ward 5)

Steve Wolowich, Pattison Outdoor Advertising, advised the committee that the sign would have a digital display and noted that the front of the sign would not be visible from the streets. Mr. Wolowich noted that the property owners are supportive of the new signage.

RECOMMENDATION

HAC-0030-2019

That the Memorandum dated March 19, 2019 from Paul Damaso, Director, Culture Division entitled New Construction Adjacent to a Designated Property: 6650 Hurontario Street (Ward 5), be received.

Received (Councillor Parrish)

8.4. Alteration to a Listed Property: 2300 Speakman Drive (Ward 2)

Alexander Hardy, Citizen Member inquired if the City of Mississauga had a tree by-law. Paula Wubbenhorst, Heritage Planner, advised that the City of Mississauga does have a tree by-law and that tree replacement would be controlled through the site plan process.

RECOMMENDATION

HAC-0031-2019

That the Memorandum dated March 19, 2019 from Paul Damaso, Director, Culture Division entitled Alteration to a Listed Property: 2300 Speakman Drive (Ward 2), be received.

Received (M. Stolarz)

9. OTHER BUSINESS – Nil

10. DATE OF NEXT MEETING – May 7, 2019

11. ADJOURNMENT - 11:09 AM (M. Wilkinson)

City of Mississauga

Corporate Report



Date: 2019/04/16

To: Chair and Members of Heritage Advisory Committee

From: Paul Mitcham, P. Eng, MBA, Commissioner of
Community Services

Originator's files:

Meeting date:
2019/05/07

Subject

Request to Alter a Heritage Designated Property: 36 Lake Street (Ward 1)

Recommendation

That the request to alter the heritage designated property at 36 Lake Street, as per the Corporate Report from Community Services, dated April 16, 2019, be approved.

Background

The City designated the Old Port Credit Village Heritage Conservation District (HCD) under Part V of the Ontario Heritage Act in 2004. The 2004 plan remains in effect due to a Local Planning Appeal Tribunal (LPAT) appeal. The subject property is included in the district and identified as a "historic" building in the plan. As such, the property is subject to the heritage permitting requirements outlined in the plan for this classification.

The owner of the property proposes a second storey addition over the existing rear addition and modifications to the house. The supporting Heritage Impact Assessment, which includes the proposal, is attached as Appendix 1.

Comments

The proposed additional built form is mainly to the rear. Additional/modified built form is proposed in other areas but, the overall shape and form of the original house would remain. The front shed dormer would be wider and modifications are proposed to the enclosed front porch to increase natural light and simultaneously pay homage to the original three bay open air veranda. New windows would be "Arts & Crafts Cottage style" to distinguish from existing. The proposal includes restoration of original detailing and the return to wood rather than vinyl siding. The proposal complies with the policies of HCD plan and should therefore be approved.

Section 3.1.6 of the Old Port Credit Village Heritage Conservation District Plan (2004) requires that variances be reviewed by the City's Heritage Advisory Committee. See Appendix 2 for information on current proposed variances.

Financial Impact

There is no financial impact resulting from the recommendation in this report.

Conclusion

The owner of the subject property proposes an addition and alterations to the existing house. The proposal complies with the HCD plan and should therefore be approved.

Attachments

Appendix 1: Heritage Impact Assessment

Appendix 2: "A" 166/19



Paul Mitcham, P. Eng, MBA, Commissioner of Community Services

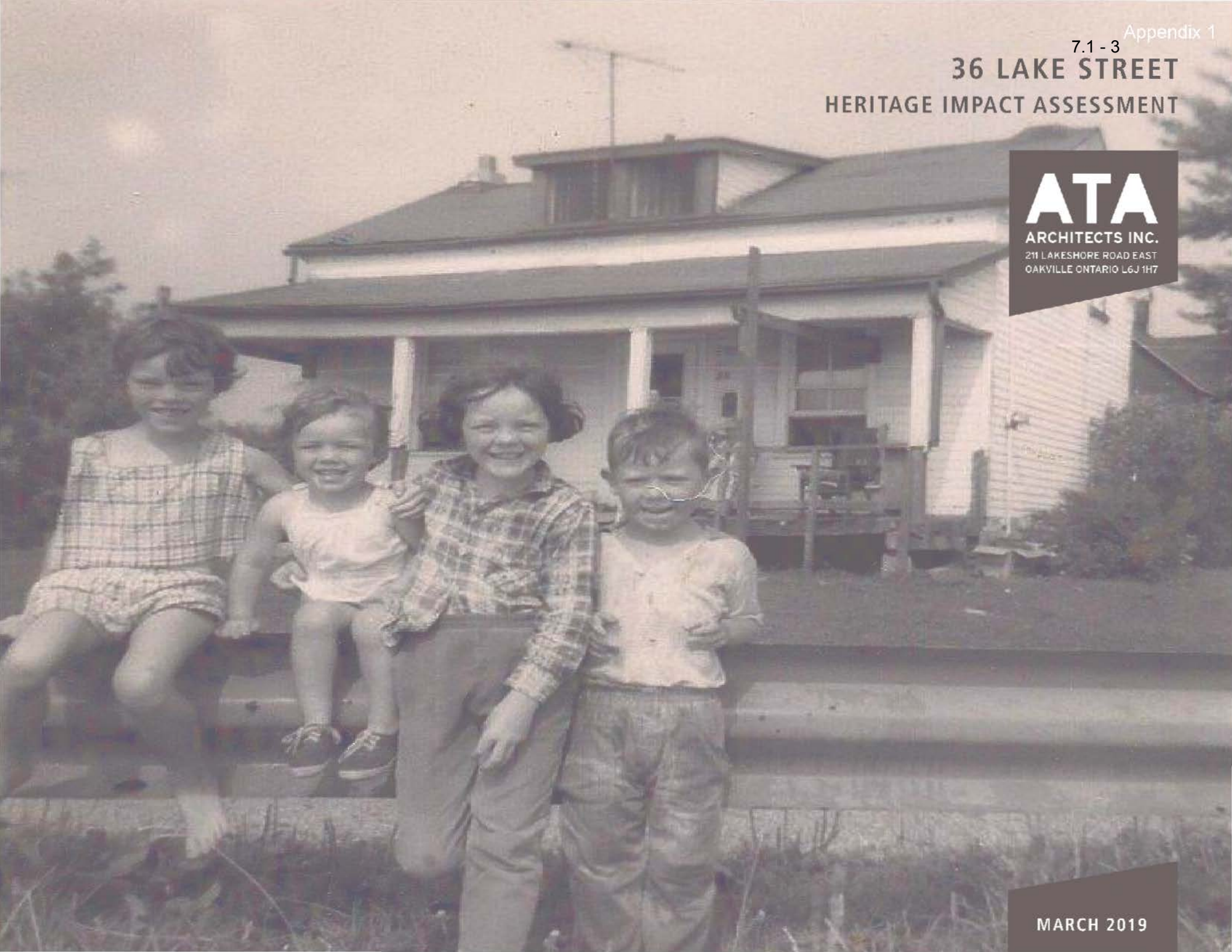
Prepared by: P. Wubbenhorst, Heritage Planner

36 LAKE STREET HERITAGE IMPACT ASSESSMENT

ATA

ARCHITECTS INC.

211 LAKESHORE ROAD EAST
OAKVILLE ONTARIO L6J 1H7



MARCH 2019



West elevation of 36 Lake Street

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INTRODUCTION

ATA Architects Inc was retained to undertake a Heritage Impact Assessment of the property listed as 36 Lake St, Mississauga, ON in regards to a proposal to retain the residence, modifying the current second floor to create a habitable living space and to build a second storey addition on the rear.

The building at 36 Lake St is listed on the Municipal Register for Mississauga. To date it has been designated under the Ontario Heritage Act Part V - Heritage Conservation Districts.

ATA Architects Inc. undertook the following process in completing this assessment:

- Inspection of current site and photographic documentation of existing conditions.
- Obtain background information from the
 - City of Mississauga Online Property Information website
 - Terranet and the Peel Region Land Registry Office
 - PAMA archives
 - Mississauga Public Library, Port Credit Branch

This report will address the requirements under the City policy 7.4.1.12 of the Mississauga Official Plan, Part Two: City Wide Policies, Chapter 7 as follows:

- a detailed site history to include a listing of owners from the Land Registry Office, and a history of the site use(s). However, please note that due to the Freedom of Information and Protection of Privacy Act, current property owner information must not be included. As such, Heritage Planning will request that current property owner personal information be redacted to ensure the reports comply with the Act.
- a complete listing and full written description of all existing structures, natural or man-made, on the property. Specific mention must be made of all the heritage resources on the subject property which include, but are not limited to: structures, buildings, building elements (like fences and gates), building materials, architectural and interior finishes, natural heritage elements, landscaping, and archaeological resources. The description will also include a chronological history of the structure(s) developments, such as additions, removals, conversions, alterations, etc.



INTRODUCTION

The report will include a clear statement of the conclusions regarding the significance and heritage attributes of the cultural heritage resource.

A location map must be provided, with indications of existing land use, zoning, as well as the zoning and land use of adjacent properties.

- (iii) Documentation of the heritage resource will include current legible photographs, from each elevation, and/or measured drawings, floor plans, and a site map, at an appropriate scale for the given application (i.e. site plan as opposed to subdivision), indicating the context in which the heritage resource is situated. Also to include historical photos, drawings, or other archival material that may be available or relevant. For buildings, internal and external photographs and floor plans are also required. Please note that due to the Freedom of Information and Protection of Privacy Act, photographs should not contain people or highlight personal possessions. The purpose of the photographs is to capture architectural features and building materials.

The applicant must provide a description of all relevant municipal or agency requirements which will be applied to the subject property, and when implemented my supplement, supercede, and/or affect the conservation of heritage resources (i.e. Building Code requirements, Zoning requirements, Transportation and Works requirements.)

- (iv) An outline of the proposed development, its context and how it will impact the heritage resource and neighbouring properties will be provided. This may include such issues as the pattern of lots, roadways, setbacks, massing, relationship to natural and built heritage features, recommended building materials, etc. The outline should address the influence of the development on the setting, character and use of lands on the subject property and adjacent lands.

Note: An architectural drawing indicating the subject property streetscape with properties to either side of the subject lands must be provided. The purpose of this drawing is to provide a schematic view of how the new construction is oriented and integrates with the

surrounding streetscape. The drawing should show the subject property and the adjacent properties on both sides of the street. The drawing should also show the proposed development and how it relates to the surrounding streetscape. The drawing should be a schematic view of how the new construction is oriented and integrates with the surrounding streetscape.

- ☐☐☐ The drawing should show the subject property and the adjacent properties on both sides of the street. The drawing should also show the proposed development and how it relates to the surrounding streetscape. The drawing should be a schematic view of how the new construction is oriented and integrates with the surrounding streetscape.

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INTRODUCTION

and Guidelines for the Conservation of Historic Places in Canada; Eight Guiding Principles in the Conservation of Historic Properties, Ontario Ministry of Culture. (Both publications are available online)

- (viii) Proposed demolition/alterations must be explained as to the loss of cultural heritage value interests in the site and the impact on the streetscape and sense of place.
- (ix) When a property cannot be conserved, alternatives will be considered for salvage mitigation. Only when other options can be demonstrated not to be viable will options such as relocation, ruinfication, or symbolic conservation be considered.

Relocation of a heritage resource may indicate a move within or beyond the subject property. The appropriate context of the resource must be considered in relocation. Ruinfication allows for the exterior only of a structure to be maintained on a site. Symbolic conservation refers to the recovery of unique heritage resources and incorporating those components into new development, or using a symbolic design method to depict a theme or remembrance of the past.

All recommendations shall be as specific as possible indicating the exact location of the preferred option, site plan, building elevations, materials, landscaping, and any impact on neighbouring properties, if relevant.

ONTARIO HERITAGE ACT

ONTARIO HERITAGE ACT ONTARIO REGULATION 9/06 CRITERIA FOR DETERMINING CULTURAL HERITAGE VALUE OR INTEREST

CRITERIA

1. (1) The criteria set out in subsection (2) are prescribed for the purposes of clause 29 (1) (a) of the Act. O. Reg. 9/06, s.1(1).
- (2) A property may be designated under section 29 of the Act if it meets one or more of the following criteria for determining whether it is of cultural heritage value or interest:
 1. The property has design value or physical value because it,
 - i. is a rare, unique, representative or early example of a style, type, expression, material or construction method,
 - ii. displays a high degree of craftsmanship or artistic merit, or
 - iii. demonstrates a high degree of technical or scientific achievement.
 2. The property has historical value or associative value because it,
 - i. has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community,
 - ii. yields, or has the potential to yield, information that contributes to an understanding of a community or culture,
 - or
 - iii. demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.
 3. The property has contextual value because it,
 - i. is important in defining, maintaining or supporting the character of an area,
 - ii. is physically, functionally, visually or historically linked to its surroundings, or
 - iii. is a landmark. O. Reg. 9/06, s. 1 (2).

TRANSITION

2. This Regulation does not apply in respect to a property if notice of intention to designate it was given under subsection 29 (1.1) of the Act on or before January 24, 2006. O. Reg. 9/06, s. 2.

NOTE: The designation of properties of heritage value by municipalities in Ontario is based on the above criteria evaluated in the context of that municipality's jurisdiction. Buildings need not be of provincial or national importance to be worthy of designation and preservation.

LOCATION



Areal view of 36 Lake Street, Mississauga.
Source: Google Maps

36 Lake Street is located in the City of Mississauga to the West of John Street and North of Lake St. The property is located in a predominantly residential area.

HISTORY OF PORT CREDIT

Port Credit has a long history of habitation which can be traced back long before the arrival of non-native settlers. Archaeological evidence suggests that the native people were attracted to the Credit River Valley over thousands of years, and by the 1700's an Ojibwa group known as Mississaugas had settled around the mouth of Credit River.

Credit River derived its name from French fur traders in the 1720s. These traders allowed the Mississaugas to trade on credit since they were known to have exchanged goods with them.

In 1824 the village of Port Credit was surveyed, and the town site was laid out on the west side of Credit River. This was the first organized planning in the Port Credit. Part of this surveyed region now forms part of the Old Port Credit Village Heritage Conservation District. Furthermore, Old Port Credit Village is directly south of the Lakeshore Road Corridor, which was considered as a major access for modes of transportation.

Over the years Port Credit grew and developed. Directly west from Old Port Credit Village used to house an oil refinery plant, which is now a vacant brownfield site. According to aerial photographs, some sitework has commenced in this vacant lot around 2017 to 2018. A port was also developed, which is currently being used mostly as a marina and charter fishing centre.

J. C. Saddington Park was later made south of Port Credit in addition to the Harbor Marina due to new developments.

In 1961 Port Credit was officially considered a town, and in 1974 merged into the City of Mississauga.



Tremaine Map, County of Peel, 1859

Source: <http://maps.library.utoronto.ca/cgi-bin/files.pl?idnum=1031>

ZONING



Zoning map of 36 Lake St, Mississauga.

Source: City of Mississauga Zoning By-law Interactive Mapping - <http://mississauga.maps.arcgis.com/apps/Viewer/index.html?appid=eed5d7f2a921496baaaacb231b040fe7>

ZONING

The adjacent zoning map from the City of Mississauga's website indicates the property at 36 Lake St is zoned as R15-1 Detached Dwellings - Port Credit. The following page provides the current zoning information for the site.

The properties neighbouring the site on the same block are all zoned as R15-1. The R15 zone's permitted use is Detached Residential Dwelling.

Properties West from the site's block is also designated as R15-1. The properties to the North and East from the site's block have multiple designations within their block. The North block contains R15-1, R15-3, and R15-4 properties, while the East have R15-1 and RA2-32 zones.

R15-3 properties have an additional Permitted Use as a Duplex in addition to Detached Dwelling. R15-4 properties have Private Club as an alternative Permitted Use.

RA1 to RA5 zones have the following Permitted Uses:

- Residential - Apartment
- Residential - Long-Term Care Building
- Residential - Retirement Building

RA2-32 areas has an additional regulation in addition to several exceptions to the City's Part 4 - Residential Zones such as:

- 23 maximum number of dwelling units
- Minimum floor space index - apartment zone as 0.7 rather than 0.5
- Maximum floor space index - apartment zone of 1.0
- Maximum height as 6 storeys compared to 8 storeys

South from the Site is an OS2 designated zone. The OS2 zones are Open Space - City Park areas and Permitted Uses on the site are:

- Passive Recreational Use
- Active Recreational Use
- Stormwater Management Facility

Currently occupying the South region from the site is JC Saddington Park.

ZONING

4.6 R15 ZONE (DETACHED DWELLINGS - PORT CREDIT)

4.6.1 R15 Permitted Uses and Zone Regulations

All **buildings** and **structures** shall comply with the provisions contained in Parts 1 to 3 and Section 4.1 of this By-law, and the **uses** and zone regulations specified within the applicable zone column contained in Table 4.6.1 - R15 Permitted Uses and Zone Regulations.

Table 4.6.1 - R15 Permitted Uses and Zone Regulations

Column	A	B
Line 1.0	ZONES	R15
PERMITTED USES		
2.0	RESIDENTIAL	
2.1	Detached Dwelling	✓ ⁽¹⁾
ZONE REGULATIONS•		
3.0	MINIMUM LOT AREA	460 m ²
4.0	MINIMUM LOT FRONTAGE	12.0 m
5.0	MAXIMUM LOT COVERAGE	40%
6.0	MINIMUM FRONT YARD	6.0 m ⁽²⁾
7.0	MINIMUM EXTERIOR SIDE YARD	4.5 m ⁽²⁾
8.0	MINIMUM INTERIOR SIDE YARD	
8.1	Detached dwelling with an attached garage	1.2 m ⁽²⁾
8.2	Detached dwelling without an attached garage	3.0 m on one side of the lot and 1.2 m on the other side ⁽²⁾
9.0	MINIMUM REAR YARD	7.5 m ⁽²⁾

10.0	MAXIMUM HEIGHT	
10.1	Maximum height (0171-2015/OMB Order 2016 April 04, 0193-2016/OMB Order 2017 May 30)	9.5 m
10.2	Maximum height: flat roof (0171-2015/OMB Order 2016 April 04)	7.5 m
10.3	Maximum height of eaves: from average grade to lower edge of eaves (0193-2016/OMB Order 2017 May 30)	6.4 m
11.0	MAXIMUM DWELLING UNIT DEPTH (0193-2016/OMB Order 2017 May 30)	20.0 m
12.0	ATTACHED GARAGE, PARKING AND DRIVEWAY (0193-2016/OMB Order 2017 May 30)	
12.1	Attached garage	Permitted ⁽³⁾
12.2	Minimum parking spaces	✓ ⁽⁴⁾⁽⁵⁾
12.3	Maximum driveway width	Lesser of 8.5 m or 50% of lot frontage ⁽⁴⁾
13.0	ACCESSORY BUILDINGS AND STRUCTURES (0193-2016/OMB Order 2017 May 30)	✓ ⁽⁶⁾

- NOTES: (1) See Subsections 4.1.1, 4.1.16 and 4.1.17 of this By-law.
 (2) See also Subsections 4.1.7 and 4.1.8 of this By-law.
 (3) See also Subsection 4.1.12 of this By-law.
 (4) See also Subsection 4.1.9 of this By-law.
 (5) See also Part 3 of this By-law.
 (6) See Subsection 4.1.2 of this By-law.

ZONING

4.6.2 R15 Exception Zones

Refer to Article 1.1.2.3 - Exception Zones and Exception Zone Schedules

4.6.2.1	Exception: R15-1	Map # 08	By-law: 0308-2011
In a R15-1 zone the permitted uses and applicable regulations shall be as specified for a R15 zone except that the following uses/regulations shall apply:			
Regulations			
4.6.2.1.1	The regulations of Line 5.0 contained in Table 4.6.1 of this By-law shall not apply		
4.6.2.1.2	Maximum gross floor area - infill residential	169 m ² plus 0.20 times the lot area to a maximum of 305 m ²	
4.6.2.1.3	Minimum landscaped area	40% of the lot area	
4.6.2.1.4	Minimum front yard	5.0 m	
4.6.2.1.5	Minimum interior and exterior side yards	3.0 m on one side of the lot and 1.2 m on the other side	
4.6.2.1.6	Maximum height - highest ridge: sloped roof	9.0 m and 2 storeys	
4.6.2.1.7	Maximum height of eaves: from average grade to lower edge of the eaves	6.8 m	
4.6.2.1.8	Flat roofs and mansard roofs shall not be permitted		
4.6.2.1.9	Maximum encroachment of a covered porch into a required front, exterior and interior side yard	1.8 m but not closer than 0.2 m to a lot line	
4.6.2.1.10	Minimum setback of a front garage face behind the front wall of a detached dwelling	3.0 m	

4.6.2.1.11	Maximum gross floor area of a detached garage	30 m ²
4.6.2.1.12	"Front Wall" means the exterior wall containing the door which is designed as the primary access point into the detached dwelling	
4.6.2.1.13	The provisions of By-law Number 0272-2004 made pursuant to the <i>Ontario Heritage Act</i> shall not apply so as to require any reconstruction, alteration and/or enlargement of any building or structure to replicate the exterior faces or the exterior wall features of the building or structure	

Zoning regulations for DRM - 472 from Zoning By-Law 2020.
Source: City of Burlington - <https://www.burlington.ca/en/zoning/exception-472.asp>

HISTORICAL BACKGROUND

Although the property cycled through various owners overtime, the Peer family had owned the property for the longest period, from January 16th, 1867 to November 20th, 1942, approximately 75 ¼ years. The family to own the property for the second longest period was the Johnsons, from August 16th, 1960 to December 17th, 2010, approximately 50 ¼ years.

James Peer was the father of Stephen L. Peer, and his major occupation was a sailor, which was common for most residents settling in Port Credit at the time. His wife was Emma Anderson of Lincolnshire, England, was a member of the Orange Lodge. James owned his own vessel called a "stone-hooker". According to an interview with Stephen L. Peer, his father James Peer had passed away in his thirty's but he could not accurately recall his age since Stephen was very young at the time.

According to historical records, it is possible that John Peer, the father of James Peer and grandfather of Stephen L. Peer, may have been one of the first settlers to Port Credit. The allotments of John, Philip and Jacob Peer were 200 acres each and Edward Peer's allotment was 200 acres including former grants.

The property was passed down to Stephen L. Peer, and later to John Charles (C.) Peer. During the winter months in 1900, a vessel named "The Augusta" ran ashore a mile and a half from Port Credit. John was one of the members of a rescue team and was awarded the Humane Society Medal and a medal for life-saving.

Included in the appendix are tables documenting the ownership of the land which consists of part of Lot 3 North Side of Lake Street West of Credit River and part of Lot 4 North Side of Lake Street West of Credit River, Plan/Concession 300.



Photograph taken with 36 Lake Street in the background, August 1964
Source: Mississauga Public Library, Port Credit Branch, local history records

CHARACTER CONTRIBUTING ELEMENTS

36 Lake Street is a modest vernacular cottage in the Old Port Credit Village Heritage Conservation District. Located at the corner of Lake Street and Front Street it occupies a strategic location overlooking the Port Credit Harbour and J.C. Saddington Park. The exterior of the house currently has horizontal vinyl siding, over what appears to be the original boarding, some of which has deteriorated where exposed at the stone foundation level. The foundation is rubblestone and the existing addition is on piers. The front porch has been enclosed over time and a brick chimney that existed at one time for a stove has been replaced more recently by a metal flue. Originally the house had two over two, windows which since have been largely replaced with one over one single hung windows. The two over two remain on the front façade.

The City of Mississauga has dated the construction of the house to sometime in the late 1840's. From the Mississauga Property Information page there is note of an 1843 plan of Lot 3 showing a single building located on the site though this was much closer to the corner of Lake and John Streets. By the time the 1910 fire insurance plan for the area was developed a house more closely matching the existing was located on the site. The house was plaqued by the City of Mississauga, identifying it as the Thomas Woods House construction circa 1848. Photos indicate the existing garage, located in the rear (north) yard was constructed in 1981.

The simple ½ storey form of the house with side gables and the roof sloping to the façade is the primary character contributing aspect of the house. The enclosed porch currently conceals the façade with its central door and symmetrical windows either side. Due to the building's proximity to Lake Street, access to the porch is not central but to the side, making access less obvious to the viewer. The result; however, creates a typical "cottage" look to the house, as many Ontario homes of this scale near the water (and elsewhere) have similar enclosed porches to maximize the use of the space and provide extended seasonal viewing of the waterfront.

Due to the application of the vinyl siding many of the wood details around the windows and at the top of the gable ends has been lost. Other than the building form there are no remaining details of craftsmanship or design that are distinctive. Because of the modest nature of the residence, the simple details and "rugged" interior of the half storey reflects the fact that there are not specific character contributing elements that distinguish the house architecturally from other similar homes/cottages. It is rather, the overall cottage ambiance (character), that reflects the early period of development in the harbour and the former Town of Port Credit, to be retained.



Photograph of City of Mississauga heritage plaque on 36 Lake Street.



Photograph of the garage to the north under construction, taken in 1981
Source: Mississauga Historic Image Gallery

PHOTOGRAPHS OF EXISTING
EXTERIOR PHOTOS - HOUSE



View of the house from the southwest on Lake Street: The south elevation is dominated by the enclosed porch. A central dormer is located in the roof.

PHOTOGRAPHS OF EXISTING
EXTERIOR PHOTOS - HOUSE



View of the house from the southeast corner at the intersection of Lake Street and John Street.

PHOTOGRAPHS OF EXISTING
EXTERIOR PHOTOS - HOUSE



View of the house from the yard on the west: The front of the house is a 1 1/2 storey section with a smaller one storey addition at the rear (north side). A strip of vertically oriented siding indicates where the original brick chimney was located.

PHOTOGRAPHS OF EXISTING
EXTERIOR PHOTOS - HOUSE



View of the house from the northeast along John Street: A double door garage is located behind the house to the north. Photos from the City of Mississauga's Historic Images Gallery indicate the garage was built in the 1980's.

PHOTOGRAPHS OF EXISTING
INTERIOR PHOTOS - BASEMENT

View looking west through the basement: The ground floor structure is wood framing, additional support has been provided by steel jacks and cinder block piers.

PHOTOGRAPHS OF EXISTING
INTERIOR PHOTOS - BASEMENT

View east through the basement: The stair case in the back leads to the kitchen of the ground floor.

PHOTOGRAPHS OF EXISTING
INTERIOR PHOTOS - BASEMENT

Steel jack supporting wood framing.

Photo of a stack of cinder blocks supporting the wood framing.

Access from the basement directly out to the west side yard.

PHOTOGRAPHS OF EXISTING
INTERIOR PHOTOS - GROUND FLOOR

Front room in the southwest corner of the house adjacent the entrance. Some of the original wood trim and mouldings are present around the windows and entry ways into other rooms.

PHOTOGRAPHS OF EXISTING
INTERIOR PHOTOS - GROUND FLOOR

View from the southwest room, through entry way is visible the corridor from the south entrance to the house and the staircase to the second floor.

View from the southwest room, through to the addition to the north.

PHOTOGRAPHS OF EXISTING
INTERIOR PHOTOS - GROUND FLOOR



Photos on this sheet are of a small room in the northwest corner of the 1 1/2 storey section of the house. This room is largely taken up by a brick hearth, a later renovation.



Wood stove connects to the new metal flu on the west side of the house.

PHOTOGRAPHS OF EXISTING
INTERIOR PHOTOS - GROUND FLOOR

1 storey section at the rear (north side) of the house. Photo is looking west, through the sliding door into the yard.

1 storey section at the rear (north side) of the house. Photo is looking east.

PHOTOGRAPHS OF EXISTING
INTERIOR PHOTOS - GROUND FLOOR

Photo of the kitchen in the north east corner of the 1 1/2 storey section of the house.

PHOTOGRAPHS OF EXISTING
INTERIOR PHOTOS - GROUND FLOOR



New kitchen millwork



Shallow pantry/cupboard, constructed from a former doorway to the rear of the house.

PHOTOGRAPHS OF EXISTING
INTERIOR PHOTOS - GROUND FLOOR



Photo taken in the enclosed porch on the south side of the house. Photo is looking west towards the entrance of the porch.



Photo taken in the enclosed porch on the south side of the house. Photo is looking east, windows are aluminum frames set between the wood columns.

PHOTOGRAPHS OF EXISTING
INTERIOR PHOTOS - GROUND FLOOR



Steep staircase from the kitchen to the basement.



Staircase to the basement is located directly below stairs to the second floor.

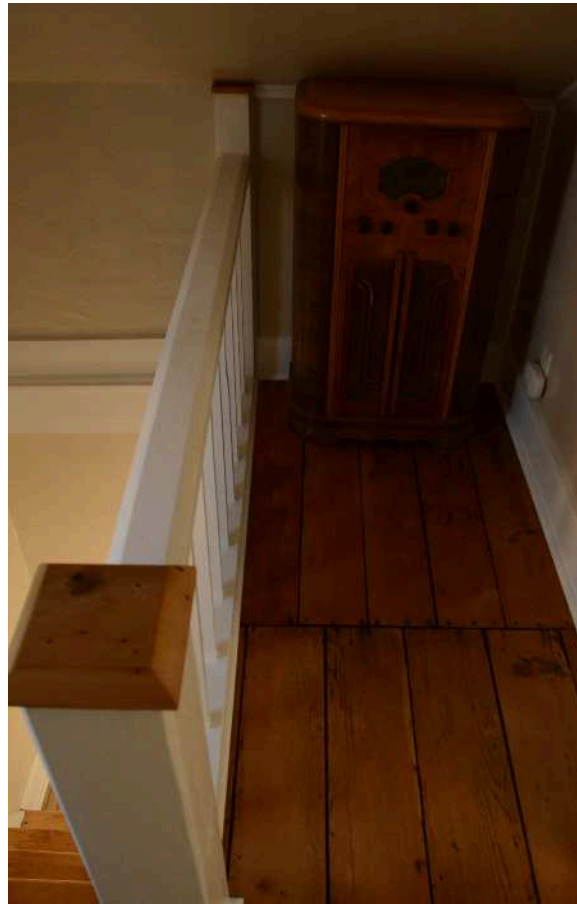


Staircase off of the entry way leading to the second floor. (Not OBC compliant - steep and narrow)

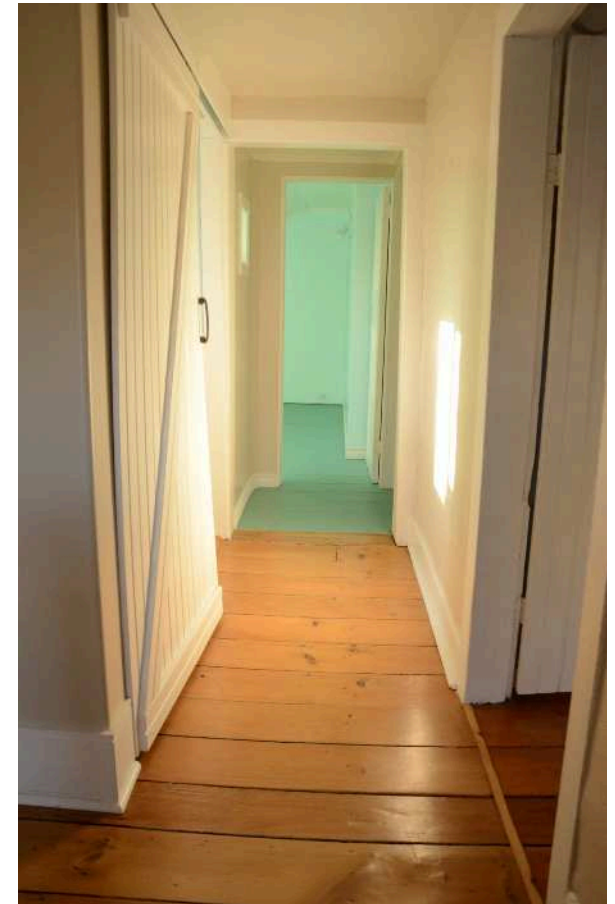
PHOTOGRAPHS OF EXISTING
INTERIOR PHOTOS - SECOND FLOOR



Looking up toward the landing at the second floor.



Wood floor boards appear to be original.



Second floor corridor running in a east - west direction.

PHOTOGRAPHS OF EXISTING
INTERIOR PHOTOS - SECOND FLOOR



Bedroom in the northeast corner, the ceiling slope with the roof and create low head height spaces that takes up much of the room.



Ceiling is clad in a wainscoting pattern, above is a lath and plaster ceiling. The sloped sections are clad in wood. The flat portion is lath and plaster.

PHOTOGRAPHS OF EXISTING
INTERIOR PHOTOS - SECOND FLOOR

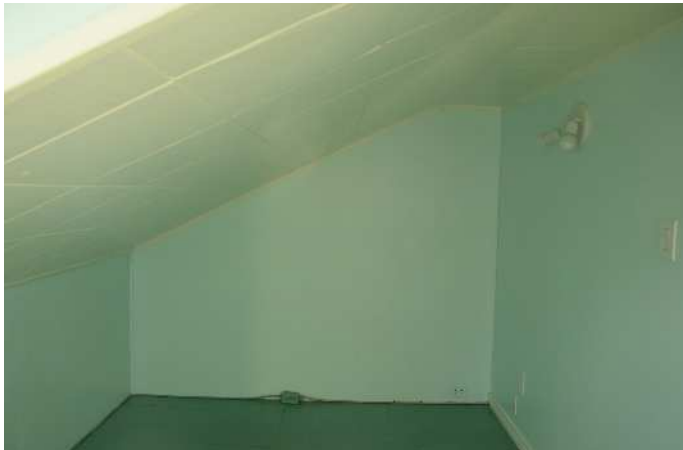


Bedroom in the northwest corner, the ceiling is covered in tiles. It slopes with the roof and creates low head height spaces that take up much of the room. The floor is rough painted wood planks.



Crude wood storage doors lead to small storage areas.

PHOTOGRAPHS OF EXISTING
INTERIOR PHOTOS - SECOND FLOOR



Small room in the southwest corner, the ceiling height change has a much more significant impact in this room as it covers a larger area. Ceiling is clad in sections of tile adhered directly to the original ceiling as in the northwest corner bedroom.



The bedroom shares the front dormer with the adjacent bathroom.



Second floor bathroom, very tight spaces.

CONTEXT

South of the site is J.C. Saddington Park. It is considered a good example of open space planning of the 1970's. To the east is the mouth of the Credit River and the harbour and immediately to the east on the opposite side of Front Street is a contemporary wood clad cottage. To the west is a variety of housing styles, ranging from the small storey and a half cottage at Lake and John Street to a 2 ½ storey further east on Lake.

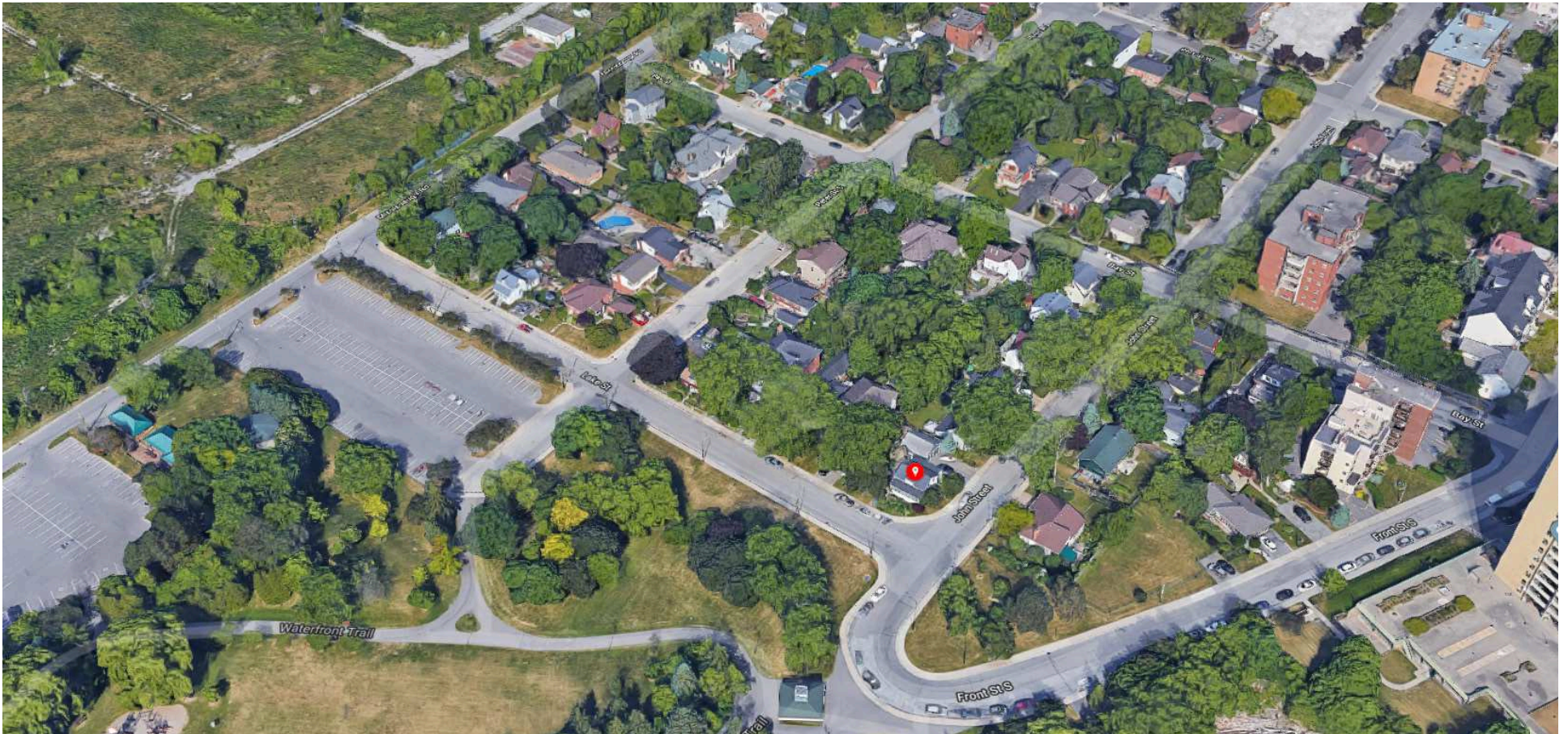
Prior to the construction of J.C. Saddington Park there were other cottage homes on Lake Street. The two cottages at both ends of Lake Street, 36 and 48 Lake Street

visually reflect the original homes along the lakefront. In contrast to the proximity of 36 Lake Street to the public street, the home is well separated by a broad side yard from the neighbouring homes to the west and by the freestanding garage and rear yard from the homes to the north on John Street. The house benefits from these generous spaces on the west and the north side. As a result, the form of the house is visible on all sides and the home as a result has greater presence than a home of its size would normally command.



View from intersection of Lake Street and Front Street, 36 Lake Street visible on the corner.
Source: Google Streetview

CONTEXT



Aerial view, 36 Lake Street indicated with red marker.
Source: Google Maps

CONTEXT



Streetscape photos of the neighbouring houses along Lake St.



48 Lake St (corner of Lake St and Peter St S),
1 ½ storey cottage, similar to 36 Lake Street.



Other houses along Lake Street are mainly 2 to 2 ½ storeys in
height.



CONTEXT



Neighbouring houses extending north along John Street. Houses are 2 storey in height.



Neighbouring houses extending south along John Street.



Two storey house on the southwest corner of the intersection at Bay Street and John Street. 2 storey height, currently under construction.

DESIGNATION STATEMENT



THE CORPORATION OF THE CITY OF MISSISSAUGA
BY-LAW NUMBER 0274/2004

A By-law

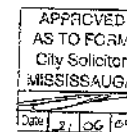
under section 5(3) of the *Municipal Act*, R.S.O. 2001, c.P.25, as amended, to streamline the application process for heritage permits in heritage conservation districts.

WHEREAS the Council of The Corporation of the City of Mississauga wishes to make it easy for the landowners to obtain permits under Part V of the *Ontario Heritage Act* for certain works;

AND WHEREAS it is the role of officers and employees of the Corporation of the City of Mississauga to implement Council decisions and establish practices and procedures to implement those decisions, pursuant to Section 227 of the *Municipal Act*, 2001, S.O. 2001, c.25;

NOW THEREFORE the Council of The Corporation of the City of Mississauga ENACTS as follows:

1. Any person wishing to erect, demolish, or remove or permit the erection, demolition or removal of, any building or structure on the property located in a heritage conservation district, as authorized through Part V of the *Ontario Heritage Act*, or alter, or permit the alteration of the external portions of any building or structure on the property, shall submit an application for a heritage permit in writing and supply any other information as may be required by City employees and shall be issued or denied a permit for said works by the Council of The Corporation of the City of Mississauga;
2. Notwithstanding section 1 of this by-law, an application shall be deemed to have been made and a permit issued for the following alterations to the external portions of a building or structure located in a heritage conservation district:
 - (1) masonry cleaning, masonry re-pointing or masonry painting for buildings and structures identified as "complementary" or "other" buildings as per the Building Inventory;



DESIGNATION STATEMENT

- (2) the exterior painting of non-masonry surfaces, replacement of eavestroughs and downspouts, installation of exterior lights, including installation of removeable storm windows and doors, caulking and weatherproofing;
- (3) the repair of existing features, including roofs, wall cladding, dormers, cresting, cupolas, cornices, brackets, columns, balustrades, porches and steps, entrances, sidewalks, windows, foundations, and decorative wood, metal, stone or terra cotta, provided that the same type of materials are used;
- (4) the erection of small accessory buildings under ten metres squared;
- (5) the erection of fences;
- (6) the installation of mechanical and/or electrical equipment not visible from the street;
- (7) replacement of steps and sidewalks;

- (8) for buildings and structures identified as "complementary" or "other" buildings as per the Building Inventory;
 - (i) alterations to the roofline, including demolition or erection of dormers;
 - (ii) new and/or alterations to door and/or window openings requiring structural alteration and which may include their surrounds;
 - (iii) installation of new replacement windows;
 - (iii) installation of skylights;
 - (iv) demolition or erection of chimneys;
 - (v) removal or addition of architectural detail, such as brackets, bargeboard, finials, brick, terra cotta decorations;
 - (vi) masonry cleaning, masonry repointing or masonry painting;
 - (vii) installation or replacement of exterior cladding;
 - (viii) installation of new roof material different from existing; and

DESIGNATION STATEMENT

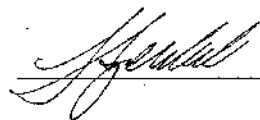
- (ix) installation of mechanical and/or electrical equipment visible from the street.
- (9) all interior work, except structural interventions.
- 3. The Commissioner of Community Services or his delegate shall issue a permit on behalf of Council where the work proposed in an application received under section 1 of this by-law is compatible with the Heritage Conservation District Plan that applies in the heritage conservation district in which the work is proposed to be undertaken;
- 4. Any permit issued under section 3 of this by-law, shall be issued subject to the following conditions:
 - (1) Council shall retain all powers and authority under Part V of the *Ontario Heritage Act* and at any time prior to the issuance of a heritage permit, the ward councillor may, in writing, request the Commissioner to submit a permit application to the City's Heritage Advisory Committee and to Council for consideration;
 - (2) that the permit holder not make any material changes to a plan, specification, document or other information that forms the basis on which the permit was issued without making a further application under section 1 of this by-law; and
 - (3) that the permit holder carry out the work in accordance with the plans, specifications, documents and any other information that forms the basis on which the permit was issued.

- 5. If the work proposed in an application pursuant to section 1 of this by-law, is not compatible with the Heritage Conservation District Plan that applies in the heritage conservation district in which the work is proposed to be undertaken, the Commissioner of Community Services or his delegate shall submit the application to the City's Heritage Advisory Committee and to Council for consideration;
- 6. For the purposes of this by-law, the following definitions shall apply:
 - (1) HERITAGE CONSERVATION DISTRICT PLAN means a plan adopted by Council to provide direction in the preservation of the heritage defining character elements of a heritage conservation district;
 - (2) BUILDING INVENTORY means the Heritage Conservation Feasibility Study, Old Port Credit Village, Building Inventory, dated November 28, 2003, and as may be amended from time to time by City employees;

DESIGNATION STATEMENT

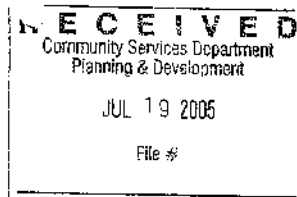
- (3) HERITAGE PERMIT means a permit issued by or on behalf of Council under Section 42 of the *Ontario Heritage Act*.

ENACTED and PASSED this 23rd day of June 2004.


MAYOR


CLERK

DESIGNATION STATEMENT



THE CORPORATION OF THE CITY OF MISSISSAUGA

BY-LAW NUMBER 0272-2004

A by-law to designate an area of the City as a Heritage Conservation District under section 41 of the *Ontario Heritage Act, RSO 1990, c.O.18*

WHEREAS Part V of the *Ontario Heritage Act, RSO 1990, c.O.18* as amended contains provision relating to heritage conservation districts.

AND WHEREAS the Council of The Corporation of the City of Mississauga under section 40 of Part V of the *Ontario Heritage Act, RSO 1990, c.O.18* has by by-law defined Port Credit Village as an area to be examined for future designation as a heritage conservation district.

AND WHEREAS the examination of the Port Credit Village has now been completed.

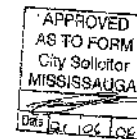
AND WHEREAS under section 41 of Part V of the *Ontario Heritage Act, RSO 1990, c.O.18* where there is in effect in a municipality an official plan that contains provisions relating to the establishment of heritage conservation districts, Council may by by-law designate any defined area as a heritage conservation district.

AND WHEREAS there is in effect in the City of Mississauga an official plan that contains provisions relating to the establishment of heritage conservation districts.

NOW THEREFORE the Council of The Corporation of the City of Mississauga ENACTS as follows:

1. The area know locally as Port Credit Village being bounded by Lakeshore Road West to the north, Mississauga Road South to the west, Lake Ontario to the south and Credit River to the east and more particularly shown on Appendix "A" attached hereto is hereby designated as a Heritage Conservation District.

ENACTED and PASSED this 23rd day of June 2004.

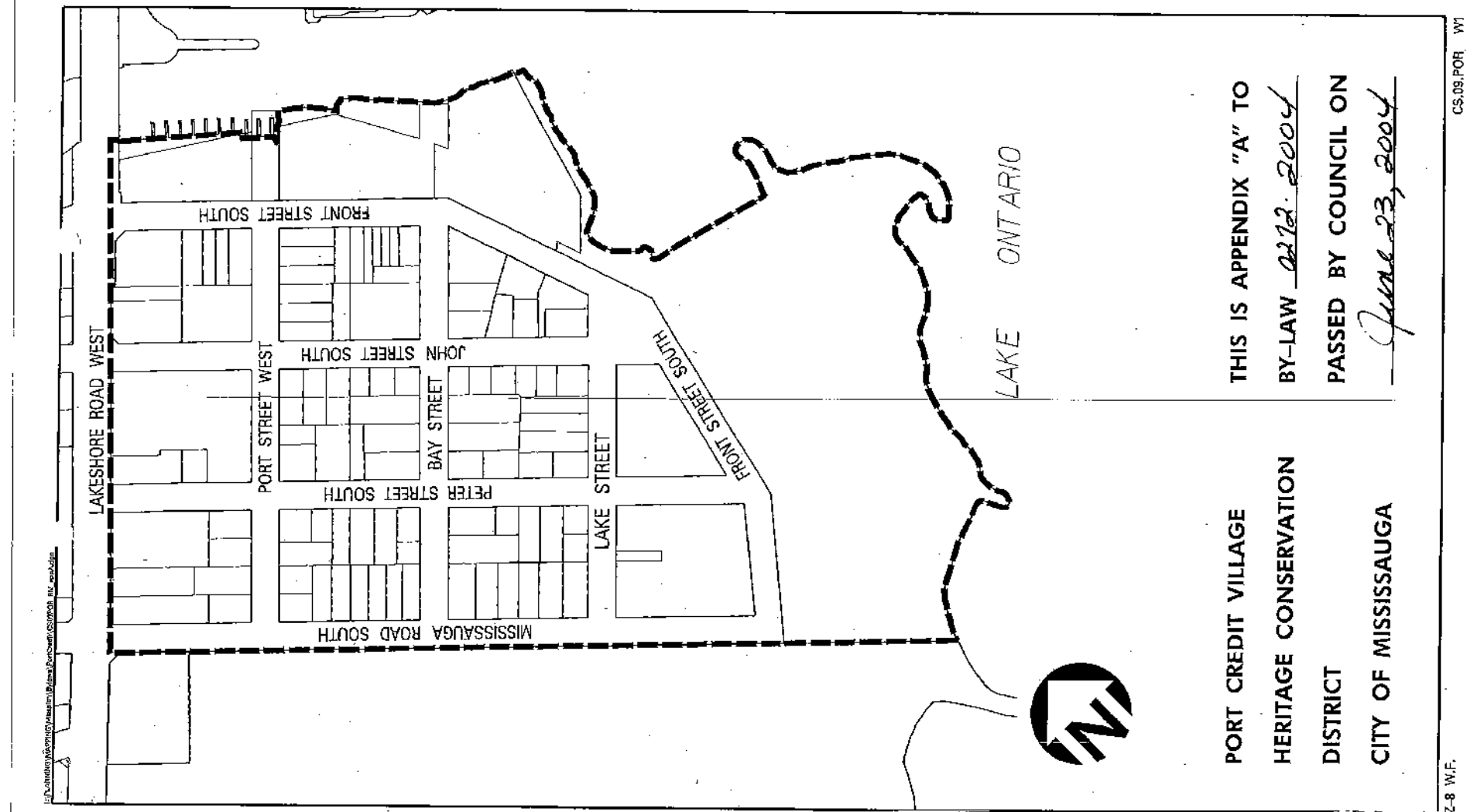


[Signature]
MAYOR

[Signature]
CLERK

Page 1 of 2

DESIGNATION STATEMENT



HERITAGE IMPACT STATEMENT

HERITAGE IMPACT ASSESSMENT

The proposed design achieves a number of important guidelines for renovations/additions to heritage buildings:

- The addition to the house is to the rear
- The footprint of the existing house is not increased. The proposed second floor addition is located over the existing rear addition.
- The roof of the addition does not exceed the height of the original roof of the house
- The gable form of the original structure is unaffected by the addition (shape and massing of the original house remains distinguishable)

The proposal includes replacement of the vinyl siding with wood siding. The original details around windows will be restored as well as the distinctive broad cornice board in the gables. In locations where the original two over two windows have been replaced with one over one units, new two over two, single hung, simulated divided lights will be installed.

Windows in the additions are different to distinguish between the original house and the additions. Similarly, any new window locations for the original house will be distinguishable. The windows in the addition will be casements in an Arts and Crafts Cottage Style in contrast to the two over two, single hung windows of the original house. All windows will be wood.

The proposal removes or integrates more effectively later appendages to the side of the house. The renovations include removal of the vinyl clad shed that covers access to the basement. It will be replaced with a low-profile metal access hatch. Also, the visually distracting exterior stove pipe will be clad in matching siding to better blend it to the original house and addition.



PRELIMINARY DESIGN CONCEPT - Comparison of addition roof line with existing roof line for initial design concept.

The existing front dormer was likely added to the home to provide more livable space in what is a low and cramped second floor. Commonly, the gable ends were the only original windows for the upper floor. The renovations widen the front dormer to create more accessible space. One of the Owners is six foot three and access is highly restricted. The dormer provides more light and is the prime view to overlook the park and Lake Ontario. The shed form of the dormer is retained. The transparent window area fills the width of the dormer reducing its visual impact. The low horizontal nature of the 4 windows is in keeping with the original dormer and the character of the heritage house. The revised dormer is at the front wall of the house in its original location. Because the dormer is enlarged, a Committee of Adjustment application will be required because the dormer (original and revised) is within the front yard setback.

HERITAGE IMPACT STATEMENT

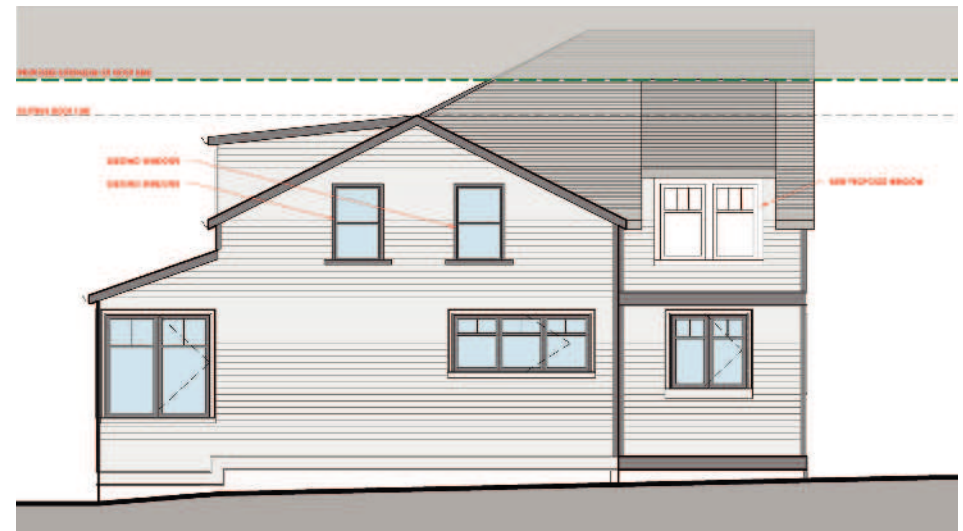
The rear addition adds more livable bedroom space to the second floor. In order to maintain the springing height of the roof from the existing fascia height, shed dormers are employed to create headroom at the perimeter of the rooms. Originally a pitched roof was proposed, but in order to achieve adequate space and headroom it would have extended above the existing roof by 4'-5¼" at its ridge.

To avoid this condition a low slope section at the top of the second floor addition is utilized. Due to the low angle of the slope it is considered a flat roof and exceeds the allowable percentage based on the area of the house roof, excluding all other roofed areas including the front porch and side porch roofs. A variance is required for the area of the flat roof.

The front porch roof and floor are being maintained in their current form. New windows with simulated divided lights are proposed to fill in the porch as per the original spacing of three bays across the front. This will visually lighten the appearance of the porch, creating more transparency and ability to see the front wall of the house.

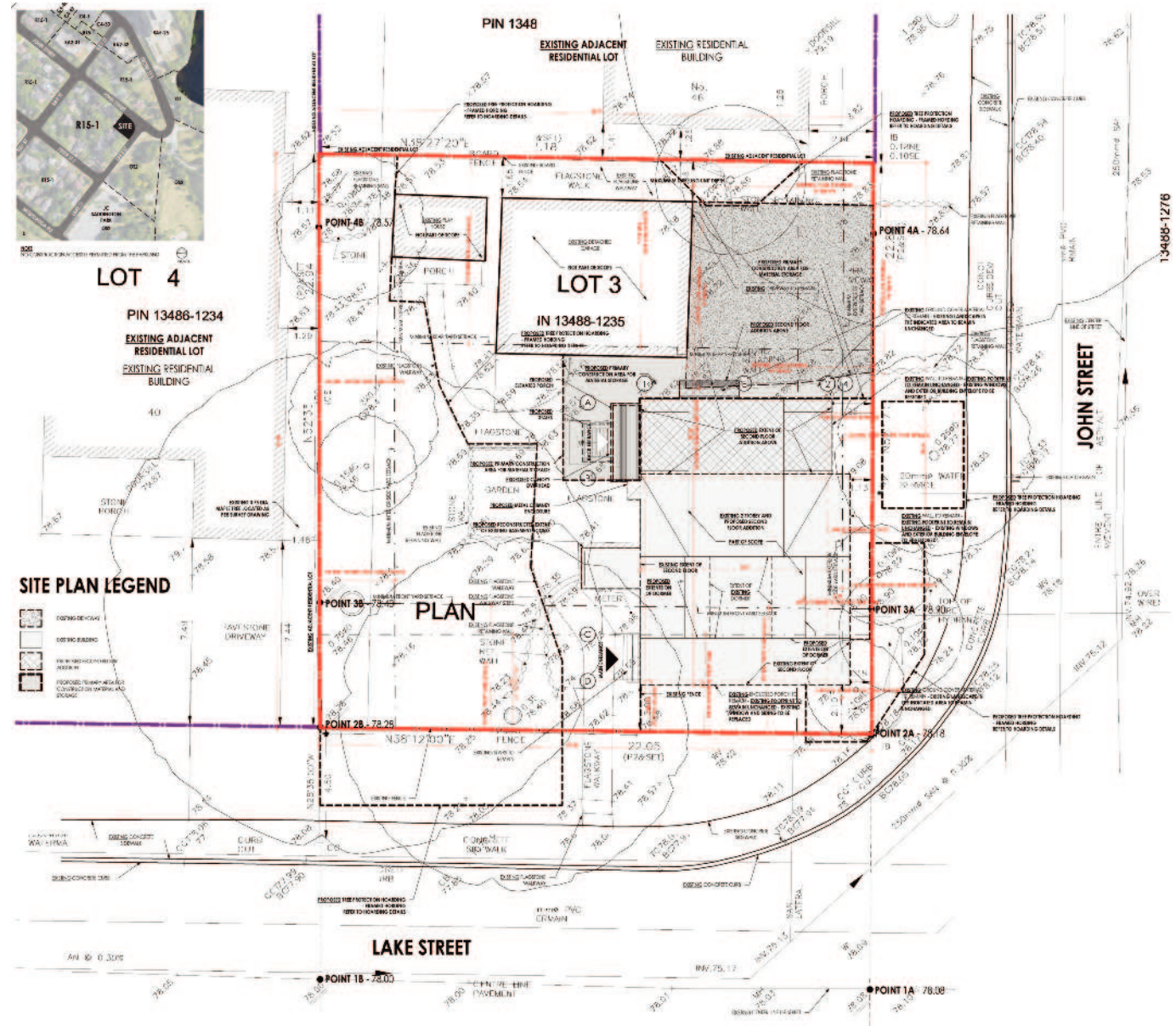
IN SUMMARY

The proposed addition to the second floor of the rear addition and the renovations to the porch and dormer in the opinion of the author do not negatively impact the character contributing elements of the heritage house. Through the restoration of the wood siding and the exterior wood detailing original to the house, the historic character and form of the house will be retained and enhanced. The proposed renovations/ addition retains the cottage scale and character, while making the home sustainable for use by families for the future.

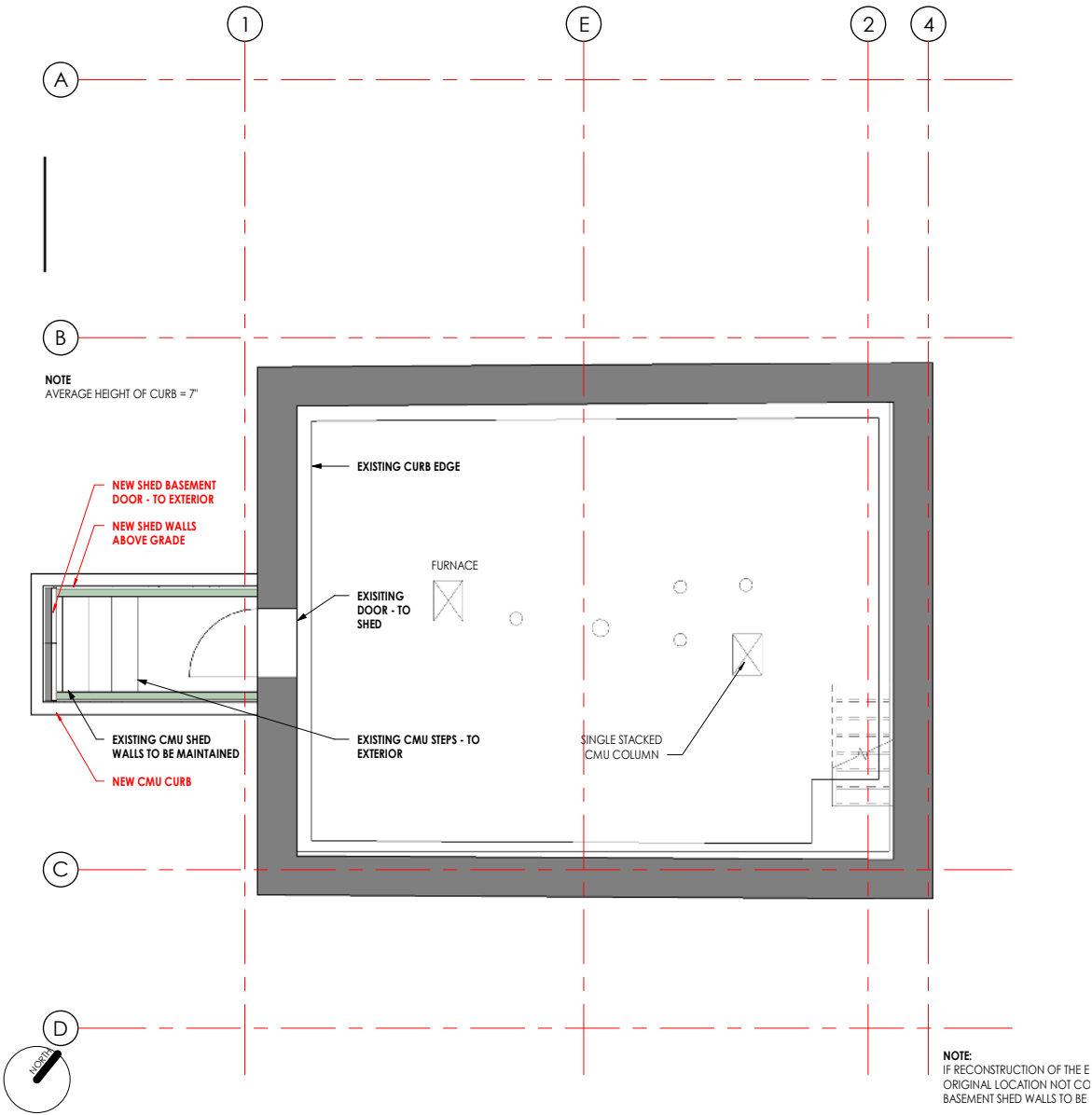


SECOND DESIGN CONCEPT - Comparison of addition roof line with existing roof line for initial design concept.

PROPOSED DESIGN
SITE PLAN

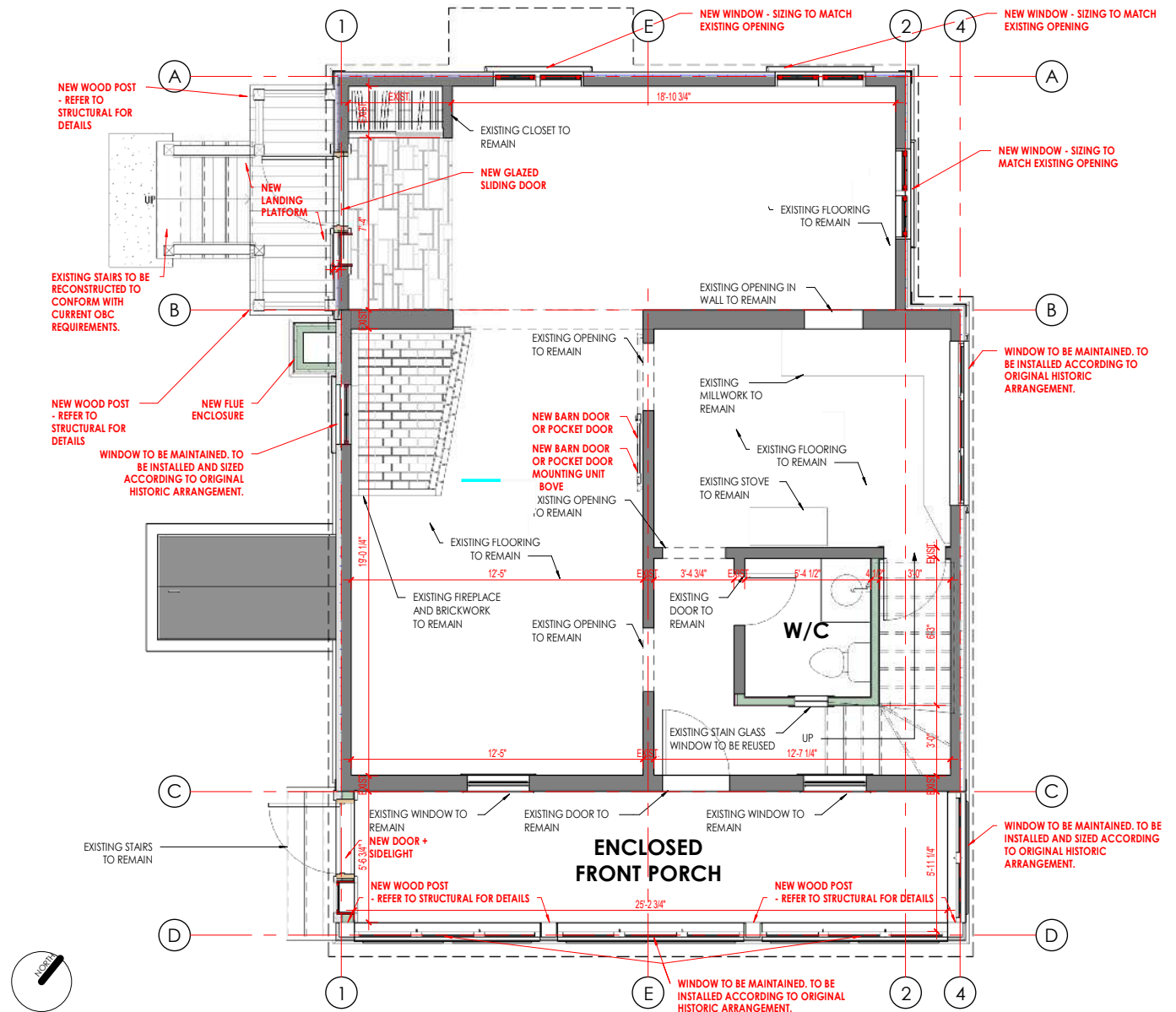


PROPOSED DESIGN
BASEMENT FLOOR

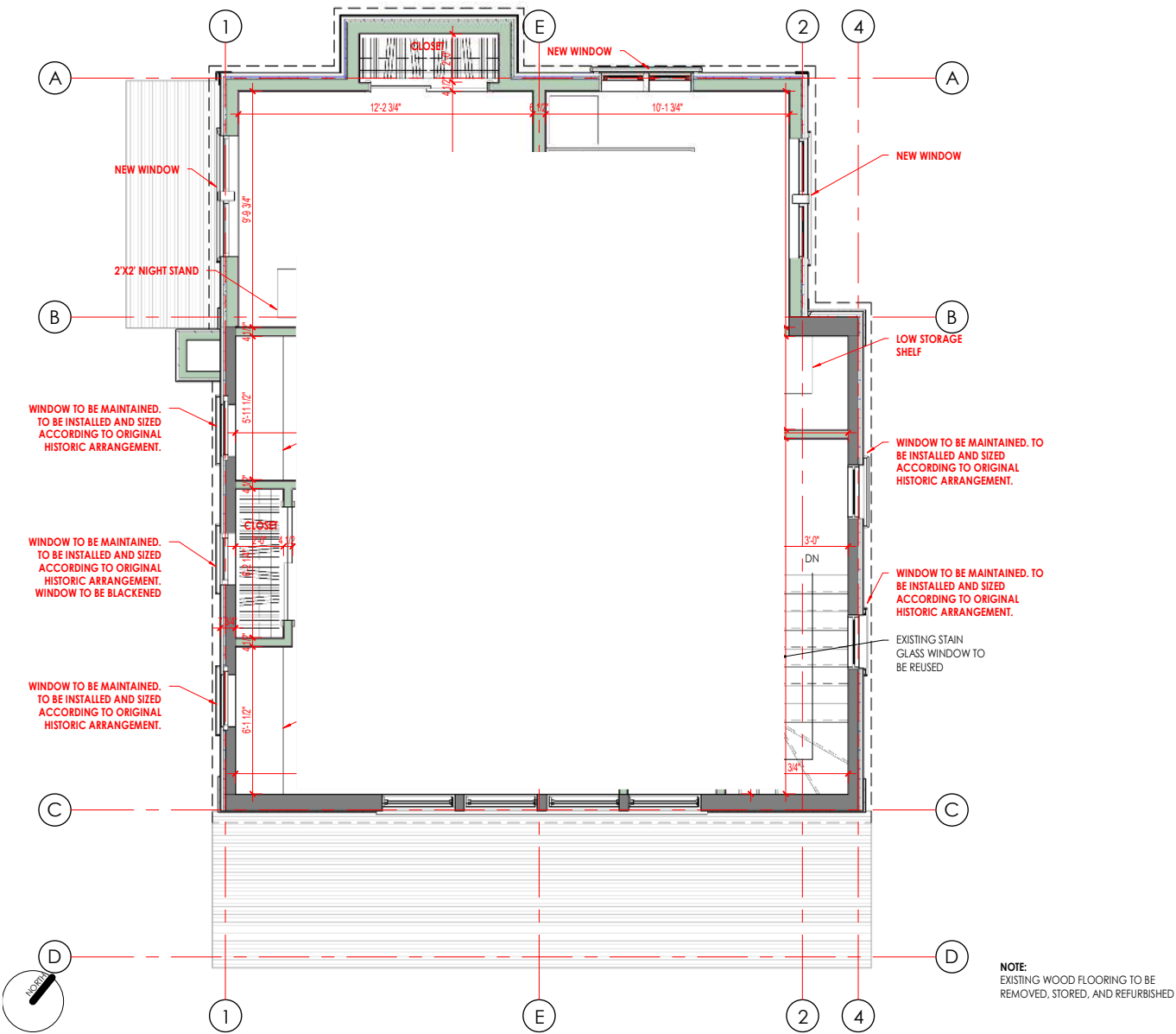


PROPOSED DESIGN

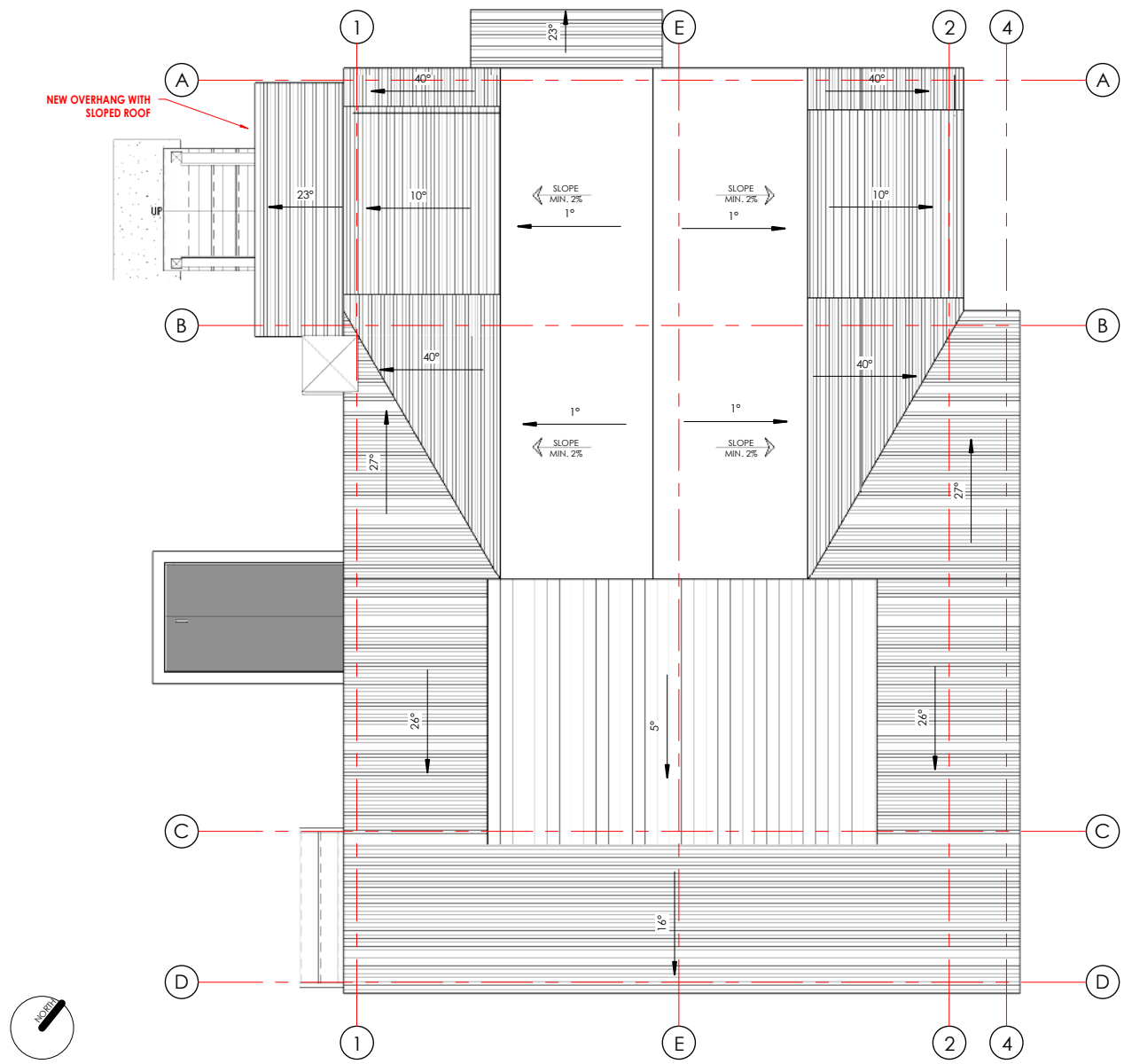
GROUND FLOOR



PROPOSED DESIGN
SECOND FLOOR

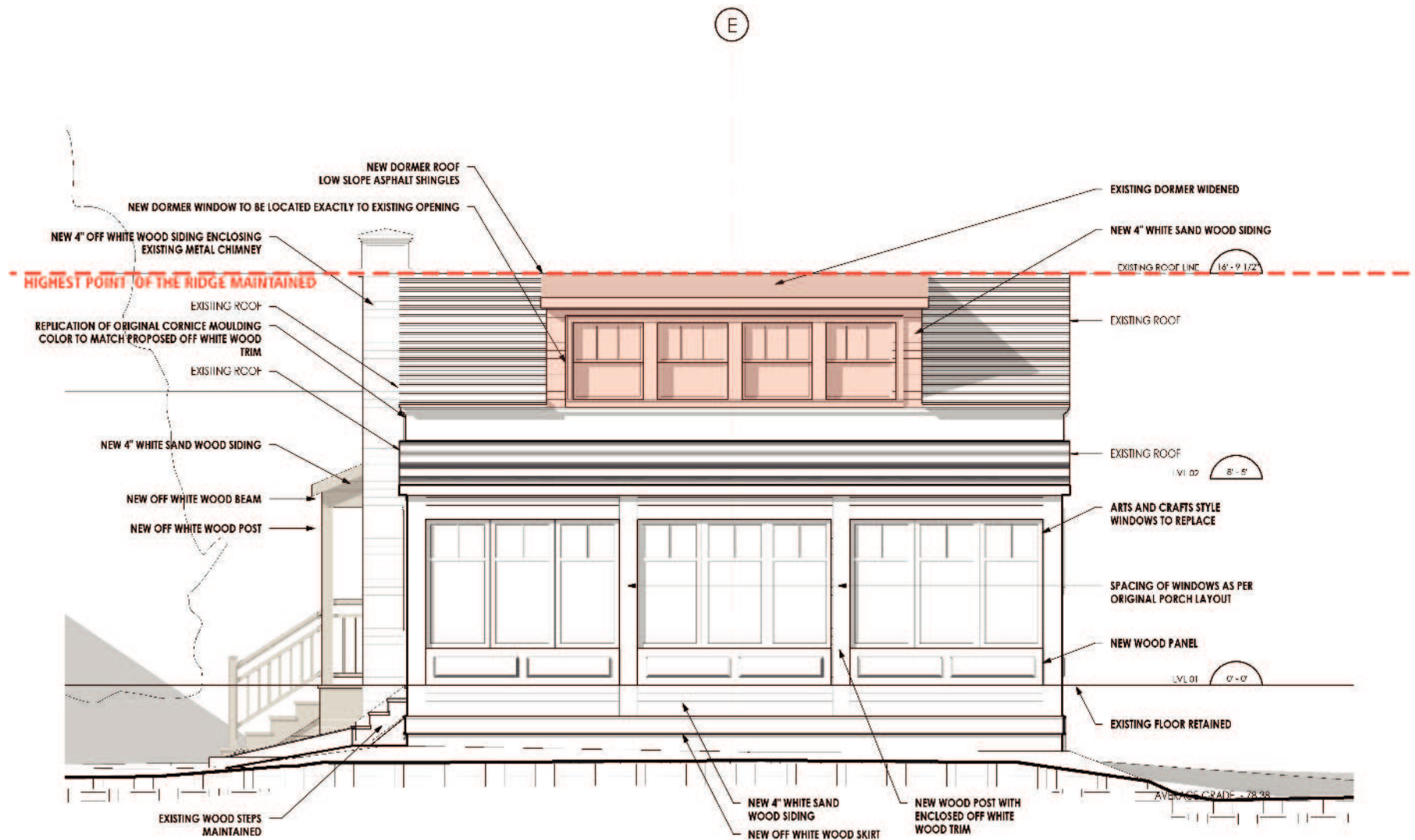


PROPOSED DESIGN
ROOF PLAN



PROPOSED DESIGN

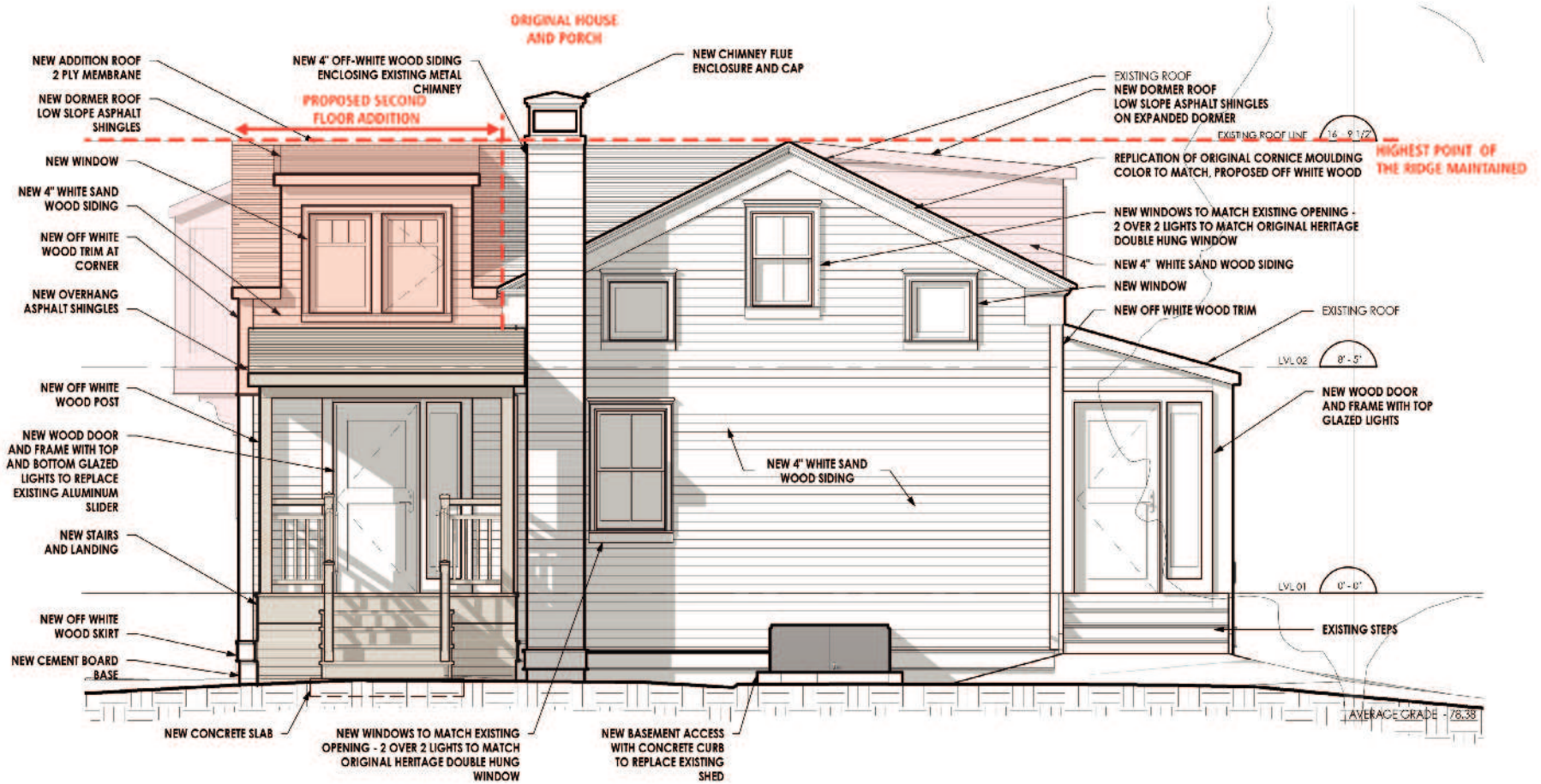
SOUTH ELEVATION



NOTE

- TYPICAL WINDOW HEAD FLASHING FOR ALL NEW WINDOWS
- NEW WINDOWS TO MATCH EXISTING OPENINGS

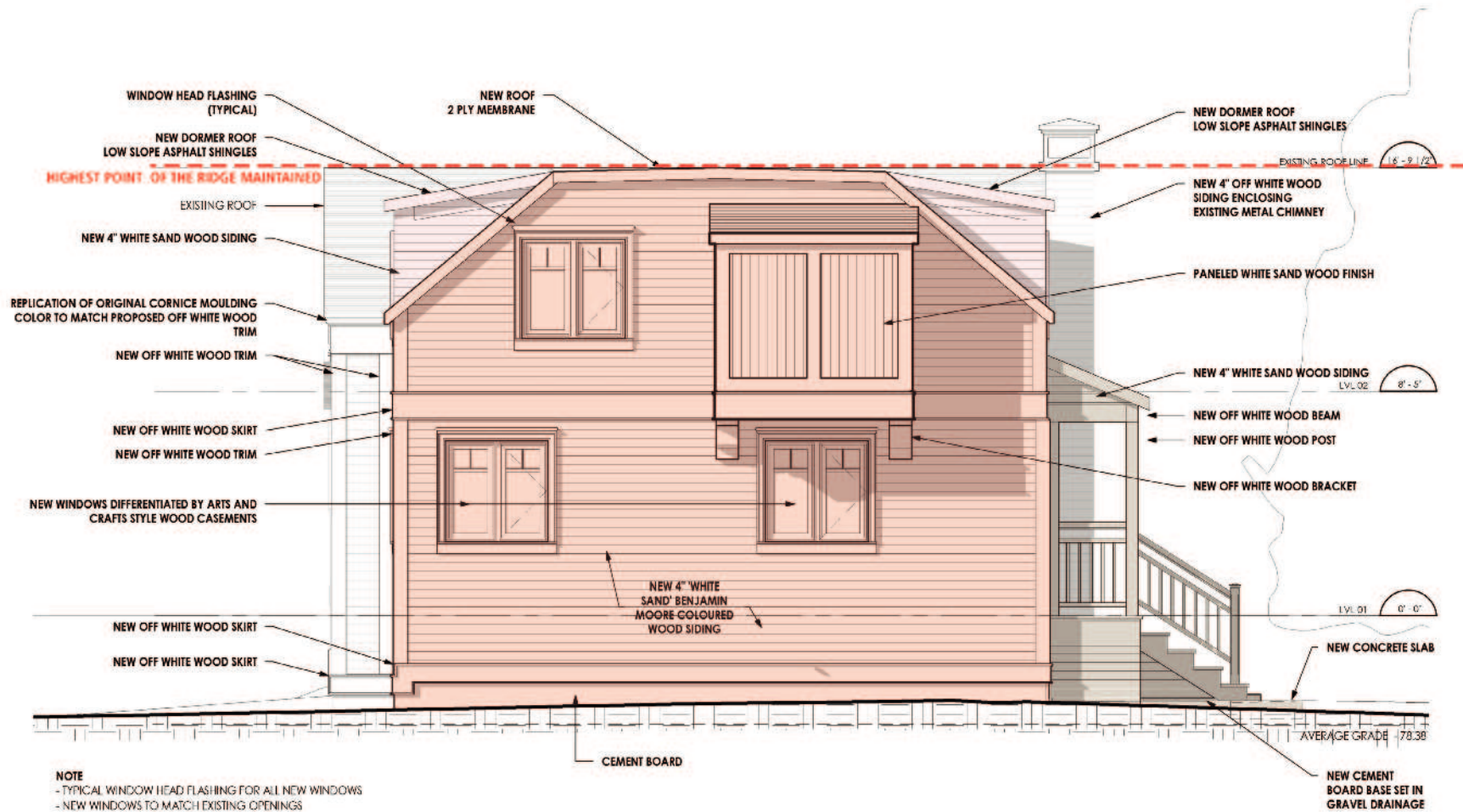
PROPOSED DESIGN
WEST ELEVATION



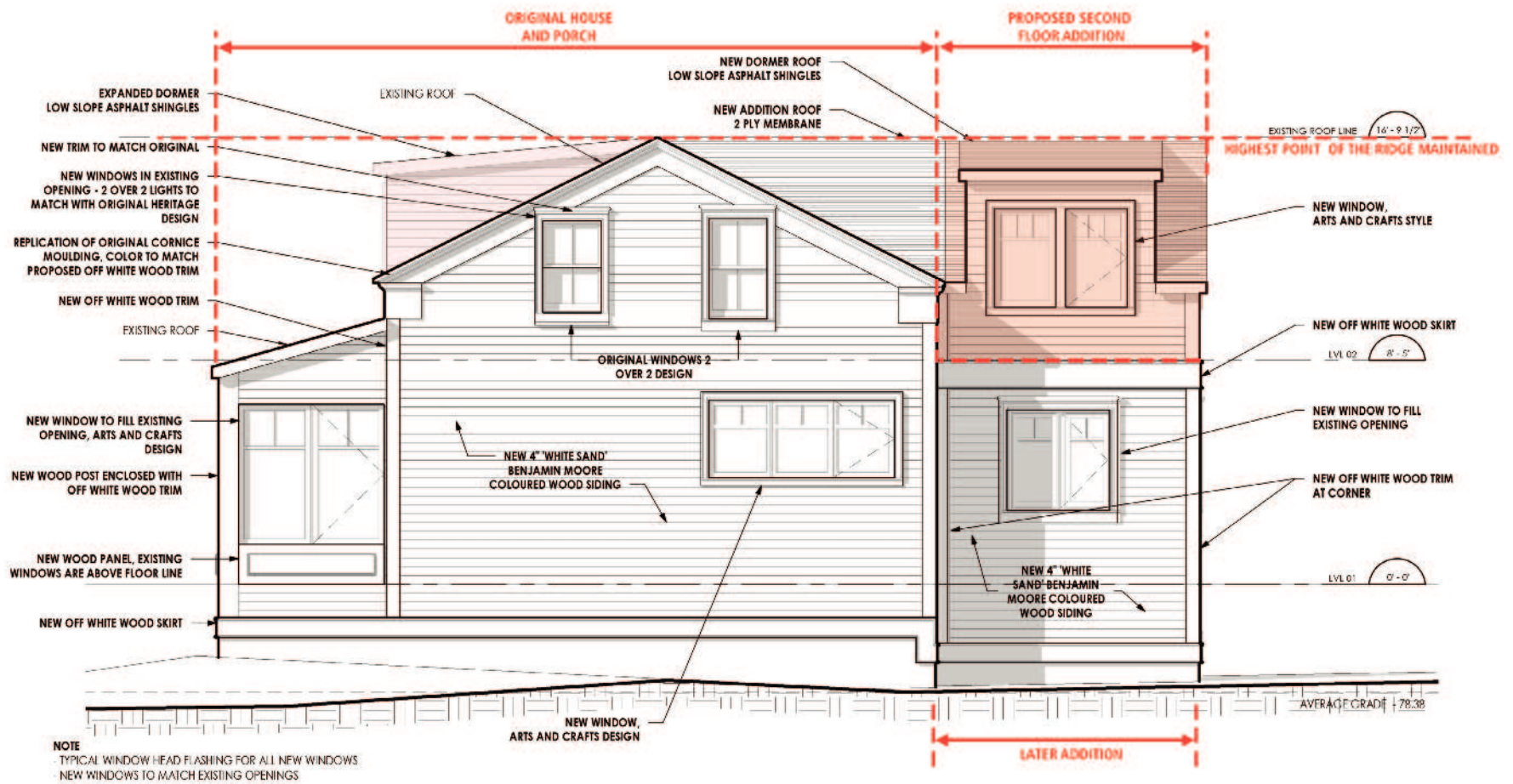
NOTE
- TYPICAL WINDOW HEAD FLASHING FOR ALL NEW WINDOWS
- NEW WINDOWS TO MATCH EXISTING OPENINGS

PROPOSED DESIGN

NORTH ELEVATION



PROPOSED DESIGN
EAST ELEVATION



PROPOSED DESIGN

PERSPECTIVE FROM THE SOUTHWEST



PROPOSED DESIGN

PERSPECTIVE FROM THE SOUTH



APPENDIX

STANDARDS AND GUIDELINES

OLD PORT CREDIT VILLAGE HERITAGE CONSERVATION DISTRICT PLAN 2018 5.0 - ALTERATIONS TO CONTRIBUTING PROPERTIES

5.1 Policies for alterations to contributing properties

	Principal	Proposal
5.1.1	Property owners must abide by the Property Standards By-Law 654-98.	
5.1.2	The plan's policies will also apply to properties formerly designated under Part IV of the Ontario Heritage Act, which are now included in the Old Port Credit Village Heritage Conservation District. The Part IV buildings and properties will be treated as contributing properties.	
5.1.3	The City will require all buildings on contributing properties remain in situ, and avoid their demolition or removal.	House is retained.
5.1.4	In cases where a building on a contributing property is proposed for demolition, the applicant for a demolition permit will be required to prepare a heritage impact assessment prior to the issuing of the permit. In addition, the City may encourage archaeological assessment on the site while the building remains standing.	House is retained.
5.1.5	Before a demolition permit is issued for a building on a contributing property, the applicant will have first obtained a building permit for a new building that meets the plan's design guidelines for new construction (Section 6.0) and zoning by-law standards.	House is retained.
5.1.6	The removal or relocation of a building on a contributing property to another site will be a last resort. If removal is unavoidable, the building will be moved to a site as close as possible to its original site or to the most appropriate site.	House is retained in its existing location.
5.1.7	The City will enter into heritage conservation easements with willing property owners where desirable.	Not required.
5.1.8	The City will care for City-owned contributing properties in the District as currently recognized standards for property conservation recommend.	

STANDARDS AND GUIDELINES

OLD PORT CREDIT VILLAGE HERITAGE CONSERVATION DISTRICT PLAN 2018

5.0 - ALTERATIONS TO CONTRIBUTING PROPERTIES

	Principal	Proposal
5.1.9	When repairing, altering or restoring contributing properties, property owners are required to: <ul style="list-style-type: none"> a) Conserve the property's heritage attributes; b) Conserve the property's history as documented in the HCD Property Inventory, Appendix B, fire insurance and other plans, historic photographs and other historical sources and as revealed on the property itself; c) Conserve the structural integrity and the physical condition of the buildings on contributing properties; and, d) Abide by the plan's guiding principles for the conservation of contributing properties. e) Abide by Standards and Guidelines for the Conservation of Historic Places in Canada (produced by Parks Canada), which provides a sound reference document for initial guidance 	<ul style="list-style-type: none"> a) Heritage attributes are retained and in several instances restored. b) Included in Heritage Impact Assessment. c) No implication to adjacent properties. d) Abiding by the plan's guiding principals. Two minor technical Committee of Adjustment approvals required. e) Abiding by the Standards & Guidelines.
5.1.10	The aim of any change to a contributing property will be to safeguard the character-defining elements of the property and not to falsify its appearance by making it look older or newer than it is.	New construction is distinguishable.
5.1.11	Any institutional contributing property that cannot continue in its intended use and must be reused for other appropriate purposes will be adapted for the new use with the greatest degree of respect for the property's character and heritage attributes.	Retained use of the property as residential.
5.1.12	Animated signs are prohibited.	No signs.

STANDARDS AND GUIDELINES

OLD PORT CREDIT VILLAGE HERITAGE CONSERVATION DISTRICT PLAN 2018 5.0 - ALTERATIONS TO CONTRIBUTING PROPERTIES

5.2 Guidelines for alterations to contributing properties

	Principal	Proposal
5.2.1	<p>Foundation and walls</p> <ul style="list-style-type: none"> a) Protect original wall surfaces from cleaning methods that may permanently alter or damage the appearance of the surface or give a radically new look to the property. For example, sandblasting or other abrasive particulate cleaning, strong chemical cleaning solutions, or high pressure water blast will not be permitted. b) Brick masonry requires re-pointing from time to time and this process should be undertaken by tradespeople with experience with nineteenth century construction. c) Generally, lime-based mortar should be used and joints should replicate the original in finish, colour and texture. Rough-cast or stucco walls require experienced trades to repair. d) Avoid the application of new finishes or coatings that alter the appearance of the original material, especially where they are substitutes for repair. Alterations that comprise unacceptable materials include water repellent coatings, paint on brick or stone, aluminum or vinyl siding. Materials such as concrete fibre board and synthetic wood products will be considered on a case-by-case basis. 	<ul style="list-style-type: none"> a) Not proposed. b+c) foundations to be repointed with lime based mortar to match original colour and texture. d) Not proposed. Natural materials proposed.
5.2.2	<p>Roofs</p> <ul style="list-style-type: none"> a) Decorative roof features and original roofing materials, such as slate, wood shingles, and copper on sloped roofs, should be retained and conserved wherever possible. b) Ensure that vents, skylights and other new roof elements are sympathetic in type and material and that they are discreetly placed out of general view from the street and public rights-of-way. c) Roof drainage elements including gutters, eaves troughs, and downspouts shall be maintained and cleaned. Downspouts should be directed away from building foundations. d) Maintenance of original roof shape is encouraged. 	<ul style="list-style-type: none"> a) Existing roof is asphalt shingles and shall be maintained. b) Existing vent stack is proposed to be re-clad in wood to minimize it's visual impact. No skylights are proposed. Dormers rather than skylights are proposed. c) Downspouts will be directed away from the building. d) Original roof shape of the porch and historic front section are being maintained.

STANDARDS AND GUIDELINES

OLD PORT CREDIT VILLAGE HERITAGE CONSERVATION DISTRICT PLAN 2018

5.0 - ALTERATIONS TO CONTRIBUTING PROPERTIES

	Principal	Proposal
5.2.3	<p>Windows</p> <ul style="list-style-type: none"> a) Protect and maintain original window openings as well as distinguishing features such as hardware, materials, surrounds, frame, shutters, sash, and glazing. b) Modifications to the size, type, or shape of window openings, removal of muntins, replacement of single glazing with insulated sealed units, or covering of trim with metal or other material is discouraged. c) Improvement in energy efficiency of single glazed units can be achieved with traditional exterior wood storm windows or contemporary interior magnetic storm glazing. Exterior-applied aluminum storm windows are discouraged. d) Avoid removing or blocking up window openings that are important to the architectural character and symmetry of the building. e) New windows should be compatible with the original in terms of material, proportions, rhythm and scale. 	<ul style="list-style-type: none"> a+b) Restoring original trim and original configuration of windows with simulated wood divided lights in double hung windows. Opening size, type and shape of windows are being maintained. c) Improved energy efficiency through simulated wood divided lights. Original ground level 2 front windows will be retained and restored, with storms added. d) Original window openings are retained. e) New windows in addition are arts and crafts style casements, that are compatible with the original pattern and with the cottage feel of the heritage house.
5.2.4	<p>Entrances</p> <ul style="list-style-type: none"> a) Exterior ramps and lifts may be permitted for barrier-free access in accordance with applicable legislation, but shall not be physically attached to heritage building fabric. b) Protect and maintain entrances on principal elevations where they are often key elements in defining the character of a building. Recessed entrances are best maintained where they exist. Conserve important features such as doors, glazing, lighting, steps and door surrounds. c) Where new entrances or exterior staircases are required, they should be installed on secondary elevations. 	<ul style="list-style-type: none"> a) No ramps are proposed. b) Existing front entrance is being maintained. c) Existing front steps are being maintained. d) Second entrance is located in former addition.
5.2.5	<p>Features and spaces around buildings</p> <ul style="list-style-type: none"> a) Maintain traditional views of property by avoiding the masking or hiding of prominent building features. b) Keep parking areas, ancillary structures, and utilities such as heat pumps and satellite dishes to the side or rear. c) Maintain original historical means of access including drives, walkways and doorways. If required, it is preferred that new entrances be installed on secondary elevations. d) Maintain proper site drainage in any work so that water does not collect or drain towards the foundation. e) Additional advice regarding this subject is also provided in Section 12.0: Landscape conservation guidelines for private and public property. 	<ul style="list-style-type: none"> a) Prominent features remain visible b) Intent of the proposal. c) Complies d) Site drainage will not be altered.

STANDARDS AND GUIDELINES

OLD PORT CREDIT VILLAGE HERITAGE CONSERVATION DISTRICT PLAN 2018 5.0 - ALTERATIONS TO CONTRIBUTING PROPERTIES

	Principal	Proposal
5.2.6	Signage a) Address and name signage should be modest in size, and suitably scaled to property and front yard.	As proposed.
5.2.7	Removal of heritage building fabric a) Removal of heritage building fabric is discouraged. Where original material must be removed its original location should be documented. b) Heritage building fabric should be repaired wherever possible and not replaced. When undertaking repair, replacement or restoration, use the same materials as the original. c) The patina of age or signs of craftsmanship such as tool marks or irregularities found in older work and materials should be respected and not covered up or obscured.	a) Restoring original natural materials (wood) and removing more recent vinyl siding. Restoring cornice moulding and board. b) Where possible this is proposed. c) Exterior envelop was reclad. No patina as such exists other than in the interior.
5.2.8	Exterior cladding a) Replace vinyl, aluminum, or other non-original siding with the original wall material if possible. Besides their effect of hiding window and door surrounds and cornice detail, these synthetic claddings conceal any decay of the underlying wall material.	a) Siding is being replaced with original material.
5.2.9	Heating and ventilation a) Install new chimneys, vents, skylights and mechanical or electrical equipment away from street view. b) Avoid cuts into the roof; and where a cut is necessary, protect the cut with flashing. c) Never replace brick chimneys with metal pipes. Redundant chimneys should be kept as a character feature.	a) Heating and ventilation will not be altered from existing locations. c) Existing chimney is a metal pipe set back from street view and will be reclad.
5.2.10	Exterior painting a) Never paint masonry surfaces or roughcast plaster unless already painted. b) Choose paint colours for wood surfaces after conducting a paint analysis which determines the building's paint history, or by devising a scheme that is typical for the building's age. c) Never strip painted wood to the bare wood, leaving it unpainted and exposed to the weather.	a) Not applicable. b) Based on photos, proposed paint colours, building always appears white or off white in photos. c) All wood to be painted or stained.

STANDARDS AND GUIDELINES

OLD PORT CREDIT VILLAGE HERITAGE CONSERVATION DISTRICT PLAN 2018
5.0 - ALTERATIONS TO CONTRIBUTING PROPERTIES

	Principal	Proposal
5.2.11	<p>Considerations for commercial uses in former residential properties</p> <p>a) Where residential heritage properties are converted to commercial uses, signs should not block architectural features such as windows and ornamentation, and should be attached so as to do the least amount of damage to the façade. Attachment to masonry surfaces should be made through mortar joints and not masonry units, as mortar joints are more easily repaired.</p> <p>b) Externally illuminated signs will be encouraged and are preferred.</p> <p>c) The following sign types may be permitted on a case by case basis, usually where they are replacements for existing similar signage: internally illuminated sign, neon sign, curved rigidly and fixed vinyl awning.</p>	<p>Retained as residential.</p>

STANDARDS AND GUIDELINES

OLD PORT CREDIT VILLAGE HERITAGE CONSERVATION DISTRICT PLAN 2018 6.0 - ADDITIONS ON CONTRIBUTING PROPERTIES

6.1 Policies for additions to contributing properties

	Principal	Proposal
6.1.1	Property owners must abide by the Property Standards By-Law 654-98.	
6.1.2	The installation of Exterior Insulation and Finish Systems (EIFS) is not permitted on additions to buildings on contributing properties within the District.	Not applicable.
6.1.3	When adding to buildings on contributing properties, property owners will consider: a) The building's historic materials and distinctive features; b) The property's history as documented in Appendix B, fire insurance and other plans, historic photographs and other historical sources and as revealed on the building itself; c) The building's structural support and its physical condition; and, d) Standards and Guidelines for the Conservation of Historic Places in Canada (produced by Parks Canada) provides a sound reference document for initial guidance e) Context sensitivity in regards to setbacks and adjacent properties.	a) Retained b) Recorded c) Structural engineer retained. d) Standards and Guidelines considered. e) Addition is second floor, not expanding footprint other than improvement to rear porch to comply with Ontario Building Code.
6.1.4	An addition to a building on a contributing property will be lower in height and smaller in size than the existing building wherever possible; and in designing additions, property owners will have regard for the plan's guiding principles and any impact the addition may have on adjacent properties in terms of scale, massing, height and setback.	Addition roof is not higher than existing roof. The second floor of the existing - storey and a half house is more like an attic - the roof of the addition cannot be lower than the existing.
6.1.5	Garages of single-family dwellings shall be set back from the face of building a minimum of two (2) metres.	Garage is existing.
6.1.6	Animated signs are prohibited.	Residential use.

STANDARDS AND GUIDELINES

OLD PORT CREDIT VILLAGE HERITAGE CONSERVATION DISTRICT PLAN 2018

6.0 - ADDITIONS ON CONTRIBUTING PROPERTIES

6.2 Guidelines for additions to contributing properties

	Principal	Proposal
6.2.1	Removal of heritage building fabric – see Section 5.2.7	
6.2.2	<p>Location</p> <ul style="list-style-type: none"> a) Exterior additions are encouraged to be located at the rear or on an inconspicuous side of the building, set in from the side façade, limited in size and scale to complement the existing buildings and neighbouring properties. Second story additions may be acceptable if the design complies with the Plan's design guidelines. b) Multi-storey exterior additions are best set back as deeply as possible from the existing front wall plane in order to be unobtrusive in the streetscape and to differentiate the addition from the older structure. c) New garages are best designed as separate buildings, if possible, sited noticeably behind, a minimum of two (2) metres from the front facade, or towards the back of, the house. d) Ensure the size of the addition will maintain ample open space around the house (front, side and rear yards) to help preserve the village's private open space character and protects neighbours' privacy. 	<ul style="list-style-type: none"> a) The expansion is a second storey over an existing later addition at the rear of the house. It increases the usual area of the 1/2 storey over the original home. b) The existing addition was setback from the original house and the street. c) The existing garage is a separate structure. d) The home has a large open side yard, creating ample space between houses.
6.2.3	<p>Height</p> <ul style="list-style-type: none"> a) The majority of buildings within the residential area are one and a half and two stories. To maintain this profile, the height of the roof ridge in new additions should not exceed the height of the ridge of the building on the contributing property. 	<ul style="list-style-type: none"> a) Height of the existing ridge is maintained in the design of the addition.
6.2.4	<p>Width</p> <ul style="list-style-type: none"> a) New additions should be designed in a building mass that extends rearward in depth on the lot rather than along the horizontal width. 	<ul style="list-style-type: none"> a) Complies - addition to the rear.
6.2.5	<p>Relation to street</p> <ul style="list-style-type: none"> a) Additions to heritage residential buildings are encouraged to be located at the rear or on an inconspicuous side of the building, limited in size and scale to complement the existing buildings and neighbouring properties. 	<ul style="list-style-type: none"> a) Complies - small addition, broken down in scale by dormers.

STANDARDS AND GUIDELINES

OLD PORT CREDIT VILLAGE HERITAGE CONSERVATION DISTRICT PLAN 2018 6.0 - ADDITIONS ON CONTRIBUTING PROPERTIES

	Principal	Proposal
6.2.6	<p>Roofs</p> <ul style="list-style-type: none"> a) The original roof configuration should be maintained and not obscured by any addition. Similarly, roofing materials and associated features, such as fascia, trim, and brackets should be retained and not obscured. b) Roof types encouraged in new construction are front gabled and side gabled. c) Decorative roof features and original roofing materials such as slate, wood shingles, and copper on sloped roofs should be retained and conserved wherever possible. d) Ensure that vents, skylights and other new roof elements are sympathetic in type and material and that they are discretely placed out of general view from the street and public rights-of-way. e) Roof drainage shall be maintained and directed away from building foundations. 	<ul style="list-style-type: none"> a) Roof profile of the original house is maintained. b) Limited roof options to maintain roof height. c) Simple design, lacking features. Cornice board and trim will be restored to the side gables. d) Roof drainage is maintained and directed away from the foundations.
6.2.7	<p>Windows and entrances</p> <ul style="list-style-type: none"> a) Protect and maintain original window openings as well as distinguishing features such as materials, surrounds, frame, shutters, sash and glazing. b) Improvement in energy efficiency of single glazed units can be achieved with traditional exterior wood storm windows or contemporary interior magnetic storm glazing. c) Avoid removing or blocking up window openings that are important to the architectural character and symmetry of the building. d) New windows that are compatible with the original in terms of material, proportions, rhythm and scale is encouraged. e) Ramps may be permitted for barrier free access in accordance with applicable legislation, but shall not be physically attached to heritage building fabric. f) Protect and maintain entrances on principal elevations where they are often key elements in defining the character of a building. Conserve important features such as doors, glazing, lighting, steps and door surrounds. g) Where new entrances or exterior staircases are required, they should be installed on secondary elevations. 	<ul style="list-style-type: none"> a) Size, shape and configuration of original windows are retained. b) Storms for retained ground floor front windows. c) All window openings are retained. d) Windows comply with this guideline. e) No ramps are proposed. f) Main entrance is retained. g) Not applicable, no new locations for entrances.

STANDARDS AND GUIDELINES

OLD PORT CREDIT VILLAGE HERITAGE CONSERVATION DISTRICT PLAN 2018
6.0 - ADDITIONS ON CONTRIBUTING PROPERTIES

	Principal	Proposal
6.2.8	<p>Exterior cladding</p> <ul style="list-style-type: none"> a) Buildings on contributing properties are clad in traditional materials such as brick, stucco or wood siding. These materials are encouraged for new additions. b) Synthetic materials such as vinyl or aluminum siding are discouraged. Materials such as concrete fibre board and synthetic wood products will be considered on a case by case basis. c) Exterior cladding of addition should not clash with exterior cladding material of existing property. 	<ul style="list-style-type: none"> a) Complies b) Complies, vinyl siding to be removed. c) Compatible
6.2.9	<p>Style</p> <ul style="list-style-type: none"> a) Additions to contributing properties should complement the appearance of the building in a way that is true to its own time. They should echo contemporary architectural ideas but evoke the original spirit and take inspiration from existing heritage attributes. b) Consider modern or traditional styles, but avoid incorporating features that mimic historic features and pretend to be old. c) Ensure the addition does not overwhelm nearby properties. d) Consider the appropriateness of an existing historic addition, for example, a rear wing, in the design of a new addition. e) Build the addition to be as much structurally and mechanically independent from the contributing property's building as possible. 	<ul style="list-style-type: none"> a) Design elements in the arts and crafts style of the addition are compatible but different. b) The arts and crafts style of the addition is compatible and distinguishable from the original cottage. c) Addition is modest in size and scale. d) The small scale of the addition and original home, necessitates on mechanical system. Structurally the two constructions will be different.

MISSISSAUGA PROPERTY INFORMATION PAGE

Property Information

Mississauga's heritage, which extends over 10,000 years, includes archaeological resources, numerous residential, commercial and industrial buildings, views, vistas, ridge lines, scenic routes and a variety of natural heritage properties.

To view details about the inventory item, please click on the INV # link.

Property Details	Zoning Information	Building Permits	Development Applications	Committee of Adjustment	Heritage	Map It
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PROPERTY HERITAGE DETAILS

[View Another Property](#)

Please visit www.mississauga.ca/portal/discover/culture-planning-heritage for more information.

Address: 36 LAKE ST
Legal Description: PLAN 300W PT LOTS 3,4
Roll Number: 21-05-090-005-11000-0000

 [Print Friendly Page](#)

Heritage Status

Status: DESIGNATED UNDER THE TERMS OF THE ONTARIO HERITAGE ACT
Conservation District: OLD PORT CREDIT VILLAGE HERITAGE CONSERVATION DIST
Bylaw: 272-2004
Bylaw Date: 2004-06-23

Inventory Item

INV #	Property Name	Constructed	Decade	Demolished	Year Demolished
607	JOHNSON RESIDENCE		1850	N	

Designation Statement

This property is located within a heritage conservation district.

Property Information

All recognized heritage properties are listed on the City's Heritage Register. Some of these properties are designated under the Ontario Heritage Act. For more information visit [Heritage Planning](#).

Property Details	Zoning Information	Building Permits	Development Applications	Committee of Adjustment	Heritage	Map It
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PROPERTY HERITAGE DETAIL

[View Another Property](#)

Property Heritage Detail

Address: 36 LAKE ST
Type: RESIDENTIAL
Style: NEOCLASSICAL

Area: PORT CREDIT
Reason: ARCHITECTURAL HISTORICAL

 [Print Friendly Page](#)

Images



History

This is a low profile one-and-a-half storey frame structure with a enclosed porch along the front facade opposite J.C. Saddington Park. The small, modest structure is located on the corner of the lot, adjacent to John Street South and Lake Street, providing an anchor to the Lake Street streetscape. A small, shallow dormer protrudes from the front roofline. Behind the sunroom stands an early three-bay clapboard front wall where a two-over-two double sash window rests to either side of the central door. The house has a Neoclassical profile and a simplicity in its fenestration that suggest a date of construction in the mid-nineteenth century. A single building was recorded on Lot 3 north of Lake Street in the 1843 plan, but it was located right at the corner of Lake Street and John Street South. More closely matching the existing house is the illustration of a building on the 1910 fire insurance plan. In 1872 when James Peer, sailor, bequeathed Lot 3 to his children, there were buildings on the lot, one of which was probably the existing house. The Peer family owned Lot 3 from 1867 to 1900.

OWNERSHIP OF PROPERTY

Ownership Part of Lot 3 North Side Lake St West of Credit River PL PC1 (shown on PL 300)			
Date of Ownership	Owners	Family	Length of Ownership
Nov 15, 2017 (Current owner)			Ongoing
Dec 17, 2010 - Nov 15, 2017	Ryan Hunwicks Emily Katherine Keir	Hunwicks/Keir	Approx. 7 years
Aug 16, 1960 - Dec 17, 2010	Clare E. Johnson Laura D. Johnson	Johnson	Approx. 50 ¼ years
Aug 16, 1960	John Dykstra Kay Dykstra	Dykstra	1 day
Dec 30, 1950 - Aug 16, 1960	Muriel Player Raymond Player	Player	Approx. 9 ½ years
June 19, 1947 - Dec 30, 1950	John D. Harvey Elizabeth F. Harvey (Harrison)	Harvey	Approx. 3 ½ years
Feb 6, 1947 - June 19, 1947	Eric J. Kay	Kay	Approx. 4 ½ months
Feb 6, 1947	George A. Watson	Watson	1 day
Nov 20, 1942 - Feb 6, 1947	Edith H. Haney	Haney	Approx. 4 ¼ years

Nov 20, 1942	Mary A. Hill Jane A.M. Block	Hill/Block	1 day
May 19, 1897 - Nov 20, 1942	John C. Peer	Peer	Approx. 75 ¼ years
Aug 12, 1881 - May 19, 1897	Stephen L. Peer		
Jan 16, 1867 - Aug 12, 1881	James Peer		
Jan 16, 1867	Henry Shook Sr.	Shook	Approx. 7 years
Apr 23, 1859 - Jan 16, 1867	Henry Shook		
Jan 2, 1856 - Apr 23, 1859	Conrad Shook		
Oct 13, 1851 - Jan 2, 1856	Joshua Pollard (followed by James McLean)	Pollard/McLean	Approx. 4 ¼ years
Aug 11, 1848 - Oct 13, 1851	Thomas Woods	Woods	Approx. 3 ¼ years
Aug 11, 1848	Margaret McLean	McLean	

OWNERSHIP OF PROPERTY

Ownership Part of Lot 4 North Side Lake St West of Credit River PL PC1 (shown on PL 300)			
Date of Ownership	Owners	Family	Length of Ownership
Nov 15, 2017 (Current owner)			Ongoing
Dec 17, 2010 - Nov 15, 2017	Ryan Hunwicks Emily Katherine Keir	Hunwicks/Keir	Approx. 7 years
Aug 16, 1960 - Dec 17, 2010	Clare E. Johnson Laura D. Johnson	Johnson	Approx. 50 ¼ years
Aug 16, 1960	John Dykstra Kay Dykstra	Dykstra	1 day
Dec 30, 1950 - Aug 16, 1960	Muriel Player Raymond Player	Player	Approx. 9 ½ years
June 19, 1947 - Dec 30, 1950	John D. Harvey Elizabeth F. Harvey (Harrison)	Harvey	Approx. 3 ½ years
Feb 6, 1947 - June 19, 1947	Eric J. Kay	Kay	Approx. 4 ½ months
Feb 6, 1947	George A. Watson	Watson	1 day

Nov 20, 1942 - Feb 6, 1947	Edith H. Haney	Haney	Approx. 4 ¼ years
Nov 20, 1942	Mary A. Hill Jane A.M. Block	Hill/Block	1 day
Oct 3, 1927	Municipal Survey made under Instructions of Minister of Lands and under the Prooves of the Surveys Act		
March 3, 1908 – Oct 3, 1927	William John Peer	Peer	Approx. 40 ½ years
Feb 21, 1887 – March 3, 1908	Lewsi A. Peer Jane Peer (widow)???		
Feb 21, 1887	Wm. Robt. Crosby	Crosby	

BIBLIOGRAPHY

RESEARCH

Zoning By-law 0225-2007

<http://www.mississauga.ca/portal/residents/zoningbylaw>

Old Port Credit Village Heritage Conservation District Plan 2018

Prepare for the City of Mississauga by George Robb Architect, MHBC Planning, Wendy Shearer Landscape Architect and Historic Horizon Inc.

Peel Region Land Registry Office #43

Records for PT LT 3 N/S Lake St WCR PL PC1 (shown on PL 300) Port Credit; PT LT 4 N/S Lake St WCR PL PC1 (shown on PL 300) Port Credit as in PC11000; City of Mississauga

Mississauga Property Information Page, 36 Lake Street

https://www.mississauga.ca/portal/services/property?paf_portalId=default&paf_communityId=200005&paf_pageId=2700006&paf_dm=shared&paf_gear_id=6500016&paf_gm=content&paf_gear_id=6500016&action=heritage&heritageTab=yes&propDetailsTab=no&id=130626&addressId=220231&pin=null&rollNumber=2105090005110000000&redirectPage=1

and

https://www.mississauga.ca/portal/services/property?paf_portalId=default&paf_communityId=200005&paf_pageId=2700006&paf_dm=shared&paf_gear_id=6500016&paf_gm=content&paf_gear_id=6500016&action=heritage_desc&id=130626&addressId=220231&invId=638&heritageTab=yes&propDetailsTab=no

PAMA

- William Perkins Bull Family History File for the Peer Family,
- William Perkins Bull Family History File for the Johnson Family,

Mississauga Public Library, Port Credit Branch

- Heritage Preservation Feasibility Study of Old Port Credit Village Detailed Historical Research For Inventory of Historic Properties
- Heritage Status Report, 36 Lake Street
- Heritage Conservation Feasibility Study of Old Port Credit Village 2003

IMAGES

Photograph taken with 36 Lake Street in the background, August 1964

Source: Mississauga Public Library, Port Credit Branch, local history records

Photograph of the garage to the north under construction, taken in 1981

Source: Mississauga Historic Image Gallery

View from intersection of Lake Street and Front Street, 36 Lake Street visible on the corner.

Source: Google Streetview

<https://www.google.ca/maps/@43.5474339,-79.5844444,3a,75y,270.97h,88.98t/data=!3m6!1e1!3m4!1sAaWhpNLR-efOrl-oezmBPA!2e0!7i16384!8i8192>

MAPS

Google Maps

<https://www.google.ca/maps/place/Front+St+S+%26+John+St+S,+Mississauga,+ON+L5H+1A1/@43.5469744,-79.5856068,18.76z/data=!3m1!4b1!4m5!3m4!1s0x882b4674e8c6699f:0x25b4d5eb0971bfd3!8m2!3d43.5474401!4d-79.5845236>

Tremaine Map, County of Peel, 1859

<http://maps.library.utoronto.ca/cgi-bin/files.pl?idnum=1031>

Zoning map of 36 Lake St, Mississauga, City of Mississauga Zoning By-law Interactive Mapping

<http://mississauga.maps.arcgis.com/apps/Viewer/index.html?appid=eed5d7f2a921496baaaacb231b040fe7>

ALEXANDER TEMPORALE CV

Alexander L. Temporale, B.Arch., O.A.A., C.A.H.P., F.R.A.I.C.

Education

University of Toronto, B.Arch.

Background

Alexander Temporale has had a long history of involvement in heritage conservation, downtown revitalization, and urban design. As a founding partner of Stark Temporale Architects, Mr. Temporale was involved in a variety of restoration projects and heritage conservation studies, including: the Peel County Courthouse and Jail Feasibility Study, the Brampton Four Corners Study and the Meadowvale Village Heritage District Study. The study led to the creation of the first heritage district in Ontario.

His involvement and interest in history and conservation resulted in a long association with the heritage conservation movement, as a lecturer, resource consultant, and heritage planner. He was a member of the Brampton Local Architectural Conservation Advisory Committee, a director of the Mississauga Heritage Foundation, and chairman of the Mississauga LACAC Committee. As a member of LACAC, Alex Temporale was also a member of the Architectural Review Committee for Meadowvale Village. He is also a former Director of the Columbus Centre, Toronto and Visual Arts Ontario. Mr. Temporale has been a lecturer for the Ontario Historical Society on Urban Revitalization and a consultant to Heritage Canada as part of their "Main Street" program. In 1982, Alexander Temporale formed his own architectural firm and under his direction the nature and scope of commissions continued to grow with several major urban revitalization studies as well as specialized Heritage Conservation District Studies. His work in this field has led to numerous success stories. The Oakville Urban Design and Streetscape Guidelines was reprinted and used for approximately 20 years. The study of the Alexander Homestead (Halton Region Museum Site) led to the Museum's rehabilitation and a significant increase in revenue. The Master Plan reorganized the site and its uses, as well as facilitating future growth. During

this time, Alex received numerous awards and his contribution to architecture was recognized in 2007 in becoming a Fellow of the Royal Architectural Institute of Canada. Many projects have become community landmarks, received awards or been published. These include Lionhead Golf Clubhouse, Brampton; the Emerald Centre, Mississauga; St. David's Church, Maple; Gutowski Residence, Shelburne; Martin Residence, Mississauga and Stormy Point, Muskoka, to name a few.

Mr. Temporale is recognized at the OMB as an expert in urban design and restoration architecture. He is a member of the advisory committee of Perspectives, a journal published by the Ontario Association of Architects. He is a frequent author on design issues. He has also authored numerous urban design studies and heritage studies for a variety of municipalities i.e. Brantford, Grimsby, Brampton, Flamborough and Burlington. Below are other previous offices held:

Current Offices

The Ontario Association of Architects
Fellow of The Royal Architectural Institute
Member of ICOMOS
Member of APT
Director of the Right Angle Architectural Journal
Canadian Association of Heritage Professionals, Heritage Trust of Canada

Past Offices

CAHP Director, Chair of the Communications Committee
 Perspectives Editorial Committee, O.A.A.
 Jurist, 2010 Mississauga Urban Design Awards
 Chairman, Mississauga Heritage Committee
 Member of Meadowvale Heritage District Advisory Committee
 Director, Visual Arts Ontario
 President, Port Credit Business Association
 Director, Brampton Heritage Board
 Director, Mississauga Heritage Foundation
 Director, Columbus Centre
 Director, Villa Columbo, Toronto
 Resource Consultant, Heritage Canada's Main Street Program

Projects: Heritage & Urban Design Studies

> 3040 & 3048 Trafalgar Road Heritage Assessment, Oakville
 > 650 Sanatorium Road Heritage Assessment, Hamilton
 > 333 MacDonald Road Heritage Impact Assessment, Oakville
 > Locust Lodge, 2477 Queensway Heritage Impact Study, Burlington
 > 337-339, 349, 331 Trafalgar Road & 272 MacDonald Road Heritage Impact Assessment, Oakville
 > 6985 Second Line W Heritage Assessment, Mississauga
 > Cedarvale Community Centre Feasibility Study, Town of Halton Hills
 > 42 High Street Heritage Assessment, Sutton
 > 36 Church Street Heritage Assessment, Keswick
 > 1109 & 1115 Clarkson Rd N. Peer Review of Cultural Heritage Impact Statement, Mississauga
 > 3444 Trafalgar Road Heritage Assessment, Oakville
 > 114 Balsam Drive Heritage Impact Assessment, Oakville

> 332-338 Robinson St. Heritage Impact Assessment, Oakville
 > 104 Burnet St. Heritage Assessment, Oakville
 > High Park Forest School Retrofit Feasibility Study, Toronto
 > 2494 Mississauga Road Heritage Impact Assessment, Mississauga
 > 1187 Burnhamthorpe Road East Heritage Assessment, Oakville
 > 103 Dundas Street Heritage Assessment, Oakville
 > 3060 Seneca Drive Heritage Assessment, Oakville
 > 491 Lakeshore Road (Captain Morden Residence) Heritage Assessment, Oakville
 > 2347 Royal Windsor Drive Heritage Assessment, Oakville
 > 107 Main St. E. Heritage Assessment, Grimsby
 > 74 & 76 Trafalgar Road Heritage Assessment, Oakville
 > 7005 Pond Street Heritage Assessment, Meadowvale
 > 7015 Pond Street (Hill House) Heritage Assessment, Meadowvale
 > 44 & 46 Queen Street South Heritage Assessment, Streetsville
 > Fred C. Cook Public School Heritage Assessment, Bradford West Gwillimbury
 > 265 Queen Street South (Bowie Medical Hall) Heritage Assessment, Streetsville
 > Heritage Impact Statement, Trunk Sewer at Harris Farm, Mississauga
 > Harris Farm Feasibility Study, City of Mississauga
 > Benares Condition Assessment Report, City of Mississauga
 > Lyon Log Cabin Relocation, Oakville, Ontario
 > 42 Park Avenue Heritage Assessment, Oakville, Ontario
 > The Old Springer House Heritage Assessment, Burlington, Ontario
 > 2625 Hammond Road Heritage Impact Study, Mississauga, Ontario
 > 153 King Street West Heritage Assessment, Dundas, Ontario
 > Brampton Civic Centre Study, Brampton, Ontario
 > 139 Thomas Street Heritage Impact Study, Oakville, Ontario
 > Historic Alderlea Adaptive Reuse and Business Case Study, Brampton, Ontario
 > Trafalgar Terrace Heritage Impact Study, Oakville, Ontario

- > Binbrook Heritage Assessment, Glanbrook, Ontario
 - > Canadian Tire Heritage Assessment, Mississauga, Ontario
 - > Fergusson House Heritage Assessment, Burlington, Ontario
 - > Bodkin Residence Heritage Assessment, 490 Brant Street, Burlington, Ontario
 - > Hannon Residence Heritage Assessment, 484 Brant Street, Burlington, Ontario
 - > Fuller Residence Heritage Assessment, 8472 Mississauga Road, Brampton, Ontario
 - > Donald Smith Residence, Heritage Assessment, 520 Hazelhurst Road, Mississauga, Ontario
 - > Historic Alderlea Due Diligence Study, Brampton, Ontario
 - > 11953 Creditview Road Heritage Assessment, Chinguacousy Township, Brampton, Ontario
 - > Oakville Harbour Marina Building Study, Oakville, Ontario
 - > 111 Forsythe, OMB Urban Design Consultant, for the Town of Oakville
 - > Trafalgar Village Redevelopment, Urban Design Consultant, Town of Oakville
 - > Eagle Ridge (Three Condominium Towers) Development, Urban Design Consultant
 - > Trafalgar Market Redevelopment, Urban Design Consultant, Town of Oakville
 - > St. Mildred Lightbourne School Expansion, Urban Design Consultant, Town of Oakville
 - > OPP Academy (Art Deco Heritage Building), Feasibility Study, City of Brampton
 - > Kennedy Road, Victorian Farmhouse Study, City of Brampton
 - > Chisholm Estate Feasibility Study, City of Brampton
 - > Urban Design Guidelines, Hurontario / 403, Housing for Ontario Realty Corp., Mississauga
 - > Urban Design Guidelines for Infill Development, Town of Oakville
 - > Urban Design Study Canadian General Tower Site, Oakville
 - > Port Credit Storefront Urban Design Study (Townpride)
 - > Port Credit Streetlighting Phases I and II, Lakeshore Road
 - > Victoria Park Square Heritage District Study, Brantford
 - > Bullock's Corners Heritage Conservation District Study, Town of Flamborough
 - > Urban Design Study for the Town of Grimsby Downtown Area
 - > Burlington East Waterfront Study
 - > Brant Avenue Heritage Conservation District Study, Brantford
 - > Oakville Downtown Urban Design and Site Plan Guidelines Study
 - > Burlington Downtown, Urban Design and Façade Improvement Study
 - > Clarkson Village Community Improvement Study as a member of the Townpride Consortium
 - > Richmond Hill Downtown Study, as a member of the Woods Gordon Consortium
 - > Heritage Building, 108 – 116 Sparks Street, Ottawa, Feasibility Study for National Capital Commission
 - > Niagara Galleries Project, Niagara-on-the-Lake, Design Concept/Feasibility Study
 - > Erindale Village Urban Design Study (Stark Temporale)
 - > Brampton Four Corners Urban Design Study (Stark Temporale)
 - > Aurora Library/Public Square Study (Townpride)
 - > Oakville Dorval Glen Abbey Study of High Density Residential
 - > Halton Regional Museum Feasibility Study and Master Plan Phase I construction including conversion of the Alexander Barn to Museum and Exhibits Building to Visitor Centre.
 - > Historic Meadowvale Village Inventory/Heritage Assessment Study (Stark Temporale)
- Projects: Heritage/ Restoration
- > Lowville School House Rehabilitation, Burlington
 - > Auchmar Coach House Rehabilitation, Hamilton
 - > Locust Lodge, 2477 Queensway, Burlington
 - > Fuller Residence Tower Restoration and Preservation, Brampton
 - > 164 & 166 Main Street Rehabilitation, Brampton
 - > 264 Queen Street Rehabilitation, Mississauga
 - > St Mark's Church Restoration/Rehabilitation, Hamilton
 - > Pinchin Barn Foundation Repairs & Landscape Improvements, Mississauga
 - > Stewart Memorial Church Heritage Grant Application Package, Hamilton
 - > 126-128 Lakeshore Road East Façade Restoration, Oakville
 - > Oakville Radial Railway Station, Contract Drawings, May construction start, Oakville
 - > 505 Church and Wellesley, Schematic Design, Rehabilitation and Addition, Toronto

- > Adamson House Roof Repair, Mississauga
- > Restoration/Maintenance of 4 City of Mississauga Properties, Adamson Estate, Benares Historic House, Derry House and Chappell Estate
- > Holcim Waterfront Estates Banquet and Conference Facility (Bell Gairdner Estate), City of Mississauga, Ontario
- > Historic Bank of Montreal Building, Restoration and Addition, Oakville, Ontario
- > The Old Springer House Renovation and Replacement of Existing Banquet Hall, Burlington, Ontario
- > Fergusson House Restoration, Burlington, Ontario
- > Bovaird House Window Restoration, Brampton, Ontario
- > Vickerman Residence Renovations Design, Oakville, Ontario
- > Ontario Agricultural Museum, Master Plan Revisions (Stark Temporale with Prof. Anthony Adamson)
- > Restoration of Lucas Farmhouse and Women's Institute (Stark Temporale with Prof. Anthony Adamson).
- > Backus Conservation Area, Master Plan of Historical Museum (Stark Temporale)
- > Peel County Courthouse & Jail Feasibility Study (Stark Temporale)
- > Port Credit Streetscape Improvements (Stark Temporale)
- > Miller Residence, Stone Farmhouse, Brampton (Stark Temporale)
- > Salkeld Residence, Brick, Late Victorian, Brampton (Stark Temporale)
- > Bridges Residence, Brick, Late Victorian, Brampton (Stark Temporale)
- > Graff Residence, Brick, Late Victorian, Brampton (Stark Temporale)
- > Sheridan Day Care Centre, Late Victorian Farmhouse (Stark Temporale)
- > St. Paul's Church Renovation/Restoration, Brampton (Stark Temporale)
- > McInnis Residence, Second Empire Style Renovation/Addition, Brampton (Stark Temporale)
- > Shore Residence, Main Street, Victorian Addition/Renovation Brampton (Stark Temporale)
- > Watts Residence, Late Victorian, Renovation and Addition, Brampton

- > Faculty Club Renovations and Interiors, Heritage Building, University of Toronto
- > Cawthra Elliot Estate Conference Centre (Feasibility Study; Restoration and Renovations), Mississauga
- > Springbank Centre for the Visual Arts, Renovation Phases I-IV, Mississauga
- > Wilcox Inn Renovations and Restoration, Mississauga
- > Chappel Riverwood Estate, Restoration and Alterations Concepts for residential use
- > Thomas Street Mews, Streetsville, conversion of existing heritage residence to shops
- > Owens-Baylay House, Mississauga, relocation and renovation to designated Century Farmhouse
- > Queen Street Store, Streetsville, exterior restoration and renovations/addition
- > Atchinson Residence, Brick Late Victorian, Brampton
- > Cameron Residence, Design Victorian, Brampton
- > Reid Residence, Victorian Farmhouse, Caledon
- > Stonehaven Farm, restoration of stone heritage building, Ajax
- > National Competition: Spark Street Mall (Honourable Mention)
- > Strathrobyn Feasibility Study and Restoration Project, Defence Canada, Toronto
- > Medical Arts Building, Toronto, Feasibility Study and Restoration of Art Deco Lobby
- > Heritage Strategy for City of Brampton re Municipality owned heritage buildings.
- > Greenwood Residence, 1830's Renovation/Additions, Oakville
- > Reynolds Street, Heritage District 1940's Cape Cod Style Renovation/Addition, Oakville
- > Gray Residence, 1940's Cape Cod Style Addition/Renovation, (twin of Reynolds Street).
- > Uxbridge Museum Visitor Centre Design, Town of Uxbridge

Recent Awards

- 2015 City Brampton Urban Design Awards, Award of Merit Commercial/Mixed Use Project, Hurontario and Steeles
- 2014 Lieutenant Governor's Ontario Heritage Trust Award for Excellence in Conservation, Holcim Waterfront Estate, Mississauga

- 2014 Mississauga Urban Design Awards, Award of Merit for Long Term Strategy and Innovation, Holcim Waterfront Estate, Mississauga
- 2013 Cultural Heritage Property Award - Heritage Mississauga, Award of Excellence, Holcim Waterfront Estate, Mississauga
- 2013 Oakville Livable by Design 2013 Awards, Citation, Award of Excellence, Historic BMO (Anthropologie)
- 2013 CAHP Awards, Award of Merit in Heritage Planning – Adaptive Reuse Study, Alderlea Heritage Estates
- 2013 The Heritage Canada Foundation, Ecclesiastical Insurance Cornerstone Award for Building Heritage, the Adaptive Use and Rehabilitation of the Historic BMO Building
- 2012 Brampton Urban Design Awards, Citation, Most Promising Project, Unipetro
- 2012 Interiors Magazine, Best of the Year Awards, Award of Merit
- 2012 CAHP Awards, Award of Merit, Canadian Tire Gas Bar, Mississauga
- 2011 Design Exchange Award, Honourable Mention, Montgomery Youth Centre, Toronto
- 2007 Mississauga Urban Design Award, Cracovia Square
- 2004 Town of Oakville Urban Design Award, Greenwood Residence (Heritage Property)
- 2002 Masonry Design Award, Kennedy Youth Centre
- 2002 Town of Oakville, Urban Design Award, Bronte Beach Pavilion
- 2000 Town of Oakville Urban Design Award, Wyndham House (ATA Architect Inc., Urban Design Consultant to the Town of Oakville – Hicks-Pettes Architects Inc., Architect of Record/Award Recipient)
- 1998 Town of Oakville Urban Design Award of Excellence, The Towne Square (Urban Design Consultant – Stone Kohn McQuire Vogt, Architect of Record/Award Recipient)
- 1998 Town of Oakville Urban Design Award of Excellence, Bray's Lane (Urban Design Consultant–Ontario Realty Corp.–Borgon Petroff, Architect of Record/Award Recipient)
- 1997 City of Brampton Gold Leaf Award, Lionhead Golf Club
- 1991 Financial Post Design Effectiveness Award of Merit, Lionhead Golf Club
- 1990 Mississauga Urban Design Citation, Queen and James Streets Mixed Use Project, Infill project in historic Streetsville area of Mississauga
- 1990 Urban Design Institute Award of Excellence, Emerald Centre for office buildings.
- 1990 Urban Design Institute Award of Excellence, for Airport Executive Centre, Commercial Court for office campus.
- 1988 Mississauga Urban Design Awards, Citation, Richards Memorial Pumping Station
- 1988 Brampton Development Design Awards, Award of Merit, Conestoga Square Shopping Centre
- 1986 Ontario Renews Awards, Honourable Mention, Hammond Residence, Toronto
- 1986 Beautify North York Award, Pusateri's Market
- 1985 Mississauga Urban Design Award, Citation, Froebel Foundation School
- 1985 Mississauga Urban Design Award, Citation, Erinpark Town Offices
- 1985 Sparks Street Mall, Ottawa; National Competition Honourable Mention
- 1984 Ontario Renews Awards, Honourable Mention Watts Residence Addition, Brampton
- 1984 Mississauga Urban Design Awards, Citation Martin Residence Addition/Renovation, Mississauga

Publications

2016, March	"Glass and the 2030 Challenge – Exploring Experimental Glazing Strategies" Construction Canada	2009 Spring	Garners Clientele Across Assorted Sectors", Canadian Builders Quarterly
2016, February	"Gusty Design – Architects Alex Temporale and Mark Driedger used wind tunnel studies to calibrate the look of a home built on a blustery strip of land" Globe and Mail	2008 Summer	"GTA OMB News" 809 Brant Street, NRU Greater Toronto Area Edition
2016, January	"Officials cut ribbon on \$20 million North Oakville Medical Centre" Oakville Beaver	2008 Summer	"Design Excellence Awards, Ten Thoughts for Consideration", Perspectives
2015, Winter	"Heritage Thresholds - Ghost Houses" OAA Perspectives	2008 Spring	"One With the Land" Leggett Cottage, Muskoka & Georgian Bay Retreats
2015, March	"Holcim Estate restoration earns Ontario Heritage Award" Oakville Beaver	2007	"New Muskoka Style, High End Leisure Homes Move to Subtle Designs Blended Seamlessly Into the Landscape" Leggett Cottage, West of the City
2014, May	"Glazing Performance and Sustainable Design" Construction Canada	2007 Fall	"Organic Architecture" Gutowski Residence, Canadian Homes and Cottages
2013, Winter	"The Chirstie Antique Show (A Pop-up Village)", Perspectives	2006	"Ontario Places – Citation Motors, Oakville", OAA Perspectives
2013, Dec	"Banking on History, ATA Architects Demonstrates its excellence with BMO restoration", Oakville Magazine	2006 Fall	"Muskoka Adventure – Contemporary Meets Traditional" – Stormy Point, Canadian Homes and Cottages
2013, Sept	"Holcim Waterfront Estate gears up for spring opening", Mississauga.com	2005 Winter	"Critical Architectural Issue – Vision Architectural Advocacy and Education, the Environment, Urban Design and Now", OAA Perspectives
2013, May	"Local firm designs new hospital medical building", Oakville Beaver	2005	"Oakville and Burlington Waterfronts", OAA Perspectives
2012, Nov 9	"Modernism preserved in a Canadian Tire gas bar", The Globe and Mail, Canadian Tire Gas Bar, Southdown Road		"A Primer for the Renovation/Rehabilitation of Older Historic Schools Western Technical School" (Sponsored by Natural Centre for Preservation)
2012, Oct 30	"Architect honoured for role in saving historic site", Mississauga News, Canadian Tire Gas Bar, Southdown Road		
2012, May/Jun	"A bang-up job, ATA Architects Inc. turns a derelict indoor rifle range into a dynamic youth centre.", Canadian Interiors, Don Montgomery Youth Centre		
2012 Feb	"Wall Assemblies and Reality", SAB Magazine		
2011 Spring	"A Modern Classic", Homes and Cottages, Brooker Residence		
2011 Spring	"Spanning the Generation", Homes and Cottages		
2010 Summer	"Getting to the Top of the Awards Pile, A Practitioner's View", Perspectives		
2010 Spring	"Forest Manor Public School", Steel Design		
2009 Nov/Dec	"ATA Architects Sustainable Design", Canadian Builders Quarterly		
2009 Fall	"ATA Architects Inc. Appreciation of Natural Environment and Clients' Needs		



COMMITTEE OF ADJUSTMENT NOTICE OF PUBLIC HEARING

File: "A" 166/19
Ward 1

The Committee has set **Thursday May 9, 2019 at 1:30 pm** in the **Mississauga Civic Centre, COUNCIL CHAMBERS**, 2nd Floor, 300 City Centre Drive, Mississauga, Ontario for the public hearing on the following matter:

are the owners of 36 LAKE STREET zoned R15-1 - Residential. The applicants request the Committee to approve a minor variance to allow the construction of an addition and renovations on the subject property proposing:

- 1. A front yard of 3.91m (approx. 12.83ft) whereas By-law 0225-2007, as amended, requires a minimum front yard of 5.00m (approx. 16.40ft) in this instance; and**
- 2. A flat roof of 63% of the roof area whereas By-law 0225-2007, as amended, permits a maximum flat roof area of 50% of the roof area in this instance.**

This notice is sent to you because you are the applicant, the authorized agent or the assessed owner of a neighbouring property within 60m (200ft) of the subject property. Should you have any comments on the application, you are invited to attend the public hearing to express your views. If it is inconvenient for you to attend the hearing, signed written submissions shall be accepted by the Secretary-Treasurer by fax at (905) 615-3950 or by e-mail at committee.adjustment@mississauga.ca. Please include your name, your address and application number or address of the property you are providing comments on. **To allow all Committee members the opportunity to review and consider your comment in advance of the hearing please submit all comments no later than the Monday before the hearing.**

If you wish to be notified of the decision of the Committee you must submit a written request to the Secretary-Treasurer. This will also entitle you to be advised of any future Ontario Municipal Board proceedings.

For more information on this matter visit www.mississauga.ca/portal/residents/cofa, call 905-615-3200 x2408, or email committee.adjustment@mississauga.ca.

Your comments are collected under the legal authority of the Planning Act R.S.O. 1990, Chapter c.P.13, as amended. Your comments regarding this application become the property of the City of Mississauga and will become part of the decision making process of the application. Pursuant to Section 27 of the Municipal Freedom of Information and Protection of Privacy Act, R.S.O. 1990, c.M56, as amended, public feedback to planning proposals is considered a public record and will be disclosed to any individual (including being posted on the internet) upon request in accordance with Section 27 of the Municipal Freedom of Information and Protection of Privacy Act, R.S.O. 1990, c.M56, as amended. Questions about this collection should be directed to the Secretary-Treasurer, Committee of Adjustment, Office of the City Clerk, 300 City Centre Drive, Mississauga ON L5B 3C1 or (905) 615-3200 x2408.

City of Mississauga

Corporate Report



Date: 2019/04/16

To: Chair and Members of Heritage Advisory Committee

From: Paul Mitcham, P. Eng, MBA, Commissioner of
Community Services

Originator's files:

Meeting date:
2019/05/07

Subject

Request to Alter a Heritage Designated Property: 58 Lake Street (Ward 1)

Recommendation

1. That the request to alter the heritage designated property at 58 Lake Street, as per the Corporate Report from the Commissioner of Community Services, dated April 16, 2019 be approved.
2. That if any further changes result from other City review and approval requirements, such as but not limited to building permit, committee of adjustment or site plan approval, a new heritage permit application may be required. The applicant is required to contact heritage planning at that time to review the changes prior to obtaining other approvals and commencing construction.

Background

The City designated the Old Port Credit Village Heritage Conservation District (HCD) under Part V of the Ontario Heritage Act in 2004. The 2004 plan remains in effect due to a Local Planning Appeal Tribunal (LPAT) appeal. The subject property is included in the district and identified as a "historic" building in the plan. As such, the property is subject to the heritage permitting requirements outlined in the plan for this classification. The owner of the property proposes a single storey rear addition and side porch, as outlined in the Heritage Impact Assessment attached as Appendix 1.

Comments

The proposed addition is at the rear and a single storey, thereby giving prominence to the main 1.5 storey house. It is to be sheathed in horizontal wood siding with a series of windows that are flat headed and taller than they are wide. These details are consistent with the Old Port Credit Village Heritage Conservation District Plan guidelines. The proposed alteration is sensitive to the character of the property and the HCD and should be approved.

Financial Impact

There is no financial impact resulting from the recommendation in this report.

Conclusion

The owner of the subject property proposes a single storey rear addition to a 1.5 storey house. The proposal is complementary to the existing dwelling and complies with the HCD plan; it should therefore be approved.

Attachments

Appendix 1: Heritage Impact Assessment



Paul Mitcham, P. Eng, MBA, Commissioner of Community Services

Prepared by: P. Wubbenhorst, Heritage Planner



HERITAGE IMPACT ASSESSMENT

58 LAKE STREET

MISSISSAUGA, ONTARIO

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- 4.1 Regulation 9/06, Ontario Heritage Act
 - 4.1.1 Does the property meet the criteria for designation
 - 4.1.2 Provincial Policy Statement - 2014

5.0 Qualifications

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- 5.2 References

1.0

GENERAL INFORMATION

Name(s)

1.11 Historic Place Name

- Mark Blower [Jr.] residence

1.12 Other Name(s)

- none

Recognition

1.21 Authority

- City of Mississauga

1.22 Inventory Code

- #798

Location

1.31 Address

- 58 Lake Street

1.32 Postal Code

- L5H 1A3

1.33 Lower Tier

- City of Mississauga

Coordinates

1.41 Latitude

- 43° 32' 47.3" north

1.42 Longitude

- 79° 35' 8.8" west

Boundaries

1.51 Lot

- Plan 300 W, Lot 8, north of Lake Street

1.52 Property Area

- 367.77 m²

1.53 Depth

- 18.29 m

Zoning

1.61 Zoning

- R15-1

1.62 Status

- designated under Part V of the Ontario Heritage Act, June 2004

1.63 Bylaw

- 272-2004

2.0

GENERAL REQUIREMENTS

2.1 Detailed site history

2.1.1: listing of owners from the Land Registry Office

mortgage to John Graydon: Mark Blower [Jr.], et ux: 15 January, 1896
 discharge of mortgage: Mark Blower [Jr.]: 7 December, 1901
 grant: Thomas Blower, et ux: 23 June, 1928
 grant: Stephen L. Peer: 18 March, 1939
 B&S: Robert and Ida Wells: 2 October, 1953
 B&S: Derek Culbard: 12 August, 1988
 current owner – name withheld, in compliance with the Freedom of Information and Protection of Privacy Act (R.S.O. 1990, c. F.31)

2.1.2: A history of the site use(s)

Old Port Credit

The subject property is in a heritage conservation district (south of Lakeshore Road West, between the Credit River and Mississauga Road South). This area contained some of the oldest homes in Port Credit and in Mississauga. The British crown purchased the “Mississauga Tract”, from Etobicoke Creek to Burlington Bay southward from today’s Eglinton Avenue, from the Mississauga Nation in August 1805, but the Mississaugas maintained exclusive rights to the land for one mile (~1.6 km) on both sides of the Credit River. The subject property is located on land that was part of this Credit Indian Reserve.

The Mississauga sold most of this ~3.2 kilometre strip to the British crown in February 1820 but the CIR remained wilderness until 1834 when British investors, anxious to profit from the potential trade at the mouth of the Credit, requested that the Colonial Office prepare a survey for a village at the mouth of the river. Crown surveyor Robert Lynn surveyed the streets that now form today’s heritage conservation district (including the subject property) in 1834. It was not until 1837 that a revised version of Lynn’s survey was approved by the Crown. With this done, British investors formed a partnership with the councilors of the Credit Mississauga Reserve to build the first harbour in Toronto Township.

Plan 300W, Lot 8 north of Lake Street.

The earliest surviving homes in the Old Port Credit Village Heritage Conservation District were built around in the 1840s and 1850s. However many of the lots in the village were slow to sell, and this appears to have been the case with the subject property.

The Peel County land registry records, Book A shows no sales or grants of land at all for Plan 300W, Lot 8 north of Lake Street. It is not until Book B that the first record appears for this land. The first entry is a mortgage to Mark Blower from land developer and homebuilder John Graydon of Streetsville, dated January 15, 1896. This is the earliest indication of a residence on the subject property, although parish records suggest that the Blowers were settled somewhere in Port Credit by 1850. Mark Blower’s birth certificate states that he was born in Port Credit in 1854 – 42 years before he was issued a mortgage for the subject property.

A structure does appear on the subject property on Goad's 1910 fire insurance plan for Port Credit.

Blower's mortgage for the subject property included not only Lot 8 north of Lake Street (the subject lot) but also the neighbouring lot to the east – Lot 7; which is now 56 Lake Street. On September 3, 1923, through Instrument 23737, Mark Blower (Jr.) and his wife ("et ux" in the registry record), Mary Jane (née, Hogan) sold "part of" (approximately half) of Lot 7 North of Lake Street, Plan 300W, by means of a Bargain and Sale deed to Francesco and Veneranda Brogna for \$3,000.

Lot 8, the subject property, remained with the Blowers. In June 1928, four years before Mark Blower died, he granted the property to his second son Thomas Blower. In 1939, three years before his death, Thomas Blower granted the land to his cousin, Stephen Lester Peer.

The property remained in the Peer family until 1953, when Robert Wells (an electrical engineer) and his wife Ida purchased 58 Lake Street.

Artist Derek Culbard purchased the property in 1988. He was a member of the *Friends of Old Port Credit Village*, which helped to encourage residences in the current Old Port Credit Village Heritage Conservation District to support Part V designation of the neighbourhood in 2004.

No information is provided here for the current property owner, in compliance with the Freedom of Information and Protection of Privacy Act.



*58 Lake Street,
circa 1980.*

2.2 Complete listing and full written description of property

The subject property is located on the north side of Lake Street, between Peter Street South and Mississauga Road South, in the City of Mississauga.

The property is 357.77 m², with a 19.56 metre frontage. The main residence is very close the edge of the sidewalk, encroaching on the legal south property line.

There is a wooden deck leading out from the rear (north) end of the main residence. There is a small wooden shed to the rear of the property.

Structures

The main residence is the only structure on the property with a foundation.

There is a modern wood shelter/tool shed in the back yard.

Building Materials

The main residence is of wood-frame construction. The foundation is concrete. The roof shingles are asphalt.

Building Elements

The main residence is a storey-and-a-half wood-frame home of approximately 85.25 m². Typical of wood-frame homes of its vintage, the house is in a T-shape pattern, with a lengthwise front section, with a rear, crosswise extension. The extension is almost as wide as the front section, giving the home a generally rectangular plan. A one-storey forward extension, likely a porch that was enclosed at an undetermined date, is located at the front of the residence. The roofs are gabled, and there is a small gabled dormer extending southward from the upper half-storey. A small rear entrance, set nine metres in from the south (front) property line, and extending a short way out from the west facade is also present. The house has a relatively high concrete foundation.

Architectural and Interior Finishes

The main residence has a generally plain appearance, consistent with the older, modest wood-frame homes in the Port Credit Heritage Conservation District, but the residence otherwise retains the modest pre-WWI character of small single family dwellings in the HCD. The interior was modernized over the years

Natural Elements

There is one large maple tree at the northwest corner of the property.

Landscaping

There is some ad hoc stonework to the rear of the property.

Archaeological Resources

No formal archaeological survey has been done on the property.

2.2.2: Chronological history of the property

Thomas Blower, Jr. is identified in land registry records as the first owner of the subject property, but the history of the Blower family in Port Credit begins with his father, Thomas Blower, Sr.

Thomas was born in Yorkshire, UK in 1829 and moved with his family to Dixie in 1833.

He married Emily Gerling of Port Credit in 1850.

Thomas owned a lakeboat, named *Catherine Hay* (known by fellow boat captains in Port Credit as “*The Kate*”). According to the recollections of Captain Al Hare (a lifetime resident of Port Credit who knew Thomas when Al was a child), Thomas earned a living shipping fuelwood (that was floated downstream on the Credit River) to markets in Toronto and Hamilton.

In 1869, while Emily was pregnant with their eight child, Thomas died, leaving Emily with a large family and no means of support (in the days before social security) other than *Catherine Hay*.

The eldest son, Thomas Junior (the first owner of the subject property) was only 16 at the time his father died, so local tradition tells that Emily became the first female captain in Port Credit’s rich marine history. (Some sources state Emily was the first woman in Canada to have a commercial boat registered in her name, but this cannot be confirmed.) Either way, Al Hare remembers “seeing Emily Blower wading waist deep in lake water, her black skirt ballooning up around her with the air it held, while she helped the little boys load the box-like scow in which they had to ferry the stone out to the empty *Catherine Hay*, anchored as close into shore as they dared to bring her.”

Each of the sons (and presumably daughters) helped out as they grew older.

Mark Blower, 1854-1932

Thomas Blower, 1856-1909

Joseph Blower, 1858-1909

Rachel Blower, 1860-?

James Blower, 1863-?

George Blower, 1866-1928

Martha Ann Blower, 1867

Abraham Blower, 1869-1908,

As Emily got older, Mark took on more of a leadership role. It is likely Mark who made the transition from general cargo shipping to stonehooking.

Hard gray shale, which can be found on the bottom of Lake Ontario in the Port Credit area, became a much-demanded construction material for large buildings in Toronto and Hamilton. (The foundation and base of the provincial legislative building in Toronto is made partially of Port Credit shale. Queen’s Park was built during the years Mark Blower commanded the *Catherine Hay*).

The residence on the subject property is well known locally as the “Emily Blower house”, even though it was registered in her son’s name, and only after she died.

Again, Al Hare recalls that Emily lived in this house under the care of her eldest son and his wife Mary Jane (née, Hogan), but Emily died in 1896 – the same year that the first record appears for the subject property. It is possible that the blank Book A entry for this property is in error, or was a blank replacement of a lost page from Book A, and that the house predates 1896. It is not possible to match Captain Al Hare’s recollections with the official land registry record, leaving some

doubt as to whether the residence on the subject property is older than 1896.

Mark and Mary Jane had six children in this home. As shale resources depleted, and demand declined with the increased use of Portland cement, Mark's sons Thomas, George and Abraham ("Abe") became commercial fisherman on Lake Ontario on a smaller, more versatile vessel, *Reindeer*.

As stonehooking faded, Mark Blower converted his stonehooker into a pleasure craft, *Olympia*, in 1915 and used this to take tourists up the Credit River, as far as the Mississauga Golf and Country Club.

At Mark Blower's funeral in 1932, fellow lakeboat captain Abram Block recalled how Emily instilled a strong moral influence on her sons, and how she infused them with a strong work ethic and dedication to family and their community.

Stephen Lester Peer, cousin of Thomas Blower, was granted the property in 1939. Peer had a residence at 38 John Street South, and used the subject property as a rental property.

The property was sold to Robert and Ida Wells in 1953. They occupied the home to 1988, when it was sold to Derek Culbard.

The property owner in 2009 applied for and was approved for a heritage property grant to replace beams and to reinforce the floors of the residence.

2.2.3: Conclusions regarding the significance and heritage attributes

The property identified as 58 Lake Street, Mississauga is defined in the Old Port Credit Village Heritage Conservation District Plan, by George Robb Architect as one of 41 properties in the Port Credit Heritage Conservation District to be of "historic interest". Based on the Update of this report in February 2018, this house is now categorized as being a "contributing" property.

The construction date for this house is uncertain. Local tradition states the Blower family may have lived on this property for many years before the first official land registry record entry which dates the mortgage for the property to 1896.

2.2.4: Location

The subject property is located in the Old Port Credit Village Heritage Conservation District, on the north side of Lake Street between Peter Street South and Mississauga Road South.

Existing land use

The property is zoned R15-1.

Zoning and land use of adjacent properties

The properties to the north, east and west are all zoned R15-1.

The property to the south of the subject property, on the opposite side of Lake Street, is Saddington Park. It is zoned Open Space. A parking lot for the park is directly across from the subject property.

GRANTED	GRANTED	QUANTITY	DATE
Lot 8			
Mark Blower et al	John Graydon	7/4	NOV 2 1936
John Graydon	Mark Blower		NOV 2 1936
Mark Blower	Thomas Blower	1/4	1 1/2 1/2
Mark Blower et al	Eyrie W. Bark	54 1/2 ft 2 300	
Eyrie W. Bark et al	Mark Blower et al	12 00	JUN 1 1936
Jessie A. Blower et al	James J. Blower	1/4	
James J. Blower	James J. Blower	12 00	
Eyrie W. Bark et al	Lill Stone	12 00	
Mark Blower et al	John W. Blower	12 00	JUN 1 1936
Mark Blower et al	Frank Brogna	300 0	Y.O.R
John W. Blower	Lill Stone	1/4	JUN 1 1936
Municipal Survey	Stephen L. Kerr	made under instructions of Minister of Lands & Under Thomas Blower	
Thomas Blower et al	Stephen L. Kerr	1/4	1/4 1/2 1/2
Mark Blower et al	Thomas Blower	1/4	1/4 1/2 1/2
Thomas Blower et al	Stephen L. Kerr	1/4	1/4 1/2 1/2

Land registry record;
Book B, bottom of page.

PARCEL REGISTER (ABBREVIATED) FOR PROPERTY IDENTIFIER

PAGE 1 OF 1

LAND

REGISTRY

OFFICE #43

13488-1190 (LT)

PREPARED FOR RICHARD COLLINS

ON 2018/05/11 AT 09:35:53

* CERTIFIED IN ACCORDANCE WITH THE LAND TITLES ACT *

SUBJECT TO RESERVATIONS IN CROWN GRANT *

PROPERTY DESCRIPTION

PT LT 8 N/2 LAKE ST WCR PL PC1 (SHOWN ON PL 300) PORT CREDIT PT 1 43R16061; MISSISSAUGA

PROPERTY REMARKS

ESTATE/QUALIFIER

FEE SIMPLE

LT CONVERSION QUALIFIED

RECENTLY

RE-ENTRY FROM 13488-2288

FIN CREATION DATE

1999/03/25

CAPACITY

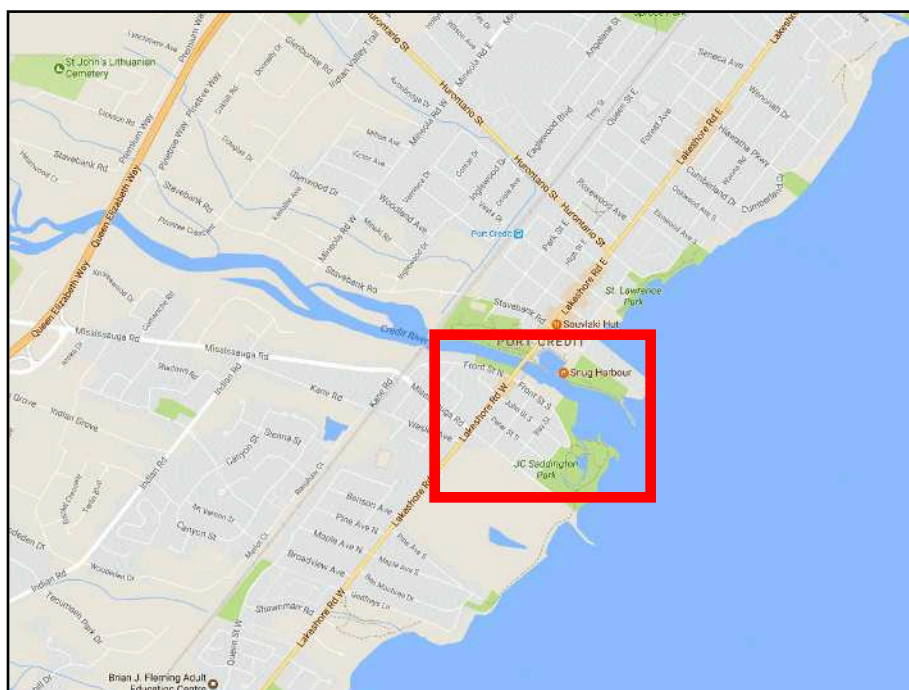
SHAPE

BORN

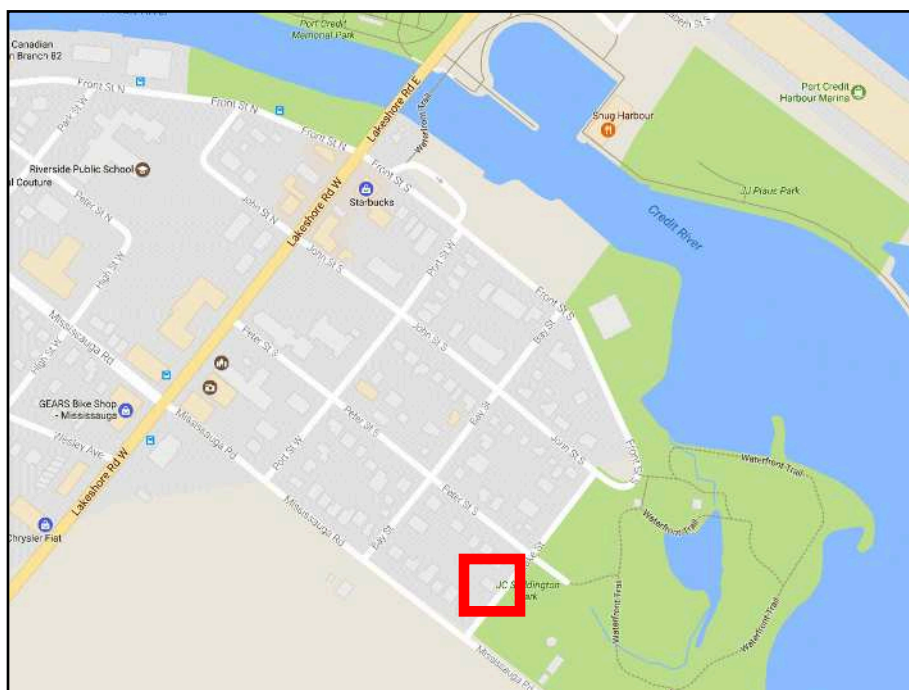
REG. NUM.	DATE	INSTRUMENT TYPE	AMOUNT	PARTIES FROM	PARTIES TO	CERT/CHRD
<div> <div>**EFFECTIVE 2000/07/29 THE NOTATION OF THE "BLOCK IMPLEMENTATION DATE" OF 1997/09/23 ON THIS PIN**</div> <div>**WAS REPLACED WITH THE "FIN CREATION DATE" OF 1999/03/25**</div> <div>** PRINTOUT INCLUDES ALL DOCUMENT TYPES (DELETED INSTRUMENTS NOT INCLUDED) **</div> <div>**SUBJECT, ON FIRST REGISTRATION UNDER THE LAND TITLES ACT, TO:</div> <div>SUBSECTION 44(1) OF THE LAND TITLES ACT, EXCEPT PARAGRAPH 11, PARAGRAPH 14, PROVINCIAL SUCCESSION DUTIES *</div> <div>AND ESCHREATS OR FORFEITURE TO THE CROWN.</div> <div>THE RIGHTS OF ANY PERSON WHO WOULD, BUT FOR THE LAND TITLES ACT, BE ENTITLED TO THE LAND OR ANY PART OF</div> <div>IT THROUGH LENGTH OF ADVERSE POSSESSION, PRESCRIPTION, MISDESCRIPTION OR BOUNDARIES SETTLED BY</div> <div>CONVENTION.</div> <div>ANY LEASE TO WHICH THE SUBSECTION 70(2) OF THE REGISTRY ACT APPLIES.</div> <div>**DATE OF CONVERSION TO LAND TITLES: 1999/03/26 **</div> </div>						
43R16061	1988/09/12	PLAN REFERENCE				C
PK1091918	2006/07/04	TRANSFER	\$360,000	CULNARD, DEREK	SIDHAI, NEREE	C

Teranet Abstract.

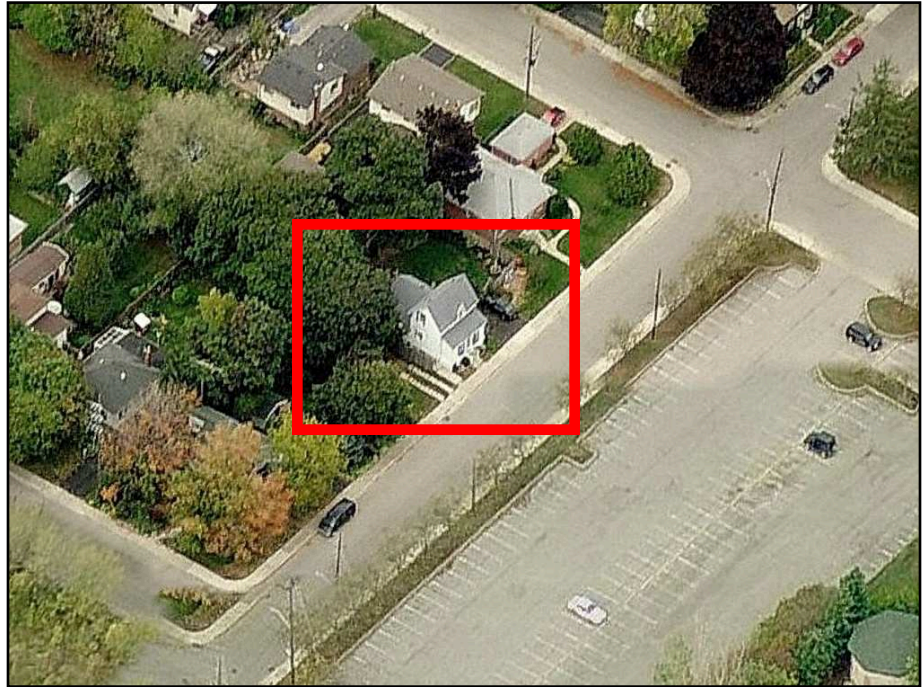
2.2.4 Location maps



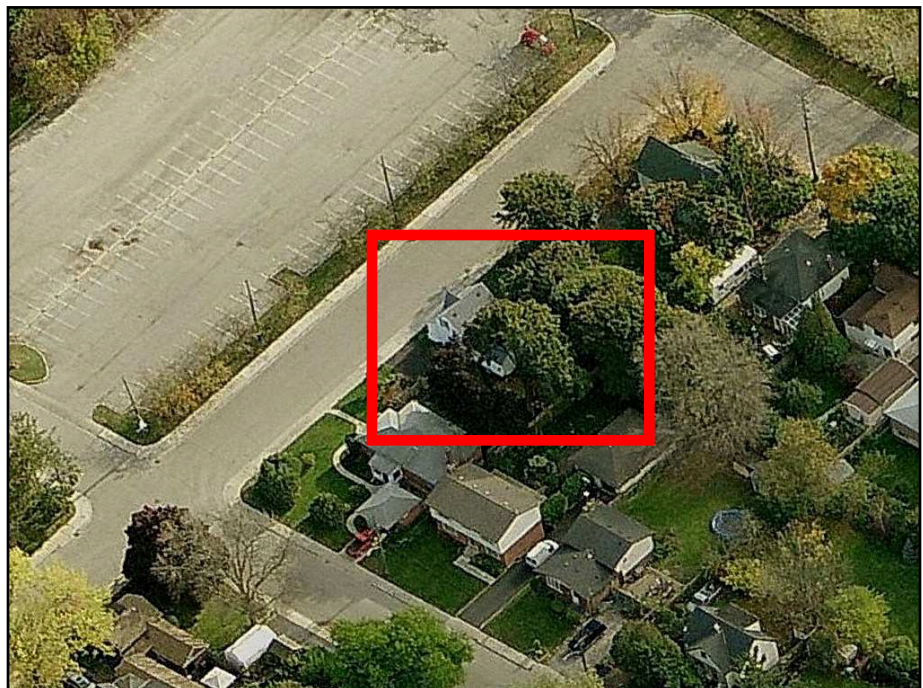
The Town of Port Credit, and area.



*Port Credit West
Heritage Conservation District.*



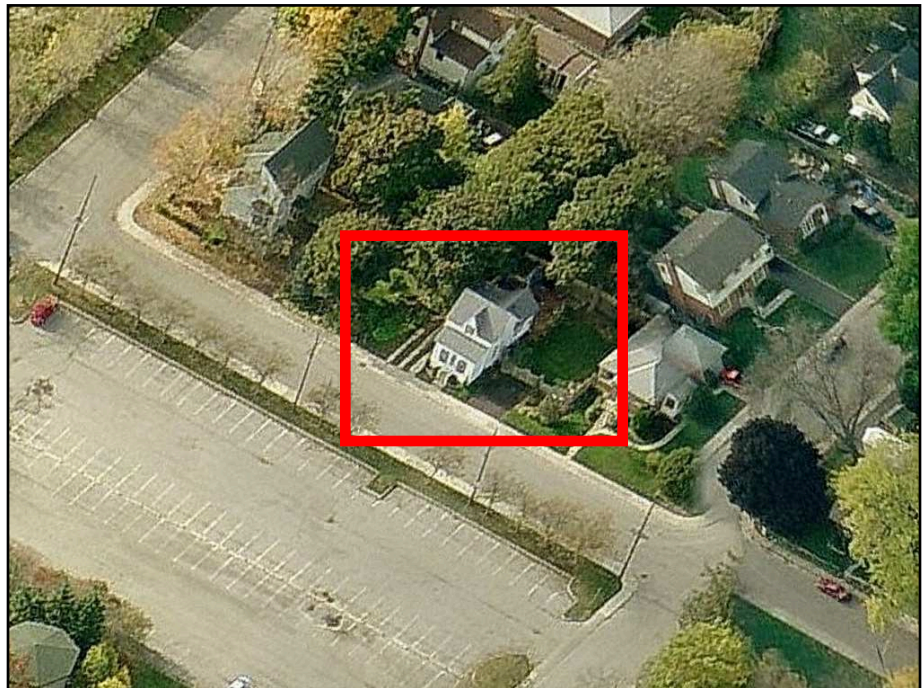
looking north



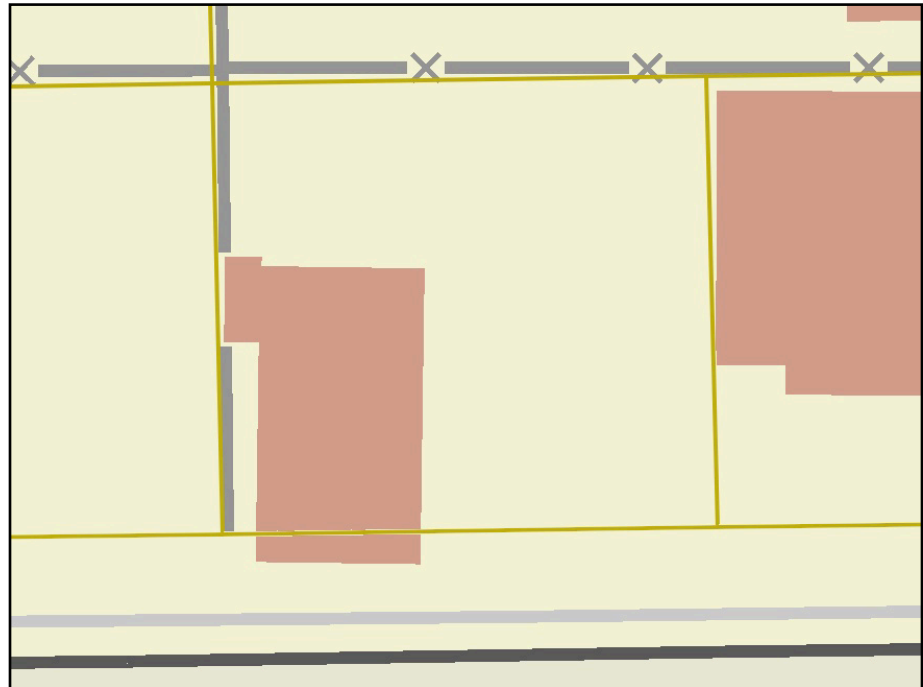
looking south
(both photos: Google Maps)



looking east



looking west
(both photos: Google Maps)



*2016 sold fill image.
(City of Mississauga I-Maps)*

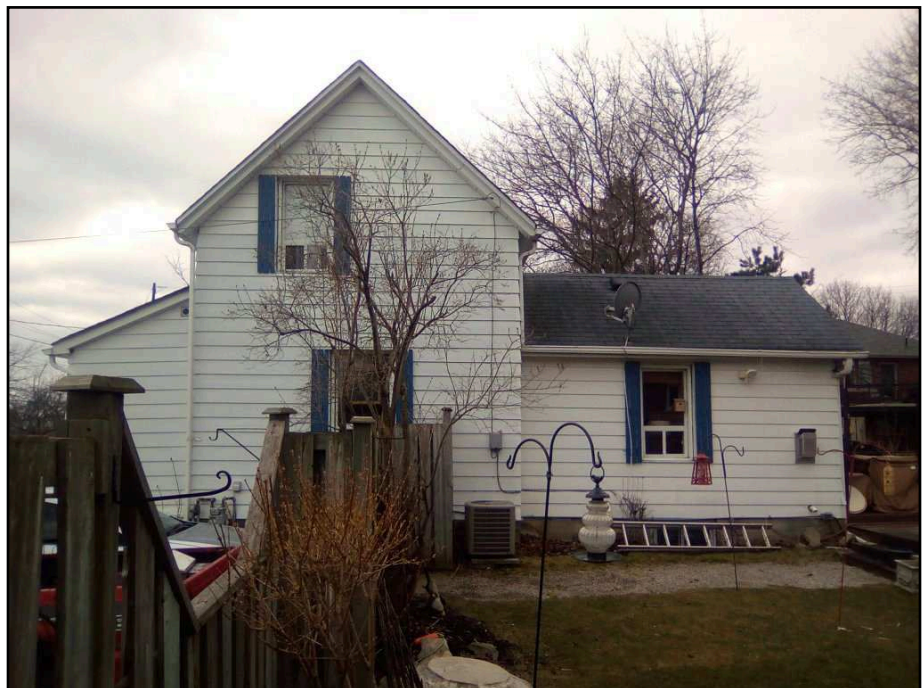


*2016 aerial image.
(City of Mississauga I-Maps)*

2.3.1 (a) Existing conditions related to the heritage resource



South (front) facade.



East facade.



North and east facades.



North and west facades.



South (front) and east facades.

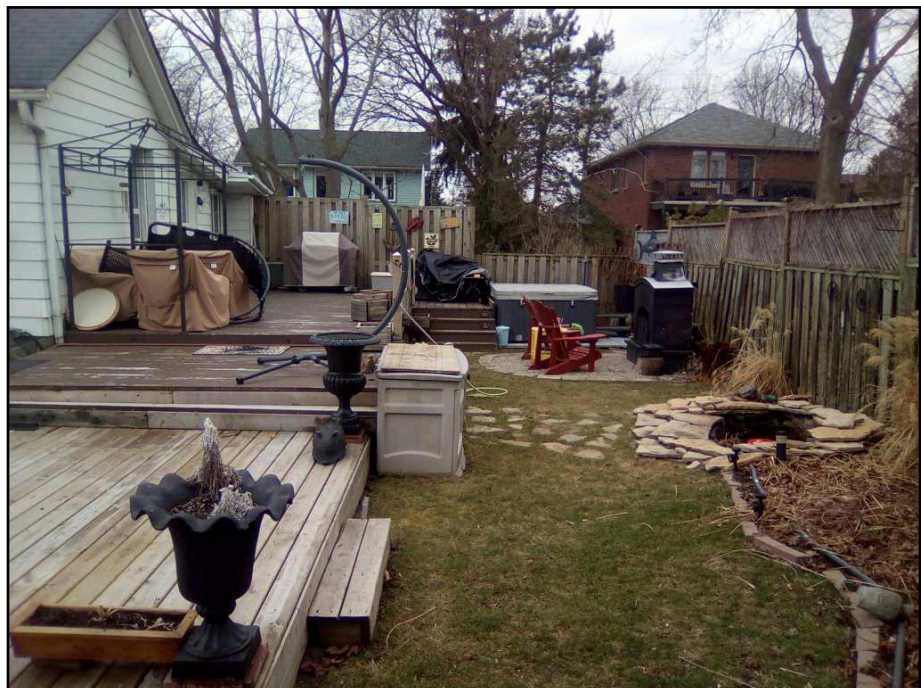


South (front) and west facades.

2.3.1 (b) Property



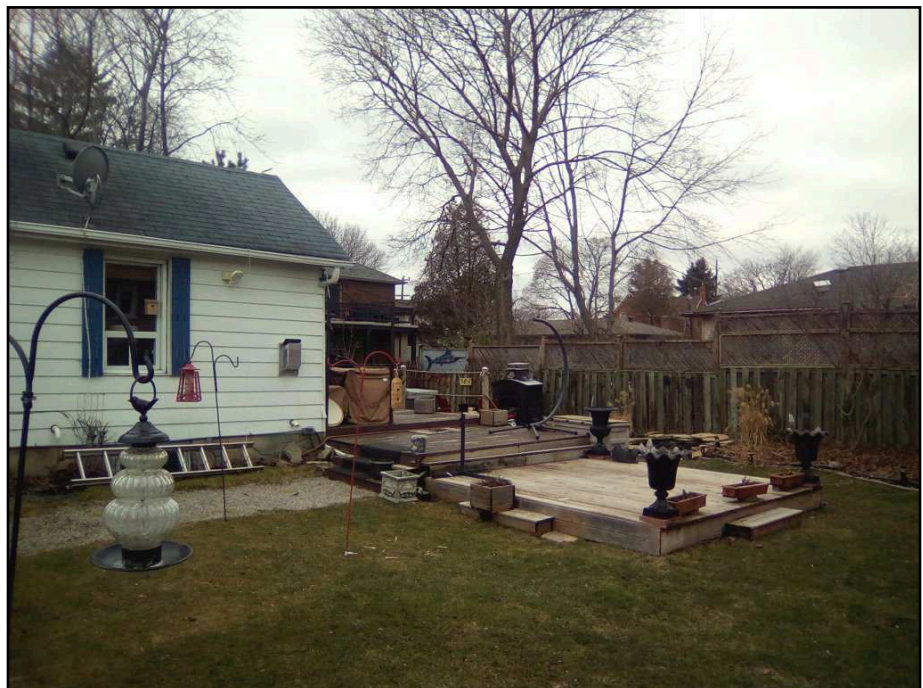
Back yard, looking east.



Back yard, looking west.



Back yard, looking northeast.



Back yard, looking northwest.



Back yard, looking southeast.



Back yard, looking north.

2.3.1 (c) Building details



West facade, with porch addition.



West facade, with porch addition.



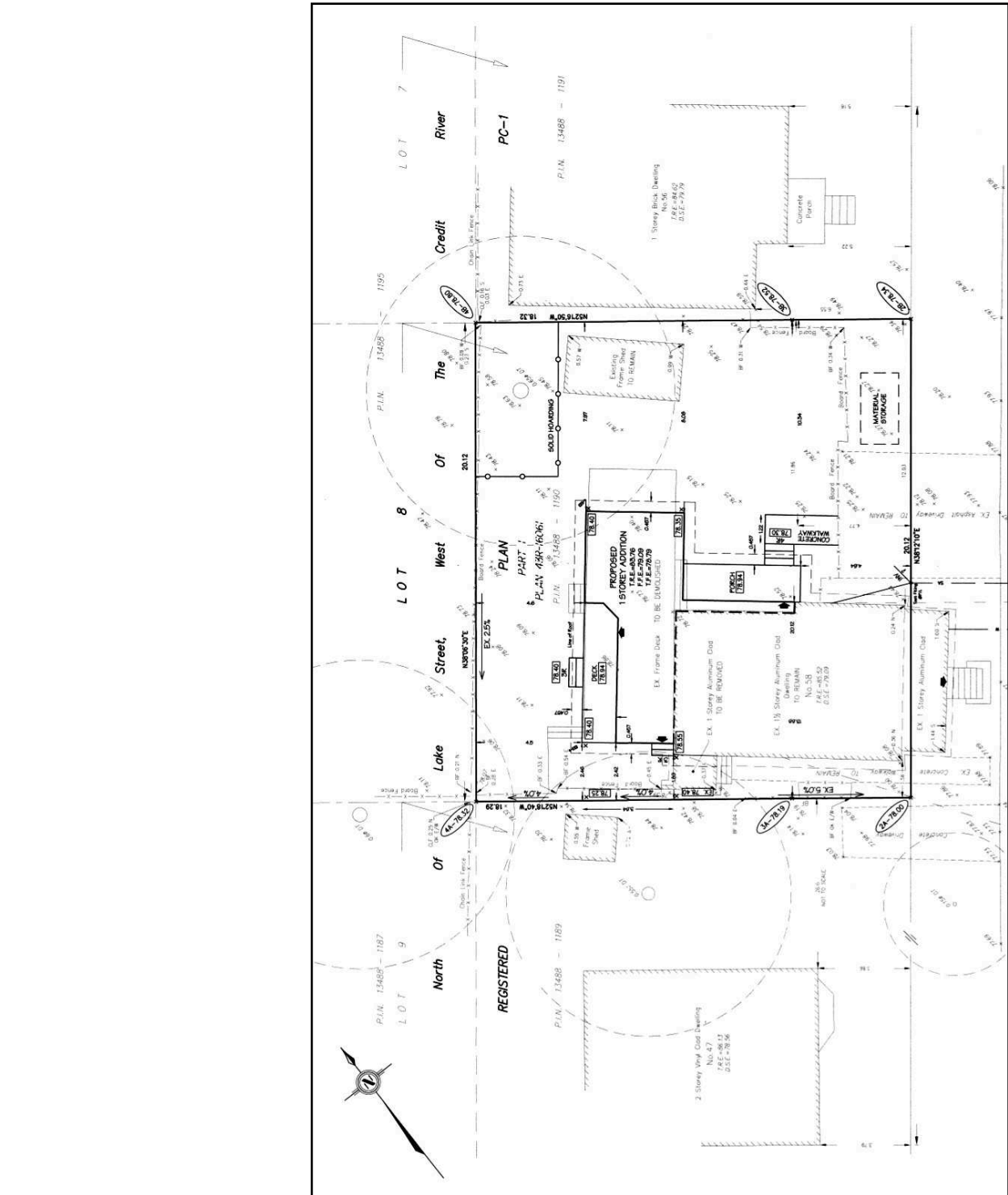
*Foundation of main residence (background),
and wainscoting below front porch.*



South facade; front door.

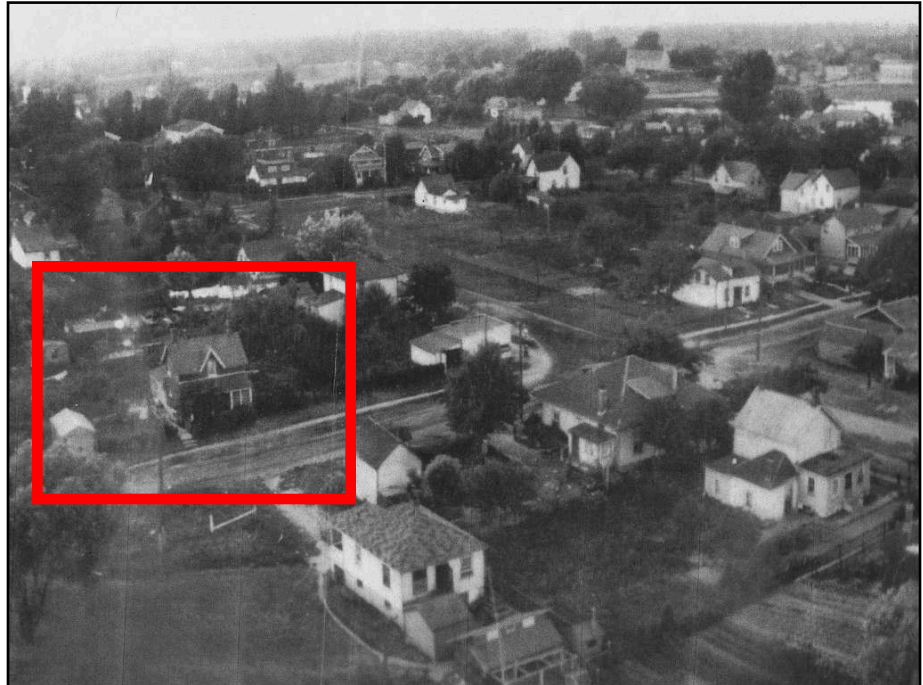


Front porch, looking east.



Site plan: 58 Lake Street.
See detailed site plan, in the appendix.

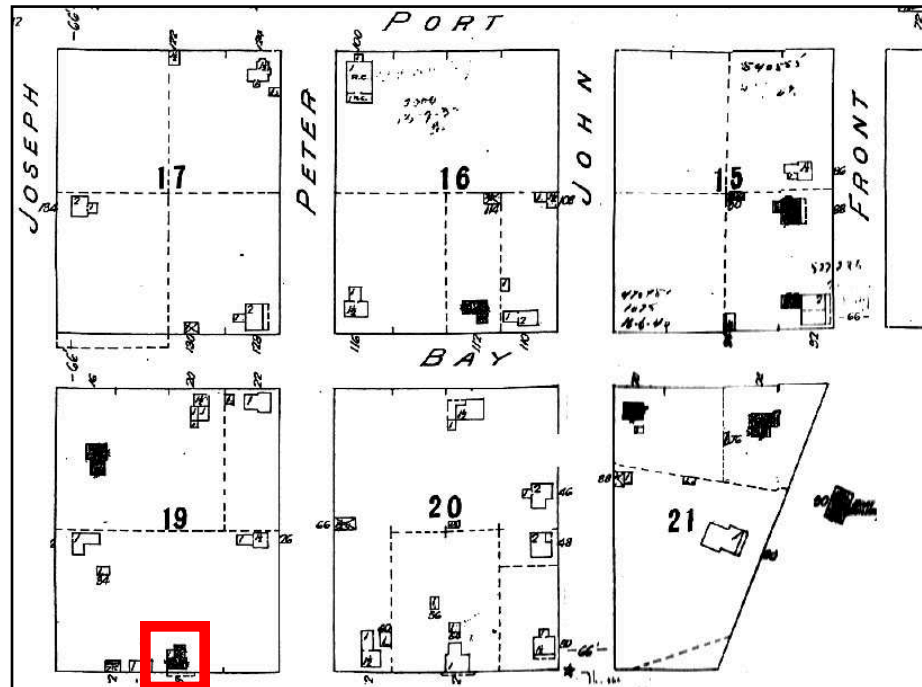
2.3.5 Historical photos, drawings, or other archival material



*Aerial photo, circa 1945,
looking north*



*Detail of subject residence,
as identified in red, in the top photo.*



*Goad's Fire Insurance Map
of the Village of Port Credit, 1910*



*1960 aerial photo.
(City of Toronto Archives)*

2.4 Proposed development outline

The proposal for 58 Lake Street is to retain all facades of the existing residence that can be seen from public view (the south, west and east elevations) and to put an addition to the north (rear) of the existing residence. The current main residence is one-and-a-half storeys. The proposed addition will be only one storey.

Using the same approach as was used for recent approved additions at other properties in the Old Port Credit Heritage Conservation District (see Section 4.1.1), the proposed addition at 58 Lake Street is designed to be of smaller, lower massing than the current residence.

In order to achieve the goal of expanding the living space of the current residence to meet the needs of the current owners and make the property a more viable residence for present and future use, the architect has proposed that the addition be wider rather than taller. A two-storey addition would potentially have a negative visual impact on the current heritage structure, so to address this concern the architect has proposed a wider addition, set back to the far rear of the property to diminish the visual impact on the addition.

This approach has been successfully applied in recent years at 46 Bay Street. The addition will use similar building materials, window design and roof pitch and style to complement the existing residence. The lower profile of the addition is intended to make the addition visually subordinate to the heritage residence.

2.5 Architectural drawings

See attached appendix at end of the report.

2.6 Alternative development options/mitigation measures

There will be no alteration to the existing heritage structure on the subject property, except for the removal of the rear wall, which cannot be seen from the public realm. There are no notable heritage features on this north wall. Windows and doors on this north wall are replacement elements.

2.7 A summary of conservation principles

The south (front), east and west facades of the existing residence, which can be seen from street level, will not be altered. The proposed addition will complement the existing heritage structure by using complementary building materials. The massing of the addition will be smaller than that of the existing residence and will complement the existing residence in the use of similar roof pitch and style.

The architect has designed the addition to complement but not to mimic the style of the existing structure.

Section 2 continued on page 37.

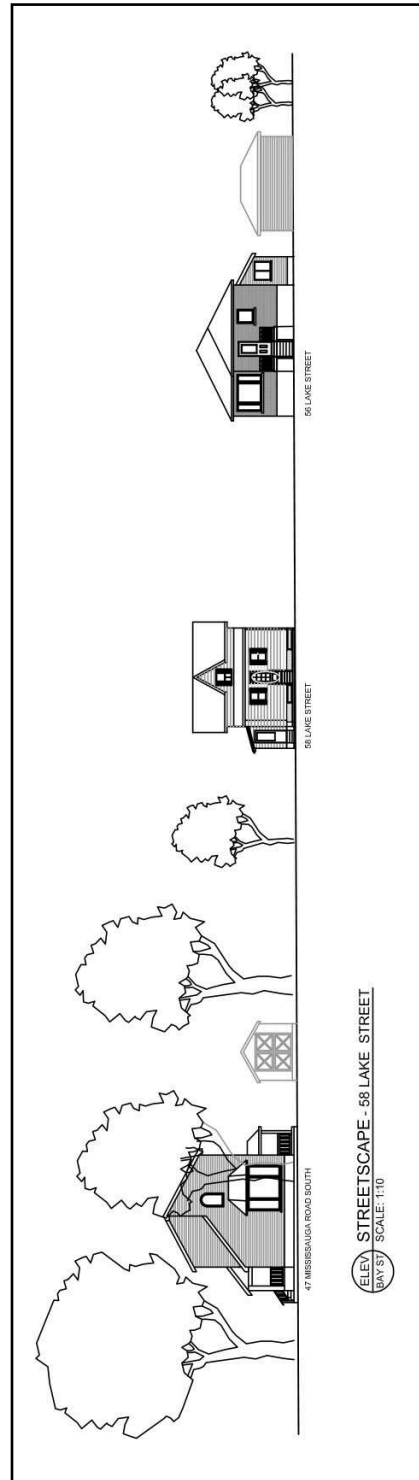
2.4.4 Streetscape



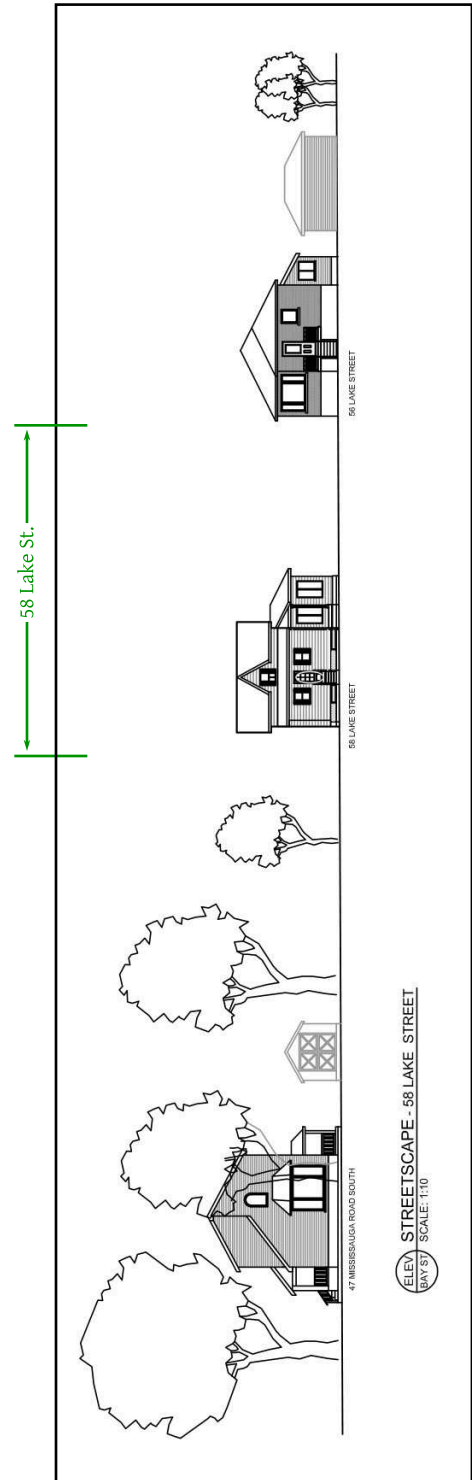
Lake Street, looking east.



Lake Street, looking west.



Existing streetscape.



Proposed streetscape.

2.4.1 Neighbouring properties



*56 Lake Street.
Property to the east of the subject property.*



*47 Mississauga Road South.
Property to the west of the subject property.*



*J.C. Saddington Park.
View of the property to the south of the subject property.*

2.8 Loss of cultural heritage value interests and impact on the streetscape

Because all views of the current heritage residence that can be seen from the public realm are to be retained, and not altered, there will be no loss of cultural built heritage. No trees or landscape elements will be removed.

2.9 Salvage mitigation

As per Sections 2.6 and 2.8, there will be no changes, or removal of heritage elements to the south (front), west and east elevations.

3.0

SUMMARY STATEMENT

3.1 Attributes of the cultural heritage resource

The main residence at 58 Lake Street, Mississauga is typical of the late 19th century homes in the Port Credit Heritage Conservation District, being of a modest, unadorned style and of simple wood-frame construction, in a general T-shape plan, with steep gable roofs, with dormers. In his report to the City of Mississauga in 2004, architect George Robb classified the subject property as of “historic interest”. The property identified as 58 Lake Street is currently defined as a “contributing property”.

3.2: Impact that the proposed development will have on the cultural heritage resource

The scale, massing and width of the proposed addition to 58 Lake Street is designed to minimize the impact on the current heritage features and character of the current home. To minimize the visual impact of the addition, it is proposed to achieve a desired livable floor area by proposing a lower, wider addition to the far rear of the property, in preference to a narrower two-storey addition which would have a negative visual impact on the existing heritage structure. The exterior materials proposed for the addition will complement the existing building materials.

3.3: Conservation or mitigative measures, or alternative development, or site alteration

As detailed in Section 2.7 of this report, the architect has proposed to retain the character of the existing historic structure by proposing a rear addition that is set back to the far end of the property, and of complementary massing, scale and building materials of the existing main residence.

The massing of the addition is intended to make it distinct from, but complementary to, the original house. The architect has used the Old Port Credit Village Heritage Conservation District Plan as the primary guideline in designing the additions.

3.4: Clarification as to why conservation or mitigative measures are not appropriate

The proposed addition at 58 Lake Street is to be located to the rear of the home, to minimize the impact on the home as seen from Lake Street.

The current property owner intends to preserve the existing home. No historic elements and details of the historic home, that can be seen from the public realm, will be affected by the rear addition.

See photographs in Section 4.1.1 for examples of other properties in the Port Credit Heritage Conservation District defined as being of historical significance, where rear additions, approved by the Heritage Advisory Committee, have been successfully incorporated into historic structures.

4.0

RECOMMENDATION

4.1 Regulation 9/06, Ontario Heritage Act

A municipal council may designate heritage resources by by-law pursuant to Section 29 of the Ontario Heritage Act based on criteria set forth in Ontario Regulation 9/06; Criteria for Determining Cultural Heritage Value or Interest.

Section 1

The property has design value or physical value because it;

- i: is a rare, unique, representative or early example of a style, type, expression, material or construction method,
- ii: displays a high degree of craftsmanship or artistic merit, or
- iii: demonstrates a high degree of technical or scientific achievement.

Section 2

The property has historical value or associative value because it;

- i: has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community,
- ii: yields, or has the potential to yield, information that contributes to an understanding of a community or culture, or
- iii: demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.

Section 3

The property has contextual value because it is;

- i: important in defining, maintaining or supporting the character of area,
- ii: physically, functionally, visually or historically linked to its surrounding,
- iii: a landmark.

4.1.1 Does the property meet the criteria for designation

Section 1

- Subsection i

The property at 58 Lake Street, Mississauga is not rare or unique, but is representative of modest, wood-frame residences in the Port Credit Heritage Conservation District in terms of massing, style, and building materials.

- Subsection ii

Being a conventional one-and-a-half story wood-frame house, in the general form of an Ontario farmhouse, the residence on the subject property does not display a high degree of craftsmanship or artistic merit.

- Subsection iii

The property does not demonstrate a high degree of technical or scientific achievement.

Section 2

-Subsection i

The first owner of the home on the subject property was a captain and owner of a marine cargo vessel, and was later a stonehooker. These two trades were important in the growth and development of Port Credit as a marine community. Three generations of the Blower family contributed to the economy and the local church in Port Credit.

-Subsection ii

Along with other properties of heritage significance in the Port Credit Heritage Conservation District, the subject property yields information that contributes to an understanding of the early development of Port Credit as a small, working-class community, linked to the harbour trade.

-Subsection iii

It is not certain that the property was the work of a known architect, but land registry records suggest that the home may have been built by John Graydon, who was a noted Streetsville homebuilder.

Section 3

- Subsection i

The subject property, like other nearby properties in the Port Credit Heritage Conservation District, is important in defining, maintaining and supporting the character of historic Port Credit, and its development in the early part of the 20th century.

- Subsection ii

The subject property is physically, visually and historically linked to the community that comprises the West Port Credit village.

- Subsection iii

The property at 58 Lake Street, Mississauga is not regarded locally as a landmark.

Conclusion

Already designated under Part V of the Ontario Heritage Act, the subject property complies with five of the nine criteria for continued designation status, under the criteria stated in Regulation 9/06 of the Ontario Heritage Act, including at least one criteria in each of the three categories of: i) design and/or physical value, ii) historical and/or associative value, and iii) contextual value.

4.1.2 Provincial Policy Statement - 2014

The preamble to the Provincial Policy Statement – 2014 states that “the Provincial Policy Statement provides for appropriate development while protecting resources of provincial interest, public health and safety, and the quality of the natural and built environment.”

In compliance with this requirement, the owner of the subject property has proposed an addition that will minimize historical and visual impact on the existing historical structure. The proposed addition will not visually encroach on the heritage aspects of the existing historic structure

4.1.1 Does the property meet the criteria for designation



*47 Mississauga Road South,
with modern addition to rear (west).*



*42 Bay Street,
with modern addition to rear (north).*

4.1.1 Does the property meet the criteria for designation



*46 Bay Street,
with modern addition to rear (north).*



*46 Bay Street,
with modern addition to rear (north).*

5.0

QUALIFICATIONS

5.1 Author

Since 2007 Richard Collins has prepared Heritage Impact Statements for sites in Burlington, Gravenhurst, Mississauga, Oakville and Welland Ontario.

- Clarkson 1808-2008 Committee; heritage coordinator
- City of Mississauga; 2012 Civic Award of Recognition
- Heritage Mississauga; volunteer, recipient of the 2007 Lifetime Membership Award and the 2008 Member's Choice Award
- Mississauga HAC; member of the Heritage Designation Subcommittee
- Mississauga South Historical Society; past president
- Page+Steele Architects, Toronto; past archivist
- Peel District School Board Heritage Fair, member and adjudicator
- Port Credit 175th Anniversary Committee; project leader and secretary
- Port Credit Village Project; secretary and co-chair of the Heritage Circle
- The Booster; author of over 200 articles on Mississauga's history

5.2 References

Ancestry.ca

Ontario and Canada voters' lists, 1935-1980

Blumenson, John

Ontario Architecture: Guide to Styles and Terms

City of Toronto archives

aerial photos, 1961

Google Maps

Heritage Mississauga

image archive

Kalman, Harold D.

A History of Canadian Architecture

mississauga.ca - Services Online - e-maps

mississauga.ca - Services Online - Property Information

Mississauga Fire Fighters Association IAFF Local 1212 website

Streetsville Historical Society

records and image archive

Port Credit News (1927-1937) / *Port Credit Weekly* (1937-1959)

Service Ontario at www.e-laws.gov.on.ca

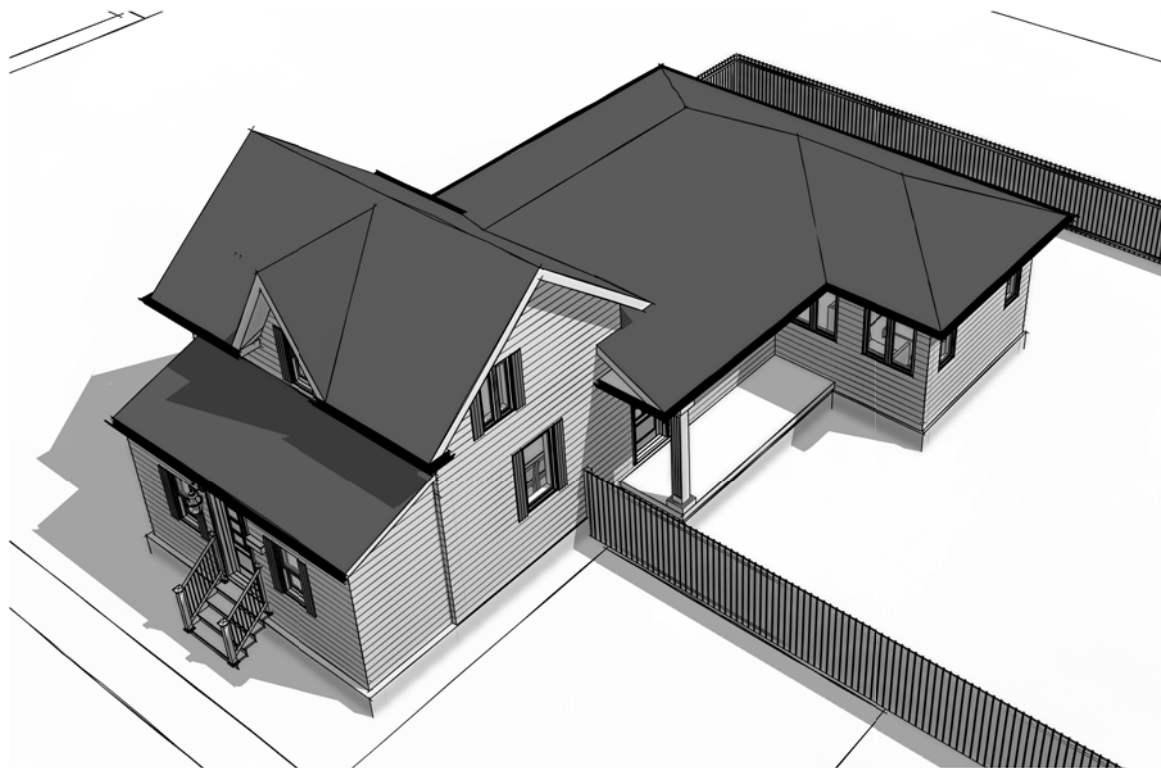
Ontario Heritage Act, RSO 1990, Chapter O.18

Land Registry records

Toronto Daily Star (1896-1971) / *Toronto Star* (1971-present)

Walker and Miles

Historical Atlas of Peel County, 1877



58 Lake St,
Mississauga, ON L5H 1A3

Addition/Renovation - Single Family Dwelling

DRAWING LIST	
SHEET NAME	PAGE No
TITLE SHEET	A0.1
SITE / GRADING PLAN	A1.1
BASEMENT / FIRST FLOOR PLAN	A1.2
SECOND FLOOR / ROOF PLAN	A1.4
ELEVATIONS 1	A3.1
ELEVATIONS 2	A3.2

NO.	REVISIONS

CONTRACTORS MUST CHECK AND VERIFY ALL INFORMATION WITH THE LATEST APPROVED DRWINGS AND ON SITE CONDITIONS AND REPORT ALL DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING WITH CONSTRUCTION.

CONTRACTORS TO WORK IN ACCORDANCE WITH ALL PLANS, SPECIFICATIONS, GENERAL AND CONSTRUCTION NOTES APPROVED.

DO NOT SCALE DRAWINGS

THESE PLANS ARE "COPY WRITE" PROTECTED AND ARE THE PROPERTY OF THE DESIGNER, NO PLANS CAN BE USED WITH OUT WRITTEN CONSENT FROM THE DESIGNER AND STAMPED "FINAL PLANS"

B.N.
ENGINEERING DESIGN INC.

83 GALAXY BLVD. UNIT 13
ETOBICOKE, ON
M9W 5X6

PH: 905-275-3571
BNED@ROGERS.COM

TRUE NORTH	CONSTRUCTION NORTH
------------	--------------------

PROJECT ADDRESS

58 Lake St,
Mississauga, ON L5H 1A3

SHEET NAME:

TITLE SHEET

OWNER: Owner

CHECKED BY: Checker

DATE: 4/30/2018 8:22:52 PM

SCALE:

DRAWN BY: Author

JOB NUMBER: 14 -

SHEET:

A0.1

GENERAL NOTES

1. THE CONTRACTOR IS TO CHECK AND VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION. ANY DISCREPANCIES MUST BE REPORTED TO THE ENGINEER IMMEDIATELY.
2. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND PROTECTING ALL UTILITIES DURING CONSTRUCTION. GAS, HYDRO, TELEPHONE OR ANY OTHER UTILITIES THAT MAY EXIST ON THE SITE OR WITHIN THE STREETLINES MUST BE LOCATED BY ITS OWN UTILITIES AND VERIFIED PRIOR TO CONSTRUCTION.
3. ALL CONNECTIONS SHALL BE INSTALLED AS PER MUNICIPAL STANDARDS AND SPECIFICATIONS.
4. THE BUILDER IS TO VERIFY TO THE ENGINEER THAT THE FINAL FOOTING ELEVATION AND THE TOP OF FOUNDATION WALL ELEVATION ARE IN CONFORMITY WITH THE BUILDING CODE AND THE CERTIFIED GRADING PLAN PRIOR TO PROCEEDING.
5. THE ELEVATION OF THE SIDE SWEAL AT THE BUILDING LINE SHALL BE A MINIMUM OF 150mm BELOW THE BUILDING LINE AT THE CENTRE OF THE LOT.
6. THE OUTSIDE FINISHED GRADE IS TO BE A MINIMUM OF 150mm BELOW THE BRICK VENEER ELEVATION.
7. PRIOR TO ANY SODDING, THE BUILDER IS TO INSURE TO THE SOILS CONSULTANT AND/OR THE ENGINEER THAT THE LOT HAS BEEN GRADED, TOPSOILED AND SODDED COMPLETELY WITH A MINIMUM DEPTH OF 150mm OF TOPSOIL AND NO. 1 NURSERY SOIL. A MINIMUM DEPTH OF 150mm OF CRUSHED STONE IS TO BE PROVIDED ON THE ENTIRE LENGTH OF EACH DRIVEWAY ON A FIRM SUBGRADE. THE DRIVEWAY IS TO BE PAVED WITH A MINIMUM COMPACTED DEPTH OF 75mm OF ASPHALT BETWEEN THE CURB AND THE GARAGE.
8. NO SODDING ON ANY LOT IS PERMITTED UNTIL A PRELIMINARY INSPECTION IS DONE BY THE ENGINEER AND THE BUILDER.
9. AT THE ENTRANCES TO THE SITE, THE MUNICIPAL CURB AND SIDEWALK WILL BE CONTINUOUS THROUGH THE DRIVEWAY AND A CURB DEPRESSION WILL BE PROVIDED FOR EACH ENTRANCE.
10. ALL PROPOSED CURBING AT THE ENTRANCES TO THE SITE IS TO STOP AT THE PROPERTY LINE OR AT THE MUNICIPAL SIDEWALK, WHICHEVER IS APPLICABLE.
11. DRIVEWAY GRADES SHOULD NOT BE LESS THAN 2.0% AND NOT GREATER THAN 8.0%.
12. LAWN AND SWEALS SHALL HAVE A MINIMUM SLOPE OF 1.5% (PREFERABLY 2.0%) AND A MAXIMUM SLOPE OF 6.0%.
13. WHERE GRADES IN EXCESS OF 6.0% ARE REQUIRED, THE MAXIMUM SLOPE SHALL BE 3 : 1. GRADE CHANGES IN EXCESS OF 1m ARE TO BE ACCOMPLISHED BY USE OF A RETAINING WALL. RETAINING WALLS HIGHER THAN 0.6m SHALL HAVE A FENCE INSTALLED ON THE HIGH SIDE.
14. ALL BACKFILL FOR SEWERS, WATERMANS AND UTILITIES ON THE ROAD ALLOWANCE AND ON THE INTERNAL SITE MUST BE COMPACTED TO A MINIMUM OF 90% S.P.D. EXCEPT FOR THE TOP 300mm ON THE ROAD ALLOWANCE WHICH MUST BE COMPACTED TO 98% S.P.D. UNLESS OTHERWISE NOTED AND UNDER THE DIRECT SUPERVISION OF THE GEOTECHNICAL SOILS CONSULTANT.
15. THE SERVICE CONNECTION TRENCH WITHIN THE TRAVELED PORTION OF THE ROAD ALLOWANCE SHALL BE BACKFILLED WITH UNSHINKABLE BACKFILL MATERIAL AS PER C.M. STDS. 2220.030, 2220.031 AND 2220.032 UNLESS PRIOR APPROVAL FOR OTHER SPECIFIED BACKFILL MATERIAL HAS BEEN OBTAINED.
16. ALL WATERMANS, WATER SERVICE MATERIALS AND CONSTRUCTION METHODS MUST CORRESPOND TO CURRENT PELL PUBLIC WORKS STANDARDS AND SPECIFICATIONS.
17. SEDIMENT CONTROL FENCING IS TO BE INSTALLED AS PER C.M. STD. 2940.010.
18. ALL DAMAGED LANDSCAPE AREAS WILL BE REINSTITUTED WITH TOPSOIL AND SOD PRIOR TO RELEASE OF SECURITIES.
19. THE OWNER IS RESPONSIBLE FOR ENSURING THAT THE TREE PROTECTION HOARDING IS MAINTAINED THROUGHOUT ALL PHASES OF DEMOLITION AND CONSTRUCTION IN THE LOCATION AND CONDITION AS APPROVED BY THE PLANNING AND BUILDING DEPARTMENT. NO MATERIALS (CONSTRUCTION MATERIALS, SOIL, ETC.) MAY BE STOCKPILED WITHIN THE AREA OF HOARDING. FAILURE TO MAINTAIN THE HOARDING AS ORIGINALLY APPROVED, OR THE STORAGE OF MATERIALS WITHIN THE HOARDING WILL CAUSE THE TREE PRESERVATION LETTER OF CREDIT TO BE HELD FOR 2 (TWO) YEARS FOLLOWING COMPLETION OF SITE WORKS.

DEC. 21, 2018

DATE

20. THE UNDERSIGNED PROPERTY OWNER HEREBY ACKNOWLEDGES AND AGREES THAT THEY ARE RESPONSIBLE FOR BOTH THE INSTALLATION AND MAINTENANCE OF WORKS AS SHOWN ON THE STAMPED APPROVED SITE PLAN AND ASSOCIATED DRAWINGS, IN THE FORM, MANNER AND LOCATION AS SET OUT IN SAID DRAWINGS, WITHOUT ANY CHANGE OR ADDITION. ANY CHANGES TO THE PLANS, INCLUDING NEW DEVELOPMENT OR REDEVELOPMENT ON THE PROPERTY, ARE SUBJECT TO A NEW SITE PLAN APPLICATION AND APPROVAL PROCESS.

IN ACCORDANCE WITH THE PROVISIONS OF SITE PLAN CONTROL BY-LAW 0293-2008 (AS AMENDED), THE CITY OF MISSISSAUGA MAY RECOVER ANY COSTS INCURRED, INCLUDING INTEREST AND ADMINISTRATION EXPENSES, TO PROVIDE, MAINTAIN OR COMPLETE SITE WORKS, IF THE PROPERTY OWNER HAS FAILED TO DO SO, BY DRAWING UPON SECURITIES PROVIDED WITH THE APPROVAL OF THE APPLICATION. IF THERE ARE NO SECURITIES HELD, OR IF THE AMOUNT OF SECURITIES HELD BY THE CITY ARE NOT SUFFICIENT TO COVER THE COSTS INCURRED, THEN THE COSTS INCURRED BY THE CITY WHICH CANNOT BE REIMBURSED OR RECOVERED BY SECURITIES WILL BE ADDED TO THE TAX ROLL OF THE PROPERTY AND WILL BE COLLECTED IN THE SAME MANNER AS TAXES.

OWNERS SIGNATURE

DATE

21. ALL EXTERIOR LIGHTING WILL BE DIRECTED ONTO THE SITE AND WILL NOT INFRINGE UPON ADJACENT PROPERTIES.
22. THE APPLICANT WILL BE REQUIRED TO CONTACT ALL UTILITY COMPANIES TO OBTAIN ALL REQUIRED LOCATES PRIOR TO INSTALLATION OF HOARDING WITHIN THE MUNICIPAL FRONT-OF-WAY.
23. THE PORTIONS OF THE DRIVEWAY WITHIN THE MUNICIPAL BOULEVARD IS TO BE PAVED BY THE APPLICANT.

24. ALL EXCESS EXCAVATED MATERIAL WILL NOT BE STORED ON SITE. EXCAVATED MATERIAL TO BE TRUCKED OFF SITE AT TIME OF EXCAVATION. MATERIAL REQUIRED FOR BACKFILL WILL BE TRUCKED BACK TO THE SITE WHEN BACKFILL COMMENCES.
25. THE EXISTING DRAINAGE PATTERN WILL BE MAINTAINED EXCEPT WHERE NOTED.
26. GRADES WILL BE MET WITHIN A 33 1/3 MAXIMUM SLOPE AT THE PROPERTY LINES AND WITHIN THE SITE.
27. ANY ABOVE GROUND UTILITIES WITHIN 1.5 METRES OF A PROPOSED ACCESS TO BE RELOCATED AT THE APPLICANTS EXPENSE.
28. ANY SEPTIC SYSTEM ON SITE WILL BE DECOMMISSIONED AND REMOVED ACCORDING TO ALL APPLICABLE GUIDELINES AND REGULATIONS.
29. THE CITY OF MISSISSAUGA REQUIRES THAT ALL WORKING DRAWINGS SUBMITTED TO THE BUILDING DIVISION AS PART OF AN APPLICATION FOR THE ISSUANCE OF A BUILDING PERMIT SHALL BE CERTIFIED BY THE ARCHITECT OR ENGINEER AS BEING IN CONFORMITY WITH THE SITE DEVELOPMENT PLAN AS APPROVED BY THE CITY OF MISSISSAUGA.
30. I HEREBY CERTIFY THAT THIS DRAWING CONFORMS IN ALL RESPECTS TO THE SITE DEVELOPMENT PLANS AS APPROVED BY THE CITY OF MISSISSAUGA UNDER FILE NUMBER SPM 18-104 W1

DEC. 21, 2018

DATE

41. PRIOR TO ANY CONSTRUCTION TAKING PLACE, HOARDING ADJACENT TO EXISTING PROPERTIES TO PROTECT FROM CONSTRUCTION ACTIVITY AND ALL REQUIRED HOARDING IN ACCORDANCE WITH THE ONTARIO OCCUPATIONAL HEALTH AND SAFETY ACT AND REGULATIONS FOR CONSTRUCTION PROJECTS MUST BE ERECTED AND THEN MAINTAINED THROUGHOUT ALL PHASES OF CONSTRUCTION.
42. THE APPLICANT WILL BE RESPONSIBLE FOR THE COST OF ANY UTILITY RELOCATIONS NECESSITATED BY THE SITE PLAN.
43. HOARDING MUST BE INSPECTED PRIOR TO REMOVAL OF ANY TREE PROTECTION HOARDING FROM THE SITE.
44. OPEN TRENCHING WILL NOT BE PERMITTED WITHIN THE TREE PRESERVATION AREA.
45. ALL SURFACE DRAINAGE WILL BE SELF-CONTAINED, COLLECTED AND DISCHARGED AT A LOCATION PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. AT THE ENTRANCES TO THE SITE, THE MUNICIPAL CURB AND SIDEWALK WILL BE CONTINUOUS THROUGH THE DRIVEWAY AND A CURB DEPRESSION WILL BE PROVIDED FOR EACH ENTRANCE. ALL PROPOSED CURBING WITHIN THE MUNICIPAL BOULEVARD AREA FOR THE SITE IS TO SUIT AS FOLLOWS: A) FOR ALL SINGLE FAMILY RESIDENTIAL PROPERTIES INCLUDING ON STREET TOWNHOUSES, ALL CURBING IS TO STOP AT THE PROPERTY LIMIT OR THE BACK OF THE MUNICIPAL SIDEWALK, WHICHEVER IS APPLICABLE, OR, B) FOR ALL OTHER PROPOSALS INCLUDING INDUSTRIAL, COMMERCIAL AND CONDOMINIUM DEVELOPMENTS, ALL ENTRANCES TO THE SITE ARE TO BE IN ACCORDANCE WITH O.P.S.D. 350.010.
46. WORKS IN THE MUNICIPAL RIGHT-OF-WAY BEING PERFORMED BY THE CITY'S CONTRACTOR WILL REQUIRE 4 TO 6 WEEKS NOTICE PRIOR TO COMMENCEMENT OF CONSTRUCTION AFTER ALL DRAWINGS HAVE BEEN APPROVED AND SECURITIES HAVE BEEN RECEIVED.

EROSION SEDIMENT CONTROL NOTE

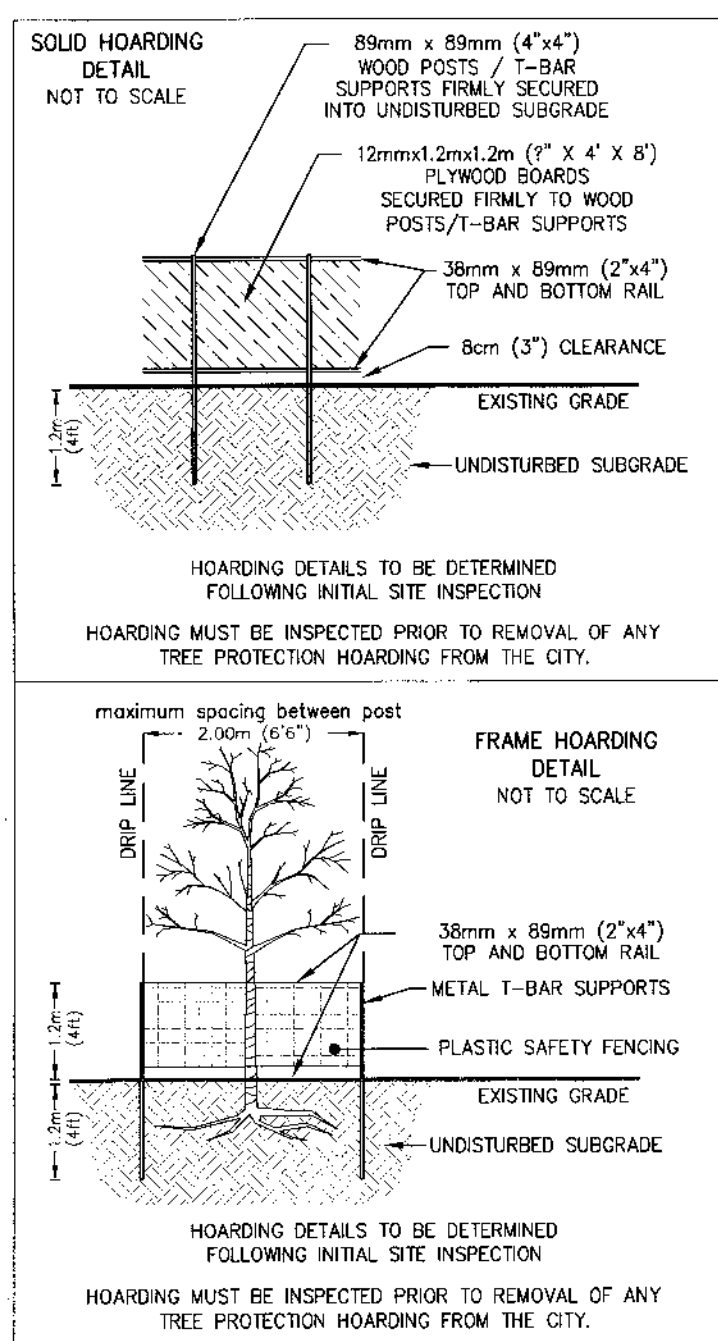
1. EROSION AND SEDIMENT CONTROL METHODS ARE TO BE CONTINUOUSLY EVALUATED, AND UPDATES ARE TO BE IMPLEMENTED WHEN NECESSARY.
2. THE CONTRACTOR IS ULTIMATELY RESPONSIBLE FOR CONTROLLING SEDIMENT AND EROSION WITHIN THE CONSTRUCTION SITE FOR THE TOTAL PERIOD OF THE CONSTRUCTION. THE SEDIMENT LADEN WATER WILL NOT BE ALLOWED TO DISCHARGE TO THE CREEK.
3. AN AFTER HOURS CONTACT NUMBER IS TO BE VISIBLY POSTED ON-SITE FOR EMERGENCIES.

1. ALL MATERIALS AND CONSTRUCTION METHODS MUST CORRESPOND TO THE CURRENT PELL PUBLIC WORKS STANDARDS AND SPECIFICATIONS.
2. WATERMAN AND/OR WATER SERVICE MATERIALS 100mm (4") OR LARGER MUST BE AWWA C900-16 PVC, SIZE 50mm (2") AND SMALLER MUST BE SOFT COPPER TYPE K ASTM B-86-49.
3. WATERMANS AND/OR WATER SERVICES ARE TO HAVE A MINIMUM COVER OF 1.7m (5'6") WITH A MINIMUM HORIZONTAL SPACING OF 1.2m (4') FROM THEMSELVES AND ALL OTHER UTILITIES.
4. PROVISIONS FOR FLUSHING WATER LINE PRIOR TO TESTING, ETC. MUST BE PROVIDED WITH AT LEAST A 50mm (2") OUTLET ON 100mm (4") AND LARGER LINES. COPPER LINES ARE TO HAVE FLUSHING POINTS AT THE END, THE SAME SIZE AS THE LINE. THEY MUST ALSO BE HOSED OR PIPED TO ALLOW THE WATER TO DRAIN ONTO A PARKING LOT OR DOWN A DRAIN. ON FIRE LINES, FLUSHING OUTLET TO BE 100 mm (4") DIAMETER MINIMUM ON A HYDRANT.
5. ALL CURB STOPS TO BE 3.0m (10') OFF THE FACE OF THE BUILDING UNLESS OTHERWISE NOTED.
6. HYDRANT AND VALVE SET TO REGION STANDARD 1 - 6 - 1 DIMENSION A AND B, 0.7m (2') AND 0.9m (3') AND TO HAVE PUMPER NOZZLE.
7. WATERMANS TO BE INSTALLED TO GRADES AS SHOWN ON APPROVED SITPLAN. COPY OF GRADE SHEET MUST BE SUPPLIED TO INSPECTOR PRIOR TO COMMENCEMENT OF WORK, WHERE REQUESTED BY INSPECTOR.
8. WATERMANS MUST HAVE A MINIMUM VERTICAL CLEARANCE OF 0.3m (12") OVER/0.5m (20") UNDER SEWERS AND ALL OTHER UTILITIES WHEN CROSSING.
9. ALL PROPOSED WATER PIPING MUST BE ISOLATED FROM EXISTING LINE IN ORDER TO ALLOW INDEPENDENT PRESSURE TESTING AND CHLORINATING FROM EXISTING SYSTEMS.
10. ALL LIVE TAPPING AND OPERATION OF REGION WATER VALVES SHALL BE ARRANGED THROUGH THE REGIONAL INSPECTOR ASSIGNED OR BY CONTACTING THE OPERATIONS AND MAINTENANCE DIVISION.

OWNERS SIGNATURE

DATE

11. LOCATION OF ALL EXISTING UTILITIES IN THE FIELD TO BE ESTABLISHED BY THE CONTRACTOR.
12. THE CONTRACTOR(S) SHALL BE SOLELY RESPONSIBLE FOR LOCATES, EXPOSING, SUPPORTING AND PROTECTING OF ALL UNDERGROUND AND OVERHEAD UTILITIES AND STRUCTURES EXISTING AT THE TIME OF CONSTRUCTION IN THE AREA OF THEIR WORK. WHETHER SHOWN ON THE PLANS OR NOT AND FOR ALL REPAIRS AND CONSEQUENCES RESULTING FROM DAMAGE TO SAME.
13. THE CONTRACTOR(S) SHALL BE SOLELY RESPONSIBLE TO GIVE 72 HOURS WRITTEN NOTICE TO THE UTILITIES PRIOR TO CROSSING SUCH UTILITIES, FOR THE PURPOSE OF INSPECTION BY THE CONCERNED UTILITY. THIS INSPECTION WILL BE FOR THE DURATION OF THE CONSTRUCTION, WITH THE CONTRACTOR RESPONSIBLE FOR ALL COSTS ARISING FROM SUCH INSPECTION.
14. ALL PROPOSED WATER PIPING MUST BE ISOLATED THROUGH A TEMPORARY CONNECTION THAT SHALL INCLUDE AN APPROPRIATE CROSS-CONNECTION CONTROL DEVICE, CONSISTENT WITH THE DEGREE OF HAZARD, FOR BACKFLOW PREVENTION OF THE ACTIVE DISTRIBUTION SYSTEM, CONFORMING TO REGION OF PELL STANDARDS 1-7-7 OR 1-7-8.



HOARDING NOTES

1. HOARDING DETAILS TO BE DETERMINED FOLLOWING INITIAL SITE INSPECTION.
2. PRIVATE TREE HOARDING TO BE APPROVED BY DEVELOPMENT & DESIGN.
3. HOARDING MUST BE SUPPLIED, INSTALLED AND MAINTAINED BY THE APPLICANT THROUGHOUT ALL PHASES OF CONSTRUCTION. INSPECTION MUST BE CONDUCTED BY THE DEVELOPMENT AND DESIGN DIVISION PRIOR TO REMOVING ANY/ALL PRIVATE HOARDING.
4. DO NOT ALLOW WATER TO COLLECT AND POND BEHIND OR WITHIN HOARDING.
5. T-BAR SUPPORTS ARE ACCEPTABLE ALTERNATIVE TO 4X4 POSTS. U-SHAPED METAL SUPPORTS WILL NOT BE ACCEPTED.
6. PLYWOOD MUST BE UTILIZED FOR 'SOLID' HOARDING. OSB/CHIPBOARD WILL NOT BE ACCEPTED FOR SOLID HOARDING. PLYWOOD SHEETS MUST BE INSTALLED ON "CONSTRUCTION" SIDE OF FRAME.
7. APPLICANT IS RESPONSIBLE TO ENSURE UTILITY LOCATES ARE COMPLETED WITHIN CITY BOULEVARD PRIOR TO INSTALLING FRAMED HOARDING.

PROJECT STATISTICS			
ADDRESS: 58 LAKE STREET			
ZONING: R1S-1			
LOT AREA:	368.37 m ²		
LOT FRONTAGE (AT 5.0 m SETBACK):	20.12 m		
AVERAGE GRADE:	78.22 m		
HEIGHT TO HIGHEST RIDGE: SLOPED ROOF (MAX 9.0m):	EX. 7.30 m		
HEIGHT TO HIGHEST RIDGE: FLAT ROOF:	N/A		
HEIGHT TO UNDERSIDE OF EAVES (MAX 6.8m):	EX. 4.68 m		
GROSS FLOOR AREA			
GROUND FLOOR:	EXISTING	PROPOSED	TOTAL
	68.78 m ²	32.65 m ²	101.44 m ²
SECOND FLOOR:	28.59 m ²	0 m ²	28.59 m ²
GARAGE:	0 m ²	0 m ²	0 m ²
TOTAL GFA:	97.38 m ²	32.65 m ²	130.03 m ²
LOT COVERAGE:			
DWELLING FOOTPRINT: (incl. garage):	71.91 m ²	32.14 m ²	104.05 m ²
PORCH:	0 m ²	7.52 m ²	7.52 m ²
COVERED DECK:	0 m ²	8.09 m ²	8.09 m ²
OTHER:	0 m ²	0 m ²	0 m ²
64 BACKING FLOOR PROJECTIONS:	0 m ²	0 m ²	0 m ²
TOTAL LOT COVERAGE (MAX 40%):	32.5%		119.66 m ²

AVERAGE GRADE CALCULATIONS:			
	A	B	
1. CENTRELINE OF STREET	77.69 m	77.91 m	
2. INTERSECTION OF FRONT AND SIDE LOT LINES	78.00 m	78.34 m	
3. ALONG SIDE LOT LINES AT REQUIRED FRONT YARD SETBACK	78.19 m	78.52 m	
4. BACK FROM PREVIOUS ELEVATION EXCEPT-TO THE END OF THE PROPERTY	78.32 m	78.50 m	
SUM OF GRADE ELEVATIONS:			
AVERAGE GRADE: (SUM DIVIDED BY 8)			78.22m
LANDSCAPED SOFT AREA (FRONT - LEFT SIDE)			
FRONT YARD AREA:			106.11 m ²
YARD SURFACED AREAS:			21.03 m ²
TOTAL LANDSCAPED SOFT AREA 40%:	80.2%		85.06 m ²

SETBACKS			
	PERMITTED	PROPOSED	
FRONT YARD	3.00 m/1.20 m	EX. 1.56 m/	
SIDE YARD	5.00 m	NEW 7.97m	
REAR YARD	7.5 m	EX. -1.60 m	

IT IS RECOMMENDED THAT AS LITTLE SOIL COVER AS POSSIBLE IS USED TO AVOID SUPPORTING THE ADJACENT TREE ROOTS AS THIS AREA IS READY COMPACTED FROM PREVIOUS USES. GRADING SHOULD BE AS MINIMAL AS POSSIBLE.

IF ANY FILL IS DISCOVERED, IT WILL BE ASSESSED BY A GEOTECHNICAL ENGINEER FOR GEOTECHNICAL AND ENVIRONMENTAL STABILITY, OR OTHERWISE REMOVED ACCORDING TO ALL APPLICABLE GUIDELINES AND REGULATIONS.

ALL EXCESS EXCAVATED MATERIAL WILL BE REMOVED FROM THE SITE.

PRIOR TO CONSTRUCTION TAKING PLACE, ALL REQUIRED HOARDING IN ACCORDANCE WITH THE ONTARIO OCCUPATIONAL HEALTH & SAFETY ACT AND REGULATIONS FOR CONSTRUCTION PROJECTS MUST BE ERECTED AND THEN MAINTAINED THROUGHOUT ALL PHASES OF CONSTRUCTION.

ALL LANDSCAPING AND GRADING WITHIN CLOSE PROXIMITY TO THE PROPOSED ACCESS POINTS IS TO BE DESIGNED TO INSURE THAT ADEQUATE NIGHT SIGNAGE IS AVAILABLE FOR ALL APPROACHES AND BEING WORKERS AND PEDESTRIANS.

CONSTRUCTION MATERIALS ARE NOT TO BE PUT OUT FOR COLLECTION.

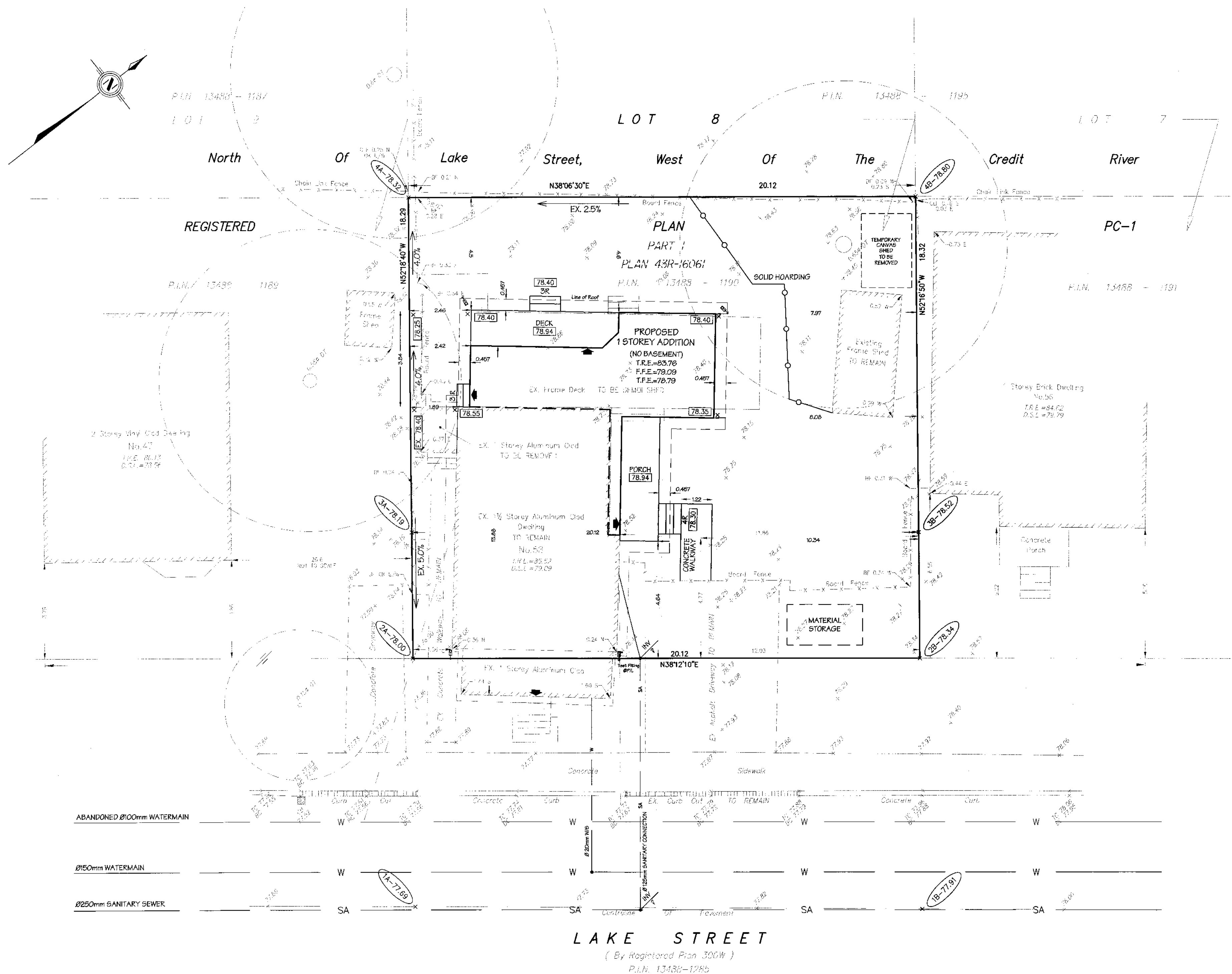
THE PROPOSED DEVELOPMENT OF THE SUBJECT SITE MAY NEGATIVELY IMPACT THE ROOT ZONES OF NEARBY TREES ON ADJACENT PROPERTY AND ULTIMATELY DAMAGE THE TREES. THE OWNER SHOULD TAKE ALL REASONABLE STEPS TO MINIMIZE DISTURBANCE TO THE ADJACENT TREES ROOT ZONES THAT ARE WITHIN THE SUBJECT SITE.

THE OWNER IS RESPONSIBLE FOR ENSURING THAT THE HOARDING IS MAINTAINED THROUGHOUT CONSTRUCTION AND THAT NO MATERIALS MAY BE STOCKPILED WITHIN THE AREA OF THE HOARDING.

HOARDINGS MUST BE INSPECTED PRIOR TO REMOVAL OF ANY TREE PROTECTION HOARDING FROM THE SITE.

ALL DAMAGED OR DISTURBED AREAS WITHIN THE MUNICIPAL RIGHT-OF-WAY ARE TO BE REINSTITUTED AT THE APPLICANTS EXPENSE.

THE EXISTING DRAINAGE PATTERN WILL BE MAINTAINED.

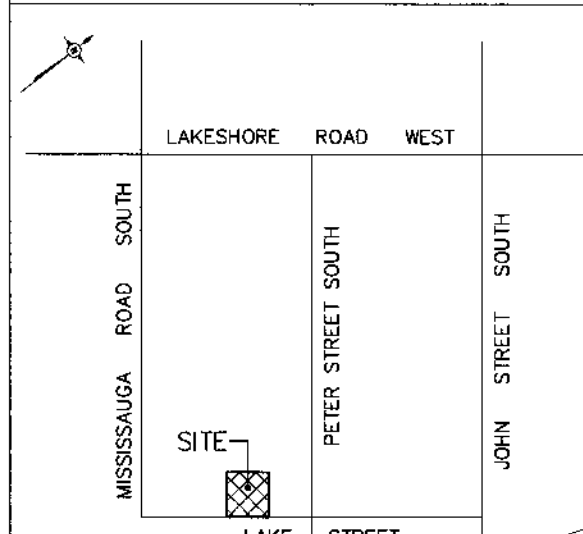


LAKE STREET

(By Registered Plan 3006)

P.L.N. 13486-1286

ALL UNDERGROUND SERVICES TO REMAIN THE SAME

KEY PLAN
NOT TO SCALE

FILE:

SPM 18-104W1

**SITE and GRADING PLAN of
PROPOSED 1 STOREY ADDITIONS
58 LAKE STREET
MISSISSAUGA, ONTARIO
L5H 1A3**

AGENT: RENEE SOUHA
PHONE (CELL): 647-208-1480

LEGAL DESCRIPTION

PART OF LOT 8
NORTH OF LAKE STREET WEST OF THE CREDIT RIVER
REGISTERED PLAN 425
CITY of MISSISSAUGA
Regional Municipality of Peel

SCALE 1 : 100

AVANTI SURVEYING INC.

© COPYRIGHT 2018

METRIC

DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND
CAN BE CONVERTED TO FEET BY DIVING BY 0.3048.

BEARING NOTE

BEARINGS ARE REFERRED TO THE
NORTHWEST LIMIT OF LAKE STREET, HAVING A BEARING
OF N38°12'12"W ACCORDING TO REGISTERED PLAN 3006.

ELEVATION NOTE

ELEVATIONS ARE GEODETIC AND ARE REFERRED TO THE
CITY OF MISSISSAUGA BENCH MARK NO. 731, LOCATED
ON THE SOUTH FACE BETWEEN THE DOORS OF A RED BRICK
FIRE STATION #104, LOCATED AT 62 PORT STREET WEST.
ON THE NORTH SIDE OF PORT STREET, 50M EAST OF MISSISSAUGA
ROAD HAVING A PUBLISHED ELEVATION OF 81.56 METRES.

LEGEND

P.L.N.	DENOTES	PROPERTY IDENTIFIER NUMBER
N.S.E.W	←	NORTH-SOUTH-EAST-WEST
BF	←	OVERHEAD WIRES
CLF	←	CHAIN LINK FENCE
CB	←	CATCH BASIN
DT	←	DECIDUOUS TREE
Ø	←	DIAMETER
TW	←	TOP OF WALL
BW	←	BOTTOM OF WALL
BT	←	BELL TELEPHONE BOX
TC	←	TOP OF CURB
BC	←	BOTTOM OF CURB
F.R.E.	←	TOP OF ROOF ELEVATION
D.S.E.	←	DOORSILL ELEVATION
F.F.E.	←	FINISHED FLOOR ELEVATION
12.F.	←	TOP OF FOUNDATION WALL ELEVATION
92.78	←	EXISTING ELEVATION
(82.80)	←	PROPOSED ELEVATION
(85.14)	←	ESTABLISHED GRADE
A/C	←	DOOR
A/C	←	AIR CONDITIONER
□→	←	DOWNSPOUT & SPLASHPAD

SURVEYOR'S CERTIFICATE

I HAVE REVIEWED THE PLANS FOR THE CONSTRUCTION OF THIS
PROPERTY AND HAVE PREPARED THIS PLAN TO INDICATE THE
COMPATIBILITY OF THE PROPOSAL TO EXISTING ADJACENT
PROPERTIES AND MUNICIPAL SERVICES. IT IS MY BELIEF THAT
ADHERENCE TO THE PROPOSED GRADES AS SHOWN WILL
PRODUCE ADEQUATE SURFACE DRAINAGE AND PROPER FACILITY
OF THE MUNICIPAL SERVICES WITHOUT ANY DETRIMENTAL EFFECT
TO THE EXISTING DRAINAGE PATTERNS OF ADJACENT PROPERTIES.

MARCH 8, 2018

DATE

CHRIS BERECHNEWICZ

ONTARIO LAND SURVEYOR

**AVANTI
SURVEYING INC.**

310 North Queen St., Unit 102, Toronto ON M9C-5K4

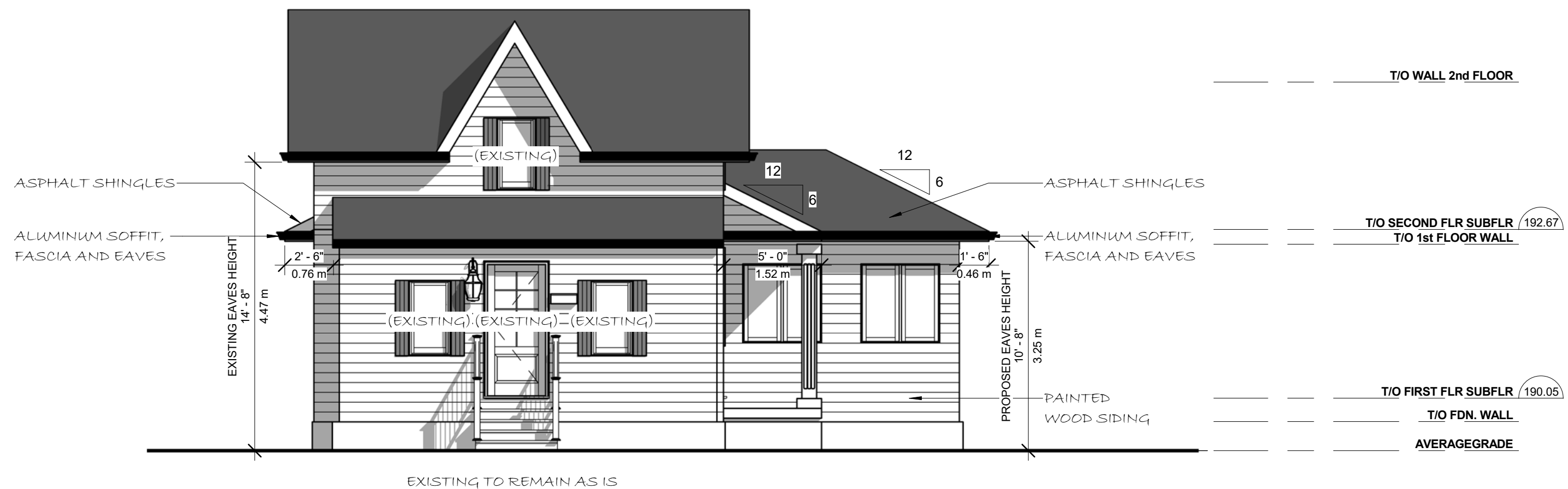
Tel: (416) 231-1174 - Fax: (416) 621-3360

E-MAIL: info@avantisurveying.com

DRAWN: J.K. CHECKED: C.B. PROJECT 18-030

REVISIONS

1.	MAY 2, 2018	6.	
2.	NOVEMBER 19, 2018	7.	
3.		8.	
4.		9.	
5.		10.	



CONTRACTORS MUST CHECK AND VERIFY ALL INFORMATION WITH THE LATEST APPROVED DRAWINGS AND ON SITE CONDITIONS AND REPORT ALL DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING WITH CONSTRUCTION.

CONTRACTORS TO WORK IN ACCORDANCE
WITH ALL PLANS, SPECIFICATIONS, GENERAL
AND CONSTRUCTION NOTES APPROVED.

DO NOT SCALE DRAWINGS

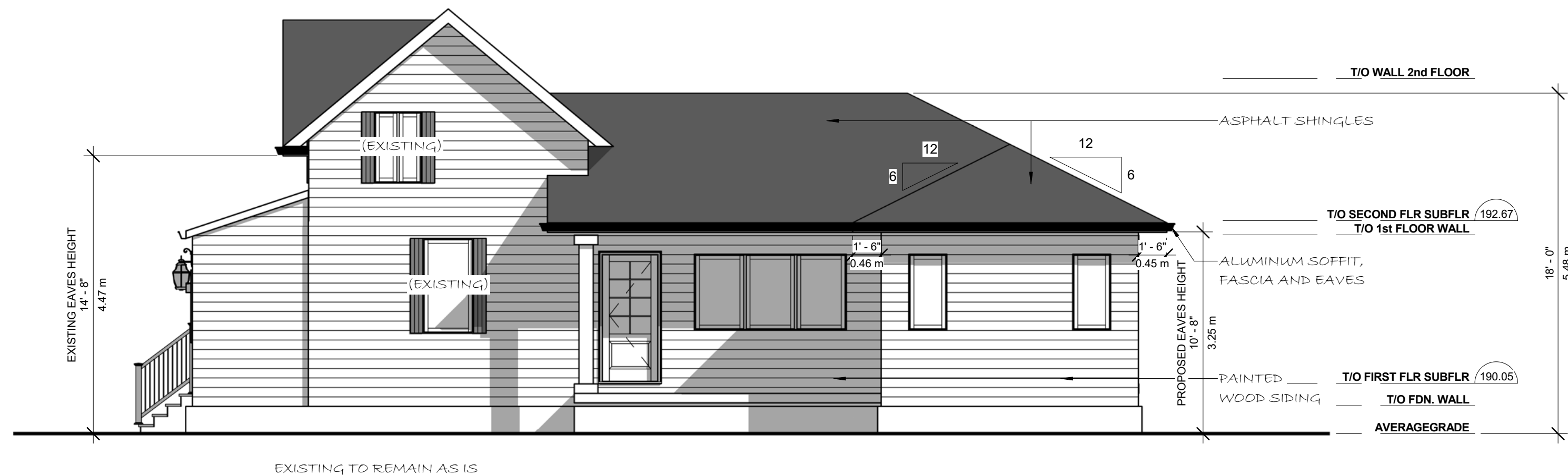
THESE PLANS ARE "COPY WRITE" PROTECTED
AND ARE THE PROPERTY OF THE DESIGNER, NO
PLANS CAN BE USED WITH OUT WRITTEN
CONSENT FROM THE DESIGNER AND STAMPED
"FINAL PLANS"

B.N.
ENGINEERING DESIGN INC.

83 GALAXY BLVD. UNIT 13
ETOBICOKE, ON
M9W 5X6

PH: 905-275-3571
BNED@ROGERS.COM

1 SOUTH ELEVATION
3/16" = 1'-0"



TRUE NORTH	CONSTRUCTION NORTH
------------	--------------------

PROJECT ADDRESS

58 Lake St,
Mississauga, ON L5H 1A3

SHEET NAME:

ELEVATIONS 1

OWNER:	Owner
--------	-------

CHECKED BY: _____ Checker

DATE: 4/30/2018 8:23:10 PM

SCALE: $3/16" = 1'-0"$

DRAWN BY: Author

JOB NUMBER: 14 -

SHEET: **A01**

A3.1

2 EAST ELEVATION
3/16" = 1'-0"



1 NORTH ELEVATION
3/16" = 1'-0"



2 WEST ELEVATION
3/16" = 1'-0"

NO.	REVISIONS

CONTRACTORS MUST CHECK AND VERIFY ALL INFORMATION WITH THE LATEST APPROVED DRWINGS AND ON SITE CONDITIONS AND REPORT ALL DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING WITH CONSTRUCTION.

CONTRACTORS TO WORK IN ACCORDANCE WITH ALL PLANS, SPECIFICATIONS, GENERAL AND CONSTRUCTION NOTES APPROVED.

DO NOT SCALE DRAWINGS

THESE PLANS ARE "COPY WRITE" PROTECTED AND ARE THE PROPERTY OF THE DESIGNER, NO PLANS CAN BE USED WITH OUT WRITTEN CONSENT FROM THE DESIGNER AND STAMPED "FINAL PLANS"

**B.N.
ENGINEERING DESIGN INC.**

83 GALAXY BLVD. UNIT 13
ETOBICOKE, ON
M9W 5X6

PH: 905-275-3571
BNED@ROGERS.COM

TRUE NORTH	CONSTRUCTION NORTH
------------	--------------------

PROJECT ADDRESS
**58 Lake St,
Mississauga, ON L5H 1A3**

SHEET NAME:
ELEVATIONS 2

OWNER: **Owner**

CHECKED BY: **Checker**

DATE: **4/30/2018 8:23:29 PM**

SCALE: **3/16" = 1'-0"**

DRAWN BY: **Author**

JOB NUMBER: **14 -**

SHEET:
A3.2

City of Mississauga

Corporate Report



Date: 2019/04/16

To: Chair and Members of Heritage Advisory Committee

From: Paul Mitcham, P. Eng, MBA, Commissioner of
Community Services

Originator's files:

Meeting date:
2019/05/07

Subject

Request to Alter a Heritage Designated Property: 26 Bay Street (Ward 1)

Recommendation

That the request to alter the heritage designated property at 26 Bay Street, as per the Corporate Report from the Commissioner of Community Services, dated April 16, 2019, be approved.

Background

The City designated the Old Port Credit Village Heritage Conservation District (HCD) under Part V of the Ontario Heritage Act in 2004. The 2004 plan remains in effect due to a Local Planning Appeal Tribunal (LPAT) appeal. The subject property is included in the district and identified as a "historic" building in the plan. As such, the property is subject to the heritage permitting requirements outlined in the plan for this classification.

Comments

The City issued a heritage permit in 2018, as per Item 7.1 here:

https://www7.mississauga.ca/documents/committees/heritage/2018/2018_11_13_HAC_Agenda.pdf. Modifications to the original submission are now proposed. See Appendix 1. The changes are minor and largely not visible from the street. The revised application minimizes new built form and new openings. The proposed alteration remains sensitive to the character of the property and the HCD and should be approved.

Section 3.1.6 of the Old Port Credit Village Heritage Conservation District Plan (2004) requires that variances be reviewed by the City's Heritage Advisory Committee. Be advised that the following variances are required for this application:

- A dwelling unit depth of 21.5 metres whereas a maximum of 20 metres is permitted
- A flat or mansard roof as roofs with a pitch of less than 15 degrees are considered flat
- A variance may also be required for the setback of the second storey

Existing Construction:

- A westerly side yard of 2.5 metres measured to the existing portion of the dwelling whereas a minimum of 3 metres is required
- An easterly side yard of 0.92 metres to the existing portion of the dwelling whereas a minimum of 1.2 metres is required
- A front yard of 4.7 metres measured to the existing portion of the dwelling whereas a minimum of 5 metres is required

Financial Impact

There is no financial impact resulting from the recommendation in this report.

Conclusion

The owner of the subject property proposes additional built form at the rear of the property and some modifications to the existing house. The proposal complies with the HCD plan and should therefore be approved.

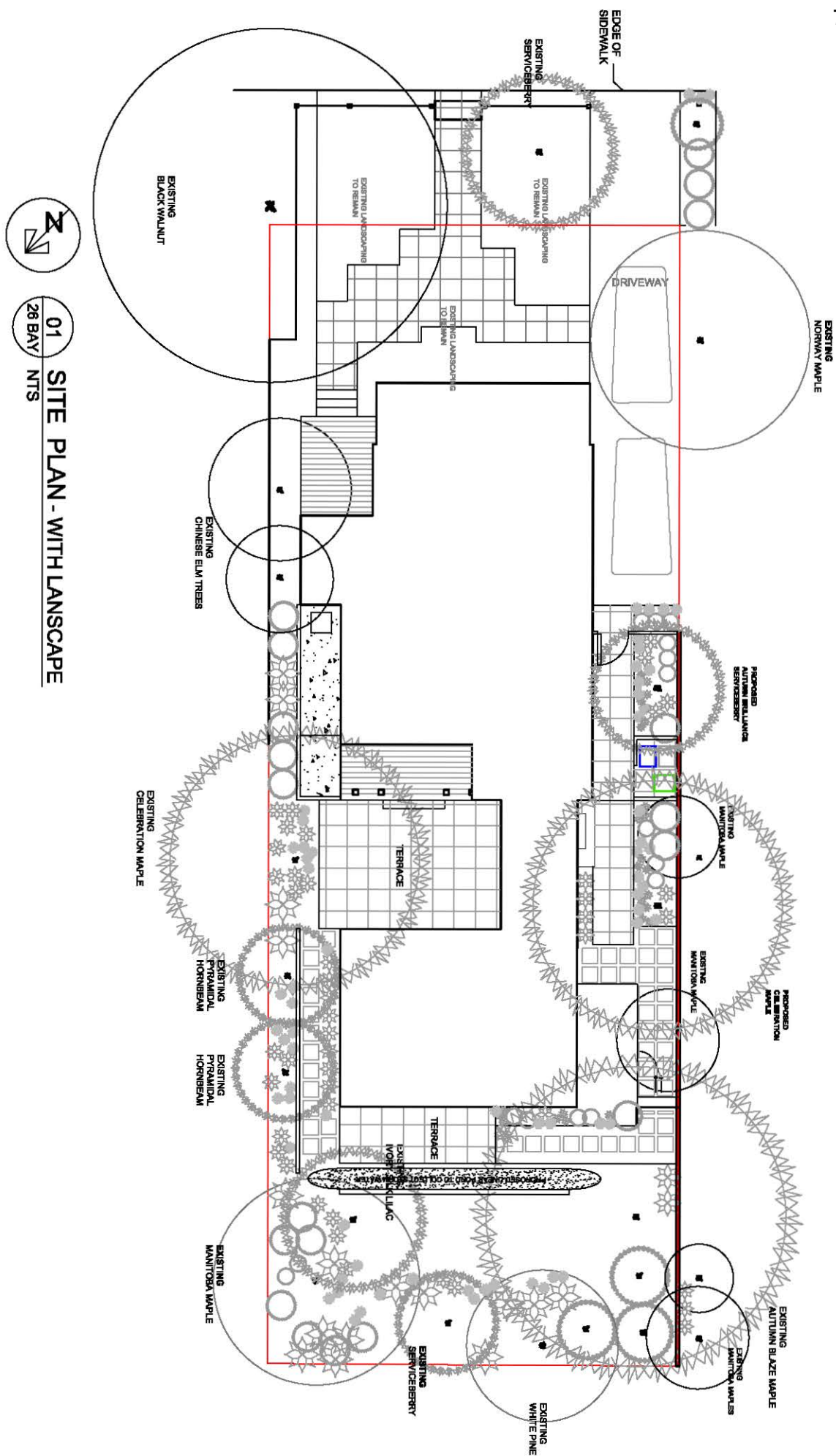
Attachments

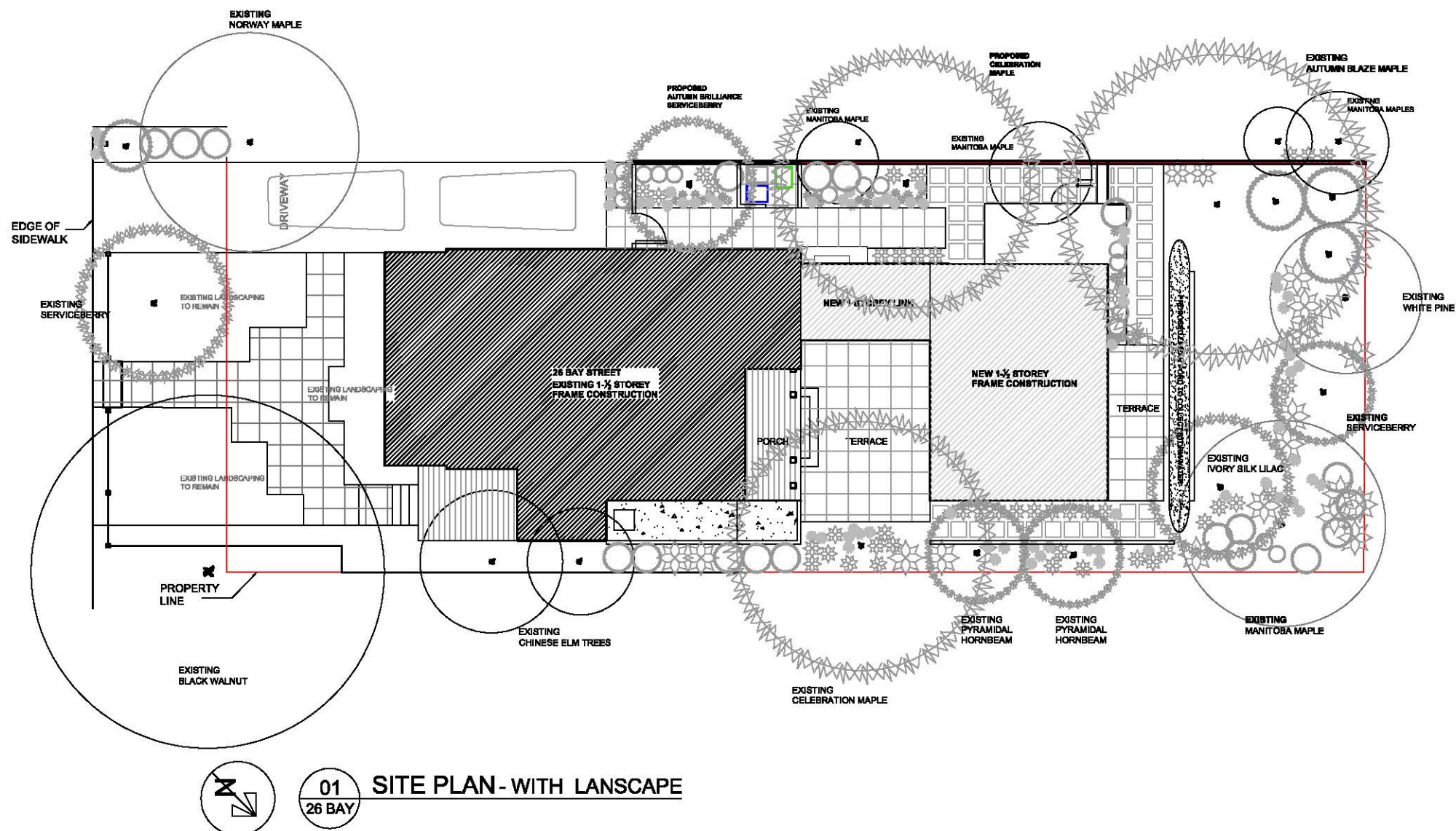
Appendix 1: Drawings



Paul Mitcham, P. Eng, MBA, Commissioner of Community Services

Prepared by: P. Wubbenhorst, Heritage Planner





WINDOWS

**NORWOOD WOOD WINDOWS
500 SERIES
DOUBLE HUNG ENERGYSTAR (D525)
FACTORY FINISH PAINT
COLOUR - WHITE**

SUPLLIER
RIDLEY WINDOWS & DOORS

EXTERIOR DOORS & FRENCH DOORS

**MILETTE DOORS
SERIES 4000 / 4400
CLEAR PINE
PAINTED FINISH**

SIDING - OPTION 01

JAMES HARDIE
HardiePlank LAP SIDING
WOOD COMPOSITE PLANKS
SMOOTH FINISH
COLOUR TBD

SIDING - OPTION 02

MAIBEC
RABBETED BEVEL - 1"X4"
WOOD SIDING
BRUSHED FINISH
COLOUR TBD

ROOF SHINGLES

TO MATCH EXISTING ASPHALT SHINGLES

EAVESTROUGHS & DOWNSPOUTS

WHITE ALUMINUM

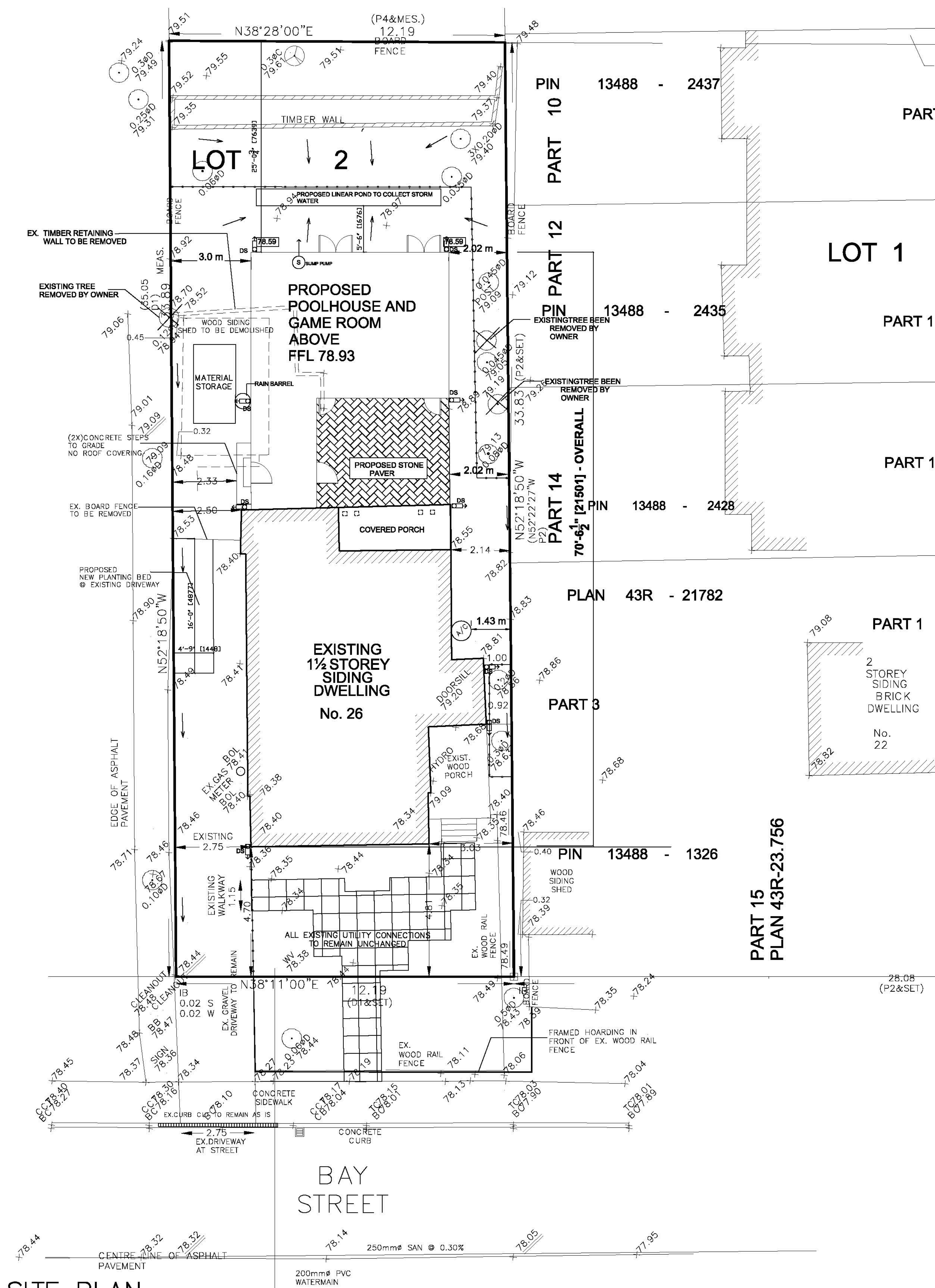
NOTES

[illegible]

PROJECT
26 BAY STREET
PORT CREDIT ON

DRAWING TITLE
PROPOSED FINISHES LIST

DATE JULY 2018	SCALE NTS
PROJECT NO. 26 BAY	DRAWING NO. FINISHES LIST



OWNER
ANTOINET MUSIOL
26 BAY STREET
MISSISSAUGA, ONTARIO
L4H 2C7
TEL: 905-891-8964

APPLICANT
TOM MARICIC
24 FRONT STREET SOUTH
MISSISSAUGA, ONTARIO
L4H 2C7
TEL: 416-540-6471

SITE STATISTICS

ZONE	R15-1, RESIDENTIAL
LOT AREA	4,446.78 S.F. 413.12 m ²
40% MAXIMUM COVERAGE	1,778.74 S.F. 165.25 m ²
PROPOSED COVERAGE	1,411.90 S.F. 131.16 m ²
MAXIMUM G.F.A. (100% LOT AREA TO MAX 300MM)	2,708.42 S.F. 251.82 m ²
PROPOSED G.F.A.	2,273.71 S.F. 211.23 m ²

BUILDING STATISTICS

MAIN FLOOR G.F.A.	1,412.14 S.F. 131.19 m ²
SECOND FLOOR G.F.A.	861.57 S.F. 80.04 m ²
TOTAL G.F.A.	2,273.71 S.F. 211.23 m ²

LANDSCAPING STATISTICS

FRONT YARD AREA	616.66 S.F. 57.29 m ²
DRIVEWAY AREA (21.91%)	135.16 S.F. 12.56 m ²
FRONT YARD SOFT LANDSCAPING AREA	481.50 S.F. 44.73 m ²
SIDE YARDS AREA	1041.13 S.F. 96.73 m ²
SIDE YARDS SOFT LANDSCAPING AREA	712.15 S.F. 66.16 m ²
REAR YARD AREA	999.75 S.F. 92.88 m ²
REAR YARD SOFT LANDSCAPING AREA	999.75 S.F. 92.88 m ²
LOT AREA	4,446.78 S.F. 413.12 m ²
TOTAL SOFT LANDSCAPING AREA	2,193.40 S.F. 203.77 m ²
	49.33% OF TOTAL LOT AREA

GENERAL NOTES

- THE CONTRACTOR IS TO CHECK AND VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION. ANY DISCREPANCIES MUST BE REPORTED TO THE ENGINEER IMMEDIATELY.
- THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND PROTECTING ALL UTILITIES DURING CONSTRUCTION. GAS, HYDRO, TELEPHONE OR ANY OTHER UTILITIES THAT MAY EXIST ON THE SITE OR WITHIN THE STREETS MUST BE LOCATED BY ITS OWN UTILITIES AND VERIFIED PRIOR TO CONSTRUCTION.
- ALL CONNECTIONS SHALL BE INSTALLED AS PER MUNICIPAL STANDARDS AND SPECIFICATIONS.
- THE ELEVATION OF THE SIDE SLOPE AT THE BUILDING LINE SHALL BE A MINIMUM OF 150mm BELOW THE BUILDING LINE AT THE FRONT OF THE LOT.
- THE ELEVATION OF THE SIDE SLOPE AT THE BUILDING LINE SHALL BE A MINIMUM OF 150mm BELOW THE BUILDING LINE AT THE REAR OF THE LOT.
- THE OUTSIDE FINISHED GRADE IS TO BE A MINIMUM OF 150mm BELOW THE BRICK VENEER ELEVATION.
- PRIOR TO ANY SOILING, THE BUILDING IS TO BE INSURED TO THE SOIL CONSULTANT AND/OR THE ENGINEER THAT THE LOT HAS BEEN GRADED, TOPSOILED AND SOILED COMPLETELY WITH A MINIMUM DEPTH OF 100mm OF TOPSOIL AND NO. 1 NURSERY SOIL. A MINIMUM DEPTH OF 100mm OF CRUSHED STONE IS TO BE PROVIDED ON THE ENTIRE LOT EXCEPT FOR THE DRIVEWAY ON A FIRM SURFACE. THE DRIVEWAY IS TO BE PAVED WITH A MINIMUM COMPACTED DEPTH OF 75mm OF ASPHALT BETWEEN THE DRIVE AND THE CHANGING.
- NO SOILING ON ANY LOT IS PERMITTED UNTIL A PRELIMINARY INSPECTION IS DONE BY THE ENGINEER AND THE BUILDING.
- AT THE ENTRANCES TO THE SITE, THE MUNICIPAL CURB AND SIDEWALK MUST BE CONTINUOUS THROUGH THE DRIVEWAY AND A CURB DEPRESSION WILL BE PROVIDED FOR EACH ENTRANCE.
- ALL PROPOSED CURBING AT THE ENTRANCES TO THE SITE IS TO STOP AT THE PROPERTY LINE OR AT THE MUNICIPAL SIDEWALK, WHICHEVER IS APPLICABLE.
- DRIVEWAY GRASSES SHOULD NOT BE LESS THAN 5.0% AND NOT GREATER THAN 8.0%.
- LAWN AND SLOPES SHALL HAVE A MINIMUM SLOPE OF 1.0% (PREFERABLY 2.0%) AND A MAXIMUM SLOPE OF 8.0%.
- WHERE GRASSES IN EXCESS OF 8.0% ARE REQUIRED, THE MAXIMUM SLOPE SHALL BE 3:1. GRADE CHANGES IN EXCESS OF 1:1 ARE TO BE ACCOMPANIED BY USE OF A RETAINING WALL.
- ALL BOTTLES FOR SEWERS, WATERMANS AND UTILITIES ON THE ROAD ALLOWANCE AND ON THE INTERNAL SITE MUST BE COMPACTED TO A MINIMUM OF 80% S.P.D. EXCEPT FOR THE TOP 300mm ON THE ROAD ALLOWANCE WHICH MUST BE COMPACTED TO 90% S.P.D. UNLESS OTHERWISE NOTED AND UNDER THE DIRECT SUPERVISION OF THE GEOTECHNICAL SOIL CONSULTANT.
- THE SERVICE CONNECTION TRENCH WITHIN THE TRAVELLED PORTION OF THE ROAD ALLOWANCE SHALL BE BACKFILLED WITH UNCOMPRESSIBLE BACKFILL MATERIAL AS PER C.M. 222.001 AND 222.002 UNLESS PRIOR APPROVAL FOR OTHER SPECIFIED BACKFILL MATERIAL HAS BEEN OBTAINED.
- ALL WATERMANS, WATER SERVICE MATERIALS AND CONSTRUCTION METHODS MUST CORRESPOND TO CURRENT PEEL PUBLIC WORKS STANDARDS AND SPECIFICATIONS.
- SEWAGE CONTROL FENCING IS TO BE INSTALLED AS PER C.M. 294.010.
- ALL DAMAGED LANDSCAPE AREAS WILL BE REINSTATED WITH TOPSOIL AND SOIL PRIOR TO RELEASE OF SECURITIES.
- THE OWNER IS RESPONSIBLE FOR ENSURING THAT THE TREE PROTECTION HOARDING IS MAINTAINED THROUGHOUT ALL PHASES OF CONSTRUCTION AND CONSTRUCTION IN THE LOT. THE HOARDING SHALL BE MAINTAINED THROUGHOUT ALL PHASES OF CONSTRUCTION. THE HOARDING SHALL BE MAINTAINED THROUGHOUT ALL PHASES OF CONSTRUCTION. THE HOARDING SHALL BE MAINTAINED THROUGHOUT ALL PHASES OF CONSTRUCTION.

Antoine Musiol

NOVEMBER 08 2018

DATE

OWNERS SIGNATURE

DATE

THE UNDERSIGNED PROPERTY OWNER HEREBY ACKNOWLEDGES AND AGREES THAT THEY ARE RESPONSIBLE FOR BOTH THE INSTALLATION AND MAINTENANCE OF WORKS AS SHOWN ON THE STAMPED APPROVED SITE PLAN AND ASSOCIATED DRAWINGS. THE FORM, MANNER AND LOCATION AS SET OUT ON SAID DRAWINGS, WITHOUT ANY CHANGE OR ADDITION, ANY CHANGES TO THE PLANS, INCLUDING NEW DEVELOPMENT OR REDEVELOPMENT ON THE PROPERTY, ARE SUBJECT TO A NEW SITE PLAN APPLICATION AND APPROVAL PROCESS.

IN ACCORDANCE WITH THE PROVISIONS OF SITE PLAN CONTROL BY-LAW 2003-2008 (AS AMENDED), THE CITY OF MISSISSAUGA MAY REVOKE ANY COVENANTS INCLUDING INTEREST AND ADMINISTRATION EXPENSES, TO PROVIDE, MAINTAIN OR COMPLETE SITE WORKS, IF THE PROPERTY OWNER HAS NOT COMPLIED WITH THE CITY OF MISSISSAUGA'S REQUIREMENTS FOR THE APPROVAL OF THE APPLICATION, IF THERE ARE NO SECURITIES HELD, OR IF THE AMOUNT OF SECURITIES HELD BY THE CITY ARE NOT SUFFICIENT TO COVER THE COSTS INCURRED, THEN THE COSTS INCURRED BY THE CITY CANNOT BE RECOVERED OR RECOVERED BY SECURITIES HELD BY THE CITY ARE TO BE COLLECTED IN THE SAME MANNER AS TAXES.

Antoine Musiol

NOVEMBER 08 2018

DATE

OWNERS SIGNATURE

DATE

21. ALL EXTERIOR LIGHTING WILL BE DIRECTED ONTO THE SITE AND WILL NOT INTERFERE UPON ADJACENT PROPERTIES.

22. THE APPLICANT WILL BE REQUIRED TO CONTACT ALL UTILITY COMPANIES TO OBTAIN ALL REQUIRED LOCATES PRIOR TO INSTALLATION OF HOARDING WITHIN THE MUNICIPAL RIGHT-OF-WAY.

23. THE PORTIONS OF THE DRIVEWAY WITHIN THE MUNICIPAL BOUNDARY IS TO BE PAVED BY THE APPLICANT.

24. ALL EXISTING EXCAVATED MATERIAL WILL NOT BE STORED ON SITE. EXCAVATED MATERIAL TO BE TRUCKED OFF SITE AT TIME OF EXCAVATION. MATERIAL REQUIRED FOR BACKFILL WILL BE TRUCKED BACK TO THE SITE WHEN BACKFILL COMMENCES.

25. THE EXISTING DRAINAGE PATTERN WILL BE MAINTAINED EXCEPT WHERE NOTED.

26. GRADES WILL NOT EXCEED A 3:1 MAXIMUM SLOPE AT THE PROPERTY LINES AND WITHIN THE SITE.

27. ANY ABOVE GROUND UTILITIES WITHIN 1.5 METRES OF A PROPOSED ACCESS TO BE RELOCATED AT THE APPLICANTS EXPENSE.

28. ANY SPRING SYSTEM ON SITE WILL BE DECOMMISSIONED AND REMOVED ACCORDING TO ALL APPLICABLE GUIDELINES AND REGULATIONS.

29. THE CITY OF MISSISSAUGA REQUIRES THAT ALL WORKING DRAWINGS SUBMITTED TO THE BUILDING DIVISION AS PART OF AN APPLICATION FOR THE ISSUANCE OF A BUILDING PERMIT SHALL BE CERTIFIED BY THE ARCHITECT OR ENGINEER AS BEING IN CONFORMITY WITH THE SITE DEVELOPMENT PLAN AS APPROVED BY THE CITY OF MISSISSAUGA.

30. I HEREBY CERTIFY THAT THIS DRAWING CONFORMS IN ALL RESPECTS TO THE SITE DEVELOPMENT PLANS AS APPROVED BY THE CITY OF MISSISSAUGA UNDER FILE NUMBER SP 18-102 W1

Babak Naghsh

NOVEMBER 08 2018

DATE

ENGINEER SIGNATURE

DATE

41. PRIOR TO ANY CONSTRUCTION TAKING PLACE, HOARDING ADJACENT TO EXISTING PROPERTIES TO PROTECT FROM CONSTRUCTION ACTIVITY AND ALL REQUIRED HOARDING IN ACCORDANCE WITH THE ONTARIO OCCUPATIONAL HEALTH AND SAFETY ACT AND REGULATIONS FOR CONSTRUCTION PROJECTS MUST BE ERECTED AND THEN MAINTAINED THROUGHOUT ALL PHASES OF CONSTRUCTION.

42. THE APPLICANT WILL BE RESPONSIBLE FOR THE COST OF ANY UTILITY RELOCATIONS NECESSITATED BY THE SITE PLAN.

43. HOARDING MUST BE INSPECTED PRIOR TO REMOVAL OF ANY TREE PROTECTION HOARDING FROM THE SITE.

44. OPEN TRENCHING WILL NOT BE PERMITTED WITHIN THE TREE PRESERVATION AREA.

45. ALL SURFACE DRAINAGE WILL BE SELF-CONTAINED, COLLECTED AND DISCHARGED AT A LOCATION TO BE APPROVED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. AT THE ENTRANCES TO THE SITE, THE MUNICIPAL CURB AND SIDEWALK WILL BE CONTINUOUS THROUGH THE DRIVEWAY AND A CURB DEPRESSION WILL BE PROVIDED FOR EACH ENTRANCE. ALL PROPOSED CURBING WITHIN THE MUNICIPAL BOUNDARY AREA FOR THE SITE IS TO BE SET AS FOLLOWS: A) FOR ALL SINGLE FAMILY RESIDENTIAL PROPERTIES INCLUDING ON STREET TOWNHOUSES, ALL CURBING IS TO STOP AT THE PROPERTY LINE OR THE BACK OF THE MUNICIPAL SIDEWALK, WHICHEVER IS APPLICABLE. OR, B) FOR ALL OTHER PROPOSALS INCLUDING INDUSTRIAL, COMMERCIAL AND CONDOMINIUM DEVELOPMENTS, ALL ENTRANCES TO THE SITE ARE TO BE IN ACCORDANCE WITH O.P.S.D. 380.010.

46. WORK IN THE MUNICIPAL RIGHT-OF-WAY BEING PERFORMED BY THE CITY'S CONTRACTOR WILL REQUIRE A 4 WEEKS NOTICE PRIOR TO COMMENCEMENT OF CONSTRUCTION AFTER ALL DRAWINGS HAVE BEEN APPROVED AND SECURITIES HAVE BEEN RECEIVED.

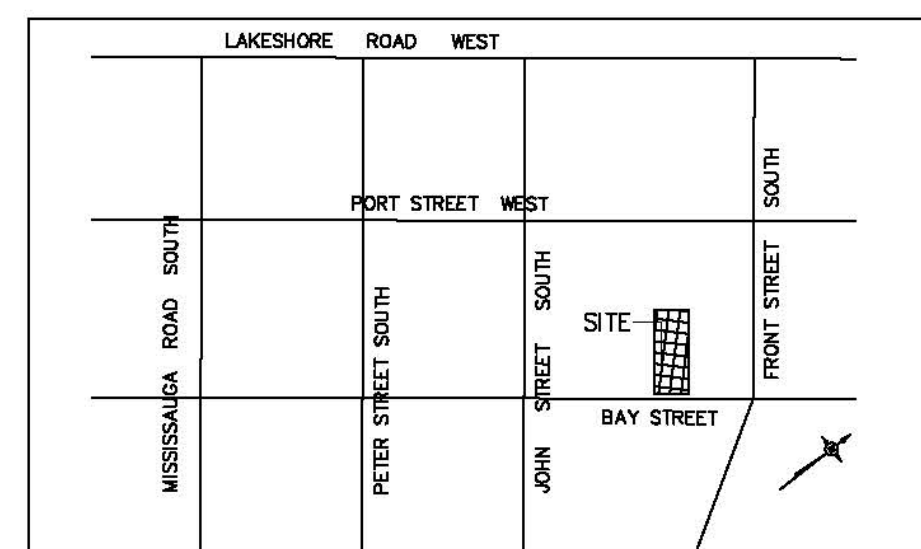
EROSION SEDIMENT CONTROL NOTE

1. EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE CONTINUOUSLY EVALUATED, AND IMPROVED AS TO BE IMPLEMENTED WHEN NECESSARY.

2. THE CONTRACTOR IS ULTIMATELY RESPONSIBLE FOR CONTROLLING SEDIMENT AND EROSION WITHIN THE CONSTRUCTION SITE FOR THE TOTAL PERIOD OF THE CONSTRUCTION, THE SEDIMENT LADEN WATER WILL NOT BE ALLOWED TO DISCHARGE TO THE CREEK.

3. AN AFTER HOURS CONTACT NUMBER IS TO BE VISIBLY POSTED ON-SITE FOR EMERGENCIES.

PLAN OF SURVEY WITH TOPOGRAPHY OF
PART OF LOT 2
NORTH OF BAY STREET
WEST OF CREDIT RIVER
PLAN PC-1 (ALSO SHOWN ON PLAN 300)
CITY OF MISSISSAUGA
REGIONAL MUNICIPALITY OF PEEL



EASEMENTS

SUBJECT TO THERE ARE NO EASEMENTS REGISTERED ON TITLE UNDERGROUND SERVICES

THE LOCATION OF UNDERGROUND SERVICES SHOWN ON THIS PLAN IS ONLY APPROXIMATE AND IS FOR PLANNING AND DESIGN PURPOSES ONLY. THIS INFORMATION MUST NOT BE ASSUMED TO BE COMPLETE OR UP-TO-DATE AND AN ON-SITE LOCATE MUST BE OBTAINED PRIOR TO ANY EXCAVATION. TARASICK MACILLAN KUBICKI LIMITED ACCEPTS NO RESPONSIBILITY FOR ANY COLLISIONS OR LOSSES DUE TO IMPROPER USE OF THIS INFORMATION.

ELEVATION NOTE

ELEVATIONS ARE REFERRED TO CANADIAN GEODETIC VERTICAL DATUM-1928, AND WERE DERIVED FROM CITY OF MISSISSAUGA BENCHMARK No. 731, HAVING A PUBLISHED ELEVATION OF 81.580 metres.

BEARING NOTE

BEARINGS ARE ASTRONOMIC AND ARE REFERRED TO THE NORTHEASTERLY LIMIT OF BAY STREET AS SHOWN ON PLAN 43R-23756, HAVING A BEARING OF N38°11'04"E.

LEGEND

IB	IRON BAR	DENOTES SURVEY MONUMENT FOUND
IS	STANDARD IRON BAR	DENOTES
TC	TOP OF CURB	DENOTES
BC	BOTTOM OF CURB	DENOTES
CC	CURB CUT	DENOTES
BB	BELL BOX	DENOTES
DB	CATCH BASIN	DENOTES
DI	INSTRUMENT	DENOTES
WV	WATER VALVE	DENOTES
AV	PLAN	DENOTES
P2	PLAN 43R-23756	DENOTES
P3	STARR & TARASICK O.L.S., OCTOBER 28, 1964	DENOTES
DS	STARR & TARASICK O.L.S., FEBRUARY 9, 1959	DENOTES
DS	DOWNSPOUT	DENOTES
DT	DECIDUOUS TREE WITH TRUNK DIAMETER	DENOTES
CT	CONIFEROUS TREE WITH TRUNK DIAMETER	DENOTES

IT IS RECOMMENDED THAT AS LITTLE SOIL COVER AS POSSIBLE IS USED TO AVOID SUCCATGATING THE ADJACENT TREE ROOTS AS THIS AREA IS AS READY COMPACTED FROM PREVIOUS USES. GRADING SHOULD BE AS MINIMAL AS POSSIBLE.

IF ANY FILL IS DISCOVERED, IT WILL BE ASSESSED BY A GEOTECHNICAL ENGINEER FOR GEOTECHNICAL AND ENVIRONMENTAL SUITABILITY, OR OTHERWISE REMOVED ACCORDING TO ALL APPLICABLE GUIDELINES AND REGULATIONS.

ALL EXCESS EXCAVATED MATERIAL WILL BE REMOVED FROM THE SITE.

PRIOR TO CONSTRUCTION TAKING PLACE, ALL REQUIRED HOARDING IN ACCORDANCE WITH THE ONTARIO OCCUPATIONAL HEALTH & SAFETY ACT AND REGULATIONS FOR CONSTRUCTION PROJECTS MUST BE ERECTED AND THEN MAINTAINED THROUGHOUT ALL PHASES OF CONSTRUCTION.

ALL LANDSCAPING AND GRADING WITHIN CLOSE PROXIMITY TO THE PROPOSED ACCESS POINTS IS TO BE DESIGNED TO ENSURE THAT ADEQUATE SIGHT DISTANCES ARE AVAILABLE FOR ALL APPROACHING AND EXITING MOTORISTS AND PEDESTRIANS.

CONSTRUCTION MATERIALS ARE NOT TO BE PUT OUT FOR COLLECTION

THE PROPOSED DEVELOPMENT OF THE SUBJECT SITE MAY NEGATIVELY IMPACT THE ROOT ZONES OF NEARBY TREES ON ADJACENT PROPERTIES. ULTIMATELY DAMAGE THE TREES. THE OWNER SHOULD TAKE ALL REASONABLE STEPS TO MINIMIZE DISTURBANCE TO THE ADJACENT TREE ROOT ZONES THAT ARE WITHIN THE SUBJECT SITE.

THE OWNER IS RESPONSIBLE FOR ENSURING THAT THE HOARDING IS MAINTAINED THROUGHOUT CONSTRUCTION AND THAT NO MATERIALS MAY BE STOCKPILED WITHIN THE AREA OF THE HOARDING.

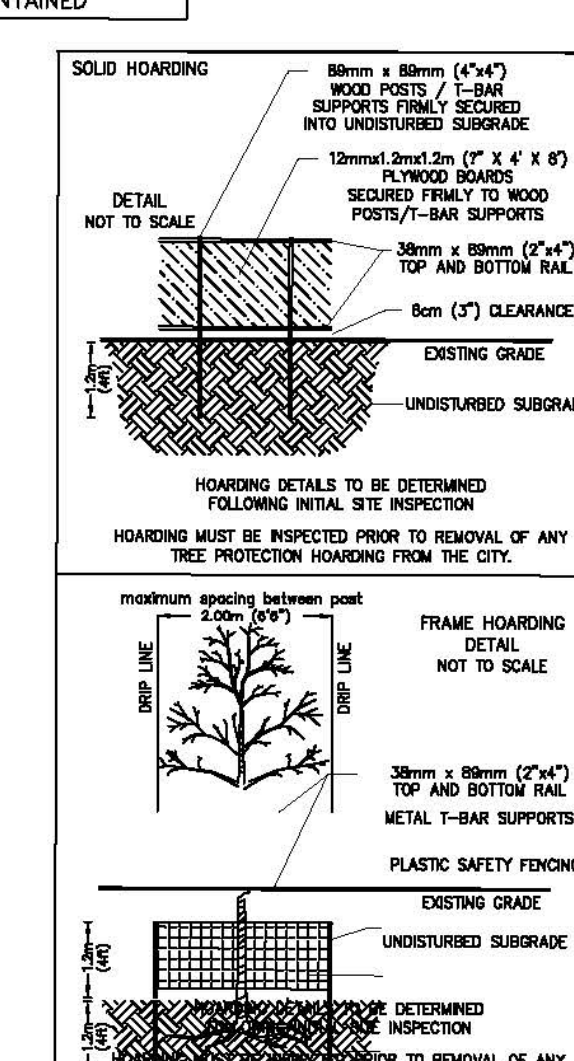
HOARDING MUST BE INSPECTED PRIOR TO REMOVAL OF ANY TREE PROTECTION HOARDING FROM THE SITE.

ALL DAMAGED OR DISTURBED AREAS WITHIN THE MUNICIPAL RIGHT-OF-WAY ARE TO BE REINSTATED AT THE APPLICANTS EXPENSE.

THE EXISTING DRAINAGE PATTERN WILL BE MAINTAINED

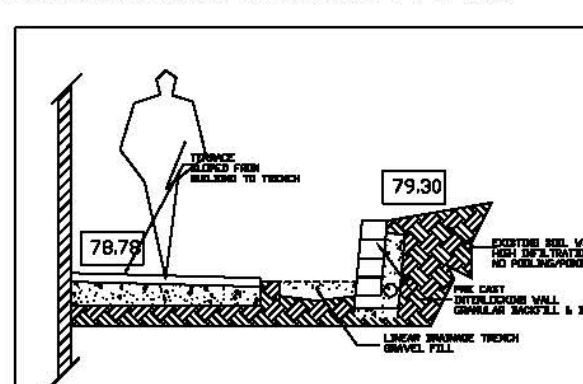
SHOULD THE INSTALLATION OF BELOW GRADE SERVICES REQUIRE HOARDING TO BE REMOVED, PLANNING AND BUILDING STAFF ARE TO BE CONTACTED PRIOR TO THE COMMENCEMENT OF SUCH WORK. SHOULD AN ALTERNATIVE SERVICE ROUTE NOT BE POSSIBLE, STAFF INSPECT AND DOCUMENT THE CONDITION OF THE VEGETATION AND SERVICING INSTALLATION IN ORDER TO MINIMIZE DAMAGE TO THE VEGETATION.

THE STRUCTURAL DESIGN OF ANY RETAINING WALL OVER 0.60m (2'00 FT) IN HEIGHT OR ANY RETAINING WALL LOCATED ON A PROPERTY LINE IS TO BE SHOWN ON THE SITE PLAN AND GRADING PLAN AND IS TO BE APPROVED BY THE CONSULTING ENGINEER FOR THE PROJECT.



HOARDING NOTES

- HOARDING DETAILS TO BE DETERMINED FOLLOWING INITIAL SITE INSPECTION.
- PRIVATE TREE HOARDING TO BE APPROVED BY DEVELOPMENT & DESIGN CITY TREE HOARDING TO BE APPROVED BY COMMUNITY SERVICES DEPT.
- HOARDING MUST BE SUPPLIED, INSTALLED AND MAINTAINED BY THE APPLICANT THROUGHOUT ALL PHASES OF CONSTRUCTION.
- DO NOT ALLOW WATER TO COLLECT AND POND BEHIND OR WITHIN HOARDING. 1-BAR SUPPORTS ARE ACCEPTABLE ALTERNATIVES TO 4-BAR POSTS. U-SHAPED METAL SUPPORTS WILL NOT BE ACCEPTED.
- PLYWOOD MUST BE UTILIZED FOR "SOLID" HOARDING. OSB/HARDBOARD WILL NOT BE ACCEPTED FOR "SOLID" HOARDING. PLYWOOD SHEETS MUST BE INSTALLED ON "CONSTRUCTION" SIDE OF FRAME.
- APPLICANT IS RESPONSIBLE TO ENSURE UTILITY LOCATES ARE COMPLETED WITHIN CITY BOULEVARD PRIOR TO INSTALLING FRAMED HOARDING.



PROPOSED LINEAR TRENCH TO COLLECT STORMWATER

Average grade calculations	
LOCATION	EXIST. GRADE EXIST. GRADE
1 CENTRE LINE OF ROAD	78.92 78.98
2 FRONT CORNER	78.44 78.49
3 MIN. FRONT SETBACK	78.46 78.46
4 15' BACK	78.69 78.15
SUM OF GRADE ELEVATIONS=	628.44
AVERAGE GRADE (metres) =	78.56

No.	REVISIONS
1	AUGUST 4, 2018
2	NOV 4, 2018
3	FEB 25, 2018

HOARDING MUST BE INSPECTED PRIOR TO REMOVAL OF ANY TREE PROTECTION HOARDING FROM THE SITE

HOARDING LEGEND

FRAMED HOARDING

SOLID HOARDING

NOTES APPROVED.

CONTRACTORS MUST CHECK AND VERIFY ALL INFORMATION WITH THE LATEST APPROVED DRAWINGS AND ON SITE CONDITIONS AND REPORT ALL DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING WITH CONSTRUCTION.

CONTRACTORS TO WORK IN ACCORDANCE WITH ALL PLANS, SPECIFICATIONS, GENERAL AND CONSTRUCTION

DO NOT SCALE DRAWINGS

THESE PLANS ARE "COPY WRITE" PROTECTED AND ARE THE PROPERTY OF THE DESIGNER. NO PLANS CAN BE USED WITHOUT WRITTEN CONSENT FROM THE DESIGNER AND STAMPED "FINAL PLANS"

B.N. ENGINEERING DESIGN INC.

13-83 GALAXY BOULEVARD
ETOBICOKE, ON
M9W 5X6

PH: 905-275-3571
BNE@ROGERS.COM

PROJECT ADDRESS

26 STREET STREET
MISSISSAUGA, ONTARIO

DRAWING TITLE

SITE PLAN
SITE PLAN NUMBER SP 18-102 W1

C.L.B.: BORYS KUBICKI

PROJECT NUMBER: 7526-T DATE: APRIL 21, 2017

OWNER PRIVATE RESIDENCE

CHECKED BY

DATE APRIL 2018

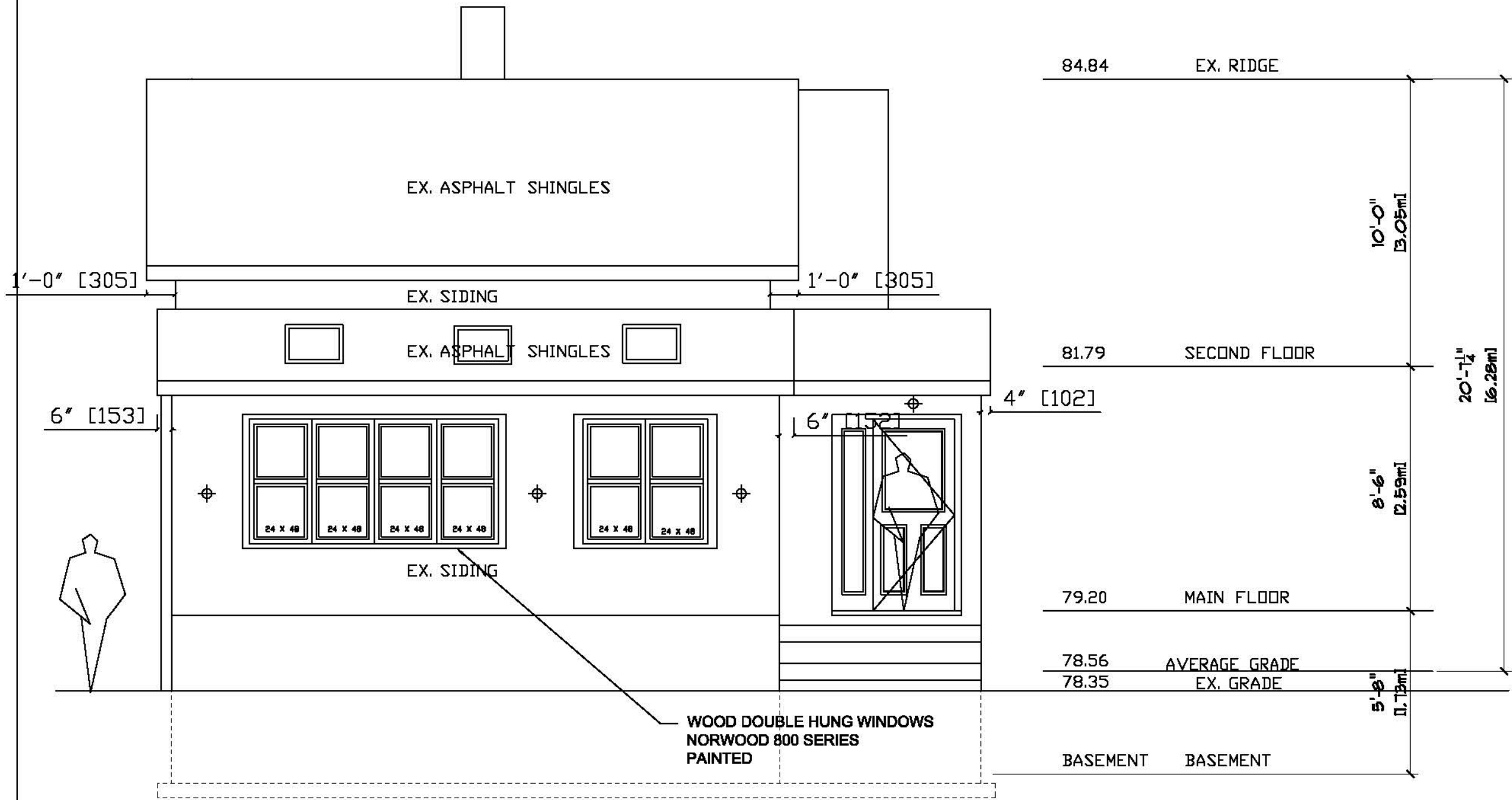
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JOB

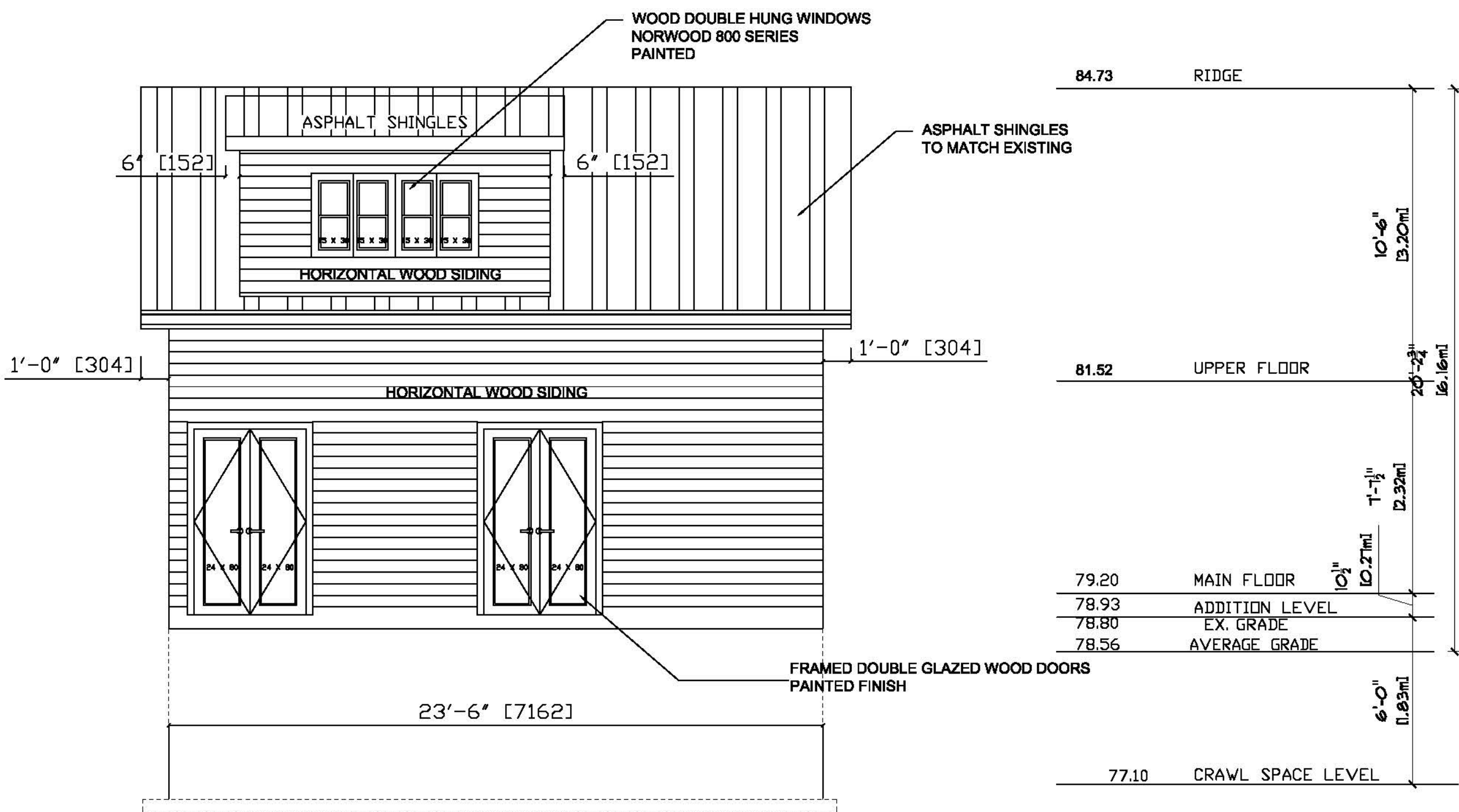
SHEET A1

OF A6



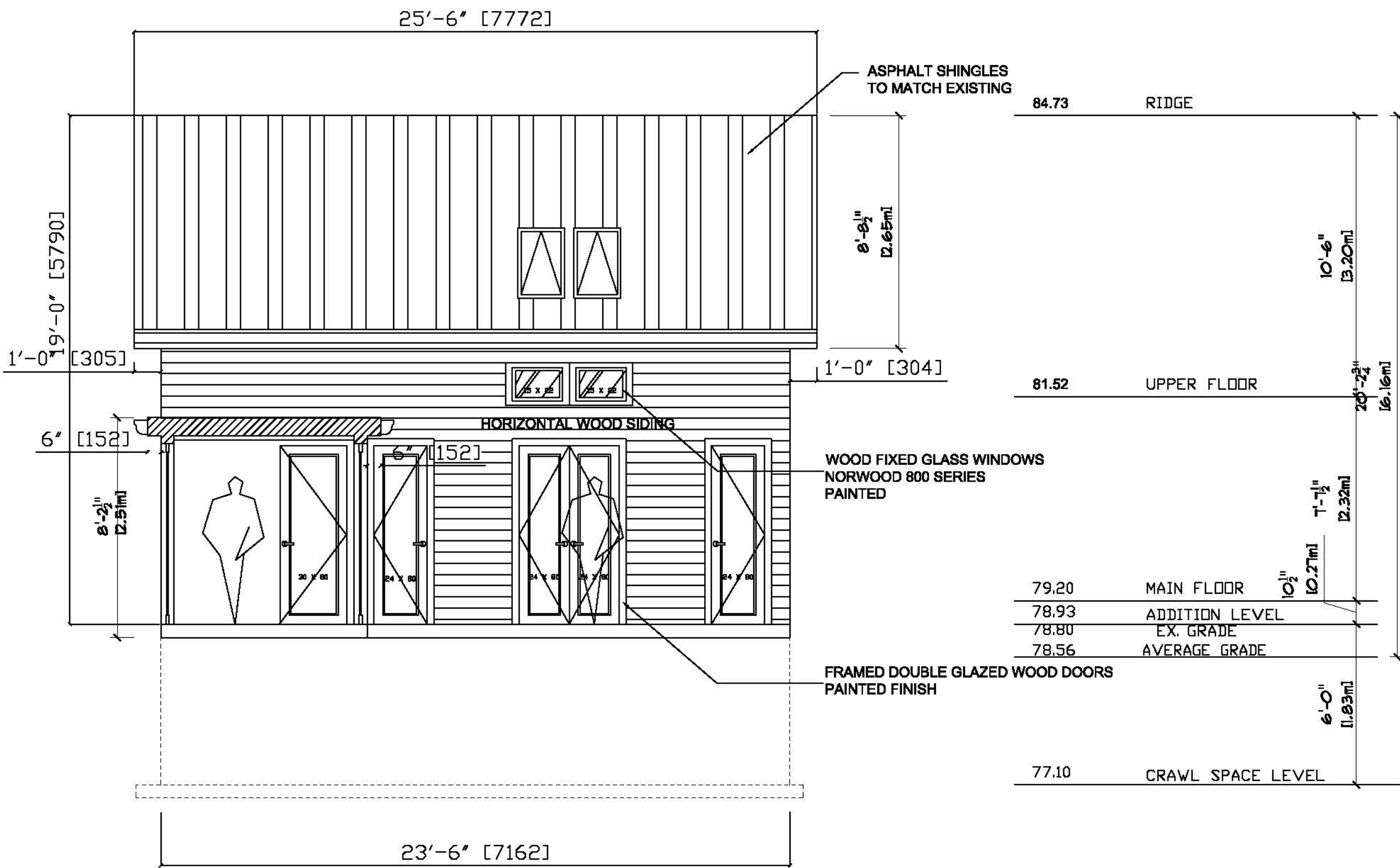
FRONT ELEVATION

1/4" = 1'-0"



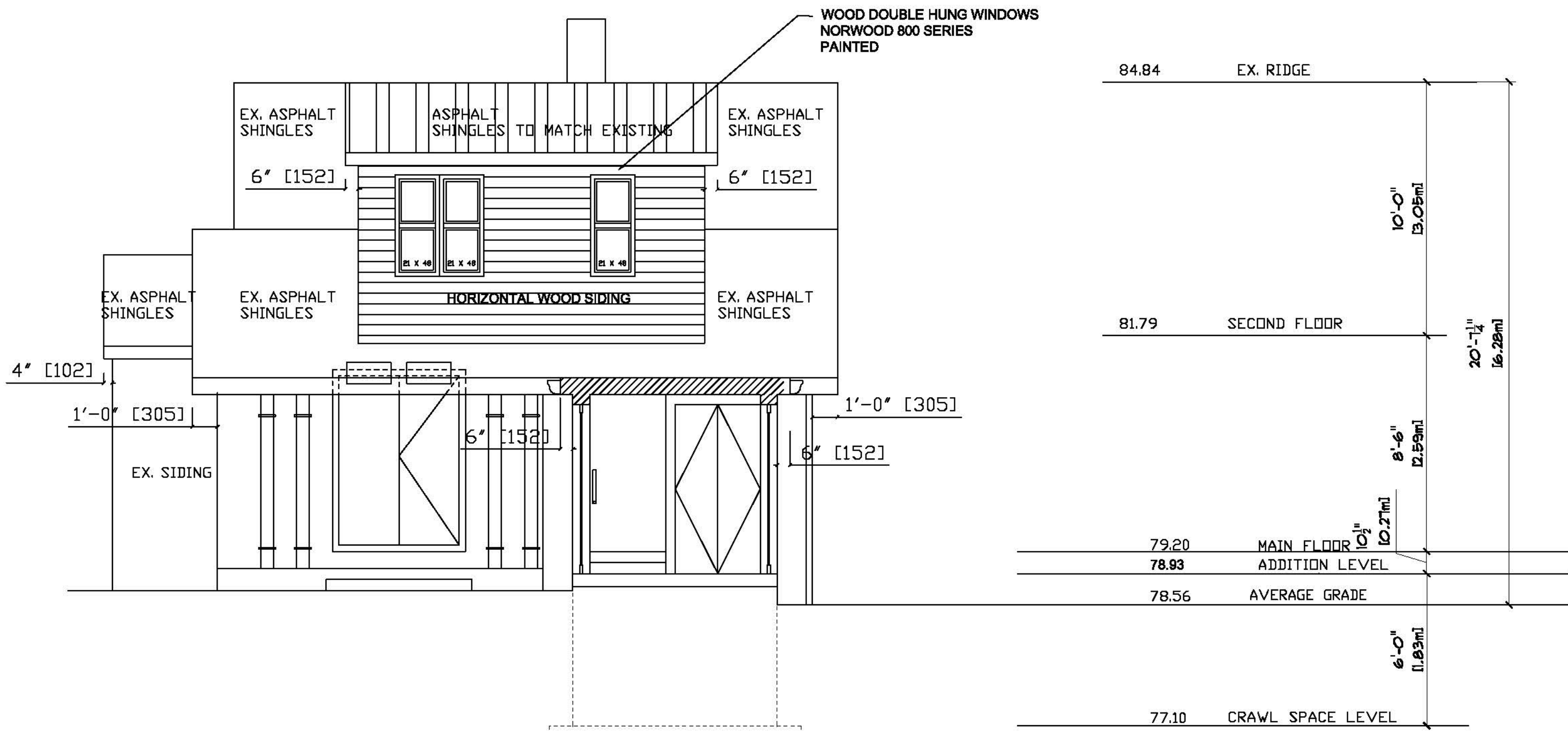
PROPOSED REAR ELEVATION

1/4" = 1'-0"



POOLHOUSE INSIDE ELEVATION

1/4" = 1'-0"



REAR SIDE OF EXISTING HOUSE ELEVATION

1/4" = 1'-0"



No.	REVISIONS
1	AUGUST 4, 2018
2	NOV 6, 2018
3	FEB 26, 2019

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PROJECT ADDRESS
26 BAY STREET
MISSISSAUGA, ONTARIO

DRAWING TITLE
ELEVATIONS

SITE PLAN NUMBER SP1 18-102 W1

OWNER PRIVATE RESIDENCE

CHECKED BY

DATE APRIL 2018

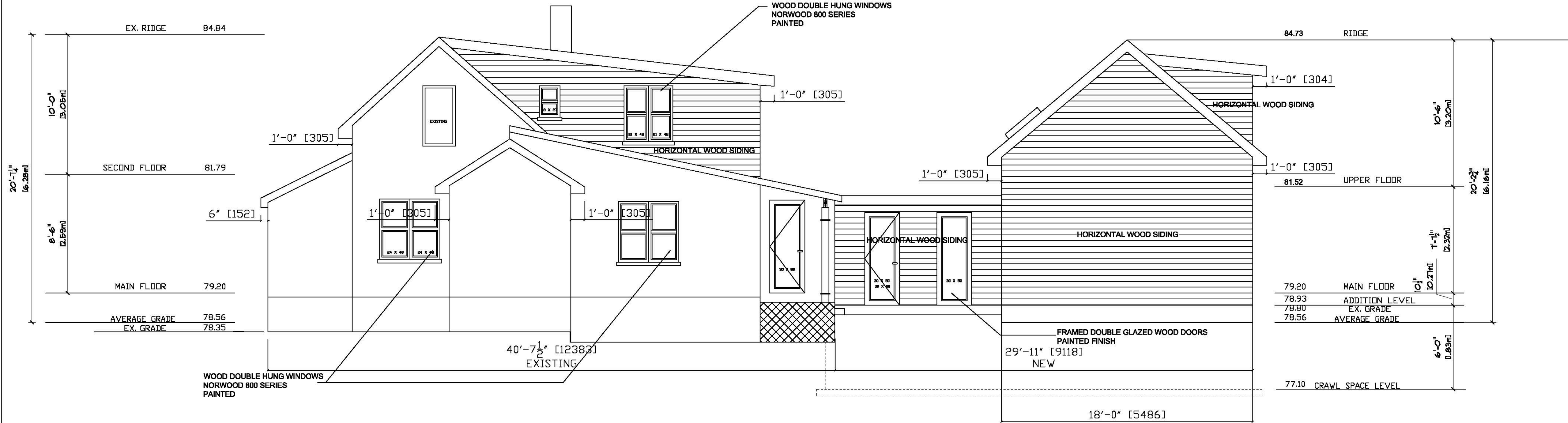
SCALE 1/4" = 1' 0"

DRAWN BY

JOB

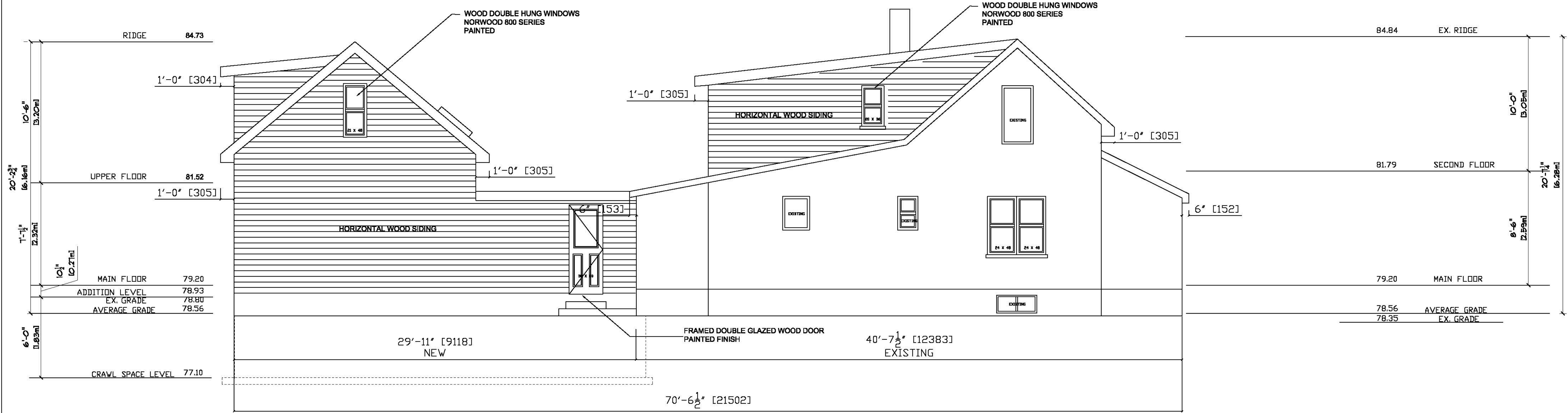
SHEET A3

OF A6



EAST SIDE ELEVATION

1" = 1'-0"



WEST SIDE ELEVATION

1" = 1'-0"



No.	REVISIONS
1	AUGUST 4, 2018
2	NOV 6, 2018
3	FEB 26, 2019

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PROJECT ADDRESS

26 BAY STREET
MISSISSAUGA, ONTARIO

DRAWING TITLE

ELEVATIONS

SITE PLAN NUMBER SPI 18-102 W/
OWNER PRIVATE RESIDENCE

CHECKED BY

DATE APRIL 2018

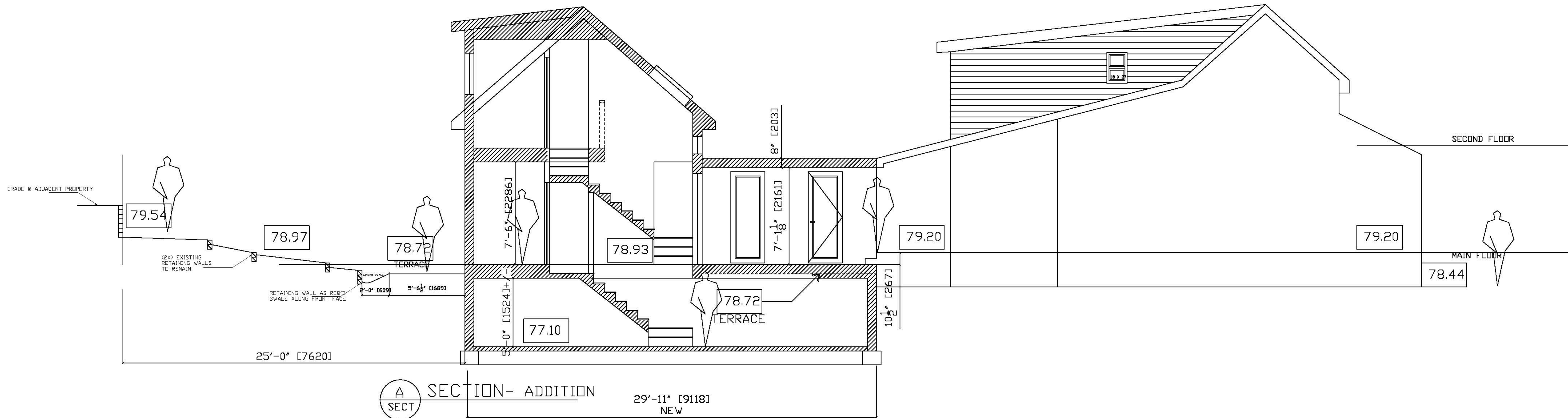
SCALE 1/4" = 1' 0"

DRAWN BY

JOB

SHEET A4

OF A6



SECTION A - STAIRCASE/CRAWL SPACE

1/4" = 1'-0"



No.	REVISIONS
1	AUGUST 4, 2018
2	NOV 6, 2018
3	FEB 26, 2018

B.N.
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PROJECT ADDRESS

26 BAY STREET
MISSISSAUGA, ONTARIO

DRAWING TITLE

SECTION A

SITE PLAN NUMBER SPI 18-102 W1

OWNER PRIVATE RESIDENCE

CHECKED BY

DATE APRIL 2018

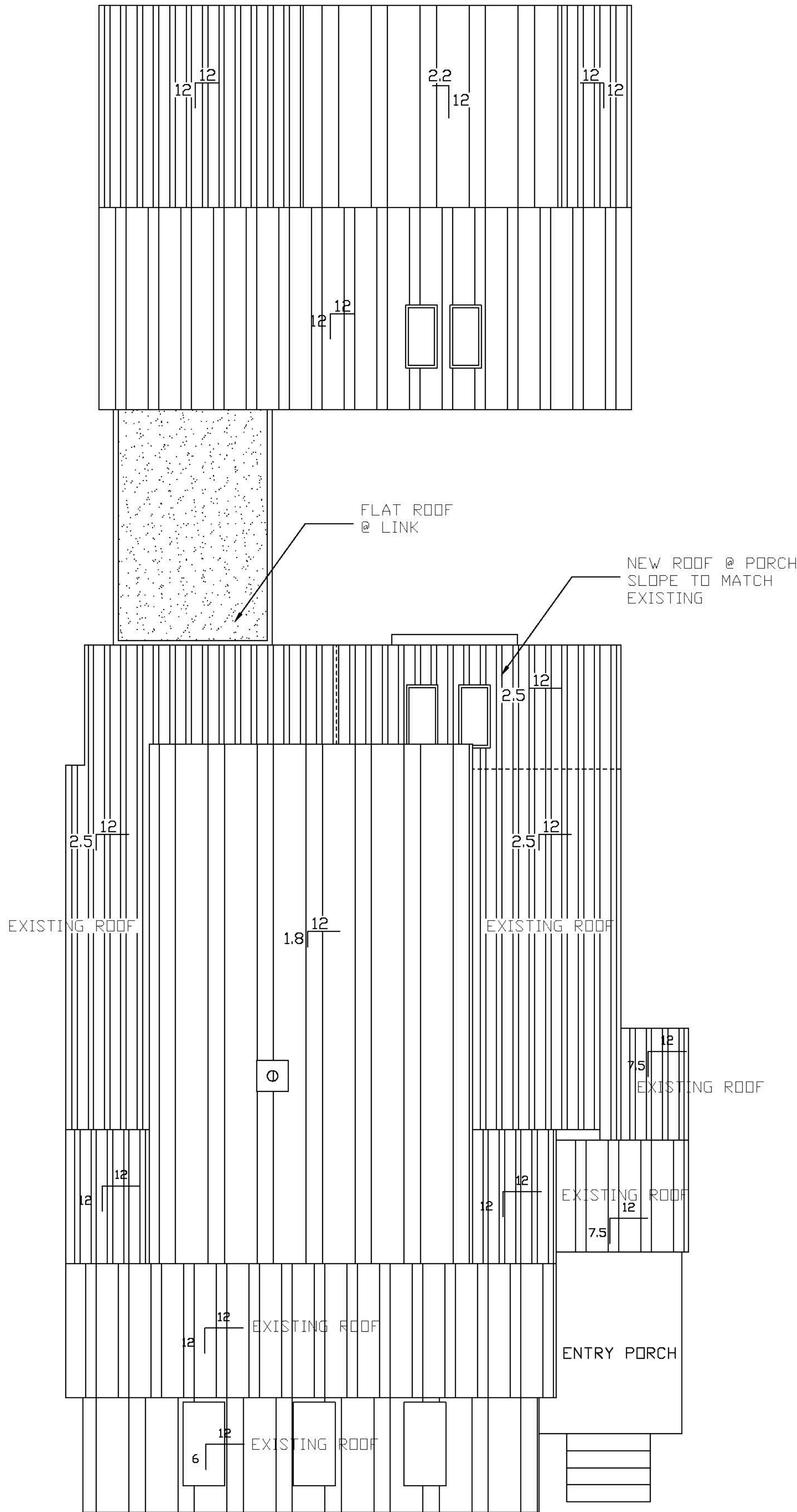
SCALE 1/4" = 1' 0"

DRAWN BY

JOB

SHEET A5

OF A6



ROOF PLAN

1/4" = 1'-0"



No.	REVISIONS
1	AUGUST 4, 2018
2	NOV 6, 2018
3	FEB 26, 2018

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PROJECT ADDRESS

26 BAY STREET
MISSISSAUGA, ONTARIO

DRAWING TITLE

ROOF PLAN

SITE PLAN NUMBER SPI 18-102 W1
OWNER PRIVATE RESIDENCE

CHECKED BY

DATE APRIL 2018

SCALE 1/4" = 1' 0"

DRAWN BY

JOB

SHEET A6

OF A6

City of Mississauga

Corporate Report



Date: 2019/04/16

Originator's files:

To: Chair and Members of Heritage Advisory Committee

From: Paul Mitcham, P. Eng, MBA, Commissioner of
Community Services

Meeting date:
2019/05/07

Subject

Request to Demolish a Heritage Listed Property: 3131 Merritt Avenue (Ward 5)

Recommendation

That the property at 3131 Merritt Avenue, which is listed on the City's Heritage Register, is not worthy of heritage designation, and consequently, that the owner's request to demolish proceed through the applicable process.

Background

Section 27.3 of the Ontario Heritage Act states that structures or buildings on property listed on the City's Heritage Register cannot be removed or demolished without at least 60 days' notice to Council. This legislation allows time for Council to review the property's cultural heritage value to determine if the property merits designation.

The owner of the subject property has submitted a heritage property application to demolish and replace the existing detached dwelling. The subject property is listed on the City's Heritage Register as it forms part of the Malton Wartime Housing cultural landscape. This cultural landscape is noted for being a planned subdivision of the WWII and post-war era government efforts to provide mass produced housing to workers in industry related to the war effort and to veterans respectively within the city of Mississauga.

Comments

The owner of the subject property has requested permission to demolish the existing structure. The applicant has provided a Heritage Impact Statement compiled by Megan Hobson, Built Heritage Consultant. It is attached as Appendix 1. The consultant has concluded that the house at 3131 Merritt Avenue is not worthy of designation. Staff concurs with this finding.

Financial Impact

There is no financial impact resulting from the recommendation in this report.

Conclusion

The owner of 3131 Merritt Avenue has requested permission to demolish a structure on a property that is listed on the City's Heritage Register. The applicant has submitted a documentation report which provides information which does not support the building's merit for designation under the Ontario Heritage Act.

Attachments

Appendix 1: Heritage Impact Statement



Paul Mitcham, P. Eng, MBA, Commissioner of Community Services

Prepared by: P. Wubbenhorst, Heritage Planner

HERITAGE IMPACT STATEMENT



3131 MERRITT AVENUE, MISSISSAUGA
Malton War-time Housing Cultural Landscape

FINAL REPORT
29 MARCH 2019

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APPENDIX B: LAND RECORDS	ATTACHED
APPENDIX C: DRAWINGS (LASONNE)	ATTACHED

1.0 BACKGROUND & METHODOLOGY

The subject property is located in the *Malton War-time Housing Cultural Landscape*. This report was prepared by heritage consultant Megan Hobson for the property owner of 3131 Malton Avenue as a requirement for obtaining approval to demolish the existing one-storey dwelling and construct a new two-storey dwelling. This report was prepared in accordance with the City of Mississauga's *Terms of Reference for Heritage Impact Statements for Cultural Landscapes*.

A site visit was undertaken by Megan Hobson to assess and document the current condition of the property and its relationship to the surrounding built environment. Historical research was carried out, including a review of relevant primary and secondary sources, and a title search to determine past ownership of the property.

2.0 LOCATION AND SITE DESCRIPTION

See Appendix A: Site Photos

The *Malton Wartime Housing Cultural Landscape* is a planned subdivision in Malton, a residential neighbourhood in the north-east corner of Mississauga. It is just north of Pearson International Airport and is bounded by Derry Road on the south and Airport Road on the west.



Location Map: Malton War Time Housing Subdivision is located in the northeast corner of Mississauga, north of Pearson International Airport

The subject property is a residential lot on the north side of Merritt Avenue, east of Victory Crescent. The house fronts on Merritt Avenue.



Location Map: 3131 Merritt Avenue on the north side of Merritt Avenue [City of Mississauga maps]

The subject lot is similar in size and configuration to lots throughout the subdivision. It is approximately 40 feet wide by 100 feet deep and the house is placed near the center of the lot with a landscaped front yard and a side driveway on the west side of the house. There is a narrow side yard on the east side of the house. The rear yard is fenced and there is a wooden shed in the north west corner.



Location map: 3131 Merritt Avenue (City of Mississauga maps) – dwelling & detached shed

Merritt Avenue is characterized by 1-1.5-storey wartime bungalows with varied setbacks. Many of these have been modified and a number have been replaced by new 2-2.5 detached dwelling. The subject property contains an original wartime bungalow built shortly after the subdivision was registered in 1952.



The subject property is located at the north side of Merritt Avenue

The house at 3131 Merritt Avenue is a very modest 1.5-storey, 3-bay, wood-frame structure with a rectangular plan and side-gable roof. It has a raised concrete block foundation but it does not have a basement. The furnace is located in a closet on the main floor. The house has been extensively modified on the exterior and interior, including re-cladding with vinyl siding, replacement of original doors and windows, addition of a metal canopy over the front entrance, and construction of a modern addition at the rear.



3131 Merritt Avenue – main elevation – modern metal canopy at the entrance, vinyl siding and vinyl windows

The lot is level and the house is situated near the center of the lot. Set backs on this side of Merrit Avenue are somewhat varied but all of the properties have landscaped front yard. The only tree in the front yard is a small ornamental tree near the house.

The interior layout is simple. The front door opens directly into the living room and the stairs to the upper floor are located directly opposite the entry. The addition at the back contains a modern kitchen and bathroom. There is a second set of stairs in the addition. The upper floor contains two small bedrooms with sloped ceilings.

1 floor - Living room (left) and kitchen (right) on the ground floor – modern finishes throughout

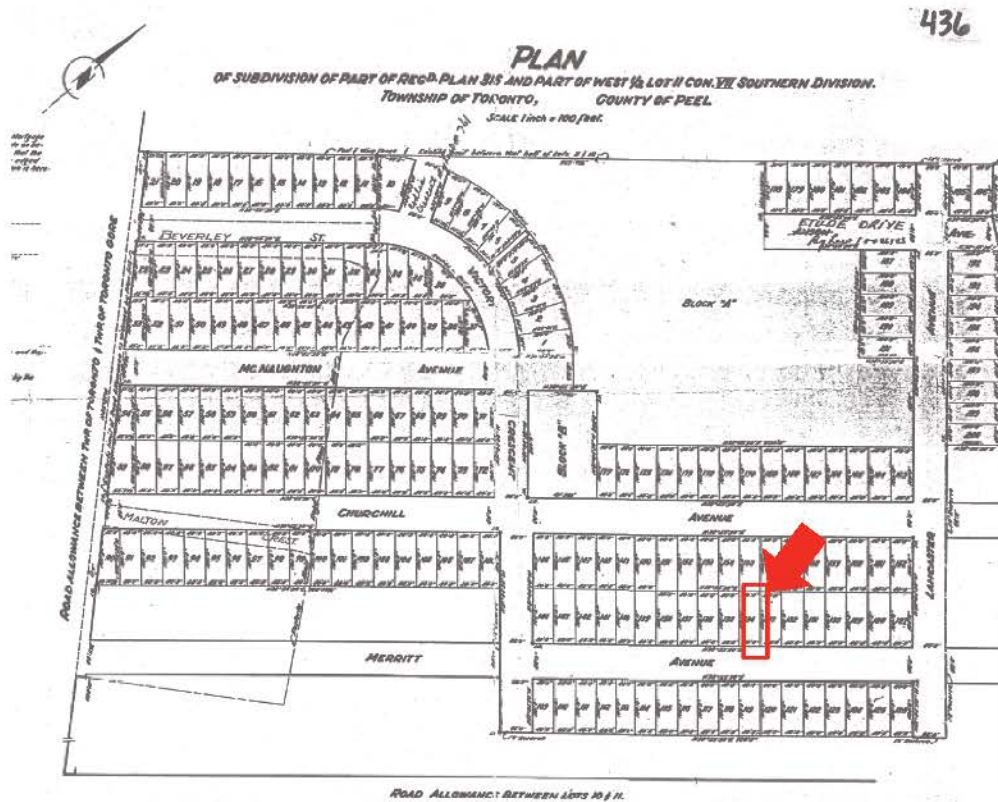
2 floor – bedroom in the front (left) and study in the back addition (right) – original wood door in the bedroom

3.0 PLANNING CONTEXT

3.1 Malton War Time Housing Cultural Landscape (L-RES-5)

The subject property is located in the *Malton War-time Housing Cultural Landscape* and has been on the City's Heritage Register since 2005. As such, it is protected under Section 27 (1.2) of the *Ontario Heritage Act* and a *Heritage Impact Statement* prepared by a qualified heritage consultant is required for any significant alteration or enlargement of an existing dwelling or its total replacement.

The Malton War-time Housing Cultural Landscape consists of a small network of streets with approximately 200 building lots laid out by the Central Housing & Mortgage Corporation on which modest houses were built to standardized plans. Malton was a hub of aircraft building and the subdivision provided homes and a family-oriented community for workers employed at Victory Aircraft and other aircraft related industries in Malton. The layout included land that was reserved for a school, a community hall and a park.



Location of the subject property on the original Plan of Sub-division registered by the Central Housing & Mortgage Co. in 1952: Plan 436 Lot 134

At the time of Listing, the original layout and much of the original wartime building stock in the Malton War-time Housing Cultural Landscape was intact. The character of the subdivision is defined by wide streets lined with modest one and one-and-a-half storey frame houses. The subdivision has no sidewalks and the houses are set back from the road and typically have unfenced lawns in front.

Most of the individual houses within the Malton War-time Housing Cultural Landscape have been altered and/or enlarged in various ways. Until recently, these changes have been incremental and small in scale. New cladding and window replacements are typical, as are small additions such as porches and entry vestibules.

More recently there have been larger impacts to the area including demolition of individual houses to allow construction of larger two-storey residences that are noticeably different in style and materials. In response to this development pressure, Malton has been identified as a

neighbourhood in Mississauga that is beginning to see a transition to newer housing and stronger policies have been developed to manage the changes that are occurring.

Examples of recent infill house in the Malton War Time Housing subdivision:



Churchill Avenue



McNaughton Avenue

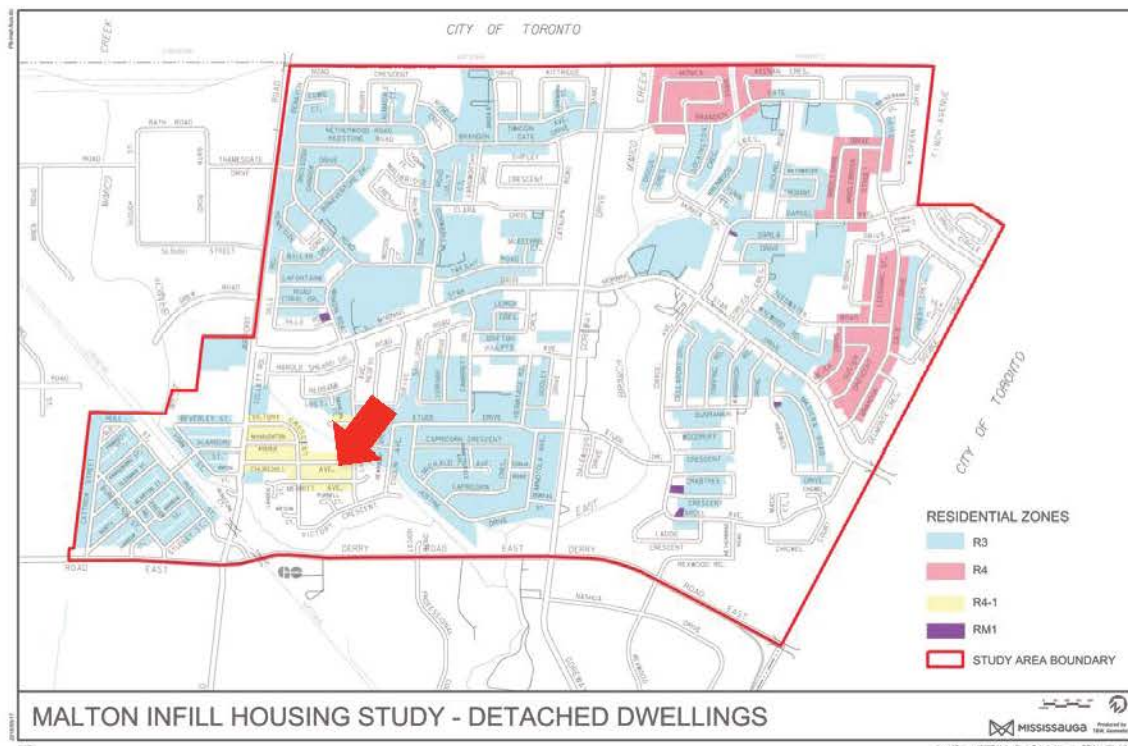


Victory Crescent



3.2 Malton Infill Housing Study

In 2016 the City released the *Malton Infill Housing Study* to ensure that new dwellings and additions are constructed in a manner that is sensitive to the surrounding context by introducing new zoning regulations to control massing. The area known as the *Malton War Time Housing Cultural Landscape* has been zoned R-4-1 for single-detached dwellings. Under the new zoning, maximum building height and Gross Floor Area has been slightly reduced. The maximum height permitted is 9.0 m to the ridge of the roof, reduced from 10.7 m to the mid-point of the roof previously, and the maximum lot coverage permitted is 30%, reduced from 35% previously.



The subject property is located in an area zoned R4-1 where new zoning regulations have recently been put in place to reduce building heights and lot coverage.

4.0 HISTORICAL CONTEXT

The subject property contains one of approximately 200 standardized houses built by the Federal Government in 1952 to house wartime workers employed at the nearby Victory Aircraft manufacturing plant. The chart below provides a brief chronology of the transformation of this area from rural farmland in the 1850s to a planned subdivision in 1952. The aircraft manufacturing plant historically associated with Victory Village was demolished in 2005 but the

aerospace industry continues to be a major employer in Mississauga and the Greater Toronto Area.¹

DATE	EVENT
c. 1820	Earliest settlement in Toronto Township
1854	Grand Trunk Railway line connects Malton to Toronto
1855	Subdivision of the Village of Malton, named after a place in Yorkshire County, England
1867	Malton chosen as the County seat
1868	Brampton replaces Malton as the County seat
1937	Toronto Harbour Commission purchases 13 farms (1,410 acres) to build an international airport and establish an aircraft manufacturing industry. The airport is named the Malton Airport.
1938	National Steel Car builds a manufacturing plant on the southwest corner of Airport and Derry Road
1939	World War II begins
1942	Federal Government expropriates National Steel Car and sets up a crown corporation called Victory Aircraft that produced Avro Lancaster bombers from 1942-45.
1942	The Canadian Government purchases 91.4 acres of farmland north of the Malton airport to build a housing subdivision for workers employed at the Victory Aircraft manufacturing plant. A sub-division is built by Wartime Housing Co. Ltd. that contains approximately 200 houses and is named ' Victory Village '. The street names have wartime references such as Victory, McNaughton, Churchill and Lancaster. Land is set aside for an elementary school (Victory Public School), a community hall (Victory Community Hall) and a public park (Victory Park).
1945	The Victory Aircraft manufacturing plant is bought by A.V. Roe Canada
1949	A.V. Roe begins working on the legendary Avro Arrow (CF-105), an advanced, supersonic, twin-engine, all-weather interceptor jet aircraft.
1951	Malton subdivision is ceded to Toronto Township
1952	Plan of Subdivision is registered so that individual lots can be sold (Plan 436).
1959	Manufacture of the Avro Arrow is cancelled by Prime Minister John Diefenbaker. About 15,000 employees at the Malton plant lose their jobs.
1962	A.V. Roe manufacturing plant bought by de Havilland Canada
1965	de Havilland manufacturing plant bought by Douglas Aircraft
196?	Victory Public School closes, students transferred to Malton Public School
1974	Malton become part of the City of Mississauga
1984	Malton Airport is renamed Lester B. Pearson International Airport
1997	McDonnell Douglas Canada manufacturing plant bought by Boeing Canada
2005	Boeing Canada manufacturing plant demolished

Table 1.0 Significant Dates

¹ City of Mississauga, Mississauga; Strength in Advanced Manufacturing. A Study in Automotive and Aerospace Clusters (2006).

² Adams and Sijpkens; pp. 17-18.

4.1 Macdonald/Codlin Farm

The northeast Toronto township of Malton was first settled in 1823. The building of the Grand Trunk Railway in the 1850's provided Malton with access to larger markets and the township prospered. The old Village of Malton was located west of Airport Road (the former town line between Toronto and Toronto Gore Townships) and north of Derry Road. The 1859 *Tremaine Map* shows the original layout of the Village of Malton. The Malton Wartime Housing subdivision is located on farmland located to the east of the village that was originally part of Toronto Gore. On the Tremaine map the owner of the 100-acre parcel comprised of the West half of Lot 11 in Concession VII is Alex McDonald. This would later be sold to the Codlin family.



Detail from Tremaine's Map of Peel County (1859) showing the 100-acre farm owned by Alex McDonald where the Malton war time housing subdivision is located.

4.2 Malton Airport

In 1937 the Toronto Harbour Commission purchased farmland near Malton to build an international airport. With federal and provincial government assistance, an aircraft manufacturing industry was established here. The airport was originally called the Malton Airport. Following construction of the Malton airport, Malton shifted from an agricultural to an industrial economy and became a world leader in aviation design and manufacturing. Other major industries, such as National Steel Car, also established manufacturing plants in Malton.



Aerial Photo showing the Malton Airport shortly after it was built in 1937. In 1984 it was renamed the Lester B. Pearson International Airport.

The Second World War boosted industrial development in Malton and the Malton Airport became a training facility for British Air Forces. The National Steel Car plant was expropriated by the Federal government in 1942 and a crown corporation called Victory Aircraft was set up. Wartime production required a large work force to built armaments and aircraft.



Wartime workers at the Government-owned Victory Aircraft Manufacturing Plant in Malton. Employees posing with a Lancaster Bomber produced at the plant.

4.3 Malton War Time Housing Subdivision

In order to attract a skilled and permanent workforce, the Federal government financed the design and construction of a residential subdivision on undeveloped farmland close to the Victory Aircraft manufacturing plant. This subdivision contained modest but well designed single detached homes suitable for young families who could lease them at very reasonable rates. Monthly rents ranged from \$22-30. There were four basic models; *Type H1* (a one-storey 24' x 24' dwelling with a living room, two bedrooms, kitchen and bath), *Type H22* (a one-storey 24 ½ x 28' version of the Type H1), and *Type H12* (a two-storey 24' x 28' unit containing additional bedrooms on the second floor).²

E.A. Bollinger NISARF accession no. 1975-3051941 no. 44-17 www.gov.ns.ca/nisam/ c 2014



Examples of typical war time housing erected across Canada by the Federal Government. Built of pre-fabricated wooden components that were assembled on site.

² Adams and Sijpkens; pp. 17-18.

In typical wartime spirit, the Malton Wartime Housing subdivision was called *Victory Village* and the names of the streets contain wartime references such as Churchill, McNaughton and Lancaster. In a very short time, a healthy spacious neighbourhood was created with nearly identical houses on 40 x 100 ft. The large lots provided space for residents to establish Victory gardens to alleviate food shortages and improve the health of their families. A park, school and a community center were included in the layout and close communities developed as the residents worked and lived together.³

Staff architects employed by the Wartime Housing Corporation designed inexpensive homes of non-essential materials that could be erected almost overnight by mass production. Sections of wall, floor and roof were prefabricated and assembled on site by skilled crews that could erect a house in less than 36 hours. The exterior was clad in wood shingle, clapboard or weatherboard. Interiors had hardwood floors. Houses were heated by coal or wood burning stoves.

Although wartime housing was designed to be dismantled after the war, in many communities this never happened.⁴ After the war, the War-time Housing Corporation became the Canada Mortgage and Housing Corporation (CMHC), the federal crown corporation responsible for administering Canada's National Housing Act.⁵ The CMHC oversaw the sale of war-time houses across the country and oversaw construction of new housing for returning Veterans. After the war, many families living in the Victory Village stayed on and purchased their homes. Prices typically ranged from \$2,500 to \$4,500. The area saw an influx of Italian and Polish immigrants from the immediate post-war period through the 1960s.

4.4 South-Asian Immigration

Since the 1960s, the proximity to Pearson International Airport has attracted immigrants from India including a large number of Sikhs. The area also has a significant number of immigrants from Sri Lanka, Bangladesh, and Pakistan. These immigrants have transformed the area with specialty food and clothing stores, temples, mosques and gurdwaras serving the South-Asian community. There is a large Punjabi/Indian shopping plaza on Airport Road & Drew Road, opposite the Malton War Time Housing subdivision. This plaza contains the Sikh Heritage Museum and is adjacent to the Sri Guru Singh Sabha, a Sikh place of worship. In 2011 the Malton Majid mosque on Airport Road, adjacent to the Malton War Time Housing subdivision, opened as a place of worship and educational centre for the areas Muslim community.

³ National Film Board

⁴ Ibid.

⁵ Ann McAfee, 'Canada Mortgage and Housing Corporation', Canadian Encyclopedia (2006).

5.0 HERITAGE VALUE

See Appendix B: Land records

See Appendix C: Drawings (existing dwelling)

Heritage values associated with the *Malton War Time Cultural Landscape* are identified in the City of Mississauga Cultural Landscape Inventory (L-RES-5). This area is valued for its historical associations with World War II and for the character of the built environment that “retains a number of post-war houses which represent some of the first mass produced housing in the GTA”

The subdivision is a physical reminder of Malton’s involvement in the Second World War and the aviation industry in the immediate post-war period.⁶ Much of this history is communicated by the names of the streets (i.e.; Churchill, McNaughton, Lancaster etc.) and the name of the public park (Victory Park) and the former Community Centre (Victory Hall). The subdivision was named Victory Village because of its wartime heritage and its proximity to the Victory Aircraft manufacturing plant. This nomenclature is important for preserving the area’s heritage value. Victory Park and Memorial Hall are also important for preserving the area’s historical associations with World War II.

The survival of much of the original wartime building stock gives the area a distinctive character. However, given that this was built as temporary housing, and given the increase in land prices and the development pressure in this area, it is reasonable to expect that many if not all of these houses will eventually be replaced by more substantial homes. This trend is already evident and there are numerous examples of new 2-storey brick and stone clad houses throughout the subdivision that have replaced the original housing stock.

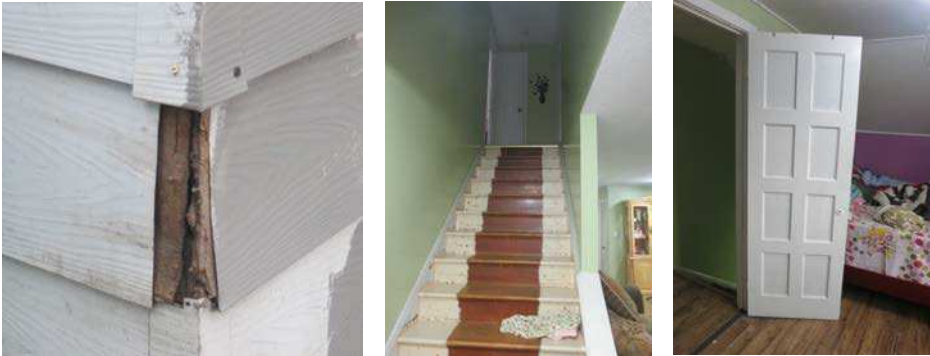
The house at 3131 Merritt Avenue is typical of the original housing stock and similar to wartime houses built across Canada between 1942 and 1945. It is a very modest three-bay, 1.5-storey, wood-frame structure with a rectangular plan and side-gable roof. It is an example of the standard H-1 Plan developed by the War-time Housing Corporation in communities across Canada. It has undergone significant modification including re-cladding, removal of original doors and windows, addition of a front porch, construction of a rear addition, reconfiguration of the interior, and removal of original interior finishes.



3131 Merritt Avenue: a significantly modified example of a standard H-1 Plan developed by the Wartime Housing Corporation

⁶ Heritage Mississauga, *Malton; Founding a Village*.

It has a concrete block foundation with no basement. Modifications include re-cladding of the exterior with vinyl siding and replacement of the original wood windows with vinyl windows and installation of modern doors and addition of a metal awning on the front elevation and construction of a rear addition. The interior has modern finishes throughout. The only original features noted on the interior were the front stairs and one wood door in an upstairs bedroom.



Original features: wood siding beneath modern vinyl cladding, wood staircase, bedroom door.

5.1 Evaluation According to Ontario Regulation 9/06.

Compliance with Ontario Heritage Act, Ontario Regulation 9/06: Criteria for Determining Cultural Heritage Value or Interest

According to Subsection 1 (2) of Ontario Regulation 9/06, Criteria for Determining Cultural Heritage Value or Interest, a property may be designated under section 29 of the Act if it meets one or more of the following criteria:

1. The property has design value or physical value because it,
 - i. is a rare, unique, representative or early example of a style, type, expression, material or construction method,
 - ii. displays a high degree of craftsmanship or artistic merit, or
 - iii. demonstrates a high degree of technical or scientific achievement.

3131 Merritt Avenue is not rare or unique, because similar wartime houses were built in many communities across Canada. It is somewhat representative of the standard H-1 Plan developed by the War-time Housing Corporation but it has been subject to a number of later alterations. It does not display a high degree of craftsmanship or artistic merit because it was intended as a temporary structure to be dismantled after the war. It demonstrates a moderate degree of technical achievement in the standardization and mass assembly process used in its design, fabrication and construction.

2. The property has historical value or associative value because it,
 - i. has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community,
 - ii. yields, or has the potential to yield, information that contributes to an understanding of a community or culture, or
 - iii. demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.

3131 Merritt Avenue, as part of the larger Malton War Time Cultural Landscape, is historically associated with the Federal housing subdivision that was built to house workers associated with war time industries to provide temporary housing for war-time workers and their families. This association is significant to the history of Mississauga as a major center in Canada associated

with the aviation industry and its significant contribution to the war effort. The historical associations are primarily reflected in the entire planned subdivision not by individual houses within the Malton Cultural Landscape. The physical fabric of the house does not yield information that contributes to an understanding of the community or its culture. As a mass-produced standard house type, it reflects the generic ideas of the Wartime Housing Corporation and is not associated with any particular architect, artist, builder, designer or theorist who is significant to the community.

3. The property has contextual value because it,
- i. is important in defining, maintaining or supporting the character of an area,
 - ii. is physically, functionally, visually or historically linked to its surroundings, or
 - iii. is a landmark.

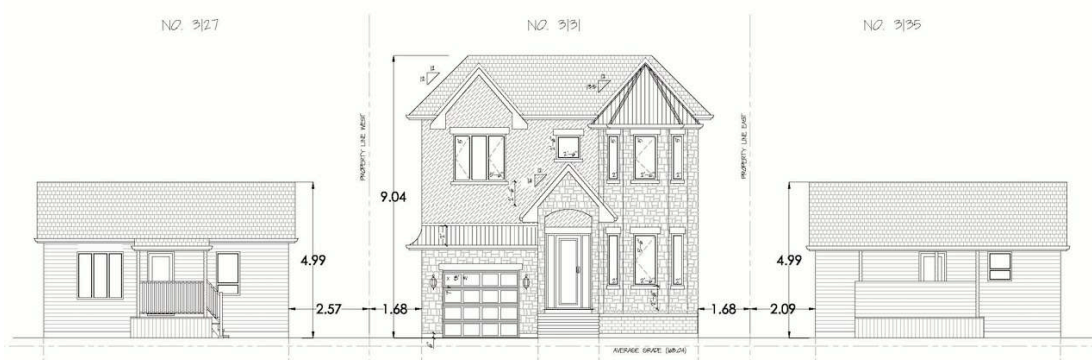
3131 Merritt Avenue has some contextual value as a component within the Malton War Time Housing Cultural Landscape. Individually it has some importance in defining the character of the area because it retains its original scale, but this importance has been somewhat eroded due to the installation of new exterior cladding, replacement doors and windows, and new interior finishes. It is not a landmark building.

The subject property does not meet provincial criteria for individual Designation under Part IV of the Heritage Act.

6.0 PROPOSED DEVELOPMENT

See Appendix C: Drawings

The applicant plans to demolish the existing 1.5-storey wartime dwelling and replace it with a 2-storey house with a full basement and attached garage. The footprint of the new house will be slightly larger than the footprint of the existing dwelling. The front and east side setbacks will remain the same and the rear and east side setbacks will be reduced slightly. Impacts to the streetscape will therefore be minor. The streetscape drawing indicates that the proposed dwelling is generally compatible with the adjacent property on Churchill Avenue. The street frontage is similar with sufficient space between dwellings. The proposed dwelling is taller than the adjacent roofline, but it is not significantly higher and a number of design elements such as the single-storey garage with a sloped roof, dormer window and the front facing gable create a suitable transition. The proposed residence is comparable in scale and massing to nearby infill housing.



Streetscape DRAWING provided by Lasonne

The proposal is generally consistent with the zoning guidelines for this area. Minor variances will be needed for lot coverage (1.5% over the max), height (0.3 m over the max) and side setbacks (0.1 m under the min). These are considered very minor, and therefore will not have a significant impact on heritage values. Site statistics are provided in the table below:

DESCRIPTION	PERMITTED	PROPOSED	CONSISTENT WITH ZONING REGULATIONS	IMPACT ON HERITAGE VALUES
Lot coverage	30% MAX	31.5%	NO Minor variance	NO SIGNIFICANT IMPACT
Total GFA	174.32 sq. m MAX	227.58 sq. m Incl. garage	NO Minor variance	NO SIGNIFICANT IMPACT
Roof height (ridge)	9.0 m MAX	9.296 m	NO Minor variance	NO SIGNIFICANT IMPACT
Front set back (Merritt Ave)	7.5 m MIN	6.7 m house 8.4 m garage	YES Average of 7.5	NO SIGNIFICANT IMPACT
Side set back (east side)	1.82 m MIN	1.67	NO Minor variance	NO SIGNIFICANT IMPACT
Side Set back (west side)	1.82 m MIN	1.68 m	NO Minor variance	NO SIGNIFICANT IMPACT
Rear set back	7.5 m MIN	8.1 m	YES	NO IMPACT

In general the massing is well articulated and the roofline is compact with hipped, front facing gables and there is a 2-storey bay window with a conical roof. The proposed wall cladding materials are stone on the ground floor and 2-storey bay and brick on the upper floor. The main elevation is 3-bays wide with a central entrance and a large 2-storey bay window on one side and a garage on the other side.



Main elevation – drawing provided by Lasonne

Stylistically the new design is Neo-Traditional and is typical of suburban house designs found throughout the GTA. The massing is box-like so that the floor area can be maximized based on the buildable area permitted. There are design elements such as the entry porch, projecting bay, stepped-back garage and front-facing gables that provide some articulation of the massing from the street. In general, the architectural embellishments are modest and the design is fairly traditional in the use of a hipped roof, a low window to wall ratio, and use of rectangular windows (taller than they are wide).

7.0 POTENTIAL IMPACTS ON HERITAGE VALUE

The City of Mississauga has developed criteria for identifying the significant values associated with cultural landscapes. The *Cultural Landscape Inventory* provides a checklist of the specific attributes associated with the *Malton War Time Housing Cultural Landscape*.⁷ A *Heritage Impact Statement* must demonstrate how the proposed development will conserve these attributes.⁸ A list of these attributes and a conservation strategy is outlined below.

Built Environment

- **consistent scale of built features**

The proposed development includes demolition of a small one-storey war-time bungalow and construction of a new two-storey suburban house in its place. The increase in building height from one-storey to two-storeys is not significant and will not have a major impact on the cultural landscape. The original subdivision included one and one-and-a half-storey houses. A two-storey residence does not represent a significant increase in building height from 1.5 storeys.

Historical Associations

- **illustrates a style, trend or pattern**

The Malton War-time Housing cultural landscape is a relatively intact example a subdivision built by Wartime Housing Limited between 1941 and 1945. These developments were standardized across the country with only minor variations. Although these subdivisions were considered to be temporary housing, many of these houses are still in use. The proposed development involves demolition of one of a wartime house that may have been relocated here from Bramalea Road and has been subject to a number of alterations including replacement of original doors, windows, exterior cladding and interior finishes. This house is not rare or unique in the neighbourhood and there are several identical house plans that are better preserved on elsewhere in the subdivision.

- **direct association with important person or event**

The Malton War-time Housing subdivision is associated with Wartime Housing Limited, a crown corporation formed in 1941 to finance, design and construct housing for workers in areas where there was a shortage of suitable housing. After the war, Wartime Housing Limited became the Canadian Housing and Mortgage Corporation (CMHC). The development proposal will result in the loss of 1 of approximately 200 original houses that were constructed in the wartime housing subdivision in the Malton. The historical association is conveyed by the whole area and not by its component parts.

- **illustrates an important phase of social or physical development**

The Malton War-time Housing subdivision illustrates the physical development of the small rural crossroads village of Malton following the construction of the Malton airport c. 1937. War-time conditions accelerated the growth of this area due to the rapid increase in industrial production

⁷ Cultural Landscape Inventory; War Time Housing (Malton) L-Res-5. Included as an Appendix to this report.

⁸ City of Mississauga, Terms of Reference for Cultural Landscape Heritage Impacts Statements, 2013. Included as an Appendix to this report.

and the federally funded construction of the Malton subdivision that provided 200 new homes on spacious paved streets with modern amenities such as water, sewage, hydro and telephone lines. The development proposal will result in the loss of one of the original war-time houses but it will be replaced by a new home that will support the ongoing use historically associated with this area since 1942 as a residential subdivision comprised of detached single-family homes. The renewal of the housing stock will change the individual built forms but the original lot divisions and street layout will be conserved.

Other

- **Historical or Archaeological Interest**

The Malton War-time Housing subdivision has historical interest because of its connection with Federal housing projects carried out during World War II that provided temporary housing and amenities for workers and their families close to major war-time production centers across Canada. The development proposal will not significantly impact the historical associations of this area.

8.0 MITIGATION MEASURES

The demolition of the existing residential building has been sufficiently mitigated through research and documentation undertaken as part of this *Heritage Impact Assessment Report* including:

- Title search to show past ownership back to the original Crown grant
- Site survey drawing indicating existing buildings and trees on the property
- Photograph-documentation of the house exterior and interior, yard and neighbourhood context

No further mitigation is required.

9.0 CONCLUSIONS & RECOMMENDATIONS

The house at 3131 Merritt Avenue does not meet criteria for individual Designation under Part IV of the *Ontario Heritage Act*. As part of the *Malton War Time Housing Cultural Landscape*, historic research and documentation of the site prior to removal is required. This Heritage Impact Assessment fulfills those requirements and no further mitigation is recommended.

The proposed development is generally consistent with the new infill housing zoning regulations for this area and is similar to other developments that have been approved. The consultant therefore recommends approval of the proposed dwelling.

10.0 QUALIFICATIONS OF THE AUTHOR

The author of this report is a member in good standing of the Canadian Association of Heritage Professionals. Formal education includes a Master of Arts in Architectural History from the University of Toronto and a diploma in Heritage Conservation from the Willowbank School of Restoration Arts. Professional experience includes an internship at the Ontario Heritage Trust, three years as Architectural Historian and Conservation Specialist at Taylor Hazell Architects in Toronto, and 5 years in private practice in Ontario as a heritage consultant. Other relevant experience includes teaching art history at the University of Toronto and McMaster University and teaching research methods and conservation planning at the Willowbank School for Restoration Arts in Queenston. In addition to numerous heritage reports, the author has published work in academic journals such as the *Journal of the Society of Architectural Historians* and the *Canadian Historical Review*.

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APPENDIX A: SITE PHOTOS – 3131 MERRITT AVENUE

EXTERIOR



Figure 1: Merritt Avenue streetscape – war-time housing



Figure 2: View from Merritt Avenue – landscaped front yard and side driveway



Figure 3: Oblique view from Merritt Avenue – metal porch is not original



Figure 4: Side elevation from driveway – modern cladding, doors & windows



Figure 5: Concrete block foundation – no basement level



Figure 6: Corner detail – vinyl siding on top of original wood cladding



Figure 7: Rear addition & detached shed – not original



Figure 8: Rear addition – modern addition with brick and vinyl cladding



Figure 9: Detached wooden shed – not original



Figure 10: Rear yard – modern concrete pavers, wood deck and wood privacy fence



Figure 11: Rear elevation



Figure 12: Narrow side yard

APPENDIX B: LAND RECORDS

ADDRESS: 3131 Merritt Avenue, Malton
 LEGAL DESCRIPTION: Lot 134, Plan 436; Mississauga

INST. NO.	DATE	TYPE	GRANTOR	GRANTEE	LANDS
	1808	Patent	Crown	King's College	200 acres (Lot 11)
22051	1842	B&S	King's College	Alexander McDonald	100 acres (NW half)
30556	1842	Will	Alexander McDonald	[Mary McDonald, wife]	W ½ Lot 11
50805	1853	Indenture	Mary McDonald, widow	Alex McDonald, son	"
1808	1863	Will	Alex McDonald	Eliza McDonald, relationship not specified	"
1218	1890	B&S	Executor of the Estate of Eliza McDonald	Thomas Codlin	W ½ Lot 11, N of the GTR
2518	1913	Will	Thomas Codlin	Fred Codlin	"
2528	1918	B&S	James Codlin et al. executors	Fred Codlin	"
3431	1942	Grant	Fred Codlin et ux.	His Majesty the King in the Right of Canada - *see attached Survey H-20-A Dominion of Canada, Dept. of Munitions & Supply, Wartime Housing Ltd.	94.1 acres (Pt. W ½ and other lands)
By-Law 1471 Township of Toronto	1951	Annexation	Twp. of Toronto Gore	Malton Police Village, Township of Toronto	"
436	1952	Plan of subdivision	Central Mortgage and Housing Corporation - *see attached Plan 436		
1133222	1958	Grant	Central Mortgage and Housing Corporation	Ralph & Kay ELDRIDGE, as joint tenants	Lot 134
113324	1958	Grant	Ralph & Kay ELDRIDGE	Hazel & John HART, as joint tenants	Lot 134
138773	1961	Grant	Hazel & John HART	Margaret & Robert E. SMITH, as joint tenants	Lot 134
4147?	1964	Grant	Margaret & Robert E. SMITH	Margaret & Arthur KIRKWOOD, as joint tenants	Lot 134
(illegible)	(illegible)	Grant	Margaret & Arthur KIRKWOOD	Lorne R. & Ruth DRAPER, as joint tenants	Lot 134
102103US	1969	Grant	Lorne R. & Ruth DRAPER	William R. & Mary E. MACKREL, as joint tenants	Lot 134
202044?	1972	Grant	William R. & Mary E. MACKREL	Sofronio & Oliva ABONG, as joint tenants	Lot 134
934459	1990	Grant	Oliva MAYLED	Ricardo & Edna ABUG and Rosalie DESAGUN	Lot 134
RO1090097	1995	Transfer	Ricardo & Edna ABUG and Rosalie DESAGUN	Oliva MAYLED	
PR3008062	2016	Transfer	Olivia MAYLED	CURRENT OWNER	Lot 134

NOTE: Title search performed by Chris Aplin, M.C.A. Paralegal Services

LOT No. 11

7 CONCESSION S.D.

14

Toronto
Govt

No. of INSTRUMENT.	INSTRUMENT.	ITS DATE.	DATE OF REGISTRY.	GRANTOR.	GRANTEE.	QUANTITY OF LAND.	CONSIDERATION OR AMOUNT OF MORTGAGE.	REMARKS.
	patent	Jan 3. 1828		Crown	Kings College	200 a	£ 0	
21187	B & S	10 Nov 1841	22 June 1843	Kings College	Hugh Cook	100 a N.E. $\frac{1}{2}$	—	
22051	B & S	1 July 1842	25 July 1844	Kings College	Alexander Mc Donald	100 a N.W. $\frac{1}{2}$	—	
30556	Will	31 Aug 1842	7 Jan 1848	Alex Mc Donald		W $\frac{1}{2}$		
50805	Ind	18 Aug 1853	2 Sep. 1853	Mary Mc Donald widow	Alexander Mc Donald ^{Son}	W $\frac{1}{2}$	(error)	of a m. l.
50805	B & S	18 Aug 1853	2 Sep 1853	Mary Mc Donald ^{widow} et al	L. Y. R. Compy.	part W $\frac{1}{2}$	14. 0	
9136	Will	15 June 1859	25 Apr 1861	Hugh Cook	Grand Trunk Railway Company	100 a N.E. $\frac{1}{2}$		

SHEET NO 1
 LOT NO 11
 CON NO 7
 RANGE NO

TOWNSHIP OF THURSDAY

 SHEET NO 1
 LOT NO 11
 CON NO 7
 RANGE NO

NUMBER	INSTRUMENT	DATE OF INSTRUMENT	DATE OF REGISTRATION	GRANTOR	GRANTEE	AREA	CONVEYANCE	REMARKS
3421	Grant	18Oct1942	29Oct1942	Frederick Dodlin et ux	His Majesty the King <i>Authorised by Council</i>	91.4	\$20,000 00	at 1/2 & 1/2. See sketch attached.
3432	Exprop. Plan	28Nov1942	28Nov1942	Dept. of Munitions & Supply	(National Steel War Corp'n)			1/2 & 1/2.
3446	Leasehold	28Nov1939	28Aug 1943	Frederick Dodlin	The Hydro Electric Board of Canada	\$0.23	\$ poles.	
3477	Exprop. Plan	21Oct1943	28Dec1943	Dept. of Munitions & Supply	National Steel War Corp.			1/2 & 1/2. See sketch attached.
3490	Grant	19Apr1944	20Apr1944	Carl Swartz	Ethel Johnston	1 1/2	\$200 00	as in ss. 24/1/43
3496	Grant	19Apr1944	20Apr1944	Ethel Johnston	Carl Swartz	1 1/2	\$1 000 00	Comm in 25 lots 100' x 100' rt. of way. Thence N 1/2' X 1/2' parallel to Aly. 200' X 1/2' parallel to Aly. 200' to
3519	Grant	27Sep1944	21Nov1944	Carl Swartz et ux	Elmer Guest	1 1/2	\$1,000 00	as in 24/1/43.
3520	Grant	20Oct1944	21Nov1944	Elmer Guest et ux	Carl Swartz	1 1/2	\$420 00	as in 24/1/43.
3528	Grant	31May1945	5Jul1945	Lechlan C. Sheard et ux	Lechlan C. Sheard & Bertha Sheard as joint tenants	1 1/2	\$1,000 00	as in 24/1/43.
3590	Grant	15Apr1946	18Apr1946	Elmer Guest et ux	Core P. Melby	1 1/2	\$200 00	as in 24/1/43.
3591	D.M.	27Nov1946	13Mar1946	Carl Swartz	Elmer Guest			Direct Reg. No. 3520.
3611	Grant	18Apr1946	7May1946	Lechlan C. Sheard et ux	Roy C. LeRoue	1 1/2	\$4000 00	as in No. 3528.
3612	Grant	7May1946	7May1946	Core P. Melby (Trustee)	Elmer Guest	0.117	\$1 00	pt. dir. 3590. as in 24/1/43.
3613	Grant	30Apr1946	7May1946	Elmer Guest et ux	Lawrence A. Knight	0.117	\$175 00	Comm. 776.45' N 29° 30' E from S angle of half lot. Thence S 89° 27' E 128.1' Thence N 88° 31' E 169.6' Thence S 29° 33' W 111.2' to Comm.
3632	Grant	18Jun1946	29Jun1946	Roy C. LeRoue	W. E. Harris & Josephine M. Harris as joint tenants	\$2 000 00		Comm. at pt. 10' E & N of -W angle of said lot 11 Thence S 80° 15' E 7' X 510' to p of b. together with subject to Rts. of way.
3633	Grant	20Jun1946	23Jul1946	Roy C. LeRoue	John Lipiec & Rose Lipiec as joint tenants	\$2 000 00		Comm. at pt. in W limit 64'4" E of SW angle Thence N 120° 7' E 108'7" X 108'7" to p of c. Together with Rts. of way.
3634	Grant	24Jun1946	23Jul1946	John & Rose Lipiec	Roy C. LeRoue	\$2000 00		pt. as in No. 3633.
3635	Grant	21Jun1947	18Jul1947	Elmer Guest et ux	John Brown, John E. Britton as joint tenants	0.141	\$1 000 00	at pt. Comm. at pt. 10' E & N of -W angle of said lot 11 Thence S 80° 15' E 7' X 510' to p of c. Thence Cont. S 88° 31' E 177' X 108'7" S 88° 31' E 108'7" X 108'7" E 32' to p of c. Together with
3636	Grant	21Jun1947	18Jul1947	Core P. Melby (Trustee)	Betty McMurphy (Trustee)	\$1 750 00		as in No. 3633.
3637	Grant	21Jun1947	18Jul1947	Core P. Melby (Trustee)	Marion E. Howard & Arthur E. Howard	\$1 750 00		as in No. 3633.

RECORD OF TRANSFERS

SHEET NO 4
LOT NO 11
CON NO 7
RANGE NO

NUMBER	INSTRUMENT	DATE OF INSTRUMENT	DATE OF REGISTRATION	GRANTOR	GRANTEE	AMOUNT	REMARKS
4219	Ally	22nd 1951	22nd 1951	Ivy Robinson	William A. Robinson & wife M. Robinson		
4225	O.M.	17th 1951	18th 1951	John H. Boyer in Trust	Whitely - Alexander & Lorne Alexander		
4230		20th 1951	20th 1951	Whitely - Alexander & Lorne I. Alexander	Charles H. Boyer in Trust		
4234	Grant	Nov 1951	8th 1951	Paul A. Cranstone & wife L. L. Cranstone	Wilfred C. Abel & William C. Morris as Abel's & Morris' share, Milton		
4235	Grant	7 Dec 1951	8 Dec 1951	William C. Morris & Josephine H. Morris	Wilfred C. Abel & William C. Morris Morris as Abel's - see above, Milton		
4236		22nd 1951	14th 1951	Blair West & wife	Nathaniel Thomas (Trustee)		
430	Plan	22nd 1951	14th 1951	Blair West & wife	Nathaniel Thomas (Trustee)		
67503	Grant	14 Nov 1951	15 May 1952	David Codlin & wife	David L. Etheridge		
67547	O.M.	5 May 1952	10 May 1952	W. Elgin Lewis	William Ball		
67548		22nd 1951	20th 1951	Paul A. Cranstone & wife as "Spring Valley Property"	Joseph S. Shroyer as "Spring Valley Property"		
67549	Grant	27 May 1952	20 June 1952	Veronica J. Barber & Paul A. Cranstone	Joseph S. Shroyer as "Spring Valley Property"		
67577	Grant	15 June 1952	20 June 1952	Dugald Cameron	Dugald Cameron Associated Ltd		
See Deposit No. 2116							
67578	Grant	1 Aug 1952	12 Aug 1952	Howard A. Martin & Marion Martin	Lorne M. Hendrick & Shirley E. M. Hendrick as joint tenants		
67579	Grant	12 Aug 1952	12 Aug 1952	Dept. of Highways	Roy C. La Rose & wife		
67580					Shirley E. M. Hendrick & Roy C. La Rose & wife		

DATE PLAN REGISTERED February 7, 1955.
OWNERS Central Mortgage & Lending Corp.

SHEET NO. 1
LOT NO. 124
STREET 1075 155 Ave.
PLAN NO. 428

LOTS SUBDIVIDED 26.12m 210 x 11. 21. 20. 2 10.

NUMBER	INSTRUMENT	DATE OF INSTRUMENT	DATE OF REGISTRATION	GRANTOR	GRANTEE	CONSIDERATION	REMARKS
74432	NOTICE	14 MAY 53	1 JUNE 1953	RE-ZONING REG'S. MALTON AIRPORT			
926	BY-LAW	1 JUNE 54	9 JUNE 54	RE SUBDIV. CONFIN.			
91081	NOTICE	20 SEP. 1955	29 SEP. 1955	10 'E' 1 74437			
See Deposit No 2708							
113322	Grant	15 July 1955	24 July 1955	Central Mortgage and Lending Corporation	Robert S. Edwards & Rex S. Edwards, as joint tenants	\$250.00	All.
113327	Grant	3 July 1955	24 July 1955	Robert S. Edwards & Rex S. Edwards	Robert S. Edwards & Rex S. Edwards, as joint tenants	\$100.00	All.
120153	NOTICE	3 JUNE 1959	15 JUNE 1959	RE-ZONING REG'S. MALTON AIRPORT			
133773	Grant	15 July 1961	24 July 1961	Robert S. Edwards & Rex S. Edwards	Margaret Smith & Robert S. Edwards, as joint tenants	\$100.00	All.
133774	MORTGAGE	15 July 1961	24 July 1961	Margaret Smith & Robert S. Edwards	Margaret Smith & Robert S. Edwards, as joint tenants	\$100.00	All.
144289	NOTICE	2 DEC 1961	13 MAR 1962	RE-ZONING REG'S. MALTON AIRPORT			
144289	Grant	15 July 1961	24 July 1961	Margaret Smith & Robert S. Edwards	Margaret Smith & Robert S. Edwards, as joint tenants	\$100.00	All.
144289	MORTGAGE	15 July 1961	24 July 1961	Margaret Smith & Robert S. Edwards	Margaret Smith & Robert S. Edwards, as joint tenants	\$100.00	All.
943015	MORTGAGE	12 May 1962	19 May 1962	Lorne R. Draper	Lorne R. Draper	\$3267.60	All.
272-051	Place & Sale	10 Dec. 1960	1960	The Consumers' Trust Company	Lorne R. Draper	\$100.00	All.
387435	Mortgage	25 Apr. 1967	8 May 1967	Terrie Building Products Limited	Lorne R. Draper	\$3267.60	All.
387435	Mortgage	25 Apr. 1967	8 May 1967	Terrie Building Products Limited	Interprovincial Building Credits, Ltd.	\$3267.60	All.
10210345	Mortgage	13 Apr. 1969	19 Apr. 1969	Lorne R. Draper & Ruth A. Draper	William R. Madach & Mary E. Madach, as joint tenants	\$200.00	All.
10210415	MORTGAGE	19 Apr. 1969	19 Apr. 1969	William R. Madach & Mary E. Madach	William R. Madach & Mary E. Madach	\$200.00	All.
10210515	MORTGAGE	19 Apr. 1969	19 Apr. 1969	William R. Madach & Mary E. Madach	Lorne R. Draper & Ruth A. Draper	\$200.00	All.
10210615	MORTGAGE	19 Apr. 1969	19 Apr. 1969	Lorne R. Draper & Ruth A. Draper	Margaret C. Madach	\$200.00	All.

See darker pg.

DATE PLAN REGISTERED: February 3, 1965.
 OWNERS: Central Mortgage & Housing Corp.

LOTS SUBDIVIDED: Pt. Plan 316 & Pt. 11, Jan. 7, 1965.

SHEET NO. 1
 LOT NO. 124
 STREET: GERRILL AVE.
 PLAN NO. 488

NUMBER	INSTRUMENT	DATE OF INSTRUMENT	DATE OF REGISTRATION	GRANTOR	GRANTEE	CONSIDERATION	REMARKS
1021015	D. M.	13 Mar. 1969	19 Mar. 1969	Arthur W. Kirkwood + Margaret S. Kirkwood	Lorne R. Draper + Ruth A. Draper		Discharging No. 94301
1021145	D. M. Lina	14 Mar. 1969	19 Mar. 1969	Isadora Monaghan Limited	Lorne R. Draper + Ruth A. Draper	3,267.60	in full discharge of No. 34743
10329515	D. M.	1 Apr. 1969	8 Apr. 1969	Almond Investments Limited	Lorne R. Draper + Ruth A. Draper		Discharging No. 6962425
1033244	D. M.	2 Apr. 1969	8 Apr. 1969	David E. East + Gerald East	Forrest E. Smith + Margaret Smith		Discharging No. 129779
105743	Lease	—	—	The Commercial Bank Company Ltd. 1969	—		To discharge No. 2725615
202045	Grant	3 Feb. 1972	21 Feb. 1972	William R. Mackel + Mary E. Mackel	Sofronio Along + Olivia Along as joint tenants	200.00	all
202045	—	18 Feb. 1972	24 Feb. 1972	Sofronio Along + Olivia Along	William R. Mackel + Mary E. Mackel as joint tenants	9,100.00	all
202045	—	15 Feb. 1972	24 Feb. 1972	William R. Mackel + Mary E. Mackel	Guinness Management Limited	200.00	Discharging no. 202045
202045	—	1972	1972	Margaret E. Steel	William R. Mackel + Mary E. Mackel		Discharging No. 102105
248159	Notice	10 Mar. 1972	12 Feb. 1972	Amendment of Airport Zoning Regulations	—		All v. L.
2111945	MORTGAGE	28 June 1973	13 July 1973	Sofronio Along + Olivia Along	First Power Credit Union Limited	14,500.00	Discharged by No. 462181
276968	D. M.	5 Aug. 1973	20 Aug. 1973	Guinness Management Limited	Sofronio Along + Olivia Along		Discharging no. 202045
2771985	D. M.	12 May 1973	21 May 1973	Helena G. Hardwick	Sofronio Along + Olivia Along		Discharging no. 202045
362339	MORTGAGE	7 Aug. 1975	11 Aug. 1975	Sofronio Along + Olivia Along	The Toronto-Dominion Bank	127,429.20	all
462181	D. M.	11 Aug. 1975	25 Aug. 1975	First Power Credit Union Limited	Sofronio Along and Olivia Along		Discharging No. 2771985
748988	D. M.	12 Oct. 1978	24 Oct. 1978	The Toronto-Dominion Bank, by p. of 470347	Sofronio Along, and Olivia Along		Discharging no. 362339

FEB 19 1975

REGISTRATION NUMBER	INSTRUMENT	DATE OF INSTRUMENT	REGISTRATION DATE	GRANTOR	GRANTEE	CONSIDERATION ETC	LAND AND REMARKS
934459	Grant	90 04 10	90 04 10	MAYLED, Oliva	ABUG, Ricardo Jr. ABUG, Edna As to an undivided 3/4 int. as joint tenants DESAGUN, Rosalie As to the remaining undivided 1/4 interest.	\$185,000.00	All
934460	Mort.	90 04 10	90 04 10	ABUG, Ricardo, Jr. ABUG, Edna As to an undivided 3/4 int. as joint tenants DESAGUN, Rosalie As to the remaining undivided 1/4 int.	MAYLED, Oliva	\$165,000.00	All
NO 1090097	Transfer	1995 05 11	1995 05 11	ABUG, Ricardo, Jr. ABUG, Edna DESAGUN, Rosalie	MAYLED, Oliva	nil	All

NOTICE
All Document/Instruments
subsequent to

JAN 21 1997

are recorded in the abstract
index set out in subsection 21(5) of the
REGISTRY ACT



Ontario

ServiceOntario

LAND
REGISTRY
OFFICE #43

PARCEL REGISTER (ABBREVIATED) FOR PROPERTY IDENTIFIER

13264-0234 (LT)

PAGE 2 OF 2
PREPARED FOR CA
ON 2017/05/15 AT 13:55:35

* CERTIFIED IN ACCORDANCE WITH THE LAND TITLES ACT * SUBJECT TO RESERVATIONS IN CROWN GRANT *

REG. NUM.	DATE	INSTRUMENT TYPE	AMOUNT	PARTIES FROM	PARTIES TO
PR933936	2005/09/27	CHARGE		*** COMPLETELY DELETED *** MAYLED, OLIVA	CIBC MORTGAGES INC.
PR3008062	2016/10/13	TRANSFER <i>P/C</i>	\$355,000	MAYLED, OLIVA	
PR3008063	2016/10/13	CHARGE	\$355,000	BADAT, ISMAIL BADAT, SALEHA	CANADIAN IMPERIAL BANK OF COMMERCE
PR3027038	2016/11/14	DISCH OF CHARGE		*** COMPLETELY DELETED *** CIBC MORTGAGES INC.	

REMARKS: PR933936.

NOTE: ADJOINING PROPERTIES SHOULD BE INVESTIGATED TO ASCERTAIN DESCRIPTIVE INCONSISTENCIES, IF ANY, WITH DESCRIPTION REPRESENTED FOR THIS PROPERTY.
NOTE: ENSURE THAT YOUR PRINTOUT STATES THE TOTAL NUMBER OF PAGES AND THAT YOU HAVE PICKED THEM ALL UP.



3		
2		
No.	Revision/Issue	Date

LASONNE

3131 MERRIT AVENUE
SINGLE FAMILY DWELLING
Mississauga, Ontario

TITLE:
STREETSCAPE

Drawing No.	NA	
Project No.	1860	
Date	SEPT '18	
Scale	1/8" = 1'-0"	
Drawn by:	DF	Checked by: DF

SCOPE OF WORK:

NEW CONSTRUCTION OF TWO STOREY DETACHED RESIDENTIAL DWELLING.

ALL SURFACE DRAINAGE WILL BE SELF-CONTAINED, COLLECTED AND DISCHARGED AT A LOCATION TO BE APPROVED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT.

ALL PROPOSED CURBING WITHIN THE MUNICIPAL BLVD AREA FOR THE SITE IS TO BE AS FOLLOWS:

A) FOR ALL SINGLE FAMILY RESIDENTIAL PROPERTIES INCLUDING ON STREET TOWNHOUSES, ALL CURBING IS TO STOP AT THE PROPERTY LIMIT OR AT THE BACK OF THE MUNICIPAL SIDEWALK, WHICHEVER IS APPLICABLE.

THE EXISTING DRAINAGE PATTERN WILL BE MAINTAINED EXCEPT WHERE NOTED

THE APPLICANT WILL BE REQUIRED TO CONTACT ALL UTILITY COMPANIES TO OBTAIN ALL REQUIRED LOCATES PRIOR TO THE INSTALLATION OF HOARDING WITHIN THE MUNICIPAL RIGHT OF WAY.

PRIOR TO CONSTRUCTION TAKING PLACE, ALL REQUIRED HOARDING IN ACCORDANCE WITH THE OCHSA AND REGULATIONS FOR CONSTRUCTION PROJECTS MUST BE ERECTED AND THEN MAINTAINED THROUGHOUT ALL PHASES OF CONSTRUCTION.

THE STRUCTURAL DESIGN OF ANY RETAINING WALL OVER 0.60M (2.00FT) IN HEIGHT OR ANY RETAINING WALL LOCATED ON A PROPERTY LINE IS SHOWN ON THE SITE PLAN AND GRADING PLAN AND IS TO BE APPROVED BY A CONSULTING ENGINEER FOR THE PROJECT.

LOT 135
P.I.N. 13264-0235

ELEVATIONS ARE GEODETIC AND REFERRED TO THE CITY OF MISSISSAUGA BENCHMARK NO. 441, ELEVATION=168.922

METRIC

ALL PROPERTY DIMENSIONS IN METERS UNLESS OTHERWISE NOTED

ALL GRADES SHOWN ARE EXISTING. REFER TO SITE GRADING PLAN BY LASONNE ENGINEERING LTD. DWG. A15 FOR THE PURPOSES OF OBTAINING SITE GRADING INFORMATION.

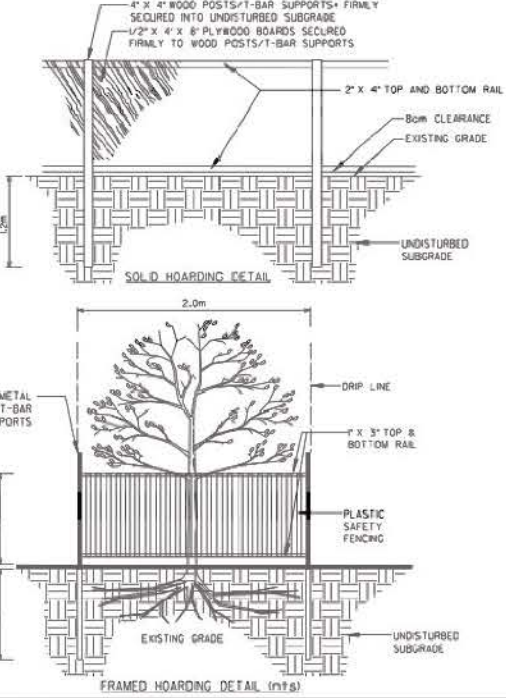
ALL ASPHALT AND BASE MATERIALS OF THE EXIST. DRIVEWAY TO BE REMOVED AND REINSTATED W/ TOPSOIL AND SOD.

LOT 134
P.I.N. 13264-0234

LOT 133
P.I.N. 13264-0233

AVERAGE GRADE ELEV. AS PER BY-LAW 225-2007
1A:167.98 2A:167.92
1B:168.05 2B:167.96
1C:168.07 2C:168.10
1D:168.05 2D:168.13
AVERAGE GRADE 168.03

DOWNSPOUTS ARE TO SPLASH TO GRADE, AND WHERE POSSIBLE, THE DISCHARGE IS TO BE DIRECTED TOWARDS THE ROAD



NOTES:
1. HOARDING DETAILS TO BE DETERMINED FOLLOWING INITIAL SITE INSPECTION.
2. HOARDING TO BE APPROVED BY DEVELOPMENT AND DESIGN.
3. HOARDING MUST BE SUPPLIED, INSTALLED AND MAINTAINED BY THE APPLICANT THROUGHOUT ALL PHASES OF CONSTRUCTION UNTIL APPROVAL TO REMOVE HOARDING IS OBTAINED FROM DEVELOPMENT AND DESIGN.
4. DO NOT ALLOW WATER TO COLLECT AND POND BEHIND OR WITHIN HOARDING.
5. T-BAR SUPPORTS FOR SOLID HOARDING WILL ONLY BE ALLOWED WITH PRE-APPROVAL FROM DEVELOPMENT AND DESIGN.
6. OSB/CHIPBOARD WILL NOT BE ACCEPTED FOR SOLID HOARDING.

CONTRACTOR MUST VERIFY ALL DIMENSIONS IN THE FIELD. ANY DISCREPANCIES MUST BE REPORTED BEFORE PROCEEDING WITH THE WORK.
ALL CONSTRUCTION TO ADHERE TO THESE PLANS AND/OR SPECIFICATIONS AND TO CONFORM TO THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION. THESE REQUIREMENTS ARE TO BE TAKEN AS MINIMUM SPECIFICATIONS. DWT. REG. 332/12.

ZONING: R4-1

BUILDING AND LOT STATISTICS
AREA
GROUND FLOOR 95.19 SM
SECOND FLOOR 111.78 SM
GARAGE 20.61 SM
SUBTOTAL 227.58 SM

LOADING
SNOW - 0.90kPa
S=Cb(Sa+Sr) OBC 9.4.2.2.
S=0.90kPa
LIVE (ROOF) - 1kPa
LIVE (INTERIOR) - 1.9kPa

BUILDING STATISTICS:

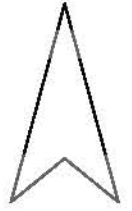
SITE AREA: 371.33 SM
BUILDING LENGTH: 16.64M
BUILDING WIDTH: 8.84M
BUILDING HEIGHT: 9.29M

FRONT YARD AREA: 93.70 SM
LANDSCAPE SOFT AREA: 60.48 SM
64.50% PROVIDED
40% MIN REQ'D

LOT COVERAGE:
DWELLING (INC. GARAGE) 116.62 SM
PORCH 10.75 SM
DECK 4.80 SM
EAVES 0.50 SM
OTHER 0.50 SM
ACC. STRUCTURE 131.17 SM
TOTAL 371.33 SM

DETAILED: 1ST+2ND+GARAGE: 227.58SM

Construction
North



3		
2		
No.	Revision/Issue	Date

LASONNE

3131 MERRITT AVENUE
SINGLE FAMILY DWELLING
Mississauga, Ontario

TITLE: SITE PLAN	
Drawing No.	S1
Project No.	1860
Date	SEPT '18
Scale	1:275
Drawn by:	DF
Checked by:	DF



ELEVATION SOUTH

CONTRACTOR MUST VERIFY ALL DIMENSIONS IN THE FIELD. ANY DISCREPANCIES MUST BE REPORTED BEFORE PROCEEDING WITH THE WORK.

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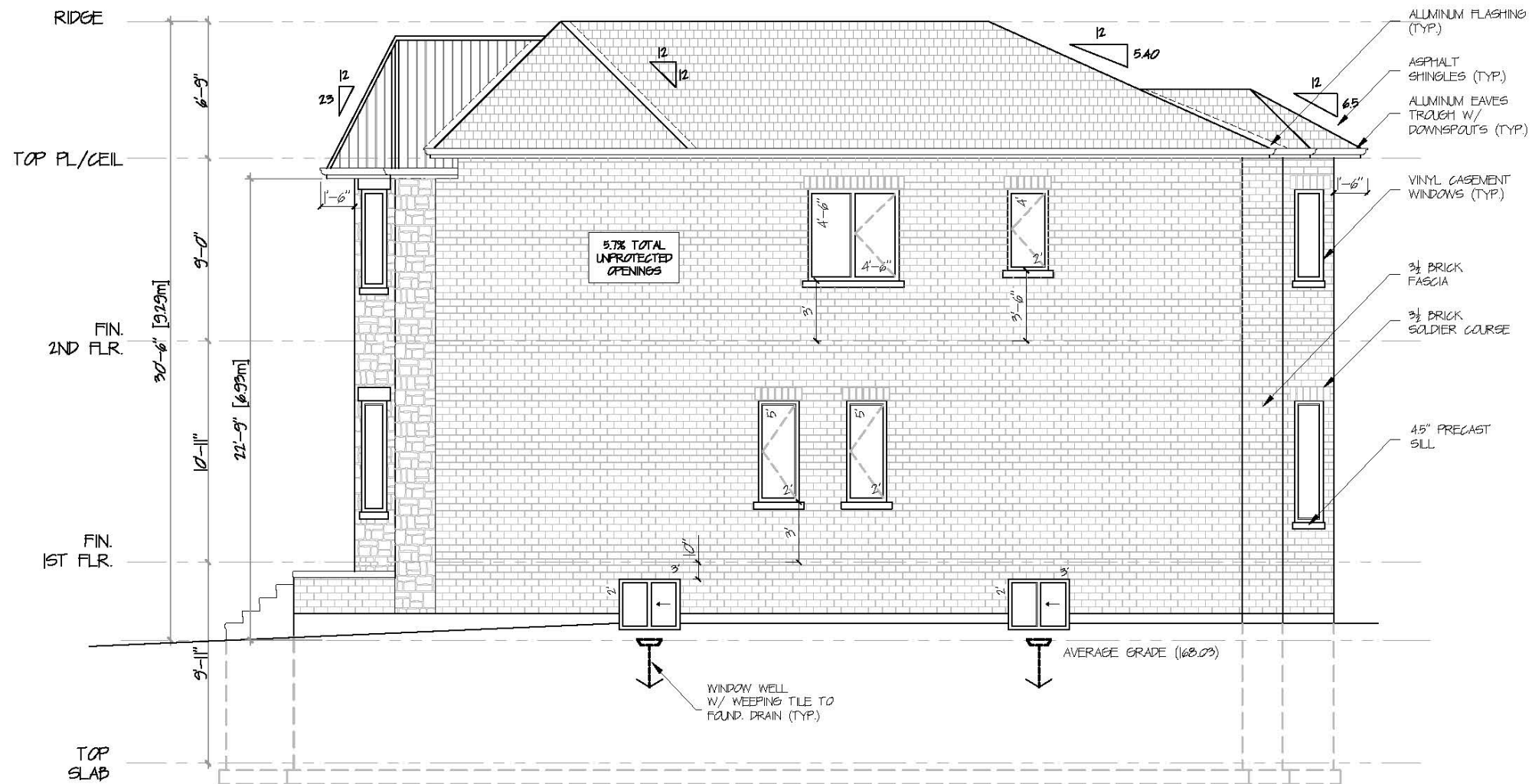
No.	Revision/Issue	Date
3		
2		

LASONNE

3131 MERRIT AVENUE
SINGLE FAMILY DWELLING
Mississauga, Ontario

TITLE:
**SOUTH
ELEVATION**

Drawing No.	S5		
Project No.	1880		
Date	SEPT '18		
Scale	1/8" = 1'-0"		
Drawn by:	DF	Checked by:	DF



ELEVATION EAST

CONTRACTOR MUST VERIFY ALL DIMENSIONS IN THE FIELD. ANY DISCREPANCIES MUST BE REPORTED BEFORE PROCEEDING WITH THE WORK.

ALL CONSTRUCTION TO ADHERE TO THESE PLANS AND/OR SPECIFICATIONS AND TO CONFORM TO THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION. THESE REQUIREMENTS ARE TO BE TAKEN AS MINIMUM SPECIFICATIONS, ONT. REG. 332/12.



No.	Revision/Issue	Date
3		
2		

LASONNE

3131 MERRIT AVENUE
SINGLE FAMILY DWELLING
Mississauga, Ontario

TITLE:
**EAST
ELEVATION**

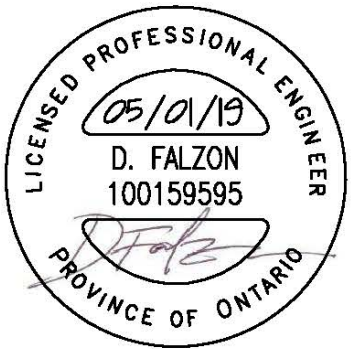
Drawing No.	S6
Project No.	1880
Date	SEPT '18
Scale	1:100
Drawn by:	DF
Checked by:	DF



ELEVATION NORTH

CONTRACTOR MUST VERIFY ALL DIMENSIONS IN THE FIELD. ANY DISCREPANCIES MUST BE REPORTED BEFORE PROCEEDING WITH THE WORK.

ALL CONSTRUCTION TO ADHERE TO THESE PLANS AND/OR SPECIFICATIONS AND TO CONFORM TO THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION. THESE REQUIREMENTS ARE TO BE TAKEN AS MINIMUM SPECIFICATIONS. ONT. REG. 332/12.



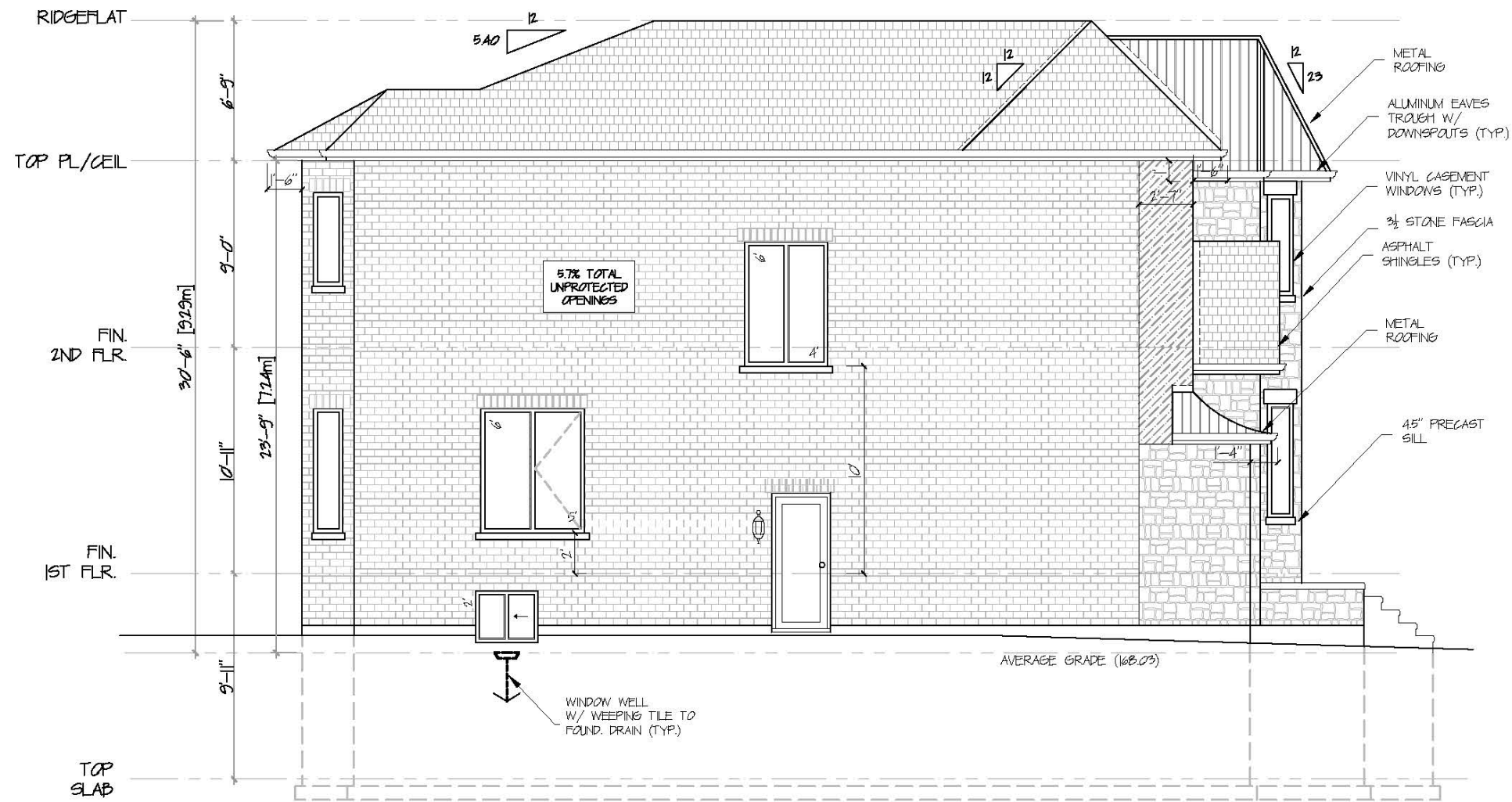
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No.	Revision/Issue	Date

LASONNE

3131 MERRIT AVENUE
SINGLE FAMILY DWELLING
Mississauga, Ontario

TITLE:
**NORTH
ELEVATION**

Drawing No.	S7	
Project No.	1880	
Date	SEPT '18	
Scale	1:100	
Drawn by:	DF	Checked by: DF



ELEVATION WEST

CONTRACTOR MUST VERIFY ALL DIMENSIONS IN THE FIELD. ANY DISCREPANCIES MUST BE REPORTED BEFORE PROCEEDING WITH THE WORK.

ALL CONSTRUCTION TO ADHERE TO THESE PLANS AND/OR SPECIFICATIONS AND TO CONFORM TO THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION. THESE REQUIREMENTS ARE TO BE TAKEN AS MINIMUM SPECIFICATIONS. DNT. REG. 332/12.



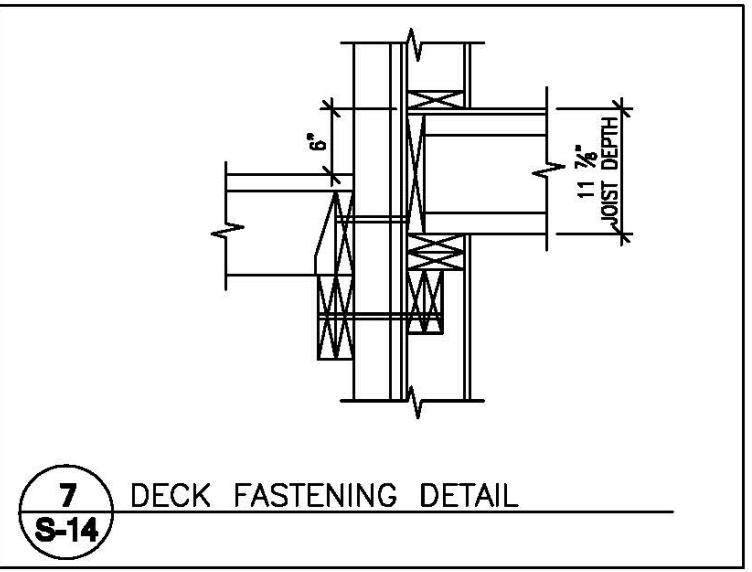
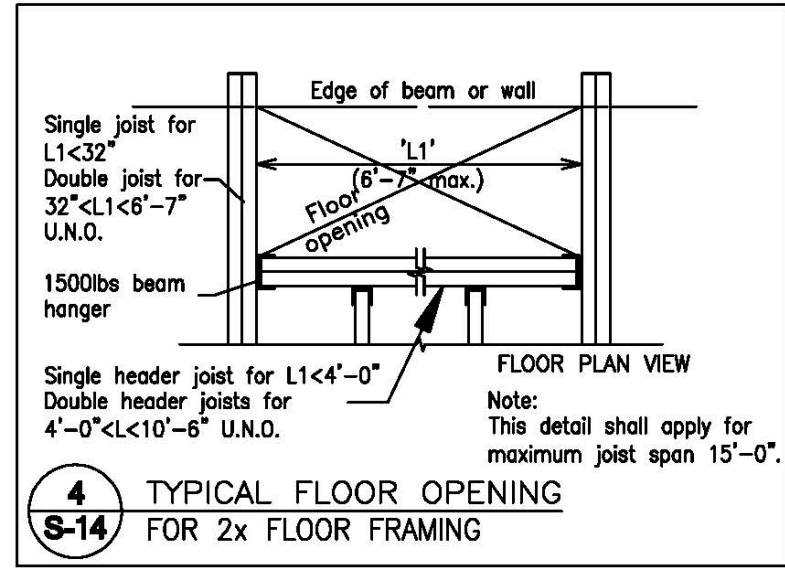
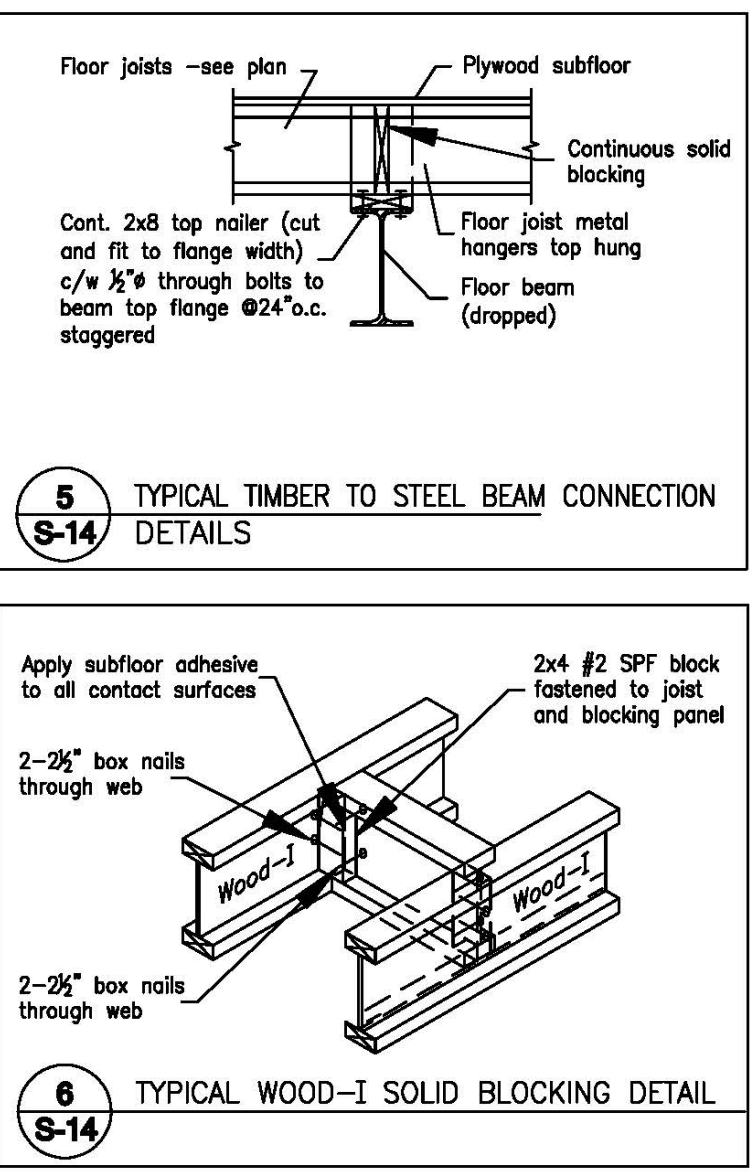
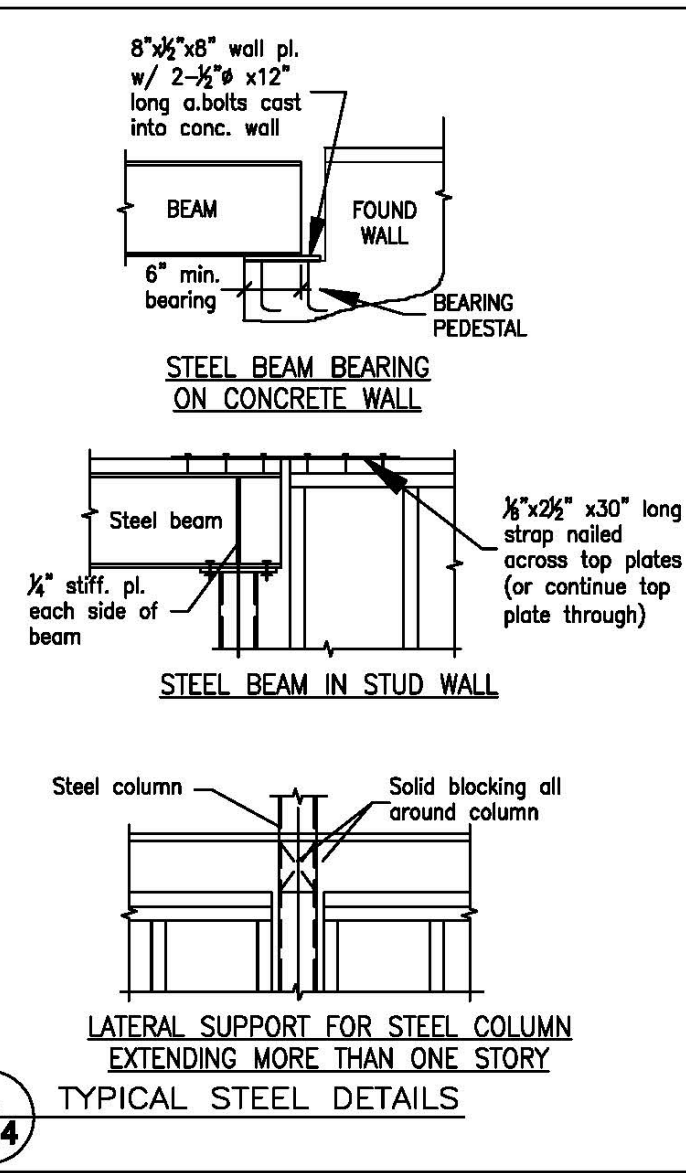
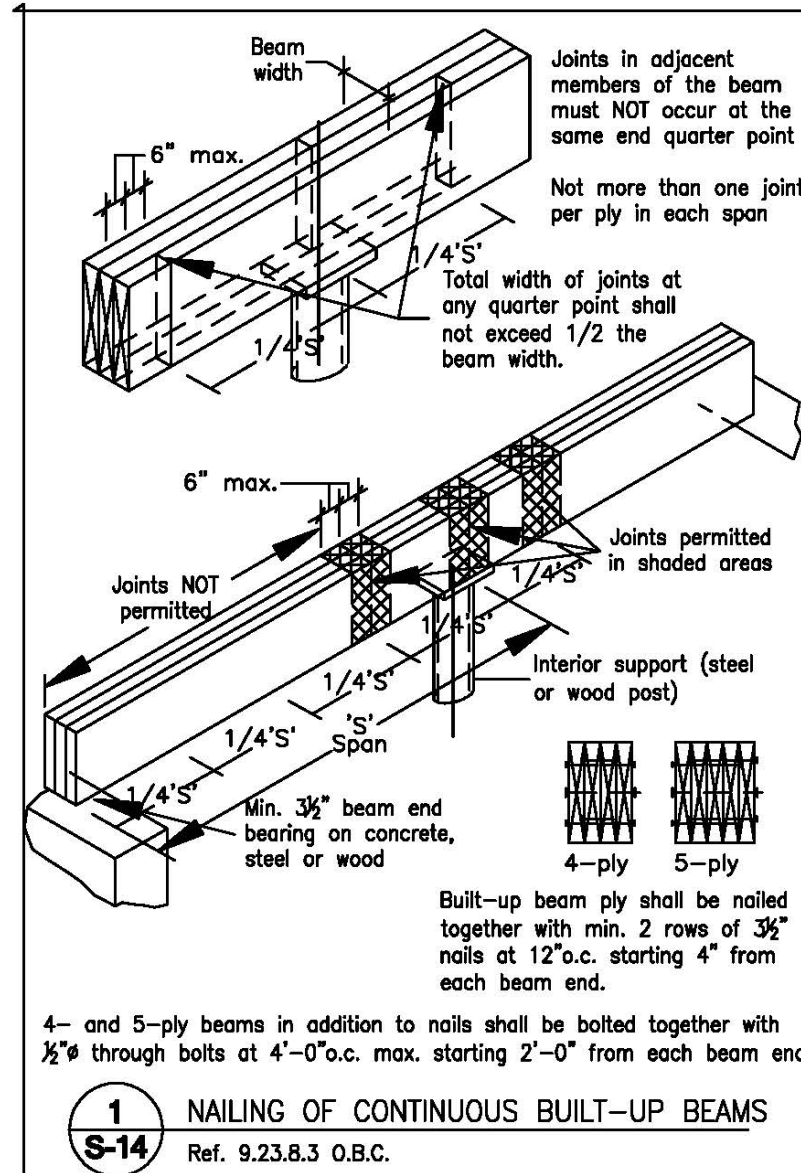
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2		
No.	Revision/Issue	Date

LASONNE

3131 MERRIT AVENUE
SINGLE FAMILY DWELLING
Mississauga, Ontario

TITLE:
**WEST
ELEVATION**

Drawing No.	S8	
Project No.	1880	
Date	SEPT '18	
Scale	1:100	
Drawn by:	DF	Checked by: DF



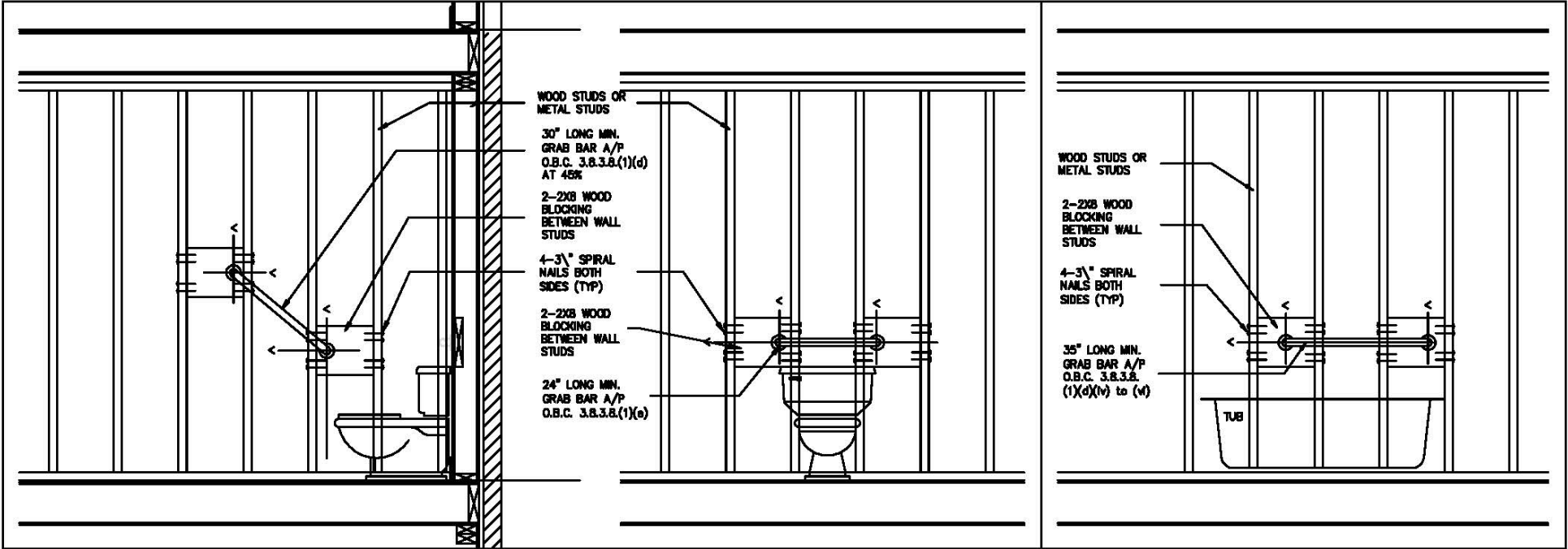
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2		
No.	Revision/Issue	Date

LASONNE

3131 MERRIT AVENUE
SINGLE FAMILY DWELLING
Mississauga, Ontario

TITLE:
**STRUCTURAL
DETAILS**

Drawing No.	S10
Project No.	1880
Date	SEPT '18
Scale	NTS
Drawn by:	DF
Checked by:	DF



STRUCTURAL REINFORCEMENT
WASHROOM GRAB BAR - ROUGH IN ONLY



3		
2		
No.	Revision/Issue	Date

LASONNE

3131 MERRIT AVENUE
SINGLE FAMILY DWELLING
Mississauga, Ontario

TITLE:
**STRUCTURAL
DETAILS III**

Drawing No.	S11	
Project No.	1880	
Date	SEPT '18	
Scale	NTS	
Drawn by:	DF	Checked by: DF

- 1

FLUSH ROOF CONSTRUCTION

2-PLY TORCHED ON ROOFING ON 1/2" PLYWOOD SHEATHING ON ROOF JOISTS AS NOTED ON DRAWINGS, 6 MIL SUPER POLY VAPOUR BARRIER AT U/S OF CEILING JOIST W/ 1/2" GYPSUM BOARD FILLED,TAPED, SANDED READY FOR PAINT.

NOTE: ALLOW FOR CROSS VENTILATION IN PLENUM BETWEEN ROOF AND CEILING JOISTS WITH ROOF VENTING AREA MIN. 1 SQ.FT./150 SQ.FT. OF ROOF AREA. PROVIDE MIN. R-31 BATT. INSULATION. WHERE VENTILATION IS NOT PROVIDED FILL JOIST CAVITY SOLID W/ MIN. R.-50 SPRAY FOAM INSULATION.
- 2

SLOPED ROOF CONSTRUCTION

BITUMINOUS SHINGLES ON 1x3 NAILER ON 1/2" PLYWOOD SHEATHING ON TYPAR ROOFING MEMBRANE ON RAFTERS/TRUSSES AS NOTED. PROVIDE APPROVED EAVES PROTECTION TO MINIMUM 6"-0" BEYOND INNER FACE OF EXTERIOR WALL. MIN. R-31 BATT INSULATION IN CATHEDRAL CEILING SPACE; 6 MIL SUPER POLY VAPOUR BARRIER (WARM SIDE) W/ 1/2" GYPSUM BOARD TAPED, FILLED, SANDED, READY FOR PAINT.

NOTE: PROVIDE MIN. 1 SQ. FT. OF ROOF VENT AREA PER 300 SQ.FT. OF CEILING AREA W/ MIN. 50% AT EAVES. PROVIDE CONTINUOUS ROOF VENTING AT EAVE & RIDGE.
- 3

COPPER/METAL ROOF CONSTRUCTION

COPPER/METAL ROOFING ON 15 LB. BLDG. PAPER ON 1/2" PLYWOOD SHEATHING, ON ROOF RAFTERS OR TRUSSES AS NOTED. PROVIDE APPROVED EAVES PROTECTION (ICE & WATER SHIELD) TO MINIMUM 6"-0" BEYOND INNER FACE OF EXTERIOR WALL. MIN. R-24 BATT INSULATION IN CATHEDRAL CEILING SPACE; 6 MIL SUPER POLY VAPOUR BARRIER (WARM SIDE) W/ 1/2" GYPSUM BOARD TAPED, FILLED, SANDED, READY FOR PAINT.

NOTE: PROVIDE MIN. 1 SQ. FT. OF ROOF VENT AREA PER 300 SQ.FT. OF CEILING AREA W/ MIN. 50% AT EAVES. PROVIDE CONTINUOUS ROOF VENTING AT EAVE & RIDGE, AND MIN. 2 1/4" VENT SPACE ABOVE INSULATION IN RAFTER CAVITY.
- 4

STONE VENEER WALL CONSTRUCTION

2" STONE VENEER, 1" AIR SPACE, TYVECK "HOUSE WRAP" (JOINTS TAPED AND SEALED) ON 1/2" PLYWOOD SHEATHING ON 2 x 6 @ 16" O. C. SPF STUD WALLS 2" x 6" WOOD GIRT AT MID- HEIGHT, DOUBLE PLATES AT TOP, SILL PLATE AT BOTTOM, PROVIDE .03" THICK x 7/8" WIDE MASONRY TIES @ 16" O.C. HORIZONTALLY AND 32" O.C. VERTICALLY. PROVIDE WEEP HOLES @ 24" O.C. AT COURSES AT TOP OF FOUNDATION WALL AND ABOVE ALL OPENINGS. PROVIDE THROUGH WALL BASE FLASHING UP MIN. 6" BEHIND SHEATHING PAPER.

NOTE: USE TYPE "X" DRYWALL AT ALL WALLS CLOSER THAN 1.2M TO PROPERTY LINE
- 5

STUCCO ON BLOCK WALL CONSTRUCTION (EIFS- CCMC No. 12969-R)

3 COAT STUCCO STUCCO APPLICATION 1" (.25mm) POLYSTYRENE BOARD FASTENED (R5 CONT INS.) W/ CORROSION-RESISTANT SCREWS WITH WIND-DEVL 2 PLASTIC WASHERS ON 4" CONC. BLOCK VENEER, 1" AIR SPACE, TYVECK "HOUSE WRAP" (JOINTS TAPED AND SEALED) ON 1/2" PLYWOOD SHEATHING ON 2x6 @ 16" O.C. SPF STUD WALLS W/ R-24 BATT INSULATION. 2x6 WOOD GRIT AT MID-HEIGHT. DOUBLE PLATES TOP & SILL PLATE AT BOTTOM, 6MIL POLY VAPOUR BARRIER(WARM SIDE) W/ 5/8" GYPSUM BOARD TAPED, FILLED, SANDED READY FOR PAINT. PROVIDE 0.03" THICK x7/8" WIDE MASONRY TIES @ 16" O.C. HORIZONTALLY AND 32" O.C. VERTICALLY. PROVIDE VEEP HOLES @ 24" O.C. AT COURSES AT TOP OF FOUNDATION WALL AND ABOVE ALL OPENINGS. PROVIDE THROUGH WALL BASE FLASHING UP MIN. 6"BEHIND SHEATHING PAPER. NOTE THAT OVERALL WALL CONSTRUCTION FOLLOWS THE RAINSGREEN PRINCIPAL
- 5A

STUCCO ON WOOD FRAME WALL (EIFS- CCMC No. 12969-R)

3 COAT STUCCO APPLICATION ON FIBERGLASS MESH ON 1½" POLYSTYRENE BOARD FASTENED W/ "WINDLOCK" FASTENERS(EIFS SYSTEM OR EQ.) ON TYVECK "HOUSE WRAP" (JOINTS TAPED & SEALED) ON R5 CONT. INS. ON 5/8" SHEATHING ON 2" x 6" @16" O.C STUD WALLS W/ R-24 BATT INSULATION 2x6 WOOD GIRT AT MID-HEIGHT, DOUBLE PLATES AT TOP & SILL PLATE AT BOTTOM; 6 MIL POLY VAPOUR BARRIER (WARM SIDE) W/ ½" GYPSUM BOARD TAPED, FILLED, SANDED READY FOR PAINT.PROVIDE THROUGH WALL BASE FLASHING UP MIN. 6" BEHIND SHEATHING FILM.

NOTE: CONTRACTOR IS RESPONSIBLE FOR INSTALLATION WARRANTY OF PRODUCT. ARCHITECT IS NOT RESPONSIBLE FOR SPECIFICATION OF STUCCO INSTALLATION.
- 5B

SIDING ON WOOD FRAME WALL

2"x2" TIMBER STRAPPING FASTENED W/ "WINDLOCK" FASTENERS(EIFS SYSTEM OR EQ.) ON TYVECK "HOUSE WRAP" (JOINTS TAPED & SEALED) ON R5 CONT. INS. ON 5/8" SHEATHING ON 2" x 6" @16" O.C STUD WALLS W/ R-24 BATT INSULATION 2x6 WOOD GIRT AT MID-HEIGHT, DOUBLE PLATES AT TOP & SILL PLATE AT BOTTOM; 6 MIL POLY VAPOUR BARRIER (WARM SIDE) W/ ½" GYPSUM BOARD TAPED, FILLED, SANDED READY FOR PAINT.PROVIDE THROUGH WALL BASE FLASHING UP MIN. 6" BEHIND SHEATHING FILM.

NOTE: CONTRACTOR IS RESPONSIBLE FOR INSTALLATION WARRANTY OF PRODUCT. ARCHITECT IS NOT RESPONSIBLE FOR SPECIFICATION OF SIDING INSTALLATION.

- 5C

BRICK VENEER WALLS

 - 1" MAXIMUM BRICK PROJECTION OVER FOUNDATION WALL.
 - VENEER TIES 20 GA X 7/8" ATTACHED TO WOOD FRAME AT MAXIMUM 24" O.C. VERTICALLY, 16" O.C.H. HORIZONTALLY.
 - VENEER TIES MINIMUM 0.03" THICK, 7/8" WIDE EROSION-RESISTANT (GALVANIZED) STRAPS, CONFOREMING TO CAN-A370-M84, CONNECTORS FOR MASONRY".
 - 15# BUILDING PAPER OVER SHEATHING TO BE WATER REPELLENT BREATHER TYPE.
 - 1" MINIMUM AIR SPACE BETWEEN BRICK VENEER AND WALL SHEATHING.
 - FLASHING REQUIRED BENEATH JOINTED MASONRY SILLS AND ABOVE HEADS OF WINDOWS, DOORS AND STEEL SUPPORTS. EXTEND FLASHING A MINIMUM OF 6" ABOVE WINDOW OR DOOR HEAD. ENSURE THAT FLASHING IS INSTALLED UNDER BUILDING PAPER. ALL FLASHING TO BE CONTINUOUS. PROVIDE WEEPHOLES AT 30" O/C AT ALL WINDOW HEADS, SILLS AND OTHER STEEL SUPPORTS.
 - BASE FLASHING SHALL BE PLACED BENEATH WEEP HOLES AND 6" UP BEHIND WALL SHEATHING PAPER.

USE 45# ROLL ROOFING OR TYVEK MEMBRANCE. MAXIMUM WALL HEIGHT 36'-0".
- 6

BAY PROJECTION/DORMER WALL CONSTRUCTION

PT. GR. WOOD TRIM AND KREZON WOOD PANNELLING, ON TYVECK "HOUSE WRAP, ON 1/2" PLYWOOD SHEATHING ON 2 X 6 @ 16" O.C. SPF STUD FRAMING W/ 2 X 6 WOOD GIRT AT MID-HEIGHT, DOUBLE PLATES AT TOP, SILL PLATE AT BOTTOM, 6 MIL SUPER POLY VAPOUR BARRIER (WARM SIDE) W/ 1/2" GYPSUM BOARD FILLED, TAPED, SANDED, READY FOR PAINT.
- 7

FOUNDATION WALL CONSTRUCTION

DRAINAGE LAYER W/ FILTER PAPER ON WATER PROOFING ON POURED CONCRETE/CONC.BLOCKS FOUNDATION AS NOTED ON DRAWINGS, REINFORCING & SIZE AS PER DWG. PROVIDE CONTINUOUS 2 X 6 WOOD SILL PLATE FASTENED W/ 1/2"Ø X 12" LONG ANCHOR BOLTS @ 6'-0" O.C. MAX. SET MIN. 6" INTO CONCRETE, SILL PLATE TO BE ON A FLEXIBLE SILL GASKET.

PROVIDE 1/2" AIR SPACE W/ 15 LB. BUILDING PAPER, 2 X 4 WOOD STUDS @ 16" O.C. W/ MIN. R-20 CONT. INSULATION, 6 MIL SUPER POLY VAPOUR BARRIER AND 1/2" GYPSUM BOARD, FILLED, TAPED, SANDED, READY FOR PAINT.

NOTE: FOR FOUNDATION WALL EXPOSED ABOVE GRADE, PROVIDE STONE VENEER WHERE REQ'D BONDED SOLID TO CONC. FTG. AS NOTED ON DWGS. PROVIDE 3/16" "BLOCKLOK" @ 16" O.C. VERTICAL. ALLOW FOR FULL CONTACT W/ STONE OR BRICK.

EXTENTION ABOVE GROUND: EXTERIOR FOUNDATION WALLS SHALL EXTEND NOT LESS THAN 150mm (5 ⅞") ABOVE FINISHED GROUND LEVEL (9.15.4.6)

FOOTINGS

POURED CONCRETE FOOTINGS WIDTH AND DEPTH AS NOTED ON DWGS. F'c=30Mpa CONC., REINFORCED AS PER PLAN OR SOIL REPORT. PROVIDE 4" DIA. WEEPING TILES COVERED W/ 6" MIN. GRANULAR MATERIAL AND FILTER CLOTH. WATER PROOFING COVED OVER POURED CONCRETE FOOTING AT FOUNDATION WALL INTERFACE. (SEE DWGS. FOR COLUMN FOOTINGS.)

NOTE: ALL NEW FOOTINGS SHALL BEAR ON UNDISTURBED SOIL WITH ASSUMED BEARING CAPACITY OF 150kpa. TO BE VERIFIED BY GEOTECHNICAL ENGINEER. STEP FOOTINGS SHALL HAVE 2'-0" MINIMUM HORIZONTAL STEPS & VERTICAL STEPS NO GREATER THAN 2/3 OF HORIZONTAL STEP TO A MAXIMUM OF 2'-0". BACKFILL W/ NON-FROST SUSCEPTIBLE BACKFILL. FOR REINFORCED FOUNDATION WALLS, PROVIDE REINFORCING AS NOTED ON PLAN.
- 7a

BASEMENT INSULATION

R20 INSULATION BLANKET OR BATTS WITH 23x89mm(2x4") STUD WALL, AND APPROVED VAPOUR BARRIER TO 610mm(24")BELOW FINISH EXTERIOR GRADE. DAMPPROF WITH BUILDING PAPER BETWEEN THE FOUNDATION WALL AND INSULATION UP TO GRADE LEVEL.

NOTE: FULL HEIGHT INSULATION AT COLD CELLAR WALLS.
- 8

BASEMENT SLAB CONSTRUCTION

100mm (4") CONCRETE SLAB, 25 MPa(3600 psi), ON 00mm(4") COARSE GRANULAR FILL, OR 20 MPa (3000psi) CONCRETE WITH DAMPPROOFING BELOW SLAB. (PROVIDE DRAIN AS PER DRAWING).
- 9

GARAGE SLAB CONSTRUCTION

100mm(4") CONCRETE SLAB, COMPRESSIVE STRENGTH 32 MPa (4640psi), WITH 5-8% AIR ENTRAINMENT ON OPT. 100mm(4") COARSE GRANULAR FILL WITH COMPACTED SUB-BASE OR COMPACTED NATIVE FILL. SLOPE TO FRONT AT 2% MINIMUM.

- 10

COLD CELLAR PORCH SLAB.

175mm THK. 30 MPa CONC.SLAB WITH 5/8" AIR ENTRAINMENT, REINF. WITH 15M BARS @ 300mm O.C. EACH DIRECTION IN BOTTOM THIRD OF SLAB. MIN. 30mm(1/4")COVER, 600X600 {23 5/8"x23 5/8"} DOWELS @ 300mm O.C., ANCHORED IN PERIMETER FOUND.WALLS. SLOPE SLAB MIN.1% FROM WALL. SLAB TO HAVE MIN. 75mm (3") BEARING ON FOUND.WALL. PROVIDE (L7/REINFORCEMENT) LINTELS OVER CELLAR DOOR WITH 100mm(4") END BEARING.
- 10a

SLAB ON GRADE

MIN.100mm(4") CONCRETE SLAB ON GRADE 100mm(4") COARSE GRANULAR FILL, REINFORCED WITH 6X6-W2.9 MESH, PLACED NEAR MID-DEPTH OF SLAB. CONC.STRENGHT 32 MPa(4600psi), WITH 5-8% AIR ENTRAINMENT ON COMPACTED SUB-GRADE.
- 11

FLOOR CONSTRUCTION

FINISHED FLOOR ON 5/8" OSB ON FLOOR JOISTS (GLUE AND SCREW),HARD WOOD; WRAP ALL HEADERS W/ VAPOUR BARRIER PRIOR TO PLACEMENT ON FOUNDATION WALL AND PRIOR TO ERECTION OF STUD WALLS. ALLOW FOR OVERLAP AND CONTINUOUS VAPOUR BARRIER.

NOTE: CO-ORDINATE SILL PLATE HEIGHT AND QUANTITY W/ TILE FLOOR CONSTRUCTION (NOTE11a).
- 11a

TILE FLOOR CONSTRUCTION

CERAMIC OR STONE TILE DRY SET ON 1 1/2" CONC. TOPPING ON 5/8" OSB SHEATHING (GLUE & SCREW) ON FLOOR JOISTS AS NOTED ON DWGS.;
- 11b

HARDWOOD/LAMINATE FLOOR CONSTRUCTION

HARDWOOD OR LAMINATE ON 3/8" (9.5mm) APPROVED WOOD UNDERLAYMENT.
- 11c

TILE FLOOR CONSTRUCTION (BASEMENT)

CERAMIC TILE ON THIN SET MORTAR BED ON CONCRETE SLAB.
- 13

INTERIOR STUD PARTITION

2 X 4 STUDS @ 16" O.C. W/ 2 X 4 SILL PLATE ON STRUCTURAL SUPPORT AS NOTED, 1/2" GYP. BD. EACH SIDE.
- 13a

INTERIOR STUD PARTITION

2 X 6 STUDS @ 16" O.C. W/ 2 X 6 SILL PLATE ON STRUCTURAL SUPPORT AS NOTED, 1/2" GYP. BD. EACH SIDE.
- 13b

INTERIOR STUD PARTITION

2 X 6 STUDS @ 16" O.C. W/ 2 X 6 SILL PLATE ON STRUCTURAL SUPPORT AS NOTED, R-24 BATT INSULATIN, 1/2" GYP. BD. EACH SIDE.
- 13c

INTERIOR STUD PARTITION

2 X 6 STUDS @ 12" O.C. W/ 2 X 6 SILL PLATE ON STRUCTURAL SUPPORT AS NOTED, 1/2" GYP. BD. EACH SIDE.
- 14

GARAGE WALL & CEILING CONSTRUCTION

EXTER.GLADDING, 25mm(1")AIR SPACE, 22x180x0.78(⅞"x7"x0.03")CALV.METAL TIES @ 400mm(16") O.C. HORIZONTAL 600mm(34")O.C. VERTICAL APPROVED SHEATHING PAPER, 9.5mm(⅜")EXT.TYPE SHEATHING, 38x150mm(2x6")STUDS @ 400mm(16") O.C.WITH APPROVED DIAGONAL WALL BRACING.

NOTE: WHERE FLOOR EXIST ABOVE GARAGE, PROVIDE WEEP HOLES @800mm(32")O.C.BOTTOM COURSE AND OVER OPENINGS. PROVIDE BASE FLASHING UP MIN.150mm(6")BEHIND PAPER. BRICK TO BE MIN.150mm(6")ABOVE FINISH GRADE.

NOTE: GASPROOF W/ 1 LAYER 5/8" GYPSUM BOARD EACH SIDE. PROVIDE MIN. R-24 INSULATION IN CAVITY; 6 MIL SUPER POLY VAPOR BARRIER. (WARM SIDE). TAPE ALL JOINTS W/ FIBERGLASS TAPING TO PROVIDE CONTINUOUS SEAL.
- 15

DECORATIVE WOOD TRIM

WOOD TRIM AS PER DETAIL DRAWING - PRIME AND PAINT W/ 3 COATS - BENJAMIN MOORE EXTERIOR ALKYD. ALL WORK TO BE CO-ORDINATED W/ ON SITE DIMENSIONS AND PROPORTIONED ACCORDINGLY.
- 16

PRECAST CONCRETE / CUT LIMESTONE SILL, COPING, TRIM

DIMENSION AS PER DETAIL DRAWINGS. PROVIDE SHOP DRAWINGS FOR ARCHITECT'S REVIEW.

PREFINISHED METAL FLASHING
- 17

AT PROVIDE STEPPED THROUGH WALL FLASHING SLOPING INTERFACE(S) AND CAPPING AS REQUIRED. COLOUR AS PER DESIGNER.
- 18

PAINTED 1 X 4 T & G WOOD SOFFIT W/ CONTINUOUS VENT BEHIND FASCIA; PRIME & PAINT AS PER NOTE 15.

- 19

PREFIN. METAL EAVESTROUGH ON 1 X 8 FASCIA BOARD.
- 20

PREFIN. METAL RAINWATER LEADER (RWL) - TO MATCH EAVESTROUGH.
- 21

WASHROOMS TO BE MECHANICALLY VENTED TO EXTERIOR. PROVIDE MIN. 2 AIR CHANGES PER HOUR.
- 22

LINEN CLOSET: 4 SHELVES MIN. 14" DEEP
- 23

MAIN STAIRS / EXTERIOR STAIRS

MAX. RISE: = 7 1/2"
MIN. TREAD: = 10"
MIN. NOSING: = 1"
RAILING AT: = 3'-6" A.F.F. LANDING
AT STAIR: = 3'-0" ABOVE NOSING OF TREAD
MIN. HEADROOM: = 7'-0"
- 24

SECONDARY STAIRS

MAX. RISE: = 7 3/4"
MIN. TREAD: = 9"
MIN. NOSING: = 1"
RAILING AT: = 3'-6" A.F.F. LANDING
AT STAIR: = 3'-0" ABOVE NOSING OF TREAD
MIN. HEADROOM: = 7'-0"
- 25

DRYER AND/OR COOKTOP TO BE VENTED DIRECTLY OUTSIDE THROUGH WALL.
- 26

GUARD RAIL 3'-6" HIGH (4" MAX. SPACE BETWEEN PICKETS). GUARDS TO RESIST LOADS AS PER O.B.C. SEC. 4.1.10.1.).
- 27

24" X 30" INSULATED ATTIC HATCH.
- 28

CARBON MONOXIDE ALARM (CMA.) (9.33.4)
INSTALLED ADJACENT TO EACH SLEEPING AREA IN THE SUITE. SINGLE STATION ALARM STYLE COMBUSTION ALARM PERMANENTLY MOUNTED ON HALL CEILING AND CONNECTED TO THE BUILDING ELECTRICAL SUPPLY WITHOUT A DISCONNECT WALL SWITCH AND HAVING A CIRCUIT NOT CONNECTED TO ANY WALL OUTLET.
- 29

SMOKE ALARM (SA.) (9.10.19)
PROVIDE 1 PER FLOOR, NEAR STAIRS CONNECTING THE FLOOR LEVEL, INCLUDING BASEMENT & ONE INSIDE THE BEDROOM ON OR NEAR THE CEILING. ALARMS TO BE CONNECTED TO AN ELECTRICAL CIRCUIT AND INTERCONNECTED TO ACTIVATE ALL ALARMS IF 1 SOUND.)
- 30

MECHANICAL VENTILATION (MV.)
PROVIDE MIN. 1 AIR CHANGE PER HOUR IN ROOMS SPECIFIED TO BE MECHANICALLY VENTED 80 CFM (CUBIC FOOT PER MINUTE) PRIMARY VENTS FOR BATHROOMS UNDER 100 SQUARE FEET. FOR BATHROOMS OVER 100 SQUARE FEET, 50 CFM SHOULD BE MADE FOR EACH STANDARD TOILET, BATHTUB AND SHOWER.

LICENSED PROFESSIONAL ENGINEER

05/01/19

D. FALZON

100159595

PROVINCE OF ONTARIO

3		
2		
No.	Revision/Issue	Date

LASONNE

3131 MERRIT AVENUE
SINGLE FAMILY DWELLING
Mississauga, Ontario

TITLE:

DETAILING MARKS

Drawing No.	S12	
Project No.	1880	
Date	SEPT '18	
Scale		
Drawn by:	DF	
Checked by:	DF	

GENERAL NOTES:

EXCAVATION AND BACKFILL

1. EXCAVATION SHALL BE UNDERTAKEN IN SUCH A MANNER SO AS TO PREVENT DAMAGE TO EXISTING STRUCTURES, ADJACENT PROPERTIES AND UTILITIES.

2. THE TOPSOIL AND VEGETABLE MATTER IN UNEXCAVATED AREAS UNDER A BUILDING SHALL BE REMOVED. THE BOTTOM OF EXCAVATIONS FOR FOUNDATIONS SHALL BE FREE OF ALL ORGANIC MATERIAL.

3. IF TERMITES ARE KNOWN TO EXIST, ALL STUMPS, ROOTS AND WOOD DEBRIS SHALL BE REMOVED TO A MINIMUM DEPTH OF 500MM IN EXCAVATED AREAS UNDER A BUILDING, AND THE CLEARANCE BETWEEN UNTREATED STRUCTURAL WOOD ELEMENTS AND THE GROUND SHALL BE NO LESS THAN 450MM.

4. BACKFILL WITHIN 600MM OF THE FOUNDATION WALLS SHALL BE FREE OF DELETERIOUS DEBRIS AND BOULDERS OVER 250MM IN DIAMETER.

DAMP-PROOFING AND DRAINAGE

1. IN NORMAL SOIL CONDITIONS, THE EXTERIOR SURFACES OF FOUNDATION WALLS ENCLOSING BASEMENTS AND CRAWL SPACES SHALL BE DAMP-PROOFED WHERE HYDROSTATIC PRESSURE OCCURS, A WATERPROOFING SYSTEM IS REQUIRED.

2. MASONRY FOUNDATION WALLS SHALL BE PARGED WITH 6MM OF MORTAR COVED OVER THE FOOTING PRIOR TO DAMP-PROOFING.

3. 100MM DIA. FOUNDATION DRAINS SHALL BE LAID ON LEVEL, UNDISTURBED GROUND ADJACENT TO THE FOOTINGS AT OR BELOW THE TOP OF THE BASEMENT SLAB OR CRAWL SPACE FLOOR, AND SHALL BE COVERED WITH 150MM OF CRUSHED STONE. FOUNDATION DRAINS SHALL DRAIN TO A STORM SEWER, DRAINAGE DITCH, DRY WELL OR SUMP.

4. WINDOW WELLS SHALL BE DRAINED TO THE FOOTING LEVEL OR TO A DITCH OR SUMP PUMP.

5. DOWNSPOUTS NOT DIRECTLY CONNECTED TO A STORM SEWER SHALL HAVE EXTENSIONS TO CARRY WATER AWAY FROM THE BUILDING, AND PROVISIONS SHALL BE MADE TO PREVENT SOIL EROSION.

6. CONCRETE SLABS IN ATTACHED GARAGES SHALL BE SLOPED TO DRAIN TO THE EXTERIOR.

7. THE BUILDING SITE SHALL BE GRADED SO THAT SURFACE, SUMP AND ROOF DRAINAGE WILL NOT ACCUMULATE AT OR NEAR THE BUILDING AND WILL NOT ADVERSELY AFFECT ADJACENT PROPERTIES.

FOOTINGS

1. MINIMUM 30MPA POURED CONCRETE.

2. MINIMUM 1200MM BELOW FINISHED GRADE. FOOTINGS SHALL BE FOUNDED ON NATURAL UNDISTURBED SOIL, ROCK OR COMPACTED GRANULAR FILL WITH MINIMUM BEARING CAPACITY OF 15KPA.

FOUNDATION WALLS

1. TO BE POURED CONCRETE, UNIT MASONRY, ICF OR PRESERVED WOOD (SEE DRAWINGS FOR TYPE AND THICKNESS).

2. DAMP-PROOFING SHALL BE A HEAVY COAT OF BITUMINOUS MATERIAL.

3. FOUNDATION WALL TO EXTEND MINIMUM 150MM ABOVE FINISHED GRADE.

4. A DRAINAGE LAYER IS REQUIRED ON THE OUTSIDE OF A FOUNDATION WALL WHERE THE INTERIOR INSULATION EXTENDS MORE THAN 900MM BELOW EXTERIOR GRADE.

5. A DRAINAGE LAYER SHALL CONSIST OF: MIN. 19MM MINERAL FIBRE INSULATION WITH MIN. DENSITY OF 57 KG/M MIN. 100MM OF FREE DRAINAGE GRANULAR MATERIAL OR AN APPROVED SYSTEM WHICH PROVIDES EQUIVALENT PERFORMANCE. FOUNDATION WALLS SHALL BE BRACED OR HAVE THE FLOOR JOISTS INSTALLED BEFORE BACKFILLING.

CONCRETE FLOOR SLABS

1. GARAGE, CARPORT AND EXTERIOR SLABS AND EXTERIOR STEPS SHALL BE 32MPA CONCRETE WITH 5-8% AIR ENTRAINMENT.

2. BASEMENT SLAB 25MPA CONCRETE, MINIMUM 75MM THICK, PLACED ON A MINIMUM 100MM OF COARSE, CLEAN, GRANULAR MATERIAL.

3. ALL FILL OTHER THAN COARSE CLEAN MATERIAL PLACED BENEATH CONCRETE SLABS SHALL BE COMPACTED TO PROVIDE UNIFORM SUPPORT

MASONRY WALLS

1. WHERE CONSTRUCTED OF 90MM BRICK, WALL SHALL BE BONDED WITH A HEADER COURSE EVERY 600MM O/C VERTICALLY AND HORIZONTALLY AND 900MM O/C FOR BLOCK OR TILE.

2. PROVIDE 50MM SOLID MASONRY, CONCRETE FILLED TOP COURSE OR CONTINUOUS 38X89 WOOD PLATE UNDER ALL ROOF AND FLOOR FRAMING MEMBERS.

3. PROVIDE 190MM SOLID MASONRY UNDER BEAMS AND COLUMNS.

4. MASONRY WALL TO BE TIED TO EACH TIER OF JOISTS WITH 40MM X 4.76MM CORROSION RESISTANT STEEL STRAPS, KEYED MINIMUM 100MM INTO MASONRY. WHEN JOISTS ARE PARALLEL TO WALL, TIES ARE TO EXTEND ACROSS AT LEAST 3 JOISTS @ 2000MM O.C.

6. INSIDE OF WALL TO BE PARGED AND COVERED WITH NO. 15 BREATHER-TYPE ASPHALT PAPER.

7. FOR REDUCED FOUNDATION WALLS TO ALLOW A BRICK FACING WHILE MAINTAINING LATERAL SUPPORT, TIE MINIMUM 90MM BRICK TO MINIMUM 90MM BACKUP BLOCK WITH CORROSION RESISTANT TIES AT LEAST 17.8MM IN CROSS SECTIONAL AREA, SPACED 200MM VERTICALLY AND 900MM HORIZONTALLY, WITH JOINTS COMPLETELY FILLED WITH MORTAR.

8. MASONRY OVER OPENINGS SHALL BE SUPPORTED ON CORROSION RESISTANT OR PRIME PAINTED STEEL LINTELS WITH A MINIMUM OF 150MM END BEARING.

MASONRY VENEER

1. MINIMUM 70MM THICK IF JOINTS ARE NOT RAKED AND 10MM THICK IF JOINTS ARE RAKED.

2. MINIMUM 25MM AIR SPACE TO SHEATHING.

3. PROVIDE WEEP HOLES @ 800MM O.C. AT THE BOTTOM OF THE CAVITY AND OVER DOORS AND WINDOWS.

4. DIRECT DRAINAGE THROUGH WEEP HOLES WITH 0.5MM POLY FLASHING EXTENDING MINIMUM 150MM UP BEHIND THE SHEATHING PAPER.

5. VENEER TIES MINIMUM 0.76MM THICK X 22MM WIDE CORROSION RESISTANT STRAPS SPACED @ 500MM VERTICALLY AND 600MM HORIZONTALLY.

6. FASTEN TIES WITH CORROSION RESISTANT 3.18MM DIAMETER SCREWS OR SPIRAL NAILS WHICH PENETRATE AT LEAST 50MM INTO STUDS.

WOOD FRAME CONSTRUCTION

1. ALL LUMBER SHALL BE SPRUCE-PINE-FIR NO. 1 & 2, AND SHALL BE IDENTIFIED BY A GRADE STAMP

2. MAXIMUM MOISTURE CONTENT 19% AT TIME OF INSTALLATION.

3. WOOD FRAMING MEMBERS WHICH ARE SUPPORTED ON CONCRETE IN DIRECT CONTACT WITH SOIL SHALL BE SEPARATED FROM THE CONCRETE WITH 0.05MM POLYETHYLENE OR TYPE 'S' ROLL ROOFING.

WALLS

1. EXTERIOR WALLS SHALL CONSIST OF:
- CLADDING
- AIR BARRIER SYSTEM LAPPED 100MM AT JOINTS
- LUMBER, PLYWOOD, OSB OR GYPSUM SHEATHING
- 38X140 STUDS @ 400MM O.C.
- RSI 4.23 INSULATION

2. INTERIOR LOADBEARING WALLS SHALL CONSIST OF:
- 38X89 STUDS @ 400MM O.C.
- 38X89 BOTTOM PLATE AND DOUBLE38X89 TOP PLATE
- 38X89 MID-GIRTS IF NOT SHEATHED
- 12.7MM GYPSUM BOARD SHEATHING

FLOORS

1. JOISTS TO HAVE MINIMUM 38MM OF END BEARING.

2. JOISTS SHALL BEAR ON A SILL PLATE FIXED TO FOUNDATION WITH 12.7MM ANCHOR BOLTS @ 2400MM O.C.

3. HEADER JOISTS BETWEEN 1200MM AND 3200MM IN LENGTH SHALL BE SIZED BY CALCULATIONS.

4. TRIMMER JOISTS SHALL BE DOUBLED WHEN SUPPORTED HEADER IS BETWEEN 800MM AND 2000MM. TRIMMER JOISTS SHALL BE SIZED BY CALCULATIONS WHEN SUPPORTED HEADER EXCEEDS 2000MM.

5. 38X38 CROSS BRIDGING REQUIRED NOT MORE THAN 2100MM FROM EACH SUPPORT AND FROM OTHER ROWS OF BRIDGING.

6. JOISTS SHALL BE SUPPORTED ON JOIST HANGERS AT ALL FLUSH BEAMS, TRIMMERS AND HEADERS.

7. NON-LOADBEARING PARTITIONS SHALL BE SUPPORTED ON A JOIST OR ON A BLOCKING BETWEEN JOISTS.

ROOF & CEILINGS

1. HIP AND VALLEY RAFTER SHALL BE 38MM DEEPER THAN COMMON RAFTERS.

2. 38X39 COLLAR TIES @ RAFTER SPACING WITH 19X84 CONTINUOUS BRACE AT MID SPAN IF COLLAR TIE EXCEEDS 2400MM IN LENGTH.

NOTCHING & DRILLING TRUSSES, JOIST, RAFTERS

1. HOLES IN FLOOR, ROOF AND CEILING MEMBERS TO BE NOT LARGER THAN ¼ THE ACTUAL DEPTH OF MEMBER AND NOT LESS THAN 50MM FROM EDGES.

2. NOTCHES IN FLOOR, ROOF AND CEILING MEMBERS TO BE LOCATED ON TOP OF MEMBER WITHIN ½ THE ACTUAL DEPTH FROM THE EDGE OF BEARING AND NOT GREATER THAN 1/3 THE JOIST SPAN.

3. WALL STUDS MAY BE NOTCHED OR DRILLED PROVIDED THAT NO LESS THAN 2/3 THE DEPTH OF THE STUD REMAINS, IF LOAD BEARING, AND 40MM IF NON-LOAD BEARING.

4. ROOF TRUSS MEMBERS SHALL NOT BE NOTCHED, DRILLED OR WEAKENED UNLESS ACCOMMODATED IN THE DESIGN.

ROOFING

1. FASTENERS FOR ROOFING SHALL BE CORROSION RESISTANT. ROOFING NAILS SHALL PENETRATE THROUGH OR AT LEAST 12MM INTO ROOF SHEATHING.

2. EVERY ASPHALT SHINGLE SHALL BE FASTENED WITH AT LEAST 4 NAILS FOR 1000MM WIDE SHINGLE (OR 611MM STAPLES).

3. EAVES PROTECTION SHALL EXTEND 900MM UP THE ROOF SLOPE FROM THE EDGE AND AT LEAST 300MM FROM THE INSIDE FACE OF THE EXTERIOR WALL AND SHALL CONSIST OF TYPE M OR TYPE S ROLL ROOFING LAID WITH MINIMUM 100MM HEAD AND END LAPS CEMENTED TOGETHER, OR GLASS FIBRE OR POLYESTER FIBRE COATED BASE SHEETS, OR SELF SEALING COMPOSITE MEMBRANES CONSISTING OF MODIFIED BITUMINOUS COATED MATERIAL OR NO. 15 SATURATED FELT LAPPED AND CEMENTED. EAVE PROTECTION IS NOT REQUIRED FOR UNHEATED BUILDINGS, FOR ROOFS EXCEEDING A SLOPE OF 1 IN 1.5, OR WHERE A LOW SLOPE ASPHALT SHINGLE APPLICATION IS PROVIDED.

4. OPEN VALLEYS SHALL BE FLASHED WITH 2 LAYERS OF ROLL ROOFING, OR 1 LAYER OF SHEET METAL MIN. 600MM WIDE.

5. SHEET METAL SHALL CONSIST OF NOT LESS THAN 1.73M SHEET LEAD, 0.33MM GALVANIZED STEEL, 0.33MM COPPER, 0.35M ZINC, OR 0.48MM ALUMINUM.

COLUMNS, BEAMS & LINTELS

1. STEEL BEAMS AND COLUMNS SHALL BE SHOP PRIMED 350W STEEL

2. MINIMUM 89MM END BEARING FOR WOOD AND STEEL BEAMS, WITH 190MM SOLID MASONRY BENEATH THE BEAM.

3. STEEL COLUMNS TO HAVE MINIMUM OUTSIDE DIAMETER OF 73MM AND MINIMUM WALL THICKNESS OF 4.76MM.

4. WOOD COLUMNS FOR CARPORTS AND GARAGES SHALL BE MINIMUM 89MMX89MM; IN ALL OTHER CASES EITHER 140MMX140MM OR 184MM ROUND, UNLESS CALCULATIONS BASED ON ACTUAL LOADS SHOW LESSER SIZES ARE ADEQUATE. ALL COLUMNS SHALL BE NOT LESS THAN THE WIDTH OF THE SUPPORTED MEMBER.

5. MASONRY COLUMNS SHALL BE A MINIMUM OF 290 MMX290 MM OR 240MM X 380MM.

6. PROVIDE SOLID BLOCKING THE FULL WIDTH OF THE SUPPORTED MEMBER UNDER ALL CONCENTRATED LOADS.

INSULATION AND WATERPROOFING

1. SUPPLY DUCTS IN UNHEATED SPACE INSULATION SHALL BE PROTECTED WITH GYPSUM BOARD OR AN EQUIVALENT INTERIOR FINISH, EXCEPT FOR UNFINISHED BASEMENTS WHERE 0.15MM POLY IS SUFFICIENT FOR FIBERGLASS TYPE INSULATIONS.

2. DUCTS PASSING THROUGH UNHEATED SPACE SHALL BE MADE AIRTIGHT WITH TAPE OR SEALANT.

3. CAULKING SHALL BE PROVIDED FOR ALL EXTERIOR DOORS AND WINDOWS BETWEEN THE FRAME AND THE EXTERIOR CLADDING.

4. WEATHERSTRIPPING SHALL BE PROVIDED ON ALL DOORS AND ACCESS HATCHES TO THE EXTERIOR, EXCEPT DOORS FROM A GARAGE TO THE EXTERIOR.

5. EXTERIOR WALLS, CEILINGS AND FLOORS SHALL BE CONSTRUCTED SO AS TO PROVIDE A CONTINUOUS BATTIER TO THE PASSAGE OF WATER VAPOUR FROM THE INTERIOR AND TO THE LEAKAGE OF AIR FROM THE EXTERIOR.

NATURAL VENTILATION

EVERY ROOF SPACE ABOVE AN INSULATED CEILING SHALL

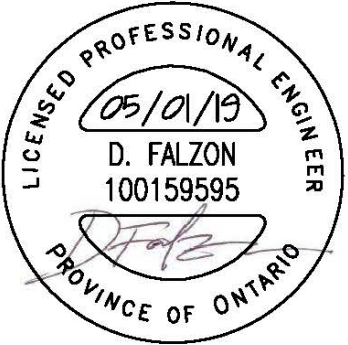
1. BE VENTILATED WITH UNOBSTRUCTED OPENINGS EQUAL TO NOT LESS THAN 1/300 OF THE INSULATED CEILING AREA

2. INSULATED ROOF SPACES NOT INCORPORATING AN ATTIC SHALL BE VENTILATED WITH UNOBSTRUCTED OPENINGS EQUAL TO NOT LESS THAN 1/150 OF THE INSULATED CEILING AREA.

3. ROOF VENTS SHALL BE UNIFORMLY DISTRIBUTED WITH MIN. 25% AT TOP OF THE SPACE AND 25% AT BOTTOM OF THE SPACE DESIGNED TO PREVENT THE ENTRY OF RAIN, SNOW OR INSECTS

4. UNHEATED CRAWL SPACES SHALL BE PROVIDED WITH 0.1M 2 OF VENTILATION FOR EACH 50M2

5. MINIMUM NATURAL VENTILATION AREAS, WHERE MECHANICAL VENTILATION IS NOT PROVIDED, ARE:
BATHROOMS: 0.09M
OTHER ROOMS: 0.28M
UNFINISHED BASEMENT: 0.2% OF FLOOR AREA



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No.	Revision/Issue	Date

LASONNE

3131 MERRIT AVENUE
SINGLE FAMILY DWELLING
Mississauga, Ontario

TITLE:
GENERAL NOTES I

Drawing No. S13	
Project No. 1880	
Date SEPT '18	
Scale	
Drawn by: DF	Checked by: DF

HANDRAILS AND GUARDS

- 1. A HANDRAIL IS REQUIRED FOR INTERIOR STAIRS CONTAINING MORE THAN 2 RISERS AND EXTERIOR STAIRS CONTAINING MORE THAN 3 RISERS.
- 2. GUARDS ARE REQUIRED AROUND EVERY ACCESSIBLE SURFACE WHICH IS MORE THAN 600MM ABOVE THE ADJACENT LEVEL AND WHERE THE ADJACENT SURFACE HAS A SLOPE OF MORE THAN 1:2.
- 3. INTERIOR AND EXTERIOR GUARDS MIN. 900MM HIGH.
- 4. EXTERIOR GUARDS SHALL BE 1070MM HIGH WHERE HEIGHT ABOVE ADJACENT SURFACE EXCEEDS 1800MM.
- 5. GUARDS SHALL HAVE OPENINGS SMALLER THAN 100MM AND NO MEMBER BETWEEN 140MM AND 900MM THAT WILL FACILITATE CLIMBING.

PLUMBING

- 1. EVERY DWELLING REQUIRES A KITCHEN SINK, LAVATORY, WATER CLOSET, BATHTUB OR SHOWER STALL AND THE INSTALLATION OR AVAILABILITY OF LAUNDRY FACILITIES.
- 2. A FLOOR DRAIN SHALL BE INSTALLED IN THE BASEMENT, AND CONNECTED TO THE SANITARY SEWER WHERE GRAVITY DRAINAGE IS POSSIBLE. IN OTHER CASES, IT SHALL BE CONNECTED TO A SEWAGE EJECTION PUMP.

ELECTRICAL

- 1. AN EXTERIOR LIGHT CONTROLLED BY AN INTERIOR SWITCH IS REQUIRED AT EVERY ENTRANCE.
- 2. A LIGHT CONTROLLED BY A SWITCH IS REQUIRED IN EVERY KITCHEN, BEDROOM, LIVING ROOM, UTILITY ROOM, LAUNDRY ROOM, DINING ROOM, BATHROOM, VESTIBULE, HALLWAY, GARAGE AND CARPORT. A SWITCHED RECEPTACLE MAY BE PROVIDED INSTEAD OF A LIGHT IN BEDROOMS AND LIVING ROOMS.
- 3. STAIRS SHALL BE LIGHTED, AND EXCEPT WHERE SERVING AN UNFINISHED BASEMENT SHALL BE CONTROLLED BY A 3 WAY SWITCH AT THE HEAD OF THE STAIRS.
- 4. BASEMENTS REQUIRE A LIGHT FOR EACH 30M CONTROLLED BY A SWITCH AT THE HEAD OF THE STAIRS.

MECHANICAL VENTILATION

- 1. A MECHANICAL VENTILATION SYSTEM IS REQUIRED WITH A TOTAL CAPACITY AT LEAST EQUAL TO THE SUM OF:
10.0 L/S EACH FOR BASEMENT AND MASTER BEDROOM
5.0 L/S FOR EACH OTHER ROOM
- 2. A PRINCIPAL DWELLING EXHAUST FAN SHALL BE INSTALLED AND CONTROLLED BY A CENTRALLY LOCATED SWITCH IDENTIFIED AS SUCH.
- 3. SUPPLEMENTAL EXHAUST SHALL BE INSTALLED SO THAT THE TOTAL CAPACITY OF ALL KITCHEN, BATHROOM AND OTHER EXHAUSTS, LESS THE PRINCIPAL EXHAUST, IS NOT LESS THAN THE TOTAL REQUIRED CAPACITY.
- 4. A HEAT RECOVERY VENTILATOR MAY BE EMPLOYED IN LIEU OF EXHAUST TO PROVIDE VENTILATION. AN HRV IS REQUIRED IF ANY SOLID FUEL BURNING APPLIANCES ARE INSTALLED.
- 5. SUPPLY AIR INTAKES SHALL BE LOCATED SO AS TO AVOID CONTAMINATION FROM EXHAUST OUTLETS.

DOORS AND WINDOWS

- 1. EVERY FLOOR LEVEL CONTAINING A BEDROOM AND NOT SERVED BY AN EXTERIOR DOOR SHALL CONTAIN AT LEAST 1 WINDOW HAVING AN UNOBSTRUCTED OPEN AREA OF 0.35M2 AND NO DIMENSION LESS THAN 380MM, WHICH IS OPENABLE FROM THE INSIDE WITHOUT TOOLS. MAXIMUM SILL HEIGHT 1000MM FOR FIN. FLOORS ABOVE GRADE.
- 2. EXTERIOR HOUSE DOORS AND WINDOWS WITHIN 2000MM FROM GRADE SHALL BE CONSTRUCTED TO RESIST FORCED ENTRY. DOORS SHALL HAVE A DEADBOLT LOCK
- 3. THE PRINCIPAL ENTRY DOOR SHALL HAVE EITHER A DOOR VIEWER, TRANSPARENT GLAZING OR A SIDELIGHT
- 4. MAXIMUM U-VALUE 1.8 FOR WINDOWS \$ SLIDING GLASS DOORS

EXTERIOR WALLS

- 1. NO WINDOWS OR OTHER UNPROTECTED OPENINGS ARE PERMITTED IN EXTERIOR WALLS LESS THAN 1200MM FROM PROPERTY LINES
- 2. 15.9MM TYPE 'X' FIRE RATED DRYWALL SHALL BE INSTALLED ON THE INSIDE FACE OF ATTACHED GARAGE EXTERIOR WALLS AND GABLE ENDS OF ROOFS WHICH ARE LESS THAN
- 3. 1200MM AND NOT LESS THAN 600MM FROM PROPERTY LINES
- 4. NON COMBUSTIBLE CLADDING SHALL BE INSTALLED ON ALL EXTERIOR WALLS LESS THAN 600MM FROM PROPERTY LINES

CERAMIC TILE

- 1. WHEN CERAMIC TILE IS APPLIED TO A MORTAR BED WITH ADHESIVE, THE BED SHALL BE A MINIMUM OF 12.5MM THICK & REINFORCED WITH GALVANIZED DIAMOND MESH LATH, APPLIED OVER POLYETHYLENE ON SUBFLOORING AN JOISTS AT NO MORE THAN 400MM O.C. WITH AT LEAST 2 ROWS CROSS BRIDGING

ACCESS TO ATTICS AND CRAWL SPACES

- 1. ACCESS HATCH MINIMUM 545MMX 588MM TO BE PROVIDED TO EVERY ROOF SPACE WHICH IS 10M OR MORE IN AREA AND MORE THAN 600MM IN HEIGHT.ACCESS HATCH MINIMUM 500MMX 700MM TO BE PROVIDED TO EVERY CRAWL SPACE.

GARAGE GAS-PROOFLNG

- 1. THE WALLS AND CEILING OF AN ATTACHED GARAGE SHALL BE CONSTRUCTED AND SEALED SO AS TO PROVIDE AN EFFECTIVE BARRIER TO EXHAUST FUMES.
- 2. ALL PLUMBING AND OTHER PENETRATIONS THROUGH THE WALLS AND CEILING SHALL BE CAULKED.
- 3. DOORS BETWEEN THE DWELLING AND ATTACHED GARAGE MAY NOT OPEN INTO A BEDROOM AND SHALL BE WEATHER-STRIPPED AND HAVE A SELF-CLOSER.

ALARMS AND DETECTORS

- 1. AT LEAST ONE SMOKE ALARM SHALL BE INSTALLED ON OR NEAR THE CEILING ON EACH FLOOR AND BASEMENT LEVEL 900MM OR MORE ABOVE AN ADJACENT LEVEL
 - 2. SMOKE ALARMS SHALL BE INTERCONNECTED AND LOCATED SUCH THAT ONE IS WITHIN 5M OF EVERY BEDROOM DOOR AND NO MORE THAN 15M TRAVEL DISTANCE FROM ANY POINT ON A FLOOR.
 - 3. A CARBON MONOXIDE DETECTOR SHALL BE INSTALLED ADJACENT TO EVERY SLEEPING AREA FOR DWELLINGS WITH FUEL BURNING FIREPLACE OR STOVE, OR AN ATTACHED GARAGE.
- STAIRS
- 1. MAXIMUM RISE : 200MM
MINIMUM RUN: 210MM
MINIMUM TREAD: 235MM
MINIMUM HEAD ROOM: 1950MM
MINIMUM WIDTH: 860MM
 - 2. CURVED STAIRS SHALL HAVE A MIN. RUN OF 150MM AT ANY POINT AND A MINIMUM AVERAGE RUN OF 200MM
 - 3. WINDERS WHICH CONVERGE TO A POINT IN STAIRS MUST TURN THROUGH AN ANGLE OF NO MORE THAN 90° WITH NO LESS THAN 30° OR MORE THAN 45° PER TREAD. SETS OF WINDERS MUST BE SEPARATED BY 1200MM ALONG THE RUN OF THE STAIR.
 - 4. A LANDING IS REQUIRED AT THE TOP OF ANY STAIR LEADING TO THE PRINCIPAL ENTRANCE TO O DWELLING AND OTHER EXTERIOR ENTRANCES WITH MORE THAN 3 RISERS.
 - 5. EXTERIOR CONCRETE STAIRS WITH MORE THAN 2 RISERS REQUIRE FOUNDATIONS.



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No.	Revision/Issue	Date

LASONNE

3131 MERRIT AVENUE
SINGLE FAMILY DWELLING
Mississauga, Ontario

TITLE:
GENERAL NOTES II

Drawing No. S14	
Project No. 1880	
Date SEPT '18	
Scale	
Drawn by: DF	Checked by: DF

City of Mississauga
Memorandum



Date: 2019/04/08
To: Chair and Members of Heritage Advisory Committee
From: Megan Piercey, Legislative Coordinator
Meeting Date: 2019/05/07
Subject: 2019 Ontario Heritage Conference – May 30 to June 1, 2019

This year, the 2019 Ontario Heritage Conference is being held in Goderich, Ontario from May 30 to June 1, 2019. Conference details can be found here:

<http://www.ontarioheritageconference.ca/>

Approval will be required for a maximum of two Citizen Members of the Heritage Advisory Committee to attend in order to cover approximately \$300 for registration fees, approximately \$500 for travel costs, approximately \$600 for accommodation, and \$225 per diem costs (\$75 per day), for an approximate total of \$1,625.00 per person.

The expenditure will subsequently require approval by General Committee and adoption by Council.

Attachments

Appendix 1: Conference Announcement

Prepared by: Megan Piercey, Legislative Coordinator

2019 Ontario Heritage Conference

May 30-June 1, 2019 ~ Bluewater/Goderich, ON

7.5-2



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2019 Ontario Heritage Conference

May 30 - June 1, 2019

Municipalities of Bluewater & Goderich

The 2019 Heritage Ontario Conference will be held in beautiful Bluewater and Goderich Ontario from May 30 – June 1. The conference theme is heritage economics and features an exciting program focused on how the agricultural, marine, industrial and tourist economies in Bluewater and Goderich have shaped the built and natural heritage of these communities and, more recently, the interplay between heritage and tourism. Along with sessions led by interesting speakers, delegates will be treated to coach trips to visit heritage sites (and sample local culinary treats) through the delightful agricultural and lakeside villages of Bluewater. Featured presenters include Kelly Hill of Hill Strategies Research re: the impact of heritage on local economies; Professor Robert Shipley re: what's happening in heritage conservation districts; a distinguished panel to discuss what happens when disaster strikes — the aftermath of the Goderich tornado; and Historica, the producers of Heritage Minutes.

The conference location will appeal not only to delegates but their friends and family members. The village of Bayfield in Bluewater and the town of Goderich are situated on the shore of Lake Huron, famous for its beautiful sunsets, sandy beaches and gorgeous lake views. Along with their natural beauty, the communities of Huron County are known for excellent cuisine, craft breweries and start-up wineries, arts and cultural events (including the Blyth festival), the largest underground salt mine in the world, farmers' markets, varied shopping districts and important heritage locations, such as the Bayfield Heritage Conservation District and the Heritage Conservation Districts in Goderich, including The Livery where we'll have lunch on Friday, and the Huron Historic Gaol in Goderich - a National Historic Site.

The Local Organizing Committee of the 2019 conference hope you will join us for an engaging, thought-provoking and entertaining few days. We look forward to being your hosts and welcome you to enjoy the special beauty of Ontario's West Coast

City of Mississauga
Memorandum



Date: 2019/03/19
To: Chair and Members of Heritage Advisory Committee
From: Paul Damaso, Director, Culture Division
Meeting Date: 2019/05/07
Subject: Heritage Designation Working Group

Staff are proposing that the Heritage Advisory Committee Subcommittees save for the Heritage Conservation District Subcommittees, become working groups in order to operate more functionally and effectively and to remove any unnecessary items from the regular meetings and agendas.

The terms of reference for a Heritage Designation Working Group are attached. The goal of this working group is to better streamline the designation process and decisions made by the City of Mississauga by allowing increased efficiency and flexibility between City staff and the working group.

All other subcommittees of the Heritage Advisory Committee will not have members appointed until such time as the subcommittees are required.

Attachments

Appendix 1: Heritage Designation Working Group Terms of Reference 2019 - Draft

Prepared by: Paul Damaso, Director, Culture Division

Terms of Reference for Heritage Designation Working Group

Mandate

The Mississauga Heritage Designation Working Group is a working group comprised of Heritage Advisory Committee Members, established to provide input and advice on potential Heritage Designations to Heritage Planning staff at the City of Mississauga.

Objectives/Goals

To assist the Heritage Planning, Culture Division staff at the City of Mississauga in regards to property research, documentation and evaluation pertaining to establishing merit for properties in regards to potential additions to the Heritage Register, including Listings and Designations as outlined in the criteria for Designation under the terms of the *Ontario Heritage Act*.

Work Plan

The Heritage Designation Working Group will assist Heritage staff upon request with research and input to Heritage staff relating to neighbourhood and cultural landscape areas that contain significant heritage characteristics worthy of further study and documentation.

Definitions

Not applicable

Procedures and Frequency of Meetings

The Heritage Designation Working Group will assist Heritage staff when they ask for feedback and advice on heritage designations via email. Input from the working group will be incorporated in a staff report to Heritage Advisory Committee, as required.

Membership

All members are subject to the Code of Conduct and Complaint Protocol for Local Boards.

http://www7.mississauga.ca/documents/CityHall/pdf/2014/Local_Boards_Code_of_Conduct.pdf and Corporate Policy 02-01-01: Citizen Appointments to Committees, Boards and Authorities.

<http://inside.mississauga.ca/Policies/Documents/02-01-01.pdf>

The membership on the Mississauga Heritage Designation Working Group shall consist of a minimum of three (3) citizen members derived from appointed Heritage Advisory Committee citizen members.

The Term of Office for Citizen Members on the Mississauga Heritage Designation Working Group shall run concurrent with the term of Council, or until successors are appointed.

City of Mississauga
Memorandum



Date: 2019/04/10
To: Chair and Members of Heritage Advisory Committee
From: Paul Damaso, Director, Culture
Meeting Date: 2019/05/07
Subject: 3650 Dixie Road (Ward 3)

This memorandum is presented for HAC's information.

The subject property is listed on the City's Heritage Register and adjacent to Burnhamthorpe Cemetery, which is designated under the Ontario Heritage Act. To accommodate the future installation of a memorial sculpture planned for the site, near the subject property, the City will be relocating six pieces of armourstone currently located at the main entrance (northeast side) to the opposite side, closer to the Library building. The relocation is planned for the summer of 2019. More information pertaining to the relocation can be found in Appendix I.

The installation of the sculpture and accompanying landscaping elements are physically and historically linked to the area, provide an important public space and amenity, and contribute to defining and maintaining the character of the site. The memorial installation is planned for fall 2019. More information pertaining to the memorial can be found in Appendix II.

Attachments

Appendix 1: Armourstones Relocation Map
Appendix 2: Council Report VBPMA Donation

Paul Damaso, Director, Culture



City of Mississauga
Corporate Report



Date: 2017/11/27

To: Chair and Members of Council

From: Paul Mitcham, P. Eng, MBA, Commissioner of
 Community Services

Originator's files:

Meeting date:
 2017/12/13

Subject

Vietnamese Boat People Memorial Association (VBPMA) Donation to the City of Mississauga

Recommendation

That the Commissioner of Community Services, or designate, be authorized on behalf of the Corporation of the City of Mississauga to execute an Agreement, including any necessary documents ancillary thereto in a form satisfactory to Legal Services, with the Vietnamese Boat People Memorial Association to complete the development of a memorial sculpture and donation of the sculpture in compliance with policy 05-02-07, City Acquired Art, as outlined in the Corporate Report entitled "Vietnamese Boat People Memorial Association (VBPMA) Donation to the City of Mississauga", dated November 27, 2017 from the Commissioner of Community Services.

Report Highlights

- The Vietnamese Boat People Memorial Association (VBPMA) wish to develop and donate a memorial sculpture to the City of Mississauga. The sculpture will honour the Vietnamese refugees who arrived in Canada during the late 1970s and 1980s and the many who lost their lives in the quest for freedom.
- After preliminary meetings with the City, the VBPMA splintered into two groups. In order to ensure a fair and transparent process based on assessment of the most viable donor for the City, Culture staff met separately with the VBPMA and the VNBPM (formally part of VBPMA), to present the City's Memorial Donation Criteria. The groups were advised that the organization that best met the City's criteria would be recommended to Council as the viable donor.
- On November 14, 2017 the VBPMA submitted a package to Culture staff with their plan for the memorial donation.

Council	2017/11/27	2
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- The VBPMA package aligns with the City's Memorial Donation Criteria, and with Corporate Policy 05-02-07, City Acquired Art.
- The cost of the project will be fully funded by the VBPMA. As per Policy 05-02-27, City Acquired Art, the donor (VBPMA) will provide the City with funding equivalent to 10% of the artwork's gross capital costs. These funds are held in the City's Public Art Reserve Fund for funding future maintenance and conservation of the artwork.
- Culture staff is requesting authority for the Commissioner of Community Services to enter into an Agreement with the VBPMA to complete the development of a memorial sculpture and donation to the Corporation of the City of Mississauga in compliance with policy 05-02-17, City Acquired Art.

Background

Corporate Policy 05-02-07, City Acquired Art, outlines provisions and criteria for the donation of art and memorials to the Corporation of the City of Mississauga (Appendix 1). There is currently a moratorium on accepting donations (Appendix 2). However, in the fall of 2015 (prior to the moratorium) Councillor Starr (Ward 6), and subsequently Culture division staff, were approached by representatives from the Vietnamese Boat People Memorial Association (VBPMA) to donate (to the City) a memorial that honours the Vietnamese refugees who arrived in Canada during the late 1970s and 1980s and the many that lost their lives in the quest for freedom.

At that time, the group was advised of the City's policy for considering memorial donations. Staff from Culture, Parks and Forestry and the Library also undertook preliminary consideration of a potential site that would have contextual relevance for a donation of this nature. A potential site for the memorial was identified on the Burnhamthorpe Library Grounds (at Dixie Road and Burnhamthorpe Road East). The area is home to the Dixie Neighbourhood Centre, which played a key role in the welcoming and settling of Vietnamese Refugees to Mississauga during the 70's and 80's.

Following preliminary meetings, the VBPMA were advised to contact City staff when they felt they were in a position to meet the City's policy criteria. Subsequent to those meetings, some members of the original VBPMA splintered from the group to create a second group known as Vietnamese Boat People Memorial (VNBPM). In order to ensure a fair and transparent process based on assessment of the most viable donor for the City, Culture staff identified 5 criteria as a condition for moving forward with one of the groups: a) demonstrated proof of 30% of the budget on hand; b) a 2-year fundraising plan; c) a project plan; d) evidence of community support; and e) evidence of a stable and recognized organization and structure.

Culture Staff met separately with the VBPMA group on October 19, 2017 and the VNBPM group on October 20, 2017 to present the donation criteria. The groups were advised that the organization who best met the City's criteria would be recommended to council as the viable donor.

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Present Status

On November 14, 2017, the Vietnamese Boat People Memorial Association (VBPMA) submitted a package to Culture staff that successfully addressed the City's criteria for recommendation of the memorial donation. In contrast, the splinter group (VNBPM) have not demonstrated an ability to meet the City's criteria. Culture staff met with Councillor's Starr (Ward 6) and Fonseca (Ward 3) on November 20, 2017, and they are supportive of Culture's recommendation to proceed with the VBPMA's donation proposal.

Comments

The VBPMA proposal meets the City's defined criteria for the donation of memorial art:

Alignment to Policy 05-02-07:

Background and historical/cultural significance of the individual/event to be honoured:

After many years of successful integration and living peacefully in Canada, Vietnamese Canadians in the GTA and Kitchener-Waterloo-Guelph-Cambridge have come together and wish to build a Vietnamese Boat People Memorial. The sculpture is intended as a donation to the City of Mississauga in appreciation of its welcoming of refugees during the late 1970s and 1980s.

Rationale for honouring the individual/event: A memorial to honour their past, as well as their present ties with the City of Mississauga would be an important contribution to the rich culture of the City and more broadly, to the diverse nature of Canadian Heritage.

Evidence that the proposal meets the criteria outlined in this policy: Culture staff have evaluated the VBPMA's proposal and confirmed that it meets the criteria outlined in Policy 05-02-07.

Commitment of funds: To date, the VPMA has raised 37.44% of the total project funds and is committed to raise the remaining funds by December 31, 2018.

Maintenance plan: The VBPMA will submit a maintenance plan to the City and will provide the City with funding equivalent to 10% of the artwork's gross capital costs for the purpose of future maintenance and conservation of the artwork.

The values of the community should be represented; each memorial must be compatible with the diverse spectrum of perspectives, cultural heritage, traditions and moral values of the City's residents: The VBPMA's proposed memorial design was selected through a public process and the group has demonstrated strong evidence of public support. The artwork will not cause deep or widespread offence or pose any safety hazard to the public.

Timeless aspect of the memorial, recognizing future generations: The Vietnamese Community is an important and growing community in Mississauga. The memorial will remind

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future Vietnamese Canadian generations of their origin and their ancestors' hardships during their quest for freedom.

The designer must be a qualified professional in the field: The VBPMA package includes the artist's biography, exhibition list, honours and awards.

Alignment to Proposal Criteria

- **Demonstrated proof of 30% of the budget on hand:** As of November 4, 2017, the VBPMA has raised \$126,448.04 of \$337,700.00 (37.44% of the total budget cost).
- **2-year fundraising plan:** The VBPMA's plan for 2018-2018 includes three fundraising dinners. They plan to raise funds through tiered plaque sponsorships for the sculpture's base.
- **Project plan:** The VBPMA package includes a site plan, installation location, and sculpture specifications including base, materials, and dimensions.
- **Evidence of community support:** The VBPMA's package includes 15 letters of support from the Vietnamese community (businesses, associations, non-for profits and charitable organizations from across the GTA).
- **Evidence of a stable and recognized organization and structure:** VBPMA was incorporated as a non-for-profit organization on June 9, 2017. There are eight members on the board of Directors.

Financial Impact

There will be no financial impact to the City. The cost of the project will be fully funded by the VBPMA. Policy 05-02-27, City Acquired Art, requires that the art donor (VBPMA) also provide the City with funding equivalent to 10% of the artwork's gross capital costs. These funds are held in the City's Public Art Reserve Fund for the purpose of funding future maintenance and conservation of the artwork.

Conclusion

The Vietnamese Boat People Memorial Association has presented a successful proposal to the City outlining their desire to build and donate a memorial that would be installed on the Burnhamthorpe Library grounds. The sculpture honours the many Vietnamese refugees who arrived in Canada, and Mississauga, during the late 1970s and 1980s and the many that lost their lives in the quest for freedom.

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Culture staff recommends that the City enter into an agreement with the VBPMA for them to complete the development and donation of a memorial sculpture in compliance with the City's memorial donation criteria as outlined in policy 05-02-27, City Acquired Art.

Attachments

Appendix 1: City Acquired Art Policy #05-02-07

Appendix 2: Moratorium on the acceptance of Donations

Appendix 3: Image of VBPMA Memorial Art Donation

Appendix 4: Proposed Location for Donation of the VBPMA Donation



Paul Mitcham, P. Eng, MBA, Commissioner of Community Services

Prepared by: Chloe Catan, Acting Public Art Coordinator

City of Mississauga Memorandum



Date: 2019/03/15
To: Chair and Members of Heritage Advisory Committee
From: Paul Damaso, Director, Culture Division
Meeting Date: 2019/05/07
Subject: New Rear Addition to a Listed Property: 943 Whittier Cres.

This memorandum and its attachment are presented for HAC's information.

The property 943 Whittier Crescent is listed on the City's Heritage Register as it forms part of Lorne Park Estates Cultural Heritage Landscape. Section 7.4.1.12 of the Mississauga Official Plan states that: "The proponent of any construction, development, or property alteration that might adversely affect a listed or designated cultural heritage resource or which proposed adjacent to a cultural heritage resource will be required to submit a Heritage Impact Assessment, prepared to the satisfaction of the City and other appropriate authorities having jurisdiction." The report, focusing on the minimal impacts to the landscape is attached for your reference.

Attachments

Appendix 1: Heritage Impact Assessment

A handwritten signature in black ink, appearing to read 'Paul Damaso', written in a cursive style.

Prepared by: Paul Damaso, Director, Culture Division

943 Whittier Crescent

Heritage Impact Assessment

March 2019, Revised



Table of Contents

1. Introduction
2. Location
3. Property History
4. Development Proposal
5. Evaluation According to Ontario Regulation 09/06
6. Assessment of Impact of Development or Site Alteration
7. Mitigation Measures
8. Conclusions and Recommendations
9. References

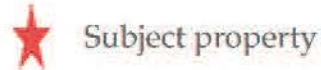
Introduction

This Heritage Impact Assessment (HIA) has been prepared by W.E. Oughtred & Associates Inc. as a requirement for obtaining a heritage permit for a proposed addition to the existing dwelling. An HIA is required as this property is located within the Cultural Heritage Landscape area of Lorne Park Estates. “This unique shoreline community combines a low density residential development with the protection and management of an amazing forested community representative in many ways of the pre-settlement shoreline of Lake Ontario. Mature specimens of white pine, red oak, etc. give this residential area a unique visual quality. This cultural landscape is recognized for its wonderful balance between residential development and the protection of a mature forest community. This neighbourhood is unique as it is a privately owned community initiated as a resort area in the late nineteenth century. The area has a history of over 100 years as a private community with a focus on the common lands and retention of the character of the community.”¹

This report was prepared in accordance with the City of Mississauga’s Terms of Reference for Heritage Impact Assessments (2017). Two site visits were undertaken by W.E. Oughtred & Associates on October 30th and December 12th, 2018 to assess and document the property and its relationship to the neighbourhood.

¹ City of Mississauga

Location



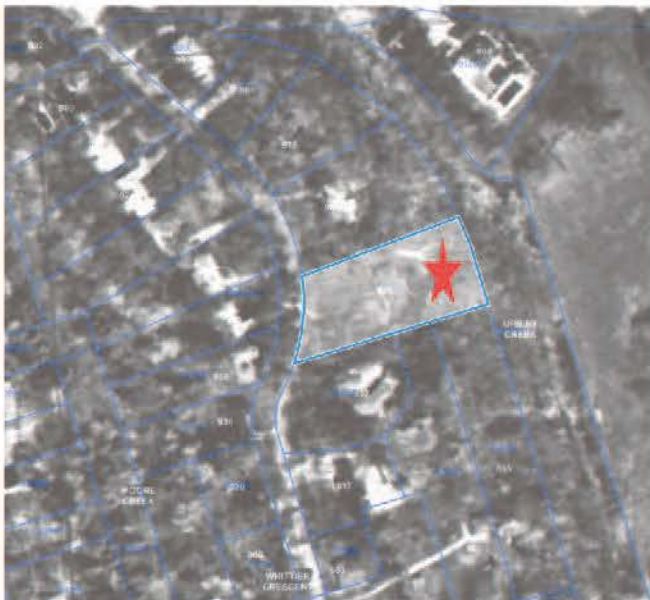
Subject property

Municipal Address: 943 Whittier Crescent
 Legal Description: Pt Lot 6 and 7, Plan A23
 Lot Area: 4334.6 m²
 Zoning Designation: R2-5, Residential

943 Whittier Crescent is located within Lorne Park Estates. It is located on the east side of Whittier Crescent backing onto Orient Creek.

Lorne Park Estates is defined by Lakeshore Road East to the north, Jack Darling Park to the west, Lake Ontario to the South and Richard's Memorial park on the east.

The original home was built between 1954 and 1963. Aerial photography from 1954 does not show a dwelling on the property, however the image in 1963 does.



1954 photo (above), 1966 photo (left)
 City of Mississauga mapping

Property History

943 Whittier Crescent contains a single family detached dwelling on a well treed lot. The original home was constructed sometime after 1954. (see aerial photos). In 2004, the property was purchased by the current owners who extensively renovated and remodelled the home. Permits issued for the property are shown in the table (right). The existing home has a stone and stucco exterior.

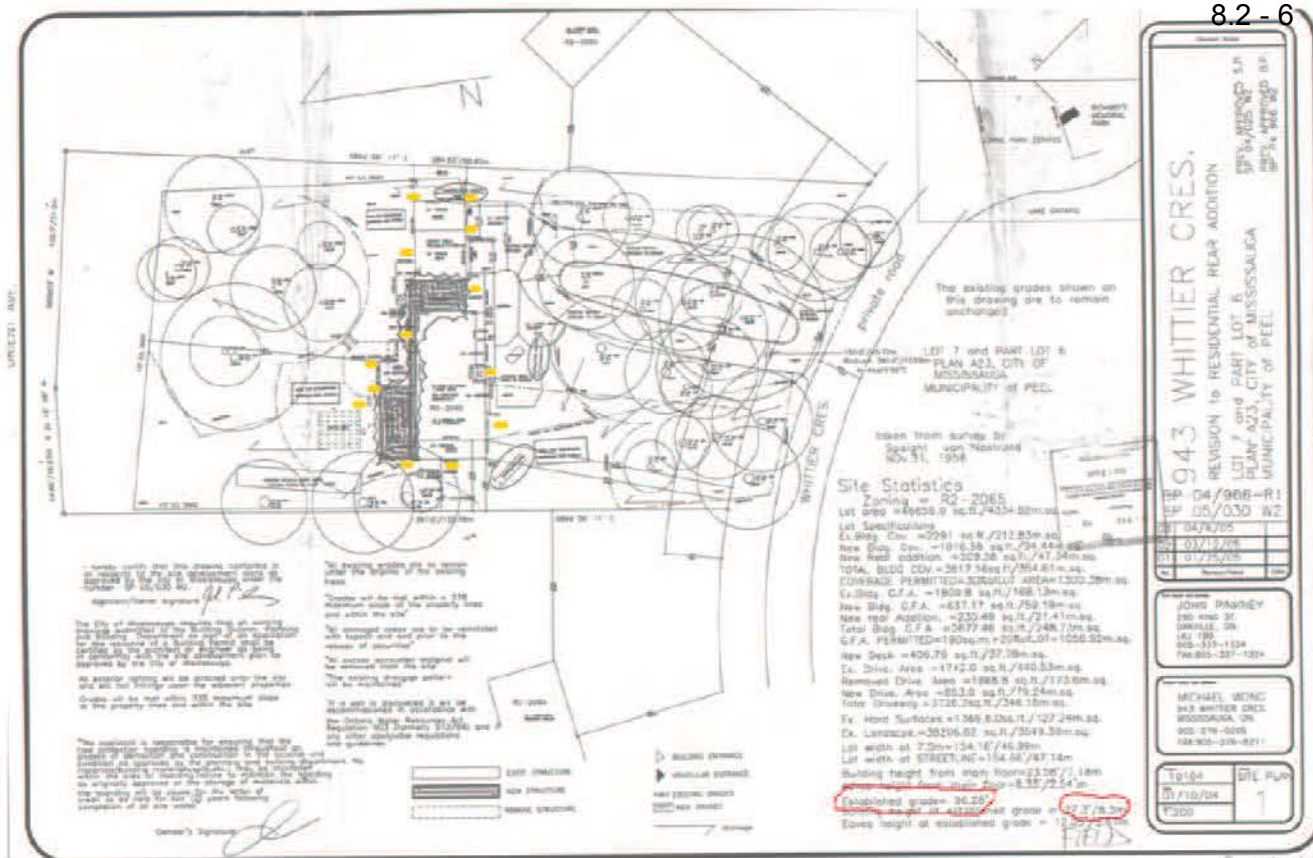
Building permits in 2005 maintained and expanded portions of the existing dwelling. The exterior elevations were substantially altered to update the home from a 1960's bungalow to the traditional style of today. The original home, prior to the 2005 renovations is shown in the photos below.

Building Permits

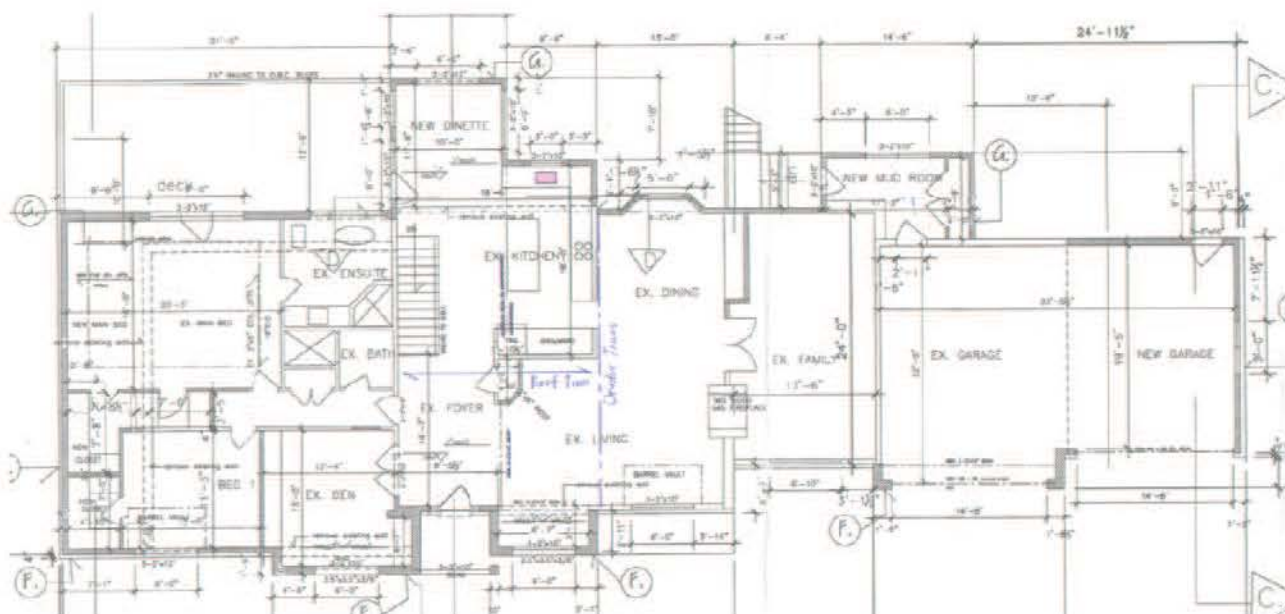
6 Permit(s) found Page: 1 of 1

App Number	Address	Scope	Issue Date
App Date	Description	Type Description	Status
BP HVAC 4 1895 HEA 2005-06-07	943 WHITTIER CRES HVAC REVISION	REVISIONS DETACHED DWELLING	2005-06-07 COMPLETED -ALL INSP SIGNED OFF
DRAIN 5 5808 PSS 2005-04-20	943 WHITTIER CRES PRIVATE SEWAGE SYSTEM	CLASS 4 PRIVATE SEWAGE SYSTEM DETACHED DWELLING	2005-04-22 COMPLETED -ALL INSP SIGNED OFF
BP BALT 4 1895 R21 2005-01-24	943 WHITTIER CRES REVISIONS - INT ALTS/INCREASE AREA IN REAR, BSMT & DECK	REVISIONS DETACHED DWELLING	2005-04-21 COMPLETED -ALL INSP SIGNED OFF
BP BALT 4 1895 2004-03-18	943 WHITTIER CRES ADDITION AND ALTERATION	ADDITION AND ALTERATION DETACHED DWELLING	2004-09-09 COMPLETED -ALL INSP SIGNED OFF
HCC 83 132058 1963-03-10	943 WHITTIER CRES PLUMBING ONLY, CODE 2953, PER48319-MAR 7/0/63		HISTORY COMMENT PERMIT
HCC 83 132057 1963-03-08	943 WHITTIER CRES ADDITION CODE 2676A, 49428-MAR 21/63		HISTORY COMMENT PERMIT





The 2005 site plan for the home is shown above. Below is the proposed first floor plan detailing those renovations. The foundation was expanded to increase the footprint on the north and east side of the dwelling. Further, the existing garage was enlarged for a third car. These drawings were provided by the homeowner.



943 Whittier Crescent is part of the greater area known as Lorne Park Estates.

A summary of Title Chain from the Crown to the current owner is provided below. This was prepared by Stephen Nott Conveyancing Services Inc.

Date	GRANTOR	GRANTEE
1833	Crown	Arthur Jones
1834	Arthur Jones	Frederick Capreol
1852	K. McKay Sutherland	Alexander H. Grant
1860	Alexander H. Grant	Ross W. Wood
1868	Ross W. Wood	John D. Wood
1874	James Leslie et al	Joseph Orr
1876	Joseph Orr	Ruth Blakely
1877	Ruth Blakely	Mary Henderson
1877	Mary Henderson	North British Co.
1878	North British Co.	Louisa A. Bryce
1883	Louisa A. Bryce	Jane M. Frankish
1883	Jane M. Frankish	Wm. Baillie
1885	Wm. Baillie	Mary S.F. Carswell
1886	Mary S.F. Carswell	Augusta R. H. Bredin
1888	Augusta R. H. Bredin	Edith H. Tout
1889	Edith H. Tout	Toronto & Lorne Park S.R. Co.
1889	PLAN C89	
1891	Toronto & Lorne Park S.R. Co.	Frederick Roper
1891	Frederick Roper	Lorne Park Company Limited
1909	Lorne Park Company Limited	William H. Travers & Frank McPhillips
1909	William H. Travers & Frank McPhillips	The Lakeshore Country Club Limited
1911	John Earle et al	Sydney Small
1919	Sydney Small	Lorne Park Estates
1923	PLAN A23 1923	
1948	Lorne Park Estates	Stanley S. Mills Vincent W. Price

Date	GRANTOR	GRANTEE
1950	Stanley S. Mills Vincent W. Price	John T. Murray
1951	John Murray	Ross A. Billinghamurst
1955	Ross A. Billinghamurst	Arvo Vooglaid & Julius Karin
1956	Arvo Vooglaid & Julius Karin	St. Lawrence Cement Co.
1977	St. Lawrence Cement Co.	James D. Tweedy & Barbara M. Tweedy
1980	James D. Tweedy & Barbara M. Tweedy	Visco V. Jutronich & Jill Jutronich
1981	Visco V. Jutronich & Jill Jutronich	Brian E. St. John
1982	Brian E. St. John	Susan D. St. John
1983	Susan D. St. John	Brian E. St. John
1985	Brian E. St. John	James D. McNeill
1994	James D. McNeill	Tahir Domi & Leanne Domi
1997	Tahir Domi & Leanne Domi	Janice Marie Elenbaas
2003	Janice Marie Elenbaas	Current Owners

“Lorne Park originated as a 30-hectare resort area in 1879 based in the Lorne Park Estates area, at the foot of Lorn Park Road and named after the already-named community that had developed along the north side of Lakeshore Road. In 1877, J.W. Orr built a hotel and wharf for steamers, hoping to attract the summer tourists and it became a popular summer vacation spot for people from Toronto and Hamilton, the area being considered “Cottage Country”. The Toronto-Lorne Park Summer Resort Company developed and sold cottage lots in 1886 and developed the famed Hotel Louise. By the 1930’s the resort atmosphere had changed to residential. All of the homes in Lorne Park, except one, are now year-round dwellings. Lorne Park Estates still radiates the charm of narrow, tree-lined lanes and large lots. This unique area remains a private community.” Heritage Mississauga

The home at 943 Whittier Crescent was not built during the days of the Lorne Park Summer Resort, but rather when the area was further developed as a residential community. Although the property has had a extensive history of ownership, there is no historical or cultural link to any significance in Mississauga.

Of note however, is that Tahir (also known as Tie) Domi, owned the property from 1994-1997, during which time he played for the Toronto Maple Leafs.

The home at present is shown below. The existing home is not known to represent significance related to a theme (built after the dissolution of the Lorne Park Summer Resort), event, belief, person (see Title abstract) , activity or institution in the community. It does not have any characteristics that contribute to an enhanced understanding of the community or location culture. Further, it is not known to represent the work of any architect, builder, designer or theorist in the community. There is no link to its physical, functional, visual or historic surroundings. There are no remnants of the original home remaining.



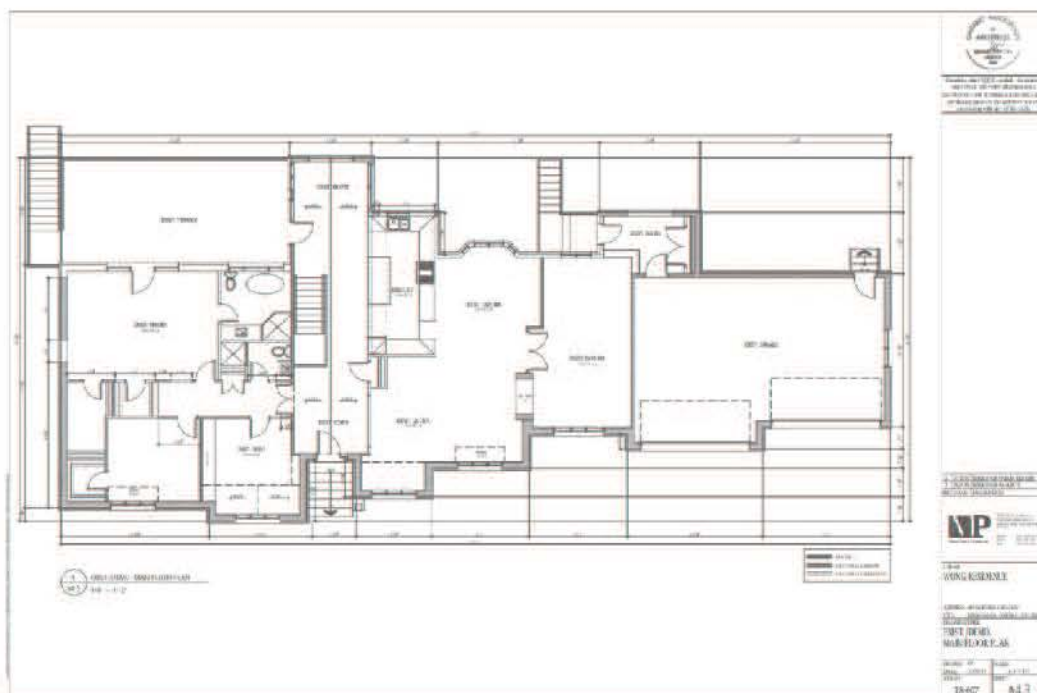
Existing front elevation (above).

The proposed additions to the home will conserve the criteria that render Lorne Park a cultural heritage landscape, those being Landscape Environment, Built Environment and Significant Ecological Interest. The proposed additions to the home are at the rear of the dwelling and a second storey over the north side of the dwelling. As such the existing landscape environment will not be altered and nor will the built environment. The existing front yard setbacks are to be maintained. Therefore, the second storey addition will complement the adjacent dwellings and landscape.

Rear elevation of the existing home (below)



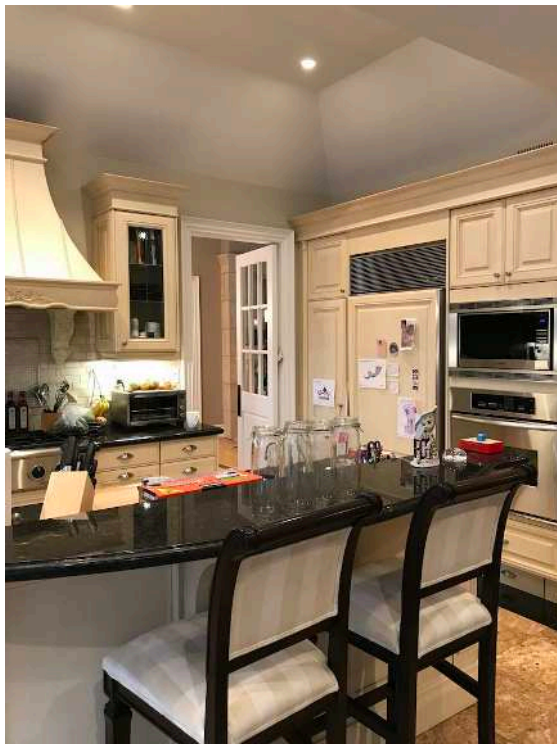
The existing floor plan is shown below.



The interior of the home is detailed in the included photos.

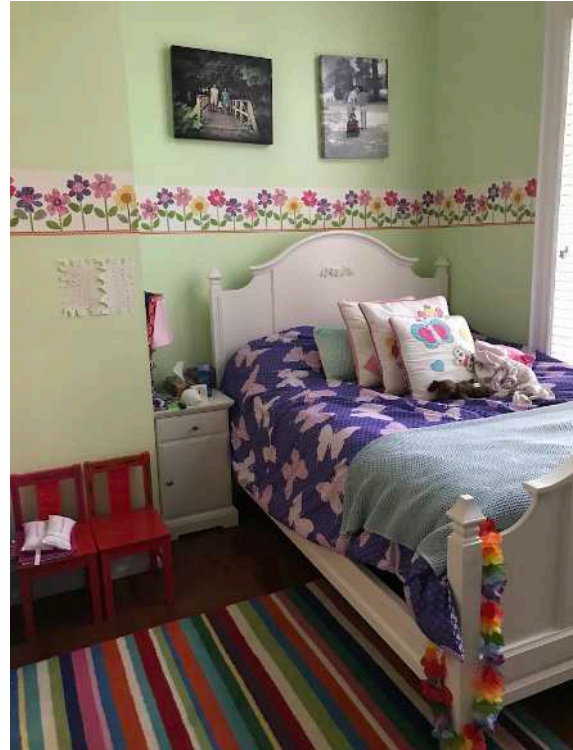


Front foyer looking through to the existing breakfast area.(above)

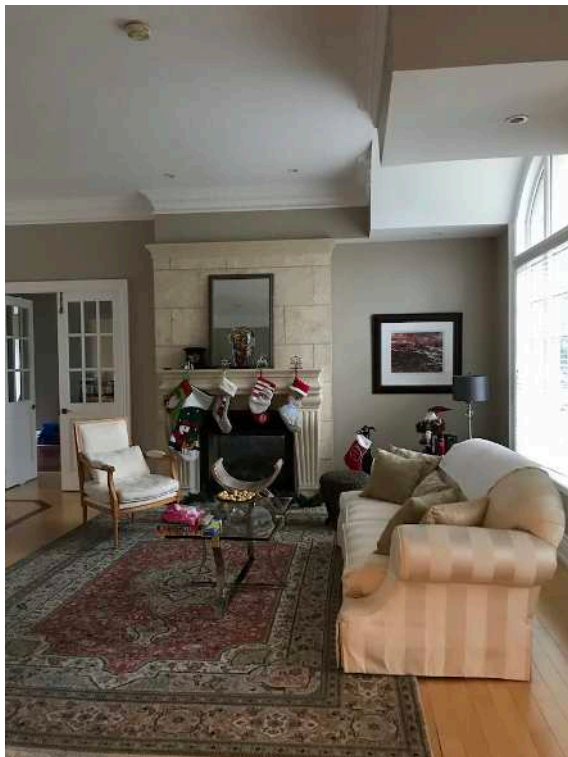


Existing Kitchen

Existing bedrooms



Existing living and dining room



Existing basement



Exterior photos



Front elevation (left)

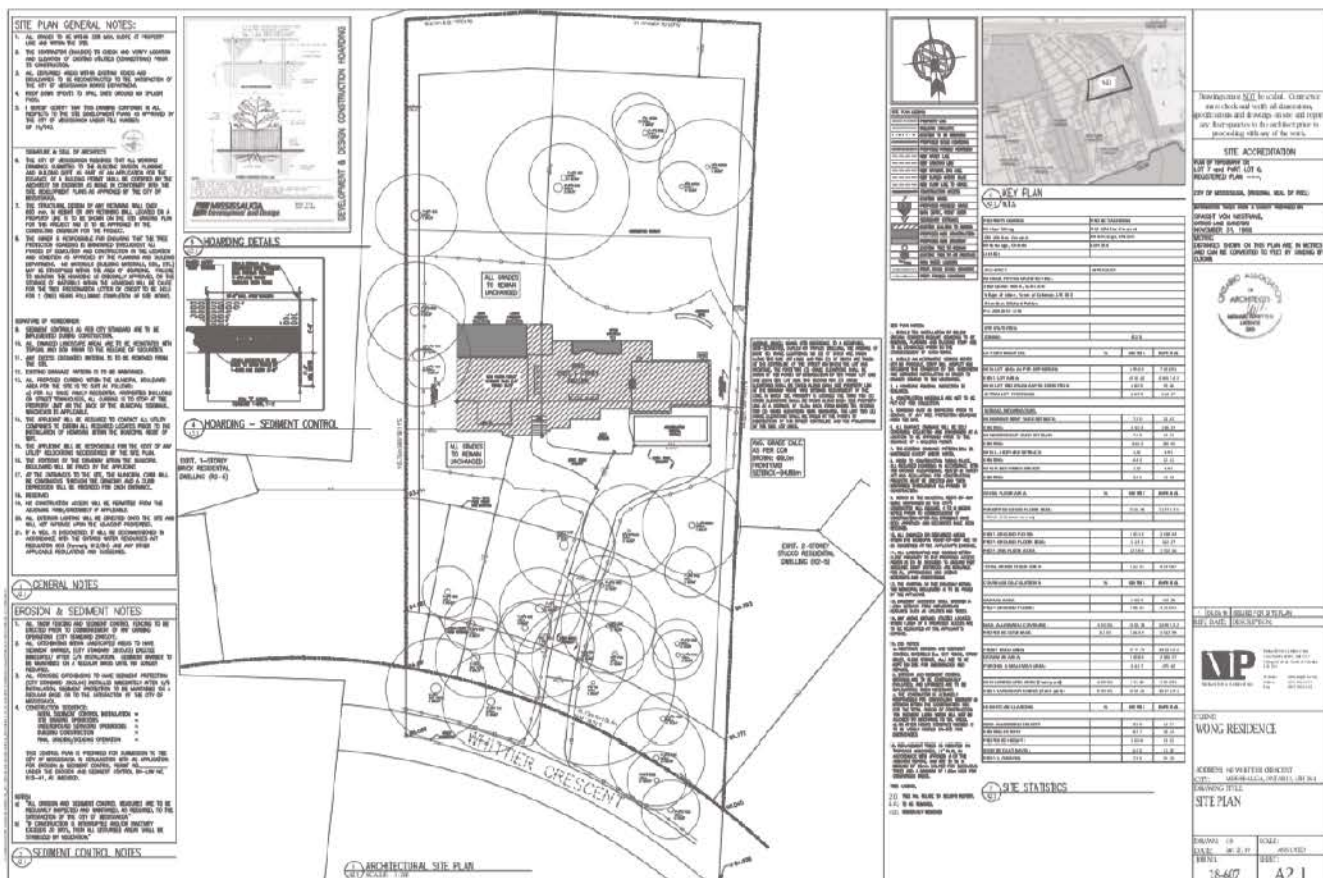
Rear elevation (below)

North side elevation (bottom left)



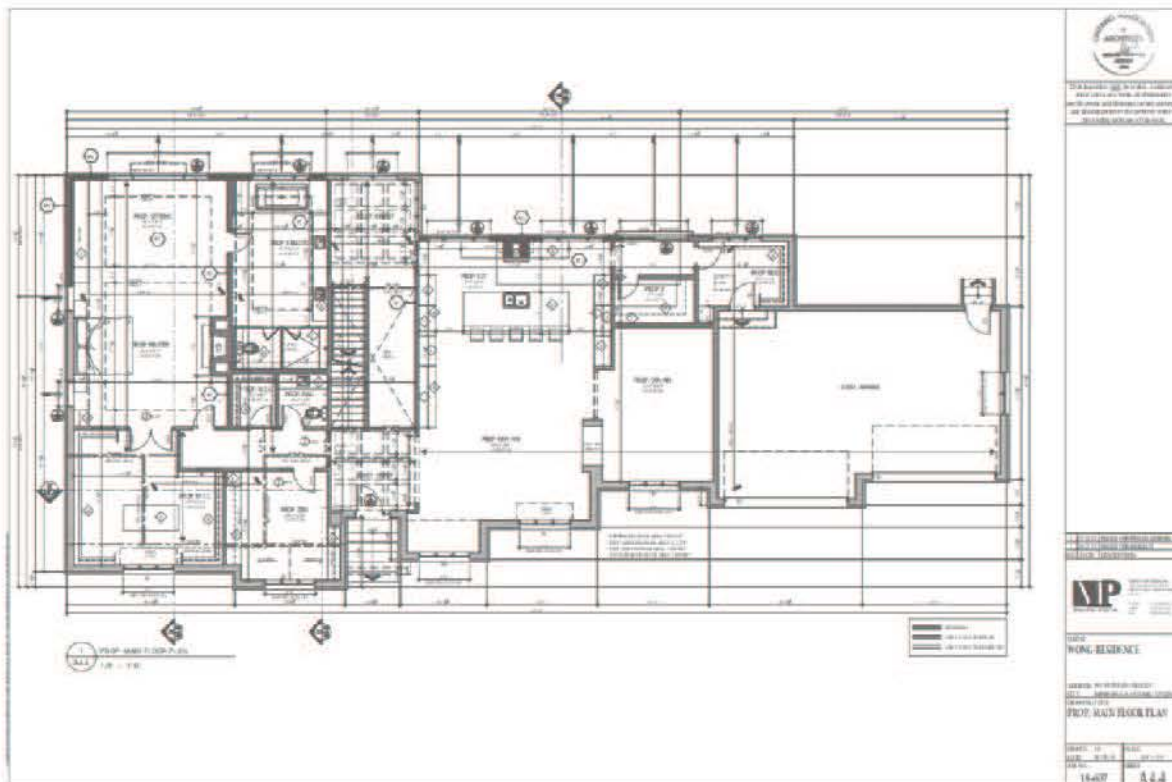
Development Proposal

Proposed Site Plan

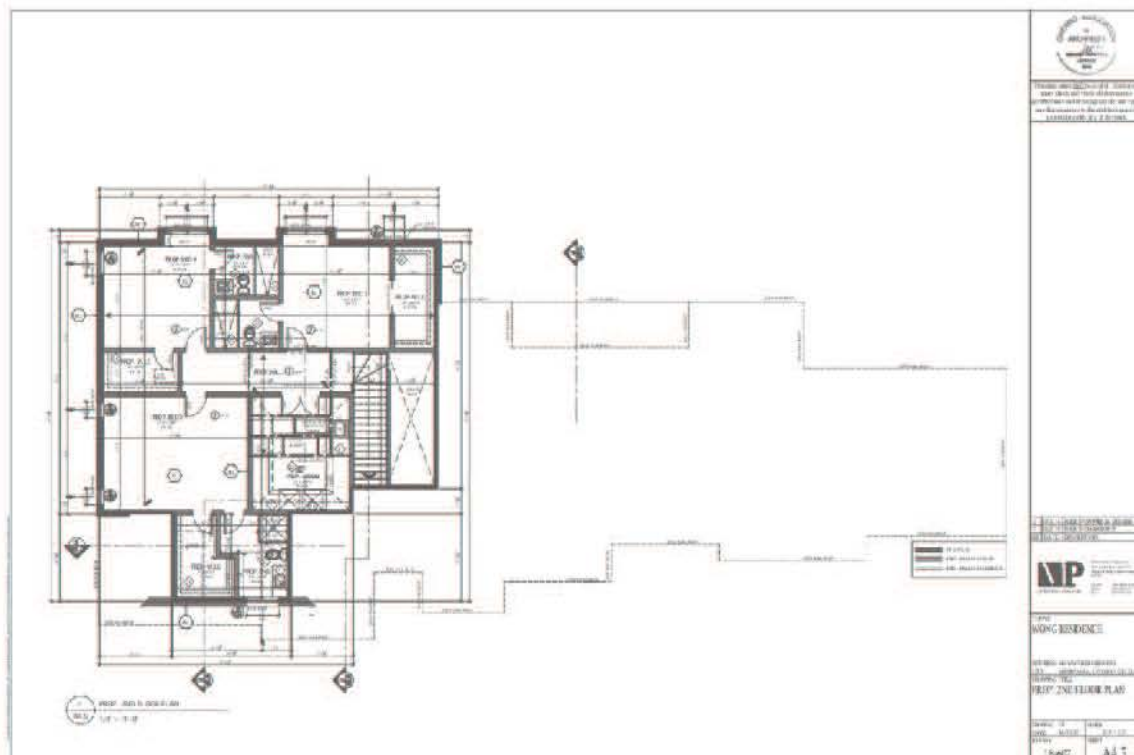


A second storey addition and two rear additions are proposed. The interior of the home is being redesigned to accommodate life with children. The second floor addition will provide for more bedrooms.

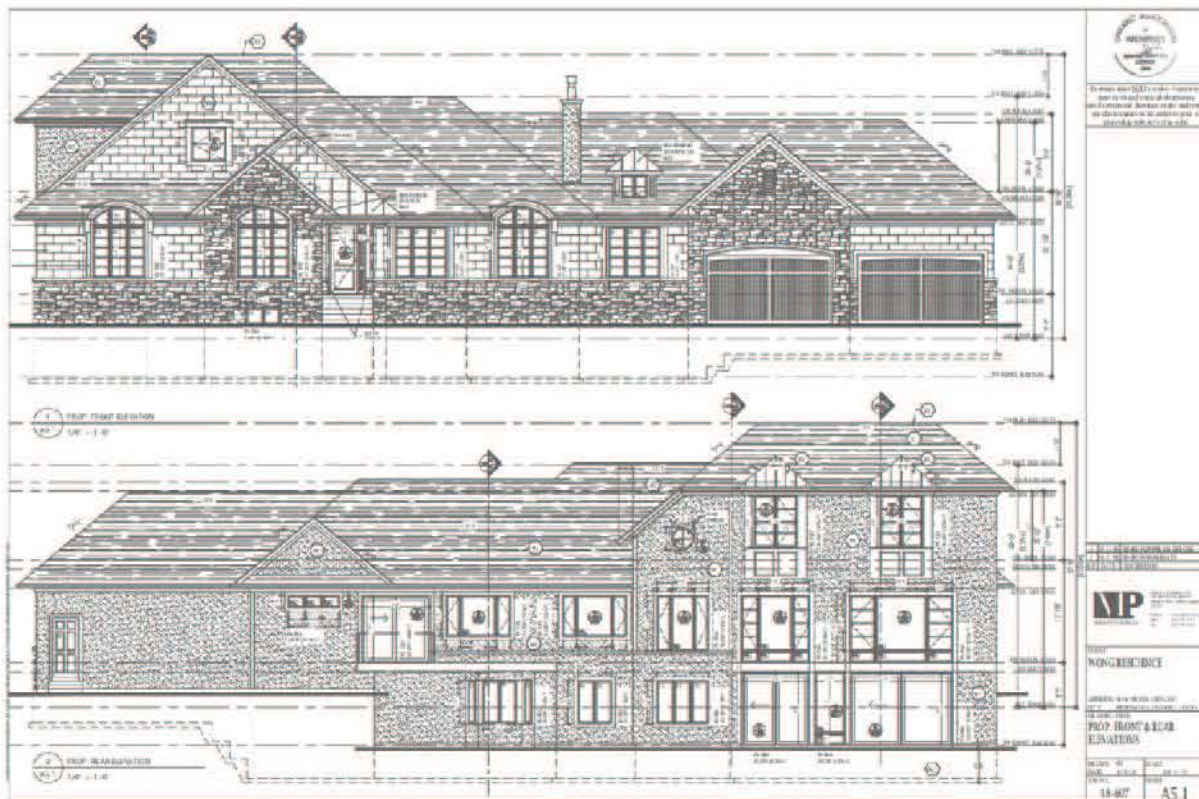
Proposed first floor plan



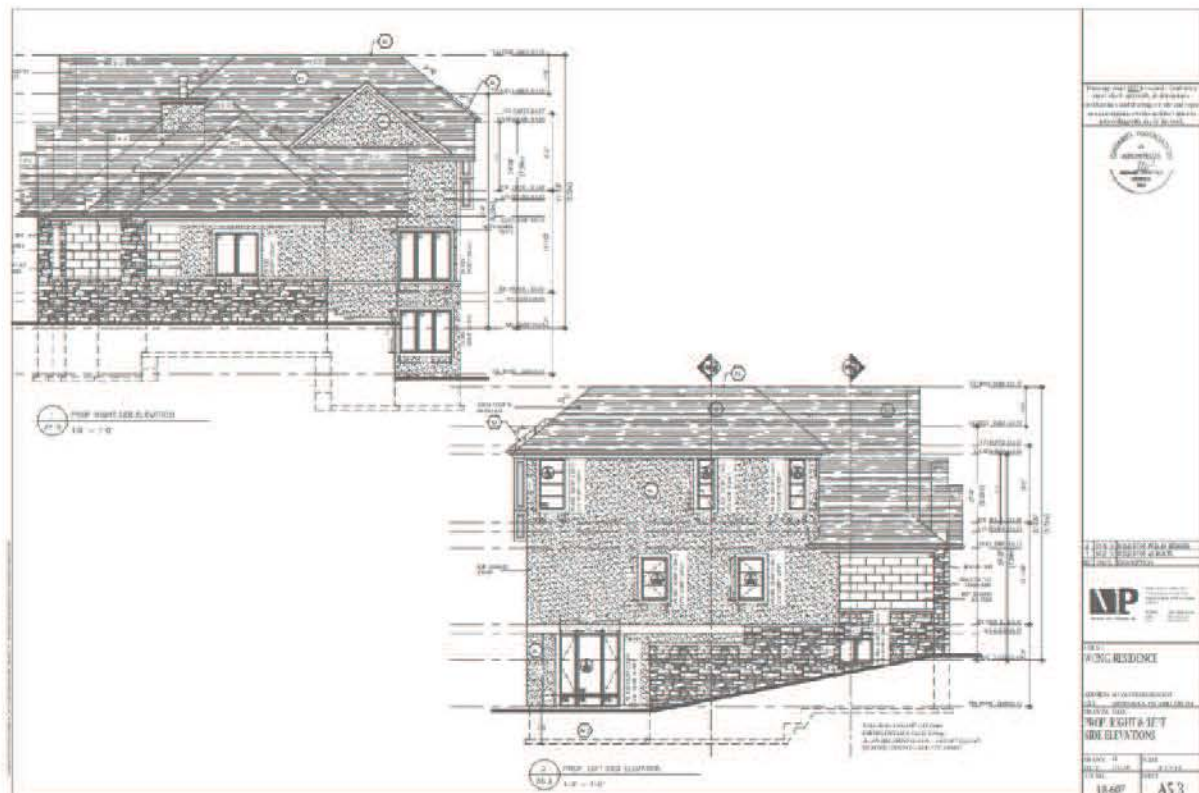
Proposed second floor plan



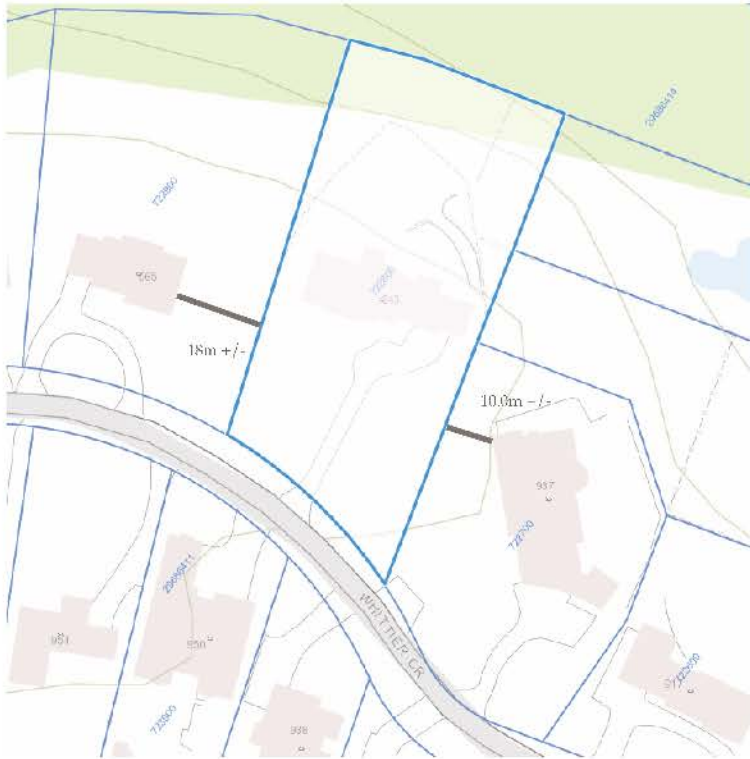
Proposed front and rear elevations.



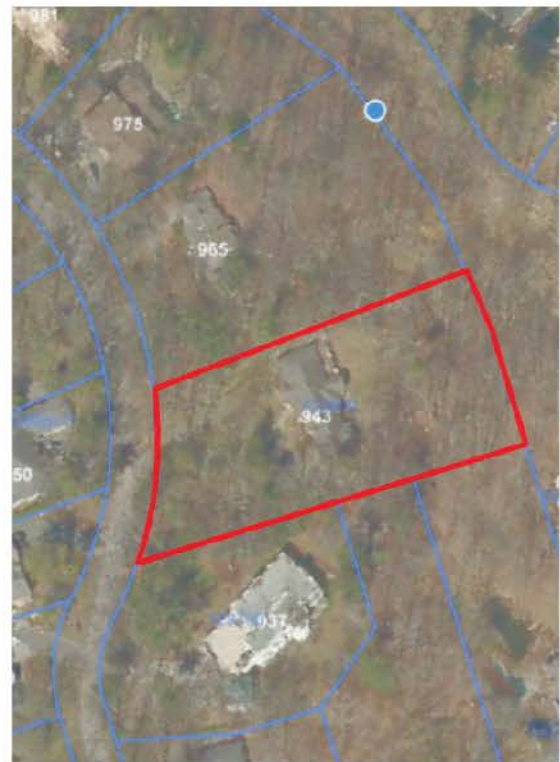
Proposed side elevations



The proposed height is increasing from 8.3m to 10.6m to accommodate the second storey. It should be noted however, that the definition and calculation of height has changed from the permit in 2005.



The proposed second storey addition will have no impact on the streetscape. As you can see from the adjacent mapping image, the home is set well back from the street. Further, all trees in the front yard will be maintained.



Existing Streetscape



965 Whittier Crescent

943 Whittier Crescent

937 Whittier Crescent



Proposed Streetscape

Evaluation according to Ontario Regulation 09/06

Criteria for Determining Cultural Heritage Value or Interest	Assessment (yes/no)	Rationale
1. Design or physical value:		
a) Is a rare, unique, representative or early example of a style, type, expression, material or construction method	NO	The home was significantly modified since original construction. Homes of this style can be found throughout Mississauga

Criteria for Determining Cultural Heritage Value or Interest	Assessment (yes/no)	Rationale
b) Displays a high degree of craftsmanship or artistic merit	NO	It is constructed of standard building materials and does not display a high degree of craftsmanship or artistic merit
c) Demonstrates a high degree of technical or scientific achievement	NO	This is a typical custom built home reflecting the needs of the home owner
2. Historical or associative value		
a) Has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community	NO	The home is part of the greater Lorne Park Estates neighbourhood. The home itself does not have any historical associations to Mississauga
b) Yields, or has potential to yield, information that contributes to an understanding of a community or culture	NO	The home has been significantly modified since its original construction and has no potential to yield an understating of a community or culture
c) Demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community	NO	The home is not associated with a builder, developer or architect significant to the community.
3. Contextual Value		
a) Is important in defining, maintaining, or supporting the character of an area	NO	As stated before, the original home was significantly modified in 2004. The house as it stands today is a reflection of many homes built in Mississauga.
b) Is physically, functionally, visually, or historically linked to its surroundings	NO	No change is proposed to the property's existing landscaping. The new proposed built form strives to retain the overall design elements of the existing residence.,
c) Is a landmark	NO	It is not a landmark. It is a typical suburban home.

Evaluation of Impact of Proposed Development

Potential Negative Impact	Assessment
Destruction of any part, or part of any, significant heritage attributes or features	No perceived impact. No part of the existing home is being removed.
Removal of natural heritage features, including trees.	No perceived impact. No trees will be removed as part of the addition to the home.
Alteration that is not sympathetic, or is incompatible, with the historic fabric and appearance.	No perceived impact. This is an addition to the existing home. The footprint of the dwelling is increasing in the rear yard. The second storey addition is compatible with the appearance of the home.
Shadows created that alter the appearance of a heritage attribute or change the viability of an associated natural feature, or plantings, such as a garden	No perceived impact. There will be no change to a natural feature or plantings.
Isolation of a heritage attribute from its surrounding environment, context or a significant relationship.	No perceived impact. The existing dwellings front elevation is changing minimally and is in keeping with the existing neighbourhood and homes in the immediate area.
Direct or indirect obstruction of significant views or vistas within, from, or of built and natural features.	No perceived impact. The proposed addition will not obstruct views or vistas.
A change in land use where the change in use negates the property's cultural heritage value.	Not applicable. The existing and continued use of the property is residential.
Land disturbances such as change in grade that alters soils, and drainage patterns that adversely affect cultural heritage resources.	No perceived impact. The existing grading and drainage pattern around the dwelling is to be maintained.

Mitigation Measures

The proposal for 943 Whittier Crescent is the addition of living space to accommodate the growing family. An assessment of alternative development options and mitigation measures has been considered in order to limit the negative impact on the cultural heritage resources. Three options existed for the homeowner; relocation, enlarging the footprint or adding a second storey to the existing dwelling.

The owner does not wish to relocate out of Lorne Park Estates into a larger home, so that was eliminated. The second option to be evaluated included enlarging the footprint to provide the additional gross floor area. However, this was quickly discarded as an option as it would have necessitated tree removal and reduced setbacks. This would have negatively impacted on the property's cultural heritage resources. (ie landscaped and heavily treed yard). The final option was to add a second story to the dwelling. This was the preferred option as it maintains the criteria for the Lorne Park Estates, those being Landscape Environment, Built Environment and Significant Ecological Interest.

Methods of minimizing or avoiding negative impact on a cultural heritage resource as stated in the Ontario Heritage Tool Kit (InfoSheet #5, Ministry of Culture) include but are not limited to:

1. *Isolating development and site alteration from significant built and natural features and vistas*
2. *Design guidelines that harmonize mass, setback, setting, and materials*
3. *Limiting height and density*
4. *Allowing only compatible infill and additions*
5. *Buffer zones, site plan control, and other planning mechanisms*

With regards to the proposed development, the above-noted items were considered during the design process for the dwelling.

The existing dwelling footprint is to remain unchanged, aside from two additions at the rear of the dwelling. While the additions will increase the height of the dwelling, it has been designed to successfully integrate with the adjacent dwellings. Substantial sideyard setbacks from the adjacent dwellings on both sides as well as the location of the properties on the lots; along with the expansive tree coverage, ensure that the proposed addition is well buffered. The proposed addition will maintain the existing materials and colours of the present home.

Overall, the proposed addition respects the Lorne Park Estates Cultural Landscape's characteristics and is consistent with redevelopment that has occurred throughout the area.

Conclusions, Recommendations

The subject property contains a one-storey residential dwelling built in the 1960's and extensively renovated in 2005. It does not meet any of the criteria for Designation under the Ontario Heritage Act. The proposed addition will have no impact on the cultural heritage resource, that being the Lorne Park Neighbourhood. Mitigation measures, as noted above, have been considered and no further action is required.

About the Author:

William Oughtred of W.E. Oughtred & Associates Inc., is a development and land use consultant who has been practicing in the Mississauga and GFA area for over 30 years. Mr. Oughtred has a Bachelor of Arts from McMaster University. Mr. Oughtred is well versed in both Planning and building procedures and the City of Mississauga Zoning By-law and Official Plan.

Mr. Oughtred specializes in infill development projects. His extensive experience has afforded him the opportunity to see the City evolve and be at the forefront of growing trends and patterns in land development in Mississauga. He consults regularly on both heritage and urban design for infill projects.

Heritage Impact Statements and Assessments have been completed for many properties in Mississauga, including, but not limited to. the properties listed below.

- ❖ 1532 Adamson Road
- ❖ 1484 Hurontario Street
- ❖ 191 Donnelly Drive
- ❖ 2222 Doultan Drive
- ❖ 915 North Service Road
- ❖ 2375 Mississauga Road

References

www5.mississauga.ca/pdfs/Cultural_Landscape_Inventory_Jan05.pdf

<https://www.mississauga.ca/portal/services/property>

<http://www.mtc.gov.on.ca/en/heritage/heritage.shtml>

City of Mississauga
Memorandum



Date: 4/16/2019
To: Chair and Members of Heritage Advisory Committee
From: Paul Damaso, Director, Culture Division
Meeting Date: 5/7/2019
Subject: New Heritage Designation Plaque Design

This memorandum is presented for HAC's information.

Council adopted the following motion at its meeting on March 27, 2019:

GC-0141-2019

1. That the Memorandum dated February 11, 2019 from Paul Damaso, Director, Culture Division entitled New Heritage Designation Plaque Design, be received;
2. That staff be directed to further investigate the intention of changing the current Heritage Designation plaque design and look into options that would incorporate the City's rebranding into the current design. (HAC-0020-2019)

The City's Communications Division had redesigned the plaques to be affixed to properties designated under the Ontario Heritage Act to align with its new design standards as part of the City's rebranding. (See item 8.1 here: https://www7.mississauga.ca/documents/committees/heritage/2019/2019_03_05_HAC_Agenda.pdf.)

In response, the City's Communications Division, in consultation with Heritage Planning staff, has redesigned the plaques, reverting back to the original shape, form and colour scheme (with the vergeboard motif) but, incorporating the City's rebranding as per below.



A handwritten signature in black ink, appearing to read "Paul Damaso".

Paul Damaso, Director, Culture Division