
Heritage Advisory Committee

Date

2019/01/08

Time

9:30 AM

Location

Civic Centre, Council Chamber,
300 City Centre Drive, Mississauga, Ontario, L5B 3C1

Members

Councillor George Carlson, Ward 11 (Chair)

Rick Mateljan, Citizen Member (Vice-Chair)

Councillor Carolyn Parrish, Ward 5

Michael Battaglia, Citizen Member

Elizabeth Bjarnason, Citizen Member

Robert Cutmore, Citizen Member

Lindsay Graves, Citizen Member

James Holmes, Citizen Member

Cameron McCuaig, Citizen Member

Matthew N. Wilkinson, Citizen Member

Megan Piercey, Legislative Coordinator, Legislative Services

905-615-3200 ext. 4915

megan.piercey@mississauga.ca

NOTE: To support corporate waste reduction efforts the large appendices in this agenda can be viewed at:
<http://www.mississauga.ca/portal/cityhall/heritageadvisory.ca>

Find it Online

<http://www.mississauga.ca/portal/cityhall/heritageadvisory>

-
1. **CALL TO ORDER**
 2. **APPROVAL OF AGENDA**
 3. **DECLARATION OF CONFLICT OF INTEREST**
 4. **MINUTES OF PREVIOUS MEETING**
 - 4.1. Heritage Advisory Committee Minutes - November 13, 2018
 5. **DEPUTATIONS**
 - 5.1. Fernando Moraes, Project Leader, Capital Project Management regarding Great Hall Floor Infill Project
 6. **PUBLIC QUESTION PERIOD** - 15 Minute Limit (5 Minutes per Speaker)
Pursuant to Section 42 of the Council Procedure By-law 0139-2013, as amended the Heritage Advisory Committee may grant permission to a member of the public to ask a question of the Committee with the following provisions:
 1. The question must pertain to a specific item on the current agenda and the speaker will state which item the question is related.
 2. A person asking a question shall limit any background explanation to two (2) statements, followed by the question.
 3. The total speaking time shall be five (5) minutes maximum per speaker.
 7. **MATTERS TO BE CONSIDERED**
 - 7.1. Request to Alter a Heritage Designated Property: 62 Queen Street South (Ward 11)
 - 7.2. Request to Alter a Heritage Designated Property: 2275 Britannia Road West (Ward 11)
 - 7.3. Request to Demolish a Heritage Listed Property: 6432 Ninth Line (Ward 10)
 - 7.4. Request to Demolish a Heritage Listed Property: 846 Chaucer Avenue (Ward 2)
 - 7.5. Request to Demolish a Heritage Listed Property: 2104 Mississauga Road (Ward 8)
 - 7.6. Request to Demolish a Heritage Listed Property: 5235 Mississauga Road (Ward 11)
 - 7.7. Cultural Heritage Evaluation of 411 Lakeshore Road East (Ward 1)
 - 7.8. 2019 Community Heritage Ontario Membership Renewal
 8. **SUBCOMMITTEE UPDATES**
 - 8.1. Heritage Designation Sub-Committee

8.2. Public Awareness Sub-Committee

9. **INFORMATION ITEMS**

9.1. 2019 Heritage Advisory Committee Meeting Schedule

10. **OTHER BUSINESS**

11. **DATE OF NEXT MEETING** - February 5, 2019

12. **ADJOURNMENT**

City of Mississauga
Minutes



Heritage Advisory Committee

Date

2018/11/13

Time

9:32 AM

Location

Civic Centre, Council Chamber,
300 City Centre Drive, Mississauga, Ontario, L5B 3C1

Members Present

Councillor George Carlson, Ward 11 **(Chair)**
Rick Mateljan, Citizen Member **(Vice-Chair)**
Councillor Carolyn Parrish, Ward 5
Michael Battaglia, Citizen Member
Robert Cutmore, Citizen Member
Lindsay Graves, Citizen Member
James Holmes, Citizen Member
Cameron McCuaig, Citizen Member
Matthew N. Wilkinson, Citizen Member

Members Absent

Elizabeth Bjarnason, Citizen Member

Staff Present

Michael Tunney, Manager, Culture and Heritage Planning
Paula Wubbenhorst, Heritage Planner, Culture Division
Brooke Herczeg, Heritage Analyst
Megan Piercey, Legislative Coordinator

Find it online

<http://www.mississauga.ca/portal/cityhall/heritageadvisory>

1. CALL TO ORDER – 9:32 AM
2. APPROVAL OF AGENDA
Approved (Councillor Parrish)
3. DECLARATION OF CONFLICT OF INTEREST – Nil
4. MINUTES OF PREVIOUS MEETING
 - 4.1. Approval of Minutes of September 11, 2018 Meeting
Approved (J. Holmes)
5. DEPUTATIONS – Nil
6. PUBLIC QUESTION PERIOD - 15 Minute Limit (5 Minutes per Speaker)
Pursuant to Section 42 of the Council Procedure By-law 0139-2013, as amended the Heritage Advisory Committee may grant permission to a member of the public to ask a question of the Committee with the following provisions:
 1. The question must pertain to a specific item on the current agenda and the speaker will state which item the question is related.
 2. A person asking a question shall limit any background explanation to two (2) statements, followed by the question.
 3. The total speaking time shall be five (5) minutes maximum per speaker.

John Hendricks, Resident, expressed concerns regarding item 7.2. Paula Wubbenhorst, Heritage Planner advised that the owner would speak to the matter.

7. MATTERS CONSIDERED
 - 7.1. Request to Demolish a Heritage Listed Property: 1219 Ravine Drive (Ward 2)

Members of the Committee expressed concerns in principal for approving demolition requests without a replacement plan in place and noted that the property is a great building and that they would be sad to see it go. In response to the Committee's concerns Paula Wubbenhorst, Heritage Planner advised that owners have the legal right to apply for demolition without a replacement plan.

RECOMMENDATION

HAC-0074-2018

That the property at 1219 Ravine Drive, which is listed on the City's Heritage Register, is not worthy of heritage designation, and consequently, that the owner's request to demolish proceed through the applicable process as per the Corporate Report from the Commissioner of Community Services, dated October 18, 2018.

Approved (C. McCuaig)

7.2. Request to Alter a Heritage Designated Property: 26 Bay Street (Ward 1)

Antoine Musiol, Resident, addressed the Committee noting that it is his understanding that he would have to apply for a minor variance regarding the building length.

Paula Wubbenhorst, Heritage Planner, advised that the property is one of the historic properties that is part of the Port Credit Heritage Conservation District and noted that this would be a sympathetic addition to the property. She stated that staff is recommending approval. Robert Cutmore, Citizen Member, expressed his support and noted that the addition would enhance the property along with the neighbourhood.

RECOMMENDATION

HAC-0075-2018

1. That the request to alter the heritage designated property at 26 Bay Street, as per the Corporate Report from the Commissioner of Community Services, dated October 18, 2018 be approved.
2. That the approval allow for some flexibility in the size and placement of the skylights on the solarium to ensure they are not visible from the street, whilst still maintaining a consistent scale, rhythm and proportion in their size and arrangement.
3. That if any further changes result from other City review and approval requirements, such as but not limited to building permit, committee of adjustment or site plan approval, a new heritage permit application may be required. The applicant is required to contact heritage planning at that time to review the changes prior to obtaining other approvals and commencing construction.

Approved (R. Cutmore)

7.3. Request to Alter a Heritage Designated Property: 119 and 121 Lakeshore Road West (Ward 1)

Robert Cutmore, Citizen Member, expressed support for the project. He noted that it would be a positive enhancement to the property and would greatly improve the streetscape.

RECOMMENDATION

HAC-0076-2018

That the request to alter the heritage designated property at 119 and 121 Lakeshore Road West, as per the Corporate Report from the Commissioner of Community Services dated October 18, 2018, be approved.

Approved (R. Cutmore)

7.4. Request to Alter a Heritage Designated Property: 57 Port Street (Ward 1)

Robert Cutmore, Citizen Member, expressed concerns regarding the renovations and inquired about the status of a building permit. Robert Fluney, Resident, advised that there was no building permit at this time and the Committee confirmed with Mr. Fluney that he would need to apply for one.

RECOMMENDATION

HAC-0077-2018

That the request to alter the heritage designated property at 57 Port Street, as per the Corporate Report from the Commissioner of Community Services, dated October 18, 2018 be approved.

Approved (M. Wilkinson)

7.5. Request to Alter a Heritage Designated Property: 7079 Pond Street (Ward 11)RECOMMENDATION

HAC-0078-2018

That the request to alter the heritage designated property at 7079 Pond Street as per the Corporate Report from the Commissioner of Community Services, dated October 18, 2018, be approved.

Approved (J. Holmes)

8. SUBCOMMITTEE UPDATES – Nil9. INFORMATION ITEMS

Matthew Wilkinson, Citizen Member, spoke to opening of the “Hurontario Street: Linking Peel” exhibit from PAMA hosted at The Grange and noted that the exhibit would be running from November 13, 2018 to January 25, 2019.

Councillor Parrish thanked Mr. Wilkinson and Heritage Mississauga for their re-enactment at the Pinnacle Fall Fair in Ward 5 and announced that they would be at the next Fall Fair on September 21, 2019.

9.1. Alteration to a Listed Property: 1352 Nocturne Court (Ward 2)

Matthew Wilkinson, Citizen Member, expressed his support for the project and noted that the buildings unique architectural style should be celebrated.

RECOMMENDATION

HAC-0079-2018

The Memorandum dated October 11, 2018 from Paul Damaso, Director, Culture Division entitled Alteration to a Listed Property: 1352 Nocturne Court (Ward 2) be received.

Received (M. Wilkinson)

9.2. Alteration to a Listed Property: 500 Comanche Road (Ward 2)RECOMMENDATION

HAC-0080-2018

That the Memorandum dated October 11, 2018 from Paul Damaso, Director, Culture Division entitled 500 Comanche Road (Ward 2) be received.

Received (R. Mateljan)

10. OTHER BUSINESS

Michael Tunney, Acting Manager of Culture and Heritage Planning, introduced himself and announced John Dunlop, Supervisor of Heritage Planning, would be starting November 14, 2018. Brooke Herczeg, Heritage Analyst, introduced herself as well. The Chair and Members of the Committee welcomed the new Heritage Staff members.

Paula Wubbenhorst, Heritage Planner, spoke to Mississauga's Cultural Heritage Landscape Project and encouraged the Committee to share information regarding the project and to get involved to determine what landscapes are valued by the community and what planning or heritage tools should be considered to conserve their character. She advised the Committee of their online survey and the upcoming workshops on the following dates:

- Thursday, November 15, 7 to 9 p.m. at Malton Hall, 3091 Victory Crescent
- Monday, November 19, 7 to 9 p.m. at Kinsmen Hall (Streetsville), 327 Queen Street South
- Monday, November 26, 7 to 9 p.m. at Ojibway C, Huron Park Community Centre, 830 Paisley Boulevard West

Nigel D'Souza, Asset Management Consultant, provided an update on the Adamson Estate painting and roof project.

Cameron McCuaig, Citizen Member, asked Mr. D'Souza if staff were looking into creating an assessment of public heritage sites to determine their current condition. Mr. D'Souza responded that they are at the beginning stages of this process and noted that staff would be asking for \$60,000 at Budget Committee. Councillor Parrish expressed her support for the budget request and directed staff to bring a list of what heritage buildings require maintenance to a future Heritage Advisory Committee Meeting.

11. DATE OF NEXT MEETING – January 8, 2019

12. ADJOURNMENT – 10:04 AM (Councillor Parrish)

City of Mississauga
Corporate Report



<p>Date: 2018/12/11</p> <p>To: Chair and Members of Heritage Advisory Committee</p>	<p>Originator's files:</p>
<p>From: Paul Mitcham, P. Eng, MBA, Commissioner of Community Services</p>	<p>Meeting date: 2019/01/08</p>

Subject

Request to Alter a Heritage Designated Property: 62 Queen Street South (Ward 11)

Recommendation

That the City approve the alteration of the rear wall of the main structure at the heritage designated property at 62 Queen Street South, as per the Corporate Report from the Commissioner of Community Services dated December 11, 2018.

Background

The John Graydon House, the subject property, is designated under Part IV of the Ontario Heritage Act. Section 33 of the Act requires permission from Council in order to make alterations to such property.

The 2001 City heritage designation report suggests that the rear “addition” “was perhaps originally a single storey, built at the time of construction of the main part of the house. (The stone foundations match.)” The proponent’s 2018 report, attached as Appendix 1, states that: “this addition does not appear to have been built with the same quality and structural integrity as the original structure.”

Comments

During interior renovations to the subject property, part of the exterior wall on the south side of the building towards the rear collapsed. The owner of the property proposes to address the matter by matching the original wall, as per the last photo in the report attached as Appendix 1. I.e. the proposal is for “the upper floor to be finished with a cedar shingle similar to that found beneath the vertical, cedar siding and stained to the original black.” The proposal for the lower storey is for it “to be finished with a brick veneer that closely matches with the brick of the addition.” The brick of both portions is very similar. As the proposal is based on physical evidence on site and is as minimal an intervention as is possible, it should be approved.

Financial Impact

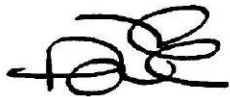
There is no financial impact resulting from the recommendation in this report.

Conclusion

The owner of the property has applied for a heritage permit to fix a rear portion of the wall at the subject address. The proposal is based on physical evidence and is as minimal a mitigation as is possible in the circumstances. As such, it should be approved.

Attachments

Appendix 1: Proposal



Paul A. Mitcham, P. Eng, MBA
Commissioner of Community Services

Prepared by: P. Wubbenhorst, Heritage Planner



OAN ARCHITECT INC.

City of Mississauga
Community Services
Culture Division
201 City Centre Drive, Suite 202
Mississauga, ON L5B 2T4

Nov. 22, 2018

Re: 62 Queen Street, Mississauga, ON

Dear _____,

This report is in support of a Heritage Permit Application for 62 Queen Street, Mississauga, ON. There is a concern with a specific wall on the rear addition of the building. The wall in question is the west wall of the rear building addition. The exterior finish of the building, including the west wall on the building rear addition, has a heritage designation.



About OAN Architect Inc.

We, at OAN Architect Inc., are a full service architectural firm licensed by the OAA - Ontario Architectural Association. We are committed to working with clients and historical societies to ensure quality design, restoration and continued use of heritage buildings and sites. We are currently involved in the designs for the restoration, renovation and change of use for a heritage building at 24 Burger Street, Welland. As well, we are working with the proposal and designs for the Welland Central Fire Station located at the corner of Division Street and Hellems Avenue, Welland Ontario.

Osama Abo Nassar Ph.D. Architectural Sciences, owner and primary Architect of OAN Architect Inc. completed his doctoral studies in Tourism and Architecture in Theory and Praxis. His studies and qualifications include the renovation, restoration and design of Heritage buildings, sites, and services. They also include the design and integration of tourist services (information centres, accommodation, etc.) at heritage and environmental tourist sites. Dr. Nassar has been involved in heritage architectural projects in the Middle East and Europe as well as here in Ontario.

Heritage Home 62 Queen Street, Mississauga, ON

This building was originally built as a single dwelling home located at 62 Queen Street Mississauga, ON. It underwent a change of use and is currently used as an office building. The exterior of the building has a heritage designation by the City of Mississauga, Culture Division. The current issue is located within a rear addition to the original home. This rear portion appears to be an addition that was added years after the original building was completed. There are no specific dates of completion available. This addition does not appear to have been built with the same quality of structural integrity as the original structure.

Condition of rear, west wall prior to collapse

During a renovation (under permit), the rear, west wall was found to be structurally compromised. The structural integrity of the traditional, wood frame structure was compromised by rotting wood, black mold, and water damage. Specifically, the wood studs of the wall were rotting with age and possible water leakage from the roof. Black mold was found throughout the framing structure and was an immediate health concern for the occupation of the building. The connections between the wall framing and the floor joists were no longer intact. The wall and floor were separated from each other along much of the wall. The cause of this separation was water damage to the lower wall framing and the outer floor joists.

(Images below for the existing condition of the collapsed wall. Explain the condition of the structure prior to collapse, also explain the poor quality structure and interior finish)









Exterior Finish/Cladding prior to collapse

The lower floor of the addition was finished with a brick veneer that closely matched the red/white speckled brick of the original building. The upper floor was covered with vertical, cedar siding. The siding was stained to a close match with the red of the brick on the lower floor and main structure of the building. This siding was found to be covering a layer of cedar, shingle siding. The shingle siding was stained a black colour. This was most likely the original finish/cladding of the addition at the time of it was built.



(Image above for the subject wall with the temporary support and it shows the original cedar black stained shingle was covered with the vertical cedar siding later)

Collapse Event

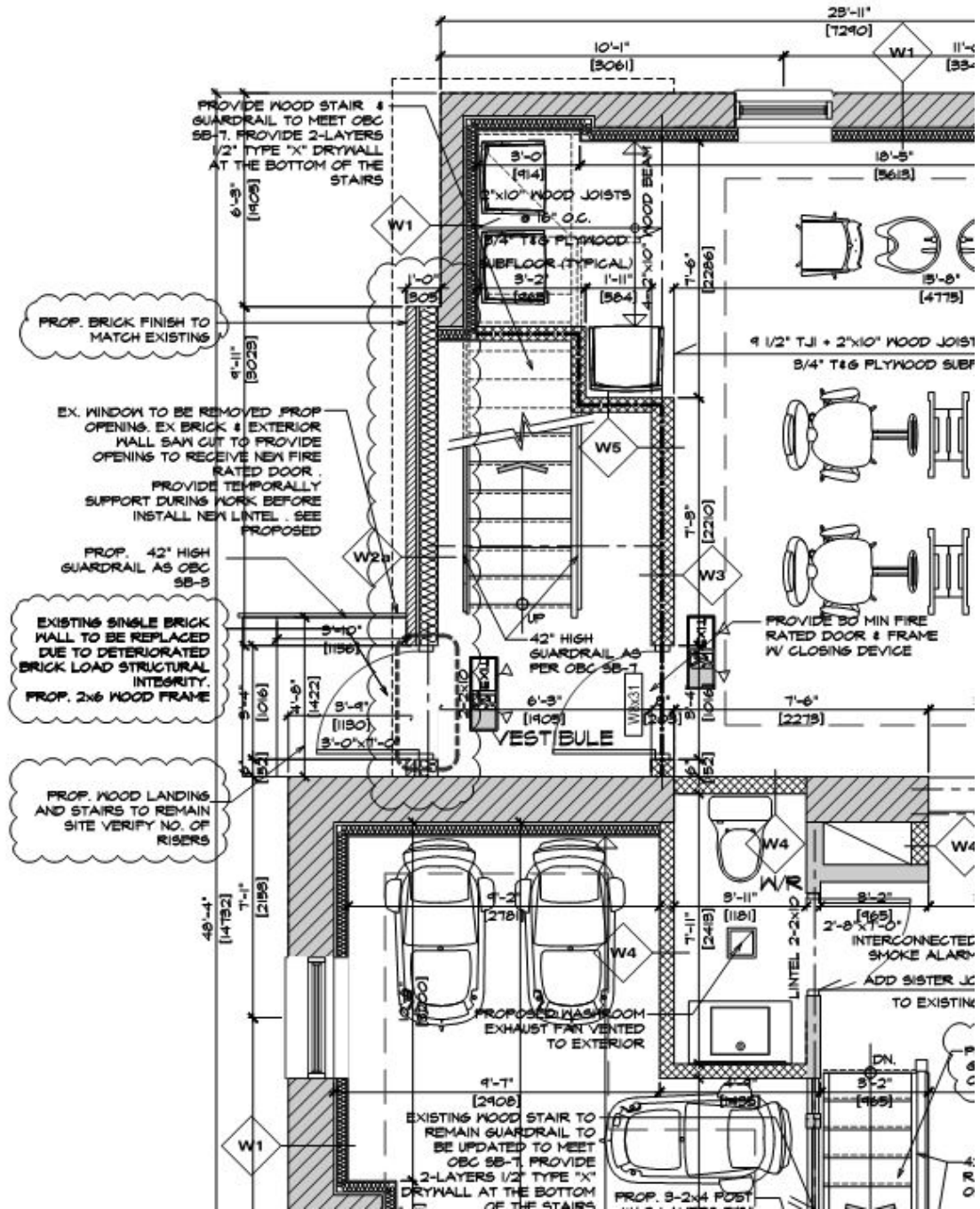
During renovation work, the wall in question was given temporary supports and attempts were made to secure the shoring while the connection between wall framing and floor joists was reestablished. During this work, the wall separated from the main building structure and collapsed. A temporary structure was installed to support the roof of this portion of the building and to hold the wall in place to avoid interior damage and for the safety of workers.

Recommendations

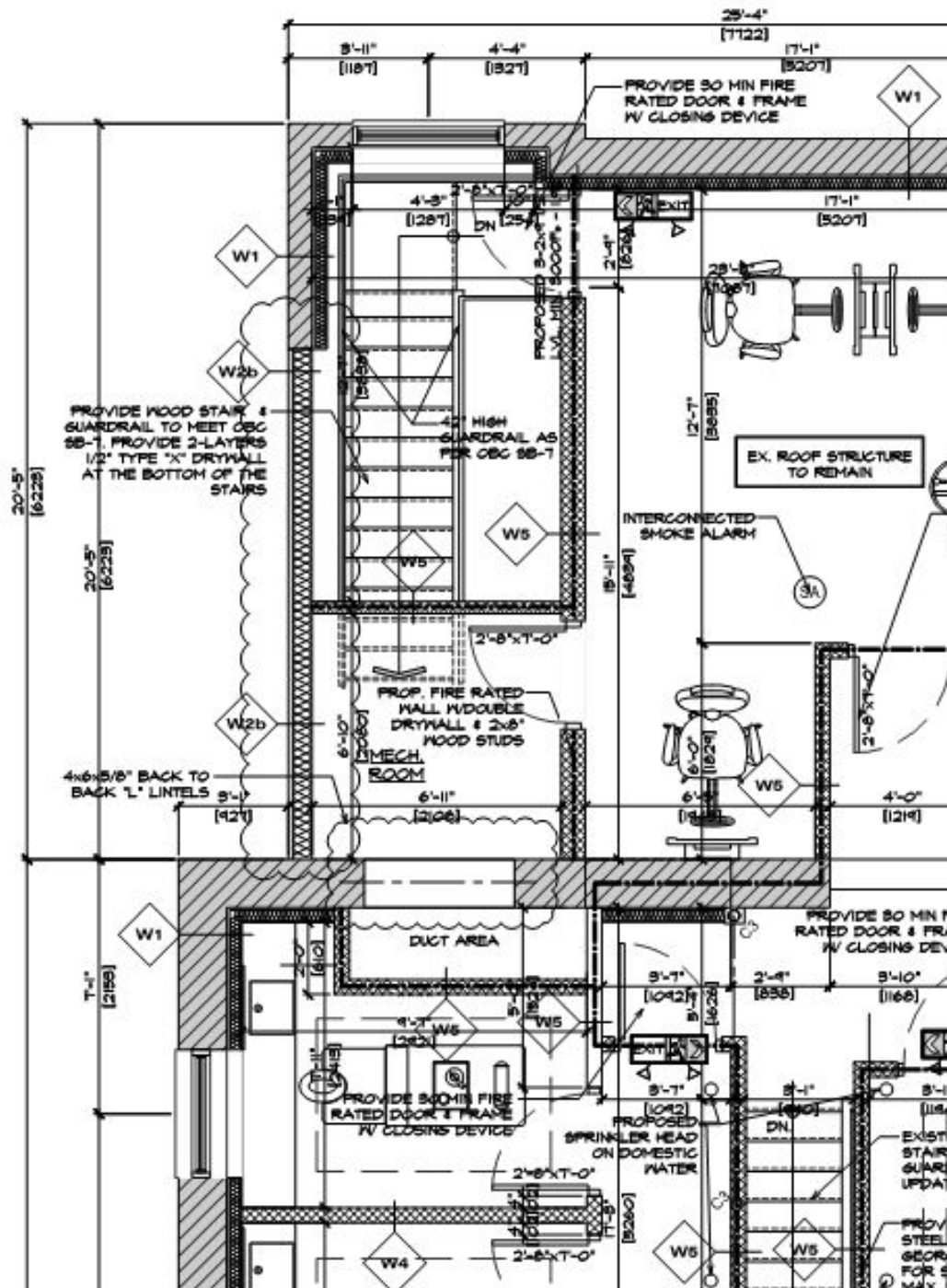
We recommend that the outer finish/cladding of the rear, west wall be completed to a close match with the brick and cedar shingle siding of the original wall. Specifically, the lower floor to be finished with a brick veneer that closely matches with the brick of the main structure. The upper floor to be finished with a cedar shingle similar to that found beneath the vertical, cedar siding and stained to the original black.

We recommend that wall be framed using traditional, 2X6 wood stud, methods. The wall to be built within the same footprint (length, height) of the original wall and with the same number and size of openings (doors, windows).

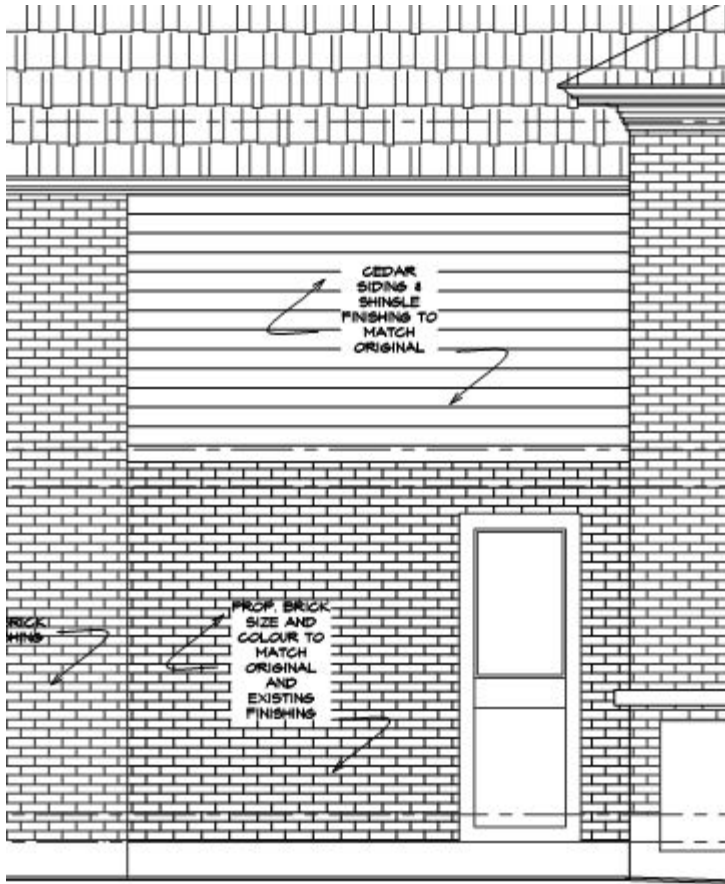
(Please see the Images attached below from our drawings).



Partial Ground Floor Plan



Partial Second Floor Plan



Partial Side Elevation

OAN Architect Inc. provides this report and includes pictures of the site in good faith and sincerity. Please address any further questions or concerns you may have to Osama Abo Nassar at one of the following:

Email: [oanarchitect@rogers.com](mailto: oanarchitect@rogers.com)
 Office: 905-732-2242
 Cell: 289-407-0701

Thank you for your time, consideration, and efforts.

Sincerely,



Oan Achitect

Digitally signed by Oan Achitect
 DN: C=CA,
 E=oanarchitect@rogers.com,
 O=Oan Architect Inc, CN=Oan
 Achitect
 Date: 2018.11.22
 17:20:38-05'00'

Osama Abo Nassar
 OAA, Ph.D. Arch.

City of Mississauga

Corporate Report



<p>Date: 2018/12/11</p> <p>To: Chair and Members of Heritage Advisory Committee</p>	<p>Originator's files:</p>
<p>From: Paul Mitcham, P. Eng, MBA, Commissioner of Community Services</p>	<p>Meeting date: 2019/01/08</p>

Subject

Request to Alter a Heritage Designated Property: 2275 Britannia Road West (Ward 11)

Recommendation

That the City approve the installation of a pylon sign at the heritage designated property at 2275 Britannia Road West, as per the Corporate Report from the Commissioner of Community Services dated December 11, 2018.

Background

The Dowling House, the subject property, is designated under Part IV of the Ontario Heritage Act. Section 33 of the Act requires permission from Council in order to make alterations to such property.

Comments

The owner of the subject property has submitted an application to install a large pylon sign at the subject address as per the drawings attached as Appendix 1, including the "new" design renderings on the last page. The proposed location is set back from the heritage structure. Heritage Planning staff have worked with the property owner to reduce the height of the sign in order to mitigate impacts on views of the house.

The designation by-law focuses on the architectural features of the house and also mentions its location and setback from the road. As the proposal does not impact the property's heritage attributes, it should be approved.

Financial Impact

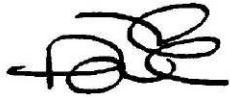
There is no financial impact resulting from the recommendation in this report.

Conclusion

The owner of the property has applied for a heritage permit to install a pylon sign near the Dowling House. As the proposal does not impact the property's heritage attributes, it should be approved.

Attachments

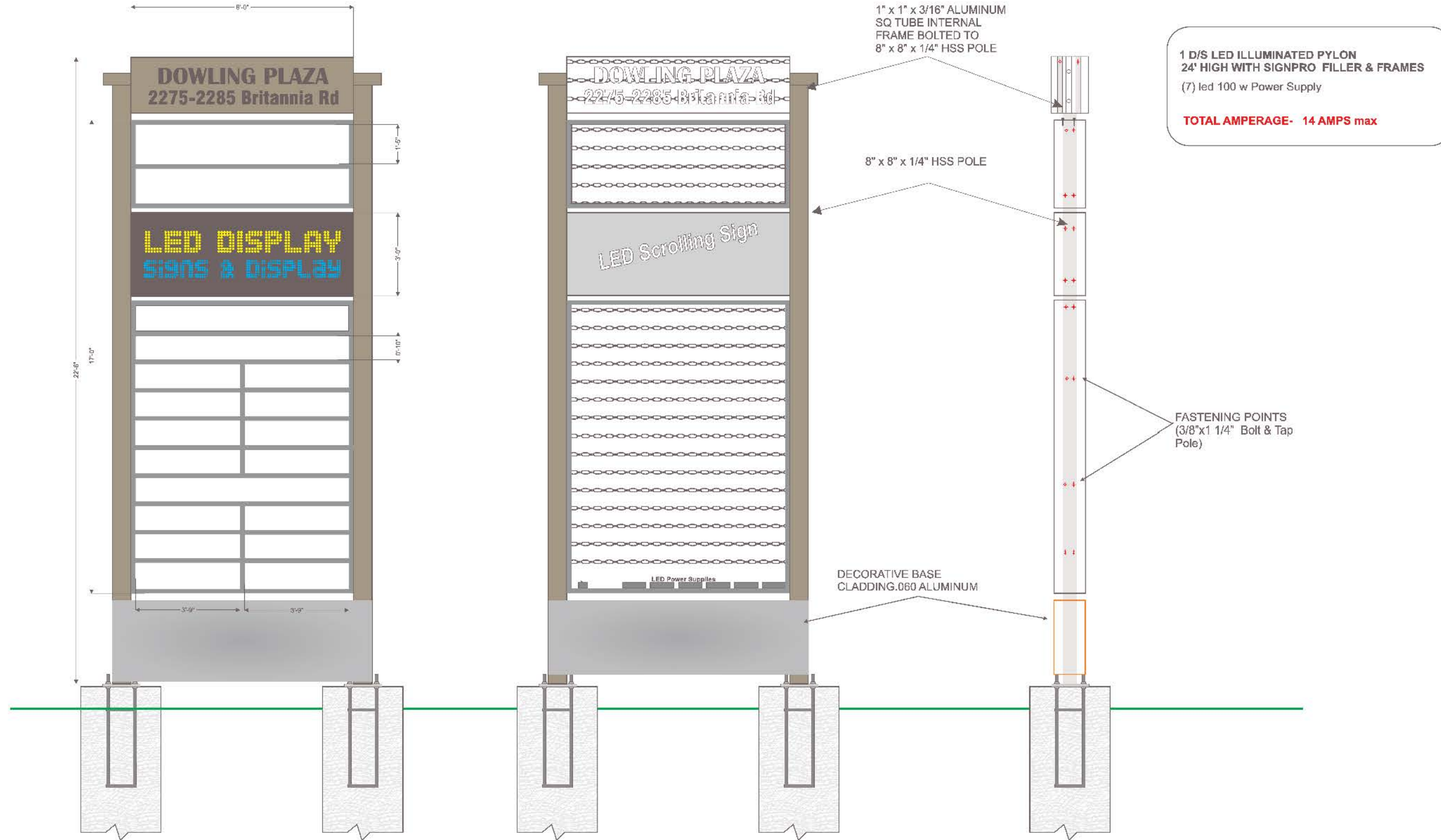
Appendix 1: Proposal and "Old" and "New" Design Streetscape Renderings (last page)



Paul Mitcham, P. Eng, MBA, Commissioner of Community Services

Prepared by: P. Wubbenhorst, Heritage Planner

Area of Sign: 16.66 M²



KING PRINTING & SIGNS INC.
 T: 905.673.9229 F: 905.672.8338 e: info@kpsign.com w: www.kpsign.com
 7195 Tranmere Dr., Unit #3, Mississauga, Ontario L5S 1N4

Client: Dowling Plaza
 Address: 2275-2285 Britannia Rd.
 Mississauga

Approved By: _____
 Name: _____
 Signature: _____

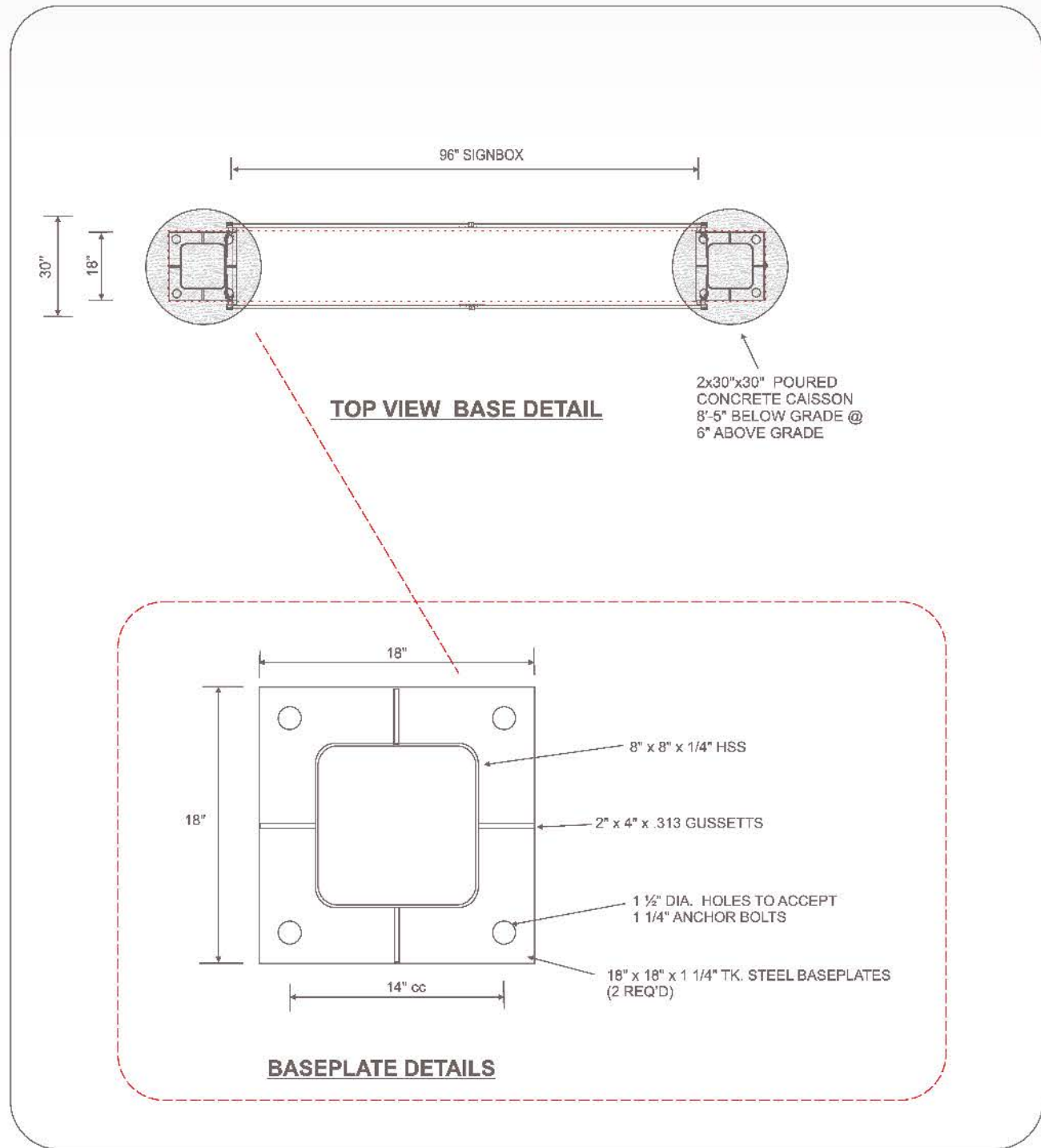
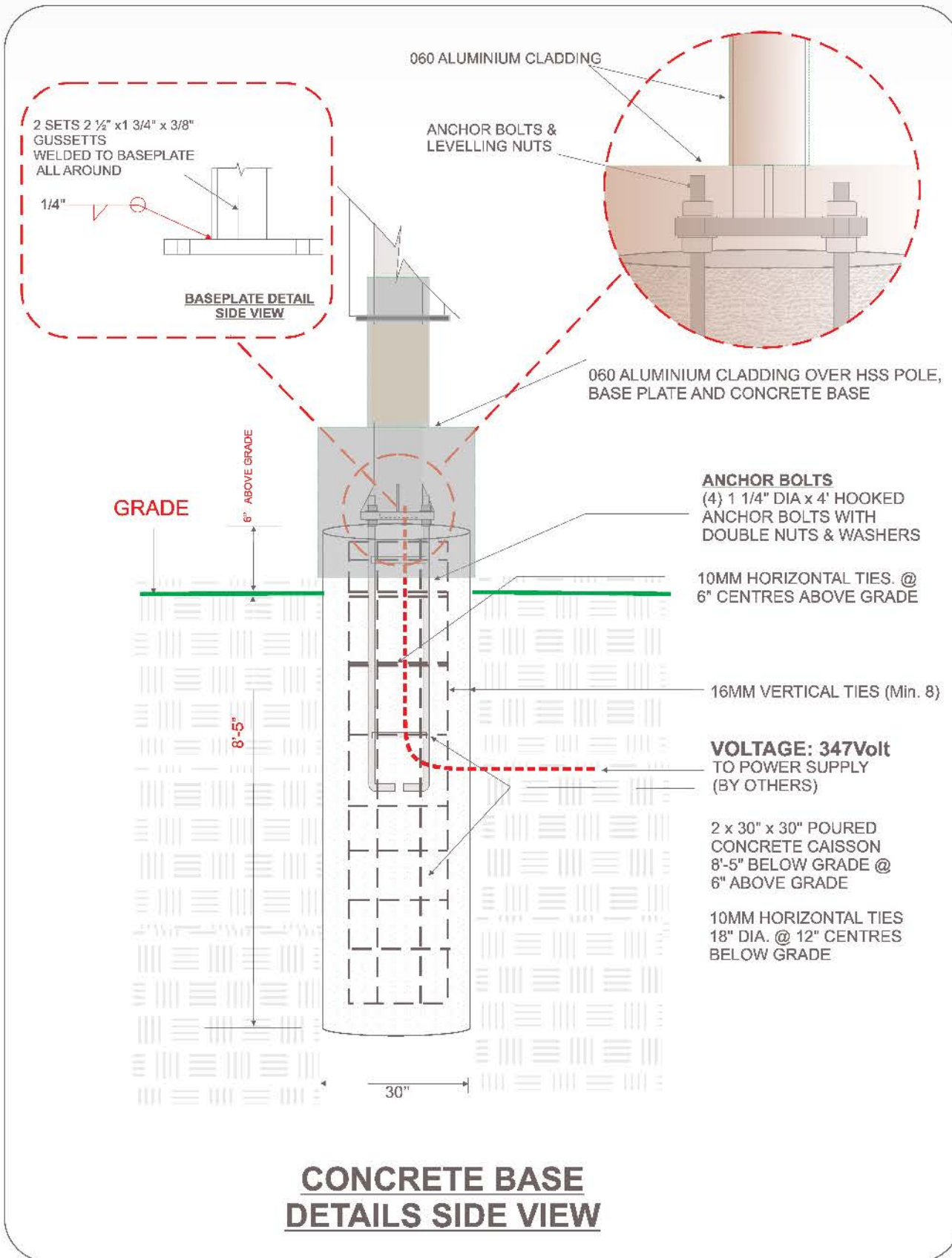
Date: July 05, 2018
 Designed By: Nilesch

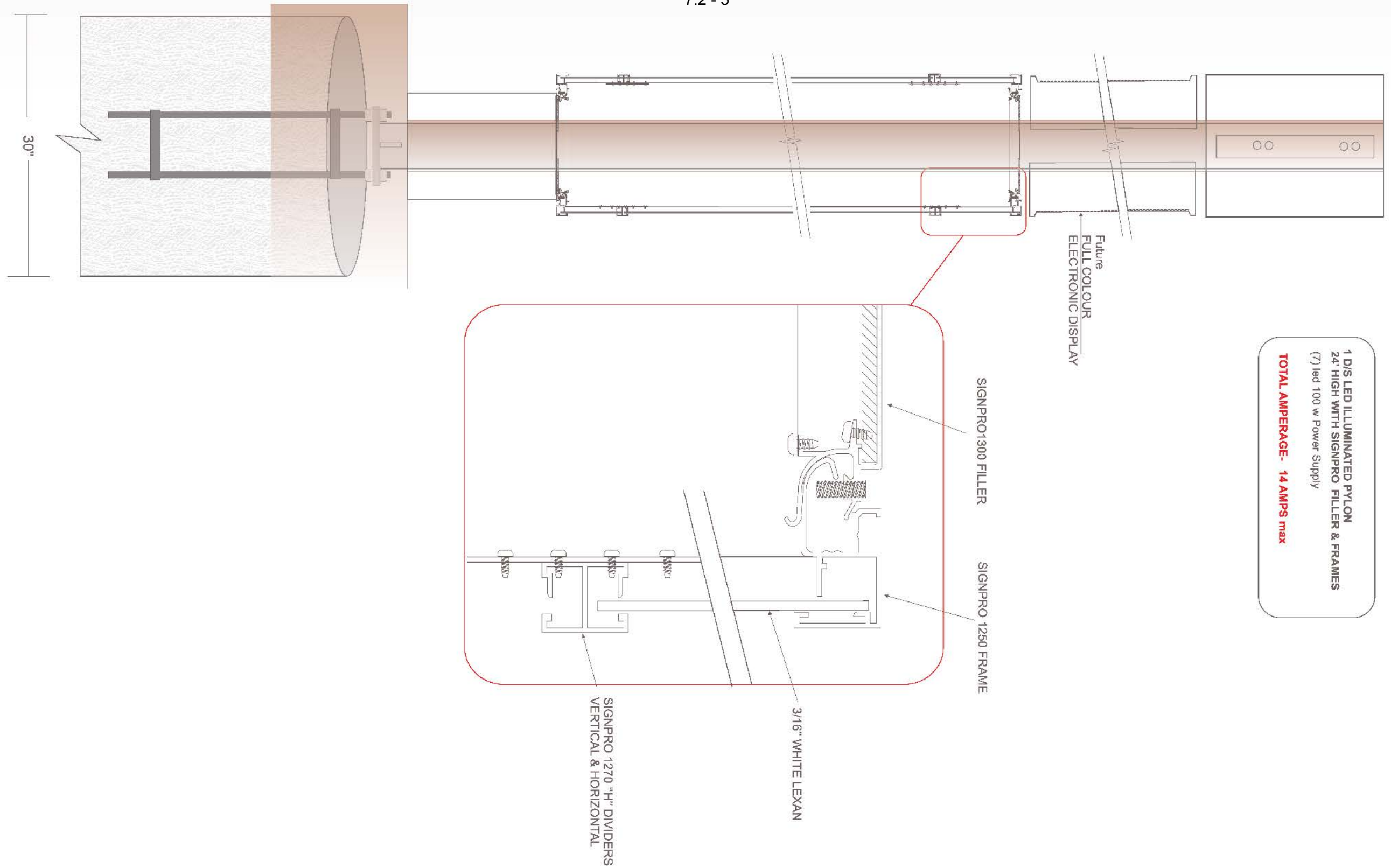
CONCEPTUAL Not For Construction
 SHOP READY Construction Capable

Filler _____
 Acrylic _____
 Trim _____
 Power Supply _____

L.E.D. _____
 Vinyl (1) _____
 (2) _____
 (3) _____

Comments	Rev
	1.
	2.
	3.
	4.
	5.





1 D/S LED ILLUMINATED PYLON
 24' HIGH WITH SIGNPRO FILLER & FRAMES
 (7) led 100 w Power Supply
TOTAL AMPERAGE - 14 AMPS max



KING PRINTING & SIGNS INC.

T: 905.673.9229 F: 905.672.8338 e: info@kpsign.com w: www.kpsign.com
 7195 Tranmere Dr., Unit #3, Mississauga, Ontario L5S 1N4

Client: Dowling Plaza
 Address: 2275-2285 Britannia Rd.
 Mississauga
 Approved By: _____
 Name: _____
 Signature: _____

Date: July 05, 2018
 Designed By: Niles
 CONCEPTUAL
 Not For Construction
 SHOP READY
 Construction Capable

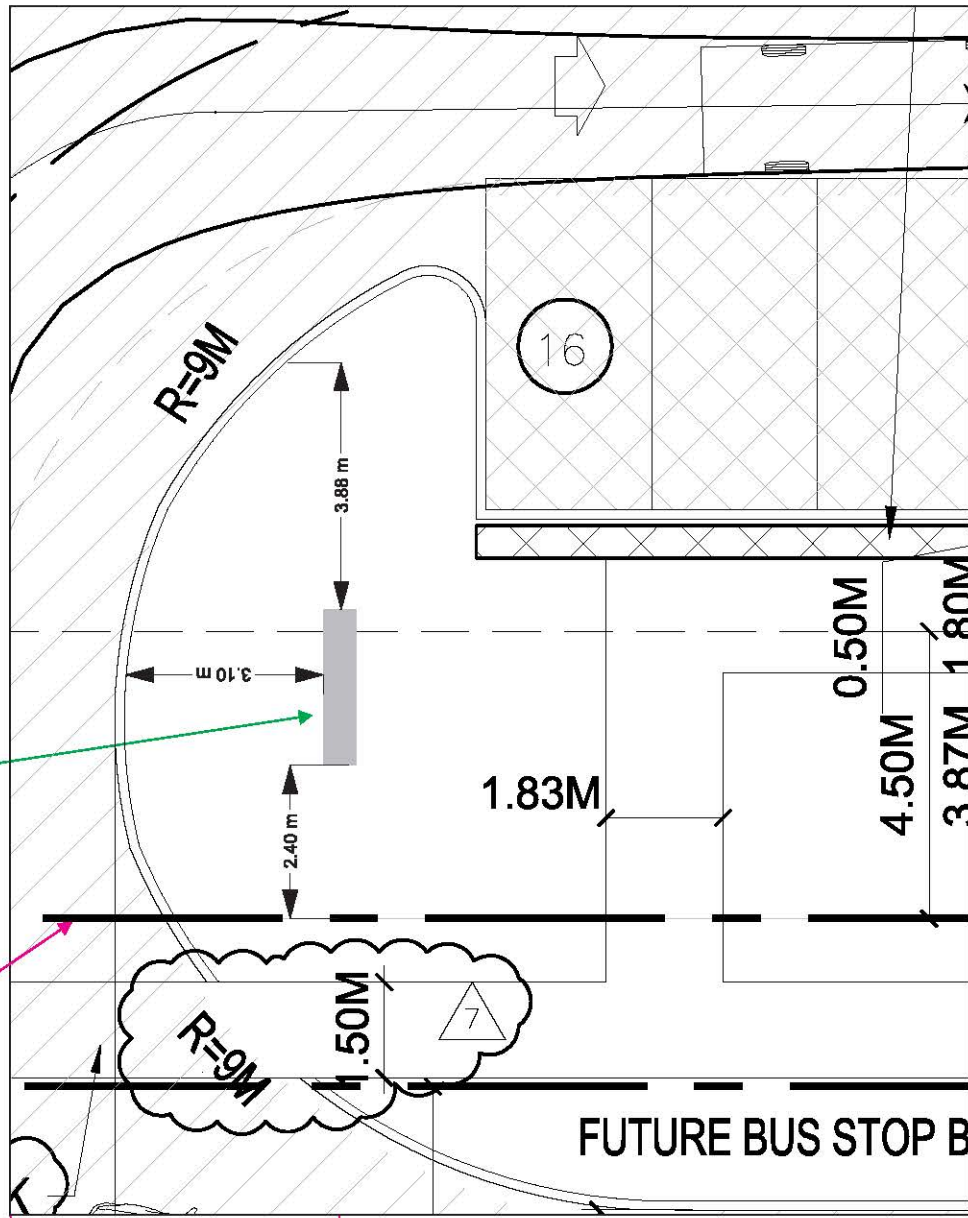
Filler _____
 Acrylic _____
 Trim _____
 Power Supply _____

L.E.D. _____
 Vinyl (1) _____
 (2) _____
 (3) _____

Comments	Rev
	1.
	2.
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	4.
	5.

Proposed Location of Sign

Property Line



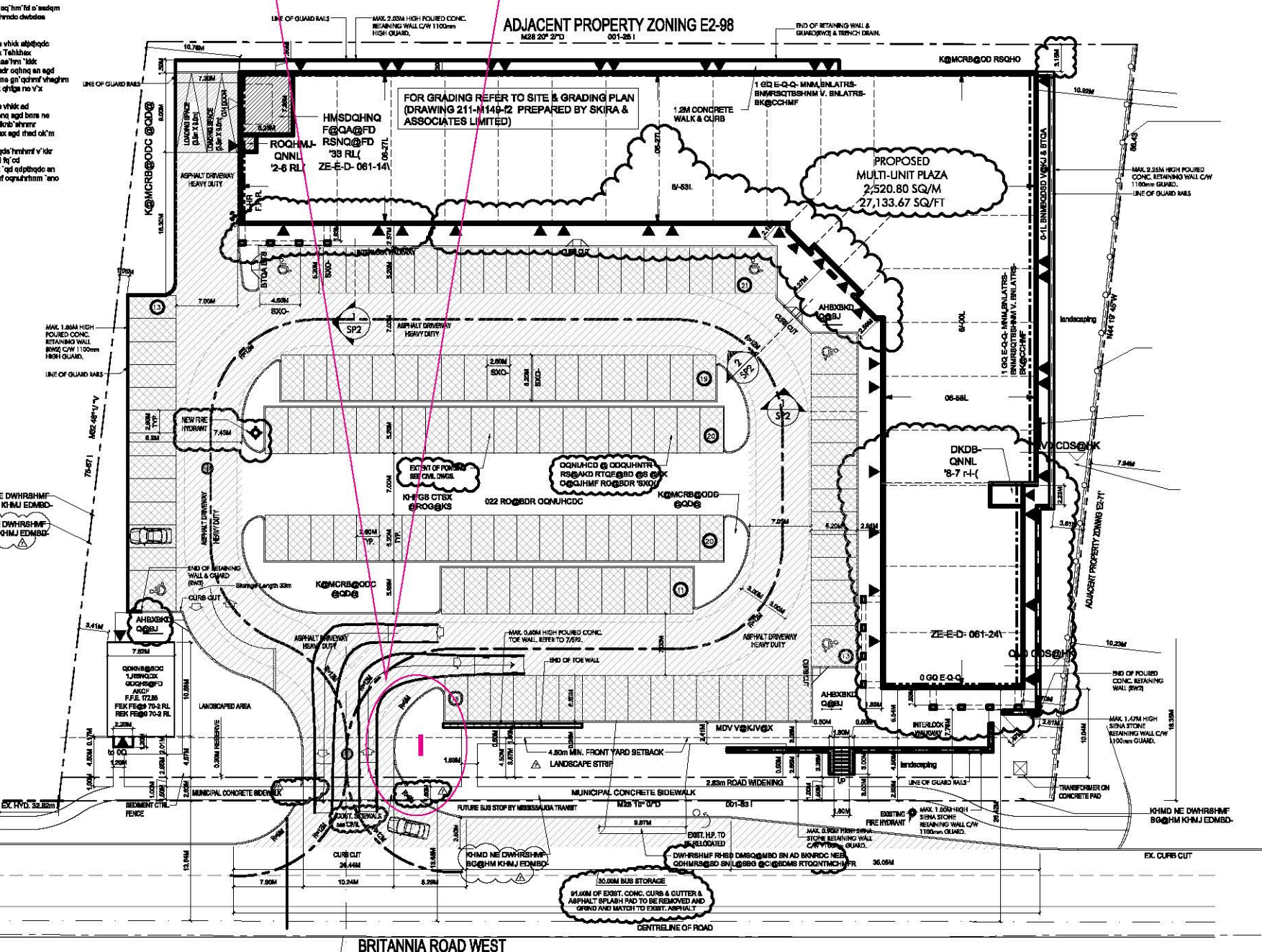
MNSDQ
Sgd' d'wsh'nd' nq' 'hm' 'td' s' 's'nd'm
v'k'k' ad' f' 'hm' 'nd'm' d'wsh'nd'
v'g'rd' m'nd'c'

Sgd' 'o'k'h' 'm' v'k'k' s'p'h'q'd'
an' b'm'e' 'u' 'k'k' 't'k'h'k'c'
k'k'o' 'm'h'r' an' n'ae' 'y'm' 'k'k'
s'p'h'q'd' k'k'o' 'ad' 'o'h'ng' an' s'gd'
h'e'n' 'k'k' 's'h'e'm' n'ae' g'rd' 'q'p'm' 'h'g'g'm'
s'gd' 'l'm'h'h'o' 'k' 'd'g'p'a' n'ae' v'x'

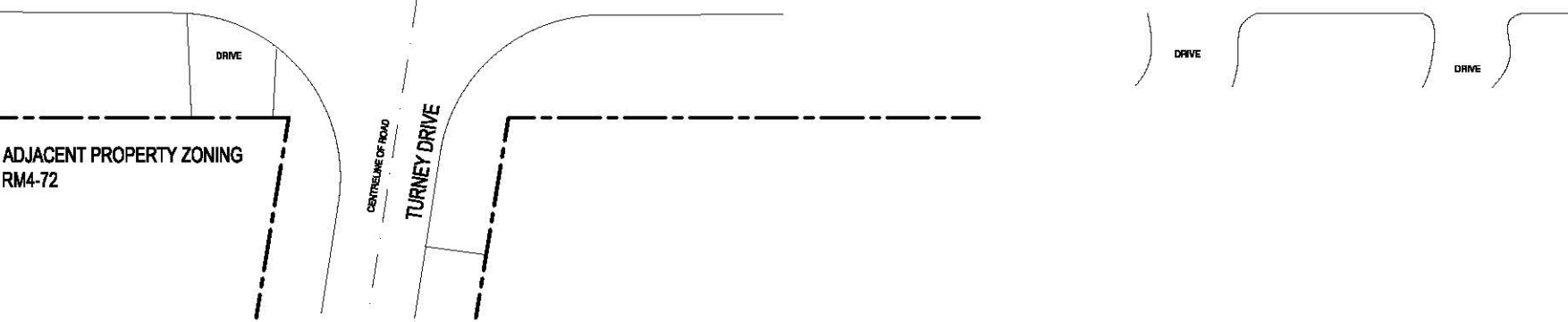
Sgd' 'o'k'h' 'm' v'k'k' ad'
q'p'm' 'v'k'k' 's'gd' b'm'e' n'ae'
'm'x' 'k'h'k'h'c' 's'h'e'm' 's'h'e'm'
m'd'b'r'h' 'a'd' s'gd' 'r'h'e'd' o'k' 'm'

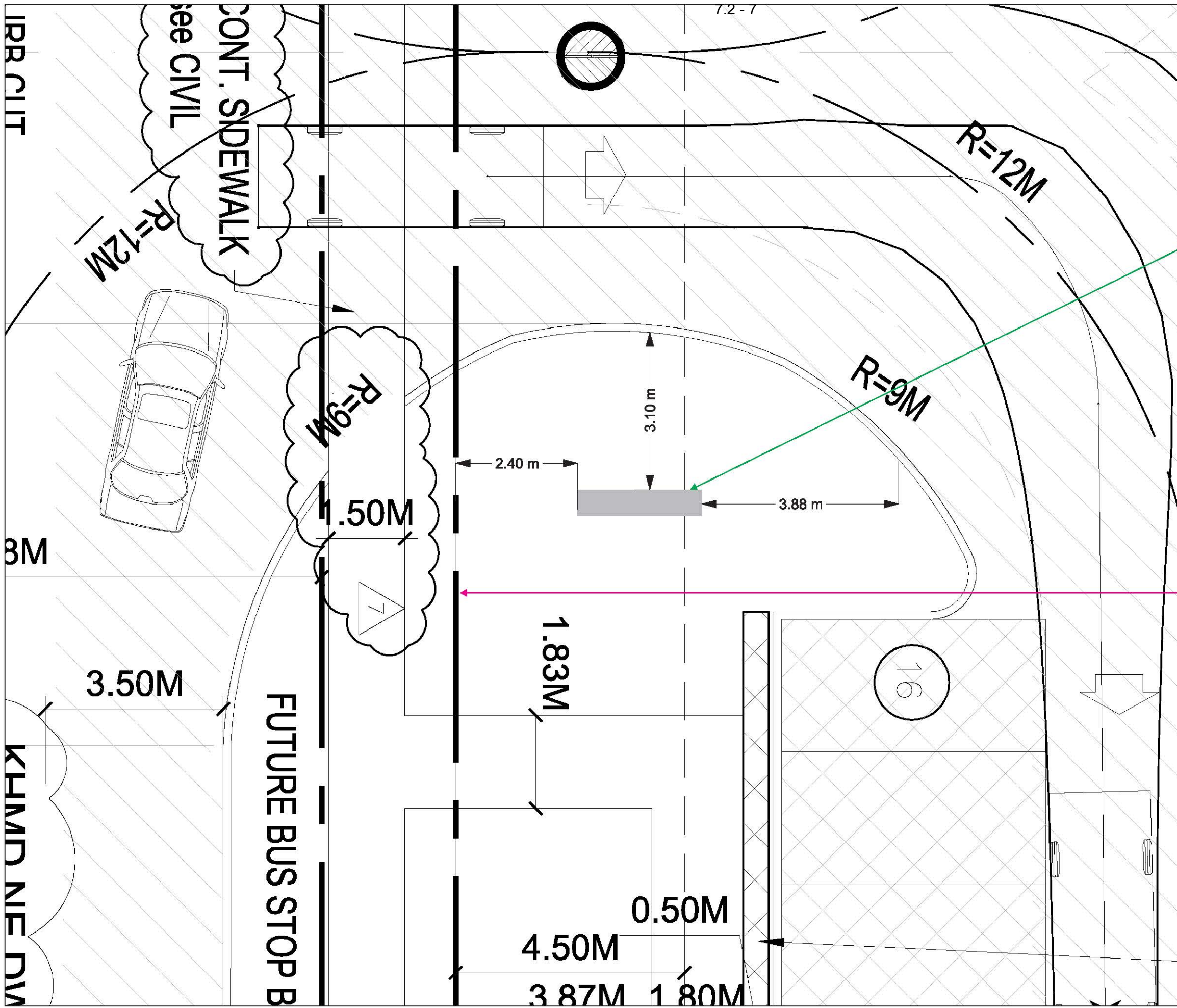
O'q'h'p'm' n'ae' s'gd' 'h'm'b'r' v' 'k'k'
d'wsh'nd' 'f' 'h' 'k' 'o'd'
c'h'e'd'g'm'h' 'k' 'q'd' s'p'h'q'd' an'
g' 'v' 's'g'm'b'm' 'o'q'u'v'm'm' 'l'no'
s'gd' 'k'

ADJACENT PROPERTY ZONING E2-98



BRITANNIA ROAD WEST





Proposed Location of Sign

Property Line

Old Design of Pylon Sign

7.2 - 8



New Design of Pylon Sign



City of Mississauga
Corporate Report



<p>Date: 2018/12/11</p> <p>To: Chair and Members of Heritage Advisory Committee</p>	<p>Originator's files:</p>
<p>From: Paul Mitcham, P. Eng, MBA, Commissioner of Community Services</p>	<p>Meeting date: 2019/01/08</p>

Subject

Request to Demolish a Heritage Listed Property: 6432 Ninth Line (Ward 10)

Recommendation

That the property at 6432 Ninth Line, which is listed on the City's Heritage Register, is not worthy of heritage designation, and consequently, that the owner's request to demolish proceed through the applicable process with the conditions discussed below as per the Corporate Report from the Commissioner of Community Services dated December 11, 2018.

Background

Section 27.3 of the Ontario Heritage Act states that structures or buildings on property listed on the City's Heritage Register cannot be removed or demolished without at least 60 days' notice to Council. This legislation allows time for Council to review the property's cultural heritage value to determine if the property merits designation.

The owner of the subject property has submitted a heritage permit application to demolish the existing structure. The subject property is listed on the City's Heritage Register for architectural reasons, as it is built in the Ontario Cottage style. This style of structure was very common in rural settings during the latter part of the nineteenth century. The structure has been named the Douglass-Kelly House; in honour of the families who formerly dwelt on the property. As noted in the attached Heritage Impact Assessment (Appendix 1), the house is not worthy of designation as there is another house of the same style, the Cordingley House, within close proximity and which is designated under the Heritage Act. The Cordingley House is in much better condition and retains more heritage features than the Douglass-Kelly House. Furthermore, an engineer's report cited in the HIA notes that restoration and relocation would be hazardous to both the house and the individuals undertaking the work.

Comments

The owner of the subject property has requested permission to demolish the existing structure. The applicant has provided a Heritage Impact Assessment, attached as Appendix 1. The consultant has provided an extensive set of alternative development and mitigation options and mitigation measures for the Douglass-Kelly House. Specifically, Sections 8.3, Salvage and Reuse of Materials and Section 8.4, Symbolic Conservation must be explored further by the applicant.

The consultant report notes that some of the historical red frogged bricks which were used to build the house are in a condition which would facilitate conservation and re-use. Furthermore, the Douglass-Kelly House has existed as an example of the former rural residence (the Ontario Cottage vernacular) which dominated this part of Mississauga during the latter nineteenth and early twentieth century. The proposed development of the property consists of planned subdivisions. It is recommended that the applicant conserve heritage material(s) in the form of the brick to a sufficient amount that would allow for their interpretative re-use within the proposed development. The applicant is further requested to carry out interpretation of the conserved heritage elements through signage or a plaque to be prominently displayed within a public and accessible space within the proposed development.

Financial Impact

There is no financial impact resulting from the recommendation in this report.

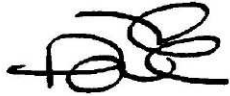
Conclusion

The owner of 6432 Ninth Line has requested permission to demolish a structure on a property that is listed on the City's Heritage Register. The applicant has submitted a documentation report which provides information which does not support the building's merit for designation under the Ontario Heritage Act but does support the conservation and interpretation of heritage elements of the listed structure. Staff concurs with this finding, and recommend that the demolition of the Douglass-Kelly House proceed with the following conditions:

1. The applicant is to make all reasonable effort to salvage and interpretatively re-use heritage material(s) from the Douglass-Kelly House; and
2. The rural heritage of the Douglass-Kelly house is to be symbolically conserved through the interpretative re-use of the heritage material(s) and through signage, plaques or other publically accessible and informative means.

Attachments

Appendix 1: Heritage Impact Statement



Paul Mitcham, P. Eng, MBA, Commissioner of Community Services

Prepared by: John Dunlop, Supervisor, Heritage Planning



**Heritage Impact Assessment
6432 Ninth Line
City of Mississauga, Region of Peel
(Formerly Town of Milton, in the Regional Municipality of Halton), Ontario**

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HR-132-2018
Project # 2018-0184

28/09/2018

Original Report

EXECUTIVE SUMMARY

Under a contract awarded in May 2018 by Mattamy Homes, Land Development, Archaeological Research Associates Ltd. (ARA) carried out a Heritage Impact Assessment (HIA) of the property at 6432 Ninth Line, in the City of Mississauga, Ontario. This HIA is an update to a Heritage Impact Statement completed for the property in 2010 (ARA 2010). 6432 Ninth Line is a listed heritage property on the *City of Mississauga's Municipal Register of Property of Cultural Heritage Value or Interest*. It is listed as the "Douglass-Kelly House" and was included on the register due to its architectural value.

The property located at 6432 Ninth Line was originally located within the boundaries of the Town of Milton. On January 1, 2010 lands situated east of Highway 407, including the subject property, were annexed to the City of Mississauga (City of Mississauga 2009). The property is located within the eastern half of Lot 8, Concession 9, New Survey, in the former Geographic Township of Trafalgar, in the former Halton County, Ontario.

The Heritage Impact Assessment approach consisted of the following:

- Background research concerning the project context, natural context and historical context of the study area;
- Consultation with the City's of Mississauga Heritage Planner;
- Identification of any designated or recognized cultural heritage properties within and adjacent to the subject lands;
- On-site inspection and identification of all properties with potential Built Heritage Resources (BHR) and Cultural Heritage Landscapes (CHL) within, adjacent to or otherwise in close proximity to the subject lands;
- A description of the location and nature of potential cultural heritage resources;
- Evaluation of potential cultural heritage resources against the criteria set out in Ontario Regulation 9/06 for determining *cultural heritage value or interest* (CHVI);
- Evaluation of potential project impacts of the proposed development; and
- Provision of suggested strategies for the future conservation of identified cultural heritage resources.

Following consultation, historical research, field survey and evaluation against the criteria set out in O. Reg. 9/06 of the *Ontario Heritage Act*, the property at 6432 Ninth Line was found not to meet any of the criteria. 6432 Ninth Line has had significant modifications that have impacted the integrity of the structure's architectural features and as such it is no longer representative of the Ontario Cottage or Gothic Revival Cottage style. The property is associated primarily with the Watsons, McCurdys, Douglasses and McCarrons who were long-time farming families in the area. Research conducted did not suggest any notable contributions made by the individuals who lived on the property to the community. The contextual value of the property has been diminished through adjacent and proposed contemporary suburban development.

The proposed development will have direct impacts on the subject property. The development entails the demolition and removal of the existing dwelling at 6432 Ninth Line and the construction of three- to six-storey, medium-density residential buildings with rear lane townhomes, front loaded townhomes and six-storey condominiums located along the west side of Ninth Line.

Various conservation and mitigation measures were evaluated for 6432 Ninth Line including: Retention *In Situ*; Relocation; Reuse and Salvage of Materials; and Symbolic Conservation. RAND Engineering Corporation determined that the 6432 Ninth Line dwelling is situated in a location that requires significant grading by raising the site by 3-4 meters to facilitate site drainage and sewer flows, making it necessary to relocate the structure. Zaretsky Consulting Engineers Inc.'s analysis noted that the structure is too fragile for relocation. Furthermore, the feasibility of stucco removal and brick restoration appears uncertain. The historic fabric of the house may be worthy of salvage and reuse. Materials salvaged from the structure could be made available for use in other heritage structures or in potential future symbolic conservation project(s) within the proposed development.

The 2014 *Provincial Policy Statement* notes that CHVI is bestowed upon cultural heritage resources by communities (MMAH 2014). Accordingly, the system by which heritage is governed in this province places emphasis on the decision-making of local municipalities in determining CHVI. It is hoped that the information presented in this report will be useful in those deliberations.

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GLOSSARY OF ABBREVIATIONS

ARA – Archaeological Research Associates Ltd.
BHR – Built Heritage Resource
CHVI – Cultural Heritage Value or Interest
CHL – Cultural Heritage Landscape
HIA – Heritage Impact Assessment
MCL – (Former) Ministry of Culture
MTC – (Former) Ministry of Tourism and Culture
MTCS – Ministry of Tourism, Culture and Sport
OHA – Ontario Heritage Act
OHT – Ontario Heritage Trust
O. Reg. – Ontario Regulation
PPS – Provincial Policy Statement

PERSONNEL

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MINIMUM REPORT REQUIREMENTS CHART

City of Mississauga Minimum Requirements	ARA Equivalent
2.1 Site History	3.0 Site History
2.2 Description of Existing Structures	5.0 Description of Buildings and Structures
2.2 Statement of Conclusions (Significance and Heritage Attributes of the Cultural Heritage Resource)	6.0 Heritage Assessment 10.0 Mandatory Statement
2.2 Location Map	1.0 Project Context
2.3 Documentation of Existing Conditions (Current Internal and External Photographs)	Appendix A: 6432 Ninth Line Images
2.3 Documentation of Existing Conditions (Measured Drawings – Elevations, Floor Plans, and a Site Plan or Survey)	5.0 Description of Buildings and Structures
2.3 Documentation of Existing Conditions (Historical Photos, Drawings or Other Archival Material)	Appendix D: Historical Photos, Drawings and Other Archival Material
2.4 Outline of the Proposed Development	7.0 Proposed Development
2.5 Full Architectural Drawings	7.1 Description of Proposed Development
2.6 Assessment of Alternative Development Options and Mitigation Measures	8.0 Assessment of Alternative Development Options and Mitigation Measures
2.7 Summary of Conservation Principles	8.0 Assessment of Alternative Development Options and Mitigation Measures
2.8 Proposed Demolitions/Alterations	7.0 Proposed Development
2.9 Alternatives for Salvage Mitigation	8.3 Reuse and Salvage of Materials
3. Summary Statement and Conservation Recommendations	9.0 Summary Statement and Conservation Recommendations
4. Mandatory Recommendation	10.0 Mandatory Statement
5. Qualifications	Appendix E: Key Team Member Two-Page Curriculum Vitae

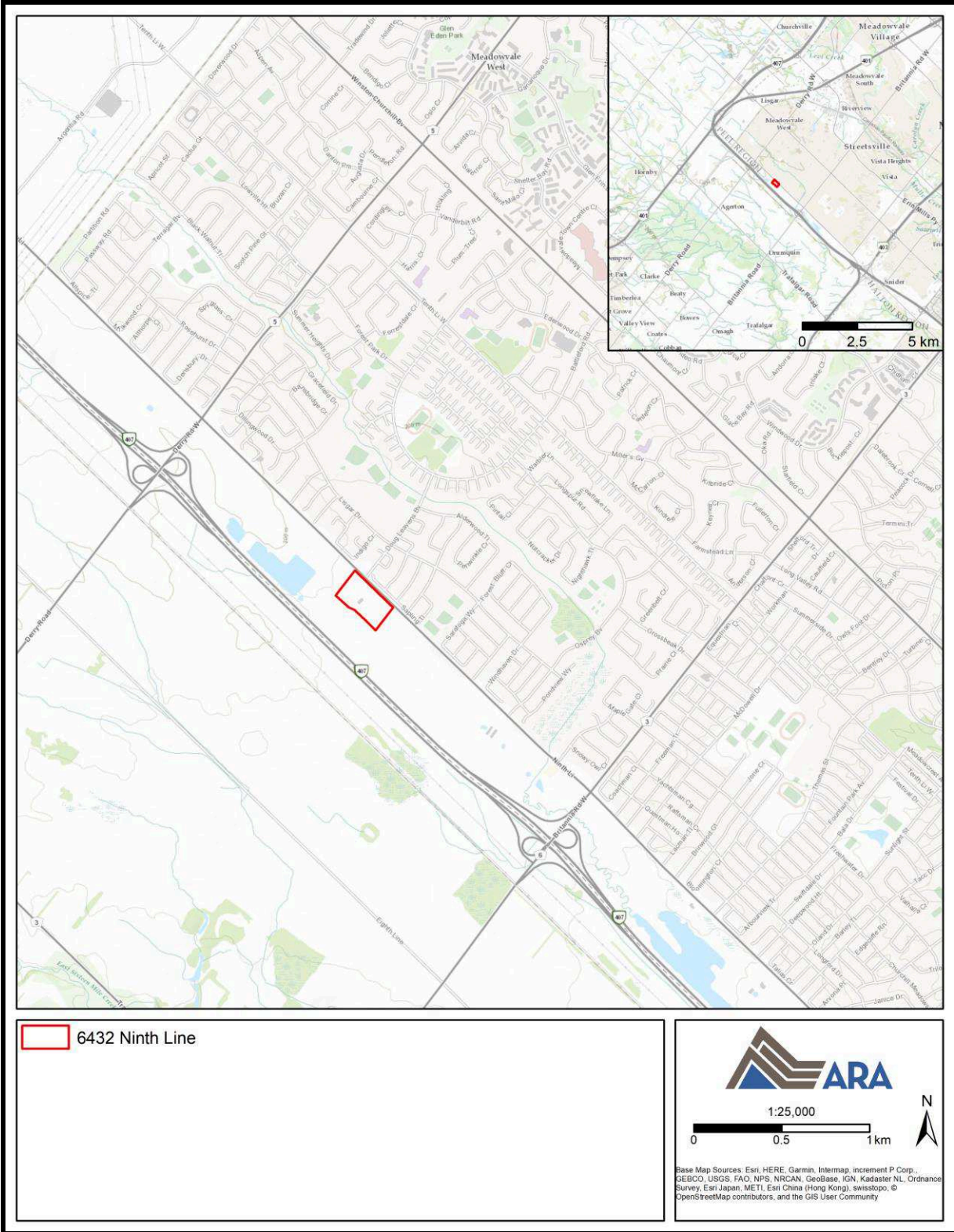
1.0 PROJECT CONTEXT

Under a contract awarded in May 2018 by Mattamy Homes, Land Development, Archaeological Research Associates Ltd. (ARA) carried out a Heritage Impact Assessment (HIA) of the property at 6432 Ninth Line, in the City of Mississauga, Ontario. This HIA is an update to a Heritage Impact Statement completed for the property in 2010 (ARA 2010). 6432 Ninth Line is a listed heritage property on the *City of Mississauga's Municipal Register of Property of Cultural Heritage Value or Interest*. It is listed as the "Douglass-Kelly House" and was included on the register due to its architectural value.

The property located at 6432 Ninth Line was originally located within the boundaries of the Town of Milton. On January 1, 2010 lands situated east of Highway 407, including the subject property, were annexed to the City of Mississauga (City of Mississauga 2009). The property is located within the eastern half of Lot 8, Concession 9, New Survey, in the former Geographic Township of Trafalgar, in the former Halton County, Ontario (see Map 1). The property is listed on the City of Mississauga Municipal Heritage Register.

The purpose of this assessment is to identify and evaluate the cultural heritage resources within the study area that may be impacted by the proposed development. This assessment was conducted in accordance with the aims of the *Planning Act* R.S.O. 1990, c. P.13, *Provincial Policy Statement* (2014), *Ontario Heritage Act*, R.S.O. 1990, c. O.18, *City of Mississauga Official Plan* (2018), and the *City of Mississauga Heritage Impact Assessment Terms of Reference* (2017a).

All notes, photographs and records pertaining to the heritage assessment are currently housed in ARA's processing facility located at 1480 Sandhill Drive – Unit 3, Ancaster, Ontario. Subsequent long-term storage will occur at the same location.



Map 1: Subject Property in the City of Mississauga
 (Produced by ARA under licence using ArcGIS® software by Esri, © Esri)

2.0 METHOD

The framework for this assessment report is provided by provincial planning legislation and policies as well as municipal Official Plans and guidelines. Section 2 of the *Planning Act* indicates that a council of a Municipality have regard for matters of provincial interest such as: “(d) the conservation of features of significant architectural, cultural, historical, archaeological or scientific interest.” Section 3 of the *Planning Act* directs a municipal Council’s decisions to be consistent with the *Provincial Policy Statement* (PPS 2014). Policy 2.6.1 states: “Significant built heritage resources and significant cultural heritage landscapes shall be conserved.”

With respect to cultural heritage, the *Mississauga Official Plan* Policy 7.4.1 states that “Mississauga’s cultural heritage resources reflect the social, cultural and ethnic heritage of the city and, as such, are imperative to conserve and protect” (2018a:7.7). Additionally, Policy 7.4.1.12 states that “the proponent of any construction, development, or property alteration that might adversely affect a listed or designated cultural heritage resource, or which is proposed adjacent to a cultural heritage resource will be required to submit a Heritage Impact Assessment (HIA), prepared to the satisfaction of the City and other appropriate authorities having jurisdiction” (2018:7.8). Additionally, the *City of Mississauga Heritage Impact Assessment Terms of Reference* (2017a) outline the required elements for HIAs prepared on properties situated within the City of Mississauga.

2.1 Key Concepts

The following concepts require clear definition in advance of the methodological overview; proper understanding is fundamental for any discussion pertaining to cultural heritage resources:

- **Cultural Heritage Value or Interest** (CHVI), also referred to as Heritage Value, is identified if a property meets one of the criteria outlined in O. Reg. 9/06 namely historic or associate value, design or physical value and/or contextual value. Provincial significance is defined under *Ontario Heritage Act (OHA)* O. Reg. 10/06.
- **Built Heritage Resource** (BHR) can be defined in the *PPS* as: “a building, structure, monument, installation or any manufactured remnant that contributes to a property’s cultural heritage value or interest as identified by a community, including an Aboriginal community. Built heritage resources are generally located on property that has been designated under Parts IV or V of the *OHA*, or included on local, provincial and/or federal registers” (MMAH 2014:39).
- **Cultural Heritage Landscape** (CHL) is defined in the *PPS* as: “a defined geographical area that may have been modified by human activity and is identified as having cultural heritage value or interest by a community, including an Aboriginal community. The area may involve features such as structures, spaces, archaeological sites or natural elements that are valued together for their interrelationship, meaning or association. Examples may include, but are not limited to, heritage conservation districts designated under the *Ontario Heritage Act*; villages, parks, gardens, battlefields, mainstreets and neighbourhoods, cemeteries, trailways, viewsheds, natural areas and industrial complexes of heritage significance; and areas recognized by federal or international designation authorities (e.g., a National Historic Site or District designation, or a UNESCO World Heritage Site)” (MMAH 2014:40).

It is recognized that the heritage value of a CHL is often derived from its association with historical themes that characterize the development of human settlement in an area (Scheinman 2006). In Ontario, typical themes which may carry heritage value within a community include, but are not limited to: 1) Pre-Contact habitation, 2) early European exploration, 3) early European and First Nations contacts, 4) pioneer settlement, 5) the development of transportation networks, agriculture and rural life, 6) early industry and commerce, and/or 7) urban development. Individuals CHLs may be related to a number of these themes simultaneously.

The *Operational Guidelines for the Implementation of the World Heritage Convention* defines several types of CHLs: 1) designed and created intentionally by man, 2) organically evolved landscapes which fall into two-subcategories (relic/fossil or continuing), and 3) associative cultural landscapes (UNESCO 2008:86). MCL (at the time) *Information Sheet #2 Cultural Heritage Landscapes* (MCL 2006c) repeats these definitions to describe landscapes in Ontario.

- **Conserved** means “the identification, protection, management and use of built heritage resources, cultural heritage landscapes and archaeological resources in a manner that ensures their cultural heritage value or interest is retained under the *Ontario Heritage Act*. This may be achieved by the implementation of recommendations set out in a conservation plan, archaeological assessment, and/or heritage impact assessment. Mitigative measures and/or alternative development approaches can be included in these plans and assessments” (MMAH 2014:40).
- **Heritage Attributes** are defined in the *Ontario Heritage Act* as: “the principal features or elements that contribute to a protected heritage property’s cultural heritage value or interest, and may include the property’s built or manufactured elements, as well as natural landforms, vegetation, water features, and its visual setting (including significant views or vistas to or from a protected heritage property means, in relation to real property, and to the buildings and structures on the real property, the attributes of the property, buildings and structures that contribute to their cultural heritage value or interest” (Government of Ontario 2009).
- **Significant** in reference to cultural heritage is defined as: “resources that have been determined to have cultural heritage value or interest for the important contribution they make to our understanding of the history of a place, an event, or a people” (MMAH 2014:49).

Key heritage definitions from the *City of Mississauga Official Plan* are as follows:

- **Heritage Impact Assessment** is defined as “a statement that will identify all heritage resources of a property; describe and evaluate their heritage significance; and, evaluate their sensitivity to a proposed development, use or reuse, including, where possible, measures to mitigate deleterious consequences” (City of Mississauga 20a18:20-4).

2.2 Types of Recognition

BHRs and CHLs are broadly referred to as cultural heritage resources. A variety of types of recognition exist to commemorate and/or protect cultural heritage resources in Ontario.

The National Historic Sites program commemorates important sites, people or events that had a nationally significant effect on, or illustrate a nationally important aspect of, the history of

Canada. The Minister of Canadian Heritage on the advice of the Historic Sites and Monuments Board of Canada (HSMBC) makes recommendations to the program. Yet another form of recognition at the federal level is the Canadian Heritage Rivers System program. It is a federal program to recognize and conserve rivers with outstanding natural, cultural and recreational heritage. It is important to note that both of these federal commemoration programs do not offer protection from alteration or destruction.

The Ontario Heritage Trust (OHT) operates the Provincial Plaque Program that has over 1,250 plaques located across the province recognizing key people, places and events that shaped Ontario. Additionally, properties owned by the province may be recognized as a “provincial heritage property” (MTC 2010).

Protected properties are those designated under Part IV (individual properties) or Part V (Heritage Conservation District) of the *OHA*. Once designated, a property cannot be altered or demolished without the permission of the local council. A cultural heritage resource may also be protected through a municipal or OHT easement. Many heritage committees and historical societies provide plaques for local places of interest.

Under *Section 27* of the *OHA*, a municipality must keep a Municipal Heritage Register. A register lists designated properties as well as other properties of cultural heritage value or interest in the municipality. Properties on this list that are not formally designated are commonly referred to as “listed.” Listed properties are flagged for planning purposes and are afforded a 60-day delay in demolition if a demolition request is received.

2.3 Approach

The City of Mississauga’s *Heritage Impact Assessment Terms of Reference* outlines the contents required to determine the impacts to known and potential heritage resources within a defined area proposed for future development. This HIA records a detailed site history; a location map; complete listing and full written descriptions of all existing structures on the property; documentation, including current photographs, and floor plans; an outline of the proposed development; an assessment of alternative development options and mitigation measures; a summary of conservation principles; an explanation of proposed demolitions/alterations; alternatives for salvage mitigation; and a clear statement of the conclusions regarding the significance and heritage attributes of the cultural heritage resource (City of Mississauga 2017a).

2.3.1 Historical Research

Background information is obtained from aerial photographs, historical maps (i.e., illustrated atlases), archival sources (i.e., historical publications and records), published secondary sources (online and print) and local historical organizations. Given that research is constrained to sources in the public record and conducted in a limited time frame there is the possibility that additional historical information exists but may not have been identified.

2.3.2 Consultation

Consultation with the local community is essential for determining the community value of cultural heritage resources. At project commencement, ARA contacted the relevant local municipalities to inquire about: 1) protected properties in the study area, 2) properties with other types of recognition in the study area, 3) previous studies relevant to the current study, and

4) other heritage concerns regarding the study area or project. Where possible, information was sought directly from the MTCS and OHT. In this case, the City of Mississauga was contacted to obtain feedback on the potential cultural heritage resources in the vicinity as well as the scope of the study.

2.3.3 Field Survey

The field survey component of an assessment involves the collection of primary data through systematic photographic documentation of all potential cultural heritage resources within the study area, as identified through historical research and consultation. Additional cultural heritage resources may also be identified during the survey itself. Photographs capturing all properties with potential BHRs and CHLs are taken, as are general views of the surrounding landscape. The site visit also assists in confirming the location of each potential cultural heritage resource and helps to determine the relationship between resources.

2.4 Evaluation of Significance

In order to objectively identify cultural heritage resources, O. Reg. 9/06 made under the *OHA* sets out three principal criteria with nine sub-criteria for determining CHVI (MCL 2006a:20–27). The criteria set out in the regulation were developed to identify and evaluate properties for designation under the *OHA*. Best practices in evaluating properties that are not yet protected employ O. Reg. 9/06 to determine if they have CHVI. These criteria include: design or physical value, historical or associative value and contextual value.

Design or Physical Value manifests when a feature:

- is a rare, unique, representative or early example of a style, type, expression, material or construction method;
- when it displays a high degree of craftsmanship or artistic value; or
- when it displays a high degree of technical or scientific achievement.

Historical or Associative Value appears when a resource has:

- direct associations with a theme, event, belief, person, activity, organization or institution that is significant to the community;
- yields or has the potential to yield information that contributes to the understanding of a community or culture; or
- demonstrates or reflects work or ideas of an architect, builder, artist, designer or theorist who is significant to the community.

Contextual Value is implied when a feature:

- is important in defining, maintaining or supporting the character of an area;
- is physically, functionally, visually or historically linked to its surroundings; or
- is a landmark.

If a potential cultural heritage resource (BHR or CHL) is found to meet any one of these criteria, it can then be considered an identified resource.

2.5 Evaluation of Impacts

Any potential project impacts on identified BHRs or CHLs must be evaluated, including direct and indirect impacts. *InfoSheet #5: Heritage Impact Assessments and Conservation Plans* (2006b:3) provides an overview of several major types of negative impacts, including but not limited to:

- Destruction of any, or part of any, significant heritage attributes;
- Alteration that is not sympathetic, or is incompatible, with the historic fabric and appearance;
- Shadows created that alter the appearance of a heritage attribute or change the viability of a natural feature or plantings, such as a garden;
- Isolation of a heritage attribute from its surrounding environment, context or significant relationship;
- Direct or indirect obstruction of significant views or vistas within, from, or of built and natural features;
- A change in land use such as rezoning a battlefield from open space to residential use, allowing new development or site alteration to fill in the formerly open spaces; and
- Land disturbances such as a change in grade that alters soils, and drainage patterns that adversely affect an archaeological resource.

2.6 Mitigation Strategies

If potential impacts to identified heritage resources are determined, proposed conservation or mitigative/avoidance measures must be recommended.

The Ministry of Culture's *InfoSheet #5: Heritage Impact Assessments and Conservation Plans* (2006b:3) lists several specific methods of minimizing or avoiding a negative impact on a cultural heritage resource, including but not limited to:

- Alternative development approaches;
- Isolating development and site alteration from significant built and natural features and vistas;
- Design guidelines that harmonize mass, setback, setting, and materials;
- Limiting height and density;
- Allowing only compatible infill and additions;
- Reversible alterations; and
- Buffer zones, site plan control, and other planning mechanisms.

Many of these mitigation strategies are echoed in the City of Mississauga's *Heritage Impact Assessment Terms of Reference* that also lists salvage mitigation, relocation, ruinification and symbolic conservation (2017a).

2.7 Summary of Approach

The approach outlined herein is supported by the best practices, guidelines and policies of the following:

- The *Provincial Policy Statement* (2014);
- The *Ontario Heritage Act* (R.S.O. 1990);

- The *Ontario Heritage Tool Kit* series (MCL 2006a);
- City of Mississauga *Official Plan* (2018); and
- City of Mississauga *Heritage Impact Terms of Reference* (2017a).

The Senior Review was undertaken by P.J. Racher, M.A., CAHP. The Heritage Operations Manager was K. Jonas Galvin, M.A., CAHP and the Project Manager was P. Young, M.A., CAHP. The site visit was completed by K. Jonas Galvin and P. Young. S. Clarke, B.A. completed the historical research and Andrea Carswell, B.A., D.CCM provided conservation information. C. Richer, M.Sc.Pl., K. Jonas Galvin, P. Young and L. Benjamin M.E.S, CAHP were the technical writers. Curriculum Vitae for these key personnel can be found in Appendix E.

3.0 SITE HISTORY

The research documented below includes research outlined in the Heritage Impact Statement completed for the property in 2010 (ARA 2010) and builds upon it in Sections 3.1-3.3.

3.1 Trafalgar Township, Former County of Halton

The early history of the study area can be effectively discussed in terms of major historical events. The principal characteristics associated with these events are summarized in Table 1.

Table 1: County and Township Settlement History
(Wilson's Publishing Co. 2000, Warnock 1862; Cumming 1971; Town of Oakville 2008)

Historical Event	Timeframe	Characteristics
Loyalist Influx	Late 18 th century	United Empire Loyalist influx after the American Revolutionary War (1775–1783); British develop interior communication routes and acquire additional lands; <i>Constitutional Act</i> of 1791 creates Upper and Lower Canada.
Peel County Development	Late 18 th and early 19 th century	Area initially adjacent to York County's 'West Riding'; Became part of York County's 'West Riding' in 1798; Southern portion acquired as part of the 'First Purchase of the Mississauga Tract' in 1805; Northern portion acquired as part of the 'Second Purchase' or 'Ajetance Purchase' in 1818; Peel County established after the abolition of the district system in 1849.
Trafalgar Township Formation	Early 19 th century	First settlers arrived in southeastern part of Trafalgar (the 'Old Survey') ca. 1807; Prominent early families in the south included the Sovereigns, Proudfoots, Kattings, Freemans, Posts, Biggars, Mulhollands, Kenneys, Chalmers, Albertsons, Chisholms, Sproats, Browns and Hagars; Population reached 548 by 1817, with four saw mills and one grist mill in operation; the 'New Survey' comprised the northwestern lands acquired in 1818.
Trafalgar Township Development	Mid-19 th and early 20 th century	By 1846, 28,375 ha had been taken up in Trafalgar, with 11,404 ha under cultivation; 23 saw mills and seven grist mills in operation at that time; Population reached 4,513 by 1850; Traversed by the Hamilton & Toronto Branch of the Great Western Railway (1855), the Hamilton & North Western Railway (1877) and the Credit Valley Railway (1877); Communities at Milton, Hornby, Auburn, Boyne, Omagh, Drumquin in the north and Oakville, Bronte, Palermo, Trafalgar, Munn's Corner and Sheridan in the south.
Town of Oakville Amalgamation & Transfer to Peel	Mid-20 th and early 21 st century	In 1962, the Township of Trafalgar and the Town of Oakville amalgamated to form a new Town of Oakville with four wards (Town of Oakville 2008:3); At this time, the Township of Trafalgar was part of the County of Halton; In 2009, lands from the Town of Milton were annexed to become part of the City of Mississauga (City of Mississauga 2009).

3.2 Study Area

As discussed in Section 1.0, the study area for this assessment falls on part of Lot 8, Concession 9 in the Geographic Township of Trafalgar, in the former Halton County, Ontario.

To reconstruct the historic land use of the study area, ARA examined four historical maps that documented past residents, structures (i.e., homes, businesses and public buildings) and features between the early-19th and late-19th centuries, in addition to one aerial image from the mid- to late-20th century. Specifically, the resources outlined in Table 2 were consulted.

Table 2: Maps and Aerial Photographs Consulted

Year	Map Title	Reference
1806	Trafalgar Township Patent Plan	Wilmot
1858	Tremaine's Map of the County of Halton, Canada West	Tremaine
1877	Northern Part of Trafalgar	Walker & Miles
1909	Brampton Sheet No. 35 [03M12] Topographic Map	OCUL
1954	Aerial Photo	U of T

The limits of the study area are shown on: 1) georeferenced versions of the consulted historical maps, and 2) georeferenced version of the aerial image from 1954 (see Map 2 - Map 6).

Samuel Wilmot's patent plan for Trafalgar Township indicates that Crown and Clergy Reserves had been selected and the road allowance for Ninth Line had been surveyed by 1806. By 1858, settlement within Trafalgar Township was well established, with cross-roads communities and lots taken up for farming enterprises. Structures are not depicted on the 1858 map; however, property occupants are indicated, and William Watson is noted as the occupant of the east half of Lot 8, Concession 9 (see Map 3). McCurdy's Corners, settled in the 1820s, was a hamlet located at the intersection of Ninth Line and Derry Road to the north of the subject property. By 1830 a schoolhouse had been erected and a few years later a Methodist Church was constructed (Heritage Mississauga 2009). The hamlet of Drumquin, situated at the intersection of modern Trafalgar and Britannia Roads, is located southwest of the subject property and served as the post office for the former inhabitants.

The 1877 map of Trafalgar Township indicates that George Douglas was the occupant of the east half of Lot 8, Concession 9, with a farmhouse and two orchards depicted on his property fronting Ninth Line (see Map 4). The Hamlet of Drumquin remained extant at this time, as does the community of Auburn (also known as Agerton) at the intersection of Trafalgar and Derry Roads northwest of the subject property.

By 1909, the tributary of Sixteen Mile Creek that was historically located to the east of the subject property had been realigned to the west/rear of the subject property within the east half of Lot 8, Concession 9 (see Map 5). An aerial photograph from 1954 indicates that the subject property and surrounding environs continued to be used for agricultural purposes (see Map 6). The Sixteen Mile Creek tributary remained essentially within the same alignment as depicted in the 1909 topographic map.

3.3 Subject Property

The Crown Patent for the east half (100 acres) of Lot 8, Concession 9 (the subject property) in the Township of Trafalgar, Halton County went to Christopher Row in 1840. Row and his wife Mary owned the property for about 10 years before selling it to William Watson in March 1851 for £300.

William Watson and his wife Elizabeth owned the 100-acre farm for about 10 years, from their purchase in 1851 until William's death around 1861 (Map 2). Beginning in 1858, seven years after he purchased the property, Watson mortgaged the property five times. All the mortgages were paid off and discharged before his death. Nineteenth century mortgage financing was often an indication of money being raised for construction suggesting that a new residence may have been built on the property during this time. According to the *Census of 1861*, Elizabeth Watson was living with her children and in a 1 ½ storey brick house following the death of her husband William at the age of 55 in 1860 from Consumption (LAC 1861). That same year, the Watson's housed three labourers. An additional residence is not noted in the census records, though it is noted that only one family resided in the Watson home, suggesting that labourers lived in an ancillary residence on the property. The census information suggests the current dwelling at 6432 Ninth Line was constructed prior to 1861.

In 1862, William Watson's widow, Elizabeth sold the 100-acre property, left to her by her husband's will, to Edward Coyne for \$4,000 (Inst #11 Table 4). Within a year, in 1863, Coyne transferred the property to Daniel Sturdy, a gentleman of Dorset County, in England, formerly of Toronto (Inst #160/1863). It appears that the transfer was to secure a pledge or other performances between the parties. Whatever their agreement, by July 1866, Coyne had defaulted, and the property vested in Daniel Sturdy, who in turn sold the property to Archibald McCurdy for \$1,500 (Inst #37 & 38; Table 4). Archibald McCurdy owned the property for four years, from July 1866 until November 1870, during which time he raised \$2,200 secured by two mortgages.

In October 1870, McCurdy and his wife Mary Anne sold the property to George Douglas for \$2,700 (Inst. #505 Table 4). The 1877 *Historical Atlas for the Township of Trafalgar* shows a house and orchard on the East half of Lot 8 Concession 9, which was then owned and occupied by George Douglas (See Map 4).

According to the *Census of 1871*, George Douglas (31) was a Scottish, Presbyterian farmer who resided with his wife Laura (29), and children Charles (8), Rose A. (6), Victoria (4) and Peter (9 months) (LAC 1871). By 1881, in addition to their children enumerated in the 1871 census, the Douglas family had grown by another daughter (Nellie/Margaret 2) and two sons (Bismark 5, George 4), though their eldest son Charles had left home by this time (LAC 1881; Table 5). In 1882, tragedy befell the Douglas family with the death of George's wife Laura as a result of blood poisoning (AO 1882; Image 1).

The *Census of 1891* indicates that George Douglas had remarried following the death of his first wife, Laura. George Douglas (51), was residing in a two-storey, eight room, brick house with his second wife Mary (41), and children Peter (21), George (14), Nellie/Margaret (12) and Bismark (16) (LAC 1891). At the time that the census was taken, the Douglas family property also had an uninhabited two-storey frame residence on it. It is possible that the uninhabited two-storey frame residence was used to house seasonal labourers required for farming operations, or that it was constructed to house other family members on the property prior to 1891.

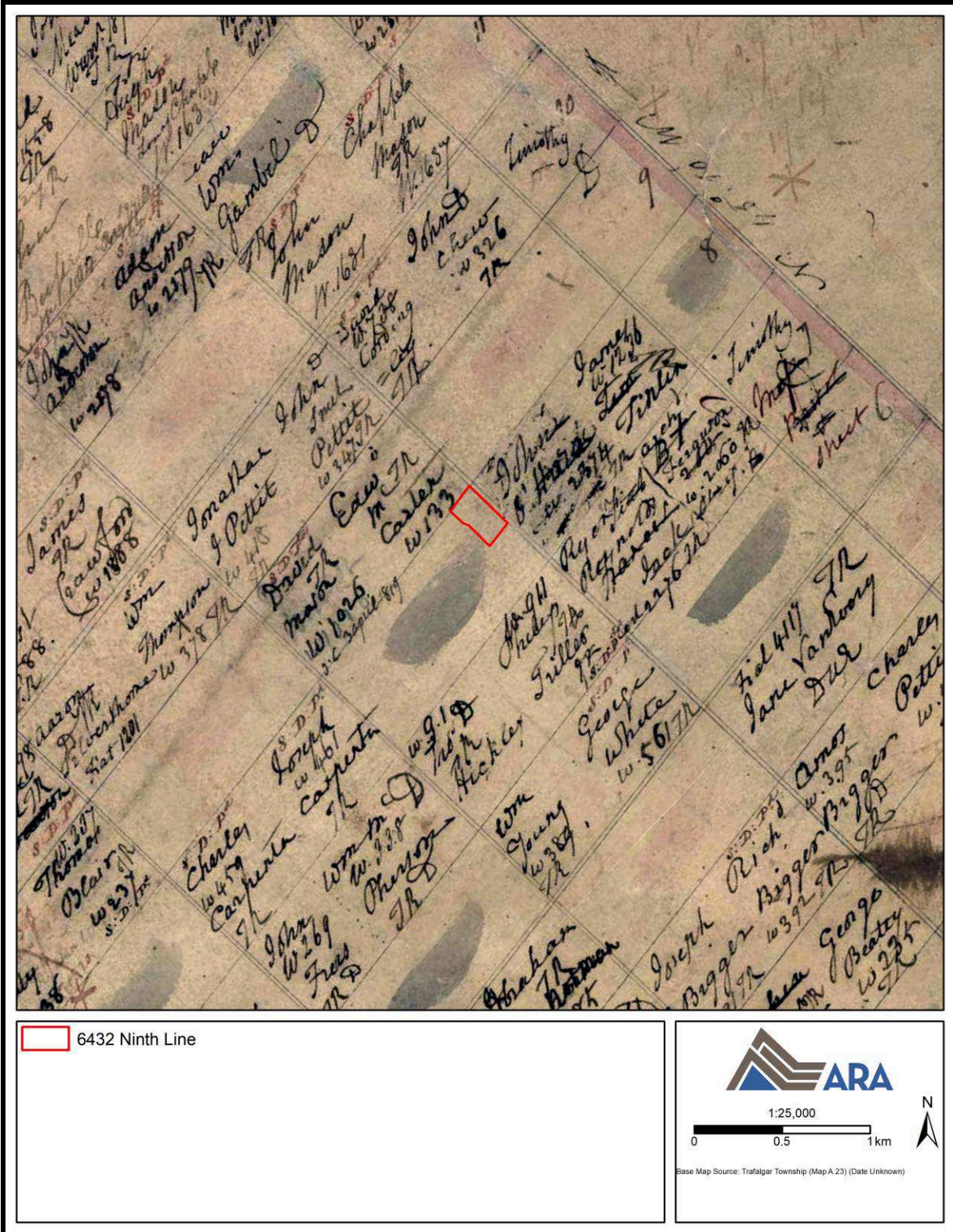
Douglas and his family resided on the property for almost 30 years until November 1899, when William J. McCarron, an Irish Catholic, purchased the 100-acre property farm from George Douglas for \$6,450 (Inst #7397; Table 4). During his 50 years in Trafalgar Township, William McCarron acquired additional farm property on Concession 10 (on the east side of Ninth Line) and raised a large family. The *Census of 1911* lists the occupants of the house on Lot 8, Concession 9 as William J. McCarron (39, b.1872), his wife Maria (29, b. 1881), and six children: Irene (10, b.1900), Christina (9, b.1902), William (7, b.1903), May (6, b.1905), Roy (4, b.1907) and Arthur (1, b. 1909) (LAC 1911). Another three children were born after 1911 (LAC 1921).

When William Joseph McCarron died in May 1951, his Will and Probate named nine children. He left cash bequests to his daughters and the farm property to his sons (Probate #6979GR; Table 4). By his will, he left his son, Cecil McCarron, his “home farm” on the East half of Lot 8, Concession 9, he left 40 acres of the east half of Lot 9, Concession 10 to his son Roy, and the remaining 60 acres of East half Lot 9 Concession 10 to his son Frank.

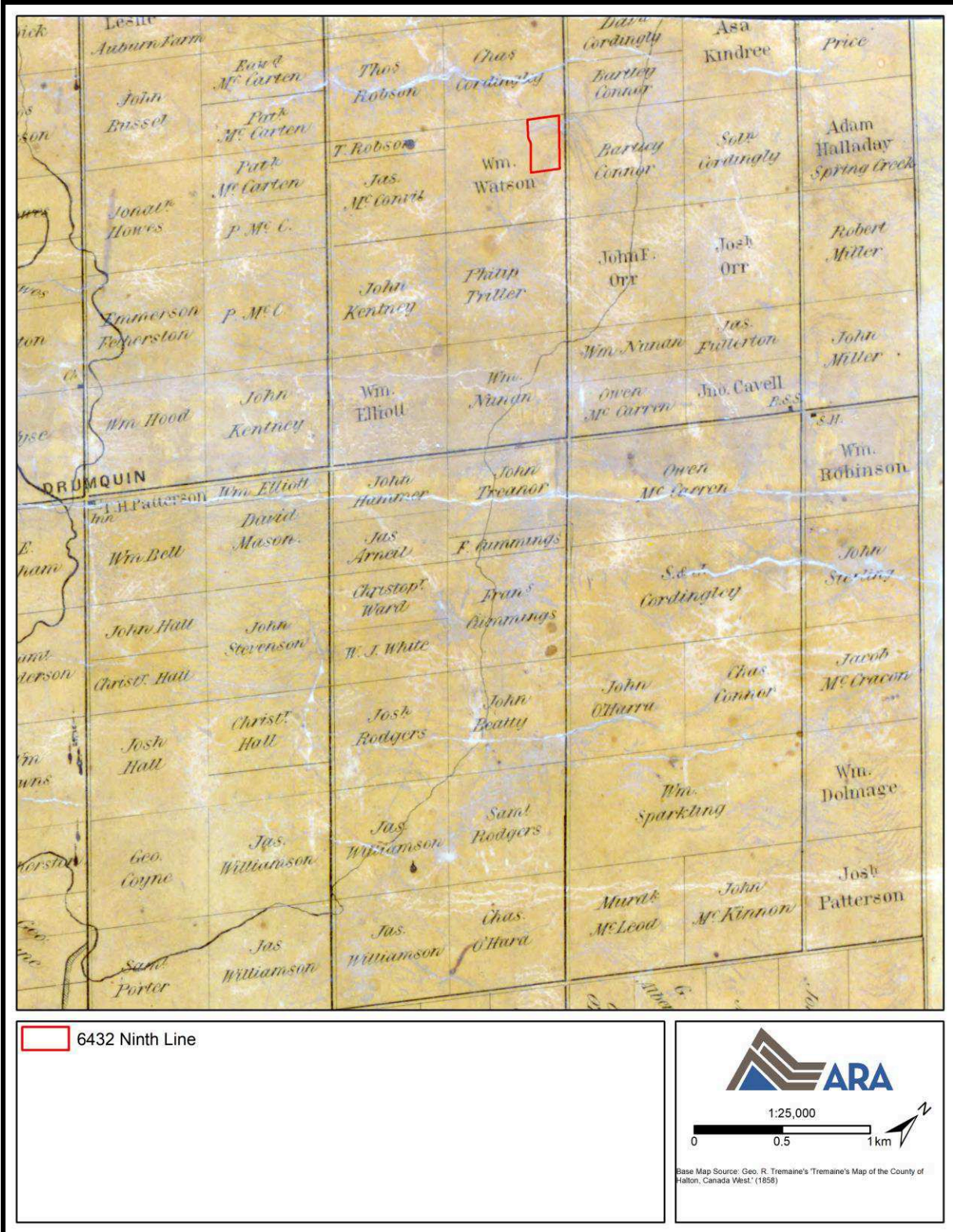
Cecil McCarron retained his family’s farm until 1967, when he sold the south 50 acres for \$52,500 (Inst #230372; Table 4). In 1976, McCarron divided his remaining property again, this time selling the west half (approximately 23.5 acres) to the Ministry of Government Services (Table 4). Part of this land was later incorporated into the present alignment of Highway 407.

Cecil retained the remainder of the McCarron family farm (approximately 12.6 acres), including all the buildings, until his death in 1987. It appears that Cecil left no next of kin (Table 4). After his death in 1987, the property was purchased by Francesco, Hedwig, Michele and Candida Scapicchio, Francesco and Antonietta Fraschini, and Gino and Linda DelleDonne, who retained ownership until 2007 when the property was purchased by Derry Britannia Developments Inc. for a proposed development. The property is associated with a number of long-time farming families including the Douglasses, the McCurdys and the McCarrons. The Douglas family is associated with the nearby hamlet of McCurdy’s Corners, as is the Archibald McCurdy family that purchased the property in 1870. However, currently available resources (i.e., land registry records, PAMA Perkins Bull Collection family files, Heritage Mississauga write up on McCurdy’s Corners) suggest that none of the individuals from the Douglas nor McCurdy families that settled on the subject property were prominent in the community. Given that research is constrained to sources in the public record and conducted in a limited time frame there is the possibility that additional historical information exists but may not have been identified.

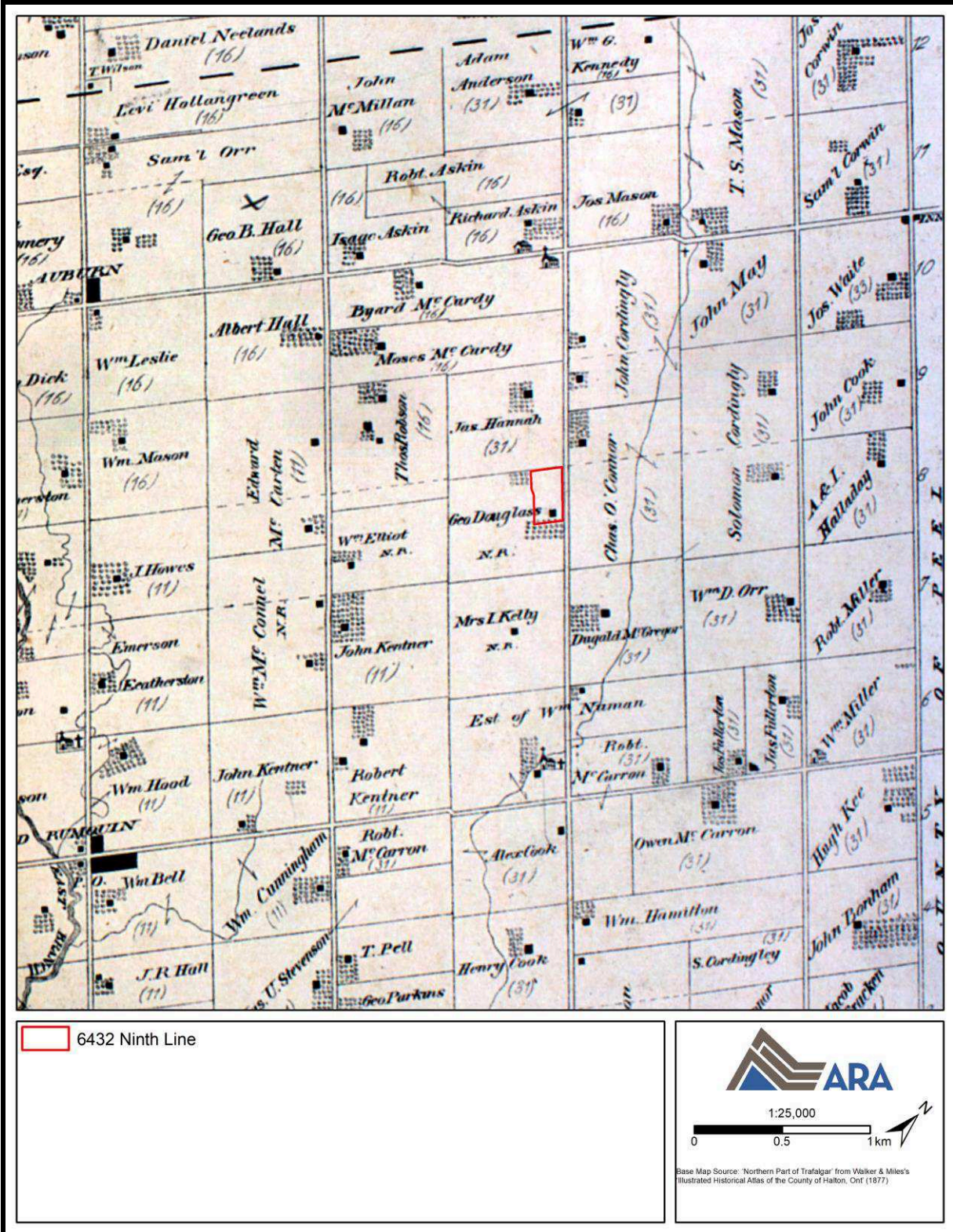
The property is listed *City of Mississauga’s Municipal Register of Property of Cultural Heritage Value or Interest*. It is listed as the “Douglass-Kelly House” however, land registry research as well as Tax Assessment and Collector’s Rolls did not reveal a “Kelly” associated with the property.



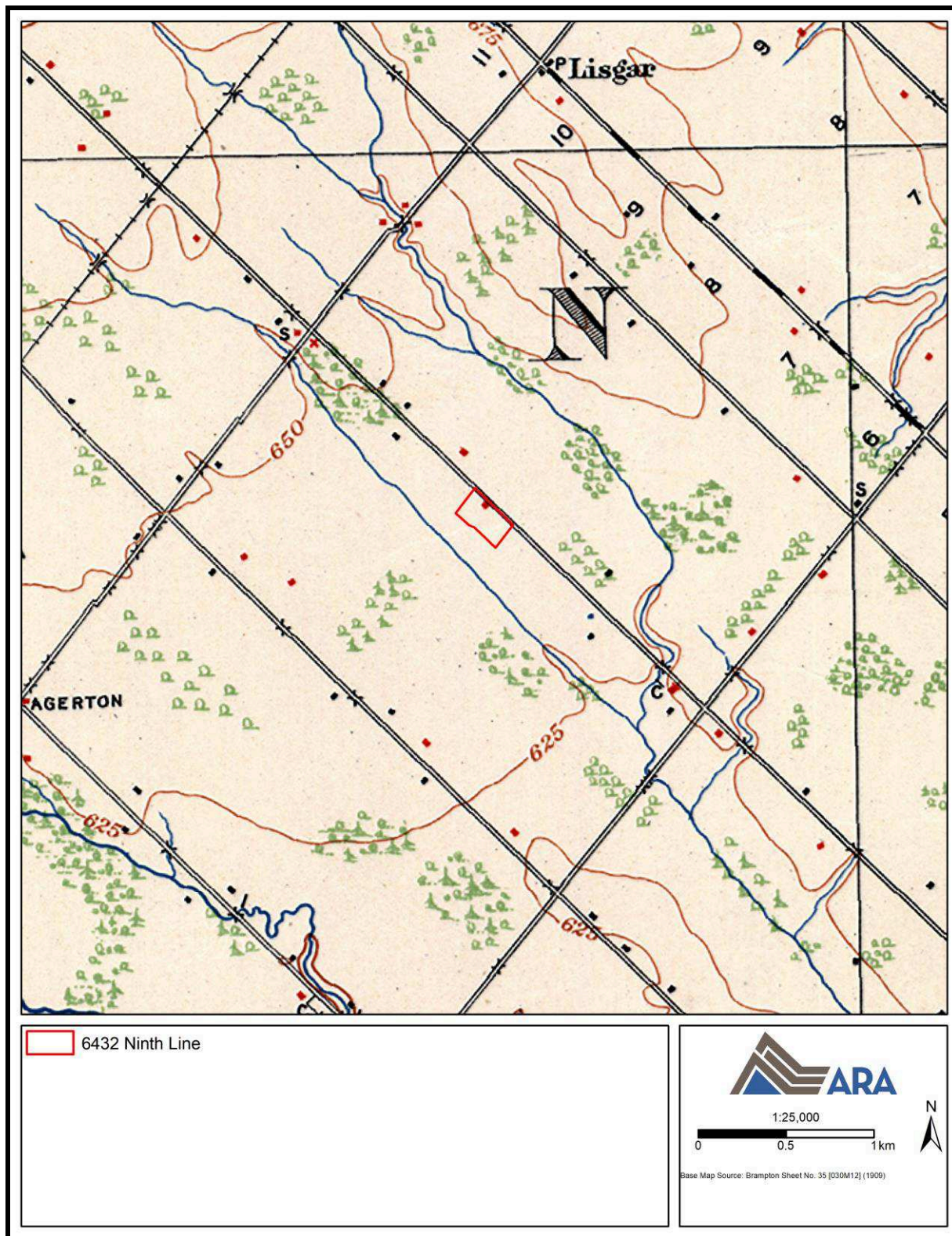
Map 2: Subject Property on the Trafalgar Township Patent Plan
 (Produced by ARA under licence using ArcGIS® software by Esri, © Esri; Wilmot 1800)



Map 3: Subject Property on an 1858 Map
 (Produced by ARA under licence using ArcGIS® software by Esri, © Esri; Tremaine 1858)



Map 4: Subject Property on an 1877 Map
(Produced by ARA under licence using ArcGIS® software by Esri, © Esri; Walker & Miles 1877)



Map 5: Subject Property on a 1909 Topographic Map
(Produced by ARA under licence using ArcGIS® software by Esri, © Esri; OCUL 2018)



Map 6: Subject Property on a 1954 Aerial Photograph

(Produced by ARA under licence using ArcGIS® software by Esri, © Esri; University of Toronto 1954)

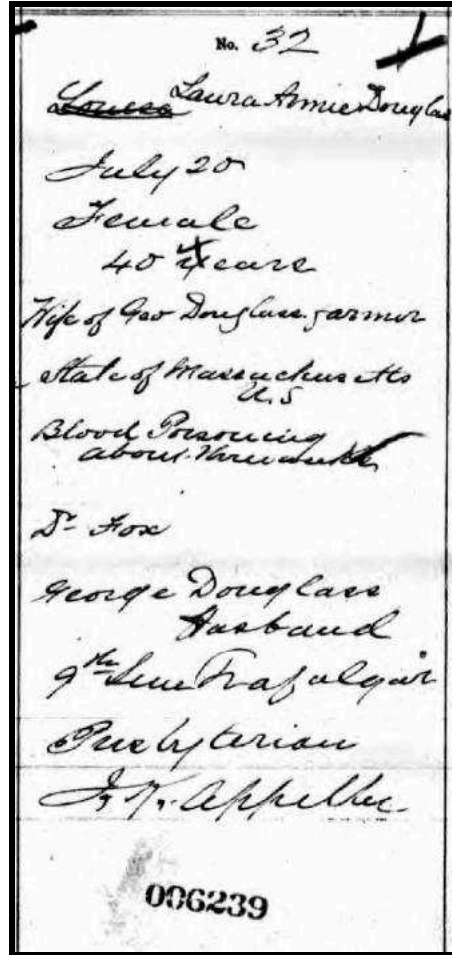


Image 1: Laura Douglas, Death Registration (AO 1882)

Year	Name	Sex	Age	Mar.	Prof.	Rel.	Color	Complexion	Hair	Eyes	Build	Complexion	Hair	Eyes	Build	Complexion	Hair	Eyes	Build
1880	Douglas George	M	31	-	0	-	0	-	0	-	0	-	0	-	0	-	0	-	0
	Mary	F	21	M	W	0	-	0	-	0	-	0	-	0	-	0	-	0	
	Peter	M	21	-	0	-	0	-	0	-	0	-	0	-	0	-	0	-	
	Ang	F	8	-	0	-	0	-	0	-	0	-	0	-	0	-	0	-	
	Willie	F	12	-	0	-	0	-	0	-	0	-	0	-	0	-	0	-	
	George	M	14	-	0	-	0	-	0	-	0	-	0	-	0	-	0	-	

Image 2: George Douglas and Family in the Census of 1891 (LAC 1891)

4.0 HERITAGE CONTEXT

In order to determine whether any previously-identified properties with CHVI are located within the study area ARA consulted a number of heritage groups, the municipality and online heritage resources.

4.1 Consultation

MTCS's current list of Heritage Conservation Districts was consulted. No designated districts were identified in the study area (MTCS 2018). The list of properties designated by the Ministry of Tourism, Culture and Sport under Section 34.5 of the OHA was consulted. No

properties in the study area are listed. The OHT plaque database and the Federal Canadian Heritage Database were searched. None of the properties within the study area are commemorated with an OHT plaque.

ARA staff contacted the City of Mississauga via email on May 25, 2018. The City indicated that they had no additional information on the property beyond what had been shared for the 2010 report (ARA 2010).

4.2 Site Visit

A site visit was conducted on June 13, 2018 to photograph and document the study area, record any local features that could enhance ARA's understanding of their setting in the landscape and contribute to the cultural heritage evaluation process. ARA staff had permission to enter the property to conduct the site visit. Trailers located at the rear of the dwelling obscured the view of the west (rear) elevation of 6432 Ninth Line during the site visit. Interior access to the dwelling was also provided, however one room on the second floor was not accessible as the door was locked by the tenants. Further photographs of the property were taken by drone on July 17, 2018 by Mattamy Homes. Photos of the property can be found in Appendix A.

5.0 DESCRIPTION OF BUILDINGS AND STRUCTURES

The property at 6432 Ninth Line contains a remnant farmhouse with an attached garage located near the east boundary of the 4.86-hectare lot, adjacent to the present alignment of Ninth Line.

5.1 Context

The land adjacent to 6432 Ninth Line, on the east side of the roadway, has been subdivided and contains contemporary suburban dwellings (see Image 33). Highway 407 is located to the rear of the property.

5.2 Arrangement of Buildings and Structures

The property is accessed via two short driveways from Ninth Line. The dwelling is located on the east side of the lot with the façade oriented to the east, facing Ninth Line. In 2010, accessory structures included a large concrete block utility building, a frame shed, and a large barn on concrete block foundation with a small metal storage bin located to the rear of the barn (ARA 2010:8). In 2014, the property owner requested to demolish these accessory structures. The City of Mississauga determined that the barn and outbuilding structures were not worthy of heritage designation and they were subsequently demolished (City of Mississauga 2014b:29-30). The 2005 survey included in Figure 1 illustrates the location of these structures prior to their demolition.

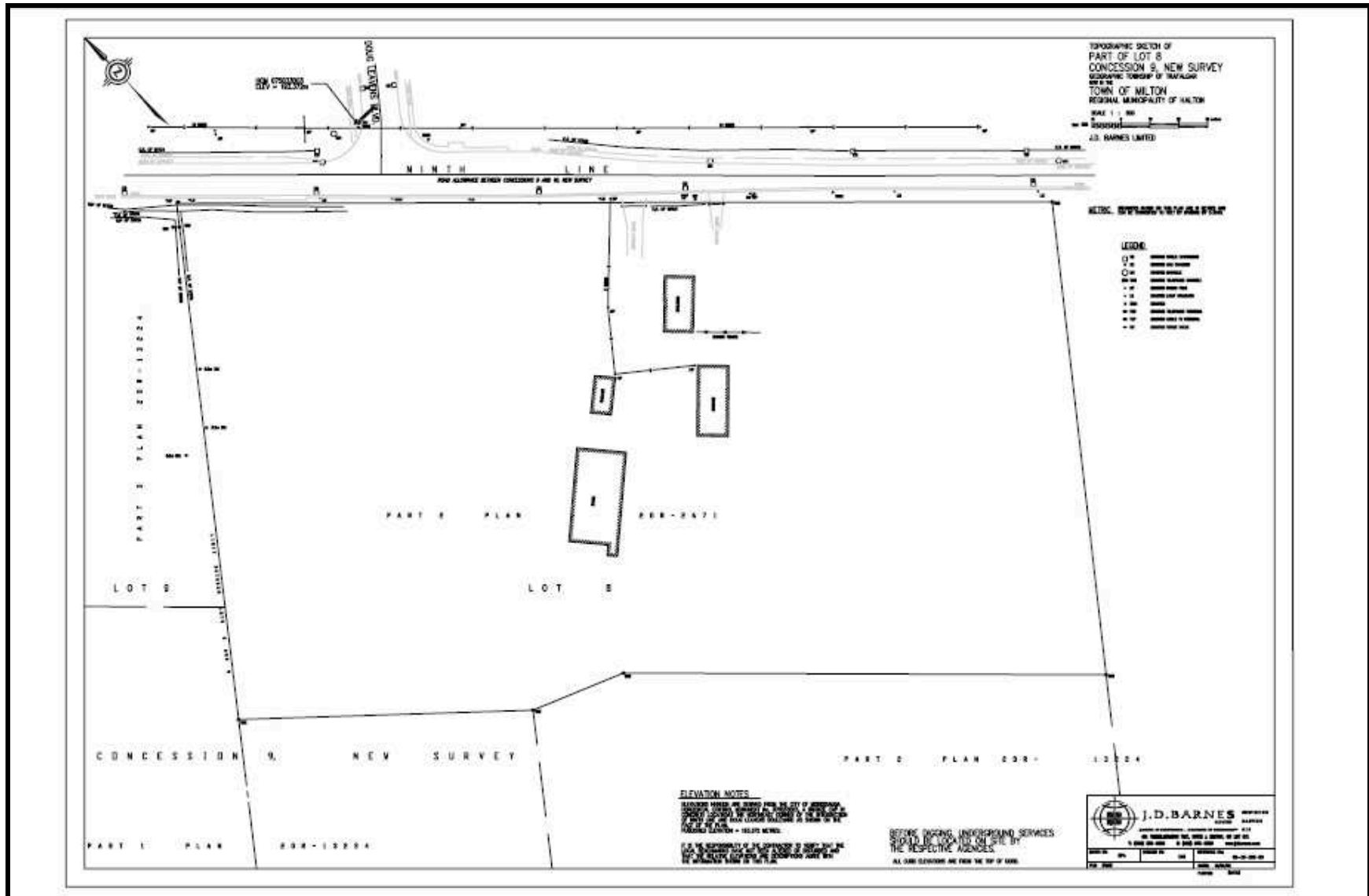


Figure 1: Topographic Sketch of Part of Lot 8, Concession 9, New Survey (Barnes 2005)

5.3 Landscape Features

The farmhouse is set back from Ninth Line and is accessed via two short driveways. The house is situated within the area's flat topography. The site's landscape surrounding the farmhouse includes remnant agricultural fields that were not under cultivation at the time of the site visit (see Image 15-Image 16 and Image 31). Vegetation surrounding the house was overgrown and there were no formal plantings observed (see Image 32).

5.4 Dwelling Exterior

The dwelling is a 1½ storey stucco over red brick structure with a hipped roof clad in asphalt shingles, which were replaced approximately five years ago (see Image 8, Image 10 and Image 29) (Zaretsky Consulting Engineers Inc. 2018). The foundation appears to be brick (see Image 30), however there is no basement below the dwelling. According to Zaretsky Consulting Engineers Inc. (2018) the basement was filled with soil to the underside of the ground floor approximately 12 to 15 years ago.

The east, three-bay façade has a small centre gable reflective of the vernacular Ontario Cottage style popular in the mid-19th century with a window opening below and a central entryway with square window openings on either side (University of Waterloo 2009; see Image 9). The exterior details of the structure that indicate its early construction include the windowsills and remnant wooden architrave around the front (east) door (see Image 11-Image 14). All the doors and windows are mid- to late-20th century vinyl replacements (see Image 17, Image 20-Image 21 and Image 27-Image 28). The north and south elevations of the original structure contain two window openings for each floor. The addition's south elevation contains a side entryway.

The frame garage attached to the rear of the house is a mid- to late-20th century addition (see Image 19 and Image 22-Image 26). It also contains a hallway, closet and laundry room, and has small, rectangular window openings.

5.4.1 Bricks

6432 Ninth Line is constructed of frogged brick. This type of brick first appeared in the mid-19th century. Hand-made frogged bricks tend to be thicker than earlier brick types and can vary in colour depending on local colouration. The "frog" refers to a roughly impressed rectangle or oval on the top of the brick (see Image 34), which became more well-defined in the late-19th century when the process became highly mechanized (Adams et al. 1995:95). The brick appears to be an early machine-made brick, which suggests it was made mid-to-late 19th century.

5.4.2 Stucco

The stucco exterior shows cracking and deterioration (see Image 9, Image 10, Image 18, Image 28 and Image 29). According to ARA's Conservation Technician, the current condition of the stucco is indicative of severe moisture damage caused from a lack of ventilation between the stucco and brick layer in addition to severe freeze thaw damage. These conditions have resulted in a softening of the brick and rotting of the wood window surrounds.

5.5 Dwelling Interior

5.5.1 Main Floor

The main floor appears to have been a centre-hall floor plan which has been modified (see Figure 2). The balanced centre-hall floor plan and window placement are similar to those found in 19th century homes (MacRae & Adamson 1963:232). An article in *Canada Farmer* from February 1864 describes the floor plan of this type of structure as:

a cottage that could be built for a small family. It is built on a center hall plan with the central hall being six feet wide. On the left is a living room, on the right are two bedrooms, 11 by 13 feet in size. The kitchen and pantry would be in the back of the house, almost separate. The kitchen would also have a bedroom. There was no bathroom in the house. In building, the stipulation is that 'None of the ceilings of the rooms should be less than 10 feet high (Kyles 2017b).

Following the site visit conducted by ARA, it was observed that the main floor's interior floor plan had been modified. The main floor comprises a centre entryway into a living room to the right (north), a kitchen to the left (south), and a bedroom accessed from the kitchen. An addition with small, rectangular window openings is located beyond these rooms at the rear of the structure and includes a hall, a closet/furnace room, a storage/laundry room and a garage. In addition, no original woodwork or decorative features remain (see Image 35-Image 47).

5.5.2 Second Floor

The second floor is accessed by a staircase located opposite the front entryway door, in what would have been the centre hall. A centre-hall floor plan has been maintained on the second floor of the dwelling. To the left (north) side of the hall are two bedrooms and to the right (south) is a bathroom and the master bedroom (see Image 48-Image 52).

5.5.3 Attached Garage

An attached garage is located in the addition at the rear of the dwelling (see Image 53-Image 54).

5.6 Architectural Style/Design

The dwelling at 6432 Ninth Line is built in the Ontario Cottage or Gothic Revival Cottage style (University of Waterloo 2009:9; Kyles 2017b). The Ontario Cottage architectural style typically describes a "one-and-a-half storey gable-end cottage, symmetrically balanced with a central door flanked by a window on either side, similar to the small Georgian house with the exception of a tall, pointed gable over the front door" (Mikel 2004:62). The Ontario Cottage is a vernacular form with a symmetrical plan that was favoured for "reasons of simple and sturdy construction" (Mace 2013:33).

The Gothic Revival Cottage was the most prevalent residential design in Ontario prior to the 1950s (Kyles 2017a, 2017b). These cottages often follow a specific pattern and floor plan, although the exterior finish and details can vary significantly across the province. The design for the cottage was discussed in *Canadian Farmer* magazine in 1864 (Mace 2013). It is a "simple...cottage that might have been found anywhere in North America before the plans in the journal" (Mace 2013:33). This design is what would become known as the Gothic Revival

Cottage (Kyles 2017a, 2017b). Generally, residential structures built in this style belonged to the farmer who owned the surrounding agricultural land (Kyles 2017a, 2017b).

The massing, roof line and wooden architrave around the front (east) door are the only remaining features reflective of an Ontario Cottage or Gothic Revival style dwelling. The dwelling has undergone extensive modifications including the more recent application of stucco over the original brick exterior, the replacement of windows and doors, and the significant alteration of the interior floor plan. These modifications have impacted the integrity of the house and as such it is not a representative example of the Ontario Gothic or Gothic Revival style. Ontario Cottages/Gothic Revival farmhouses are common in rural Ontario. A representative example of these architectural styles that retains its characteristic features may be found at 6671 Ninth Line, located approximately 1 km northwest of the property (see Image 55). Further representative examples of the Gothic Revival style, 307 Queen Street South and 1295 Burnhamthorpe Road East, are highlighted in the *Architectural Styles in Mississauga* (City of Mississauga 2012; see Image 56).

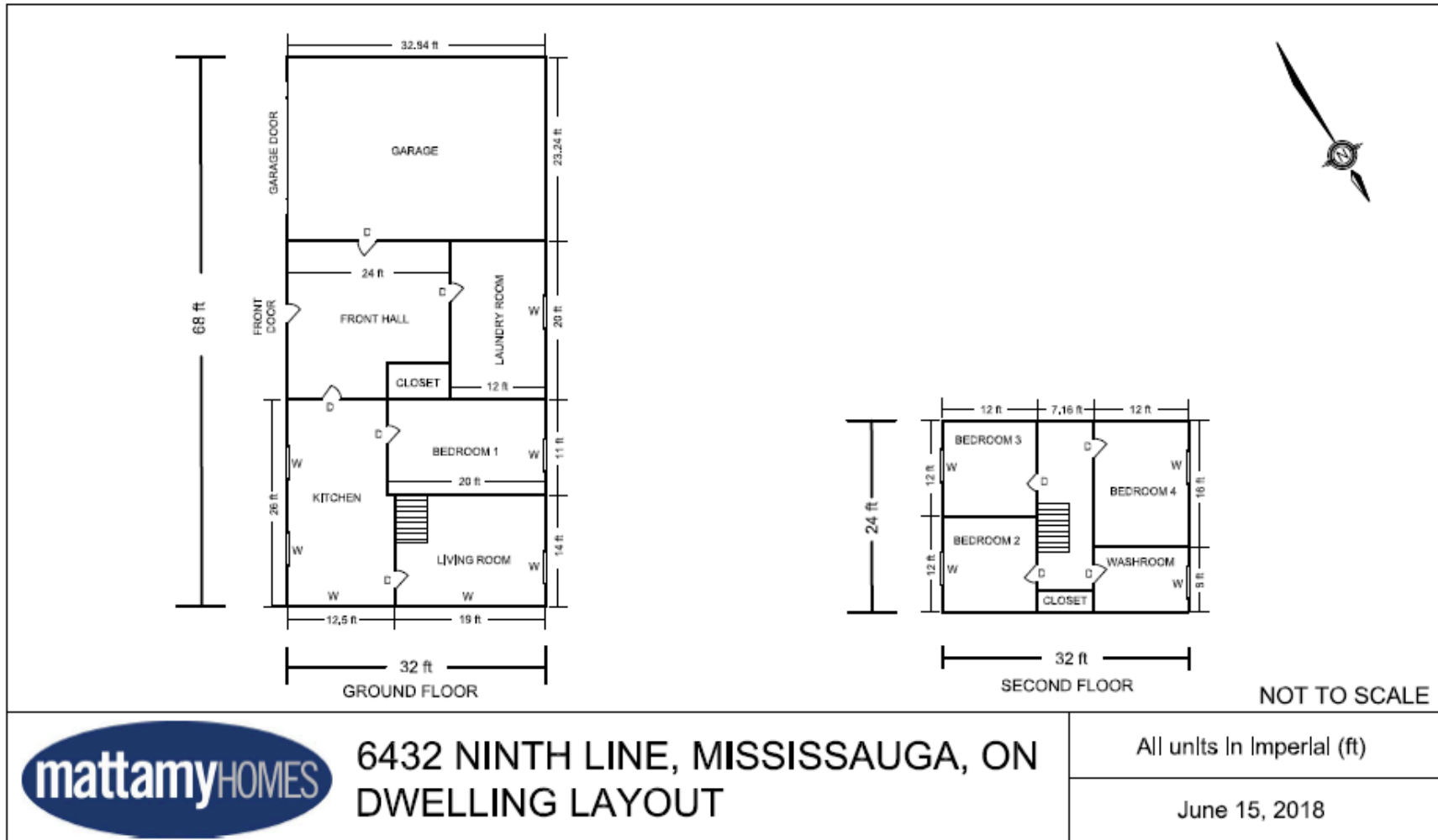


Figure 2: 6432 Ninth Line Dwelling Layout
(Mattamy Homes 2018a)

6.0 HERITAGE ASSESSMENT

An evaluation of the 6432 Ninth Line according to O. Reg. 9/06 can be found in Table 3 below.

Table 3: Evaluation of 6432 Ninth Line Using O. Reg. 9/06

Evaluation of Property			
Criteria	Description	✓	Value Statement(s)
Design or Physical Value	Is a rare, unique, representative or early example of a style, type, expression, material or construction method		The massing, roof line and remnant wooden architrave around the front (east) door of 6432 Ninth Line are reflective of the Ontario Cottage or Gothic Revival Cottage architectural style. However, modifications over time have impacted the architectural integrity of the structure and as such it is no longer representative of the Ontario Cottage or Gothic Revival Cottage style. Ontario Cottages/Gothic Revival farmhouses are common in rural Ontario. A representative example of these architectural styles that retains its characteristic features may be found at 6671 Ninth Line, located approximately 1 km northwest of the property.
	Displays a high degree of craftsmanship or artistic value		6432 Ninth Line does not display a high degree of craftsmanship or artistic value.
	Displays a high degree of technical or scientific achievement		6432 Ninth Line does not display a high degree of technical or scientific achievement.
Historical or Associative Value	Has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community		6432 Ninth Line is not directly associated with a theme, event, belief, person, activity, organization or institution that is significant to a community. Although the property is associated with early farming families such as the Watsons, McCurdys, Douglasses and McCarrons, research conducted did not suggest any notable contributions from the individuals who lived on this property to the community.
	Yields or has the potential to yield information that contributes to the understanding of a community or culture		6432 Ninth Line does not yield information that contributes to the understanding of a community or culture.
	Demonstrates or reflects the work or ideas of an architect, builder, artist, designer or theorist who is significant to a community		6432 Ninth Line does not demonstrate or reflect the work or ideas of an architect, builder, artist, designer or theorist who is significant to a community. The research conducted did not locate an individual associated with the construction of the building.
Contextual Value	Is important in defining, maintaining or supporting the character of an area		6432 Ninth Line is not important in defining, maintaining or supporting the character of an area. The rural character of the area has been diminished overtime through the introduction of contemporary suburban development, the construction of Highway 407 and the ongoing proposed development of the Ninth Line lands.
	Is physically, functionally, visually or historically linked to its surroundings		6432 Ninth Line is not physically, functionally, visually or historically linked to its surroundings. Adjacent properties to the north and south are part of the proposed development of Ninth Line and a contemporary suburban development is located to the east.
	Is a landmark		6432 Ninth Line is not a landmark.

The property does not meet the criteria of O. Reg. 9/06.

7.0 PROPOSED DEVELOPMENT

7.1 Description of Proposed Development

The materials provided by Mattamy Homes included *6432 Ninth Line, Mississauga, ON Dwelling Layout* (Mattamy Homes 2018a), *Derry Road to Britannia Road – Mattamy Concept* (Mattamy Homes 2018b), *Mattamy Concept: Ninth Line Lands and 6432 Ninth Line* (Mattamy Homes 2018c), *Mattamy Homes Land Use Concept* (Mattamy Homes 2018d) and *The Village North* (Mattamy Homes 2018e), which provide the details of the proposed development. The proposed development consists of the construction of three- to six-storey, medium-density residential buildings with rear lane townhomes, front loaded townhomes and six-storey condominiums located along the south side of Ninth Line (see Figure 4-Figure 5, Figure 6-Figure 8). A 0.46-hectare (1.15 acre) square is proposed adjacent to the condominium building on the west side of the property (see Figure 3).

Mattamy Homes (2018c) describes the proposed development as follows:

Our Vision:

Mattamy's Vision for the Ninth Line Lands contained in this document is based upon the Planning Framework and Guiding Principles set forth in Mississauga's Draft Emerging Land Use Concept, as well as Mississauga's Official Plan Vision.

This Vision is set upon a foundation for the Ninth Line corridor that protects the natural heritage system and the stable neighbourhoods to the east and directs compact mixed-use development where it will be transit supportive. The natural heritage system is interwoven, with parks and open spaces, into a linked greenspace system that connects the entire Ninth line corridor together, including open spaces and trails of the neighbourhoods to the east and future transit stops. These safe, healthy and vibrant parks, trails and green streets enhance the range of sustainable mobility for pedestrians, bicyclists and transit riders. A street and public space framework directs the location of a diverse series of distinct, well designed neighbourhoods. The massing and scale of the built form in each location is oriented to protect the neighbourhoods to the east, and frame open spaces while connecting the entire community.

6432 Ninth Line:

The 6432 Ninth Line property is an integral aspect of the overall Ninth Line community concept. The network of trails, cycling lanes and multi-use paths within the community will link open spaces and key destinations. The main community entrance at Doug Leavens Boulevard is located on this property and will function as a gateway, establishing a sense of place while providing connectivity between new and existing neighbourhoods along Ninth Line. The street plan further reinforces a well-connected grid system and promotes vehicle and pedestrian permeability throughout the Ninth Line Lands.

The medium-density residential character of the neighbourhood will be complementary to existing and future transportation facilities. The 3-6 storey buildings in our concept plan for this residential district includes rear lane townhomes (1 & 2), front loaded

townhomes, and 6 storey condominiums (3 & 4) which will provide a mix of housing to accommodate residents at all stages in life. The townhomes within the 6432 Ninth Line property will provide an appropriate transition to the stable residential neighbourhoods to the east, in a form that supports increased density along the proposed transit corridor (Mattamy Homes 2018c).

7.2 Purpose and Rationale for Proposed Development

The materials that detail the proposed development outline the construction of three- to six-storey, medium-density residential buildings with rear lane townhomes, front loaded townhomes and six-storey condominiums located along the south side of Ninth Line. Upon completion of the development, it will result in a “mix of housing to accommodate residents at all stages in life” (Mattamy Homes 2018c). Section 7.3 provides the land use planning context that offers further understanding of the rationale for the proposed project.

7.3 Land Use Planning Context

The property located at 6432 Ninth Line was originally located within the boundaries of the Town of Milton. On January 1st, 2010 lands situated east of Highway 407, including the subject property, were annexed to the City of Mississauga (City of Mississauga 2009).

The City of Mississauga’s Official Plan notes the responsibility of the City and Provincial Government in conserving and protecting cultural heritage resources (City of Mississauga 2018a:7-7). However, Section 7.4.1.12, states that “The proponent of any construction, development, or property alteration that might adversely affect a listed or designated cultural heritage resource or which is proposed adjacent to a cultural heritage resource will be required to submit a Heritage Impact Assessment, prepared to the satisfaction of the City and other appropriate authorities having jurisdiction” (City of Mississauga 2018a:7-8).

The Ninth Line Neighbourhood has been identified by the City as “mostly underdeveloped” (City of Mississauga 2017b:1). The City of Mississauga has a vision for the Ninth Line Neighbourhood to become “sustainable, transit-supportive, connected and distinct” (City of Mississauga 2017b:3). Extensive public and stakeholder engagement was involved in the creation of this vision and urban design guidelines for Ninth Line.

Under the City of Mississauga’s Official Plan, the area is designated as a Special Study Area (City of Mississauga 2018a). The City of Mississauga’s *Shaping Ninth Line Urban Design Guidelines* (2017b) calls for Residential Medium Density of three to six storeys for the study area (City of Mississauga 2017b:7-8; see Figure 9 and Figure 10). The new streetscape as per the *Guidelines* would include a range of housing types. This may include apartments and condominiums, as well as townhouse forms (City of Mississauga 2017b:27). The proponent notes that their concept is in keeping with the *Guidelines*, and that this vision would protect the natural heritage system and stable neighbourhoods to the east while directing compact mixed-use development where it will be transit supportive (Mattamy Homes 2018c).

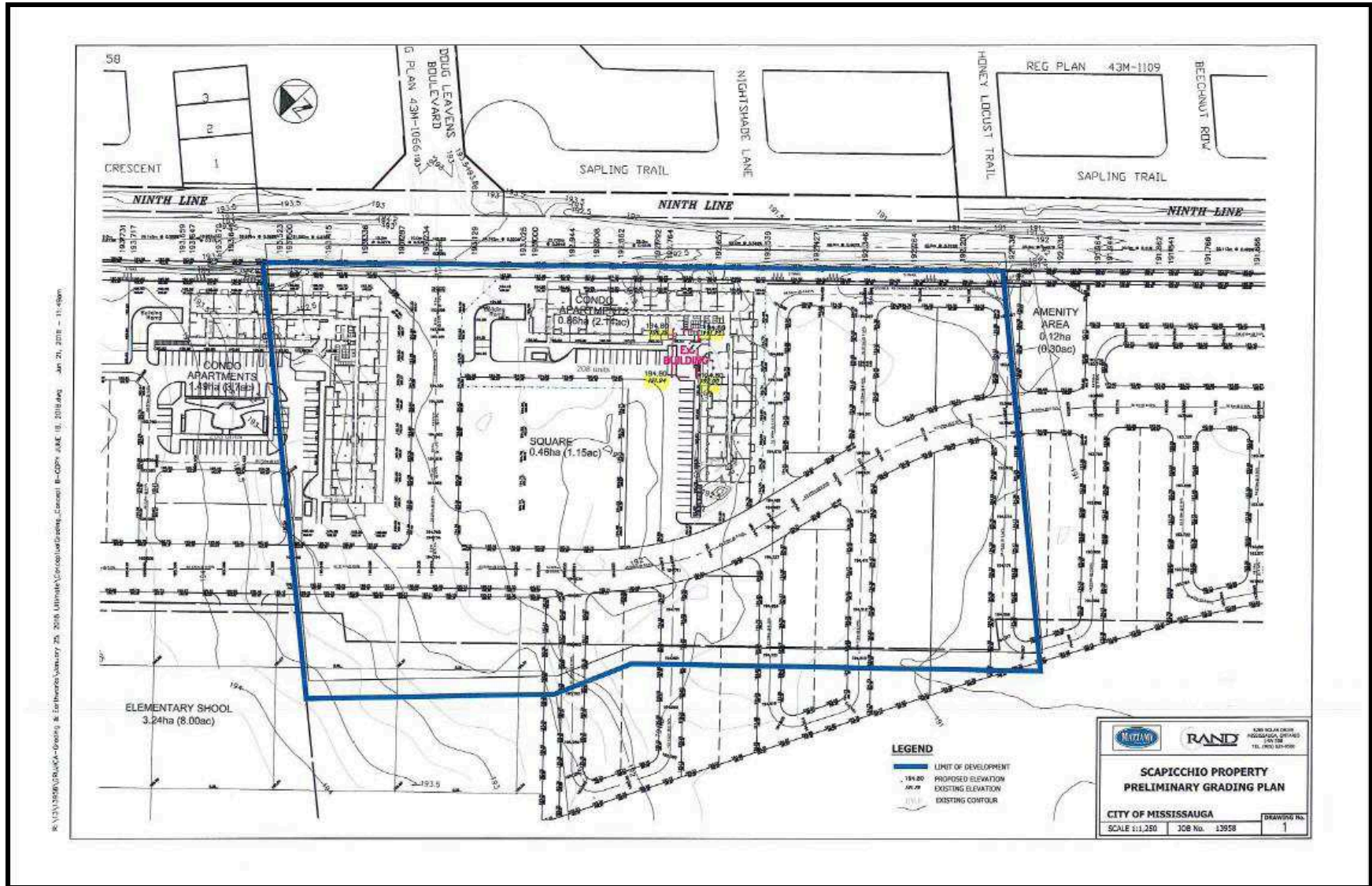


Figure 3: 6432 Ninth Line Preliminary Grading Plan
(RAND Engineering Corporation 2018b)



Figure 4: Derry Road to Britannia Road Concept Plan
(Mattamy Homes 2018b)

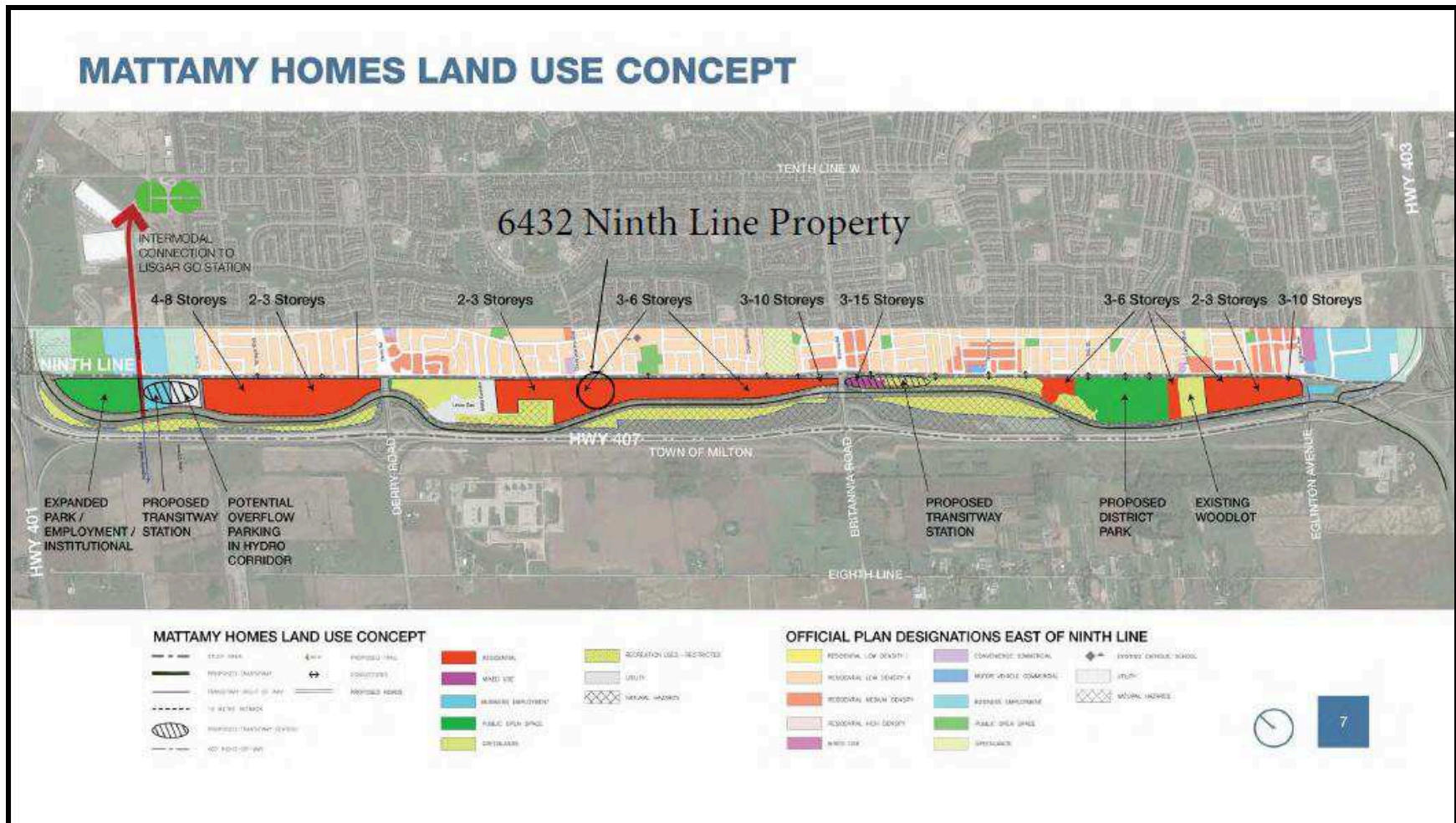


Figure 5: Land Use Concept Plan (Mattamy Homes 2018d)



**Figure 6: Street View of Mattamy Concept for 6432 Ninth Line
(Mattamy Homes 2018e)**



① PARK FRONTING REAR LANE TOWNHOMES



② PARK FRONTING REAR LANE TOWNHOMES

**Figure 7: Mattamy Concept: Ninth Line Lands and 6432 Ninth Line
(Mattamy Homes 2018c)**



③ 6 STOREY CONDO



④ 6 STOREY CONDO

**Figure 8: Mattamy Concept: Ninth Line Lands and 6432 Ninth Line
(Mattamy Homes 2018c)**

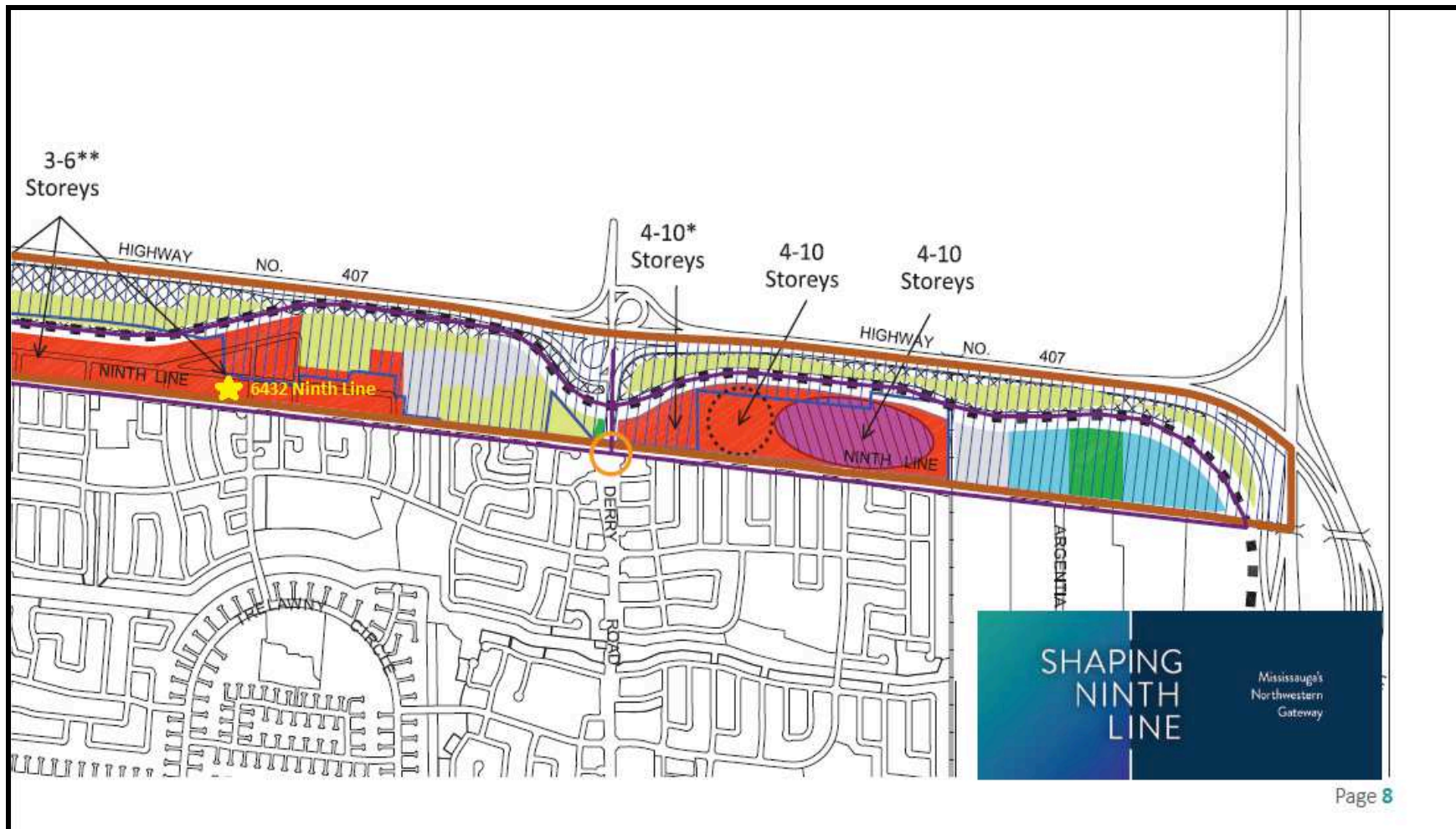


Figure 9: Concept from City of Mississauga's *Shaping Ninth Line Urban Design Guidelines* (City of Mississauga 2017b:8)

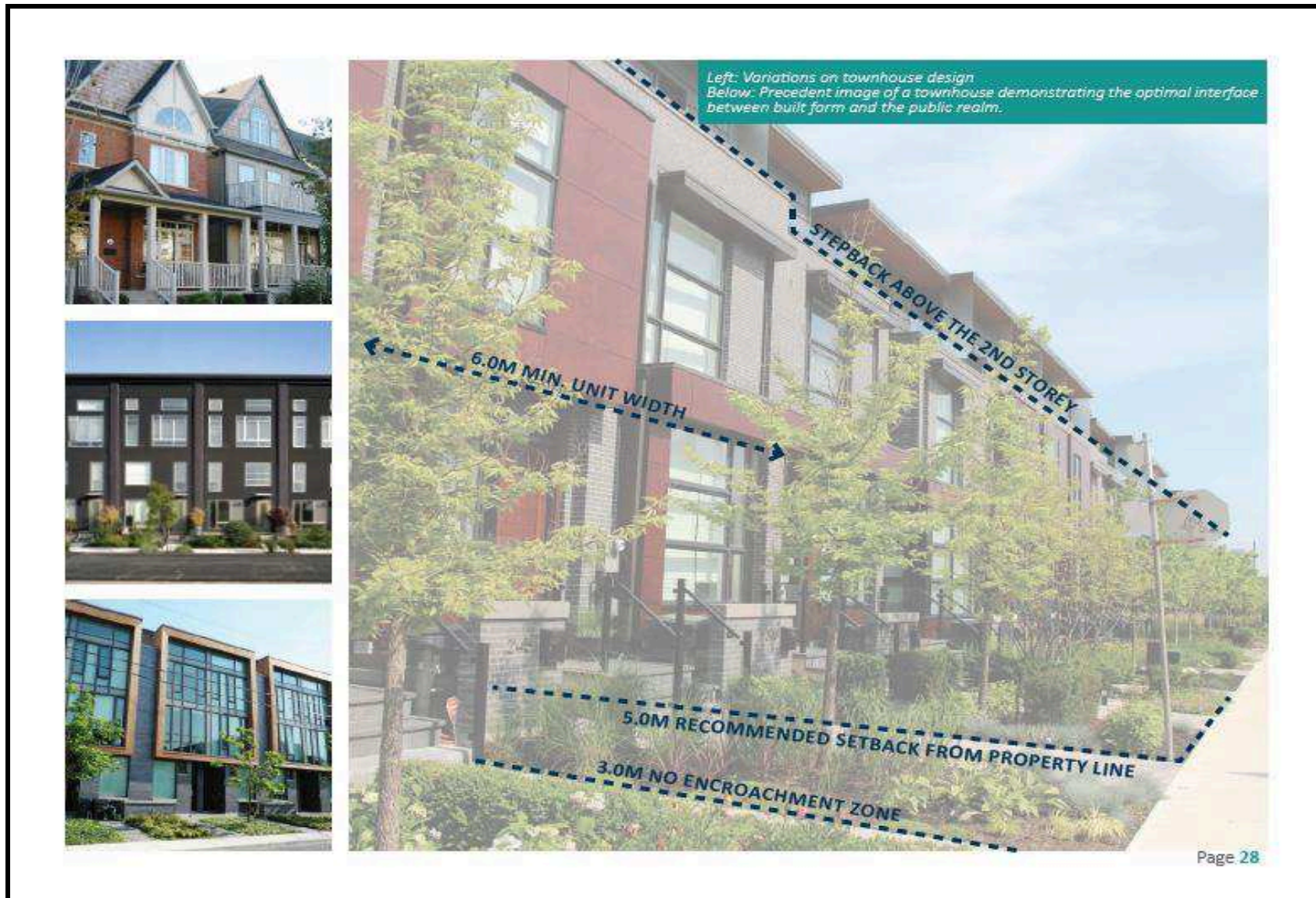


Figure 10: Private Realm Design Guidelines from City of Mississauga's *Shaping Ninth Line Urban Design Guidelines* (City of Mississauga 2017b:28)

7.4 Analysis of Potential Impacts including Demolitions/Alterations

The proposed development entails the demolition of the existing dwelling at 6432 Ninth Line and the construction of three- to six-storey, medium-density residential buildings with rear lane townhomes, front loaded townhomes and six-storey condominiums located along the west side of Ninth Line. The following analysis of project impacts is based upon the drawings and development description provided by Mattamy Homes as outlined in Section 7.0.

In order to facilitate the proposed construction, the existing grading at the location of the extant building (191.75 m) would need to be elevated to 194.80 m (see Figure 3). 6432 Ninth Line is thus proposed to be demolished. Mattamy Homes has obtained a letter of support from RAND Engineering Corporation regarding a Demolition Permit Application for the dwelling at 6432 Ninth Line (see Appendix B). RAND Engineering Corporation states that “a potential retention of the building would be impractical to the development of the surrounding lands” due to the need to elevate the current grading by three to four metres (see Appendix B).

With the implementation of the new land use concept and plan through development, and the destruction of the extant building, the property would no longer be a remnant agricultural landscape. However, due to the presence of Highway 407 to the rear (west) of the property and a suburban subdivision to the east, the lands adjacent to 6432 Ninth Line are no longer agricultural. As a result, the property has lost any contextual value it may have possessed in the past. In addition, the City of Mississauga previously approved the demolition of the barn and other agricultural outbuildings on site, thus diminishing the property’s character as a former agricultural landscape. The effects of the proposed development would result in the loss of a remnant agricultural landscape, including remnant agricultural fields and a remnant historic farmhouse and attached garage.

8.0 ASSESEMENT OF ALTERNATIVE DEVELOPMENT OPTIONS AND MITIGATION MEASURES

Mattamy Homes has examined several different development alternatives and mitigation measures as outlined below. These alternatives and mitigation measures address the approaches outlined in the *InfoSheet #5: Heritage Impact Assessments and Conservation Plans* (MLC 2006b) and the City of Mississauga *Heritage Impact Assessment Terms of Reference* (2017a). The feasibility of each of the options is described based on materials provided by the client and considers the CHVI of the subject property as outlined in Section 6.0.

8.1 Retention *In Situ*

The best mitigation option for heritage properties is generally retention. Retention allows cultural heritage resources to be retained in their original location and encourages adaptive re-use and sympathetic or compatible development (i.e., mass, setback, setting and materials). The *Eight Guiding Principles in the Conservation of Built Heritage Properties* (2007) provides details regarding the conservation of an entire building primarily *in situ*.

The City of Mississauga’s *Shaping Ninth Line Urban Design Guidelines* (2017b) calls for Residential Medium Density of three to six storeys for the study area (City of Mississauga 2017b:7-8). As part of the proposed development, RAND Engineering Corporation has conducted a preliminary grading and servicing analysis for the property (Figure 3). Their analysis indicates that “the ultimate grades at the heritage house location would be approximately 3-4 m higher in comparison to the existing ground and a potential retention of the

building would be impractical to the development of the surrounding lands” (RAND Engineering 2018:1). If the house was to be retained on the property it would have to be moved to facilitate the grading of the lands (see Section 8.2 on relocation).

8.2 Relocation

The relocation option allows for a cultural heritage resource to be moved within or beyond the subject property provided an appropriate context is maintained. This option assumes that the cultural heritage resource could be moved to retain its heritage integrity and value. With retention or relocation, the following suggestions from *InfoSheet #5: Heritage Impact Assessments and Conservation Plans* for the design of new development around a cultural heritage resource should also be considered:

- Isolating development and site alteration from the significant built and natural heritage features and vistas;
- Limiting height and density;
- Allowing only compatible infill and additions; and
- Reversible alterations.

Relocation to another area within the subject lands was considered by Mattamy Homes. A site review regarding the potential relocation of the extant structure was completed on July 17, 2018, by Zaretsky Consulting Engineers Inc. (see Appendix C). It was noted that, “In our view, this house is too flimsy and will endanger construction personnel during relocation. It should not be moved but demolished” (Zaretsky Consulting Engineers Inc. 2018).

The potential retention and/or relocation of the building for reuse is also challenging given its condition. If the building was retained or relocated, it would likely need to be restored or rehabilitated to be used safely. ARA's Conservation Technician was consulted about a task likely to be part of restoration work: the potential to remove the stucco and restore the building's brick exterior. It was noted that should removal of the stucco be considered the exterior layer would remove readily. However, removal of the base layer (i.e., material on the surface of the bricks) would require a process (i.e., micro abrasion or sand blasting) that has the potential to further damage the brick. This process could also expose the weakened brick to long-term damaging environmental conditions. Zaretsky Consulting Engineers Inc., further note that, “the exterior brick section on the north wall and at the southeast corner (where the stucco has delaminated) has virtually disintegrated, suggesting this brick was originally a soft brick and structurally questionable” (2018:2).

8.3 Reuse and Salvage of Materials

This option allows for the retention of components of the buildings for reuse prior to their demolition. This mitigation strategy typically involves photographic documentation of all identified structures, including interior and exterior features of these structures, the façades and elevations and floor plans in order to provide a public record. The documentation, photographs and floor plans contained in this report and the September 2010 report by ARA may serve as a sufficient record of the house and the outbuildings that once stood on the subject property.

The selective removal of identified architectural or landscape elements preserves portions or features of buildings and structures that possess historical, architectural or cultural value and can divert them from becoming landfill material (Town of Aurora 2016). This mitigation option is

not the strongest option from a heritage perspective, however a removal and reuse program would allow for the conservation of key components of the structures. Reuse and salvage can be achieved by the identification, removal and repurposing through symbolic conservation, or reusing of heritage materials from buildings prior to their demolition. These materials may then be used in other heritage structures as sourcing materials for repair and replacement can be challenging, especially if the materials are from an historic source that no longer exists, such as a quarry, an old-growth forest, or a manufacturing facility that has closed (Parks Canada 2010). As such, the careful salvage of materials from one historic structure can represent an opportunity for the in-kind replacement of quality historic materials in another.

6432 Ninth Line does contain historic fabric that may be worthy of salvage and reuse. The materials listed below are suggested for salvage and reuse from 6432 Ninth Line based on the June 13, 2018 site visit (the list may be modified based on their condition at the time of salvage):

- Any red brick that is in good condition;
- Any remaining historic wood window or doors;
- Any remaining historic glass; and
- Any well-preserved wood over 3/4" thick.

The following recommendations for the salvage and reuse of materials are suggested:

- A reputable contractor(s) with proven expertise in cultural heritage resource removal should be obtained to salvage the identified building components recommended above;
 - The Architectural Conservancy of Ontario (ACO) North Waterloo Region maintains a Directory of Heritage Practitioners located in Ontario that claim to have experience with heritage properties. The section dedicated to "House Moving, Dismantling and Salvage" could be referred to for salvage contacts, however, it is recommended that references and/or previous work be assessed before engaging with any of the listed businesses. The ACO directory is available online at: www.aconwr.ca/directory-of-heritage-practitioners/house-moving-dismantling-and-salvage/.
- The chosen contractor should propose an approach for the labelling, storage and reassembly of material salvaged from the property, as appropriate, in accordance with guidance taken from the *Standards and Guidelines for the Conservation of Historic Places in Canada*, Section 4: Guidelines for Materials;
- The ultimate destination of salvaged materials should be determined prior to the initiation of any salvage process;
- Materials should only be salvaged if they are suitable for re-use in other buildings or projects, i.e., the material must not be irreparably damaged or infested;
- The material must be extracted in a manner that ensures that it is not irreparably damaged;
- Should any of the material recommended for salvage not be harvested by a reputable contractor(s) with proven expertise in cultural heritage resource removal, donation to a teaching institution should be considered to allow the material to provide an educational opportunity rather than being sent to a landfill.
 - A list of Conservation Programs in Ontario is available on the National Trust for Canada's website here: www.nationaltrustcanada.ca/resources/education/conservation-programs.

- Any materials not deemed salvageable or suitable for educational purposes, but which are still recyclable should be recycled in an effort to reduce the amount of material sent to a landfill.

8.4 Symbolic Conservation

Symbolic conservation allows for the recovery of heritage components of a property and reuses them to make possible a visible record of the resource(s). It, along with the reuse of portions of a property, is often the recommended mitigation strategy when retention or relocation of a structure is not feasible. Options for symbolic conservation include:

- Incorporation of salvaged materials, such as bricks, timber beams, wood planks, floor boards, etc. into entry gates, retaining walls, benches or landscape features (i.e., planters) within the development in a public space;
- Symbolic renaming of the road after the families historically associated with the property;
- The construction of interpretive plaques, which may be located on site, that commemorate the area's rural history.

Plaque bases and/or frames may be constructed of materials salvaged from the buildings on the subject property and represent an example of symbolic conservation that can be integrated into the proposed development. The Region of Waterloo's historic plaque program provides examples of salvaged materials incorporated into plaques. As part of this program, salvaged materials from historic structures have been incorporated into plaque bases providing a physical tie to the historic area or resource being commemorated. Yellow bricks salvaged from a prominent home in the former settlement of German Mills were used to construct the base for a historic plaque celebrating the area's significance. Another plaque prepared for the Huron Road Bridge as part of the Region's *Heritage Bridge Recognition Program* incorporated a piece of steel I-beam removed from the uniquely constructed bridge before it was reconstructed.

Symbolic conservation could be utilized to will incorporate reflections of the area's rural heritage into the proposed development. While not the preferred option as, it can, when thoughtfully executed, result in the retention of significant building materials and tie the new development to the rural history of the area.

9.0 SUMMARY STATEMENT AND CONSERVATION RECOMMENDATIONS

6432 Ninth Line is a listed heritage property on the *City of Mississauga's Municipal Register of Property of Cultural Heritage Value or Interest*. It is listed as the "Douglass-Kelly House" and was included on the register due to its architectural value. Following consultation, historical research, field survey and evaluation against the criteria set out in O. Reg. 9/06 of the OHA, the property at 6432 Ninth Line was found not to meet any criteria.

As outlined in Section 7.0, the proposed development will have direct impacts on the subject property. The development entails the demolition and removal of the existing dwelling at 6432 Ninth Line and the construction of three- to six-storey, medium-density residential buildings with rear lane townhomes, front loaded townhomes and six-storey condominiums located along the west side of Ninth Line.

Various conservation and mitigation measures were evaluated for 6432 Ninth Line including: Retention *In Situ*; Relocation; Reuse and Salvage of Materials; and Symbolic Conservation.

RAND Engineering Corporation determined that the 6432 Ninth Line dwelling is situated in a location that requires significant grading by raising the site by 3-4 meters to facilitate site drainage and sewer flows, making it necessary to relocate the structure. Zaretsky Consulting Engineers Inc.'s analysis noted that the structure is too fragile for relocation. Furthermore, the feasibility of stucco removal and brick restoration appears uncertain. The historic fabric of the house may be worthy of salvage and reuse. Materials salvaged from the structure could be made available for use in other heritage structures or in potential future symbolic conservation project(s) within the proposed development.

The 2014 *Provincial Policy Statement* notes that CHVI is bestowed upon cultural heritage resources by communities (MMAH 2014). Accordingly, the system by which heritage is governed in this province places emphasis on the decision-making of local municipalities in determining CHVI. It is hoped that the information presented in this report will be useful in those deliberations.

10.0 MANDATORY STATEMENT

Based on the results of consultation, historical research, field survey and evaluation of the study area, 6432 Ninth Line was evaluated against the criteria in O. Reg. 9/06. and was not found to meet any of the criteria.

10.1 Design or Physical Value

The dwelling at 6432 Ninth Line was built in the Ontario Cottage or Gothic Revival Cottage style (University of Waterloo 2009:9). The Ontario Cottage architectural style typically describes a “one-and-a-half storey gable-end cottage, symmetrically balanced with a central door flanked by a window on either side, similar to the small Georgian house with the exception of a tall, pointed gable over the front door” (Mikel 2004:62). The massing, roof line and remnant wooden architrave around the front (east) door of 6432 Ninth Line is reflective of the Ontario Cottage or Gothic Revival Cottage architectural style. However, modifications have impacted the integrity of the structure’s architectural features and as such it is no longer representative of the Ontario Cottage or Gothic Revival Cottage style.

10.2 Historical or Associative Value

In 1840, the Crown Patent for the east half of Lot 8, Concession 9 originally in the Township of Trafalgar, Halton County went to Christopher Row. The property was then owned by William Watson from 1851 until his death in 1860, when it was then owned by his widow until 1862. According to the *Census of 1861*, Elizabeth Watson was living with her children in a 1½ storey brick house, likely the extant building at 6432 Ninth Line. After several owners in the 1860s, including Archibald McCurdy, the property was owned by George Douglas and family from 1870 until 1899. The McCarron family resided on all or a portion of the property from 1899 until 1987. Derry Britannia Developments Inc. purchased the property in 2007. The property is associated with a number of long-time farming families including the Watsons, McCurdys, Douglasses and McCarrons. The Douglas family is associated with the nearby hamlet of McCurdy’s Corners, as is the Archibald McCurdy family that purchased the property in 1870. However, currently available resources suggest that none of the individuals from the Watson, McCurdy, Douglas or McCarron families that settled on the subject property were prominent in the community.

10.3 Contextual Value

The farmhouse is set back from Ninth Line and is accessed via two short driveways. While the dwelling was originally part of a farming complex, the associated barn and other farm structures are no longer extant, and the rural character of the area has been diminished overtime with the introduction of contemporary suburban development, Highway 407 and the ongoing proposed development of the Ninth Line lands.

10.4 Conclusion

In summary, 6432 Ninth Line has had significant modifications that have impacted the integrity of the structure's architectural features and as such it is no longer representative of the Ontario Cottage or Gothic Revival Cottage style. The property is associated primarily with the Watsons, McCurdys, Douglasses and McCarrons who were long-time farming families in the area. Research conducted did not suggest any notable contributions made by the individuals who lived on the property to the community. The contextual value of the property has been diminished through adjacent and proposed contemporary suburban development. As such, the property does not meet any O. Reg. 9/06 criteria.

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Appendix A: 6432 Ninth Line Images



Image 3: Aerial Photograph of 6432 Ninth Line
(Mattamy Homes; Photo taken on July 17, 2018; Facing West)



Image 4: Aerial Photograph of 6432 Ninth Line
(Mattamy Homes; Photo taken on July 17, 2018; Facing North)



Image 5: Aerial Photograph of 6432 Ninth Line
(Mattamy Homes; Photo taken on July 17, 2018; Facing East)

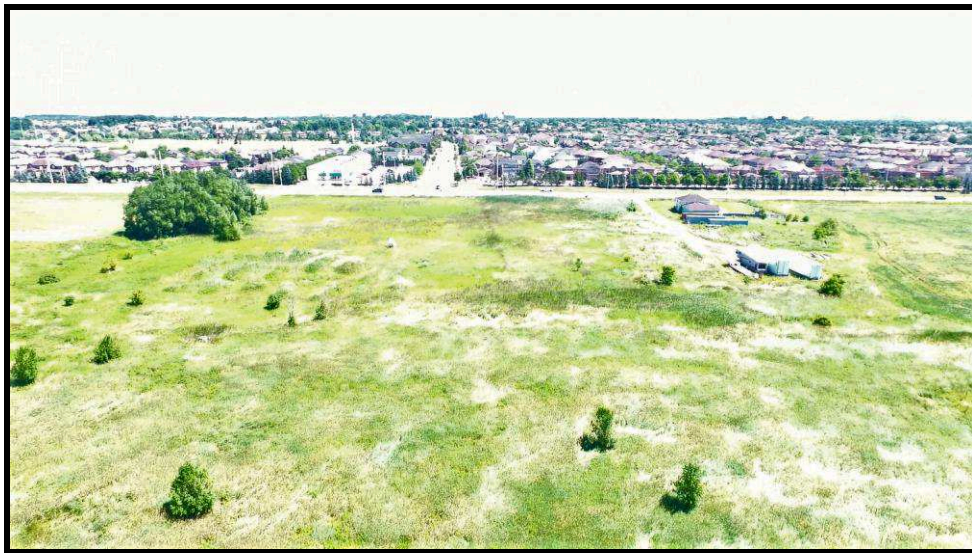


Image 6: Aerial Photograph of 6432 Ninth Line
(Mattamy Homes; Photo taken on July 17, 2018; Facing East)



Image 7: Aerial Photograph of 6432 Ninth Line
(Mattamy Homes; Photo taken on July 17, 2018; Facing South)



Image 8: Façade of 6432 Ninth Line
(Photo taken on June 13, 2018; Facing West)



Image 9: Detail of front gable and window opening
(Photo taken on June 13, 2018; Facing West)



Image 10: Detail of stucco cladding over red brick structure
(Photo taken on June 13, 2018; Facing West)



Image 11: Detail of entryway and wooden architrave on façade
(Photo taken on June 13, 2018; Facing West)



Image 12: Detail of first storey window opening
(Photo taken on June 13, 2018; Facing West)



Image 13: Detail of first storey window opening
(Photo taken on June 13, 2018; Facing West)



Image 14: Detail of entryway on façade
(Photo taken on June 13, 2018; Facing West)



Image 15: Contextual view from Ninth Line
(Photo taken on June 13, 2018; Facing Southwest)



Image 16: Contextual view from Ninth Line
(Photo taken on June 13, 2018; Facing South)



Image 17: Southeast corner of 6432 Ninth Line
(Photo taken on June 13, 2018; Facing Northwest)



Image 18: Detail of southeast corner
(Photo taken on June 13, 2018; Facing Northwest)



Image 19: South Elevation
(Photo taken on June 13, 2018; Facing North)



Image 20: Detail of second storey window opening
(Photo taken on June 13, 2018; Facing North)



Image 21: Detail of first storey window opening
(Photo taken on June 13, 2018; Facing North)



Image 22: Southwest corner of 6432 Ninth Line
(Photo taken on June 13, 2018; Facing Northeast)



Image 23: Northwest corner of 6432 Ninth Line
(Photo taken on June 13, 2018; Facing Southeast)



Image 24: Detail of west addition, North Elevation
(Photo taken on June 13, 2018; Facing South)



Image 25: Detail of soffit
(Photo taken on June 13, 2018; Facing South)



Image 26: Detail of first storey window opening
(Photo taken on June 13, 2018; Facing South)



Image 27: North Elevation
(Photo taken on June 13, 2018; Facing South)



Image 28: Detail of first storey window opening
(Photo taken on June 13, 2018; Facing South)



Image 29: Detail of stucco cladding over red brick structure
(Photo taken on June 13, 2018; Facing South)



Image 30: Detail of foundation
(Photo taken on June 13, 2018; Facing South)



Image 31: Contextual view from Ninth Line
(Photo taken on June 13, 2018; Facing North)



Image 32: Northeast corner of 6432 Ninth Line
(Photo taken on June 13, 2018; Facing Southwest)



Image 33: Contextual view from Ninth Line
(Photo taken on June 13, 2018; Facing East)



Image 34: Example of a "frogged" brick
(Photo taken on June 13, 2018; Facing East)



Image 35: Back Hall
(Photo taken on June 13, 2018; Facing South)



Image 36: Back Hall
(Photo taken on June 13, 2018; Facing West)



Image 37: Back Hall
(Photo taken on June 13, 2018; Facing North)

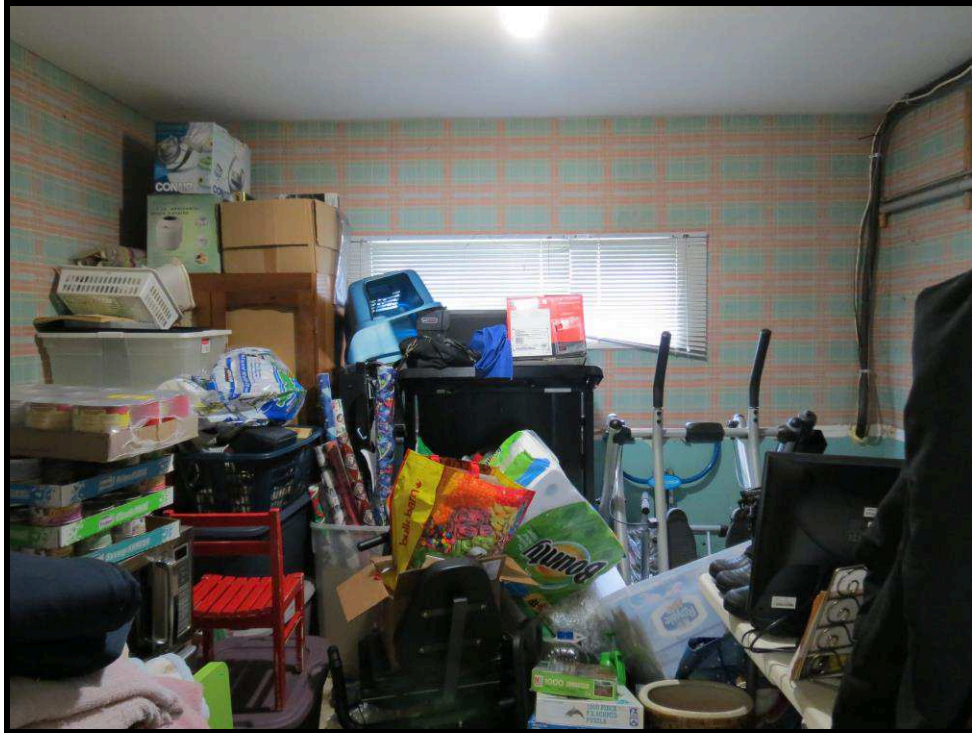


Image 38: Storage Room
(Photo taken on June 13, 2018; Facing North)



Image 39: Furnace Room
(Photo taken on June 13, 2018; Facing Southeast)

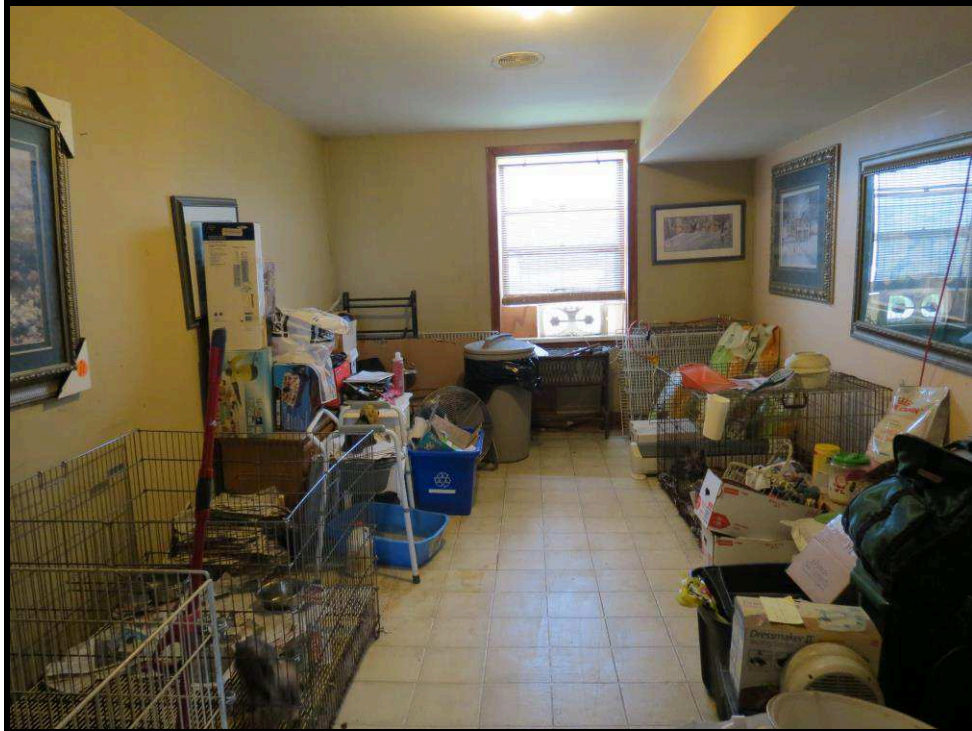


Image 40: Bedroom
(Photo taken on June 13, 2018; Facing North)

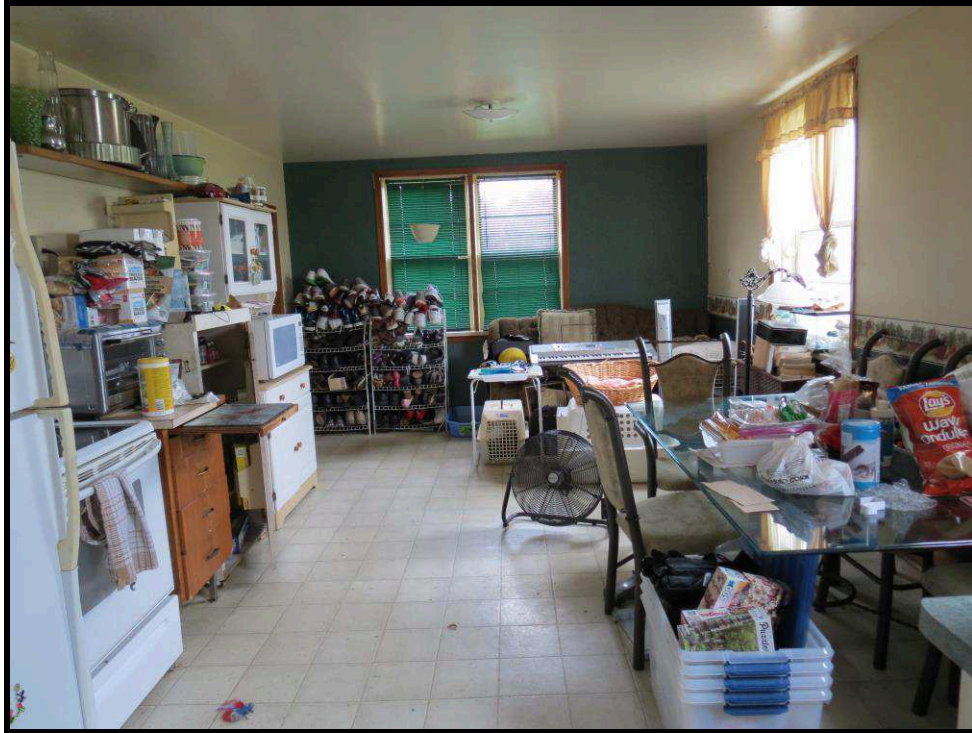


Image 41: Kitchen
(Photo taken on June 13, 2018; Facing East)



Image 42: Kitchen
(Photo taken on June 13, 2018; Facing South)



Image 43: Kitchen
(Photo taken on June 13, 2018; Facing South)



Image 44: Kitchen
(Photo taken on June 13, 2018; Facing Southwest)



Image 45: Living Room
(Photo taken on June 13, 2018; Facing North)



Image 46: Living Room
(Photo taken on June 13, 2018; Facing East)

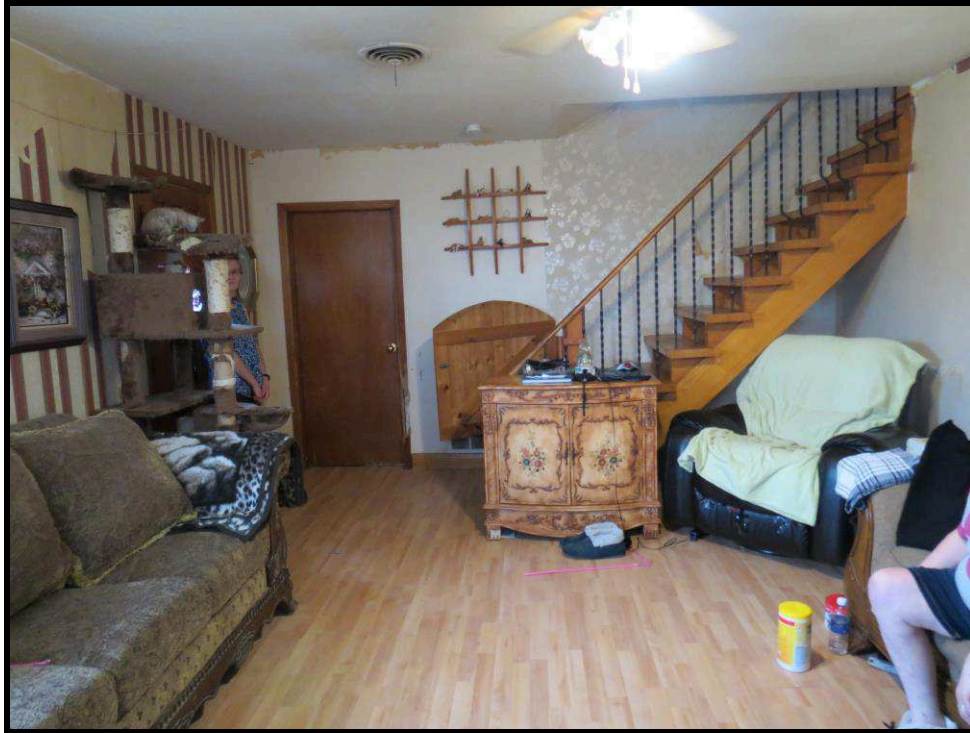


Image 47: Living Room
(Photo taken on June 13, 2018; Facing South)



Image 48: Bathroom
(Photo taken on June 13, 2018; Facing South)

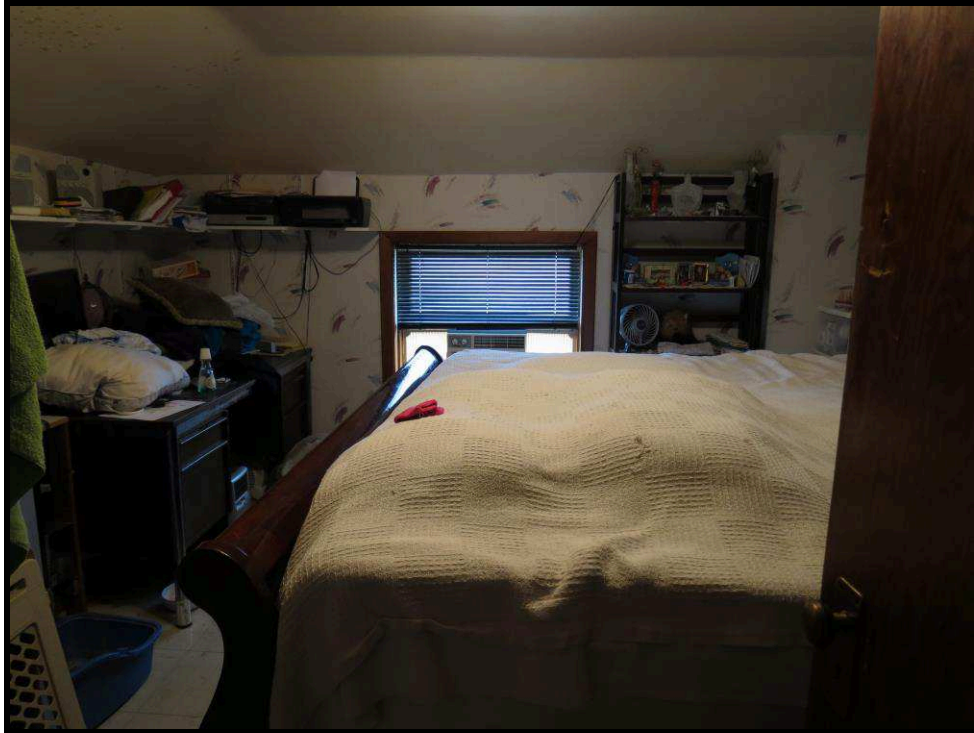


Image 49: Bedroom
(Photo taken on June 13, 2018; Facing North)



Image 50: Hallway
(Photo taken on June 13, 2018; Facing East)

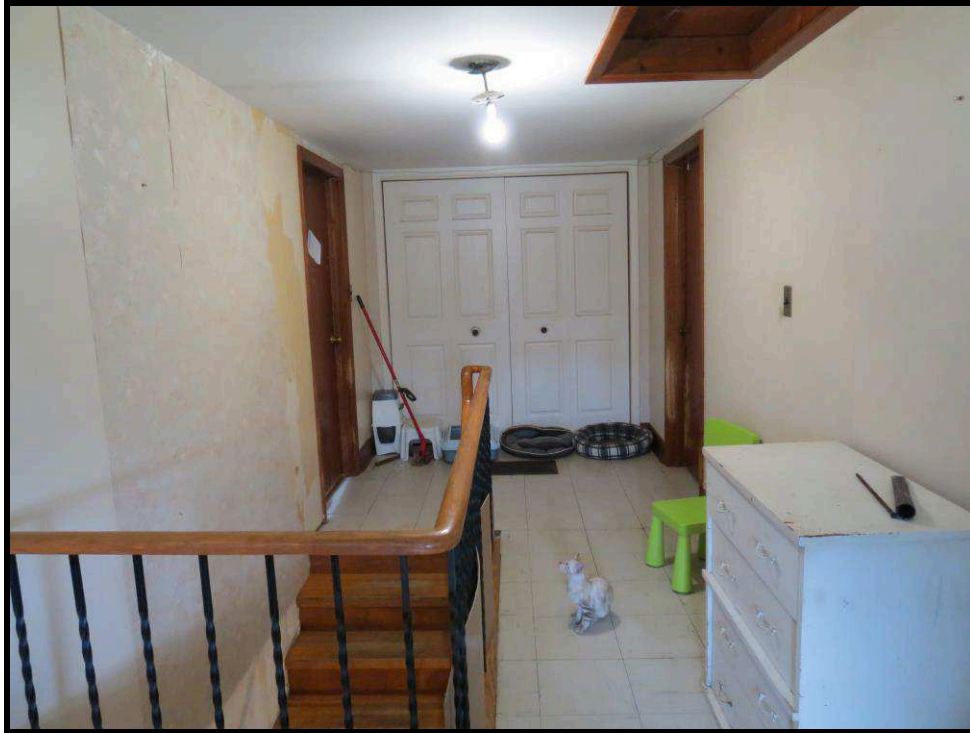


Image 51: Hallway
(Photo taken on June 13, 2018; Facing West)



Image 52: Bedroom
(Photo taken on June 13, 2018; Facing North)



Image 53: Garage
(Photo taken on June 13, 2018; Facing North)



Image 54: Garage
(Photo taken on June 13, 2018; Facing West)



Image 55: 6671 Ninth Line
(Photo taken on June 13, 2018; Facing East)

Gothic Revival (1830 – 1900)



John Scruton House (1856),
307 Queen Street South



Samuel Moore House (1883),
1295 Burnhamthorpe Road East

Image 56: Gothic Revival Architectural Style Buildings in Mississauga
(City of Mississauga 2012)

Appendix B: RAND Engineering Corporation Letter Re: Demolition Permit Application,
Scapicchio Property at 6432 Ninth Line, City of Mississauga



July 24th, 2018

Project No. 13958

City of Mississauga
Heritage Advisory Committee
Civic Centre
30 City Centre Drive
Mississauga, Ontario
L5B 3C1

ATTENTION: Mr. Mumtaz Alikhan
Legislative Coordinator

Dear Mr. Alikhan,

RE: Demolition Permit Application
Scapicchio Property at 6432 Ninth Line
City of Mississauga

We are writing on behalf of our client Mattamy Homes in support of the Demolition Permit for the existing heritage house located within the Scapicchio property at 6432 Ninth Line in the City of Mississauga.

Please be advised that RAND Engineering Corporation has conducted a preliminary grading and servicing analysis for the future development of the Ninth Line lands located between the southern limit of the Union Gas property and Osprey Marsh/Ninth Line SWM Pond outlet, including the Scapicchio property. It has been concluded that the ultimate grades at the heritage house location would be approximately 3-4 m higher in comparison to the existing ground and a potential retention of the building would be impractical to the development of the surrounding lands.

Should you have any questions or require additional information, please contact the undersigned.

Yours truly,

RAND Engineering Corporation

Piotr Szponar, P. Eng.

c. Eric Mueller – Mattamy Homes

5285 Solar Drive
Mississauga, ON
Canada L4W 5B8
T 905.625.9500
F 905.625.8331

www.randengineering.ca

1

Appendix C: Zaretsky Consulting Engineers Inc. Site Review

ZARETSKY CONSULTING ENGINEERS INC.

25 VALLEYWOOD DRIVE, UNIT #1
 MARKHAM, ONTARIO L3R 5L9
 (905) 470-1080 [TEL]
 (905) 470-0598 [FAX]
 email: zaretskyeng@rogers.com

REF.#18-078

SITE REVIEW	
PROJECT	FARM HOUSE 6432 NINTH LINE MISSISSAUGA, ONTARIO
DATE	JULY 17, 2018
REGARDING	FEASIBILITY OF RELOCATING THE FARM HOUSE TO A NEARBY LOCATION
REPORTED TO	MATTAMY HOMES ATTN: MARTINO GABRA

As requested and in your company, we examined this farm house in order to determine its present structural state with the concept of being able to relocate it to a site in the neighborhood. The information below was given to us by the present tenant who has been living there for 20 years.

About This Farm House

- This 2 storey brick clad farm house is approximately 100 years old.
- There was an add on one storey stud framed shed area on the west side which is probably 25 to 35 years old.
- The roof shingles were replaced approximately 5 years ago.
- There is no basement as it was filled with soil to the underside of the ground floor approximately 12 to 15 years ago.

FINDINGS

Exterior

- 1) The exterior of the 2 storey brick veneer was covered with stucco which has many vertical and horizontal cracks.
- 2) There are areas where the stucco has de-bonded from the brick veneer and separated from the wall.
- 3) The exterior brick section on the north wall and at the southeast corner (where the stucco had delaminated) was virtually disintegrated, suggesting that this brick was originally a soft brick and structurally questionable. To protect it from further deterioration, the wall stucco was covered at some stage many years ago.

...2/

FARM HOUSE - 6432 Ninth Line , Mississauga, Ontario
Site Review
zaretsky consulting engineers

Page 2
July 17, 2018
Ref. #18-078


Interior

- 1) Because the basement was soil filled, we could not examine the status of the ground floor joists or their condition.
- 2) According to the tenant, there are no leaks through the roof except for 1 leak into the ground floor kitchen which occurred during a driving storm in the past few weeks. We examined the interior ground and 2nd floor walls in the house and noted no water discoloration on the interior walls.
- 3) The 2nd floor is supported on 2" x 8" at 16" c/c wood joists which are bearing on the east/west partition wall separating the ground floor from the living room.
- 4) The 2nd floor is sloping in many directions.
- 5) The roof is stick framed with 2" x 4" jack studs at 16" abutting to a 2" x 6" ridge member.
- 6) There is a slight roof sag, suggesting that the present framing, while holding, is not structurally adequate.

COMMENT

In our view, this house is too flimsy and will endanger construction personnel during relocation. It should not be moved but demolished.

per: ZARETSKY CONSULTING ENGINEERS INC.,



Oscar S. Zaretsky, P. Eng.,
OSZ: cl

Appendix D: Historical Photos, Drawings and Other Archival Material

Table 4: Summary of Land Transactions for Part Lot 8, Concession 9, Trafalgar Township, Former Halton County (Part 2, 20R2671, City of Mississauga)

Instrument Number	Date	Instrument	Grantor	Grantee	Acreage
N/A	11 Nov 1846	Patent	Crown	Christopher Row	100 (E ½)
920	3 Mar 1851	B&S	Christopher Row & wife	William Watson	100 (E ½)
920	17 Mar 1858	Mortgage	William Watson	Christopher Row	- (E ½)
926	30 Apr 1858	Assignment of Mortgage	Christopher Row	Rawson Row	-
925	26 Apr 1858	Assignment of Mortgage	Rawson Row	John White	-
42	16 Oct 1858	Mortgage	William Watson & wife	James Metcalfe	100 (E ½)
302	16 Oct 1858	Mortgage	William Watson & wife	James Metcalfe	100 (E ½)
303	16 Apr 1859	Mortgage	William Watson & wife	James Metcalfe	100 (E ½)
282	17 Oct 1859	Assignment of Mortgage	James Metcalfe	John & Thomas Caveshill	100 (E ½)
454	31 May 1860	Mortgage	William Watson & wife	[Illegible]...ish Sturdey	100 (E ½)
458	6 Jun 1860	Dis. of Mort.	James Metcalfe	William Watson	100 (E ½)
459	2 Jun 1860	Dis. of Mort.	James Metcalfe	William Watson	-
817	13 Dec 1860	Pro. of Will	William Watson		- (E ½)
Illegible	27 Mar 1862	B&S	Executors of William Watson	Edward Coyne	100
20 E	12 Apr 1862	B&S	Executors of William Watson	Edward Coyne	100 (E ½)
150	28 Jan 1865	B&S	John & Thomas Caveshill & Edward Coyne	Daniel Sturdey	- (E ½)
37 F	25 Apr 1866	Order of Foreclosure.	Daniel Sturdey Plaintiff	Edward Coyne & others Defendants	100 (E ½)
38 F	15 May 1866	B&S	Daniel Sturdey & wife	Archibald McCurdy	100 (E ½)
34 F	27 Jun 1866	Mortgage	Archibald McCurdy & wife	Alexander Leith	100 (E ½)
351 G	1 Dec 1868	Mortgage	Archibald McCurdy & wife	John McMillan	100 (E ½)
785 G	22 Oct 1870	Dis. of Mort.	John McMillan	Archibald McCurdy	100 (E ½)
505 H	31 Oct 1870	B&S	Archibald McCurdy & wife	George Douglas	100 (E ½)
1297 II	31 May 1873	Dis. of Mort.	Alexander Leith	George Douglas	100 (E ½)
1298	31 May 1873	Mortgage	George Douglas & wife	Robert Ramsay	100 (E ½)
6940	15 Jan 1896	Mortgage	George Douglas	Corporation of the Township of Chinguacousy	
6941	15 Jan 1896	Dis. of Mort.	Robert Ramsay	George Douglas	Mortgage 1298
7896 V	16 Oct 1899	Dis. of Mort.	Corporation of the Township of Chinguacousy	George Douglas	Mortgage 6940
7897	12 Oct 1899	B&S	George Douglas & wife	William J. McCarron	100 (E ½)
17882	11 Mar 1935	Mortgage	William J. McCarron & wife	Agricultural Development Board	100 (E ½)
6979	21 Jun 1951	Letters - Probate	William Joseph McCarron	Cecil McCarron	E ½ subject to payment

Instrument Number	Date	Instrument	Grantor	Grantee	Acreage
26050N	7 Nov 1951	Grant	Frank McCarron & Cecil McCarron, Executors of William Joseph McCarron, deceased	Cecil McCarron, in his personal capacity	NE ½ (100 acres)
230372	9 Aug 1967	Grant	Cecil McCarron	John Loga, Mary Loga, as joint tenants of one undivided half & Victor Joch & Irene Joch as joint tenants of the other half of lands	4 lots – see plan attached (50 acres)
435074	15 Jun 1976	Grant	Cecil McCarron	Her Majesty the Queen as represented by the Minister of Government Services	Firstly Pt. NE ½ Lot 8 designated as Pt. 1, 2 & 3 on 20R2669 Secondly N & NE ½ Lot 8 designated as Pt. 1 on 20R2671
681456	Nov 30 1987	Grant	Estate of McCarron, Cecil	Scapicchio, Francesco Scapicchio, Hedwig Scapicchio, Michele Scapicchio, Candida Fraschini, Francesco Fraschini, Antonietta Delle Donne, Gino Delle Donne, Linda	Pt. NE ½ des as pt. 2 on 20R-2671; 12.609 acres
681457	30 Nov 1987	Mortgage	Scapicchio, Francesco Scapicchio, Hedwig Scapicchio, Michele Scapicchio, Candida Fraschini, Francesco Fraschini, Antonietta Delle Donne, Gino Delle Donne, Linda	National Trust Company	Pt. NE ½ des as pt. 2 on 20R-2671
681456	30 Nov 1987	Transfer	*** Completely Deleted ***	Scapicchio, Francesco Scapicchio, Hedwig Scapicchio, Michele Scapicchio, Candida Fraschini, Francesco Fraschini, Antonietta Delle Donne, Gino Delle Donne, Linda	N/A
681457	30 Nov 1987	Charge	*** Completely Deleted ***	National Trust Company	N/A
HR504276	18 Aug 2006	Disch. of Charge	*** Completely Deleted *** National Trust Company	N/A	N/A
HR576471	19 Jun 2007	Transfer	Delle Donne, Gino Delle Donne, Linda Fraschini, Antonietta Fraschini, Francesco Scapicchio, Candida Scapicchio, Francesco Scapicchio, Hedwig	Derry Britannia Developments Limited	N/A

Instrument Number	Date	Instrument	Grantor	Grantee	Acreage
			Scapicchio, Michele		
HR817684	4 Feb 2010	APL Gov't Order	The Corporation of the City of Mississauga	N/A	N/A
HR847452	7 Jun 2010	APL (General)	The Corporation of the City of Mississauga	N/A	N/A

Table 5: Owners/Occupants of Subject Property According to Tax Assessment and Collector's Rolls (AO)

Year	Occupant	Details
1851	William Watson	Paid \$400 (value of real property)
1852	William Watson	Paid \$380 (value of real property)
1853	William Watson	Freeholder. 100 acres. Paid \$440 (value of real property).
1881	George Douglas	Freeholder, age 39. Address of owner is Ninth Line. 100 acres. \$4000 (value of real property). 3 children between the age of 5–16, 2 persons between 21–60.
1891	George Douglas	Freeholder. 100 acres. \$4000 (total value of real property). One dog.
1892	George Douglas	Freeholder. 100 acres. \$4000 (total value of real property). One dog.
1893	George Douglas	Freeholder. 100 acres. \$4000 (total value of real property). One dog.
1894	George Douglas	Freeholder. 100 acres. \$4000 (total value of real property). One dog.

Appendix E: Key Team Member Two-Page Curriculum Vitae

Curriculum Vitae

Paul J. Racher, M.A., CAHP
 Principal - Management and Senior Review (MSR) Team
ARCHAEOLOGICAL RESEARCH ASSOCIATES LTD.
 219-900 Guelph Street, Kitchener, ON N2H 5Z6
 Phone: (519) 804-2291 x100 Mobile: (519) 835-4427
 Fax: (519) 286-0493
 Email: pracher@arch-research.com
 Web: www.arch-research.com

Biography

Paul Racher is a Principal of ARA. He has a BA in Prehistoric Archaeology from WLU and an MA in anthropology from McMaster University. He began his career as a heritage professional in 1986. Over the three decades since, he has overseen the completion of several hundred archaeological and cultural heritage contracts. Paul has years of experience related to linear transportation and rail projects, notably through the ongoing work to complete a Cultural Heritage Inventory for the Region of Waterloo's Stage 2 LRT from Kitchener to Cambridge, Ontario. He holds professional license #P007 with the MTCS. Paul is a former lecturer in Cultural Resource Management at WLU. He is a professional member of the Canadian Association of Heritage Professionals (CAHP) and the President of the Ontario Archaeological Association (OAS).

Education

1992-1997 PhD Programme, Department of Anthropology, University of Toronto.
 Supervisors: E.B. Banning and B. Schroeder. Withdrawn.
 1989-1992 M.A., Department of Anthropology, McMaster University, Hamilton, Ontario.
 Thesis titled: "The Archaeologist's 'Indian': Narrativity and Representation in Archaeological Discourse."
 1985-1989 Honours B.A., Wilfrid Laurier University, Waterloo, Ontario.
 Major: Prehistoric Archaeology.

Professional Memberships and Accreditations

Current Ministry of Tourism Culture and Sport Professional Licence (#P007).
 Professional Member of the Canadian Association of Heritage Professionals (CAHP), Volunteer on the ethics committee.
 Member of the Ontario Archaeological Society (OAS), Volunteer on the Professional Committee.
 Associate of the Heritage Resources Centre, University of Waterloo.
 RAQS registered with MTO.

Work Experience

Current **Vice-President, Operations, Archaeological Research Associates Ltd.**
 Responsible for winning contracts, client liaison, project excellence, and setting the policies and priorities for a multi-million dollar heritage consulting firm.
 2000-2011 **Project Manager/Principal Investigator, Archaeological Research Associates Ltd.**
 Managed projects for a heritage consulting firm. In 10 field seasons, managed hundreds of projects of varying size.

-
- 2008-2011 **Part-Time Faculty, Wilfrid Laurier University.**
Lecturer for Cultural Resource Management course (AR 336). In charge of all teaching, coursework, and student evaluations.
- 1995 **Field Archaeologist, University of Toronto.**
Served as a supervisor on a multinational archaeological project in northern Jordan.
- 1992-1995 **Teaching Assistant, University of Toronto.**
Responsible for teaching and organizing weekly tutorials for a number of courses.
- 1991-1994 **Part-Time Faculty, Wilfrid Laurier University.**
Lectured for several courses in anthropology. Held complete responsibility for all teaching, coursework, and student evaluations.
- 1992-1996 **Partner in Consulting Company, Cultural Management Associates Incorporated.**
Supervised several archaeological contracts in Southern Ontario. Participated in a major (now published) archaeological potential modeling project for MTO.
- 1989-1991 **Partner in Consulting Company, Cultural Resource Consultants.**
Managed the financial affairs of a consulting firm whilst supervising the completion of several contracts performed for heritage parks in central Ontario.
- 1988-1991 **Principal Investigator/Project Director, Archaeological Research Associates Ltd.**
Oversaw the completion of large contracts, wrote reports, and was responsible for ensuring that contracts were completed within budget.
- 1988 **Assistant Director of Excavations, St. Marie among the Hurons, Midland, Ontario.**
Duties included crew supervision, mapping, report writing and photography.
- 1986-1987 **Archaeological Crew Person, Archaeological Research Associates Ltd., Waterloo, Ontario.**
Participated in background research, survey, and excavation on a number of Archaeological sites across Ontario.

Kayla Jonas Galvin, M.A., CAHP
Heritage Operations Manager
ARCHAEOLOGICAL RESEARCH ASSOCIATES LTD.
1480 Sandhill Drive, Unit 3, Ancaster, ON L9G 4V5
Phone: (519) 804-2291 x120 Fax: (519) 286-0493
Email: kjgalvin@arch-research.com Web: www.arch-research.com

Biography

Kayla Jonas Galvin, Archaeological Research Associates Ltd.'s Heritage Operations Manager, has extensive experience evaluating cultural heritage resources and landscapes for private and public-sector clients to fulfil the requirements of provincial and municipal legislation such as the *Environmental Assessment Act*, the *Standards & Guidelines for the Conservation of Provincial Heritage Properties* and municipal Official Plans. She served as Team Lead on the Ministry of Tourism, Culture and Sport Historic Places Initiative, which drafted over 850 Statements of Significance and for *Heritage Districts Work!*, a study of 64 heritage conservation districts in Ontario. Kayla was an editor of *Arch, Truss and Beam: The Grand River Watershed Heritage Bridge Inventory* and has worked on Municipal Heritage Registers in several municipalities. Kayla has drafted over 150 designation reports and by-laws for the City of Kingston, the City of Burlington, the Town of Newmarket, Municipality of Chatham-Kent, City of Brampton and the Township of Whitchurch-Stouffville. Kayla is the Heritage Team Lead for ARA's roster assignments for Infrastructure Ontario and oversees evaluation of properties according to *Standards & Guidelines for the Conservation of Provincial Heritage Properties*. Kayla is a professional member of the Canadian Association of Heritage Professionals and sits on the board of the Ontario Association of Heritage Professionals.

Education

2016	MA in Planning, University of Waterloo. Thesis Topic: <i>Goderich – A Case Study of Conserving Cultural Heritage Resources in a Disaster</i>
2003-2008	Honours BES University of Waterloo, Waterloo, Ontario Joint Major: Environment and Resource Studies and Anthropology

Professional Memberships and Accreditations

Current	Professional Member, Canadian Association of Heritage Professionals (CAHP) Board Member, Ontario Association of Heritage Professionals. Candidate, Ontario Professional Planners Institute
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Work Experience

Current	Heritage Operations Manager, Archaeological Research Associates Ltd. Oversees business development for the Heritage Department, coordinates completion of designation by-laws, Heritage Impact Assessments, Built Heritage and Cultural Heritage Landscape Assessments, and Cultural Heritage Resource Evaluations.
2009-2013	Heritage Planner, Heritage Resources Centre, University of Waterloo Coordinated the completion of various contracts associated with built heritage including responding to grants, RFPs and initiating service proposals.
2008-2009, 2012	Project Coordinator–Heritage Conservation District Study, ACO Coordinated the field research and authored reports for the study of 32 Heritage Conservation Districts in Ontario. Managed the efforts of over 84 volunteers, four staff and municipal planners from 23 communities.

Work Experience (Continued)**2007-2008 Team Lead, Historic Place Initiative, Ministry of Culture**

Liaised with Ministry of Culture Staff, Centre's Director and municipal heritage staff to draft over 850 Statements of Significance for properties to be nominated to the Canadian Register of Historic Places. Managed a team of four people.

Selected Professional Development

- 2018 Indigenous Canada, University of Alberta
- 2017 Empowering Indigenous Voices in Impact Assessments, Webinar, International Association for Impact Assessments
- 2015 Introduction to Blacksmithing, One-Day
- 2015 Leadership Training for Managers Course, Dale Carnegie Training
- 2014 Heritage Preservation and Structural Recording in Historical and Industrial Archaeology, Wilfrid Laurier University, 12 weeks
- 2014 Conservation and Craftsmanship in Sustainable City Building Presented by the Hamilton Burlington Society of Architects
- 2012 Region of Waterloo Workshop on Heritage Impact Assessments, Half-Day
- 2012 Conducting Historic Building Assessments Workshop, One-Day
- 2012 Window Restoration Workshop, One-Day
- 2011 Lime Mortars for Traditionally Constructed Brickwork, Two-Day Workshop, ERA Architects and Historic Restoration Inc., Toronto
- 2011 Energy & Heritage Buildings Workshop Two-Day Workshop, Heritage Resources Centre
- 2010 Architectural Photography, Mohawk College
- 2010 Project Management Fundamentals, University of Waterloo Continuing Education
- 2009 Cultural Heritage Landscapes Two-Day Workshop, Heritage Resources Centre
- 2009 Urban Landscape and Documentary Photography, Mohawk College
- 2008 Introduction to Digital Photography, Mohawk College
- 2008 Heritage Planning Four-Day Workshop, Heritage Resources Centre

Selected Publications

- 2018 "Restoring Pioneer Cemeteries" *Ontario Association of Heritage Professionals Newsletter*. Spring 2018.
- 2015 "Written in Stone: Cemeteries as Heritage Resources." *Municipal World*, September 2015.
- 2015 "Bringing History to Life." *Municipal World*, February 2015, pages 11-12.
- 2014 "Inventorying our History." *Ontario Planning Journal*, January/February 2015.
- 2014 "Mad about Modernism." *Municipal World*, September 2014.
- 2014 "Assessing the success of Heritage Conservation Districts: Insights from Ontario Canada." with R. Shipley and J. Kovacs. *Cities*.
- 2014 "Veevers Estate Hamilton: From Historic Farmhouse to Environmental Showpiece." *ACORN*, Spring 2014.

Lindsay Benjamin, M.A.E.S., CAHP
 Heritage Project Manager
ARCHAEOLOGICAL RESEARCH ASSOCIATES LTD.
 219-900 Guelph Street, Kitchener, ON, N2H 5Z6
 Phone: (519) 804-2291 x120 Fax: (519) 286-0493
 Email: lindsay.benjamin@arch-research.com
 Web: www.arch-research.com

Biography

Lindsay Benjamin is practiced at providing professional planning recommendations and expertise on complex studies, research projects, cultural heritage impact and archaeological assessments. Through her work as a Cultural Heritage Planner, Lindsay researched, drafted and implemented policies for the Regional Official Plan and other planning documents regarding the recognition, review and conservation of cultural heritage resources, including archaeological resources, heritage bridges, cultural heritage landscapes and scenic roads. She served as a Team Lead on the MTCS Historic Places Initiative that drafted over 850 Statements of Significance, was Series Editor for Phase 2 of *Heritage Districts Work!* a study of 32 heritage districts, and was the Primary Author of *Arch, Truss and Beam: The Grand River Watershed Heritage Bridge Inventory*. Lindsay has developed heritage property tax relief programs, worked on Municipal Heritage Registers and drafted designation by-laws in several municipalities. She holds a Master of Applied Environmental Studies degree from the University of Waterloo School of Planning, is a Professional Member of the Canadian Association of Heritage Professionals (CAHP) and a Candidate member of the Ontario Professional Planners Institute (OPPI).

Education

2013	MAES, University of Waterloo, Waterloo, ON Focus: Planning
2009	Post-Graduate Diploma, Centennial College, Toronto, ON Publishing & Professional Writing
2007	Honours BES, University of Waterloo, Waterloo, ON Major: Urban Planning, Co-op Distinction: Dean's Honours List

Professional Memberships and Accreditations

Current	Professional Member, Canadian Association of Heritage Professionals (CAHP) Candidate Member, Ontario Professional Planners Institute (OPPI)
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Professional Development

2012-Present	Canadian Association of Heritage Professionals (CAHP), Professional Membership
2013-2017	Ontario Heritage Planners Network Workshops
2017, 2016	National Trust for Canada Conference
2016	Heritage Inventories Workshop, City of Hamilton & ERA Architects
2011-2015	Ontario Heritage Conference
2012	Heritage Impact Assessments Workshop, Region of Waterloo
2012	National Trust for Historic Preservation Conference, Spokane, WA
2012	Conducting Historic Building Assessments Workshop, National Trust for Historic Preservation Conference, Spokane, WA
2012	Canadian Institute of Planners National Conference, Banff, ON
2012	Historic Window Restoration Workshop, Ontario Heritage Conference
2011	Energy and Heritage Buildings Two-Day Workshop, Heritage Resources Centre
2011	Heritage Conservation Districts Workshop, Heritage Resources Centre

Awards

- 2014 Heritage River Award, Watershed Awards & Canadian Heritage River Celebration, Grand River Conservation Authority
- 2009 A. K. (Alice King) Sculthorpe Award for Advocacy - Architectural Conservancy of Ontario

Work Experience

- 2017-Present **Heritage Team Member, Archaeological Research Associates Ltd.**
Coordinate the completion of heritage projects, including the evaluation of the cultural heritage value or interest of a variety of cultural heritage resources.
- 2013-2017 **Cultural Heritage Planner, Region of Waterloo**
Planned and implemented Arts, Culture and Heritage initiatives that support creativity and quality of life in the Region of Waterloo. Researched, developed and implemented Regional cultural heritage policies and programs. Fulfilled Regional and Provincial cultural heritage and archaeological review responsibilities under the Planning Act and Ontario Heritage Act.
- 2009-2013 **Heritage Planner, Heritage Resources Centre, University of Waterloo**
Facilitate the completion of various cultural heritage contracts by undertaking archival research, site visits, report writing, liaising with municipal staff and stakeholders and coordinating project scheduling and budgetary responsibilities.
- 2006-2007 **Project Manager, Heritage Resources Centre, University of Waterloo**
Established the process of nominating heritage properties to the National Register of Historic Places. Primary liaison between all stakeholder groups, responsible for motivating each group to participate and provide funding. Drafted over 130 Statements of Significance for properties to be nominated to the National Register. Managed a team of five employees.
- 2005-2006 **Heritage Conservation Easement Planning Assistant, Ontario Heritage Trust**
Supported easement acquisitions through researching the historical and architectural value of potential acquisitions and extensive photo documentation. Screened and processed activity requests from property owners and stakeholders relating to the easement program. Conducted site visits to monitor conservation easement sites and prepared condition assessment reports.

Publications

- 2017 Historic Interpretive Plaque, Village of German Mills
- 2016 Historic Interpretive Plaque, Huron Road Bridge
- 2015 Region of Waterloo Public Building Inventory
- 2015 Cultivating Heritage Gardens & Landscapes Workshop
- 2014 Historic Interpretive Plaque, West Montrose Covered Bridge
- 2014 Series of 17 Practical Conservation Guides for Heritage Properties

Volunteer Experience

- 2017 Lieutenant Governor's Ontario Heritage Awards Jury Member

Penny M. Young, M.A., CAHP (#P092)
Heritage Project Manager
ARCHAEOLOGICAL RESEARCH ASSOCIATES LTD.
1480 Sandhill Drive, Unit 3, Ancaster, ON L9G 4V5
Phone: (519) 804-2291 x121 Email: penny.young@arch-research.com
Web: www.arch-research.com

Penny Young has 27 years of cultural heritage management experience, 21 years working in government, as a Heritage Planner, Heritage Coordinator, Regional Archaeologist and Archaeological Database Coordinator where she managed and coordinated the impacts to cultural heritage resources including built heritage, archaeological sites and cultural heritage landscapes for compliance with municipal, provincial and federal legislation and policy. She has conducted results-driven and collaborative management of complex cultural heritage resource projects within the public sector involving developing project terms of reference, defining scope of work, preparation of budgets and conducting sites visits to monitor and provide heritage/archaeological and environmental advice and direction. At the Ministry of Transportation Penny revised, updated and developed policy, as part of a team, for the *Ontario Heritage Bridge Guidelines for Provincially Owned Bridge Guidelines for Provincially Owned Bridges*. She received the MTO Central Region Employee Recognition Award in 2001 and 2002. While at MTO she provided technical advice and input into the development of the *MTO Environmental Reference for Highway Design - Section 3.7 Built Heritage and Cultural Heritage Landscapes* and the *MTO Environmental Guide for Built Heritage and Cultural Heritage Landscapes*. She is a professional member of the Canadian Association of Heritage Planners (CAHP) and holds Professional License #P092 from MTCS. She also holds memberships in the Ontario Professional Planners Institute (OPPI) and the Ontario Archaeological Society (OAS).

Education

1990-1993 Master of Arts, Department of Anthropology McMaster University, Hamilton Ontario. Specializing in Mesoamerican and Ontario archaeology.
1983-1987 Honours Bachelor of Arts (English and Anthropology), McMaster University, Hamilton, Ontario.

Professional Memberships and Accreditations

Current Professional Member of the Canadian Association of Heritage Professionals (CAHP)
Member of Ontario Archaeological Society
Pre-Candidate, Ontario Professional Planners Institute
Ministry of Tourism Culture and Sport Professional Licence (#P092)

Work Experience

Current **Project Manager, Archaeological Research Associates Ltd.**
Coordinates ARA project teams and conducts heritage assessment projects including Heritage Impact Assessments, Built Heritage and Cultural Heritage Landscape Assessments, and Cultural Heritage Resource Evaluations. Additional responsibilities include the completion of designation by-laws and heritage inventories. Liaises with municipal staff, provincial ministries and Indigenous communities to solicit relevant project information and to build relationships.

Work Experience (Continued)

- 2008-2016 **Heritage Planner, Culture Services Unit, Ministry of Tourism, Culture & Sport (MTCS)**
Responsible for advising and providing technical review for management of cultural heritage resources in environmental assessment undertakings and planning projects affecting provincial ministries, municipalities, private sector proponents and Indigenous communities. Advised on municipalities' Official Plan (OP) policies cultural heritage conservation policies. Provided guidance on compliance with the Public Work Class EA, other Class EA legislation and 2010 *Standards and Guidelines for Provincial Heritage Properties*.
- 2014 **Senior Heritage Planner, Planning and Building Department, City of Burlington** (temporary assignment)
Project manager of the study for a potential Heritage Conservation District. Provided guidance to a multiple company consultant team and reported to municipal staff and the public. Liaised with Municipal Heritage Committee and municipal heritage property owners approved heritage permits and provided direction on Indigenous engagement, archaeological site assessments and proposed development projects.
- 2011 **Heritage Coordinator, Building, Planning and Design Department, City of Brampton** (temporary assignment)
Project lead for new Heritage Conservation District Study. The assignment included directing consultants, managing budgets, organizing a Public Information Session, and reporting to Senior Management and Council. Reviewed development/planning documents for impacts to heritage including OP policies, OP Amendments, Plans of subdivision and Committee of Adjustment applications and Municipal Class EA undertakings.
- 2010-2011 **Senior Heritage Coordinator, Culture Division, City of Mississauga** (temporary assignment)
Provided advice to Senior Management and Municipal Council on heritage conservation of built heritage, archaeological sites and cultural heritage landscapes. Liaised with multiple municipal staff including the Clerks' office, Parks and development planners and the public. Supervised and directed project work for junior heritage planner.
- 1999-2008 **Regional Archaeologist, Planning and Environmental Section, Ministry of Transportation (MTO)**
Responsibilities included: project management and coordination of MTO archaeology and heritage program, managed multiple consultants, conducted and coordinated field assessments, surveys and excavations, liaised with First Nations' communities and Band Councils, estimated budgets including \$200,000 retainer contracts.

Sarah Clarke, B.A.
Research Manager
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Phone: (519) 755-9983 Email: sclarke@arch-research.com
Web: www.arch-research.com

Sarah Clarke is Archaeological Research Associates Ltd.'s Heritage Research Manager. Sarah has over 12 years of experience in Ontario archaeology and 10 years of experience with background research. Her experience includes conducting archival research (both local and remote), artifact cataloguing and processing, and fieldwork at various stages in both the consulting and research-based realms. As Team Lead of Research, Sarah is responsible for conducting archival research in advance of ARA's archaeological and heritage assessments. In this capacity, she performs Stage 1 archaeological assessment site visits, conducts preliminary built heritage and cultural heritage landscape investigations and liaises with heritage resource offices and local community resources in order to obtain and process data. Sarah has in-depth experience in conducting historic research following the *Ontario Heritage Toolkit* series, and the *Standards and Guidelines for Provincial Heritage Properties*. Sarah holds an Honours B.A. in North American Archaeology, with a Historical/Industrial Option from Wilfrid Laurier University and is currently enrolled in Western University's Intensive Applied Archaeology MA program. She is a member of the Ontario Archaeological Society (OAS), the Society for Industrial Archaeology, the Ontario Genealogical Society (OGS), the Canadian Archaeological Association, and is a Council-appointed citizen volunteer on the Brantford Municipal Heritage Committee. Sarah holds an R-level archaeological license with the MTCS (#R446).

Education

Current	MA Intensive Applied Archaeology, Western University, London, ON. Proposed thesis topic: Archaeological Management at the Mohawk Village.
1999–2010	Honours BA, Wilfrid Laurier University, Waterloo, Ontario Major: North American Archaeology, Historical/Industrial Option

Professional Memberships and Accreditations

Current	Member of the Ontario Archaeological Society
Current	Member of the Society for Industrial Archaeology
Current	Member of the Brant Historical Society
Current	Member of the Ontario Genealogical Society
Current	Member of the Canadian Archaeological Association
Current	Member of the Archives Association of Ontario

Work Experience

Current	Team Lead – Research; Team Lead – Archaeology, Archaeological Research Associates Ltd. Manage and plan the research needs for archaeological and heritage projects. Research at offsite locations including land registry offices, local libraries and local and provincial archives. Historic analysis for archaeological and heritage projects. Field Director conducting Stage 1 assessments.
2013-2015	Heritage Research Manager; Archaeological Monitoring Coordinator, Archaeological Research Associates Ltd. Stage 1 archaeological field assessments, research at local and distant archives at both the municipal and provincial levels, coordination of construction monitors for archaeological project locations.

Work Experience (Continued)

- 2010-2013 **Historic Researcher, Timmins Martelle Heritage Consultants Inc.**
Report preparation, local and offsite research (libraries, archives); correspondence with the Ministry of Tourism, Culture, and Sport; report submission to the MTCS and clients; and administrative duties (PIF and Borden form completion and submission, data requests).
- 2008-2009 **Field Technician, Archaeological Assessments Ltd.**
Participated in field excavation and artifact processing.
- 2008-2009 **Teaching Assistant, Wilfrid Laurier University.**
Responsible for teaching and evaluating first year student lab work.
- 2007-2008 **Field and Lab Technician, Historic Horizons.**
Participated in excavations at Dundurn Castle and Auchmar in Hamilton, Ontario. Catalogued artifacts from excavations at Auchmar.
- 2006-2010 **Archaeological Field Technician/Supervisor, Wilfrid Laurier University.**
Field school student in 2006, returned as a field school teaching assistant in 2008 and 2010.

Professional Development

- 2018 Grand River Watershed 21st Annual Heritage Day Workshop and Celebration (One day)
- 2018 Mississaugas of the New Credit First Nation Historical Gathering and Education Conference (One day)
- 2017 Ontario Genealogical Society Conference. (Two days)
- 2016 Ontario Archaeological Society Symposium (One day)
- 2015 Introduction to Blacksmithing Workshop, Milton Historical Society (One day)
- 2015 Applied Research License Workshop, MTCS (One day)
- 2014 Applied Research License Workshop, MTCS (One day)
- 2014 Heritage Preservation and Structural Recording in Historical and Industrial Archaeology. Four-month course taken at Wilfrid Laurier University, Waterloo, ON. Professor: Meagan Brooks

Presentations

- 2018 The Early Black History of Brantford. Brant Historical Society, City of Brantford.
- 2017 Mush Hole Archaeology. Ontario Archaeological Society Symposium, City of Brantford.
- 2017 Urban Historical Archaeology: Exploring the Black Community in St. Catharines, Ontario. Canadian Archaeological Association Conference, Gatineau, QC.

Volunteer Experience

Current Council-appointed citizen volunteer for the Brantford Municipal Heritage Committee.

Chloe Richer, Hons. BA, M.Sc.PI
Heritage Team Member

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Chloe Richer, ARA's Heritage Team Member, is practiced at conducting historic research at facilities such as the Archives of Ontario; w contributing to technical reports, including Cultural Heritage Evaluations and Assessments, Cultural Heritage Landscape Inventories, Research Report and Heritage Impact Assessments; and with site visits, architectural photography and documentation. In 2018, Chloe obtained a diploma in Heritage Conservation from Willowbank School of Restoration Arts. She also holds a Master of Science in Planning degree (2011) and an Honours Bachelor of Arts degree (2009) from the University of Toronto. Her experience prior to joining ARA included extensive community engagement and consultation work as a Constituency Assistant with the City of Toronto from 2011 to 2015. In 2016, Chloe participated in a wide range of curatorial activities as Exhibit Technician Summer Student with the Heritage Services – Regional Municipality of Halton. As an Intern with the City of Hamilton's Heritage Facilities and Capital Planning – Tourism & Culture Division from 2016 to 2018, Chloe conducted research and documentation of Chedoke Estate, a site owned by the Ontario Heritage Trust and maintained by the City of Hamilton. Chloe is a Student Member of the following organizations: Canadian Association of Heritage Professionals (CAHP), Ontario Professional Planners Institute (OPPI), and Canadian Institute of Planners (CIP).

Education

- | | |
|------|--|
| 2018 | Diploma, Willowbank School of Restoration Arts, Queenston, ON
Heritage Conservation |
| 2011 | Master of Science in Planning, University of Toronto, Toronto, ON
Specialization: Social Planning and Policy, and Community Development |
| 2009 | Honours BA, University of Toronto, Toronto, ON
Major: Urban Studies, Minors: Geography and English
Graduated with Distinction |

Professional Memberships and Accreditations

- | | |
|---------|---|
| Current | Student Member, Canadian Association of Heritage Professionals (CAHP)
Student Member, OPPI (Ontario Professional Planners Institute)
Student Member, CIP (Canadian Institute of Planners) |
|---------|---|

Work Experience

- | | |
|-----------|--|
| Current | Heritage Team Member, Archaeological Research Associates Ltd.
Participating in the completion of heritage projects, including the evaluation of the cultural heritage value or interest for a variety of cultural heritage resources. |
| 2016-2018 | Intern, Heritage Facilities and Capital Planning, City of Hamilton
Live-in internship researching potential future uses of Balfour House at Chedoke Estate, with a focus on revenue generation for the City of Hamilton. Analysis of the <i>Ontario Building Code</i> as well as planning and zoning regulations affecting the site. Documentation and assessing Balfour House for any maintenance concerns or deterioration of built heritage assets. |

Work Experience (Continued)

- 2016 **Exhibit Technician Summer Student, Halton Region**
Participated in a wide range of curatorial activities, with a specific focus on the production of exhibits for Halton Heritage Services, part of Halton Region's Legislative and Planning Services. Secondary duties included collections management, public programming and preventative conservation.
- 2011-2015 **Constituency Assistant, City of Toronto**
Provided constituency outreach for Councillor Josh Matlow. Ensured constituents' inquiries were addressed, specifically regarding tenant issues, accessibility and seniors, other social services, small business issues and parks. Organized public meetings on planning applications, transit and the budget; site visits with City of Toronto staff; and meetings with stakeholders such as other levels of government, community organizations and private sector consultants.
- 2008-2012 **Research Assistant II, St. Michael's Hospital**
Assisted the Survey Research Unit at the Centre for Research on Inner City Health with qualitative research for a study that examined whether moving from aging public housing into new, mixed-income housing can affect a person's health.

Professional Development

- 2018 Heritage Day Workshop, Heritage Working Group and City of Waterloo, Waterloo, ON
- 2017 Symposium on Intangible Heritage, Ontario Heritage Trust, Toronto, ON
- 2017 Montreal Round Table, Canada Research Chair on Built Heritage, Université de Montréal, Montréal, QC
- 2016 *Heritage Rising*, National Trust for Canada Conference, Hamilton, ON
- 2009 OPPI and Canadian Institute of Planners Joint Conference, Niagara Falls, ON
- 2007 Planners Network Annual Conference, New Orleans, Louisiana

Publications

- 2016 "Reflections on a Summer with Halton Heritage Services: The Importance of Student Training Opportunities." CAHP E-Forum, August 2016.

Presentations

- 2017 "Weston Heritage Conservation District (HCD) Study – Weston HCD Phase II." Co-presented to Conestoga College Heritage Conservation students.
- 2017 "Student views on balancing tourism and heritage conservation: Venice and its Lagoon World Heritage Site case study." Presented at the 2017 Montreal Roundtable, Montreal, Quebec.

Volunteer Experience

- 2017 Doors Open Hamilton Organizing Committee Member
- 2012-2015 Bloor Hot Docs Cinema Volunteer
- 2014-2015 Volunteer Photographer, Jane's Walk Toronto
- 2011 Doors Open Toronto Information Ambassador, City of Toronto

Andrea Carswell, B.A. Hons, D.CCM
Conservation Technician

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Biography

Andrea has worked in the field of cultural heritage preservation and conservation for eight years. She holds an Honours B.A. in Anthropology with an Emphasis in Archaeology from Trent University, as well as a post-graduate Diploma in Collections and Conservation Management from Fleming College. Following a year in Fleming College's Conservation Laboratory as well as a year at the Waterloo Region Museum, Andrea joined ARA as the Laboratory Services Team Lead and Conservator in 2011. Andrea is skilled in the most current preservation and conservation techniques and practices. She specializes in the analysis and preservation of mixed materials, both interior and exterior, including but not limited to; stone, brick, mortars, woods, and metals. Her experience and ability to analyze several material types for both interiors and exteriors allows her to work seamlessly in developing conservation strategies for a variety of building envelopes and architectural features. In her role at ARA Ltd. Andrea utilizes her compilation of skills and knowledge to work with both heritage and archaeology to analyse and integrate findings as required. She is a committee member of the Heritage Planning and Advisory Committee for the Waterloo Region where she employs her background to assist in all matters of conservation and preservation for built heritage. She is also a member of the Canadian Association for Conservation (CAC-ACCR), a Professional Member of the International Council on Monuments and Sites, Canada (ICOMOS-Canada), the Canadian Museum Association (CMA), the Ontario Archaeological Society (OAS), and the Ontario Museum Association (OMA).

Education

2009–2010 Diploma in Collections Conservation and Management, Fleming College
2005–2009 Honours BA Trent University, Peterborough, Ontario
Major: Anthropology with an Emphasis in Archaeology

Professional Memberships and Accreditations

Current Committee Member for the Heritage Planning Advisory Committee (HPAC) for the Waterloo Region
Canadian Association for Conservation (CAC-ACCR)
Ontario Archaeological Society (OAS), Grand River Chapter
Professional Member of the International Council on Monuments and Sites, Canada (ICOMOS-Canada)
Professional Member of the Society for Historical Archaeology (SHA)
Ontario Museum Association (OMA)

Work Experience

2011-Current **Conservator, Archaeological Research Associates Ltd., Kitchener, Ontario**
Manages artifact collections, including identification, documentation, and storage. Preserves and conserves artifacts. Performs condition assessments and treatments on at-risk artifacts. Works with ARA's Heritage Department to complete various forms and levels of conservation plans for built heritage resources and cultural heritage landscapes.

Work Experience (Continued)

September 2018
HR-132-2018

Archaeological Research Associates Ltd.
ARA File #2018-0184

- 2010–2011 **Conservation Assistant, Waterloo Region Museum, Kitchener, Ontario**
Internship: Conserved, preserved, and documented a variety of mixed collection artifacts. Prepared artifacts for exhibition. Performed conservation assessments of objects within Doon Heritage Village. Completed a research report and study on the preservation of exterior ferrous materials. Developed a revised condition assessment and treatment report for the conservation lab.
- 2007 **Field Technician, Trent University, Belize**
Field school student for the Trent Social Archaeology Research Program in Belize. Performed proper techniques and methods of excavation, including surveying and mapping. Executed artifact, stratification, and archaeological feature identification. Synthesized and reported findings for analysis as well as catalogued and cleaned artifacts for storage.

Professional Development

- Current Preserved and Conserved artifacts for display for the WLU Brantford YMCA archaeological site
- Current Preserved and Conserved artifacts for the Woodland Cultural Centre, Brantford
- 2018 "Microscopy Refresher" workshop, CAC-ACCR 2018 Conference
- 2015 Attended the Ontario Association of Cemetery and Funeral Professionals (OACFP) Monument Safety and Conservation workshop, Woodlawn Cemetery Guelph
- 2014 "Conservation and Built Heritage" workshop, CAC 2014 Conference
- 2013 "Care of Archaeological Artifacts from the Field to the Lab" course, Northern States Conservation Center
- 2010 "Preservation of Gravestones and Monuments" presented by Tamara Anson-Cartwright from the Ontario Ministry of Tourism, Culture and Sport, Half Day
- 2010 "Cultural Resource Planning and Management Along the Trent-Severn Waterway (TSW)", workshop by Richard Scott, TSW Planner and Dennis Carter-Edwards, Cultural Resource Management Manager, One Day
- 2010 "Built Heritage Preservation" workshop by Erik Hanson, Heritage Preservation Office, City of Peterborough
- 2010 "Archaeological Conservation and Collections Management" presented by Dr. Cathy Mathias, Memorial University
- 2005–2009 Honours BA Trent University, Peterborough, Ontario
Major: Anthropology with an Emphasis in Archaeology

City of Mississauga
Corporate Report



<p>Date: 2018/12/11</p> <p>To: Chair and Members of Heritage Advisory Committee</p>	<p>Originator's files:</p>
<p>From: Paul Mitcham, P. Eng, MBA, Commissioner of Community Services</p>	<p>Meeting date: 2019/01/08</p>

Subject

Request to Demolish a Heritage Listed Property: 846 Chaucer Avenue (Ward 2)

Recommendation

That the property at 846 Chaucer Avenue, which is listed on the City's Heritage Register, is not worthy of heritage designation, and consequently, that the owner's request to demolish proceed through the applicable process as per the Corporate Report from the Commissioner of Community Services dated December 11, 2018.

Section 27.3 of the Ontario Heritage Act states that structures or buildings on property listed on the City's Heritage Register cannot be removed or demolished without at least 60 days' notice to Council. This legislation allows time for Council to review the property's cultural heritage value to determine if the property merits designation.

The owner of the subject property has submitted an application to demolish the existing structure, which has succumbed to fire. Images are attached as Appendix 1. The subject property is listed on the City's Heritage Register as it forms part of the Lorne Park Estates cultural landscape. This unique shoreline community combines a low density residential development with the protection and management of an amazing forested community representative in many ways of the pre-settlement shoreline of Lake Ontario. It is recognized for its balance between residential development and the protection of a mature forest community.

Comments

The owner of the subject property has requested permission to demolish the existing structure. Because it has succumbed to fire, it is not reasonable to propose heritage designation.

Financial Impact

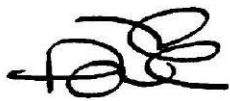
There is no financial impact resulting from the recommendation in this report.

Conclusion

The owner of 846 Chaucer Avenue has requested permission to demolish a structure on a property that is listed on the City's Heritage Register. Because the building has succumbed to fire, it should not be considered for designation under the Ontario Heritage Act.

Attachments

Appendix 1: Photos



Paul Mitcham, P. Eng, MBA, Commissioner of Community Services

Prepared by: Paula Wubbenhorst, Heritage Planner

7.4 - 3
Appendix 1



7.4 - 4
Appendix 1



City of Mississauga
Corporate Report



<p>Date: 2018/12/11</p> <p>To: Chair and Members of Heritage Advisory Committee</p>	<p>Originator's files:</p>
<p>From: Paul Mitcham, P. Eng, MBA, Commissioner of Community Services</p>	<p>Meeting date: 2019/01/08</p>

Subject

Request to Demolish a Heritage Listed Property: 2104 Mississauga Road (Ward 8)

Recommendation

That the property at 2104 Mississauga Road, which is listed on the City's Heritage Register, is not worthy of heritage designation, and consequently, that the owner's request to demolish proceed through the applicable process as per the Corporate Report from the Commissioner of Community Services dated December 11, 2018.

Background

Section 27.3 of the Ontario Heritage Act states that structures or buildings on property listed on the City's Heritage Register cannot be removed or demolished without at least 60 days' notice to Council. This legislation allows time for Council to review the property's cultural heritage value to determine if the property merits designation.

The owner of the subject property has submitted a heritage permit application to demolish and replace the existing structure. The subject property is listed on the City's Heritage Register as it forms part of the Mississauga Road Scenic Route cultural landscape. This cultural landscape is significant due to its scenic and visual quality as the road traverses a variety of topography and land use, from old established residential neighbourhoods to new industrial and commercial uses. Its landscape is of archaeological, design, technological interest as well as having historical interest and associations, illustrating important phases of Mississauga's history and displaying a consistent scale of built features.

The landscaping, urban design and conservation authority related aspects will be reviewed as part of the Site Plan review process to ensure the project respects the character of the surrounding community.

Comments

The owner of the subject property has requested permission to demolish the existing structure. The applicant has provided a Heritage Impact Assessment, attached as Appendix 1. The consultant has concluded that the structure at 2104 Mississauga Road is not worthy of designation. Staff concurs with this finding.

Financial Impact


There is no financial impact resulting from the recommendation in this report.

Conclusion

The owner of 2104 Mississauga Road has requested permission to demolish a structure on a property that is listed on the City's Heritage Register. The applicant has submitted a documentation report which provides information which does not support the building's merit for designation under the Ontario Heritage Act. Staff concurs with this finding.

Attachments

Appendix 1: Heritage Impact Assessment



Paul Mitcham, P. Eng, MBA, Commissioner of Community Services

Prepared by: P. Wubbenhorst, Heritage Planner

HERITAGE IMPACT ASSESSMENT



2104 Mississauga Road
Mississauga Road Scenic Route
Cultural Landscape

FINAL REPORT

23 Nov 2018

MEGAN HOBSON

M.A. DIPL. HERITAGE CONSERVATION

Built Heritage Consultant

45 James Street, Dundas, ON L9H 2J5

(905) 975-7080

mhobson@bell.net

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	APPENDIX C: PROPOSED DEVELOPMENT (DRAWINGS BY AMR ARCHITECTS INC.)	ATTACHED

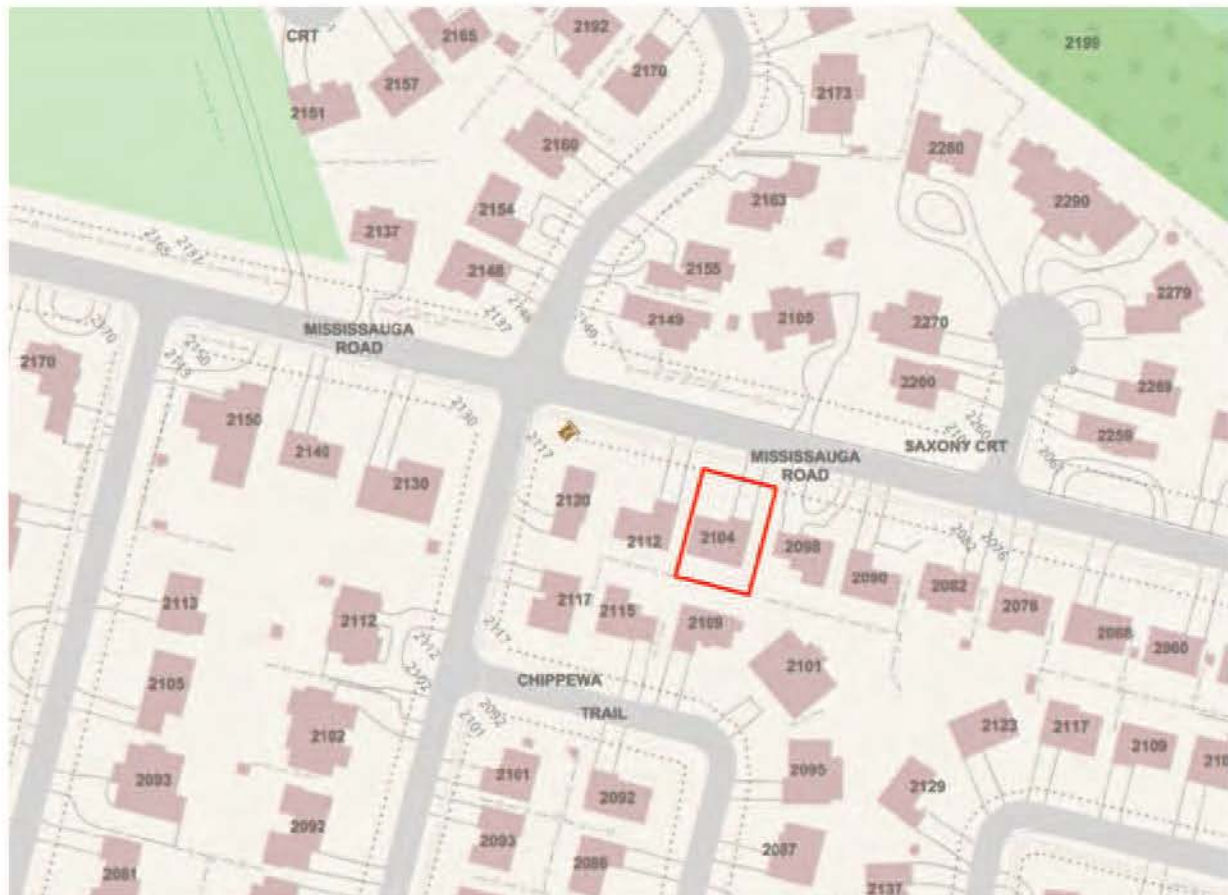
1.0 BACKGROUND & METHODOLOGY

The subject property is located in the Mississauga Road Scenic Route Cultural Landscape. This report was prepared by heritage consultant Megan Hobson for the property owner of 2104 Mississauga Road as a requirement for obtaining approvals to remove a 2-storey single-detached dwelling and construct a new 2-storey single-detached dwelling.

This report was prepared in accordance with the City of Mississauga's *Terms of Reference for Cultural Landscape Heritage Impact Assessments (2016)*. A site visit was undertaken by Megan Hobson in November 2018 to assess and document the current condition of the property and its relationship to the Mississauga Road Scenic Route Cultural Landscape. Historical research was carried out, including a title search to determine past ownership of the property, and relevant heritage planning policies were reviewed.

2.0 LOCATION

The subject property is located on the south side of Mississauga Road east of Erin Mills Parkway and north of the Queen Elizabeth Highway. The property backs onto and is surrounded by a residential subdivision.



Location Map: 2104 Mississauga Road

3.0 SITE DESCRIPTION

See Appendix A: SITE PHOTOS

The subject property is approximately 766 square meters with a 22 meter frontage on Mississauga Road. It contains a one-storey 2-storey single-detached residential building that has an attached 2-car garage. There is a paved driveway from Mississauga Road. This section of Mississauga Road has a concrete sidewalk and a grassed boulevard. The front yard lawns and small shrubs. There are no large street trees on Mississauga Road along this block.



2104 Mississauga Road, aerial photo & view from Mississauga Road

The house is clad with red brick. It has a rectangular plan with a shallow hipped roof and a centre-hall plan. The main elevation faces Mississauga Road and there is an attached 2-car garage at the side that has a gable roof. The architectural style is Neo-Georgian and is typical of generic suburban housing built throughout the GTA in the 1970s and 80s.



2104 Mississauga Road; 2-storey brick dwelling with attached 2-car garage, constructed c. 1973

4.0 HERITAGE PLANNING CONTEXT

Cultural Heritage Landscape Inventory

The City of Mississauga adopted a *Cultural Landscape Inventory* in 2005. All of the properties listed on the *Cultural Heritage Inventory* are listed on the *City's Heritage Register*. Under City policy 7.4.1.12, the City of Mississauga seeks to conserve, record and protect its heritage resources and a *Heritage Impact Assessment* is required for any "construction, development, or property alterations that might adversely affect" those resources. The *Heritage Impact Assessment* must be prepared by a qualified heritage consultant and must satisfy the *Terms of Reference for Cultural Landscape Impact Assessments (2016)*.

Mississauga Road Scenic Route Cultural Landscape

The subject property is identified in the *Cultural Heritage Inventory* as being part of the *Mississauga Road Scenic Route Cultural Landscape (F-TC-4)*. The *Inventory* provides a general description of the character of this resource and includes a checklist of natural and cultural values associated with it. The Mississauga Road Scenic Route Cultural Landscape is described as follows:

SITE DESCRIPTION

Mississauga Road is one of the oldest roads in Mississauga. Its alignment varies from being part of the normal road grid in the north to a curvilinear alignment in the south following the top of bank of the Credit River. The scenic quality of the road is notable because it traverses a variety of topography and varying land use from old established residential neighbourhoods to new industrial and commercial areas. From Streetsville south the boulevards and adjacent landscapes are home to some of the oldest and most spectacular trees in the City. It is acknowledged as an important cultural landscape because of its role as a pioneer road and its scenic interest and quality

Values associated with the Mississauga Scenic Route identified in the *Inventory* are grouped under 4 headings and are:

- Landscape Environment
 - Scenic and visual quality
 - Horticultural interest
 - Landscape Design, Type and Technological Interest
- Historical Associations
 - Illustrates Style, Trend or Pattern
 - Illustrates Important Phase in Mississauga's Social or Physical Development
- Built Environment
 - Consistent Scale of Built Features
- Other
 - Historical and Archaeological Interest

The degree to which individual properties contribute to this character is not assessed. Due to considerable development on Mississauga Road, this cultural landscape has experienced a large number of demolitions and new development since 2005.

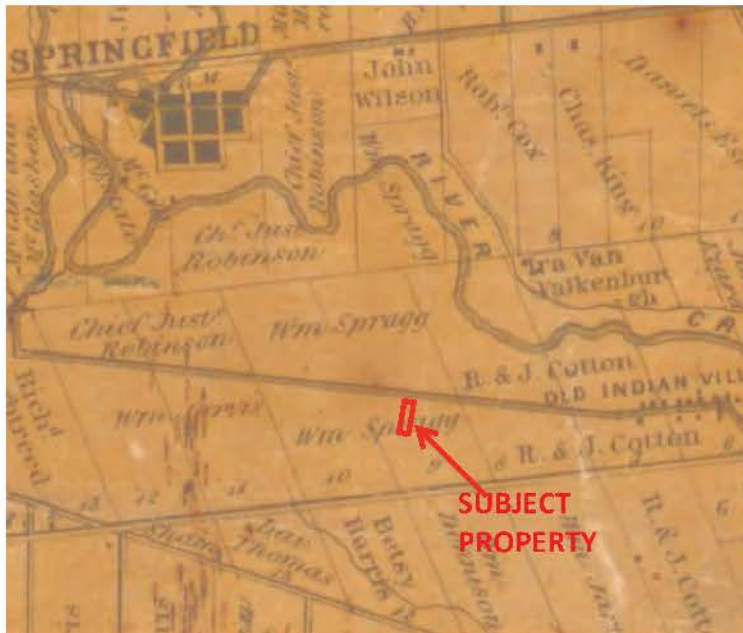
New development is regulated by Official Plan policies and zoning by-laws and is subject to review, including heritage review, under the Site Plan Application process. There are no specific heritage policies for new development within Cultural Heritage Landscapes.

5.0 HISTORICAL CONTEXT

See Appendix B: Land Records

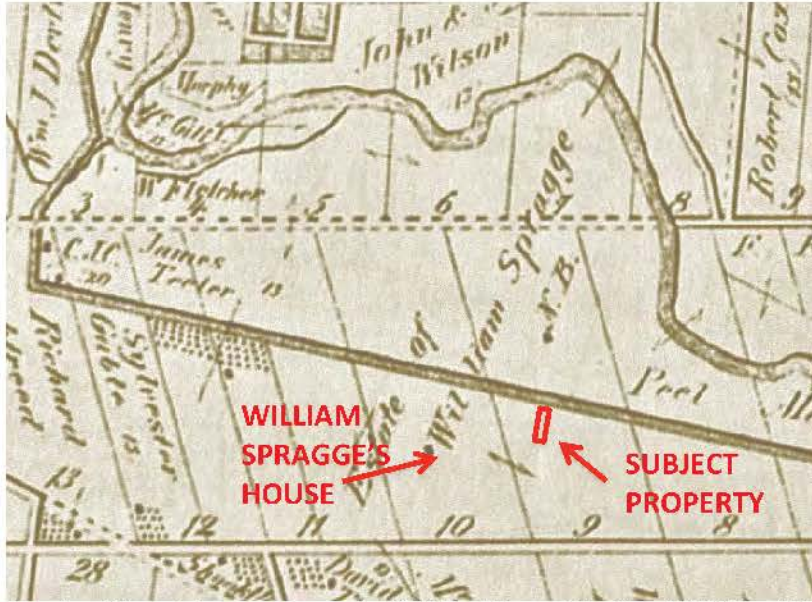
Historically this area was part of land reserved on either side of the Credit River for the Mississauga. In 1805 the Crown negotiated a large purchase of these lands from the Mississauga and it was surveyed into 200-acre lots. This area was divided into three 'ranges' and identified as the Credit Indian Reserve (CIR) in land documents. Lots located in the lower portion of the New Survey (1806) were aligned with the Credit River rather than the shoreline of Lake Ontario so the lots are slightly skewed in relation to other lots in Toronto Township. By 1847, the Mississauga had relocated elsewhere and the land was re-distributed by the Crown.

The subject property is located in Lot 9, Range III of the Credit Indian Reserve (CIR). Land records indicate that William Spragge's widow Martha A. Spragge received the original patent for all of Lot 9 in 1878. The Tremaine Map indicates that William Spragge owned Lots 9 & 10 in 1859 when that map was produced.



Location of the subject property on the 1859 Tremaine Map [Detail 1859 Tremaine Map]

William Spragge was the Deputy Superintendent General of Indian Affairs. He died in 1866 and the estate passed to his wife and sons. The 1877 Peel County Atlas shows a house in the centre of the south portion half of Lot 10, south of Mississauga Road.



Location of the subject property on the 1877 Peel County Atlas [Detail 1877 Peel County Atlas]

In 1888, Peter C.E. Spragge sold part of Lot 9 to Michael Curran, a local farmer. Between 1909 and 1916, Curran sold off parcels of land. The parcel that the subject property is located on was sold to George A. Morrow in 1916. The subject property and the area around it remained rural until the 1950s. Aerial photography from 1954 indicates that the parcel of land where the subject property is located was still heavily treed.

In 1973 a Plan of Subdivision was registered with residential lots and new roads including Chippewa Trail, Kawartha Crescent, Geran Crescent and Fleet Street. Aerial photography from 1976 shows the subdivision under construction. A building permit for construction of a 'single family dwelling' on the subject property was issued in 1976 (HP 76 327651 1976-11-05). The house was sold in 1978, 1980 and 1983. The current owners purchase the property in 2017 from Mary Swanson, who had lived there with her husband Glen since 1983.



1954 Aerial photograph



1976 Aerial photograph



The subject property is Lot 3 on Plan M25, registered in 1973. [Land Registry record]

Table 1: Summary of Chain of Title

2104 Mississauga Road (PART Lot 9, Range III CIR / Lot 3 on PLAN M25)

DATE	GRANTOR	GRANTEE
1863	Crown	Agent of the Crown - Frederick W. Jarvis, Bank of Upper Canada
1878	Crown	Martha A. SPRAGGE, Executor M. William SPRAGGE – all of Lot 9 CIR Range III
1888	Peter C.E. SPRAGGE	Michael CURRAN
1916	Michael CURRAN	George A. MORROW (39.12 acres)
1921	George A. MORROW et ux	Alfred D. MORROW (1.57 acres)
1947	Theo MORROW	Kenneth R. THOMSON
1954	Kenneth R. THOMSON	Allan & Marion McCLEARY
1959	Allan & Marion McCLEARY	Model Home Builders Ltd.
1973	Geran Holdings (Peel) Ltd./Phi International Inc. – PLAN OF SUBDIVISION M25 – Lot 3	
1976	Phi International Inc.	Bevel Builders Ltd.
1976	Bevel Builders Ltd.	The Wycliffe Group Ltd.
1978	The Wycliffe Group Ltd.	William John & Lorna Gail ANDERSON
1980	William John & Lorna Gail ANDERSON	John P. & Susan KELSALL
1983	John P. & Susan KELSALL	Glen August & Mary Lynn SWANSON
2017	Mary Lynn SWANSON	CURRENT OWNER

6.0 HERITAGE VALUE

Mississauga Road

Mississauga Road is recognized as a significant cultural landscape within the City of Mississauga because it is the City's oldest north-south transportation route. The road follows the path of an aboriginal trail that lead from fishing grounds at the mouth of the Credit River to farms and hunting grounds located inland to the north. It follows high land on the west bank of the Credit River from Port Credit to Streetsville. These lands were originally reserved for the Mississaugas, but by 1847 they had relocated elsewhere and the land was re-distributed by the Crown and Mississauga Road was extended further north to Brampton.

As the settlements linked by Mississauga Road grew, the cultural landscape made up of villages and farmsteads evolved. In the 20th century, changes to this cultural landscape accelerated as urban boundaries expanded and rural areas were transformed by suburban development. Mississauga Road is now a major arterial road continuously lined with development. Some of the built and natural features associated with this early pioneer road remain. These features define the character of the Mississauga Scenic Route Cultural Landscape.

The subject property is associated with the post-WWII suburban development of former agricultural land, specifically the residential survey that was laid out here in 1973.

Mississauga Road Scenic Route Cultural Landscape

The chart below evaluates the subject property as a component of the Mississauga Road Scenic Route Cultural Landscape according to attributes identified in the City of Mississauga's *Cultural Landscape Inventory (January 2005)*:

CHL INVENTORY CRITERIA	5235 Mississauga Road CULTURAL HERITAGE VALUES
LANDSCAPE ENVIRONMENT	
Scenic & visual quality	DOES NOT CONTRIBUTE - The subject property fronts onto a portion of Mississauga Road that does not have scenic or visual quality because it is flat and featureless, has no mature trees, and has been heavily impacted by post-WW II suburban development.
Horticultural interest	DOES NOT CONTRIBUTE - There are no large trees on the subject property.
Landscape design, type & technological interest	DOES NOT CONTRIBUTE - The subject property is located on a flat, featureless site that was cleared and leveled for a residential subdivision that was laid out in 1976.
HISTORICAL ASSOCIATIONS	
Illustrates a style, trend or pattern	DOES NOT CONTRIBUTE - The subject property contains a suburban house that was built by c. 1976
Illustrates an important phase in Mississauga's Social or Physical Development	DOES NOT CONTRIBUTE - The subject property is associated with post-WWII suburban development along Mississauga Road. It does not contribute to defining the Mississauga Scenic Route Cultural Landscape as an early pioneer route with scenic and visual quality.

BUILT ENVIRONMENT	
Consistent scale of built features	CONTRIBUTES – This section of Mississauga Road is characterized by 2-storey residential single detached dwellings similar in scale to the existing dwelling on the subject property. However, in recent decades, a significant number of these dwellings have been replaced with larger single-detached dwellings.
OTHER	
Historical and Archaeological Interest	DOES NOT CONTRIBUTE - The subject property is not likely to contain historical or archaeological features or resources because the ground has been disturbed by agricultural uses in the late 19 th century & early 20 th century, and residential subdivision c. 1976.

6.1 EVALUATION ACCORDING TO ONT. REG. 09/06

The subject property contains a 2-storey single-detached dwelling that was built c. 1976 by Bevel Builders Ltd. This structure does not meet any criteria for Designation under Part IV of the Heritage Act. This analysis is based on provincially mandated criteria outlined in *Ontario Regulation 9/06*. The rationale is outlined below:

Compliance with Ontario Heritage Act, Ontario Regulation 9/06: Criteria for Determining Cultural Heritage Value or Interest

According to Subsection 1 (2) of Ontario Regulation 9/06, Criteria for Determining Cultural Heritage Value or Interest, a property may be designated under section 29 of the Act if it meets one or more of the following criteria:

1. The property has design value or physical value because it,
 - i. is a rare, unique, representative or early example of a style, type, expression, material or construction method,
 - ii. displays a high degree of craftsmanship or artistic merit, or
 - iii. demonstrates a high degree of technical or scientific achievement.

The subject property does not have significant design value because it contains a 2-storey dwelling constructed c. 1976. In its design and materials it is typical suburban housing constructed in the GTA in the 1970s and 80s.

2. The property has historical value or associative value because it,
 - i. has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community,
 - ii. yields, or has the potential to yield, information that contributes to an understanding of a community or culture, or
 - iii. demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.

The subject property does not have significant historical or associative value because it is associated with post-World War II suburban development along Mississauga Road and does not yield information that contributes greatly to attributes associated with the Mississauga Scenic Route Cultural landscape, an early pioneer road that is primarily defined by its varied topography, natural scenery and historic associations with aboriginal and early settlement activities. It does not demonstrate or reflect the work or ideas of an architect, artist, builder, designer or theorist who is significant to the community.

3. The property has contextual value because it,
 - i. is important in defining, maintaining or supporting the character of an area,
 - ii. is physically, functionally, visually or historically linked to its surroundings, or

iii. is a landmark.

The subject property is associated with post-World War II residential development on Mississauga Road that is associated with suburbanization and therefore does not contribute to the Mississauga Scenic Route Cultural Landscape and does not have significant physical, functional or historical links with the Mississauga Scenic Route Cultural Landscape, an early pioneer road that is primarily defined by its varied topography, natural scenery and historic associations with aboriginal and early settlement activities. It is a typical suburban house built by a local building company c. 1976 and therefore is not a landmark.

7.0 PROPOSED DEVELOPMENT

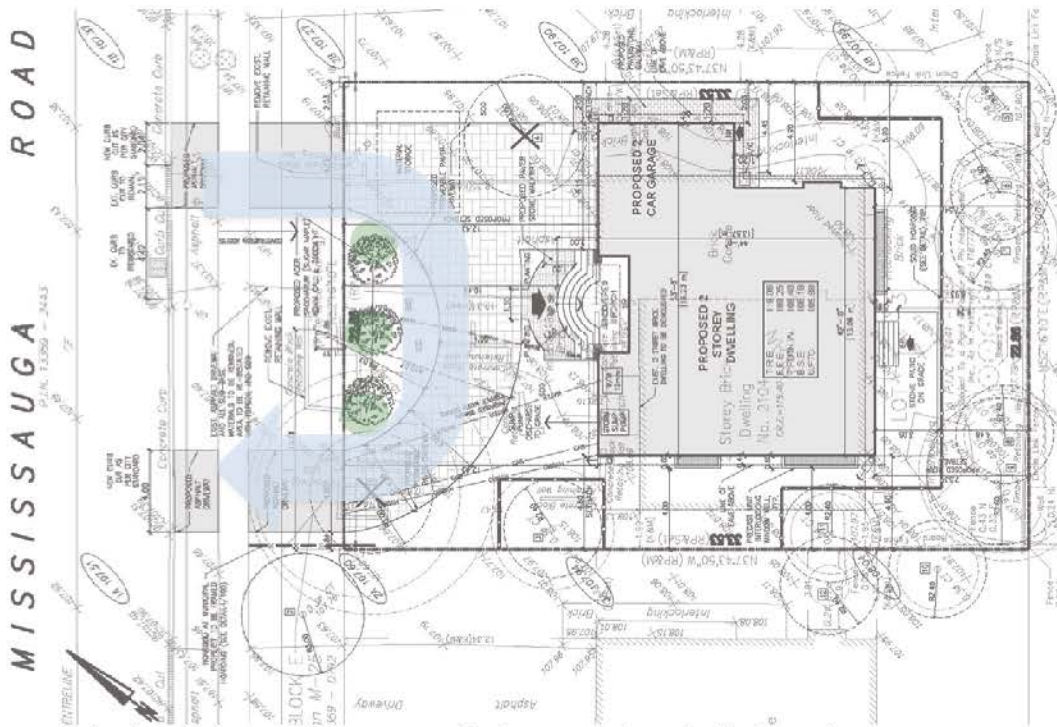
See Appendix C: Drawings

The proposed development requires demolition of an existing 2-storey dwelling and construction of a larger 2-storey dwelling. The proposed dwelling is consistent with the zoning for this area and no variances are required. Site statistics indicate that the lot coverage will be 24%, with 48% soft landscaping, and a 12.4 m set back from Mississauga Road. The proposed roof height of 9.67 m is slightly higher than the roof height of the adjacent housing stock but it is not excessive, is less than the 10.7 m maximum, and is similar in height to recent development along Mississauga Road. The proposed cladding material is ashlar stone and the style is Neo-Baroque.



Proposed development - Mississauga Road streetscape (Amr Architects Inc.)

The site plan includes a U-shaped driveway in front of the house. The additional paving will be screened from view by three new trees along the Mississauga Road frontage.



Proposed site plan – U-shaped driveway screened by 3 new trees along the Mississauga frontage

8.0 IMPACT ON HERITAGE VALUES

Mississauga Road Scenic Route (F-TC-4)

Mississauga Road is one of the oldest roads in Mississauga. Its alignment varies from being part of the normal road grid in the north to a curvilinear alignment in the south following the top of bank of the Credit River. The scenic quality of the road is notable because it traverses a variety of topography and varying land use from old established residential neighbourhoods to new industrial and commercial areas. From Streetsville south the boulevards and adjacent landscapes are home to some of the oldest and most spectacular trees in the City. It is acknowledged as an important cultural landscape because of its role as a pioneer road and its scenic interest and quality.

The table below provides an analysis of potential impacts of the proposed development to heritage values associated with the Mississauga Road Scenic Route (F-TC-4):

LANDSCAPE ENVIRONMENT	
Scenic and visual quality	<p>NO IMPACT</p> <ul style="list-style-type: none"> The subject property currently does not have significant scenic or visual quality
Horticultural Interest	<p>NO IMPACT</p> <ul style="list-style-type: none"> The subject property does not have horticultural interest
Landscape design	<p>VERY MINOR IMPACT</p> <ul style="list-style-type: none"> The proposed development includes a U-shaped driveway that will increase the amount of paving in front of the house Trees will be planted along the Mississauga Road frontage to reduce the visual impact of the proposed U-shaped driveway
BUILT ENVIRONMENT	
Consistent scale of built features	<p>NO IMPACT</p> <ul style="list-style-type: none"> The proposed development is generally consistent with the scale of adjacent residential buildings The proposed roof height of 35' is permitted under the current zoning for this area
HISTORICAL ASSOCIATION	
Illustrates style, trend or pattern	<p>NO IMPACT</p> <ul style="list-style-type: none"> The subject property does not have historical associations that illustrate a significant style, trend or pattern
Illustrates important phase in Mississauga's social or physical development	<ul style="list-style-type: none"> The subject property illustrates large-scale post-WWII development on Mississauga Road. This has not been identified as an important phase in Mississauga's social or physical development.
OTHER	

Historical or archaeological interest	<p>NO IMPACT</p> <ul style="list-style-type: none"> The subject property is unlikely to have historical or archaeological potential due to earlier agricultural uses and 20th century residential development
---------------------------------------	--

The table below provides an analysis of potential impacts of the proposed development using criteria from the *Ontario Heritage Toolkit* as required in the City of Mississauga's *Cultural Landscape Heritage Impact Assessment Terms of Reference*:

POTENTIAL NEGATIVE IMPACT	ANALYSIS
Destruction of any, or part of any, significant heritage attributes or features	<p>NO IMPACT</p> <ul style="list-style-type: none"> The existing 2-storey dwelling that will be demolished does not have heritage value
Alteration that is not sympathetic, or is incompatible, with the historic fabric and appearance	<p>NO APPLICABLE</p> <ul style="list-style-type: none"> No historic fabric will be altered
Isolation of a heritage attribute from its surrounding environment, context or a significant relationship	<p>NOT APPLICABLE</p> <ul style="list-style-type: none"> No heritage attributes have been identified on this property
A change in land use where the change in use that negates the property's cultural heritage value	<p>NO IMPACT</p> <ul style="list-style-type: none"> There will be no change in land use
Removal of natural heritage features, including trees	<p>NO IMPACT</p> <ul style="list-style-type: none"> No natural heritage features or significant trees will be removed
Shadows created that alter the appearance of a heritage attribute or change the viability of an associated natural feature, or plantings, such as a garden	<p>NO IMPACT</p> <ul style="list-style-type: none"> The proposed development is 2 storeys in height and will not cast significant shadows There are no heritage attributes or natural features on or near the subject property
Direct or indirect obstruction of significant views or vistas within, from, or of built and natural features	<p>NO IMPACT</p> <ul style="list-style-type: none"> The subject property does not have significant views or vistas that contribute to the cultural heritage landscape
Land disturbances such as change in grade that alter soils, and drainage patterns that adversely affect cultural heritage resources	<p>NO IMPACT</p> <ul style="list-style-type: none"> The proposed development does not require major land disturbances that will cause adverse affects to the cultural heritage landscape

Removal of an existing 2-storey dwelling constructed c. 1976	NO IMPACT <ul style="list-style-type: none">Based on an evaluation using criteria under the Ontario Heritage Act (Ontario Regulation 09/06), this building does not have significant cultural heritage value
Construction of the proposed 2-storey dwelling	MINOR IMPACT <ul style="list-style-type: none">The proposed development is consistent with zoning for this area and no variances are required

9.0 MITIGATION MEASURES

Re: Demolition of the Existing Dwelling

Based on an evaluation according to *Ontario Regulation 09/06*, this property does not meet any criteria for Designation under Part IV of the *Ontario Heritage Act*.

This property does not contribute to cultural heritage values associate with the Mississauga Scenic Route Cultural Landscape.

RECCOMENDATION: NO MITIGATION IS REQUIRED

Re: Proposed Development

There are no specific policies related to new construction within the Mississauga Scenic Route Cultural Landscape. The proposed development is generally compatible with recent residential development on Mississauga Road.

The subject property is located in a section of Mississauga Road that does not have scenic or visual quality, does not have horticultural interest, and has been heavily impacted by 20th century development.

The proposed U-Shaped driveway will increase the amount of paving in front of the house. Three new trees will be planted on the Mississauga Road frontage to screen views of the paving from the road. These trees will provide a beneficial impact that will enhance a section of Mississauga Road that currently has no large street trees.

RECCOMENDATION: NO MITIGATION IS REQUIRED

10.0 CONCLUSIONS & RECOMMENDATIONS

The subject property contains a 2-storey residential dwelling built c. 1976 that does not meet any of the criteria for Designation under the *Ontario Heritage Act*. This property does not contribute to the Mississauga Road Cultural Landscape. The proposed development is consistent with the zoning for this area.

11.0 QUALIFICATIONS OF THE AUTHOR

The author of this report is a member in good standing of the Canadian Association of Heritage Professionals. Formal education includes a Master of Arts in Architectural History from the University of Toronto and a diploma in Heritage Conservation from the Willowbank School of Restoration Arts. Professional experience includes an internship at the Ontario Heritage Trust, three years as Architectural Historian and Conservation Specialist at Taylor Hazell Architects in Toronto, and 7 years in private practice in Ontario as a heritage consultant. Other relevant experience includes teaching art history at the University of Toronto and McMaster University and teaching Research Methods and Conservation Planning at the Willowbank School for Restoration Arts in Queenston. In addition to numerous heritage reports, the author has published work in academic journals such as the *Journal of the Society of Architectural Historians* and the *Canadian Historical Review*.

12.0 BIBLIOGRAPHY

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 Accessed online 15 Oct 2018 http://www7.mississauga.ca/Departments/Rec/celebration-square/culture_website/cultureplanning/resources/CulturalLandscapeHIA_TermsOfRef_2016.pdf

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APPENDIX A: SITE PHOTOS (2104 Mississauga Road)



2104 Mississauga Road – MAIN ELEVATION ON MISSISSAUGA ROAD [GOOGLE]



2104 Mississauga Road – FRONT YARD & SIDE DRIVEWAY



2104 Mississauga Road – FRONT ELEVATION



2104 Mississauga Road – ATTACHED 2-CAR GARAGE



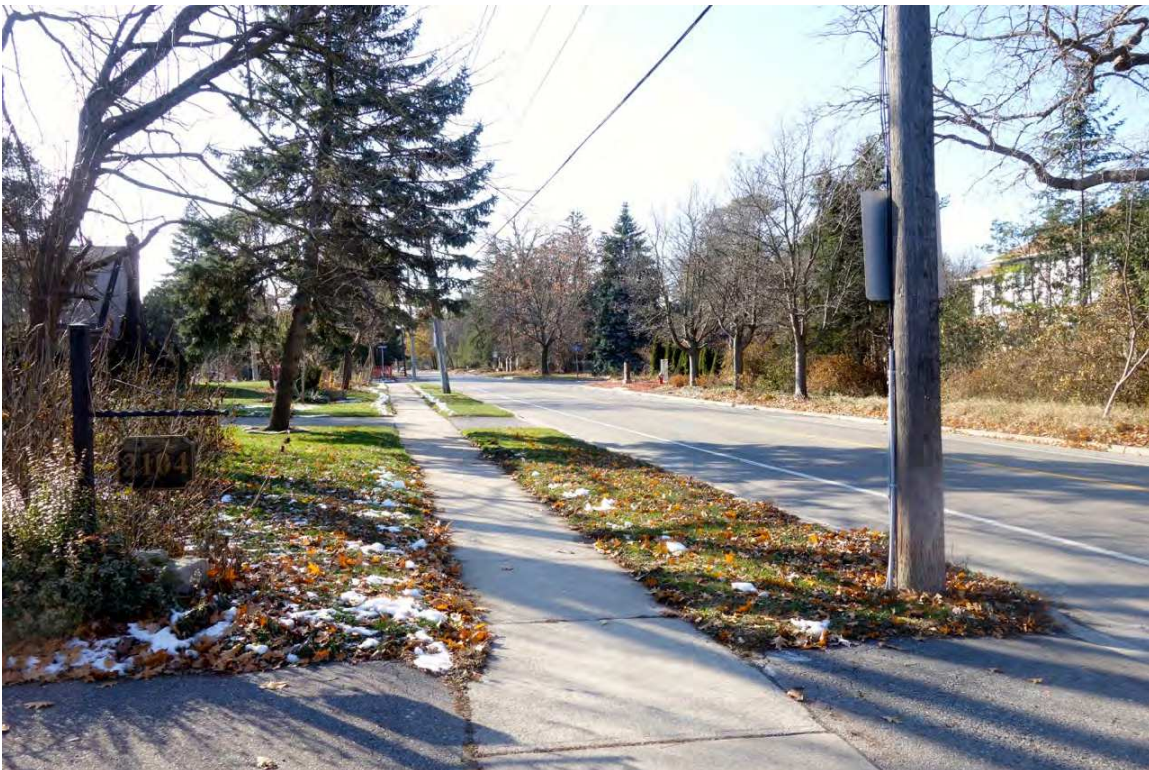
2104 Mississauga Road – SIDE ELEVATION



2104 Mississauga Road – REAR ELEVATION



2104 Mississauga Road – BACK YARD



View from 2104 Mississauga Road – LOOKING WEST ON MISSISSAUGA ROAD – *subject property is on the left



View from 2104 Mississauga Road – LOOKING EAST ON MISSISSAUGA ROAD * subject property is on the right



ADJACENT PROEPRTY – to the left of 2104 Mississauga Road - *U-shaped driveway & no street trees



ADJACENT PROPERTY – to the right of 2104 Mississauga Road - *no street trees

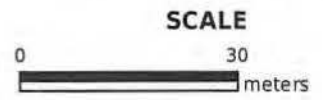


OPPOSITE PROPERTY – directly across the road from 2104 Mississauga Road. *U-shaped driveway & no street trees



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PROPERTY INDEX MAP

PEEL(No. 43)

- LEGEND**
- FREEHOLD PROPERTY
 - LEASEHOLD PROPERTY
 - LIMITED INTEREST PROPERTY
 - CONDOMINIUM PROPERTY
 - RETIRED PIN (MAP UPDATE PENDING)
 - PROPERTY NUMBER
 - BLOCK NUMBER
 - GEOGRAPHIC FABRIC
 - EASEMENT
-
- 0449
08050

THIS IS NOT A PLAN OF SURVEY

NOTES

REVIEW THE TITLE RECORDS FOR COMPLETE PROPERTY INFORMATION AS THIS MAP MAY NOT REFLECT RECENT REGISTRATIONS

THIS MAP WAS COMPILED FROM PLANS AND DOCUMENTS RECORDED IN THE LAND REGISTRATION SYSTEM AND HAS BEEN PREPARED FOR PROPERTY INDEXING PURPOSES ONLY

FOR DIMENSIONS OF PROPERTIES BOUNDARIES SEE RECORDED PLANS AND DOCUMENTS

ONLY MAJOR EASEMENTS ARE SHOWN

REFERENCE PLANS UNDERLYING MORE RECENT REFERENCE PLANS ARE NOT ILLUSTRATED



LOT No. J 3 Range CONCESSION in R. 1000

7.5 - 27

Best of the ... The house ... Suburb beyond 11 Ave ...
... .. Suburb ... Suburb ...

See book 8 pg 500

~~...~~ ~~...~~ ~~...~~ ~~...~~

Lot 11

3 Range

Best of the ... The house ... Suburb beyond 11 Ave ?

Lot 11

3 Range

Suburb beyond 11 Ave ...

Best of the ... The house ... Suburb beyond 11 Ave ...
... .. Suburb ... Suburb ...
... .. Suburb ... Suburb ...
... .. Suburb ... Suburb ...
... .. Suburb ... Suburb ...

Lot No. 3

Is the

PART OF

CONTAINED IN L.S.

7.5 - 28

No. of Municipality	Assessor	In Date	Type of Municipality	GRANTOR	GRANTEE	Assessing Municipality	REMARKS
140	C.M.	18Apr1898	6	Deed of Upper Canada	John Crickmore	2700.00	all and C.L.
331	C.M.	22Feb1899	20	John Crickmore et al	Dr. J. Hunter J.W.L.	2700.00	all and C.L.
100	C.M.	22Feb1899	20	Dr. J. Hunter et al	General Stg. Co. J.W.L.	1400.00	all and C.L.
4376	C.M.	22Feb1899	20	The Crown	A. A. Sprague et al J. J. Sprague	2324.75	all and C.L.
2311	C.M.	17Dec1899	24	W. A. Sprague et al	J. J. Sprague	1.00	Part and C.L.
2379	C.M.	18Dec1899	24	W. A. Sprague et al	Ellis Cassels	1.00	Part and C.L. 18.33 ac. and C.L.
4770	W.L.L.	6 Dec1900	20	William Sprague	Dr. T. H. Sprague	1.00	Part and C.L. 11.33 ac.
4770	W.L.L.	6 Dec1900	20	William Sprague	Dr. T. H. Sprague	1.00	Part and C.L. 11.33 ac.
4770	W.L.L.	6 Dec1900	20	William Sprague	John C. H. Sprague	1.00	Part and C.L.
4770	W.L.L.	6 Dec1900	20	William Sprague	Michael Curran	2000.00	Part and C.L.
4448	J.C.S.	18Mar1900	15	Marion Sprague	Michael Curran	2000.00	Part and C.L. 11.33 ac.
15564	Grant	15Feb1901	11	Michael Curran	Hydro-Electric Power Co.	125.00	7 x 124 ac. front of lot, and for extension to west pole and.
13464	C.M.	11Sep1901	27	Michael Curran et al	Geo. A. Curran	4000.00	Part 15.75 ac. 1/2 of lot 42
17145	C.M.	8 Oct1901	3	Michael Curran et al	Geo. A. Curran	250.00	Part 1/2 of lot 42
17474	C.M.	8 Oct1901	7	Michael Curran et al	Geo. A. Curran	250.00	Part 15.12 ac.
18272	C.M.	1 Nov1901	7	Geo. A. Curran et al	Alfred G. Cox	1.00	1.512 ac.
18272	C.M.	1 Nov1901	10	Michael Curran et al	Hydro-Electric Power Co.	2750.00	1.08 ac. and C.L.
18104	C.M.	1 Nov1901	10	John Curran et al	John Curran	1.00	Part and C.L.
26441	C.M.	20Sep1902	17	John Curran et al	Alexander Fenton	1500.00	Part and C.L.
26541	C.M.	20Sep1902	17	Hydro-Electric Power Co.	John Curran et al	1.00	Part and C.L.

7.5 - 29

No. of Shares	Shareholder	Address	Date of Birth	Occupation	Signature	Witness	Amount	Remarks
1000	1,000	...
1000	1,000	...
1000	1,000	...
1000	1,000	...
1000	1,000	...
1000	1,000	...
1000	1,000	...
1000	1,000	...
1000	1,000	...
1000	1,000	...

Lot 4 This share credit ledger balance
 To Bank "A"

Lot 4 This share credit ledger balance
 To Bank "A"

Lot 4 This share credit ledger balance
 To Bank "A"

Lot 4 This share credit ledger balance
 To Bank "A"

By Cont

7.5 - 30

Acct	Dr. Cr.	10/1/1928	10/31/1928	Account Name	Balance				
				Ellis F. Conklin	Smith A. Conklin	04		A.C.L.	
				To Bank "J"					
				Lot 6	Third State Credit Indian Reserve				
				To Bank "J"					
				Lot 6	Third State Credit Indian Reserve				
				To Bank "J"					
				Lot 7	Third State Credit Indian Reserve				
				To Bank "J"					
				Lot 8	Third State Credit Indian Reserve				
				To Bank "J"					
				Lot 9	Third State Credit Indian Reserve				
				To Bank "J"					
41198	Grant	10/1/1928	10/31/1928	George J. Morrow et al	Alfred D. Morrow	1.07	1.	04	
41200	Grant	10/1/1928	10/31/1928	Alfred J. Morrow et al	John F. Haskell	1.07	1.	04	
41202	Grant	10/1/1928	10/31/1928	Eastern Canada Lumber & Milling Co.	Alfred D. Morrow			SEP 14 1928	
41204	Grant	10/1/1928	10/31/1928	George J. Morrow et al	Credit Sec. Co. Ltd.	40.077	1.	04 & C.L.	
41206	Grant	10/1/1928	10/31/1928	George J. Morrow et al	Credit Sec. Co. Ltd	11.04	1.	04	
41208	Grant	10/1/1928	10/31/1928	Credit Sec. Co. Ltd.	John F. Haskell	04	1.	04	
41210	Grant	10/1/1928	10/31/1928	Credit Sec. Co. Ltd.	George J. Morrow	40.077	1.	04 & C.L.	
41212	Grant	10/1/1928	10/31/1928	Credit Sec. Co. Ltd.	George J. Morrow	10.044	1.	04	
				To Bank "J"					

MORTGAGE
No. 1225

NUMBER	INSTRUMENT	DATE OF INSTRUMENT	DATE OF REGISTRATION	GRANTOR	GRANTEE	AREA	CONSIDERATION	REMARKS
34405	MORTGAGE	18 Nov 1933	18 Nov 1933	Alfred H. Cox et ux	Bank of Nova Scotia	7.913	1.00	8/12/43
35689	Grant	18 Nov 1933	18 Nov 1933	Alfred H. Cox et ux	Charles D. Keeding	7.613	1.0000	
35400	MORTGAGE	18 Nov 1933	18 Nov 1933	Bank of Nova Scotia	Alfred H. Cox			Discharging No. 34405
38400	Plan Desc.	26 Jan 1935	11 Mar 1935	Re: Dept. of Highways and C.D. Keeding & G.A. Morrow		.571 ac.		adjoining N. limit of Middle Road Required for Public purposes of Ontario.
37757	Plan Desc.	-- May 1937	10 Jun 1937	Re: Dept. of Highways	G. D. Keeding and G. A. Morrow	0.392 ac. 1.707 ac.		adjoining N. limit of Middle Road. Required for public purposes of the Province of Ontario.
41424	Grant	-- Nov 1941	27 Dec 1941	Chas. D. Keeding et ux	Keeding Engineering & Security Co. Ltd.	7.338	1.0000	Part of plan at 35 angle thence N. 108° 1' to N. 108° 1' x 11.110' to S. 112° 14' x 11.110' to S. 112° 14' x 11.110' to beginning except (1) 10.3412 & (2) 37757
42331	Grant	30 Oct. 1942	3 Nov. 1942	Keeding Engineering & Security Co. Ltd.	Mariola R. Engebright	7.338	\$1.00	part as in No. 41424.
45057	Grant	8 Jan. 1945	10 Jan. 1945	Geo. A. Thomson et ux	Sirap Investments Ltd.	11.444	\$1.00	part as in No. 41424.
47781	Grant	12 June 1946	15 June 1946	John P. Bickell	Sirap Investments Ltd.		\$1.00	two parcels N. of Miramanga Rd. ①. Comm. in limit blue lot 849 at N. limit of Miramanga Rd. Thence W. along M. Rd. 356' x N 35° 50' W. 125' x N 18° 40' W. 300' to limit blue 849. Thence S. 486' 7" to pt. of b. ②. Comm. in N. limit of Miramanga Rd. 356' E. of limit blue lot 849. Thence thru W. along M. Rd. 200' x N 35° 50' W. 200' x N 39° 54' E 250' x S 13° 48' E 145' x S 35° 50' E 125' to pt. of b.
49172	Grant	6 Dec. 1946	30 Dec. 1946	Mariola R. Engebright	Roy H. Thomson & Edna A. Thomson, as joint tenants.	7.338 ac.	\$1.00	part as in No. 41424.
51380	Grant	14 Feb. 1947	21 Feb. 1947	Geo. A. Thomson et ux	Kenneth R. Thomson.	38.122	\$1.00	part as in No. 41424.
51381	MORTGAGE	15 Feb. 1947	21 Feb. 1947	William M. McClary et ux	Kenneth R. Thomson.	17.57	20000.00	part as in No. 51380.
51382	Grant	17 Feb. 1947	21 Feb. 1947	Kenneth R. Thomson	William M. McClary & Edna R. McClary, as joint tenants.	17.57	\$2.00	part as in No. 51380.
346	By-Law	21 June 1948	22 June 1948	Corporation of Toronto	re: Urban Development area under Planning Act 1947			
346	By-Law	6 Aug 1948	27 Aug 1948	Corporation of Toronto	re: Urban Development area under Planning Act 1947			

pic descrip'n & sketch
pic descrip'n & sketch.

Common in S. limit of Miramanga Rd. 357' 4" W. of pt. of b. Thence
N. 122° 18' x 5.36° 04' E 546' 6" x S 84° 52' E 338' 2 1/2' to N. limit of
Thence E 1463.47' to pt. of b. N. 110° 6' 1/2' to pt. of b.
Common in S. limit of Miramanga Rd. 429' 11" W. of pt. of b. Thence
1269' 8" to Queen St. W. x S 46° 08' W. along Queen St. W. 644' 3" x N 116° 52' W. 858' 2 1/2'
x S 56° 04' W. 546' 6" to pt. of b.

NUMBER	INSTRUMENT	DATE OF INSTRUMENT	DATE OF REGISTRATION	GRANTOR	GRANTEE	AREA	CONSIDERATION	REMARKS
60656	Grant	15 Feb 1950	26 Oct 1950	Herbert B. Thomson	Ruby L. Chapman		\$1000.00	Pt. Comm 429'11" in S. limit of Missionary Rd. N.E. of N. limit of lot 59. Hence E 100' x S 250' x W 150' x N 200' to pipe.
61188	Deed Deposit No. 1811	1 Nov 1950	0 Dec 1950	Ruby L. Chapman et al	The Empire Life Ins. Co.		15000.00	Part ad. No. 60656
62908		1 Nov 1950	6 Dec 1950	Ruby L. Chapman et al	The Empire Life Ins. Co.		15000.00	Part ad. No. 60656
65036	Deed	1 May 1951	15 June 1951	The Empire Life Ins. Co.	Ruby L. Chapman			discharging no. 61188
66140	Grant	17 Jan 1952	17 Jan 1952	Sirap Investments Limited	Allen E. Rosen	15474 ac.	2000.00	Part ad. No. 66140
66141		15 Jan 1952	17 Jan 1952	Allen E. Rosen et al	Sirap Investments Limited	75000.00		Part ad. No. 66140
66387	Deed	19 Feb 1952	14 May 1952	Sirap Investments Ltd.	Allen E. Rosen			discharging no. 66141
66711	Grant	17 Jan 1952	18 Jan 1952	Allen E. Rosen et al	John R. Wilson		30,000.00	Part of Commission road east of Missionary Rd. 415' 5" mapping. x new 450' x 22 40' x new 164' x 22 40' x 22 40' x 22 40' together with rights tank & tile rights.
71141		7 Dec 1952	18 Apr 1952	John R. Wilson et al	John L. Hunter		20000.00	Part ad. No. 66711
71063		17 Dec 1952	19 Dec 1952	Allen E. Rosen et al	Guaranty Trust Co. of Canada		150,000.00	Part ad. No. 66711
71406	Deed	15 Sept 1952	5 Dec 1952	John L. Hunter	John R. Wilson			discharging no. 66711
71407		20 Nov 1952	5 Dec 1952	Ella Vandemark & George Vandemark	The Manufacturers Life Insurance Company		10000.00	Part ad. No. 66711
71408	Grant	20 Oct 1952	5 Dec 1952	John R. Wilson et al	George Van Demark & Ella Vandemark as joint tenants		2000.00	Part ad. No. 66711
71700		22 Dec 1952	29 Dec 1952	Allen E. Rosen et al	Her Majesty The Queen by the Honorable Ministers of External Affairs		20,000.00	Part ad. No. 71063
72411	Deed	10 Nov 1952	13 Mar 1953	Herbert B. Thomson	Miriam M. McCleary et al			discharging no. 71700
75541	Deed	24 July 1953	24 July 1953	Guaranty Trust Co. of Canada	Allen E. Rosen			discharging no. 71063
79118		31 Mar 1953	19 Jan 1954	Allen R. McCleary & Miriam M. McCleary	Chartered Trust Company		20000.00	Part ad. No. 71063
426	BY-LAW	1 JUNE 54	9 JUNE 54	RE SUBDIV. CONTROL				See list 1. for desc.
82458		16 July 1954	18 July 1954	George Van Demark & Ella Van Demark	Bessie Krenbaum		3300.00	Part ad. No. 66711
83604	Grant	24 July 1954	2 Sept 1954	Allen R. McCleary & Miriam M. McCleary	Model Home Builders Limited	19.5 ac.	2,000.00	Part ad. No. 83604
83605		24 July 1954	2 Sept 1954	Allen R. McCleary & Miriam M. McCleary	Model Home Builders Limited			Part ad. No. 83604

RANGE NO 351A

7.5 - 33
Ownership of Lands

RANGE NO 351A

NUMBER	INSTRUMENT	DATE OF INSTRUMENT	DATE OF REGISTRATION	GRANTOR	GRANTEE	AREA	CONSIDERATION	REMARKS
73616	LEASING	31 Aug 1954	2 Sept 1954	Model Home Builders Ltd.	Allen R. Mc Cleary & Marjorie M. Mc Cleary			30 acres pt. sub. area No. 3732
73617	Grant	2 Sept 1954	2 Sept 1954	Model Home Builders Ltd.	Induco Construction Ltd.	17.200	\$ 2,500.00	pt. sub. area No. 3732
83760	D.M.	3 Sept 1954	12 Sept 1954	Chartered Bank Co.	Allen R. Mc Cleary & Marjorie M. Mc Cleary			discharge of No. 4116
86025	Grant	23 Nov 1954	2 Dec 1954	Roy H. Thomson	The Thomson Company Limited			1000 c part sub. No. 4116
86065	Lease	26 Nov 1954	4 Jan 1955	Induco Construction Limited	Gilbert W. Palmer & Sheila M. Palmer	2400.00	\$ 200.00	month for three years from Oct 18 1954. attached sketch
88490	Grant	10 Apr 1955	2 June 1955	Isabel Gasken et al Mrs Alexander Gasken Et.; Isabel Gasken	The Hydro-Electric Power Commission of Ontario	1.567	3,134.00	part of L. Deas. Consent attached. Sketch attached. Restriction Comm. in A. limit of 100 ft. at 25 limits of Hydro. attached sketch
91446	Deed of trust	1 Oct 1955	10 Oct 1955	The Thomson Company Limited	Mutual Trust Company	1.330	100.00	part sub. No. 4116
92993	LEASING	13 Dec 1955	22 Dec 1955	George VanDemark & Ella VanDemark et al	Canada Permanent Mortgage Corporation			part sub. No. 4116
93044	D.M.	1 Nov 1955	23 Dec 1955	The Empire Life Insurance Company	Ruby E. Chapman			discharge No. 6270
93299	D.M.	3 Dec 1955	13 Jan 1956	Rosie Renbaum	George & Ella VanDemark			discharge No. 4116
93491	D.M.	18 Jan 1956	24 Jan 1956	The Manufacturers Life Insurance Company	Ella VanDemark & George VanDemark			discharge No. 7149
94504	Notice of Expropriation	11 Feb 1956	17 Feb 1956	Dept of Highways	Induco Construction Limited			part sub. No. 4116
94819	LEASING	19 Oct 1956	21 Oct 1956	George VanDemark & Ella VanDemark	Induco Construction Limited			part sub. No. 4116
94951	DEED OF MORTGAGE	25 Oct 1956	30 Oct 1956	George VanDemark & Ella VanDemark	Induco Construction Limited			part sub. No. 4116
961198	Lease	17 Jan 1957	22 Jan 1957	Thomson Bank	Thomson Bank			part sub. No. 4116

- 83607 See
 Shown on CTA
 152

NUMBER	INSTRUMENT	DATE OF INSTRUMENT	DATE OF REGISTRATION	GRANTOR	GRANTEE	AREA	CONSIDERATION	REMARKS
131351	Highway	23 Feb 1960	29 Feb 1960	to designate L.C. 111				
	See Deposit No 4383							
133045	L.C.	21 Nov 1960	21 Nov 1960	Kenneth R. Thomas et al	Ruby E. Chapman		\$1.00	pat serial No. 60656
133047	L.C.	21 Nov 1960	21 Nov 1960	Kenneth R. Thomas, et al	Thomas Newspaper Limited	3.5 ac	\$1.00	pat serial No. 102240
146745	Map	23 Feb 1961	23 Feb 1961	Dept of Highways	W. D. W.			
144640	notice of application for	29 Mar 1962	30 Mar 1962	Induco Construction Limited has applied for a Cert. of Title that it is owner of part 9x10. K3 - corner at intersection of SE limit of Mississauga Road with SE limit Plan 352 (being in limit to 9x10) There is a 53'56"E 429.92' x 62°49'30"E 250' x 62°46'E 947.85' true limit of Highway No 97504 x 41°08'30"W 616.93' to SE limit of Plan 352 x 64°53'30"E 762.60' x N 36°04' W 546.50' x p/c.				
146116	Easement	3 Apr 1961	25 Apr 1962	The Hydro-Electric Co. Consumers - Lower Town. Gas Company			\$1.00	see sketch attached add' strip etc.
145202	Cert. of Title	26 Apr 1962	30 Apr 1962	to certify that Induco Construction Limited is owner at 4:30 P.M. of April 5. 1962 of part 9x10 K.3				again no 144640 map sketch attached
151607	Judicial Sale	15 Jan 1963	14 Apr 1963	Le. Thomas & Co. Lumber	Le. Thomas & Co. Lumber		23,000.00	w/5' strip etc.
151607	MORTGAGE	15 Jan 1963	14 Apr 1963	Le. Thomas & Co. Lumber	Le. Thomas & Co. Lumber		23,000.00	w/5' strip etc.
	See Deposit no 6561							
151607	MORTGAGE	15 Jan 1963	14 Apr 1963	Le. Thomas & Co. Lumber	Le. Thomas & Co. Lumber		23,000.00	w/5' strip etc.
147112	MORTGAGE	10 Jan 1966	9 July 1966	Le. Thomas & Co. Lumber	Le. Thomas & Co. Lumber		1.00	pat etc. as in plan
147113	MORTGAGE	10 Jan 1966	9 July 1966	Le. Thomas & Co. Lumber	Le. Thomas & Co. Lumber		1.00	pat etc. as in plan
147114	MORTGAGE	10 Jan 1966	9 July 1966	Le. Thomas & Co. Lumber	Le. Thomas & Co. Lumber		1.00	pat etc. as in plan

See Plan CTA 152
shown on R 1072

LOT 9 CONCESSION Range 3.C.1.R
 miss iss auga

REGISTRATION NUMBER	INSTRUMENT	DATE OF INSTRUMENT	REGISTRATION DATE	GRANTOR	GRANTEE	CONSIDERATION ETC	LAND AND REMARKS
2292350	continued						Thence N1E 42.9.92' & SE 250' & SE 947.85' & SW 616.97' NW 765.60' & NE 546.50' to post.
2292380	assg'd offer.	7 Sept 1972.	13 Sept 1972.	Javic Holdings Limited	Javic Holdings Limited	2.000.00	Re agree dated 31 July 1972. Part 4 of 1 Comm. 142' 10 1/2' NW from E to hok 9.4' 10' 2' 1/2' Then ce NW 1066.7' & SW 521.8' & SE 250' & SW 150' & SE 1.197.10' & NE 736.3 3/4' to post.
2292390	assg'd offer.	7 Sept 1972	13 Sept 1972	Javic Holdings Limited	Javic Holdings Limited	2.000.00	Re agree dated 31 July 1972. Part 1 of 1 Comm. 429.11' NE along from point of machine with division line between lots 9 & 10 Range 3.C.1.R Thence SE 250' & SW 150' & NW 250' to post.
2331600	Deed of MORTGAGE	17 Oct 1972	10 Oct 1972	The Owners Gas Company	Canada Linnamort Trust Company Limited	1,3048 C. 711.00	15.774.0000
2423350	Leas	13 Dec 1972	14 Dec 1972	Treasurer's Consent	Allen E. Rosen Ltd		Part as in no. 16481515
2425115	a.c.	5 July 1967	15 Dec 1972	Canadian Imperial Bank of Commerce	Allen E. Rosen	\$1,000.00	Part as in No. 45059 & part 100 in 47781. Save and keeping by with No. 66711. discharge to right
2425120	Leas	13 Sept 1971	15 Dec 1972	Patrik Naccion	Allen E. Rosen		discharging No. 93770 is today
2425125	Leas	1 Dec 1971	15 Dec 1972	Thomas J. Schaidat	Allen E. Rosen		discharging No. 76481515 today
2425140	Share	6 Dec 1972	15 Dec 1972	Treasurer's Consent Company of Canada and Thomas J. Schaidat	Pub Financial Services Limited	\$2,000.00	Part as in No. 16481515 & 16481513 & 16481514 & 16481515 & 16481516 & 16481517 & 16481518 & 16481519 & 16481520 & 16481521 & 16481522 & 16481523 & 16481524 & 16481525 & 16481526 & 16481527 & 16481528 & 16481529 & 16481530 & 16481531 & 16481532 & 16481533 & 16481534 & 16481535 & 16481536 & 16481537 & 16481538 & 16481539 & 16481540 & 16481541 & 16481542 & 16481543 & 16481544 & 16481545 & 16481546 & 16481547 & 16481548 & 16481549 & 16481550 & 16481551 & 16481552 & 16481553 & 16481554 & 16481555 & 16481556 & 16481557 & 16481558 & 16481559 & 16481560 & 16481561 & 16481562 & 16481563 & 16481564 & 16481565 & 16481566 & 16481567 & 16481568 & 16481569 & 16481570 & 16481571 & 16481572 & 16481573 & 16481574 & 16481575 & 16481576 & 16481577 & 16481578 & 16481579 & 16481580 & 16481581 & 16481582 & 16481583 & 16481584 & 16481585 & 16481586 & 16481587 & 16481588 & 16481589 & 16481590 & 16481591 & 16481592 & 16481593 & 16481594 & 16481595 & 16481596 & 16481597 & 16481598 & 16481599 & 16481600
2425900	Leas	15 Dec 1972	15 Dec 1972	Public Company of Canada and Limited	Allen E. Rosen	\$1,000.00	Part as in No. 16481515 & 16481516 & 16481517 & 16481518 & 16481519 & 16481520 & 16481521 & 16481522 & 16481523 & 16481524 & 16481525 & 16481526 & 16481527 & 16481528 & 16481529 & 16481530 & 16481531 & 16481532 & 16481533 & 16481534 & 16481535 & 16481536 & 16481537 & 16481538 & 16481539 & 16481540 & 16481541 & 16481542 & 16481543 & 16481544 & 16481545 & 16481546 & 16481547 & 16481548 & 16481549 & 16481550 & 16481551 & 16481552 & 16481553 & 16481554 & 16481555 & 16481556 & 16481557 & 16481558 & 16481559 & 16481560 & 16481561 & 16481562 & 16481563 & 16481564 & 16481565 & 16481566 & 16481567 & 16481568 & 16481569 & 16481570 & 16481571 & 16481572 & 16481573 & 16481574 & 16481575 & 16481576 & 16481577 & 16481578 & 16481579 & 16481580 & 16481581 & 16481582 & 16481583 & 16481584 & 16481585 & 16481586 & 16481587 & 16481588 & 16481589 & 16481590 & 16481591 & 16481592 & 16481593 & 16481594 & 16481595 & 16481596 & 16481597 & 16481598 & 16481599 & 16481600

43R-69-5

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REGISTRATION NUMBER	INSTRUMENT	DATE OF INSTRUMENT	REGISTRATION DATE	GRANTOR	GRANTEE	CONSIDERATION ETC	LAND AND REMARKS
24539205	Q.M.	18 Dec 1972	21 Dec 1972	Her Majesty the Queen	Allen G. Brown		Discharge of No. 24539205
				by the Honorable Minister of National Revenue			Trade
24723105	Q.C.	26 Jan 1973	30 Jan 1973	Javic Holdings Limited	Geran Holdings (Peel) Limited	2.00 ac.	part of O.L. as in 172409 vs. except with course is SW 616.97'
* See # in R1072	Grant	29 Jan 1973	30 Jan 1973	* Commercial & Home Builders Limited	Geran Holdings (Peel) Limited	2.00 ac.	part of O.L. as in 24723105.
24723305	Q.C.	26 Jan 1973	30 Jan 1973	Geran Holdings (Peel) Limited	Commercial & Home Builders Limited	242,600.00.	part of O.L. as in 24723105.
24985405	Discharge	4 Jan 1973	2 Feb 1973	Paul Rooney, as J. McLaughlin & Sons	Estate of Allan Brown	1,100.00	for full discharge of No. 24259045
25331605	Q.C.	28 Feb 1973	22 Mar 1973	Commercial & Home Builders Limited	The Royal Bank of Canada	2.00 ac.	Assigning No. 24723305
25531005	Grant	8 Sept 1972	3 Apr 1973	E. Louis P. Chapman	Geran Holdings (Peel) Limited	2.00 ac.	Part as in No. 22923905
25531105	Q.C.	3 Apr 1973	3 Apr 1973	Javic Holdings Limited	Geran Holdings (Peel) Limited	2.00 ac.	Part as in No. 22923905
25546305	MORTGAGE	16 Mar 1973	4 Apr 1973	Geran Holdings (Peel) Limited	E. Louis P. Chapman	9000.00	Part as in No. 22923905
25939705	Grant	8 Sept 1973	27 May 1973	Johnson McInnis & Property Limited	Geran Holdings (Peel) Limited	2.00 ac.	Part, 50mm. 142.88' NW 1/4 of E + 316'SW 1/4 SW 84' NW 499.82' x NW 448.91' x NE 156.44' x NW 249.95' x NE 110.00' x SE 1036.78' to ptc.
25939805	MORTGAGE	25 Jun 1973	27 May 1973	Geran Holdings (Peel) Limited	Johnson McInnis & Property Limited	25,270.00	Part as in No. 25939705
25939905	Q.C.	11 Apr 1973	27 May 1973	Javic Holdings Limited	Geran Holdings (Peel) Limited	2.00 ac.	Part as in No. 25939705
26078705	MORTGAGE	12 May 1973	15 May 1973	Geran Holdings (Peel) Limited	The Bank of Nova Scotia	1.00 ac. (\$ 740,710.00)	DISCHARGED BY No. 503015 as in No. 26078705. @ in No. 26078705 pt as in 25939705

when 172409 vs amalgamation see pk pts of doc
 name change to Credit Valley Construction Limited

* GR subsearch name change 172409 vs. see pk Induco Construction Limited to Credit Valley Construction Limited

LOT 9 CONCESSION ^{Range} 3 C/R Mississauga

continued from #26078765

REGISTRATION NUMBER	INSTRUMENT	DATE OF INSTRUMENT	REGISTRATION DATE	GRANTOR	GRANTEE	CONSIDERATION ETC.	LAND AND REMARKS
264161VS	Notice of Application for First Registration	8 June 1973	8 June 1973	Take Notice That	Leron Holdings (Reel) Limited		has made an application to be registered under The Land Titles Act as the owner in fee simple with an Absolute Title of parts of of lots 9 & 10 Range 3 C.R. designated as Part 1 on the attached print under file C-7408.
271276VS	Certificate of First Registration	16 July 1973	16 July 1973	To certify that Leron Holdings (Reel) Limited was on July 13, 1973 registered as owner under the Land Titles Act and entered as parcel 9-1 in the Register for section 43-Range 3 C.R. (Miss.)	Leron Holdings (Reel) Limited		(Part of lots 9 and 10 Range 3 C.R. Mississauga designated as part 1 on attached sketch 43R-1072.
273818VS	Amending Agmt.	31 March 1973	31 July 1973	Leron Holdings (Reel) Limited	Lopico (Canada) Limited	\$1.00	Part of 0.7 Comm. at intersection of SE limits of Mississauga head with NW limit Plan 2501 being in limit between lots 9 & 10. Hence NW 227.25' x SE 250' x NE 447.35' x SW 447.35' x NW 576.5' to refer to records V (pgs. No. 103320
276747VS	Deed of Trust MORTGAGE	22 Aug. 1973	17 Aug. 1973	The Consumers' Gas Company	Canada Permanent Trust Company	25,000,000.00	Part - P.L. as in No. 145116 - P.L.
295035VS	Grant	19 Dec. 1973	21 Dec. 1973	Peel Financial Services Limited	Patricia E. McLaughlin	2.00 ± c.	Part as in No. 242 514 VS
298303VS	Grant	15 Mar. 1970	23 Jan. 1974	Transit Construction Limited	Birnamwood Investment Limited	2.00 ± c.	Part - P.L. (20.00 acs.) as in No. 130 338 VS
301328VS	MORTGAGE	22 Jan. 1974	11 Feb. 1974	Credit Valley Golf and Country Club Limited	The Toronto-Dominion Bank	1,000,000.00	Part (26.72 acs.) Comm. 122.02'50" from the thence SW 78'98" x SW 115'90" x SE 501.11' x SE 427.81' x NE 447.31' x NW 75.00' x NE 331.33' x NW 1317.23' to P.L. - P.L. Made
301176VS	Deed of Trust & Mortgage	15 Feb. 1974	15 Feb. 1974	The Consumers Gas Company	Canada Permanent Trust Company, Trustee	142,714.00	Part 1 P.L. in 145116 40 L (40 L outside Peel)
43R-1531	(Reference Plan)						Part 1 = 0.056 acs.
43R-1532	(Reference Plan)						Part 1 = 0.051 acs.
43R-1533	(Reference Plan)						Part 1 = 0.041 acs.

ORIGINALLY: and

PARCEL REGISTER
LAND TITLES DIVISION OF MISSISSIPPI (No. 43)

PAGE 7

RECENTLY: 9-1

ESTATE: FEE SIMPLE

TITLE: ABSOLUTE

PARCEL 9-1

SECTION: 43-Range 3 C.I.R. (Miss.)

SUBJECT TO: THE RESERVATIONS, LIMITATIONS, PROVISIONS AND CONDITIONS EXPRESSED IN THE GRANT FROM THE CROWN, AS VARIED BY STATUTE; THE OVERRIDING PROVISIONS OF THE LAND TITLES ACT AND OF ANY OTHER ACT; AND THE ENCUMBRANCES RECORDED BELOW.

SECTION 01.R. (Miss.)

SUBJECT TO SUBSEQUENT ENTRIES THIS PARCEL IS COMPRISED OF THE FOLLOWING LAND

THIS PARCEL IS NOW PARCEL PLAN -1 IN THE REGISTER FOR SECTION M-25

OCT 2 1980
MICROFILMED

THIS PAGE HAS BEEN INSERTED FOR INDEX PURPOSES

REGISTRATION NUMBER	INSTRUMENT	DATE OF INSTRUMENT	REGISTRATION DATE	GRANTOR	GRANTEE (APPLICANT, GAUTIONER, CLAIMANT ETC)	CONSIDERATION ETC.	LAND - REMARKS - SIGNATURE
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ORIGINALLY: and
 RECENTLY: 9-1
 SECTION: 43-Range 3 C.I.R. (Miss.)

The Province of Ontario claims no lien against this parcel under The Corporations Tax Act or The Retail Sales Tax Act in respect of any Previous ownership
 ESTATE: FEE SIMPLE
 SUBJECT TO THE RESERVATIONS, LIMITATIONS, PROVISIONS AND CONDITIONS EXPRESSED IN THE GRANT FROM THE CROWN, AS VARIED BY STATUTE; THE OVERRIDING PROVISIONS OF THE LAND TITLES ACT AND OF ANY OTHER ACT; AND THE ENCUMBRANCES RECORDED BELOW.

SUBJECT TO SUBSEQUENT ENTRIES THIS PARCEL IS COMPRISED OF THE FOLLOWING LAND

REGISTRATION NUMBER	INSTRUMENT	DATE OF INSTRUMENT	REGISTRATION DATE	GRANTOR	GRANTEE	CONSIDERATION ETC.	LAND - REMARKS - SIGNATURE
Part of Lots 9 and 10, Range 3, Credit Indian Reserve, Town of Mississauga, County of Peel, designated as PART 1 on a Plan of Survey of record in the Land Registry Office (No.43) - Land Titles Division of Peel at Brampton as 43R-1072							
426	By-Law Complied with under 12761 1735	1954	9 Jun 1954	THE CORPORATION OF THE TOWNSHIP OF TORONTO			<i>J. Boyer Deputy Land Registrar</i> The above Parcel and O.L. <i>J. Boyer D.L.R.</i>
103320VS	Mortgage Discharged under 56119 reg. Oct 27, 1975 - Advantage AS-8	27 Mar 1969	1 Apr 1969	CREDIT VALLEY CONSTRUCTION LIMITED	CONFINCO (CANADA) LIMITED	\$150,000.00	Part of PART 1 outlined in red on print of Plan 43R-1072 filed as No. 12117 <i>J. Boyer D.L.R.</i>
247233VS	Mortgage Discharged under 56119 reg. Oct 27, 1975 - Advantage AS-8	26 Jan 1973	30 Jan 1973	GERAN HOLDINGS (PEEL) LIMITED	COMMERCIAL & HOME BUILDERS LIMITED	\$242,500.00	Part of PART 1 outlined in red on print of Plan 43R-1072 filed as No. 12117 <i>J. Boyer D.L.R.</i>
253316VS	Assignment of Mortgage 247233VS	28 Feb 1973	22 Mar 1973	COMMERCIAL & HOME BUILDERS LIMITED	THE ROYAL BANK OF CANADA	\$2.00 & c	Part of PART 1 outlined in red on print of Plan 43R-1072 filed as No. 12117 <i>J. Boyer D.L.R.</i>
255463VS	MORTGAGE Discharged under 56119 reg. Oct 27, 1975 - Advantage AS-8	14 Mar 1973	4 Apr 1973	GERAN HOLDINGS (PEEL) LIMITED	BISIE RUBY CHAPMAN	\$90,000.00	Part of PART 1 outlined in yellow on print of Plan 43R-1072 filed as No. 12117 <i>J. Boyer D.L.R.</i>
259308VS	Mortgage Discharged under 56119 reg. Oct 27, 1975 - Advantage AS-8	25 Apr 1973	2 May 1973	GERAN HOLDINGS (PEEL) LIMITED	THOMSON MISSISSAUGA PROPERTIES LIMITED	\$258,270.00	Part of PART 1 outlined in green on print of Plan 43R-1072 filed as No. 12117 <i>J. Boyer D.L.R.</i>
260787VS	Mortgage Discharged under 56119 reg. Oct 27, 1975 - Advantage AS-8	12 May 1973	15 May 1973	GERAN HOLDINGS (PEEL) LIMITED	THE BANK OF NOVA SCOTIA	\$1.00	The above Parcel <i>J. Boyer D.L.R.</i>
260787VS	Application	13 Jul 1973	13 Jul 1973	GERAN HOLDINGS (PEEL) LIMITED	THE LAND REGISTRAR		As the owner of the above parcel <i>J. Boyer D.L.R.</i> Verification, consents and Dedication are filed under 263
		30 Apr 1973	Aug 1973				Lays out all of the above parcel into the following namely: 1stly: Lots 1 to 114 inclusive all as shown coloured pink on said Plan 2ndly: Blocks A, B, C and D all as shown coloured pink on said Plan 3rdly: Blocks E and F being a street widening as shown coloured brown on said Plan

SUBJECT TO SUBSEQUENT ENTRIES THIS PARCEL IS COMPRISED OF THE FOLLOWING LAND

REGISTRATION NUMBER	INSTRUMENT	DATE OF INSTRUMENT	REGISTRATION DATE	GRANTOR	GRANTEE	CONSIDERATION	LAND - REMARKS - SIGNATURE
		Part. of Lots 9 and 10, Range 3, Credit Indian Reserve, Town of Mississauga, County of Peel, designated as PART 1 on a Plan of Survey of record in the Registry Office (No. 43) - Land Titles Division of Peel at Brampton as 43R-1072					
426	By-Law	1954	9 Jun 1954	THE CORPORATION OF THE TOWNSHIP OF TORONTO			<i>J. Boyer</i> Deputy Land Registrar The above Parcel and Cont.
	Complied with under 12761	1733		Re: An Area of Sub-Division Control			<i>J. Boyer</i> D.R.
4032008	Mortgage	27 Mar 1969	1 Apr 1969	CREDIT VALLEY CONSTRUCTION LIMITED	COM INCO (CANADA) LIMITED	\$150,000.00	Part of PART 1 outlined in red on plan of Plan 43R-1072 filed as No. 12117
	Discharged under 50119						<i>J. Boyer</i> D.R.
	reg. Dec 27, 1975						
24723398	Mortgage	26 Jun 1973	30 Jun 1973	GERAN HOLDINGS (PEEL) LIMITED	COMMERCIAL & HOME BUILDERS LIMITED	\$242,500.00	Part of PART 1 outlined in red on plan of Plan 43R-1072 filed as No. 12117
	Discharged under 52150						<i>J. Boyer</i> D.R.
	reg. Oct 21, 1973						
25231695	Assignment of Mortgage	20 Feb 1973	22 Mar 1973	COMMERCIAL & HOME BUILDERS LIMITED	THE ROYAL BANK OF CANADA	\$2,000.00	Part of PART 1 outlined in red on plan of Plan 43R-1072 filed as No. 12117
	24723398						<i>J. Boyer</i> D.R.
25546095	MORTGAGE	14 Mar 1973	4 Apr 1973	GERAN HOLDINGS (PEEL) LIMITED	BOBIE RUBY CHAPMAN	\$90,000.00	Part of PART 1 outlined in red on plan of Plan 43R-1072 filed as No. 12117
	Discharged under 51012						<i>J. Boyer</i> D.R.
	reg. Oct 1, 1974						
25929875	Mortgage	25 Apr 1973	2 May 1973	GERAN HOLDINGS (PEEL) LIMITED	THOMSON MISSISSAUGA PROPERTIES LIMITED	\$258,275.00	Part of PART 1 outlined in green on plan of Plan 43R-1072 filed as No. 12117
	Discharged under 35509						<i>J. Boyer</i> D.R.
	registered Dec. 4, 1974						
D-23	Application	April 22, 1973	13 July 1973	PHI INTERNATIONAL INC.			is the owner of the above parcel
	Plan M-25	30 Apr 1973	2 Aug 1973	The Land Registrar certifies that GERAN HOLDINGS (PEEL) LIMITED on 13 July 1973			certificates, Consents and assignments are filed under 12761
				Lays out all of the above parcel into the following			
				namely:			
				1stly: Lots 1 to 111, inclusive all as shown coloured pink on said Plan			
				2ndly: Blocks A, B, C and D all as shown coloured pink on said Plan			
				3rdly: Blocks E and F being a street widening as shown coloured brown on said Plan			

Pg darker
 See pic 2T 20018
 re: name change

REGISTRATION NUMBER	INSTRUMENT	DATE OF INSTRUMENT	REGISTRATION DATE	GRANTOR	GRANTEE	LAND - REMARKS - SIGNATURE
35545	Transfer	4 Oct 1974	8 Oct 1974	Lots 7-8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, and 57 on Plan M-25. Subject to no easement on set out in Transfer 31666; are now entered as PARCELS 7-1, 8-1, 9-1, 10-1, 11-1, 12-1, 13-1, 14-1, 15-1, 16-1, 17-1, 18-1, 19-1, 20-1, 21-1, 22-1, 23-1, 24-1, 25-1, 26-1, 27-1, 28-1, 29-1, 30-1, 31-1, 32-1, 33-1, 34-1, 35-1, 36-1, 37-1, 38-1, 39-1, 40-1, 41-1, 42-1, 43-1, 44-1, 45-1, 46-1, 47-1, 48-1, 49-1, 50-1, 51-1, 52-1, 53-1, 54-1, 55-1, 56-1, and 57-1, SECTION M-25.	GERAN HOLDINGS (PEEL) LIMITED	<i>J. Matthey J.S.O.</i>
35546	Pt. Cession	7 Oct 1974	8 Oct 1974	ELGIE RUBY CHAMPAN	GERAN HOLDINGS (PEEL) LIMITED	Parts of Lot 6 and Block A and C on Plan M-25 are hereby discharged from Mortgage 25546395.
35547	Pt. Cession	16 Oct 1974	16 Oct 1974	THOMSON MASHESAGUA PROPERTIES LIMITED	GERAN HOLDINGS (PEEL) LIMITED	Blocks A, B, C and D on Plan M-25 are hereby discharged from Mortgage 25546395.
35548	Certification of Lien	26 Oct 1974	26 Oct 1974		The Local Registrar of the Supreme Court of Ontario certifies that no action has been commenced against Lots 41 to 50 inclusive, and C.L. on Plan M-25, before Mechanic Lien 25740.	<i>Wm. C. Haffner J.S.O.</i>
36146	Pt. Cession	4 Jul 1974	13 Dec 1974	THE ROYAL BANK OF CANADA	GERAN HOLDINGS (PEEL) LIMITED	Lot 111 on Plan M-25 is hereby discharged from Mortgage 2472395.
36149	Transfer	13 Jun 1974	13 Dec 1974	Lot 111 on Plan M-25. Subject to a right as set out in Transfer 36129, is now entered as PARCEL 111-1, SECTION M-25.		<i>Wm. C. Haffner J.S.O.</i>

REGISTRATION NUMBER	INSTRUMENT	DATE OF INSTRUMENT	REGISTRATION DATE	GRANTOR	GRANTEE (APPLICANT, CAUTIONER, CLAIMANT, ETC.)	CONSIDERATION ETC.	LAND - REMARKS - SIGNATURE
41020	Notice	4 Mar. 1975	7 Mar. 1975	PHI INTERNATIONAL INC.	THE BELL TELEPHONE COMPANY OF CANADA and THE HYDRO-ELECTRIC COMMISSION OF THE CITY OF MISSISSAUGA	\$2,000.00	Part of Block C, designated as Part 2 designated as Part 6 on Plan 43R-287. (Agreement attached to said Notice 41020.) <i>Wm. C. Haffie D.L.R.</i>
55201	Partial Cession	9 Oct 1975	15 Oct 1975		BEVRE BUILDERS (1972) LIMITED (Cautioner)		Lots 1 to 6 inclusive, Lots 41 to 50 inclusive, Lots 77 to 110 inclusive, Lots 112 to 114 inclusive on Plan M-25 are discharged from above Caution 15182. <i>J. Glenn</i>
55202	Partial Cession	10 Oct 1975	15 Oct 1975		THE BANK OF NOVA SCOTIA (Cautioner)		Lots 1 to 6 inclusive, Lots 41 to 50 inclusive, Lots 77 to 110 inclusive, Lots 112 to 114 inclusive on Plan M-25 are discharged from above Caution 20019. <i>J. Glenn</i>
55203 to 55206 incl.	Transfer	10 Oct 1975	16 Oct 1975				Lots 1 to 6 inclusive, Lots 41 to 50 inclusive, Lots 77 to 110 inclusive, Lots 112 to 114 inclusive on Plan M-25, subject to a right as set out in 55204 to 55206 inclusive, are now entered as <u>Parcels 1-1 to 6-1 inclusive, 41-1 to 50-1 inclusive, 77-1 to 110-1 inclusive, 112-1 to 114-1 inclusive, Section M-25.</u> <i>Vera Foster Handwritten</i>
70658	Mechanics' Lien	12 Mar. 1976	12 Mar. 1976		HIGH VOLTAGE SERVICES LTD. claims a Mechanics' Lien on the above Parcel for \$6,377.77		<i>Katherine Bayle</i>
75992	Certificate of Action	7 May 1976	7 May 1976		The Local Registrar of the Supreme Court of Ontario certifies that an action has been commenced to enforce the above claim for Lien 70658.		<i>Asavage A.S.O.</i> Reference Plan Recorded under 9627 <i>Wm. C. Haffie D.L.R.</i>
	Plan 43R-4418	5 July 1976	4 Oct. 1976		LAYS OUT PART OF BLOCK B on Plan M-25 as Part 1, thereon.		
129399	Mechanics' Lien	30 June 1977	4 July 1977		ROCKETT LUMBER & BUILDING SUPPLIES LTD. claims a Mechanics' Lien on Blocks B and C on Plan M-25, for \$7,610.74 plus interest and costs.		<i>Al Cordry D.L.R.</i>
130320	Mechanics' Lien	7 July 1977	12 July 1977		WEATHER SEAL MANUFACTURING LIMITED, claims a Mechanics' Lien on Blocks B and C on Plan M-25 for \$7,719.22.		<i>Al Cordry D.L.R.</i>
130350	Mechanics' Lien	8 July 1977	12 July 1977		MENARDA MASONRY LTD., claims a Mechanics' Lien on Blocks B and C on Plan M-25, for \$1,043.77		<i>Al Cordry D.L.R.</i>
131296	Certificate of Action	19 July 1977	19 July 1977		The Local Registrar of the Supreme Court of Ontario certifies that an action has been commenced to enforce the above claim for Lien 129399.		<i>S. P. H. H.</i>

ORIGINALLY: Parcel 8-1
SECTION 45-Range-3 C.L.R. (Miss)
RECENTLY: Parcel Plan-1
SECTION M-25

PARCEL REGISTER
LAND TITLES DIVISION OF PEEL (NO. 43)

PAGE 1
PARCEL 1-1
SECTION M-25

ESTATE: FEE SIMPLE TITLE: ABSOLUTE

SUBJECT TO: THE RESERVATIONS, LIMITATIONS, PROVISIONS AND CONDITIONS EXPRESSED IN THE GRANT FROM THE CROWN, AS VARIED BY STATUTE; THE OVERRIDING PROVISIONS OF THE LAND TITLES ACT AND OF ANY OTHER ACT; AND THE ENCUMBRANCES RECORDED BELOW.

SUBJECT TO SUBSEQUENT ENTRIES THIS PARCEL IS COMPRISED OF THE FOLLOWING LAND

REGISTRATION NUMBER	INSTRUMENT	DATE OF INSTRUMENT	REGISTRATION DATE	GRANTOR	GRANTEE (APPLICANT, CAUTIONER, CLAIMANT ETC.)	CONSIDERATION ETC.	LAND - REMARKS - SIGNATURE
	LEGAL DESCRIPTION:	<p>Lot 3 as shown on Plan M-25 in the City of Mississauga, in the Regional Municipality of Peel formerly in the Town of Mississauga, County of Peel, registered in the Land Registry Office for the Land Titles Division of Peel (NO. 43) at Brampton.</p> <p>Deleted under Application Registered 6 Oct 1980 285147 J. Costello D.R.</p> <p>SUBJECT TO the right in the future of an easement or license to PHI INTERNATIONAL INC., its successors and assigns, and its employees, agents, servants and workmen to enter the said lands and premises, without the same being a trespass:</p> <p>A) upon giving seven days notice to the Transferee within eighteen months from 10 Oct 1975 to rectify any grading not in accordance with the grade plan of PHI INTERNATIONAL INC.</p> <p>B) until the said plan of subdivision and all subdivision work has been accepted by the City of Mississauga, to carry out the obligations of PHI INTERNATIONAL INC. under its agreement with the City, including the right to undertake modifications to the surface drainage features, to effect any corrective measures required by the Engineer of the said City and to do any other work required to comply with the request of the said City.</p> <p>C) if within four years from 10 Oct 1975, PHI INTERNATIONAL INC., is directed by any governmental authority or subdivision bonding company to effect any corrective measures affecting the said lands for the purpose of effecting such measures.</p> <p>As set out in Transfer</p>					
54220V	Mortgage	27 Mar 1969	1 Apr 1969	CREDIT VALLEY CONSTRUCTION LIMITED	CONFINGO (CANADA) LIMITED	\$100,000.00	Whole Parcel
	Discharged under 56219 reg. Oct 27, 1975 <i>Advantage A-50</i>						
44220V	Mortgage	20 Jan 1973	30 Jan 1973	GERAN HOLDINGS (PEEL) LIMITED	COMMERCIAL & HOME BUILDERS LIMITED	\$242,500.00	Whole Parcel
	Discharged under 56120 reg. Oct 27, 1975 <i>Advantage A-50</i>						
44220V	Assignment of Mortgage	26 Feb 1973	22 Mar 1973	COMMERCIAL & HOME BUILDERS LIMITED	THE ROYAL BANK OF CANADA	\$2.00 & c	The above Mortgage 44220V
44220V	Application		11 July 1973	PHI INTERNATIONAL INC. (Generv)			
15921	Notice	16 Aug 1973	29 Aug 1973	GERAN HOLDINGS (PEEL) LIMITED	THE CORPORATION OF THE TOWN OF MISSISSAUGA	\$2.00 & c	Whole Parcel (Agreement dated 12 Feb 1973 is attached to said Notice)
44220V	Transfer of Charge	3 Apr 1974	10 Apr 1974	CONFINGO (CANADA) LIMITED	PROTRAD COMMERCIAL DEVELOPMENT LIMITED	\$2.00 & c	The above Mortgage 103220V
44220V	Notice	31 May 1974	31 May 1974	PHI INTERNATIONAL INC.	THE HYDRO-ELECTRIC COMMISSION OF THE CITY OF MISSISSAUGA	Premises, Municipal Government \$100.00	Whole Parcel (Agreement dated 10 Jan 1974 is attached to said Notice)
	Deleted Under Application 417338 Registered 22 Feb. 1983 <i>M. Judge D.R.</i>						
55234	Transfer	10 Oct 1975	16 Oct 1975	PHI INTERNATIONAL INC.	REVEL BUILDERS (1972) LIMITED	\$2.00	Whole Parcel
	<i>Vera Foster Land Registrar</i>						

M25

PLAN OF SUBDIVISION OF
PARTS OF LOTS 9 AND 10, RANGE 3 CREDIT FARM RESERVE
TOWN OF MISSISSAUGA
COUNTY OF PIEL

7.5 - 44



M-25

APPROVED BY: [Signature]

DATE: [Date]

PLANNING DEPARTMENT

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APPROVED BY: [Signature]

DATE: [Date]

PLANNING DEPARTMENT

M25

Property Information

The Building Permit page displays a listing of all Building Permits associated with the property. Since properties may contain multiple buildings, you may see different addresses than originally requested in your lookup.

Building permit data is displayed in order of Application Date with the most recent application appearing first in the list below. You can change the sort order by clicking on the App Date or Issue Date link. If you have any questions about the building permit data displayed below, please contact our Building Division at (905) 896-5619.

Property Details	Zoning Information	Building Permits	Development Applications	Committee of Adjustment	Heritage	Map It
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PROPERTY BUILDING PERMITS

[View Another Property](#)

Address: 2104 MISSISSAUGA RD
 Legal Description: PLAN M25 LOT 3
 Roll Number: 21-05-060-131-13201-0000

[Print Friendly Page](#)

Building Permits

5 Permit(s) found Page: of 1

App Number	Address	Scope	Issue Date
App Date	Description	Type Description	Status
HC 77 327655 1977-02-04	2104 MISSISSAUGA RD PROGRESSIVE PLG. 12 FIX.		HISTORY COMMENT PERMIT
HC 76 327654 1976-12-29	2104 MISSISSAUGA RD TORONTO AIR COND. MODEL 6582		HISTORY COMMENT PERMIT
HC 76 327653 1976-12-17	2104 MISSISSAUGA RD TEMP. CONSTRUCTION SIGN CODE: 7716		HISTORY COMMENT PERMIT
HC 76 327651 1976-11-05	2104 MISSISSAUGA RD SINGLE FAMILY DWELLING CODE: 7440		HISTORY COMMENT PERMIT
HC 76 327652 1976-10-12	2104 MISSISSAUGA RD CARAVAGGIO STM. & SAN.		HISTORY COMMENT PERMIT

5 Permit(s) found Page: of 1

PAGE 2 PARCEL 3-1 SECTION M-25

REGISTRATION NUMBER	INSTRUMENT	DATE OF INSTRUMENT	REGISTRATION DATE	GRANTOR	GRANTEE (APPLICANT, CAUTIONER, CLAIMANT, ETC.)	CONSIDERATION ETC.	LAND - REMARKS - SIGNATURE
90658	Mechanic's Lien	12 Mar. 1976	12 Mar. 1976		HIGH VOLTAGE SERVICES LTD. circo		Mechanic's Lien on the above Parcel for \$6,377.77. <i>Katherine Bayle s.d.</i>
	Discharged under 74163 registered 23 Apr 1976			<i>Katherine Bayle s.d.</i>			
17582	Transfer	30 Apr 1976	4 May 1976	DEVEL BUILDERS (1972) LIMITED	THE WYCLIFFE GROUP LIMITED	\$2,000.00	Whole Parcel <i>Advantage A.S.O.</i>
28740	Charge	22 Apr 1976	4 May 1976	THE WYCLIFFE GROUP LIMITED	DEVEL BUILDERS (1972) LIMITED	\$2,180,000.00	Whole Parcel <i>Advantage A.S.O.</i>
	Discharged under 106738 registered 20 Dec 1976						
	Discharged under 474833 registered 18 Oct 1983						
138575	Application	Sept. 1977	9 Sept. 1977		THE WYCLIFFE GROUP LIMITED		<i>Advantage A.S.O.</i> Pursuant to Section 129 of The Land Titles Act, certain covenants, restrictions and conditions running with the lands to be in full force and effect for a period of twenty (20) years from 1 Jan. 1976 were annexed to the Whole Parcel. <i>J. Frischke s.d.</i>
18773	Transfer	1 Sept 1978	1 Sept 1978	THE WYCLIFFE GROUP LIMITED	WILLIAM JOHN ANDERSON and LORNA GAIL ANDERSON, as joint tenants	\$2.00 & c	Whole Parcel Subject to the right as hereinafter set out <i>SEE BELOW</i> <i>Katherine Bayle s.d.</i>
<p>The following is the right referred to in the above Transfer 18773.</p> <p>SUBJECT TO the right in favour of THE WYCLIFFE GROUP LIMITED, their servants, agents or persons authorized by them to have free access at all reasonable hours to the lands herein described and the buildings erected thereon in order to make inspections and/or do any work or repairs thereon which they may deem necessary.</p>							
28714	Charge	1 Feb 1980	6 Feb 1980	GIVEN BY THE CORPORATION OF THE CITY OF REGINA	THE CITY OF REGINA		Whole Parcel. As to certain covenants and conditions in 129 of the Act. <i>W. Judge L.L.R.</i>
ep 287606	Transfer	3 Oct 1980	24 Oct 1980	WILLIAM JOHN ANDERSON and LORNA GAIL ANDERSON	JOHN P. KEISALL and SUSAN KEISALL, as joint tenants	\$2.00 & c	Whole Parcel <i>J. Frischke s.d.</i>
ep 287607	Charge	1 Oct 1980	24 Oct 1980	JOHN P. KEISALL and SUSAN KEISALL	BANK OF MONTREAL	\$15,000.00	Whole Parcel <i>J. Frischke s.d.</i>
ep 287608	Charge	8 Oct 1980	24 Oct 1980	JOHN P. KEISALL and SUSAN KEISALL	CANADIAN PACIFIC LIMITED	\$26,700.00	Whole Parcel <i>J. Frischke s.d.</i>

REGISTRATION NUMBER	INSTRUMENT	DATE OF INSTRUMENT	REGISTRATION DATE	GRANTOR	GRANTEE (APPLICANT CAUTIONER CLAIMANT ETC)	CONSIDERATION P.E.	LAND - REMARKS - SIGNATURE
ca 411001	Transfer	4 Jan. 1983	10 Jan. 1983	JOHN P. KHLSALL and SUSAN KHLSALL	GLEN AUGUST SWANSON and LYNN SWANSON, as joint tenants	\$2.00 & c	Whole Parcel <i>M. Swanson</i>
KM 420185	Transfer	1 Mar. 1983	9 Mar. 1983	GLEN AUGUST SWANSON and LYNN SWANSON	GLEN AUGUST SWANSON and MARY LYNN SWANSON as joint tenants	\$2.00 & c	Whole Parcel <i>H. Brown</i>
KM 420186	Charge Discharged under LT698701 Registered 17 Nov. 1986	7 Mar. 1983	9 Mar. 1983	GLEN AUGUST SWANSON and MARY LYNN SWANSON	CANADIAN PACIFIC LIMITED	\$5,500.00	Whole Parcel <i>H. Brown</i>
jd 456502	Charge Discharged under LT701883 Registered 27 Nov. 1986	26 Aug. 1983	30 Aug. 1983	GLEN AUGUST SWANSON and MARY LYNN SWANSON	BANK OF MONTREAL	\$70,000.00	Whole Parcel <i>M. Swanson</i>
ml 464834	Postponement of Charge	14 Sept. 1983	18 Oct. 1983	CANADIAN PACIFIC LIMITED	BANK OF MONTREAL		Postponed charge 4 0986 to charge <i>M. Swanson</i>
lt sn 47688587	Charge Deleted Under LT1090771		16 Oct. 1986	GLEN AUGUST SWANSON and MARY LYNN SWANSON	BANK OF MONTREAL	\$58,000.00	Whole Parcel <i>M. Swanson</i>

NOTICE
 As of
OCT 21 1996
 the land in this instrument is
 recorded in the automated parcel register
 set out in Subsection 141(5) of the
 LAND TITLES ACT

PROPERTY DESCRIPTION: PCL 3-1, SEC M25 ; LT 3, PL M25 , S/T A RIGHT AS IN LT187773 ; MISSISSAUGA

PROPERTY REMARKS:

ESTATE/QUALIFIER:

FEE SIMPLE
ABSOLUTE

RECENTLY:

FIRST CONVERSION FROM BOOK

PIN CREATION DATE:

1996/10/21

OWNERS' NAMES

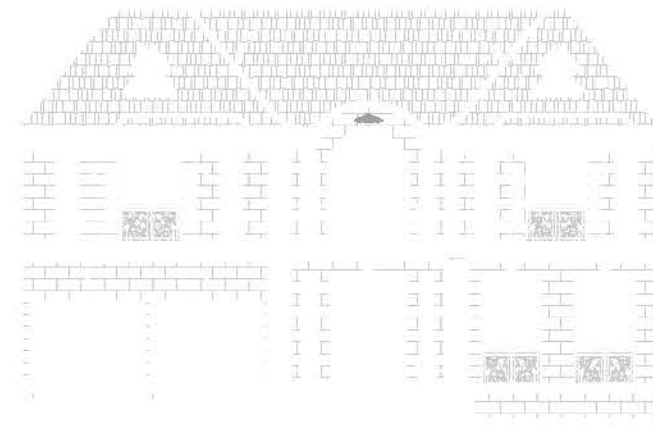
AL-RUBAIE, SAIF KIFAH

CAPACITY SHARE

ROWN

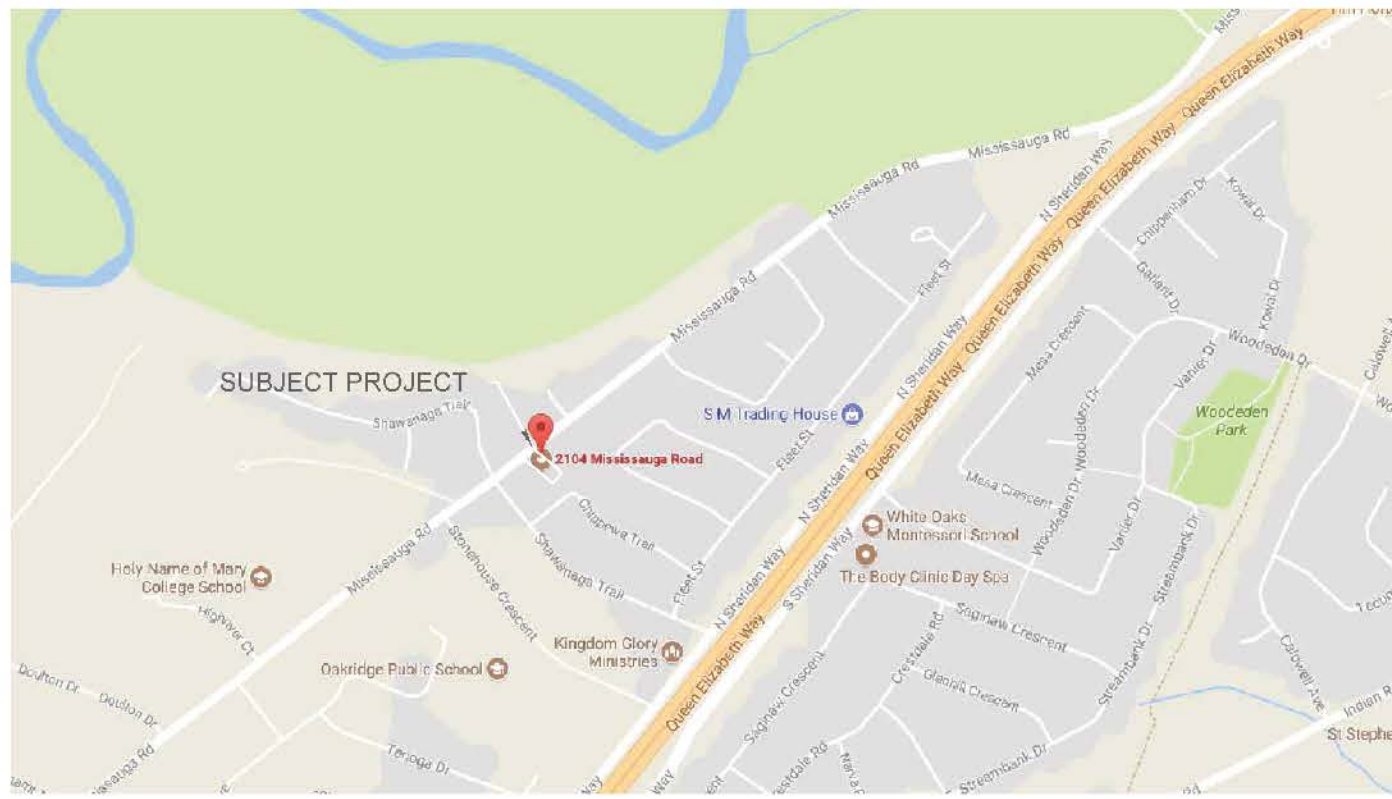
REG. NUM.	DATE	INSTRUMENT TYPE	AMOUNT	PARTIES FROM	PARTIES TO	CERT/CHKD
<p>**EFFECTIVE 2000/07/29 THE NOTATION OF THE "BLOCK IMPLEMENTATION DATE" OF 1996/10/21 ON THIS PIN**</p> <p>**WAS REPLACED WITH THE "PIN CREATION DATE" OF 1996/10/21**</p> <p>** PRINTOUT INCLUDES ALL DOCUMENT TYPES AND DELETED INSTRUMENTS SINCE 1996/10/18 **</p>						
LT13923	1973/08/29	NOTICE			THE CORPORATION OF THE TOWN OF MISSISSAUGA	C
LT138575Z	1977/09/09	APL ANNEX REST COV				C
LT255914	1980/02/06	NOTICE				C
REMARKS: COMPLIANCE; LT13923						
LT420185	1983/03/09	TRANSFER		*** COMPLETELY DELETED ***	SWANSON, GLENN AUGUST SWANSON, MARY LYNN	
PR3191201	2017/08/28	APL OF SURV-LAND		*** COMPLETELY DELETED *** SWANSON, GLENN AUGUST	SWANSON, MARY LYNN	
PR3197124	2017/09/06	TRANSFER PK	\$1,350,000	SWANSON, MARY LYNN	[REDACTED]	C
REMARKS: PLANNING ACT STATEMENTS.						
PR3197125	2017/09/06	CHARGE	\$675,000	[REDACTED]	BANK OF MONTREAL	C

NOTE: ADJOINING PROPERTIES SHOULD BE INVESTIGATED TO ASCERTAIN DESCRIPTIVE INCONSISTENCIES, IF ANY, WITH DESCRIPTION REPRESENTED FOR THIS PROPERTY.
NOTE: ENSURE THAT YOUR PRINTOUT STATES THE TOTAL NUMBER OF PAGES AND THAT YOU HAVE PICKED THEM ALL UP.



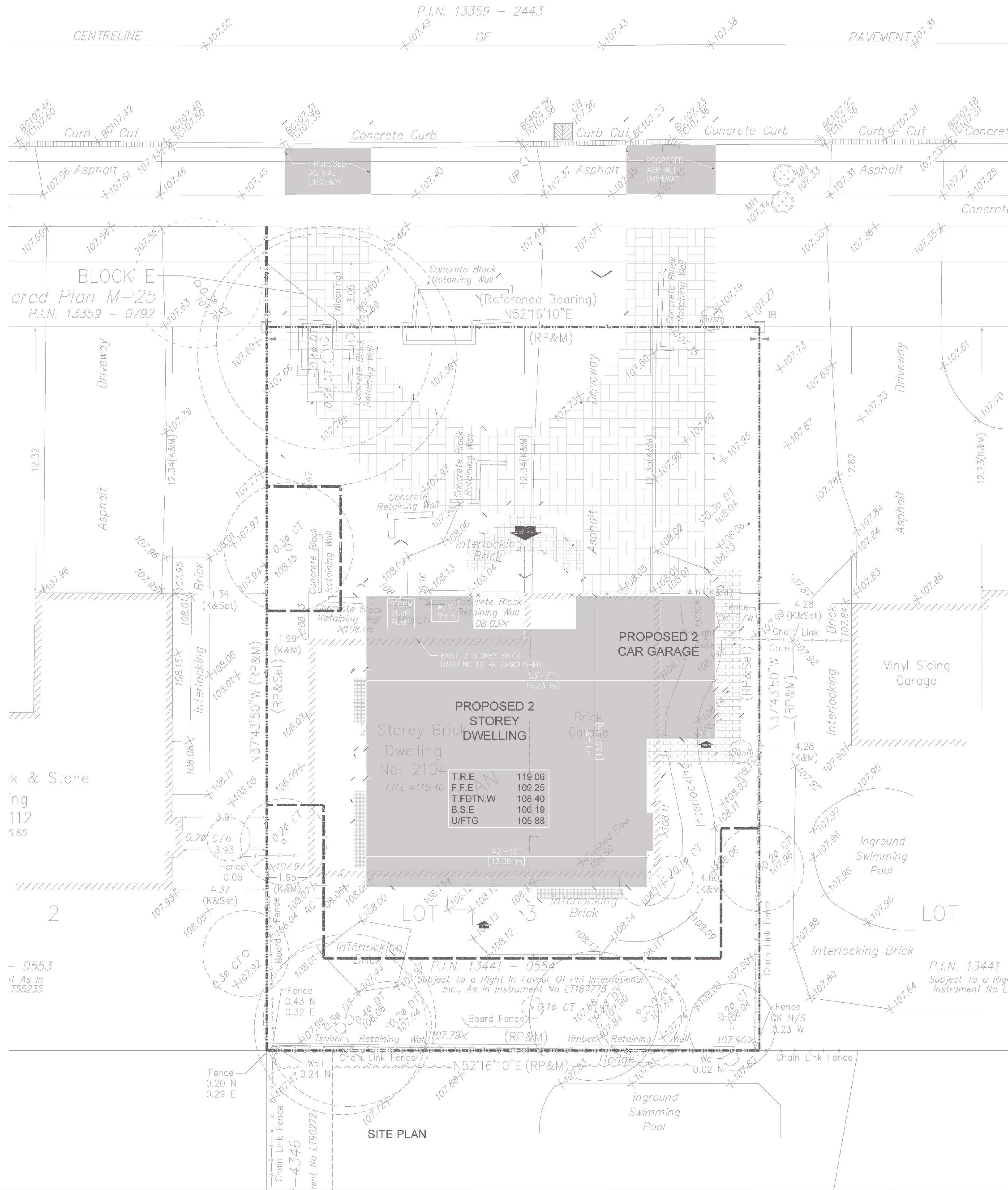
MISSISSAUGA RD. STREETSCAPE ELEVATION

		<p>AMR architects inc.</p>		<p>CUSTOM RESIDENCE</p>	<p>STREETSCAPE ELEVATION</p> <p>SK-1</p>
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CONTEXT PLAN

GENERAL NOTES:



SITE PLAN

SURVEY INFORMATION TAKEN FROM:

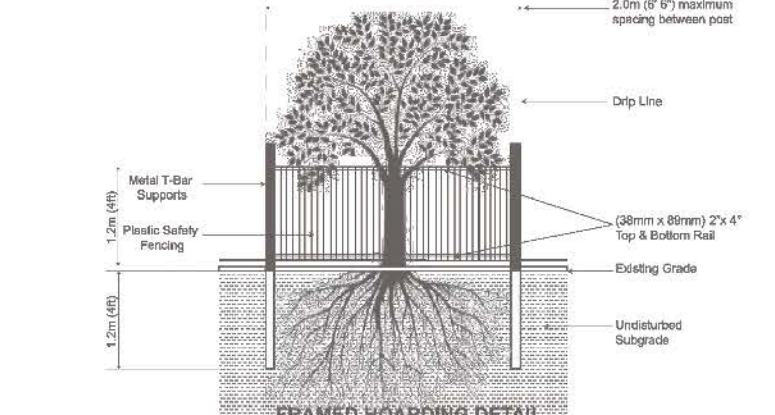
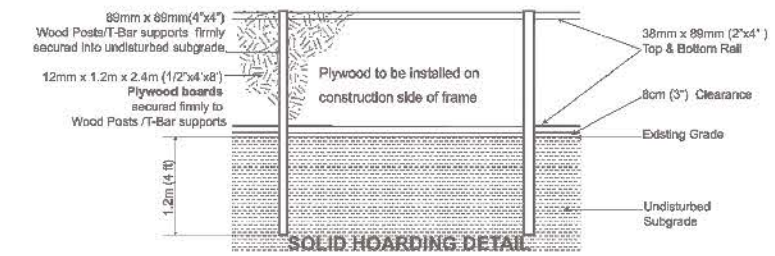
AVERAGE GRADE CALCULATION

POINT 1	POINT 2	POINT 3	POINT 4
107.56	107.46	107.46	107.28

LEGEND



SITE STATISTICS

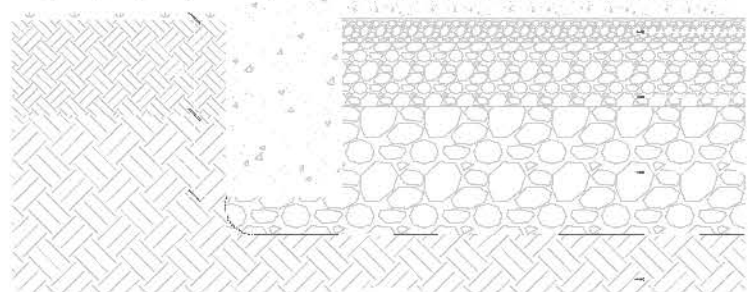


NOTES:

1. Hoarding details to be determined following initial site inspection.
2. Provide tree hoarding to be approved by Development & Design.
3. Hoarding must be supplied, installed and maintained by the contractor throughout all phases of construction.
4. Do not allow water to collect and pond behind or within hoarding.
5. Tree supports are acceptable alternatives for tree preservation. Unapproved metal supports will not be accepted.
6. Plywood must be utilized for solid hoarding. OSB/Chipboard will not be accepted for solid hoarding. Plywood sheets must be installed on 'hoarding' side of frame.
7. Applicant is responsible to ensure utility locates are completed within city bylaw prior to installing hoarding.

TREE PRESERVATION HOARDING

TREE HOARDING DETAIL



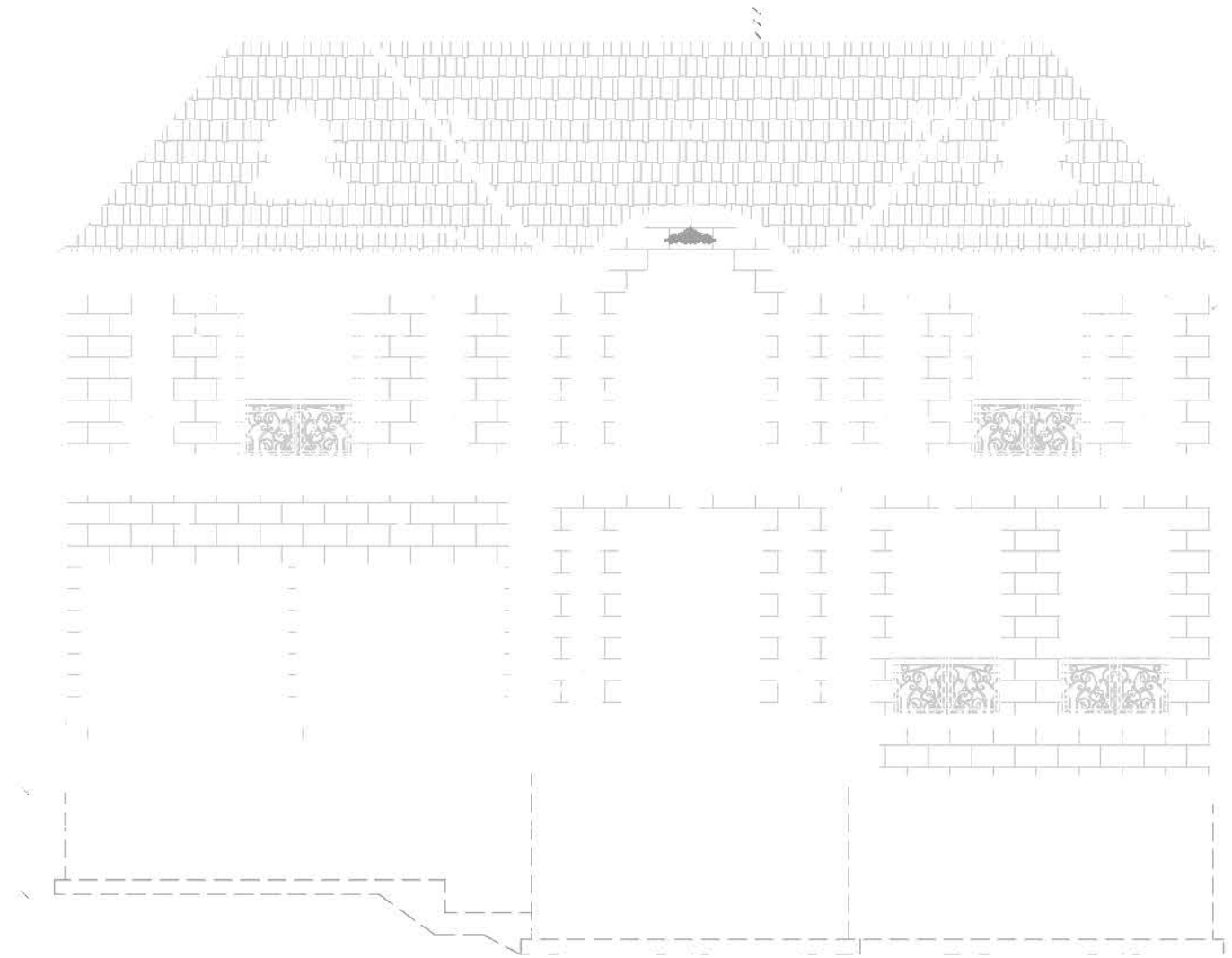
PERMEABLE PAVING DETAIL



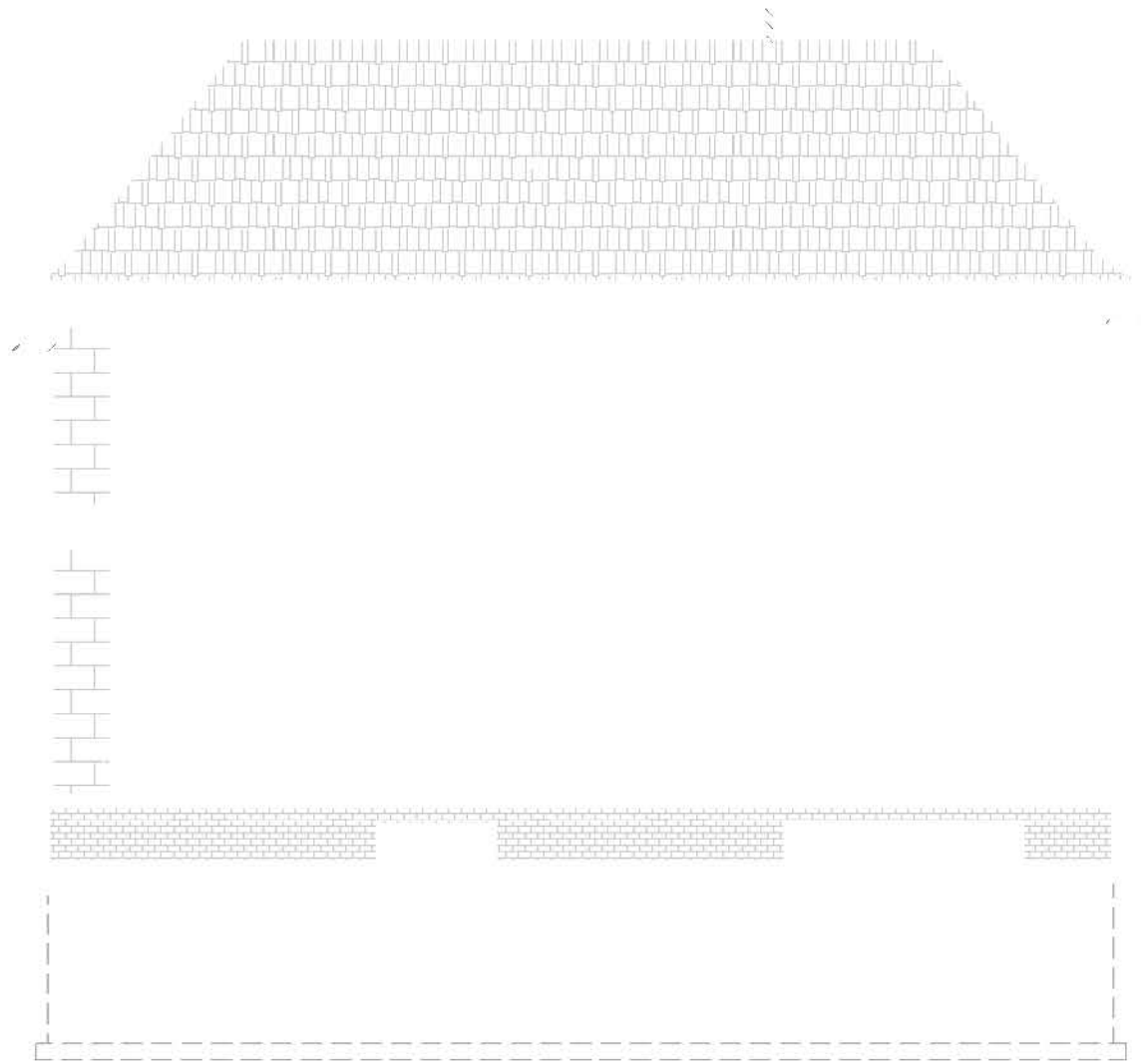
AMR architects inc.

CUSTOM RESIDENCE

SITE PLAN



NORTH ELEVATION



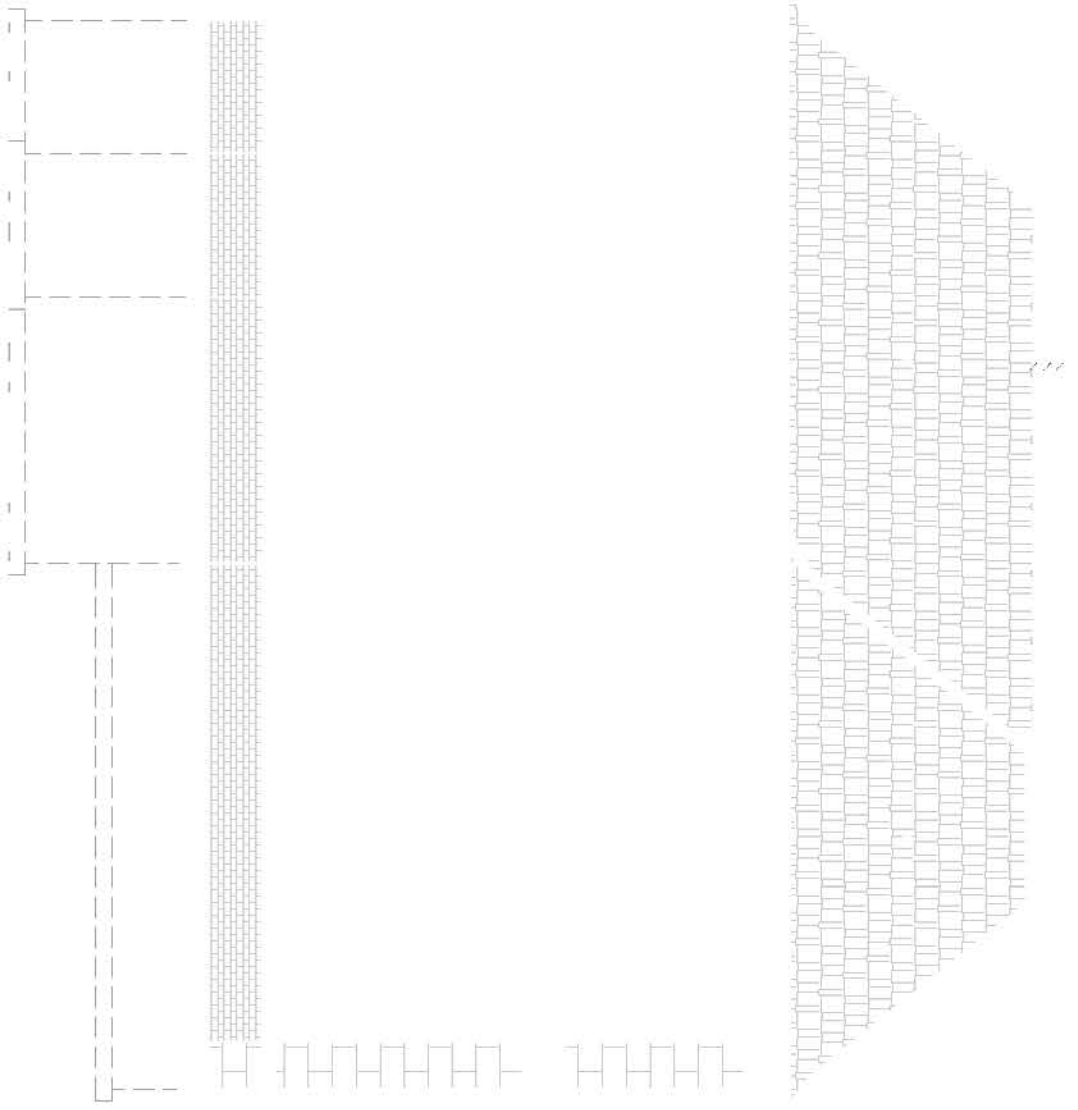
WEST ELEVATION

AMR architects inc.

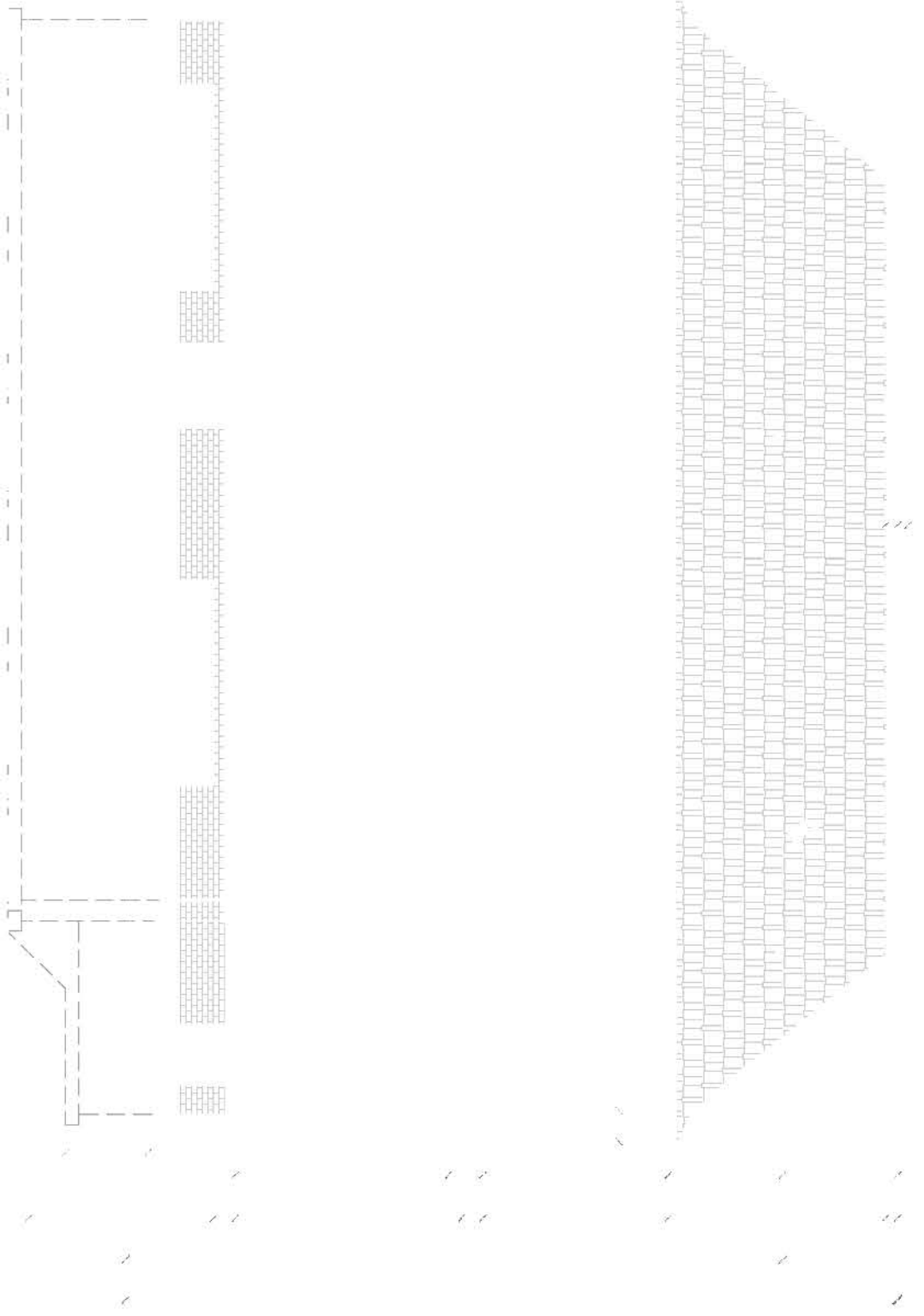
CUSTOM RESIDENCE

NORTH & WEST ELEVATIONS

SK-1



EAST ELEVATION



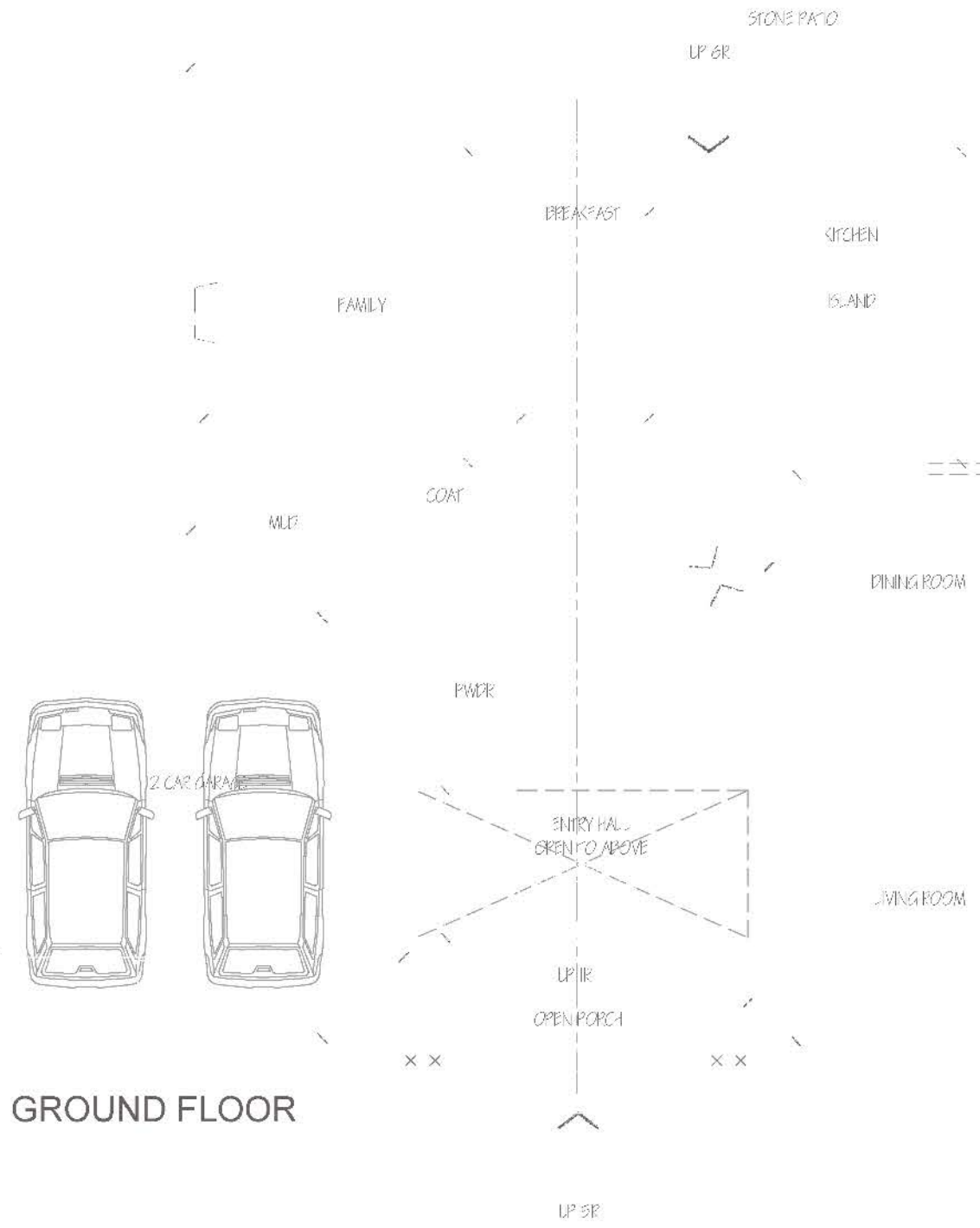
SOUTH ELEVATION

AMR architects inc.

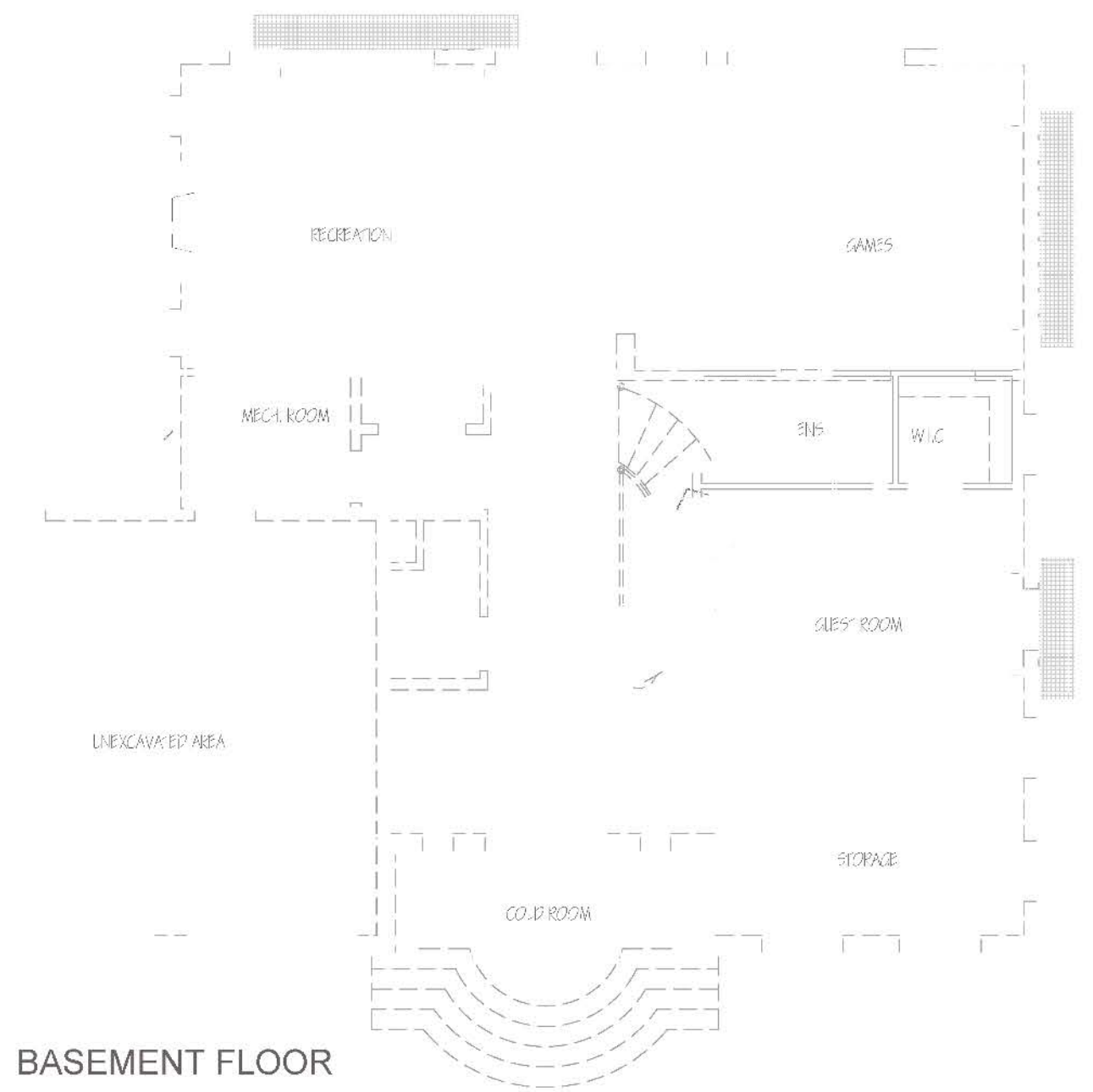
CUSTOM RESIDENCE

EAST & SOUTH ELEVATIONS

SK-1



GROUND FLOOR

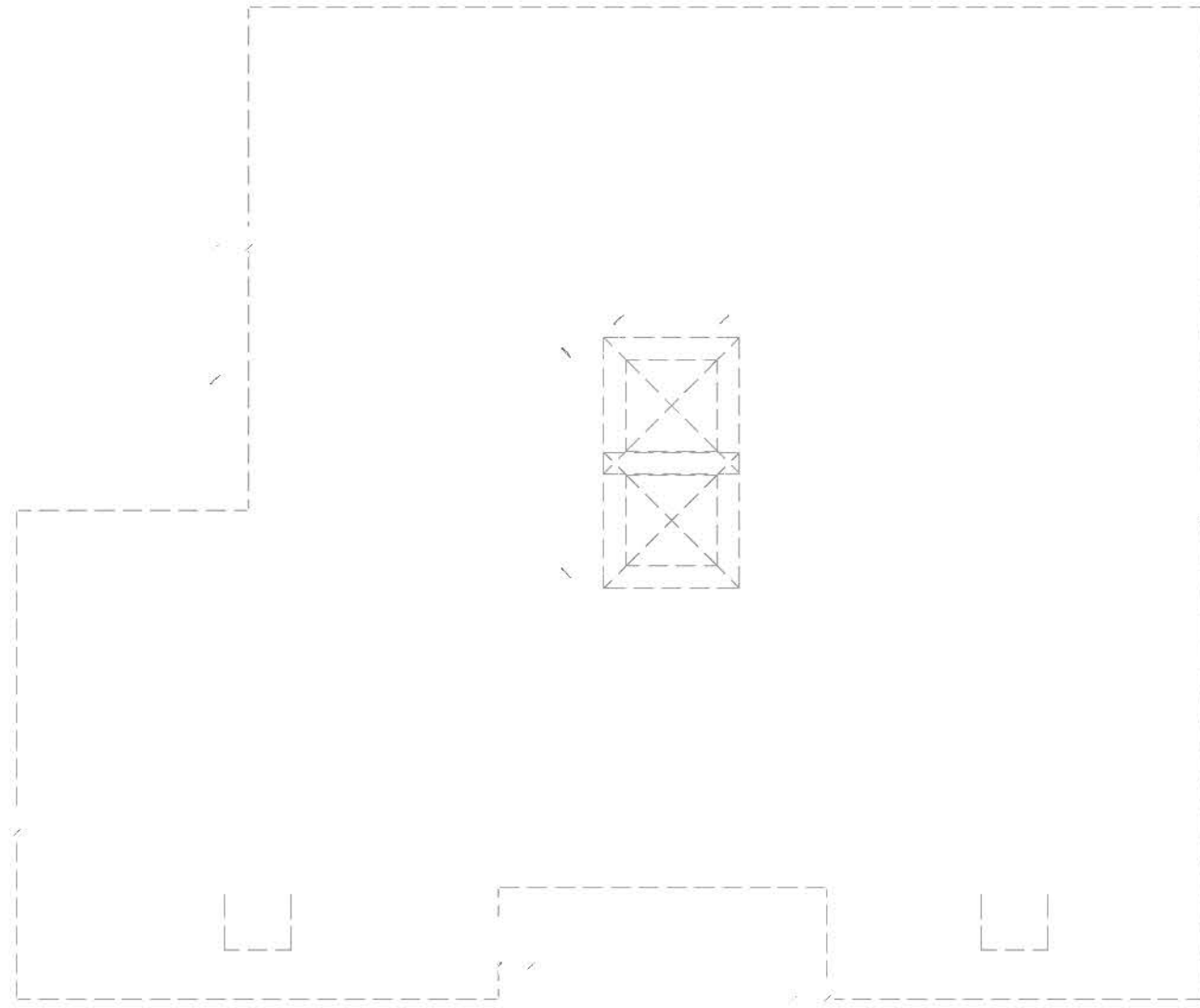


BASEMENT FLOOR

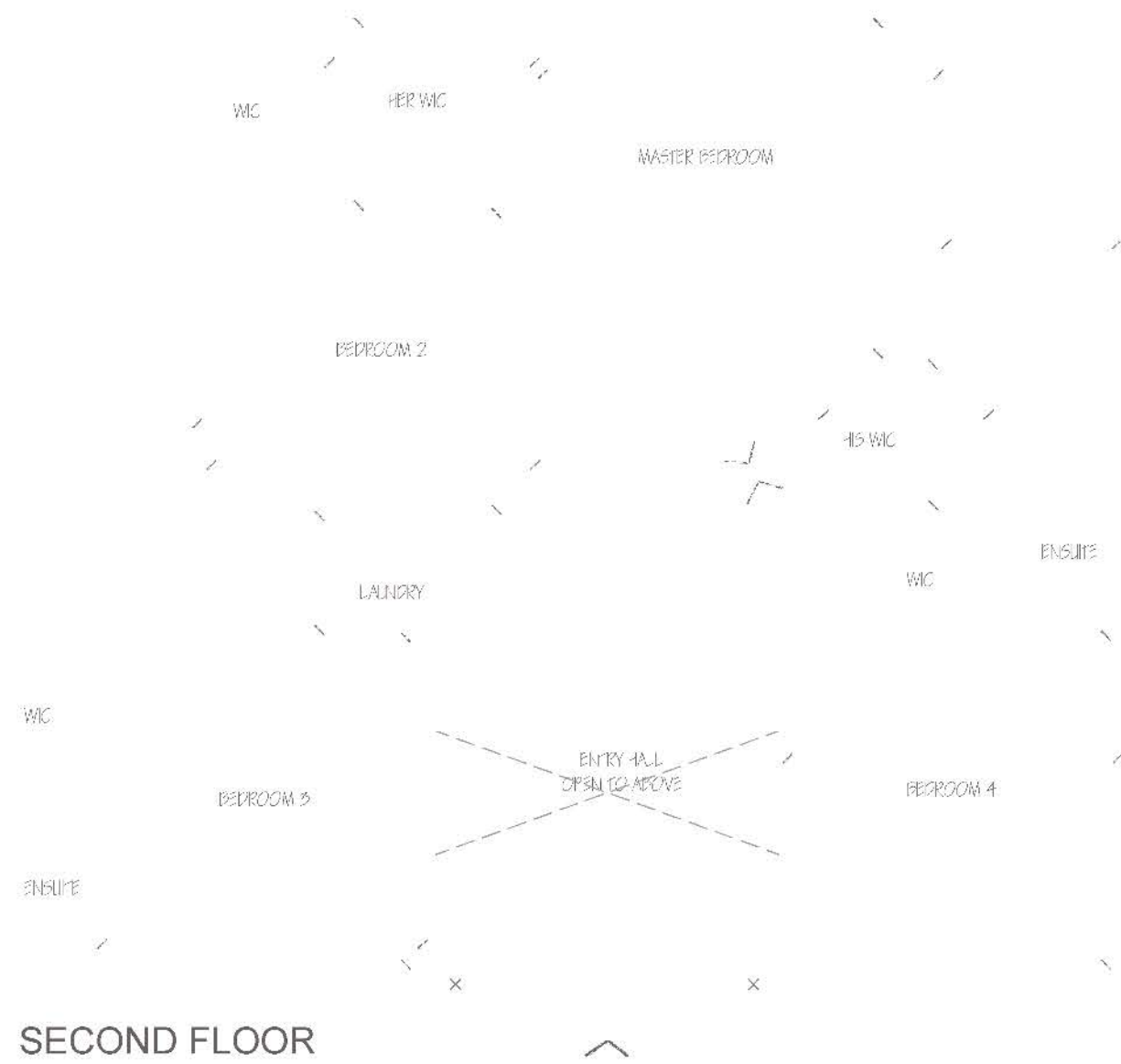
AMR architects inc.

CUSTOM RESIDENCE

BASEMENT & GROUND FLOOR



ROOF PLAN



SECOND FLOOR

AMR architects inc.

CUSTOM RESIDENCE

SECOND & ROOF PLAN

SK-1

City of Mississauga
Corporate Report



<p>Date: 2018/12/11</p> <p>To: Chair and Members of Heritage Advisory Committee</p>	<p>Originator's files:</p>
<p>From: Paul Mitcham, P. Eng, MBA, Commissioner of Community Services</p>	<p>Meeting date: 2019/01/08</p>

Subject

Request to Demolish a Heritage Listed Property: 5235 Mississauga Road (Ward 11)

Recommendation

That the property at 5235 Mississauga Road, which is listed on the City's Heritage Register, is not worthy of heritage designation, and consequently, that the owner's request to demolish proceed through the applicable process as per the Corporate Report from the Commissioner of Community Services dated December 11, 2018.

Background

Section 27.3 of the Ontario Heritage Act states that an owner wishing to demolish a property that is listed on the City's Heritage Register but not designated under the Ontario Heritage Act must give 60 days' notice of their intention to demolish. The notice must be accompanied by a Heritage Impact Assessment (HIA) that meets the City's terms of reference. The purpose of this legislation is to allow time for Council to consider whether the property merits designation under the Ontario Heritage Act.

The owner of the subject property has submitted a heritage permit application to demolish the existing detached dwelling, which is listed on the City's Heritage Register. The property was listed because it lies with the Cultural Heritage Landscape of Mississauga Road. The HIA that supports the demolition application, by Megan Hobson, is attached as Appendix 1.

Comments

The owner of the subject property has requested permission to demolish the existing structure. The applicant has provided a Heritage Impact Assessment compiled by Megan Hobson, attached as Appendix 1. The consultant has concluded that the vacant commercial auto garage at Mississauga Road is not worthy of designation. The conclusions and recommendations in the HIA state on page 21 that:

- The subject property contains a one-storey concrete-block commercial garage that does not meet any criteria for Designation under the Ontario Heritage Act. This property is currently not contributing to the Cultural Landscape of the Mississauga Road Scenic Route.
- This property is zoned for commercial use and is adjacent to undeveloped railway lands. There is a gas station on Mississauga Road just north of the railway line. The proposed development will introduce amenities and diverse housing into this area. The compact form and traditional brick cladding is considered appropriate for this transitional zone between the modern suburban housing to the south and the historic commercial core of the north.

Regulation 9/06 (attached as Appendix 2) states that a “property may be designated under section 29 of the Ontario Heritage Act if it meets one or more of the criteria” set out in the regulation. Staff concurs with Megan Hobson’s HIA report; the subject property does not merit heritage designation.

Financial Impact

There is no financial impact resulting from the recommendation in this report.

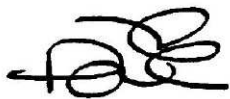
Conclusion

The owner of 5235 Mississauga Road has applied to demolish the property. The property does not merit heritage designation when reviewed against the criteria for Ontario Regulation 9/06. The applicant’s request to demolish should proceed through the applicable process.

Attachments

Appendix 1: HIA

Appendix 2: O.Reg. 9/06



Paul Mitcham, P. Eng, MBA, Commissioner of Community Services

Prepared by: Brooke Herczeg, Heritage Analyst

HERITAGE IMPACT ASSESSMENT



**5235 Mississauga Road
Mississauga Road Scenic Route
Cultural Landscape**

FINAL REPORT
20 Nov 2018

MEGAN HOBSON
M.A. DIPL. HERITAGE CONSERVATION
Built Heritage Consultant
45 James Street, Dundas, ON L9H 2J5
(905) 975-7080
mhobson@bell.net

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	APPENDIX B: LAND RECORDS (TITLE SEARCH BY CHRIS APLIN)	ATTACHED
	APPENDIX C: PROPOSED DEVELOPMENT (HICKS DESIGN STUDIO & JOHN LLOYD & ASSOCIATES)	ATTACHED
	APPENDIX D: ARBORIST REPORT (URBAN FOREST INNOVATIONS INC)	ATTACHED

1.0 BACKGROUND & METHODOLOGY

The subject property is located in the Mississauga Road Scenic Route Cultural Landscape. This report was prepared by heritage consultant Megan Hobson for the property owner of 5235 Mississauga Road as a requirement for obtaining approvals to remove an abandoned auto garage and construct a new 2-storey mixed-use development with commercial space on the ground floor and residential units above.

This report was prepared in accordance with the City of Mississauga's *Terms of Reference for Cultural Landscape Heritage Impact Assessments (2016)*. A site visit was undertaken by Megan Hobson on July 10th, 2018 to assess and document the current condition of the property and its relationship to the Mississauga Road Scenic Route Cultural Landscape. Historical research was carried out, including a title search to determine past ownership of the property, and relevant heritage planning policies were reviewed.

2.0 LOCATION

The subject property is located on the east side of Mississauga Road north of Eglinton Avenue West, just south of Streetsville. It occupies a corner lot on the northeast corner of Mississauga Road and Melody Drive. Melody Drive is a *cul de sac* that is part of a small residential subdivision. Mississauga Road is a major north-south route. The subject property is located in an irregularly shaped block that is bisected by the CP railway line that is part of the GO Transit rail system. Within this block, there are apartment blocks and commercial buildings north of the railway line. The large area south of the railway line is undeveloped with the exception of the subject property. Adjacent blocks to the south are residential. Properties on the west side of Mississauga Road across from the subject property include townhouses and a place of worship with a large surface parking lot.



Location Map: 5235 Mississauga Road [Google]

3.0 SITE DESCRIPTION

See Appendix A: CURRENT CONDITIONS (SITE PLAN & SITE PHOTOS)

The subject property is approximately 0.8 acres with a 50 m frontage on Mississauga Road. It contains a one-storey concrete block commercial building that is currently vacant and boarded up. There are two entrances from Mississauga Road. Most of the area in front of the building is paved. There is a semicircular patch of grass on Mississauga Road and a strip of grass along Melody Drive. There is a sidewalk along the Mississauga Road frontage. There is no sidewalk along the Melody Drive frontage and there is an old chain link fence along the side property line. There are no mature trees on the property. An Arborist Report confirming this is provided as Appendix D of this report.



5235 Mississauga Road = aerial photo & view from Mississauga Road [Google]

BUILDINGS

The subject property contains a vacant commercial auto garage. There are some signboards on the parapet and a signpost in front of the building for 'L.A. Auto Repairs'. The building is vacant with plywood hoarding on doors and windows. The interior was not accessible because the roof has partially collapsed.



5235 Mississauga Road - vacant auto garage (L.A. Auto)

The auto garage building is a one-storey rectangular building with a flat roof and three garage bays. It appears to have a concrete slab foundation on grade. The roof has a wide overhang with lights recessed into the soffit. The building is clad in various types of masonry cladding. There is a textured concrete brick on the main elevation with textured and smooth finishes in alternating horizontal courses. The smooth course is slightly recessed. The rear elevation is not faced with brick and concrete block is visible. The north side elevation is clad with a smooth red brick cladding with a white mortar. There is a shed attached at the back with vinyl siding. Doors are metal or hollow wood. The window frames are covered with plywood hoarding and were not visible.



Derelict building – doors and windows are covered with plywood

There is a carport at one end of the structure that is supported by metal poles. There are no other structures located on the property. The building is clearly vacant and evidence of vandalism including graffiti was observed.

The building, in its current state, is an eyesore on Mississauga Road.

LANDSCAPE

The Mississauga Road frontage contains a U-shaped paved driveway with two entrances from Mississauga Road. There is no entrance from Melody Drive. Most of the area in front of the building is paved. There is grass and vegetation behind the building and along the sides of the property. These areas are overgrown and full of tall weeds. The paved driveway and pavement in front of the building has not been maintained and the surface is cracked with weeds growing through.

There is an old chain link fence along the side property line that is in rusted and broken. The property is clearly vacant and appears to have been so for quite some time.

The landscape, in its current state, is an eyesore on Mississauga Road.



Derelict landscape – weeds, abandoned shopping cart, rusted and broken chain link fence

NEIGHBOURHOOD

This section of Mississauga Road is characterized by a mix of residential, institutional and commercial uses. Adjacent land uses to the south are low-rise residential including single-detached dwellings and townhouse complexes. The property is adjacent to undeveloped land adjacent to the CP railway line that is part of the Go Transit railway network. There are high and mid-rise apartment blocks north of the rail line and some commercial nearby on Mississauga Road including a Husky gas station that fronts on Mississauga Road just north of Reid Drive. The subject property is opposite Kingdom Hall, a large meeting hall belonging to the Jehovah's Witness.

The poor condition of the subject property contrasts with the well-maintained and landscaped residential properties adjacent to and directly opposite the subject property.



Left – townhouse blocks on Mississauga Road are screened by vegetation

Right – single detached housing on Melody Court with landscaped front yards and a grass boulevard planted with trees

4.0 HERITAGE PLANNING CONTEXT

Cultural Heritage Landscape Inventory

The City of Mississauga adopted a *Cultural Landscape Inventory* in 2005. All of the properties listed on the *Cultural Heritage Inventory* are listed on the *City's Heritage Register*. Under City policy 7.4.1.12, the City of Mississauga seeks to conserve, record and protect its heritage resources and a *Heritage Impact Assessment* is required for any "construction, development, or property alterations that might adversely affect" those resources. The *Heritage Impact Assessment* must be prepared by a qualified heritage consultant and must satisfy the *Terms of Reference for Cultural Landscape Impact Assessments (2016)*.

Mississauga Road Scenic Route Cultural Landscape

The subject property is identified in the *Cultural Heritage Inventory* as being part of the *Mississauga Road Scenic Route Cultural Landscape (F-TC-4)*. The *Inventory* provides a general description of the character of this resource and includes a checklist of natural and cultural values associated with it. The Mississauga Road Scenic Route Cultural Landscape is described as follows:

SITE DESCRIPTION

Mississauga Road is one of the oldest roads in Mississauga. Its alignment varies from being part of the normal road grid in the north to a curvilinear alignment in the south following the top of bank of the Credit River. The scenic quality of the road is notable because it traverses a variety of topography and varying land use from old established residential neighbourhoods to new industrial and commercial areas. From Streetsville south the boulevards and adjacent landscapes are home to some of the oldest and most spectacular trees in the City. It is acknowledged as an important cultural landscape because of its role as a pioneer road and its scenic interest and quality

Values associated with the Mississauga Scenic Route identified in the *Inventory* are grouped under 4 headings and are:

- Landscape Environment
 - Scenic and visual quality
 - Horticultural interest
 - Landscape Design, Type and Technological Interest
- Historical Associations
 - Illustrates Style, Trend or Pattern
 - Illustrates Important Phase in Mississauga's Social or Physical Development
- Built Environment
 - Consistent Scale of Built Features
- Other
 - Historical and Archaeological Interest

The degree to which individual properties contribute to this character is not assessed. Due to considerable development on Mississauga Road, this cultural landscape has experienced a large number of demolitions and new development since 2005.

New development is regulated by Official Plan policies and zoning by-laws and is subject to review, including heritage review, under the Site Plan Application process. There are no specific heritage policies for new development within Cultural Heritage Landscapes.

5.0 HISTORICAL CONTEXT

See Appendix B: Land Records

Early 19th century - Settlement

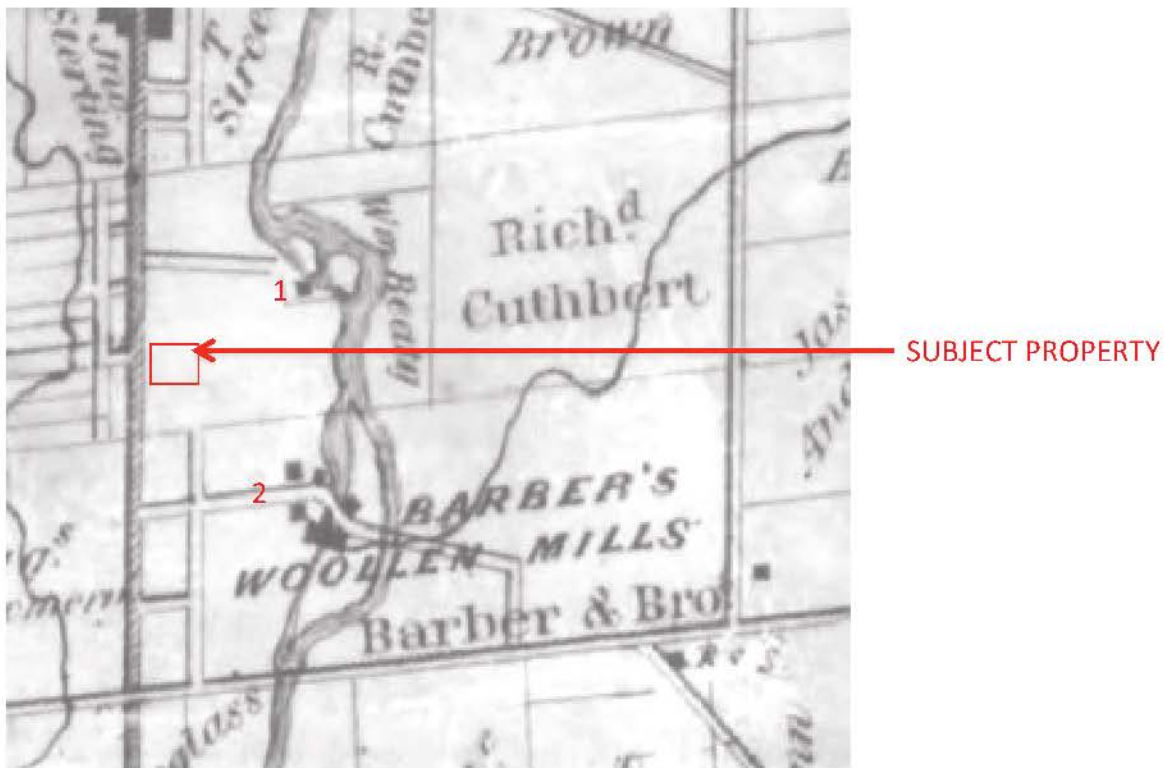
Mississauga Road is an early pioneer road that is associated with an aboriginal route that followed the Credit River. The subject property is situated on the east side of Mississauga Road between the hamlet of Barbertown and the village of Streetsville. The **William Barber House**, built c. 1860 (*Designated OHA Part IV*), is located one block south of the subject property on the northeast corner of Mississauga Road and Barber Road (5155 Mississauga Road).



William Barber House Restaurant, 5155 Mississauga Road – Part IV Designated heritage property

The subject property is located in the north part of Toronto Township in an area that was surveyed in 1819. This is known as the New Survey (1819). The concessions are numbered from Hurontario Street. The subject property is west of Hurontario Street in Concession 4. The lots are numbered from the edge of the earlier survey of the South Part of Toronto Township, known as the Old Survey (1806). The subject property is on Lot 2 in the New Survey (1819).

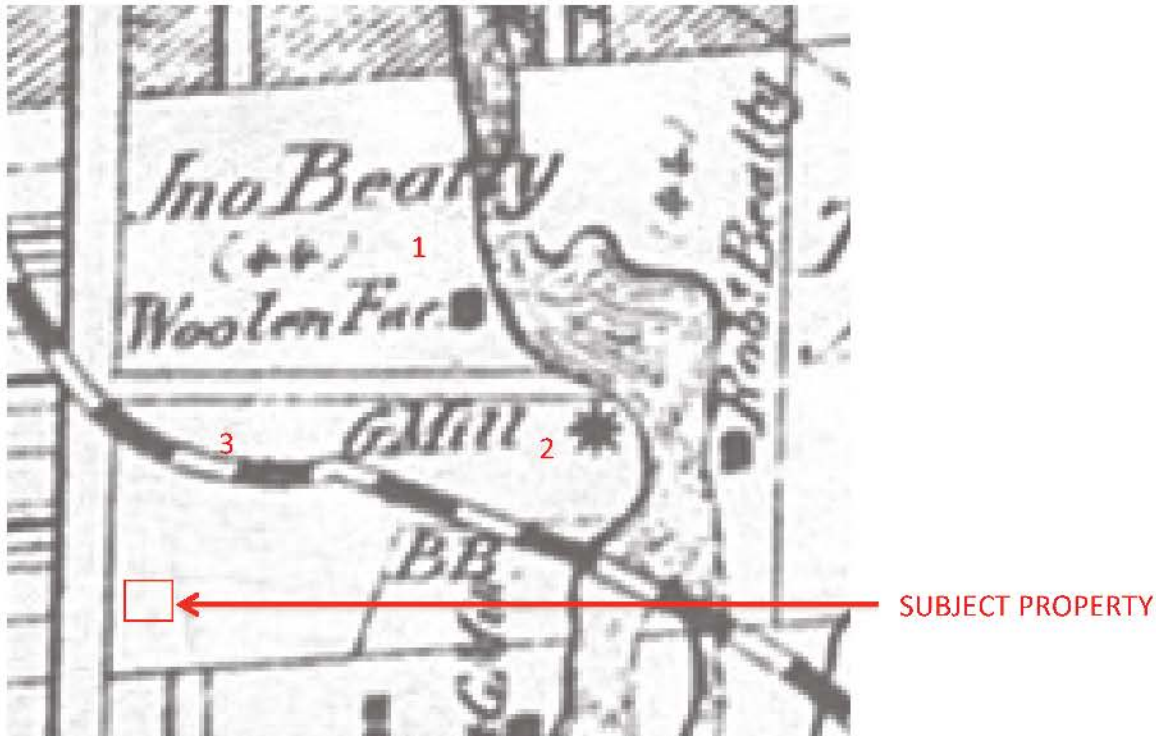
According to land records, the subject property is located in the westerly half of Lot 2, Concession 4, west of Hurontario Street, in the Township of Toronto, in the County of Peel. The original land patent for the west half of Lot 2 (100 acres) was granted to John Butcher by the Crown in 1834. The 1859 **Tremaine map** indicates that industries were established on this tract of land, including a gristmill built by William Beatty and a 'Woolen Mill' built by William Barber and his brother. There are no structures indicated where the subject property is located.



1859 Tremaine Map – 1. William Beatty's gristmill – 2. Barber & Bro Woolen Mills

Late 19th century – Industrial Uses

In 1877 the Credit Valley Railway line (now CP Rail) was constructed, cutting diagonally across Lot 2 and crossing the Credit River just to the east of the subject property. The 1877 **County Atlas Map** shows the Credit Valley railway line, the gristmill shown on the earlier Tremaine Map, and now a 'Woolen Factory' operated by William Beatty's son Jonathon. There are no structures indicated where the subject property is located.



1877 County Atlas – 1. Jonathan Beatty's Woolen Factory – 2. Beatty's gristmill – 3. Credit Valley Railway line

Land records indicate that the subject property is associated with a parcel that was purchased by James Gilmour Templeton of Streetsville in 1902 against which a mortgage was secured. Marriage records indicate that James Gilmour Templeton (1869-1926) married Edith Helen Beatty (1865-1955) in 1896. In the 1911 Census James G. Templeton (45 years) is listed as a 'druggist' living in Streetsville with Edith and 2 children. In the 1921 Census James G. Templeton (54 years) is listed as a 'druggist' living in Toronto North (Ward 3) with Edith (51 years). James & Edith Templeton are buried at Mount Pleasant Cemetery in Toronto.

Early 20th century – Agricultural Uses

In 1926 Edith Templeton (nee Beatty), widow of James G. Templeton, and Priscilla Beatty, spinster, sold their land in Lot 2 to Charles Henry Riches. The 1921 Census indicates that Charles H. Riches (52 years) was living in Lot 2 Conc 4 with a large number of relatives with the surname Riches, including Charles S. (31 years), Barbara M. (25), Clarence H. (20) George H. (23), Gladys (23) and Margaret E (5). He is listed as married and his occupation is 'attorney'.

In 1933 Charles H. Riches sold his property to William Borden Hersom of the Town of Oakville and Olive Adele Riches of the Township of Toronto in the County of Peel. In 1951 William Borden Hersom, Esquire and his wife Lily Margaret Hersom transferred their property to Herbert L. Hersom, who is described as a 'poultryman'. The 1935 Voters' List includes Borden Hersom and Herbert Hersom, both listed as 'poultryman' in Streetsville. In the 1945 Voters' List, there are only two Hersoms listed; a H.L. Hersom and his wife Mrs. H.L Hersom. His occupation is identified as a 'mill operator' in Streetsville. This would indicate that the Hersom poultry farm was no longer in operations and he was now a wage earner at the mill.

This evidence suggests that this land was used for agricultural uses by the Riches in the 1920s & early 1930s and by the Hersoms in the late 1930s and early 1940s. The subject property is not included on the 1939 Fire Insurance maps because it is located just south of the village limits in Toronto Township.

Aerial photography from 1954 shows a cluster of buildings in the area of the subject property. his cluster of buildings likely includes the residence and poultry farm operated by the Hersom family in the 1930s and, prior to that, the Riches family in the 1920s.

In 1951 Herbert L. Hersom sold his property to Streetsville Feed Mills Ltd. Aerial photography from 1954 shows a driveway and a cluster of buildings just north of where the subject property is located. These buildings were associated with Streetsville Feed Mills Ltd. but have since been demolished.



1954 Aerial photograph – the subject property remains vacant and surrounded by agricultural fields – there appears to be a cluster of buildings north of the subject property associated with Streetsville Feed Mills Ltd.

1962 to 2015 – Commercial Use (Auto Garage)

John Mostoway is listed in 1968 Voters Lists as the owner of a Service Station. He resided at 191 Glenview Drive in Mineola. Prior to this date he is listed as a mechanic. Mostoway owned the property from 1962 until 1985. The auto garage currently located on the property was likely built during this period and therefore probably dates from c. 1962 when he purchased the property. This is consistent with the materials and style of the building. The City of Mississauga has an online record of building permits for this property dating back to 1969. There is no building permit for the garage only later permits for minor site alterations including new signage. This confirms that the building was built before 1969.

John Mostoway sold the property in 1985. Subsequent owners include Johnny's Auto Centre, Miracle Auto Centre Ltd. and L.A. Auto. L.A. Auto, the last auto garage to operate on this property, closed in 2015 and the building has remained vacant since that time.



Auto garage located at 5235 Mississauga Road, probably built c. 1962. The original glazing is visible in this 2015 photo [Google]

Table 1: Summary of Chain of Title; 5235 Mississauga Road (Pt. West ½ Lot 2 Concession 4 WHS)

DATE	GRANTOR	GRANTEE
1834	Crown	John Butchar
1902	Canada Permanent & WCM Corp	James G. Templeton
1908	James G. Templeton & Edith H. Templeton, wife	Priscilla Beatty
1926	Edith H. Templeton etc (& Priscilla)	Charles. H. Riches
1933	Charles H. Riches et ux	William B. Hersom
1945	William B. Hersom	Herbert L. Hersom
1951	Herbert L. Hersom	Streetsville Feed Mills Ltd.
1962	Streetsville Feed Mills Ltd.	*John Mostoway
1970	John Mostoway et ux	John Mostoway & Winnifred Mostoway
1985	John Mostoway & Winnifred Mostoway	582057 Ontario Ltd.
1994	582057 Ontario Ltd.	Miracle Auto Centre Ltd.
1999	Miracle Auto Centre Ltd.	Ambrosoni Holdings Ltd.
2006	Ambrosoni Holdings Ltd.	2094993 Ontario Inc.
2011	2094993 Ontario Inc.	1839056 Ontario Inc.
2013	1839056 Ontario Inc.	2300437 Ontario Inc.
2018	2300437 Ontario Inc.	CURRENT OWNER

*The garage located on the subject property was built as a service station owned and operated by John Mostoway from 1962-1985.

6.0 HERITAGE VALUE

Mississauga Road

Mississauga Road is recognized as a significant cultural landscape within the City of Mississauga because it is the City's oldest north-south transportation route. The road follows the path of an aboriginal trail that lead from fishing grounds at the mouth of the Credit River to farms and hunting grounds located inland to the north. It follows high land on the west bank of the Credit River from Port Credit to Streetsville. These lands were originally reserved for the Mississaugas, but by 1847 they had relocated elsewhere and the land was re-distributed by the Crown and Mississauga Road was extended further north to Brampton.

As the settlements linked by Mississauga Road grew, the cultural landscape made up of villages and farmsteads evolved. In the 20th century, changes to this cultural landscape accelerated as urban boundaries expanded and rural areas were transformed by suburban development. Mississauga Road is now a major arterial road continuously lined with development. Some of the built and natural features associated with this early pioneer road remain. These features define the character of the Mississauga Scenic Route Cultural Landscape.

The subject property is indirectly linked to settlement along Mississauga Road and early industrial and agricultural activities associated with Streetsville and Barbertown, two early settlements on Mississauga Road. These industrial and agricultural activities occurred here due to proximity to early transportation routes, specifically the Credit River, Mississauga Road, and the Credit Valley Railway line.

The subject property contains an auto garage that was built c. 1962. It is directly associated with the impact of suburban development in this area that occurred after World War II. It is directly associated with commercial use of the property as an auto garage, a change connected with the increase in automobile ownership in the post-war period and residential development along this section of Mississauga Road on former agricultural land.



5235 Mississauga Road – aerial view

Mississauga Road Scenic Route Cultural Landscape

The chart below evaluates the subject property as a component of the Mississauga Road Scenic Route Cultural Landscape according to attributes identified in the City of Mississauga's *Cultural Landscape Inventory (January 2005)*:

CHL INVENTORY CRITERIA	5235 Mississauga Road CULTURAL HERITAGE VALUES
LANDSCAPE ENVIRONMENT	
Scenic & visual quality	DOES NOT CONTRIBUTE - The subject property fronts onto a portion of Mississauga Road that does not have scenic or visual quality because it is flat and featureless, has no mature trees, and has been heavily impacted by post-WW II suburban development.
Horticultural interest	DOES NOT CONTRIBUTE - The arborist report included as an Appendix of this report confirms that there are no mature or significant trees on the subject property.
Landscape design, type & technological interest	DOES NOT CONTRIBUTE - The subject property is located on a flat, featureless site backing onto undeveloped lands adjacent to the Canadian Pacific railway line (formerly Credit Valley Railway line).
HISTORICAL ASSOCIATIONS	
Illustrates a style, trend or pattern	DOES NOT CONTRIBUTE - The subject property contains an commercial auto garage that was built c. 1962
Illustrates an important phase in Mississauga's Social or Physical Development	DOES NOT CONTRIBUTE - The subject property is associated with post-WWII suburban development along Mississauga Road. This period does not contribute to defining the Mississauga Scenic Route Cultural Landscape as an early pioneer route with scenic and visual quality.
BUILT ENVIRONMENT	
Consistent scale of built features	NOT APPLICABLE - This section of Mississauga Road does not have a consistent scale of built features. The subject property contains a 1-storey concrete-block commercial building that was built c. 1962 as an auto garage. Adjacent properties on Mississauga Road include vacant railway lands to the north and a modern residential subdivision contained 1 to 2 -storey single-detached dwellings to the south. Properties opposite the subject property on Mississauga Road include a church with a large parking lot and a modern residential subdivision containing blocks of townhouses.
OTHER	
Historical and Archaeological Interest	DOES NOT CONTRIBUTE - The subject property is not likely to contain historical or archaeological features or resources because the ground has been disturbed by agricultural uses in the late 19 th century & early 20 th century and commercial use an auto garage since c. 1962.

6.1 EVALUATION ACCORDING TO ONT. REG. 09/06

The subject property contains a one-storey concrete block commercial building that was built c. 1962 as a commercial auto garage. This structure does not meet any criteria for Designation under Part IV of the Heritage Act. This analysis is based on provincially mandated criteria outlined in *Ontario Regulation 9/06*. The rationale is outlined below:

Compliance with Ontario Heritage Act, Ontario Regulation 9/06: Criteria for Determining Cultural Heritage Value or Interest

According to Subsection 1 (2) of Ontario Regulation 9/06, Criteria for Determining Cultural Heritage Value or Interest, a property may be designated under section 29 of the Act if it meets one or more of the following criteria:

1. The property has design value or physical value because it,
 - i. is a rare, unique, representative or early example of a style, type, expression, material or construction method,
 - ii. displays a high degree of craftsmanship or artistic merit, or
 - iii. demonstrates a high degree of technical or scientific achievement.

The subject property does not have significant design value because it contains a one-storey concrete-block commercial building that was built c. 1962 as a commercial auto garage. In its design and materials it is typical of small roadside service stations built throughout North America in the early 1960s but has been subject to later modifications including changes to doors and window, changes to exterior masonry cladding, installation of vinyl cladding on the underside of the car port roof, and installation of new signage on the building. It has been vacant for approximately 3 years and the roof has partially collapsed.

2. The property has historical value or associative value because it,
 - i. has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community,
 - ii. yields, or has the potential to yield, information that contributes to an understanding of a community or culture, or
 - iii. demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.

The subject property does not have significant historical or associative value because it is associated with post-World War II suburban development along Mississauga Road and does not yield information that contributes greatly to attributes associated with the Mississauga Scenic Route Cultural landscape, an early pioneer road that is primarily defined by its varied topography, natural scenery and historic associations with aboriginal and early settlement activities. It does not demonstrate or reflect the work or ideas of an architect, artist, builder, designer or theorist who is significant to the community because the designer and/or builder are unknown.

3. The property has contextual value because it,
 - i. is important in defining, maintaining or supporting the character of an area,
 - ii. is physically, functionally, visually or historically linked to its surroundings, or
 - iii. is a landmark.

The subject property is associated with post-World War II commercial uses on Mississauga Road that are associated with suburbanization and therefore does not contribute to the Mississauga Scenic Route Cultural Landscape and does not have significant physical, functional or historical links with the Mississauga Scenic Route Cultural Landscape, an early pioneer road that is primarily defined by its varied topography, natural scenery and historic associations with aboriginal and early settlement activities. It is a modest commercial building built c. 1962 as an auto garage and therefore is not a landmark.

7.0 PROPOSED DEVELOPMENT

See Appendix C: Drawings

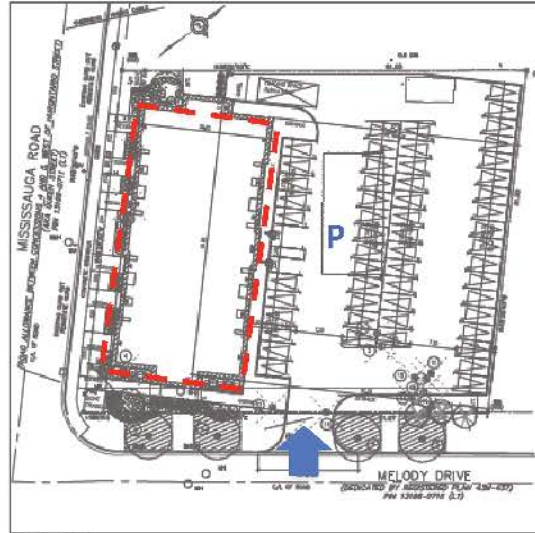
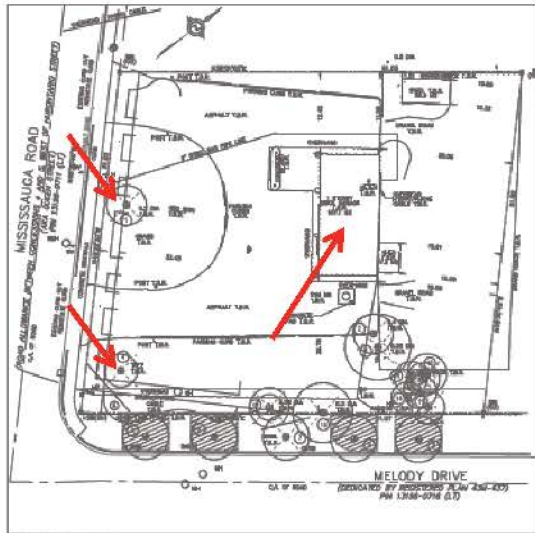
The proposed development requires demolition of the vacant 1-storey auto garage located in the centre of the lot to allow construction of a 2-storey mixed-used building containing commercial space on the ground floor and professional offices above. The property is currently zoned C5-3 (Motor Vehicle). The proposed development will require a slight change in use to C-1 (Convenience Commercial).

The proposed building has a flat roof with a height of 7.15 m. The main elevation is oriented towards Mississauga Road and is traditional in character and materials. The massing is symmetrical with a tripartite division of the 12-bay main elevation on Mississauga Road. The alternating bays 2-3-2-3-2 are primarily delineated by a change in cladding materials. The proposed cladding materials are brick & stone veneers. The ground floor has large glazed openings. Commercial signage is contained in a horizontal band above the ground floor openings. Windows on the upper floor have a traditional residential character with a 2 over 2 configuration.



Proposed development - Mississauga Road streetscape (provided by Hicks Design Studio)

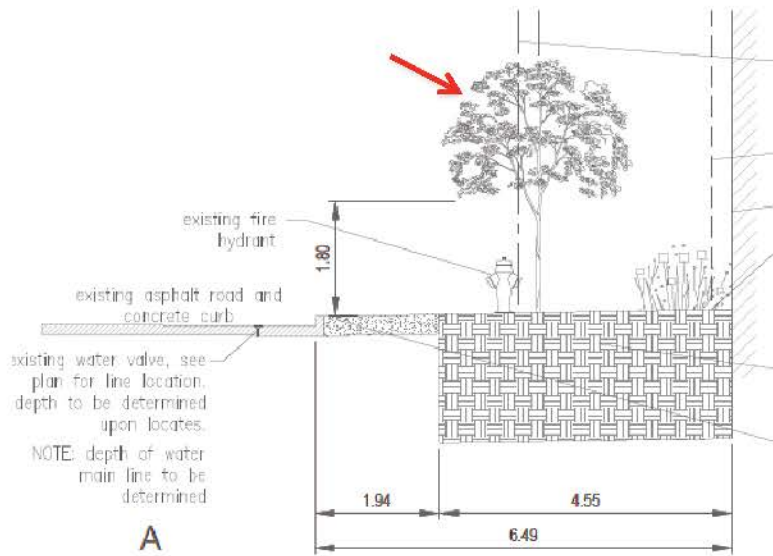
Lot coverage for the proposed development will be 26%. The total Gross Floor Area of the proposed development will be approximately 51% of the total area of the building lot. The new building will be situated close to Mississauga Road so that parking can be accommodated at the rear of the lot. There is currently a curved driveway with two entrances on Mississauga Road and no vehicular access from Melody Drive. The proposed development will relocate vehicular access to Melody Drive only and the two driveways from Mississauga Road will be removed.



Left: Existing Site Plan; 2 small trees, 2 driveway entrances from Mississauga Road, and a vacant auto garage will be removed

Right: Proposed Site Plan; the proposed mix-used development will be built out close to Mississauga Road with surface parking at the rear

The front of the proposed commercial building will have a minimal setback of 3.3 m from Mississauga Road. This area will be landscaped and there will be 6 paved footpaths from the sidewalk to the commercial units on the ground floor. The facade will be stepped back at the corners to accommodate additional landscaping. There will be trees planted along the Mississauga Road frontage. There will be a side entrance into the building from Melody Drive. Landscaping along the Melody Drive frontage includes new trees planted in the boulevard.



Proposed landscape elements:

- Foundation plantings & 9 new street trees to screen the building from Mississauga Road
- Landscape buffering at the corners & trees along the side elevation on Melody Drive

8.0 IMPACT ON HERITAGE VALUES

Mississauga Road Scenic Route (F-TC-4)

Mississauga Road is one of the oldest roads in Mississauga. Its alignment varies from being part of the normal road grid in the north to a curvilinear alignment in the south following the top of bank of the Credit River. The scenic quality of the road is notable because it traverses a variety of topography and varying land use from old established residential neighbourhoods to new industrial and commercial areas. From Streetsville south the boulevards and adjacent landscapes are home to some of the oldest and most spectacular trees in the City. It is acknowledged as an important cultural landscape because of its role as a pioneer road and its scenic interest and quality.

The table below provides an analysis of potential impacts of the proposed development to heritage values associated with the Mississauga Road Scenic Route (F-TC-4):

LANDSCAPE ENVIRONMENT	
Scenic and visual quality	<p>NO IMPACT</p> <ul style="list-style-type: none"> The subject property currently does not have scenic or visual quality and is adjacent to undeveloped railway lands The subject property is located in an area where Mississauga Road transitions from residential to commercial as it enters the commercial core of Streetsville The proposed development is compatible with design guidelines for new construction in Streetsville
Horticultural Interest	<p>NO IMPACT</p> <ul style="list-style-type: none"> The Arborist's Report included in Appendix D of this report indicates that the property does not contain horticultural interest
Landscape design	<p>MINOR IMPACTS</p> <ul style="list-style-type: none"> The proposed development includes limited space for landscape design elements on Mississauga Road Two small trees will be removed and an area that is currently open space containing paving and lawns will be built upon
BUILT ENVIRONMENT	
Consistent scale of built features	<p>NO IMPACT</p> <ul style="list-style-type: none"> The proposed mixed-use structure is 2-storeys in height and is consistent with building heights in this area The subject property is located in an area where Mississauga Road transitions from residential to commercial as it enters the commercial core of Streetsville. The scale of built features in this area varies and includes; blocks of townhouses, a place of Worship, a gas station, vacant railway lands, and single-detached residential housing. All of this development is post-war development.

HISTORICAL ASSOCIATION	
Illustrates style, trend or pattern	NO IMPACT <ul style="list-style-type: none"> The subject property does not have historical associations that illustrate a significant style, trend or pattern
Illustrates important phase in Mississauga's social or physical development	<ul style="list-style-type: none"> The subject property illustrates post-war commercial development on Mississauga Road on the outskirts of Streetsville. This has not been identified as an important or particularly valued phase in Mississauga's social or physical development.
OTHER	
Historical or archaeological interest	NO IMPACT <ul style="list-style-type: none"> The subject property is unlikely to have historical or archaeological potential due to earlier agricultural and industrial uses.

The table below provides an analysis of potential impacts of the proposed development using criteria from the *Ontario Heritage Toolkit* as required in the *City of Mississauga's Cultural Landscape Heritage Impact Assessment Terms of Reference*:

POTENTIAL NEGATIVE IMPACT	ANALYSIS
Destruction of any, or part of any, significant heritage attributes or features	NO IMPACT <ul style="list-style-type: none"> The existing c. 1962 auto-garage and two small trees that will be removed are not heritage attributes or features of the cultural heritage landscape
Alteration that is not sympathetic, or is incompatible, with the historic fabric and appearance	NO APPLICABLE <ul style="list-style-type: none"> No historic fabric will be altered
Isolation of a heritage attribute from its surrounding environment, context or a significant relationship	NOT APPLICABLE <ul style="list-style-type: none"> No heritage attributes have been identified on this property
A change in land use where the change in use that negates the property's cultural heritage value	NO IMPACT <ul style="list-style-type: none"> The existing use is commercial
Removal of natural heritage features, including trees	NO IMPACT <ul style="list-style-type: none"> No natural heritage features will be removed
Shadows created that alter the appearance of a heritage attribute or change the viability of an associated natural feature, or	NO IMPACT <ul style="list-style-type: none"> The proposed development is 2 storeys in height and will not cast negative shadow impacts

plantings, such as a garden	
Direct or indirect obstruction of significant views or vistas within, from, or of built and natural features	<p>NO IMPACT</p> <ul style="list-style-type: none"> The subject property does not have significant views or vistas that contribute to the cultural heritage landscape
Land disturbances such as change in grade that alter soils, and drainage patterns that adversely affect cultural heritage resources	<p>NO IMPACT</p> <ul style="list-style-type: none"> The proposed development does not require changes in grade and drainage from paved parking surfaces at the rear will not impact the cultural heritage landscape
Removal of an existing 1-storey auto garage	<p>NO IMPACT</p> <ul style="list-style-type: none"> Based on an evaluation using criteria under the Ontario Heritage Act (Ontario Regulation 09/06), this building does not have significant cultural heritage value
Construction of the proposed 2-storey commercial building	<p>MINOR IMPACT</p> <ul style="list-style-type: none"> The front set-back will be reduced to 3.3 m similar to front set-backs recommended for commercial buildings in Streetsville Village

9.0 MITIGATION MEASURES

Re: Demolition of the Existing Dwelling

Based on an evaluation according to *Ontario Regulation 09/06*, this property does not meet any criteria for Designation under Part IV of the Ontario Heritage Act.

This building does not contribute to cultural heritage values associate with the Mississauga Scenic Route Cultural Landscape.

RECCOMENDATION: NO FURTHER MITIGATION IS REQUIRED.

Re: Proposed Development

There are no specific policies related to new construction within the Mississauga Scenic Route Cultural Landscape.

The subject property is located in a section of Mississauga Road that does not have scenic or visual quality, does not have horticultural interest, and has been heavily impacted by 20th century development.

The urban character of the proposed development is appropriate for this location, due to its proximity to the commercial core of Streetsville to the north. The design is consistent with *Design Guidelines* for new development in the commercial core of Streetsville. It is noted that the following design measures have been employed:

- Symmetrical massing, broken up into bays that have a residential scale
- Two-storey height that is compatible with adjacent residential, commercial and institutional buildings on Mississauga Road
- Use of traditional and restrained design elements such as traditional brick and stone cladding with and multi-paned windows on the upper floors that have a residential scale and character
- 3.5 m set-back from Mississauga Road that is appropriate for a commercial building, with landscaping and footpaths on Mississauga Road and parking and vehicular access located at the rear

The proposal includes provision of adequate parking at the rear that will not be visible from Mississauga Road. In order to achieve this the front setback has been reduced to 3.3 m. Minor impacts have been successfully mitigated through the provision of new trees along both street frontages. The main elevation on Mississauga Road is stepped back at the corners so that additional landscape elements can be introduced at these locations. This provides enhanced visually buffering and provides a transition that is consistent with the character of residential properties to the south.

The proposed landscape elements will enhance a property that currently has no horticultural interest.

RECCOMENDATION: NO FURTHER MITIGATION IS REQUIRED.

10.0 CONCLUSIONS & RECOMMENDATIONS

The subject property contains a one-storey concrete-block commercial garage that does not meet any criteria for Designation under the *Ontario Heritage Act*. This property is currently not contributing to the Cultural Landscape of the Mississauga Road Scenic Route.

This property is zoned for commercial use and is adjacent to undeveloped railway lands. There is a gas station on Mississauga Road just north of the railway line. The proposed development will introduce amenities and diverse housing into this area. The compact form and traditional brick cladding is considered appropriate for this transitional zone between the modern suburban housing to the south and the historic commercial core to the north.

11.0 QUALIFICATIONS OF THE AUTHOR

The author of this report is a member in good standing of the Canadian Association of Heritage Professionals. Formal education includes a Master of Arts in Architectural History from the University of Toronto and a diploma in Heritage Conservation from the Willowbank School of Restoration Arts. Professional experience includes an internship at the Ontario Heritage Trust, three years as Architectural Historian and Conservation Specialist at Taylor Hazell Architects in Toronto, and 7 years in private practice in Ontario as a heritage consultant. Other relevant experience includes teaching art history at the University of Toronto and McMaster University and teaching Research Methods and Conservation Planning at the Willowbank School for Restoration Arts in Queenston. In addition to numerous heritage reports, the author has published work in academic journals such as the *Journal of the Society of Architectural Historians* and the *Canadian Historical Review*.

12.0 BIBLIOGRAPHY

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http://www5.mississauga.ca/pdfs/Cultural_Landscape_Inventory_Jan05.pdf

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 Accessed online 15 Oct 2018 http://www7.mississauga.ca/Departments/Rec/celebration-square/culture_website/cultureplanning/resources/CulturalLandscapeHIA_TermsOfRef_2016.pdf

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http://www.mtc.gov.on.ca/en/publications/Heritage_Tool_Kit_Heritage_PPS_infoSheet.pdf

APPENDIX A: SITE PHOTOS (5235 Mississauga Road)

CONTEXT



View from Mississauga Road



Vacant land on the east side of Mississauga Road adjacent to the subject property



View of Mississauga Road from the subject property



View of Mississauga Road from the subject property



Mississauga Road to the south of the subject property



Mississauga Road – looking north (subject property visible on the right)



Melody Drive – looking east (subject property visible on left)



Mississauga Road – development on the west side of Mississauga Road opposite the subject property



Chain link fence along side property line on Melody Court



View form Mississauga Road



Vacant auto garage



Textured concrete block cladding



Metal posts set in concrete support the overhanging roof – vinyl cladding on soffit is not original – smooth red brick cladding – windows covered with plywood



View of the north and front elevations



View of the north side elevation – evidence of vandalism



The interior was not accessible due to poor conditions – evidence of vandalism



Lean-to addition at the rear with vinyl cladding – evidence of vandalism



Access to storm drain located on the property



Abandoned shopping cart on the property



Tall weeds behind the subject property



Industrial storage tanks located behind the subject property

No. of Instrument	Instrument	Its Date	Date of Reinscription	GRANTOR	GRANTEE	Quantity of Land	Consideration or Amount of Mortgage	REMARKS
	PATENT	31 JAN 1834		THE CROWN	W ^{1/2} Lot "2" JOHN BUTCHAR	100 AC.		
10731	B.S.	4 FEB 1834	10 MAY 1834	JOHN BUTCHART	JOHN EMBLETON	1/4 .2 .21P.	£20.	
11863	"	30 MAR 1835	27 JUN 1835	JOHN EMBLETON ETUX	WILLIAM RINTOUL	"	£62.10/	
12603	"	14 JAN 1836	3 MAY 1836	JOHN BUTCHART	WILLIAM RINTOUL	PT.	£50.	
13090	"	5 JUL 1836	28 JUL 1836	JOHN BUTCHART	WILLIAM RINTOUL	5A.16P.	£40.12.6.	
13198	"	9 AUG 1836	8 SEP 1836	JOHN BATTY ETAL.	WILLIAM RINTOUL	1 ROOD	£5.	
13201	"	13 JAN 1836	9 SEP 1836	JOHN BUTCHART	JAMES GRAHAM	6A.2 .36P.	£50.	
15508	"	28 SEP 1838	3 OCT 1838	JAMES GRAHAM ETUX	WILLIAM RINTOUL	"	£70.	
1872 2025	"	30 OCT 1842	11 OCT 1842	JOHN BUTCHART ETUX	DANIEL SHELL	PT	£103.	
21239 2712	B.S.	20 MAY 1843	7 JUL 1843	ROBERT K. BEATTY	JOHN BEATTY	6 1/2 AC.	£25.	
23793	M.	24 DEC 1844	28 DEC 1844	WILLIAM L. BOX	REV. HENRY SCADDING	PT.	£250.	Red
24051	B.S.	13 OCT 1845	10 FEB 1845	DANIEL SHELL ETUX	WILLIAM L. BOX	"	£200.	
24282	"	21 JUN 1844	22 MAR 1845	JOHN BUTCHART	JOHN BEATTY	9A.1R.13P.	£100.	
24466	M.	11 APR 1845	16 APR 1845	WILLIAM L. BOX	JOHN HOWCATT	PT	£10.	
25271	B.S.	17 SEP 1845	19 SEP 1845	WILLIAM L. BOX	JOHN HOWCATT	"	£650.	
26022	"	21 JAN 1846	27 JAN 1846	JOHN HOWCATT ETUX	RICHARD CUTHBERT	"	£225.	
26887	D.M.	25 MAR 1846	6 APR 1846	REV. HENRY SCADDING	WILLIAM L. BOX	"		23793 Red
26950	B.S.	8 SEP 1841	10 JUN 1846	GEORGE MOFFATT	RICHARD CUTHBERT	"	£125.	
23793	M.	24 DEC 1844	28 DEC 1844	WILLIAM L. BOX	REV. H. SCADDING	"	£150.	
24466	"	11 APR 1845	16 APR 1845	WILLIAM L. BOX	JOHN HOWCATT	"	£500.	
26022	B.S.	21 JAN 1846	27 JAN 1846	JOHN HOWCATT ETUX	RICHARD CUTHBERT	30 AC.	£225.	
26887	D.M.	25 MAR 1846	6 APR 1846	REV. HENRY SCADDING	WILLIAM L. BOX	PTS.		
26950	B.S.	8 SEP 1841	10 JUN 1846	GEORGE MOFFATT	RICHARD CUTHBERT	"	£125.	
40458	"	21 JAN 1835	7 MAR 1851	JOHN BUTCHART ETUX	CATHERINE SMITH	31A.2R.	£160.	
369	"	11 MAY 1837	17 FEB 1851	JOHN BUTCHART	JOHN BEATTY ET AL	13 ACRES	£39.	
8547	M.	2 JUL 1860	30 JUL 1860	HELEN BEATTY	CHRISTIANA RINTOUL ETAL	PTS.	£600.	Red
8350	B.S.	"	"	CHRISTIAN RINTOUL ETUX	HELEN BEATTY	"	£750.	
13376	WILL	20 MAR 1862	7 APR 1865	CATHERINE SMITH				
	PATENT	20 APR 1837		THE CROWN	JOHN BUTCHART	100 ACRES.		
15391B.S.	"	11 MAY 1837	29 AUG 1838	JOHN BUTCHART	JOHN CRUMSIE	19 19/100 AC.	£04.5/	
15393	"	"	30 "	JOHN BUTCHART	ROBERT YOUNG	21 1/5 "	£94.	

LOT 02 CONCESSION 64 W.H.S.

No. of INSTRUMENT	INSTRUMENT	Its DATE	DATE OF REGISTRATION	GRANTOR	GRANTEE	QUANTITY OF LAND	Consideration or Amount of Mortgage	REMARKS
15752	M. 14	JAN 1836	FEB 1839	JOHN BUTCHART	ROBERT YOUNG	PT	£100.	
15807	M. 19	DEC 1838	FEB 1839	ROBERT YOUNG ET UX	GEORGE MOFFATT	PT.	£366.9.9.	
15895B	S. 11	MAY 1837	MAR 1839	JOHN BUTCHART	WILLIAM FOSTER	9 95/100 AC	£38.11/	
18262	REL. 5	MAR 1841	22 MAR 1841	ROBERT YOUNG	GEORGE MOFFATT	PT	£-5/	
19105B	S. 8	SEP 1841	14 DEC 1841	GEORGE MOFFATT	WILLIAM RINTOUL	10 AC.	£-75	
20205	"	OCT 1842	11 OCT 1842	JOHN BUTCHART ET UX	DANIEL SHELL	PT	£103.	
21297	"	MAR 1839	24 JUL 1843	WILLIAM FORSTER	CHRISTOPHER ROW	9 95/100 AC.	£40	
21299	"	12 JUL 1843	24 " "	CHRISTOPHER ROW ET UX	RICHARD CUTHBERT	"	£60.	
21755	"	AUG 1843	16 NOV 1843	ERASTUS D. HILL ET UX	WILLIAM L. BOX	"	£40.	
22460	"	11 MAY 1837	12 APR 1844	JOHN BUTCHART	JOHN LENNOX	"	£30.8/	
23407	"	9 JUL 1844	16 OCT 1844	JOHN CRUMBIE ET UX	RICHARD CUTHBERT	10 AC.	£50.	
23793	M. 24	DEC 1844	20 DEC 1844	WILLIAM L. BOX	REV. HENRY SCADDING	PTS	£50.	Full
24051B	S. 13	OCT 1842	10 FEB 1845	DANIEL SHELL ET UX	WILLIAM L. BOX	"	£200.	
24282	"	21 JUN 1844	22 MAR 1845	JOHN BUTCHART	JOHN BEATY	9 A/R-13 P.	£100.	
24465	M. 11	APR 1845	16 APR 1845	WILLIAM L. BOX	JOHN HOWCATT	PT.	£500.	
25271B	S. 17	SEP 1846	19 SEP 1845	WILLIAM L. BOX	JOHN HOWCATT	"	£650.	
26022	"	21 JAN 1846	27 JAN 1846	JOHN HOWCATT ET UX	RICHARD CUTHBERT	"	£225.	
26670	M. 2	MAR 1846	6 APR 1846	REV. HENRY SCADDING	WILLIAM L. BOX	"	£250.	23793. Full
26950B	S. 8	SEP 1841	10 JUN 1846	GEORGE MOFFATT	RICHARD CUTHBERT	21 1/5 AC.	£125.	
40455	"	19 OCT 1841	7 MAY 1851	JOHN CRUMBIE ET UX	CATHERIN SMITH	10 AC.	£43.	
40702	BOND 19	MAY 1851	29 " "	JOHN CRUMBIE	CATHERIN SMITH	"	£14.	
4062	S. 5	20 FEB 1857	25 JUN 1857	DAVID LENNOX	RICHARD CUTHBERT	9 95/100 "	£120.	
6504	M. 28	MAR 1859	29 MAR 1859	RICHARD CUTHBERT	THOMAS G. SHAUGHNESSY	PT	£4145.116	& O.L. Full
9300	S. 11	2 JUL 1861	7 JUL 1861	THOMAS G. SHAUGHNESSY	RICHARD CUTHBERT	"	£664.	Full
9309	M. 15	JUN 1861	"	RICHARD CUTHBERT	GEORGE THOMPSON	"	£1200.	
11618A	M. 20	SEP 1865	21 OCT 1865	GEORGE THOMPSON	JOHN L. BLAKIE ET AL	"	£1200.	
11884	M. 15	JAN 1864	21 JAN 1864	RICHARD CUTHBERT ET UX	JAMES BEATTY	"	£500.	
13710	CHAN 28	JUN 1864	12 SEP 1865	JOHN L. BLAKIE ET AL (P)	RICHARD CUTHBERT ET AL (D)	"		

No. of Instrument	Instrument	Its Date	Date of Registration	GRANTOR	GRANTEE	Consideration or Amount of Mortgage	REMARKS
168	Will	28 Sep 1861	21 Dec 1868	Helen Beatty	William Beatty et al		part
416	D.M.	26 Nov 1869	22 Dec 1869	Christian Rintoul et al	Helen Beatty		Discharging No. 8347 Full
733	B. & S.	16 Jun 1870	1 Mar 1872	W. Beatty	Robert K. Beatty	£2800.00	part
778	B. & S.	1 Apr 1871	10 May 1872	John L. Blakie et al	James Anderson	3800.00	part and O.L.

No. of INSTRUMENT	INSTRUMENT	DATE	DATE OF REGISTRATION	GRANTOR	GRANTEE	QUANTITY OF LAND	Consideration or Amount of Mortgage	REMARKS
979	MORTGAGE Not Recd	1 Apr 1874	10 May 1874	James Anderson et ux	George Thompson	2800.00		<i>Full</i>
1248	B. & S.	21 Jan 1875	16 Sep 1873	John Butchart	William Douglas	2100.	12 ac. 3r. 8p.	
1452	B. & S.	22 May 1874	29 May 1874	Matthew Barclay et ux	R. K. Beatty	\$2000.00	part.	
1497	MORTGAGE Not Recd	2 Oct 1874	7 Oct 1874	Robert K. Beatty et ux	Matthew Barclay	1400.00	part and O.L.	<i>Full</i>
1664	B. & S.	3 Mar 1875	15 May 1875	Janet Douglas et al	Wm. Barber et al	1000.00	12 ac. 3r. 8p.	
1665	B. & S.	4 May 1875	15 May 1875	Wm. Barber et al	John Douglas	402.00	5 ac. 0r. 24p.	
2148	D. M.	15 Mar 1877	20 Mar 1877	George Thompson	James Anderson		Discharging No. 779	<i>Full</i>
2150	MORTGAGE Not Recd	1 Nov 1876	22 Mar 1877	James Anderson	Mary Crombie	1000.00	part 90 ac.	<i>Full</i>
2642	B. & S.	1 May 1878	22 Jan 1879	James Anderson	Thomas Anderson	1.00	1/2	
2643	MORTGAGE Not Recd	1 May 1878	22 Jan 1879	Thomas Anderson	George Anderson	2000.00	part and O.L.	
3167	D. M.	22 Feb 1880	20 Oct 1880	Hbr. Gunningham	Robert K. Beatty		Discharging No. 1497	<i>Full</i>
3244	B. & S.	14 Jan 1881	18 Jan 1881	R. K. Beatty	George Stephens et al	87.00	1.47 ac. of W ²	
3270	E. & S.	14 Jan 1881	2 Feb 1881	R. K. Beatty et al	George Stephens et al	285.00	1.71 ac. of W ²	
3461	B. & S.	19 Oct 1881	3 Nov 1881	George Stephen et al	Credit Valley R.R.	1.00	1.71 ac. of W ² & 1.47 ac.	
3595	B. & S.	28 Jan 1882	9 Mar 1882	Robert Barber et al	Credit Valley R.R.	600.00	part and O.L.	
3769	Will	25 Sep 1880	23 Nov 1882	John Douglas	Eliza Jane Douglas et al		5 ac. 24p.	
3932	Agree	28 Feb 1883	16 Jun 1883	T. S. Anderson	W. J. Fenton & Co.		112 ac. and O.L. Agreement to sell	
5015	B. & S.	31 Dec 1883	16 Feb 1884	George Anderson et ux	Thomas Anderson	2046.66	part and O.L.	
5016	E. & S.	1 Jan 1884	16 Feb 1884	Thomas Anderson et ux	George Wilson Banks	7600.00	part and O.L.	
5017	MORTGAGE Not Recd	15 Feb 1884	16 Feb 1884	George Wilson Banks	James MacLennan et al	3620.00	part and O.L.	<i>Full</i>
5021	D. M.	26 Jan 1884	22 Feb 1884	Mary Crombie	James Anderson		Discharging No. 2150	<i>Full</i>
5292	MORTGAGE Not Recd	24 Jan 1885	27 Feb 1885	George Wilson Banks	Mary S. Smith	1400.00	part and O.L.	<i>Full</i>
5883	D. M.	9 Dec 1886	12 Dec 1886	Margaret S. Smith	George W. Banks		Discharging No. 5292	<i>Full</i>
5886	MORTGAGE Not Recd	26 Nov 1886	13 Dec 1886	George W. Banks et al	Robert T. Goddard	5500.00	part and O.L.	
5895	D. M.	15 Dec 1886	17 Dec 1886	James MacLennan et al	G. W. Banks		Discharging No. 5017	<i>Full</i>
5908	ACT OF MORTGAGE Not Recd	29 Dec 1886	30 Dec 1886	Arthur F. Banks	Canada Permanent L. & S. Co.	1.00	110 ac. and O.L.	
5909	B. & S.	26 Nov 1886	30 Dec 1886	George W. Banks	William Malin	3000.00	110 ac. and O.L.	
5910	MORTGAGE Not Recd	14 Dec 1886	30 Dec 1886	William Malin Jr. et ux	Arthur F. Banks	1500.00	110.18 ac. and O.L.	
6312	B. & S.	31 May 1887	22 Dec 1887	Canadian Bank of Commerce et al	Streetville Woolien Company	27500.00	part and O.L.	
6733	ACT OF MORTGAGE Not Recd	20 Mar 1888	28 Jan 1889	Canada Permanent L. & S. Co.	Arthur F. Banks	1.00	110.18 ac. and O.L.	

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NO. OF INSTRUMENT	INSTRUMENT	ISS DTS	DATE OF REGISTRATION	GRANTOR	GRANTEE	QUANTITY OF LAND	CONSIDERATION W/AMOUNT OF MORTGAGE	REMARKS
6734	Part of Mtd. Not Recorded in Full	31 Dec 1888	28 Jan 1889	Arthur F. Banks	Elizabeth F. Lawrence		1500.00	
6908	B.S.	31 Jul 1889	6 Aug 1889	William Nalin Jr. et ux	George W. Banks		800.00	part and O.L.
7217	Cert.	6 Jun 1890	21 Jun 1890	Thomas Lonz (Liq.)				part and O.L.
7218	B.S.	6 Jun 1890	21 Jun 1890	Thomas Lonz (Liq.)	Wm. Thos. Kirby		57000.00	part and O.L.
7219	B.S.	6 Jun 1890	21 Jun 1890	Wm. Thos. Kirby et ux	John J. Long		\$38000.00	part and O.L.
7290	B.S.	30 Sep 1890	6 Oct 1890	E. R. C. Clarkson et al	Thos. K. Beatty		1.00	Parts and O.L.
7334	B.S.	24 Sep 1890	13 Nov 1890	Wm. T. Kirby et ux et al	Streetsville Woollen Mfg. Co.		1.00	part and O.L.
7469	B.S.	12 Feb 1891	20 Feb 1891	George W. Banks	Greenhow Banks		700.00	110.18 ac. and O.L.
7696	B.S.	19 Aug 1891	28 Oct 1891	Thos. K. Beatty et ux	John G. Beatty		1.00	parts and O.L.
7697	Mortgage Not Recorded in Full	1 Oct 1891	28 Oct 1891	John G. Beatty et al	Heron General Trust Co.		513.94	parts and O.L. <i>paid</i>
7865	F.O.F.	6 Apr 1892	7 Apr 1892	Robt. T. Gooderham (P)	George Banks et al (D)			parts and O.L.
8064	B.S.	2 Jan 1893	23 Jan 1893	Robt. T. Gooderham et al	Peter Smith		1200.00	&C. parts and O.L.
8307	Mortgage Not Recorded in Full	20 Nov 1893	21 Nov 1893	John G. Beatty	Henry Barber		668.50	parts and O.L. <i>paid</i>
8552	B.S.	1 Sep 1893	13 Sep 1894	Wm. Barber et al	Mary Haggerty		1000.00	12ac. 3r. 8p.
8606	B.S.	29 Aug 1894	10 Nov 1894	Thos. K. Beatty et ux	John G. Beatty		2000.00	Undivided $\frac{1}{2}$ interest.
8917	B.S.	22 Jul 1895	27 Sep 1895	Mary Haggerty	Joseph Cobb		1.00	&C. 12ac 3r. 8p.
8980	Mortgage Not Recorded in Full	28 Nov 1895	29 Nov 1895	John G. Beatty et al	Canada Permanent L.S. Co.		2500.00	paid
9147	D.M. Mortgage Not Recorded in Full	7 Feb 1896	28 May 1896	Canada Permanent L.S. Co.	John G. Beatty et al			Discharging No. 8920 <i>paid</i>
9148	Mortgage Not Recorded in Full	31 Jan 1896	28 May 1896	John G. Beatty et al	Canada Permanent L.S. Co.		4000.00	parts
9149	Mortgage Not Recorded in Full	Apr 1896	28 May 1896	John G. Beatty et al	Canada Permanent L.S. Co.		2400.00	parts
9658	Part of Mtd. Not Recorded in Full	4 Jun 1896	15 Apr 1898	Susan Beatty	Canada Permanent L.S. Co.		1.00	Granting 1st priority over her interest. <i>paid</i>
9667	Part of Mtd. Not Recorded in Full	4 Jun 1896	15 Apr 1898	Mary Spence	Canada Permanent L.S. Co.		1.00	Granting 1st priority over her interest. <i>paid</i>
10219	Agreet. Sale & Purchase	12 Sep 1899	10 May 1900	Streetsville Woollen M. Co. Ltd.	John Graydon & Fred. A. Clarry		37500.00	71.91 ac. and O.L. except parts sold. &c.
10543	Asst. of Agreet. for Sale	18 Jun 1901	20 Jun 1901	Frederick A. Clarry	Harriet Clarry			88 ac.
10580	B.S.	27 Aug 1901	29 Aug 1901	Streetsville Woollen Manufacturing Co. Ltd.	Margaret Brodie		28000.00	71.90 ac. and O.L. except parts sold. &c.
10581	Mortgage Not Recorded in Full	27 Aug 1901	29 Aug 1901	Margaret H. Brodie et mar	Streetsville Woollen Mfg. Co.		27000.00	71.90 ac. and O.L. with exceptions etc.

No. of Instrument	Instrument	Its Date	Date of Registration	Grantor	Grantee	Quantity of Land	Consideration or Amount of Mortgage	Remarks
10970	ACT OF PARLIAM. NOT REGISTRATION	2 Jul 1896	17 Dec 1902	Toronto General Trust Co.	Canada Permanent L. & S. Co.	538.34		Parts and O.L.
10978	D.M.	29 Dec 1902	31 Dec 1902	Canada Permanent L. & S. Co.	John G. Beatty			Discharging No. 7697 (add)
10979	D.M.	-----190-	31 Dec 1902	Henry Barber	John G. Beatty			Discharging No. 8307 (add)
10996	Q.C.	20 Jan 1903	21 Jan 1903	Margaret H. Brodie	George W. H. Edmison	5.00		71.91 ac. and O.L.
11010	Cert.	29 Jan 1903	31 Jan 1903	Robert A. S. Gray trading as R. A. S. Gray & Co. (P.)	Margaret Brodie (D)			Commencing action to enforce Mechanics Lien. & O.L.
11096	B. & S.	1 Dec 1902	21 Apr 1903	Canada Permanent & W.C.M. Corp.	James G. Templston	3100.00		part.
11097	B. & S.	2 Dec 1902	21 Apr 1903	James G. Templston et ux	Duncan W. Reid	3500.00	& C.	Part and O.L. <i>Sketch Attached</i>

No. of Instrument	Instrument	Its Date	Date of Registration	Grantor	Grantee	Quantity of Land	Consideration or Amount of Mortgage	Remarks
11482	L.L.	26 Apr 1904	28 Apr 1904	William J. McGuire	National Woollen Mills Ltd.	71.90	1631.36	pt & O.L. for work done services performed & Materials supplied in supplying a sprinkle equipment for fire protection etc.
11546	Cert.	21 Jun 1904	22 Jun 1904	William J. McGuire (P)	National Woollen Mills Ltd. (D)	78.90	16000.00	pt & O.L. except certain parts reserved as therein mentioned subject to a mortgage for \$24000.00 & interest and subject also to the claims that may exist to the lands or chattels affixed thereto on the part of one Clarry.
11589	Grant	26 May 1903	28 July 1904	Ernest W. Pratt et ux	The Pratt Mfg. Co. Ltd.	71.90	16000.00	subject to mfg. & other etc.
11776	Grant	22 May 1903	16 Jan 1905	The Pratt Mfg. Co. Ltd.	The National Woollen Mills Ltd.	71.90	74000.00	pt & O.L. excepting pts of Barber Road apt of right of way of C.V.L. Coy. & a certain burying ground.
11777	Q.C.	30 Feb 1903	16 Jan 1905	Fred. Adolphus Clarry & Harriet Clarry his wife	Ernest W. Pratt	71.90		L. & the premises pt & O.L. & of in to or out of goods and chattels.
11908	M.	16 Feb 1905	18 Feb 1905	National woollen Mills Ltd.	Peter Ryan	71.90		L. & the premises pt & O.L. given to further secure the payment of certain promissory notes to the amount of \$32919.16 being moneys advanced etc not registered in full
12111	Grant	12 Feb 1903	15 Dec 1905	George W.H. Edmison et ux	Ernest W. Pratt	71.90	7000.00	pt & O.L. except certain portions.
12234	Grant	17 Mar 1906	31 Mar 1906	Streetville Woollen Mfg Co. Ltd.	John Dick Ltd.	71.99	172000.00	pt & O.L. with above exceptions etc. together with machinery etc.
12642	Grant	1 Apr 1907	15 Apr 1907	John Dick Ltd.	Oriental Textiles Ltd.	71.91		pt & O.L. 1. etc pt & O.L.
12791	Cert. H.C.4 J. D. Lin Pens	7 Oct 1907	7 Oct 1907	Wm. J. McGuire (P) Peter Ryan (P)	National Woollen Mills Ltd. by order of Revivor dated 4 Jun 1907 are (D)	71.91		action dismissed without costs.

pic see receipts from Beatty...

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No. of INSTRUMENT	INSTRUMENT	Its DATE	DATE OF REGISTRATION	GRANTOR	GRANTEE	QUANTITY OF LAND	Consideration or Amount of Mortgage	REMARKS
13277	Grant	27Jan1908	23Dec1908	Joseph Cobb & Mary His wife	Austin A. Zender	12.3.8.	1.	rather good and valuable consideration, known as lot 7&8 of 2 Con. 4. N.H.S.
13295	Grant	3Dec1908	16Jan1909	James G. Templeton Edith H. Templeton his wife	Friscoilla Beatty Edith H. Templeton	pts 12.2w other pt	1.	pts W ² with right of way etc
13674	Grant	10Mar1909	30Oct1909	John G. Beatty et al	Joseph Drennan	pt	1800.00	pt
13962	Grant	21Feb1910	3Ma 1910	Oriental Textile Ltd.	Rueben Millichamp	pt 71.91		pt & O.L.
13963	Grant	15Apr1910	3May1910	Rueben W. Millichamp	et ux Oriental Textiles Ltd.	71.91		pt & O.L.
14658	Grant	12Sep1911	21Oct1911	Peter Smith	Roman Catholic Episco'l Corporation	4.89	739.50	for cemetery
16129	Grant	5Nov1913	26Nov1913	Friscoilla Beatty et al	Ontario & Quebec Rly Co.	pt 52/100	208.00	pts
16675	Release	30May1914	17Sep1914	Oriental Textiles Ltd.	John Dick Ltd.	71.91	1.	pt & O.L.
16713	Grant	15Sep1914	7 Oct1914	John Dick Ltd.	Ontario & Quebec Rly Co.	pt	200.00	pt & O.L.
16776	Pt. D.M.	9Sep1914	18Nov1914	Canada Permt Mtge Cpn	John G. Beatty et al	pt	1.	pt lands in 9148
16777	Pt D.M.	9Sep1914	18Nov1914	Canada Permt. Mtge Cpn.	John G. Beatty et al	pt	1.	pt lands in 9149
16778	Pt D.M.	18Sep1914	18Nov1914	Susan Beatty	John G. Beatty	pt	1.	pt lands in 8805.
16849	Grant	10Dec1914	13Jun1915	John Dick Ltd.	John A. Campbell	pt	1450.00	pts & o.l.
16984	Grant	26Mar1915	27Mar1915	Peter Smith	Hubert Page	110.18	1.00	pt & o.l.
16985	M	26Mar1915	27Mar1915	Hubert Page	Hubert Page	110.18	6300.00	pt & o.l.
A.15	Plan	1Apr1915	5May1915	Hubert Page	Subdivision of part of			pt & o.l. NOV 10 1935
17201	D.M.		21Jul1915	Susan Beatty	Friscoilla Beatty et al	402/1000	1	pt of said lot 2
17202	Grant	May1915	21Jul1915	Friscoilla Beatty et al	Frank Reid	402/1000	500.00	pt of said lot 2
17557	Grant	7Jul1915	29Mar1916	D'Enison W. Reid et ux	J.A. Campbell	pt 86/100	250.00	pt
17830	Grant	17Oct1916	25Oct1916	Robert Douglas	Credit River Works Ltd.	1089	44.50	pt
17832	Grant	17Oct1916	25Oct1916	Edith H. Templeton et al	Credit River Works Ltd.	.421	189.90	pt
17870	Grant	4Apr1916	Dec1916	John A. Campbell	Credit River Works	(.86 & 71.90)	52000.00	pt & O.L.
18014	Order	23Feb1917	7Mar1917	Can. Pac. Railway Co.	re right-of-way			
18237	Grant	2Jan1916	8Sep1917	John A. Campbell	Duncan W. Reid	pt	250.00	pt & exchange of lands.
18238	Grant	May1915	8Sep1917	Friscoilla Beatty	Frank Reid	pt	500.00	pt
18279	M	1Oct1917	11Oct1917	Credit River Works	James L. Ross	pt	1.	pt & o.l. (this mortgage copied in full on page 593 back 169 for Toronto Trp.)
18439	Lease	7Aug1917	3Mar1918	Credit River Works Ltd.	Toronto Milling Co. Ltd.	71.90		pt & o.l.
				See Deposit #108				
18993	Agree't	1Oct1918	13May1919	Robert May et al	Elma A. Kemp			pt & o.l.

Priscilla Beatty

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TOWNSHIP OF TORONTO CONCESSION

G4 C.H.S.

No. of Instrument	Instrument	Its Date	Date of Registration	GRANTOR	GRANTEE	QUANTITY OF LAND	Consideration or Amount of Mortgage	REMARKS
20196	Grant	27 Aug 1920	30 Aug 1920	Joseph Drennon et ux	Wesley E. Durie et al	pt	7000.00	pt
21561	M	29 Dec 1922	26 Jan 1923	Wesley E. Durie et al	Legal Develop. Co.	pt	1000.00	pt
22068	S. Lease	5 Jun 1922	21 Jun 1922	Toronto Milling Co.	Credit River Works		\$1.	pt & o.l.
22069	Grant	5 Jun 1922	21 Jun 1922	Credit River Works	Toronto Milling Co.	pt	1.	pt & o.l.
22138	Q.C.	28 Jun 1922	8 Jul 1922	John A. Campbell	Toronto Milling Co.		1.	pt & o.l.
22505	Grant	1 Jun 1922	20 Oct 1922	Edith H. Templeton et ux	Chas. H. Riches		7000.00	pt & o.l.
22506	M	1 Jun 1922	24 Oct 1922	Chas. H. Riches et ux	Edith H. Templeton et al		6500.00	pt & o.l. <i>add</i>
22571	A.M.	1 Nov 1922	24 Nov 1922	Edith H. Templeton et al	Douglas H.C. Mason		1.	pt & o.l. (22506) add
23372	M	31 May 1923	9 Jun 1923	Toronto Milling Co.	Chartered Trust & Executor Company		1.	pt & o.l.
				See Deposit #189				
24885	Q.C.	1 Jun 1924	18 Jun 1924	Harry Drennan	W.E. Durie	pt	1.00	pt
24968	M	1 Jul 1924	11 Jul 1924	Charles H. Riches et ux	Legal Develop. Co.		1000.00	pt & o.l.
25004	Grant of Leasehold	14 Jun 1924	25 Jul 1924	Charles H. Riches	Hydro Electric Comm.	pt	5.00	pt
25224	D.M.	23 Aug 1924	20 Sep 1924	Douglas H.C. Mason	Chas. H. Riches	pt		Disch. #22506 <i>add</i>
26169	D.M.	29 Sep 1925	5 Aug 1925	Refer Edith	Hubert Page	pt		Disch. #22505 NOV 19 1935
				See Deposit #291				
				See Deposit #317				
26994	M	26 Feb 1928	2 Apr 1928	Wesley E. Durie et ux	Legal Develop. Co.	pt	1500.00	pt
26140	D.M.	5 Apr 1928	10 Apr 1928	Legal Develop. Co.	Wesley E. Durie	pt	Disch. #21661	add
31396	Grant	30 Mar 1929	30 Mar 1929	James L. Ross Trustee	Sterling Milling Co. Ltd.	pt	1.00	pt & o.l.
31495	Q.C.	15 Apr 1929	23 Apr 1929	Harry Drennan et ux	Wesley E. Durie	pt	1.	pt
31496	Grant	19 Apr 1929	23 Apr 1929	W. E. Durie et ux	Francis N. Rush	15 ac.	1.00	pt & o.l. & o.l.
31497	M	19 Apr 1929	23 Apr 1929	Francis N. Rush	Wesley E. Durie	15 ac.	6000.00	pts E & W <i>add</i>
31498	Option to Purchase	19 Apr 1929	23 Apr 1929	Wesley E. Durie	Francis N. Rush	8.83 ac.	1.00	" " " "
31551	D.M.	6 May 1929	8 May 1929	Legal Develop. Co.	Wesley E. Durie	pt 15 ac.	Disch. pt #20091	add
				See Deposit #377				
32195	M	1 Nov 1929	5 Nov 1929	Francis N. Rush et ux	Albert Greenwald	pt	5000.00	pt E & W <i>add</i>
32684	Grant	14 Apr 1930	29 Apr 1930	Wesley E. Durie et ux	Francis N. Rush	8.83	1.	pt E & W <i>add</i>

P/C 1-3
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No. of INSTRUMENT	INSTRUMENT	ITS DATE	DATE OF REGISTRATION	GRANTOR	GRANTEE	QUANTITY OF LAND	Consideration or Amount of Mortgage	REMARKS
22685	M	19Apr1930	29Apr1930	FRANCIS H. HUGH et ux	Wesley E. Durie	0.8280. & 15ac.	3750.00	pt E & W
32686	M of H.	19Apr1930	29Apr1930	Wesley E. Durie	Maudie M. Coyne	15ac.	2500.00	E of W
22765	D.M.	5 May 1930	8 May 1930	Agri. Develop. Bd.	Wesley E. Durie	pt		Block 20031
23245	M	18Nov1930	20Nov1930	Wesley E. Durie et ux	Ethel H. Stephens	pt 12ac.	1600.00	pt of E and W
22493	D.M.	25 Nov 1930	17 Jan 1931	Agri. Develop. Bd.	Charles H. Riches	pts		Block 24932
23679	M.V.	17 Jul 1931	19 Jul 1931	Toronto Asphalt Roofing Manufacturing Co. Ltd.	Sterling Milling Co. Ltd.	pt	565.00	pt - 0.1
28	Bankruptcy	11 Jul 1931	23 May 1931	Sterling Milling Co. Ltd.	E.H. Clarkson Trustee	pt		pt & 0.1.
23679	D.M.	17 Jun 1931	18 Jun 1931	Toronto Asphalt Roofing Mfg. Co. Ltd.	Trustee of Sterling Milling Co. Ltd.	pt	385.00	Block 23679
33823	Grant	5 Jun 1931	18 Jun 1931	Trustee Of Sterling Milling Co. Ltd.	McCarthy Milling Co. Ltd.	pt 12000.00		& O.L.

NUMBER	INSTRUMENT	DATE OF INSTRUMENT	DATE OF REGISTRATION	GRANTOR	GRANTEE	AREA	CONSIDERATION	REMARKS
35370	Grant	3 May 1933	1 Jun 1933	Arthur Montgomery Exrs. of Robert Douglas	Hannah Alexander		1 00	to ac. 24 per. except part Trees. Consent attached.
35524	Grant	16 Aug 1933	18 Aug 1933	Hannah Alexander	Kathleen Doherty		2 00	to ac. 24 per. except part
35582	Grant	23 Aug 1933	7 Sep 1933	Charles H. Riches et ux	William B. Herson		1000 00	Part
35618	Grant	23 Aug 1933	11 Oct 1933	Charles H. Riches et ux	A. E. Lines		300 00	Part
35619	MORTGAGE	11 Oct 1933	12 Oct 1933	Arthur E. Lines et ux	William B. Herson		1000 00	Part
				SEE DEPOSIT No. 540				Pt. Wg
35730	Grant	1 Dec 1933	9 Dec 1933	Arthur E. Lines et ux	George Lines		2200 00	Part
35819	M.V.	1 Dec 1933	10 Dec 1933	William B. Herson	George Lines		300 00	Part.
35900	D.M.	16 Apr 1934	16 Apr 1934	William B. Herson	George Lines			Part. To commence action
35982	Grant	1 May 1934	8 May 1934	George Lines	Roy Cook		1800 00	Part
36000	D.M.	8 May 1934	8 May 1934	Martin E. Graydon	George Lines			Discharging No. 35982
36001	D.M.	8 May 1934	8 May 1934	William B. Herson	George Lines			Part. No. 35982
36143	Grant	18 Jul 1934	3 Aug 1934	Trusts & Guarantee Co. et al Exrs. of Charles H. R. Riches	Frank G. Reid and Eva M. Reid as tenants in common		4300 00	Part. sketch attached. Trees. Consent enforced.
36383	Grant	28 Sep 1934	5 Jan 1935	George Lines	Roy Cook		100 00	Part
37204	Grant of Easement	26 Jun 1936	7 Jul 1936	McCarthy Milling Co.	Bell Telephone Co.		125 00	Part & O.L. sketch attached.
37501	MORTGAGE	11 Jun 1937	9 Feb 1937	Mary Duffie Durie et ux	Hellie E. Rutledge	12	2500 00	Part of W & E as in 35370

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NUMBER	INSTRUMENT	DATE OF INSTRUMENT	DATE OF REGISTRATION	GRANTOR	GRANTEE	AREA	CONSIDERATION	REMARKS
42401	Grant	30 Sept 1942	20 Oct 1942	Dohler Seed Growers Ltd.	Frank J. Reid			#2 ⁰⁰ part w/1/2 - Comm. in N. limit of Mill Lane (48' x 21') & 11'2" E of W. limit of plot 2 being 3 E.L. of lands in 11097. Thence N.E. 137'9" to High Bank. & S. 91'9" & N.E. 37'8" & S.E. along High Bank 150' (which pt is 361'3" N. of R.R.) & W. to pt. in limit of Mill Lane 811'2" E. of W. limit of plot 2 & S.W. along N. line 90'9" to the N.E.L. of lands in 11097 & N.W. 30' to N. limit of Mill Lane & N.E. 90'9" to pt.
42402	MORTGAGE	28 Sept 1942	20 Oct 1942	Dohler Seed Growers Ltd.	Frank J. Reid			#1900 - part w/1/2 in 42400 less 4500
42884	Grant	12 May 1943	19 May 1943	Roy Cook et ux	Harry W. Hope			#3000 - part w/1/2 Comm. in Ely limit of lot 2. Thence N45°23'E 197'1" to N.W. corner of lot 2 & N. limit of lot 2 & W. 192'3" to N.W. L. & S 75'6" to P. 76.
45069	E.C.	21 Jan 1945	12 Jan 1945	Edgar W. White, liquidator of Dohler Seed Growers Ltd: et ux	Frank J. Reid			#100 = part w/1/2. 42400 less 42401.
45160	Grant	1 Feb 1945	12 Feb 1945	Wm. B. Henson et ux	Herbert L. Henson			#5000 ⁰⁰ part w/1/2. Comm. in W. limit of S. limit of C.P.R. & N. 51' x W. 75' from S. 220' x 8" & P. 550'3" & C.P.R. & N. 51' x W. 75' along N.W. along by 300' to W. along curve of city & of 1/2.
45170	MORTGAGE	1 Feb 1945	12 Feb 1945	Herbert L. Henson et ux	Wm. B. Henson			#1500 ⁰⁰ part as in No. 45160.
45172	Part	7 June 1945	7 June 1945	plan for siding to Reid's track. Chas. of Bd. of Transport Commis.	as siding at Reid Trading Co			discharge of No. 41701.
45659	Part	10 Dec 1945	20 Dec 1945	Wesley C. Durie	Gordon Knott et ux			#8000 ⁰⁰ part.
46660	Grant	19 Jan 1945	20 Dec 1945	Gordon L. Knott et ux	The Director, The Veterans' Land Act.			Comm. in N. limit of W. limit 766' road shown on plan A. 15. Thence S. 7.98 chs. & S 36° W. 7.19 chs. & W. along rear along High Bank of Credit River & N. limit lot 3 & N.E. 15' 45' chs to P. 75.
46886	E.C.	31 Jan 1946	5 Feb 1946	Wm. B. Henson	Herbert L. Henson			discharge of No. 45170.
49331	Grant	24 Jan 1947	24 Jan 1947	Kathleen Doherty	Thomas E. Doherty			#500 ⁰⁰ part - Comm. 3.63 chs N. 45' W. from S.L. Thence E 310' x N 70' x W 310' x S 70' to P.O.
50316	Grant	10 July 1947	11 July 1947	Kathleen Doherty	Thomas E. Doherty			#100 To correct error in No. 49331. Sketch attached.
50399	MORTGAGE	31 July 1947	22 July 1947	Thomas E. Doherty et ux	Bernie E. Cook			#6000 ⁰⁰ part as in No. 50316.
52544	MORTGAGE	1 Aug 1948	1 Aug 1948	Herbert L. Henson et ux	Kellie Henson			#6000 ⁰⁰ part as in No. 45160.

NUMBER	INSTRUMENT	DATE OF INSTRUMENT	DATE OF REGISTRATION	GRANTOR	GRANTEE	AREA	CONSIDERATION	REMARKS
58718	D.M.	19 May 1950	23 May 1950	Francis H. Rush	Francis H. Rush			discharge No. 54685
58719	Grant	19 Apr 1950	23 May 1950	Francis H. Rush et ux	Conrad C. Forester			1000 C. Part Comm. at 1000 C. Part Comm. at 1000 C. Part Comm. at 1000 C. Part Comm. at 1000 C. Part Comm. at
57256	MORTGAGE	17 May 1950	11 July 1950	Robert H. Blackburn Francis P. Blackburn	Marjorie F. Durie	1.33	6000.00	Part. Comm. at 19/3/50
57257	Grant	17 May 1950	11 July 1950	Marjorie F. Durie	Robert H. Blackburn & Francis P. Blackburn	1.33		1000 C. Part. Comm. at 1000 C. Part. Comm. at 1000 C. Part. Comm. at 1000 C. Part. Comm. at 1000 C. Part. Comm. at
57258	D.M.	6 July 1950	3 Aug 1950	Albert Greenwood	Francis H. Rush			discharge No. 54685
63261	Grant	20 Jun 1951	29 Jun 1951	William B. Herson et ux	Herbert L. Herson			1000 C. Part. Comm. at correct No. 45160
63262	Grant	30 Jun 1951	29 Jun 1951	Herbert L. Herson et ux	Streetsville Seed Mills Limited			1000 C. Part. Comm. at No. 63261
63263	MORTGAGE	29 Jun 1951	29 Jun 1951	Streetsville Seed Mills Limited et al	Herbert L. Herson	17500.00		Part. Comm. at No. 63261
63265	D.M.	23 Jun 1951	30 Jun 1951	Mellie Herson	Herbert L. Herson			discharge No. 54685
600446	Ref. P.	18 Dec 1941	1 Dec 1951	Duncan Wallace Reid	residence property to participate in No. 11097 & 18237 except residence property & part now owned by Toronto Milling Co. to Frank B. Reid			
67931	Grant	30 May 1952	3 Jun 1952	Constance L. Dixon	Marjorie F. Durie	2.18ac		1000 C. Part. Comm. at No. 52908
68123	MORTGAGE	16 July 1952	10 Jun 1952	Edna W. Ewers et ux Clive L. McManis	Oliver R. Hope			2000 C. Part. Comm. at No. 39336 No. 39336
68251	MORTGAGE	18 July 1952	11 Aug 1952	Marjorie F. Durie	Conrad C. Forester			5775 C. Part. Comm. at No. 59156

W

pic descrip'n

shence 85° 17' 15" S 35' 30" W x 155' 30" E 3.74
 to 1000 C. Part. Comm. at
 1000 C. Part. Comm. at
 1000 C. Part. Comm. at
 1000 C. Part. Comm. at
 1000 C. Part. Comm. at

Common N.E. limit of parcel 475
 at its intersection with N.E. limit of parcel 475
 943' 8 1/2" S 11° 10' 00" W x 8' 00" E 950' 00" W
 C.R. x NW 1/4 1" x NW 1/4 360' x NW 1/4 300' x NW 1/4 300'

NUMBER	INSTRUMENT	DATE OF INSTRUMENT	DATE OF REGISTRATION	GRANTOR	GRANTEE	AREA	CONSIDERATION	REMARKS
13532	Grant	30 Nov 1960	10 Nov 1961	Margaret A. Davis	Margaret A. Davis & Wesley L. Davis as joint tenants		1.000.00	Part W/2
7493	Grant	10 Dec 1960	10 Nov 1961	Frank H. Reid & Gertrude E. Reid, et al	Frank H. Reid & Donald P. Reid as tenants in common		2.000.00	Part W/2 common in
7494	Grant	13 Feb 1961	10 Nov 1961	Frank H. Reid et al & Donald P. Reid et al	Frank H. Reid			Part W/2 as in No. 7493
73452	DM	21 Oct 1960	19 Nov 1961	The Royal Trust Company	Ernestine A. Dixon			Part W/2
144091	Part of	19 Nov 1962	20 Nov 1962	The Standard Bank of Canada	Ruth Wakelin & Daniel H. Wakelin			Part W/2
145312	Grant	5 Feb 1962	2 May 1962	Donald P. Reid et al	Donald P. Reid & Frank Reid Jr., as tenants in common		2.000.00	Part W/2
8080	Part of	3 Oct 1962	19 Oct 1962	Frank H. Reid et al & Donald P. Reid et al & Frank H. Reid et al	The Corp of the Town of Streetsville		3000.00	Part W/2 - comm. 692.0' of NWL
150051	Grant	26 Feb 1962	5 Mar 1962	Strattonville and Mills Limited	John Mustoway		2.000.00	Part W/2 - comm in NW limit of parcel later Con 415
151520	MORTGAGE	1 Apr 1962	8 Apr 1962	John W. Mustoway et al	James B. Gelford		18000.00	Part W/2
151938	Part of	28 Jan 1963	29 Jan 1963	D. George Wakelin & Ruth Wakelin	American Optical Company Canada Limited		14500.00	Part W/2 - comm 5622.1
152095	DM	4 Apr 1963	5 Feb 1963	Ruth Wakelin & Daniel H. Wakelin et al	Frederick H. Townsend		17000.00	Part comm 232.1' of NWL thence N 23 1/2° E 282.17' X N 78 1/2° E 282.17' X N 78 1/2° E 282.17' X

CONTINUED ON NEXT PAGE

LOT 02

TOWNSHIP OF TORONTO CONCESSION 04 W.H.S.

NUMBER	INSTRUMENT	DATE OF INSTRUMENT	DATE OF REGISTRATION	GRANTOR	GRANTEE	AREA	CONSIDERATION	REMARKS
12986115	Release	Aug 1969	23 Dec 1969	The Corporation of the Town of Streetsville & The Public Utilities Comm. of the Town of Streetsville	Frank J. Reid & Donald P. Reid	0.576 ac.	50136 Part as in No. 7158911	Released from No. 8697245
1304175	MORTGAGE	29 Dec 1969	2 Jan 1970	Anna Edmark et al	The Bank of Nova Scotia		23,000.00	Part of 2400 sq. ft. rights as in No. 167395
13093215	D.M.	Jan 27 1969	Dec 12 1970	Canada Building	Reid Milling		20000.00	full discharge of No. 7624705
13145235	D.M.	1 Nov 1969	16 Jan 1970	Cecil Wiley	Anna Edmark			Discharge of No. 12196015
13196215	D.M.	13 Jan 1970	27 Jan 1970	Kimco Mortgage Corporation	Anna Edmark			Discharge of No. 167396
1341045	Beqtd	1 Jan 1970	26 Feb 1970	The Bank of Nova Scotia	The Bank of Nova Scotia			Part to part of No. 924245
1370115	Grant	9 Mar 1970	3 Apr 1970	John Mostoway et ux	John Mostoway & Winifred J. Mostoway as partnership property		5.00 ac Part Comm. W4 + 1765' x 176'	SE. 1/4 Sec. NE 200 x NW 170 x SW 200 x SE 170 to p/c. 15.09 ac
See Deposit No. RD-221 (reference plan)								
1397835	Release & Reconveyance	20 Apr 1970	11 May 1970	The Bank of Nova Scotia	Reid Milling Limited			1.00 ac Part 4 refs as in No. 9098 to release No. 9205975
1404985	Q.C.	15 May 1970	22 May 1970	Flora J. Natyway	David A. Rigden & Brenda Rigden as joint tenants			1.00 ac Part as in No. 39208
1404995	Grant	3 Mar 1970	22 May 1970	David A. Rigden & Brenda Rigden	Michael J. Marcini & Emily D. Marcini as joint tenants	49,000.00		Part as in No. 39208
1405005	MORTGAGE	15 May 1970	22 May 1970	Michael J. Marcini & Emily D. Marcini	David A. Rigden & Brenda Rigden as joint account			Part as in No. 39208

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LOT 2

CONCESSION 4

W.H.S.

REGISTRATION NUMBER	INSTRUMENT	DATE OF INSTRUMENT	REGISTRATION DATE	GRANTOR	GRANTEE	CONSIDERATION ETC.	LAND AND REMARKS
704317	Grant of Air		28-01-85	S.C.O.	APPLEWOOD Air Conditioning Ltd. (P)		Li: Lien No. 699514
705549	Grant	To adR	28-05-85	TRICHILIA GIACCO ESTATE of TRUGLIO, Eugenio	LASSOS, Konstantinos		Pt. designated as Pt 1 on 43R-12087 C of A endorsed
709939	Release		29-03-85	APPLEWOOD Air-Conditioning Ltd.	WEINHOFER Company Ltd.		Release of Con. Lien No. 699514
709941	Grant		29-03-85	WEINHOFER Company Ltd.	GERRARD, Douglas J. CLARKE, Jannette		Part 2/2 designated as Part 3 on 43R-8938
709942	Mort.		29-03-85	GERRARD, Douglas J. CLARKE, Jannette	CIBC MORTGAGE Corp.	169,000.00	Part 2/2 designated as No. 709941
	Discharged by # 794342 Asst. Dep. Land Reg.						
710237	Grant		01-04-85	MOSTOWAY John MOSTOWAY Administrated.	582057 Antonio Ltd.		Pt. 2/2 13700 U.S. except last course is shown as 170' to p. 4.
710239	Mort.		01-04-85	582057 Antonio Ltd.	MORGAN Guaranty Co. of Toronto	137,000.00	Pt. 2/2 13700 U.S. (710237)
	Discharged by # 769501 ASST. DEP. LAND REG.						
710239	Mort.		01-04-85	582057 Antonio Ltd.	MORGAN Guaranty Co. of Toronto	137,000.00	Pt. 2/2 13700 U.S. (710237)
	Discharged by # 769501 ASST. DEP. LAND REG.						
713147	Grant		03-05-85	DENSON, Jill A	BANTLE, Lamy R BANTLE, Janet G. as J.T.		Pt. designated as pt. 2 on 43R-8938
713148	Grant		03-05-85	BANTLE, Lamy R BANTLE, Janet G.	Imperial Bank of Commerce	125,000.00	Pt. designated as pt. 2 on 43R-8938 789943 CR

ABSTRACT INDEX

PAGE NO. 71

LOT 2 CONCESSION 4WHS

R01047222

4R/4W/4H

REGISTRATION NUMBER	INSTRUMENT	REGISTRATION DATE DAY-MONTH-YEAR	GRANTOR	GRANTEE	CONSIDERATION ETC.	LAND AND REMARKS
R0 1051399	Transfer	93 11 2	SARIC, Marinko KRAJAC, Ivan SUTRIN, Angelo SESELJA, Mario	SARIC, Marinko	165,000.00	Part as in no. 365257vs
R0 1051847	Transfer	93 11 10	SARIC, Marinko	SARIC, Marinko SARIC, Mira as JT	2.00	Part as in No. 365257VS
R0 1054675	Charge	93 12 16	Dortman Investments Limited	1009751 Ontario Limited	210,000.00	Part as in NO. 239245V5. Discharged by # R0112793 Asst. Dep. Land Reg. 29/4/25
R0 1054676	A.M.	93 12 16	1009751 Ontario Limited	Arges, S.A.		Re: Charge No. R0 1054675. Discharged by # R0112793 Asst. Dep. Land Reg. 29/4/25
R0 1061570	Application	94 03 31	Winess Land Developments Limited			Land Titles Parts 1 to 4 both incl. on attached print
R0 1061571	Notice of Application for 1st Registration	94 03 31	Winess Land Developments Limited			Re: Application No. R0 1061570 Parts 1 to 4 both incl. on attached print
R0 1065086	Notice of Surrender of Lease	94 05 12	HATCHER, Stanley R.	582057 Ontario Limited		Re: No. 748873.
R0 1065087	Transfer	94 05 12	582057 Ontario Limited	Miracle Auto Centre Ltd	440,000.00	Part as in No. 710237.
R0 1071948	Certificate of 1st Regn. Land Titles Act	94 08 02		Winess Land Developments Limited		Application No. R0 1061570 Part Lot 2 Con 4WHS designated as part 1-4 on 43R-20510. Now Parcel 2-6 Section 43 Tor. Twp - 4WHS.



PROPERTY DESCRIPTION: PT LT 2, CON 4 WEST OF HURONTARIO ST TORONTO TWP, AS IN R01065087 ;; CITY OF MISSISSAUGA

PROPERTY REMARKS:

ESTATE/QUALIFIER:

 FEE SIMPLE
 LT CONVERSION QUALIFIED

RECENTLY:

FIRST CONVERSION FROM BOOK

PIN CREATION DATE:

1996/08/13

OWNERS' NAMES

2300437 ONTARIO INC.

CAPACITY SHARE

ROWN

REG. NUM.	DATE	INSTRUMENT TYPE	AMOUNT	PARTIES FROM	PARTIES TO	CERT/CHKD
EFFECTIVE 2000/07/29 THE NOTATION OF THE "BLOCK IMPLEMENTATION DATE" OF 1996/08/13 ON THIS PIN **WAS REPLACED WITH THE "PIN CREATION DATE" OF 1996/08/13** ** PRINTOUT INCLUDES ALL DOCUMENT TYPES AND DELETED INSTRUMENTS SINCE 1996/08/09 ** **SUBJECT, ON FIRST REGISTRATION UNDER THE LAND TITLES ACT, TO: ** SUBSECTION 44(1) OF THE LAND TITLES ACT, EXCEPT PARAGRAPH 11, PARAGRAPH 14, PROVINCIAL SUCCESSION DUTIES * ** AND ESCHEATS OR FORFEITURE TO THE CROWN. ** THE RIGHTS OF ANY PERSON WHO WOULD, BUT FOR THE LAND TITLES ACT, BE ENTITLED TO THE LAND OR ANY PART OF ** IT THROUGH LENGTH OF ADVERSE POSSESSION, PRESCRIPTION, MISDESCRIPTION OR BOUNDARIES SETTLED BY ** CONVENTION. ** ANY LEASE TO WHICH THE SUBSECTION 70(2) OF THE REGISTRY ACT APPLIES. **DATE OF CONVERSION TO LAND TITLES: 1996/08/13 **						
R01065087	1994/05/12	TRANSFER		*** COMPLETELY DELETED ***	MIRACLE AUTO CENTRE LTD.	
LT1822786	1998/04/17	CHARGE		*** COMPLETELY DELETED *** MIRACLE AUTO CENTRE LTD.	LAURENTIAN BANK OF CANADA	
LT1827687	1998/05/04	NOTICE		*** COMPLETELY DELETED *** MIRACLE AUTO CENTRE LTD.	LAURENTIAN BANK OF CANADA	
REMARKS: LT1822786- RENTS						
LT1972143	1999/08/03	TRANSFER		*** COMPLETELY DELETED *** MIRACLE AUTO CENTRE LTD.	AMBROSONI HOLDINGS LTD.	
LT1972144	1999/08/03	CHARGE		*** COMPLETELY DELETED *** AMBROSONI HOLDINGS LTD.	AMBROSONI, MARIA GOUVEIA, MARIA	

NOTE: ADJOINING PROPERTIES SHOULD BE INVESTIGATED TO ASCERTAIN DESCRIPTIVE INCONSISTENCIES, IF ANY, WITH DESCRIPTION REPRESENTED FOR THIS PROPERTY.

NOTE: ENSURE THAT YOUR PRINTOUT STATES THE TOTAL NUMBER OF PAGES AND THAT YOU HAVE PICKED THEM ALL UP.

REG. NUM.	DATE	INSTRUMENT TYPE	AMOUNT	PARTIES FROM	PARTIES TO	CERT/ CHKD
LT2009979	1999/11/03	DISCH OF CHARGE		*** COMPLETELY DELETED *** LAURENTIAN BANK OF CANADA	GOUVEIA, OLIVER	
		REMARKS: RE: LT1822786				
PR947410	2005/10/20	CHARGE		*** COMPLETELY DELETED *** AMBROSONI HOLDINGS LTD.	INTERBAY FUNDING CORP.	
PR947414	2005/10/20	NO ASSGN RENT GEN		*** COMPLETELY DELETED *** AMBROSONI HOLDINGS LTD.	INTERBAY FUNDING CORP.	
		REMARKS: PR947410				
PR947431	2005/10/20	TRANSFER OF CHARGE		*** COMPLETELY DELETED *** INTERBAY FUNDING CORP.	BAYVIEW FINANCIAL MANAGEMENT CORP. BAYVIEW FINANCIAL, L.P.	
		REMARKS: PR947410				
PR947440	2005/10/20	NO ASSGN RENT GEN		*** COMPLETELY DELETED *** INTERBAY FUNDING CORP.	BAYVIEW FINANCIAL MANAGEMENT CORP. BAYVIEW FINANCIAL, L.P.	
		REMARKS: PR947414 & PR947410				
PR949249	2005/10/24	DISCH OF CHARGE		*** COMPLETELY DELETED *** AMBROSONI, MARIA GOUVEIA, MARIA GOUVEIA, OLIVER		
		REMARKS: RE: LT1972144				
PR1132738	2006/09/07	TRANSFER		*** COMPLETELY DELETED *** AMBROSONI HOLDINGS LTD.	2094993 ONTARIO INC	
		REMARKS: PLANNING ACT STATEMENTS				
PR1132739	2006/09/07	NO ASSGN RENT GEN		*** COMPLETELY DELETED *** 2094993 ONTARIO INC.	BAYVIEW FINANCIAL MANAGEMENT CORP.	
		REMARKS: ASSIGNMENT OF ASSIGNMENT OF RENTS PR947440				
PR1689700	2009/08/21	APL CH NAME OWNER		*** COMPLETELY DELETED *** 2094993 ONTARIO INC	2094993 ONTARIO INC.	
PR1689769	2009/08/21	CHARGE		*** COMPLETELY DELETED *** 2094993 ONTARIO INC.	WON, YONGSOO	

LAND
 REGISTRY
 OFFICE #43

13196-0714 (LT)

* CERTIFIED IN ACCORDANCE WITH THE LAND TITLES ACT * SUBJECT TO RESERVATIONS IN CROWN GRANT *

REG. NUM.	DATE	INSTRUMENT TYPE	AMOUNT	PARTIES FROM	PARTIES TO	CERT/CHKD
PR1742335	2009/11/27	CHARGE		*** COMPLETELY DELETED *** 2094993 ONTARIO INC.	KOREA EXCHANGE BANK OF CANADA	
PR1742930	2009/11/27	DISCH OF CHARGE		*** COMPLETELY DELETED *** WON, YONGSOO		
		REMARKS: PR1689769.				
PR1754356	2009/12/21	DISCH OF CHARGE		*** COMPLETELY DELETED *** BAYVIEW FINANCIAL MANAGEMENT CORP. BAYVIEW FINANCIAL, L.P.		
		REMARKS: PR947410.				
PR1772901	2010/02/02	NOTICE		*** COMPLETELY DELETED *** 2094993 ONTARIO INC.	KOREA EXCHANGE BANK OF CANADA	
		REMARKS: PR1742335				
PR2048301	2011/08/02	TRANSFER		*** COMPLETELY DELETED *** 2094993 ONTARIO INC.	1839056 ONTARIO INC.	
		REMARKS: PLANNING ACT STATEMENTS				
PR2078615	2011/09/22	DISCH OF CHARGE		*** COMPLETELY DELETED *** KOREA EXCHANGE BANK OF CANADA		
		REMARKS: PR1742335.				
PR2299850	2012/11/26	CHARGE		*** COMPLETELY DELETED *** 1839056 ONTARIO INC.	QITA, OLLA	
PR2361351	2013/04/26	CHARGE		*** COMPLETELY DELETED *** 1839056 ONTARIO INC.	2300437 ONTARIO INC.	
PR2367861	2013/05/13	TRANSFER OF CHARGE		*** COMPLETELY DELETED *** 2300437 ONTARIO INC.	REXELL DEVELOPMENTS LTD.	
		REMARKS: PR2361351.				
PR2404427	2013/07/23	DISCH OF CHARGE		*** COMPLETELY DELETED *** REXELL DEVELOPMENTS LTD.		
		REMARKS: PR2361351.				
PR2404428	2013/07/23	DISCH OF CHARGE		*** COMPLETELY DELETED *** QITA, OLLA		
		REMARKS: PR2299850.				
PR2404429	2013/07/23	TRANSFER	\$1,900,000	1839056 ONTARIO INC.	2300437 ONTARIO INC.	C

NOTE: ADJOINING PROPERTIES SHOULD BE INVESTIGATED TO ASCERTAIN DESCRIPTIVE INCONSISTENCIES, IF ANY, WITH DESCRIPTION REPRESENTED FOR THIS PROPERTY.
 NOTE: ENSURE THAT YOUR PRINTOUT STATES THE TOTAL NUMBER OF PAGES AND THAT YOU HAVE PICKED THEM ALL UP.

* CERTIFIED IN ACCORDANCE WITH THE LAND TITLES ACT * SUBJECT TO RESERVATIONS IN CROWN GRANT *

REG. NUM.	DATE	INSTRUMENT TYPE	AMOUNT	PARTIES FROM	PARTIES TO	CERT/CHKD
<i>REMARKS: PLANNING ACT STATEMENTS.</i>						
PR2404430	2013/07/23	CHARGE	\$1,500,000	2300437 ONTARIO INC.	PIZZULO HOLDINGS INC.	C
PR2404431	2013/07/23	NO ASSGN RENT GEN		2300437 ONTARIO INC.	PIZZULO HOLDINGS INC.	C
<i>REMARKS: PR2404430.</i>						
PR2685755	2015/03/16	CHARGE		*** COMPLETELY DELETED *** 2300437 ONTARIO INC.	905905 ONTARIO LTD.	
PR2802410	2015/10/14	NOTICE	\$2	PIZZULO HOLDINGS INC.	2300437 ONTARIO INC.	C
<i>REMARKS: AMENDING CHARGE PR2404430</i>						
PR3084751	2017/02/24	CHARGE	\$500,000	2300437 ONTARIO INC.	MAJ FINANCIAL CORP. 1226460 ONTARIO INC.	C
PR3085649	2017/02/27	DISCH OF CHARGE		*** COMPLETELY DELETED *** 905905 ONTARIO LTD.		
<i>REMARKS: PR2685755.</i>						
PR3088793	2017/03/02	NOTICE	\$2	PIZZULO HOLDINGS INC.	2300437 ONTARIO INC.	C
<i>REMARKS: PR2404430</i>						
PR3273659	2018/01/23	CHARGE	\$250,000	2300437 ONTARIO INC.		C

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5235 MISSISSAUGA ROAD
 MISSISSAUGA, ONTARIO

MAY 22, 2018

FRONT ELEVATION

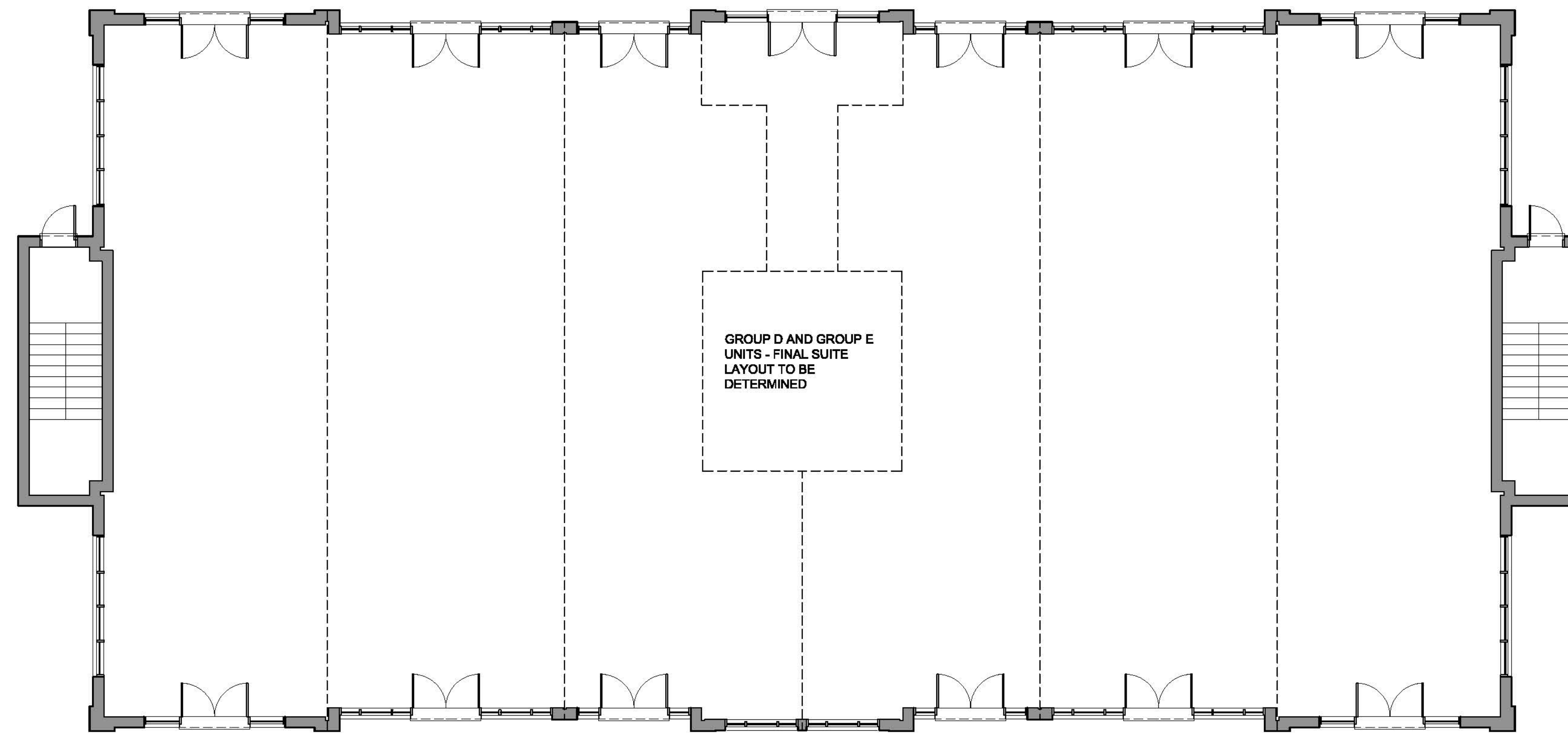
17-142

1:150





Drawings must NOT be scaled. Contractor must check and verify all dimensions, specifications and drawings on site and report any discrepancies to the architect prior to proceeding with any of the work.



2	18.11.20	ISSUED FOR HERITAGE REPORT
1	18.01.25	ISSUED FOR DARC
REV	DATE:	DESCRIPTION:
	YYMMDD	

REVISIONS / ISSUANCE:



HICKS DESIGN STUDIO
216 ROBINSON STREET, SUITE 200 ONTARIO, ON CAN L4R 1G7
WWW.HICKSDSIGNSTUDIO.CA T.905.339.1212

CLIENT:
5235 MISSISSAUGA RD
PLAZA

ADDRESS: 5235 MISSISSAUGA RD
CITY: MISSISSAUGA, ON

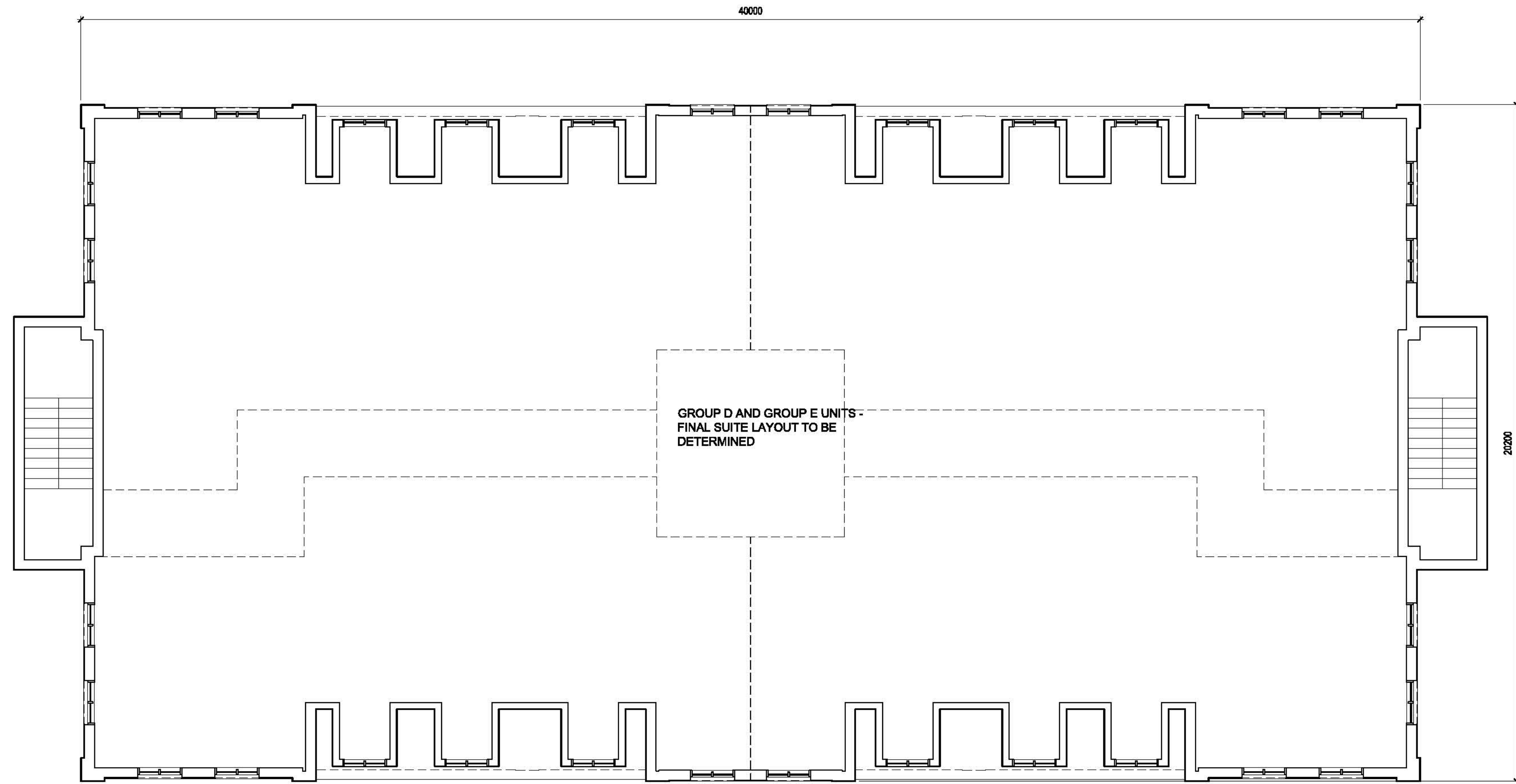
DRAWING TITLE:
GROUND FLOOR

DRAWN: T.K.	
DATE: 17.11.27	SCALE: 1:100
JOB NUMBER: 17-142	SHEET NUMBER: A3.1

1/20/2018 1:17:42 PM BRUNO_0234 MISSISSAUGA RD DRAWING SET 42 BRUNO DESIGN DRAWINGS.DWG



Drawings must NOT be scaled. Contractor must check and verify all dimensions, specifications and drawings on site and report any discrepancies to the architect prior to proceeding with any of the work.



2	18.11.20	ISSUED FOR HERITAGE REPORT
1	18.01.25	ISSUED FOR DARC
REV	DATE:	DESCRIPTION:
	YYMMDD	
REVISIONS / ISSUANCE:		



HICKS DESIGN STUDIO
216 ROBINSON STREET, SUITE 200 ONTARIO, ON CAN L4U 1G7
WWW.HICKSDESIGNSTUDIO.CA T.905.339.1212

CLIENT:
5235 MISSISSAUGA RD
PLAZA

ADDRESS: 5235 MISSISSAUGA RD
CITY: MISSISSAUGA, ON

DRAWING TITLE:
SECOND FLOOR PLAN

DRAWN: T.K.	
DATE: 17.11.27	SCALE: 1:100
JOB NUMBER: 17-142	SHEET NUMBER: A3.2



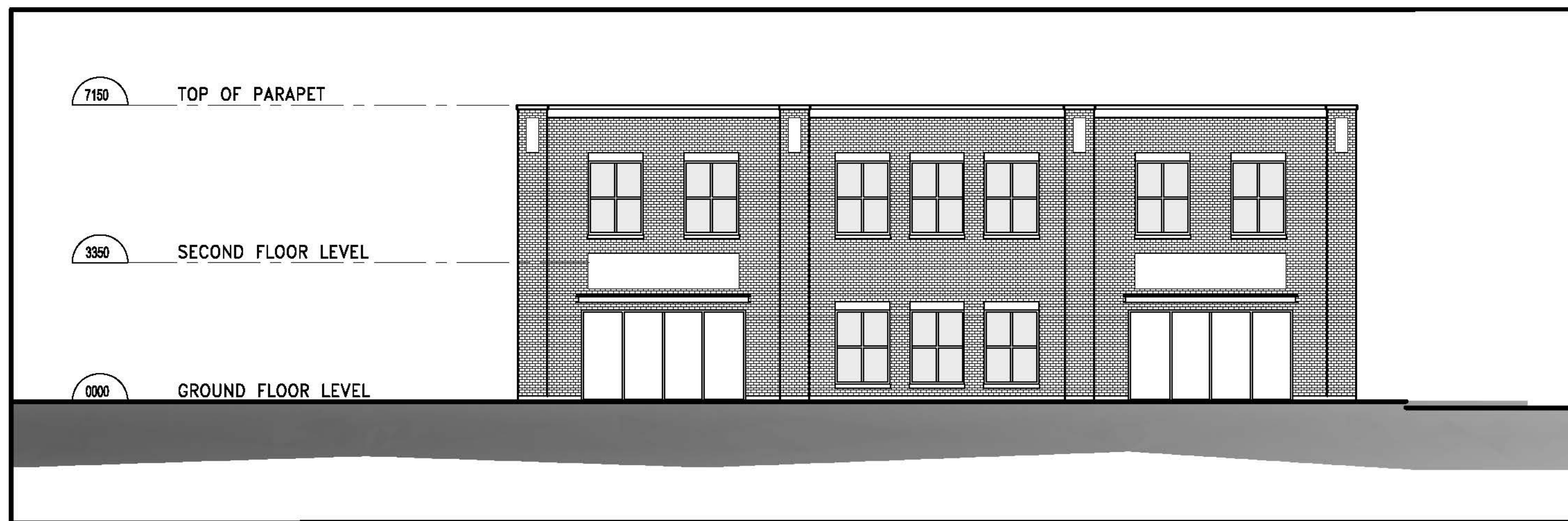
Drawings must NOT be scaled. Contractor must check and verify all dimensions, specifications and drawings on site and report any discrepancies to the architect prior to proceeding with any of the work.



1 WEST ELEVATION
A4.1 SCALE: 1:100



2 WEST ELEVATION
A4.1 SCALE: 1:100



3 NORTH ELEVATION
A4.1 SCALE: 1:100



4 SOUTH ELEVATION
A4.1 SCALE: 1:100

2	18.11.20	ISSUED FOR HERITAGE REPORT
1	18.01.25	ISSUED FOR DARC
REV	DATE:	DESCRIPTION:
	YYMMDD	
REVISIONS / ISSUANCE:		



HICKS DESIGN STUDIO
298 ROBINSON STREET, SUITE 200 OAKVILLE ON, CAN L4J 1G7
WWW.HICKSDSIGNSTUDIO.CA T.905.336.1212

CLIENT:
5235 MISSISSAUGA RD
PLAZA

ADDRESS: 5235 MISSISSAUGA RD
CITY: MISSISSAUGA, ON

DRAWING TITLE:
GROUND FLOOR
AND FRONT ELEVATION

DRAWN: T.K.	DATE: 17.11.27	SCALE: NOTED
JOB NUMBER:	17-142	SHEET NUMBER:
		A3.1

1/2/2018 14:27:42 BELINDA_5235 MISSISSAUGA RD DRAWINGS 142 PLAZA BRUNO DESIGN DRAWINGS DWG

SITE PLAN GENERAL NOTES:

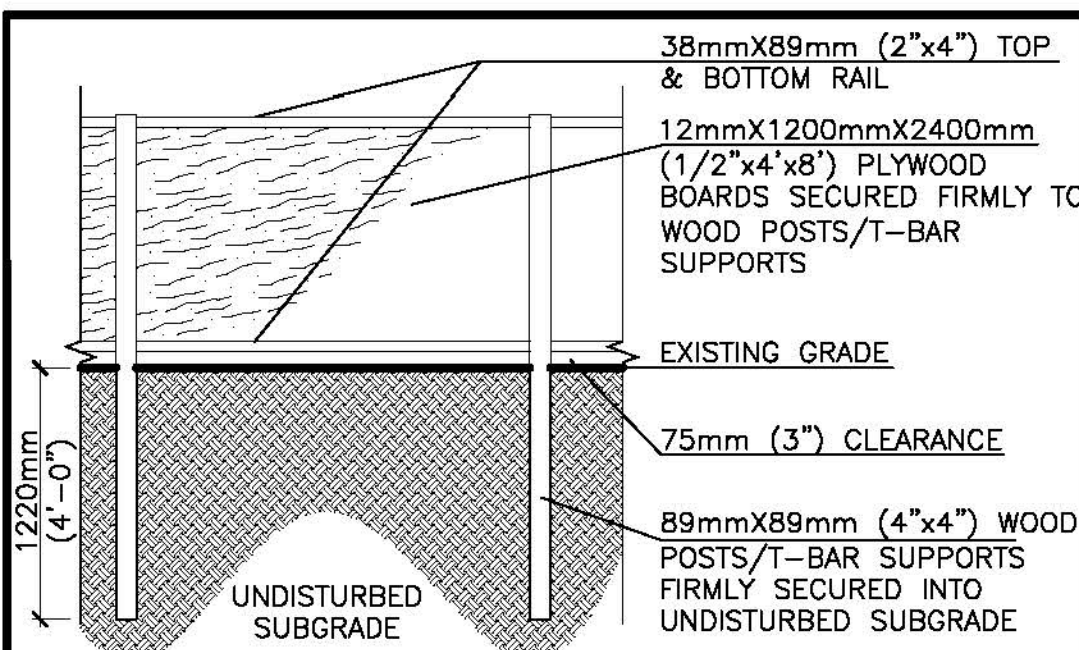
- ALL GRADES TO BE WITHIN 33% MAX. SLOPE AT PROPERTY LINE AND WITHIN THE SITE.
- THE CONTRACTOR (BUILDER) TO CHECK AND VERIFY LOCATION AND ELEVATION OF EXISTING UTILITIES (CONNECTIONS) PRIOR TO CONSTRUCTION.
- ALL DISTURBED AREAS WITHIN EXISTING ROADS AND BOULEVARDS TO BE RECONSTRUCTED TO THE SATISFACTION OF THE CITY OF MISSISSAUGA WORKS DEPARTMENT.
- ROOF DOWN SPOUTS TO SPILL ONTO GROUND VIA SPLASH PADS.
- I HEREBY CERTIFY THAT THIS DRAWING CONFORMS IN ALL RESPECTS TO THE SITE DEVELOPMENT PLANS AS APPROVED BY THE CITY OF MISSISSAUGA UNDER FILE NUMBER SPI
- THE CITY OF MISSISSAUGA REQUIRES THAT ALL WORKING DRAWINGS SUBMITTED TO THE BUILDING DIVISION PLANNING AND BUILDING DEPT. AS PART OF AN APPLICATION FOR THE ISSUANCE OF A BUILDING PERMIT SHALL BE CERTIFIED BY THE ARCHITECT OR ENGINEER AS BEING IN CONFORMITY WITH THE SITE DEVELOPMENT PLANS AS APPROVED BY THE CITY OF MISSISSAUGA.
- THE STRUCTURAL DESIGN OF ANY RETAINING WALL OVER 600 mm. IN HEIGHT OR ANY RETAINING WALL LOCATED ON A PROPERTY LINE IS TO BE SHOWN ON THE SITE GRADING PLAN FOR THIS PROJECT AND IS TO BE APPROVED BY THE CONSULTING ENGINEER FOR THE PROJECT.
- THE OWNER IS RESPONSIBLE FOR ENSURING THAT THE TREE PROTECTION HOARDING IS MAINTAINED THROUGHOUT ALL PHASES OF DEMOLITION AND CONSTRUCTION IN THE LOCATION AND CONDITION AS APPROVED BY THE PLANNING AND DEVELOPMENT DEPARTMENT. NO MATERIALS (CONSTRUCTION MATERIALS, SOIL, ETC.) MAY BE STOCKPILED WITHIN THE AREA OF HOARDING. FAILURE TO MAINTAIN THE HOARDING AS ORIGINALLY APPROVED, OR THE STORAGE OF MATERIALS WITHIN THE HOARDING WILL BE CAUSE FOR THE TREE PRESERVATION LETTER OF CREDIT TO BE HELD FOR 2 (TWO) YEARS FOLLOWING COMPLETION OF SITE WORKS.

SIGNATURE OF HOMEOWNER:

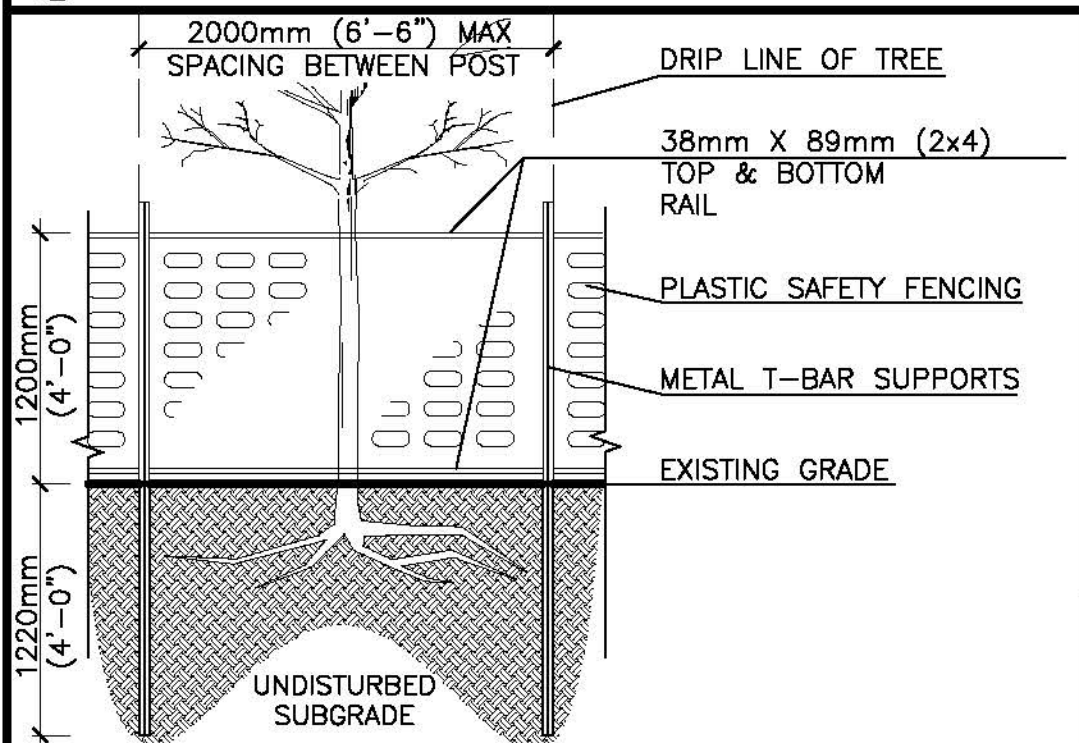
- SEDIMENT CONTROLS AS PER CITY STANDARD ARE TO BE IMPLEMENTED DURING CONSTRUCTION.
- ALL DAMAGED LANDSCAPE AREAS ARE TO BE REINSTATED WITH TOPSOIL AND SOD PRIOR TO THE RELEASE OF SECURITIES.
- ANY EXCESS EXCAVATED MATERIAL IS TO BE REMOVED FROM THE SITE
- EXISTING DRAINAGE PATTERN IS TO BE MAINTAINED.
- THE PORTIONS OF THE DRIVEWAY WITHIN THE MUNICIPAL BOULEVARD WILL BE PAVED BY THE APPLICANT.
- AT THE ENTRANCES TO THE SITE, THE MUNICIPAL CURB WILL BE CONTINUOUS THROUGH THE DRIVEWAY AND A CURB DEPRESSION WILL BE PROVIDED FOR EACH ENTRANCE.
- THE TOPS OF ANY CURBS BORDERING THE DRIVEWAYS WITHIN THE MUNICIPAL BOULEVARD WILL BE FLUSH WITH THE MUNICIPAL ROAD CURB.
- NO CONSTRUCTION ACCESS WILL BE PERMITTED FROM THE ADJOINING PARK/GREENBELT.
- ALL EXTERIOR LIGHTING WILL BE DIRECTED ONTO THE SITE AND WILL NOT INFRINGE UPON THE ADJACENT PROPERTIES.
- IF A WELL IS DISCOVERED, IT WILL BE DECOMMISSIONED IN ACCORDANCE WITH THE ONTARIO WATER RESOURCES ACT REGULATION 903 (formerly 612/84) AND ANY OTHER APPLICABLE REGULATIONS AND GUIDELINES.
- THE HOARDING MUST BE INSPECTED PRIOR TO REMOVAL OF ANY TREE PROTECTION HOARDING FROM THE SITE.
- ALL DISTURBED DRIVEWAY AREAS ARE TO BE RE-ASPHALTED PRIOR TO SECURITIES RELEASE.
- PRIOR TO ANY CONSTRUCTION TAKING PLACE, HOARDING ADJACENT TO EXISTING PROPERTIES TO PROTECT FROM CONSTRUCTION ACTIVITIES AND ALL REQUIRED HOARDING IN ACCORDANCE WITH THE ONTARIO OCCUPATIONAL HEALTH AND SAFETY ACT AND REGULATIONS FOR CONSTRUCTION PROJECTS MUST BE ERECTED AND THEN MAINTAINED THROUGHOUT ALL PHASES OF CONSTRUCTION.
- THE APPLICANT WILL BE RESPONSIBLE FOR THE COST OF ANY RELOCATIONS NECESSITATED BY THE SITE PLAN.

1 GENERAL NOTES

A1.2 SCALE: DNS



A SOLID WOOD HOARDING



B FRAMED HOARDING

3 HOARDING DETAILS

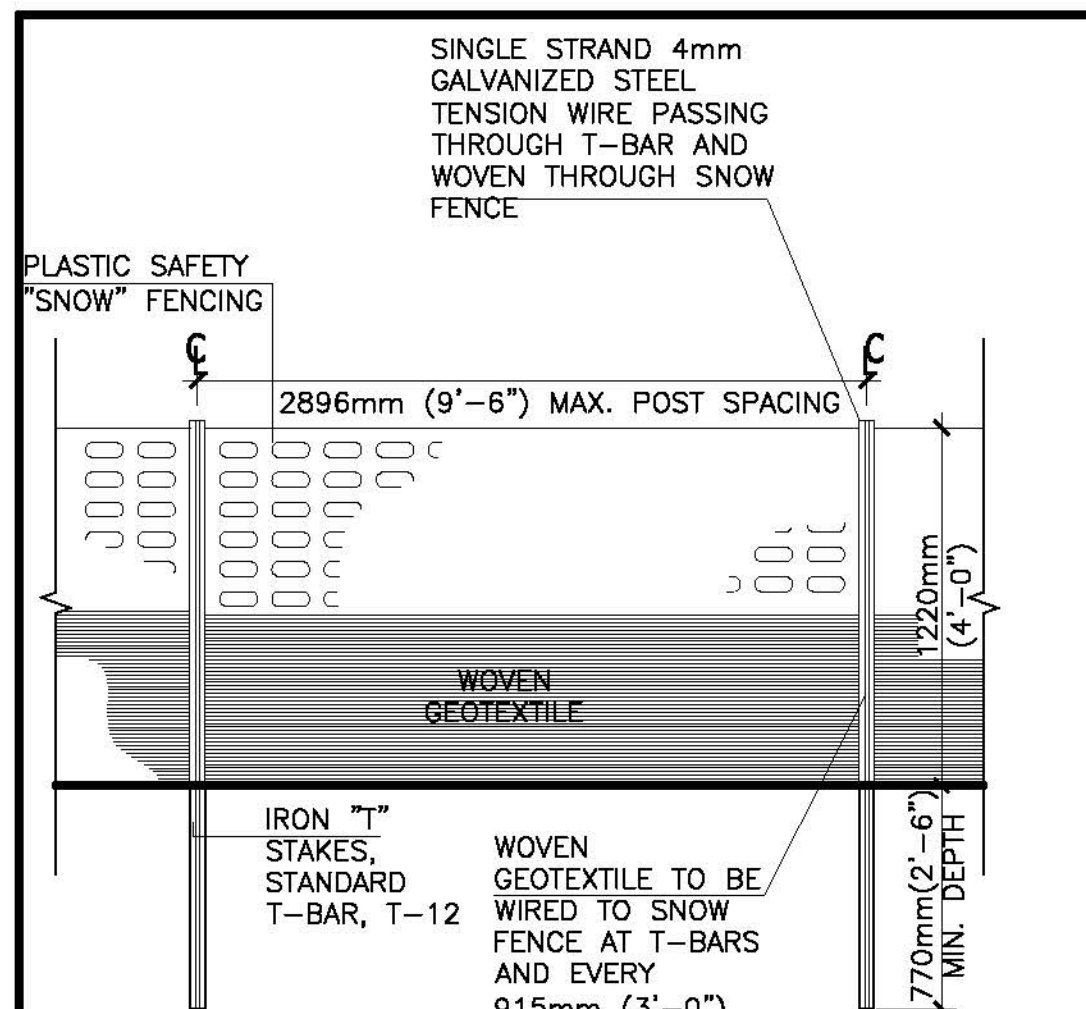
A1.2 SCALE: DNS

HOARDING GENERAL NOTES:

- NOTES:
- HOARDING DETAILS TO BE DETERMINED FOLLOWING INITIAL SITE INSPECTION.
 - PRIVATE TREE HOARDING TO BE APPROVED BY DEVELOPMENT & DESIGN ; CITY TREE HOARDING TO BE APPROVED BY COMMUNITY SERVICES DEPT.
 - HOARDING MUST BE SUPPLIED, INSTALLED AND MAINTAINED BY THE APPLICANT THROUGHOUT ALL PHASES OF CONSTRUCTION. INSPECTION MUST BE CONDUCTED BY THE DEVELOPMENT AND DESIGN DIVISION PRIOR TO REMOVAL ANY/FULL PRIVATE HOARDING.
 - DO NOT ALLOW WATER TO COLLECT AND POND BEHIND OR WITHIN HOARDING.
 - T-BAR SUPPORTS ARE ACCEPTABLE ALTERNATIVE TO 4X4 POSTS. U-SHAPED METAL SUPPORTS WILL NOT BE ACCEPTED.
 - PLYWOOD MUST BE UTILIZED FOR "SOLID" HOARDING. OSB/CHIPBOARD WILL NOT BE ACCEPTED FOR SOLID HOARDING. PLYWOOD SHEETS MUST BE INSTALLED ON "CONSTRUCTION" SIDE OF FRAME.
 - APPLICANT IS RESPONSIBLE TO ENSURE UTILITY LOCATES ARE COMPLETED WITHIN CITY BOULEVARD PRIOR TO INSTALLING FRAMED HOARDING.

2 HOARDING GENERAL NOTES

A1.2 SCALE: DNS



D SEDIMENT CONTROL HOARDING

3 HOARDING - SEDIMENT CONTROL

A1.2 SCALE: DNS

EROSION & SEDIMENT CONTROL NOTES:

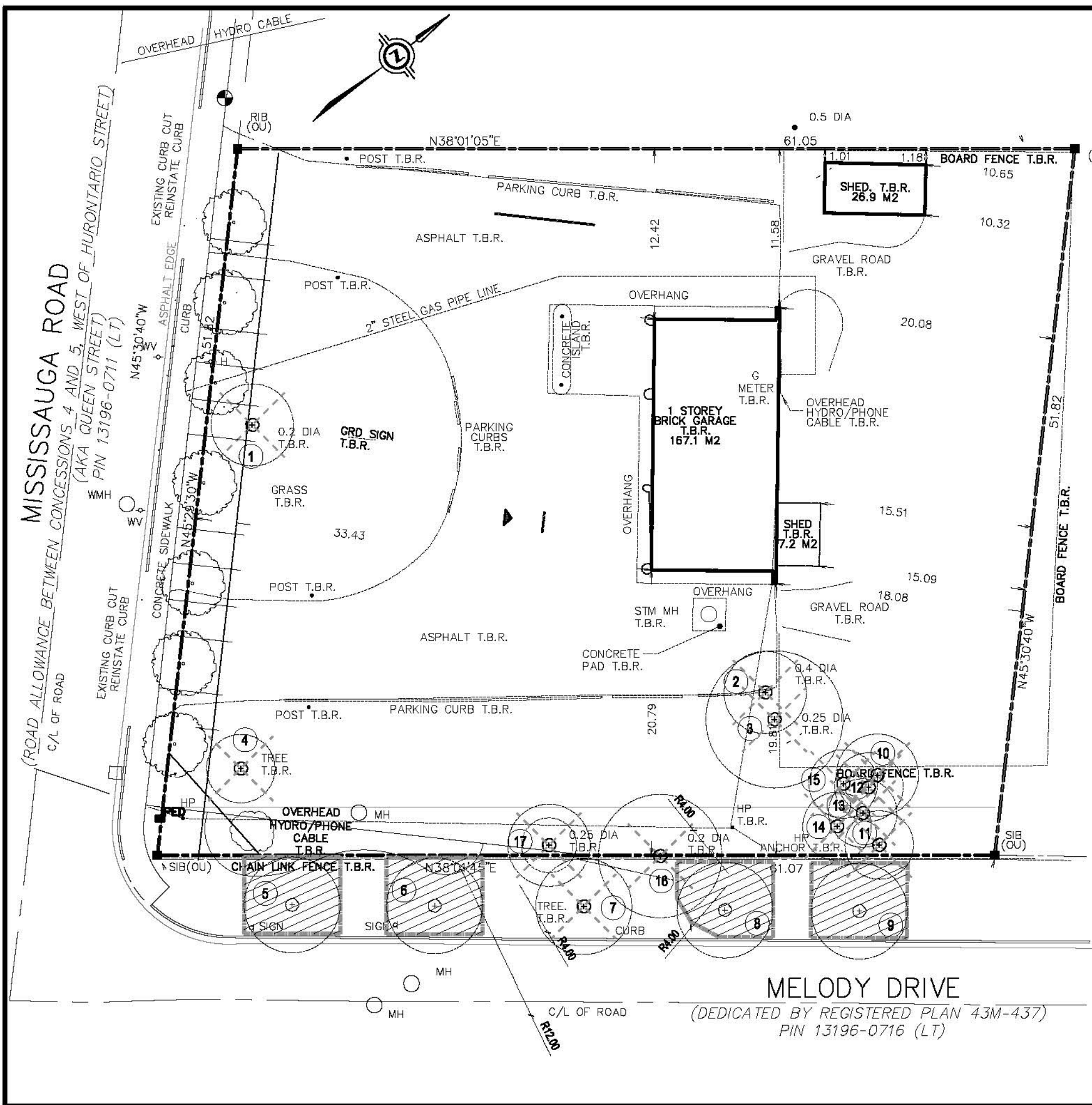
- ALL SNOW FENCING AND SEDIMENT CONTROL FENCING TO BE ERECTED PRIOR TO COMMENCEMENT OF ANY GRADING OPERATIONS (CITY STANDARD 2940.01).
- ALL CATCHBASINS WITHIN LANDSCAPED AREAS TO HAVE SEDIMENT BARRIER, (CITY STANDARD 2930.03) ERECTED IMMEDIATELY AFTER C/B INSTALLATION. SEDIMENT BARRIER TO BE MAINTAINED ON A REGULAR BASIS UNTIL NO LONGER REQUIRED.
- ALL ROADSIDE CATCHBASINS TO HAVE SEDIMENT PROTECTION (CITY STANDARD 2930.04) INSTALLED IMMEDIATELY AFTER C/B INSTALLATION. SEDIMENT PROTECTION TO BE MAINTAINED ON A REGULAR BASIS OR TO THE SATISFACTION OF THE CITY OF MISSISSAUGA.
- CONSTRUCTION SEQUENCE:
INITIAL SEDIMENT CONTROL INSTALLATION =
SITE GRADING OPERATIONS =
UNDERGROUND SERVICING OPERATIONS =
BUILDING CONSTRUCTION =
FINAL GRADING/SODDING OPERATION =

THIS CONTROL PLAN IS PREPARED FOR SUBMISSION TO THE CITY OF MISSISSAUGA IN CONJUNCTION WITH AN APPLICATION FOR EROSION & SEDIMENT CONTROL PERMIT NO. _____ UNDER THE EROSION AND SEDIMENT CONTROL BY-LAW NO. 512-91, AS AMENDED.

- NOTES:
- ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE REGULARLY INSPECTED AND MAINTAINED, AS REQUIRED, TO THE SATISFACTION OF THE CITY OF MISSISSAUGA.
 - "IF CONSTRUCTION IS INTERRUPTED AND/OR INACTIVITY EXCEEDS 30 DAYS, THEN ALL DISTURBED AREAS SHALL BE STABILIZED BY VEGETATION."

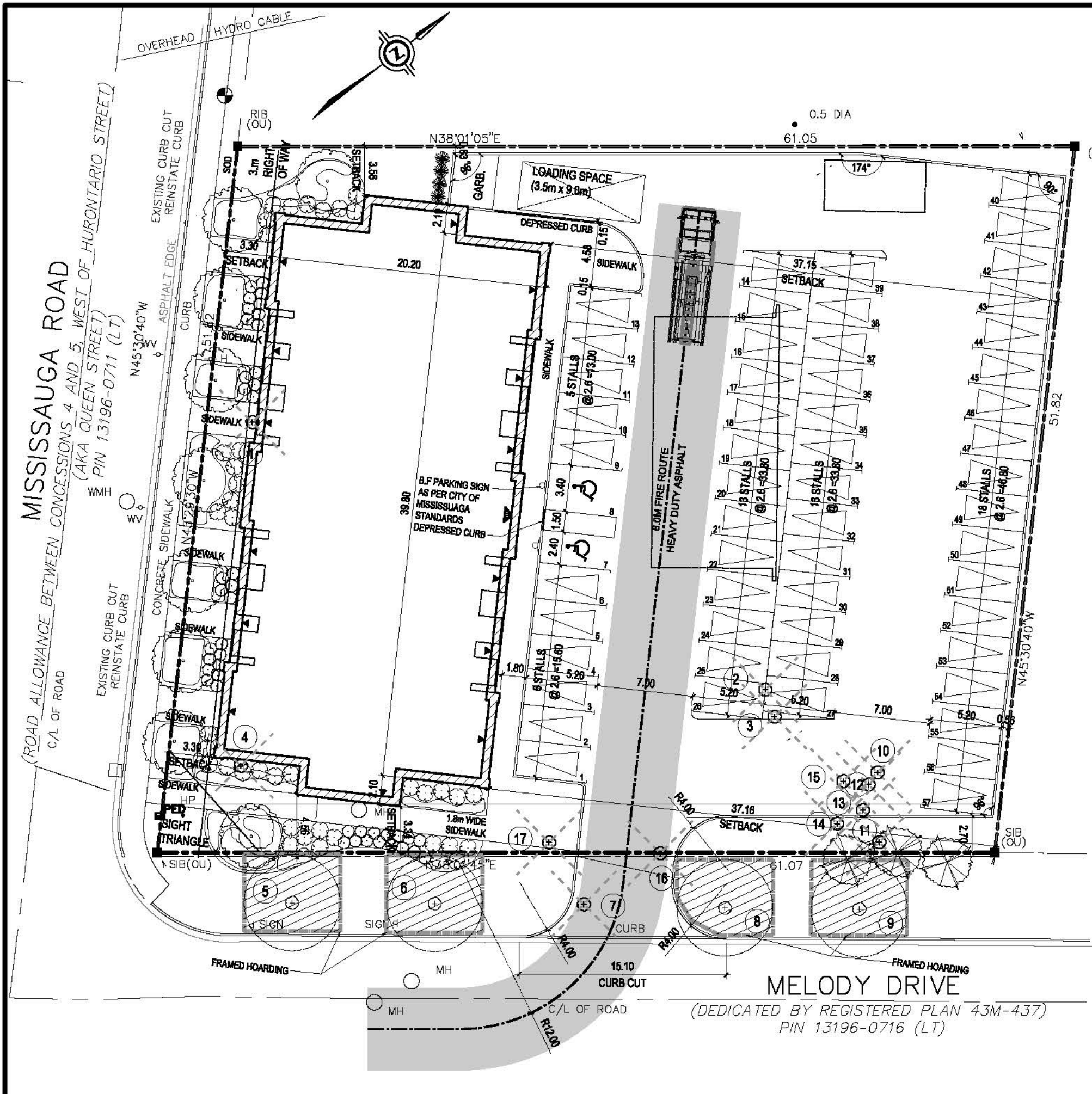
4 SEDIMENT CONTROL NOTES

A1.2 SCALE: DNS



6 SITE PLAN - DEMO

A1.2 SCALE: 1:300



7 SITE PLAN

A1.2 SCALE: 1:300



8 KEY PLAN

A1.2 SCALE: DNS

ARCHITECT:		APPLICANT:	
HICKS DESIGN STUDIO 258 ROBINSON STREET, SUITE 200 OAKVILLE, ONTARIO L6A 1G7 ATTENTION: WILLIAM R. HICKS TEL: 905-339-1212 EXT. 232		HICKS DESIGN STUDIO 258 ROBINSON STREET, SUITE 200 OAKVILLE, ONTARIO L6A 1G7 ATTENTION: CYNTHIA GIBSON TEL: 905-339-1212 EXT. 233	
SITE STATISTICS:		5235 MISSISSAUGA ROAD MISSISSAUGA, ON	
LEGAL DESCRIPTION:		PART 1 - PLAN OF SURVEY AND TOPO OF PART OF LOT 2 CONCESSION 4 WEST OF HURONTARIO STREET	
EXISTING ZONING:		C-1 (CONVENIENCE COMMERCIAL)	
PROPOSED ZONING:		GROUP B & GROUP E	
BUILDING CLASSIFICATION:		COMMERCIAL CONSTRUCTION 45 UNITS FOR FLOORS AND SUPPORTING ELEMENTS	
DESCRIPTION			
REQURED	IMPERIAL	PROPOSED	IMPERIAL
LOT AREA:		3,144.041	33,842
LOT AREA:		0.31 HA	
TOTAL COVERAGE:			
BUILDING		819,808	8,824
LANDSCAPE AREA		89,274	8,812
TOTAL COVERAGE (%)		26.07%	
SITE AREA			
BUILDING AREA		819,808	8,824
LANDSCAPE AREA		89,274	8,812
PAVED AREA		17,284,992	18,608
GROSS FLOOR AREA:			
GROUND FLOOR		819,808	8,824
SECOND FLOOR		757,626	8,811
TOTAL		1,577,434	17,305
TOTAL (F.I.)		83,525	
YARDS			
FRONT YARD		4.5	14.76
REAR YARD		4.5	14.76
SIDE YARD - SOUTH (EXT. SIDE YARD)		4.5	14.76
SIDE YARD - NORTH (INT. SIDE YARD)		4.5	14.76
MAXIMUM HEIGHT:		9.00	29.53
MAXIMUM HEIGHT MAIN ROOF:		7.15	23.46
SITE FINISHES:			
BUILDING AREA		819,808	8,824
LANDSCAPE AREA		301,141	3,364
PAVED AREA		1983,091	21,483
LANDSCAPE BUFFERS:			
FRONT		4.5	14.76
REAR		4.5	14.76
SOUTH (EXT. SIDE YARD)		4.5	14.76
NORTH (INT. SIDE YARD)		4.5	14.76
PARKING:			
STANDARD RETAIL PARKING SPACE		35.25	35
4.3 SPACES PER 100 M2			
STANDARD OFFICE PARKING SPACE		25.31	22
4.3 SPACES PER 100 M2		69.47	57
DRIVE-UP PARKING SPACE		2.20	2
4.0% OF TOTAL PARKING PROVIDED		1	1
FOR BETWEEN 200 M2 & 3,200 M2			

9 SITE STATISTICS

A1.2 SCALE: DNS

BEARINGS ARE UTM GRID, DERIVED FROM OBSERVED REFERENCE POINTS A AND B, BY REAL TIME NETWORK (RTN) OBSERVATIONS, UTM ZONE 17, NAD83 (CSRS) (2010.0).

DISTANCES ARE GROUND AND CAN BE CONVERTED TO GRID BY MULTIPLYING BY THE COMBINED SCALE FACTOR OF 0.99971505.

INTEGRATION DATA			
OBSERVED REFERENCE POINTS (ORPs): UTM ZONE 17, NAD83 (CSRS) (2010.0).			
COORDINATES TO URBAN ACCURACY PER SECTION 14 (2) OF OREG 216/10.			
POINT ID	EASTING	NORTHING	
ORP A	604 829.107	4 825 264.956	
ORP B	604 935.584	4 825 398.403	

COORDINATES CANNOT IN THEMSELVES, BE USED TO RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN.

LEGEND			
■	DEMOTES SURVEY MONUMENT FOUND	○	DEMOTES MAHOLE
□	DEMOTES IDENTIFIER SET	○	DEMOTES STORM MANHOLE
▣	DEMOTES STANDARD IRON BAR	○	DEMOTES WATER MANHOLE
▤	DEMOTES IRON BAR	○	DEMOTES HYDRO POLE
▥	DEMOTES IRON BAR	○	DEMOTES TELEPHONE PEDESTAL
▦	DEMOTES MEASURED	○	DEMOTES FIRE HYDRANT
▧	DEMOTES ORIGIN UNKNOWN	○	DEMOTES WATER VALVE
▨	DEMOTES IDENTIFIER	○	DEMOTES FLOOR ELEVATION
P1	DEMOTES REGISTERED PLAN 43M-437	○	DEMOTES DIAMETER OF TREE TRUNK IN METRES
P2	DEMOTES PARTIAL PLAN OF SURVEY	○	DEMOTES LOCAL BENCHMARK
P3	DEMOTES PARTIAL PLAN OF SURVEY	○	DEMOTES OVERHEAD HYDRO/PHONE CABLE
D1	DEMOTES INSTRUMENT NUMBER: 90105087	○	DEMOTES GAS PIPELINE
□	DEMOTES SINGLE CATCHBASIN	○	
○	DEMOTES GAS METER		

BENCHMARK

ELEVATIONS HEREON ARE GEODETIC AND ARE DERIVED FROM CITY OF MISSISSAUGA BENCHMARK No. 970, DESCRIBED AS A PLATE MOUNTED HORIZONTALLY IN THE CONCRETE PAD IN FRONT OF THE TRAFFIC LIGHT CONTROL BOX LOCATED AT THE NORTH-EAST CORNER OF THE INTERSECTION OF MISSISSAUGA ROAD AND EGLINTON AVENUE WEST, HAVING A PUBLISHED ELEVATION OF 148.702 METERS.

LOCAL BENCHMARK

CUT CROSS SET ON THE CONCRETE SIDEWALK, LOCATED APPROXIMATELY 4 METRES WEST FROM THE WESTERLY LIMIT OF THE PROPERTY HAVING AN ELEVATION OF 152.98 METRES.

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THAT THE LOCAL BENCHMARK HAVE NOT BEEN ALTERED OR DISTURBED AND THAT THE RELATIVE ELEVATIONS AND DESCRIPTIONS AGREE WITH THE INFORMATION SHOWN ON THIS PLAN.

BEFORE DIGGING, UNDERGROUND SERVICES SHOULD BE LOCATED ON SITE BY THE RESPECTIVE AGENCIES.

ALL CURB ELEVATIONS ARE FROM THE TOP OF CURB.
INDEX CONTOURS ARE AT 0.50m INTERVALS. INTERMEDIATE CONTOURS ARE AT 0.25m INTERVALS.

10 NOTES

A1.2 SCALE: DNS



Drawings must NOT be scaled. Contractor must check and verify all dimensions, specifications and drawings on site and report any discrepancies to the architect prior to proceeding with any of the work.

SURVEYOR'S REAL PROPERTY REPORT
PART 1 - PLAN OF SURVEY AND TOPOGRAPHY OF PART OF LOT 2 CONCESSION 4 WEST OF HURONTARIO STREET
(GEOGRAPHIC TOWNSHIP OF TORONTO) CITY OF MISSISSAUGA REGIONAL MUNICIPALITY OF PEEL

INFORMATION TAKEN FROM A SURVEY PREPARED BY:
J.D. BARNES LIMITED
ONTARIO LAND SURVEYORS
SEPTEMBER 23, 2013

METRIC
DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

SITE LEGEND:

- PROPERTY LINE
- EXISTING GRADE
- EXISTING GRADE
- F.F.E. FINISHED FLOOR ELEVATION
- F.B.E. FINISHED BASEMENT ELEVATION
- F.D.E. FINISHED DECK ELEVATION
- ▲ MAIN ENTRANCE
- ▲ SECONDARY ENTRANCE
- EXISTING STRUCTURES TO BE REMOVED
- BORE HOLE LOCATION & No. PER SOILS REPORT
- ROOF DOWNPOUT LOCATION, DISCHARGE ON 600MM O.C. GONG PAPER
- PROPOSED DIMENSIONS TO NEW STRUCTURES
- EXISTING DIMENSIONS TO EXISTING STRUCTURES
- NEW SUMP WITH DISCHARGE DIRECTION
- TREE HOARDING
- TREE NUMBER PER ARBOURIST REPORT
- EXISTING TREE TO REMAIN - DASHED LINE INDICATES TPZ (TREE PROTECTION ZONE PER ARBOURIST REPORT
- EXISTING TREE TO BE REMOVED
- EXISTING TREE TO BE REMAIN.

2	18.02.06	REISSUED FOR DARC
1	18.01.25	ISSUED FOR DARC
REV DATE:	DESCRIPTION:	
	NYMM/DD	
REVISIONS / ISSUANCE:		



HICKS DESIGN STUDIO
258 ROBINSON STREET, SUITE 200 OAKVILLE, ON CAN L6A 1G7
WWW.HICKSDESIGNSTUDIO.COM T.905.339.1212

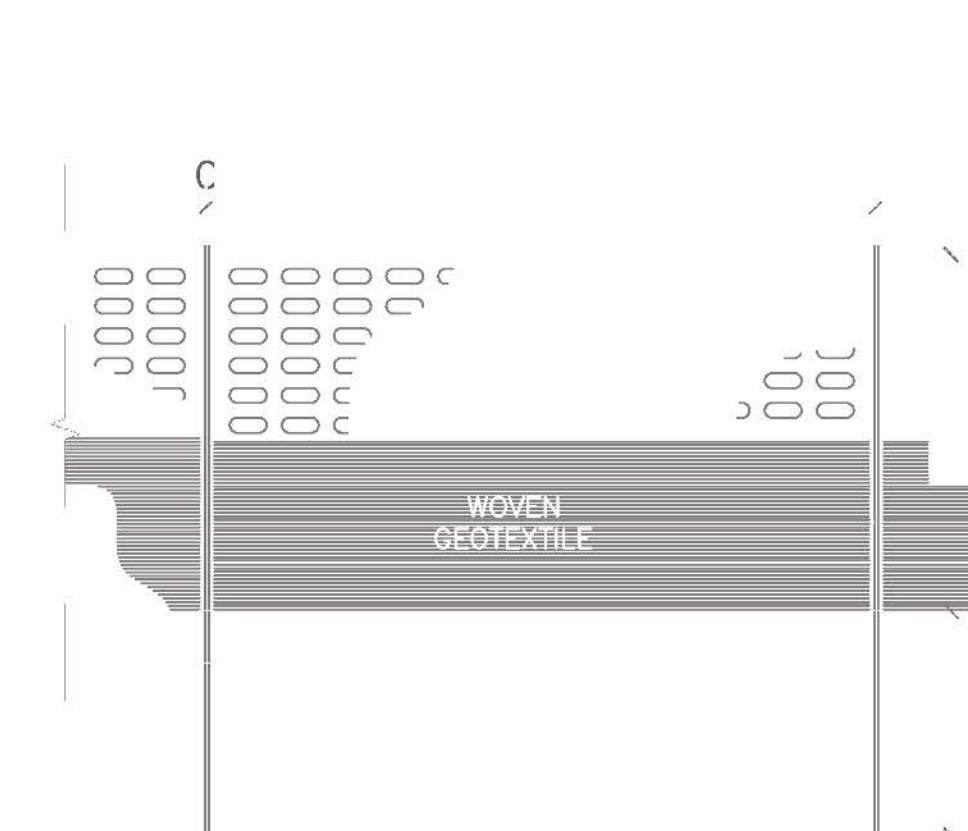
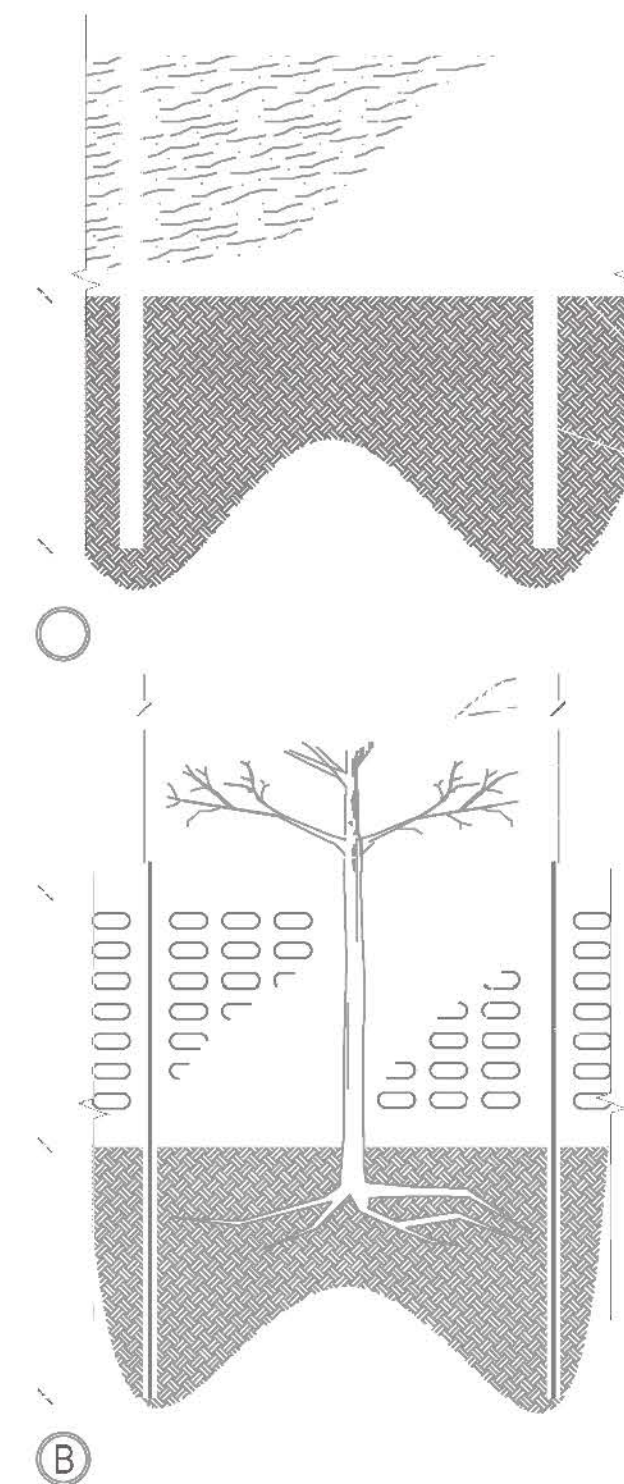
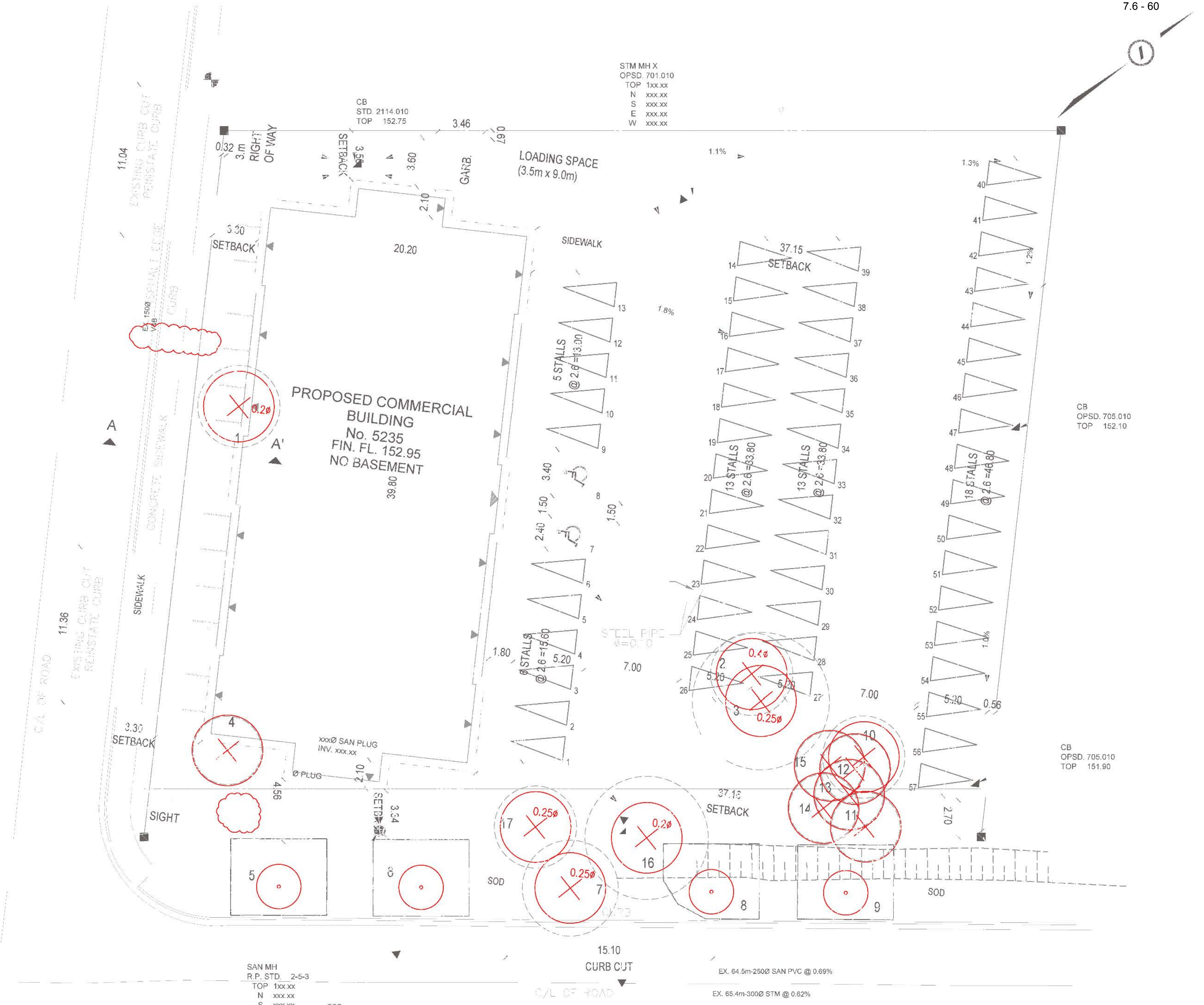
CLIENT:
**5235 MISSISSAUGA RD
PLAZA**

ADDRESS: 5235 MISSISSAUGA RD
CITY: MISSISSAUGA, ON

DRAWING TITLE:
SITE PLAN

DRAWN: T.K.
DATE: 17.11.27 SCALE: NOTED
JOB NUMBER: SHEET NUMBER:

17-142 A1.2

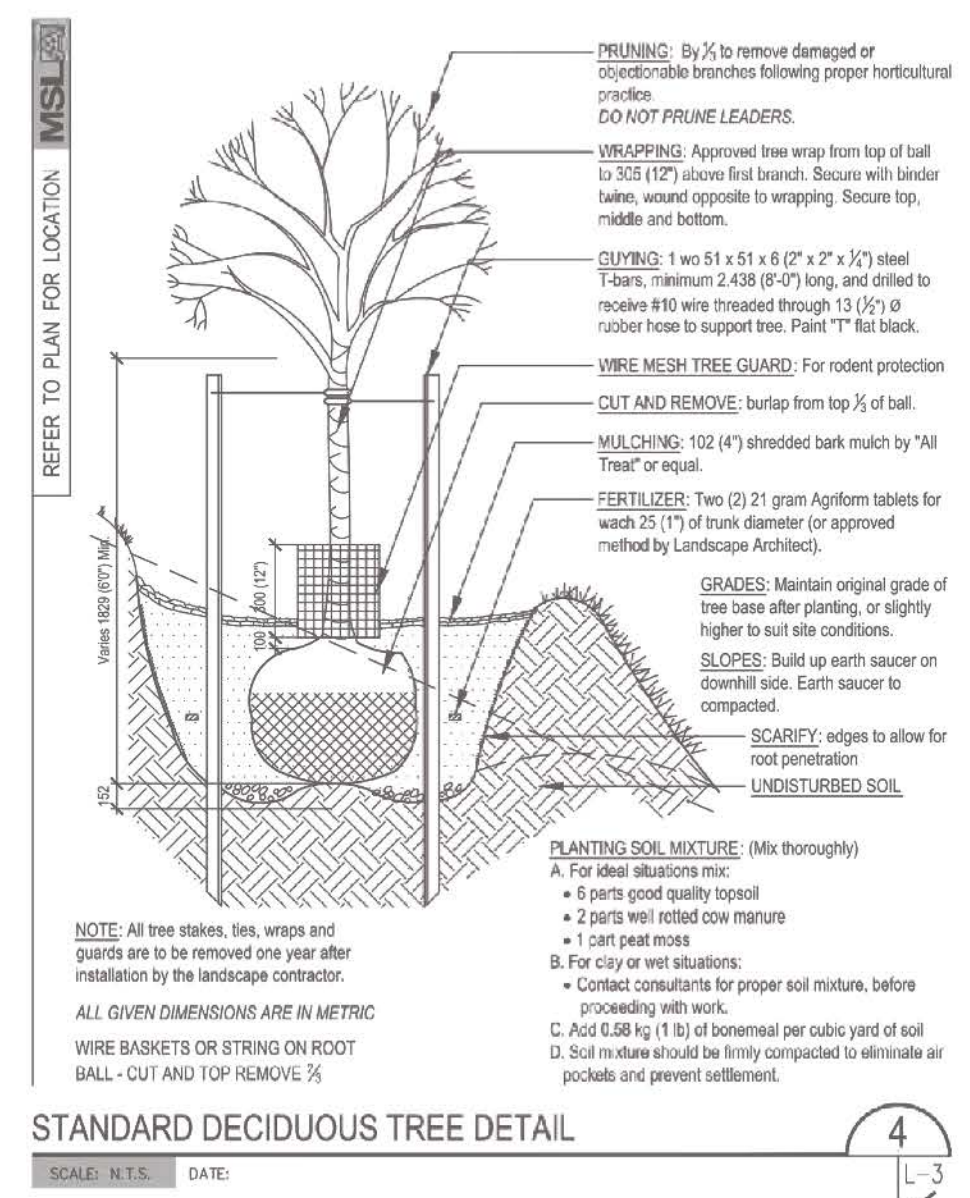


(D) SEDIMENT CONTROL HOARDING

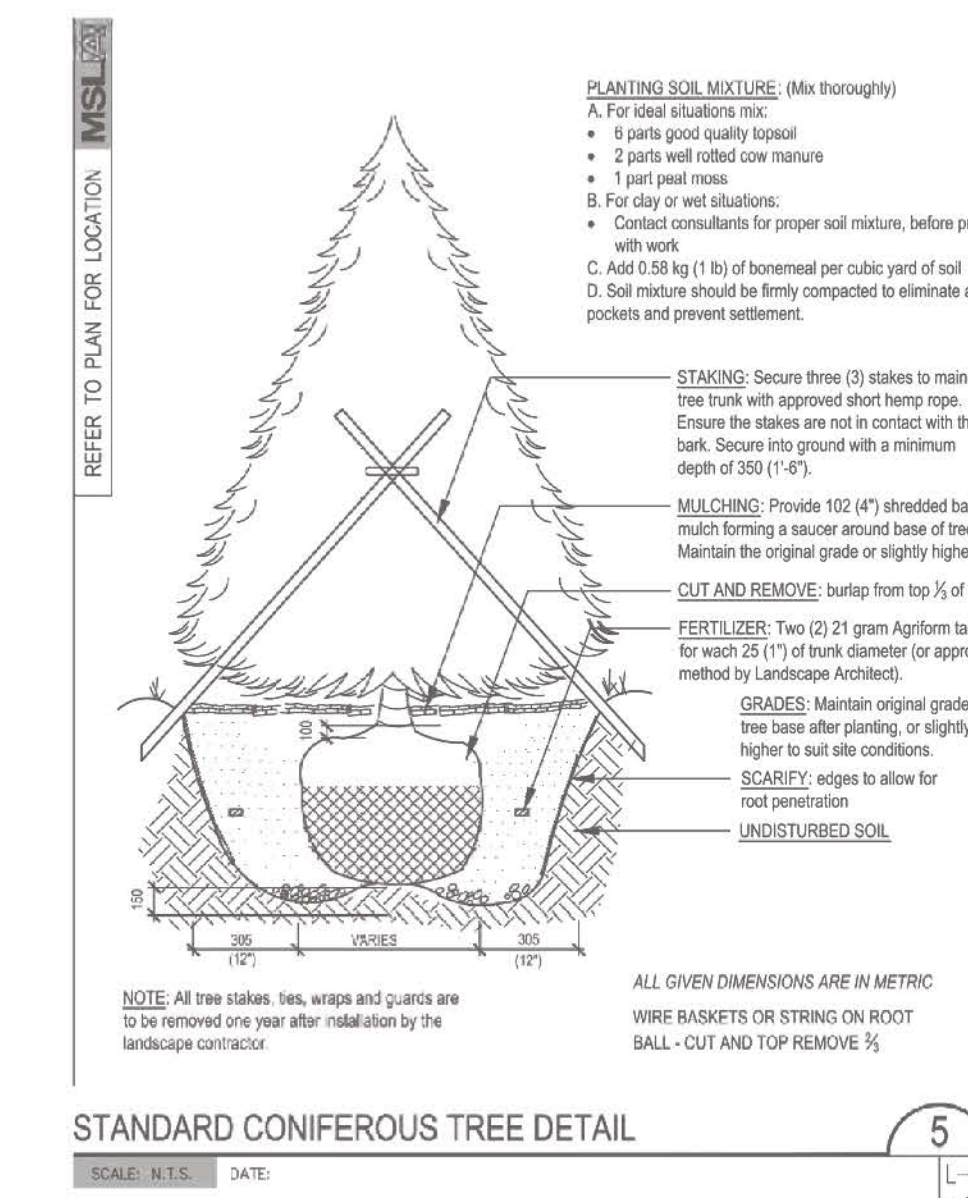
EROSION & SEDIMENT CONTROL NOTES:

HOARDING GENERAL NOTES:

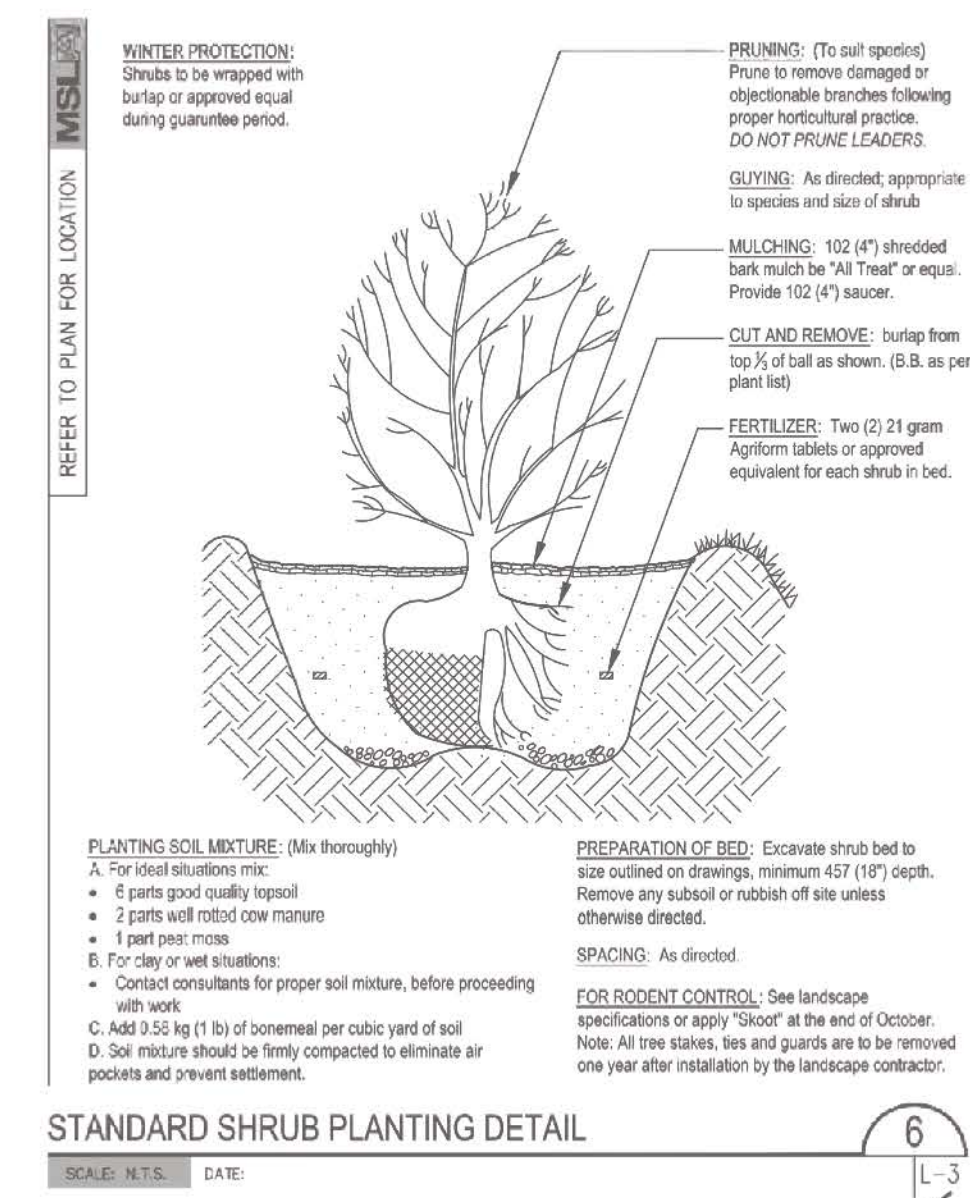
SCALE: 1:200



STANDARD DECIDUOUS TREE DETAIL
SCALE: N.T.S. DATE: _____



STANDARD CONIFEROUS TREE DETAIL
SCALE: N.T.S. DATE: _____



STANDARD SHRUB PLANTING DETAIL
SCALE: N.T.S. DATE: _____

2 HOARDING GENERAL NOTES
A.1.2 SCALE: DNS

Protection and Preservation of Existing Vegetation Note:

All existing trees (singles and groups) which are to remain shall be fully protected with hoarding erected beyond the drip line of the tree canopy to the satisfaction of the Planning and Building Department prior to the issuance of the building permit. Areas within the hoarding shall remain undisturbed and shall not be used for the storage of building materials and equipment.

The Planning and Building Department will inspect the hoarding of trees on private property, while the City Services Department will inspect the hoarding of public trees. Hoarding must remain in place until an inspection by the City and an appropriate removal time has been agreed upon.

The developer or agents shall take every precaution necessary to prevent damage to the existing vegetation to be retained. Where limbs or portions of trees are removed to accommodate construction, they will be removed in accordance with accepted arboriculture practice. Where root systems of protected trees adjacent to construction are exposed or damaged they shall be neatly trimmed and the area backfilled with appropriate material to prevent desiccation.

No open trenching shall occur through tree preservation zones (TPZ). Only directional boring can be used for service installation in these areas.

Where necessary, vegetation will be given an overall pruning to restore the balance between roots and top growth, or to restore its appearance.

Trees that have died or have been damaged beyond repair shall be removed and replaced at the owners' expense with trees of a size and species approved by the Planning and Building Department.

6	October 4 2018	Revised for Municipal Review	ML, JL
5	August 1 2018	Revised as per Grading and Servicing	ML, JL
4	July 27 2018	Revised as per Site Plan	ML, JL

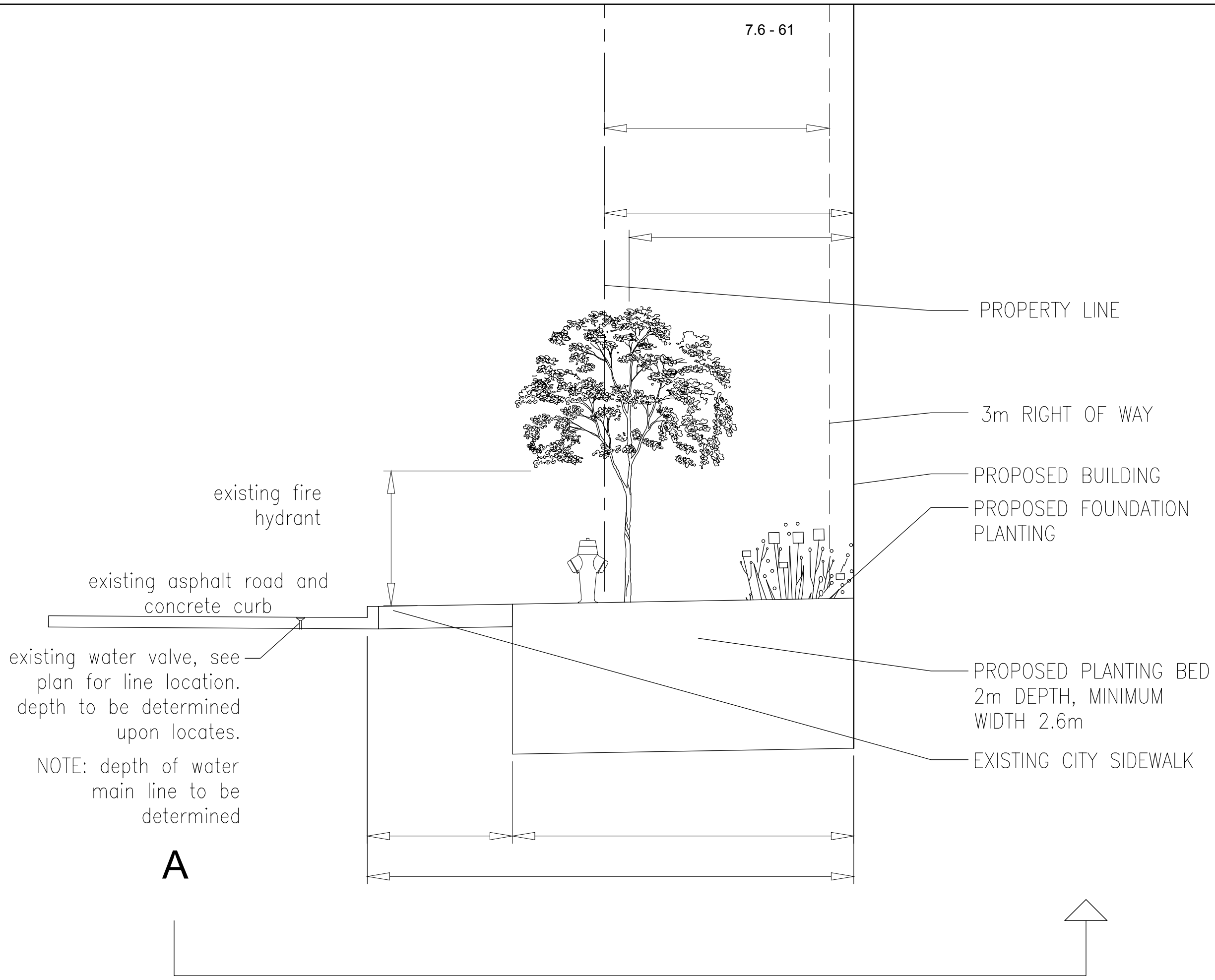
March 15 2018

LANDSCAPE ARCHITECTS
JOHN LLOYD
+ ASSOCIATES

209 Wicksteed Ave. #55, Toronto, ON M4G 0B1
1.416.778.9363
e.john@johnlloyd.ca
www.johnlloyd.ca

Address: _____
Scale: _____

7.6 - 61



PROPERTY LINE

3m RIGHT OF WAY

PROPOSED BUILDING

PROPOSED FOUNDATION PLANTING

PROPOSED PLANTING BED
2m DEPTH, MINIMUM
WIDTH 2.6m

EXISTING CITY SIDEWALK

existing fire hydrant

existing asphalt road and concrete curb

existing water valve, see plan for line location. depth to be determined upon locates.

NOTE: depth of water main line to be determined

A

- GENERAL NOTES
- Contractor to verify all dimensions and site conditions, and report any discrepancies to the Landscape Architect.
 - All works are to be laid out and staked for review and approval by the Landscape Architect before proceeding with construction.
 - Construction shall be undertaken to prevent damage to adjacent property. The contractor is responsible for damages on public or private property due to his own forces.
 - Contractor is responsible to ensure that waterproofing protection, insulation, and drains are in position, undamaged and uncontaminated, and to protect membrane from damage during construction.
 - Drawings are not to be scaled.
 - It is the responsibility of the contractor to ensure that separate conduits, adequate for both irrigation and landscape lighting are installed and marked during landscape construction, allowing access to all soft landscape areas on site.
 - It is the responsibility of the contractor to ensure the cleanliness of the site and structures to the satisfaction of the of the consultant. Maintain work in a neat and orderly condition at all times.

2	Oct 5/18	Revised for Municipal Review	M.L.	J.L.
1	August 2/18	For Client Review	M.L.	J.L.
No.	Date	Description	By	Chk

LANDSCAPE ARCHITECTS
JOHN LLOYD
+ ASSOCIATES

209 Icksteed Av .
t.416.778.9363
e.john@johnlloyd.ca
ww . lloyd .

Project:
5235 Mississauga Road Plaza

5235 Mississauga Road,
Mississauga, ON

Title:
Streetscape Section

Scale:	1:50	Sheet No.: LS-1
Drawn:	M.L.	
Checked:	J.L.	
Sheet Size:	11" x 17"	
Job No.:	18-103	

Arborist Report

5235 Mississauga Road
Mississauga, Ontario

July 27, 2018

Prepared for:

HDS | Hicks Design Studio Inc.
Attn: Bill Hicks
295 Robinson Street, Suite 200
Oakville, Ontario, Canada L6J 1G7

Prepared by:

Urban Forest Innovations Inc.
1331 Northaven Drive
Mississauga, ON L5G 4E8



Contents

Introduction	1
Field Observations	1
Results and Discussion	1
Conclusion	4
Appendix 1 – Tree Inventory	5
Appendix 2 – Selected Figures	7
Appendix 3 – Site Plans	9
Appendix 4 – Tree Protection Specifications	11
Limitations of Assessment	17

NB: This Arborist Report has been prepared using the latest drawings and information provided by the client and/or agents and may be intended for inclusion in a site plan approval or similar planning submission. Any subsequent design or site plan changes affecting trees may require revisions to this report. New drawings and information should be provided to UFI prior to report submission to municipal planning authorities.

Links (URLs) provided to web-based resources are current to the date of the report.

Introduction

Urban Forest Innovations Inc. (UFI) has been requested to prepare an arborist report for the proposed development at 5235 Mississauga Road, in Mississauga, Ontario. This report reviews the potential impacts of the proposed site works upon trees within or close to the limits of disturbance, and outlines required and recommended tree protection measures and regulatory requirements associated with the proposed development.

In total, 17 trees are addressed in this report. The tree inventory is provided in Appendix 1. Selected photographs are provided in Appendix 2. A tree protection plan is provided in Appendix 3.

This report should be read in conjunction with all other servicing, grading and landscaping plans prepared for the project.

Field Observations

Field observations were made on June 29, 2018, by Shane Jobber, ISA Certified Arborist ON-1746A. There was no construction activity on the site at the time of the field observations. Subject site trees and off-site trees within 6 meters of the potential limits of disturbance are included in the inventory. Tree diameter was measured at 1.4 metres above grade (DBH) and trees were assessed for health, structure and risk potential. A full explanation of tree assessment categories is included in Appendix 1 – Tree Inventory. No trees were tagged as part of this inventory.

Results and Discussion

This section of the report outlines the key issues related to the proposed works from an arboricultural and tree preservation perspective. Specific recommendations regarding tree protection are outlined. General recommendations are also provided in Appendix 4.

By-laws and Legislation

By-laws and legislation enacted by the City of Mississauga and/or the Province of Ontario regulate the injury or destruction of trees depending upon their location, size and other factors.

Private Tree Protection By-law

The City of Mississauga's Private Tree Protection By-law (0254-2012) regulates the injury and destruction of certain privately-owned trees. Pursuant to this by-law, removal or injury of more than 2 healthy trees with a diameter at breast height (dbh) of over 15 cm per calendar year requires a permit. Removal or injury of trees less than 15 cm in diameter, or removal or injury of one or two trees greater than 15 cm dbh per year does not require a permit.

Detailed information about the Private Tree Protection by-law can be found online at:

http://www.mississauga.ca/portal/residents/urbanforestry?paf_gear_id=9700018&itemId=300012

Boundary Trees – Ontario Forestry Act, R.S.O. 1990

The Provincial *Forestry Act, R.S.O. 1990* states:

10. (2) Every tree whose trunk is growing on the boundary between adjoining lands is the common property of the owners of the adjoining lands. 1998, c. 18, Sched. I, s. 21.

(3) Every person who injures or destroys a tree growing on the boundary between adjoining lands without the consent of the land owners is guilty of an offence under this Act. 1998, c. 18, Sched. I, s. 21.

1 inventoried tree (#16) appears to be growing on the boundary between the subject site and the adjacent municipal right-of-way.

Endangered, Rare or Protected Species

No endangered, rare or otherwise protected tree species were observed on or adjacent to the site.

General Work Plan

The proposed site works include the following activities:

- Demolition of existing hardscape materials, including site building and asphalt paving.
- Construction of a new site building, parking lot, sidewalks, and site entry.

Tree Removal

Tree removal is proposed to facilitate the proposed works. Recommendations for tree removal are based upon consideration of the anticipated impacts upon trees due to implementation of the proposed works, the immediate and forecasted health and structural condition of the tree, and the ability of the tree to make continued contributions to the newly modified landscape.

Site Works

The proposed works and associated landscape modifications will require the removal of 12 trees on and adjacent to the subject site:

- Privately-owned trees #1, 3, 4, 10, 11, 12, 13, 14, 15, and 17.
- Municipally-owned trees #7 and 16 (Figs. 2 & 3).

Condition

1 inventoried tree is recommended for removal for reasons unrelated to the proposed works:

- Tree #2 (Fig. 1), a multi-stemmed (35, 30, 15, 15 cm) eastern cottonwood (*Populus deltoides*), was assessed as in poor health and structural condition at the time of field observations and should be removed prior to the commencement of site works. Given the condition of the tree, permit exemption should be considered for its removal.

Tree Retention

All other trees addressed in this report are proposed for retention. This section outlines specific tree protection measures for retained trees. General tree protection recommendations and specifications are found in Appendix 4.

Tree Protection

Retained trees in proximity to the proposed works shall be protected behind tree preservation fencing that satisfies minimum required distances for each tree, as specified in Appendix 1, and in configurations as shown in Appendix 3. Fencing is to be established in advance of all proposed works, including but not limited to material and equipment delivery, staging and storage, hardscape destruction, excavation and groundbreaking work, and new construction activity.

Specifications for the establishment of protection fencing are outlined further in Appendix 4 – Section 4.2.1.1 (pg. 11).

Tree Injury

Retained trees may be subject to injury during the course of site works. Tree injury is understood to entail the encroachment of established Tree Protection Zones (TPZs), regardless of the extent of actual physical injury incurred by the tree to be retained.

In addition to tree protection fencing, trees designated for injury at the subject site require the implementation of the following additional tree protection strategies:

- **Root-Sensitive Excavation** – The Tree Protection Zone of tree #8 will be subject to excavation to enable construction of a new proposed curb and entryway to the site. All groundbreaking within the 3.5 m of the tree shall be preceded by root-sensitive excavation utilizing hand-digging. Excavations should be supervised by a Certified Arborist, who must be enabled to stop works if, during the course of excavation, significant structural or transport roots (greater than approximately 25 mm diameter) are encountered, in order to properly prune the roots. Specifications for root-sensitive excavation and root pruning are outlined in Appendix 4 – Sections 4.2.1.3 (pg. 14) and 4.2.1.4 (pg. 15).

Tree Risk and Required Tree Maintenance

At the time of inspection, there were no immediate risks posed by any trees on or adjacent to the subject site.

By-law and Permit Requirements

In total, 7 privately-owned trees greater than 15 cm dbh are proposed for removal:

- Trees #1, 2, 3, 4, 10, 15, and 17.

An *Application to Permit the Injury or Destruction of Trees on Private Property* and a *Tree Injury or Destruction Questionnaire and Declaration* may be required to enable the proposed removals and injuries.

The City's *Application to Permit the Injury or Destruction of Trees on Private Property* form can be found online at:

http://www7.mississauga.ca/documents/FormsOnline/Form_2205_Permit_Destroy_Trees.pdf

The City of Mississauga's *Tree Injury or Destruction Questionnaire and Declaration* form can be found online at: <http://www7.mississauga.ca/Documents/FormsOnline/2206.pdf>

Additionally, 3 municipally-owned trees are proposed for removal and injury:

- Trees #7 and 16, for removal.
- Tree #8, for injury.

The total number of replacement trees or payment to the Corporate Replacement Tree Planting Fund required as compensation for the removal and injury of City trees will be determined by the City of Mississauga.

Conclusion

There are 17 trees that may be affected by the proposed development at 5235 Mississauga Road, in Mississauga, Ontario. The proposed works will require the implementation of specific measures to ensure effective tree protection. 7 privately-owned by-law regulated trees (greater than 15 cm) will require removal to enable the proposed works. An *Application to Permit the Injury or Destruction of Trees on Private Property* and a *Tree Injury or Destruction Questionnaire and Declaration* will likely be required to enable the proposed removals. Additionally, 2 municipally-owned trees are proposed for removal and 1 municipally-owned tree is proposed for injury.

With the implementation of the recommendations provided in this report, no significant adverse effects are anticipated as a result of the proposed works upon the long-term health and condition of inventoried trees that have been designated for retention. It is important that good arboricultural practices be undertaken during the entire course of construction. No material storage or construction access shall take place within tree protection zones (TPZs); sensitive excavation and root pruning shall be undertaken, as required; and any necessary branch and/or root pruning shall be undertaken by an ISA Certified Arborist.

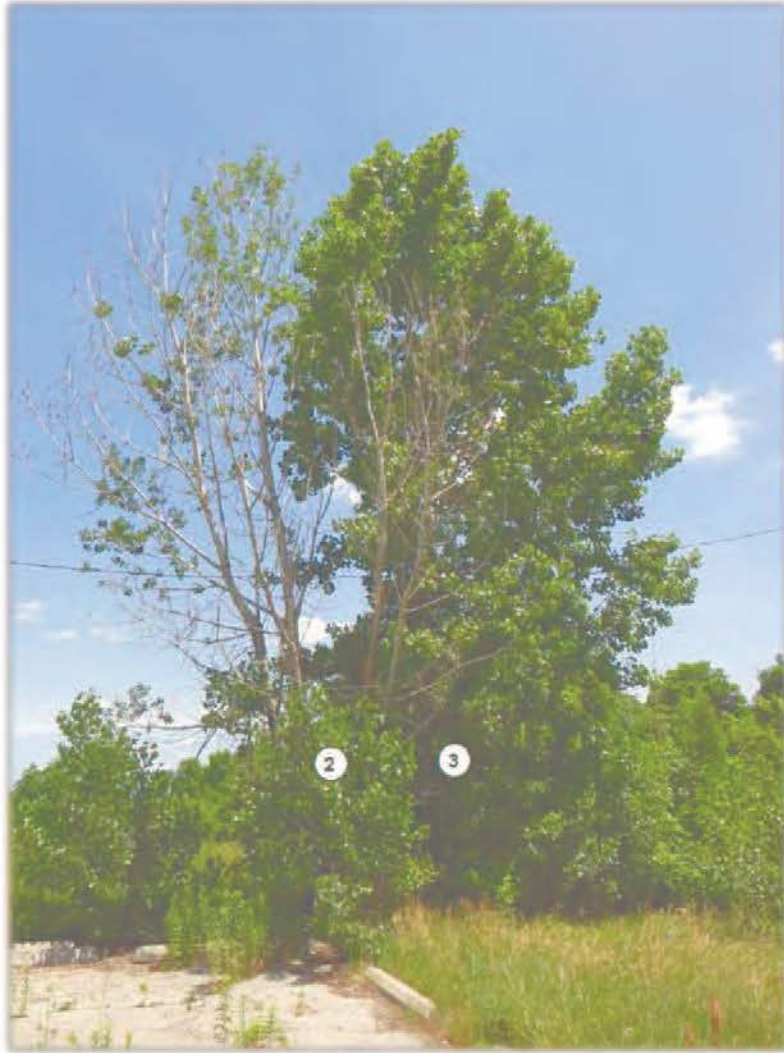
Appendix 1 – Tree Inventory

Table 1: Inventory of trees at 5235 Mississauga Road, Mississauga, Ontario. Tree assessments are based upon field observations undertaken on June 29, 2018, by S. Jobber (ISA Certified Arborist ON-1746AM). Attribute definitions are provided following the table, on page 6.

Tree	Common Name	Scientific Name	DBH	CW	TI	CS	CV	TPZ	Loc.	Rec.	Comments
1	Norway Maple	<i>Acer platanoides</i>	22	6	G	F	F/P	3.0	S	R	
2	Eastern Cottonwood	<i>Populus deltoides</i>	35,30,15,15	6	F	P	P	3.0	S	R-Cond.	
3	Eastern Cottonwood	<i>Populus deltoides</i>	35	10	G	G	G	5.0	S	R	
4	Colorado Spruce	<i>Picea pungens</i>	22	5	F	G	G	2.5	S	R	
5	Red Maple	<i>Acer rubrum</i>	12	7	G	F	F	3.5	M	P	Unsurveyed, location approximated.
6	Red Maple	<i>Acer rubrum</i>	12	7	F	F	F	3.5	M	P	Unsurveyed, location approximated.
7	Red Maple	<i>Acer rubrum</i>	12	7	F	F	F	3.5	M	R	
8	Red Maple	<i>Acer rubrum</i>	15	7	G	F	F	3.5	M	I	Unsurveyed, location approximated.
9	Red Maple	<i>Acer rubrum</i>	13	7	P	F	F	3.5	M	P	Unsurveyed, location approximated.
10	Siberian Elm	<i>Ulmus pumila</i>	25	6	G	F	G	3.0	S	R	Unsurveyed, location approximated.
11	Black Walnut	<i>Juglans nigra</i>	10	5	G	F	G	2.5	S	R	Unsurveyed, location approximated.
12	Black Walnut	<i>Juglans nigra</i>	12	5	G	F	G	2.5	S	R	Unsurveyed, location approximated.
13	Black Walnut	<i>Juglans nigra</i>	10	5	G	G	G	2.5	S	R	Unsurveyed, location approximated.
14	Black Walnut	<i>Juglans nigra</i>	10,10	5	G	F	G	2.5	S	R	Unsurveyed, location approximated.
15	Black Walnut	<i>Juglans nigra</i>	15	5	G	G	G	2.5	S	R	Unsurveyed, location approximated.
16	White Mulberry	<i>Morus alba</i>	25	9	G	F	G	4.5	M(B)	R	
17	Apple Species	<i>Malus</i> sp.	18	6	G	G	G	3.0	S	R	

Tree Inventory Codes

Species	The common and scientific names are provided for each tree.
Diameter at Breast Height (DBH)	The diameter of each tree, in centimetres, at breast height (1.4 m above grade).
Canopy Width (CW)	An estimation of the average diameter of the tree canopy, in metres.
Trunk Integrity (TI)	An assessment of the tree's trunk for any externally-visible defects or weaknesses. It is rated on an ascending scale of poor-fair-good.
Canopy Structure (CS)	An assessment of the tree's main scaffold branches and the canopy of the tree for defects or weaknesses visible from ground level. It is also rated on an ascending scale of poor-fair-good.
Canopy Vitality (CV)	An assessment of the general health and vigour of the tree, derived partly through a comparison of deadwood and live growth relative to a 100% healthy tree. The size and colour of foliage are also considered in this category. During the leaf-off season, the number and distribution of buds is an important determinant of canopy vitality. This indicator is also rated on an ascending scale of poor-fair-good.
Tree Protection Zone (TPZ)	The recommended tree protection zone radius, in metres, as measured from the base of the subject tree's main trunk.
Location (Loc.)	The location of the tree relative to the subject site: on the subject site (S), on neighbouring property (N), on municipal property (M), or on a property boundary (B).
Recommendation (Rec.)	The recommendation for each tree: Protect (P), Injure (I), Remove (R) and/or Maintenance Required (M). A dash (-) denotes trees to be preserved with no additional protection requirements.
Comments	Comments pertaining to the tree provided as needed.





Appendix 3 – Site Plans

Inclusions:

1. Tree Protection Plan (1 page)

Appendix 4 – Tree Protection Specifications

4.1 Scope and Purpose

This section outlines general recommendations for tree protection, and **not all recommendations may apply to the subject project**. Refer to the preceding sections for tree-by-tree recommendations. This section should be read in conjunction with the City of Mississauga’s various tree protection and site plan application guidelines and policies, including:

Private Tree Protection By-law (0254-2012):

<http://www.mississauga.ca/file/COM/treeprotection.pdf>

Tree Protection and Hoarding Requirements:

http://www.mississauga.ca/file/COM/tree_hoarding_req.pdf

Site Plan and Development Applications information:

http://www.mississauga.ca/portal/residents/urbanforestry?paf_gear_id=9700018&itemId=104803033n

Site Plan Application: Process Guidelines:

<http://www6.mississauga.ca/onlinemaps/planbldg/Manuals/ExternalGuidelines-SitePlan-2013August.pdf>

4.2 General Provisions

4.2.1 Tree Protection

Four important tree protection measures should be undertaken on the project site if trees are to be preserved in a manner which will maintain their health over the long term. These include:

1. Establishment of tree protection fencing and/or hoarding around adequately-sized Tree Protection Zones (TPZs) prior to the commencement of any construction activity;
2. Installation of root zone compaction protection where compaction may be caused by construction traffic or materials/equipment storage and staging;
3. Implementation of root-sensitive excavation wherever Tree Protection Zones (TPZs) or significant rooting areas may be encroached upon by excavation and/or grading, and;
4. Root pruning in advance of conventional excavation, on an as-needed basis.

4.2.1.1 Tree Protection Zones (TPZs)

The purpose of a Tree Protection Zone (TPZ) is to prevent root damage, soil compaction and soil contamination, and workers and machinery must not encroach upon Tree Protection Zones in any way.

To prevent access and ensure that the TPZ is effective, the following steps shall be implemented in the establishment of TPZ fencing and/or hoarding.

1. The locations of TPZs should be clearly identified on the project Site Plan. Typically, TPZs are to be shown as circles around tree location points, and are to be drawn to scale in accordance with the minimum required TPZ radius, as outlined in Appendix 1.
2. No groundbreaking activities or demolition should occur until all tree protection requirements have been met and the consulting arborist has confirmed the establishment of Tree Protection Zone fencing and/or hoarding.
3. Hoarding shall consist of 4' x 8' sheets of plywood lain lengthwise and supported using "L" shaped supports to prevent root damage. Hoarding shall be affixed to the frame in such a manner as to prevent removal of individual sections or movement of the entire hoarding structure. Construction fencing can be used where pedestrian or motorist sightlines may be obscured by solid hoarding. Framed construction fencing can also be used to frame large Tree Protection Zones or tree groups, with expressed prior approval of the City of Mississauga. Framed fencing must be supported by a solid 2" x 4" frame. Fencing and/or hoarding shall be maintained intact throughout the duration of the construction project, unless otherwise specified.
4. Upon installation, all tree protection fencing and/or hoarding must be approved by the City of Mississauga.
5. All fencing and/or hoarding is to remain in place in good condition throughout the entire duration of the project. No fencing and/or hoarding is to be removed, relocated or otherwise altered without the written permission of the City of Mississauga.
6. No grade change, excavation, or storage of fill, equipment or supplies is permitted within the TPZ at any time. Any encroachment of the TPZ shall not be undertaken without expressed written permission of the City of Mississauga. TPZ encroachment may constitute Tree Injury as defined by various municipal tree protection policies and by-laws, and may subject the responsible parties to prescribed penalties.
7. Signage similar to Figure 1, below, should be mounted on each side of TPZ fencing and/or hoarding immediately upon establishment and should be maintained for the duration of the project. Every sign should have minimum dimensions of 40 cm x 60 cm.
8. All contractors and supervisors should be informed of the tree protection requirements, including potential penalties, at a pre-construction meeting.
9. Trees and TPZs should be regularly monitored by a consulting arborist throughout the duration of the project.
10. If TPZ encroachment should occur at any time during construction, the consulting arborist should evaluate the trees immediately so that appropriate treatment can be performed in a timely manner.

TREE PROTECTION ZONE (TPZ)

Grade changes
Storage of equipment
Storage of materials
Entry

ARE STRICTLY PROHIBITED

*For further information contact City of Mississauga
Parks and Forestry Division, Tree Preservation and Protection*

Call 3-1-1

In areas where frequent non-vehicular access or longer-term materials storage in the root zone is anticipated, or in areas where additional measures must be implemented to ensure complete exclusion of excavation activity, a Horizontal Hoarding/Excavation Exclusion specification should be implemented, as described below:

- Installation of medium-weight non-woven geotextile fabric or landscape cloth over affected area;
- Installation of 3 stacked and joined courses of 4" x 4" timbers around the area to be protected (including cross-members or joists, as required to maintain structural integrity);
- Installation of wood chip mulch in entire protected area, and;
- Installation of 2 layers of ¾" plywood or 1 steel plate over the protected area.

In areas where vehicular access or severe potential root zone compaction are anticipated, such as site access roads, temporary parking areas or heavy machine staging areas, a more robust Heavy Root Zone Compaction Protection specification should be developed and implemented on a site-specific basis. Key elements of such a specification may include multiple steel plates over load-dissipating materials, or modular geocellular systems such as Permavoid ArborRaft.

4.2.1.3 Root-sensitive Excavation

Efforts should be made to exclude excavation or grade changes, including cutting or filling, from all TPZs. Where this is not possible, and unless otherwise specified, excavation shall utilize a root-sensitive methodology such as hand-digging, hydrovac or pneumatic (e.g., AirSpade) soil excavation, as specified in the arborist report.

Root-sensitive excavation must be conducted in advance of excavation using conventional excavation machinery. The objective of root-sensitive excavation is twofold: 1) to determine whether roots will be present beneath areas to be excavated and therefore determine the likely extent of damage to trees to be retained, and 2) to enable proper root pruning, as described below.

Unless otherwise specified, root-sensitive excavation typically entails creating a trench approximately 200-300 mm wide between the subject tree (e.g., outside the established TPZ) and the area to be excavated, without damaging existing significant roots. Unless otherwise specified, root-sensitive excavation should be undertaken to a minimum depth of 800 mm, unless excavation is proposed to a shallower final depth. If excavation is for exploratory reasons and root pruning is not anticipated, equipment utilized during root-sensitive excavation should be operated at reduced pressures to prevent damage to root bark.

No excavation, whether undertaken by conventional or root-sensitive means shall take place within established tree protection zones without expressed written permission of the City of Mississauga.

4.2.1.4 Root Pruning

Root pruning can help reduce the stresses experienced by a tree with root damage, encourage the growth of new fine and feeder roots, and prevent the spread of decay. Root pruning should be undertaken in conjunction with root-sensitive excavation in advance of conventional excavation, or immediately afterwards if unexpected roots are encountered. Root pruning should only be undertaken by an ISA Certified Arborist, and in the manner outlined below:

1. Roots that are severed, exposed, or diseased and are greater than 2.0 cm in diameter should be properly pruned. All roots must be pruned with clean and sharp hand tools only. Shovels, picks or other construction tools shall not be used to prune roots. Wound dressings or pruning paint must not be used to cover the ends of any cut.
2. Roots should be pruned in a similar fashion as branches, taking care to maintain the integrity of the root bark ridge. Root should be pruned back to native soil; root stubs must not be left upon completion of root pruning.
3. Prolonged exposure of tree roots must be avoided – exposed roots should be covered and kept moist with soil, mulch, irrigation, or at least moistened burlap if they are to be exposed for longer than 3 hours. All cut roots should be covered with soil or excavated trenches should be backfilled with native material as soon as possible following root pruning.

4.2.1.5 Crown Pruning

During the course of project works, the branches of retained trees may be in conflict with construction, including machinery, infrastructure, buildings. Clearance may require pruning of interfering tree branches. Where any project works may result in unavoidable conflict with and potential damage to tree branches, clearance pruning should be performed. All necessary pruning must be conducted in an arboriculturally-correct manner by an ISA Certified Arborist; *trades workers must not be involved in any tree-related work.*

Any branches found to be in conflict with construction access should be tied back on a temporary basis, taking care to avoid constricting knots and bark friction/stripping. If branches cannot be safely tied back without breaking, pruning should be performed by a Certified Arborist, as necessary.

Permanent

4.2.2 Post-construction Care

The following recommendations should be implemented upon completion of construction to ensure that the health and condition of retained and newly-planted trees is maintained and improved.

4.2.2.1 Retained Trees

1. Trees which have been retained through the construction process should be regularly monitored by an ISA Certified Arborist for signs of construction-induced stress, which may not be apparent until 3-6 years after site disturbance.
2. Wherever possible, root zone amelioration including watering and mulching should be undertaken. However, treatments such as fertilization should be avoided unless directly specified by the project consulting arborist.
3. Any physical damage to retained trees should be assessed by the project consulting arborist and properly mitigated, as required. If necessary, broken limbs or exposed roots should be pruned, damaged bark should be traced, and soil decompaction and/or decontamination should be undertaken by an ISA Certified Arborist. Stability of trees with significant root zone disturbance should be assessed, and advanced stability assessment or mitigation should be implemented if necessary.

4.2.2.2 New Trees

1. All newly planted trees and shrubs should be provided with a bed of composted woodchip mulch 10-15 cm thick, extending to at least the dripline of the plant. Mulch should be periodically replaced as it decomposes, and weeds should be removed from the mulch bed manually. The mulch must not touch the bark of the tree and under no circumstances should it be mounded up against the stem in a “volcano” style. This is especially damaging for young trees with thin bark.
2. All new plantings should be watered at least once per week during the growing season within the first two years after planting. Watering intensity should be increased during periods of drought. Watering should be deep and slow, ensuring that water penetrates to deep roots. Trees should not be watered directly adjacent to the trunk, but rather in a circular pattern extending from the trunk to at least the dripline. The soil should be allowed to dry in between watering periods to allow air to reach the roots.
3. Minimal pruning should be undertaken in the first two years after planting. Foliage should be retained to allow for the roots to establish. Only dead, crossing and broken branches should be pruned back to an appropriate pruning point at the time of planting.
4. New plantings should be inspected in the second year to assess health and condition. Dead or dying plants should be replaced in the next appropriate planting season.

Limitations of Assessment

It is our policy to attach the following clause regarding limitations. We do this to ensure that the client is aware of what is technically and professionally realistic in assessing and retaining trees.

The assessment(s) of the tree(s) presented in this report has been made using accepted arboricultural techniques. These may include, among other factors, a visual examination of: the above-ground parts of the tree(s) for visible structural defects, scars, external indications of decay such as fungal fruiting bodies, evidence of pests or pathogens, discoloured foliage, the condition of any visible root structures, the degree and direction of lean (if any), the general condition of the tree(s) and the surrounding site, and the proximity of property and people. Except where specifically noted, the tree(s) was not cored, probed, climbed or assessed using any advanced methods, and there was no detailed inspection of the root crown(s) involving excavation.

Notwithstanding the recommendations and conclusions made in this report, it must be recognized that trees are living organisms, and their health and vigour constantly change over time. They are not immune to changes in site or weather conditions, or general seasonal variations. Weather events such as wind or ice storms may result in the partial or complete failure of any tree, regardless of assessment results.

While reasonable efforts have been made to accurately assess the overall condition of the subject tree(s), no guarantee or warranty is offered, expressed or implied, that the tree(s) or any of its parts will remain standing or in stable condition. It is both professionally and practically impossible to predict with absolute certainty the behaviour of any single tree or its component parts, regardless of the assessment methodology implemented. Inevitably, a standing tree will always pose some level of risk. Most trees have the potential for failure under adverse weather conditions, and the risk can only be eliminated if the tree is removed.

Although every effort has been made to ensure that this assessment is reasonably accurate, the tree(s) should be re-assessed periodically. The assessment presented in this report is only valid at the time of inspection.

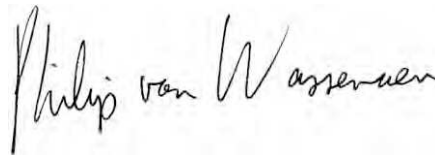
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**Ontario Heritage Act****ONTARIO REGULATION 9/06****CRITERIA FOR DETERMINING CULTURAL HERITAGE VALUE OR INTEREST**

Consolidation Period: From January 25, 2006 to the e-Laws currency date.

No amendments.

This is the English version of a bilingual regulation.

Criteria

1. (1) The criteria set out in subsection (2) are prescribed for the purposes of clause 29 (1) (a) of the Act. O. Reg. 9/06, s. 1 (1).

(2) A property may be designated under section 29 of the Act if it meets one or more of the following criteria for determining whether it is of cultural heritage value or interest:

1. The property has design value or physical value because it,
 - i. is a rare, unique, representative or early example of a style, type, expression, material or construction method,
 - ii. displays a high degree of craftsmanship or artistic merit, or
 - iii. demonstrates a high degree of technical or scientific achievement.

2. The property has historical value or associative value because it,
 - i. has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community,
 - ii. yields, or has the potential to yield, information that contributes to an understanding of a community or culture, or
 - iii. demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.

3. The property has contextual value because it,
 - i. is important in defining, maintaining or supporting the character of an area,
 - ii. is physically, functionally, visually or historically linked to its surroundings, or
 - iii. is a landmark. O. Reg. 9/06, s. 1 (2).

Transition

2. This Regulation does not apply in respect of a property if notice of intention to designate it was given under subsection 29 (1.1) of the Act on or before January 24, 2006. O. Reg. 9/06, s. 2.



MAX ID: 381

Legal Description: PLAN F20 LOT 36

Address: 411 LAKESHORE RD E

Owner Information:

411 LAKESHORE RD E, MISSISSAUGA ON L5G 1H8

Heritage Status: LISTED ON THE HERITAGE REGISTER BUT NOT DESIGNATED

Heritage Bylaw: **Date:**

Conservation Dist:

Designation Statement:

Heritage Inventory Details

Property Description: CONTEMPO GAS STATION

Inv. #	Yr. of Construction	Decade	Demolished?	Yr. of Demolition	Arch.Boneyard
448		1950	No		No

Type: COMMERCIAL

Area: PORT CREDIT

Reason: ARCHITECTURAL/HISTORICAL

Style: FIFTIES CONTEMPO

History: This commercial property was originally built as a gas station. It is a one storey structure, with its towering sign board to display the Texaco name, was designed to fit this suburban intersection with its flat, blunt corner facing toward Shaw and Lakeshore Road. Originally in a stucco finish, the building has been covered for some time in white enameled metal panels. There is only one other example of this type of structure left within Mississauga, however, this building is by far the most original and well preserved of the two.



City of Mississauga
Memorandum



Date: 2018/11/19
To: Chair and Members of Heritage Advisory Committee
From: Megan Piercey, Legislative Coordinator
Meeting Date: 2019/01/08
Subject: 2019 Community Heritage Ontario Membership Renewal

The Community Heritage Ontario Membership Renewal for 2019 is due. Community Heritage Ontario is an incorporated, province-wide organization of Municipal Heritage Committees (MHCs). It serves its members as an “umbrella” organization, providing heritage preservation support, publications, workshops and an annual conference.

Over the past few years, the Committee has renewed the MHC membership and the renewal for 2019 is due. The Committee’s decision is required as to whether or not it wishes to continue this membership at a cost of \$75.00.

Attachments

Appendix 1: CHO Membership

Megan Piercey
Legislative Coordinator
Legislative Services, Office of the City Clerk
300 City Centre Drive, Mississauga, ON L5B 3C1
(905) 615-3200 ext. 4915
megan.piercey@mississauga.ca



Community Heritage Ontario Patrimoine communautaire de l'Ontario

Serving Ontario's Municipal Heritage Committees

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- [Conferences](#)
- [Education](#)
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Why Join CHO?

CHO has the capacity to pull together information, from all levels of Government, regions of the Province, Municipalities, Historians, Archaeologists and Architects.

Heritage issues require, on the most part, timely decision making, with maximum factual and usefull information. We do this through workshops, conferences, past and current municipal experiences and local and global Tourism and Cultural trends. This latter information is particularly usefull when groups need to develop a "business plan", as part of their submission for an "adaptive re-use" of a property.

Our quarterly publication "CHOnews" provides our membership with informative articles that can assist in the planning and execution of heritage matters, as well as communication of ideas and suggestions that MHCs may find useful, in order to be pro-active.

Membership Rates (per year) MHCs \$75 Individual \$35 School/Student \$35
 Corporate \$100 (includes 4 business cards ads in CHOnews)

To register please print, complete and return our [membership form](#) . To pay online use the link below.

ANNUAL FEES

MHC \$75.00 CAD

Buy Now



Name *

Email Address *

Name of MHC if applicable

Message *



City of Mississauga
Memorandum



Date: 2018/11/19
To: Chair and Members of Heritage Advisory Committee
From: Megan Piercey, Legislative Coordinator
Meeting Date: 2019/01/08
Subject: 2019 Heritage Advisory Committee Meeting Schedule

The 2019 meeting dates for the Heritage Advisory Committee (HAC) have been scheduled as follows:

Tuesday, January 8, 2019
Tuesday, February 5, 2019
Tuesday, March 5, 2019
Tuesday, April 9, 2019
Tuesday, May 7, 2019
Tuesday, June 4, 2019
Tuesday, July 9, 2019
Tuesday, September 10, 2019
Tuesday, October 8, 2019
Tuesday, November 5, 2019

Unless otherwise advised, all meetings will be held at 9:30 AM at the Mississauga Civic Centre in the Council Chamber – 300 City Centre Drive, Mississauga L5B 3C1.

Meetings may be cancelled at the call of the Chair due to insufficient agenda items or lack of quorum.

Please kindly contact the Legislative Coordinator in advance of the meeting if you will be absent or late so that quorum issues can be anticipated and dealt with accordingly.

Megan Piercey
Legislative Coordinator
Legislative Services, Office of the City Clerk
300 City Centre Drive, Mississauga, ON L5B 3C1
(905) 615-3200 ext. 4915
megan.piercey@mississauga.ca