
Heritage Advisory Committee

Date

2018/11/13

Time

9:30 AM

Location

Civic Centre, Council Chamber,
300 City Centre Drive, Mississauga, Ontario, L5B 3C1

Members

Councillor George Carlson, Ward 11 (Chair)
Rick Mateljan, Citizen Member (Vice-Chair)
Councillor Carolyn Parrish, Ward 5
Michael Battaglia, Citizen Member
Elizabeth Bjarnason, Citizen Member
Robert Cutmore, Citizen Member
Lindsay Graves, Citizen Member
James Holmes, Citizen Member
Cameron McCuaig, Citizen Member
Melissa Stolarz, Citizen Member
Matthew N. Wilkinson, Citizen Member

Contact

Megan Piercey, Legislative Coordinator, Legislative Services
905-615-3200 ext. 4915
megan.piercey@mississauga.ca

NOTE: To support corporate waste reduction efforts the large appendices in this agenda can be viewed at:
<http://www.mississauga.ca/portal/cityhall/heritageadvisory.ca>

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-
1. CALL TO ORDER
 2. APPROVAL OF AGENDA
 3. DECLARATION OF CONFLICT OF INTEREST
 4. MINUTES OF PREVIOUS MEETING
 - 4.1. Approval of Minutes of September 11, 2018 Meeting
 5. DEPUTATIONS
 6. PUBLIC QUESTION PERIOD - 15 Minute Limit (5 Minutes per Speaker)

Pursuant to Section 42 of the Council Procedure By-law 0139-2013, as amended the Heritage Advisory Committee may grant permission to a member of the public to ask a question of the Committee with the following provisions:

 1. The question must pertain to a specific item on the current agenda and the speaker will state which item the question is related.
 2. A person asking a question shall limit any background explanation to two (2) statements, followed by the question.
 3. The total speaking time shall be five (5) minutes maximum per speaker.
 7. MATTERS TO BE CONSIDERED
 - 7.1. Request to Demolish a Heritage Listed Property: 1219 Ravine Drive (Ward 2)
 - 7.2. Request to Alter a Heritage Designated Property: 26 Bay Street (Ward 1)
 - 7.3. Request to Alter a Heritage Designated Property: 119 and 121 Lakeshore Road West (Ward 1)
 - 7.4. Request to Alter a Heritage Designated Property: 57 Port Street (Ward 1)
 - 7.5. Request to Alter a Heritage Designated Property: 7079 Pond Street (Ward 11)
 8. SUBCOMMITTEE UPDATES
 9. INFORMATION ITEMS
 - 9.1. Alteration to a Listed Property: 1352 Nocturne Court (Ward 2)
 - 9.2. Alteration to a Listed Property: 500 Comanche Road (Ward 2)

10. OTHER BUSINESS
11. DATE OF NEXT MEETING
12. ADJOURNMENT

City of Mississauga Minutes



Heritage Advisory Committee

Date

2018/09/11

Time

9:30 AM

Location

Civic Centre, Council Chamber,
300 City Centre Drive, Mississauga, Ontario, L5B 3C1 Ontario

Members Present

Councillor George Carlson, Ward 11 **(Chair)**
Councillor Carolyn Parrish, Ward 5
Michael Battaglia, Citizen Member
Elizabeth Bjarnason, Citizen Member
Robert Cutmore, Citizen Member
Lindsay Graves, Citizen Member
James Holmes, Citizen Member
Cameron McCuaig, Citizen Member
Matthew N. Wilkinson, Citizen Member

Members Absent

Rick Mateljan, Citizen Member **(Vice-Chair)**

Staff Present

Joe Muller, Supervisor, Heritage Planning
Paula Wubbenhorst, Heritage Planner, Culture Division
Brooke Herczeg, Heritage Analyst
Mumtaz Alikhan, Legislative Coordinator

Find it online

<http://www.mississauga.ca/portal/cityhall/heritageadvisory>

1. CALL TO ORDER – 9:32 am
2. APPROVAL OF AGENDA
APPROVED (J. Holmes)
3. DECLARATION OF CONFLICT OF INTEREST – Nil.
4. MINUTES OF PREVIOUS MEETING
- 4.1. Approval of Minutes of July 10, 2018
APPROVED (Councillor C. Parrish)
- 4.2. Amendment to Heritage Advisory Committee Minutes of April 10, 2018
APPROVED (Councillor C. Parrish)
5. DEPUTATIONS – Nil.
6. PUBLIC QUESTION PERIOD - Nil
7. MATTERS TO BE CONSIDERED
- 7.1. Request to Alter a Heritage Designated Property: 39 Peter Street South (Ward 1)

R. Cutmore expressed concern that the proposal is for an attached garage which will obliterate the set back to the neighbouring property and is contrary to the detached garages that exist in the neighbourhood. He said he has spoken to several neighbours of the subject property who were similarly concerned and felt that a detached garage could more appropriately be located in the side yard on the other side of the property which has enough room for appropriate setbacks. He also noted that the setback from the proposal will infringe even more on the neighbour to the rear of the subject property. Mr. Cutmore noted however that he does not object to a garage or the modifications to the house but if this is approved, there will be a lot of unhappy residents in the neighbourhood.

Paula Wubbenhorst, Heritage Planner, advised that there is a Committee of Adjustment Application being heard within the next few days. She said that the staff were recommending approval based on the Port Credit Heritage Conservation Plan Section 2.2.5.3.

Joe Muller, Supervisor, Heritage Planning, stated that the new Port Credit Heritage Conservation District Plan (Plan), does not speak to mandating a specific garage type. He said the new Plan has not been approved by Council due to an outstanding appeal

with the Local Planning Appeal Tribunal. He advised that objections to the proposal from neighbouring residents have not been received by staff. He further noted that after consultation with the neighbour most impacted, the design for the proposed garage had been reduced in size and relocated from the original plan submitted.

Antoine Musiol, Resident, spoke to the preference for the garage to be located on the side-yard on the opposite side of the subject property.

After further discussion, the Committee agreed to approve the staff recommendation with the proviso that it is not an endorsement of the setbacks which fall under the purview of the Committee of Adjustment, and that this caveat be conveyed to that Committee accordingly.

RECOMMENDATION

HAC-0072-2018

1. That the proposed alteration to the property located at 39 Peter Street South, as per the Corporate Report from the Commissioner of Community Services, dated August 10, 2018, be approved with the proviso that it is not an endorsement of the proposed setbacks but of the overall design and layout.
2. That if any changes result from other City review and approval requirements, such as but not limited to building permit, committee of adjustment or site plan approval, a new heritage permit application may be required. The applicant is required to contact heritage planning at that time to review the changes prior to obtaining other approvals and commencing construction.

APPROVED (Councillor C. Parrish)

8. SUBCOMMITTEE UPDATES

8.1. Heritage Designation Sub-Committee – Nil.

8.2. Public Awareness Sub-Committee - Nil

M. Wilkinson spoke to a display of the Heritage Advisory Committee at an event held at the Victory Hall in Malton on September 8, 2018 which was well attended.

9. INFORMATION ITEMS

9.1. Conserving Heritage Landscapes Project

Ms. Wubbenhorst spoke to the long overdue review of Mississauga's cultural landscapes. She advised that the public will have the opportunity to provide input online and through stakeholder workshops commencing with the first *Big Ideas Meeting* to be held on September 29, 2018. She noted that it will be a two phase project with the first one reviewing ten landscapes that are witnessing increased development, followed by the remainder of the inventory to be reviewed and/or added to in 2019.

Ms. Wubbenhorst invited Members of the Committee to attend the sessions.

RECOMMENDATION

HAC-0073-2018

That details with respect to the review of Mississauga's cultural landscapes provided to the Heritage Advisory Committee at its meeting held on September 11, 2018, entitled *Conserving Heritage Landscapes Project*, be received for information.

RECEIVED (M. Battaglia)

10. OTHER BUSINESS

M. Wilkinson spoke to the upcoming Heritage Mississauga Awards and noted that nominations, specifically for contributors to architecture and restorations, are being sought.

11. DATE OF NEXT MEETING - November 13, 2018

12. ADJOURNMENT – 10:26am

City of Mississauga

Corporate Report



Date: 2018/10/18

To: Chair and Members of Heritage Advisory Committee

From: Paul Mitcham, P. Eng, MBA, Commissioner of
Community Services

Originator's files:

Meeting date:
2018/11/13

Subject

Request to Demolish a Heritage Listed Property: 1219 Ravine Drive (Ward 2)

Recommendation

That the property at 1219 Ravine Drive, which is listed on the City's Heritage Register, is not worthy of heritage designation, and consequently, that the owner's request to demolish proceed through the applicable process as per the Corporate Report from the Commissioner of Community Services, dated October 18, 2018.

Background

Section 27.3 of the *Ontario Heritage Act* states that structures or buildings on property listed on the City's Heritage Register cannot be removed or demolished without at least 60 days' notice to Council. This legislation allows time for Council to review the property's cultural heritage value to determine if the property merits designation.

There has been no redevelopment proposal but the owners wish to sell the property with no encumbrances.

The owner of the subject property has submitted a heritage permit application to demolish the existing detached dwelling. The subject property is listed on the City's Heritage Register.

Comments

The applicant has provided a Heritage Impact Assessment (HIA) compiled by Built Heritage Consultant Megan Hobson, her report is attached as Appendix 1. The consultant has concluded that the house at 1219 Ravine Drive is not worthy of designation.

Of note, the information in the HIA reveals, "the period of significance is from 1922-1944 when the Livesay Family lived on the property." A cottage was constructed by John Fredrick Bligh (JFB) in 1922 and a later addition was added in 1929 which is when the house became a permanent residence for the family. The Livesay family is significant because of their literary

contributions in Canada during the mid to late 20th century. “JFB was a journalist and was the first General Manager of the Canadian Press as well as a war correspondent during World War I and his wife, Florence Randal was also a journalist and translator of Ukrainian poetry.” However their daughter, Dorothy was the most prominent of the family, winning the Governor General’s Prize for poetry in 1944 and 1947 and an Order of Canada in 1987 to name a few of her accolades.

The house was designed by JFB although he had no formal architectural training. The interior elements hint at the Arts & Crafts movement and are at odds with the architectural vernacular of the Georgian exterior. Elements described in the HIA are the, “Georgian doors, copied directly from an Irish source, the plaster walls, salvaged ceiling timbers, hardwood floors, parquet work, simple brick fireplace surrounds and natural stones inset above the mantel.” The house maintains its original orientation but later additions explain the ad hoc nature of its evolution. Stylistic details of the house are simplistic and do not contribute to the architectural value of the property. The HIA states, “they are well executed but do not demonstrate a high degree of craftsmanship.” Staff agree with this statement.

The HIA concludes that the “buildings located on the subject property do not have sufficient architectural value to warrant protection from alteration or demolition. Because this is a private residential lot in a suburban subdivision, the contextual values that have been identified are not values that can be shared by the community. The historical values that have been identified have local significance and can be retained through commemoration and interpretation at a more publicly accessible location within the Clarkson community.” Staff agrees with this evaluation of the property’s cultural heritage value.

Staff finds that while the property is of cultural interest due to its contextual value it has undergone alterations that have taken away from its physical value and the Livesay family is not intrinsically linked to the surrounding community. Therefore, Staff finds that there is insufficient evidence to recommend designation at this time.

The Heritage Impact Assessment will sufficiently act as a Documentation Report. Staff concur with the recommendations provided by Megan Hobson and advise that they are followed:

1. That this property be removed from the Municipal Heritage Register
2. That this report shall act as a Documentation Report, if the structures located on the property are demolished.
3. Historical research demonstrates that the Livesay family’s literary accomplishments are worth recognition. The installation of a commemorative sign located on the property, in the form of a small plaque, is recommended. The existing plaque affixed to the fieldstone pillar at the entrance to the property could be retained to satisfy this requirement.
4. That an electronic copy of this report be provided to Museum and Library staff at the City of Mississauga and Heritage Mississauga.

Financial Impact

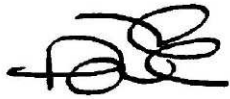
There is no financial impact resulting from the recommendation in this report.

Conclusion

The owner of 1219 Ravine Drive has requested permission to demolish a structure on a property that is listed on the City's Heritage Register. The applicant has submitted a Heritage Impact Assessment that provides information that does not support the building's merit for designation under the Ontario Heritage Act.

Attachments

Appendix 1: Heritage Impact Assessment



Paul Mitcham, P. Eng, MBA, Commissioner of Community Services

Prepared by: Brooke Herczeg, Heritage Analyst

HERITAGE IMPACT ASSESSMENT



Woodlot; Livesay Residence, 1922-44
1219 Ravine Drive, Clarkson
City of Mississauga

FINAL REPORT

05 October 2018

MEGAN HOBSON

M.A. DIPL. HERITAGE CONSERVATION

Built Heritage Consultant

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1.0 INTRODUCTION

This *Heritage Impact Assessment (HIA)* report has been prepared by built heritage consultant Megan Hobson at the request of the owners of 1219 Ravine Drive as a requirement for obtaining a heritage permit to demolish the house and detached garage located on their property. An *HIA* is required because this property is listed on the Municipal Heritage Register as a non-Designated property.

This report was prepared in accordance with the City of Mississauga's *Terms of Reference for Heritage Impact Assessments (2017)*. Two site visits were undertaken by Megan Hobson on May 22nd and August 14th to assess and document the property and its relationship to the neighbourhood. Extensive historical research was undertaken with assistance from Paula Wubbenhorst, Heritage Planner at the City of Mississauga and Stephanie Meeuwse, Curator at the Benares Museum. A title search to determine past ownership of the property was provided by Chris Aplin of MCA Paralegal Services.

2.0 LOCATION



Location Map: 1219 Ravine Drive is located in Clarkson and backs onto the Birchwood Creek ravine

Physiographic Context: Iroquois Shoreline & Birchwood Creek Ravine

The subject property is located in a physiographic region known as the Iroquois Shoreline. It backs onto a heavily wooded ravine that contains Birchwood Creek. The ravine areas have been identified by the City of Mississauga as Natural Area CL42 in the *Natural Areas Survey (2012)*.

Clarkson-Lorne Park Neighbourhood

The subject property is located east of Clarkson Road, north of the CP Railway line, in the Clarkson-Lorne Park area of the City of Mississauga. It is adjacent to the Birchwood subdivision.

Ravine Drive

The municipal address of the subject property is 1219 Ravine Drive. Ravine Drive follows the meandering route of the creek and cuts across the street grid. Ravine Drive is shaded by a heavy tree canopy and has no sidewalks. The road jogs around the subject property and although the subject property is on the side of Ravine Drive that has even numbers, it is unusual in that it has an odd number. The subject property has a driveway entrance on Ravine Drive that is flanked by stone pillars. The garage is located in the front yard and backs on to Ravine Drive.



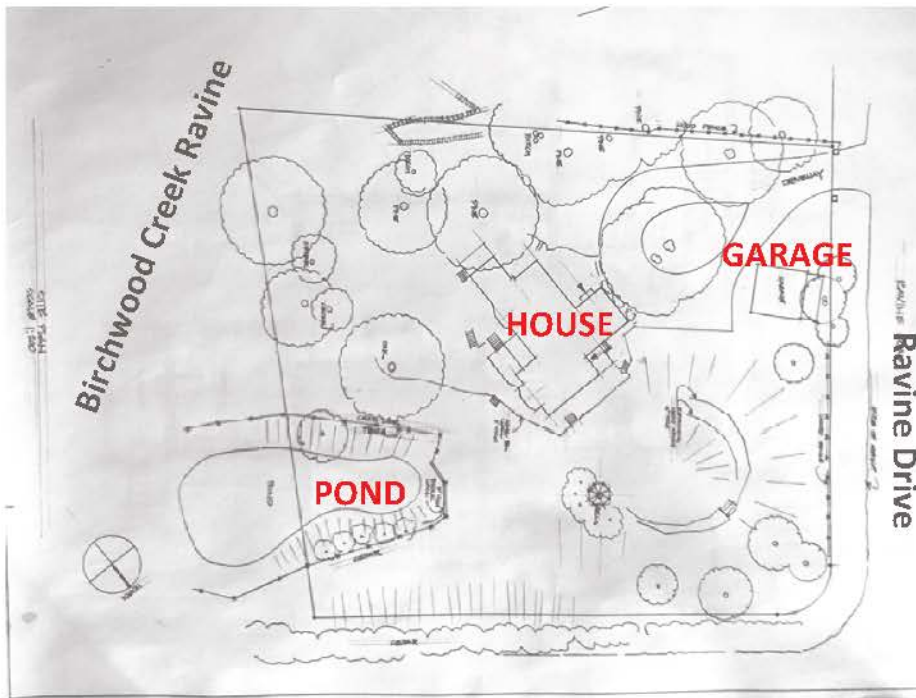
1219 Ravine Drive - entrance from Ravine Drive

3.0 SITE DESCRIPTION

See Appendix A: Site Photos

See Appendix B: Architectural Drawings

The subject property contains two structures. There is 2-storey frame house with an L-shaped plan in the center of the lot on the ravine edge and a small 1-storey log garage with a rectangular plan located at the front of the lot at the street edge. A shallow wooded ravine runs behind the house and the property slopes down to a small pond at the bottom of the ravine. The pond is fed by an underground spring and is a man-made ornamental garden feature that straddles two properties and drains into the Birchwood Creek.



1219 Ravine Drive - Site Plan [Drawings by William Mockler & Associates Ltd.]



1219 Ravine Drive - Aerial Photo [Real Estate photo]

House - Exterior

The house on the property is a 2-storey frame building with wood siding and brick chimneys. There is a lack of symmetry and formality in the overall massing and the design of each elevation. The main entrance is located on the side of a projecting one-storey section on the main elevation. The main entrance and one of the side entrances have Georgian-Revival style doorways with sidelights and transoms. There are two lunette windows on the main elevation that are also associated with the Georgian-Revival style. These formal classical elements are somewhat at odds with the irregular massing of the overall composition and the asymmetrical arrangement of elements on each elevation. The rear elevation has bay windows and a long elevated deck that overlooks the ravine and pond below.



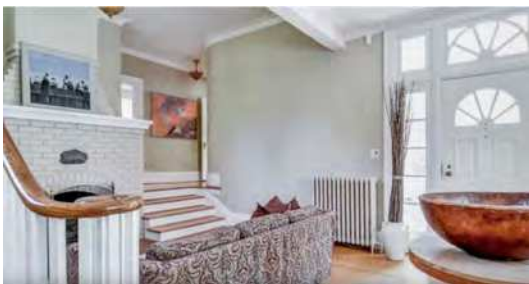
Left: Main elevation facing Ravine Drive
Right: Rear elevation overlooking the ravine



House - Interior

There is evidence on the interior that the house was built in various phases including level changes on the first floor and different interior finishes. Historic finishes appear to date from the 1920s and include narrow oak flooring, brick fireplaces, textures stucco, exposed ceiling timbers, and wood trim found in the front entrance, the living room and bedrooms on the second floor. The kitchen, bathrooms and basement areas have modern finishes including dry-wall, ceramic tile, and wall-to-wall carpet.

The most distinctive elements in the interior are the brick fireplaces in the front entry and the living room. They are plainly constructed with brick and simple wood mantles. There are stones set into the brick; 2 in the entry fireplace and 1 in the living room fireplace that are an unusual feature.



Left: Front entrance vestibule
Right: Main floor living room



Garage

The garage is a log structure approximately 19 x 19 feet in dimension. It is constructed with smooth logs that are approximately 6-7 inches in diameter. The logs are saddle-notched at the corners and there is lime chinking between the logs. Some of the logs are split and most of the chinking is in poor condition. This is a very simple form of log construction using small logs with loosely cut saddle notches at the corners. It is an example of early 20th century log construction employed to construct a simple unfinished outbuilding with a rustic character.

The garage interior is unfinished. There is a multi-paned double-casement window on the side that is original to the building. There is a wood garage door on the front that is not original to the building. There is a small lean-to shed structure attached to the back of the garage that is not original to the building. The log wall has been cut out at this location to provide access to this area from inside the garage. The roof framing appears to be original to the building but has been re-shingled with asphalt shingles.



Left: Garage backing onto Ravine Drive



Right: Garage, detail of the saddle-notched corner

Landscape Elements

The landscape contains a number of mature trees. The front yard is level with Ravine Drive and contains a paved driveway that loops in front of the house. The entrance from Ravine Drive is flanked by stone pillars. The pillars are constructed from fieldstones mortared together with a concrete cap on top. The date of this feature cannot be confirmed. There is a plaque on one of the pillars that has the street number and the name 'Woodlot' that was installed by the current owners.

The side yard on the north side of the house contains a large open lawn, gardens and pathways and slopes down to the pond. The side yard on the south side of the house has more trees and slopes down to the wooded ravine.



Fieldstone pillar at the entrance on Ravine Drive

4.0 HERITAGE STATUS

The subject property is listed on the Municipal Heritage Register as a non-Designated property. It is identified in the City's online property database as the Livesay-Clinkard Residence constructed in 1920. The property inventory sheet (INV #544) states that the reason for listing provided is 'Architectural'. Two undated photographs and the following description are included on the inventory sheet:

A two-and-a-half storey structure unique in its design and massing in an adaptation of Edwardian Classicism and Queen Anne styles. The windows vary in size but are all multi-paned. Built on a ravine the house has a picturesque context and quality that sets it apart from neighbouring structures.



Left: Heritage Inventory photo, c. 1980s - the hedge in front of the garage has since been removed

Right: Heritage Inventory photo, c. 1980s – a balcony has been attached along the side and back of the house – new landscaping has been introduced and the split rail fence is in poor condition and hidden by a cedar hedge

This listing incorrectly identifies the house as 'an adaptation of Edwardian Classicism and Queen Anne styles'. It is more correctly described as 'a vernacular building with Georgian Revival and Arts & Crafts influences dating from the 1920s with modern additions at the side and rear.'

The Mississauga Library System maintains a searchable online database of archival material that includes several items associated with the Livesays. Most of this material is biographical and includes personal letters and photos of the Livesay family. The history of Clarkson by local historian Kathleen A. Hicks called *Clarkson and Its Many Corners* contains information about the subject property in *Part Three 1901-1950; pp. 179-181* and historic photos of the Livesays and their home called *Woodlot*. The house pictured in historic photos is recognizable as the house currently located on the subject property. The University of Manitoba has a number of photos taken at Woodlot in the 1930s & 40s in the Dorothy Livesay Collection. The gardens and ravine pictured in historic photos have changed dramatically. The rose garden, the stands of white birch and the carpet of spring flowers in the ravine are all gone.



Left: 1219 Ravine Drive, June 1940 – Arthur Randal standing in front of the house [University of Manitoba]
 Right: 1219 Ravine Drive, c. 1930s? – view of the back of the house from the ravine [University of Manitoba]

Heritage Mississauga publishes a walking tour brochure that identifies significant cultural heritage resources in Clarkson. There are two sites close to the subject property including *Benares House (1507 Clarkson Road North)* and the *Sayers-Larson Log House (1723 Birchwood Drive)* that are included in this cultural mapping. The subject property is not included in the list of heritage sites or identified on the map.



Left: Heritage Mississauga Brochure - cultural heritage mapping does not include the subject property
 Centre: Benares House (1507 Clarkson Road North) – Designated Part IV
 Right: Sayers-Larson Log House (1723 Birchwood Drive) – Designated Part IV

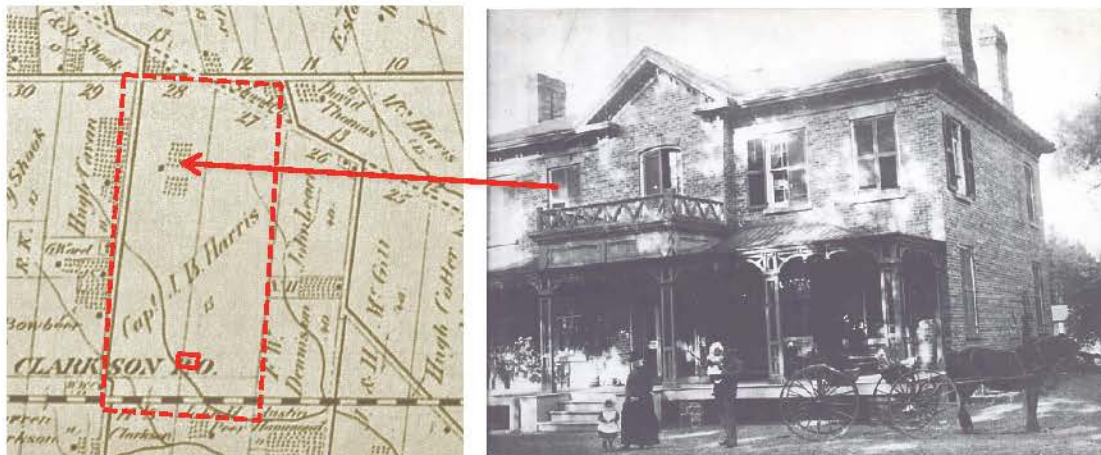
5.0 HISTORICAL CONTEXT

See Appendix C: MAPPING

See Appendix D: HISTORIC IMAGES

Harris Estate, Benares House & the 1924 Subdivision

The subject property is located on Part of Lots 27 & 28 in the 2nd Concession South of Dundas. This land was formerly part of the Harris estate, a 287-acre estate belonging to Captain James Harris. The 1876 *County Atlas* map records the name of 'Captain J.B. Harris' across Lots 27 & 28. Benares House and orchards are illustrated in the north half of the Harris property. Birchwood Creek cuts diagonally across the southwest corner of the estate. The subject property is located on the east side of Birchwood Creek where it crosses the survey line between lots 27 & 28.



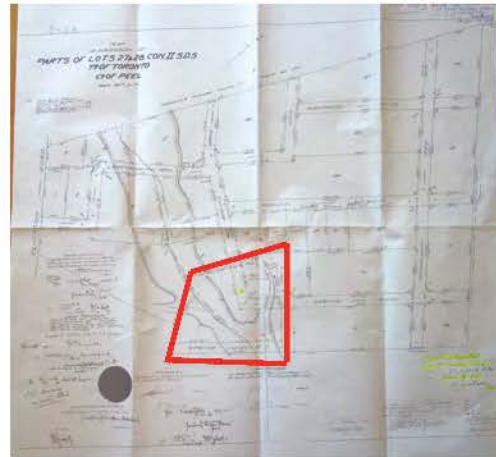
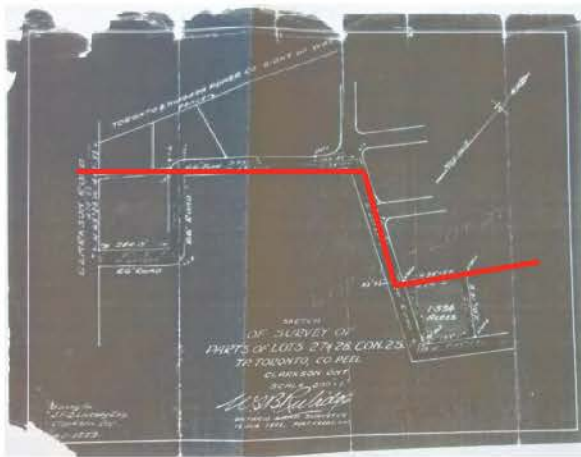
Left: HARRIS ESTATE - the subject property is located on the former Harris estate [1876]

Right: BENARES HOUSE – Annie Harris in front of the Harris family home [c. 1900]

The subject property is part of a parcel of land purchased by John Frederick Bligh Livesay (1875-1944) in 1922 from Annie (nee Harris) & her husband Beverly Sayers. JFB was distantly related to the Harris family. This family connection probably helped him to secure a choice location near Clarkson Village on the ravine that cut across the southwest corner of the Harris estate.

There were no roads into the site at that time so an agreement was made to build a road along the top of the ravine. JFB's was the first to build here. Two years later, in 1924, a Plan of Subdivision was registered (Plan B24) by Annie (nee Harris) & Beverly Sayers. JFB owned Lots 10, 11 & 12 on the survey. The subject property corresponds to Lot 11. The access road, that would become Ravine Drive, originally went around what is now the back of the subject property. Ravine drive now jogs around the front of the property, This change explains why the subject property has an odd number and why the garage is located in what is now the front yard, but was originally the back yard. This would be consistent with the original purchase agreement that required garages to be located in the back of property. The survey for the Plan of Subdivision in

1924 indicates that there was an arm of the ravine that extended through Lot 11 where the subject property is located.



Left: 1922 SURVEY - JFB's 1.5 acre lot and the proposed access road from Clarkson Road North that would become Ravine Drive – note the road route has since been changed (current route or Ravine Drive indicated in red)
 Right: 1924 PLAN OF SUBDIVISION B24 – By this time, JFB owned 9 acres that included Lots 10, 11 & 12 – the subject property corresponds to Lot 11 – the original survey indicates that there was a short branch of the creek ravine that cut across Lot 11 at that time (Extant of JFB Livesays 9-acre property indicated in red)

The Livesays and Woodlot

JFB Livesay was born in the Isle of Wight and came to Canada when he was twenty to stay with his uncle in Cooksville, Sir Melville Parker (1824-1903). He became a journalist and moved to Winnipeg where he met his wife, Florence Randal, a journalist and translator of Ukrainian poetry. JFB was the first General Manager of the Canadian Press, a war correspondent during World War I, and was author of *Canada's Hundred Days* (1919). He retired from the Canadian Press in 1939 and died in Clarkson in 1944. He is buried at St. Peter's Anglican Cemetery in Erindale.

The Livesay's had two daughters Dorothy (1909-1996) and Sophie (1912-1991). Dorothy is considered one of the leading Canadian poets of the twentieth century. Sophie Livesay pursued a successful artistic career as a painter.

When they first moved to Toronto the Livesays rented a house on Walmer Road in the Annex. They built a cottage on their Clarkson property and used it on weekends and holidays. They called their cottage 'Woodlot' because it was located on the woodlot of the Harris estate. In 1929 they added a wing to the cottage and moved there permanently. According to their daughter, Dorothy Livesay, work was completed in 1930/31, the year that she was studying abroad in Paris. Family and friends called JFB Livesay the 'Squire of Woodlot'. He had a log cabin built in the ravine where he could write and he planted gardens on his property included spring bulbs and wildflowers in the ravine and a rose garden near the house with imported varieties including some from the Isle of Wight.



Left: Woodlot, 1922 – the original cottage built by JFB Livesay

Right: The ravine behind Woodlot in Spring - JFB's log cabin (not located on the subject property)

The Livesays were both professional writers and they had a large circle of literary and artistic friends. In Clarkson their social circle included the Harris family and Mazo de la Roche who lived in a rustic cabin nearby called Trail Cottage (demolished). Annie (nee Harris) and her husband Beverly Sayers lived nearby in a brick house (demolished) and later in a log house that they had constructed in 1922 by a local builder called “Dad” Denison and his son Babe.



Left: JFB Livesay at Woodlot – his family and friends called him ‘the Squire of Woodlot’

Right: Mazo de la Roche at Trail Cottage (demolished) – next door to ‘Woodlot’

Woodlot was not designed by an architect. According to Dorothy Livesay, it was designed by JFB Livesay himself. He was not an architect but came from a family of architects.¹ In 1922 he contracted a local builder to build a simple 2-storey, 2-bay structure with a rectangular plan and a gable roof. Then around 1929 he had a large wing added at right angles to the original cottage. The wing had a rectangular plan with gable roof. It was 2-storeys high and 3-bays wide. There were two one-storey entry vestibules and there were bay windows at the back overlooking the ravine. The entry vestibules had Georgian Revival style doorways that were copied from an Irish building. The interiors were simple. According to Dorothy Livesay, the beams in the living room ceiling were salvaged from a property belonging to a relative and the

¹ JFB Livesay came from a family of architects including: his grandfather Augustus Frederick Livesay (1807-1879), his father; John Gillett Livesay (d 1889), and his brother George Augustus Bligh Livesay (1867-1916).

three stones that were incorporated into the simple brick fireplaces were from the Atlantic, the Pacific and the Great Shield in Ontario.



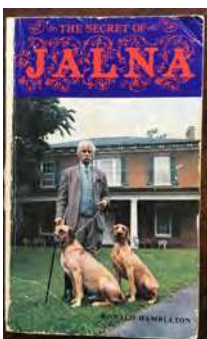
Living room fireplace with a Canadian stone inset into the brick

Post-war Development in Clarkson

The rural character of Clarkson in the 1920s & 30s was transformed in the post-war period, as urbanization occurred on a large scale. In 1969, the Harris family descendants donated Benares and several acres around it to protect it from encroaching development. Today the property is a museum owned and operated by the City of Mississauga, open to the public, complete with an interpretive centre on site.²

The Birchwood subdivision adjacent to the subject property was built out rapidly in the post-war period with single-detached homes on large tree lots.

The names of the street in the subdivision commemorate the significance of Mazo de la Roche and her Jalna series of novels, including Mazo Crescent, Jalna Avenue and Whiteoaks Avenue. Their names reflect the natural features including Ravine Drive named because it follows the natural ravine and Birchwood Drive because of the large number of white birches that were once here.



Left: Cover of *The Secret of Jalna*, cover photo from the Canadian TV series based on Mazo de La Roche's novels
Right: Historic Sites and Monuments Board of Canada plaque on the Benares Estate commemorating Mazo de la Roche as a 'Person of National Significance'

² Ibid.



Left: 1954 Aerial photo of Clarkson – still primarily agricultural with natural woods and ravines
 Right: 2018 Map – Benares Museum and Birchwood Creek Ravine surrounded by suburban development

Dorothy Livesay visit to Woodlot in 1983

In her memoirs Dorothy Livesay describes Woodlot and writes about her adolescent years there as a formative period in her development as a poet. In 1983 she returned to Woodlot and found the house much as it was when she had lived there. Experts from her writings are included in Appendix E of this report.



Left: Dorothy Livesay in front of 'Woodlot'
 Right: Dorothy Livesay in front of JFB's cabin in the ravine (not located on the subject property)

6.0 HERITAGE VALUE

Historical Values

The Period of Significance is 1922-1944 when the Livesays lived at Woodlot. The Livesay's are associated with a brief period in Clarkson's evolution when it attracted writers, most notably Mazo de la Roche, who is recognized as a person of National Significance by the Historic Sites and Monuments Board of Canada for her contribution to Canadian literature. Her series of novels, the Jalna novels, were inspired by Benares House and her life in Clarkson and these associations are significant to the history of Clarkson.

The Livesay's contributed to this literary milieu through their literary endeavours and connections. Their daughter Dorothy Livesay, who spent her adolescent years living at Woodlot, is recognized as person who has made a significant contribution in the field of poetry, she won the Governor General's Prize for poetry twice in her lifetime (1944 & 1947) and was awarded the Order of Canada in 1987.

In her memoirs Dorothy Livesay describes her life at Woodlot, and her family's relationship with Mazo de la Roche who was a neighbour, a family friend, and a source of inspiration for her own literary aspirations. Dorothy Llvesay's first published work the Green Pitcher (1928) a collection of poems, was published when she was 17 years old and living at Woodlot. Her association with Woodlot is brief and she would go on to study in Toronto and abroad. She is primarily associated with British Columbia where she lived after her marriage. There are two large archival collections in Canada associated with Dorothy Livesay, one in Manitoba, where she was born, and the other in British Columbia, where she spent most of her adult life.

The City of Mississauga's museum and library system has a small collection of archival material associated with Woodlot and the Livesay family, including photographs of Woodlot and members of the Livesay family.

Contextual Values

The Period of Significance is 1922-1944 when the Livesays lived at Woodlot and when the area around the small village of Clarkson was primarily rural and contained a small number of modest buildings separated by open spaces and natural areas. In this period, the subdivision of the Harris estate was piecemeal, as individual lots were sold.

The Livesays, through family connections with the Harris family, were able to purchase a lot of their choice, selected because of its location on the edge of a fork in the ravine. This afforded them a very picturesque and secluded site. The subject property is a remnant of a larger property associated with the Livesay residence. The Livesay

property was approximately 9 acres in extent. The subject property is approximately 1 acre. After the death of JFB, his widow sold the property and it was subdivided into several residential lots.

Later development of the Birchwood neighbourhood in the post-war period was carried out on a larger scale, with a grid of streets containing regularly sized lots. Ravine Drive, because it follows the natural contours of the land, meanders irregularly through the suburban street grid.

The Livesay property, because it was established before the subdivision was laid out, similarly disrupts the regular pattern of the post-war subdivision. The Livesays named their house "Woodlot", because when the land was purchased in 1922 it was part of the woodlot of the Harris estate, ie; a portion of the estate that was not cleared for agricultural use and remained heavily wooded.

Architectural Values

The Period of Significance is 1922-1944 when the Livesays lived at Woodlot. The house was designed by JFB Livesay. Although he came from a family of architects, he had no formal training. He had limited financial resources so the house was built in two stages. The first wing was built in 1922 as a cottage when he was still leasing a house in the Annex in Toronto. The second wing was added in 1929 and when it was completed, the Livesay family moved to Clarkson permanently.

As an amateur designer with limited financial resources, JFB built a simple structure with very few distinctive architectural elements. The 'Georgian' doors, copied directly from an Irish source, are the only architectural embellishment. The interior finishes are simple and include textured plaster walls, salvaged ceiling timbers, hardwood floors with some parquet work around the fireplaces, and simple brick fireplace surrounds with natural stones inset above the mantel. The interior elements reflect Arts & Crafts taste that influenced interiors in the 1920s and 30s, but somewhat at odds with the Georgian elements on the exterior.

The house has been subject to some alterations including a rear extension containing a kitchen and dining area overlooking the ravine, a new side entry into the rear addition and construction of elevated decks on the side and across the back of the house. Most of the original plaster has been replaced with drywall. The original wood windows have been retained throughout and the wood floors have been retained in some areas. The brick fireplaces have been painted.

On the grounds, JFB had a log cabin constructed in the ravine behind the house that he used as a study. This portion of the Livesay's property was subsequently severed so that the JFB's writing cabin remains but is now located on an adjacent property. There

is a log cabin on the subject property that is located at the front of the property near Ravine Drive. There is no documentation to confirm that this structure is associated with the Livesays, but the materials and assembly are consistent with a date of construction in the Period of Significance, ie; 1922-1944.

The interest in log construction reflects a North American trend in the 1920s and 30s associated with a revival of interest in pioneer life and vernacular buildings. This trend was reflected in the construction of log structures in national parks, the restoration of historic log structures at historic sites and was reflected in popular culture such as the Lincoln Logs, a popular children's toy that was patented in this period.

In Clarkson, this revival of interest in log construction resulted in a number of log buildings being built in the area in the 1920s and 30s. The most notable example is the Sayers-Larson log house located not far from the subject property at 1723 Birchwood Drive. The builder was a local contractor who specialized in log construction. The builder of the log outbuildings associated with the Livesay property is unknown, but they are associated with this trend.

The log outbuilding that is located on the subject property has been subject to some alterations associated with conversion to use as a garage, including re-shingling with asphalt shingles, installation of a metal garage door, construction of a lean-to structure at the back that required a large cut-out through the log wall.

Landscape Values

The grounds at Woodlot have been altered considerably since the period of significance. JFB had a keen interest in gardening. At one time there was a rose garden at Woodlot that contained varieties he imported from the UK. There are no traces of this features remaining on the site today.

When the Livesays lived at Woodlot there were stands of white birch on the property and in the ravine. The ravine was planted with wildflowers and spring bulbs. These are visible in historic photos and often commented on by the Livesays and their guests. There are no healthy birch trees remaining on the subject property. Alteration to the creek, to create an ornamental pond behind the house, has changed the character of the ravine. There are still some white birches in the ravine but this area has been impacted by invasive species.

6.1 EVALUATION ACCORDING TO ONT. REG. 09/06

1219 RAVINE DRIVE; LIVESAY-CLINKARD RESIDENCE

| Criteria for Determine Cultural heritage value or interest | Assessment (Yes/No) | Rationale |
|---|---------------------|---|
| 1. Design or physical value: | | |
| a) Is a rare, unique, representative or early example of a style, type, expression, material, or construction method | NO | The Livesay Residence was built in two phases in 1922 and 1929. The 1922 portion is a simple vernacular shed-like structure that does not have stylistic elements. The 1929 addition included some Georgian Revival design elements. A number of later modifications have been made by subsequent owners in a contemporary manner. As a result, it is not representative of a particular style. |
| b) Displays a high degree of craftsmanship or artistic merit | NO | The log outbuilding displays a moderate degree of craftsmanship as an example of 20 th century log construction. It has been modified for use as a garage and has not been well maintained |
| c) Demonstrates a high degree of technical or scientific achievement | NO | These are modest residential structures built using traditional materials and methods of construction. |
| 2. Historical or associative value: | | |
| a) Has direct associations with a theme, event, belief, person, activity, organization, or institution that is significant to a community | <u>YES</u> | It has direct associations with the Livesay family, a family that has some significance to the community as part of a literary circle that included Mazo de la Roche. Dorothy Livesay is a significant Canadian poet who has written about Woodlot in her memoirs. |
| b) Yields, or has potential to yield, information that contributes to an understanding of a community or culture | NO | It is a private home in a residential subdivision. |

| | | |
|--|------------|--|
| c) Demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community | NO | Original portions of the house were designed by JFB Livesay, a journalist with no architectural training. |
| 3. Contextual value: | | |
| a) Is important in defining, maintaining, or supporting the character of an area | NO | It contributes to the residential character of the area. |
| b) Is physically, functionally, visually, or historically linked to its surroundings | <u>YES</u> | It is physically linked to the Birchwood Creek Ravine and Ravine Drive. It is historically linked to the subdivision of the woodlot on the Harris estate in 1924 for residential development. |
| c) Is a landmark | NO | It is a private home in a residential subdivision. |

7.0 REMOVAL FROM THE HERITAGE REGISTER

The owners of the subject property have submitted a request to remove this property from the Municipal Heritage Register. They currently have no plans to demolish any buildings but the property is listed for sale. They would like clarification regarding the heritage status of their property so they can more accurately determine its market value and inform potential buyers about any heritage constraints associated with alteration or redevelopment.

8.0 IMPACT ON HERITAGE VALUES

Summary of Heritage Values

Based on site investigation, research and analysis the consultant concludes that:

- The period of significance for this property is 1922-44 when it belonged to J.F.B. Livesay.
- The subject property is a 1-acre remnant of a 9-acre property purchased by J.F.B. Livesay in 1922 from Annie (nee Harris) & Beverly Sayers
- J.F.B. Livesay was distantly related to the Harris family, a family that is significant to Clarkson because they owned over 200 acres that included Benares House.
- J.F.B. Livesay made a modest contribution to the field of Canadian journalism as a war correspondent and the first General Manager of the Canadian Press.
- Dorothy Livesay, the daughter of J.F.B. Livesay, made a significant contribution to the field of Canadian poetry as a recipient of two Governor General Awards in 1944 and 1947 and was made an Officer of the Order of Canada in 1987. She lived at Woodlot through her adolescent years, c. 1922 to 1930, a formative period in her early development as a writer.
- The frame house located on the subject property was designed by J.F.B. Livesay and constructed in two phases in 1922 and 1929. Livesay had no formal training as an architect. The house was built in two stages on a limited budget. The composition is awkward and combines asymmetrical massing with Georgian Revival details. The original 1922 cottage and the 1929 wing that was added to it remain discernible but there are later additions at the side and the back of the house. The original wood siding and wood windows remain. Original interior features include salvaged ceiling beams, two simple brick fireplaces and some original plaster and wood trim. These elements do not have significant architectural or design value. They are well executed but do not demonstrate a high degree of craftsmanship.
- The log outbuilding displays a moderate degree of craftsmanship as an example of 20th century log construction. It may have been built by the same local craftsman that built similar log structures in Clarkson and is similar to JFB's writing cabin that is located

in the ravine behind the subject property, on an adjacent property. It has been modified for use as a garage and has not been well maintained.

- The property has historical associations with the subdivision of the Harris estate that began in the 1920s. It is named 'Woodlot' because it is located on the former woodlot of the Harris estate.
- The property has contextual associations with the Birchwood Creek ravine and with Ravine Drive, an early road that follows the top of the ravine.

Impact & Mitigation

Based on the Evaluation According to *Ontario Regulation 09/06* included in this report, the consultant does not recommend Designation of this property under the *Ontario Heritage Act*.

Buildings located on the subject property do not have sufficient architectural value to warrant protection from alteration or demolition.

Because this is a private residential lot in a suburban subdivision, the contextual values that have been identified are not values that can be shared by the community.

The historical values that have been identified have local significance and can be retained through commemoration and interpretation at a more publicly accessible location within the Clarkson community.

9.0 CONSERVATION STRATEGY

Research and Documentation

Research and documentation are the most appropriate forms of conservation for this property. This *Heritage Impact Assessment* includes primary and secondary research. Documentation provided in this report includes the following:

- Historic photos of the buildings and grounds
- Historic photos of the Livesay family and their relatives and friends at Woodlot
- Chain of Title back to the original Crown Grant carried out by a registered Title Searcher
- Photocopy of the 1922 Land Deed
- Photocopy of the 1924 Plan of Subdivision
- Descriptions of 'Woodlot' in the writings of Dorothy Livesay
- Photographs and measured drawings of the buildings to be demolished

Therefore, no further documentation is required from the applicant.

10.0 CONCLUSIONS & RECOMMENDATIONS

In the last few decades, re-development of residential lots in this area has occurred. Re-development typically includes demolition of existing dwellings so that a larger home can be built. The large lot sizes, irregular street plan, and mature plantings help to reduce the impact of this type of re-development. This area is subject to Site Plan control to ensure that all new development is compatible with the existing character of the neighbourhood.

Recommendations:

1. That this property be removed from the Municipal Heritage Register
2. That this report shall act as a Documentation Report, if the structures located on the property are demolished.
3. Historical research demonstrates that the Livesay family's literary accomplishments are worth recognition. The installation of a commemorative sign located on the property, in the form of a small plaque, is recommended. The existing plaque affixed to the fieldstone pillar at the entrance to the property could be retained to satisfy this requirement.
4. That electronic copies of this report be provided to museum and library staff at the City of Mississauga

11.0 QUALIFICATIONS OF THE AUTHOR

The author of this report is a member in good standing of the Canadian Association of Heritage Professionals. Formal education includes a Master of Arts in Architectural History from the University of Toronto and a diploma in Heritage Conservation from the Willowbank School of Restoration Arts. Professional experience includes an internship at the Ontario Heritage Trust, three years as Architectural Historian and Conservation Specialist at Taylor Hazell Architects in Toronto, and 7 years in private practice in Ontario as a heritage consultant. Other relevant experience includes teaching art history at the University of Toronto and McMaster University and teaching Research Methods and Conservation Planning at the Willowbank School for Restoration Arts in Queenston. In addition to numerous heritage reports, the author has published work in academic journals such as the *Journal of the Society for the Study of Architecture in Canada (SSAC)* and the *Canadian Historical Review (CHR)*.

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APPENDIX A: SITE PHOTOS

WOODLOT (LIVESAY RESIDENCE, 1922-44)
1219 Ravine Drive



Aerial view



Entrance from Ravine Drive



Main elevation – the house was built in two phases



Georgian revival doorway designed by JFB LIVESAY after an Irish building - multi-pane side-lights and transom with fanlight – paneled door with fanlight



Side elevation – side entrance to kitchen – modern addition



Detail showing original wood siding – modern aluminum flashing – shutters are not original



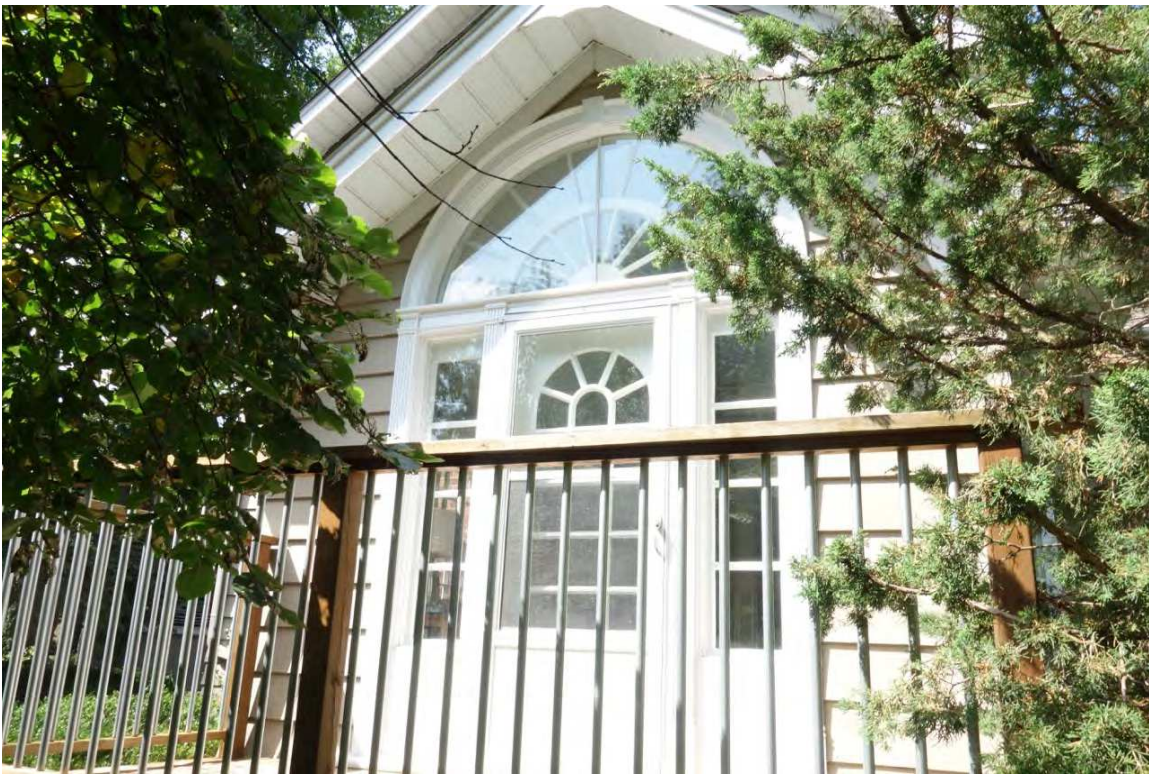
Side elevation – extensively modified



Rear elevation – extensively modified



Side elevation – endwall chimney flanked by half lunettes

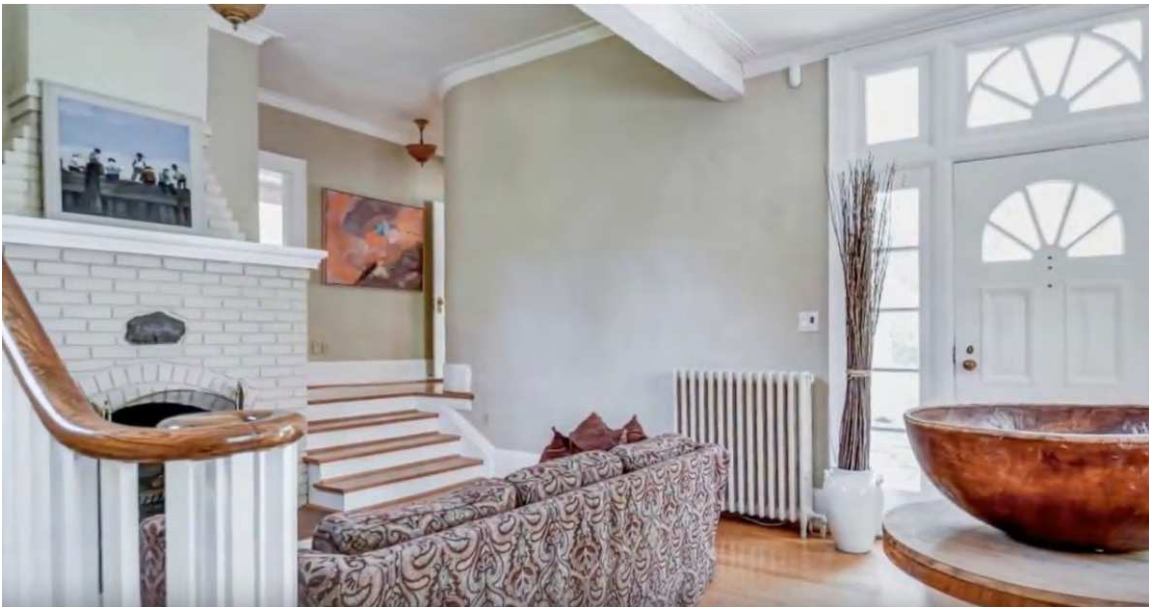


Side entrance door – multi-pane sidelights with an arched transom

INTERIOR



Entry vestibule – modern staircase to 2nd floor



Entry vestibule with brick fireplace – steps up to main floor areas – modern staircase to the 2nd floor



Original fireplace in the entry vestibule with natural stone inset – painted brick surround and exposed chimney breast – wood mantle - clay tile hearth with parquet floor border



Chimney detail – natural stones inset in brick – brick arch



Chimney detail – clay tile with parquet border



c. 1920s curved wall into hallway – decorative plaster finish – wood baseboard and crown moulding



Plaster and trim detail



Living Room – bay window overlooks back yard – exposed ceiling timbers – brick fireplace



Exposed ceiling timber – salvaged from another site and installed in when this wing of the house was built in 1929



Original living room fireplace – matches fireplace in the entry vestibule but without an exposed chimney breast



Natural stone set into brick fireplace



Clay tile hearth and parquet border



Modern addition to the living room – exterior wall and back of living room chimney visible on left



Modern kitchen addition – modern fireplace – bay window overlooks back yard



Modern kitchen addition - stairs to 2nd floor – side entrance



c. 1920s decorative plaster finish, wood trim and wood windows on the 2nd floor



c. 1920s radiators – narrow strip oak flooring – large wood baseboards – decorative plaster finish



2nd floor Bedroom



2nd floor bathroom



Basement

OUTBUILDING



Garage – c. 1920s log construction – modern metal garage door



Garage – c. 1920s log construction with gable roof – 1 double casement wood window



Detached garage – c. 1920s log construction – modern garage door – asphalt shingle roof



Detached garage – c. 1920s log construction with 1 double-casement wood window



Garage – double wood casement window with multi-pane sash



Garage – view from Ravine Drive – lean-to addition at the back is visible



Garage - detail of rear wall showing the lean-to addition at the back



Garage – saddle-notched corners



Garage detail – lime chinking



Garage detail – log ends & roof rafters



Garage – unfinished interior



Garage – interior



Garage – roof framing

LANDSCAPE ELEMENTS



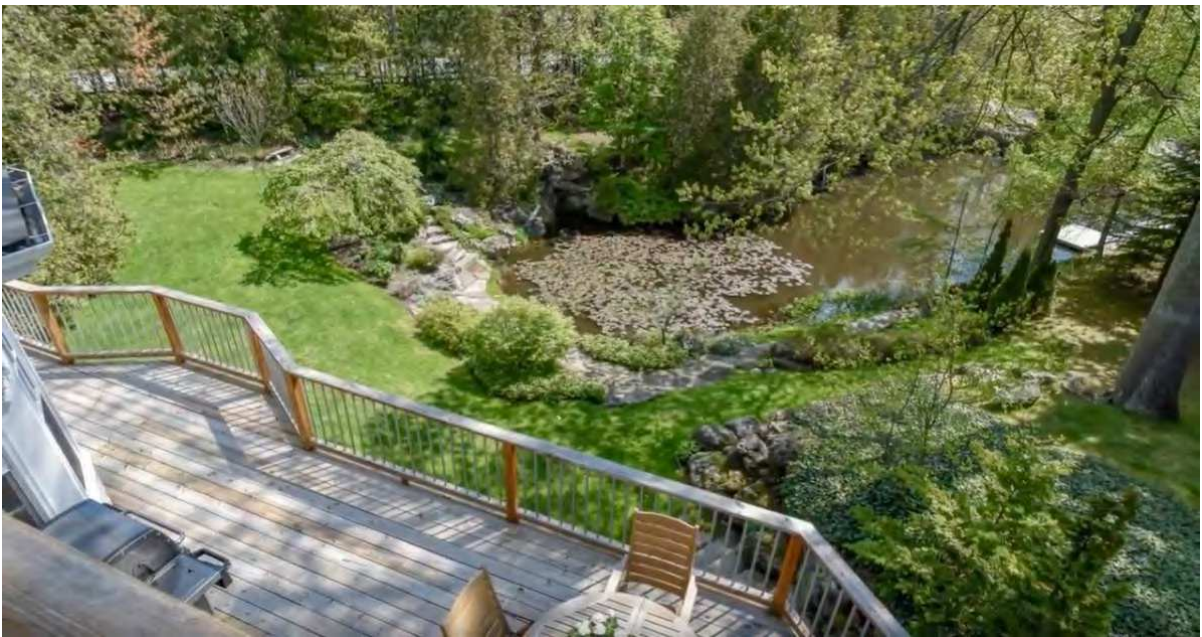
Fieldstone pillars flanking the driveway entrance from Ravine Drive



Fieldstone pillars at the entrance on Ravine Drive – number plaque has name 'Woodlot'



A clump of mature trees in front of the house in the driveway island



Aerial view of the man-made pond in the back yard – modern deck across the back of the house



Garden feature – man-made pond – created after the Livesays sold woodlot by damming the stream



Garden feature – pathways and plantings – landscaping added by the current owners



Garden feature – lawns and plantings in the side yard – landscaped by the current owners



Garden feature – the last remaining birch on the property is in very poor condition

NEIGHBOURHOOD CONTEXT



View along Ravine Drive – red arrow indicates entrance to the subject property (1219 Ravine Drive)



View from the subject property out to Ravine Drive



1228 Ravine Drive - Mid-century Modern bungalow next door to the subject property – lot severed from the Livesay property after JFB's death in 1944 – JFB's log cabin in the ravine is located on this property



JFB Livesay's writing cabin in the ravine is located on the property next door (1228 Ravine Drive)

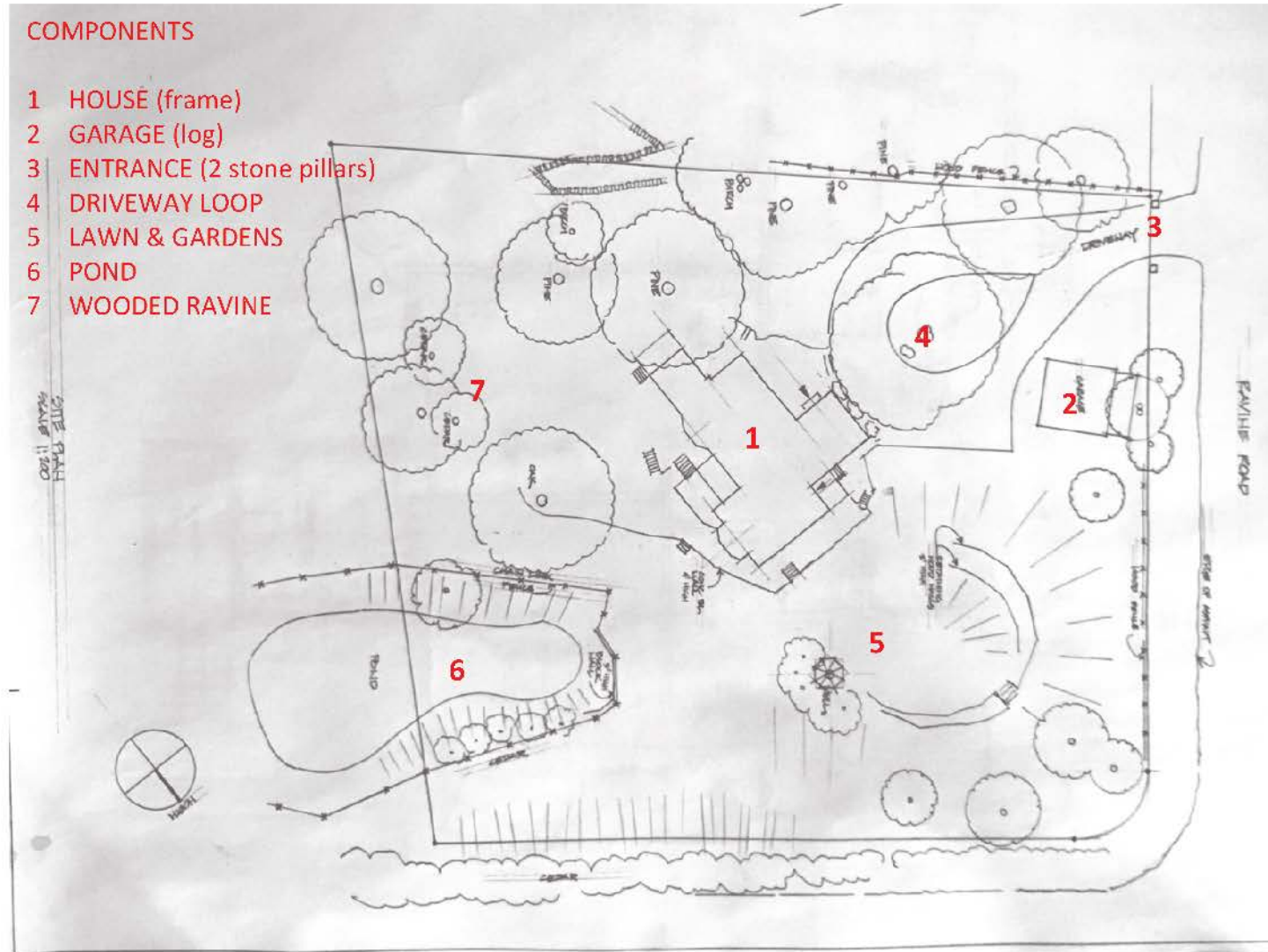


Recently completed house on Ravine Drive - directly across the street from the subject property – small houses on Ravine Drive are being replaced with large mansions like this one

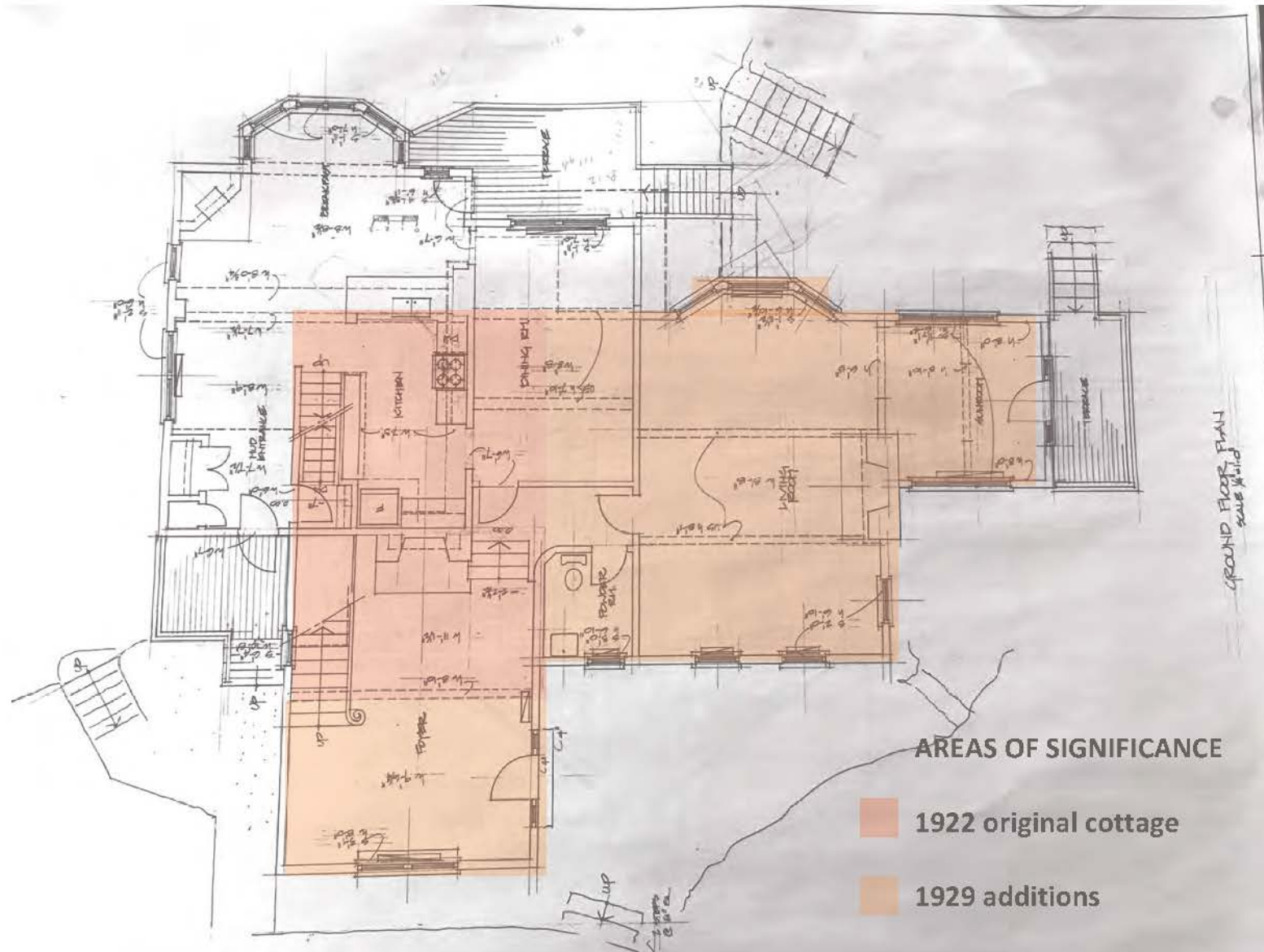


1723 Birchwood Drive – Sayers/Larson Log House, 1922. Designated (Part IV) *Ontario Heritage Act*.

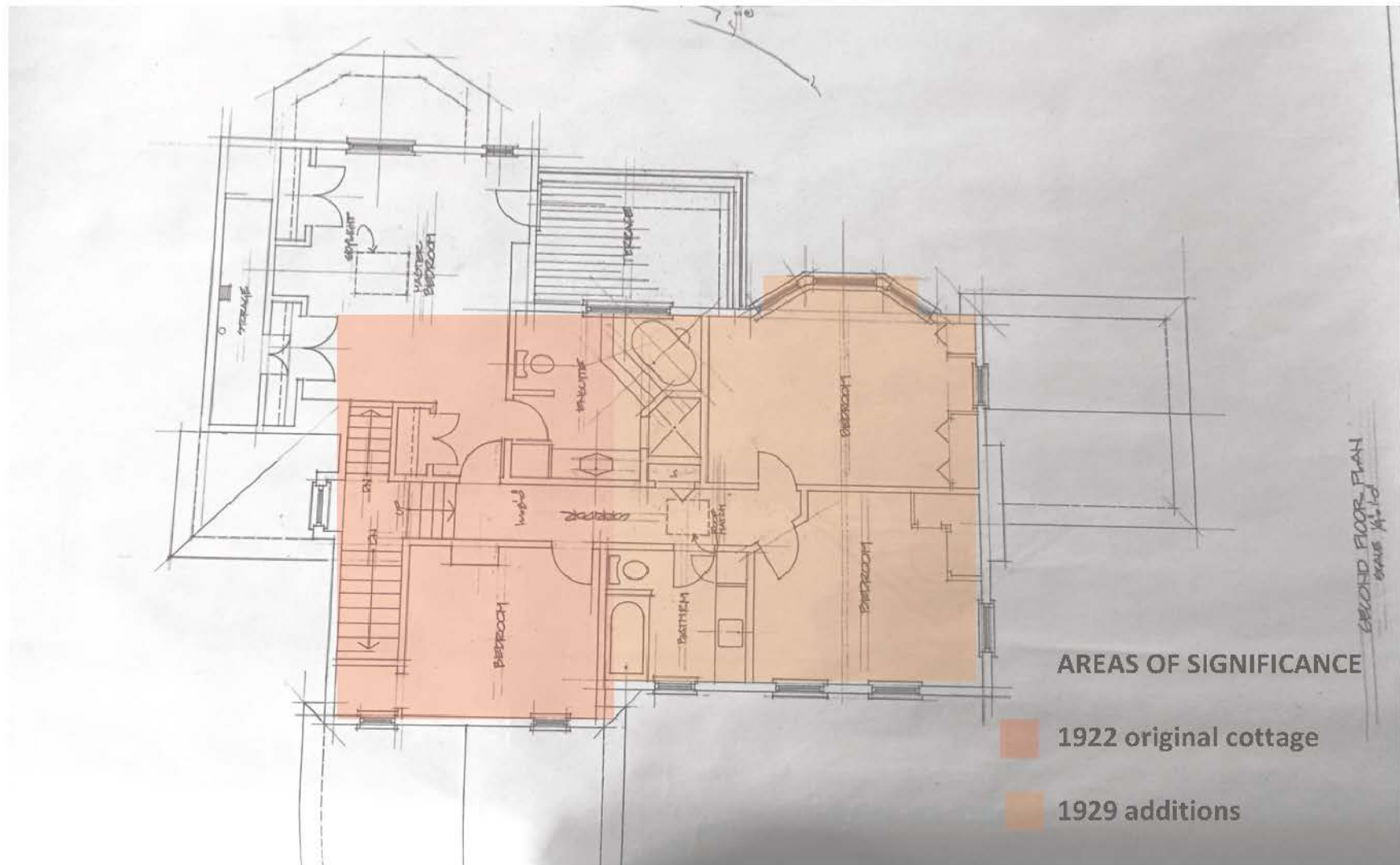
APPENDIX B: ARCHITECTURAL DRAWINGS



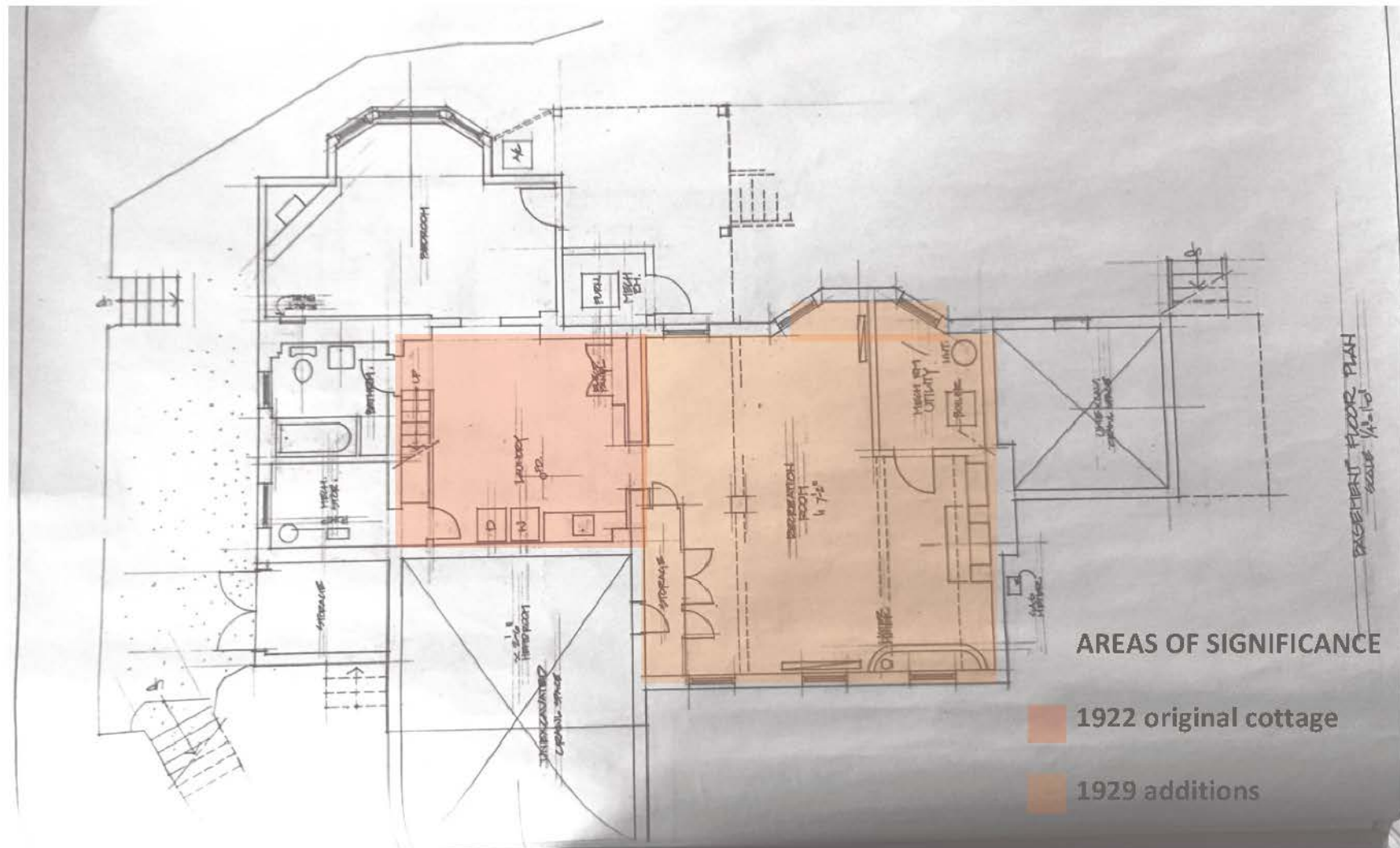
Site Plan [Drawings provided by the owner, prepared by William Mockler & Associates Ltd.]



1st Floor plan [Drawings provided by the owner, prepared by William Mockler & Associates Ltd.]

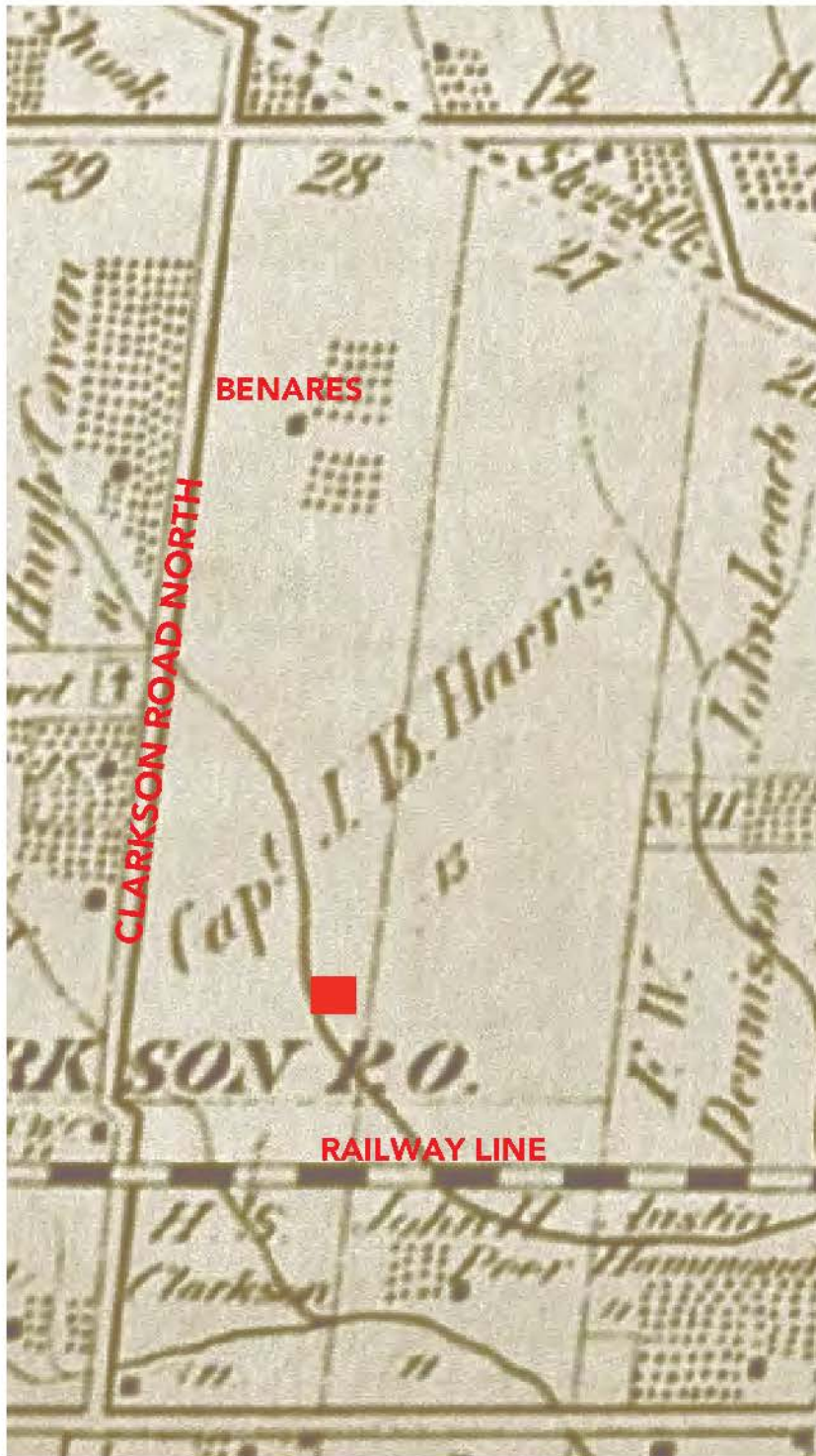


2nd Floor plan [Drawings provided by the owner, prepared by William Mockler & Associates Ltd.]



Basement plan [Drawings provided by the owner, prepared by William Mockler & Associates Ltd.]

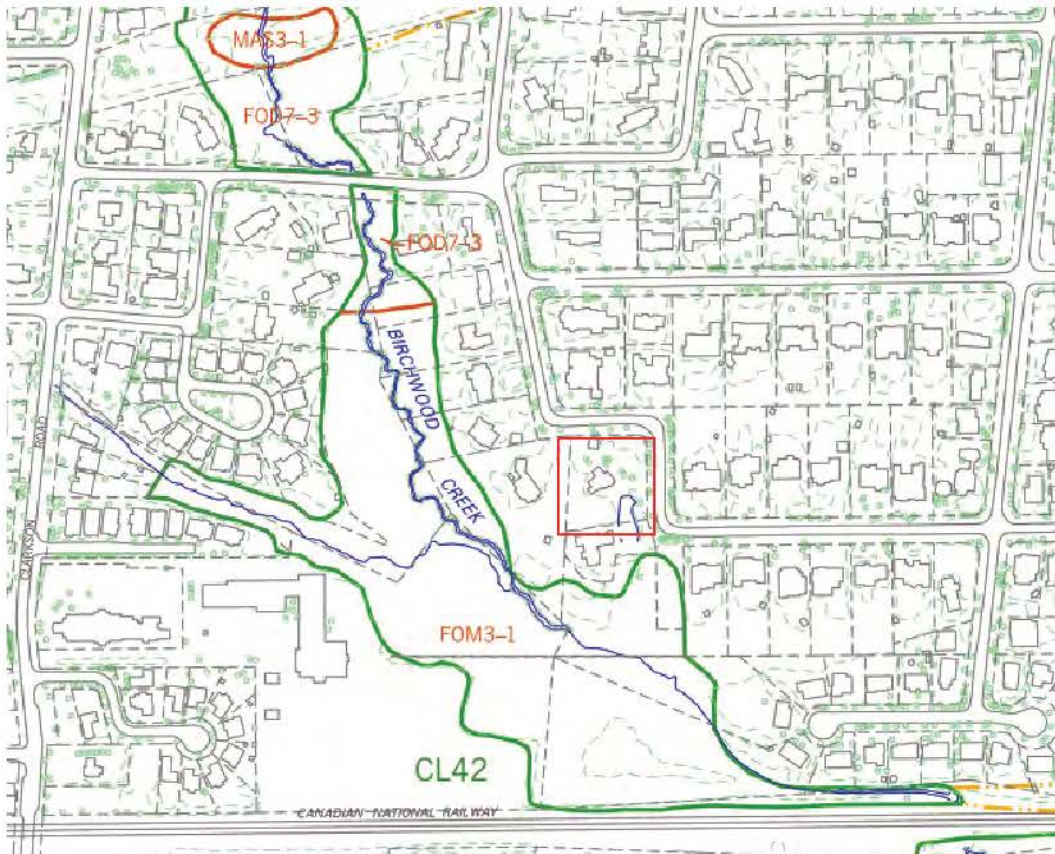
APPENDIX C: MAPPING



1876 PEEL COUNTY ATLAS MAP – HARRIS ESTATE, LOT 27 & 28, CONC 2 SDS



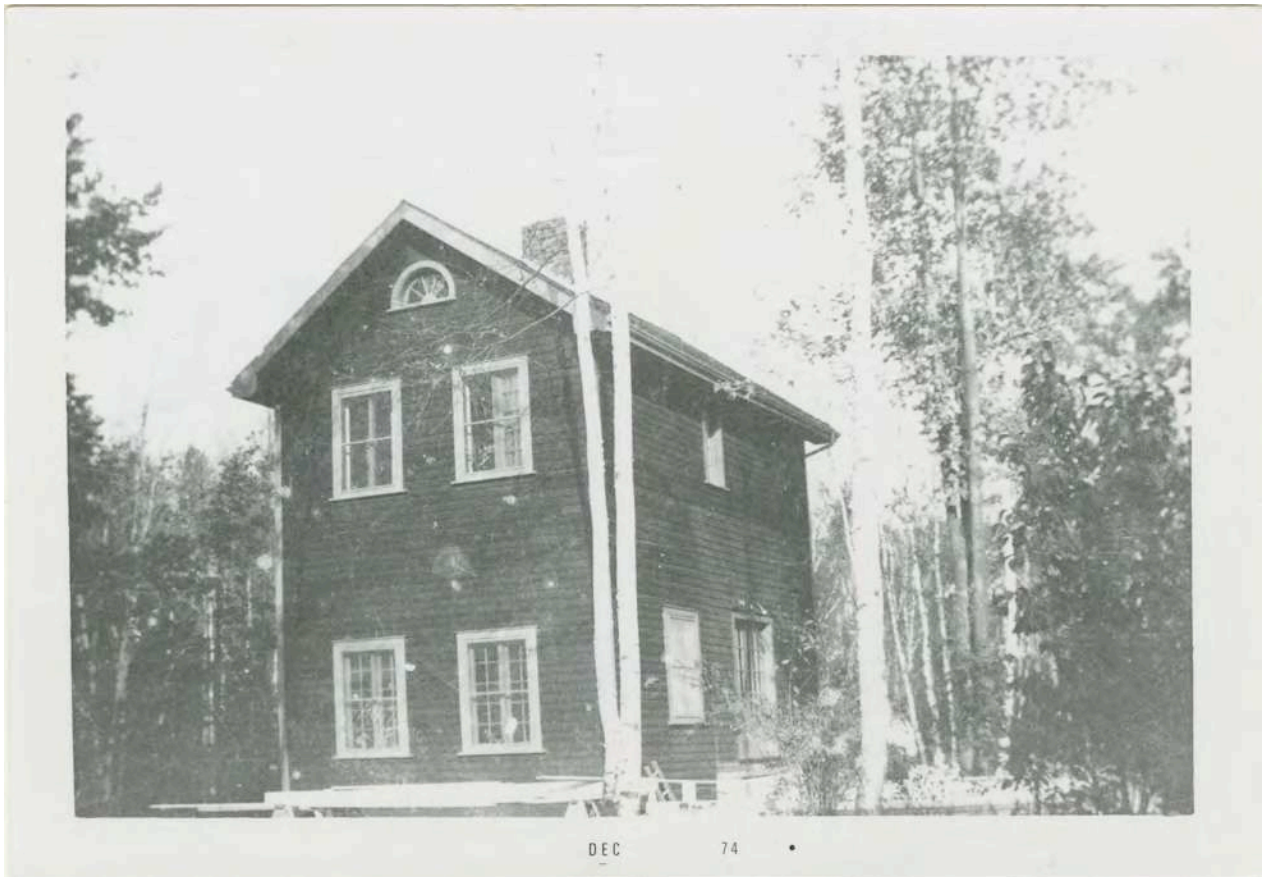
1954 AERIAL PHOTO – 1924 PLAN OF SUBDIVISION B24



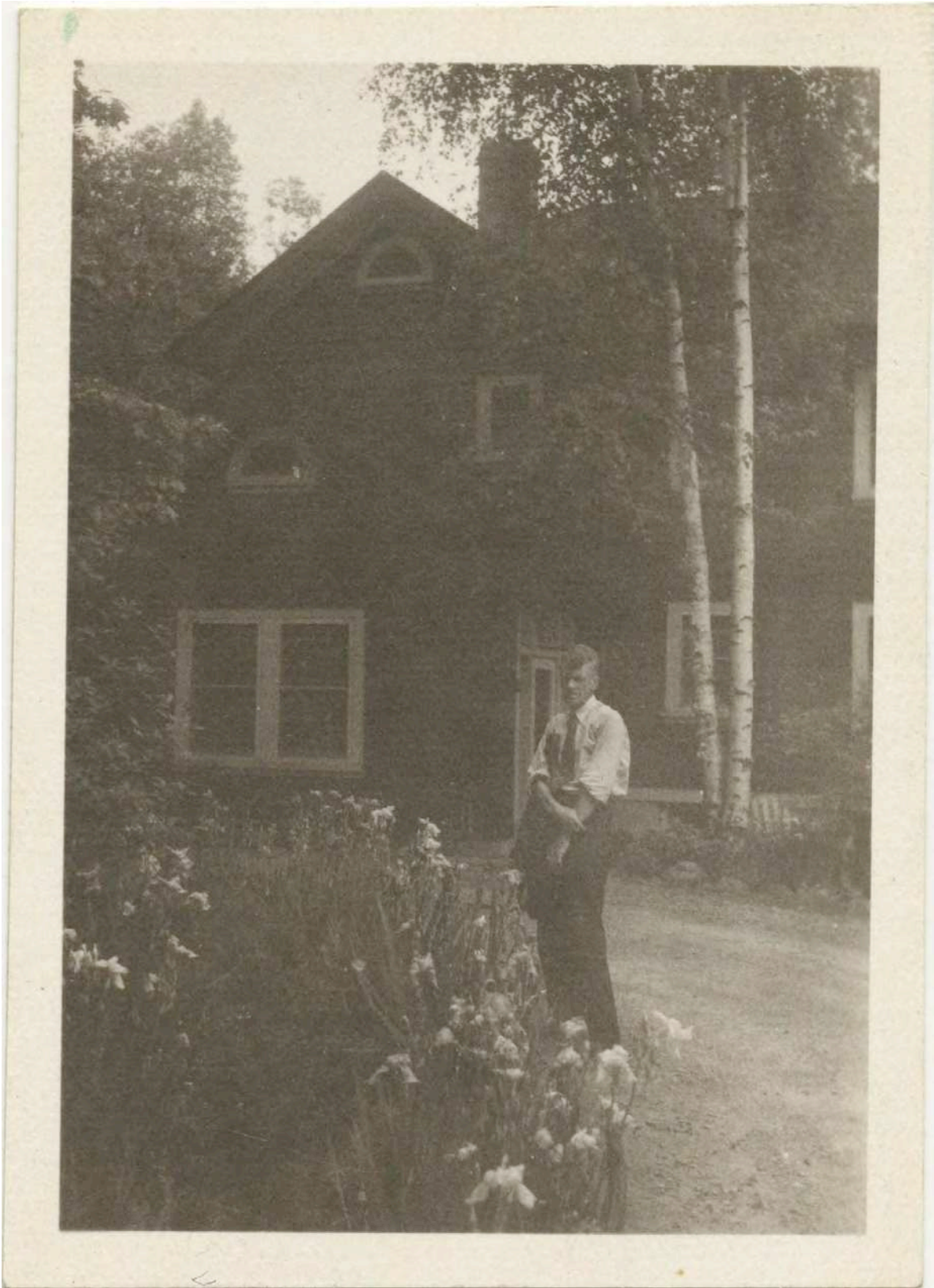
CITY OF MISSISSAUGA NATURAL AREA CL42 – BIRCHWOOD CREEK

APPENDIX D: HISTORIC IMAGES

WOODLOT; LIVESAY RESIDENCE, 1922-44



'The first half of the house', Woodlot, c. 1928. [University of Manitoba, Archives & Special Collections, PC 43,9]



Arthur Randal at Woodlot, Clarkson, June 1940 [Dorothy Livesay Collection, University of Manitoba, PC 43, 244]



Woodlot. March '41

J. Fred S. Lively

March 1941 [Heritage Mississauga]



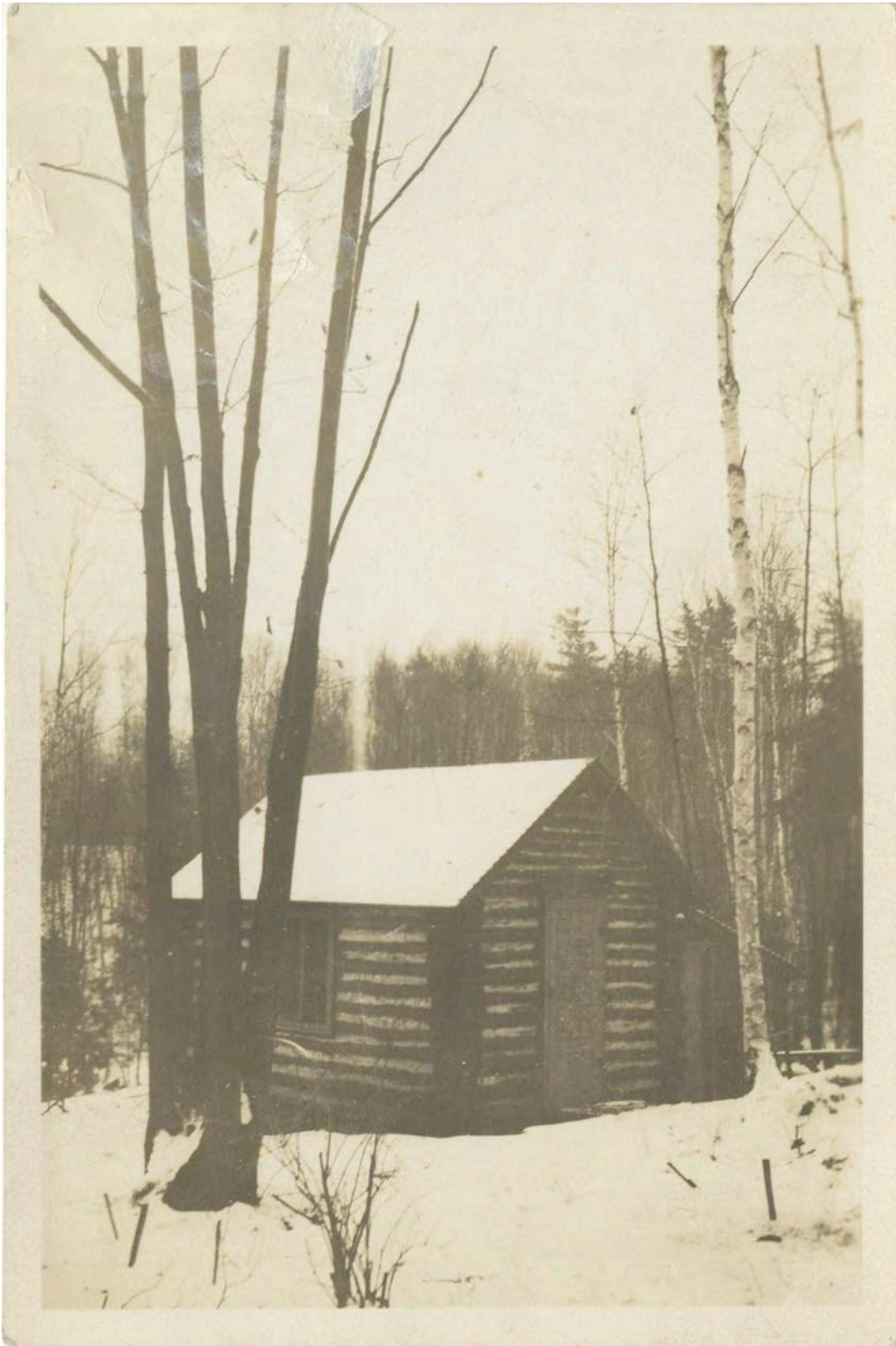
Rear view of Woodlot with a stand of white birch trees behind the house, undated. [University of Manitoba, Archives & Special Collections PC 43,11]



JFB's cabin in the ravine – a carpet of spring bulbs beneath white birches, undated. [University of Manitoba, Archives & Special Collections PC 43, 17]



J.F.B.'s log cabin, Clarkson, 1930s [Dorothy Livesay Collection, University of Manitoba, PC 43, 260]



JFB's cabin in the winter, undated. [University of Manitoba, Archives & Special Collections PC 43, 15]



'Livesay Cabin at Woodlot, Clarkson', March 1941. [Mississauga Public Library, Clarkson Gallery BA0056]



PC 43, 215 – undated



'Livesay Ravine, Clarkson', undated. [Mississauga Public Library, Clarkson Gallery BA0057]



Spring

J. S. Menden 1935

'Woodlot', Spring 1935 [Mississauga Museums]



▲ Florence and children
(Barbara Larson)

Part Three 1901 - 1950

Florence Livesay with her children [Clarkson book]



Sophie & Dorothy Livesay at Woodlot [Mississauga Museums]



Sophie Livesay with Grandmother Mary Louisa Andrews Randal at Woodlot, ca. 1924 [University of Manitoba, Dorothy Livesay Collection, PC 43, 226]



Dorothy Livesay visiting Woodlot, Clarkson, with Peter aged 2 years. [Dorothy Livesay Collection, University of Manitoba, PC 43, 308]



'Dorothy & Shandy (dog)', Woodlot, Clarkson, May 1939. [Dorothy Llesay Collection, University of Manitoba, PC 43, 588]



J.F.B. Livesay at Woodlot, Clarkson, ca. 1930. [Dorothy Livesay Collection, University of Manitoba, PC 43, 210]



J.F.B. Livesay in the garden at Woodlot, Clarkson, undated. [Dorothy Livesay Collection, University of Manitoba, PC 43, 212]



J.F.B. Livesay in the garden at Woodlot, Clarkson, undated. [Dorothy Livesay Collection, University of Manitoba, PC 43, 214]



Florence Livesay [Mississauga Museum]



Dorothy Livesay [Mississauga Museums]



Dorothy Livesay [Mississauga Museum]



Dorothy Livesay at Woodlot, Clarkson, 1983 [Dorothy Livesay Collection, University of Manitoba, PC 43, 705]



Dorothy Livesay in front of J.F.B's log cabin, 1983 [Dorothy Livesay Collection, University of Manitoba, PC 43, 707]



DOROTHY
LIVESAY

*Journey with
My Selves*

A MEMOIR
1909-1963

Douglas & McIntyre
Vancouver/Toronto

Copyright © 1991 by Dorothy Livesay

91 92 93 94 95 5 4 3 2

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The lines from "Spain" are reprinted by permission of Faber and Faber Ltd. from *Selected Poems* by W. H. Auden.

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Printed on acid-free paper ∞

For Anne Rosman Campbell,
over fifty years my confidante,
supporter and critic



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Preface

It is well that a memoir spanning a lifetime will have emerged from several versions chosen by the author: some to be renovated, altered and rejected, some enlightened by the perspicacity of editorial critics and concerned friends. I am indeed grateful for "The Dorothy Livesay Issue" of *Room of One's Own*, edited by Jean Wilson, and for the perceptions of Anne Foster, Jane Haig and Sandra Hutchinson. In particular I appreciate having Lon Lawson's permission to quote from the letters of his wife, Jean Watts Lawson, and for permission from long-time friend and critic Leon Edel to publish his views on Raymond Knister's death. My special thanks go to my secretarial helpers for their patience and enthusiasm over the years.

In the long run I am the editor of this book, ready to accept praise or blame, in the hope that it will give readers a taste of the variety and spice to be found in the growth of our Canadian culture.



Introduction

Sometimes one's life, looked back upon, appears to be enclosed in a series of Chinese boxes. Each one taken by itself seems to have no significance; but when fitted, each within the next size, a pattern is visualized, there is a sense of completion. So it has been with my desire to live fully, overflowing into friendships of all kinds, and at the same time to put it down. Out of experience to create something new.

Recently I visited Erindale College and nearby St. Peter's Cemetery where my parents are buried. They never knew that the villages of Erindale and Clarkson would be melded into Mississauga, a suburb of Toronto. And Marine Drive had become a wandering paved road with new houses on every lot. I passed the spot where Mazo de la Roche had her studio cottage and had left her mark on a street sign: Jalna. Next to this, at 1219, I stopped and saw that my father's house, Woodlot, was still standing.

The house had not changed much from how I remembered it. All the original characteristics were in good repair. The clapboard was painted brown as it had been, though maybe a little darker, and the Georgian door with fan window above and glass panels either side was still trimmed with white. On the grounds I could see blooming the rare red trilliums, their common cousins the white, then the small violets, the bloodroot and the hepaticas, all of which my father had transplanted from the woods in Erindale. Forty, fifty years ago, my sister, Sophie, and I had helped my father do this by carrying slabs of shale from the cold creek to his parked car and then from his car to



● Woodlot, Clarkson, Ontario, 1941

deposit them where he indicated so they could be used as the basis for his rose garden. Beyond were the trees that Sophie and I, former prairie children aged nine and eleven, had discovered and plunged into in the month of May, with its breathtaking cherry and apple blossoms. For us, then, the trees came to be almost as real as people; the maple, oak and cedar were as distant friends, but the slim silver birches were embraceable. On moonlit nights I used to walk closer to them and place my cheek against the bark to listen to the pulsing sap. It was after such nights of listening to the birches, now frail and tottering, and to the flutelike song of the whippoorwill that as a young girl I was ready to imagine stories and find the words for poems.

● Perhaps because his father and a brother were architects, my father felt he had a natural bent for this art and so designed Woodlot himself. It was built on land bought from his distant relatives, the Harrises, in what was then called Clarkson. The Georgian door which he designed to be an exact copy of the ones in Dublin served as the main entrance. Inside, he laid down a shining oak floor, which reflected the fireplace with its three centre stones, collected one from the Pacific coast, one from the Atlantic and one from the great shield in Ontario. There were Italian lamps, ordered from Europe, hanging from cedar beams salvaged from the home of other relatives. To this were added Oriental rugs, Chinese ceramic horses and the Jacobean hope chest, an heirloom from my father's mother's family, the Blighs.

The present owners of the house welcomed me in. It was a real pleasure to see how little had changed. My father's possessions had of course been removed, but the house itself had undergone few alterations. Now there was wall-to-wall carpeting, which hid the oak floor, and the kitchen had been modernized.

● This house, Woodlot, is where I had spent my weekends, away from Glen Mawr School and, later, Trinity College. Here I escaped from study to have free time to write or read at will. I had no household chores to do, no dishes to wash or beds to make, as there was always a housekeeper in charge. While I wrote or read, my father

disappeared to his log cabin in the woods, away from the telephone and "the wimmin"; my mother sat in the sunroom writing poems or translating Ukrainian folk songs or working on a piece of freelance journalism, and my sister went sketching, taking the dog with her. Next door, in summer, Mazo de la Roche was writing the *Jalna* novels. It seemed to be an ideal country life, but the prim Ontario farming community looked rather askance at us, regarding us as "the mad Livesays."

All these memories came back to me as I stood by the bay window, looking out to where there was now a pond with two aggressive white geese guarding it where once there had been a stream with masses of daffodils and irises along its banks. So much time had passed and, yet, so little had been altered inside the doors of my father's house.

In writing memoirs, conflict arises when one seems obliged to choose between using recorded material from the past — diaries, letters, essays and stories — or relying upon memories. Malcolm Muggeridge believed that memoir evokes those important impressions, emotions and events that have truly influenced our lives. Whereas the daily journal, so significant when first written, would, he felt, be irrelevant years later.

The next perplexing question is Pilate's "What is truth?" My father, John Frederick Bligh Livesay (JFB), was faced with this question when in his sixties he began to work on his autobiography. "The truth, the truth!" he told me. "If only I could write the truth." The scraps of his writing still extant show how he sought to speak of events and men, the beginnings and growth of the Canadian Press, as clearly as he, with his inside view as general manager for twenty years, saw them. "But Live! You can't say that," my mother, Florence Randal Livesay (FRL), would tell him. "That would be libel." All his journalistic life my father had dealt with the working problems of libel. Yet how could the truth be libellous? He turned to Montaigne and in his favourite essayist he sought the answer. Perhaps he found it, and died. There, beside his bed, were Montaigne's essays, open on the little square table with the ivory paper cutter between the pages. I like to think the words were:

We have lived enough for others; let us live at least this remaining bit of life for ourselves. Let us bring back our thoughts and plans to ourselves and our comfort...let us break free from these violent clutches that engage us elsewhere and draw us away from ourselves. That is to say, let the other things be ours, but not joined and glued to us so strongly that they cannot be detached without tearing off our skin. The greatest thing in the world is to know how to belong to ourselves.

Be that as it may, the truth my father was seeking could, in the end, only be relative. His view of men and women and events was deeply coloured by his own personality and beliefs. What he handed on to me was the imprint of himself, not the imprint of facts.

"What is truth?" I like Emily Dickinson's evasive answer: "Tell all the Truth but tell it slant." Autobiography, or memoirs, are not written to satisfy a secret personal urge. They are written by an actor who performs behind a mask. The aim must be to attract an audience. A formidable task; and one much akin to that of the novelist.

My perspective on events and people is undoubtedly lopsided, slanted, with many unavoidable gaps, tempered by my own early view of my parents, brought up as I was with so many inhibitions implanted by my mother and so many ideas of freedom urged by my father. It is small wonder I have found it hard to disclose my inner life to the public. But I am the sum of all these perspectives; what I hope to present, therefore, throughout these pages, is a series of selves, views of myself. I am not ashamed to set down what seems to be the truth of my parents' lives nor what seems to be the truth of the lives of the men and women who have informed my consciousness since leaving the parental fold. These people who have demanded my love and attention have also become a part of me, and to set them down in these pages is not to relinquish them, but to remember. Always with longing, to remember. This is my truth.

merely found words to express the feeling I sensed in the air. Next, I was asked if my mother had heard me saying the prayer. I answered that she told me to say it. But I was confused. "Don't you want it, Granny? Don't you want the war to end and Uncle to come home?" The war ending and the killing of the "bad" Germans were one and the same thought to me. My grandmother replied that of course she wanted the war to end, but she then gave me a new idea to think about, one I hadn't heard about or sensed. What if there were a little girl just like me, who wanted her uncle to come home, but she was *German*? I was then tucked in and told, perhaps ironically, not to worry over this.

Children are said to be resilient, adaptable, but this is not so. The only reason they move so easily is because, like puppies, they are lifted up bodily by the scruff of the neck and set down in a new environment. Of their own free will, they would never choose to move. For a child's life is essentially static. One place, one time, is happiness; simply to be held; and there is no movement except within that frame.

Contrariwise, an adult is always conscious of a goal. He or she must be going somewhere, and sometimes this involves a long jump, a new place. The children, of course, are simply expected to adjust to the new pattern, without protest and with very little explanation. So it was, at long last, in 1918, that my father finally attained his heart's desire: he had been accepted as a war correspondent. By listening hard to grown-up conversations (without seeming to), one thing was clear to me: Father wasn't going to shoot with a gun; he would be safe enough; he was only going to write, not to fight.



Moving to Toronto

*What are little girls made of, made of
What are little girls made of?
Sugar and spice and all things nice
That's what little girls are made of.*

Kind aunts and uncles sang that song to me as a child and made me feel "all smiley." Yet I knew it couldn't be true. It was a story and stories were made up. That was why when you were telling a story you were also telling a lie. Then there was the other side of the nursery rhyme world: the little girl who "when she was good she was very very good / And when she was bad she was horrid." As a child I was trained rigorously to distinguish between good and bad, right and wrong. In adolescence the adult standards I'd adopted began to be questioned and then to crumble. Was there really a right and a wrong?

Nonetheless, the desire to make a story of one's life is one of our most human characteristics. Memory plays us false, yet it reveals more than statistics do. The truth is a many-sided prism and all one person can do is to flash the daylight on some of the walls she knows best.

When we came from Winnipeg to Toronto in 1921, I was a naive twelve-year-old, alternately spoiled and neglected, living in my own imaginative retreat. Because I was supposed to be high-strung, I had had little formal education. But the time before puberty is the time for romping, and before we really got settled in a house in Toronto's Annex district, I had a whiff of experience that would probably have been commonplace among public-school children.

Out of a few such incidents, I remember one that occurred in a boarding house where our family of four first stayed while waiting to find a house to rent. I had to sleep on a cot in the dining room, blinds drawn. One evening, just after I had got into bed, the younger son of the house came in from the kitchen and began to tickle me and then to wrestle. I probably laughed too loud, because the sliding doors that led to the parlour opened and the landlady found us. "Gordon!" she cried. "Out you go, this instant!" As for me, I was just a young puppy flexing my muscles. Later, I told my mother, "We were only playing." But I overheard the two women speaking with concern about Gordon's obsession with girls. "And he's only twelve! His brother never did anything like that." It was Gordon's tall, lean, seventeen-year-old brother on whom I really had the crush.

Those streets of the Annex still exist, although many blocks of houses have been demolished by the growth of the University of Toronto. Willcocks Street, where painter and scholar Barker Fairley lived, has the same red brick semidetached houses, small and discreet with pocket handkerchief lawns. But where are the overhanging elms that I remember being astonished by, so much taller they were than Winnipeg trees? In the Toronto Annex there were always two places to play: the backyard with its high wooden fence, apple, plum or pear tree, green patch of lawn and rhubarb plot; or the street, not yet overtaken by automobiles and so still the territory of schoolchildren.

In those days boys and girls did not mix or meet in twos. On Albany Avenue, where we spent part of our first year, I stole glances across the street at the doctor's son, Evan Withrow; on Walmer Road, I watched John Pennyfather and his brother playing catch, and I watched them watching me. They were different because they were Catholics. Even though I was a friend to their younger sister, we would never mingle. So the valentine I received that February when I was home with the mumps was not a love letter from a boy. I dreamed that it was, but I knew it wasn't. I was just a tomboy without any skills of attraction: plump, freckled, wearing glasses, able to hold my own only with the younger boys and, in summer, go fishing off the dock at Sparrow Lake.

At 77 Walmer Road I sought compensation by creating dramatic games for the younger children on the street. After school, half a dozen would come over to our place to play a complicated fairy-tale routine called Old Witch. In the winter I created a five-pin show in which the neighbouring children did a dance and a play under my direction, their parents sitting on the stairs to watch. The children living in the other half of the duplex at that time were Madge and Than Shaw, whose father, Professor Shaw, taught Italian at the university. My mother, always feeding my ambition, told me the professor enjoyed watching the games I made up. She told me he thought I would be an actress or go to university.

When we settled in Toronto our parents made the decision to send us to a private school. Immediately, one had to be dressed properly, books had to be bought, school lunches were put on the bill. Every month when that school account arrived, my mother would go over it groaning, saying that we'd have to cut out the extras, wondering if maybe last year's winter coat might still fit, if Sophie could wear my old tunic. My father seemed to take all this lightheartedly. On payday he handed out housekeeping money, and, presumably, he paid the rent and the Simpson's bill. But there seemed nothing my mother could do about emergencies: the doctor, the dentist, the plumber. It came to be that we felt guilty about asking her for things. We were supposed to get a weekly allowance, but often it was not forthcoming. If I simply had to have stockings or underwear, I was given a slip to go down to Simpson's and put it on the bill. I was never given the opportunity to budget or learn how to buy for myself.

In consequence, I think, I felt deprived, mean, drably dressed; the word *poor* became a real word. We were poor. And yet we lived in a middle-class neighbourhood and were supposed to be comfortably off. Although I continued to accept funds for my education, I felt "kept," and longed to earn my own living.

By the time I was at university, my father was earning a much larger salary as general manager of the Canadian Press, but it became evident that JFB always lived beyond his means and was often borrowing from

the bank. Had my mother wanted to dress well and have her hair done occasionally, she never could have found the money, except for the manna from heaven that fell to her for some article she had written. It got so that she didn't try to keep herself in trim. All this while, my father gave us the impression, as his letters still show, that we could have anything we wanted. Thus we remained entirely dependent on JFB's generosity and were still innocents about spending and saving.

The one element in living that my father insisted on was good food; there was always meat or fish for dinner, several vegetables and a pie or pudding. It all depended on whether the current maid could cook. I remember coming into the kitchen once and finding Finnish Helmi in tears; she had been told to make a stuffing for the chicken, but when she looked in her dictionary she found the word *sage* meant *wise*. She did not know how to make a wise chicken for the Livesay family. Another girl was told to go down cellar and find the onions to make baked onions in white sauce, a favourite dish of JFB's. At dinner he plunged into them with gusto. "What a very peculiar taste!" he exclaimed. We all tasted. "They can't be onions," I said. Mother hastily called the cook and was taken down cellar to see where the girl had found the onions. What she had found were JFB's precious Dutch hyacinth bulbs waiting for spring. Even Scottish Mary, who certainly could speak English, had trouble with the strange vegetable she thought was "sparrow grass" (asparagus). This same Mary outdid herself in cleaning behind the bath — she moved it. The spurting pipes soon let us know. What a financial crisis when the plumber had to be called in!

It was small wonder that my parents sent me to a private girls' school rather than to the stream that would head for Harbord Collegiate. I would have an opportunity, they must have reasoned, to participate in the arts, and to get personal encouragement with writing. Besides, both my parents had been educated in private schools; their children must have the same opportunities.

The first school I was sent to, however, did not live up to expectations. It was the nearby St. Mildred's, run by Anglican sisters.

I fast became top of the class and teacher's pet, but there was no drama or music, and instead of outdoor basketball or skating I endured blue serge bloomers and dumbbells in the gymnasium. I did not make close friends and looked askance at my seatmate, who cheated during geography tests. At one point she seduced me into doing the same. When we both came out with perfect scores I was filled with hot shame and guilt. Never again would I do such a thing!

It was with fear and apprehension that I walked, the following September, down Spadina Avenue to Glen Mawr School. I had already met the principal, Miss Stuart, a formidable, stout English-woman who had been to Girton and who taught Greek and Latin. She wanted me to take both languages — I opted for Latin, but French instead of Greek. Later, I added German. As a matter of course we had English literature and grammar every day. A very dull book on geography, a Canadian history book, sewing and gymnastics made up the rest of our curriculum. The only bow to science was a weekly class of nature study in which we found and pressed flowers. Of course I had to take mathematics, as it was compulsory for senior matriculation.

Undoubtedly it was the freedom to enjoy rural life, which my parents accepted as a human right, that developed in me a love of solitude and induced a poetic sensibility. Soon after our settling in Toronto, my father purchased nine acres of woodland in Clarkson, Ontario. It was part of a two-hundred-acre pioneer farm and the land was called the woodlot. As time went on through the twenties, he started having a cottage built, which would later become one wing of a larger house. We went there all through the summer holidays and occasionally on weekends throughout spring and fall. The house was finally finished when I was abroad studying in Aix-en-Provence in 1930-31.

In the city, my father walked with us along the streets. At Woodlot, he usually gardened or pursued clouds with his camera. My sister and I were free to explore the woods on our own, and the dog went along joyfully, chasing rabbits. The treasured place in Clarkson for us was

Hammond's Wood, a valley below Erindale, where a small creek wound its way over stones. There might have been snake fences then, or barbed-wire fences for the cows, but we climbed over or crawled under these; there were no signs, as there are today, of "Trespassers Will Be Prosecuted" or "Private Property." We walked along the Credit River, or the shores of Lake Ontario, unimpeded. Mother, as I recall, never went for any real walks; she sauntered about over the grounds at Woodlot, looking for wildflowers, mushrooms and the birds that had been a part of her childhood in Compton, Quebec. In March, when the snow still lay on the ground, she instituted a miniature sugaring-off by boiling maple syrup and letting snow stiffen it until we could twist it around a fork. The early search for the first crocus on the Winnipeg prairie was transferred to the search for hepaticas and trilliums in the Ontario woods.

During my school years, attending a girls' school as a day student, I never had the opportunity to meet or to know boys. Indeed, I was painfully shy, tongue-tied and unable to find any way of communication. My father, perceiving how gauche and self-conscious I was, attempted to arrange social gatherings and doings for me with the twin sons of friends of his. How ridiculous I felt, trying to talk about boys' interests — sports, sports and sports, none of which I was good at. The gap between the sexes became even wider when the boys realized that I was a bluestocking, only interested in literature, music and the theatre. Worst of all, it was said that I wrote poetry! Had they seen my diary, they would have read these words: "It's a man's world."

JFB and I used to talk about all sorts of things when I was still an adolescent. He seemed to want to pass on his experiences. After supper he would call Paddy, our Irish terrier, pick up his walking stick and watch me as I put on my jacket against an autumn evening chill. Paddy would immediately seize the centre of the stick to show his prowess, keeping it balanced nearly all the way around the block. "Oh do stop and let him find a lamppost," I would demand. Father would chuckle,

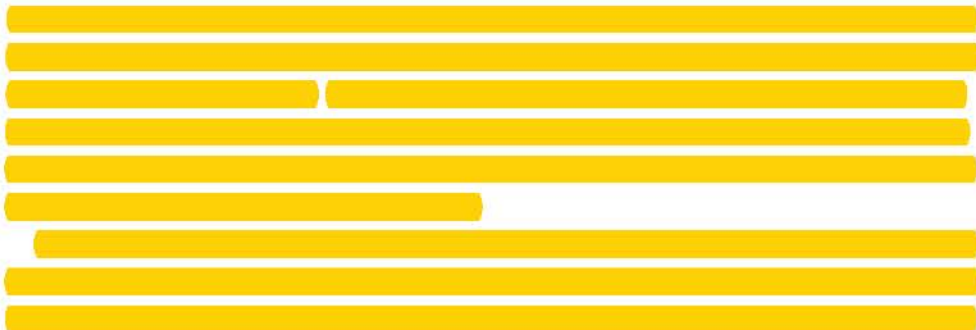
"Let's see how long he can go without." Above all he admired tenacity, individual assertiveness, even in a dog.

As for his staff, I well knew that although he stressed pulling together, although he commanded and bullied, he had more than a sneaking appreciation for those men who stood up to him. On those half-hour walks around the tall brick duplex houses of the Annex, JFB would try to reveal to me his feelings about the young reporters and their lives, even to telling me of someone who had "got his girl in trouble." He was so sympathetic that he arranged for a transfer so that the young couple could move to a Canadian Press job in another city.

Strange that I did not wonder why he did not react as my mother and her family would have reacted, in typical Victorian fashion. I took it for granted that though he did not argue for free love, he implied that there was far too much fuss made about virginity; "It's so unrealistic," he said. Ironically, to prove his point, he gave me *Tess of the D'Urbervilles* to read. In such ways he cleared away my inhibitions long before I was ready to act on them.

My mother was an influence of the opposite kind. Once, looking through a volume of Michelangelo's prints my father had found in a secondhand store, she asked disgustedly: "What is so beautiful about nakedness? The human body is ugly, ugly!" As if to emphasize the fact, she wore shapeless clothes, her petticoat showed and her stockings seemed always to have runs. Slovenly, my father called her, to her face, and in front of us children.

A sense of family and individual conflicts dominated my teenage years in Toronto. It was only with my best friend, Gina, that I felt at ease, free to speak out my real feelings concerning the institutions of family, religion and capitalism, from all of which I longed to break free. My dream was to combine the childish belief in a fairy-tale Prince Charming who would rescue me, Cinderella, from the shackles of my life, with the mature desire for a purposeful feminist career as a novelist.



[REDACTED]

[REDACTED]

[REDACTED]
[REDACTED]
[REDACTED]
[REDACTED]

[REDACTED]

[REDACTED]
[REDACTED]
[REDACTED]
[REDACTED]
[REDACTED]
[REDACTED]

Occasionally Mazo would drop in at our cottage for a cup of tea: and I was usually somewhere in the offing, pretending not to listen but ears pricked to catch any item of literary gossip. I was very sensitive about showing anyone my own poetry; but Mazo had begged to see some of it, treating me in a most adult fashion, so my loyalty was hers. Mazo de la Roche rarely talked of her past or of her personal life and this lent her an air of mystery in my eyes. How could a spinster write books about passion? As if to explain, my mother did once confide to me that Mazo had had a love affair with a Scotsman, but she did not feel free to marry him as she was tending an invalid mother, as well as trying to launch herself on a writing career. Someone from the Lake Simcoe area had also told my mother that there was a good deal of romanticism in Mazo's hints at an aristocratic French ancestry — "I knew her when she was plain Maizie Roche." This is clarified, however, in the autobiographical account *Ringing the Changes* where the author mentions, in passing, that her grandfather de la Roche was hated by the Irish family he married into.

Everything he did was wrong. Even when he anglicized his name — even though he allowed his children to be christened in the Protestant church. . . .

This grandfather de la Roche, become Roche, was evidently a fascinating rogue—even a rake. He left a legacy of classical books along with a trunkful of love letters which might well fascinate any beginning writer. If there was any stimulus needed, therefore, to release Mazo's innate romanticism, her own past could give it. Her childhood, almost in a sense as lonely as that of the Brontë's, was fed on tales of pioneer eccentrics — English, Irish and French. Her description, for instance, of her own Irish grandmother is very close to that of Adeline Whitcoak, in *Jalna*. Here it is, again from *Ringing the Changes*:

This Irish great-grandmother was a remarkable woman. By her charm, her fiery temper, her demonstrative affection, her dominating nature, she overbore her children and her children's children. . . . My father adored her. It was he who carried me, when I was three, to her on her death-bed. It is my first recollection of childhood. The tall house that seemed so dim and somehow forbidding, the long stairway thickly carpeted, the bedroom with its fourposter bed, then — the sudden dip downwards, as though my world had given way beneath me — the two long arms held eagerly upward to take me — the strong old voice, with nothing of death in it — "My little darling — my darling!" How fearful I was, in that dark embrace — I was three years old, she ninety-four!

To such a background Mazo added the fire of her own desire to become a writer.

[REDACTED]

[REDACTED]



[REDACTED]

[REDACTED]

[REDACTED]

[REDACTED]

[REDACTED]

[REDACTED]

[REDACTED]

[REDACTED]

[REDACTED]

APPENDIX F: LAND RECORDS

ADDRESS: 1219 RAVINE DRIVE, MISSISSAUGA

LEGAL DESCRIPTION: PT LOT 27 & 28, CONC 2 SDS, TORONTO TWP, PEEL CO.

| INST. NO. | DATE | TYPE | GRANTOR | GRANTEE | LANDS |
|-----------|------|---------------------|---|--------------------------|--|
| - | 1835 | PATENT | THE CROWN | Edgar NEAVE | 136 acres |
| 12141 | 1835 | B&S | Edgar NEAVE | George TRUSCOTT | 136 acres |
| 14525 | 1837 | B&S | George TRUSCOTT | James B. HARRIS | 136 acres |
| 5204 | 1875 | WILL | James B. HARRIS | Elizabeth HARRIS et al | 136 acres |
| 14282 | 1911 | B&S | Arthur B. HARRIS et ux | Annie L. SAYERS | 94 acres |
| 21276 | 1921 | GRANT | Annie L. SAYERS | Beverly D. SAYERS et ux | 94.25 acres |
| 22378 | 1922 | GRANT | Beverly D. SAYERS | John F.B. LIVESAY | 1.534 acres, LOT 11 on PLAN B24 |
| B24 | 1924 | PLAN OF SUBDIVISION | Annie L. SAYERS & Beverly D. SAYERS | | |
| 44912 | 1944 | GRANT | Chartered Trust & Executor Co., executor John F.B. LIVESAY et al | Ethel M. LINES | LOTS 10, 11, & 12 on PLAN B24 PT LOTS 27 & 28 CONC 2 SDS |
| 1393662 | 1962 | CERT | TREASURER'S CONSENT | Ethel M. LINES Estate | 1 acre |
| 148550 | 1962 | GRANT | Ernest O. LINES et al | Margery G.L. BOX | " |
| 187667 | 1965 | GRANT | Margery G.L. BOX | Vivian M. ANDREWS | " |
| 24625 | 1966 | GRANT | Vivian M. ANDREWS | Ronald & Alice FOURNIER | " |
| 46975 | 1967 | GRANT | Ronald & Alice FOURNIER | Kathleen M. CLINKARD | " |
| PR143859 | 2001 | GRANT | Kathleen M. CLINKARD | CURRENT OWNERS | " |

*Title search performed by Chris Aplin of MCA Paralegal.

Township of Toronto

LOT 27

CONCESSION 2 SD5

PAGE NO. 1

THIS IS A COMPILED
ABSTRACT AND DOES NOT
SHOW DELETED ENTRIES

| REGISTRATION NUMBER | INSTRUMENT | DATE OF INSTRUMENT | REGISTRATION DATE | GRANTOR | GRANTEE | CONSIDERATION ETC. | LAND AND REMARKS |
|---------------------|---------------------|--------------------|-------------------|---|---------------------------------------|--------------------|--|
| | Patent | 7 July 1835 | | The Crown | Edgar Heave | | 136 acres |
| 12141 | B.S. | 21 Aug. 1835 | 22 Sept. 1835 | Edgar Heave et ux | George Truscott | £-5/- | " " |
| 14525 | B.S. | 31 Aug. 1837 | 19 Sept. 1837 | George Truscott | James B. Harris | £850. | " " |
| | Patent | 8 Jun. 1847 | | The Crown | Robert Wheeler | | 50 acres |
| 121 | G. | 13 Dec. 1853 | 19 Dec. 1853 | Robert Wheeler et ux | Hamilton & Toronto Ry Co | £90. | 4 19/100 |
| 501 | B.S. | 24 Mar. 1854 | 27 Mar. 1854 | Robert Wheeler et ux | John Peer | £300. | 50 acres less 4 19/100 |
| 3151 | Deed | 1 Oct. 1856 | 13 Oct. 1856 | John Peer | Great Western Ry. Co. | £42.10/- | Right of draining |
| 5204 | Will | 24 Aug. 1875 | 22 Nov. 1884 | James B. Harris | Elizabeth Harris et al | | 136 ac. and O.L. |
| 5515 | Agmt | 5 Jan. 1886 | 9 Jan. 1886 | John H. Peer | John Peer et ux | | South part and O.L. |
| 6195 | B.S. | 29 Aug. 1887 | 31 Aug. 1887 | John Peer | Joseph Williams | 80.00 | 1 ac. at SE corner |
| 6673 | B.S. | 15 Dec. 1888 | 19 Dec. 1888 | Jos. Williams et ux | Frances Martha Slade | 275.00 | 1 ac. at SE corner |
| 7200 | Will | 24 Dec. 1884 | 2 Jun. 1890 | John Peer | Mary A. Peer et al | | 57 ac. of Sly part |
| 7201 | B.S. | 11 May 1889 | 2 Jun. 1890 | Cyrus E. Peer et ux | Emma S. Denison | 100.00 | 1 1/4 ac. |
| 7240 | B.S. | 15 Jul. 1880 | 21 Jul. 1890 | Cyrus E. Peer et ux | Grand Trunk Railway Co. | £40.00 | 215/1000 ac. |
| 8233 | B.S. | 17 Nov. 1891 | 9 Aug. 1893 | Emma S. Denison | Mary E. Kivell | 100.00 | 1 1/4 ac. of S. Part |
| 11629 | B.S. | 1 May 1904 | 13 Sept. 1904 | Arthur B. Harris et ux | Toronto & Niagara Power | 2000.00 | 5.40 ac. & O.L. |
| 12145 | D.C. | 7 Oct. 1905 | 8 Jan. 1906 | Albert Peer, Wm Peer Duncan Peer, Anne Peer & Philip Peer | Cyrus Peer | 25.00 each | S 50 ac. |
| 12183 | Ex. Prob of Will | 4 Dec. 1884 | 16 Feb. 1906 | Charles Oliphant | George Andrew et al Exrs. | | Undivided 1/2 and certain legacies etc. To sell (see lot 27, con. 3) |
| 14282 | B.S. | 12 Jan. 1911 | 19 Jan. 1911 | Arthur B. Harris et ux | Ammie S. Doyers | 1.00 N.L. & A Part | & O.L. 94 ac. |
| 15046 | B.S. | 30 May 1912 | 28 Jun. 1912 | Arthur B. Harris et ux | Effie D. Hardy | 1237.34 | Pt & O.L. sketch attached |
| 15704 | B.S. | 7 May 1913 | 10 May 1913 | Arthur B. Harris et ux | Edmund Burke | 9000.00 | 15 ac. except 66' strip and O.L. |
| 15963 | Agmt | 7 May 1913 | 15 Sept. 1913 | Edmund Burke | Arthur B. Harris | 1.00 | 15 ac. except 66' strip & O.L. |
| 18101 | B.S. | 2 Mar. 1917 | 9 May 1917 | Ammie S. Doyers | Toronto & Niagara Power Co. | 3105.32 | Part and O.L. |
| 18175 | d. of A. | 11 Jul. 1917 | 13 Jul. 1917 | Mary E. Kivell | Wm Kivell | | 1 acre |
| 20127 | Grant | 23 Jul. 1920 | 28 Jul. 1920 | Margaret J. Peer | Hydro Electric Co. | 3000.00 | 5.35. pt. |
| 20559 | Grant | 1 Oct. 1919 | 13 Jan. 1921 | Toronto & Niagara Power Co. | Canadian Northern Realty & Tr. | 1. | pt & O.L. |
| 20666 | Grant | 11 Feb. 1921 | 18 Feb. 1921 | Toronto & Niagara Railway Co. | Toronto & Niagara Power Commission | 1. | pt. pt. & O.L. |

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Township of Toronto

LOT 27

CONCESSION 2 SDS

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| REGISTRATION NUMBER | INSTRUMENT | DATE OF INSTRUMENT | REGISTRATION DATE | GRANTOR | GRANTEE | CONSIDERATION ETC. | LAND AND REMARKS |
|---------------------|-----------------|--------------------|-------------------|---|--|--------------------|--|
| 21376 | Grant | 30 Sept. 1921 | 5 Oct. 1921 | Archie A. Sayers | Beverley D. Sayers et ux | 1. | 94.25 ac Joint tenants |
| 22300 | Grant | 20 May 1921 | 21 Jul. 1922 | Minnie J. Burke et al | Wm A. Durie | 7000.00 | 1 pt + 0 L. |
| 22378 | Grant | 12 Sep. 1922 | 25 Sep. 1922 | Beverley D. Sayers et ux | John F. B. Livesey | 1. | 1 pt + 0 L. |
| 22718 | Grant | 14 Dec. 1922 | 19 Dec. 1922 | Beverley D. Sayers et ux | Cecil J. Appleby | 1. | 1 pt. 774/1000 |
| B'24 | Plan | 14 Jan 1924 | 12 Nov. 1924 | Archie A. Sayers & B.D. Sayers | subdivision | | 1 pt + 0 L. |
| 26056 | Agmt | 9 Oct. 1922 | 24 Apr. 1925 | Canadian Northern Realties Ltd. | Toronto & Niagara Power Co. | | 1 pt. pt + 0 L. |
| 26515 | M. | 15 Aug. 1925 | 17 Aug. 1925 | Margaret J. Peer | Wm S. Davis | 3000.00 | 50 pt. except 1 pt. sold |
| 28168 | Grant | 7 Oct. 1926 | 22 Oct. 1926 | Cecil J. Appleby (unmarried) | Frank R. Malcolm | 2.00 etc. | 774/1000 Pt. |
| 683368 | Sale + Transfer | 25 Mar. 1927 | 12 Mar. 1927 | Electrical Development Company of Ontario Limited | Hydro Electric Power Commission of Ontario | | vesting in Hydro Electric Power Commission of Ontario all interest of Toronto Niagara Power Commission and Electrical Development Company of Ontario limited. Journals in deed #11629 11984 excepting 50599 20666 and 26056. |
| 29582 | Grant | 1 Nov. 1927 | 14 Nov. 1927 | Wm Kivell Administrator of estate of Mary E. Kivell | Cyrus Kronkrite & Elizabeth Kronkrite | 250.00 | 1/4 ac Pt. Sly. Pt as joint tenants with right-of-way. |
| 29583 | M. | 1 Nov. 1927 | 14 Nov. 1927 | Cyrus Kronkrite et ux | Wm Kivell | 240.00 | 1/4 ac Pt. Sly. Pt. with right-of-way copied in full on page 742 Book 172. |
| 29660 | Grant | 18 Nov. 1927 | 7 Aug. 1927 | Franklin R. Malcolm et ux | Margaret E. Baker | 1.00 | 774/1000 + 0 L. |
| 30813 | M. | 1 Aug. 1928 | 2 Oct. 1928 | William A. Durie et ux | Friends Provident & Century Life Office | 7500.00 | Pt. Pt. + 0 L. |
| 30898 | M. | 19 Oct. 1928 | 25 Oct. 1928 | Margaret Jane Peer | Wm Sinclair Davis | 1500.00 | Pt. |
| 31502 | Grant | 1 May 1929 | 24 Apr. 1929 | Cyrus Kronkrite & Elizabeth Kronkrite | Oliver Elliott | \$290.00 | Pt. 1/4 ac together with refinery |
| 32189 | M. | 25 Oct. 1929 | 2 Nov. 1929 | Wm. A. Durie et ux | Oliver M. Beattie | 900.00 | 15 ac. except Pt. + 0 L. |
| 32241 | Pt. D.M. | 28 May 1930 | 4 June 1930 | Wm. S. Davis | Margaret J. Peer | | Pt. Sly. 50 ac. dischg. pt. |
| 32242 | Grant | 28 May 1930 | 4 June 1930 | Margaret J. Peer | Georgia Cronkrite | 1.00 | Pt. Sly. 50 ac. tog. with ref. w. |
| 32429 | M. | 6 Nov. 1931 | 6 Nov. 1931 | Georgia Cronkrite et ux | William Kivell | 125.00 | Pt. Sly. 50 ac. tog. with ref. w. |
| 34163 | F.D.F. | 19 Nov. 1931 | 19 Nov. 1931 | Wm Kivell (P.L.H.) | Oliver Elliott Deft. | | 1/4 ac Defts. debarred and foreclosed with a right of |

P/c descrip'n

See full copy plus note plan in doc.

note & ✓ = See notes on 10711 B24 Abstr.

Township of Dorset

LOT 57

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|---------------------------------------|------------|-----------------------|----------------------|--|-------------------------------|-----------------------|---|
| 35160 | Grant | 28 Jan 1933 | 2 Feb 1933 | Margaret J. Peer (signs by her mark) | William S. Davis | 1.00 re | Qty 50 ac. except 5 parts |
| 35161 | Grant | 23 Jan 1933 | 2 Feb 1933 | Margaret J. Peer et al Exors of Cyrus E. Peer | Margaret J. Peer | 1.00 re | Qty 50 ac. except 5 parts |
| 35257 | Grant | 22 Mar 1933 | 28 Mar 1933 | William Kuell | Edna M. Brock | 2.00 | Part Qty parts 5/8 acre with right of way. |
| 35258 | Grant | 22 Mar 1933 | 28 Mar 1933 | William Kuell | Laura I. Alderson | 2.00 | 5/8 Part Qty pt with rt-of-way. |
| 35498 | Grant | 28 Apr 1933 | 3 Aug 1933 | Naomi M. Harris et al Exors. A. B. Harris Est et al | William A. Hardy | 3846.00 | 6.41 Parts + O.L. Consent attached |
| See Deposit No. 528 (Naomi M. Harris) | | | | | | | |
| 36291 | F.O.F. | 29 Oct. 1934 | 13 Nov. 1934 | Friends Provident + Century Life Office (P) | William A. Durie et al (D) | | Parts + O.L. Defts debarned + foreclosed |
| 37344 | Grant | 18 Sept. 1936 | 6 Oct. 1936 | Friends Provident + Century Life Office | David Jerry | 1.00 re | Part as in no. 36291 except 66' strip together with any interest there + O.L. |
| 37750 | Release | 25 May 1937 | 7 June 1937 | National Trust Co. Ltd. | Hydro-Electric Power Comm. | 1.00 | Parts + O.L. Releasing Mort. dated 1st March, 1903 |
| 37779 | Grant | 14 June 1937 | 12 June 1937 | Georgia Cronkite | Cyrus Wm Cronkite | 1.00 | Part of Qty 50 ac. in no. 32842 |
| 39637 | Grant | 8 Dec. 1939 | 13 Dec. 1939 | Mary B. Beadon Exor. Margaret E. Baker | Kathleen G. Dargers | 4200.00 | Part as in No. 22718 + O.L. Consent attached. |
| 41798 | Grant | 1 June 1942 | 2 June 1942 | Georgia Cronkite | William U. Patterson | 1.00 N.L.A. | 1 pt. 1 pt. S 1/2 Comm. 467' E of Lake Shore Rd. in Ely limit |
| | | | | | | | of grantors land Thence W 109' to pt of beginning Thence S 129 1/6° X W 109' to Ely limit of 12' h of W X N 129 1/6° X E 109' to pt of B. together with a 12' h of W. to Lake Shore Rd. along Ely limit. |
| 42114 | Tax Deed | 8 July 1940 | 15 Sept. 1942 | Munic Corp of Twp of Dorset | Wm D. Thumwith | \$40.89 | 1.25 Part Comm. at a pt as follows in no. #37779 |
| | | | | | | | beginning 199' 7" SW of E.L. Thence N 43° 9' W 218' to pt of comm. Thence N 43° 9' W 255' E 192' to E limit of lot |
| | | | | | | | Thence S 75° 5' X W 195' 6" to pt of 12' h of way |
| 42115 | Grant | 15 Oct. 1941 | 15 Sept. 1942 | Wm D. Thumwith Mue | Kathleen M. Johnson | 1.25 | 1 pt. part Comm. at same pt as in no. 42114 Thence N 45° 9' W 50' X E 192' X S 50' X W 195' 6" to pt of 12' h of way |
| | | | | | | | + subj to h of way over Ely 12' |

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Township of Toronto

LOT 27

CONCESSION 2 SDS

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|--|------------|-----------------------|----------------------|---|----------------------|-----------------------|---|
| 43976 | Grant | 11 Mar. 1937 | 18 Apr. 1944 | Margaret J. Peel | Georgia Cronkite | 1.00tc | pt and right of way. Comm. in E limit 468' N of SEL of Lot 27 Thence W 192' x N 250' x N 405' to S limit of Hydro x E 50' to E limit of Lot 27 x S 62' 6" to pof b + 12' h of way. |
| 43987 | Grant | 17 Apr. 1944 | 19 Apr. 1944 | Georgia Cronkite | Edith V. Shaver | 1.00tc | Part & right of way Comm. in E limit 718' N of SEL of Lot 27 x SW 192' x N 405' to Hydro x E 50' to E limit of Lot 27 x S 38' 4' 6" to pof b + 12' h of way. |
| 43988 | Grant | 17 Apr. 1944 | 19 Apr. 1944 | Georgia Cronkite | William U. Patterson | \$1.00tc | pt + right of way Thence Comm. in E limit 718' N of SEL of Lot 27 Thence NW 192' to pof b. SE 125' x NE 90' x N 125' x SW 90' to pof b + 12' h of way. |
| 44418 | Grant | 17 June 1944 | 22 July 1944 | Agnes G. Davis et al exors. Wm S. Davis et al | Amy J. Trumwith | \$6000.00 | pt. & eas. Concomit Attached Comm. in S limit 209' W of EL x N 209' x E 17' x N 509' x N 405' to Hydro x NE along Hydro 50' to E limit of Lot 27 x N 566' x W 1335' to W limit x S 1670' to SL x E 11' to pof b. SAVE + EXCEPT - Hydro + C.N.R. rt. of ways. Subject to a rt. of way. |
| 44440 | Grant | 17 June 1944 | 28 July 1944 | Georgia Cronkite | Marion M. Conraghan | \$1.00 N.L.A. | pt + rt of way Comm. in E limit 468' N of SEL of Lot 27 Thence SW 192' to a point being pof b. Thence NW 125' x NE 90' x SE 125' x SW 90' to pof b to g. with 12' right of way Reserving to Grantor + her husband John Cronkite the right to reside on said premises for + during the life or lives of the said Grantor, or her husband, or the survivor of them. |
| 444912 | Grant | 18 Nov. 1944 | 22 Nov. 1944 | Chartered Trust & Executor Co. exors. John F.B. Himsang et al | Ethel Monech. Himes | 1.00tc | part + O.L. as in no. 22378 Treas. Com. Attached |
| See Deposit No. 1061 (Florence R. Himesay) | | | | | | | |
| 444938 | Grant | 24 Nov. 1944 | 25 Nov. 1944 | Wm D. Trumwith et al | Kathleen M. Johnson | 1.00tc | pt + rt of way. Comm. in NE limit of Lot 257' 6" N of Lake Shore Rd. Thence N 50' x S 41' 19' W 192' 1/2" x S 43' 09' E 50' x N 41' 19' E 194' to pof b. To g. with a 12' h of way + Subj to a 12' rt of way. |

Township of Toronto

LOT 27

CONCESSION 2 U.D.A.

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|---------------------|------------------|--------------------|-------------------|--|---|--------------------|--|
| 135706 | Grant | 1959 | 4 Jan. 1960 | Alan G. Dickson & Henrietta P. Dickson | Adrianus Zwiester & Henrietta H. Zwiester | 2.00% | Part as in no. 44938 |
| 138835 | Mortgage | 28 Oct. 1960 | 31 May 1961 | Antonio Frates & Maria Lucretia Frates | Antonio Frates & Maria Lucretia Frates | 4000.00 | Part as in no. 50984 |
| 131707 | Grant | 6 July 1943 | 23 Sept. 1960 | Francis Johnson | William J. Slade | \$1.00 NL + A | Consent |
| 135326 | Grant | 16 Feb. 1961 | 6 Mar. 1961 | William J. Slade | Thomas W. Campbell & Isabel Campbell | 2.00% | Part - Comm. in 4 limit of Lakehurst Road (No. 2 Highway) as widened by no. 94622 & intersected by limit 4th & 5th lots 26 & 27 - 28 Thence NW 172' 11 1/4" x SW 191' 1/2" x SE 8' 13/4" x SW 17' x SE 174' 1" x NW 208' 11 1/2" to pole |
| 135581 | Grant | 5 Aug. 1960 | 20 Mar. 1961 | The Hydro-Electric Power Comm. | Pipe Line Co. | 1.00% | a 10' strip sketch attached & O.L. |
| 1331842 | ASST OF MORTGAGE | 29 May 1961 | 12 July 1961 | Victoria & Gray Trust | M.C. Barber Limited | 2.00% | Assigning no. 128835 |
| 140760 | Highway | 28 Sept. 1961 | 3 Oct. 1961 | Dept. of Highways | | | |
| 141171 | ASST OF MORTGAGE | 29 May 1961 | 13 Oct. 1961 | M.C. Barber Limited | Alison Gattell | 2.00% | Assigning no. 128835 |
| 139366R | Cont. | 10 Aug. 1962 | 10 Sept. 1962 | Trustworthy Company | Ethel M. L. Limes Estate | | N. No. 44972 + O.L. |
| 148550 | Grant | 28 Aug. 1962 | 10 Sept. 1962 | Ernest O. James et al Exrs. | Margery G.L. Box | \$1.00 | Part & O.L. Comm. at NE lot 11 pt. B24 Thence E 175' 10" x 20' x SE 183' 9" x SW 129' 11" x 30' x 182' 9 3/4" to top of 620 L. |
| 855 | By-law | 20 June 1963 | 23 Jan. 1964 | City Corp. of the City of Toronto | By-law No. 4380 | | D. J. J. J. Part & O.L. 15000 in no. 41266 |
| 163819 | Grant | 12 Feb. 1964 | 26 Mar. 1964 | John P. Tremwith | Amy J. Tremwith | \$1.00 NL + A | Part Comm. at intersection of SE boundary of CNR & SW boundary of lot 27 Thence SE 327' 9" x NE 433.9' x NE 400' 6" to NE boundary x NW 100' 9" to CNR x SW 200' 6" x NW 400' 3" x SW 733' 4" to top of 1100 part in no. 73317 |

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| REGISTRATION NUMBER | INSTRUMENT | DATE OF INSTRUMENT | REGISTRATION DATE | GRANTOR | GRANTEE | CONSIDERATION ETC. | LAND AND REMARKS |
|--|---|-----------------------|----------------------|--|--|-------------------------|--|
| 163820 | Grant | 10 Feb. 1964 | 26 Mar. 1964 | Amey J. Trumwith | Max Syndall, William Campbell & Norman MacPherson as partnership property | 10.00 ac | Part - Comm. at SL Thence NW 21.66' x NW 376.36' top of Thence NW 1185.48' to CNR & NE 733.04' x NE 205. 22' x SE 441.75' x SW 69.42' x SE 696.06' x NW 267.41' x NW 349.04' x SW 525' top of & running 2-20' Easements. |
| 891 | Bylaw | 29 Apr. 1964 | 14 May 1964 | The Corp. of the Corp. of Toronto | Bylaw No. 4737 to repeal | 420.4380 (Reg. No. 855) | |
| 156916R | Cert. | 2 Sept. 1964 | 15 Sept. 1964 | The Ontario Cement | Hedie H. Pallett Est | | he 70.124564 x 104 |
| 173454 | Easement | 26 Aug. 1964 | 13 Nov. 1964 | The Hydro Electric Power Comm. of Ontario | The Corp. of the Corp. of Toronto | 175.00 | 0.34 ac & 10' easement shown on sketch attached (13368 GR + 65915) |
| 179453 | Grant | 8 Apr. 1965 | 30 Apr. 1965 | Anthony J. Faraqs | Gilbert Faraqs & Golden Faraqs as tenants in common | \$2.00 & 43988 | a 1/2 interest Part as in 70. |
| See Deposit No. 6670 (173439) | | | | | | | |
| See Deposit No. 6804 (S. Eric Johnson dtd.) (183692) | | | | | | | |
| 183692 | Grant | 1 June 1965 | 30 July 1965 | David Jury et al | S. Eric Johnson Limited | 2.00 ac | 16.068 ac Part & 0.4 Sketch attached Comm. at SL Blk A plan 574 Thence NE 77.35' x SE 361.60' x NW 878.36' x SW 150.12' x NW 232.12' x NE 1069.18' top of. |
| 186672 | Notice of Application for Cert. of Title | 24 Sept. 1965 | 27 Sept. 1965 | S. Eric Johnson Limited | has applied for Cert. of Title re: part lot 27 & 28-2-0DS. Sketch attached Comm. at SL Blk A plan 574 Thence NE 118.18' x SE 361.60' x NW 910.19' x NW 150.12' x NW 232.12' x NE 90' x NW 142.16' x NW 115.75' x NW 113.50' x NW 130.58' x NW 118.67' x NW 60' x NE 118.44' x NE 125.39' x NW 47.23' x NE 301.46' x NE 219.51' x NE 245.12' x NE 307.10' x SE 150' top of. | | |
| ✓ 187667 | Grant | 13 Sept. 1965 | 15 Oct. 1965 | Margery G.L. Box | William M. Andrews | 1.00 ac | Part & 0.4 ac lot 28 for desc. p. |

Township of Toronto

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|----------------------------|-------------|--------------------|-------------------|---|--|------------------------|--|
| 189400 | Grant | 27 June 1965 | 19 Nov. 1965 | Kathleen M. Johnson | Donald J. Johnson + Doreen A. Johnson as joint tenants | \$10.00 | Part Comm. at intersection of NW limit of Chokehole Rd as widened by No. 94222 with NE limit lot 27 Thence NW 258'6" x NW 324'10" top of Thence NW 60' x SW 219'2" x SE 60'14" x NE 220'7" top of Top. with N of W. |
| 189513 | Grant | 17 Nov. 1965 | 24 Nov. 1965 | William J. Whitaker | Valley Field Construction Limited | \$10.00 | Part as in No. 109355 |
| 190779 | 2.C. | 27 Nov. 1965 | 22 Dec. 1965 | Naomi M. Harris at as an Extn. of Arthur B. Harris Est. | S. Eric Johnson Limited | \$1.00 | Grant. Consent. Endorsed Part Sketch attached Comm. 77.35' NE of SL Blk A PL 574 Thence NE 70.83' x SE 261.60' x NW 70.83' x NW 261.60' top of. |
| 400 vs of Title No. 473 | Certificate | 7 Jan. 1966 | 7 Jan. 1966 | To certify that S. Eric Johnson Limited in owner at 4:30 P.M. of December 22, 1965 of part lots 27 + 28 - 2 - 101 as in No. 186672 Sketch attached. | | | |
| 417 vs 748 | Grant | 13 Dec. 1965 | 7 Jan. 1966 | Donna Marie's Consent | Thomas W. M. Campbell Estate | 11:135326.24 | |
| 5434 vs | Grant | 6 Jan. 1966 | 7 Jan. 1966 | S. Eric Johnson Limited | Subd. of part | lots 27 + 28 - 2 - 101 | |
| | Grant | 23 Feb. 1966 | 25 Mar. 1966 | Max Jyndale William Campbell Norman MacPherson | The Hydro-Electric Power Commission of Ontario | 96,750.00 | 18.38 ac. Part Sketch attached Comm. 398.02' NW of SL Thence NW 809.12' x NE 733.40' x NE 805.33' x SE 441.75' x NW 69.42' x NE 696.47' x NW 267.41' x NW 349.04' x NW 565' top of. |
| 11886 vs | Grant | 2 June 1966 | 14 June 1966 | Havinia Pallett | Antenio y Matos + Uramia S. Matos as joint tenants | 2.00 | Part S1/2 + 1/2 of W in No. 69264 |
| ✓ 54625 vs | Grant | 15 Sept. 1966 | 17 Nov. 1966 | William M. Andrews | Ronald P. Fournier Lilic J. Fournier | 2.00 | Part 4 O.L. as in No. 187667 |

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|------------------------|------------------------|-----------------------|----------------------|--|---|-----------------------|---|
| 55947 | vs Grant | 7 Mar. 1967 | 31 Mar. 1967 | Amy J. Tremwith | Thulea Construction Company Limited | \$10.00+ | Part Comm. at St. Thence NW 21.66' x NW 1, 185' to S.E. limit of C.N.R. x NW 90' to top of Thence NW 371' x NE 939' x NE 405' x SW 360' x SW 300' + 340.65' + 708' to pofc. |
| ✓ 46975 | vs Grant | 23 June 1967 | 31 July 1967 | Ronald P. Fournier Alice J. Fournier | Kathleen M. Clinkard | 2.00+ | Part of S.E. - Comm. 14' N.E. from N.W. 4 lot 11, plan B-24, thence NE 161.95' x E 31.42' x SE 183.75' x S.E. 69.08' x SE 201.08' x S.W. 213.67' x S.W. 26.52' x N.W. 451.34' to p. of c. |
| 62689 | vs Grant | 27 Sept. 1967 | 11 Jan. 1968 | Madeline J. Hardy Amos J. Hardy | Tumbal Corp Chatham Shopping Centre Limited | 1.00+ | Jo. extend 4mge 4m 99366 to October 1, 1970. ADJ. R. 95.12.15 |
| 80974 | vs Grant | 1 Dec. 1967 | 13 Aug. 1968 | The Hydro-Electric Power Commission of Ontario | Oramo-Northern Pipe Line Company | 1.00+ | Part of O.L. 4mge 10' strip - see 4mge 26 of or doc. & O.L. |
| 88218 | vs Easement | 22 May 1968 | 28 Oct. 1968 | Amy J. Tremwith | The Corporation of The Town of Mississauga | 1.00+ | Part. Beg. at 10' thence NW 21.66' x NW 34.23' to pofc thence NW 50.26' x NE 564.29' x SE 35.53' x SW 46.97' x SW 26.93' x SW 59.60' x SW 431.29' to pofc. |
| 88450 | vs Grant | 20 Oct. 1967 | 29 Oct. 1968 | Amy J. Tremwith | Isabel McArthur | 15000.00 | Part Beg. at Thence NW 21.66' x NE 91.02' x NE 120.83' x NE 295.17' x NE 26.93' x NE 46.97' x NW 349.04' x SE 100' x SE 336' x NE 26.57' x NE 26.93' x NE 46.97' to pofc. CoFA attached Subj. to easement. |
| 88451 | vs Grant | 2 Oct. 1967 | 29 Oct. 1968 | Amy J. Tremwith | Dean Oley | 15000.00 | Part Beg. at Thence NW 21.66' x NE 91.02' x NE 120.83' x NE 268.60' x NW 336' x SW 115' x SE 331.91' x NE 114.62' to pofc. CoFA attached. Subj. to easement. |
| 137823 | vs Order in Council | 3 Apr. 1970 | 15 Apr. 1970 | Crown | Dept. of Highways (Ontario) | | Transfer of highway to Town of Mississauga by Order in Council OC-922/70 See order and plan attached. D.H.O. Ch. P. 1954-78 |

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|------------------------|------------|-----------------------|----------------------|--------------------------|----------------------------------|-----------------------|---|
| | Patent | 31 Dec 1833 | | The Crown | Frederick Hays Jarvis | | 150 acres |
| 10439 | B & J | 20 Dec 1833 | 17 Jan 1834 | Frederick J Jarvis et ux | Edgar Heave | \$300 | 150 acres |
| 12120 | B & J | 14 Aug 1835 | 15 Sept 1835 | Edgar Heave et ux | Warren C Clarkson | \$162.107 | 50000 L. pt |
| 12141 | B & J | 21 Aug 1835 | 22 Sept 1835 | Edgar Heave et ux | George Juncott | \$57 | 100 ac |
| 14525 | B & J | 31 Aug 1837 | 19 Sept 1837 | George Juncott | James B Harris | \$850 | 148.5 ac + O.L. |
| 27 | J | 15 Nov 1853 | 19 Nov 1853 | Warren Clarkson | Hamilton & Ontario Ry. Co. | \$1111 | 2 1/200 |
| 2395 | B & J | 17 Nov 1855 | 25 Jan 1856 | Warren Clarkson | Henry J Clarkson | \$200 | 42 1/2 L. pt |
| 8407 | Lease | 17 Nov 1855 | 4 Sept 1860 | Henry J Clarkson | Warren Clarkson | | 42 1/2 L. pt |
| | | | | 7. pt lot No 28 | 2 Concession | | |
| | Patent | 16 Oct 1834 | | The Crown | Edgar Heave | | 47 acres |
| 12141 | B & J | 21 Aug 1835 | 22 Sept 1835 | Edgar Heave et ux | George Juncott | \$57 | 47 acres |
| 14525 | B & J | 31 Aug 1837 | 19 Sept 1837 | George Juncott | James B Harris | \$850 | 48 1/2 |
| | Book B | | | | | | |
| 3712 | Will | 15 May 1877 | 25 Sep 1882 | Warren Clarkson | Mary Ann Clarkson et al | | Part and O.L. |
| 5204 | Will | 24 Aug 1875 | 22 Nov 1884 | James B Harris | Elizabeth Harris et al | | Part and O.L. |
| 6167 | B.D. | 1 Jul 1887 | 14 Jul 1887 | Arthur B Harris et ux | Harry L. White | \$122.700 | 8.18 ac. |
| 7439 | | 28 Jan 1891 | 31 Jan 1891 | Wm. W. Clarkson et ux | Buckley & W. England Co. | 2500.00 | Part and O.L. NW of Railway |
| 7449 | Release | 9 Feb 1891 | 13 Feb 1891 | Matthew Deely Exr | Wm. W. Clarkson | 31.00 | Part and O.L. |
| 7652 | B & D | 26 Jun 1891 | 17 Aug 1891 | Harry L. White et ux | Robert Sloan | 2649.50 | 8.18 ac |
| 7927 | Release | 7 Feb 1891 | 5 Jul 1892 | Matthew Deely Exr | Henry D. Clarkson | 100.00 | Part and O.L. |
| 8276 | B.D. | 11 Oct 1893 | 13 Oct 1893 | Arthur B Harris et ux | David D. Noble | 541.12 ac | 14.43 ac |
| 8277 | B.D. | 11 Oct 1893 | 13 Oct 1893 | David D. Noble | Arthur B. Harris | 1623.38 | 14.43 ac |
| 9546 | Release | 13 Jul 1897 | 22 Oct 1897 | David D. Noble (unmanu) | Arthur B. Harris | 1.00 | 14.43 ac Rel of Equit. of Red. |
| 10358 | | 31 Oct 1900 | 12 Dec 1900 | Buckley & W. England Co. | George Wooderham | 2000.00 | Assigning No 7439 |
| 10366 | B.D. | 10 Dec 1900 | 22 Dec 1900 | Warren J. Clarkson et ux | George Wooderham | 1000.00 | Part and O.L. NW of Railway |
| 10540 | Lease | 1 Jun 1901 | 17 Jun 1901 | Henry D. Clarkson | Samuel Wm. Muchmore | 150.00 | payable 5 yearly for the term of 5 years. 1.58 ac NW of Railway |
| 10590 | J.O. & | 11 Sep 1901 | 12 Sep 1901 | George Wooderham (P) | Emma Clarkson et al (D) | | 25 ac and O.L. Defts debarred & foreclosed |
| 11629 | B.D. | 1 May 1904 | 13 Sep 1904 | Arthur B. Harris et ux | The Toronto Niagara Power Co. | 2000.00 | Part and O.L. |
| 11994 | B.D. | 17 Jul 1905 | 25 Jul 1905 | Arthur B. Harris et ux | Toronto & Niagara Power Co. | 2000.00 | 154/1000 ac. |

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LOT 28

CONCESSION 22DD

| REGISTRATION NUMBER | INSTRUMENT | DATE OF INSTRUMENT | REGISTRATION DATE | GRANTOR | GRANTEE | CONSIDERATION ETC. | LAND AND REMARKS |
|---------------------|---------------------|----------------------------|-------------------|---|---|--------------------|--|
| 12287 | B.O. | 24 Apr 1906 | 9 May 1906 | Elyat Kelly et al Exors Robert Alcan Est. et al | William E. Bouma | 3600.00 | 8.18 ac |
| 12749 | B.O. | 27 Apr 1907 | 9 Aug 1907 | Sarah Clarkson Admrs Henry D. Clarkson and Mulford D. Clarkson | William M. Pherson | 360.00 | Part and O.L. |
| 12750 | Quitclaim & Codicil | 15 May 1871 22 Sep 1880 | 9 Aug 1907 | Wm. Clarkson | Henry D. Clarkson & Wm. Warden Clarkson | | Part and O.L. |
| 12758 | B.O. | -- Aug 1907 | 29 Aug 1907 | William E. Bouma et ux | Henry W. Petrie | 250.00 | Part N $\frac{1}{4}$ $\frac{1}{2}$ ac. |
| 13475 | B.O. | 21 May 1909 | 22 May 1909 | Arthur B. Harris et ux | Herbert H. Schreiber | 2850.00 | 8 $\frac{1}{2}$ ac. |
| 13867 | B.O. | 15 Mar 1910 | 18 Mar 1910 | Henry W. Petrie et ux | Drucilla Clements | 3650.00 | $\frac{1}{2}$ ac. |
| 15046 | B.O. | 30 May 1912 | 28 Jun 1912 | Arthur B. Harris et ux | Effie O. Hardy | 1237.34 | 9.28 ac and O.L. |
| 12802 | Mort | 16 Oct 1907 | 23 Oct 1907 | Wm. George Wooderham Albert Edward Wooderham George Horace Wooderham Melville Ross Wooderham Executors & Trustees of the late George Wooderham & Harriet Wooderham widow of the said George Wooderham | Edith M. Clarkson Opinoter | 2800.00 | 25 up + O.L. being on the north west side of the Toronto & Hamilton Rwy now the Grand Trunk Rwy, and known as Clarkson's Station bounded on the north by the lands of W.S. Bouma on the south by the said Railway on the east by the public Highway extending westerly to another public Highway being all lands on the north west side of the said railway formerly owned by the late Wm. Clarkson. |
| 13151 | Lease | 25 Apr 1908 | 15 Sep 1908 | Sarah Clarkson admrs of the estate of Henry D. Clarkson deceased Mulford D. Clarkson Opinoter and Sarah Clarkson Lesors | Alexander Durie | 65.00 | $\frac{1}{2}$ yearly for and during the term of 21 years reserving however for the Ely Lesors and all others entitled through them to free and uninterrupted right of way at all times over the northerly 12 feet of the herein before demised premises. |
| 13475 | Mort | 21 May 1909 | 22 May 1909 | Arthur B. Harris et ux | Herbert Horace Schreiber | 2550.00 | 8 $\frac{1}{2}$ up lot 28 |
| 13867 | Mort | 15 Mar 1910 | 18 Mar 1910 | Henry W. Petrie et ux | Drucilla Clements | 3650.00 | $\frac{1}{2}$ up + Nly $\frac{3}{4}$ |
| 14282 | Mort | 12 Jan 1911 | 19 Jan 1911 | Arthur B. Harris et ux | Amie A. Durie | 1. | 94 up to 27428 |
| 14286 | Mort | 10 Dec 1910 | 31 Jan 1911 | Wm. M. Pherson et ux | Archelaus Willis | 1500.00 | 1. up + O.L. |

See 1427
note

Township of Toronto

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CONCESSION 2 BDD

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SHOW DELETED ENTITIES

| REGISTRATION NUMBER | INSTRUMENT | DATE OF INSTRUMENT | REGISTRATION DATE | GRANTOR | GRANTEE | CONSIDERATION ETC. | LAND AND REMARKS |
|-------------------------------------|------------|--------------------|-------------------|--|--|--------------------|---|
| 14287 | Grant | 14 Dec 1910 | 31 Jan 1911 | Archelaus Willis widower | Mildred D. Clarkson Sarah Clarkson | 1525.00 | 1. up + 0.2. |
| 15046 | Grant | 30 May 1912 | 28 Jun 1912 | Arthur B. Harris et ux | Effie O. Hardy | 1237.34 | 9.28 up + 0.2 Nly up + |
| 15691 | Grant | 3 Dec 1912 | 8 May 1913 | Drusilla Clements | Samuel J. Moore | 5750.00 | 2 up Nly 2 |
| 15704 | Grant | 7 May 1913 | 10 May 1913 | Arthur B. Harris et ux | Edmund Burke | 9000.00 | 15 up Nly 2 |
| M'13 | Plan | 16 May 1913 | 4 Jul 1913 | E. M. Clarkson | Subdivision of parts of lots 28, 29 + 30 Con. 2 D.D. 1 | | |
| 15963 | Agree | 7 May 1913 | 15 Sep 1913 | Edmund Burke | Arthur B. Harris | 1. | 15 ac. up + 0.2. |
| 16499 | Grant | 15 Jul 1909 | 12 May 1914 | Herbert H. Schreiber et ux Clarkson | Olivia M. Schreiber | 1. | 8 1/2 up |
| 17111 | Receipt | 19 May 1915 | 20 May 1915 | Clarkson | Toronto + Hamilton Comm. | | 372/1000 up + 0.2 for right of way |
| 17458 | Lease | 24 Apr 1914 | 25 Jan 1916 | Alexander Durie | Merchant Bank | 300.00 | up per annum |
| 17918 | Grant | 30 Dec 1916 | 3 Jan 1917 | Arthur Harris et ux | Samuel Jackson | 7000.00 | 2 ac up |
| 18101 | Grant | 2 Mar 1917 | 9 May 1917 | Annie L. Dayro | Toronto + Niagara + W. Rly Co | 3105.32 | up + 0.2. |
| See Deposit 83 on instrument #18223 | | | | | | | |
| 18916 | Agree | | | | | | |
| 19653 | Grant | 16 Feb 1920 | 11 Mar 1920 | Samuel J. Moore et ux | Lillian Pulcher | 6500.00 | 2 up Nly 2 |
| 19940 | Lease | 1 Aug 1918 | 28 May 1920 | Mildred D. Mitchell | Arthur Brown | | certain rents etc. up |
| 20599 | Grant | 1 Aug 1919 | 13 Jan 1921 | Toronto + Niagara P. Co. | Canadian Northern Realties Ltd | 1. | up |
| 20666 | Grant | 11 Feb 1921 | 18 Feb 1921 | Toronto Niagara + W. Rly Co. | Toronto + Niagara Power Co. | 1. | up |
| 21276 | Grant | 30 Sep 1921 | 5 Oct 1921 | Annie L. Dayro | Beverley D. Dayro et ux | 1. | 94.25 |
| 22200 | Grant | 20 May 1921 | 21 Jul 1922 | Minnie J. Burke et al | Wm. A. Durie | 7000.00 | up + 0.2. |
| 22226 | Offer | 31 May 1922 | 3 Aug 1922 | A. B. Harris | J. M. Greenwood | 3600.00 | up |
| 22378 | Grant | 12 Sep 1922 | 25 Sep 1922 | Beverley D. Dayro et ux | John B. Dwyer | 1. | up + 0.2. |
| 22421 | Lease | 1 Aug 1922 | 2 Oct 1922 | Mildred D. Mitchell et ux | Arthur Brown | | up up |
| 22422 | Agree | -- Sep 1922 | 2 Oct 1922 | Arthur Brown | Louis A. Fitzgerald | 2. | up pt |
| 22544 | Agree | 6 Oct 1922 | 3 Nov 1922 | Mildred D. Mitchell et ux | John J. Crawford et al | 2000.00 | up + 0.2 use sale of timber + trees |
| 22551 | Grant | 10 Jun 1922 | 7 Nov 1922 | Arthur B. Harris et ux | James M. Greenwood | 3831.00 | 4.514 up |
| 23145 | Grant | 30 Apr 1923 | 30 Apr 1923 | Beverley D. Dayro et ux | Jeannette A. Millard | 1. | 6.81 up |
| 23146 | M. | 19 Apr 1923 | 30 Apr 1923 | Jeannette A. Millard | Beverley D. Dayro et ux | 10000.00 | 6.81 up copied in full page 251 BR 177 |
| 23660 | Grant | 1 Aug 1923 | 24 Aug 1923 | Mildred D. Mitchell | Alex. Durie | 3000.00 | up up |
| 23719 | Notice | 19 Dec 1917 | 11 Sep 1923 | Toronto + Hamilton Highway Commission | | | up release of right of way in #17111 |

See lot
27 notes

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Township of Toronto

LOT 28

CONCESSION 2000

| REGISTRATION NUMBER | INSTRUMENT | DATE OF INSTRUMENT | REGISTRATION DATE | GRANTOR | GRANTEE | CONSIDERATION ETC. | LAND AND REMARKS |
|---------------------|-----------------------|--------------------|-------------------|--|--|--------------------|---|
| 24018 | Notice | 19 Oct 1923 | 13 Nov 1923 | Toronto & Hamilton Highway Commission | | | 1/4 release of right of way un #18223 |
| 24509 | Expropriation | 18 Dec 1923 | 26 Mar 1924 | Canadian National Railways | Mildred D. Michell | | 0.14 1/4 |
| 24696 | Grant | 11 Apr 1924 | 10 May 1924 | Mildred D. Michell | Canadian National Railway Ltd. | 400.00 | 0.14 1/4 |
| 24701 | Grant | 17 Mar 1924 | 12 May 1924 | Alex. Durie et ux | George P. Batteraby | 20000.00 | 1. 1/4 |
| 25265 | Deed of lease | 15 Sep 1924 | 2 Oct 1924 | Louis A. Fitzgerald & Wm. H. Fitzgerald See Deposit 213 | Mildred D. Michell | | 1. 1/4 |
| 25291 | Grant | 13 Sep 1924 | 6 Oct 1924 | Mildred D. Michell | Louis A. Fitzgerald et al | 2250.00 | 574/1000 1/4 |
| B-24 | Plan | 14 Jan 1924 | 12 Nov 1924 | Annie & Doyers & B. D. Doyers | Subdivisions | | 1/4 + 0.2 |
| 26056 | Agreement | 9 Oct 1922 | 24 Apr 1925 | Canadian N. Railways Ltd | Toronto & Niagara | | 1/4 co. 1/4 1/4 + 0.2 |
| NR 3368 | Deed & Charges | 25 Mar 1924 | 12 Mar 1927 | Electrical Development Company of Ontario Ltd | Hydro Electric Power Commission of Ontario | | vesting in Hydro Electric Power Commission of Ontario all interest of Toronto Niagara River Commission and Electrical Development Company of Ontario lands in deed #11629, 11994 excepting 20599, 20666, 26056. |
| 29879 | Cert of Vesting Order | 31 Jan 1928 | 3 Feb 1928 | Re Mildred D. Michell | Wm. Geo. Dean | 7500.00 | 1/4 1/4 |
| 29923 | Grant | 15 Jan 1928 | 18 Feb 1928 | Phillip George Michell | Louis A. Fitzgerald | 4500.00 | 1/4 1/4 |
| 29925 | Grant | 14 Feb 1928 | 18 Feb 1928 | Louis A. Fitzgerald | Louis A. Fitzgerald Wm. H. Fitzgerald | 1 | 1/4 1/4 |
| 29957 | Grant | 21 Jan 1928 | 27 Feb 1928 | Phillip G. Michell Committee of M. D. Michell | Byron D. Rowe | 3000.00 | 1/4 2.665 ac 1/4 |
| 29990 | Order | 5 Mar 1928 | 7 Mar 1928 | Phillip G. Michell | appointed a committee re | | estate of Mildred D. Michell |
| 29995 | O. M. | 29 Feb 1928 | 9 Mar 1928 | Beverly D. Doyers | Annie & Doyers | | 1/4 6.81 ac orig (231.46) copied in Full Page 258 Book |

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THIS IS A COMPILED
ABSTRACT AND DOES NOT
SHOW DELETED ENTRIES

| REGISTRATION NUMBER | INSTRUMENT | DATE OF INSTRUMENT | REGISTRATION DATE | GRANTOR | GRANTEE | CONSIDERATION ETC. | LAND AND REMARKS |
|------------------------|-----------------------|-----------------------|----------------------|---|--|-----------------------|-----------------------------------|
| 30061 | Clerk | 19 Mar 1928 | 22 Mar 1928 | Edmund Harley authorizing sale to Wm George Dean | Wm George Dean | 2000.00 | see M. A. Mitchell estate ypt |
| 30346 | Grant | 21 May 1928 | 26 May 1928 | George P. Batterby widower | Alexander Durie | 1300.00 | ypt vac ypt |
| 30535 | Grant | 4 Jul 1928 | 7 Jul 1928 | Byron O. Rowe | Harold U. Hare | 4500.00 | ypt |
| 30648 | Grant | 29 Jul 1928 | 11 Aug 1928 | John W. Pilcher et al exors of William Pilcher | Kenneth A. MacPhayden | 8000.00 | ypt 1/2 |
| 30813 | M. | 1 Aug 1928 | 2 Oct 1928 | Wm A. Durie et ux | Queens' Provident & Antiquary Life Office | 7500.00 | ypt ypt & O.L. |
| 302 | Expropriation Plan | 26 Apr 1928 | 4 Oct 1928 | County of Peel under sections 32 and 33 Highway Improvement Act a. 10 R.S.O. 1927 Chapter 54 and Section 17 Public Works Act R.O. Chapter 52 expropriated ypts above lands & O.L. | | | |
| 31340 | Grant | 1 Feb 1929 | 12 Mar 1929 | Louisa A. Fitzgerald | Louisa A. Fitzgerald Wm H. Fitzgerald | 1. | ypt connecting description #29925 |
| 31341 | Grant | 1 Feb 1929 | 12 Mar 1929 | Wm H. Fitzgerald | Louisa A. Fitzgerald | 1500.00 | ypt |
| 31612 | Grant | 22 May 1929 | 29 May 1929 | Louisa A. Fitzgerald et ux | Clarkson Garage & Service Station Ltd | | ypt 1. etc ypt |
| | See Deposit 384 | | | | | | |
| 32189 | M. | 25 Oct 1929 | 2 Nov 1929 | Wm A. Durie et ux | Oliver M. Beattie | 900.00 | 15 except ypt & O.L. |
| 32496 | Grant | 20 Nov 1929 | 22 Feb 1930 | Clarkson Garage & Service Station Ltd | Louisa A. Fitzgerald | 1. | ypt ypt |
| 33020 | Lease | 1 Apr 1930 | 14 Aug 1930 | Phillip J. Mitchell Committee of estate of Mildred D. Mitchell | Clarkson & Sons Club | | ypt unto & etc. |
| 33840 | Lease | 16 Jun 1931 | 22 Jun 1931 | Re Estate of Henry Shock Clarkson | | | ypt & O.L. |
| 34089 | Grant | 15 Oct 1931 | 21 Oct 1931 | Louisa A. Fitzgerald | Grace M. Fairbairn | 1. | ypt ypt |
| 34533 | Grant | 12 Apr 1932 | 13 Apr 1932 | Mary O. Durie et al Exors Alexander Durie | Charles R. Terry | 1000 | Part. Deas Consent attached |
| 34791 | Grant | 15 Jul 1932 | 8 Aug 1932 | Alba C. MacPhayden Admrs Kenneth A MacPhayden | Alba C. MacPhayden | 100 | 1/2 part of Nly 3/4 |
| 35498 | Grant | 28 Apr 1933 | 3 Aug 1933 | James M. Harris et al Arthur B. Harris et al | William A. Hendry | 3846.00 | 6.41 Part & O.L. Consent attached |
| | See Deposit No. 528 | | | | | | |

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Township of Toronto

LOT 28

CONCESSION 2000

| REGISTRATION NUMBER | INSTRUMENT | DATE OF INSTRUMENT | REGISTRATION DATE | GRANTOR | GRANTEE | CONSIDERATION ETC. | LAND AND REMARKS |
|------------------------------|------------|--------------------|-------------------|---|--|--------------------|--|
| 42034 | Grant | 17 Aug 1942 | 21 Aug 1942 | Lulu A. Fitzgerald, exr Louise A. Fitzgerald | Lulu A. Fitzgerald | \$100 | Comm un Ely limit of Lot 571'4" W of E.L. thence W 200' x N 230' to creek E along creek x S 255' top of b. trees consent (D & D) attached |
| 44528 | Grant | 4 Aug 1944 | 17 Aug 1944 | Minnie Bourne Exr of Wm E Bourne Eot & personally | James D. Burwick & Normi Burwick as joint tenants | \$5000.00 | Consent (C & D) attached pt of N 314 = Comm at a point un Ely limit of Clarkson Road as widened by Plan 302 distant 248' 2 3/4" measured N from S limit of N 24 of Lot 28. Thence E 596' 10" x N 60' 6" x N 64' 20" E 283' x S 181' 6" to D limit of N 24 x W 350' 1 1/2" to E limit of Clarkson Road as widened thence N 132' 11 3/4" x E 208' 3" x N 100' x W 207' 7" to E limit of Clarkson Road as widened x N 15' to p of b Reserving a ut-of-way over N 15' x 400' of above parcel together with all rights to property lying between original limit of Clarkson Road and the limit defined on Plan 302 |
| See Deposit No 1039 44635 | Grant | 11 Sept 1944 | 14 Sept 1944 | James D. Burwick et ux | Herbert A. Monte & Katherine E. Monte as joint tenants | \$100 | part as un No 44528 |
| ✓ 44912 | Grant | 18 Nov 1944 | 22 Nov 1944 | Chartered Trust & Executor Co. under John F. B. Murray, et al | Ethel More & Lined | \$100 | part as un No 44528 thence on attached |
| See Deposit No 1061 44763 | Grant | 29 Nov 1945 | 23 Jun 1945 | Annie L. Ayres | Thomas K. Jones | 100 & 0.69 | part Comm at S.L. of Lot 6- B-24 thence 543' 58" W 66' x curv along curve to right of 33' 51' 10" to pt of c of curve x curve to left of 33' 51' 10" to stake x N 43' 58" E 421' x N 46' 32" W along rear of Lots 8 & 9 B-24 66' x 543' 58" W 421' to p of b |

✓ = See doc / notes
lot 11 B24

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CONCESSION 2200

| REGISTRATION NUMBER | INSTRUMENT | DATE OF INSTRUMENT | REGISTRATION DATE | GRANTOR | GRANTEE | CONSIDERATION ETC. | LAND AND REMARKS |
|---|-------------------|------------------------------------|-------------------|--|---|--------------------|---|
| 145722 | Dee Deposit Grant | No 4963 (Greenwood) 17 May 1962 | 23 May 1962 | Walter E Paraley et ux | Harry W. Lushart to use | \$200 | e part - comm unine limit Clarkson Rd by Plan 302 at min limit of CNR there unw 69' 7 3/4" x e 200' x 069' 7 3/4" x w 200' top of c |
| 146605 | Mortgage | 20 June 1962 | 28 June 1962 | Alfred J. Hare et ux | Fred R. MacDonald Lumber Limited | \$200 | e part & as un No 120271 |
| 146606 | Mortgage | 22 June 1962 | 28 June 1962 | Fred R. MacDonald Lumber Limited | Alfred J. Hare | \$30,000 | part & as un No 120271 |
| 146950 | Mortgage | 7 June 1962 | 9 July 1962 | Claudine M. Hare et al | Walton & Reel Trust & Savings Company | 50,000 | part as un No 121729 comm at cl thence line 421' x e 16' x of 311' 2' x of 212' 4" x w 283' 4' x w 276' 8' 5" x e 166' 2' x w 39' 6 3/4" x w 65' 10 3/4" x w 277' 6" x me 72' 3 3/4" top of c |
| Discharged by # 55702 Asst. Dep. Land Reg. 26.10.78 | | | | | | | |
| 147380 | Dee | 11 July 1962 | 18 July 1962 | treasurers Consent | Lulu A. Fitzgerald ne | 42034 | ue: 42034 |
| 147380 | Dee | 11 July 1962 | 18 July 1962 | treasurers Consent | Lulu A. Fitzgerald ne | 42034 | ue: 42034 |
| 147380 | Dee | 16 July 1962 | 27 July 1962 | Betty C. Stewart | Rose M. Marling | 200 | e part as un No 93396 except 94222 |
| 148284 | D.C. | 20 Aug 1962 | 28 Aug 1962 | Thomas J. Cairns Beatrice A. Cairns Kenneth Cairns Dorothy Cairns | Claudine M. Hare | \$100 | part - comm at cl dot 68' 24" thence w 66' x e 51' 10" x curve to left 51' 10" x line 421' x w 66' x w 421' top of c |
| ✓ 139361R | Dee | 10 Aug 1962 | 10 Sept 1962 | treasurers Consent | Ethel M. & Lino Estate | | ue: vmo 44912 x ox |
| ✓ 148550 | Dee | 28 Aug 1962 | 10 Sept 1962 | Ernest O. Lino, et al Etno of Ethel M. & Lino Est | Margery Ed. Box | \$1.00 | part & as cl dot 27-20 for deox & ox |
| 139431R | Dee | 27 Aug 1962 | 13 Sept 1962 | treasurers Consent | Howard R. Pack Estate | | ue: No 120579 & ox |

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|---------------------|---|--------------------|-------------------|--|---------------------------------|--------------------|--|
| 183692 | Grant | 1 June 1965 | 30 July 1965 | David Terry, et ux | D. Eric Johnson limited | | 200±e Part of old sec lot 27 for deep sketch attached |
| 183761 | Grant | 28 July 1965 | 3 Aug 1965 | Herbert J Kontny & Rea L. R. Kontny | Clarkson Interiors limited | | 200±e Part as un No 132359 |
| 183762 | Grant | 28 July 1965 | 3 Aug 1965 | Herbert J Kontny & Rea L. R. Kontny | Clarkson Interiors limited | | 200±e Part as un No 104331 |
| 183763 | Grant | 28 July 1965 | 3 Aug 1965 | Herbert J Kontny & Rea L. R. Kontny | Clarkson Interiors limited | | 200±e Part comm 35'4" NE of NEly intersection with NEly limit of Clarkson Rd Plan 302 thence NW 125' x NW 15' x SW 25' x SE 75' x SE 128' x NE 25' to pofc. Subj to RofW by with RofW |
| 186672 | Notice of Application for Cert of Title | 24 Sept 1965 | 27 Sept 1965 | D. Eric Johnson limited | | | has applied for Cert of title re: part lots 27 & 28 on 2 S.D. D sec lot 27 for deep sketch attached |
| 187599 | Grant | 17 Sept 1965 | 15 Oct 1965 | Margery D. L. Box | Neil D. Bough | | \$100±e Part & ad comm at NL lot 10 upl B-24 thence NW 281.50' x DE 138.12' x NE 370.65' x NW 451.34' x SW 14' x NW 66' to pofc |
| ✓ 187667 | Grant | 17 Sept 1965 | 15 Oct 1965 | Margery D. L. Box | Thurman M. Andrews | | \$100±e Part & ad comm 14' in E of NWL lot 11 upl B-24 thence NE 161.95' x E to curve to right mod 20' x DE 183.75' x DE 69.08' x DE 201.05' x SW 213.67' x SW 26.52' x NW 451.34' to pofc |
| 188512 | Grant | 7 Oct 1965 | 2 Nov 1965 | Margery D. L. Box et ux | John J. Lupall Electric limited | | 200±e 2.665 Part & ad as un No 120271 |
| 188751 | Grant | 18 Oct 1965 | 5 Nov 1965 | Harold D. Day et al as trustees of the United Church of Canada at Clarkson | Delany Construction limited | | 320±e Part - comm un DE limit of Mago Creek (by By Law No 3007) 270' inc of Clarkson Rd thence NE 80' x DE 287' 10" x SW 80' x NW 298' 4" to pofc |

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CONCESSION 2000

| REGISTRATION NUMBER | INSTRUMENT | DATE OF INSTRUMENT | REGISTRATION DATE | GRANTOR | GRANTEE | CONSIDERATION ETC. | LAND AND REMARKS |
|---------------------|------------|--------------------|-------------------|--|---|--------------------|--|
| 2057015 | Shard | 6 Sept 1966 | 16 Sept 1966 | Harold M Samridge | Daniel N Auth | \$1000 | Part as un No 129461 |
| 2057115 | Shard | 6 Sept 1966 | 16 Sept 1966 | Edith M Samridge | Daniel N Auth | \$1000 | Part as un No 12961, all her interest |
| 2171515 | Shard | 26 Aug 1966 | 29 Sept 1966 | Delany Construction Limited | Thomas M Anderson & Frances E Anderson as joint tenants | \$2000 | Part as un No 188751 |
| ✓ 2462515 | Shard | 15 Sept 1966 | 17 Nov 1966 | Thurman M Andrews | Ronald P Fournier Alice J Fournier as joint tenants | 2000 | All & OZ as un No 187667 |
| 2923615 | Shard | 14 Dec 1966 | 30 Dec 1966 | James Pengelly Jr, et ux | Adelwilde Developments (Ontario) Limited | \$1000 | 23.101 Part Comm 177.25 unw of EL thence SW 211.25' x unw 36' x SW 680' x NW 87' x SW 353.81 x NW 670.67' x NE 518.42' x NW 207.91' x NE 313.07' x NW 15' x NE 361.06' x DE 1029.17' top of c |
| 3101915 | Cert | 26 Jan 1967 | 26 Jan 1967 | It is hereby declared and ordered that all of the restrictive conditions and covenants contained in No 34089 are hereby discharged | | | Part comm 413' 5 1/2" SW of NW limit of Toronto-Hamilton Highway thence SW 150' x NW 246.6' x NE x DE 220' top of c |
| 3139315 | Shard | 25 Oct 1966 | 31 Jan 1967 | Grace M Fairbairn | Alice J Muller | \$2000 | Part comm un NW limit of Lakeshore Rd by No 94222 413.44' W of EL thence SW 150.06' x NW 200' x NE downstream x DE 204' top of c |
| 3447215 | Shard | 7 July 1960 | 13 Mar 1967 | Delany Construction Limited | William D Graham Patricia A Graham as joint tenants | \$2500.00 | Part as un No 188753 |
| 3706015 | Cert | 11 Apr 1967 | 18 Apr 1967 | Treasurers' Consent | Munus Bourne Est | | Part comm un W thence NE 55' 4 3/8" by DE 4599' 4" top of c (NE limit of Clarkson Rd) thence NE 171 3/8" 221' 4" x NW 96' 1 3/4" x SW 315' 3" x DE 251' 35" top of c |

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|---------------------|------------|----------------------|-------------------|---|--|--------------------|---|
| 37841vs | Grant | 21 Apr 1967 | 28 Apr 1967 | Roy P Bourne & Dorothy J Bell Execs of Mmms Bourne Est. | Thomas Haire & Claudine Haire as joint tenants | 200 ac 1.026 acres | Part comm un NE limit of Clarkson Rd by plan 302 434820' NE of Tully L. Chence NE 198.95' x NE 71.61' x NE 39.60' x NE 96' x NW 238.50' x NW 251.18' topog sketch attached Dom. Consent attached |
| ✓ 46975vs | Grant | 23 June 1967 | 31 July 1967 | Ronald P Bournier & Alice J Bournier | Kathleen M Clarkand | 200 | Part of or see lot 27,2505 for description |
| 62689vs | Agreement | 29 Sept 1967 | 11 Jan 1968 | Madeline & Randy & Simon & Randy | Juanhoe Corp & Clarkson Shopping Centre Limited | 100 ac | to extend Mtge 7699366 to Oct 1, 1970 - Adm. U. 96.01.04 |
| 62778vs | Grant | 25 Oct 1967 | 12 Jan 1968 | Ben Ackerman, Ted Chester & Samuel Horowitz | Ben Ackerman, 25% interest Ted Chester, 25% interest Samuel Horowitz, 50% interest | 200 ac | Part of or as un no 170815 |
| See Report 76 | | 62881 vs (no. 20570) | 15 | | | | |
| 65830vs | Grant | 19 Dec 1967 | 19 Feb 1968 | Joseph Racioppo & Michele Morna | Michael Morna, to use | 200 ac | Part as un 76 103955.3g with rights of way Reserving uofw except parts un 76 94222 |
| 72492vs | Agreement | 1 Nov 1967 | 13 May 1968 | Anne C Roberts | Clarkson Shopping Centre Limited | \$1000 | to extend Mtge 76 99970 to 30 Oct 1969 - Adm. U. 96.01.04 |
| 73406vs | Lease | 21 May 1968 | 23 May 1968 | Joaquim Corneil | William H Chenoweth Est | | un: 76 103718 |
| 77555vs | Easement | 12 June 1968 | 4 July 1968 | Patricia Nixon | The Corporation of the Town of Mississauga | 200 ac [1] | An easement over Part Comm 563.44' SW of EL + 149.30' NW thence NW 20' x SW 24.30' x NE 20' x NE 24.30' topog (0.011ac) [2] Temporary working easements over Part 1 Comm 563.44' SW of EL + 149.30' NW thence SE 24' x SW 24.30' x NW 24' x NE 24.30' topog (0.013ac) [3] Comm 563.44' SW of EL + 167.30' NW thence NW 50' x SW 24.30' x SE 50' x NE 24.30' topog (0.022ac) sketch attached |

| NUMBER | INSTRUMENT | DATE OF INSTRUMENT | DATE OF REGISTRATION | GRANTOR | GRANTEE | CONSIDERATION | REMARKS |
|---------|------------------|--------------------|----------------------|--|--|---------------|--|
| 26052 | Grant | 1 Dec. 1924 | 24 Apr. 1925 | Beverley D. Sayers, et ux | John F. B. Livesay | 1.00 | All - See copy |
| 38976 | Grant | 19 Jan. 1939 | 15 Feb. 1939 | John F. B. Livesay, et ux | Scottish Equitable Life Assurance Society | 5000.00 | All & O. L. |
| 44294 | Grant | 29 Mar. 1944 | 27 June 1944 | Scottish Equitable Life Ass. Soc. | The Standard Life Ass. Co. | 1.00 & C. | Assigning No. 38976. |
| 44912 | Grant | 18 Nov. 1944 | 22 Nov. 1944 | Chartered Trust & Executor Co., Exrs. John F. B. Livesay, et al | Ethel M. L. Lines | 1.00 & C. | All & O. L. Restrictions. Treas. Consent attached. |
| 366 | BY-LAW | 12 OCT. 49 | 3 JULY 50 | RE SUBDIV. CONTROL | | | |
| 426 | BY-LAW | 1 JUNE 54 | 9 JUNE 54 | RE SUBDIV. CONTROL | | | |
| 187667 | MORTGAGE | | | | | | |
| 1319005 | Grant | 22 June 1966 | 27 June 1966 | Margery H. L. Box | Neil D. Hough | 100 & C. | Part 40 L. in No. 187579 See Lot 28-2 S.D.S. for Descp. |
| 1319105 | Grant | 22 June 1966 | 27 June 1966 | Neil D. Hough | Neil D. Hough & Barbara M. Hough | 2.00 M. & O. | Part 40 L. in No. 187579 See Lot 28-2 S.D.S. for Descp. |
| 1319205 | Grant | 15 June 1966 | 27 June 1966 | Neil D. Hough & Barbara M. Hough | The Prudential Insurance Company of America | 30,000.00 | Part 40 L. in No. 187579 See Lot 28-2 S.D.S. for Descp. |
| 2402505 | Grant | 15 Sept. 1966 | 1 Nov. 1966 | Lillian M. Andrews | Ronald P. Fournier & Alice J. Fournier, as joint tenants | 200 & C. | Part 40 L. in No. 187579 See Lot 28-2 S.D.S. for Descp. |
| 2402510 | MORTGAGE | 25 Oct. 1966 | 19 Nov. 1966 | Ronald P. Fournier & Alice J. Fournier | Lillian M. Andrews | 3,000.00 | Part 40 L. in No. 187579 See Lot 28-2 S.D.S. for Descp. |
| 4497505 | Grant | 23 June 1967 | 31 July 1967 | Ronald P. Fournier & Alice J. Fournier | Matthew M. Clinchard | 200 & C. | Part 40 L. in No. 187579 See Lot 28-2 S.D.S. for Descp. |
| 4718605 | Grant | 13 July 1967 | 1 Aug. 1967 | Lillian M. Andrews | Ronald P. Fournier & Alice J. Fournier | | Part 40 L. in No. 187579 See Lot 28-2 S.D.S. for Descp. |

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Consent

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P+L+3 27+28 2SDS
+ L+3 10, 11, 12 P. B24

P+L+3 10 & 11 P. B24 & P+L+3 27 & 28 2SDS



LAND
REGISTRY
OFFICE #43

13444-0036 (LT)

PAGE 1 OF 2
PREPARED FOR CA
ON 2018/08/10 AT 10:52:20

* CERTIFIED IN ACCORDANCE WITH THE LAND TITLES ACT * SUBJECT TO RESERVATIONS IN CROWN GRANT *

PROPERTY DESCRIPTION: PT LTS 27 & 28, CON 2 SDS TT, PT LT 11, PL B24, PT 1, 43R14694; CITY OF MISSISSAUGA

PROPERTY REMARKS:

ESTATE/QUALIFIER:

FEE SIMPLE
LT CONVERSION QUALIFIED

RECENTLY:

RE-ENTRY FROM 13444-0318

PIN CREATION DATE:

1998/03/23

OWNERS' NAMES

LANE, INGRID

CAPACITY SHARE

ROWN

| REG. NUM. | DATE | INSTRUMENT TYPE | AMOUNT | PARTIES FROM | PARTIES TO | CERT/ CHKD |
|---|------------|-----------------|-----------|---|-----------------------|---------------|
| **EFFECTIVE 2000/07/29 THE NOTATION OF THE "BLOCK IMPLEMENTATION DATE" OF 1997/03/18 ON THIS PIN** | | | | | | |
| **WAS REPLACED WITH THE "PIN CREATION DATE" OF 1998/03/23** | | | | | | |
| ** PRINTOUT INCLUDES ALL DOCUMENT TYPES AND DELETED INSTRUMENTS SINCE 1998/03/23 ** | | | | | | |
| **SUBJECT, ON FIRST REGISTRATION UNDER THE LAND TITLES ACT, TO: | | | | | | |
| ** SUBSECTION 44(1) OF THE LAND TITLES ACT, EXCEPT PARAGRAPH 11, PARAGRAPH 14, PROVINCIAL SUCCESSION DUTIES * | | | | | | |
| ** AND ESCHEATS OR FORFEITURE TO THE CROWN. | | | | | | |
| ** THE RIGHTS OF ANY PERSON WHO WOULD, BUT FOR THE LAND TITLES ACT, BE ENTITLED TO THE LAND OR ANY PART OF | | | | | | |
| ** IT THROUGH LENGTH OF ADVERSE POSSESSION, PRESCRIPTION, MISDESCRIPTION OR BOUNDARIES SETTLED BY | | | | | | |
| ** CONVENTION. | | | | | | |
| ** ANY LEASE TO WHICH THE SUBSECTION 70(2) OF THE REGISTRY ACT APPLIES. | | | | | | |
| **DATE OF CONVERSION TO LAND TITLES: 1998/03/24 ** | | | | | | |
| VS46975 | 1967/07/31 | TRANSFER | | *** DELETED AGAINST THIS PROPERTY *** | CLINKARD, KATHLEEN M. | |
| 43R14694 | 1987/06/19 | PLAN REFERENCE | | | | C |
| PR143859 | 2001/09/26 | TRANSFER pic | | *** COMPLETELY DELETED *** CLINKARD, KATHLEEN M. | | |
| PR143860 | 2001/09/26 | CHARGE | | *** COMPLETELY DELETED *** | | |
| PR469686 | 2003/07/22 | CHARGE | \$200,000 | | ROYAL BANK OF CANADA | C |

NOTE: ADJOINING PROPERTIES SHOULD BE INVESTIGATED TO ASCERTAIN DESCRIPTIVE INCONSISTENCIES, IF ANY, WITH DESCRIPTION REPRESENTED FOR THIS PROPERTY.

NOTE: ENSURE THAT YOUR PRINTOUT STATES THE TOTAL NUMBER OF PAGES AND THAT YOU HAVE PICKED THEM ALL UP.

B-24

PLAN
OF SUBDIVISION OF
PARTS OF LOTS 27 & 28 CON. II S.D.S.
T^W OF TORONTO
C^Y OF PEEL

Scale 100' to 1" = 10'

Note: All bearings are Magnetic
unless otherwise stated. True
North is 11° 15' E of Magnetic
North. All distances are in feet
unless otherwise stated. All
lot areas are in acres unless
otherwise stated. All lot
dimensions are in feet unless
otherwise stated.



APPROVED
On behalf of the Municipal Council of
the Township of Toronto

APPROVED
On behalf of the
Municipal Council of
the Village of Peel

MORTGAGE CERTIFICATE

I hereby consent to the filing of this plan

(Print Name) Shorpen Robinson

Mortgagee

By M.C. Rogers & P. L. Rogers
Mortgagees

By M.C. Rogers & P. L. Rogers
Mortgagees

By M.C. Rogers & P. L. Rogers
Mortgagees

Approved by the
Municipal Council of
the Village of Peel
on 10th March 1924
By M.C. Rogers & P. L. Rogers
Mortgagees

78004
Toronto
22378

Dated September 12th 1922

HE WITHIN RE-
ENTERED AND
REGISTERED

161 FOR - 1030
Toronto - 22378
September 1922
22378
J. P. E. Livesay

Beverly D. Sayers,
et Uz,

TO

J. P. E. Livesay

Deed of Land

SITUATE

In the Township of Toronto

Dye & Durham, 9 Toronto Avenue, Toronto, Can.

W. A. Chisholm,
Oakville, Ont.

County of Halton

1. Mary Ann McElroy,
of the Town of Oakville

TO WIT:

County of Halton, Therese Sayers

1. THAT I was personally present and did see the within instrument and a duplicate thereof duly signed, sealed and executed by Beverly D. Sayers and Annie Louise Sayers

two of the parties thereto.

2. That the said instrument and duplicate were executed by the said part 1 of the Town of Oakville

3. THAT I know the said part 1 of the

4. THAT I am a subscribing witness to the said instrument and duplicate.

SWORN before me at the Town

of Oakville in the County of Halton this 12th day of September A.D. 1922

W. A. McElroy

or

of the

of

in the

TO WIT:

do solemnly declare

THAT I was at the time of the execution and delivery by me of the within instrument and of the full age of 21 years.

AND I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of "The Canada Evidence Act"

DECLARED before me at the

of Oakville in the County of Halton this 12th day of September A.D. 1922

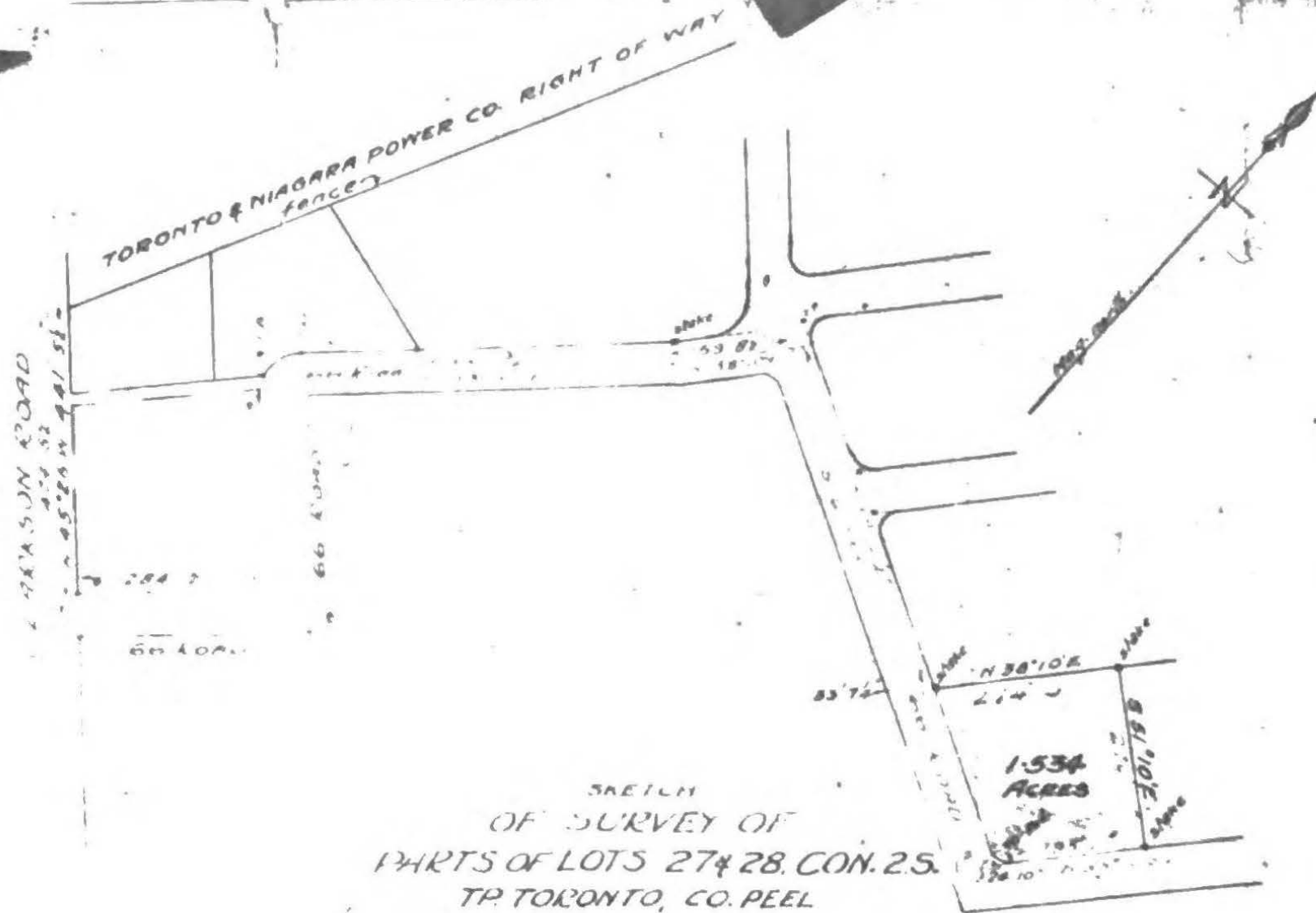
A Commissioner for taking Affidavits, Etc.

Dead—Without Dower.



14 inches to an angle; Thence N. $38^{\circ}10'E$. along said centre line
 169 feet 8 1/2 inches to an angle; Thence S. $62^{\circ}33'E$. continuing
 along the said centre line 536 feet 4 1/2 inches more or less to the
 intersection of the said centre line of road with the westerly
 production of the north-westerly limit of said parcel; Thence N.
 $38^{\circ}10'E$. along said production 33 feet 7 1/2 inches to the said point
 of commencement; Thence N. $38^{\circ}10'E$. 274 feet 5 inches to a stake;
 Thence S. $62^{\circ}33'E$. to a stake planted in the north-westerly

To have and to hold unto the said Grantee his heirs and
 assigns, to and for his and their sole and only use for ever. Subject
 Nevertheless to the reservations, limitations, provisos and conditions,
 expressed in the original grant thereof from the Crown.



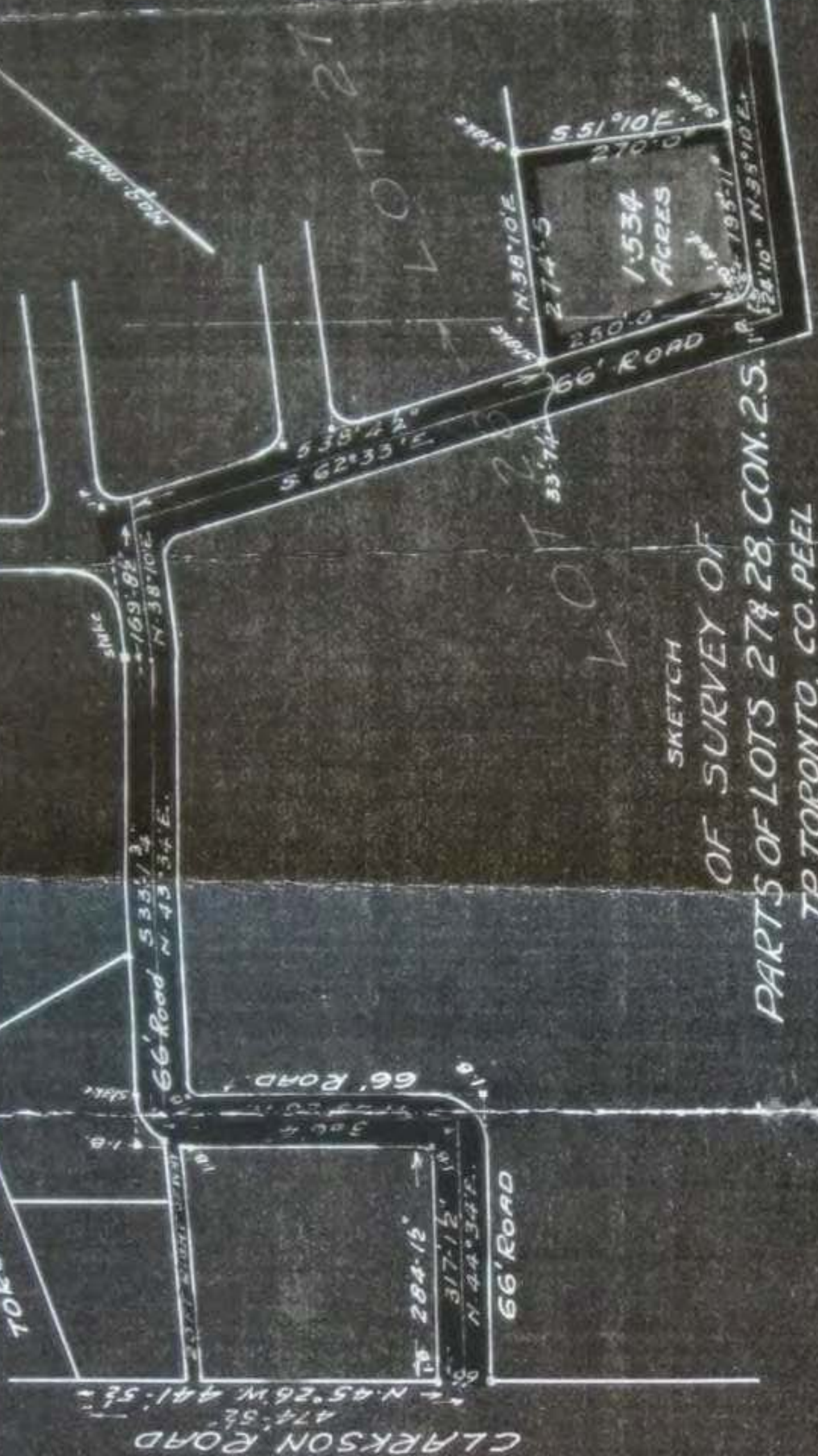
SKETCH
OF SURVEY OF
PARTS OF LOTS 27 & 28, CON. 25.
TP. TORONTO, CO. PEEL
CLARKSON ONT.
SCALE 200' = 1"

H. S. B. Kulich

ONTARIO LAND SURVEYOR
JAN. 4 1922, PORT CREDIT ONT.



TORONTO & NIAGARA POWER CO. RIGHT OF WAY
FENCES



SKETCH
OF SURVEY OF
PARTS OF LOTS 27 & 28, CON. 25.
TP. TORONTO, CO. PEEL
CLARKSON ONT.
SCALE 200' = 1"

W. B. F. L. L. L.

ONTARIO LAND SURVEYOR
12 AUG 1922, PORT CREST, ONT.

Survey for
J. F. B. Livesey Esq.
Clarkson Ont.
W.O. 1229.

TT 22378

OF SURVEY OF
PROVINCIAL
PROPERTY
AND
LANDS
DEPT. OF LANDS
AND
SURVEY
TORONTO, CANADA

100-100000

1990

ALL INFORMATION CONTAINED
HEREIN IS UNCLASSIFIED
DATE 10-17-89 BY SP-6 JAC

17-18-19

The said Grantor ~~s~~ ~~Covenant~~ ~~s~~ with the said Grantee That ~~t~~ ~~he~~ ~~y~~
 ha ~~v~~e the right to convey the said lands to the said Grantee notwithstanding
 any act of the said Grantor ~~s~~.

And That the said Grantee shall have quiet possession of the said lands
 free from all incumbrances.

And the said Grantor ~~s~~ ~~Covenant~~ with the said Grantee that ~~t~~ ~~he~~ ~~y~~
 will execute such further assurances of the said lands as may be requisite.

And the said Grantor ~~s~~ ~~Covenant~~ with the said Grantee that ~~t~~ ~~he~~ ~~y~~
 ha ~~v~~e done no act to incumber the said lands.

And the said Grantor ~~s~~ ~~Release~~ to the said Grantee All their
 claims upon the said lands.

In Witness Whereof the said parties hereto have hereunto set their
 hands and seals.

Signed, Sealed and Delivered,
 IN THE PRESENCE OF

n. L. McKay

B. W. Sayers
A. L. Sayers

The Land Transfers Tax Act, 1921

of { 3.
of the of
To wit: { in the

the Grantee named in the within or annexed Deed make oath and say:

That the full and true purchase price of the lands and premises therein described, including existing encumbrances and the value of any property, security or thing given as consideration is *Seven Hundred and fifty* dollars, and no more.

Sworn before me at the

of
in the
of
this
day of

19

A Commissioner, etc.

871
 Town of
 26052

I CERTIFY THAT THE WITHIN INSTRUMENT IS DULY ENTERED AND REGISTERED IN THE REGISTRY OFFICE FOR THE COUNTY OF PEEL IN BOOK No. 164 FOR *Toronto* at 11 O'CLOCK A.M. OF THE 24 DAY OF *April* A.D. 1924. NUMBER 26052

L. H. Miller
 Dep. Reg.

Dated *December 17* 1924

B. H. Sayers, et Ux,

-TO-

J. P. B. Livesey,

Deed of Land

SITUATE

In the Township of Toronto

Dye & Durham, 5-11 Yonge Street Arcade, Toronto, Ont.

W. A. Chisholm,
 Oakville, Ont.

TO WIT: do solemnly declare
 THAT I was at the time of the execution and delivery by me of the within instrument
 and of the full age of 21 years.
 AND I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same
 force and effect as if made under oath and by virtue of "The Canada Evidence Act".
 DECLARED before me at the
 of _____ in the County
 of _____ this _____
 day of _____ A.D. 19

A Commissioner for taking Affidavits, Ont.

County of Halton } *Mary Lee's*
 of the Town } *Oakville*
 County of Halton, *He is a resident*
 TO WIT: make oath and say:
 1. THAT I was personally present and did see the ~~under~~ *under* instrument and a duplicate thereof duly
 signed, sealed and executed by *Peterley B. Sayers* by his Attorney *Annie Louise*
Sayers, and Annie Louise Sayers

two of the parties thereto.

2. That the said instrument and duplicate were executed by the said part 106 at the
of the
 3. THAT I have the said part 106
 4. THAT I am a subscribing witness to the said instrument and duplicate.
 SWORN before me at the Town
 of *Oakville* in the County
 of *Halton* this *22nd*
 day of *April* A.D. 1924
W. A. Chisholm
M. C. Mackay

Affidavit, Land Transfer Tax

In the Matter of an Act respecting the Taxation of Real Estate Transfers.

County of Halton

E. John Frederick Eligh Livesay

of the City of Toronto

in the County of York, Manager,

To wit:

the Grantee

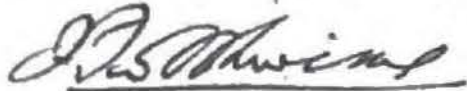
(Grantee, Grantor or duly authorized Agent or Solicitor for Grantee or Grantor as the case may be)

named in the ~~affidavit~~ annexed Deed ~~(see Transfers)~~ make oath and say;

1. That I have personal knowledge of the facts herein deposed to.
2. That the full and true purchase price of the lands and premises therein described, including existing encumbrances and the value of any property, security or thing given as a consideration is One (\$1.00) - - - - -

- - - - - dollar/ and no more.

Sworn before me at the Town
of Oakville
in the County
of Halton
this 5th
day of January, 1929




A Commissioner etc.

Witnesseth that in consideration of One (\$1.00) - - - - -

- - - - - Dollar/
of lawful money of Canada now paid by the said Grantee to the said

Deed—Without Dower

This Indenture

made (in Duplicate) the *First* day of *December*
 one thousand nine hundred and twenty-four.

Witnesseth that in consideration of One (\$1.00) - - - - -

- - - - - Dollar/
 of lawful money of Canada now paid by the said Grantee to the said
 Grantor s (the receipt whereof is hereby by them acknowledged), they
 the said Grantors do Grant unto the said Grantee in fee simple

All and Singular th at certain parcel or tract of land and premises
 situate lying and being in the Township of Toronto in the County of
 Peel and Province of Ontario, and being composed of Lot eleven
 (11) according to a plan of a subdivision of parts of lots 27
 and 28 in the Second Concession South of Dundas Street in the
 Township of Toronto in the County of Peel, registered in the
 Registry Office for the said County of Peel on the twelfth day
 of November, 1924, as plan "B-24".

TO HAVE AND TO HOLD unto the said Grantor his heirs and

AND IT IS HEREBY DECLARED AND AGREED that the said restrictions and conditions shall continue in force for the period of twenty years from the first day of January, 1938, and be binding upon and in respect of the land hereby conveyed for the benefit of and enforceable by the Grantor and every other person seized or possessed of any part of the lands included in said registered plan "B-34", under or by virtue of any conveyance heretofore made by the Grantor containing or subject to the like conditions or restrictions and the heirs and assigns of the Grantor and of every other such person during the said period.

The said Grantor **& Covenant** with the said Grantee That they have the right to convey the said lands to the said Grantee notwithstanding any act of the said Grantors.

And That the said Grantee shall have quiet possession of the said lands free from all incumbrances.

And the said Grantor **& Covenant** with the said Grantee that they will execute such further assurances of the said lands as may be requisite.

And the said Grantor **& Covenant** with the said Grantee that they have done no act to incumber the said lands.

And the said Grantor **& Release** to the said Grantee All their claims upon the said lands

In Witness Whereof the said parties hereto have hereunto set their hands and seals.

Signed, Sealed and Delivered
IN THE PRESENCE OF

M. L. McKay

Beverly D. Sayers by
Aunt J. Sayers
his attorney
under Power of Attorney registered on
Registers 3041 in Book 10 for General
Aunt J. Sayers

City of Mississauga

Corporate Report



Date: 2018/10/18

To: Chair and Members of Heritage Advisory Committee

From: Paul Mitcham, P. Eng, MBA, Commissioner of
Community Services

Originator's files:

Meeting date:
2018/11/13

Subject

Request to Alter a Heritage Designated Property: 26 Bay Street (Ward 1)

Recommendation

1. That the request to alter the heritage designated property at 26 Bay Street, as per the Corporate Report from the Commissioner of Community Services, dated October 18, 2018 be approved.
2. That the approval allow for some flexibility in the size and placement of the skylights on the solarium to ensure they are not visible from the street, whilst still maintaining a consistent scale, rhythm and proportion in their size and arrangement.
3. That if any further changes result from other City review and approval requirements, such as but not limited to building permit, committee of adjustment or site plan approval, a new heritage permit application may be required. The applicant is required to contact heritage planning at that time to review the changes prior to obtaining other approvals and commencing construction.

Background

The City designated the Old Port Credit Village Heritage Conservation District (HCD) under Part V of the Ontario Heritage Act in 2004. The 2004 plan remains in effect due to a Local Planning Appeal Tribunal (LPAT) appeal. The subject property is included in the district and identified as a "historic" building in the plan. As such, the property is subject to the heritage permitting requirements outlined in the plan for this classification.

The owner of the property proposes a rear addition. The proposal is outlined in the Heritage Impact Assessment, Heritage Management Plan, site plan drawings and additional drawings attached as Appendices 1 thru 4. The proposal includes the removal of a modern toolshed, the enlargement of the upper storey of the existing house at the rear, as well as an additional rear one-and-a-half storey addition ("solarium"), set back from the original dwelling, connected by a narrow single storey link. New built form would be sheathed in hardie board or maibec horizontal siding. New one-over-one wood windows are also proposed. The pergola-style roof over the terrace shown in the site plan application drawings is not proposed.

Comments

The proposed addition is set back, limited in size and scale and does not detract from the character of the original building. The additional built form would be distinguished by material from the original dwelling, which is sheathed in aluminum. The proposed changes to the windows are more sympathetic to the character of the house.

Section 5.14 of the HCD plan calls for skylights to be installed “away from street view.” Skylights are proposed at the front of the solarium, which is set back from the terrace at the rear of the property. In designing the addition, calculations were made to ensure the skylights would not be visible from the street; however, the owner commits to modifying the proposal if, during construction, this is found not to be the case. As such, if the proposal is approved, the approval should allow for minor changes in the number, size and placement of skylights in this area, whilst maintaining an orderly rhythm across the roof.

The proposed alteration is sensitive to the character of the property and the HCD and should be approved.

Financial Impact

There is no financial impact resulting from the recommendation in this report

Conclusion

The owner of the subject property proposes additional built form at the rear of the property and some modifications to the existing house. The proposal complies with the HCD plan and should therefore be approved.

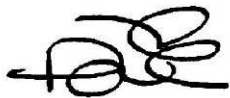
Attachments

Appendix 1: Heritage Impact Assessment

Appendix 2: Heritage Conservation Management Plan

Appendix 3: Site Plan Application Drawings

Appendix 4: Additional Drawings and Finishes



Paul Mitcham, P. Eng, MBA, Commissioner of Community Services

Prepared by: Paula Wubbenhorst, Heritage Planner



HERITAGE IMPACT ASSESSMENT

26 BAY STREET

MISSISSAUGA, ONTARIO

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4.0 Recommendation

- 4.1 Regulation 9/06, Ontario Heritage Act
 - 4.1.1 Does the property meet the criteria for designation
 - 4.1.2 Provincial Policy Statement - 2014

5.0 Qualifications

- 5.1 Author
- 5.2 References

1.0**GENERAL INFORMATION****Name(s)****1.11 Historic Place Name**

- Coleman Patchett residence, circa 1910

1.12 Other Name(s)

- Wilcox-Bates residence

Recognition**1.21 Authority**

- City of Mississauga

1.22 Inventory Code

- #599

Location**1.31 Address**

- 26 Bay Street

1.32 Postal Code

- L5H 1C1

1.33 Lower Tier

- City of Mississauga

Coordinates**1.41 Latitude**

- 43° 32' 54.9" north

1.42 Longitude

- 79° 35' 5.9" west

Boundaries**1.51 Lot**

- Plan 300 W, Lot 2, north of Bay Street

1.52 Property Area

- 412.0 m²

1.53 Depth

- 35.05 m

Zoning**1.61 Zoning**

- R15-1

1.62 Status

- designated under Part V of the Ontario Heritage Act, June 2004

1.63 Bylaw

- 272-2004

2.0

GENERAL REQUIREMENTS

2.1 Detailed site history

2.1.1: listing of owners from the Land Registry Office

Crown – February 28, 1820

Frederick William Jarvis – February 20, 1841

James G. Wilcox – July 2, 1841

Henry Horatio Wilcox – October 22, 1886

Canadian Permanent Insurance Company – April 4, 1895

Henry Horatio Wilcox – November 6, 1906

Ethel McLuckie – September 7, 1909

Coleman Patchett – April 25, 1913

George M. Morton, et ux – February 30, 1930

Margaret Naish – October 13, 1931

Nicole Bates – August 3, 2004

current owner – name withheld, in compliance with the Freedom of Information and Protection of Privacy Act (R.S.O. 1990, c. F.31)

2.1.2: A history of the site use(s)

Mississauga Nation

When the British Crown purchased the “Mississauga Tract” from the councilors of the “Mississauga Nation of Indians” on August 2, 1805, the Mississauga Nation retained ownership of all land for 1.61 kilometres on both sides of the Credit River, which included the as-of-yet unsurveyed subject lot.

Crown

Through Treaty 22, the councilors of the Credit Mississaugas sold the 1805 reserve (less 82 hectare) to the British Crown on February 28, 1820. The subject property is part of this land sale.

Frederick William Jarvis

The subject property was surveyed in August 1834 (approved by the Surveyor General in June 1837) by Robert Lynn as part of Plan 300 West, which surveyed the area comprising most of the current Port Credit Heritage Conservation District. Sale of properties was slow so in 1841, Frederick William Jarvis – sheriff of the County of York (of which the subject property was still a part) was placed in charge of selling the lots. Jarvis can be considered the first individual owner of the subject property since, in order to obtain the Crown franchise to sell lots in Plan 300W, he purchased the surveyed lands up-front, with his return on investment to be obtained from the sale of improved lots.

James G. Wilcox (?-1886)

Captain James Wilcox and his wife Mabel purchased the subject lot, and the lot immediately adjacent to the east (Lot 1) in 1841. The land sale is recorded in the Lot 1 entry. Purchased at \$12.50, it is likely that the land had not been improved by Jarvis. Thus Wilcox likely built the existing building on Lot 1, sometime between 1841, when he purchased the lot and 1843 when the main residence appears on a village plan. Local tradition states that a drive shed was built on Lot 2 (the subject

property) as a service building to the main residence, but this outbuilding does not appear on the 1843 village plan. This could be because there was no drive shed, or that since a drive shed was not an occupiable building, it may have been left off the village plan. The registry record for Lot 2 does not indicate that such a building existed, but this does not exclude the possibility that a drive shed was built on Lot 2, when Wilcox owned both lots. (If a drive shed, and other possible lot improvements were removed prior to the first B.&S. for the property in 1909, the existence of these earlier improvements would not be confirmable from the registry record.)

Henry Horatio Wilcox (1854-1923)

Lots 1 and 2 of Plan 300 W, north of Bay Street were willed to James' son H. Horatio Wilcox in 1886. Land records indicate that a mortgage was taken out on Lots 1 and 2 in 1895 with the Canadian Permanent Insurance Company, and paid off by Wilcox in 1906.

Ethel Grace McLuckie (née, Devlin) (1882-1979)

Lot 2 of Plan 300W, north of Bay Street was sold to Ethel McLuckie, widow of Peter McLuckie of Port Credit, for \$525 in 1909. This land transfer severed Lot 1 from Lot 2. Lot 1 was later transferred to Horatio's wife, Elizabeth Wilcox (nee, Roberts) (?-1939)

Coleman Henry Patchett (1889-1970)

Ethel married Coleman "Cole" Patchett in 1911. The value of Lot 2 rose sharply from \$525 to \$1,500 in 1913, suggesting that the property was improved (possibly the current residence) between 1909 and 1913, as a new home for Cole and Elizabeth and their first son, Harold George Patchett, born 1912.

George M. Morton, et ux

George M. Morton is likely a representative for a real estate company (hence the "et ux") which sold the property in October 1931 to Margaret Naish. Margaret's father, Adrian (1892-1957) ran Credit View Dairy.

Margaret Naish (1931-2004)

The property remained in the Naish family into the 21st century. Voters lists from 1935 to 1980 indicate that different tenants occupied the subject property during this period, suggesting that the Naish family purchased the lot as a rental property.

Nicole Bates

After the death of Margaret Naish in 2004, the property was sold to Nicole Bates, who owned the property in 2016. No information has been found about this resident.

Current Owner

Information on the current property owner has been withheld in compliance with the Freedom of Information and Protection of Privacy Act.

2.2 Complete listing and full written description of property

The main building is located on the north side of Bay Street, west of Front Street and east of John Street, in the village of Port Credit. The main residence faces southward toward Bay Street. The foremost part of this building is set approximately 6.5 metres inward from the Bay Street sidewalk. A modern flagstone walkway leads to the front of the house from Bay Street.

Structures

The main residence is the only structure on the property with a foundation. There is a modern wood shelter/tool shed in the back yard.

Building Materials

The main residence is of wood frame construction. The roof is of standard asphalt shingling. See Section 2.3.1 (a).

Building Elements

The main residence is a one-and-a-half story structure. It is approximately 92.5 m². The main entrance is by way of a foyer inset from the main living area. Based on the generally symmetric form of the main residence, it is likely that the home originally had a central entrance (consistent with most other pre-WWI homes in Port Credit) which was later moved to one side. A circa 1980 photo from the Mississauga Library's collection indicates that this asymmetrical change of entrance location took place prior to the mid 1980s. In addition to the former central-entrance the front of the current residence may have been a porch, which was enclosed into part of the main house on or before the mid-1980s.

The residence has a saltbox profile with a moderately-pitched upper storey roof and a shallower-pitched main floor roof to the rear. There is a small extension to the rear of the house, to the west side, leading to a modern, raised wood deck.

Architectural and Interior Finishes

The main residence has a generally plain appearance, consistent with the older, modest wood-frame homes in the Port Credit Heritage Conservation District. The house has modern windows, and the enclosed front porch has small skylights, but the residence otherwise retains the modest pre-WWI character of small single family dwellings in the HCD.

The interior was modernized over the years, but still retains some historic elements, including iron floor grates and plain-style floorboard molding. See Section 2.3.1 (d).

Natural Elements

There are two small trees in the front yard, and three larger trees in the rear yard. Larger trees that overhang the subject property are located on the neighbouring properties. The neighbouring buildings to the south, east and west are all taller than the main structure at 26 Bay Street.

(See Google images; Section 2.2.4.)

Landscaping

The wood deck to the rear of the main residence leads to a small flatstone patio in a semicircular form, surrounded by gardens. A white picket fence, at the

front of the house, includes an archway which is aligned to the north-south centre line of the residence. See Section 2.3.1 (b)

Archaeological Resources

No formal archaeological survey has been done on the property.

2.2.2: Chronological history of the property

Although registry records indicate that there was no permanent, occupiable structure on Lot 2, Plan 300W north of Bay Street, there may have been an unoccupiable outbuilding, consistent with local tradition that the current residence, or an earlier structure on this lot, was a stable and/or drive shed.

There is some credence to the claim that a drive shed and/or stable could have been part of the subject lot, based on information known about the first property owner. James G. Wilcox (? to 1886) was a lakeboat captain stationed out of Port Credit harbour from 1841 (when he appears to have moved to Port Credit) and 1855 (when the Great Western Railway was completed through Port Credit, diverting much of Wilcox's marine transit business). Wilcox came to Port Credit from Sandusky, Ohio. Sandusky is a port town on Lake Erie, so it possible that Wilcox may have been a captain or crewman on a merchant vessel. The Welland Canal, completed in 1829, permitted passage of ships from Lake Erie to Lake Ontario, and it may have been during one of these journeys that Wilcox chose to move to Port Credit, after hearing of the construction of a harbour which began in this village in 1837.

Each winter, marine traffic came to a halt when the lake froze, and passengers traveling between Toronto and Hamilton, and points between used a horse-drawn coach service operated by William Weller. James Wilcox was an investor in Weller's coach company, and in 1841 may have purchased Lots 1 and 2, Plan 300W north of Bay Street to build an inn (the current structure at 32 Front Street South) and ancillary buildings. When winter storms prevented passage, passengers would be forced to take shelter at an intermediate point until conditions cleared. Being an investor in Weller's service, Weller would naturally bring his customers to Wilcox's inn as an overnight shelter. (Passengers were of course obliged to pay for a night's stay.)

Even in favourable weather, Weller's team of horses would have to be changed three times between Toronto and Hamilton, and rested until the return journey, and since Port Credit is about one-third distant along the route, the stables and drive shed were essential for the care of the horse teams. James Wilcox chose these two properties, because Lot 1 overlooked the harbour where the captain kept his vessel, and because Port Credit was a suitable rest stop location for passengers and horses.

It cannot be confirmed that the current residence on the subject property was an enlargement of an earlier drive shed, but Captain Wilcox's investment in the coach service which supplemented his lakeboat service during the winter does

explain how local tradition has come to tell of a stable and drive shed which used to be at the rear of Wilcox's existing main residence.

After the Great Western Railway supplanted the lakeboats and coaches as the preferred all-weather transportation resource, the shed was used for storing firewood; becoming a redundant building when a coal boiler for central heating was installed at the Lot 1 property in 1911. This date is generally consistent with the 1909-1913 likely date of construction of a residence on the subject property, either as a conversion of the now-redundant wood storage outbuilding, or as a new building possibly built on the foundation of that outbuilding.

At the latest, the house predates 1928, since a residence of this size and current position on the property is indicated on Goad's 1928 fire insurance plan for the village of Port Credit. The building is not present on the 1910 fire insurance plan.

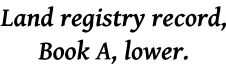
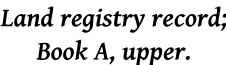
This property was designated in June 2004, under Part V of the Ontario Heritage Act.

2.2.3: Conclusions regarding the significance and heritage attributes

The property at 26 Bay Street, Mississauga is identified in the *Old Port Credit Village Heritage Conservation District Plan*, by George Robb Architect as one of 41 properties in the Port Credit Heritage Conservation District to be of "historic interest". Local tradition states that this house may have originally been a drive shed, which may have dated back to the mid 1840s when the property owner, James G. Wilcox operated an inn on the property immediately to the east, but this cannot be confirmed by registry records. Otherwise, the property retains the general characteristics consistent with other small, one-and-a-half storey wood-frame homes in Port Credit's heritage conservation district.

2.2.4: Location

The main building is located on a small, narrow lot on the north side of Bay Street, west of Front Street and east of John Street, in the village of Port Credit.



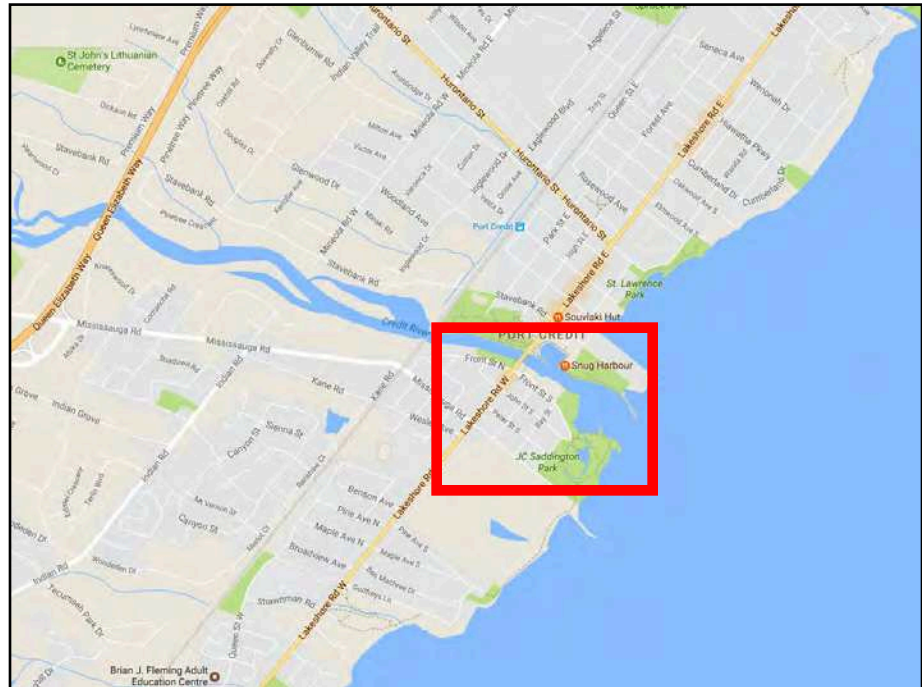
| GRANTOR | GRANTEE | QUANTITY OF LAND | CONSIDERATION IN AMOUNT OF MORTGAGE | REMARKS |
|---|----------------------|---------------------|---|-------------|
| Lot 2 | | | | |
| 1876 Frederick W. Lawrie | William Lowdy | All | \$12.60 | |
| 1876 James G. Wilson | H. Horatio Wilson | " | | rok |
| 1876 Frederick J. Brown | Henry H. Wilson | " | 200 | |
| 1876 The Crown | By Andrew Wilson | " | 1/2 | |
| 1876 H. Wilson | Thos. H. Cook | " | 200 | NOV 20 1892 |
| 1876 H. Wilson | The Crown | " | 200 | NOV 20 1892 |
| 1876 The Toronto Sp. Trust | Henry H. Wilson | " | | NOV 20 1892 |
| 1876 Henry H. Wilson | The Crown | " | 200 | NOV 20 1892 |
| 1876 The Can. Per. Co. Corp. | Henry Horatio Wilson | " | | NOV 20 1892 |
| 1876 The Can. Per. Co. Corp. | Henry Horatio Wilson | " | | NOV 20 1892 |
| 1876 H. H. Wilson et al | Ethel MacLachlan | 1/2 pt. | \$5.25 | NOV 20 1892 |
| 1876 Ethel MacLachlan and Arthur J. Forster | | " | 200 | NOV 20 1892 |
| 1876 Ethel MacLachlan | Coleman H. Patchett | " | 2025 | |
| 1876 Coleman H. Patchett et al | Thos. H. Cook | " | 2000 | MAY 8 1897 |

Land registry record;
Book B, upper.

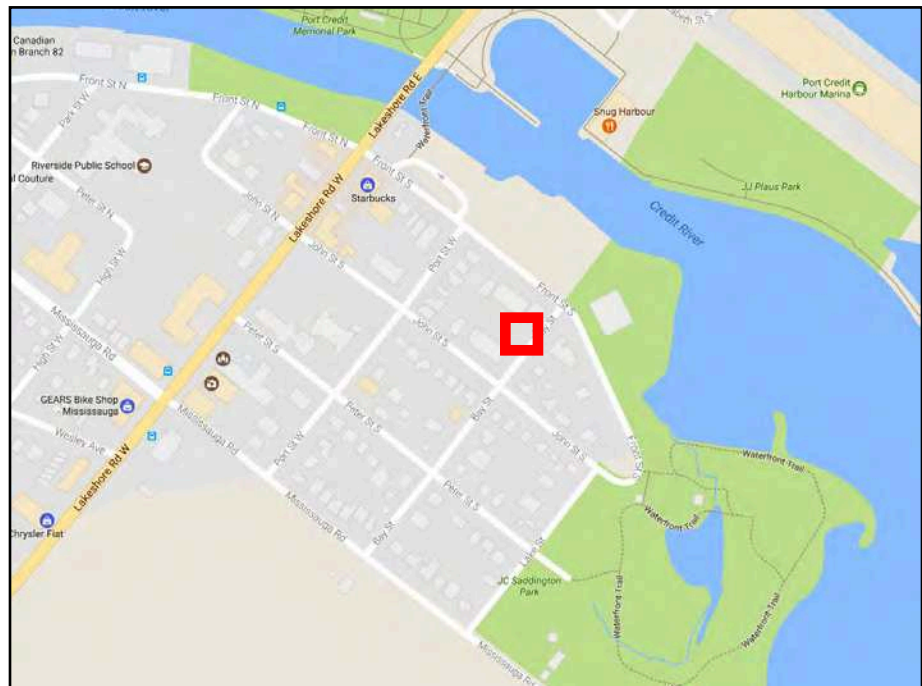
| | | | | |
|---------------------------------|----------------------|-----------|-----------|------------|
| 1876 Ethel MacLachlan | Coleman H. Patchett | " | 2000 | MAY 8 1897 |
| 1876 Coleman H. Patchett et al | Thos. H. Cook | " | 2000 | MAY 8 1897 |
| 1876 Arthur J. Forster | Ethel MacLachlan | 1/2 pt. | 1 | MAY 8 1897 |
| 1876 Elizabeth Wilson | Elizabeth Wilson | 1/2 pt. | 1 | MAY 8 1897 |
| 1876 Coleman H. Patchett | Coleman H. Patchett | 1/2 pt. | 1 | MAY 8 1897 |
| 1876 Municipal Survey | | | | MAY 8 1897 |
| 1876 Elizabeth Wilson | George M. Devlin | pt. | 1500 | |
| 1876 George M. Devlin et al | Margaret Haish | pt. | 1000 | |
| 1876 Margaret Haish | George M. Devlin | pt. | | 32471 |
| 1876 George M. Devlin et al | Margaret Haish | pt. | 1235 | |
| 1876 Coleman H. Patchett et al | Anderson R. Anderson | pt. | 3100 | |
| 1876 Anderson R. Anderson et al | Coleman H. Patchett | pt. | 3100 | |
| 1876 Alex. R. Anderson et al | Margaret Haish | Part | 3600 | |
| 1876 Coleman H. Patchett | Alex. R. Anderson | discharge | No. 36224 | |
| 1876 Alex. R. Anderson et al | Margaret Haish | new pt. | 3600 | |

Land registry record,
Book B, lower.

2.2.4 Location maps



The Town of Port Credit, and area.



*Port Credit West
Heritage Conservation District.*



looking north



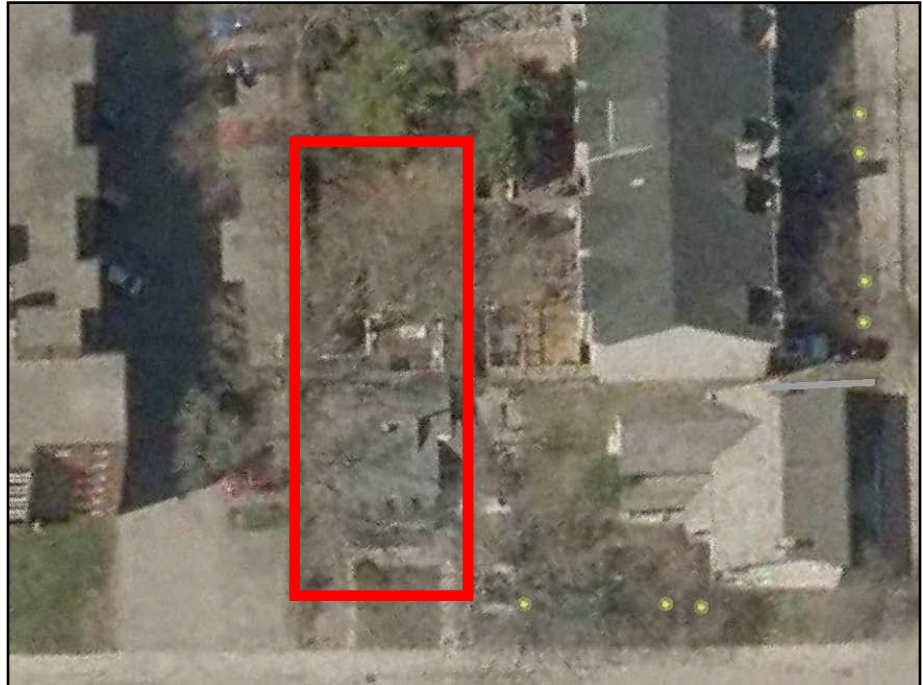
looking south
(both photos: Google Maps)



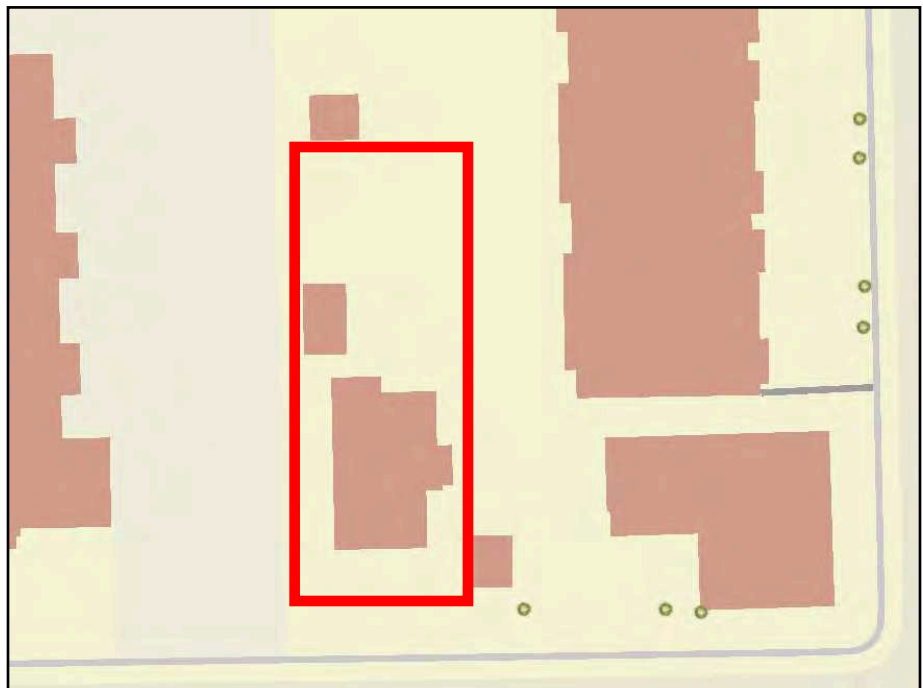
looking east



looking west
(both photos: Google Maps)



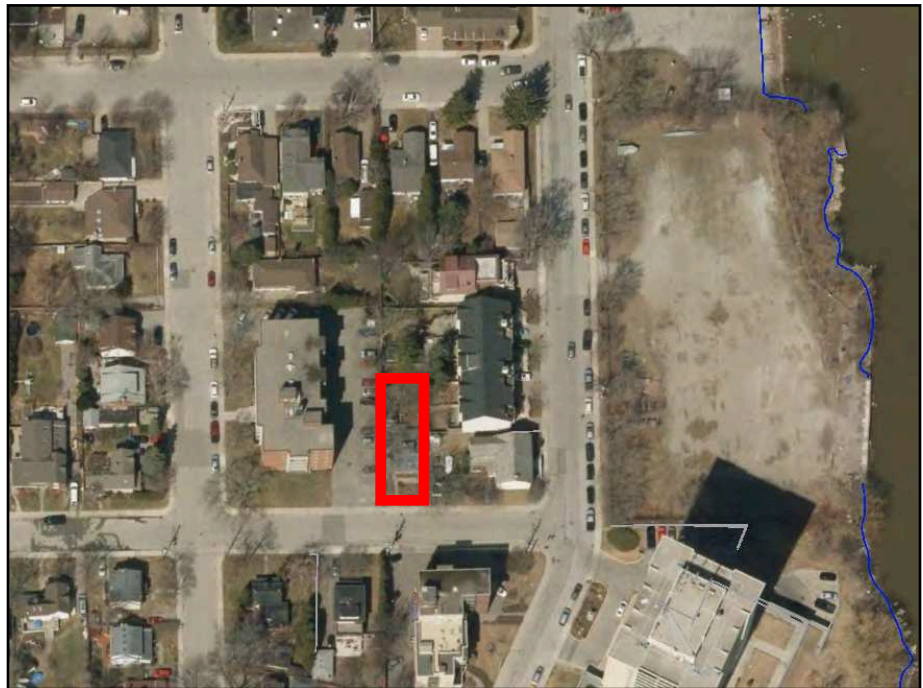
*2016 aerial image.
(City of Mississauga I-Maps)*



*2016 solid fill image.
(City of Mississauga I-Maps)*



*1960 aerial image of neighbourhood.
(City of Toronto Archives)*



*2016 aerial image of neighbourhood.
(City of Mississauga I-Maps)*

2.3.1 (a) Existing conditions related to the heritage resource



South (front) and west facades, looking northeast.



South (front) facade, looking north.



West facade, looking east.



North and west facades, looking southeast.

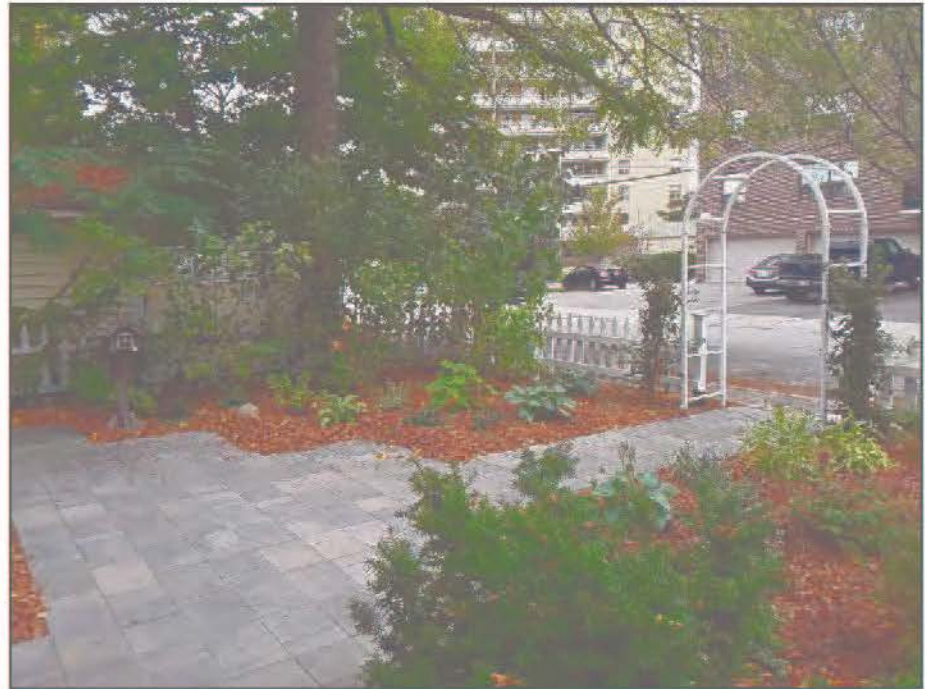


South (front) and east facades.

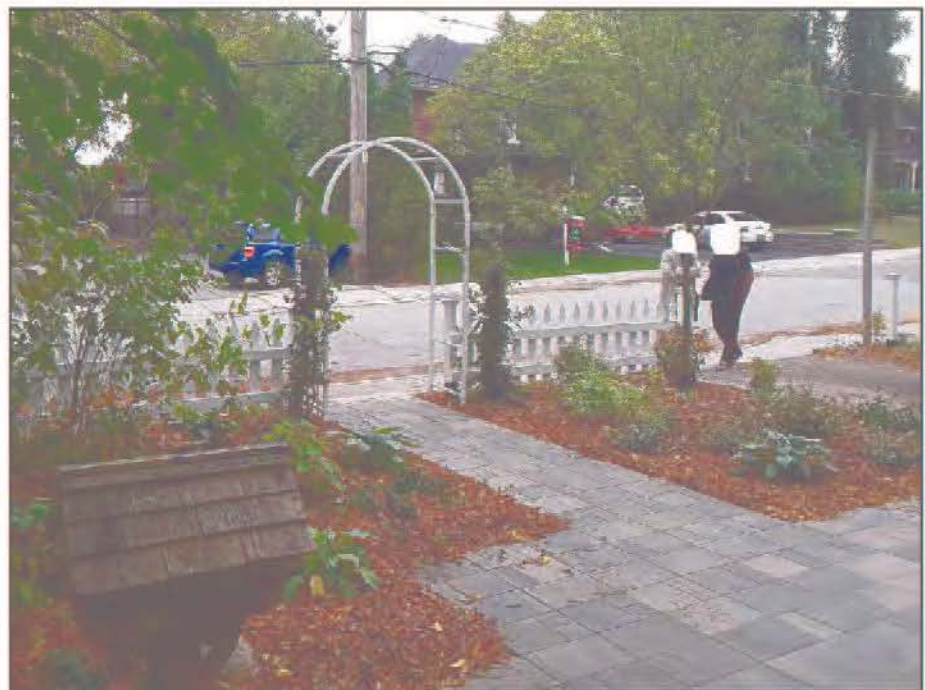


North facade, looking southwest.

2.3.1 (b) Property



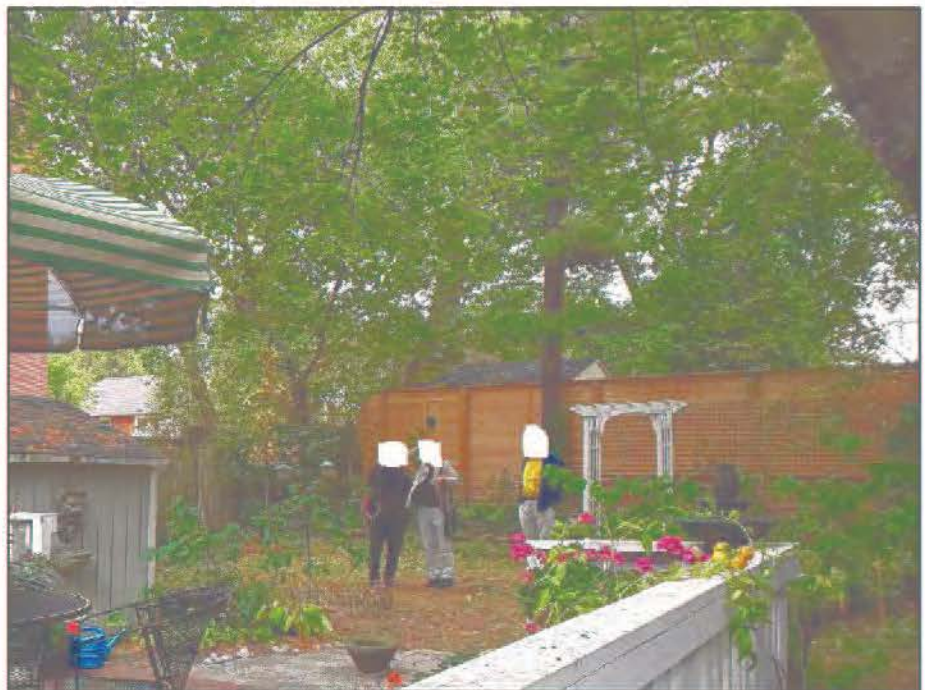
Front yard, looking southeast.



Front yard, looking southwest.



Back yard, looking south.

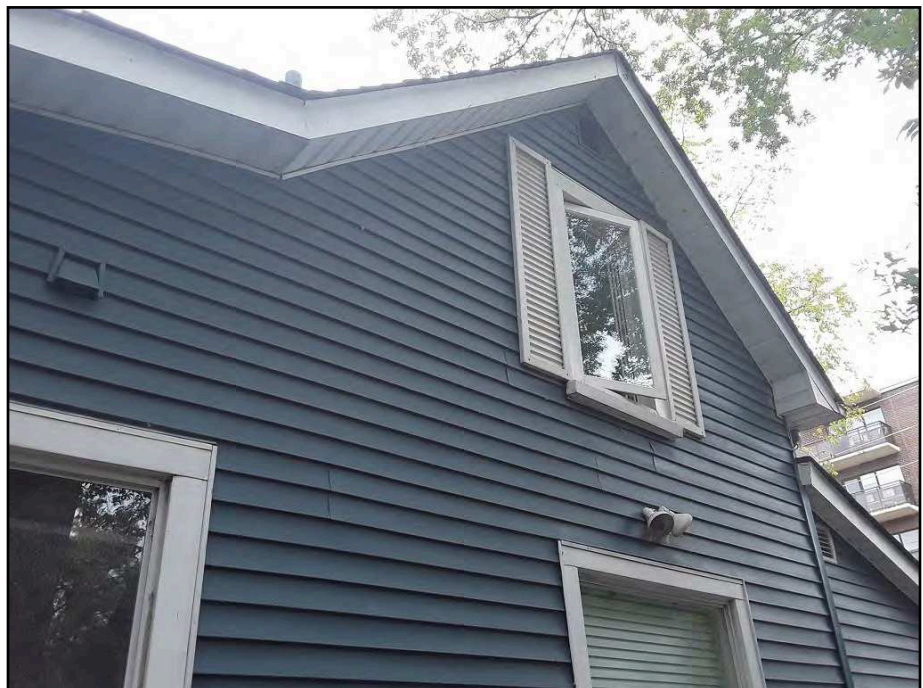


Back yard, looking north.

2.3.1 (c) Building details



East porch.



West facade, second floor.

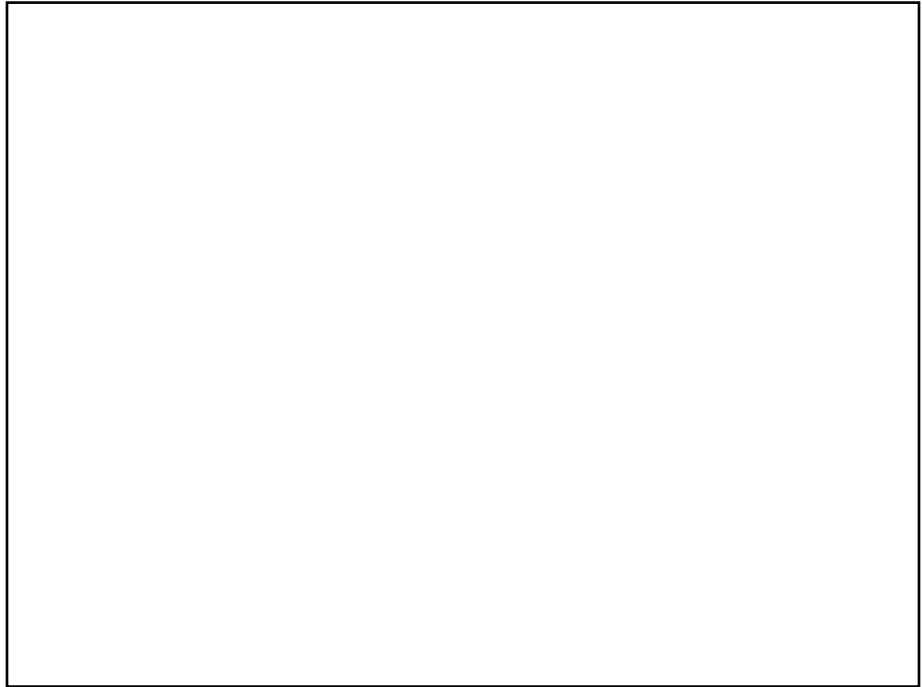


North extension, looking west.



North extension, looking southwest.

2.3.1 (d) Interior photos



Living room.



Front room.



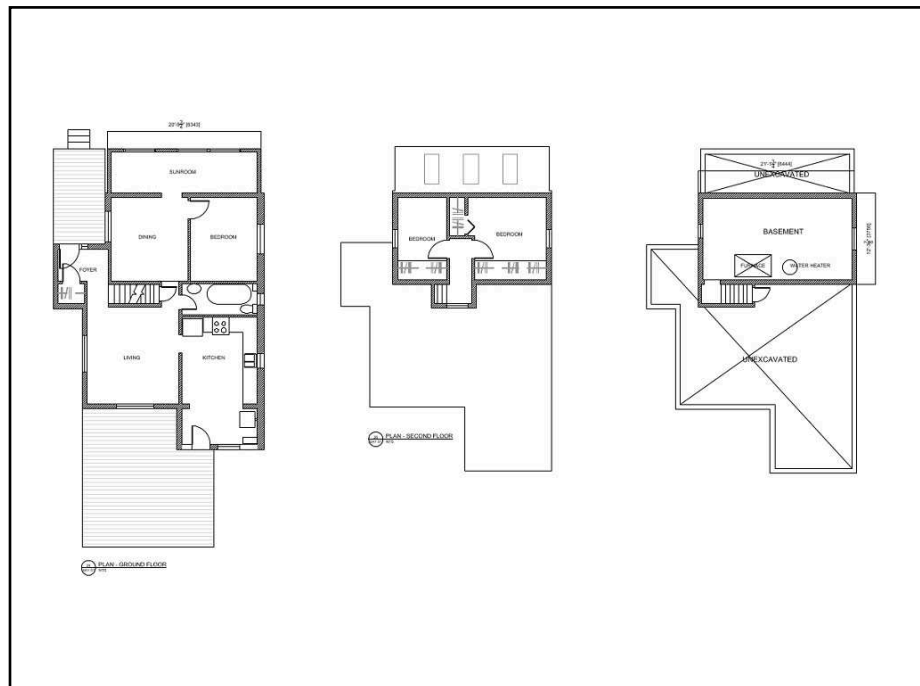
Hallway.



Second level floor vent.

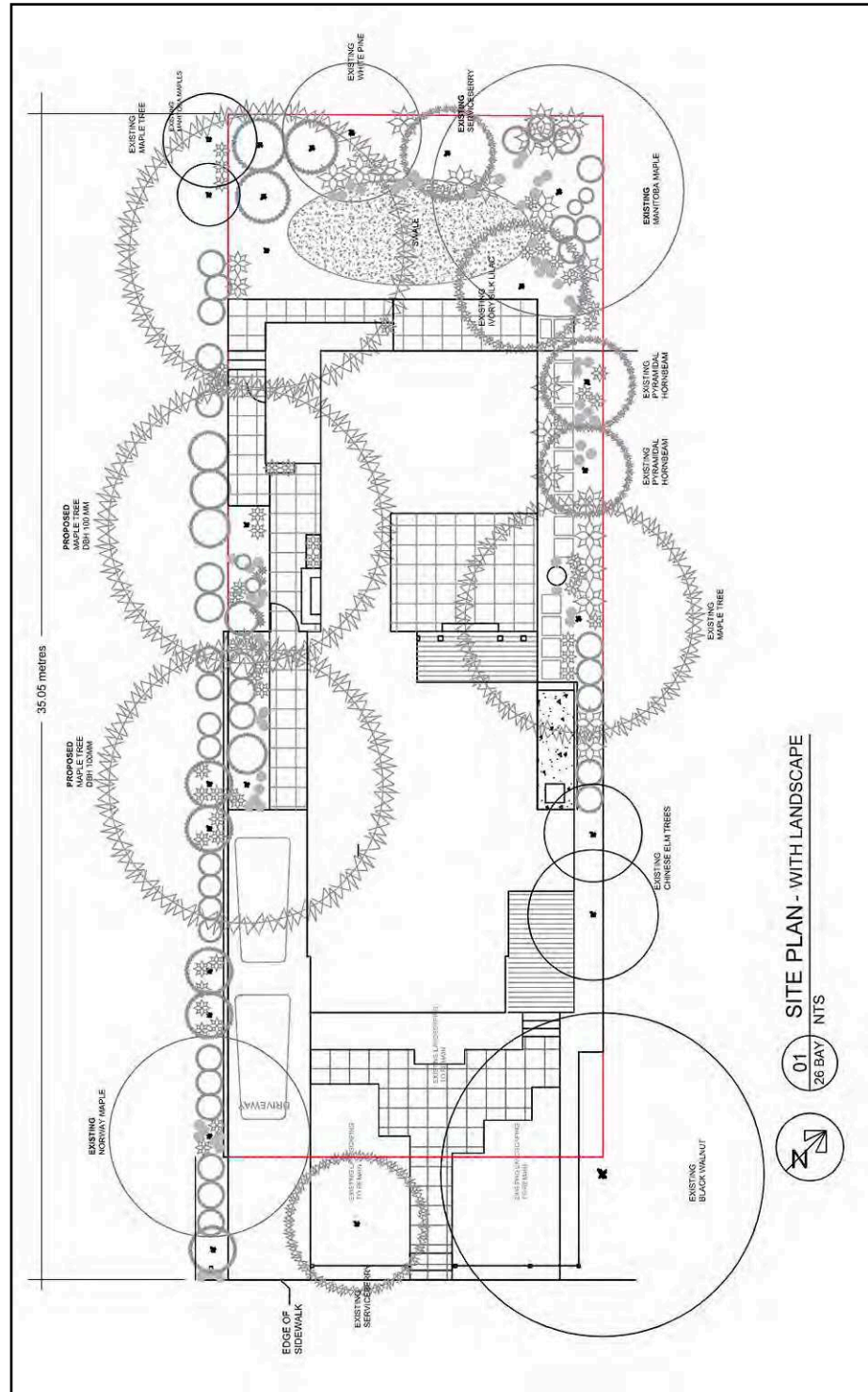


*Current house.
Elevations.*



*Current house.
Plans.*

2.3.4 Site plan



Site plan: full property.

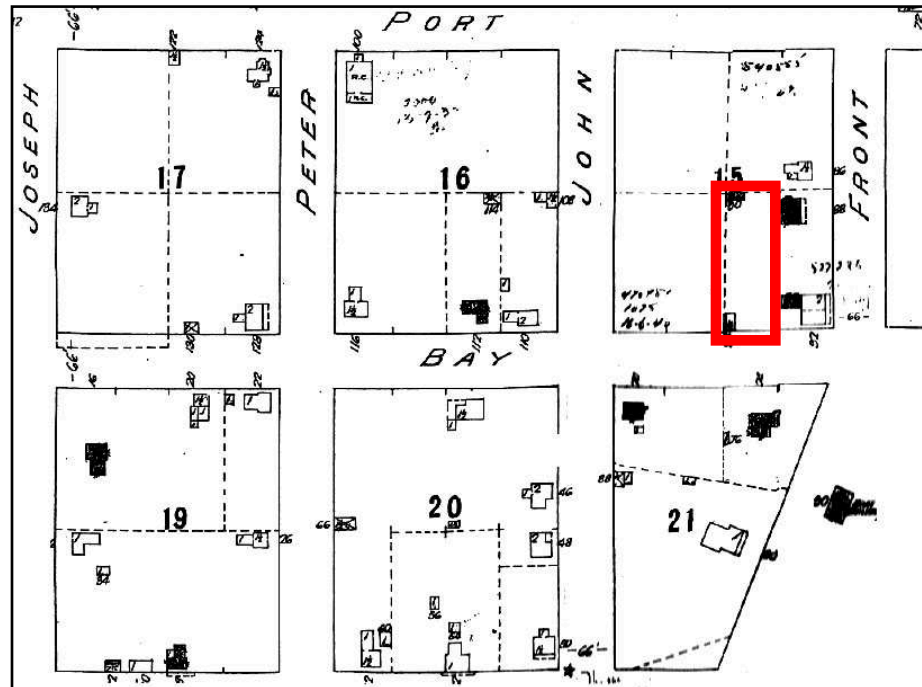
2.3.5 Historical photos, drawings, or other archival material



*Aerial photo, circa 1945,
looking north*



Subject property, circa 1980.



Goad's Fire Insurance Map
of the Village of Port Credit, 1910



1960 aerial photo.
(City of Toronto Archives)

2.4 Proposed development outline

The basic form of the existing house will be retained. The proposed changes are as follows:

1: The existing rear shed dormer will be enlarged to create a shed dormer addition to the existing second floor. This tail is centered on the existing primary house mass and is set back from its edges to retain the saltbox characteristic of the house profile.

2: A single storey link will extend from the existing enclosed rear porch to the proposed addition. This link is set back from the shed roof edge of the original house.

3: In the tradition of other existing ancillary buildings in the Old Port Credit Heritage Conservation District, the proposed addition at 26 Bay Street is configured as a separate structure to the rear of the property. Its massing is contained within that of the original house.

4: New windows will be approved replacements for the existing metal bottom slider windows installed in the 1980s.

The mass and configuration of the addition make it a distinct construction from the original house, visually subordinate to it and set well back from the front elevation of the house. This, in concert with the proposed landscaping, will ensure that the addition will not encroach on, or diminish the dominant presence of the original house.

Because the proposed changes retain the basic one-and-a-half storey massing of a frame structure building, the changes will not adversely affect the heritage attributes of the original house.

The proposal will allow the house to accommodate the requirements and expectations of current and future residents.

The architect, in generating the above proposal as a gabled roof tail addition, and a separate addition configured as an ancillary building, has adhered to the conditions of guidelines set forth in the Old Port Credit Village Heritage Conservation District Plan.

2.5 Architectural drawings

Pages 34 and 35.

2.6 Alternative development options/mitigation measures

Since it is the intention of the current owner to preserve the existing home, and to remove only the one rear wall which will lead to the proposed addition, mitigation measures will not be required, since no part of the existing home visible to the public realm will be affected by the rear addition. The rear addition is designed to be of the same width as the current main residence to avoid encroaching to the sides of the existing structure. This will minimize the visual impact of the addition from the public realm.

Section 4.1.1. of this heritage impact assessment identifies four successful alterations of existing heritage properties in the Port Credit Heritage Conservation District, which incorporate large additions, generally to the rear of the property, showing how each has had minimal impact on the visual and historical characteristics of the historic portions of the property. The owner of the subject property is using these examples as guidelines.

2.7 A summary of conservation principles

To conserve the character of the existing main structure at 26 Bay Street, the architect has composed the second floor enlargement and the addition using the existing gabled rear dormer as the defining character.

The additions will be of a similar wood frame construction.

The roof peak of the rear addition is more than ~18 metres (60 feet) from the face of the house, such that to a person of average height – 1.7 metre (5'-6") at ~10 metres (35'-0" +/-) measured from the face of the enclosed front porch, approximately 1.8 metres (6'-0") into the roadway on the north side of Bay Street – the addition would not be seen. This sightline occurs only at the lower roofed section of the front entrance vestibule roof, a window of visibility approximately 1.2 metres (4'-0") wide.

To diminish the effect of the east and west side sightlines, the architect has moved the second storey dormer inward about 1.2 metres (4'-0") on both sides, on both sides, away from the edges of what is, for all intents and purposes, a saltbox roofline. The east sightline is not visible to the public due to the existing home's close proximity to the neighbouring two-and-half storey building at 32 Front Street. The west sightline is more easily visible due to the ~16 metre separation between the main structure of the subject property and 27 John Street, but even this sightline is only barely visible from the street and sidewalk due to the west neighbouring building's six storey height and ~7 metre proximity to the Bay Street lot line.

2.8 Loss of cultural heritage value interests and impact on the streetscape

Based on experience, regarding the conservation of the owner's previous residence at 30 Saulter Street in Toronto, the owner of the subject property intends to conserve as much as possible of the current residence, and to design an addition that is sensitive to the current, simple architectural features. The scale, massing and width of the proposed addition to the present main structure have been designed to minimize the impact on the current heritage features and character of the current home.

2.9 Salvage mitigation

The present property owner proposes to dismantle as little as possible of the current home. Removed features from the rear of the home that are consistent in purpose and style to the visible parts of the home can be conserved, where applicable, as part of the proposed addition.

The owner of the subject property is an architect and has previous experience with heritage conservation principles at his former residence at 30 Saulter Street, Toronto. Conservation work at this site included:

- reconstruction of front door
- architecturally appropriate shed roof protection addition over front door
- standing seam metal improvements to roof
- repairs to existing board and batten exteriors
- reintroduction of former fireplace at its original location
- restoration of interior hollow core doors to solid paneled doors
with period hardware
- retention and repair of original windows.



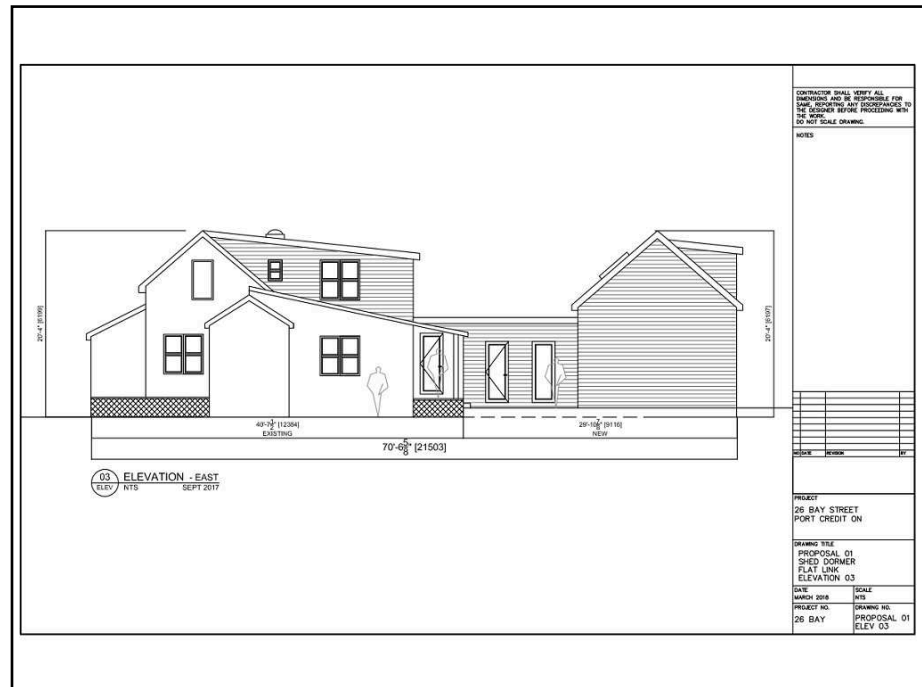
*30 Saulter Street, Toronto
Rehabilitated previous residence of current owner of subject property.*



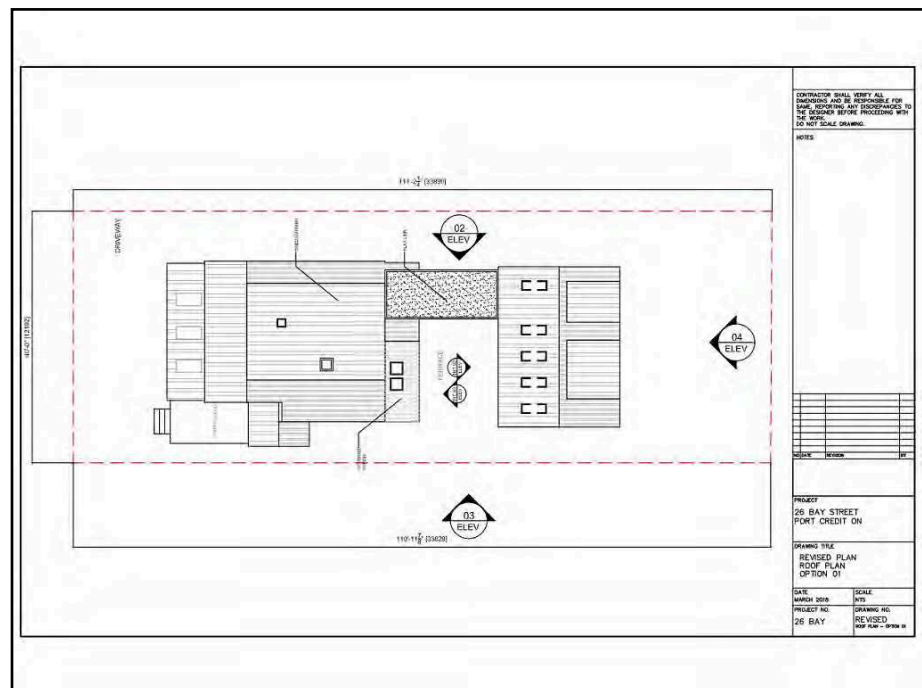
Proposal.
South (front) elevation.



Proposal.
North (rear) elevation.



Proposal.
West Elevation.



Proposal.
Plan.

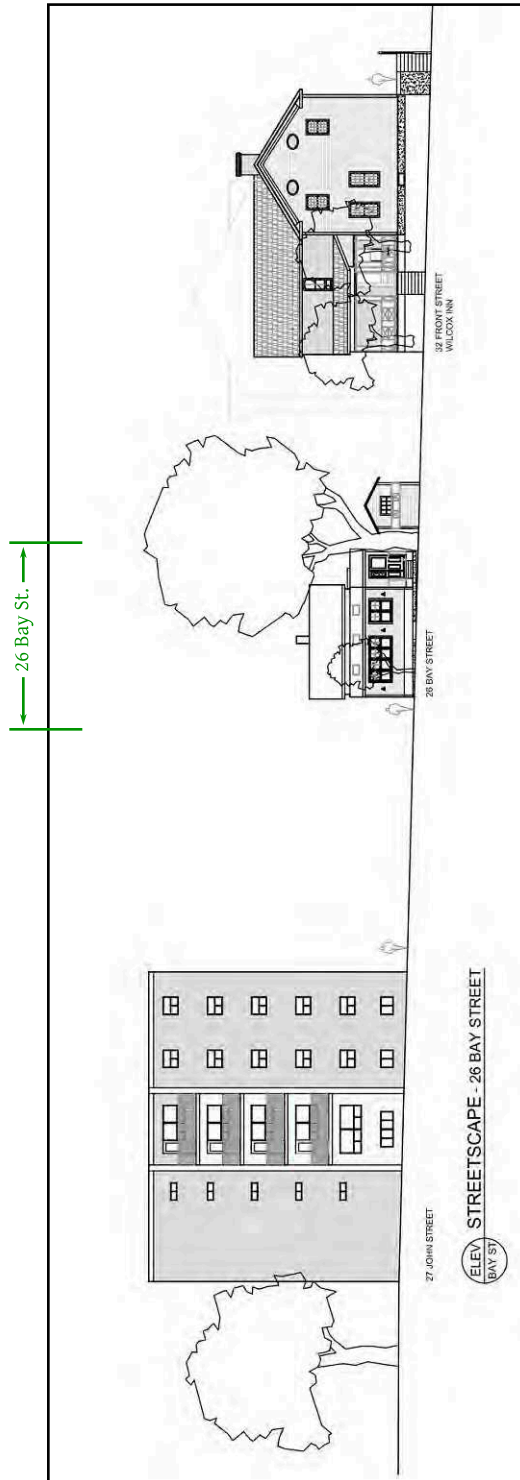
2.4.4 Streetscape



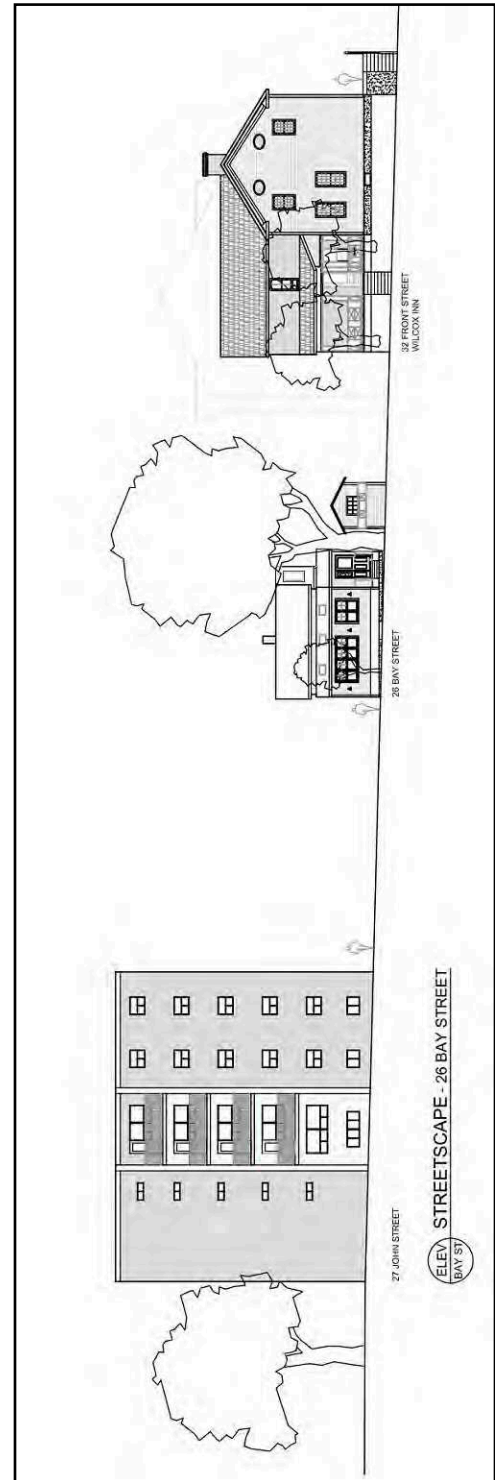
Bay Street, looking east.



Bay Street, looking west.



Existing streetscape.



Proposed streetscape.

2.4.1 Neighbouring properties



*28 (foreground) and 32 Front Street.
Properties to the east of the subject property.*



*27 John Street
Property to the west of the subject property.*



*27 Bay Street.
One of two properties south of the subject property.*



*36 Front Street
One of two properties south of the subject property.*

3.0

SUMMARY STATEMENT

3.1 Attributes of the cultural heritage resource

The main residence at 26 Bay Street, Mississauga is typical of the early 20th century homes in the Port Credit Heritage Conservation District, being of a modest, unadorned style and of simple wood-frame construction. In his report to the City of Mississauga in 2004, architect George Robb classified the subject property as of “historic interest”.

3.2: Impact that the proposed development will have on the cultural heritage resource

The scale, massing and width of the proposed addition to 26 Bay Street is designed to minimize the impact on the current heritage features and character of the current home. By designing the addition to be of the same east-west width as the current main residence, the addition will not encroach to the sides of the existing structure. This will minimize the visual impact of the addition. The exterior materials proposed for the addition will complement the existing building materials.

3.3: Conservation or mitigative measures, or alternative development, or site alteration

As detailed in Section 2.7 of this report, the architect has proposed to retain the character of the existing historic structure by proposing a second floor enlargement and rear addition that are sensitive to the massing, scale and building materials of the existing main residence. For the second floor enlargement, the profile will be centered on the existing primary house mass and set back from its edges to retain the saltbox shape. The link to the addition will be single storey, which cannot be seen from any current street view. The mass of the addition is intended to make it distinct from the original house, and visually subordinate. The architect has used the Old Port Credit Village Heritage Conservation District Plan as the primary guideline in designing the additions.

3.4: Clarification as to why mitigative measures are not appropriate

The proposed addition at 26 Bay Street is to be located to the rear of the home, to minimize the impact on the home as seen from Bay Street. The massing and scale of the addition will complement the dimensions of the current historic structure to mitigate encroaching.

The current property owner intends to preserve the existing home. No historic elements and details of the historic home, that can be seen from the public realm, will be affected by the rear addition.

See photographs in Section 4.1.1 for examples of other properties in the Port Credit Heritage Conservation District defined as being of historical significance, where rear additions, approved by the Heritage Advisory Committee, have been successfully incorporated into historic structures.

4.0

RECOMMENDATION

4.1 Regulation 9/06, Ontario Heritage Act

A municipal council may designate heritage resources by by-law pursuant to Section 29 of the Ontario Heritage Act based on criteria set forth in Ontario Regulation 9/06; Criteria for Determining Cultural Heritage Value or Interest.

Section 1

The property has design value or physical value because it;

- i: is a rare, unique, representative or early example of a style, type, expression, material or construction method,
- ii: displays a high degree of craftsmanship or artistic merit, or
- iii: demonstrates a high degree of technical or scientific achievement.

Section 2

The property has historical value or associative value because it;

- i: has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community,
- ii: yields, or has the potential to yield, information that contributes to an understanding of a community or culture, or
- iii: demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.

Section 3

The property has contextual value because it is;

- i: important in defining, maintaining or supporting the character of area,
- ii: physically, functionally, visually or historically linked to its surrounding,
- iii: a landmark.

4.1.1 Does the property meet the criteria for designation

The property listed as 26 Bay Street in the City of Mississauga is already designated under Part V of the Ontario Heritage Act, enacted by City of Mississauga bylaw 272-2004. In compliance with the City of Mississauga Heritage Impact Assessment Terms of Reference, the following is an assessment of the current designated property's heritage value.

Section 1

- Subsection i

The property at 26 Bay Street, Mississauga is not rare or unique, but is representative of modest, wood-frame residences in the Port Credit Heritage Conservation District in terms of massing, style, and building materials.

- Subsection ii

Being of a simple, conventional saltbox form, the property does not display a high degree of craftsmanship or artistic merit.

- Subsection iii

The property does not demonstrate a high degree of technical or scientific achievement.

Section 2

-Subsection i

The subject property has no direct association with a theme, event, belief, person, activity, organization or institution that is significant to Port Credit or to Mississauga. However, the property (though not necessarily the present structure) has been owned by various people important to the growth and development of Port Credit, including lakeboat captain James Wilcox, homebuilder Coleman Patchett, and the Naish family which operated a local dairy.

-Subsection ii

Along with other properties of heritage significance in the Port Credit Heritage Conservation District, the subject property yields information that contributes to an understanding of the early development of Port Credit as a small, working-class community, linked to the harbour trade.

-Subsection iii

The property does not demonstrate or reflect the work of a known architect.

Section 3

- Subsection i

The subject property, like other nearby properties in the Port Credit Heritage Conservation District, is important in defining, maintaining and supporting the character of historic Port Credit, and its development in the early part of the 20th century.

- Subsection ii

The subject property is physically, visually and historically linked to the community that comprises the West Port Credit village.

- Subsection iii

The property at 26 Bay Street, Mississauga is not regarded locally as a landmark.

Conclusion

Already designated under Part V of the Ontario Heritage Act, the subject property complies with four of the nine criteria for continued designation status, under the criteria stated in Regulation 9/06 of the Ontario Heritage Act, including at least one criteria in each of the three categories of: i) design and/or physical value, ii) historical and/or associative value, and iii) contextual value.

4.1.2 Provincial Policy Statement - 2014

In compliance with the requirement, the owner of the subject property has proposed an addition that will minimize historical and visual impact on the existing historical structure. The proposed addition will not visually encroach on the heritage aspects of the existing historic structure.

The footprint of the addition does not require the removal of trees, nor will it impact the (10X) new trees planted in the rear yard in the last year, nor will it impact the (3X) new proposed large specimens to be planted as part of a comprehensive landscape plan. The homeowner is prepared to post a commitment bond for the execution of the landscape plan.

4.1.1 Does the property meet the criteria for designation



*47 Mississauga Road South,
with modern addition to rear (west).*



*42 Bay Street,
with modern addition to rear (north).*

4.1.1 Does the property meet the criteria for designation



*46 Bay Street,
with modern addition to rear (north).*



*46 Bay Street,
with modern addition to rear (north).*

5.0

QUALIFICATIONS

5.1 Author

Since 2007 Richard Collins has prepared Heritage Impact Statements for sites in Burlington, Gravenhurst, Mississauga, Oakville and Welland Ontario.

- Clarkson 1808-2008 Committee; heritage coordinator
- City of Mississauga; 2012 Civic Award of Recognition
- Heritage Mississauga; volunteer, recipient of the 2007 Lifetime Membership Award and the 2008 Member's Choice Award
- Mississauga HAC; member of the Heritage Designation Subcommittee
- Mississauga South Historical Society; past president
- Page+Steele Architects, Toronto; past archivist
- Peel District School Board Heritage Fair, member and adjudicator
- Port Credit 175th Anniversary Committee; project leader and secretary
- Port Credit Village Project; secretary and co-chair of the Heritage Circle
- The Booster; author of over 200 articles on Mississauga's history

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Heritage Conservation Management Plan
26 Bay Street, Mississauga

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1.0 Introduction

1.1 Executive Summary

The current owner of 26 Bay Street, Mississauga, in the Old Port Credit Heritage Conservation District has proposed to extend the current main residence, dating to around 1910, northward to the rear of the property, and to extend the small half-storey second floor northward to incorporate it into the aforementioned extension. See plans and elevations on pages 13 to 21.

The property is identified by the City of Mississauga as a “contributing” property (formerly identified as a property of historical significance) meaning that the main residence contributes historically, architecturally and/or contextually to an understanding of growth and development of the Village of Port Credit.

The owner has proposed to incorporate roof, siding and window elements consistent with Section 5.0 of the Old Port Credit Village Heritage Conservation District Plan Update, February 2018 regarding Alterations to Contributing Properties.

The recent revisions to the Old Port Credit Village Heritage Conservation District Plan encourages property owners, “to restore architectural elements that have been lost, alter architectural elements in order to meet new demands, and add new rooms or features.”

The property owner’s goal is to make the current residence a more viable living space while maintaining the historic integrity of the structure. The owner has past experience in restoring the historic character of his previous residence in Toronto and conserving, where possible, the historic elements of that residence. See pages 37 and 38.

The proposed addition at the rear will be modest in size (37 m²) and subordinate in scale to the existing residence, and joined to the original building by means of a narrow,

inset link (9.0 m²). The extension of the existing rear dormer will accommodate a bedroom and bathroom (21 m²).

1.2 Historical and development history

Local tradition states that the current residence at 26 Bay Street was a drive shed for the inn located on the property immediately to the east of 26 Bay Street. This neighbouring property, 32 Front Street is identified as The Wilcox Inn, and was originally the residence of Captain James Wilcox who ran an inn in the 1840s and early 1850s until the arrival of the railway to Port Credit reduced the need for the building as an accommodation. Local tradition states that the main structure at 26 Bay Street was a stable and shed to the inn next door, where overnight customers at the inn kept their horses.

Land registry records cannot confirm this claim. The first notable rise of value on the property, indicating improvement of the lot, appears in 1913 when Coleman Patchett owned the lot, and may have built the current residence as a home for himself, his wife and their first child.

The tradition that this house is a former stable and/or drive shed may have endured on the possibility that the current home was built on the foundation of a former outbuilding.

The property identified as 26 Bay Street was designated under Part V of the Ontario Heritage Act, in June 2004.

1.3 Property owner information

Aside from the Crown, which purchased the “Credit Indian Reserve” from the Mississaugas in 1820, James Wilcox was the first owner of the property on which 26 Bay Street now stands. He was the first to purchase this property after the 1837 Robert Lynn survey, which marked the current

property as Lot 2, north of Bay Street in Plan 300 W.

Frederick William Jarvis appears prior to Wilcox, for Lot 2, but as the sheriff of the County of York it is likely that he was commissioned, in his role as sheriff, to dispose of unsold Crown lands, and was never actually the owner of Lot 2. Jarvis was permitted to retain a portion of the sale of the Crown land as payment for his real estate services.

It was Jarvis who, in 1841 sold Lots 1 and 2, north of Bay Street to Captain James Wilcox, who incorporated both lots as one property, building his home and inn on Lot 1.

In 1909, Lots 1 and 2 were severed back into their original individual lots, with Lot 2 (now 26 Bay Street) sold to Ethel McLuckie. Genealogical records confirm that McLuckie married Coleman Patchett in 1911. The property was transferred to Patchett's name in 1913, at which time a rise in land value is indicated. It is likely that the lot was "improved" between 1909 and 1913. This means that the current residence was likely built between 1909 and 1913, and since the Patchett's first child was born in 1912, it is likely that the home was completed around that time.

The Patchetts sold the property to the Naish family in 1921. Margaret Naish's name appears on the registry records from this time, though it is likely that her name appears not as a tenant or personal owner, but as the accountant for the Naish family's business interests. The Naishes sold heating fuel and building materials and also ran one of Port Credit's two community dairies.

The property remained with the Naishes into the 21st century. There have been a few intermittent owners since then. The current owner's name is withheld from this report in compliance with the Freedom of Information and Protection of Privacy Act.

2.0 Project Details

2.1 Description

2.1.1 Property information

26 Bay Street, Mississauga, ON, L5H 1C1

Roll Number: 21-05-090-005-12600-0000

The 4,435 square foot property is located on the north side of Bay Street in Mississauga, between Front Street and John Street. There is only one structure with a foundation on the property; that being the main residence. The front of the main structure is set 15 feet back (northward) from the front lot line. The rear yard extends 55 feet back from the back (north) end of the main structure. The east side lot is 6 feet wide, and the west side lot is 7.5 feet.

The property is zoned R15-1. See page 26.

2.1.2 Existing conditions

The residence at 26 Bay Street is a small, one-and-a-half storey SFD of frame construction. Most of the original siding (likely wood, consistent with the period of the home's construction) has been replaced with vinyl siding. Original windows (which were likely wood, in a 2-over-2 or 4-over-4, double-hung pattern common in small pre-WWI homes) have been replaced with new windows in a modern style.

2.1.3 Landscape inventory site plan

See page 22.

2.1.4 Neighbouring properties

32 Front Street

The property east of 26 Bay Street is 32 Front Street. It is a 4,600 square foot lot located on the northwest corner of Bay Street and Front Street. The main residence is a two-storey residence and former inn in the Georgian Revival style. This inn was likely built about 1841, soon after James Wilcox

purchased the property, making it the oldest surviving structure in the Port Credit heritage conservation district.

Like 26 Bay Street, this property is identified in the Old Port Credit Village Heritage Conservation District Plan Update, February 2018 as being a “contributing property”.

28 Front Street

The property at 26 Bay Street extends northward to share a common lot line with the west (rear) of 28 Front Street. This property consists of five attached townhouse units, built in 1999. This property is a “non-contributing property”.

27 John Street

The 21,850 square foot property to the west of 26 Bay Street is a six-floor, 24-unit, red-brick apartment building constructed in 1964. The rear of this building faces 26 Bay Street. This property is a “non-contributing property”.

Two properties are located across from 26 Bay Street, on the south side of Bay Street.

27 Bay Street

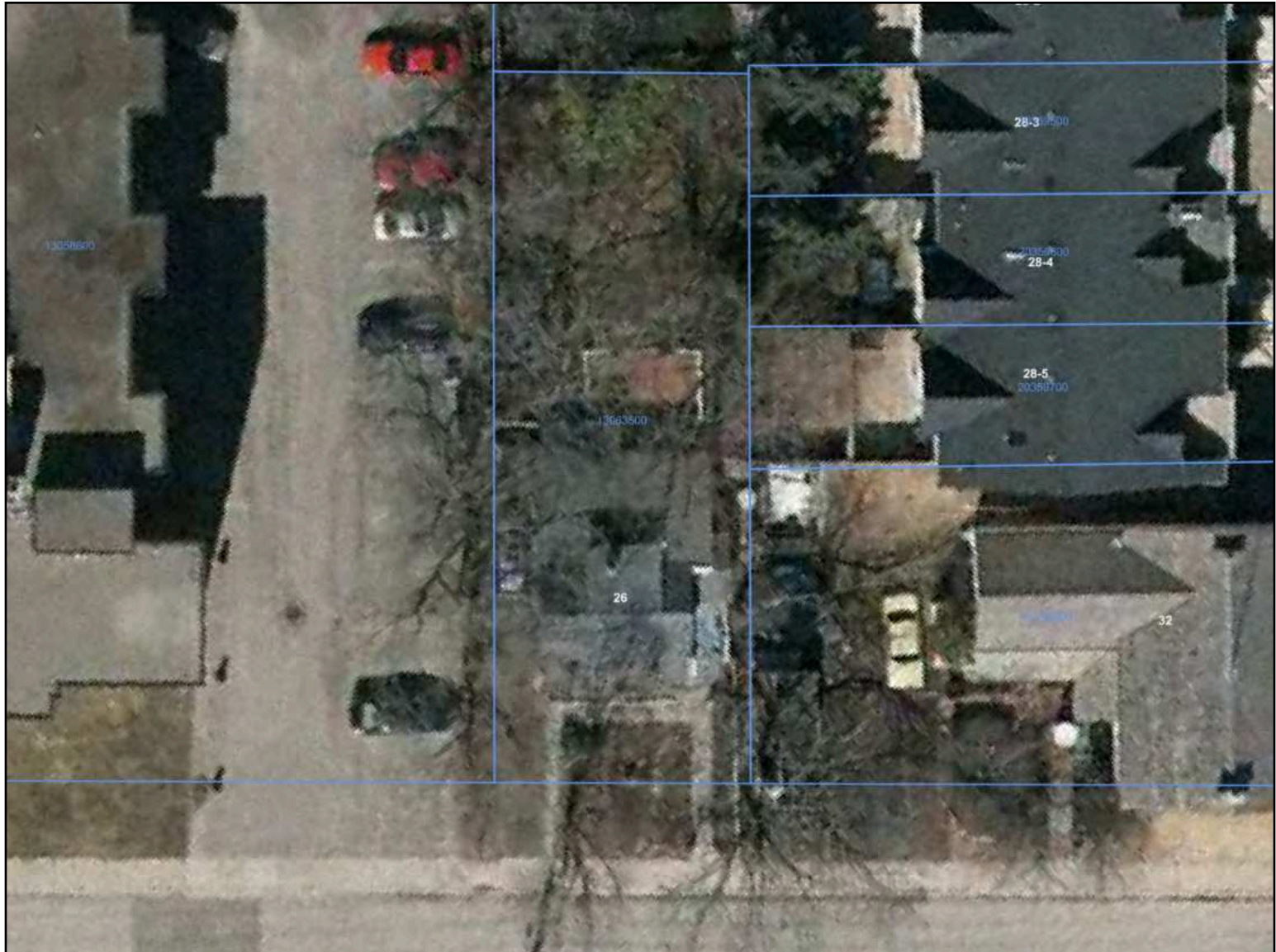
The westerly of these two, 27 Bay Street is a two-storey red-brick SFD in the Edwardian style, built sometime between 1911 and 1923 by commercial fisherman Robert “Boxer Bob” Corey and his brother George Corey, who was the building inspector for the Village of Port Credit. This property is identified in the Old Port Credit Village Heritage Conservation District Plan Update, February 2018 as being a “contributing property”.

36 Front Street

This property is an apartment building on a 13,900 square foot lot with a four- and five-floor stepped profile. The apartment building was built in 1964.

Exterior renovations were made in 1988. This property is a “non-contributing property”.

2.1.1 Location map



26 Bay Street, Mississauga, 2017.
(City of Mississauga, E-Maps)

2.1.2 Photographs of existing conditions



South (front) elevation.
26 Bay Street, Mississauga.



South (rear) elevation



West elevation, second floor.



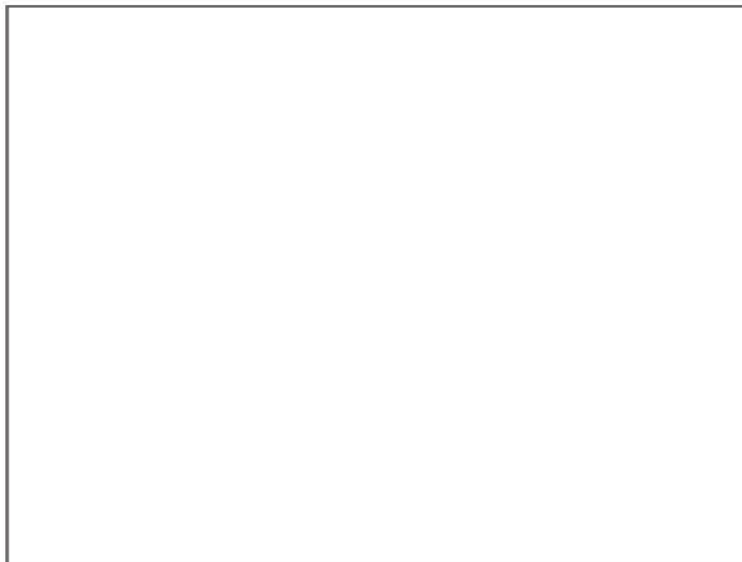
Porch, east elevation.



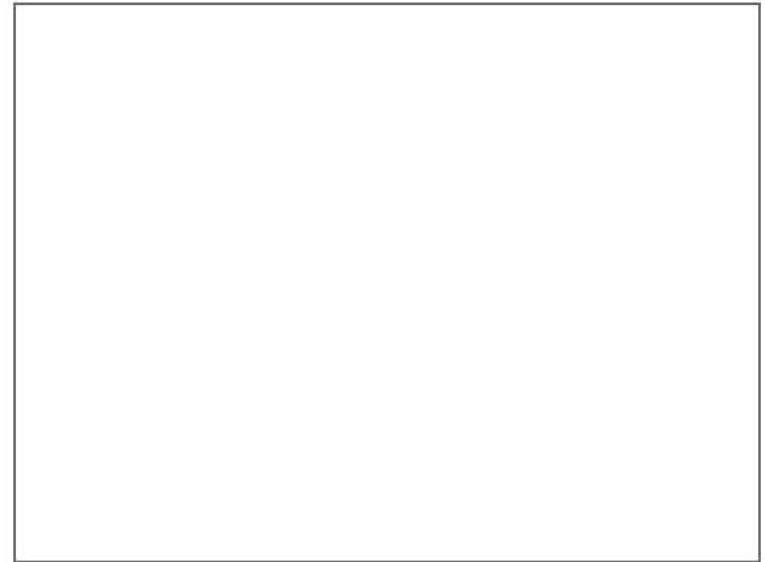
Rear yard, looking north.



Rear yard, looking south.



Interior, living room.



Interior, dining room.

2.1.2 Measured drawings



**South (front) elevation.
Proposed.**



North (rear) elevation.
Proposed.

[illegible]

15

Architectural elevation drawing of a two-story house. The drawing shows a side profile with a gabled roof. The left side is labeled "NEW" and has dimensions 29'-11" [9118] and 11'-7 1/2" [3544]. The right side is labeled "EXISTING" and has dimensions 40'-7 1/2" [12364]. The drawing includes a door on the left and several windows on the right.

02 ELEVATION - WEST
ELEV NTS SEPT 2017

| | | |
|----|------|----------|
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| NO | DATE | REVISION |
| | | BY |

| | |
|---------|---------------------------------|
| PROJECT | 26 BAY STREET PORT CREDIT ON |
|---------|---------------------------------|

DRAWING TITLE
PROPOSAL 01
SHED DORMER
FLAT LINK
ELEVATION 02

| | |
|-----------------------|---------------------------------------|
| DATE MARCH 2018 | SCALE NTS |
| PROJECT NO. 26 BAY | DRAWING NO. PROPOSAL 01 ELEV 02 |

16

| | | | |
|----|------|-----------|----|
| NO | CASE | NO VICTIM | BY |
|----|------|-----------|----|

DRAWING TITLE
REVISED PLAN
GROUND FLOOR
OPTIONS 01 + 02

PROJECT NO.
26 BAY

DRAWING NO.
REVISED
SECOND FLOOR



[illegible]

DRAWING TITLE
REVISED PLAN
2ND FLOOR
OPTIONS 01 + 02

PROJECT NO:
26 BAY

| | |
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| DRAWING NO. | |
| REVISED | |

18

| NO | DATE | REVISION | BY |
|----|------|----------|----|
|----|------|----------|----|

| |
|---------------|
| DRAWING TITLE |
| REVISED PLAN |
| ROOF PLAN |
| OPTION 01 |

| | |
|-------------|--------|
| PROJECT NO. | 26 BAY |
|-------------|--------|

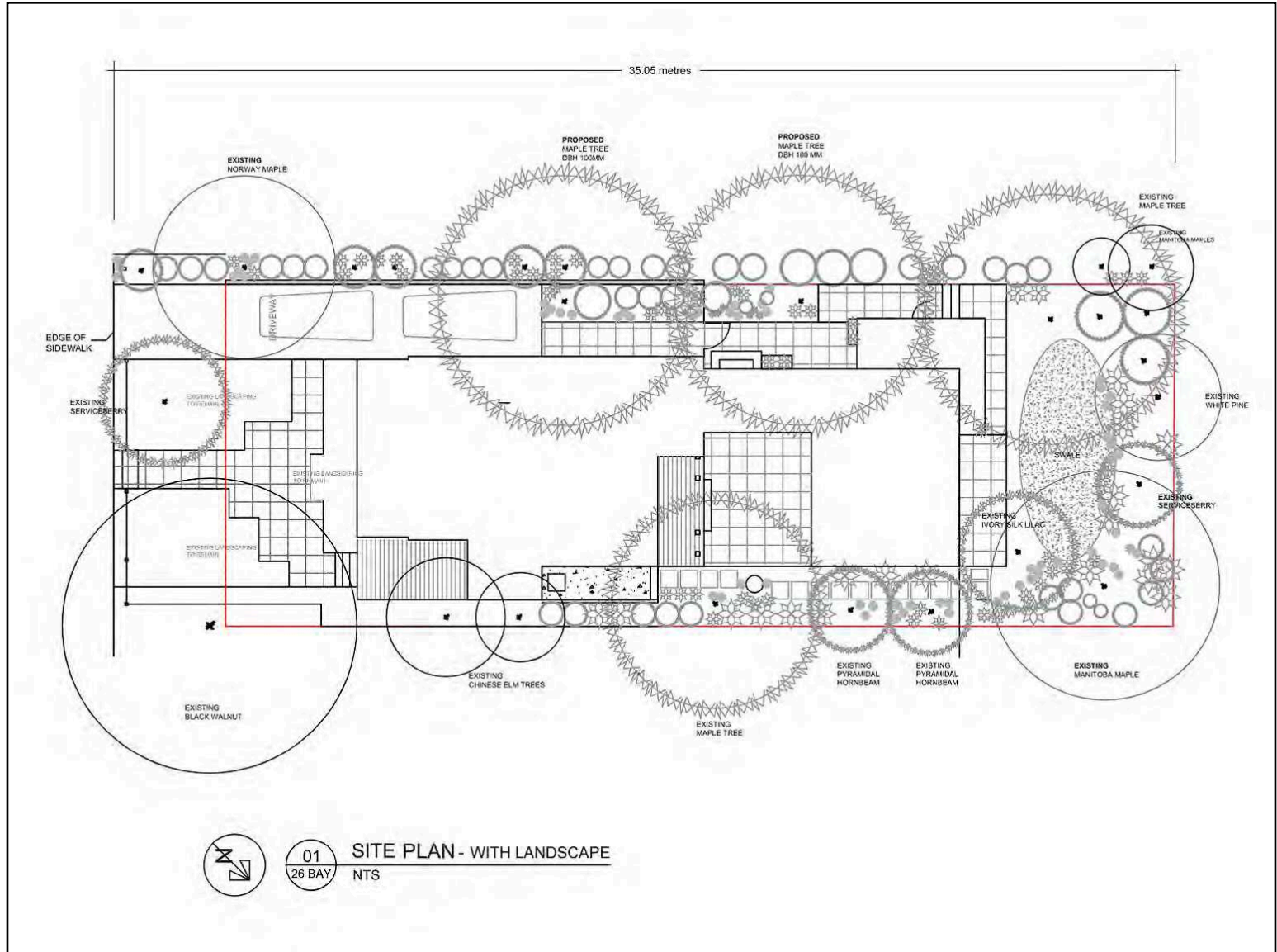
DRAWING NO.
REVISED
BOE PLAN - 0120







2.1.3 Site plan, with topography and landscaping



26 Bay Street, Mississauga.
Site plan.

2.1.4 Neighbouring properties



27 John Street South



32 Front Street South



36 Front Street South



27 Bay Street

2.1.5 History of the property

As per Section 1.3.

The property has been used as a residence since approximately 1912, when the current main structure at 26 Bay Street was built.

Timeframe

Based on land registry records, the first firm record of a home at 26 Bay Street is the current house, likely built sometime between 1909 and 1913 by Coleman Patchett.

Before then, local history resources state that this building, or possibly a previous structure on the property was a drive shed and stables for the horses that served the coach line that used the neighbouring property (Wilcox's Inn) as a stopover point on the route between Toronto and Hamilton. The current house is more sturdily built than would be typical of a drive shed, and generally larger than a typical stable.

The saltbox profile of the home may have been the inspiration for the claim that the current residence dates to the time of the Wilcox Inn, which was built in the early 1840s. Saltbox-style homes were common in this early Victorian era because they were simple to build, and could be enlarged conveniently as the settler family living in the home grew larger. The Saltbox style was still being used in the years just before World War I – when the current residence was likely built – but was not a common style by then. Patchett may have used the saltbox style because of its simplicity of construction.

If Wilcox did have a drive shed on this property, to store wood for home heating, he may have found the outbuilding redundant once coal and oil heating became more common in Ontario in the decade before WWI. No longer in need of the drive shed property, the Wilcoxes severed the lot and sold the portion of their property with the drive shed in 1909.

Patchett and his wife Ethel were married in 1911, and had a child in 1912, so it is likely that they built the current residence as their home.

The home appears on the 1928 Goad's Fire Insurance Plan for Port Credit.

The Patchett's sold the property to the Naish family in 1931, through a land agent, George Morton. Morton's name appears on many registry records in Port Credit and nearby Lorne Park around this time, and since most of his tenures were short-term, it is likely he was an agent who purchased properties for resale.

The Naish family may have purchased 26 Bay Street as a rental property. The Naishes already had two homes in Port Credit which they continued to live in after the purchase of 26 Bay Street (one of these, 6 Helene Street North still stands), so 26 Bay Street was an investment.

This is further supported by the name Margaret Naish, on the land title record. Voters lists for the period confirm that she lived on Helene Street, but as the accountant for the Naish family businesses, it is not uncommon to have an investment property under the name of the family member in charge of the family business finances.

A number of relatively short-term owners have lived at 26 Bay Street since the Naishes sold the property.

The property was designated in 2004, when the neighbourhood comprising the village lots between the Credit River and Mississauga Road, and from Lakeshore Road to Saddington Park, were designated as a Heritage Conservation District. 26 Bay Street does not have a separate Part IV designation.

2.1.6 Land ownership

Crown – 28 Feb. 1820

Frederick W. Jarvis – 20 Feb. 1841

James G. Wilcox – 2 Jul. 1841

Henry H. Wilcox – 22 Oct. 1886

Canadian Permanent Insurance Company – 4 Apr. 1895

Henry H. Wilcox – 6 Nov. 1906

Ethel McLuckie – 7 Sep. 1909

Coleman Patchett – 25 Apr. 1913

George M. Morton, et ux – 3 Feb. 1930

Margaret Naish – 13 Oct. 1931

Nicole Bates – 3 Aug. 2004

current owner's name withheld - 8 Dec. 2016

2.2 Significance**2.2.1 Statement of cultural heritage value or interest**

The home at 26 Bay Street is characteristic of early 20th century residences in terms of its simple, unadorned architectural style and its modest size. The style is sometimes referred to as a “vernacular”, meaning that it is simple in style, and often hand-built by owners, because it lacks elements that are characteristics of a particular architectural style.

The property on which the current home now stands was owned by people important to the growth and development of Port Credit. The first owner of the property was lakeboat captain James Wilcox, who built one of the village's first inns on the property next door. Later owner, Coleman Patchett was a homebuilder. The Patchetts were early settlers in Mississauga. Another later owner, the Naishes, operated a dairy in Port Credit.

The home at 26 Bay Street is typical of the homes built in the early 20th century in Port Credit when that village was

evolving into a working-class community linked to the harbour trade.

2.2.2 Cultural heritage attributes of structures and landscape features

There are no significant landscape features associated with the property. The building itself has a saltbox style that was common to settler homes in early Mississauga.

2.2.3 Heritage designation, historic plaque, etc.

The property is designated under Part V on the Ontario Heritage Act along with all other properties in the neighbourhood defined by Lakeshore Road West, the Credit River, Saddington Park and Mississauga Road South. The property is not designated individually under Part IV of the Ontario Heritage Act. There is no historic plaque identifying the significance of either the house or the property.

2.3 Planning and Policy Status**2.3.1 Current land use, Official Plan policies and Zoning**

The property is currently zoned R15-1, which permits detached dwellings. See the City of Mississauga's R15 Permitted Uses and Zone Regulations, and regulations for the R15-1 Exception Zone, attached to this report.

2.3.2 Regulatory requirements

Other than the City of Mississauga zoning regulations stated in Section 2.3.1, and the conditions established by the Old Port Credit Heritage Conservation District Plan, there are no other regulatory conditions governing this property.

2.3.1 Current land use, Official Plan policies and Zoning

4.6 R15 ZONE (DETACHED DWELLINGS - PORT CREDIT)

4.6.1 R15 Permitted Uses and Zone Regulations

All **buildings** and **structures** shall comply with the provisions contained in Parts 1 to 3 and Section 4.1 of this By-law, and the **uses** and zone regulations specified within the applicable zone column contained in Table 4.6.1 - R15 Permitted Uses and Zone Regulations.

Table 4.6.1 - R15 Permitted Uses and Zone Regulations

| Column | A | B |
|-------------------------|--|---|
| Line 1.0 | ZONES | R15 |
| PERMITTED USES | | |
| 2.0 | RESIDENTIAL | |
| 2.1 | Detached Dwelling | ✓ ⁽¹⁾ |
| ZONE REGULATIONS | | |
| 3.0 | MINIMUM LOT AREA | 460 m ² |
| 4.0 | MINIMUM LOT FRONTAGE | 12.0 m |
| 5.0 | MAXIMUM LOT COVERAGE | 40% |
| 6.0 | MINIMUM FRONT YARD | 6.0 m ⁽²⁾ |
| 7.0 | MINIMUM EXTERIOR SIDE YARD | 4.5 m ⁽²⁾ |
| 8.0 | MINIMUM INTERIOR SIDE YARD | |
| 8.1 | Detached dwelling with an attached garage | 1.2 m ⁽²⁾ |
| 8.2 | Detached dwelling without an attached garage | 3.0 m on one side of the lot and 1.2 m on the other side ⁽²⁾ |
| 9.0 | MINIMUM REAR YARD | 7.5 m ⁽²⁾ |
| 10.0 | MAXIMUM HEIGHT | |
| 10.1 | Maximum height (0171-2015/OMB Order 2016 April 04, 0193-2016/OMB Order 2017 May 30) | 9.5 m |
| 10.2 | Maximum height: flat roof (0171-2015/OMB Order 2016 April 04) | 7.5 m |
| 10.3 | Maximum height of eaves: from average grade to lower edge of eaves (0193-2016/OMB Order 2017 May 30) | 6.4 m |
| 11.0 | MAXIMUM DWELLING UNIT DEPTH (0193-2016/OMB Order 2017 May 30) | 20.0 m |
| 12.0 | ATTACHED GARAGE, PARKING AND DRIVEWAY (0193-2016/OMB Order 2017 May 30) | |
| 12.1 | Attached garage | Permitted ⁽³⁾ |
| 12.2 | Minimum parking spaces | ✓ ⁽⁴⁾⁽⁵⁾ |
| 12.3 | Maximum driveway width | Lesser of 8.5 m or 50% of lot frontage ⁽⁴⁾ |
| 13.0 | ACCESSORY BUILDINGS AND STRUCTURES (0193-2016/OMB Order 2017 May 30) | ✓ ⁽⁶⁾ |

R15 Permitted Uses and Zone Regulations.

4.6.2 R15 Exception Zones

Refer to Article 1.1.2.3 - Exception Zones and Exception Zone Schedules

| 4.6.2.1 | Exception: R15-1 | Map # 08 | By-law: 0308-2011 |
|--|---|--|-------------------|
| In a R15-1 zone the permitted uses and applicable regulations shall be as specified for a R15 zone except that the following uses/regulations shall apply: | | | |
| Regulations | | | |
| 4.6.2.1.1 | The regulations of Line 5.0 contained in Table 4.6.1 of this By-law shall not apply | | |
| 4.6.2.1.2 | Maximum gross floor area - infill residential | 169 m ² plus 0.20 times the lot area to a maximum of 305 m ² | |
| 4.6.2.1.3 | Minimum landscaped area | 40% of the lot area | |
| 4.6.2.1.4 | Minimum front yard | 5.0 m | |
| 4.6.2.1.5 | Minimum interior and exterior side yards | 3.0 m on one side of the lot and 1.2 m on the other side | |
| 4.6.2.1.6 | Maximum height - highest ridge: sloped roof | 9.0 m and 2 storeys | |
| 4.6.2.1.7 | Maximum height of eaves: from average grade to lower edge of the eaves | 6.8 m | |
| 4.6.2.1.8 | Flat roofs and mansard roofs shall not be permitted | | |
| 4.6.2.1.9 | Maximum encroachment of a covered porch into a required front, exterior and interior side yard | 1.8 m but not closer than 0.2 m to a lot line | |
| 4.6.2.1.10 | Minimum setback of a front garage face behind the front wall of a detached dwelling | 3.0 m | |
| 4.6.2.1.11 | Maximum gross floor area of a detached garage | 30 m ² | |
| 4.6.2.1.12 | "Front Wall" means the exterior wall containing the door which is designed as the primary access point into the detached dwelling | | |
| 4.6.2.1.13 | The provisions of By-law Number 0272-2004 made pursuant to the <i>Ontario Heritage Act</i> shall not apply so as to require any reconstruction, alteration and/or enlargement of any building or structure to replicate the exterior faces or the exterior wall features of the building or structure | | |

R15-1 Exception Zone.

3.0 Project Objectives

3.1 Outline of project objectives

The primary objective is to renovate and rehabilitate the existing house to allow its continued use for the foreseeable future.

The intent of the proposal to build a rear addition to the present main residence at 26 Bay Street, is to design the addition so that the extension cannot readily be seen at street level from the sidewalk. The current house elevation, as viewed from the street, is to remain unchanged.

A side gable addition will be built behind the existing structure and connected to it by an inset link which will be lower than the roof line of the existing house, and narrower than the width of the existing house. This addition is to be inset at both sides from the edges of the existing house.

It is proposed to enlarge the existing rear dormer, which cannot be seen from the public realm to accommodate additional functional living space.

Together, the changes incorporate sufficient living space and amenities to meet the needs of current and future occupants, maintaining the viability of this residential property well into the future.

In summary, the addition to the rear of 26 Bay Street has been designed in a manner that will use the existing home to conceal the addition as much as possible, by inseting the width of the addition on both the east and west profiles, and by extending the roof of the addition from the height of the existing home, and using pitch and profile characteristics that are consistent with existing roof characteristics. This massing methodology is designed to limit the impact of the addition on the existing historical architectural character of the home.

3.2 Short term goals and objectives

The short term goal is to construct additional functional living space in a manner that respects the integrity of the existing building, while providing necessary space for the current owners' needs.

3.3 Long term goals and objectives

The goal of the proposed alterations to 26 Bay Street is to provide the current and future owners with a living space that is beneficial to modern living standards and to create a more practical and energy-efficient home, while protecting as much as possible the historical architectural character of the existing home, so that the property continues to serve as a "contributing property" to the Old Port Credit Heritage Conservation District.

Making the current home more practical as a long-term residence, designed to meet modern living needs of the current owner and likely expectations of future owners, will help ensure that the property remains a valuable part of the heritage district.

3.4 Conservation of heritage attributes

Although the property at 26 Bay Street is not designated individually under Part IV of the Ontario Heritage Act, the owner acknowledges the historical architectural characteristics of the main residence, particularly in regard to architectural style and massing, and of the home's status as a "contributing" property that helps define the character of the Old Port Credit Heritage Conservation District.

The proposed addition to 26 Bay Street will regard the architectural, contextual and landscape character of the Old Port Credit Heritage Conservation District, and to respect the existing character of the home in the proposed addition. Based on the few historic images that have been found of

the home, there appears to have been no significant structural alterations to the home over the years, so there is little need to restore lost structural elements.

The architect has proposed a rear addition to the existing residence that is narrower in width than the existing residence so that the addition will not appear, from the public realm to be a large addition that detracts from the current modest massing, and the simple architectural adornment of the ~1910 building.

No trees are to be removed for the addition.

3.5 Conservation policies to be used in project

In developing the proposal for a rear addition to 26 Bay Street, the architect approached the project using the guidelines defined by Standards and Guidelines for the Conservation of Historic Places in Canada, as recommended by the City of Mississauga's Terms of Reference.

This report, by Park Canada, defines three conservation treatment methods for homes identified as being of historic and/or architectural significance. Of the three methods, the most appropriate for the property at 26 Bay Street is "rehabilitation".

Because the main structure on the property is not designated under Part IV of the Ontario Heritage Act, which would identify the property as one of individual physical, historical or contextual merit, it is not practical to undergo "restoration" of the home, as defined by the Standards and Guidelines for the Conservation of Historic Places in Canada. Nor is it practical to define the proposal for the property as a "preservation" project, for the same reason.

The home does exhibit some historical architectural characteristics that help define the Old Port Credit Heritage Conservation District, and because the owner desires to

retain the historical character of the home, while making it a more viable living space, the "rehabilitation" approach appears to be the most practical option.

This approach sets conditions that permit the owner to:

a) Repair deteriorated features and to replace later additions that are not characteristic of the home with elements (such as replacement windows and doors, in their existing location) that better reflect the character of the conservation district, and to

b) Include an addition to the main structure on the property to make the property more practical for continued use, while respecting the current character of the property's main structure.

Although it is not required, under the conditions of the Standards and Guidelines for the Conservation of Historic Places in Canada – regarding rehabilitation projects – that the home be rehabilitated to a particular period, the owner intends to respect the integrity of the current home as one that helps define the character of the heritage conservation district at around the time the home was built.

Periodic maintenance will continue after completion of the proposed project.

When time and budget permits the owner intends to replace inappropriate metal bottom-slider windows with double-hung windows in keeping with the character of the original house.

4.0 Statement of Heritage Intent

4.1 Conservation treatments

The south (front) façade and the west side façade of the current main structure, which are both visible to the public, will not be altered. The proposed addition will not affect these two existing façades. For now, it is not proposed to make changes to the windows that are visible from the street, but at a later date the current owner would like to replace the existing modern windows, which are not consistent with the pre-WWI character of the home, with double-hung windows, which will improve the visual character of the home, consistent with the original style of the residence, using a heritage restoration supplier.

The proposal will maintain the existing building scale and relationship to the street/public realm.

4.2 Period of restoration

The residence presently on the site was built sometime between 1909 and 1913. Since the structure retains the basic architectural styling and massing, the owner has proposed to add a northward extension in the same style, using the existing height and width as the basis for the addition. As time permits, the owner also proposes to install replacement windows on the current structure which are more consistent with the pre-WWI period than the current modern windows that are in an unrelated style. With this in consideration, the owner proposes to use a period-specific window style for the proposed addition, so that the later replacement of windows on the existing residence will retain consistency of style.

4.3 Rationale for new interventions

The present home was built before World War I, and has become impractical for modern living needs. The current owner has proposed to enlarge the home to give the

property a long-term viability. Rehabilitation of the present home to fit the needs of the current and possible future owners will ensure that 26 Bay Street retains its current status as a “contributing property” in the heritage conservation district.

4.4 Movable cultural heritage

According to the Ministry of Culture, History and Sport’s website, movable cultural property may be anything from paintings and sculptures, to books and manuscripts, to ethnographic and decorative art material, to scientific objects and musical instruments. It must be movable and does not need to be Canadian in origin.

This condition is not applicable to the proposed development.

5.0 Condition Assessment of the Cultural Heritage Resource(s)

5.1 Condition report of the cultural heritage resource

The current main residence at 26 Bay Street was built around 1910 and while the home retains the basic massing and style of the pre-WWI era, changes have naturally been made over time, on an ad hoc basis, and some of these predate the enactment of the Heritage Conservation District, when alterations to a home were not required to meet heritage conservation guidelines. These non-sensitive changes to the property include the enclosure of both the front and rear porches and the construction of a staircase access to the basement to replace the trapdoor which is presumed to have existed previously.

Most of the rooms have retained their original configuration.

Original windows were replaced with metal bottom sliders and crank windows. Ductwork for the FA heating system was installed and boxed in. Flooring appears to have been replaced in a random fashion in stages, by previous owners. Some ceilings were repaired with spray-on stucco. The exterior was covered in narrow vinyl siding, itself replacing the wide board metal siding installed at some point, which probably covered over original wood siding.

Collectively, these changes have altered the original character of the house, but have not eradicated its defining form, which persists. It remains a cottage-like product of its time, a house of low-ceilinged rooms with slightly quirky elements and the evidence of past conditions still visible in places.

5.2 Deterioration remediation and prevention

The roof, skin and foundation of the current home are the elements of a house that are most subject to deterioration and consequential problems. These will be monitored on an ongoing basis and repaired/replaced as required. The current situation, in regard to deterioration, is not critical.

The wood siding that would naturally deteriorate over time was replaced with non-wood replacement materials by a previous owner, so visual exterior deterioration of the current main residence is minimal.

5.3 Proposed property use

As at present, the property will continue to be a single family dwelling, as required by Zone R15-1 regulations.

5.4 Opportunities and constraints

5.4.1 Budget

A budget has been established to allow for the new construction, consequential repairs to the existing interior, and the completion of the proposed landscape plan.

5.4.2 Planning issues

The owner has taken care to assure that the proposed alterations to 26 Bay Street conforms to the restrictions of the R15-1 zoning guidelines, the Port Credit Local Area Official Plan, and guidelines established by the Old Port Credit Village Heritage Conservation District Plan, Update 2018.

5.4.3 Public access

The property is a private residence.

5.0 Condition Assessment of the Cultural Heritage Resource(s)

5.4.4 Long term needs

The current owner has an appreciation for the heritage value of the property, and chose to move to the Port Credit heritage district to live in an area that retains the character of an historic village. While the owner desires to retain the historic character of the property, the home is now more than 100 years old and is no longer practical in design to meet modern needs. The proposed addition is designed to provide necessary space to make the home more practical and livable. The addition is designed in a manner that is intended to retain the nature of the home as a “contributing property” in the Old Port Credit Heritage Conservation District.

It is anticipated that with the proposed alteration to the property completed, the residence will function to the satisfaction of the owners and beyond, for the foreseeable future.

5.5 Compliance with Parks Canada Standards and Guidelines for the Conservation of Historic Places

The owner of 26 Bay Street has proposed an addition that is intended to minimize visual impact on the existing historical structure by retaining the existing architectural elements of the home and by designing an addition that is sensitive to the existing styling and massing of the home.

The addition does not require the removal of trees, nor have an impact on the new trees planted by the current owner. The property owner is prepared to post a commitment bond for the execution of the landscape plan, as shown in the proposed site plan; Section 2.1.3.

Items from Standards and Guidelines for the Conservation of Historic Places in Canada

(4.1.1) Evidence of Land Use

The subject property will continue to be used as a residential property. The circa 1910 residence is to be retained as part of the proposed development.

(4.1.2) Evidence of Traditional Practices

Not applicable.

(4.1.3) Land Patterns

Not applicable.

(4.1.4) Spatial Organization

The residence will remain on its existing foundation.

(4.1.5) Visual Relationships

The current exterior building materials, and massing and style of the circa 1910 residence are to be retained.

(4.1.6) Circulation

Not applicable.

(4.1.7) Ecological Features

There are no ecological features, as defined by Standards and Guidelines for the Conservation of Historic Places in Canada, on the property.

(4.1.8) Vegetation

Existing visible landscape elements will be retained

(4.1.9) Landforms

There are no landform features, as defined by Standards and Guidelines for the Conservation of Historic Places in Canada, on the property.

(4.1.10) Water Features

Not applicable

(4.1.11) Built Features

The proposed addition will be equivalent height, and narrow width, to the circa 1910 structure. Visual impact on the heritage character of the property will be minimal.

5.0 Condition Assessment of the Cultural Heritage Resource(s)

(4.3.1) Exterior Form

The architect has designed the proposed addition to have a minimal impact on current heritage elements of the subject property. Building materials, for the roof and exterior walls, will complement the existing structure, but will not attempt to copy the heritage elements. It is intended to distinguish the addition from the existing elements without overwhelming the existing main structure.

(4.3.2) Interior Arrangement

The interior elements no longer retain the circa 1910 character of the existing structure, and since the property will remain a private residence, the interior changes, if any, are not applicable to the Standards and Guidelines for the Conservation of Historic Places in Canada

(4.3.3) Roofs

As per Section 4.3.1

(4.3.4) Exterior Walls

As per Section 4.3.1

(4.3.5) Windows, Doors and Storefronts

The current doors and windows are replacements of circa 1910 elements.

(4.3.6) Entrances, Porches and Balconies

Not applicable.

(4.3.7) Interior Features

As per Section 4.3.2

(4.3.8) Structural Systems

Not applicable

(4.3.9) Mechanical and Electrical Systems

There are no defining elements.

Guidelines for Materials

(4.5.1) All Materials

(4.5.2) Wood and Wood Products

The current siding is made of a modern composite material, which is not consistent with the circa 1910 era of the existing residence.

(4.5.3) Masonry

Not applicable.

(4.5.4) Concrete

The concrete foundation is not visible. The foundation of the existing building will not be affected by the proposed addition.

(4.5.5) Architectural and Structural Metals

There are no exterior metal materials.

(4.5.6) Glass and Glass Products

The proposed windows will be of a 4-over-1 double-hung style that was typical of the circa 1910 construction period of the existing heritage structure on the subject property.

By choosing a period-specific window style for the addition (in preference to the existing, modern, second-generation windows now in use on the existing main residence) the windows of the addition will be consistent in design and style with replacement windows, which the owner proposes to install for the existing structure at a later date, when funding permits.

(4.5.7) Plaster and Stucco

Not applicable.

(4.5.8) Miscellaneous Materials

Not applicable.

6.0 Building System and Legal Considerations

6.1 Building and site use

6.1.1 Practical, Logistical, Legal

The building and site have served as a single family dwelling since inception in the 1910s.

The building form is characteristic of its period but otherwise unremarkable.

The proposal is to execute a number of considered interventions that will enhance the use of the building as an acceptable/desirable form of contemporaneous structures and amenities.

6.2 Viability and sustainability input

6.2.1 Structural

The original structure is to remain largely as is. Where required by the enlargement of the dormer, additional structure will be inserted, independent of the original building as much as possible.

6.2.2 Mechanical

The original structure maintains its mechanical systems. New, independent mechanicals will be incorporated into the new structure.

6.2.3 Electrical

The original structure maintains its electrical system. The new structure will have an independent panel, with a single power feed from the original panel.

6.2.4 Planning

As per Section 5.4.2, there are no planning concerns regarding the current guidelines and bylaws.

6.2.5 Geotechnical

Not applicable.

6.2.6 Other

Not applicable.

6.3 Input from various fields/disciplines

Site work

Tarasick McMillan Kubicki Limited is the surveyor on this project. This company has 64 years of experience in Mississauga and the Greater Toronto Area. They will be responsible for grading and servicing.

Trees/shrubs/plantings

All existing trees and plantings will be protected.

A full landscaping plan has been prepared and will be implemented in the course of this project.

Archeological

Not applicable.

Structural elements

Building elements will comply with the requirements defined by the Ontario Building Code.

Mechanical/plumbing/electrical

B.N. Engineering design is the lead company for these aspects of the project. BN has 14 years of experience in Mississauga.

Finishes & hardware

Not applicable.

Fire safety & suppression

Not applicable, except for smoke detectors where required by the Ontario Building Code.

Environmental considerations, lighting, signage & wayfinding, security

Not applicable.

Easements, encroachments, leasing

There are no leasing, encroachments or legal issues to consider. All project work will take place within the subject property.

7.0 Work Plan

7.1 Goals and objectives timeline

Upon obtainment of the required permissions and permits, it is anticipated that construction will be completed in the course of one calendar year, in toto.

Depending on the timeframe of the construction, the major landscape elements will be installed in the same year; weather permitting. Should the construction extend towards the end of the year, when landscaping may not be possible, these activities will take place the following spring.

The cladding of the house, which is inconsistent with the heritage character of a “contributing property” may be replaced to reflect the condition when built.

Chronological timeline

- Removal of existing shed/deck
- Extension of services as required for sewer, water, electrical for new addition
- Extension of rear dormer - framing/structure/roof
- Structural modifications to foundation as required
- Interior framing of second floor - modification to existing layout/new construction
- Installation of mechanical/plumbing/electrical services
- Construction of foundation and slab base for addition and link
- Construction of specialized elements
- Framing of new addition and link – walls and roof
- Installation of windows and doors
- Exterior cladding
- Framing of interior partitions
- Installation of mechanical/plumbing/electrical services
- Drywall/trim/painting.
- Site preparation for landscaping - grading/soil amendment
- Landscaping

7.2 Specialized trades or skills, where required

No specialized trades are required with the exception of the fabrication/installation of the plunge pool and related equipment.

7.3 Proposed budget to meet and sustain the goals and timeline

The proposed project is being undertaken at this time, concurrent with sufficient budget for the completion of the proposal.

A separate budget has been established for the completion of the landscaping in accordance with the landscape plan.

7.4 Long term and short term maintenance schedule

The proposed alterations to the subject property will take place as one construction contract.

Completion of the application will take place as part of the immediate, short-term goal.

A proposal to replace exterior element that are inconsistent with the heritage nature of the existing main residence will take place at a later date, when funds permit, and will be part of a separate heritage application.

7.5 Monitoring schedule

Trades and professions will be responsible for review during the construction period.

The owner will coordinate and review all design and construction issues with the consultant(s), contractor and trades and provide timely input and decisions as required.

Monitoring of elements that require repair or replacement will take place over the long term.

8.0 Qualifications

8.1.1 Concluding Comment on the Proposal for 26 Bay Street

The proposal for a rear addition to, and an extension of, the current second floor to the present home at 26 Bay Street provides the current owner with a residence that will have a renewed, long-term viability, while respecting the historical architectural value of the original home.

The proposal has consulted, and is consistent with the goals of, both the City of Mississauga's Old Port Credit Village Heritage Conservation District Plan Update, February 2018 and Parks Canada Standards and Guidelines for the Conservation of Historic Places.

The architect and owner has taken great care to respect the character of 26 Bay Street as a "contributing property" in the Old Port Credit Heritage Conservation District.

The property will continue to be a single family dwelling, as required by current City of Mississauga zoning regulations. The scale and massing of the home will retain the existing character of the streetscape along the south side of Bay Street, between Front and John Streets South.

There will be minimal disruption of natural and horticulture elements on the property. The current owner has already taken steps to create a visually pleasing natural landscape and wishes to retain these elements.

The home is to be rehabilitated in a sustainable way, as defined by the Standards and Guidelines for the Conservation of Historic Places in Canada, ensuring long-term preservation of the building.

The changes to 26 Bay Street will have minimal impact on the heritage of the neighbourhood and will ensure that the current home will remain part of the landscape for years to come.

8.2 List of consultants

Consulting Engineer: Babak Naghash – B.N. Engineering

1080 Tapscott Rd Unit 32, Scarborough, M1X 1E7
Iran University of Science and Technology: 1986
president, B.N. Engineering Design Inc.: 2004

Naghash prepared the proposed site plan, and the proposed schedule for the building systems and legal considerations.

Architect/Designer: Antoine Musiol
26 Bay Street, Mississauga, ON L5H 1C1
BES, B.Arch, University of Waterloo: 1974-1981
Sievenpiper Architect: 1982-1984
Project Manager, Luc Wintzen Design: 1985-2000
Special Projects, Hudson's Bay Company: 1993-1997
Consultant, Dermot Sweeny Architect: 1993-1997
Consultant, Tom Demlakian Architect: 1993-1997
Antoine Musiol Design, 2000-present

Projects In Historical Districts

115 Amelia Street, Cabbagetown
69 Langley Avenue
40 Hampton Avenue, Riverdale
30 Saulter Street; rehabilitation

Heritage Consultant: Richard Collins
149 MacLaren Street, Unit 4, Ottawa, ON K2P 0K8
Collins, who has prepared the corresponding Heritage Impact Assessment for this property, provided information for Sections 1.2, 1.3, 2.1.5 and 2.1.6 of this report.

continued

Consulting Heritage Architect: Michael Spaziani
 B.E.S. (Environmental Studies), B. Arch., OAA, FRAIC
 MSAi Inc.
 6 Helene Street North, Mississauga ON, L5G 3B2
 chairman: Toronto Society of Architects (1989-1990)
 councilor: Ontario Association of Architects (1990-1993)
 juror: Mississauga's 25th anniversary Urban Design
 Awards program (1998)
 board member: Heritage Mississauga (2017-present)
 past citizen member for Mississauga H.A.C.

9.0 Additional Information

9.1 Resources

City of Mississauga

- Mississauga Zoning By-law, No. 0225-2007,
Part 4: Residential Zones
- Heritage Management Conservation Plan
Terms of Reference

George Robb Architect

- Old Port Credit Village Heritage Conservation District
Plan Update District Plan, Update 2018

Parks Canada

- Standards and Guidelines for the Conservation of
Historic Places In Canada

9.2 List of consultants

See Section 8.2

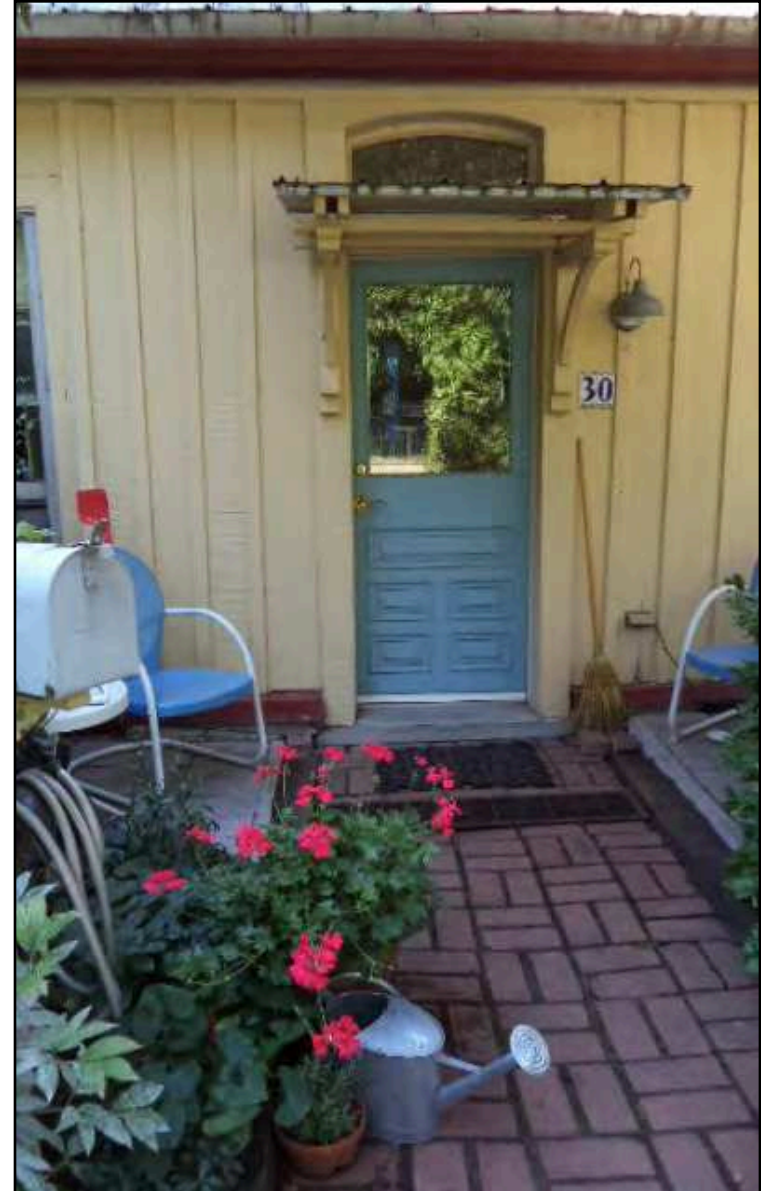
9.3 Examples of the property owners previous rehabilitation work: 30 Saulter Street, Toronto



Front elevation.



Rear terrace.



Front door.



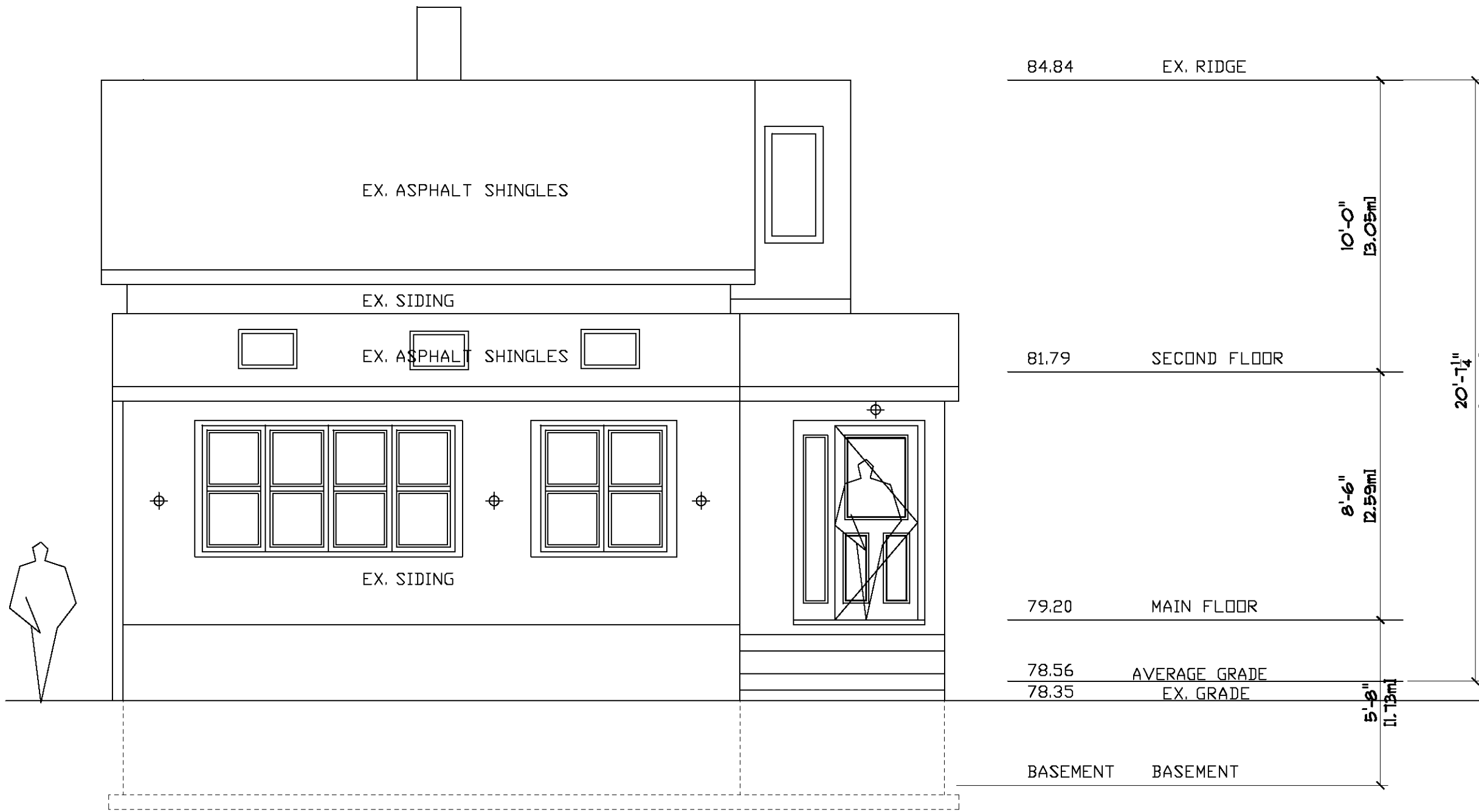
Window details.



Interior: living room.

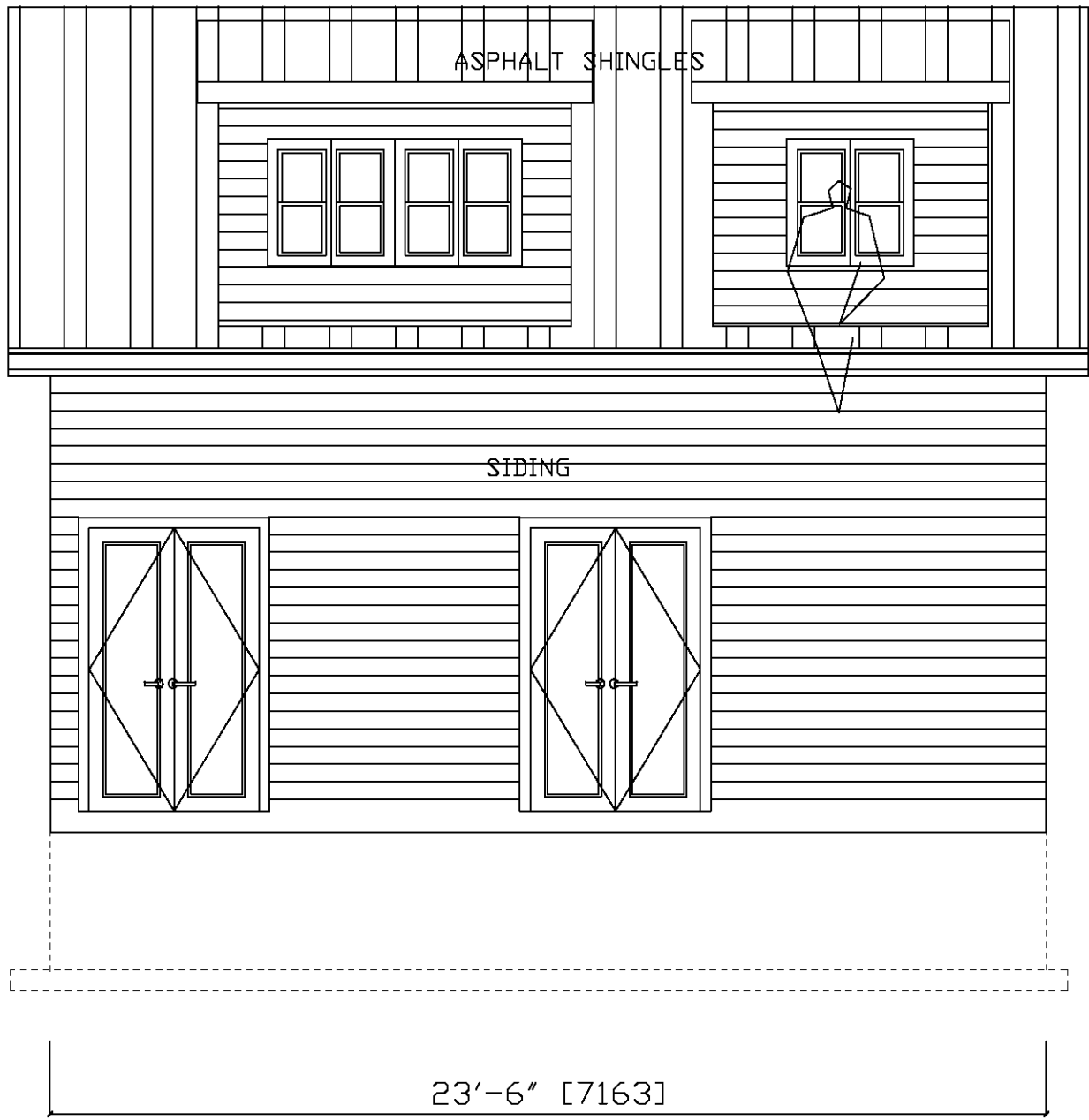


Interior: kitchen.



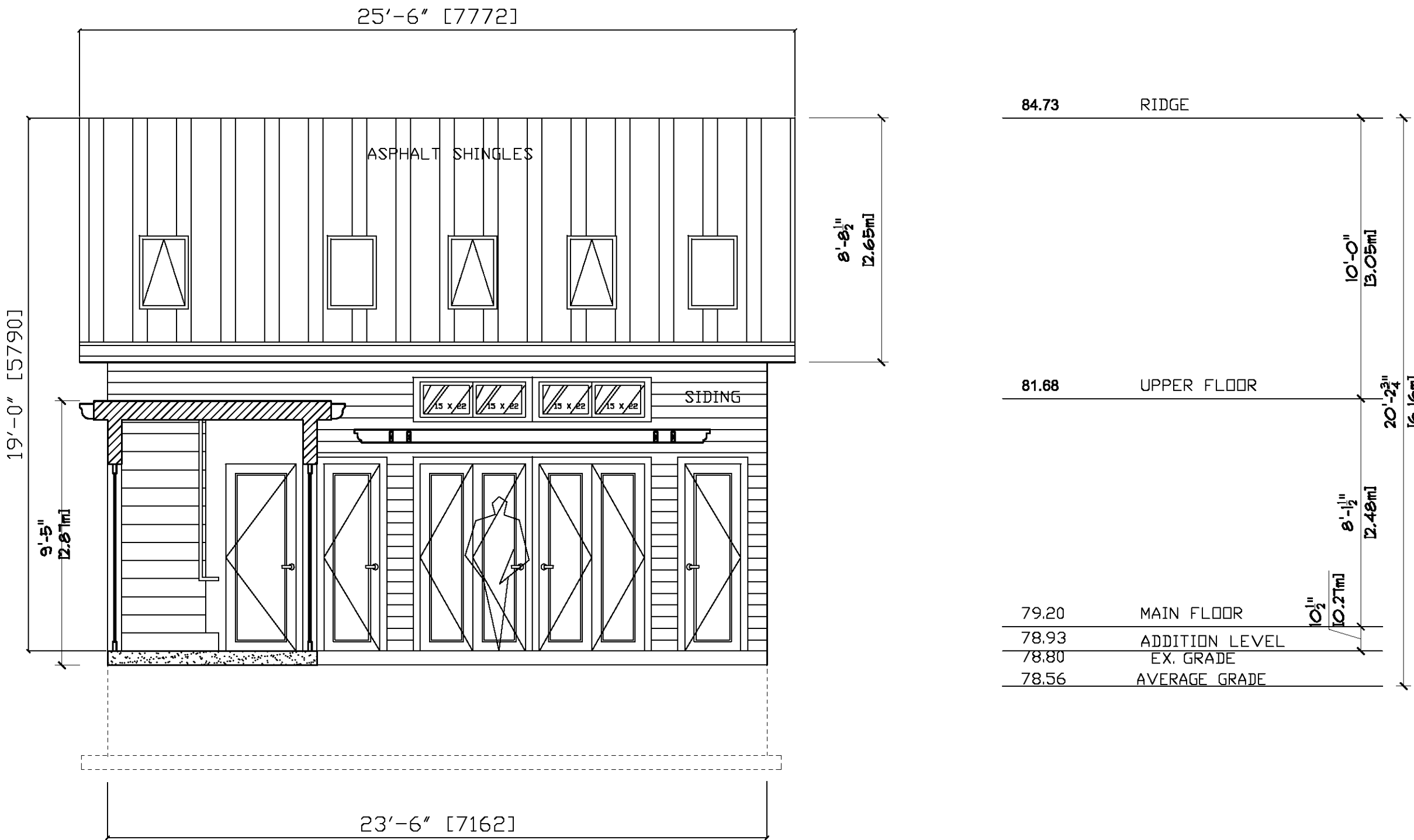
FRONT ELEVATION

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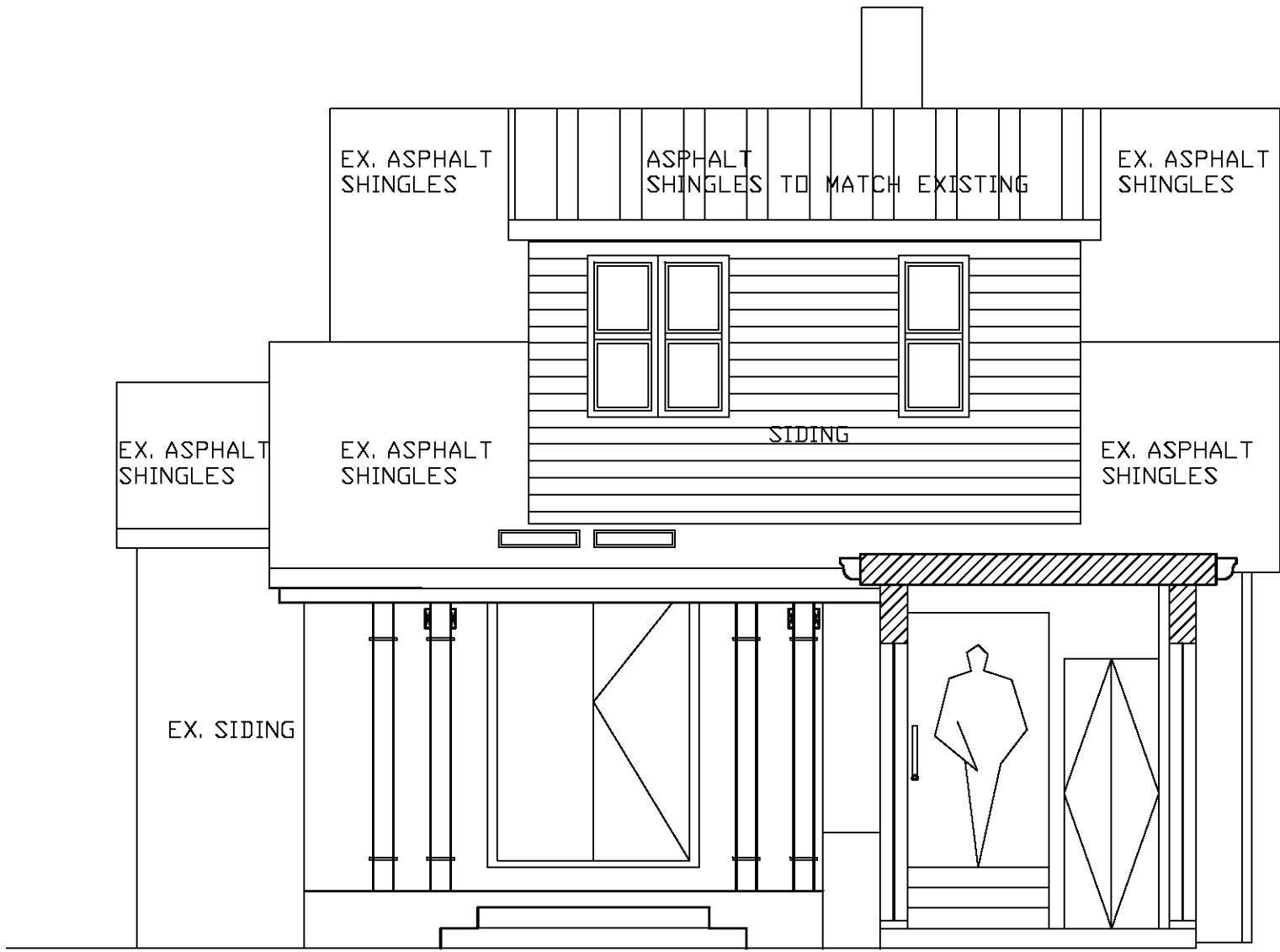
PROPOSED REAR ELEVATION

1/4" = 1'-0"



POOLHOUSE INSIDE ELEVATION

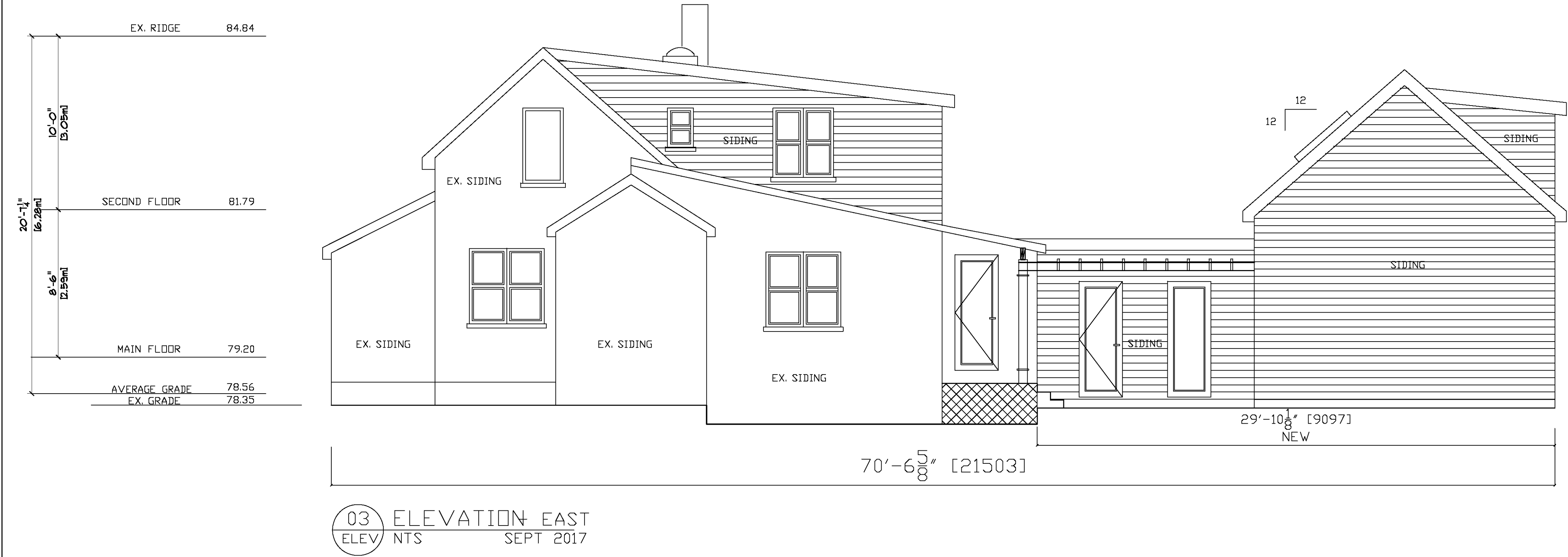
1/4" = 1'-0"



REAR SIDE OF EXISTING HOUSE ELEVATION

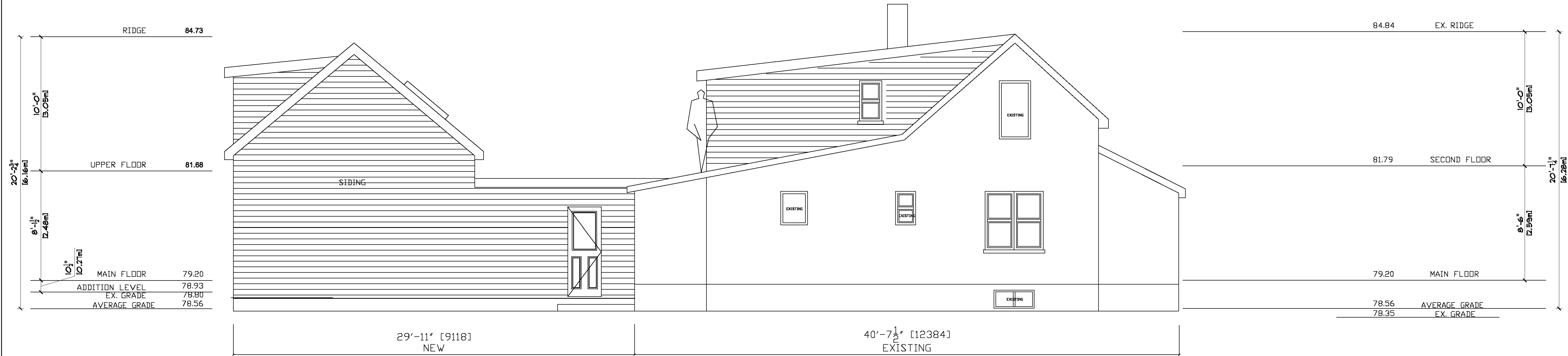
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| | |
| B.N. ENGINEERING DESIGN INC. 83 GALAXY BOULEVARD, UNIT #13 ETOBICOKE, ON M9W 5X6 PH: 905-775-3571 BNEED@ROGERS.COM | |
| CONTRACTORS MUST CHECK AND VERIFY ALL INFORMATION WITH THE LATEST APPROVED DRAWINGS AND ON SITE CONDITIONS AND REPORT ALL DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING WITH CONSTRUCTION. | |
| CONTRACTORS TO WORK IN ACCORDANCE WITH ALL PLANS, SPECIFICATIONS, GENERAL AND CONSTRUCTION NOTES APPROVED. | |
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| 26 BAY STREET MISSISSAUGA, ONTARIO | |
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| ELEVATIONS | |
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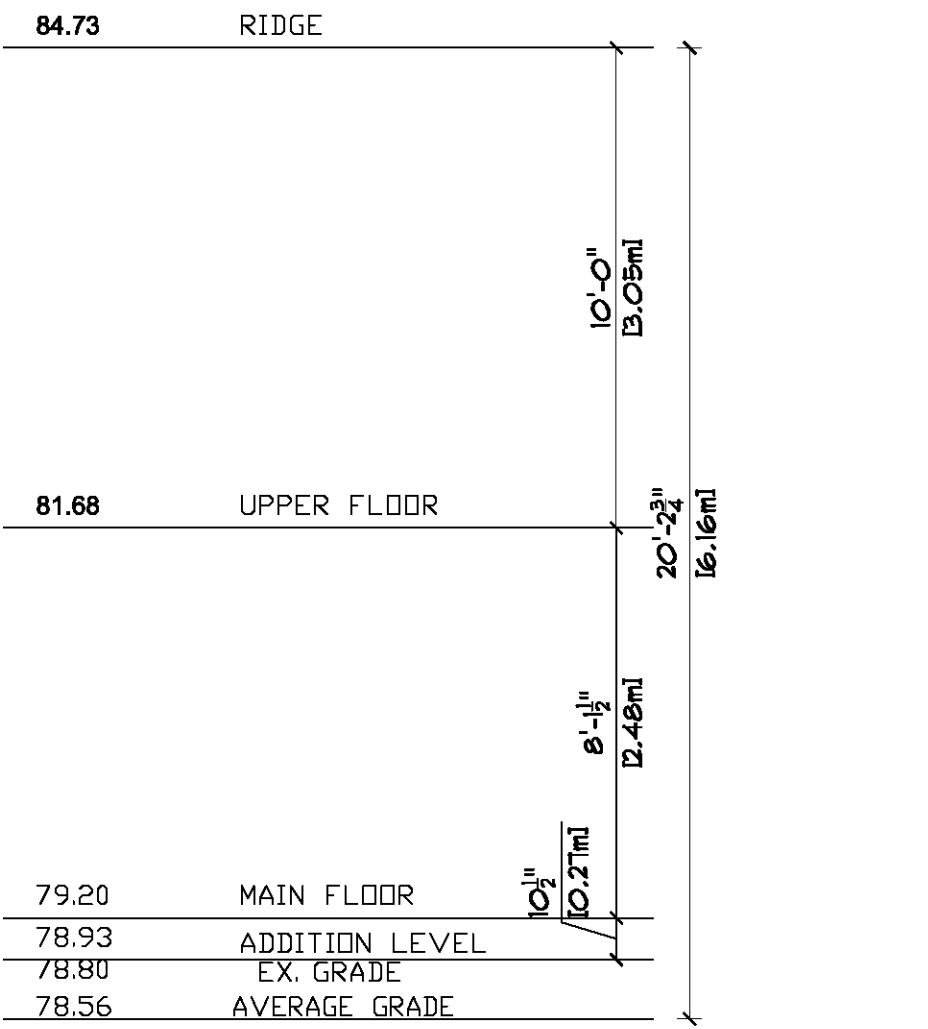
EAST SIDE ELEVATION

1/4" = 1'-0"



WEST SIDE ELEVATION

1/4" = 1'-0"



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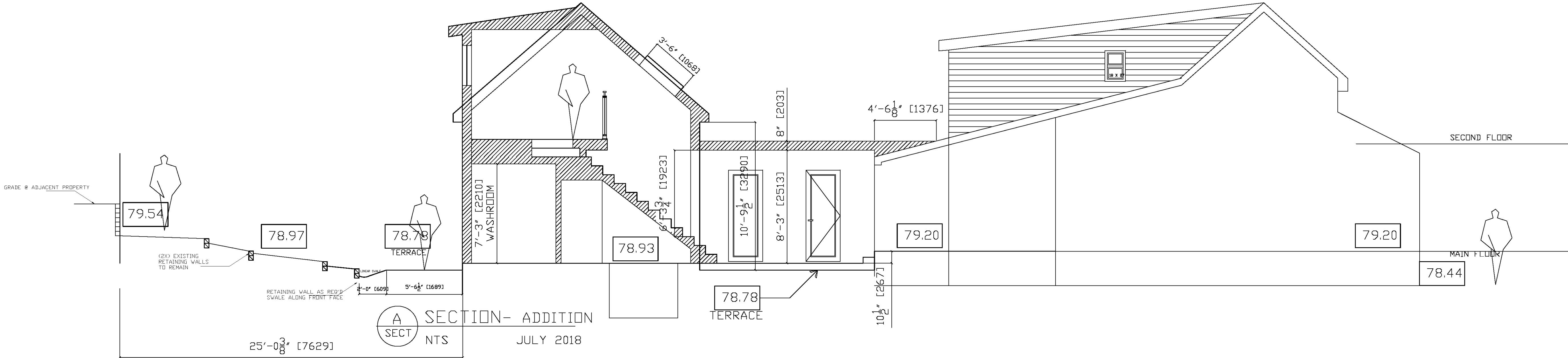
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26 BAY STREET
MISSISSAUGA, ONTARIO

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ELEVATIONS

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SECTION A

1/4" = 1'-0"

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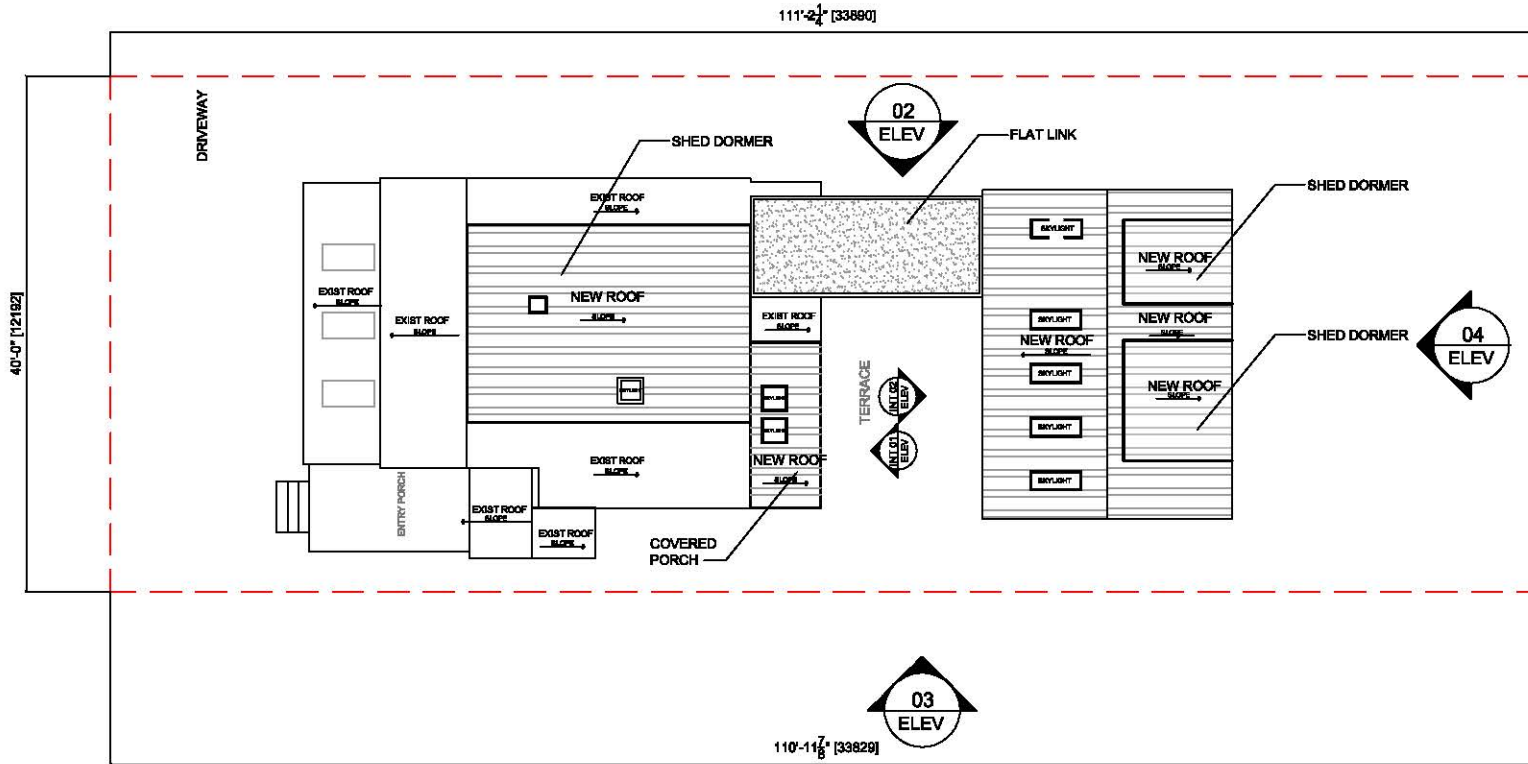
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MISSISSAUGA, ONTARIO

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SECTION A

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CONTRACTOR SHALL VERIFY ALL
DIMENSIONS AND BE RESPONSIBLE FOR
SAME, REPORTING ANY DISCREPANCIES TO
THE DESIGNER BEFORE PROCEEDING WITH
THE WORK.
DO NOT SCALE DRAWING.

NOTES

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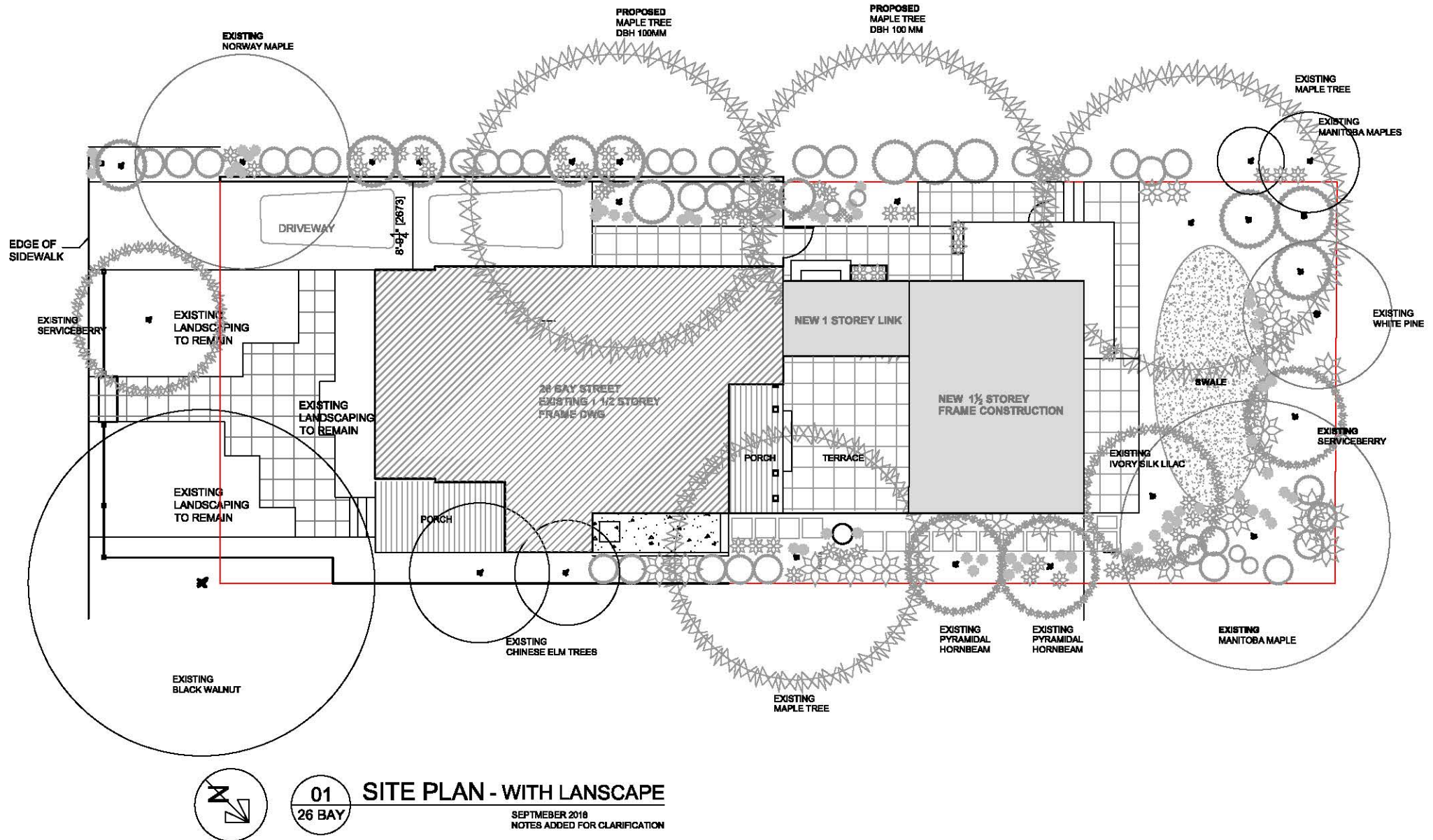
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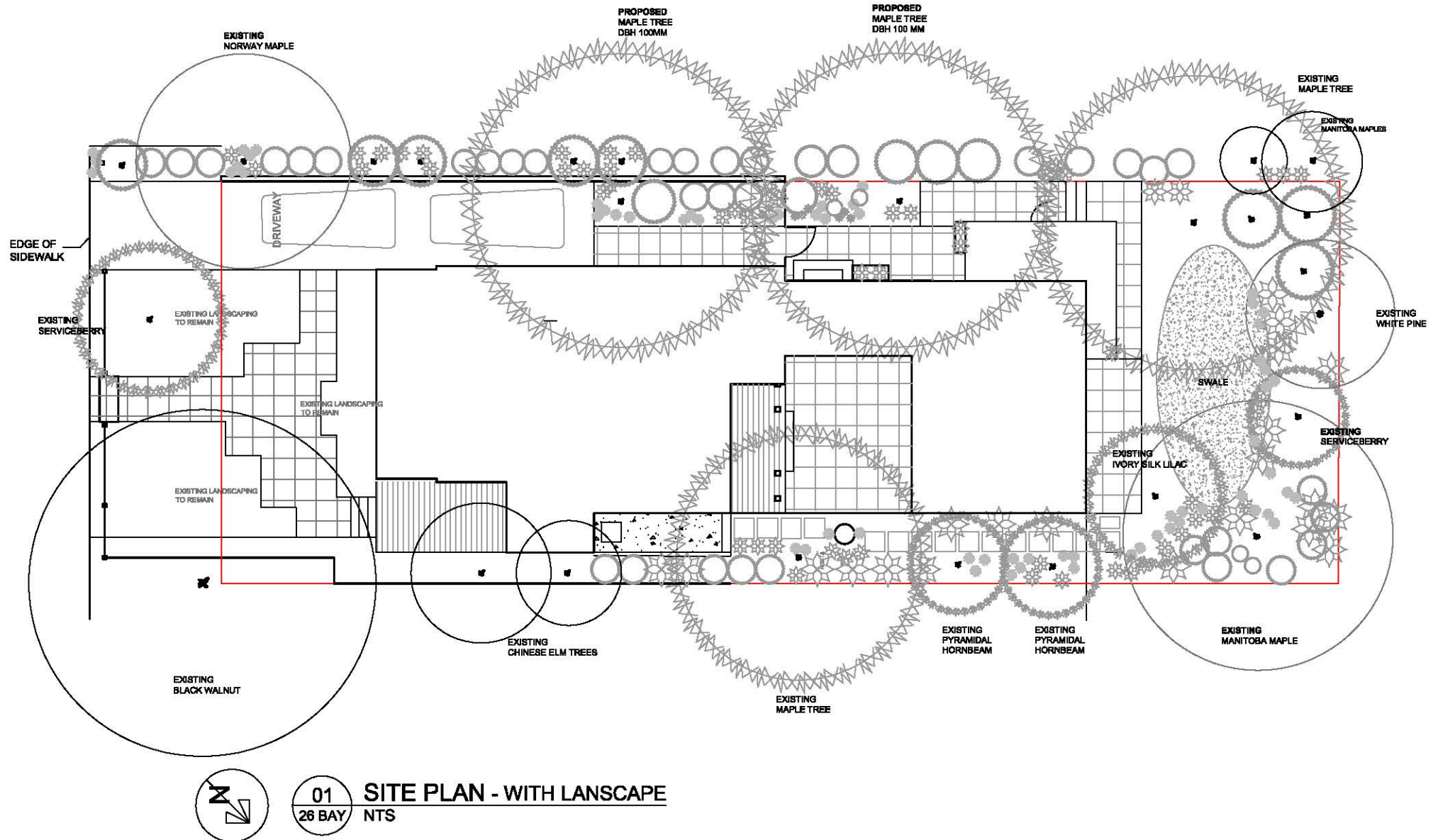
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City of Mississauga

Corporate Report



Date: 2018/10/18

To: Chair and Members of Heritage Advisory Committee

From: Paul Mitcham, P. Eng, MBA, Commissioner of
Community Services

Originator's files:

Meeting date:
2018/11/13

Subject

Request to Alter a Heritage Designated Property: 119 and 121 Lakeshore Road West (Ward 1)

Recommendation

That the request to alter the heritage designated property at 119 and 121 Lakeshore Road West, as per the Corporate Report from the Commissioner of Community Services dated October 18, 2018, be approved.

Background

The City designated the Old Port Credit Village Heritage Conservation District (HCD) under Part V of the Ontario Heritage Act in 2004. The 2004 plan remains in effect due to a Local Planning Appeal Tribunal (LPAT) appeal. The subject property is included in the district and identified as an “other” building in the plan. As such, the property is subject to the heritage permitting requirements outlined in the plan for this classification.

The subject building is a large structure with a large open air staircase in the middle. The owner proposes to add a second floor patio to the staircase area and enclose it on the Lakeshore Road face with stucco and glazing similar to the existing facades on either side. Metal canopies are also proposed as well as a realignment of the side stairs (on both sides) that access the lower level. The proposal is outlined in the Heritage Impact Assessment (HIA), attached as Appendix 1. Additions and structural interventions to “other” buildings in the HCD require a heritage permit.

Comments

The Objective of the 2004 plan is “to accept other buildings as they are.” Additions must “respect the district’s general historical character but integrate with the existing building.” The proposed changes are consistent with the existing building and do not negatively impact “adjacent properties in terms of scale, massing, height and setback” (as per the policy).

The analysis provided by the HIA suggests that the proposed alteration would result in a building that is more in keeping with the built form in this particular area: “Overall, the proposed alterations to the front façade will make the current building more consistent with the flat-wall, ground-level access style of the other retail buildings along the south side of Lakeshore Road West in the vicinity.”

Because the proposed changes are consistent with the character of the building and do not negatively impact adjacent buildings, the proposal should be approved.

Financial Impact

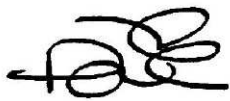
There is no financial impact resulting from the recommendation in this report.

Conclusion

The owner of the subject “other” property within the Old Port Credit Village HCD proposes to add a second floor patio, enclose the exposed Lakeshore Road facing staircase and realign two smaller staircases that provide lower level access. The proposal is consistent with the character of the building and does not detract from the character of the HCD. As such, it should be approved.

Attachments

Appendix 1: Heritage Impact Assessment



Paul Mitcham, P. Eng, MBA, Commissioner of Community Services

Prepared by: P. Wubbenhorst, Heritage Planner



HERITAGE IMPACT ASSESSMENT

119-121 LAKESHORE ROAD WEST

MISSISSAUGA, ONTARIO

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| | zoning and land use of adjacent properties |
| 2.3 | Existing conditions related to the heritage resource |
| 2.3.1 | current exterior and interior photographs |
| 2.3.2 | measured elevations |
| 2.3.3 | floor plans |
| 2.3.4 | site plan or survey |
| 2.3.5 | Historical photos, drawings, or other archival material |
| 2.4 | Proposed development outline |
| 2.4.1 | Impact of the heritage resource on neighbouring properties |
| 2.4.2 | Influence on the subject and adjacent properties. |
| 2.4.3 | Compliance with the Heritage Conservation District Plan. |
| 2.4.4 | Streetscape |
| 2.5 | Architectural drawings |
| 2.6 | Alternative development options/mitigation measures |
| 2.6.1 | Alternative development approaches |
| 2.6.2 | Isolating site alteration from built and natural features and vistas |
| 2.6.3 | Design guidelines that harmonize mass, setback, setting and materials |
| 2.6.4 | Limiting height and density |
| 2.6.5 | Allowing only compatible infill and additions |
| 2.6.6 | Reversible alterations |
| 2.7 | A summary of conservation principles |
| 2.8 | Loss of cultural heritage value interests and impact on the streetscape |
| 2.9 | Salvage mitigation |

3.0 Summary Statement

- 3.1 Attributes of the cultural heritage resource
- 3.2 Impact on the cultural heritage resource
- 3.3 Mitigation measures
- 3.4 Why conservation or mitigative measures are not appropriate

4.0 Recommendation

- 4.1 Regulation 9/06, Ontario Heritage Act
 - 4.1.1 Does the property meet the criteria for designation
 - 4.1.2 Provincial Policy Statement - 2014

5.0 Qualifications

- 5.1 Author
- 5.2 References

1.0**GENERAL INFORMATION****Name(s)****1.11 Historic Place Name**

- none (191-121 Lakeshore Road West)
- Emma Peer residence (7 John Street South)

Recognition**1.21 Authority**

- City of Mississauga

1.22 Inventory Code

- #866

Location**1.31 Address**

- 119-121 Lakeshore Road West, and 7 John Street South

1.32 Postal Code

- L5H 1E9

1.33 Lower Tier

- City of Mississauga

Coordinates**1.41 Latitude and Longitude**

- 43° 32' 58.3" north, 79° 35' 15.7" west (119-121 Lakeshore Road West)
- 43° 32' 57.5" north, 79° 35' 14.6" west (7 John Street South)

Boundaries**1.51 Lot**

- Plan 300 W, Lot 4 and part of Lot 3, south of Toronto Street

1.52 Property Area

- 1,514.44 m²

1.53 Depth

- 50.29 m

Zoning**1.61 Zoning**

- C4-66

1.62 Status

- designated under Part V of the Ontario Heritage Act, June 2004

1.63 Bylaw

- 272-2004
-

2.0

GENERAL REQUIREMENTS

2.1 Detailed site history

2.1.1: listing of owners from the Land Registry Office

Mississauga nation – circa 1700

Crown – February 28, 1820

Frederick William Jarvis – February 20, 1841

Henry Fowler – July 23, 1865

Frederick Chase Capreol – July 23, 1865

since construction of the current 7 John Street South

Emma Peer – November 23, 1889

Stephen Lester Peer – May 7, 1896

Herbert John Peer – March 3, 1957

since construction of the current 119-121 Lakeshore Road West

Paul and Terry Field – April 30, 1986

1347542 Ontario Incorporation – June 25, 1999

14821252 Ontario Incorporation – July 6, 2001

2528927 Ontario Incorporation – August 17, 2016

2.1.2: A history of the site use(s)

Mississauga Nation

Before the Colonial Office in London (on behalf of King George III) purchased the subject property, along with all land between Etobicoke Creek and the Head of the Lake, it had been occupied by the Mississauga nation. The Credit River band of the nation had a permanent village about three kilometres north of the subject property, but likely occupied land nearer the shore line during the salmon run.

Because fishing was vital to the aboriginal diet, the Mississauga nation retained 1.6 kilometres on both side of the Credit River, when they sold the remainder of the “Mississauga Tract”, but as the aboriginal population declined, and many converted to Christianity (thus following the diet and lifestyle of the European settlers) the Mississauga nation sold this reserve, including the subject property to the Crown in 1820. Treaty 22 was signed on February 28, 1820.

Subdividing the Credit Indian Reserve

After the sale, the land on both sides of the Credit River were surveyed. Robert Lynn arrived in August 1834 to subdivide the former reserve into lots. The subject property was initially two lots as surveyed by Lynn. Lot 4 south of Toronto Street (Lakeshore Road, today) is entirely contained with today’s subject property. The eastern portion of today’s subject property is the western portion of the lot immediately to the east of Lot4; being Lot 3 south of Toronto Street.

Today, there are three modern addresses on what is a single, consolidated lot. To the south end of the subject property is 7 John Street South. No structural changes are proposed for this building.

The application for alterations are focused on the two addresses north of 7 John Street South; being 119 and 121 Lakeshore Road West.

Frederick William Jarvis

After Lynn's survey, the Crown contracted Frederick William Jarvis in 1841, to oversee the sale of lands near the proposed harbour at the mouth of the Credit River, including the subject property. Jarvis was the sheriff of the County of York (which included modern-day Mississauga) and in lieu of payment for his services as sheriff, Jarvis was permitted to retain a portion of the sale of all lands he was commissioned to sell. Technically, Jarvis is the first property owner (after the Crown), although he did not live on the land.

Two Owners on the Same Day

The next transaction appears odd, but was not uncommon at the time. Sheriff Jarvis transferred the subject property (along with most of the adjacent properties in Port Credit) to Henry Fowler, by way of a "deed poll". Fowler then transferred the property, that same day, to Frederick Chase Capreol. From this we can conclude that Capreol intended to purchase the property, but was unable to sign the bargain and sale himself in person, and so contracted Fowler to sign the bargain and sale in his name, and then to bring the papers to Capreol for him sign to make the land transfer official. Deed polls were common in the days when transportation was crude and telecommunication non-existent.

Frederick Chase Capreol

Capreol hoped to purchase as much of the Lake Ontario waterfront in Mississauga, and Credit River properties, as possible with the plan to develop a large industrial complex powered by the water of the Credit River. However, the river volume was not nearly large enough to allow Capreol to achieve his dreams, and with Peel County's population declining at the time, Capreol was unable to sell his lands, including the subject property.

Emma Peer

It was a woman who came to Capreol's rescue. It was rare in this period for women to sign land deeds, but in this case Emma Peer (nee, Anderson - 1841-1896) had lost her husband (Captain James Peer) in 1888, and as a widow, she purchased land from Capreol to ensure that her two sons would have land to build their own homes.

The two sons, Stephen Lester Peer (1863-1956) and John Charles Peer (1872-1947) built a home for their mother (the current 7 John Street - now *Chelsea Restaurant*) for Emma around 1890. The homes built by Stephen and Charles both still stand at 38 John Street South and 42 John Street South, respectively.

Both Stephen and John were captains of stonehooking vessels, but when that business began to fade in the first decade of the 20th century, both men became commercial fishermen.

The Peer Family

When Emma died in 1896, the subject property was willed to her eldest son, Stephen Lester Peer and to Stephen's then eldest son William Henry Peer.

William Henry Peer was identified in Emma's will as the inheritor of the

subject property, but he died before his father, so when Stephen died he willed the property to his youngest son Herbert John Peer (1910-1992) in 1957.

Herbert lived in the home at 7 John Street South, rented the retail properties that stood where the building on the subject property now stands, and ran a hardware store next door in a building that is currently *Options* office printing and supplies. The subject property remained in the Peer family until 1986.

Recent Years

The current building identified as 119-121 Lakeshore Road West was built in May 1986. The building is now part of the Old Port Credit Heritage Conservation District, but was built before the HCD was established in 2004, and as a result was built in a style that is not characteristic of the heritage district.

2.2 Complete listing and full written description of property

Structures

119-121 Lakeshore Road West

The subject property contains two separate structures. The larger of the two buildings faces northward towards Lakeshore Road West and occupies almost the full width of the lot. This building occupies what was originally the front lawn of Emma Peer's house (7 John Street South).

7 John Street South

A smaller wood-frame structure, currently a restaurant but originally the circa 1890 home of Emma Peer, is located to the rear (south) of the property. This house was originally oriented to face northward to Lakeshore Road West. Since the completion of the current building at 119-121 Lakeshore Road West, this house has lost its original main street context.

- Building Materials

119-121 Lakeshore Road West

The commercial building at 119-121 Lakeshore Road West is built with a conventional steel girder frame, with masonry walls that have been stuccoed. There is a central stairway of concrete, with an overhead steel frame and glass canopy. The building is trimmed at the roofline with a faux cornice of wood.

7 John Street South

The building at 7 John Street South is a wood-frame building.

- Building Elements

119-121 Lakeshore Road West

This building is essentially a one-and-a half storey building with the upper full-floor raised above street level and the lower full-floor accessed by stairs that lead below street level. The wide central stairs run perpendicular to the street, leading to the second level directly from the sidewalk. The stairs leading to the lower level are transverse to the central stairs, stepping downward parallel to the sidewalk. There are metal railings along the sidewalk perimeter, toward the building, to protect pedestrians from the resulting deep well leading to the lower-

level retail units. Smaller stairs at the south (rear) the property lead to service entrances for the retail units. From the west elevation, there is a peaked central roof.

7 John Street South

This building is a conventional one-and-a-half storey wood-frame structure, originally built as a residence. It is generally in a simple Ontario Gothic style with a steeply-pitched roof and a characteristic central second-floor dormer centred along what was originally the front facade, and with a rear (now southward) extension that originally functioned as the former residence's summer kitchen.

- Architectural and Interior Finishes

119-121 Lakeshore Road West

The walls of the subject building are brick that has been stuccoed on all four sides. The faux cornice extends along the front of the facade, but is broken in the middle by the glass and steel frame canopy, and centrally along each of the projecting north facade segments by capped bay windows. The cornice wraps around the east facade roofline, extending about a third of the way along the length of this facade. The cornice continues along the full length of the west facade (exposed to John Street South) and wraps around to the south facade, which can be seen from the rear parking lot. Interiors have changed over the years with the change in retail tenants.

7 John Street South

This building is now a restaurant and has modern walls and fixtures. Some heritage elements - tall floorboards and some metal grates - remain, but otherwise retains few interior design elements characteristic of the late-Victorian era.

- Natural Elements

119-121 Lakeshore Road West

There are no natural elements on this commercial property.

7 John Street South

This part of the property retains a small, steeply-graded side lawn (front lawn, from the John Street vantage) and three medium-height trees along the John Street axis.

- Landscaping

There are no notable landscape features on the full property.

2.2.2: Chronological history of the property

The property remained undeveloped through to, and including, the ownership tenure of Frederick Capreol. Capreol created a holding company called the General Manufacturing Company of Peel (later refinanced as the Peel General Manufacturing Company) in hopes that he could find investors to realize his dream of turning Port Credit into a water-powered industrial centre. Because of the lack of investors, his properties – including the subject property – remained undeveloped. The subject property was finally purchased by Emma Peer in 1889. She had her residence built on the south end of the lot.

Based on the architectural positioning of Emma Peer's house (which originally faced north toward Lakeshore Road) it is likely that, when it was built around 1890, had an ample front lawn where the current 119-121 building is now located. This long, large front lawn was typical of property plans of the time.

It cannot be stated with certainty when the front lawn was replaced with retail businesses fronting onto Lakeshore Road, since the property remain in the ownership of the Peer family for three generations, and almost one hundred years. However, a 1935 *Toronto and Area* phonebook, part of the collection of the Mississauga South Historical Society, confirms that there were commercial properties along the section of Lakeshore Road West between Front Street and John Street by this date. These buildings were both shown in a 1980 phonebook as being vacant. Local residents recall that around this time the area that is now the subject property's rear parking lot was an overflow boat storage lot, before the current Port Credit Village Marina was completed.

2.2.3: Conclusions regarding the significance and heritage attributes

There are two buildings on the subject property. The rear building – the Emma Peer residence – is a noteworthy heritage structure. No changes are proposed to the building. The proposal for the building at 119-121 Lakeshore Road West will not alter that building's height and massing in a manner that will block current vistas of the heritage building on the property.

The building that comprises 119-121 Lakeshore Road was built in 1986. The architect appears to have made an attempt to mimic the peaked roofs common to many of the heritage buildings in the Old Port Credit Heritage Conservation District. Other design elements, notably the broken cornices along the north, west and south facades are intended to give the property a vague historic look. However, these elements do little to hide the fact that the massing of the subject building is out of character, especially its position close to the sidewalk, of other buildings in the HCD.

It was necessary to enclose the lower retail court with metal railings to protect errant pedestrians, with the result being a building that does not have an open, friendly streetscape.

2.2.4: Location

The subject property is located in the Town of Port Credit, in the City of Mississauga, on the southwest corner of Lakeshore Road West and John Street South. Parking for the retail business at 119-121 Lakeshore Road West is from behind (south of) the building. The parking lot leads out to John Street South.

The building at 119-121 Lakeshore Road West is positioned about one meter inward to the front the front lot line. Along the west side of the property, the subject building is located very near to the lot line. The building is approx. 480 m².

The northwest corner of the property is truncated by an angular cut, to provide clearance for the lighted pedestrian crossing at John Street South and Lakeshore Road West.

Lot N^o 3

| | | | | | |
|-------|-------|-------------|--------------|-----------------------|---|
| 13632 | Al | 12 May 1887 | 5 June 1887 | Michael Crawford & Co | } Encom Henry Fowler Frederick to be paid |
| 13635 | DPoll | 18 Apr 1885 | 25 July 1885 | Frederick W. Jones | |
| 13637 | DPoll | " | " | Henry Fowler | |

Lot N^o 4

| | | | | | |
|-------|-------|-------------|--------------|--------------------|----------------------|
| 13635 | DPoll | 18 Apr 1885 | 25 July 1885 | Frederick W. Jones | Henry Fowler |
| 13637 | DPoll | " | " | Henry Fowler | Frederick to be paid |

Land registry record;
Book A.

Toronto St. L.C. side

| INSTRUMENT | INSTRUMENT | 1 st DATE | DATE OF REGISTRY | GRANTOR | GRANTEE |
|------------|------------|----------------------|---------------------|---------------------------------------|--|
| | | | | see Dep't 361 Lot 3 & 4 | |
| 1145 | Al | 12 Feb 1878 | 14 Feb 1878 | Frank C. Capner & Co | Frank C. Capner |
| 6145 | Trs | 21 July 1880 | 2 Aug 1880 | Frank C. Capner & Co | Frank C. Capner |
| 6146 | Trs | 17 Oct 1880 | " | Frank C. Capner | Frank C. Capner |
| 10094 | Trs | 14 Nov 1889 | 14 Nov 1889 | Frank C. Capner | Frank C. Capner |
| 9121 | Will | 28 Aug 1891 | 7 May 1896 | Emma Peer | Stephen Lecker & William Henry Peer |
| 10669 | 2C | 2 Dec 1901 | 4 Dec 1901 | William H. Peer (an unmarried man) | Stephen L. Peer |
| 300 | Plan | 20 May 1914 | 3 Oct 1927 | Municipal Survey | |
| 245 | By Law | 18 Sept 1929 | 25 Sept 1929 | see appropriation | |

Land registry record,
Book B.

Ontario ServiceOntario LAND REGISTRY OFFICE #43 13488-1264 (LT) **teranet eXpress**

PARCEL REGISTER (ABBREVIATED) FOR PROPERTY IDENTIFIER

PAGE 1 OF 4
PREPARED FOR RICHARD COLLINS
ON 2018/08/28 AT 13:01:21

* CERTIFIED IN ACCORDANCE WITH THE LAND TITLES ACT * SUBJECT TO RESERVATIONS IN CROWN GRANT *

PROPERTY DESCRIPTION: PT LTS 3 & 4, S/3 TORONTO S WCN PL PCL (SHOWN ON PL 300) FORT CREDIT; PT 1 43R13446; S/T R0R37494; MISSISSAUGA; AMENDED 1999/07/12, LAND REGISTRAR #17

PROPERTY REMARKS:

ESTATE/QUALIFIER: FREE SINGLE
LT CONVERSION QUALIFIED

RECENTLY: RE-ENTRY FROM 13488-2359

PIN CREATION DATE: 1999/03/25

OWNER'S NAME: 2528921 ONDALO INC.

CAPACITY SHARE: NONE

| REG. NUM. | DATE | INSTRUMENT TYPE | AMOUNT | PARTIES FROM | PARTIES TO | CERT/CHKD |
|---|------------|-------------------|--------|----------------------------|--|-----------|
| <p>**EFFECTIVE 2000/07/29 THE NOTATION OF THE BLOCK IMPLEMENTATION DATE* OF 1997/04/23 ON THIS PIN**</p> <p>**WAS REPLACED WITH THE "PIN CREATION DATE" OF 1999/03/25**</p> <p>** PRINTOUT INCLUDES ALL DOCUMENT TYPES AND DELETED INSTRUMENTS SINCE 1999/03/25 **</p> <p>**SUBJECT, ON FIRST REGISTRATION UNDER THE LAND TITLES ACT, TO</p> <p>** SUBSECTION 4(1) OF THE LAND TITLES ACT, EXCEPT PARAGRAPH 11, PARAGRAPH 14, PROVINCIAL SUCCESSION DUTIES * AND ESCHEATS OR FORFEITURE TO THE CROWN.</p> <p>** THE RIGHTS OF ANY PERSON WHO MIGHT, BUT FOR THE LAND TITLES ACT, BE ENTITLED TO THE LAND OR ANY PART OF IT THROUGH LENGTH OF ADVERSE POSSESSION, PRESCRIPTION, MISDESCRIPTION OR BOUNDARIES SETTLED BY CONVENTION.</p> <p>** ANY LEASE TO WHICH THE SUBSECTION 70(2) OF THE REGISTRY ACT APPLIES.</p> <p>**DATE OF CONVERSION TO LAND TITLES: 1999/03/26 **</p> | | | | | | |
| 43R13446 | 1986/04/30 | PLAN REFERENCE | | | | C |
| R0772495 | 1986/10/10 | AGREEMENT | | | THE CORPORATION OF THE CITY OF MISSISSAUGA | C |
| 43R14372 | 1987/03/10 | PLAN REFERENCE | | | | C |
| 43R14854 | 1987/08/17 | PLAN REFERENCE | | | | C |
| R0R24373 | 1987/11/09 | BYLAW | | | | C |
| R0R31423 | 1988/01/08 | NOTICE OF LEASE | | *** COMPLETELY DELETED *** | FIELD, PAUL FIELD, TERRY | C |
| R0R37494 | 1988/07/03 | TRANSFER EASEMENT | | | MISSISSAUGA HYDRO-ELECTRIC COMMISSION | C |

NOTE: ADJOINING PROPERTIES SHOULD BE INVESTIGATED TO ASCERTAIN DESCRIPTIVE INCONSISTENCIES, IF ANY, WITH DESCRIPTION REPRESENTED FOR THIS PROPERTY.
NOTE: ENSURE THAT YOUR PRINTOUT STATES THE TOTAL NUMBER OF PAGES AND THAT YOU HAVE PICKED THEM ALL UP.

Land registry record;
Teranet, electronic record A.

Ontario ServiceOntario LAND REGISTRY OFFICE #43 13488-1264 (LT) **teranet eXpress**

PARCEL REGISTER (ABBREVIATED) FOR PROPERTY IDENTIFIER

PAGE 2 OF 4
PREPARED FOR RICHARD COLLINS
ON 2018/08/28 AT 13:01:21

* CERTIFIED IN ACCORDANCE WITH THE LAND TITLES ACT * SUBJECT TO RESERVATIONS IN CROWN GRANT *

| REG. NUM. | DATE | INSTRUMENT TYPE | AMOUNT | PARTIES FROM | PARTIES TO | CERT/CHKD |
|--------------------|------------|--------------------|--------|---------------------------------------|--|-----------|
| R0936775 | 1990/05/02 | TRANSFER | | *** DELETED AGAINST THIS PROPERTY *** | RICHMALL LTD. | |
| R0941485 | 1990/06/18 | RELEASE | | | | C |
| REMARKS: R0772495 | | | | | | |
| R0946974 | 1990/08/14 | CHARGE | | *** COMPLETELY DELETED *** | CIBC MORTGAGE CORPORATION | |
| R0946975 | 1990/08/14 | ASSIGNMENT GENERAL | | *** COMPLETELY DELETED *** | | |
| REMARKS: R0946974 | | | | | | |
| R01164641 | 1998/02/06 | RELEASE | | THE CITY OF MISSISSAUGA | | C |
| REMARKS: 772495 | | | | | | |
| L71956572 | 1999/04/25 | TRANSFER | | *** COMPLETELY DELETED *** | 1347542 ONTARIO INC., RICHMALL LTD. | |
| L71956573 | 1999/04/25 | CHARGE | | *** COMPLETELY DELETED *** | CANADA TRUSTCO MORTGAGE COMPANY | |
| L71956574 | 1999/04/25 | ASSIGNMENT GENERAL | | *** COMPLETELY DELETED *** | CANADA TRUSTCO MORTGAGE COMPANY | |
| REMARKS: L71956573 | | | | | | |
| L72107584 | 2000/08/03 | DISCH OF CHARGE | | *** COMPLETELY DELETED *** | CIBC MORTGAGE CORPORATION | |
| REMARKS: R0946974 | | | | | | |
| R8104328 | 2001/07/06 | TRANSFER | | *** COMPLETELY DELETED *** | 1482125 ONTARIO LTD. | |
| R8104329 | 2001/07/06 | CHARGE | | *** COMPLETELY DELETED *** | BUDCHNIST CREDIT UNION LIMITED | |
| R8104330 | 2001/07/06 | NOTICE | | *** COMPLETELY DELETED *** | BUDCHNIST CREDIT UNION LIMITED | |
| REMARKS: R0946974 | | | | | | |
| R8104331 | 2001/07/06 | CHARGE | | *** COMPLETELY DELETED *** | 1347542 ONTARIO INC. | |
| REMARKS: R8104329 | | | | | | |

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Land registry record,
Teranet, electronic record B.

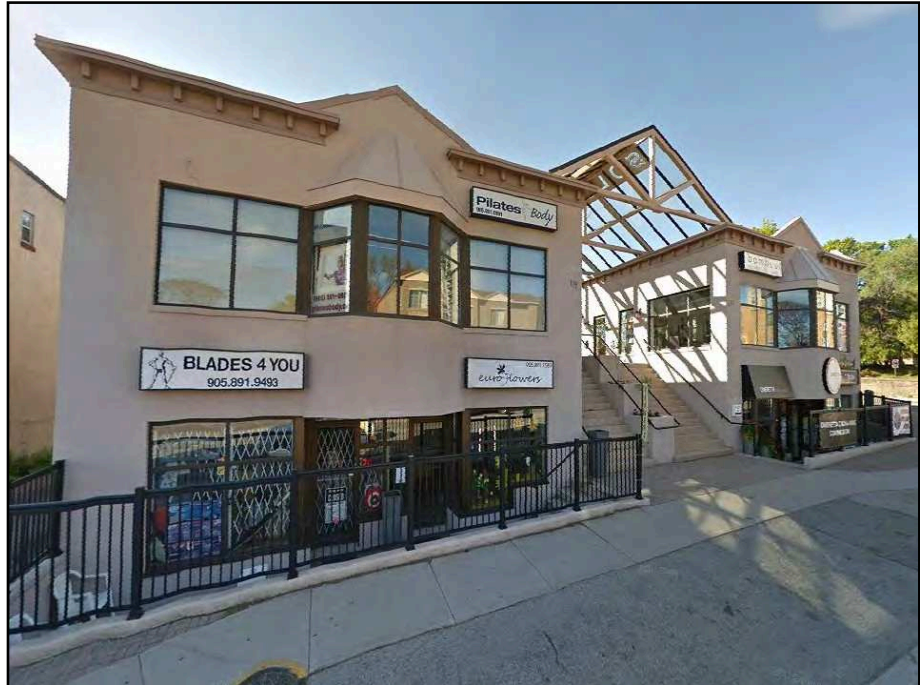


*2016 aerial image.
(City of Mississauga I-Maps)*

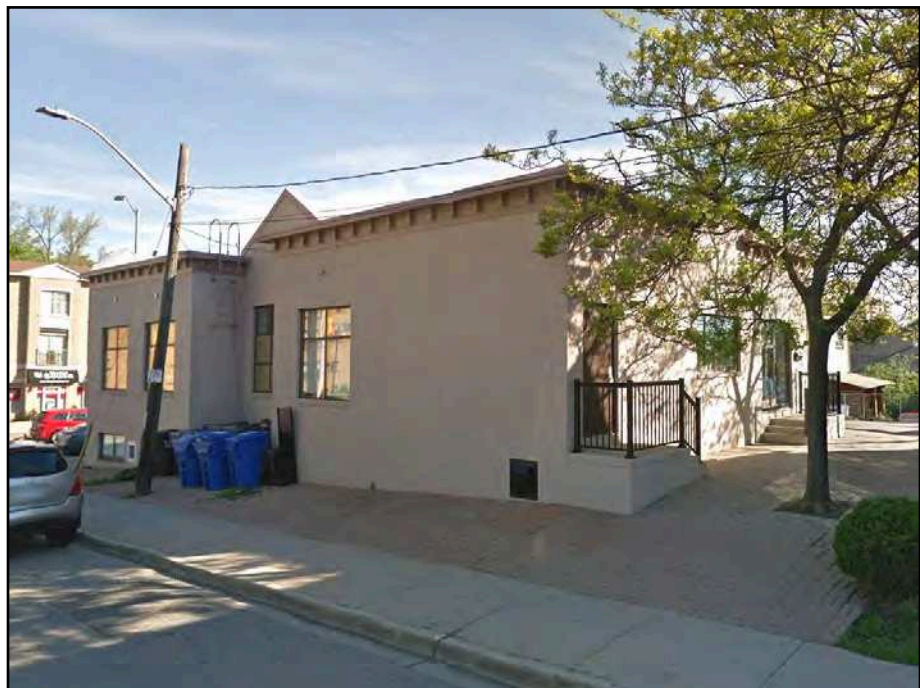


*2016 solid fill image.
(City of Mississauga I-Maps)*

2.3.1 Existing conditions related to the heritage resource



North (front) facade, looking southwest.



South (rear) and west facades, looking northeast.

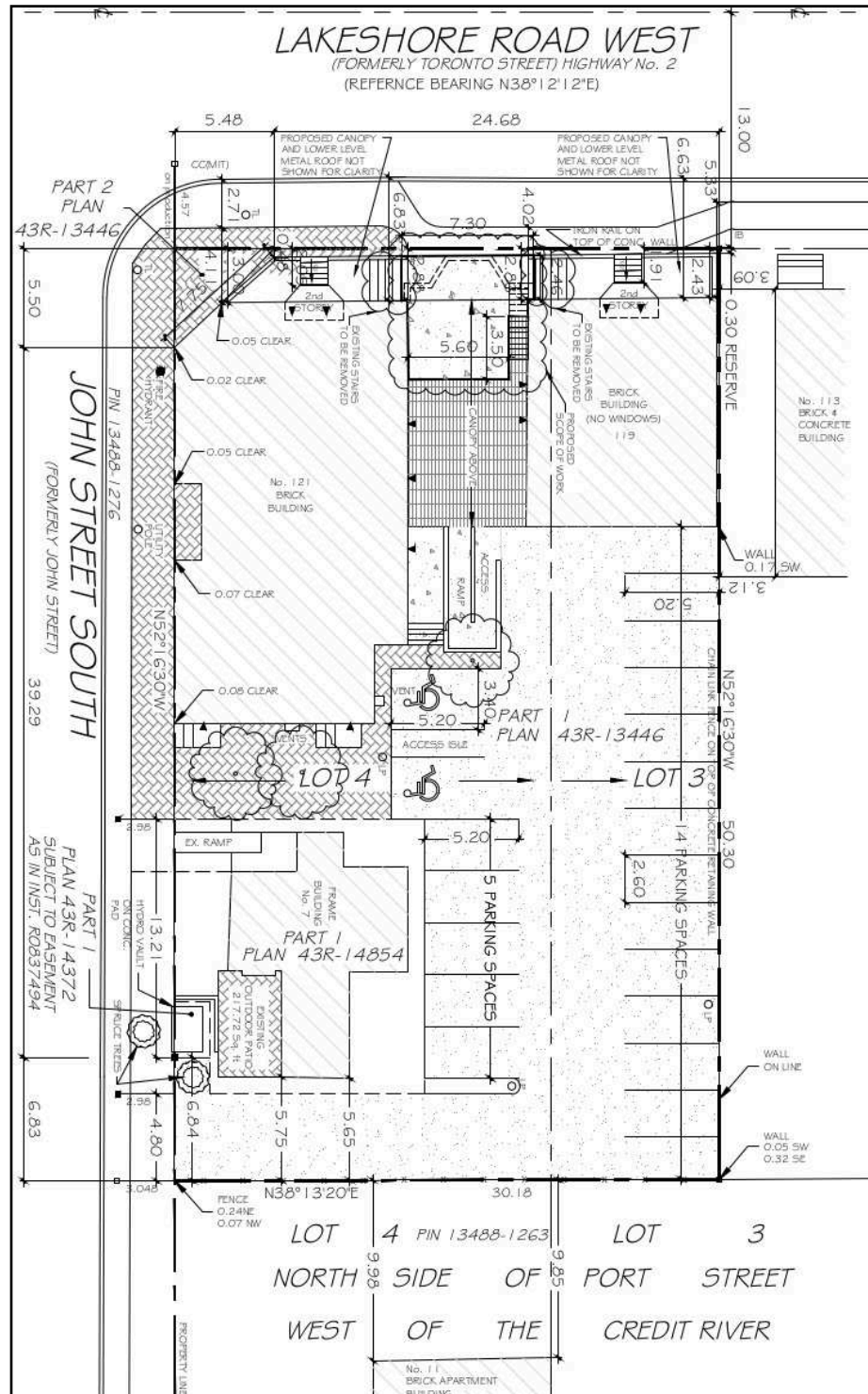


Subject building, looking east.



7 John Street, looking east.

2.3.4 Site plan



Site plan: full property.

2.3.5 Historical photos, drawings, or other archival material



*119-121 Lakeshore Road West, and vicinity
1960.*



*119-121 Lakeshore Road West, and vicinity
1975.*

2.4 Proposed development outline

Three changes are proposed to the building at 119-121 Lakeshore Road West.

1: The first of these is intended to improve the street level access to the retailers that are located above and below the street level, and to remove potential pedestrian hazards that were incorporated into the 1986 building.

Currently, the steps leading down to the retailers below street level are configured parallel to the sidewalk, extending eastward and westward from the central staircase that leads up to the second-level retailers, perpendicular to the sidewalk. The resulting configuration results in two long, open wells aside the sidewalk (on both sides of the central perpendicular staircase). These wells are parallel to the sidewalk and require guardrails to protect pedestrians on the sidewalk from the resulting open wells.

The owner proposes to remove the parallel stairs leading to the lower-level retailers, and to replace them with central stairs in a conventional, perpendicular alignment to the sidewalk. This will result in easier and safer access for pedestrians to the lower-level retailers. It will also have the advantage of making the relationship between the building and sidewalk more visually consistent with the neighbouring retail buildings on Lakeshore Road West which are typified by conventional, lengthwise access to the retail stores.

2: The second alteration to the current building proposes to conceal the wide, tall and visually obtrusive stairwell leading up to the second-level retailers with an enclosed wall.

Currently the stairs leading to the second level are damaged and decaying primarily due to water dripping from the metal canopy above the stairwell. Enclosing the stairwell will remedy this premature wear of the concrete stairs, improving safety for the upper-level retailers' customers.

This proposed change to the facade of the current building will also have the advantage of concealing from the street level the visually-unpleasing high, wide stairwell which is inconsistent both with the general walkable nature of Port Credit's main street and of the character of the existing retail buildings in the area.

The current wide, tall stairwell extending northward perpendicular to the sidewalk is uncharacteristic of the general "main street" character of Lakeshore Road, through Port Credit. There is no other example like this in Port Credit.

The owner has proposed that the front facade alteration be designed as an angled, outward bay to be consistent in design with the two smaller existing bay windows on both sides. The proposed facade wall will extend upward to align with the top of the roof of the existing second floor, to create a more harmonious roof line. Currently the roof is broken awkwardly along the centre of the front facade, where the stairs currently rise upward to the second-level retailers.

A stucco surface, similar in style and appearance to the current stucco exterior of the front facade will be applied to the alterations to harmonize with the existing structure.

3: Metal exterior canopies along the front facade, aligned to the top of the lower-level retailers are proposed to replace the current randomly-located signs and awnings. Structurally, this will help eliminate the current water-erosion wear to the stairs and the concrete floor of the lower-level wells, but these proposed alterations will also help to soften the current harsh contrast between the front walls and the current deep, dark cavernous character of the lower-level stair wells by creating a cohesive facade that appears, from the street level, to be two full-floor levels rather than the current configuration where only the upper half of the lower-level retailers rise awkwardly upward from the sidewalk.

Overall, the proposed alterations to the front facade will make the current building more consistent with the flat-wall, ground-level access style of the other retail buildings along the south side of Lakeshore Road West in the vicinity.

7 John Street South

No changes are proposed in this application for the portion of the property containing John Street South.

2.5 Architectural drawings

See pages 21 to 26.

2.6 Alternative development options/mitigation measures

The current building identified as 119-121 Lakeshore Road West was built in 1986 and has no heritage value. The building is not consistent with the heritage buildings that define the Old Port Credit Heritage Conservation District. The building is identified in the Old Port Credit Village Heritage Conservation District Plan Update – February 2018 as a “non-contributing” property.

There will be no changes to the structure at 7 John Street South. No mitigation steps are necessary.

2.7 A summary of conservation principles

As per Section 2.6

2.8 Loss of cultural heritage value interests and impact on the streetscape

The proposed changes to the current building at 119-121 Lakeshore Road West will have minimal effect on the heritage value of the Lakeshore Road West streetscape since the building itself has no heritage value. (The building was constructed before the Port Credit heritage conservation district was approved by the City of Mississauga, and as a result, was not required at the time to complement the historic character of the neighbourhood.)

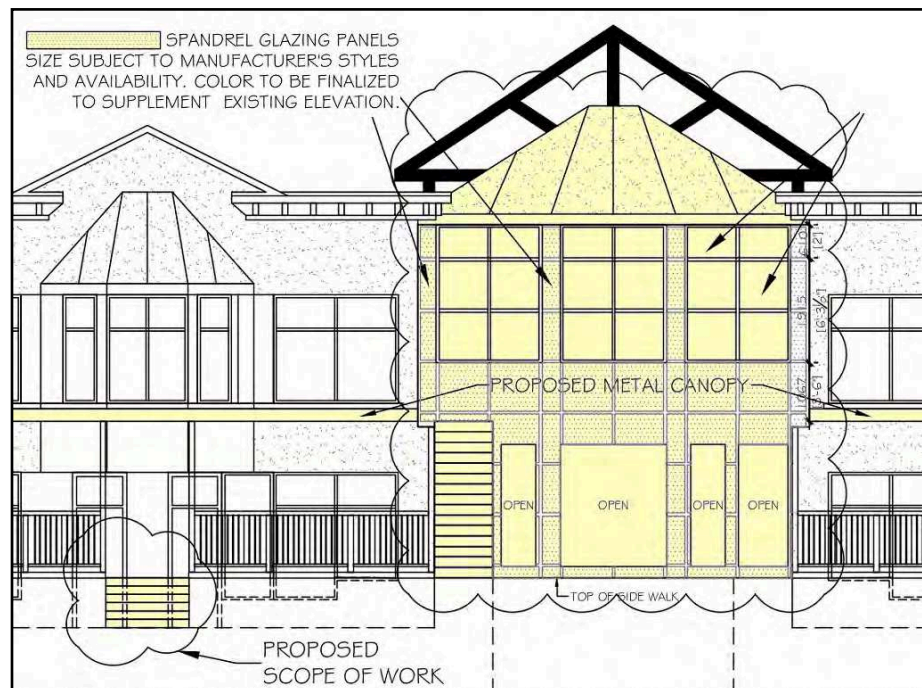
The primary goal of the proposed changes to the building at 119-121 Lakeshore Road West is to eliminate the premature damage and wear to existing stairs that have resulted over the years due to the initial poor design of the

building (which did not properly consider the impact of poor water drainage), but the proposed changes have been made in a manner which attempts to better harmonize the building with others in the Port Credit HCD by incorporating architectural elements that soften the currently-abrupt, awkward difference in elevation profile between the sidewalk level and the two conflicting levels of retail space, and by incorporating alterations to the front facade that will result in a building facade that is a more cohesive element of Port Credit's main street.

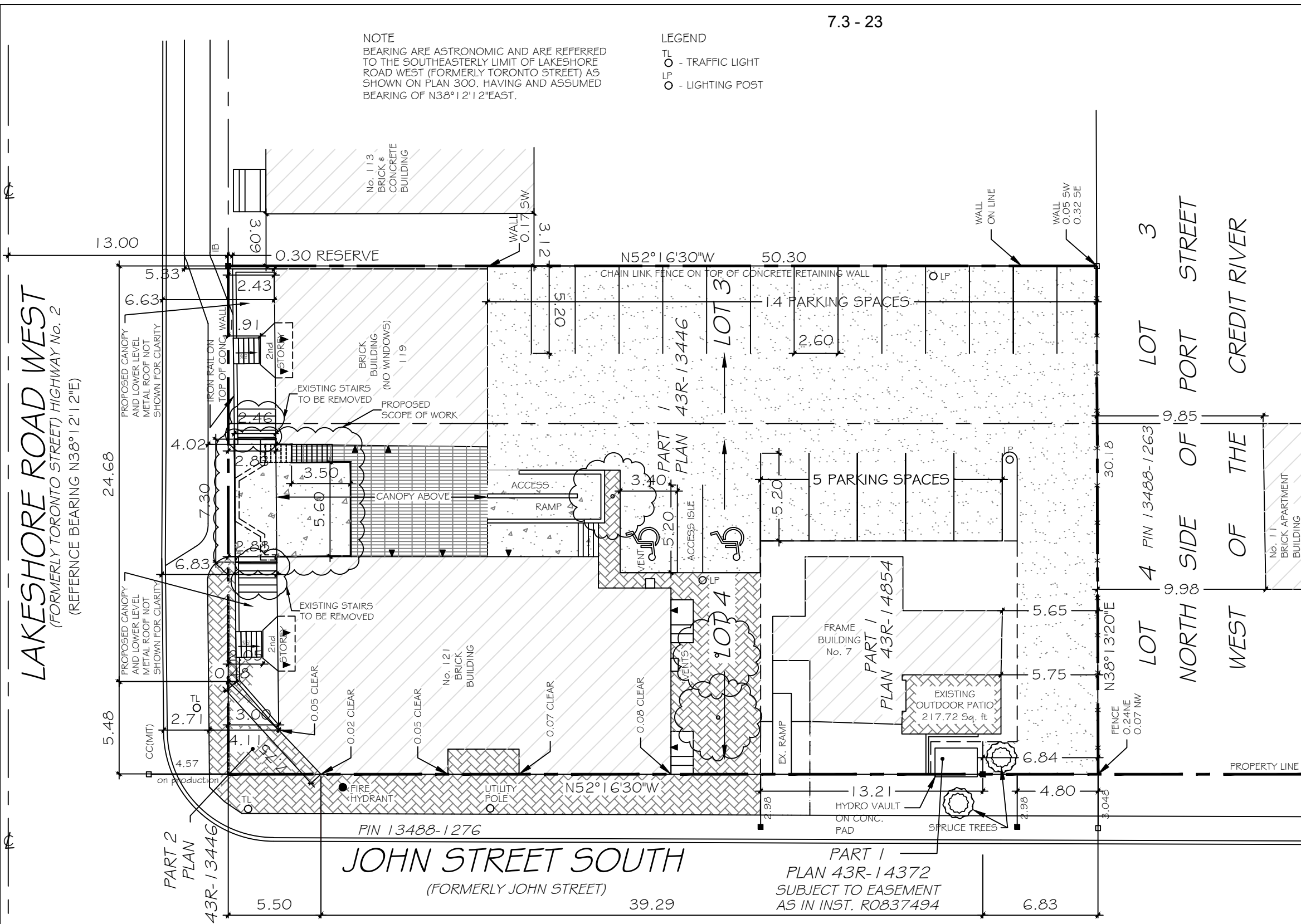
The reconfiguration of the stairways will also improve safety and walkability along this section of Lakeshore Road West.

2.9 Salvage mitigation

As per Section 2.6, there are no elements of the current building at 119-121 Lakeshore Road West worth preserving, and there are no proposed changes to the portion of the property and the building at 7 John Street South.



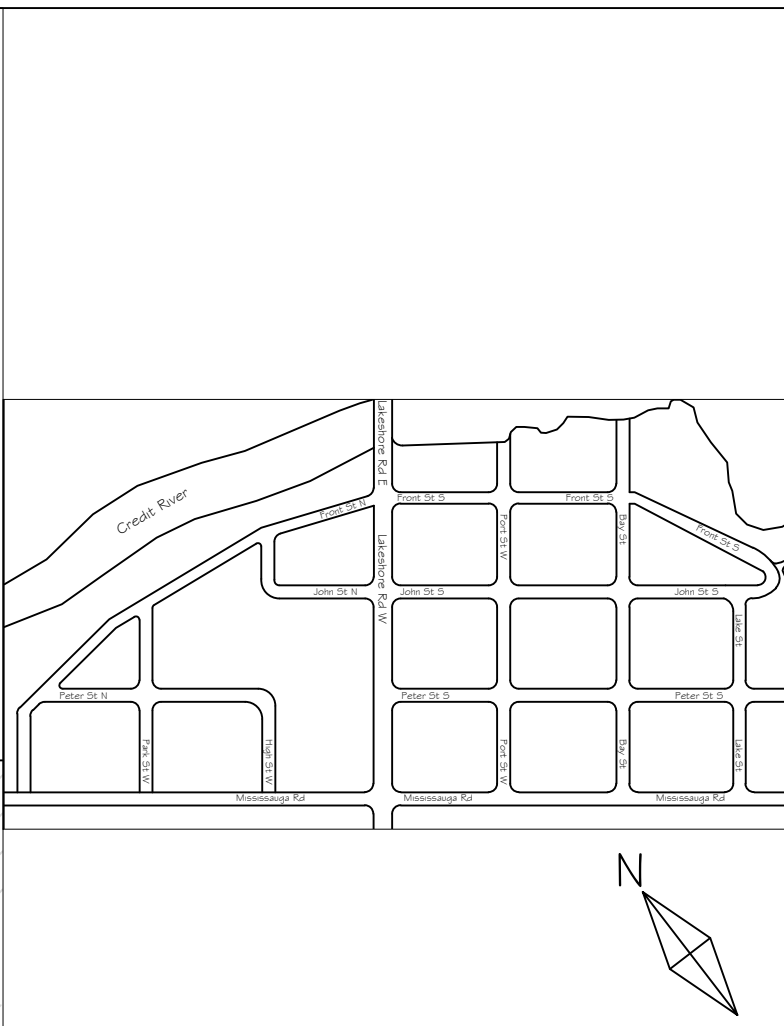
Scope of proposed changes.



7.3 - 23

NOTE
BEARING ARE ASTRONOMIC AND ARE REFERRED TO THE SOUTHEASTERLY LIMIT OF LAKESHORE ROAD WEST (FORMERLY TORONTO STREET) AS SHOWN ON PLAN 300. HAVING AND ASSUMED BEARING OF N38°12'12"EAST.

LEGEND
TL - TRAFFIC LIGHT
LP - LIGHTING POST



| Site Statistics | | | | | | | |
|-------------------------------------|---|---------|----------|---------|----------|---------|-------------------|
| LOT AREA = 1556.94 SM (16,758.8 SF) | | | | | | | |
| | Existing | | Existing | | Proposed | | |
| | GFA SF | Area SF | GFA SM | Area SM | GFA SM | Area SM | |
| Building | | | | | | | Comments |
| 119 | 2725.6 | 2725.6 | 253.21 | 253.21 | 253.21 | 253.21 | No Change |
| 121 | 5656.3 | 5656.3 | 525.49 | 525.49 | 525.49 | 525.49 | No Change |
| 7 John St S. | 1393.5 | 1393.5 | 129.46 | 129.46 | 129.46 | 129.46 | No Change |
| 7 John St S. Patio | N/A | N/A | N/A | N/A | N/A | N/A | Increase in Patio |
| Total (No Patio) | 9775.4 | 9775.4 | 908.16 | 908.16 | 908.16 | 908.16 | No Change |
| Common with Canopy Lower | | | | | | | |
| 119 & 121 (W/H/Mech.) | 593 | 593 | 55.09 | 55.09 | 55.09 | 55.09 | No Change |
| Lower Stairs | 0 | 312 | 0 | 29 | 0 | 2.32 | Replaced |
| Upper open | 0 | 593 | 0 | 55.09 | 0 | 55.09 | No Change |
| Upper Stairs | 0 | 312 | 0 | 29 | 0 | 2.32 | Replaced |
| Lower Patio | 0 | 0 | 0 | 0 | 0 | 31.12 | New |
| Upper Patio | 0 | 0 | 0 | 0 | 0 | 42.46 | New |
| Total Common | 593 | 1810 | 55.09 | 168.18 | 55.09 | 188.4 | |
| Total | 10368.4 | 11585.4 | 963.25 | 1076.34 | 963.25 | 1096.56 | |
| Note 1 | GFA based on Zoning By-Law 225-2007 | | | | | | |
| Note 2 | Total Area based on Development Charge By-law | | | | | | |

Project Name
119 & 121 LAKESHORE ROAD WEST & 7 JOHN STREET SOUTH

GianCarlo's
Design Services

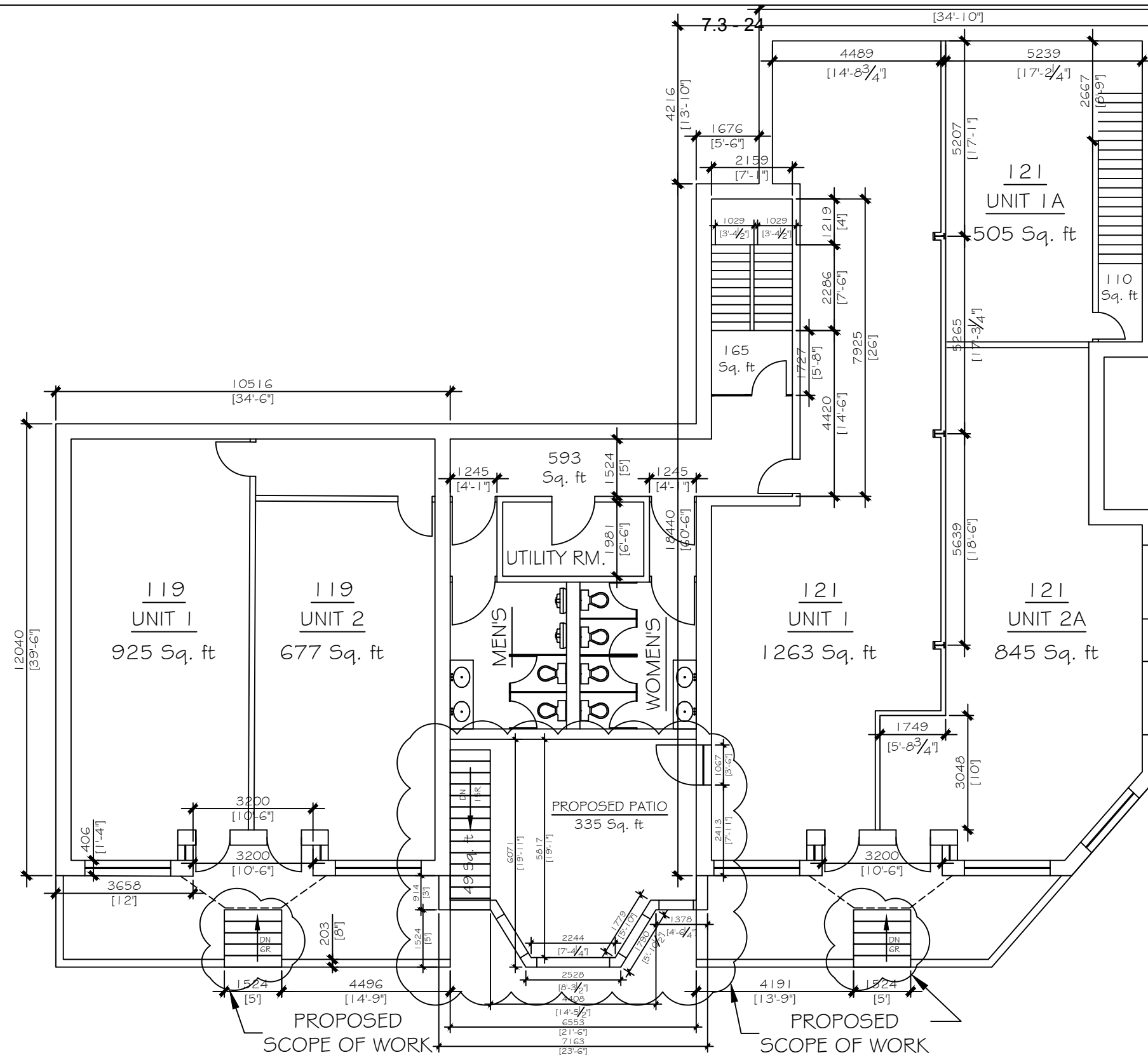
210 Inglewood Drive, Port Credit, ON. L5G1Y1
Email: mdg.1888@sympatico.ca
(647) 308-3131

| Drawing SITE PLAN | | | | |
|----------------------|------------|---------|--------------|---------------|
| Scale | Drawn | Checked | Date | Project No. |
| 1:250 | dhaari | GC | 2018/02/21 | 1803 |
| Part of Drawing | Detail No. | | Revision No. | Revision Date |
| - | - | | - | - |

Drawing No.

A001

NOTE:
THE CONTRACTOR WILL CHECK AND VERIFY ALL DIMENSION AND JOB CONDITIONS ON THE JOB AND REPORT ANY DISCREPANCY TO THE DESIGNER PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. THIS DRAWING MUST NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL APPROVED BY THE DESIGNER. ALL DRAWINGS ARE THE PROPERTY OF THE DESIGNER AND MAY NOT BE COPIED, REPRODUCED OR ALTERED WITHOUT WRITTEN PERMISSION FROM THE DESIGNER.
DO NOT SCALE.



Project Name
119 & 121 LAKESHORE ROAD WEST & 7 JOHN STREET SOUTH



GianCarlo's
Design Services

210 Inglewood Drive, Port Credit, ON. L5G1Y1
Email: mdg.1888@sympatico.ca
(647) 308-3131

Drawing

LOWER LEVEL COMMON – PROPOSED
FLOOR PLAN

Drawing No.

NOTE:

THE CONTRACTOR WILL CHECK AND VERIFY ALL DIMENSION AND JOB CONDITIONS ON THE JOB AND REPORT ANY DISCREPANCY TO THE DESIGNER PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. THIS DRAWING MUST NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL APPROVED BY THE DESIGNER. ALL DRAWINGS ARE THE PROPERTY OF THE DESIGNER AND MAY NOT BE COPIED, REPRODUCED OR ALTERED WITHOUT WRITTEN PERMISSION FROM THE DESIGNER.
DO NOT SCALE.

Scale
3/32" = 1'

Part of Drawing –
Detail No. –

Drawn
dhaari

Checked
GC

Date
2018/02/21

Project No.
1803

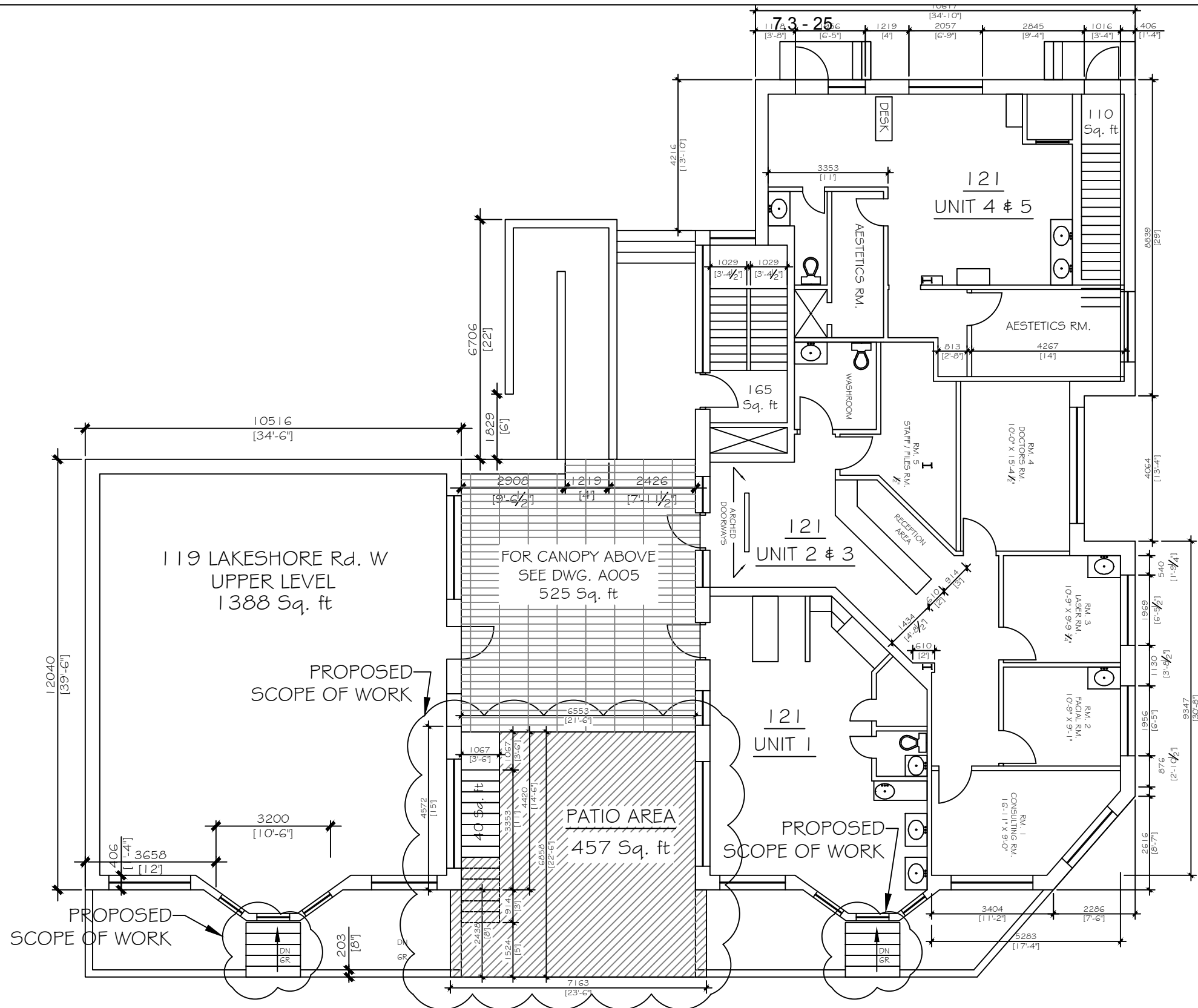
Revision No.

–

Revision Date

–

A002



Project Name
119 & 121 LAKESHORE ROAD WEST & 7 JOHN STREET SOUTH



GianCarlo's
Design Services

210 Inglewood Drive, Port Credit, ON. L5G1Y1
Email: mdg.1888@sympatico.ca
(647) 308-3131

Drawing

UPPER LEVEL COMMON – PROPOSED
FLOOR PLAN

Drawing No.

NOTE:

THE CONTRACTOR WILL CHECK AND VERIFY ALL DIMENSION AND JOB CONDITIONS ON THE JOB AND REPORT ANY DISCREPANCY TO THE DESIGNER PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. THIS DRAWING MUST NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL APPROVED BY THE DESIGNER. ALL DRAWINGS ARE THE PROPERTY OF THE DESIGNER AND MAY NOT BE COPIED, REPRODUCED OR ALTERED WITHOUT WRITTEN PERMISSION FROM THE DESIGNER. DO NOT SCALE.

Scale

1/4" = 1'

Drawn

dhaari

Checked

GC

Date

2018/02/21

Project No.

1803

Part of Drawing –

Detail No. –

Revision No.

–

Revision Date

–

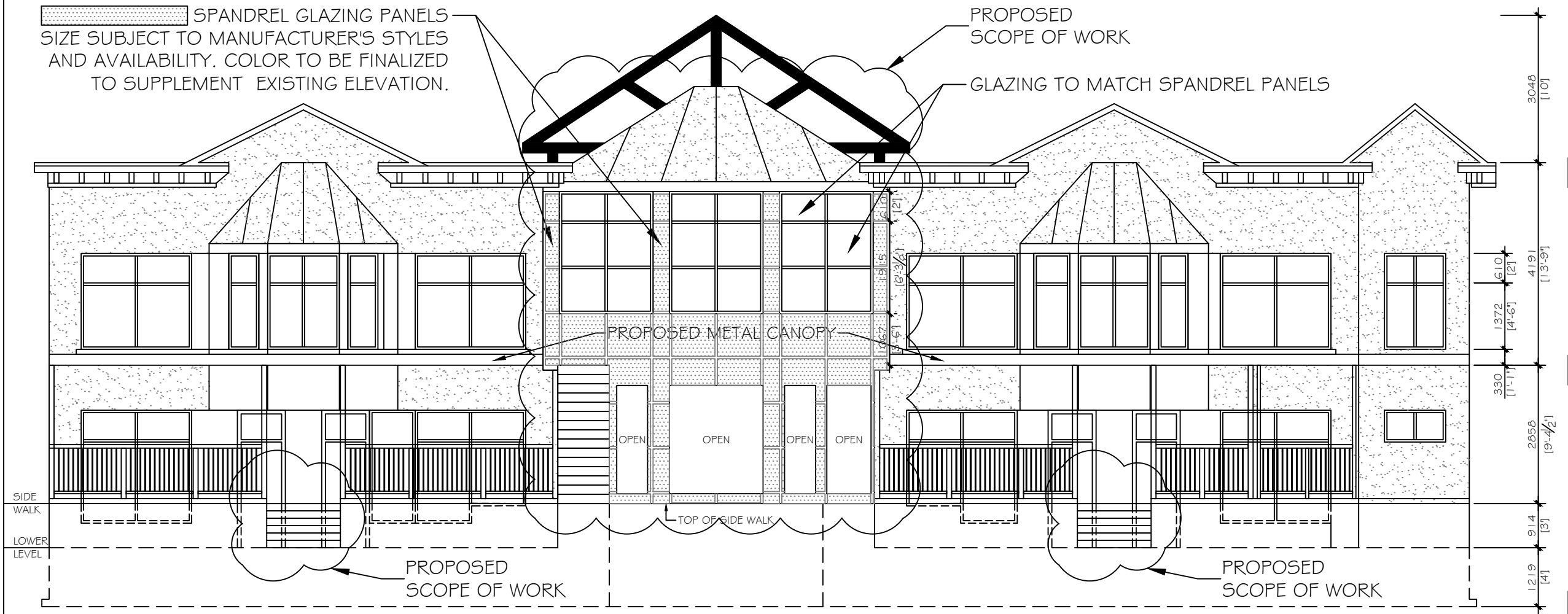
A003



FRONT ELEVATION (EXISTING)
PROPOSED ELEVATION IS SHOWN DOWN BELOW



REAR ELEVATION
EXISTING (NO CHANGE)



Project Name
119 & 121 LAKESHORE ROAD WEST & 7 JOHN STREET SOUTH



210 Inglewood Drive, Port Credit, ON. L5G1Y1
Email: mdg.1888@sympatico.ca
(647) 308-3131

Drawing
FRONT ELEVATION – PROPOSED

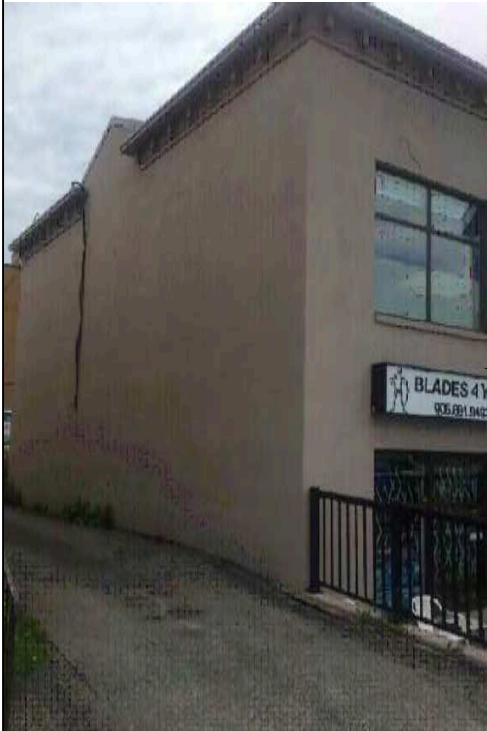
| | | | | |
|-------------------------------|------------------------|----------------------|---------------------------|----------------------------|
| Scale 1/8" = 1' | Drawn dhaari | Checked GC | Date 2018/02/21 | Project No. 1803 |
| Part of Drawing Detail No. | – – | Revision No. – | Revision Date – | |

NOTE:
THE CONTRACTOR WILL CHECK AND VERIFY ALL DIMENSION AND JOB CONDITIONS ON THE JOB AND REPORT ANY DISCREPANCY TO THE DESIGNER PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. THIS DRAWING MUST NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL APPROVED BY THE DESIGNER. ALL DRAWINGS ARE THE PROPERTY OF THE DESIGNER AND MAY NOT BE COPIED, REPRODUCED OR ALTERED WITHOUT WRITTEN PERMISSION FROM THE DESIGNER.
DO NOT SCALE.

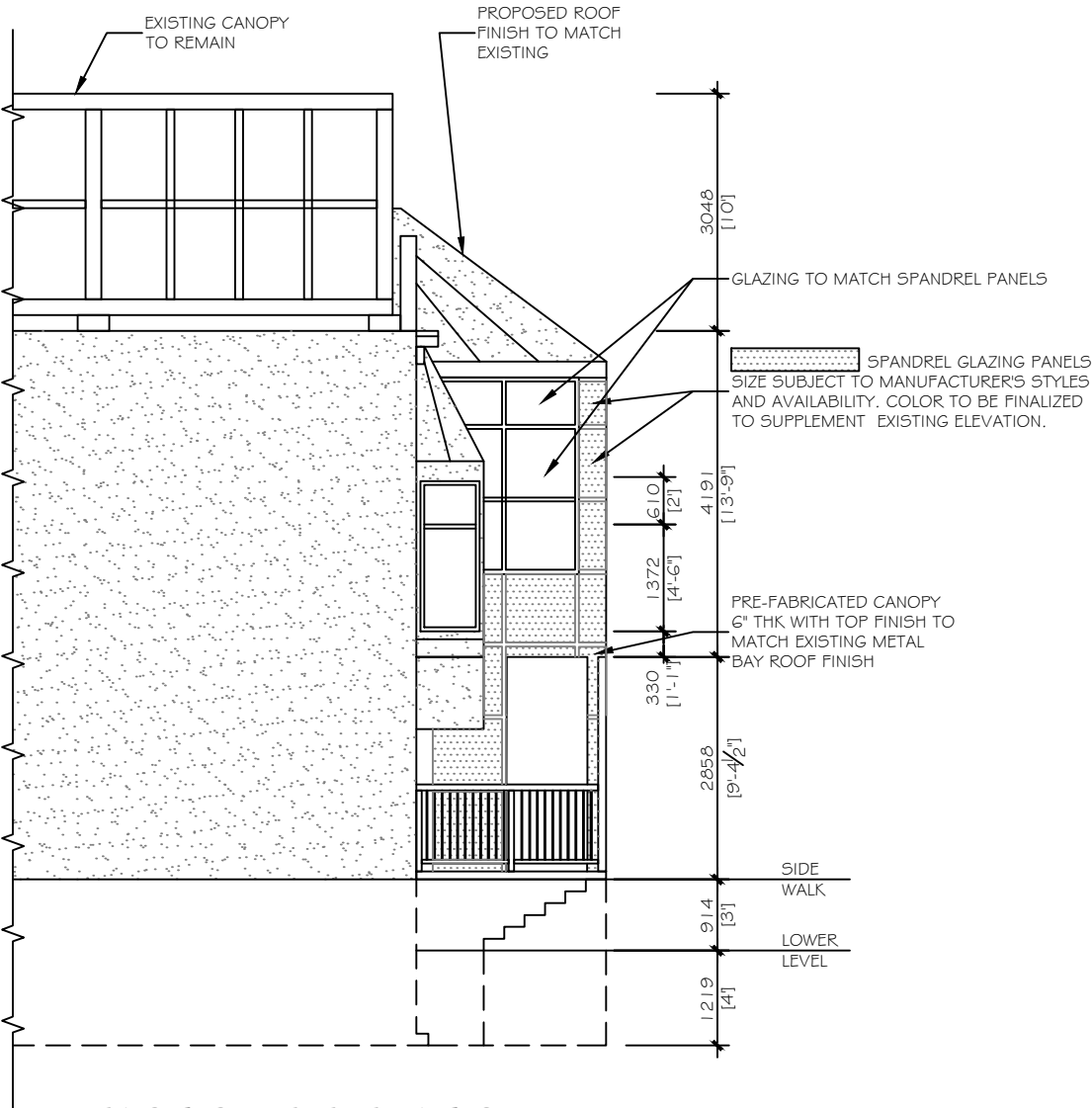
Drawing No.
A004



WEST SIDE ELEVATION
EXISTING (NO CHANGE)



EAST SIDE ELEVATION
EXISTING (NO CHANGE)



EAST SIDE ELEVATION
WEST SIDE IS A MIRROR IMAGE

Project Name
119 & 121 LAKESHORE ROAD WEST & 7 JOHN STREET SOUTH

NOTE:
THE CONTRACTOR WILL CHECK AND VERIFY ALL DIMENSION AND JOB CONDITIONS ON THE JOB AND REPORT ANY DISCREPANCY TO THE DESIGNER PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. THIS DRAWING MUST NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL APPROVED BY THE DESIGNER. ALL DRAWINGS ARE THE PROPERTY OF THE DESIGNER AND MAY NOT BE COPIED, REPRODUCED OR ALTERED WITHOUT WRITTEN PERMISSION FROM THE DESIGNER.
DO NOT SCALE.



GianCarlo's
Design Services

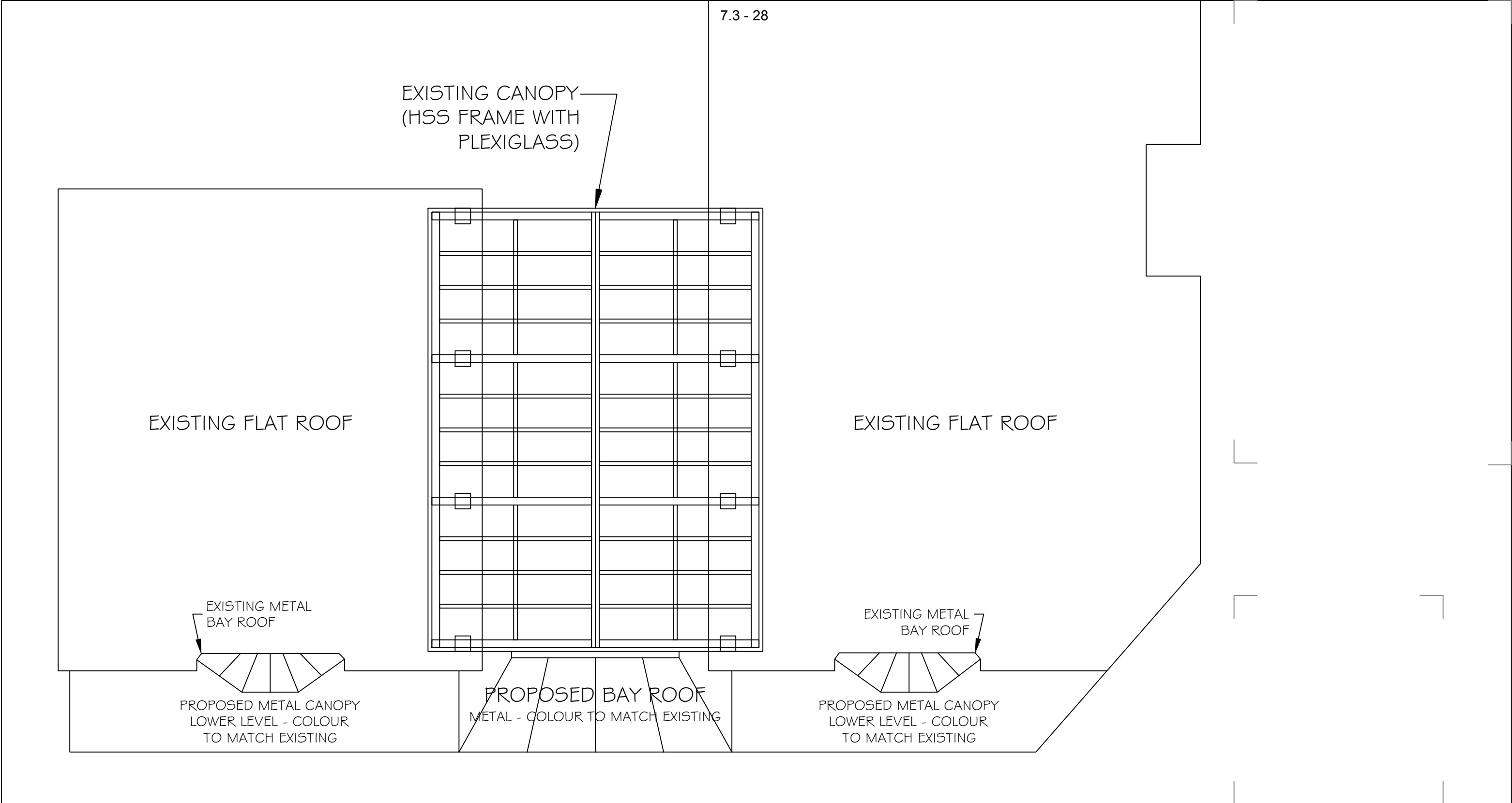
210 Inglewood Drive, Port Credit, ON. L5G1Y1
Email: mdg.1888@sympatico.ca
(647) 308-3131

Drawing
EAST SIDE ELEVATION – PROPOSED

| | | | | |
|-------------------------------|-----------------|---------------|--------------------|---------------------|
| Scale 1/8" = 1' | Drawn dhaari | Checked GC | Date 2018/02/21 | Project No. 1803 |
| Part of Drawing Detail No. | – – | | Revision No. – | Revision Date – |

Drawing No.

A005



Project Name
119 & 121 LAKESHORE ROAD WEST & 7 JOHN STREET SOUTH

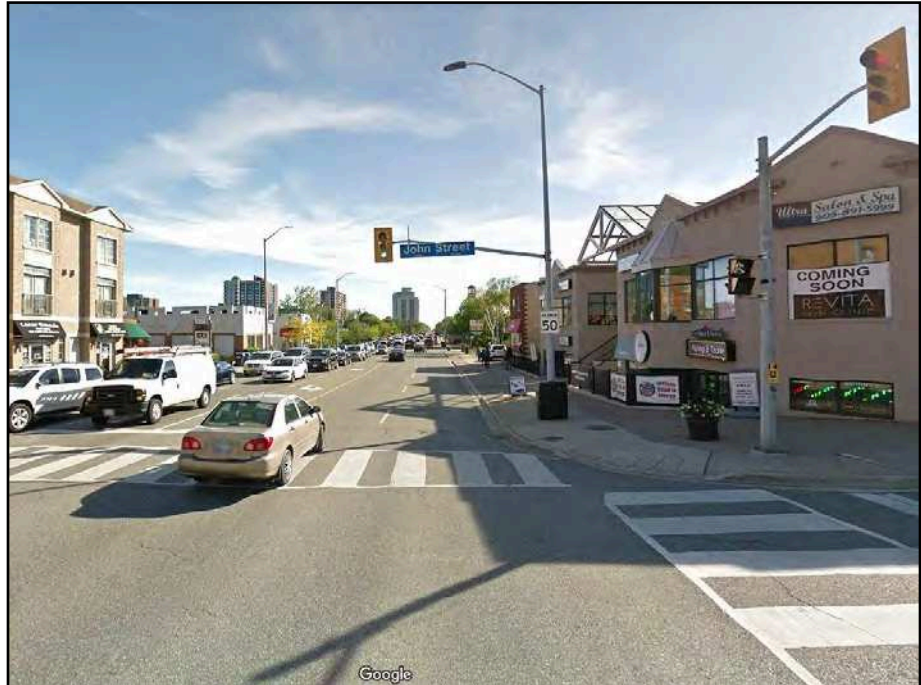


210 Inglewood Drive, Port Credit, ON. L5G1Y1
Email: mdg.1888@sympatico.ca
(647) 308-3131

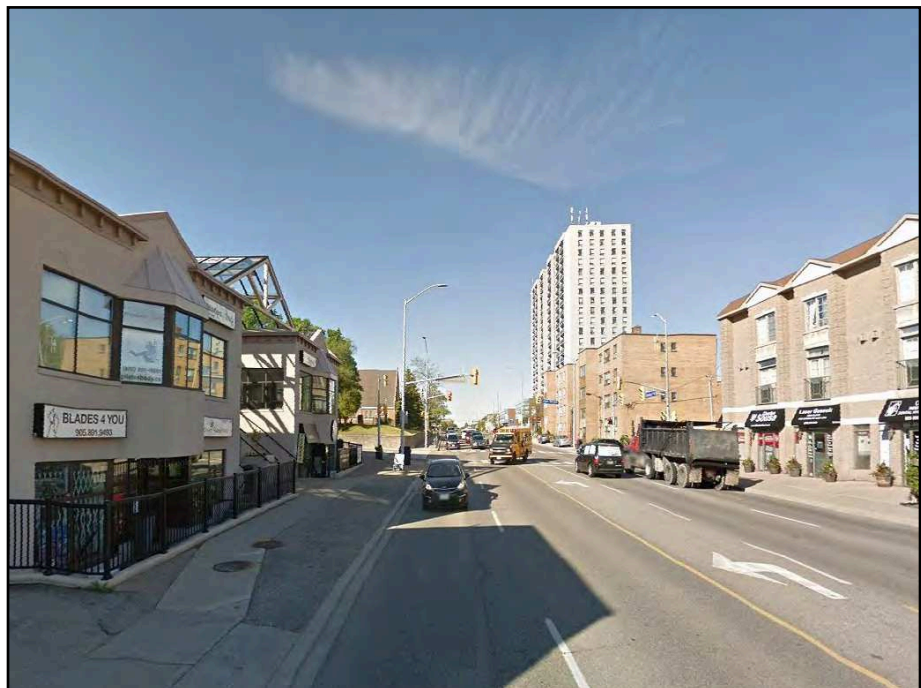
| Drawing PROPOSED ROOF PLAN | | | | Drawing No. |
|-------------------------------|-----------------|-------------------|--------------------|---------------------|
| Scale 1/8" = 1' | Drawn dhaari | Checked GC | Date 2018/02/21 | Project No. 1803 |
| Part of Drawing Detail No. | — — | Revision No. — | Revision Date — | A006 |

NOTE:
THE CONTRACTOR WILL CHECK AND VERIFY ALL DIMENSION AND JOB CONDITIONS ON THE JOB AND REPORT ANY DISCREPANCY TO THE DESIGNER PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. THIS DRAWING MUST NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL APPROVED BY THE DESIGNER. ALL DRAWINGS ARE THE PROPERTY OF THE DESIGNER AND MAY NOT BE COPIED, REPRODUCED OR ALTERED WITHOUT WRITTEN PERMISSION FROM THE DESIGNER.
DO NOT SCALE.

2.4.4 Streetscape



Lakeshore Road West, looking east.



Lakeshore Road West, looking west.



John Street South, looking north.



John Street South, looking south.

2.4.1 Neighbouring properties



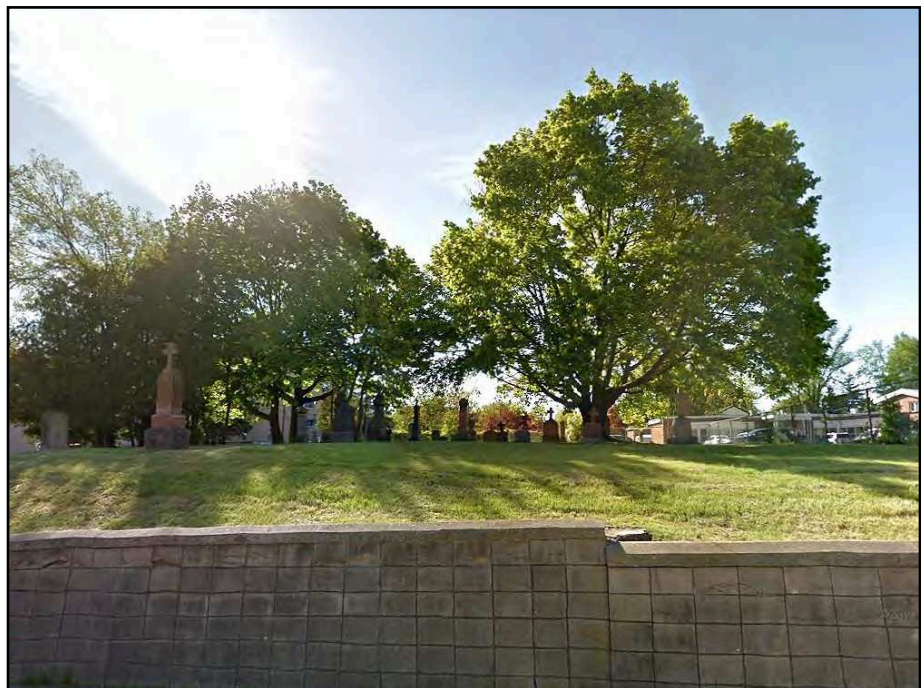
*120 Lakeshore Road West,
Property to the north of the subject property.*



*11 John Street South,
Property to the south of the subject property.*



*Former Peer's Hardware, 113 Lakeshore Road West,
Property to the east of the subject property.*



*St. Mary Star of the Sea cemetery,
Property to the west of the subject property.*

3.0

SUMMARY STATEMENT

3.1 Attributes of the cultural heritage resource

As will be clarified following, in Section 4, the current building at 119-121 Lakeshore Road West has no cultural heritage value. The circa 1890 building on the property, identified as 7 John Street South, is of heritage significance but will not be affected by the property alterations proposed with this corresponding application.

3.2: Impact that the proposed development will have on the cultural heritage resource

119-121 Lakeshore Road West

The proposed changes to 119-121 Lakeshore Road West will have minimal impact on the cultural heritage of the Old Port Credit Heritage Conservation District. The building is identified in the *Old Port Credit Village Heritage Conservation District Plan Update – February 2018* as a “non-contributing” property. The building displays no historical, architectural or contextual elements worthy of conservation.

7 John Street South

The building at 7 John Street South is identified as a contributing building. It is representative of the modest wood-frame worker's homes typical of the Old Port Credit Heritage Conservation District. No changes are proposed for this building.

3.3: Conservation or mitigative measures, or alternative development, or site alteration

As per Section 3.2

3.4: Clarification as to why mitigative measures are not appropriate

As per Section 3.2

4.0

RECOMMENDATION

4.1 Regulation 9/06, Ontario Heritage Act

A municipal council may designate heritage resources by by-law pursuant to Section 29 of the Ontario Heritage Act based on criteria set forth in Ontario Regulation 9/06; Criteria for Determining Cultural Heritage Value or Interest.

Section 1

The property has design value or physical value because it;

- i: is a rare, unique, representative or early example of a style, type, expression, material or construction method,
- ii: displays a high degree of craftsmanship or artistic merit, or
- iii: demonstrates a high degree of technical or scientific achievement.

Section 2

The property has historical value or associative value because it;

- i: has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community,
- ii: yields, or has the potential to yield, information that contributes to an understanding of a community or culture, or
- iii: demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.

Section 3

The property has contextual value because it is;

- i: important in defining, maintaining or supporting the character of area,
- ii: physically, functionally, visually or historically linked to its surrounding,
- iii: a landmark.

4.1.1 Does the property meet the criteria for designation

The property listed as 119-121 Lakeshore Road West, and 7 John Steet South in the City of Mississauga is designated under Part V of the Ontario Heritage Act, enacted by City of Mississauga bylaw 272-2004. In compliance with the City of Mississauga Heritage Impact Assessment Terms of Reference, the following is an assessment of the current designated property's heritage value.

a) 119-121 Lakeshore Road West

Section 1

- Subsection i

The building identified as 119-121 Lakeshore Road West is not rare or unique.

- Subsection ii

The building does not display a high degree of craftsmanship or artistic merit.

- Subsection iii

The building does not demonstrate a high degree technical achievement.

Section 2

-Subsection i

The building was built in 1986, and does not have any association with people or organizations important to the growth and development of Port Credit.

-Subsection ii

The building does not yield information that can contribute to the understanding the community.

-Subsection iii

The building does not reflect the work of any architect or builder who is significant to the growth and development of Port Credit.

Section 3

- Subsection i

The building is not consistent with the character of the Old Port Credit Heritage Conservation District. It is defined by the *Old Port Credit Village Heritage Conservation District Plan Update – February 2018* as a “non-contributing” property.

- Subsection ii

The building is not physically, visually or historically linked to its surroundings.

- Subsection iii

The building is not generally regarded locally as a landmark.

Conclusion

Based on an assessment of the subject building in terms of Regulation 9/06, Section 29 of the Ontario Heritage Act, the building at 119-121 Lakeshore Road West does meet any one of the nine criteria for designation under the terms of the Ontario Heritage Act.

b) 7 John Street South**Section 1****- Subsection i**

The building identified as 7 John Street South is not rare or unique, but is representative of the architectural style that was typical of modest, middle-class workers' homes of the late Victorian era.

- Subsection ii

The building does not display a high degree of craftsmanship or artistic merit.

- Subsection iii

The building does not demonstrate a high degree technical achievement.

Section 2**-Subsection i**

The building is one of the only two surviving homes from the 19th century that are directly associated with a female landowner. It was rare for a woman to be identified as a property owner when the subject building was completed circa 1890, but Emma Peer is identified in land registry records as the property owner. After the death of her husband she raised a family on her own. Her two sons became prominent businessmen in Port Credit.

-Subsection ii

The building is typical of the type and style of residences built in the last decade of the 19th century and as such yields important information that contributes to the understanding of Port Credit as a working-class community associated with the marine trades.

-Subsection iii

The building does not reflect the work of any architect who is significant to the growth and development of Port Credit and Mississauga, but the home was likely built by, or with the assistance of Emma Peer's two sons, Charles and John Peer, who were both stonehooking captains.

Section 3**- Subsection i**

The building at 7 John Street South is consistent with the character of the Old Port Credit Heritage Conservation District. It is defined by the *Old Port Credit Village Heritage Conservation District Plan Update – February 2018* as a “contributing” property.

- Subsection ii

The building is no longer physically or visually linked to its surroundings since the completion of the current 119-121 Lakeshore Road West on the same property in 1986. The house once had a prominent position along Port Credit's main street. It was fashionable, through the Victoria era, to set the main residence back from the road to provide the home with a wide, front vista and ample front lawn. The Emma Peer house was built with this design element in mind. However the home

has lost this particular characteristic. The house is historically linked to the community, being consistent with other homes in the Old Port Credit Heritage Conservation District which contribute to an understanding of late 19th-century Port Credit.

- Subsection iii

The building is not generally regarded locally as a landmark.

Conclusion

Based on an assessment of the subject building in terms of Regulation 9/06, Section 29 of the Ontario Heritage Act, 7 John Street South meets five of the nine criteria for continued designation under Part V of the Ontario Heritage Act, including at least one subsection of each of the sections of Regulation 9/06.

4.1.2 Provincial Policy Statement - 2014

The proposed changes to the current property at 119-121 Lakeshore Road West will not have a visual impact on the heritage conservation district, and steps have been taken in the design of the proposal to ensure that it does not visually encroach on the heritage aspects of the existing historic structure on the property – 7 John Street South. The goal of the proposed changes to the property are to make Lakeshore Road West a more walkable and visually-pleasing elements of the streetscape and of the Heritage Conservation District.

5.0

QUALIFICATIONS

5.1 Author

Since 2007 Richard Collins has prepared Heritage Impact Statements for sites in Burlington, Gravenhurst, Mississauga, Oakville and Welland Ontario.

- Clarkson 1808-2008 Committee; heritage coordinator
- City of Mississauga; 2012 Civic Award of Recognition
- Heritage Mississauga; volunteer, recipient of the 2007 Lifetime Membership Award and the 2008 Member's Choice Award
- Mississauga HAC; member of the Heritage Designation Subcommittee
- Mississauga South Historical Society; past president
- Page+Steele Architects, Toronto; past archivist
- Peel District School Board Heritage Fair, member and adjudicator
- Port Credit 175th Anniversary Committee; project leader and secretary
- Port Credit Village Project; secretary and co-chair of the Heritage Circle
- The Booster; author of over 200 articles on Mississauga's history

5.2 References

Ancestry.ca

Ontario and Canada voters' lists, 1935-1980

Bell Telephone Company of Canada

Toronto and Area 1935 Phone Directory

Blumenson, John

Ontario Architecture: Guide to Styles and Terms

City of Toronto archives

aerial photos, 1960 and 1975

Google Maps

Heritage Mississauga

image archive

Kalman, Harold D.

A History of Canadian Architecture

mississauga.ca - Services Online - e-maps

mississauga.ca - Services Online - Property Information

Mississauga South Historical Society

records and image archive

Port Credit News (1927-1937) / Port Credit Weekly (1937-1959)

Service Ontario at www.e-laws.gov.on.ca

Ontario Heritage Act, RSO 1990, Chapter O.18

Land Registry records

Toronto Daily Star (1896-1971) / Toronto Star (1971-present)

Walker and Miles

Historical Atlas of Peel County, 1877

City of Mississauga

Corporate Report



Date: 2018/10/18

To: Chair and Members of Heritage Advisory Committee

From: Paul Mitcham, P. Eng, MBA, Commissioner of
Community Services

Originator's files:

Meeting date:
2018/11/13

Subject

Request to Alter a Heritage Designated Property: 57 Port Street (Ward 1)

Recommendation

That the request to alter the heritage designated property at 57 Port Street, as per the Corporate Report from the Commissioner of Community Services, dated October 18, 2018 be approved.

Background

The City designated the Old Port Credit Village Heritage Conservation District (HCD) under Part V of the Ontario Heritage Act in 2004. The 2004 plan remains in effect due to a Local Planning Appeal Tribunal (LPAT) appeal. The subject property is included in the district and identified as a “complementary” building in the 2004 plan. As such, the property is subject to the heritage permitting requirements outlined in the plan for this classification.

A rear wood deck and balcony and front wood pergola have been installed at the subject property. Section 3.1.3.2 of the HCD plan requires a heritage permit for such additions. Relevant photographs and drawings are attached as Appendix 1.

Comments

The 2004 HCD plan guides owners of complementary properties to, “make additions a product of their own time and keep them simple”. The rear deck and balcony are large but have limited visibility from the public realm. The front pergola is simple. As such, these features should be approved.

Financial Impact

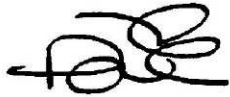
There is no financial impact resulting from the recommendation in this report.

Conclusion

The owner of the subject complementary building in the Old Port Credit Village HCD has installed a rear deck and balcony and front pergola. As the rear additions have limited visibility and the front one is simple, they should be approved.

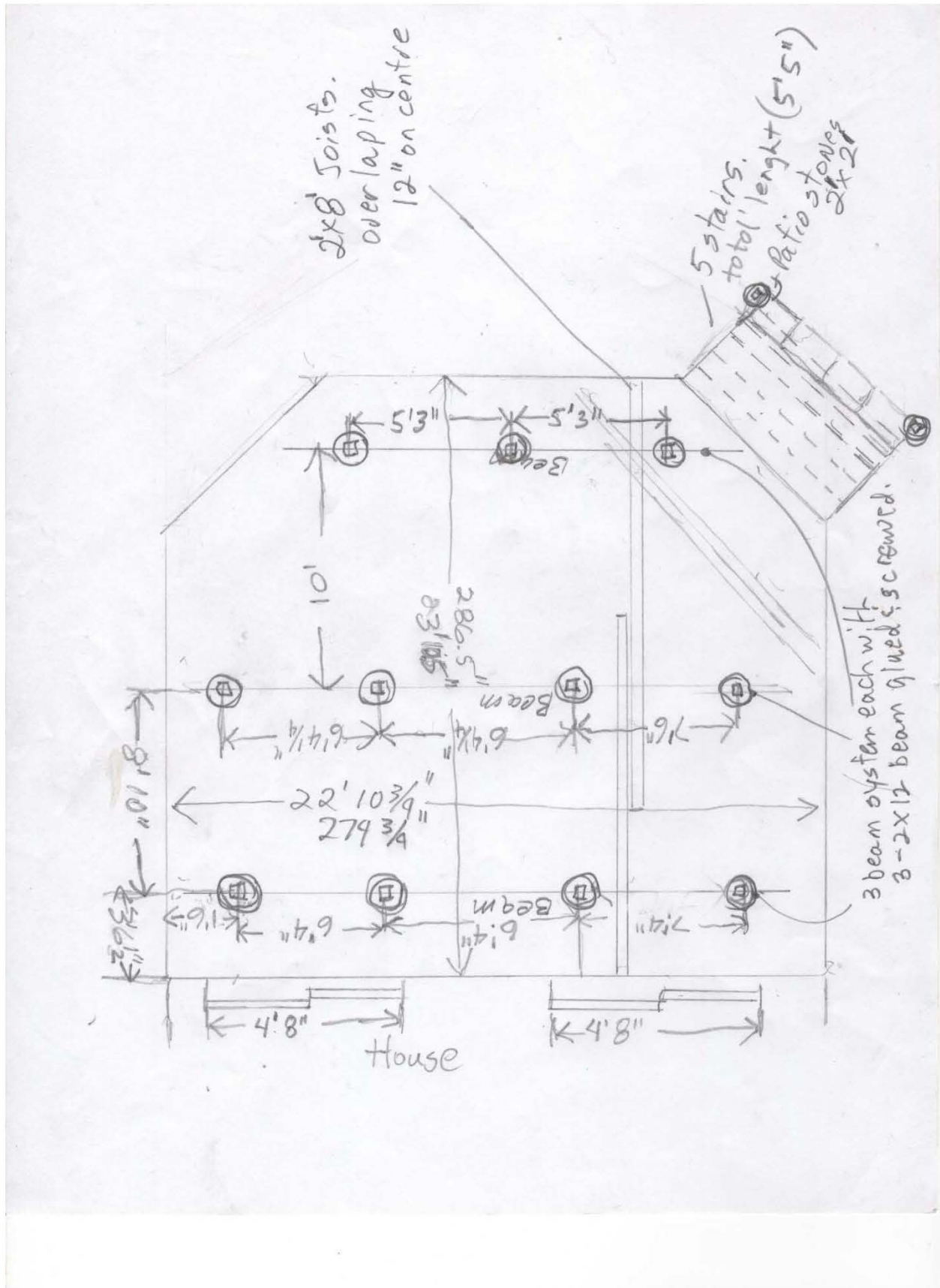
Attachments

Appendix 1: Drawings & Photographs

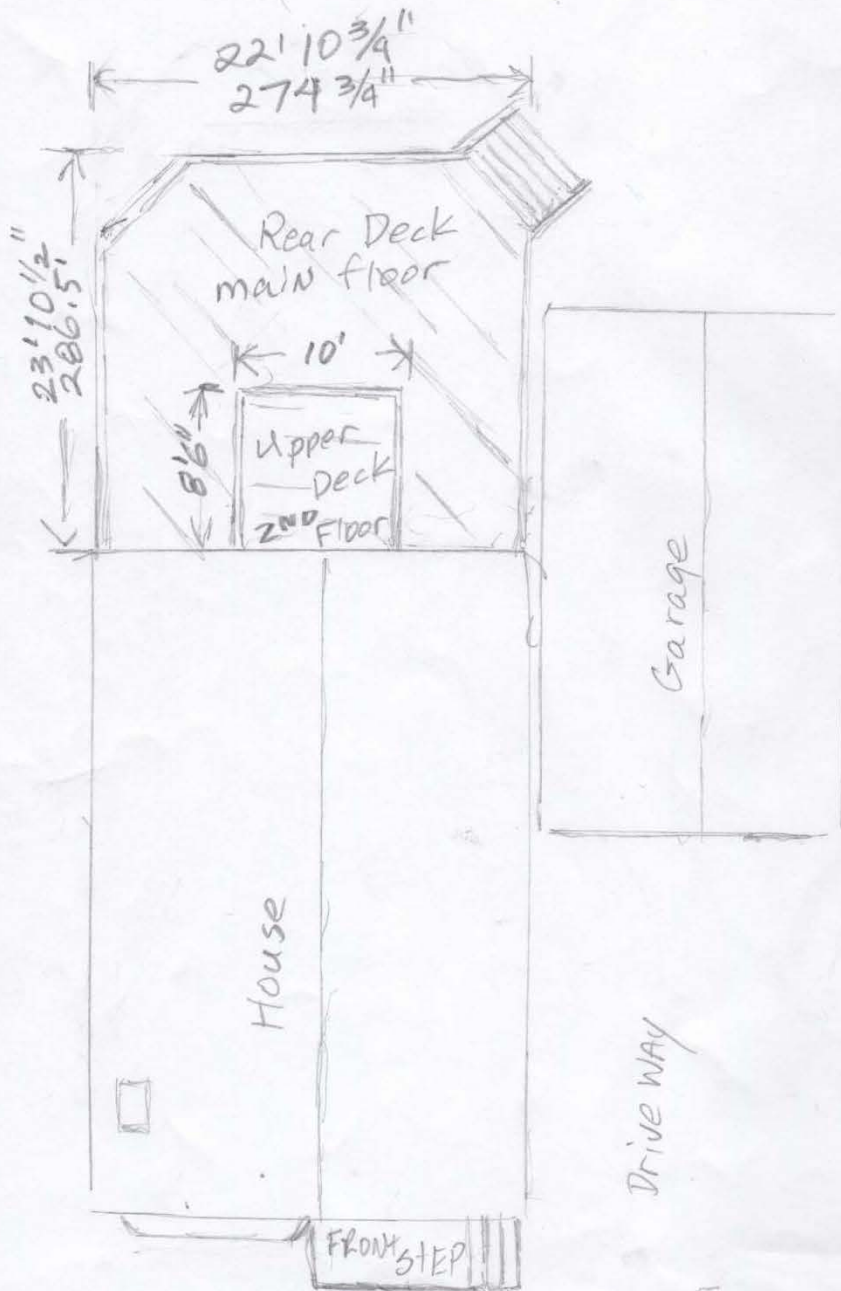


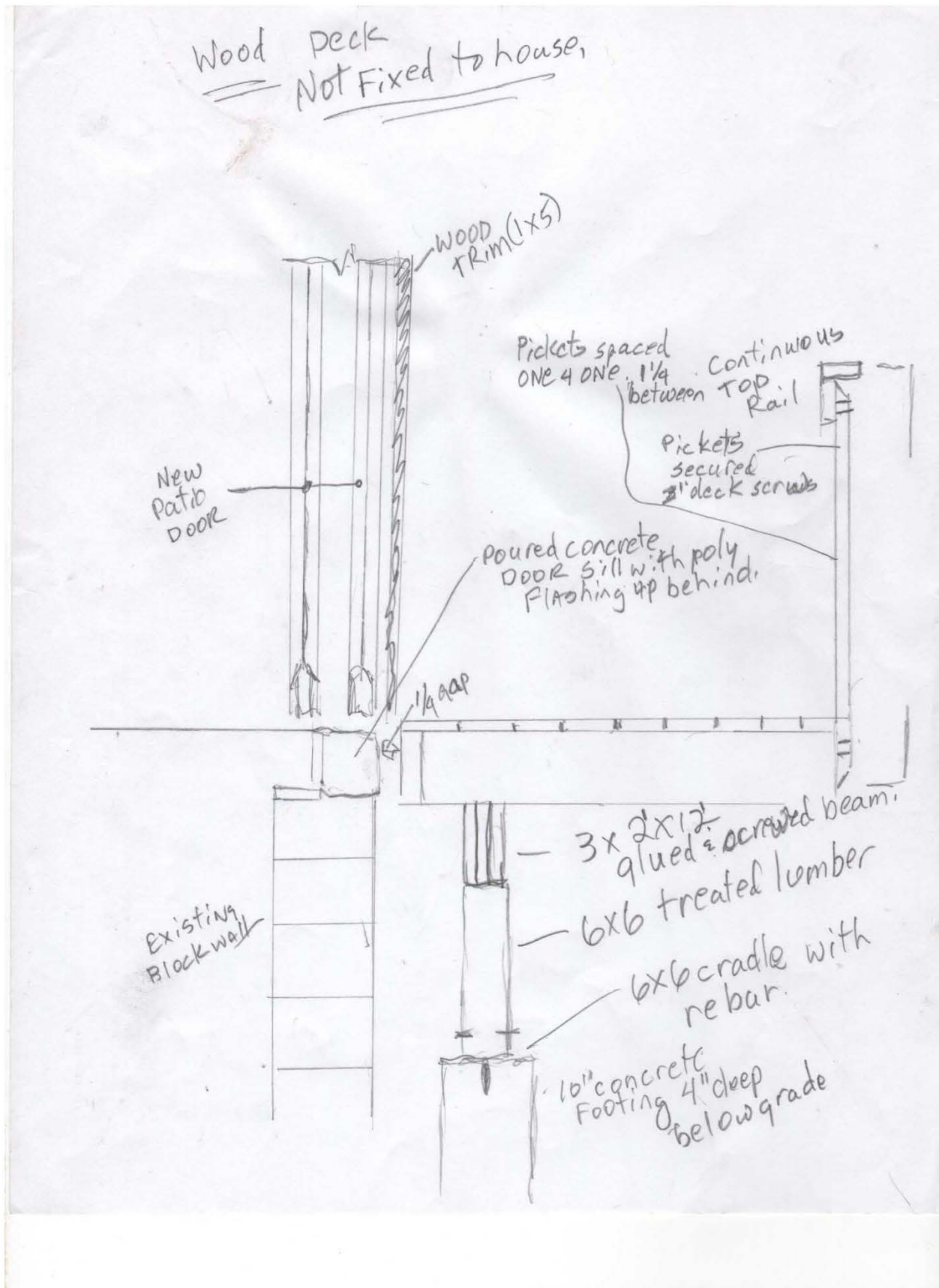
Paul Mitcham, P. Eng, MBA, Commissioner of Community Services

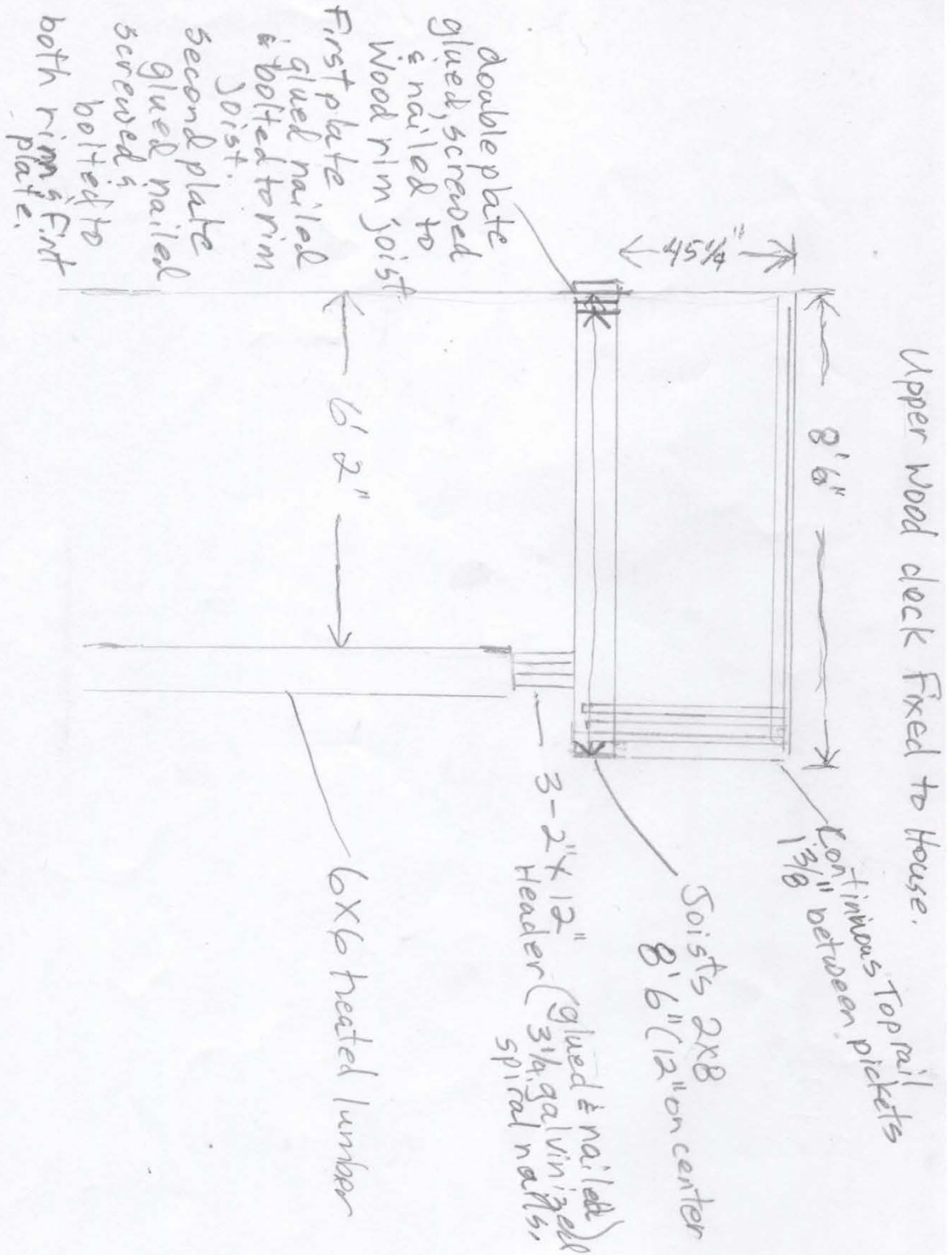
Prepared by: Paula Wubbenhorst, Heritage Planner

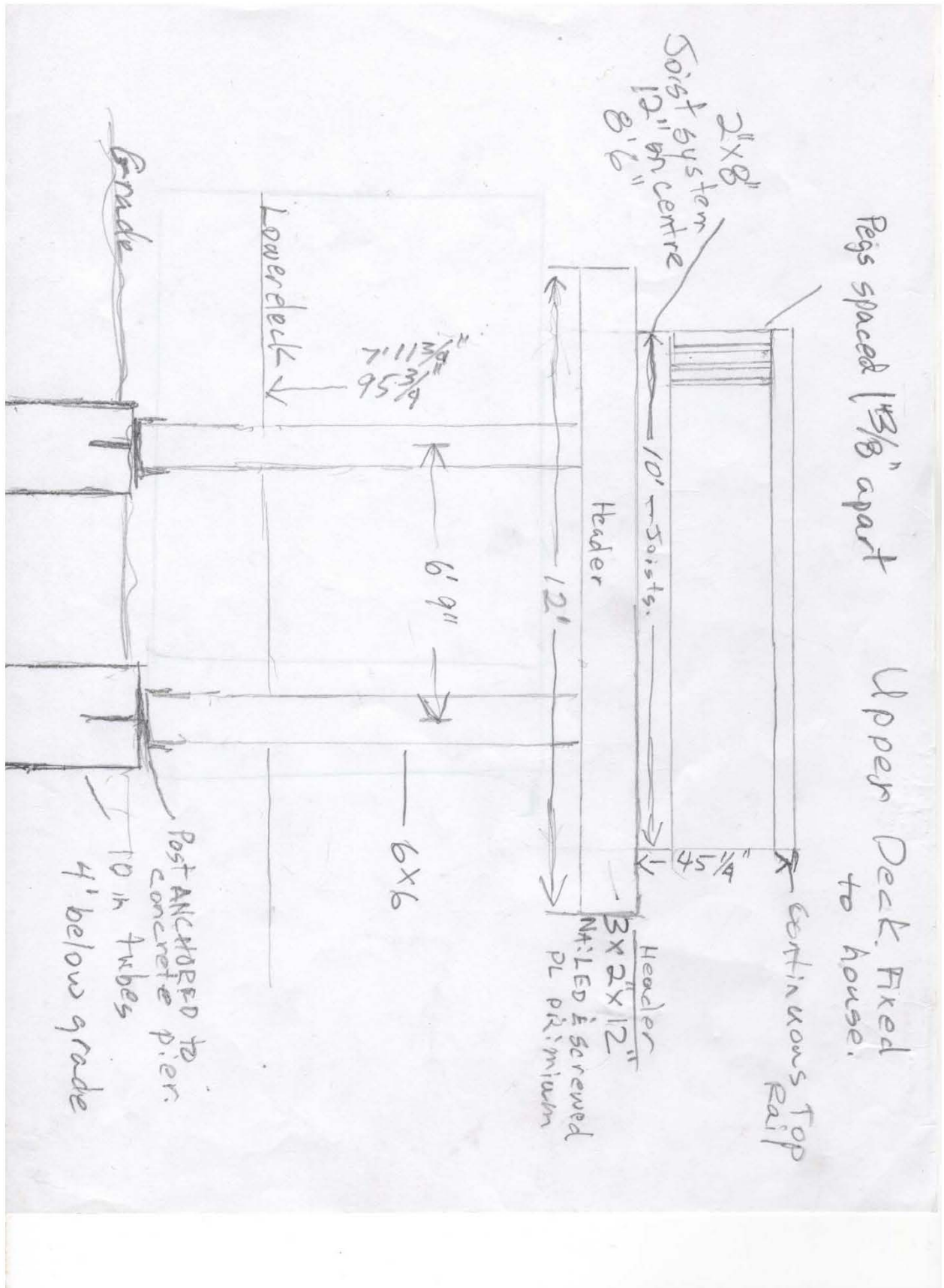


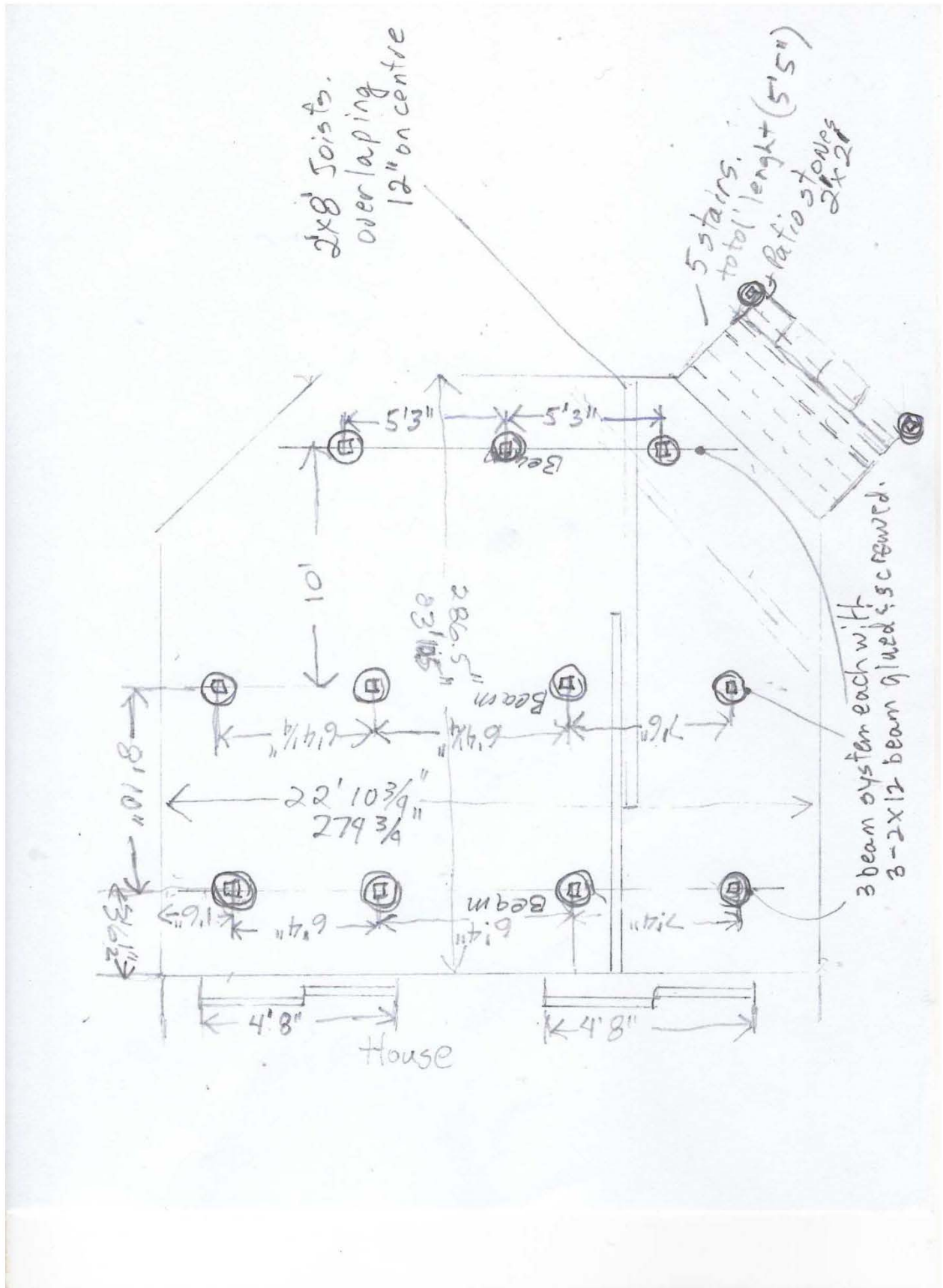
57 Port St. Miss.
Top View





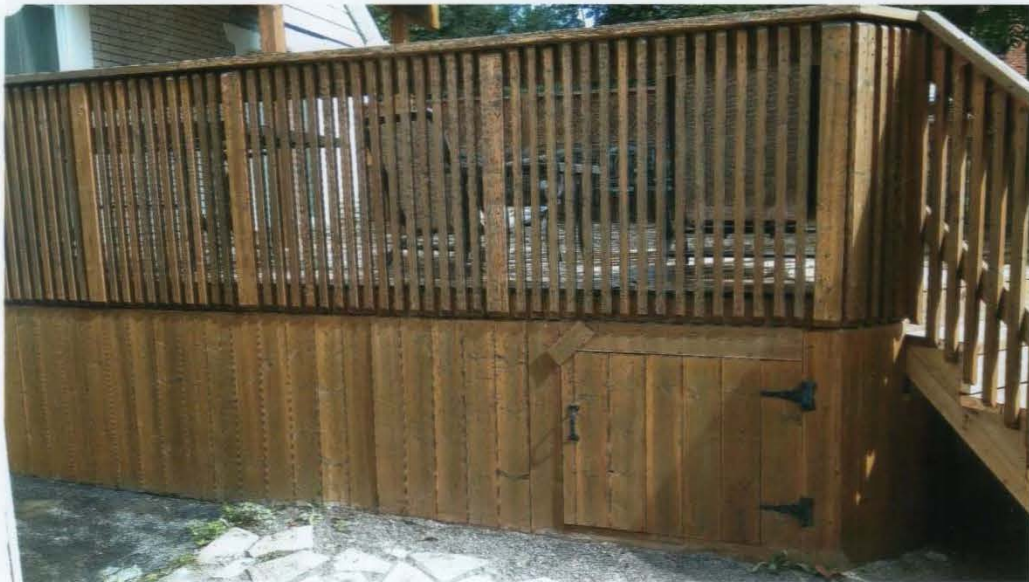










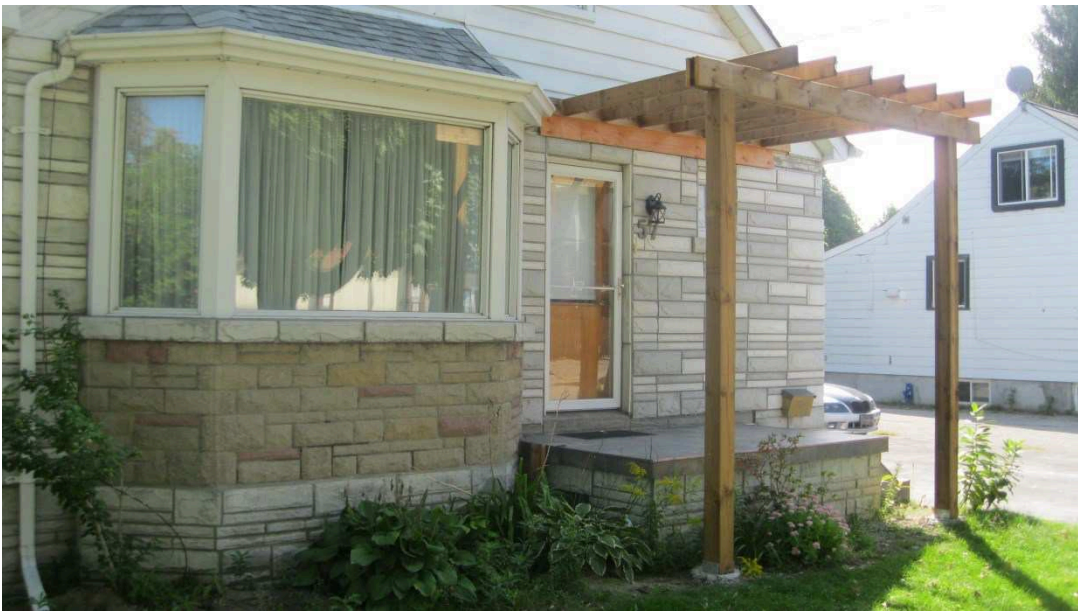




7.4 - 13
Appendix 1



7.4 - 14
Appendix 1



City of Mississauga

Corporate Report



Date: 2018/10/18

To: Chair and Members of Heritage Advisory Committee

From: Paul Mitcham, P. Eng, MBA, Commissioner of
Community Services

Originator's files:

Meeting date:
2018/11/13

Subject

Request to Alter a Heritage Designated Property: 7079 Pond Street (Ward 11)

Recommendation

That the request to alter the heritage designated property at 7079 Pond Street as per the Corporate Report from the Commissioner of Community Services, dated October 18, 2018, be approved.

Background

The subject property is designated under Part V of the Ontario Heritage Act as it forms part of the Meadowvale Village Heritage Conservation District (HCD). Changes to the property are subject to the Meadowvale Village HCD Plan, 2014 and substantive changes identified in said plan require a heritage permit. The owner of the subject property proposes an in ground pool to the rear. See Appendix 1.

Comments

The pool will have minimal if any visibility from the public realm. As such, it should be approved. The Meadowvale Village Heritage Conservation District Subcommittee had no concerns.

Financial Impact

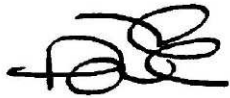
There is no financial impact resulting from the recommendation in this report.

Conclusion

The owner of the property has applied for a heritage permit to install a pool in their backyard. As it will have little visibility from the public realm, it should be approved.

Attachments

Appendix 1: Proposal



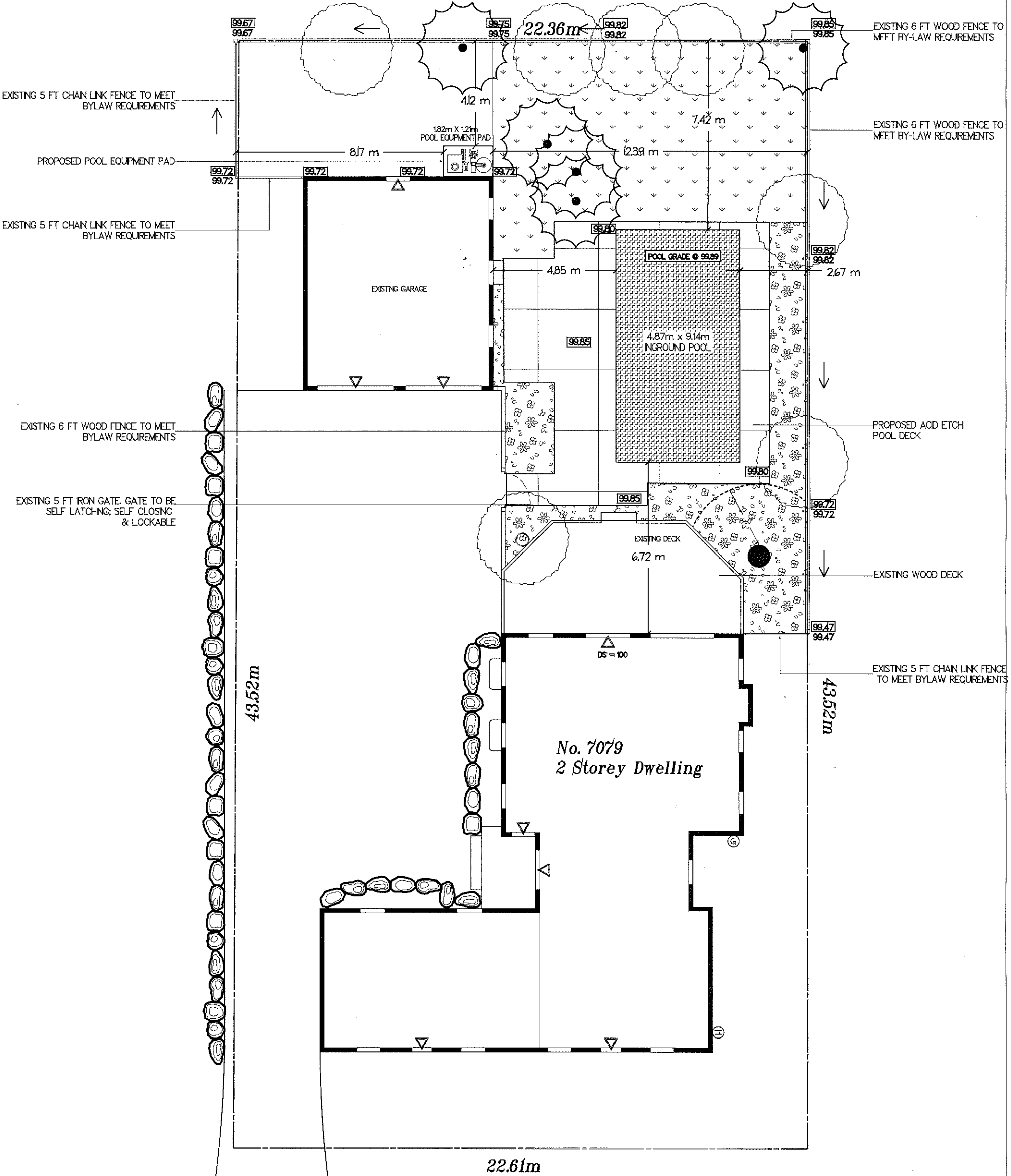
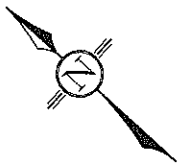
Paul Mitcham, P. Eng, MBA, Commissioner of Community Services

Prepared by: P. Wubbenhorst, Heritage Planner

Note:
All perimeter swales are to be maintained
and remain undisturbed. Drainage patterns
are not to adversely affect adjacent properties

7.5 - 3

| | |
|----------------------|--------------------|
| 99.99 | EXISTING ELEVATION |
| 88.88 | PROPOSED ELEVATION |
| → | SLOPE |
| ELEVATIONS IN METERS | |



DRAWING: POOL PERMIT v2
DATE: SEP 27, 2018
SCALE 1 : 200
ALL DIMENSIONS IN METERS *POND STREET*

LOT: 21
REGISTERED PLAN: TOR-5
CITY OF MISSISSAUGA

SCOPE OF WORK AT 7079 POND STREET, MISSISSAUGA

The scope of work for this site is prepared by Solda Pools Ltd (from here on will be referred to as the "Contractor") for our customer whom are the owners of the 7079 Pond Street, Mississauga and from here on will be referred to as the "Owners".

The Owners would like Heritage's blessing to install a 16' x 30' pool in their backyard. The depth of the pool is 8 ft in the deep end. The pool will have Concrete Decking on 3 sides as per the site plan of which there will be minimal decking on the 2 sides to act as a path around the pool. The third side will be a lounge area suitable to accommodate a few lounge chairs.

The location of the pool does not affect the grading by the fence.

The backyard is currently fenced off with 6 ft high wood fence and will meet bylaw requirements. A pool equipment pad is proposed behind the detached garage.

All mature plant material to be retained to maintain the heritage attributes of the property. Native species to be planted in the gardens around the pool deck.

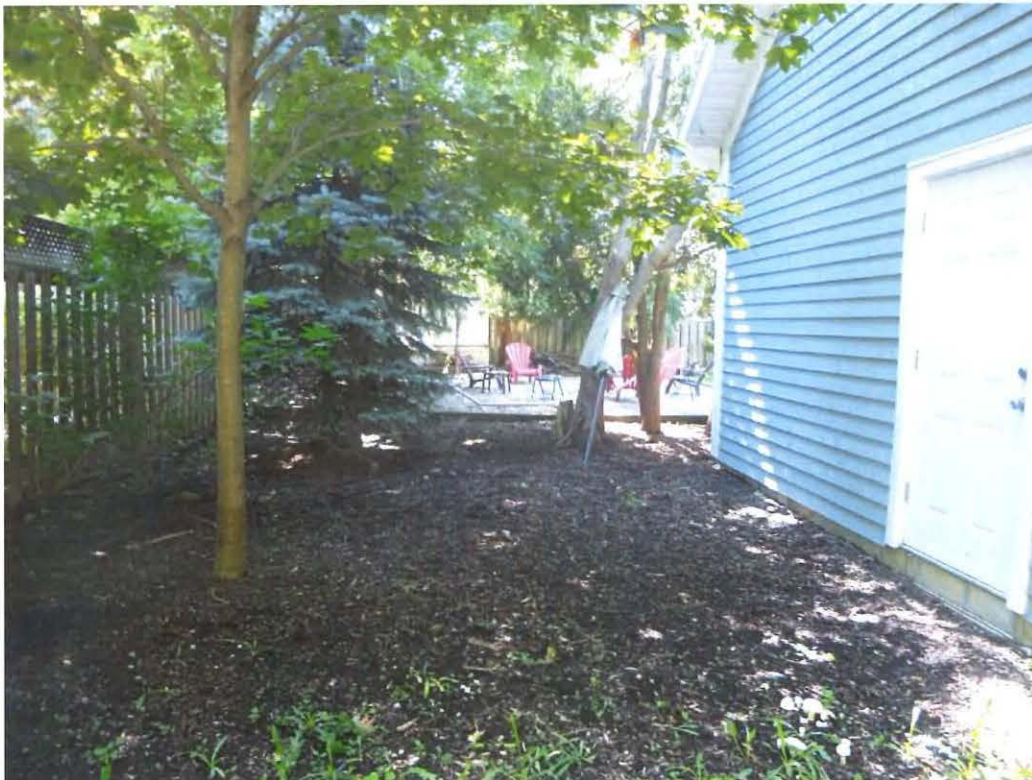
Since the pool is in the backyard it is setback from the public realm and tucked away in the backyard, surrounded by mature trees and hence it is not visible to the neighbouring properties.

Analysis:

- The pool being in the backyard and not visible to the public realm as well as to the neighbouring properties
- Existing fencing to remain
- Existing mature planting to remain

Considering all the above mentioned points the project complies with the HCD plan





BEHIND DETACHED GARAGE

City of Mississauga
Memorandum



Date: 2018/10/11
To: Chair and Members of Heritage Advisory Committee
From: Paul Damaso, Director, Culture Division
Meeting Date: 2018/11/13
Subject: Alteration to a Listed Property: 1352 Nocturne Court (Ward 2)

This memorandum and its attachment are presented for HAC's information.

The City added 1352 Nocturne Court to the Heritage Register in 2009. Section 7.4.1.12 of the Mississauga Official Plan states that: "The proponent of any construction, development, or property alteration that might adversely affect a listed or designated cultural heritage resource or which proposed adjacent to a cultural heritage resource will be required to submit a Heritage Impact Assessment, prepared to the satisfaction of the City and other appropriate authorities having jurisdiction." A scoped report is attached for your reference.

Attachments

Appendix 1: Heritage Impact Statement

A handwritten signature in black ink, appearing to read 'Paul Damaso', written in a cursive style.

Paul Damaso, Director, Culture Division

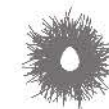
Prepared by: Paula Wubbenhorst, Heritage Planner



Heritage Impact Assessment

1352 NOCTURNE COURT - RESIDENCE
Proposal for Window and Door Replacement and Basement Excavation
Mississauga, ON

DATE ISSUED: September 14, 2018



ROBYN HUETHER
ARCHITECT INC

206-321 Carlaw Ave, Toronto, ON, M4M 2S1

EXECUTIVE SUMMARY

1. Introduction
 - 1.1. Property Description
2. Background
 - 2.1. Historical Description
 - 2.2. Architectural Description
3. Heritage Status
4. Proposed Project
5. Heritage Impact
 - 5.1. Design
 - 5.2. Context
6. Conclusion
7. Final Remarks
 - 7.1. Final Remarks
 - 7.2. Works Cited

- APPENDIX 1 Architectural Drawings - Proposal for Window and Door Replacement
APPENDIX 2 Renderings - Proposal for Window and Door Replacement
APPENDIX 3 City of Mississauga Corporate Report for Request to list
APPENDIX 4 Robyn Huether, Principal, Curriculum Vitae

The Owner of 1352 Nocturne Court has retained Robyn Huether Architect Inc. to complete the heritage approvals for the window and door replacement project. The residence was adopted on the City's Heritage Register in 2009 as a listed property with individual heritage value.

The HIA is prepared as an assessment of the impact of the proposed replacement on the existing heritage resource. And has been prepared in accordance to the City of Mississauga Heritage Impact Assessment Terms of Reference and discussions with the Supervisor of Heritage Planning.

The proposal is to replace all the existing and original windows and doors with new contemporary windows and doors, and to replace the panels above the windows and doors with transoms.

It is our opinion that the proposal is sympathetic to the heritage resource and will have minimal impact on the existing heritage resource. The new windows and doors match the original as closely as possible in scale, dimensions, profiles and proportions. The addition of the transom windows is in keeping with the patterning and divisions of the existing textural quality of the property.

1.1 PROPERTY DESCRIPTION

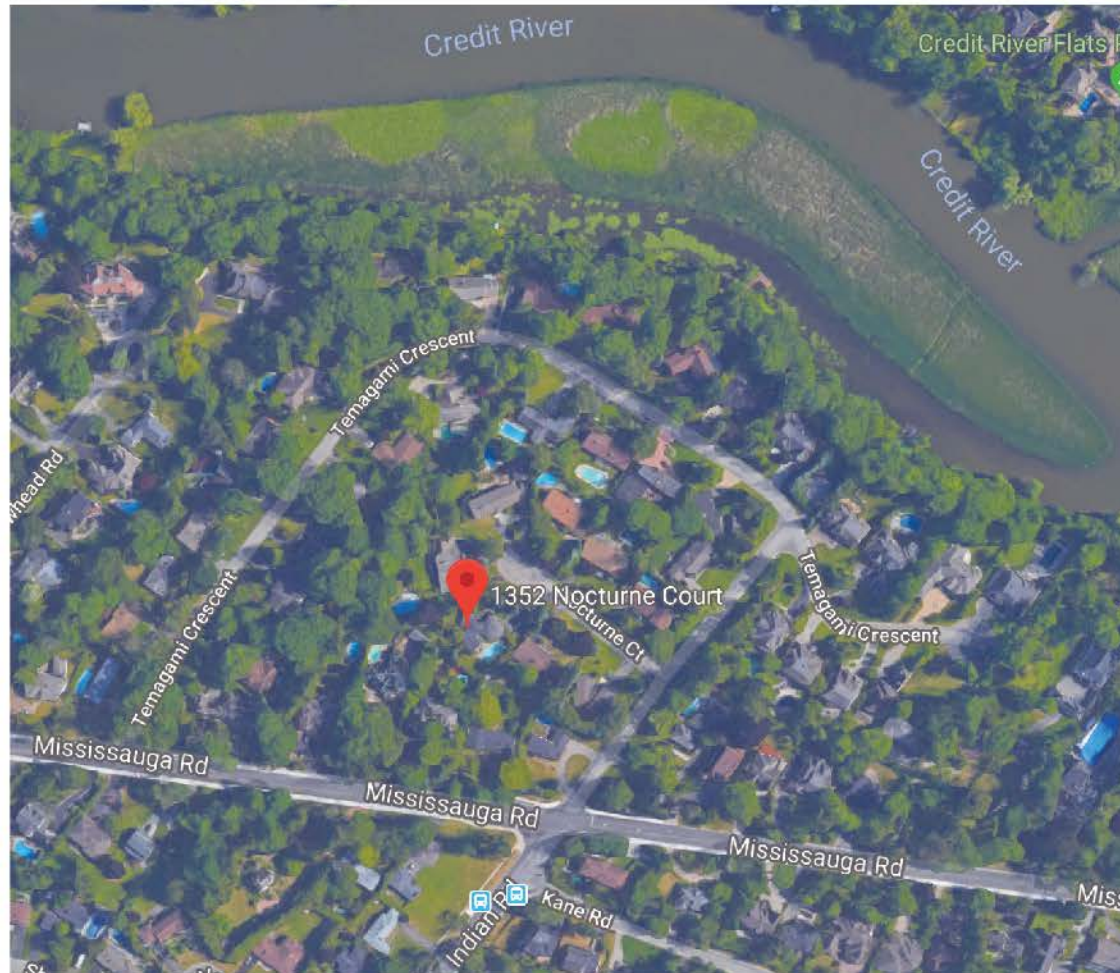


Figure 1, Aerial View – google maps

Property Data

| | |
|------------------------|----------------------|
| Height in storeys: | 1-storey |
| Use (of new building): | Residential |
| Municipal Address: | |
| | 1352 Nocturne Court |
| | Mississauga, Ontario |
| | L5H 2L8 |

The heritage property is located at 1352 Nocturne Court, Mississauga, Ontario. It's situated north of the intersection at Mississauga Road and Indian Road and south of Credit River. The site is indicated with a red arrow bubble.

The property is located on a court with other modernist style residences.

2.1 HISTORICAL DESCRIPTION

1352 Nocturne Court residence was designed by Toronto architect, Harry B. Kohl and constructed by G. S. Shipp & Sons Limited. The residence was showcased at a 1962 National Home show in Toronto as a prefabricated structure. Known as “Vision ‘62”, it was marketed as a dream house, a suburban quest for ideal living.

Harry B. Kohl, a modernist architect based in Toronto, and known as a leading architect for the Jewish community, he graduated from the University of Toronto’s School of Architecture with a Bachelor of Architecture degree. After various apprenticeships in Toronto he started his own practice in 1949 until his death in 1973.

Vision ‘62 was Kohl’s vision of the future, defying the convention of house living. Kohl believed it’s circular forms and plans accommodated circulation of people better than the conventional rectilinear forms and plans. Kohl explored circular design in many of his projects, from residences to highway rest stops. 1352 Nocturne is the earliest known surviving, round house in Mississauga – noted in the Heritage value statements authored by the City of Mississauga.

2.2 ARCHITECTURAL DESCRIPTION

1352 Nocturne form consists of a rotunda structure topped by a triodetic domed roof connected by a suspended bridge to an arch plan that echos the shape of the rotunda. The rotunda and bridge are encircled by a painted wood balcony with a strong horizontal presence.

The rotunda and bridge are composed of fixed and sliding door assemblies with minimal solid panelling. The arc plan is more selective in placement of these units since it houses the private uses - bedrooms and bathrooms.

The rotunda was designed to house the kitchen, and dining and living rooms. The bridge was designed for a family room.

The bungalow structure pushes the envelope of conventional living.

The residence is listed on Mississauga's City's Heritage Register and was assessed using the Ontario Reg 9/06, Criteria for Determining Cultural Heritage Value or Interest, Ontario Heritage Act. The evaluation by the City is summarized here:

1. Design or physical value

"Vision '62" is a representative example of the mid twentieth century suburban quest for ideal living. It is rare, and the earliest known surviving, round house in Mississauga."

2. Historical or Associative value

"The house yields information that contributes to an understanding of the 1960s' interest in ideal Modern living. It also demonstrates the work of architect Harry B Kohl."

3. Contextual Value

"Located in a neighbourhood with other seemingly one-off examples of experimental Modern housing, the residence supports the character of the area."

The proposed project is to replace the existing and original window and door units with new units and can be summarized as the following:

1. Operation of the windows and doors will remain the same within the anchor, and bridge. The front entrance sliding door will either be replaced with a sliding door detailed to reflect its function as a front door or with a swing door and sidelight assembly.
2. Operation and division of the windows and doors within the rotunda are changing in certain locations to accommodate the new interior layout and access to the exterior.
3. The proposal includes opening up the back elevation of the arched plan portion on the ground floor to provide views and open up the plan to the pool. (Above the basement door.)
4. Transoms are proposed to replace the solid panel above all window and door units.

Refer to Appendix 1 for the architectural drawings.

Understanding that the property is listed and identified for its heritage value the following parameters have been established for the replacement.

- a. Minimal frames in dimension and profile to match the existing intent as closely as possible.
- b. Unit locations will be maintained, with new openings and division changes being concentrated to the back of the house.
- c. Direct set glass will be used to minimize the frame section thickness.

The rationale for the replacement strategy.

1. The existing window and door units are original units (1962).
2. The units are in poor condition.
 - a. Mold found in the interior of the units.
 - b. Performance does not meet current window and door performance standards.
 - c. Operation of the doors is poor or non-functioning.
3. There is opportunity to introduce additional light and better ventilation into the house.
4. The changes respond to a re-imagining of the use of space in the interior, ie. the proposed future use of the back room with new opening is a family room instead of a bedroom. The kitchen is being relocated to orient itself to the backyard.

5.0 HERITAGE IMPACT

5.1 DESIGN

The proposed project is in keeping with the design intent of the original Architect. The form or plan of the house is not impacted by the window and door replacements. Further to that the unit replacement and new openings are considered reversible.

The patterning and texturing of the exterior will be maintained. The vertical and horizontal lines in the elevation divisions will be maintained with the replacement units. The heights and overall widths of the window and door units are being maintained as closely as possible. Refer to the below illustrations of the existing and proposed elevations for comparison.

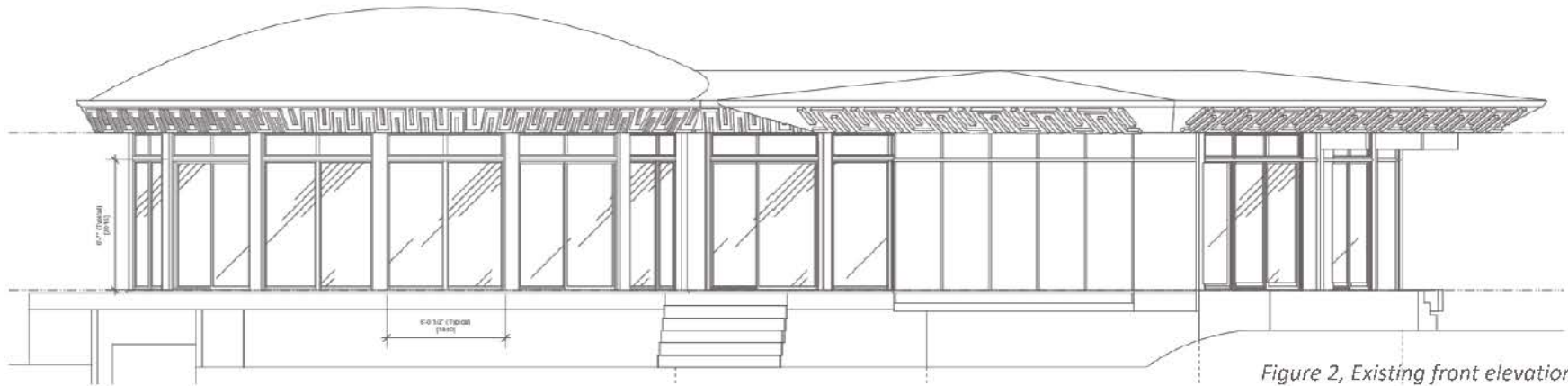


Figure 2, Existing front elevation



Figure 3, Proposed front elevation

Where the patterning and window and door divisions are being deviated from is at the back of the rotunda and is not visible from the street. Changes to the divisions are illustrated below by comparing the two elevations – existing and proposed.

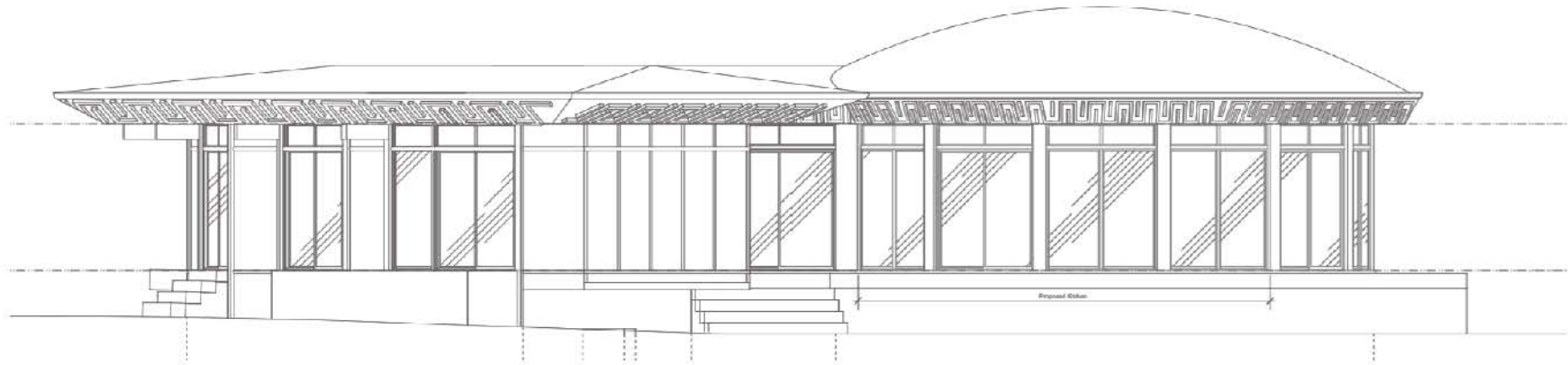


Figure 4, Existing back elevation

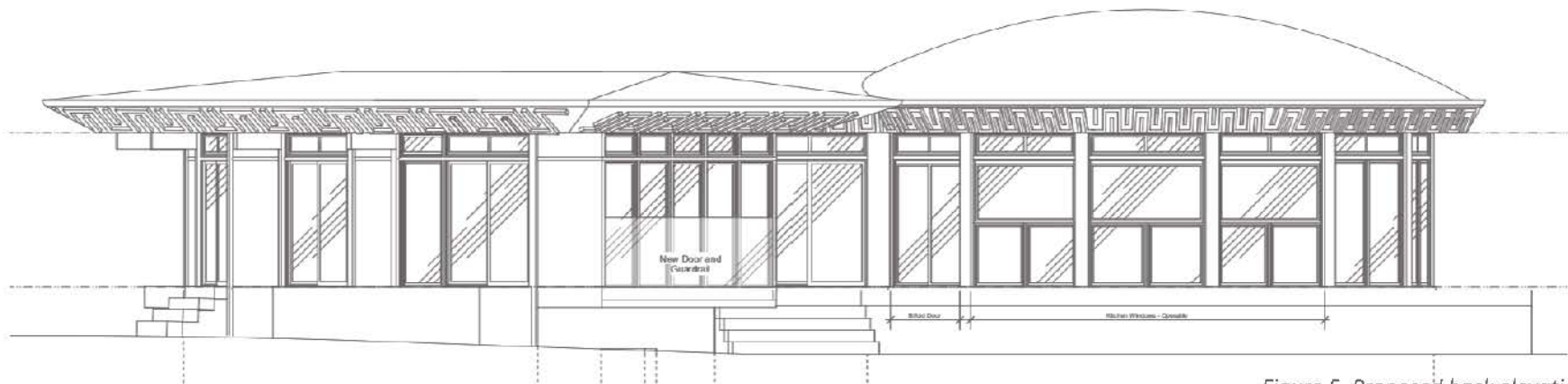


Figure 5, Proposed back elevation

The proposal maintains the ideas of the modernist period, open plans, large windows, minimal or no ornamentation, use of basic shapes. Further to this, the movement was about enhancing the occupants experience of a space and transforming them within the structure, which the addition of the transoms and back window wall will do just that.

5.2 CONTEXT

The proposed project does not impact the adjacent properties. As noted in the panorama below the visibility of the house from the street is minimal.



Figure 6, View from Street up driveway



Figure 7, View from Street



Figure 8, View from Street

Based on our assessment the proposed project will have minimal impact on the heritage value of the property or its context. The proposed replacements and additions are in keeping with the modernist style and the identified heritage values of the property. As well, the proposal is in keeping with the Standards and Guidelines for the Conservation of Historic Places in Canada.

7.1 Final Remark

The information and data within this document represents RHAs best professional opinion based on the available information to RHA at the time of the report preparation. RHA is not liable to any other parties who may obtain this report and use it without the express written consent of RHA and the Client.



Robyn Huether, OAA CAHP MRAIC
Robyn Huether Architect Inc.

7.2 Works Cited

Mississauga Corporate Report, Proposed Addition to Heritage Register – “Vision ‘62”, 1352 Nocturne Court (Ward 2). October 16, 2009.

Online Resources:

Archives Association of Ontario. Fonds C 15 – Harry B Kohl. <https://www.archeion.ca/harry-b-kohl-fonds>

Architectural Drawings - Proposal for Window and Door Replacement

Technical drawings of window types W1 and D1.

Type-W1 (O)

Dimensions:

- Height: 1'-5 1/4" [437]
- Width: 4'-2" [1270]
- Central Pane Width: 2'-1" [635]

Type-D1 (O)

Dimensions:

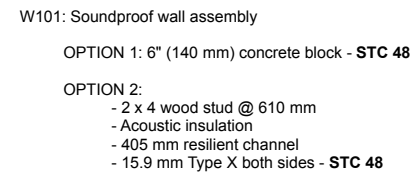
- Height: 6'-4 3/8" [1940]
- Width: 5'-10 3/4" [1798]

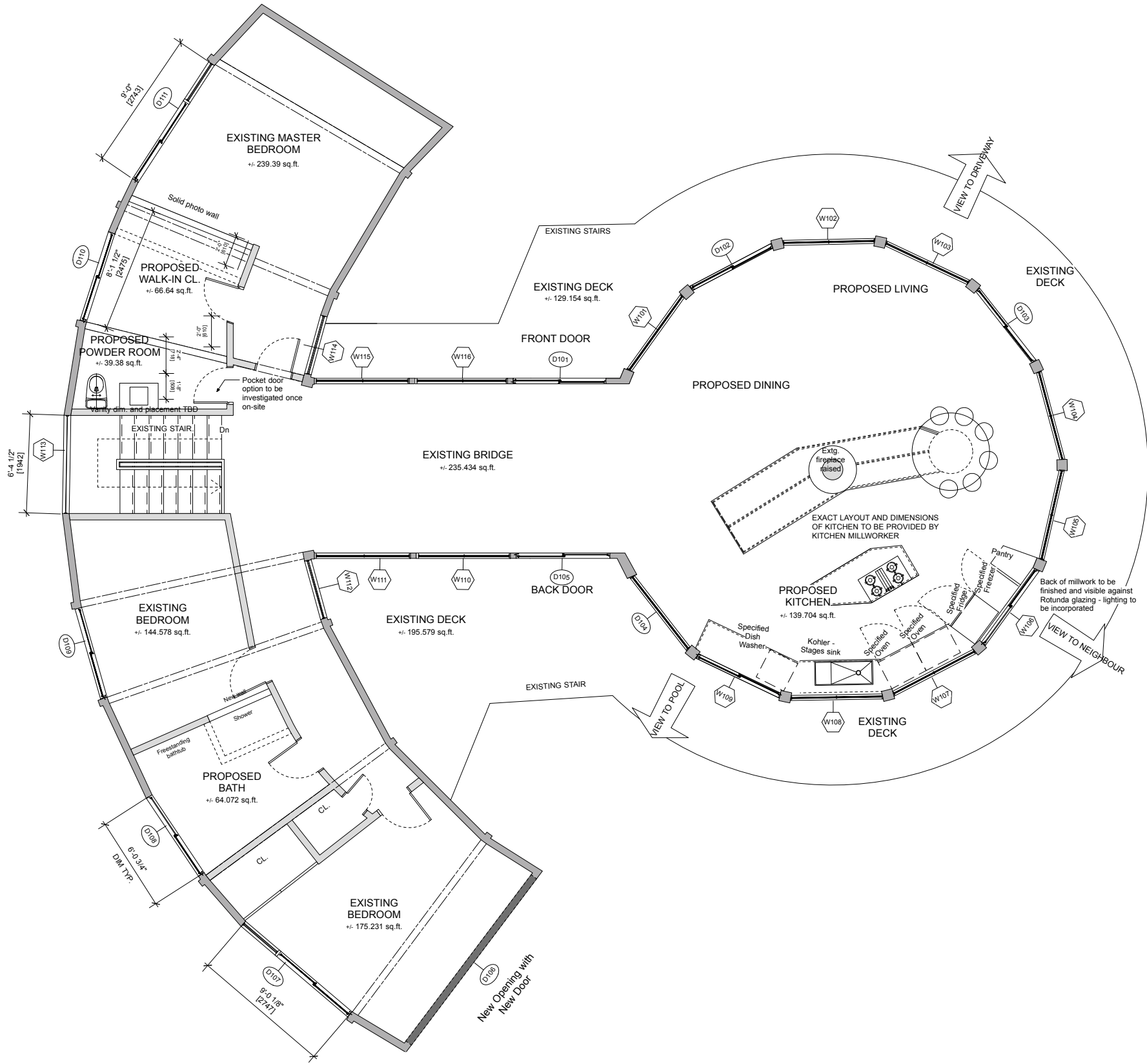
The Contractor shall verify all levels and dimensions on site and report all discrepancies to Robyn Huether Architect Inc. before beginning work. Do not scale the drawings. The Contractor shall be responsible for any changes made to the drawings without Robyn Huether Architect's approval.

Proposed Basement Plan

| | |
|------------|--|
| Sheet No.: | |
|------------|--|

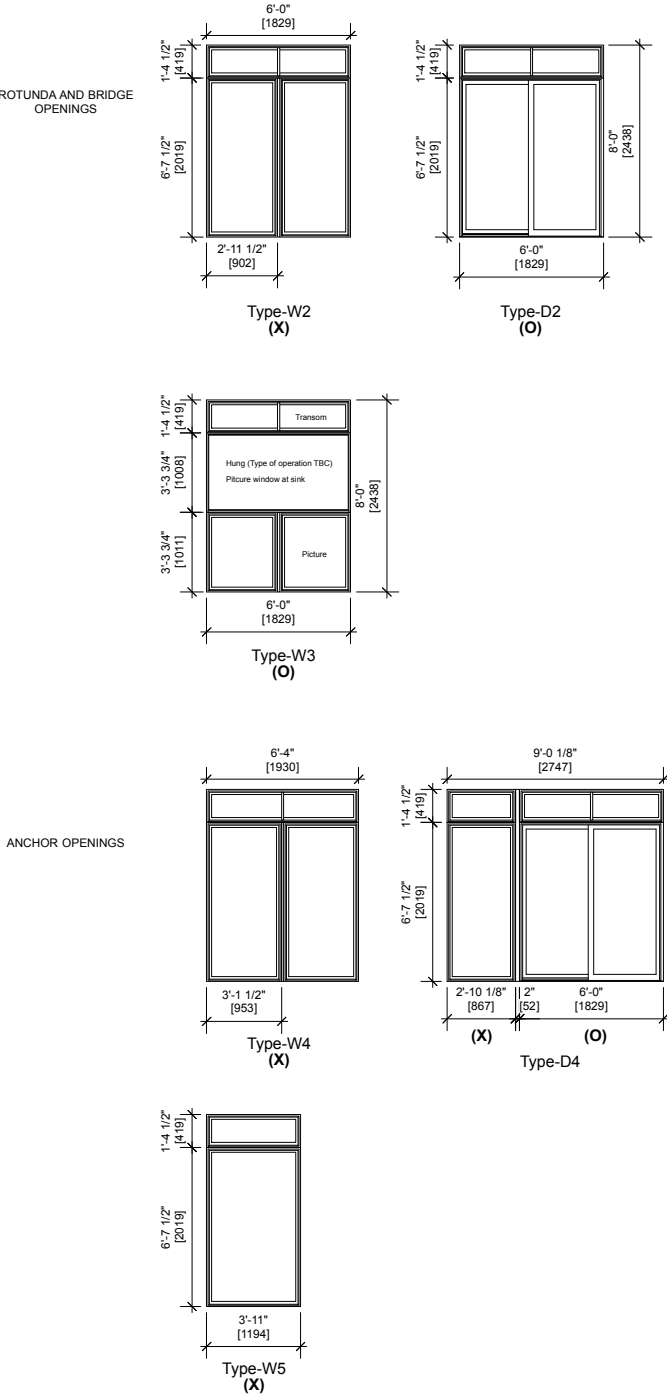
| | |
|--------------|--------|
| Project No.: | 201806 |
|--------------|--------|





WINDOW AND DOOR LEGEND

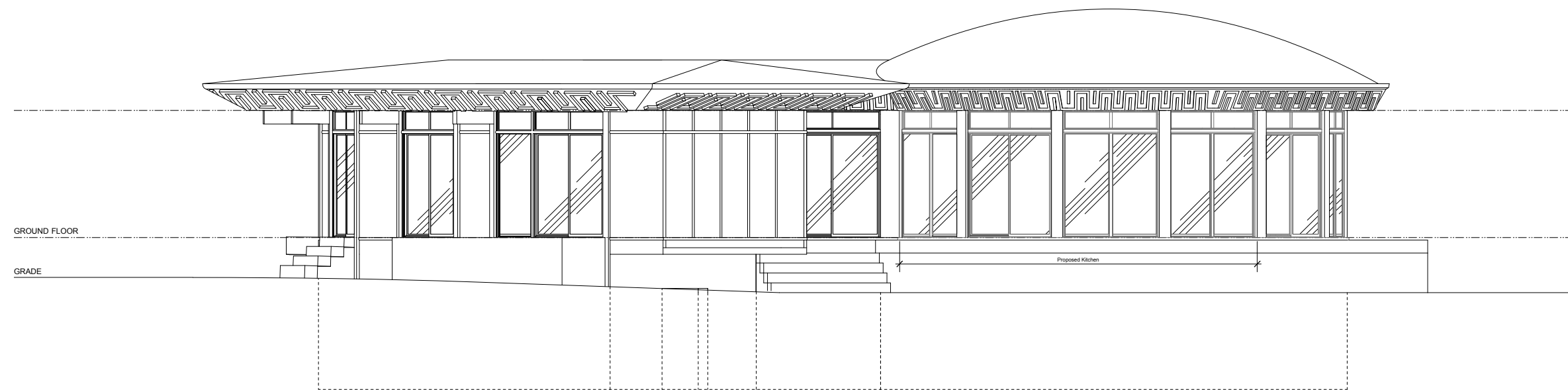
- Window Number
- Door Number
- X Fixed
- O Operable



Refer to Window and Door Schedule for details.
NOTE: ALL window and door replacement to occur within existing openings unless otherwise noted.

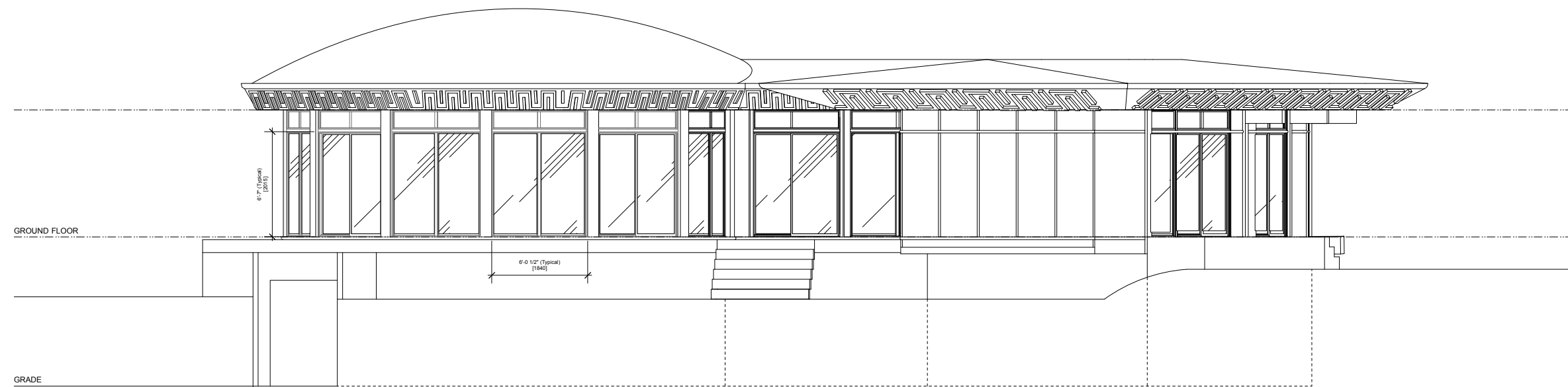
1 Proposed Ground Floor Plan
A-104 Scale: 1/4" = 1'-0"

| No. | Revisions: | Date |
|---|--|------------------|
| 1. | As per Client email June 25, 2018 | 2018.06.28 |
| 2. | Consolidating information | 2018.08.27 |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| 5. | Window and Door Replacement - Heritage Impact Assessment | 2018.09.14 |
| 4. | Issued to Droghda | 2018.08.27 |
| 3. | Issued For Client Review | 2018.06.28 |
| 2. | Issued For Millwork Review | 2018.06.07 |
| 1. | Issued For Client/ Contractor Review | 2018.05.11 |
| No. | Issued For | Date |
| <div>Robyn Huether Architect Inc. Unit 206, 321 Carlaw Ave. Toronto - ON M4M 2S1 647 346 4800</div> | | |
| <div>This drawing is the property of Robyn Huether Architect and may not be used or reproduced without expressed approval. Please refer to Engineering drawings before proceeding with work. The Contractor shall verify all levels and dimensions on site and report all discrepancies to Robyn Huether Architect before beginning work. Do not scale the drawings. The Contractor shall be responsible for any changes made to the drawings without Robyn Huether Architect's approval.</div> | | |
| <div>Unit 206 - 321 Carlaw Ave. Toronto ON M4M 2S1</div> | | |
| <div>Proposed Ground Floor Plan</div> | | |
| Scale: | As Shown | Date: 2018.05.02 |
| | | Sheet No.: |
| Project No.: | 201806 | A-104 |



2
A-200

Existing Back
Scale: 1/4" = 1'-0"

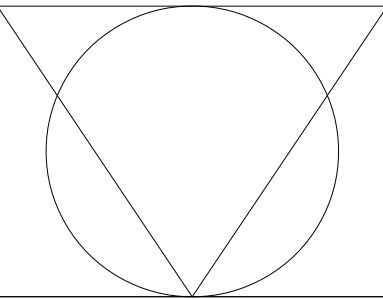


1 Existing Front
A-200 Scale: 1/4" = 1'-0"

NOTE: Deck railing removed for ease of viewing Elevations in their entirety.

[illegible]

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Toronto - ON
M4M 2S1
647 346 4800



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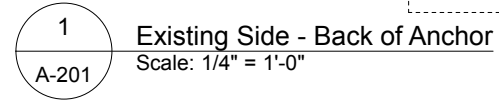
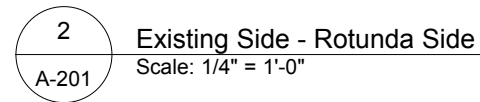
1352 Nocturne Ct.
Toronto ON
L5H 2L8

Existing North And South Elevations

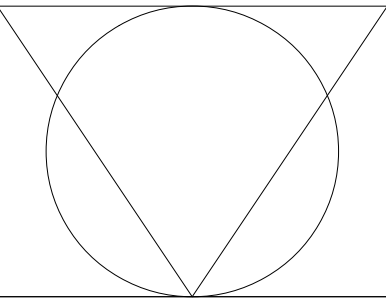
| | |
|----------|------------|
| Scale: | Date: |
| As Shown | 2018.05.02 |

Sheet No.:

| | |
|--------------|-------|
| Project No.: | A-200 |
| 201806 | |



Robyn Huether Architect Inc.
Unit 206, 321 Carlaw Ave.
Toronto - ON
M4M 2S1
647 346 4800



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Please refer to Engineering drawings before proceeding with work.

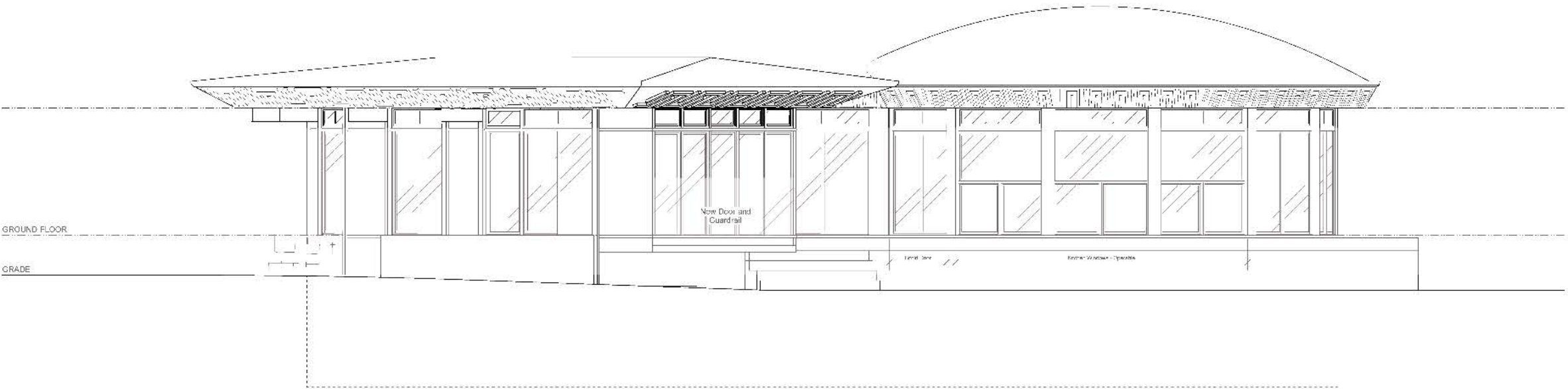
The Contractor shall verify all levels and dimensions on site and report all discrepancies to Robyn Huether Architect before beginning work. Do not scale the drawings. The Contractor shall be responsible for any changes made to the drawings without Robyn Huether Architect's approval.

1352 Nocturne Ct.
Toronto ON
L5H 2L8

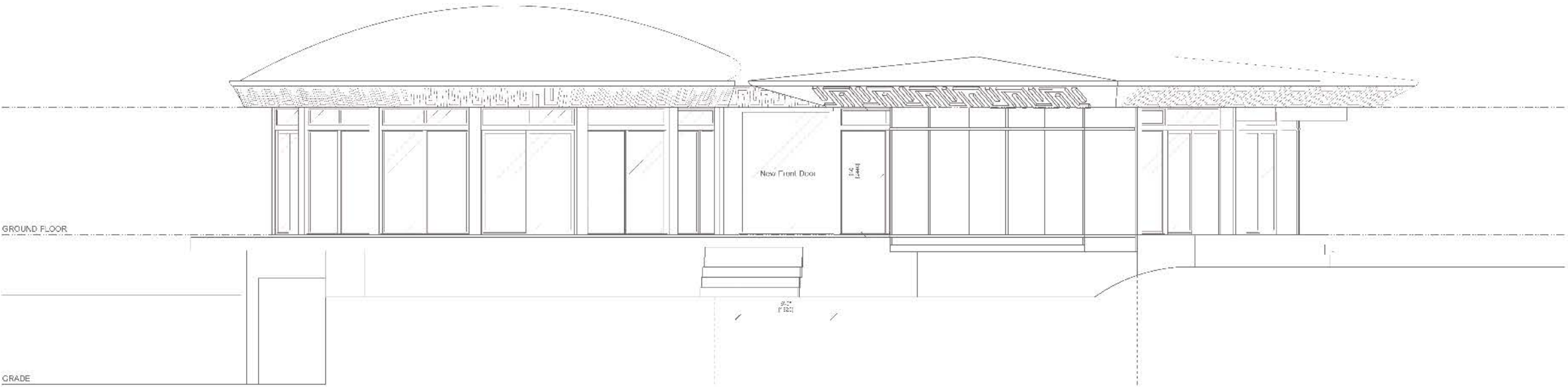
Existing East And West Elevations

| | |
|------------------------|---------------------|
| Scale: As Shown | Date: 2018.05.02 |
| | Sheet No.: |
| Project No.: 201806 | A-201 |

NOTE: Deck railing removed for ease of viewing Elevations in their entirety.

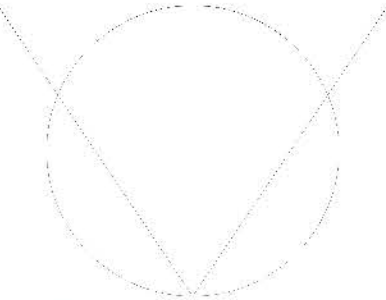


2
A-202
Proposed Back
Scale: 1/4" = 1'-0"



1
A-202
Proposed Front
Scale: 1/4" = 1'-0"

Robyn Huether Architect Inc.
Unit: 206, 321 Carlaw Ave.
Toronto - ON
M4M 2S1
647 346 4800



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1352 Nocturne Ct.
Toronto ON
L5H 2L8

Proposed North And
South Elevations

Scale: As Shown Date: 2018.05.02

Sheet No.:

NOTE: Deck railing removed for ease of viewing Elevations in their entirety.

WINDOW SCHEDULE

| WINDOW NUMBER | LOCATION | SIZE (width x height, inches) | TYPE | EXTG. OPERATION | NEW OPERATION | COMMENTS | DRAWING REFERENCE |
|---------------|----------|---------------------------------|------|-----------------|---------------|--------------------------|-------------------|
| W001 | Basement | 4'2" x 1'5 1/4" (1270 x 437 mm) | W1 | O | O | | A-101 |
| W002 | Basement | 4'2" x 1'5 1/4" (1270 x 437 mm) | W1 | O | O | | A-101 |
| W003 | Basement | 4'2" x 1'5 1/4" (1270 x 437 mm) | W1 | O | O | | A-101 |
| W004 | Basement | 4'2" x 1'5 1/4" (1270 x 437 mm) | W1 | O | O | | A-101 |
| W005 | Basement | 4'2" x 1'5 1/4" (1270 x 437 mm) | W1 | O | O | | A-101 |
| W006 | Basement | 4'2" x 1'5 1/4" (1270 x 437 mm) | W1 | O | O | | A-101 |
| W101 | Rotunda | 6'0" x 8'0" (1829 x 2438 mm) | W2 | X | X | | A-104 |
| W102 | Rotunda | 6'0" x 8'0" (1829 x 2438 mm) | W2 | X | X | | A-104 |
| W103 | Rotunda | 6'0" x 8'0" (1829 x 2438 mm) | W2 | X | X | | A-104 |
| W104 | Rotunda | 6'0" x 8'0" (1829 x 2438 mm) | W2 | X | X | | A-104 |
| W105 | Rotunda | 6'0" x 8'0" (1829 x 2438 mm) | W2 | X | X | | A-104 |
| W106 | Rotunda | 6'0" x 8'0" (1829 x 2438 mm) | W2 | O | X | | A-104 |
| W107 | Rotunda | 6'0" x 8'0" (1829 x 2438 mm) | W3 | X | TBC | New kitchen windows | A-104 |
| W108 | Rotunda | 6'0" x 8'0" (1829 x 2438 mm) | W3 | X | X | New kitchen windows | A-104 |
| W109 | Rotunda | 6'0" x 8'0" (1829 x 2438 mm) | W3 | O | TBC | New kitchen windows | A-104 |
| W110 | Bridge | 6'0" x 8'0" (1829 x 2438 mm) | W2 | X | X | | A-104 |
| W111 | Bridge | 6'0" x 8'0" (1829 x 2438 mm) | W2 | X | X | | A-104 |
| W112 | Anchor | 3'11" x 8'0" (1194 x 2438 mm) | W5 | X | X | | A-104 |
| W113 | Anchor | 6'4" x 8'0" (1930 x 2438 mm) | W4 | X | X | Tempered, Stair location | A-104 |
| W114 | Anchor | 3'11" x 8'0" (1194 x 2438 mm) | W5 | X | X | | A-104 |
| W115 | Bridge | 6'0" x 8'0" (1829 x 2438 mm) | W2 | X | X | | A-104 |
| W116 | Bridge | 6'0" x 8'0" (1829 x 2438 mm) | W2 | X | X | | A-104 |

DOOR SCHEDULE

| DOOR NUMBER | LOCATION | SIZE (width x height, inches) | TYPE | EXTG. OPERATION | NEW OPERATION | COMMENTS | DRAWING REFERENCE |
|-------------|----------|-----------------------------------|------|-----------------|---------------|----------------------------|-------------------|
| D001 | Basement | 5'10 3/4" x 6'4" (1798 x 1940 mm) | D1 | O | O | | A-101 |
| D101 | Bridge | 6'0" x 8'0" (1829 x 2438 mm) | TBC | O | O | Operation TBD | A-104 |
| D102 | Rotunda | 6'0" x 8'0" (1829 x 2438 mm) | D2 | O | O | | A-104 |
| D103 | Rotunda | 6'0" x 8'0" (1829 x 2438 mm) | D2 | O | O | | A-104 |
| D104 | Rotunda | 6'0" x 8'0" (1829 x 2438 mm) | D2 | X | O | | A-104 |
| D105 | Bridge | 6'0" x 8'0" (1829 x 2438 mm) | D3 | O | O | | A-104 |
| D106 | Anchor | 6'0" x 8'0" (1829 x 2438 mm) | D2 | SOLID WALL | O | New opening in bedroom | A-104 |
| D107 | Anchor | 9'0" x 8'0" (2747 x 2438 mm) | D4 | O | O | Sliding door and sidelight | A-104 |
| D108 | Anchor | 6'0" x 8'0" (1829 x 2438 mm) | D2 | O | O | | A-104 |
| D109 | Anchor | 6'0" x 8'0" (1829 x 2438 mm) | D2 | O | O | | A-104 |
| D110 | Anchor | 6'0" x 8'0" (1829 x 2438 mm) | D2 | O | O | | A-104 |
| D111 | Anchor | 9'0" x 8'0" (2747 x 2438) | D4 | O | O | Sliding door and sidelight | A-104 |

ALL WINDOWS + DOORS TO BE:

- Fibreglass
- Frame dimensions to match existing as closely as possible
- Black - Exterior and interior
- Low profile to match existing as closely as possible
- U-Value: 1.6
- Screens on all operable Windows and Doors

[illegible]

Renderings - Proposal for Window and Door Replacement





FRONT ELEVATION - NORTH
Issued for Heritage Review

2018.09.14





City of Mississauga Corporate Report for Request to list



Corporate Report

Clerk's Files

Originator's
Files

HAC

DATE: October 16, 2009

TO: Heritage Advisory Committee
Meeting Date: October 27, 2009

FROM: Paul A. Mitcham, P.Eng, MBA
Commissioner of Community Services

SUBJECT: **Proposed Addition to the Heritage Register**
“Vision ‘62,” 1352 Nocturne Court
(Ward 2)

RECOMMENDATION: That “Vision ‘62,” 1352 Nocturne Court, be listed on the City’s Heritage Register for its physical/design, historical/associative and contextual value and that the appropriate City officials be authorized and directed to take the necessary action to give effect thereto.

BACKGROUND: G.S. Shipp & Son Limited built the house at 1352 Nocturne Court in 1962. Just a few weeks prior to its erection at this site, it had been showcased at the National Home Show in Toronto. There, 60,000 people toured the prefabricated structure, which stood within the Coliseum building.

The dwelling was Toronto architect Harry B. Kohl’s (1923-1973) “vision of the future.” Kohl’s round house defies convention. He thought circles accommodated the circulation of people better than rectilinear shapes. This was not Kohl’s only round residence. He also designed the circular rest stops that survive along Highway 401. Kohl’s house designs were featured at the Home Show from 1962 to 1969.

The focal point of “Vision ‘62” is the balcony-encircled rotunda. This circular area originally contained the living room, kitchen and dining area. A triodetic dome tops the structure. To the rear, an arc shaped

bungalow mimics the curve of the circle. This tail held three bedrooms with bathrooms and was faced with sliding glass doors. A bridge connects these two segments and contained a family room.

“Vision ‘62” was conceived as a dream house. The accompanying brochure stressed the “sheer delight and freedom” that it offered the “space-age family.” The residence epitomizes Modern architecture and its utopian aspirations. With its Modern design and experimental nature, “Vision ‘62” is representative of the suburban quest for ideal living. Wolfgang Kubetschek purchased the property in 1963.

COMMENTS:

According to Section 27.1.2 of the *Ontario Heritage Act*, property that “the municipality believes to be of cultural heritage value or interest” may be included on its Heritage Register.

Physical/Design Value

“Vision ‘62” is a representative example of the mid twentieth century suburban quest for ideal living. It is a rare, and the earliest known surviving, round house in Mississauga.

Historical/Associative Value

The house yields information that contributes to an understanding of the 1960s’ interest in ideal Modern living. It also demonstrates the work of architect Harry B. Kohl.

Contextual Value

Located in a neighbourhood with other seemingly one-off examples of experimental Modern housing, the residence supports the character of the area.

FINANCIAL IMPACT: N/A

CONCLUSION:

“Vision ‘62” epitomizes mid twentieth century Modern domestic architecture. It yields information that contributes to an understanding of the 1960s’ culture that produced experimental housing. It is a rare round house in Mississauga and it supports the character of the area, which includes a wide array of unique domestic architecture. For these reasons it merits listing on the City of Mississauga’s Heritage Register.

ATTACHMENTS: Appendix 1: Location Map of 1352 Nocturne Court
 Appendix 2: Photos of “Vision ‘62,” 1352 Nocturne Court

Paul A. Mitcham, P.Eng, MBA
Commissioner of Community Services

Prepared By: Mark Warrack, Senior Heritage Coordinator

Robyn Huether, Principal, Curriculum Vitae

ROBYN HUETHER Architect, OAA, MRAIC, CAHP**Education**

Bachelor of Architecture, Carleton University, Ottawa, Ontario

Professional affiliations

- Ontario Association of Architects
- Canadian Association of Heritage Professional
- Royal Architectural Institute of Canada
- Toronto Society of Architects

Awards and distinctions

Heritage awards for The Distillery District, Bloor Gladstone Library, Tip Top Lofts and The Wesley Building

Professional Experience

Robyn Huether established Robyn Huether Architect (RHA) in December 2010 as a Toronto-based architecture firm, offering boutique-style services to the GTA and surrounding area. RHA incorporated in December 2017. With over 15 years of architectural experience, and more than 10 years of heritage-related experience, RHA Inc. specializes in adaptive reuse and building conservation. The firm uses participatory and collaborative approaches to develop their projects, working as both the prime consultant or as part of a larger team.

2010 - Current

- **Toronto Western Hospital, Toronto** – Lead Architect for Phase 2 of the Brick Re-cladding Project on the main pavilion east elevation of the Toronto Western Hospital. Responsible for designing an appropriate wall assembly for the existing Art Deco façade. Overseeing work from Design Development to Contract Administration, including coordination with the Consultants and liaising with the Client.
- **263 McCaul Auditorium and Boardroom Repair Project, University of Toronto**– Lead Architect for the preparation of the Tender documents. Work involved installing new A/V systems, restoration of the existing heritage fabric, and upgrading the electrical systems and architectural finishes.
- **Royal Ontario Museum** – Heritage Consultant for Engineering Link on multiple projects - the west wall restoration and east stair restoration and design of a new accessible ramp at the east elevation.
- **McMichael Art Gallery, Tom Thomson Shack** – Heritage Architect for the restoration of the Tom Thomson shack. Work includes moving the building, making the building accessible, replacement of deteriorated wood siding, restoration of existing windows, roof replacement, lighting design and interior alteration.
- **9-11 Madison Avenue, Toronto** – Heritage Consultant for Kongats Architects for development project in Heritage Conservation District. Preparation of the Heritage Impact Assessment, condition assessment of the heritage building, and coordination of details related to heritage building – new and conservation.
- **36 Mulcaster, Barrie** – Heritage Consultant in partnership with Giaimo for a new development in the downtown of Barrie. Consulting on the condition and impact to the existing heritage property adjacent to the development property. Work may include moving the heritage property to a new location within the development.
- **Cambridge Historic City Hall, Cambridge**. Ongoing restoration/maintenance work, condition assessments and liaising with the Property Manager to coordinate work in a phased approach to work within fiscal budgets.
- **Fire Hall Museum and Education Centre, Cambridge**. A phased project to accommodate fiscal budgets, work involved a full condition assessment of the exterior building envelope, masonry and wood restoration, the replacement of existing pre-finished metal eaves troughs and downspouts with new copper, select new windows and the rehabilitation of the front elevation. The front elevation rehabilitation involved demolishing the 1960s renovation and restoring it to the original design - a double-masonry arch with double doors.
- **Residential Projects in the GTA**, worked with Clients to design and build additions, and interior renovation to meet their families growing house needs. Work often involves heritage homes, that are designated under Part IV or V of the Ontario Heritage Act.
- **Other Projects in RHA portfolio**
 - University of Mississauga, Putnam Community Centre and Residence (with Kongats Architects as Heritage Consultant)
 - Winchester Public School, Toronto, Ontario (with Engineer Link as Heritage Consultant)
 - Young Chapel, Cambridge, Ontario
 - Mount Hope Cemetery Mausoleum, Brantford, Ontario
 - 106 Beverley Street, Toronto, Ontario
 - The Galt Little Theatre, Cambridge, Ontario
 - Bank of Toronto, Cambridge, Ontario

- 96 Spadina, Toronto, Ontario (with Engineer Link as Heritage Consultant)
- Block 16 Park, Richmond Hill, Ontario (with Schollen and Company Inc. as Architect)
- Hespeler Town Centre, Cambridge, Ontario
- Union Station Rehabilitation, Toronto, Ontario (Consultant to Phoenix Restoration)
- Windsor Arms Hotel, Toronto, Ontario
- 60 Homewood Avenue, Toronto Ontario (with CCI Group as Heritage Consultant)
- 424 Yonge Street, College Park, Toronto, Ontario

EVOQ (Formerly FGMDA), Toronto, March 2011 - February 2014

On-site Project Architect

- **Union Station Revitalization Project, Toronto.** Providing on-site representation for the contract administration of the heritage restoration and rehabilitation work at the station including the coordination with the prime consultant, engineers, specialized conservators, client and construction manager, the review of on-going construction and shop drawings, and the issuing of site directives.

ERA Architects Inc., Toronto 2002 - 2009

Associate and Project Architect

Leading numerous distinguished heritage sensitive projects and involved with the management of the office. The management aspect included hiring of personnel, financial decisions, human resource challenges and general project decisions and distribution.

The following is a select number of projects executed while working at ERA.

2008 - 2009

- **Cambridge Historic City Hall, Cambridge.** Renovation and restoration of the interior. Lead architect in charge of all coordination.
- **The Lang Tannery, Kitchener.** Adaptive re-use of the existing tannery factory complex. Heritage architect responsible for all heritage consultation, reports, approvals, and specifications for various aspects of the conservation work.

2007 – 2009

- **Richmond Adelaide Block, Toronto.** Master plan including an adaptive re-use of 3 designated heritage buildings and re-design of courtyard and underground retail path system. Heritage architect responsible for heritage consultation starting with the master plan, all heritage municipal reports, site surveying and design development and construction drawings.

2006 – 2009

- **Rehabilitation of the Union Station Train Shed, Toronto.** Design of a new atrium space. In charge of heritage consultation, all municipal and federal approvals, reports and presentations, site survey in relation to heritage elements, development of specifications for restoration of various elements, tracking of documents, and review of drawings for restoration techniques.
- **Bloor Gladstone Library, Toronto.** Renovation and restoration of an existing library. Heritage architect in charge of all exterior and interior restoration work. Site surveying, contract documents and administration for restoration work.
- **550 Wellington/Crangle's Collision, Toronto.** Rebuilding of heritage structure. Heritage architect in charge of all work for the rebuild of heritage structure, which included heritage municipal approvals, design development, site surveying, construction drawings and contract documents.

2007 – 2008

- **Hamilton City Hall, Hamilton.** A \$68M renovation of the designated heritage building. Lead heritage architect in charge of all heritage municipal approvals, consultation, design development and construction documents.
- **Whitchurch-Stouffville Museum, Whitchurch-Stouffville.** Feasibility study and schematic design for new museum building within active heritage site. In charge of client consultation, program development, schematic design drawings, presentation material and feasibility report.

2004 – 2007

- **The Abbey Condominiums, Toronto.** \$6.5M adaptive re-use of designated heritage church. In charge of all design development, municipal approvals, site surveying, and construction review.

2003 – 2007

- **The Wesley Building, 299 Queen St W, Toronto.** A \$7.4M phased restoration project of the 5-storey terracotta façade. In charge of phase planning, budget, restoration drawings, specifications, site surveying, and contract administration.

2004 – 2005

- **Tip Top Lofts, Toronto.** Adaptive re-use of designated heritage factory building at Toronto waterfront. Heritage architect in charge of restoration work, including all coordination, design and construction documents and contract administration.
- **The Loretto, Toronto.** Adaptive re-use of designated heritage building. Heritage architect in charge of \$730,000 of restoration work, including design development, site surveying and municipal approvals and reports.

2003 – 2005

- **The Distillery District, Toronto.** A \$5M adaptive re-use project. Responsible for design development of circulation, design of servicing area, tenant coordination, site surveying, design development and construction documents.

Allan Rae Architects Inc., Toronto 2000 - 2003
2000 – 2003

- **44 King Street West, Scotiabank HQ, Toronto.** A \$54M M&E Upgrade of Scotiabank Headquarters. Responsible for contract documents and contract administration

Volunteer Experience

2014-Present Elected volunteer member of the CAHP Board and Executive Member

2010- Present Volunteer on The Grange Volunteer Board (AGO)

Lecturing and Publications:

2017 Guest critic at 3rd year design studio interim and final presentations for Integration Studio 1

2009, 2011, 2017 Guest lecturer at Ryerson University, discussed restoration, conservation and adaptive re-use

Published an article in "concrete Toronto – a guidebook to concrete architecture from the fifties to the seventies" entitled The Yonge and Eglinton Centre.

City of Mississauga
Memorandum



Date: 2018/10/05
To: Chair and Members of Heritage Advisory Committee
From: Paul Damaso, Director, Culture Division
Meeting Date: 2018/11/13
Subject: 500 Comanche Road (Ward 2)

This memorandum and its attachment are presented for HAC's information.

The subject property is listed on the City's Heritage Register because it forms part of the Credit River Corridor Cultural Landscape. As per section 7.4.1.10 of the Mississauga Official Plan, "Applications for development involving cultural heritage resources will be required to include a Heritage Impact Assessment (HIA) prepared to the satisfaction of the City and other appropriate authorities having jurisdiction." An HIA addendum and drawings are attached as Appendices 1 and 2 for your reference.

Attachments

Appendix 1: Heritage Impact Assessment Addendum
Appendix 2: Drawings

A handwritten signature in black ink, appearing to read 'Paul Damaso', written over a horizontal line.

Paul Damaso, Director, Culture Division

September 7, 2018

Joseph Muller,
Supervisor, Heritage Planning
City of Mississauga, Culture & Heritage Planning Section
Community Services Department, Culture Division
Suite 202, 201 City Centre Drive
Mississauga, ON, L5B 4E4

File: PRE-30096

Property: 500 Comanche Road, within the heritage designated Credit River Corridor Cultural Landscape.

Re: This document is a summary of the proposed alterations to the single family residence and property at 500 Comanche Road. This summary is to be read as an adjunct document to the original Heritage Impact Statement (H.I.S.) for 500 Comanche Road prepared by David W. Small, dated February 28, 2012. This summary is to supplement a new heritage application which has been enclosed.

Summary Introduction & Overview

The subject property is 500 Comanche Road. This is a large lot backing on to the Credit River, just south of the QEW and west of the river. The property is within the designated "Credit River Corridor" cultural landscape. In 2012 a H.I.S. was done for the property that was authored by David Small. The report detailed the history of the property and the unique characteristics of the Credit Valley Cultural landscape including its vegetation, wildlife, and topography. The report also identified the property as having had a historical association to the prominent Gordon S. Shipp and his son Harold G Shipp and the Shipp Corporation, a company that developed homes in the Toronto area. The dwelling at 500 Comanche Road was constructed in September 1966, with the drawings indicating they were drawn August 26, 1966 for Mrs. Harold G. Shipp, (Harold's wife June Shipp). The home, although well built, lacks any unique or significant architectural design character and is not dissimilar from the other 1960's homes in the neighbourhood. The H.I.S. by David Small said the home did not warrant conservation, and proposed demolition.

There was a subsequent heritage application that went before the Heritage Advisory Committee on April 24, 2012 to propose Heritage Designation of the Harold Shipp house based on a corporate report from the Commissioner of Community Services. The report was prepared to counter the proposed demolition proposed in the David Small H.I.S. The Heritage Committee passed the recommendation that the house be designated because of its association with a prominent City resident in the face of vehement objection to the designation from Harold G. Shipp who said that although he had lived in the house for 43 years he never had owned the property as title was held in his wife's name. The Committee recommendation for designation was struck down by City Council with a majority of council siding with Mr. Shipp's objection to designation. The property was then sold unencumbered by the heritage designation, with the option open to demolish the home. The current owners, Li and Fiona Chia purchased the property on the 4th of June 2012 with this understanding.

 enjoy living in the home and have decided that instead of demolishing the home they wish to do substantial alterations to update the look of the home with a more contemporary feel. No additions are proposed. The alterations are more for aesthetic reasons and most all of the work proposed is to the exterior of the home.

Proposed Alterations to 500 Comanche Road

- The proposal calls for modifications to the existing 4-car garage. Currently there is an 18'-6" wide garage door facing north, and another 18'-6" wide door facing west. These allow entry to a 4 car garage from two different sides of the garage. The new proposal calls for the north garage door to be removed and relocated such that the entry to the existing 4 car garage is all from the west side.
- The proposal includes modifications to the existing driveway to allow entry to the new garage door entry location, and to better address the front of the dwelling with driveway approach by the front of the home rather than a direct approach to the garage doors.
- The new driveway will be stone pavers to allow water to infiltrate through and down into the water table. There will be some new flagstone and garden beds proposed at the front with all mature trees being maintained. There is no landscape alterations proposed to the rear of the home. The existing swimming pool and hard and soft landscape in the rear yard will all be maintained.
- There is an existing brick landscape wall at the front northwest corner of the house that will be removed.
- The alterations include 4 new dormers on the home's roof. The first dormer is centered over the front entrance. The second is centered over the existing kitchen window, and a third is centered over the garage doors. The forth is over the garage roof on the rear elevation. Two of these dormers allow light into the second storey, but most importantly they all add detail and curb appeal to the rather plain roof.
- The alterations include all new aluminium clad casement windows and aluminium clad doors on the exterior of the home. Many of the existing openings are being altered to accommodate different size windows and different placement of the windows. The front doors will likely be stained mahogany.
- Existing roof dormers on the rear of the home are being altered to contemporize them with flat roofs and larger overhangs and will be clad in aluminium.
- The front entrance is being reworked and flat roof canopies are being added above the front entry and the side entry doors also clad in aluminium.
- The roof overhangs are being cut back to achieve a more contemporary aesthetic with internalized eaves trough being detailed.
- The entire home will be clad in a new maintenance free composite siding by Swiss Pearl or equivalent. This new siding will be mounted over the existing brick and will dramatically alter the appearance of the home.
- A new painted metal roof will replace the existing cedar roof.
- The exterior metal spiral stair from the rear balcony will be removed.
- The interiors will stay largely as is with only a few modifications internally to the plans.

If there are any questions regarding the above, please do not hesitate to call me at the office at 905-842 1314.

Sincerely,



Geoff Roche
B.Arch., O.A.A.
GREN WEIS ARCHITECT AND ASSOCIATES

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| Drawing Issues/Revisions: | | | |



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OF
ARCHITECTS
F. Grenville Weis
F. GRENVILLE WEIS
LICENCE
3216

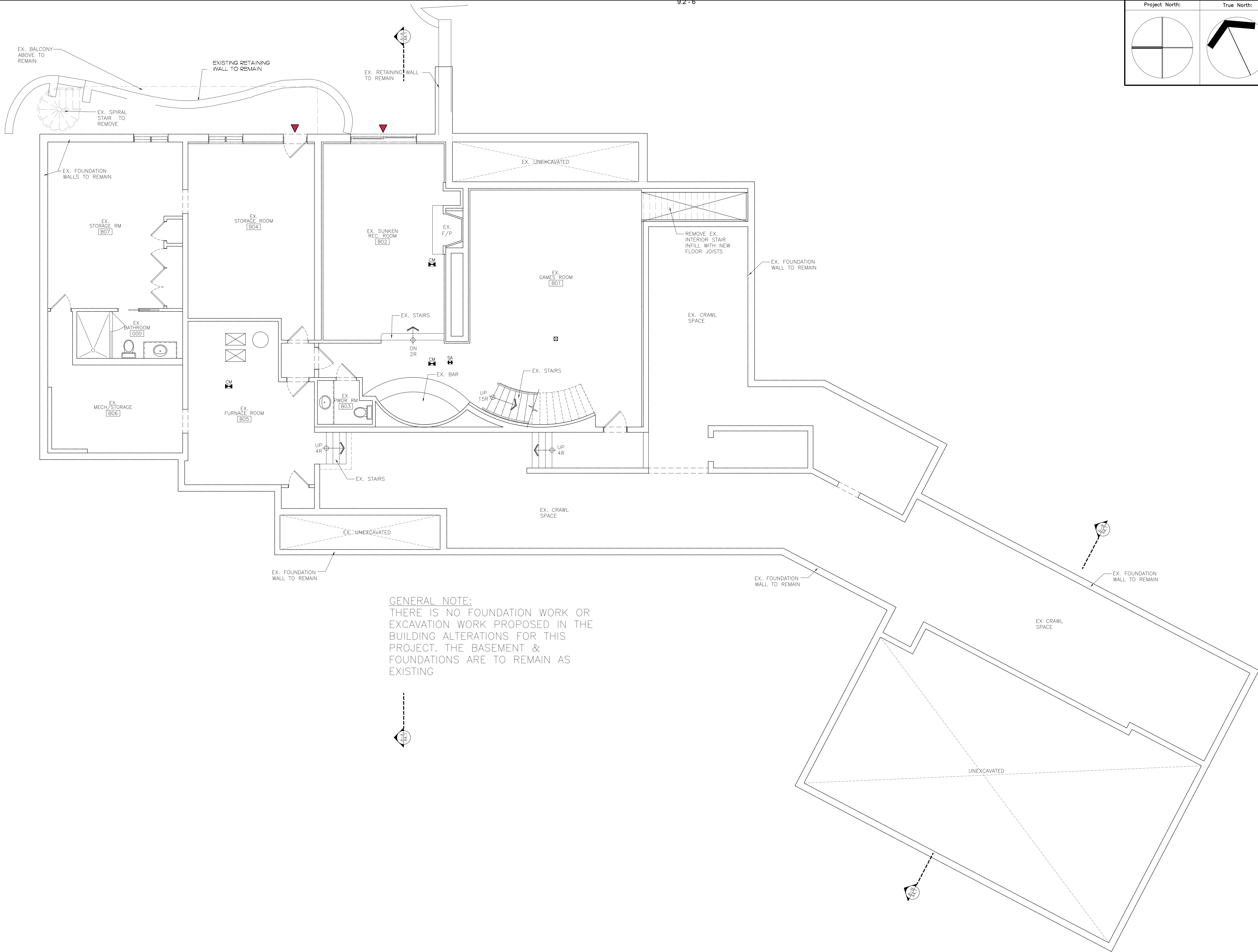
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AND ASSOCIATES

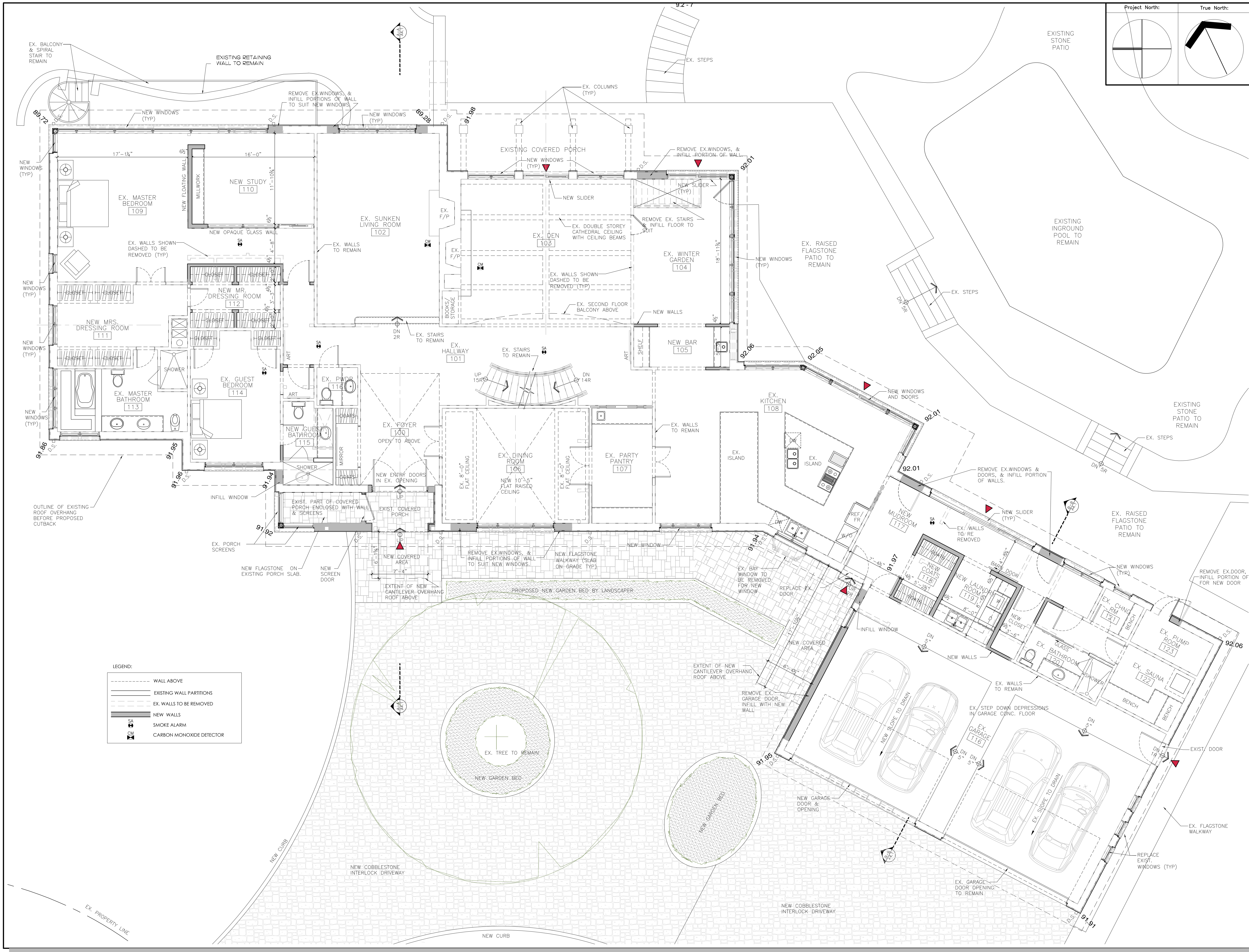
**500 Comanche Road, Mississauga, ON.
L5H 1W2
Lot 16, Part of Lot 15, & Part of Block A**

Owner: _ _ _
Address: 500 Comanche Road, Mississauga, ON.
Tel: 416 871 2018

Drawing No:

Of:






Space Reserved for City of Mississauga:

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|---------------------------|------------|-------------------------------|--------|
| 5 | Sept 10/18 | Iss. for HERITAGE permit | G.R. |
| 4 | June 12/18 | Revis'd & Iss. for CVC permit | G.R. |
| 3 | Aug 11/17 | Issued for Site Plan | G.R. |
| 2 | May 25/17 | Issued for client review | S.T.B. |
| 1 | Dec 5/16 | Issued for Pre-Application | S.T.B. |
| No. | Date: | Issue/Revision | By: |
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Architect

Consultant

GREN WEIS ARCHITECT AND ASSOCIATES

341 Kerr Street
Suite 210 Oakville
Ontario L6K 3B7
Tel (905) 842-1314
Fax (905) 842-1160

Project:

**500 Comanche Road, Mississauga, ON.
LSH 1W2
Lot 16, Part of Lot 15, & Part of Block A**

Sheet Title:

MAIN FLOOR PLAN

Owner:
Address: 500 Comanche Road, Mississauga, ON.
Tel: 416 871 2018

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| Design By: G.W. | Drawn By: GR | Approved By: G.W. |
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| 5 | Sept 10/18 | Iss. for HERITAGE permit | G.R. | | | |
| 4 | June 12/18 | Revis'd & Iss. for CVC permit | G.R. | | | |
| 3 | Aug 11/17 | Issued for Site Plan | G.R. | | | |
| 2 | May 25/17 | Issued for client review | S.T.B. | | | |
| 1 | Dec 5/16 | Issued for Pre-Application | S.T.B. | | | |
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OF
ARCHITECTS
for
F. GRENVILLE WEIS
LICENCE
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GREN WEIS ARCHITECT
AND ASSOCIATES

341 Kerr Street
Suite 210 Oakville
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**500 Comanche Road, Mississauga, ON.
L5H 1W2
Lot 16, Part of Lot 15, & Part of Block A**

SECOND FLOOR PLAN

Owner:
Address: 500 Comanche Road, Mississauga, ON.
Tel: 416 871 2018

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| Design By: G.W. | Drawn By: GR | Approved By: G.W. |
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41 Kerr Street
Suite 210 Oakville
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Tel (905) 842-1314
Fax (905) 842-1160

Project:

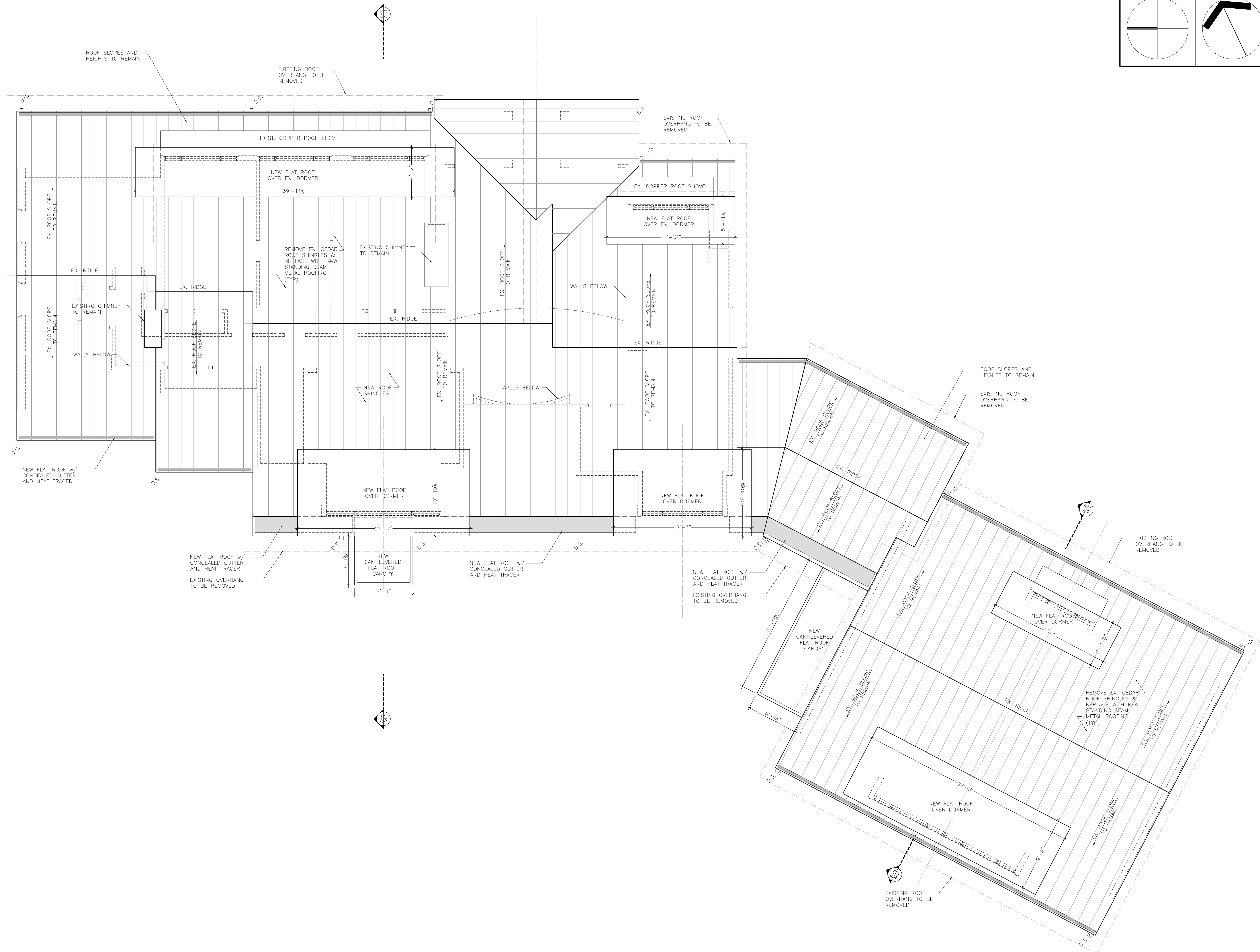
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John
F. GRENVILLE WEIS
LICENCE
3216

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**500 Comanche Road, Mississauga, ON.
L5H 1W2
Lot 16, Part of Lot 15, & Part of Block A**

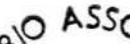
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Fax (905)842-1160

**500 Comanche Road, Mississauga, ON.
L5H 1W2
Lot 16, Part of Lot 15, & Part of Block A**

NORTH & WEST ELEVATIONS

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Address: 500 Comanche Road, Mississauga, ON.
Tel: 416 871 2018

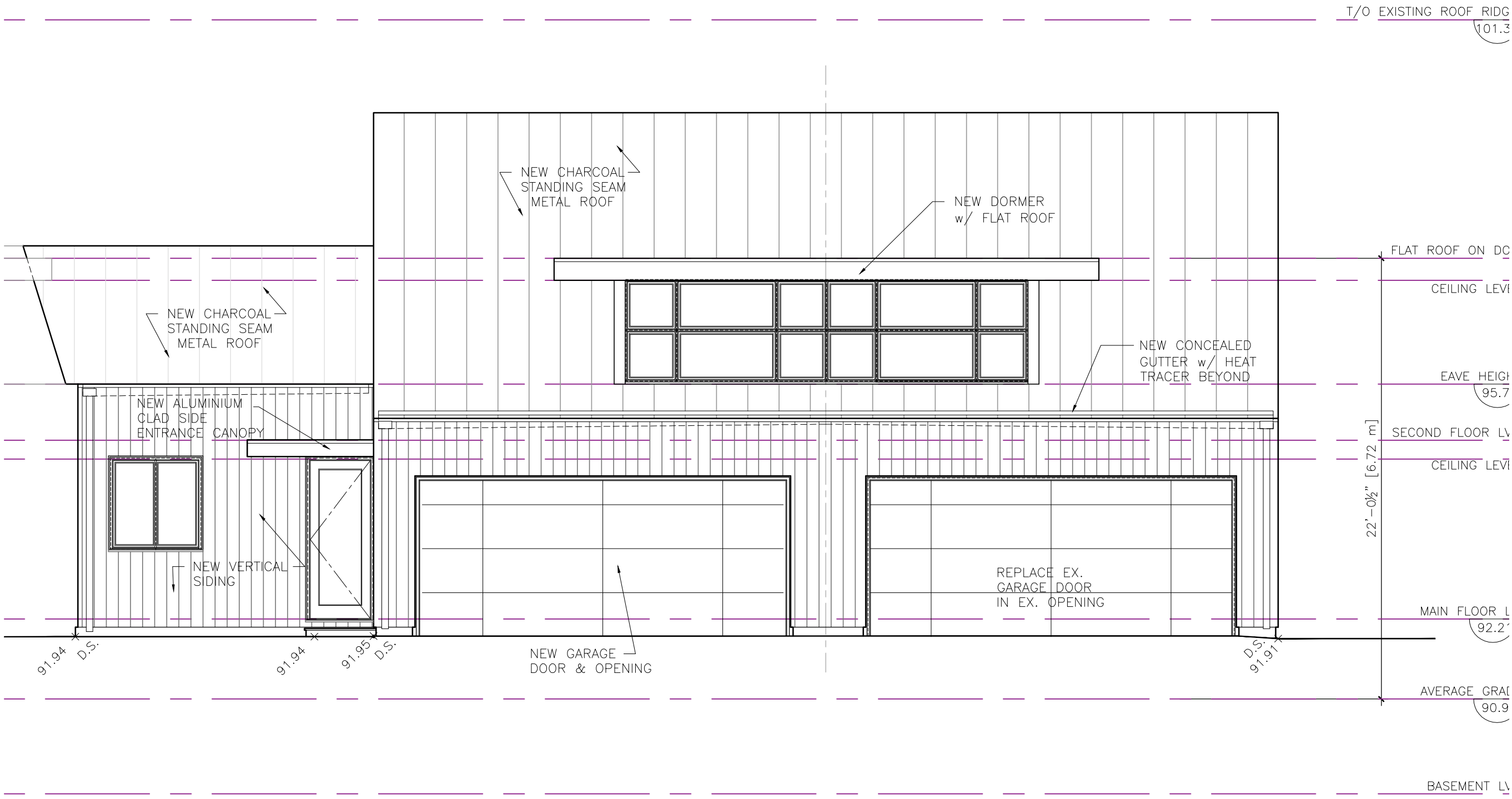
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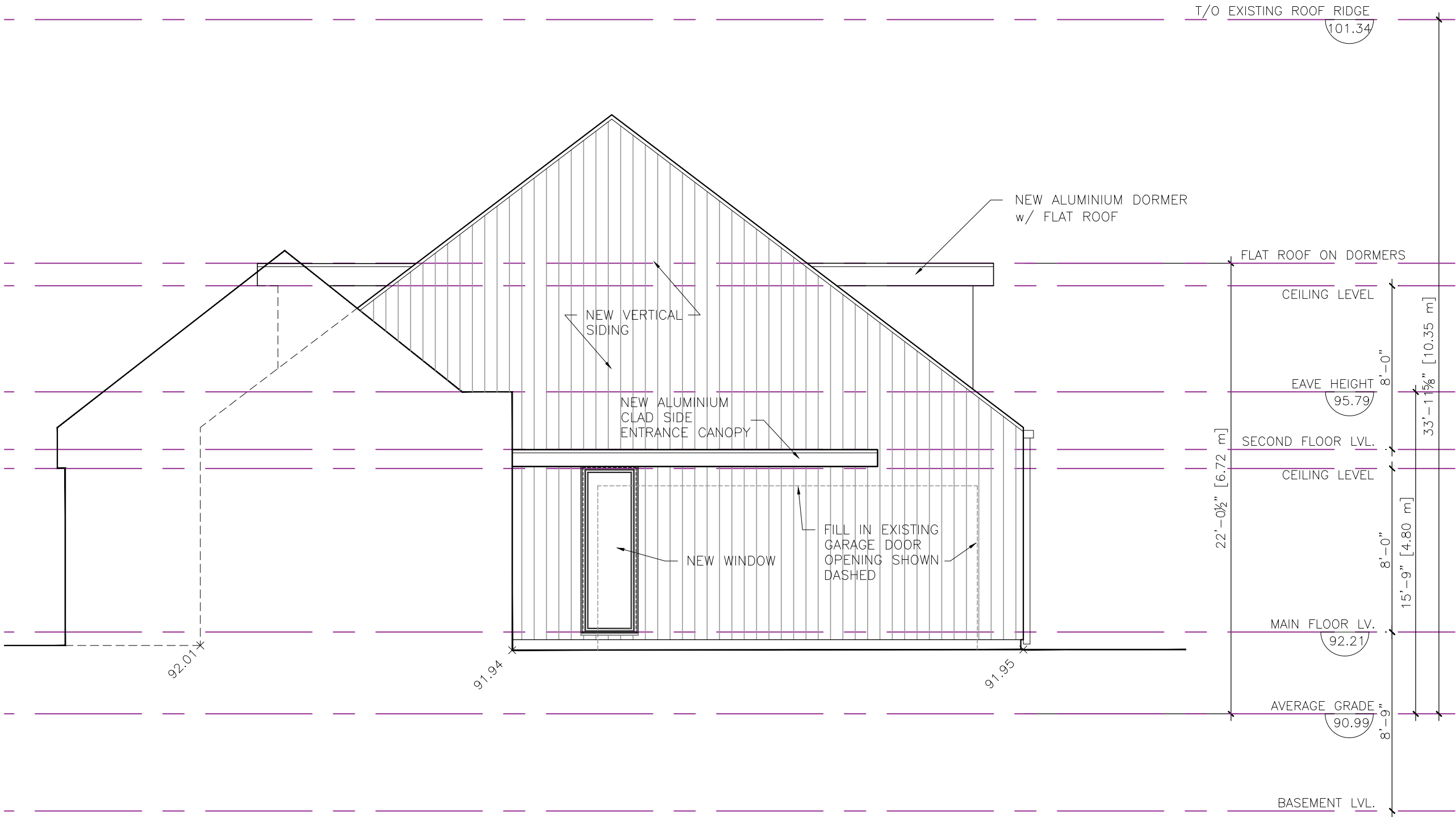
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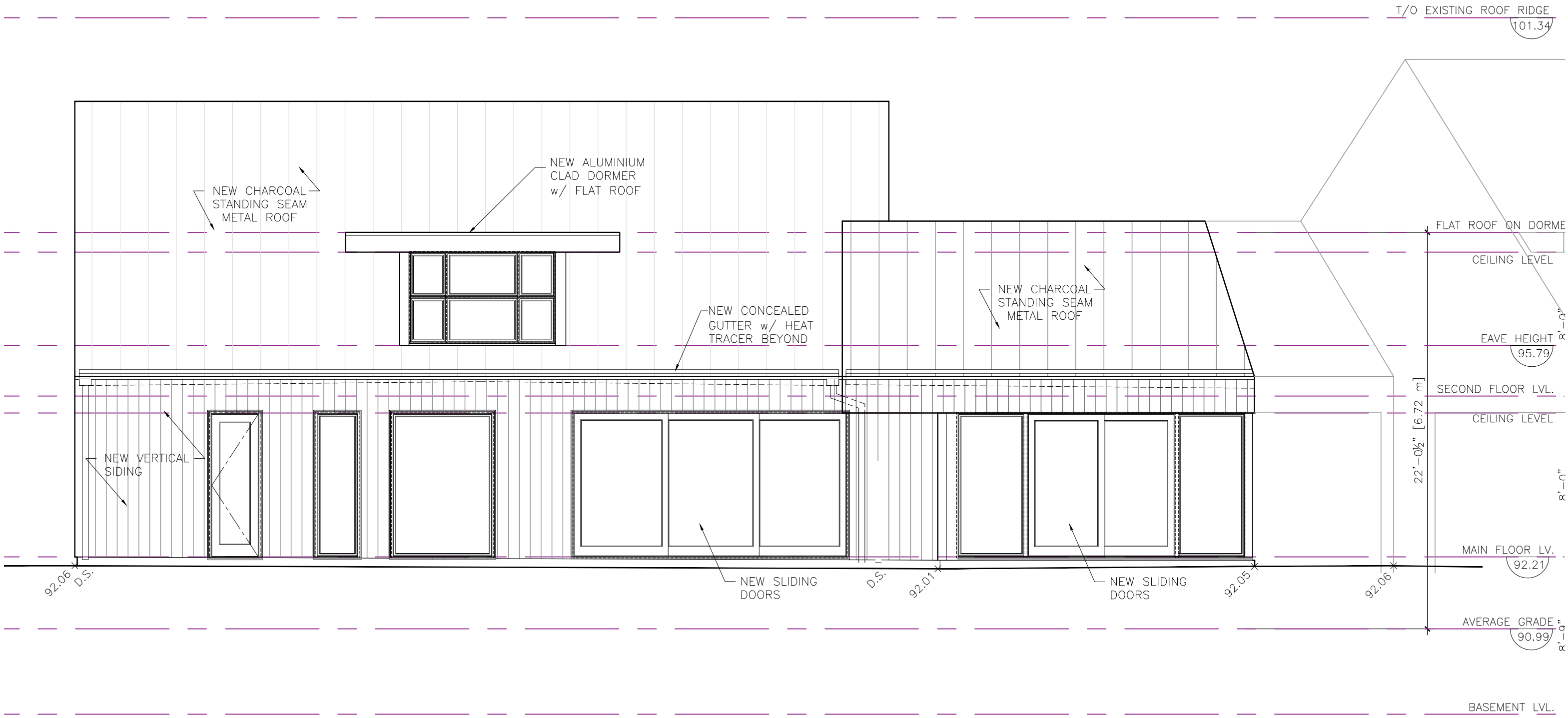
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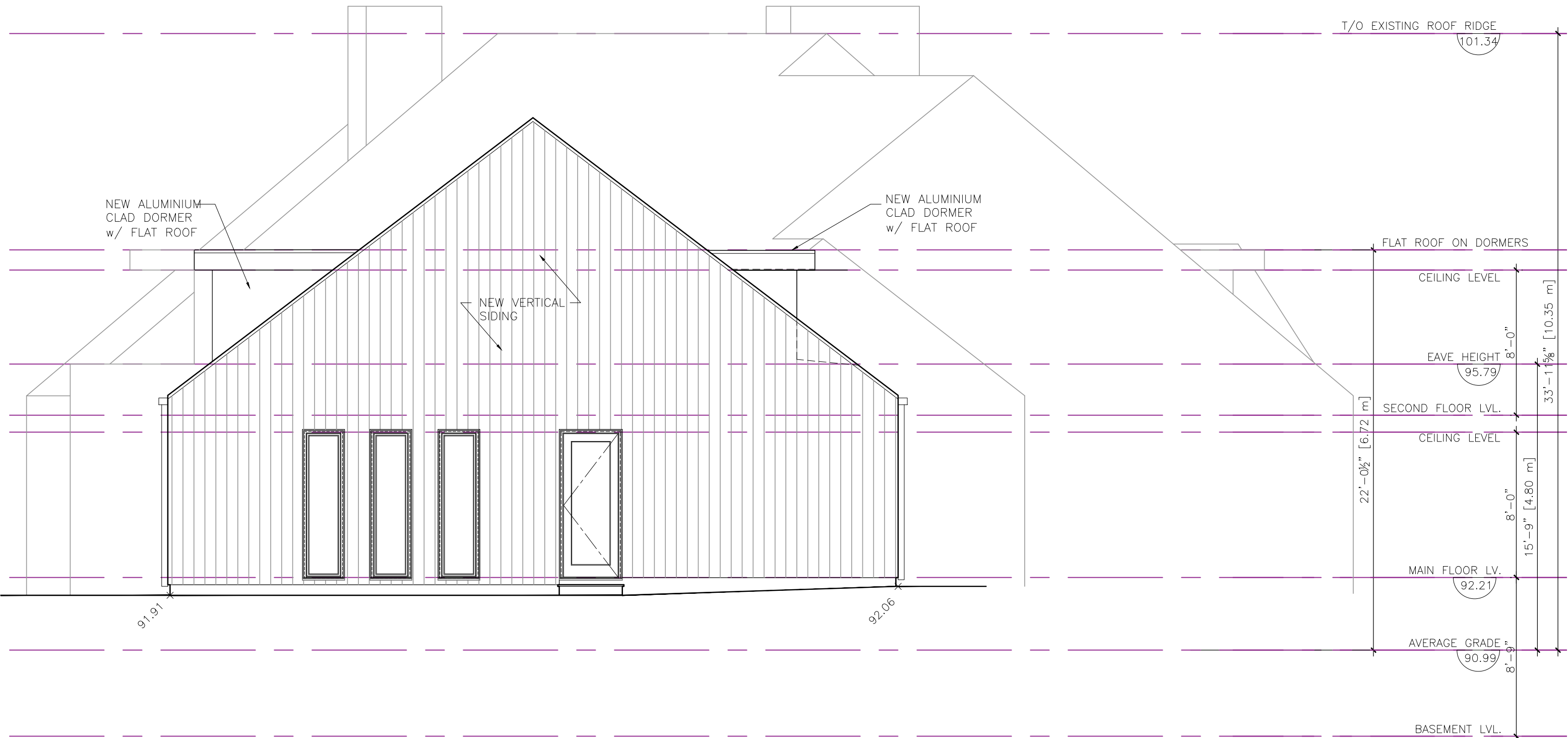
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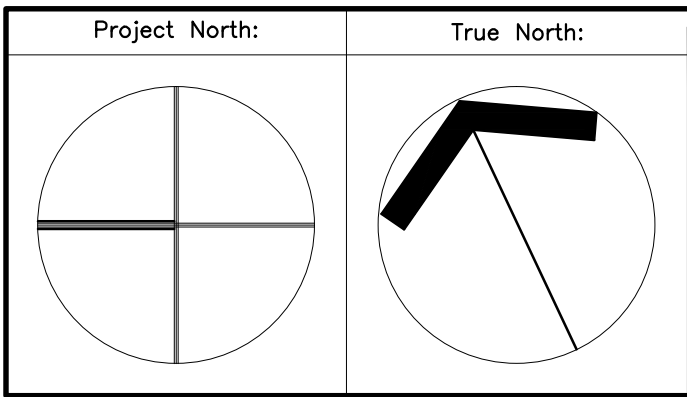
3 NORTH/WEST ELEVATION
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2 NORTH/EAST ELEVATION
A3.3



4 SOUTH/EAST ELEVATION
A3.3



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Architect Consultant

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Project:

**500 Comanche Road, Mississauga, ON.
L5H 1W2
Lot 16, Part of Lot 15, & Part of Block A**

Sheet Title:

**PARTIAL ELEVATIONS
ELEVATIONS**

Owner:
Address: 500 Comanche Road, Mississauga, ON.
Tel: 416 871 2018

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