
Heritage Advisory Committee

Date

2018/07/10

Time

9:30 AM

Location

Civic Centre, Council Chamber,
300 City Centre Drive, Mississauga, Ontario, L5B 3C1 Ontario

Members

Councillor George Carlson, Ward 11 (Chair)
Rick Mateljan, Citizen Member (Vice-Chair)
Councillor Carolyn Parrish, Ward 5
Michael Battaglia, Citizen Member
Elizabeth Bjarnason, Citizen Member
Robert Cutmore, Citizen Member
Lindsay Graves, Citizen Member
James Holmes, Citizen Member
Cameron McCuaig, Citizen Member
Melissa Stolarz, Citizen Member
Matthew N. Wilkinson, Citizen Member

Contact

Mumtaz Alikhan, Legislative Coordinator, Legislative Services
905-615-3200 ext. 5425
mumtaz.alikhan@mississauga.ca

NOTE: To support corporate waste reduction efforts the large appendices in this agenda can be viewed at:
<http://www.mississauga.ca/portal/cityhall/heritageadvisory.ca>

Find it Online

<http://www.mississauga.ca/portal/cityhall/heritageadvisory>

-
1. CALL TO ORDER
 2. APPROVAL OF AGENDA
 3. DECLARATION OF CONFLICT OF INTEREST
 4. MINUTES OF PREVIOUS MEETING
 - 4.1. Heritage Advisory Committee Minutes - June 5, 2018
 5. DEPUTATIONS
 6. PUBLIC QUESTION PERIOD - 15 Minute Limit (5 Minutes per Speaker)
Pursuant to Section 42 of the Council Procedure By-law 0139-2013, as amended the Heritage Advisory Committee may grant permission to a member of the public to ask a question of the Committee with the following provisions:
 1. The question must pertain to a specific item on the current agenda and the speaker will state which item the question is related.
 2. A person asking a question shall limit any background explanation to two (2) statements, followed by the question.
 3. The total speaking time shall be five (5) minutes maximum per speaker.
 7. MATTERS TO BE CONSIDERED
 - 7.1. Request to Alter a Heritage Designated Property: 5155 Mississauga Road (Ward 11)
 - 7.2. Request to Alter a Heritage Designated Property: 890 Enola Avenue (Ward 2)
 - 7.3. Request to Alter a Heritage Designated Property: 1507 Clarkson Road North (Ward 2)
 - 7.4. Request to Demolish a Heritage Listed Property: 2560 Mindemoya Road (Ward 7)
 - 7.5. Request to Demolish a Heritage Listed Property: 3075 Churchill Avenue (Ward 5)
 - 7.6. Request to Demolish a Heritage Listed Property: 3274 Mississauga Road (Ward 8)
 - 7.7. Request to Remove two barns on a Heritage Listed Property: 1200 Old Derry Road (Ward 11)
 8. SUBCOMMITTEE UPDATES
 - 8.1. Heritage Designation Sub-Committee
 - 8.2. Public Awareness Sub-Committee

9. INFORMATION ITEMS

9.1. New Construction Adjacent to a Listed Property: 1352 Nocturne Court9.2. Resignation of Melissa Stolarz, Citizen Member

10. OTHER BUSINESS

11. DATE OF NEXT MEETING - September 11, 2018

12. ADJOURNMENT

City of Mississauga Minutes



Heritage Advisory Committee

Date

2018/06/05

Time

9:30 AM

Location

Civic Centre, Council Chamber,
300 City Centre Drive, Mississauga, Ontario, L5B 3C1 Ontario

Members Present

Councillor George Carlson, Ward 11 **(Chair)**
Rick Mateljan, Citizen Member **(Vice-Chair)**
Councillor Carolyn Parrish, Ward 5
Elizabeth Bjarnason, Citizen Member
Lindsay Graves, Citizen Member
James Holmes, Citizen Member
Cameron McCuaig, Citizen Member
Melissa Stolarz, Citizen Member

Members Absent

Michael Battaglia, Citizen Member
Robert Cutmore, Citizen Member
Matthew N. Wilkinson, Citizen Member

Staff Present

Joe Muller, Supervisor, Heritage Planning
Paula Wubbenhorst, Heritage Planner, Culture Division
Irena Jurakic, Heritage Analyst
Mumtaz Alikhan, Legislative Coordinator

Find it online

<http://www.mississauga.ca/portal/cityhall/heritageadvisory>

1. CALL TO ORDER -9:06am
2. APPROVAL OF AGENDA R. Mateljan
3. DECLARATION OF CONFLICT OF INTEREST
Melissa Stolarz, Citizen Member, declared a conflict with Item 7.2.
4. MINUTES OF PREVIOUS MEETING
 - 4.1. Heritage Advisory Committee Minutes - May 8, 2018
APPROVED (Councillor C. Parrish)
5. DEPUTATIONS – Nil.
6. PUBLIC QUESTION PERIOD – Nil.
7. MATTERS TO BE CONSIDERED
 - 7.1. Request to Alter a Heritage Designated Property: 223 Queen Street South (Ward 11)
Corporate Report dated May 10, 2018 from Paul Mitcham, Commissioner of Community Services.

RECOMMENDATION
HAC-0060-2018
That the City approve the rebuilding, i.e. replication, of two of the chimneys at the heritage designated property at 223 Queen Street South, as per the Corporate Report dated May 10, 2018, from the Commissioner of Community Services.

APPROVED (L. Graves)

At this point, M. Stolarz left the meeting due to a conflict with Item 7.2.
 - 7.2. Rezoning 1141 Clarkson Road North (Heritage Listed Property) Ward 2
Memorandum dated May 1, 2018 from Paul Damaso, Director of Culture Division.

RECOMMENDATION
HAC-0061-2018
That the Memorandum dated May 1, 2018 from Paul Damaso, Director of Culture Division, entitled *Rezoning of 1141 Clarkson Road North (Ward 2)*, a Heritage Listed Property, be received for information.

RECEIVED (C. McCuaig)

At this point M. Stolarz returned to the meeting.

- 7.3. New Construction on Listed Property: 2208 Doulton Drive (Ward 8)
Memorandum date May 1, 2018 from Paul Damaso, Director of Culture Division.

RECOMMENDATION

HAC-0062-2018

That the Memorandum dated May 1, 2018 from Paul Damaso, Director of Culture Division, entitled *New Construction on Listed Property at 2208 Doulton Drive (Ward 8)*, be received for information.

RECEIVED (C. McCuaig)

8. SUBCOMMITTEE UPDATES

8.1. Heritage Designation Sub-Committee

Nil

8.2. Public Awareness Sub-Committee

Nil

9. INFORMATION ITEMS

10. OTHER BUSINESS

Cameron McCuaig advised the Committee that further to his presentation to the Environmental Action Committee (EAC) regarding a recommendation to “Inspire the world” that links heritage, environment and vision into one recommendation for Mississauga to become a world leader in building a net zero carbon city, he will be meeting with Mayor Bonnie Crombie and subsequently will be presenting at General Committee on June 13, 2018. He also spoke to the Canada Green Building Council Association new build standard, and that the Lakeview and Port Credit developers are very supportive of low carbon built forms.

11. DATE OF NEXT MEETING – July 10, 2018

12. ADJOURNMENT – 9:46am

City of Mississauga
Corporate Report



Date: 2018/06/14

To: Chair and Members of Heritage Advisory Committee

From: Paul Mitcham, P. Eng, MBA, Commissioner of
 Community Services

Originator's files:

Meeting date:
 2018/07/10

Subject

Request to Alter a Heritage Designated Property: 5155 Mississauga Road (Ward 11)

Recommendation

That the proposed alteration to 5155 Mississauga Road, as per the Corporate Report from the Commissioner of Community Services, dated June 14, 2018 be approved subject to the following conditions:

1. That if any changes result from other City review and approval requirements, such as but not limited to building permit, committee of adjustment or site plan approval, a new heritage permit application will be required. The applicant is required to contact Heritage Planning at that time to review the changes prior to obtaining other approvals and commencing construction.

Background

Section 33 of the Ontario Heritage Act requires permission from Council to alter property designated under Part IV of the Act. The City designated the subject property – the Barber House – under the Ontario Heritage Act in 1982 and amended the by-law in 2017. The by-law is attached as Appendix 1.

The owner of the property submitted an application, filed under OZ/OPA 16/011 and T-M 16003, to convert the Barber House into four back to back (two storey) condominium units and add sixteen townhouses on a common element condominium road along the north end of the property and four detached lots with double car driveways along Barbertain Road.

Heritage Advisory Committee	2018/06/14	2
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A Heritage Impact Assessment (HIA), details from the HIA, Conservation Plan, Arborist Report, Landscape Plan and details, budget, perspective drawings, elevation drawings of the townhouses and detached units were submitted as part of the related Heritage Permit application (see item 7.1 here:

https://www7.mississauga.ca/documents/committees/heritage/2018/2018_02_06_HAC_Agenda.pdf).

Heritage Advisory Committee recommended approval of a Heritage Permit for the above work on February 6, 2018. Subsequent to Council approval of the above Heritage Permit, Transportation and Works determined that the single detached dwelling on Barbertown Road located closest to Mississauga Road (Lot 21) requires an acoustic barrier, to accommodate amenity space in the rear yard. Because the approved Heritage Permit specified an ornamental metal fence in this location, the requirement to replace that with an acoustic barrier necessitates this Heritage Permit as an amendment to the previously approved plan.

Comments

The heritage designation by-law includes the following attribute: “views of the building from Mississauga Road and Barbertown Road, from the public realm (the sidewalk and road). This view is illustrated on page 46 (page 55 of the pdf) of the heritage designation amendment report (see item 7.1 here: https://www7.mississauga.ca/documents/committees/heritage/2016/10_11_15_16_HAC_Agenda.pdf.) As such, visibility of the entire south side of the main house is suggested as being the protected view from the public realm. This view would be compromised slightly with the subject proposal; i.e. the entire south side of the main house would not be visible from the public realm at Mississauga Road. 1100 mm high ornamental fencing, with 98 mm spacing of pickets at the rear of the lots facing Barbertown Road to provide more visibility was proposed and approved

With the Transportation and Works requirement for an acoustic barrier to accommodate amenity space in the rear yard of the single detached dwelling on Barbertown Road located closest to Mississauga Road (Lot 21), a scoped evaluation of alternatives was submitted with the Heritage Permit application, identifying the Living Wall as the preferred alternative (Appendix 2).

With the conditions outlined at the outset of this report, staff recommends that the proposal for installation of the Living Wall as an acoustic barrier be approved as it has the least impact on the property’s heritage attributes as set out in the recent heritage designation by-law amendment.

Financial Impact

There is no financial impact.

Conclusion

The owner of the subject property proposes to convert the Barber House into four condominium units, as approved by a prior Heritage Permit. A minor amendment to the plans replacing a portion of ornamental fence with a Living Wall acoustic barrier at the rear yard of Lot 21 is proposed, arising from a Transportation and Works requirement. As the proposal has a minimal impact on the property's heritage attributes, staff recommends approval.

Attachments

Appendix 1: Heritage Designation By-law

Appendix 2: Heritage Permit Evaluation of Alternatives



Paul Mitcham, P. Eng, MBA, Commissioner of Community Services

Prepared by: Joe Muller, Supervisor, Heritage Planning



CERTIFIED A TRUE COPY

[Signature]
 DIANA RUSNOV DEPUTY CLERK
 CITY OF MISSISSAUGA

THE CORPORATION OF THE CITY OF MISSISSAUGA

BY-LAW NUMBER 0056-2017

A by-law to amend By-law No. 368-82 being a By-law "to designate the 'William Barber House' located on the north-east corner of Mississauga Road and Barbertown Road of architectural and historical interest"

WHEREAS the *Ontario Heritage Act*, R.S.O. 1990, Chapter O.18, as amended (the "*Heritage Act*") authorizes the Council of a municipality to enact by-laws to designate real property including all the buildings and structures thereon, to be of cultural heritage value or interest;

AND WHEREAS By-law No. 368-82 designated the property known as the "William Barber House" located at 5155 Mississauga Road in the city of Mississauga (the "Property") as being of architectural and historical value or interest;

AND WHEREAS Council of The Corporation of the City of Mississauga, through Resolution No. 0238-2016, approved the enactment of a by-law to amend By-law No. 368-82 for the purpose of reflecting the Property's physical/design, historical/associative and contextual value;

AND WHEREAS in accordance with the *Heritage Act*, a Notice of Intention to Amend By-law No. 368-02 was published and served and no notice of objection to such amendment was received by the Clerk of The Corporation of the City of Mississauga;

NOW THEREFORE the Council of The Corporation of the City of Mississauga ENACTS as follows:

1. That By-law No. 368-82, being a By-Law "to designate the 'William Barber House' located on the north-east corner of Mississauga Road and Barbertown Road of architectural and historical interest" is hereby amended by replacing Schedule "A" attached thereto with Schedule "A" attached to this By-law.
2. That the City Clerk is hereby authorized to cause a copy of this By-law to be served upon the owner of the property located at 5155 Mississauga Road in the city of Mississauga (the "Property") and upon the Ontario Heritage Trust and to cause notice of this By-law to be published in a newspaper having general circulation in the city of Mississauga.
3. That Schedule 'A' forms an integral part of this By-law.
4. That the City Solicitor is hereby directed to register a copy of this By-law against the Property, in the proper land registry office.

ENACTED AND PASSED this 26 day of April, 2017.

APPROVED AS TO FORM City Solicitor MISSISSAUGA			
<i>mBeck</i>			
Date	2017	04	20

Bonnie Crombie
 MAYOR

Crystal Green
 CLERK

SCHEDULE 'A' TO BY-LAW NO. 0056-2017**William Barber House property, 5155 Mississauga Road****Description of Property**

The Barber Villa is a 19th century large brick building, originally constructed as the residence for William Barber, mill owner, and his family, on a large estate property in close proximity to the south end of Streetsville, in the Regular Villa style including a two-storey service wing. The property also contains a secondary brick outbuilding, partial original driveway and stone markers and has a prominent setback from Mississauga Road and Barbertown Road, being visible from the property lines along both roads.

The property is located at 5155 Mississauga Road, in Part of Lot 1, Concession 4, West of Hurontario Street (WHS), City of Mississauga, designated as Part 2, Plan 43R-9468.

Statement of Cultural Heritage Value or Interest

5155 Mississauga Road's cultural heritage value is derived from its design, associative, and contextual values.

The villa is a representative example of the Regular Villa style of architecture, popular style employed in the regions surrounding Ontario's urban centres (Toronto and Kingston) in the mid to late 19th century in the design of estate houses for the upper middle class. The villa's relatively simple form and massing is made elaborate with applied architectural features of various stylistic influences, such as the paired brackets, dentils, veranda treillage, and the balustrade enclosing the second-storey balcony at the west elevation's centre bay.

The property's cultural heritage value resides in its association with William Barber, the original owner of the house and co-owner of the successful Toronto Woollen Mills complexes, remnants of which exist and are located on the nearby banks of the Credit River, and was one of the area's largest employers. The property is also associated with Charles H. R. Riches, an entrepreneurial attorney who founded one of the first patent law practices in Upper Canada. It is attributed to have been constructed by Robert Leslie, a prolific Streetsville-based contractor who was a part of one of Streetsville's early settler families, and who is credited with the construction of other significant surviving 19th century estates within the contemporary boundaries of the City of Mississauga.

The property's cultural heritage value is also reflected in its contextual importance as one of the few remaining estates of one of Streetsville's prominent families, and as a landmark for the historic southern approach to the town. Its significant setback from the front and side lots lines, its central placement on the lot, and its raised ground floor reinforce its prominence. It also provides a link between the extant Toronto Woollen Mills complex on the Credit River and the purpose-built worker's houses located on Barbertown Road.

The property's cultural heritage value is closely related to its placement on Mississauga Road, a designated Scenic Route that has been an important artery through the region historically and to the present day. As one of the earliest and more prominent estates along the road, and, having persisted through the 20th century relatively unchanged, 5155 Mississauga Road is significant in having influenced the pattern of residential development along Mississauga Road, defined by large lots, single-family homes, and generous front lot setbacks with extensive landscaping.

Description of Heritage Attributes

The attributes below contribute to an understanding of the identified cultural heritage value and interest of 5155 Mississauga Road, and should be preserved. An illustrated statement of significance (appendix B) indicates the location of each of the heritage attributes below on the property. The 2003 and remnants of the 1984 additions have not been identified as heritage attributes.

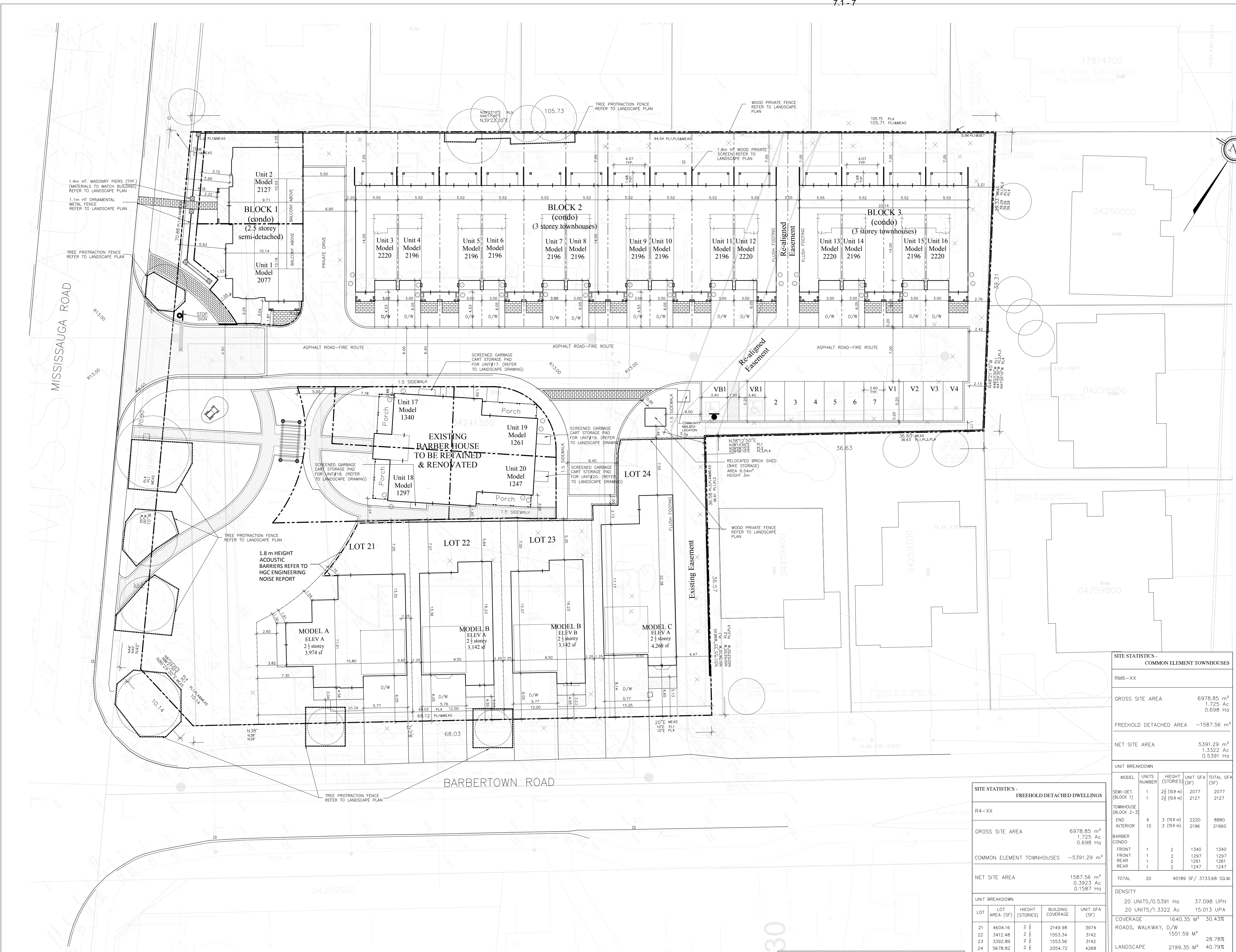
Design/Physical Value:

- the scale and massing of the two-storey main building, including east wing;
- the running bond load bearing brick walls;
- the stone foundations;
- the raised ground floor;
- the hipped roof of the villa, and gabled roof of the east wing, both clad in shingles;

- the paired internally bracketed chimneys;
- the symmetrical division of the south and west elevations into 3 and 5 bays, respectively;
- the central projecting portico on the west elevation;
- the elliptical arch openings at the central portico;
- the original masonry window and door openings and their flat brick arches;
- the interior and exterior front doors, transom and sidelights;
- the upstairs door to umbrage and balcony;
- the six-over-six configuration of the windows: the remaining original wood frames, brick moulds and wood lugsills;
- the eaves, cornice and fascia, with paired brackets and dentils;
- the gable end on the west elevation, with cornice, profiled finial and dropped post, and triangular scalloped-edge brick inset;
- the verandas with tented roofs resting on thin paired posts, between which span elliptical arches with drop pendants and fretwork;
- the secondary outbuilding to the north of the villa, including:
 - the pointed arch windows in the gable ends, and
 - the running bond brick walls;

Contextual Value:

- the villa's prominent set-back from Mississauga and Barbertown Roads; views of the building from Mississauga Road and from the corner of the lot at Mississauga Road and Barbertown Road, from the public realm (the sidewalk and road)



LEGEND

PROPOSED GRADES
● LOT CORNER

PROPOSED GRADE
X 211.0
HIGH POINT @ PROPERTY LINE
HIGH POINT @ BUILDING

FINISHED FLOOR LEVEL

FFL

DIRECTION OF FLOW

TFW

TOP OF FOUNDATION WALL

FBF

FINISHED BASEMENT SLAB

USF

UNDERFLOOR OF FOOTINGS

STREET LIGHT

HYDRANT

TRANSFORMER

BELL PEDESTAL

CABLE TV PEDESTAL

CATCH BASIN

VALVE CHAMBER

DOWNSPOUT

COMMUNITY MAILBOX

STORM & SANITARY CONNECTION

EXTERIOR DOOR LOCATION

SWALE DIRECTION

STANDARD PLAN

REVERSE PLAN

"STOP" SIGN

ACCESSIBLE PARKING SIGN

HYDRO METER

GAS METER

SANITARY MANHOLE

STORM MANHOLE

SANITARY PIPE

STORM PIPE

WATER PIPE

HYDRO LINE

GAS MAIN

SOUND BARRIER FENCE

3/0 AND TRIPLEX AC COMPT 600V

ALPFI PVCII SECONDARY CABLE

PROPERTY LINE

DROPPED CURB

MUNICIPAL ADDRESS (UNIT)

SIGNED CONDOMINIUM DECLARATION
FOR TOWNHOUSE RESIDENTIAL DEVELOPMENT
AS FOLLOWS:

DOMINION OF CANADA

PROVINCE OF ONTARIO

REGIONAL MUNICIPALITY OF PEELE

TO WIT:

MADE DATH AND SAY AS FOLLOWS:

1. I AM THE PRESIDENT OF
WHICH IS THE OWNER AND BUILDER OF SINGLE FAMILY
CONDOMINIUM UNITS.

2. THAT THE SAID TOWNHOUSE RESIDENTIAL BUILDINGS ARE
BEING BUILT TO BE SOLD AS TOWNHOUSE FREEDHOLD
RESIDENTIAL BUILDINGS ON PROPERTY DESCRIBED
ABOVE.

3. THE CITY OF MISSISSAUGA DOES NOT REQUIRE OFF SITE
SNOW REMOVAL/HOARDING, IN THE CASE OF HEAVY SNOW FALLS,
THE LIMITED SNOW STORAGE SPACE AVAILABLE ON THE PROPERTY
MAY MAKE IT NECESSARY TO TRUCK SNOW OFF THE SITE AND THE
COST OF SAME WILL BE INCLUDED IN THE COMMON EXPENSE FEES.

AND I MAKE THIS SOLEMN DECLARATION
CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND
KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT
AS IF I MADE IT UNDER OATH.

DECLARED BEFORE ME AT THE

IN THE MUNICIPALITY OF

THIS DAY OF

200...

A COMMISSIONER ETC.

NOTE

The fire access route will be designed to support a load of
not less than 11,363kg per site and there a change in gradient
of not more than 1 in 12.5 over a minimum distance of 15m.
The fire route will be designated as per Bylaw 1030-01 as amended.

NOTE

Where possible building design & site design have been implemented
to conserve energy & water. Wherever possible buildings have been designed,
oriented and landscaped to minimize interior heat loss and to capture &
& retain solar heat energy in winter & to minimize solar heat penetration
in summer.

NOTE

Where the municipal right-of-way being performed by the City's
contractor will require 4 to 6 weeks notice prior to commencement of
construction offer all drawings have been approved and securities have
been received.

NOTE

The City of Mississauga does not require off site snow removal, however
in the case of heavy snowfalls, the limited snow storage space available
on the property may make it necessary to truck snow off the site and the
cost of same will be included in the common expenses fees.

NOTE

Satisfactory arrangements are to be made with the Transportation and Works
Department for the erection and maintenance of hoarding adjacent to all
existing residential properties throughout all phases of construction.

NOTE

Satisfactory arrangements are to be made with the
Transportation & Works Departments for the erection &
maintenance of hoarding adjacent to all existing
residential properties throughout all phases of construction.
The applicant will erect and maintain snow fencing adjacent
to all existing residential properties throughout all phases
of construction.

NOTE

Walkways, ramps, curb cuts
must be provided and conform to the Ontario Building
Code 1997-Section 3.8 Barrier-Free Design.

NOTE

All surface drainage will be self contained, collected and discharged
at a location to be approved prior to the issuance of a building permit.

NOTE

The portion of the driveway within the municipal boulevard
will be paved by the applicant.

NOTE

At the entrances to the site the municipal sidewalk
will be continuous through the driveway.

NOTE

All internal curbing shall be OPSD 600.070,
standard two stage curb and gutter.

NOTE

Driveways to be asphalt. Paths from driveways
to entry to be concrete paving min. 3.80m wide.

NOTE

The Acoustical Consultant shall certify that the buildings and
conditioning condenser units are in compliance with the
acoustical analysis prepared for the particular building.

NOTE

I, I hereby certify that this drawing conforms in all respects
to the site development plans as approved by the City
of Mississauga under file number:
Architect's or Engineer's Signature
(If applicable) and Professional Seal:
i) "The City of Mississauga requires that all working drawings
submitted to the Building Division as part of an application
for the issuance of a building permit shall be certified by the
architect or engineer as being in conformity with the
development plans as approved by the City of Mississauga."
ii) "All exterior lighting will be directed onto the site
and will not intrude upon the adjacent properties."
iii) "All roof top mechanical units shall be screened
from view by the applicant."
iv) "Parking space(s) reserved for people with disabilities must be
identified by a sign installed at the applicant's expense.
In accordance with the design specifications of
Schedule 2 & 3 of By-law 001-2009."
v) "The applicant will be responsible for ensuring the all plans
conform to Transport Canada's restrictions."
vi) "Grades will be met within a 33% maximum slope at
the property lines and within the site."
vii) "All damaged areas are to be reinstated with topsoil and
seed prior to release of securities."
viii) Storage shown on the site development plans
is for information purposes only.
All signs will be subject to the provisions of Sign
By-law 0054-2002, as amended and a separate sign
application will be required through the Building Division.
ix) "Any fencing adjacent to municipal lands
is to be located 15cm(6.0in) inside the property line."
x) Only "shielded" lighting fixtures are permitted for all
development, except for detached and semi-detached
dwellings within 60 m (196.8 ft) of a residentially zoned
property and must conform to the Engineer Certified Lighting Plan.
xi) The Engineer Certified Lighting Plan must be signed by
the consulting Engineer.
xii) The Owner, covenants and agrees to construct and install
"shielded" lighting fixtures on the subject lands, in conformity
with the Site Plan and Engineer Certified Lighting Plan to the
satisfaction of the City of Mississauga.
xiii) The applicant will be responsible for ensuring the all plans
conform to Transport Canada's restrictions.
xiv) Where planting is to be located in landscape areas on top of an
underground parking structure, it is the responsibility of the applicant to
arrange the coordination of the design of the underground parking structure
with the Landscape Architect and the Consulting Engineer. Underground
parking structures with landscaping are to be capable of supporting the
following loads:
- 15 cm of drainage gravel plus 40 cm topsoil for seed
- 15 cm of drainage gravel plus 60 cm topsoil for shrubs
- 15 cm of drainage gravel plus 90 cm topsoil for trees
or
- Prefabricated sheet drain system* with a compressive strength of 1003 Kpa
plus 40 cm topsoil for seed
- Prefabricated sheet drain system* with a compressive strength of 1003 Kpa
plus 60 cm topsoil for shrubs
- Prefabricated sheet drain system* with a compressive strength of 1003 Kpa
plus 90 cm topsoil for trees
* Tensarflex 900 or approval equal
xv) The structural design of any retaining wall over 0.6m
in height or any retaining wall located on
a property line is to be shown on the Site
Grading Plan for this project and is to be
approved by Consulting Engineer for the project.
xvi) Continuous 15 cm high barrier type poured concrete curbing will be
provided between all asphalt and landscaped area throughout the site.
xvii) Tree Protection Note:
The applicant is responsible for ensuring that tree protection hoarding is
maintained throughout all phases of demolition and construction in the
location and condition as approved by the Planning & Building Department.
No materials (building materials, soil, etc.) may be stockpiled within the
area of hoarding. Failure to maintain the hoarding as originally approved or
the storage of materials within the hoarding will be cause for the Letter
of Credit to be held for two (2) years following completion of all site works.

KEY PLAN

NTS

04.11.18

FP

ADDED SETBACKS TO BRICK SHED (BKE STORAGE)

03.04.18

FP

ADDED SETBACKS TO BLOCK 1 PER ZONING PROP.

03.01.18

SP

REVISED BLOCK 1 AS PER LANDSCAPE DRAWINGS

02.15.18

FP

REVISED ROADS/STREET PAV. PER PLANNER/CITY

02.13.18

FP

REV. UNITS 1, 2 FOOTPRINTS, STATISTICS

02.07.18

FP

REV. UNITS 1, 2 FOOTPRINTS, STATS & ACCESS ROAD

02.02.18

FP

REV. FRONT SETBACK UNITS 1 & 2

02.02.18

FP

REV. BLOCKS 1 & 2 FOOTPRINTS/LOCATION, PER CITY

12.15.17

CZ

revised site plan

10.25.17

CZ

UPDATED FOR SUBMISSION

10.19.17

CZ

UPDATED GARAGE CART PAD LOCATIONS
AND LANDSCAPING, WALKWAY

10.18.17

CZ

UPDATED SITE STATS PER NEW LAYOUT

09.15.17

SP

REVISED ROAD AS PER PAV. STANDARDS

09.11.17

SM

UPDATED AS PER CONCEPT PLAN BY NSH

05.12.17

CZ

UPDATED STATS PER PLANNER

03.22.17

CZ

UPDATED FOR SUBMISSION

03.20.17

CZ

Added typical building envelope

03.14.17

CZ

REVISED PARKING LOT 5 & 8 AS PER
TRAFFIC ENG. STUDY

03.01.17

CZ

RELOCATED HANDICAP PARKING

02.22.17

CZ

ADDED LOT FRONTING AND LOT AREA INTO SITE STATS

02.15.17

CZ

General Revision per City Park meeting

02.08.17

CZ

INCREASED LOT 5 WIDTH FROM 12M TO 15M

02.06.17

CZ

INCREASED LOT 4 & 5 WIDTH FROM 12M TO 15M

01.05.17

CZ

Revised the proposed landscape lots to 5 detached lots
Updated site statistics

11.28.16

CZ

UPDATED UNIT 2.3.5.9 AND STATS

11.02.16

CZ

ADDED D/W WIDTH DIMENSION AND NOTES

09.21.16

CZ

UPDATED BARBER HOUSE PLAN PER DESIGN

05.31.16

CZ

REMOVED SIDEWALK & REINSTATE
BARBER HOUSE, PARKING LOTS

05.27.16

CZ

REVISION

05.24.16

CZ

ADDED GAS & HYDRO METERS INTO.

05.19.16

CZ

REMOVED COMMERCIAL

05.13.16

CZ

ADDED 4 UNIT ART. REV. STATS

05.06.16

CZ

ADDED NOTES

04.06.16

CZ

UPDATED BUILDING FOOTPRINT

02.01.16

CZ

UPDATED PER CAD SURVEY

01.25.16

CZ

UPDATED BLOCK 4 & 5

01.12.16

CZ

UPDATED SITE STATISTICS

01.11.16

CZ

REVISED PROJECT NAME

01.08.16

CZ

NEW OPTION

11.06.15

CZ

NEW OPTION

10.01.15

JMM

REV. SIDEWALK (2.0M), STATISTICS

08.06.15

CZ

PRELIMINARY SITE PLAN

Date

Ref.

Description

Drawn

CZ

Date

08/06/15

Checked

Approved

Printed

10.25.17

CAD File

15-1276-SP39.DWG

The Architect has not been retained to
carry out general review of the work
and assumes no responsibility for the
failure of the contractor or sub-contractors
to carry out the work in accordance
with the Contract Documents.
Single pages of documents are not to be
read independently of all pages of the
Contract Documents.

The contractor shall verify all dimensions
on the Contract Documents. Any discrepancies
prior to the commencement of the work.
Under no circumstances shall the Contractor
or sub-contractors proceed in uncertainty.

Do not scale drawings.

flanagan
beresford
& patterson
architects

70 Sifton Road, Unit,
Woodbridge, Ontario
L4L 8B9 Tel: (905) 265-2688
Fax: (905) 265-2685

0Z/OPA 16 11&21T-M16003 W11

CITY PARK
(OLD BARBER)
HOMES INC.

9500 Nashville Road Kleinburg,
Ontario L4J 1C3
Tel: 905-552-5200
Fax: 905-552-5201

PROPOSED RESIDENTIAL
DEVELOPMENT

STREETVILLE, MISSISSAUGA
ONTARIO

Sheet Title

SITEPLAN

Scales

1:250

Revisions

15-1276-SP1

Black Letter "P"
Legend and
Border
2 cm Red Reflective
Annular Band
1.5 cm Red
Reflective
Interdisciplinary Stroke
Blue Reflective
Background and
Outline
White Reflective
Symbol and Border

Black Letter "P"
Legend and Border
White Reflective
Background
Black Colour Font,
(Min. 25mm size)

BY PERMIT
ONLY

VAN
ACCESSIBLE

SITE STATISTICS - FREEHOLD DETACHED DWELLINGS			
R4-XX			
GROSS SITE AREA			
6978.85 m ² 1.725 Ac 0.698 Ha			
COMMON ELEMENT TOWNHOUSES			
-5391.29 m ²			
NET SITE AREA			
1587.56 m ² 0.3923 Ac 0.1587 Ha			
UNIT BREAKDOWN			
LOT	LOT AREA (SF)	HEIGHT (STORES)	UNIT GFA (SF)
21	4604.16	2 1/2	2149.98
22	3412.48	2 1/2	1553.34
23	3392.80	2 1/2	1553.56
24	5678.82	2 1/2	2054.72
TOTAL	4		14526 SF / 1349.51 SQ.M.
DENSITY			
4 UNITS/0.1587 Ha			
4 UNITS/0.3923 Ac			
25.205 UPH			
10.196 UPA			
COVERAGE			
679.27 M ²			
42.79%			
LANDSCAPE			
151.71 M ²			
9.56%			
PARKING			
4 CARS PER UNIT (4 LOTS)			
2 IN GARAGE 2 IN DRIVEWAY			
16			
TOTAL G.F.A.			
1349.51 m ²			
F.S.I. 1349.51/1587.56 = 0.8501			

SITE STATISTICS - COMMON ELEMENT TOWNHOUSES			
RM6-XX			
GROSS SITE AREA			
6978.85 m ² 1.725 Ac 0.698 Ha			
FREEHOLD DETACHED AREA			
-1587.56 m ²			
NET SITE AREA			
5391.29 m ² 1.3322 Ac 0.5391 Ha			
UNIT BREAKDOWN			
MODEL	UNITS	HEIGHT (STORES)	TOTAL GFA (SF)
SEMI-DET. (BLOCK 1)	1	2 1/2 (109 m)	2077
TOWNHOUSE (BLOCK 2-3)	1	2 1/2 (109 m)	2127
END INTERIOR	4	3 (109 m)	2220
BARBER CONDO	10	3 (109 m)	2196
FRONT	1	2	1340
REAR	1	2	1297
REAR	1	2	1261
REAR	1	2	1247
TOTAL	20	40189 SF / 3733.68 SQ.M.	
DENSITY			
20 UNITS/0.5391 Ha			
20 UNITS/1.3322 Ac			
37.098 UPH			
15.013 UPA			
COVERAGE			
1640.35 M ²			
30.43%			
ROADS, WALKWAY, D/W			
1551.59 M ²			
28.78%			
LANDSCAPE			
2199.35 M ²			
40.79%			
PARKING: SEMI-DETACHED			
2 cars per unit (1 in garage, 1 in driveway)			
28			
VISITOR PARKING: required			
(0.25 units x 16 units = 4.00)			
4			
COVERAGE			
679.27 M ²			
42.79%			
LANDSCAPE			
151.71 M ²			
9.56%			
PARKING			
4 CARS PER UNIT (4 LOTS)			
2 IN GARAGE 2 IN DRIVEWAY			
16			
TOTAL G.F.A.			
1349.51 m ²			
F.S.I. 1349.51/1587.56 = 0.8501			

SITE STATISTICS - TOWNHOUSE			
UNIT FRONTAGE AND COVERAGE			
LOT NUMBER	FRONTAGE (m)	LOT AREA (m ²)	COVERAGE
1	13.09	213.83	
2	12.08	184.33	
3	6.75	171.00	
4	5.52	141.20	
5	5.52	141.20	
6	5.52	141.20	
7	5.52	141.20	
8	5.52	141.20	
9	5.52	141.20	
10	5.52	141.20	
11	5.52	141.20	
12	7.08	180.98	
13	7.08	180.98	
14	5.52	141.20	
15	5.52	141.20	
16	8.49	222.62	
17	15.61	124.59	
18	5.00	231.02	
19	8.75	105.35	
20	8.05	117.86	
NOTE:			
The lot frontage, lot area, and lot coverage as currently shown are not certified.			
The lot frontage, lot area calculations will be certified by an accredited Ontario Land Surveyor at the time of creating the parcels of land through the registration of a reference plan when the Condominium application is processed.			
SITE STATISTICS - FREEHOLD SINGLES			
R4-XX			
UNIT FRONTAGE AND COVERAGE			
LOT NUMBER	FRONTAGE (m)	LOT AREA (m ²)	COVERAGE
21	20.28	427.74	199.74 46.70%
22	12.00	317.03	144.31 45.52%
23	12.00	315.21	144.33 45.78%
24	15.25	527.58	180.89 36.18%

NOTE:

The lot frontage, lot area, and lot coverage as currently shown are not certified.

The lot frontage, lot area calculations will be certified by an accredited Ontario Land Surveyor at the time of creating the parcels of land through the registration of a reference plan when the Condominium application is processed.

15 cm of drainage gravel plus 40 cm topsoil for seed

15 cm of drainage gravel plus 60 cm topsoil for shrubs

15 cm of drainage gravel plus 90 cm topsoil for trees

or

Prefabricated sheet drain system* with a compressive strength of 1003 Kpa plus 40 cm topsoil for seed

Prefabricated sheet drain system* with a compressive strength of 1003 Kpa plus 60 cm topsoil for shrubs

Prefabricated sheet drain system* with a compressive strength of 1003 Kpa plus 90 cm topsoil for trees

* Tensarflex 900 or approval equal

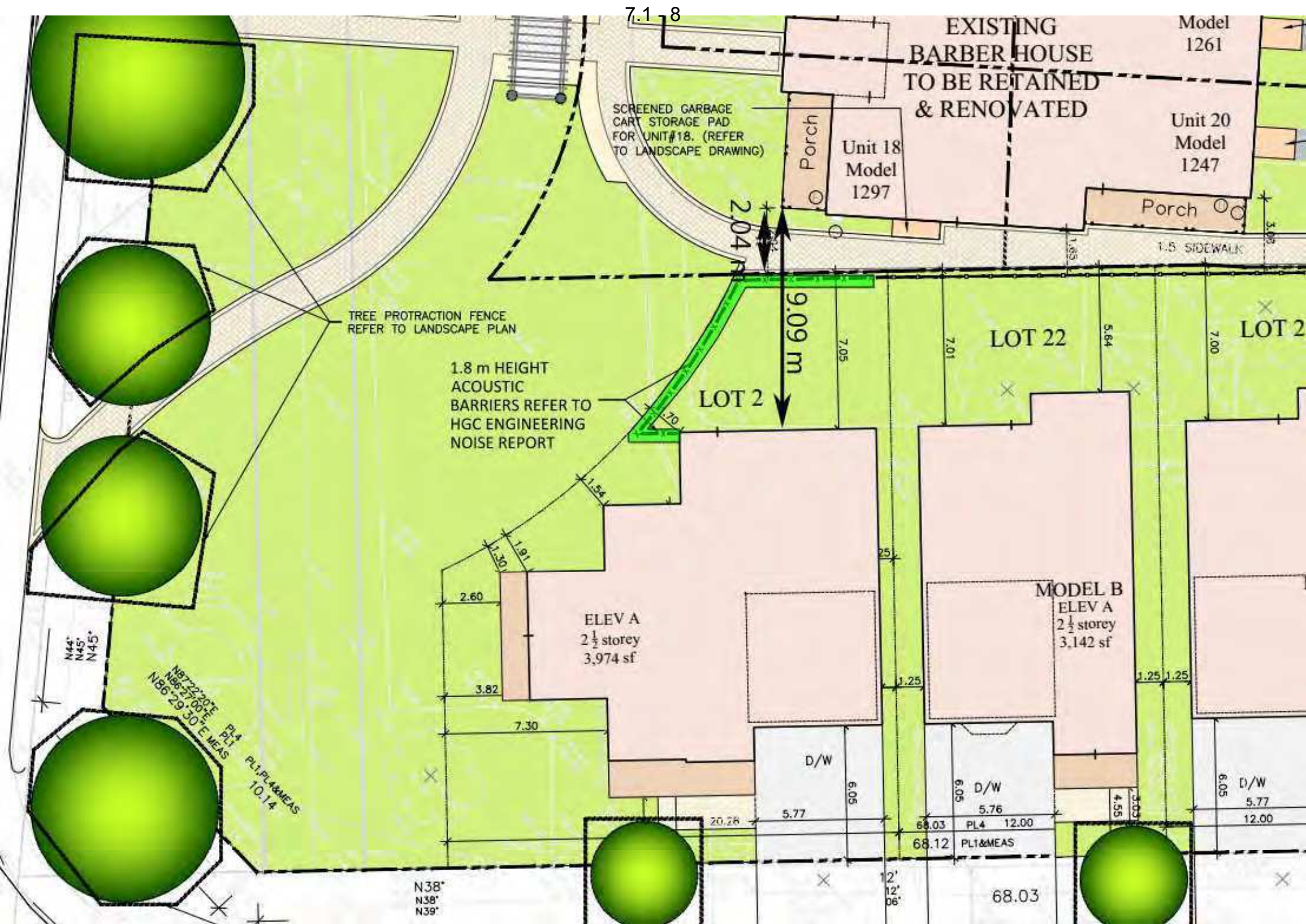
xv) The structural design of any retaining wall over 0.6m in height or any retaining wall located on a property line is to be shown on the Site Grading Plan for this project and is to be approved by Consulting Engineer for the project.

xvi) Continuous 15 cm high barrier type poured concrete curbing will be provided between all asphalt and landscaped area throughout the site.

xvii) Tree Protection Note:
The applicant is responsible for ensuring that tree protection hoarding is maintained throughout all phases of demolition and construction in the location and condition as approved by the Planning & Building Department. No materials (building materials, soil, etc.) may be stockpiled within the area of hoarding. Failure to maintain the hoarding as originally approved or the storage of materials within the hoarding will be cause for the Letter of Credit to be held for two (2) years following completion of all site works.

Owner's Signature:

Date:









EXPOSED AGGREGATE CONCRETE PANELS



WOOD PANELS



RECYCLED PLASTIC



WOOD PANELS

the living wall

an ecological sound barrier solution inc.

In Partnership with Mother Nature



416.698.5863

info@thelivingwall.net

www.thelivingwall.net

20 Leslie Street, Suite 121, Toronto, ON M4M 3L4

The Living Wall is a living unit that has enormous environmental benefits including photosynthesis, pollution filtration and soil stabilization.

The Living Wall naturalizes urban and rural environments while providing an ecological privacy structure.

The vegetation used in **The Living Wall** has the ability to root and grow very quickly, therefore providing an almost instant landscape.

All parts of **The Living Wall** are 100% recyclable.

The construction is carefully planned to ensure the controlled growth of roots and shoots. As the vegetation takes root, it matures into an integrated unit that is able to withstand harsh winters and hot summers, while maintaining its aesthetic appeal in all seasons.

The Living Wall uses a willow shrub that is natural to Canada and the United States.

The Living Wall won the 2008 Green Toronto Award for Green Design

The Living Wall is available in two applications:

- PRIVACY/SCREENING FENCING
- NOISE ATTENUATION BARRIER WITH SOIL



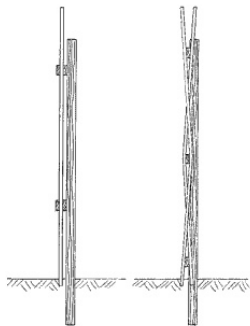
PRIVACY/SCREENING FENCING

The Living Wall is based on an old craft using willow to make wicket fences and is patterned on the natural growth of willow.

The Living Wall consists of robust 2 - 3 year old willow of various kinds, joined together with weather resistant laths and posts. This ensures fast and simple erection and controlled growth.

Maintenance consists of an annual trimming of new shoots.

The healthy growing power of willow is the strength of **The Living Wall**.



sketch of privacy/screening fence



..... NOISE ATTENUATION BARRIER WITH SOIL

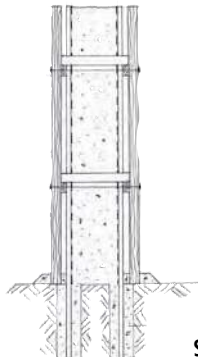
The Living Wall is an ecological sound barrier solution, offering an alternative to standard sound barriers.

The Living Wall integrates ecological principals with engineering practices. Constructed from willow shoots, the wall is enclosed in a biodegradable wooden structure.

The Living Wall compliments the environment as opposed to the intrusive nature of most sound barriers.

The Living Wall naturalizes our urban and rural environments.

Superior sound absorption, the environmental structure, and the financial advantages of **The Living Wall** make it the ideal sound barrier solution when comparing it to other noise walls.



sketch of noise attenuation barrier with soil



.....ADVANTAGES AND BENEFITS.....

Superior sound absorption:

MOE requirements for surface density: 20 kg/m² - 4 lbs/sqft

THE LIVING WALL surface density: 280 kg/m² 60 lbs/sqft

.....
Establishes very quickly

.....
Provides an aesthetically and environmentally pleasing sound barrier

.....
Established the provision of the wind and snow breaks for roadways

.....
Naturally integrates into the environment

.....
Graffiti free

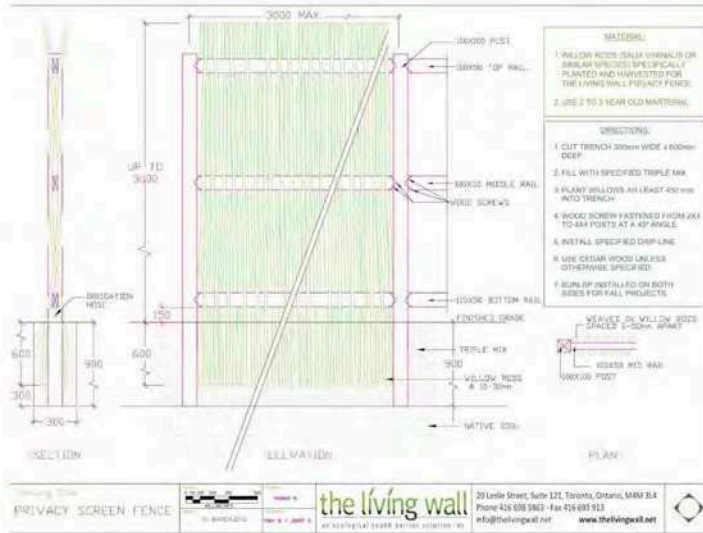
.....
All materials are 100% recyclable

.....
Benefits the ecology by absorbing large quantities of CO₂ which is a major factor in the global green house effect

.....
Aids in storm water run-off

.....
Photosynthesis, pollution filtration and soil stabilization all contribute to a healthy environment

7.1 - 23



.....TESTIMONIALS.....

Solmar Development Corp. purchased the first Noise Barrier Living Wall constructed in Ontario. The Living Wall Noise Barrier was used in one of our subdivisions and we are very happy with the professionalism of the company and the quick and efficient manner of the construction of the Wall. We understand that the residents that purchased the homes that the Living Wall was installed were and are still very happy with this environmentally friendly product that adds in the co2 reduction, beautiful lush green wall, provides the necessary shade and the almost instant landscape growing to a green landscape in just 6 weeks. We would highly recommend for any use screening or for noise attenuation and will definitely be considering the Living Wall for Solmar's many upcoming communities which are centered on the model of sustainable living.

Maurizio Rogato Vice President of Land Development Solmar Development Corp.

The apartment building we constructed was right by an expressway so it required a sound attenuation barrier. We were extremely pleased to discover The Living Wall. Besides having noise abatement properties it is also aesthetically appealing. Given that the willow plantings went up right next to a recreation area used by the tenants, it provided a more attractive alternative to common concrete barriers. We were also impressed with the professionalism of The Living Wall staff and that the willow hedge needs very little maintenance.

Mark Thompson, former Chair of Trellis Housing Initiatives

I absolutely love The Living Wall screen fence that I had installed in my backyard. The Living Wall screen fence provides my backyard with privacy and a sense of tranquility because of its unique design. Sitting in my backyard in the middle of the city I feel surrounded by nature. The Living Wall screen fence eliminates that boxed in feeling that most pressure treated wood fenced backyards provide and replaces it with a lush, green, serene backyard. The screen fence has also been a great investment because it requires minimal care in terms of watering or trimming, while it matures and sprouts quickly.

Karen Diamond –Home owner

The Goldman Group retained the services of The Living Wall Inc. to install a 400 metre long Noise Attenuation Wall at 350 Danforth Road in Toronto, buffering their subdivision from the TTC bus depot. This Noise Attention Wall is the longest such wall that has been installed in North America. The Living Wall Inc. were extremely service oriented and reacted promptly to any client requests on the project. The product was installed in a timely manner and the willows lining the Noise Attenuation Wall matured quickly into a lush green fence. It has been 2 years since The Living Wall Noise Attenuation fence was installed and the product continues to be a lush, green barrier shielding the subdivision from the noisy bus depot. The Goldman Group has continued to receive very positive feedback from the homeowners, and numerous other groups for this “Green” application.

Jeremy Alter, Director of Construction for The Goldman Group

In Partnership with Mother Nature



416.698.5863

info@thelivingwall.net

www.thelivingwall.net

20 Leslie Street, Suite 121, Toronto, ON M4M 3L4



City of Mississauga

Corporate Report



Date: 2018/06/14

To: Chair and Members of Heritage Advisory Committee

From: Paul Mitcham, P. Eng, MBA, Commissioner of
Community Services

Originator's files:

Meeting date:
2018/07/10

Subject

Request to Alter a Heritage Designated Property: 890 Enola Avenue (Ward 2)

Recommendation

That the City approve conservation work on the Adamson Barn at the subject property, as per the Corporate Report from the Commissioner of Community Services dated June 14, 2018.

Background

The Adamson Estate at 890 Enola Ward Avenue is designated under Part IV of the Ontario Heritage Act. Section 33 of the Act requires permission from Council in order to make alterations to property designated under Part IV of the Act. Staff from the City's Facilities and Property Management Division has submitted a heritage permit application to complete conservation work to the exterior of the barn at the Adamson Estate.

Comments

The proposed work on the barn consists of partial siding replacement and re-cladding or re-building of several existing doors, as well as conservation of existing architectural details and the cupola. Wood surfaces that have been previously stained will be scraped, filled and re-stained. The short term objective is to restore the building to water-tightness and to secure it against animal intrusion, while the long term objective is to have this building remain as part of the fabric of the Adamson estate and to continue to allow it to be used for seasonal and miscellaneous storage.

The City's Building and Facilities Property Management has submitted an application, drawings depicting detailed conservation drawings (Appendix 1), and a heritage conservation management plan (Appendix 2). The proposed work is based on a condition assessment identifying a need to address weathered materials and an approach based on minimal intervention by repairing first and replacement only when necessary, with compatible techniques and like materials and methods. The proposed conservation work to the barn is sympathetic to the heritage attributes of the structure.

Financial Impact

The cost is covered under Facility and Property Management's approved capital budget.

Conclusion

The applicant has applied for a heritage permit to complete conservation work to the exterior cladding, doors, and cupola of the Adamson barn. The proposal adheres to Parks Canada's Standards and Guidelines and staff recommends approval.

Attachments

Appendix 1: Submitted drawings

Appendix 2: Heritage Conservation Management Plan – Adamson Barn, Enola Ave.,
Mississauga ON

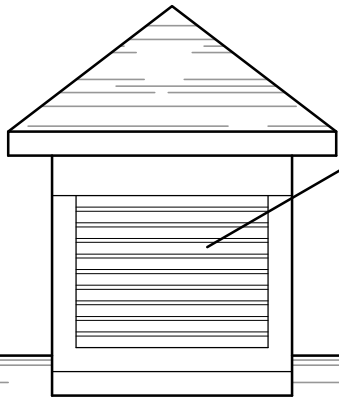


Paul Mitcham, P. Eng, MBA, Commissioner of Community Services

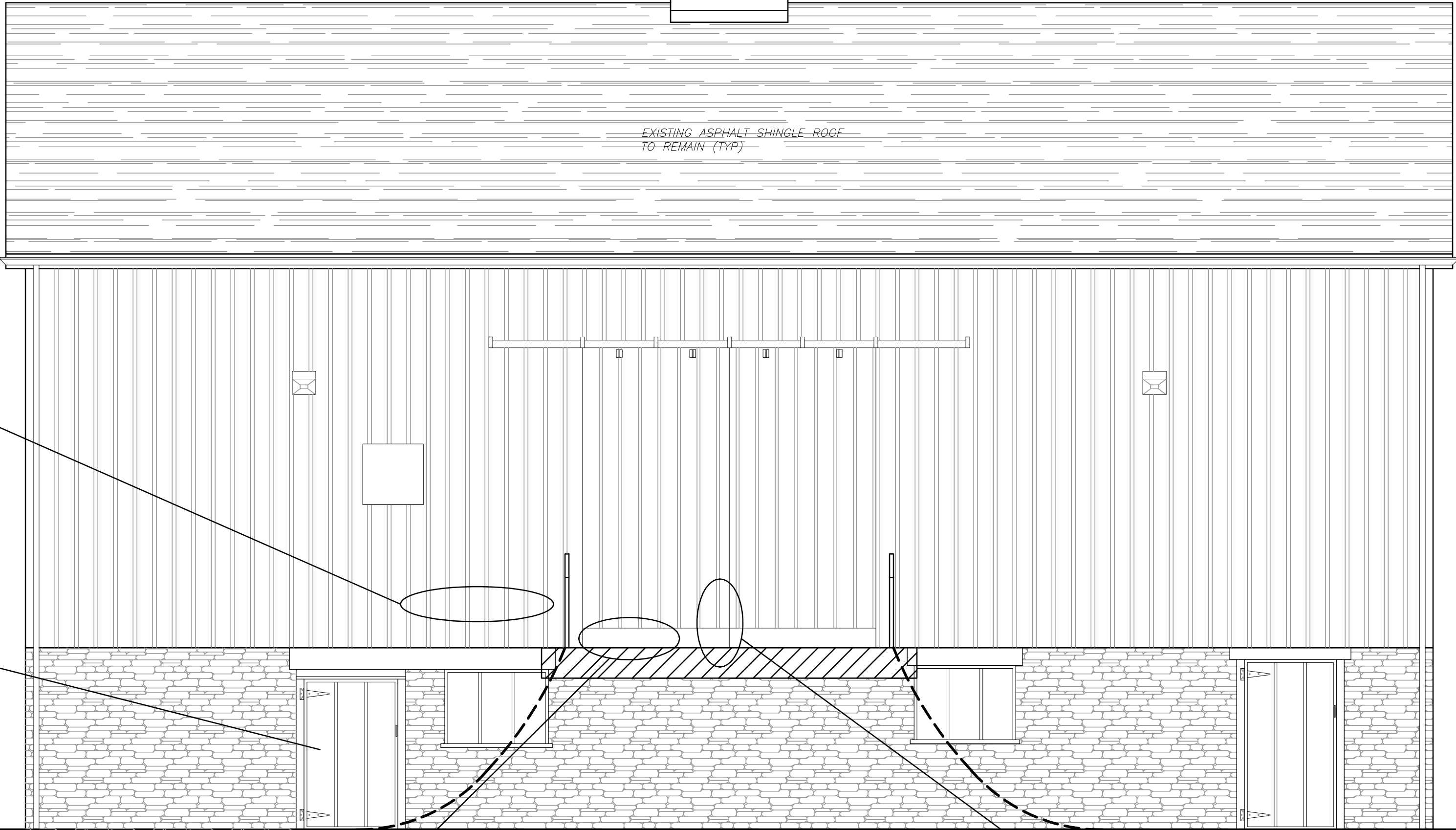
Prepared by: Joseph Muller, Supervisor, Heritage Planning



CUPOLA SHOWING GENERAL DETERIORATION, MISSING/BROKEN PIECES



EXISTING ASPHALT SHINGLE ROOF TO REMAIN (TYP)



NORTH ELEVATION



BARN DOOR MISSING BOTTOM GUIDE - NOTE GROOVE WORN IN SIDING BOARDS



DOOR IN GOOD CONDITION



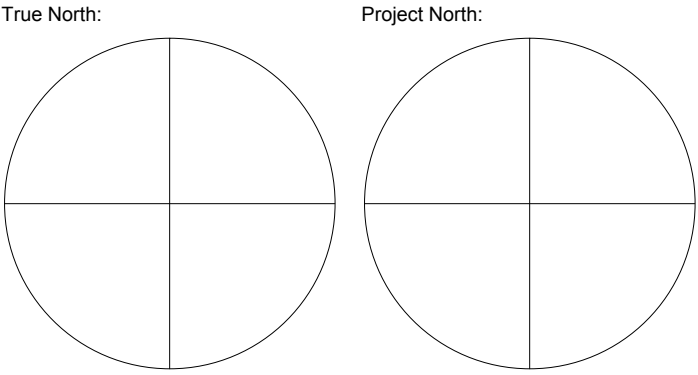
BARN DOOR MISSING/BROKEN PIECES AT BOTTOM



BARN DOOR ASSEMBLY - NOTE NEWER GUARDS, RAILS AND RAMP



BARN DOOR GENERAL DETERIORATION




Key Plan:

No.	Date	Issued/Revision	By:
1	May 28 18	Preliminary Review	R.M.

**Strickland
Mateljan**
Design + Architecture

79 Wilson Street, Suite 301
Oakville ON L6K 3G4
Tel: 905 842 2848
smda.ca

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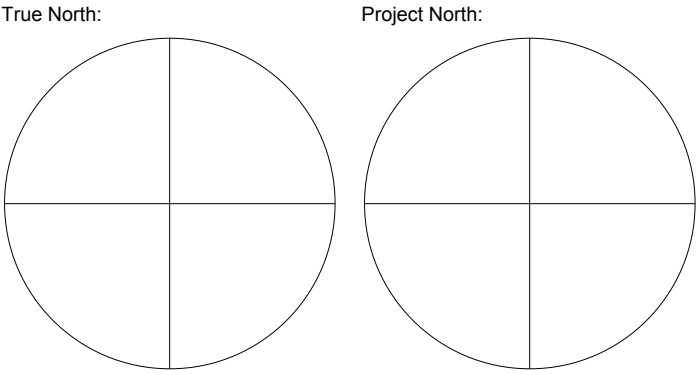
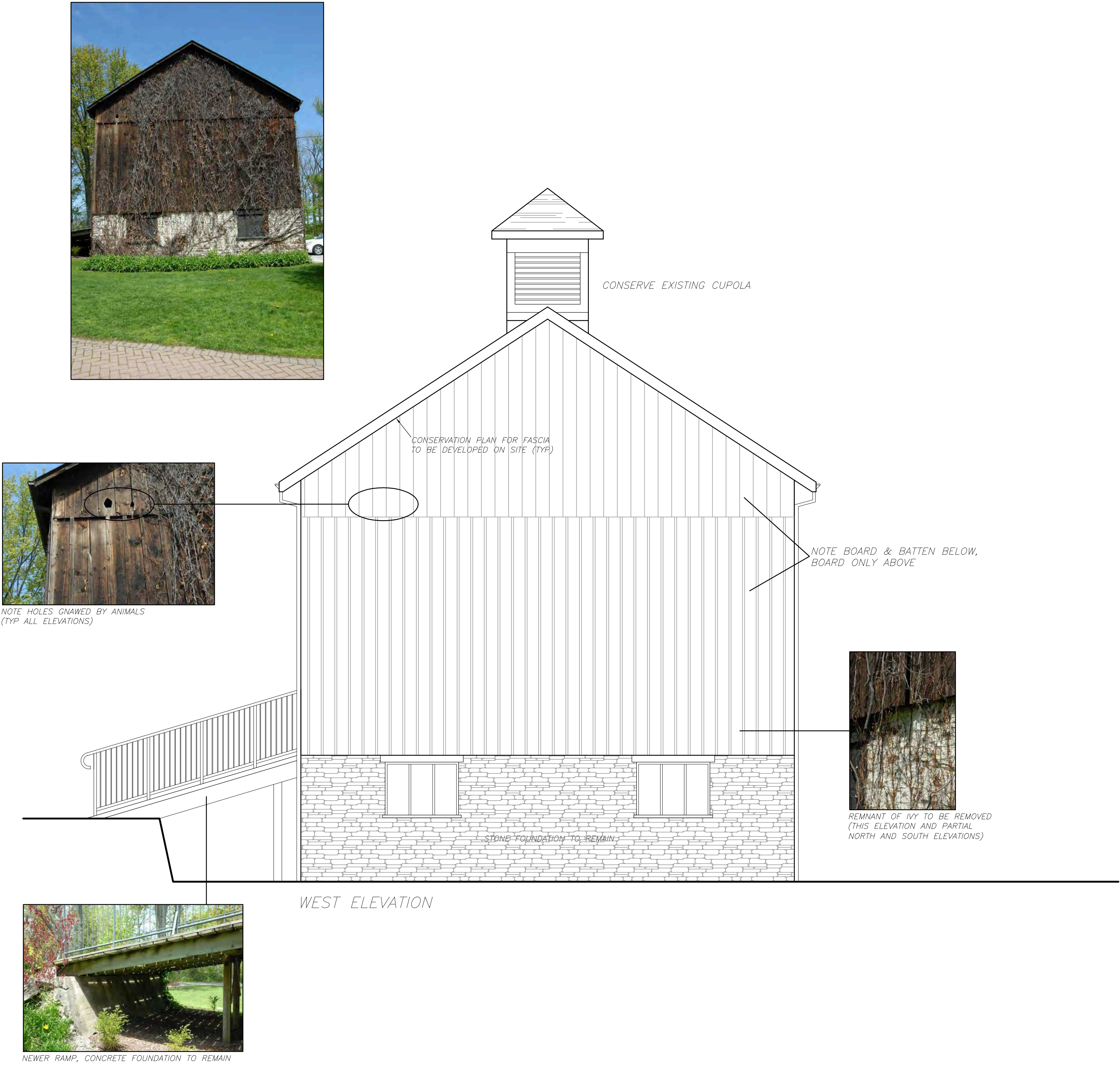
Designer:	Engineer:
	

Project:
Adamson Estate
City of Mississauga
850 Enola Ave.
Mississauga, ON

Sheet Title:
North Elevation

Design By: R.M.	Drawn By: R.M.	Approved By: R.M.
Scale: 1/4" = 1'0"	Date: May 28, '18	Project No: 18.30

Drawing No:
A002.0




Key Plan:

1	May 28 18	Preliminary Review	R.M.
No.	Date	Issued/Revision	By:

**Strickland
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Oakville ON L6K 3G4
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Designer:	Engineer:
	

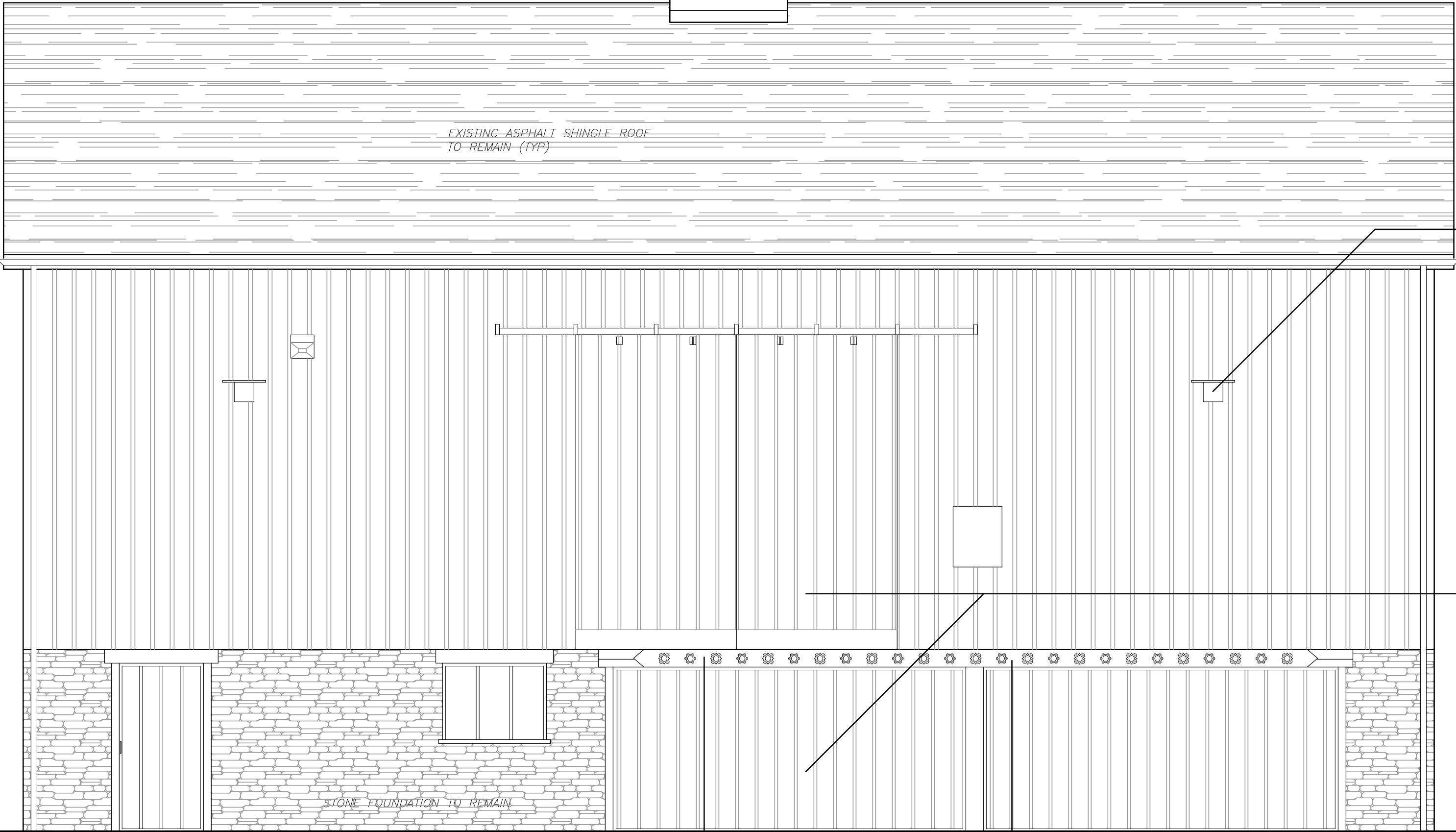
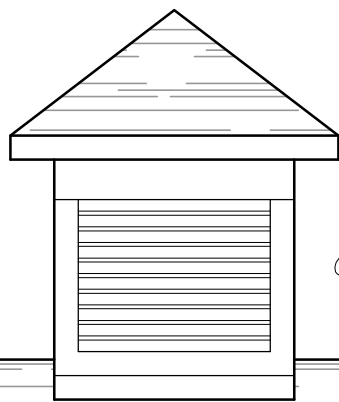
Project:
Adamson Estate
City of Mississauga
850 Enola Ave.
Mississauga, ON

Sheet Title:
West Elevation

Design By: R.M.	Drawn By: R.M.	Approved By: R.M.
Scale: 1/4" = 1'0"	Date: May 28, '18	Project No: 18.30

Drawing No:

A002.1



NOTE VENTILATION OPENING WITH WOODEN DRIP EDGE DETAIL



NOTE UPPER AND LOWER DOORS. UPPER DOOR IS FIXED IN POSITION. LOWER DOOR IS NEWER AND OPERATES



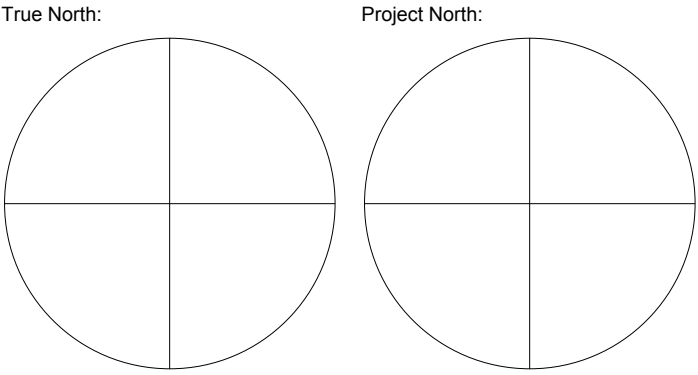
1 X 12 (NOMINAL) ROUGH SAWN KILN DRIED PINE BOARDS
SOURCE: HOFFMEYERS MILL, 189 HURON RD., SEBRINGVILLE ON



NOTE GENERAL DETERIORATION OF UPPER DOOR, FILAGREE DETAIL



FILAGREE DETAIL AT SOUTH DOORS TO BE CONSERVED.
NOTE DETERIORATION OF BOARDS & BATTENS ABOVE, NEWER PAINTED GARAGE DOOR




Key Plan:

No.	Date	Issued/Revision	By:
1	May 28 '18	Preliminary Review	R.M.

Strickland Mateljan
Design + Architecture

79 Wilson Street, Suite 301
Oakville ON L6K 3G4
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Designer:	Engineer:
	

Project:
Adamson Estate
City of Mississauga
850 Enola Ave.
Mississauga, ON

Sheet Title:
South Elevation

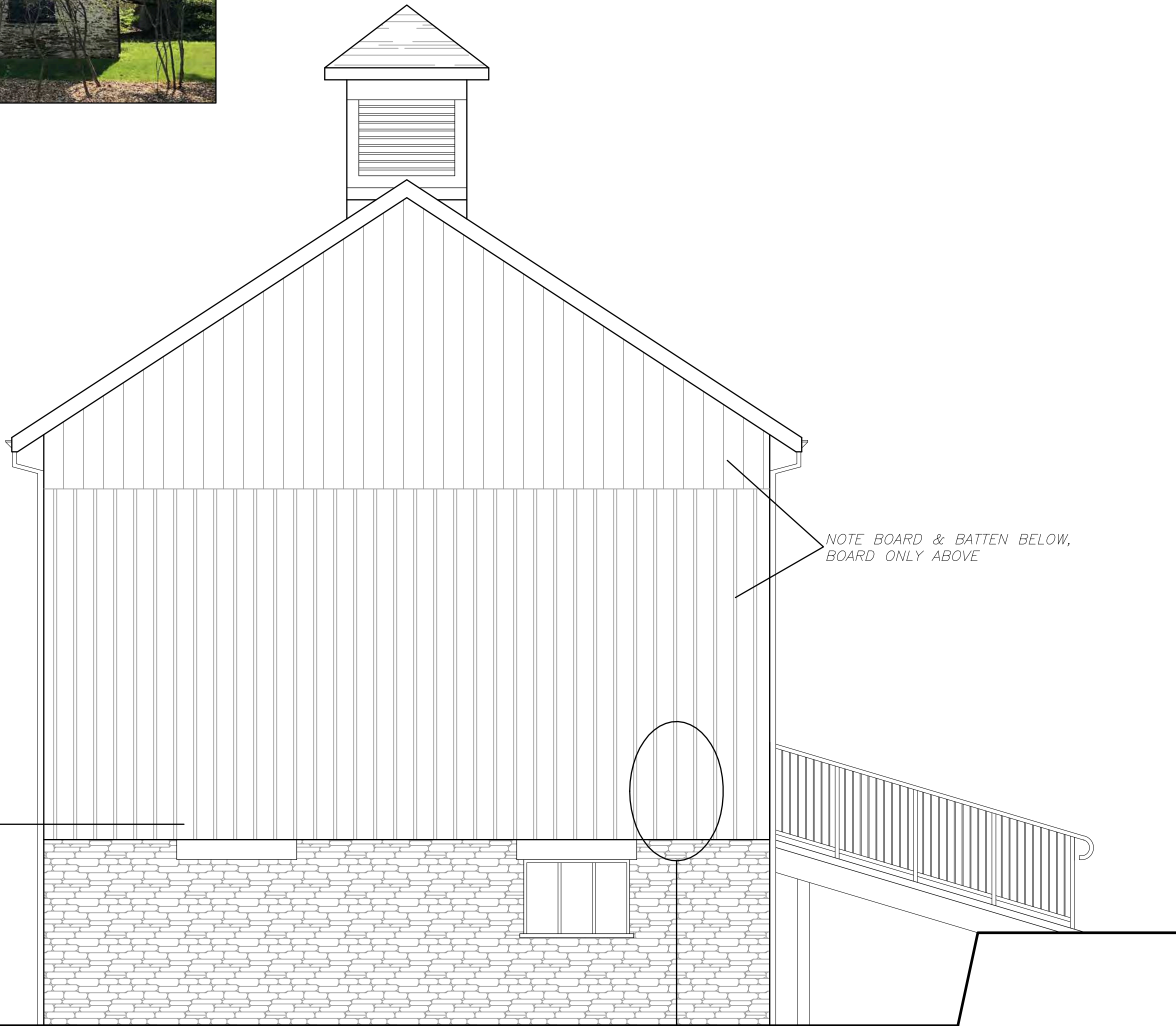
Design By:	Drawn By:	Approved By:
R.M.	R.M.	R.M.
Scale:	Date:	Project No:
1/4" = 1'0"	May 28, '18	18.30

Drawing No:

A002.2



NOTE DETERIORATED BOARDS,
MISSING BATTENS, TYP ALL
ELEVATIONS

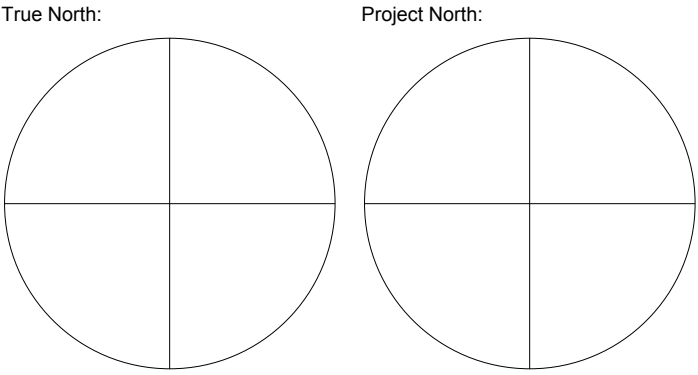


NOTE BOARD & BATTEN BELOW,
BOARD ONLY ABOVE

EAST ELEVATION



NOTE HOLES GNAWED BY ANIMALS
(TYP ALL ELEVATIONS)




Key Plan:

1	May 28 '18	Preliminary Review	R.M.
No.	Date	Issued/Revision	By:

SM
DA
Strickland
Mateljan
Design + Architecture

79 Wilson Street, Suite 301
Oakville ON L6K 3G4
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Designer:	Engineer:
	

Project:
Adamson Estate
City of Mississauga
850 Enola Ave.
Mississauga, ON

Sheet Title:
East Elevation

Design By: R.M.	Drawn By: R.M.	Approved By: R.M.
Scale: 1/4" = 1'0"	Date: May 28, '18	Project No: 18.30

Drawing No:

A002.3



May 28, 2018

Heritage Conservation Management Plan – Adamson Barn, Enola Ave., Mississauga ON

1. Introduction

-An executive summary of the scope of the project:

The proposal is to do conservation work on the existing barn. The work on the barn will consist of partial siding replacement and re-cladding or re-building of several existing doors as well as conservation of existing architectural details and cupola. Wood surfaces that have been previously stained will be scraped, filled and re-stained.

-Background information to document the historical and development history of the site

This site has previously been heavily researched and documented.

- Identification of the property owner and stakeholders, current and proposed use

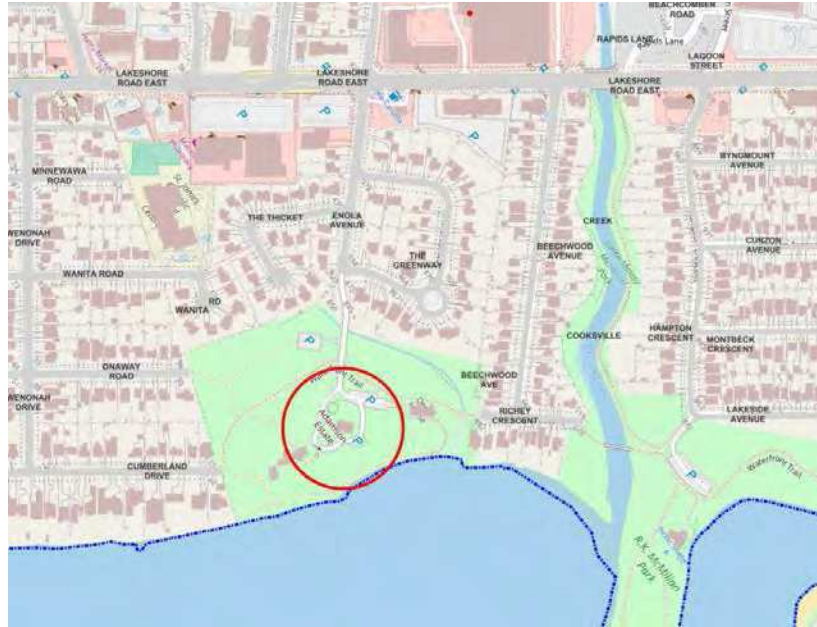
The property is currently owned by the City of Mississauga. The current and proposed uses are as an ancillary building part of a former estate now used as a park complex. There is also an ancillary use that the building is used by the City of Mississauga Parks & Recreation Department for storage of lawn maintenance equipment and as a small workshop. The building that is the subject of this conservation management plan forms part of the fabric of the park complex however the public is not admitted inside the building and it is not used directly for historical interpretation.

2. Project Description

Property Description:

- Identify the location, municipal address and provide an appropriate location map

850 Enola Ave., Mississauga, ON L5G 2W84B2



- Documentation of the existing conditions to include recent specialized photograph documentation, measured drawings, site plan, identification of site features such as topography, landscaping or other on-site features



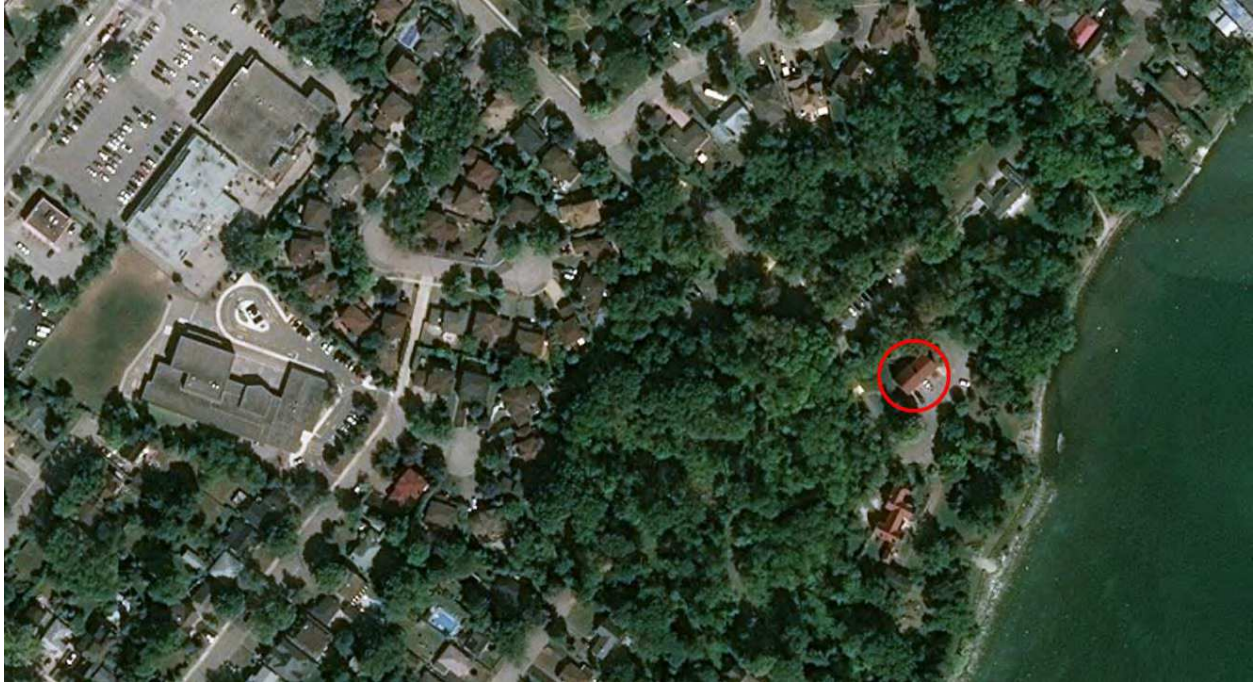
See attached architectural drawings.

- Landscape inventory and documentation will include a site plan, views and vistas, water features, tree location and species, land forms, geological formations, fences, walls, berms, pathways, or any other landscape features

The Adamson estate is located on the north shore of Lake Ontario and there are significant Lake views associated with the estate, although not particularly with the barn. The Estate also forms part of the Mississauga Waterfront Trail so there is significant pedestrian traffic here. The site is also well known as a venue for nature and wedding photography.



- Identification of neighbouring properties, including any built form or features, required to illustrate the context of the subject property



Adamson Estate is located in a stable residential community. To the north, east and west are single family dwellings. Further north is Lakeshore Rd. which consists of community shopping, higher density residential and employment uses. The subject barn is located near the entrance to the Adamson Estate and is a prominent visual presence in it.

- Summary of the history of the property outlining its development over time within a timeframe context
- Documentation of land ownership from the original Crown Grant and subsequent records from the land registry office

The history of the Adamson estate has been extensively researched and documented. This history does not have to be repeated for this document.

B) Significance:

- Statement of cultural heritage value or interest

Property Heritage Detail (City of Mississauga website):

This property has a long history going back to the first Crown grant to Joseph Cawthra in 1804 and letters patented in 1809. It is believed a small log structure once stood on the property which was followed by a larger Swiss chateau style structure added to the water side. The circa 1850 cottage was removed when the main house was built in 1919 by the Adamson's, (Mabel Adamson was a Cawthra) . . . The barn was built about 1875 and the now has been altered to provide steps or bleachers and a gallery for theatrical use (N.B. these no longer exist). The granary was used on theatre occasions as a bar. There are no toilets but a water line runs to a small greenhouse which is attached (N.B. this no longer exists).

The stable stalls remain in dereliction on the west end of the ground floor. The remaining space is used for Parks storage . . . The remnants of the original estate with its house, barn, out buildings and grounds are significant as a cultural landscape because they provide a window into the past of an important pioneer family and the lifestyle associated with an early twentieth century country estate.

- Identification of the cultural heritage attributes and values of the property structures and landscape features

City of Mississauga Designation Statement:

The Adamson Estate or The Adamson-Proteus Estate is recommended for designation on the architectural grounds that the main house represents the best in architectural taste of the 1920s. It was designed by the Toronto firm of Sproatt and Rolph with Flemish touches. Other buildings include a barn built in 1875, a second house built in 1902 and a gatehouse built in 1905. The estate has historical interest in that it has remained in the same family since 1808 when the Crown Grant to Joseph Cawthra was signed by Sir Isaac Brock.

- Identification of any recognized significance, such as a heritage designation by- law, historic plaque, etc.

The property is Designated under Part IV of the Ontario Heritage Act and functions as a park. It is highly recognized as a heritage resource within the City of Mississauga.

C) Planning and Policy Status:

- Provide details of the current land use and related Official Plan policies and Zoning

The property is zoned OS2-10 under the Mississauga Zoning By-law 0225-2007. This is a zone that allows only a City Park with additional uses for an office, Academy for the Performing Arts and Banquet Hall/Conference Center/Convention Center

- Identify any regulatory requirements (e.g. heritage designation, flood plain requirements, etc.)

The heritage designation is noted above. There are no flood plain or other issues.

3. Project Objectives

- Outline what is to be achieved by this project

The intention of the project is to conserve the building by replacing weathered siding, conserving weathered doors, conserving the cupola and re-staining previously stained elements to prevent the intrusion of moisture and wild animals into the building and by so doing to ensure the long-term viability of the building.

- Provide short term and long term goals and objectives

The short term objective is to restore the building to water-tightness and to secure it against animal intrusion. The long term objective is to have this building remain as part of the fabric of the Adamson estate and to continue to allow it to be used for seasonal and miscellaneous storage.

- Proposed solutions for conservation of the property's heritage attributes

Conservation recommendations:

Photo-documentation:

-once appropriate scaffolding is on site the existing siding, soffit, fascia, windows and doors should be thoroughly photo-documented prior to beginning work

Demolition:

General – Board & Batten siding: *The board & batten siding must be inspected on all elevations. There are numerous instances of missing battens, deteriorated and split boards, etc. Battens that are split or broken should be removed and discarded. Remnant pieces of broken battens should be removed and discarded. Boards that are significantly deteriorated should be removed. The removed board material should be inspected and if serviceable portions (generally 1.2m long or longer) from these removed boards can be recovered they should be cut out and saved for potential re-use or repair elsewhere.*

General – Stone Foundation: *The stone foundation appears to be in serviceable condition but should be inspected for loose stones, missing mortar, signs of water intrusion, etc. Report findings to consultant.*

General – Asphalt Shingle Roof: *The asphalt shingle roof appears to be in good condition but should be inspected once scaffolding or lifting equipment is on-site. Report findings to consultant.*

General – Soffit/fascia/eavestrough/downspouts: *These elements appear to be in fair condition (except as noted below) but should be inspected once scaffolding or lifting equipment is on-site. Report findings to consultant. A conservation strategy will be developed at that time.*

General – Doors and wood elements at ground level: *The doors (including overhead doors) on the ground level of the building appear to be relatively newly constructed and in serviceable condition. These and the wood lintels and detail elements above them appear to have been finished with an opaque, solid stain (likely to attempt to match the weathered wood elements above). These doors and other previously stained elements should be inspected, scraped, sanded, filled and re-stained to match. Report findings to consultant. Show test panel of new stain to consultant for approval.*

General – Cupola: *The cupola has missing/broken pieces visible from the ground. It is assumed that this will be able to be conserved in place by replacing the missing elements but this must be verified by closer inspection once scaffolding or lifting equipment is in place. Report findings to consultant.*

General – Remnant of Ivy planting: There is remnant ivy planting on the south, west and north elevations. This appears to be dead and the stems cut off at ground level but significant remnants are still attached to the building. This should be removed by manual pulling. If it is not possible to remove this material without damage to the building discuss with consultant.

General – Ramp and handrails/guards on North Elevation: The wooden ramp and metal handrails/guards on the north elevation are newer construction and not expected to be affected as part of this work.

General - Windows: original windows (including all associated sills, trims and casings) appear to have been previously removed and replaced with solid wood panels. No specialist window conservation is expected. If evidence of original windows is found report to consultant.

General - Nails: original square head nails removed during the demolition should be retained. Newer wire nails can be discarded.

General - Wooden head flashings: original wooden head flashings should be conserved

General - Animal intrusion: if invasive animals or birds are discovered during the course of this work a pest control strategy will have to be developed. This is outside the scope of this report.

North Elevation: The cladding of the sliding barn doors on this elevation are in poor condition, especially on the lower edges. The door cladding should be replaced completely. The doors are mounted on an upper sliding track which appears to be serviceable. It should be inspected and repaired/lubricated as necessary. The doors are missing lower guides that would hold them in position as they are opened and closed with the result that the doors have worn grooves in the siding adjacent to them. Suitable roller type guides should be sourced and installed. The frame of the doors appear to be in serviceable condition and it is assumed that these doors can be conserved in situ. Report findings to consultant. Show samples of roller guides to consultant for approval.

East Elevation: Note the detail on this elevation with board & batten siding on the lower wall but board siding only in the gable end. This should be maintained. There is a piece of fascia board missing on the south side. Note evidence of past masonry repair-closing up of openings at the foundation.

South Elevation: There are upper sliding barn doors on this elevation that are bolted in place. The upper sliding track is in place but galvanized carriage bolts are visible on the lower part of the doors. These intentionally prevent these doors from opening. The cladding of the doors is significantly deteriorated and should be replaced completely. The frame of the doors appear to be in serviceable condition and it is assumed that these doors can be conserved in situ. Report findings to consultant. The filigree detail above the lower garage doors on this elevation is a significant feature of the building. This must be carefully conserved.

West Elevation: Note the detail on this elevation with board & batten siding on the lower wall but board siding only in the gable end. This should be maintained. The remnants of the ivy are particularly heavy on this elevation.

Inspection:

Air Barrier: it is not anticipated that any building paper/air barrier/vapour barrier will be discovered following removal of the siding. In the event that this material is present a strategy for inspection, re-use or replacement will have to be developed at that time.

Asbestos: it is not anticipated that any asbestos or similar deleterious materials will be discovered. In the event that these materials are found to be present a strategy for removal and abatement will have to be developed at that time.

Substrate conditions: the substrate conditions for attachment of new siding material must be inspected for serviceability following removal of the siding. It is expected that sound horizontal elements +/- 0.6m on center will be available for re-use. If these elements are loose, missing, deteriorated or otherwise not suitable for re-use a conservation strategy will have to be developed at that time.

Note: Professional engineering assessment may be required if unexpected conditions are encountered.

Protection during Construction:

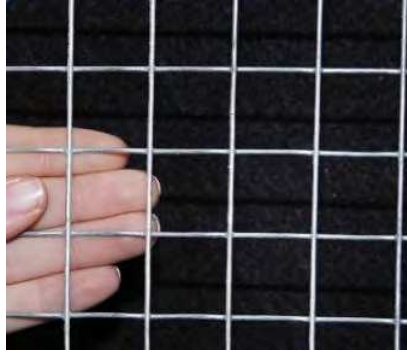
-in the event that doors or other coverings are removed during the course of this work these openings in the building must be temporarily blocked with tightly fitted plywood or other material to prevent water and animal intrusion. All other areas of the building must be similarly protected during the construction process.

Construction:

Siding: new wood board and batten siding should be installed as required. This siding should replicate in size, species and dimension the existing size and profile. Nailing pattern should be as per existing or for boards min. 2 rows of nails @ 0.6m on center and for battens min. 1 row of nails @ 0.6m on center. Very small (less than 25mm) imperfections should be filled with epoxy filler. Larger imperfections and local deterioration should be cut out and replaced with new or salvaged material. Boards that have been removed due to deterioration should be replaced with new material. Existing boards should be checked for firm attachment and nailed as required. Battens should be installed where they presently exist, replicating the existing in size, species and dimension. Nailing pattern should be as above.

Barn doors: the doors should be re-hung using their original hinges and fasteners in their original locations.

Soffits: the soffits will be repaired and/or replaced following the conservation strategy developed above. Where necessary the soffits should be replaced using materials matching the existing in dimension, profile and species. The underside of the soffits should be lined with 50mm x 50mm 10 gauge galvanized welded wire mesh. This should be discreetly fastened with stainless steel clips and wood screws.



50mm x 50mm galvanized welded wire mesh

Note: this mesh should be used elsewhere as required to discourage animal entry

Fascia: the fascia will be repaired and/or replaced following the conservation strategy developed above. All new material should match existing in species, size and profile.

Nails: nails should be common wire or spiral nails, hot dip galvanized. All nails must be hand driven – no pneumatic or automatic nailing equipment may be used. Nails must be appropriate for their use with a minimum embedment into the substrate of double the thickness of the member being fastened.

Wooden head flashings: Wooden head flashings with size and detail to match the existing should be provided at all openings.

Inspection:

SMDA should be called to inspect at the following project stages at a minimum:

- following scaffolding of building but prior to any removals*
- following removal of deteriorated siding*
- prior to placing any new material*
- in the event that unexpected conditions are encountered*

Recommended siding material supplier:

-Hoffmeyer's Mill, 189 Huron Rd., Sebringville, ON www.hoffmeyersmill.com

Recommended Window and Door Conservator (if necessary):

-Walter Furlan Conservation 905 383 3704

Submittals:

Contractor will be required to submit to SMDA and the City of Mississauga the following:

- samples of all fasteners, siding, building materials proposed to be used*

*-1m x 1m mock-up of new board and batten siding
-1m x 1m mock-up of solid stain finish*

- Provide the conservation policies to be used in this project (i.e. what conservation principles will be used to ensure long term conservation, maintenance, monitoring, and sustainable use of the property)

Generally the existing building is in good condition, appears to have had regular routine maintenance and the work proposed is limited to the replacement of existing deteriorated elements that left unrepaired will allow moisture and animal intrusion into the building and threaten its long term viability. Only deteriorated items will be replaced and serviceable elements will be repaired and retained. The nature of the present and future use and the ownership by the City makes the likelihood of long term maintenance and sustainable use very high.

4. Statement of Heritage Intent

- An explanation is required that proposes the reasoning and considerations behind the choice of conservation treatments.

The conservation treatments proposed are the minimum maintenance requirements to allow the building to continue to function and survive in its present use.

- Statement as to why one period of restoration over another was selected, rationale for new interventions, background resources used such as principles and conventions of heritage conservation.

There is no restoration proposed as part of this project and no choice of period. The intention here is periodic maintenance.

- Statement as to the recording, inventory and disposition/retention of moveable cultural heritage resources (e.g. artifacts, archival material, salvaged material) and its incorporation into the conservation project.

It is recommended that any siding materials that are suitable for re-use are stored and conserved. Original square nails should also be stored and conserved.

5. Condition Assessment of the Cultural Heritage Resource(s)

- Condition report of the cultural heritage resource(s) and specific attributes, identifying any deficiencies or concerns.

This is discussed above.

- Detailed recommendations to mediate and prevent further deterioration. Direction as to use or change in use and how that relates to conserving the heritage attributes.

The purpose of the intervention on the barn is to provide routine maintenance that will prevent further deterioration. It is expected that routine re-inspection of the siding will be necessary as is typical with any wood-clad building, but no more so than any other similar structure.

- Outline opportunities and constraints with relation to all aspects of the project (i.e. budget, planning issues, public access, long term needs)

There are no planning issues or other similar considerations.

- Recommendations for conservation treatments that reference the framework provided in Parks Canada Standards and Guidelines for the Conservation of Historic Places In Canada.

See Appendix at end of this document.

6. Building System and Legal Considerations

- Statement to explain the building and site use from a practical, logistical and legal perspective

The building presently functions as an ancillary building to the Adamson estate. There is no public access to the building. It is used for incidental storage by the City.

- Input from structural, mechanical, electrical, planning, geotechnical, trades, and all other required fields of expertise to ensure the project is viable and sustainable. Building and site system review may include:

- Site Work (e.g. landscaping, drainage, servicing)

Proposed site work is minimal and not expected to require professional engineering services but they will be called if unexpected conditions are encountered

- Trees, shrubs, other plantings

There is expected to be minimal impact on trees and plantings

- Archaeological concerns and mitigation

No excavation work is proposed

- Structural elements (e.g. foundation, load bearing)

Professional engineering review will be called upon in the event that these situation are encountered

- Building Envelope (roof, wall cladding, window type), Ontario Building Code, Accessibility

SMDA are the architectural consultants on the project. There are no accessibility issues

- Mechanical, Plumbing, Electrical

No mechanical, plumbing or electrical work is proposed

- Finishes and Hardware

No significant new finishes or hardware are proposed

- Fire Safety and Suppression

No fire safety or suppression work is proposed

- Environmental Considerations, Lighting, Signage and Wayfinding, Security

No significant environmental considerations are expected. There is no requirement for lighting, signage, wayfinding or security as part of this proposal.

- Legal Considerations (e.g. easements, encroachments, leasing, etc.)

The present owners are also the operators of the building. There are no leasing arrangements. There are no known encroachments.

7. Work Plan

- Timeline to describe, in chronological order, to meet the objectives and goals Statement as to specialized trades or skills that will be required to complete the work

The work will consist of:

-this is summarized above

The work will require qualified local trades but nothing particularly specialized. It is not expected that it will be difficult to find trades to execute the work.

- Proposed budget to meet and sustain the goals and timeline; long term and short term maintenance schedule

The budget has not been finalized. The City of Mississauga owns a number of heritage buildings and is aware of the cost of maintenance.

- Monitoring schedule, process and identify those responsible for monitoring

This is discussed above.

8. Qualifications

- Heritage Conservation Management Plans will only be prepared by accredited, qualified professionals with demonstrated experience in the field of heritage conservation

- Conservation Plans are usually a multidiscipline exercise whereby all consultants on the project must demonstrate accredited professionalism, experience and knowledge in their chosen field of expertise

9. Additional Information

- Bibliography of all documentation resources
- List of consultants and other professionals related to the project

A CV for Rick Mateljan of SMDA is included.

10. Additional Reports that may be required:

- Archaeological report, Arborist's report, Structural engineering report

Noted above

- Any other report that City staff may require to assess the project

11. Approval Authority

The City of Mississauga will be the approval authority for a Heritage Conservation Management Plan

Contact Information:

Inquiries regarding the submission and requirements of a Heritage Conservation Management Plan should be addressed to Heritage Planning, Culture Division, City of Mississauga

Email: culture.division@mississauga.ca

APPENDIX:

Commentary based on Parks Canada Standards and Guidelines for the Conservation of Historic Places In Canada

1. Conserve the heritage value of a historic place. Do not remove, replace or substantially alter its intact or repairable character-defining elements. Do not move a part of a historic place if its current location is a character-defining element.

Only removal of deteriorated elements is proposed. No movement of any part of the building is proposed.

2. Conserve changes to a historic place that, over time, have become character-defining elements in their own right.

No changes to character-defining elements are proposed

3. Conserve heritage value by adopting an approach calling for minimal intervention.

The proposed intervention to these buildings is as minimal as possible.

4. Recognize each historic place as a physical record of its time, place and use. Do not create a false sense of historical development by adding elements from other historic places or other properties, or by combining features of the same property that never coexisted.

There is no attempt to create a false sense of development.

5. Find a use for a historic place that requires minimal or no change to its character-defining elements.

The ongoing use is an excellent and appropriate use of this property.

6. Protect and, if necessary, stabilize a historic place until any subsequent intervention is undertaken. Protect and preserve archaeological resources in place. Where there is potential for disturbing archaeological resources, take mitigation measures to limit damage and loss of information.

The building will be protected and stabilized as a result of this intervention.

7. Evaluate the existing condition of character-defining elements to determine the appropriate intervention needed. Use the gentlest means possible for any intervention. Respect heritage value when undertaking an intervention.

This is a gentle intervention to the building.

8. Maintain character-defining elements on an ongoing basis. Repair character-defining elements by reinforcing their materials using recognized conservation methods. Replace in kind any extensively deteriorated or missing parts of character-defining elements, where there are surviving prototypes.

Noted. This is exactly the purpose of this intervention

9. Make any intervention needed to preserve character-defining elements physically and visually compatible with the historic place and identifiable on close inspection. Document any intervention for future reference.

The new siding material on the barn will be identifiable at first but will eventually fade and come to match the patina of the existing. The building will be thoroughly photo-documented prior to work commencing.

City of Mississauga
Corporate Report



Date: 2018/06/07

To: Chair and Members of Heritage Advisory Committee

From: Paul Mitcham, P. Eng, MBA, Commissioner of
 Community Services

Originator's files:

Meeting date:
 2018/07/10

Subject

Request to Alter a Heritage Designated Property: 1507 Clarkson Road North (Ward 2)

Recommendation

That the proposal for the property at 1507 Clarkson Road North, which is designated under Part IV of the Ontario Heritage Act, to repair the veranda, soffit, fascia, eavestroughs and rain water leaders, as outlined in the report from the Commissioner of Community Services, dated June 07, 2018, be approved.

Background

That the proposal for the property at 1507 Clarkson Road North, which is designated under Part IV of the Ontario Heritage Act, to repair the veranda, soffit, fascia, eavestroughs and rain water leaders, as outlined in the report from the Commissioner of Community Services, dated June 14, 2018, be approved.

Comments

Facilities and Property Management (FPM) seek permission to repair the veranda, soffit, fascia, eavestroughs and rain water leaders. The proposal, by Strickland Mateljan, is attached as Appendices 1 and 2. Most of the proposed work is routine maintenance. Some wood elements may be replaced and would be "like for like." This is in keeping with Park's Canada's *Standards and Guidelines for the Conservation of Historic Places in Canada* which suggests "limited replacement in kind" where necessary. As such, staff recommend that the work be approved as it will contribute to the long term stability of the property. Consultation with the Ontario Heritage Trust, a requirement as per the heritage easement, concurs with the recommendation that the work move forward.

Financial Impact

The cost is budgeted and covered under Facility and Property Management's approved capital budget funding.

Conclusion

FPM has submitted an application to repair the veranda, soffit, fascia, eavestroughs and rain water leaders. The applicant has submitted drawings and documentation by Strickland Mateljan Design and Architecture, supporting the request. The conservation work depicted in the proposal is sympathetic to the heritage attributes of the building and should be approved.

Attachments

Appendix 1: Drawings

Appendix 2: Heritage Conservation Management Plan



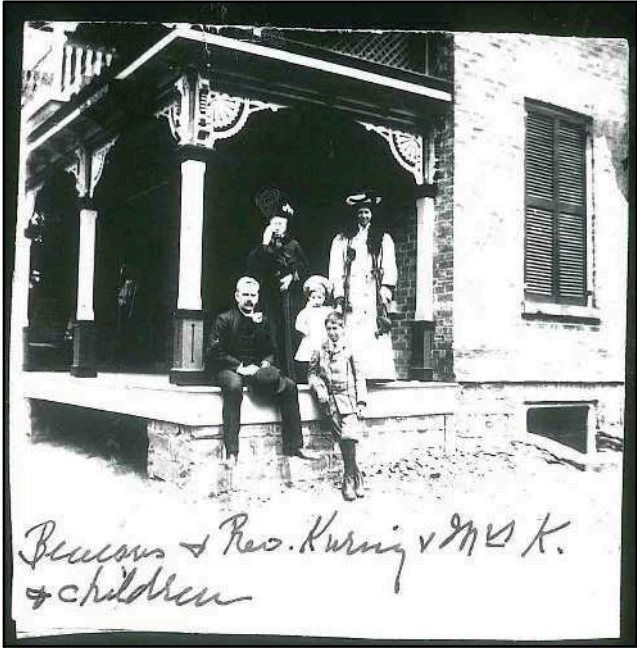
Paul Mitcham, P. Eng, MBA, Commissioner of Community Services

Prepared by: P. Wubbenhorst, Heritage Planner

IMAGES FROM CITY OF MISSISSAUGA DATABASE:



C.1900



C.1904



C.1908



C.1943



SOFFIT SHOWING ANIMAL INTRUSION, TRIM SHOWING DETERIORATION



NORTH ELEVATION



WEST ELEVATION



UNDERSIDE OF PORCH ROOF SHOWING MINOR PAINT LOSS



SOFFIT SHOWING WATER DAMAGE, ANIMAL INTRUSION



SOUTH ELEVATION



POST BASE SHOWING PAINT LOSS, DETERIORATION (TYP ALL POSTS)



UNDERSIDE OF PORCH SHOWING OLDER JOISTS, DECK BOARDS, NOT SOME DECK BOARDS FINISHED ON UNDERSIDE, OTHERS NOT



PORCH STEPS SHOWING PAINT LOSS



COLUMN BASE SHOWING MECHANICAL DAMAGE, DETERIORATION



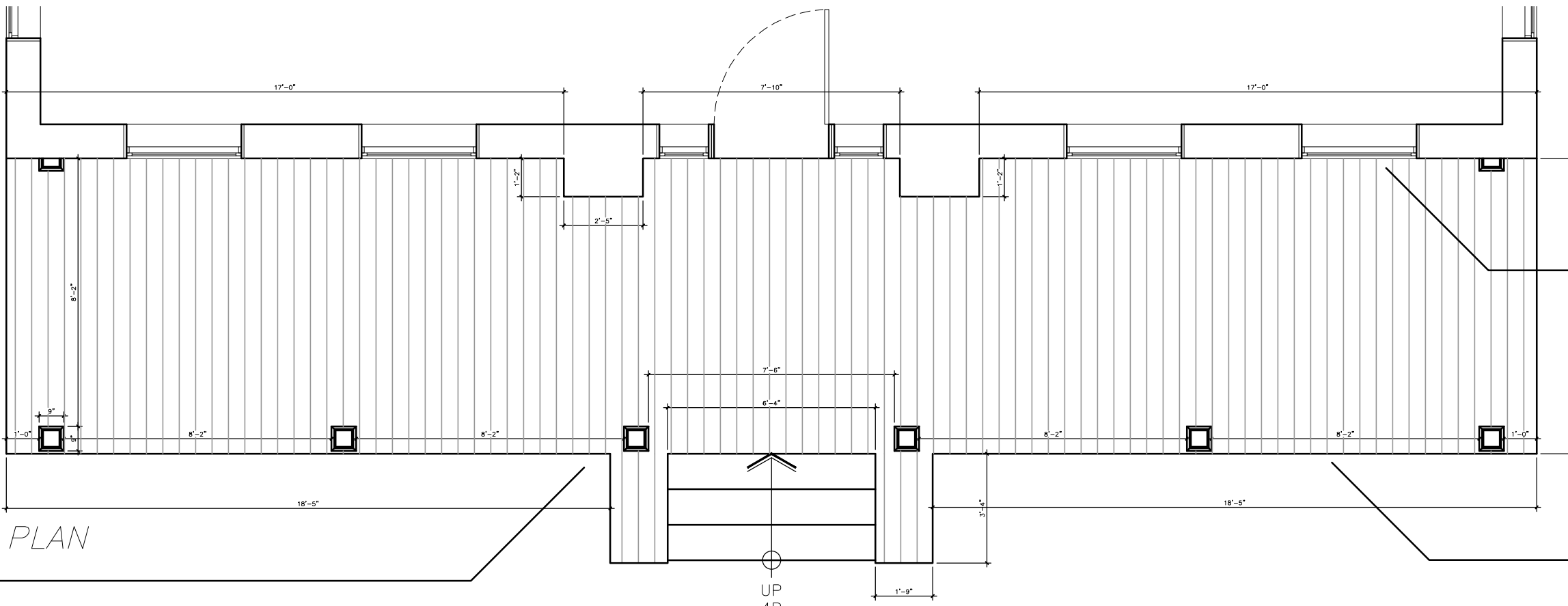
SKIRTING BOARD SHOWING DETERIORATION



SOFFIT SHOWING WATER DAMAGE



SOFFIT SHOWING WATER DAMAGE, ANIMAL INTRUSION



PLAN



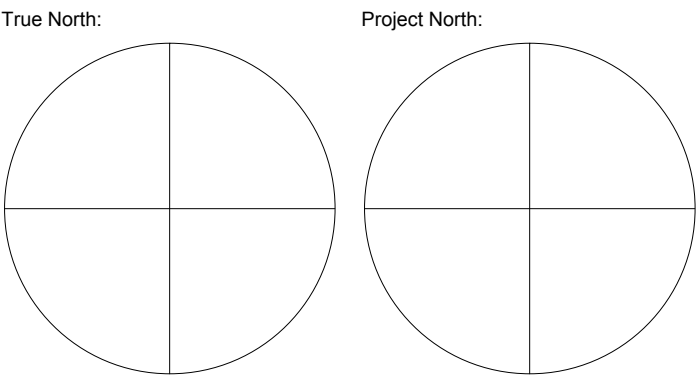
PORCH FLOOR SHOWING SEPARATION OF BOARDS FROM HOUSE WALL



PORCH FLOOR SHOWING RANDOM WIDTH OF BOARDS



PORCH BASE SHOWING STONE FOUNDATION




Key Plan:

No.	Date	Issue/Revision	By:
1	2018-05-30	For Review	R.M.

Strickland Mateljan
Design + Architecture

79 Wilson Street, Suite 301
Oakville ON L6K 3G4
Tel: 905 842 2848
smda.ca

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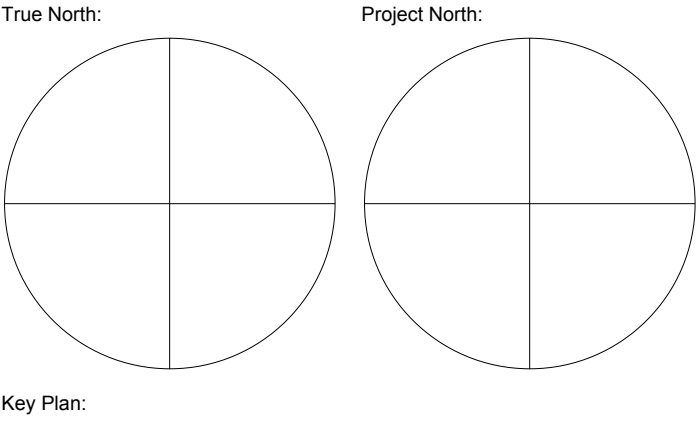
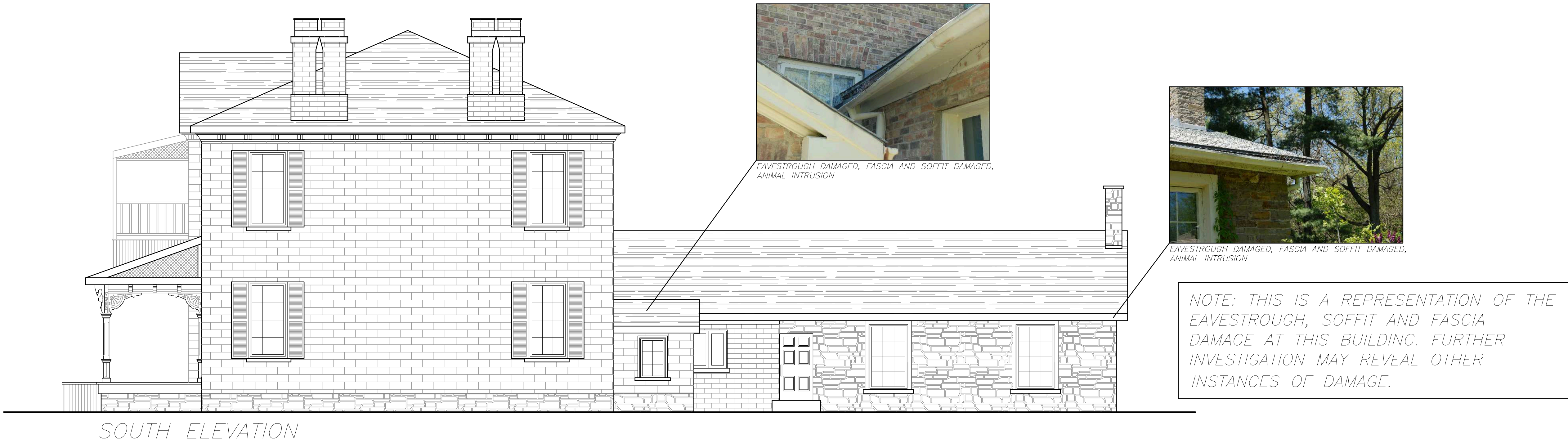
Designer:	Engineer:
	

Project:
Benares Estate
City of Mississauga
1507 Clarkson Rd.
Mississauga, ON

Sheet Title:
Porch Plan & Elevation

Design By:	Drawn By:	Approved By:
R.M.	R.M.	R.M.
Scale:	Date:	Project No:
1/4" = 10"	May 28, 18	18.30

Drawing No:
A001.0



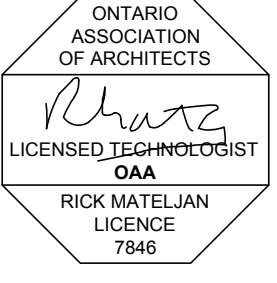
Key Plan:

1	2018-05-30	For Review	R.M.
No.	Date	Issue/Revision	By:

Strickland Mateljan
Design + Architecture

79 Wilson Street, Suite 301
Oakville ON L6K 3G4
Tel: 905 842 2848
smda.ca

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Designer:	Engineer:
 RICK MATELIAN LICENCE 7846	

Project:
Benares Estate
City of Mississauga
1507 Clarkson Rd.
Mississauga, ON

Sheet Title:
Soffit and Fascia conservation

Design By:	Drawn By:	Approved By:
R.M.	R.M.	R.M.
Scale:	Date:	Project No:
1/4" = 1'0"	May 28, 18	18.30

Drawing No:

A001.1



May 31, 2018

Heritage Conservation Management Plan – Front Porch and Soffit/Fascia/Eavestroughs/Rain Water Leaders at Benares House, Clarkson Rd., Mississauga ON

1. Introduction

-An executive summary of the scope of the project:

The proposal is to do conservation work on the front porch and the soffit/fascia/eavestroughs and rain water leaders of the existing house at the Benares estate. The work on the porch will consist of inspection of the structure for animal intrusions, rot, decay, water penetration and deterioration of finishes, and the carrying out of necessary conservation work to remedy same. The work on the soffits, fascia/eavestroughs and rain water leaders will consist of replacement of broken and deteriorated elements and measures to prevent animal intrusion. The porch will also be inspected for structural deficiencies and any found will be reported to the consultant for future action. Repair of structural deficiencies is not part of the scope of this plan.

-Background information to document the historical and development history of the site

This site has been heavily researched and documented, including in the Benares Visitor Center located on this property.

- Identification of the property owner and stakeholders, current and proposed use

The property is currently owned with the City of Mississauga although the Ontario Heritage Trust has a conservation easement over the property. The current and proposed uses are as a cultural history museum. The house that is the subject of this conservation management plan is part of the Benares house, a building that forms an integral part of the fabric of the estate and that is a critical and very visible part of the historical interpretation that takes place here. The public is admitted to this building and the porch is used as a concert stage for small musical performances.

2. Project Description

Property Description:

- Identify the location, municipal address and provide an appropriate location map

1507 Clarkson Rd N, Mississauga, ON L5J 2W8

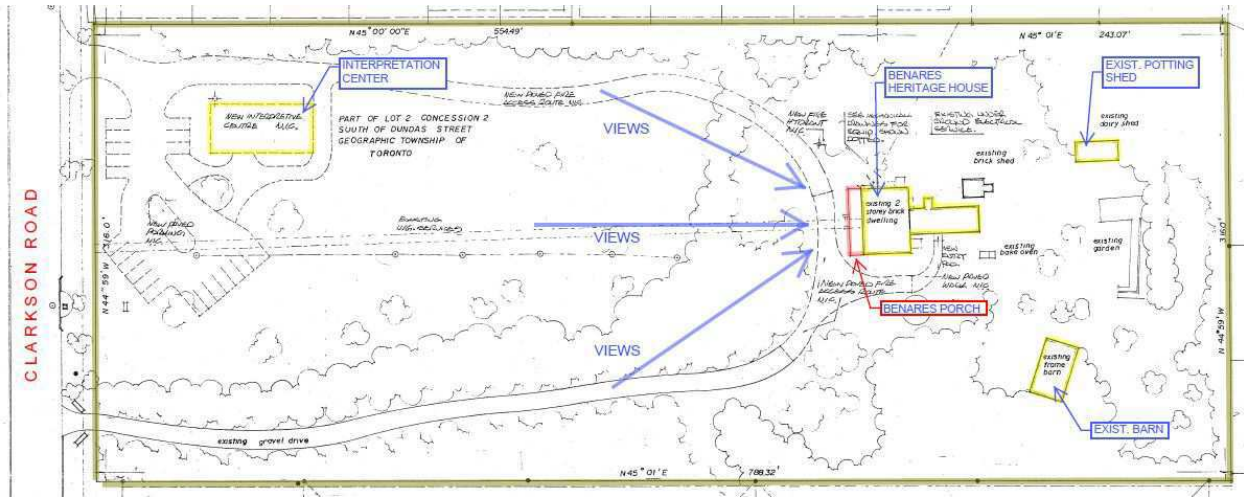
- Documentation of the existing conditions to include recent specialized photograph documentation, measured drawings, site plan, identification of site features such as topography, landscaping or other on-site features

See attached architectural drawings.

- Landscape inventory and documentation will include a site plan, views and vistas, water features, tree location and species, land forms, geological formations, fences, walls, berms, pathways, or any other landscape features

The porch is a highly significant aspect of the Benares estate. Located on the front elevation of the house, in a very prominent location as regards views of the estate, it is a prominent and recognizable part of the estate. The walking path to the Benares house leads directly past the porch. There are no significant water features, trees, land forms, fences, etc., associated with the porch.

The soffit/fascia/eavestroughs and rain water leaders are less important to the building as regards visual prominence but their continued functionality is critical to the long-term viability of the building.



- Identification of neighbouring properties, including any built form or features, required to illustrate the context of the subject property



Benares Estate is located in a stable residential community. To the north, east and south are single family dwellings. To the west is a place of worship and further north along Clarkson Rd. N. is a community shopping plaza. The subject porch is located at the rear of the estate and in a prominent location within the grounds although only minimally visible from the street due to heavy tree cover.

- Summary of the history of the property outlining its development over time within a timeframe context
- Documentation of land ownership from the original Crown Grant and subsequent records from the land registry office

The history of the Benares estate has been extensively researched and documented, including in the Benares Visitor Center. This history does not have to be repeated for this document.

B) Significance:

- Statement of cultural heritage value or interest

Property Heritage Detail (City of Mississauga website):

Some of the out-buildings on the property date to the original Edgar Neave estate, circa 1835. The main house, a two storey brick and stone structure is rectangular in shape with a long single storey stone portion to the rear. The rear stone part of the building dates to 1835 whereas the brick portion was built circa 1855 after a fire destroyed the original stone building. There are various out buildings on the property as well. The main block has a medium hipped roof. The molded cornice has paired dentils along its frieze. At each side of the structure, there are two pairs of internally bracketed, brick, double-linked chimneys. Two other internally bracketed brick chimneys appear in the rear section, which has a gabled

roof. The full lighted basement beneath the main section is accessible from outside. A stone foundation supports brick walls. The walls and foundation of the rear section are constructed completely of stone. Along both floors of the front facade, there are four, six over six paned, double hung windows. All fenestration is shuttered. The front entrance is set into a paneled umbrage. A glazed transom and sidelights surround the four paneled door. Above, there is a small balcony with turned balusters, spoolwork and lattice frame work. A door opens out onto it from the second floor. Along the complete width of the front facade there is an open verandah, with no balustrade. The posts are cambered and the cornice is trimmed with brackets. The colours on the building were done to reflect the 1890 period. The house has been retrofitted and generally restored based on research and informed detailing on the inside and out from 1990 to 1995, by the Ontario Heritage Foundation. Completed as a community museum to reflect the 1918 period. The history of this site dates to the 1830s, which is evident in the remaining stone (rear) portion of the main house. The site is an important cultural landscape as the six acre parcel provides a link to the area's agrarian past; with its historic elements, mature trees, open space, all within an urban context

- Identification of the cultural heritage attributes and values of the property structures and landscape features

City of Mississauga Designation Statement:

"Benares" property is recommended for designation on the architectural grounds that it is a substantial house built in the Georgian style with such vernacular adaptations as the veranda and balcony. The main brick block incorporates the original cut stone house as a rear wing. There are also interesting outbuildings on this property. Historically, the original stone wing is believed to have been started in 1835 by Edgar Neave. The property was then sold to Captain James B. Harris in 1837 who built the main block in 1857. The house has added interest in that it is believed to have been the model for Jalna in Mazo de la Roche's White Oaks series.

- Identification of any recognized significance, such as a heritage designation by-law, historic plaque, etc.

The property is Designated under Part IV of the Ontario Heritage Act and functions as a museum and interpretive center. It is highly recognized as a heritage resource within the City of Mississauga.

C) Planning and Policy Status:

- Provide details of the current land use and related Official Plan policies and Zoning

The property is zoned OS2 under the Mississauga Zoning By-law 0225-2007. This is a zone that allows only a City Park with active and passive recreational uses

- Identify any regulatory requirements (e.g. heritage designation, flood plain requirements, etc.)

The heritage designation is noted above. There are no flood plain or other issues.

3. Project Objectives

- Outline what is to be achieved by this project

The intention of the project is to conserve the building by replacing weathered finishing materials and by general repairs to prevent the intrusion of moisture and wild animals into the structure and by so doing to ensure the long-term viability of the building.

- Provide short term and long term goals and objectives

The short term objective is to restore the building to water-tightness and to secure it against animal intrusion. The long term objective is to have this structure remain as part of the fabric of the Benares museum and to continue to allow it to be used for active and passive historical interpretation and community uses.

- Proposed solutions for conservation of the property's heritage attributes

Conservation recommendations:

General principles:

-the intent of the repair work should be to conserve as much of the historic fabric as possible. Unless the historic fabric is beyond repair the materials will be retained and repaired as necessary and not replaced

-where wood elements are deteriorated, repairs should be conducted with low modulus epoxy fill for small patches and Dutchman repairs for larger areas of deterioration



Typical "Dutchman" repair in finish grade wood – term refers to the cutting out and replacement of damaged or rotted wood elements and replacement with new wood cut to fit and glued in place

Photo-documentation:

-once appropriate scaffolding is on site the existing porch should be thoroughly photo-documented prior to beginning work

Localized Removal of Deteriorated Material:

General – Porch Columns: *The porch columns must be inspected on all elevations. There are numerous instances of deteriorated and split trim boards especially on the lower parts of the columns. Individual pieces that are split, broken or show signs of rot should be removed and set aside.*

General – Fanwork and decorative brackets: *These decorative elements must be inspected on all elevations. Generally they are in good condition. Report significant deterioration, if found, to consultant*

General – Porch gable end returns: *These show evidence of water penetration. These must be inspected for water-tightness. Existing flashings or roof membranes should be removed. Report significant deterioration, if found, to consultant.*

General – Wood Shingle Roof: *The asphalt shingle roof appears to be in good condition but should be inspected once scaffolding or lifting equipment is on-site. Report findings to consultant.*

General – Porch ceiling: *The porch ceiling appears to be in good condition but with some visible paint peeling and built up debris from insect nests, etc. This must be cleaned and inspected. Report findings to consultant.*

General – Soffit/fascia/eavestrough/downspouts: *These elements appear to be in fair condition but should be inspected once scaffolding or lifting equipment is on-site. Report findings to consultant. A conservation strategy will be developed at that time.*

General – cleaning: *All painted surfaces should be hand-washed with water and TSP or similar product to remove dirt, grease, etc., before proceeding with the work.*

General – Paint scraping: *All areas of loose or peeling paint must be scraped down to solid material. Feather all joints. All areas should be manually scraped first. The use of vibrating sanders is allowed. Belt sanders may be used in particularly difficult applications. Discuss with consultant before using circular sander. Aggressive paint removal techniques including water blasting, sand blasting are not permitted.*

General – Porch wooden floor: *This appears to be older boards with some evidence of location splitting but generally serviceable. These must be inspected from above and below and badly deteriorated boards removed.*

General – Porch floor joists and beams: *These appear to be older solid timbers with some evidence of local repair and strengthening with new pressure treated boards. These and any*

associated fasteners or connections must be inspected from below. Report findings to consultant. Structural repairs are not assumed to be part of this scope of work.

General – Stone Foundation: The stone foundation appears to be in serviceable condition but should be inspected for loose stones, missing mortar, signs of water intrusion, etc. Report findings to consultant. Masonry repairs are not assumed to be part of this scope of work.

General – Soffits/Fascia/Eavestroughs/Rain water leaders: These elements are generally in serviceable condition but there are obvious areas where eavestroughs are loose or broken, fascia and soffits have been damaged by animal intrusion, etc. Heavily damaged members should be removed for inspection of the structure within. Report findings to consultant.

Nails: original square head nails removed during the demolition should be retained. Newer wire nails can be discarded.

Animal intrusion: if invasive animals are discovered during the course of this work a pest control strategy will have to be developed. This is outside the scope of this report.

Inspection:

Paint Surfaces: There may be residue of lead paint on previously painted surfaces. Test samples of paint should be removed and sent to an appropriate facility for testing. Report findings to consultant. In the event that lead paint or other harmful material is discovered a strategy for inspection, containment or removal will have to be developed at that time.

Asbestos: it is not anticipated that any asbestos or similar deleterious materials will be discovered. In the event that these materials are found to be present a strategy for removal and abatement will have to be developed at that time.

Floor Structure and Foundation: The structural elements of the porch floor can be inspected from below. There is an obvious slope of the porch floor from the face of the house to the face of the porch. This may have been intentional to encourage water shedding but the structure should be inspected to ensure that it is stable and that the slope is not evidence of deterioration or movement of the structure. There is a gap between the porch boards and the brick surface of the house. This appears to be consistent along the face of the brick wall and may have been intentional to encourage airflow and drying of the assembly but this should be inspected to ensure that it is stable and that the gap is not evidence of deterioration or movement of the structure. Report findings to consultant.

Note: Professional engineering assessment may be required if unexpected conditions are encountered.

Protection during Construction:

- openings in the building must be temporarily blocked with tightly fitted plywood or other material to prevent water and animal intrusion during the period of construction. All other areas of the building must be similarly protected during the construction process.

Construction:

Replacement of wood elements: removed wood elements (porch and soffit/fascia) must be replaced with like materials to match species and profile as closely as possible. It is to be expected that custom milling of materials will have to take place and that custom cutting knives may have to be made in order to replicate historic profiles. Wood material may have to be purchased “in the rough” and custom milled to required thicknesses. Replaced materials must match removed profiles and sizes exactly.

Roofing and flashing: New roofing and flashing materials will be required on porch gable end returns. There may also be minor roofing and flashing repairs associated with the soffit/fascia conservation. Discuss with consultant when scope of this work is better known.

Painting, sanding and filling: All replaced materials must be coated with one coat of primer on all sides including those not visible. All repaired areas must be filled with appropriate wood filler and putty and sanded to achieve a seamless appearance. Repaired areas must be coated with one coat of primer. Areas where paint is in good condition must be lightly sanded. All areas to receive two coats of finish paint in colour and sheen to match existing. Paint must be high quality exterior grade Benjamin-Moore, Sherwin-Williams or similar. Review paint specification with consultant. Show samples of paint match to consultant and City representative for approval. Generally all surfaces of the porch including the underside of the ceiling will be painted. Soffits and Fascia will be painted where repairs have taken place but new paint may be feathered into the old. Allow at least 0.5m of feathering. Assume that paint match may have to be adjusted after first coat application. Note that porch floor is finished with non-slip coating. This must be maintained.

Eavestroughs and Rain Water Leaders: The original materials on the building consist of painted galvanized steel and copper profiles with soldered connections. New eavestroughs and rain water leaders may be galvanized steel (if available) or copper shaped to match the existing profiles. Do not use typical “K” section contemporary extruded aluminum sections. Do not use contemporary 5” eavestrough. Do not use contemporary straps, hangers or downpipes. All profiles and detailing must match existing. Connections should be soldered. Provide samples to consultant. Paint new metal components with primer specified for the purpose and two coats finish paint.

Nails: nails should be common wire or spiral nails, hot dip galvanized. All nails must be hand driven – no pneumatic or automatic nailing equipment may be used. Nails must be appropriate for their use with a minimum embedment into the substrate of double the thickness of the member being fastened.

Grading: the grade along the front surface of the porch is composed of pea gravel between the edge of the porch and the paved driveway/walkway adjacent. There is localized depression between the driveway and the porch. Additional pea gravel should be added here to bring the surface of the grade approximately level with the driveway and to reduce the distance of the porch floor to grade to 0.6m.



Inspection:

SMDA should be called to inspect at the following project stages at a minimum:

- following scaffolding of building but prior to any removals*
- following paint scraping and removal of deteriorated material*
- prior to placing any new material*
- after first coat of finish paint is applied*
- in the event that unexpected conditions are encountered*

Submittals:

Contractor will be required to submit to SMDA and the City of Mississauga the following:

- samples of all fasteners, building materials proposed to be used*
- data sheets for all painting materials proposed to be used*
- samples of all replicated moulding profiles*
- samples of eavestrough and rain water leader materials*
- sample of soldered eavestrough connection*

Provide the conservation policies to be used in this project (i.e. what conservation principles will be used to ensure long term conservation, maintenance, monitoring, and sustainable use of the property)

Generally the existing house is in good condition, appears to have had regular routine maintenance and the work proposed is limited to the replacement of existing deteriorated elements that left un-repaired will allow moisture and animal intrusion into the building and threaten its long term viability. Only deteriorated items will be replaced and serviceable elements will be repaired and retained. The nature of

the present and future use, the ownership by the City and the involvement of the Ontario Heritage Trust makes the likelihood of long term maintenance and sustainable use very high.

4. Statement of Heritage Intent

- An explanation is required that proposes the reasoning and considerations behind the choice of conservation treatments.

The conservation treatments proposed are the minimum maintenance requirements to allow the house to continue to function and survive in its present use.

- Statement as to why one period of restoration over another was selected, rationale for new interventions, background resources used such as principles and conventions of heritage conservation.

There is no restoration proposed as part of this project and no choice of period. The intention here is periodic maintenance.

- Statement as to the recording, inventory and disposition/retention of moveable cultural heritage resources (e.g. artifacts, archival material, salvaged material) and its incorporation into the conservation project.

It is recommended that any materials that are suitable for re-use are stored and conserved. Original square nails should also be stored and conserved.

5. Condition Assessment of the Cultural Heritage Resource(s)

- Condition report of the cultural heritage resource(s) and specific attributes, identifying any deficiencies or concerns.

This is discussed above.

- Detailed recommendations to mediate and prevent further deterioration. Direction as to use or change in use and how that relates to conserving the heritage attributes.

The purpose of the intervention on the house is to provide routine maintenance that will prevent further deterioration. It is expected that routine re-inspection will be necessary as is typical with any building whose construction includes significant amounts of wood finishing, but no more so than any other similar structure.

- Outline opportunities and constraints with relation to all aspects of the project (i.e. budget, planning issues, public access, long term needs)

There are no planning issues or other similar considerations.

- Recommendations for conservation treatments that reference the framework provided in Parks Canada Standards and Guidelines for the Conservation of Historic Places In Canada.

See Appendix at end of this document.

6. Building System and Legal Considerations

- Statement to explain the building and site use from a practical, logistical and legal perspective

The house presently functions as an important component of the Benares museum. There is public access to the interior of the house and porch and community programming associated with it.

- Input from structural, mechanical, electrical, planning, geotechnical, trades, and all other required fields of expertise to ensure the project is viable and sustainable. Building and site system review may include:

- Site Work (e.g. landscaping, drainage, servicing)

Proposed site work is minimal and not expected to require professional engineering services but they will be called if unexpected conditions are encountered. Structural engineering review will be called if deteriorated structural elements are encountered on inspection.

- Trees, shrubs, other plantings

There is expected to be minimal impact on trees and plantings

- Archaeological concerns and mitigation

No excavation or disturbance of archaeological resources is proposed

- Structural elements (e.g. foundation, load bearing)

Professional engineering review will be called upon in the event that these situation are encountered

- Building Envelope (roof, wall cladding, window type), Ontario Building Code, Accessibility

SMDA are the architectural consultants on the project. There are no accessibility issues

- Mechanical, Plumbing, Electrical

No mechanical, plumbing or electrical work is proposed

- Finishes and Hardware

New paint finish to match the existing is proposed. Hardware profiles on the eavestroughs and rain water leaders must match the existing.

- Fire Safety and Suppression

No fire safety or suppression work is proposed

- Environmental Considerations, Lighting, Signage and Wayfinding, Security

No significant environmental considerations are expected. There is no requirement for lighting, signage, wayfinding or security as part of this proposal.

- Legal Considerations (e.g. easements, encroachments, leasing, etc.)

The present owners are also the operators of the building. There are no leasing arrangements. There are no encroachments. There is a heritage easement in favour of the Ontario Heritage Trust.

7. Work Plan

- Timeline to describe, in chronological order, to meet the objectives and goals Statement as to specialized trades or skills that will be required to complete the work

The work will consist of:

-this is summarized above

The work will require qualified local trades but nothing particularly specialized. It is not expected that it will be difficult to find trades to execute the work.

- Proposed budget to meet and sustain the goals and timeline; long term and short term maintenance schedule

The budget has not been finalized. The City of Mississauga owns a number of heritage buildings and is aware of the cost of maintenance.

- Monitoring schedule, process and identify those responsible for monitoring

This is discussed above.

8. Qualifications

- Heritage Conservation Management Plans will only be prepared by accredited, qualified professionals with demonstrated experience in the field of heritage conservation

- Conservation Plans are usually a multidiscipline exercise whereby all consultants on the project must demonstrate accredited professionalism, experience and knowledge in their chosen field of expertise

9. Additional Information

- Bibliography of all documentation resources
- List of consultants and other professionals related to the project

A CV for Rick Mateljan of SMDA is included.

10. Additional Reports that may be required:

- Archaeological report, Arborist's report, Structural engineering report

Noted above

- Any other report that City staff may require to assess the project

11. Approval Authority

The City of Mississauga will be the approval authority for a Heritage Conservation Management Plan

Contact Information:

Inquiries regarding the submission and requirements of a Heritage Conservation Management Plan should be addressed to Heritage Planning, Culture Division, City of Mississauga

Email: culture.division@mississauga.ca

APPENDIX:

Commentary based on Parks Canada Standards and Guidelines for the Conservation of Historic Places In Canada

1. Conserve the heritage value of a historic place. Do not remove, replace or substantially alter its intact or repairable character-defining elements. Do not move a part of a historic place if its current location is a character-defining element.

Only removal of deteriorated elements is proposed. No movement of any part of the building is proposed.

2. Conserve changes to a historic place that, over time, have become character- defining elements in their own right.

No changes to character-defining elements are proposed

3. Conserve heritage value by adopting an approach calling for minimal intervention.

The proposed intervention to these buildings is as minimal as possible.

4. Recognize each historic place as a physical record of its time, place and use. Do not create a false sense of historical development by adding elements from other historic places or other properties, or by combining features of the same property that never coexisted.

There is no attempt to create a false sense of development.

5. Find a use for a historic place that requires minimal or no change to its character-defining elements.

The ongoing use is an excellent and appropriate use of this property.

6. Protect and, if necessary, stabilize a historic place until any subsequent intervention is undertaken. Protect and preserve archaeological resources in place. Where there is potential for disturbing archaeological resources, take mitigation measures to limit damage and loss of information.

The house will be protected and stabilized as a result of this intervention. The Ontario Heritage Trust has done extensive archeological work on this site previously.

7. Evaluate the existing condition of character-defining elements to determine the appropriate intervention needed. Use the gentlest means possible for any intervention. Respect heritage value when undertaking an intervention.

This is a gentle interventions to this building.

8. Maintain character-defining elements on an ongoing basis. Repair character- defining elements by reinforcing their materials using recognized conservation methods. Replace in kind any extensively deteriorated or missing parts of character-defining elements, where there are surviving prototypes.

Noted. This is exactly the purpose of this intervention

9. Make any intervention needed to preserve character-defining elements physically and visually compatible with the historic place and identifiable on close inspection. Document any intervention for future reference.

There will be no identifiable change to the building

City of Mississauga
Corporate Report



Date: 2018/06/14

To: Chair and Members of Heritage Advisory Committee

From: Paul Mitcham, P. Eng, MBA, Commissioner of
 Community Services

Originator's files:

Meeting date:
 2018/07/10

Subject

Request to Demolish a Heritage Listed Property: 2560 Mindemoya Road (Ward 7)

Recommendation

That the property at 2560 Mindemoya Road, which is listed on the City's Heritage Register, is not worthy of heritage designation, and consequently, that the owner's request to demolish proceed through the applicable process.

Background

Section 27.3 of the Ontario Heritage Act states that structures or buildings on property listed on the City's Heritage Register cannot be removed or demolished without at least 60 days' notice to Council. This legislation allows time for Council to review the property's cultural heritage value to determine if the property merits designation.

The owner of the subject property has submitted a heritage permit application to demolish and replace the existing detached dwelling. The subject property is listed on the City's Heritage Register as it forms part of the Erindale Village cultural landscape. This cultural landscape is noted in the Cultural Landscape Inventory for "being a small residential enclave...with a street pattern and scattered heritage properties are remnants of this nineteenth century village". It is known for characteristic landscape and built environment features, and historical associations to a phase of Mississauga's development.

Comments

The owner of the subject property has requested permission to demolish the existing structure. The applicant has provided a Heritage Impact Assessment compiled by Next Design Group, Toronto. It is attached as Appendix 1.

The consultant has concluded that the structure at 2560 Mindemoya Road is not worthy of designation. Staff concurs with this finding and agrees with the Mitigation and Salvage recommendations outlined in the report.

Financial Impact

There is no financial impact.

Conclusion

The owner of 2560 Mindemoya Road has requested permission to demolish a structure on a property that is listed on the City's Heritage Register. The applicant has submitted a documentation report which provides information which does not support the building's merit for designation under the Ontario Heritage Act. Staff concurs with these findings.

Attachments

Appendix 1: Heritage Impact Assessment 2560 Mindemoya Road, Mississauga



Paul Mitcham, P. Eng, MBA, Commissioner of Community Services

Prepared by: Paula Wubbenhorst, Heritage Planner

Heritage Impact Assessment

2560 Mindemoya Road, Mississauga



Prepared for

Next Design Group, Toronto

By

Heritage Resources Consulting

April 2018

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2560 MINDEMOYA ROAD, HERITAGE IMPACT STATEMENT

INTRODUCTION

Heritage Resources Consulting has been requested to prepare a Heritage Impact Assessment of 2560 Mindemoya Road, lots 6 and 7 Plan Tor-7 and originally part of lot 28, concession 1 SDS by Next Design Group.¹ Their client, the property owner, wishes to demolish the existing domestic structure and replace it with a new home on the present footprint. The property lies within the Erindale Village Cultural Landscape, a cultural landscape area identified by the City of Mississauga.² It is also near but not part of the Credit River Corridor Natural Landscape. 2560 Mindemoya Road is not designated as a heritage property under Part IV of the Ontario Heritage Act.³

CURRENT DESCRIPTION OF 2560 MINDEMOYA ROAD

The property is situated on the east side of Mindemoya Road which runs south from Dundas Street West, just east of the Credit River. It is also at the eastern extremity of the original village of Erindale, established as Springfield by registered plan Tor-7 in 1857. Mindemoya Road was originally called Second Forty Feet Road.⁴ The Erindale Village Cultural Landscape area is

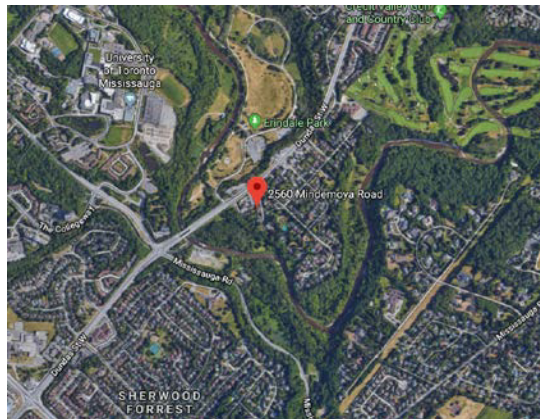


Figure 1 *Aerial View of 2560 Mindemoya Road, Mississauga. (Google Maps:*

¹ "Mindemoya" has been translated from the Ojibwe language as "old woman" in several sources including Alexander Francis Chamberlain, *The Language of the Mississaugas of Skugog: A Contribution to the Linguistics of the Algonkian Tribes of Canada* (McCalla & Company: Philadelphia, 1892), p. 67;

<http://eco.canadiana.ca/view/oocihm.02955/71?r=0&s=1>.

² City of Mississauga, Community Services, *Cultural Landscape Inventory* (Jan. 2005);

http://www5.mississauga.ca/pdfs/Cultural_Landscape_Inventory_Jan05.pdf.

³ City of Mississauga web site, Planning and Building, property information;

<https://www.mississauga.ca/portal/services/property>.

⁴ It is not known when this name change took place but the earliest reference found to date for the use of Mindemoya Road is 1958; The Port Credit Weekly, 13 Nov. 1958, p. 7;

<http://pub.canadiana.ca/view/omcn.PortCreditWeekly16/419?r=0&s=5>.

2560 MINDEMOYA ROAD, HERITAGE IMPACT STATEMENT

integrated into the larger city but it does retain many features of its original village origins. The residence at 2560 Mindemoya Road is a modest one and a half storey structure and was likely based on a post-war design developed under the auspices of the Central Housing and Mortgage



Figure 2 *2560 Mindemoya Road, Mississauga looking west from the road. (Photo by author, January 2018.)*

Corporation. It has undergone substantial changes which will be discussed in detail below. The



Figure 3 *2560 Mindemoya Road, Mississauga looking east up the slope. (Photo by Next Design Group, July 2017.)*

2560 MINDEMOYA ROAD, HERITAGE IMPACT STATEMENT

house sits on the edge of a substantial slope which divides the property into two areas: the front one-third of the lot which aligns with the street and the rear two-thirds which form a flat plateau that leads to the natural landscape of the Credit River valley. The property has a large rear lawn edged with trees and, from the road, is almost hidden by a hedge.



Figure 4 *2560 Mindemoya Road, Mississauga looking west to the house from the road.*
(Google Map image, June 2014.)

SITE HISTORY

The following overview traces the evolution of the property which is now identified as lots 6 and 7 in plan Tor-7 at the Peel County Land Registry Office. Structures are also reviewed where there is sufficient information available.

PRE-SETTLEMENT

By the end of the 17th century much of what is now southern and south-western Ontario became the territories of the Ojibwe who pushed the Iroquois Confederacy south of the Lower Great Lakes during these years. The Credit River valley, within which 2560 Mindemoya Road is situated, and a large tract of territory around it became the traditional hunting lands of the Mississauga, part of the larger Ojibwe cultural group early in the 18th century.⁵ Here, at the mouth of the Credit River, the Mississauga met French traders and began exchanging furs for European manufactured good. It is said that the name of the river derives from the willingness of

⁵ Mississauga Heritage Web Site, Aboriginal Culture; <http://www.heritagemississauga.com/page/Aboriginal-Culture>.

2560 MINDEMOYA ROAD, HERITAGE IMPACT STATEMENT

the French to extend credit to their native partners, a gesture of good will by and no doubt an economic benefit for the French.

By the 1780s settlers began to stream into what would become Upper Canada, and eventually Ontario. The first arrivals were refugees of the American Revolution, the United Empire Loyalists, and they settled mostly in the eastern portion of the territory and in the Niagara Peninsula. In 1791 Upper Canada was established as a separate colony and two years later its first Lieutenant Governor, John Graves Simcoe, had a road cut through the western lands. This was Dundas Street which runs in an east-west direction near the subject property and remains a major transportation artery to this day.

1805 TO 1928

In the first years of the 19th century it was becoming clear that European settlement was only going to increase along lakes Ontario and Erie. In 1805 the Mississauga sold their lands around the Credit River, retaining a reserve on the river and a one-mile wide stretch of land on either side of the river for fishing and hunting.⁶ Almost immediately thereafter the government had this land surveyed into the township of Toronto prior to opening it to settlement. Further sales took place in 1818 and 1820, an indication of the unrelenting tide of newcomers seeking farmland and establishing communities. The following map shows the Mississauga lands, both the areas ceded and those for a time retained. The one-mile wide strip of land on either side of the Credit River, including our subject property, was also ceded in the 1820 treaties (Figure 5).

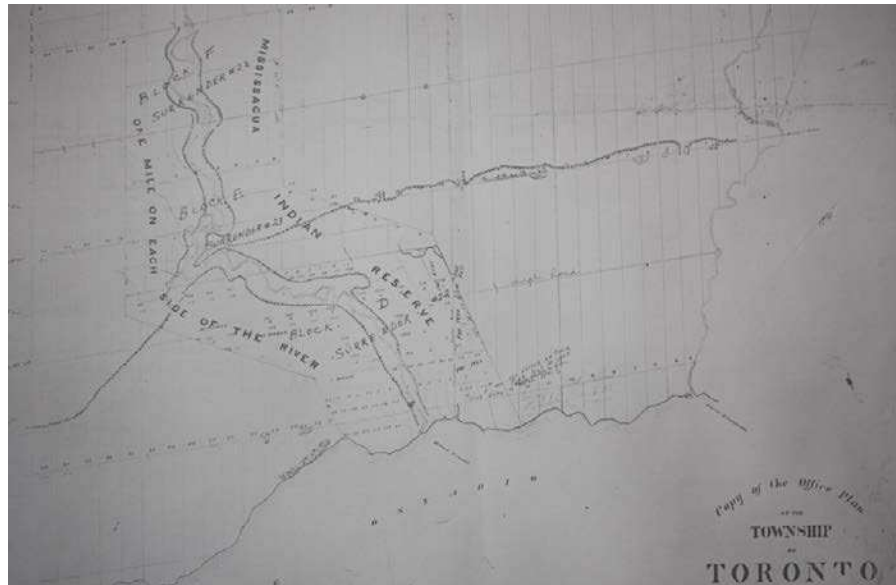


Figure 5 *Lands along the Credit River surrendered by the Mississauga, 1818 and 1820, detail. (Library and Archives Canada, National Map Collection, NMC, 13121.)*

⁶ Kathleen A. Hicks, *Port Credit: Past to Present* (Mississauga Library System: Mississauga, ON, 2007), p. xiii.

2560 MINDEMOYA ROAD, HERITAGE IMPACT STATEMENT

In 1826 Thomas Racey, a veteran of the War of 1812 and a merchant in the Niagara area, persuaded the government at York [Toronto in 1834] to provide him with a grant of over 1,600 acres straddling Dundas Street and the Credit River (Figure 6). Racey in turn promised to

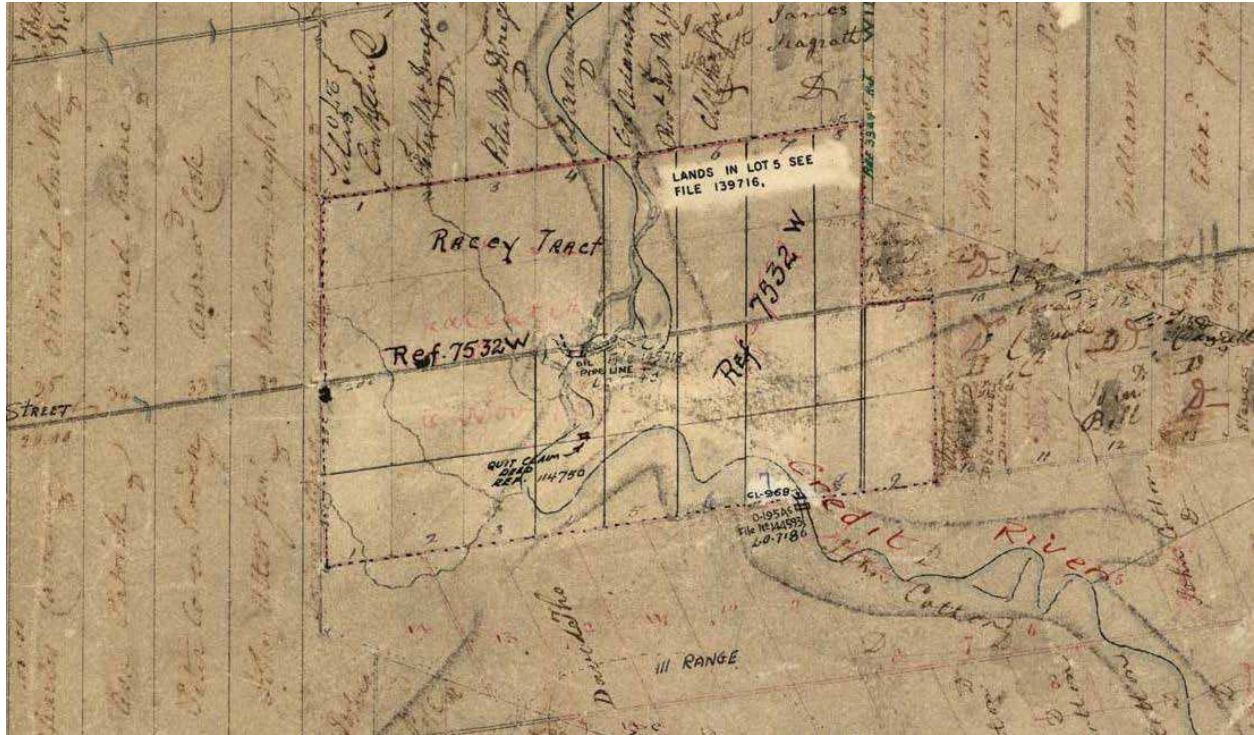
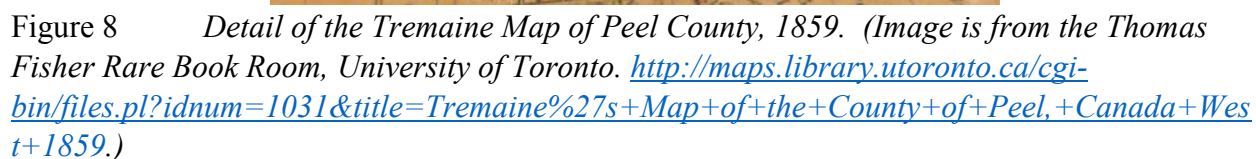
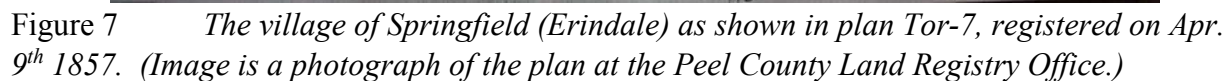


Figure 6 *Detail of an undated plan of Toronto Township showing the Racey Tract. (Archives of Ontario, image 10051346.)*

build mills at the confluence of Dundas Street and the Credit River to attract new settlers to whom he would offer 50 acre grants in his domain. Racey's plans failed when he was unable to interest settlers in his scheme and failed to make the first payment on his land which was shortly returned to Crown control.

By 1824 others, including Alexander Proudfoot, Peter and Joseph Adamson, William Thompson and Frederick Starr Jarvis, laid out a village that they called Toronto and then Credit. This community was established as Springfield [changed to Erindale early in the 20th century] in a plan registered with the Peel County Land Registry Office in 1857. This plan also created Second Forty Feet Road [now Mindemoya Road] and lots 6 and 7 which form the present property. The village is shown first in an unclear copy of the original 1857 plan and again in Tremaine's 1859 map of Peel County. It is more clearly defined in the 1877 *Historical Atlas of Peel County* (Figure 9).



2560 MINDEMOYA ROAD, HERITAGE IMPACT STATEMENT

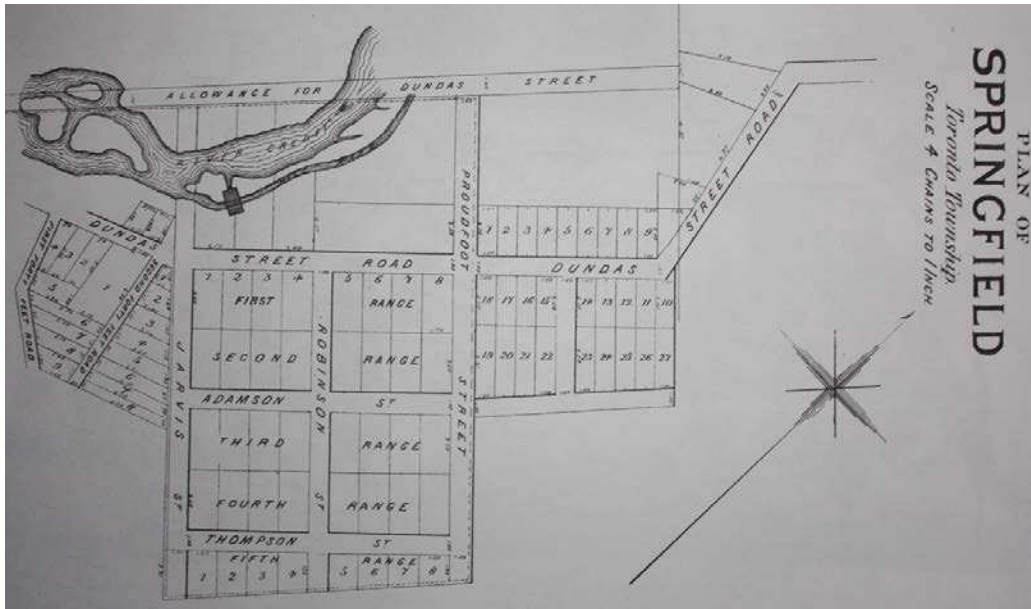


Figure 9 Plan of Springfield (Erindale), 1877, showing Second Forty Feet Road and lots 6 and 7. (Image from the 1877 Historical Atlas of Peel County.)

Existing records suggest that lots 6 and 7 of plan Tor-7 remained unoccupied until the early 20th century. The chain of ownership for lots 6 and 7, Tor-7 are provided in Appendix 1. Both lots were sold together, along with other unspecified lands, numerous times between 1829 and 1928 when the first of two mortgages were issued on them. It may have been at this later date that a small structure of unknown origin and use was constructed on the lower plateau of the property (Figures 10 and 11). It would likely have had an original access from First Forty Feet Road (now Nanticoke Road). This orientation would be in keeping with the original registry records which identify our properties as lots 6 and 7, east of First Forty Feet Road, now Nanticoke Road, rather than the current address on Mindemoya Road which was originally called Second Forty Feet Road.



Figure 10 Lots 6 and 7 showing the older structure, and the current residence at 2560 Mindemoya Road. (Image from City of Mississauga web site; <http://www6.mississauga.ca/olmaps/maps.aspx#map=19/-8867107.25/5395126.5/0.9075712110370514>.)

2560 MINDEMOYA ROAD, HERITAGE IMPACT STATEMENT

The following survey detail and photographs show a one storey structure that consists of a metal and a frame shed separated by a narrow walkway and with a shingled roof covering the three components. Given its location near the rear of the lot and its proximity to the Credit River, it may have served as a vacation cottage early in the twentieth century.

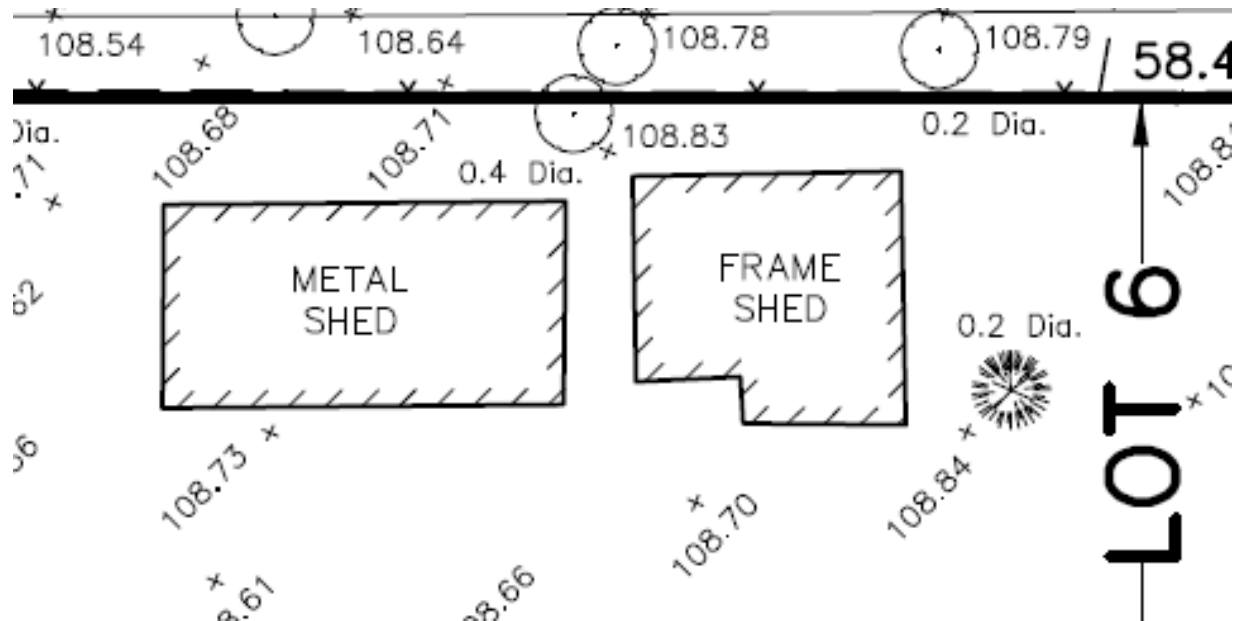


Figure 11 *Detail of survey of 2560 Mindemoya Road showing the metal and frame sheds in the back yard. (Image from Next Design Group, February 2018.)*



Figure 12 *One storey linked structures at the north edge of the property and on the lower plateau. (Photo by author, January 2018.)*

2560 MINDEMOYA ROAD, HERITAGE IMPACT STATEMENT



Figure 13 *One storey linked structures at the north edge of the property and on the lower plateau. (Photo by author, January 2018.)*



Figure 14 *One storey linked structures at the north edge of the property and on the lower plateau. (Photo by Next Design Group, July 2017.)*

2560 MINDEMOYA ROAD, HERITAGE IMPACT STATEMENT

Figure 15 *The linked one storey sheds as viewed from the side deck of the existing residence. (Photo by Next Design Group, July 2017.)*

1929 TO 2018

The property changed hands three more times between 1929 and September 1953 when it was sold to George and Gladys Donner. They likely built the current residence in 1954 and raised their family there. The Donner family owned the property for the next four decades. 2560 Mindemoya Road was sold by the Donner estate in 1999 and again in 2014 to United Vision Contracting (Canada) Inc. which in turn transferred the property to the current owner in 2017.⁷ The following historical aerial photo images provide a sense of the visual evolution of the property and surrounding lands from 1944 to the present.

⁷ Peel County Land Registry Office, Abstract Indexes for lots 6 and 7, plan Tor-7, and transactions information received from Next Design Group.

2560 MINDEMOYA ROAD, HERITAGE IMPACT STATEMENT

Figure 16 *An aerial view of 2560 Mindemoya Road in 1944 showing little development on the east side of the road except for the Erindale Community Hall at the southwest corner of Dundas Street West and Mindemoya Road. The hall was erected in 1928. (Image from the Map Database, City of Mississauga.)*



Figure 17 *An aerial view of 2560 Mindemoya Road in 1954. Residences do not yet appear to have been constructed on this property or on the adjacent lot, 2558 Mindemoya Road. (Image from the Map Database, City of Mississauga.)*

2560 MINDEMOYA ROAD, HERITAGE IMPACT STATEMENT

Figure 18 *An aerial view taken in 1963 and showing structures on both 2560 and 2558 Mindemoya Road. The older structure on the lower level of 2560 Mindemoya Road also appears in vague outline. (Image from the Map Database, City of Mississauga.)*



Figure 19 *An aerial view taken in 1980 and showing structures on both 2560 and 2558 Mindemoya Road. The older structure on the lower level of 2560 Mindemoya Road also appears more clearly here. (Image from the Map Database, City of Mississauga.)*

2560 MINDEMOYA ROAD, HERITAGE IMPACT STATEMENT

Figure 20 *An aerial view taken in 2005 showing the structures on 2560 Mindemoya Road. The dark area at the west portion of the lot is a swimming pool, since removed. (Image from the Map Database, City of Mississauga.)*



Figure 21 *An aerial view taken in 2012 showing the structures on 2560 Mindemoya Road. The swimming pool has been removed. (Image from the Map Database, City of Mississauga.)*

2560 MINDEMOYA ROAD, HERITAGE IMPACT STATEMENT

Figure 22 *An aerial view of 2560 Mindemoya Road and surrounding properties taken in 2017. (Image from the Map Database, City of Mississauga.)*

2560 MINDEMOYA ROAD, HERITAGE IMPACT STATEMENT

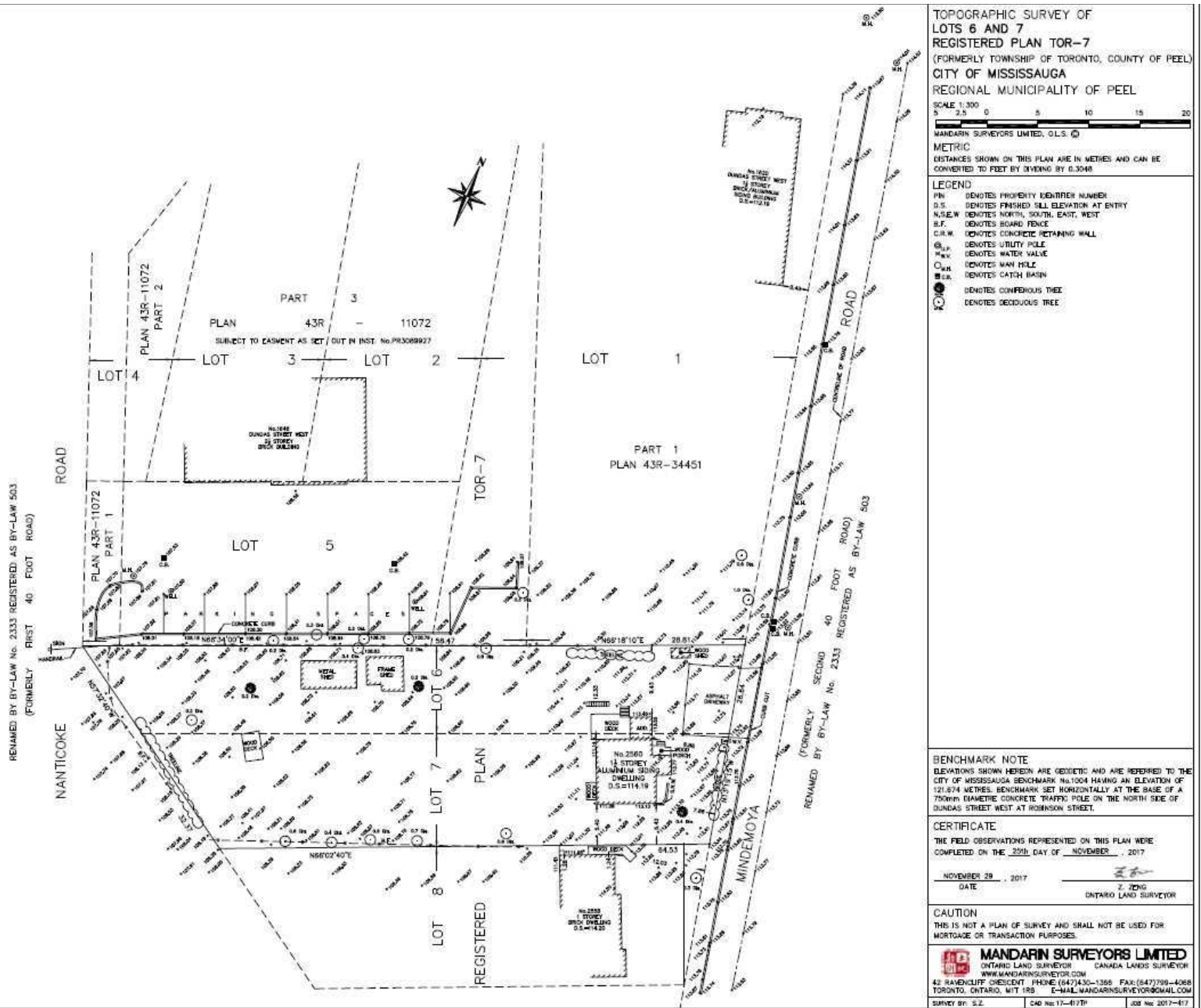


Figure 23 Survey of 2560 Mindemoya Road showing the original lots 6 and 7 from Plan Tor-7. (Image from Next Design Group, November 2017.)

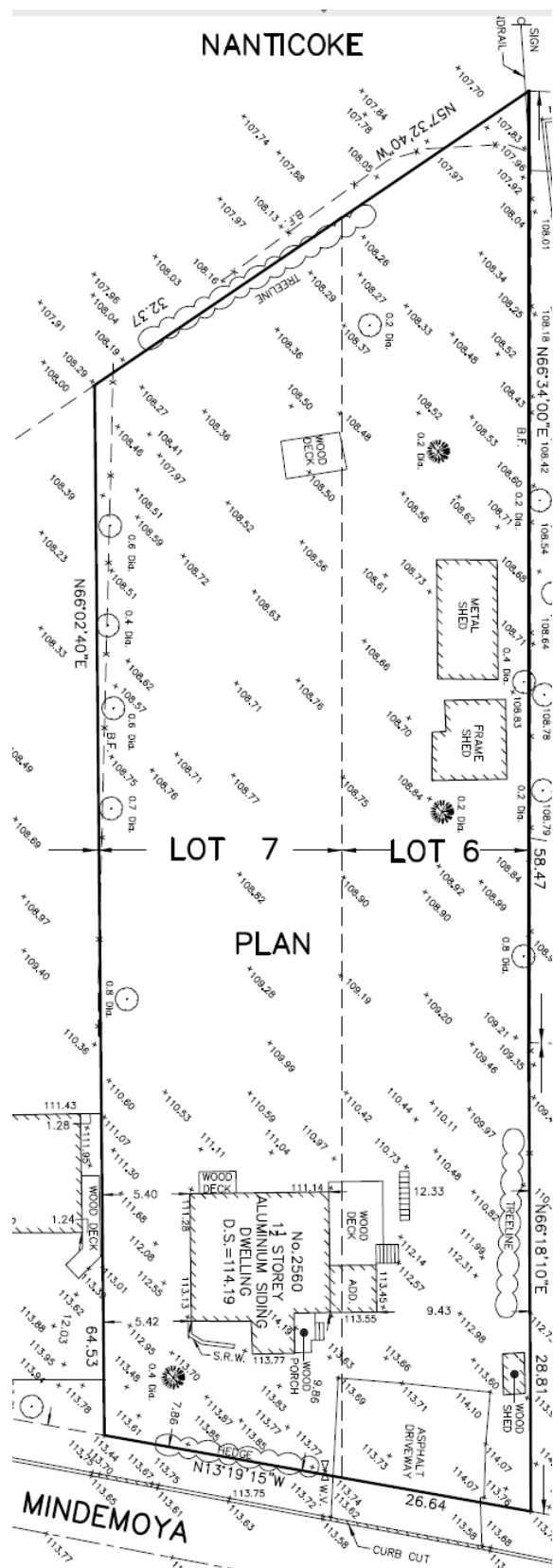


Figure 24 *Detail of survey of 2560 Mindemoya Road showing the original lots 6 and 7 from Plan Tor-7. (Detail of survey from Next Design Group, November, 2017.)*

2560 MINDEMOYA ROAD, HERITAGE IMPACT STATEMENT

2560 MINDEMOYA ROAD: ANALYSIS OF THE EXISTING PROPERTY

Structure

Exterior

The residence at 2560 Mindemoya Road is a one and a half storey design that likely came from the post-World War II housing programme established by the Central Mortgage and Housing Corporation to accommodate the needs of veterans and their “baby boom” families.⁸ CMHC supported the publication of graphic catalogues such as *Canadian Designs for Everyday Living* (1948) and *Progress through Design* (1950) to provide examples of small, simple and inexpensive house designs. These designs were prepared by architects and complete sets of working drawings were available to the public through CMHC for \$10.00.⁹ The domestic residence currently at 2560 Mindemoya Road does not conform to these early plans but that is the result of significant changes that were made to the structure after it was erected about 1954. The following two images show the house as it appeared in 1978 and as it now exists (Figures 25, 26 and 27). CMHC plans which could have provided inspiration for its original design appear below in figures 32 and 33. The external alterations revealed in a comparison of the 1978 and 2017 photos of the residence include a windowed dormer on the roof of the front façade to improve lighting for the upper level and a vestibule clad in stone veneer extending from the front door with a new entry door on its northern side. The original open porch on the north façade has been closed in and an extensive wooden deck now extends north from the main level of the residence and behind the built-in porch. Figures 29, 30 and 31 show another large dormer that has been added to the roof of the rear or west façade. The structure appears to have retained its original white aluminum siding only on its rear and east façades. The remaining elevations are now covered in a stucco material. The concrete block foundation seems unchanged. The original large ‘picture window’ on the front façade has been replaced with a multi-paned bay window. The original window to the right of the front door has also been replaced with a segmented window to give the appearance of an older structure. The aluminum awning that once shaded the upper level window on the north façade has been removed but the double-paned window itself does not seem to have been changed.

⁸ Ioana Teodorescu, School of Architecture, McGill University, Montreal, “Building Small Houses in PostWar Canada: Architects, Homeowners and Bureaucratic Ideals, 1947-1974,” doctoral dissertation, 2012.

⁹ Teodorescu, “Building Small Houses,” pp. 10 and CMHC, *Small house designs: two-storey and 1½-storey houses* (CMHC, Nov. 1954).

2560 MINDEMOYA ROAD, HERITAGE IMPACT STATEMENT



Figure 25 2560 Mindemoya Road in 1978. Note "The Donners" welcome sign in front. (Image provided by Elizabeth McGuaig and Dorothy Kew of the Canadiana Room, Mississauga Central Library, image B533.)



Figure 26 2560 Mindemoya Road in 2018. (Photo by author, January 2018.)

2560 MINDEMOYA ROAD, HERITAGE IMPACT STATEMENT



Figure 27 2560 Mindemoya Road in 2017, front and north façades showing substantial external changes. (Photo by Next Design Group, July 2017.)

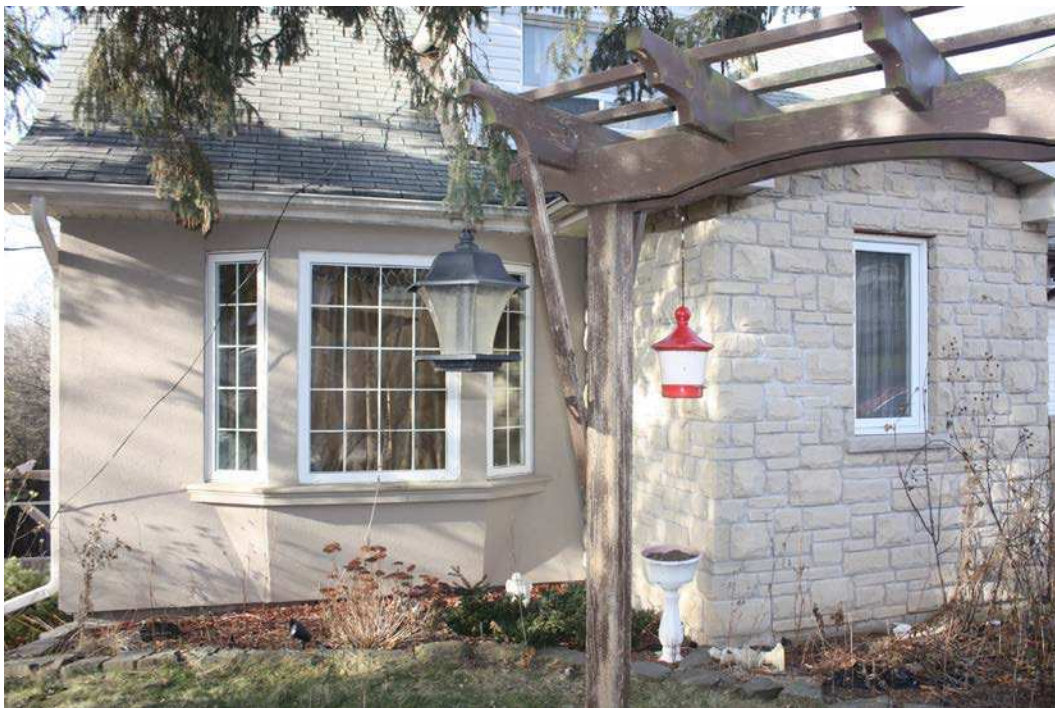


Figure 28 2560 Mindemoya Road in 2017 showing substantial external changes to north and rear façades of the building. (Photo by author, January 2018.)

2560 MINDEMOYA ROAD, HERITAGE IMPACT STATEMENT



Figure 29 2560 Mindemoya Road in 2018 showing substantial external changes to north and rear or west façades of the building. (Photo by author, January 2018.)



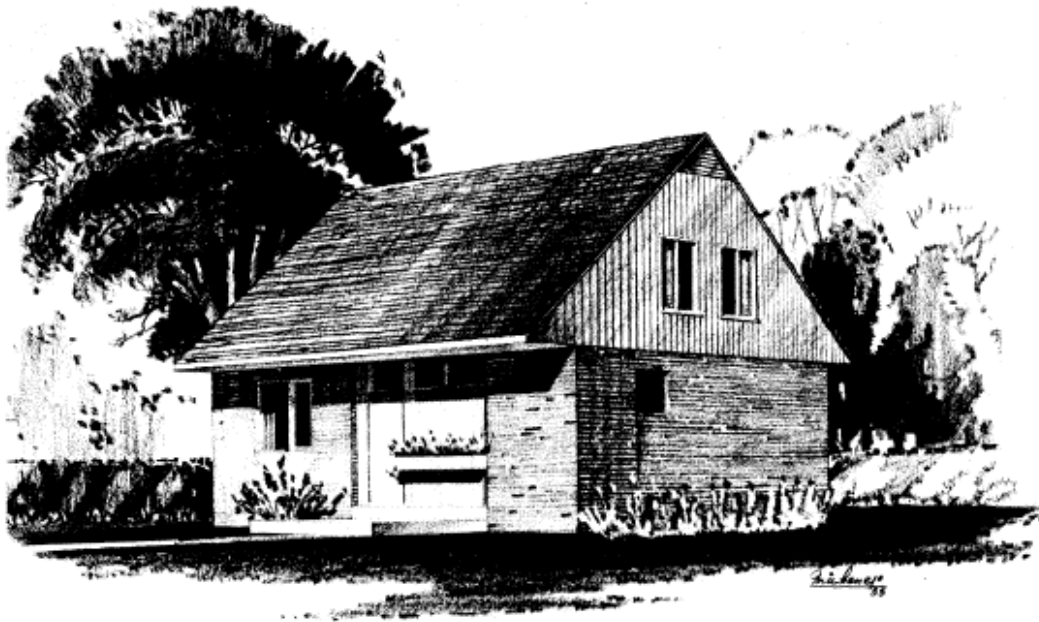
Figure 30 2560 Mindemoya Road in 2017 showing substantial external changes to south and front façades of the building. (Photo by author, January 2018.)

2560 MINDEMOYA ROAD, HERITAGE IMPACT STATEMENT



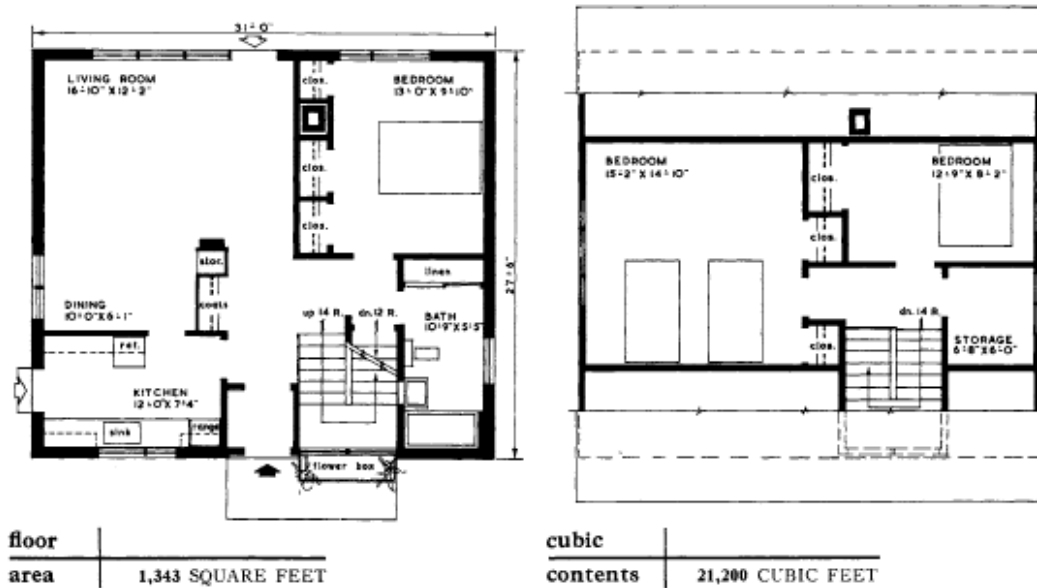
Figure 31 *2560 Mindemoya Road in 2017 showing substantial external changes to rear and south façades of the building. (Photo by author, January 2018.)*

2560 MINDEMOYA ROAD, HERITAGE IMPACT STATEMENT



architect: HENRY FLIESS, TORONTO, ONT.

DESIGN 316



34

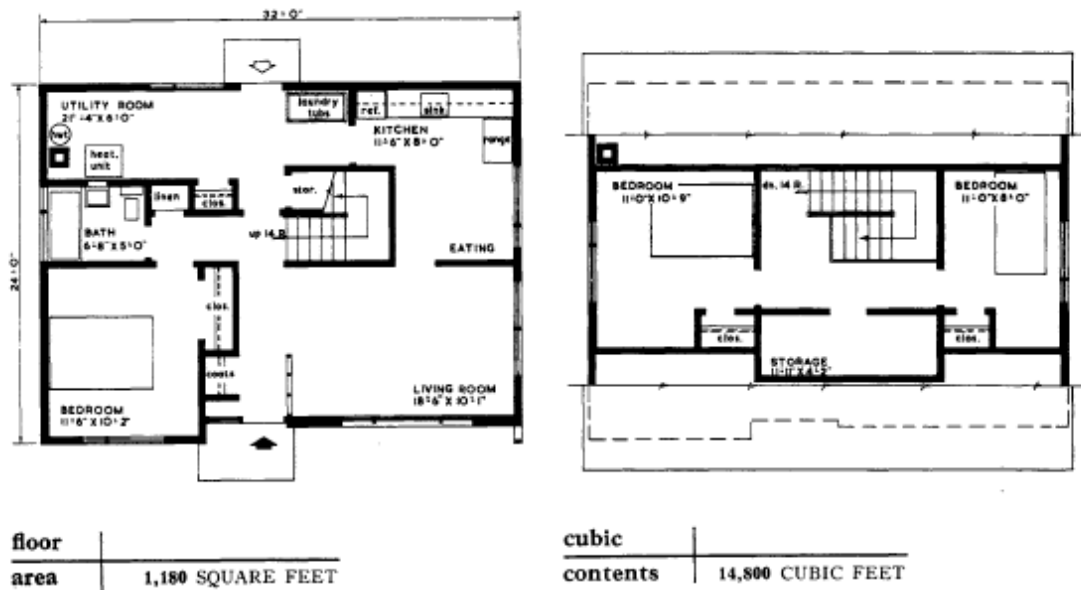
Figure 32 One and one-half storey house design 316, 1954. (CMHC, *Small house designs: two-storey and 1½ storey houses*, CMHC, November 1954.)

2560 MINDEMOYA ROAD, HERITAGE IMPACT STATEMENT



architect: K. R. D. PRATT, ST. VITAL, MAN.

DESIGN 317



35

Figure 33 One and one-half storey house design 317, 1954. (Image from CMHC, *Small house designs: two-storey and 1½ storey houses* (CMHC, November 1954.)

2560 MINDEMOYA ROAD, HERITAGE IMPACT STATEMENT

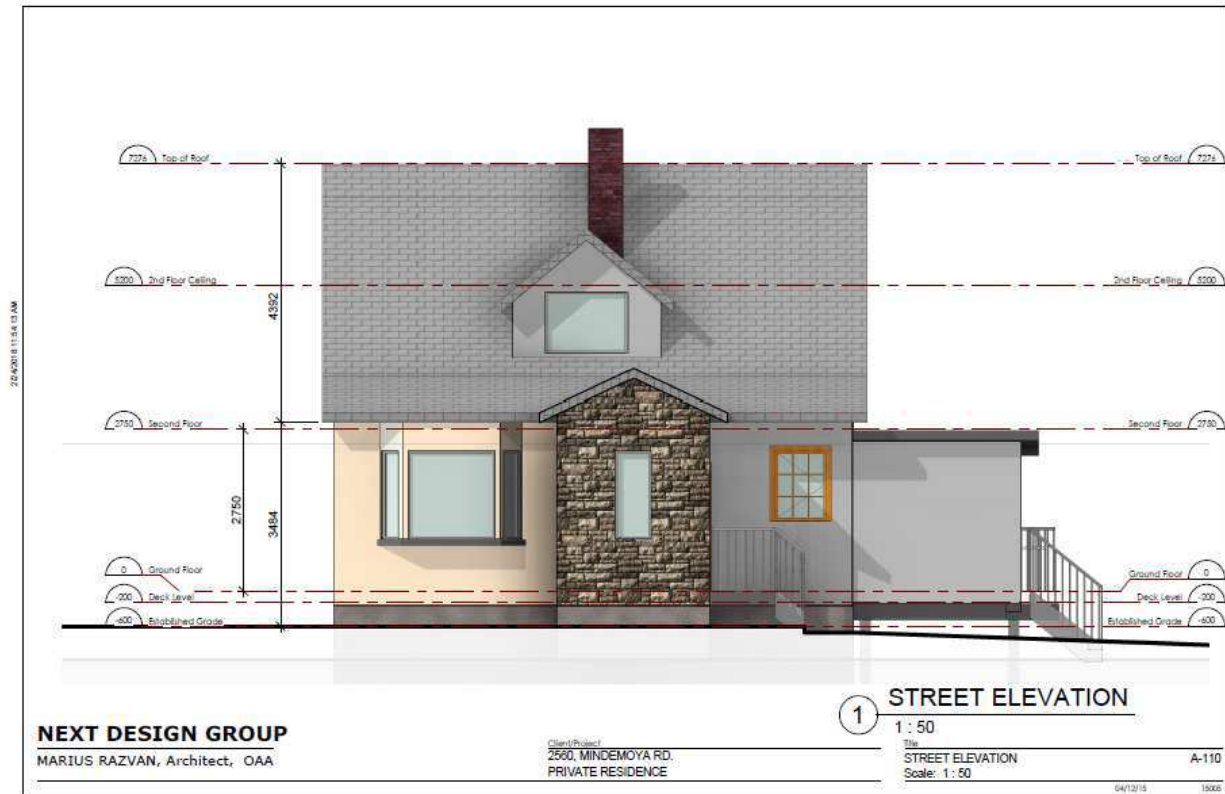


Figure 34 Front elevation of existing structure at 2560 Mindemoya Road. (Image from Next Design Group, February 2018.)

Interior

The interior of the existing residence consists of a basement, main level and upper half-storey. The main floor's front entrance opens into the kitchen and the dining room. Behind these are a family room, stairs to the other levels, a three-piece bathroom and a bedroom. The originally open porch on the north façade has been enclosed and a large deck extends to the west. Images 35 and 36 below show the floor plan and a view of the dining room looking east to the bay window. The basement is divided into a recreation room, a two-piece bath and several storage areas. Figures 37 and 38 below show the basement floor plan and part of the recreation room, with its fireplace and small kitchen area. The second floor consists of two substantial bedrooms and another three-piece bathroom. Figures 39 and 40 show the second-floor plan and one of the bedrooms. The general layout of the residence is not unlike that shown in Plan 317 from the Central Mortgage and Housing Corporation above in Figure 33.

2560 MINDEMOYA ROAD, HERITAGE IMPACT STATEMENT

LANDSCAPE

The City of Mississauga has described the Erindale Village Cultural Landscape in the following terms:



Cultural Landscape Inventory

Erindale Village

L-RES-11

SITE DESCRIPTION

This small residential enclave has a wonderful visual appearance and special landscape character defined by mature trees and a common scale of structures. Most prominent are the rows of Norway spruce, remnants of the former agricultural fields, which predate the housing development. The preservation of these trees through the sensitive siting of housing and roads has created a unique and wonderful residential environment similar to other neighbourhoods straddling the Credit River Valley. The street pattern and scattered heritage properties are the remnants of this nineteenth century village.

Figure 41 *City of Mississauga Community Services, Cultural Landscape Inventory, Jan. 2005.*

2560 Mindemoya Road is a roughly rectangular lot which stretches from Mindemoya Road on the east to Nanticoke Road on the west. On its southern boundary is a similar lot with a modest residence facing Mindemoya Road. Two lots sit on its northern boundary, the Erindale Community Hall and its parking lot, and a large brick commercial building which houses a restaurant and other business enterprises. The surrounding properties are shown below in figure 42 which also provides contour lines and shows that the lot is divided into two segments with a steep slope between them. The land drops approximately 16 feet from front to rear and the residence straddles this slope. The landscape of the upper level is dominated by an overgrown hedge fronting on the road and is flanked by uneven rows of trees and bushes on each side.



Figure 42 *The properties surrounding 2560 Mindemoya Road in 2018. (Image from Map Database, City of Mississauga.)*

2560 MINDEMOYA ROAD, HERITAGE IMPACT STATEMENT



Figure 43 *The east or front portion of 2560 Mindemoya Road showing foliage, the wide driveway and the residence in July 2017. (Photo by Next Design Group, July 2017.)*



Figure 44 *The east or front portion of 2560 Mindemoya Road showing foliage, and the south façade of the residence in July 2017. (Photo by Next Design Group, July 2017.)*

2560 MINDEMOYA ROAD, HERITAGE IMPACT STATEMENT

The larger plateau below the slope consists of a flat expanse of grass bordered by a combination of deciduous and fir trees.



Figure 45 *The rear portion of 2560 Mindemoya Road looking southwest, 2017. (Photo by Next Design Group, July 2017.)*



Figure 46 *The rear portion of 2560 Mindemoya Road looking west, 2017. (Photo by Next Design Group, July 2017.)*

2560 MINDEMOYA ROAD, HERITAGE IMPACT STATEMENT**STREETSCAPE**

Mindemoya Road is a paved cul-de-sac with cement curbs but no sidewalks. Much of the east side of the road is buttressed by modern stone walls to accommodate the rising nature of the land. There are some trees fronting most of the properties on Mindemoya Road.



Figure 47 *Mindemoya Road, looking south and west, 2018. (Photo by author, January 2018.)*



Figure 48 *Mindemoya Road, looking north and west, 2018. (Photo by author, January 2018.)*

2560 MINDEMOYA ROAD, HERITAGE IMPACT STATEMENT



Figure 49 *Mindemoya Road, looking north and east, 2018. (Photo by author, January 2018.)*



Figure 50 *Mindemoya Road, looking east and south, 2018. (Photo by author, January 2018.)*

2560 MINDEMOYA ROAD, HERITAGE IMPACT STATEMENT**PROPOSED DEVELOPMENT: STRUCTURE AND LANDSCAPE**

The current owners wish to replace the existing residence with a modern structure that will largely sit on the existing footprint as shown in figure 51 below. The proposed residence

Figure 51 Existing and new basement plan, 2018. (Image from Next Design Group, April 2018.)

with its wood and stucco exterior reflects the elements of the existing structure and is not out of keeping with the eclectic nature of the homes which surround it on Mindemoya Road. It presents a two-storey façade on its front or northeast elevation and, like the present building, extends to three stories as it traverses the natural slope of the property. The plans and elevations below provide more detail on the proposed development. Given the use of the existing footprint for the new residence there should be little change to the existing landscape.

2560 MINDEMOYA ROAD, HERITAGE IMPACT STATEMENT

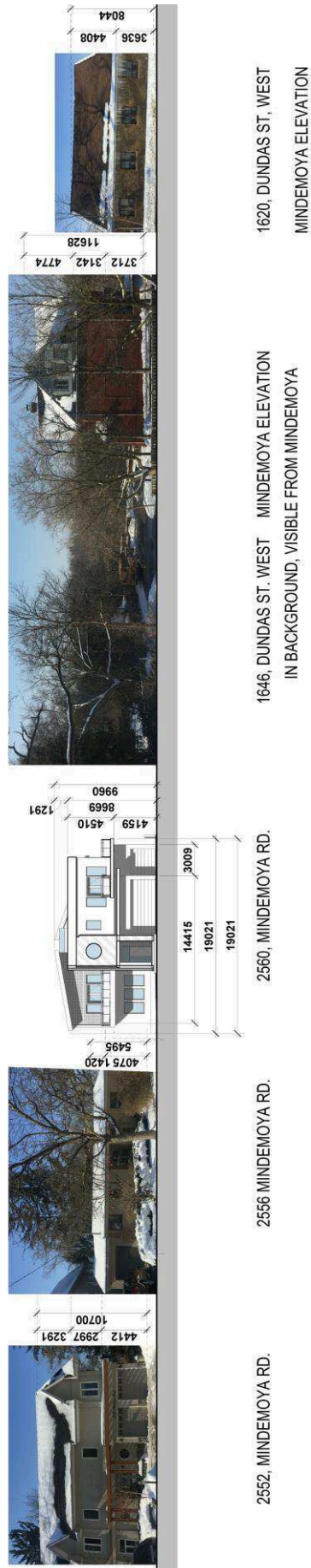
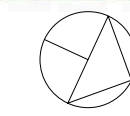
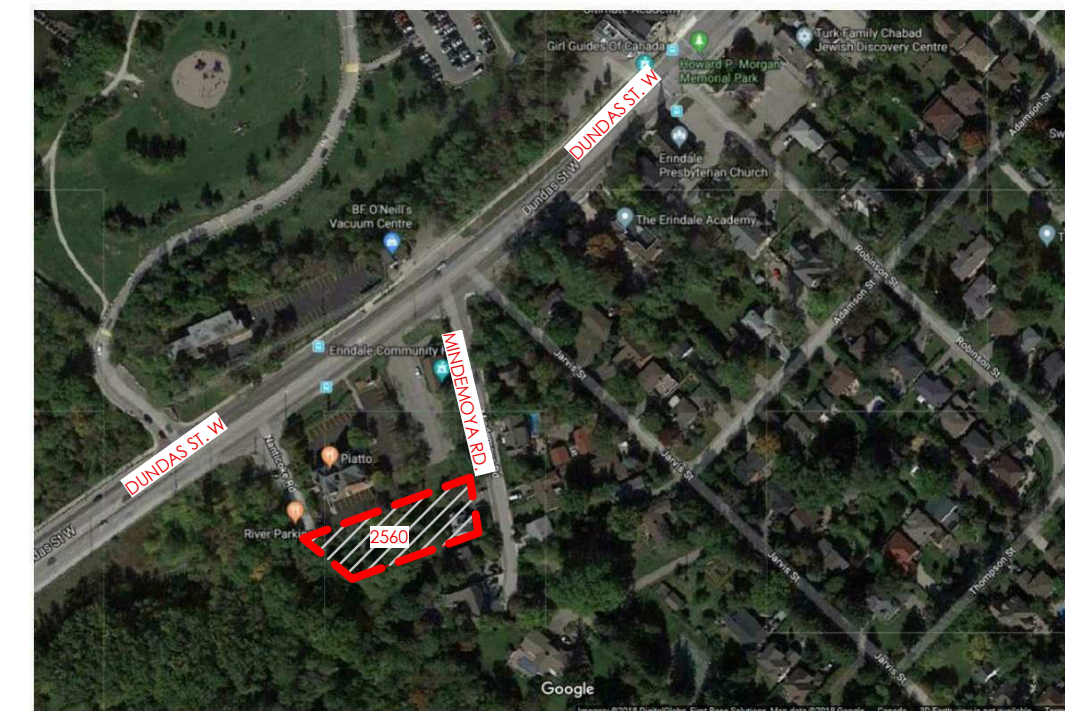
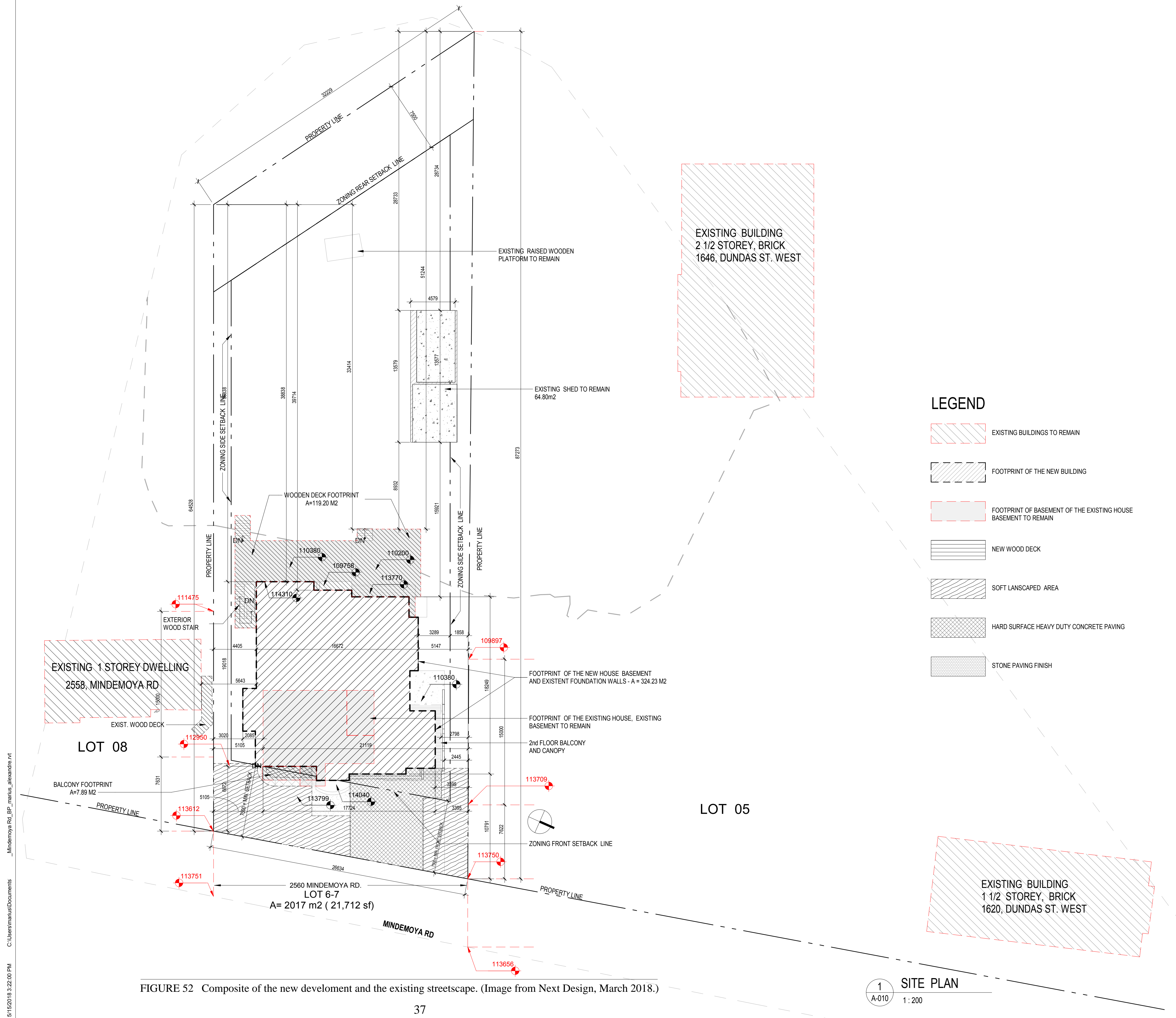


FIGURE 52 Composite of the new development and the existing streetscape. (Image from Next Design, March 2018.)

2560 MINDEMOYA ROAD, HERITAGE IMPACT STATEMENT



2
A-010
1:150

KEY PLAN

PROJECT STATISTICS

ADDRESS: 2560, MINDEMOYA RD, L2C 2R2			
ZONING: R2 - RESIDENTIAL			
LOT FRONTAGE	26.634 m		
LOT AREA (TOTAL)	2017.00 m ²	100 %	
BUILDING HEIGHT			
AVERAGE GRADE	112.850		
ESTABLISHED GRADE			
HEIGHT TO MID-POINT	8.997		
HEIGHT TO HIGHEST RIDGE	10.700		
HEIGHT TO UNDERSIDE OF EAVES	7.295 / 8.925		

GROSS FLOOR AREA - (GFA) INFILL RESIDENTIAL			
	EXISTING	PROPOSED	TOTAL
BASEMENT	66.69 m ²	181.22 m ²	247.91 m ²
GROUND FLOOR	80.21 m ²	131.52 m ²	211.73 m ²
SECOND FLOOR	80.21 m ²	184.19 m ²	264.40 m ²
GARAGE	0.00 m ²	(55.77 m ²)	(55.77 m ²)
TOTAL GFA			724.04 m ²

LOT COVERAGE			
	EXISTING	PROPOSED	TOTAL
DWELLING FOOTPRINT (INCL. GARAGE)	80.21 m ²	244.02 m ²	324.23 m ²
PORCH	0.00 m ²	0.00 m ²	0.00 m ²
DECK		119.20 m ²	119.20 m ²
OTHER	10.20 m ²	10.20 m ²	
TOTAL LOT COVERAGE		22.49 %	453.63 m ²

AVERAGE GRADE			
	A	B	
1. CENTER OF STREET	113.656	113.751	
2. INTERSECTION OF FRONT AND SIDE LOT LINES	113.750	113.612	
3. ALONG SIDE LOT LINES AT REQUIRED: FRONT YARD SETBACK	113.709	112.950	
4. ALONG SIDE LOT LINES AT 15 M BACK FROM PREVIOUS ELEVATION	109.897	111.475	
SUM OF GRADE ELEVATION	902.800		
AVERAGE GRADE (SUM / 8)	112.850		

LANDSCAPE SOFT AREA			
FRONT YARD AREA	240 m ²	100.00 %	
HARD SURFACED AREA	112 m ²	46.66 %	
TOTAL LANDSCAPED SOFT AREA	128 m ²	53.34 %	

PROJECT STATISTICS_MISSISSAUGA

1:200

	LOT AREA (FRONT)
	HARD LANDSCAPE AREA (SIDEWALK)
	HARD LANDSCAPE AREA (DRIVEWAY)

SITE FINISH LEGEND

1:100

PERMITTED USE:

1 SINGLE FAMILY DETACHED DWELLING

MAXIMUM LOT COVERAGE : 35%

MINIMUM FRONT LANDSCAPED SOFT AREA : 40%

MINIMUM LOT FRONTAGE : 18 m

MINIMUM LOT AREA: 0.4 ha

PERMITTED MINIMUM FRONT YARD: 7.5m

PERMITTED MINIMUM SIDE YARD: 1.2m + 0.61m

PERMITTED MINIMUM REAR YARD: 7.5m

PERMITTED HEIGHT: 10.7m

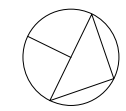
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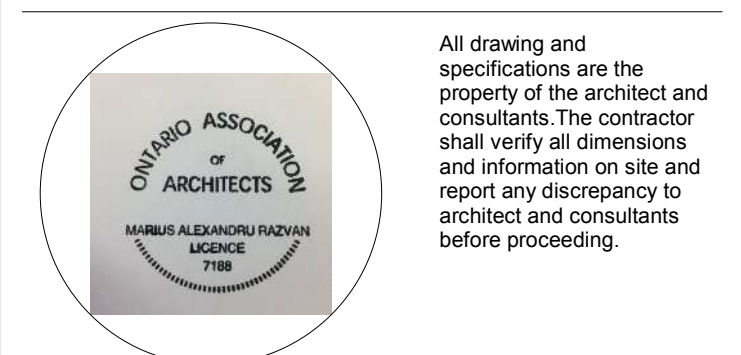


505 Consumers Road, Suite 909, Toronto, ON, M2J 4A2
TEL (647) 985-8212
next.design@outlook.com

SITE PLAN DERIVED FROM THE TOPOGRAPHIC SURVEY OF LOT 6 and 7, REGISTERED PLAN TOR-7 (FORMALLY TOWNSHIP OF TORONTO, COUNTY OF PEEL), CITY OF MISSISSAUGA, REGIONAL MUNICIPALITY OF PEEL.
BY MANDARIN SURVEYORS Ltd,
DATE: NOVEMBER 20, 2017



1 2018-05-01 ISSUED FOR BUILDING PERMIT
date: revision: by:



All drawing and specifications are the property of the architect and consultants. The contractor shall verify all dimensions and information on site and report any discrepancy to architect and consultants before proceeding.

PRIVATE RESIDENCE

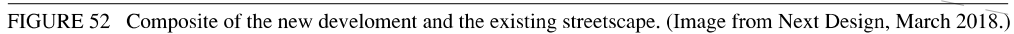
2560, MINDEMOYA RD, MISSISSAUGA, L5C 2R2

SITE PLAN

scale: As indicated
drawn by: MR
reviewed by: MR
job number: 17014
plot date: 2018-04-20

drawing number:

A-010



2560 MINDEMOYA ROAD, HERITAGE IMPACT STATEMENT

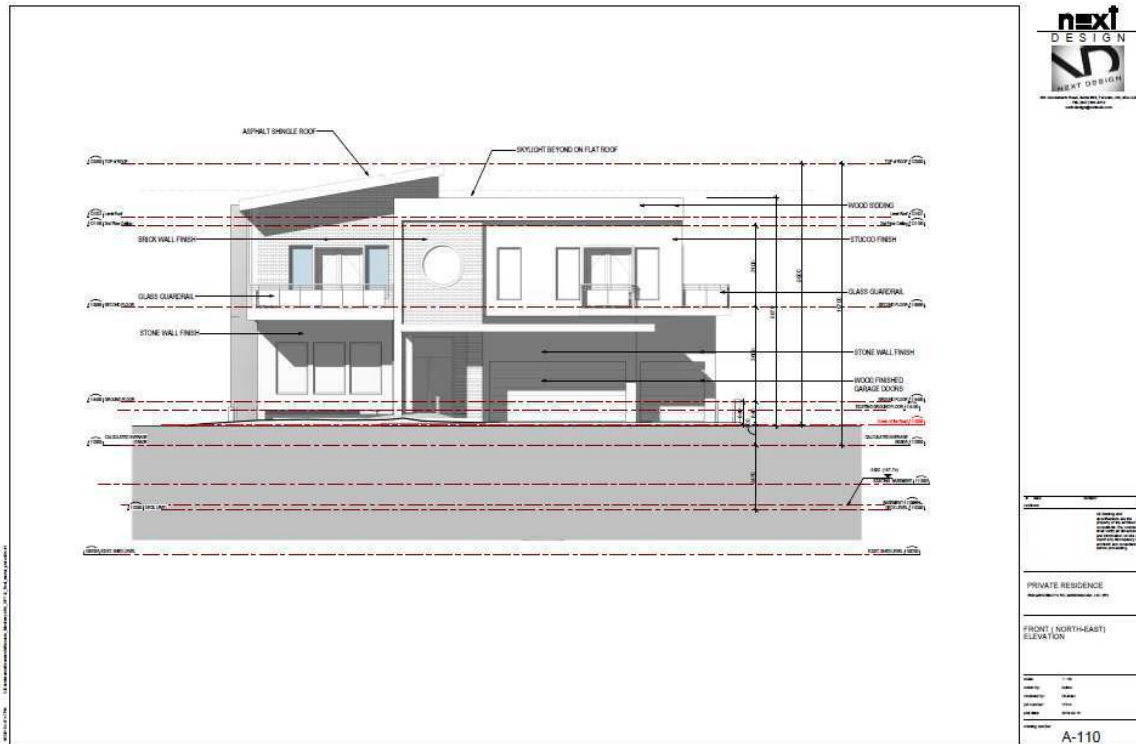


Figure 54 Proposed residence at 2560 Mindemoya Road, front or northeast elevation. (Image from Next Design Group, April 2018.)

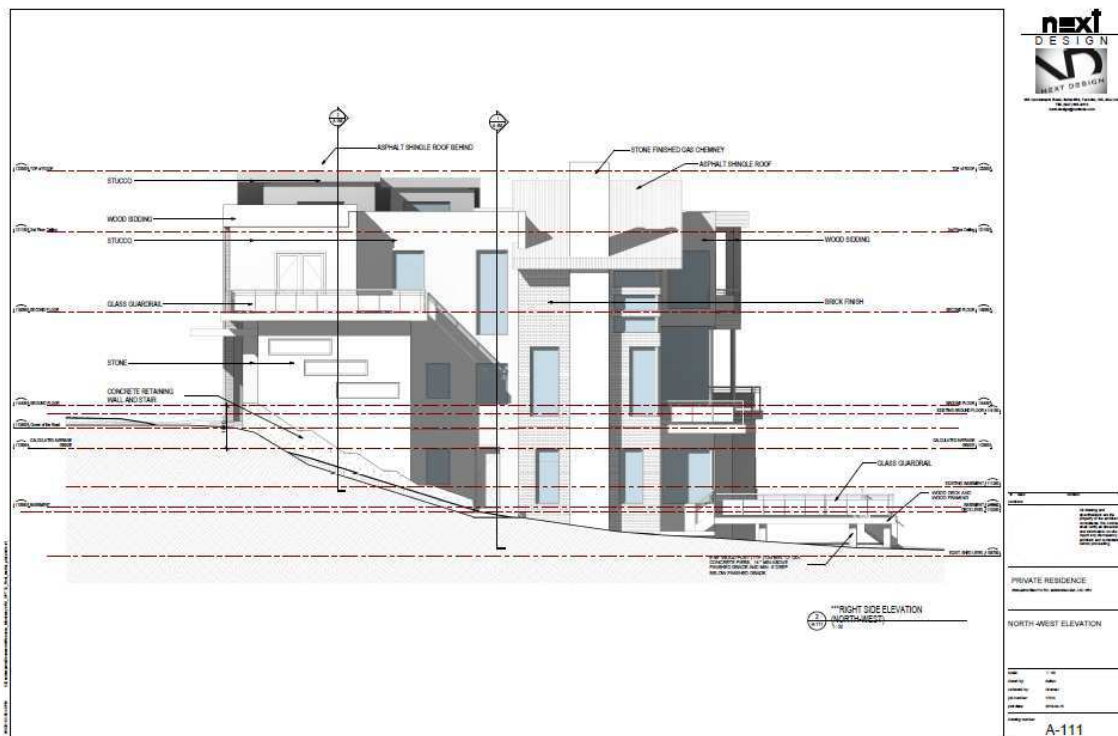


Figure 55 Proposed residence at 2560 Mindemoya Road, side or northwest elevation. (Image from Next Design Group, April 2018.)

2560 MINDEMOYA ROAD, HERITAGE IMPACT STATEMENT

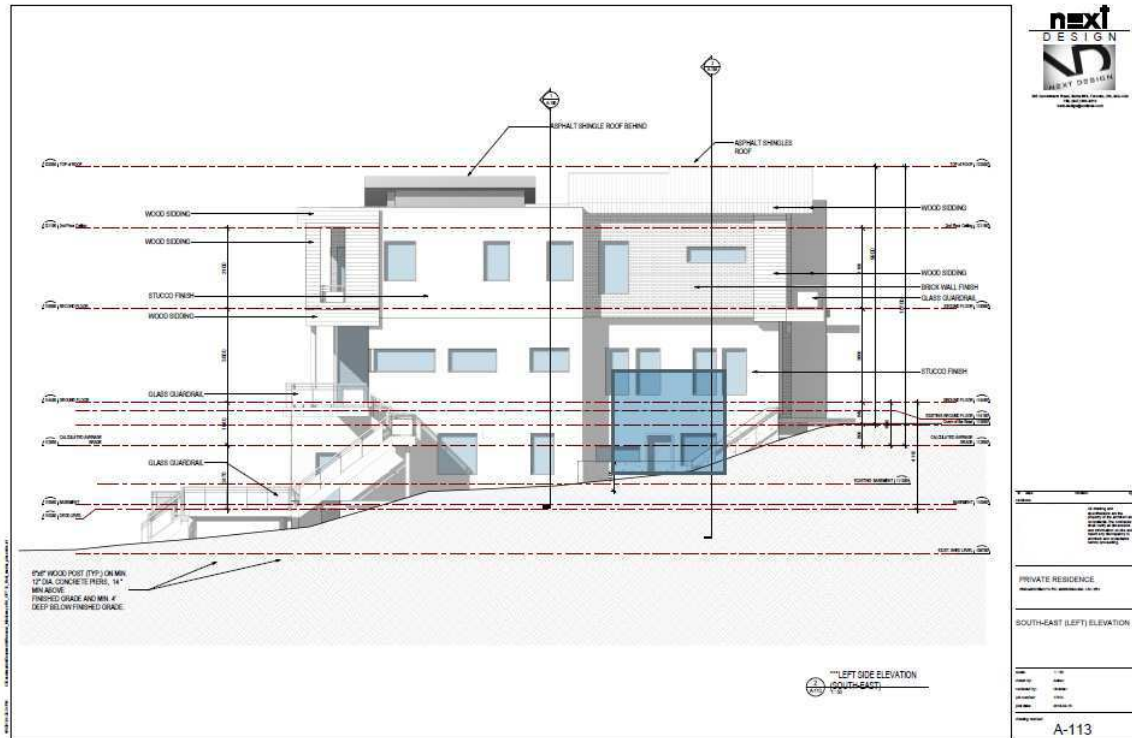


Figure 56 Proposed residence at 2560 Mindemoya Road, side or southeast elevation. (Image from Next Design Group, April 2018.)

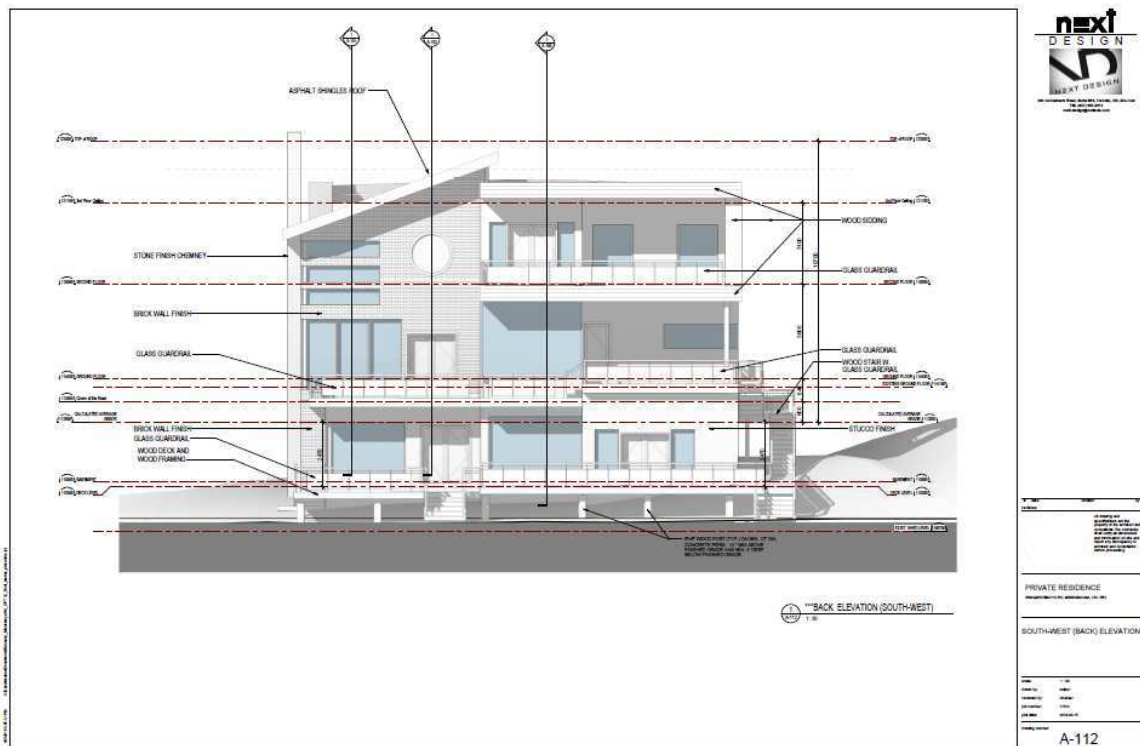


Figure 57 Proposed residence at 2560 Mindemoya Road, back or back or southwest elevation. (Image from Next Design Group, April 2018.)

2560 MINDEMOYA ROAD, HERITAGE IMPACT STATEMENT

ASSESSMENT OF EXISTING RESIDENCE BASED ON REGULATION 9/06 OF THE ONTARIO HERITAGE ACT

The following criteria were prepared as a guide in the designation of properties of cultural heritage value or interest under Part IV of the Ontario Heritage Act and are presented in the Ontario Heritage Tool Kit published in 2006 (Figure 60).

ONTARIO REGULATION 9/06
MADE UNDER THE
ONTARIO HERITAGE ACT

CRITERIA FOR DETERMINING CULTURAL HERITAGE VALUE OR INTEREST

Criteria

1. (1) The criteria set out in subsection (2) are prescribed for the purposes of clause 29 (1) (a) of the Act.

(2) A property may be designated under section 29 of the Act if it meets one or more of the following criteria for determining whether it is of cultural heritage value or interest:

1. The property has design value or physical value because it,
 - i. is a rare, unique, representative or early example of a style, type, expression, material or construction method,
 - ii. displays a high degree of craftsmanship or artistic merit, or
 - iii. demonstrates a high degree of technical or scientific achievement.
2. The property has historical value or associative value because it,
 - i. has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community,
 - ii. yields, or has the potential to yield, information that contributes to an understanding of a community or culture, or
 - iii. demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.
3. The property has contextual value because it,
 - i. is important in defining, maintaining or supporting the character of an area,
 - ii. is physically, functionally, visually or historically linked to its surroundings, or
 - iii. is a landmark.

Transition

2. This Regulation does not apply in respect of a property if notice of intention to designate it was given under subsection 29 (1.1) of the Act on or before January 24, 2006.

Figure 60 □ *Heritage Property Evaluation: A Guide to Listing, Researching and Evaluating Cultural Heritage Properties in Ontario's Communities*, □ (Queen's Printer for Ontario: Toronto, 2006), p. 22.)

2560 MINDEMOYA ROAD, HERITAGE IMPACT STATEMENT

Design or Physical Value

The original structure at 2560 Mindemoya Road was a well-built example of a Central Mortgage and Housing Corporation house plan designed to meet the housing needs of Canada's post-war population. It has undergone substantial and largely ad hoc external change including the addition of dormers and the closing in of an earlier porch area. It is not a rare, unique, or early example of a style, type, expression, material or construction method. It does not display a high degree of craftsmanship or artistic merit, nor does it demonstrate a high degree of technical or scientific achievement.

Historical or Associative Value

The property was initially part of the short-lived Racey Tract of land granted to Thomas Racey in an unsuccessful settlement effort. The property was owned by Joseph Adamson, one of Erindale's founding fathers, from 1829 to 1850, but as part of a larger area and there is no indication that Adamson had any personal connection to the property. It became lots 6 and 7 of plan Tor-7 which was registered in 1857 and forms the outline of the present Erindale area. While there are two older sheds on the property, it does not appear to have been permanently occupied until its sale in 1953 to the Donner family and their subsequent construction of the present residence, likely in 1954. As such, the property does not exhibit historical or associative values.

Cultural Context

2560 Mindemoya Road does include some of the flora which identifies the Erindale Village Cultural Landscape but the new development does not appear to impact these features in any meaningful manner.

ASSESSMENT OF EXISTING RESIDENCE FOR CONSERVATION BASED ON THE ONTARIO PROVINCIAL POLICY STATEMENT

The Ontario Provincial Policy Statement provides the following direction for the conservation of cultural heritage:

□2.6.1 Significant built heritage resources and significant heritage landscapes shall be preserved.□

While the question of the cultural heritage landscape values of 2560 Mindemoya Road are dealt with below, the above built heritage evaluation indicates that the property does not contain significant built heritage resources.

2560 MINDEMOYA ROAD, HERITAGE IMPACT STATEMENT**ASSESSMENT OF PROPOSED DEVELOPMENT IN TERMS OF HERITAGE LANDSCAPE VALUES**

The development proposal for 2560 Mindemoya Road includes the replacement of the existing residence with a modern structure which would be situated largely on the existing building footprint. The proposed structure would not be out of place in terms of style, situation or massing when compared to the eclectic mix of buildings on Mindemoya Road. The two buildings to the north are separated from the subject property by paved parking lots. One is the Erindale Community Hall which was constructed in 1928 and is designated under Part IV of the Ontario Heritage Act. The second is listed, but not designated, on the Clerk's List of Properties



Figure 61 1560 Dundas Street West, the Erindale Community Hall, 1989. (Image from City of Mississauga photo database.)

of Potential Cultural Heritage Interest or Value. It is currently the subject of a development proposal which would see it replaced by a seven-storey condominium. The images below show both the existing structure and the proposed new development.

2560 MINDEMOYA ROAD, HERITAGE IMPACT STATEMENT

Figure 62 1646 Dundas Street West, looking south from Dundas Street. (Photo by Next Design Group, July 2017.)



Figure 63 Artist's impression of structure proposed for 1646 Dundas Street West.) Image from Condonow web site; <https://condonow.com/EV-Royale-Condos.>)

2560 MINDEMOYA ROAD, HERITAGE IMPACT STATEMENT

The domestic residences on Mindemoya Road are an eclectic mix in age, style and size. The oldest residence, 2581 Mindemoya Road anchors the south east corner of Mindemoya Road and Dundas Street West. It is an Edwardian structure of pleasing architectural composition that dates to about 1910 and is listed, but not registered on the Mississauga Clerk's List of heritage properties. Directly across from our subject property is a raised ranch-style bungalow typical of



Figure 64 2581 Mindemoya Road, the Kellhammer residence. (*City of Mississauga Image database, 1978.*)

post-war domestic design. The house immediately south of the subject property is another



Figure 65 2561 Mindemoya Road directly across from the subject property. (*Photo by author, January 2018.*)

2560 MINDEMOYA ROAD, HERITAGE IMPACT STATEMENT

Figure 66 *2558 Mindemoya Road, next door to the subject property. (Photo by author, January 2018.)*

ranch-style bungalow of post-war design. There are also two large, infill structures of recent construction on Mindemoya Road. In addition a large house is currently under construction across the street from the subject property. The homes on Mindemoya Road exhibit a wide



Figure 67 *2587 Mindemoya Road, across the street from the subject property. (Photo by author January 2018.)*

2560 MINDEMOYA ROAD, HERITAGE IMPACT STATEMENT



Figure 68 2552 Mindemoya Road, two addresses south of the subject property. (Photo by author, January 2018.)



Figure 69 A house under construction across the street from the subject property. (Photo by author, January 2018.)

2560 MINDEMOYA ROAD, HERITAGE IMPACT STATEMENT

range of sizes and architectural styles. The development proposed for 2560 Mindemoya Road would appear to fit in with existing forms.

The criteria identified by the City of Mississauga for the evaluation of properties within the Erindale Village Cultural Landscape are:

		<h1>Cultural Landscape Inventory</h1>	
<h2>Erindale Village</h2>		<h2>L-RES-11</h2>	
Location	A small enclave south of Dundas and the former Erindale Village and just east of the Credit River		
Heritage or Other Designation	A number of designated properties		
Landscape Type	Residential (Neighbourhood)		

<h3>LANDSCAPE ENVIRONMENT</h3> <ul style="list-style-type: none"> <input checked="" type="checkbox"/> Scenic and Visual Quality <input type="checkbox"/> Natural Environment <input checked="" type="checkbox"/> Horticultural Interest <input type="checkbox"/> Landscape Design, Type and Technological Interest 	<h3>BUILT ENVIRONMENT</h3> <ul style="list-style-type: none"> <input type="checkbox"/> Aesthetic/ Visual Quality <input type="checkbox"/> Consistent Early Environs (pre-World War II) <input checked="" type="checkbox"/> Consistent Scale of Built Features <input type="checkbox"/> Unique Architectural Features/ Buildings <input checked="" type="checkbox"/> Designated Structures
<h3>HISTORICAL ASSOCIATION</h3> <ul style="list-style-type: none"> <input type="checkbox"/> Illustrates Style, Trend or Pattern <input type="checkbox"/> Direct Association with Important Person or Event <input checked="" type="checkbox"/> Illustrates Important Phase in Mississauga's Social or Physical Development <input type="checkbox"/> Illustrates Work of Important Designer 	<h3>OTHER</h3> <ul style="list-style-type: none"> <input checked="" type="checkbox"/> Historical or Archaeological Interest <input type="checkbox"/> Outstanding Features/Interest <input type="checkbox"/> Significant Ecological Interest <input type="checkbox"/> Landmark Value

Figure 70 *Values inherent in the Erindale Village Cultural Landscape. (City of Mississauga Community Services, Cultural Landscape Inventory, Jan. 2005.)*

Landscape Environment

1. Scenic and Visual Quality

The property at 2560 Mindemoya Road possesses the visual appearance and special landscape character of the larger cultural landscape. Mature trees and shrubs line the perimeter of the property. Given the plan to place the proposed structure on the footprint of the existing house, one would not anticipate significant change to the natural environment.

3. Horticultural Interest

The property at 2560 Mindemoya Road does not contain flora of special interest, but what is there is likely to remain largely intact.

2560 MINDEMOYA ROAD, HERITAGE IMPACT STATEMENT**Historical Association****3. Illustrates Important Phase in Mississauga's Social or Physical Development**

The landscape of 2560 Mindemoya Road is consistent with its surrounding properties but does not illustrate an important phase in Mississauga's social or physical development. While the lot and its contours date back to the creation of the village plan in 1857, the subject property was not likely occupied until the mid-twentieth century when it was purchased by George and Gladys Donner. They appear to have been a typical middle-class family, hosting parties and vacationing at Wasaga Beach.¹⁰ William Donner died in 1998 and the Donner estate sold the property in 1999.¹¹

Built Environment**3. Consistent Scale of Built Features**

The proposed development and the existing structure are both consistent with the widely varying scale of the surrounding built environment

5. Designated Structures

There is both a designated property, the Erindale Community Hall, and a listed property, the Kellerman residence, at the junction of Mindemoya Road and Dundas Street West.

Other**1. Historical or Archaeological Interest**

While there is no evidence of features of historical or archaeological interest on the property at 2560 Mindemoya Road, there is archaeological potential due to the proximity to the Credit River. The proponent is cautioned that during development activities, should archaeological materials be found on the property the Ontario Ministry of Tourism, Culture and Sport (MTCS) should be notified immediately (416.314.7143). In the event that human remains are encountered during construction, the proponent should immediately contact both MTCS and the Registrar or Deputy Registrar of the Cemeteries Regulation Unit of the Ministry of Small Business and Consumer Services (416.326.8392).

¹⁰ "Community Activities in Erindale, Streetsville District," *The Weekly*, 13 Nov. 1958. p. 7 and 4 July 1961, p. 12.

¹¹ Obituary, *ancestry.ca*.

2560 MINDEMOYA ROAD, HERITAGE IMPACT STATEMENT**Recommendation**

As evaluated above, the property at 2560 Mindemoya Road does not meet the criteria for heritage designation under Ontario Regulation 9/06 of the Ontario Heritage Act. Nor does the property warrant preservation under the definition in the Provincial Policy Statement which reads:

Conserved: means the identification, protection, use and/or management of cultural heritage and archaeological resources in such a way that their heritage values, attributes and integrity are retained. This may be assessed through a conservation plan or heritage impact assessment.¹²

Nor does the property exhibit significant landscape environment features as outlined in the City of Mississauga's Cultural Landscape Inventory. It is recommended that care be taken during the proposed development to retain existing landscape features.

QUALIFICATIONS OF AUTHOR**Robert Joseph Burns**

Principal

Heritage Resources Consulting

P. O. Box 84, 46249 Sparta Line, Sparta, Ontario, N0L 2H0

Tel./Fax: (519) 775-2613

Email: drjrburns@rogers.com

Web site: www.deliveringthepast.ca

Education

- PhD. in history, University of Western Ontario, London, ON

Career Highlights

- Principal, Heritage Resources Consulting, 1995 to the present
- Historian, Parks Canada, 1976 to 1995
- Manuscript editor, *Dictionary of Canadian Biography*, University of Toronto, 1973 to 1976

Summary

Dr. Burns has over four decades of experience in historical research and analysis. As a Parks Canada Project Historian he prepared a narrative and structural history of Inverarden, a Cornwall, Ontario domestic property built in 1816, and a structural and social history of Fort Wellington National Historic Site at Prescott, Ontario. As a member (history) of the Federal Heritage Buildings Review Office (FHBRO) from 1990 to 1995 he participated in the review of some 500 federal properties including CFB Esquimalt and the Kingston Penitentiary. As a

¹² Ontario Provincial Policy Statement, 2005 (Queen's Printer for Ontario: Toronto, 2005), p. 29.

2560 MINDEMOYA ROAD, HERITAGE IMPACT STATEMENT

consultant since 1995 he has completed a wide range of heritage assessment and research projects in co-operation with Heritage Research Associates, Inc., Ottawa and has prepared FHBRO cultural heritage assessment reports on numerous federal properties including CFB Goose Bay and its buildings, hangars, munitions bunkers and former nuclear weapons storage facilities. His examination of the temporary storage of nuclear weapons at Goose Bay during the Korean War crisis led to the publication of "Bombs in the Bush," *The Beaver*, Jan. 2005.

Heritage Assessment Projects*Heritage Assessments prepared for the Federal Heritage Buildings Review Office*

- CFB Goose Bay, Heritage Assessment of 124 buildings, 2000. Building functional types included barracks, hangars, storage bunkers for conventional and nuclear weapons, guard towers, warehouses, and offices.
- CFB Goose Bay, Heritage Assessment of 16 buildings, 2001. Building functional types consisted of hangars for medium and heavy bombers.
- CFB Gagetown, Heritage Assessment of 77 buildings, 2002. Building Functional types included office/admin buildings, barracks, drill halls, garages, gate/guard houses, lecture/training buildings, mess halls, quarters, shops and recreational buildings.
- Bedford Institute of Oceanography, Heritage Assessment of the Van Steenburg and Polaris Buildings, 2003.
- Hudson's Bay Company Post (abandoned), Ukkusiksalik National Park, Nunavut, 2005.
- Nanaimo Foundry, Nanaimo, BC, 2005.
- Heritage Assessments of the following lighthouses, lightstations and range light towers in the Great Lakes and Atlantic regions, 2006-2008:
 - Shoal Island Lighthouse, Manitoulin Island, Heritage Assessment 2006.
 - Badgeley Island Rear Range Light Tower, Georgian Bay, Heritage Assessment 2006.
 - Byng Inlet Rear Range Light Tower, Georgian Bay, Heritage Assessment 2006.
 - Brebeuf Island Rear Range Light Tower, Georgian Bay, Heritage Assessment 2006.
 - Pigeon Island Rear Range Light Tower, Lake Ontario, Heritage Assessment 2006.
 - Pointe Au Baril Rear Range Light Tower, Georgian Bay, Heritage Assessment 2006.
 - Rondeau East Pier Light Tower, Lake Erie, Heritage Assessment 2006.
 - Stokes Bay Rear Range Light Tower, Lake Huron, Heritage Assessment 2006.
 - Owen Sound Front Range Light Tower, Georgian Bay, Heritage Assessment 2006.
 - Brebeuf Island Front Range Light Tower, Georgian Bay, Heritage Assessment 2006.
 - Chantry Island Lighthouse Dwelling, Lake Huron, Heritage Assessment 2006.
 - Gros Cap Reef Lighthouse, St. Mary's River, Heritage Assessment 2006.
 - Janet Head Lighthouse, Manitoulin Island, Heritage Assessment 2006.
 - Red Rock Lighthouse, Georgian Bay, Heritage Assessment 2006.
 - Snug Harbour Lighthouse, Georgian Bay, Heritage Assessment 2006.
 - Byng Inlet Front Range Light Tower, Georgian Bay, Heritage Assessment 2007.
 - Kagawong Lighthouse, Manitoulin Island, Heritage Assessment 2007.

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- Manitouwaning Lighthouse, Manitoulin Island, Heritage Assessment 2007.
- Shaganash Light Tower, Lake Superior, Heritage Assessment 2007.
- Saugeen River Front Range Light Tower, Lake Huron, Heritage Assessment 2007.
- Saugeen River Rear Range Light Tower, Lake Huron, Heritage Assessment 2007.
- Shoal Light Tower, Lake Rosseau, ON., Heritage Assessment 2007.
- Wilson Channel Front Range Light Tower, near Sault Ste. Marie, Heritage Assessment 2007.
- Wilson Channel Rear Range Light Tower, near Sault Ste. Marie, Heritage Assessment 2007.
- Canso Front Range Light, Heritage Assessment, 2008.
- Canso Rear Range Light, Heritage Assessment, 2008.
- Cape Croker Light Tower, Heritage Assessment, 2008.
- Jones Island Front Range Light, Heritage Assessment, 2008.
- Jones Island Rear Range Light, Heritage Assessment, 2008.
- Margaree Harbour Front Range Light, Heritage Assessment, 2008.
- Margaree Harbour Rear Range Light, Heritage Assessment, 2008.
- Thunder Bay Main Lightstation, Heritage Assessment, 2008.
- West Sister Rock Lighttower, Heritage Assessment, 2008.

Heritage Assessments prepared for the federal Lighthouse Preservation program

- Great Duck Island, Georgian Bay, ON, 2010.
- Janet Head Lighthouse, Manitoulin Island, Heritage Assessment, 2010.
- Kagawong Lighthouse, Manitoulin Island, Heritage Assessment, 2010.
- Killarney East Lighthouse, Georgian Bay, Heritage Assessment, 2010.
- Killarney Northwest Lighthouse, Georgian Bay, Heritage Assessment, 2010.
- Manitouwaning Lighthouse, Manitoulin Island, Heritage Assessment, 2010.
- Victoria Beach Lighthouse, NS, Heritage Assessment, 2011.
- Schafner Point Lighthouse, NS, Heritage Assessment, 2011.
- Port Bickerton Lighthouse, NS, Heritage Assessment, 2011.
- McNab Point Lighthouse, Heritage Assessment, 2011.
- Saugeen River Front Range Light, Heritage Assessment, 2011.
- Saugeen River Rear Range Light, Heritage Assessment, 2011.
- Pointe au Baril Front Range Light, Heritage Assessment, 2014.
- Pointe au Baril Rear Range Light, Heritage Assessment, 2014.
- Snug Harbour Front Range Light, Heritage Assessment, 2014.
- Snug Harbour Rear Range Light, Heritage Assessment, 2014.

Heritage Assessments prepared for the private sector

- Madill barn, 6250 Hurontario Street, Mississauga, ON, Heritage Assessment, 2009.
- Stone residence, 7129 Tremaine Road, Milton, ON, Heritage Assessment, 2009.
- Smye estate, 394 Lakeshore Road West, Mississauga, ON, Heritage Assessment, 2009.
- Dudgeon cottage, 305 Lakeshore Road West, Oakville, ON, Heritage Assessment, 2010.

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- five domestic structures, Bronte Road, Bronte, ON, Heritage Assessment, 2010.
- Lorne Park Estates cottage, 1948 Roper Avenue, Mississauga, ON, Heritage Assessment, 2012.
- Farm house, 11687 Chinguacousy Road, Brampton, ON, Heritage Assessment, 2012.
- Farm house, 3650 Eglinton Ave., Mississauga, ON, Heritage Assessment, 2013.
- Downtown Campbellford Properties, Heritage Assessment, 2013.
- residence, 1422 Mississauga Road, Heritage Impact Statement, 2015.

Heritage Assessments and Plaque Texts prepared for the Ontario Heritage Trust

- J. L. Kraft, Fort Erie, ON, 2003.
- Reid Mill, Streetsville, ON, 2004.
- George Weston, Toronto, ON., 2005.
- Pauline McGibbon, Sarnia, ON, 2006.
- W. P. Bull, Brampton, ON, 2007.
- Founding of Englehart, ON, 2008.
- George Drew, Guelph, ON, 2008.
- Founding of Latchford, ON, 2009.
- Ball's Bridge, Goderich, ON, 2011.
- Canadian Tire Corporation, 2012.
- Ontario Paper Mill, 2013.
- Louise de Keriline Lawrence, 2016

Publications and Other Major Projects

- "God's chosen people: the origins of Toronto society, 1793-1818", *Canadian Historical Association: Historical Papers*, 1973, Toronto, 1974. Republished in J. Bumsted (ed.), *Canadian History Before Confederation: Essays and Interpretations*, 2nd ed. (Georgetown, Ont.: Irwin-Dorsey Ltd., 1979).
- "James Grant Chewett", "William Botsford Jarvis", "George Herkimer Markland" and "Thomas Gibbs Ridout" published in the *Dictionary of Canadian Biography*, vol. IX, Toronto, 1976.
- "The post fur trade career of a North West Company partner: a biography of John McDonald of Garth", *Research Bulletin No. 60*, Parks Canada, 1977. Reprinted in *Glengarry Life*, Glengarry Historical Society, 1981.
- "Inverarden: retirement home of North West Company fur trader John McDonald of Garth". *History and Archaeology No. 25*, Parks Canada, 1979. First printed as *Manuscript Report Series No. 245*, 1978.
- "Fort Wellington: a Narrative and Structural History, 1812-38", *Manuscript Report Series No. 296*, Parks Canada, 1979.
- A review of J.M.S. Careless (ed.), *The Pre-Confederation Premiers: Ontario Government Leaders, 1841-1867* (Toronto: University of Toronto Press, 1980) in *Ontario History*, LXXIII, No.1, March 1981.
- A review of Mary Larratt Smith (ed.), *Young Mr. Smith in Upper Canada* (Toronto: University

2560 MINDEMOYA ROAD, HERITAGE IMPACT STATEMENT

- of Toronto Press, 1980) in *Ontario History*, LXXIV, No. 2, June 1982.
- "William Jarvis", "Robert Isaac Dey Gray" published in the *Dictionary of Canadian Biography*, Vol. V, Toronto, 1983.
 - "Bulk packaging in British North America, 1758-1867: a guide to the identification and reproduction of barrels", *Research Bulletin No. 208*, Parks Canada, December 1983.
 - "Cornwall, Ontario" in *The Canadian Encyclopedia* (Edmonton: Hurtig Publishers, 1985).
 - "Samuel Peters Jarvis [with Douglas Leighton]" and "Samuel Smith Ridout" in the *Dictionary of Canadian Biography*, Vol. VIII, Toronto, 1985.
 - "The Burns and Gamble Families of Yonge Street and York Township [with Stanley J. Burns]", *O.G.S. Seminar* 85 (Toronto: Ontario Genealogical Society, 1985).
 - "Starting From Scratch: the Simcoe Years in Upper Canada", *Horizon Canada*, No. 22, July 1985.
 - "Upper Canada In the Making, 1796-1812", *Horizon Canada*, No. 23, August 1985.
 - A review of Bruce G. Wilson, *The Enterprises of Robert Hamilton: A Study of Wealth and Influence in Early Upper Canada, 1776-1812* (Ottawa: Carleton University Press, 1983) in the *Canadian Historical Review*, LXVI, No. 3, Sept. 1985.
 - Lila Lazare (comp.) with an intro. by Robert J. Burns, "Artifacts, consumer goods and services advertised in Kingston newspapers, 1840-50: a resource tool for material history research", *Manuscript Report Series No. 397*, Parks Canada, 1980.
 - "W.A. Munn and the discovery of a Viking occupation site in northern Newfoundland", Historic Sites and Monuments Board agenda paper, 1982.
 - Research and writing of □The Loyalists, □a booklet to accompany the Loyalist Bicentennial travelling exhibit prepared by Parks Canada, 1983.
 - "Paperboard and Paper Packaging in Canada 1880-1930: An Interim Report" *Microfiche Report Series No. 210* (1985).
 - "Packaging Food and Other Consumer Goods in Canada, 1867-1927: A guide to Federal Specifications For Bulk and Unit Containers, Their Labels and Contents" *Microfiche Report Series No. 217* (1985).
 - "Paperboard Packaged Consumer Goods: Early Patterns of Product Availability" (1986).
 - "Thomas Ridout" in the *Dictionary of Canadian Biography*, Vol. VI, Toronto, 1987.
 - "Paperboard and Paper Packaging in Canada, 1880-1930", 2 Vols. *Microfiche Report Series No. 393* (1989).
 - Curator, along with Marianne McLean and Susan Porteus, of □Rebellions in the Canadas, 1837-1838, □an exhibition of documents and images sponsored by the National Archives of Canada, 1987.
 - "Marketing Food in a Consumer Society: Early Unit Packaging Technology and Label Design" in *Consuming Passions: Eating and Drinking Traditions in Ontario* (Meaford, Ont.: Oliver Graphics, 1990).
 - "Robert Isaac Dey Gray" reprinted in *Provincial Justice: Upper Canadian Legal portraits from the Dictionary of Canadian Biography*, ed. Robert L. Fraser (Toronto: University of Toronto

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Press, 1992).

- "John Warren Cowan" and "Thomas McCormack" published in the *Dictionary of Canadian Biography*, Vol. XIII, 1994.
- *Guardians of the Wild: A History of the Warden Service of Canada* □ *National Parks* (University of Calgary Press, 2000).
- □ 'Queer Doings': Attitudes toward homosexuality in nineteenth century Ontario, □ *The Beaver*, Apr. May. 2003.
- □ Bombs in the Bush: The Strategic Air Command in Goose Bay, 1953, □ *The Beaver*, Dec. 2004/Jan. 2005.
- preparation of a history of the Royal Canadian Mounted Police under contract for the Force, 2004-2007.
- press releases regarding heritage plaque unveilings for Parks Canada, Ottawa, ON, 2010.
- a review and analysis of heritage bulk containers in the Parks Canada Artifact Collection, Ottawa, ON, 2011.
- *Port Stanley: The First Hundred Years, 1804-1904*, with Craig Cole (Heritage Port: Port Stanley, ON, 2014).

Related Professional Associations

- **Professional member of Canadian Association of Heritage Professionals.**
- Member of Federal Heritage Building Review Board (retired).
- Chair, Heritage Central Elgin.
- President of the Sparta (Ontario) and District Historical Society.
- Member, St. Thomas-Elgin Branch of the Architectural Conservancy of Ontario.
- Member (Past), Board of Directors, Elgin County Archives Association.
- Member, Board of Directors, Sparta Community Association.
- Former member, Board of directors, and Publications Committee Chair, Ontario Historical Society.
- Past president, Stormont, Dundas and Glengarry Historical Society.
- Past chair, Local Architectural Conservation Advisory Committee, Cornwall, ON.
- Former chair, Heritage sub-committee, □ Central Elgin - Growing Together Committee, □ Municipality of Central Elgin.

2560 MINDEMOYA ROAD, HERITAGE IMPACT STATEMENT**APPENDIX 1****CHAIN OF OWNERSHIP**

- 1,600 acres of land straddling Dundas Street, including subject property, is issued by the Crown in 1826 to Thomas Racey for development and has come to be known as the Racey Tract
- the Racey Tract is returned to Crown control in 1828 when Thomas Racey is unable to raise sufficient capital to carry out his settlement plans
- the subject lot and other land are sold to Thomas S. McEwan who in turn sold them to Joseph Adamson, a founder of Erindale, memorial 6884, 25 July 1829 for £35
- Joseph Adamson sells the subject lot and other land to James Adamson, memorial 37747, 17 Aug. 1850 for £50
- Joseph Adamson sells the subject lot and other land to Russell Woodruff, memorial 44142, 21 Apr. 1852 for £17,101
- William Botsford Jarvis registers deed poll for the subject lot and other land in favour of James McGrath, memorial 567, 5 Apr. 1854
- Alexander Proudfoot and others register plan for village of Springfield [Erindale], registered plan Tor-7, 9 Apr. 1857 in which the subject lot is identified as lots 6 and 7 in the new plan
- James McGrath sells the subject property and other land to Emerson Taylor, memorial 1509, 20 Oct. 1874 for \$600
- Belina Taylor, widow, sells subject lot and other land to Thomas Barker, memorial 11494, 8 Feb. 1904 for \$1,600
- Catherine Barker, widow, sells subject lot and other land to William A. Barker, memorial 14657, 21 Oct. 1911 for \$5,000
- William A. Barker and wife grant subject lot and other land to Jacob Franklyn, memorial 23715, 11 Sept. 1923 for \$4,000
- Jacob Franklyn and wife grant subject lot and other land to Louis and Lana Litmer, memorial 31464, 17 Apr. 1929 for \$1.00
- Adelle Roe, after foreclosure on a mortgage, grants subject lot and other land to Charles Litmer, memorial 37508, 29 Dec. 1936 for \$1.00
- Charles Litmer and wife grant subject lot and other land to Sylvia Blumenthal, memorial 42027, 18 Aug. 1942
- Sylvia Blumenthal sells subject lot and other land to Peter Armour, memorial 48701, 18 Oct. 1946 for \$5,000
- Peter Armour and wife grant subject lot and other land to George William and Gladys Donner, memorial 76443, 10 Sept. 1953 for \$2,250
- George William Donner estate sells subject lot to Jaroslaw Mozejko and Janina Iwanicka, 6 Jan. 1999 for \$285,000
- Jaroslaw Mozejko and Janina Iwanicka sell subject lot to United Vision Contracting (Canada) Inc., 28 Apr. 2014 for 850,000
- lot is sold to current owner in 2017.

City of Mississauga

Corporate Report



Date: 2018/06/14

To: Chair and Members of Heritage Advisory Committee

From: Paul Mitcham, P. Eng, MBA, Commissioner of
Community Services

Originator's files:

Meeting date:
2018/07/10

Subject

Request to Demolish a Heritage Listed Property: 3075 Churchill Avenue (Ward 5)

Recommendation

That the property at 3075 Churchill Avenue, which is listed on the City's Heritage Register, is not worthy of heritage designation, and consequently, that the owner's request to demolish proceed through the applicable process as per the Corporate Report from the Commissioner of Community Services, dated June 14, 2018.

Background

Section 27.3 of the Ontario Heritage Act states that structures or buildings on property listed on the City's Heritage Register cannot be removed or demolished without at least 60 days' notice to Council. This legislation allows time for Council to review the property's cultural heritage value to determine if the property merits designation.

The owner of the subject property has submitted a heritage permit application to demolish and replace the existing detached dwelling. The subject property is listed on the City's Heritage Register as it forms part of the Malton Wartime Housing cultural landscape. This cultural landscape is noted for being a planned subdivision of the WWII and post-war era government efforts to provide mass produced housing to workers in industry related to the war effort and to veterans respectively within the city of Mississauga.

Comments

The owner of the subject property has requested permission to demolish the existing structure. The applicant has provided a Heritage Impact Assessment. It is attached as Appendix 1. The consultant has concluded that the structure at 3075 Churchill Avenue is not worthy of designation. Staff concurs with this finding.

Financial Impact

There is no financial impact.

Conclusion

The owner of 3075 Churchill Avenue has requested permission to demolish a structure on a property that is listed on the City's Heritage Register. The applicant has submitted a documentation report which provides information which does not support the building's merit for designation under the Ontario Heritage Act. Staff concurs with this finding.

Attachments

Appendix 1: Heritage Impact Statement 3075 Churchill Avenue, Mississauga Malton War-time Housing Cultural Landscape



Paul Mitcham, P. Eng, MBA, Commissioner of Community Services

Prepared by: Paula Wubbenhorst, Heritage Planner

HERITAGE IMPACT STATEMENT



3075 CHURCHILL AVENUE, MISSISSAUGA
Malton War-time Housing Cultural Landscape

FINAL REPORT

31 MAY 2018

MEGAN HOBSON

M.A. DIPL. HERITAGE CONSERVATION

Built Heritage Consultant

45 James Street, Dundas, ON L9H 2J5

905.975-7080

mhobson@bell.net

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APPENDIX B: SITE PHOTOS	ATTACHED
APPENDIX C: DRAWINGS	ATTACHED

1.0 BACKGROUND & METHODOLOGY

The subject property is located in the *Malton War-time Housing Cultural Landscape*. This report was prepared by heritage consultant Megan Hobson for the property owner of 3075 Churchill Avenue as a requirement for obtaining approval to demolish the existing one-storey dwelling and construct a new two-storey dwelling. This report was prepared in accordance with the City of Mississauga's *Terms of Reference for Heritage Impact Statements for Cultural Landscapes*.

A site visit was undertaken by Megan Hobson on October 20th 2017 to assess and document the current condition of the property and its relationship to the surrounding built environment. Historical research was carried out, including a review of relevant primary and secondary sources, and a title search to determine past ownership of the property.

2.0 LOCATION AND SITE DESCRIPTION

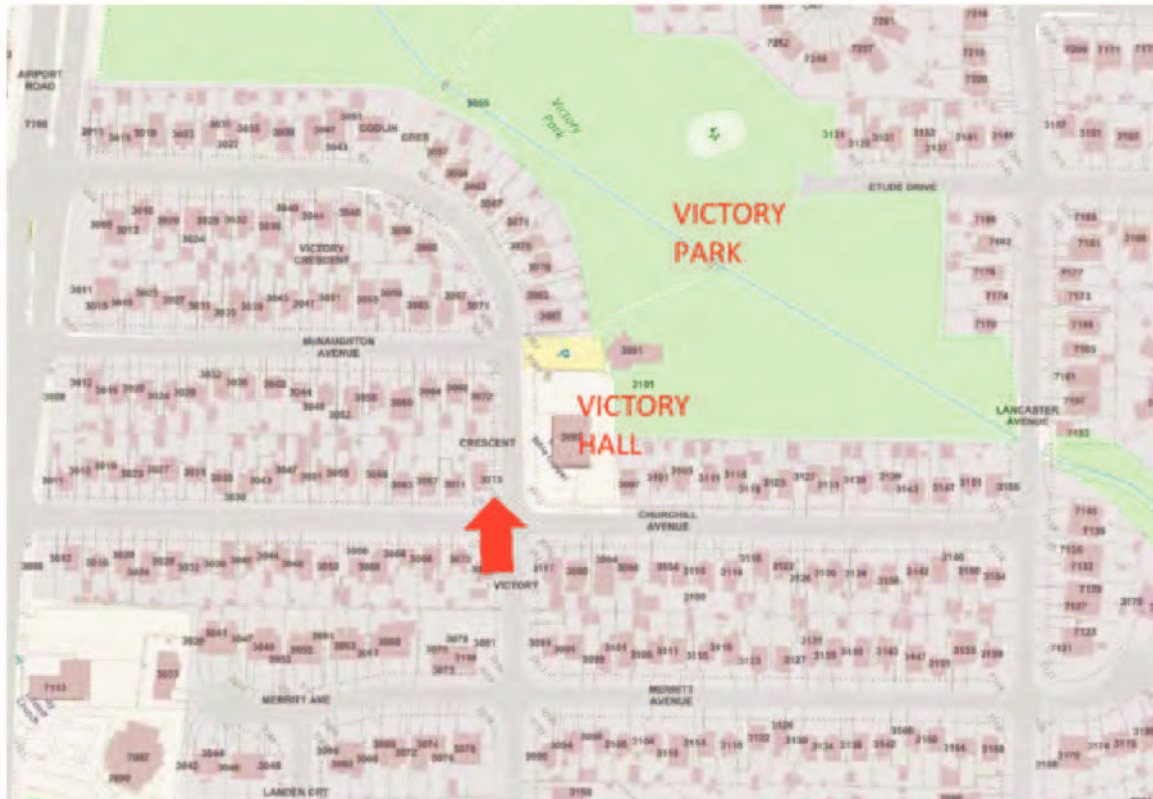
See Appendix A: Site Photos

The *Malton Wartime Housing Cultural Landscape* is a planned subdivision in Malton, a residential neighbourhood in the north-east corner of Mississauga. It is just north of Pearson International Airport and is bounded by Derry Road on the south and Airport Road on the west.



Location Map: Malton War Time Housing Subdivision is located in Mississauga, north east of Pearson International airport

The subject property is residential lot on the northwest corner of Churchill Avenue and Victory Crescent. The house fronts on Churchill Avenue with access from Churchill Avenue only. It is directly opposite a large one-storey institutional building and surface parking lot that contains the Malton Bible School. This building was originally built as Victory Hall and is adjacent to a public green space called Victory Park.



Location Map: 3075 Churchill Avenue on the north west corner of Churchill Avenue & Victory Crescent [City of Mississauga maps]

The lot is similar in size and configuration to lots throughout the subdivision. It is approximately 40 feet wide by 100 feet deep and the house is placed near the center of the lot. There is a sidewalk along Churchill Avenue. There are no sidewalks on Victory Crescent. The rear yard is fenced and backs onto the rear yard of the adjacent residential property. Houses in the subdivision are oriented towards the east west streets rather than Victory Crescent a curved street that cuts through the otherwise regular grid street pattern.



Aerial view of the subject property [Google 3D]

In general, Churchill Avenue and Victory Crescent retain much of their original character that is primarily characterized by one and one-and-a-half storey wartime bungalows with uniform setbacks. However, the area is dotted with new 2-2.5 detached dwellings. The subject property contains the original wartime bungalow built shortly after the subdivision was registered in 1952. This building has been somewhat modified including re-cladding, replacement of original doors and windows, and addition of a 1-storey porch at the front.



The subject property is located at the northwest corner of Churchill Avenue & Victory Crescent

The house at 3075 Churchill Avenue is a very modest one-and-a half-storey, three-bay, wood-frame structure with a rectangular plan and side-gable roof. It has a raised concrete block foundation. There is a covered porch on the front that is not original. The roof is asphalt shingle and the exterior cladding is vinyl siding. The windows are modern vinyl-clad windows throughout.



3075 Churchill Avenue, northwest corner of Churchill Avenue & Victory Crescent

The lot is level and the house is situated near the center of the lot. It has a slightly greater set back from Churchill Avenue than the adjacent dwelling, probably because of its corner location. There is sidewalk along the Churchill Avenue frontage. There is no sidewalk on Victory Crescent and the side yard is generous. There is a large street tree on Victory Crescent near the back of the property line. The rear yard is fenced and plantings provide privacy from the road. The front and the side yard facing the street are open lawn. The driveway is located on Churchill Avenue and runs long the west side of the house. There is no garage. The only other structure on the property is a small garden shed in the back yard.



There is a large shade tree on Victory Crescent on the City-owned grass boulevard.



There is a small ornamental tree in the front yard on Churchill Avenue.



The Victory Crescent streetcape – the rear yard is fenced and screened by plantings

The interior layout is simple. The front door opens into a small entry area at the foot of the stairs to the upper floor. The upper floor contains two small bedrooms. The ground floor contains a living room, kitchen, two bedrooms and a bathroom. The kitchen is located across the back of the house. The basement is accessed through a hatch in the rear bedroom on the ground floor. The basement contains the furnace and water heater. Interior finishes include modern drywall, laminate and wall to wall carpet.

Living room (left) and kitchen (right) on the ground floor – modern finishes throughout

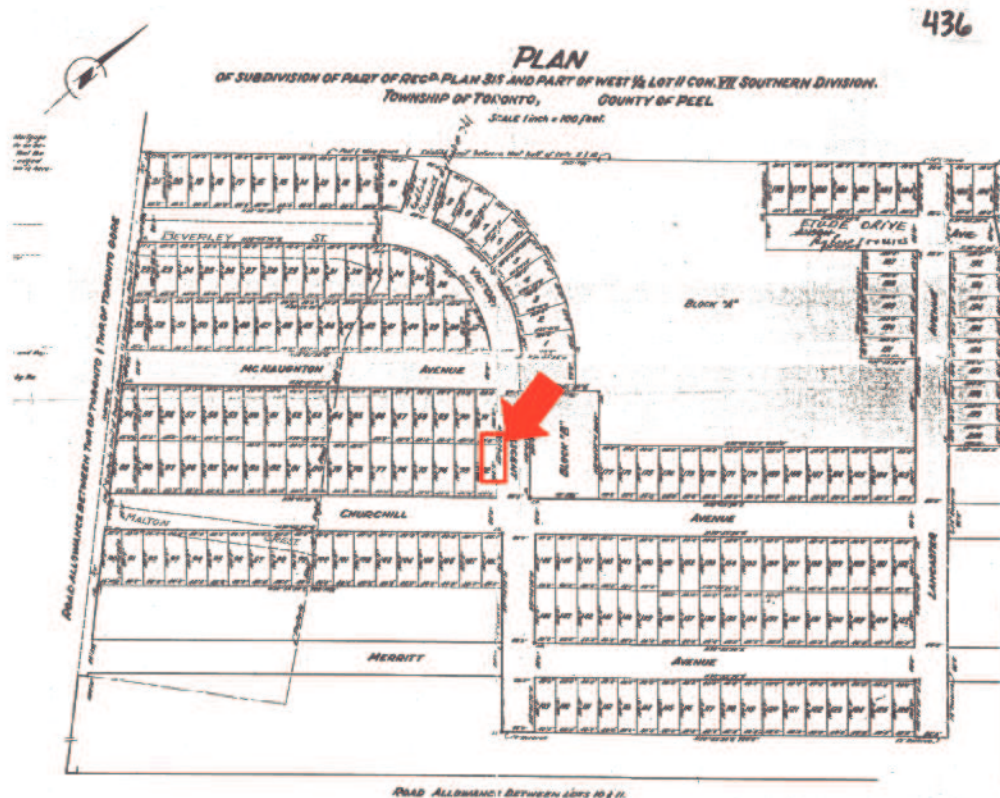
Basement furnace room (left) and upstairs bedroom (right)

3.0 PLANNING CONTEXT

3.1 Malton War Time Housing Cultural Landscape (L-RES-5)

The subject property is located in the *Malton War-time Housing Cultural Landscape* and has been on the City's Heritage Register since 2005. As such, it is protected under Section 27 (1.2) of the *Ontario Heritage Act* and a *Heritage Impact Statement* prepared by a qualified heritage consultant is required for any significant alteration or enlargement of an existing dwelling or its total replacement.

The *Malton War-time Housing Cultural Landscape* consists of a small network of streets with approximately 200 building lots laid out by the Central Housing & Mortgage Corporation on which modest houses were built to standardized plans. Malton was a hub of aircraft building and the subdivision provided homes and a family-oriented community for workers employed at Victory Aircraft and other aircraft related industries in Malton. The layout included land that was reserved for a school, a community hall and a park.



Location of the subject property on the original Plan of Sub-division registered by the Central Housing & Mortgage Co. in 1952. [Plan 436 Lot 72]

At the time of Listing, the original layout and much of the original wartime building stock in the *Malton War-time Housing Cultural Landscape* was intact. The character of the subdivision is defined by wide streets lined with modest one and one-and-a-half storey frame houses. The subdivision has no sidewalks and the houses are set back from the road and typically have unfenced lawns in front.

Most of the individual houses within the *Malton War-time Housing Cultural Landscape* have been altered and/or enlarged in various ways. Until recently, these changes have been incremental and small in scale. New cladding and window replacements are typical, as are small additions such as porches and entry vestibules.

More recently there have been larger impacts to the area including demolition of individual houses to allow construction of larger two-storey residences that are noticeably different in style and materials. In response to this development pressure, Malton has been identified as a neighbourhood in Mississauga that is beginning to see a transition to newer housing and stronger policies have been developed to manage the changes that are occurring.

Examples of recent infill house in the Malton War Time Housing subdivision:



Churchill Avenue



McNaughton Avenue

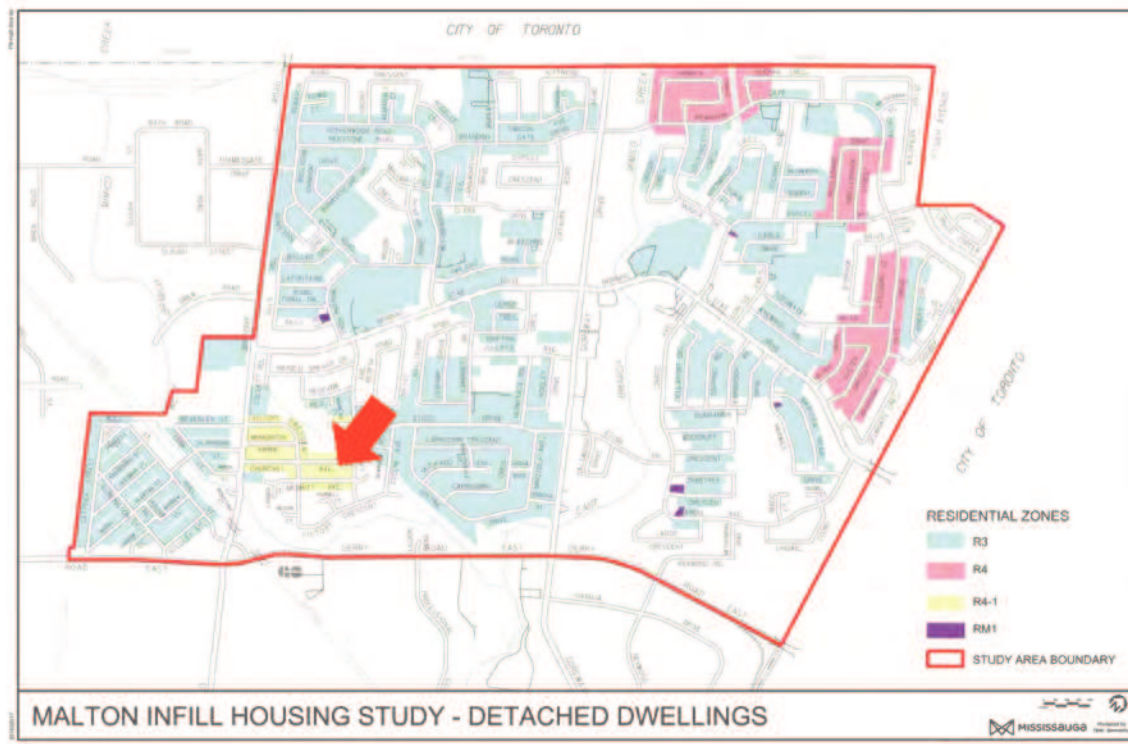


Victory Crescent



3.2 Malton Infill Housing Study

In 2016 the City released the *Malton Infill Housing Study* to ensure that new dwellings and additions are constructed in a manner that is sensitive to the surrounding context by introducing new zoning regulations to control massing. The area known as the *Malton War Time Housing Cultural Landscape* has been zoned R-4-1 for single-detached dwellings. Under the new zoning, maximum building height and Gross Floor Area has been slightly reduced. The maximum height permitted is 9.0 m to the ridge of the roof, reduced from 10.7 m to the mid-point of the roof previously, and the maximum lot coverage permitted is 30%, reduced from 35% previously.



The subject property is located in an area zoned R4-1 where new zoning regulations have recently been put in place to reduce building heights and lot coverage.

4.0 HISTORICAL CONTEXT

The subject property contains one of approximately 200 standardized houses built by the Federal Government in 1952 to house wartime workers employed at the nearby Victory Aircraft manufacturing plant. The chart below provides a brief chronology of the transformation of this area from rural farmland in the 1850s to a planned subdivision in 1952. The aircraft manufacturing plant historically associated with Victory Village was demolished in 2005 but the aerospace industry continues to be a major employer in Mississauga and the Greater Toronto Area.¹

DATE	EVENT
c. 1820	Earliest settlement in Toronto Township
1854	Grand Trunk Railway line connects Malton to Toronto
1855	Subdivision of the Village of Malton, named after a place in Yorkshire County, England
1867	Malton chosen as the County seat
1868	Brampton replaces Malton as the County seat
1937	Toronto Harbour Commission purchases 13 farms (1,410 acres) to build an international airport and establish an aircraft manufacturing industry. The airport is named the Malton Airport.
1938	National Steel Car builds a manufacturing plant on the southwest corner of Airport and Derry Road
1939	World War II begins
1942	Federal Government expropriates National Steel Car and sets up a crown corporation called Victory Aircraft that produced Avro Lancaster bombers from 1942-45.
1942	The Canadian Government purchases 91.4 acres of farmland north of the Malton airport to build a housing subdivision for workers employed at the Victory Aircraft manufacturing plant. A sub-division is built by Wartime Housing Co. Ltd. that contains approximately 200 houses and is named ' Victory Village '. The street names have wartime references such as Victory, McNaughton, Churchill and Lancaster. Land is set aside for an elementary school (Victory Public School), a community hall (Victory Community Hall) and a public park (Victory Park).
1945	The Victory Aircraft manufacturing plant is bought by A.V. Roe Canada
1949	A.V. Roe begins working on the legendary Avro Arrow (CF-105), an advanced, supersonic, twin-engine, all-weather interceptor jet aircraft.
1951	Malton subdivision is ceded to Toronto Township
1952	Plan of Subdivision is registered so that individual lots can be sold (Plan 436).
1959	Manufacture of the Avro Arrow is cancelled by Prime Minister John Diefenbaker. About 15,000 employees at the Malton plant lose their jobs.
1962	A.V. Roe manufacturing plant bought by de Havilland Canada
1965	de Havilland manufacturing plant bought by Douglas Aircraft
196?	Victory Public School closes, students transferred to Malton Public School

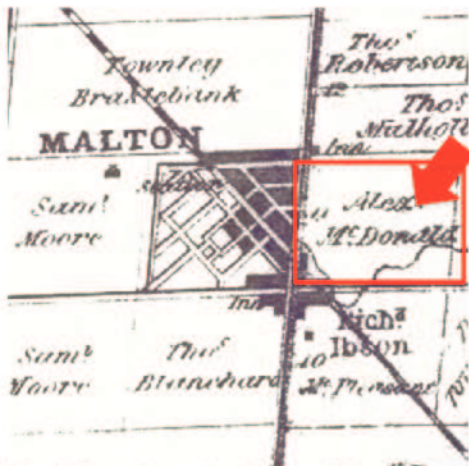
¹ City of Mississauga, Mississauga; Strength in Advanced Manufacturing. A Study in Automotive and Aerospace Clusters (2006).

1974	Malton become part of the City of Mississauga
1984	Malton Airport is renamed Lester B. Pearson International Airport
1997	McDonnell Douglas Canada manufacturing plant bought by Boeing Canada
2005	Boeing Canada manufacturing plant demolished

Table 1.0 Significant Dates

4.1 Macdonald/Codlin Farm

The northeast Toronto township of Malton was first settled in 1823. The building of the Grand Trunk Railway in the 1850's provided Malton with access to larger markets and the township prospered. The old Village of Malton was located west of Airport Road (the former town line between Toronto and Toronto Gore Townships) and north of Derry Road. The 1859 *Tremaine Map* shows the original layout of the Village of Malton. The Malton Wartime Housing subdivision is located on farmland located to the east of the village that was originally part of Toronto Gore. On the Tremaine map the owner of the 100-acre parcel comprised of the West half of Lot 11 in Concession VII is Alex McDonald. This would later be sold to the Codlin family.



Detail from Tremaine's Map of Peel County (1859) showing the 100-acre farm owned by Alex McDonald where the Malton war time housing subdivision is located.

4.2 Malton Airport

In 1937 the Toronto Harbour Commission purchased farmland near Malton to build an international airport. With federal and provincial government assistance, an aircraft manufacturing industry was established here. The airport was originally called the Malton Airport. Following construction of the Malton airport, Malton shifted from an agricultural to an industrial economy and became a world leader in aviation design and manufacturing. Other major industries, such as National Steel Car, also established manufacturing plants in Malton.



Aerial Photo showing the Malton Airport shortly after it was built in 1937. In 1984 it was renamed the Lester B. Pearson International Airport.

The Second World War boosted industrial development in Malton and the Malton Airport became a training facility for British Air Forces. The National Steel Car plant was expropriated by the Federal government in 1942 and a crown corporation called Victory Aircraft was set up. Wartime production required a large work force to build armaments and aircraft.



Wartime workers at the Government-owned Victory Aircraft Manufacturing Plant in Malton. Employees posing with a Lancaster Bomber produced at the plant.

4.3 Malton War Time Housing Subdivision

In order to attract a skilled and permanent workforce, the Federal government financed the design and construction of a residential subdivision on undeveloped farmland close to the Victory Aircraft manufacturing plant. This subdivision contained modest but well designed single detached homes suitable for young families who could lease them at very reasonable rates. Monthly rents ranged from \$22-30. There were four basic models; *Type H1* (a one-storey

24' x 24' dwelling with a living room, two bedrooms, kitchen and bath), *Type H22* (a one-storey 24 ½ x 28' version of the *Type H1*), and *Type H12* (a two-storey 24' x 28' unit containing additional bedrooms on the second floor).²



Examples of typical war time housing erected across Canada by the Federal Government. Built of pre-fabricated wooden components that were assembled on site.

In typical wartime spirit, the Malton Wartime Housing subdivision was called *Victory Village* and the names of the streets contain wartime references such as Churchill, McNaughton and Lancaster. In a very short time, a healthy spacious neighbourhood was created with nearly identical houses on 40 x 100 ft. The large lots provided space for residents to establish Victory gardens to alleviate food shortages and improve the health of their families. A park, school and a community center were included in the layout and close communities developed as the residents worked and lived together.³

Staff architects employed by the Wartime Housing Corporation designed inexpensive homes of non-essential materials that could be erected almost overnight by mass production. Sections of wall, floor and roof were prefabricated and assembled on site by skilled crews that could erect a house in less than 36 hours. The exterior was clad in wood shingle, clapboard or weatherboard. Interiors had hardwood floors. Houses were heated by coal or wood burning stoves.

Although wartime housing was designed to be dismantled after the war, in many communities this never happened.⁴ After the war, the War-time Housing Corporation became the Canada Mortgage and Housing Corporation (CMHC), the federal crown corporation responsible for administering Canada's National Housing Act.⁵ The CMHC oversaw the sale of war-time houses across the country and oversaw construction of new housing for returning Veterans. After the war, many families living in the Victory Village stayed on and purchased their homes. Prices typically ranged from \$2,500 to \$4,500. The area saw an influx of Italian and Polish immigrants from the immediate post-war period through the 1960s.

² Adams and Sijpkens; pp. 17-18.

³ National Film Board

⁴ Ibid.

⁵ Ann McAfee, 'Canada Mortgage and Housing Corporation', Canadian Encyclopedia (2006).

4.4 South-Asian Immigration

Since the 1960s, the proximity to Pearson International Airport has attracted immigrants from India including a large number of Sikhs. The area also has a significant number of immigrants from Sri Lanka, Bangladesh, and Pakistan. These immigrants have transformed the area with specialty food and clothing stores, temples, mosques and gurdwaras serving the South-Asian community. There is a large Punjabi/Indian shopping plaza on Airport Road & Drew Road, opposite the Malton War Time Housing subdivision. This plaza contains the Sikh Heritage Museum and is adjacent to the Sri Guru Singh Sabha, a Sikh place of worship. In 2011 the Malton Majid mosque on Airport Road, adjacent to the Malton War Time Housing subdivision, opened as a place of worship and educational centre for the areas Muslim community.

5.0 HERITAGE VALUE

See Appendix B: Land records

See Appendix C: Drawings (existing dwelling)

Heritage values associated with the *Malton War Time Cultural Landscape* are identified in the City of Mississauga Cultural Landscape Inventory (L-RES-5). This area is valued for its historical associations with World War II and for the character of the built environment that “retains a number of post-war houses which represent some of the first mass produced housing in the GTA”

The subdivision is a physical reminder of Malton’s involvement in the Second World War and the aviation industry in the immediate post-war period.⁶ Much of this history is communicated by the names of the streets (i.e.; Churchill, McNaughton, Lancaster etc.) and the name of the public park (Victory Park) and the former Community Centre (Victory Hall). The subdivision was named Victory Village because of its wartime heritage and its proximity to the Victory Aircraft manufacturing plant. This nomenclature is important for preserving the area’s heritage value. Victory Park and Memorial Hall are also important for preserving the area’s historical associations with World War II.

The survival of much of the original wartime building stock gives the area a distinctive character. However, given that this was built as temporary housing, and given the increase in land prices and the development pressure in this area, it is reasonable to expect that many if not all of these houses will eventually be replaced by more substantial homes. This trend is already evident and there are numerous examples of new 2-storey brick and stone clad houses throughout the subdivision that have replaced the original housing stock.

The house at 3075 Churchill Avenue is typical of the original housing stock and similar to wartime houses built across Canada between 1942 and 1945. It is a very modest three-bay, 1.5-storey, wood-frame structure with a rectangular plan and side-gable roof. It is a modified example of the standard H-1 Plan developed by the War-time Housing Corporation in communities across Canada.

⁶ Heritage Mississauga, *Malton; Founding a Village*.



3075 Churchill Avenue, a modified example of a standard H-1 Plan developed by the Wartime Housing Corporation

It has a concrete block foundation and a small basement for the furnace and water heater. Most of the original houses in the subdivision were not built with basements. It is possible that this house has a basement because it was relocated. It may be one of the houses that were moved here from Bramalea Road when the airport was expanded in 1950. Approximately one in four houses in the Malton War Time Housing subdivision were relocated here from Bramalea Road.⁷

More recent changes to the dwelling include re-cladding of the exterior with vinyl siding and replacement of the original wood windows and doors throughout. The front porch was likely added or heavily modified. None of the original interior finishes have been retained.



The subject property contains an original wartime bungalow, significantly modified with new siding, new doors and windows and changes to the front porch.

⁷ City of Mississauga, Cultural Heritage Landscape Inventory (2005); Appendix 2: Site Description for L-RES-5 War Time Housing (Malton).

5.1 Evaluation According to Ontario Regulation 9/06.

Compliance with Ontario Heritage Act, Ontario Regulation 9/06: Criteria for Determining Cultural Heritage Value or Interest

According to Subsection 1 (2) of Ontario Regulation 9/06, Criteria for Determining Cultural Heritage Value or Interest, a property may be designated under section 29 of the Act if it meets one or more of the following criteria:

1. The property has design value or physical value because it,
 - i. is a rare, unique, representative or early example of a style, type, expression, material or construction method,
 - ii. displays a high degree of craftsmanship or artistic merit, or
 - iii. demonstrates a high degree of technical or scientific achievement.

3075 Churchill Avenue is not rare or unique, because similar wartime houses were built in many communities across Canada. It is somewhat representative of the standard H-1 Plan developed by the War-time Housing Corporation but it has been subject to a number of later alterations. It does not display a high degree of craftsmanship or artistic merit because it was intended as a temporary structure to be dismantled after the war. It demonstrates a moderate degree of technical achievement in the standardization and mass assembly process used in its design, fabrication and construction.

2. The property has historical value or associative value because it,
 - i. has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community,
 - ii. yields, or has the potential to yield, information that contributes to an understanding of a community or culture, or
 - iii. demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.

3075 Churchill Avenue, as part of the larger Malton War Time Cultural Landscape, is historically associated with the Federal housing subdivision that was built to house workers associated with war time industries to provide temporary housing for war-time workers and their families. This association is significant to the history of Mississauga as a major center in Canada associated with the aviation industry and its significant contribution to the war effort. The historical associations are primarily reflected in the entire planned subdivision not by individual houses within the Malton Cultural Landscape. The physical fabric of the house does not yield information that contributes to an understanding of the community or its culture. As a mass-produced standard house type, it reflects the generic ideas of the Wartime Housing Corporation and is not associated with any particular architect, artist, builder, designer or theorist who is significant to the community.

3. The property has contextual value because it,
 - i. is important in defining, maintaining or supporting the character of an area,
 - ii. is physically, functionally, visually or historically linked to its surroundings, or
 - iii. is a landmark.

3075 Churchill Avenue has some contextual value as a component within the Malton War Time Housing Cultural Landscape. Individually it has some importance in defining the character of the area because it retains its original scale, but this importance has been somewhat eroded due to the installation of new exterior cladding, replacement doors and windows, and new interior finishes. It is not a landmark building.

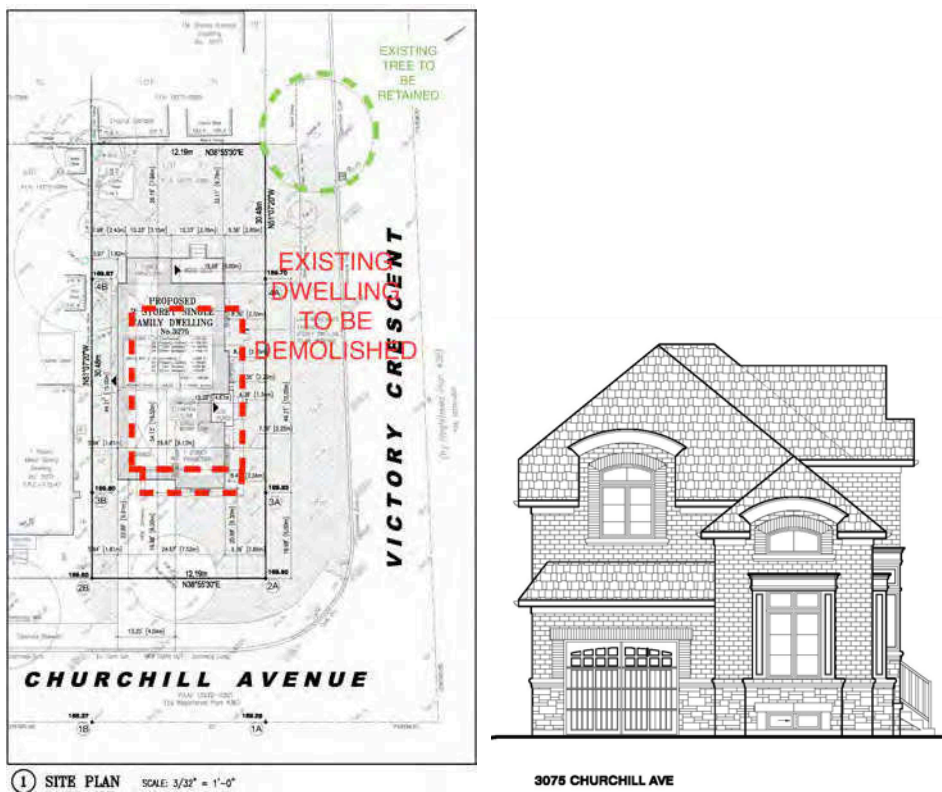
The subject property does not sufficiently meet provincial criteria to warrant individual Designation under Part IV of the Heritage Act.

6.0 PROPOSED DEVELOPMENT

See Appendix C: Drawings (proposed dwelling)

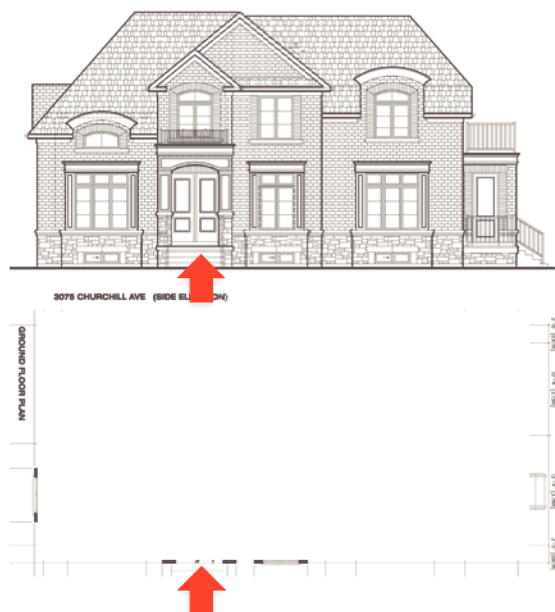
The applicant plans to demolish the existing 1.5-storey wartime dwelling and replace it with a larger 2-storey house with a full basement and attached garage. The footprint of the new house will be slightly larger than the footprint of the existing dwelling because it will extend further into the rear yard. The setback from Churchill Avenue will be maintained and the setback from Victory Crescent will be increased slightly.

The proposed dwelling will be slightly closer to the adjacent dwelling than the existing house, but will meet the minimum side-yard requirement.



The garage will be oriented towards Churchill Avenue

The front door will be oriented towards Victory Crescent to accommodate the proposed interior layout.



The front entrance will be oriented towards Victory Crescent

The proposal is generally consistent with the zoning guidelines for this area. It requires minor variances that have already been approved by the Committee of Adjustment (April 12, 2018). The overall impact of the minor variances is modest and will not have a significant impact on heritage values as illustrated in the table below:

DESCRIPTION	PERMITTED	PROPOSED	CONSISTENT WITH ZONING REGULATIONS	IMPACT ON HERITAGE VALUES
Lot coverage	30% MAX	31.5%	NO Minor variance	NO SIGNIFICANT IMPACT
Total GFA	174.32 sq. m MAX	210.70 sq. m Incl. garage	NO Minor variance	NO SIGNIFICANT IMPACT
Roof height (ridge)	9.0 m MAX	9.0 m	YES	NO IMPACT
Front set back (Churchill Ave)	7.5 m MIN	6.3 m house 6.9 m garage	NO Minor variance	NO SIGNIFICANT IMPACT
Side set back (Victory Crescent)	1.82 m MIN	2.56	YES	NO IMPACT
Side Set back (west)	1.82 m MIN	1.81 m	YES	NO SIGNIFICANT IMPACT
Rear set back	7.5 m MIN	13 m	YES	NO IMPACT

The streetscape drawing indicates that the proposed dwelling is generally compatible with the adjacent property on Churchill Avenue. The street frontage is similar with sufficient space between dwellings. The proposed dwelling is taller than the adjacent roofline, but it is not significantly higher and a number of design elements such as the single-storey garage with a

sloped roof, dormer window and the front facing gable create a suitable transition. The proposed residence is comparable in scale and massing to nearby infill housing.



Churchill streetscape - existing



Churchill streetscape – proposed [Drawings provided by John Ramirez]

In general the massing is well articulated and the roofline is compact with a combination of hipped and gable roof and small arched dormers. The proposed wall cladding materials are stone for the foundation with brick above and stone or brick trim. The windows and door openings are primarily square with shallow segmental arches used in the gable and dormers.

The elevation on Churchill Avenue is two bays wide, consisting of a single-car garage and a bay window. The main façade facing Victory Crescent is 4 bays wide with an asymmetrical but balanced arrangement. The front entrance is raised with a covered portico and balcony.



Victory Crescent Streetscape – existing



Victory Crescent elevation – proposed [Drawings provided by John Ramirez]

Stylistically the new design is Neo-Traditional and is typical of suburban house designs found throughout the GTA. The massing is box-like so that the floor area can be maximized based on the buildable area permitted and the roof slope is steep to increase usable space on the upper floor. There are design elements such as the entry porch, bays windows, stepped-back garage, front-facing gable and roof dormers that provide some articulation of the massing from the street. In general, the architectural embellishments are modest and the design is fairly traditional in the use of a hipped roof, a low window to wall ratio, the use of rectangular windows (taller than they are wide), and the use of windows with divided lights in the manner of a traditional sash window.

A fairly significant number of war-time houses in Malton have been demolished and replaced by larger homes similar to the proposed dwelling. [Similar examples are illustrated on p. 10 of this report].

7.0 POTENTIAL IMPACTS ON HERITAGE VALUE

The City of Mississauga has developed criteria for identifying the significant values associated with cultural landscapes. The *Cultural Landscape Inventory* provides a checklist of the specific attributes associated with the *Malton War Time Housing Cultural Landscape*.⁸ A *Heritage Impact Statement* must demonstrate how the proposed development will conserve these attributes.⁹ A list of these attributes and a conservation strategy is outlined below.

Built Environment

- **consistent scale of built features**

The proposed development includes demolition of a small one-storey war-time bungalow and construction of a new two-storey suburban house in its place. The increase in building height from one-storey to two-storeys is not significant and will not have a major impact on the cultural landscape. The original subdivision included one and one-and-a half-storey houses. A two-storey residence does not represent a significant increase in building height. Furthermore, the streetscapes on Churchill Avenue & Victory Crescent already includes some newer two-storey homes.

⁸ Cultural Landscape Inventory; War Time Housing (Malton) L-Res-5. Included as an Appendix to this report.

⁹ City of Mississauga, Terms of Reference for Cultural Landscape Heritage Impacts Statements, 2013. Included as an Appendix to this report.

Historical Associations

- **illustrates a style, trend or pattern**

The Malton War-time Housing cultural landscape is a relatively intact example a subdivision built by Wartime Housing Limited between 1941 and 1945. These developments were standardized across the country with only minor variations. Although these subdivisions were considered to be temporary housing, many of these houses are still in use. The proposed development involves demolition of one of a wartime house that may have been relocated here from Bramalea Road and has been subject to a number of alterations including replacement of original doors, windows, exterior cladding and interior finishes. This house is not rare or unique in the neighbourhood and there are several identical house plans that are better preserved on elsewhere in the subdivision.

- **direct association with important person or event**

The Malton War-time Housing subdivision is associated with Wartime Housing Limited, a crown corporation formed in 1941 to finance, design and construct housing for workers in areas where there was a shortage of suitable housing. After the war, Wartime Housing Limited became the Canadian Housing and Mortgage Corporation (CMHC). The development proposal will result in the loss of 1 of approximately 200 original houses that were constructed in the wartime housing subdivision in the Malton. The historical association is conveyed by the whole area and not by its component parts.

- **illustrates an important phase of social or physical development**

The Malton War-time Housing subdivision illustrates the physical development of the small rural crossroads village of Malton following the construction of the Malton airport c. 1937. War-time conditions accelerated the growth of this area due to the rapid increase in industrial production and the federally funded construction of the Malton subdivision that provided 200 new homes on spacious paved streets with modern amenities such as water, sewage, hydro and telephone lines. The development proposal will result in the loss of one of the original war-time houses but it will be replaced by a new home that will support the ongoing use historically associated with this area since 1942 as a residential subdivision comprised of detached single-family homes. The renewal of the housing stock will change the individual built forms but the original lot divisions and street layout will be conserved.

Other

- **Historical or Archaeological Interest**

The Malton War-time Housing subdivision has historical interest because of its connection with Federal housing projects carried out during World War II that provided temporary housing and amenities for workers and their families close to major war-time production centers across Canada. The development proposal will not significantly impact the historical associations of this area.

8.0 MITIGATION MEASURES

The demolition of the existing residential building has been sufficiently mitigated through research and documentation undertaken as part of this Heritage Impact Assessment Report including:

- Title search to show past ownership back to the original Crown grant
- Site survey drawing indicating existing buildings and trees on the property
- Photograph-documentation of the house, yard and neighbourhood context
- Measured drawings of the interior layout of the house

No further mitigation is required.

9.0 CONCLUSIONS & RECOMMENDATIONS

The house at 3075 Churchill Avenue does not sufficiently meet criteria to warrant individual Designation under Part IV of the *Ontario Heritage Act*. As part of the Malton War Time Housing Cultural Landscape, historic research and documentation of the site prior to removal is required. This Heritage Impact Assessment fulfills those requirements and no further mitigation is recommended.

The proposed development is generally consistent with the new infill housing zoning regulations for this area and is similar to other developments that have been approved. The applicant proposes to orient the new dwelling towards Victory Crescent. This represents a departure from the existing orientation towards Churchill Avenue.

Given that this is a corner lot and that the existing setbacks and landscape areas on both street frontages will be maintained, the consultant concludes that this does not represent a significant impact on the cultural landscape. There are currently no specific guidelines for corner sites. The proposed change in orientation will enhance the Victory Crescent streetscape and it will help to break up the massing of this long elevation. Consideration of adding sidewalks along Victory Crescent would contribute to the walkability of the Malton neighbourhood.

If the Heritage Committee feels that the existing orientation toward Churchill Avenue should be maintained this could be done with minor revisions that could be approved by staff. However, it is the consultant's opinion that the proposed entrance on Victory Crescent will not have a negative impact on Malton Wartime Housing Cultural Landscape and that it represents a well-articulated treatment of the long elevation on Victory Crescent. The consultant therefore recommends approval of the proposed dwelling.

10.0 QUALIFICATIONS OF THE AUTHOR

The author of this report is a member in good standing of the Canadian Association of Heritage Professionals. Formal education includes a Master of Arts in Architectural History from the University of Toronto and a diploma in Heritage Conservation from the Willowbank School of Restoration Arts. Professional experience includes an internship at the Ontario Heritage Trust, three years as Architectural Historian and Conservation Specialist at Taylor Hazell Architects in Toronto, and 5 years in private practice in Ontario as a heritage consultant. Other relevant experience includes teaching art history at the University of Toronto and McMaster University and teaching research methods and conservation planning at the Willowbank School for Restoration Arts in Queenston. In addition to numerous heritage reports, the author has published work in academic journals such as the *Journal of the Society of Architectural Historians* and the *Canadian Historical Review*.

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APPENDIX A: SITE PHOTOS



Figure 1: View looking east on Churchill Avenue, subject property is on the left



Figure 2: View looking west on Churchill Avenue



Figure 3: Main elevation on Churchill Avenue



Figure 4: Side elevation on Victory Crescent



Figure 5: Front yard set-back



Figure 6: Paved driveway from Churchill Avenue



Figure 7: Front Porch



Figure 8: Side elevation (west side)



Figure 9: Replacement windows



Figure 10: Raised concrete block foundation, vinyl siding.



Figure 11: Rear yard



Figure 12: Detached garden shed in rear yard



Figure 13: Rear elevation

Figure 14: Front entry & stairs



Figure 28: Stairs to basement (hatch access from rear bedroom)



Figure 29: Basement - furnace



Figure 30: Basement – water heater

APPENDIX B: LAND RECORDS

ADDRESS: 3075 Churchill Avenue, Malton

LEGAL DESCRIPTION: Lot 72, Plan 436, Mississauga

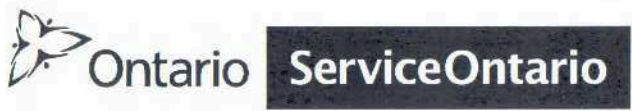
INST. NO.	DATE	TYPE	GRANTOR	GRANTEE	LANDS
	1828	Patent	Crown	King's College	200 acres (Lot 11, Concession VII, Twp. of Toronto Gore, Peel County)
22051	1842	B&S	King's College	Alexander McDONALD	100 acres (NW half of Lot 11)
30556	1842	Will	Alexander McDONALD	Mary McDONALD, wife	W ½ Lot 11
50805	1853	Indenture	Mary McDONALD, widow	Alex McDONALD, son	"
1808	1863	Will	Alex McDONALD	Eliza MCDONALD, relationship not specified	"
1218	1890	B&S	Executor of the Estate of Eliza McDONALD	Thomas CODLIN	W ½ Lot 11, N of the GTR
2512	1913	Will	Thomas CODLIN	Fred CODLIN	"
3431	1942	B&S	Fred CODLIN et ux	His Majesty the King in the Right of Canada – *see attached Survey H-20-A Dominion of Canada, Dept. of Munitions & Supply, Wartime Housing Ltd.	91.4 acres (Lot II Concession VII)
By-Law 1471 Township of Toronto	1951	Annexation	Twp. of Toronto Gore	Malton Police Village, Township of Toronto	"
Plan 436	1952	Plan of Subdivision	Central Mortgage & Housing Corporation – *see attached Plan 436		
110638	1958	Grant	Central Mortgage & Housing Corporation	Harold G. MASHINTER & Lily M. MASHINTER	Lot 72 (\$3,850)
956154	1990	Grant	Lily M. MASHINTER	Robert Wayne LYWOOD & Constance Louise SMITH	"
1130433	1996	Transfer	Robert Wayne LYWOOD & Constance Louise SMITH	Ontario Hydro	"
R01133639	1997	Transfer	Ontario Hydro	Harpal SINGH	"
LT1901233	1998	Transfer	Harpal SINGH	Kevin BARROW & Wendy KEELER	
LT2136994	2000	Transfer	Kevin BARROW & Wendy KEELER	Vito GUARINO & Nasreen KHOKER	
PR3214100	2017	Transfer	Vito GUARINO & Nasreen KHOKER	CURRENT OWNER	"

NOTE: Title search performed by Chris Aplin, M.C.A. Paralegal Services

B. RAYMOND CO.
 1000 N. 10th St.
 Minneapolis, MN 55401
 (612) 338-1111
 NO. 11 8574

NUMBER	INSTRUMENT	DATE OF INSTRUMENT	DATE OF REGISTRATION	GRANTOR	GRANTEE	CONSIDERATION	REMARKS
74437	NOTICE	14 MAY 53	JUNE 53	RE: ZONING REG'S. MALTON AIRPORT			
426	BY LAW	1 JUNE/54	9 JUNE/54	RE SUBDIV. CONTROL			
91081	NOTICE	20 SEP. 1955	29 SEP. 1955	TO MONT NO. 74437			
110219	Grant	25 Apr 1958	29 Apr 1958	Harold H. Mashinter & Lily Mashinter	Harold H. Mashinter & Lily Mashinter	400.00	all
110638	Grant	30 Apr 1958	22 May 1958	Coastal Mortgage and Housing Corporation	Harold H. Mashinter & Lily M. Mashinter, as joint tenants	3850.00	all
120053	NOTICE	3 JUNE 1959	15 JUNE 1959	RE-ZONING REGS MALTON AIRPORT			
144288	NOTICE	21 DEC 1961	13 MAR 1962	RE-ZONING REGS MALTON AIRPORT			
159684	Grant	30 Nov 1972	12 Feb 1973	Harold H. Mashinter & Lily Mashinter	Harold H. Mashinter & Lily Mashinter	400.00	all
248789	Grant	30 Nov 1972	12 Feb 1973	Amendment of Airport zoning Regulations			
619211	Grant			MASHINTER, Harold H. P.O. no. 619210 MASHINTER, Lily M.	MASHINTER, Lily M.	2.00	all
951317	Mort			MASHINTER, Lily May	SCOTIA Mortgage Corp.	31,000.00	all by her attorney Elwin Moore
				Discharged by # 960037 Asst. Dep. Land Reg.			
956154	Grant			MASHINTER, Lily May by atty MOORE, Elwin 951768	LYWOOD, Robert Wayne SMITH, Constance Louise JT	140,000.00	all
956155	Mort			LYWOOD, Robert Wayne SMITH, Constance Louise	National Trust Company	129,150.00	all
					Discharged by # R01133534 Asst. Dep. Land Reg.		
R0 992531	Mort			LYWOOD, Robert Wayne SMITH, Constance Louise	CLARK, Ross	12,921.82	all
					Discharged by # R01133535 Asst. Dep. Land Reg.		
R0 1130433	Transfer			LYWOOD, Robert Wayne LYWOOD, Constance Louise	Ontario Hydro	128,700.00	all

NOTICE
All Document/Instruments
subsequent to
JAN 21 1997
are recorded in the automated abstract
set out in subsection 21(5) of the
REGISTRY ACT



LAND
REGISTRY
OFFICE #43

ABSTRACT INDEX (ABBREVIATED) FOR PROPERTY IDENTIFIER

13272-0603 (R)

PAGE 1 OF 1
PREPARED FOR CA
ON 2018/04/25 AT 13:15:15

PROPERTY DESCRIPTION: LT 72 PL 436 ; MISSISSAUGA

PROPERTY REMARKS: THIS PARCEL WAS CREATED BASED ON INFORMATION CONTAINED IN DOCUMENT(S) R01130433, WHICH IS (ARE) RECORDED FOR PIN IDENTIFICATION ONLY.

ESTATE/QUALIFIER: RECENTLY: PIN CREATION DATE:
PARCELIZED 1997/01/21

REG. NUM.	DATE	INSTRUMENT TYPE	AMOUNT	PARTIES FROM	PARTIES TO	CERT/ CHKD
EFFECTIVE 2000/07/29 THE NOTATION OF THE "BLOCK IMPLEMENTATION DATE" OF 1997/01/21 ON THIS PIN						
WAS REPLACED WITH THE "PIN CREATION DATE" OF 1997/01/21						
** PRINTOUT INCLUDES ALL DOCUMENT TYPES AND DELETED INSTRUMENTS SINCE 1997/01/19 **						
THIS ABSTRACT INCLUDES ALL INSTRUMENTS AND DOCUMENTS FROM: 1997/01/21						
FOR THE PREVIOUS ABSTRACT SEE ABSTRACT BOOK						
NOTE: THIS PIN WAS ONCE REG PIN 13272-0300. THIS PROPERTY WAS CONVERTED TO LT ON 1998/05/19 REUSING PIN 13272-0300.						
R01130433	1996/12/06	TRANSFER	\$128,700		ONTARIO HYDRO	C
R01133534	1997/01/24	DISCH OF CHARGE		*** COMPLETELY DELETED *** NATIONAL TRUST COMPANY		
REMARKS: RE: 956155						
R01133535	1997/01/24	DISCH OF CHARGE		*** COMPLETELY DELETED *** CLARK, IRENE		
REMARKS: RE: R0992531						
R01133639	1997/01/24	TRANSFER	\$120,000	ONTARIO HYDRO	SINGH, HARPAL	C
R01133640	1997/01/24	CHARGE	\$112,750	SINGH, HARPAL	SCOTIA MORTGAGE CORPORATION	C

NOTE: ADJOINING PROPERTIES SHOULD BE INVESTIGATED TO ASCERTAIN DESCRIPTIVE INCONSISTENCIES, IF ANY, WITH DESCRIPTION REPRESENTED FOR THIS PROPERTY.

NOTE: ENSURE THAT YOUR PRINTOUT STATES THE TOTAL NUMBER OF PAGES AND THAT YOU HAVE PICKED THEM ALL UP.

LAND
REGISTRY
OFFICE #43

13272-0300 (LT)

PAGE 1 OF 3
PREPARED FOR CA
ON 2018/04/25 AT 13:15:12

* CERTIFIED IN ACCORDANCE WITH THE LAND TITLES ACT * SUBJECT TO RESERVATIONS IN CROWN GRANT *

PROPERTY DESCRIPTION: LT 72, PL 436 ; MISSISSAUGA

PROPERTY REMARKS:

ESTATE/QUALIFIER:
FEE SIMPLE
LT CONVERSION QUALIFIED

RECENTLY:
RE-ENTRY FROM 13272-0603

PIN CREATION DATE:
1998/05/19

OWNERS' NAMESCAPACITY SHARE

REG. NUM.	DATE	INSTRUMENT TYPE	AMOUNT	PARTIES FROM	PARTIES TO	CERT/ CHKD
<div><div>**EFFECTIVE 2000/07/29 THE NOTATION OF THE "BLOCK IMPLEMENTATION DATE" OF 1997/01/21 ON THIS PIN**</div><div>**WAS REPLACED WITH THE "PIN CREATION DATE" OF 1998/05/19**</div><div>** PRINTOUT INCLUDES ALL DOCUMENT TYPES AND DELETED INSTRUMENTS SINCE 1998/05/19 **</div><div>**SUBJECT, ON FIRST REGISTRATION UNDER THE LAND TITLES ACT, TO:</div><div>**SUBSECTION 44(1) OF THE LAND TITLES ACT, EXCEPT PARAGRAPH 11, PARAGRAPH 14, PROVINCIAL SUCCESSION DUTIES *</div><div>**AND ESCHEATS OR FORFEITURE TO THE CROWN.</div><div>**THE RIGHTS OF ANY PERSON WHO WOULD, BUT FOR THE LAND TITLES ACT, BE ENTITLED TO THE LAND OR ANY PART OF</div><div>**IT THROUGH LENGTH OF ADVERSE POSSESSION, PRESCRIPTION, MISDESCRIPTION OR BOUNDARIES SETTLED BY</div><div>**CONVENTION.</div><div>**ANY LEASE TO WHICH THE SUBSECTION 70(2) OF THE REGISTRY ACT APPLIES.</div><div>**DATE OF CONVERSION TO LAND TITLES: 1998/05/20 **</div><div>TT1200531959/06/15NOTICE</div><div>REMARKS: AMENDMENT OF TORONTO-MALTON AIRPORT ZONING REGULATIONS AMENDED 960306 BY K. BARBISON, DLR</div><div>TT1442981962/03/13NOTICE</div><div>REMARKS: AMENDMENT OF TORONTO-MALTON AIRPORT ZONING REGULATIONS, AMENDED BY K.BARBISON DLR 96 03 06</div><div>VS2487891973/02/12NOTICE</div><div>REMARKS: AMENDMENT OF TORONTO-MALTON AIRPORT ZONING REGULATIONS LT248789 AMENDED TO READ 248789VS 95/11/14 KATHY POWER</div><div>RO11336391997/01/24TRANSFER</div><div>*** DELETED AGAINST THIS PROPERTY ***</div><div>ONTARIO HYDRO</div><div>SINGH, HARPAL</div><div>RO11336401997/01/24CHARGE</div><div>*** DELETED AGAINST THIS PROPERTY ***</div><div>SINGH, HARPAL</div><div>SCOTIA MORTGAGE CORPORATION</div><div>LT19012331998/12/30TRANSFER</div><div>*** COMPLETELY DELETED ***</div></div>						
						C
						C
						C

NOTE: ADJOINING PROPERTIES SHOULD BE INVESTIGATED TO ASCERTAIN DESCRIPTIVE INCONSISTENCIES, IF ANY, WITH DESCRIPTION REPRESENTED FOR THIS PROPERTY.
NOTE: ENSURE THAT YOUR PRINTOUT STATES THE TOTAL NUMBER OF PAGES AND THAT YOU HAVE PICKED THEM ALL UP.

REG. NUM.	DATE	INSTRUMENT TYPE	AMOUNT	PARTIES FROM	PARTIES TO	CERT/ CHKD
LT1901234	1998/12/30	CHARGE		SINGH, HARPAL *** COMPLETELY DELETED *** BARROW, KEVIN KEELER, WENDY	BARROW, KEVIN KEELER, WENDY THE TORONTO-DOMINION BANK	C
LT1912790	1999/02/12	DISCH OF CHARGE		*** COMPLETELY DELETED *** SCOTIA MORTGAGE CORPORATION		
	REMARKS: RE: RO1133640					
LT2057426	2000/03/27	NOTICE		HER MAJESTY THE QUEEN IN RIGHT OF THE DEPARTMENT OF TRANSPORT CANADA		
	REMARKS: PEARSON AIRPORT ZONING REGULATION					
LT2136994	2000/10/12	TRANSFER		*** COMPLETELY DELETED *** BARROW, KEVIN KEELER, WENDY	KHOKHER, NASREEN GUARINO, VITO	
LT2136995	2000/10/12	CHARGE		*** COMPLETELY DELETED *** KHOKHER, NASREEN GUARINO, VITO	HOME TRUST COMPANY	
LT2136996	2000/10/12	CHARGE		*** COMPLETELY DELETED *** KHOKHER, NASREEN GUARINO, VITO	KINGCREST HOLDINGS LIMITED	
PR9898	2000/11/15	DISCH OF CHARGE		*** COMPLETELY DELETED *** THE TORONTO-DOMINION BANK		
	REMARKS: RE: LT1901234					
PR622033	2004/04/15	CHARGE		*** COMPLETELY DELETED *** GUARINO, VITO KHOKHER, NASREEN	RESMOR TRUST COMPANY	
PR622223	2004/04/15	DISCH OF CHARGE		*** COMPLETELY DELETED *** KINGCREST HOLDINGS LIMITED		
	REMARKS: RE: LT2136996					
PR655027	2004/06/11	DISCH OF CHARGE		*** COMPLETELY DELETED *** HOME TRUST COMPANY		
	REMARKS: RE: LT2136995					

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LAND
REGISTRY
OFFICE #43

PARCEL REGISTER (ABBREVIATED) FOR PROPERTY IDENTIFIER

13272-C300 (LT)

PAGE 3 OF 3
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* CERTIFIED IN ACCORDANCE WITH THE LAND TITLES ACT * SUBJECT TO RESERVATIONS IN CROWN GRANT *

REG. NUM.	DATE	INSTRUMENT TYPE	AMOUNT	PARTIES FROM	PARTIES TO	CERT/ CHKD
PR1063323	2006/05/18	TRANSFER		*** COMPLETELY DELETED *** GUARINO, VITO KHOKHER, NASREEN	GUARINO, VITO KHOKER, NASREEN	
PR1467855	2008/05/29	CHARGE		*** COMPLETELY DELETED *** GUARINO, VITO KHOKER, NASREEN	COMPUTERSHARE TRUST COMPANY OF CANADA C/O RESMOR TRUST COMPANY	
PR1636318	2009/05/07	CHARGE		*** COMPLETELY DELETED *** GUARINO, VITO KHOKER, NASREEN	COMPUTERSHARE TRUST COMPANY OF CANADA	
PR1651567	2009/06/10	DISCH OF CHARGE		*** COMPLETELY DELETED *** RESMOR TRUST COMPANY		
	REMARKS: RE: PR622033					
PR1651626	2009/06/10	DISCH OF CHARGE		*** COMPLETELY DELETED *** COMPUTERSHARE TRUST COMPANY OF CANADA C/O RESMOR TRUST COMPANY		
	REMARKS: RE: PR1467855					
PR2325944	2013/01/25	APL GOVT ORDER		*** COMPLETELY DELETED *** THE CORPORATION OF THE CITY OF MISSISSAUGA		
PR2689066	2015/03/24	APL GOVT ORDER		*** COMPLETELY DELETED *** THE CORPORATION OF THE CITY OF MISSISSAUGA		
	REMARKS: PROPERTY STANDARDS					
PR3208829	2017/09/27	APL (GENERAL)		*** COMPLETELY DELETED *** THE CORPORATION OF THE CITY OF MISSISSAUGA		
	REMARKS: DELETES PR2689066					
PR3208843	2017/09/27	APL (GENERAL)		*** COMPLETELY DELETED *** THE CORPORATION OF THE CITY OF MISSISSAUGA		
	REMARKS: DELETES PR2325944					
PR3214100	2017/10/04	TRANSFER	\$493,000	GUARINO, VITO KHOKER, NASREEN		C
PR3234786	2017/11/10	DISCH OF CHARGE		*** COMPLETELY DELETED *** COMPUTERSHARE TRUST COMPANY OF CANADA		
	REMARKS: PR1636318.					

NOTE: ADJOINING PROPERTIES SHOULD BE INVESTIGATED TO ASCERTAIN DESCRIPTIVE INCONSISTENCIES, IF ANY, WITH DESCRIPTION REPRESENTED FOR THIS PROPERTY.

NOTE: ENSURE THAT YOUR PRINTOUT STATES THE TOTAL NUMBER OF PAGES AND THAT YOU HAVE PICKED THEM ALL UP.

APPENDIX B: DRAWINGS

- Site plan
- Plans of existing house to be demolished
- Streetscape showing the proposed development
- Plans & elevations of the proposed development



Property Information: 3075 CHURCHILL AVE, CITY OF MISSISSAUGA, ONTARIO – Lot 72 – REG. PLAN 436			
Zoning Designation: R4-1		Total Lot Area: 4,000 sq.ft.	371.61 sq.m.
	Requirements	Proposed	
Lot Area	500 sq.m (5381.95 sq.ft)	371.61 sq.m (4,000 sq.ft)	
Lot Frontage	15.00m (49.21 ft)	12.19m (40.00 ft)	
Average Grade (Calculation on site plan)	169.61	169.61	
Gross Floor Area:	EXISTING	PROPOSED	TOTAL
Gross Floor Area – Ground Floor	N.A.	91.32 sq.m (983 sq.ft)	91.32 sq.m (983 sq.ft)
Gross Floor Area – Second Floor	N.A.	97.73 sq.m (1,052 sq.ft)	97.73 sq.m (1,052 sq.ft)
Gross Floor Area – Garage	N.A.	21.64 sq.m (233 sq.ft)	21.64 sq.m (233 sq.ft)
Gross Floor Area – Deductible Area	N.A.	N.A.	N.A.
Gross Floor Area – Total (Including Garage Area)	N.A.	210.70 sq.m (2,268 sq.ft)	210.70 sq.m (2,268 sq.ft)
Lot Coverage	EXISTING	PROPOSED	TOTAL
Dwelling Foot Print (Incl. Garage)	N.A.	112.97 sq.m (1,216 sq.ft)	112.97 sq.m (1,216 sq.ft)
Porch	N.A.	4.27 sq.m (46 sq.ft)	4.27 sq.m (46 sq.ft)
Deck (Greater than:0.61m height & 10m2)	N.A.	6.78 sq.m (73 sq.ft)	N.A.
Accessory Structures (Shed,Gazebo,Etc)	N.A.	N.A.	N.A.
Eaves (Greater than 0.45m)		N.A.	N.A.
Other: Balcony, 2nd Floor Overhang, Etc.)		N.A.	N.A.
Total Proposed Lot Coverage	N.A.	117.24 sq.m (1,262 sq.ft)	117.24 sq.m (1,262 sq.ft)
Total Proposed Lot Coverage Percentage			31.5%
Landscape Soft Area	EXISTING	PROPOSED	TOTAL
Front Yard Area	N.A.	76.73 sq.m (826 sq.ft)	76.73 sq.m (826 sq.ft)
Hard Surface Area (Driveways,walkway,Porch)	N.A.	28.89 sq.m (311 sq.ft)	28.89 sq.m (311 sq.ft)

A1 – Title Sheet & Site Plan

A2 – Basement Plan & Ground Floor Plan

A3 – Second Floor Plan

A4 – North Elevation

A5 – East Elevation

A6 – West Elevation

A7 – South Elevation

INFORMATION TAKEN FROM TOPOGRAPHY OF
LOT 72, REGISTERED PLAN 436
CITY OF MISSISSAUGA, REGIONAL MUNICIPALITY PEEL
Prepared By: GTA SURVEYING
DATED: NOVEMBER 29th, 2017

KEY MAP:

DRAWINGS MUST NOT BE SCALED
DRAWINGS TO BE READ IN CONJUNCTION WITH GENERAL
NOTES AND O.B.C

All drawings and information shown on these drawings must be checked and verified on site prior to construction and fabrication of its components. Should existing conditions or services be found to vary from that indicated on the architectural drawings, the deviation must be notified immediately. Unless specifically noted otherwise on the drawings no provision has been made in the design for condition occurring during construction. It shall be the responsibility of the contractor to provide all necessary bracing, shoring, steel piling or other temporary supports, to safeguard all existing or adjacent structures affected by this work.

all dimensions are given in Imperial units unless otherwise indicated.

8.			
7.			
6.			
5.			
4.			
3.			
2.			
1.			

No.	Description	YYYY.MM.DD	By
REVISIONS			

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION

JOHN RAMIREZ	32125
NAME	SIGNATURE
REGISTRATION INFORMATION	BCIN
JR DESIGN + CONSTRUCTION	39552
	BCIN

COMPANY NAME: _____



371 Strawberry Crest, Waterloo, ON N2K 3J3
T: 416.737.9413 E: john@jrhomedesigner.com
Web: www.jrhomedesigner.com

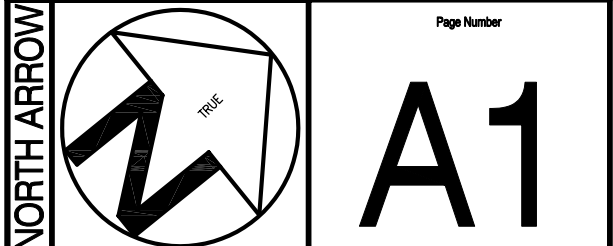
PROJECT ADDRESS: **3075 CHURCHILL AVE**
CITY OF MISSISSAUGA, ONTARIO

PROJECT TITLE:

NEW 2 STOREY HOUSE

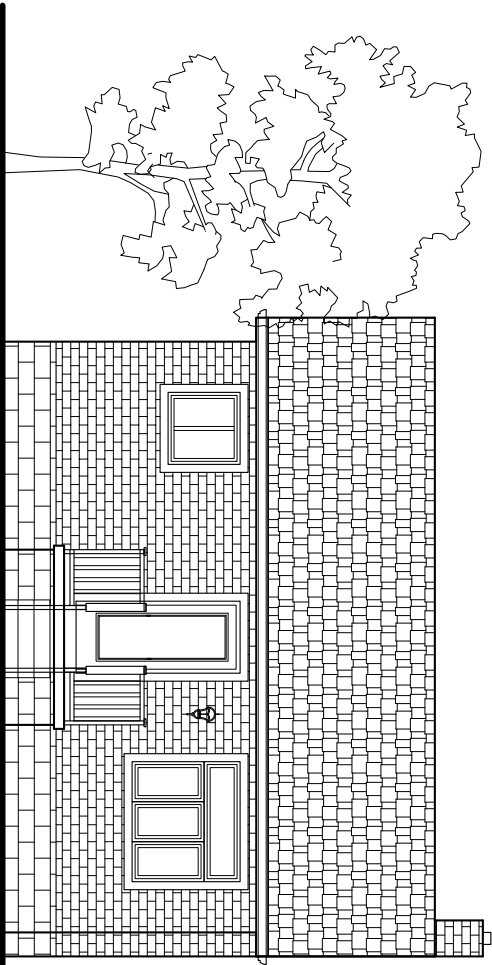
DRAWING SHEET:
SITE PLAN

Scale:	
AS NOTED	
Drawn By:	Checked By
John Ramirez	John Ramirez

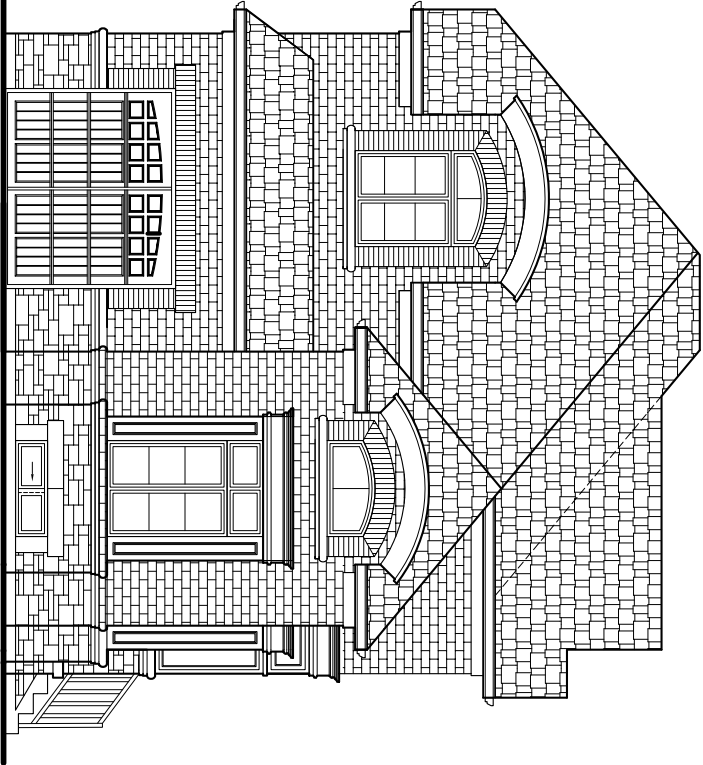


SCALE: $3/32" = 1'-0"$

CHURCHILL AVENUE STREETSCAPE



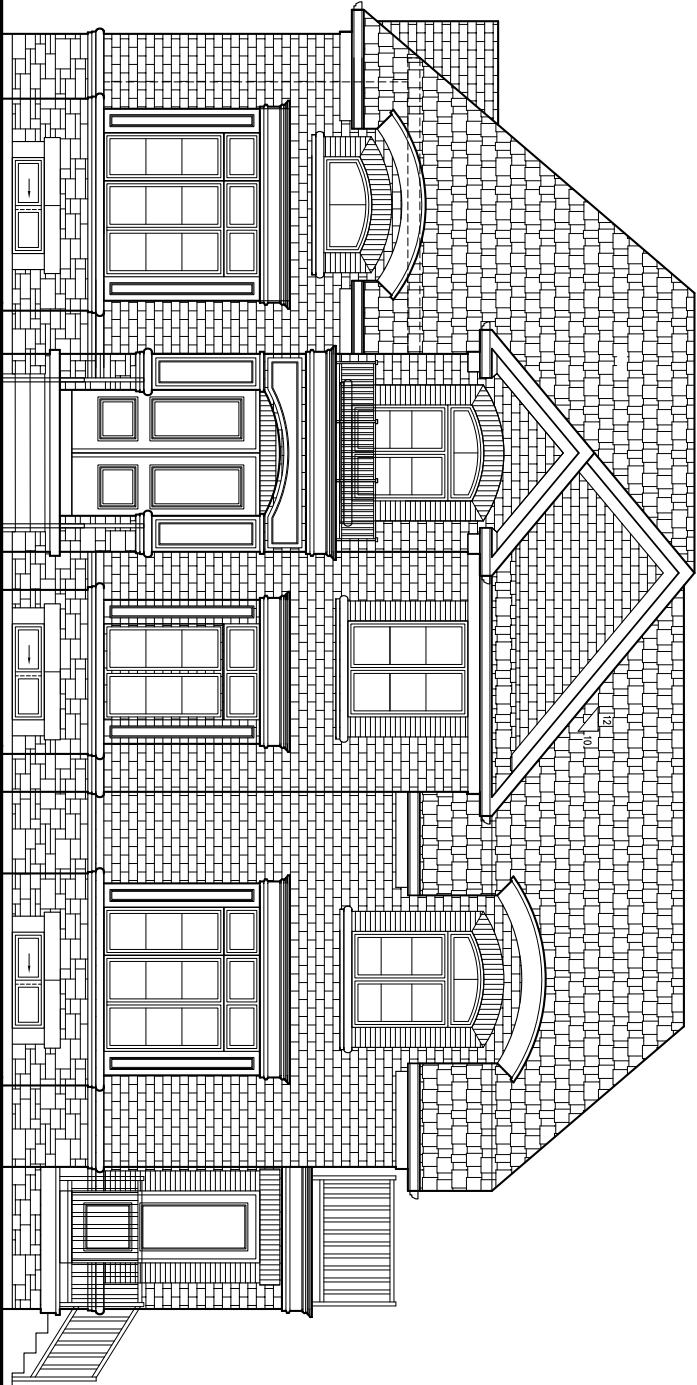
3077 CHURCHILL AVE



3075 CHURCHILL AVE

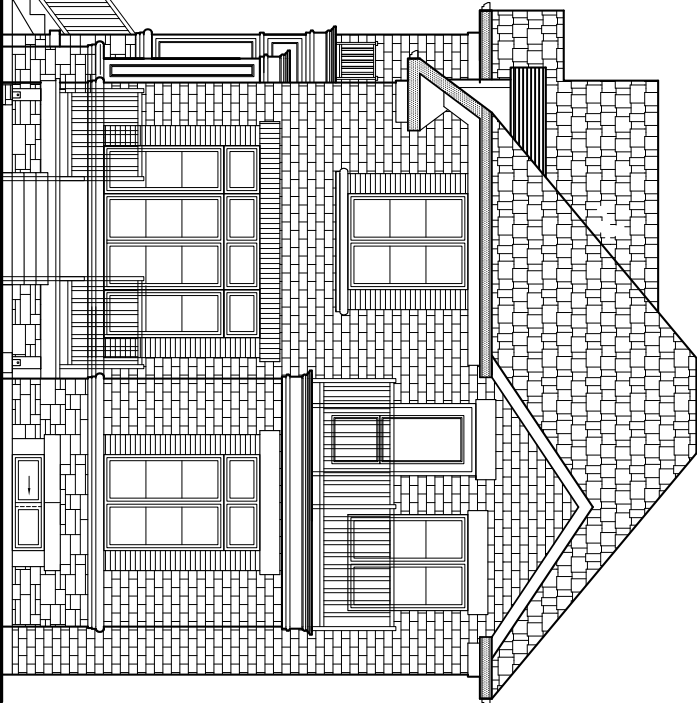
PROPOSED DWELLING

VICTORY CRESCENT ELEVATION



3075 CHURCHILL AVE (SIDE ELEVATION)

REAR ELEVATION



3075 CHURCHILL AVE (REAR ELEVATION)

PROJECT ADDRESS:	3075 CHURCHILL AVE MISSISSAUGA, ONTARIO		
PROJECT TITLE:	NEW 2 STOREY HOUSE		
DRAWING SHEET:	STREETSCAPE		
DRAWN BY:	John Ramirez	CHECKED BY:	John Ramirez
SCALE:	1/8"=1'-0"		

4.			
3.			
2.			
1.			
No.	Description	YYYY.MM.DD	By
REVISIONS:			

DRAWINGS MUST NOT BE SCALED
DRAWINGS TO BE READ IN CONJUNCTION WITH GENERAL NOTES AND O.B.C

All drawings and information shown on these drawings must be checked and verified on site prior to construction and fabrication of its components. Should existing conditions or services be found to vary from that indicated on the architectural drawings, the designer must be notified immediately. Unless specifically noted otherwise on the drawings no provision has been made in the design for condition occurring during construction. It shall be the responsibility of the contractor to provide all necessary bracing, shoring, sheet piling or other temporary supports, to safeguard all existing or adjacent structures affected by this work.

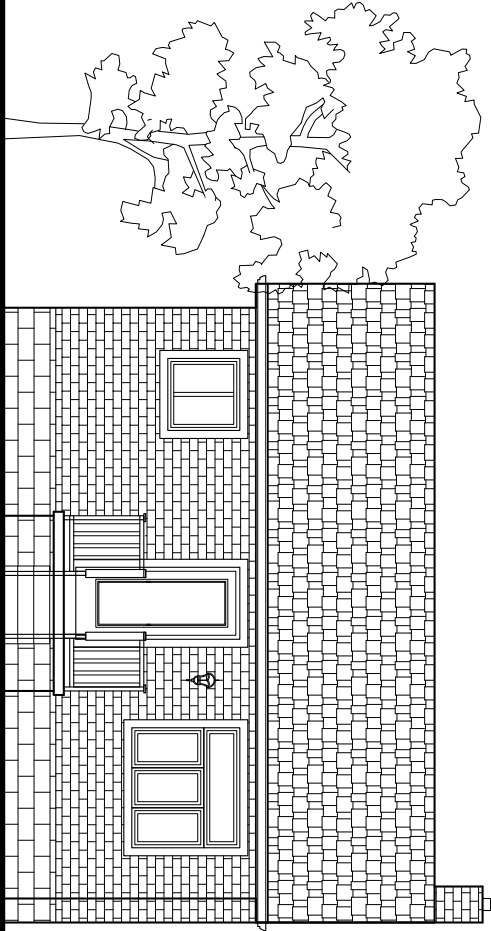
all dimensions are given in Imperial units unless otherwise indicated.



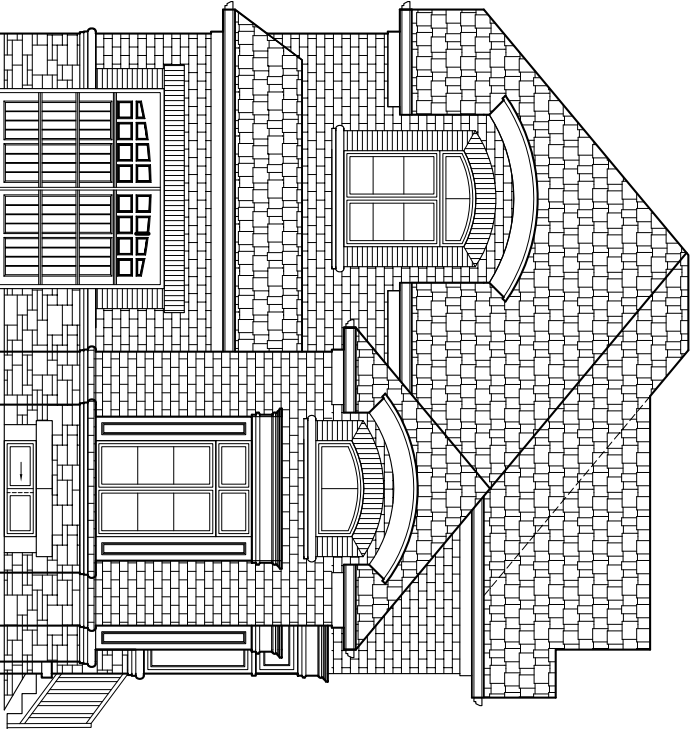
371 Strawberry Crest, Waterloo, Ont, N2K 3J3
T: 416.737.9413 E: john@jrhomedesigner.com
WWW.JRHOMEDSIGNER.COM

NORTH ARROW

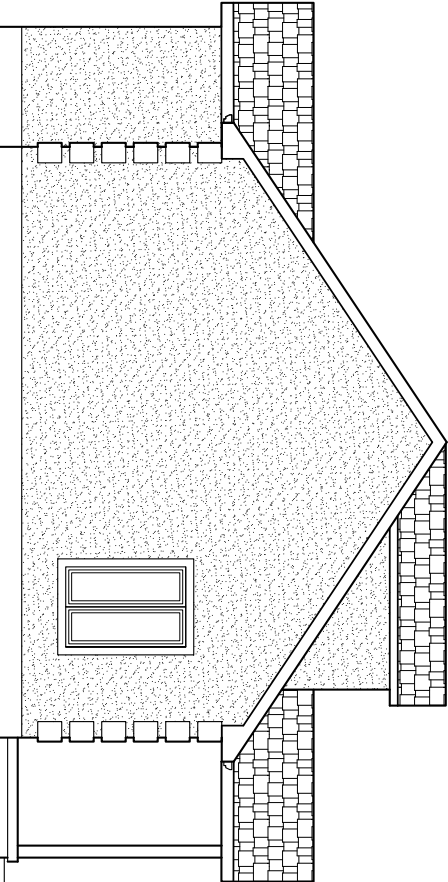




3077 CHURCHILL AVE



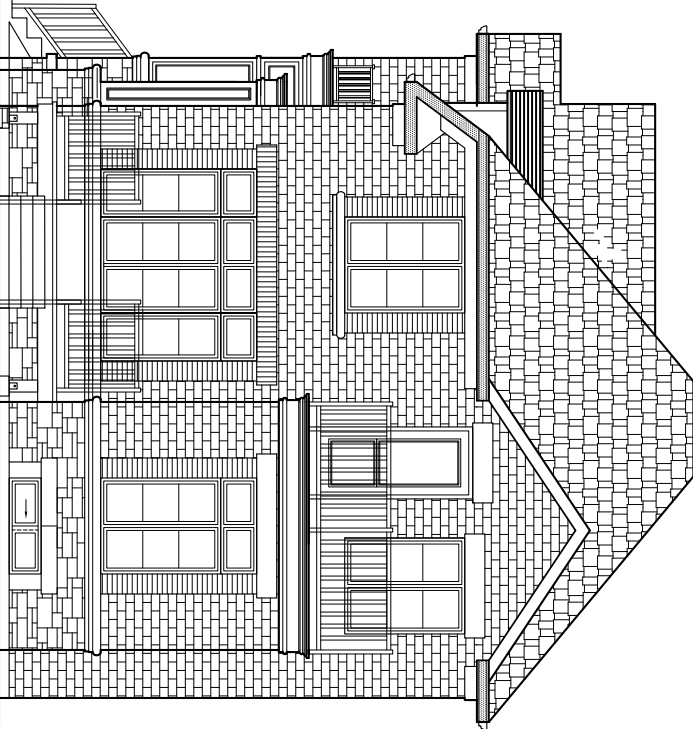
3075 CHURCHILL AVE



ADJACENT PROPERTY ON VICTORY CRESCENT
3072 MC NAUGHTON AVE (SIDE ELEVATION ON VICTORY CRESCENT)



PROPOSED DWELLING - VICTORY CRESCENT ELEVATION
3075 CHURCHILL AVE (SIDE ELEVATION ON VICTORY CRESCENT)



3075 CHURCHILL AVE (REAR ELEVATION)

PROJECT ADDRESS:	3075 CHURCHILL AVE MISSISSAUGA, ONTARIO
PROJECT TITLE:	NEW 2 STOREY HOUSE
DRAWING SHEET:	STREETSCAPE
DRAWN BY:	John Ramirez
CHECKED BY:	John Ramirez
SCALE:	1/8"=1'-0"

4.			
3.			
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No.	Description	YYYY.MM.DD	By
REVISIONS:			

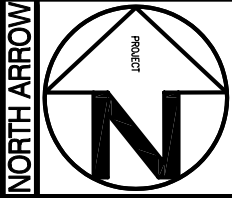
DRAWINGS MUST NOT BE SCALED
DRAWINGS TO BE READ IN CONJUNCTION WITH GENERAL NOTES AND O.B.C.

All drawings and information shown on these drawings must be checked and verified on site prior to construction and fabrication of its components. Should existing conditions or services be found to vary from that indicated on the architectural drawings, the designer must be notified immediately. Unless specifically noted otherwise on the drawings no provision has been made in the design for condition occurring during construction. It shall be the responsibility of the contractor to provide all necessary bracing, shoring, sheet piling or other temporary supports, to safeguard all existing or adjacent structures affected by this work.

all dimensions are given in Imperial units unless otherwise indicated.



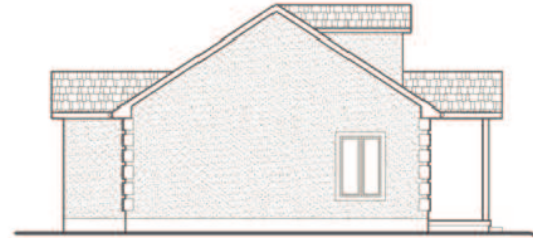
371 Strawberry Crest, Waterloo, Ont, N2K 3J3
T: 416.737.9413 E: john@jrhomedesigner.com
WWW.JRHOMEDESIGNER.COM





3078 CHURCHILL AVE (SIDE ELEVATION ON VICTORY CREST)

PROPOSED DWELLING



3072 Mc NAUGHTON AVE (SIDE ELEVATION ON VICTORY CREST)



KEY MAP:

DRAWINGS MUST NOT BE SCALED
DRAWINGS TO BE READ IN CONJUNCTION WITH GENERAL NOTES AND O.B.C

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all dimensions are given in imperial units unless otherwise indicated.

Note:



EAST ELEVATION (CHURCHILL AVE)

WEST ELEVATION

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No.	Description	YYYY.MM.DD	By
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REVISIONS

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION

JOHN RAMIREZ		32125
NAME	SIGNATURE	BCIN
REGISTRATION INFORMATION		39562
JR DESIGN + CONSTRUCTION		BCIN

COMPANY NAME:



371 Strawberry Crest, Waterloo, ON N2K 3J3
T: 416.737.9413 E: john@jrhomedesigner.com
www.jrhomedesigner.com

PROJECT ADDRESS: **3075 CHURCHILL AVE**
TORONTO, ONTARIO

PROJECT TITLE: **NEW 2 STOREY HOUSE**

DRAWING SHEET: **EAST & WEST ELEVATION**

Scale: **1/4"=1'-0"**

Drawn By: **JOHN RAMIREZ** Checked By: **JOHN RAMIREZ**

Page Number



KEY MAP:

3075 CHURCHILL AVE

DRAWINGS MUST NOT BE SCALED
DRAWINGS TO BE READ IN CONJUNCTION WITH GENERAL
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all dimensions are given in imperial units unless otherwise indicated.

Note:



NORTH ELEVATION (VICTORY CRESCENT)

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No.	Description	YYYY.MM.DD	By
REVISIONS			

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jr DESIGN + CONSTRUCTION
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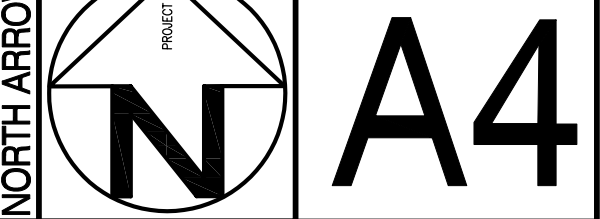
PROJECT TITLE: **NEW 2 STOREY HOUSE**

DRAWING SHEET: **NORTH ELEVATION (VICTORY CRESCENT)**

Scale: **1/4"=1'-0"**

Drawn By: **JOHN RAMIREZ** Checked By: **JOHN RAMIREZ**

Page Number





SOUTH ELEVATION

KEY MAP:

DRAWINGS MUST NOT BE SCALED
DRAWINGS TO BE READ IN CONJUNCTION WITH GENERAL
NOTES AND O.B.C

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all dimensions are given in imperial units unless otherwise indicated.

Note:

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No.	Description	YYYY.MM.DD	By
REVISIONS			

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QUALIFICATION INFORMATION

JOHN RAMIREZ		32125
NAME	SIGNATURE	BCIN
REGISTRATION INFORMATION		39562
JR DESIGN + CONSTRUCTION		BCIN

COMPANY NAME:

jr DESIGN + CONSTRUCTION

371 Strawberry Crest, Waterloo, ON N2K 3J3
T: 416.737.9413 E: john@jrhomedesigner.com
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PROJECT ADDRESS: **3075 CHURCHILL AVE**
TORONTO, ONTARIO

PROJECT TITLE: **NEW 2 STOREY HOUSE**

DRAWING SHEET: **SOUTH ELEVATION**

Scale: **1/4"=1'-0"**

Drawn By: **JOHN RAMIREZ** Checked By: **JOHN RAMIREZ**

Page Number

NORTH ARROW

N

A6

City of Mississauga
Corporate Report



Date: 2018/06/14

To: Chair and Members of Heritage Advisory Committee

From: Paul Mitcham, P. Eng, MBA, Commissioner of
 Community Services

Originator's files:

Meeting date:
 2018/07/10

Subject

Request to Demolish a Heritage Listed Property: 3274 Mississauga Road (Ward 8)

Recommendation

That the property at 3274 Mississauga Road, which is listed on the City's Heritage Register, is not worthy of heritage designation, and consequently, that the owner's request to demolish proceed through the applicable process as per the Corporate Report from the Commissioner of Community Services dated June 14, 2018.

Background

Section 27.3 of the Ontario Heritage Act states that structures or buildings on property listed on the City's Heritage Register cannot be removed or demolished without at least 60 days' notice to Council. This legislation allows time for Council to review the property's cultural heritage value to determine if the property merits designation.

The owner of the subject property has submitted a heritage permit application to demolish and replace the existing structure. The subject property is listed on the City's Heritage Register as it forms part of the Mississauga Road Scenic Route cultural landscape. This cultural landscape is significant due to its scenic and visual quality as the road traverses a variety of topography and land use, from old established residential neighbourhoods to new industrial and commercial uses. Its landscape is of archaeological, design, technological interest as well as having historical interest and associations, illustrating important phases of Mississauga's history and displaying a consistent scale of built features.

The landscaping, urban design and conservation authority related aspects will be reviewed as part of the Site Plan review process to ensure the project respects the character of the surrounding community.

Comments

The owner of the subject property has requested permission to demolish the existing structure. The applicant has provided a Heritage Impact Assessment, attached as Appendix 1. The consultant has concluded that the structure at 3274 Mississauga Road is not worthy of designation. Staff concurs with this finding.

Financial Impact

There is no financial impact.

Conclusion

The owner of 3274 Mississauga Road has requested permission to demolish a structure on a property that is listed on the City's Heritage Register. The applicant has submitted a documentation report which provides information which does not support the building's merit for designation under the Ontario Heritage Act. Staff concurs with this finding.

Attachments

Appendix 1: Heritage Impact Assessment 3274 Mississauga Road Mississauga, Ontario



Paul Mitcham, P. Eng, MBA, Commissioner of Community Services

Prepared by: Paula Wubbenhorst, Heritage Planner



HERITAGE IMPACT ASSESSMENT

3274 MISSISSAUGA ROAD

MISSISSAUGA, ONTARIO

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2.2	Complete listing and full written description of property
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	building materials
	building elements
	architectural and interior finishes,
	natural heritage elements
	landscaping
	archaeological resources
2.2.2	Chronological history of the property
2.2.3	Conclusions regarding the significance and heritage attributes
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- 3.1 Attributes of the cultural heritage resource
- 3.2 Impact on the cultural heritage resource
- 3.3 Mitigation measures
- 3.4 Why conservation or mitigative measures are not appropriate

4.0 Recommendation

- 4.1 Regulation 9/06, Ontario Heritage Act
 - 4.1.1 Does the property meet the criteria for designation
 - 4.1.2 Provincial Policy Statement - 2014

5.0 Qualifications

- 5.1 Author
- 5.2 References

1.0**GENERAL INFORMATION****Name(s)****1.11 Historic Place Name**

- none

Recognition**1.21 Authority**

- City of Mississauga

1.22 Inventory Code

- #1 (Mississauga Road Scenic Route)

Location**1.31 Address**

- 3274 Mississauga Road

1.32 Postal Code

- L5L 1J4

1.33 Lower Tier

- City of Mississauga

Coordinates**1.41 Latitude**

- 43° 27' 27.0" north

1.42 Longitude

- 79° 40' 4.0" west

Boundaries**1.51 Lot**

- Credit Indian Reserve, Range 2 NDS, part of Lot 3

1.52 Property Area

- 1,767.18 m²

1.53 Depth

- 52.78 m

Zoning**1.61 Zoning**

- R1

1.62 Status

- listed, but not designated

2.0

GENERAL REQUIREMENTS

2.1 Detailed site history

~1700 – Mississauga nation

February 28, 1820 – Crown

November 6, 1821 – John Beverley Robinson

July 10, 1829 – John Carey

June 18, 1857 – Catherine Carey

June 2, 1877 – Charles Banning

October 6, 1904 – William George Conover

September 8, 1928 – Robert A. Cathcart, et ux

June 30, 1940 – Alverda and Bertha Morrison

May 27, 1949 – J. Ross and Naomi A. Cameron

August 11, 1967 – Otto Trembacz

May 16, 1973 – Aldo Fermani

March 20, 1974 – Michael J. and Emily D. Marcin

May 30, 1979 – Howard R.A. Montemurro

November 29, 1985 – Stjepan Kasuba

June 1, 2011 – Ammar Fedhel

current owner – name withheld, in compliance with the Freedom of Information and Protection of Privacy Act (R.S.O. 1990, c. F.31)

Owners of the Undeveloped Property

Mississauga Nation

When the British Crown purchased the “Mississauga Tract” from the councilors of the “Mississauga Nation of Indians” on August 2, 1805, the Mississauga Nation retained ownership of all land for 1.61 kilometres on both sides of the Credit River, which included the as-of-yet unsurveyed subject lot.

Crown

Through Treaty 22, the councilors of the Credit Mississaugas sold the 1805 reserve (less 82 hectare) to the British Crown on February 28, 1820. The subject property is part of this land sale.

In 1821, the Crown granted a portion of the Treaty 22 lands (including the subject property) to John Beverley Robinson (1791-1853) who, as solicitor general of Upper Canada was appointed by the Legislative Assembly to sell the Credit Indian Reserve lands. Robinson’s name appears on land registry records as the owner of the subject property, but he did not occupy this land. In lieu of salary, at a time when Upper Canada’s population was small (and as a result had too little revenue from property taxes to pay government officials) Robinson was granted permission to retain a portion of the money from the sale of the lands he was commissioned to sell.

A year after being granted the section of land for resale, Robinson (perhaps begrudgingly) sold a portion of his land grant (including the subject property) to John Carey (1780-1851). Carey was a recent arrival to Upper Canada and an early accuser against the solicitor general. Carey felt that Robinson was part of a small

clique of appointed cronies, known as the Family Compact, who ruled the colony to their own financial interests, at the expense of the general public.

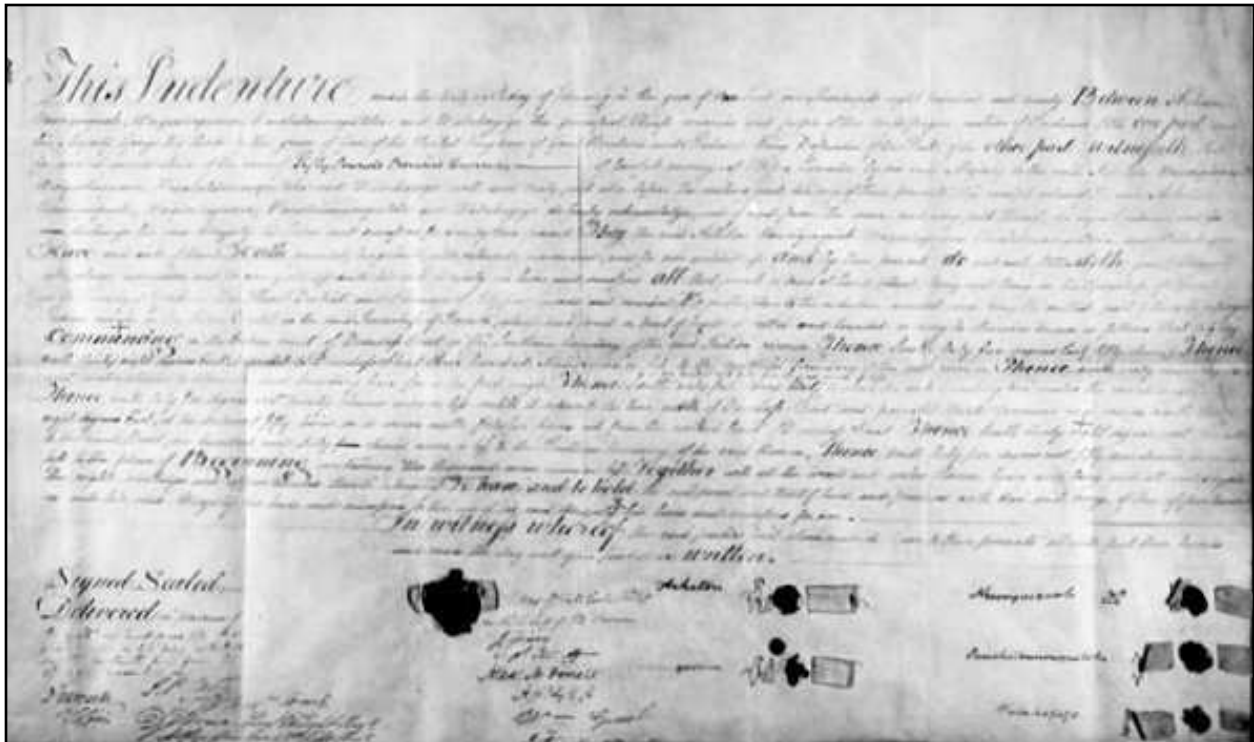
In any event, these two early landowners did not develop the subject property. Carey owned the subject property as part of a larger tract, but built his first home on another lot. At his death, the property was granted to his wife.

Although no residence was built on the subject property until June 1974, the property was in use as an orchard from at least 1877 (when an orchard appears in this area on the Walker and Miles map of Toronto Township) and probably earlier, when Carey owned the land.

The Property as a Residential Lot

The current residence at 3274 Mississauga Road was built in 1974. There have been five property owners since the date the home was built on the subject property for Michael and Emily Marcin.

The current property owner's name has been withheld, in his report.



Treaty 22, which transferred Lot 3, Range 2 NDS
from the Mississauga nation to the British crown.

2.2 Complete listing and full written description of property

2.2.1: Built forms

The subject property, 3274 Mississauga Road, is located on the west side of Mississauga Road, between Barchester Court to the south and Harkiss Road to the north. Barchester Road curves inward to the back of the subject property. The campus of University of Toronto Mississauga is located across Mississauga Road from the subject property.

The residence faces northward, on an angle from Mississauga Road, which runs northwesterly. The residence is approximately 38 metres inward from Mississauga Road.

There is a retaining wall of approximately 30 metres, at the rear of the property. There is also a small frame shed, without a foundation, to the west corner of the property.

Structures

There are two structures on the property. The larger of the two is the main residence. There is also a garage, which is situated perpendicular to the residence, and offset from it.

The residence is located on a steep incline; being one storey facing Mississauga Road, sloping to two storeys to the rear. The two-door garage is one storey. Both structures have a low-pitch, lengthwise gable roof. The residence has a long, low dormer extending from the peak of the gable eastward towards the front of the residence.

Building materials

Both structures have a white stucco exterior finish. Both structures have an asphalt shingle roof. A gravel stone driveway leads in a curving fashion from Mississauga Road to the front of the main residence and the detached garage.

Building elements

The main residence has a floor area of approximately 170 m², and was built in 1974. The garage is approximately 75 m² and, based on aerial photos, was built one year later.

Both structures have a rectangular plan, with no additions or annexes.

The windows on the east, north and west facades are generally small and narrow. There are larger windows on the west (rear) facade. There is a two-storey red-brick chimney to the rear (west) of the property and a raised, second-storey rear deck. There is almost no architectural adornment to either structure.

Architectural and interior finishes

See attached photos.

Natural elements

There are two bushes alongside the garage and driveway, and no trees on the front lawn of the property. There is one large tree and four smaller trees at the rear of the property.

Landscaping

There are no landscape elements on the property.

Archaeological Resources

No formal archaeological survey has been done on the property.

2.2.2: Chronological history of the property

Land registry records indicate that there was no permanent, occupiable building on the subject property until 1974, and this is confirmed from aerial photos dating back to 1935. From around 1877, when Walker and Miles issued their property map of the Township of Toronto, the subject property was cultivated by George Crozier. Apples and other soft fruits, like peaches and strawberries were a popular crop in Mississauga in the days before commercial refrigeration, when close proximity to the large consumer market in Toronto was essential to ensure that fruits could make it to market before they began to wilt. The Mississauga villages of Erindale and Clarkson claimed to be the Strawberry Capital of Canada.

The original property was surveyed in 1820, after the Crown purchased the Credit Indian Reserve from the Mississaugas. At this time it was identified as Lot 3 of Range 2 of the Racey Tract, North of Dundas Street. The tract was transferred from the Crown to Thomas Racey, who offered to build a mill on the adjacent lot to the south, Range 1, but failed to raise sufficient funds to complete the project. Robinson was commissioned to sell these undeveloped lots.

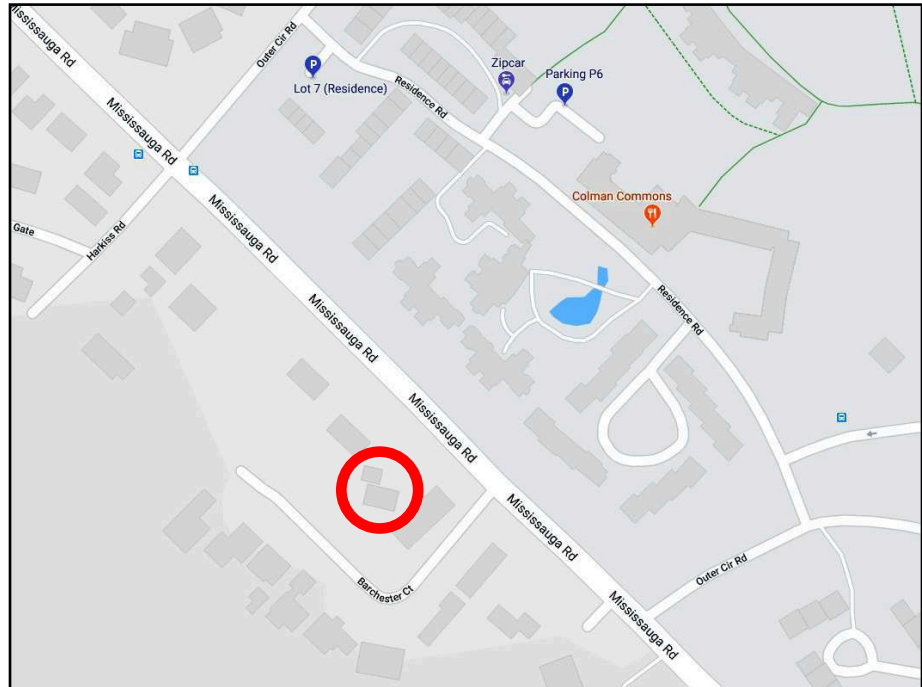
John Carey, who was a keeper of records for the Legislative Assembly in York (later Toronto) and later a newspaper publisher, purchased Lot 3 in 1829. It is likely that fruit growing commenced on this property, sometime in the 1830s or 1840s when Carey owned the property. The editorials in his newspaper, the *Upper Canada Observer*, frequently promoted the farms in this area as the finest in the colony.

Lot 3 was subdivided between May and August 1974, with a portion of this severed lot becoming the subject property. The subject property was sold in May 1974 to Michael J. and Emily D. Marcin, who had the current main residence built. There have been four property owners since then.

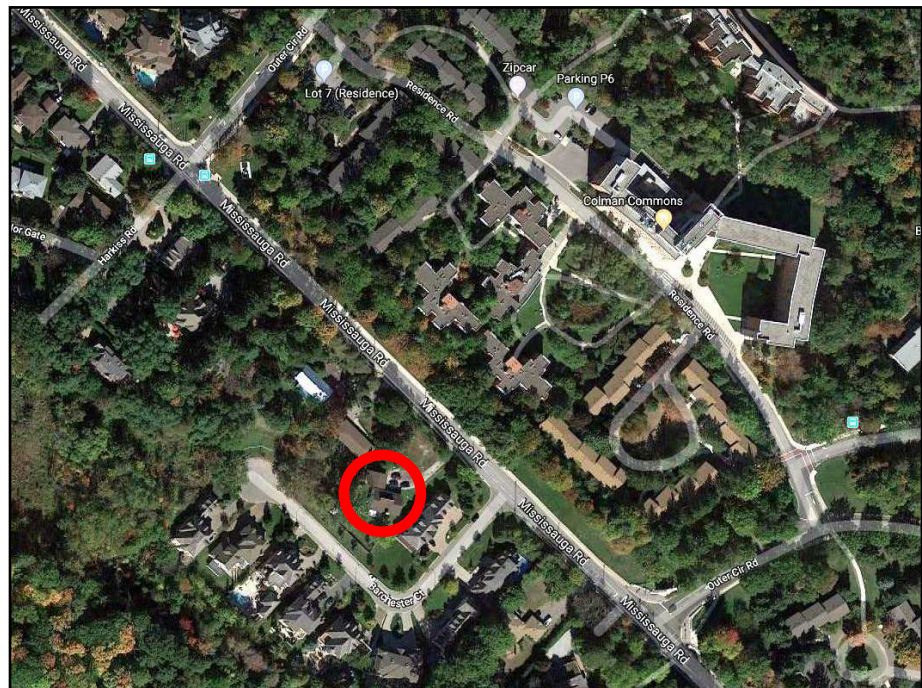
2.2.3: Conclusions regarding the significance and heritage attributes

The buildings on the subject property were built in 1974 and 1975, and as a result have no historical significance. The buildings are not architecturally unique, and do not display contextual significance.

2.2.4 Location maps



3274 Mississauga Road
(Google Maps)



3274 Mississauga Road
(Google Earth)

892	Co.S	29 July 1840	Aug 1854	John Irvine et al	Charles Mitchell	50	£1000	Wade
893	Co.	1 Aug		Charles Mitchell et al	John Irvine et al		£1000	Wade
8912	Co.L	28 July 1840	July 1854	John Irvine	Charles Mitchell		£1000	Wade
8913	Co.	1 Aug		Charles Mitchell et al	Sarah & Irvine		£1000	Wade
8914	Co.L	7 July 1840	July 1854	Charles & Irvine	Charles Mitchell		£1000	Wade
8915	Co.	1 Aug		Charles Mitchell et al	Charles Mitchell		£1000	Wade
8916	Co.L	1 Aug		Charles Mitchell	Charles & Irvine		£1000	Wade
8917	Co.	7 July 1840	July 1854	Charles Mitchell et al	Thomas Irvine		£1000	Wade
8918	Co.L	1 Aug		Charles Mitchell	Charles Mitchell		£1000	Wade
8919	Co.S	1 Aug		Charles Mitchell	Thomas Irvine		£1000	Wade
8920	Co.L	1 Aug		Charles Mitchell	Thomas Irvine		£1000	Wade
8921	Co.S	1 Aug		Charles Mitchell	Thomas Irvine		£1000	Wade
8922	Co.L	1 Aug		Charles Mitchell	Thomas Irvine		£1000	Wade
8923	Co.S	1 Aug		Charles Mitchell	Thomas Irvine		£1000	Wade
8924	Co.L	1 Aug		Charles Mitchell	Thomas Irvine		£1000	Wade
8925	Co.S	1 Aug		Charles Mitchell	Thomas Irvine		£1000	Wade
8926	Co.L	1 Aug		Charles Mitchell	Thomas Irvine		£1000	Wade
8927	Co.S	1 Aug		Charles Mitchell	Thomas Irvine		£1000	Wade
8928	Co.L	1 Aug		Charles Mitchell	Thomas Irvine		£1000	Wade
8929	Co.S	1 Aug		Charles Mitchell	Thomas Irvine		£1000	Wade
8930	Co.L	1 Aug		Charles Mitchell	Thomas Irvine		£1000	Wade
8931	Co.S	1 Aug		Charles Mitchell	Thomas Irvine		£1000	Wade
8932	Co.L	1 Aug		Charles Mitchell	Thomas Irvine		£1000	Wade
8933	Co.S	1 Aug		Charles Mitchell	Thomas Irvine		£1000	Wade
8934	Co.L	1 Aug		Charles Mitchell	Thomas Irvine		£1000	Wade
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8941	Co.S	1 Aug		Charles Mitchell	Thomas Irvine		£1000	Wade
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8948	Co.L	1 Aug		Charles Mitchell	Thomas Irvine		£1000	Wade
8949	Co.S	1 Aug		Charles Mitchell	Thomas Irvine		£1000	Wade
8950	Co.L	1 Aug		Charles Mitchell	Thomas Irvine		£1000	Wade
8951	Co.S	1 Aug		Charles Mitchell	Thomas Irvine		£1000	Wade
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8954	Co.L	1 Aug		Charles Mitchell	Thomas Irvine		£1000	Wade
8955	Co.S	1 Aug		Charles Mitchell	Thomas Irvine		£1000	Wade
8956	Co.L	1 Aug		Charles Mitchell	Thomas Irvine		£1000	Wade
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8958	Co.L	1 Aug		Charles Mitchell	Thomas Irvine		£1000	Wade
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8962	Co.L	1 Aug		Charles Mitchell	Thomas Irvine		£1000	Wade
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8964	Co.L	1 Aug		Charles Mitchell	Thomas Irvine		£1000	Wade
8965	Co.S	1 Aug		Charles Mitchell	Thomas Irvine		£1000	Wade
8966	Co.L	1 Aug		Charles Mitchell	Thomas Irvine		£1000	Wade
8967	Co.S	1 Aug		Charles Mitchell	Thomas Irvine		£1000	Wade
8968	Co.L	1 Aug		Charles Mitchell	Thomas Irvine		£1000	Wade
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8970	Co.L	1 Aug		Charles Mitchell	Thomas Irvine		£1000	Wade
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8972	Co.L	1 Aug		Charles Mitchell	Thomas Irvine		£1000	Wade
8973	Co.S	1 Aug		Charles Mitchell	Thomas Irvine		£1000	Wade
8974	Co.L	1 Aug		Charles Mitchell	Thomas Irvine		£1000	Wade
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8984	Co.L	1 Aug		Charles Mitchell	Thomas Irvine		£1000	Wade
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8986	Co.L	1 Aug		Charles Mitchell	Thomas Irvine		£1000	Wade
8987	Co.S	1 Aug		Charles Mitchell	Thomas Irvine		£1000	Wade
8988	Co.L	1 Aug		Charles Mitchell	Thomas Irvine		£1000	Wade
8989	Co.S	1 Aug		Charles Mitchell	Thomas Irvine		£1000	Wade
8990	Co.L	1 Aug		Charles Mitchell	Thomas Irvine		£1000	Wade
8991	Co.S	1 Aug		Charles Mitchell	Thomas Irvine		£1000	Wade
8992	Co.L	1 Aug		Charles Mitchell	Thomas Irvine		£1000	Wade
8993	Co.S	1 Aug		Charles Mitchell	Thomas Irvine		£1000	Wade
8994	Co.L	1 Aug		Charles Mitchell	Thomas Irvine		£1000	Wade
8995	Co.S	1 Aug		Charles Mitchell	Thomas Irvine		£1000	Wade
8996	Co.L	1 Aug		Charles Mitchell	Thomas Irvine		£1000	Wade
8997	Co.S	1 Aug		Charles Mitchell	Thomas Irvine		£1000	Wade
8998	Co.L	1 Aug		Charles Mitchell	Thomas Irvine		£1000	Wade
8999	Co.S	1 Aug		Charles Mitchell	Thomas Irvine		£1000	Wade
9000	Co.L	1 Aug		Charles Mitchell	Thomas Irvine		£1000	Wade

Land registry abstract 1.

TOWNSHIP OF TORONTO									
Lot No. 3 In the Boney Tract C.I.R. SECOND RANGE CAROLTON N.D.S.									
No. of Instrument	Instrument	No Date	Date of Registration	GRANTOR	GRANTEE	Consideration or Amount of Mortgage	REMARKS		
367	B.S.	1 Oct 1869	6 Oct 1869	John Hadley et ux	Charles Bannan	\$250.00	1 ac.		
781	Q.C.	20 Apr 1871	11 May 1871	Thomas McGill et ux et al	Elliott Sproule	5.00	1/2 ac and O.L.		
943	B.S.	4 Apr 1872	6 Apr 1872	John Delaney et ux	James Walsh	120.00	1 ac.		
1052	B.S.	17 Oct 1872	21 Oct 1872	Catherine Crozier et al	John Delaney	90.00	1 1/2 ac. and O.L.		
1271	Will	1 Aug 1873	3 Nov 1873	Robert McCutcheon	Mary McCutcheon et al		1 ac.		
1536	Will	9 Jul 1876	23 Nov 1874	Catherine Crozier	Elizabeth Bright et al		and O.L.		
1735	B.S.	14 Jun 1875	8 Oct 1875	Sarah Kirby	C. Clark	70.00	Part		
2217	B.S.	31 May 1877	2 Jun 1877	George Crozier	Charles Banning	324.00	Part 5 ac. 2/3 (Described as part Lot 3, Range 1, but by notes and bounds appears to affect Range 2)		
2892		24 Nov 1879	28 Nov 1879	Charles Banning et ux	Hardy Baskerville	300.00			
3991	B.M.	7 Sep 1883	8 Sep 1883	Hardy Baskerville	Charles Banning		Discharge, No. 2392		
5339	Will	6 Apr 1885	8 Apr 1885	James Walsh	Edward McDonnell		1 ac.		
5424	B.S.	18 Sep 1885	19 Sep 1885	Ed. McDonnell	Joanna Banning	175.00	1 ac. and O.L.		
5647	B.S.	8 Apr 1886	10 Apr 1886	Elliott Sproule et ux	John McGill	7100.00	1/2 ac. and O.L.		
9218	Will & 13 Feb 1896	18 Aug 1896		Cornelius Clark	Elizabeth Mulrain		1 ac. Subject to bequest of \$200. to Ann Morris		
9219	B.S.	17 Aug 1896	18 Aug 1896	Elizabeth Mulrain et al	Ann Morris	500.00	1 ac.		
9814	B.S.	30 Nov 1898	3 Dec 1898	John Delaney (widower)	Ida L. Readman	350.00	1 1/2 ac.		
10539	B.S.	4 Jun 1901	14 Jun 1901	John M. O'Neill	John T. O'Neill	750.00	1/2 ac.		
10839	Q.C.	21 Jun 1902	28 Jun 1902	James S. Sprowl et ux	John McGill	1.00	Part as described in deed from Geo. Crozier to one Jas. McGill 28th Nov. 1853		
11674	B.S.	30 Sep 1904	6 Oct 1904	Charles Banning et ux	John G. Conover	700.00	Part and O.L.		

Land registry abstract 2.

943	B.S.	4 Apr1872 6 Apr1872	John Delaney et ux	James Walsh	120.00	1 ac.	
1052	B.S.	17Oct1872 21Oct1872	Catherine Crozier et al	John Delaney	90.00	1½ ac. and O.L.	
1271	Will	1 Aug1873 3 Nov1873	Robert McDutcheon	Mary McDutcheon et al		1 ac.	
1536	Will	9 Jul1856 23Nov1874	Catherine Crozier	Elizabeth Bright et al		and O.L.	
1735	B.S.	14Jun1875 8 Oct1875	Sarah Kirby	C. Clark	70.00	Part	
2217	B.S.	31May1877 2 Jun1877	George Crozier	Charles Manning	324.00	Part 5 ac. 2½ ac. (described as part Lot 3, Range 1, but by notes and bounds appears to affect Range 2)	
2592	B.S.	24Nov1879 28Nov1879	Charles Manning et ux	Hardy Baskerville	300.00	W.S.Rd. 800	
2971	D.M.	7 Sep1881 8 Sep1881	Hardy Baskerville	Charles Manning	Discharge No. 2592	W.S.Rd. 800	
5339	Will	6 Apr1885 8 Apr1885	James Walsh	Edward McDonnell		1 ac. W.S.Rd.	
5424	B.S.	18Sep1885 19Sep1885	Ed. McDonnell	Joanna Manning	175.00	1 ac. and O.L. W.S.Rd.	
5647	B.S.	8 Apr1886 10Apr1886	Elliott Sproule et ux	John McGill	7100.00	½ ac. and O.L. E.S.Rd.	
9218	Will & Codicil	13Feb1896 18Aug1896	Cornelius Clark	Elizabeth Mulrain		1 ac. Subject to bequest of \$200. to Ann Morris	W.S.Rd.
9219	B.S.	17Aug1896 18Aug1896	Elizabeth Mulrain et al	Ann Morris	500.00	1 ac. W.S.Rd.	
			Executors				
9814	B.S.	30Nov1898 3 Dec1898	John Delaney (widower)	Ida L. Readman	350.00	1½ ac. W.S.Rd.	
10539	B.S.	4 Jun1901 14Jun1901	John M. O'Neil	John T. O'Neil	750.00	Ely. 11 ac. W.S.Rd.	
10839	Q.C.	21Jun1902 28Jun1902	James S. Sprowl et ux	John McGill	1.00	Part as described in deed from Geo. Crozier to one Jas. McGill 28th Nov.1853 and O.L.	E.S.Rd.
11674	B.S.	30Sep1904 6 Oct1904	Charles Benning et ux	Wm. G. Conover	700.00	Part and O.L. 7½ ac. W.S.Rd.	
13060	B.S.	1 Jun1908 10Jun1908	Ida L. Readman	Rebecca M. Rice	500.00	1½ ac. W.S.Rd.	
14047	B.S.	13May1910 7 Jul1910	Rebecca M. Rice	Albert J. Forster	1400.00	1½ ac. W.S.Rd.	
18994	B.S.	12May1919 14May1919	Albert J. Forster et ux	Clarence J. Conover	1600.00	Part and O.L. W.S.Rd.	

TO BOOK "C"

Land registry abstract 3.

31613	Lease	23May1929 29May1929	Henry H. Adamson	Glenerin Farms Ltd.	pt 3½ ac	1.	pt & O.L.
31614	Grant	30Apr1929 29May1929	Henry H. Adamson	Glenerin Farms Ltd.	pt 3½	1901.00	pt & O.L.
31636	Q.C.Deed	30Apr1929 6Jun1929	George A. Brodie et ux	Glenerin Farms Ltd.	pt	1.eto	pts O.L. re right of way.
31654	Q.C.Deed	5Apr1929 7Jul1929	George A. Brodie et ux	Henry H. Adamson			pts O.L. re right of way.
31688	M.	20Feb1929 21Feb1929	George A. Brodie et ux	Donald E. Stewart	Not	17000.00	pt & O.L.
31982	Grant	2Aug1929 3Aug1929	George A. Brodie et ux	Glenerin Farms Ltd.	pt	1.eto	
31923	Grant	2Aug1929 3Aug1929	Kate L. Brodie	Glenerin Farms Ltd.	Not	1.eto	pt
31985	L.P.	7Aug1929 6Aug1929	H.R. Ivor (P)	George A. Brodie Kate L. Brodie & H.W. Evans Defts	Not	1.eto	pt & O.L.
33198	M.	10Oct1930 11Oct1930	Hance R. Ivor	Kathleen O'Brien	pt	1700.00	pt
33257	Deed	28Oct1930 29Oct1930	Donald E. Stewart	George A. Brodie	pt & O.L.		Discharge 31923
33258	Cert.	17Oct1930 29Oct1930	H.R. Ivor (P)	George A. Brodie et al(D)	pt & O.L.		vesting Instrument # 31925
33420	Grant & Lease	20Aug1930 20Dec1930	Glenerin Farms Ltd.	H.R. Ivor	2ac. 1.7/10	1.eto	pt
			TO BOOK "D"				
			Lot 3	Second Range North of Dundas Street			
25227	M.	1 Oct 1924 23 Oct 1924	Wm. G. Conover et ux	James G. Hare	1½	1000.00	pt & O.L. JUN 30 1933
25278	D.M.	26Sep1924 30Oct1924	Susan Orr	William J. Conover			DISCHARGED BY No. 2/222
26424	Grant	20Jul1925 20Jul1925	Wm. G. Conover & Gertrude E. Hare Exrs of Clarence J. Conover Deed	Walter G. Hare	1½	2500.00	pt DISCH. 16736 FEB 12 1935
26824	Grant	18Sep1925 31Oct1925	Walter G. Hare et ux	Frank Lamphier	1½	4000.00	pt
27031	Grant	17Jul1924 14Dec1925	Arthur M. Adamson et ux	Kate L. Brodie	pt	1.eto	pt & O.L.
28704	Grant	24Mar1927 31Mar1927	Mary R. Crozier admr of Arch C. Crozier & Arch. R. Crozier et al	William W. Evans & Mary T. Evans	pt	15000.00	& O.L.
29708	M.	10Aug1928 7Mar1929	William W. Evans & Mary T. Evans	Mary R. Crozier	pt	11000.00	& O.L. SEP 30 1933
			See Deposit 284				
30722	M.	31Aug1928 7Sep1928	Robert A. Cathcart et ux et al	Wm. G. Conover	pt 7½	2000.00	pt
30723	Grant	30Aug1928 8Sep1928	Wm. George Conover et ux	Robert A. Cathcart	pt	5500.00	pt joint tenants
30725	M.	31Aug1928 8Sep1928	Robert A. Cathcart et al	Alverda Morris	pt	2500.00	pt
31333	M.	10Jul1928 11Jul1928	George A. Brodie et ux	Donald E. Stewart et ux		17000.00	

continued on next page

Land registry abstract 4.

[illegible]

Land registry abstract 5.

[illegible]

Land registry abstract 6.

[illegible]

Land registry abstract 7.

[illegible]

Land registry abstract 8.

Land registry abstract 9.


Land registry abstract 10.

[illegible]

Land registry abstract 11.

[illegible]

Land registry abstract 12.

 LAND REGISTRY OFFICE #43 13388-0227 (L7) PAGE 1 OF 2 PREPARED FOR SW ON 2017/06/20 AT 09:46:05
* CERTIFIED IN ACCORDANCE WITH THE LAND TITLES ACT * SUBJECT TO RESERVATIONS IN CROWN GRANT *

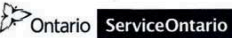
PROPERTY DESCRIPTION: PT LT 3 RANGE 2 NDS MISSISSAUGA AS IN R0735786, EXCEPT T/W THEREIN : MISSISSAUGA

PROPERTY REMARKS:
ESTATE QUALIFIER: RECENTLY: RE-ENTRY FROM 13388-0318
FEE SIMPLE
LT CONVERSION QUALIFIED
PIN CREATION DATE: 1999/01/25
OWNER'S NAMES: CARACITY SHARE ROWO

REG. NUM.	DATE	INSTRUMENT TYPE	AMOUNT	PARTIES FROM	PARTIES TO	CERT/CHRD
EFFECTIVE 2000/07/29 THE NOTATION OF THE "BLOCK IMPLEMENTATION DATE" OF 1996/12/23 ON THIS PIN **WAS REPLACED WITH THE "PIN CREATION DATE" OF 1999/01/25** ** PRINTOUT INCLUDES ALL DOCUMENT TYPES AND DELETED INSTRUMENTS SINCE 1999/01/25 ** **SUBJECT, ON FIRST REGISTRATION UNDER THE LAND TITLES ACT, TO: ** SUBSECTION 44(1) OF THE LAND TITLES ACT, EXCEPT PARAGRAPH 11, PARAGRAPH 14, PROVINCIAL SUCCESSION DUTIES * AND ESCHEATS OR FORFEITURE TO THE CROWN. ** THE RIGHTS OF ANY PERSON WHO WOULD, BUT FOR THE LAND TITLES ACT, BE ENTITLED TO THE LAND OR ANY PART OF IT THROUGH LENGTH OF ADVERSE POSSESSION, PRESCRIPTION, MISDESCRIPTION OR BOUNDARIES SETTLED BY CONVENTION. ** ANY LEASE TO WHICH THE SUBSECTION 70(2) OF THE REGISTRY ACT APPLIES. **DATE OF CONVERSION TO LAND TITLES: 1999/01/26 **						
R0735786	1985/11/29	TRANSFER		*** DELETED AGAINST THIS PROPERTY ***	KASUBA, STEFAN	
R01117506	1996/06/24	CHARGE		*** COMPLETELY DELETED ***	CANADA TRUSTCO MORTGAGE COMPANY	
PR2013600	2011/06/01	TRANSFER		*** COMPLETELY DELETED ***	KASUBA, STEFAN	
PR2013601	2011/06/01	CHARGE		*** COMPLETELY DELETED ***	FEDHEL, ANMAR	
PR2025524	2011/06/24	DISCH OF CHARGE		*** COMPLETELY DELETED ***	MCAP SERVICE CORPORATION	
REMARKS: R01117506.						

NOTE: ADJOINING PROPERTIES SHOULD BE INVESTIGATED TO ASCERTAIN DESCRIPTIVE INCONSISTENCIES, IF ANY, WITH DESCRIPTION REPRESENTED FOR THIS PROPERTY.
NOTE: ENSURE THAT YOUR PRINTOUT STATES THE TOTAL NUMBER OF PAGES AND THAT YOU HAVE PICKED THEM ALL UP.

Teranet abstract 1.

 LAND REGISTRY OFFICE #43 13388-0227 (L7) PAGE 2 OF 2 PREPARED FOR SW ON 2017/06/20 AT 09:46:05
* CERTIFIED IN ACCORDANCE WITH THE LAND TITLES ACT * SUBJECT TO RESERVATIONS IN CROWN GRANT *

REG. NUM.	DATE	INSTRUMENT TYPE	AMOUNT	PARTIES FROM	PARTIES TO	CERT/CHRD
PR3089284	2017/03/03	DISCH OF CHARGE		*** COMPLETELY DELETED ***		
REMARKS: PR2013601, MCAP SERVICE CORPORATION						
PR3112005	2017/04/19	TRANSFER	\$1,246,000	FEDHEL, ANMAR		C

NOTE: ADJOINING PROPERTIES SHOULD BE INVESTIGATED TO ASCERTAIN DESCRIPTIVE INCONSISTENCIES, IF ANY, WITH DESCRIPTION REPRESENTED FOR THIS PROPERTY.
NOTE: ENSURE THAT YOUR PRINTOUT STATES THE TOTAL NUMBER OF PAGES AND THAT YOU HAVE PICKED THEM ALL UP.

Teranet abstract 2.



*2016 aerial image.
(City of Mississauga I-Maps)*



*2016 solid fill image.
(City of Mississauga I-Maps)*

2.3.1 (a) Existing conditions related to the heritage resource



*Residence (north facade), left,
and garage (east facade).*



*Residence,
north (front) facade.*



*Residence,
east facade.*



*Residence (foreground),
and garage.*



*Residence,
south (rear facade)*



*Residence,
south (rear facade)*



*Residence (west facade), foreground
and garage (south facade).*



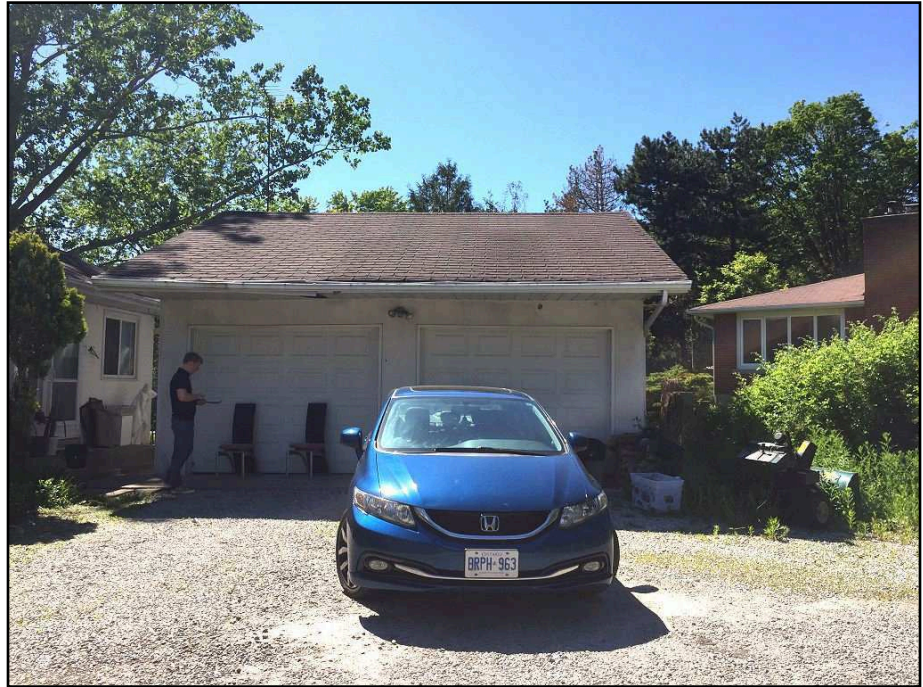
*Residence,
west facade.*



*Garage,
south facade.*



*Garage,
north and east (front) facades.*



*Garage,
east (front) facade.*



*Garage,
east (front) facade.*



Residence



*Residence (left)
and garage.*



*Existing elevation,
north.*



*Existing elevation,
south.*



*Existing elevation,
east.*



*Existing elevation,
west.*



*Existing garage elevation,
east.*



*Existing garage elevation,
west.*



*Existing garage elevation,
north.*



*Existing garage elevation,
south.*

[illegible]

2.3.5 Historical photos, drawings, or other archival material



Walker and Miles map, 1877



Aerial image, 1960
(City of Toronto archives)

2.4 Proposed development outline

Mississauga Road has had much residential infill development over the past decade. Generally this consists of large single family homes built in traditional style with complex elevations of brick and stone and highly articulated roofs featuring diverse gables, dormers and forms. The proposed building is very similar to many homes built recently along Mississauga Road and will blend seamlessly with them.

Architecturally, there is no specific character to the Mississauga Road Scenic Route other than variety. Homes along the road range from log cabins to mansions. There are a number of large residences along Mississauga Road between Port Credit and Erindale, ranging from the Depression era (J.P. Bickell house and Oak Ridge Farm; now Felician Sisters convent) to homes built in this century. Near the subject property, modern homes sit side-by-side with circa 1850 farmhouses like 3509 and 4034 Mississauga Road. There are institutional buildings (S.S. #4 Erindale schoolhouse; now UTM Alumni Hall) and retail stores (through Streetsville) along the scenic route.

It is more characteristic of the Mississauga Road Scenic Route Cultural Landscape that a new development along it retain a deep setback from the road, like most residences along Mississauga Road between Dundas Street and Eglinton Avenue, and to retain the existing terrain and trees.

2.5 Architectural drawings

See pages 52 to 59.

2.6 Alternative development options/mitigation measures

As clarified in Section 4 of this report, the current structures on the subject property have no heritage significance. Mitigation measures, in this respect, are not applicable. In regard to the property, the setback from the road and the trees are more consistent with the Mississauga Road Scenic Road cultural landscape and will be preserved in the new development.

2.7 A summary of conservation principles

As per Section 2.6

2.8 Loss of cultural heritage value interests and impact on the streetscape

As per Section 2.6

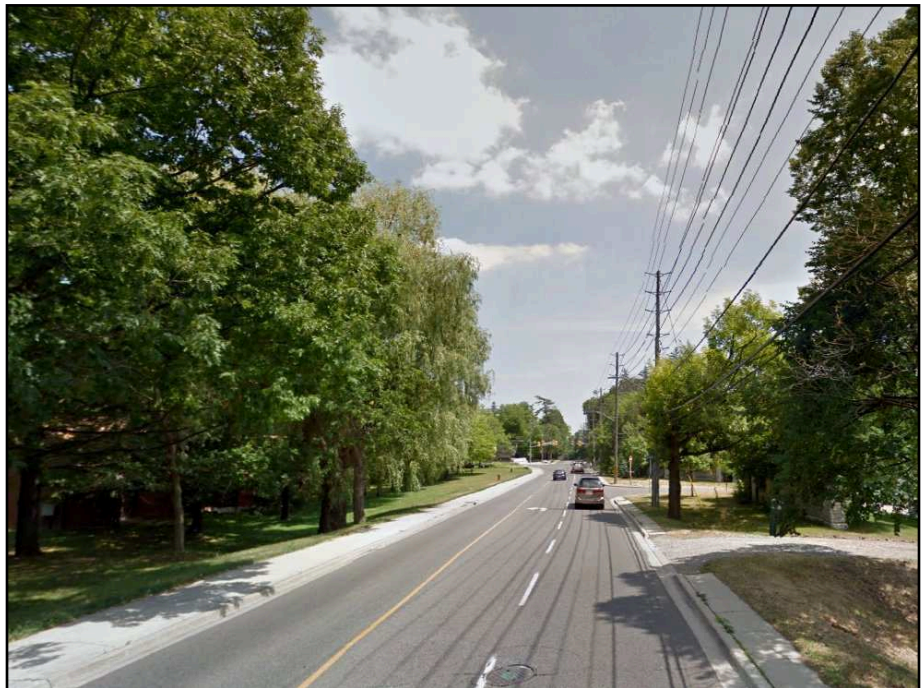
2.9 Salvage mitigation

As per Section 2.6

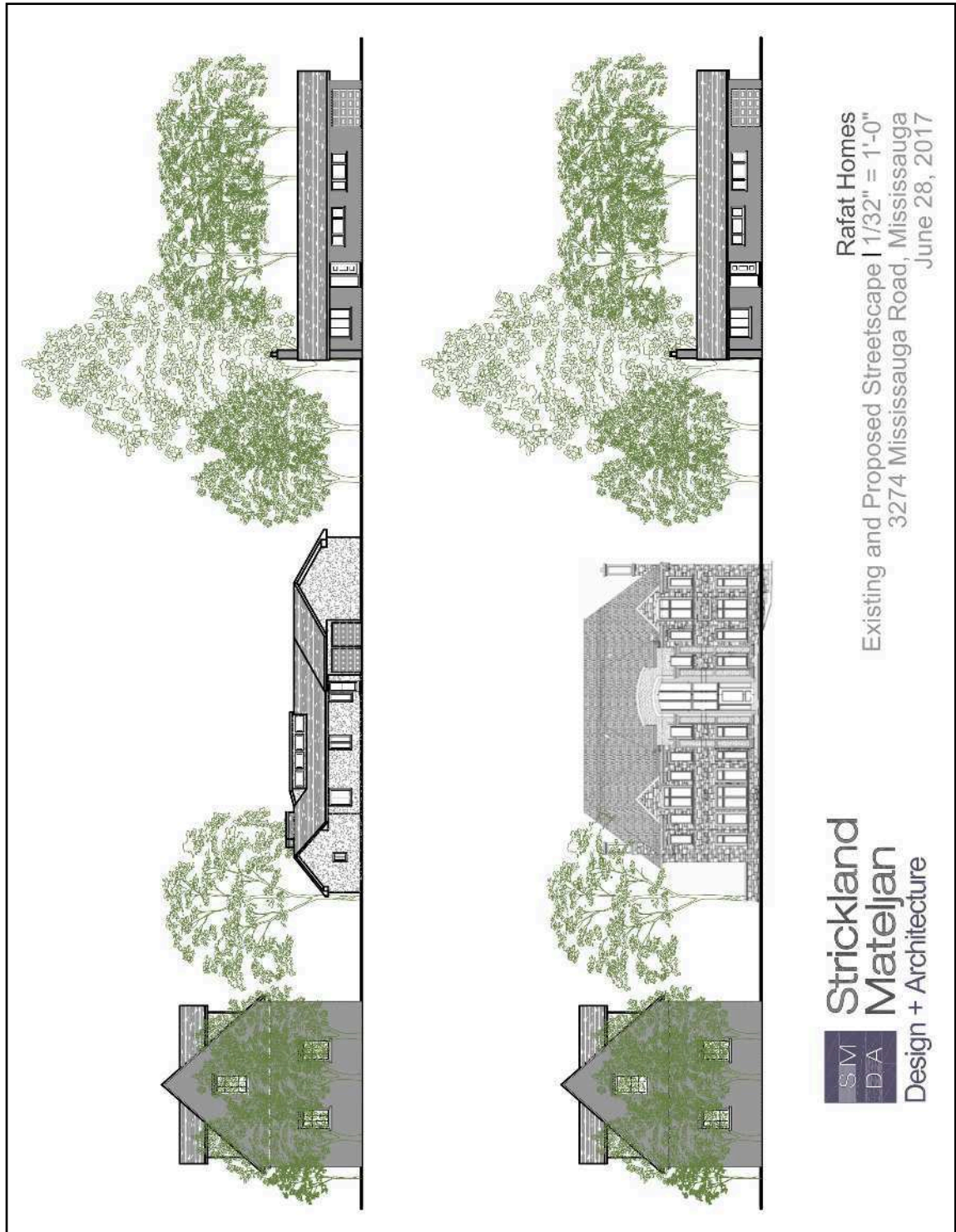
2.4.4 Streetscape



*Mississauga Road,
looking north.*



*Mississauga Road,
looking south.*



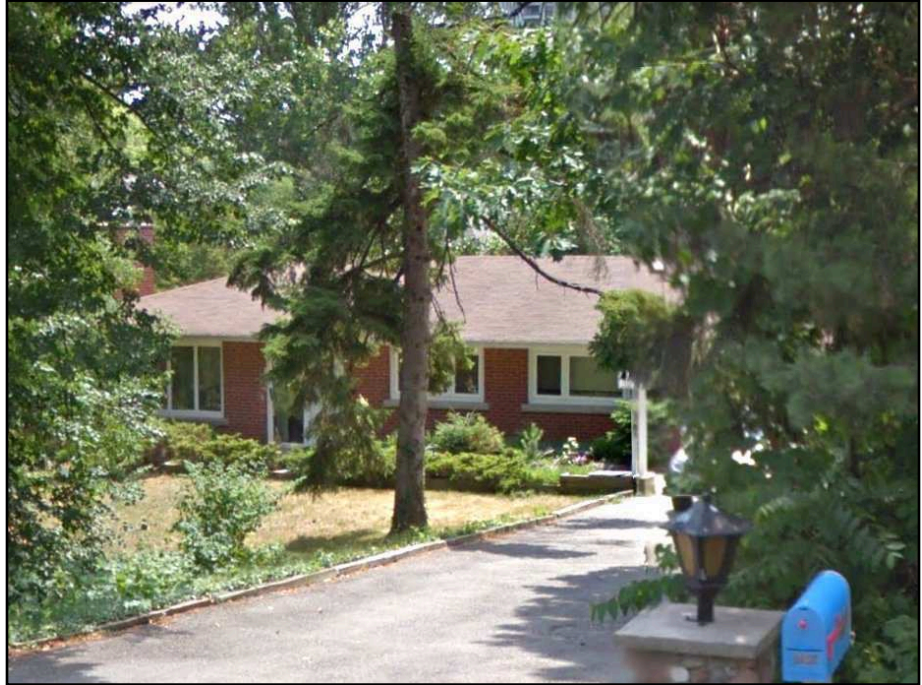
Existing streetscape.

Proposed streetscape.

**Strickland
Mateljan**
Design + Architecture

Rafat Homes
Existing and Proposed Streetscape | 1/32" = 1'-0"
3274 Mississauga Road, Mississauga
June 28, 2017

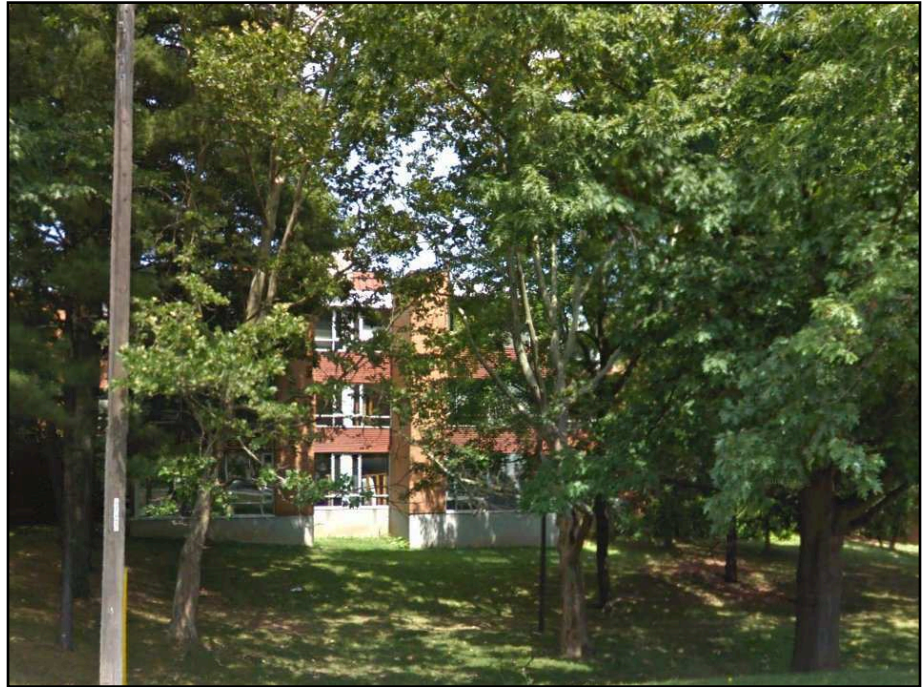
2.4.1 Neighbouring properties



*Property north of the subject property.
3284 Mississauga Road.*



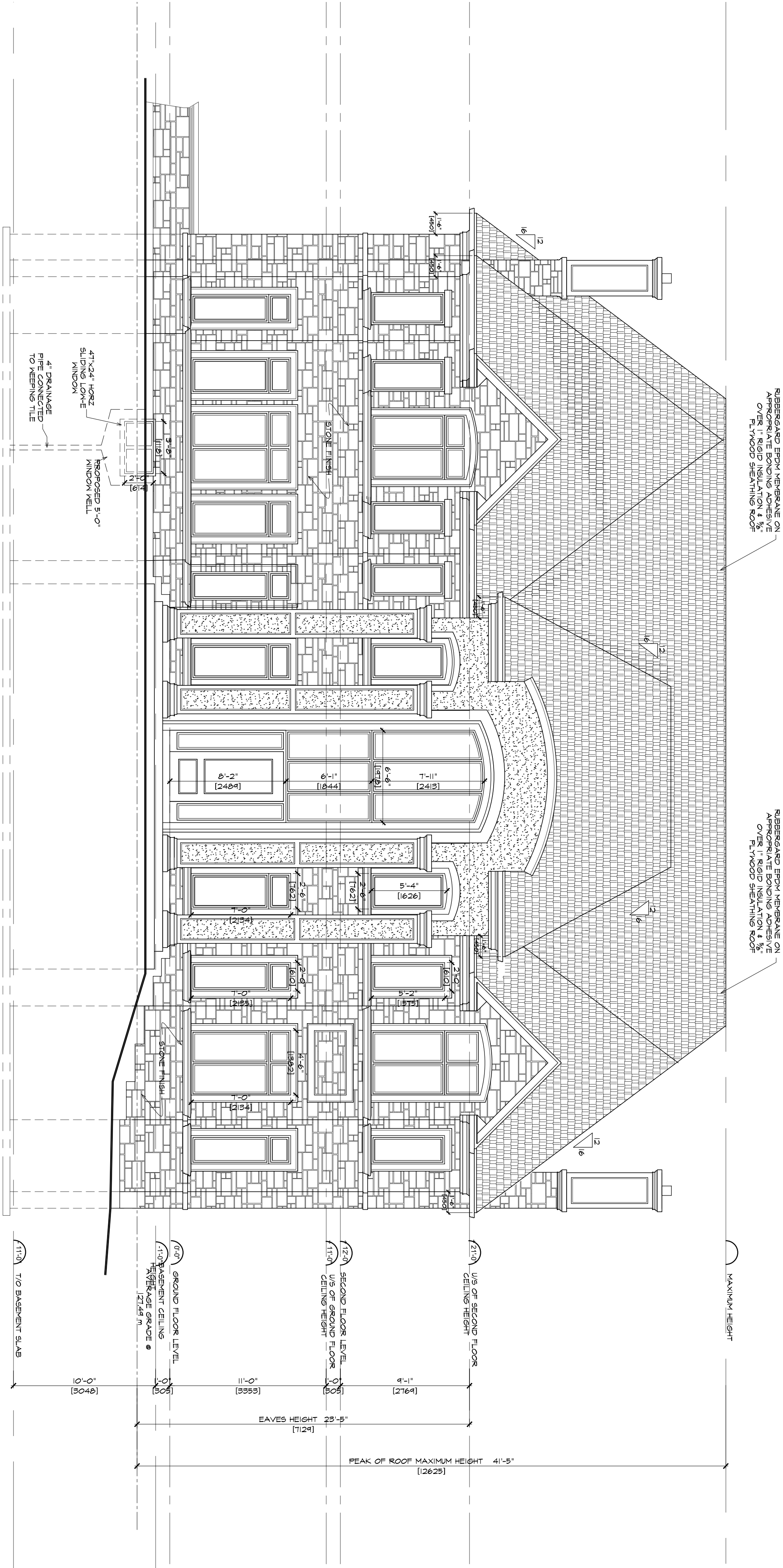
*Property south of the subject property.
3241 Barchester Court.*



*Property across the street from the subject property.
3330 Mississauga Road: McLuhan Court Residence, UTM.*

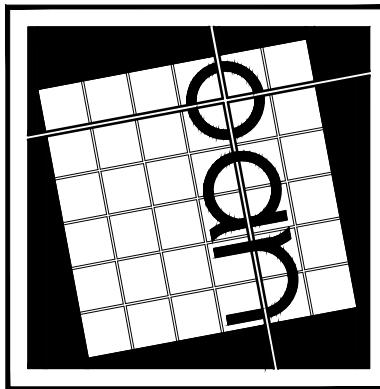
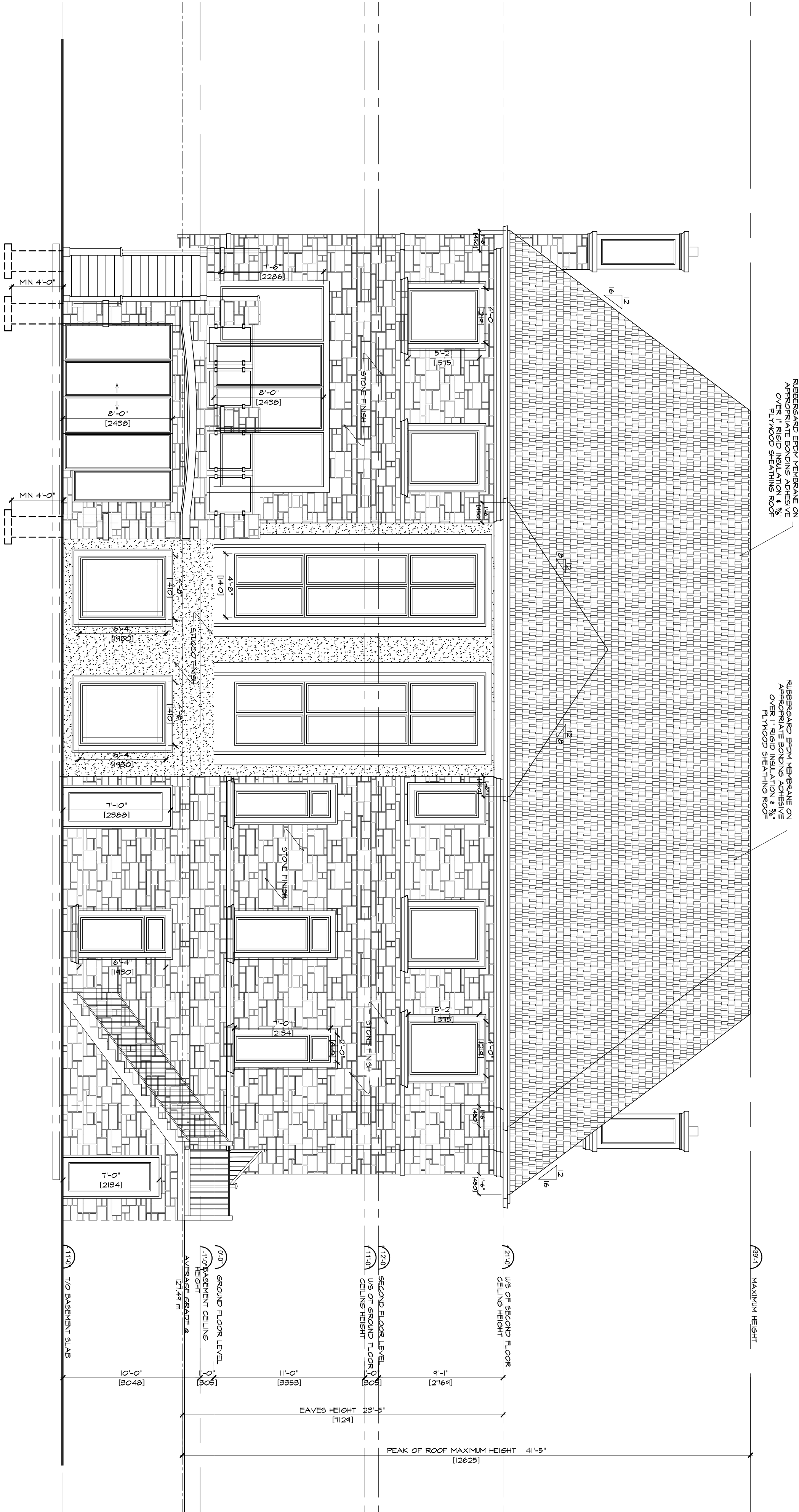
FRONT ELEVATION

SCALE: 1/4"=1'-0"



REAR ELEVATION

SCALE: 1/4"=1'-0"



architect
OSAMA ABO NASSAR

22 HELLEMS AVE.
WELLAND, ONTARIO
L3B 3A7

TEL: 289-407-0701 FAX: 905-321-1784
E-mail: oanarchitect@rogers.com

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1	OCT 30, 2017	Issued for Building Permit

3274
Mississauga Rd.

3274 Mississauga Rd.
Mississauga ONTARIO

SCALE: AS NOTED

DRAWING:

MAIN &
REAR
ELEVATIONS

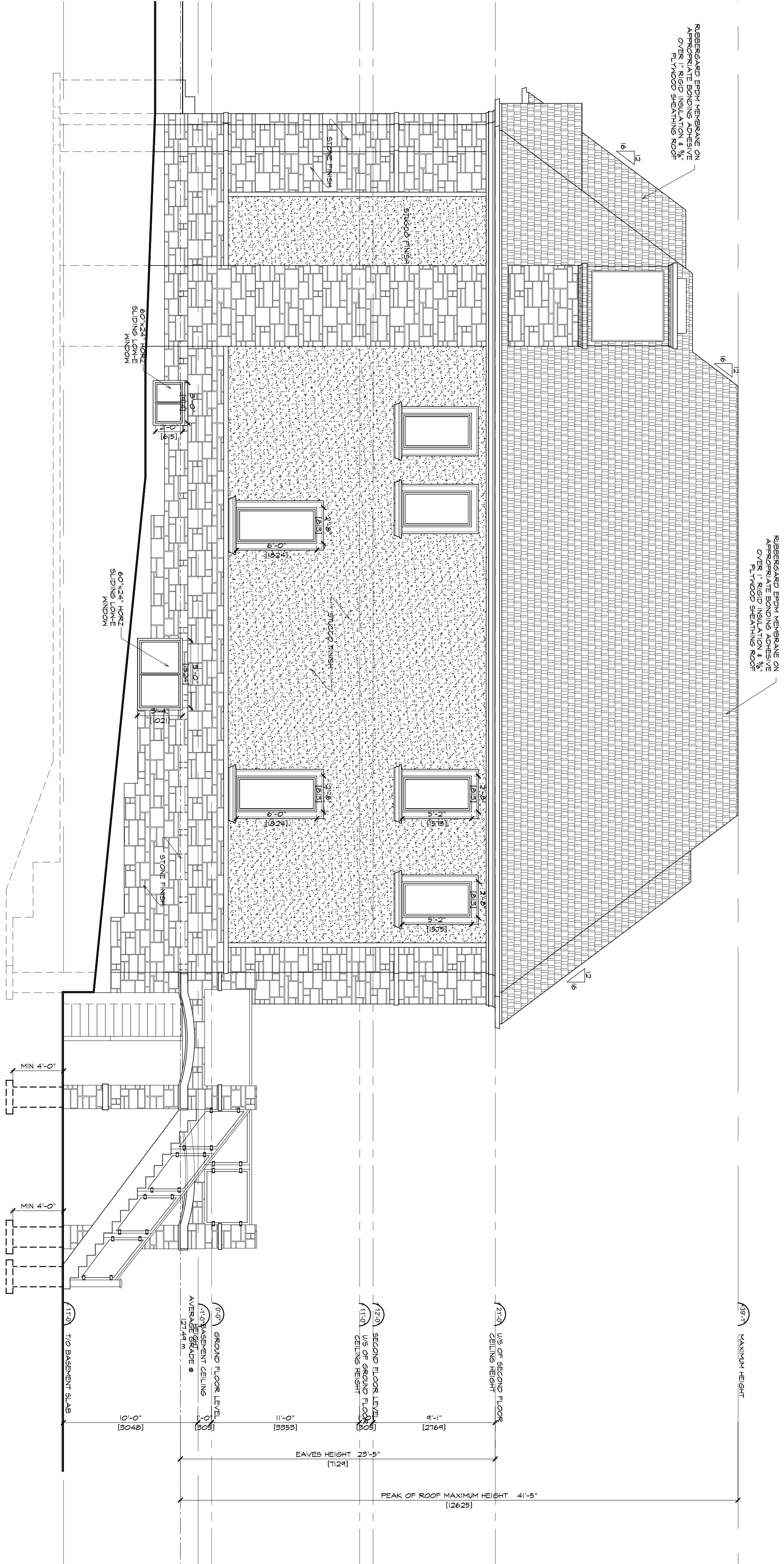


DATE: SEP 2017
DESIGN: OAN
DRAFTING: AB
PROJ. NO.: 17 - 64

A-06

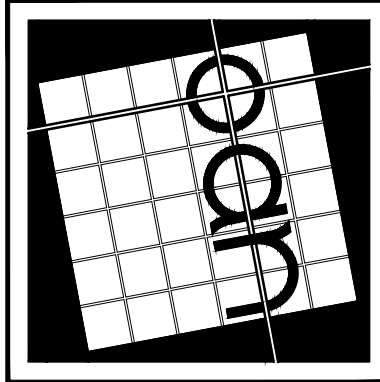
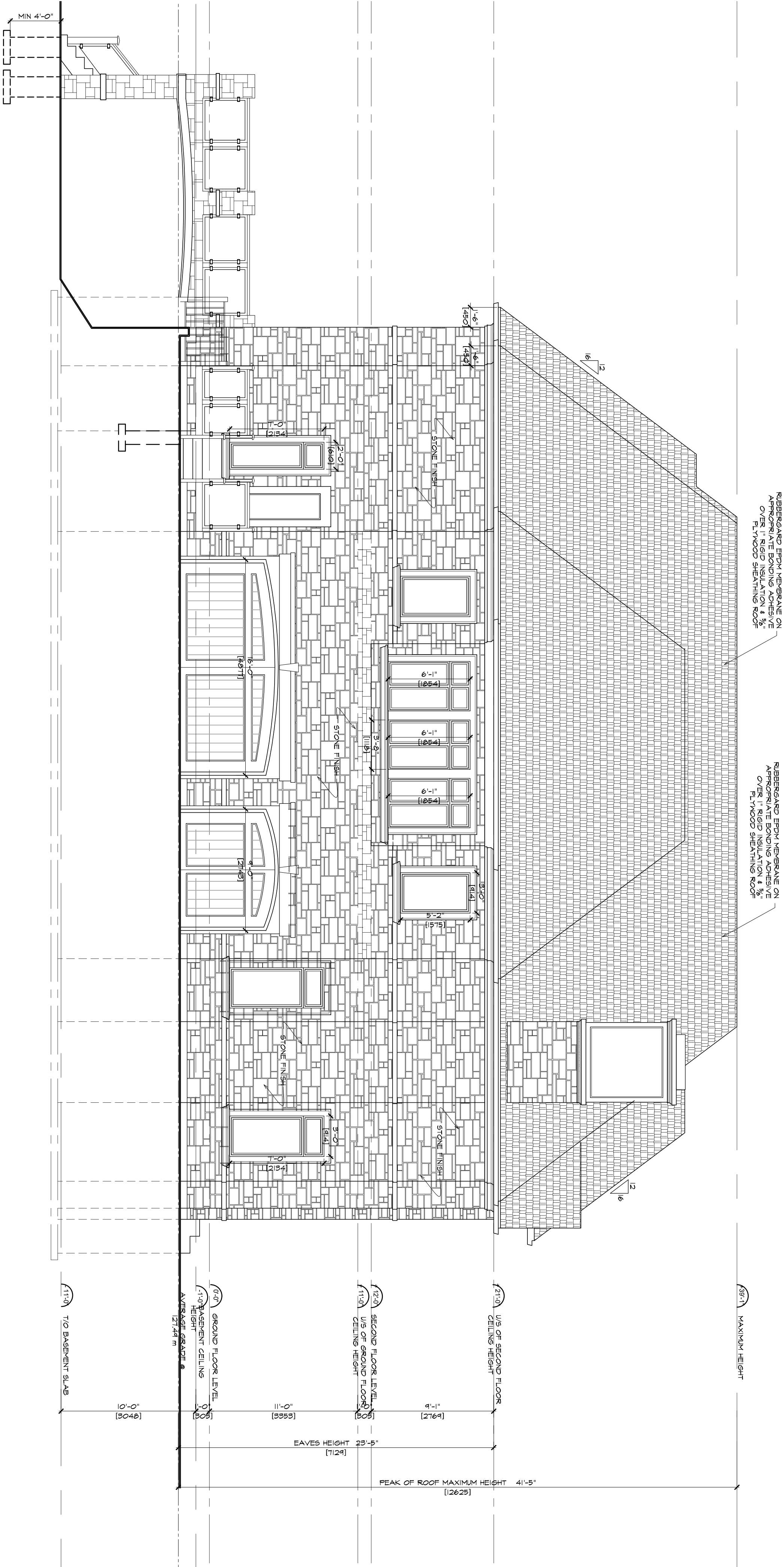
RIGHT ELEVATION

SCALE: 1/4"=1'-0"



LEFT ELEVATION

SCALE: 1/4"=1'-0"



architect
OSAMA ABO NASSAR

22 HELLEMS AVE.
WELLAND, ONTARIO
L3B 3A7
TEL 289-407-0701 FAX 905-321-1784
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1	OCT 30, 2017	Issued for Building Permit

3274
Mississauga Rd.
3274 Mississauga Rd.
Mississauga ONTARIO

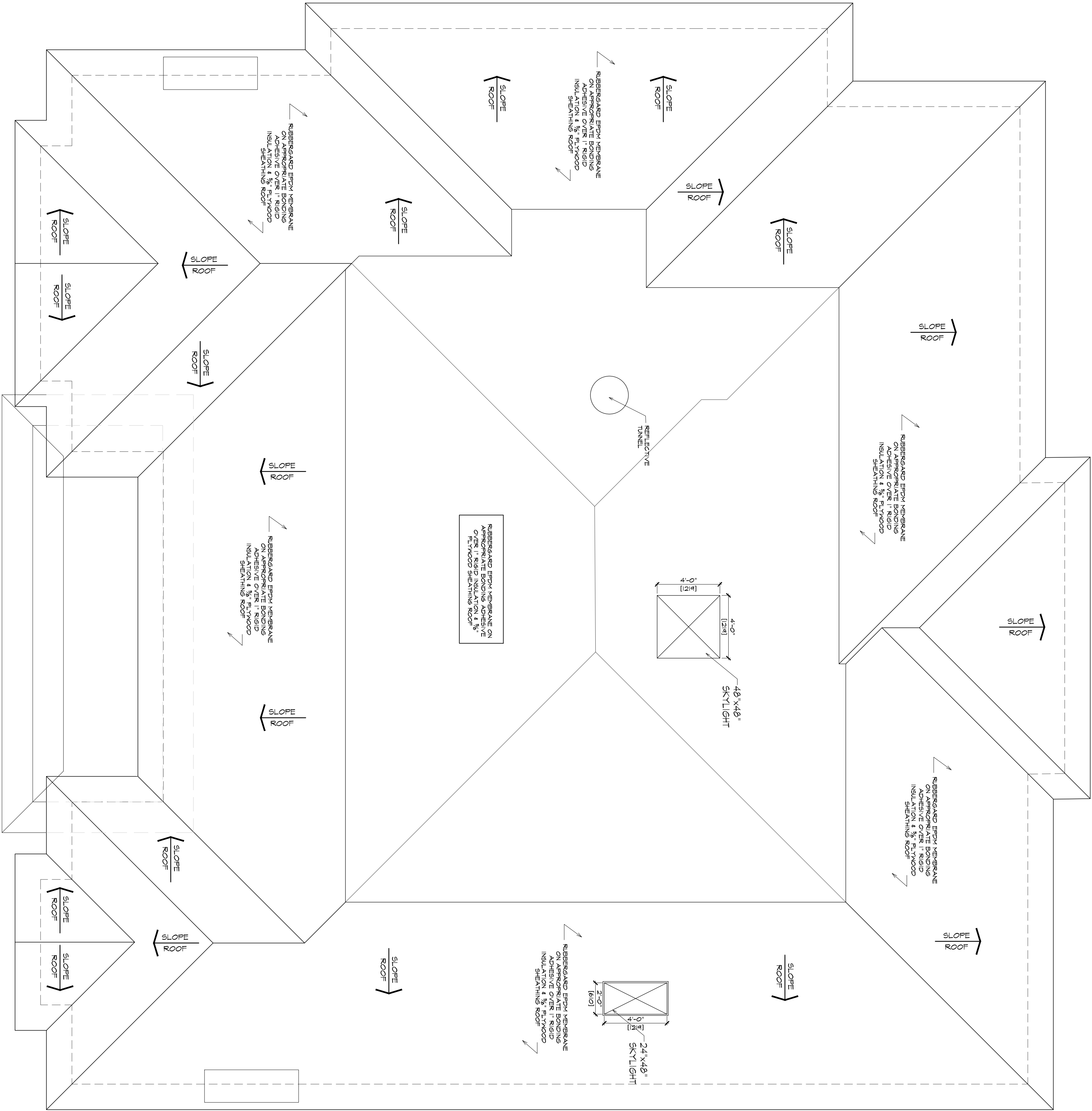
SCALE: AS NOTED

DRAWING;
RIGHT &
LEFT
ELEVATIONS



DATE: SEP 2017
DESIGN: OAN
DRAWING: AB
PROJ. NO.: 17 - 64

A-07



ROOF PLAN

SCALE: 1/8" = 1'-0"

A-05

DATE: SEP 2017
DESIGN: OAN
DRAWING: AB
PROJ. NO.: 17 - 64



DRAWING:

ROOF
PLAN

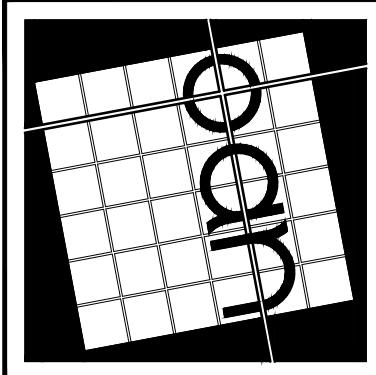
SCALE: AS NOTED

3274
Mississauga Rd.
3274 Mississauga Rd.
Mississauga ONTARIO

1	OCT 30, 2017	Issued for Building Permit

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architect
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22 HELLEMS AVE.
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L3B 3A7
TEL: 289-407-0701 FAX: 905-321-1784
E-mail: oanarchitect@rogers.com



HOARDING DETAIL

NOTES

- HOARDING MUST BE INSPECTED PRIOR TO REMOVAL OF ANY TREE PROTECTION HOARDING FROM THE SITE.
- WORKS IN THE MUNICIPAL RIGHT-OF-WAY BEING PERFORMED BY THE CITY'S CONTRACTOR WILL REQUIRE 4 TO 6 WEEKS NOTICE PRIOR TO COMMENCEMENT OF CONSTRUCTION AFTER ALL DRAWINGS HAVE BEEN APPROVED AND SECURITIES HAVE BEEN RECEIVED.
- PRIOR TO ANY CONSTRUCTION TAKING PLACE, HOARDING ADJACENT TO EXISTING PROPERTIES TO PROTECT FROM CONSTRUCTION ACTIVITY, AND ALL REQUIRED HOARDING IN ACCORDANCE WITH THE ONTARIO OCCUPATIONAL HEALTH AND SAFETY ACT AND REGULATIONS FOR CONSTRUCTION PROJECTS MUST BE ERECTED AND THEN MAINTAINED THROUGHOUT ALL PHASES OF CONSTRUCTION.
- NO MATERIALS SHALL BE STOCKPILED WITHIN THE AREA OF HOARDING.

NOTE

THE PROPOSED DEVELOPMENT OF THE SUBJECT SITE MAY NEGATIVELY IMPACT THE ROOT ZONE(S) OF NEARBY TREE(S) ON ADJACENT PROPERTY AND ULTIMATELY DAMAGE THE TREE(S). THE OWNER SHOULD TAKE ALL REASONABLE STEPS TO MINIMIZE DISTURBANCE TO THE ADJACENT TREE(S) ROOT ZONE(S) THAT ARE WITHIN THE SUBJECT SITE. THE CITY OF MISSISSAUGA TAKES NO RESPONSIBILITY FOR THE PROTECTION OF TREES ON ADJACENT PROPERTIES.

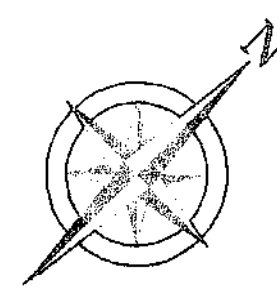
INSTALLATION OF HOARDING

ALL UTILITY COMPANIES WILL BE CONTACTED TO PERFORM LOCATES PRIOR TO THE INSTALLATION OF THE HOARDING WITHIN THE CITY BOULEVARD AREA.

PRIOR TO ANY CONSTRUCTION TAKING PLACE, HOARDING ADJACENT TO EXISTING PROPERTIES TO PROTECT FROM CONSTRUCTION ACTIVITY, AND ALL REQUIRED HOARDING IN ACCORDANCE WITH THE ONTARIO OCCUPATIONAL HEALTH AND SAFETY ACT AND REGULATIONS FOR CONSTRUCTION PROJECTS MUST BE ERECTED AND THEN MAINTAINED THROUGHOUT ALL PHASES OF CONSTRUCTION.

Hoarding must be inspected prior to the site removal of any tree protection hoarding from the site throughout all phases of demolition and construction in the location and condition as approved by the Planning and Building Department. No materials (building materials, soil, etc.) may be stockpiled within the area of hoarding. Failure to maintain the hoarding as originally approved or the storage of materials within the hoarding will be cause for the City of Credit to be held for two (2) years following completion of all site works.

Shade are to be removed before hoarding is installed and inspected by the City.



ELEVATION
SEDIMENT CONTROL FENCE N.T.S.
(CITY OF MISSISSAUGA STANDARD NO. 2940.010)

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GENERAL NOTES

Regulation 952/12 & 154/17 amendments including EE & other amendments starting on January 1, 2017
the 2017 OBC (Ontario Building Code)

EXCAVATION AND BACKFILL (OBC #1.2)

EXCAVATION SHALL BE UNDERTAKEN IN SUCH A MANNER SO AS TO PREVENT DAMAGE TO EXISTING STRUCTURES, ADJACENT PROPERTY AND UTILITIES.

THE TOPSOIL AND VEGETABLE MATTER IN UNEXCAVATED AREAS UNDER A BUILDING SHALL BE REMOVED. THE BOTTOM OF EXCAVATION FOR FOUNDATIONS SHALL BE FREE OF ALL ORGANIC MATERIAL.

IF TERMITES ARE KNOWN TO EXIST, ALL STUMPS, ROOTS, AND WOOD DEBRIS SHALL BE REMOVED TO A MINIMUM DEPTH OF 11-3/4" (300mm) IN EXCAVATED AREAS UNDER A BUILDING, AND THE CLEARANCE BETWEEN UNTREATED STRUCTURAL WOOD ELEMENTS AND THE GROUND SHALL BE NO LESS THAN 17-3/4".

BACKFILL WITHIN 23-5/8" (600mm) OF THE FOUNDATION WALLS SHALL BE FREE OF DELETERIOUS DEBRIS AND BOULDERS OVER 9-7/8" IN DIAMETER.

DAMP-PROOFING AND DRAINAGE (OBC 9.1.3 & 9.1.4)

IN NORMAL SOIL CONDITIONS, THE EXTERIOR SURFACES OF FOUNDATION WALLS ENCLOSING BASEMENTS AND CRAWL SPACES SHALL BE DAMP-PROOFED, WHERE HYDROSTATIC PRESSURE OCCURS, A WATER-PROOFING SYSTEM IS REQUIRED.

MASONRY FOUNDATION WALLS SHALL BE PARGED WITH 1/4" (6mm) OF MORTAR COVERED OVER THE FOOTING PRIOR TO DAMP-PROOFING.

4" (100mm) FOUNDATION DRAINS SHALL BE LAID ON LEVEL, UNDISTURBED GROUND ADJACENT TO THE FOOTINGS AT OR BELOW THE TOP OF THE BASEMENT SLAB OR CRAWL SPACE FLOOR, AND SHALL BE COVERED WITH 6" OF CRUSHED STONE. FOUNDATION DRAINS SHALL DRAIN TO A STORM SEWER, DRAINAGE DITCH, DRY WELL, OR SUMP.

WINDOW WELLS SHALL BE DRAINED TO THE FOOTING.

DOWNSPOUTS NOT DIRECTLY CONNECTED TO A STORM SEWER SHALL HAVE EXTENSIONS TO CARRY WATER AWAY FROM THE BUILDING, AND PROVISIONS SHALL BE MADE TO PREVENT SOIL EROSION. CONCRETE SLABS IN ATTACHED GARAGES SHALL BE SLOPED TO DRAIN TO THE EXTERIOR.

THE BUILDING SITE SHALL BE GRADED SO THAT SURFACE, SUMP AND ROOF DRAINAGE WILL NOT ACCUMULATE AT OR NEAR THE BUILDING AND WILL NOT ADVERSELY AFFECT ADJACENT PROPERTIES.

FOOTINGS (OBC 9.1.5)

MINIMUM 2200 PSI (15 MPa) POURED CONCRETE.

MINIMUM 48" (1200mm) BELOW FINISHED GRADE.

FOOTINGS SHALL BE FOUNDED ON NATURAL UNDISTURBED SOIL, ROCK, OR COMPACTED GRANULAR FILL WITH MINIMUM SOIL BEARING CAPACITY OF 1570 PSI.

4" (100mm) DIAMETER WEeping TIE TO EXTEND ALL AROUND FOOTINGS w/ MINIMUM 6" (150mm) STONE COVER (OBC 9.1.4.3.1-3)

STEP FOOTINGS (OBC 9.1.5.3.9.(1))

VERTICAL RISE

23-3/8" (600mm) MAX FOR FIRM SOILS

15-3/8" MAX FOR SAND OR GRAVEL

HORIZONTAL RUN = 23-3/8" (600mm) MIN.

FOUNDATION WALLS (OBC #1.5 & #1.4)

WALLS TO BE POURED CONCRETE, UNIT MASONRY, OR PRESERVED WOOD (SEE DWGS FOR TYPE AND THICKNESS). CONCRETE STRENGTH TO BE 30 MPa (U.S.G.).

DAMP-PROOFING SHALL BE A HEAVY COAT OF BITUMINOUS MATERIAL.

FOUNDATION WALL TO EXTEND MINIMUM 5-3/8" (150mm) ABOVE FINISHED GRADE.

A DRAINAGE LAYER IS REQUIRED ON THE OUTSIDE OF A FOUNDATION WALL WHERE THE INTERIOR INSULATION EXTENDS MORE THAN 2'-11" (900mm) BELOW EXTERIOR GRADE.

A DRAINAGE LAYER SHALL CONSIST OF:

- MIN 3/4" MINERAL FIBRE INSULATION WITH MIN. DENSITY OF 3.6 LB/5F
- MIN 4" (100mm) OF FREE DRAINAGE GRANULAR MATERIAL, OR
- AN APPROVED SYSTEM WHICH PROVIDES EQUIVALENT PERFORMANCE.

FOUNDATION WALLS SHALL BE BRACED OR HAVE THE FLOOR JOISTS INSTALLED BEFORE BACKFILLING.

FOUNDATION WALLS ENCLOSING HEATED SPACE SHALL BE INSULATED FROM THE UNDERSIDE OF THE SUBFLOOR TO NOT MORE THAN 15" (380mm) ABOVE THE FINISHED FLOOR LEVEL OF THE BASEMENT

CONCRETE FLOOR SLABS (OBC 9.1.6)

GARAGE, CARPORT, EXTERIOR SLABS AND EXTERIOR STEPS SHALL BE 4650 (32 MPa) PSI CONCRETE WITH 5-8% AIR ENTRAINMENT.

OTHER SLABS 3600 (25 MPa) PSI CONCRETE.

MINIMUM 3" (75mm) THICK, PLACED ON A MINIMUM 5" (125mm) OF COARSE CLEAN MATERIAL PLACED BENEATH CONCRETE SLABS SHALL BE COMPACTED TO PROVIDE UNIFORM SUPPORT.

ACCESS TO ATTICS AND CRAWL SPACES (OBC 9.1.5.2. and OBC #1.5)

CEILING SHALL MINIMUM 21-1/2" X 2'-4" (3.4 I2) TO BE PROVIDED TO EVERY CRAWL SPACE AND EVERY ROOF SPACE WHICH IS 108 SF OR MORE IN AREA AND MORE THAN 23-3/8" (600mm) IN HEIGHT.

GARAGE GAS-PROOFING (OBC #1.5.1.6.(4))

THE WALLS AND CEILING OF AN ATTACHED GARAGE SHALL BE CONSTRUCTED AND SEALED SO AS TO PROVIDE AN EFFECTIVE BARRIER TO EXHAUST FUMES.

ALL PLUMBING AND OTHER PENETRATIONS THROUGH THE WALLS AND CEILING SHALL BE CAULKED.

DOORS BETWEEN THE DWELLING AND ATTACHED GARAGE MAY NOT OPEN INTO A BEDROOM AND SHALL BE WEATHERSTRIPPED AND HAVE A SELF-CLOSER.

MASONRY WALLS (OBC 9.20)

WHERE CONSTRUCTED OF 3-3/8" BRICK, WALL SHALL BE BONDED WITH HEADER COURSE EVERY 6TH COURSE.

PROVIDE 2" SOLID MASONRY OR CONTINUOUS 1-1/2" PLATE UNDER ALL ROOF AND FLOOR FRAMING MEMBERS.

PROVIDE 7-1/2" SOLID MASONRY UNDER BEAMS AND COLUMNS.

MASONRY WALL TO BE TIED TO EACH TIER OF JOISTS WITH 1-3/8" X 3/4" CORROSION RESISTANCE STEEL STRAPS KEYED MINIMUM 4" INTO MASONRY, WHEN JOISTS ARE PARALLEL TO WALL, TIES ARE TO EXTEND ACROSS AT LEAST 3 JOISTS @ 6'-7" O.C.

INSIDE BACK OF WALL TO BE PARGED AND COVERED WITH NO. 15 BREATHER-TYPE ASPHALT PAPER.

FOR REDUCED FOUNDATION WALLS TO ALLOW A BRICK FACING WHILE MAINTAINING LATERAL SUPPORT, THE MINIMUM 3-3/8" BRICK TO MINIMUM 3-3/8" BACK-UP BLOCK WITH CORROSION RESISTANT TIES AT LEAST 0.028 INZ IN CROSS SECTIONAL AREA, SPACED 7-1/2" VERTICALLY AND 2'-11" HORIZONTALLY, WITH JOINTS COMPLETELY FILLED WITH MORTAR.

MASONRY OVER OPENING SHALL BE SUPPORTED ON CORROSION RESISTANT OR PRIME PAINTED STEEL LINTELS WITH A MINIMUM OF 5-3/8" END BEARING.

MASONRY VENEER (OBC 9.20)

MINIMUM 2-3/4" THICK IF JOINTS ARE NOT RAKED AND 3-3/8" THICK IF JOINTS ARE RAKED.

MINIMUM 1" AIR SPACE TO SHEATHING.

PROVIDE WEEP HOLES @ 31"- O.C. AT THE BOTTOM OF THE CAVITY AND OVER DOORS AND WINDOWS.

DIRECT DRAINAGE THROUGH WEEP HOLES WITH 20 mil POLY FLASHING EXTENDING MINIMUM 5"- (150mm) UP BEHIND THE SHEATHING PAPER.

VENER TIES MINIMUM 0.030" THICK X " WIDE CORROSION RESISTANT STRAPS SPACED @ 23"- VERTICALLY AND 15"- HORIZONTALLY.

FASTEN TIES WITH CORROSION RESISTANT 0.125" DIAMETER SCREWS OR SPIRAL NAILS WHICH PENETRATE AT LEAST 1"- INTO STUDS.

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NATURAL VENTILATION (OBC #3.2)

EVERY ROOF SPACE ABOVE AN INSULATED CEILING SHALL BE VENTILATED WITH UNOBSTRUCTED OPENINGS EQUAL TO NOT LESS THAN 1/60 OF INSULATED AREA.

INSULATED ROOF SPACES NOT INCORPORATING AN ATTIC SHALL BE VENTILATED WITH UNOBSTRUCTED OPENINGS EQUAL TO NOT LESS THAN 1/60 OF INSULATED AREA.

ROOF VENTS SHALL BE PROVIDED WITH 1.1 SF OF VENTILATION FOR EACH 538 SF

MINIMUM NATURAL VENTILATION AREAS, WHERE MECHANICAL VENTILATION IS NOT PROVIDED, ARE:

BATHROOM: 0.97 SF

OTHER ROOMS: 3 SF

UNFINISHED BASEMENT: 0.2% OF FLOOR AREA

DOORS AND WINDOWS (OBC #6 & #17)

EVERY FLOOR LEVEL CONTAINING A BEDROOM AND NOT SERVED BY AN EXTERIOR DOOR SHALL CONTAIN AT LEAST 1 WINDOW HAVING AN UNOBSTRUCTED OPEN AREA OF 3.8 SF AND NO DIMENSION LESS THAN 15", WHICH IS OPENABLE FROM THE INSIDE WITHOUT TOOLS.

EXTERIOR HOUSE DOORS AND WINDOWS WITHIN 6'-7" FROM GARAGE SHALL BE CONSTRUCTED TO RESIST FORCED DOORS SHALL HAVE A DEADBOLT LOCK.

THE PRINCIPAL ENTRY DOOR SHALL HAVE EITHER A DOOR VIEWER, TRANSPARENT GLAZING OR A SIDELIGHT.

EXTERIOR WALLS (OBC #1.0)

NO WINDOWS OR OTHER UNPROTECTED OPENINGS ARE PERMITTED IN EXTERIOR WALLS LESS THAN 3'-11" FROM PROPERTY LINES.

3/4" FIRE RATED DRYWALL SHALL BE INSTALLED ON THE INSIDE FACE OF ATTACHED GARAGE EXTERIOR WALLS AND GABLE ENDS OF ROOFS WHICH ARE LESS THAN 3'-11" FROM PROPERTY LINES.

NON COMBUSTIBLE CLADDING SHALL BE INSTALLED ON ALL EXTERIOR WALLS LESS THAN 23-3/8" (600mm) FROM PROPERTY LINES.

CERAMIC TILE (OBC #2.10 and/or #2.5.1.5)

WHEN CERAMIC TILE APPLIED TO A MORTAR BED WITH ADHESIVE, THE BED SHALL BE A MINIMUM OF 1/2" THICK & REINFORCED WITH GALVANIZED DIAMOND MESH LATH, APPLIED OVER POLYETHYLENE ON SUBFLOORING ON JOISTS AT NO MORE THAN 16" O.C. WITH AT LEAST 2 ROWS OF CROSS BRIDGING.

ALARMS AND DETECTORS (OBC #10.1.4)

AT LEAST ONE SMOKE ALARM SHALL BE INSTALLED ON OR NEAR THE CEILING ON EACH FLOOR AND BASEMENT LEVEL 2'-11" OR MORE ABOVE AN ADJACENT LEVEL.

SMOKE ALARMS SHALL BE INTERCONNECTED AND LOCATED SUCH THAT ONE IS WITHIN OF EVERY BEDROOM.

HANDRAILS AND GUARDS (OBC #8)

A HANDRAIL IS REQUIRED FOR INTERIOR STAIRS CONTAINING MORE THAN 2 RISERS AND EXTERIOR STAIRS CONTAINING MORE THAN 3 RISERS.

GUARDS ARE REQUIRED AROUND EVERY ACCESSIBLE SURFACE WHICH IS MORE THAN 23-3/8" (600mm) ABOVE THE ADJACENT LEVEL.

INTERIOR AND EXTERIOR GUARDS MIN. 2'-11" HIGH. EXTERIOR GUARDS SHALL BE 3'-4" HIGH WHERE HEIGHT ABOVE ADJACENT SURFACE EXCEEDS 5'-11".

GUARDS SHALL HAVE NO OPENINGS GREATER THAN 4", AND NO MEMBER BETWEEN 5 1/2" AND 2'-11" THAT WILL FACILITATE CLIMBING.

STAIRS (OBC #8)

MAXIMUM RISE: 7-3/8"

MINIMUM RUN: 8-3/4"

MINIMUM TREAD: 9-3/4"

MINIMUM HEIGHT OVER STAIRS: 6'-5"

MINIMUM WIDTH: 2'-10"

CURVED STAIRS SHALL HAVE A MINIMUM RUN OF 5'-3/8" AT ANY POINT AND A MINIMUM AVERAGE RUN OF 7'-3/8"

WINDERS WHICH CONVERGE TO A POINT IN STAIRS MUST TURN THROUGH AN ANGLE OF NO MORE THAN 90°, WITH NO LESS THAN 30° OR MORE THAN 45° PER TREAD. SETS OF WINDERS MUST BE SEPARATED BY 3'-11" ALONG THE RUN OF THE STAIR.

A LANDING MINIMUM 2'-11" IN LENGTH IS REQUIRED AT THE TOP OF ANY STAIR LEADING TO THE PRINCIPAL ENTRANCE TO A DWELLING, AND OTHER ENTRANCES WITH MORE THAN 3 RISERS.

EXTERIOR CONCRETE STAIRS WITH MORE THAN 2 RISERS REQUIRE FOUNDATIONS.

PLUMBING (OBC #3.1) AND OBC PART 7

EVERY DWELLING REQUIRES A KITCHEN SINK, LAVATORY, WATER CLOSET, BATHTUB OR SHOWER STALL AND THE INSTALLATION OR AVAILABILITY OF LAUNDRY FACILITIES.

A FLOOR DRAIN SHALL BE INSTALLED IN THE BASEMENT, AND CONNECTED TO THE SANITARY SEWER WHERE GRAVITY DRAINAGE IS POSSIBLE. IN OTHER CASES, IT SHALL BE CONNECTED TO A STORM DRAINAGE SYSTEM, DITCH OR DRY WELL.

ELECTRICAL (OBC #3.4) & ESA APPROVAL

AN EXTERIOR LIGHT CONTROLLED BY AN INTERIOR SWITCH IS REQUIRED AT EVERY ENTRANCE.

A LIGHT CONTROLLED BY A SWITCH IS REQUIRED IN EVERY KITCHEN, BEDROOM, LIVING ROOM, UTILITY ROOM, LAUNDRY ROOM, DINING ROOM, BATHROOM, VESTIBULE, HALLWAY, GARAGE AND CARPORT. A SWITCHED RECEPTACLE MAY BE PROVIDED INSTEAD OF A LIGHT IN A BEDROOMS AND LIVING ROOMS.

STAIRS SHALL BE LIGHTED, AND EXCEPT WHERE SERVING AN UNFINISHED BASEMENT SHALL BE CONTROLLED BY A 3 WAY SWITCH AT THE HEAD AND FOOT OF THE STAIRS.

BASEMENTS REQUIRE A LIGHT FOR EACH 323 SF, CONTROLLED BY A SWITCH AT THE HEAD OF THE STAIRS.

MECHANICAL VENTILATION (OBC #3.2.3) & OBC PART 6

A MECHANICAL VENTILATION SYSTEM IS REQUIRED WITH A TOTAL CAPACITY AT LEAST EQUAL TO THE SUM OF:

10 CFM EACH FOR BASEMENT AND MASTER BEDROOM

5 CFM FOR EACH OTHER ROOM

A PRINCIPAL DWELLING EXHAUST FAN SHALL BE INSTALLED AND CONTROLLED BY A CENTRALLY LOCATED SWITCH IDENTIFIED AS SUCH

SUPPLEMENTAL EXHAUST SHALL BE INSTALLED SO THAT THE TOTAL CAPACITY OF ALL KITCHEN, BATHROOM, AND OTHER EXHAUSTS, LESS THE PRINCIPAL EXHAUST, IS NOT LESS THAN THE TOTAL REQUIRED CAPACITY.

A HEAT RECOVERY VENTILATOR MAY BE EMPLOYED IN LIEU OF EXHAUST TO PROVIDE VENTILATION, AN HRV IS REQUIRED IF ANY SOLID FUEL BURNING APPLIANCES ARE INSTALLED.

SUPPLY AIR INTAKES SHALL BE LOCATED SO AS TO AVOID CONTAMINATION FROM EXHAUST OUTLETS.

WOOD FRAME CONSTRUCTION (OBC #2.5)

ALL LUMBER SHALL BE SPRUCE-PINE-FUR NO. 1 & 2, AND SHALL BE IDENTIFIED BY A GRADE STAMP.

MAXIMUM MOISTURE CONTENT 19% AT TIME OF INSTALLATION.

WOOD FRAMING MEMBERS WHICH ARE SUPPORTED ON CONCRETE IN DIRECT CONTACT WITH SOIL SHALL BE SEPARATED FROM THE CONCRETE WITH 6 mil POLYETHYLENE.

WALLS (OBC #2.5 & #2.7)

EXTERIOR WALLS SHALL CONSIST OF:

- CLADDING
- SHEATHING PAPER LAPPED 4" AT JOINTS
- 3/8" FIBERBOARD OR GYPSUM BOARD OR 1/4"
- PLUWOOD SHEATHING

- 2 X 6 STUDS @ 16" O.C.
- 2 X 6 BOTTOM PLATE AND DOUBLE TOP PLATE
- 2 X 4 STUDS @ 16" O.C. CAN BE UTILIZED PROVIDED

THE COMBINED R VALUE OF THE BATT

INSULATION AND EXTERIOR RIGID INSULATION

ACHIEVES R-17.

INTERIOR LOADBEARING WALLS SHALL CONSIST OF:

- 2 X 4 STUDS @ 16" O.C.
- 2 X 4 BOTTOM PLATE AND DOUBLE 2 X 4 TOP PLATE
- 2 X 4 MID-GIRTS IF NOT SHEATHED
- 1/2" GYPSUM BOARD SHEATHING

FLOORS (OBC #2.5)

SEE OBC TABLES FOR FLOOR JOIST SIZE AND SPACING REQUIREMENTS.

JOISTS TO HAVE MINIMUM 1-3/8" OF END BEARING.

JOISTS SHALL BEAR ON A SILL PLATE FIXED TO FOUNDATION WITH 1/2" ANCHOR BOLTS @ 7'-10" O.C.

HEADER JOISTS BETWEEN 3'-11" AND 10'-6" IN LENGTH SHALL BE DOUBLED. HEADER JOISTS EXCEEDING 10'-6" SHALL BE SIZED BY CALCULATIONS.

TRIMMER JOISTS SHALL BE DOUBLED WHEN SUPPORTED HEADER IS BETWEEN 2'-7" AND 8'-7". TRIMMER JOISTS SHALL BE SIZED BY CALCULATIONS WHEN SUPPORTED HEADER EXCEEDS 6'-7".

2 X 2 CROSS BRIDGING REQUIRED NOT MORE THAN 6'-11" FROM EACH SUPPORT AND FROM OTHER ROWS OF BRIDGING.

JOISTS SHALL BE SUPPORTED ON JOIST HANGERS AT ALL FLUSH BEAMS, TRIMMER, AND HEADERS.

JOISTS LOCATED UNDER PARALLEL NON PARTITIONS SHALL BE DOUBLED.

SEE OBC TABLE FOR SUBFLOORING REQUIREMENTS.

ROOF & CEILING

SEE OBC TABLES FOR RAFTER, ROOF JOIST AND CEILING JOIST SIZE AND SPACING REQUIREMENTS.

HIP AND VALLEY RAFTER SHALL BE 2" DEEPER THAN COMMON RAFTERS.

2 X 4 COLLAR TIES @ RAFTER SPACING WITH 1 X 4 CONTINUOUS BRACE AT MID SPAN IF COLLAR TIE EXCEEDS 7'-10" IN LENGTH

SEE OBC TABLE FOR ROOF SHEATHING REQUIREMENTS.

NOTCHES & DRILLINGS OF TRUSSES, JOISTS, RAFTERS

HOLES IN FLOOR, ROOF, AND CEILING MEMBERS TO BE MAXIMUM 1/4 X ACTUAL DEPTH OF MEMBER AND NOT LESS THAN 2" FROM EDGES.

NOTCHES IN FLOOR, ROOF AND CEILING MEMBERS TO BE LOCATED ON TOP OF THE MEMBER WITHIN 1/2 THE ACTUAL DEPTH FROM THE EDGE OF BEARING AND NOT GREATER THAN 1/2 JOIST DEPTH.

WALL STUDS MAY BE NOTCHED OR DRILLED PROVIDED THAT NO LESS THAN 3/4 THE DEPTH OF THE STUD REMAINS, AND 1-3/4" IF NON-LOADBEARING.

ROOF TRUSS MEMBERS SHALL NOT BE NOTCHED, DRILLED OR WEAKENED UNLESS ACCOMMODATED IN THE DESIGN.

ROOFING (OBC #2.6)

FASTENERS FOR ROOFING SHALL BE CORROSION RESISTANT ROOFING NAILS SHALL PENETRATE THROUGH OR AT LEAST 1/2" INTO ROOF SHEATHING.

EVERY ASPHALT SHINGLE SHALL BE FASTENED WITH AT LEAST 4 NAILS.

EAVE PROTECTION SHALL EXTEND 2'-11" UP THE ROOF SLOPE FROM THE EDGE, AND AT LEAST 11-3/8" FROM THE INSIDE FACE OF THE EXTERIOR WALL, AND SHALL CONSIST OF TYPE M OR TYPE S ROLL ROOFING LATH WITH MINIMUM 4" HEAD AND END LAPS CEMENTED TOGETHER, OR GLASS FIBRE OR POLYESTER FIBRE COATED BASE SHEETS, OR SELF SEALING COMPOSITE MEMBRANES CONSISTING OF MODIFIED BITUMINOUS COATED MATERIAL. EAVE PROTECTION IS NOT REQUIRED FOR UNHEATED BUILDINGS, FOR ROOFS EXCEEDING A SLOPE OF 1 IN 1.5, OR WHERE A LOW SLOPE ASPHALT SHINGLE APPLICATION IS PROVIDED.

OPEN VALLEYS SHALL BE FLASHED WITH 2 LAYERS OF ROLL ROOFING, OR 1 LAYER OF SHEET METAL MIN 23-3/8" WIDE.

FLASHING SHALL BE PROVIDED AT THE INTERSECTION OF SHINGLE ROOFS WITH EXTERIOR WALLS AND CHIMNEYS

SHEET METAL FLASHING SHALL CONSIST OF NOT LESS THAN 3/8" SHEET LEAD, 0.013" GALVANIZED STEEL, 0.018" COPPER, 0.018" ZINC, OR 0.019" ALUMINUM.

COLUMNS, BEAMS & LINTELS (OBC #1.1 & #2.3)

STEEL BEAMS AND COLUMNS SHALL BE SHOP PRIMED.

MINIMUM 3-3/8" END BEARING FOR WOOD AND STEEL BEAMS, WITH 7-3/8" SOLID MASONRY BENEATH THE BEAM.

STEEL COLUMNS TO HAVE MINIMUM OUTSIDE DIAMETER OF 2-3/8" AND MINIMUM WALL THICKNESS OF 3/8".

WOOD COLUMNS FOR CARPORTS AND GARAGES SHALL BE MINIMUM 3-3/8" X 3-3/8" ; IN ALL OTHER CASES EITHER 5-3/8" X 5-3/8" OR 7-3/8" ROUND, UNLESS CALCULATIONS BASED ON ACTUAL LOADS SHOW LESSER SIZES ARE ADEQUATE. ALL COLUMNS SHALL BE NOT LESS THAN THE WIDTH OF THE SUPPORTED MEMBER.

MASONRY COLUMNS SHALL BE A MINIMUM OF 11-3/8" X 11-3/8" OR 9-3/8" X 15".

PROVIDE SOLID BLOCKING THE FULL WIDTH OF THE SUPPORTED MEMBER UNDER ALL CONCENTRATED LOADS.

INSULATION & WEATHER-PROOFING (OBC Part 12)

INSULATION VALUES (R-IMPERIAL) (see SB-12 - Supplementary Standard Zone 1 for Compliant Package A) TABLE 3.11.2.2 AFTER OBC 90.20.16)

CEILING WITH ATTIC: R-60

ROOF WITHOUT ATTIC: R-31

EXTERIOR WALL: R-22

FOUNDATION WALL: R-20ci

> 50% EXPOSED: R-22

EXPOSED FLOOR: R-31

3.0

SUMMARY STATEMENT

3.1 Attributes of the cultural heritage resource

The subject property is listed in the City of Mississauga's heritage inventory because the property fronts onto the Mississauga Road Scenic Route cultural landscape. The property itself has no architectural, historical or contextual significance.

The City of Mississauga has identified Mississauga Road as a cultural landscape, Item F-TC-4, in the following categories:

CITY OF MISSISSAUGA		Cultural Landscape Inventory	
Mississauga Road Scenic Route		F-TC-4	
Location	Parallels the Credit River on its west bank		
Heritage or Other Designation	Scenic Road		
Landscape Type	Transportation		
LANDSCAPE ENVIRONMENT <input checked="" type="checkbox"/> Scenic and Visual Quality <input type="checkbox"/> Natural Environment <input checked="" type="checkbox"/> Horticultural Interest <input checked="" type="checkbox"/> Landscape Design, Type and Technological Interest		BUILT ENVIRONMENT <input type="checkbox"/> Aesthetic/Visual Quality <input type="checkbox"/> Consistent Early Environs (pre-World War II) <input checked="" type="checkbox"/> Consistent Scale of Built Features <input type="checkbox"/> Unique Architectural Features/ Buildings <input type="checkbox"/> Designated Structures	
HISTORICAL ASSOCIATION <input checked="" type="checkbox"/> Illustrates Style, Trend or Pattern <input type="checkbox"/> Direct Association with Important Person or Event <input checked="" type="checkbox"/> Illustrates Important Phase in Mississauga's Social or Physical Development <input type="checkbox"/> Illustrates Work of Important Designer		OTHER <input checked="" type="checkbox"/> Historical or Archaeological Interest <input type="checkbox"/> Outstanding Features /Interest <input type="checkbox"/> Significant Ecological Interest <input type="checkbox"/> Landmark Value	

To retain the elements identified by the City of Mississauga as characteristic of the cultural landscape, a new development on the subject property should retain the scenic and visual quality of Mississauga Road, and a scale for built structures that is consistent with existing residences on Mississauga Road.

3.2: Impact that the proposed development will have on the cultural heritage resource

The proposed development will have no adverse impact on the Mississauga Road Scenic Route cultural landscape. The current structures on the subject property are not consistent with the theme of the landscape, as identified by the Cultural Landscape Inventory, prepared by Goldsmith Borgal & Company Ltd., Architects North South Environmental Inc. and Geodata Resources Inc.

3.3: Conservation or mitigative measures, or alternative development, or site alteration

As per Section 2.6

3.4: Clarification as to why mitigative measures are not appropriate

The subject property is generally inconsistent with the characteristics of the Mississauga Road Scenic Route, and does not enhance the scenic merit of Mississauga Road. There would be no loss of cultural heritage. As clarified in Section 4.0 of this report, the structures on the property are not historically, architecturally or contextually significant.

4.0**RECOMMENDATION****4.1 Regulation 9/06, Ontario Heritage Act**

A municipal council may designate heritage resources by by-law pursuant to Section 29 of the Ontario Heritage Act based on criteria set forth in Ontario Regulation 9/06; Criteria for Determining Cultural Heritage Value or Interest.

Section 1

The property has design value or physical value because it;

- i: is a rare, unique, representative or early example of a style,
type, expression, material or construction method,
- ii: displays a high degree of craftsmanship or artistic merit, or
- iii: demonstrates a high degree of technical or scientific achievement.

Section 2

The property has historical value or associative value because it;

- i: has direct associations with a theme, event, belief, person, activity,
organization or institution that is significant to a community,
- ii: yields, or has the potential to yield, information that contributes to an
understanding of a community or culture, or
- iii: demonstrates or reflects the work or ideas of an architect, artist,
builder, designer or theorist who is significant to a
community.

Section 3

The property has contextual value because it is;

- i: important in defining, maintaining or supporting
the character of area,
- ii: physically, functionally, visually or historically linked
to its surrounding,

4.1.1 Does the property meet the criteria for designation

The property identified as 3274 Mississauga Road is not designated, but is listed by the City of Mississauga as part of the Mississauga Road Scenic Route cultural landscape, January 2005. In compliance with the City of Mississauga Heritage Impact Assessment Terms of Reference, the following is an assessment of the current listed property's specific heritage value.

Section 1

- Subsection i

The property at 3274 Mississauga Road is not rare or unique, and is not representative of an early example, style or construction method.

- Subsection ii

The structures on the subject property do not display a high degree of craftsmanship or artistic merit.

- Subsection iii

The structures on the subject property do not display a high degree of technical or scientific achievement.

Section 2

-Subsection i

The residence on the subject property was built in 1974. No information has been found confirming that any of the residence of the property has had a direct association with a theme, event, belief, activity, organization or institution that is significant to the growth and development of Mississauga.

-Subsection ii

The subject property does not yield information that contributes to an understanding of Mississauga Road or of Mississauga, in general.

-Subsection iii

The property does not demonstrate or reflect the work of a significant architect.

Section 3

- Subsection i

The subject property is not important in defining, maintaining and supporting the character of the cultural landscape.

Subsection ii

The subject property has some scenic and landscape merits that can be retained as part of the Mississauga Road Scenic Route, but the current structures on the property are not physically, visually or historically linked to the cultural landscape.

- Subsection iii

The property is not regarded locally as a landmark.

Conclusion

The subject property does not comply with any of the nine criteria for designation under Regulation 9/06 of Section 29 of the Ontario Heritage Act.

4.1.2 Provincial Policy Statement - 2014

The preamble to the Provincial Policy Statement – 2014 provides for appropriate development while protecting resources of provincial interest, public health and safety, and the quality of the natural and built environment.

Based on established criteria for designation potential, the current structures at 3274 Mississauga Road cannot be considered to be of provincial interest as subjects of built environment.

5.0

QUALIFICATIONS

5.1 Author

Since 2007 Richard Collins has prepared Heritage Impact Statements for sites in Burlington, Gravenhurst, Mississauga, Oakville and Welland Ontario.

- Clarkson 1808-2008 Committee; heritage coordinator
- City of Mississauga; 2012 Civic Award of Recognition
- Heritage Mississauga; volunteer, recipient of the 2007 Lifetime Membership Award and the 2008 Member's Choice Award
- Mississauga HAC; member of the Heritage Designation Subcommittee
- Mississauga South Historical Society; past president
- Page+Steele Architects, Toronto; past archivist
- Peel District School Board Heritage Fair, member and adjudicator
- Port Credit 175th Anniversary Committee; project leader and secretary
- Port Credit Village Project; secretary and co-chair of the Heritage Circle
- The Booster; author of over 200 articles on Mississauga's history

5.2 References

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Walker and Miles

Historical Atlas of Peel County, 1877

City of Mississauga

Corporate Report



Date: 2018/06/07

To: Chair and Members of Heritage Advisory Committee

From: Paul Mitcham, P. Eng, MBA, Commissioner of
Community Services

Originator's files:

Meeting date:
2018/07/10

Subject

Request to Remove two barns on a Heritage Listed Property: 1200 Old Derry Road (Ward 11)

Recommendation

That the owner's request to remove (dismantle and relocate) two 1930s barn structures at 1200 Old Derry Road proceed through the applicable process as per the Corporate Report from the Commissioner of Community Services, dated June 07, 2018.

Background

Section 27.3 of the Ontario Heritage Act states that structures or buildings on property listed on the City's Heritage Register cannot be removed or demolished without at least 60 days' notice to Council. Under Section 1.3.1.1 of Ontario Regulation 332/12, demolition of farm buildings is exempt from requiring a permit under the Building Code Act.

The owner of the subject property has submitted a Heritage Impact Assessment (HIA) to document in advance the removal (dismantling and relocating) of two barns. The overall subject property is listed on the City's Heritage Register as "Sandford Farm." A small portion (approximately 0.21 acres) of the property encompassing the 1860s Simpson-Humphries House is designated under Part IV of the Ontario Heritage Act under By-Law 833-83.

As documented in the HIA, Euro-Canadian settlement and development of the subject property for agricultural use began in the 1830s when John Simpson purchases the lands. In summary, "1200 Old Derry Road contains a well-established farmstead comprising three residences, three barns, five outbuildings and three silos. A narrow drive leading into the site from Old Derry Road winds along the top of a ridge bordering the Credit River flood plain. Generally vegetation lines the drive but at times views of the river valley frequented by deer and waterfowl open up. Formerly the drive also connected to Creditview Road via a bridge over the Credit River; however, this access has been closed for many years. The Simpson-Humphries House was dominantly sited at the east end of the drive to Creditview Road. The agricultural buildings are

grouped around the south end of the drive...while several newer agricultural buildings have been constructed to the south of the Simpson-Humphries House and east of the older barns. Agricultural fields extend to the east, south and west” (remnants of the allée also extend from the Simpson-Humphries house westward across the Credit River to Creditview Road).

Simpson purchased the 200 acres in 1837 and an adjacent 100 acres to the north in 1856. This 300 acre parcel was later truncated by his donation to church, sale to school board, and gift to family of land in latter 19th century, along with subdivision of lands in Meadowvale Village. Later property transfers include those for an early 20th century rail corridor, sale to Rowancraft Gardens in 1918, the construction of Highway 401 in the 1950s and residential development of eastern portions near and adjacent to Second Line West in the early 21st century. The farm now comprises 216.5 acres, maintaining a substantial degree of spatial integrity and scale.

The Simpson farm was transferred to the Jackson family in 1888 and Goldwin Larratt Smith in 1912: the latter named it “Sanford Farm” and was noted for breeding prize-winning Shorthorn cattle. A 1933 fire destroyed an 1893 barn and three contemporary buildings: the two barns subject to this HIA were built shortly afterward, and are typical of Beatty Bros. plank frame construction dating to this period: unlike earlier barns, these structures are unobstructed by posts or beams internally above the foundation level, providing superior storage and access. The Humphries family purchased Sanford Farm in 1949, operating it until its recent sale in the spring of 2018. Based on the functionality of the two barns, the decision was made to disassemble these two barns and relocate them to farm owned by the Humphries in eastern Ontario, to retain their utilitarian and family, if not contextual, values.

Comments

The owner of the subject property has requested permission to remove (dismantle and relocated) the two Beatty Bros. barns on the subject property. The Heritage Impact Assessment drafted by Unterman-McPhail Associates, is attached as Appendix 1, being a comprehensive photo- and historical documentary record, with detailed descriptions and measurements of the subject buildings and property, and background documentation of the remaining structures. The consultant concludes that documentation of the two 1930s Beatty Bros. barns on the subject property is sufficient to permit their removal (by dismantling and relocation): staff concurs with this finding and agrees with conclusion and recommendations in the report.

Financial Impact

There is no financial impact.

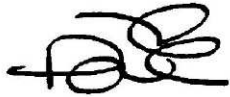
Conclusion

The owner of 1200 Old Derry Road has requested permission to remove (dismantle and relocate) two barns on a property that is listed on the City’s Heritage Register. The applicant has

submitted a Heritage Impact Assessment report which provides sufficient documentation on the subject buildings prior to their removal. Staff concurs with these findings.

Attachments

Appendix 1: Heritage Impact Assessment



Paul Mitcham, P. Eng, MBA, Commissioner of Community Services

Prepared by: Joseph Muller, Supervisor, Heritage Planning

HERITAGE IMPACT ASSESSMENT REPORT SANFORD FARM

**1200 OLD DERRY ROAD
(PART LOTS 9 & 10, CONCESSION 3 WHS
GEOGRAPHIC TOWNSHIP OF TORONTO)
CITY OF MISSISSAUGA, ONTARIO**



May 2018

**Prepared for:
James Humphries**

Prepared by:



UNTERMAN McPHAIL ASSOCIATES
HERITAGE RESOURCE MANAGEMENT CONSULTANTS

**HERITAGE IMPACT ASSESSMENT REPORT
SANFORD FARM
1200 OLD DERRY ROAD
(PART LOTS 9 & 10, CONCESSION 3 WHS
GEOGRAPHIC TOWNSHIP OF TORONTO)
CITY OF MISSISSAUGA, ONTARIO**

May 2018

**Prepared for:
James Humphries**

**Prepared by:
Unterman McPhail Associates
Heritage Resource Management Consultants
540 Runnymede Road
Toronto, Ontario, M6S 2Z7
Tel: 416-766-7333**

PROJECT PERSONNEL

Unterman McPhail Associates

Richard Unterman, Principal, CAHP

Barbara McPhail, Principal, CAHP

Jean Simonton

Heritage Consultant, CAHP

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1.0 INTRODUCTION

In response to impending changes to the property, the City of Mississauga has requested the preparation of an HIA to address the impacts associated with the proposed relocation of the two barns. James Humphries retained Unterman McPhail Associates, Heritage Resource Management Consultants to undertake a Heritage Impact Assessment (HIA) for the property located at 1200 Old Derry Road in the City of Mississauga. The sale of the former farm property known as Sanford Farm is to be completed on May 23, 2018. Mr. Humphries is proposing to dismantle and relocate two of the barn structures on the site to a new location.

1200 Old Derry Road comprises approximately 216.5 acres (876308.53 m²) in Part Lots 9 & 10, Concession 3 West of Hurontario Street (WHS) in the geographic Township of Toronto. It is located in the vicinity of Meadowvale Village in the northern part of the municipality and generally is bounded by Second Line West to the east, Creditview Road/Old Creditview Road to the west, Old Derry Road to the north and Highway 401 to the south (**Figure 1**). The Credit River flows in a southerly direction through the site. The property was developed for agricultural and milling purposes in the late 1830s. The John Simpson family, the original owners are noted as a founding family of Meadowvale.

Part Lots 9 & 10, Concession 3 WHS was designated under Part IV the *Ontario Heritage Act* in 1983 pursuant to By-law Number 833-83. The focus of the designation was the main house on the property, which was identified as being architectural and historical value or interest. Known as the Simpson-Humphries House, the two story brick structure dates to c1870.

The City's Heritage Impact Assessment Terms of Reference (June 2017) provides guidance in the preparation of the report; however, amendments to the scope of work have been agreed to in consultation with the City of Mississauga.

The scoped HIA report includes the following information:

- Introduction (Section 1);
- Detailed site history (Section 2);
- Description of the existing conditions (Section 3);
- Description of the purpose of the proposed activity (Section 4);
- Assessment of the impacts (Section 5);
- Identification of mitigation measures (Section 6);
- Documentation of the barn structures (Section 7);
- Conclusion (Section 8); and
- Sources.

Generally graphic material illustrating the text is included at the end of the relevant section. All photographs are attributed to Unterman McPhail Associates and date to April 2018 unless noted otherwise. For the purposes of this report, Old Derry Road is

considered to run in an east and west direction with the subject property at 1200 Old Derry Road located on the south side of the roadway.



Figure 1. A location plan shows the subject property located at 1200 Old Derry Road in the City of Mississauga to the north of Highway 401 and between Second Line West and Creditview Road [Mississauga Maps, 2018, as modified].

2.0 SITE HISTORY

2.1 Township of Toronto, County of Peel

Toronto Township was formed in two parts – the Old Survey to the south and the New Survey to the north. Government officials from York purchased land extending from Burlington Bay to the Etobicoke Creek from the Mississaugas on August 2, 1805. Samuel Wilmot completed the survey of the southern half, or the Old Survey, of Toronto Township in 1806, and the area was opened up for Euro-Canadian settlement. The northern area or New Survey of Toronto Township was acquired by the British government in 1818 and surveyed in 1819. Administratively, Toronto Township was located in the Home District in the early 19th century.

The principal transportation roads in Toronto Township were constructed in the first part of the 19th century. Dundas Street was opened in the early 19th century as an important military route between York (Toronto) and London. Lakeshore Road, also opened in the early 19th century, and it was a main transportation route along the northern shore of Lake Ontario that provided a link between York and settlements to its west. Centre Road (Hurontario Street), which divided the township into east and west parts, was opened

soon after the township survey. Concessions in the New Survey were numbered East of Hurontario Street (EHS) and West of Hurontario Street (WHS). As settlement progressed, other township roads were opened in the first half of the 19th century including Eglinton Avenue, known as the Base Line, as the boundary line between the old and new surveys.

Smith's Canadian Gazetteer (1846) describes Toronto Township as follows.

□This is one of the best settled townships in the Home District: it contains a large portion of very excellent land, and a number of well cultivated farms. For from two to three miles from the lake the land is light and sandy, and the timber principally pine; afterwards, it becomes rolling, and the timber the best kinds of hardwood. The Rivers, Credit and Etobicoke both run through the township. The village of Cooksville is situated in the township on the Dundas Street; and the villages of Springfield, Streetsville, Churchville, and Port Credit, on the River Credit□ the first is situated on Dundas Street, and the last at the mouth of the River Credit. There are four grist and twenty-one saw mills in the township. Population in 1842: 5,377.□¹

With the advancement of settlement, hamlets and villages emerged, often established along the waterways such as the Credit River and Etobicoke Creek and on land routes leading to York. The Tremaine Map of the County of Peel (1859) shows the Old Survey communities included Port Credit, Springfield (Erin), Cooksville, Sydenham (Dixie), Summerville and Sandhill (Burnhamthorpe). In the New Survey, they included Streetsville, Barbertown, Meadowvale, Derry West, Malton, Meadowvale and Churchville.

By the 1870s, most of present-day Mississauga comprised agricultural land outside of the villages that included fruit orchards. The north and south maps of Toronto Township contained in the *Illustrated Historical Atlas of the County of Peel* (1877) show a well-developed agricultural landscape with numerous farmsteads, a local road system, hamlets and villages. The *Illustrated Historical Atlas* describes Toronto Township as follows.

□Where were dense wildernesses and howling of the wild beasts are now beautifully cultivated farms and almost palatial residences. Toronto Township contains a large portion of arable land, the greater portion of which is rolling. The soil varies in quality, some portions of it being sandy loam, while others are stiff loam and clay□ The River Credit runs through the western portion of the Township, and has proved a great source of wealth to its inhabitants, as it is not only a good watering stream, but there are endless mill privileges the whole length of the river, which has been largely utilized in this Township□ The principal and only incorporated village in the Township of Toronto is Streetsville.□²

¹ W.H. Smith, *Smith's Canadian Gazetteer* (Toronto: H. & W. Rowsell, 1846) 192-193.

² *Illustrated Historical Atlas of the County of Peel* (Toronto: Walker & Miles, 1877) 60.

Railway development in the township began in the 1850s with the construction of the Hamilton Toronto Railway along the lakefront. This railway became part of Great Western Railway before the Grand Trunk Railway acquired it. The Credit Valley Railway (CVR) was incorporated in February 1871 to construct lines from Toronto north to Orangeville and west to Milton, Woodstock, Ingersoll and St. Thomas via Streetsville. A branch from the Forks of the Credit ran to Fergus and Elora. Surveys were undertaken in 1873 and construction began in 1874; the railway line opened as far as Milton in 1877, Galt in 1879, and St. Thomas in 1881. To the north, tracks reached Brampton by 1878 and the challenging Credit Forks trestle was completed in 1879. The line was opened to both Orangeville and Elora in December 1879. The CVR was amalgamated into the Ottawa & Quebec Railway in November 1883 and became part of the Canadian Pacific Railway the following year.

Early 20th century topographic maps show the steady progress of development in Toronto Township northward from the lakefront. Key routes in the township became part of the provincial highway system. In 1917, Lakeshore Road became Provincial Highway 2. It continued to serve as a main transportation route between Toronto and Hamilton until the opening of the Queen Elizabeth Way (QEW) in 1939. Dundas Street was designated Provincial Highway 5 in 1920 and Hurontario Street became Provincial Highway 10.

The Guelph Radial Line of the Toronto Suburban Railway (TSR), an electric interurban railway was constructed through Toronto Township in the first part of the 20th century. It was surveyed between West Toronto and Guelph in 1911, construction began in 1912 and the route opened on April 14, 1917. The Guelph Radial Line generally paralleled Dundas Street to Cooksville before veering to the northwest through Streetsville and Meadowvale. It carried on in a northwest direction to Georgetown before heading west to Acton and Guelph. The line remained in operation until 1931.

Post Second World War development accelerated in the 1950s, particularly in the vicinity of the QEW and then it moved northward. Large-scale residential developments in Mississauga, such as Erin Mills and Meadowvale, were developed in the 1960s and 1970s. Highway 401 was introduced into the landscape in the late 1950s while the Mississauga section of Highway 403 was opened in 1982.

With the exception of Port Credit and Streetsville, the Township of Toronto and its settlements were amalgamated in 1968 to form the Town of Mississauga. In 1974, when Mississauga became a city, Port Credit and Streetsville were annexed. The City of Mississauga experienced its greatest growth in the 1980s and 1990s. The population increased from 174,982 residents in 1971 to 321,289 in 1981 and 479,624 in 1991.³ In 2006, Mississauga had 703,292 residents.⁴

³ Historical Population in Peel with undercounts, Region of Peel from Statistics Canada.

Access: --<www.peelregion.ca/planning/pdc/data/census/population-1971-2006.htm> (March 28, 2012).

⁴ Ibid.

2.1.1 Meadowvale

Settlement in the Meadowvale area of Toronto Township began c1820 with the arrival of some 30 Irish families from the United States following the War of 1812. Lots of 200 acres each were awarded to the new immigrants. Two of the first lots taken up, namely Lots 10 and 11 in Concession 3 WHS, came to form the nucleus of the village of Meadowvale. The lack of roads, stores or mills in the northern part of Toronto Township hampered settlement and the early years were characterized by the frequent change of ownership of lands in the Meadowvale area. The establishment of mills on the Credit River included a sawmill by John Crawford in 1831 and a sawmill and a carding mill by John Simpson in 1836, which initiated a period of growth and prosperity. Francis Silverthorn took over Crawford's mill in 1844 and enlarged the complex to incorporate a gristmill. By the 1850s, Meadowvale had two hotels, a wagon shop, a foundry and a school. Mail was picked up in Derry West to the east of the village, until the opening of the Meadowvale post office in 1857.

Gooderham & Worts acquired an interest in Silverthorn's mill in 1860. The company expanded the mill complex, upgraded the equipment and increased production significantly. Gooderham & Worts established a large store and barrel and cooper factory in the village as well as purchasing land in the area. A Wesleyan Methodist church was constructed in Meadowvale in the 1860s. The *Illustrated Historical Atlas of the County of Peel* (1877) depicts the village extending between Second Line West to the Credit River and to the north and south of Derry Road. The route of the CVR with a station at the current intersection of Old Derry Road and Old Creditview Road passed to the west of the community in 1879. Despite the proximity of the railway, the milling business began to decline in the 1880s. Eventually Gooderham & Worts sold its Meadowvale interests and some of the mills closed.

By the early 20th century only one mill remained in operation. Subsequently, the remains of the large gristmill were demolished in 1957. Despite the loss of mill buildings, Meadowvale retained a large concentration of 19th century buildings. As a result of its distinct heritage character, the village was designated a Heritage Conservation District (HCD) under the *Ontario Heritage Act* in 1980, the first community in Ontario to be so recognized.

2.2 1200 Old Derry Road, Part Lots 9 & 10, Concession 3 WHS, Township of Toronto

The Crown Patent for all 200 acres of land on Lot 10, Concession 3 WHS, Toronto Township was issued to Evan Richard in 1824. The Credit River generally bisected Lot 10. Richard granted the property to Jane Heron in 1826 and Mathew Dawson bought it from Andrew Heron in 1828. Dawson's estate sold the property to John Simpson in 1837.

2.2.1 Simpson and Credit Grange Farm

John Simpson acquired ownership of the 200 acres of Lot 10, Concession 3 WHS on December 1, 1837 for £659. Land records indicate the property title was registered in November 1840.

John Simpson was born, with his twin brother George, to Joseph (c1765-1842) and Sarah Simpson (c1781-1870) in Slightholm Dale, Yorkshire, England on January 30, 1804. He married Mary Sigsworth on June 21, 1824, at Kirbymoorside, North Yorkshire, England. They had five children born in England, namely, Mary Ann (1824-1844); Sigsworth (1828-1857); Hannah Louise (1832-1927); Thomas (unknown); and Elizabeth Anne [Betsy] (1823-1927).⁵ Daughter Mary Ann died in 1844, and a daughter born in the same year was named Mary Jane (1844-1917). A daughter Sarah (c1845) is also noted in a family tree.⁶ No further information is known.

John's brother George Simpson and his sister Hannah moved to Upper Canada first and acquired land on Yonge Street near Aurora, Whitchurch Township. John and Mary Simpson and their five children, accompanied by John's parents, Joseph and Sarah Simpson, embarked on their sea voyage from England to Upper Canada on May 24, 1837 and arrived in Toronto in mid July. Initially, they moved to Whitchurch Township near Newmarket, which was an active Quaker community.⁷

In late 1837, John Simpson acquired 200 acres of land in Toronto Township comprising Lot 10, Concession 3 WHS. The Simpsons moved to this property, which was located along the south side of the current Old Derry Road from the Second Line West to Creditview Road, in 1838. They named their property Credit Grange Farm⁸ cleared 40 acres of land and built a log house. In 1856, Simpson bought the 100 acres of north half of Lot 9, Concession 3 WHS to bring his total ownership to 300 acres of land.

In 1837, Simpson constructed a dam on the Credit River, and in 1838, he built a sawmill, the second built in Meadowvale, on the south part of Lot 10, Concession 3 WHS to the east of the Credit River. He began harvesting the local pine forest and then sold the logs to the British Admiralty for ship masts. Simpson's saw mill thrived providing lumber for the earliest stacked plank houses built by local settlers c1838-1840. As well as the sawmill, Simpson established a carding mill to produce wool thread from sheep wool. This business was short-lived due to competition, such as the Barbertown Mill at Streetsville. The success of Simpson's mills attracted mill workers and provided the nucleus for the development of the village of Meadowvale. Simpson was a founder and prominent resident of Meadowvale.

⁵ M. Gail Crawford, *The Simpson family of Meadowvale* (Mississauga, Ontario: M.G. Crawford, 1992, n.p.).

⁶ Ancestry.ca. Chalmers Family Tree, John Simpson and Mary Jane Sigsworth.

⁷ Kathleen L. Hicks, *Meadowvale Mills to Millennium* (The Friends of the Mississauga Library System, Mississauga, Ontario, 2004) 16.

⁸ Ibid.

Simpson's father Joseph died on February 16, 1842, at 77 years of age⁹. In 1844, the Simpson's eldest daughter Mary Ann died at 20 years of age on September 10th,¹⁰ When another daughter, was born in the same year she was named Mary Jane. Around this time, the Simpsons built a one and-a-half storey frame house on their property.¹¹ The census return (1851) does not include Ward 2, the location of the Simpson property, and the agricultural census is missing. Son Sigsworth died at 29 years of age on December 24, 1851.¹²

Land records indicate Simpson sold land in 1854 for given roads on Lot 10, Concession 3 WHS. Part of the east half of Lot 10 at Meadowvale was sold in 1854 to George Bull. Land records indicate King's College granted John Simpson the northwest half of Lot 9, Concession 3 WHS in 1856; however the title was not registered until April 1879. The Tremaine Map (1859) shows John Simpson owned the north half of Lot 9 and all of Lot 10, Concession 3 WHS (**Figure 2**). Some subdivision had taken place in the northeast corner of Lot 10 at Meadowvale and the sawmill is depicted on Lot 10, Concession 3 WHS to the east of the Credit River. The map does not show any houses on the property; however, it is known the Simpsons had built at least two houses on their property at this time.

The census return (1861) notes Simpson had 200 acres of land under cultivation, with 140 acres in crops, 57 acres in pasture and 3 acres with orchards and/or gardens with various fruit crops. The family, John, Mary and daughter Mary Jane lived in a one and-a-half storey frame house. The household also included seven employees. The farm was valued at \$15,000 and included livestock and horses. Simpson's mill employed two persons and produced 50,000 board feet of lumber per year, earning \$3,000.¹³

Although born a Quaker, Simpson became a devout Wesleyan Methodist later in life. Meadowvale was known as a Methodist community and in June 1842, the first Methodist Camp Meeting was held on the Simpson's property with 500 people camping in tents and temporary shanties constructed from wood remnants from the sawmill.¹⁴ In 1860, he donated land to the local Methodist congregation to build a church, now the United Church located at 1010 Old Derry Road. In the early 1860s, Simpson began to sell of parcels of land located to the east of the Credit River bridge in Meadowvale, including a two-acre property in 1861 to his daughter Mary Jane upon her engagement to Thomas Graham. They built a home, now located at 1020 Old Derry Road. In 1871, Simpson sold a small parcel of land to the local School Trustees for \$200, now 6970 Second Line West.

⁹ Find A Grave, Churchville Cemetery, Brampton, Ontario. Joseph Simpson.

Access: --<<https://www.findagrave.com/cemetery/2194809/memorial-search?firstName=&lastName=Simpson>> (April 2018)

¹⁰ Ibid., Mary Ann Simpson.

¹¹ Hicks, 27

¹² Find A Grave, Churchville Cemetery, Brampton, Ontario. Sigsworth Simpson.

Access: --<<https://www.findagrave.com/cemetery/2194809/memorial-search?firstName=&lastName=Simpson>> (April 2018)

¹³ Hicks, 27.

¹⁴ Ibid., 14.

Around 1870, the Simpsons built a large brick house, now at 1200 Old Derry Road, on the north part of the east half of Lot 9 at the boundary with Lot 10. The ground floor of the house included two kitchens, one for the workers and one for baking and food preparation, a pantry and dining room used daily. The second floor had a dining room used for guests only. Servants slept on the third floor in four bedrooms with a stove in one room for heat. Hired girls slept on the same floor as the Simpsons and the remainder of the farm help stayed in the other two houses on the property.¹⁵ Granddaughter Sophia Emily Reeve Crawford remembered the family farm had three log houses and that her grandparents lived in two of them before the brick house.¹⁶ As well she noted the Simpson farm was “some establishment” and it included a blacksmith shop.¹⁷

The census return (1871) notes John and Mary Simpson lived with 16 year-old Albert Simpson [Albert S. Lambe].¹⁸ The household also included two farm labourers and a female servant. Schedule 1, Return of Public Institutions and Real Estate indicates John Simpson owned a total of 750 acres of land, six houses, six barns or stables. Schedule 4, Return of Cultivated Land notes Simpson was the owner of the 50 acres he occupied on Lot 10, Concession 3 WHS. Three acres were in pasture and three in gardens or orchards. The crops included wheat, barley, oats, peas, potatoes, hay, grapes and pears, plums and other fruits. At the same time, 38 year-old farmer Joseph Matthews and his family were recorded as tenants on 160 acres of Lot 10, Concession 3 WHS, all improved and occupied, and 27 year-old farm labourer James Cullen and family as tenants on ¼ acre of land on Lot 10, Concession 3 WHS. Simpson is not recorded as the owner of land on Lot 9, Concession 3 WHS; however, Jacob McCracken is recorded as the owner of all 200 acres of Lot 9. The county directory for 1873-74 records John Simpson and James Matthews on Lot 9, Concession 3 WHS.¹⁹

On November 1874, the Simpson sawmill was destroyed by fire. It was quickly rebuilt with a turbine wheel²⁰ and was depicted in the *Illustrated Historical Atlas* (1877) in the illustration of the “Residence & Mills of John Simpson, Esq., Meadowvale, Toronto Township” (**Figure 3**). The 1877 Toronto Township map shows subdivision of the northeast corner of Lot 10 at Meadowvale and a given road running southeast in a diagonal manner across Lot 10 from Old Derry Road at Meadowvale to the boundary with Lot 9 and then running west to the Creditview Road. This road provided access to the sawmill and two houses on the east part of Lot 10 and a house on the northeast part of Lot 9, now the main house at 1200 Old Derry Road. In addition, the map depicts two houses in the southwest corner and two houses in the northwest corner of Lot 10 on Creditview Road.

¹⁵ Ibid., 27.

¹⁶ Crawford

¹⁷ Ibid.

¹⁸ City of Mississauga, *Meadowvale Village Heritage Conservation District Plan, 2014, Cultural Heritage Assessment of Meadowvale Village and Area, Schedule B.2*, 19; and Hicks, 59 and 62. This book notes Albert S. Lambe was born in 1854 and after the death of his parents raised by the Simpson family from 1860 onwards. His name became Albert Simpson Lambe.

¹⁹ John Lynch, *Directory of the County of Peel for 1873-74* (Brampton, 1874) 124 and 125

²⁰ Hicks, 28.

John Simpson's mother Sarah died on November 2, 1870, in her 89th year and is buried in the Churchville Cemetery with her husband.²¹ Simpson died in his 75th year on December 24, 1878, by accidental drowning after slipping and falling into the millrace.²² He is buried in the Churchville Cemetery.²³

After John Simpson's death, land records indicate his heirs provided a quit claim to his daughter Mary Graham. Together with her husband Thomas Graham, they managed the property by leasing until 1888 when it sold to James Jackson.

Widow Mary Simpson died on September 12, 1883, at 78 years of age, and is buried with her husband John in the Churchville Cemetery.²⁴

2.2.2 Jackson Family and □Credit Grange Farm□

When Mary and Thomas Graham bought the Gooderham property in 1888, they sold the family property. Land records indicate James Jackson paid \$24,000 on November 30, 1888 for the property with the land title registered on December 1, 1888.

James Jackson was born circa 1840 in Downsview, York Township, to Francis Jackson and Margaret Johnston. He married Annie Graham and they had four sons, Francis (Frank) Joseph, J. Ernest, Thomas Percy and Fred G. He moved Toronto Township in 1869 and settled on a farm at Mount Charles and before relocating to Meadowvale in 1888. A county directory for 1890 notes James Jackson of Meadowvale and F.J. Jackson of Mount Charles were freeholders of property on Lot 10, Concession 3, WHS, Toronto Township.²⁵ James Jackson served as the reeve of Toronto Township (1891), reeve and deputy reeve for the Town of Brampton and the warden of Peel in (1904) and as a Justice of Peace (1906). James Jackson died in Brampton in 1923, and is buried in Brampton.²⁶

The census return (1891) notes Francis, a farmer, and Annie Jackson and son Herbert lived in a two-story brick house with eight rooms in Toronto Township. In 1895, James Jackson sold the land on Lot 9, Concession 3 WHS to his son Francis J. Jackson. Jackson retained the name of □Credit Grange□ for the farm and lived in the former Simpson home. In 1908, James Jackson sold the remainder of his property to William Harris. Later, in 1910, Frank [Francis] Jackson bought the acreage back from Harris.

Francis (Frank) Joseph Jackson was born on May 21, 1865, son of James Jackson and Annie Graham. He married Annie May Hornby, born in 1867, daughter of William

²¹ Find A Grave, Churchville Cemetery, Brampton, Ontario. Sarah Simpson.
 Access: --<<https://www.findagrave.com/cemetery/2194809/memorial-search?firstName=&lastName=Simpson>> (April 2018)

²² Ibid., 28.

²³ Crawford.

²⁴ Ibid., Mary Simpson.

²⁵ *Union Publishing Co.'s Farmers' and Business Directory for the Counties of Dufferin, Peel and York* (Ingersoll: Union Publishing Co., of Ingersoll, 1890) 190.

²⁶ Heritage Mississauga, Heritage Resources, Heritage Profiles, Jackson, James.
 Access: --<<https://www.heritagemississauga.com/page/Frank-Joseph-Jackson>> (April 2018).

Hornby and Hannah Garbutt of Toronto Township, on March 6, 1889.²⁷ Their children included: Herbert R. (b. 1890), Florence May (b. 1891), Ethel Irene (b.1892), James Cecil (1894-1899) William Hornby (b.1895), Fred Arthur (b. 1899), Edith Marie (b. 1906), James Louis (b.1908) and Francis Thomas (b.1911?).

A county directory for 1900 identifies Frank Jackson of Meadowvale and James Jackson of Brampton as landowners on Lot 10, Concession 3 WHS. The census return (1901) records Francis and Annie Jackson living in Toronto Township. Frank was noted as a farmer and owner of 150 acres of land on Lots 9 and 10, Concession 3. The property included one brick house with ten rooms and seven barns or stables buildings and a silo. A sketch in a local history indicates the existing brick residence, known as the Simpson-Humphries House, was the home of Francis Jackson.²⁸

Frank Jackson served as the reeve of Toronto Township (1908 to 1909) and the warden of Peel County (1909), which made the Jacksons the only family in Peel County to have both a father and son serve as the warden.²⁹

A county directory for 1911 notes F.J. Jackson of Meadowvale was a free holder of land on Lot 9, Concession 3 WHS and James Jackson of Brampton a freeholder of Lot 10, Concession 3 WHS.³⁰ The census return (1911) records Francis and Annie Jackson as residents with their children: Florence, Ethel, William, Fred, Edith, James and Frank on Lot 10, Concession 3, Toronto Township.

Frank Jackson sold his Meadowvale farm on Lots 9 and 10, Concession 3 WHS in Toronto Township to Goldwin Larratt Smith in 1912. The Jackson family moved to the Town of Brampton. Frank Jackson died on May 15, 1937 at his Brampton home and is buried in Brampton.³¹

2.2.3 Goldwin Larratt Smith and □Sanford Farm□

In May 1912, Toronto barrister-at-law Goldwin Larratt Smith bought the Meadowvale farm property from Francis Jackson, which comprised the northwest half of Lots 9 and 10, Concession WHS, for \$9,973. Smith renamed the property □Sanford Farm□³²

²⁷ Ancestry.ca. AO [Original Source]. Ontario, Deaths, Marriages, 1826-1936, #009599. County of Peel, Toronto Township, Francis Jos. Jackson, County of Peel Toronto Township,

²⁸ Hicks, 95. Illustration shown of the existing brick house by Harry Spiers and noted as the Home of Francis Jackson.

²⁹ Ibid., Jackson, Frank (Francis) Joseph. Access: --<<https://www.heritagemississauga.com/page/Frank-Joseph-Jackson>> (April 2018).

³⁰ *Union Publishing Co.'s Farmers' and Business Directory for the Counties of Dufferin, Halton, Peel, Waterloo and Wellington* (Ingersoll: Union Publishing Co., of Ingersoll, 1911) 145.

³¹ Ancestry.ca. AO [Original Source]. Ontario, Canada, Deaths and Deaths Overseas, 1869 -1946, #028768, County of Peel, Chinguacousy Township, Frank J. Jackson, May 15, 1937,

³² Sanford Farm is the correct name although various documents state Sandford Farm. A letter in the Perkins Bull Collection, PAMA from G.L. Smith to Perkins Bull identifies the property as Sanford Farm (formerly Credit Grange Farm).

G. Larratt Smith, known as "Goldie" in his young years,³³ was born at the family estate of Summerhill on July 2, 1872, son of Larratt William Violet Smith and Mary "Minnie" Elizabeth Smith. The child was named for historian and journalist Goldwin Smith, who was a close friend and confidant of Larratt W. Smith and a godfather of G. Larratt Smith.³⁴ Larratt W. Smith, trained as lawyer, was an influential and wealthy businessman. He was a founding director, and later senior member of the Consumers Gas Company and served on numerous business, social, and civic boards, including as Provost Chancellor and Vice-Chancellor of the University of Toronto, and in later years, as the President of the Royal Astronomical Society of Canada. With his large family, Larratt W. Smith lived on the estate known as Summerhill, now part of Rosedale in Toronto.³⁵

G. Larratt Smith was educated and a boarder at Upper Canada College where he won the prize for English composition. He graduated from Trinity College, University of Toronto with a Masters of Arts in 1893 and was admitted to the Law Society, as a student-in-law the same year. He was called to the Bar and admitted as a Solicitor in early 1896.³⁶ Smith joined the family, and prominent, Toronto-based law firm of Smith, Rae and Greer, later Smith, Rae, Greer and Cartwright. He became a successful Toronto lawyer and was appointed one of His Majesty's Counsel in 1928, was first elected a Bencher of the Law Society in 1930 and served as such until 1941 and acted as Chairman of the Finance Committee. The New East Wing of the Law Society was built largely under the guidance of G. Larratt Smith, who served as the Chair of the Building Committee. The building was said to be a memorial to Smith.³⁷

Smith was involved in many other civic-minded ventures and business enterprises during his lifetime and held memberships in various clubs such as, but not limited to the Toronto Club, the York Club and the Toronto Golf Club.³⁸ G. Larratt Smith's father Larratt W. Smith was involved in the founding of Christ Church Deer Park in Toronto. G. Larratt Smith served as a warden during the early years of the First World War.³⁹

In 1902, Goldwin Larratt Smith married Alice Bethune, daughter of Robert H. Bethune, the General Manager of the Dominion Bank, and Jane Francis Ewart.⁴⁰ The Smiths had four children: Frances Mary Larratt (1903-1985); Goldwin Bethune Larratt (1905-1962); Marion Cecily Larratt (1906-); and Anthony Larratt (1908-1944). Alice Smith died on

³³ Hugh Larratt-Smith, Dr. Larratt Smith Diaries.

Access: --<<http://hughlarratt-smith.com/>> (April 2018).

³⁴ Ibid.

³⁵ Graham F. Scott, "A Century at Convocation Hall" *U of T Magazine*,

Access: --<<http://magazine.utoronto.ca/autumn-2007/convocation-hall-ceremony-u-of-t-traditions/>> (April 2018).

³⁶ Law Society of Upper Canada, Benchers of the Law Society of Upper Canada, Master List. xxix.

Access --<<https://www.lsuc.on.ca/PDC/Archives/Resources/Benchers/Benchers-of-the-Law-Society-of-Upper-Canada;-Master-List/>> (April 2018).

³⁷ Ibid., xxix.

³⁸ *The Society Blue Book Toronto* (New York: Dau Publishing Company, 1913) 148, 245, 246 and 249.

³⁹ Hugh Larratt-Smith, Dr. Larratt Smith Diaries.

⁴⁰ Ancestry.ca. TSB Cassels Family Tree, Alice Bethune.

April 24, 1917.⁴¹ Six years later on March 1, 1923, G. Larratt Smith married Ethel Isabella Baldwin, the daughter of Harry St. George Baldwin and Amelia Pentland and the granddaughter of Robert Baldwin, third premier of Canada West.⁴² The Smith family residence for many years was 19 Forest Hill Road, Toronto.⁴³

In 1922, Smith bought an additional 68 acres on Lot 9, Concession 3 WHS from William McCracken. On his Meadowvale farm, G. Larratt Smith concentrated on raising prize-winning Shorthorn cattle.⁴⁴ In a letter to Perkins Bull, dated July 8, 1932, Smith stated he purchased the farm property with the specific intent of re-establishing the Durham or milking Shorthorn cattle in Ontario.⁴⁵ Smith commented most of the existing cattle were of the beef type and had lost the dual-purpose quality of milk and beef. In 1920, he was elected President of the newly organized Dual-Purpose Shorthorn Club, which was established to encourage the breeding of shorthorn cattle for both milking and beef.⁴⁶ In his book, *Shorthorn Cattle in Canada*, Duncan Marshall provides a detailed description of the herd of G. Larratt Smith, practicing barrister of Toronto and farmer of Meadowvale, Ontario and one of the most enthusiastic breeders of dual purpose Shorthorns to be found in Canada.⁴⁷

G.L. Smith and his prize winning Shorthorns from his Meadowvale farm were noted in numerous *Globe & Mail* articles as participants and winners in major cattle shows, exhibitions and fairs in the 1920s and 1930s. In 1921, "Ruby A." the property of G.L. Smith, Meadowvale, was judged as champion female at the Canadian National Exhibition.⁴⁸ At the Canadian National Exhibition (CNE) in 1930, G.L. Smith took the championship of Shorthorn cattle with "Neralcam Dairy King".⁴⁹ In 1931, at a Chicago Livestock Exhibition "Neralcam Dairy King" was adjudged grand champion bull of the milking Shorthorn breeds and was given an award for senior champion.⁵⁰ In 1930, a Toronto newspaper noted Sanford Farm of Meadowvale had purchased the late W.P. Fraser's high-class herd of dual-purpose shorthorn cattle, and *this addition makes the Sanford farm herd the largest in Canada of this popular breed*.⁵¹ As Smith related to Bull in 1932,

⁴¹ Canada, Find A Grave Index, 1600s-Current. Mount Pleasant Cemetery, Toronto, Ontario. Alice Bethune Smith, April 24, 1917. Access: --<<https://www.findagrave.com/memorial/154368890/alice-smith>> (April 2018).

⁴² Ancestry.ca, Original Source, OA, Ontario, Canada, Marriages, 1826-1936. #3714, City of Toronto, Goldwin Larratt Smith to Ethel Isabel Baldwin, March 1, 1923.

⁴³ Address noted on various source including the Canada Census, Ontario, Toronto North, Ward 4, 5; *The Society Blue Book Toronto* (New York: Dau Publishing Company, 1913) 148.

⁴⁴ Hicks, 28.

⁴⁵ PAMA, Wm Perkins Bull Family Files, "Smith" letter to Perkins Bull from G.L. Smith, July 8, 1932.

⁴⁶ "Livestock Men Are Preparing For Fair Here" *The Globe & Mail* (February 3, 1920), 8.

⁴⁷ Duncan Marshall, *Shorthorn Cattle in Canada* (Toronto: Dominion Shorthorn Breeders' Association, 1932) 416.

⁴⁸ "Brave Showing by Shorthorns" *The Globe & Mail* (September 7, 1921) 6.

⁴⁹ Shorthorn Cattle Judged Classes are Well Filled" *The Globe & Mail* (September 2, 1930) 13.

⁵⁰ "Fine Showing Made by Ontario Cattle" *The Globe and Mail* (December 5, 1931) 1.

⁵¹ "Herd Changes Hands" *The Toronto Daily Star* (February 27, 1930) 34.

I cannot say that my farm has been a success from a financial point of view, but, I did not embark on the enterprise with the object of making money, and, it has added a creative element to my ordinary life's work, in that it has supplied a creative or productive element to a career which otherwise could be described as 'parasitic'. In other words, the money that I have extracted from my clients has, to some extent, been put to good use of restoring to the country a sound breeding stock clear of disease and reasonably effective for the purposes for which they are intended, that is to say, the production of beef and milk.⁵²

Smith also noted to Bull,

My cattle have won many prizes and trophies, but, these successes are, after all, only temporary. My ambition is to produce animals that will serve as monuments to my work.

In 1931, the architectural firm of Baldwin⁵³ & Greene of Toronto was retained to design a cottage at Sanford Farm in Meadowvale for Mrs. G.L. Smith.⁵⁴ The design went through various changes from October 25, 1931 to February 1, 1933, the issue date of the contract drawings. Drawing Nos. A-1 and A-2 (February 29, 1932 and Contract drawing, February 1, 1933) show a one-storey stucco-clad frame residence with internal brick chimney, cedar shingles and copper gutters and flashings (**Figures 6 and 7**). Drawing No. A-3 depicts exterior and interior details, such as built-in cupboards, sideboard and mantle (**Figure 8**). Drawing No. A-4 indicates an alteration to the design of the south elevation resulted in a bay window replacing the initial Palladian style window (**Figure 9**). As a result of the Smiths relocation to the new residence, the 19th century brick farmhouse was either left unoccupied or used to accommodate farm workers.⁵⁵

On June 21, 1933, during a heavy rainstorm, a lightning strike started a fire in one of the barns on the property. The flames spread quickly and destroyed four barns. Hay, grain and farm equipment was lost along with the buildings. Estimated value of the damage varied between \$15,000 to \$20,000 and \$30,000 to \$40,000. All the livestock in the barns, comprising between 45 to 65 head of Shorthorn cattle, was rescued. The destroyed barns were described as one large, older barn dating to c1893 and three modern buildings adjoining each other.⁵⁶ The *Brampton Conservator* reports the Brampton fire brigade was able to save a silo at the west end of the large barn and the foundations.

⁵² PAMA, Wm Perkins Bull Family Files, [Smith] letter to Perkins Bull from G.L. Smith, July 8, 1932.

⁵³ The fathers of Lawrence Counsell Baldwin of Baldwin & Greene and Ethel Isabella Baldwin, second wife of G. Larratt Smith, were step-brothers and sons of William Augustus Baldwin.

⁵⁴ TA, Fonds 444, Baldwin and Green, Architects, Series 2387, File 5 (specifications) and File 6 (drawings).

⁵⁵ Interview with James Humphries, April 19, 2018.

⁵⁶ [Four Barns Burned with \$20,000 Loss] *Brampton Conservator* (June 22, 1933). 1; [Brampton, [Struck by Lightning Fire Destroys Barns] *The Toronto Daily Star* (June 22, 1933) 27; and, [Bolts Start Fires, And Sudden Rain Drenches Crowds: Woman Finds Radio in Flames and Animals Are Rescued From Barn Set Ablaze by Lightning at Meadowvale Hailstones Fall as Big as Dimes] *Globe & Mail* (June 22, 1933) 9.

An undated insurance plan of the G. Larratt Smith property completed by Tomenson, Saunders, Smith and Garfat⁵⁷ depicts the type and layout of the Sanford Farm buildings sometime after the fire in 1933 (**Figure 10**). The plan shows the property was divided into two parts, the Home Farm with the large, two-storey brick residence, a one and-a-half storey frame residence for the foreman, a one-storey frame residence for the owner, two large barn structures, an implement shed/garage and cold storage and a wood frame hen house and the North Farm with a one-storey frame residence and two smaller outbuildings.⁵⁸ The two barns are in the same location and generally the same size as two oldest barn structures currently on the property.

Smith's son, Captain Anthony Larratt Smith, 12th Field Regiment, Royal Canadian Artillery, 16th Battery, was killed in action in Normandy, France on July 27, 1944. Captain Smith had enlisted in 1939 and sent overseas to England in 1941, where he was stationed until the 1944 Invasion. Smith was educated at Trinity College and St. Andrew's College and the University of Toronto. Prior to his enlistment he was a partner in the insurance firm of Tomenson, Saunders, Smith and Garfat, which prepared the 1933 insurance plan. Noted as a prominent horseman, Anthony Larratt Smith was a member Toronto Polo Club, the Eglinton Hunt Club and the Ontario Jockey Club and was involved in steeple chasing as an amateur rider and trainer.⁵⁹

Local history noted G. Larratt Smith did not visit Sanford Farm much in the years prior to his death, probably due to ill health.⁶⁰ Corroborating this story, his obituary confirmed Smith had been in poor health for about ten years prior to his death.⁶¹ G. Larratt Smith died at his Toronto home on October 2, 1948, leaving his wife Ethel Smith and three surviving children, namely, Mary Goldie, Bethune Smith and Cecily Robertson. Smith is buried in Mount Pleasant Cemetery, Toronto, with his first wife Alice Bethune.⁶² In a memorial to Smith from the Law Society of Upper Canada, it was noted,

*Mr. Smith's interest in the profession was constant throughout his life, his practice was a large one but he found time to enjoy many outside interests, one of them, perhaps the nearest to his heart after his family, and his profession, a model farm where he got together a famous herd of Shorthorn cattle.*⁶³

⁵⁷ Anthony L. Smith, the son of G.L. Smith was a partner in this insurance firm in the late 1930s.

⁵⁸ Plan for G. Larratt Smith, Esq. Sandford Farm, Meadowvale, Situated on Lots 9-10, Conc. No. 3, Township of Toronto, County of Peel, Ont. Toronto, Ontario: Tomenson, Saunders, Smith & Garfut Ltd., Agt. n.d.

⁵⁹ Hugh Larratt-Smith, Dr. Larratt Smith Diaries; and, LAC, Canadian Virtual War Memorial, In memory of Captain Anthony Larratt Smith, July 27, 1944.
 Access: --<<http://www.veterans.gc.ca/eng/remembrance/memorials/canadian-virtual-war-memorial/detail/2060238>> (April 2018)

⁶⁰ Interview with James Humphries, April 19, 2018.

⁶¹ □Obituaries, Noted Canadian Lawyer Goldwin L. Smith Dies□ *The Globe & Mail* (October 6, 1948) 9.

⁶² Canada, Find A Grave Index, 1600s-Current. Mount Pleasant Cemetery, Toronto, Ontario. Goldwin Larratt Smith, October 2, 1948. Access: --<<https://www.findagrave.com/memorial/154368890/alice-smith>> (April 2018).

⁶³ Law Society of Upper Canada, *Meeting of Convocation* (October 21, 1948) xxix.

Access: --<https://archive.org/stream/meetingconvocation4551/meetingconvocation4551_djvu.txt> (April 2018).

An obituary in the *Toronto Daily Star* noted Mr. Smith owned a large herd of shorthorn cattle on his farm at Meadowvale.⁶⁴ In 1949, Ethel Smith and the Estate of G.L. Smith sold Lot 10 and parts of Lot 9, Concession 3 WHS comprising Sanford farm in Meadowvale to William Robert Boyce Humphries, who according to the Humphries family was a friend of G.L. Smith.⁶⁵ Ethel Smith died in 1958.

Daughter [Frances] Mary Larratt Smith was the author the publication, *Prologue to Norman: The Canadian Bethunes* (1976) and editor of *Young Mr. Smith in Upper Canada* (1980). Son Goldwin Bethune Larratt Smith became a member of the firm Smith, Rae, Greer and Cartwright. He married Anna Mae Hees, the sister of George Hees, a former federal politician from the 1940s to the late 1980s who served as the President of the Progressive Conservative Party of Canada and honoured as an Officer of the Order of Canada.⁶⁶

2.2.4 Humphries Family and Sanford Farm

William [Bill] Robert Boyce Humphries and Leone Alexandra Humphries bought Sanford Farm in 1949 from the Smith family. An interview with James Humphries indicates the main house was vacant when his family took possession and seemed to have been empty for some time.⁶⁷ According to his recollection, his parents restored the main house (*Figure 5*).

William Robert Boyce Humphries was born in Warkworth, Ontario on June 22, 1888, the son of Henry Hurl Humphries and Caroline M. Boyce. Henry and Caroline Humphries married in England and arrived in Canada in 1884. William's father Henry Humphries died in 1892, and his mother Caroline in 1897. William and his brother Henry then moved to England in 1897 to live with their maternal aunt Adelaide Louisa Boyce Mortimer and uncle Henry Mortimer in Bath, Somerset. William received his education in England. In 1909 he arrived in Canada with his brother although Henry returned to England in October 1909.

Back in England by 1915, William Humphries, noted as a broker by profession, enlisted in Shorncliffe, England in the Canadian Army Services Corps (C.A.S.C.) Training Depot as a private. He was appointed a commissioned rank in January 1916. During the First World War Lieutenant Humphries served in England and France with the C.A.S.C. Humphries was discharged from his military duties in May 1919, returned to Canada and established the Humphries Ltd. Real Estate Company on Danforth Road later the same year.

Leone A. Harris married William Robert Boyce Humphries on November 15, 1939, in Toronto. Leone Harris was born in Toronto on September 6, 1902, the daughter of James Marston Harris (1878-1929) and Ada Florence Wagstaff (1878-1951). James Marston

⁶⁴ In Oldest Law Firm Bury Goldwin Smith, *The Toronto Daily Star* (October 6, 1948) 9.

⁶⁵ Interview with James Humphries, April 19, 2018.

⁶⁶ Hugh Larratt-Smith, Dr. Larratt Smith Diaries.

⁶⁷ Interview with James Humphries, April 19, 2018.

Harris was the managing director of the family Harris Abattoir Company of Toronto. In 1927, the Harris Abattoir Company Limited acquired three smaller meat packers Gunns Ltd., the Canadian Packing Company Ltd., and William Davies Ltd., Canada's oldest meat packer. The new holding company was named Canada Packers Limited with the four firms operating separately and the Harris Abattoir offices on Strachan Avenue in Toronto as the central headquarters. The Harris family lived at 646 Broadview Avenue, Toronto for many years.⁶⁸ Ada Wagstaff was the daughter of David Wagstaff (1842-1928) and Matilda Sear (1848-1917). David Wagstaff managed the family business, Wagstaff Brickyards, located in Leslieville, now Toronto.⁶⁹

The Humphries had two sons, James [Jim] Hurl, born November 16, 1941, Toronto, and William Brian Geoffrey, born September 13, 1944, Toronto. Land records indicate in March 1949, Ethel L. Smith [widow of G. Larratt Smith] and others, as executors of Goldwin L. Smith, sold Sanford Farm to William C. Harris, Hugh J. McLaughlin, Trustees for the James Harris Estate, for \$2.00 and consideration.

Immediately following the purchase of the property from the Smith estate in 1949, William R.B. Humphries and Leone Harris Humphries and their two sons moved to Sanford Farm at Meadowvale where they resided for many years.⁷⁰ Son James [Jim] Humphries, who owned the property until May of 2018, married Judith Helen Pullar on May 6, 1972, and they had two children.

Land records indicate in January 1979, William C. Harris, Trustee, granted Lot 10 and part of Lot 9 to James H. Humphries, William B. G. Humphries, William C. Harris, Kenneth S. Harris [brother of Leone Humphries], Leone G. Humphries and Robert McLaughlin, trustee and executor of the James Harris Estate.⁷¹ Jim Humphries had taken over the farm operations after the death of William Humphries on March 25, 1980. Leone Humphries died on October 25, 1988, and her sons, Jim and William Humphries, became the owners of Sanford Farm.

Jim and Judith Humphries continued to live on Sanford Farm with their family. During the latter part of the 20th century and into the 21st century, Jim Humphries continued the Smith tradition of raising Shorthorns at Sanford Farm as dairy and beef cattle and after 1992, only for beef. Most recently the farm has been used solely for hay production and there has been had no livestock at Sanford Farm for a number of years. At times the farm had lambs, chickens, apple orchard, maple syrup, etc.

Sanford Farm was sold on May 23, 2018.

⁶⁸ The James Harris House at 646 Broadview Avenue, Toronto, is a municipally designated property under the OHA.

⁶⁹ Leslieville Historical Society. Wagstaff Brickyards.

Access: --<<https://leslievillehistory.com/albert-henry-wagstaff-laughing-from-beyond-the-grave/>> (April 2018).

⁷⁰ LRO, Abstract Index, Peel County, Toronto Township, Lot 10, Concession 3 WHS, Instrument #55063, Grant, registered March 31, 1949.

⁷¹ Ibid., Instrument #502213.



Figure 2. The Tremaine Map of the County of Peel (1859) shows the John Simpson property with a sawmill on Part Lots 9 & 10, Concession 3 WHS of Toronto Township.

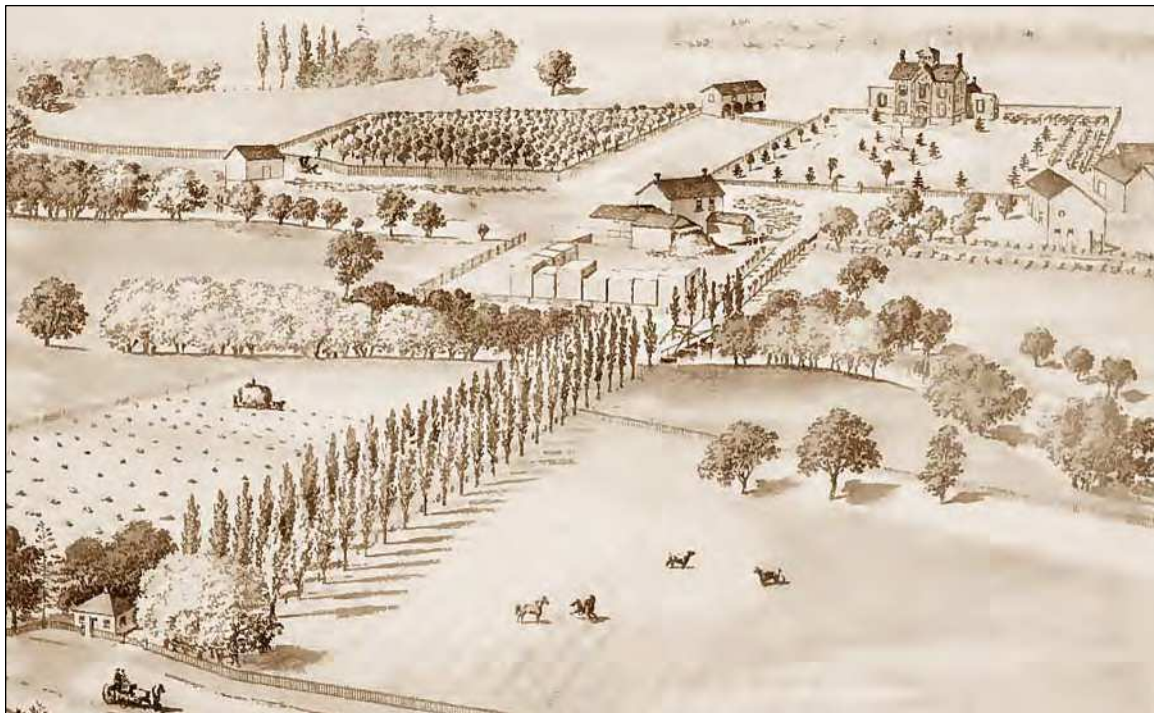


Figure 3. The Illustrated Historical Atlas of the County of Peel (1877) includes an illustration looking easterly from Creditview Road to the residence and mills of John Simpson.

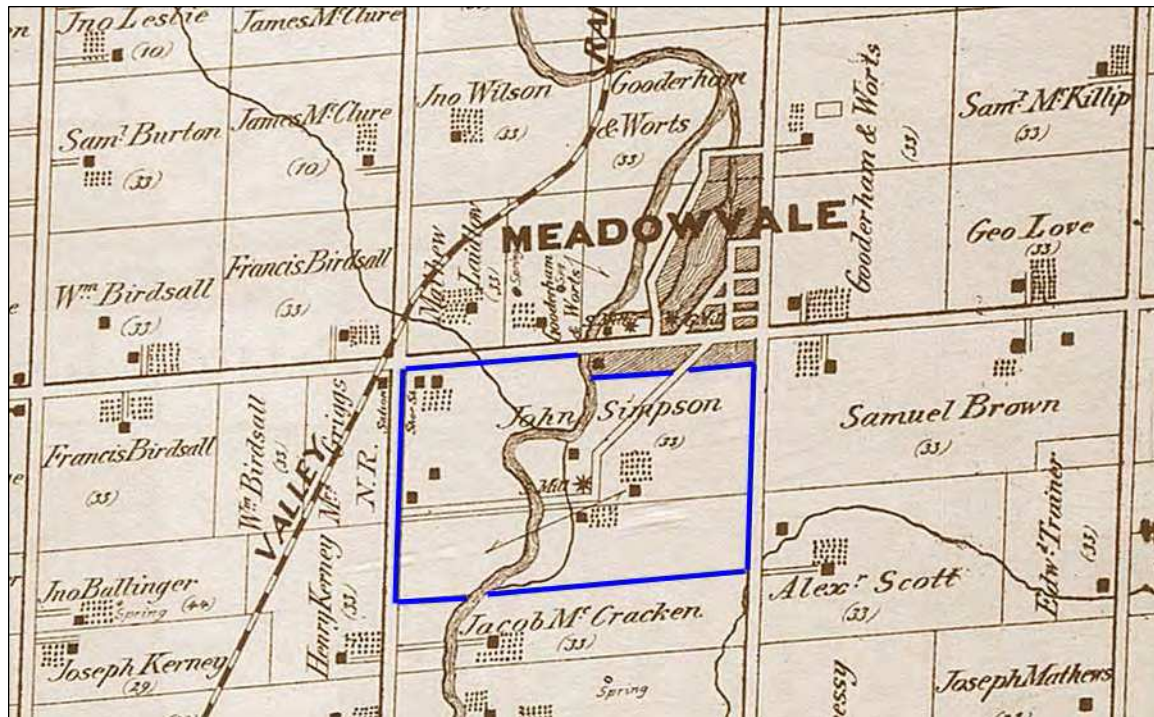


Figure 4. The Toronto Township map in the *Illustrated Historical Atlas of the County of Peel* (1877) depicts buildings, orchards, drive and mill on the John Simpson property in Meadowvale.



Figure 5. A photograph (no date, pre-1992) shows the Simpson-Humphries House during the ownership of Humphries [Crawford, 1992].

Heritage Impact Assessment Report
 Sanford Farm, 1200 Old Derry Road
 (Part Lots 9 & 10, Concession 3 WHS, Geographic Township of Toronto)
 City of Mississauga, Ontario

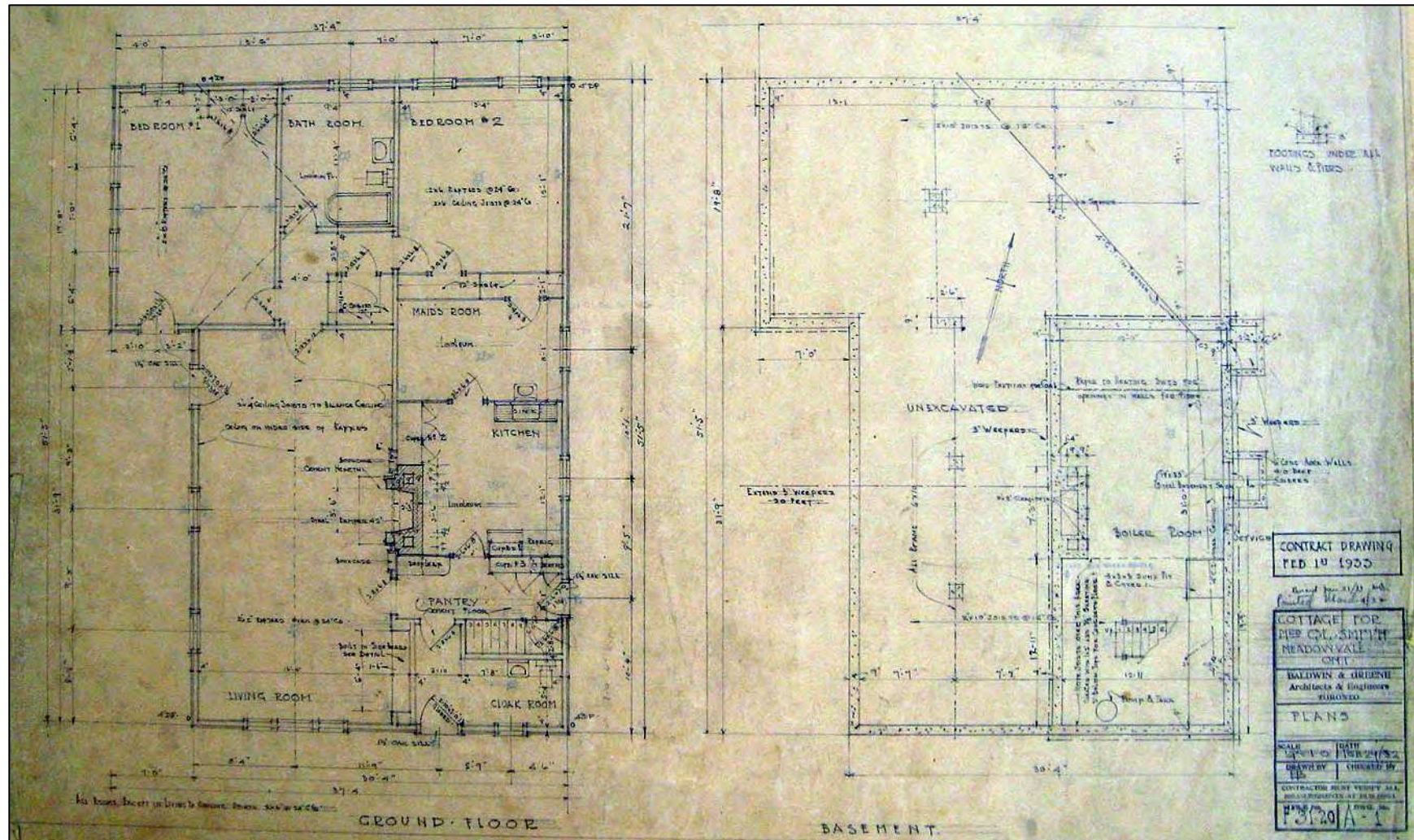


Figure 6. Baldwin & Greene, Architects & Engineers, Toronto, Cottage for Mrs. G.L. Smith, Meadowvale, Ont., Dwg. No. A-1, Plans, February 29, 1932, Contract Drawing: February 1, 1933 [TA, Fonds 444, Series 2387, File 6].

(Part Lots 9 & 10, Concession 3 WHS, Geographic Township of Toronto)
City of Mississauga, Ontario

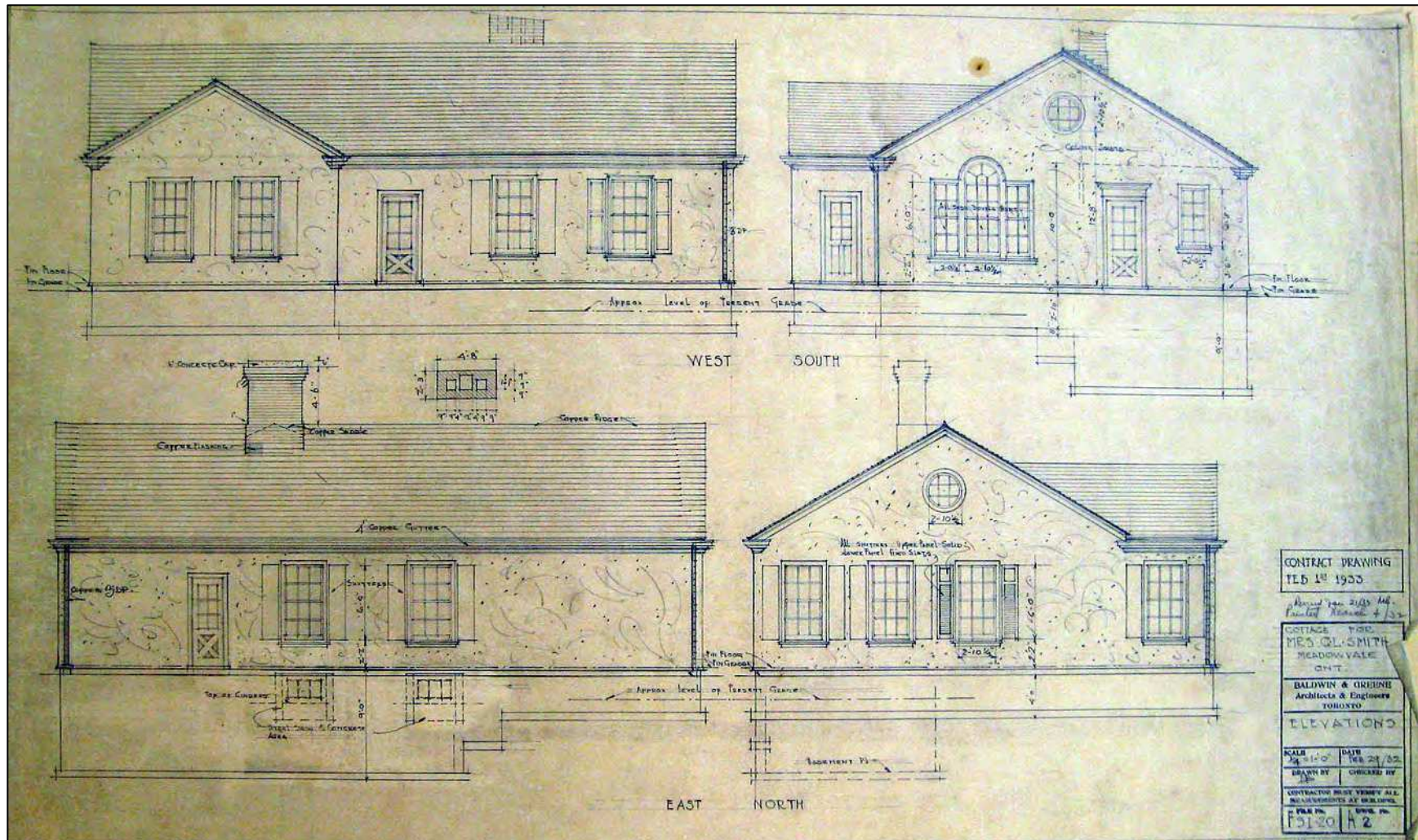


Figure 7. Baldwin & Greene, Architects & Engineers, Toronto, Cottage for Mrs. G.L. Smith, Meadowvale, Ont., Dwg. No. A-2, Elevations, February 29, 1932, Contract Drawing: February 1, 1933 [TA, Fonds 444, Series 2387, File 6].

Unterman McPhail Associates
Heritage Resource Management Consultants

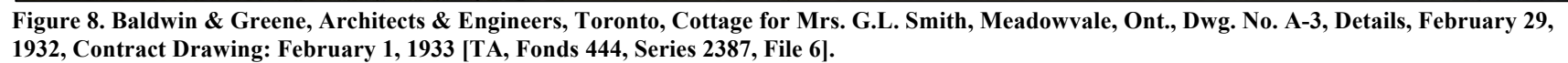


Figure 9. Baldwin & Greene, Architects & Engineers, Toronto, Cottage for Mrs. G.L. Smith, Meadowvale, Ont., Dwg. No. A-4, Alternative for Bay Window, February 6, 1933, Contract Drawing: February 1, 1933 [TA, Fonds 444, Series 2387, File 6].

Heritage Impact Assessment Report
 Sanford Farm, 1200 Old Derry Road
 (Part Lots 9 & 10, Concession 3 WHS, Geographic Township of Toronto)
 City of Mississauga, Ontario

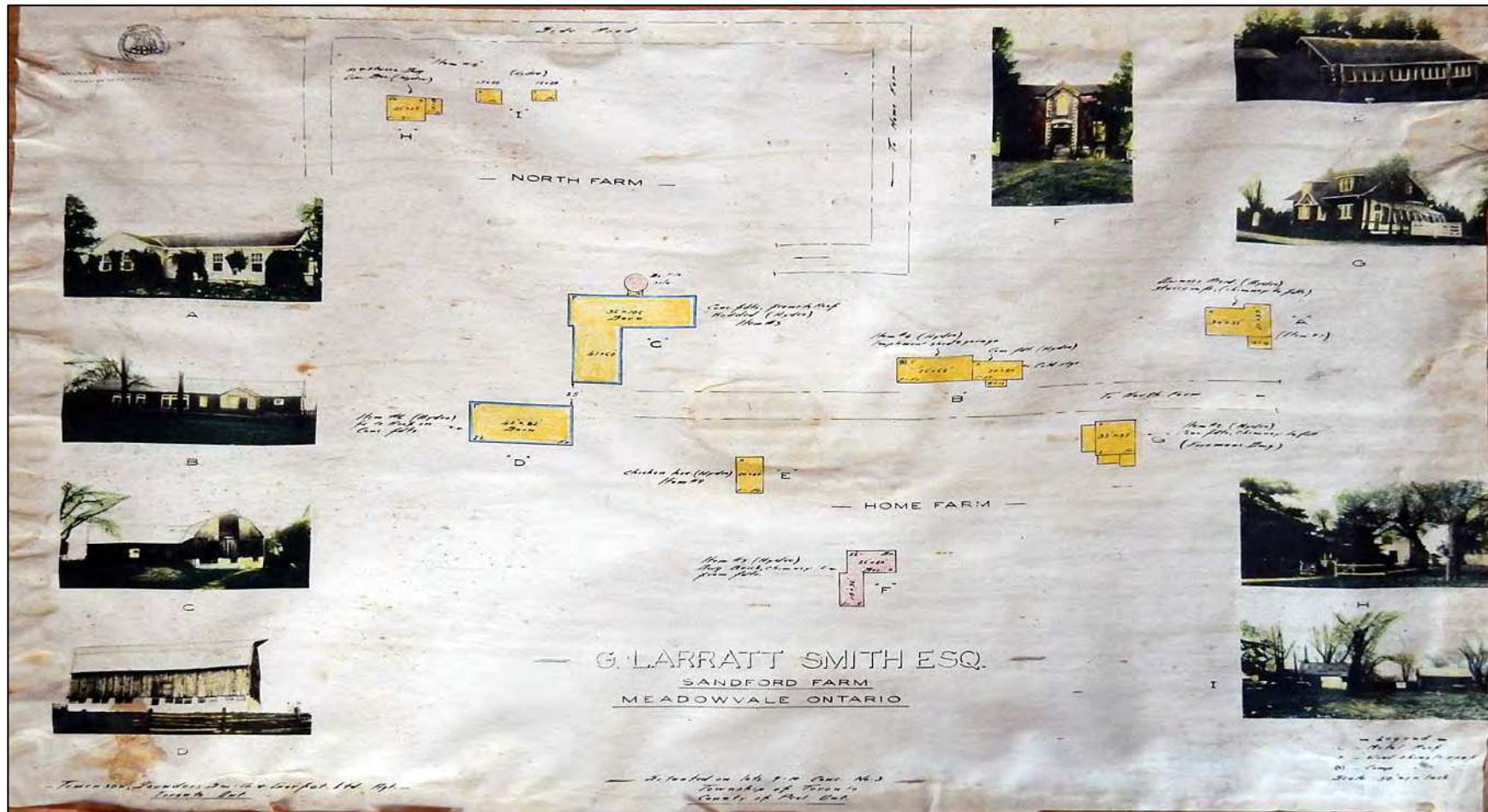


Figure 10. Tomenson, Saunders, Smith and Garfat, Insurance Plan: G. Larratt Smith Esq., Sandford [Sanford] Farm, Meadowvale, Ontario (no date) [James Humphries].

3.0 ASSESSMENT OF EXISTING CONDITIONS

3.1 Site Description

The subject property located at 1200 Old Derry Road comprises approximately 216.5 acres (876308.53 m²) in Part Lots 9 & 10, Concession 3 WHS geographic Township of Toronto. It is located in the northern part of the City of Mississauga just west of Meadowvale Village. The site is bounded Old Derry Road to the north, Highway 401 to the south, Creditview Road/Old Creditview Road to the west and a residential subdivision to the east. The Credit River flows in a southerly direction through the site.

The John Simpson family developed the property for agricultural and milling purposes in the late 1830s. Milling operation ceased after John Simpson's death in 1878; however, much of the land in Lots 9 & 10, Concession 3 WHS remained in agricultural use until 2018. Subdivisions of the property have occurred throughout its history. In the 19th century, John Simpson sold lots along Old Derry Road and Second Line West as part of the development of Meadowvale Village. In the 20th century, severances included the right-of-way for the Guelph Radial Line of the Toronto Suburban Railway in the east part of the site, 5 acres of Lot 10 in 1914 and another 2.4 acres in 1918 for the Rowancroft Gardens and the right-of-way for Highway 401 in the late 1950s, which separated the north and south parts of the property. Aerial photographs indicate the eastern portion of the site in proximity to Second Line West was redeveloped for residential purposes in the early 2000s.

The residual land comprising 1200 Old Derry Road is currently zoned as Greenland in proximity to the Credit River and Development for the balance of the site (**Figure 11**). Exceptions G1-7 and D-8 and D-9 permit the agricultural use legally existing on the date of the passing of the Zoning By-Law. As well, D-8 allowed for the enlargement of the existing dwellings, buildings and structures associated with an agricultural use and the construction of new buildings and structures associated with an agricultural use.

The City of Mississauga online property information identifies five (5) building permits for the property:

- HCC 50 237216, 1950-01-01, Historical Building-Simpson-Humphries House.
- HCC 60 237217, 1960-01-01, Adopted by Council-July 15, 1991, □Heritage Barn□
- HCC 60 305609, 1960-01-01, Historical Building #414, Sandford Farm.
- HCC 79 237218, 1979-08-29, Pool Code Spo 1467, P-27698.
- HCC 79 237219, 1979-09-05, Demo Code 9547.

Consultation with City of Mississauga staff indicates no detailed information is available on the work undertaken under each of the building permits.

1200 Old Derry Road contains a well-established farmstead comprising three residences, three barns, five outbuildings and three silos. A narrow drive leading into the site from Old Derry Road winds along the top of a ridge bordering the Credit River flood plain (**Figure 12**). Generally vegetation lines the drive but at times views of the river valley frequented by deer and waterfowl open up. Formerly the drive also connected to Creditview Road via a bridge over the Credit River (**Figure 13**); however, this access has been closed for many years. The Simpson-Humphries House was dominantly sited at the east end of the drive to Creditview Road (**Figure 14**). The agricultural buildings are grouped around the south end of the drive (**Figure 15**). The chicken house identified on the Tomenson, Saunders, Smith and Garfat Insurance Plan has been demolished while several newer agricultural buildings have been constructed to the south of the Simpson-Humphries House and east of the older barns. Agricultural fields extend to the east, south and west (**Figure 16**).

As identified on an aerial photograph (**Figure 17**), the following buildings and structures comprise the farm complex at 1200 Old Derry Road.

1. Owner's Residence

The Owner's Residence (**Figure 18**) is located to the west of the drive from Old Derry Road and to the north of the rest of the buildings. Baldwin & Greene, Architects of Toronto, designed this modest residence, which was constructed c1933. The one-storey building with partial basement is oriented north to south. It follows an 'L'-shaped floor plan with the short foot of the 'L' projecting to the west at the north end of the building. The gable roof has an internal chimney and is clad in asphalt shingles. The frame walls are finished in cream-coloured stucco. The door and window openings are rectangular in shape. The one-storey wing at the northeast corner of the building is a later addition. The interior retains period detailing in the living room, such as, wood panelled walls and ceiling, built-in sideboard and bookcases and brick fireplace with mantle. The rest of the house was not accessible.

2. Foreman's Residence

The Foreman's Residence (**Figure 19**) is located to the east of the drive and to the south of the Owner's Residence. It has most recently been used as the farm office. The date of construction is not determined; however, it stylistically relates to the 1920s or 1930s. The frame structure finished in wood shingles is one and-a-half storeys in height. One storey wings extend to the rear. A glass-enclosed porch, possibly a former greenhouse, is located on the south wall of the building. The asphalt-clad, side gable roof of the main house has two chimneys although the south chimney may be a later addition. The front elevation is oriented west towards the drive and features a symmetrical layout with central entranceway, three-part window openings to either side of the entry and shed dormers on the upper level. An open

porch with gable roof highlighted with timber detailing in the gable end, posts and low walls provides access to the main entry.

3. *Apple Store and Garage*

Located to the west of the drive, this one-storey structure traditionally had two functions, namely, the apple store (former) to the north and the garage (implement shed) to the south (**Figure 20**). Shed roof additions extend to the west and the south. The side gable roof is clad in corrugated sheet metal and the walls in horizontal wood siding. Two ventilators are located on the peak of the roof at the north end while a brick chimney is situated on the west side at the south end. A small gable roof projection at the north end of the apple store forms an enclosed unloading dock. An entry on the south side of the loading dock leads into the apple store. Three large openings fitted with double leaf doors distinguish the garage portion of the building. The interior of the apple store forms one large room with access to the basement provided in the southeast corner. The walls and ceiling are finished in wood siding. It is reported the walls are approximately 1-ft. [0.31 m] thick and both the walls and ceiling are insulated with sawdust.⁷² The space has most recently been rented for use as a workshop.

4. *Simpson-Humphries Residence*

The Simpson-Humphries House was designated under Part IV of the *Ontario Heritage Act* in 1983. The brick farmhouse built by and for the John Simpson family dates to c1870. The two-storey main house with a one-storey rear wing features a raised basement that historically housed the kitchen (**Figures 21 and 22**). The structure comprises a stone foundation and dichromatic brick walls with buff brick quoins and voussoirs.

The side gable roof of the main house has two end chimneys, eave returns and brackets at the eaves. Another chimney is located on the rear wing. The front elevation of the main house is oriented to the west and previously formed an attractive backdrop along the drive from Creditview Road. The three-bay front elevation is formally laid out with projecting frontispiece containing a central entranceway featuring a segmental arched transom light and half sidelights fitted with stained glass, a decorative arched opening on the upper level and decorative vergeboard. Large rectangular window openings are located to either side of the frontispiece. The north and south gable end walls are symmetrically arranged with two window openings on the basement, ground and upper levels. With the exception of a centre gable with buff brick diamond, the east (rear) elevation is austere treated with few decorative details or openings.

⁷² Interview with James Humphries, April 19, 2018

The gable roof of the rear wing has an internal chimney at the peak. Openings are generally regularly located on the south and north walls. The three-bay south elevation contains a central entry at the basement level with flanking window openings and three window openings on the ground floor. The north wall has two window openings on the basement level and three window openings on the ground floor.

Significant alterations include the loss of the belvedere once located in the middle of the main roof and depicted in the *Illustrated Historical Atlas* (1877) (see Figures 3 and 5). It was reportedly removed prior to 1940. Shutters identified as heritage features in 1982 have since been removed.

5. *Hay Storage*

The hay storage structure is a contemporary agricultural building (**Figure 23**). It runs east to west to the southwest of the Simpson-Humphries House. The rectangular building comprises a wood frame structure clad in corrugated sheet metal for the roof and walls. The gable roof has three ventilators spaced along the ridge. The south side is open for ease of access.

6. *Corn Storage*

The corn storage structure is a contemporary agricultural building (**Figure 24**). It is situated to the south of the hay storage structure and at the west end of two adjoining structures, namely the implement shed and the workshop. The structure is oriented east to west. The lower walls are cast-in-place concrete while the upper walls comprise an open wood frame. The wood truss gable roof structure is sheathed in corrugated sheet metal.

7. *Implement Shed*

The implement shed is reported to date to the 1950s (**Figure 25**).⁷³ It is set between and adjoins the corn storage to the west and the workshop to the east. Running east to west the rectangular structure has a gable roof, clad in corrugated sheet metal.

8. *Workshop*

The workshop is a contemporary agricultural building (**Figure 26**). The rectangular structure with gable roof abuts the east wall of the implement shed although it is considerably wider. Typically the walls and roof are clad in corrugated sheet metal.

⁷³ Ibid.

9. Lamb Barn and Silo

The lamb barn is reported to date to the 1970s and was constructed by a member of the Humphries family and farm workers.⁷⁴ The two-storey structure comprises a concrete block foundation lower level and wood frame upper level (**Figure 27**). The large building runs east to west to the south of the implement shed and the workshop. A silo is situated at the west end of the barn.

10. Upper Barn and Silo

It is believed the Upper Barn was built shortly after a fire in June 1933 destroyed the earlier barns on the property. The two-storey structure housed cattle on the lower level and provided hay storage on the upper level. The rectangular barn comprises a plank frame structure with gambrel roof and cast-in-place concrete foundation (**Figure 28**). Four ventilators are regularly spaced along the peak of corrugated sheet metal roof. The upper walls are clad in board and batten siding painted a dark brown colour. Of note is the name of the farm, 'Sanford Farm' spelled out in contrasting large white letters on the south wall of the barn (**Figure 29**). A concrete silo located towards the south end of the west wall was not shown on the Tomenson, Saunders, Smith and Garfat Insurance Plan and probably is a later addition.

Large doors on the gambrel ends provide access for animals and feed. A distinctive feature of the barn is the roof projection at either end of the building to house the pulley system for lifting hay bales into the mow. Window openings, which are fitted with multi-paned metal sashes extend along the east and west walls provided ventilation and natural light into the lower level.

11. Lower Barn and Silo

As with the Upper Barn, it is believed the Lower Barn was built shortly after a fire in June 1933 destroyed the earlier barns on the property. The lower barn is 'L'-shaped in plan (**Figure 30**). The larger section runs north to south while the smaller section extends from the south end of the east wall of the larger structure (**Figure 31**). The two sections of the Lower Barn are connected on the interior. While not a typical bank barn, the design of the lower barn does use the topography of the site strategically so the lower level of the large section and the upper levels of both the large and smaller section both open up at grade. Notably portions of the Lower Barn retain a rubble stone foundation.

The larger section of the Lower Barn is similar in design and layout to the Upper Barn. The two-storey structure housed cattle on the lower level and provided hay storage on the upper level. The rectangular barn comprises a plank frame structure

⁷⁴ Ibid.

with gambrel roof and a combination of hollow-clay tile and cast-in-place concrete for the foundation. Five ventilators are regularly spaced along the peak of corrugated sheet metal roof. The upper walls are clad in board and batten siding painted a dark brown colour

The smaller section of the lower barn has a gable roof with two ventilators at the peak. The roof and walls are finished in a similar manner to the rest of the building. The lower level opens up at grade to the south and is fitted with pens for livestock. A root cellar was situated in the north half of the building. The upper level was most recently for equipment storage and as a granary. It is reported it once housed a threshing floor and was later a stable.

A silo is centrally located along the west wall of the lower barn. It also uses hollow clay tile for its construction.

3.2 Statement of Cultural Heritage Value or Interest

The Simpson-Humphries House was designated under Part IV of the *Ontario Heritage Act* for architectural value and historical interest as set out in By-Law No. 833-83, dated November 14, 1983. The designation by-law provides the following Reasons for Designation,

*Architecturally, the house is a fine example of a patterned brick house as recommended by the Canada Farmer in 1865. Features of particular architectural importance include the decorative vergeboards, patterned brickwork, chimneys, projecting frontispiece, main entrance with paneled door and stained glass, side and transom lights, round-headed windows in the centre gable, original fenestration and shutters, the bracketed cornice and the cornice returns at the gable ends. Historically, the house was built in the 1860's by John Simpson, a prominent mill owner and founder of Meadowvale.*⁷⁵

By-Law No. 833-83 references only the Simpson-Humphries House and does not refer to any other built heritage resources on the property. The background Heritage Structure Report concluded,

*Although the property has been in continuous use as a farm, Simpson's house is the most prominent feature that remains of the nineteenth century mill and farm complex.*⁷⁶

⁷⁵ City of Mississauga, By-Law No. 833-83, Schedule 'A', November 14, 1983.

⁷⁶ Memorandum, To the Mississauga Local Architectural Conservation Advisory Committee, From Ian W. Scott, Commissioner, Recreation and Parks, Re: Heritage Structure Report, Simpson-Humphries House, Sandford Farm (March 27, 1980) 62.

The subject property is not included within the boundaries of the Meadowvale Village HCD, which was designated under Part V of the *Ontario Heritage Act* in 1980, or the updated the updated HCD District Plan was adopted in 2014.

The urbanization of Mississauga has continued to expand northwards since the Simpson-Humphries House was designated in 1983. Within the area of Meadowvale Village much of the agricultural land that existed in the 1980s has been redeveloped for commercial or residential purposes. As an active farm, Sanford Farm would be considered an anomaly within this part of the municipality. The well-established farmstead comprises three residences, three barns, three silos and five outbuildings. The farm complex is visible from Highway 401 and the open vista from the busy highway to the fields with barns and silos in the background is an attractive and familiar view to numerous travellers. The Credit River and sightings of deer and waterfowl contribute its visual qualities. 'Sanford Farm' inscribed on one of the barns clearly identifies the site.

Once a common feature across Southern Ontario, barns as a building type are rapidly disappearing as the result of urbanization and evolving agricultural practices. The two large barns on the property date to the 1930s and reflect the evolution of barn design from heavy timber construction and stone foundations in the 19th century to frame construction and concrete foundations in the 20th century. The two-storey Sanford Farm barns use plank frame for the superstructure. The braced rafters permitted clear, unobstructed space for the storage of hay and grains on the upper level. The frame used stock sizes of lumber, which were readily available and more economical than the heavy timber used formerly. The plank frame was promoted as requiring no special skill to erect and was easily constructed by two or three workers.

G. Larratt Smith undertook the construction of the existing barns to house his prize-winning herd of Shorthorn cattle as well as a facility to store hay and grains after the earlier barns on the property were destroyed by fire in 1933. Given the importance of his cattle-raising activities to Smith personally, the barns were built, most probably, to the highest standards and reflected the current thinking of the day in respect to layout, materials, appearance, light and ventilation.

Beatty Bros. Limited was one of the biggest proponents of plank frame barns in Canada during the first part of the 20th century and it is possible Smith used the company's barn plans for the structures. Certainly, the superstructures are similar in appearance and detail to some of the barns shown in the 1932 edition of the Beatty Barn Book (*Figure 32*).



Figure 11. A City of Mississauga Zoning Map 45E identifies the current zoning for 1200 Old Derry Road.



Figure 12. A narrow, winding drive lined with vegetation leads into the farm complex from Old Derry Road [City of Mississauga staff, March 2016].



Figure 13. A drive formerly extended west from the property to Creditview Road.



Figure 14. The Simpson-Humphries was prominently sited at the head of the drive from Creditview Road [City of Mississauga staff, March 2016].



Figure 15. The agricultural buildings are located at the southern end of the drive from Old Derry Road [City of Mississauga staff, March 2016].



Figure 16. A view north across agricultural fields depicts the barns and silos of Sanford Farm.

Heritage Impact Assessment Report
Sanford Farm, 1200 Old Derry Road
(Part Lots 9 & 10, Concession 3 WHS, Geographic Township of Toronto)
City of Mississauga, Ontario

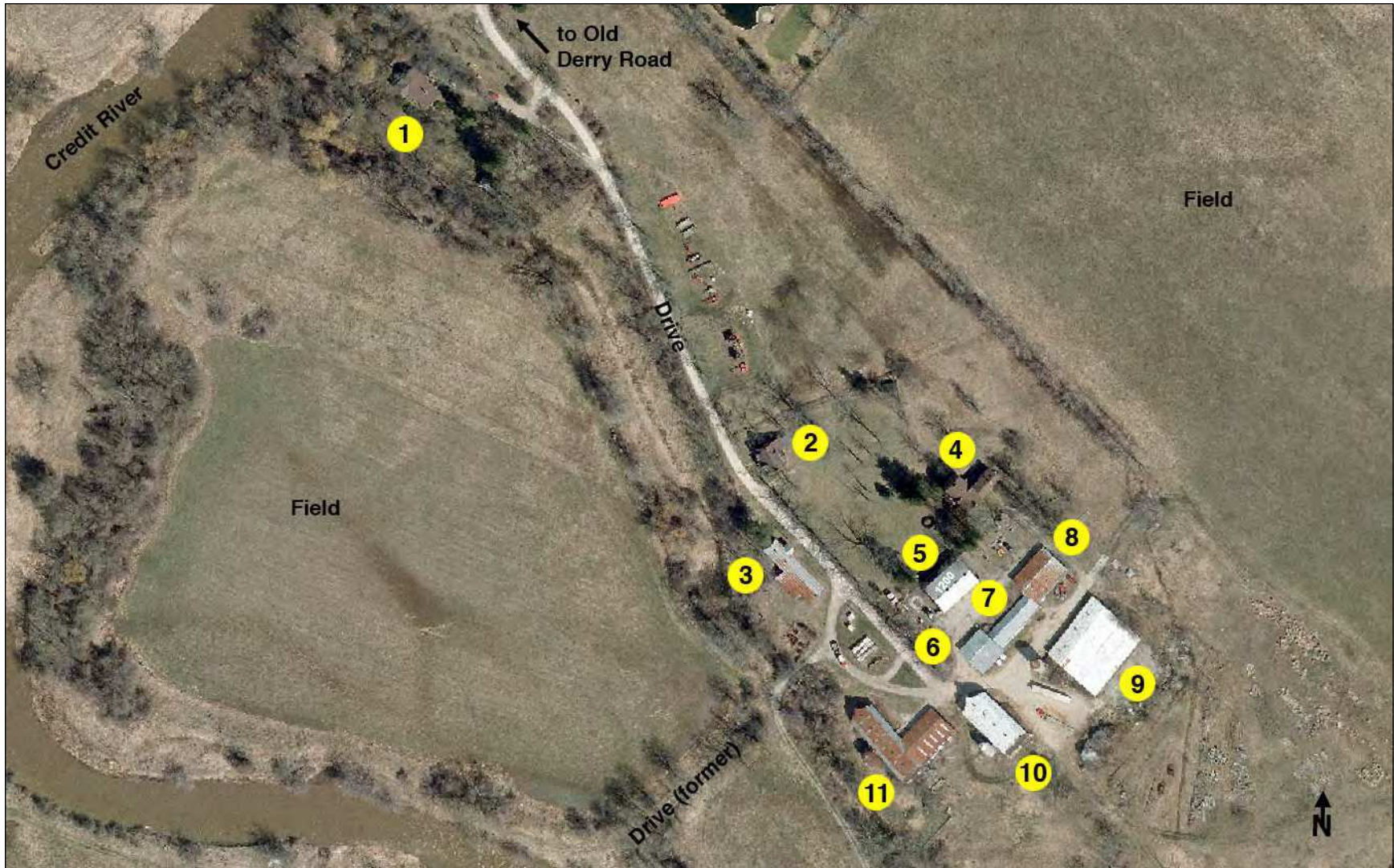


Figure 17. The buildings and structures located at 1200 Old Derry Road are located on an aerial photograph (2017) [Mississauga Maps, 2018, as modified].



Figure 18. Southeast corner of the one-storey Owner's Residence built c1933 [City of Mississauga staff, March 2016].



Figure 19. Northwest corner of the one and-a-half storey Foreman's Residence.



Figure 20. Southeast corner of the outbuilding comprising the garage (implement shed) to the left and the former apple store to the right.



Figure 21. West elevation of the two-storey, brick residence known as the Humphries-Simpson House that dates to c1870.



Figure 22. South elevation of the Simpson-Humphries House depicting the substantial brick and stone rear wing.



Figure 23. Southwest corner of the hay storage structure [City of Mississauga staff, March 2016].



Figure 24. West elevation of the corn storage structure [City of Mississauga staff, March 2016].



Figure 25. An oblique aerial view to the northwest shows the Implement Shed located between the corn storage to the left and the workshop to the right [Google Maps, 2018].



Figure 26. An oblique aerial photograph to the northeast shows the Workshop [Google Maps, 2018].



Figure 27. Northwest corner of the Lamb Barn with silo [City of Mississauga staff, March 2016].



Figure 28. Northeast corner of the Upper Barn.



Figure 29. Southwest corner of the Upper Barn with silo. Note the Sanford Farm sign painted on the gambrel end wall.



Figure 30. Northwest corner of the Lower Barn with the larger gambrel roof section to the left and the small gable roof section to the left [City of Mississauga staff, March 2016].



Figure 31. South elevation of the Lower Barn.

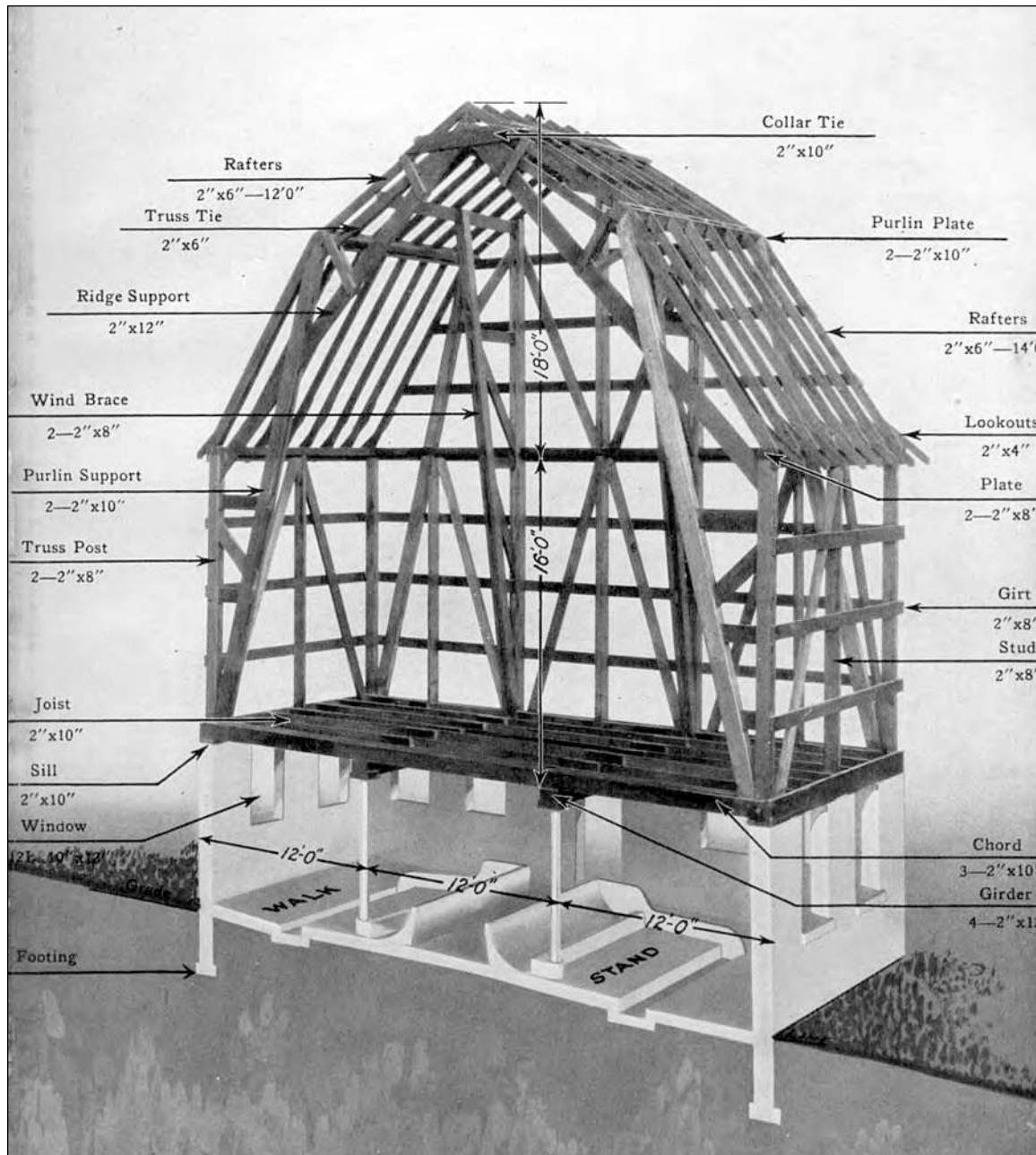


Figure 32. An illustration depicts the typical elements of plank frame construction [Beatty Bros. Limited, *Barn Book*, 1932].

4.0 DESCRIPTION OF PROPOSED ACTIVITY

The subject property comprising Sanford Farm has been sold with a closing date of May 23, 2018. As a result the farm has ceased operations, the agricultural fields are not in production and the buildings have been vacated. Along with members of his family, James Humphries is relocating to another agricultural property in Eastern Ontario. As part of the process, the superstructure of the two plank-frame Sanford Farm barns will be dismantled and moved to the new property.

5.0 IMPACTS

The characteristics and spatial arrangement of the farm complex, namely the farmhouse, barns, silos, outbuildings, fields and tree lines, and farm lane have been retained on the site and are clearly discernible in the landscape. The property remained in agricultural use throughout its history and the large two-storey barns are considered to be a distinguishing feature of Sanford Farm. The removal of the barns represents the loss of an essential component of the site and signals the end of the use of the property for agricultural purposes. Further the relocation results in the alienation of the barns from their original context, both locally and regionally.

The barns, however, will be re-assembled in a new location and will continue to serve the purpose for which they were intended.

6.0 MITIGATION MEASURES

The property at 1200 Old Derry Road, comprising Part Lots 9 & 10, Concession 3 WHS, was designated under Part IV of the *Ontario Heritage Act* in 1983. However, this designation under the OHA relates only to the Simpson-Humphries House and does not include other elements of Sanford Farm, such as the barns. Furthermore, the barns are not listed on a local heritage inventory or the Municipal Heritage Register.

In light of the impending changes to the property, the City of Mississauga has determined a cultural heritage resource documentation of the two barns is an appropriate mitigation measure to address the impacts associated with the proposed relocation of the structures.

7.0 CULTURAL HERITAGE RESOURCE DOCUMENTATION

A description of the two barns, identified as the Upper Barn and the Lower Barn, photographs from c1990 and 2018 with captions and photographic key plans document the structures in Section 7.

7.1 Upper Barn

It is believed the Upper Barn was built shortly after a fire in June 1933 destroyed the earlier barns on the Sanford Farm property. Traditionally the barn housed Shorthorn cattle on the lower level while the upper level provided hay storage. It was known as the Dry Barn to differentiate it from the Milking or Dairy Barn, i.e., Lower Barn, to the west. Most recently the barn been used only for hay storage and is currently vacant. City of Mississauga photographs from c1990 depict the Upper Barn while it was still in active use (*Figures 33 and 34*).

Exterior

The barn comprises a plank frame structure with gambrel roof and cast-in-place concrete foundations. The rectangular barn measures approximately 40-ft. 6-in. (12.34 m) east to west and 80-ft. 4-in. (24.49 m) north to south. A concrete silo is located along the west wall.

The concrete foundation features buttresses for additional stability. Window openings set high in the east and west foundation traditionally provided natural light and ventilation for the livestock and are fitted multi-paned metal sash. Large doorways in the north, south and west walls permitted the movement of equipment and cattle. The doors depicted c1990 in the gambrel end walls have since been removed.

The plank frame of the superstructure is clad in board and batten siding painted a dark brown colour. Sanford Farm is spelled out in large white letters on the south gambrel end wall. A series of large openings around the building fitted with sliding or hinged doors allowed for the transfer of hay into the upper level. With the doors closed, two window openings located in the north and south end walls provided a modest amount of natural light into the space.

The gambrel roof is finished in corrugated sheet metal with four ventilators positioned along the roof peak. The roof projection at the north and south of the barn traditionally housed the pulley mechanism for raising the hay bales into the mow.

Interior

The structure of the lower level of the barn comprises two longitudinal floor beams running north to south through the length of the building supported on concrete filled

steel posts and the exterior foundation walls. The floor is concrete and the ceiling is finished in tongue and groove boards that also extend north to south. The interior retains elements of the metals cattle pens, stalls and fittings.

A ladder on the east side of the barn connects the upper and lower levels of the barn. The plank frame construction of the upper level is built up of sawn lumber no more than 2-in. (51 mm) by typically 4-in. (102 mm) to 12-in. (305 mm), which are bolted together. The gambrel shaped roof provides a large interior area for storage that in height extends approximately 34-ft. 6-in. (10.52 m) from the top of the floor to the peak.

The photographic documentation provides a visual record of the Upper Barn prior to its dismantling and comprising the following categories of images,

- Exterior three-quarter views (*Photos 1 and 2*);
- Exterior elevations (*Photos 3, 4 and 5*);
- Exterior details (*Photos 6, 7 and 8*);
- Interior views of the lower level (*Photos 9 and 10*); and
- Interior views of the upper level (*Photos 11, 12, 13 and 14*).

The exterior photographs are located on a Photographic Key Plan (*Figure 35*).

Unless otherwise stated, Unterman McPhail Associates completed the digital photography in April 2018. A scale stick with one-foot gradations was used in the photographs where possible.



Figure 33. Northwest corner of the Upper Barn (c1990) [ML, PH3562].

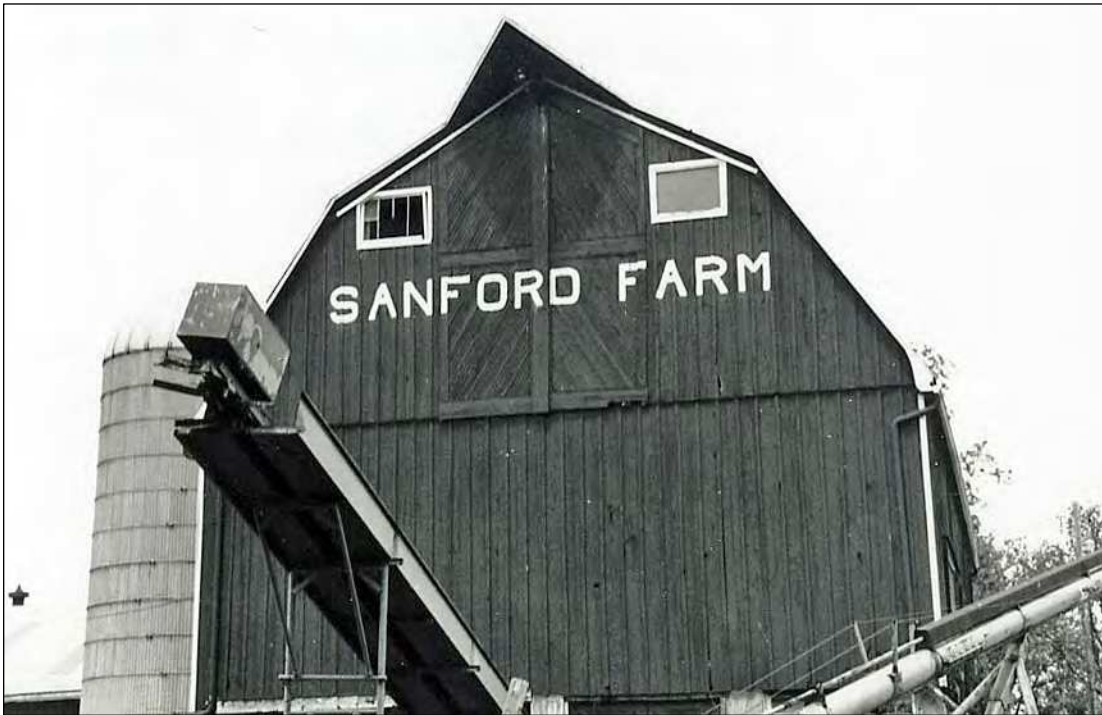


Figure 34. South elevation of the Upper Barn (c1990) [ML, PH3562].





1. The two-storey Upper Barn has a cast-in-place concrete foundation, plank frame superstructure clad in board and batten siding and gambrel roof finished in corrugated sheet metal.



2. Concrete buttresses around the foundation wall may have been added to provide additional structural support.



3. Large openings in the foundation wall provided access to the lower level for livestock and equipment. Note the large opening on the upper level for the movement of hay to the mow.



4. The concrete silo was built sometime after the construction of the Upper Barn in the 1930s. Additional doorways along side of the barn open into the upper level.



5. The south gambrel end wall follows a similar layout to the north elevation.



6. Pairs of window openings fitted with multi-paned metal sash are located in the upper part of the foundation wall. A portion of the sash is operable for ventilation purposes.



7. A detail of the south gambrel end wall depicts the 'Sanford Farm' sign, the window openings and the doorway into the mow.



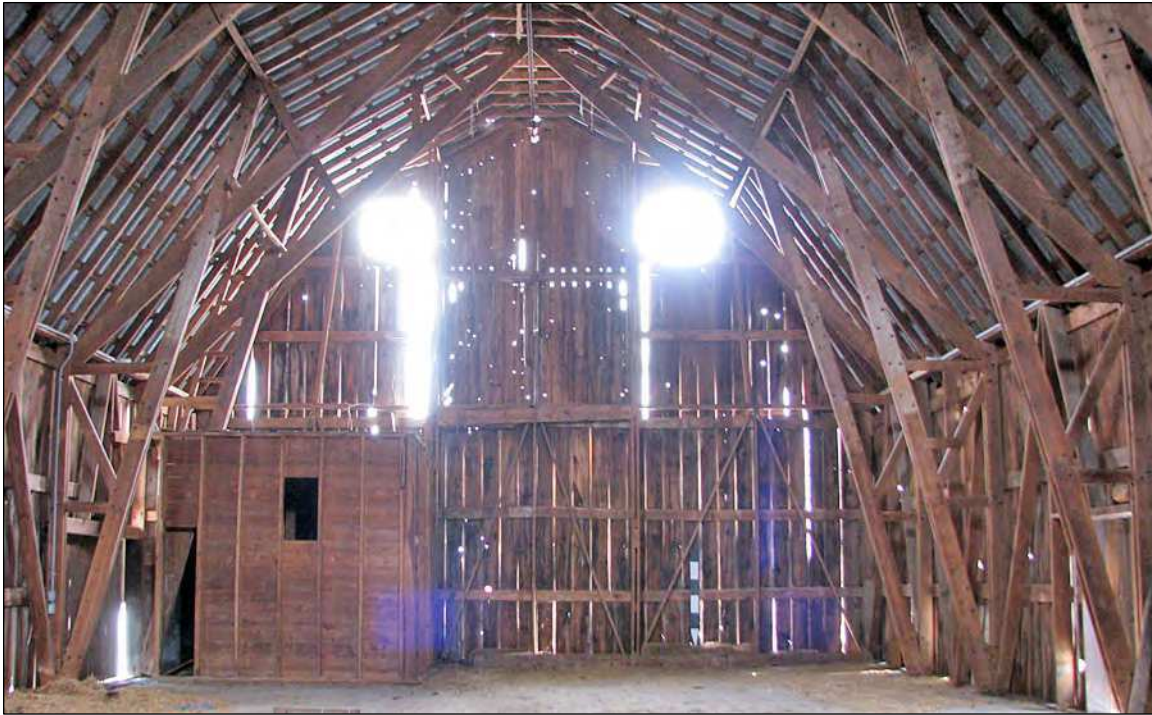
8. The projection of the roof peak at either end of the Upper Barn contained a pulley system for the lifting of hay bales into the mow.



9. A view south depicts the longitudinal beams and posts, which divide the lower level into three parts. Note the tongue and groove ceiling boards. The walls and ceiling are painted white.



10. The floor is concrete throughout the lower level. Vestiges of cattle pens and their fittings remain along the east wall to the right.



11. A view south through the upper level shows the typical plank frame construction, which provided clear uninterrupted space for ease of hay storage.



12. The plank frame was built up of sawn lumber normally 2-in. (51 mm) by 4-in. (102 mm) to 12-in. (305 mm) bolted together.



13. At the peak the roof framing comprises ridge supports, collar ties and rafters. The purlin plate and purlin supports are visible at the change in slope of the gambrel roof.



14. The wall framing contains a truss post tied into the purlin support. The bays between the truss posts feature girds, wall plate, stud and diagonal bracing.

7.2 Lower Barn

As with the Upper Barn, it is believed the Lower Barn was built shortly after a fire in June 1933 destroyed the earlier barns on the Sanford Farm property. The Lower Barn is 'L'-shaped and comprises two distinct but interconnected structures, namely, a large barn to the west and a smaller barn to the east. The sloped site was exploited to allow both the lower level of the large barn and the upper levels of both the large and small barns to open up at grade. A portion of the rubblestone foundation of an earlier structure was incorporated into the small barn.

Traditionally the Lower Barn was known as the Milking or Dairy Barn with cows and calves of the Shorthorn herd housed on the lower level. The upper level to the west provided hay storage while the area to the east contained a threshing floor that was later converted to a horse stable. The Upper Barn has most recently been used only for hay and equipment storage and is currently vacant. City of Mississauga photographs from c1990 depict the Lower Barn while it was still in active use (*Figures 36 and 37*).

Exterior

The Upper Barn is comprised of a large plank frame structure with gambrel roof and cast-in-place concrete foundation and a smaller building projecting at right angles to form the 'L' plan. The smaller barn has a gable roof and retains a rubblestone foundation on the south side of the building. The large barn is considered to run north to south with the smaller barn extending to east with a slight setback from the south wall of the large barn. A silo constructed of hollow-clay tile is situated midway along the west wall of the large barn. The large barn measures approximately 36-ft. 6-in. (11.13 m) east to west and 108-ft. 0-in. (32.92 m) north to south while the small barn extends approximately 41-ft. 6-in. (12.65 m) north to south and 60-ft. 0-in. (18.29 m) east to west.

Large barn

The foundation of the large barn uses a combination of hollow-clay tile at the base of the wall with cast-in-place concrete above. The fireproof clay tile used in the barn was manufactured by NATCO Canada. Established in the United States, the National Fireproofing Company (NATCO) opened a plant in Burlington in 1910. Pairs of window openings fitted with metal sash containing 12 sashes some of which are operable are set above a concrete sill and between concrete piers in the upper part of the west foundation wall. Large central doorways and window openings characterize the lower wall on the north and south elevations. The west foundation wall is set into the hillside and is visible only on the interior of the barn.

The plank frame is clad in board and batten siding that is painted a dark brown colour. Openings on the east and north walls allow for the transfer of hay into the upper level. A ramp on the east wall permitted vehicle access to the mow while the hay bales were

hoisted into the space from the north opening. Two window openings set high in the north end wall and three window openings in the south end wall provide natural light into the space.

The gambrel roof is finished in corrugated sheet metal. Five ventilators are positioned along the roof peak. The roof projection at the north end of the barn housed a pulley mechanism for raising the hay bales into the mow.

Small barn

The foundation of the small barn is only visible at the west end of the south wall. The soil is built up around the balance of the building to allow for access to the upper level of the Lower Barn. The exposed foundation consists of rubblestone is believed to have been reused from an earlier barn structure on the site. A doorway and a window opening are set within the lower wall. The upper walls are finished in a similar manner to the large barn. Door and window openings are irregularly placed on the north and south walls. A large entranceway for the movement of equipment dominates the east wall. The gable roof with two ventilators at the peak is clad in corrugated sheet metal.

Interior

Large barn

The structure of the lower level of the barn is laid out in a similar manner to the Upper Barn and comprises two built-up floor beams running north to south through the length of the building. The beams are supported on a combination of wood and steel posts. The floor is concrete and the ceiling is finished in tongue and groove boards that also extend north to south. The interior retains elements of the metal cattle pens, stalls and fittings. The lower level is generally painted white. A chute allows for feed to be dropped from the upper level.

The plank frame construction of the upper level is built up of sawn lumber no more than 2-in. (51 mm) by typically 4-in. (102 mm) to 12-in. (305 mm), which are bolted together. The length of the building contains 12 frames, which are spaced generally 9-ft. 10-in. (3.0 m) on centre. The gambrel shaped roof provides a large interior area for storage. In height it extends approximately 29-ft. 10-in. (9.09 m) from the top of the floor to the peak. The distance from the top of the floor to the top of the wall plate is 13-ft. 4-in. (4.06 m).

Small barn

A rubblestone wall divides the lower level of the small barn into two spaces, including a smaller area to the south that contained calf pens and a larger area to the north that was used as a root cellar. Both areas are accessible from the large barn. The ceiling in the south part of the lower level of the small barn is finished in tongue and groove boards in a

similar manner to the large barn. Lack of light made it difficult to assess the structure in the northern part of the small barn but it may comprise steel beams and joists supports on steel posts.

The upper level of the small barn does not use a typical plank frame construction for a gable roof barn. The walls and roof employ a system of light frame construction; however, internal posts divide the width of the space into three bays and the length into five bays. The posts support a purlin, which in turn supports the mid-span of the rafters. The posts and purlins are built-up of smaller sections of lumber rather than a traditional heavy timber. The upper level comprises one large space with granaries located along the west wall.

The photographic documentation provides a visual record of the Lower Barn prior to its dismantling and comprising the following categories of images,

- Exterior three-quarter views (*Photos 15, 16 and 17*);
- Exterior elevations of the overall barn (*Photos 18, 19 and 20*);
- Exterior elevations of the large barn (*Photos 21, 22 and 23*);
- Exterior elevations of the small barn (*Photos 24, 25 and 26*);
- Exterior details (*Photos 27 and 28*);
- Interior views of the large barn (lower level) (*Photos 29 and 30*)
- Interior views of the large barn (upper level) (*Photos 31, 32, 33, 34, 35 and 36*)
- Interior views of the small barn (lower level) (*Photos 37 and 38*); and
- Interior views of the small barn (upper level) (*Photos 39 and 40*).

The exterior photographs are located on a Photographic Key Plan (*Figure 38*).

Unless otherwise stated, Unterman McPhail Associates completed the digital photography in April 2018. A scale stick with one-foot gradations was used in the photographs where possible.

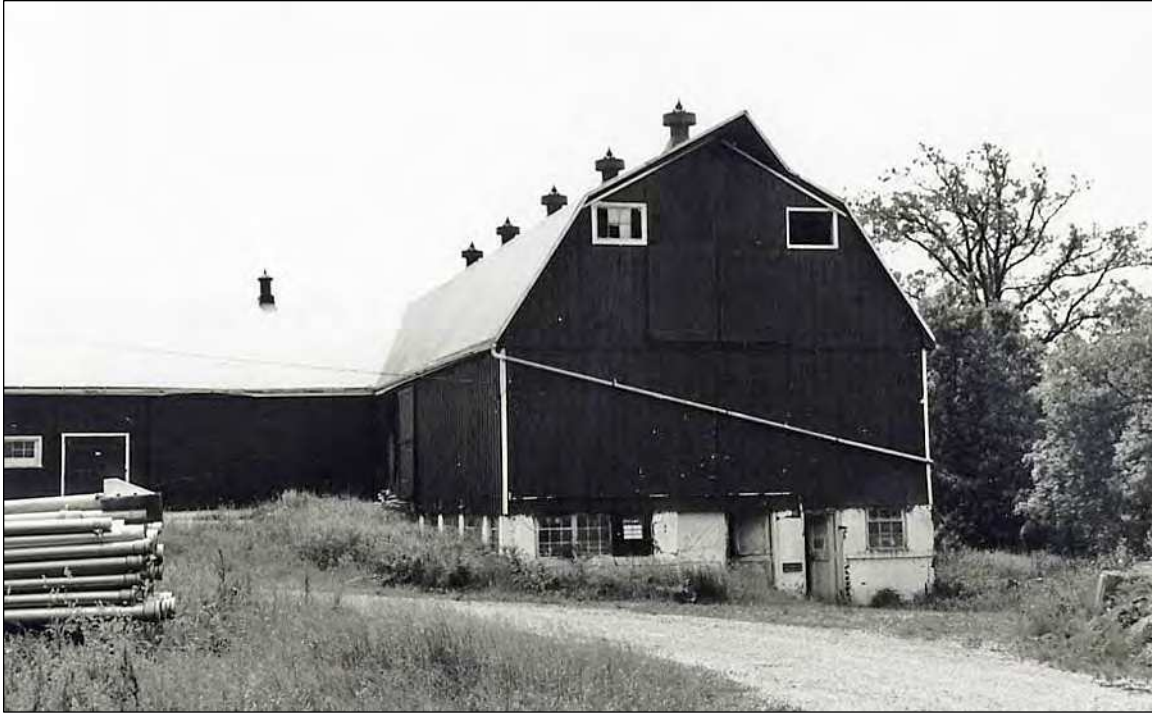


Figure 36. North elevation of the Lower Barn (c1990) [ML, PH3565].



Figure 37. View looking northwest to the Lower Barn (c1990) [ML, PH3567].





15. The Lower Barn the gambrel roof large barn to the right and the gable roof small barn to the left.



16. A silo is located along the west wall of the large barn.



17. The sloped site of the Lower Barn was built up to allow for at-grade access to the upper levels of the structure.



18. The large barn is located at the bottom of a natural ridge that extends through the property and relates to the Credit River Valley.



19. The lower level of the large barn (left) and a portion of the small barn (right) open up at grade to the south.



20. The upper levels of the small barn (left) and the large barn (right) open up at the grade to the east.



21. Like the Upper Barn, the north wall of the large barn contains a large doorway in the lower wall and door and window openings in the upper wall.



22. Characteristic elements of the Lower Barn include pairs of windows in the foundation wall, dark coloured board and batten siding and metal clad gambrel roof with ventilators.



23. Although obscured by vegetation, the south gambrel end contains a large entranceway for livestock access to the adjacent yard.



24. The exposed south foundation wall of the small barn is rubblestone. The doors on the upper level may relate the horse stable use of the building.



25. A large entry on the east gable end allows for the storage of large equipment in the small barn.



26. The north wall of the small barn contains a combination of door and window openings.



27. The use of fireproof hollow-clay tile for the silo is considered an unusual application of the material.



28. A detail of the foundation depicts the paired window openings set between concrete piers and with concrete sills in upper wall. The white paint obscures the hollow-clay tile of the lower wall.



29. The lower level was laid out with a centre aisle running the length of the building and pens to either side.



30. The beams, posts, tongue and groove board ceiling as well as the exterior walls are painted throughout the lower level of the large barn.



31. A view south through the upper level of the large barn shows the plank frame construction.



32. A large opening fitted with double-leaf hinged doors is located in the north gambrel end wall.



33. The roof framing contains ridge supports, collar ties and rafters with the purlin plate and purlin supports located at the change in slope of the gambrel roof.



34. The 2 2-in. (51 mm) by 10-in. (254mm) purlin supports are separated by 2-in. (51 mm) braces and bolted together.



35. The corner posts contain 2 2-in. (51 mm) by 8-in. (203 mm) boards bolted directly together.



36. The truss posts are 2 2-in. (51 mm) by 8-in. (203mm) boards separated by 2-in. (51 mm) braces and bolted together.



37. The interior wall between the north and south rooms on the lower level of the small barn is rubblestone.



38. The north room, a former root cellar, appears to use a steel structure.



39. Atypically, the light frame construction of the upper level of the small barn has interior posts that interrupt the flow of the space.



40. Granaries are located along the west wall of the small barn at the junction with the large barn.

8.0 CONCLUSION

This HIA report includes the cultural heritage resource documentation of two of the barns on the Sanford Farm property at 1200 Old Derry Road as set out in the mitigation measures. Copies of the report will be filed with the City of Mississauga and the municipality should retain copies of the report as part of its record of the project. Copies of the report should be made available to the Peel Archives at the Peel Art Gallery, Museum and Archives [PAMA] and to the Mississauga Public Library, specifically the Meadowvale Village Branch and the Canadiana Collection at the Central Library.

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James Humphries, April 19, 2019.

Irena Jurakic, Heritage Analyst, Heritage Planning, City of Mississauga.

Joseph Muller, Supervisor, Heritage Planning, City of Mississauga.

City of Mississauga
Memorandum



Date: 2018/06/22
To: Chair and Members of Heritage Advisory Committee
From: Paul Damaso, Director, Culture Division
Meeting Date: 2018/07/10
Subject: New Construction Adjacent to a Listed Property: 1352 Nocturne Court

This memorandum and its attachment are presented for HAC's information.

The City added 1352 Nocturne Court to the Heritage Register in 2009. Section 7.4.1.12 of the Mississauga Official Plan states that: "The proponent of any construction, development, or property alteration that might adversely affect a listed or designated cultural heritage resource or which is proposed adjacent to a cultural heritage resource will be required to submit a Heritage Impact Assessment, prepared to the satisfaction of the City and other appropriate authorities having jurisdiction." A scoped report, focused on visual impact buffering, is attached for your reference.

Attachments

Appendix 1: Visual Impact Buffering Report

Paul Damaso, Director, Culture Division

Prepared by: Paula Wubbenhorst, Heritage Planner

VISUAL IMPACT BUFFERING REPORT

**For
1342 NOCTURNE COURT DEVELOPMENT
~relative to~
1352 NOCTURNE COURT "VISION '62" HERITAGE RESOURCE**

Prepared For: City of Mississauga

and

1342 Nocturne Court, Mississauga, ON, L5H 2L8

Prepared By: Gina Brouwer - OALA, ISA
Landscape Architect and Consulting Arborist
Principal, New Leaf Landscape Architecture Ltd.
T: 905-373-5015 E: gina@newleaf.pro

Revision Date: June 21, 2018

BACKGROUND:

The property at 1342 Nocturne Court in Mississauga is being re-developed to replace the existing bungalow with a 2-store single family dwelling. The adjacent property located approximately northwest along the Court at 1352 is listed on the City of Mississauga heritage register under the name “Vision ‘62”. The property is not a designated heritage property, but is listed for reasons of physical/design, historical/associative, contextual value. The single-family dwelling at 1352 Nocturne Court was designed by Harry B. Kohl and constructed in 1962. First showcased at the National Home Show in Toronto, the house and its prefabricated construction system were intended to represent the future of home building. The unique and experimental dwelling represents post-war suburban ideals, as well as the Utopian aspirations of modern architecture.

Due to the listed heritage status of 1352 Nocturne Court, the City of Mississauga requires mitigation measures to minimize visual impact of the new construction at 1342 Nocturne Court on the heritage resource. As per discussions with the City of Mississauga Heritage Planning department, this visual buffering scope relates to the built character of the redevelopment, and is not based on a Cultural Heritage Evaluation of the listed heritage resource. It focuses on areas where the proposed development will be different than the existing structure and where no existing buffering exists. No Statement of Significance for the heritage resource was available as of this report. Visual impacts identified reflect changes to the existing conditions between the two properties, rather than specific views identified as related to the cultural heritage value of the listed property. Existing conditions and options for visual buffering between the two buildings is outlined and illustrated in this report.

STATEMENT OF QUALIFICATION:

Gina Brouwer is a landscape architect registered with the Ontario Association of Landscape Architects (OALA) with seal and a Landscape specialty professional member of the Canadian Association of Heritage Professionals (CAHP). Gina is also a consulting arborist certified with the International Society of Arboriculture (ISA) and a Heritage Tree Assessor for Forests Ontario. Gina has over 15 years of experience in site plan application and municipal landscape design including visual impact assessment and mitigation.

APPROACH AND METHODOLOGY:

The existing landscape along Nocturne Court is an important part of the neighbourhood, offering a wide variety ecological, social and economic benefits to residents and visitors. The landscape encompasses the interplay of the physical, natural and cultural components of a site and its surroundings and the way that people perceive these. Landscape site assessment considers the distinct character of the landscape and heritage resources and the views that people have to and from Nocturne Court, the development site at 1342 Nocturne Court, the heritage resource at 1352 Nocturne Court and the effects of proposed changes. We have worked with the information provided to identify and describe the existing landscape and visual impacts that may occur as a result of the proposed development and propose mitigation options to avoid or reduce the adverse affects. We have included graphic depictions of existing and proposed visual impacts to help inform property owners and decision makers.

We visited the site on Tuesday, May 29th in clear weather to observe and document existing conditions. The information provided in the following background documents has been used to inform the analysis and recommendations:

- Online Heritage Property Information for 1352 Nocturne Court
- Proposed Addition to the Heritage Register “Vision ‘62,” 1352 Nocturne Court (Ward 2)
- Existing site conditions and grades Site Plan dated June 4, 2018 and Custom Residence Building Plans dated May 28, 2018 for 1342 Nocturne Court prepared by David Small Designs.
- Arborist Report by Glenwood Tree Services Inc. dated September 7th, 2017

VISUAL IMPACT ANALYSIS:

Existing conditions and proposed development were analyzed for the two sites relative to built form, landscape aesthetic and buffering quality, views and sight lines, and visual impact of proposed development.

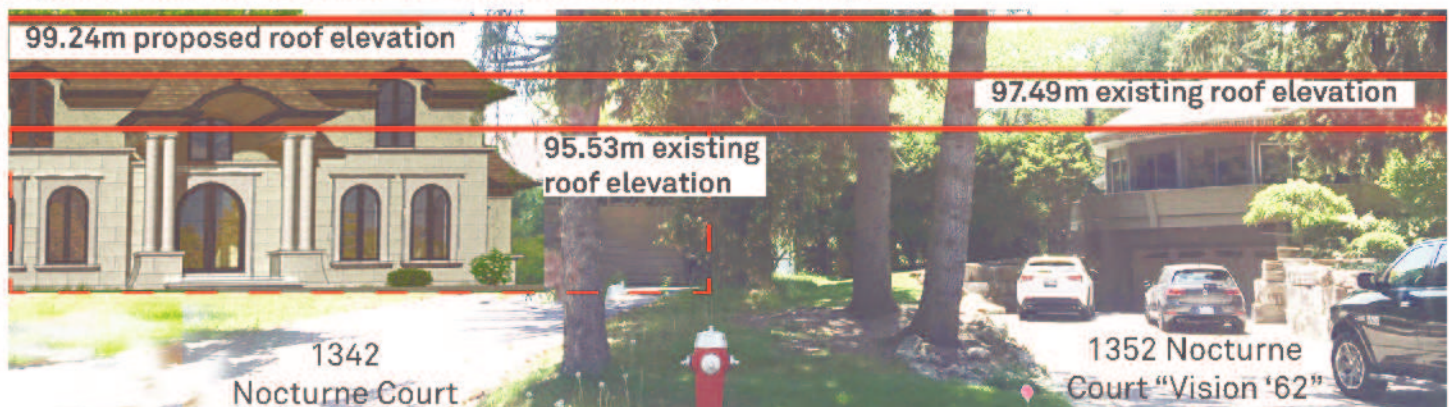
Context:

Nocturne Court is a paved court with a ditch drainage road profile (no curb) and overhead wires on the south side (opposite the subject properties). There are eight (8) single family homes along the court. The existing landscape frontage is semi-mature with common deciduous and coniferous trees bordering the roadway and occasional shrubs and perennial beds. The residential frontage landscape along the Court is typical of the neighbourhood planning and age. The species are common to the region and context.

Figure 1 - Built Form Plan View (not to scale)



Figure 2 - Built Form Scaled Street View Elevation (not to scale)



Built Form - Existing and Proposed:

The front portion of the heritage resource built form is a unique rotunda (round) central living area encircled by a balcony. The frontage is set back approximately 23m from the edge of asphalt on the bulb portion of the court. The existing house on the development site is set back approximately 24m from the straight portion of the asphalt. The heritage resource rotunda is built above the garage with a roof elevation height of 97.49m and continuous windows around the perimeter whereas the existing house on the development site is a traditional rectangular brick bungalow with a roof elevation height of 95.53m. The existing house on the development site is a relative 1.96m below the heritage resource. The site line from the heritage resource to the existing house on the development site faces unobstructed views of the exterior brick garage wall and asphalt driveway. The proposed house has a top of roof elevation height of 99.24m, relatively 1.75m above the heritage resource house. The proposed house is set back approximately 6m further from the heritage resource than the existing house where the proposed driveway replaces the existing garage. The proposed house is also approximately 5.5m closer to the road than the existing house on the development property. The built form is illustrated in Figure 1 and 2.

Existing Landscape:

The existing landscape composition is typical of a suburban context with a mix of deciduous and coniferous trees, ornamental shrubs and perennial beds with ongoing homeowner influences on planting and maintenance. The plant material observed is common and tolerant of the regional climate and site conditions with a combination of native and ornamental species. Common species include spruce, cedar, juniper, yew, maple, birch, honeylocust, mulberry, flowering crabapple, spirea, day-lily, hosta, astilbe, peony, etc. There are no unique or uncommon species found in the landscape associated with the houses.

The heritage resource frontage landscape includes narrow planting beds of perennials along the top of the stone driveway retaining walls and semi-mature spruce trees and ornamental trees on a mown front lawn. Closer to the front of the heritage resource are maintained ornamental shrubs and perennial beds around the foundation and along the entry path from the driveway. These planting beds are in shade and feature shade tolerant species. The heritage resource has an asphalt driveway flanked by common stone retaining walls which slopes down to a below-grade garage. The driveway and below-grade driveway configuration are unique to the heritage resource. A chain link fence extends from the edge of the rotunda balcony along the frontage to the subject border property line. A mature cedar and yew hedge grows along the front of the chain link fence and is generally pruned and densely branched from grade to the underside of the rotunda soffit. The existing species and landscape condition is typical of a residential context.

The property border between the heritage resource and the development site is a mown lawn from the top of the heritage resource retaining wall to the edge of development site driveway and from the edge of the pavement along Nocturne Court to the heritage resource's board fence along the development side of the house frontage. In the border front lawn area there are four (4) spruce trees that are approximately 15m height with lower branches clear to approximately 1.5-2m height and one (1) cedar tree with lower branches clear to 1.5m. See Figures 3 and 4. The semi-mature spruce trees were likely planted around the time of original home building. The arborist report associated with the proposed development site application includes the preservation of these spruce and cedar trees in the border.

In the rear yards, a 1.8m (6') board fence separates the two properties from the front chain link fence to the back property corners. The fence encloses the heritage resource pool area and is planted along the edge of the pool with perennials, low pruned shrubs and polarded trees pruned to the top of the fence. The development site side of the fence includes two semi-mature cedar trees with canopies extending approximately 3m above the board fence. See Figures 5 and 6.

The existing landscape features and plant material are typical species and arrangement found in the region and in suburban landscape contexts of this era. The trees and shrubs provide many benefits to the site, including shade, screening, air quality improvement, stormwater mitigation, wildlife habitat, aesthetics and increased property values.

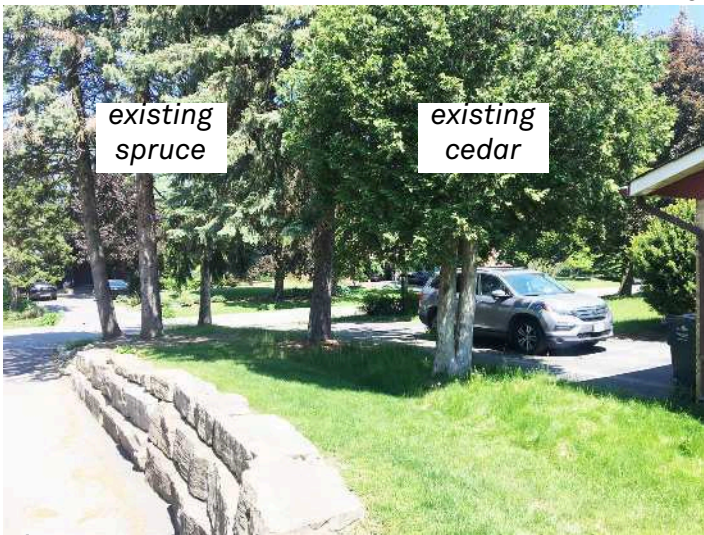


Figure 3 - existing front property border landscape looking from 1352 to 1342 driveway showing retaining wall, cedar and spruce

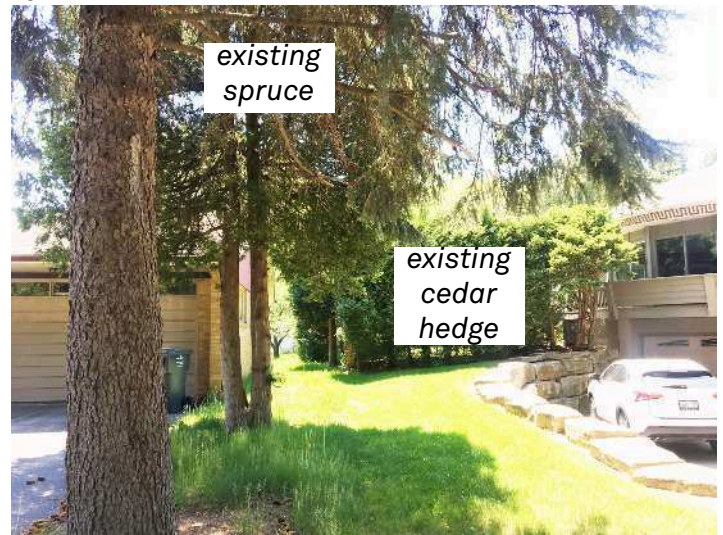


Figure 4 - existing front property border landscape looking from Nocturne Court to chain link fence and cedar hedge from 1352 rotunda to property line



Figure 5 - view from 1352 rear yard to 1342 roof line



Figure 6 - view from 1342 rear yard to 1352 roof line

Existing Views and Sight Lines:

Views to the heritage resource property from the road and development site are limited as the house is set back in the landscape and surrounded by semi-mature spruce trees from the road and large shrubs in the landscaping closer to the house on either side of the driveway. Views from the road are drawn down the driveway to the garage door and portion of the rotunda above the garage. Views to the back yard from the development property are partially obstructed by the board fence and existing cedar trees. Cars close to the house are below grade and views are obstructed by the retaining walls.

The heritage resource has perimeter windows surrounding the rotunda. Sight lines from the heritage resource to the development property extend from the rotunda windows and balcony to the front yard past the existing cedar hedge. Currently this view is clear to the development property's exterior brick garage wall and under the spruce trees to the driveway. See Figure 7. The view from the heritage resource rear yard to the development property is from both the balcony and pool deck area over the existing board fence to the roof line of the existing house. The two existing cedar trees on the development property provide a visual buffer to the existing house per Figure 5 and 6. The spruce and cedar trees provide year-round buffering as they are coniferous evergreen species.



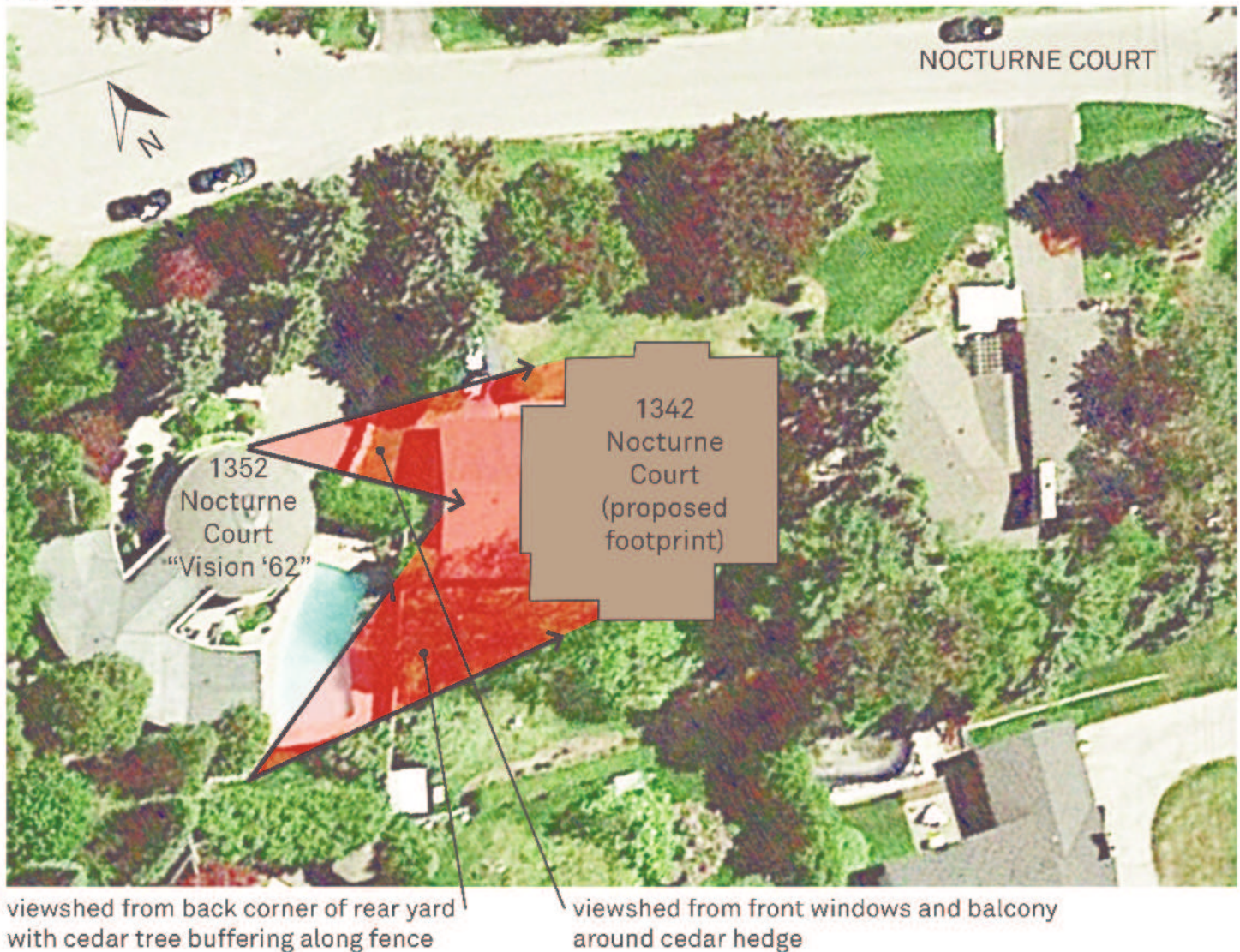
Figure 7 - view from 1352 front rotunda balcony to 1342 driveway and garage

Visual Impact of Proposed Development:

The proposed house has a top of roof elevation that is 1.75m above the heritage resource house roof and the elevations within this view will change from the roof line and brick garage wall of the existing house to more complex arrangements described in this section. Relative to the existing house, the proposed development house is set back approximately 6m further east (away from the heritage resource), approximately 5.5m further north towards Nocturne Court and the back of the proposed house is the same distance south except for the southwest corner bump-out that is approximately 2.3m further south than the existing house for a width of approximately 5.8m. The west elevation of the new house that is visible from the heritage resource includes a double garage door, covered porch entrance, and windows into the dining room at the front of the house and laundry room at the back of the house on the main floor and a bedroom window at the front of the house on the second floor. There is a covered porch at the back on the south east side of the main floor that would be mainly obstructed by the bump-out. There is a second floor flat roof and balcony at the back east side of the house that would be visible from the heritage resource back yard. A 1.8m (6') frosted glass privacy screen is included in the building design. See figure 8 for plan illustration of sight lines.

The views from the heritage resource to the development property will be partially buffered by the existing vegetation described, including the cedar trees and hedge at the front and board fence and cedar trees at the back.

Figure 9 - Sight Lines



MITIGATION RECOMMENDATIONS:

Proposed mitigation measures will provide options for buffering between the existing heritage resource at 1352 Nocturne Court and the proposed house development at 1342 Nocturne Court where the proposed development footprint and built form is larger than the existing and where no existing buffering exists. A description, plan and images of the proposed options are enclosed. Recommended plant material consist of coniferous/evergreen trees that are complement the existing plant material and provide year-round buffering. See example images in Figure 10.

Front Yard Sight Line Mitigation:

The existing spruce and cedar trees in the border between the two properties provides visual screening from the roadway but are not within the sight line area between the heritage resource and the development house identified in Figure 8. The trees in this area are identified for preservation in the site plan and Arborist Report by Glenwood Tree Services Inc., dated September 7th, 2017. Preservation of these trees does not allow for any additional planting in their Tree Protection Zones, which serves to protect the structural integrity and health of the tree's anchor roots. Maintaining these trees and the mown lawn condition in this area is recommended to maintain buffering and associated benefits.

The front yard sight line from the heritage resource rotunda balcony is unobstructed beyond the existing cedar/yew hedge to the front side of the proposed development house. The existing cedar/yew hedge should be preserved and maintained to retain this visual buffer. The area that can accommodate

additional planting to provide mitigation buffering on the development property is approximately 25m² (2.5m wide x 10m long) between the development driveway and property line. Buffering options for this area are outlined in Table 1 below. The space is illustrated as Proposed Buffer Area A in Figure 11 with preferred Option 1 shown. Should the existing cedar trees in this area be compromised during construction or decline over time, the recommended buffering methods can be extended into the areas they currently occupy.

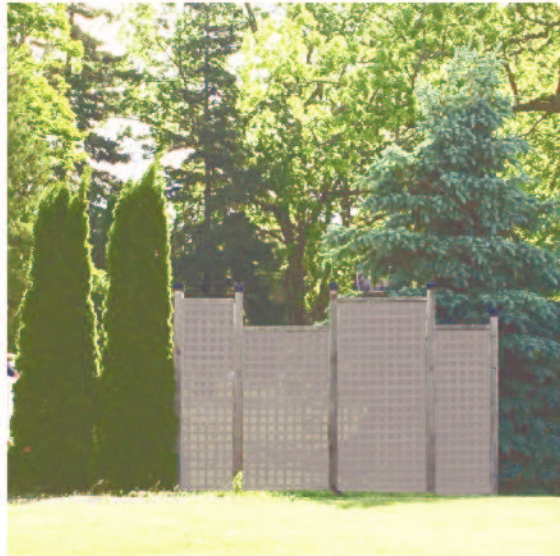
Back Yard Sight Line Mitigation:

The back yard sight lines from the heritage resource balcony and pool deck are partially buffered by the board fence and cedar trees that grow higher than the fence. The fence and cedar trees should be preserved to maintain this established buffer. Additional buffering can be achieved along the existing fence to fill in gaps that allow views over the fence to the development house with taller plant material. Buffering options for this area are outlined in Table 1 below. The space is illustrated as Proposed Buffer Area B in Figure 10 with preferred Option 1 shown. Additional planting beyond the fenceline in the development yard directed by the homeowner will further add to visual buffering and allow for trees with larger mature heights to establish in the midground area between the fence and development house.

Figure 10 - Example Photos



*Pyramidal Cedar Hedge
60cm spacing*



Pyramidal Cedar/Fence Panel/Spruce

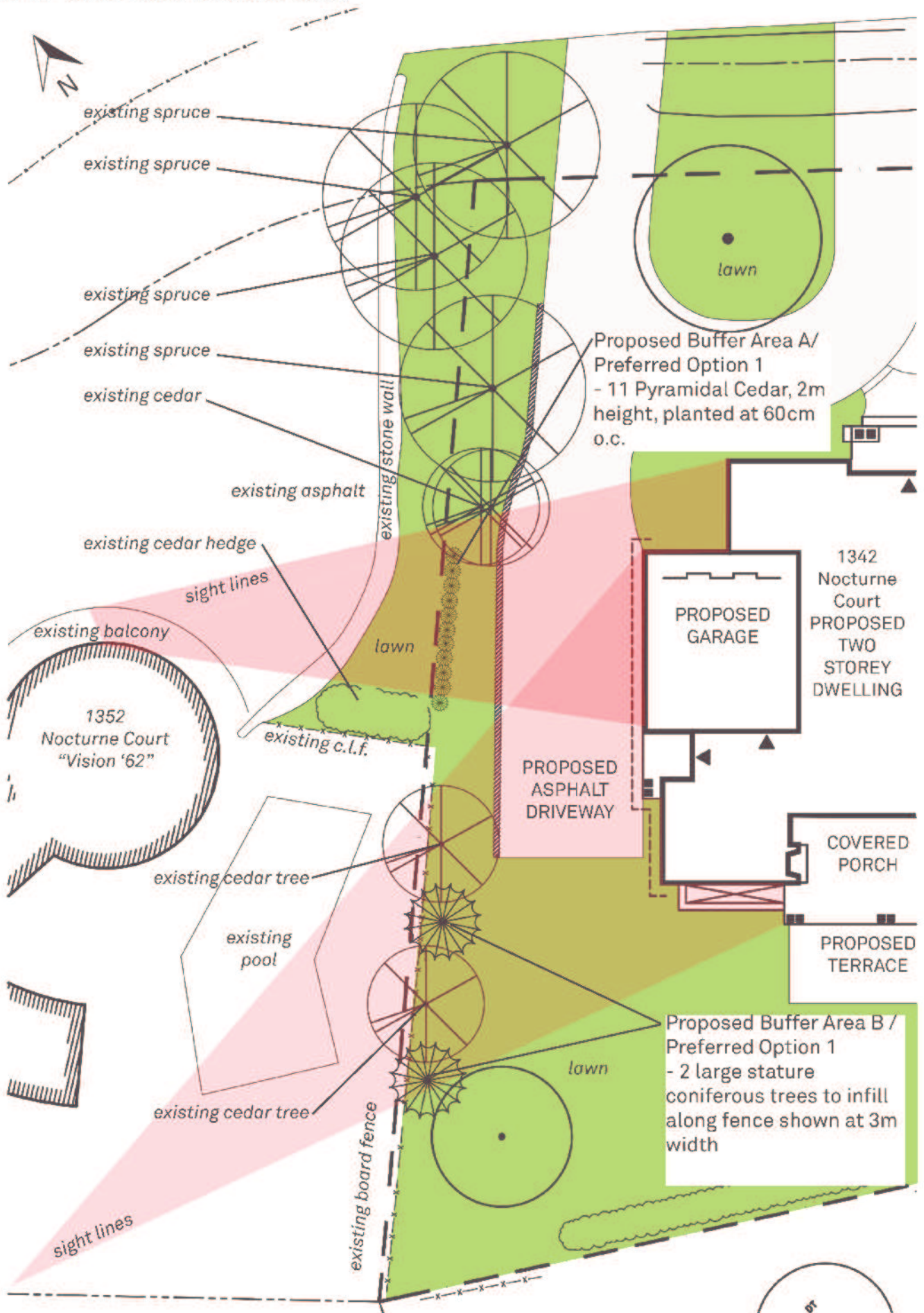


Spruce Row - 3-5m spacing

TABLE 1 - Buffer Options

OPTIONS	DESCRIPTION	QTY & COST	COMMENTS
Proposed Buffer Area A - Front Yard			
Option 1	<ul style="list-style-type: none"> plant single row of Pyramidal Cedar (<i>Thuja occidentalis</i> 'Fastigiata') spaced at 60cm o.c. for 10m along property line Pyramidal Cedar - 6m mature height, 1.2m mature spread 	<ul style="list-style-type: none"> 11 cedar trees planted at 2m height Estimated installation cost of \$3,500 	PREFERRED - natural buffer, immediate impact, trees maintain width and dense branching to base, fit well in available space, low maintenance and consistent with existing landscape character
Option 2	<ul style="list-style-type: none"> plant single row of 3 white or colorado spruce trees (<i>Picea glauca</i> or <i>pungens</i>) planted at 3m spacing along the property line Spruce - 20m mature height, 5m mature spread 	<ul style="list-style-type: none"> 3 spruce trees planted at 2.5m height Estimated installation cost of \$2,000 	larger mature height, less densely branched, can become sparse at base, mature width may conflict with driveway
Option 3	<ul style="list-style-type: none"> install a combination of wood privacy fence and single row of cedar trees 	<ul style="list-style-type: none"> 6 cedar trees planted at 2m height 6m of 1.8m (6') privacy fence Estimated installation cost of \$5,000 	fence not susceptible to plant stresses, limited height of fence, less natural buffer, increased cost
Proposed Buffer Area B - Back Yard			
Option 1	<ul style="list-style-type: none"> maintain existing cedars along fence plant 2 white spruce (<i>Picea glauca</i>) trees between the existing cedars 	<ul style="list-style-type: none"> 2 spruce trees planted at 2.5m height along fence Estimated installation cost \$1,400 	PREFERRED - maintain established height of existing cedars and infill with spruce, larger mature height, immediate infill of buffer along fence
Option 2	<ul style="list-style-type: none"> plant row of Emerald Cedar spaced at 60cm o.c. in the two 3m long spaces between existing cedar trees along fence 	<ul style="list-style-type: none"> 10 cedar trees planted in 2 groups of 5 at 2m height Est installation cost \$3,000 	maintain established height of existing cedars and infill with cedars, smaller diameter and mature height than spruce
Option 3	<ul style="list-style-type: none"> remove existing cedars and plant with continuous, uniform row of Emerald Cedar 	<ul style="list-style-type: none"> 20 cedar trees planted at 2m height Estimated installation cost \$6,000 	uniform width and height of planting along length of fence, loss of established buffer height above fence, smaller diameter and mature height than spruce and existing vegetation

Figure 11 - Buffer Area Plan (not to scale)



CONCLUSION:

The visual impact of the proposed development at 1342 Nocturne Court has been analyzed relative to the heritage resource at 1352 Nocturne Court. Options have been provided for mitigating the visual impact of development within the available space between the two properties.

Preferred options maintain the existing natural and constructed buffers and provide additional buffering through the use of vegetative landscape buffers consisting of coniferous trees that provide year-round coverage. Rationale for preferred options are outlined in the comments sections of Table 1 relative to impact, available space, site and species characteristics to provide mitigation buffering and associated benefits to the homeowners of the two subject properties. Proposed trees are specified as large nursery stock sizing to maximize the immediate visual barrier. Over time the proposed trees will grow to the mature sizes noted in Table 1 to provide increased vertical screening. Proposed species and layout are in keeping with the existing suburban landscape character.

The proposed mitigation will serve to reduce the visual impact of the proposed development from the heritage resource, while maintaining the character of the existing landscape composition on both properties. Additional landscaping planned by the homeowners will serve to enhance the aesthetic, environmental and social quality of the properties on Nocturne Court.

All work shall adhere to the recommendations for existing tree protection in the referenced arborist report and the City of Mississauga's standard specifications and details. All planting and landscaping works shall conform to the City of Mississauga's standard specifications and details.

July 4, 2018

Dear Members of HAC,

It is with great sadness that I must resign from my position with the Heritage Advisory Committee. I have recently taken a contract position with the City of Mississauga and as such it would be a conflict of interest to be both employed and a volunteer member of HAC.

It has been a pleasure to be part of this committee and my hope is to return in the future. Over the past year I have gained so much knowledge and have had an incredible experience by working with each one of you. Thank you for giving me this experience.

I hope to keep in touch going forward and will keep up to date with meetings as a non-voter as I think it is incredibly important what goes on with heritage within the City of Mississauga.

It has been a pleasure, again, to be a part of this and I hope to see you soon. I wish the best going forward in meetings and I hope we cross paths again on projects within the City in some shape or form in the future.

All the best and have a wonderful summer.

Best,

Melissa Stolarz