
Heritage Advisory Committee

Date

2018/05/08

Time

9:30 AM

Location

Civic Centre, Council Chamber,
300 City Centre Drive, Mississauga, Ontario, L5B 3C1 Ontario

Members

Councillor George Carlson, Ward 11 (Chair)
Rick Mateljan, Citizen Member (Vice-Chair)
Councillor Carolyn Parrish, Ward 5
Michael Battaglia, Citizen Member
Elizabeth Bjarnason, Citizen Member
Robert Cutmore, Citizen Member
Lindsay Graves, Citizen Member
James Holmes, Citizen Member
Cameron McCuaig, Citizen Member
Melissa Stolarz, Citizen Member
Matthew N. Wilkinson, Citizen Member

Contact

Mumtaz Alikhan, Legislative Coordinator, Legislative Services
905-615-3200 ext. 5425
mumtaz.alikhan@mississauga.ca

NOTE: To support corporate waste reduction efforts the large
appendices in this agenda can be viewed at:
<http://www.mississauga.ca/portal/cityhall/heritageadvisory.ca>

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<http://www.mississauga.ca/portal/cityhall/heritageadvisory>

-
1. CALL TO ORDER
 2. APPROVAL OF AGENDA
 3. DECLARATION OF CONFLICT OF INTEREST
 4. MINUTES OF PREVIOUS MEETING
 - 4.1. Heritage Advisory Committee Minutes dated April 10, 2018
 5. DEPUTATIONS
 - 5.1. Old Port Credit Heritage Conservation District - Peter Stewart, George Robb Architect, and Nick Bogaert, MHBC
 6. PUBLIC QUESTION PERIOD - 15 Minute Limit (5 Minutes per Speaker)
Pursuant to Section 42 of the Council Procedure By-law 0139-2013, as amended the Heritage Advisory Committee may grant permission to a member of the public to ask a question of the Committee with the following provisions:
 1. The question must pertain to a specific item on the current agenda and the speaker will state which item the question is related.
 2. A person asking a question shall limit any background explanation to two (2) statements, followed by the question.
 3. The total speaking time shall be five (5) minutes maximum per speaker.
 7. MATTERS TO BE CONSIDERED
 - 7.1. Old Port Credit Village Heritage Conservation District Plan Review (Ward 1)
 - 7.2. Request to Alter a Heritage Designated Property: 1020 Old Derry Road (Ward 11)
 - 7.3. Request to Alter a Heritage Designated Property: 295 Queen Street South (Ward 11)
 - 7.4. 2018 Designated Heritage Property Grants
 - 7.5. New Construction on Listed Property: 1785 Inner Circle (Ward 8)
 - 7.6. Alterations to a Property adjacent to the Meadowvale Village Heritage Conservation District: 6985 Second Line West (Ward 11)
 - 7.7. 29 Port Street West (Ward 1)
 8. SUBCOMMITTEE UPDATES
 - 8.1. Heritage Designation Sub-Committee

8.2. Public Awareness Sub-Committee

9. INFORMATION ITEMS

10. OTHER BUSINESS

11. DATE OF NEXT MEETING - June 8, 2018

12. ADJOURNMENT

City of Mississauga Minutes



Heritage Advisory Committee

Date

2018/04/10

Time

9:30 AM

Location

Civic Centre, Council Chamber,
300 City Centre Drive, Mississauga, Ontario, L5B 3C1

Members Present

Councillor George Carlson, Ward 11 **(Chair)**
Councillor Carolyn Parrish, Ward 5
Robert Cutmore, Citizen Member
Lindsay Graves, Citizen Member
James Holmes, Citizen Member
Cameron McCuaig, Citizen Member
Melissa Stolarz, Citizen Member

Members Absent

Rick Mateljan, Citizen Member **(Vice-Chair)**
Michael Battaglia, Citizen Member
Elizabeth Bjarnason, Citizen Member
Matthew N. Wilkinson, Citizen Member

Staff Present

Joe Muller, Supervisor, Heritage Planning, Culture Division
Paula Wubbenhorst, Heritage Planner, Heritage Planning
Irena Jurakic, Heritage Analyst, Heritage Planning
Mumtaz Alikhan, Legislative Coordinator

Find it online

<http://www.mississauga.ca/portal/cityhall/heritageadvisory>

1. CALL TO ORDER – 9:33 am
2. APPROVAL OF AGENDA
APPROVED (R. Cutmore)
3. DECLARATION OF CONFLICT OF INTEREST - Nil
4. MINUTES OF PREVIOUS MEETING
- 4.1. Heritage Advisory Committee Minutes - March 6, 2018
APPROVED (J. Holmes)
5. DEPUTATIONS
6. PUBLIC QUESTION PERIOD – Nil.
7. MATTERS TO BE CONSIDERED
- 7.1. Request to Alter a Heritage Designated Property: 1352 Lakeshore Road East (Ward 1) - Public Artworks
Chloe Catan, Acting Public Art Curator, Culture Division provided an overview of the Small Arms Inspection Building Temporary Public Art requesting permission to install two temporary artworks on the chimney and the roof of the heritage building for a period of two years. Both art installations will be fully reversible and will not compromise the building.

The Chair thanked Ms. Catan for her informative presentation.

RECOMMENDATION
HAC-0037-2018
That the request to install temporary artworks on the chimney and the roof of a Heritage Designated Property located at 1352 Lakeshore Road East, as per the Corporate Report from the Commissioner of Community Services, dated March 23rd, 2018, be approved.

APPROVED (C. McCuaig)
- 7.2. Request to Alter a Heritage Designated Property: 1234 Old River Road (Ward 1)

RECOMMENDATION
HAC-0038-2018
That the proposed alteration of 1234 Old River Road, which is designated under Part IV of the Ontario Heritage Act, be approved, as per the Corporate Report dated March 9th, 2018, entitled “Request to Alter a Heritage Designated Property: 1234 Old River Road

(Ward 1)", from the Commissioner of Community Services.

APPROVED (Councillor Parrish)

7.3. Request to Demolish a Heritage Listed Property: 78 Park Street East (Ward 1)

RECOMMENDATION

HAC-0039-2018

That the property at 78 Park Street East, which is listed on the City's Heritage Register, is not worthy of heritage designation, and consequently, that the owner's request to demolish proceed through the applicable process, as per the Corporate Report entitled "Request to Demolish a Heritage Listed Property: 78 Park Street East (Ward 1)", dated 13th March, 2018 from the Commissioner of Community Services.

APPROVED (L. Graves)

7.4. Request to Demolish a Heritage Listed Property: 7228 Ninth Line (Ward 10)

RECOMMENDATION

HAC-0040-2018

That the property at 7228 Ninth Line, which is listed on the City's Heritage Register, is not worthy of heritage designation, and consequently, that the owner's request to demolish proceed through the applicable process, as per the Corporate Report entitled "Request to Demolish a Heritage Listed Property: 7228 Ninth Line (Ward 10)", dated March 7th, 2018 from the Commissioner of Community Services.

APPROVED (M. Stolarz)

7.5. Request to Demolish a Heritage Listed Property: 560 Shenandoah Drive (Ward 2)

RECOMMENDATION

HAC-0041-2018

That the property at 560 Shenandoah Drive, which is listed on the City's Heritage Register, is not worthy of heritage designation, and consequently, that the owner's request to demolish proceed through the applicable process.

APPROVED (C. McCuaig)

7.6. Request to Demolish a Heritage Listed Property: 6685 Century Avenue (Ward 9)

RECOMMENDATION

HAC-0042-2018

That the property at 6685 Century Avenue, which is listed on the City's Heritage Register, is not worthy of heritage designation, and consequently, that the owner's

request to demolish proceed through the applicable process, as per the Corporate Report dated March 6th, 2018 entitled "Request to Demolish a Heritage Listed Property: 6685 Century Avenue (Ward 9), from the Commissioner of Community Services.

APPROVED (M. Stolarz)

7.7. Alterations to a Property adjacent to the Meadowvale Village Heritage Conservation District: 6985 Second Line West (Ward 11)

Michelle Charkow, Goldberg Group, and Alex Temporale, Heritage Architect, ATA Architects Inc., reviewed the Application and the Heritage Impact Assessment. Mr. Temporale spoke to the contextual significance within the character of the area and what would be viable on the site keeping in mind that the subject property is adjacent to the Meadowvale Village Heritage Conservation District (HCD). He noted that there is no evidence that the existing building should be designated under the *Ontario Heritage Act* and the proposal is to build two narrower homes sympathetic to the scale and look of the adjacent Heritage District.

Mr. Holmes noted that the residents within the HCD are opposed to the severance of the subject property. He said that the houses within the HCD are typically smaller in relation to their lots. He also noted that input from the residents of the HCD should be sought. In response, Mr. Temporale offered to make today's presentation to the residents of the Meadowvale Village HCD in order to alleviate misunderstandings on the impacts to the area.

Councillor Carlson stated that even though the subject site is just outside the Meadowvale Village HCD, the proposal is not reflective of the neighbourhood.

The Committee agreed that this matter be referred to the Meadowvale Village Heritage Conservation Advisory Sub-Committee.

RECOMMENDATION

HAC-0043-2018

That the Memorandum dated March 7, 2018 from Paul Damaso, Director, Culture Division, with respect to the alterations to a property adjacent to the Meadowvale Village Heritage Conservation District located at 6985 Second Line West (Ward 11), be referred to the Meadowvale Village Heritage Conservation District Advisory Sub-Committee.

APPROVED (J. Holmes)

7.8. Alterations to a Property designated under the Ontario Heritage Act: 5576 Hurontario Street (Ward 5)

RECOMMENDATION

HAC-0044-2018

That the Memorandum dated March 14, 2018 from Paul Damaso, Director, Culture

Division, with respect to alterations to a property designated under the Ontario Heritage Act located at 5576 Hurontario Street (Ward 5) be received for information.

RECEIVED (Councillor C. Parrish)

- 7.9. Alterations to a Property adjacent to a Property designated under the Ontario Heritage Act: 185 Derry Road West (Ward 11)

RECOMMENDATION

HAC-0045-218

That the Memorandum dated March 7, 2018 from Paul Damaso, Director, Culture Division, with respect to alterations to a property designated under the Ontario Heritage Act located at 185 Derry Road West (Ward 11) be received for information.

RECEIVED (J. Holmes)

- 7.10. New Construction on Listed Property: 2351 Mississauga Road

RECOMMENDATION

HAC-0046-2018

That the Memorandum dated March 15, 2018 from Paul Damaso, Director, Culture Division, with respect to new construction on a Listed Property located at 2351 Mississauga Road be received for information.

RECEIVED (Councillor C. Parrish)

- 7.11. Minor Variance Application: 34 John Street South (Ward 1)

R. Cutmore noted that the lot is small and the design of the new addition enhances the area.

RECOMMENDATION

HAC-0047-2018

That the Memorandum dated March 26, 2018 from Paul Damaso, Director, Culture Division, with respect to a Minor Variance Application for the property located at 34 John Street South (Ward 1) be received for information.

RECEIVED (R. Cutmore)

- 7.13. 2018 Ontario Heritage Conference - June 7 - 9, 2018

RECOMMENDATION

HAC-0049-2018

That the Memorandum dated March 20, 2018 from Mumtaz Alikhan, Legislative

Coordinator with respect to details of the 2018 Ontario Heritage Conference being held from June 7 to 9, 2018 in Sault Saint Marie, be received.

RECEIVED (R. Cutmore)

8. SUBCOMMITTEE UPDATES – Nil.

9. INFORMATION ITEMS

9.1. Normal tariff fees at Land Registry Offices for Municipal Heritage Committee Members and their assistants

Letter of Authority from Denis Blais, Director, Central Production and Verification Services Branch, Ministry of Government and Consumer Services regarding waiving of normal tariff fees at Land Registry Offices for Municipal Heritage Committee Members and their assistants, dated March 26, 2018.

RECOMMENDATION

HAC-0050-2018

That the Letter of Authority dated March 26, 2018 from Denis Blais, Director, Central Production and Verification Services Branch, Ministry of Government and Consumer Services with respect to the waiving of normal tariff fees at Land Registry Offices for Municipal Heritage Committee Members and their assistants, be received for information.

RECEIVED (J. Holmes)

9.2. Notice of Design and Construction Report Submission - Contract 1 - Queen Elizabeth Way (QEW) Improvements from West of Etobicoke Creek to the East Mall (Contract 1), Ontario Ministry of Transportation and Class Environmental Study - G.W.P.2432-13-00

RECOMMENDATION

HAC-0051-2018

That the Notice of Design and Construction Report Submission dated March 21, 2018 with respect to the Queen Elizabeth Way (QEW) Improvements from West of Etobicoke Creek to the East Mall (Contract 1), Ontario Ministry of Transportation and Class Environmental Assessment Study – G.W.P.2432-13-00, be received for information.

RECEIVED (L. Graves)

10. OTHER BUSINESS

(a) Mr. McCuaig advised that he is having conversations with the Planning and Building Department and Councillor Ras with respect to the future of 1130 and 1140 Clarkson Road, the original Clarkson general store and post office, as the

buildings continue to be idle given the unknown position of Metrolinx regarding an underpass or an overpass in the area.

- (b) Mr. Cutmore spoke to the reopening of the Small Arms building in June, 2018 and the Port Credit Heritage Walks from April to October this year.

11. DATE OF NEXT MEETING - May 8, 2018

12. ADJOURNMENT – 11:12 am

DRAFT

City of Mississauga

Corporate Report



Date: 2018/04/12

To: Chair and Members of Heritage Advisory Committee

From: Paul Mitcham, P. Eng, MBA, Commissioner of
Community Services

Originator's files:

Meeting date:
2018/05/08

Subject

Old Port Credit Village Heritage Conservation District Plan Review (Ward 1)

Recommendation

That the Heritage Advisory Committee endorses a by-law to be enacted for the Old Port Credit Village Heritage Conservation District Plan Update, and repeal of by-laws 0272-2004 and 0273-2004 as outlined in the Corporate Report dated April 12, 2018, from the Commissioner of Community Services.

Report Highlights

- Changes to the Ontario Heritage Act since designation of the Old Port Credit Village Heritage Conservation District necessitate updates to the existing District Plan.
- City review of the Old Port Credit Village Heritage Conservation District Plan began in 2017, led by George Robb Architect with MHBC Planners, Urban Design and Landscape Architecture, Wendy Shearer Landscape Architect and Historic Horizon Inc.
- Three community meetings were held to gain input.
- Drafts of the new Old Port Credit Village Heritage Conservation District Plan were presented in November 2017 and a further update was placed online in March 2018.
- The new HCD Plan provides policies and guidelines to manage change within the HCD conforming to the updated Act, including:
 - Clear definition of the District's heritage attributes and reducing heritage categories from three to two;
 - Broadening the scope of work not requiring heritage permitting; and,
 - Allowing adoption of the District plan within the By-law

Background

In 2004, the Old Port Credit Village Heritage Conservation District (HCD) Plan was approved and became the second heritage district of its type in the City of Mississauga under municipal

By-law 0273-2004. Enacted prior to Ontario Heritage Act amendments in 2005, which permitted inclusion of District Plan policy within by-laws designating districts, the 2004 By-law could only map out the district, which restricted its authority to manage change. Another change, from designation of buildings to real property, and the buildings and structures thereon, resulted in a need to expand the scope of plan and update its terminology. As a result, community support arose to modernize the district plan by recognition of these shortfalls and a desire for improvements based on thirteen years of experience with the existing plan.

The City initiated a review of the plan in 2017 to align it with current legislation, best heritage principles and practices, and to ensure that it adequately preserves the village character, and reflects the community interests for a carefully managed change process.

The City engaged George Robb Architect, MHBC Planners, Urban Design & Landscape Architecture, Wendy Shearer Landscape Architect, and Historic Horizon Inc. to update the plan and engage with residents of Port Credit to ensure ample opportunity for discussion and direct input. Along with legislation-driven changes, community members are interested in greater participation in the review of proposed changes and simplification of permit approvals, including broadening and clarifying of what activities do not require permitting, while ensuring that the heritage attributes defining the district remain. The community is also concerned with development activity adjacent to their district, and seeks input and tools to ensure that the district will not be adversely impacted by these developments.

Comments

Community Consultation

Three community meetings were held in 2017 on April 25, June 27 and November 20. After the first two meetings, an issues analysis report identified 23 categories of concern brought up by the community and staff. Of these, 16 were identified as being within the scope of this HCD update, four that can be implemented through staff on approval of the updated HCD plan, and three deemed beyond the geographic (city-wide) or jurisdictional (Credit Valley Conservation Authority) scope of this project. On November 20, 2017, an open house meeting was held inviting all district residents to view and comment on the draft plan policies and guidelines.

The Mississaugas of the New Credit, within whose traditional territory and historic settlement and Treaty the Old Port Credit Village HCD is situated, were also consulted on the updated district plan, and provided input on use of language, commemoration and recognition of the ongoing Mississauga presence and interest in the area.

Following the November 20, 2017, public meeting, the project team amended the original draft Plan's policies and guidelines to reflect the outcome of the engagement processes. An *ad hoc* group of HCD community members met with staff on March 2 and March 23, 2018, to review and comment on the amended draft Old Port Credit Village HCD Plan. Overall consensus was

reached on the direction of the draft HCD Plan, which was used to guide final amendments of the Old Port Credit Village HCD Plan provided as Appendix 2.

Focus of the Heritage Conservation District Update

The purpose of an HCD Plan is to direct how change and conservation should be managed in the district. The plan aims to ensure that property owners are subject to fair and uniform standards and expectations. The community consultation in support of the Plan was critical for arriving at a balance between the needs of property owners and the importance of heritage conservation.

The plan needed to be updated to ensure compliance with 2005 changes to the Ontario Heritage Act. The City also wanted to ensure that the fourteen year old plan incorporates current best practices/principles of heritage conservation and that it was adequately protecting village character. The revision included a re-examination of the:

- Attributes characterising the Old Port Credit Village HCD
- Boundaries of the district
- Categories of properties within the district
- Inventory of properties within the district, and
- Alterations that do and do not require a heritage permit

Changes in the New Heritage Conservation District Plan

Among the most significant changes to the HCD Plan is the ability to attach the District Plan to the designation by-law, formalising the policies of the HCD Plan in law. Further additions include the identification of heritage attributes characterizing the district, introduction of a new classification system for properties within the district, adjustment of the district boundaries to clarify jurisdiction, an updated inventory of properties within the district, and the refinement of policies, guidelines and approval procedures related to both to property alterations within the district and planning approvals on properties adjacent to the district.

The definition of the heritage attributes for the district includes lot layout, urban form and fabric, cultural heritage landscapes, viewsheds, landmarks and buildings of historical interest. Identification of these attributes rationalized the inventory of properties into two broad categories:

1. Contributing properties that conform and contribute to the heritage attributes of the district, and
2. Other properties whose built form is not complementary to the district due to their large scale relative to lot size, atypical height, unsympathetic architecture and materials, or some combination of these elements.

Updates to the inventory of properties within the district include amendments to incorporate landscape features where appropriate, along with clarifications and updates to architectural descriptions and historical background documentation where warranted.

Clearer guidance and more examples are provided for alterations to both contributing and other properties, and for new construction. Updated self-screening is provided to determine what work on property and buildings can proceed outside of the heritage permitting process (exemptions). Policies, guidelines and reference materials are provided for alterations, new construction and demolition requiring heritage permits, along with examples of best-practice and practices discouraged or not permitted. The new district plan also includes policies and guidelines for landscape conservation on both private and public property, to address accessibility needs within the district, and direction on integrating the priorities sustainability through heritage resource and energy conservation.

New Committee

Discussions at the community meetings and follow-up meetings with property owners in the district identified the desire and need for the formation of an Old Port Credit Village HCD sub-committee of the Mississauga Heritage Advisory Committee. This would provide a local committee for pre-consultation on potential work within the district, a means by which to disseminate information on heritage permit and planning applications to the district community, and a forum for review and comment on such applications. Accommodation for such a district committee is included in the updated district plan, while the details and terms of reference on how this can be implemented are yet to be finalized. This could include amendment of the terms of reference for the City's Heritage Advisory Committee to secure a dedicated position for a resident of the district. A formal Old Port Credit Sub-Committee of the HAC can be struck, hold scheduled meetings, and be supported by the City's Clerk's office to coordinate agendas, correspondence, and minutes. Recommendations from the Sub-Committee would be forwarded to the HAC for recommendation to Council. This process can provide for direct consultation with representative Old Port Credit residents. The establishment of the Subcommittee can follow the appointment of the HAC after the election of Council in the fall of 2018.

Planning Act and Provincial Policy Statement

Further consideration of, and where warranted amendments to the district plan were made, to ensure conformity of the plan with the updated Provincial Policy Statement (2014), Official Plan, redevelopment within and adjacent to the district, accommodation of public infrastructure to the heritage character of the district, and the heritage permit process. Those considerations that fall outside of the scope of the HCD are in part being addressed by updates to the municipal heritage by-law in process.

Next Steps

In adopting the revised Old Port Credit Village Heritage Conservation District Plan (2018), the existing Plan (2004) needs to be repealed. This is accomplished by repealing By-laws 0272-2004 and 0273-2004, which designate the existing Old Port Credit Village Heritage

Conservation District (2004), and replacing them with a new By-law reflecting the new HCD boundary and including the District Plan text within the designation By-law.

Financial Impact

The project received capital funding and to date is within the allocated budget. Formation of the Old Port Credit Village Heritage Conservation District sub-committee to the Heritage Advisory Committee will require logistical support from Clerks, estimated at an upset cost of approximately \$2750 annually, based on ten meetings a year at City Hall. This request for funding would form part of the 2019 budget request for the Legislative Services Division.

Conclusion

The Old Port Credit Village Heritage Conservation District Plan is the second of its kind in Mississauga. The City launched a review of the HCD Plan in 2017. The revised plan will enable appropriate change to occur within the district, while ensuring the heritage attributes both district and individual property wide are protected and conserved. The revised plan includes policies that will ensure both existing and future property owners are subject to fair and uniform standards and expectations for the HCD. The community consultation in support of the Plan was critical for arriving at a balance between the needs of property owners and the importance of heritage conservation

Attachments

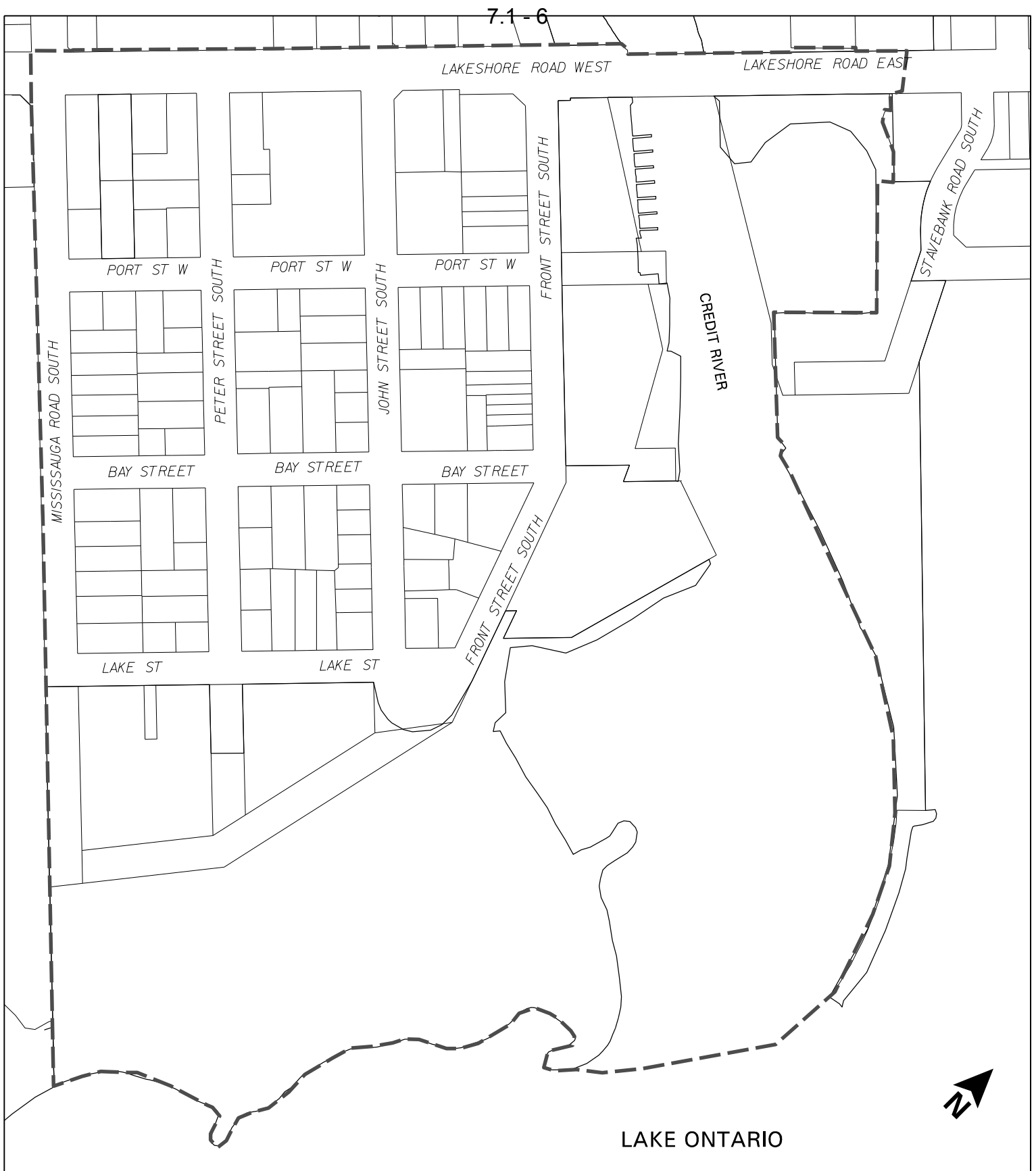
Appendix 1: Old Port Credit Village Heritage Conservation District Boundary Map

Appendix 2: Old Port Credit Village Heritage Conservation District Plan, 2018 (Appendices B and C are available here: <https://yoursay.mississauga.ca/port-credit-heritage-conservation-district-update>)



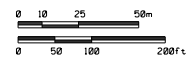
Paul Mitcham, P. Eng, MBA, Commissioner of Community Services

Prepared by: Joe Muller, RPP, Supervisor, Heritage Planning

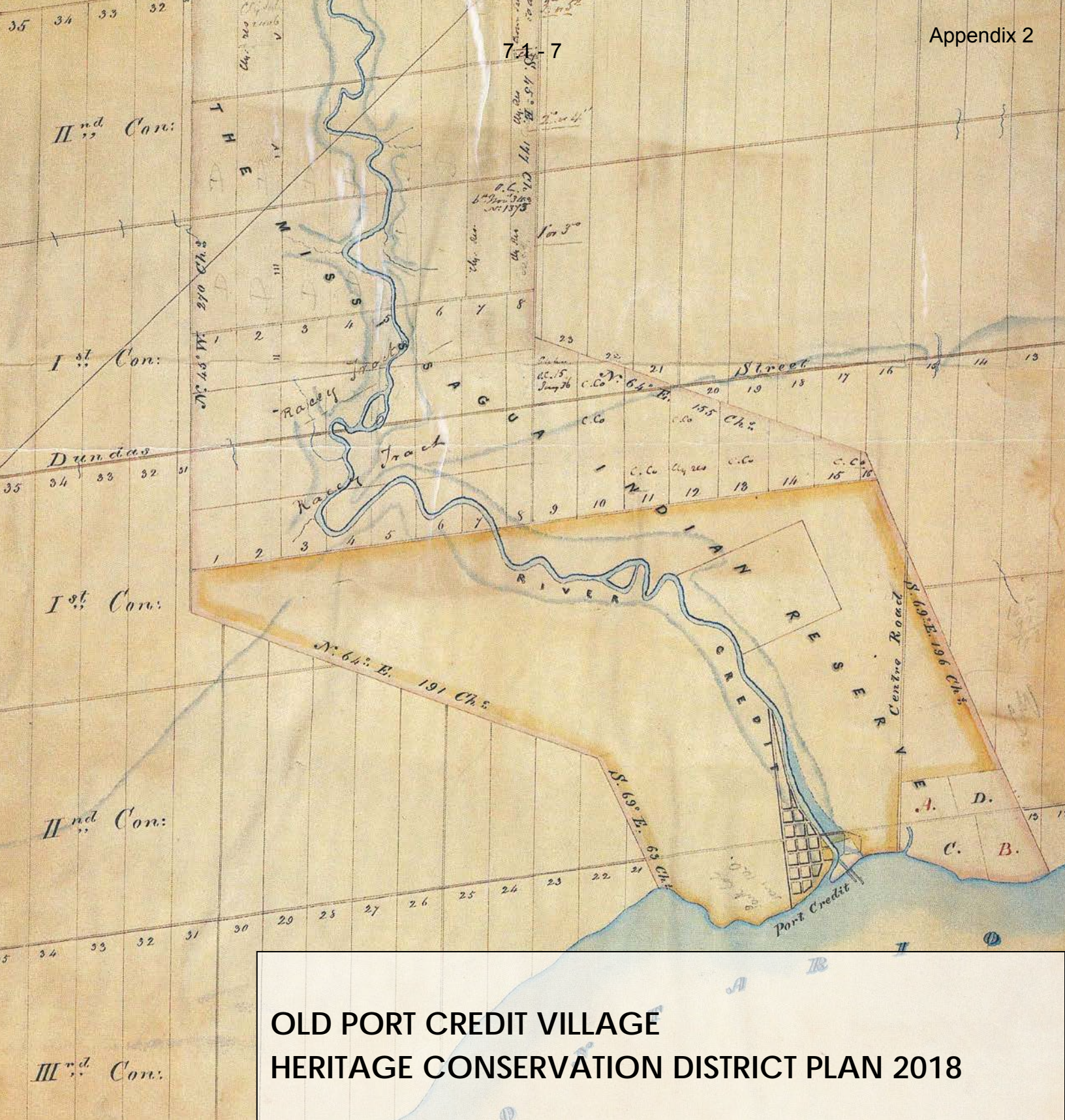


Old Port Credit Village Heritage Conservation District

— — — Old Port Credit Village Heritage Conservation District Boundary



MISSISSAUGA
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OLD PORT CREDIT VILLAGE HERITAGE CONSERVATION DISTRICT PLAN 2018

DISTRICT PLAN
Prepared for the City of Mississauga

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Appendix A Chart summarizing proposals that require heritage permit review process and Heritage Permit Application Tip Sheet.

Appendix B Property inventory information (2018)

Appendix C Heritage Conservation Feasibility Study (Stage 1 Report)

PART I **HERITAGE CONSERVATION DISTRICT FRAMEWORK**

PART I – HCD Framework

1.0 Introduction

1.1 Background

In 1988, the City of Mississauga defined by by-law Old Port Credit village south of Lakeshore Road West on the west side of the Credit River as an area to be examined for possible future designation as a heritage conservation district. Section 40 of the *Ontario Heritage Act* enables municipal Councils to study areas whose special historical or architectural qualities are worthy of preservation.

The Port Credit District policies in the Official Plan, which superseded the Port Credit District Plan approved in 1986, first came into effect in July 1997, and were reaffirmed in Mississauga Plan (approved by the Region of Peel in May, 2003). They refer to a “character area” called the Historical Village of Port Credit, which approximates the study area delineated in 1988. In the Historical Village, preservation of the street pattern, residential character, natural features and historic housing stock is supported. These policies also reiterate the City’s intention to investigate the old town site of Port Credit as an area for future designation as a heritage conservation district.

George Robb Architect was chosen in mid-July of 2003 to undertake the Heritage Conservation Feasibility Study of Old Port Credit Village. In the November 28, 2003 Stage 1 Report prepared by the consultant team, recommendations on a heritage planning framework were made. Amendment of the Official Plan and Zoning By-law, extension of site plan approval, designation of the study area as a heritage conservation district and preparation of a heritage conservation district plan (HCD Plan) were recommended as components in the framework. The current HCD Plan was approved by the Ontario Municipal Board and has been in force since July 2004.

Since the original HCD Plan has been in force, there have been changes to the *Ontario Heritage Act*, Provincial policies, heritage conservation guidance, and changes to the community. The City of Mississauga wanted to ensure that the HCD Plan reflects these changes and appropriately manages future change within this special area of Port Credit, and as such decided to undertake an update to the Old Port Credit Village HCD Plan.

George Robb Architect, MHBC Planning, Wendy Shearer Landscape Architect (WSLA) and Historic Horizon Inc (HHI) were retained in 2017 by the City of Mississauga in order

to assist City staff in undertaking the update project. This update project has been carried out for the following reasons:

- To ensure that the HCD Plan aligns with current legislation
- To ensure that the HCD Plan follows current best practices and heritage conservation principles
- To ensure the HCD Plan continues to preserve the village *character*
- Evaluate how the heritage management process can be improved

Accordingly, this updated HCD Plan is based on the best practices as expressed in the *Standards and Guidelines for the Conservation of Historic Places in Canada*, while continuing with a similar management of future change and potential new development within the neighbourhood as the previous HCD Plan. This Plan is prepared to be consistent with the 2005 changes to the *Ontario Heritage Act*, the 2014 Provincial Policy Statement and the Ontario Heritage Toolkit and successor documents. As stated in Section 68 (3) of the *Ontario Heritage Act*: “Where there is a conflict between this Act or the regulations and any other Act or regulation, this Act or the regulations shall prevail.”

1.2 Relation between heritage planning and land use planning

The plan sets out a frame of reference for reviewing planning applications in the District and provides general guidance for sites adjacent to the District. To integrate heritage planning fully into the City’s land use planning process, the following steps were taken:

- a) Designate the District by by-law under *Part V* of the *Ontario Heritage Act*;
- b) Adopt the Old Port Credit Village Heritage Conservation District Plan by by-law;
- c) Amend the City’s official plan – Mississauga Plan – as per the intent of the policies in this plan;
- d) Amend Zoning By-law No. 1227 in keeping with the intent of the policies of this plan;
- e) Amend the City’s site plan control by-law to extend site plan approval to all development applications in the District, with a streamlined approval process for applications that are deemed minor in nature.

1.3 Refinement of planning area (HCD boundary)

The area to which the HCD Plan applies was one of the topics examined through the 2017 update process regarding the District. The 2004 HCD Plan applies to the area designated by the former By-Law No. 0272-2004 described as:

The area known locally as Port Credit Village being bounded by Lakeshore Road West to the north, Mississauga Road South to the west, Lake Ontario to the south, and Credit River to the east, and more particularly shown on Appendix “A” attached hereto is hereby designated as a Heritage Conservation District.

Through the consultation with the community and City of Mississauga staff, possible revisions to the north, west and southern boundaries were discussed and presented. The project team reviewed suggestions made, and has refined the District boundary as follows:

- The eastern boundary of the District be revised to encompass the entire Credit River, as well as the City-owned property located on the northeast side of the harbour
- The northern boundary of the District to include all of the Lakeshore Road West right-of-way
- The western boundary of the District remains to include all of the Mississauga Road right-of-way
- The southern boundary should be clarified to be the shoreline of Lake Ontario

The revised boundary as described above and shown as **Figure 2** clarifies the intent of the original designation of the Old Port Credit Village HCD, as it removes ambiguity relating to the southern, northern, and eastern boundaries. The northern and western boundaries include the entire rights-of-way of the abutting streets, helping to ensure a comprehensive approach to streetscape improvements. The southern boundary includes the entire shoreline as well, as this land is part of the District and J.C. Saddington Park. This ensures a consistent interpretation of the District boundary by all involved in the implementation of the District Plan.

The shift in the eastern boundary to encompass some of the harbour and City-owned lands to the east of the harbour captures more of the original Port Credit Village plot, which included lands on both sides of the river (see **Figures 1 and 5**). This provides for a consistent approach across the area, and further strengthens the identity of Port Credit. The revised boundaries of the District will also assist in determining potential impacts of adjacent development on the *heritage attributes* of the Old Port Credit Village HCD.

1.4 Archaeological Resources

The east side of the river south of Lakeshore Road West was not part of the 2003 *Heritage Conservation Feasibility Study Old Port Credit Village Stage 1 Report*, and has not yet been evaluated regarding the potential for buried archaeological resources.

Any subsurface construction/demolition impacts, including public works, should be subject to a separate Stage 1 Archaeological Assessment by a licensed archaeologist, under the requirements of the provincial *Standards and Guidelines for Consultant Archaeologists* (Ministry of Tourism, Culture and Sport, 2011).

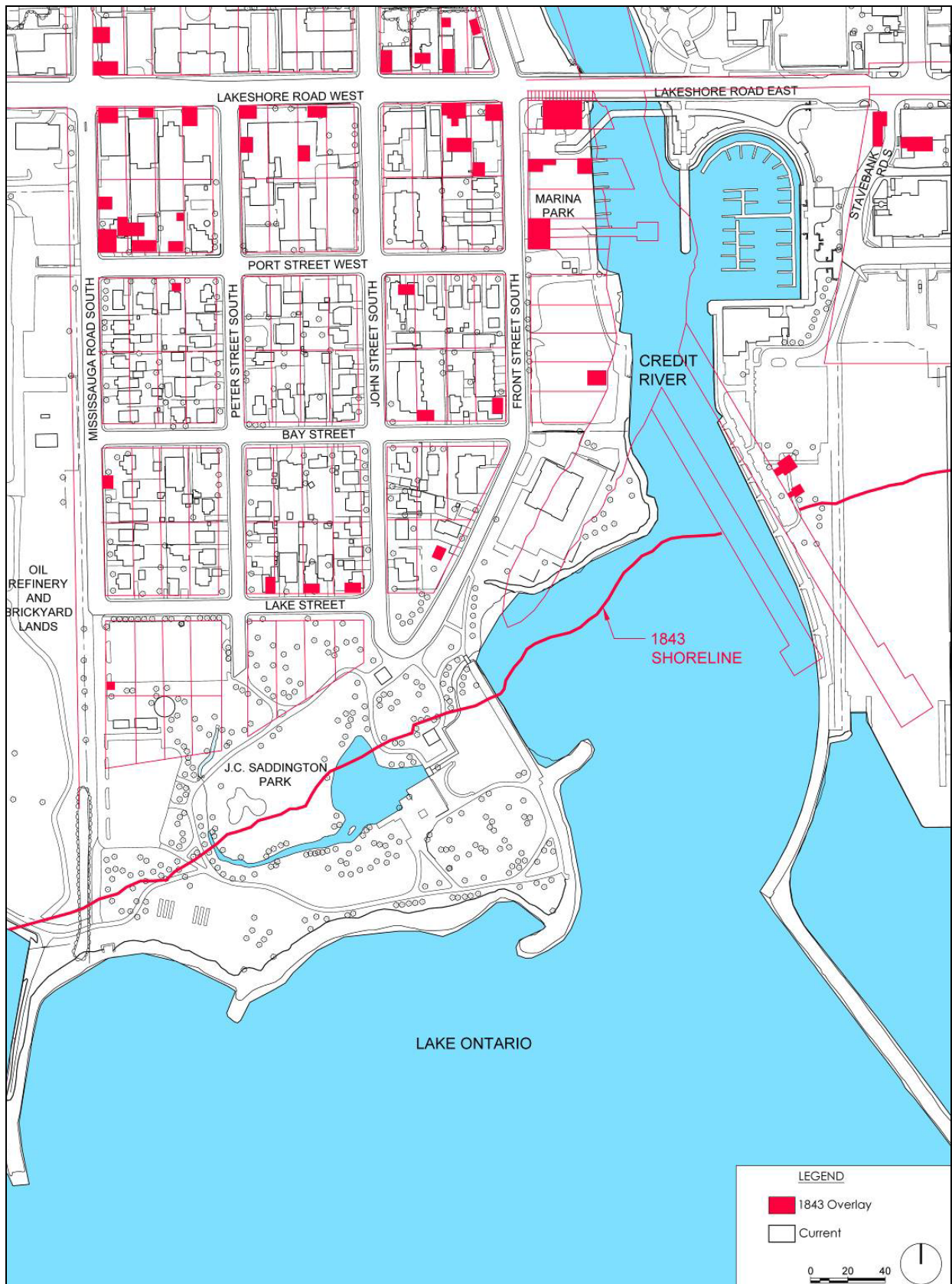


Figure 1: Current Old Port Credit Village with 1843 map overlay



Figure 2: Old Port Credit Village Heritage Conservation District Boundary

1.5 Who should use this District Plan?

The Old Port Credit Village Heritage Conservation District Plan is organized in a way to respond to those who are directly responsible for conserving the heritage *character* and *heritage attributes* in the District, notably:

- Property owners and tenants
- Owners of vacant parcels of land
- Residents
- City staff responsible for undertaking public works projects and reviewing development applications
- Owners of lands adjacent to the District

The policies and guidelines are also to be used by the Municipal Heritage Committee and City staff in providing advice to Mississauga City Council in making decisions on heritage permits under Part V of the *Ontario Heritage Act*. Under Section 42 of the *Ontario Heritage Act*, a heritage permit is required for the erection, demolition, removal or external *alteration* of a *building* or structure within a designated heritage conservation district. The Act defines the term ‘*alter*’ as meaning to change in any manner and includes to restore, renovate, repair or disturb. ‘*Alteration*’ has a corresponding meaning.

2.0 Policy context

2.1 Provisions of the Ontario Heritage Act

The *Ontario Heritage Act* originally came into force in 1975, and is the primary piece of legislation that governs the designation, conservation, and management of cultural heritage resources in the Province. The *Ontario Heritage Act* has undergone periodic revisions since 1975, with the most recent significant amendments taking place in 2005.

Part V of the *Ontario Heritage Act* allows municipalities to designate lands as a heritage conservation district, and Section 41(1) states:

“Where there is in effect in a municipality an official plan that contains provisions relating to the establishment of heritage conservation districts, the council of the municipality may by by-law designate the municipality or any defined area or areas thereof as a heritage conservation district.”

Once a heritage conservation district has been designated by a municipality, the *Ontario Heritage Act* provides specific guidance regarding matters such as consistency with the District Plan, conflicts with the District Plan, and *alterations* and demolition of *buildings*.

“Consistency with heritage conservation district plan

41.2 (1) Despite any other general or special Act, if a heritage conservation district plan is in effect in a municipality, the council of the municipality shall not,

- (a) carry out any public work in the district that is contrary to the objectives set out in the plan; or*
- (b) pass a by-law for any purpose that is contrary to the objectives set out in the plan.*

Conflict

(2) In the event of a conflict between a heritage conservation district plan and a municipal by-law that affects the designated district, the plan prevails to the extent of the conflict, but in all other respects the by-law remains in full force.

Erection, demolition, etc.

42. (1) No owner of property situated in a heritage conservation district that has been designated by a municipality under this Part shall do any of the following, unless the owner obtains a permit from the municipality to do so:

- 1. Alter, or permit the alteration of, any part of the property, other than the interior of any structure or building on the property.*
- 2. Erect, demolish or remove any building or structure on the property or permit the erection, demolition or removal of such a building or structure”*

The *Ontario Heritage Act* also provides clear guidance regarding the process to designate a heritage conservation district, as well as the required contents of a heritage conservation district plan. Subsection 41.1 (5) of the Act provides that a heritage conservation district plan shall include:

- a) a statement of the objectives to be achieved in designating the area as a heritage conservation district;*
- b) a statement explaining the cultural heritage value or interest of the heritage conservation district;*
- c) a description of the heritage attributes of the heritage conservation district and of properties in the district;*
- d) policy statements, guidelines and procedures for achieving the stated objectives and managing change in the heritage conservation district; and*
- e) a description of the alterations or classes of alterations that are minor in nature and that the owner of property in the heritage conservation district may carry out or permit to be carried out on any part of the property, other than the interior of any*

structure or building on the property, without obtaining a permit under section 42.2005, c.6,s.31.

The above provisions were not part of the *Ontario Heritage Act* when the previous work on the Old Port Credit Village Heritage Conservation District was conducted in 2003 and 2004. The study team has ensured that this HCD Plan contains the required information related to these sections of the *Act*. Accordingly, Section 3.0 contains the required plan components provided for in (a), (b) and (c). The requirements set out in (d) are found in Part II, and those in (e) are described in Part III.

2.2 Provincial Policy Statement

The *Provincial Policy Statement* (PPS) provides policy direction on matters of Provincial interest related to land use planning and development, and sets the policy foundation for regulating the development and use of land. The first PPS was released in 1996, and helped to guide the development of the original Old Port Credit Village HCD Plan. An updated PPS was released in 2005, with a further updated version released in April 2014. The PPS is to be read in its entirety and the relevant policies applied to each situation. All municipal decisions must be consistent with the policy direction contained within the PPS.

The PPS contains broad-level policies related to cultural heritage and archaeological resources in Section 2.6. This section directs that *significant* cultural heritage resources shall be *conserved*, and that development on adjacent lands will not be permitted unless it is demonstrated that *heritage attributes* will be *conserved*.

“2.6.1 Significant built heritage resources and significant cultural heritage landscapes shall be conserved.

2.6.2 Development and site alteration shall not be permitted on lands containing archaeological resources or areas of archaeological potential unless significant archaeological resources have been conserved.

2.6.3 Planning authorities shall not permit development and site alteration on adjacent lands to protected heritage property except where the proposed development and site alteration has been evaluated and it has been demonstrated that the heritage attributes of the protected heritage property will be conserved.”

A number of important definitions related to cultural heritage matters are included in the PPS, and have been incorporated into this HCD Plan.

2.3 City of Mississauga Official Plan

The current City of Mississauga Official Plan was initially adopted by City Council in 2012, with subsequent amendments adopted by Council since that time. The most recent consolidation is dated March 2017. Most of Old Port Credit Village is designated 'Residential Low Density I' and "Public Open Space" on Schedule 10 (excerpt below). The southern side of Lakeshore Road West has "Mixed Use" and "Private Open Space" designations, and the eastern side of the Front Street South has a "Residential High Density" designation. Small areas are also designated "Residential Medium Density."

Section 7.4 of the Official Plan contains policies related to cultural heritage resources, heritage properties, heritage conservation districts, and archaeological resources. Section 7.4.3 states that the Old Port Credit Village is a Heritage Conservation District which is "of unique character to be *conserved* through a designation by-law pursuant to the Ontario Heritage Act."

The Official Plan provides a Local Area Plan for Port Credit, which includes specific policies related to the Old Port Credit Village in Sections 10.3.2. These policies state:

10.3.2.1 Any additions, alterations, adaptive reuse or redevelopment will address how the development:

- *displays massing and scale sympathetic to surroundings;*
- *preserves the historic housing stock;*
- *supports the existing historical character;*
- *maintains the existing street grid pattern and building setbacks; and*
- *maintains and enhances significant groupings of trees and mature vegetation.*

10.3.2.2 Mississauga will encourage landscape screening along the west side of Mississauga Road South to buffer the adjacent vacant former refinery site.

2.4 Other applicable policies and guidance

There are several additional documents that also provide guidance related to cultural heritage conservation, and serve as sources of information for the Old Port Credit Village HCD Plan.

Standards and Guidelines for the Conservation of Historic Places in Canada

The *Standards and Guidelines for the Conservation of Historic Places in Canada* were released in 2002 (with updates in 2010). This document was produced by Parks

Canada and contains applicable guidance related to understanding historic resources and determining types of interventions, as well as best practices related to *cultural heritage landscape* conservation and *building* conservation. The *Standards and Guidelines for the Conservation of Historic Places in Canada* has been adopted by the City of Mississauga Official Plan.

The *Standards and Guidelines* contain the following fourteen standards related to the conservation of historic places in Canada:

General Standards for Preservation, Rehabilitation and Restoration

1. *Conserve the heritage value of an historic place. Do not remove, replace or substantially alter its intact or repairable character defining elements. Do not move a part of an historic place if its current location is a character-defining element.*
2. *Conserve changes to an historic place that, over time, have become character-defining elements in their own right.*
3. *Conserve heritage value by adopting an approach calling for minimal intervention.*
4. *Recognize each historic place as a physical record of its time, place and use. Do not create a false sense of historical development by adding elements from other historic places or other properties, or by combining features of the same property that never coexisted.*
5. *Find a use for an historic place that requires minimal or no change to its character-defining elements.*
6. *Protect and, if necessary, stabilize an historic place until any subsequent intervention is undertaken. Protect and preserve archaeological resources in place. Where there is potential for disturbing archaeological resources, take mitigation measures to limit damage and loss of information.*
7. *Evaluate the existing condition of character-defining elements to determine the appropriate intervention needed. Use the gentlest means possible for any intervention. Respect heritage value when undertaking an intervention.*
8. *Maintain character-defining elements on an ongoing basis. Repair character-defining elements by reinforcing their materials using recognized conservation methods. Replace in kind any extensively deteriorated or missing parts of character-defining elements, where there are surviving prototypes.*
9. *Make any intervention needed to preserve character-defining elements physically and visually compatible with the historic place and identifiable on close inspection. Document any intervention for future reference.*

Additional Standards Relating to Rehabilitation

10. *Repair rather than replace character-defining elements. Where character-defining elements are too severely deteriorated to repair, and where sufficient physical evidence exists, replace them with new elements that match the forms, materials and detailing of sound versions of the same elements. Where there is insufficient physical evidence, make the form, material and detailing of the new elements compatible with the character of the historic place.*
11. *Conserve the heritage value and character-defining elements when creating any new additions to an historic place or any related new construction. Make the new work physically and visually compatible with, subordinate to and distinguishable from the historic place.*
12. *Create any new additions or related new construction so that the essential form and integrity of an historic place will not be impaired if the new work is removed in the future.*

Additional Standards Relating to Restoration

13. *Repair rather than replace character-defining elements from the restoration period. Where character-defining elements are too severely deteriorated to repair and where sufficient physical evidence exists, replace them with new elements that match the forms, materials and detailing of sound versions of the same elements.*
14. *Replace missing features from the restoration period with new features whose forms, materials and detailing are based on sufficient physical, documentary and/or oral evidence.*

The *Standards and Guidelines* goes on to include guidelines for the conservation of historic places, and includes matters such as the various components of cultural landscapes (which includes heritage conservation districts), archaeological sites, *buildings*, engineering works, and materials.

Ontario Heritage Toolkit

The *Ontario Heritage Toolkit* is a collection of documents authored by the Province (Ministry of Tourism, Culture and Sport), that provide guidance related to a variety of cultural heritage planning matters. One document relates specifically to heritage conservation districts, and provides information related to the steps to undertake in designating a district. The introduction of the section describing what a heritage conservation district is notes that a heritage district “...enables the council of a municipality to manage and guide future change in the district, through adoption of a

district plan with policies and guidelines for conservation, protection and enhancement of the area's special character."

The Ministry of Tourism, Culture and Sport also publishes Information Sheets from time to time, and one such publication is entitled *Eight Guiding Principles in the Conservation of Built Heritage Properties*, and was published in 2007. Decisions related to the conservation of historic structures may be guided by the following principles which lay out a straightforward approach to planning for the conservation of these resources:

- 1) **Respect for documentary evidence:** *Do not base restoration on conjecture. Conservation work should be based on historic documentation such as historic photographs, drawings and physical evidence.*
- 2) **Respect for the original location:** *Do not move buildings unless there is no other means to save them. Site is an integral component of a building or structure. Change in site diminishes cultural heritage value considerably.*
- 3) **Respect for historic material:** *Repair/conservé - rather than replace building materials and finishes, except where absolutely necessary. Minimal intervention maintains the heritage content of the built resource.*
- 4) **Respect for original fabric:** *Repair with like materials. Repair to return the resource to its prior condition, without altering its integrity.*
- 5) **Respect for the building's history:** *Do not restore to one period at the expense of another period. Do not destroy later additions to a building or structure solely to restore to a single time period.*
- 6) **Reversibility:** *Alterations should be able to be returned to original conditions. This conserves earlier building design and technique, e.g. When a new door opening is put into a stone wall, the original stones are numbered, removed and stored, allowing for future restoration.*
- 7) **Legibility:** *New work should be distinguishable from old. Buildings or structures should be recognized as products of their own time, and new additions should not blur the distinction between old and new.*
- 8) **Maintenance:** *With continuous care, future restoration will not be necessary. With regular upkeep, major conservation projects and their high costs can be avoided.*

3.0 District Significance, Heritage Attributes and Objectives

3.1 Introduction

Part V of the *Ontario Heritage Act* requires that a heritage conservation district plan contains a statement explaining the cultural *heritage value* or interest of the heritage conservation district, a description of *heritage attributes*, and a list of objectives to be sought in designating the area. The following subsections provide the required statement of significance, *heritage attributes*, and objectives.

3.2 Statement of District Significance

The District generally conforms on its east, south and west sides to the boundaries of the government's planned village plot of 1835. The District's northern boundary, Lakeshore Road West (originally, Toronto Street), became the village's main east-west street; and evolved into a major provincial traffic artery, the Lakeshore Highway (Highway No. 2). Because of extensive redevelopment north of Lakeshore Road West, the District contains almost all of the features associated with old Port Credit village.

Refer to [Appendix C](#) – Feasibility Study for additional history of the District.

First Nations

Human habitation in the area predates the government's village survey by many thousands of years, as Indigenous peoples traveled the lakeshore and the river to gather spawning fish and other resources. An early fur trade post was also located here, to facilitate European trade with the Mississauga First Nation people.

The formation of Old Port Credit was especially affected by the settlement of the Mississauga at the mouth of the Credit River for over a century, their resettlement upriver in 1826, and their significant investment in the Credit Harbour Company in 1834. Peter and John Streets are named after Mississauga leaders Peter and John Jones, who were also directors in the Credit Harbour Company. Peter Jones, missionary, translator and author, is provincially important as a leading figure in the conversion of the Mississaugas and other Ojibway people to the Methodist branch of Christianity, and their adoption of a sedentary way of life with farming and trades. Mississauga Road South, originally called Joseph Street after Mississauga chief and Credit Harbour Company director Joseph Sawyer, preserves in its name the legacy of the Mississauga people in Port Credit.



Figure 3: A view of Credit River, Upper Canada, by Elizabeth Simcoe, 1796. Credit: Library and Archives Canada / Elizabeth P. Simcoe.



Figure 4: A view of the Port Credit Harbour, looking west, showing stonehookers moored there, not dated. Credit: Harold Hare Collection.

Urban form

Urban form in old Port Credit village is defined by the original grid of streets laid out by surveyor Robert Lynn, by the Credit River and by J.C. Saddington Park fronting on Lake Ontario. There is a progression from high traffic activity on Lakeshore Road West, through quiet, low-density residential streets that dead-end in the park, to the sounds and sights of Lake Ontario.



Figure 5: 1837 map showing the original street grid that helps define current urban form in Old Port Credit Village.

Open spaces

Important open spaces exist in the District: (1) J.C. Saddington Park, a good example of park planning in Canada from the 1970s; (2) Marina Park on the west bank of the Credit River, which has a long record of human use – from Native fishing in canoes, to wharves and warehouses before the 1855 fire, later to the favorite spot for swimming in the 1930s and 40s and finally to recreational boating; and (3) St. Mary's Roman Catholic Cemetery opened in the 1870s. J.C. Saddington Park provides lakefront access, and Marina Park provides riverside access. Open spaces associated with the District's institutional landmarks also have historic value.



Figure 6: The open public space of J.C. Saddington Park is a significant asset in the District. Credit: MHBC.



Figure 7: The private open space of institutional *buildings* is an important landscape feature along Lakeshore Road West. Credit: GRA.

Landmarks

A number of institutional landmarks important to Port Credit's history stand in the District. The Mississauga Masonic Temple of 1926 incorporates within its walls the Wesleyan Methodist Church of 1849, the first church in Port Credit. On the site where the Wesleyan Methodist Church originally stood is the Port Credit Methodist Church of 1894, now part of First United Church (1950-51). Next door to First United Church is Alfred Russell Clarke Memorial Hall of 1922, a community hall that served as the Port Credit council chambers from 1941 to 1974. Two brick buildings and a concrete base remain from the village waterworks, built at the same time as Clarke Memorial Hall. St. Mary's Separate School of 1953 complements St. Mary's Cemetery and St. Mary's Church, altogether creating a religious compound in the District's middle block along Lakeshore Road West. The Port Credit Village Fire Hall and Police Station, opened in 1955, is the oldest surviving fire hall in Mississauga.



Figure 8: Mississauga Masonic Temple, built in 1926, incorporates within its walls the Wesleyan Methodist Church of 1849, the first church in Port Credit. Credit: GRA.

Land use

Single-family houses, a few of which have been converted to commercial use, are typical in the District. Two out of the three blocks facing Lakeshore Road West are in institutional use and are of historic interest, while the third block has recently been developed commercially. Multiple-unit housing – four apartment buildings and one block of townhouses – is located in the eastern third of the District and does not incur into the low-density residential fabric of the District west of John Street South.

Historic buildings

A number of historic *buildings*, built as houses and converted to commercial use or built with a public function in mind but now used as houses, are also found in the District. The Wilcox Inn at 32 Front Street, the oldest surviving building in the District, is now a house. The first place of worship for Roman Catholics in Port Credit, moved to 32 Peter Street South, has been a house for many years. The Emma Peer House at 7 John Street South has become a restaurant. The Ida and Benjamin Lynd House at 15 Mississauga Road South has been turned into a spa. Adaptive reuse has been a long-established practice in the District.

Other houses of historic interest, dating from the nineteenth and early twentieth centuries, are modest vernacular dwellings: frame with siding or with a veneer of locally manufactured brick, usually 1½ storeys tall and gable roofed. Many were built by those who made their living on the water – mariner, sailor, fisher, and wharfinger – by tradespeople or by labourers. Infill houses of the mid-twentieth century were also modest. Houses that in terms of size and height complement houses of historic interest provide an appropriate architectural context for the District's houses of historic interest.



Figure 9: The former Wilcox Inn, 32 Front Street.



Figure 10: Fire hall, 62 Port Street



Figure 11: Village waterworks buildings in J.C. Saddington Park



Figure 12: Clark Memorial Hall, 161 Lakeshore Road West



Figure 13: Vernacular dwelling, 48 Lake Street



Figure 14: Vernacular dwelling, 31 Bay Street

Landscape

The front yards of properties are predominately landscaped, contain a diversity of deciduous and some conifer tree species, and usually provide access to the street by means of a single driveway situated to one side of the lot.

Opportunities exist for greater appreciation, reinforcement and protection of the District which embodies the spirit of Old Port Credit village.



Figure 15: The front yards of houses are typically landscaped and provide access to the street via a single driveway situated to one side of the lot. Credit: GRA.

3.3 List of heritage attributes

- a) Property boundaries conform to the government's planned village survey dated 1835;
- b) Human use and activity predate the government's village survey by many thousands of years;
- c) Urban form is defined by the original grid of streets, by the Credit River and by J.C. Saddington Park;
- d) The urban fabric is primarily comprised of a low-rise built form with modest building footprints relative to lot size;
- e) A number of institutional landmarks important to Port Credit's history remain;
- f) A number of historic *buildings*, built as houses and converted to commercial use or built with a public function in mind, but now used as houses remain;
- g) Other houses of historic interest are modest vernacular dwellings;
- h) Front yards consist of maintained landscaping of lawns and ornamental gardens with a variety of deciduous and coniferous specimen trees. Parking is generally provided in a single car width driveway often leading to a rear yard *garage*.
- i) Views of Credit River and Lake Ontario from Lakeshore Road West and from within the District;
- j) Views from Lake Ontario and the mouth of the Credit River harbour north to Lakeshore Road West, including both sides of the harbour.

3.4 Goals and objectives of designation

Overall conservation goal

The goal of the HCD Plan is to conserve and enhance the historical *character* of Old Port Credit Village, as defined in the foregoing statement of significance (Section 3.2).

Conservation objectives

Objectives build on the general goals identified above, and provide more detailed direction regarding the implementation of the District Plan. A number of objectives are sought through the designation of the District to achieve the goals.

Land use

- a) To maintain the District's predominately low-density residential *character*.
- b) To maintain public access to the Credit River and Lake Ontario.
- c) To preserve open spaces associated with institutional uses.
- d) To recognize the existence of the multi-unit residential *buildings* and the single block of townhouses in the District.
- e) To encourage the continued use of the District's institutional landmarks for their intended use but consider their reuse for other institutional purposes (preferably) or for other appropriate purposes.
- f) To permit *compatible* residential and/or commercial use of the Emma Peer House at 7 John Street South, Ida and Benjamin Lynd House at 15 Mississauga Road South, and Wilcox Inn at 32 Front Street South
- g) To retain the single-detached residential appearance along Front Street South, north of 28 Front Street South and south of 111 Lakeshore Road West, whether the *buildings* are used for residential or commercial use.

Contributing properties

- a) To strive in retaining *buildings* on *contributing properties* in situ.
- b) To encourage the appropriate care of *contributing properties*.
- c) To make *alterations* and additions to any *contributing property's buildings* in keeping with the architectural *character* of the *building*, and in keeping with the typical scale of the District.
- d) To base any intended *restoration* of a *contributing property's building* on documentary and/or as-found evidence.
- e) To keep front yards mainly landscaped and not hard-surfaced.
- f) To encourage the preservation and appropriate care of *significant trees* and shrubs on private land.

Other properties

- a) To accept the *buildings* on *other properties* as they are.

- b) To strive to ensure that new development on *other properties* better conforms to the scale and type of built form found within the District.
- c) To keep front yards mainly landscaped and not hard-surfaced.
- d) To encourage the preservation and appropriate care of *significant* trees and shrubs on private land.

New buildings

- a) To make new *buildings* in keeping with the height and size that exist typically among those existing in the District and to make all new *buildings* respect the low height and small scale characteristic in the District.
- b) To give the main body of a new *building* visual prominence and its *garage* less importance.

Public lands

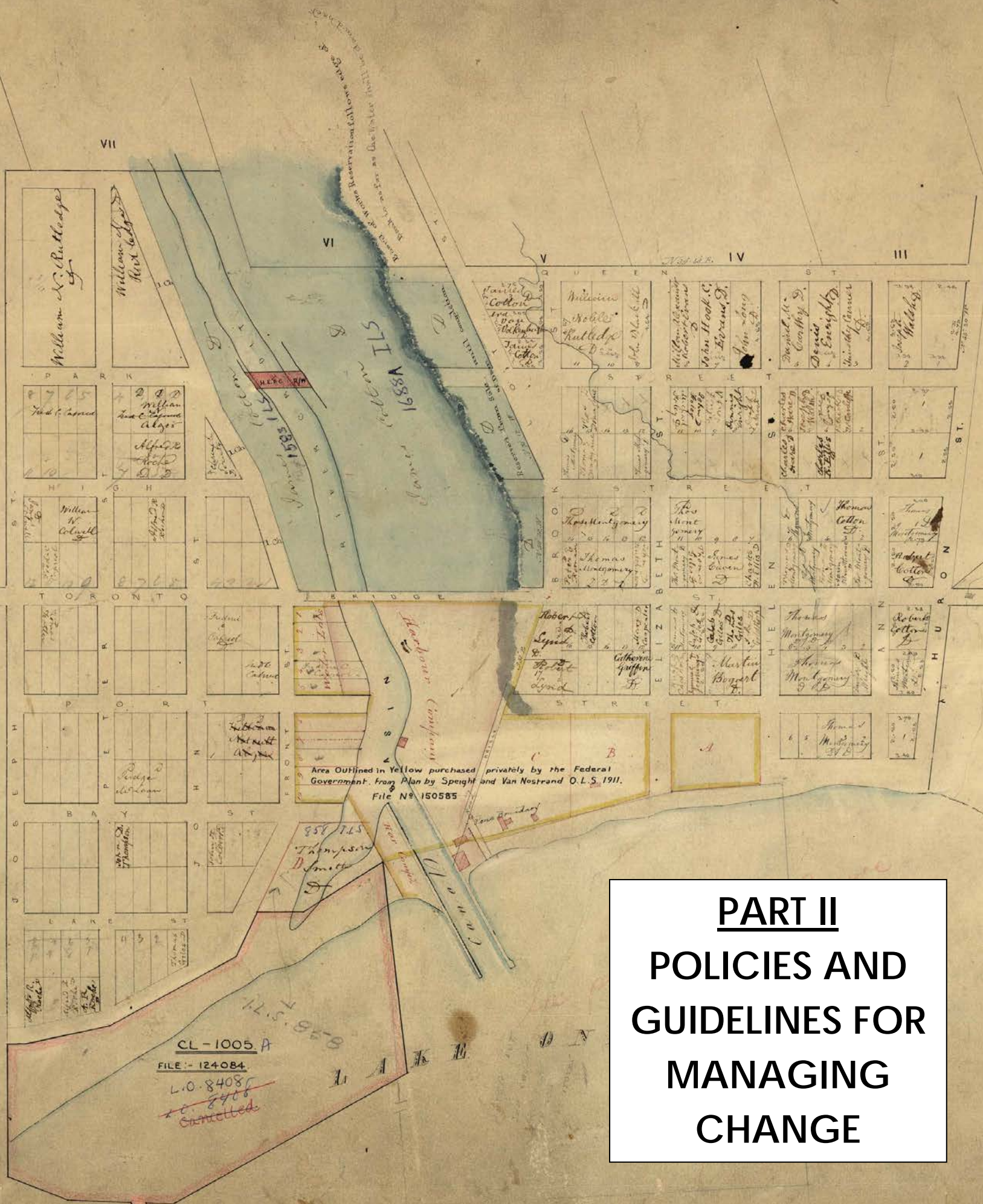
- a) To maintain the existing street grid, and enhance boulevards where and when possible.
- b) To open the long views on Mississauga Road South to Lake Ontario and on Port Street West and on Bay Street to the Credit River.
- c) To maintain J.C. Saddington Park and the public access it provides to Lake Ontario.
- d) To enhance public access to the Credit River in any development of Marina Park.
- e) To enhance public access to the Credit River in any development of the east side of the river.
- f) To enhance the streetscape and street profile to an earlier historic *character*.
- g) To maintain the views from the District towards the Credit River and Lake Ontario.
- h) To maintain the views from Lake Ontario and the mouth of the Credit River harbour north to Lakeshore Road West, including both sides of the harbour.

Former Oil Refinery / Brickyard lands

- a) To design any future development on the west side of Mississauga Road South with respect to the *heritage attributes* of Old Port Credit Village HCD, as listed in Section 3.3.

Public awareness of history

- a) To encourage historical research and archaeological investigation and interpret the District's history to the public.



PART II

POLICIES AND GUIDELINES FOR MANAGING CHANGE

PART II – Policies and guidelines for managing change

4.0 Introduction

The Old Port Credit Village Heritage Conservation District Plan follows from the Heritage Conservation Feasibility Study of Old Port Credit Village: Stage 1 Report. The Plan should be read with reference to the preceding study and the accompanying HCD Property Inventory, **Appendix B**. Excerpts from the Stage 1 Report regarding *building* conservation have also been included with this HCD Plan for information, and can be found in **Appendix C**.

The HCD Plan serves to guide physical change over time so it contributes to, and does not detract from, the District's historical *character*.

The HCD Plan applies to both the City's public works projects in parks and on streets and to each owner-initiated exterior *alteration*, addition or new construction project. While the policies encourage regular maintenance and necessary repair, property owners are not compelled to make improvements simply because of the establishment of the Old Port Credit Village Heritage Conservation District. Restoration to some fixed time in the past is not the plan's aim, but protecting the neighbourhood's primarily low-density residential land use and related architectural and urban form patterns that have survived from historical times is acknowledged as key to the neighbourhood's livability.

Over the long term of the plan, it is intended that neighbourhood *character* will be *conserved* and enhanced

The guidelines recognize that there is a role for both restoration of historical features and the addition of complementary design that will add features that comply with the requirements. It is anticipated that changes to exteriors of properties will be managed through the review and approval of heritage permit applications under Part V of the *Ontario Heritage Act*. These permit applications will be considered in the context of the guidelines in this document. It should be noted that these guidelines will also apply to properties located within the District that are also designated under Part IV of the *Ontario Heritage Act*.

4.1 Classification of properties

While each property – either privately or publicly owned – is designated as part of the Old Port Credit Village Heritage Conservation District, the plan recognizes differences among *contributing* properties and *other properties*.

Contributing properties are real properties whose age, history, or *building* is *significant* and/or complementary to the District. *Contributing properties* may include both older *buildings* that are of historic interest, as well as more recent *buildings* that are of a scale, type and built form that contributes to the District *character* according to Section 3.3. *Contributing properties* are listed in this Plan, shown on the accompanying map, and described and illustrated in the HCD Property Inventory, **Appendix B**.

Other properties are real properties whose main *building* is of a scale or form that do not meet the criteria for the District's *character* as described by Section 3.3, and include large scale single-detached dwellings, medium-to-high-density residential buildings, townhouses, and commercial buildings along Lakeshore Road West. *Other properties* are listed in the Plan, shown on the accompanying map, and described and illustrated in the HCD Property Inventory, **Appendix B**.

Regardless of the class of property, work on any property should be executed in a way that conserves or enhances the District's historical *character*.

Classification of Properties Table

No.	Address	Classification of Property
26	Bay Street	Contributing
27	Bay Street	Contributing
31	Bay Street	Contributing
36	Bay Street	Contributing
41	Bay Street	Contributing
42	Bay Street	Contributing
45	Bay Street	Other
46	Bay Street	Contributing
47	Bay Street	Contributing
50	Bay Street	Contributing
54	Bay Street	Contributing
57	Bay Street	Contributing
0	Front Street South	Contributing
10	Front Street South	Contributing
12	Front Street South	Contributing
14	Front Street South	Contributing

No.	Address	Classification of Property
16	Front Street South	Contributing
21	Front Street South	Contributing
24	Front Street South	Other
28	Front Street South	Other
32	Front Street South	Contributing
35	Front Street South	Other
36	Front Street South	Other
40	Front Street South	Contributing
42	Front Street South	Contributing
7	John Street South	Contributing
11	John Street South	Other
18	John Street South	Contributing
20	John Street South	Contributing
23	John Street South	Contributing
24	John Street South	Contributing
26	John Street South	Contributing
27	John Street South	Other
28	John Street South	Contributing
34	John Street South	Contributing
36	John Street South	Contributing
38	John Street South	Contributing
39	John Street South	Contributing
42	John Street South	Contributing
43	John Street South	Contributing
46	John Street South	Contributing
47	John Street South	Contributing
36	Lake Street	Contributing
40	Lake Street	Other
42	Lake Street	Contributing
46	Lake Street	Other
48	Lake Street	Contributing
53	Lake Street	Contributing
56	Lake Street	Contributing
58	Lake Street	Contributing
111	Lakeshore Road West	Other
113	Lakeshore Road West	Contributing
119	Lakeshore Road West	Other
121	Lakeshore Road West	Other
141	Lakeshore Road West	Contributing
151	Lakeshore Road West	Contributing

No.	Address	Classification of Property
161	Lakeshore Road West	Contributing
167	Lakeshore Road West	Other
169	Lakeshore Road West	Other
15	Mississauga Road South	Contributing
21	Mississauga Road South	Contributing
23	Mississauga Road South	Contributing
25	Mississauga Road South	Contributing
27	Mississauga Road South	Contributing
29	Mississauga Road South	Contributing
31	Mississauga Road South	Contributing
33	Mississauga Road South	Contributing
37	Mississauga Road South	Contributing
39	Mississauga Road South	Contributing
41	Mississauga Road South	Contributing
43	Mississauga Road South	Contributing
47	Mississauga Road South	Contributing
22	Peter Street South	Contributing
23	Peter Street South	Contributing
24	Peter Street South	Contributing
25	Peter Street South	Contributing
26	Peter Street South	Contributing
27	Peter Street South	Contributing
30	Peter Street South	Contributing
32	Peter Street South	Contributing
34	Peter Street South	Contributing
39	Peter Street South	Contributing
40	Peter Street South	Contributing
42	Peter Street South	Contributing
43	Peter Street South	Contributing
44	Peter Street South	Contributing
16	Port Street West	Other
23	Port Street West	Contributing
25	Port Street West	Contributing
27	Port Street West	Contributing
29	Port Street West	Contributing
31	Port Street West	Contributing
33	Port Street West	Contributing
43	Port Street West	Contributing
44	Port Street West	Contributing
45	Port Street West	Contributing

No.	Address	Classification of Property
53	Port Street West	Contributing
54	Port Street West	Contributing
57	Port Street West	Contributing
61	Port Street West	Contributing
62	Port Street West	Contributing
63	Port Street West	Contributing
12-14	Stavebank Road South	Contributing
	J.C. Saddington Park	Contributing
	Marina Park	Contributing



Figure 16: Old Port Credit Village HCD property types

4.2 Format of policies and guidelines

These guidelines are organized into a number of sections that address contemplated or potential changes to property within the Old Port Credit Village Conservation District. Each subsection provides direction or advice on *alterations* to *contributing properties* and *other properties*, *infill development*, landscape, accessibility, public works, archaeology, and green energy, as noted below:

- *Alterations* and additions to properties classified as *contributing*
- *Alterations* and additions to properties classified as *other*
- New construction
- Demolition and removal of *buildings* and structures
- Landscape conservation guidelines for private and public property
- Guidelines related to accessibility
- Guidelines related to energy conservation and sustainability
- Lands adjacent to heritage conservation districts
- Exempt *alterations* and classes of *alterations*

The subsections have further been organized into policies and guidelines where applicable.

Policies	Requirements that must be followed when undertaking <i>alterations</i> to <i>buildings</i> or changes to properties.
Guidelines	Best-practice suggestions to be considered when undertaking <i>alteration's</i> to <i>buildings</i> or changes to properties.

4.3 Heritage Impact Assessments

A *heritage impact assessment* (HIA) is a report prepared by a qualified heritage consultant that provides a historical background on a property, documents the physical attributes of the property, and rationalizes how the property will be mitigated through the development process.

- a) HIAs are required to be submitted with Heritage Permit applications for the demolition of *buildings* on *contributing* properties and all new construction.
- b) HIAs are not required to be submitted with Heritage Permit applications for *alterations* to properties within the District that comply with the policies and guidelines of this Plan.
- c) HIAs are not required to be submitted with Heritage Permit applications for new construction of *ancillary structures* less than 10 meters square.

4.4 Conservation guidance and heritage references

There is a wide variety of literature available with respect to the conservation of heritage properties. Publications and websites are easily accessible to the public, and rather than repeat this information, property owners are encouraged to review these sources in order to acquaint themselves with current *building* and landscape conservation best practices. Some applicable sources are outlined below.

- d) *Standards and Guidelines for the Conservation of Historic Places in Canada* (produced by Parks Canada) provides a sound reference document for initial guidance (available at: <http://www.historicplaces.ca/en/pages/standards-normes.aspx>).
- e) *Well-Preserved: The Ontario Heritage Foundation's Manual of Principles and Practice for Architectural Conservation* can be used for an introduction and practical guide to *restoration* and *rehabilitation* of heritage architecture (available at: <http://www.heritagetrust.on.ca/en/index.php/pages/publications/well-preserved>).
- f) *Preservation Briefs* (published by Technical Preservation Services, US National Park Service) also address a comprehensive array of topics. Representative *Preservation Brief* titles of interest include:
 - #2 Re-pointing Mortar Joints in Historic Buildings
 - #3 Improving Energy Efficiency in Historic Buildings
 - #8 Aluminum and Vinyl Siding on Historic Buildings
 - #9 The Repair of Historic Wooden Windows
 - #10 Exterior Paint Problems on Historic Woodwork
 - #32 Making Historic Properties Accessible
 - #47 Maintaining the Exterior of Small and Medium Size Historic Buildings

The above papers (and others that may be of interest) are available at: <http://www.nps.gov/tps/how-to-preserve/briefs.htm>). Where not directly applicable, these papers provide advice on how to analyze a property, as well as the process to go through in selecting a plan for an *alteration*.

- g) *International Charter for the Conservation and Restoration of Monuments and Sites* (available at: http://openarchive.icomos.org/431/1/Monuments_and_Sites_1_Charters.pdf).
- h) *The Appleton Charter for the Protection and Enhancement of the Built Principles and Practice for Architectural Conservation* (available at: <http://www.icomos.org/charters/appleton.pdf>).

- i) *The Madrid Charter: Approaches for the Conservation of Twentieth-Century Architectural Heritage* (available at: <http://www.aeppas20.org/wp-content/uploads/2015/10/03-DM-ingles.pdf>).

4.5 Specific property references

For additional information regarding a specific property's history or *heritage attributes*, references include:

- a) *Old Port Credit Village Property Inventory Information* (2018), see **Appendix B**.
- b) *Old Port Credit Village Heritage Preservation Feasibility Study* (November 24, 2003), see **Appendix C**.
- c) The City of Mississauga's Port Credit Gallery (available at: <http://www.mississauga.ca/portal/residents/portcreditgallery>)
- d) Heritage Mississauga (available at: <http://www.heritagemississauga.com/>)
- e) Professional heritage assessment assistance can be obtained via the Architectural Conservancy of Ontario's *Preservation Works!* programme (available at: http://www.arconserv.ca/preservation_works/).
- f) Professional specialists who write detailed property condition assessments can be found via the Canadian Association of Heritage Professionals (available at: <http://cahp-acecp.ca/>).
- g) Peel Art Gallery Museum and Archives (available at: https://www.pama.peelregion.ca/en/aboutpama/cityofmississauga.asp?_mid_=28376).
- h) The Canadiana Collection at the City of Mississauga Library (available at: http://www.mississauga.ca/portal/residents/localhistory?paf_gear_id=10200022&itemId=105200874n&returnUrl=%2Fportal%2Fresidents%2Flocalhistory).

5.0 Alterations to contributing properties

Most properties in the District have been identified as being *contributing*. They range from institutional landmarks to vernacular dwellings.

Property and building conservation involves maintenance, repair, *restoration*, *alteration* and new work in the form of additions. Maintenance and repair are activities that are done throughout the life of the property. An owner may also wish to restore architectural elements that have been lost, *alter* architectural elements in order to meet new demands, and add new rooms or features. While regular maintenance and necessary repair are always encouraged, returning a *contributing* property or one of its features to its original appearance or to another documented point in the property's history is only an option for owners to consider.

The following sections in the HCD Plan may also be applicable:

4.3 Conservation guidance and heritage references

4.4 Specific property references

11.0 Landscape conservation guidelines for private property

13.0 Accessibility

14.0 Energy conservation and sustainability

Part III – Exempt alterations and classes of alterations

5.1 Policies for alterations to contributing properties

5.1.1 Property owners must abide by the Property Standards By-Law 654-98.

5.1.2 The plan's policies will also apply to properties formerly designated under Part IV of the *Ontario Heritage Act*, which are now included in the Old Port Credit Village Heritage Conservation District. The Part IV buildings and properties will be treated as *contributing* properties.

5.1.3 The City will require all *buildings* on *contributing* properties remain *in situ*, and avoid their demolition or removal.

5.1.4 In cases where a *building* on a *contributing* property is proposed for demolition, the applicant for a demolition permit will be required to prepare a *heritage*

impact assessment prior to the issuing of the permit. In addition, the City may encourage *archaeological assessment* on the site while the *building* remains standing.

- 5.1.5 Before a demolition permit is issued for a *building* on a *contributing* property, the applicant will have first obtained a *building* permit for a new *building* that meets the plan's design guidelines for new construction (Section 6.0) and zoning by-law standards.
- 5.1.6 The removal or relocation of a *building* on a *contributing* property to another site will be a last resort. If removal is unavoidable, the *building* will be moved to a site as close as possible to its original site or to the most appropriate site.
- 5.1.7 The City will enter into *heritage conservation easements* with willing property owners where desirable.
- 5.1.8 The City will care for City-owned *contributing* properties in the District as currently recognized standards for property conservation recommend.
- 5.1.9 When repairing, *altering* or restoring *contributing* properties, property owners are required to:
 - a) Conserve the property's *heritage attributes*;
 - b) Conserve the property's history as documented in the HCD Property Inventory, **Appendix B**, fire insurance and other plans, historic photographs and other historical sources and as revealed on the property itself;
 - c) Conserve the structural integrity and the physical condition of the *buildings* on *contributing properties*; and,
 - d) Abide by the plan's guiding principles for the conservation of *contributing* properties.
 - e) Abide by *Standards and Guidelines for the Conservation of Historic Places in Canada* (produced by Parks Canada), which provides a sound reference document for initial guidance (available at: <http://www.historicplaces.ca/en/pages/standards-normes.aspx>).
- 5.1.10 The aim of any change to a *contributing* property will be to safeguard the *character*-defining elements of the property and not to falsify its appearance by making it look older or newer than it is.

5.1.11 Any institutional *contributing* property that cannot continue in its intended use and must be reused for other appropriate purposes will be adapted for the new use with the greatest degree of respect for the property's *character* and *heritage attributes*.

5.1.12 *Animated signs* are prohibited.

5.2 Guidelines for alterations to contributing properties

5.2.1 Foundations and walls

- a) Protect original wall surfaces from cleaning methods that may permanently *alter* or damage the appearance of the surface or give a radically new look to the property. For example, sandblasting or other abrasive particulate cleaning, strong chemical cleaning solutions, or high pressure water blast will not be permitted.
- b) Brick masonry requires re-pointing from time to time and this process should be undertaken by tradespeople with experience with nineteenth century construction.
- c) Generally, lime-based mortar should be used and joints should replicate the original in finish, colour and texture. Rough-cast or stucco walls require experienced trades to repair.
- d) Avoid the application of new finishes or coatings that *alter* the appearance of the original material, especially where they are substitutes for repair. *Alterations* that comprise unacceptable materials include water repellant coatings, paint on brick or stone, aluminum or vinyl siding. Materials such as concrete fibre board and synthetic wood products will be considered on a case-by-case basis.

5.2.2 Roofs

- a) Decorative roof features and original roofing materials, such as slate, wood shingles, and copper on sloped roofs, should be retained and *conserved* wherever possible.
- b) Ensure that vents, skylights and other new roof elements are sympathetic in type and material and that they are discreetly placed out of general view from the street and public rights-of-way.

- c) Roof drainage elements including gutters, eaves troughs, and downspouts shall be maintained and cleaned. Downspouts should be directed away from *building* foundations.
- d) Maintenance of original roof shape is encouraged.

5.2.3 Windows

- a) Protect and maintain original window openings as well as distinguishing features such as hardware, materials, surrounds, frame, shutters, sash, and glazing.
- b) Modifications to the size, type, or shape of window openings, removal of muntins, replacement of single glazing with insulated sealed units, or covering of trim with metal or other material is discouraged.
- c) Improvement in energy efficiency of single glazed units can be achieved with traditional exterior wood storm windows or contemporary interior magnetic storm glazing. Exterior-applied aluminum storm windows are discouraged.
- d) Avoid removing or blocking up window openings that are important to the architectural *character* and symmetry of the *building*.
- e) New windows should be *compatible* with the original in terms of material, proportions, rhythm and scale.

5.2.4 Entrances

- a) Exterior ramps and lifts may be permitted for barrier-free access in accordance with applicable legislation, but shall not be physically attached to *heritage building fabric*.
- b) Protect and maintain entrances on principal elevations where they are often key elements in defining the *character* of a *building*. Recessed entrances are best maintained where they exist. Conserve important features such as doors, glazing, lighting, steps and door surrounds.
- c) Where new entrances or exterior staircases are required, they should be installed on secondary elevations.

5.2.5 Features and spaces around buildings

- a) Maintain traditional views of property by avoiding the masking or hiding of prominent *building* features.
- b) Keep parking areas, *ancillary structures*, and utilities such as heat pumps and satellite dishes to the side or rear.
- c) Maintain original historical means of access including drives, walkways and doorways. If required, it is preferred that new entrances be installed on secondary elevations.
- d) Maintain proper site drainage in any work so that water does not collect or drain towards the foundation.
- e) Additional advice regarding this subject is also provided in Section 12.0: Landscape conservation guidelines for private and public property.

5.2.6 Signage

- a) Address and name signage should be modest in size, and suitably scaled to property and front yard.

5.2.7 Removal of heritage building fabric

- a) Removal of *heritage building fabric* is discouraged. Where original material must be removed its original location should be documented.
- b) *Heritage building fabric* should be repaired wherever possible and not replaced. When undertaking repair, replacement or *restoration*, use the same materials as the original.
- c) The patina of age or signs of craftsmanship such as tool marks or irregularities found in older work and materials should be respected and not covered up or obscured.

5.2.8 Exterior cladding

- a) Replace vinyl, aluminum, or other non-original siding with the original wall material if possible. Besides their effect of hiding window and door surrounds and cornice detail, these synthetic claddings conceal any decay of the underlying wall material.

5.2.9 Heating and ventilation

- a) Install new chimneys, vents, skylights and mechanical or electrical equipment away from street view.
- b) Avoid cuts into the roof; and where a cut is necessary, protect the cut with flashing.
- c) Never replace brick chimneys with metal pipes. Redundant chimneys should be kept as a *character* feature.

5.2.10 Exterior painting

- a) Never paint masonry surfaces or roughcast plaster unless already painted.
- b) Choose paint colours for wood surfaces after conducting a paint analysis which determines the *building's* paint history, or by devising a scheme that is typical for the *building's* age.
- c) Never strip painted wood to the bare wood, leaving it unpainted and exposed to the weather.

5.2.11 Considerations for commercial uses in former residential properties

- a) Where residential heritage properties are converted to commercial uses, signs should not block architectural features such as windows and ornamentation, and should be attached so as to do the least amount of damage to the façade. Attachment to masonry surfaces should be made through mortar joints and not masonry units, as mortar joints are more easily repaired.
- b) Externally illuminated signs will be encouraged and are preferred.
- c) The following sign types may be permitted on a case by case basis, usually where they are replacements for existing similar signage: internally illuminated sign, neon sign, curved rigidly and fixed vinyl awning.

6.0 Additions on contributing properties

The following policies and guidelines for adding to *contributing* properties.

The following sections in the HCD Plan may also be applicable:

- 4.3 Conservation guidance and heritage references
- 4.4 Specific property references
- 11.0 Landscape conservation guidelines for private property
- 13.0 Accessibility
- 14.0 Energy conservation and sustainability
- Part III – Exempt alterations and classes of alterations

6.1 Policies for additions on contributing properties

- 6.1.1 Property owners must abide by the Property Standards By-Law 654-98.
- 6.1.2 The installation of Exterior Insulation and Finish Systems (EIFS) is not permitted on additions to *buildings* on *contributing properties* within the District.
- 6.1.3 When adding to *buildings* on *contributing properties*, property owners will consider:
 - a) The *building's* historic materials and distinctive features;
 - b) The property's history as documented in **Appendix B**, fire insurance and other plans, historic photographs and other historical sources and as revealed on the *building* itself;
 - c) The *building's* structural support and its physical condition; and,
 - d) *Standards and Guidelines for the Conservation of Historic Places in Canada* (produced by Parks Canada) provides a sound reference document for initial guidance (available at: <http://www.historicplaces.ca/en/pages/standards-normes.aspx>).
 - e) Context sensitivity in regards to setbacks and adjacent properties.

- 6.1.4 An addition to a *building* on a *contributing* property will be lower in height and smaller in size than the existing *building* wherever possible; and in designing additions, property owners will have regard for the plan's guiding principles and any impact the addition may have on adjacent properties in terms of scale, massing, height and setback.
- 6.1.5 *Garages* of single-family dwellings shall be set back from the face of *building* a minimum of two (2) metres.
- 6.1.6 *Animated signs* are prohibited.

6.2 Guidelines for additions to contributing properties

6.2.1 Removal of *heritage building fabric* – see Section 5.2.7

6.2.2 Location

- a) Exterior additions are encouraged to be located at the rear or on an inconspicuous side of the *building*, set in from the side façade, limited in size and scale to complement the existing *buildings* and neighbouring properties. Second story additions may be acceptable if the design complies with the Plan's design guidelines.
- b) Multi-storey exterior additions are best set back as deeply as possible from the existing front wall plane in order to be unobtrusive in the streetscape and to differentiate the addition from the older structure.
- c) New *garages* are best designed as separate *buildings*, if possible, sited noticeably behind, a minimum of two (2) metres from the front facade, or towards the back of, the house.
- d) Ensure the size of the addition will maintain ample open space around the house (front, side and rear yards) to help preserve the village's private open space *character* and protects neighbours' privacy.

6.2.3 Height

- a) The majority of *buildings* within the residential area are one and a half and two stories. To maintain this profile, the height of the roof ridge in new additions should not exceed the height of the ridge of the *building* on the *contributing property*.

6.2.4 Width

- a) New additions should be designed in a *building* mass that extends rearward in depth on the lot rather than along the horizontal width.

6.2.5 Relation to street

- a) Additions to heritage residential *buildings* are encouraged to be located at the rear or on an inconspicuous side of the *building*, limited in size and scale to complement the existing *buildings* and neighbouring properties.

6.2.6 Roofs

- a) The original roof configuration should be maintained and not obscured by any addition. Similarly, roofing materials and associated features, such as fascia, trim, and brackets should be retained and not obscured.
- b) Roof types encouraged in new construction are front gabled and side gabled.
- c) Decorative roof features and original roofing materials such as slate, wood shingles, and copper on sloped roofs should be retained and *conserved* wherever possible.
- d) Ensure that vents, skylights and other new roof elements are sympathetic in type and material and that they are discretely placed out of general view from the street and public rights-of-way.
- e) Roof drainage shall be maintained and directed away from *building* foundations.

6.2.7 Windows and entrances

- a) Protect and maintain original window openings as well as distinguishing features such as materials, surrounds, frame, shutters, sash and glazing.
- b) Improvement in energy efficiency of single glazed units can be achieved with traditional exterior wood storm windows or contemporary interior magnetic storm glazing.
- c) Avoid removing or blocking up window openings that are important to the architectural *character* and symmetry of the *building*.
- d) New windows that are *compatible* with the original in terms of material, proportions, rhythm and scale is encouraged.

- e) Ramps may be permitted for barrier free access in accordance with applicable legislation, but shall not be physically attached to *heritage building fabric*.
- f) Protect and maintain entrances on principal elevations where they are often key elements in defining the *character* of a *building*. Conserve important features such as doors, glazing, lighting, steps and door surrounds.
- g) Where new entrances or exterior staircases are required, they should be installed on secondary elevations.

6.2.8 Exterior cladding

- a) *Buildings on contributing properties* are clad in traditional materials such as brick, stucco or wood siding. These materials are encouraged for new additions.
- b) Synthetic materials such as vinyl or aluminum siding are discouraged. Materials such as concrete fibre board and synthetic wood products will be considered on a case by case basis.
- c) Exterior cladding of addition should not clash with exterior cladding material of existing property.

6.2.9 Style

- a) Additions to *contributing properties* should complement the appearance of the *building* in a way that is true to its own time. They should echo contemporary architectural ideas but evoke the original spirit and take inspiration from existing *heritage attributes*.
- b) Consider modern or traditional styles, but avoid incorporating features that mimic historic features and pretend to be old.
- c) Ensure the addition does not overwhelm nearby properties.
- d) Consider the appropriateness of an existing historic addition, for example, a rear wing, in the design of a new addition.
- e) Build the addition to be as much structurally and mechanically independent from the *contributing property's building* as possible.

**ENCOURAGED EXTERIOR WALL MATERIALS FOR BUILDINGS ON
CONTRIBUTING PROPERTIES**

✓ Encouraged: Brick



✓ Encouraged: Wood board and batten



✓ Encouraged: Wood shingles



✓ Encouraged: Vertical wood siding



✓ Encouraged: Horizontal wood siding



✓ Suitable: Horizontal fibre cement board

**DISCOURAGED OR PROHIBITED EXTERIOR WALL MATERIALS FOR BUILDINGS
ON CONTRIBUTING PROPERTIES**

✗ Discouraged: faux stone



✗ Discouraged: faux stone



✗ Prohibited: exterior insulation and finish systems (EIFS)



✗ Discouraged: exposed concrete block



✗ Discouraged: vinyl shake siding

The following are limited examples provided to avoid prescriptive guidance and to encourage creative approaches to design that are sensitive to *heritage attributes*.

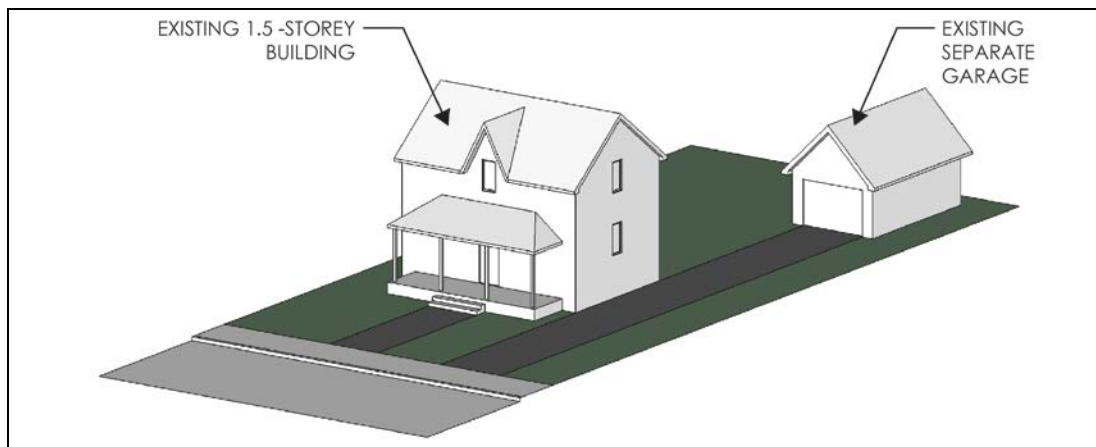


Figure 17: Typical existing massing for a 1.5-storey building on a *contributing* property

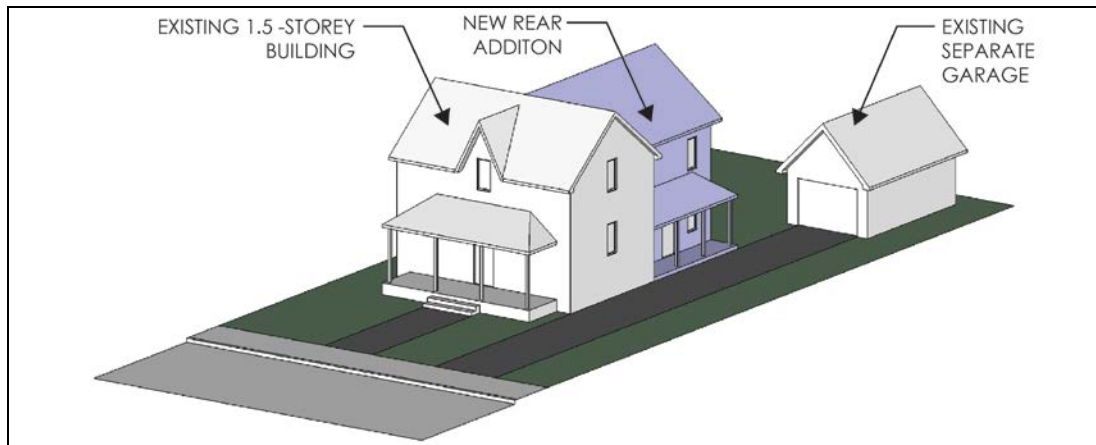


Figure 18: Example of new rear 1.5-storey addition for building on a *contributing* property

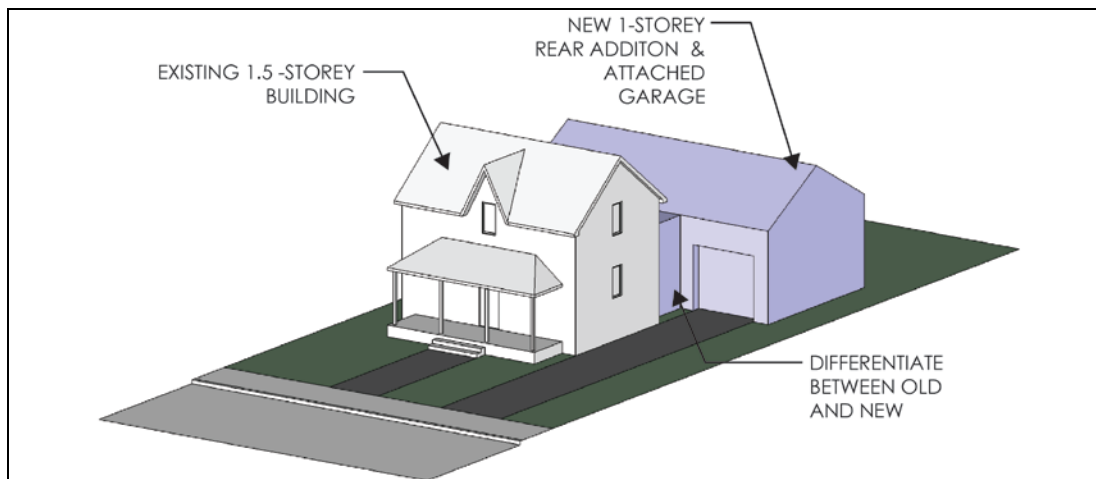


Figure 19: Example of new rear 1.5-storey addition with attached *garage* for a building on *contributing* property

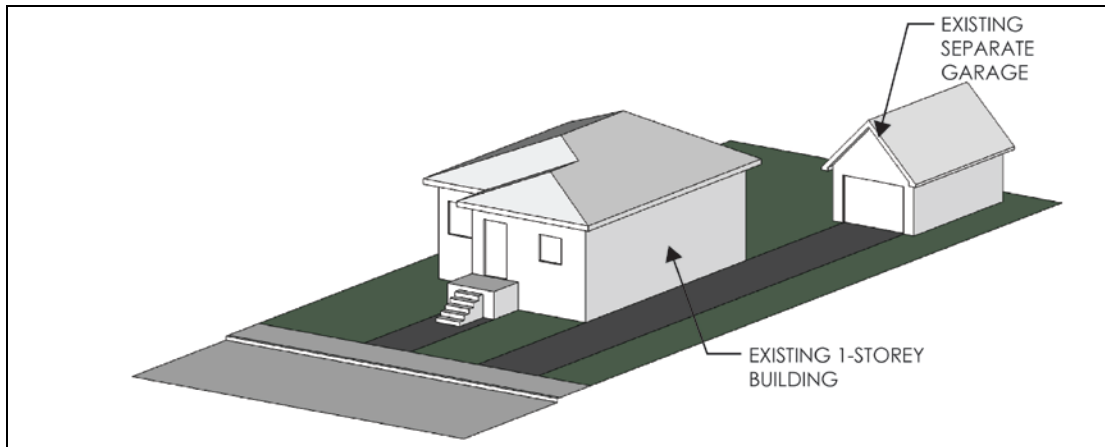


Figure 20: Typical existing massing for a 1-storey building on a *contributing* property

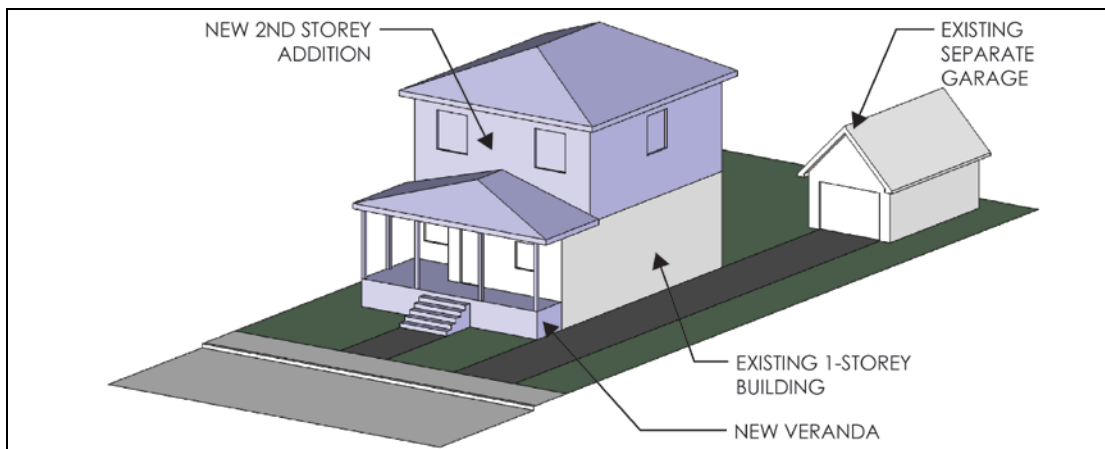


Figure 21: Example of new 2nd-storey addition with veranda on a 1-storey building on a *contributing* property

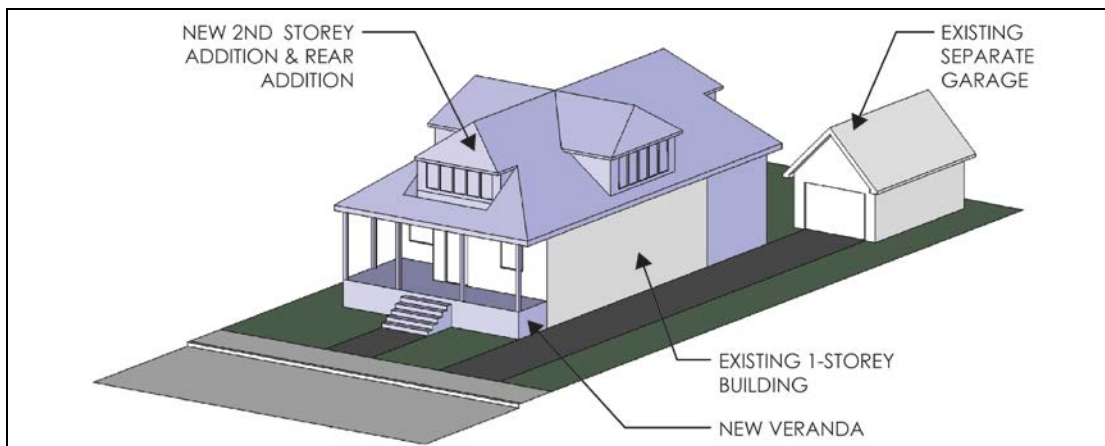


Figure 22: Example of new second-storey addition with veranda on a building on a *contributing* property

CONTRIBUTING PROPERTIES: SUITABLE ADDITIONS AND ALTERATIONS

Figure 23: An example of a suitable contemporary house alteration on a *contributing* property. New is differentiated from old, while the original roofline is maintained. The garage is separate and located in the rear. Credit: Johnson Chu, architect / Brenda Liu, photographer.



Figure 24: An example of a suitable rear 1.5 storey addition to an existing house on a *contributing* property with preferred materials of horizontal siding, brick, and wood shingle. The scale and landscaping are complementary to the District. Photo credit: GRA.



Figure 25: An example of a suitable rear addition to a house on an existing *contributing* property. The addition is set back from the face of the existing building, and does not exceed the height of the original building. The amount of front yard soft landscaping has been maintained. Photo credit: GRA.



Figure 26: An example of a suitable contemporary addition with the preferred materials of wood and shingle siding. The scale is preferred, and is the differentiation between old and new construction. Credit: Atelier Pierre Thibault / Alain Laforest, photographer.

7.0 Alterations and additions to other properties

There are some *other* residential properties in the District, although new residential construction may be permitted in the future.

The following sections in the HCD Plan may also be applicable:

11.0 Landscape conservation guidelines for private property

13.0 Accessibility

14.0 Energy conservation and sustainability

Part III – Exempt alterations and classes of alterations

New construction and work undertaken to non-heritage residential *buildings* should respect the overall *character* of the Old Port Credit Village Heritage Conservation District and be sensitive to any neighbouring heritage *buildings*. The following should be consulted for general guidance:

7.1 Policies for alterations and additions to other properties

7.1.1 Property owners must abide by the Property Standards By-Law 654-98.

7.1.2 When permitted additions to *buildings* on *other properties* are proposed, the design will respect the District's general historical *character* but integrate with the existing *building*. In designing additions, property owners will also have regard for any impact the addition may have on adjacent properties in terms of scale, massing, height and setback.

7.1.3 *Animated signs* are prohibited.

7.2 Guidelines for alterations and additions to other properties

7.2.1 Location

- a) Exterior additions are encouraged to be located at the rear or on an inconspicuous side of the *building*, limited in size and scale to complement the existing *building* and neighbouring properties.

7.2.2 Height

- a) New additions should be no higher than the existing *building* height.

7.2.3 Width

- a) New additions should be designed in a *building* mass that extends rearward in depth on the lot rather than along the horizontal width.

7.2.4 Setback

- a) In streetscapes of similar *building* setbacks new construction should match existing.

7.2.5 Roofs

- a) Roof types encouraged in new construction are front gabled and side gabled.
- b) Asphalt, wood shingles or metal are appropriate for new construction.
- c) Any required roof vents, skylights, satellite dishes, solar panels, metal chimneys and flues, other venting devices and roof features should be located to the rear of new additions.
- d) Roof lines should reflect the horizontal cornice of adjacent heritage *buildings*.

7.2.6 Exterior cladding

- d) Most of the properties in the District are clad in traditional materials such as brick, stucco or wood siding. These materials are encouraged for new additions.
- e) Synthetic materials such as vinyl or aluminum siding are discouraged. Materials such as concrete fibre board and synthetic wood products will be considered on a case by case basis.
- f) The installation of Exterior Insulation and Finish Systems (EIFS) on *buildings* on *other properties* is discouraged within the District.

8.0 Properties fronting Lakeshore Road East and West

There are several non-heritage commercial properties on the south side of Lakeshore Road East and West. In addition to the policies and guidelines for contributing and other properties, properties fronting Lakeshore Road should abide by the policies and guidelines in this section.

The following sections in the HCD Plan may also be applicable:

11.0 Landscape conservation guidelines for private property

13.0 Accessibility

14.0 Energy conservation and sustainability

Part III – Exempt alterations and classes of alterations

8.1 Policies for properties fronting Lakeshore Road East and West

8.1.1 Property owners must abide by the Property Standards By-Law 654-98.

8.2 Guidelines for properties fronting Lakeshore Road East and West

8.2.1 Location

- a) Exterior additions are encouraged to be located at the rear or on an inconspicuous side of the *building*, limited in size and scale to complement the existing *building* and neighbouring properties.

8.2.2 Height

- a) The height of additions should respect the height of existing adjacent *buildings*.

8.2.3 Relation to street

- b) Additions and alterations to commercial buildings on other properties shall continue to maintain the street wall with appropriate use of materials on the ground and upper floors.
- c) Additions to commercial buildings on corner sites shall address the side lot line with appropriate materials, glazing, entrances and other architectural features to

ensure continuity with street front façade design and avoiding the construction of large blank walls.

8.2.4 Windows and entrances

- a) Storefronts should be primarily glazed, and upper storey windows should be rectangular and vertical in proportion.
- b) Entrances from the sidewalk may be flush or recessed.
- c) Blank windowless walls are discouraged.

8.2.5 Exterior cladding

- a) The principal *building* cladding for commercial *buildings* in the District has been historically either brick or rough cast stucco. Residential *buildings* in commercial use are frame with stucco or horizontal weatherboard cladding. These materials will be encouraged for major additions, with an emphasis on distinguishing old and new portions of the *building*.
- b) The installation of Exterior Insulation and Finish Systems (EIFS) on *buildings* on *other properties* is discouraged within the District.

9.0 New construction

In addition to the zoning by-law standards, the following guidelines will assist property owners in designing new *buildings* and their *garages*.

The following sections in the HCD Plan may also be applicable:

4.4 Specific property references

11.0 Landscape conservation guidelines for private property

13.0 Accessibility

14.0 Energy conservation and sustainability

Part III – Exempt alterations and classes of alterations

9.1 Policies for new construction

- 9.1.1 The design of a new *building* will correspond to the plan's design guidelines for new construction and respect the District's general historical *character*. In the designing of new *buildings*, property owners will have no impact on adjacent properties in terms of scale, massing, height, setback and entry level.
- 9.1.2 New *buildings* will be one, one-and-a-half or two storeys in height except on multi-unit residential sites where *building* height currently exceeds two storeys. On these sites, the maximum height will be the exact same height or less than as presently exists.
- 9.1.3 Any *garage* will be placed behind a minimum of two (2) meters from the front wall of the house; and may be detached or attached. One-storey detached *garages* are preferred.
- 9.1.4 Land use for new construction will conform to Section 15.0 Land Use.
- 9.1.5 *Animated signs* are prohibited.

9.2 Guidelines for new construction

9.2.1 Height

- a) The District's houses of the nineteenth and early twentieth century were mostly one-and-one-half storeys tall. A new house shall not exceed two storeys.

9.2.2 Open space

- a) The placement of a new house on its lot and the delineation of the house's footprint should result in ample open space around the house.
- b) There should be a modest front yard setback and a deeper backyard. Be aware of any established *building* line along the street and the setbacks on adjacent properties to ensure conformity. The setback from the street should be a median of neighbouring properties.

9.2.3 Trees and vegetation

- a) Save *significant* trees when siting and constructing new *buildings*. Mature trees take many years to grow. They provide shade in summer, release oxygen, filter pollutants in the air, offer habitat for birds, and provide a canopy cover.
- b) The footprint of new *buildings* should be located away from any *significant* tree on the property, and measures should be taken to protect *significant* trees during construction.

9.2.4 Relation to street

- a) New *buildings* should reinforce the existing street grid pattern. The street grid helps define the District's historical *character*. Any new house should be sited parallel to the street (not angled).

9.2.5 Wall materials

- a) Choose a wall material that complements the *contributing property's buildings*. Wood siding and red brick veneer were the typical claddings for District houses. A common form of wood siding was clapboard of relatively narrow cut and with a slight projection
- b) The wall material should be the same across the wall, not a mix of materials.
- c) Pre-coloured wood siding or synthetic siding are options, and should be properly installed.
- d) The installation of Exterior Insulation and Finish Systems (EIFS) on *buildings* on *other properties* is discouraged within the District.

9.2.6 Windows

- a) The proportions of windows in the District's *contributing property's buildings* are taller than they are wide. They are flat-headed or with a very shallow arch.
- b) Avoid multi-paned sashes, especially the ones with snap-in muntin bars.

- c) Place any large, full-length, two-storey or picture window away from street view.

9.2.7 Roof

- a) Almost all the District's *buildings* have gable, hip or truncated hip roofs of medium pitch. The gable roof was most common.
- b) Install chimneys, vents, skylights and mechanical or electrical equipment away from street view.

9.2.8 Services

- a) Modern services, vents and exhausts are best placed where they cannot be seen by passersby on the sidewalk.

9.2.9 Garages and ancillary structures

- a) Site *garages* behind a minimum of two (2) metres from the front wall of the *building*. *Ancillary structure* in the District have traditionally been placed in the backyard. There are several examples of small detached, gable-roofed *garages* located behind the house and in the side yard.
- b) If a separate *garage* is not possible, an attached *garage* or carport should be set back from the house's front wall as far as possible.

9.2.10 Style

- a) New construction should be a product of its own time.
- b) New construction should be respectful of the District's historical patterns, but it should not pretend to be old. Consider modern or traditional styles, but avoid incorporating features that mimic historic features.
- c) The mariners, sailors, fishers, wharfingers, tradespeople, and labourers who built the District's houses of historic interest used decoration sparingly. Ornamentation of new construction should be restrained.

SUITABLE NEW CONSTRUCTION

Figure 27: An example of a suitable new construction with horizontal fibre-cement siding and contextually appropriate geometries without false heritage details. The *garage* is separate and located in the rear. Credit: Rowland + Broughton Architects.



Figure 28: An example of a suitable new construction with preferred scale, amount of landscaping, and horizontal siding in Old Port Credit Village, 57 Bay Street. The *garage* is separate and located in the rear.



Figure 29: An example of suitable new construction. Brick cladding, clay tile roofing, roof shape, and building scale are sympathetic to the District. Credit: Bedaux de Brouwer, architect / Filip Dujardin, photographer.

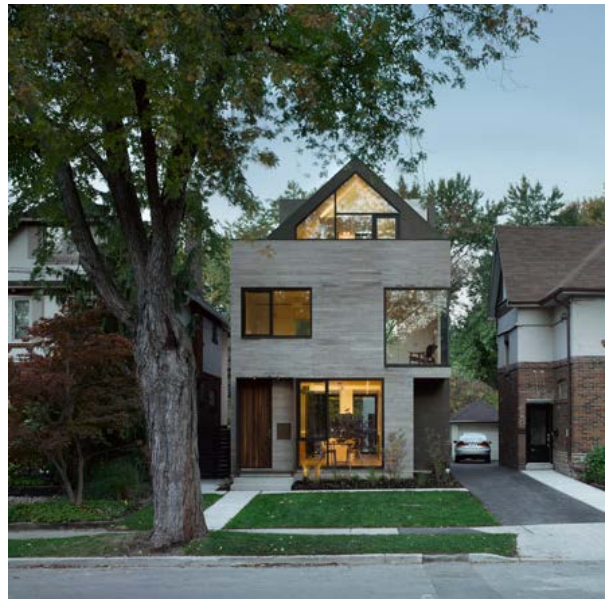


Figure 30: An example of suitable new construction. Wood siding is preferred in the District. The omission of false historic ornamentation and the quality of architectural details is preferred. The recessed, detached *garage* and extent of landscaping is encouraged. Credit: Drew Mandel, architect / Ben A. Rahn, A-Frame, photographer.

DISCOURAGED NEW CONSTRUCTION

Figure 31: An example of an unsuitable contemporary house. The use of EIFS is discouraged. The rounded gables, windows, lighting are faux historic details which are discouraged.



Figure 32: An example of an unsuitable contemporary house. Faux stone cladding, and several different types of faux historic gables and roof shapes are discouraged.



Figure 33: An example of an unsuitable contemporary house. Garages in front of the face of the building are discouraged.



Figure 34: An example of an unsuitable contemporary house. Faux stone and faux historic lighting details is discouraged.



Figure 35: An example of an unsuitable contemporary house. The two-storey entrance vestibule, faux stone, and multiple roof shapes are discouraged.

10.0 Demolition and removal of buildings

Building demolition is not prohibited by the *Ontario Heritage Act*, but it will be actively discouraged within the Old Port Credit Village Heritage Conservation District. Property owners are encouraged to work with existing *contributing* properties, *altering* and adding to them in a sympathetic manner, rather than demolishing and building anew.

10.1 Policies for the demolition of buildings on contributing properties

10.1.1 The demolition of *buildings* on *contributing properties* (as classified in Section 4.1) shall not be permitted. Exceptions may only be considered in extraordinary circumstances such as natural disasters (e.g. fire, flood, tornado, earthquake, etc.), or where there is a greater public interest served (e.g. health and safety concern), as determined by Council, through the demolition of the *building* or structure.

10.1.2 Other extraordinary circumstances shall generally constitute those situations where public health and safety is considered to be compromised and the City of Mississauga's Chief Building Official has determined, based on an independent structural assessment that the *building* is beyond repair and has been determined to be unsafe. The structural assessment must be prepared by a professional engineer with expertise and experience in heritage buildings and structures.

10.1.3 The property owner shall demonstrate that all other options have been investigated including: *preservation*; *rehabilitation*; *restoration*; retro-fitting; reuse; mothballing; etc. and that they are not viable options from a structural engineering and/or health and safety perspective.

10.1.4 Should a heritage permit for demolition of a *building* on a *contributing property* be submitted to the City of Mississauga, the following conditions should be met:

- a) The property owner shall retain an appropriately qualified heritage professional to evaluate the potential loss to the cultural *heritage value* of the District in support of the demolition request of a *contributing property's building*, in the form of a *heritage impact assessment*.
- b) The property owner shall provide drawings for a new *building* and/or site landscaping with the heritage permit application. In circumstances where demolition has been required as a result of natural disaster or public safety concerns, once a *building* on a *contributing property* has been demolished and the property is considered to be in a stable and safe state the property owner

shall submit the required heritage permit application for the new *building* and/or site landscaping within six months of site clearance, or as agreed upon on between the owner and the City.

- c) A record of the *building* or the remains of the *building* through photography and/or measured drawings shall be required as a condition of demolition approval.
- d) Within three (3) years of that submission, or as mutually agreed upon by the property owner and the City of Mississauga, if new construction has not been completed, the provisions of the Ontario Heritage Act shall apply with respect to contraventions of the Act.

10.2 Policies for removal of buildings on contributing properties

10.2.1 The removal or relocation of *contributing properties' buildings* (as classified in Section 4.1) shall generally not be permitted. Exceptions may only be considered in certain extraordinary and temporary situations with the submission and approval of a heritage permit application by City Council.

10.2.2 It is expected that any *building* proposed for removal or relocation shall be recorded, disassembled, stored in a climatically controlled and secure storage facility until such time that it is reassembled on-site in its original location. The City shall require notification of the location of the storage facility or any changes in the location, access to the location if required by City staff and shall require these as part of any conditions of approval.

10.3 Policies for the demolition and removal of buildings on other properties

10.3.1 Demolition and/or removal of *buildings on other properties* (as classified in **Appendix B**) may be permitted by Council upon the submission and approval of a heritage permit application provided it is accompanied with a *heritage impact assessment*, drawings and plans for a new *building* that complies with the policies and guidelines of this Plan and other applicable guidelines and standards.

10.3.2 Conditions of approval shall require that any new *building*, structure or site works permitted shall be constructed within three (3) years of approval, or as mutually agreed upon by the property owner and the City of Mississauga.

10.3.3 Where the heritage permit application is for the demolition of an *ancillary structure* and there is no need or requirement to build a replacement structure, appropriate plans or drawings shall be submitted with the heritage permit application to show the finish surface treatments, fencing or plantings. The owner shall be required to document the age, material, and use.

11.0 Landscape conservation guidelines and policies for private property

The District's landscape *character* complements the generally small scale of District houses and greater scale of institutional *buildings*. There is a rich variety of vegetation on private property or within the public parkland. The District's distinctive visual appearance is due to a varied collection of landscape details that has evolved slowly over time in contrast to the more uniform *building* and streetscape patterns found in neighbourhoods constructed all at once.

The responsibility for landscape features is shared between the public realm and the private property owner. The following policies and guidelines are intended to assist in decision making related to private property, while policies and guidelines related to public property are provided in Section 13.

11.1 Policies for private landscape conservation

11.1.1 Front yards will be kept mainly as landscaped space and not hard-surfaced.

11.1.2 A single-lane driveway located to one side of the lot will provide access to any new *garage* serving a single-detached house.

11.1.3 For the owner of a single-detached house on and where that owner desires a fence along the frontage of the lot, a wood fence based on fences shown in historic photographs of the District will be encouraged.

11.1.4 District property owners will be encouraged in the appropriate care of *significant* specimen trees and shrubs or groupings of them.

11.1.5 Property owners will site additions and new *buildings* away from *significant* trees and shrubs where possible and protect them during construction projects in accordance with municipal standards.

11.1.6 The removal of trees is subject to the City of Mississauga Private Tree Protection By-law.

11.2 Guidelines for private landscape conservation

11.2.1 Yards and open spaces

- a) The front yards generally contain a variety of deciduous and coniferous specimen trees, hedges particularly along the side property lines or along the front property line, shrub and perennial borders and foundation planting.
- b) Private open space associated with institutional uses is an important feature of the District. The property owner is encouraged to retain key defining landscape features in any adaptive reuse plan.
- c) There are also several privately owned open spaces associated with the District's institutional uses. The church and school yards and the cemetery are important green spaces that visually balance the adjacent large-scale *building*. Other open areas are used for parking, such as at the Masonic Temple.



Figure 36: Private open space at 157 Lakeshore Road West.

11.2.2 Trees, shrubs, and fencing

- a) Property owners are encouraged to retain and conserve existing trees, shrubs, foundation plantings, hedging, ornamental fencing and retaining walls along the side yards and frontages.
- b) The addition of specimen trees within the front and side yards of corner properties enhances the pedestrian environment and complements the *building*.
- c) New trees and shrubs added to front yards should be selected from the species of trees already found in the neighbourhood (except ash, Norway maple and Manitoba maple, which are not suitable for replanting as they are susceptible to pests or are invasive in adjacent natural areas).
- d) Historic photographs should be used to guide the reestablishment of landscape features such as fences and arbours. Appropriate hedge species include yew, cedar, privet, alpine currant, and lilac.



Figure 37: Fencing at 48 Lake Street, 1920. Credit: City of Mississauga's Port Credit Gallery



Figure 38: Fencing at 26 John Street, 2017. Credit: MHBC.

11.2.3 Garages and parking

- a) *Garages* should be set back from the front line of houses a minimum of two (2) meters, and side yard parking should be retained and replicated.
- b) Driveways tend to be narrow, leading to detached single-car *garages*. Front walkways are generally direct from the sidewalk to the front entrance or porch.

- c) Changes to driveway entrances, parking, and other hard-surface areas on private property should be carefully planned to ensure that compaction of the street tree root system does not occur. Generally, an area around the base of the tree equal in diameter to the crown of the tree should remain undisturbed to protect the long-term health and survival of the tree.
- d) Front yard parking, excessive curb cuts and paving by adjacent private property owners should be avoided in order to retain the overall soft (green) landscape of the front yard.
- e) Driveways should be narrowed at the curb and should ideally be separated from the adjacent lot driveway by a green space to reduce the visual impact of the hard surface crossing the boulevard.
- f) The use of permeable pavers instead of asphalt or concrete-paved driveways is preferred.

11.2.4 Grading

- a) Existing grades should be maintained so as not to *alter* drainage patterns.

12.0 Landscape conservation - public property

The District's landscape character complements the generally small scale of District houses and greater scale of institutional *buildings*. There is a rich variety of vegetation on private property or within the public parkland. The District's distinctive visual appearance is due to a varied collection of landscape details that has evolved slowly over time in contrast to the more uniform *building* and streetscape patterns found in neighbourhoods constructed all at once.

The responsibility for landscape features is shared between the public realm and the private property owner. The following policies and guidelines are intended to assist in decision making related to public property, while policies and guidelines related to private property are provided in Section 11.

12.1 Policies for public landscape conservation

12.1.1 The City will maintain the existing street grid, and will consider the feasibility of incorporating the historical pattern of wide grass boulevards with random street tree planting in any plan for streetscape improvement.

12.1.2 The City will consider the following streetscaping measures to better reflect the previously-existing landscape features:

- a) Narrowing of the streets with landscaped 'bump-outs' and defined areas for on-street parking.

12.1.3 The City will protect trees in the public right-of-way.

12.1.4 The City will interpret the historical associations with the three District streets named after Mississauga chiefs – Joseph Sawyer (Joseph Street, the original name of Mississauga Road South in the District), Peter Jones (Peter Street) and John Jones (John Street) – by means of commemorative street signs, plaques or displays. Interpretive plaques and signs should be coordinated with The City of Mississauga Heritage Planning staff. Consideration will be made for use of the Indigenous name "Nawahjegezhegwabe" (or the baptismal name Joseph Sawyer) for Mississauga Rd South.

12.1.5 J.C. Saddington Park will remain a City park for passive recreational activities primarily.

- a) Any plan for the *alteration* of the landscape design of J.C. Saddington Park will conserve the park's original design principles as described in the plan's landscape conservation guidelines.
- b) The public will be consulted on any master plan for the *alteration* of J.C. Saddington Park.
- c) The City will consider adapting the three *buildings* at the former waterworks pumping station in J.C. Saddington Park for a seasonal or year-round public use.



Figure 39: Two of the former waterworks buildings located in J.C. Saddington Park. Adaptive re-use of these buildings is recommended. Credit: GRA.

12.1.6 Marina Park will be developed as an integral part of both Port Credit harbour and the Old Port Credit Village Heritage Conservation District, and its development will have regard for the following principles:

- a) Public access to the Credit River will be enhanced.
- b) Views of the Credit River from both the Port Street West and Bay Street road allowances will be extended through the site.
- c) New *building* heights will not exceed two storeys.

- d) *Buildings* will be articulated to reduce the perception of bulk.
- e) *Buildings* will be oriented to acknowledge the river, Front Street South frontage and District street grid.
- f) Service areas for any new development, including the provision of car parking, will be inconspicuous.
- g) Pedestrian links along the Credit River through the site and both north and south of it will be pursued where feasible.
- h) Historical interpretation of the site will be integrated into any future development.
- i) City will prepare a master plan for Marina Park prior to any development, and the plan will address the following:
 - i. The public will be consulted on the master plan.
 - ii. *Archaeological assessment* and any related detailed testing, excavation and artifact recovery will occur in conjunction with the master plan.
 - iii. A program for the historical interpretation of the site will be developed during the master plan process.

12.1.7 The feasibility of a river trail connecting Memorial Park north of the District and J.C. Saddington Park will be studied.

12.1.8 Development undertaken within the publicly-owned land on the east side of the Credit River could include matters such as providing waterfront access, recreational trails, open landscape space, or *buildings* that are *compatible* with the park function.

12.2 Guidelines for public landscape conservation

12.2.1 Street trees and boulevards

- a) The municipality is responsible for the public works within the road right-of-way and for the open space parkland. The planting and maintenance of the trees make a significant contribution to the heritage landscape *character* of the District.
- b) The majority of trees are mature, wide-canopy deciduous trees – primarily silver maple, red oak, sugar maple, horse chestnut, catalpa, ash and mountain ash. These species have green foliage in the summer and colourful reds, yellows and golds in the fall. Many of the trees are located adjacent to the sidewalk at the property line.
- c) Existing trees should be monitored on a regular basis to ensure that they remain healthy. Pruning of dieback, fertilization and pesticide treatments should be undertaken as required to preserve the existing trees.
- d) As trees mature and replanting is required, the selection of the species should re-establish the form and *character* of the existing streetscape. Where possible, the new trees should be large-canopied, green foliage deciduous trees.
- e) Undertakings such as road improvements and infrastructure upgrades should be assessed prior to the start of construction to determine if they will negatively affect the existing trees. It may not be possible to incorporate underground electrical services until such time that street trees are being replaced, due to the possibility of damage to trees and root systems.
- f) The feasibility of adding a grass boulevard and planting appropriate large-canopy trees, randomly spaced, should be investigated as part of future infrastructure and streetscape improvement initiatives.

12.2.2 Public park areas

There is a large amount of open space developed as parking space or parkland around the perimeter of the District. Marina Park's riverside lands provide services for tourists and well as residents. Marina Park consists of a northerly parcel containing parking lot, boat launch, charter boat docks, fish cleaning station, public washrooms, and pumping station, and a southerly parcel which is undeveloped and remains as an open gravelled lot. J.C. Saddington Park, a significant urban park serving not only District residents but also visitors from the broader community, was developed in the 1970s on extensive landfill at the foot of John Street South and Peter Street South. The park was designed by Lombard North Planning Limited, park designers from Winnipeg, who became well-known across Canada for their large-scale urban open space projects.

The design principles which are the foundation of J.C. Saddington Park include:

- a) Separating vehicles and pedestrians by locating parking in concentrated lots at the edge of the park;
- b) Defining the open space with landforms or berms located around the perimeter of the park;
- c) Creating unique features as attractions such as an artificial waterfall and stream course flowing through the park to a small pond;
- d) Adding year-round visual interest to the open space by planting a variety of both native and non-native tree species (conifers and deciduous shade trees) in informal groupings;
- e) Accommodating informal passive recreational activities by providing large areas of mowed turf (no sports fields);
- f) Providing visitor services by means of structures located throughout the park – a playground, group picnic area, washrooms;
- g) Providing a pedestrian system which consists of a hierarchy of walkways throughout the park – the lakefront trail close to the water's edge and internal walks crossing the park; and,
- h) Creating overlooks to the lake at specific locations along the lakefront trail.

J.C. Saddington Park is a significant urban park which provides passive recreational opportunities for a broad spectrum of users. The pedestrian trail system and the undulating landforms planted with native and non-native trees successfully define a variety of activity areas. These features should be retained and incorporated in long-term plans for the park.



Figure 40: J.C. Saddington park.
Credit: MHBC.



Figure 41: J.C. Saddington park.
Credit: MHBC.



Figure 42: J.C. Saddington park.
Credit: MHBC.



Figure 43: J.C. Saddington park.
Credit: MHBC.



Figure 44: Streetscape character.
Credit: MHBC



Figure 45: Streetscape character.
Credit: MHBC.

12.2.3 Streetscape elements

The grid layout of streets remains unchanged from the original survey of 1835. However, the street cross sections have changed significantly with road widening and servicing infrastructure upgrades undertaken since the 1960s. As a result of this work, the streets are wide with on-street parking lanes on one or both sides. The grass boulevard has been replaced with a curb-faced sidewalk, so the large deciduous trees whose canopies shade the streets are located on the outside of the sidewalk, on or close to the property line. Overhead electrical wires are carried on wooden utility poles which also support utilitarian cobra head streetlights.

13.0 Accessibility

The *Accessibility for Ontarians with Disabilities Act* became law on June 13, 2005. The Act's overall intent is to make the province accessible by 2025 through establishing a variety of accessibility standards, (i.e. mandatory rules) for customer service, transportation, information and communication, employment and the built environment. It is intended that accessibility standards will be phased in over time and are to be developed by people from the business and disability communities. The goal of the *Accessibility Standards for the Built Environment* is to remove barriers in public spaces and *buildings*. The standards for public spaces apply to new construction and planned redevelopment. It is anticipated that enhancements to accessibility in *buildings* will happen at a later date through *The Ontario Building Code*, which governs new construction and renovations in *buildings*.

The issue of compliance for heritage properties, specifically those designated under the *Ontario Heritage Act*, has yet to be fully addressed in legislation. Past practice suggests that greater accessibility must be met, but with a modified standard for designated heritage properties. This is intended to take into account the value of *heritage building fabric*, historical spaces and architectural features. The Old Port Credit Village HCD Plan encourages accessibility to heritage properties, but attempts to ensure that, as with other *alterations*, there is minimal or no intrusion into the *heritage building fabric* or impacts on the *heritage attributes*.

Some clarification has been provided through regulation (O.Reg. 191/11) related to outdoor walkways or sidewalks, and it is noted that exceptions from complying with the AODA are permitted in several situations, as outlined below:

1. *The requirements, or some of them, would likely affect the cultural heritage value or interest of a property identified, designated or otherwise protected under the Ontario Heritage Act as being of cultural heritage value or interest.*
2. *The requirements, or some of them, would affect the preservation of places set apart as National Historic Sites of Canada by the Minister of the Environment for Canada under the Canada National Parks Act (Canada).*
3. *The requirements, or some of them, would affect the national historic interest or significance of historic places marked or commemorated under the Historic Sites and Monuments Act (Canada).*
4. *The requirements, or some of them, might damage, directly or indirectly, the cultural heritage or natural heritage on a property included in the United Nations Educational, Scientific and Cultural Organisation's World Heritage List of sites*

under the Convention Concerning the Protection of the World Cultural and Natural Heritage.

5. *There is a significant risk that the requirements, or some of them, would adversely affect water, fish, wildlife, plants, invertebrates, species at risk, ecological integrity or natural heritage values, whether the adverse effects are direct or indirect.*
6. *It is not practicable to comply with the requirements, or some of them, because existing physical or site constraints prohibit modification or addition of elements, spaces or features, such as where increasing the width of the exterior path would narrow the width of the adjacent highway or locating an accessible pedestrian signal pole within 1,500 mm of the curb edge is not feasible because of existing underground utilities.*

Exceptions 1 and 6 are applicable to the Old Port Credit Village Heritage Conservation District, in that complying with accessibility standards would affect, or could likely affect, the cultural *heritage value* of a property designated under the *Ontario Heritage Act*, and the existing *building*, street and sidewalk layout present physical limitations that prevent compliance with accessibility standards.

The following guidelines provide some specific guidance related to a variety of accessibility-related matters:

13.1 Guidelines for accessibility

- 13.1.1 Modifications to *buildings* and public spaces are permitted and encouraged in order to improve accessibility. Depending on the scope of work, a heritage permit may be required.
- 13.1.2 As outlined in the regulations associated with the *Accessibility for Ontarians with Disabilities Act*, the City is permitted to vary some of the standards associated with public walkways. Additional exceptions may be added in the future. It is important that any exceptions to compliance with standard accessibility requirements are implemented in such a manner as to not put people at risk.
- 13.1.3 Entrance ramps may be permitted for barrier-free access in accordance with applicable legislation, but should not be physically attached in order to avoid damage to the *heritage building fabric*. In some circumstances, attachments may be permitted where they cause the least amount of damage to *heritage building fabric*. Care should be taken in these circumstances.
- 13.1.4 Accessibility should be considered in the selection of materials and installation (refer to the *Accessibility for Ontarians with Disabilities Act* guidelines).

- 13.1.5 It is important that any *alterations* or additions to the streetscape ensure that there is accommodation and safety for pedestrians, as well as for a wide variety of other users and in particular cyclists, public transit, and people with mobility limitations and partial vision. Public seating furniture or pedestrian resting areas are encouraged.
- 13.1.6 The underlying principle for additions and *alterations* to sidewalks is that they should sustain accessibility and barrier free travel for pedestrians with a variety of challenges. Intersections may be altered with the addition of low contrast surface textures.
- 13.1.7 There is a balance to be made between the smooth surface required by mobility devices and the identification of landings at intersections for those with partial vision. It is important that the choice of materials for *alterations* or additions complements the traditional streetscape now found within the District. Concrete continues to be well suited for the continuation for sidewalks, curbs, landings and other features in the streetscape.



Figure 46: An example of an acceptable exterior barrier-free lift in the District, at 43 Peter Street South. The lift is suitable because it is not directly attached the heritage building fabric.



Figure 47: An example of an acceptable exterior barrier-free ramp in the District, at 7 John Street South. The ramp is suitable because it is not permanently impacting the heritage building fabric.

14.0 Energy conservation and sustainability

Energy conservation and sustainability are often linked to each other. Energy conservation typically involves making *buildings* more efficient, and may also include installations of green energy projects. Energy conservation can also be thought of in the sense of sustainability, as retaining carbon sequestered in existing *buildings* and systems (e.g. windows and doors), and saving the energy required to fabricate materials for new construction. Space is also saved in landfill sites in relation to construction debris if existing materials are retained. It is often said that the most energy efficient *building* is the one that is already standing.

The *Act to enact the Green Energy Act* is focused on promoting green energy projects and streamlining approvals processes in order to expedite these projects. Certain exemptions are made to approvals and there are also procedures for self-assessment. In seeking approvals under the *Green Energy Act* or related regulations, properties designated under the *Ontario Heritage Act* retain their status and any proponent of an energy renewal project must satisfy the approval authority that they will have all heritage permits and met any conditions used by a municipality.

The following additional policies and guidelines are applicable to green energy projects:

14.1 Policies for energy conservation and sustainability

14.1.1 The consideration of green energy and alternative energy projects is permitted.

14.1.2 The addition of personal wind turbines, solar panels or solar hot water heaters may be permitted on roofs, but should not damage or remove *heritage building fabric*. The installation of this type of equipment should be in the same plane as the roof (e.g. at the rear slope of a roof or on a flat or low pitched roof), and not visible from the street.

14.1.3 For larger-scale projects governed by the *Green Energy Act*, scale and impacts on views and the heritage *character* and value of the District shall be considered. These projects will be evaluated on a case by case basis through the heritage permit process.

14.2 Guidelines for energy conservation and sustainability

14.2.1 Installations of solar panels are encouraged to be located in places that are generally out of view from the street.

14.2.2 It is anticipated that technology related to renewable energy production will continue to evolve. The evaluation of future projects not specifically covered by these guidelines will be based on the protection and *conservation* of the cultural *heritage value* and attributes of the District.

15.0 Land use

15.1 Policies

- 15.1.1 Land use will conform to the land use policies in the official plan.
- 15.1.2 The District's predominately low-density residential land use character will be maintained.
- 15.1.3 Marina Park and J.C. Saddington Park will continue to provide public access to the water.
- 15.1.4 St. Mary's Roman Catholic Cemetery and its grave markers and mature trees will be preserved.
- 15.1.5 Open spaces associated with St. Mary's Separate School, St. Mary's Roman Catholic Church and First United Church will be preserved if at all possible. These spaces may contain unmarked graves.
- 15.1.6 The legally existing multi-unit residential *buildings* will be recognized.
- 15.1.7 The continued use of the District's institutional landmarks for their intended use will be encouraged, but allowance will be made for their reuse for other institutional purposes (preferably) or for other appropriate purposes. Any new use will preserve the *character* of the landmark *building* and its lot.
- 15.1.8 The Emma Peer House at 7 John Street South, the Ida and Benjamin Lynd House at 15 Mississauga Road South and the Wilcox Inn at 32 Front Street South will be used for *compatible* residential and/or commercial use.
- 15.1.9 Townhouses will be permitted only at 28 Front Street South.
- 15.1.10 Existing or new *buildings* on the west side of Front Street South, north of 28 Front Street South and south of 111 Lakeshore Road West, will be used as houses, commercial *buildings* or mixed commercial/residential *buildings*, provided that they have a single-detached residential appearance that is consistent with the form, design and scale of the District's low-density residential land use.

16.0 Lands adjacent to heritage conservation districts

Lands adjacent to a heritage conservation district are not subject to the policies and guidelines contained within a heritage conservation district plan. This section outlines the requirements related to development adjacent to heritage properties, as well as how this topic is assessed in the City of Mississauga.

The goal is to design any future adjacent development without negatively impacting the *heritage attributes* of the District, as listed in Section 3.3.

16.1 Existing policy context summary

The *Provincial Policy Statement (PPS)* provides direction for the development of properties adjacent to a *protected heritage property*. As noted earlier in this report, Section 2.6.3 of the *PPS* states that development and site *alteration* is not permitted on adjacent lands to *protected heritage property* except where it has been demonstrated that the *heritage attributes* of the property will be *conserved*.

The Region of Peel Official Plan echoes the PPS requirement in Section 3.6.2.8, and directs area municipalities to only permit development and site *alteration* on adjacent lands to *protected heritage property* where the proposed property has been evaluated and it has been demonstrated that *heritage attributes* of the *protected heritage property* will be *conserved*. The Official Plan defines ‘adjacent lands’ to mean lands that are contiguous, and where it is likely that development or site *alteration* would have a negative impact on the feature or area.

The City of Mississauga Official Plan contains additional guidance in Section 7.4.1.12, which notes the following:

7.4.1.12 The proponent of any construction, development, or property alteration that might adversely affect a listed or designated cultural heritage resource or which is proposed adjacent to a cultural heritage resource will be required to submit a Heritage Impact Assessment, prepared to the satisfaction of the City and other appropriate authorities having jurisdiction.

The Official Plan further states in Section 7.4.2.3 that development adjacent to a cultural heritage property will be encouraged to be *compatible* with the cultural heritage property.

In determining the negative impacts that may result from a proposed development on adjacent lands, the City of Mississauga will also use the guidance of the Ontario Heritage Toolkit and successor documents. Examples of possible negative impacts provided in the Ontario Heritage Toolkit include, but are not limited to, the following:

- Shadows created that *alter* the appearance of a heritage attribute or change the viability of a natural feature or plantings;
- Isolation of a heritage attribute from its surrounding environment, context or a significant relationship;
- Direct or indirect obstruction of *significant* views or vistas within, from, or of built and natural features.

16.2 Defining compatibility

It is important that new development proposed adjacent to the District be *compatible* with the *heritage attributes*, objectives and *character* of the District. This includes considerations such as the built form, building height, landscaping, and overall compatibility with the District.

The City of Mississauga Official Plan – Local Area Plan states the following policies in regard to the adjacent vacant former refinery precinct:

10.3.2.2. Mississauga will encourage landscape screening along the west side of Mississauga Road South to buffer the adjacent vacant former refinery site.

10.3.3.1 Building heights will provide appropriate transition to the adjacent South Residential and Old Port Credit Heritage Conservation District Precincts.

16.3 Requirements for adjacent properties

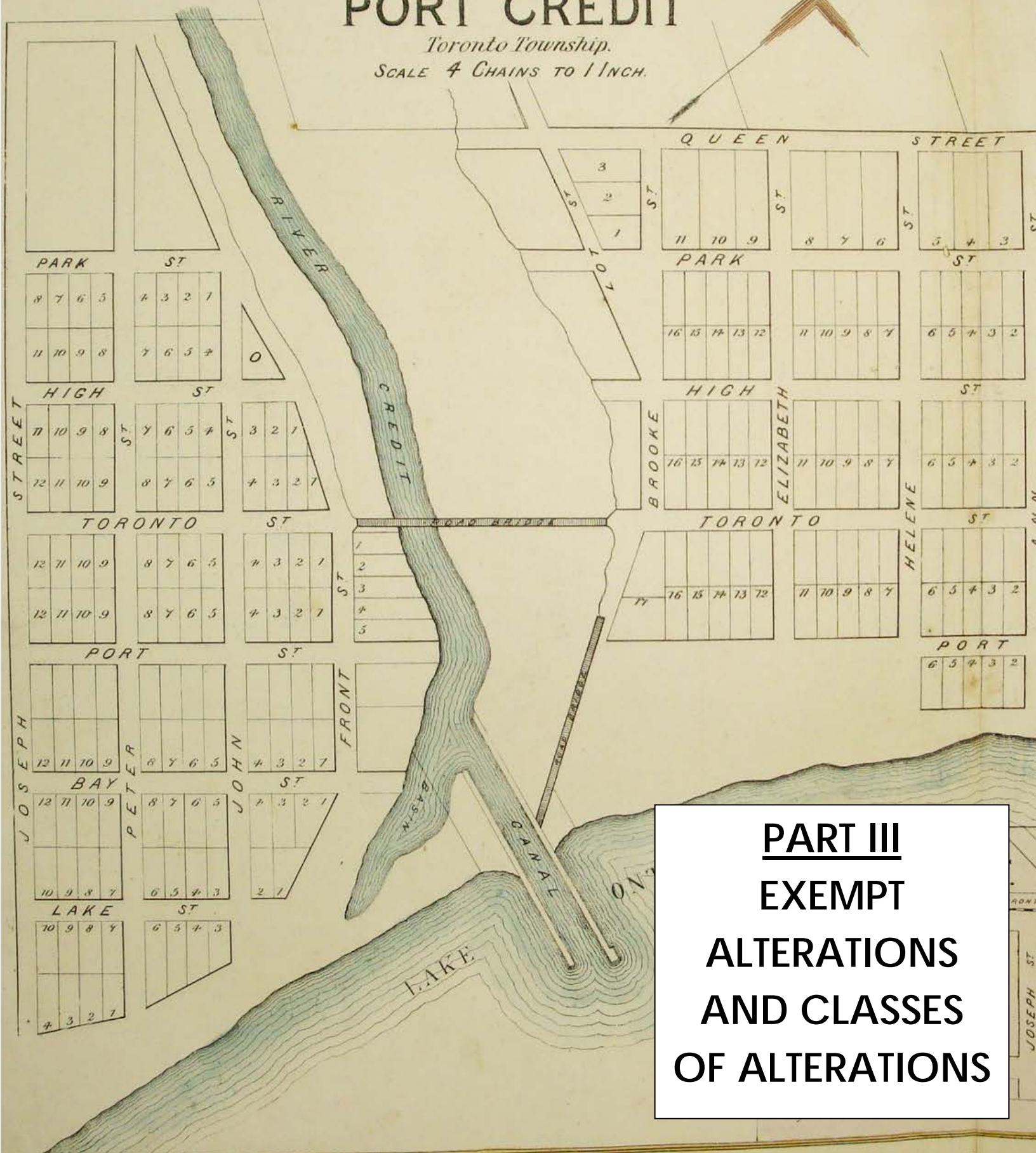
The Provincial Policy Statement, Region of Peel Official Plan and the City of Mississauga Official Plan set the framework for addressing the potential impacts associated with development on lands adjacent to protected heritage properties. The previous designation of the Old Port Credit Village Heritage Conservation District means that properties within the boundaries of the District are protected heritage properties.

Therefore, if development or site *alteration* is proposed on lands adjacent (meaning contiguous) to the heritage conservation district, the proponent of such development shall be required to undertake the preparation of a cultural *heritage impact assessment*, as outlined in the City of Mississauga Official Plan and the Province of Ontario in the

Ontario Heritage Toolkit. The report shall demonstrate how the proposed development is *compatible* with the *heritage attributes* and objectives of the Old Port Credit HCD.

PLAN OF PORT CREDIT

Toronto Township.
SCALE 4 CHAINS TO 1 INCH.



PART III
EXEMPT
ALTERATIONS
AND CLASSES
OF ALTERATIONS

PART III - Exempt alterations and classes of alterations

17.0 Exempt alterations

17.1 Introduction

The *Ontario Heritage Act* allows a heritage conservation district plan to exempt some forms of *alterations* from the requirement for a heritage permit by providing that a heritage conservation district Plan shall include:

“(e) a description of the alterations or classes of alterations that are minor in nature and that the owner of property in the heritage conservation district may carry out or permit to be carried out on any part of the property, other than the interior of any structure or building on the property, without obtaining a permit under section 42.2005, c.6,s.31.”

As such, this section includes a list of *alterations* that are considered to be “minor in nature” and that may be carried out without first obtaining a heritage permit. The various *alterations* have the same status as ‘policies’ found elsewhere in this document, in that they are required to be followed. These minor *alterations* have been guided generally by the principles of either being undertaken within a small area, confined to areas that are generally out of sight from public view, constitute routine maintenance, or are easily reversible. It should be noted that some of the exemptions listed in this section may not apply to properties designated under Part IV of the *Ontario Heritage Act*, where features listed within this section are included as *heritage attributes* of the property.

Consultation with City of Mississauga Heritage Planning staff is recommended before commencing any minor *alterations* to property, in order to confirm that a heritage permit is not required. In addition, consultation with Building Department staff is recommended to determine if a building permit is required.

Any property owner conducting non-exempt work on their *contributing property* within the District without a heritage permit will be prosecuted.

17.2 Exemptions for residential properties

Alterations that may be carried out without obtaining a heritage permit under Section 42 of the *Ontario Heritage Act* are:

- a) **Interior modifications:** The interiors of *buildings* are not subject to regulation within the heritage conservation district.

Exceptions: Structural interventions, as well as interior features designated under Part IV of the *Ontario Heritage Act* or interior features that have an exterior presence, including but not restricted to windows and doors in *building* façades require a heritage permit.

- b) **Roof Materials:** Replacement of existing roof materials in kind does not require a permit.

Exceptions: Replacing or removing original roofing materials including metal, slates, tiles or wood shingles with other materials requires a permit.

- c) **Skylights:** The installation of skylights located out of sight from street views and in the same plane as the roof (e.g. on the rear slope of a roof or on a flat or low pitched roof) would not require a permit.

- d) **Solar panels:** The installation of solar panels located out of sight from street views and in the same plane as the roof (e.g. at the rear slope of a roof or on a flat or low pitched roof) would not require a permit.

Exceptions: Freestanding panels on poles or those requiring a structural frame for support require a permit.

- e) **Satellite dishes:** The installation of satellite dishes that are located in such a way that they are not visible from the street either at the front, side or rear of *buildings* does not require a permit.

- f) **Security lighting and alarm systems:** The installation of security lighting and/or alarm systems does not require a permit.

- g) **Amenity Lighting:** The installation of porch lighting or other amenity or seasonal lighting does not require a permit.

- h) **Eaves trough and downspouts:** The removal and/or installation of new eaves troughs and downspouts does not require a permit.

- i) **Landscaping, soft:** The removal and/or installation of vegetative landscaping, such as planting beds, shrubbery and small ornamental trees and the pruning

and maintenance of trees or the removal of dead branches or limbs does not require a permit.

Exceptions: The removal of trees is subject to the City of Mississauga Private Tree Protection By-law.

- j) **Landscaping, hard:** The removal and installation of hard landscaping, such as driveways, entranceways, paths and parking areas in the same materials and of the same area and dimension do not require a permit.

Exceptions: The removal and/or installation of any hard landscaping, such as driveways, entranceways, paths and parking areas in any new material requires a permit.

- k) **Fencing:** The removal and/or installation of fencing in the rear yard of a property and behind the mid-point of the side façade of *building*, does not require a permit. Requirements of the City of Mississauga Fence By-law will also have to be met.

Exceptions: The removal and/or installation of fencing in the front yard of a property requires a permit. The removal and/or installation of fencing in the side yard but not beyond the mid-point of the side façade towards the front of a *building* require a permit.

- l) **Porches, verandas and decks:** The installation and/or removal of single-storey porches, verandas and decks located within the rear yard and away from views of the street or, in the case of corner lots, the frontage of the property, do not require a permit.

Exceptions: The removal and/or installation of porches, verandas and decks in the front and side yards of a property requires a permit.

- m) **Storm windows and doors:** The installation and/or removal of storm windows and screen doors does not require a permit.
- n) **Stairs or steps:** The removal of stairs or steps and replacement in kind (same dimensions and materials) does not require a permit.
- o) **Signage:** The installation of number and name signage on *building* façades or on free-standing supports does not require a permit.

- p) **Maintenance:** Ongoing maintenance to *buildings*, structures or small areas of paving that do not significantly affect the appearance of the outside of the property and do not involve the permanent removal or loss of *heritage attributes* do not require a permit.

Exceptions: The removal and/or installation of any cladding materials requires a permit. The cleaning of any *building* façade surface (using any method of

cleaning such as sandblasting, chemical cleaning, and pressurized water) requires a permit. Carrying out test patches in any location for any cleaning method requires a permit. The removal of any paintwork from a masonry *building* façade surface requires a permit.

- q) **Painting:** The painting of doors, window frames, muntins and mullions, trim, eaves troughs, downspouts and minor architectural detailing does not require a permit.

Exceptions: The painting of any masonry materials or synthetic cladding materials requires a permit.

- r) **Canopies and awnings:** The installation of new canopies and awnings that are replacing existing and are of an equal size and scale does not require a permit.

Exceptions: Canopies and awnings that are larger or require additional fastenings to the *building* require a permit.

As with any modifications being contemplated, it is beneficial to contact The City of Mississauga Heritage Planning staff to discuss proposals before commencing work. Some of the above modifications may also require a Building Permit, and appropriate staff should be consulted

17.3 Exemptions for commercial properties

Alterations that may be carried out without obtaining a permit under section 42 of the Act are:

- a) **Interior modifications:** The interiors of *buildings* are not subject to regulation within the heritage conservation district.

Exceptions: Structural interventions, as well as interior features designated under Part IV of the *Ontario Heritage Act* or interior features that have an exterior presence, including but not restricted to windows and doors in *building* façades require a heritage permit.

- b) **Roof Materials:** Replacement of existing roof materials (such as asphalt shingles or rolled asphalt roofing) in kind does not require a permit.

Exceptions: Replacing or removing original roofing materials including metal, slates, tiles or wood shingles with different roof coverings or asphalt shingles requires a permit.

- c) **Skylights:** The installation of skylights located out of sight from street views and in the same plane as the roof (e.g. on the rear slope of a roof or on a flat or low pitched roof) would not require a permit.

- d) **Solar panels:** The installation of solar panels located out of sight from street views and in the same plane as the roof (e.g., at the rear slope of a roof or on a flat or low pitched roof) would not require a permit.

Exceptions: Freestanding panels on poles or those requiring a structural frame for support require a permit.

- e) **Satellite dishes:** The installation of satellite dishes that are located in such a way that they are not visible from the street either at the front, side or rear of *buildings* does not require a permit.
- f) **Security lighting and alarm systems:** The installation of security lighting and/or alarm systems does not require a permit provided that the method of installation requires no removal of *heritage building fabric* such as masonry units of fascia boards.
- g) **Eaves trough and downspouts:** The removal and/or installation of new eaves troughs and downspouts does not require a permit.
- h) **Landscaping, soft:** The removal and/or installation of vegetative landscaping, such as planting beds, shrubbery and small ornamental trees and the pruning and maintenance of trees or the removal of dead branches or limbs does not require a permit.
- i) **Landscaping, hard:** The removal and installation of hard landscaping, such as driveways, entranceways, paths and parking areas in the same materials and of the same area and dimension does not require a permit.

Exceptions: The removal and/or installation of any hard landscaping, such as driveways, entranceways, paths and parking areas in any new material requires a permit.

- j) **Maintenance or small repairs:** Ongoing maintenance or small repairs to *buildings*, structures or small areas of paving that do not significantly affect the appearance of the outside of the property and do not involve the permanent removal or loss of *heritage attributes* do not require a permit.

Exceptions: The removal and/or installation of any cladding materials requires a permit. The cleaning of any *building* façade surface (using any method of cleaning such as sandblasting, chemical cleaning, and pressurized water) requires a permit. Carrying out test patches in any location for any cleaning method requires a permit. The removal of any paintwork from a masonry *building* façade surface requires a permit.

- k) **Painting:** The painting of doors, window frames, muntins and mullions, trimwork, eaves troughs, downspouts and minor architectural detailing does not require a permit.

Exceptions: The painting of any unpainted or previously painted masonry materials or synthetic cladding materials requires a permit.

- l) **Canopies and awnings:** The installation of new canopies and awnings that are replacing existing and are of an equal size and scale does not require a permit.

Exceptions: Canopies and awnings that are larger than existing or require additional fastenings to a *building* require a permit.

- m) **Amenity Lighting:** The installation of porch lighting or other amenity or seasonal lighting does not require a permit.

As with any modifications being contemplated, it is beneficial to contact The City of Mississauga Heritage Planning staff to discuss proposals before commencing work. Some of the above modifications may also require a Building Permit, and appropriate staff should be consulted.

17.4 Exemptions for institutional properties

Alterations that may be carried out without obtaining a permit under Section 42 of the Act are:

- a) **Interior modifications:** The interiors of *buildings* are not subject to regulation within the heritage conservation district, and no permit is required.

Exceptions: Structural interventions, as well as interior features designated under Part IV of the *Ontario Heritage Act* or interior features that have an exterior presence, including but not restricted to windows and doors in *building* façades require a heritage permit.

- b) **Roof Materials:** Replacement of existing roof materials in kind and of the same colour does not require a permit.

Exceptions: Replacing or removing original roofing materials including metal, slates, tiles or wood shingles with asphalt roof shingles or other materials requires a permit.

- c) **Skylights:** The installation of skylights located out of sight from street views and in the same plane as the roof (e.g. on the rear slope of a roof or on a flat or low pitched roof) would not require a permit.

- d) **Solar panels:** The installation of solar panels located out of sight from street views and in the same plane as the roof (e.g., at the rear slope of a roof or on a flat or low pitched roof) would not require a permit.

Exceptions: Freestanding panels on poles or those requiring a structural frame for support require a permit located anywhere on the property.

- e) **Satellite dishes:** The installation of satellite dishes that are located in such a way that they are not visible from the street either at the front, side or rear of *buildings* does not require a permit.
- f) **Security lighting and alarm systems:** The installation of security lighting and alarm systems does not require a permit.
- g) **Amenity Lighting:** The installation of porch lighting or other amenity or seasonal lighting does not require a permit.
- h) **Eaves trough and downspouts:** The removal and/or installation of new eaves troughs and downspouts does not require a permit.
- i) **Landscaping, soft:** The removal and/or installation of vegetative landscaping, such as planting beds, shrubbery and small ornamental trees and the pruning and maintenance of trees or the removal of dead branches or limbs does not require a permit.
- j) **Landscaping, hard:** The removal and installation of hard landscaping, such as driveways, entranceways, paths and parking areas in the same materials and of the same area and dimension does not require a permit.

Exceptions: The removal and/or installation of any hard landscaping, such as driveways, entranceways, paths and parking areas in any new material requires a permit.

- k) **Signage:** The installation of number signage on *building* façades or on free-standing supports does not require a permit.
- l) **Maintenance or small repairs:** Ongoing maintenance or small repairs to *buildings*, structures or small areas of paving that do not significantly affect the appearance of the outside of the property and do not involve the permanent removal or loss of *heritage attributes* do not require a permit.

Exceptions: The removal and/or installation of any cladding materials requires a permit. The cleaning of any *building* façade surface (using any method of cleaning such as sandblasting, chemical cleaning, and pressurized water) requires a permit. Carrying out test patches in any location for any cleaning

method requires a permit. The removal of any paintwork from a masonry *building* façade surface requires a permit.

- m) **Painting:** The painting of doors, window frames, muntins and mullions, trim, eaves troughs, downspouts and minor architectural detailing does not require a permit.

Exceptions: The painting of any masonry materials or synthetic cladding materials requires a permit.

- n) **Canopies and awnings:** The installation of new canopies and awnings that are replacing existing and are of an equal size and scale does not require a permit.

Exceptions: Canopies and awnings that are larger or require additional fastenings to the *building* require a permit.

As with any modifications being contemplated, it is beneficial to contact The City of Mississauga Heritage Planning staff to discuss proposals before commencing work. Some of the above modifications may also require a Building Permit, and appropriate staff should be consulted.

17.5 Exemptions for public realm properties

Alterations that may be carried out without obtaining a permit under Section 42 of the Act are:

- a) **Maintenance or minor repairs:** Ongoing maintenance or minor repairs to road or sidewalks surfaces and areas of paving that do not significantly affect the appearance of the surface and that are exempt from review or approval under the Municipal Class Environmental Assessment do not require a permit.

Exceptions: The installation of any streetscape device (not including signage), new road or sidewalk surfaces requires permit.

- b) **Installation and/or repair of underground utilities or services:** Subsurface excavation for the installation and repair of utilities (water, sewage, gas, or communications) does not require a permit.

- c) **Repair of above-ground utilities or services:** Work undertaken for the repair of above-ground utilities (hydro, communications and lighting), including conduits, poles and associated boxes or covers and installation of non-permanent or non-fixed street furniture including but not restricted to seating, planters, tree grates, banners, hanging baskets, garbage receptacles and bike racks does not require a permit.

Exceptions: The installation of any new luminaires and/or poles.

- d) **Landscaping, soft:** The installation of any soft or vegetative landscaping confined to boulevard installation and associated planting beds does not require a permit.
- e) **Landscaping, hard:** The removal and installation of hard landscaping, such as driveways, entranceways, paths and parking areas in the same materials and of the same area and dimension does not require a permit. Playground equipment does not require a permit.

Exceptions: The removal and/or installation of any hard landscaping, such as driveways, entranceways, paths and parking areas in any new material require a permit. Signage that is part of the City's Commemorative Tree and Bench Program does not require a permit.

As with any modifications being contemplated, it is beneficial to contact The City of Mississauga Heritage Planning staff to discuss proposals before commencing work.

17.6 Emergency work

In some extraordinary circumstances, emergency work may have to be carried out to public or private property without the benefit of a Heritage Permit or ascertaining whether such work is exempt from regulation. These extraordinary circumstances are as follows:

- a) Natural disasters (e.g. fire, flood, tornado, earthquake, etc.)
- b) Emergency health and safety circumstances where the time of repairs makes it impossible to consult with municipal staff.

Notwithstanding this provision, all work should be undertaken in a manner that does not destroy valued *heritage building fabric*. Photographs of 'before and after' should be taken to confirm the condition of the *building* or property and the nature of the finished repairs, and supplied to City staff as a record of the work.



PART IV
GLOSSARY

PART IV - Glossary

The following comprises a list of some of the more commonly used terms and definitions in this District Plan. Where applicable, sources are indicated to show where the term has been derived.

Alter means to change in any manner and includes to restore, renovate, repair or disturb and “**alteration**” has a corresponding meaning (Source: *Ontario Heritage Act*).

Animated sign means any kinetic or illusionary motion of all or any part of a sign and includes the rotation of a sign but does not include a changing copy sign (Source: City of Mississauga sign by-law 54-02;

Archaeological assessment means a report prepared by a licenced professional archaeologist for an applicant in cases where an applicant proposes development on lands which are deemed to contain archaeological potential, and that serves to identify sub-surface cultural resources and to assess the impact of development on them.

Ancillary structure means a subordinate *building* or structure on the same lot as the main *building*, or subordinate to part of the main *building* and used exclusively for a use that is naturally and normally incidental, subordinate and exclusively devoted to, and is located on the same lot as the permitted use.

Built heritage resource means a *building*, structure, monument, installation or any manufactured remnant that contributes to a property’s cultural *heritage value* or interest as identified by a community, including an Indigenous community. Built heritage resources are generally located on property that has been designated under Parts IV or V of the *Ontario Heritage Act*, or included on local, provincial and/or federal registers. (Source: *2014 Provincial Policy Statement*).

Building means:

- (a) a structure occupying an area greater than ten square metres consisting of a wall, roof and floor or any of them or a structural system serving the function thereof including all plumbing, works, fixtures and service systems appurtenant thereto,
- (b) a structure occupying an area of ten square metres or less that contains plumbing, including the plumbing appurtenant thereto,
- (c) plumbing not located in a structure,
- (c.1) a sewage system, or
- (d) structures designated in the building code;

(Source: *Ontario Building Code Act*, 1992, updated 2018).

Buffering means allowing filtered views through material such as a deciduous shrub border or a partially enclosed fence (e.g. picket fencing). “Buffer” has a corresponding meaning.

Character means the collective physical qualities and visual attributes that distinguish a particular area or neighbourhood.

Character-defining elements are those historic materials and distinctive features that define the *building's* or *landscape's* character and make each special.

Compatible when used together with any *building*, use, *alteration* or any other form of change means consistent with the *heritage attributes* and cultural *heritage value* of a property, and which has little or no adverse effect on its appearance, *heritage attributes*, and integrity. “**Compatibility**” has a corresponding meaning.

Conservation means all actions or processes that are aimed at safeguarding the *character-defining elements* of a cultural resource so as to retain its *heritage value* and extend its physical life. This may involve *preservation*, *rehabilitation*, *restoration*, or a combination of these actions or processes. (Source: *Standards and Guidelines for the Conservation of Historic Places in Canada*).

Conserved means the identification, protection, management and use of *built heritage resources*, *cultural heritage landscapes* and archaeological resources in a manner that ensures their cultural *heritage value* or interest is retained under the *Ontario Heritage Act*. This may be achieved by the implementation of recommendations set out in a conservation plan, *archaeological assessment*, and/or *heritage impact assessment*. Mitigative measures and/or alternative development approaches can be included in these plans and assessments. (Source: *2014 Provincial Policy Statement*).

Contributing properties are properties whose age, history, or architecture is significant or complementary to the District. *Contributing* properties may include both older *buildings* that are of historic interest, as well as more recent properties that are of a scale, type and built form that contributes to the District *character*. *Contributing* properties are listed in this Plan, shown on the accompanying map, and described and illustrated in the HCD Property Inventory, **Appendix B**.

Cultural heritage landscape means a defined geographical area that may have been modified by human activity and is identified as having cultural *heritage value* or interest by a community, including an Aboriginal community. The area may involve features such as structures, spaces, archaeological sites or natural elements that are valued together for their interrelationship, meaning or association. Examples may include, but are not limited to, heritage conservation districts designated under the *Ontario Heritage Act*; villages, parks, gardens, battlefields, mainstreets and neighbourhoods, cemeteries, trailways, viewsheds, natural areas and industrial complexes of heritage significance; and areas recognized by federal or international designation authorities (e.g. a National

Historic Site or District designation, or a UNESCO World Heritage Site). (Source: 2014 Provincial Policy Statement).

Effects (adverse) include those conditions resulting in the attrition of protected heritage properties and include: the destruction, loss, removal or incompatible *alteration* of all or part of a *protected heritage property*; the isolation of a *protected heritage property* from its surrounding streetscape or setting; or the introduction of physical, visual, audible or atmospheric elements that are not in *character* with a heritage property and/or its setting. “Adversely affected” and “adversely affects” have a corresponding meaning.

Effects (beneficial) include those conditions resulting in: the protection of heritage properties from demolition or removal; the retention of a *protected heritage property* in situ in a structurally stable and sound condition or state of repair; accurate *restoration* of a *protected heritage property*; the sympathetic *alteration* or repair of a *protected heritage property* to permit an existing or new use; enhancement of a *protected heritage property* by accommodating *compatible* new development; or maintenance of a *protected heritage property* through the repair and replacement of worn-out components and using *compatible* materials and techniques.

Fenestration means the placement, size, and type of windows within a *building*.

Garage means a *building*, structure or part thereof, including a carport, used for the parking of motor vehicles.

Heritage Advisory Committee is a standing Municipal Heritage Committee of City of Mississauga Council that makes recommendations to Council on matters pertaining to heritage *conservation*.

Heritage attributes means, in relation to real property, and to the *buildings* and structures on the real property, the attributes of the property, *buildings* and structures that contribute to their cultural *heritage value* or interest (Source: Ontario Heritage Act).

Heritage building fabric means the physical components relating to the layout, materials and details of built and landscape heritage resources.

Heritage conservation easement is a binding legal agreement between a willing property owner and the City of Mississauga for the perpetual protection and care of a *building* of historic interest.

Heritage impact assessment is a report prepared by a qualified heritage consultant for an applicant according to the City’s terms of reference in cases where the applicant proposes to demolish or significantly *alter* a *building* of historic interest or significantly *alter* historic property, and that serves to document the *building* or property and assess the impact of demolition or *alteration* on the District’s historical *character*.

Heritage value means the aesthetic, historic, scientific, cultural, social or spiritual importance or significance for past, present or future generations. The *heritage value* of

an historic place is embodied in its *character-defining* materials, forms, location, spatial configurations, uses and cultural associations or meanings. (Source: *Standards and Guidelines for the Conservation of Historic Places in Canada*).

Infill development means the construction of new *buildings* on vacant lands located within previously built-up areas of urban settlements. Infill often occurs within residential neighbourhoods or historic commercial areas.

Other properties are properties whose age, history, scale, form, or architecture is not *significant* nor complementary to the District, and are listed in this Plan, shown on the accompanying map, and described and illustrated in the HCD Property Inventory, **Appendix B**.

Preservation means the action or process of protecting, maintaining, and/or stabilizing the existing materials, form, and integrity of a historic place or of an individual component, while protecting its *heritage value*. (Source: *Standards and Guidelines for the Conservation of Historic Places in Canada*).

Principal Façade means the *building* elevation (or elevations) that are visible from the public street or right-of-way.

Property means real property and includes all *buildings* and structures thereon (Source: *Ontario Heritage Act*).

Protected heritage property means property designated under Parts IV, V or VI of the *Ontario Heritage Act*; property subject to a *heritage conservation easement* under Parts II or IV of the *Ontario Heritage Act*; property identified by the Province and prescribed public bodies as provincial heritage property under the *Standards and Guidelines for Conservation of Provincial Heritage Properties*; property protected under federal legislation, and UNESCO World Heritage Sites. (Source: 2014 Provincial Policy Statement).

Rehabilitation means the action or process of making possible a continuing or *compatible* contemporary use of a historic place or an individual component, while protecting its *heritage value*. (Source: *Standards and Guidelines for the Conservation of Historic Places in Canada*).

Restoration means the action or process of accurately revealing, recovering or representing the state of a historic place or of an individual component, as it appeared at a particular period in its history, while protecting its *heritage value*. (Source: *Standards and Guidelines for the Conservation of Historic Places in Canada*).

Screening means the blocking of views through the use of solid fencing or evergreen material.

Significant means, in regard to cultural heritage and archaeology, resources that have been determined to have cultural *heritage value* or interest for the important contribution

they make to our understanding of the history of a place, an event, or a people. (Source: *2014 Provincial Policy Statement*).

1905

SEE SHEET NO. 1920
PARK WEST

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(SCALE FOR THIS SECTION: 100' = 1")

TORONTO VOL. 1
(PORT CREDIT)
JULY 1952
SEE SHEET NO. 190521

SEE SHEET NO. 1902A
ROAD NORTH

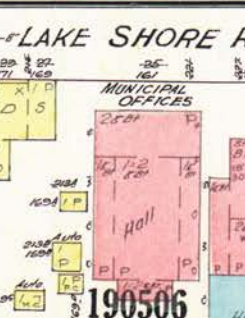
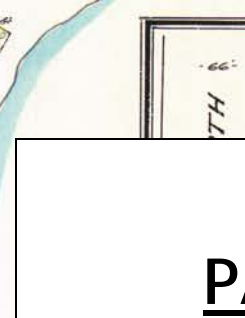
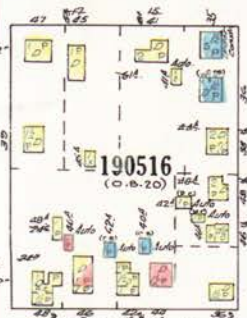
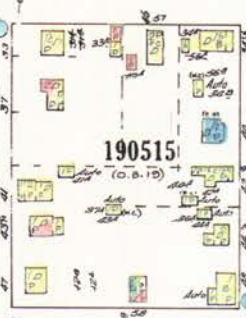
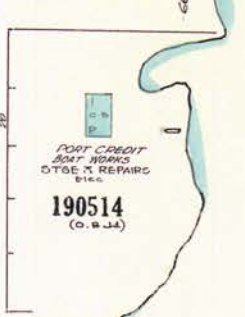
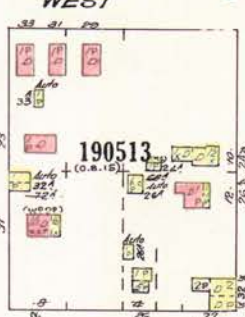
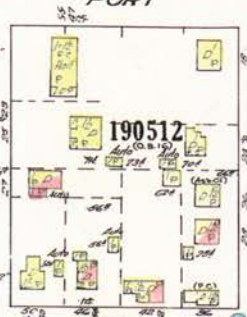
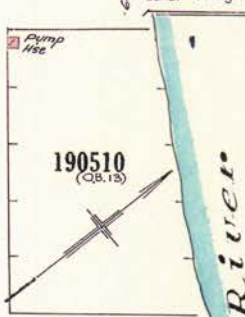
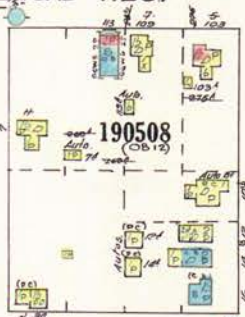
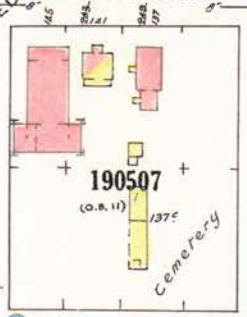
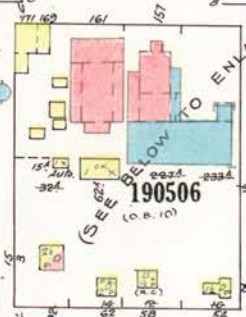
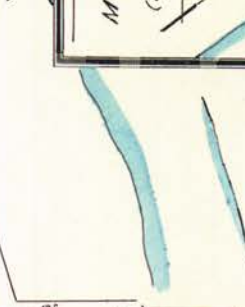
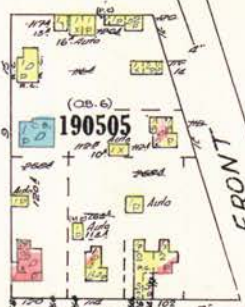
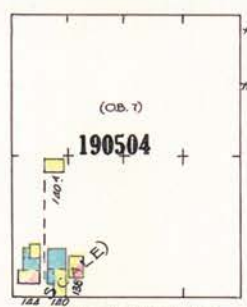
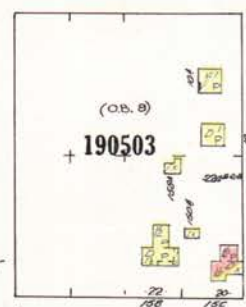
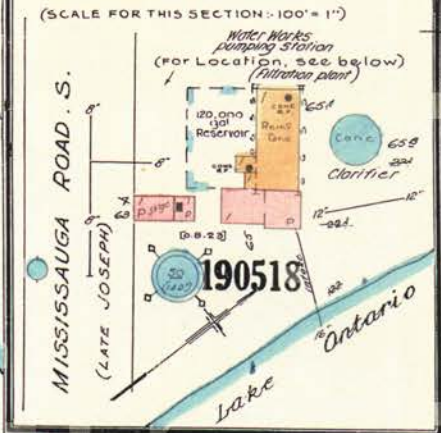
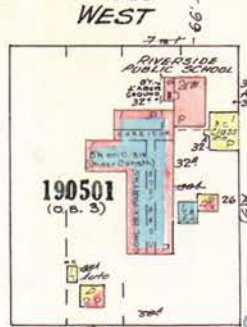
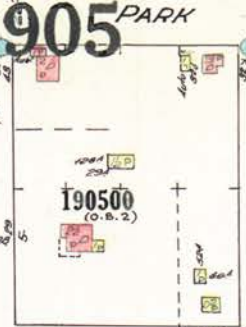
MISSISSAUGA

SEE SHEET NO. 1904
ROAD SOUTH (LATE JOSEPH)

MISSISSAUGA

MISSISSAUGA

MISSISSAUGA ROAD SOUTH
(LATE JOSEPH)



Scale 200 Feet to Inch

PART V MUNICIPAL IMPLEMENTATION

(SCALE FOR THIS SECTION: 100' = 1")

PART V – Municipal Implementation

18.0 Introduction

The successful implementation of a heritage conservation district and the management of change within a district are typically achieved through the review and approval of heritage permit applications under Section 42 of the *Ontario Heritage Act*. There are also other mechanisms, tools and actions both under the *Ontario Heritage Act* as well as other Ontario statutes, such as the *Ontario Planning Act*, that also can help complement municipal heritage initiatives. While the Old Port Credit Village Heritage Conservation District has been in place since 2004, the continued successful implementation of the District will be aided by initiatives and planning policies that directly support or provide a framework for focussing and implementing District *conservation* efforts.

This component of the Old Port Credit Heritage Conservation District Plan update project addresses aspects of *conservation* that are not necessarily related to the provisions of the *Ontario Heritage Act*, but will aid in the implementation of the District Plan. A number of initiatives are proposed in the following sections, as recommendations to City of Mississauga staff and Council. It is intended that these recommendations will be considered in the future as municipal resources and where applicable budgets allow.

19.0 Land use planning policies

19.1 Introduction

One of the matters to be addressed through the preparation of a heritage conservation district plan is the identification of any recommended changes to applicable Official Plans or Zoning By-laws. Accordingly, as part of the preparation of the Old Port Credit Village Heritage Conservation District Plan a review was undertaken of municipal Official Plan policies and Zoning By-law regulations in order to identify any significant conflicts or inconsistencies between the *conservation* initiatives anticipated in the District Plan and the direction contained in these other planning documents.

19.2 City of Mississauga Official Plan

The applicable City of Mississauga Official Plan policies were reviewed and summarized as part of the Issues Analysis Report (see Section 3.2). The policies

related to the Old Port Credit Village Heritage Conservation District are reflective of the existing and proposed direction contained in the District Plan, and there are no changes recommended to these policies at this time.

19.3 City of Mississauga Zoning By-law

The applicable City of Mississauga Zoning By-law regulations were reviewed and summarized as part of the Issues Analysis Report (see Section 3.3). The zoning regulations applicable to the heritage conservation district are in conformity with the direction proposed in the updated heritage conservation district, with the exception of building heights on some of the properties due to existing building form being approved and constructed prior to the district designation. Accordingly, there are no changes recommended at this time.

20.0 Related application processes

20.1 Background

In some instances, building or district permits within the Old Port Credit Village Heritage Conservation District may be preceded by applications for a planning approval pursuant to the *Planning Act*, e.g., plans of subdivisions, severances, minor variances, etc. These planning applications may involve development that has the potential to affect the *character* of the District. It is important that appropriate heritage planning input be gained at the earliest opportunity, prior to any approvals that may compromise consideration of a heritage permit application, later in the approvals process.

20.2 Recommendation #1: Planning and development applications

It is recommended that municipal Heritage Planning staff be consulted to provide advice on the appropriateness of the applications for following proposals located within or partially within the designated District, given the intent of the Old Port Credit HCD Plan, including:

- A variance or a consent;
- A Plan of Subdivision;
- A Zoning By-law amendment;
- Road closure;
- Road widening; or
- Any public works and improvements by a municipal authority or local utility.

20.3 Site Plan Control

In some heritage conservation districts, it has become a standard practice to use Site Plan Control provisions authorized under the *Planning Act* to complement the development review mechanisms of the *Ontario Heritage Act*.

In some municipalities, any property designated under the provisions of the *Ontario Heritage Act* is subject to Site Plan Control pursuant to Section 41 of the *Planning Act*. Development which involves new construction, or making *alterations* or additions to an existing *building* or structure to allow a substantial increase in size or usability requires the approval of municipal Council (unless authority has been delegated).

Site Plan Control allows the municipality to require facilities or improvements to the subject site, and in particular address matters such as landscaping and architectural details in the development of a property.

Whereas heritage designation is concerned primarily with the details of changes to properties as a means to conserve the *character* of the property, site plan control seeks to ensure that an acceptable standard of site amenity and maintenance is achieved. Site Plan Control and heritage conservation district permits have considerable potential to complement each other, although procedures and differing time spans for processing applications may be considered cumbersome.

The entire area within the Old Port Credit Heritage Conservation District is designated as a site plan control area by the City of Mississauga. As such, the site plan control process is required for any application that falls under the purview of the City's by-law.

20.4 Recommendation #2: Site Plan applications and heritage permits

In order to ensure that there is no duplication between site plan applications and heritage permit applications the following process for review is recommended:

- i) Applications for approvals under site plan control and permit approval under district designation should be treated as individual applications.
- ii) Wherever possible both applications should be submitted together at the same time and considered within the time period (or as otherwise extended and agreed to by the applicant) permitted under subsection 41 (12) of the *Planning Act*, (see also section vi below).
- iii) An application under the provisions of the *Ontario Heritage Act* should address all matters relating to the detailed design, *alteration* and construction of *buildings*, structures and other property *alterations*.

- iv) An application for site plan approval should address all matters relating to the conceptual design and specific location of *buildings* and structures and all other site considerations usually required by the City of Mississauga.
- v) Both applications should be considered in the context of the policies and guidelines provided in the pertinent sections of this heritage conservation district plan and appropriate conditions applied to each application if necessary.
- vi) If applications for site plan approval are submitted separately any requested permit under the *Ontario Heritage Act* should be determined first and the applicable site plans suitably annotated to include a note referencing the heritage permit number, date of approval and details of any granted *alterations*.

21.0 Communication regarding heritage conservation

21.1 Background

Through the consultation process, it was noted that communication about the presence of a heritage conservation district within Port Credit could be improved. The suggestion was made that information about the conservation of the District's *heritage value* could be made available to current and new property owners, as well as a copy of the heritage conservation district plan (or excerpts). It was suggested that a 'welcome package' could be provided to new property owners by local community representation.

The City of Mississauga currently has a section on their website regarding heritage conservation, including details about the Old Port Credit Village Heritage Conservation District. Information currently online includes a copy of the District Plan, as well as some general information about district designation. Additional information could be added in terms of a newsletter or pamphlet about Port Credit, in order to enhance communication about the District. Additionally, information could be provided to new property owners as properties change ownership.

21.2 Recommendation #3: HCD promotion

It is recommended that the City investigate ways in which to improve communication about the Old Port Credit Heritage Conservation District to residents within the District, including new property owners. This could be done in partnership with an interested group of local residents.

22.0 Heritage permit process

22.1 Introduction

Through the consultation process, information was provided to the study team that suggests improvements to the current heritage permit process would be desirable. Specific reference was made to the length of time and the expense associated with heritage permit applications.

The *Ontario Heritage Act* enables municipalities to establish municipal heritage committees to advise on matters under the *Ontario Heritage Act*, amongst other things. Part IV of the Act which addresses the designation of individual properties and the management of change through the review and approval of heritage permit applications provides a specific role for a municipality's heritage committee both in the property designation process and in advising on applications for *alterations* and demolition.

In Part V of the Act which addresses the designation of heritage conservation districts the role of the municipal heritage committee is relatively restricted. Specific direction is given in the preparation of a heritage conservation district plan and the involvement of the municipal heritage committee, yet there is no specific requirement for heritage committee action in the processing and determination of permit applications for *alteration* under Part V of the Act. The Act does provide that a municipal heritage committee is to be consulted on all applications for demolition or removal.

The City of Mississauga presently has a Municipal Heritage Committee which is made up of volunteers from the community appointed by Council and is supported by a City staff liaison and recording secretary. The Committee meets ten times per year, and advises Council on matters relating to the conservation of cultural heritage resources within the City.

Whether legislated or not, many municipalities utilise municipal heritage committees or sometimes purposefully created district advisory committees to provide expertise and to advise on heritage permit applications within Part V designated heritage conservation districts.

22.2 Recommendation #4: The role of the Municipal Heritage Committee

- a) It is recommended that the current municipal heritage committee continue as the primary adviser to Council (or its delegated authority) on the determination of heritage permit applications.

- b) It is recommended that effectiveness of the Municipal Heritage Committee in assisting with the management of the District Plan be monitored to ensure that the interests of the Old Port Credit community are appropriately represented in its advisory role to Council. Consideration could be given to amending the Committee membership if deemed appropriate.
- c) It is recommended that consideration be given to establishing a sub-committee to assist with implementation of the District Plan specific to Old Port Credit Village.
- d) It is recommended that City staff, in consultation with area residents examine the feasibility of establishing a local contact point for potential heritage permit applicants to contact. This will help ensure that application requirements and process are clear.

22.3 Delegated approval authority for alterations

Section 42 (16) of the *Ontario Heritage Act* provides for the delegation of Council's authority to grant permits for the *alteration* of property in a designated heritage conservation district to an employee or official of the municipality. The City of Mississauga has enacted such a by-law. The granting of permit approvals for *alterations* by municipal staff is considered to be a means of expeditiously processing permits and substantially reducing reports and reporting time to Council for decision making. Such action also assists in enhancing customer service and the provision of municipal services in an expeditious and efficient manner. It must be noted that delegation of approvals does not extend to the construction of new *buildings* or structures or the demolition of *buildings* and structures.

The removal of consultation with the *Heritage Advisory Committee* for *Part V* property *alterations* is pending Council approval.

23.0 Financial incentives

Typically heritage conservation activities in their most basic and fundamental form comprise two components: firstly, a system for regulating change to the cultural heritage resource usually through a formal process of designation and subsequent permit approval and secondly, a complementary program of financial assistance to assist in conserving valued *heritage building fabric*, features and materials. Balancing the “carrot and stick” approach to conservation is usually an uneven process with regulation remaining relatively consistent while financial incentives varying, usually being dependent on municipal or provincial budget commitments that may change from year to year.

The authority to provide financial incentives to heritage resource conservation is established under both the *Ontario Heritage Act* and the *Municipal Act*. Sections 39 and 45 of the *Ontario Heritage Act* provide that municipalities may establish by-laws to make grants or loans to owners of designated heritage properties, and Section 365.2 of the *Municipal Act* makes provisions for enabling municipal tax rebates to such properties.

To date, the City of Mississauga offers a heritage grant program that provides for up to one half of the approved actual eligible project costs, from a minimum of \$500 to a maximum of \$5,000, or \$10,000 for structural projects. This program is renewed annually, with a specific application process and deadline.

Appendix A

Permits & Approval Requirements

	Activity	Site Plan Approval Required	Building Permit Required	Heritage Permit Required	
				Contributing Properties	Other Properties
1	Demolition			×	
2	Relocation of existing <i>building</i>			×	
3	Structural interventions				
4	Erection of new <i>building</i>			×	×
5	Additions including enclosed porches				
6	Erection of new verandas or decks				
7	Erection of new <i>garages</i> or carports				
8	<i>Alteration</i> to roofline including demolition or erection of dormers				
9	New door and/or window openings				
10	Installation of skylights				
11	Demolition or erection of chimneys				
12	Masonry cleaning, masonry re-pointing				
13	Installation of new replacement windows				
14	Installation of replacement exterior cladding				
15	Installation of new roof materials different from existing roof materials				
16	<i>Alterations</i> of doors, windows, and their surrounds				
17	Removal or addition of architectural detail such as brackets, barge boards, finials, brick, or terracotta				
18	Installation of mechanical or electrical equipment visible from the exterior				
19	Installation of storm windows and doors				
20	Erection of fences				
21	Removal or <i>alteration</i> of any heritage attribute of properties designated under Part IV			×	
22	Exterior painting other than masonry				
23	Erection of small accessory <i>buildings</i> under 10 square meters				
24	Routine exterior maintenance				
25	Replacement of eaves troughs and downpipes				
26	Non-structural interior work				

NOTE: A Heritage Impact Assessment (HIA) is required for any development that does not comply with the Old Port Credit Village Heritage Conservation District Plan; additionally a HIA is always required for those categories indicated with 'X'

Heritage Permit Application Tip Sheet

To facilitate the review of Heritage Permits, please ensure the following is included with each application (as per *The City of Mississauga Heritage By-Law 109-16*):

- ☐ A completed Heritage Permit application form
- ☐ A statement of the proposed scope of work
- ☐ A site plan showing the building and its surrounding context
- ☐ Architectural, engineering, and/or landscape design drawings of the proposed work showing materials, dimensions, and extent of work, including:
 - ☐ Indicate the floor level on each drawing, if applicable
 - ☐ Label all features as “new” or “existing”
 - ☐ Identify material types (e.g. brick, wood, stone)
 - ☐ Identify all proposed alterations to the property, including signage and landscaping
 - ☐ Ensure all drawings are prepared at a standard, legible scale. Sufficient detail must be shown (e.g. drawings at a scale of 1:50)
- ☐ Images including:
 - ☐ A front-on photograph of each full side of the existing building’s elevations
 - ☐ Photographs showing the existing landscape condition, if applicable
 - ☐ Archival photographs and/or illustrations of the building, if applicable
 - ☐ Pictures or plans of similarly-styled buildings in the community, if applicable

The following may also be required:

- ☐ Written specifications for the proposed work
- ☐ Materials, samples, and specifications of the proposed work
- ☐ A Heritage Conservation Plan

Heritage Impact Assessments:

- ☐ Heritage impact assessment (HIA) is required for demolitions, new construction, or applications not compliant with the *Old Port Credit Village Heritage Conservation District Plan*
- ☐ For alterations, a heritage impact assessment (HIA) is not required for permit applications that comply with the *Old Port Credit Village Heritage Conservation District Plan*

Heritage Planning, Culture Division

Community Services
City of Mississauga
201 City Centre Drive, Suite 202
Mississauga, ON L5B 2T4

email: heritage.planning@mississauga.ca
telephone: 905-615-3200, ext. 4061
fax: 905-615-3828

Appendix B

City of Mississauga

Corporate Report



Date: 2018/04/04

To: Chair and Members of Heritage Advisory Committee

From: Paul Mitcham, P. Eng, MBA, Commissioner of
Community Services

Originator's files:

Meeting date:
2018/05/08

Subject

Request to Alter a Heritage Designated Property: 1020 Old Derry Road (Ward 11)

Recommendation

That the request to alter the fence at the heritage designated property at 1020 Old Derry Road as per the Corporate Report from the Commissioner of Community Services dated April 4th, 2018, be approved.

Background

The subject property is designated under Part V of the *Ontario Heritage Act* as it forms part of the Meadowvale Village Heritage Conservation District (HCD). Changes to the property are subject to the Meadowvale Village HCD Plan, 2014, and substantive changes identified in said plan require a heritage permit. Non-substantive changes that do not comply with the design guidelines also require a heritage permit.

Comments

The owner of the subject property has submitted an application to alter the fence at the subject property. The proposal is to replace deteriorated picket fencing at the rear of the property with taller natural wood privacy fencing. The proposal and submitted supporting documentation are attached as Appendix 1.

The property abuts the Meadowvale Village Hall at the rear; the hall is publicly owned and therefore the property is considered public realm as per page 233 of the Meadowvale Village HCD plan. The HCD guidelines specify that: "Privacy fencing will be permitted in areas where it cannot be viewed from the public realm." Because the proposal does not comply, a heritage permit is required. Because much of the remainder of the rear yard is already enclosed in privacy fencing and the replacement would provide for a consistent look, it should be approved. The Meadowvale Village Heritage Conservation District Subcommittee had no concerns.

Financial Impact

There is no financial impact.

Conclusion

The owner of the property has applied for a heritage permit to install privacy fencing along the rear portion of the lot. As it is a portion of fencing wherein the alteration will provide a consistent look, it should be approved.

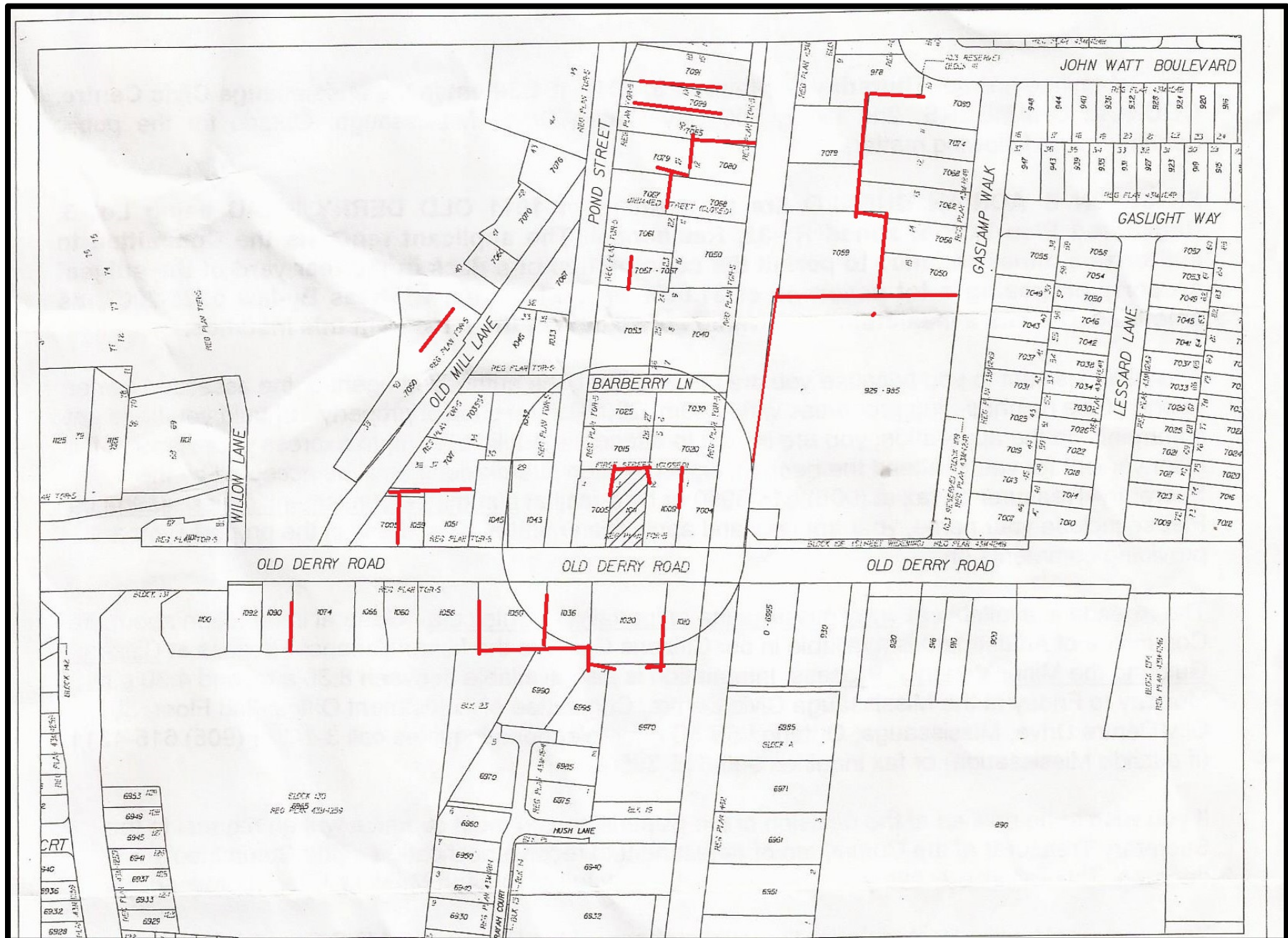
Attachments

Appendix 1: Supporting documentation

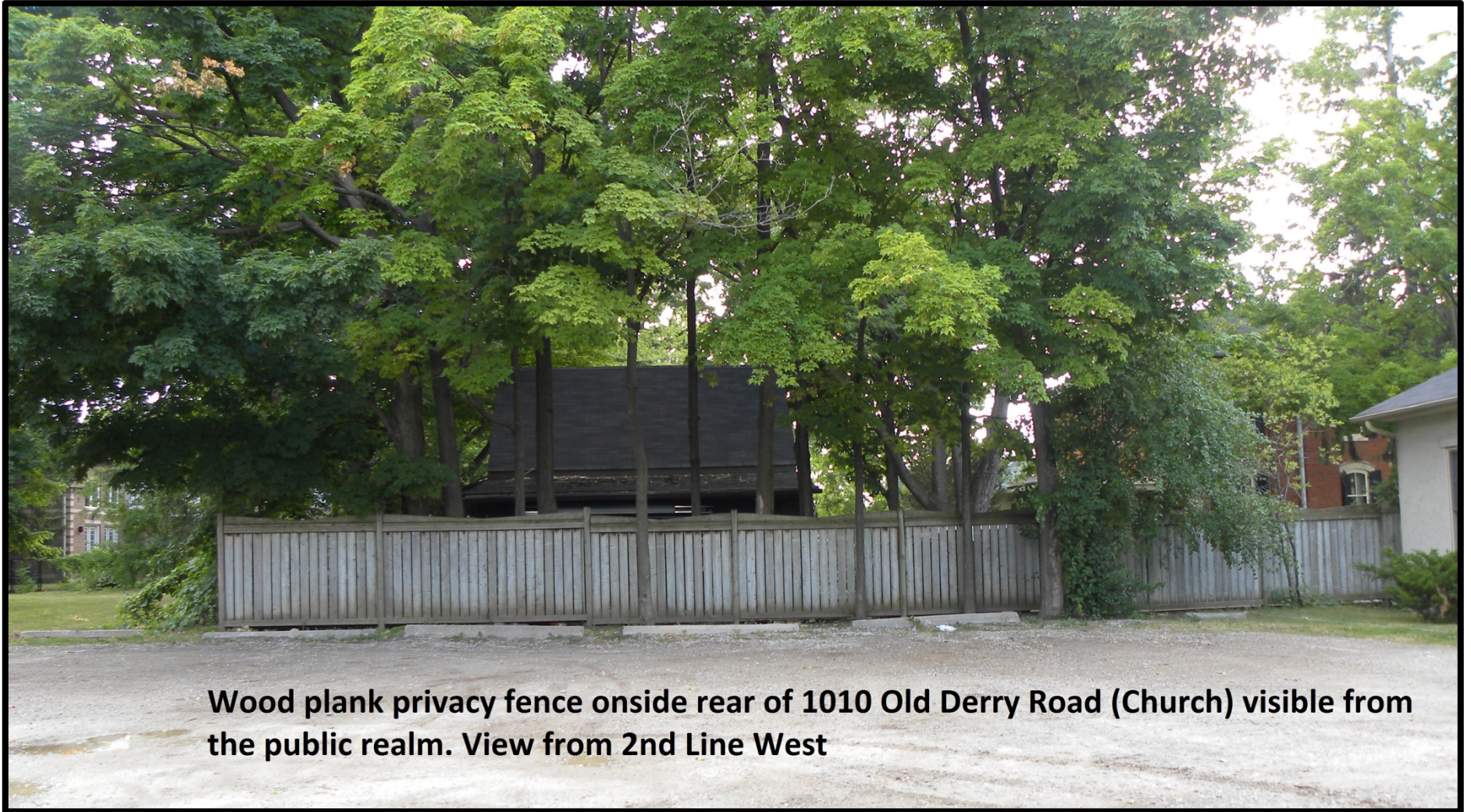


Paul Mitcham, P. Eng, MBA, Commissioner of Community Services

Prepared by: P. Wubbenhorst, Heritage Planner



Lot diagram of Meadowvale HCD: red lines indicate existing privacy fencing. All side and/or rear yard fences but all are visible from the public realm. Most are visible from the front of the property as well as the sides and rear.



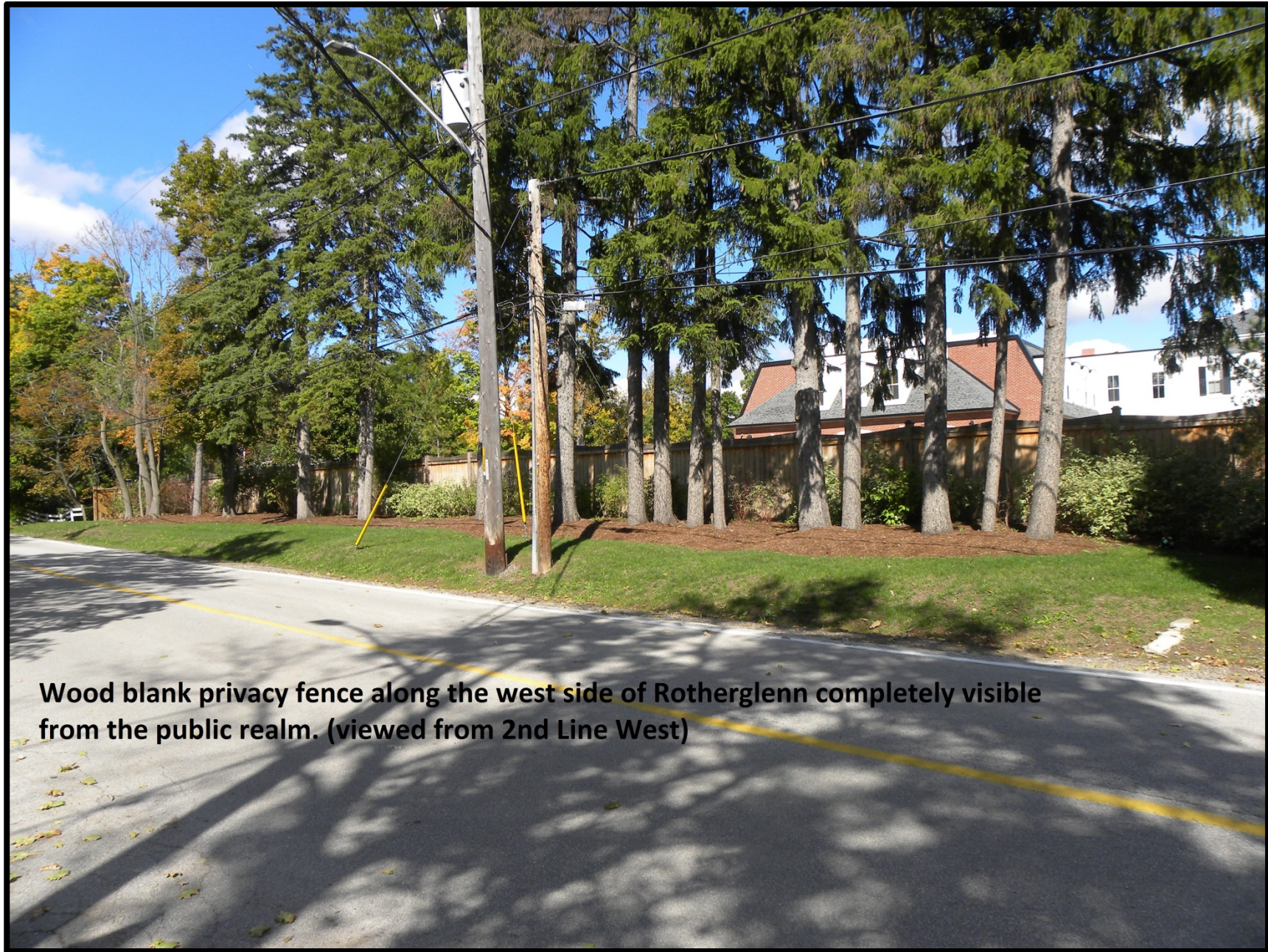
Wood plank privacy fence onside rear of 1010 Old Derry Road (Church) visible from the public realm. View from 2nd Line West



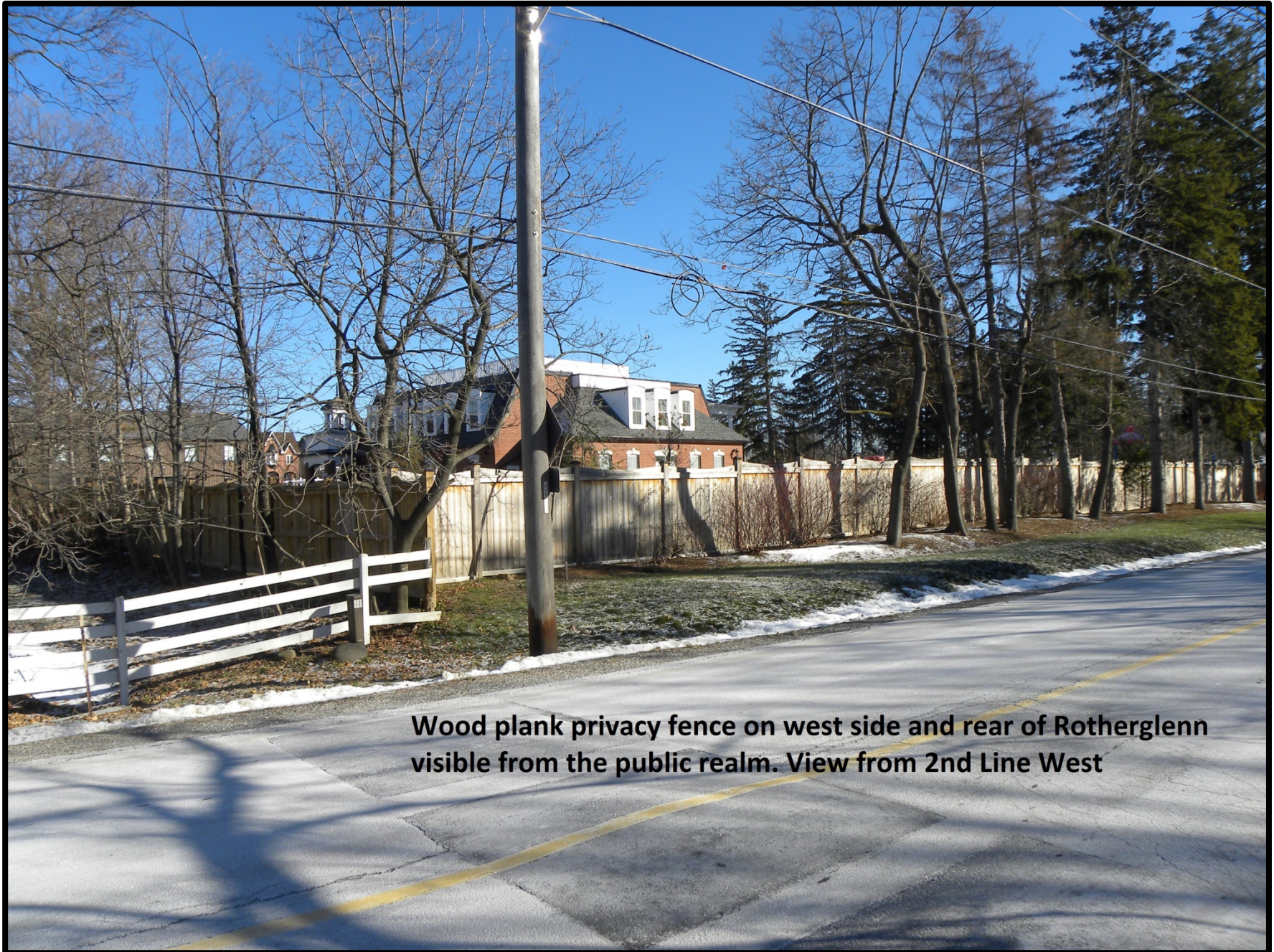
**Wood blank privacy fence at the side of 7050 Old Mill Lane completely visible from the public realm.
(front view from Old Mill Lane)**



Wood plank privacy fence along the west side of Rotherglen completely visible from the public realm. (viewed from 2nd Line West)



Wood blank privacy fence along the west side of Rotherglenn completely visible from the public realm. (viewed from 2nd Line West)



Wood plank privacy fence on west side and rear of Rotherglenn visible from the public realm. View from 2nd Line West

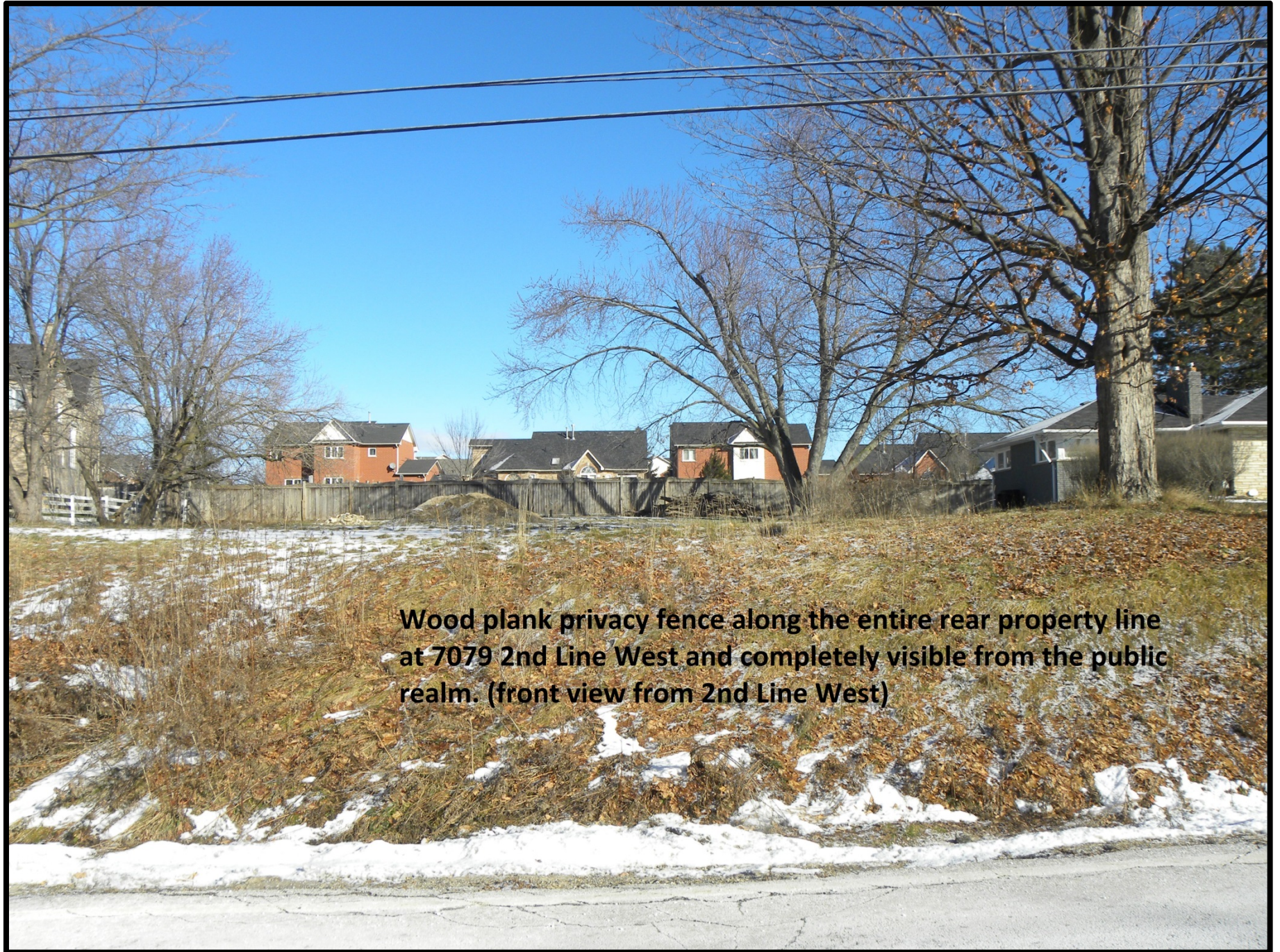




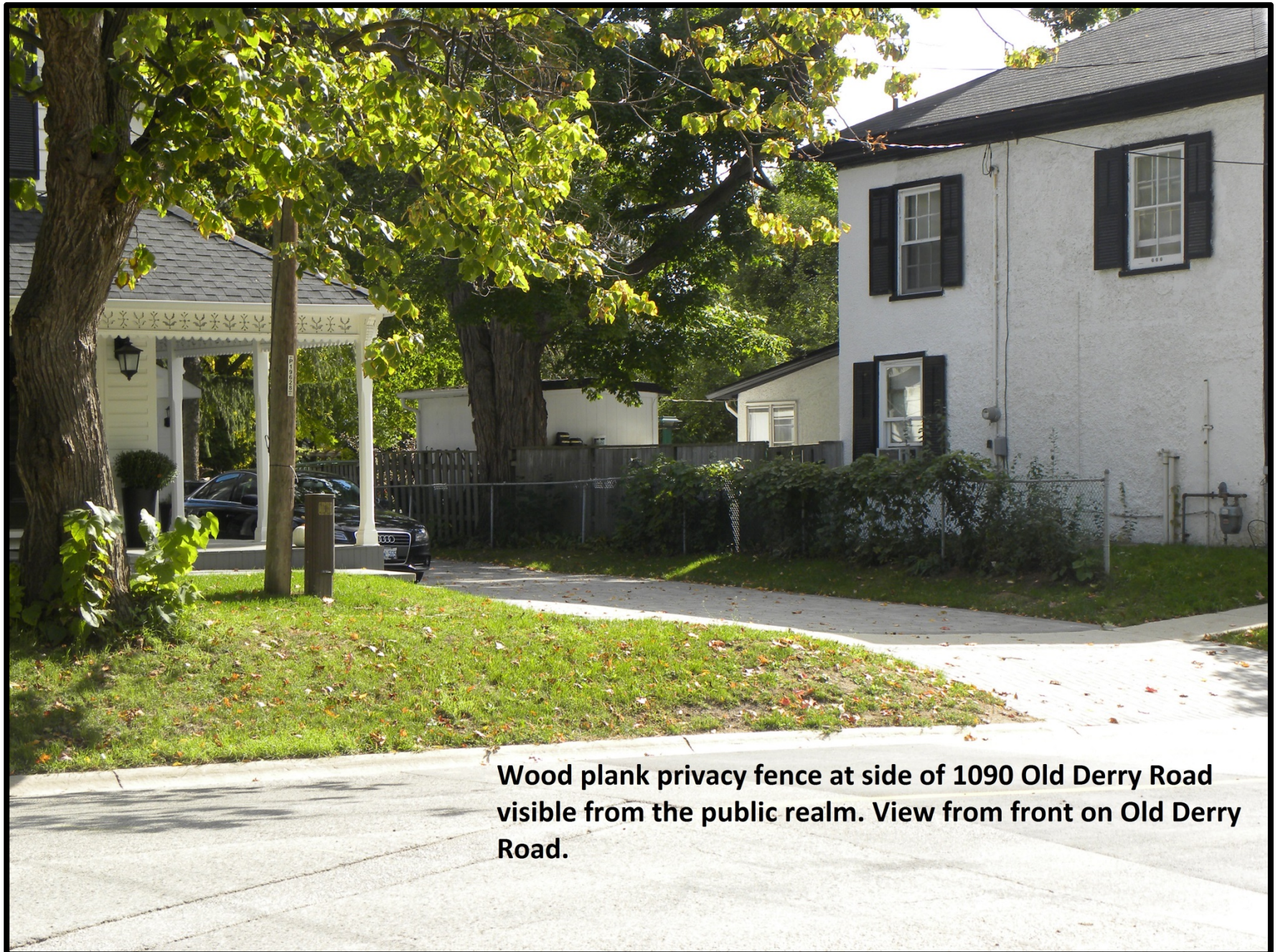
Wood plank privacy fence on rear and side of 7005 Old Derry Road (pumping station) visible from the public realm. View from Pond Street.



Wood plank privacy fence at rear of 7005 Old Derry Road (Pumping station) visible from the public realm. View from Mill Street.



Wood plank privacy fence along the entire rear property line at 7079 2nd Line West and completely visible from the public realm. (front view from 2nd Line West)



Wood plank privacy fence at side of 1090 Old Derry Road visible from the public realm. View from front on Old Derry Road.



Wood plank privacy fence at rear of 7004 2nd Line West visible from the public realm. (view from front on 2nd Line West)



Wood plank privacy fence on north side of 7080 2nd Line West visible from the public realm. View from front on 2nd Line West



**Wood plank privacy fence at side between 7058 and 7080
2nd Line West visible from the public realm. Viewed from
front on 2nd Line West**

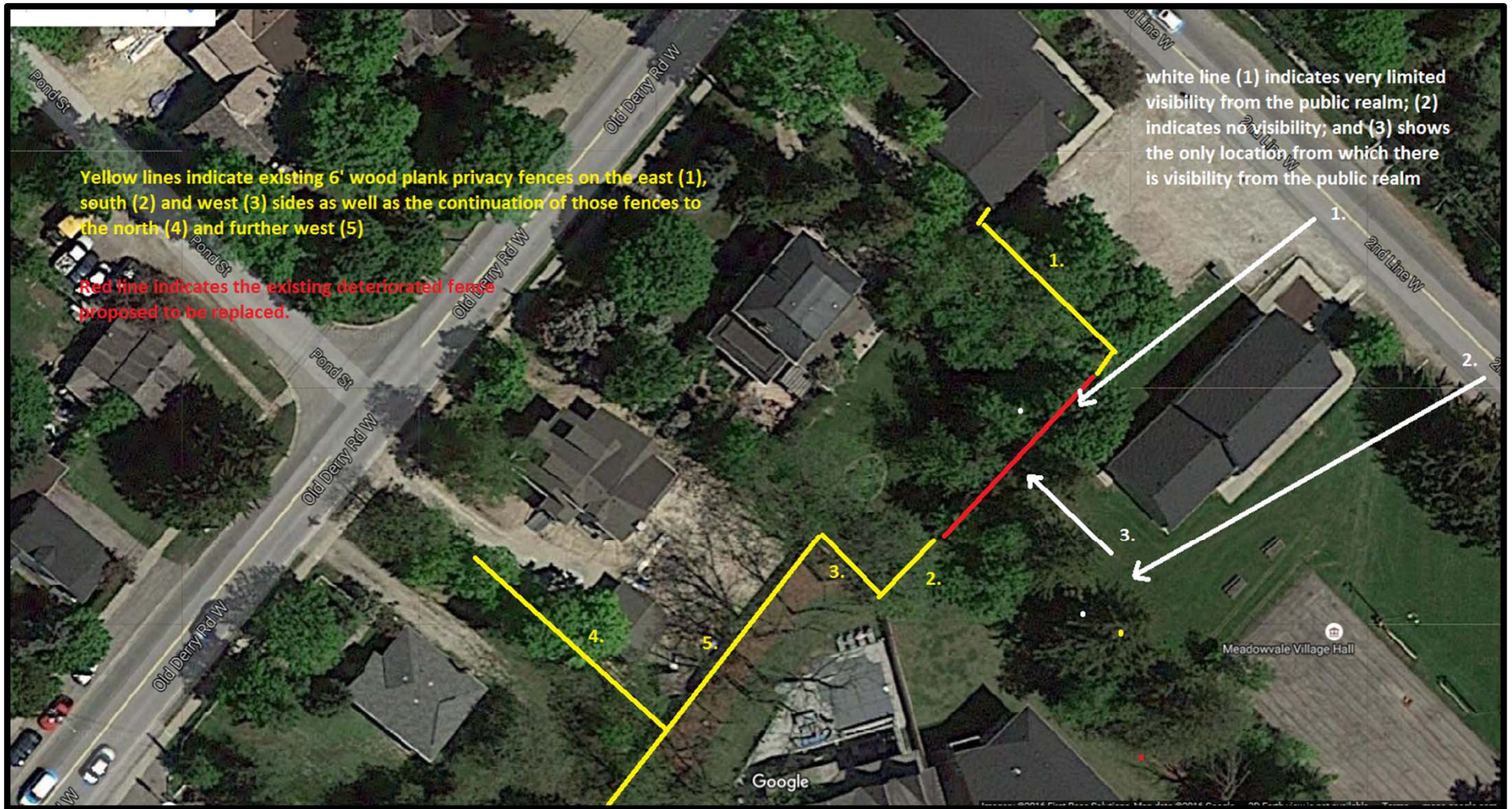


**Wood plank privacy fence at rear of Pond Street
visible from the public realm. View from 2nd Line West**

1020 Old Derry Road Meadowvale Heritage Conservation District



View of the section of existing fence on the rear, south property line which is proposed to be replaced



Google Earth view of 1020 Old Derry Road and adjacent HCD area and properties. Labelling indicates existing privacy fencing, proposed replacement fence section and sightlines to proposed replacement fence section from the public realm.



Existing wood plank privacy fence
on south and west property line

portion of existing fence to be replaced

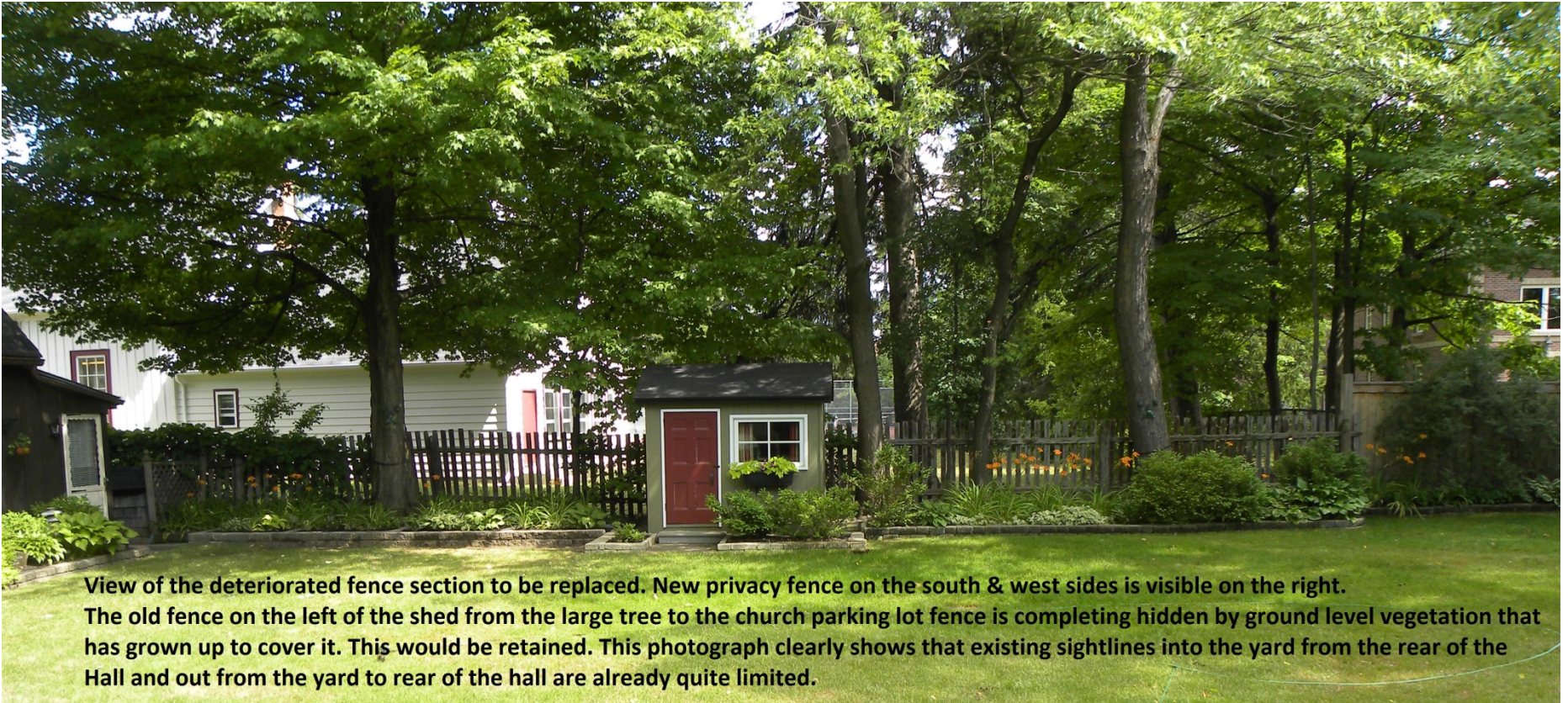




Original wood plank fence (see following image slide 21) which was a continuation of the remaining south section labelled above, was demolished by Meadowvale Church and replaced with the wood plank privacy fence shown above.



Original wood plank fence along the east side of 1020 Old Derry Road was demolished and replaced by a wood plank privacy fence Sometime after July 2000. My proposal is to do the same thing with remaining south section.



View of the deteriorated fence section to be replaced. New privacy fence on the south & west sides is visible on the right. The old fence on the left of the shed from the large tree to the church parking lot fence is completely hidden by ground level vegetation that has grown up to cover it. This would be retained. This photograph clearly shows that existing sightlines into the yard from the rear of the Hall and out from the yard to rear of the hall are already quite limited.





View of the existing deteriorated fence proposed for replacement from the public realm on the east side - 2nd Line West. Tree canopy, ground level vegetation and angle of view make the fence almost impossible to see for this view. The existing privacy fences on either side of the old fence are however both clearly visible. The replacement fence section would not obstruct sightlines from this view any more than the existing fence nor be any more visible.

View 1: from edge of 2nd Line West



Public realm view of deteriorated fence from the north side of the Meadowvale hall. Summer view with full greenery. Fence and 1020 Old Derry property barely visible

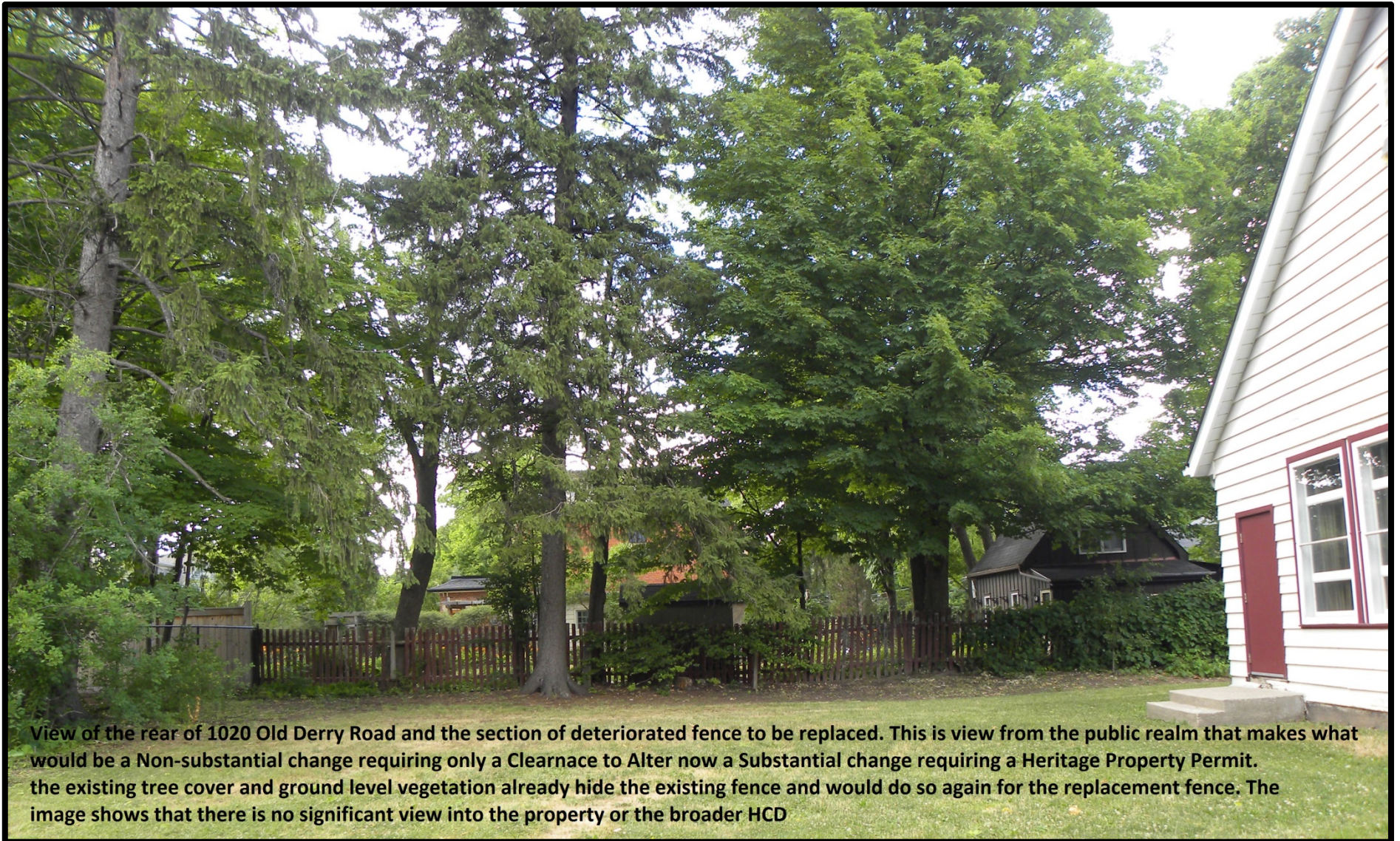
**View 2: from immediately
Alongside Meadowvale Hall**



Closer view of the entire fence line from the public realm on the east - 2nd Line West. All three fence sections are visible: new privacy fencing on the east and south-west as well as the old fence section in between. The old fence does obstruct views any more than either new fence section and most of it is hidden by tree canopy and ground level vegetation



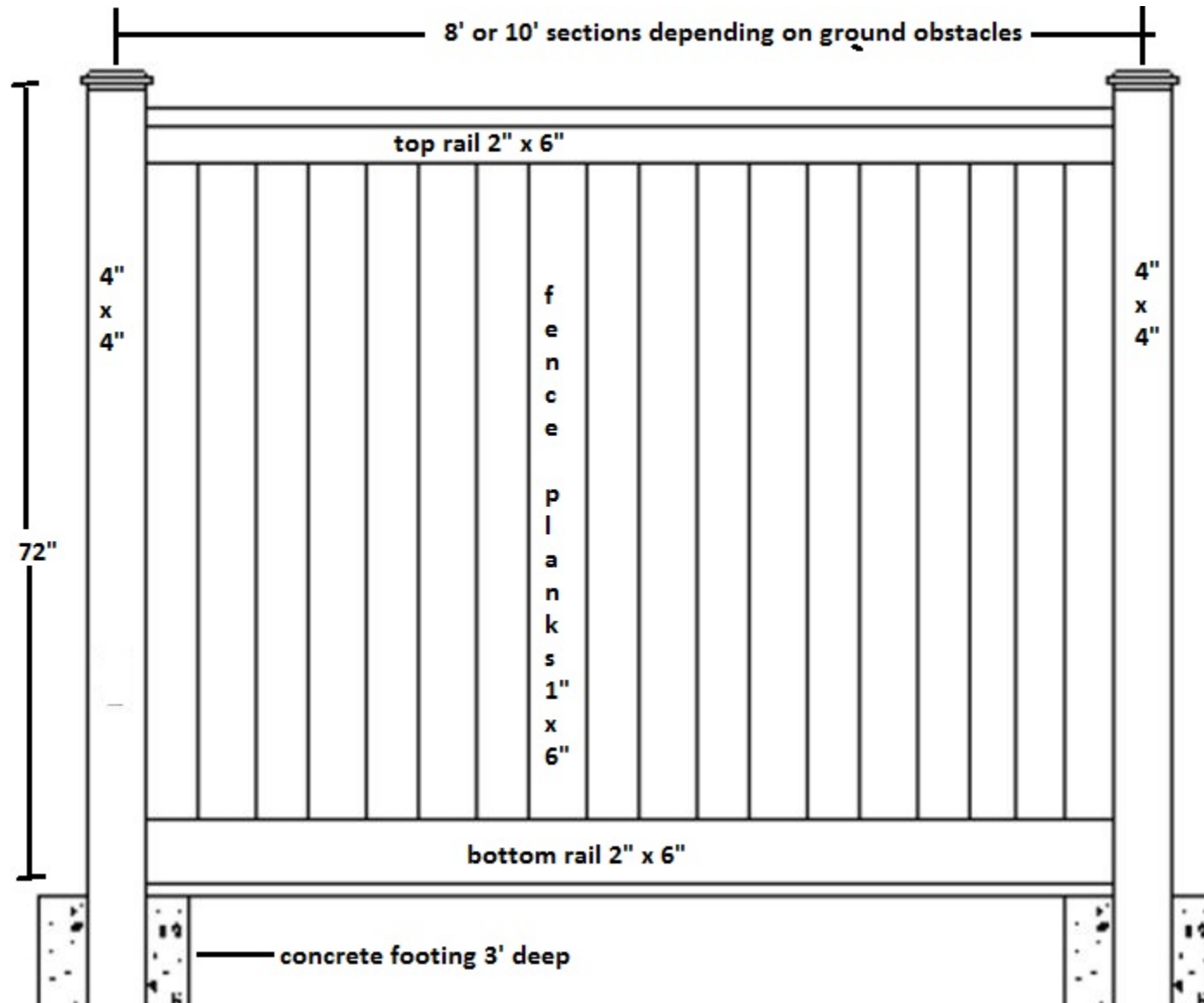
View from the public realm on the south side of Meadowvale Hall. 1020 Old Derry Road rear yard is not visible nor is the existing deteriorated fence section to be replaced. However, new privacy fences on property adjacent to and abutting on 1020 rear yard are clearly visible from this public realm view.



The public realm view of the existing deteriorated fence section from the south – visible only if one comes in off 2nd Line West and on to the Hall property in the rear of the building or from the tennis courts.







- **Original board fence on the east and South property lines is marked**
- **East fence removed and replaced post 1994**
- **South fence still in place**

- **Original board fence on the east and South property lines is marked**
- **East fence removed and replaced post 1994**
- **South fence still in place**

City of Mississauga

7.3 - 1

Corporate Report



Date: 2018/04/11

To: Chair and Members of Heritage Advisory Committee

From: Paul Mitcham, P. Eng, MBA, Commissioner of
Community Services

Originator's files:

Meeting date:
2018/05/08

Subject

Request to Alter a Heritage Designated Property: 295 Queen Street South (Ward 11)

Recommendation

That the request to restore three bell tower windows at the heritage designated property at 295 Queen Street South, as per the Corporate Report from the Commissioner of Community Services dated April 11, 2018, be approved.

Background

St. Andrew's Church, the subject property, is designated under Part IV of the Ontario Heritage Act. Section 33 of the Act requires permission from Council in order to make alterations to property designated under Part IV of the Act.

Comments

The owner of the subject property has submitted an application to restore three original wood windows on the bell tower of the church. Images of the church and details of the windows that are proposed for restoration are attached as Appendix 1. The proposal, attached as Appendix 2, states that: "Most of the interior woodwork on the windows and frames has failed revealing bare wood."

The scope of work includes temporarily removing the sashes and installing temporary plywood surrounds. The proposal includes "Dutchman repairs, consolidants and epoxy fillers only where necessary" and employs "old reclaimed first growth wood of the same species, attempting to match grain pattern of existing wood." This approach is consistent with Parks Canada's Standards and Guidelines for the Conservation of Historic Places in Canada. As such, the proposal should be approved.

Financial Impact

There is no financial impact.

Conclusion

The owner of the property has applied for a heritage permit to restore original wood windows. Because the proposal preserves the original fabric of the windows as much as possible, it should be approved.

Attachments

Appendix 1: Photographs

Appendix 2: Conservation Proposal



Paul Mitcham, P. Eng, MBA, Commissioner of Community Services

Prepared by: P. Wubbenhorst, Heritage Planner











Furlan Conservation
Hamilton ON

7.3 - 8 767-769 Barton Street East

Conservation of bell tower wood windows at St. Andrews Presbyterian Church, Streetsville ON

Among the significant character defining features of St. Andrew's Church are the wood windows. Conservation of the windows represents responsible stewardship for the community's built heritage. Original wood windows can perform well over time and are repairable. The general conservation approach will be to repair the windows so that they have structural integrity while saving as much original fabric as possible. The assessment process includes determining whether aspects of the windows are structurally compromised versus superficial defects such as small holes and marks in the wood. Defects that would not allow water to enter are considered superficial.

The conservation plan that I propose will be guided by sound conservation principles as set forth in The Venice Charter International Charter for the Conservation and Restoration of Monuments and Sites (1964), as well as the Standards and Guidelines for the Conservation of Historic Places in Canada and The Ontario Heritage Tool Kit. These guidelines offer consistency when planning for, intervening on, and using historic places and has been adopted by several federal, provincial, territorial, and municipal authorities, as the benchmark for assessing proposed conservation interventions. The intent of this conservation plan will be a minimal intervention approach. Sensitivity to the reversibility of interventions needed during the conservation process will be considered.

This proposal includes the conservation of:

Front Bell Tower windows

This includes 5 window sashes and their associated frames. 2 large front window sashes and one smaller above these. 2 smaller sashes one each side of the tower. I have provided only general guidelines for conservation. Most of the interior woodwork on the windows and frames has failed revealing bare wood. The general guidelines for conservation will be as follows:

- Remove window sashes and install a temporary plywood surround.
- All work to be completed in situ on site or in my shop in Hamilton where window sashes and other materials will be transported. The intention is to finish the frame areas while weather is favourable.
- Carefully remove existing glazing. Remove film material that is currently adhered to the glass. Clean the glass and reuse in existing location. Treat rebates and reglaze using linseed oil putty system. Replace any broken glass in kind.
- To strip, dry scrape, repair and re-finish the existing exterior woodwork conserving as much original material as possible, using dutchman repairs, consolidants and epoxy fillers only where necessary.
- dry scrape existing finish removing all loose and compromised layers so that existing top coats are well adhered to substrate.
- All Dutchman repairs will be of old reclaimed first growth wood of the same species, attempting to match grain pattern of existing wood.
- Disassemble to tighten joints as necessary.
- Clean existing hardware and reinstall. Ensure all hardware operates as designed.

Furlan Conservation
Hamilton ON

7.3 - 9 767-769 Barton Street East

- Documented in-situ, and throughout the removal and conservation process.
- All woodwork will be top coated with 3 coats of white paint.
- Clean-up work area at the end of each work day. Remove from building and discard unused materials, containers, tools, towels and paint dust in accordance with any local, provincial and federal regulations.
- All work will observe construction safety measures of relevant Ontario Occupational Health and Safety Act and related Regulations.

\$6900 + HST

**Not included
Any New hardware Requested**

**labour- \$5600.00
Material- \$1300.00**

295 Bell Tower

7.3 - 10



Exterior

Inside North



Main Bell Tower

City of Mississauga

Corporate Report



Date: 2018/04/11

To: Chair and Members of Heritage Advisory Committee

From: Paul Mitcham, P. Eng, MBA, Commissioner of
Community Services

Originator's files:

Meeting date:
2018/05/08

Subject

2018 Designated Heritage Property Grants

Recommendation

That the Heritage Property Grant Program requests as outlined in the corporate report dated April 11, 2018, from the Commissioner of Community Services entitled "2018 Designated Heritage Property Grants", be approved.

Background

In May 2007, Council adopted By-law 0184-2007, as amended February 25, 2009, to provide grants to owners of heritage designated properties. The program assists heritage designated property owners with financial assistance from a minimum of \$500 to a maximum of \$5,000 in matching funds for conservation projects, and up to \$10,000 for structural projects. Properties must be designated under the *Ontario Heritage Act*, and the work proposed must be a restoration or reconstruction of original architectural elements.

The Assessment Panel & Process

In support of the Designated Heritage Property Grant process, an assessment panel with three members is established by the Heritage Advisory Committee. The assessors for the term ending November 30, 2018 are; Matthew Wilkinson, Rick Mateljan and Beth Bjarnason. The Committee member assessment panel met on April 3, 2018 to review and provide their recommendations for all grant applications. Staff is grateful to the assessors for their time and commitment.

Initiatives to Increase Use of Grants

In conjunction with the current grant process, staff have undertaken a number of initiatives to increase use of the Designated Heritage Property Grant program. These initiatives are based on feedback from property owners, research into best practices from other municipalities and feedback from the Heritage Advisory Committee.

Heritage Advisory Committee	2018/04/11	2
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At the request of the Heritage Advisory Committee (HAC), staff also undertook a review (earlier this year) of the total grant amounts provided and recommended that no changes be made to the amounts at this time. The Heritage Advisory Committee has also directed staff to investigate the two Municipalities that provide larger maximum individual grants: Oakville and Burlington. Staff determined that Oakville provided a larger number of grants than Mississauga over the past two years, however, the City of Mississauga has funded a similar amount of projects in the past (i.e. 20 projects in 2014). Burlington did not provide any heritage grants in 2016 and provided two grants in 2017.

Comments

The Designated Heritage Property Grant Subcommittee reviewed the applications ensuring projects met the eligibility criteria.

Eligible projects include:

- Conservation of existing architectural elements;
- Reconstruction of existing architectural elements that need repair;
- Restoration of architectural elements which have been lost but can be replicated based on documentary evidence; and
- Repair and restoration of building elements required for structural soundness.

Twelve applications were submitted by the advertised deadline of March 23, 2018. The total amount of funding requested was \$70,192. Nine applications are recommended for funding. The remaining three applications did not provide adequate information to be recommended for funding or were deemed ineligible by the assessment panel. A summary of the recommended grant awards based on the 2018 budget is attached as Appendix 1.

Successful grant applicants will be notified of these results with any conditions, including whether the work proposed requires a heritage permit. Work must be completed by October 26, 2018, and property owners must ensure they do not owe any outstanding taxes, monies to the City, or have any by-law deficiencies, so final inspections can be made by staff shortly thereafter. Invoices are due by November 30, 2018. Grant funds are not provided until all of the conditions have been met. Unspent funding is forfeited by the grant recipient.

Moving forward staff will be undertaking a review to assess the viability of implementing a rolling deadline in 2019 to improve the utilization of the grant. Staff will bring a future report on this to HAC in early 2019.

Financial Impact

This report recommends a total allocation of \$53,320 against the budget of \$75,000 for the Designated Heritage Property Grant program.

Conclusion

A total of nine Designated Heritage Property Grant applications are recommended for approval in the 2018 Heritage Property Grant Program. This allows the city to assist successful applicants in the conservation and preservation of Mississauga's built heritage

Attachments

Appendix 1: 2018 Summary of Designated Heritage Property Grants



Paul Mitcham, P. Eng, MBA, Commissioner of Community Services

Prepared by: Andrew Douglas, Grants Coordinator

Recommended Applications				
Number	Address	Applicant	Project	Max. Grant Amount
1	1033 Barberry Lane	Marshall King	Repaint 12 windows and two doors	\$5,000
2	38 John Street South	Elizabeth Wisching	Chimney repair and parging	\$2,754
3	31 Mississauga Road South	Besmira Alikaj	Recreate original two storey front deck	\$5,000
4	1362 Mississauga Road	Ross Redfern	Removing and replacing cedar shakes	\$10,000
5	1009 Old Derry Road	Joane Redhead	Removing and replacing cedar shakes	\$10,000
6	1234 Old River Road	Melissa Battey-Pratt	Restore six wood windows and install storm windows	\$5,000
7	208/210 Queen Street South	Jiaqing Sun	Replacing four PVC windows with wood	\$5,000
8	223 Queen Street South	Lorenzo Cacciaccaro	Re-building two chimneys	\$6,667
9	259 Queen Street South	Gregory Tyralla	Conserving and restoring bell tower windows	\$3,899
Total \$				53,320.00

Not Recommended				
Number	Address	Rational		Max. Grant Amount
1	47 Queen Street South	The Scope and scale of the project was indeterminable based on the materials provided		
2	7050 Second Line West	Project is not eligible		
3	1033 Willow Lane	Project is not eligible		
Total \$				-

City of Mississauga
Memorandum



Date: 2018/04/18
To: Chair and Members of Heritage Advisory Committee
From: Paul Damaso, Director, Culture Division
Meeting Date: 2018/05/08
Subject: New Construction on Listed Property: 1785 Inner Circle

This memorandum and its attachment are presented for HAC's information.

The subject property is registered under Section 27 of the Ontario Heritage Act as part of the University of Toronto at Mississauga (UTM) Cultural Landscape. As per section 7.4.1.10 of the Mississauga Official Plan, "Applications for development involving cultural heritage resources will be required to include a Heritage Impact Assessment prepared to the satisfaction of the City and other appropriate authorities having jurisdiction." As such, the report is attached for your reference.

Attachments

Appendix 1: Heritage Impact Assessment
Appendix 2: Arborist Report

A handwritten signature in black ink, appearing to read 'Paul Damaso', written in a cursive style.

Paul Damaso, Director, Culture Division

Prepared by: Paula Wubbenhorst, Heritage Planner

UNIVERSITY OF TORONTO AT MISSISSAUGA OFFICE BUILDING

CULTURAL LANDSCAPE HERITAGE IMPACT ASSESSMENT

Inner Circle Road, Mississauga, Ontario

ISSUED: March 15, 2018

Prepared for:
WZMH Architects
95 St Clair Ave W Suite 1500
Toronto ON M4V 1N6

Prepared by:
ERA Architects Inc.
10 St. Mary Street, Suite 801
Toronto, ON M4Y 1P9
(416) 963-4497

Project: # 18-019-01
Prepared by: PE/EC/NT/SC

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EXECUTIVE SUMMARY

Background

This Cultural Landscape Heritage Impact Assessment (CLHIA), prepared for WZMH Architects, assesses the impact of a proposed office development on the University of Toronto at Mississauga (UTM) campus (“the Site”).

Cultural Heritage Value

The UTM campus, which balances an architecturally significant portfolio of buildings with a forested natural setting, is recognized as a unique cultural landscape within the City of Mississauga.

The entire campus is included on the City of Mississauga’s Cultural Landscape Inventory (L-INS-2). In addition, the campus includes two buildings designated under Part IV of the Ontario Heritage Act, and two buildings listed on the City’s Heritage Register (one of which is located adjacent to the Site).

Proposed Development

The proposed development is to replace an existing naturalized area near the Academic Annex building with a new two-storey office building, designed by WZMH Architects.

The proposal includes a landscaping plan to consist of new tree plantings, rainwater collection systems, a paved courtyard and sidewalks.

Impact on Heritage Resources

The proposed development impacts the Site by building in a naturalized area. In addition, 22 existing trees are proposed to be removed to allow for new construction. The depth of the existing street-facing tree cover will be reduced and the proposed new and existing Academic Annex building will be more visible from the public realm and along Inner Circle Road.

There is no impact anticipated on the adjacent Erindale College Student Centre, a listed property on the Mississauga Heritage Register.

Mitigation

The impact on heritage resources will be mitigated by the retention of five existing trees on the Site and the introduction of 44 new tree plantings and permeable paving treatments, which are sympathetic to and complement the existing landscape.

In addition, the proposed development respects the scale and architectural quality of surrounding built fabric on the UTM campus.

Conclusion

The proposed development will have minimal negative impact on the UTM cultural heritage landscape. The new building and its associated landscaping has been designed in sympathy with its surroundings.

1 INTRODUCTION

1.1 Scope of the Report

ERA Architects has prepared this Cultural Landscape Heritage Impact Assessment (“CLHIA”) to assess the impact of the proposed development on the heritage resources at the University of Toronto Mississauga campus.

According to the City of Mississauga, the purpose of a CLHIA is to evaluate the proposed development in relation to cultural landscape heritage resources and recommend an approach to mitigate negative impacts, to the satisfaction of the City.

Multiple sources of data were collected, sorted, and analyzed for this assessment. Both primary and secondary sources were examined, including: historical maps, atlases, and aerial photographs, archival documents and photographs, historic periodicals, the City of Mississauga Heritage Register, previous application documents and staff reports, and observations from a site visit.

This report was prepared with reference to Ontario Regulation 9/06 Criteria for Determining Cultural Heritage Value or Interest, the Ontario Heritage Toolkit, the Parks Canada *Standards and Guidelines for the Conservation of Historic Places in Canada (Standards and Guidelines)*, the Province of Ontario’s 2014 Provincial Policy Statement, the *Ontario Heritage Act*, the City of Mississauga’s *Cultural Landscape Heritage Impact Assessment Terms of Reference* (2016), and the City of Mississauga’s *Cultural Landscape Inventory* (2005).

1.2 Site Location

The Site is located in the University of Toronto Mississauga Campus (UTM), immediately south of the 2-storey, metal-clad Academic Annex building (1785 Inner Circle Road) and fronting on to Inner Circle Road. Currently, the site is characterized by a concrete pathway and landing for the Academic Annex building, sodded area, and a depression which is part of a naturalized corridor that links the North Campus sector and Wilson Pond to the south.

Surrounding the Site are the Student Centre to the north, Kaneff Centre and William G. Davis Building (previously known as the UTM South Building) to the east and their respective courtyards that characterize much of the landscape in the core of the UTM Campus.

The site can be viewed from Inner Circle Road and the fire access route to the east. The site is not visible from Mississauga Road due to the distance, heightened elevation, and plant screening.










Axonometric context view with Site (proposed building) outlined in blue (Google Maps, 2018, annotated by ERA).

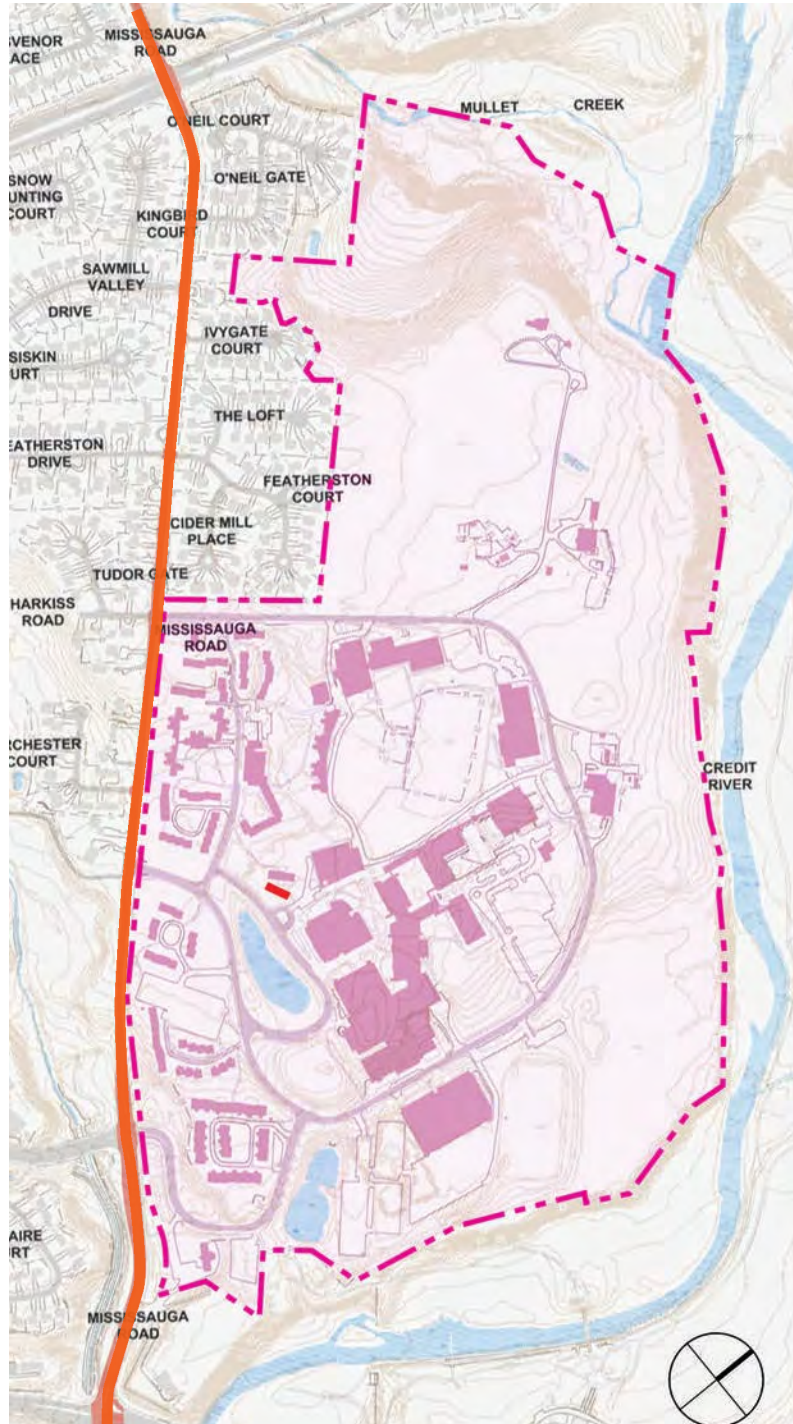
Location Map

Above - The UTM campus is situated along, though set back from, Mississauga Road in the city of Mississauga (City of Mississauga Mapping Service, annotated by ERA).

Right - The UTM campus is bounded by Mississauga Road and the Credit River Valley. The Site is located in the core of the campus.

LEGEND

-  City boundary
-  UTM campus boundary (L-INS-2)
-  Site
-  Waterbodies
-  Mississauga Road
-  Scenic Route (F-TC-4)
-  Roadways



1.3 Site Description

The site currently consists of a landscaped area south of the Academic Annex building, as well as a naturalized treed area to the south-east and south-west.

The landscaped area consists of:

- A pedestrian pathway leading to the Academic Annex from the fire access route; and
- A sodded area.

The naturalized area consists of:

- Deciduous and evergreen trees of various sizes; and
- Understory woody plants, grasses, and other ground covers (see Arborist report in Appendix B for additional information).

Site Plan of Existing Conditions

1.4 Site Photographs



Looking southwest towards the Site (ERA, 2018).



Looking west to the Site (ERA, 2018).



Looking towards the Site with the Student Centre in the background (ERA, 2018).



Looking south to the Site (ERA, 2018).



Looking from within the Site towards 1785 Inner Circle Road - note culvert at right (ERA, 2018).



Looking towards the Site with Inner Circle Road at left (ERA, 2018).



Looking north at the proposed Site with 1785 Inner Circle Road at left (ERA, 2018).



Looking east at 1785 Inner Circle Road with Site at right (ERA, 2018).

1.5 Heritage Context

The Site is within the University of Toronto at Mississauga (UTM) Cultural Landscape, which is included in the City of Mississauga's Cultural Landscape Inventory (L-INS-2). The full description from the Cultural Landscape Inventory can be found in Appendix A.

The UTM campus also contains individually listed and designated cultural heritage resources.

Two properties are designated under Part IV of the Ontario Heritage Act:

- **Lislehurst** - Tudor Revival House built c.1885, now home to Principal of Erindale College (UTM). By-law 879-85.
- **Alumni House (originally Old Erindale Public School)** - Georgian Revival school built 1922. By-law 662-83.

Two properties are listed on the City of Mississauga's Heritage Register:

- **Erindale College South Building & Central Utilities Plant** - Rare example of Brutalism in Mississauga, 1972. Inventory No. 493.
- **Student Centre** - Postmodern student centre, 1992. Inventory No. 570.

1.6 Adjacent Heritage Building

The Erindale College Student Centre is considered adjacent to the Site. The Mississauga Heritage Register describes it as:

This is a new student centre jointly funded by sponsorship, student tuition hikes and the university. A competition was held for designers to submit their plans for the student centre. The existing design was the winner. 80 percent of the structure was built in 1999, while 20 percent was known as the Crossroads building, signifying the meeting of two main paths that run the university. The crossroads building was built circa 1970 and was without a particular style. The crossroad building can be seen in the rear of the structure and along the west facade. The structure is a two-storey structure built in the international style. The building has a glass south facing facade from floor to roof. The building has interesting staircases and shaping throughout, along with an interesting use of colour. The building is 32,131 square feet in size. Kohn Schnier Architects designed the building.

*Heritage Status & Identified Buildings***LEGEND**

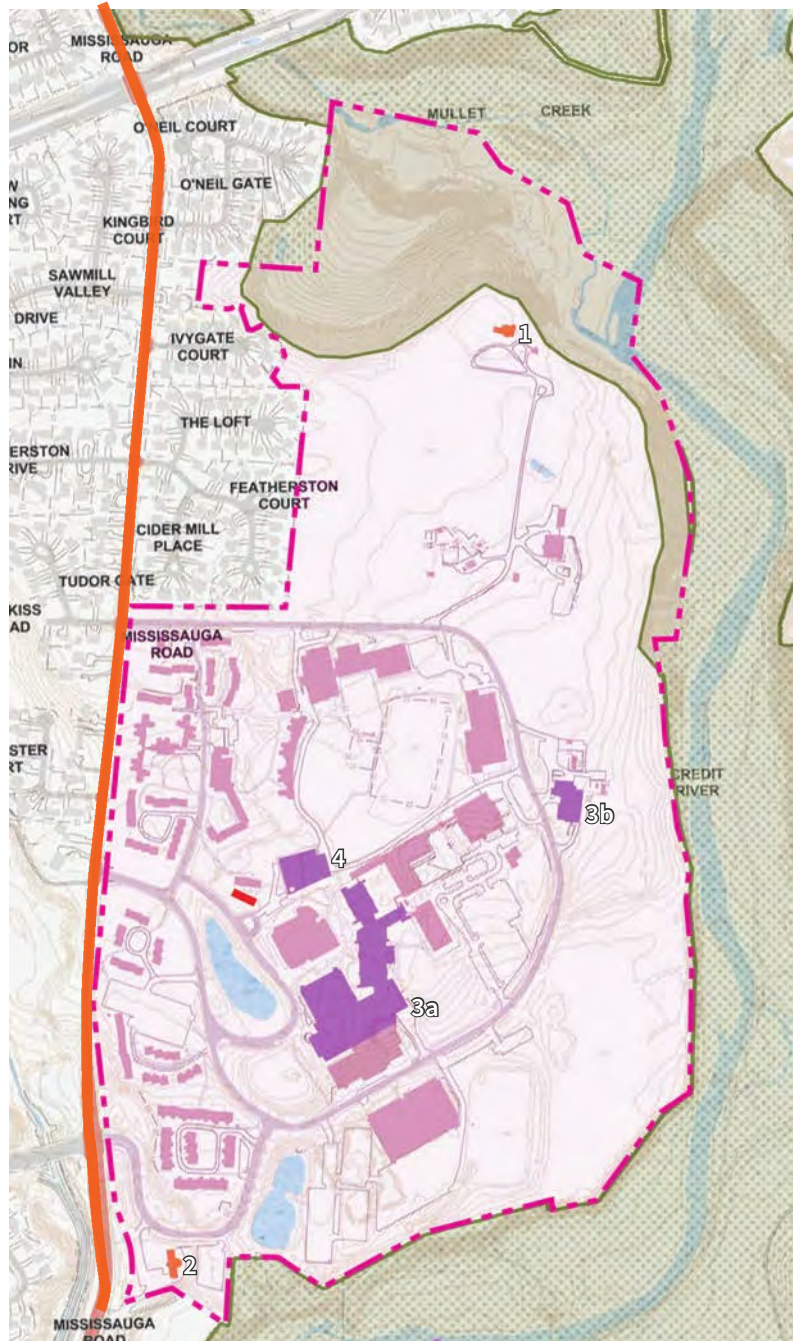
	UTM campus boundary (L-INS-2)
	Erindale Park (L-PA-6)
	Credit Valley (L-NA-2)
	Site
	Waterbodies
	Mississauga Rd Scenic Route (F-TC-4)
	Roadways
	Designated Heritage Property
	Listed Heritage Property

Designated Heritage Properties

1. Lislehurst (By-law 879-85)
2. Alumni House (By-law 662-83)

Listed Heritage Properties

3. Erindale College South Building (3a) and Central Utilities Plant (3b) (Mississauga Heritage INV #493)
4. Student Centre (Mississauga Heritage INV #570)



1.7 Heritage Policy Context

Overview

The following documents comprise the policy framework relevant to heritage considerations at the Site:

- Ontario's Provincial Policy Statement ("PPS 2014");
- Region of Peel Official Plan, 2010;
- City of Mississauga Official Plan, 2015; and
- University of Toronto Mississauga Campus Master Plan, 2011.

Provincial Policy Statement

The PPS provides policies to ensure new development on lands on and adjacent to protected heritage properties are evaluated. Section 2.6.1 states:

Significant built heritage resources and significant cultural heritage landscapes shall be conserved.

Additionally, Section 2.6.3 states:

Planning authorities shall not permit development and site alteration on adjacent lands to protected heritage property except where the proposed development and site alteration has been evaluated and it has been demonstrated that the heritage attributes of the protected heritage property will be conserved.

Region of Peel Official Plan

Chapter 3.6 of the Official Plan of the Region of Peel contains policies relating to development on or adjacent to heritage properties. Policy 3.6.2.8 states:

Direct the area municipalities to only permit development and site alteration on adjacent land to protected heritage property where the proposed property has been evaluated and it has been demonstrated that the heritage attributes of the protected heritage property will be conserved.

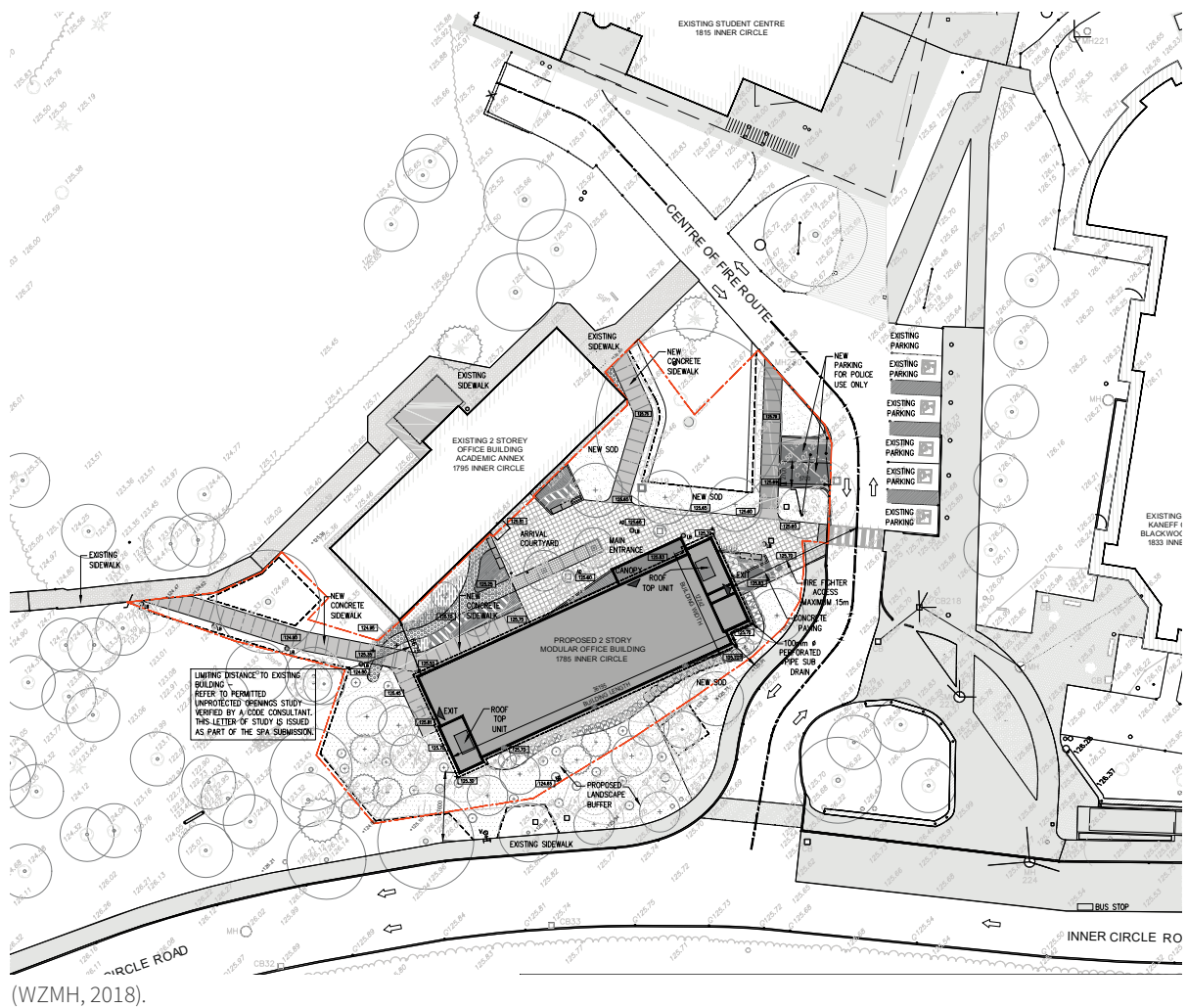
2 DESCRIPTION OF PROPOSED DEVELOPMENT

The existing landscaped area to the south of the Academic Annex building (1785 Inner Circle Road) is to be removed and re-graded. A two-storey office building with a footprint of approximately 395m² is to be erected in its place.

The building will be accompanied by new landscaping, trees, sidewalks and paving treatments, and two parking spaces.

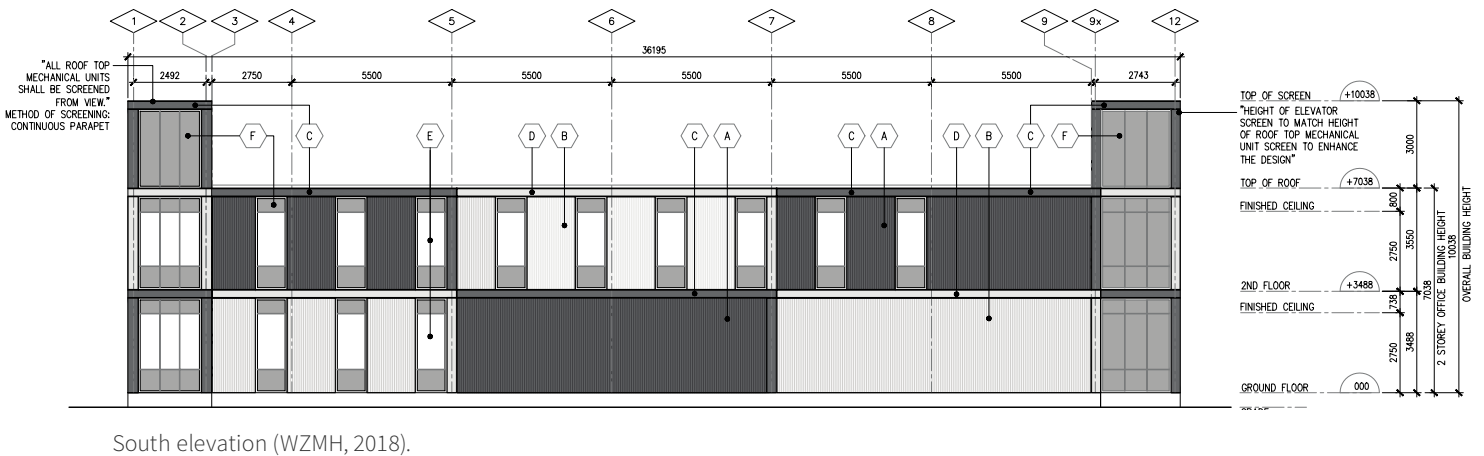
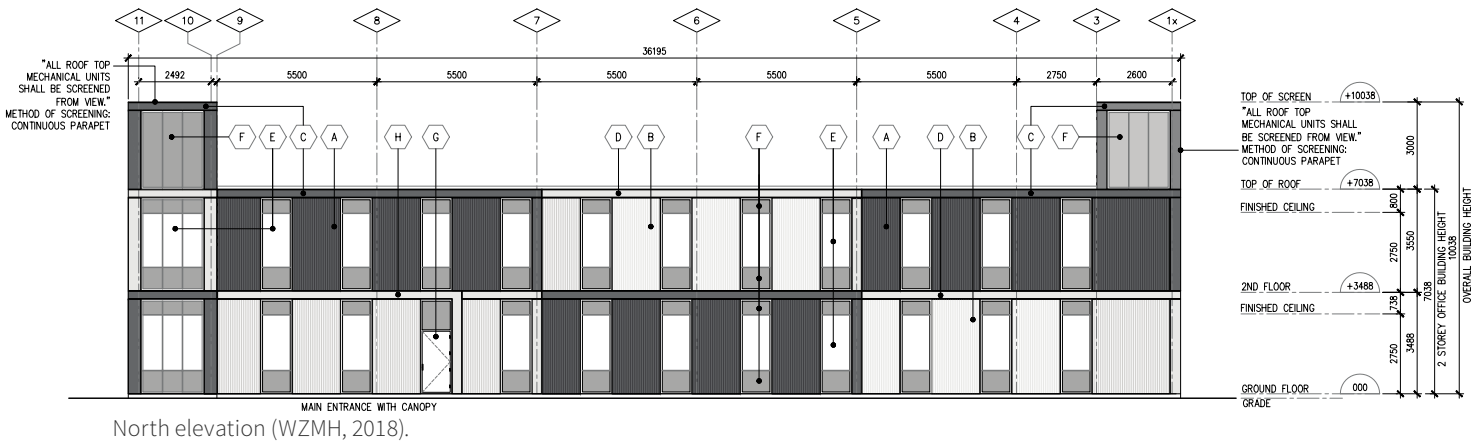


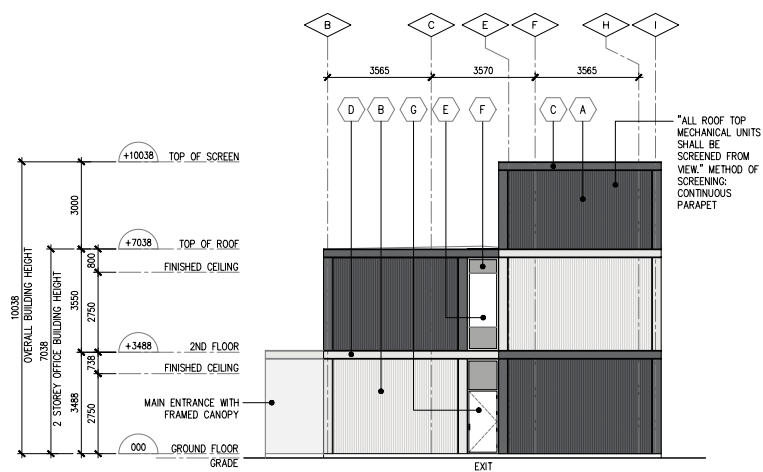
Render of proposed building seen looking south (WZMH, 2018).

Proposed Site Plan

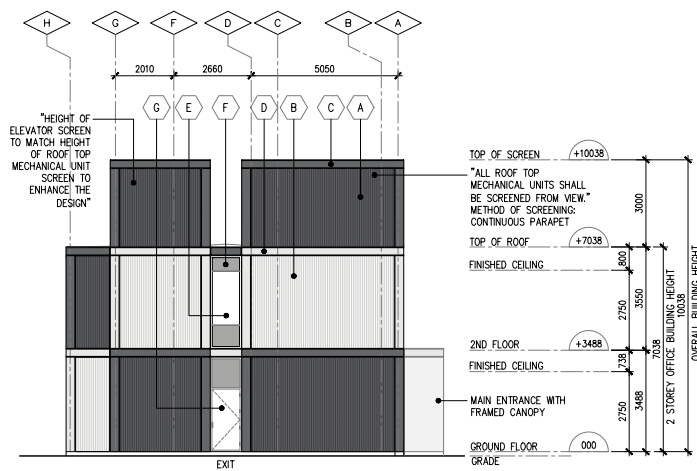
Proposed Elevations

A	PREFORMED METAL CLADDING COLOR TYPE 'A' (GRAY COLOR)
B	PREFORMED METAL CLADDING COLOR TYPE 'B' (WHITE COLOR)
C	'C' CHANNEL COLOR TYPE 'A' (GRAY COLOR)
D	'C' CHANNEL COLOR TYPE 'B' (WHITE COLOR)
E	VISION GLASS
F	SPANDREL GLASS
G	GLAZED ALUMINUM DOOR
H	CANOPY



Proposed Elevations

West elevation (WZMH, 2018).



East elevation (WZMH, 2018).

3 CULTURAL HERITAGE LANDSCAPE ASSESSMENT

3.1 Criteria associated with Cultural Heritage Landscape

As outlined in the CLHI Terms of Reference (2016), it must be demonstrated how the proposed development will conserve the applicable criteria. The following table assesses all applicable criteria that apply to the UTM cultural heritage landscape (L-INS-2), as contained in the City of Mississauga Cultural Landscape Inventory (2005).

3.2 Assessment

The following table identifies and assess possible effects of the proposal on the cultural heritage landscape and the associated criteria as set out in City of Mississauga's Cultural Landscape Inventory, attached as Appendix A.

Criteria	Impact and Remediation
Landscape Environment	
<i>Scenic and Visual Quality</i>	<i>The existing depth of the tree-lined street will be reduced as 22 trees will be removed as part of the proposed development. While five existing trees will remain and some new plantings are proposed, the depth of tree cover will be reduced and the proposed new and existing Academic Annex building will be more visible from the public realm and along Inner Circle Road.</i>
<i>Natural Environment</i>	<i>The proposed building will be built partly on the existing naturalized area and will necessitate the removal of 22 trees*. The proposal, however, includes the preservation of five trees, renaturalizing affected areas, planting of an additional 44 trees, and the installation of permeable unit paving and a rain garden.</i>
<i>Horticultural Interest</i>	<i>Two Butternut trees have been identified in the project footprint by the certified arborist and both are recommended for removal following a Butternut Health Assessment.*</i>
<i>Landscape Design, Type and Technological Interest</i>	<i>No impact - The proposed landscape design is complementary to the South Campus Sector's "courtyards" typology.</i>
Historical Association	
<i>Illustrates Style, Trend or Pattern</i>	<i>No impact - the proposed development respects the scale and architectural quality of surrounding built fabric and landscape on the UTM campus.</i>
<i>Illustrates Important Phase in Mississauga's Social or Physical Development</i>	<i>Not applicable.</i>

Criteria	Impact and Remediation
Built Environment	
<i>Aesthetic/Visual Quality</i>	<i>The proposed development respects the scale and architectural quality of surrounding built fabric and landscape. Further, it does not detract from site lines to the listed Erindale College Student Centre to the north of the Site.</i>
<i>Consistent Scale of Built Features</i>	<i>The proposed development is sympathetic and subordinate to the scale, height and massing of adjacent buildings (i.e. Academic Annex, Kaneff Centre and the Erindale College Student Centre.</i>
<i>Unique Architectural Features/Buildings</i>	<i>No impact - The site does not have existing unique architectural features or buildings and the proposed development will not impact the adjacent listed Erindale College Student Centre.</i>
<i>Designated Structures</i>	<i>No impact - The site is a significant distance away from designated heritage structures.</i>
Other	
<i>Historical or Archaeological Interest</i>	<i>Not applicable.</i>
<i>Significant Ecological Interest</i>	<i>See Arborist report in Appendix B.</i>

*Additional information and analysis can be found in the Arborist Report for the Site, attached in Appendix B.

4 IMPACT OF DEVELOPMENT

The potential impacts are identified in the City of Mississauga's CLHIA Terms of Reference (2016), in turn taken from the *Ontario Heritage Tool Kit*. The following table assesses any impact the proposed development may have on the cultural heritage resources, including the UTM Campus Cultural Heritage Landscape and the identified adjacent heritage resource, the Erindale College Student Centre (see Section 1.5)

Possible Effect	Assessment
Destruction of any, or part of any, significant heritage attributes or features	Not applicable.
Removal of natural heritage features, including trees	Twenty-two existing trees and various plant material will be removed. However, this impact will be mitigated by preserving five trees, renaturalizing affected areas, planting of an additional 44 trees, and the installation of permeable unit paving and a rain garden on site.
Alteration that is not sympathetic, or is incompatible, with the historic fabric and appearance	The proposed development is conceived in architectural and scalar sympathy with the surrounding built fabric.
Shadows created that alter the appearance of a heritage attribute or change the viability of an associated natural feature, or plantings, such as a garden	Not applicable. The proposed building is to be two storeys in height and will have minimal shadow impact.
Isolation of a heritage attribute from its surrounding environment, context or a significant relationship	Not applicable.
Direct or indirect obstruction of significant views or vistas within, from, or of built and natural features	No significant views or vistas will be obstructed.
A change in land use where the change in use negates the property's cultural heritage value	Not applicable. Although the parcel of land will change in use, it will not negate any cultural heritage value.
Land disturbances such as a change in grade that alters soils, and drainage patterns	Changes to grade and drainage patterns are proposed. However, these land disturbances will be mitigated through the preservation of some trees, renaturalization, planting of new trees, new drainage and permeable paving treatments.

5 MITIGATION MEASURES

The impact of the proposed development will be mitigated by design of the new building, which harmonizes with the existing Academic Annex building in terms of its height, plan form, massing and setting, and is of a high design quality appropriate for the campus context.

Further mitigation for the loss of the existing trees and naturalized area will be achieved through the introduction of new tree planting, drainage systems and landscape features, as seen below.



Proposed development showing landscape treatment (Fleisher Ridout Partnership, 2018).

6 CONCLUSION

This Cultural Landscape Heritage Impact Assessment finds that the proposed development and associated mitigation measures outlined in this report conserves the described cultural heritage value of the University of Toronto at Mississauga campus.

While 22 trees will be removed to allow for new construction as part of the proposed development, the impact will be mitigated by the preservation of some trees and addition of 44 new planting and permeable paving treatments. This report finds the proposed development will have minimal negative impact on the adjacent listed heritage resource, the Erindale College Student Centre.

The siting, massing and design of the proposed development are in sympathy with its context and will contribute positively to the overall scenic and visual quality of the Site and campus.

7 PROJECT PERSONNEL

Philip Evans

Philip Evans is a principal of ERA Architects and the founder of small. In the course of his fourteen-year career, he has led a range of conservation, adaptive reuse, design, and feasibility planning projects. Philip is a professional member of CAHP.

Emma Cohlmeier

Emma Cohlmeier works with the heritage planning team at ERA Architects. She has a Master Degree in Urban Planning from the University of Toronto and a Bachelor of Arts from the University of Guelph. Emma is an experienced project manager.

Nicholas Thompson

Nicholas Thompson is a historic building consultant at ERA Architects. He has master's degrees in history (McGill University) and planning (University of Toronto), as well as a Certificate in Historic Building Conservation (Cambridge University).

Stuart Chan

Stuart Chan is a landscape designer with ERA Architects. He holds a Master of Landscape Architecture (University of Guelph) and has practiced in Canada and Hong Kong.

Emily Collins

Emily Collins is a planner with ERA Architects. She received her Bachelor of Environmental Studies with a major in Honours Planning from the University of Waterloo.

8 REFERENCES

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Google Maps. from <https://www.google.ca/maps/>.

Province of Ontario (2006). "Ontario Regulation 9/06." Criteria for Determining Cultural Heritage Value or Interest. from <http://www.ontario.ca/laws/regulation/060009>.

Province of Ontario (2014). "Provincial Policy Statement." from <http://www.mah.gov.on.ca/AssetFactory.aspx?did=10463>.

9 APPENDICES

Appendix A Cultural Landscape Inventory- UTM



Cultural Landscape Inventory

University of Toronto at Mississauga (UTM)

L-INS-2

Location	Located on Mississauga Road north of Dundas Street West and south of Burnhamthorpe Road West
Heritage or Other Designation	Lislehurst 879-85
Landscape Type	Institutional

LANDSCAPE ENVIRONMENT

- ☒ Scenic and Visual Quality
- ☒ Natural Environment
- ☒ Horticultural Interest
- ☒ Landscape Design, Type and Technological Interest

HISTORICAL ASSOCIATION

- ☒ Illustrates Style, Trend or Pattern
- ☐ Direct Association with Important Person or Event
- ☒ Illustrates Important Phase in Mississauga's Social or Physical Development
- ☐ Illustrates Work of Important Designer

BUILT ENVIRONMENT

- ☒ Aesthetic/Visual Quality
- ☐ Consistent Early Environs (pre-World War II)
- ☒ Consistent Scale of Built Features
- ☒ Unique Architectural Features/Buildings
- ☒ Designated Structures

OTHER

- ☒ Historical or Archaeological Interest
- ☐ Outstanding Features/Interest
- ☒ Significant Ecological Interest
- ☐ Landmark Value





CITY OF MISSISSAUGA

Cultural Landscape Inventory

University of Toronto at Mississauga (UTM)**L-INS-2**

SITE DESCRIPTION

Initiated as a satellite suburban campus of the University of Toronto, the University of Toronto at Mississauga (UTM), has and continues to evolve into a mature and well respected centre of learning. Nestled against the west bank of the Credit River, the university takes advantage of its wonderful setting, locating buildings on prominent landform and table lands to take best advantage of views to the river valley with its forested table land and mature treed slopes. The campus grounds have struck a good balance between preserving and enhancing natural areas and developing manicured grounds for campus activities. The campus has an interesting portfolio of buildings ranging from modern to newer international styled structures. As the campus matures, this range of styles will expand and form an impressive collection of architecturally significant buildings. If the campus plan continues to acknowledge an environmentally friendly, sustainable balance between natural and developed landscape areas, the campus will be unique among Ontario universities in terms of its visual quality and character. This site is recognized as a unique cultural landscape within the City of Mississauga and one which is expected to demonstrate leadership balancing development requirements with the protection and enhancement of the natural environment. Lislehurst, the President's residence, is a heritage designated structure for architectural and historical significance.



Appendix B Architectural DrawingSet - WZMH



DRAWING LIST

DWG. NO	DRAWING TITLE
A000	Cover Sheet
A100	Context plan
A101	Site Plan
A200	Ground Floor Plan
A201	Second Floor Plan
A202	Roof Plan
A203	Structural Modular Diagram
A400	Elevations
A401	Elevations

UTM 2017-18-14 MODULAR OFFICE BUILDING

UNIVERSITY OF TORONTO MISSISSAUGA

ISSUE C2 - ISSUED FOR SITE PLAN APPLICATION

2018 MARCH 14

A000 COVER SHEET

PROJECT NUMBER: 07184.000

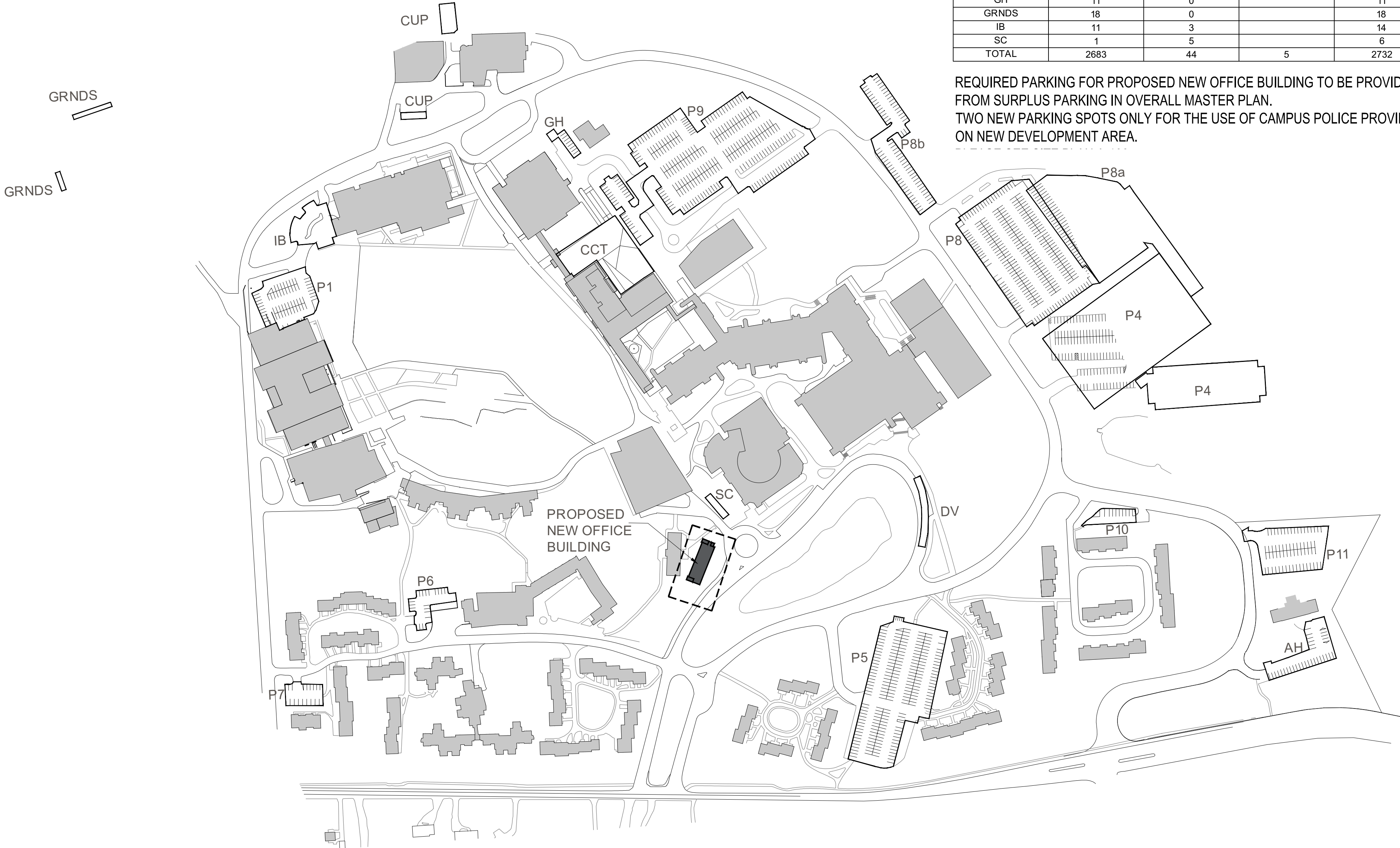
WZMH ARCHITECTS



UNIVERSITY OF
TORONTO
MISSISSAUGA

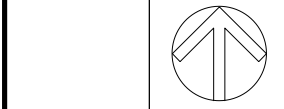
MASTER PLAN PARKING STATISTIC				
LOT	STANDARD	BARRIER FREE	MOTORCYCLE	TOTAL
P1	24	7		31
P4	725	0		725
P5	190	2	5	197
P6	19	2		21
P7	17	1		18
P8	890	6		896
P9	264	7		271
P10	7	2		9
P11	62	0		62
AH	30	1		31
CCT	380	6		386
CUP	16	0		16
DV	18	2		20
GH	11	0		11
GRNDS	18	0		18
IB	11	3		14
SC	1	5		6
TOTAL	2683	44	5	2732

REQUIRED PARKING FOR PROPOSED NEW OFFICE BUILDING TO BE PROVIDED FROM SURPLUS PARKING IN OVERALL MASTER PLAN.
TWO NEW PARKING SPOTS ONLY FOR THE USE OF CAMPUS POLICE PROVIDED ON NEW DEVELOPMENT AREA.



Key Plan

C2	ISSUED FOR THE PLAN APPROVAL	2018/04/14
C1	PRE-APPLICATION MEETING REQUEST	2018/04/11
C1	PRE-APPLICATION MEETING REQUEST CLIENT REVIEW	2018/04/14
ITEM	DESCRIPTION	DATE
ISSUES/REVISIONS		



APPLICATION NUMBER: PAM 18-30 WB

LEGAL DESCRIPTION:
PART OF UNIVERSITY OF TORONTO
MISSISSAUGA CAMPUS
CITY OF MISSISSAUGA
REGIONAL MUNICIPALITY OF PEEL
1785 INNER CIRCLE
PROJECT ADDRESS: 1785 INNER CIRCLE

Drawn For Construction: _____ Date: _____
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Canada M6H 1W6
T 416.961.4111
F 416.961.5176

UNIVERSITY OF
TORONTO
MISSISSAUGA
FACILITIES MANAGEMENT & PLANNING
UNIVERSITY OF TORONTO MISSISSAUGA
3359 MISSISSAUGA ROAD NORTH
MISSISSAUGA, ONTARIO, L5L 1C6

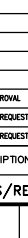

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UTM 2017-18-14
MODULAR OFFICE
BUILDING

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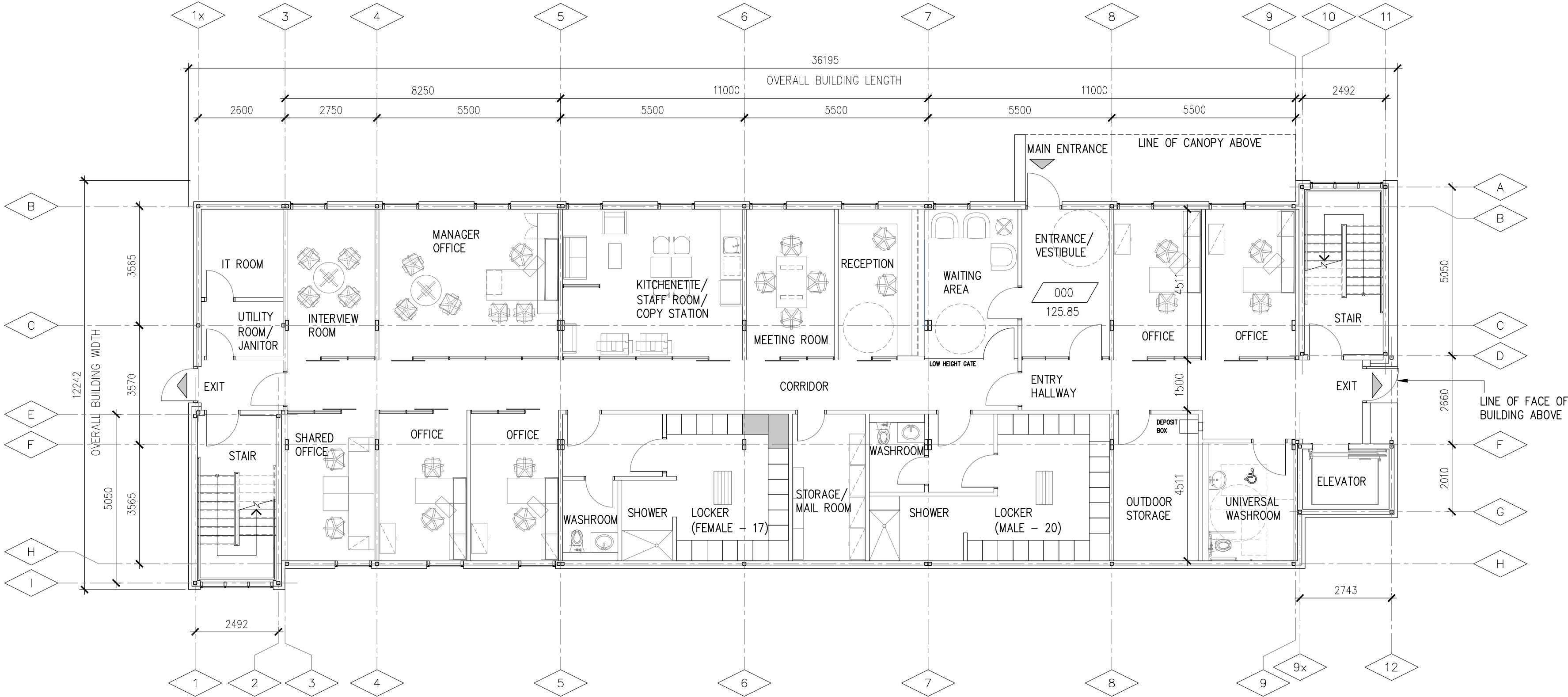
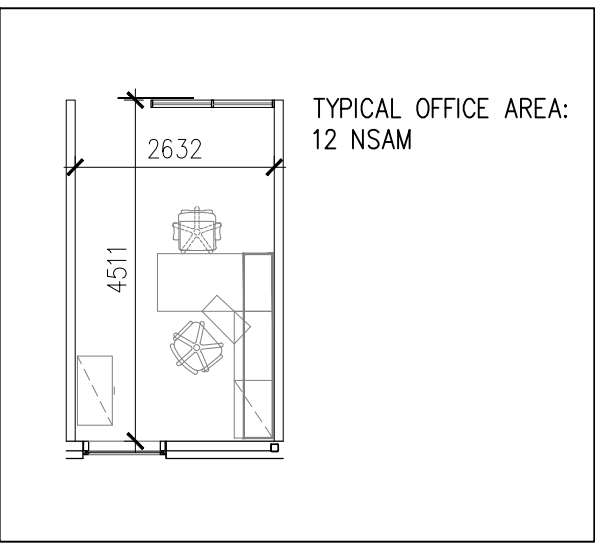
Key Plan

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NUMBER OF SHARED OFFICE (12 NASM):	1 (2 STATIONS)
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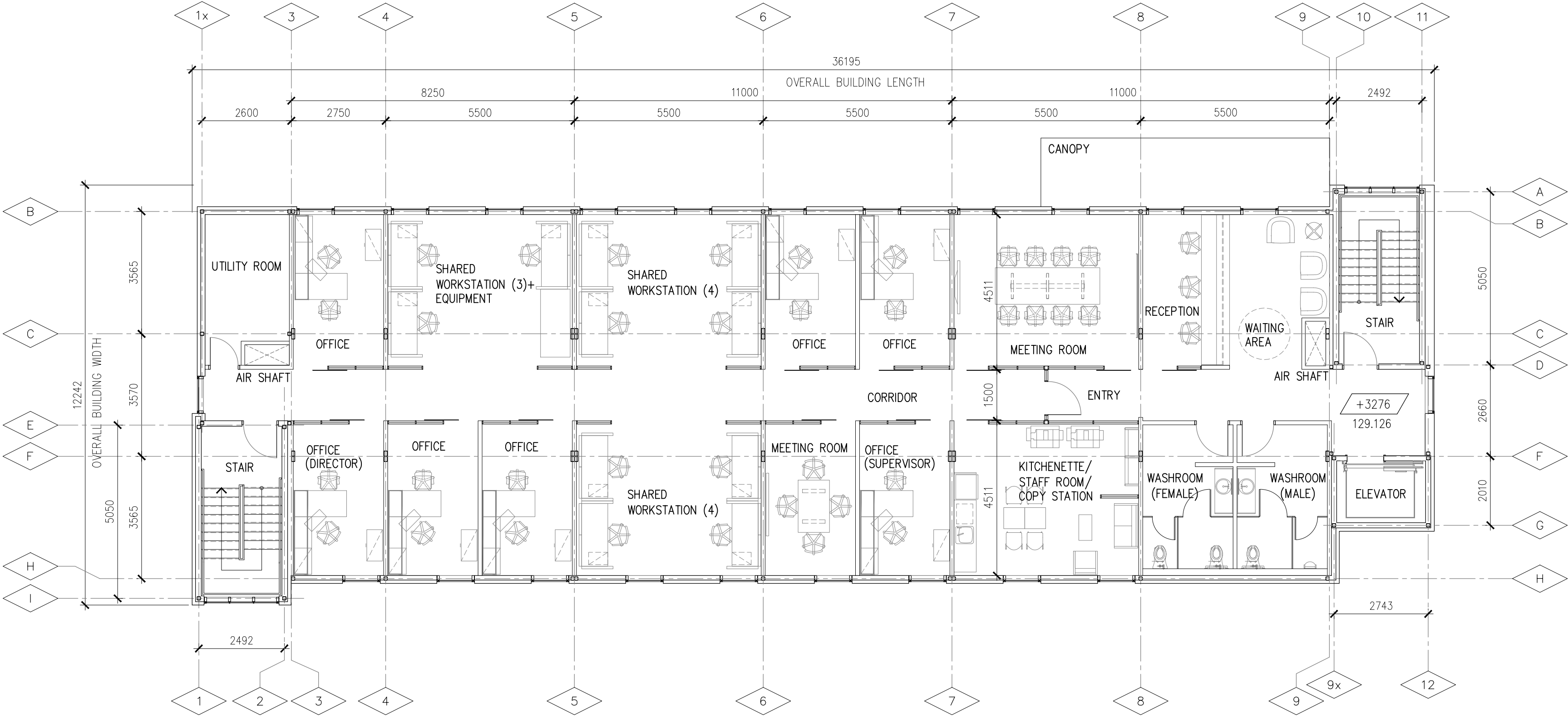
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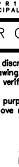

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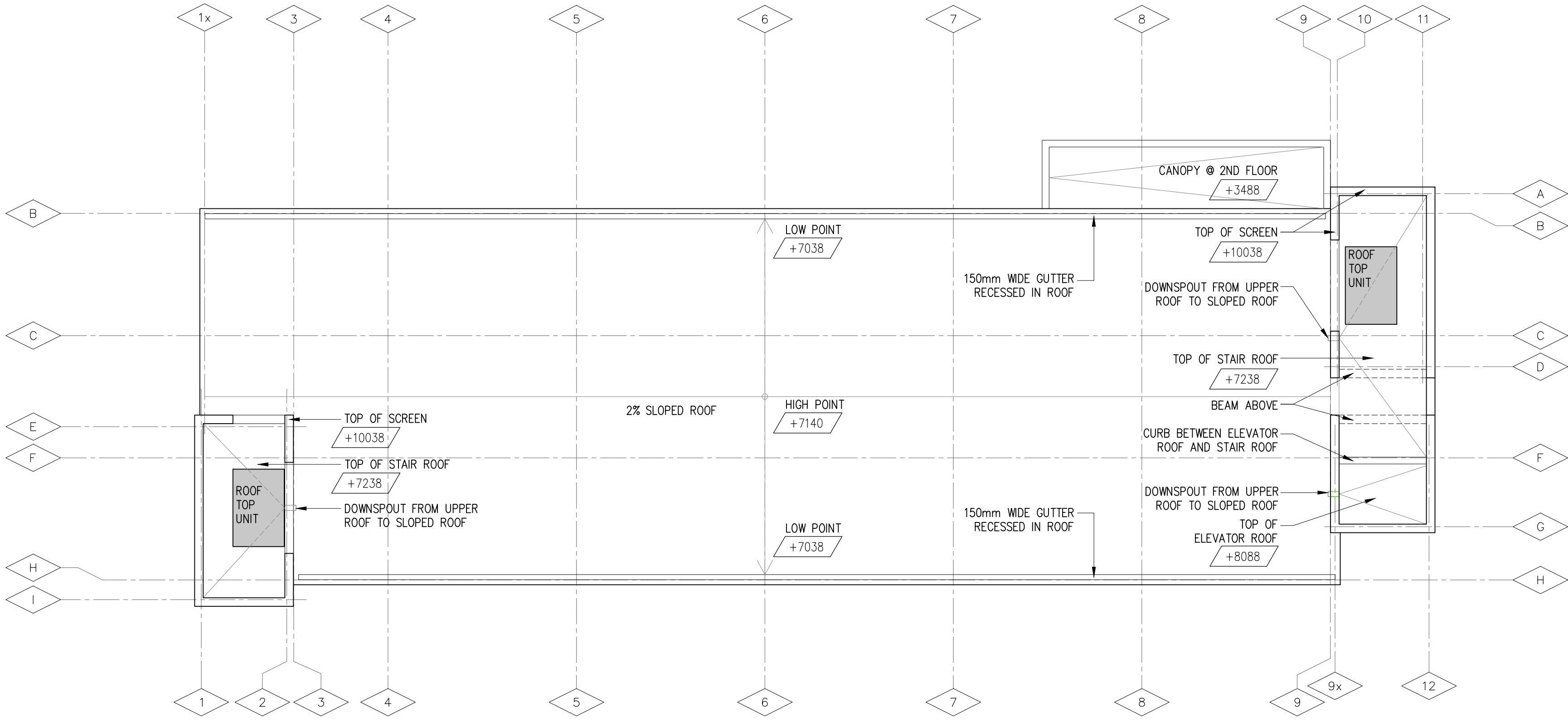
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WASHROOM AS PER CODE:	√
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NUMBER OF ELEVATOR:	1

NASM = NET ASSIGNABLE SQUARE METER



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9150 Glen Rd W Suite 1200 Toronto, Ontario Canada M6H 1Y6 T 416.561.4111 F 416.961.3376		
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FACILITIES MANAGEMENT & PLANNING UNIVERSITY OF TORONTO MISSISSAUGA 3559 MISSISSAUGA ROAD NORTH MISSISSAUGA, ONTARIO, L4L 1C6		
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DRAWING NUMBER:	A201	



Key Plan

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ITEM	DESCRIPTION	DATE
ISSUES/REVISIONS		



APPLICATION NUMBER: PAM 18-30 W8

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MISSISSAUGA CAMPUS
CITY OF MISSISSAUGA
REGIONAL MUNICIPALITY OF PEE
1785 INNER CIRCLE

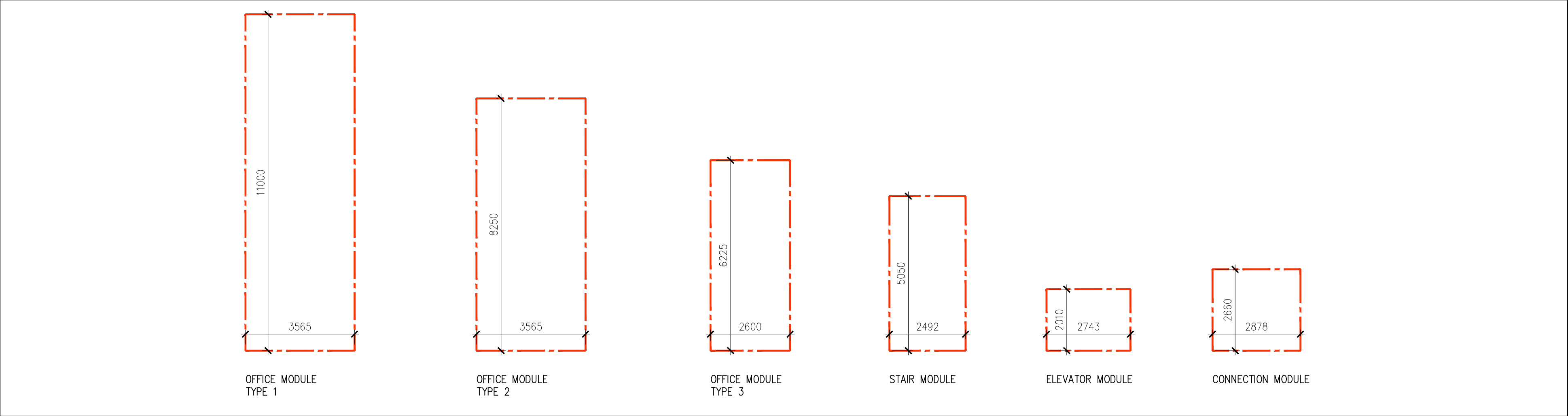
Drawn For Construction: _____ Date: _____
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3359 MISSISSAUGA ROAD NORTH
MISSISSAUGA, ONTARIO, L5L 1C6

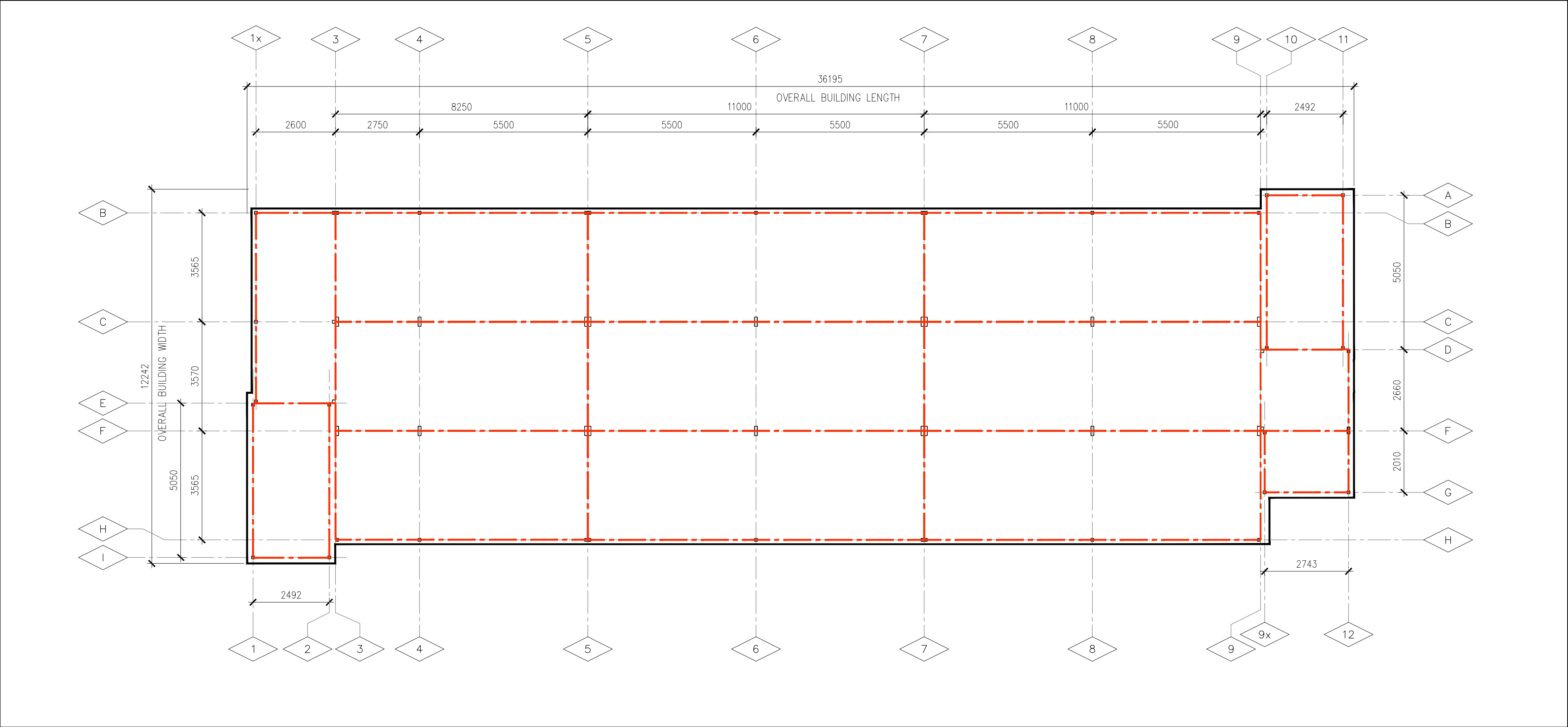
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MODULAR OFFICE
BUILDING

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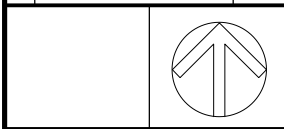
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1 STRUCTURAL MODULAR DIAGRAM
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C	PRE-APPLICATION MEETING REQUEST CLIENT REVIEW	2018/JUN/24
ITEM	DESCRIPTION	DATE
	ISSUES/REVISIONS	



APPLICATION NUMBER: PAM 18-30 WB

LEGAL DESCRIPTION:
PART OF UNIVERSITY OF TORONTO
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CITY OF MISSISSAUGA
REGIONAL MUNICIPALITY OF PEEL
1785 INNER CIRCLE

PROJECT ADDRESS: 1785 INNER CIRCLE

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3359 MISSISSAUGA ROAD NORTH
MISSISSAUGA, ONTARIO, L5L 1C6

PROJECT NAME:
UTM 2017-18-14
MODULAR OFFICE
BUILDING

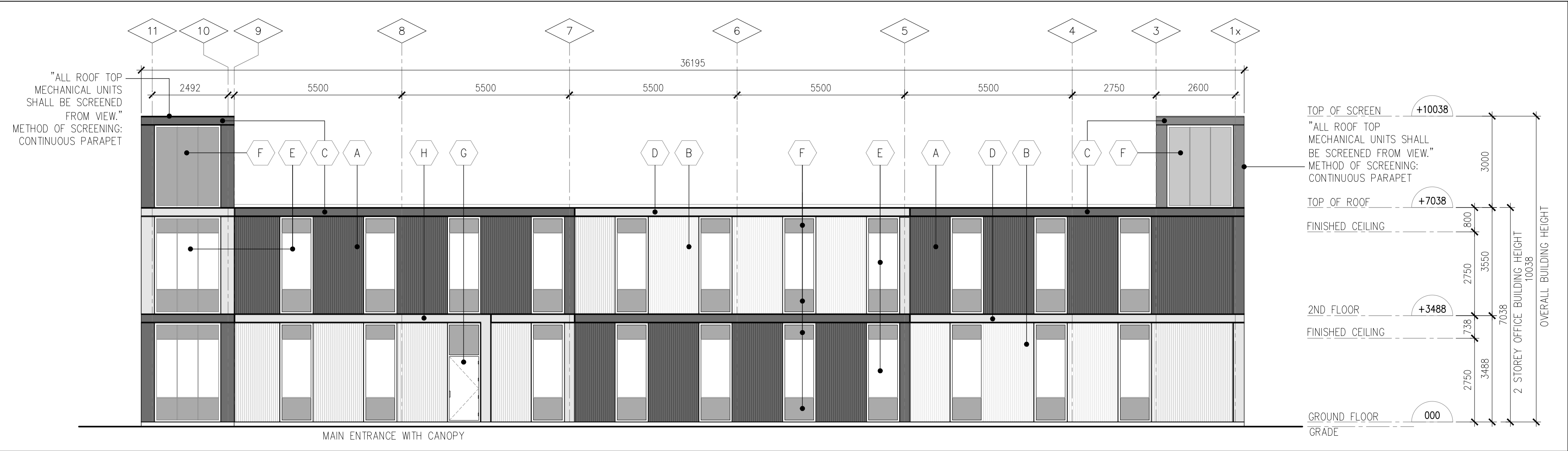
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| B | PREFORMED METAL CLADDING COLOR TYPE 'B' (WHITE COLOR) |
| C | 'C' CHANNEL COLOR TYPE 'A' (GRAY COLOR) |
| D | 'C' CHANNEL COLOR TYPE 'B' (WHITE COLOR) |
| E | VISION GLASS |
| F | SPANDREL GLASS |
| G | GLAZED ALUMINUM DOOR |
| H | CANOPY |

3 MATERIAL LEGEND

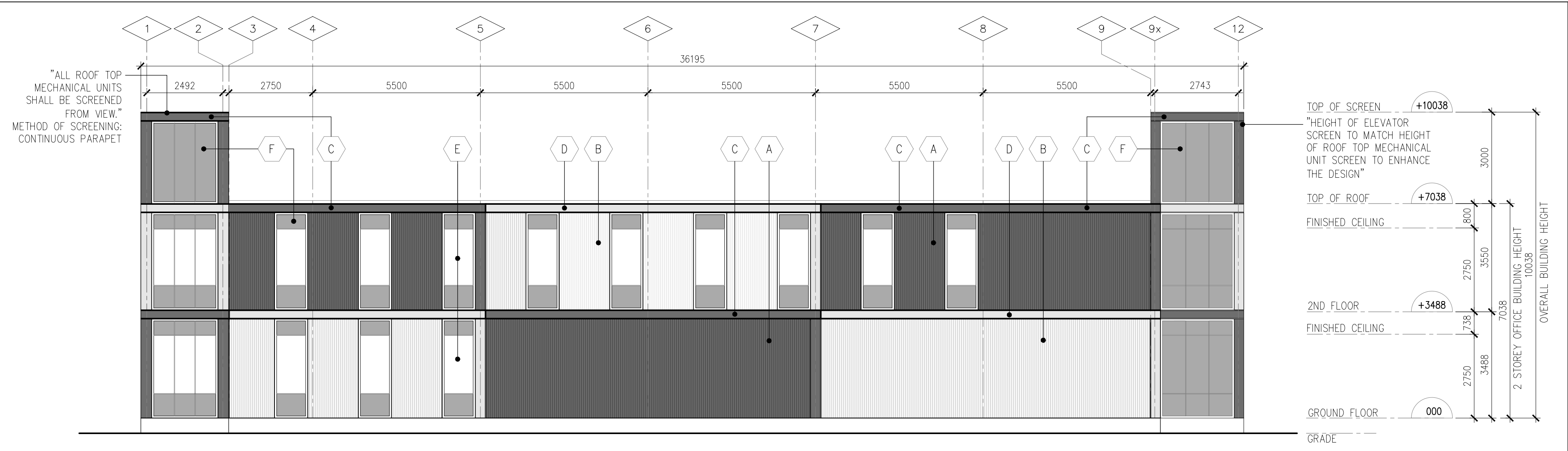
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A400

1:50



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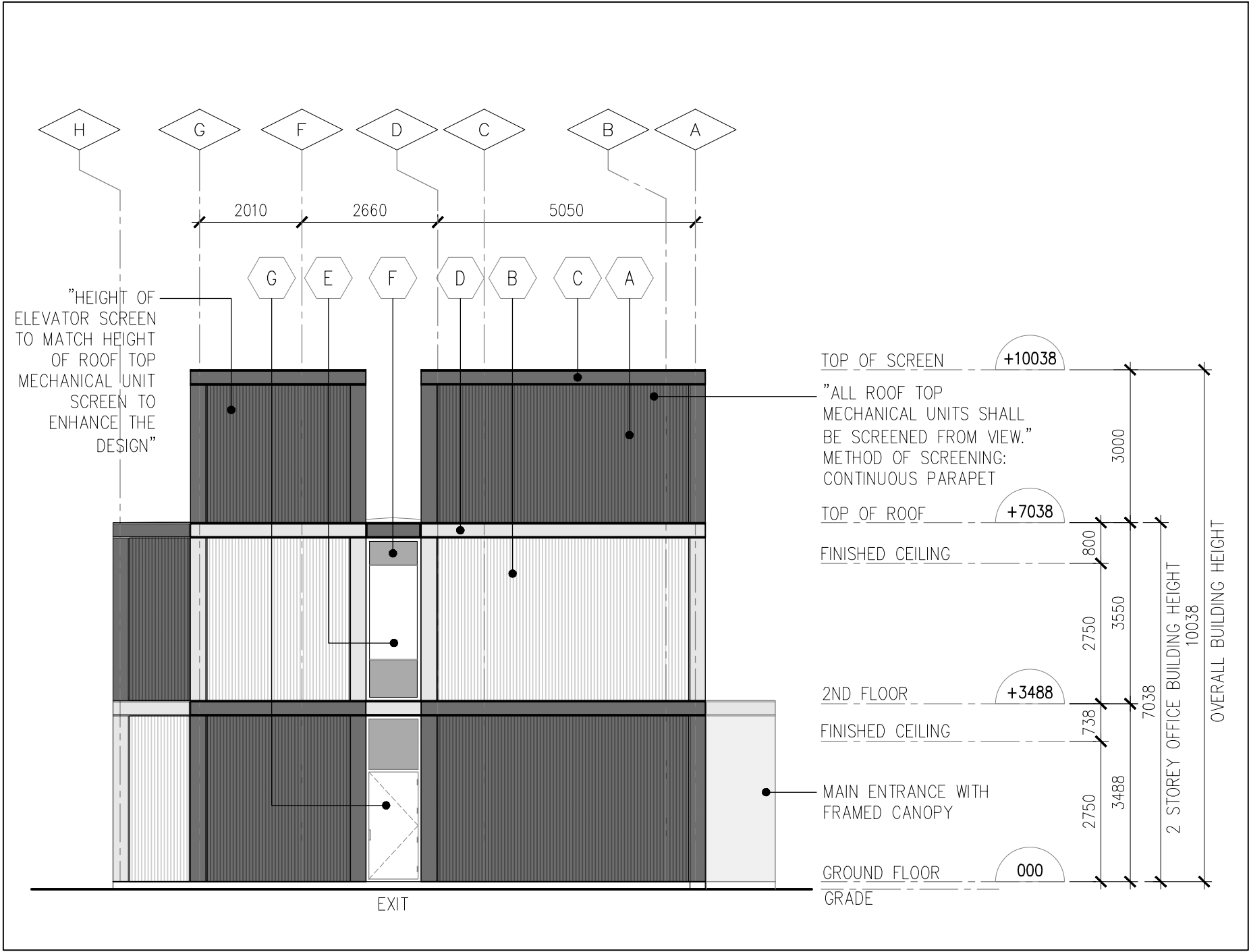
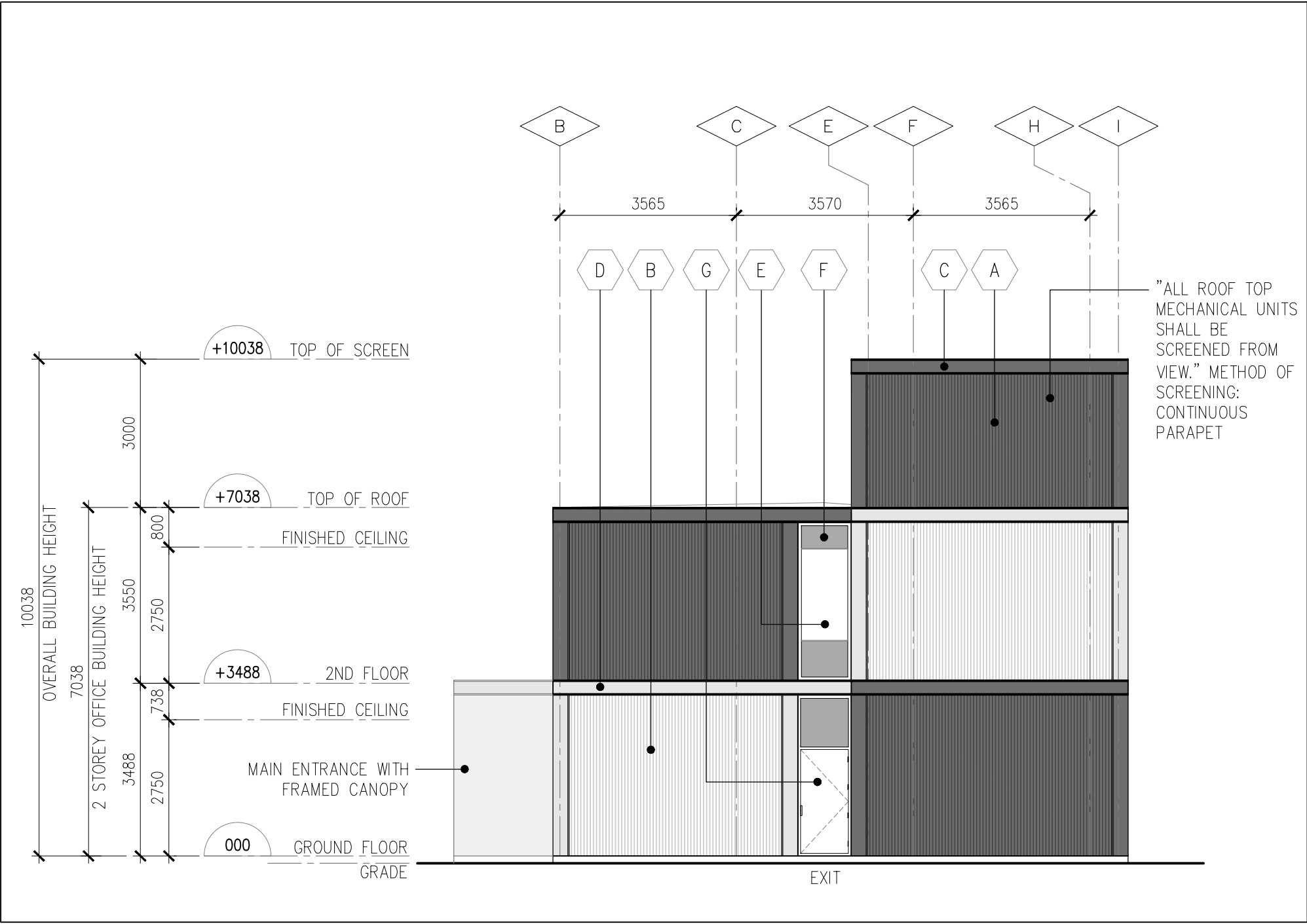
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Key Plan

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A	PREFORMED METAL CLADDING COLOR TYPE 'A' (GRAY COLOR)
B	PREFORMED METAL CLADDING COLOR TYPE 'B' (WHITE COLOR)
C	'C' CHANNEL COLOR TYPE 'A' (GRAY COLOR)
D	'C' CHANNEL COLOR TYPE 'B' (WHITE COLOR)
E	VISION GLASS
F	SPANDREL GLASS
G	GLAZED ALUMINUM DOOR
H	CANOPY

3 MATERIAL LEGEND

[illegible]



UNIVERSITY OF TORONTO MISSISSAUGA

Modular Building (Academic Annex)

Arborist Report



January 19, 2018 (*Updated March 13, 2018*)

SENT BY ELECTRONIC MAIL ONLY

Facilities Management & Planning
University of Toronto Mississauga
3359 Mississauga Road North
Mississauga, Ontario
L5L 1C6

Attention: Manju Thomas, Project Manager
Kris Horvath, Assistant Director – Grounds
Brandon Lawrence, Assistant Director – Facilities Management & Planning

235 Yorkland Blvd.
Suite 800
Toronto, Ontario
Canada
M2J 4Y8
Telephone
416.229.4646
Fax
416.229.4692

Arborist Report for Modular Building (Academic Annex)

Please find enclosed an Arborist Report that outlines the results of a tree inventory undertaken between December 18, 2017 and March 12, 2018 for the proposed Modular Building associated with the Academic Annex located at the University of Toronto Mississauga campus.

The results of the inventory will help to identify trees within the anticipated project footprint, and the potential constraints to help with the planning of this project.

Sincerely,

DILLON CONSULTING LIMITED

A handwritten signature in black ink, appearing to read "Jonathan Harris".

Jonathan Harris
ISA Certified Arborist/Project Manager
Certificate Number: ON-2069A

A handwritten signature in black ink, appearing to read "Jennifer Petruniak".

Jennifer Petruniak
Associate

JH:lld

Encl. Arborist Report

Our file: 17-6821

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1.0	Introduction	1
1.1	Site Description	1
1.2	Applicable Policy	1
2.0	Methods	3
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4.2	Tree Preservation.....	7
4.2.1	Maintenance and Pruning.....	7
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A	Detailed Tree Inventory Table	
B	Photo Appendix	
C	City of Mississauga Tree Protection Standard	

1.0

Introduction

Dillon Consulting Limited (Dillon) was retained by University of Toronto Mississauga (UTM) to prepare an Arborist Report for the proposed Modular Building (referred to hereafter as “the Project”) associated with the Academic Annex. This report is required in support of a City of Mississauga (the “City”) Application to Permit the Injury or Destruction of Trees on Private Property so that a Tree Removal Permit (the “Permit”) can be obtained, if necessary.

This Report included an inventory of woody vegetation within or directly adjacent to the Project footprint to confirm if any, specimen trees are present in the project footprint that would be protected under the City’s By-law 0254-2012, and would require a Permit to remove them.

1.1

Site Description

The Academic Annex is located at 1795 Inner Circle Road within the central portion of the UTM campus (see **Figure 1**). This project includes the construction of a new modular building located in-between Inner Circle Road and the Academic Annex.

1.2

Applicable Policy

In 2012, the City of Mississauga updated the Private Tree By-Law (0254-2012) which regulates the removal of trees with diameters of 15 cm or greater on private property. This By-Law states that a permit is required when more than 3 trees are required to be removed from a property within each calendar year. Therefore, trees with a diameter-at-breast-height 15 cm or greater within the proposed Project footprint and adjacent lands (i.e. 6 metres) were inventoried.

The information that was documented during the inventory included species, diameter-at-breast-height (DBH), health condition of the tree and general comments about the tree (e.g. structure, notable defects).



**UNIVERSITY OF TORONTO
MISSISSAUGA CAMPUS**
Academic Annex

MODULAR BUILDING
FIGURE 1: SITE LOCATION

— Academic Annex Study Area



MAP DRAWING INFORMATION:
DATA PROVIDED BY MNR

MAP CREATED BY: JWH
MAP CHECKED BY: JLP
MAP PROJECTION: NAD 1983 UTM Zone 17N



PROJECT: 14-9 532 STATUS: DRAFT DATE: 1/18/2018

2.0

Methods

On December 18, 2017, February 12, 2018 and March 12, 2018, an International Society of Arboriculture (ISA) - Certified Arborist (ON-2069A) conducted an inventory of trees with a diameter-at-breast-height equal or greater than 15 cm within the study area

The following information was collected during the inventory:

- Identification of species
- Measurement of diameter-at-breast-height (DBH) at 1.4 metres from the ground
- A Level 2 (basic) qualitative visual assessment to determine tree condition
- Marking coordinates using a handheld Global Positioning System (GPS) unit
- If determinable and/or applicable, providing recommendations regarding preservation, protection, or removal

The basic assessment that was completed for trees within the Project footprint is a detailed visual inspection of the tree, and surrounding area to obtain information that may have an influence of the growth of each tree. It includes a walk around the tree – looking at the site soil conditions, buttress roots, trunk, and branches. This basic assessment is the standard assessment that is performed by arborists, but only includes conditions that are detected from the ground using basic tools. The results from a basic assessment should not be relied on for internal, belowground, and/or upper-crown condition as these areas may be impossible to see or difficult to assess from ground-level.

The condition rating designated to each tree was based on the basic qualitative visual assessment. The hazard potential of the tree was assessed using the method outlined in the International Society of Arboriculture publication *A Photographic Guide to the Evaluation of Hazard Trees in Urban Area - 2nd Edition* (Mattheny and Clark, 1994). Using this guide, an overall condition rating (i.e. dead, poor, fair, good or excellent) was given to this tree. These condition ratings are useful when evaluating the retention and/or replacement value of individual trees.

A description of each condition rating is provided in **Table 1**.

Table 1: Tree Condition Rating Categories

Condition	Description
Dead	A specimen tree/stand is considered dead when it has no living tissue.
Hazard	The specimen tree could either be alive or dead but the tree in its part could pose an imminent hazard to people or property during normal weather conditions. These trees have the potential for splitting, breaking and/or falling over during inclement weather, and because of their proximity to various targets (i.e. people or property), could cause personal injury and/or severe damage to municipal infrastructure and/or private property.
Poor	Trees in poor condition show major symptoms of decline. At least 50% of main scaffold branches are dead, missing or in diseased state. The trunk shows evidence of advanced rot, deadwood or is hollow throughout. Twig development on the main branches or throughout the canopy is poor and may have limited sucker growth. Callus growth around wounds is minimal. A tree in poor condition could decline further to become a safety hazard. Removal prior to development should be considered if it is considered a hazard tree.
Fair	Trees in fair condition show moderate symptoms of decline in lower canopy or scaffold branches, but more than 50% of scaffold branches are present and viable. The trunk shows limited evidence of rot or insect damage. Good callus growth is present near wound areas. Trees that have scaffold branches that are healthy, but are in a "Y" formation, may also be included in this category, if "included-bark" is evident as the risk of splitting or breakage increases as the tree matures. Removal or preservation of these trees depends on the location of the specimen and associated target potential, and would depend on the species, and its tolerance to grading, trenching and surviving in an urban environment. Some major arboricultural maintenance may be required and may include major scaffold or secondary branch removal, bracing and/or cabling.
Good	Trees in good condition show no symptoms of decline in the trunk, and all scaffold branches are present and are in good condition. Most scaffold branches are at right angles to the trunk, and show good vigour. Small amounts of dead wood may be present in secondary branches, but account for less than 25% of the canopy. Depending on the grading in the immediate area, a tree in good condition would be recommended for preservation. Such a tree would typically survive to maturity without major arboricultural maintenance.
Excellent	Trees in excellent condition show no symptoms of decline in trunk, scaffold or secondary branches. Trees in this condition have an excellent growth habit and should typically survive to maturity without major arboricultural maintenance.

3.0

Results

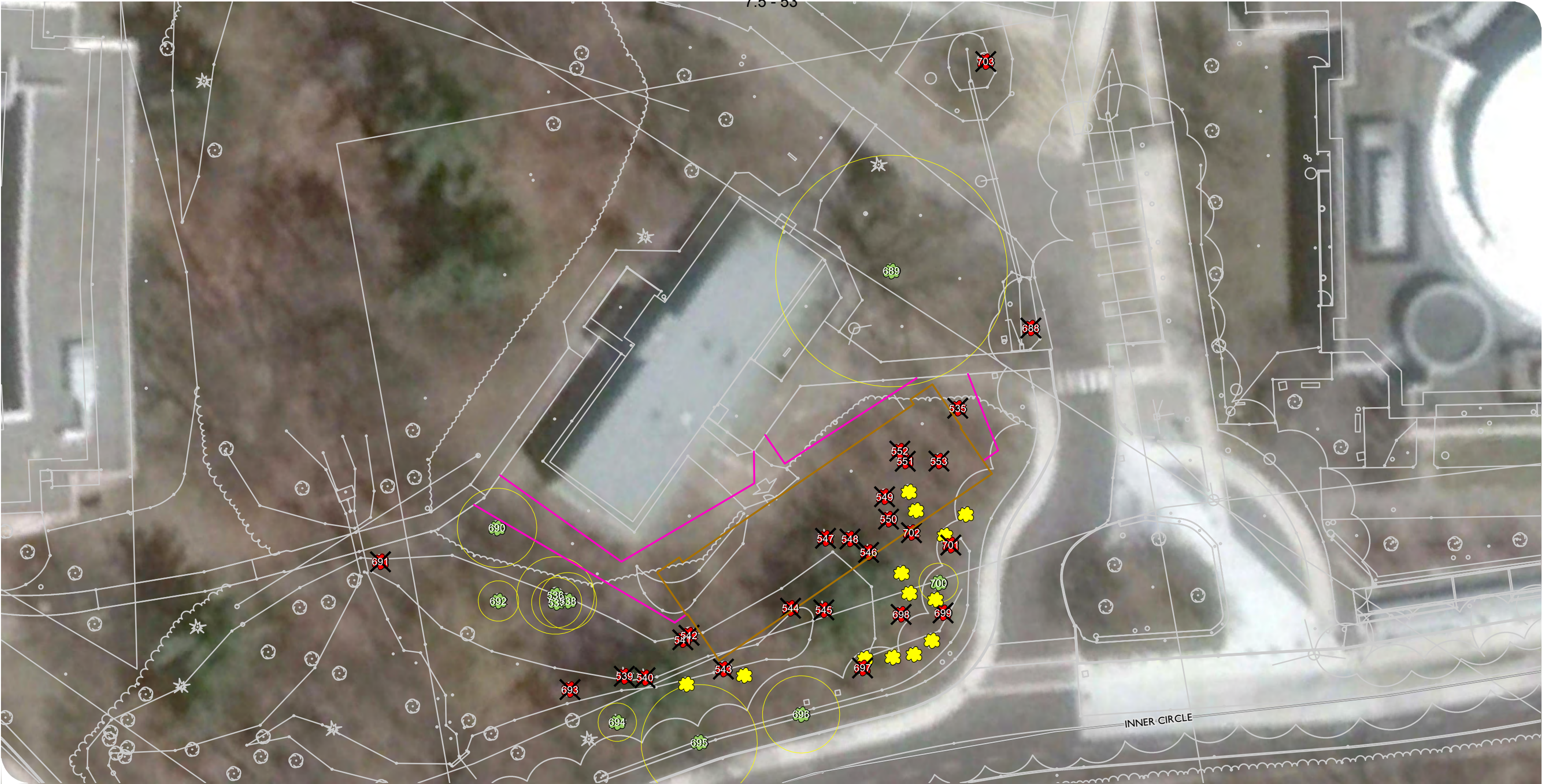
The tree inventory documented a total of thirty-two (32) individual trees with a DBH of 15 cm or greater that were within and/or adjacent to the Project footprint. Locations of the inventoried trees are provided on **Figure 2**. An additional seventeen (17) trees with a DBH of less than 15 cm were also documented and are included in the inventory results. Trees symbols shown on **Figure 2** that may be within or adjacent to the project footprint without an associated tag number were less than 10 cm DBH. One tree provided in the survey file was not observed and noted on **Figure 2** as having not been observed during the inventory.

Detailed tree inventory results, including species, DBH, condition and other relevant information recorded during the tree assessment is provided in **Appendix A**. Photos taken of the trees, where applicable, can be found in **Appendix B**.

Trees to be removed comprised primarily of native species such as Eastern White Pine (*Pinus strobus*), White Birch (*Betula papyrifera*) and non-native (in Mississauga) Manitoba Maple (*Acer negundo*) that are located directly within the Project footprint.

The conditions of trees to be retained are generally in good to fair overall health. Defects of trees in fair condition included poor growth form (e.g. co-dominant stems).

A Species at Risk tree, Butternut (*Juglans cinerea*), was identified within the Project footprint. This species is designated as *Endangered* under the provincial *Endangered Species Act*, 2007. Two specimens of Butternut (including one <15 cm DBH) documented within the Project footprint were observed to be in poor condition and afflicted with fungus, Butternut Canker (*Sirococcus clavigignenti-juglandacearum*). Appropriate data was collected so that a Butternut Health Assessment was undertaken and submitted to the Ministry of Natural Resources and Forestry (MNRF) on March 6, 2018 for review.



UNIVERSITY OF TORONTO
MISSISSAUGA CAMPUS
ACADEMIC ANNEX

MODULAR BUILDING
FIGURE 2: TREE INVENTORY RESULTS

Edge of Walkway
Outline of Proposed Office Building

Tree Less than 15 cm DBH
Tree >15 cm DBH to be Removed
Tree >15 cm DBH to be Preserved

Tree Protection Zone



MAP DRAWING INFORMATION:
DATA PROVIDED BY MNR

MAP CREATED BY: JWH
MAP CHECKED BY: JLP
MAP PROJECTION: NAD 1983 UTM Zone 17N



PROJECT: 14-9532 STATUS: DRAFT DATE: 3/13/2018



4.0

Recommendations

4.1

Tree Removal

From review of the initial Project footprint provided by UTM on December 21, 2017 and the final design footprint, grading plan and landscape plan provided by Fleisher Ridout Inc./WZMH Architects on March 9, 2018, it is anticipated that twenty-three (23) trees with a DBH of ≥ 15 cm will need to be removed in order to facilitate the construction of the modular building. Removal of the twenty-three trees with a DBH of 15 cm would require a permit from the City of Mississauga prior to removal depending on the condition.

4.2

Tree Preservation

Trees to be preserved adjacent to the Project footprint proposed will be subject to City tree protection guidelines. A total of eight (8) trees protected under By-law 0254-2012 (i.e. ≥ 15 cm DBH) are recommended to be preserved and would require tree protection due to their proximity (e.g. within 6 metres) to construction activities such as grading and erection of the new modular building.

Potential impacts to the eleven trees to be preserved are primarily associated with physical damage to roots or the trunk/scaffold branches by equipment. Compaction of the soil either by placement of project components or due to using heavy machinery within root zones can affect root systems during construction. Similarly, the placement or removal of fill material within a root zone can result in a depletion of oxygen within the soil that can affect the root system. In this regard, trees require a non-compacted soil medium for optimum oxygen uptake, and absorption of water and nutrients to occur. Soil compaction within the root zone can inhibit root growth and function, and these impacts have the potential to result in an eventual decline in the overall condition of a tree. In addition, accidental contact between construction equipment and trees can cause physical damage to the trunk and crown.

The following recommendations are provided with respect to the trees to be preserved during construction of the Modular Building:

4.2.1

Maintenance and Pruning

Prior to construction, overhanging limbs and any exposed tree roots of trees to be preserved, should be pruned in a manner that minimizes physical damage and promotes quick wound closure and regeneration. Maintenance of limbs should be carried out by a tree care specialist under the supervision of an ISA certified arborist.

4.2.2

Tree Protection Measures

Tree protection zones should be established for the five trees potentially impacted by construction (see **Appendix A**) by erecting protection fencing/hoarding installed according to the *City of Mississauga's Tree Protection Details and Notes* as outlined in **Appendix C**.

Tree protection fencing should be placed at a distance from the outside edge of the trunk base that is dependent upon the tree's diameter at breast height (**Appendix C**).

The fenced TPZ should be clear of building materials, waste, soil stockpiles and construction equipment. Subject to finalization of construction plans, within the tree protection zone there should be:

- No construction
- No altering of grade by adding fill, excavating, trenching, scraping, dumping or disturbance of any kind
- No storage of construction materials, equipment, soil, construction waste or debris
- No disposal of any liquids e.g. concrete slush, gas, oil, paint
- No movement of vehicles, equipment or pedestrians
- No parking of vehicles or machinery

In some instances, TPZs which extend into the temporary working space associated with construction may require minor adjustments to facilitate access for construction personnel and equipment. There will be no excavation (e.g. stripping or trenching) within the TPZ, and potential impacts to root zones from compaction are expected to be minor and localized.

4.2.3 Soil Compaction Mitigation

Equipment, vehicles, or materials should not be stored or driven in areas adjacent to preserved trees. A separate staging and parking area located away from the trees should be established to avoid compaction of the soil. It is recommended that open areas set back from trees to be preserved be used for construction staging, parking and equipment laydown. If this is not possible, areas adjacent to preserved trees (construction side of the fencing) should be cushioned with a heavyweight geotextile mat and a minimum of 10 cm of wood chips applied as mulch. In addition, no any foreign materials should be buried or deposited into the soil when landscaping the areas adjacent to preserved trees.

4.2.4 Post-Construction Tree Maintenance and Monitoring

Post-construction tree maintenance methods will be used to repair any damage caused to trees by construction. These may include, but are not limited to the following:

- Treating trunk and crown injuries (e.g., pruning, cabling, bracing, repairing wounds to damaged bark and trunks, etc.)
- Irrigation and drainage
- Mulching
- Aeration of the root zone beyond the TPZ that may have been compacted

Generally an assessment of preserved trees should be conducted within 12 months of the completion of construction. Trees that are dead, in poor health, or hazardous should be removed or pruned, as determined by the arborist. Post-construction maintenance and monitoring are to be carried out by a certified arborist skilled in the above listed methods. Tree removal, if necessary, should occur promptly to avoid foreseeable risk of trees falling and causing damage or harm to people and/or property.

5.0

Conclusion

UTM retained Dillon to complete a tree inventory so that an Arborist Report can be provided in support of an Application to Permit the Injury or Destruction of Trees on Private Property. This document is required for the removal of trees associated with the construction of a new Modular Building.

The inventory of trees was completed on December 18, 2017, February 12, 2018 and March 12, 2018, and a total of twenty trees with a DBH of 15 cm or greater were documented within and/or adjacent to the Project footprint and are required to be removed to accommodate construction.

Two Butternut trees were documented within the project footprint and a Butternut Health Assessment submitted to the MNRF for review under the MNRF's approvals process prior to removal.

As a condition of the permit process, each healthy tree to be removed is required by the City of Mississauga to be compensated with replacement trees. Replacement trees are required to meet the following ratios:

- a. For dead, dying, hazardous trees or trees in poor condition, no replacement is required.
- b. For each tree removed under 50 cm DBH, one replacement tree is required.
- c. For each tree removed over 50 cm DBH, two replacements are required.
- d. Replacement trees must meet the following size requirements:
 - i. be a minimum of 60 mm diameter for deciduous plantings
 - ii. be at least 1.8 metres in height for coniferous plantings

Based on a review of the final site plan, the Project would require the removal of the following trees:

- One dead tree and two trees (including one Butternut) in poor condition would not require replacement.
- Eighteen healthy trees with a DBH of under 50 cm but greater than 15 cm. These removals would require 18 replacement trees.
- Two healthy trees with a DBH of greater than 50 cm. These removals would require 4 replacement trees.
- One Butternut tree under 50 cm but greater than 15 cm was observed to be in poor condition and therefore would not require a replacement tree

References

- Farrar, John Laird. 1995. Trees in Canada. Eighth Impression 2003. Fitzhenry & Whiteside Limited, Markham, Ontario and the Canadian Forestry Service, Natural Resource Canada, Ottawa, in cooperation with Public Works and Government Services Canada.
- Mattheny, Nelda P. and James R. Clark. 1994. A Photographic Guide to the Evaluation of Hazard Trees in Urban Area - 2nd Edition. International Society of Arboriculture.
- Smiley, E.T; Matheny, N.; Lilly, S. 2012. Tree Risk Assessment: Levels of Assessment. ISA News, April 2012 Issue. pp. 12-20

Appendix A

Detailed Tree Inventory Table

Inventory Date	Tag ID	Scientific Name	Common Name	DBH (cm)	Condition	Level 2 Assessment Notes	Private Tree By-law Applies	Possible Permit Required	Recommendation	Recommended Tree Protection Zone Distance (m) ¹	Rationale for Removal or Preservation
Dec.18.2017	535	<i>Quercus rubra</i>	Red Oak	36	Good		Y	Y	Remove	0	Tree is located within construction footprint and required to be removed to facilitate the proposed building.
Dec.18.2017	536	<i>Betula papyrifera</i>	White Birch	34	Good		Y	N	Preserve and Protect	4	Tree located adjacent to construction footprint
Dec.18.2017	537	<i>Betula papyrifera</i>	White Birch	22	Good		Y	N	Preserve and Protect	3	Tree located adjacent to construction footprint
Dec.18.2017	538	<i>Betula papyrifera</i>	White Birch	25	Good		Y	N	Preserve and Protect	3	Tree located adjacent to construction footprint
Dec.18.2017	539	<i>Pinus strobus</i>	Eastern White Pine	40	Good		Y	Y	Remove	0	Tree is located within construction footprint and required to facilitate required grading.
Dec.18.2017	540	<i>Pinus strobus</i>	Eastern White Pine	52	Good		Y	Y	Remove	0	Tree is located within construction footprint and required to facilitate required grading.
Dec.18.2017	541	<i>Acer negundo</i>	Manitoba Maple	24	Fair		Y	Y	Remove	0	Tree is located within construction footprint and required to facilitate required grading.
Dec.18.2017	542	<i>Acer negundo</i>	Manitoba Maple	26	Fair		Y	Y	Remove	0	Tree is located within construction footprint and required to facilitate required grading.
Dec.18.2017	543	<i>Acer negundo</i>	Manitoba Maple	31	Fair		Y	Y	Remove	0	Tree is located within construction footprint and required to facilitate required grading.
Dec.18.2017	544	<i>Juglans cinerea</i>	Butternut	19	Poor	Grape in crown, sloughing bark, deadwood and rot observed throughout trunk. Abundant Butternut Canker - Butternut Health Assessment undertaken and determined to be Category 1 (non-retainable)	Y	Y	Remove	0	Tree is located within construction footprint and required to facilitate required grading.
Dec.18.2017	545	<i>Pinus strobus</i>	Eastern White Pine	42	Good		Y	Y	Remove	0	Tree is located within construction footprint and required to facilitate required grading.
Dec.18.2017	546	<i>Pinus strobus</i>	Eastern White Pine	41	Good		Y	Y	Remove	0	Tree is located within construction footprint and required to be removed to facilitate the proposed building.
Dec.18.2017	547	<i>Tsuga canadensis</i>	Eastern Hemlock	22	Fair	Co-dominant stems (14, 8); top of central leader is curved	Y	Y	Remove	0	Tree is located within construction footprint and required to be removed to facilitate the proposed building.
Dec.18.2017	548	<i>Acer negundo</i>	Manitoba Maple	12	Fair		N	N	Remove	0	Tree is located within construction footprint and required to be removed to facilitate the proposed building.
Dec.18.2017	549	<i>Juglans cinerea</i>	Butternut	10	Poor	Abundant Butternut Canker - Butternut Health Assessment undertaken and determined to be Category 1 (non-retainable)	N	N	Remove	0	Tree is located within construction footprint and required to be removed to facilitate the proposed building.
Dec.18.2017	550	<i>Prunus avium</i>	Sweet Cherry	65	Good	Multiple stems (13, 8, 8, 10, 12, 14)	Y	Y	Remove	0	Tree is located within construction footprint and required to be removed to facilitate the proposed building.
Dec.18.2017	551	<i>Acer negundo</i>	Manitoba Maple	20	Fair		Y	Y	Remove	0	Tree is located within construction footprint and required to be removed to facilitate the proposed building.

Inventory Date	Tag ID	Scientific Name	Common Name	DBH (cm)	Condition	Level 2 Assessment Notes	Private Tree By-law Applies	Possible Permit Required	Recommendation	Recommended Tree Protection Zone Distance (m) ¹	Rationale for Removal or Preservation
Dec.18.2017	552	<i>Acer negundo</i>	Manitoba Maple	19	Fair		Y	Y	Remove	0	Tree is located within construction footprint and required to be removed to facilitate the proposed building.
Dec.18.2017	553	<i>Acer saccharum</i>	Sugar Maple	29	Good		Y	Y	Remove	0	Tree is located within construction footprint and required to be removed to facilitate the proposed building.
Feb.12.2018	688	<i>Quercus rubra</i>	Red Oak	47	Fair		Y	Y	Remove	0	Tree is located within construction footprint and required to be removed to facilitate the proposed building.
Feb.12.2018	689	<i>Quercus rubra</i>	Red Oak	104	Fair		Y	N	Preserve and Protect	12	Tree located adjacent to construction footprint
Feb.12.2018	690	<i>Tilia americana</i>	American Basswood	57	Fair		Y	N	Preserve and Protect	7	Tree located adjacent to construction footprint
Feb.12.2018	691	<i>Acer negundo</i>	Manitoba Maple	19	Good		Y	N	Preserve and Protect	2	Tree located adjacent to construction footprint
Feb.12.2018	692	<i>Betula papyrifera</i>	White Birch	35	Fair		Y	N	Preserve and Protect	4	Tree located adjacent to construction footprint
Feb.12.2018	693	<i>Acer saccharum</i>	Sugar Maple	47	Dead		Y	N	Remove	0	Tree located adjacent to construction footprint though is dead and recommended to either be removed or limbs pruned off
Feb.12.2018	694	<i>Pinus strobus</i>	Eastern White Pine	13	Good		N	N	Preserve and Protect	2	Tree located adjacent to construction footprint
Feb.12.2018	695	<i>Quercus rubra</i>	Red Oak	53	Fair		Y	Y	Preserve and Protect	6	Tree is located within construction footprint and required to be removed to facilitate the proposed building.
Feb.12.2018	696	<i>Quercus rubra</i>	Red Oak	33	Fair		Y	Y	Preserve and Protect	4	Tree is located within construction footprint and required to be removed to facilitate the proposed building.
Feb.12.2018	697	<i>Acer negundo</i>	Manitoba Maple	19	Fair		Y	N	Remove	2	Tree is located within construction footprint and required to facilitate required grading.
Feb.12.2018	698	<i>Acer negundo</i>	Manitoba Maple	20	Fair		Y	N	Remove	2	Tree is located within construction footprint and required to facilitate required grading.
Feb.12.2018	699	<i>Acer negundo</i>	Manitoba Maple	21	Fair		Y	N	Remove	2	Tree is located within construction footprint and required to facilitate required grading.
Feb.12.2018	700	<i>Juglans nigra</i>	Black Walnut	22	Fair		Y	N	Preserve and Protect	3	Tree located adjacent to construction footprint
Feb.12.2018	701	<i>Juglans nigra</i>	Black Walnut	22	Fair		Y	Y	Remove	0	Tree is located within construction footprint and required to facilitate required grading.
Feb.12.2018	702	<i>Fraxinus americana</i>	White Ash	22	Poor		Y	Y	Remove	0	Tree is located within construction footprint and required to facilitate required grading.
March.12.2018	703	<i>Quercus rubra</i>	Red Oak	48	Good	Tree located on the edge of a low-lying area where run-off appears to be eroding the soil from around the base of the tree. Tree also tagged with a UTM Tree Caching Label UTM-01-09.	Y	Y	Remove	0	Culvert under road to be removed and the low-lying area graded/filled to address ponding water issues. Tree not expected to survive grading.

1 – Tree Protection Zone distance recommendation based on standard ISA calculation of 0.3 m of setback for every 2.54 cm of diameter

Appendix B

Photo Appendix



Tree #535 – Red Oak – Good Condition



Tree #539-546



Tree #544 – Butternut – Poor Condition



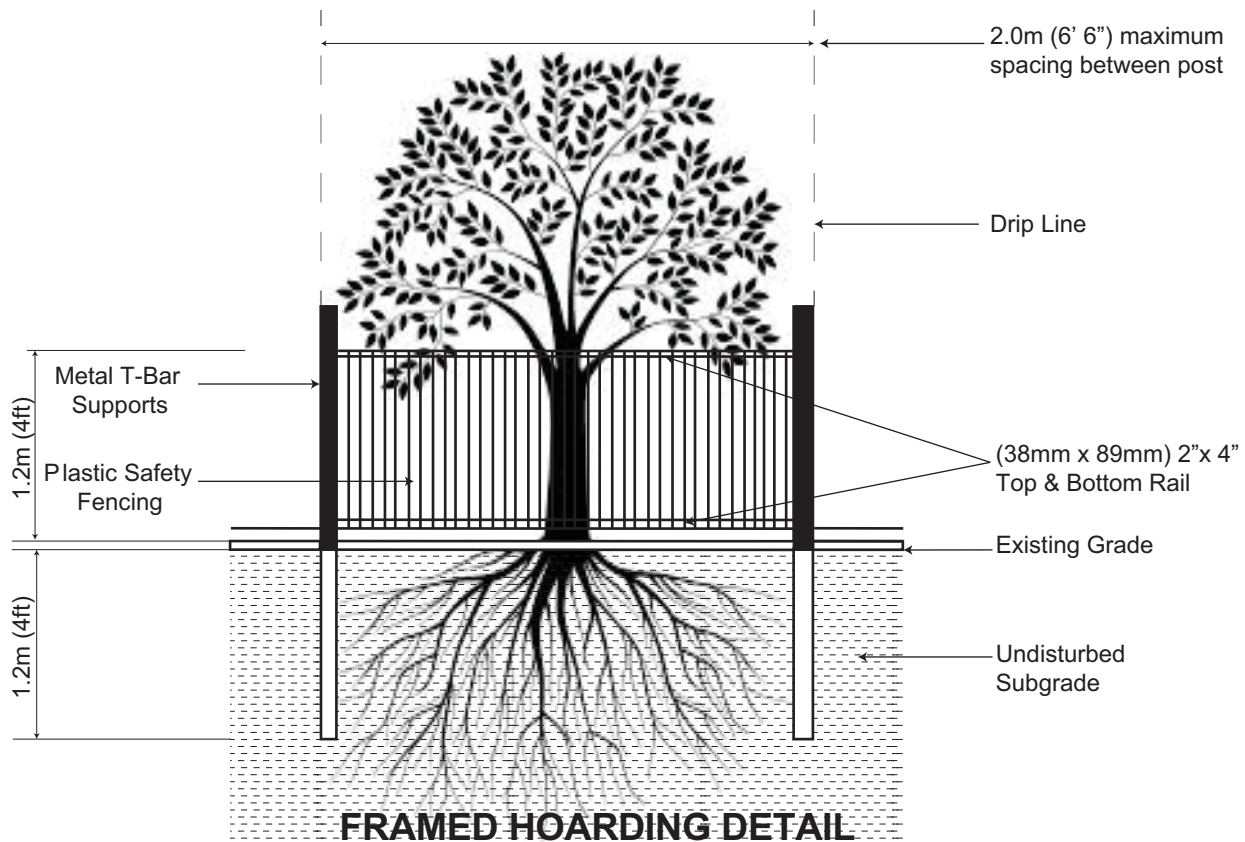
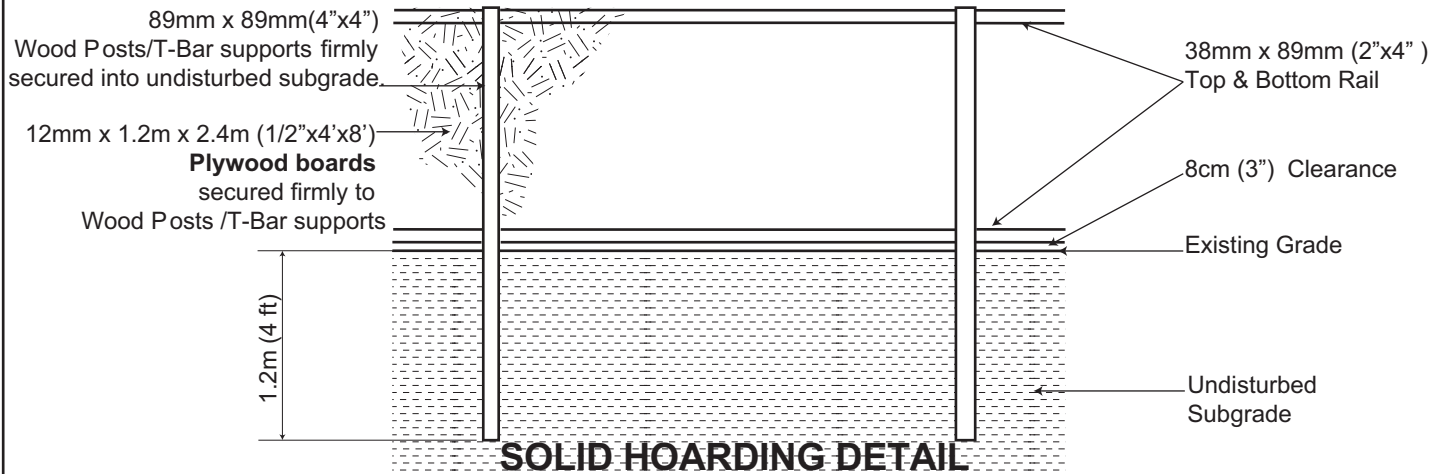
Tree #703 – Red Oak – Good Condition



Tree #703 – Red Oak – Tree Caching Tag

Appendix C

City of Mississauga Tree Protection Standard

**NOTES:**

1. Hoarding details to be determined following initial site inspection.
2. Private tree hoarding to be approved by Development & Design ;
City tree hoarding to be approved by Community Services Dept.
3. Hoarding must be supplied, installed and maintained by the applicant throughout all phases of construction.
Inspection must be conducted by the Development and Design Division prior to removing any/all private hoarding.
4. Do not allow water to collect and pond behind or within hoarding.
5. **T-bar supports are acceptable alternative to 4x4 posts. U-shaped metal supports will not be accepted.**
6. **Plywood** must be utilized for 'solid' hoarding. OSB/Chipboard will not be accepted for solid hoarding. Plywood sheets must be installed on "construction" side of frame.
7. Applicant is responsible to ensure utility locates are completed within city boulevard prior to installing framed hoarding.

TREE PRESERVATION HOARDING

City of Mississauga
Memorandum



Date: 2018/04/30
To: Chair and Members of Heritage Advisory Committee
From: Paul Damaso, Director, Culture Division
Meeting Date: 2018/05/08
Subject: Alterations to a Property adjacent to the Meadowvale Village Heritage
Conservation District: 6985 Second Line West (Ward 11)

This memorandum and its attachment are presented for HAC's information.

6985 Second Line West is adjacent to the Meadowvale Village Heritage Conservation District, which is designated under Part V of the Ontario Heritage Act. As per section 7.4.1.12 of the Mississauga Official Plan, "The proponent of any construction, development, or property alteration [...] which is proposed adjacent to a cultural heritage resource will be required to submit a Heritage Impact Assessment prepared to the satisfaction of the City and other appropriate authorities having jurisdiction." As such, the Heritage Impact Assessment (HIA) is attached for your reference.

Since the April 10, 2018 HAC meeting, the property owner's consultant met with members of the Meadowvale Village Heritage Conservation District Subcommittee and modified the designs. The new proposed facades are attached as Appendix 2. As per the mitigating measures suggested in the HIA, it is recommended that the front yard setback of the two houses differ, to provide more varied placement on their respective lots.

Attachments

Appendix 1: Heritage Impact Assessment

Appendix 2: Updated elevation drawings

Paul Damaso, Director, Culture Division

Prepared by: Paula Wubbenhorst, Heritage Planner

6985 SECOND LINE W, MISSISSAUGA

HERITAGE IMPACT ASSESSMENT REPORT



FEBRUARY 2018

ATA

ARCHITECTS INC.

211 LAKESHORE ROAD EAST
OAKVILLE ONTARIO L6J 1H7

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6985 SECOND LINE W - HERITAGE IMPACT ASSESSMENT REPORT

INTRODUCTION

ATA Architects Inc. was retained to undertake the Heritage Assessment Report of the property listed as 6985 Second Line W, Mississauga, ON.

ATA Architects Inc. undertook the following process in completing this assessment:

- ATA Architects Inc. visited the site and viewed in detail the existing building on the property. The existing context was documented and a study was undertaken to evaluate the heritage value of 6985 Second Line W.
- A review was undertaken of the historical, contextual and architectural value of the existing home, taking into account previous owners, surrounding neighbourhoods, and the current condition of the home.
- Research was completed through the use of multiple local organizations and resources, including the Peel Land Registry Office, the Peel Archives and online resources such as Ancestry.ca

ATA Architects Inc. has utilized the criterion for determining cultural heritage value as outlined in the Ontario Heritage Act.

ATA also took into regard the conservation guidelines and standards outlines in the following documents:

- Venice Charter 1964
- Appleton Charter 1983
- Burra Charter 1999
- ICOMOS Charter 2003
- Park Canada's Standards and Guidelines for the Conservation of Historic Places in Canada 2010
- Ministry of Tourism, Culture and Sport's Ontario Heritage Toolkit – Heritage Property Evaluation section
- Ministry of Tourism, Culture and Sport's Eight Guiding Principles in the Conservation of Built Heritage Properties 2007
- Applicable Conservation Authority Regulation Guidelines for the Region of Peel

ONTARIO HERITAGE ACT

ONTARIO REGULATION 12/09

CRITERIA FOR DETERMINING CULTURAL HERITAGE VALUE OR INTEREST

CRITERIA

1. (1) The criteria set out in subsection (2) are prescribed for the purposes of clause 29 (1) (a) of the Act.
- (2) A property may be designated under section 29 of the Act if it meets one or more of the following criteria for determining whether it is of cultural heritage value or interest:
 1. The property has design value or physical value because it,
 - i. is a rare, unique, representative or early example of a style, type, expression, material or construction method,
 - ii. displays a high degree of craftsmanship or artistic merit, or
 - iii. demonstrates a high degree of technical or scientific achievement.
 2. The property has historical value or associative value because it,
 - i. has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community,
 - ii. yields, or has the potential to yield, information that contributes to an understanding of a community or culture, or
 - iii. demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.
 3. The property has contextual value because it,
 - i. is important in defining, maintaining or supporting the character of an area,
 - ii. is physically, functionally, visually or historically linked to its surroundings,
 - iii. is a landmark.

TRANSITION

2. This Regulation does not apply in respect of a property if notice of intention to designate it was given under subsection 29 (1.1) of the Act on or before January 24, 2006.

NOTE: The designation of properties of heritage value by municipalities in Ontario is based on the above criteria evaluated in the context of that municipality's jurisdiction. Buildings need not be of provincial or national importance to be worthy of designation and preservation.

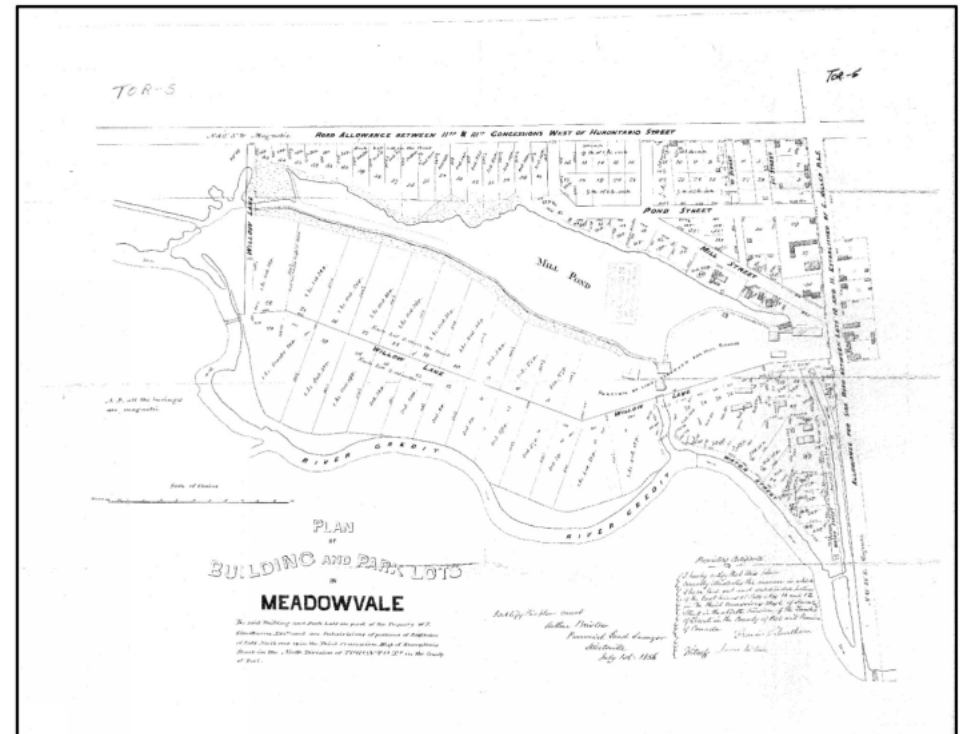
HISTORICAL BACKGROUND

Meadowvale Village is a small community located in the north end of the City of Mississauga. In the mid-to-late 1900's, the residents recognized the village's cultural heritage, forming a Residents' Association. They referred to the community as Meadowvale Village, distinguishing the old village from the new communities within its growing Meadowvale and Mississauga surroundings. In 1980, Meadowvale Village was approved as the first Heritage District of its type in Ontario under the City of Mississauga's municipal By-law 453-80. In 2003, the Conservation Principles and Design Guidelines for the Meadowvale Village Heritage Conservation District were adopted by the Mississauga City Council.

Today, the village's boundary includes the lots on either side of Old Derry Road, stretching from the Credit River East to Second Line West, Second Line West north to Derry Road West, and the entirety of the land north of Old Derry Road and west of Second Line West stretching to the East side of the Credit River. This boundary includes the original Meadowvale village as well as Old Ridge Park and the Meadowvale Conservation Area, neither of which were included in the original Heritage Conservation District Boundary.

In the 1970's, Old Ridge Park held agricultural buildings. Today it is a public park, sitting just south of Old Derry Road. The historical association of these lands with the agricultural significance of the area, as well as its remaining topographical features led it to become a designated area. The Meadowvale Conservation area, sitting to the east of the Credit River, is owned by Credit Valley Conservation, with the Credit Valley Conservation Area adjacent to the Credit River's west bank. Both the Old Ridge Park and the Meadowvale Conservation Area were incorporated into 2010 boundary map.

The landscape of the Meadowvale Village Heritage Conservation District shows evidence of the village's past. The village sits in the low river valley. Contextually, it's relationship with the Credit River has not changed since the village's founding in the early 1800's, when the early settlers depended on the river as a source of water and travel. The immediate area was farmed for wood products and mixed agrarian farming, with much of the land remaining open farm land today. The village is also a significant source of cultural heritage resources, including the extant mill ruins, mill race and tail race, remnant mill pond, etc.



Plan of Building and Park Lots in Meadowvale
Published by: Bristow Survey, 1856
Source: Heritage Conservation District Plan, 2014

6985 SECOND LINE W - HERITAGE IMPACT ASSESSMENT REPORT

LOCATION

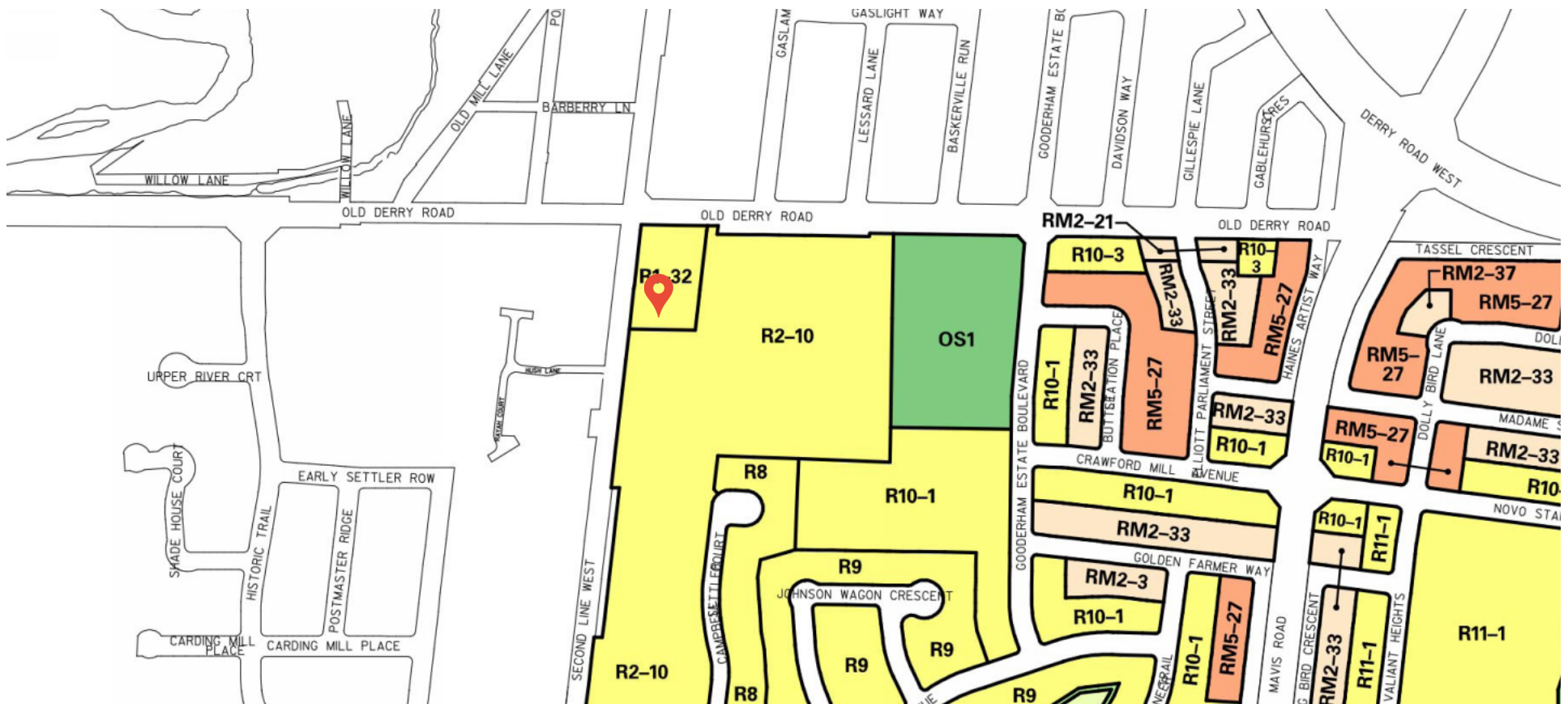
The property is situated near the Northeast corner of the intersection of Old Derry Road and Second Line West.



Key plan showing location of property
Source: Google Maps

ZONING

The property is currently zoned as Residential by the City of Mississauga Zoning By-law. This zoning permits all the uses indicated on the following chart.



Zoning map of 6985 Second Line W., Mississauga, Ontario

Source: City of Mississauga Zoning Index Map

http://www6.mississauga.ca/online/planbldg/Miscell-P&B/ZONING_OLD.swf

6985 SECOND LINE W - HERITAGE IMPACT ASSESSMENT REPORT

ZONING

**4.2 R1 to R5 ZONES
(DETACHED DWELLINGS - TYPICAL LOTS)**
4.2.1 R1 to R5 Permitted Uses and Zone Regulations

All **buildings** and **structures** shall comply with the provisions contained in Parts 1 to 3 and Section 4.1 of this By-law, and the **uses** and zone regulations specified within the applicable zone column contained in Table 4.2.1 - R1 to R5 Permitted Uses and Zone Regulations.

Table 4.2.1 - R1 to R5 Permitted Uses and Zone Regulations

Column	A	B	C	D	E	F
Line 1.0	ZONES	R1	R2	R3	R4	R5
PERMITTED USES						
2.0	RESIDENTIAL					
2.1	Detached Dwelling	✓ ⁽¹⁾	✓ ⁽¹⁾	✓ ⁽¹⁾	✓ ⁽¹⁾	✓ ⁽¹⁾
ZONE REGULATIONS						
3.0	MINIMUM LOT AREA					
3.1	Interior lot	750 m ²	695 m ²	550 m ²	365 m ²	295 m ²
3.2	Corner lot	835 m ²	810 m ²	720 m ²	500 m ²	415 m ²
4.0	MINIMUM LOT FRONTAGE					
4.1	Interior lot	22.5 m	18.0 m	15.0 m	12.0 m	9.75 m
4.2	Corner lot	22.5 m	21.0 m	19.5 m	16.5 m	13.5 m
5.0	MAXIMUM LOT COVERAGE	25%	30%	35%	40%	40%
6.0	MINIMUM FRONT YARD					
6.1	Interior lot	9.0 m ⁽²⁾⁽⁷⁾	9.0 m ⁽²⁾	7.5 m ⁽²⁾	6.0 m ⁽²⁾	4.5 m ⁽²⁾
6.2	Corner lot	7.5 m ⁽²⁾	7.5 m ⁽²⁾	6.0 m ⁽²⁾	6.0 m ⁽²⁾	4.5 m ⁽²⁾
6.3	Front garage face - interior lot (0379-2009)	(8)	(8)	(8)	(8)	6.0 m
6.4	Front garage face - corner lot (0379-2009)	(8)	(8)	(8)	(8)	6.0 m

Column	A	B	C	D	E	F
Line 1.0	ZONES	R1	R2	R3	R4	R5
7.0	MINIMUM EXTERIOR SIDE YARD	7.5 m ⁽²⁾	7.5 m ⁽²⁾	6.0 m ⁽²⁾	4.5 m ⁽²⁾	4.5 m ⁽²⁾
7.1	Front garage face (0379-2009)	(9)	(9)	(9)	6.0 m ⁽²⁾	6.0 m ⁽²⁾
8.0	MINIMUM INTERIOR SIDE YARD					
8.1	Interior lot	1.8 m on one side of the lot and 4.2 m on the other side ⁽²⁾	1.8 m + 0.61 m for each additional storey or portion thereof above one (1) storey ⁽²⁾	1.2 m + 0.61 m for each additional storey or portion thereof above one (1) storey ⁽²⁾	1.2 m ⁽²⁾	1.2 m on one side of the lot and 0.61 m on the other side ⁽²⁾
8.2	Corner lot	3.0 m ⁽²⁾	3.0 m ⁽²⁾	1.2 m + 0.61 m for each additional storey above one (1) storey ⁽²⁾	1.2 m ⁽²⁾	1.2 m ⁽²⁾
9.0	MINIMUM REAR YARD					
9.1	Interior lot	7.5 m ⁽²⁾	7.5 m ⁽²⁾	7.5 m ⁽²⁾	7.5 m ⁽²⁾	7.5 m ⁽²⁾
9.2	Corner lot	3.0 m ⁽²⁾	3.0 m ⁽²⁾	3.0 m ⁽²⁾	7.5 m ⁽²⁾	7.5 m ⁽²⁾
10.0	MAXIMUM HEIGHT	10.7 m	10.7 m	10.7 m	10.7 m	10.7 m
11.0	ENCROACHMENTS, PROJECTIONS AND SETBACKS					
11.1	Maximum projection of a garage beyond either the main front entrance or beyond the main entry feature where provided	n/a	n/a	n/a	n/a	2.5 m
11.2	Where a main entry feature has been provided, the maximum projection of a garage beyond a main front entrance	n/a	n/a	n/a	n/a	5.0 m

ZONING

Column	A	B	C	D	E	F
Line 1.0	ZONES	R1	R2	R3	R4	R5
12.0	ATTACHED GARAGE, PARKING AND DRIVEWAY					
12.1	Attached garage	Permitted ⁽³⁾	Permitted ⁽³⁾	Permitted ⁽³⁾	Permitted ⁽³⁾	Required ⁽³⁾
12.2	Minimum parking spaces	✓ ^{(4) (5)}	✓ ^{(4) (5)}	✓ ^{(4) (5)}	✓ ^{(4) (5)}	✓ ^{(4) (5)}
12.3	Maximum driveway width (0190-2014)	Width of garage door opening(s) plus 2.0 m up to a maximum of 8.5 m; if no garage door then maximum width of 6.0 m	Width of garage door opening(s) plus 2.0 m up to a maximum of 6.0 m; if no garage door then maximum width of 6.0 m	Width of garage door opening(s) plus 2.0 m up to a maximum of 6.0 m; if no garage door then maximum width of 6.0 m	Width of garage door opening(s) plus 2.0 m up to a maximum of 6.0 m; if no garage door then maximum width of 6.0 m	Width of garage door opening(s) plus 2.0 m up to a maximum of 6.0 m; if no garage door then maximum width of 6.0 m
12.4	Minimum landscaped soft area in the yard containing the driveway (0190-2014)	40% of the front yard and/or exterior side yard	40% of the front yard and/or exterior side yard	40% of the front yard and/or exterior side yard	40% of the front yard and/or exterior side yard	30% of the front yard and/or exterior side yard
13.0	ACCESSORY BUILDINGS AND STRUCTURES	✓ ⁽⁶⁾	✓ ⁽⁶⁾	✓ ⁽⁶⁾	✓ ⁽⁶⁾	✓ ⁽⁶⁾

- NOTES:
- (1) See also Subsections 4.1.1, 4.1.16 and 4.1.17 of this By-law.
 - (2) See also Subsections 4.1.7 and 4.1.8 of this By-law.
 - (3) See Subsection 4.1.12 of this By-law.
 - (4) See Subsection 4.1.9 of this By-law.
 - (5) See Part 3 of this By-law.
 - (6) See Subsection 4.1.2 of this By-law.
 - (7) Where a lot abuts a lot with an existing front yard of 12.0 m or more, the minimum front yard shall be 12.0 m.
 - (8) The setback to the front garage face shall be the same as the front yard. (0379-2009)
 - (9) The setback to the front garage face shall be the same as the exterior side yard. (0379-2009)

4.2.2.32	Exception: R1-32	Map # 44W, 45E, 52W, 53E	By-law: 0308-2011, 0192-2014
In a R1-32 zone the permitted uses and applicable regulations shall be as specified for a R1 zone except that the following uses/regulations shall apply:			
Regulations			
4.2.2.32.1	The regulations of Sentence 3.1.1.7.1 of this By-law shall not apply		
4.2.2.32.2	Minimum lot area		1 050 m ²
4.2.2.32.3	Minimum combined width of side yards:		
	(1) one storey detached dwelling		20% of the lot frontage
	(2) two storey detached dwelling		27% of the lot frontage
4.2.2.32.4	A flat roof shall not be permitted		
4.2.2.32.5	Maximum height - highest ridge: sloped roof		7.5 m
4.2.2.32.6	Maximum gross floor area - infill residential		160 m ² plus 0.10 times the lot area
4.2.2.32.7	An attached garage shall not be permitted		
4.2.2.32.8	Maximum floor area of a detached garage		50 m ²
4.2.2.32.9	Maximum projection of the front garage face of a detached garage beyond any portion of the first floor front wall or exterior side wall		0.0 m
4.2.2.32.10	Maximum driveway width		3.0 m

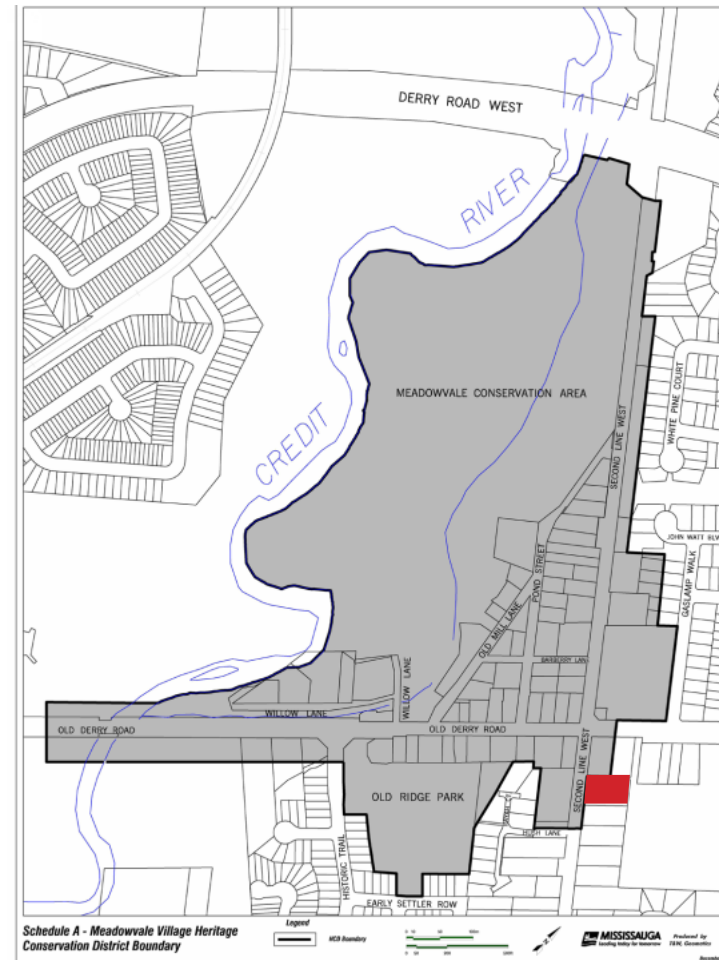
MEADOWVALE VILLAGE HERITAGE CONSERVATION DISTRICT PLAN

MEADOWVALE VILLAGE HERITAGE CONSERVATION DISTRICT PLAN, 2014

PART 2: HERITAGE CONSERVATION CONTEXT

2.3 HERITAGE ATTRIBUTES

- a) significant location, adjacent to the Credit River, in a cultural heritage landscape of integrated natural and cultural heritage elements within the river's low floodplain to the gentle sloping ridge;
- b) an ecological feature and tradition of a floodplain meadow on the Credit River that as existed for hundreds of years;
- c) a land pattern that retains the layout and plan of generous lots and pedestrian oriented narrow roadways of the 1856 Bristow Survey, spatial organization of narrow streets with soft vegetation and no shoulders, large diameter trees and a visual relationship which blends from public to private space among front and side yards void of privacy fencing;
- d) long term tradition of rural village-like streetscapes without curbs, with no formalized parking, sidewalks (except on Old Derry Road), modest signage and limited modest lighting;
- e) **a consistency of building types, modest in architectural detail, vernacular style and size, reflecting the nineteenth century development of a milling village;**
- f) **later twentieth century residential styles that are compatible with the district character from a scale, materiality and massing perspective;**
- g) **a common use of stacked plank construction with exterior stucco finish or wood siding, one-and-a-half storeys and limited use of brick;**
- h) **structures of compatible size, shape, form and style, many of which are modest historical residences, contribute to the overall character of the Village;**
- i) visual identity of rural character roadway entry points to the Village from the west on Old Derry Road and from the north along Second Line West, and the open green space of Old Ridge Park to the south;
- j) individual properties of particular character and significance are identified in The Meadowvale Village Heritage Conservation District Plan, 2014: Property Inventory; and,
- k) archaeological resources, including, but not limited to, the extant mill ruins, mill race and tail race at Willow Lane and Old Derry Road and remnant mill pond.



Meadowvale Heritage Conservation District Boundary Map, showing 6985 Second Line W
Source: City of Mississauga, Dec 2012

MEADOWVALE VILLAGE HERITAGE CONSERVATION DISTRICT PLAN

PART 3: POLICIES

The conservation of the cultural heritage values and character in a Heritage Conservation District (HCD) can be achieved only by carefully managing appropriate change at the individual property level as well as on the larger community scale. The policies contained within are intended to guide and manage change in the district. Specifically, the following articulates the manner by which proposed alterations and additions will be considered and accommodated on a variety of properties while ensuring that the character and conservation values of the district are maintained over time.

The policies contained have been developed to satisfy the direction provided by the Ontario Heritage Act (OHA), as well as The Ontario Planning Act, the Provincial Policy Statement 2014 (PPS), and The City of Mississauga's Official Plan. It also considers the Standards and Guidelines for the Conservation of Historic Places in Canada and the Ontario Heritage Toolkit: Heritage Conservation Districts (Toolkit).

3.1 GENERAL POLICY STATEMENTS:

Policy 1: Council will provide cultural heritage recognition and protection of Meadowvale Village through the implementation of the Heritage Conservation District Plan (HCD Plan).

Policy 2: Council will adopt the boundary demarcating the HCD Plan as illustrated and defined in Schedule A. (See District Boundary on Page 3)

Policy 3: Council will employ one or more of, but not limited to, the planning tools listed in (a) through (h) to implement the HCD Plan:

- a) Official Plan
- b) Zoning By-Laws
- c) Ontario Heritage Act
- d) Heritage By-law
- e) Enforcement of the City's Private Tree Protection By-law
- f) Enforcement of the City's Property Standards By-law
- g) Heritage Grants & Incentive programs
- h) Endangered Species Act/Species at Risk Act

Policy 4: Council will apply all policies and guidelines contained within the HCD Plan to private and public properties and the HCD Plan will be read and interpreted in its entirety, including Schedules contained within.

Policy 5: Council will adopt the following objectives of the HCD Plan to guide the conservation

and change within the district.

a) maintain and enhance the distinct heritage character of the HCD with emphasis on the following characteristics:

- i. Narrow rural-like roads;
- ii. Any addition of new sidewalks may be installed where required to meet accessibility needs, as appropriate;
- iii. Minimal street signage;**
- iv. Varied set-back of built form;**
- v. Varied lot size reflecting the retention of the established mid nineteenth century lotting pattern;**
- vi. Small buildings** of a modest scale and design on large lots;
- vii. Retention of all heritage attributes within the HCD and those listed for each individual property;
- viii. Varied, open relationship from one property to another;
- ix. Transparent, or open views, while retaining large diameter trees, from the streetscape to buildings;**
- x. Retention of the original topography;
- xi. Mill remnants (foundations, earthworks, former water-ways);
- xii. Modest residential landscaping of a rural character.

b) preserve buildings of historic association and building features, and ensure new designs contribute to the HCD's heritage character;

c) ensure changes enhance the HCD character;

d) encourage ongoing maintenance and protection of properties; and

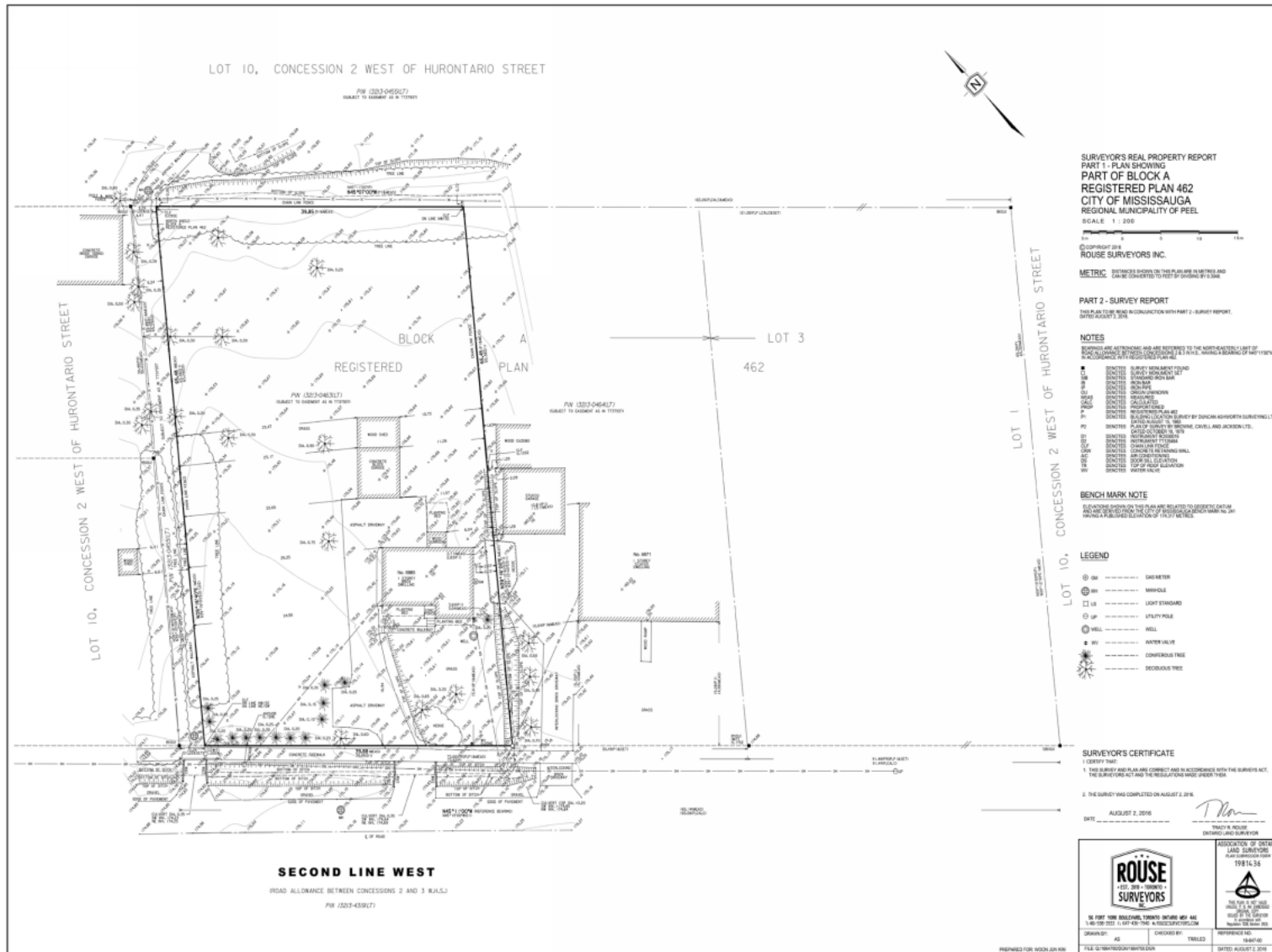
e) involve area residents, property owners, and interested individuals in the ongoing evolution of the HCD .

Policy 6: Further to Policy 2, Council will consider Part IV property designation in accordance to the Ontario Heritage Act where such properties are considered to uniquely contribute and reinforce the HCD's overall cultural heritage value.

3.4 ADJACENT PROPERTY TO THE HCD

Policy 19: Council will consider the impact of proposed changes to properties adjacent the HCD boundary and will ensure appropriate mitigative measures are in place to minimize adverse impacts to the HCD heritage character.

EXISTING SURVEY DRAWINGS



Existing Survey Drawing
Source: Provided by Michelle Charkow, Planner with the Goldberg Group

HISTORICAL SIGNIFICANCE

ATA has been able to establish a list of individuals/families who have owned the property. The following list shows the early owners to the most recent:

- ____ to 1953 - William Wilmott Varey
- 1953 to 1970 - John A. Gilbert and Violet Gilbert
- 1970 to 1979 - William A. Strachan and Judith Strachan
- 1979 to 1980 - Samuel A. Handley
- 1980 to 2014 - Arthur George Handley and Irene Handley
- 2014 to 2016 - Khalid Abu Zaed
- 2016 to Present - Current Owner

The Meadowvale Village Heritage Conservation District sits adjacent to the Credit River, with the majority of the structures being original members of the Village constructed in the mid 1800's. Prior to the Village being designated, and the growth of Mississauga in the 1960's, the land surrounding the Village was predominantly used for agriculture. This can be seen in the 1954 map to the right, showing the site in question as a field. Being out of the Heritage Conservation District, the property sits adjacent to the Village, and directly across from what was, at that time, the Meadowvale Schoolhouse and Town Hall.

The earliest ownership records that could be found for 6985 Second Line West were for William Wilmott Varey, who sold the property in 1953. There are records of a William Varey acting as Secretary of the Lakeshore Swimming Club, where his son Orville competed in 1938.

The house sitting at 6985 Second Line W. has a relatively short history. From the research completed thus far, it can be assumed that the house was built in 1968. The Land Registry information for the site clearly shows a mortgage of \$18,500 being put on the property in 1968, and from the aerial views to the right, it can be seen that by 1969 a house is visibly on the site. Due to the lack of development on the property visible in 1954, it can be assumed that Mr. Varey either owned a neighbouring farm or simply owned the land with the intent to develop.

William Wilmott Varey sold the property to John A. Gilbert and Violet Gilbert in 1953. Due to the fact that the house was not built when the property was initially purchased by the Gilbert's, the couple would have either had a temporary structure on the site, or lived elsewhere until the construction of the house in 1968. The couple are listed in the 1957 voting registry for Meadowvale showing that they remained in the area either way. There are multiple newspaper



HISTORICAL SIGNIFICANCE

clippings from the period mentioning John A. Gilbert's involvement in the local hockey league. It can also be assumed that due to the length of time the couple owned the property, and lived in the area, that they were involved in the community, and that their children attended the local schools.

In 1970, the Gilbert's sold the property to William and Judith Strachan as joint tenants of the newly constructed house. In 1969, the Meadowvale Village Community Association founded the Meadowvale Fair. William, also referred to as Bill, acted as the Games Chairman, overseeing the tug-of-war, races and other contests. The fair was held in the local Meadowvale Conservation Area, now known as the Credit Valley Conservation Park. The tradition of the fair continues today, working with Meadowvale Public School each year.

The Strachan's lived in the home until 1979, when they sold it to Samuel A. Handley. Samuel was a local farmer, having been featured in the paper the previous year for selling his farm on Eglinton Avenue at the age of 92. Samuel Handley had lived on the farm for over 35 years, leasing the land out to the Chow family who grew cauliflower, cabbage, onion, beets and radishes for local sale. With the money from the sale, he stated that his plan was to, "get myself a nice house and pick me up a woman."

Unfortunately, Samuel Handley only lived in the home on Second Line West for one year prior to his passing on February 18, 1980. His estate was passed on to his son Arthur(Art) George Handley and Arthur's wife Irene. Arthur is listed on the local registry of WWII Veterans. His family owned and lived in the home for 34 years, raising their children who likely attended the local schools to the east of their property. Arthur passed away at the age of 92, on January 26, 2017.

In 2013, a year before the Handley family sold the house, Art's son Sam opposed the City of Mississauga's proposed designation of the house at 6985 Second Line West. The home remains undesignated today, however the proximity of the property to the Village remains pertinent in the planning of the development of the property.

In 2014, Khalid Abu Zaed purchased the property, owning it for under two years prior to selling it to the current owner. During his time as the owner of 6985 Second Line West, Khalid applied to the City for a minor variance in order to construct a new dwelling, three car garage and cabana on the property. The application was approved by heritage and the Committee of Adjustment granted the request. Based on review of the site, and the transfer of ownership, it does not appear that any of these changes were made.

Based on the known ownership of the property, and the estimated age of the building on the site, although the property is visually connected to the Meadowvale Village, the house is not historically significant. The approval of Khalid Abu Zaed's application for minor variance would appear to indicate that the City of Mississauga was previously open to major change to the existing property.

ARCHITECTURAL SIGNIFICANCE

6985 Second Line W, Mississauga is a red brick bungalow typical of housing in the late 1960's throughout Mississauga. It is estimated to have been constructed in 1968. The house features a cottage roof with an overhang, creating a cover for the central entrance and extending out over the protruding southern half of the front facade. This separation of the two halves of the front facade is reflected by the differing window sizes; however, the facade's symmetry is still clearly visible. The exterior is not architecturally significant.

From interior photos of the unfinished basement, a typical block foundation can be seen. The main floor interior seems to have remained relatively unchanged since its initial construction, with one-over-one single hung windows and what appear to be oak doors. There are some deteriorating areas of the ceiling, likely caused by water infiltration. The wood floors are not original; however, it and the tile in the bathroom have begun to deteriorate. The kitchen appears to have the original cabinetry. Although mainly unaltered over time, the interior design is not significant. A small enclosed porch has been added to the back of the house; however, it is in poor condition, and does not add any value to the house.

The lot layout is reflective of the Meadowvale Village standards, with a small structure located centrally on a larger lot, set back from the street. A garage sits behind the house, with a visible addition at the back. This structure is not architecturally significant.



View of front facade and overhang



One-over-one window



Ceilings show areas of water damage



View of garage and addition

6985 SECOND LINE W - HERITAGE IMPACT ASSESSMENT REPORT**EXTERIOR PHOTOS OF 6985 SECOND LINE W**

Front view from southwest of the building.

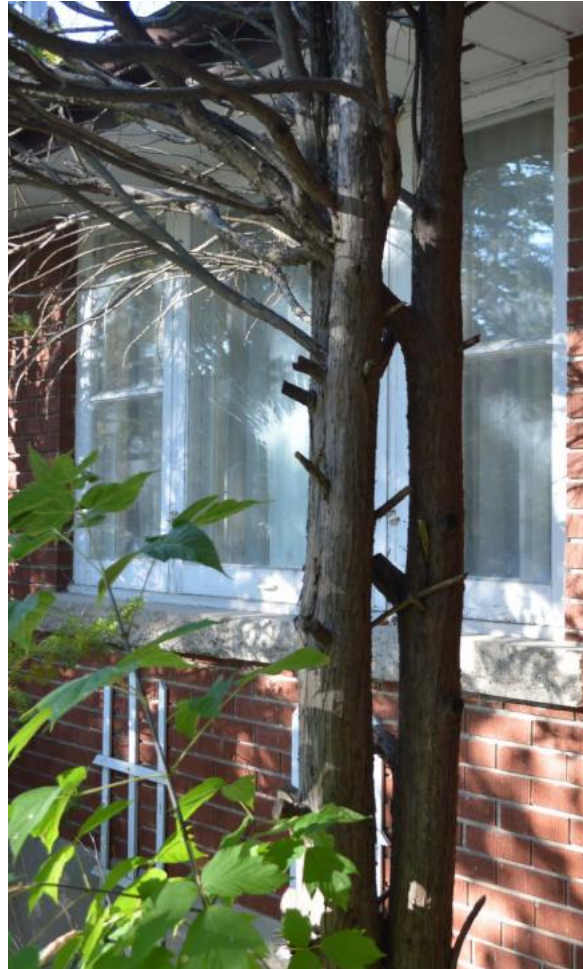
EXTERIOR PHOTOS OF 6985 SECOND LINE W



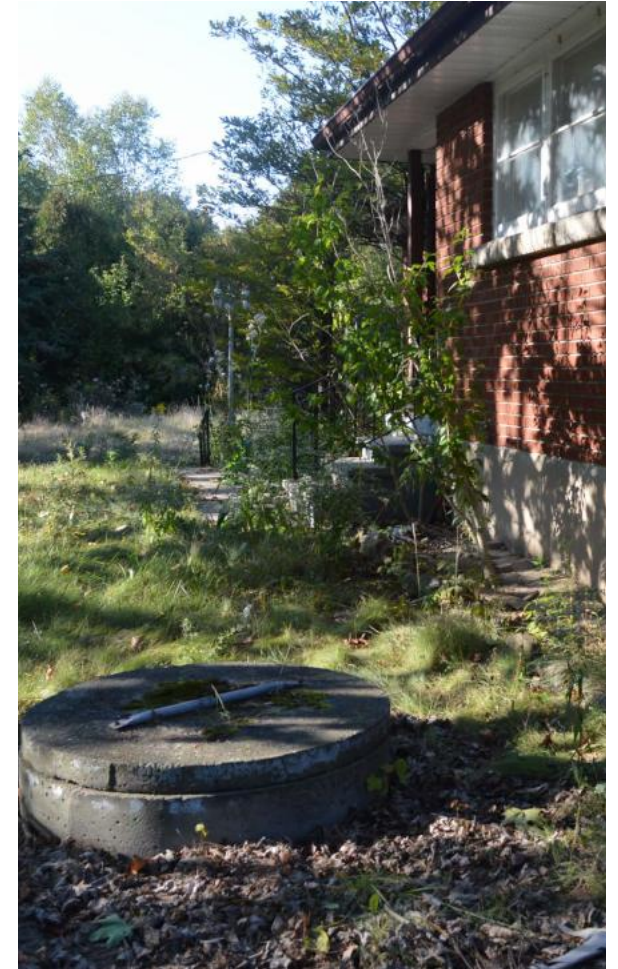
View of front porch Soffit by main entrance



View of front porch steps



View of front window



View of well in front of the property

6985 SECOND LINE W - HERITAGE IMPACT ASSESSMENT REPORT**EXTERIOR PHOTOS OF 6985 SECOND LINE W**

View of the north west side of the house

EXTERIOR PHOTOS OF 6985 SECOND LINE W



View of the northeast side of the house, including the small enclosed back porch. Landscaping is minimal, with overgrown plants throughout the property.

6985 SECOND LINE W - HERITAGE IMPACT ASSESSMENT REPORT

EXTERIOR PHOTOS OF 6985 SECOND LINE W



View of the south east side of the building

EXTERIOR PHOTOS OF 6985 SECOND LINE W



Just North East of the main house sits a garage, featuring an addition on the back, a wind out canopy, and degraded eaves troughs

6985 SECOND LINE W - HERITAGE IMPACT ASSESSMENT REPORT**EXTERIOR PHOTOS OF 6985 SECOND LINE W**

View of the North West facing side of the Garage, where large cracks are visible in the Block walls. The addition is deteriorated and currently holds wood scraps

EXTERIOR PHOTOS OF 6985 SECOND LINE W



View from the back of the property, looking South West. The garage addition is deteriorating, with peeling paint and a broken eavestrough

6985 SECOND LINE W - HERITAGE IMPACT ASSESSMENT REPORT

EXTERIOR PHOTOS OF 6985 SECOND LINE W

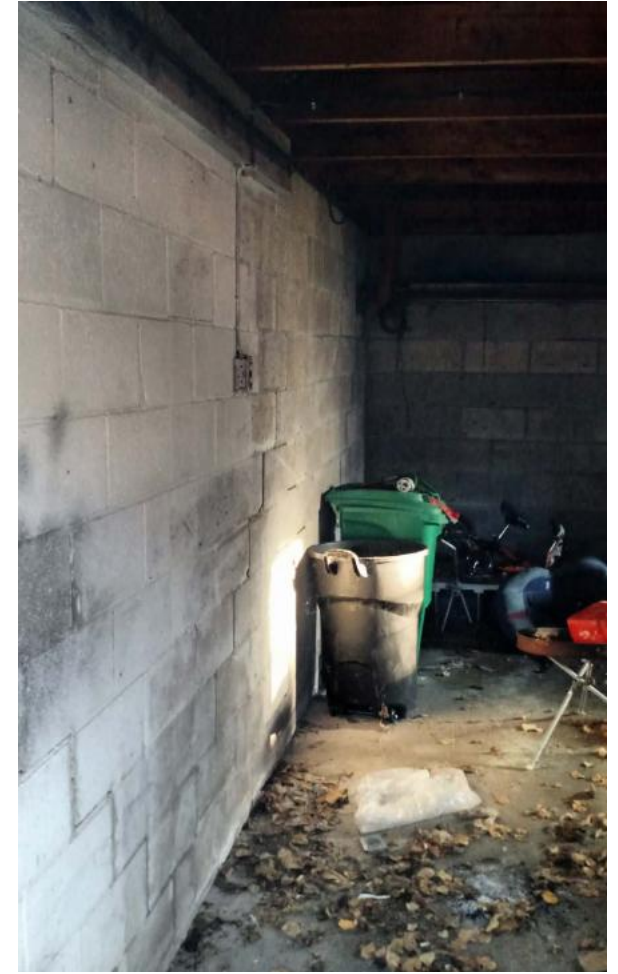


The South east facing side of the garage features a small window, a door and a wind out canopy.

EXTERIOR PHOTOS OF 6985 SECOND LINE W



The eavestrough is in need of repair and the block walls also contain cracks.



Interior View of the Garage - North West and North East walls. The cracks in the block wall continue to the interior.

6985 SECOND LINE W - HERITAGE IMPACT ASSESSMENT REPORT

EXTERIOR PHOTOS OF 6985 SECOND LINE W



Interior view of the Garage - North East and South East Walls. The concrete floor contains cracks and water damage.

EXTERIOR PHOTOS OF 6985 SECOND LINE W



Interior View of the Garage - South East Wall - the Window and Door are not in good condition. The door lacks a solid frame, and is not weatherized.

6985 SECOND LINE W - HERITAGE IMPACT ASSESSMENT REPORT

EXTERIOR PHOTOS OF 6985 SECOND LINE W



Interior view of the Garage - Ceiling - The wood joists appear to be in good condition, with a wood floor laid above them for potential storage. No access to the upper portion was visible



Interior of Garage Addition - currently holding wood scraps. The construction is simple and is not weatherized.

6985 SECOND LINE W - HERITAGE IMPACT ASSESSMENT REPORT

CONTEXTUAL SIGNIFICANCE

Meadowvale Village has been a community situated adjacent the Credit River since the early 1800's. Designated as Ontario's first adopted Heritage Conservation District in 1980, the community has worked hard to maintain the rural-like quality of life. Although the Village is in the north east corner of Mississauga, with dense residential development around it, the main qualities of the Village, as well as many of its original buildings and lots, remain.

The two main roads of the Meadowvale Village are Old Derry Road and Second Line W. The streets within the community, including Second Line W. have maintained a, "rural community lane-like appearance with soft shoulders, mature street trees, varied building set-backs and consistency of building size." Old Derry Road, once a commercial core, has become more prevalently residential. As stated in the Heritage Conservation District Plan of 2014, the road has become, "a quieter version of an earlier era". Over all, the Village presents a streetscape that is pedestrian friendly, void of privacy fences, and featuring large open yards with large diameter trees. The Homes are of modest design and scale, set on larger lots with soft, naturalized vegetation.

Contextually, 6985 Second Line W sits just outside of the Heritage Conservation District. The lot's northwest site line meets the southeast boundary of the District, while the lot itself sits on the east side of Second Line W. The west side of Second Line W, directly across from the site in question, is included in the Heritage Conservation District, holding the Meadowvale Village Hall which was once the Village Schoolhouse. The Hall is used by the community presently, as are the tennis courts that now sit south of it. The proximity of the property to the Historical Conservation District, and to such a prominent building within the area, make 6985 Second Line W. relevant to the community's context.

On the northwest side of 6985 runs a school route. This walking path leads from Second Line W to Meadowvale Public School and David Leeder Middle School that sit on the lot directly behind 6985 Second Line W. The path has been there since the mid 1950's, when the old school building was constructed, and then remained as the school was rebuilt and a Middle School was added next door. The school route, denoted by a sign, is a fenced off pathway, lined by the foliage of the neighbouring trees.

The Meadowvale Village to the north west features many of its original houses and structures that were once part of the small milling community. To the south east of 6985 Second Line W., many more modern developments have been constructed over the years. Due to their proximity to the Historical Village, some of the developments have managed to maintain similar building styles and architectural features present in the Village, while others have developed more modern and contemporary structures.



The former Village Schoolhouse, now the Village Hall

CONTEXTUAL SIGNIFICANCE



View of the front of the property, looking southwest from the front steps. The yard is large, with many large trees closer to the sidewalk, shielding the property from the street and neighbours



View of streetscape in front of the property. Large trees scattered along the street create natural divisions, hiding neighbouring houses. Directly across the street sits public tennis courts and the Meadowvale Village Hall.

CONTEXTUAL SIGNIFICANCE



Sitting between 6985 Second Line W, and the neighbouring property to the North, sits a fenced off school route, shaded by trees and bushes



Neighbouring house to the Southeast, at 6971 Second Line West

CONTEXTUAL SIGNIFICANCE

HOUSES NORTH OF OLD DERRY ROAD IN THE HERITAGE DISTRICT



1043 Old Derry Road

Date of Construction: 1850

Three bay facade, Neoclassical design and building materials.

Modest size, shape and form reflecting the mid nineteenth century character of the Village, including the well-proportioned front porch, dormer, and cat slide addition



7004 Second Line West

Date of Construction: 1850

One of the oldest properties in the Village.

The modest one-and-a-half storey structure is made of stacked plank construction, with horizontal narrow wood siding and gable ends and cornice returns. The building rests on a field stone foundation. The original windows retain their aperture but the windows have been replaced. The front façade onto Second Line West has three bays.

6985 SECOND LINE W - HERITAGE IMPACT ASSESSMENT REPORT

CONTEXTUAL SIGNIFICANCE

NEW CONSTRUCTION ON SECOND LINE W, NORTH OF OLD DERRY RD.



7068 Second Line West

Date of Construction: 1981

This is the first infill to have been constructed in the Village after this designation status. The property was formerly the back half of the property. A one-and-a-half storey frame structure with a shallow setback to Second Line West. There is a detached garage connected by a narrow covered passageway. Architecturally, the house was designed to be compatible with the Village character in its size, shape, form, materials and context.

NEIGHBOURING PROPERTY TO THE NORTH (IN THE HERITAGE DISTRICT)



6995 Second Line West

Date of Construction: 1910

One-and-a-half storey frame structure with gable ends. The size, shape, form and style of the residential structure is compatible with the nineteenth century buildings of the Village. The location of the house on the lot with significant setbacks and open yards provide high visibility and open green space on this corner lot supporting the former rural character. The framing of the structure by mature trees in the front yard provide a landscape in keeping with the Village character siding. To the rear of the house is a detached garage accessed from Second Line West.



CONTEXTUAL SIGNIFICANCE

NEW CONSTRUCTION ON SECOND LINE W, SOUTH OF OLD DERRY RD., NOT IN HERITAGE DISTRICT



6836 Second Line West
Date of Construction: Unknown



6920 Second Line West
Date of Construction: Unknown

6985 SECOND LINE W - HERITAGE IMPACT ASSESSMENT REPORT

CONTEXTUAL SIGNIFICANCE

EXAMPLE OF A DIVIDED LOT, NEW CONSTRUCTION, HERITAGE DISTRICT, VICTORIAN VERNACULAR



1009 Old Derry Road

Date of Construction: 1990

The two properties above, 1009 and 1011 Old Derry Road were one lot until they were severed circa 1988. The twentieth century one storey single family home was removed and relocated to another municipality. The two current homes were built at the same time with a shared drive and garage structure to the rear. Brick veneer, not usually permitted in new infill construction, was allowed in this instance due to the proximity of the Graham-Pearson house across the street.



1011 Old Derry Road

Date of Construction: 1990

SUMMARY REGARDING EXISTING STRUCTURE

RATING SYSTEM

E - Excellent
 VG - Very Good
 G - Good
 F - Fair
 L - Low

Municipal Address: 6985 Second Line W, Mississauga

Date: October, 2017

Evaluator: Alexander Temporale B.Arch, O.A.A., F.R.A.I.C., C.A.H.P.

HISTORICAL VALUE OR ASSOCIATIVE VALUE		Grade					Rationale
1. Has direct associations with a person, organization, or institution that is significant to a community.	E	VG	G	F	L		The previous owners and tenants of this property were of modest means, however were part of the surrounding community, with children likely attending the neighbouring schools.
2. Has direct associations with an event or activity that is significant to a community.	E	VG	G	F	L		The structure on the property was built in the late 1960's and was not part of the original Meadowvale Village, nor is the property included in the Heritage Conservation District.
3. Has direct associations with a theme or belief that is significant to a community.	E	VG	G	F	L		The lot layout and house size is reflective of Meadowvale Village's typical residential lots, with a small structure, large lot, and a garage sitting back behind the main home.
4. Yields, or has the potential to yield, information that contributes to an understanding of a community.	E	VG	G	F	L		The home is not of architectural or historical significance relating to the community.
5. Demonstrates or reflects the work or ideas of an architect, artist, builder, designer, or theorist.	E	VG	G	F	L		No specific architect is connected to this property.
DESIGN OR PHYSICAL VALUE		Grade					Rationale
6. Is a rare, unique, representative, or early example of a style, type, expression, material, or construction method.	E	VG	G	F	L		The property features a 1-storey brick bungalow that was typical of the late 1960's in Mississauga.
7. Displays a high degree of craftsmanship or artistic merit.	E	VG	G	F	L		The house is well proportioned and the brick exterior is in good condition.
8. Demonstrates a high degree of technical or scientific achievement.	E	VG	G	F	L		The home uses standard construction methods and materials.
CONTEXTUAL VALUE		Grade					Rationale
9. Is important in defining, maintaining, or supporting the character of an area.	E	VG	G	F	L		The retention of the building would maintain the streetscape, and minimize the visual impact on the neighbouring Historical Conservation District due to its small size; however, it does not reflect the changing nature of the street or the character of the heritage district.
10. Is physically, functionally, visually, or historically linked to its surroundings.	E	VG	G	F	L		The site sits directly across from a historically significant building within the Meadowvale Village. The site is visually important. The house itself is not.
11. Is a landmark.	E	VG	G	F	L		The property lacks the architectural interest and scale required to be considered a landmark

6985 SECOND LINE W - HERITAGE IMPACT ASSESSMENT REPORT

HERITAGE ASSESSMENT SUMMARY

EXISTING 6985 SECOND LINE WEST HOME

In summary the existing circa 1968 house on the site is not of historical, architectural or contextual value to the City of Mississauga. The home is an example of the typical red brick buildings built throughout Mississauga, and the general Toronto area, in the 1950's and 1960's. It's neither a fine example of the style nor a demonstration of caring craftsmanship.

Its owners have been local residents of modest means, including young families, local farmers, and war veterans. The residents of the home have been involved within the community; however, have not greatly impacted the Meadowvale Village, nor have they significantly contributed to the progress or development of the local area, the City of Mississauga or the Region. The most active Owner in the community was Bill Strachan, who was involved with the Meadowvale Fair.

Contextually, the existing home is not compatible architecturally with the early styles that typify the Meadowvale Village nor with the more recent homes built along the southern portion of Second Line. These newer homes are frequently gabled traditional homes consisting of a pastiche of historic styles. The building is not of historical value and can be demolished. There is no need for mitigating measures associated with the existing structure.



HERITAGE ASSESSMENT SUMMARY

PROPOSED HOMES FOR THE EXISTING LOT

The approach taken by Hicks Studio is innovative in maintaining relatively modest façades facing Second Line West and the Meadowvale Town Hall across the road. It utilizes the depth of the lot to set back the garages in order to prevent them from having prime visual impact on the streetscape. The design responds to some of the design principles set out in the guidelines for the Village, such as the siting and massing of the houses. The plan layout resembles the rambling character of homes in the heritage village.

The proposed design includes two new homes being built on the existing lot. The division of the existing lot results in two lots that have considerable depth and open space. It also results in a façade width for both homes that are more compatible with the Town Hall and the heritage structures of Meadowvale Village. The design also employs the use of “tail sections” typical of additions in heritage areas to gain added space, which is both innovative and acceptable.

The final design proposal has produced two facades that are complimentary but visually different in style and use of materials. The most northerly building (Option 1) is a combination of brick and stone. It has a horizontal stringcourse at the second-floor window sill to divide the two materials. The architectural divide also helps reduce the scale of the front façade facing the street. The long, sloped roof linking the house to the one storey garage and the projecting one storey entrance portico also helps to reinforce the human scale of the house. The facade is a well balanced 3 bay design. The second-floor windows are designed as dormers, creating an attractive rhythm at the roof eave line and further breaking up the building mass. The visual focus of the facade is the front entrance with a centre panelled door and narrow side lights on both sides. All the windows are trimmed in precast, adding further detail to the design. They also have transoms and are subdivided with muntins to add finer scale and additional refinement to the window openings.

Like the plan, the building design is well articulated and three dimensional due to the “U” shaped plan, as well as the projection of the rear porches and front portico. In the distance the garage can be seen. The garage door is panelled with upper windows and is consistently trimmed as per the house. With the addition of the back porch, the garage is given the appearance of a traditional coach house.

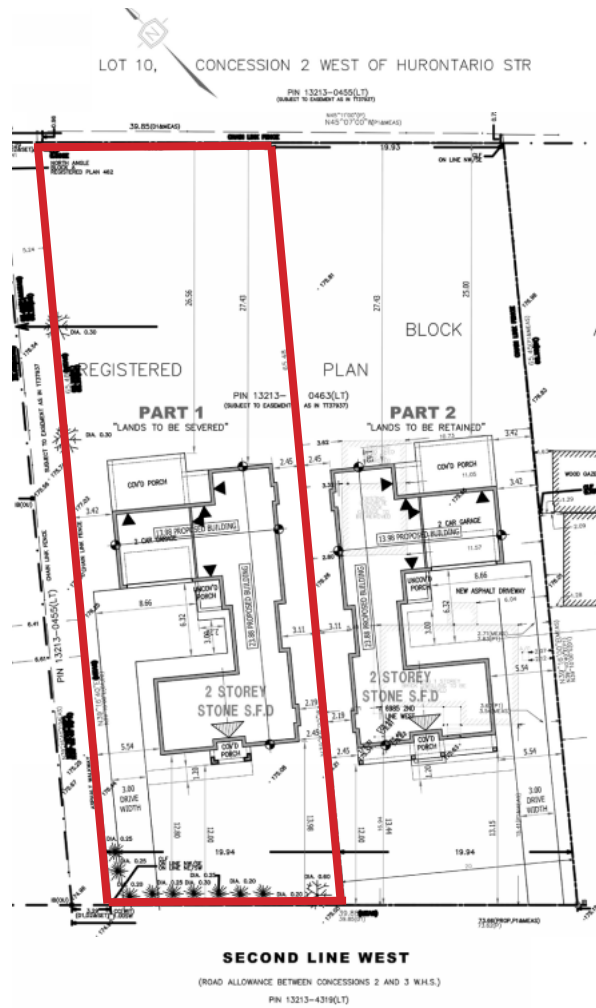
Each elevation has its own feature elements, while retaining the use of the street façade materials. The south elevation, with the projecting porch and angled brick wall resulting from the extended roof line over the garage, creates a distinct rear elevation. Its porch is balanced by the projecting two storey rear extension with eight stacked windows enclosing the great room at grade and the master bedroom above.

On the east elevation, the architect employs two brick gables to break the length of the façade, while using glazing to reinforce the separation and tall forms of the gables. The west elevation, due to the various roof forms, is richly three dimensional. The use of almost 2 storeys of glazing at the stairway in the “U” creates additional visual interest and a focal point for the enclosed space.

Option 2 changes the exterior materials to wood siding with a minimal amount of stone at the foundation level. The use of wood siding on Option 2 is particularly appropriate for the context of the development. It is a symmetrical design framed by two gables. The windows are larger and combined in groups of three, largely glazing the gables. Palladian style feature windows are located on the second floor to give a distinctive character to the façade. Between the two gables is the central entrance way which again has a projecting portico. In this instance, the portico is supported with free standing columns. The design otherwise is similar in its massing, location of openings and projections as Option 1.

The two new designs provide a significant improvement over the original French Country Style designs initially proposed. They are more compatible with the heritage district in style, colour palette and materials. They provide a sympathetic transition between contemporary home styles and the traditional vernacular of Meadowvale Village. Also, the earlier mitigating measures recommended in ATA's original Heritage Impact Assessment regarding two different facades has been accomplished. Lastly, the scale of the two homes facing Second Line West is, in the opinion of the author, more compatible with the scale of the nearby heritage structures than a larger home on a single lot and will have far less impact.

6985 SECOND LINE W - HERITAGE IMPACT ASSESSMENT REPORT

PROPOSED DEVELOPMENT
OPTION 1

Proposed Site Plan, Option 1

Proposed Ground Floor Plan, Option 1

Proposed Second Floor Plan, Option 1

PROPOSED DEVELOPMENT OPTION 1



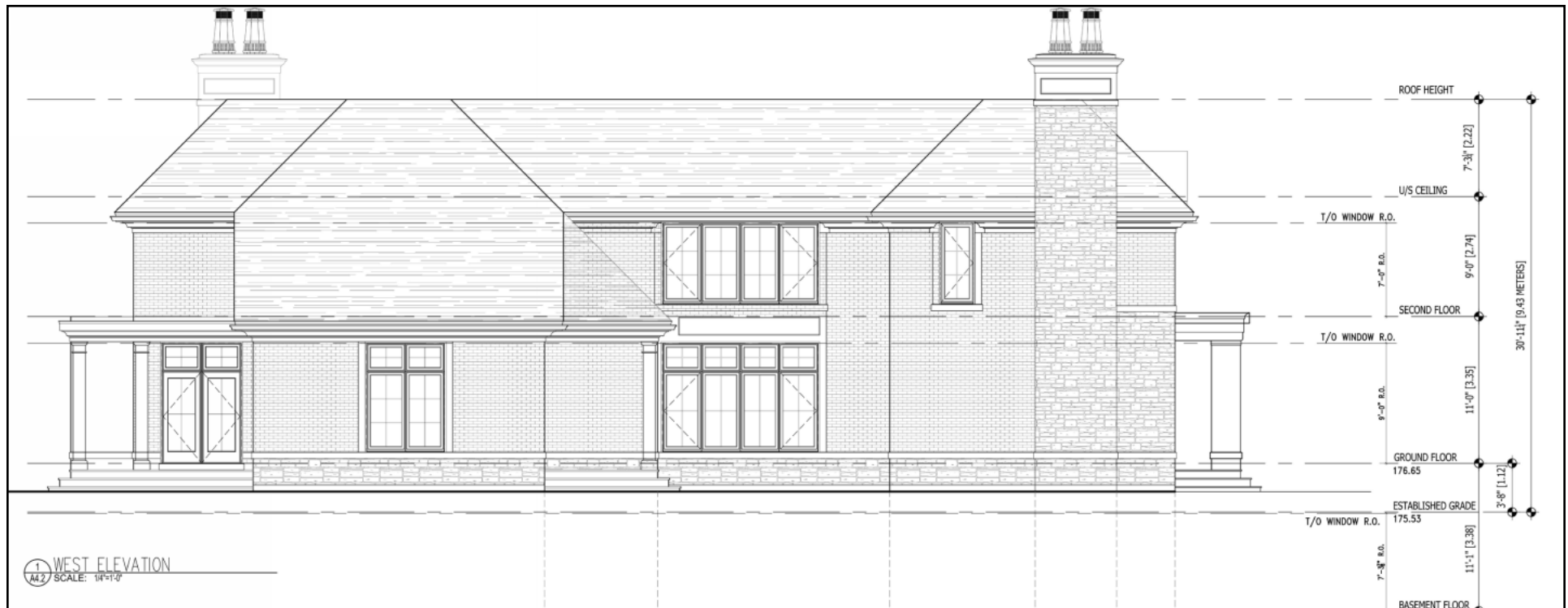
Proposed South (Front) Elevation, Option 1

6985 SECOND LINE W - HERITAGE IMPACT ASSESSMENT REPORT



Proposed North Elevation, Option 1

PROPOSED DEVELOPMENT
OPTION 1



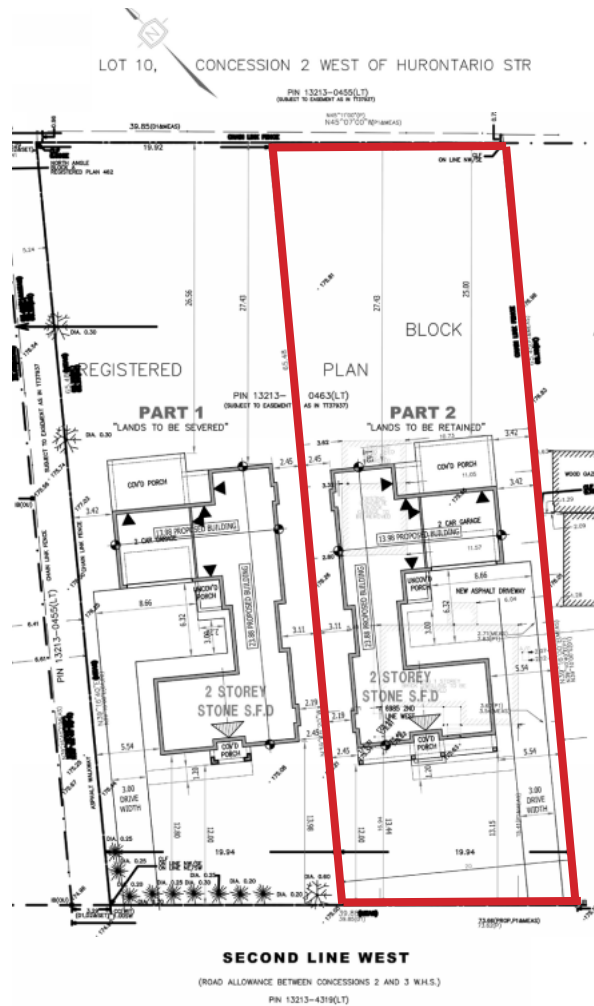
Proposed West Elevation, Option 1

PROPOSED DEVELOPMENT
OPTION 1



Proposed East Elevation, Option 1

PROPOSED DEVELOPMENT OPTION 2



Proposed Site Plan, Option 2

Proposed Ground Floor Plan, Option 2

Proposed Second Floor Plan, Option 2

6985 SECOND LINE W - HERITAGE IMPACT ASSESSMENT REPORT

PROPOSED DEVELOPMENT
OPTION 2

Proposed South (Front) Elevation, Option 2



Proposed North Elevation, Option 2

PROPOSED DEVELOPMENT
OPTION 2



Proposed East Elevation, Option 2

PROPOSED DEVELOPMENT
OPTION 2



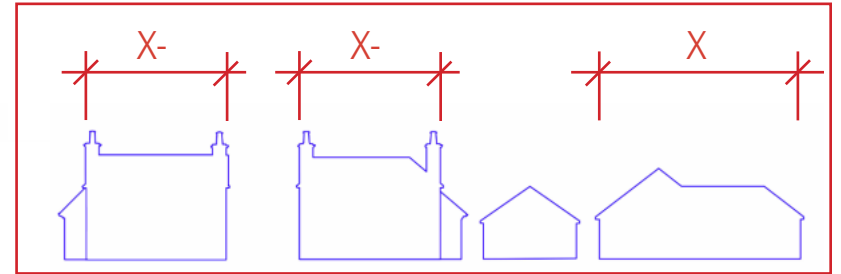
Proposed West Elevation, Option 2

6985 SECOND LINE W - HERITAGE IMPACT ASSESSMENT REPORT

PROPOSED DEVELOPMENT
STREETSCAPE STUDY - OPTION 1 AND 2

ATA ANALYSIS:

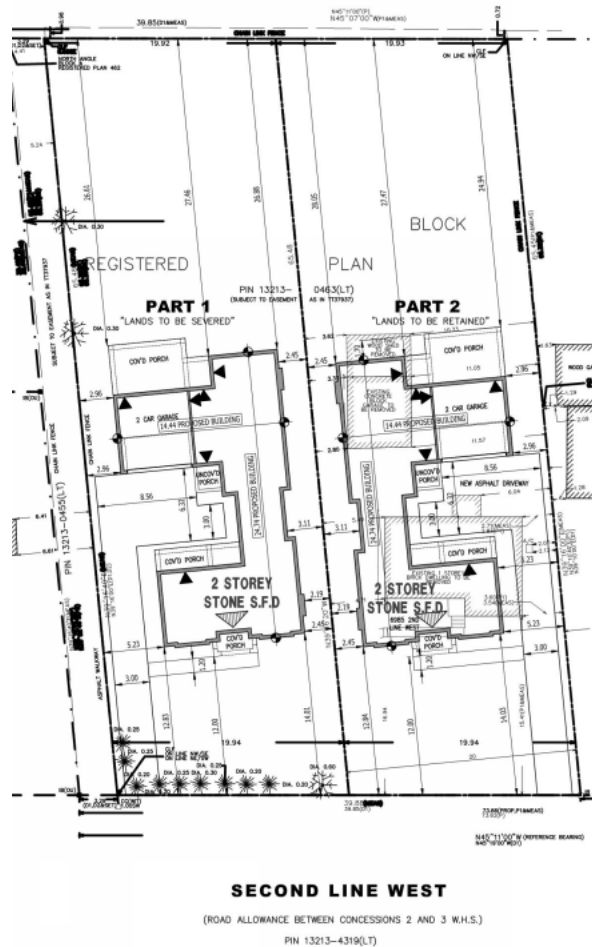
- Similar Widths
- Garages concealed in proposal



INITIAL DEVELOPMENT EXPLORATIONS ALTERNATIVE A

ATA ANALYSIS:

- Modest scale front facades
- Interior courtyard "U" shaped design
- Garages largely hidden
- Break down of scale (articulated)
- Decorative, up-scale French Provincial Facades
- Two identical homes, mirrored



Site Plan showing two mirrored identical buildings on the existing site

First Floor Plan

Second Floor Plan

INITIAL DEVELOPMENT EXPLORATIONS
ALTERNATIVE A



Front Elevation

INITIAL DEVELOPMENT EXPLORATIONS ALTERNATIVE B



ATA ANALYSIS:

- Simplified Elevation from Alternative A
- Alternative floor plan with slightly different facades
- Garage in the centre of the home in lieu of the courtyard

First Floor Plan - "U" shaped house situated
around a 2 car garage

Second Floor Plan

NOVEMBER - Similar Options

INITIAL DEVELOPMENT EXPLORATIONS
ALTERNATIVE B

Front Elevation (Home 1)

INITIAL DEVELOPMENT EXPLORATIONS
ALTERNATIVE B



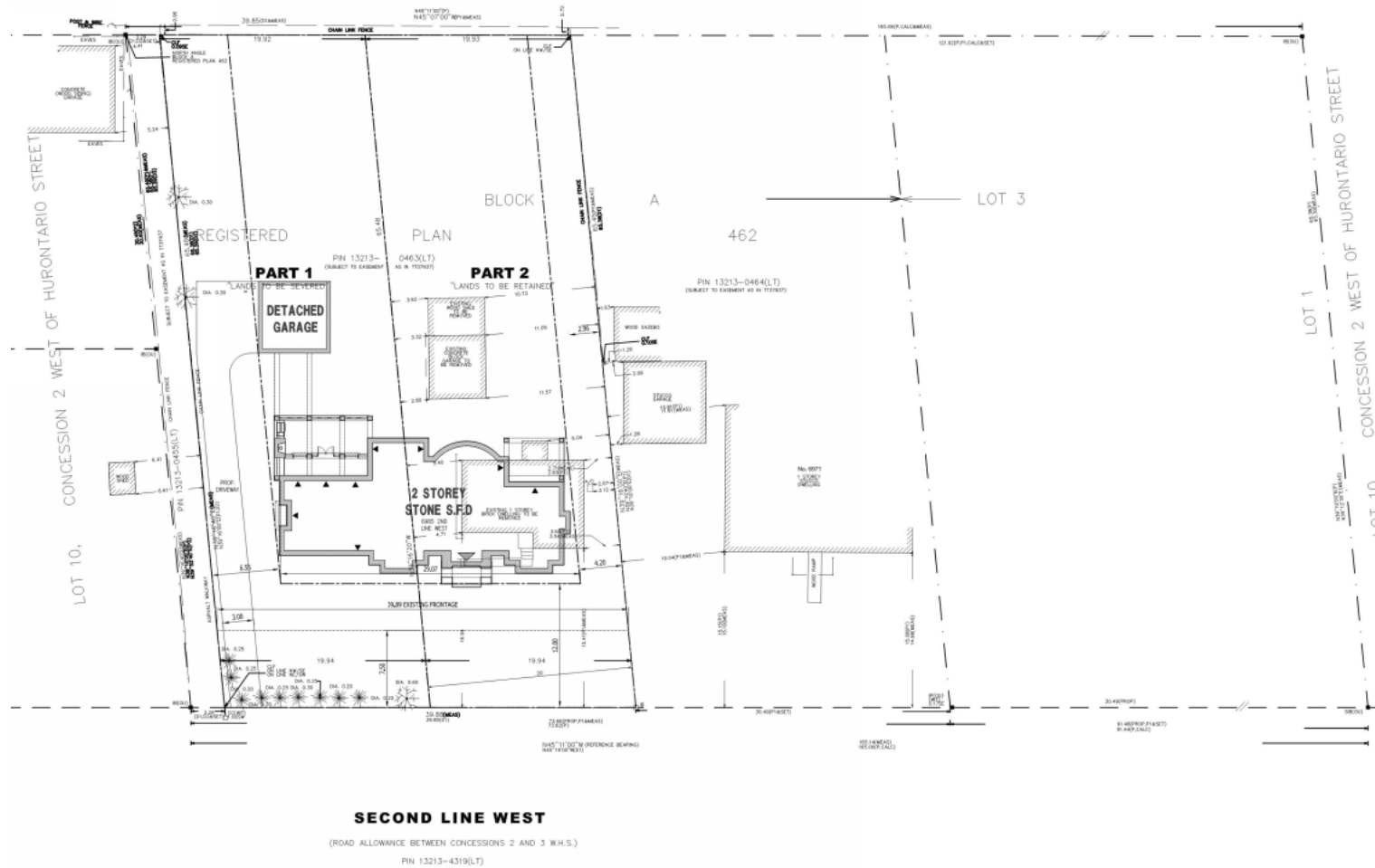
Front Elevation (Home 2)

6985 SECOND LINE W - HERITAGE IMPACT ASSESSMENT REPORT

INITIAL DEVELOPMENT EXPLORATIONS
ALTERNATIVE C

ATA ANALYSIS:

- Ornate decorative French Country Manor House
- Long facade - grand scale
- Distinctive Architectural Design (out of context with the surrounding area)



INITIAL DEVELOPMENT EXPLORATIONS ALTERNATIVE C

ATA ANALYSIS:

- Simplified Elevation from Alternative A
- Alternative floor plan with slightly different facades
- Garage in the centre of the home in lieu of the courtyard



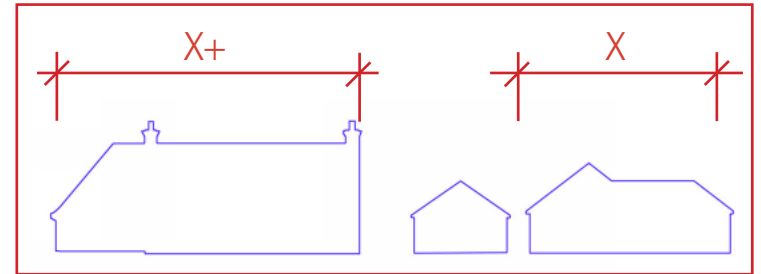
Front Elevation

6985 SECOND LINE W - HERITAGE IMPACT ASSESSMENT REPORT

INITIAL DEVELOPMENT EXPLORATIONS
STREETSCAPE STUDY - ALTERNATIVE C

ATA ANALYSIS:

- Larger proposed width
- Garage concealed in proposal



Streetscape

MITIGATING MEASURES

1. STYLE

The early iterations of the proposed design raised questions regarding the visual impact the development of 6985 Second Line West could have on the neighbouring buildings, due to the proximity of the site to the Heritage Conservation District. Specifically, the Hall building sits directly across the street from the site in question. After further development of the design proposal, it is the opinion of the author that the architect has managed to incorporate many features and guidelines relating to the Meadowvale Village to allow the design to better suite its surroundings and minimize the visual impact on the neighbouring buildings.

The visual impact of the proposed new construction on Meadowvale Village has been diminished by changes in architectural style to each of the individual buildings. The Heritage District features are mainly Early Georgian, Gothic and Victorian Revival, and local vernacular versions thereof. The initially proposed designs (see appendix) were more French Provincial in style. Although there are several more recently constructed examples of what might be considered French Country or French Provincial homes on Second Line West, they are not as close to Old Derry Road or to the Village Hall as the site in question, which is a local focus of social interaction in the community. In the most recent design proposal by Hicks Design Studio, the houses have been simplified to employ a modern mix of traditional styles with Georgian, Tudor and some Italianate influences of the Meadowvale Village. This more modest appearance has reduced the visual impact the new construction would have on the heritage building across the street, while creating a transition out of the heritage district.

The design also features a material palette that is compatible with those found in the village, benefiting the compatibility of the design to the adjacent heritage area and reducing the project's visual impact.

Over all, the previous concerns about style and variety have been addressed by the current design proposal. All previous design explorations can be found on the previous pages.

2. MATURE VEGETATION

If at all possible, the natural vegetation along Second Line should be maintained to retain the character of the street along this section of Second Line.

3. VARIETY

The proposed development creates two lots out of the existing site and the appearance of both homes have been designed to be substantially different. In the Meadowvale Village context, buildings were individually constructed and as a result have a distinctive identity from their neighbours. Although beginning with two very similar house designs, the architect has developed their proposal to retain the individuality present in the surrounding neighbourhood and avoid identical twin houses. Although the footprint and layout of the two homes are similar, they have been mirrored, and the street-facing elevations contain individualized characteristics. Through the use of differing materials, window sizes and placement, as well as roof shapes, the proposed designs offer the appearance of two individual buildings.

4. GARAGES

Separate garages were considered but the garages are largely hidden from the street and are sympathetically designed. They do not detract from the streetscape or visually dominate the facade.

5. SETBACKS

The final proposal may wish to stagger the plans slightly, because the siting in the Village is more random.

6. PORCHES

Porches are typical in the Meadowvale Village and both designs incorporate entrance porticos. Option 2, because of its design, is well suited for a front porch. This is a suggestion for consideration only.

6985 SECOND LINE W - HERITAGE IMPACT ASSESSMENT REPORT

APPENDIX

LAND REGISTRY RECORDS



ServiceOntario

PARCEL REGISTER (ABBREVIATED) FOR PROPERTY IDENTIFIER

LAND
REGISTRY
OFFICE #43

13213-0463 (LT)

* CERTIFIED IN ACCORDANCE WITH THE LAND TITLES ACT * SUBJECT TO RESERVATIONS IN C

PROPERTY DESCRIPTION: PT BLK A, PL 462 , AS IN R0550016; S/T TT37937; CITY OF MISSISSAUGA

PROPERTY REMARKS:ESTATE/QUALIFIER:

FEE SIMPLE
LT CONVERSION QUALIFIED

RECENTLY:

FIRST CONVERSION FROM BOOK

OWNERS' NAMESCAPACITY SHARE

RONN

REG. NUM.	DATE	INSTRUMENT TYPE	AMOUNT	PARTIES FROM	
<p>**EFFECTIVE 2000/07/29 THE NOTATION OF THE "BLOCK IMPLEMENTATION DATE" OF 1996/09/10 ON THIS PIN**</p> <p>**WAS REPLACED WITH THE "PIN CREATION DATE" OF 1996/09/10**</p> <p>** PRINTOUT INCLUDES ALL DOCUMENT TYPES AND DELETED INSTRUMENTS SINCE 1996/09/06 **</p> <p>**SUBJECT, ON FIRST REGISTRATION UNDER THE LAND TITLES ACT, TO:</p> <p>** SUBSECTION 44(1) OF THE LAND TITLES ACT, EXCEPT PARAGRAPH 11, PARAGRAPH 14, PROVINCIAL SUCCESSION DUTIES * AND ESCHEATS OR FORFEITURE TO THE CROWN.</p> <p>** THE RIGHTS OF ANY PERSON WHO WOULD, BUT FOR THE LAND TITLES ACT, BE ENTITLED TO THE LAND OR ANY PART OF IT THROUGH LENGTH OF ADVERSE POSSESSION, PRESCRIPTION, MISDESCRIPTION OR BOUNDARIES SETTLED BY CONVENTION.</p> <p>** ANY LEASE TO WHICH THE SUBSECTION 70(2) OF THE REGISTRY ACT APPLIES.</p> <p>**DATE OF CONVERSION TO LAND TITLES: 1996/09/10 **</p>					
TT37937	1937/09/08	TRANSFER EASEMENT			THE HYDRO-EL
TT149363	1962/10/10	AGREEMENT			THE CORPORAT
VS248789	1973/02/12	NOTICE			
REMARKS: AMENDMENT OF TORONTO-MALTON AIRPORT ZONING REGULATIONS LT248789 AMENDED TO READ 248789VS 95/11/14 KATHY POWER					
R0550016	1980/06/10	TRANSFER		*** COMPLETELY DELETED ***	HANDLEY, ART HANDLEY, IRE
LT2057426	2000/03/27	NOTICE		HER MAJESTY THE QUEEN IN RIGHT OF THE DEPARTMENT OF	

6985 SECOND LINE W - HERITAGE IMPACT ASSESSMENT REPORT

LAND REGISTRY RECORDS



Ontario

ServiceOntario

 LAND
 REGISTRY
 OFFICE #43

PARCEL REGISTER (ABBREVIATED) FOR PROPERTY IDENTIFIER

13213-0463 (LT)

* CERTIFIED IN ACCORDANCE WITH THE LAND TITLES ACT * SUBJECT TO RESERVATIONS IN C

REG. NUM.	DATE	INSTRUMENT TYPE	AMOUNT	PARTIES FROM	
PR243372	2002/05/13	APL (GENERAL)		HANDLEY, IRENE JEANETTE *** COMPLETELY DELETED *** HANDLEY, ARTHUR GEORGE	HANDLEY, ART
PR243747	2002/05/15	CHARGE		*** COMPLETELY DELETED *** HANDLEY, ARTHUR GEORGE	CHIP MORTGAG
PR2543149	2014/06/02	TRANSFER		*** COMPLETELY DELETED *** HANDLEY, ARTHUR GEORGE	ABU ZAED, KH BEIDES, SAMA
REMARKS: PLANNING ACT STATEMENTS.					
PR2543150	2014/06/02	CHARGE		*** COMPLETELY DELETED *** ABU ZAED, KHALID BEIDES, SAMAR	THE TORONTO-
PR2566043	2014/07/17	DISCH OF CHARGE		*** COMPLETELY DELETED *** CHIP MORTGAGE CORPORATION 5 INC.	
REMARKS: PR243747.					
PR2955755	2016/07/26	TRANSFER	\$1,300,000	ABU ZAED, KHALID BEIDES, SAMAR	
REMARKS: PLANNING ACT STATEMENTS.					
PR2955756	2016/07/26	CHARGE	\$700,000		KEB HANA BAN
PR2955757	2016/07/26	NO ASSGN RENT GEN			KEB HANA BAN
REMARKS: TO BE DELETED UPON THE DELETION OF PR2955756					
PR2976993	2016/08/26	DISCH OF CHARGE		*** COMPLETELY DELETED *** THE TORONTO-DOMINION BANK	
REMARKS: PR2543150.					

LAND REGISTRY RECORDS

DATE PLAN REGISTERED 20 October 1988
OWNERS: Filadelf Veroy

LOT SUBDIVISION: Pt. 10, 2 W. 10. 2

TOWNSHIP OF TROST

SHEET NO. 1
LOT NO. 1008 & 1009
STREET: 1008 & 1009
PLAN NO. 405

NUMBER	INSTRUMENT	DATE OF INSTRUMENT	DATE OF REGISTRATION	GRANTOR	GRANTEE	CONSIDERATION	REMARKS
73452	Grant	13 Apr 1913	13 Apr 1913	William (Wilbert) Veroy & his wife Mary (Mary Veroy)	Sarah J. Davis & Arthur L. Davis as joint tenants	1000.00	Part of S. 1/4 Sec. 100'
10085	Grant	13 July 1955	13 July 1955	William (Wilbert) Veroy	John D. Hillbert & Violet Hillbert as joint tenants	1000.00	Part of S. 1/4 Sec. 100'
129475	Grant	13 July 1955	13 July 1955	John D. Hillbert & Violet Hillbert	Edward J. Hillbert & Violet Hillbert as joint tenants	1000.00	Part of S. 1/4 Sec. 100'
149565	Grant	13 July 1955	13 July 1955	John D. Hillbert & Violet Hillbert	The Corp. of Life Savers of Toronto	1000.00	Part of S. 1/4 Sec. 100'
541555	Grant	13 July 1955	13 July 1955	John D. Hillbert & Violet Hillbert	John D. Hillbert & Violet Hillbert as joint tenants	1000.00	Part of S. 1/4 Sec. 100'
52804799	Grant	24 July 1968	24 July 1968	Treasurer's Consent	Sarah J. Davis Est.	1000.00	Part of S. 1/4 Sec. 100'
68300395	Grant	26 Oct 1968	26 Oct 1968	Treasurer's Consent	Arthur L. Davis Est.	1000.00	Part of S. 1/4 Sec. 100'
8790945	Grant	25 Sept 1968	25 Sept 1968	Isabell Palmer Adm. William R. Kee	William R. Kee & Linda A. Kee as joint tenants	1000.00	Part of S. 1/4 Sec. 100'
8791015	Grant	17 Oct 1968	17 Oct 1968	William R. Kee & Linda A. Kee	William R. Kee & Linda A. Kee as joint tenants	1000.00	Part of S. 1/4 Sec. 100'
8791115	Grant	15 Oct 1968	15 Oct 1968	William R. Kee & Linda A. Kee	William R. Kee & Linda A. Kee as joint tenants	1000.00	Part of S. 1/4 Sec. 100'
15053115	Grant	21 Sept 1970	21 Sept 1970	The Treasurer of Ontario	William R. Kee & Linda A. Kee as joint tenants	1000.00	Part of S. 1/4 Sec. 100'
15467115	Grant	11 Sept 1970	11 Sept 1970	John D. Hillbert & Violet Hillbert	William R. Kee & Linda A. Kee as joint tenants	1000.00	Part of S. 1/4 Sec. 100'

Land Registry Records 6985 Second Line W
Source: York Region Land Registry

6985 SECOND LINE W - HERITAGE IMPACT ASSESSMENT REPORT

LAND REGISTRY RECORDS

PLAN REGISTERED 28 OCTOBER 1965
PLAN NO. 286745

107 216 4 PLAN 462 PAGE NO. 1

DATE OF REGISTRATION: 1971, 1972, 1973, 1974, 1975, 1976, 1977, 1978, 1979, 1980

DATE OF REGISTRATION	DATE OF REGISTRATION	GRANTOR	GRANTEE	CONSIDERATION	REMARKS
1971	1971	William A. Strachan	John A. Hulbert	12,500.00	Part as in 154671/5
1972	1972	William A. Strachan	John A. Hulbert	286745	Discharging no. 154671/5
1973	1973	William A. Strachan	William R. McKee	286745	Discharging no. 154671/5
1974	1974	William A. Strachan	William R. McKee	286745	Discharging no. 154671/5
1975	1975	William A. Strachan	William R. McKee	286745	Discharging no. 154671/5
1976	1976	William A. Strachan	William R. McKee	286745	Discharging no. 154671/5
1977	1977	William A. Strachan	William R. McKee	286745	Discharging no. 154671/5
1978	1978	William A. Strachan	William R. McKee	286745	Discharging no. 154671/5
1979	1979	William A. Strachan	William R. McKee	286745	Discharging no. 154671/5
1980	1980	William A. Strachan	William R. McKee	286745	Discharging no. 154671/5
1971	1971	William A. Strachan	William R. McKee	286745	Discharging no. 154671/5
1972	1972	William A. Strachan	William R. McKee	286745	Discharging no. 154671/5
1973	1973	William A. Strachan	William R. McKee	286745	Discharging no. 154671/5
1974	1974	William A. Strachan	William R. McKee	286745	Discharging no. 154671/5
1975	1975	William A. Strachan	William R. McKee	286745	Discharging no. 154671/5
1976	1976	William A. Strachan	William R. McKee	286745	Discharging no. 154671/5
1977	1977	William A. Strachan	William R. McKee	286745	Discharging no. 154671/5
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1980	1980	William A. Strachan	William R. McKee	286745	Discharging no. 154671/5
1971	1971	William A. Strachan	William R. McKee	286745	Discharging no. 154671/5
1972	1972	William A. Strachan	William R. McKee	286745	Discharging no. 154671/5
1973	1973	William A. Strachan	William R. McKee	286745	Discharging no. 154671/5
1974	1974	William A. Strachan	William R. McKee	286745	Discharging no. 154671/5
1975	1975	William A. Strachan	William R. McKee	286745	Discharging no. 154671/5
1976	1976	William A. Strachan	William R. McKee	286745	Discharging no. 154671/5
1977	1977	William A. Strachan	William R. McKee	286745	Discharging no. 154671/5
1978	1978	William A. Strachan	William R. McKee	286745	Discharging no. 154671/5
1979	1979	William A. Strachan	William R. McKee	286745	Discharging no. 154671/5
1980	1980	William A. Strachan	William R. McKee	286745	Discharging no. 154671/5

Land Registry Records 6985 Second Line W
Source: York Region Land Registry

6985 SECOND LINE W - HERITAGE IMPACT ASSESSMENT REPORT

OBITUARIES

HANDLEY, Arthur George Handley - Obituary

Expired

//

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HANDLEY, Arthur George — Peacefully passed away in his 92nd year on January 26, 2017, in Mississauga, Ontario.

Dearly beloved of the late Mary Handley and predeceased by Irene J. Handley and children Walter and Patricia.

Father of Sam (Cindy), Alice (Ron), Gord (Jennifer).

Loved step-father of Mercedes Clements (Ron).

Loving grandfather to Andrew, Christine (Josh), Kevin (Marianne), Melissa (Jeff), Cathy, Becky (Dave), Kim, Greg (Sherisse), Lauren, Leah, Dennis, Joe (Mary Jo) and Amanda (Paul). Great-grandfather of Tysen, Luca, Ethan, Jakob, Alicia, Liam and Grayson, Logan, Dylan, Joey and Darwin.

Special Thanks to the caring staff of Extendicare Mississauga.

Private family and friends Memorial to be held at Meadowvale Funeral Centre, Tuesday, January 31st at 2:00 p.m.

If desired, donations accepted, in lieu of flowers, to the Heart & Stroke Foundation.

TorontoObituaries.com

Obituary for Arthur George Handley, previous owner of 6985 Second Line W.
Source: TorontoObituaries.com

Canadian Obituary Index
CanadianObits.com - Obits indexed from the Toronto Star - 90

Posted By: CanadianObits.com

Date: Saturday, 20 August 2016, at 11:11 p.m.

HANCOCK, Cecil Robert "Bob" wwi	Toronto, Ontario	Toronto Star	March 2, 1980
HANCOCK, Diane J (GIMOR)	66 Ontario	Toronto Star	April 27, 2001
HANCOCK, Lois M E	Ontario	Toronto Star	November 29, 2005
HANCOCK, Martha	75 Toronto, Ontario	Toronto Star	January 4, 1917
HANCOCK, Matilda Anne "Tillie	Toronto, Ontario	Toronto Star	March 1, 1980
HANCOCK, Mrs Thomas	75 Toronto, Ontario	Toronto Star	January 4, 1917
HANCOCKS, Eleanor Anne	71 Oakville Ontario	Toronto Star	May 23, 2007
HAND, Robert John "BJ / Bob"	84 Abbotsford BC	Toronto Star	January 20, 2007
HAND, William	58 Mississauga Ontario	Toronto Star	May 4, 2001
HAND, William Earl "Bill"	69 Ontario	Toronto Star	July 31, 2000
HANDERSON, Mary Blanche (GUINDON)	76 Mississauga, Ontario	Toronto Star	March 5, 2005
HANDFORTH, Doris Irene (STINSON)	88 Napanee Ontario	Toronto Star	October 23, 2007
HANDLEY, Samuel Arthur	Mississauga, Ontario	Toronto Star	February 18, 1980
HANES, Maurice "Eddy"	Ontario	Toronto Star	July 16, 2006
HANDSON, Elsie (MILSON)	95 Barrie Ontario	Toronto Star	August 22, 2007
HANERACH, Stella (NWII)	Ontario	Toronto Star	October 20, 2007
HANES, Dora V (STILES)	Bracebridge, Ontario	Toronto Star	February 20, 1980
HANES, Kevin Bradley	Kitchener, Ontario	Toronto Star	July 31, 2000
HANEY, Norma	82 Ontario	Toronto Star	May 17, 2007
HANES-DRIELMA, Louise (deVOS)	93 Java / Ontario	Toronto Star	April 7, 2007
HANLEY, Leo J	84 Oakville Ontario	Toronto Star	August 6, 2006
HANLOW, Francis Robert "Frank"	Ontario	Toronto Star	February 1, 1980
HANLOW, Francis Robert "Frank"	Ontario	Toronto Star	February 2, 1980
HANLOW, Marion Joyce (HEWELL)	74 Ontario	Toronto Star	January 9, 2007
HANN, Gladys Marie (CARR)	85 London UK / Richmond Hill Ontario	Toronto Star	May 26, 2007

Canadian Obituary Index including Samuel A. Handley, previous owner of 6985 Second Line W.
Source: TorontoObituaries.com

OBITUARIES

SPC Had Only One Goal Scored Against Them

Pumpkin Parade At Lane Park

Cook Pork Well

OBITUARY

SALE OF CANNED FOODS AT

YOU CAN ALWAYS CUT FOOD COSTS AT DOMINION

GUARANTEED QUALITY MEATS

LAMB SALE!

MIX EM or MATCH EM

BEANS WITH PORK 1 lb. 49¢

CHOICE CORN 1 lb. 21¢

CHOICE PEAS 1 lb. 49¢

TOMATO JUICE 1 lb. 10¢

4 TINS 59¢

BANANAS

2 LBS. 25¢

ORANGES

65¢

ONIONS

33¢

DOMINION WALLPAPER

3.89

Smoked and cured pork such as ham should be cooked to 170 deg. F. on meat thermometer. The interior should be pink, juicy and tender.

OBITUARY

MRS. ALICE HANDLEY

In her 71st year, Mrs. Alice Handley died on October 26 at the South Peel Hospital. She was the wife of Samuel A. Handley, 6985 Second Line W., Cookville, Ont.

Mourning with her husband are three daughters: Ellen (Mrs. Andrew Henderson) of Cheltenham, Ont.; Mrs. Lundy Sutherland of British Columbia; and Mrs. Eric Laver of Toronto, and one son, Arthur, also of Toronto. Her sisters are Mrs. George Francis of Trillia and Mrs. Sally Gibbs of Ayr, Scotland, also survive.

Mrs. Handley was born in Ayr, Scotland, and came to Canada, settling in Ontario in 1912. She had made her home in the South Peel area for some 20 years.

Funeral service took place October 29 in the Fleuty Funeral Chapel, Cookville, and interment followed in St. John's Anglican Cemetery. Rev. Mr. David K. Perry of Dixie Presbyterian Church was officiant.

Palbearers were John Currie, Glen McIntosh, Arthur Handley, Walter, Edward and Jack Harper.

Village Reeve Endorses

(Continued from Page 4)

provincial and dominion government to provide funds for housing.

MEADOWVALE FAIR

Meadowvale Fair - 1969

Meadowvale's residents still held enthusiasm and camaraderie for their Village over the years of growth and revolvment. The first country fair, founded by the Meadowvale Village Community Association, took place in 1969. It was held under the willow trees in the Meadowvale conservation area that became the Credit Valley Conservation Park in 1973, located north of the Village off Second Line West.

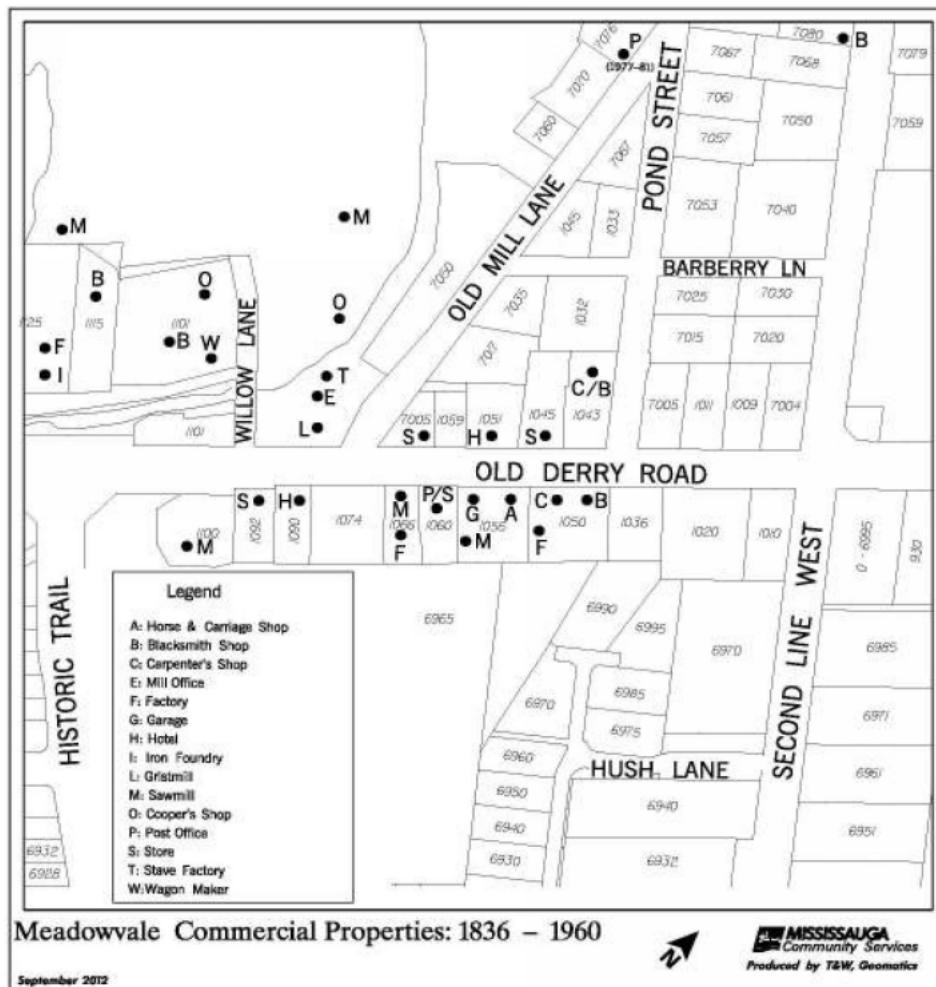
Much entertainment was enjoyed by the hundreds of people who came out. The games chairman was Bill Strachan and he oversaw the tug-of-war, races and other participating contests. The Streetsville Strutters and the Scottish Country Dancers, kilts bobbing, gave a lively show. A barbecue, which was tended by Basil Welch, brought forth burgers, hot dogs and corn on the cob, followed by delicious desserts that were contributed by Mr. and Mrs. Al Stewart, Jim Alexander and Mrs. Joan Geurts. A steer was provided by Ian Davidson and roasts were cooked in the ovens of some of the villagers and slabs of beef were served on a kaiser and sold for \$1.50. The Meadowvale Women's Institute had a Tea Tent. There was also a Craft Tent and various booths that added to the fund raising event. The evening concluded on a dance.

Clippings from THE WEEKLY featuring Alice Handley, wife of Samuel A. Handley, a previous owner of the home at 6985 Second Line W.
Source: The Weekly, November 3, 1960
<http://pub.canadiana.ca>

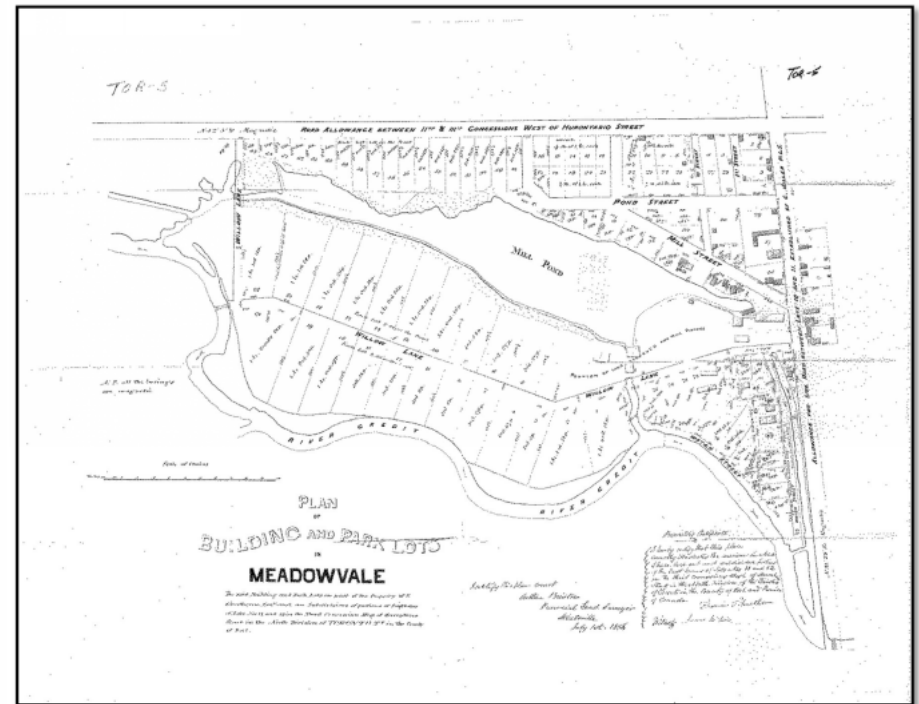
Clipping featuring William (Bill) Strachan a previous owner of the home at 6985 Second Line W.
Source: 1850 - 1950 - Township of Toronto Centennial, Part 4 - 1950-2000
http://www.mississauga.ca/file/COM/9661_MeadowvaleBook_PartFour.pdf

6985 SECOND LINE W - HERITAGE IMPACT ASSESSMENT REPORT

RELATED MAPS



Meadowvale Commercial Properties: 1836-1960
 Source: Heritage Conservation District Plan, 2014
 Cultural Heritage Assessment of Meadowvale Village and Area



Bristow Survey, 1856
 Source: Heritage Conservation District Plan, 2014
 Cultural Heritage Assessment of Meadowvale Village and Area, Schedule B.2

BIBLIOGRAPHY

REFERENCES:

City of Mississauga - Heritage Conservation District Plan 2014
Cultural Heritage Assessment of Meadowvale Village and Area, Schedule B.2
http://www7.mississauga.ca/documents/culture/heritage/FINAL_Cultural_Heritage_Assessment_of_MV_and_Area_Schedule_2014.pdf
<http://www.mississauga.ca/portal/discover/heritageconservationdistricts>

City of Mississauga - Heritage Conservation District Plan 2014
Property Inventory, Schedule B.1
http://www7.mississauga.ca/documents/culture/heritage/FINAL_MV_HCD_Property_Inventory_2014.pdf
<http://www.mississauga.ca/portal/discover/heritageconservationdistricts>

Meadowvale Heritage Conservation District Plan Review - Design Guidelines
http://www.mississauga.ca/file/COM/Powerpoint_presentation_-_March_7__2013.pdf

Canadiana - Public Collections
<http://pub.canadiana.ca/>

Mississauga Interactive Maps
<https://www.mississauga.ca/portal/services/maps>

Township of Toronto Centennial - Part 4
http://www.mississauga.ca/file/COM/9661_MeadowvaleBook_PartFour.pdf

Heritage Mississauga - Meadowvale Village Brochure
<https://www.heritagemississauga.com/assets/Meadowvale%20Village%20Heritage%20Tour%20Brochure%20-%20Final%202011.pdf>

Canadian Obituaries
<https://www.canadianobituaries.com/toronto/52567-arthur-handley-january-26-2017.html>

RESOURCES:

Land Registry Records,
Peel Land Registry Office

Ancestry.ca
<https://www.ancestry.ca>

City of Mississauga, Heritage Planning
<https://www.georgina.ca/living-here/planning-and-development/heritage-planning>

ALEXANDER TEMPORALE CV

Alexander Louis Temporale, B.Arch., O.A.A., F.R.A.I.C., C.A.H.P.

Education

University of Toronto, B.Arch.

Background

Alexander Temporale has had a long history of involvement in heritage conservation, downtown revitalization, and urban design. As a founding partner of Stark Temporale Architects, Mr. Temporale was involved in a variety of restoration projects and heritage conservation studies, including: the Peel County Courthouse and Jail Feasibility Study, the Brampton Four Corners Study and the Meadowvale Village Heritage District Study. The study led to the creation of the first heritage district in Ontario.

His involvement and interest in history and conservation resulted in a long association with the heritage conservation movement, as a lecturer, resource consultant, and heritage planner. He was a member of the Brampton Local Architectural Conservation Advisory Committee, a director of the Mississauga Heritage Foundation, and chairman of the Mississauga LACAC Committee. As a member of LACAC, Alex Temporale was also a member of the Architectural Review Committee for Meadowvale Village. He is also a former Director of the Columbus Centre, Toronto and Visual Arts Ontario. Mr. Temporale has been a lecturer for the Ontario Historical Society on Urban Revitalization and a consultant to Heritage Canada as part of their "Main Street" program.

In 1982, Alexander Temporale formed his own architectural firm and under his direction the nature and scope of commissions continued to grow with several major urban revitalization studies as well as specialized Heritage Conservation District Studies. His work in this field has led to numerous success stories. The Oakville Urban Design and Streetscape Guidelines was reprinted and used for approximately 20 years. The study of the Alexander Homestead (Halton Region Museum Site) led to the Museum's rehabilitation and a significant increase

in revenue. The Master Plan reorganized the site and its uses, as well as facilitating future growth. During this time, Alex received numerous awards and his contribution to architecture was recognized in 2007 in becoming a Fellow of the Royal Architectural Institute of Canada. Many projects have become community landmarks, received awards or been published. These include Lionhead Golf Clubhouse, Brampton; the Emerald Centre, Mississauga; St. David's Church, Maple; Gutowski Residence, Shelburne; Martin Residence, Mississauga and Stormy Point, Muskoka, to name a few.

Mr. Temporale is recognized at the OMB as an expert in urban design and restoration architecture. He is a member of the advisory committee of Perspectives, a journal published by the Ontario Association of Architects. He is a frequent author on design issues. He has also authored numerous urban design studies and heritage studies for a variety of municipalities i.e. Brantford, Grimsby, Brampton, Flamborough and Burlington. The firm has been a recent recipient of the Lieutenant Governor's Award for Excellence in Conservation and the National Heritage Trust's Award for Heritage Rehabilitation of Oakville's historic Bank of Montreal Building. Below are other previous offices held:

Past Offices

- > Director and Chair Communication Committee, CAHP
- > Jurist, 2010 Mississauga Urban Design Awards
- > Chairman, Mississauga Local Architectural Conservation Advisory Committee
- > Director, Visual Arts Ontario
- > President, Port Credit Business Association
- > Director, Brampton Heritage Board
- > Director, Mississauga Heritage Foundation
- > Director, Columbus Centre
- > Director, Villa Columbo, Toronto
- > Resource Consultant, Heritage Canada

Heritage Assessment and Urban Design Studies

- > 114 Balsam Drive Heritage Impact Assessment, Oakville
- > 332-338 Robinson St. Heritage Impact Assessment, Oakville
- > 104 Burnet St. Heritage Assessment, Oakville
- > High Park Forest School Retrofit Feasibility Study, Toronto
- > 2494 Mississauga Road Heritage Impact Assessment, Mississauga
- > 1187 Burnhamthorpe Road East Heritage Assessment, Oakville
- > 103 Dundas Street Heritage Assessment, Oakville
- > 3060 Seneca Drive Heritage Assessment, Oakville
- > 491 Lakeshore Road (Captain Morden Residence) Heritage Assessment, Oakville
- > 2347 Royal Windsor Drive Heritage Assessment, Oakville
- > 107 Main St. E. Heritage Assessment, Grimsby
- > 74 & 76 Trafalgar Road Heritage Assessment and Urban Design Brief, Oakville
- > 7005 Pond Street Heritage Assessment, Meadowvale
- > 7015 Pond Street (Hill House) Heritage Assessment, Meadowvale
- > 44 and 46 Queen Street South Heritage Assessment, Streetsville
- > 264 Queen Street South (Bowie Medical Hall) Heritage Assessment, Streetsville
- > Fred C. Cook Public School Heritage Assessment, Bradford West Gwillimbury
- > Harris Farm Feasibility Study, City of Mississauga
- > Benares Condition Assessment Report, City of Mississauga
- > Lyon Log Cabin Relocation, Oakville, Ontario
- > 42 Park Avenue Heritage Assessment, Oakville, Ontario
- > The Old Springer House Heritage Assessment, Burlington, Ontario
- > 2625 Hammond Road Heritage Impact Study, Mississauga, Ontario
- > 153 King Street West Heritage Assessment, Dundas, Ontario
- > Brampton Civic Centre Study, Brampton, Ontario
- > 139 Thomas Street Heritage Impact Study, Oakville, Ontario
- > Historic Alderlea Adaptive Reuse and Business Case Study, Brampton, Ontario
- > Trafalgar Terrace Heritage Impact Study, Oakville, Ontario
- > Binbrook Heritage Assessment, Glanbrook, Ontario

- > Fergusson Residence, 380 Mountainbrow Road, Burlington, Ontario, Heritage Assessment
- > Canadian Tire Gas Bar, 1212 Southdown Road, Mississauga, Ontario, Heritage
- > Donald Smith Residence, 520 Hazelhurst Road, Mississauga, Ontario, Heritage Assessment
- > Hannon Residence, 484 Brant Street, Burlington, Ontario, Heritage Assessment
- > Bodkin Residence, 490 Brant Street, Burlington, Ontario, Heritage Assessment
- > Fuller Residence, 8472 Mississauga Road, Brampton, Ontario, Heritage Assessment
- > 11953 Creditview Road, Chinguacousy Township, Brampton, Ontario Assessment
- > Historic Meadowvale Village Inventory/Heritage Assessment Study (Stark Temporale)
- > Brampton Four Corners Urban Design Study (Stark Temporale)
- > Erindale Village Urban Design Study (Stark Temporale)
- > Oakville Downtown Urban Design and Site Plan Guidelines Study
- > Burlington Downtown, Urban Design and Façade Improvement Study
- > Burlington East Waterfront Study
- > Victoria Park Square Heritage District Study, Brantford
- > Bullock's Corners Heritage Conservation District Study, Town of Flamborough
- > Brant Avenue Heritage Conservation District Study, Brantford
- > Urban Design Guidelines for Infill Development, Town of Oakville
- > 111 Forsythe, OMB Urban Design Consultant, Town of Oakville
- > Trafalgar Village Redevelopment, Urban Design Consultant, Town of Oakville
- > Eagle Ridge (Three Condominium Towers) Development, Urban Design Consultant
- > Trafalgar Market Redevelopment, Urban Design Consultant, Town of Oakville
- > St. Mildred Lightbourne Private School Expansion, Urban Design Consultant, Town of Oakville
- > OPP Academy (Art Deco Heritage Building), Feasibility Study, City of Brampton
- > Kennedy Road, Victorian Farmhouse Study, City of Brampton
- > Chisholm Estate Feasibility Study, City of Brampton
- > Urban Design Guidelines, Hurontario and 403, Housing for Ontario Realty Corporation, Mississauga
- > Urban Design Study Canadian General Tower Site, Oakville
- > Port Credit Storefront Urban Design Study (Townpride)
- > Port Credit Streetlighting Phases I and II, Lakeshore Road

6985 SECOND LINE W - HERITAGE IMPACT ASSESSMENT REPORT

- > Urban Design Study for the Town of Grimsby Downtown Area
- > Clarkson Village Community Improvement Study as a member of the Townpride Consortium
- > Richmond Hill Downtown Study, as a member of the Woods Gordon Consortium
- > Heritage Building, 108 – 116 Sparks Street, Ottawa, Feasibility Study for National Capital Commission
- > Niagara Galleries Project, Niagara-on-the-Lake, Design Concept/Feasibility Study
- > Aurora Library/Public Square Study (Townpride)
- > Oakville Dorval Glen Abbey Study of High Density Residential
- > Halton Regional Museum (Feasibility Study and Master Plan) Phase I construction including conversion of the Alexander Barn to Museum and Exhibits Building to Visitor Centre.

Partial List of Heritage Restoration Projects

- > St Mark's Church Restoration/Rehabilitation, Hamilton
- > Pinchin Barn Foundation Repairs & Landscape Improvements, Mississauga
- > Stewart Memorial Church Heritage Grant Application Package, Hamilton
- > 126-128 Lakeshore Road East Façade Restoration, Oakville
- > Oakville Radial Railway Station, Contract Drawings, May construction start, Oakville
- > Old Springer House, Addition Design, Burlington
- > 505 Church and Wellesley, Schematic Design, Rehabilitation and Addition, Toronto
- > Adamson House Roof Repair, Mississauga
- > Restoration/Maintenance of 4 City of Mississauga Properties, Adamson Estate, Restoration Benares Historic House, Derry House and Chappell Estate
- > The Old Springer House Renovation and Replacement of Existing Banquet Hall, Burlington, Ontario
- > Historic Bank of Montreal Building, Restoration and Addition, Oakville, Ontario
- > Fergusson House Restoration, Burlington, Ontario
- > Bovaird House Window Restoration, Brampton, Ontario
- > Vickerman Residence Renovations Design, Oakville, Ontario
- > Ontario Agricultural Museum, Master Plan Revisions (Stark Temporale with Prof. Anthony Adamson)
- > Restoration of Lucas Farmhouse and Women's Institute (Stark Temporale with Prof. Anthony Adamson).
- > Backus Conservation Area, Master Plan of Historical Museum (Stark Temporale)
- > Peel County Courthouse & Jail Feasibility Study (Stark Temporale)
- > Port Credit Streetscape Improvements (Stark Temporale)
- > Miller Residence, Stone Farmhouse, Brampton (Stark Temporale)
- > Salkeld Residence, Brick, Late Victorian, Brampton (Stark Temporale)
- > Bridges Residence, Brick, Late Victorian, Brampton (Stark Temporale)
- > Graff Residence, Brick, Late Victorian, Brampton (Stark Temporale)
- > Sheridan Day Care Centre, Late Victorian Farmhouse (Stark Temporale)
- > St. Paul's Church Renovation/Restoration, Brampton (Stark Temporale)
- > McInnis Residence, Second Empire Style Renovation/Addition, Brampton (Stark Temporale)
- > Shore Residence, Main Street, Victorian Addition/Renovation Brampton (Stark Temporale)
- > Watts Residence, Late Victorian, Renovation and Addition, Brampton
- > Faculty Club Renovations and Interiors, Heritage Building, University of Toronto
- > Cawthra Elliot Estate Conference Centre (Feasibility Study; Restoration and Renovations), Mississauga
- > Springbank Centre for the Visual Arts, Renovation Phases I-IV, Mississauga
- > Wilcox Inn Renovations and Restoration, Mississauga
- > Chappel Riverwood Estate, Restoration and Alterations Concepts for residential use
- > Thomas Street Mews, Streetsville, conversion of existing heritage residence to shops
- > Owens-Baylay House, Mississauga, relocation and renovation to designated Century Farmhouse
- > Queen Street Store, Streetsville, exterior restoration and renovations/addition
- > Atchinson Residence, Brick Late Victorian, Brampton
- > Cameron Residence, Design Victorian, Brampton
- > Reid Residence, Victorian Farmhouse, Caledon
- > Stonehaven Farm, restoration of stone heritage building, Ajax
- > National Competition: Spark Street Mall (Honourable Mention)
- > Strathrobyn Feasibility Study and Restoration Project, Defence Canada, Toronto
- > Medical Arts Building, Toronto, Feasibility Study and Restoration of Art Deco Lobby





DERRY AND SECOND LINE

City of Mississauga
Memorandum



Date: 2018/04/11
To: Chair and Members of Heritage Advisory Committee
From: Paul Damaso, Director, Culture Division
Meeting Date: 2018/05/08
Subject: 29 Port Street West

This memorandum and its attachments are presented for HAC's information.

The subject property is designated under Part V of the Ontario Heritage Act as it forms part of the Old Port Credit Village Heritage Conservation District. At the April 2018 Heritage Advisory Committee meeting, a request was made for a review of the Heritage Advisory Committee recommendation related to the 2017 request to alter. The relevant recommendation and minutes are attached as Appendix 1. "Before and after" front elevation drawings of the proposal are attached as Appendix 2.

Attachments

Appendix 1: Recommendation and Minutes from Legislative Services

Appendix 2: "Before and After" Front Elevation Drawings

A handwritten signature in black ink, appearing to read 'Paul Damaso', written in a cursive style.

Paul Damaso, Director, Culture Division

Prepared by: Paula Wubbenhorst, Heritage Planner

Further to your request, attached is a copy of the HAC June 13, 2017 minutes which speaks to the Request to Alter a Heritage Designated Property: 29 Port Street West (Ward 1). The recommendation that emanated from this meeting, was presented to General Committee on June 28, 2017 and adopted by Council on July 5, 2017.

GC-0417-2017

1. That the proposed alteration to 29 Port Street West, as per the Corporate Report from the Commissioner of Community Services, dated May 18, 2017, be approved.
2. That if any changes result from other City review and approval requirements, such as, but not limited to, building permit, Committee of Adjustment or site plan approval, a new heritage permit application may be required. The applicant is required to contact Heritage Planning at that time to review the changes prior to obtaining other approvals and commencing construction.
3. That the Heritage Advisory Committee review the Committee of Adjustment application once it is submitted to the City by the applicant.
4. That the Owner be requested to work with staff to reduce the visual impact of the side addition by considering to lower the height of the roof ridge and change the side gable roof to a hip roof.

(HAC-0045-2017)

Regards,
Angie



Angie Melo
Legislative Coordinator
T 905-615-3200 ext.5423
angie.melo@mississauga.ca

[City of Mississauga](#) | Corporate Services Department,
Legislative Services Division

Please consider the environment before printing.

City of Mississauga Minutes



(Approved July 11, 2017)

Heritage Advisory Committee

Date

2017/06/13

Time

9:30 AM

Location

Civic Centre, Council Chamber,
300 City Centre Drive, Mississauga, Ontario, L5B 3C1 Ontario

Members Present

Councillor George Carlson, Ward 11 **(Chair)**
Rick Mateljan, Citizen Member **(Vice-Chair)**
Councillor Carolyn Parrish, Ward 5
Michael Battaglia, Citizen Member
Elizabeth Bjarnason, Citizen Member
Robert Cutmore, Citizen Member
James Holmes, Citizen Member (left at 10:42)
Cameron McCuaig, Citizen Member
Melissa Stolarz, Citizen Member
Matthew N. Wilkinson, Citizen Member

Members Absent

David Dodaro, Citizen Member
Lindsay Graves, Citizen Member

Staff Present

Mark Warrack, Manager, Culture and Heritage Planning
Paula Wubbenhorst, Senior Heritage Coordinator, Culture Division
Cecilia Nin Hernandez, Heritage Coordinator, Culture Division
Mumtaz Alikhan, Legislative Coordinator

Find it online

<http://www.mississauga.ca/portal/cityhall/heritageadvisory>

1. CALL TO ORDER – 9:33 am
2. APPROVAL OF AGENDA
APPROVED (Councillor C. Parrish)
3. DECLARATION OF CONFLICT OF INTEREST – Nil.
4. MINUTES OF PREVIOUS MEETING
- 4.1. Approval of Minutes of Meeting held on May 9, 2017
APPROVED (R. Cutmore)
5. DEPUTATIONS
- 5.1. Old Port Credit Village Heritage Conservation District (HCD) Plan Review - Peter Stewart, George Robb Architect

Peter Stewart, George Robb Architect, and Nick Bogaert, MHBC Planning, provided an overview of the project to update the Old Port Credit Village Heritage Conservation District Plan (HCD Plan) which guides changes in the area to ensure the character is maintained. Mr. Stewart said the review will look at an expansion of the HCD area and provide clear and visually accessible design guidelines to improve the current heritage permit application process, provide guidelines for green initiatives, First Nations recognition, public realm improvements, and increased promotion to identify Old Port Credit Village as a place of interest. Mr. Bogaert spoke to a proposed recommendation to extend the HCD boundary to include the Port Credit Marina and the City owned lands on the east side, tax incentives, and building inventory. He outlined the next steps will include more public consultations prior to a presentation of the draft HCD Plan to the Committee in early 2018 and Council in Spring 2018.

The Committee commented as follows:

- public realm lighting strategy;
- with the proposed expansion of the boundary, look at the possibility of combining the original land use by First Nations with the European influence;
- keep the older photographs for people to see exactly how the area has evolved;
- extend Mississauga Road Scenic Route down to the Lake;
- ensure transition between both sides of the Mississauga Road Scenic Route;
- that the proponent of the Port Credit West Village development (70 Mississauga Road South) present the heritage aspects of their proposal to the Committee.

RECOMMENDATION

HAC-0044-2017

1. That the deputation by Peter Stewart, George Robb Architect, with respect to the Old Port Credit Village Heritage Conservation District Plan Review to the Heritage Advisory Committee dated June 13, 2017, be received;

2. That the proponent of the Port Credit West Village development (70 Mississauga Road South) present the heritage aspects of their proposal to the Heritage Advisory Committee.

RECEIVED (R. Cutmore)

6. PUBLIC QUESTION PERIOD

Lilia D'Ovidio spoke with respect to Item 5.1. noting her concern that the west side of the proposed Port Credit West Village development is beautifully buffered and asked that the east side be similarly buffered. Councillor Carlson said that there is a lot of work to be done and advised Ms. D'Ovidio to contact her local Councillor regarding her concerns.

7. MATTERS TO BE CONSIDERED

7.1. Request to Alter a Heritage Designated Property: 29 Port Street West (Ward 1)

The Committee felt that a simplified approach would be more appropriate as the current proposal makes the massing of the building incongruous and not typical of the neighbourhood. Ms. Cecilia Nin Hernandez responded that the spectrum to interpretation is wide in the Heritage District Plan which is a guideline, not a by-law, and therefore would not be defensible if the request was denied.

The Committee requested the Owner, Mr. Tyler Goss, to consider working with staff to reduce the visual impact by lowering the height of the roof ridge. Mr. Goss expressed his willingness to do so.

RECOMMENDATION

HAC-0045-2017

1. That the proposed alteration to 29 Port Street West, as per the Corporate Report from the Commissioner of Community Services, dated May 18, 2017, be approved.
2. That if any changes result from other City review and approval requirements, such as, but not limited to, building permit, Committee of Adjustment or site plan approval, a new heritage permit application may be required. The applicant is required to contact Heritage Planning at that time to review the changes prior to obtaining other approvals and commencing construction.
3. That the Heritage Advisory Committee review the Committee of Adjustment application once it is submitted to the City by the applicant.
4. That the Owner be requested to work with staff to reduce the visual impact of the side addition by considering to lower the height of the roof ridge and change the side gable roof to a hip roof.

APPROVED (M. Wilkinson)

7.2. Request to Alter a Heritage Designated Property: 39 Peter Street South (Ward 1)

Cecilia Nin Hernandez, Heritage Coordinator, distributed Appendix 2, an Application for Minor Variance which was missing from the agenda for the Committee's information.

RECOMMENDATION

HAC-0046-2017

1. That the proposed alteration to 39 Peter Street South, as per the Corporate Report from the Commissioner of Community Services, dated May 18, 2017, be approved.
2. That if any changes result from other City review and approval requirements, such as, but not limited to, building permit, Committee of Adjustment or site plan approval, a new heritage permit application may be required. The applicant is required to contact Heritage Planning at that time to review the changes prior to obtaining other approvals and commencing construction.

APPROVED (R. Mateljan)

7.3. Request to Alter 1723 Birchwood Drive (Ward 2)

Corporate Report dated May 18, 2017 from the Commissioner of Community Services.

RECOMMENDATION

HAC-0047-2017

That the request to install a shed at 1723 Birchwood Drive, as per the report from the Commissioner of Community Services, dated May 18, 2017, be approved with the caveat that the potentially impacted trees continue to be maintained.

APPROVED (R. Cutmore)

7.4. Request to Alter the City Boulevard in front of 111 Lakeshore Road West

Corporate Report dated May 18, 2017 from the Commissioner of Community Services.

RECOMMENDATION

HAC-0048-2017

That the request to alter the City boulevard in front of 111 Lakeshore Road West, as per the report from the Commissioner of Community Services, dated May 18, 2017, be approved.

APPROVED (M. Stolarz)

7.5. Correction to Heritage Register Changes Pertaining to Reduction of Mineola Cultural

Landscape (Ward 1)

Ms. Wubbenhorst spoke to the minor corrections and that the residents will be notified in consultation with Ward 1 Councillor.

RECOMMENDATION

HAC-0049-2017

That the corrections to the Heritage Register pertaining to the Reduction of the Mineola Cultural Landscape, as per the Corporate Report from the Commissioner of Community Services, dated May 31, 2017, be approved.

APPROVED (R. Mateljan)

8. SUBCOMMITTEE UPDATES

8.1. Heritage Designation Sub-Committee - Nil

8.2. Public Awareness Sub-Committee - Nil

9. INFORMATION ITEMS

Ms. Wubbenhorst distributed and spoke to the Memorandum dated June 1, 2017 from Paul Damaso, Director, Culture Division.

RECOMMENDATION

HAC-0050-2017

That the Memorandum dated June 1, 2017 from Paul Damaso, Director, Culture Division, with respect to amending Subsection 89(8) of Council Procedure By-law 0139-2013, as amended, delegating summer and election recess authority to the Director of Culture Division (or designate) for specific matters under the *Ontario Heritage Act*, be received for information.

RECEIVED (Councillor C. Parrish)

10. OTHER BUSINESS

- (a) In response to Councillor Parrish with respect to formal submissions to Committee of Adjustment from the Committee or the Chair, Councillor Carlson responded that he will consult Legal Services for advice on this matter.
- (b) Ms. Wubbenhorst sought the Committee's consideration with respect to the design of the heritage designation plaques; members of the Committee felt that no changes were warranted at this time.

11. DATE OF NEXT MEETING – July 11, 2017, Hearing Room, 2nd Floor.

Heritage Advisory Committee**2017/06/13****6**

12. ADJOURNMENT – 11:20 am



1/8" = 1' - 0"
FRONT ELEVATION - OPT. 2

HUIS
DESIGN STUDIO

HUIS DESIGN STUDIO
CUSTOM HOME DESIGN AND RENOVATIONS
2807 DIXIE ROAD | MISSISSAUGA, ONTARIO L4Y 2H1
T 905.208.9655 | E INFO@HUISDESIGNSTUDIO.CA
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GENERAL NOTES

DRAWINGS ARE TO BE READ NOT SCALED. DO NOT BEGIN CONSTRUCTION UNTIL DESIGNER OR PROJECT MANAGER HAS BEEN NOTIFIED UPON COMPLETION OF ANY STAGE OF CONSTRUCTION. THE DESIGNER OR PROJECT MANAGER SHALL BE NOTIFIED TO ENSURE PROPER INSPECTION. ALL DESIGN AND CONSTRUCTION DOCUMENTATION ARE FINAL UNLESS REVISED BY THE DESIGNER. IF ANY DISCREPANCIES ARE DISCOVERED HERE WITHIN, THE DESIGNER SHALL BE NOTIFIED. THE DRAWINGS AND DOCUMENTS PROVIDED HERE WITHIN ARE THE EXCLUSIVE PROPERTY OF HUIS DESIGN STUDIO. REPRODUCTION OF THE DOCUMENTS PROVIDED IS PROHIBITED WITHOUT THE CONSENT OF THE DESIGNER.

QUALIFICATION INFORMATION

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AS WELL AS HAVING THE QUALIFICATION AND REQUIREMENTS MANDATED BY THE ONTARIO BUILDING CODE TO BE A DESIGNER.

REGISTRATION INFORMATION
REQUIRED UNLESS THE DESIGN IS EXEMPT UNDER DIV. C-3.2.4 OF THE ONTARIO BUILDING CODE

DESIGNER'S NAME: B.C.I.N.

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DESIGNER'S NAME: B.C.I.N.

REVISION LIST

NO.	REVISION	DATE	BY
1	For Heritage Advisory Committee	05.10.2017	MM/DD/YYYY
2			MM/DD/YYYY
3			MM/DD/YYYY
4			MM/DD/YYYY
5			MM/DD/YYYY

TABLE LIST

NO.	TABLE	DATE	BY
1	For Heritage Advisory Committee	05.10.2017	MM/DD/YYYY
2			MM/DD/YYYY
3			MM/DD/YYYY
4			MM/DD/YYYY
5			MM/DD/YYYY

PROJECT NORTH



TRUE NORTH



DRAWING TITLE: OPTIONAL FRONT ELEVATION

DRAWN BY: J.D. CHECKED BY: J.D.

PROJECT ADDRESS: 29 PORT STREET

PROJECT NO.: 2016-132 SCALE: 1/8" = 1' - 0"

SHEET NO. A201A



1/4"=1'-0"
FRONT ELEVATION

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FIRM NAME B.C.I.N.

REVISION LIST

1	Revised for HAC comments (#1)	06.29.2017
2	Revised for HAC comments (#2)	07.26.2017
3	REVISED AS PER CITY COMMENTS	12.05.2017
4	-	MM.DD.YYYY
5	-	MM.DD.YYYY

ISSUE LIST

1	For Heritage Advisory Committee	05.10.2017
2	-	MM.DD.YYYY
3	-	MM.DD.YYYY
4	-	MM.DD.YYYY
5	-	MM.DD.YYYY

PROJECT NORTH:

TRUE NORTH:



DRAWING TITLE:

ARCHITECTURAL ELEVATIONS

DRAWN BY:

JH CHECKED BY: J.D.

PROJECT ADDRESS:

29 PORT STREET

PROJECT NO.

2016-132

SHEET NO.

SCALE: 1/4" = 1'-0"

A201