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## Heritage Advisory Committee

**Date**

2018/04/10

**Time**

9:30 AM

**Location**

Civic Centre, Council Chamber,  
300 City Centre Drive, Mississauga, Ontario, L5B 3C1

**Members**

Councillor George Carlson, Ward 11 (Chair)  
Rick Mateljan, Citizen Member (Vice-Chair)  
Councillor Carolyn Parrish, Ward 5  
Michael Battaglia, Citizen Member  
Elizabeth Bjarnason, Citizen Member  
Robert Cutmore, Citizen Member  
Lindsay Graves, Citizen Member  
James Holmes, Citizen Member  
Cameron McCuaig, Citizen Member  
Melissa Stolarz, Citizen Member  
Matthew N. Wilkinson, Citizen Member

**Contact**

Mumtaz Alikhan, Legislative Coordinator, Legislative Services  
905-615-3200 ext. 5425  
[mumtaz.alikhan@mississauga.ca](mailto:mumtaz.alikhan@mississauga.ca)

**NOTE:** To support corporate waste reduction efforts the large  
appendices in this agenda can be viewed at:  
<http://www.mississauga.ca/portal/cityhall/heritageadvisory.ca>

**Find it Online**

<http://www.mississauga.ca/portal/cityhall/heritageadvisory>



1. CALL TO ORDER
2. APPROVAL OF AGENDA
3. DECLARATION OF CONFLICT OF INTEREST
4. MINUTES OF PREVIOUS MEETING
  - 4.1. Heritage Advisory Committee Minutes - March 6, 2018
5. DEPUTATIONS
6. PUBLIC QUESTION PERIOD - 15 Minute Limit (5 Minutes per Speaker)

Pursuant to Section 42 of the Council Procedure By-law 0139-2013, as amended the Heritage Advisory Committee may grant permission to a member of the public to ask a question of the Committee with the following provisions:

  1. The question must pertain to a specific item on the current agenda and the speaker will state which item the question is related.
  2. A person asking a question shall limit any background explanation to two (2) statements, followed by the question.
  3. The total speaking time shall be five (5) minutes maximum per speaker.
7. MATTERS TO BE CONSIDERED
  - 7.1. Request to Alter a Heritage Designated Property: 1352 Lakeshore Road East (Ward 1) - Public Artworks
  - 7.2. Request to Alter a Heritage Designated Property: 1234 Old River Road (Ward 1)
  - 7.3. Request to Demolish a Heritage Listed Property: 78 Park Street East (Ward 1)
  - 7.4. Request to Demolish a Heritage Listed Property: 7228 Ninth Line (Ward 10)
  - 7.5. Request to Demolish a Heritage Listed Property: 560 Shenandoah Drive (Ward 2)
  - 7.6. Request to Demolish a Heritage Listed Property: 6685 Century Avenue (Ward 9)
  - 7.7. Alterations to a Property adjacent to the Meadowvale Village Heritage Conservation District: 6985 Second Line West (Ward 11)
  - 7.8. Alterations to a Property designated under the Ontario Heritage Act: 5576 Hurontario Street (Ward 5)
  - 7.9. Alterations to a Property adjacent to a Property designated under the Ontario Heritage Act: 185 Derry Road West (Ward 11)

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- 7.10. New Construction on Listed Property: 2351 Mississauga Road
  - 7.11. Minor Variance Application: 34 John Street South (Ward 1)
  - 7.12. Minor Variance Application: 29 Port Street West (Ward 1)
  - 7.13. 2018 Ontario Heritage Conference - June 7 - 9, 2018
  8. SUBCOMMITTEE UPDATES
  9. INFORMATION ITEMS
  - 9.1. Normal Tariff Fees at Land Registry Offices for Municipal Heritage Committee Members and their Assistants
  - 9.2. Notice of Design and Construction Report Submission - Contract 1 - Queen Elizabeth Way (QEW) Improvements from West of Etobicoke Creek to the East Mall (Contract 1), Ontario Ministry of Transportation and Class Environmental Study - G.W.P.2432-13-00
  10. OTHER BUSINESS
  11. DATE OF NEXT MEETING - May 8, 2018
  12. ADJOURNMENT



# City of Mississauga Minutes



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## Heritage Advisory Committee

### Date

2018/03/06

### Time

9:30 AM

### Location

Civic Centre, Council Chamber,  
300 City Centre Drive, Mississauga, Ontario, L5B 3C1 Ontario

### Members Present

Councillor George Carlson, Ward 11 **(Chair)**  
Rick Mateljan, Citizen Member **(Vice-Chair)**  
Elizabeth Bjarnason, Citizen Member  
Robert Cutmore, Citizen Member  
Lindsay Graves, Citizen Member  
James Holmes, Citizen Member  
Cameron McCuaig, Citizen Member  
Melissa Stolarz, Citizen Member  
Matthew N. Wilkinson, Citizen Member

### Members Absent

Michael Battaglia, Citizen Member  
Councillor Carolyn Parrish, Ward 5

### Staff Present

Mark Warrack, Manager, Culture and Heritage Planning  
Joe Muller, Supervisor, Heritage Planning  
Paula Wubbenhorst, Heritage Planner, Culture Division  
Mumtaz Alikhan, Legislative Coordinator

### Find it online

<http://www.mississauga.ca/portal/cityhall/heritageadvisory>

1. CALL TO ORDER -9:35 am

2. APPROVAL OF AGENDA

The Chair noted that there are two additional Items 7.6 and 7.7 for the Committee's consideration today.

**APPROVED** (R. Mateljan)

3. DECLARATION OF CONFLICT OF INTEREST RM

R. Mateljan declared conflicts with Items 7.2 and 7.2.

4. MINUTES OF PREVIOUS MEETING

4.1. Heritage Advisory Committee Minutes of February 6, 2018

**APPROVED** (M. Stolarz)

5. DEPUTATIONS - Nil

6. PUBLIC QUESTION PERIOD - Nil

7. MATTERS TO BE CONSIDERED

R. Mateljan left the meeting for conflicts with Items 7.1 and 7.2.

7.1. Request to Alter a Heritage Designated Property: 1050 Old Derry Road (Ward 11)

J. Holmes noted that the proposal is positive and is in keeping with the character of the area.

**RECOMMENDATION**

HAC-0029-2018

That the request to alter the property at 1050 Old Derry Road as per the Corporate Report from the Commissioner of Community Services dated February 8, 2018, be approved.

**APPROVED** (J. Holmes)

7.2. Request to Alter a Heritage Designated Property: 34 John Street South (Ward 1)

R. Cutmore noted that the proposal is a positive improvement and will provide a precedence for others in the immediate area.

Robert Denhollander, Resident, Old Port Credit Village, agreed with Mr. Cutmore and

noted that the proposal will prove to be an enhancement.

**RECOMMENDATION**

HAC-0030-2018

That the proposed alteration of 34 John Street South, as per the Corporate Report from the Commissioner of Community Services, dated February 8, 2018, be approved.

**APPROVED** (R. Cutmore)

At this point Mr. Mateljan returned to the meeting.

7.3. Request to Demolish a Heritage Listed Property: 1775 Fifeshire Court (Ward 8)

**RECOMMENDATION**

HAC-0031-2018

That the property at 1775 Fifeshire Court, which is listed on the City's Heritage Register, is not worthy of heritage designation, and consequently, that the owner's request to demolish proceed through the applicable process.

**APPROVED** (M. Wilkinson)

7.4. Heritage By-law Revision

Paula Wubbenhorst, Heritage Planner, reviewed the key language changes proposed to be in keeping with the Heritage Act. She said that the revision to the By-law will also delegate authority to staff to approve alterations in heritage conservation districts with limitations.

Members of the Committee expressed support in principal for requests that meet the guidelines in order to speed up the process, but noted that key stakeholders must be communicated with. Heritage staff suggested that requests that do not meet the City's guidelines would be brought to the Heritage Advisory Committee (HAC) for direction and that the Meadowvale Village Heritage Conservation District (HCD) Advisory Sub-Committee will be advised and consulted as to the new process.

The Committee agreed to M. Wilkinson's suggestion that a list be provided to HAC of requests on a bi-monthly basis.

In response to the comments from Mr. Denhollander, Mark Warrack, Manager of Culture Planning, advised that the City is currently in the process of reviewing the Old Port Credit Village HCD Plan and a formal sub-committee of residents would be struck similar to the Meadowvale Village HCD Advisory Sub-Committee when a new Council is in place.

**RECOMMENDATION**

HAC-0032-2018

1. That a revised heritage by-law be adopted, as per the Corporate Report dated February 20, 2018 from the Commissioner of Community Services, substantially in compliance with Appendix 1.

2. That Legal Services be directed to complete the appropriate set fine applications and seek the approval of the Ministry of the Attorney General for the related orders by the Senior Regional Justice.

**APPROVED** (R. Mateljan)

7.5. 2018 Work Plan

Paula Wubbenhorst, Heritage Planner, reviewed the 2018 Heritage Planning Work Plan.

Mr. Warrack spoke to the Heritage Management Strategy which includes the *Story of M*, the Cultural Landscape Inventory Reassessment, providing input to the Heritage Facilities and Asset Management Project, and an Archaeology Master Plan business case. He said that the Cultural Landscape Inventory Reassessment will be undertaken in two phases and will involve the hiring of consultants. Mr. Warrack noted that there are not three, but two City owned heritage listed properties identified for designation.

**RECOMMENDATION**

HAC-0033-2018

That the 2018 Heritage Planning Work Plan, as outlined in Appendix 1 of the Memorandum dated February 6, 2018 from Paul Damaso, Director of Culture Division, be received for information.

**RECEIVED** (M. Stolarz)

7.6. Request to Alter a Heritage Designated Property: 5520 Hurontario Street (Ward 5)

**RECOMMENDATION**

HAC-0034-2018

That the request per the Heritage Property Permit Application dated February 27, 2018 from the Peel District School Board to alter the property known as Gardner-Dunton House located at 5520 Hurontario Street (Ward 5), be approved.

**APPROVED** (M. Wilkinson)

7.7. Committee of Adjustment Minor Variance Application for a Heritage Designated Property at 29 Port Street West (Ward 1)

Mr. Denhollander noted that the residents of the Old Port Credit Village just found out about this Application and had had no time to prepare. He requested that the Committee defer a decision.

Councillor Carlson advised that this matter was before the Committee for information and that the concerns from the residents of the Old Port Credit Village must be voiced at the Committee of Adjustment meeting scheduled on March 8, 2018 as this is the quasi-

judicial body makes decisions on minor variance applications.

In response to Mr. Denhollander's concern that the Committee is not able to exercise any authority on this matter, Ms. Wubbenhorst advised that in June 2017, HAC had considered and approved the alteration request which had subsequently been adopted by Council, and Section 3.1.6 of the Old Port Credit Village Heritage Conservation District Plan states that variance applications must be reviewed by the Heritage Advisory Committee.

Mr. Mateljan said that in order to make their case, the residents should take note of the four tests in the *Planning Act* that the Committee of Adjustment will be basing a decision on with respect to this Application.

### **RECOMMENDATION**

HAC-0035-2018

That the Committee of Adjustment Minor Variance Application dated February 2, 2018 for a Heritage Designated Property located at 29 Port Street West (Ward 1), be received for information.

**RECEIVED** (J. Holmes)

## 8. SUBCOMMITTEE UPDATES

8.1. Heritage Designation Sub-Committee - Nil

8.2. Public Awareness Sub-Committee -Nil

## 9. INFORMATION ITEMS

9.1. Mayor's Letter re Federal Action on Conservation of Heritage Properties dated February 8, 2018

### **RECOMMENDATION**

HAC-0036-2018

That the letter dated February 6, 2018 from Mayor Bonnie Crombie to Hon. Catherine McKenna, Minister of Environment and Climate Change in Canada with respect to implementation of the recommendations of the federal House of Commons Standing Committee on Environment and Sustainable Development regarding the preservation of Canada's heritage, be received for information.

**RECEIVED** (M. Wilkinson)

## 10. OTHER BUSINESS

(a) Mr. Warrack introduced Joe Muller, the new Supervisor of Heritage Planning. The Chair and Members of the Committee welcomed Mr. Muller to the City.



- (b) Committee Members expressed best wishes to Mark Warrack on his forthcoming retirement and extended their appreciation for his considerable efforts towards the City's heritage preservation over the past 30 years.
11. DATE OF NEXT MEETING - April 10, 2018
13. ADJOURNMENT – 10:57 am

DRAFT

# City of Mississauga

## Corporate Report



Date: 2018/03/23

To: Chair and Members of Heritage Advisory Committee

From: Paul Mitcham, P. Eng, MBA, Commissioner of  
Community Services

Originator's files:

Meeting date:  
2018/04/10

### Subject

**Request to Alter a Heritage Designated Property: 1352 Lakeshore Road East (Ward 1) – Temporary Public Artworks**

### Recommendation

That the request to install temporary artworks on the chimney and the roof of a Heritage Designated Property located at 1352 Lakeshore Road East, as per the Corporate Report from the Commissioner of Community Services, dated March 23<sup>rd</sup>, 2018, be approved.

### Background

Section 33 of the Ontario Heritage Act requires permission from Council to alter property designated under Part IV of the Act. The City designated the subject property – the Small Arms Administration Building – in 2009 and approved an adaptive re-use in 2017. The adapted portion of the building – the rear half – is set to open as a creative hub in June 2018. To commemorate/celebrate this milestone, the City proposes to install two (two year) public artworks that may have temporary impact on the heritage attributes. The designation by-law is attached as Appendix 1.

### Comments

Two public artworks are proposed, one to be installed on the chimney, the other on the roof. (The proposal calls are attached as appendices 2 and 3 respectively.) The chimney artwork “may partially or fully cover the chimney” and “may be bracketed, strapped, wrapped, projected onto, or attached by [another means] that does not compromise the heritage brickwork.” The roof artwork, which is meant to be light-based, “may partially or fully cover the length of the roof.” It “may [also] be bracketed, strapped, wrapped, projected onto, or attached by [another means] that does not compromise the heritage brickwork.” Any “artwork installed on the roof must not perforate the roof’s membrane.”

The commissions have yet to be awarded. The purpose of this report is to provide a blanket approval in time for the artworks to be manufactured and installed on schedule for the facility launch. As both artworks must be reversible and are not to compromise the brickwork or building proper, the alterations should be approved.

## Financial Impact

There is no financial impact.

## Conclusion

The owner of 1352 Lakeshore Road East requests permission to install artworks on the chimney and roof of the building. The proposal must be reversible and would not compromise the brickwork or the building proper; as such, it should be approved.

## Attachments

Appendix 1: Heritage Designation By-law 258-2009

Appendix 2: Small Arms Building Temporary Public Art: Call for Proposals

Appendix 3: Call for Proposals: Small Arms Building Temporary Public Art



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Paul Mitcham, P. Eng, MBA, Commissioner of Community Services

Prepared by: P. Wubbenhorst, Heritage Planner



THE CORPORATION OF THE CITY OF MISSISSAUGA

BY-LAW NUMBER ..0258-2009

A By-law to designate the Small Arms Building and Water Tower located at 1352 Lakeshore Road East as being of cultural heritage value or interest

WHEREAS the *Ontario Heritage Act*, R.S.O. 1990, Chapter 0.18, as amended, authorizes the Council of a municipality to enact by-laws to designate real property including all the buildings and structures thereon, to be of cultural heritage value or interest;

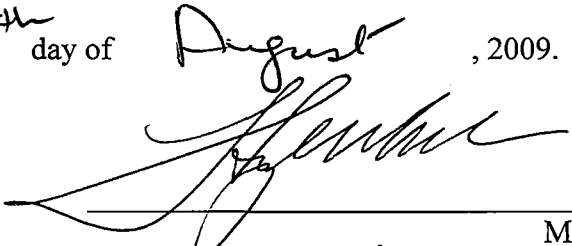
AND WHEREAS Notice of Intention to designate the Small Arms Building and Water Tower located at 1352 Lakeshore Road East, in the City of Mississauga, has been duly published and served, and no notice of objection to such designation has been received by the Clerk of The Corporation of the City of Mississauga;

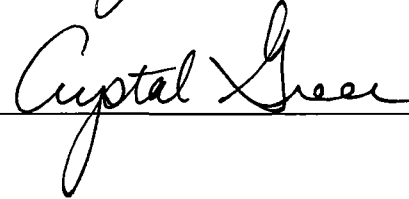
NOW THEREFORE the Council of The Corporation of the City of Mississauga hereby ENACTS as follows:

1. That the property, including all the buildings and structures thereon, known as the Small Arms Building and Water Tower located at 1352 Lakeshore Road East, in the City of Mississauga, and legally described in Schedule 'A' attached hereto, is hereby designated as being of cultural heritage value or interest under Part IV of the *Ontario Heritage Act*, R.S.O. 1990, Chapter 0.18, as amended.
2. That the reasons for designating the property known as the Small Arms Building and Water Tower located at 1352 Lakeshore Road East, in the City of Mississauga, under section 1 of this By-law, are duly set out in Schedule 'B'.
3. That the City Clerk is hereby authorized to cause a copy of this by-law to be served upon the owner of the aforesaid property, and upon the Ontario Heritage Trust and to cause notice of this by-law to be published in a newspaper having general circulation in the City of Mississauga.
4. That Schedules 'A' and 'B' form an integral part of this by-law.
5. That the City Solicitor is hereby directed to register a copy of this by-law against the property located at 1352 Lakeshore Road East in the proper land registry office.

ENACTED AND PASSED this 5<sup>th</sup> day of August, 2009.

APPROVED AS TO FORM City Solicitor MISSISSAUGA REZ
Date July 24 09

  
MAYOR

  
CLERK

SCHEDULE 'A' TO BY-LAW 0258-2009

Summary: Part of Lots 4 and 5, Concession 3, South of Dundas Street  
(To be designated under the Ontario Heritage Act)

(Ward 1, City Zone 1, in the vicinity of Lakeshore Road East and the City Boundary)

Legal Description: In the City of Mississauga, Regional Municipality of Peel, (Geographic Township of Toronto, County of Peel), Province of Ontario and being composed part of Lots 4 and 5, Concession 3, South of Dundas Street, designated as Part 1, Plan 43R-4461 .



Alnashir Jeraj  
Ontario Land Surveyor

SCHEDULE 'B' TO BY-LAW NO. D258-2009**DESIGNATION STATEMENT****Small Arms Limited Building & Water Tower, 1352 Lakeshore Road East**

The Small Arms Limited Building, a large low-lying H-shaped facility, & Water Tower are located at the foot of Dixie Road on the south side of Lakeshore Road East.

**Statement of Cultural Heritage Value or Interest**

The Small Arms Limited Building & Water Tower have direct associations with the federal government, World War II, the corresponding Canadian war industry and the World War II influx of working women. The water tower also has direct associations with World War I rifle training. The property yields information that contributes to an understanding of the World War home front and is associated with the development of Lakeview. The Small Arms Building has direct associations with Allward and Gouinlock Architects.

The Small Arms Limited Building & Water Tower define, maintain and support the character of the area, both the industrial character and the community of Lakeview itself. The water tower is a landmark.

The Small Arms Limited Building displays a high degree of craftsmanship and artistic merit. The water tower is rare in Mississauga.

**Description of Heritage Attributes**

Key attributes that reflect the Small Arms Limited Building and Water Tower's historical/associative value:

- the Modern and Modern Classical elements of the building, consistent with the World War II period
- the shape and form of the water tower, consistent with the World War I period
- the location of the structures in Lakeview, on former rifle training grounds and near rifle range remnants, including baffles, concrete backstop, indoor rifle range and parade square, at 1300 Lakeshore Road East
- the building's economic materials and construction methods
- the two skylights, within a flat roof, and expansive wraparound glazing, of the rear portion of the building, which allow for an abundance of natural light required for work therein

Key attributes that reflect the Small Arms Limited Building & Water Tower's contextual value:

- their location in Lakeview
- their location on the south side of Lakeshore Road, site of the former Long Branch Rifle Ranges, and alongside other industrial buildings
- the height and distinctive shape and form of the water tower
- the water tower's visibility from the surrounding area, including both Lakeview and Long Branch
- the row of deciduous trees along the west side of the building, which are suggested in historical aerial photography
- the generous setback and open space which allows for full visibility of the building from Lakeshore Road West
- the woodlot to the rear of the property, which is suggested in historical photography

Key attributes that reflect the Small Arms Limited Building's physical/design value:

- the overall shape and form of the entire structure
- the rectilinear shape and form of the component parts
- the projecting pavilions of the front component

- the flat roofs
- the two skylights of the rear component and their shape and form
- the chimney, its shape, form, with setback upper portion, concrete trim, and placement in the “bridge” section that connects the front and rear components
- the steel fascia and steel framed windows
- the rectilinear shape and form of the windows
- the sash windows on the front component
- the wraparound full glazing that comprises the upper three quarters of the rear component, and its continuous concrete sill
- the multiple window panes in each window – 12 panes on the front component and 25 panes on the rear component (except where there are doors) – and their consistent shape and form
- the light fixtures on the exterior of the rear component
- the common bond brick sheathing with sixth course headers
- the symmetrical arrangement of the façade
- the entryway with mortared stone pilasters and concrete slab canopy
- the single simple light fixture that hangs from the main door canopy
- the shape and form of the entryway with a tall transom window
- the concrete banding that connects the windows and extends slightly beyond them
- the concrete lintels and sills that extend slightly beyond the windows
- the concrete mortared jambs that flank the window over the main entrance
- the concrete slab foundation
- the Modern font of the building address



**City of Mississauga**  
 Culture Division  
 201 City Centre Drive, Suite 202  
 MISSISSAUGA ON L5B 2T4  
[mississaugaculture.ca](http://mississaugaculture.ca)

**DEADLINE FOR PROPOSALS: Thursday, March 22, 2018 by 4 p.m EST.**

## **Small Arms Building Chimney Temporary Public Art: Call for Proposals**

### **1. PROJECT BRIEF**

The City of Mississauga (the “City”) Public Art Program invites professional Canadian artists or Canadian artist teams to submit proposals to create site-specific temporary public art for the Small Arms building. Artists are asked to submit a proposal for artwork for the 11 meter chimney above the building’s main entrance. The artwork can also be extended to the roof area directly below the chimney. Because this location will mark the entrance to a large new creative hub, we ask that artists consider installations that are bold and original—artworks that will heighten visitors’ experience upon arrival and signal the creative encounters contained within this heritage structure.

### **2. SITE CONTEXT**

Currently being developed into a creative hub, the Small Arms building has a rich and many-layered history. Located within the Lakeview community, close to bustling Port Credit and Longbranch, this creative hub sits on beautiful conservation lands that stretch from Lakeshore Road East to the waterfront. It is situated within the traditional territory of the Mississaugas of the New Credit First Nation, previously of the Anishinaabe, Haudenosaunee, Wyndot and Huron people. Mississauga continues to be home to many Aboriginal, Inuit and Métis peoples. The structure was built in 1940 as the administration and testing lab for the manufacturing of small fire arms made for World War II. This building is the last remaining structure of a larger arms manufacturing plant and was mainly staffed by women during World War II. It acted as a military training facility until 1957 and remained in use as a government arms facility until the 1970s. Under threat of demolition, the Small Arms building was designated as a heritage site in 2009.

Small Arms will open its doors to the public in June 2018 as Mississauga’s newest creative hub. The building will be a flexible, multi-disciplinary facility for the arts, heritage and the environment, programed by City Culture staff alongside local arts groups such as the Small Arms Society.

### **2. LOCATION DETAILS**

Site address: 1352 Lakeshore Road East, Mississauga, ON L5E 1E9

The chimney is located on the east side of the building, above the courtyard. This is the main public entrance to the building. The roof area is directly below the chimney.



Chimney Dimensions: 11.2m (h) x 1.44m (w)

Roof Dimensions: 15.5m (l)

(See Appendices A & B for site photos and elevation drawings with full dimensions)

### 3. PROJECT CONSIDERATIONS

- Artwork may partially or fully cover the chimney.
- Artwork may be bracketed, strapped, wrapped, projected onto, or attached by any means devised that does not compromise the heritage brickwork. Artwork may perforate the chimney's grout but not the brick. Any artwork installed on the roof below the chimney must not perforate the roof's membrane.
- This is a heritage designated building and as such must adhere to regulations within the Ontario Heritage Act and relevant municipal by-laws [\(link\)](#)
- Any installation impacts on the building must be reversible.
- All proposals must clearly indicate any electrical requirements and estimated costs of electrical requirements.
- The artwork should be made to withstand up to a 2-year installation.
- Artists are encouraged to drive or walk by the building to get a sense of the site from the street but the building is currently closed due to construction. We ask that artists refrain from trying to enter the construction site. Shortlisted artists may have an opportunity to visit the site by arrangement of the City.

### 4. TECHNICAL REQUIREMENTS

Please note the following technical requirements for the artwork. The artwork:

- Shall be designed and constructed within budget;
  - Shall be appropriate for the site in scale, execution, materials and creativity;
  - Shall be constructed of durable materials that can withstand the winter season, theft and vandalism;
  - Shall not obstruct pedestrian and/or vehicular traffic in any way, including blocking necessary traffic site lines;
  - Shall not contain design content in breach of any intellectual property, trademarks, brands, or images of vulgar, offensive or illegal activity;
  - Shall meet all City standards, including safety, permits and by-laws, and;
  - Shall be suitable for exhibition in a public space and should therefore avoid sharp edges, points, projections or pinch-points which may cause injury.
- Please note: all proposals are subject to the City of Mississauga review and approval.

### 5. INSTALLATION

The artist or artist team will be responsible for professional installation of the artwork. They will ensure that all sub-contractors adhere to City safety

policies. The City's Public Art Division will assist in coordinating with other Divisions if needed.

## 6. BUDGET

The total budget for all expenses related to this project is a maximum of **\$25,000 + HST** Canadian Dollars. Proposals indicating a total cost including artist fees, materials, installation and expenses exceeding this will not be considered. No further compensation will be made to the artist for costs associated with participating in the selection process.

*\* The aforementioned budget includes all expenses related, but not limited to: artist fees, preparation and submission of detailed renderings, coordination and technical consultations including engineering approval or other expertise as required, preparation of any information and/or documents required for installation, attendance at meetings and site visits, travel to the site and to meetings, insurance as required by the City of Mississauga, purchase of relevant materials, shipping costs, delivery to the site, installation, drafting of a maintenance plan and an artist statement for the completed artwork.*

## 7. SELECTION & EVALUATION PROCESS

All shortlisted proposals will be reviewed by an independent Jury made up of arts professionals and subject-matter experts. The Jury will recommend an artist or artist team for the award of the commission.

The Jury will consider the following criteria in the selection process:

- Artistic merit, substantiated by an artist's past body of work, as well as the inherent quality of the proposal in terms of its vision, design, aesthetics and excellence;
- Appropriateness for the Site and to its context;
- Qualifications and professional experience of the artist or artist team
- Demonstrated experience on relevant large-scale projects
- Feasibility of fabrication and ability to meet budget and schedule;
- Public safety;
- Appropriate degree of durability;
- Resistance to vandalism, and;
- Degree to which the installation meets the project considerations (Section 3 above).

Finalists may be asked to attend an interview with the Jury. The City will not provide any additional compensation to finalist(s) to attend the interview.

The City reserves the right to select and retain the Artist deemed most appropriate for the project at its sole discretion.

## 8. SUBMISSION REQUIREMENTS

Interested artists must exercise care when completing their submission as failure to fully and accurately complete the required documents may affect the evaluation of their submission and may cause their submission to be rejected.

Prospective artists must ensure that all information provided is correct. **Submissions must contain the following in one (1) document, in PDF format to a maximum file size of 20MB.** If the file size exceeds 20MB, artists are asked to use an external file share program such as WeTransfer. Please note submissions which are not formatted as one document will not be considered.

- i. **Artist's CV and up to 5 images of past work:** highlight relevant experience on projects similar to or directly related to this project.
- ii. **References:** Please include contact name, title, organization, telephone number and email address for three relevant references.
- iii. Up to **10 digital images** of the proposed artwork(s) including: artist renderings, sections and/or details as applicable concept sketches, 3D visualizations, and other images as applicable.
- iv. Maximum one-page **Artist Statement** describing the artwork, how the viewer will interact with the artwork, installation method, as well as all relevant dimensions, anticipated weight, and material selection. The Artist Statement should also include any maintenance requirements.
- v. **Proposed budget and schedule** for fabrication, construction and install.

Artist(s) will retain copyright over their proposals; however the proposals may be used by the City in meetings with stakeholders and City staff. Please note that the proposals will not be returned.

### *Artist Teams:*

Submissions from artist teams are acceptable, but only one proposal is allowed from the team and any artist on the team. The submission must clearly note the lead artist who will be the main contact, representing the team, in the process. Provide only one Artist Statement. Provide CVs for each team member.

## SUBMIT PROPOSALS BY EMAIL TO:

Email: [public.art@mississauga.ca](mailto:public.art@mississauga.ca)

Subject: Artist Proposal – Small Arms Building Temporary Public Art

## 9. PROJECTED TIMELINE

Anticipated Dates	Project Stage
Feb 24	RFP issued
March 22	Deadline for submission of Artist Proposals via e-mail to Public Art Coordinator by 4:00 p.m. EST
March 28	Jury meets to review proposals and choose Finalist
April 3	Finalist notified
April 2-13	Technical/safety review, final approvals & contract execution
Early April-Late May	Artwork fabrication
June 4-8	Delivery of artwork to Site and installation
June 2020	De-installation of Artwork

**The schedule above is provided as a guideline only and is subject to change.**

The City will endeavor to notify artists of the results of this request for proposals in September, subject to internal approvals. The City reserves the right to solicit public and technical feedback on the proposals and/or to interview artists and check references as required. The City reserves the right not to select or retain an artist and/or not to proceed with the project.

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## 10. RESERVED RIGHTS OF THE CITY OF MISSISSAUGA

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- Issue public announcements regarding the competition.

This document and any submissions in response to it by prospective artists do not create any binding obligations on the City, the prospective artist(s), or any other party.

## 11. APPENDICES

### Appendix A: Site Photos

Main Entrance



Side view of chimney

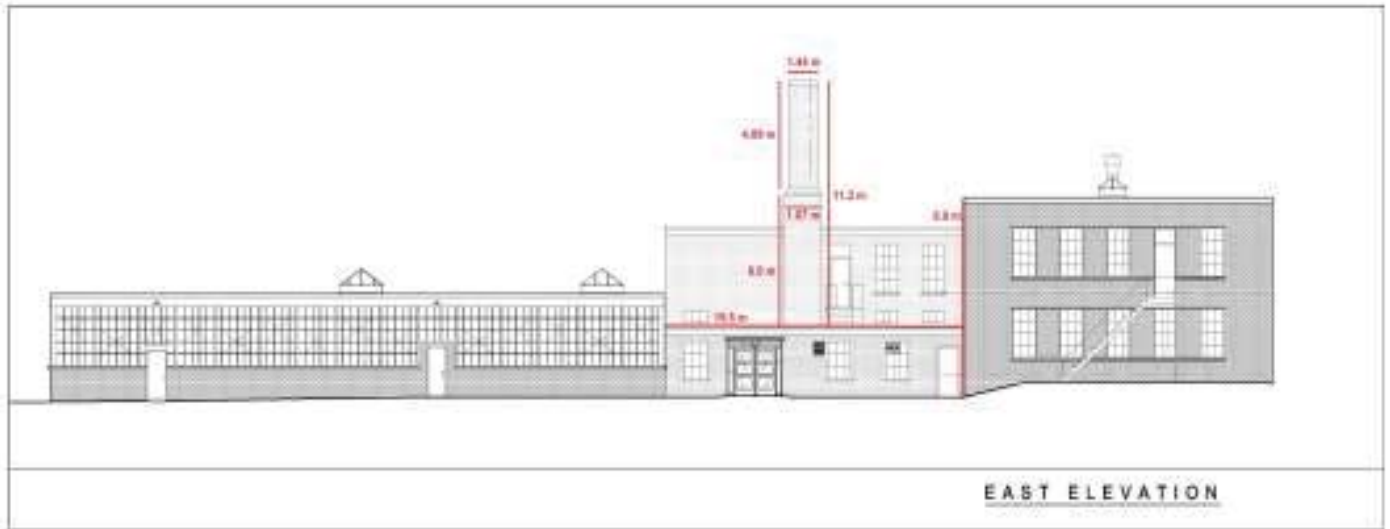


Interior

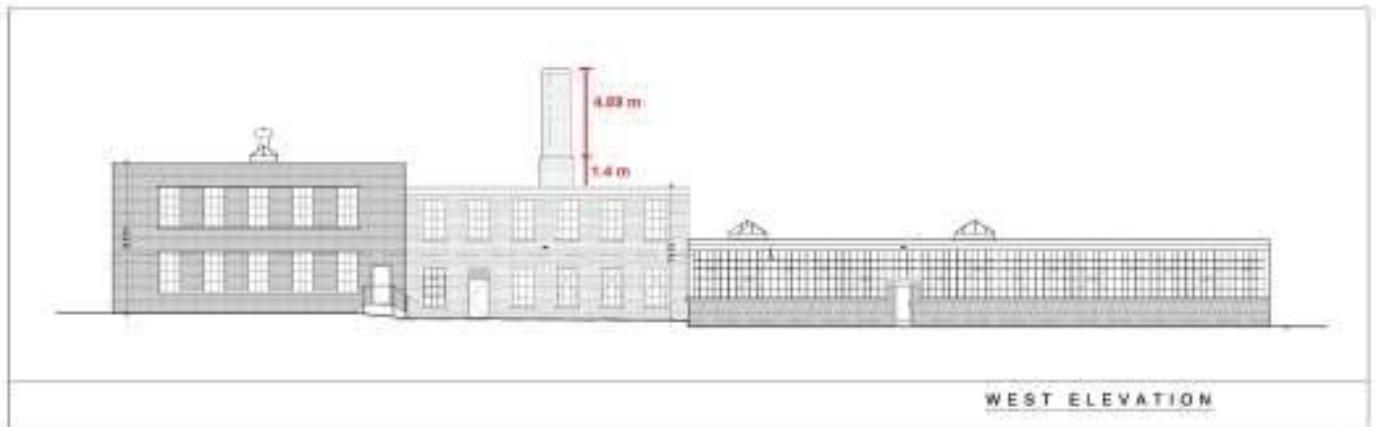


## APPENDIX B: Elevation and Dimensions

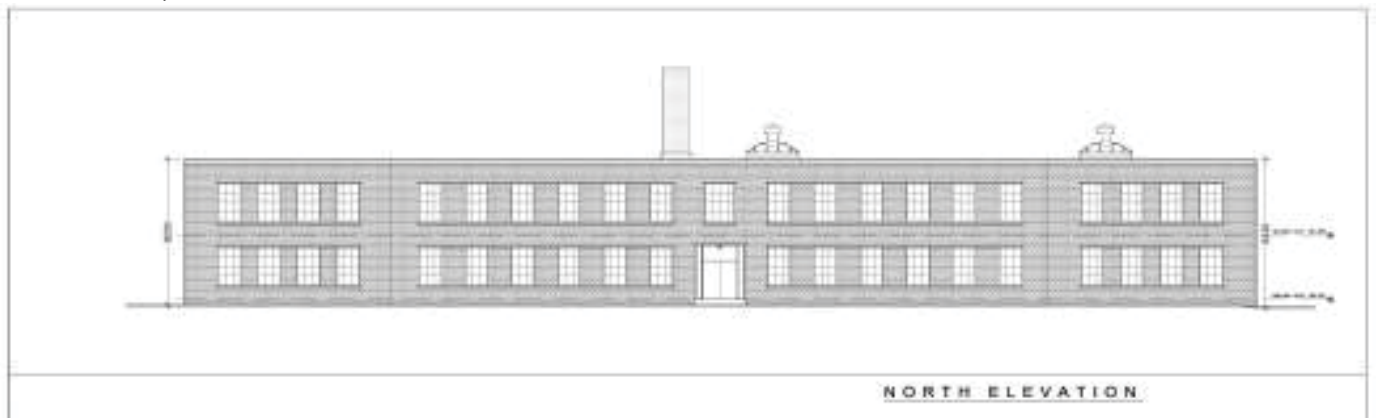
### Main Entrance



### West Side

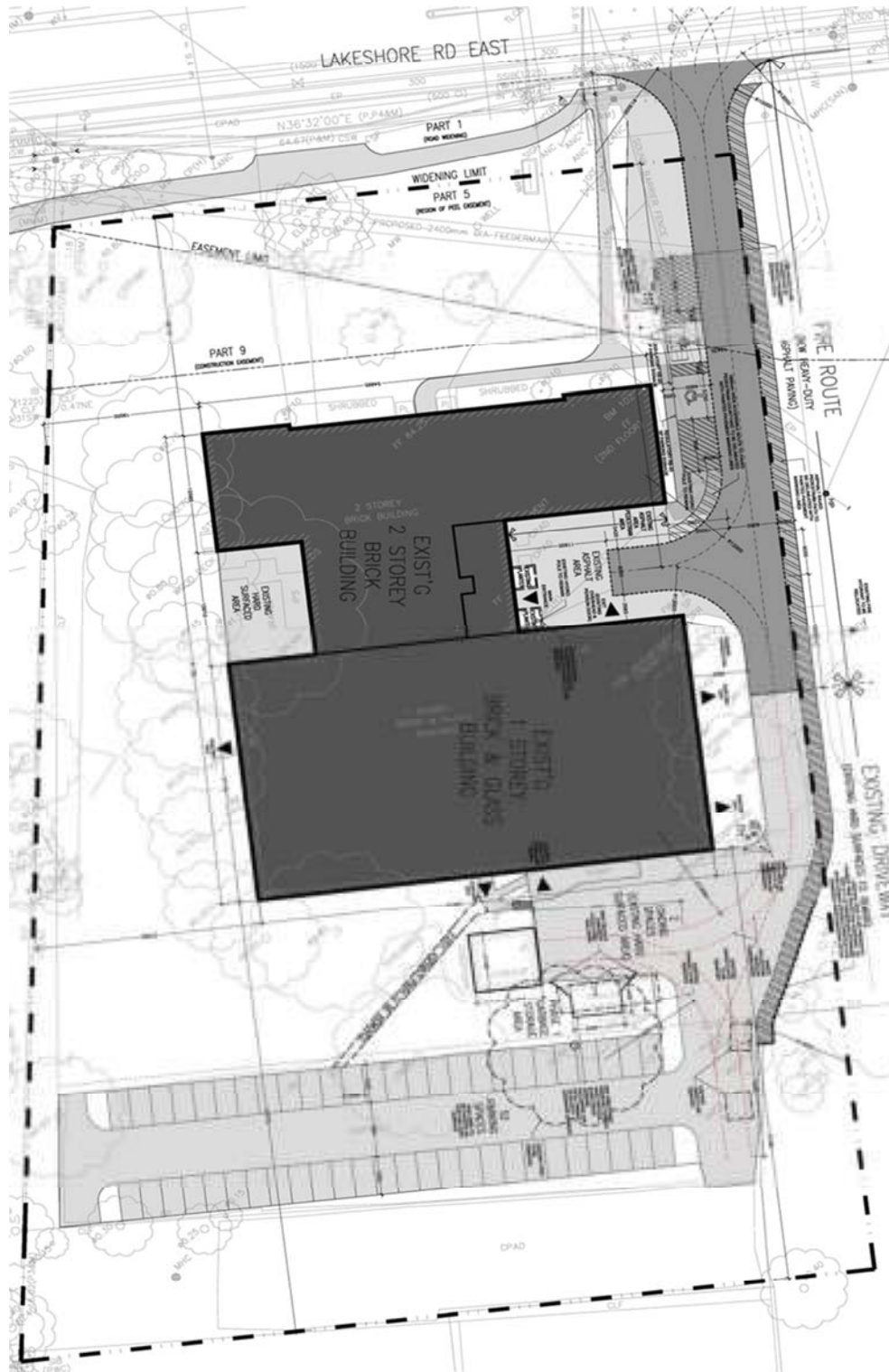


### North Side, view from Lakeshore Road East





## APPENDIX C: Site Plan





## APPENDIX D: Pertinent Project Examples

(These are not intended to direct proposals, but rather to spark countless creative possibilities)



Miritz Hillebrand, Zurich



Tell Me Something, Andrew Kearney, Limerick



Wychwood Barns, Toronto



Mario Mertz, Centre for International Light Art, Unna



Dorette Sturm, Nieuwe Wind  
DRU Industrial Park, Uft



**City of Mississauga**  
 Culture Division  
 201 City Centre Drive, Suite 202  
 MISSISSAUGA ON L5B 2T4  
[mississaugaculture.ca](http://mississaugaculture.ca)

**DEADLINE FOR PROPOSALS: Thursday, March 22, 2018 by 4 p.m EST.**

## **Call for Proposals:**

## **Luminous: Small Arms Building Temporary Public Art**

### **1. PROJECT BRIEF**

The City of Mississauga (the “City”) Public Art Program invites professional Canadian artists or Canadian artist teams to submit proposals to create site-specific temporary public art for the Small Arms building. Artists are asked to submit a proposal for light art that will sit on the roof to be mainly visible from Lakeshore Road East Drive. This can include neon, LED or other light-emitting sources. This location will highlight a new cultural hub. We therefore ask artists to consider installations that are bold and original—ones that will heighten visitors’ experience upon arrival and signal the creative encounters contained within this heritage structure.

### **2. SITE CONTEXT**

Currently being developed into a creative hub, the Small Arms building has a rich and many-layered history. Located within the Lakeview community, close to bustling Port Credit and Longbranch, this creative hub sits on beautiful conservation lands that stretch from Lakeshore Road East to the waterfront. It is situated within the traditional territory of the Mississaugas of the New Credit First Nation, previously of the Anishinaabe, Haudenosaunee, Wyndot and Huron people. Mississauga continues to be home to many Aboriginal, Inuit and Métis peoples. The structure was built in 1940 as the administration and testing lab for the manufacturing of small fire arms made for World War II. This building is the last remaining structure of a larger arms manufacturing plant and was mainly staffed by women during World War II. It acted as a military training facility until 1957 and remained in use as a government arms facility until the 1970s. Under threat of demolition, the Small Arms building was designated as a heritage site in 2009.

Small Arms will open its doors to the public in June 2018 as Mississauga’s newest creative hub. The building will be a flexible, multi-disciplinary facility for the arts, heritage and environment, programed by City Culture staff alongside local arts groups such as the Small Arms Society.

### **2. LOCATION DETAILS**

Site address: 1352 Lakeshore Road East, Mississauga, ON L5E 1E9

The location for this artwork is directly on the roof and alongside the front (Lakeshore Road East) side of the building.

Artwork Dimensions: Artwork can span from 1 m to 55.5 meters lengthwise

Roof Dimensions: 55.5 meters across

(See Appendix A: Site Photos & Drawings)

### 3. PROJECT CONSIDERATIONS

- Artwork may partially or fully cover the length of the roof.
- Works can be developed using neon, led or other light based materials. Please take into consideration the neighbourhood across the street in terms of light brightness or movement.
- Artwork may be bracketed, strapped, wrapped, rigged, projected onto, or attached by any means devised that does not compromise the heritage brickwork. Artwork installed on the roof must not perforate the roof's membrane
- This is a heritage designated building and as such must adhere to regulations within the Ontario Heritage Act and relevant municipal by-laws [\(link\)](#)
- Any installation impacts on the building must be reversible.
- All proposals must clearly indicate any electrical requirements (and estimated costs) of electrical requirements.
- The artwork should be made to withstand up to a 2-year installation
- Artists are encouraged to drive or walk by the building to get a sense of the site from the street but the building is currently closed due to construction. We ask that artists refrain from trying to enter the construction site. Shortlisted artists may have an opportunity to visit the site by arrangement of the City.

### 4. TECHNICAL REQUIREMENTS

Please note the following technical requirements for the artwork. The artwork:

- Shall be designed and constructed within budget;
  - Shall be appropriate for the site in scale, execution, materials and creativity;
  - Shall be constructed of durable materials that can withstand the winter season, theft and vandalism;
  - Shall not obstruct pedestrian and/or vehicular traffic in any way, including blocking necessary traffic site lines;
  - Shall not contain design content in breach of any intellectual property, trademarks, brands, or images of vulgar, offensive or illegal activity;
  - Shall meet all City standards, including safety, permits and by-laws, and;
  - Shall be suitable for exhibition in a public space and should therefore avoid sharp edges, points, projections or pinch-points which may cause injury.
- Please note: all proposals are subject to the City of Mississauga review and approval.

## 5. INSTALLATION

The artist or artist team will be responsible for professional installation of the artwork. They will ensure that all sub-contractors adhere to City safety policies. The City's Public Art Division will assist in coordinating with other Divisions if needed.

## 6. BUDGET

The total budget for all expenses related to this project is a maximum of **\$25,000 + HST** Canadian Dollars. Proposals indicating a total cost including artist fees, materials, installation and expenses exceeding this will not be considered. No further compensation will be made to the artist for costs associated with participating in the selection process.

*\* The aforementioned budget includes all expenses related, but not limited to: artist fees, preparation and submission of detailed renderings, coordination and technical consultations including engineering approval or other expertise as required, preparation of any information and/or documents required for installation, attendance at meetings and site visits, travel to the site and to meetings, insurance as required by the City of Mississauga, purchase of relevant materials, shipping costs, delivery to the site, installation, drafting of a maintenance plan and an artist statement for the completed artwork.*

## 7. SELECTION & EVALUATION PROCESS

All shortlisted proposals will be reviewed by an independent Jury made up of arts professionals and subject-matter experts. The Jury will recommend an artist or artist team for the award of the commission.

The Jury will consider the following criteria in the selection process:

- Artistic merit, substantiated by an artist's past body of work, as well as the inherent quality of the proposal in terms of its vision, design, aesthetics and excellence;
- Appropriateness for the Site and to its context;
- Qualifications and professional experience of the artist or artist team
- Demonstrated experience on relevant large-scale projects
- Feasibility of fabrication and ability to meet budget and schedule;
- Public safety;
- Appropriate degree of durability;
- Resistance to vandalism, and;
- Degree to which the installation meets the project considerations (Section 3 above).

Finalists may be asked to attend an interview with the Jury. The City will not provide any additional compensation to finalist(s) to attend the interview.

The City reserves the right to select and retain the Artist deemed most appropriate for the project at its sole discretion.

## 8. SUBMISSION REQUIREMENTS

Interested artists must exercise care when completing their submission as failure to fully and accurately complete the required documents may affect the evaluation of their submission and may cause their submission to be rejected.

Prospective artists must ensure that all information provided is correct. Submissions must contain the following in one (1) document, in PDF format to a maximum file size of 20MB. If the file size exceeds 20MB, artists are asked to use an external file share program such as WeTransfer. Please note submissions which are not formatted as one document will not be considered.

- i. **Artist's CV and up to 5 images of past work:** highlight relevant experience on projects similar to or directly related to this project.
- ii. **References:** Please include contact name, title, organization, telephone number and email address for three relevant references.
- iii. Up to **10 digital images** of the proposed artwork(s) including: artist renderings, sections and/or details as applicable concept sketches, 3D visualizations, and other images as applicable.
- iv. Maximum one-page **Artist Statement** describing the artwork, how the viewer will interact with the artwork, installation method, as well as all relevant dimensions, anticipated weight, and material selection. The Artist Statement should also include any maintenance requirements.
- v. **Proposed budget and schedule** for fabrication, construction and install.

Artist(s) will retain copyright over their proposals; however the proposals may be used by the City in meetings with stakeholders and City staff. Please note that the proposals will not be returned.

### *Artist Teams:*

Submissions from artist teams are acceptable, but only one proposal is allowed from the team and any artist on the team. The submission must clearly note the lead artist who will be the main contact, representing the team, in the process. Provide only one Artist Statement. Provide CVs for each team member.

**SUBMIT PROPOSALS BY EMAIL TO:**Email: [public.art@mississauga.ca](mailto:public.art@mississauga.ca)Subject: **Artist Proposal – Luminous: Small Arms building Temporary Public Art****9. PROJECTED TIMELINE**

<b>Anticipated Dates</b>	<b>Project Stage</b>
Feb 24	RFP issued
March 22	Deadline for submission of Artist Proposals via e-mail to Public Art Coordinator by 4:00 p.m. EST
March 28	Jury meets to review proposals and choose Finalist
April 3	Finalist notified
April 2-13	Technical/safety review, final approvals & contract execution
Early April-Late May	Artwork fabrication
June 4-8	Delivery of artwork to Site and installation
June 2020	De-installation of Artwork

**The schedule above is provided as a guideline only and is subject to change.**

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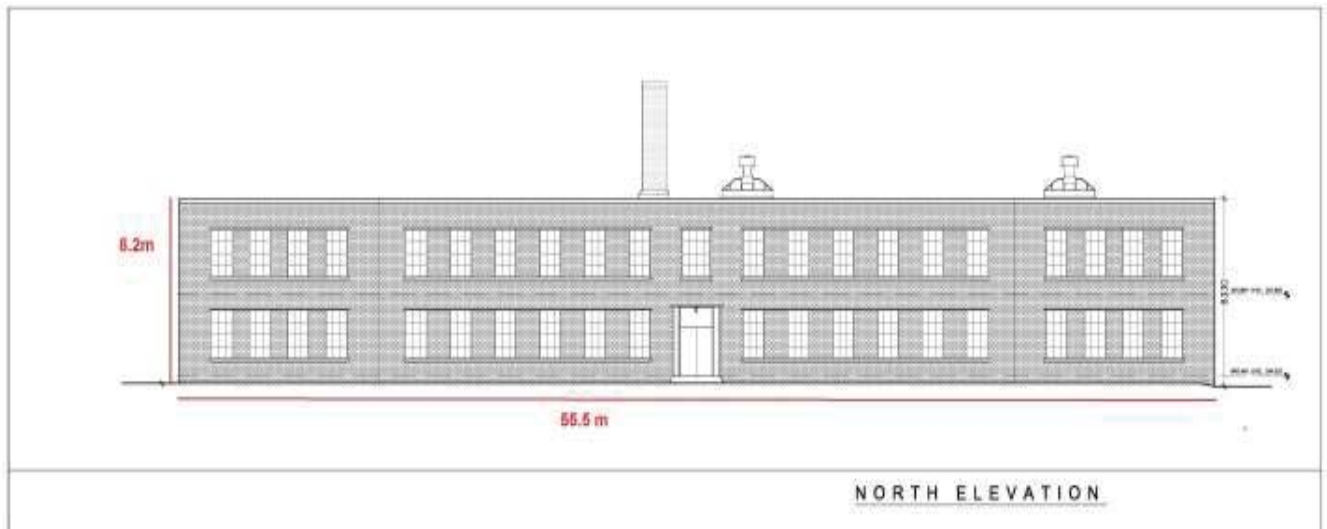
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**11. APPENDICES**

## Appendix A: Site Photos and Drawings

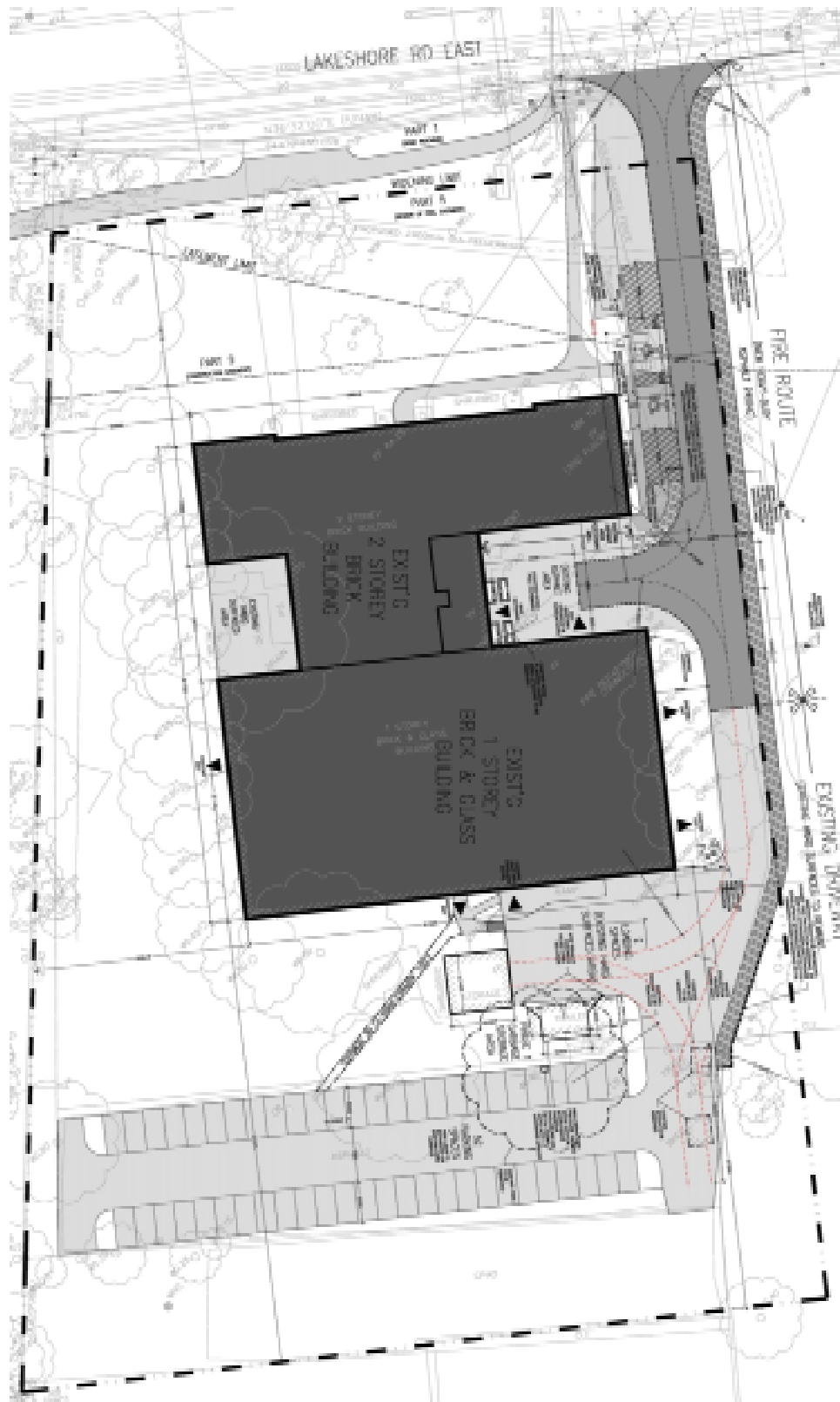


Street View



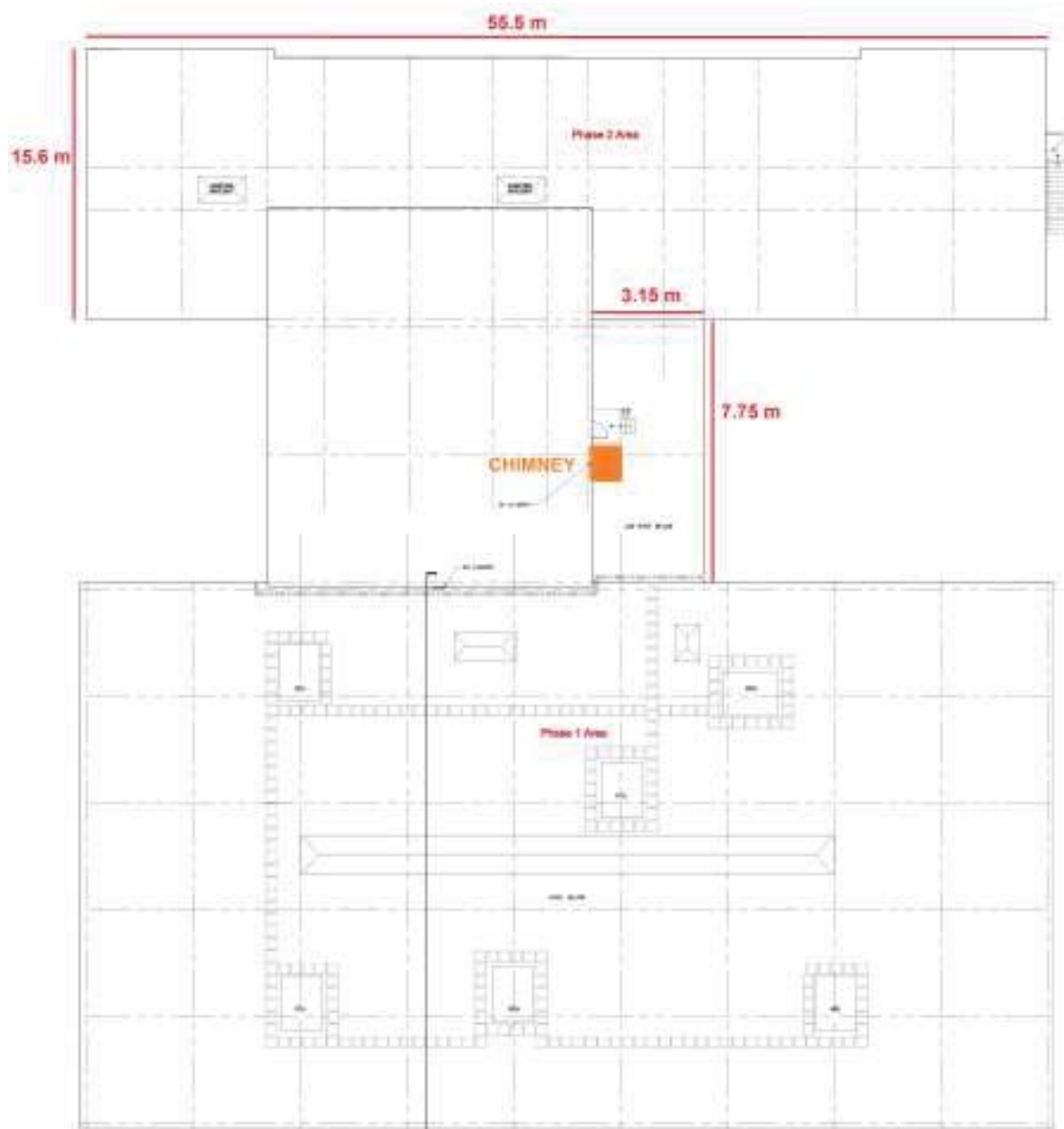


### Street View with Dimensions





## Site Plan



UPPER ROOF PLAN

## APPENDIX B: Pertinent Project Examples

These are examples of light related works. The works created for this call must be able to be placed on the roof of the building and not on the front lawn.



12 Months of Neon Love



200 Orbs



JIM HODGES: WITH LIBERTY AND JUSTICE FOR ALL  
(A WORK IN PROGRESS)



Amanda Parer: Intrude Classic



The Museum of Neon Art's Diving Lady





# City of Mississauga

## Corporate Report



Date: 2018/03/09

To: Chair and Members of Heritage Advisory Committee

From: Paul Mitcham, P. Eng, MBA, Commissioner of  
Community Services

Originator's files:

Meeting date:  
2018/04/10

## Subject

**Request to Alter a Heritage Designated Property: 1234 Old River Road (Ward 1)**

## Recommendation

That the proposed alteration of 1234 Old River Road, which is designated under Part IV of the Ontario Heritage Act, be approved, as per the Corporate Report dated March 9<sup>th</sup>, 2018, entitled "Request to Alter a Heritage Designated Property: 1234 Old River Road (Ward 1)", from the Commissioner of Community Services.

## Background

Robert Cotton built the main house at the subject property in the mid nineteenth century. The City designated it under Part IV of the Ontario Heritage Act in 1985. As per section 33 of the Act, alterations to designated property require a heritage permit. The owner proposes to repair twelve existing six-over-six wood sash windows and produce and install twelve new period appropriate one-over-one wood storm windows.

## Comments

Built Heritage Consultant Megan Hobson surmises that the windows are original; they are in "fair condition" and just in need of "minor repairs." They will be temporarily removed and temporarily replaced with plywood so that the restoration work can occur in the contractor's workshop.

The metal storms are not original. The proposal is to remove them and replace them with historically accurate wood storms with a hinging system that allows them to be opened from the inside. Because there is no surviving documentation of the original storm windows, the replications will be based on storm windows from comparable nineteenth century dwellings in a one-over-one configuration.

Hobson's Heritage Impact Assessment and Conservation Plan are attached as Appendix 1. The proposal is very sensitive to the property's cultural heritage value and therefore should be approved.

## **Financial Impact**

There is no financial impact

## **Conclusion**

The owner of 1234 Old River Road requests permission to restore original windows and produce and install period appropriate storm windows. The proposal is a commendable heritage restoration project and should be approved.

## **Attachments**

Appendix 1: Heritage Impact Assessment and Conservation Plan



---

Paul Mitcham, P. Eng, MBA, Commissioner of Community Services

Prepared by: P. Wubbenhorst, Heritage Planner

## WINDOW REPAIRS & NEW STORM WINDOWS HERITAGE IMPACT ASSESSMENT & CONSERVATION PLAN



1234 OLD RIVER ROAD  
MISSISSAUGA

28 FEB 2018

**MEGAN HOBSON**

M.A. DIPL. HERITAGE CONSERVATION

**Built Heritage Consultant**

45 James Street, Dundas, ON L9H 2J5

(905) 975-7080

[mhobson@bell.net](mailto:mhobson@bell.net)

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7.0	QUALIFICATIONS OF THE AUTHOR	9
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	APPENDIX A: DESIGNATION BY-LAW	ATTACHED
	APPENDIX B: HISTORIC IMAGES	ATTACHED
	APPENDIX C: PROPOSED CONSERVATION WORK (ARA HERITAGE)	ATTACHED



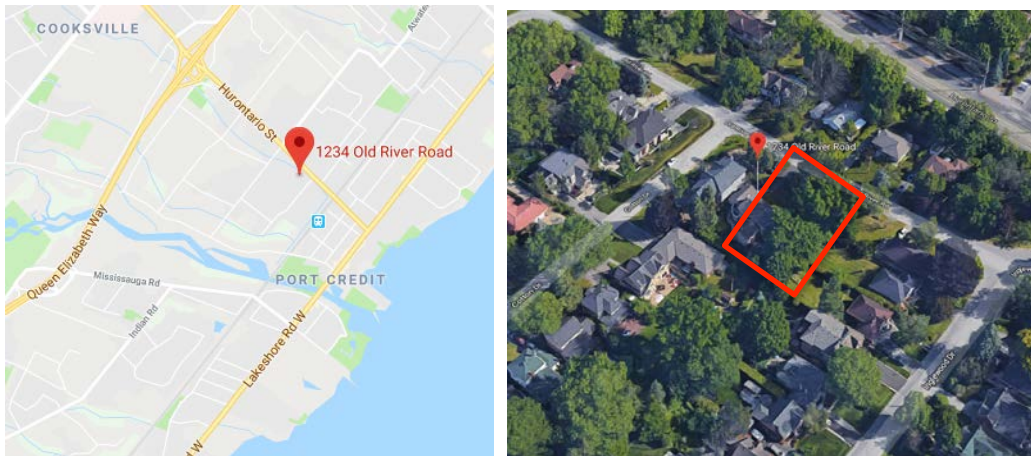
## 1.0 INTRODUCTION & METHODOLOGY

This report was prepared by heritage consultant Megan Hobson for the property owners of 1234 Old River Road as a requirement for obtaining a heritage permit to make minor repairs to 12 existing six over six wood sash windows and install 12 new historically accurate storm windows. The owners propose to undertake this work over the next 2-3 years and have retained the services of ARA Heritage, a company that specializes in historic window repair and restoration.

A site visit was undertaken on July 14, 2017 to assess and document the current condition of the windows and to review the proposed methodology with the property owners and ARA Heritage.

## 2.0 LOCATION & SITE DESCRIPTION

The subject property is located in a modern subdivision in Mississauga, on the east side of the Credit River, near the historic village of Port Credit. It fronts onto Old River Road between Inglewood Drive and Cotton Drive. The orientation of the house is slightly skewed and the lot is approximately three times the size of typical lots in the subdivision.



Location map & aerial view [Google]

The house is oriented towards Old River Road and has a T-shaped plan comprised of a two storey main section with a 1.5 storey tail. The front section is log construction. The rear section is frame construction. There are modern additions on the north side including a sunroom and a linked 2-car garage. The entire structure is clad with modern horizontal wood clapboard.

This property is Designated under Part IV of the *Ontario Heritage Act* and contains the Cotton-Hawthorn House.





19<sup>th</sup> century log and frame construction with 20<sup>th</sup> century additions [Google]

## 2.0 CULTURAL HERITAGE VALUE

**SEE APPENDIX A: DESIGNATION BY-LAW**

**SEE APPENDIX B: HISTORIC PHOTOS**

The Cotton-Hawksworth House is associated with Robert Cotton who emigrated from Ireland to Canada in 1837. Cotton was a well-known merchant and farmer in Toronto Township and held several offices in the community including Justice of the Peace in 1850. In 1856 Cotton purchased this land. Shortly after, he purchased and dismantled the old Mission House in the Credit Indian Village and brought it down river and had it rebuilt on his property. The house is one of the few remaining log buildings in Mississauga. The front of the property originally extended to the historic Centre Road (now Hurontario Street).

The building has undergone a number of later alterations and additions but still contains the log cabin and rear frame addition built by Robert Cotton in the 1850s beneath modern wood siding.



1234 Old River Road – Main elevation (left) – Rear elevation (right)

The Cotton-Hawsworth House is a good representation of Georgian architecture. Typical of this style is the symmetry of the structure, the gable roof and gable end chimneys, the plain trim and the central front entrance. The three bay facade log house is sheathed in clapboard and a raised wooden or stringcourse divides the first and second storeys.

Character-defining elements that contribute to the heritage value of the Cotton-Hawsworth House include its:

- two storey log and clapboard exterior
- stone foundation
- medium pitch gable roof
- symmetrical façade
- three brick chimneys
- central entrance with sidelights and transom
- coloured glass in transom
- six over six windows
- small paired quarter round windows in gable
- raised wooden string course between storeys

### **3.0 PROPOSED WINDOW REPAIRS & NEW STORMS**

#### **SEE APPENDIX C: PROPOSED WINDOW CONSERVATION WORK (ARA HERITAGE)**

The existing windows in the historic portions of the house are 6 over 6 wood sash windows. The materials and profile indicate that they are most likely the original windows installed when the house was constructed in the 1850s. The windows and frames are in fair condition with some splitting and warping noted in the bottom rails and on the windows sills that will require minor repairs. (The two lunette windows in the end gables do not require repairs and they are not included in this scope of work.)



Window on the side elevation enclosed in the porch (left) – Window on the main elevation (right) – to be repaired

The existing storm windows are not historic. They are modern fixed metal storm windows fastened with clips. (They were not in place during the site visit). The storms cannot be opened from the inside and they are not historically accurate. The owner proposes to remove these and replace them with more appropriate wooden storms that will have an unobtrusive hinging system that allows them to be easily opened and closed from inside. This will increase the thermal performance of the windows and it will provide better protection for the restored wood sash window.



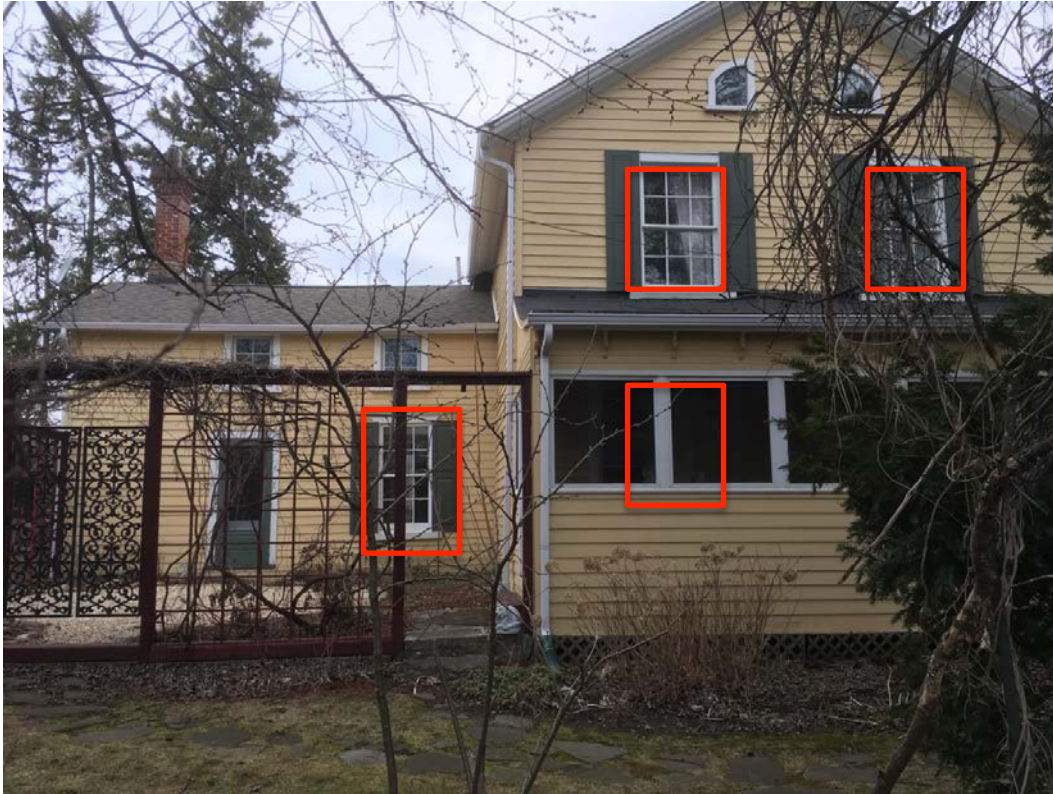
Example of new storm windows to be installed

A total of 12 original 6 over 6 windows will be repaired and 12 new 1 over 1 wood storm windows will be installed over the restored windows.



Main elevation – repairs of 5 original 6/6 wood windows – installation of 5 new 1/1 wood storms





Side elevation – repair of 4 original 6/6 wood windows – installation of 4 new 1/1 wood storms



Side elevation – Repair of 3 original 6.6 wood windows – installation of 3 new 1/1 wood storms

#### **4.0 IMPACT ASSESSMENT**

All of the existing historic windows will be retained and restored according to best practices outlined in the *Standards & Guidelines for the Conservation of Historic Places in Canada* (2010) including:

- Retention of all sound original fabric
- Replacement in-kind using compatible materials

Non-historic metal storm windows that are not functioning well will be removed. New wood storm windows will be installed in the existing frames that match the dimensions and materials of the historic windows and are appropriate to the Georgian architectural character of the house.

The owner has retained a heritage consultant and a heritage contractor specializing in window repair and restoration to oversee and carry out the proposed work. The detailed specifications for the materials and methodology are exemplary and are included as an Appendix to this report.

The proposed alterations will have beneficial impacts and there will be no negative impacts.

#### **5.0 CONSERVATION PLAN**

##### **SEE APPENDIX C: PROPOSED CONSERVATION WORK (ARA HERITAGE)**

The existing wood sash windows will be removed so that restoration work can be done in the contractor's workshop. Plywood will be temporarily installed in the window openings. The existing window frames will remain in place. The restored windows will be reinstalled in their original locations.

There will be no impact or changes to the existing window frames, other than the installation of hardware associated with the storm windows

There is no surviving documentation of the original storm windows. The proposed design is therefore based on storm windows in comparable 19<sup>th</sup> century residential buildings and they have been designed to be consistent with the proportions of the frames and muntin bars of the historic windows. A 1/1 configuration is proposed for the storm windows because it is a configuration that is historic but will be distinct from the original 6/6 windows.

#### **6.0 CONCLUSIONS & RECOMMENDATIONS**

It is recommended that the proposed window restoration work, including repairs to 12 6 /6 sash windows and installation of 12 new 1/1 wood storm windows, be approved. It is also recommended that the owners provide heritage staff with photos of the new work once it has been completed.

## 7.0 QUALIFICATIONS OF THE AUTHOR

The author of this report is a member in good standing of the Canadian Association of Heritage Professionals. Formal education includes a Master of Arts in Architectural History from the University of Toronto and a diploma in Heritage Conservation from the Willowbank School of Restoration Arts. Professional experience includes an internship at the Ontario Heritage Trust, three years as Architectural Historian and Conservation Specialist at Taylor Hazell Architects in Toronto, and 7 years in private practice in Ontario as a heritage consultant. Other relevant experience includes teaching art history at the University of Toronto and McMaster University and teaching Research Methods and Conservation Planning at the Willowbank School for Restoration Arts in Queenston. In addition to numerous heritage reports, the author has published work in academic journals such as the *Journal of the Society of Architectural Historians* and the *Canadian Historical Review*.

## 8.0 SOURCES

Hicks, Kathleen A. *Port Credit; past to present*. (Mississauga, Mississauga Library, 2007)

Jones, Elizabeth. *Memoir of Elizabeth Jones: A little Indian girl who lived at the River-Credit Mission, Upper Canada*. (London; J. Mason, 1838) Accessed online 10 August 2017  
[https://archive.org/details/ldpd\\_11264233\\_000](https://archive.org/details/ldpd_11264233_000)

Mississauga Local Architectural Conservation Advisory Committee, "Historic Structures Report; Cotton-Hawksworth House", February 14, 1984. (Heritage Planning files)

Parks Canada, *Standards & Guidelines for the Conservation of Historic Places in Canada*, 2<sup>nd</sup> ed. (2010) Accessed online 27 Feb 2018 <http://www.historicplaces.ca/media/18072/81468-parks-s+g-eng-web2.pdf>

Ryerson, Egerton. *The Story of My Life*. (Toronto: W. Briggs, 1883) Accessed online 10 August 2017  
<https://ia800303.us.archive.org/26/items/storyofmylife00ryeruoft/storyofmylife00ryeruoft.pdf>

Small, David. *Heritage Impact Statements for 1392 Stavebank Road* (2013) & *57 Inglewood Drive* (2013).

# APPENDIX A: DESIGNATION BY-LAW

7.2-12



BY-LAW NUMBER *516-85*

To designate the "Cotton-Hawksworth House" located at 1234 River Road, Mississauga, as being of architectural value and of historical interest.

WHEREAS The Ontario Heritage Act, R.S.O. 1980, Chapter 337, authorizes the Council of a municipality to enact by-laws to designate real property including all the buildings and structures thereon, to be of historic or architectural value or interest; and

WHEREAS Notice of Intention to so designate the "Cotton-Hawksworth House" located at 1234 River Road, Mississauga, having been duly published and served and no notice of objection to such designation having been received by the Council of the Corporation of the City of Mississauga.

WHEREAS the reasons for the said designation are set out as Schedule 'A' hereto;

THEREFORE the Council of The Corporation of the City of Mississauga enacts as follows:

1. That the real property, more particularly described in Schedule 'B' hereto, known as the "Cotton-Hawksworth House" located at 1234 River Road, be designated as being of architectural value and historical interest.
2. That the City Clerk is hereby authorized to cause a copy of this by-law to be served upon the owner of the aforesaid property and upon the Ontario Heritage Foundation and to cause notice of this by-law to be published in a newspaper having general circulation in the City of Mississauga.
3. That the City Solicitor is hereby directed to register a copy of this by-law against the subject property.

ENACTED AND PASSED this *24th* day of *June*, 1985.

*[Signature]*  
MAYOR  
*[Signature]*  
CLERK



SCHEDULE 'A' TO BY-LAW NO. *516-85*SHORT STATEMENT OF THE REASONS FOR  
THE PROPOSED DESIGNATION

It is recommended that the Cotton-Hawksworth House be listed on the Mississauga Heritage Inventory and considered for designation for its architectural and historical importance. Constructed in the 1850's of logs from the Credit Indian Village, the house is one of the few remaining log buildings in the City. Historically, the house was built by Robert Cotton, a well known 19th century merchant and farmer in Toronto Township. Now surrounded by a modern subdivision, the house remains a landmark within the Port Credit community.



## SCHEDULE 'B' TO BY-LAW NO. 516.85

Description of Land: Part of Block 'A', Registered Plan 323

ALL AND SINGULAR that certain parcel or tract of land and premises situate, lying and being in the City of Mississauga, Regional Municipality of Peel (formerly in the Township of Toronto, County of Peel), Province of Ontario; and being composed of that portion of Block 'A', Registered Plan 323, designated as Part 2 on a Plan of Survey desposited in the Land Registry Office for the Registry Division of Peel as 43R-6925.

A handwritten signature in dark ink, appearing to read 'Ian D. Robinson', written over a horizontal line.

Ian D. Robinson,  
Ontario Land Surveyor.

## APPENDIX B: HISTORIC IMAGES

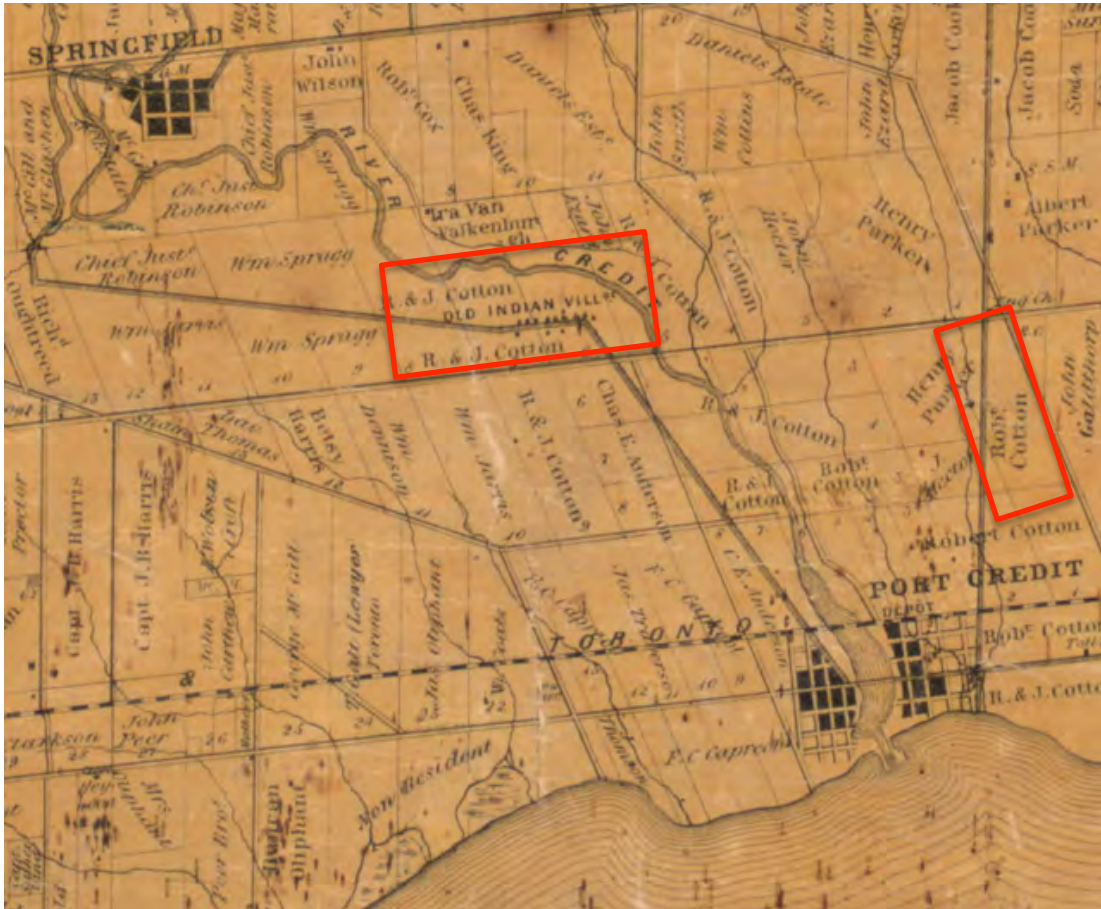


Map showing location of Credit Indian Village [1849]



Sketch of log buildings at the Credit Indian Village [Briggs, 1883]



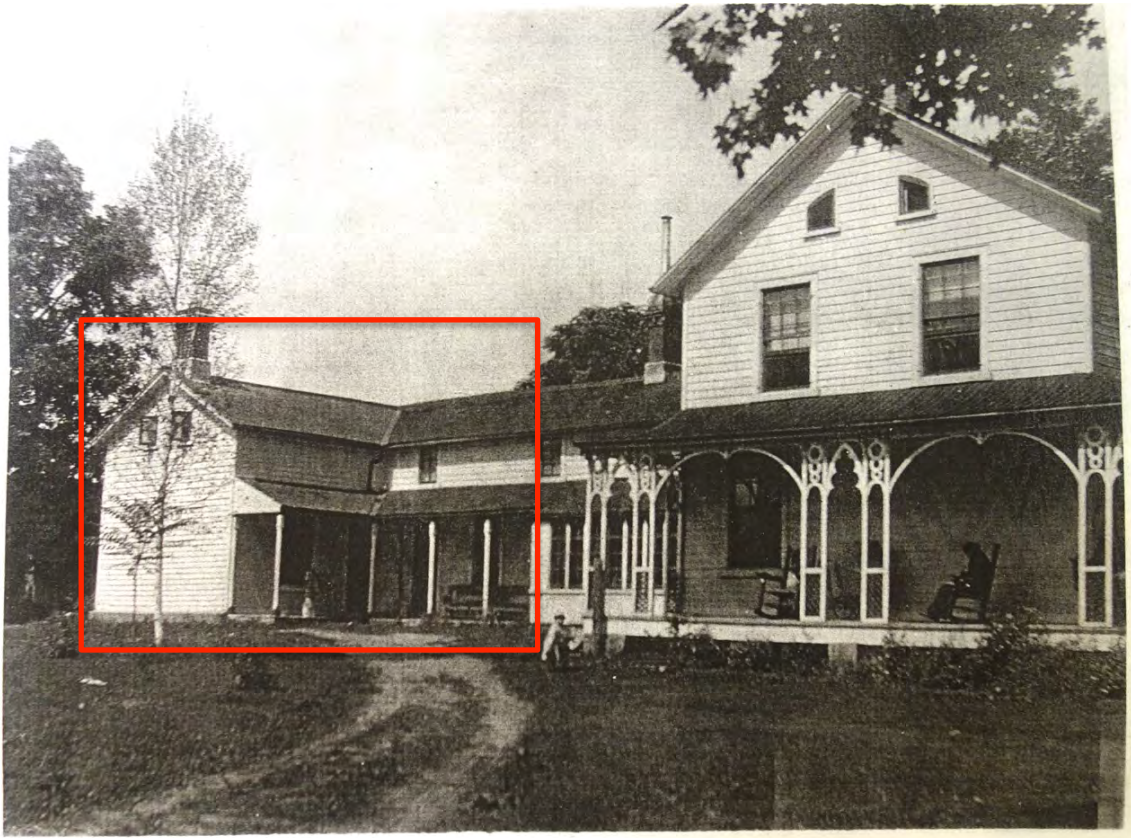


Map showing R.J. Cotton as owner of lands that included the Old Credit Indian Village and the lot where 1234 Old River Road is located [1859 Tremaine Map]

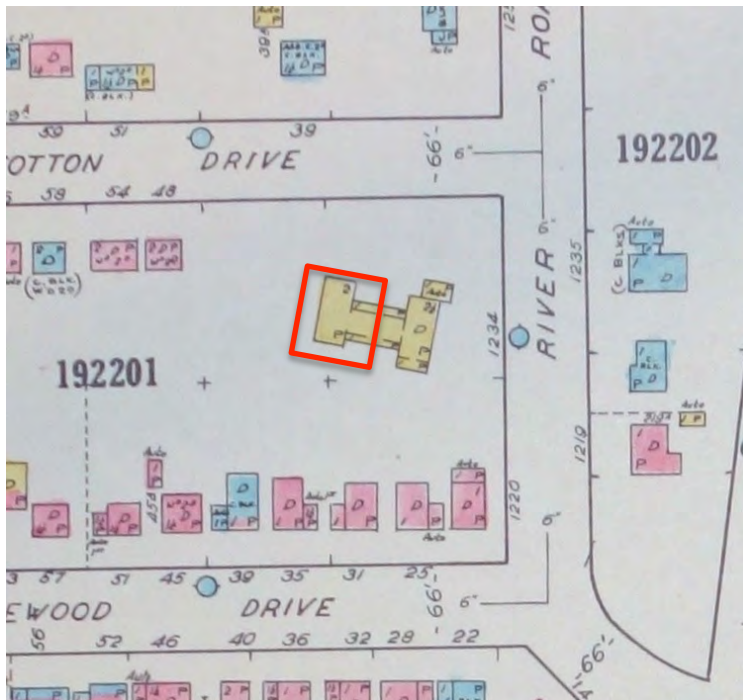


R.J. Cotton's house c. 1900 – the porch has been removed [Heritage Mississauga]





Rear section that was removed in the 20<sup>th</sup> century outlined in red [St. Peter's Church archives]



1952 Fire Insurance Plan – rear section that was removed is outlined in red



c. 1980s [Heritage Mississauga]



c. 1990 [Heritage Mississauga]





1993 [St. Peter's Church archives]

**Storm Window Information Package:**  
**1234 Old River Road, Mississauga, ON, L5G 3G3**

**Work Methods:**

Twelve storm windows are planned to be manufactured and installed at 1234 Old River Road, including five for the main floor and seven for the second floor:

- Main Floor – two on the north elevation (front), two on the east elevation including under the covered porch and the rear extension and one on the west rear extension
- Second Floor – three on the north elevation (front), two on the east elevation above the covered porch and two on the west elevation above the side entrance between the main building and garage

Time will be taken to measure each one individually keeping in mind that most of the storm pocket openings will not be square. Each window will be manufactured and assembled with traditional mortise and tenon joinery using both machinery and hand tools. In this process, time will be taken choose the tightest grained wood for the project out of the 6/4 C-grade pine boarding, determine a cutting list and then cut all pieces to a rough width. All wood members will then be jointed to square, planed down to a final thickness of 1-3/8" using an electric thickness planer, and then cut to their final width using a table saw. Using a router, the correct edges will be cut to receive a 5/8" glass rebate and 1/2" wide Roman ogee detail. All mortises will be laid out and then cut with a helical bit using a plunge router. All tenons will be cut to thickness using a table saw fit with a dado set. All corresponding joints (where a stile meets a rail) will be coped to receive one another. Once the storm windows have been "dry-assembled" and confirmed to be square, they will be glued and pegged together.

After assembly, they will be brought onsite to be "dry-fitted." The purpose for this is to ensure that each one fits perfectly before any paint is added to the wood. Time will also be taken to install the storm hangers into their correct positions as well.

At the shop, each storm will be sanded and prepared for the finishing room. Afterwards, the storm window will receive a linseed oil treatment prior to any painting. This custom-made treatment, combining linseed oil, turpentine, wood preservative, zinc oxide and Japan drier, will help to preserve the wood and prevent the onset of mould or rot. Once the treatment has dried, each storm will be glazed using 3mm modern float glass, Sarco glazing putty, and zinc coated glazing points. Time will be taken to custom cut each piece of glass, back-bed each rebate with putty, lay the glass into the putty, secure the glass with glazing points and front-putty the exterior side.

After approximately three to five days of drying, the putty should have scaled over enough to allow for painting. This is usually determined by an experienced technician who judges this by touching the putty line. Once this is confirmed, the storm windows can then be painted with Allback paint. Three coats will be required for both the interior and exterior sides. No primer paint is necessary. It is important to “over paint” the threshold between the edge of the putty and the start of the glass to prevent water from penetrating past the paint line to the putty. Depending on the temperature of the shop and humidity in the air, this could take up to two weeks to complete this process.

All storm window hangers and handle hardware as well as their corresponding screws will be spray painted a colour that closely matches the colour of the painted storm window to be less visible from the interior and exterior sides (see photo below). The Kilian arm hardware will not be painted to prevent any loss of function on the moving parts.

Once the surface of the third coat has cured, time will be taken to “cut and clean” the glass on each storm window using a putty knife, glass scraper and professional grade glass cleaner. The putty knife will assist in leaving a 1/16” paint seal onto the glass. Afterwards, a single application of linseed wax will be applied to the interior and exterior surfaces and left to cure for two days.

During installation, all storm windows will be carefully hung into place. Once they are secured, the Kilian arm hardware and handles will be installed from the inside.



### Materials:

- Wood: Pine, kiln dried, C-grade 6/4 boarding
- Poplar 5/16" pegs
- Allback linseed oil-based paint
- Allback linseed oil-based wax
- 3mm float glass
- Stanley zinc plated storm window hangers
- Kilian stainless steel storm window arms and handles
- Sarco Multi-Glaze glazing putty
- No. 1 - 3/8 diamond zinc plated glazing points
- Oil treatment (Boiled linseed oil, turpentine, clear wood preservative, zinc oxide, Japan drier)
- Glue: Titebond 3

### Company Profile:

Established in 1972, ARA is Ontario's oldest archaeological and heritage consulting firm. Our longevity flows from the experience of our staff and our ongoing commitment to excellence and customer service. Over the past 44 years, ARA has completed hundreds of contracts for clients in the public, private, and not-for-profit sectors across Ontario. Our founder, Dr. Dean Knight, serves as both a Principal of ARA and a Professor Emeritus of Archaeology at Wilfrid Laurier University (WLU), Ontario's premier venue for postsecondary education in archaeology. The close relationship between ARA and WLU has meant that ARA has consistently been staffed with the best and brightest archaeologists and heritage specialists in Ontario. ARA maintains a full portfolio of policies that provide it compliance with even the strictest government requirements. These include: Workplace Health and Safety, Environmental, Privacy and Confidentiality, and Accessibility. We carry insurance policies for general liability, professional liability, and automotive in the amount of \$5,000,000.

In the fall of 2016, ARA created the Heritage Conservation and Restoration department (HCR) made up of a team of highly trained individuals focused of

conserving, maintaining and revitalizing built heritage materials within Southwestern Ontario. The team consists of individuals who have diplomas from prestigious educational institutions that teach heritage conservation and building renovation including Willowbank School of Restoration, Mohawk Building Renovation Program and Algonquin College Heritage Carpentry and Joinery Program. To date, most of HCR's projects have been focused on the restoration of historic wood sashes and architraves. However, the team did take part in building and installing twenty-three wood storm windows between December 2016 and January 2017 for the second floor of 100 Ahrens Street in Kitchener, ON.



Running the rebate and Roman ogee on the router



Cutting the tenons with the dado set





Storm windows glued, assembled and pegged



First coat of paint before glass installation



Glass installed with glazing points and Sarco putty





Close-up of storm with hardware attached



Final installation: five out of twenty-three storm windows at 100 Ahrens Street, Kitchener



### Qualifications of Key Personnel:

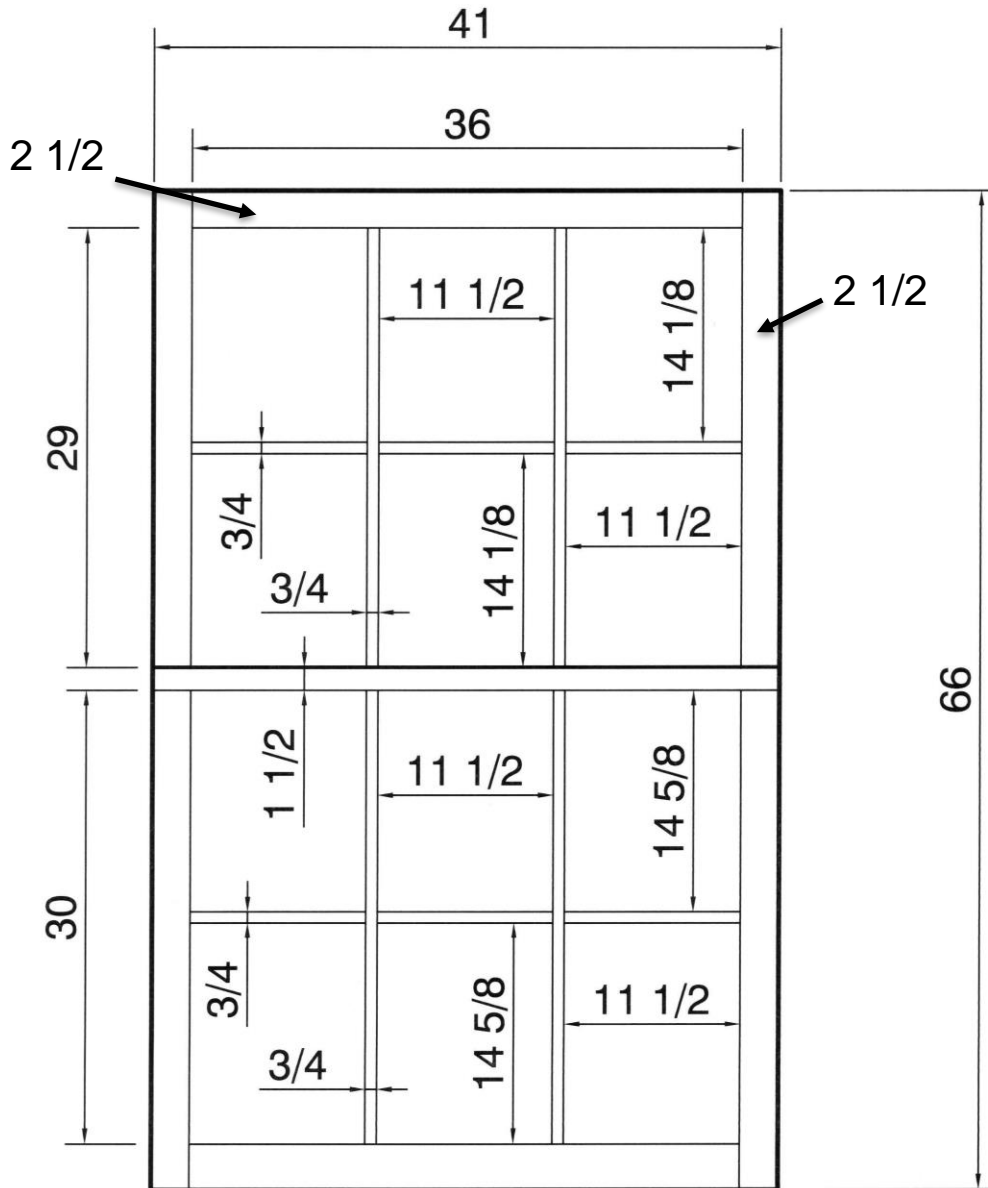
#### **Sasha Knight, B.A., Dip. H. C. – Team Lead - Heritage Conservation and Restoration**

Sasha Knight, ARA's Team Lead – Heritage Conservation and Restoration, has over six years of experience restoring historic buildings in Canada and the UK. He graduated with a Bachelor of Arts with a focus on history and archaeology from Wilfrid Laurier University. Sasha completed a diploma from Willowbank School of the Restoration Arts where he gained knowledge about the heritage conservation field in Ontario and abroad while being mentored by heritage architect Julian Smith. His program combined both theoretical and practical studies that included heritage philosophy, case studies and legislation in the classroom and a variety of trades in the shop including carpentry, masonry and plaster work. Sasha worked in England for Owlsworth IJP, a prestigious and well-respected heritage conservation firm. As a junior millwright, Sasha worked under the tutelage of Paul Sellwood on a wide range of regional wind and watermills across the UK, many of the structures being Grade II\* listed buildings. Projects included the complete rebuild of the Upper Longdon Windmill cap (c. 2014) in Upper Longdon; the complete restoration of Bradwell Windmill cap (c. 1805, Grade II Listed) in Milton Keynes; maintenance work on Saxtead Green Windmill roundhouse (c. 1796, Grade II\* Listed) in Framlingham; maintenance work on Brixton Windmill cap (c. 1816, Grade II\* Listed) in London; complete restoration of the sluice gate at Kingsbury Watermill (16th Century) in St. Albans; and the restoration and installation of the patent sails at Marsh Mill (c. 1794, Grade II\* Listed) in Thornton. In Canada, Sasha has worked for four years on a variety of heritage conservation projects, including the complete restoration of wood and steel sash windows on historic buildings around southwestern Ontario including the Carpenters Shed windows at the Hamilton Steam Museum, complete restoration of the main level steel sash at the Wincey Mill in Paris ON and the restoration of the fixed and hopper sash at the Cotton Mill (270 Sherman Street) in Hamilton.

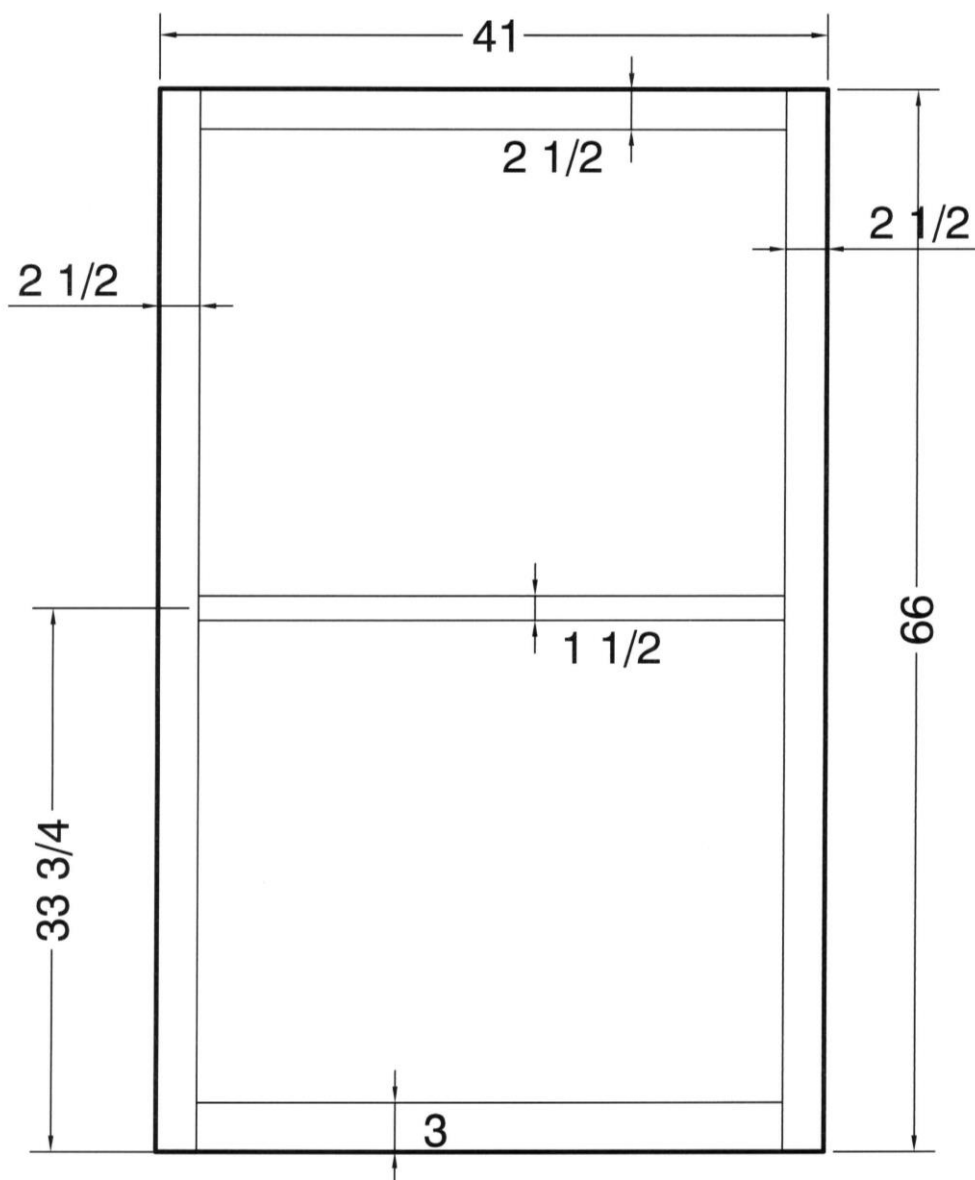
### **Matthew Johnston, Assistant Team Lead – Heritage Conservation and Restoration**

Matthew Johnston, ARA's Assistant Team Lead – Heritage Conservation and Restoration, graduated in 2012 with an honours diploma from Mohawk College as a Building Renovation Technician. During his time there, he was mentored by the likes of Brad MacDonald and Shannon Kyles and learned about architectural history, building design styles, business and construction management and gained a thorough knowledge about the Ontario Building Code as well as theoretical and practical building techniques. Prior to his schooling, Matthew worked at a lumberyard near Caledonia for four years where he learned to work with softwoods and hardwoods and gained knowledge about how to grade and handle a variety of species and identify their physical and mechanical properties and structures. Specifically, Matthew was a team lead in the engineered materials yard where he used new building materials in residential construction projects. His knowledge of lumber has fostered a consistent interest in construction and carpentry projects, where he assisted in the building of two houses and took on many specialty projects including furniture making, deck building and fabricating small decorative additions to interior spaces such as trim and signage demonstrating his ability to work independently, stay on budget and problem solve. In 2012, he began working in the ever-expanding field of heritage restoration. He acted as Team Lead on heritage restoration projects that included the restoration, rehabilitation and renovation of wood and steel architraves, sashes, trim work, cornices and framing in many of the historic architectural building styles common throughout southwestern Ontario. Most of his previous work can be found in Hamilton, Brantford and the surrounding Golden Horseshoe area. Some examples of note include the north facing doors and attic hatches at Dundurn Castle, the complete restoration and re-glazing of all the main level steel sashes at the Wincey Mill in Paris, ON, the restoration of both the fixed and hopper sashes at the Cotton Mill (270 Sherman St.) in Hamilton; the complete restoration of the windows in the Carpenter's Shed at the Hamilton Steam Museum; and the installation of custom made trim for the doors and side lights at Battlefield House in Hamilton.

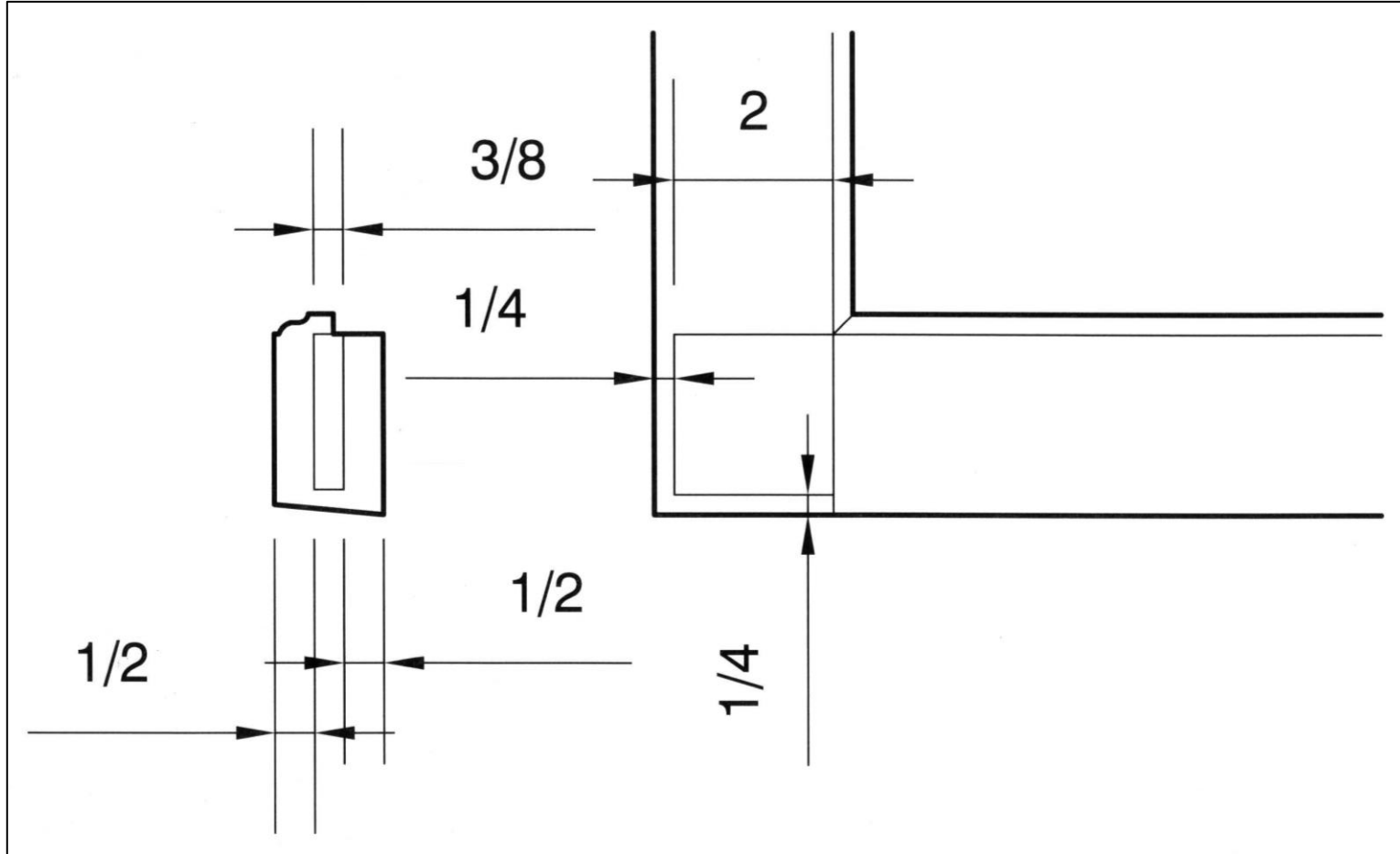
Sash Dimensions from Interior Side



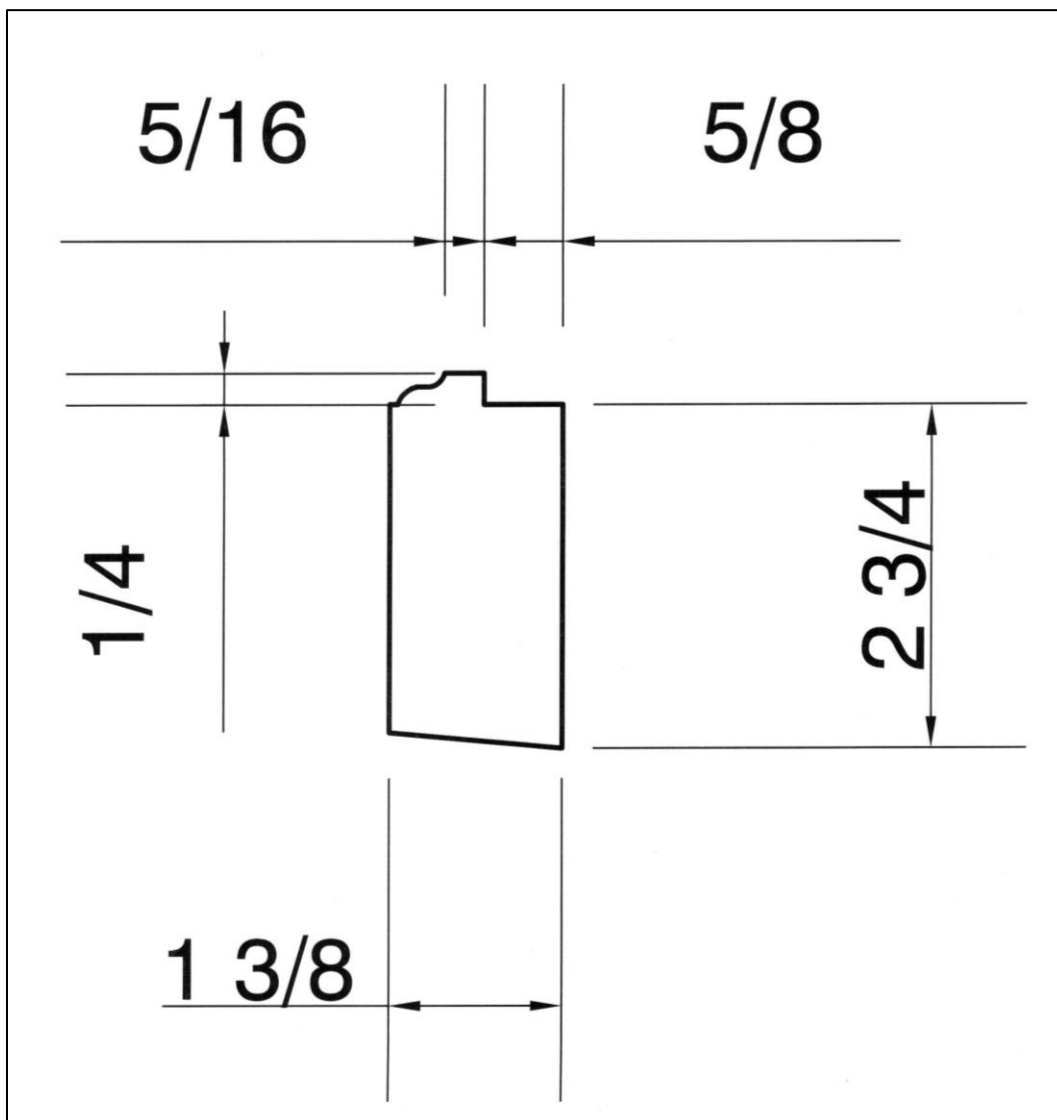
Storm Dimension from Exterior Side



### Detail of Mortise and Tenon Design



Bottom Rail Profile of Storm Window





**Archaeological Research Associates Ltd.**  
 214-900 Guelph St.,  
 Kitchener ON N2H 5Z6  
 (519)804-2291  
 smacleod@arch-research.com  
 http://www.arch-research.com/  
 GST Registration No.: 100247477

**ADDRESS**

1234 Old River Road  
 Mississauga, ON  
 L5G 3G3

**SHIP TO**

1234 Old River Road  
 Mississauga, ON  
 L5G 3G3

**ESTIMATE 1046****DATE 14-06-2017****PO NO.**

HCR-135-2017

ACTIVITY	QTY	RATE	TAX	HOURS
<b>HCR - Labour</b> Main Floor - Architrave Restoration (5) Includes: Scrape, sand and repair all surfaces (not including interior stool or trim); Paint (x3 Coats); Wax	5	247.50	HST ON	1,237.50
<b>HCR - Labour</b> Main Floor - Wood Sash Restoration (5) Includes: Sash removal; Scrape, sand and repair all surfaces (interior and exterior); Re-putty where necessary; Paint (x3 Coats); Wax; Full weather seal package (including sprung bronze and compression bulb)	5	1,112.10	HST ON	5,560.50
<b>HCR - Materials</b> Main Floor Includes: Wood, glass, glazing putty, glue, epoxy, paint, wax, caulking, cleaning materials, hardware, screens	1	716.13	HST ON	716.13
<b>HCR - Site Travel</b> Main Floor Includes: Minimum 6 trips	6	98.00	HST ON	588.00
<b>HCR - Labour</b> Second Floor - Architrave Restoration (7) Includes: Scrape, sand and repair all surfaces (not including interior stool or trim); Paint (x3 Coats); Wax	7	320.10	HST ON	2,240.70
<b>HCR - Labour</b> Second Floor - Wood Sash Restoration (7) Includes: Sash removal; Scrape, sand and repair all surfaces (interior and exterior); Re-putty where necessary; Paint (x3 Coats); Wax; Full weather seal package (including sprung bronze and compression bulb)	7	1,178.10	HST ON	8,246.70

Make all cheques Payable to:  
 Archaeological Research Associates Ltd.  
 and forward to 219-900 Guelph Street, Kitchener, ON N2H 5Z6  
 THANK YOU

ACTIVITY	QTY	RATE	TAX	HOURS
<b>HCR - Materials</b> Second Floor Includes: Wood, glass, glazing putty, glue, epoxy, paint, wax, caulking, cleaning materials, hardware, screens	1	1,002.58	HST ON	1,002.58
<b>HCR - Site Travel</b> Includes: Minimum 6 trips	6	98.00	HST ON	588.00
<b>HCR - Equipment</b> Includes: 3 lifts of scaffold	3	32.00	HST ON	96.00
<b>HCR - Administration</b> Includes: Shop/jig setup, site preparation, material purchasing	1	363.00	HST ON	363.00

The following estimate is for the restoration, re-finishing and weather  
sealing of 12 wood architraves and sash window sets located at 1234 Old  
River Road, Mississauga, ON.

SUBTOTAL	20,639.11
HST (ON) @ 13%	2,683.10

<b>TOTAL</b>	<b>\$23,322.21</b>
--------------	--------------------

Accepted By

Accepted Date

Make all cheques Payable to:  
Archaeological Research Associates Ltd.  
and forward to 219-900 Guelph Street, Kitchener, ON N2H 5Z6  
THANK YOU





# City of Mississauga

## Corporate Report



Date: 2018/03/13  To: Chair and Members of Heritage Advisory Committee	Originator's files:
From: Paul Mitcham, P. Eng, MBA, Commissioner of Community Services	Meeting date: 2018/04/10

### Subject

**Request to Demolish a Heritage Listed Property: 78 Park Street East (Ward 1)**

### Recommendation

That the property at 78 Park Street East, which is listed on the City's Heritage Register, is not worthy of heritage designation, and consequently, that the owner's request to demolish proceed through the applicable process., as per the Corporate Report entitled "Request to Demolish a Heritage Listed Property: 78 Park Street East (Ward 1)", dated 13<sup>th</sup> March, 2018 from the Commissioner of Community Services.

### Background

Section 27.3 of the Ontario Heritage Act states that an owner wishing to demolish a property that is listed on the City's Heritage Register but not designated under the Ontario Heritage Act must give 60 days' notice of their intention to demolish. The notice must be accompanied by a Heritage Impact Assessment (HIA) that meets the City's terms of reference. The purpose of this legislation is to allow time for Council to consider whether the property merits designation under the Ontario Heritage Act.

The owner of the subject property has submitted a heritage permit application to demolish the existing detached dwelling, which is listed on the City's Heritage Register. The property was listed for architectural reasons. The HIA that supports the demolition application, by Stevens Burgess Architect, is attached as Appendix 1.

The demolition application is a condition of sale for the subject property, as part of land assembly for future redevelopment on Ann Street from 78 Park Street East northwards.

## Comments

The owner of the subject property has requested permission to demolish the existing structure. The applicant has provided a Heritage Impact Assessment compiled by Stevens Burgess Architect, attached as Appendix 1. The consultant has concluded that the house at 78 Park Street East is not worthy of designation.

- The subject property has limited cultural heritage value or interest. The house is not abutted by contemporary structures, and while the house and lot on the northwest corner of Park Street East and Ann Street maintains internal integrity, structures on abutting properties are modern or extensively altered.
- An additional listed property is located at the southeast corner of the intersection (19 Ann St): subject to higher degree of alternation, it remains recognizable as a residence contemporary to the subject property
- Some remaining structures on properties north along the west side of Ann St. are likely contemporary, but are moderately to extensively altered, and the east side of Ann St. is the Port Credit GO transit parking lot, resulting in minimal contextual integrity.

Staff visited the site on March 9, 2018. The original house form, massing and shape maintain its integrity as a modest vernacular Gothic Revival cottage inside the lot, within an environment undergoing intensification in the Port Credit GO Transit Station Southeast Area plan.

Regulation 9/06 (attached as Appendix 2) states that a “property may be designated under section 29 of the Ontario Heritage Act if it meets one or more of the criteria” set out in the regulation. Although there is modest heritage value to the property, staff concur with the Steven Burgess Architect’s HIA report that the subject property does not merit heritage designation.

## Financial Impact

There is no financial impact.

## Conclusion

The owner of 78 Park Street East has applied to demolish the property. The property does demonstrate limited heritage value as a remnant vernacular Gothic Revival cottage, but does not merit heritage designation when reviewed against the criteria for Ontario Regulation 9/06. The applicant’s request to demolish should proceed through the applicable process.

---

## Attachments

Appendix 1: Heritage Impact Assessment

Appendix 2: Ontario Regulation 9/06: Criteria for Determining Cultural Heritage Value or Interest



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Paul Mitcham, P. Eng, MBA, Commissioner of Community Services

Prepared by: Joe Muller, RPP, Supervisor, Heritage Planning

# Heritage Impact Assessment of 78 Park Street East Mississauga, Ontario



78 Park St. East  
Credit: SBA, 2017

SBA Project No. 17057

February 26, 2018



40 St. Clair Avenue East, Ste. 301, Toronto, ON M4T 1M9 T: 416-961-5690 F: 416-972-6417 E-mail: [office@sba.on.ca](mailto:office@sba.on.ca)





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### APPENDICES:

**Appendix A: Chain of Property Title**

**Appendix B: As-Found Drawings**

**Appendix C: Redevelopment Architectural Drawings – Not Applicable**

**Appendix D: Heritage Status**

78 Park St. Heritage Inventory & Historical Images

**Appendix E: Curriculum Vitae for Jane Burgess**

Curriculum Vitae for Julia Rady

## 1.0 RETAINER / BACKGROUND

In September 2017 Stevens Burgess Architects Ltd. (SBA) was retained by Edenshaw Developments Limited / 2597561 Ontario Inc. (Edenshaw) to prepare a Heritage Impact Assessment (HIA) for 78 Park Street East (the subject property). Edenshaw is currently in the process of assembling lands on the west side of Ann Street, between Park Street East and Queen Street, in order to undertake a residential development that follows the City's vision for the intensification of property close to the GO station.

Since the assembly has not been completed yet, there are no immediate plans to demolish 78 Park Street East and a redevelopment concept has not been provided in this application. The intent of this application is to obtain approval to demolish 78 Park Street East provided that it forms part of a larger assembly and increases densification as per the City's Secondary Plan

On Dec 18th 2017, an assessment of the interior and exterior of 78 Park Street East was completed. This HIA has been undertaken in accordance with the City of Mississauga Heritage Impact Assessment Terms of Reference.

The intention of the HIA is to evaluate the heritage value and assess the heritage impact of the proposed demolition.

The subject property is "Listed" on the City's Heritage Property Register but is not designated. The author enquired of the City of Mississauga's Culture Division if they had any additional information as to the reasons for listing and was given none but rather referred to Heritage Mississauga and other primary sources.

### ONTARIO HERITAGE ACT R.S.O 1990

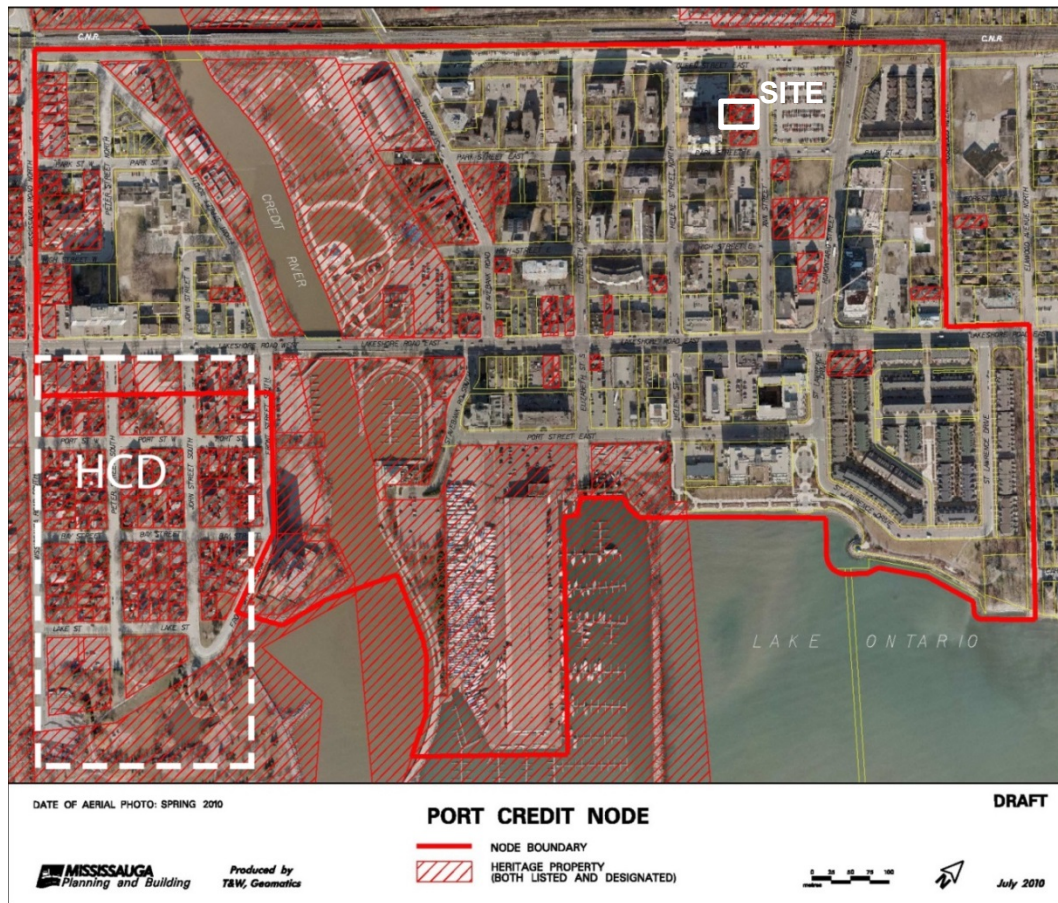
Section 29 of the *Ontario Heritage Act* provides the policy framework for designating a heritage property, noting that a property can only be designated by municipal by-law. If this has not occurred, then a property is not officially designated but a property which has been identified by a municipality as having cultural heritage value or interest, is permitted to be included within a heritage register, pursuant to Section 27(1.2) of the *Ontario Heritage Act*, and states that

*"in addition to the property listed in the register under subsection (1.1), the register may include property that has not been designated under this Part but that the council of the municipality believes to be of cultural heritage value or interest and shall contain, with respect to such property, a description of the property that is sufficient to readily ascertain the property."*

Section 27(3) states that

*"if a property included in the register under subsection 1.2 has not been designated under section 29, the owner of the property shall not demolish or remove a building or structure on the property or permit the demolition or removal of the building or structure unless the owner gives the council of the municipality at least 60 days' notice in writing of the owner's intention to demolish or remove the building or structure or to permit the demolition or removal of the building or structure."*

The *Ontario Heritage Act* also provides the framework for the designation of Heritage Conservation Districts through Part V of the *Act*. There is a designated 'Port Credit Heritage Conservation District' which is southwest of the site.



City of Mississauga, Port Credit Built Form Guide  
(Figure B133 *Cultural Heritage Resources*), annotated by SBA

## 2.0 HERITAGE IMPACT ASSESSMENT

### 2.1 SITE HISTORY INCLUDING LIST OF OWNERS

See also Appendix A "Property Title " for chain of title.

#### 2.1.1 Chain of Property Title: 78 Park St

Owner and Applicant :

To be redacted in Final Report

#### Site History including List of Owners

Year	Vendor	Purchaser	Land Parcel	Comments
1805	Mississauga Indians	British Crown	Etobicoke to Burlington	Lot located in newly created Toronto Township <sup>1</sup>
1834				Village of Port Credit 'initiated' <sup>2</sup>
1846				Plan of Extension of Port Credit : Lot #3 created
1857	Crown	Timothy Conner	Entirety: Lot 3, East of Credit River, Park to Queen Street	The grant included the entirety of Lot 3, PC 2, which Conner purchased for £15. Conner immigrated to Canada from Ireland at some point in the mid-19 <sup>th</sup> century. He worked as a labourer much of his adult life. By 1891 Conner had changed his profession and worked as a tinware peddler. <sup>2</sup> He was married to Catherine who had also immigrated from Ireland and with whom he had one child, a daughter named Ellen Mary who had been born in Ontario. <sup>3</sup>
At some time between 1881 and 1891, Timothy Conner changed his last name to O'Connor. It is unclear whether Conner was his original surname, which he altered, or whether O'Connor was his original surname to which he reverted.				
1905	Timothy O'Connor and Catherine and Ellen Mary O'Connor	Margaret M. Robinson	Entirety: Lot 3, East of Credit River, Park to Queen Street	Robinson purchased the entirety of the lot for \$450.00.
Missing records – there is no deed available for the transfer of the property from O Connor to Robinson.				
1954	Margaret M. Young (nee Robinson)	Micael Vukovic & Roza Vukovic as joint tenants	Part Comm on W side Ann Street. 255' S of Queen St., Thence S 53'3" x W 109'3" x N 53' x E 109' to pofc	The property sold for \$8,500.00
1985	Estate of Micael Vucovic	Joe Vukovich & Mandy Vukovich as joint tenants	" "	Sale amount unknown

<sup>1</sup> Kathleen A. Hicks, *Port Credit: Past to Present* (Mississauga Library System, 2007).

<sup>2</sup> LAC, 1891 Census of Canada

<sup>3</sup> LAC, 1871 Census of Canada

1986	Joe Vukovich & Mandy Vukovich	John B. Boniwell & Diana H. Boniwell as joint tenants, ½ int. and Aurion Walker & Gertrude M. Walker as joint tenants, 50% int.	Pt. Comm E L Thence SW 110.03' x NW 52.96" x NE 110.03' x SE 53.25' to pofc	Sale amount unknown
1994	John B. Boniwell & Diana H. Boniwell as joint tenants, ½ int. and Aurion Walker & Gertrude M. Walker as joint tenants, 50% int.	Christopher Starkey & Cynthia Starkey	" "	Property sold for 168,000.00
1997	Christopher Starkey & Cynthia Starkey		" "	Property sold for \$192,000.00
???				Listed on Mississauga Heritage Inventory

### 2.1.2 HISTORICAL REMARKS

There are a number of missing historical details with respect to the property and occupants of 78 Park Street East. The following traces the historical inquiry made into the property, the methods used, and the theories explored.

#### Lot #3 Conner (O'Connor)

- Conner, the original purchaser of the lot, can be traced through census data available after 1861. We can confirm the identity of Timothy Conner who owned Lot 3 by corroborating the details of his family (his wife Catherine and his daughter Ellen-Mary to whom he left his estate) through the census data. O'Conner is also listed in John Lynch's Directory of 1873-1874 as a peddler (which coincides with the job listed for O'Connor noted on the 1871 census).
- As noted above, Conner changed his name from Conner to O'Connor at some point in the latter 19<sup>th</sup> century. These changes were not uncommon, especially amongst immigrants who sought to integrate into the new culture and society.
- It is unclear where (or if) O'Connor and his family lived on the property. On the heritage registry there are two other listed properties on Lot 3: 24 and 26 Ann Street. Both properties have buildings on them. 24 Ann is a two-storey house that the Mississauga



Planning website lists as constructed circa 1870. The other property, 26 Ann Street, has a one-storey colonial revival structure built circa 1930.

#### Lot #3 Robinson

- There is no deed available for the sale and transfer of the property from the estate of Timothy O'Connor to Margaret M. Robinson. The sale occurred in 1905 and so it is not atypical for records to have been lost in the intervening years.
- There are no records for Margaret Robinson (later Margaret Young). Robinson was unmarried when she purchased the property. This was not typical for the time period. It is a fair assumption that Robinson came from either a wealthy family or received a significant bequest upon the deaths of her parents that she had enough money in her own name to make the purchase. The abstract index for properties for the township do list Robinson as the owner of other properties in the surrounding neighbourhood contemporaneous to her ownership of Lot 3. Of these properties, one was left to Robinson as a bequest. While the details are sparse, they do reinforce the theory that Robinson had money and likely did not live on Lot 3 at Park Street and Ann Street, but instead leased out parts of the property to tenants without establishing formal or legal agreements.
- Robinson does not appear in census records.  
Censuses were collected by enumerators on foot and written by hand; while fairly accurate, they remain subjective historical documents affected by human error and inconsistent in their accuracy. We also consulted various historical atlases for the area as well as local histories to find out who she was. We made inquiries with the local Presbyterian church of which Robinson would likely have been a member to try to trace either baptismal or marriage records but without more specific dates about life events she remains unknown. Finally, we conducted searches of the local newspaper as well as the extensive Perkins Bull Fonds at the Archives in Brampton with no results.

#### Subdivision of Lot #3

- There are no records for the years between 1905 and 1948 when Robinson began to subdivide or sell parts of Lot 3. SBA consulted with Chris Aplin, a title searcher and paralegal, about the lots. Twice we confirmed with Aplin that no records existed about the purchase or sale of the lots prior to the late 1930s. Any subdivision or improvement to the Lot that occurred prior to the 1940s would have occurred informally and without official (or even unofficial) documentation.
- Fire records, another source used to date buildings, do not exist for this particular parcel of land prior to 1954, which SBA confirmed with the Region of Peel archives.
- According to local historian Kathleen Hicks, the Loyal Orange Lodge constructed a new building for Lodge #163 around 1914. Despite repeated enquiries to the Loyal Orange Lodge, there has been no response from them about the building or the Lodge's potential relationship with Robinson. The Lodge officially purchased land (26 Ann Street) from Robinson in 1948.

#### Thomson Family Connections

- The Thomson Lumberyard was located on the east side of Ann St. from 1895 to 1976 when it was expropriated by the Toronto Area Transportation Authority. We explored any potential connection between the Thomson Family and the property at 78 Park Street East but could find none. William and Alex Thomson took over the family business from their father John in 1913. Alex enlisted in the army in 1914 to fight in the Great War. He was killed by a sniper in 1917. The local Legion is named after Alex Thompson, who was much



beloved both in Port Credit and by his regiment. William took on sole ownership of the business after his death. William purchased the property at 24 Ann Street in 1954 from Robinson. This is the only land transaction on record between Thomson and any person connected with Lot #3.

- On the City of Mississauga Heritage Inventory, there are pictures both titled “John Thomson House, Port Credit” of 19 Ann Street<sup>4</sup> (see images below).



- In a discussion of the property with local historian Matthew Wilkinson of Heritage Mississauga, Wilkinson suggested that a house belonging to John Thomson might be located on Lot 3, or that the house belonging to Alex Thomson might have been 78 Park Street East and was moved from another location.
  - SBA thoroughly investigated any potential connection and could find nothing to verify the data
    - The house at 78 Park Street East was raised and put on a new foundation circa 1960. This change might be the source for any conjecture that the house was moved. There is no corroborating evidence in any of the archives or property records consulted to confirm the house on Lot 3 was moved from another location.
    - Similarly, there was no evidence found to support the theory that the house at 78 Park Street East belonged to Alex Thompson. It is unknown who the original occupants of the house were but given the plainness of design and finishes it is probable that they were not wealthy.
    - The house at 19 Ann Street (note figures 1 and 2 below) is similar in style to that of 78 Park Street East. There are some key differences: 78 Park Street East seems to have a slightly steeper gable slope, and the houses have different proportions.
    - In her local history of Port Credit, Kathleen Hicks writes that, “*The John Thomson house was given to Ed Patriquin in May 1964. He was to move it so Thomson’s could use the property for a parking lot. He dismantled it himself and transported it to Big Bay point [...]*”<sup>5</sup>. Lot 3 is not, nor has been, a parking lot. Whatever confusion might remain about the connection between the house(s) at 19 Ann Street and the Thomson

<sup>4</sup> [http://www.mississauga.ca/portal/residents/portcreditgallery?isSearch=true&\\_requestid=823358](http://www.mississauga.ca/portal/residents/portcreditgallery?isSearch=true&_requestid=823358)

<sup>5</sup> Kathleen A. Hicks, *Port Credit: Past to Present* (Mississauga Library System, 2007), 103.

family, the suggestion that 78 Park Street East once belonged to a member of the Thomson family is unsupported by the evidence.

- The Thomson lumberyard occupied the land on the east side of Ann Street and north of Park Street, which could have prompted the theory that any house on Lot 3 might have also had a Thomson family connection dating further back than the mid-20<sup>th</sup> century. The Abstract Index for the properties does not support this early connection. As noted above, William Thomson purchased the property at 24 Ann Street in 1954.



Figure 1:19 Ann St. - Park St. Elevation  
Credit: SBA, 2017



Figure 2:19 Ann St – Ann St. Elevation  
Credit: SBA, 2017

## **2.2 Written Description of Existing Conditions, Chronology of Interventions and Conclusions Regarding Significance**

### **2.2.1 Description of Existing Conditions**

#### **SITE**

The lot of 78 Park St. East is at the corner of Park and Ann Streets. Although the building has a Park St. address it faces Ann St. It is a neighbourhood in transition from single family lots to high rise development. The traffic on Ann St., especially bus traffic, is substantial due to the location of the GO station at the head of the street.

The landscaping is lawns with foundation plantings and a white picket fence at the property line. A modest concrete walkway goes up to the modest wooden front porch.

An asphalt driveway is located behind the house off Park St. A cedar hedge blocks the view of the cars from the house. There is another walkway leading from the driveway to the rear deck and sliding glass doors beyond. There are no outbuildings or garage other than a very modest board and batton lean-to shed against the rear property line.

A wooden deck has been added by the current owner to the rear.



Ann St. Frontage



Park St. Frontage



**OUTBUILDING: THE SHED**

South Elevation



North Elevation



Partial West Elevation



East Elevation

There was no access to the interior of the shed.

The 1954 surveyor's sketch shows a shed, 'Wood? Shed', located in the middle of the back yard. The shed shown in the surveyor's sketch was considerably larger than this shed. There is no shed shown in the current location on the surveyor's sketch.

This modest shed has, appropriately, a shed roof with asphalt roofing and metal starter strips. The rough sawn wood siding was cut with a circular saw and affixed with galvanized flat headed nails. Power tools were used in the construction. The two-pane, single-glazed wood window on the east elevation was designed to be vertically and not horizontally placed; therefore, it must have been scavanged from someother place. The door is painted plywood.

The shed, although compatible with the site, has no heritage value.

**BUILDING EXTERIOR****General**

This vernacular Ontario house could best be described as Gothic Revival, 1840-1870s,<sup>6</sup> although the house is more plain and it lacks many of the features of this style. The Heritage Resources Centre at the University of Waterloo lists key attributes or features in the “style” of the Ontario farmhouse as: decorative bargeboard, arched peaked gables, bay windows, sidelights and transoms. The only decorative element is the modest machine made gingerbread and brackets of the front porch.

The Heritage Resource Centre tells us that this style was probably the most pervasive Ontario residential style prior to 1950 and was promoted in the Canadian Farmer in the 1860s as the storey and half height allowed for two levels of living space at a cheaper tax rate.

It is not known when the house was built but its design and materials are consistent with mid to late nineteenth century.

The building is a classic storey and a half ‘L’ shape, with a modest one storey tail and a one storey porch which fills in the ‘L’. The upper roof and tail have gable ends while the porch roof has a cottage end. The white siding with green trim is the classic colour scheme for this building type.

The house is structurally in good condition with the exception of the porch foundation wall and the concrete steps up to the Park St. door. The exterior finishes and downspouts and miscellaneous wood trim are in need of maintenance.



Front / East Elevation

Credit: Sutton Group Realty

<sup>6</sup> The City of Mississauga's Architectural Styles extends the period of Gothic Revival to 1840- 1900.



Side / South Elevation



Rear/West Elevation





Partial North Elevation from East



Partial North Elevation from West



SW Elevation Showing Shed & Drive

**Foundations** (See also Basement)

The foundations are concrete block cement parged on the exterior.  
The concrete blocks have a large aggregate content not found in modern cement blocks.



Exterior Foundation Showing Heavy Parging at Side



Foundation Wall at Front Showing Failed Light Parging



Failed Block Foundation Wall Under Porch



Interior View of Foundation Block Wall.



### **Walls**

The walls are wood frame with horizontal lapped wood siding on the exterior and plaster and or gypsum drywall on the interior. If this house was built in the 1870's the current siding although old is not original as the nail heads are from the 1900's. There is a champhered water table board between the siding and the foundation.

The wood corner trim and soffit trim boards are painted green.



Horizontal Wood Main House Siding



Wood Siding Meeting Smaller Metal Siding of the Tail.

## Windows

The majority of the windows are single-hung, single-glazed wood with either wood or aluminum storms. The tail, north side of the basement are fiberglass with thermal glazing. The wood sills are original. There is a small wood fixed six glazed panel window in the gable of the tail.

The fixed wood shutters on the second floor were installed by the current owners.



Typical Second Floor Window



Window in the Gable End of Tail



Metal Clad Sliding Doors onto Deck



Fiberglass Window in Tail

### Entry Doors

The front entry door is solid wood (perhaps maple) with five chamfered panels below and a single glazing pane above. The glazing panel has decorative scroll work beneath and decorative trim around the glazing. The door likely dates from the late 1800's.

The door to the tail is a circa 1950s cedar door with three panels below an upper glass panel.



Front Entry Door



Entry Door to Tail

### Roof and Roofing

The roofing is green asphalt shingles in fair condition. The eavestroughs and downspouts are painted metal. The downspouts do not appear to be adequately sized and the connections to the eavestroughs are inadequate.

The fascia are very typical, made up of one piece of decorative crown wood molding above a flat wood board. The original soffits have been replaced by painted plywood. There is no venting.



Rear Gable Temporary Repaired Downspout



Peak of Rear Gable

### **Chimney**

There is only one chimney. It is made of a hollow half concrete block, painted green. The block chimney is sized for a metal flue.

There were no signs of any chimney foundations in the basement nor any indication of fireplaces in any of the interior rooms.



Block Chimney at North Wall



Gap Between Chimney and Siding

### **Front Porch**

The front porch is wood on a concrete block foundation. The ceiling has been recently replaced with cedar. The wood railing was installed by the current owners. The chamfered posts, beam, corner brackets, and gingerbread are machine made, which would date the porch to the early twentieth century.

In spite of the failed foundation the wooden porch is showing no structural distress.



Front Porch



Post , Corner Bracket and Gingerbread Trim.



**BUILDING INTERIOR**

The spacial configuration of the interior remains substantially as it probably was designed.

**Basement**

The Basement floor is a concrete slab in excellent condition and is dry. There are a number of interior drains. The majority of the walls are covered in drywall but in three locations at the rear of the house the concrete blocks are visible.

There is one pole (peeled 12" log) column visible on the south side of the stair opening. This column sits on top of the concrete slab so it obviously is a reused remnant from an earlier foundation system. Along the north side of the stair opening there is a 10 x 8 solid timber smooth sawn beam supported by a concrete column. The beam is weathered and is installed with the short 8" dimension carrying the load. Beams in basements are not typically weathered. The underside of the subflooring above is reciprically rough sawn. Every other true 2 x 8 joists are sistered with modern 2 (1 ½) x 8 (7 ½). The basement ceiling is high, 7'-4"ft.

The wood basement windows on the south side are from the twentieth century as are the basement stairs.

According to the current owner the previous owner said that they raised the house in 1960. Assuming that the house dates to the 1800's the current block foundation walls and interior load bearing elements are of the 1900's and therefore not original.



Remnent Pole Column in Basement



Sistering of Alternate Floor Joists



Drywall Exterior Walls in Basement Front Room. (Typical)



Original ( 1900's ) Basement Windows

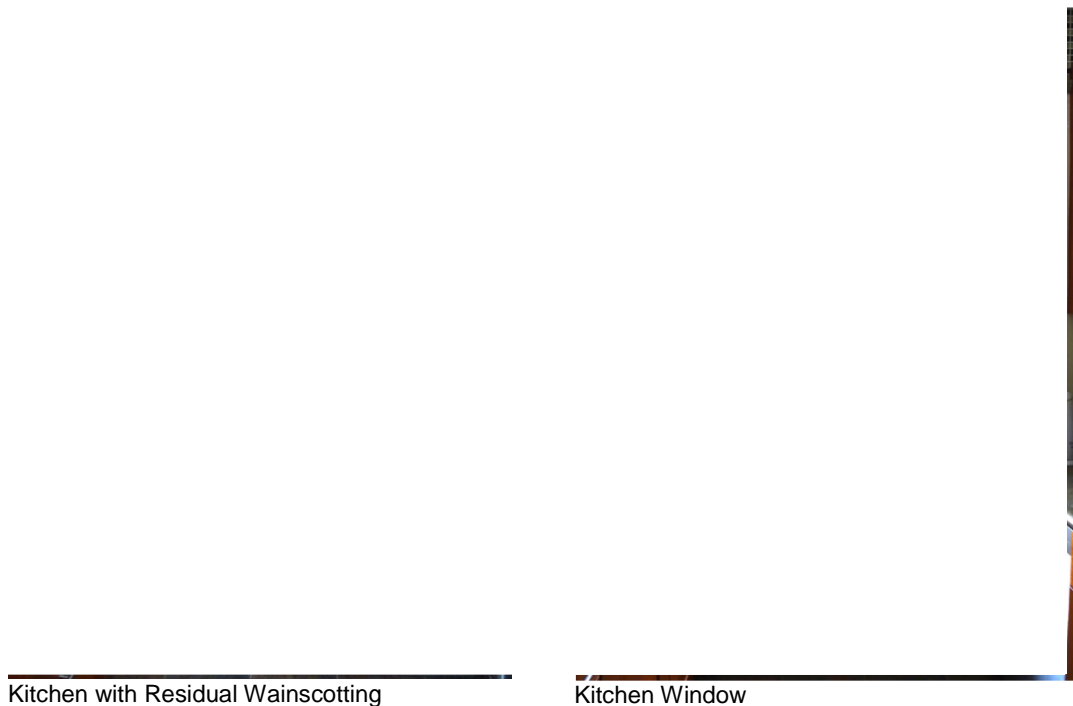
### Ground Floor

The ground floor has three principal rooms: kitchen, dining and living, and a small bathroom. The bathroom probably stems from a time when the house was a duplex. There are no doors on the interior of the lower level.

The kitchen was remodelled by the current owner in 2010. The only heritage features are the wood window trim and some residual simple tongue and groove wainscotting. The floor is ceramic tile.

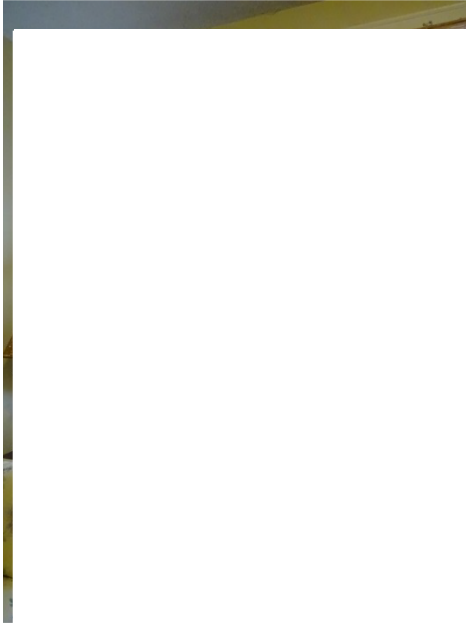
The dining and living room have stippled plaster rendering over plaster ceilings in fair to poor condition.

The flooring of the dining and living room is 4 1/2 inch tongue and groove softwood. The flooring is old and would more typically be found as subflooring under a hardwood floor. The direction of the flooring is consistent with a subfloor. There are some small nailholes in the flooring but not enough to reflect that a hardwood floor had once been affixed to the subfloor. The 10" baseboard of the dining room is probably original while the 7" baseboard, although old, is likely a replacement. The window and door trims are simple and likely original.



Kitchen with Residual Wainscotting

Kitchen Window



Window Trim and Baseboard (7") of Living Room



nal Flooring of Dining & Living Room

1

### Halls and Staircase

The lower hall is only 4' x 5' and has narrow oak hardwood flooring. The hardwood floor is flush with the softwood floor of the living room.

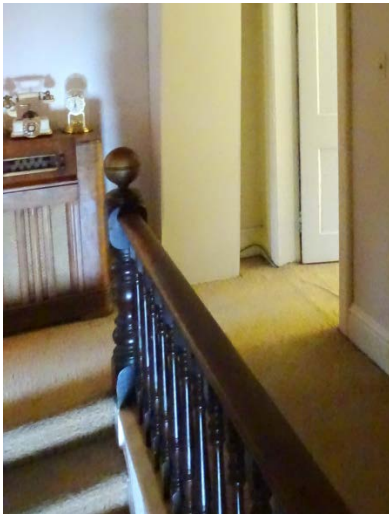
The staircase is one straight run covered with carpet from the stringers. It would appear that the staircase is original. At the upper lever there is a walnut (?) railing and newel post. This is one of the most decorative heritage feature in the house.



Staircase From Second Floor to Front Door



Return Air Register in Hardwood Floor at Entry



Second Floor Banister & Newel Post



Upper Hall

**Second Floor**

There are three bedrooms, a linen closet, and a bathroom on the second floor. The bathroom would originally have been another bedroom. The rooms are fit into the gables resulting in kneewalls along the outside walls.

The ceilings are drywall and/or plaster. The floors are all carpets except in the linen closet where the original painted softwood floors are visible. The window and door trim are original and the same as the ground floor. The baseboard is 7", similar to the living room.

The doors are four panel with the exception of the linen closet which is a slat door. The doors and some of the hardware appears to be original.



Flooring of Linen Closet

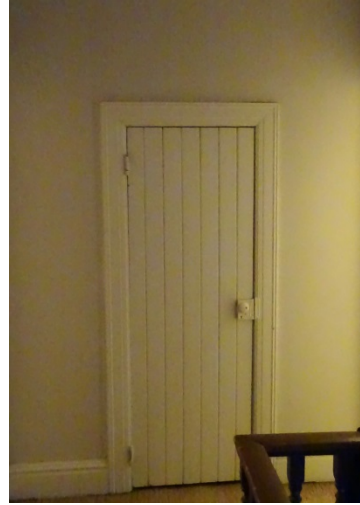


Typical Second Floor Window.





Typical Panel Door



Tongue and Groove Slat Door

### **The Tail**

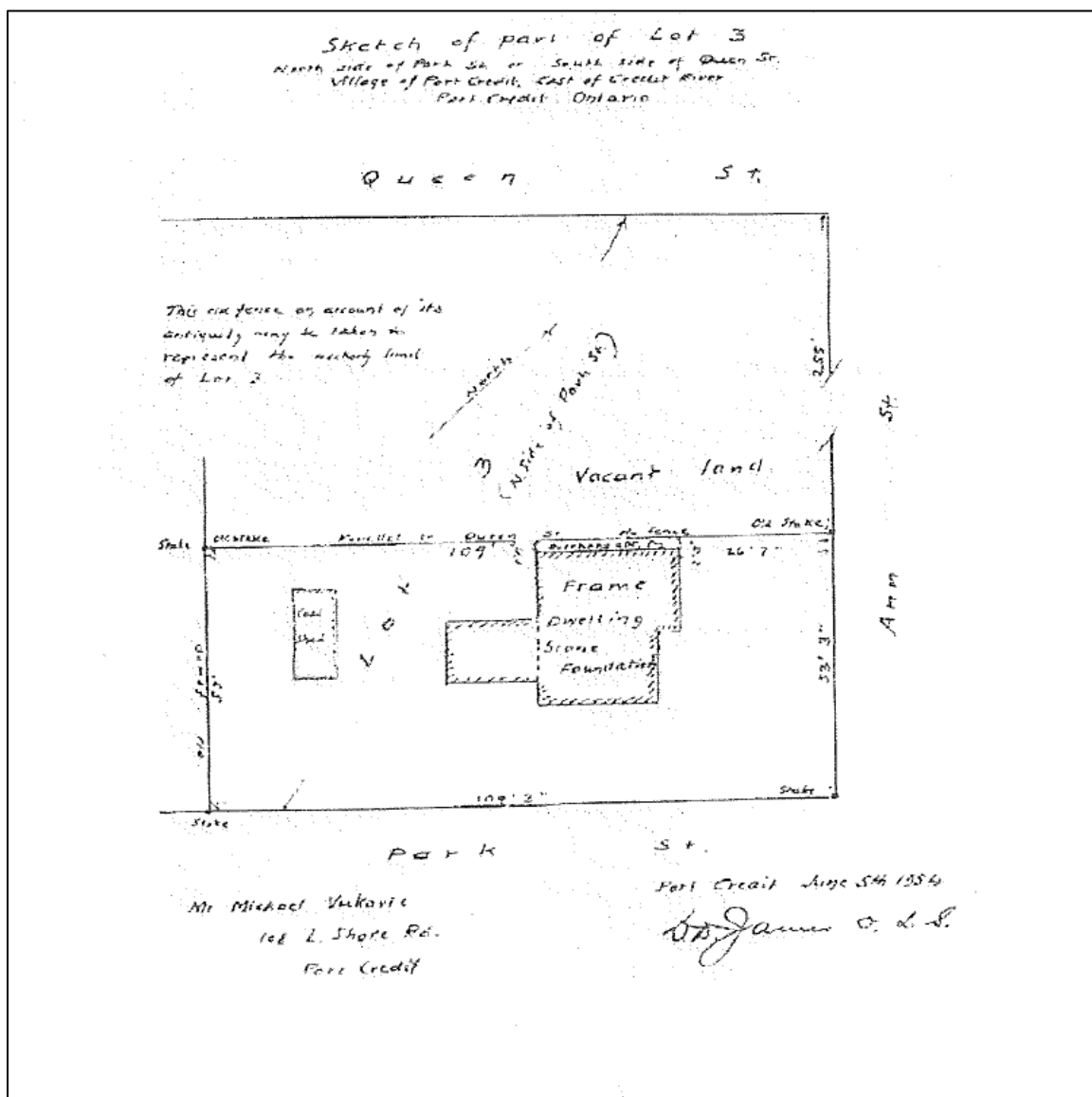
The current owner was told by the previous owner that they put the tail on in 1960 at the same time as they put the house on the new block foundation. The curious thing is that the window in the gable end of the tail seems much older.

There is just a single room which is used as living space. The ceiling is cathedral with wood clad ceiling collar ties. The walls are drywall and the floor carpeted. The wall adjacent to the house is thin stone veneer put on by the current owner.

## 2.2.2 Chronology of Interventions

This straightforward working house has few visible exterior interventions. All the windows and doors as viewed from the street are original.

There is no record of the original appearance of the house, but the front porch with its manufactured gingerbread could be an addition since the porch is not shown on the 1954 survey.



1954 Surveyors Sketch

It is interesting that the porch gingerbread, brackets, and posts seem to be identical to those on a photograph in the Port Credit Historic Images Gallery of the John Thomson House purported to have been located at 19 Ann Street.



HA0060: John Thomson House  
Credit: Historic Images Gallery

If oral history is to be believed, most substantial interventions at 78 Park Street East occurred in 1960. These interventions included a new concrete block foundation in lieu of the original fieldstone, a concrete block chimney replacing some earlier probably interior chimney or chimney breast, and the addition of the tail. The 1954 Survey indicates stone foundations and a tail in roughly the same location as exists today.

The second generation of changes came with the current owners. Shutters were tacked on the second storey, and an unpainted board fence was replaced with the ubiquitous white picket fence.

## 2.2.3 Conclusions Regarding Significance

This property's significance lies in its being a fine example of a very typical nineteenth century Ontario working class house in the plainest Gothic Revival style. Part of the significance of the house is the size of its lot, which would be typical of the time.

### Gothic Revival 1840s-1870s

*Gothic Revival looks "pointy" and picturesque with characteristic gingerbread  
First style not based on classical form*



Merrill House, 343 Main Street East,  
Picton, Ontario, 1878 (Kyles, 2002f)



Enoch Turner Schoolhouse, 106  
Trinity Street, Toronto, 1848  
(Ontario Heritage Trust, 2008)



Bryning Manse, 676 Mount Pleasant, Brant County,  
1840 (Canadian Register Nomination)

Form:	Usually symmetrical, tall with peaks
Storeys:	1 ½ +
Facade:	Stone, board and batten, brick
Roof:	Steeply pitched roof, front gable(s) usually with decorative bargeboard
Windows:	Arched under peaked gables, occasionally bay on first level, often have drip moulds
Entrance:	Centred, door often with sidelights and transom
Verandas:	Usually have bargeboard, often second storey balcony above entrance

"The Bryning Manse is a restrained one-and-a-half-storey structure in the Regency-Gothic style, which is appropriate for a Presbyterian manse in a rural pioneer community. Typical of this style, the house has classical proportions which are emphasized by the first storey 6-over-6 windows. Also present are two steeply-pitched gables with 4-over-4 gothic windows and a front porch covered by a bell-curved roof supported by flattened columns." (Canadian Register Nomination)

Credit: University Of Guelph- Heritage Resource Centre Architectural Styles



Credit: University Of Guelph- Heritage Resource Centre Architectural Styles

There are at least three other houses that are representative of this style in the immediate neighbourhood and many more examples in Port Credit itself.

19 Ann St.





19 Stavebank Rd



6 Helene St.



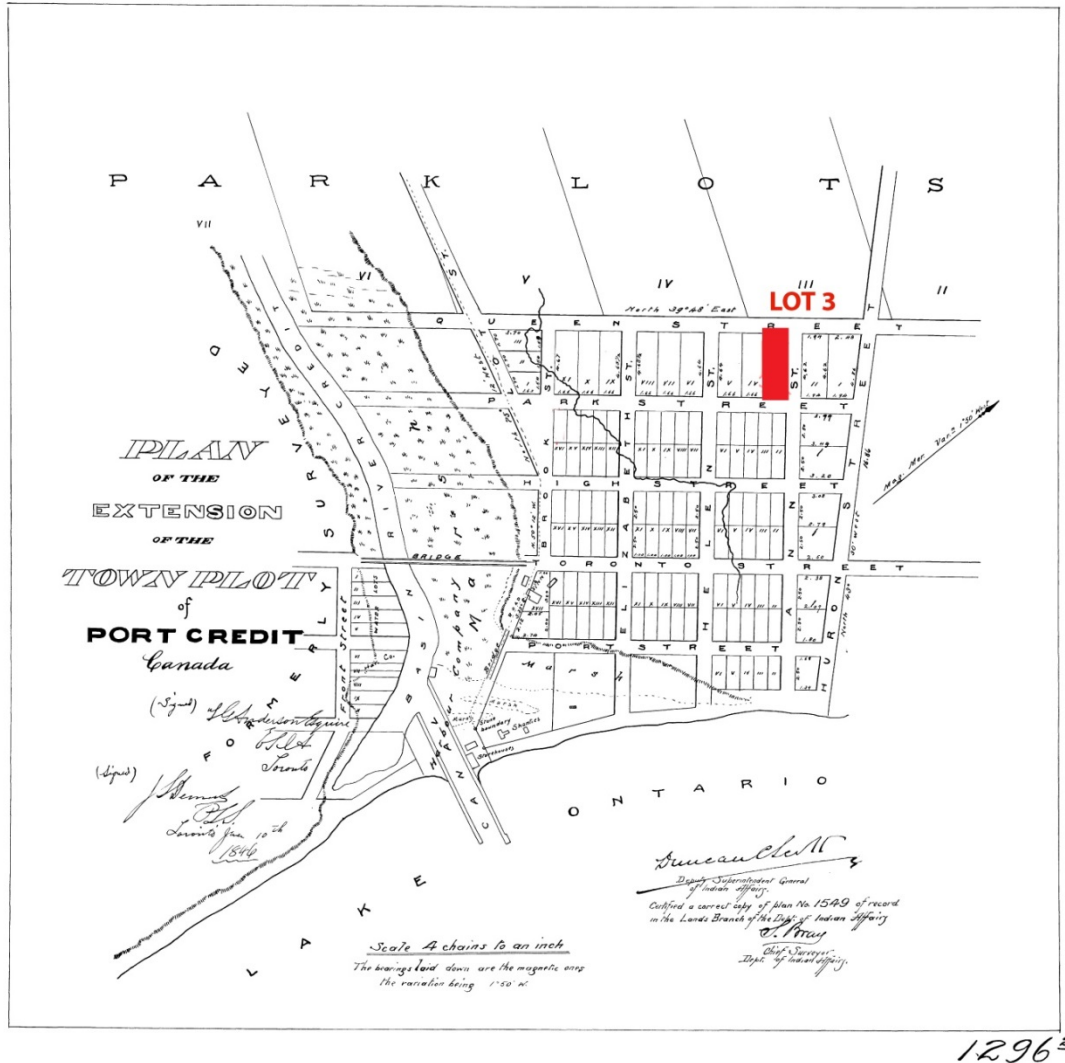
There are no unique features but the heritage attributes of the house reside in its lack of significant alterations.

There is no prominent person associated with the house. It is not known who lived in this house before 1954 but given the plainness of the finishes it was unlikely to be anyone wealthy or of associative significance.

## 2.3 DOCUMENTATION OF HERITAGE RESOURCES & RELEVANT MUNICIPAL REQUIREMENTS

### 2.3.1 Documentation of Historic Resources

#### Historical Maps



1846 Plan of Extension of Port Credit (Credit: Matthew Wilkinson, Heritage Mississauga)





Aerial Photographs<sup>7</sup>

1954

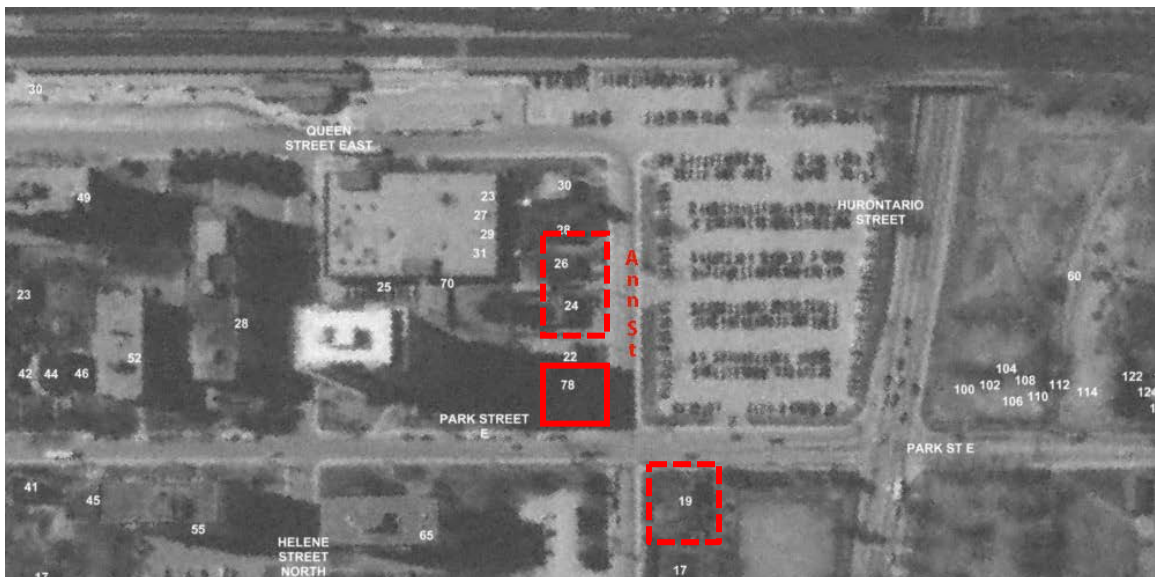


1966

<sup>7</sup> All maps taken from:  
<http://www6.mississauga.ca/olmaps/maps.aspx#map=19/8859447.03/5396809.3/0.9075712110370514>  
 And annotated by SBA

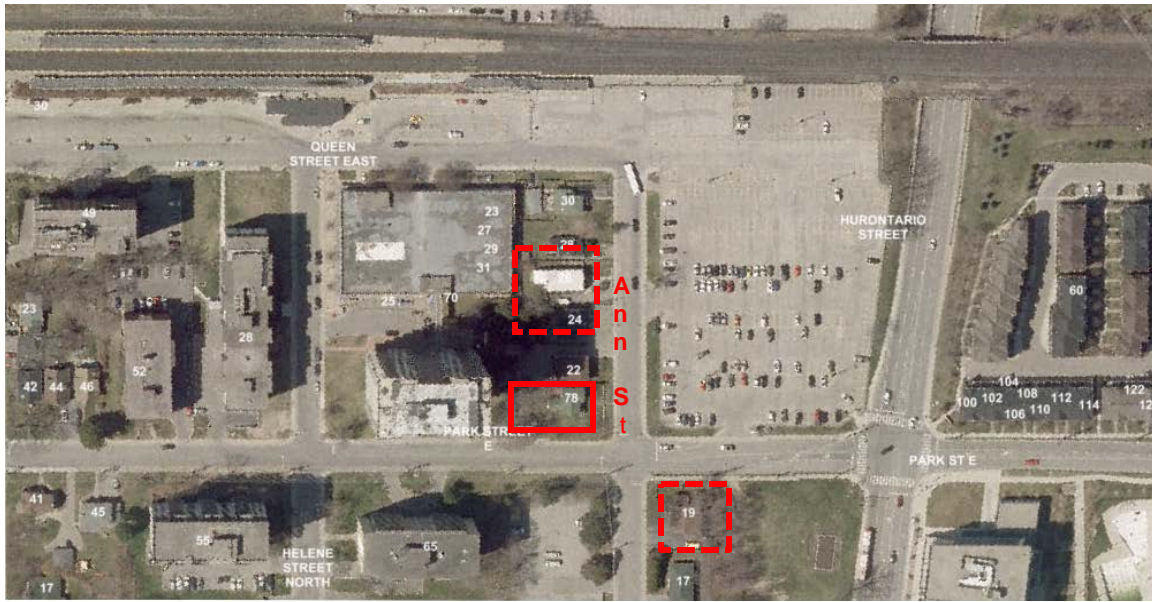


1975

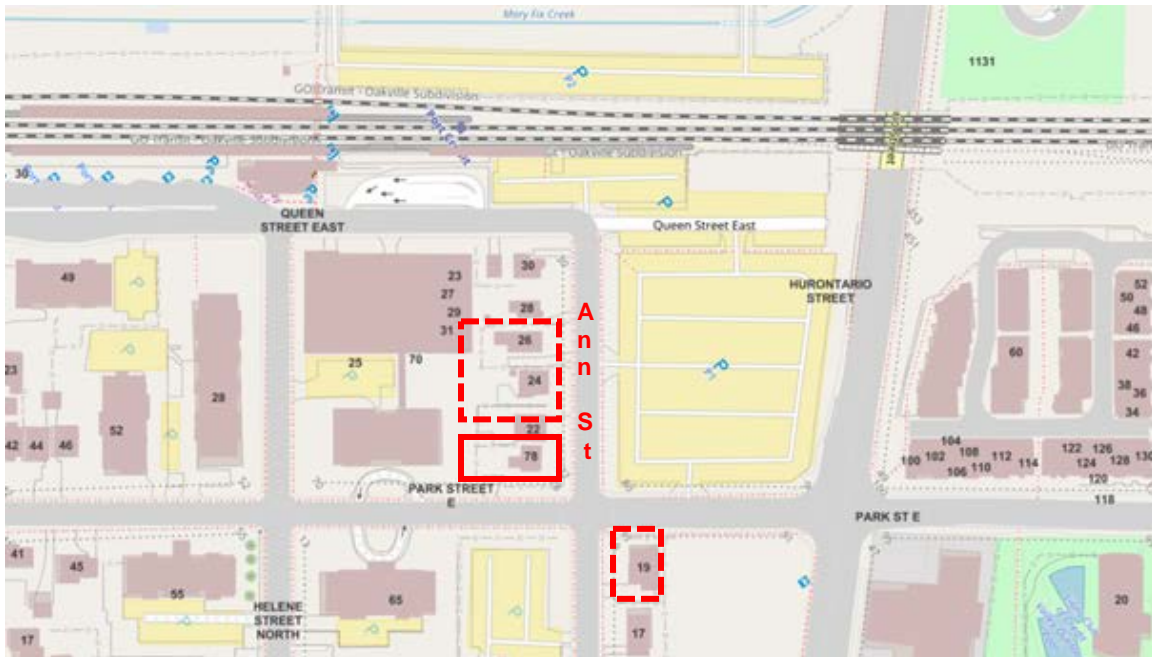


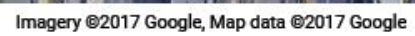
1997





2017







## 2.3.2 Relevant Municipal Requirements

*The following was prepared with assistance from the planning staff at IBI and Edenshaw Developments Limited.*

### Official Plans

Official Plan Schedule	Designation/ Characterization
Schedule 1 (Urban System)	Community Node, Intensification Corridor
Schedule 1b (Urban System- City Structure)	Community Node
Schedule 2 (Intensification Areas)	Community Node, Intensification Corridor, Major Transit Station Area
Schedule 9 (Character Areas)	Port Credit Community Node
Schedule 10 (Land Use Designations)	Mixed Use

The Mississauga Official Plan provides broad policy direction on the height, densities, and type of land uses to be achieved. The subject site is identified as a Community Node and Intensification Corridor in the Official Plan. The property is designated as mixed use.

### Applicable Heritage Policies of the Official Plan

- 7.4.1.2 Mississauga will discourage the demolition, destruction or inappropriate alteration of reuse of cultural heritage resources.
- 7.4.1.3 Mississauga will require development to maintain locations and settings for cultural heritage resources that are compatible with and enhance the character of the cultural heritage resource.
- 7.4.1.13 Cultural heritage resources must be maintained in situ and in a manner that prevents deterioration and protects the heritage qualities of the resource.
- 7.4.1.14 Cultural heritage resources will be integrated with development proposals.
- 7.4.1.16 Mississauga will acquire heritage easements, apply restrictive covenants, and enter into development agreements, as appropriate, for the preservation of cultural heritage resources.

The next section, 7.4.2, goes on to define what is meant by ‘*cultural heritage properties*’ and provide policies related to cultural heritage properties.

*“Cultural heritage properties are those properties or defined areas that are determined to be of cultural, historical, archaeological or natural significance and/or value. A heritage designation is applied to properties that have contextual, archaeological, historical/associative and/or physical/design value that is to be preserved. Properties of cultural heritage value are designated under the Ontario Heritage Act, on the*

*City’s Heritage Register, and include listed properties that have not been designated under the Act, but that City Council believes to be of cultural heritage value or interest.”*

- 7.4.2.2 Prior to the demolition or alteration of a cultural heritage resource, documentation will be required of the property to the satisfaction of the City, and any appropriate advisory committee. This document may be in the form of a Heritage Impact Assessment.

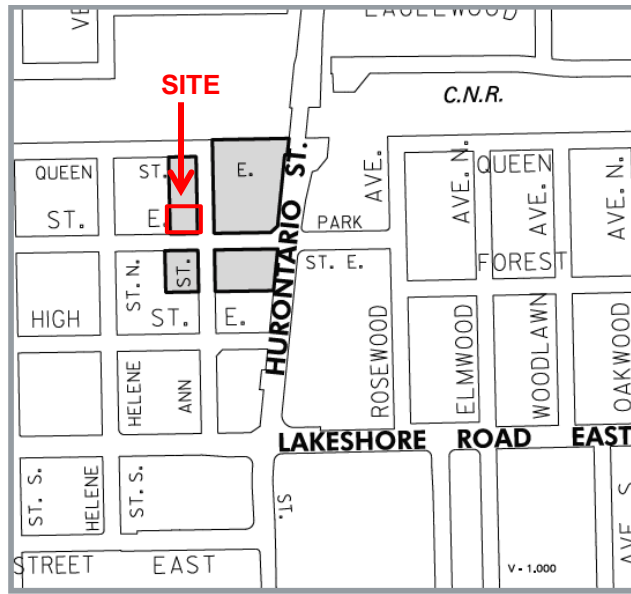
All the above policies apply only to 'cultural heritage properties'. Regulation 9/06 under the Ontario Heritage Act, sets out how to evaluate properties in order to determine if they have sufficient 'heritage value or interest' to meet the criteria for designation. This has been undertaken in Section 4.0 of this HIA.

A Heritage Impact Assessment (HIA) is required for applications for development involving cultural heritage resources and any construction, development or property alteration that might adversely affect a listed or designated cultural heritage resource that is proposed adjacent to a cultural heritage resource pursuant to Sections 7.4.1.10 and 7.4.1.12 of the OP. The requirements of these sections are met by the performance of this assessment.

### **Port Credit Local Area Plan**

Port Credit Local Area Plan Schedule		Designation/ Characterization
Schedule 1 (Port Credit Character Areas and Precincts)		Community Node Character Area (Central Residential Precinct)
Schedule 2 B (Port Credit Community Node Height Limits)		2 to 22 Storeys

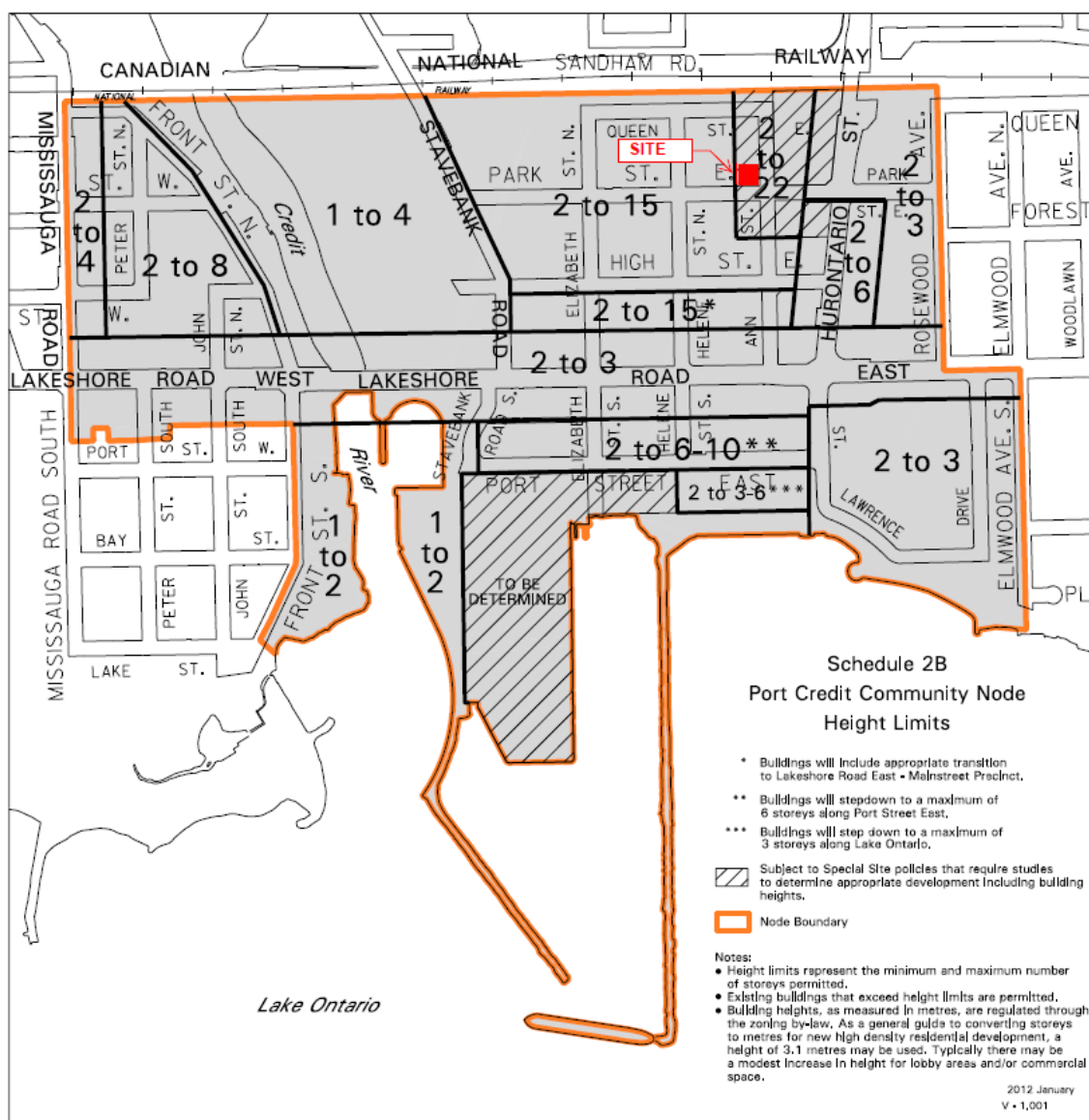
The site is located in the Central Residential Precinct within the Community Node Character Area. Within the Local Area Plan, Section 5.5.2 states that permitted building heights for new Development in the Port Credit Community Node will support the vision as an urban waterfront village and respect the existing character. Generally, the Plan recognizes that additional height and density may be appropriate within areas adjacent to major transportation projects (e.g. GO Transit, Light Rail Transit). Specifically, Section 10.2.2 establishes policies for the Central Residential Precinct. This section describes the area as containing a significant concentration of apartment buildings with potential for intensification, primarily in the immediate vicinity of the GO Station. This Precinct is identified as an area where the highest building heights in Port Credit will be located. The Port Credit Local Area Plan identifies twelve (12) properties (herein referred to as Site 12) south of the Port Credit GO Station and west of the future LRT that are appropriate locations for intensified development.



Site 12 as designated by Section 13.1.12 of the Mississauga Official – Local Area Plan

Schedule 2B of the Local Area Plan identifies the site as being within an area where a minimum height of two (2) and a maximum of twenty-two (22) storeys is permitted. Accordingly, any redevelopment on the subject site that includes increased height and density would be consistent with, and implement, the general vision of the Local Area Plan.





### Port Credit Built Form Guide

The Port Credit Built Form Guide demonstrates how the general urban form policies of the Mississauga Official Plan and Port Credit Local Area Plan can be achieved. Further direction on the appropriateness of the built form will be reviewed as part of rezoning and site plan approval processes once the assembly is completed. The Built Form Guide advises that any changes to listed properties require a Heritage Impact Assessment.

Section 3.5 Cultural Resources: *“Designated properties are to be retained. The retention and enhancement of heritage listed properties is strongly encouraged. Properties listed on the Heritage Register will be preserved in their existing location. Any development will incorporate these structures in the design of the proposal. Any changes to these structures or developments adjacent to these structures will require a Heritage Impact Statement and may have additional requirements. Additional requirements may include, but are not limited to, a review and approval from the Heritage Advisory Committee and Council”*

This HIA has been undertaken to research the property, evaluate the heritage value and interest, and assess the impact.

### Port Credit GO Station Southeast Area Master Plan Study, October 2015

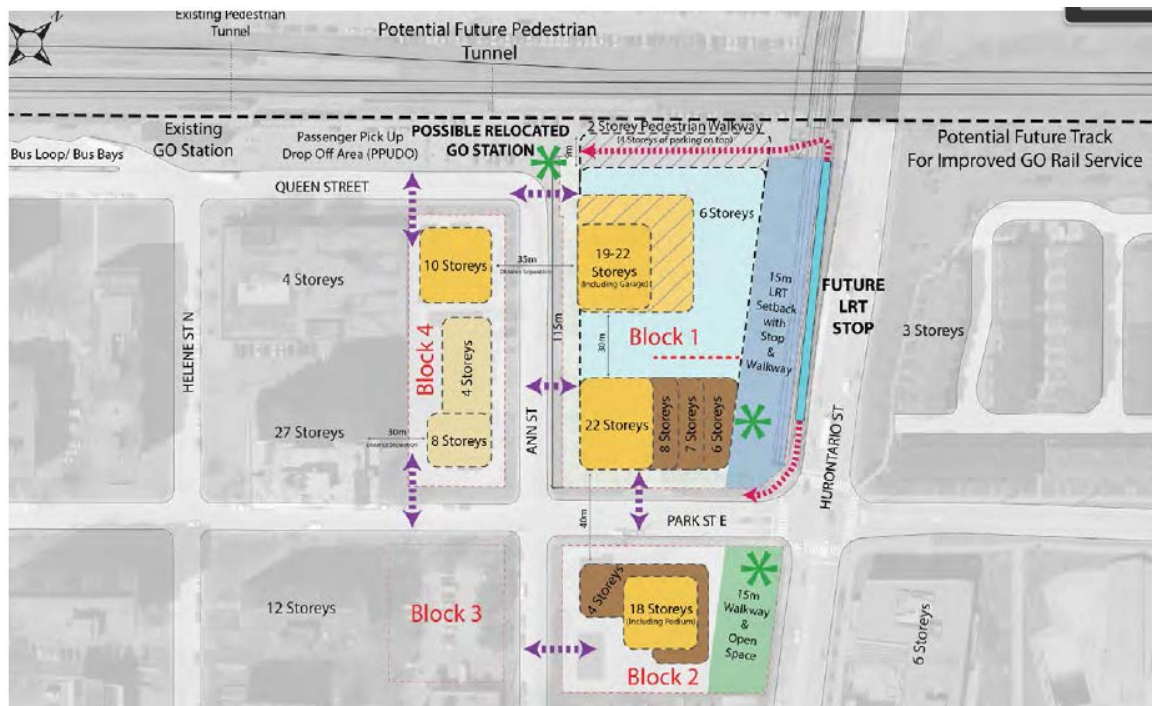
The Master Plan Study (Port Credit GO Station Southeast Area Master Plan Study, October 2015) was intended to help guide the preparation and review of development proposals for all lands designated within Special Site 12 of the Port Credit Local Area Plan.

The following is from Metrolinx's 2015 'Port Credit Go Station Southeast Area Master Plan Study:

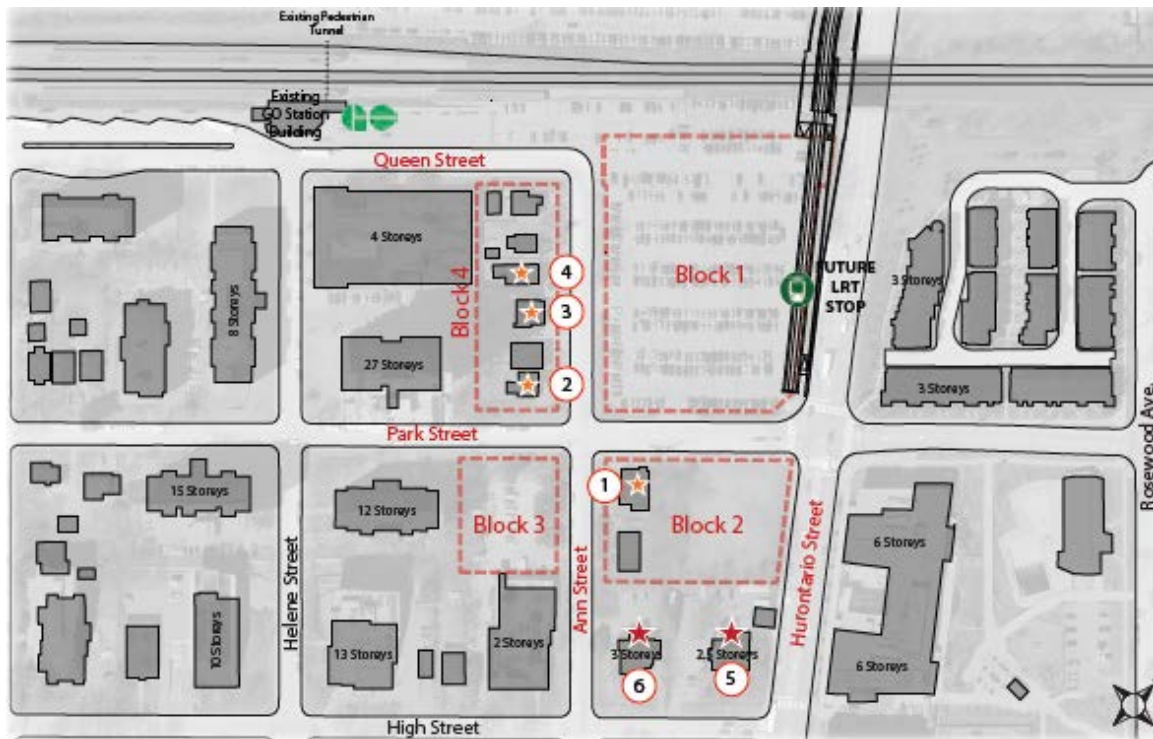
Section 1.1 Prevailing Municipal Policy Framework: *The central portion of Port Credit is identified as a 'Community Node' by Schedule 2 of the Mississauga Official Plan. Community Nodes are to provide for a similar mix of uses as Major Nodes, but with lower densities and heights. Generally building heights of up to 25 storeys are allowed within Major Nodes and many properties have permissions for a floor space index (FSI) of over 5.0.*

*Schedule 2 also identifies the Port Credit GO Station as a 'Major Transit Station Area' and Hurontario Street as an 'Intensification Corridor'. As per policies of the Port Credit Local Area Plan, the greatest heights and densities within Port Credit are to be within proximity of the GO Station and the future HMLRT stop.*

The development concept plan shown below assumes partial and full land assembly to facilitate block development in order to achieve the built form objectives for the Port Credit GO Station Southeast Area Master plan.

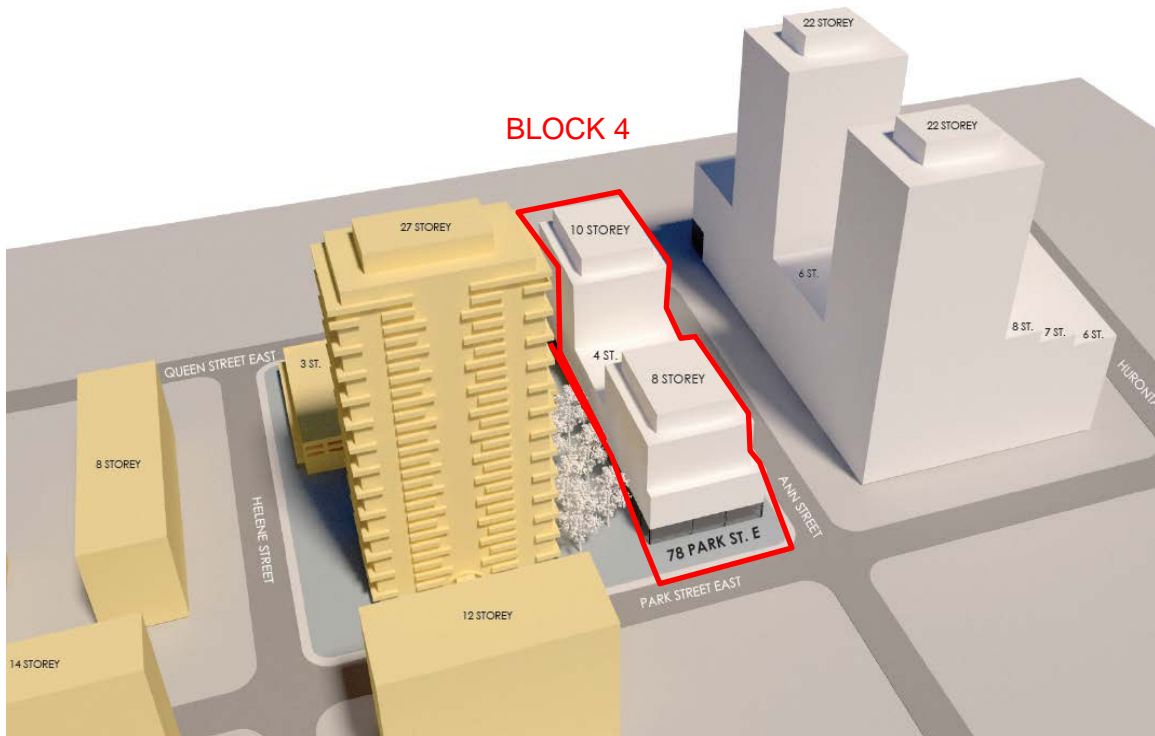


Metrolinx owns the majority of lands that comprise the north corner of the Port Credit GO Station Southeast Area, shown as Block 1. This Block currently functions as a surface parking lot for GO Transit customers.



78 Park Street is one of six addresses that comprises Block 4. The 2015 Master plan study envisioned its redevelopment to include three buildings between 4 to 10 storeys. Three of the six properties (78 Park Street East, 24 Ann Street and 26 Ann Street) that comprise Block 4 are listed on the City's Heritage Register. As noted, the type, height and timing of new development depends on a number of factors, including the outcome of heritage reviews and the land included in the assembly.

Shown below is a massing model, prepared by IBI Group, to illustrate the densities suggested in the Master Plan.





## 2.4 Outline of the Proposed Development Context and Impact on Heritage Attributes .

The proponents' current plans are limited to the assembly of the land on the west side of Ann St. The assembly of individual lots into larger blocks required for higher density redevelopment is in keeping with the context of the neighbourhood.



Northwest Corner of Park and Ann, Showing Highrise Development Behind

North East Corner of Park and Ann. Showing Go Parking Lot with Station at the Head of the Street



Park St. Looking East



Ann St. Looking South



Park St. Looking West

## 2.5 Proposed Development Architectural Drawings

At the present time there are no plans other than to assemble additional property on the block in order to be able to achieve the higher densities as laid out in the Official and Local Area plans.

## 2.6 Alternate Development Options and Mitigation Measures

The proposal is to demolish the building. The only mitigating measure being proposed is the documentation undertaken within the HIA and/or commemoration.



## 2.7 Summary of Conservation Principles and How They will be Used

The *Standards and Guidelines for the Conservation of Historic Places in Canada (Standards and Guidelines)* and the *Eight Guiding Principles in the Conservation of Historic Properties*, Ontario Ministry of Culture were developed to address the conservation, not the evaluation of heritage structures. The Standards and Guidelines do not reference demolition.

## 2.8 Proposed Demolition/Alterations Resulting in Loss of Cultural Heritage Value

The demolition will result in the loss of a representative example of a southern Ontario Gothic revival house. Port Credit does have other inventoried and designated examples of this housing type so that the loss of this particular house would not result in a loss for Port Credit of this housing type. This housing type can be found elsewhere in the Port Credit Community Node including Port Credit Heritage Conservation District.

The house at 78 Park St. is the only building on the block that is visually and historically appealing. The Ann St streetscape is dominated by the GO Station parking lot that runs up the entire east side. The west side is an eclectic mix of 1 to 2 ½ storey houses having little architectural interest. The GO Station is at the head of the street. The “*sense of place*” for this section of Ann St. is a place in transition and the demolition of this house would only add to that sense of transition.

## 2.9 Alternatives for Salvage Mitigation

Edenshaw has indicated they are willing to sell the house for a nominal amount to any party interested in its relocation and preservation.

### 3.0 SUMMARY STATEMENT AND CONSERVATION RECOMMENDATIONS

**The significance and heritage attributes of the cultural heritage resource, including a reference to a listing on the Heritage Register, or designation by-law, if it is applicable.<sup>8</sup>**

The property is listed on Mississaugas Heritage Register (**refer to Appendix D**). There are no details other than it is a two storeyframed structure in a L-shape plan, with traditional wood siding. This listed property was not fully researched at the time of the listing but this Heritage Impact Assessment provides the necessary documentation for the site in order to better evaluate its heritage value and interest.

#### **Draft Statement of Heritage Value or Interest**

The site was part of Lots #3, First Indian Reserve. Its ownership slides out of Mississauga Indian control into the hands of the Crown who sells it to a working class Irish Immigrant family named Connor. There were many such Irish immigrants coming to the area in the mid 19<sup>th</sup> century. Connor sells it to an unmarried woman named Margaret Robinson of whom nothing is known other than that she owned other properties.

Robinson subdivides Lot #3 but there is no record of the land subdivision as there is no record of who actually lived in this house before 1954.

The heritage value lies in the house being a representative example of a working class Ontario Gothic Revival house.

#### **Significant Heritage Attributes that Reflect Cultural Heritage Value:**

- Lot size which appears to be large with simple predominantly lawn landscaping.
- 1 ½ storey with fairly steep pitched roof
- L-shaped structure with horizontal wood siding with accented corner, soffit and weathering board trim
- Wood frame and sash double hung windows

**The identification of any impact that the proposed development will have on cultural heritage resources.<sup>5</sup>**

The intent is to assemble adjacent Ann Street properties, Block 4, and redevelop this property in a manner consistent with the Port Credit Local Area.

If Block 4 is partially or fully assembled then this will likely result in the demolition of three listed properties, two of which, 24 & 26 Ann St., have not had heritage assessments. Of the three inventoried properties 78 Park St. is arguably the one with the least number of visual interventions.

The demolition of the house at 78 Park Street will result in the loss of a representative example of a southern Ontario Gothic revival house.

<sup>8</sup> Mississauga Heritage Impact Assessment Terms of Reference, October 2014

**An explanation of what conservation or mitigation measures, or alternative development, or site alteration approaches are recommended.<sup>5</sup>**

The loss of this representative Ontario revival house is somewhat mitigated by the fact that there are several other inventoried and designated examples of this housing type within the immediate vicinity. 19 Stavebank Road and 6 Helene Street are two representative examples within the neighbourhood but outside the area of intensification, Site 12.

The Ontario Government's Heritage Impact Assessment for Provincial Heritage Properties Bulletin outlines the following approaches for the conservation or enhancement of heritage value and/or attributes:

- Retaining heritage resources in situ;
- Changes or Alterations that are consistent with accepted conservation principles;
- Adaptive re-use of property – alteration of a property to fit new uses or circumstances of the property in a manner that retains its cultural heritage value or interest;
- Public Interpretation or commemoration of the property

The following table discusses the challenges and benefits of applying the various conservation approaches to the heritage attributes:

Attribute	Discussion
Large appearing lot size with simple predominantly lawn landscaping.	<ul style="list-style-type: none"> <li>• The house is located at the north side of the property so assembling this lot into a larger redevelopment property would only be advantageous if densities were transferred to the other parcels and the house converted to an adaptive reuse and the large lawns used as public open green space.</li> <li>• Relocating the building farther south on the site would result in loss of historical integrity and negatively impact the setting.</li> <li>• If this property was to remain as a discreet lot with the present structure, then the vision for the vibrant retail commercial Ann St. streetscape would have a gap at a critical intersection. This gap might make some sense if 19 Ann St was also retained but a HIA has not been conducted yet on this extensively modified building.</li> </ul>
1 ½ storey L-shaped structure with fairly steep pitched roof, horizontal wood siding with accented corner, soffit and weathering board trim Wood frame and sash	<ul style="list-style-type: none"> <li>• Currently this single family residence is challenged by the parking lot across the street and highrise behind. Once the Go Station Hub Master Plan is built-out residential use would no longer be sustainable.</li> <li>• The building has 937 sq. ft on the ground floor and 729 sq ft including kneewall height on the second floor. If the building envelope were to be preserved it</li> </ul>

double hung windows	<p>would be extremely unlikely to find a use that could carry the escalating property value and taxes. A municipal museum house might be the the only valid use but because there are no significant interior features this might not be the best use of public funds.</p> <ul style="list-style-type: none"> <li>Because of the limited window openings on the ground floor the building would not be a major contributor to the vibrant streetlife envisioned in the Master Plan.</li> </ul>
Commemoration of Property	<ul style="list-style-type: none"> <li>As part of the larger development, this street corner might be an appropriate location for a commemorative feature that told the story not just of 78 Park St but of Park Street &amp; High Street area and or the Indian Ranges.</li> </ul>

**Clarification as to why conservation or mitigation measures, or alternative development or site approaches are not appropriate.<sup>5</sup>**

The focus of the Port Credit Community Node in the Official Plan is intensification. Policies of the Port Credit Local Area Plan required that a Master Plan be prepared for Site 12 ('Port Credit GO Station Southeast Area') to provide further direction on appropriate redevelopment and land use and built form expectations. In coordination with the City of Mississauga, Metrolinx (an agency of the Ontario Government) initiated the Master Plan Study process.

Metrolinx's Study and the Secondary Plan that flowed from it are aligned with the PPS and the Growth Plan for the Greater Golden Horseshoe, 2017. The following is from Metrolinx's 2015 'Port Credit Go Station Southeast Area Master Plan Study.' Some sections have been truncated for brevity, and some references to Heritage and Block 4 have been bolded for clarity in their importance to this HIA.

From 7.1 Objectives

*Built form objectives for the Port Credit GO Station Southeast Area include achieving:*

- *Concentrated, transit-supportive development;*
- *Seamless, direct connections for transit users, pedestrians and cyclists;*
- *An engaging, attractive and comfortable public realm; and*
- *Design excellence.*

*While greater intensities of development are desirable for the Major Transit Station Area, the planned urban hierarchy established by the Mississauga Official Plan is to be respected. **The City's objectives for protecting and integrating heritage resources must also be respected.***

From 7.2 Testing of Development Scenarios

***Although currently Metrolinx is the only landowner actively pursuing redevelopment in the Master Plan Area, the built form analysis considered all properties with the exception of Block 3. The owner of Block 3 (Bell Canada) has not expressed interest in redesignating the lands in order to permit non-utility uses.***

***Ownership on Blocks 2 and 4 is currently fragmented. Development scenarios were explored which assumed partial and full land assembly to facilitate block redevelopment.***

***New development, including above-grade parking structures, should be sensitive to the existing context, local heritage resources, and planned character of the area.***

Variations in building heights and typologies, vehicular access, pedestrian movement and opportunities for improved public realm and placemaking were investigated. With consideration to prevailing policies, a review of natural heritage conditions and infrastructure capacity, shadow impacts and stakeholder input, the following built form parameters were established:

***The ability to achieve this level of intensification on Blocks 2 and 4 will depend on land assembly and the outcome of future Heritage Impact Assessments (previously referred to in municipal planning documents and forms as a Heritage Impact Statement). There are heritage resources in the area that could impact the amount, location and size of new development.***

#### From 7.2.1 Heritage Resources

Although intensification within the Master Plan Area will support the investment being made in transit infrastructure and provincial and municipal policy objectives for the Mobility Hub and Major Transit Station Area, the City's heritage resources must be respected.

As noted, ***there are four properties within the Master Plan Area which are listed on the City's Heritage Register and two designated heritage properties are adjacent to the Master Plan Area (see Figure 17).*** A listed property is one that the municipality has deemed to be of cultural heritage interest but has not been fully researched or documented. It is not protected under the Ontario Heritage Act. A designated property has been researched, identified and deemed to have cultural heritage significance and is protected under the Ontario Heritage Act.

The Mississauga Official Plan contains a number of heritage policies, including, but not limited to:

7.4.1.12: The proponent of any construction, development, or property alteration that might adversely affect a listed or designated cultural heritage resource or which is proposed adjacent to a cultural heritage resource will be required to submit a Heritage Impact Statement, prepared to the satisfaction of the City and other appropriate authorities having jurisdiction.





Figure 17. Heritage Resources in and Adjacent to the Master Plan Area.

Port Credit Go Station Southeast Area Master Plan Study, Metrolinx, 2015

*7.4.2.3: Development adjacent to a cultural heritage property will be encouraged to be compatible with the cultural heritage property. Following the review of a Heritage Impact Assessment, the City may permit alterations to a listed heritage building or demolition. Alternatively, it may seek to designate the property. Heritage Impact Assessments will play an important role in understanding and confirming appropriate built form. However, given the vision for the Port Credit GO Station Southeast Area and the proposed development parameters, future high-rise development should be able to co-exist with lower density heritage buildings if designed properly.*

#### From 7.4 Built Form Principles

*Six key principles were established to provide further direction on appropriate built form for new development within the Port Credit GO Station Southeast Area.*

### 1. Multi-Modal Connectivity with Pedestrian Priority

### 2. Public Realm

**The provision of an interesting and engaging public realm can encourage walking and cycling and make transit systems more attractive to potential users. Existing heritage resources contribute to the special character of the area. High quality public streetscapes with large sidewalks, pedestrian amenities, such as weather protection, public art and opportunities for placemaking will help contribute to the liveliness of the Port Credit GO Station Area.**

### 3. Animated Edges

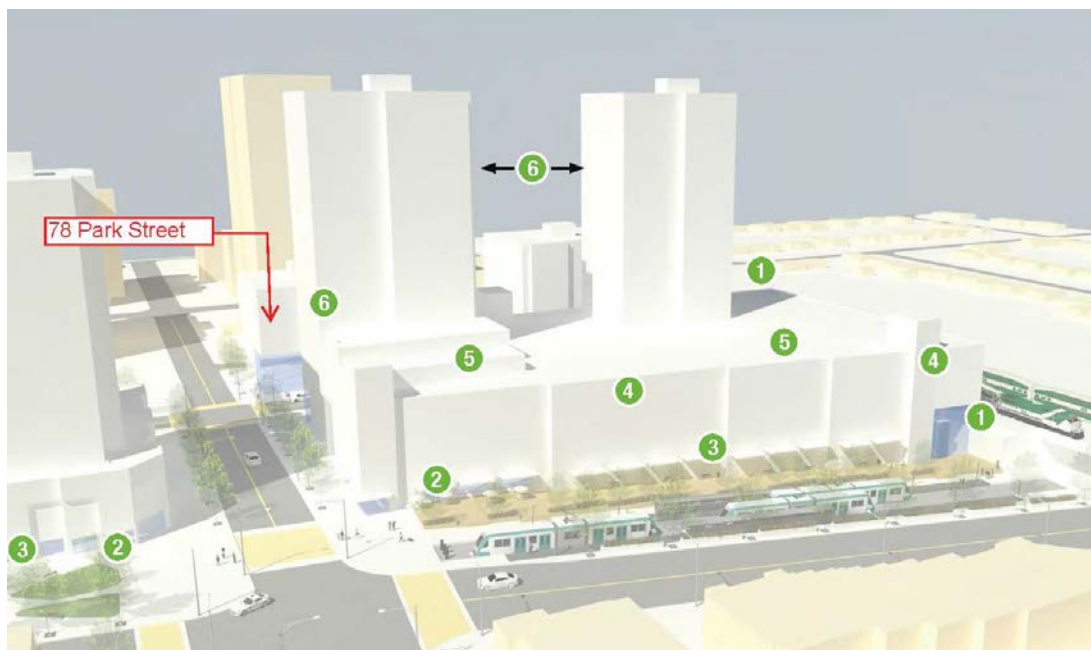
**Active street edges, with a mixture of ground-level uses, transparent or articulated façades, landscaping, public art and other building features should be provided along main streets, key intersections and transit infrastructure to ensure high-quality pedestrian environments and to encourage use of the public realm.**

### 4. Massing and Façade Articulation

Building scale should be modulated and broken down through the generous use of stepping, projections, canopies, trellises, changes in scale, fenestration patterns, materials and finishes. This is especially critical for large buildings such as multi-level parking structures and new development within proximity to heritage resources. Special consideration should be given to façade treatment at key view points and gateway locations.

### 5. Roof Treatments

### 6. Vertical Elements and Separation Distance Between Towers



Port Credit GO Station Southeast Area Master Plan Study, Metrolinx, 2015  
Built Form Principles Massing Model: Looking West Along Park Street East

Block 4 forms an integral part in the City's vision for the intensification of Port Credit's transportation hub. It would be impossible for anything remotely close to the desired densities to be attained if the three inventoried properties were retained. As per City policies the City requires an HIA to be undertaken before approving any interventions to these properties. In all likelihood the City will receive HIAs and demolition applications for the other two properties in the near future.

78 Park St. East, is the most intact of the three inventoried properties. If the City wished to preserve this structure and still reach the densities it envisions for Block 4, and if the entire block was able to be fully assembled, then it would be feasible to transfer density from this lot to the remainder of the block. The Master Plan envisions 8 storeys at this corner (as noted in the massing model above) with lower densities mid block to facilitate view and sun corridors mid block.

Eventually, however, this modest Gothic revival cottage structure would be totally surrounded by highrise structures, and which would have a detrimental impact on the setting of this house which is its main heritage attribute.

**4.0 MANDATORY RECOMMENDATION**

1. Does the property meet the criteria for heritage designation under the Ontario Regulation 9/06, Ontario Heritage Act?

Evaluation as per Ontario Regulation 9/06 of the Ontario Heritage Act:

Criteria for determining cultural heritage value or interest:

(Ontario Regulation 9/06 made under the Ontario Heritage Act)

A property may be designated under section 29 of the Act if it meets one or more of the following criteria for determining whether it is of cultural heritage value or interest

1. The property has design value or physical value because it,	
i. is rare, unique, representative or early example of a style, type, expression, material or construction method,	Yes <i>The property is a representative example of a vernacular Ontario house and could best be described as a Gothic Revival Cottage, 1840 - 1890s. The house has many of the features of this style and is representative of a working class house from this period; however, the house is not a rare example of the Gothic style.</i>
ii. Displays a high degree of craftsmanship or artistic merit,	No
or iii. Demonstrates a high degree of technical or scientific achievement.	No
2. The property has historical value or associative value because it,	
i. has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community,	No <i>None could be found</i>
ii. yields, or has the potential to yield, information that contributes to an understanding of a community or culture, or	No <i>In its time throughout southern Ontario the style would have been ubiquitous.</i>
iii. demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community	No <i>No builder or architect is known to be associated with the house.</i>

3. The property has contextual value because it,	
i. is important in defining, maintaining or supporting the character of an area,	No  <i>The Port Credit Community Node Character Area has already made the transition to medium and high density</i>
ii. is physically, functionally, visually or historically linked to its surroundings	No  <i>The house faces a parking lot across Ann Street and another across Park Street. It is towered over by a high rise at the rear of the property and sits next to a 1960s utilitarian red brick box triplex. The exception is the visual link to the kitty-corner inventoried property, 19 Ann Street. This property has not undergone an HIA as of yet but from the photograph of the original house, shown in 2.2.2 of this report, it has certainly undergone substantial interventions</i>
or  iii. is a landmark	No

The property does meet the criteria for heritage designation under the Ontario Regulation 9/06, Ontario Heritage Act but it does so by meeting only one of nine possible criteria. The City of Mississauga is faced with having to weigh retention of this representative heritage resource against the full realization of its planned intensification of the GO Station Southeast Area.

It would be understandable if the reviewers of this HIA needed to see the entire envisioned development for the west side of Ann Street before determining that the best use requires this lot.

PPS 2014 2.6.1 States “Significant built heritage resources and significant cultural heritage landscapes shall be conserved.”



## 5.0 QUALIFICATIONS OF AUTHOR & REFERENCES

### 5.1 Qualifications of Author

As a requirement of the above noted guidelines, the Heritage Impact Assessment was prepared by a member of the Canadian Association of Heritage Professionals (CAHP), namely, Jane Burgess OAA, MRAIC, CAHP, APT, a founding partner of Stevens Burgess Architects Ltd. (SBA) and partner-in charge of heritage projects. She has practiced within the heritage industry for over thirty years, contributing to heritage policy making, advocacy and education. Jane has served as President of CAHP (Canadian Association of Heritage Professionals), Vice Chair of the Toronto Preservation Board and Vice President of the OAA. She has received many awards for her work in conservation and lectures widely on the subject. (*Refer to Appendix F for Jane Burgess' résumé.*)

Stevens Burgess Architects Ltd. is an OAA licensed architectural practice specializing in heritage conservation. SBA has six licensed architects, three of whom are members of the Canadian Association of Heritage Professionals (CAHP), three LEED accredited professionals and a staff trained in the application of heritage standards and best practice.

In 1988, SBA was retained to assist the Trustees of The Old Stone Church in Beaverton, Ontario to assist in designation and conservation of the 1840's stone church which became a national historic site. Since that time SBA has worked on over forty recognized or designated heritage properties and many more listed or eligible to be listed buildings. SBA Follows internationally recognized preservation principles as inscribed in the charters, SBA's involvement with projects range from research and documentation to production of Heritage Significance Evaluations, Building Condition Assessments, Intervention Guidelines, Conservation Master Plans, Feasibility Studies, Heritage Impact Statements, Building Conservation, Retrofit and/or Reuse and Monitoring and Maintenance Plans.

## 5.2 References

### **References**

Standards and Guidelines for the Conservation of Historic Places in Canada (Standards and Guidelines)

Eight Guiding Principles in the Conservation of Historic Properties, Ontario Ministry of Culture  
Ontario Heritage Tool Kit

Ontario Heritage Act, Regulation 9/06

Provincial Policy Statement under Ontario Planning Act, (PPS) 2014

City Of Mississauga Official Plan

City of Mississauga Heritage Impact Assessment TOR 2014

City of Mississauga Web-sites:

[http://www.mississauga.ca/portal/residents/portcreditgallery?paf\\_gear\\_id=13400033&imageld=9600011n&index=1&returnUrl=%2Fportal%2Fresidents%2Fportcreditgallery](http://www.mississauga.ca/portal/residents/portcreditgallery?paf_gear_id=13400033&imageld=9600011n&index=1&returnUrl=%2Fportal%2Fresidents%2Fportcreditgallery)

[http://www.mississauga.ca/file/COM/Architectural\\_Styles\\_in\\_Mississauga\\_2012.pdf](http://www.mississauga.ca/file/COM/Architectural_Styles_in_Mississauga_2012.pdf)

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Metrolinx Area Studies:

[http://www.metrolinx.com/en/regionalplanning/mobilityhubs/mobility\\_hubs\\_PortCredit.aspx](http://www.metrolinx.com/en/regionalplanning/mobilityhubs/mobility_hubs_PortCredit.aspx)

[http://www.metrolinx.com/en/regionalplanning/mobilityhubs/Port\\_Credit\\_GO\\_Station\\_Southeast\\_Area\\_Master\\_Plan\\_EN.pdf](http://www.metrolinx.com/en/regionalplanning/mobilityhubs/Port_Credit_GO_Station_Southeast_Area_Master_Plan_EN.pdf)

University of Waterloo, Ontario Architectural Style Guide:

[https://uwaterloo.ca/heritage-resources-centre/sites/ca.heritage-resources-centre/files/uploads/files/heritage\\_resources\\_centre\\_architectural\\_styles\\_guide\\_reduced.pdf](https://uwaterloo.ca/heritage-resources-centre/sites/ca.heritage-resources-centre/files/uploads/files/heritage_resources_centre_architectural_styles_guide_reduced.pdf)

### **Historical References Consulted**

Clarkson, Betty. *The Story of Port Credit*. Port Credit Public Library Board, 1967.

Hicks, Kathleen. *Port Credit: Past to Present*. Friends of the Mississauga Library System, 2007.

Library and Archives Canada, <http://www.bac-lac.gc.ca/eng/census/Pages/census.aspx>  
census data for 1851, 1861, 1871, 1891, and 1901.

Riendeau, Roger. *Mississauga: An Illustrated History*. Windsor Publications, 1985.

Region of Peel Archives      - William Perkins Bull Fonds  
   - Land Registry records

*A History of Peel County*. Toronto: Charters Publishing, 1947.

**People Contacted**

Chris Aplin, M.C.A. Paralegal Services, Brampton (Title Search)  
Kelly Martel, Planner, MHBC  
Matthew Wilkinson, Historian, Heritage Mississauga  
Samantha Thompson, Archivist, Region of Peel Archives  
Loyal Orange Order of Canada  
St. Andrew's Presbyterian Church, Port Credit

## **Appendix A: Property Title**

### **A.1 – Entirety Lot 3**

**A.1.1 – Abstract Index, Lot #3, East of Credit River, Part to Queen Street,  
PC-2**

**A.1.2 – Crown Grant to Timothy Conner**

### **A.2 - 78 Park Street East**

**A.2.1 – Chain of Title**

# A.1 Entirety Lot 3

## A.1.1 Registry Office Abstract Index, Lot #3, East of Credit River, PC-2

\* See #466834 on pg 3 Crown Grant to Timothy Conner

DATE PLAN REGISTERED	OWNER'S SUBDIVISION	PLAN	Lot	Abstract Index Répertoire par lot	Plan/Concession PC2	Page
1837	8 & S	7 Mar 1905	1	Catherine O'Connor Ltd., Timothy O'Connor Ltd., The said Catherine O'Connor and Ellen Mary O'Connor	East of Credit River Park to Queen Street	1
386 PC	Grant	3 Dec 1938	Margaret M. (Robinson) Young	Margaret M. Robinson		
2750	Grant	7 May 1948	Lena R. Anderson	Lena R. Anderson		
2911	Grant	1 Sept 1948	Margaret M. Young (formerly Margaret M. Robinson)	William J. O'Dell		
3938	O.C.	11 July 1950	Loyal Orange Lodge No. 163	Loyal Orange Lodge No. 163		
3939	Grant	11 July 1950	Margaret M. Young (formerly Robinson)	Margaret M. Young		
4177	Grant	29 Nov 1950	Margaret M. Young	William H. Thomson		
4507	Grant	13 June 1951	Loyal Orange Lodge No. 163	William H. Thomson		
5156	Grant	21 Aug 1952	Loyal Orange Lodge No. 163	Anne Street Hall Corporation		

Lot	Abstract Index Répertoire par lot	Plan/Concession PC2	Page	Land Remarks
11	North 100 feet X 110' 50" X	\$450.00	1	ALL
12	Part Com in E limit 100' S of R.L. Thence S 60' X N 110' X N 60' X E 110' to perfb.	200.00	1	
13	Part as in no. 1219 given to correct error in desc.	450.00	1	
14	Part Com in W limit of Area St. 100' S of Queen St. Thence S 60' X N 110' X N 60' X E 110' to perfb.	\$650.00	1	
15	Part Com in W limit of Area St. 100' S of Queen St. Thence S 55' X N 110' X N 55' X E 110' to perfb.	\$1.00	1	
16	Part Com in W limit of Area St. 100' S of Queen St. Thence S 55' X N 110' X N 55' X E 110' to perfb.	\$1.00 & c	1	
17	Part Com in W limit of Area St. 100' S of Queen St. Thence S 55' X N 110' X N 55' X E 110' to perfb.	\$1425.00	1	
18	Part Com in W limit of Area St. 100' S of Queen St. Thence S 55' X N 110' X N 55' X E 110' to perfb.	\$75.00	1	
19	Part Com in W limit of Area St. 100' S of Queen St. Thence S 55' X N 110' X N 55' X E 110' to perfb.	\$1.00 & c	1	

\* See pg 3 of 10



Abstract Index Répertoire par lot		Lot	Plan/Concession	PC2	Page
day mth year		East of Credit River	Park to Queen Street		
Registration Number	Instrument Type type d'acte	Parties from Parties à	Parties to Parties à	Consideration Contenance	Land/Remarks Bien/Remarques
6415	Grant	17 June 1954 Margaret M. Young	Micuel Vukovic & Rosa Vukovic as joint tenants	\$8,500.00	Part Comm on W side Ann St., 255' S of Queen St. Thence S 53° 3' X W 109' 3" X N 53' X E 109' to po/c
GR11330	Cert.	3 Dec 1956 Treasurers Consent	William H. Thomson		re: #4177 & 4507
9989	Grant	3 Dec 1956 Hazel I. Thomson et al sur Exrs. William H. Thomson	Arturo D'Ovidio & Anna D'Ovidio as joint tenants	\$1.00 & c	Part Comm in W limit of Ann St. 155' S of Queen St. Thence S 50' X W 110' X N 50' X E 110' to po/c.
10714	Grant	18 Mar 1960 Arturo D'Ovidio Anna D'Ovidio	Lucy Guidone	\$2.00 & c	Part as in no. 9989
10843	Grant	30 May 1960 Hazel I. Thomson et al Exrs of William H. Thomson Est.	Silvio Visconti	2.00 & c	Part Comm 205' S of Queen St. Thence S 50' X W 110' X N 50' X E 110' to po/c
11134	Grant	14 Nov 1960 Silvio Visconti	Joseph Stefanik & Josephine Stefanik as joint tenants	\$2.00	Part as in no. 10943
1145768	Cert.	31 Jan 1962 Treasurers Consent	Wmste B. Condon-Scott		na 105106 na No. 5294 & 5411 - ADUR UR
12747	Grant	2 Oct 1963 Joseph Stefanik & Josephine Stefanik	Charles Kosowicz Delma Kosowicz as joint tenants	2.00 & c	Part as in no. 11134
11591 vs	Grant	9 June 1966 Lucy Guidone	Cesare Di Bernardo and Geltrude Di Bernardo as joint tenants	2.00 & c	Part Comm 155' Thence S 50' X W 110' X N 50' X E 110' to po/c

Abstract Index Répertoire par lot		Plan/Concession		Page 3	
Lot		East of Credit River		Park to Queen Street	
day mth year	Instrument Type	Instrument Date	Parties	Consideration	Land/Remarks
21493 vs	Grant	27 Sep 1966	Charles Kosowicz & Delia Kosowicz	2.00 & c	Pt as in no. 10843 except pofc is 205' S from N L
270089 vs	Deposit	13 July 1972	Re: No. 11134		
466534	Crown Grant	9 Mar 1976	Victoria (Queen)		
466960	Grant	10 Mar 1978	Cesare Di Bernardo & Geltrude Di Bernardo	\$15	Part as in No. 11591 vs except pofc is Comm Nty L
535474	Grant	21 Nov 1979	Antonio Sbrocchi & Filomena Sbrocchi	\$2.00 & c	Part as in No. 466960
634022	Grant	28 02 83	FAUSTO, Fausto PALUMBO, Margaret	\$2.00 & c	Part as in 11591 vs & pofc is also Comm at Nty L
670444	Grant	24 01 84	Anne Street Hall Corp.		Comm 100' from Intersection of Wly limit Ann St. & Sly limit of Queen St. Thence Sly 55' X Wly 110' X Nty 55' X Ely 110' to pofc
705824	Grant	14 02 85	THE ESTATE OF VUKOVICH, Michael a. described a. VUKOVICH, Micael		Part as in No. 6415

Abstract Index Répertoire par lot		Plan/Concession		Page	
Lot		3		4	
East of Credit River		Park to Queen Street			
day	with year	Instrument Type Type d'acte	Parties from Parties	Parties to Parties	Land Remarks Remarques
Deposit					
See Deposit no. 750313					
750839	Grant	01 05 86	YUKOVICH, Joe YUKOVICH, Mandy	300 MELL, John B. BONMELL, Diana H. as JT 50% int. WALKER, Aurion J. WALKER, Gertrude M. 50% int. as JT	pt as in no. 705824 pt Comm E L Thence SW 110.03' X NW 52.96' X NE 110 03' X SE 53.25' to pofc.
750846	Mort	01 05 86	BONMELL, John B. BONMELL, Diana H. WALKER, Aurion J. WALKER, Gertrude M.	ROYAL Trust Corp of Canada	pt as in no. 750839
759471	Grant	07 07 86	ROMBA, Jean	BELERIQUE, Antonio BELERIQUE, Hironidia	Pt as in 218321 vs Comm 205' S'y from N L Thence S'y 50' X W'y 110' X N'y 50' X E'y 110' to pofc.
766172	Grant	26 08 86	DIVINE Peace Evangelical Lutheran Church	DE SAMTE, Elisa In Trust	Pt as in 670444 Comm 100' S'E'y from N'y L Thence S'y 55' X W'y 110' X N'y 55' X E'y 110' to pofc
785428	Mort	26 01 87	BELERIQUE, Antonio BELERIQUE, Hironidia	CIBC Mortgage Co.	Pt as in 759472 Assigned by R0989164
793718	Grant	02 04 87	BELERIQUE, Antonio BELERIQUE, Hironidia	ESPERANCE, Manuel ESPERANCE, Grace cob as M & S Holdings	Pt as in 759471



793718 DAY MON YR 15 03 1903 JARCKIS, Hilda

Abstract Index  
Répertoire par lot

Lot 3 East of Credit River

Plan/Concession 3 Park to Queen Street

PC2 Page 5

Instrument Type	Instrument Number	Parties from Parties	Parties to Parties	Consideration	Remarks/Observations
Grant	852794	JARCKIS, Hilda	LATKA, Gabriela		part as in 795743 from 155' S1/4 of N1/4 L Thence S1/4 50' X W1/4 110' X N1/4 50' X E1/4 110' to pofc
Grant	948888	ALBRECHT, Anita		\$239,800.00	Part as in 852794
Grant	949109	DE SAINTE, Elissa in Trust	UNITY CHURCH OF MISSISSAUGA	\$2.00	part as in 766172
Mort	960340	UNITY Church of Mississauga	THE Toronto-Dominion Bank	63,500.00	part as in 766172
Assignment	R0959164	CIBC Mortgage Corporation	Bank of Montreal		Re: Mortgage 785428
Charge	NO-1045270	ALBRECHT, Anita		25,000.00	DISCHARGED BY 1045270, R0 1070076
Transfer	R0 1058737	ALBRECHT, Anita	1047064 Ontario Inc.	234,000.00	part as in no. 948888
Charge	R0 1070076	1047064 Ontario Inc.	CIBC Mortgage Corporation	142,000.00	Part as in R0 1058737
Transfer	R0 1072028	BONWELL, John Bevers BONWELL, Diana Hammond as JT 505int. WALKER, Aurion James WALKER, Gertrude Marie as JT 505int.	STARKEY, Christopher STARKEY, Cynthia as JT	168,000.00	Part as in 705824
Charge	NO-1045270	STARKEY, Christopher STARKEY, Cynthia		142,000.00	Part as in no. 705824
Transfer	R0 1135625	O'DELL, William James O'DELL, Marion Grace as JT	O'DELL, William James O'DELL, Marion Grace as JT	\$2.00	N1/4 50' as in 2750

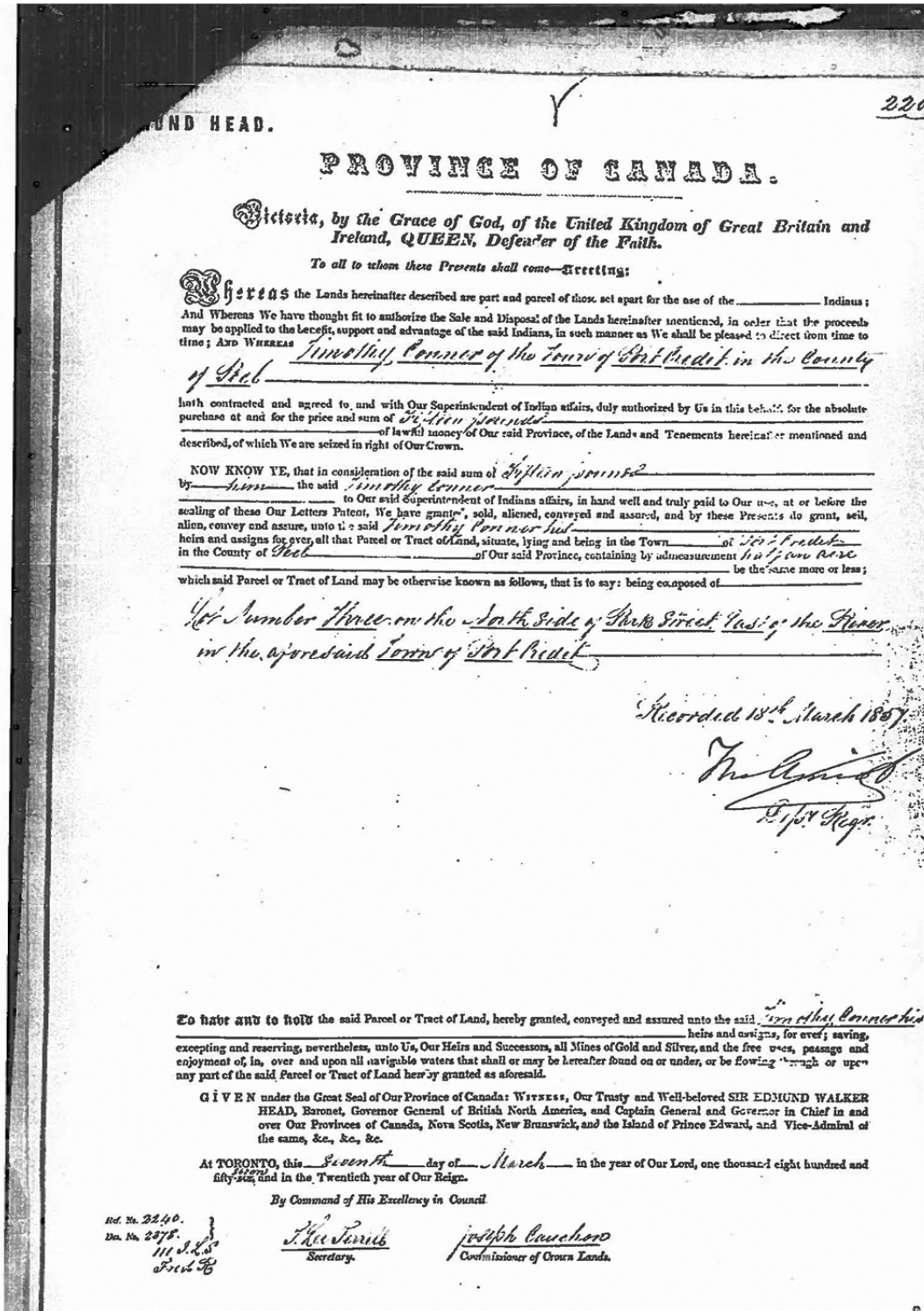
NOTICE

ALL Documents  
MAR 25 2007

Form 1

and recorded in the estimated abstract  
index set out in columns 1 and 2 of this  
abstract and in columns 1 and 2 of this

## A.1.2 Crown Grant to Timothy Conner





## A.2 78 Park Street East

### A.2.1 Chain of Title

**ServiceOntario**

LAND REGISTRY OFFICE #43

PARCEL REGISTER (ABBREVIATED) FOR PROPERTY IDENTIFIER

PAGE 1 OF 2  
PREPARED FOR CA  
ON 2017/10/10 AT 13:26:01

PROPERTY IDENTIFIER: 13463-0012 (LTD)

PROPERTY DESCRIPTION: PT LT 3, PL PC2 ECR, PARK TO QUEEN ST AS IN R01157351; MISSISSAUGA

PROPERTY REMARKS:  
ESTATE/QUALIFIER:  
FEE SIMPLE  
LT CONVERSION QUALIFIED  
OWNERS' NAMES

RECENTLY:  
RE-ENTRY FROM 13463-0104  
CAPACITY SHARE  
JTEN  
JTEN

PIN CREATION DATE:  
1998/02/23

REG. NUM.	DATE	INSTRUMENT TYPE	AMOUNT	PARTIES FROM	PARTIES TO	CERT/ CIND
<p>**EFFECTIVE 2000/07/29 THE NOTATION OF THE BLOCK IMPLEMENTATION DATE* OF 1997/03/18 ON THIS PIN**</p> <p>**WAS REPLACED WITH THE *PIN CREATION DATE* OF 1998/02/23**</p> <p>** PRINTOUT INCLUDES ALL DOCUMENT TYPES AND DELETED INSTRUMENTS SINCE 1998/02/23 **</p> <p>**SUBJECT ON FIRST REGISTRATION UNDER THE LAND TITLES ACT, TO</p> <p>** SUBSECTION 44(1) OF THE LAND TITLES ACT, EXCEPT PARAGRAPH 11, PARAGRAPH 14, PROVINCIAL SUCCESSION DUTIES *</p> <p>** AND ESCHEATS OR FORFEITURE TO THE CROWN.</p> <p>** THE RIGHTS OF ANY PERSON WHO WOULD, BUT FOR THE LAND TITLES ACT, BE ENTITLED TO THE LAND OR ANY PART OF</p> <p>** IT THROUGH LENGTH OF ADVERSE POSSESSION, PRESCRIPTION, MISDESCRIPTION OR BOUNDARIES SETTLED BY</p> <p>** CONVENTION.</p> <p>** ANY LEASE TO WHICH THE SUBSECTION 70(2) OF THE REGISTRY ACT APPLIES.</p> <p>**DATE OF CONVERSION TO LAND TITLES: 1998/02/24 **</p>						
R01157351	1997/10/31	TRANSFER	\$192,000	STARKEY, CHRISTOPHER STARKEY, CYNTHIA	ROYAL BANK OF CANADA	C
R01157352	1997/10/31	CHARGE		*** DELETED AGAINST THIS PROPERTY *** ADLEY, JOHN FELIZZARI-ADLEY, MERRI-ELLEN		
P8831287	2005/04/11	CHARGE		*** COMPLETELY DELETED *** ADLEY, JOHN FELIZZARI-ADLEY, MERRI-ELLEN	THE BANK OF NOVA SCOTIA	
P8830844	2005/05/16	DICH OF CHARGE		*** COMPLETELY DELETED *** ROYAL BANK OF CANADA		

REMARKS: RE: R01157352

NOTE: ADJOINING PROPERTIES SHOULD BE INVESTIGATED TO ASCERTAIN DESCRIPTIVE INCONSISTENCIES, IF ANY, WITH DESCRIPTION REPRESENTED FOR THIS PROPERTY.  
NOTE: ENSURE THAT YOUR PRINTOUT STATES THE TOTAL NUMBER OF PAGES AND THAT YOU HAVE PICKED THEM ALL UP.



PARCEL REGISTER (ABBREVIATED) FOR PROPERTY IDENTIFIER

LAND  
REGISTRY  
OFFICE #43


PAGE 2 OF 2  
PREPARED FOR CA  
ON 2017/10/10 AT 13:26:01

13463-0012 (LT)  
\* CERTIFIED IN ACCORDANCE WITH THE LAND TITLES ACT \* SUBJECT TO RESERVATIONS IN CROWN GRANT \*

REG. NUM.	DATE	INSTRUMENT TYPE	AMOUNT	PARTIES FROM	PARTIES TO	CERT/CHRG
PR2240062	2012/07/31	CHARGE	\$560,000		THE BANK OF NOVA SCOTIA	C
PR2240991	2012/08/01	DISCH OF CHARGE		*** COMPLETELY DELETED *** THE BANK OF NOVA SCOTIA		

REMARKS: PR831287.

NOTE: ADJOINING PROPERTIES SHOULD BE INVESTIGATED TO ASCERTAIN DESCRIPTIVE INCONSISTENCIES, IF ANY, WITH DESCRIPTION REPRESENTED FOR THIS PROPERTY.  
NOTE: ENSURE THAT YOUR PRINTOUT STATES THE TOTAL NUMBER OF PAGES AND THAT YOU HAVE PICKED THEM ALL UP.



ABSTRACT INDEX (ABBREVIATED) FOR PROPERTY IDENTIFIER

13463-0164 (8)

PAGE 1 OF 1  
PREPARED FOR CA  
ON 2017/10/10 AT 13:28:00

LAND  
REGISTRY  
OFFICE #43

PT LT 3, PL PC-2, E OF CREDIT RIVER, PARK TO QUEEN ST AS IN R01072028, ( N SIDE OF PARK ST) ; MISSISSAUGA

THIS PARCEL WAS CREATED BASED ON INFORMATION CONTAINED IN DOCUMENT(S) R01072028, WHICH IS (ARE) RECORDED FOR PIN IDENTIFICATION ONLY.  
PIN\_CREATION DATE:  
1997/03/18

PROPERTY DESCRIPTION:  
PT LT 3, PL PC-2, E OF CREDIT RIVER, PARK TO QUEEN ST AS IN R01072028, ( N SIDE OF PARK ST) ; MISSISSAUGA

PROPERTY REMARKS:  
ESTATE/QUALIFIER:  
RECENTLY:  
PARCELIZED

REG. NUM.	DATE	INSTRUMENT TYPE	AMOUNT	PARTIES FROM	PARTIES TO	CERT/ CHRD
<b>**EFFECTIVE 2000/07/29 THE NOTATION OF THE "BLOCK IMPLEMENTATION DATE" OF 1997/03/18 ON THIS PIN**</b>						
<b>**WAS REPLACED WITH THE "PIN CREATION DATE" OF 1997/03/18**</b>						
<b>** PRINTOUT INCLUDES ALL DOCUMENT TYPES AND DELETED INSTRUMENTS SINCE 1997/03/14 **</b>						
<b>THIS ABSTRACT INCLUDES ALL INSTRUMENTS AND DOCUMENTS FROM: 1997/03/18</b>						
<b>FOR THE PREVIOUS ABSTRACT SEE ABSTRACT BOOK</b>						
<b>NOTE: THIS PIN WAS ONCE REG PIN 13463-0012. THIS PROPERTY WAS CONVERTED TO LT ON 1998/02/23 REUSING PIN 13463-0012.</b>						
R01072028	1994/08/02	TRANSFER	\$168,000			C
R01157351	1997/10/31	TRANSFER	\$192,000	STARKEY, CHRISTOPHER STARKEY, CYNTHIA		C
R01157352	1997/10/31	CHARGE	\$177,120	ADLEY, JOHN PELLIZZARI-ADLEY, MERRI-ELLEN		C
R01164847	1998/02/11	DISCH OF CHARGE		*** COMPLETELY DELETED *** CIBC MORTGAGES INC.		

REMARKS: RE: R01072029

NOTE: ADJOINING PROPERTIES SHOULD BE INVESTIGATED TO ASCERTAIN DESCRIPTIVE INCONSISTENCIES, IF ANY, WITH DESCRIPTION REPRESENTED FOR THIS PROPERTY.  
NOTE: ENSURE THAT YOUR PRINTOUT STATES THE TOTAL NUMBER OF PAGES AND THAT YOU HAVE PICKED THEM ALL UP.

## **Appendix B: As-Found Drawings**

### **PLANiT Measuring - 2017**





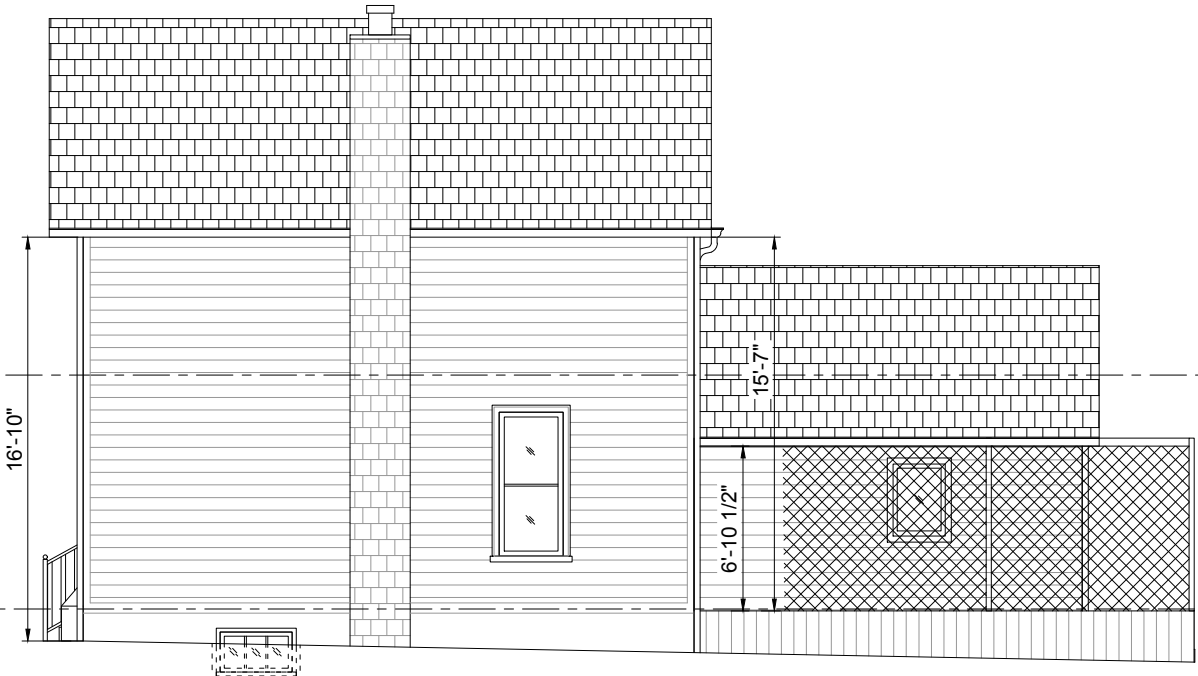








FRONT SIDE ELEVATION



RIGHT SIDE ELEVATION

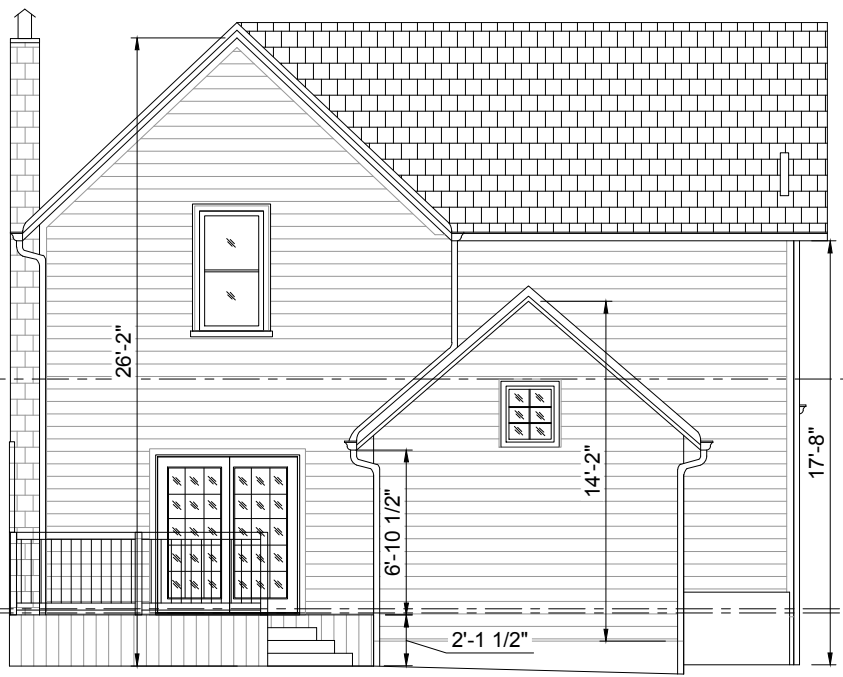
SECOND FLOOR LEVEL  
9' - 9"

MAIN FLOOR LEVEL  
0' - 0"

LOWER FLOOR LEVEL  
- 7' - 5"



LEFT SIDE ELEVATION

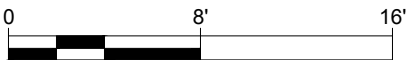



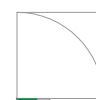
BACK SIDE ELEVATION

SECOND FLOOR LEVEL  
9' - 9"

MAIN FLOOR LEVEL  
0' - 0"

LOWER FLOOR LEVEL  
- 7' - 5"



 AUTHORISED BY THE ASSOCIATION OF PROFESSIONAL ENGINEERS OF ONTARIO TO OFFER PROFESSIONAL ENGINEERING SERVICES	ADDRESS: 78 PARK STREET EAST MISSISSAUGA, ON	DRAWING DATE: November 21, 2017	DATE MEASURED: November 15, 2017	SCALE: 1/8" = 1'-0"	 <b>PLANIT</b> -MEASURING-
	PREPARED FOR:  Edenshaw Management Limited 260 Brunel Road Mississauga, ON, L4Z 1T5	DRAWING TITLE:  FRONT, BACK AND SIDE ELEVATIONS	DISCLAIMER:  Drawings are to be used for preliminary planning purposes only and are not to be used for quantity estimates or construction. Dimensions must be site verified prior to using for any other purpose. No warranty is made or implied as to the accuracy of dimensions. Measurements and slopes for inaccessible areas are obtained using best estimates. This drawing is subject to additional terms and conditions as outlined in the contract.	DRAWN BY: PM CHKD BY: IF	
			PREPARED BY:  PLANIT MEASURING® 1-800-933-5136 info@planitmeasuring.com		



## **Appendix D: Heritage Status**

### **78 Park Street East Heritage Inventory & Historical Image**



**78 Park Street East Heritage Inventory & Historical Image**

8/18/2017

Mississauga: Printer Friendly

**Property Information**

All recognized heritage properties are listed on the City's Heritage Register. Some of these properties are designated under the Ontario Heritage Act. For more information visit [Heritage Planning](#).

Property Details	Zoning Information	Building Permits	Development Applications	Committee of Adjustment	<b>Heritage</b>	Map It
------------------	--------------------	------------------	--------------------------	-------------------------	-----------------	--------

**PROPERTY HERITAGE DETAIL**
[View Another Property](#)
**Property Heritage Detail**

Address: 78 PARK ST  
Type: RESIDENTIAL  
Style: VERNACULAR - FARM HOUSE

Area: PORT CREDIT  
Reason: ARCHITECTURAL

 [Print Friendly Page](#)
**Images**

**History**

This is a two storey framed structure following an L-shaped plan, covered in traditional wood siding. There is a gable roof with asphalt shingles. The eaves, soffits and fascia are all plain, with the only decoration on the building being on the fascia of the narrow front porch. There is a three bay facade, with the windows being double hung one over one. There are no chimneys and it appears to have a full basement. A small one storey addition is found at the rear.

## Appendix E : Curriculum



### Jane Burgess OAA, CAHP, MRAIC, APT

Jane is a founding partner of Stevens Burgess Architects Ltd (SBA), an architectural practice which specializes in heritage conservation. She has practiced within the heritage industry for over thirty years contributing to heritage policy making, advocacy and education. She has served as President of CAHP (Canadian Association of Heritage Professionals), Vice Chair of the Toronto Preservation Board and Vice President of the OAA. She has received many awards for her work in conservation and lectures widely on the subject. Jane is the senior partner-in-charge of heritage projects and has either provided oversight to or has been the conservation architect for all the projects listed below.

<b>EDUCATION</b>	Bachelor of Architecture, 1974, University of Toronto
<b>TEACHING</b>	University of Waterloo, School of Architecture, 5 <sup>th</sup> yr Program, 1979 University of Waterloo, School of Architecture, Visiting Critic, 1978-79 Ryerson Polytechnic Institute, Studio Instructor, 1988, 1989
<b>PROFESSIONAL EXPERIENCE</b>	1984 to date Stevens Burgess Architects Ltd., Toronto 1976 to 1984 Jane Burgess Architect, Toronto
<b>PROFESSIONAL ASSOCIATIONS</b>	Royal Architectural Institute of Canada, MRAIC Ontario Association of Architects, OAA Canadian Assoc. of Heritage Professionals, CAHP Association of Preservation Technologists, APT

### SELECTED HERITAGE PROJECTS: (+ indicates award winning)

#### Isaac Gould House, 62 Mill Street, Uxbridge, ON

- HIA Peer Review and Assessment of Designated Property conforming with Reg. 9/06 of Heritage Act
- OMB Expert Witness

#### Swift River Energy, Moon River Falls Burgess Island and Portage Landing Heritage Site, Bala ON

- Heritage Consultant – OMB-Witness Statement Heritage Conservation District Amendment
- Portage Landing – Park Rehabilitation Plan in Compliance with Township HIA.

#### Wesley Mimico United Church, Toronto, ON

- Heritage Condition Assessment and Conservation Plan and Adaptive Reuse as Life Lease Seniors Residence

#### Redemptorists of Toronto and Edmonton - 131 McCaul St Monastery, Toronto (Designated)

- Study to determine feasibility of conversion to self-contained residential suites.
- Conservation of the building envelope, interior retrofit and accessibility improvements.

#### Infrastructure Ontario – Huronia & Barrie Jail (Provincial Heritage Properties of Provincial Significance)

- ABIR Pilot Project: Cultural heritage evaluation, condition assessment, and 20 year capital costing plan

#### SNC Lavalin – Strathmore House, 390 King St., Cobourg (Designated)

- Building envelope conservation including of removal of Kenitex non-breathable coating

#### Infrastructure Ontario – North Bay Normal School / Government Office Building, North Bay (Designated)

- Statement of heritage value, assessment, conservation, recommendations and implementation plan.

#### City of Hamilton: #18 –28 King St E., Hamilton (Listed: Draft Designation)

- Confirmation of heritage evaluation, Peer Review Condition Assessment, OMB expert witness statement.

#### City of Toronto – Fort York, Toronto (Museum, National Historic Site, Designated)

- Master Plan, Building Condition Assessment and Capital site and eight buildings.
- Conservation of exterior and interior plus exhibit enhancement of Officers' Mess and Brick Magazine

**Town of Oakville – 3269 Dundas St. West, Oakville** (*Inventoried Cultural Heritage Landscape*)

- Peer review of developer funded Heritage Evaluation cum Heritage Impact Assessment

**Infrastructure Ontario - Sir James Whitney School, Belleville** (*Ontario Government Heritage Inventory*)

- Heritage Conservation Plan and Capital Plan for this 96 acre site and five designated buildings.

**Infrastructure Ontario - Century Manor, Hamilton Psychiatric Hospital, Hamilton** (*Designated*)

- Adaptive Reuse Study to convert building use to office, museum, and half-way house.

**Ontario Realty Corporation - Ontario Fire College (Scott Hall), Gravenhurst** (*Ont. Gov. Heritage Inventory*)

- Master Plan for the phased conservation of building envelope and interiors and code compliance.

- + ▪ Scott Hall building envelope conservation and interior heritage structure and plaster assessment.

**City of Mississauga – 1993 Mississauga Rd, (Heritage Inventory)**

- Heritage Evaluation, Draft Designation, and preparation for CRB hearing.

**University of Guelph - Macdonald Institute, Guelph** (*Heritage Inventory*)

- Master Plan for the phased conservation of building envelope and heritage interiors spaces.

- + ▪ Reconstruction of building brick and clay tile parapets and entry portico and limestone terrace.

**Town of Oakville – 3445 Dundas St. W. (Property included in Secondary Plan Built Heritage Resource Study)**

- Heritage Significance Evaluation recommending designation under IV for architectural reasons.

**Town of Oakville – 3269-3271 Dundas St. W. (Included in Secondary Plan Cultural Landscape Heritage Study)**

- Heritage Significance Evaluations recommending partial designation as cultural landscape

**Town of Oakville – 4233 Trafalgar Rd, Oakville (Included in Secondary Plan Cultural Landscape Heritage Study)**

- Heritage Significance Evaluations not recommending partial designation as cultural landscape

**City of Hamilton – Lister Block, King William St., Hamilton** (*Designated*)

- Architectural Heritage Impact Assessment for redevelopment of this 1916 terra cotta and brick building.

**Harber Industries - Ravine Vineyard Estate Winery, St. David's**

- + ▪ Winery Master Plan and Official Plan Amendment

- + ▪ Reconstruction of heritage Woodruff House

- Adaptive reuse of vernacular packing shed to restaurant

**Ontario Realty Corporation - Whitney Block and Tower, Toronto** (*Ontario Government Heritage Inventory*)

- Heritage Significance Study and Feasibility Study for the conservation of the exterior envelope.

- + ▪ Conservation of the building envelope of the Whitney Tower and the northern section of the building.

- + ▪ Heritage Conservation Plan; a maintenance and capital plan for all interior and exterior heritage features.

**Huronian Provincial Parks - Sainte Marie Among the Hurons, Midland** (*Museum, Ont. Gov. Heritage Inventory*)

- Post Disaster Study to determine feasibility of reconstruction of burned three buildings.

- + ▪ Conservation of the chapel and reconstruction of blacksmith shop, carpentry shop and palisade.

**Aventis Pasteur – Connaught Campus Heritage Centre, 1755 Steeles Ave. W. Toronto**

- + ▪ Barton Ave. Stables reconstruction of Dr. FitzGerald's metal clad stable-laboratory and reuse as museum.

- Conservation and adaptive reuse gatekeeper's cottage to welcome centre and site security office.

**Ontario Realty Corporation - Welland County Courthouse, Welland** (*Designated*)

- Heritage Impact Assessment of a proposed major addition to this 1855 Kivas Tully stone courthouse.

**Friends of Riverdale Hospital - Toronto**

- Expert witness testimony OMB to prevent demolition.

**Ontario Realty Corporation - Old Whitby Psychiatric Site, Whitby** (*Ontario Government Heritage Inventory*)

- Heritage Significant Study and Intervention Guidelines for this 64 acre site containing 48 buildings

- Realty Master Plan to evaluate constraints and opportunities for site redevelopment

**Ontario Realty Corporation - Old Don Jail, Toronto** (*Ontario Government Heritage Inventory*)

- Heritage Significance Study & Intervention Guidelines

**Beaverton Presbyterian Church – Old Stone Church, Beaverton** (*National Historic Site, Designated*)

- Heritage Significance Study and application for designation provincially and recognition federally.

- Conservation Feasibility Study, easement agreement and funding application to Ontario Heritage Trust.



Julia Rady, PhD

<b>EDUCATION</b>	PhD, History, 2017, University of Toronto Masters of Arts, 2007, University of Toronto Bachelors of Arts (Honours), 2002, Western University
<b>PROFESSIONAL EXPERIENCE</b>	2017 to date: Stevens Burgess Architects Ltd., Toronto
<b>PROFESSIONAL ASSOCIATIONS</b>	Canadian Historical Association Canadian Society of Church History Multicultural History Society of Ontario

Julia has an academic background in Canadian history and has a special interest in heritage conservation and historical preservation, and the interpretation of Canadian sites of heritage significance. Her doctoral work at the University of Toronto honed strong archival research skills and her ability to produce historical appraisals that are academically rigorous but written in an accessible manner. Since starting with SBA, Julia has provided assistance, research, and historical interpretations for Havergal College, the Guelph Correctional Centre, the St. Thomas Psychiatric Hospital Site, and the City of Cambridge Farmer's Market. She has experience with qualitative and quantitative analysis of history, specialized research skills, and the ability to communicate historical ideas and facts in an accessible way to a variety of audiences.

#### SELECTED PROJECTS:

- **Burgess Island Commemoration. Bala Falls.** Commemoration Action Plan.
- **Pollination Garden. Queen's Park Circle, Toronto.** Heritage Impact Assessment
- **Fort Frances Judicial Complex. Fort Frances,** (*Provincial Heritage Property of Provincial Significance*), Strategic Conservation Plan
- **Guelph Correctional Centre. Guelph,** (*Provincial Heritage Property of Provincial Significance*), Strategic Conservation Plan
- **St. Thomas Psychiatric Hospital,** (*Provincial Heritage Property of Provincial Significance*), Strategic Conservation Plan
- **Chatham Judicial Complex, Chatham,** (*Provincial Heritage Property of Provincial Significance*), Strategic Conservation Plan
- **Havergal College,** Masonry Conservation Master Plan
- **City of Cambridge Farmer's Market** (*Designated*), Strategic Conservation Plan

#### SELECTED HISTORICAL PROJECTS

- **Historical Commentator** – CBC's *The Goods*.
- **"Worshipping,"** an introduction for the SSHRC-funded website, [www.wartimecanada.ca](http://www.wartimecanada.ca)
- **Various conference presentations** – to the Canadian Society of Church History, the Canadian Historical Association, and the Political History Group.
- **Dissertation** – *Ministering to an Unsettled World: The Protestant Churches in Early Cold War Ontario, 1945-1956.*
- **Finalist** - Three-Minute Thesis Competition, University of Toronto, 2017.



Français

## Ontario Heritage Act

### ONTARIO REGULATION 9/06 CRITERIA FOR DETERMINING CULTURAL HERITAGE VALUE OR INTEREST

**Consolidation Period:** From January 25, 2006 to the [e-Laws currency date](#).

No amendments.

*This is the English version of a bilingual regulation.*

#### Criteria

1. (1) The criteria set out in subsection (2) are prescribed for the purposes of clause 29 (1) (a) of the Act. O. Reg. 9/06, s. 1 (1).

(2) A property may be designated under section 29 of the Act if it meets one or more of the following criteria for determining whether it is of cultural heritage value or interest:

1. The property has design value or physical value because it,
  - i. is a rare, unique, representative or early example of a style, type, expression, material or construction method,
  - ii. displays a high degree of craftsmanship or artistic merit, or
  - iii. demonstrates a high degree of technical or scientific achievement.
2. The property has historical value or associative value because it,
  - i. has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community,
  - ii. yields, or has the potential to yield, information that contributes to an understanding of a community or culture, or
  - iii. demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.
3. The property has contextual value because it,
  - i. is important in defining, maintaining or supporting the character of an area,
  - ii. is physically, functionally, visually or historically linked to its surroundings, or
  - iii. is a landmark. O. Reg. 9/06, s. 1 (2).

#### Transition

2. This Regulation does not apply in respect of a property if notice of intention to designate it was given under subsection 29 (1.1) of the Act on or before January 24, 2006. O. Reg. 9/06, s. 2.

Français

[Back to top](#)

# City of Mississauga

## Corporate Report



Date: 2018/03/07

To: Chair and Members of Heritage Advisory Committee

From: Paul Mitcham, P. Eng, MBA, Commissioner of  
Community Services

Originator's files:

Meeting date:  
2018/04/10

## Subject

**Request to Demolish a Heritage Listed Property: 7228 Ninth Line (Ward 10)**

## Recommendation

That the property at 7228 Ninth Line, which is listed on the City's Heritage Register, is not worthy of heritage designation, and consequently, that the owner's request to demolish proceed through the applicable process, as per the Corporate Report entitled "Request to Demolish a Heritage Listed Property: 7228 Ninth Line (Ward 10)", dated March 7<sup>th</sup>, 2018 from the Commissioner of Community Services.

## Background

Section 27.3 of the Ontario Heritage Act states that structures or buildings on property listed on the City's Heritage Register cannot be removed or demolished without at least 60 days' notice to Council. This legislation allows time for Council to review the property's cultural heritage value to determine if the property merits designation.

The City purchased the subject property in 2002 and added it to the Heritage Register in 2010 when Mississauga's western boundary was realigned to include this property and others west of Ninth Line. Heritage consultant Nicholas A. Holman assessed the property in 2003 and determined that it merited designation under the Ontario Heritage Act. This assessment predated Regulation 9/06, the criteria for determining cultural heritage value or interest; however, it appears that the recommendation for designation was based on the property's physical and/or design value.

A follow-up 2012 report by George Robb Architect remarked on: "the extent of theft and vandalism that has gone on over the intervening years since the Hollman (sic.) report." The report goes on to state that: "while anything is possible, restoration and adaptive re-use of this building will not be inexpensive nor, likely, cost-effective."

On January 29, 2018, Mississauga Fire Dispatch reported that the building had "burnt to the ground." Current photos are attached at the beginning of Appendix 1, which also includes other

documentation provided by Facilities and Property Management (Corporate Services) as well as the condition reports cited above.

## Comments

Since much of the dwelling no longer exists, there is no longer enough material for the property to merit designation under the Ontario Heritage Act.

## Financial Impact

There is no financial impact.

## Conclusion

The owner of 7228 Ninth Line has requested permission to demolish a structure on a property that is listed on the City's Heritage Register. The documentation provides information which does not support the building's merit for designation under the Ontario Heritage Act. Staff concurs with this finding.

## Attachments

Appendix 1: Supporting Documentation including 2003 and 2012 Condition Assessments



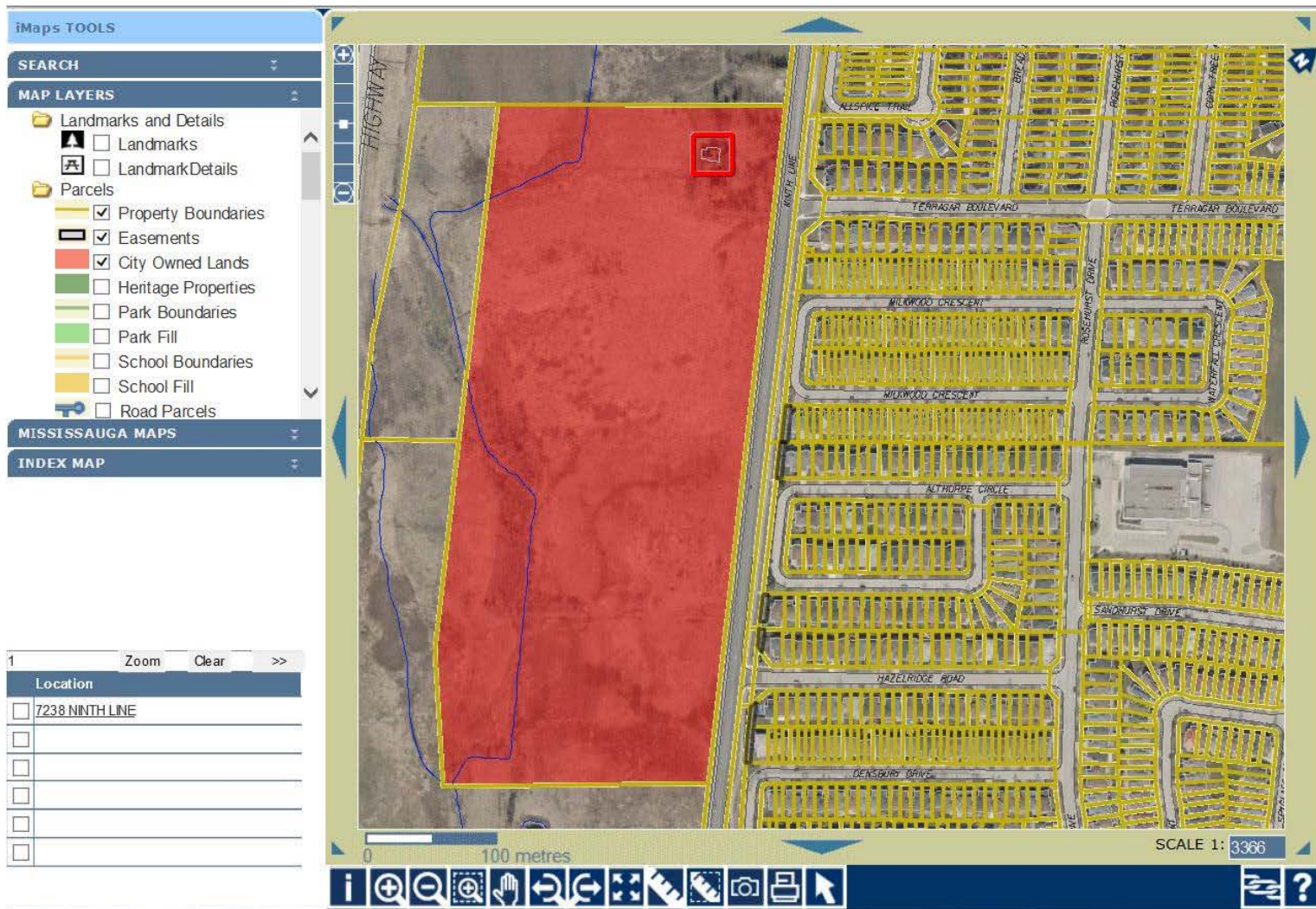
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Paul Mitcham, P. Eng, MBA, Commissioner of Community Services

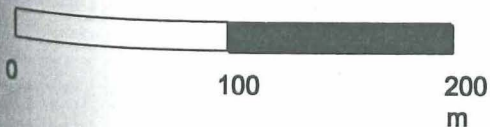
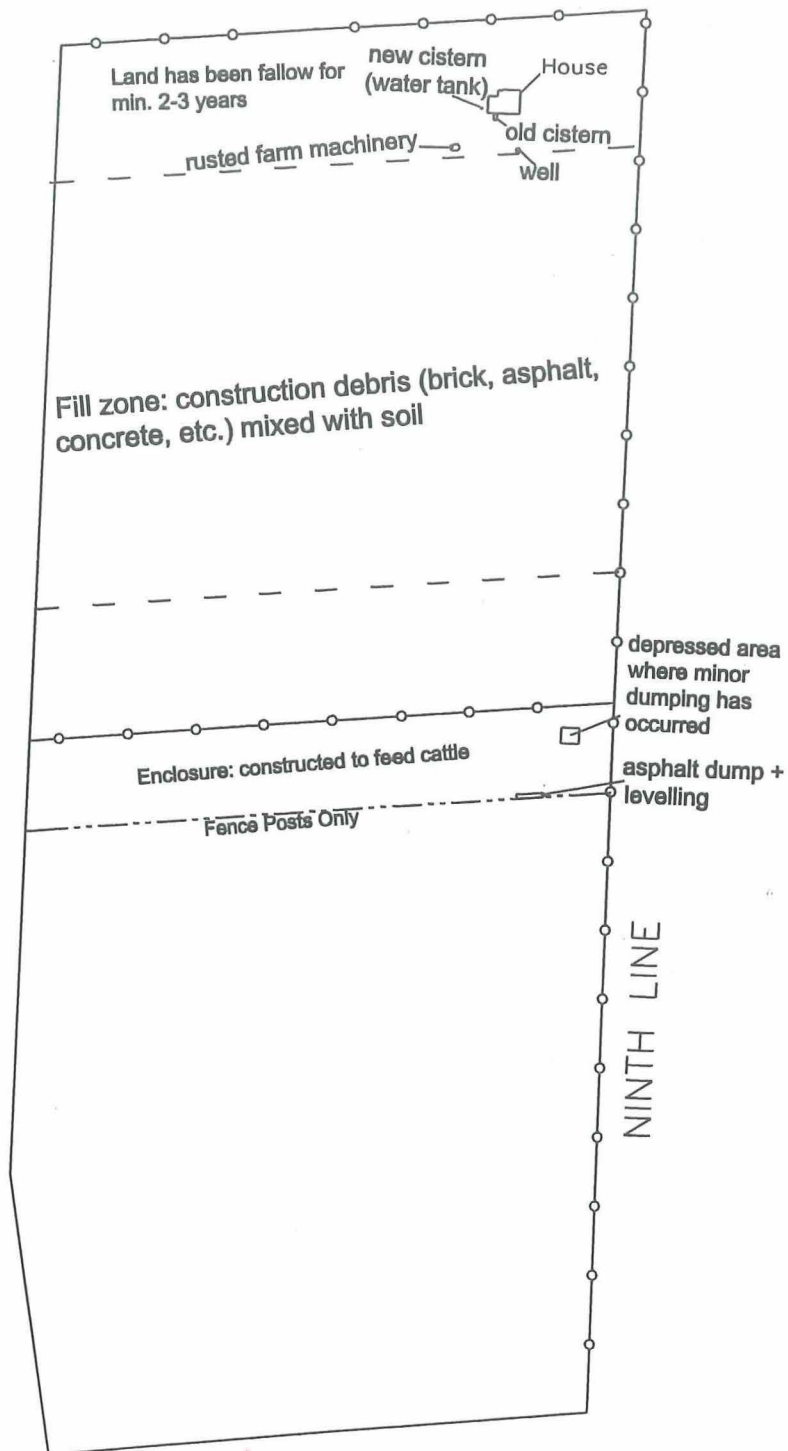
Prepared by: P. Wubbenhorst, Heritage Planner











<b>SHAHEEN &amp; PEAKER LIMITED</b>			
CONSULTING GEO-ENVIRONMENTAL AND CONSTRUCTION MATERIALS ENGINEERS			
735 GRIFFITH CT, UNIT 2, BURLINGTON		DRAWN BY: FW	
ONTARIO, L7L 5R9		APPROVED BY: RO	
SCALE: As Shown	TEL: (905) 633-8100		
DATE: MAR. 2000	FAX: (905) 633-8102		
<b>SITE FEATURES - SITE 3</b>			
PHASE 1 ENVIRONMENTAL ASSESSMENTS			
PROJECT NO. SPB142	NINTH LINE, MISSISSAUGA, ON		DRAWING NUMBER: 4-2A

7.4 -6

I declare that this plan is for registration under the Land Titles Act		PLAN 20R-13321
Date: May 10 1999	Approved and signed: June 2 1999	
Caroline Stiller Vice-Chief Clerk		David B. Seales Surveyor

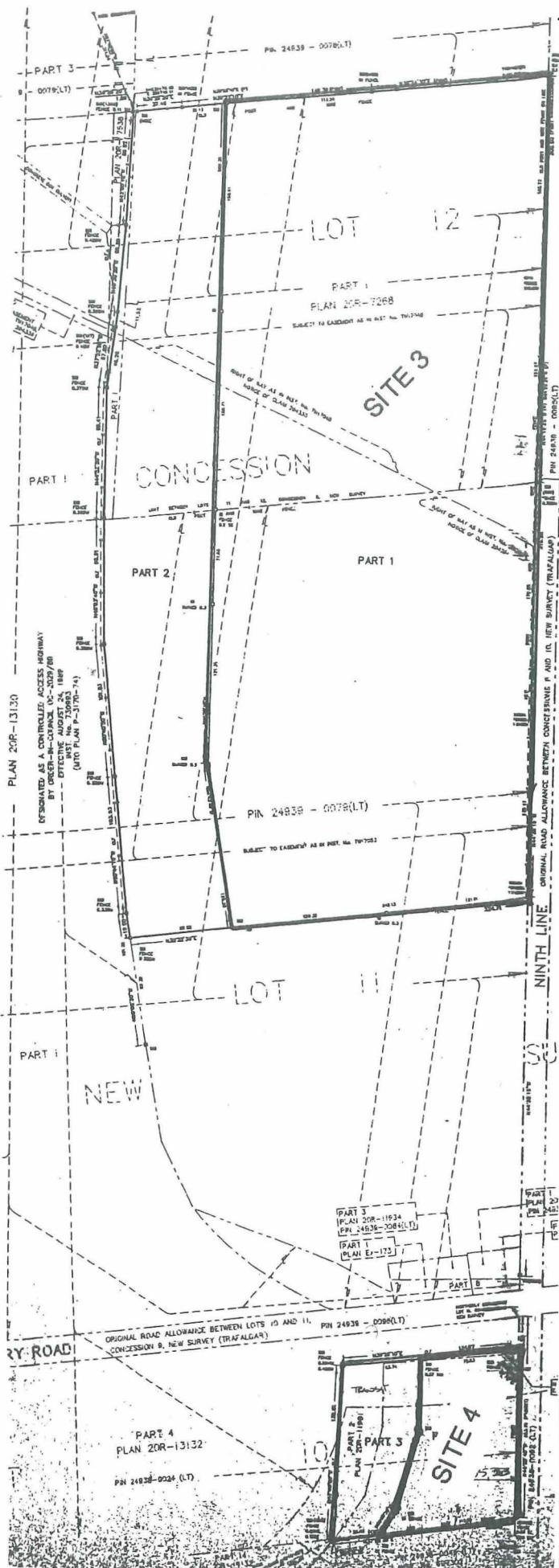
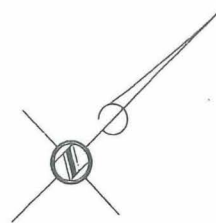
SCHEDULE				
PLAN	PART OF LOT	CONCESSION	PART OF PIN	SUBJECT TO EASEMENT AS IN
1	11 & 12	9	24838-0279 (LT)	WEST No. 1011040
2	NEW SURVEY			WEST No. 1011040
3	16		24838-0224 (LT)	
4				

PLAN OF SURVEY OF  
PART OF LOTS 10, 11 AND 12  
CONCESSION 9, NEW SURVEY  
FORMERLY IN THE GEOGRAPHIC TOWNSHIP OF TRAFALGAR  
NOW IN THE TOWN OF MILTON  
REGIONAL MUNICIPALITY OF HALTON

SCALE 1:1500

David B. Seales Surveying Ltd.  
ONTARIO LAND SURVEYORS

METRIC

DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND  
CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

# SHAHEEN & PEAKER LIMITED

CONSULTING GEO-ENVIRONMENTAL AND CONSTRUCTION MATERIALS ENGINEERS

SCALE: As Shown  
DATE: MAR. 2000

DRAWN BY: FW

APPROVED BY: RO

## SITE SURVEY - SITES 3 & 4

PHASE 1 ENVIRONMENTAL ASSESSMENTS  
NINTH LINE, MISSISSAUGA, ON

PROJECT NO. SPB142

DRAWING NUMBER: 1-3

**Description and Condition Assessment  
of the  
House at 7228 Ninth Line  
Town of Milton, Ontario**



Prepared for:

Mark Warrack, Heritage Co-ordinator  
City of Mississauga  
300 City Centre Drive, 2<sup>nd</sup> Floor  
Mississauga,  
Ontario L5B 3C1

Prepared by:

Nicholas A. Holman  
75 George Henry Blvd,  
Toronto, M2J 1E8  
E-mail: [nick.holman@utoronto.ca](mailto:nick.holman@utoronto.ca)

**November 15, 2003**

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## 1.0 INTRODUCTION AND METHODOLOGY

The following report has been commissioned by the City of Mississauga, which owns the house at 7228 Ninth Line, on behalf of the adjoining Town of Milton, within whose boundaries this house is situated.

The photographs date primarily from a site visit undertaken with Mark Warrack (Heritage Coordinator for the City of Mississauga) on the afternoon of Wednesday October the 8<sup>th</sup>, 2003, which included a lengthy investigation of the interior fabric – in darkest circumstances. Certain exterior photographs were taken on a subsequent visit, when the surrounding foliage was less luxuriant, which generally afforded better images of the exterior, though a cluster of cedars effectively prevented a face-on photograph of the front (i.e. northeast) elevation.

The report proceeds from a brief introduction to the history of the site (drawn from title deeds provided by the Town of Milton), through a summary consideration of the context, to an in-depth review of the extant fabric, and the condition of that fabric. The general procedure is to work from the older (front) block to the later (rear) addition, from front elevation back, and from ground (or basement) upwards. The report examines the exterior first, and then the interior.

A final summary highlights the more significant features of the site and the house and the condition of these latter features, and makes suitable comments and recommendations.

### 1.1 Summary Background History

The title search information provided by the Town of Milton (via the City of Mississauga) provides surprisingly little information.

The earliest entry dates from 24 June, 1936, when the Crown patents the eastern half of a 100 acre lot to Adam Anderson. This immediately raises the question how the Crown came into possession of land which had such an evidently old house upon it, but such archival investigations are beyond the scope of this report. The farm soon thereafter becomes the property of Annie Bussel (19 November 1937), who retains ownership until 30 June, 1961.

There are various owners over the following fifteen years, at which time Her Majesty the Queen, sees fit to take possession of the property. This ownership is assumed to represent expropriation of the property as part of the planning of the 407 Highway, which passes a few hundred yards to the rear of the house. On 25 March, 2002 the City of Mississauga takes ownership of the property, all legal aspects of the 407 having been, by that time, resolved.

Further information of the history of the house is merited, for reasons which will become clear through the following pages. Given the quality of the construction, it would be interesting to know who the original owners and builders were, should such archival information be somehow available.



## 2.0 EXTERIOR DESCRIPTION

### 2.1 Siting and Context

The property is located southwest of Ninth Line Road (the boundary between Mississauga and the Town of Milton to the west) about one quarter-mile northwest of Derry Road. As noted above, the Highway 407 runs parallel to Ninth line several hundred yards behind the house.

The house faces Ninth Line road, and is set some two hundred feet back from the road, and is at present obscured by successional growth, as well as the aforementioned cedars, which are assumed to relate to a former occupancy. There are several mature deciduous trees nearby, as well as fallen or semi-fallen woven wire fences near the building (which run parallel to the property lines), all of which are evidence of the previous context of a typical Ontario farmhouse. A concrete pad some one hundred feet to the southeast appears to be the cover of a well.

The surrounding property, extending well to the southeast and perhaps a quarter-mile to the southwest is all presently owned by the City of Mississauga.

### 2.2 General Description of Building

This symmetrical, T-plan, 1½ storey house appears at first to be an Ontario-vernacular, Victorian-Gothic house (figure 1), but it is in fact a robust and elegant example of an older, rarer type, namely the Ontario Georgian farmhouse, subsequently expanded at the rear, and adapted at the front, to conform to later nineteenth-century requirements and tastes. Elements of original trim are re-used at the later, small front gable, increasing the initial impression of a typical Victorian-Gothic house with, somewhat curiously, a Classical Georgian cornice throughout, including even behind the gingerbread trim at the steep, front gable. Based on the form and details, the Georgian portion of the building seems to date from circa 1850, and the Victorian front gable and rear, pitched-roof addition (figure 2), from circa 1870.

The older portion of this red- and buff-brick house is oriented to face Ninth Line, i.e. the front façade being the north-east elevation. For the sake of simplifying this report, the house will be considered to face east, with the orientations of the other elevations being described accordingly.

The front, or Georgian, block measures approximately 36' wide by 27' deep. The rear, or Victorian, addition measures approximately 27' deep by (typically) 18' wide. Other elements of this addition are a 7' - 4" square, one-storey brick extension at the southwest corner, (with adjacent, closed-in verandah to east – see figure 2) and a 9' - 2" square, one-storey, brick block at the diagonally opposite corner, at the junction of Georgian and Victorian structures (see west elevation, figure 3). Both projecting structures appear to be contemporary with the Victorian addition.

### 2.3 Georgian (front) Block

Original portion of 1½ storey house (circa 1850) has typical, Georgian-style front elevation, in ABA rhythm, with tall, ground-floor window apertures (original windows are gone) either side of wide central doorway retaining sidelights and full-width transom window (figure 4).

Masonry Walls are built off local, shale-stone foundations some 18" thick, with load-bearing red-brick above built of triple-wythe masonry, laid in Flemish-bond at front elevation only. Masonry at internal recesses below windows only is two wythes thick, allowing for fielded panels beneath.

Bricks are hand-pressed, clay bricks, with associated swirling in the clay, and in the so-called Ontario size, averaging some 8 " long x 2 " high x 3 " deep. The vertical module is approximately 11½" for four courses, measured centre to centre of the joints. Flush, buff-brick quoins are three courses high, and alternate between 9" and 18" long at returns. Gables (measured to underside of wooden trim at horizontal return of fascia) begin some 13' - 8" above grade, and rise to peak of 21' - 6" above grade (again, measured to underside of gable fascia, which is in turn some 16" below actual roof ridge).

### 2.31 Front (east) Elevation, Ground Floor

Front Verandah is Victorian (see again figure 1), and is assumed to be contemporary with gable and gingerbread above, and with rear addition. Roof is without bell-cast, and rafters and roof deck are visible from below, built in uniform, finished timber sections at both rafters and roof deck. Thin, tongue-and-groove verandah flooring, laid east-west, is a later replacement.

Central Aperture is formed by rendered-brick, flat arch faced with apparently original, lime-based mortar simulating ashlar stone lintel, with actual arch formed composed of hidden, red-brick soldier voussoirs. Brick-arch lintels at apertures either side of entry, and at gable walls, are similarly rendered. All have timber safe-lintels within. These rendered brick arches are a most unusual and rare feature.

Entrance Recess is impressively and elegantly trimmed in wooden panels both at sides and at head, with recessed panels framed by robust bolection mouldings throughout (figure 5). Mouldings suggest a later, post spindle-moulder, date (i.e. post circa 1870), but there is no evidence of alteration to these components and so are assumed to be c. 1850. Outer, storm-door assembly, also with lower panels either side and with multiple-pane transom window, has shallow, applied mouldings is a later insertion (see again figure 4).

Window Apertures either side of front door are formed as at central doorway. Lack of alignment between lower edges of rendered surfaces, i.e. apparent lintels, and brick coursing (figure 5) suggests at first a timber-framed structure within, but this is not the case. Rather this might reflect instead an unfamiliarity of the mason with details of the tradition he sought to emulate. Window apertures throughout ground floor measure some 3' - 10" wide by 6' - 5" high.

Windows throughout front block retain thick wooden sills, but sash-and-case units (assumed to have been true, double-hung 6/6 windows) are gone, substituted by (typically) upper sealed, insulating units over small bottom-sliders. Cases of original windows do, however, remain. Similarly, original wooden sills are measure 4¾" vertically, and are set 2' - 4" above verandah deck. Sills are at same height throughout ground floor.

### 2.32 Front (east) Elevation, Second Floor

Buff-brick Cornice is a most impressive masonry feature at upper level, extending across full width of front elevation. Cornice is in fact an abstracted entablature (architrave and frieze only) consisting of projecting band in Flemish-bond, buff-brick headers, with each header supporting a soldier-brick, then an additional header, and finally a stretcher above, each element being corbelled beyond adjacent brick below. Continuous course of headers and stretchers completes assembly, below robust, dentilled, wooden cornice.

Dentilled Wooden Cornice extends across entire front elevation, up front gable pitches, and to full returns at east and west gable walls. Cornice comprises fascia with beaded bottom edge and bold dentils above extending just beyond and behind second, smaller, beaded fascia above. Upper fascia is crowned by broad cove and quarter-round mouldings set against plain soffit boards. Fascias are plain boards and have conventional aluminum gutters leading to similarly contemporary, aluminum downspouts.

Front Gable is evidently a later addition, though trimmed with wooden elements as previously described. These are almost certainly reclaimed from removed materials both here and at junction of rear addition. Witnesses of alteration include voids where buff-brick soldiers have been removed (adjacent window), wooden nailer at LH side above rough (previously hidden) upper buff-brick course, cementitious patches, and boded mitres where pitched and horizontal cornices meet, especially at RH side. Red-brick masonry here is built in common bond, with headers every sixth or seventh course. Window-head is formed in un-rendered, segmental arch as throughout rear addition, and gingerbread trim below fascia is as at east gable (see also below).

### 2.33 Gable (north and south) Elevations

Gable Walls are symmetrical and identical, built of triple-wythe, hand-made, red-brick masonry with band of headers every fourth course and common bond between. As at front, apparent stone lintels are formed by rendered flat arches. Local shale-stone foundation is plainly visible, rising typically one foot above grade.

Window Apertures at ground floor are as at front, whereas windows at second floor are smaller. Wooden sills are as described, cases remain, and sashes are again assumed to have been 6/6.

Cornice Returns have lost various elements at and adjacent upper fascia, which should extend beyond ends of dentils and cornice mouldings, with similarly returned principle fascias and gutters. Remnants of these exist at SW corner, and at SE corner paint witnesses on brick seem to mark former extent of an ogee-type gutter (figure 7).

Gable Trim throughout underside of pitches is as at front, including dentils. Gable fascias (i.e. rake edges) are trimmed with large, ogee-type shingle-moulding with cove moulding below, all planted onto fascias. Roof is clad in asphalt shingles and there are no chimneys.

### 2.34 Rear (west) Elevation

Rear Elevation of Georgian block is largely hidden by addition. Junction of rear wing and west back wall indicates sequence of construction, with original wooden cornice, soffits and fascia cut to accommodate later brick walls. (Inspection within attic also revealed wood decking at rear pitch of this block.) Masonry is, again, common-bond red brick with headers every fourth course. Note that buff-brick quoins at this wall are not as elsewhere, being instead alternating headers and stretchers only. There are no external apertures at west wall of Georgian block.

## 2.4 Victorian (rear) Additions

Later, Victorian addition extends to west of Georgian Block. At a glance, south elevation presents appearance of having perhaps been original house. Inspection of various details (as previously described) reveals this is not the case, though use of similar scalloped gingerbread at south and front gables is at first deceptive. 1½ storey, pitched-roof addition dates from circa 1870, and comprises also scullery at SW corner and storage room at NE corner of addition.

Gutters and roof peaks are aligned with front block, though fascias etc. differ considerably both in overall height and in details (as described below).

Masonry Walls are again built off local, shale-stone foundations some 18" thick, with red-brick walls of triple-wythe, load-bearing masonry with header row every fourth course; up to second-floor window sills, beyond which brickwork is in common bond with alternating headers and stretchers every sixth or seventh course. Second-floor brickwork is reduced to two wythes, as is apparent inside, at top of back stairwell (see figure 8).

Bricks are again hand-pressed, Ontario-size, red- and buff- clay bricks. Flush quoins are single buff-bricks stretchers, found also at corners of both one-storey additions but, surprisingly, not at SW corner, second floor. A further extension to west, presumably wood-framed, has been demolished, and former doorway into this is now bricked up, also with hand-made bricks.

Apertures at addition are built with exposed, segmental brick arches having single-course soldier voussoirs, as also at front gable. Back Entrance is within small (now enclosed) verandah at south side, and consists of doorway centred between two short 1/1 windows (figure 9). Windows again have thick wooden sills and are here assumed to have been 1/1 or 2/2 units, depending on the overall size. Aside from upper window at central south gable, apertures are asymmetrically placed throughout addition.

Eaves trim is simple relative to Georgian block, consisting of broad cove moulding with large quarter-round above, and very shallow soffits. Gable fascias (i.e. rake edges) are trimmed with similar cove and quarter-round mouldings, which end abruptly at bottom of pitches.

### 3.0 INTERIOR DESCRIPTION

#### 3.1 Plan

Elegant brick house has typical, central-hall plan with large ground-floor rooms either side of front staircase (now gone).

Georgian Block – Ground floor consists of single large room at south side, formerly with centrally located wood-stove (note vent at high-level), and two rooms at north side: larger, front room with fireplace (figure 10) and smaller adjoining room beyond. All internal apertures seem to be original, and floor-to-ceiling height is 9' - 2".

Victorian Addition – Ground floor central hallway leads directly to large kitchen at rear, with adjoining scullery at extreme southwest corner storage room and adjacent (now-enclosed) verandah to south. A storage room exists at northeast corner, and stairs to basement and upper floor (figure 11) extend along west wall.

Georgian Block – Second floor contains four similar bedrooms, all with sloping ceilings starting six feet above floor level. Additional small room at (later) front gable spans width of landing, and appears to be original to building. Again, all internal apertures are original and floor-to-ceiling height is 8' - 4".

Victorian Addition – Second floor is reached by means of small stair at northwest of kitchen. Landing leads to two bedrooms, north room having bathroom connected via second door, beyond, to front landing. South bedroom is lit by window in south gable, and has full-width cupboard, with hatch to attic, along east side.

### **3.2 Structure and Framing**

The interiors of the Georgian portion of the house are essentially stripped, fully exposing much of the structure. The Victorian portion is less stripped, and in both areas there are remnants and witnesses which either testify to, or indicate, what previously existed there.

#### **3.21 Crawlspace and Basement**

Crawlspace some 18' deep exists throughout Georgian structure, with mud floor below. Full-height, brick load-bearing wall, with stone foundation under double-wythe brickwork, runs east-west along south side of (former) main staircase.

Basement exists only at the rear addition, reached by stairs down from door facing scullery door. Basement is some 7' in height, with rendered stone walls in good condition, though water and earth are entering through various small holes drilled in walls.

#### **3.22 Ground and Second Floor Framing**

Georgian Block - Ground-floor framing consists of 2¼" to 3" x 8¼" joists running east-west at 20" to 24" centers. Continuous joists are built onto 4" projecting top of stone foundation, and in some cases are built into masonry. Joists are supported at mid-span by hewn, 12" wide x 9" deep beam running north-south below joists, supported on old screw jack just to north of wooden partition at central hall (figure 12). Partition at north side of front is built off remnants of original, 1¼" thick maple floor boards (see figure 16), in widths 5' to 12", their size indicating the reason for which these have been stolen. Partition is built of studs 1" to 2" thick, by 9" wide, spaced irregularly at approximately 19" centers, and is set under similar partition at upper floor, though theoretically both of these are non-loadbearing.

Georgian Block - Second floor framing runs north-south (unlike ground floor) between exterior and central masonry walls. Joists measure approximately 3" x 8½", and are at 16" to 20" centers. Main stair rough-opening is 9' - 6" long x 3' - 9" wide, set against transverse brick wall to south. At southern rooms, all floor-boards (these ran east-west) have been removed, while at north and small front rooms, later, 1" x 6" tongue-and-groove softwood boards remain over the wider maple flooring. As at ground floor, frame partitions are built off original floor boards. Joist cavity is strewn with a variety of cut nails ranging from 2" to 4" in length, and sawn lath and plaster ceilings are visible below. No wrought iron nails were observed.

Victorian Addition - Ground floor structure and boards remain intact under vinyl roll flooring, presumably also under other layers of flooring and of plywood. Floor joists run clear-span, north-south, and bear on exterior masonry walls.

Victorian Addition - Second floor joists again span north-south, and are visible, regular, 9¾" x 2" at 18" centers (see figure 8, beyond stairs), again with sawn lath and plaster visible below.

### **3.3 Finishes and Trim – Georgian House**

At Ground Floor, most elements are gone, with remnants and witnesses as described below.

Maple flooring has generally been removed, though few remaining examples indicate what these were. As stated above, tongue-and-groove boards ranged between some 5" and 12" in width, by



1¼" thick. Later, narrower, softwood T & G boards were installed above at second floor, and remain at north and east rooms.

Plaster on hard (i.e. on masonry) remains at outside walls, and plaster on split lath exists on frame partitions to north of central hall (figure 13). Ceiling plaster, however, is on sawn lath where lath is visible from above.

Doors are vanished. At jamb and head of doorway from hall to Dining Room (NE corner of hall), framed panels (see figure 16) remain. Configuration of jamb trim into tall upper and shorter lower panels suggests that doors here (and elsewhere) were four-panel doors with these proportions and probably with similar profile mouldings.

Windows have all been replaced and would almost certainly have been 6/6, and probably true double-hung units, which is relatively uncommon in a farmhouse. Cases for these windows appear to remain under more recent, unfortunate, installations. Old cases would indicate size of sashes (assumed to be equal, unless in possible 6/9 configuration at this floor), as well as situation regarding pulleys and weights.

Wooden trim, consisting of tall baseboards, wide door and window casings, and assumed raised-and-fielded panels at window recesses (note that masonry is one wythe thinner in these areas), are virtually all vanished. Extent of former trim may be seen from witnesses (figure 14). Sample of baseboards and casings remains at and adjacent front door (figure 15), in addition to wooden panels at one Dining Room door jamb, as described above (figure 16).

At Second Floor, wooden trim remains in rooms at north side, including tall though simple baseboards and thick mouldings at some windows. These latter may be representative of, if narrower than, original profiles at ground floor, and appear to be in same profiles as those remaining at kitchen. (George Duncan, now of the Town of Markham, may have further insights to offer on this esoteric matter.)

### 3.4 Finishes and Trim – Victorian Addition

Ground Floor, i.e. the kitchen, retains original elements. Most noticeable is 3½" wide, v-jointed wainscoting on all sides, rising to moulded chair-rail and window sills measuring 36" to top of same, above current floor level. Flooring is assumed to be original pine boards under multiple layers of roll flooring and, probably, plywood.

Modest four-panel doors remain at scullery and at top of basement stair, while exterior door to south verandah is modern. Original casings remain (see figure 11).

Original 2/2 windows remain at north and south walls, also with their original, 5½" wide, composite casings at windows (see also figure 9).

Second floor in this area, reached by means of back stairs, has lost flooring and baseboards. Witnesses of latter, at base of wall plaster (see figure 8), indicate considerable size but not profile.

Simple lined doors, braced by applied upper and lower rails, remain at entry to both bedrooms, indicating former function of these rooms as servant quarters. Window configurations and trim were not noted, but are assumed to be as elsewhere, i.e. former 2/2 units with broad casings.

#### 4.0 SUMMARY OF BUILDING ATTRIBUTES

##### 4.1 Siting

The location and orientation of this house relative to the adjacent road is typical of the Ontario farmhouse, although in this instance the building is set well back from the Ninth Line, which means that the formerly tranquil, rural setting would not be compromised by the probable expansion of that road. The house is also well removed from Highway 407, which extends across the rear of the site.

A number of tall, old trees remain, suggesting the extent of the former residential component within the farm itself. Various woven-wire fences remain, though most have collapsed, and these also provide an indication of the extent of the former domestic realm.

Certain planted trees, such as the cedars in front of the verandah, are assumed not to date to the nineteenth century and are out of keeping with the original aspect of such an historic property. Similarly, a number of invasive, successional species are now well established and these too are an intrusive presence on the site.

##### 4.2 Quality and Significance

The dichromatic-brick house at 7228 Ninth Line in the Town of Milton is an elegant example of an older Georgian house-type, modified and expanded to suit the tastes prevailing a generation later. Particularly notable exterior elements of this building are:

- triple-wythe masonry, with Flemish Bond brickwork at front elevation
- buff-brick quoins throughout, and ornate, buff-brick cornice at front wall-head
- unusual, rendered, segmental-arches imitate ashlar stone lintels
- ornate, dentilled wooden cornice at front, rear and gable elevations
- re-use of original wooden trim elements in late construction of front gable
- deep, bolection mouldings at jambs and head to front door
- ornate Victorian verandah
- Victorian wing, with buff-brick quoins and south gable and gingerbread
- extant remnants of tall baseboards, fielded panels at hall to Dining Room door
- internal recesses below windows indicate formality of panelling at ground floor

##### 4.3 Fabric Condition - Externally

The masonry, consisting of stone foundations and hand-made, triple-wythe, red and buff, clay bricks, is a robust example of this building type. Movement within the structure is minimal, and seems confined to some settlement above dropped window arches. This may be remedied by a rebuilding of the outer wythe only, as the timber lintels behind are in sound condition where visible. A minor collapse at the base of the west wall is caused by a failed (or missing) lintel at the basement window. This part of the wall is, in any case, a built-up former doorway.

The verandah, an addition assumed to be contemporary with the rear addition, is in good repair aside from minor missing elements and some rot at the structural framing below the deck. The footings below the deck also seem to be insufficient. These are minor problems to remedy, compared to the inherent quality and value of the verandah structure that remains intact above.

The ornate wooden cornice and later gingerbread (at both gables) are generally in excellent condition. There are minor elements missing at the gable returns, as described above.

At the NW corner, the roof deck and fascia of the west pitch require repair. The roof pitches and ridges of the building are straight, and aside from the location just mentioned, the asphalt-shingle roof is sound. Various gutters are missing or failed, leading to water ingress at the basement.

#### 4.4 Fabric Condition - Internally

As with the external structure, the internal structure is also in good condition. The principal missing element is the staircase, while partition studs and floor joists remain throughout, although not securely attached at the ground floor level. The internal masonry wall, the north-south, ground-floor beam, and the floor assemblies at the upper level are all level and sound.

At the Georgian block, most of the finishes and fittings have been removed. As listed in detail above, those elements which remain provide a good indication of the form and quality of what was once there, revealing that there were various unusual and lavish features. At the Victorian addition, most original features remain, especially within the kitchen.

#### 5.0 Conclusion and Recommendations

The Georgian and Victorian brick house at Ninth Line is a high-quality building generally in very sound condition. The house is an example of an expensive and rare quality of construction, set on a site which, relative to adjacent roads and buildings, does not compromise the original, rural context. The removal of much of the internal fabric allows one to see the condition of many structural elements which would otherwise be hidden, revealing them to be in good repair.

If a suitable new use may be found, the building would be a prime candidate for a cost-effective adaptive re-use, with the exterior being restored. This requires relatively little intervention, primarily the rebuilding of outer-wythe masonry arches and spandrel panels above, and window and chimney reinstatement. The interior might be finished as deemed appropriate, since the majority of the original finishes have gone. The internal elements at the Victorian addition are more intact, and retention of these, as well as of remnants elsewhere, is encouraged.

For all of the foregoing reasons, including the age, sound condition and high quality of the historic fabric, this building merits Designation under Part IV of the Ontario Heritage Act, and assuming that a suitable new use may be conveniently accommodated, appears a prime candidate for adaptive re-use.

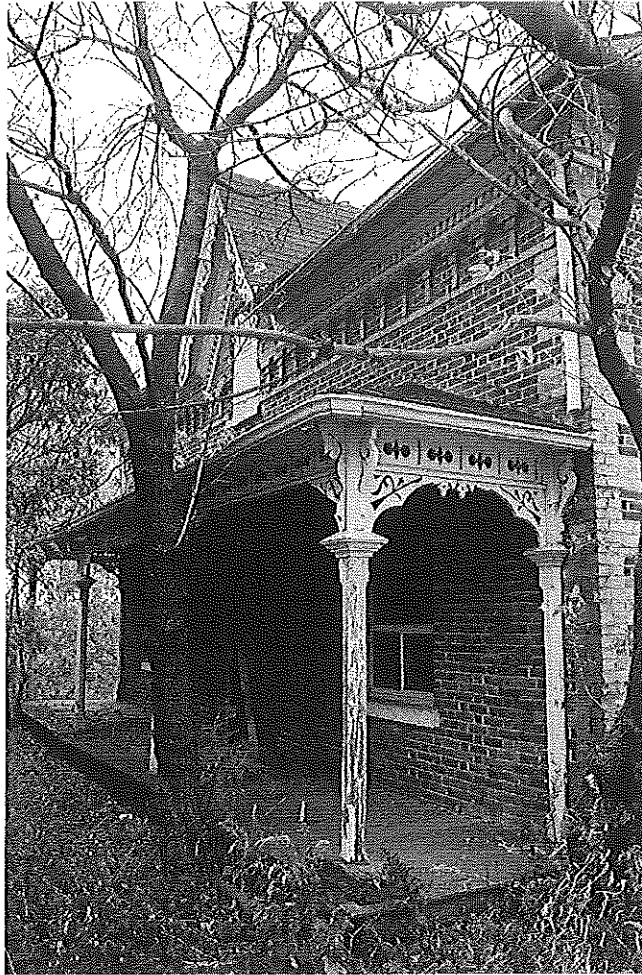


Figure 1 – House from northeast: Front of Georgian Block

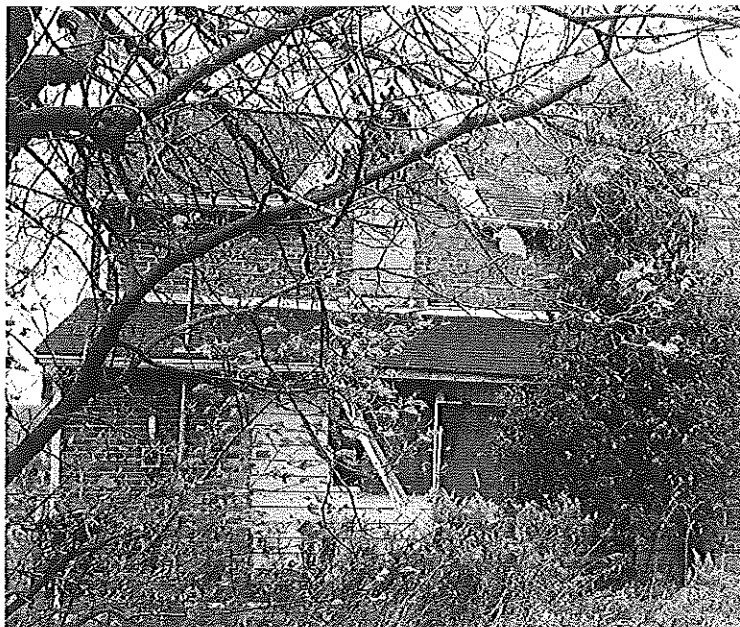


Figure 2 – West Addition, seen from South

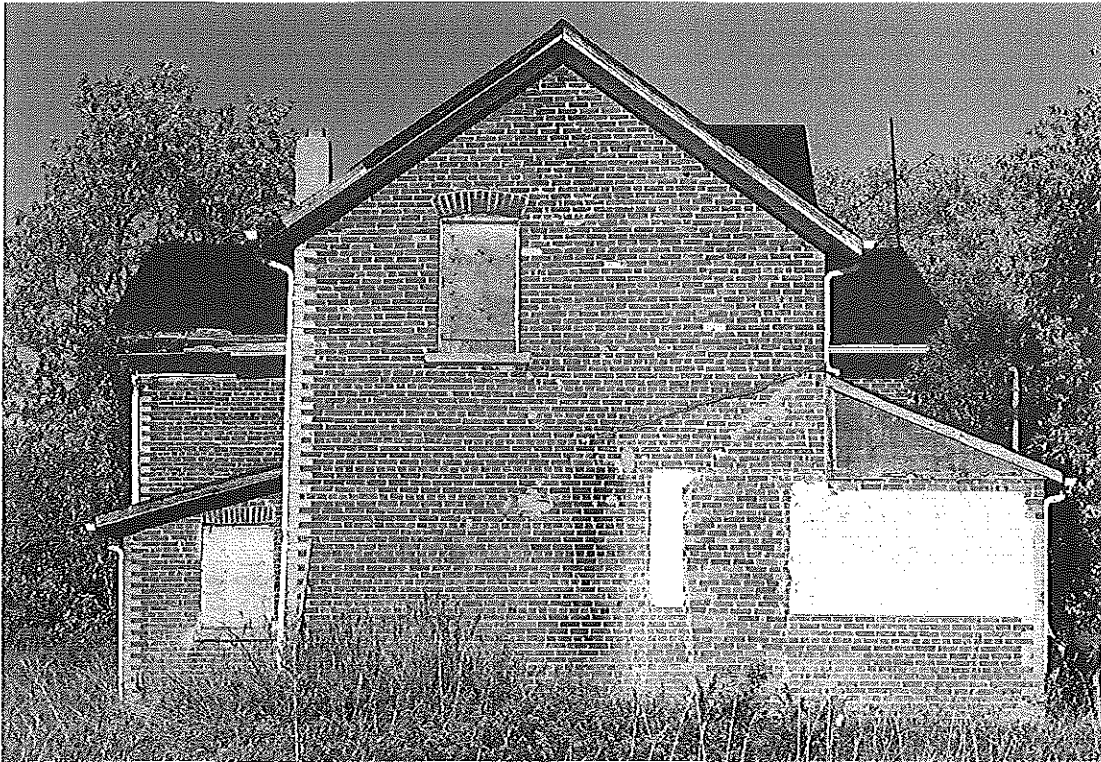


Figure 3 – Addition to West, with contemporary brick additions



Figure 4 – Front Doorway, with later (exterior) panels and transom window





Figure 5 – Bolection mouldings at Front Door recess, with later screen beyond



Figure 6 – South elevation, ground floor - rendered flat arch (with crude repair)



Figure 7 – Southeast corner: trim details, missing fascia returns and paint witness of gutter (?)



Figure 8 - Top of back stairs, showing reduction in brick wall thickness



Figure 9 - 1/1 kitchen window at south wall, with wainscotting and original casings



Figure 10 – Fireplace at north side of Dining Room





Figure 11 – Kitchen, northwest corner: back stairs to Addition, second floor

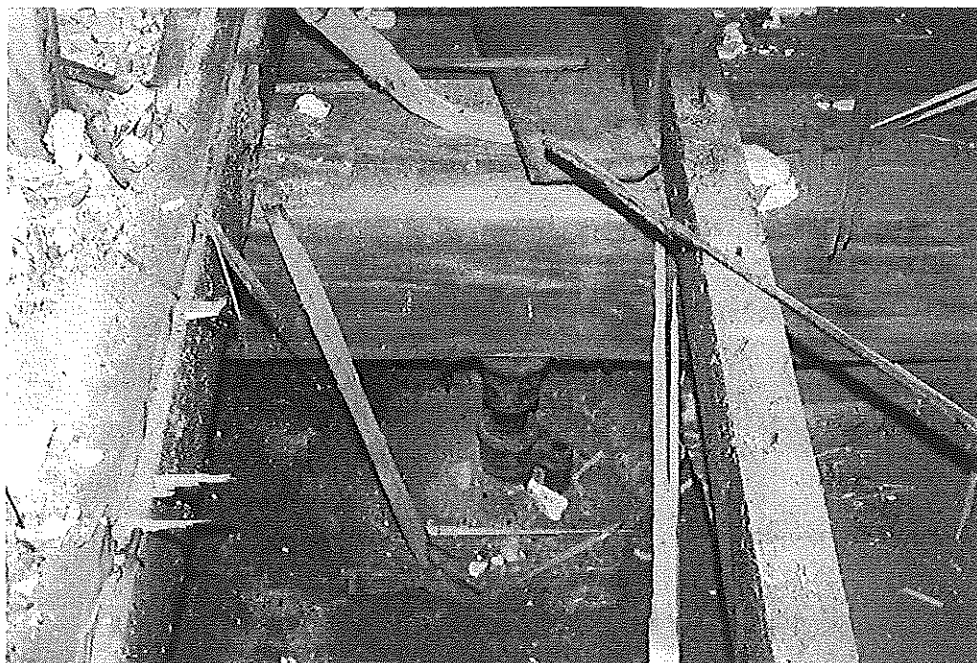


Figure 12 – at Dining Room floor, looking south: hewn transverse beam and old jack

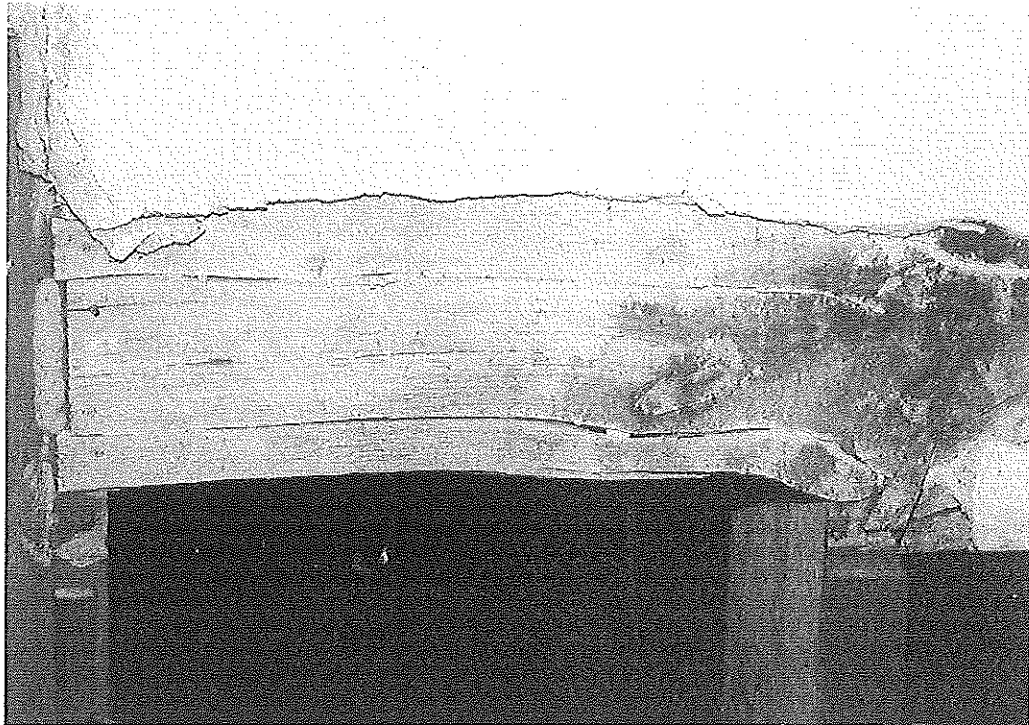


Figure 13 – Dining Room, south wall: plaster on split lath on studs.



Figure 14 – Parlour, east wall: window recess and witnesses of lost baseboards and casings





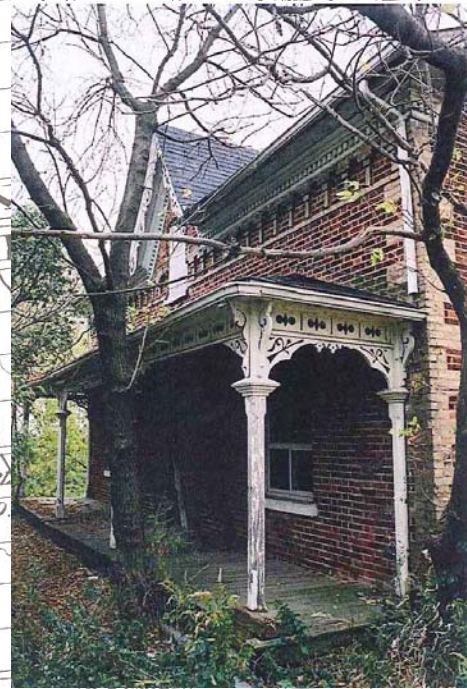
Figure 15 – Front Hall, northeast corner: baseboard, casings and door recess panelling



Figure 16 – Dining Room doorway: fielded panel and stud partition built off floorboards



7.4-26



# Condition Assessment of Heritage Property at 7228 Ninth Line Mississauga, Ontario

prepared for the  
**City of Mississauga**  
October 23, 2012

**gra**

GEORGE ROBB ARCHITECT

County of Peel  
30 Chains to One Inch.

LAKE  
ONTARIO

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  2. History
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## 1.0 Introduction

George Robb Architect was retained by the City of Mississauga in October of 2012 to undertake a condition assessment of the farmhouse at 7228 Ninth Line in Mississauga. The City of Mississauga provided an earlier report, a *Description and Condition Assessment* of the property, prepared by Nicholas Holman, conservation specialist, and dated November 15, 2003 (hereinafter the Holman report). By comparing these two reports, the reader can appreciate the extent of the vandalism that has occurred at the subject property and the resultant deterioration.

The consultant team has included Peter Stewart and Chris Walker of George Robb Architect. The consultants visited the site on October 10, 2012 and the following is their report.

## 2.0 History

The Holman report refers to a title search provided by the Town of Milton that suggests the land at 7228 was patented by the Crown to Adam Anderson in June of 1936. The 1877 Atlas (fig. 3) shows the land in the ownership of Mr. Anderson at the time of publication. The Atlas also reveals that the Bussell family owned the property directly to the north, although the Milton title search shows it falling into the hands of Annie Bussell in 1937. Could it be that the date of the Crown patent was 1836 erroneously recorded as 1936? Mr. Holman goes on to say:

*"Further information of the history of the house is merited....Given the quality of the construction, it would be interesting to know who the original owners and builders were, should such archival information be somehow available."*

The Bussells, who owned the farm to the north, were one of the earliest settler families to Trafalgar (lands granted to James Bussell's father by the Crown), who had an active and prominent role in the agricultural community.

## 3.0 Site

The building sits well back from Ninth Line and backs on the 407 Highway, which abuts the property to the rear. The site is extremely unkempt and overgrown and the house is barely visible from Ninth Line. No outbuildings remain.

## 4.0 Condition

### 4.1 Architectural Assessment

#### 4.1.1 General

*"This symmetrical T-plan, 1 ½ storey house appears at first to be an Ontario-vernacular Victorian-Gothic house, but it is in fact a robust and elegant example of an older, rarer type, namely the Ontario Georgian farmhouse, subsequently expanded to the rear and adapted at the front to later nineteenth century requirements and tastes....Based on the form and details, the Georgian portion of the building seems to date from circa 1850, and the Victorian front gable and rear pitched-roof addition from circa 1870." (Hollman report, 2003)*

These dates would make this building contemporary with the Bussell farmhouse to the north (c 1865), which has a similar history of additions during the nineteenth century.

What is most significant, however, in terms of this report, has been the extent of theft and vandalism that has gone on over the intervening nine years since the Hollman report. Mr.

Hollman concludes that *"If a suitable new use may be found, the building would be a prime candidate for cost effective adaptive re-use, with the exterior being restored"*. At the risk of having the reader set this report down and not read on, the following will indicate that, while anything is possible, restoration and adaptive re-use of this building will not be inexpensive nor, likely, cost-effective.

At the time of our site visit, access to the Basement, crawl space, Second floor and Attic was not possible due to the extent of destruction that has occurred. Our observations are based only on observable conditions from within the Ground Floor.

#### **4.1.2 Foundations**

It appears that the east block (1850 Georgian block) was built over a crawl space. Foundation walls, visible from the exterior appear to be local sandstone. Although the floors and joists have been removed from these areas, the crawl space is filled with debris (plaster, lath, plumbing fixtures, etc.) to the point that the crawl space floor was undetectable (fig. 13 & 18 demonstrate this condition).

There appears to be a Basement under the later Kitchen wing to the west, but access to the Basement was prevented by debris similar in content to the crawl space.

Only minor distress in masonry walls above grade that might be attributable to foundation movement were noted, however.

#### **4.1.3 Walls**

The walls of the original building are red brick with buff brick quoins at the corners (fig. 9) and faux limestone lintels (fig. 12-likely rendered to look like stone during the later alterations) and window sills are wood. Brick is laid in Flemish bond on the east (fig. 10) but common bond elsewhere with headers every fourth course (fig. 9).

The brick is in relatively good condition for a building of this vintage and has not suffered from inappropriate past repairs. Localized re-pointing and brick replacement would be required.

#### **4.1.4 Windows & Doors**

The earliest windows appear to have been replaced by vinyl units in recent times. All windows and doors, however, have been either removed or vandalized.

Similarly, almost all interior trim has been removed including door and window casings and recessed paneling below window openings. Some remnant trim exists in the Kitchen area and a short length of a substantial baseboard was found in the thicket outside the Kitchen entrance.

The main stair to the Second Floor has been removed in its entirety (fig. 13).

#### **4.1.4 Insulation**

There was no evidence of any insulation present in walls or ceilings.



#### **4.1.5 Roofing**

The asphalt shingle roof membrane is beyond its service life and numerous holes in roof sheathing were visible from the exterior (fig. 6). Gutters and downpipes are dysfunctional.

#### **4.1.6 Finishes**

Finishes have all been removed.

There are two interesting discoveries that support Mr. Hollman's contention that an early Georgian house was "modernized" in the Victorian style over the years.

In the Kitchen, the most recent machine-made wood lath and plaster had been removed to reveal that it had been installed on strapping (fig. 17) over another original layer of plaster applied directly to the inside of the brick exterior wall. Two layers of wallpaper were found under the strapping (fig. 19) showing, still, vivid colours.

The early block also had both hand-split lath and machine-made lath indicating an early date and a later repair (fig. 20).

### **4.2 Structure**

While the masonry walls appear in reasonable condition, they are likely destabilized by the loss of lateral support caused by the removal of almost all floor joists. For this reason, we believe the building should be considered unstable.

While vandalism has obviously occurred, as witnessed by the graffiti and broken windows, it appears a more sophisticated theft of the structure has occurred. Floor joists have been neatly cut out to maximize salvaged lengths, perhaps with a chain saw (fig.14). Similarly, floor planks have been removed. The only joists that remain are those that support the Second Floor Bathroom and the short lengths of the upper Hallway.

In discussion with Mark Vanderhelm of the City, it appears that this theft of the floor joists has occurred within the last few weeks.

### **4.3 Mechanical**

Although access to the Basement was not possible, there appears to be no functional heating and ventilating system nor plumbing in the building.

### **4.4 Electrical**

Knob and tube wiring was visible hanging from walls and the few floor joists that remain, but no electrical power distribution nor lighting remains.

### **5.0 Designated substances**

No investigation was conducted in regard to designated substances and hazardous materials.

### **6.0 Conservation Principles**

The property is listed under Part IV of the Ontario Heritage Act. All work that affects the character defining elements of the property should be undertaken with regard to certain international standards for dealing with properties of cultural heritage significance. The guidelines below are the current standards of the Ontario Ministry of Culture.

#### 1. RESPECT FOR DOCUMENTARY EVIDENCE:

Do not base restoration on conjecture.

Conservation work should be based on historic documentation such as historic photographs, drawings and physical evidence.

#### 2. RESPECT FOR THE ORIGINAL LOCATION:

Do not move buildings unless there is no other means to save them.

Site is an integral component of a building. Change in site diminishes heritage value considerably.

#### 3. RESPECT FOR HISTORIC MATERIAL:

Repair/conservé - rather than replace building materials and finishes, except where absolutely necessary.

Minimal intervention maintains the historical content of the resource.

#### 4. RESPECT FOR ORIGINAL FABRIC:

Repair with like materials.

Repair to return the resource to its prior condition, without altering its integrity.

#### 5. RESPECT FOR THE BUILDING'S HISTORY:

Do not restore to one period at the expense of another period.

Do not destroy later additions to a house solely to restore to a single time period.

#### 6. REVERSIBILITY:

Alterations should be able to be returned to original conditions. This conserves earlier building design and technique.

e.g. When a new door opening is put into a stone wall, the original stones are numbered, removed and stored, allowing for future restoration.

#### 7. LEGIBILITY:

New work should be distinguishable from old.

Buildings should be recognized as products of their own time, and new additions should not blur the distinction between old and new.

#### 8. MAINTENANCE:

With continuous care, future restoration will not be necessary.

With regular upkeep, major conservation projects and their high costs can be avoided.

### 7.0 Recommendations

1. The site immediately surrounding the house is extremely overgrown and littered with debris. Tall grass conceals broken furniture, broken windows, fencing components, etc. all of which could be potentially hazardous to both authorized and unauthorized visitors to the site. Prior to any work on the site we recommend the site be cleared and vegetation immediately adjacent the building be removed.
2. The building should be barricaded immediately to prevent unauthorized entry to this unstable building and the inherent hazards on the interior.
3. The history of the property is, to a large extent, unknown and we agree with Mr. Hollman that further research could tie it to an interesting history of the early agricultural community in Halton Region.

### **8.0 Estimate of the Probable Cost of Restoration and Repair**

The consultants recently (2011) undertook the restoration and adaptive reuse of a farmstead dating from 1830 in Richmond Hill. The unit casts for restoration were \$346/sf. If we assume that the building at 7228 Ninth Line is approximately 3,000 sf in area, based on the Richmond Hill example, the cost of restoration and adaptive re-use could be in excess of \$1,000,000. This cost excludes hard & soft landscaping and site servicing that would be required for any adaptive reuse.

2012

## Appendix A – Drawings

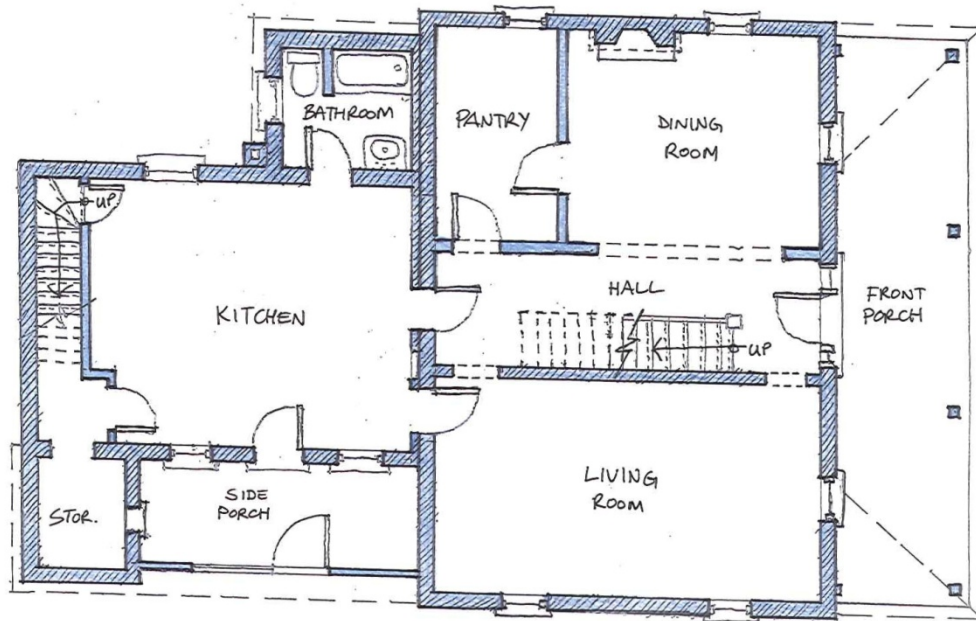


Fig. 1 – Ground Floor Plan

0 5 10 15 FEET

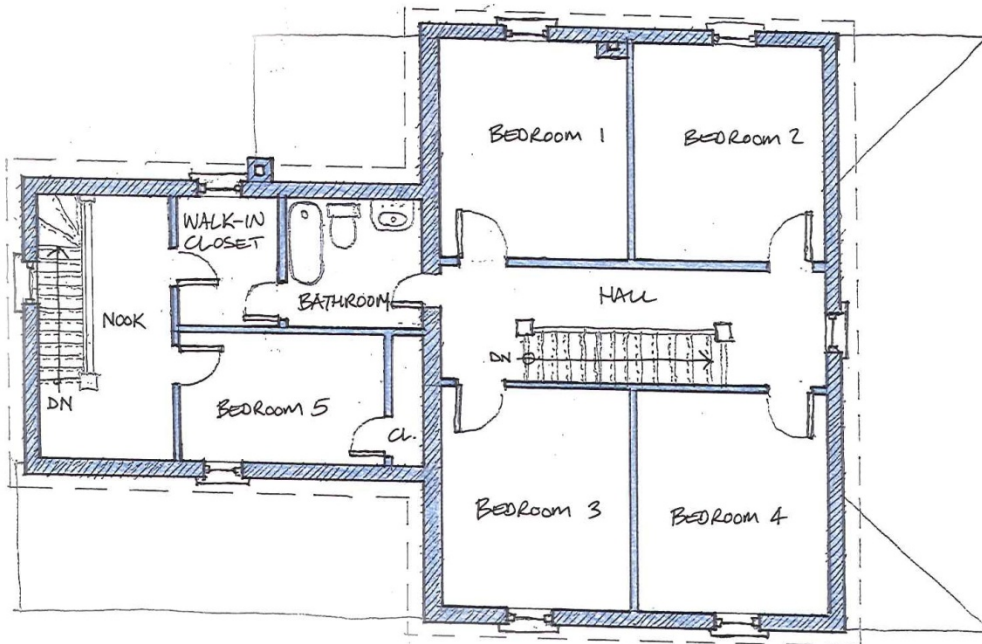
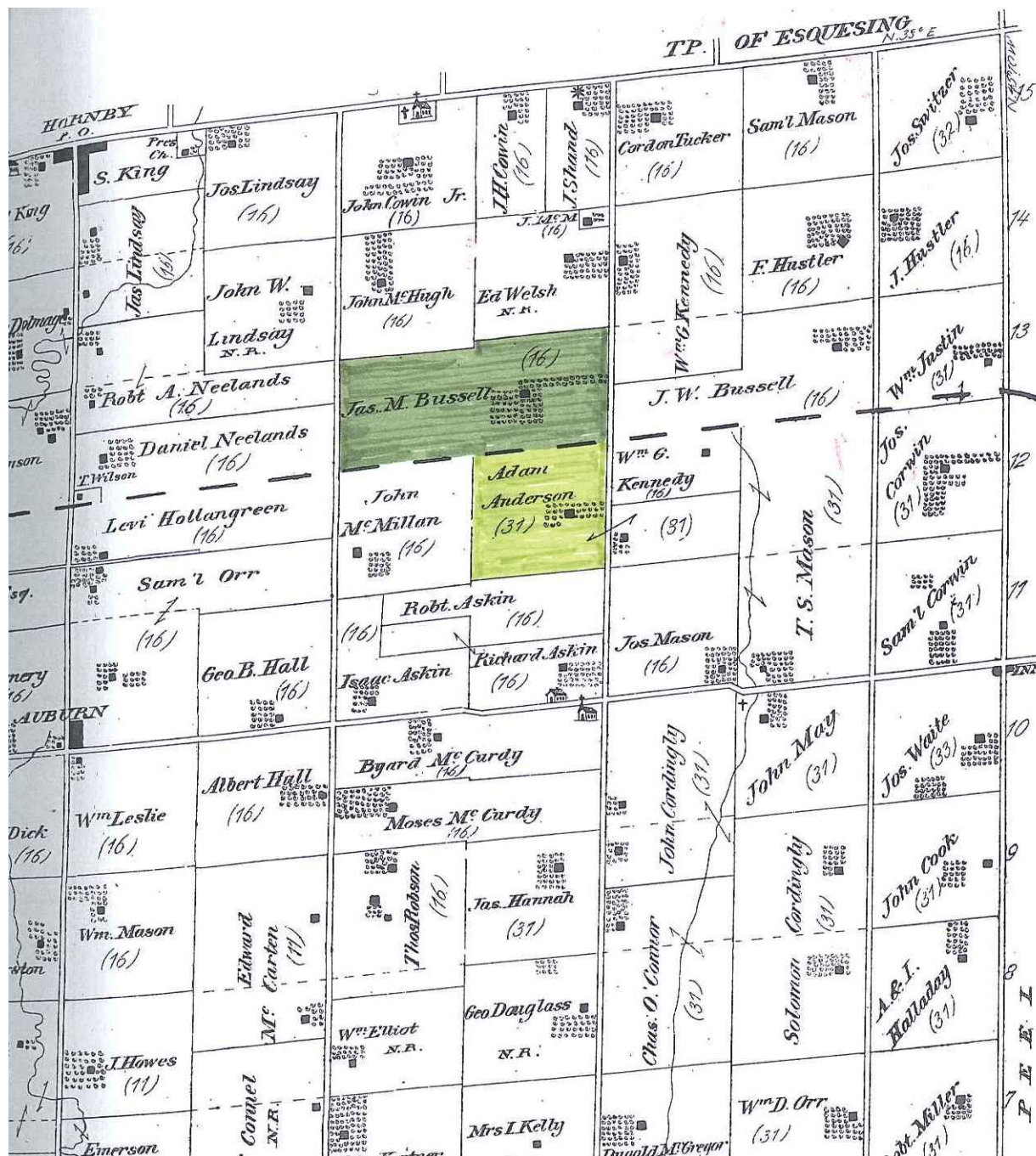


Fig. 2 – Second Floor Plan

1236

October

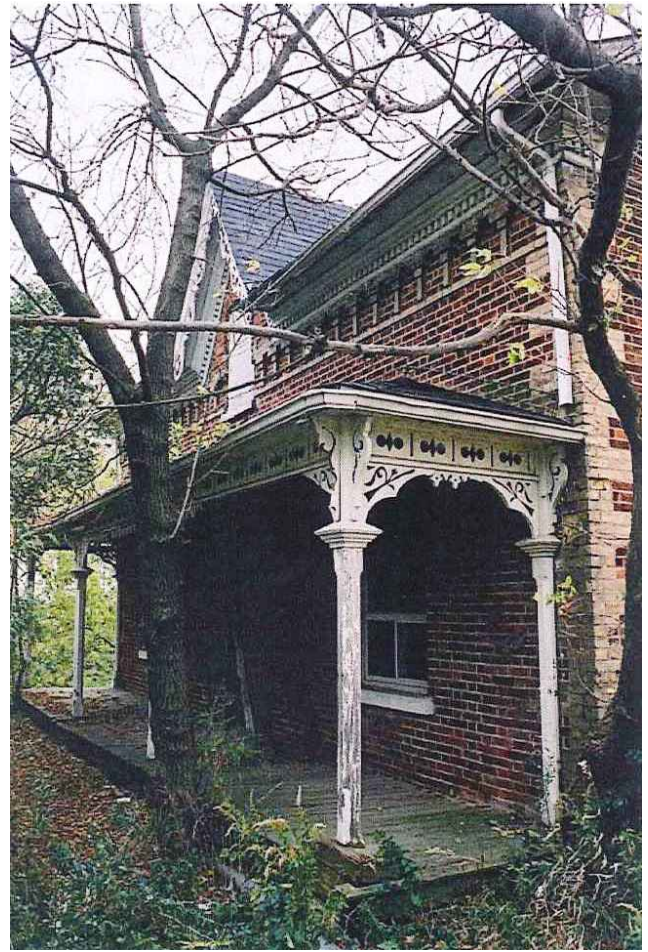




2012

**Appendix B - Photographic Record**

**Fig. 4 – East Elevation as found October 10, 2012; note collapsed Porch**



**Fig. 5 – East Elevation as found November, 2003 taken from Hollman report with Porch intact**



2012



Fig. 6 – View from North West





2012

**Fig. 7 – Elevation of West Addition from Hollman Report, 2003**



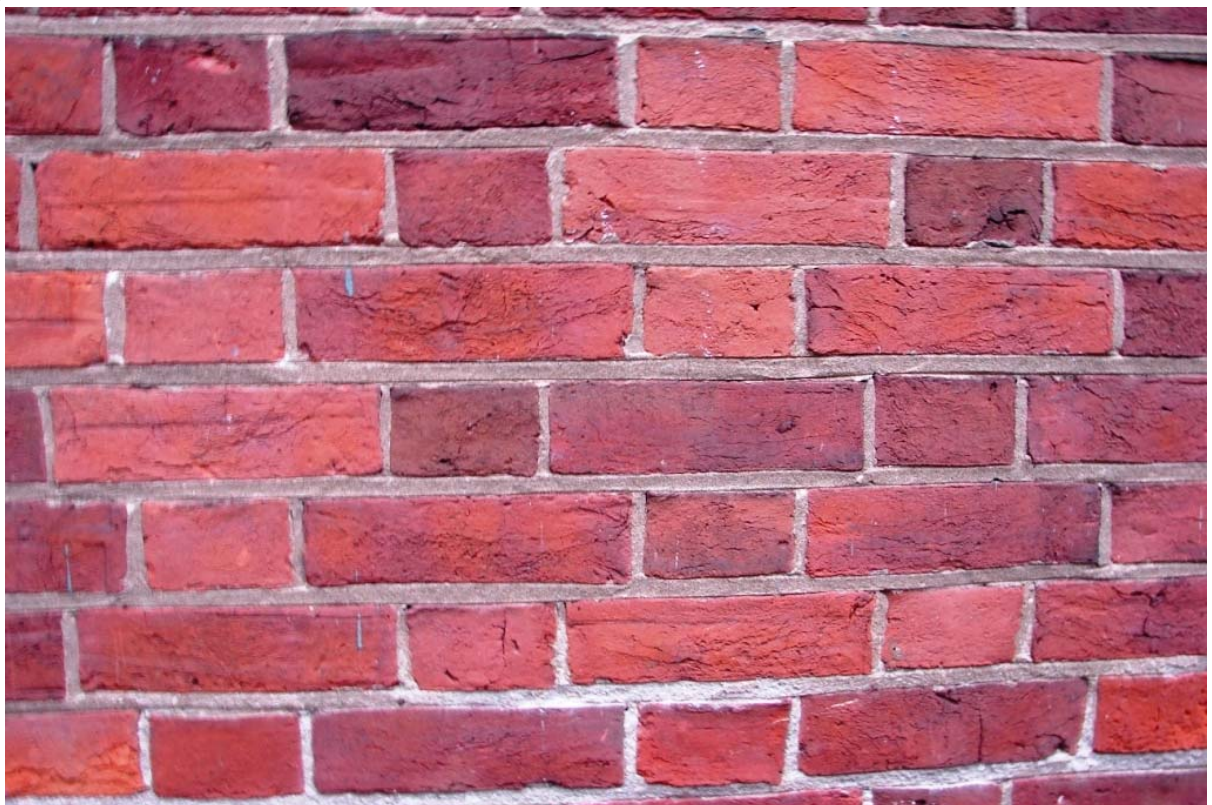
**Fig. 8 – Part South Elevation**



2012



**Fig. 9 – Detail of Quoins**





2012

**Fig. 10 – Flemish Bond**



**Fig. 11 – Brick cornice, east elevation**



**Fig. 12 – Remnant frame of east entrance**



2012



**Fig. 13 – Front Hall looking east. Note line of stair stringer removed from right hand wall.**



**Fig. 14 – View from Parlour up through removed floor joists. Hand split lath is also visible.**



2012

**Fig. 15 – Living Room with floor joists removed; centre hewn beam visible.**



**Fig. 17 – Strapping over original plaster with wallpaper beneath.**

**Fig. 16 – Kitchen looking west at second stair to Second Floor. Note cut floor joists.**



**Fig. 18 – Shallow, likely twentieth century fireplace in Parlor and debris in crawl space.**



2012



Fig 19 – Wallpaper remnant from Fig. 17

2012



**#20 – Living Room ceiling; hand split lath on left, machined made lath on right**





# City of Mississauga Corporate Report



Date: 2018/03/06

To: Chair and Members of Heritage Advisory Committee

From: Paul Mitcham, P. Eng, MBA, Commissioner of  
Community Services

Originator's files:

Meeting date:  
2018/04/10

## Subject

**Request to Demolish a Heritage Listed Property: 560 Shenandoah Drive (Ward 2)**

## Recommendation

That the property at 560 Shenandoah Drive, which is listed on the City's Heritage Register, is not worthy of heritage designation, and consequently, that the owner's request to demolish proceed through the applicable process, as per the Corporate Report, entitled "Request to Demolish a Heritage Listed Property: 560 Shenandoah Drive (Ward 2)", dated March 6<sup>th</sup>, 2018 from the Commissioner of Community Services.

## Background

Section 27.3 of the Ontario Heritage Act states that structures or buildings on property listed on the City's Heritage Register cannot be removed or demolished without at least 60 days' notice to Council. This legislation allows time for Council to review the property's cultural heritage value to determine if the property merits designation.

The owner of the subject property has submitted a heritage permit application to demolish and replace the existing structure. The subject property is listed on the City's Heritage Register as it forms part of the Mississauga Road Scenic Route cultural landscape. This cultural landscape is significant due to its scenic and visual quality as the road traverses a variety of topography and land use, from old established residential neighbourhoods to new industrial and commercial uses. Its landscape is of archaeological, design, technological interest as well as having historical interest and associations, illustrating important phases of Mississauga's history and displaying a consistent scale of built features.

The landscaping, urban design and conservation authority related aspects will be reviewed as part of the Site Plan review process to ensure the project respects the character of the surrounding community.

## Comments

The owner of the subject property has requested permission to demolish the existing structure. The applicant has provided a Heritage Impact Assessment, attached as Appendix 1. The consultant has concluded that the structure at 560 Shenandoah Drive is not worthy of designation. Staff concurs with this finding.

## Financial Impact

There is no financial impact.

## Conclusion

The owner of 6685 Century Avenue has requested permission to demolish a structure on a property that is listed on the City's Heritage Register. The applicant has submitted a documentation report which provides information which does not support the building's merit for designation under the Ontario Heritage Act. Staff concurs with this finding.

## Attachments

Appendix 1: Heritage Impact Statement



---

Paul Mitcham, P. Eng, MBA, Commissioner of Community Services

Prepared by: P. Wubbenhorst, Heritage Planner

# **Heritage Impact Statement**

**560 Shenandoah Drive  
Mississauga**



**Prepared for: Mr. XXXXXXXXXXXXXXXX**  
**Prepared by: Stoyanovskyy Architects Inc.**  
December, 2016

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## **1. Property Information**

The house was built in the 1960's and belonged to Donald and Norma Sima until it was sold to Robert and Elizabeth Rogers in 1965. They remained the owners of the property until 2013, when it was purchased by Khadijeh Mina and Vamegh Askari. From 2015 till 2016, the property belonged to Jacek and Marta Pozniakowski.

To establish the significance of previous owners for the history of the area, their names have been looked up in Heritage Profiles Section of the Heritage of Mississauga website. Peel Region Archives have been searched with the same goal in mind, followed by the review of the resources available in the Canadiana Room. A google search was performed as well. These efforts did not yield any results to support the significance of the previous owners.

## **2. Property Heritage Listing**

Address: 560 Shenandoah Dr.

Legal Description: LOT 62, Registered Plan 599

Roll Number: 21-05-020-027-12300-0000

Heritage Status: Listed on the Heritage Register but NOT designated.

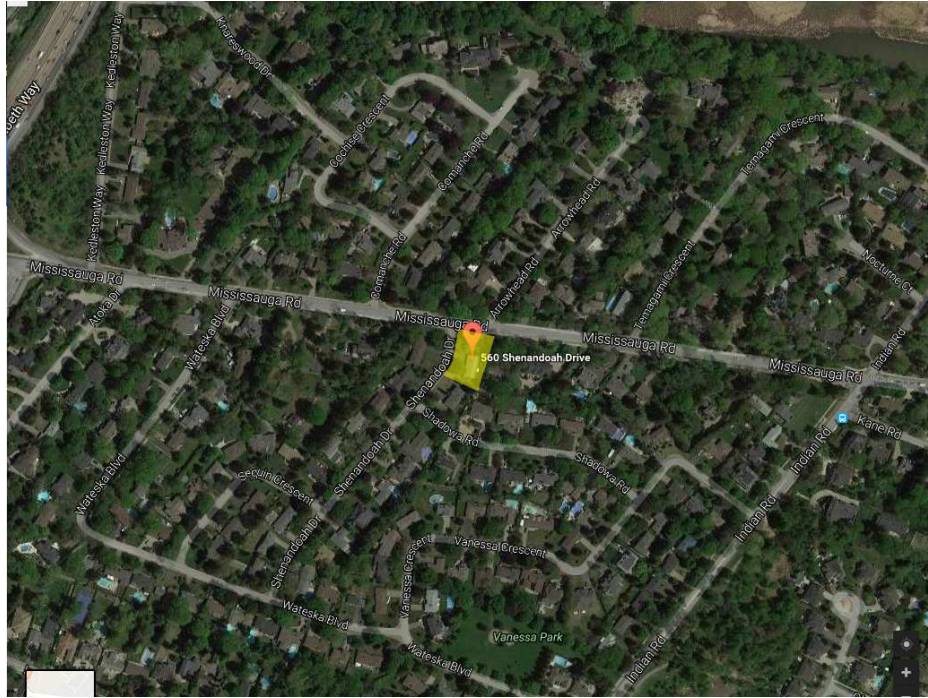
Location History: The property is part of Mississauga Road Scenic Route (F-TC-4). This area has been listed in the Cultural Landscape Inventory (2005) in the section entitled Cultural Features identified as a Transportation Corridor. Here is an excerpt from the above mentioned document describing the area:

Mississauga Road is one of the oldest roads in Mississauga. Its alignment varies from being part of the normal road grid in the north to a curvilinear alignment in the south following the top of bank of the Credit River. The scenic quality of the road is notable because it traverses a variety of topography and varying land use from old established residential neighbourhoods to new industrial and commercial areas. From Streetsville south the boulevards and adjacent landscapes are home to some of the oldest and most spectacular trees in the City. It is acknowledged as an important



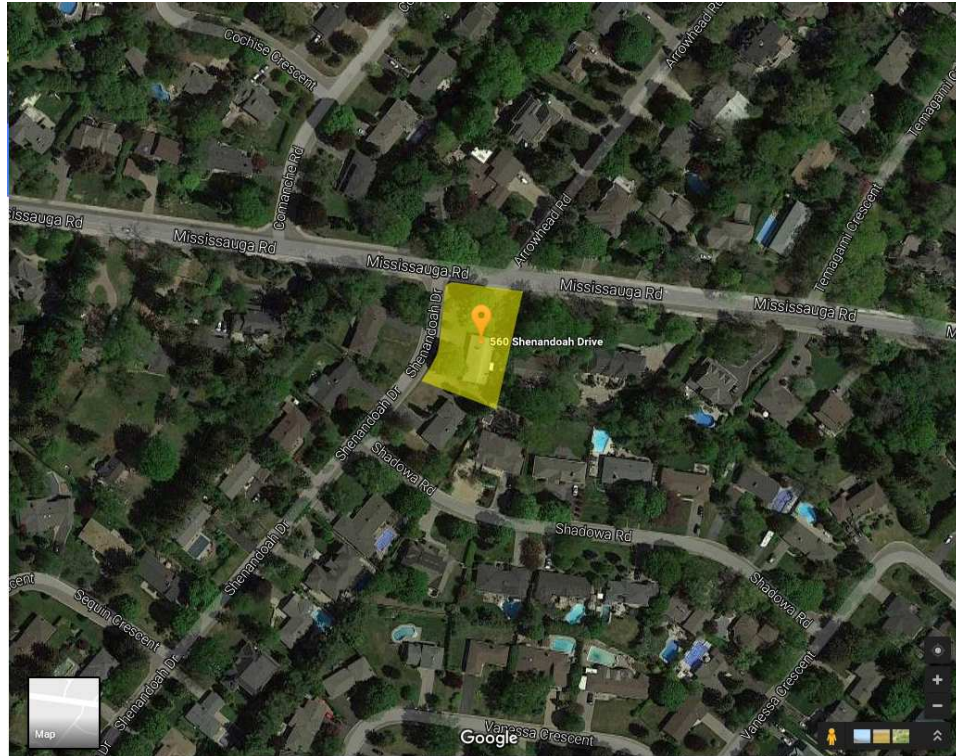
cultural landscape because of its role as a pioneer road and its scenic interest and quality<sup>1</sup>.

### 3. Location Map



Picture 1.

<sup>1</sup> Cultural Landscape Inventory. Appendix 2. L-RES-6. 2005.



Picture 2.





Picture 3.







## **PICTURES OF THE EXTERIOR**



**Picture 8: Front View**



**Picture 9: Rear Elevation (Garage)**



**Picture 10: Rear Elevation from the East Corner**



**Picture 11: Rear Elevation**





**Picture 12: Rear Elevation from the West Corner**



**Picture 13: East Side View**





**Picture 14: West Side View**



**Picture 15: East Side Yard (View from the House)**



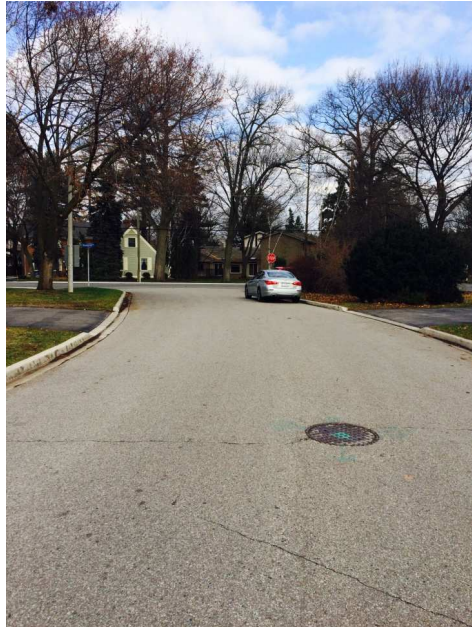


**Picture 16: East Side Yard (View from the North-East Corner)**



**Picture 17: Backyard (Behind the Garage)**





**Picture 18: Street Facing Eastward**



**Picture 19: Street Facing Westward**

## Property Information

The existing home at 560 Shenandoah Drive was built in early 1950s. The property is located on the West side of Mississauga Road on pie-shaped lot with a frontage of 35.85m being widened to 45.61 at the back. It is listed on the Heritage Register but has not been designated a heritage property. It is listed on the Register because the property is part of a cultural landscape.

There are a number of bushes and trees at the back of the lot and on its East side (pic. 12, 13, 15, 16, 17). There is a small backyard (pic. 17) and a larger East yard (pic. 13, 14, 15). A paved driveway on the East side of the property leads to a two-car garage (pic. 8). The garage is adjacent to the house and has a door leading to the back yard (pic. 9).

The house placed on the property is a one storey single family house. The exterior of the existing building is made of red brick with white siding on side facade (pic. 8, 14). The doors, windows and the garage doors are all in white. The front facade features a small porch supported by white thin columns (pic. 8). The back facade contains a number of features. The back facade of the garage has a door (pic. 9). In the middle of the back facade there is a cube structure with large windows on all sides (pic.11). On the side of that structure, there is a staircase leading to the backyard (pic. 10). To the sides of the glass structure and on the wall of the rear facade, there are windows, which are asymmetrical (pic. 10, 12). The east elevation features one small window (pic. 13). The west side elevation has no opening, it features white siding in the upper part of the facade in the form of a triangle (pic. 14).

The main door leads to a tiny entrance area and opens into a living room on the left (pic. 20). The kitchen is located opposite the entrance with a dining room to its left behind the living room (pic. 21, 22). The right part of the house features three bedrooms and two bathrooms (pic. 23-27). All rooms have a very modest size.

The current owner has purchased the property in July 2016. He has been looking for a property in this neighborhood as he appreciates the vegetation of the area. His preference was a lot with an old structure in a tear-down condition which will accommodate a bigger house in the traditions of the area to cater to the needs of his family. The owner proposes to build a new 2-storey home that will adapt to the natural topography of the lot to fit and reinforce the charm of this area (see Section 7).

## **6. Home Owner History & Abstract Analysis:**

According to Heritage Mississauga history, Port Credit & Streetsville amalgamated with the Town of Mississauga in 1974. As taken from the 1996 Census of Canada, Statistics Canada profile in February 1999 edition it was explained that:

from the late 17th century to the early 19th century, the Credit River Valley was the exclusive domain of the Mississauga's, a band of the Ojibway. In 1805 they relinquished most of their holdings to the British Government, with the exception of a strip of land one mile on each side of the Credit River-the Credit Indian Reserve, which now comprises part of the current Mineola. As settlement occurred, the Mississauga sold most of the Credit Indian Reserve to the Crown in 1820. Mineola underwent suburban residential development on several parcels of land throughout the 1940's and 50's, and by 1950 newer homes along with older farmhouses lined Hurontario Street almost continuously from Port Credit to Cooksville. (p.1)

This particular land parcel (West of Mississauga Rd and North of Indian Road with Wateska Blvd. in the West and Sequin Cres. and Shenandoah Dr. in the North establishing its borders, part of lots 6 & 7, Range 2, C.I.R ) has been subdivided in 1958 according to the survey dated June 2nd, 1958 (Appendix A). The land was developed in the following years by Westlyte Construction Limited and parcel # 62 (560 Shenandoah Dr.) was sold to Donald and Norma Sima on June 20, 1961 (Appendix D). It was sold on April 1, 1965 to Robert and Elizabeth Rogers (Appendix D). They remained the owners of the property until September 2013. In 2013, the property was purchased by Khadijeh Mina and Vamegh Askari, who sold it in July 2015 to Jacek and Marta Pozniakowski (Appendix C). The current owner has purchased the property from them in July 2016 (Appendix C).

To establish the significance of previous owners for the history of the area, their names have been looked up in Heritage Profiles Section of the Heritage of Mississauga website. Peel Region Archives have been searched with the same goal in mind, followed by the review of the resources available in the Canadiana Room. A google search was performed as well. These efforts did not yield any results to support the significance of the previous owners.

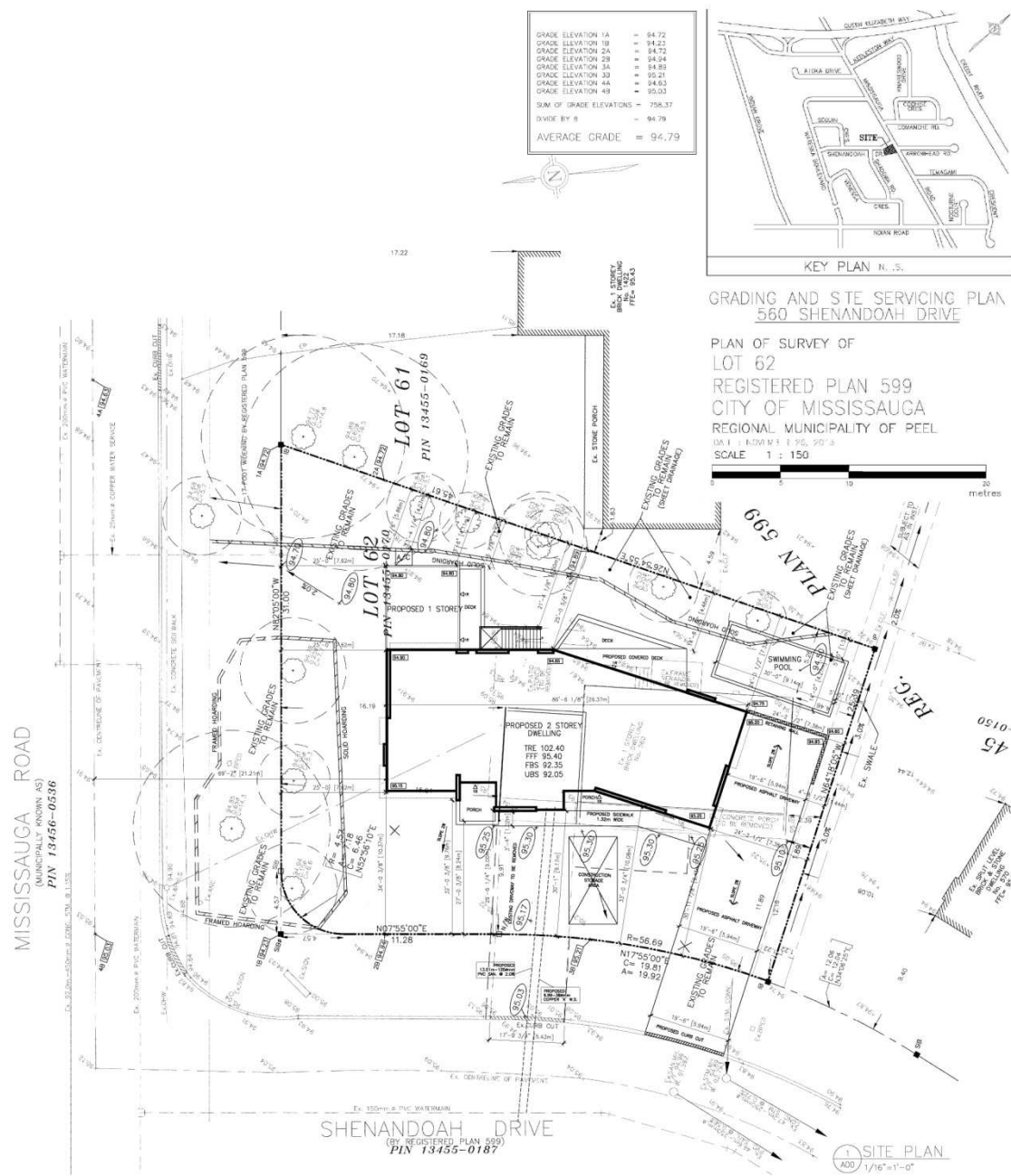
## **7. Written and Visual Inventory (Proposed)**

**The proposed style is a contemporary house inspired by current trends in the area.**

The current owners are interested in building a new 2-storey home that reflects current trends in architectural landscape of Mississauga. The immediate neighborhood is mostly traditional in terms of building style and includes a variety of houses inspired by traditional and classical architectural styles. There is a number of new developments around the site in question. These newer developments feature two-storey dwellings (pic. 31-34). When one takes into the consideration homes outside the immediate vicinity of the property, there are many examples of contemporary architecture (pic. 36-38). The proposed house on 560 Shenandoah Dr. is inspired by this trend. The front facade of the proposed dwelling will feature full-height glass outer walls in combination with stucco and stone planes (drawings 2-5). This will create a light structure that will not be overpowering the neighbourhood. The house is positioned to preserve all existing vegetation on the property and uses the land parcel efficiently (drawing 1). Such exterior undoubtedly fits into the neighborhood quite nicely.

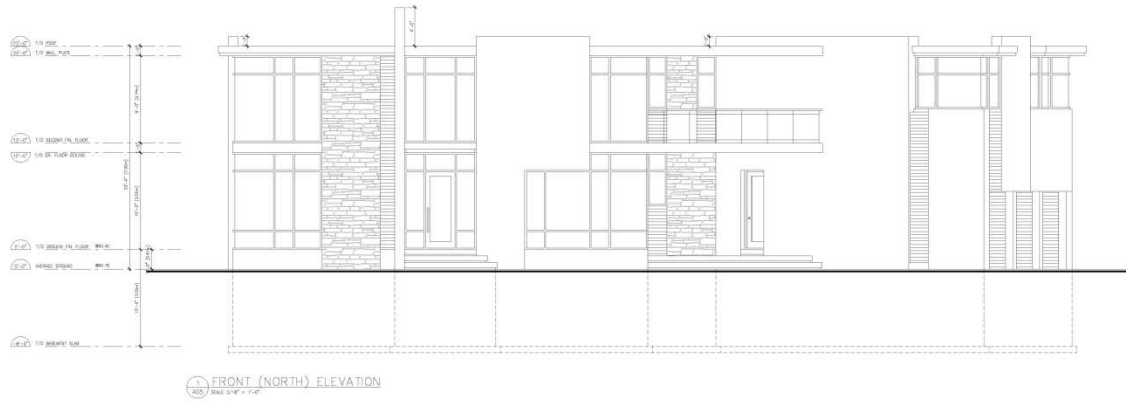


## SITE PLAN

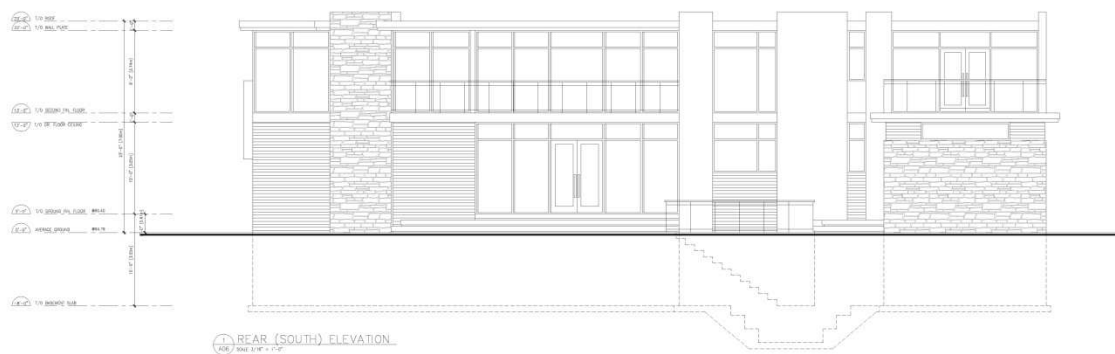


**Drawing 1.**

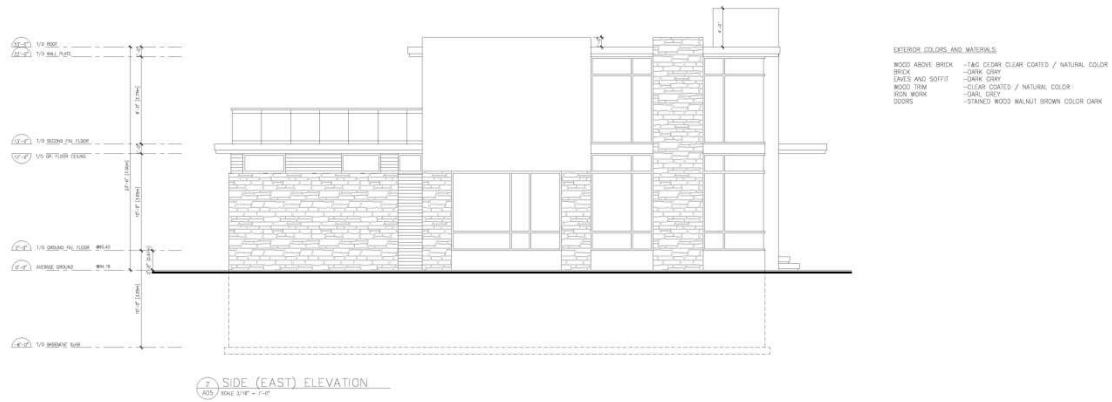
# PROPOSED ELEVATIONS



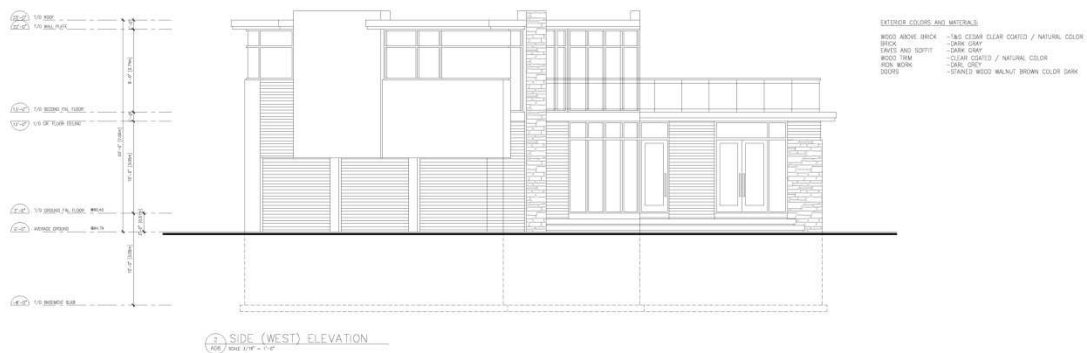
Drawing 2.



Drawing 3.



**Drawing 4.**



**Drawing 5.**

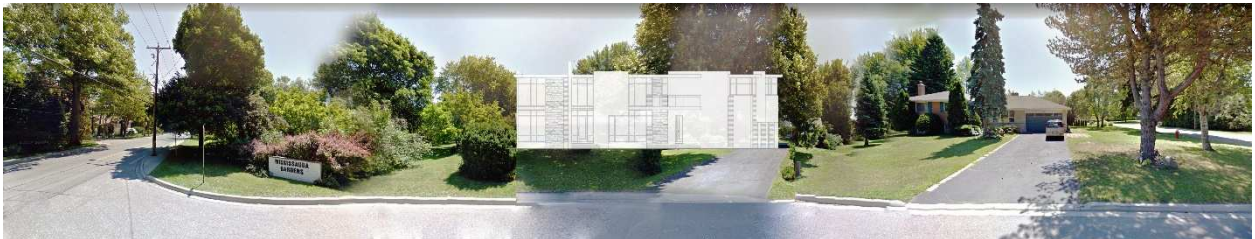
## STREETSCAPE DRAWING

### Existing View



Picture 28

### Proposed View



Picture 29



Picture 30



## EXAMPLES OF HOMES IN THE IMMEDIATE AREA



Picture 31: 598 Shenandoah Dr.



Picture 32: 618 Shenandoah Dr.





**Picture 33: 1450 Wateska Blvd.**



**Picture 34: 1502 Wateska Blvd.**



**Picture 35: 1416 Shadowa Rd.**

## **EXAMPLES OF CONTEMPORARY HOMES**



**Picture 36: 1423 Indian Grove**



**Picture 37: 1375 Indian Grove**



**Picture 38: 1492 Gregwood Rd.**



## 8. Cultural Landscape Criteria

The property 560 Shenandoah Drive is part of the Mississauga Road Scenic Route (F-TC-4) (pic. 1-3) which is categorized as a cultural landscape in the Cultural Landscape Inventory of 2005.

### **Mississauga Road Scenic Route**

**Heritage or Other Designation:** Scenic Road

**Location:** Parallels the Credit River on its west bank

**Landscape Type:** Transportation

The following information is provided in the mentioned document describing the criteria for this categorization and setting desirable characteristics for future development:

### **a) Addressing the Cultural Landscape Criteria**

The cultural heritage landscape inventory heritage impact statements must demonstrate how the proposed development will conserve the criteria that render it a cultural heritage landscape feature. The appointed below indicate the criteria for the Mississauga Road Scenic Route cultural heritage landscape:

#### **LANDSCAPE ENVIRONMENT**

- \_ Scenic and Visual Quality
- \_ Horticultural Interest
- \_ Landscape Design, Type and Technological Interest

#### **HISTORICAL ASSOCIATION**

- \_ Illustrates Style, Trend or Pattern
- \_ Illustrates Important Phase in Mississauga's Social or Physical Development

#### **BUILT ENVIRONMENT**

- \_ Consistent Scale of Built Features

#### **OTHER**

- \_ Historical or Archaeological Interest<sup>2</sup>:

To conserve the “landscape environment”, “historical association”, “built environment qualities and “significant ecological interest criteria”, the

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<sup>2</sup> As listed in Cultural Landscape Inventory. Appendix 2. L-RES-6. 2005.

proposed alteration must be consistent with the retention of the appearance of the area to ensure that the character of this part of Mississauga remains intact. The proposed 2 storey house is located in the same location as the existing building with a larger footprint. The front line of the house is set in the exact same position preserving the existing front yard dimensions with the setback consistent with its neighbors. The positioning of the proposed dwelling is more centered achieving efficient use of the lot dimensions. All proposed setbacks are in adherence to the zoning bylaws.

**b) Addressing Mineola District Policies of Mississauga plan:**

The architectural styles of the homes in the area vary greatly. There are many different sized lots and different natural topography as well as different styles that are typical of the trends that were popular at the time of the original construction. There are some of the original homes left in the area and there are many new homes that have been built recently.

560 Shenandoah Dr. is preserving the building setbacks and ditches along the roadside. All height restrictions are being followed for the 2 storey building. The natural topography and mature vegetation of the lot is being preserved. This is following an existing trend with some of the demolished bungalow and 1.5 storey homes that are being replaced with new homes fitting nicely in the area. Existing grades and drainage patterns are preserved.

**c) The site plan of the proposed alteration** (dr. 1) is consistent with the new homes being constructed in the area. The proposed home is a custom home that fits in with the quality housing stock of the area. Although the existing house will be demolished, including removal of the foundation and the new house and two car garage overlay most of the existing place of the footprint. The front yard setback remains equal to the current. Its front yard setback is consistent with all neighbors' houses to the West and those across the street. Grading respects the exiting trees and established drainage patterns.

The proposed home has been designed with consideration for the subject lot dimensions, height requirements and architectural style of surrounding homes on the street and in the immediate surroundings. The scale, massing, and character of the proposed home compliments the surrounding homes in the neighborhood. The new house is of similar scale

and does not impact but preserves all mature vegetation. There is no overshadowing or overlook to the adjacent neighbors. There will be no accessory structures in the rear yard.

The house design fits the scale and character of the area. It is a custom built design yet adheres to policy. The building mass and rear, side yard setback is respecting the adjacent lots. The impact of the proposed home adheres to the District policies guidelines and satisfies the cultural landscape criteria.

The new house is a two-storey building featuring a family room, a living room, a dining room, kitchen, a study and a bedroom on the first floor (dr. 7). There are four bedrooms on the second floor (dr. 8). The exterior is informed by contemporary trends of architecture popular in this area. To achieve a subtle look, the exterior will be finished using large glass windows, stone and stucco panels.

**d) Mitigating Measures**

These are not required.

## **9. Qualifications**

Stoyanovskyy Architects Inc. is an architectural firm that has worked with the Credit Reserve Association in the area on plenty of successful design projects over many years. The firm has on staff a qualified architect to perform the architectural part of the report. All archival work has been compiled by Dr. Viktoriya Melnykevych (PhD), a consultant who has university training in archival work. Dr. Viktoriya Melnykevych has been working with the City of Mississauga in the past and has successfully submitted HIS for the following properties: 2471 Jarvis, 1232 Vesta.



## 10. Adherence to the Ontario Heritage Act (OHA) and Recommendations

### • Does the property meet the criteria for heritage designation under the Ontario Regulation 9/06, Ontario Heritage Act?

RESPONSE SUMMARY: It does not meet the criteria for heritage designation under the Ontario Regulation 9/06, Ontario Heritage Act under section 29 of the act

### If the subject project does not meet the criteria for heritage designation then it must be clearly stated as to why it does not.

RESPONSE SUMMARY:

The property does not have design value or physical value because

- a) it's not a rare, unique representative or early example of style, type, expression material and construction method.
- b) It does not display a high degree of craftsmanship nor demonstrate a high degree of technical or scientific achievement.

The property does not have historical value or associative value because

- a) There is no direct association with a theme or believe or organization or institution nor does it reflect the work or ideas of a significant artist, architect or designer in the community or culture or
- b) Does not yield, or has the potential to yield, information that contributes to an understanding of a community
- c) Does not demonstrate or reflect the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community

The property does not have contextual value because

- a) it is not important in defining or maintaining or supporting the character of the area,
- b) is not, physically, functionally or visually or historically linked to its surroundings, or is a landmark

*Note: Please see the full land registry report in Section 4. Census data, Archives of Ontario, Library and Archives Canada, Mississauga Directories, Canadian Cemetery Records and Google were searched for these families.*

• **Regardless of the failure to meet criteria for heritage designation, does the property warrant conservation as per the definition in the Provincial Policy Statement?**

RESPONSE SUMMARY: The building does not warrant conservation although all precautions to preserve the natural vegetation and regeneration will be taken in order for the style of landscape including the streetscape will be maintained.

**Adherence to the Heritage Impact Statement Terms of Reference:**

**(f) Impact of Development or Site Alteration**

An assessment identifying any impact the proposed development or site alteration may have on the cultural heritage resource(s). Negative impacts on a cultural heritage resource(s) as stated in the *Ontario Heritage Tool Kit* include, but are not limited to:

Destruction of any, or part of any, significant heritage attributes or features

No impact

Alteration that is not sympathetic, or is incompatible, with the historic fabric and appearance

No impact

Shadows created that alter the appearance of a heritage attribute or change the viability of an associated natural feature or plantings, such as a garden

No Impact

Isolation of a heritage attribute from its surrounding environment, context or a significant relationship

No impact

Direct or indirect obstruction of significant views or vistas within, from, or of built and natural features

No impact

A change in land use (such as rezoning a church to a multi-unit residence) where the change in use negates the property's cultural heritage value

No impact

Land disturbances such as a change in grade that alters soils, and drainage patterns that adversely affect a cultural heritage resource, including archaeological resources

No impact

### **Condition of Current Home**

The property does not meet the criteria for heritage designation.

The existing house does not have any design or physical value. The house does not have historical value or associative value and it does not have direct associations with a theme, event, belief, person, activity, organization, or institution that is significant to a community. It also does not yield or have the potential to yield information that contributes to an understanding of a community or culture. As well, it does not demonstrate or reflect the work or ideas of an architect, artist, builder, designer or theorist who is significant to the community.

Over the years, several upgrades were made to the existing house, for example the replacement of windows.

There is little expression of style, type, or artistic impression used on the original home. The material used on the exterior of the home lack quality and meaningful craftsmanship. As a result, the home is not unique or a special example of a period architecture. The property in discussion does warrant some level of conservation to protect its heritage values, specifically to conserving the natural landscape features. All efforts will be made in the construction of a new home to preserve the natural landscape characteristics. The property is on the register because of its current surroundings, but the home itself is NOT designated. This is clearly stated in the Property Heritage Detail in the Cultural Landscape Inventory:

Mississauga Road is one of the oldest roads in Mississauga. Its alignment varies from being part of the normal road grid in the north to a curvilinear alignment in the south following the top of bank of the Credit River. The scenic quality of the road is notable because it traverses a variety of topography and varying land use from old established residential neighbourhoods to new industrial and commercial areas. From Streetsville south the boulevards and adjacent landscapes are home to some of the oldest and most spectacular trees in the City. It is acknowledged as an important cultural landscape because of its role as a pioneer road and its scenic interest and quality<sup>3</sup>.

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<sup>3</sup> Cultural Landscape Inventory. Appendix 2. F-TC-4. 2005.

**Recommendation:**

Based on the evidence presented in this report, it is clear that the property on 560 Shenandoah Drive does not meet the criteria for heritage designation and is therefore not listed in the registry. The built structure on the lot does not have any design, physical, historical, or/and contextual value. Therefore, demolition of the existing structure should be permitted to allow re-development in accordance with this application. The proposed development preserves the mature look of the area by retaining the lots landscape and vegetation. In addition, suggested style of the proposed dwelling fits nicely into the existing architectural surroundings and contributes to the exclusivity of the area.



## BIBLIOGRAPHY

1996 Census Profile: Mississauga. February 1999.

[http://www5.mississauga.ca/research\\_catalogue/B-28\\_mineola1.PDF](http://www5.mississauga.ca/research_catalogue/B-28_mineola1.PDF)

(Accessed Dec. 2, 2016)

Cultural Landscape Inventory.

[http://www5.mississauga.ca/pdfs/Cultural\\_Landscape\\_Inventory\\_Jan05.](http://www5.mississauga.ca/pdfs/Cultural_Landscape_Inventory_Jan05.pdf)

pdf (Accessed Dec. 2, 2016)

Ontario Heritage Act. [http://www.e-](http://www.e-laws.gov.on.ca/html/statutes/english/elaws_statutes_90o18_e.htm)

[laws.gov.on.ca/html/statutes/english/elaws\\_statutes\\_90o18\\_e.htm](http://www.e-laws.gov.on.ca/html/statutes/english/elaws_statutes_90o18_e.htm)

(Accessed Dec. 2, 2016)



Appendix B

PROPERTY IDENTIFICATION  
PROPERTY NUMBER:  
ESTATE/QUALIFIER:

LAND  
REGISTRY  
OFFICE 843

ABSTRACT INDEX (ABBREVIATED) FOR PROPERTY IDENTIFIER  
13455-0366 (X)

LT 42, PG 599 - MISSISSAUGA

THIS PARCEL WAS CREATED BASED ON INFORMATION CONTAINED IN DOCUMENT(S) R03080708, WHICH IS (ARE) RECORDED FOR PIN IDENTIFICATION ONLY.  
RECORDING  
PARCELLED

PAGE 1 OF 1  
PREPARED FOR REGISTRATION  
ON 2016/12/07 AT 14:23:53

FILE CREATION DATE:  
1997/03/18

REG. NUM.	DATE	INSTRUMENT TYPE	AMOUNT	PARTIES FROM	PARTIES TO	CERT/ CHRD
<b>**EFFECTIVE 2000/07/29 THE NOTATION OF THE PELANGI IMPLEMENTATION DATE* OF 1997/03/18 ON THIS PIN**</b>						
<b>**WAS REPLACED WITH THE *PIN CREATION DATE* OF 1997/03/18**</b>						
<b>** PRINTOUT INCLUDES ALL INSTRUMENT TYPES AND DELETED INSTRUMENTS SINCE 1997/03/18 **</b>						
THIS ABSTRACT INCLUDES ALL INSTRUMENTS AND DOCUMENTS FROM: 1997/03/18						
FOR THE PREVIOUS ABSTRACT SEE ABSTRACT BOOK						
NOTE: THIS PIN WAS ONCE AEO PIN 23453-0176. THIS PROPERTY WAS CONVERTED TO LT ON 1998/03/23 REQUIRING PIN 23455-0176.						
R03080708	1994/12/01	TRANSFER	\$2		ROGERS, ROBERT WILFRIED ROGERS, ELIZABETH GRACE	C

NOTE: ADDITIONAL PROPERTIES SHOULD BE INVESTIGATED TO ASCERTAIN DESCRIPTIVE INCOMPLETENCES. IF ANY, WITH DESCRIPTION REPRESENTED FOR THIS PROPERTY.

NOTE: ENSURE THAT YOUR PRINTOUT STATES THE TOTAL NUMBER OF PAGES AND THAT YOU HAVE PLOTTED THEM ALL UP.

## Appendix C

PAGE 1 OF 3  
PREPARED FOR REGISTRATION  
ON 2014/12/07 AT 10:23:14

PARCEL REGISTER (ABSTRACTED) FOR PROPERTY IDENTIFIER  
13455-0170 (17)

LAND  
REGISTRY  
OFFICE 141  
\* CERTIFIED IN ACCORDANCE WITH THE LAND TITLES ACT \* SUBJECT TO RESERVATIONS IN CHARGE GRANT \*

REGISTRATION DATE  
1998/09/23

REGISTRY DISCUSSION: LT 42, PL 519 ( 8/7 2141281), CITY OF MISSISSAUGA

PROPERTY ADDRESS:  
RETAIL QUALIFIER:  
PER SINGLE  
IN CONVEYANCE QUALIFIED  
OWNER: NAME


RECEIVED:  
RE-ENTRY FROM 13455-0166  
CAVALLI SPACE  
JEN  
JEN

REG. NO.	DATE	INSTRUMENT TYPE	AMOUNT	PARTIES FROM	PARTIES TO	CHRG / CHRG
**EFFECTIVE 2010/07/28 THE REGULATION OF THE BLOCK IMPLEMENTATION DATE OF 1997/03/28 ON THIS FILE**						
**WAS REPLACED WITH THE "PIN CREATION DATE" OF 1991/03/23**						
** PRINTOUT INCLUDES ALL DOCUMENT TYPES AND DELETED INSTRUMENTS SINCE 1998/03/23 **						
**SUBJECT, ON FIRST REGISTRATION UNDER THE LAND TITLES ACT TO:						
SUBSECTION 48(1) OF THE LAND TITLES ACT, EXCEPT EBERHARDT II, EBERHARDT IV, PROVINCIAL SUCCESSION ENTITIES *						
AND ESCHEATS OR FORFEITURE TO THE CROWN.						
THE RIGHTS OF ANY PERSON WHO WOULD, BUT FOR THE LAND TITLES ACT, BE ENTITLED TO THE LAND OR ANY PART OF						
IT THROUGH LENGTH OF ADVERSE POSSESSION, PRESCRIPTION, MISDESCRIPTION OR DONATIONS SETTLED BY						
CONVENTION.						
ANY LEASE TO WHICH THE SUBSECTION 70(2) OF THE REGISTRY ACT APPLIES.						
**DATE OF TRANSFER TO LAND TITLES 1998/03/24 **						
TT112531	1998/08/07	TRANSFER AGREEMENT			THE BILL TELEPHONE COMPANY	C
TT114606	1998/10/21	AGREEMENT			THE CORPORATION OF THE TOWNSHIP OF TORONTO	C
TT131101	1990/11/22	RELEASE				C
REMARKS: TT114606						
TT131572	1980/12/09	RENT COV AIL ANNEX				
** COMPLETELY DELETED **						
SL462	1961/12/01	BYLAW				C

NOTE: ACQUIRED PROPERTIES SHOULD BE INVESTIGATED TO ASCERTAIN DESCRIPTIVE INCONSISTENCIES, IF ANY, WITH DESCRIPTION REPRESENTED FOR THIS PROPERTY.  
NOTE: ENSURE THAT YOUR PRINTOUT STATES THE TOTAL NUMBER OF PAGES AND THAT YOU HAVE PLOTTED THEM ALL UP.



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Ontario  
ServiceOntario

LAND  
REGISTRY  
OFFICE #43

PAGE 3 OF 3  
PREPARED FOR MELAYEVTON  
ON 2016/12/07 AT 15:23:24

PANEL REGISTER (ABBREVIATED) FOR PROPERTY IDENTIFIER

13455-0190 (L2)

\* CERTIFIED IN ACCORDANCE WITH THE LAND TITLES ACT \* SUBJECT TO RESERVATIONS IN CHARGE GRANT \*

REG. NO.	DATE	INSTRUMENT TYPE	AMOUNT	PARTIES FROM	PARTIES TO	CERT/ CHK
P22961876	2016/08/03	DISCH OF CHARGE		*** COMPLETELY DELETED *** POZNIACOMSKI, JACEK POZNIACOMSKI, MARTA		
P22965505	2016/09/09	DISCH OF CHARGE		*** COMPLETELY DELETED *** THE TORONTO-DOMINION BANK		
REMARKS: P22947964, REMARKS: P22944069.						

NOTE: ACQUIRING PROPERTIES SHOULD BE INVESTIGATED TO ASCERTAIN DESCRIPTIVE INCONSISTENCIES, IF ANY, WITH DESCRIPTION REPRESENTED FOR THIS PROPERTY.

NOTE: ENSURE THAT YOUR PRINTOUT STATES THE TOTAL NUMBER OF PAGES AND THAT YOU HAVE SIGNED THEM ALL UP.

## Appendix D

[illegible]

DATE PLAN REGISTERED 2 June 1958  
OWNERS S.R. McLaughlin Assoc. Ltd.  
TOWNSHIP OF TORONTO  
LOT# SURVIVOR PL. 6, R. 2, C.T.B.

SHEET NO. 3  
LOT NO. 521  
SUBJECT McLaughlin Mt. & McLaughlin Dr.  
PLAN NO. 277

NUMBER	PREVIOUSLY	DATE OF PRECEDENCE	DATE OF PRECEDENCE	DESCRIPTION	QUALITIES	CONSIDERATION	REMARKS
135158 Sub	22.1.14	22.1.14	22.1.14	Yak Nub & Limited (P)	Thelph Limited (P)		Thelph Limited (P)
135219 Sub	22.1.14	22.1.14	22.1.14	Thelph Limited (P)	Thelph Limited (P)		Thelph Limited (P)
137,807 Cert.	19 June 1941	20 June 1941	20 June 1941	Donca Lumber Company Limited (P)	Woodlote Limited & Rose Wagon (P)		Woodlote Limited & Rose Wagon (P)
137816 Cert	19 June 1941	20 June 1941	20 June 1941	Donca Lumber Company Limited (P)	Woodlote Limited & Rose Wagon (P)		Woodlote Limited & Rose Wagon (P)
137817 Grant	19 June 1941	20 June 1941	20 June 1941	Charles Lee, Trustee	Donald L. Sims		Donald L. Sims
14455 Agreement	14.1.14	14.1.14	14.1.14	Donald L. Sims & Thomas J. Sims	Thomas J. Sims		Thomas J. Sims
241147 Sub	14.1.14	14.1.14	14.1.14	Thomas J. Sims	Thomas J. Sims		Thomas J. Sims
602 BY-LAW 11	3.1.14	3.1.14	3.1.14	1961	1961		1961
178331 Mortgage	1.1.14	1.1.14	1.1.14	Donald L. Sims	Robert W. Rogers		Robert W. Rogers
362155 Report	1.1.14	1.1.14	1.1.14	Donald L. Sims	Robert W. Rogers		Robert W. Rogers
262396 Grant	3.1.14	3.1.14	3.1.14	Robert W. Rogers & Elizabeth	Robert W. Rogers		Robert W. Rogers
NO. 1000/100	1.1.14	1.1.14	1.1.14	1961	1961		1961
NOTICE							
ALL DOCUMENTS							
PAR 10 1957							
1957							

MAP 04 1991





# City of Mississauga

## Corporate Report



Date: 2018/03/06

To: Chair and Members of Heritage Advisory Committee

From: Paul Mitcham, P. Eng, MBA, Commissioner of  
Community Services

Originator's files:

Meeting date:  
2018/04/10

## Subject

**Request to Demolish a Heritage Listed Property: 6685 Century Avenue (Ward 9)**

## Recommendation

That the property at 6685 Century Avenue, which is listed on the City's Heritage Register, is not worthy of heritage designation, and consequently, that the owner's request to demolish proceed through the applicable process, as per the Corporate Report dated March 6<sup>th</sup>, 2018 entitled "Request to Demolish a Heritage Listed Property: 6685 Century Avenue (Ward 9), from the Commissioner of Community Services.

## Background

Section 27.3 of the Ontario Heritage Act states that structures or buildings on property listed on the City's Heritage Register cannot be removed or demolished without at least 60 days' notice to Council. This legislation allows time for Council to review the property's cultural heritage value to determine if the property merits designation.

The owner of the subject property has submitted a heritage permit application to demolish and replace the existing structure. The subject property is listed on the City's Heritage Register as it forms part of the Mississauga Road Scenic Route cultural landscape. (The report erroneously states that the property is not listed.) This cultural landscape is significant due to its scenic and visual quality as the road traverses a variety of topography and land use, from old established residential neighbourhoods to new industrial and commercial uses. Its landscape is of archaeological, design, technological interest as well as having historical interest and associations, illustrating important phases of Mississauga's history and displaying a consistent scale of built features.

The landscaping, urban design and conservation authority related aspects will be reviewed as part of the Site Plan review process to ensure the project respects the character of the surrounding community.

## Comments

The owner of the subject property has requested permission to demolish the existing structure. The applicant has provided a Heritage Impact Assessment, attached as Appendix 1. The consultant has concluded that the structure at 6685 Century Avenue is not worthy of designation. Staff concurs with this finding.

## Financial Impact

There is no financial impact.

## Conclusion

The owner of 6685 Century Avenue has requested permission to demolish a structure on a property that is listed on the City's Heritage Register. The applicant has submitted a documentation report which provides information which does not support the building's merit for designation under the Ontario Heritage Act. Staff concurs with this finding.

## Attachments

Appendix 1: Heritage Impact Statement



---

Paul Mitcham, P. Eng, MBA, Commissioner of Community Services

Prepared by: P. Wubbenhorst, Heritage Planner

7.6 - 3

## Heritage Impact Assessment

6685 Century Ave.  
Mississauga, Ont.



For :  
MMC Architects

PHILIP GOLDSMITH | ARCHITECT  
20 July 2017



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### Architects:

#### MMC International Architects

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 Totonto, Ontario  
 M5J 1A7  
 t-416-972-1901

### Heritage Consultant:

PHILIP GOLDSMITH | ARCHITECT  
 46 Dorset Street East, Port Hope, Ontario, L1A 1E3  
 t- 905-885-0348 e- philgoldsmith@sympatico.ca

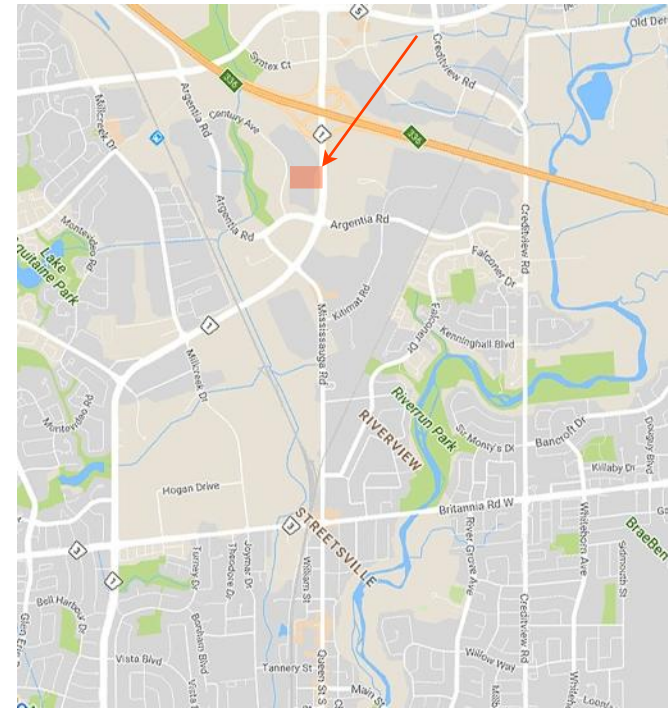
## 1.0 Introduction

This site of a proposed redevelopment is located in a business park setting just south of the 401 Highway - Mississauga Rd. interchange. The site at 6685 Century Ave. is proposed to be redeveloped with a new fitness facility building replacing the existing building. Plans for this redevelopment have been prepared by MMC Architects, Toronto.

Century Ave. is a small local street running north off Argenta Road such that on the east side properties back onto Mississauga Rd.

Mississauga Rd has been identified in the City of Mississauga Cultural Heritage Landscape Inventory as a Scenic Route, a pioneer road that was established early in the development of the area.

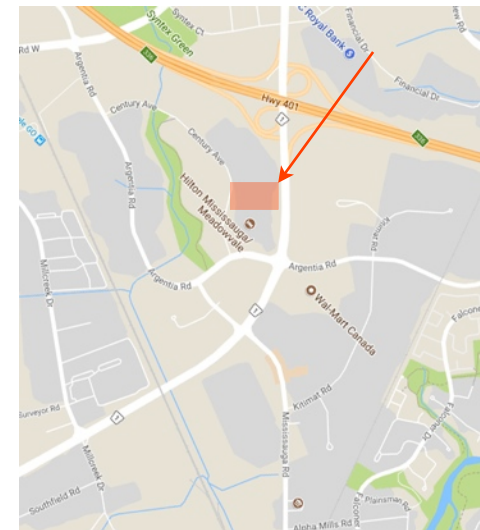
Although this property does not directly face or is accessed by Mississauga Rd. the City has requested a Heritage Impact Assessment to consider if the proposed redevelopment of the site which backs onto Mississauga Rd. would impact heritage attributes of the Mississauga Rd. "Scenic Route" as described in the inventory.



.1 Top right, Map illustrating site location, Google.

.2 Bottom right, detail map of site location, Google.

.3 Left, Aerial view showing site lying between Mississauga Rd on the right, and Century Ave left. MMC & Google





.4 View of site looking NW across Mississauga Rd. Google



.5 View of site looking SW across Mississauga Rd. Existing Building indicated. Google

Please note, for the purpose of this report, Mississauga Rd. is considered to be a north-south orientation

## 2.0 Historic Background

### 2.1 The Natural Landscape

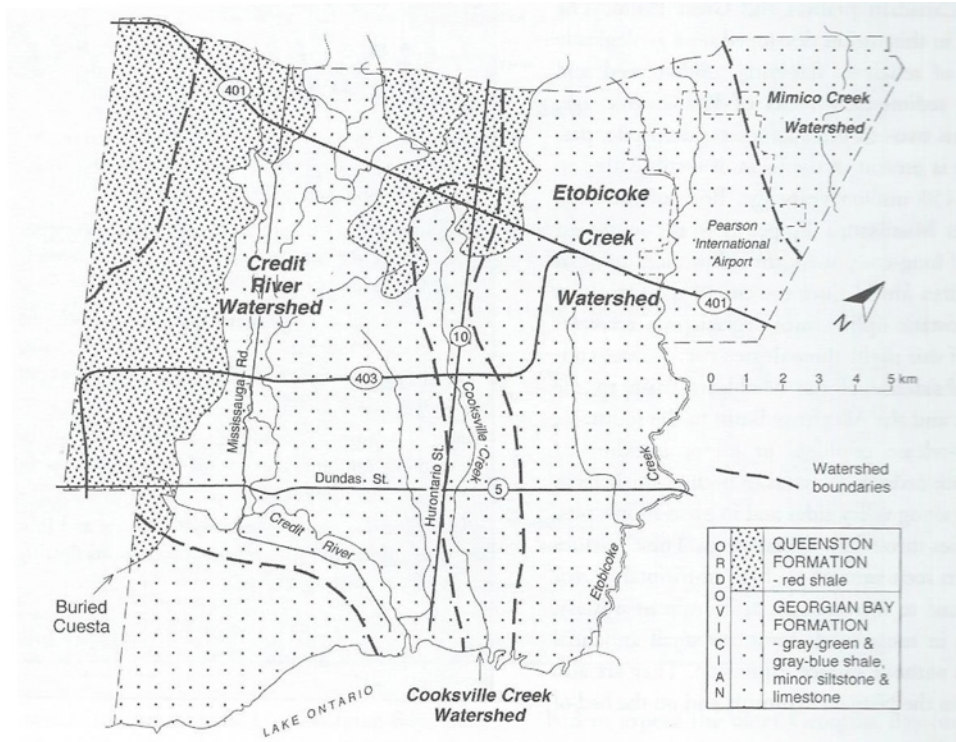
6685 Century Avenue with a lot description of plan M275 Part Lot 2 is part of the Meadowvale North Business Park which is an area of 170 acres with industrial buildings. Mullet Creek Park is located in the centre of the business park with an address of 6720 Century Avenue, Mississauga and is 9.6 hectares or 24 acres in size.

Mullet Creek is a sub-watershed that links a number of natural areas and is classified as natural green space. The creek is 20.70 kilometers long with a drainage area of 27.7 kilometers square. The creek originates in



Meadowvale north of the 407 highway and flows into the Credit River south of Burnhamthorpe Road. Bedrock formation consists of red shales of the Queenston formation. There are 115 floral species and 20 faunal species documented in the Mullet Creek area.

The City of Mississauga has over 20 watersheds with 15 sub-watersheds. The Credit River and Etobicoke Creek are the two principal watersheds within the area. The Credit River watershed begins in Orangeville and flows through Caledon, Brampton and Mississauga and then drains into Lake Ontario. The river is approximately 56 miles or 90 kilometres in length and the watershed drains an area of 1000 square kilometres or 386 square miles. In addition to these waterways, there are several other streams, creeks and rivers in Mississauga that have their own watershed areas and these are referred to as sub- watersheds.



The cultural heritage landscapes identified by the City of Mississauga recognizes the integration of the pre-settlement natural landscape, the former agricultural landscape and the present-day urban landscape. This provides a resource to protect and preserve cultural landscapes in addition to individual heritage properties.

The Credit River Valley and surrounding watershed forms a major part of the landscape of Mississauga. The river valley is the most significant natural landscape feature of the area. The geological foundation and natural landscape of Mississauga is made up of two layers of Palaeozoic bedrock, the Georgian Bay

.6 Illustration from Mississauga: The First 10,000 Years showing the location of the watersheds, Queenston and Georgian Bay Formations.

and Queenston shales formations. Most of the City of Mississauga is positioned on the Georgian Bay formally called the Dundas Formation. Some of the underlying rock formations can be seen along the sides of the Credit River and its tributaries. The Georgian Bay shales are exposed in the areas of Streetsville and Erindale. Queenston shale is found west and north of the Credit Valley. In some creek sections north of Streetsville, both Georgian Bay and Queenston strata have been exposed. There is an area near Streetsville west of the junction of Burnhamthorpe Road and Mississauga Road that continues westward across the Queen Elizabeth Way near Sheridan Creek where a boundary occurs between the Georgian Bay shale and the Queenston formations.

During the period of early European settlement, the river provided an abundance of fish as a food source and a means of transportation plus water power for the early timber industry that was established along the river. Logs could be rafted down the river and then transported to York via the lake or processed in sawmills on the river. By 1858, there were fifty-seven sawmills located along the lower section of the Credit River. The forest was rapidly cleared in this area.

By 1858, flour mills or grist mills were established along the Credit River. With all of the industry that had now been established along the river or the tributaries of the river, the area had now been transformed into a major industrial corridor. Similar to the Don River in Toronto, industrial waste that was released into the waters impacted the quality of the water, diminished the fish stock and destroyed flora and fauna. The next significant period to impact the river was 20<sup>th</sup> century urbanization. On May 13, 1954, the Credit Valley Conservation Authority was established to address the decline and to assist in establishing and maintaining green space through the core of Mississauga.



## 2.2 Settlement

Archeological evidence of the Credit River Valley and the north shore of Lake Ontario indicate the area has been inhabited for at least ten thousand years. All periods of aboriginal history in north eastern North America are found in the area including the Paleo-Indian (9000-8500 BC), Archaic (8000-1000 BC) and Woodland (1000 BC– 1650 AD).

Around 1700, an Anishinabe group migrated south and settled on the north shore of Lake Ontario around the Credit River, Etobicoke Creek and Burlington Bay and along the north shore of Lake Erie. They belonged to the Algonquin language family. European settlers referred to them as the Mississaugas. In the early 1600s, French traders had encountered the Mississaugas around the north shore of Lake Huron. The area around the Credit River was populated by the Iroquois until the early 18<sup>th</sup> century. Between the 1790s and 1820s, smallpox, tuberculosis and measles killed almost two-thirds of the Mississaugas. With their numbers diminishing, they were pressured to sell the Mississauga tract lands to the British in 1805 and 1818. By 1847, the Mississaugas relocated to the New Credit Reserve near Brantford.

## 2.3 First Land Purchase

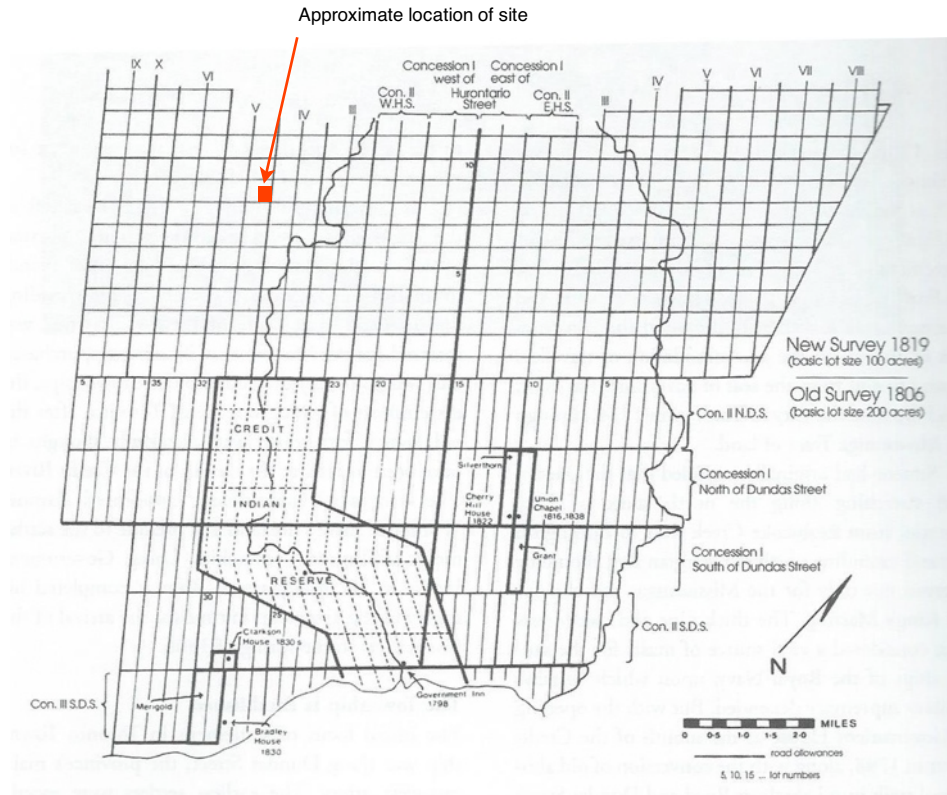
On August 2nd, 1805, Treaty 13A was signed near the mouth of the Credit River between representatives for the British Crown and the Mississaugas. The purchase which is referred to as the Mississauga Purchase or the First Purchase included 74,000 acres of land purchased from the Mississaugas for 1,000 pounds. The land exchange excluded a one mile strip on each side of the Credit River from the waterfront to the Base Line (Eglinton Avenue). After the purchase, the land was surveyed in 1806, and named Toronto Township, and opened for settlement. It is also referred to as the Old Survey. Toronto Township (1805 – 1867) was formed as part of York County. The township was surveyed and divided

into three townships: Nelson to the west; Trafalgar in the central portion and Toronto to the east. Dundas Road was used as a dividing point and two hundred acre lots were laid out with three concessions to the south toward the lake and two concessions to the north to the baseline. Most of the land was given by the Crown in land grants to the Loyalists.

## 2.4 Second Land Purchase

On October 28, 1818, a second purchase of land occurred when the Mississaugas signed Treaty 19 known as the Second Purchase or New Survey to be included in the Mississauga tract. The second treaty included 648,000 acres of land that extended north of the Base Line (Eglinton Avenue) and included the land that would become the village of Streetsville. With this land purchase, the land was surveyed and known as the New Survey which included the townships of Toronto, Chinguacousy, Caledon, Albion and Toronto Gore. Two later treaties were signed by the Mississaugas. On February 28th, 1820, Treaties 22 and 23 released the Credit Indian Reserve lands set aside in 1805, a riverside exemption or one mile strip on each side of the Credit River limited for aboriginal use. All of the treaties are referred to as the Credit Treaties. With this restriction removed from the land use, the Credit River could be utilized for water power, fishing and transportation access.

The County of Peel was formed in 1856 when a provincial act was passed to separate the County of Peel from the County of York. Prior to the formation of Peel County, Toronto Township and seventeen other townships formed the Home District. Upper Canada was divided into



.7 Illustration from Mississauga: The First 10,000 Years showing the location of the Old Survey with lot size of 200 acres and the New Survey with lot size of 100 acres. A roadway that became Hurontario Street was established in the centre of the land to be surveyed. By 1834, the roadway extended from Lake Ontario (Port Credit) to Lake Huron (Tobermory). Two hundred acre lots extended from Hurontario six concessions east to the town border of Etobicoke and six concessions west to Trafalgar Township and 15 lots from the baseline (Eglinton Avenue) to Chinguacousy Township (Steeles Avenue).

seven administrative districts and Toronto Township was part of the second riding of York County. The County of Peel was officially established in 1867 and Brampton was assigned the county seat.

## 2.5 Streetsville

Streetsville was named after an early settler to the area, Timothy Street, who was born in Spencerville, New York in 1777 to a British loyalist family. By 1801, he married Abigail Smith and relocated to Canada to St. David's in the Niagara area. Timothy Street resided in the Niagara area for twenty years and established businesses as a tanner and saddler. Street then moved to the Credit River area to Toronto Township in 1818 with Richard Bristol, an Eastern Ontario Provincial Surveyor in order to complete a survey of northern Toronto Township. Timothy Street and Bristol were granted 4.5% of the 36,000 acres that were part of the New Survey they undertook. Street received grants of 4500 acres in the Peel and Halton area and included the land along the Credit River that would form the location of the village of Streetsville.

The first settler in the Streetsville area was James Glendinning. On April 21<sup>st</sup>, 1819, he received a land grant along Mullet Creek north of present-day Thomas Street in Streetsville. By 1821, Timothy Street had built a grist mill along the Credit River. The next year he built a lumber and saw mill and then a tannery and distillery. In 1825, Street built a one-and-a-half storey house on the south side of Mill Street in Streetsville now numbered 41 Mill Street. The house is believed to be the oldest surviving brick house in the County of Peel and overlooked his milling complex at the foot of Mill Street. The building is designated under Part IV of the Ontario Heritage Act under by-law 521-77.

Other settlers located to Streetsville as Timothy Street established his businesses and the town officially was named Streetsville in 1829 when a post office was opened with Israel Ransom appointed as post master.



.8 Timothy Street House, 1825, located at 41 Mill Street, Streetsville with a lot description of Concession 4 WHS, Lot 4 was the first brick house constructed in Peel and the last remaining house in Streetsville from that period. Photo Credit: Mississauga Library System. The city purchased the house in 1975 and restored the house exterior in 1982. Timothy Street's businesses were located in Concession 4, lot 3 and 4 of Toronto Township between Queen Street and the Credit River.

Many families began settling in the area and included the Barnhart, Birdsall, Embleton, Glendinning, Leslie, Lewis, Rowe, Rutledge, and Switzer families. Many of the families were United Empire Loyalists.

In 1821, John Barnhart opened a general store and trading post called the Montreal House on Queen Street in Streetsville. In 1823, a bridge was completed over the Credit River providing further accessibility. In the early 1820s, a Methodist Chapel and Presbyterian Church was completed. By 1828, a Loyal Orange Lodge and an Anglican Church was established under the leadership of Henry Rutledge. In 1829, the first doctor, Dr. John Crumbie settled in Streetsville.

Another prominent family that settled in the area was the Leslie family. John Leslie Sr. and his wife Ester Beattie arrived in Upper Canada in 1824 from Sutherlandshire, Scotland. They leased 200 acres in Toronto Township on the south half of Lot 12, Concession 5, which was a short distance from the east bank of Mullet Creek. In 1826, Leslie built a white cedar, storey-and-a-half log house which had a later address of 7250 Mississauga Road just north of Derry Road in the Meadowvale area. The house which measures 26 feet by 36 feet is a rare example of early log construction in Mississauga. The building was moved on May 24, 1994 to 4415 Mississauga Road to the Pinchin orchard south of Streetsville. Two of John Leslie's sons achieved prominence: Robert Leslie was a master builder and George Leslie established a very successful nursery business in east Toronto in an area named after him, Leslieville.

By 1835, Streetsville had expanded to become a significant village in the surrounding township with the Credit River anchoring the business activities. Grist mills, saw mills and tanneries were established along the river. William Comfort established a mill site south of Streetsville that was purchased by the Barber Brothers in 1843 and evolved into the largest woolen manufacturing businesses in Canada. By 1848, Timothy Street



.9 Leslie Log House dating from 1826. Photo: City of Mississauga Collection, 1999. The house was relocated in 1994 from 7250 Mississauga Road (north of Derry) to 4415 Mississauga Road. The house is designated under Part IV of the Ontario Heritage Act under by-law 330-94.



had died and the businesses he had established were purchased by others and continued to operate.

In 1843, a local paper, the Streetsville Semi-Weekly Register was published by Jabez Barnhart. In 1846, brothers Solomon and John Barnhart published the Review, a weekly newspaper. By 1850, the population had expanded to 1,000 and early directories describe the village as a thriving village twenty four miles from Toronto with physicians, four churches, an Orange Lodge, two schools and numerous industrial factories including several mills, a tannery, a foundry, cooperage, brickyard, blacksmiths, furniture maker, stave, bobbin, pottery, carriage, broom and pail makers. There were also shoemakers, tailors, watchmakers and milliners and a brewery and telegraph office. There were several inns and hotels including the Globe Hotel, the Telegraph House, Tyrone Inn, Franklin House, Pacific Hotel and Royal Hotel.

The main intersection for commercial activity was centred at Queen and Main Streets which was the location of Barnhardt's Montreal House and John Embleton's store. The town was incorporated as a village in 1858 with a population of 1,500. Timothy Street's son, John, served as the first Reeve of the town. At this point in the village history, the town had the greatest population and was the largest business centre in Peel County. However, with the establishment of the railway in the 1850's, the railway bypassed the village of Streetsville and left the village dependent on stage coach and wagon for transportation. The success of the previous decades began to decline. By Confederation in 1867, the population had declined to 750. Brampton had been assigned the county seat in the County of Peel in 1866 and was expanding to become the business and political centre of Peel with a population of 1,800. In January 1867, Peel County separated from the County of York and in 1865-66, the Peel County Courthouse was built in Brampton and a three storey county gaol was added to the rear in 1867.



.10 Montreal House located at 210 Queen Street pt. Lot 3 W 1/2, Conc 4 WHS dating from c. 1821. Photo dating from 1975. City of Mississauga Collection, PH3102

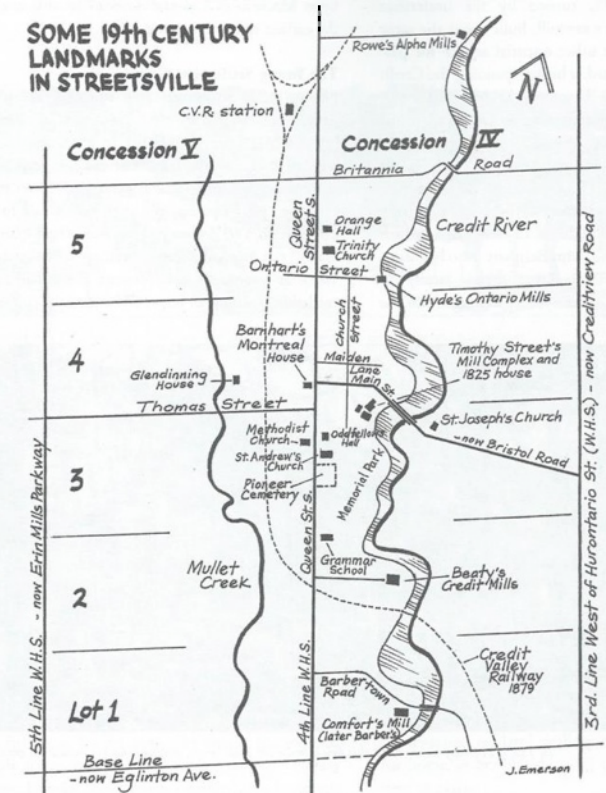
In 1879, the Credit Valley Railway was completed in the Streetsville area. The Credit Valley Railway was chartered in 1871 and operated as an independent company until 1883 when it was leased by the Ontario and Quebec railway. The railway assisted in creating greater access to the area however, Brampton continued to have greater prominence and experience greater growth.

By the early 20<sup>th</sup> century, many of the mills and industry that had dominated the area began to close. Many lots in the new and old surveys were settled and small villages were established including Streetsville, Meadowvale, Cooksville, Dixie, Erindale, Malton, Clarkson and Port Credit, Lakeview and Lorne Park.

Hamlets were established at major roadway intersections that often included a store, tavern, school and church. The hamlets were often named for the family who had the most land in the area and who often had donated land for the rural school. Many of these hamlets are no longer visible but the name may appear on present-day maps. Some of the names of the hamlets include Barberton, Britannia, Burnhamthorpe, Derry West, Elmbank, Frogmore, Hanlan, Harris' Corners, Hawkins' Corner, Lisgar, McCurdy's Corners, Mount Charles, Nunan's Corners, Palestine, Pucky's Huddle, Richview, Sheridan, Snider's Corners, Summerville and Whaley's Corners.

Meadowvale was a small village on the banks of the Credit River with other small hamlets in the vicinity. Churchville to the north, Derry to the east, Britannia to the south and Switzer's Corner to the west. Switzer's Corner was located at lot 9 and 10, concession 6 at the present day Derry Road and Winston Churchill Boulevard. In 1871, with the opening of the post office the named was changed to Lisgar in honour of John Young Lisgar, Governor General of Canada in 1869.

Approximate location of site



.11 A view of the location of some of the 19th century landmarks in Streetsville. Mississauga: The First 10,000 Years.



The area of Meadowvale was first settled in 1819 by twenty-six Irish families led by John Beatty. In 1831, John Beatty sold his land holdings on the north side of Derry Road to James Crawford and left the area to become a Methodist minister. In 1837, John Simpson purchased the 200 acre lot south of Crawford's land holdings. Simpson and Crawford established two saw mills and a carding mill. In 1844, Francis Silverthorn moved to Meadowvale and purchased Crawford's mill. Silverthorn opened a grist mill and called his mills Meadowvale Mills. Silverthorn subdivided his land holdings into village lots and the population increased to 200. By the 1850s, there were two hotels, a foundry, wagon making business and school. By the 1860s, Hyde's milling operation was acquired by Gooderham & Worts and used as a steam powered flax mill.

The Town of Mississauga was formed on January 1<sup>st</sup>, 1968. In 1974, the Town of Streetsville amalgamated with the towns of Mississauga and Port Credit and portions of the Toronto Gore and Trafalgar to form the City of Mississauga. Meadowvale Village established the first Heritage Conservation District in Ontario in 1980.



.12 The 1877 Illustrated Historical Atlas of the County of Peel. Mullet Creek Park would be located in the former lot 9 and 10 of Concession 5 south of Derry Road based on the above illustration.

### 3.0 Description of Existing Site

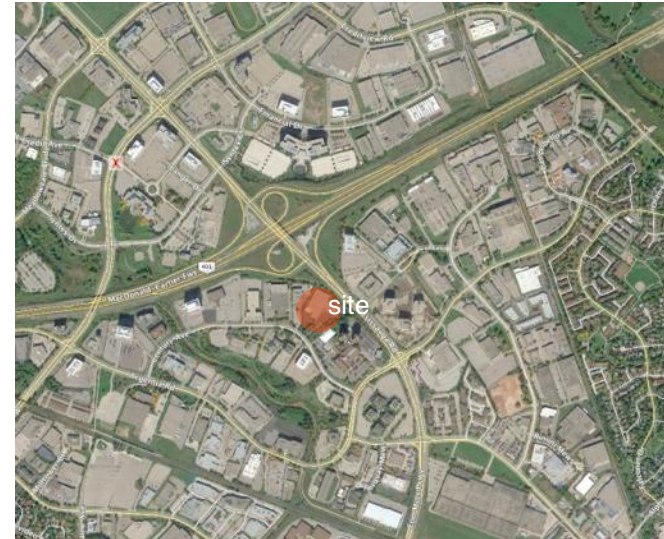
The area in which the site is located has changed dramatically over the years. With the alignment and construction of the 401 highway a separation of land between north and south was introduced that affected road patterns and land linkages in this area.

Further, with the sale of the traditional farms and the redevelopment of these lands near the 401 highway as, largely, commercial business parks in the 1970s, the farm landscape was replaced by a more suburban form. New road patterns of curving design within the concession and line grid of the original surveys were introduced and both the landscape and buildings of the old farms lost. In some parts even the traditional concession road grid was altered to make allowances for these developments.

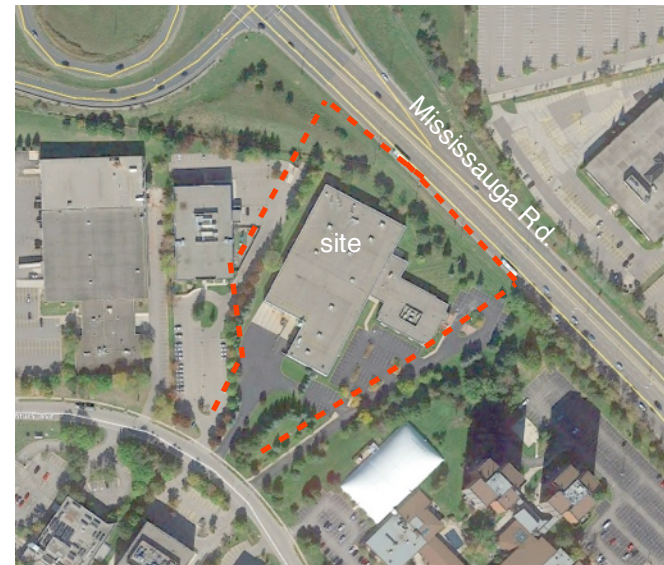
The result of all these changes means that there is no remaining physical identifier on the site that places it in the traditional grid represented by the 1877 County Map. Further Mississauga Rd. in this area has been developed as a broad traffic corridor connecting the 401 to the business parks of the area and Mississauga further south generally. There is no traditional treed small scale “county road” landscape left in this area.

The only remaining “element” of the traditional landscape remaining is that the historic road Mississauga Road allowance remains. Further south even this is altered.

The current site includes a light industrial building and its associated parking lots and loading bays. In addition between parking areas and along both frontages, Century Ave. to the west and Mississauga Rd. to the east, have been planted a mix of coniferous, mostly west, and deciduous, mostly east, trees. In the east these partially obscure a view to the site from Mississauga Rd.



.13 Aerial view of site location. Note contemporary road patterns and land use has completely obscured the historic patterns Google



.13 Aerial view of site. Google



#### 4.0 Identification of Significance, Status and Heritage Attributes

The property at 6685 Century Ave. is not Listed or Designated and is not located in a Part V Heritage Conservation District under the Ontario Heritage Act. This property and its landscape and buildings have no formal heritage status.

Mississauga Road at the rear of the property has been Identified in the Cultural Landscapes Inventory as “ Scenic Road”

The following is the Description from the Inventory:

*“Mississauga Road is one of the oldest roads in Mississauga. Its alignment varies from being part of the normal road grid in the north to a curvilinear alignment in the south following the top of bank of the Credit River. The scenic quality of the road is notable because it traverses a variety of topography and varying land use from old established residential neighbourhoods to new industrial and commercial areas. From Streetsville south the boulevards and adjacent landscapes are home to some of the oldest and most spectacular trees in the City. It is acknowledged as an important cultural landscape because of its role as a pioneer road and its scenic interest and quality.”*

The check sheet for Mississauga Rd indicates it is of interest for:

- *Scenic and Visual Quality*
- *Horticultural Interest*
- *Landscape Design*
- *Consistent scale of built features*
- *Illustrates style, trend or pattern*
- *Illustrates important phase in Mississauga’s social or physical development*



.13 View of site from east, note the loose spacing of trees along the site boundary Google

- *Historic or Archaeological interest*

There is no guidance in the document beyond this description, of what, in this location, so altered as described above, represents heritage attributes for conservation. However the document does recommend:

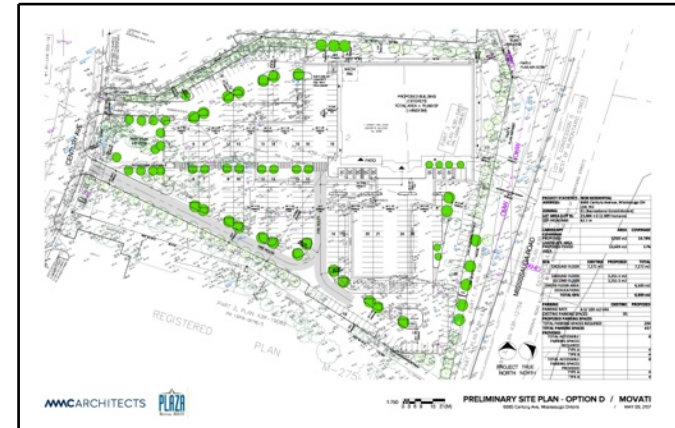
1. *6.3 planning policy - it is recommended that the inventory be used in reviewing all development applications and as part of the background information for planning studies. It is also suggested that reference to the database be a requirement for Official Plan and Secondary Plan amendments, all Zoning changes, and Site Plan and Committee of Adjustment applications. The cultural landscape inventory should be taken into consideration prior to undertaking projects initiated by the City.*

## 5.0 Description of the Proposed development

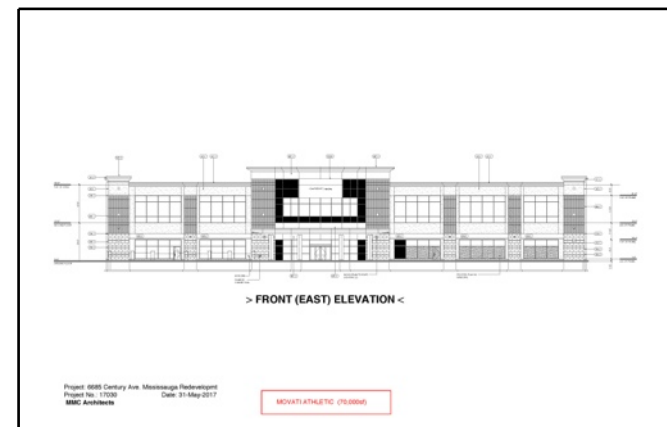
The proposed redevelopment of the site includes the replacement of the existing light industrial building with a purpose built fitness facility. This work includes not only a new building but surface parking areas to serve this use. Please refer to the Plans by MMC Architects in the Appendix.

The building proposed is a 70,000 sf one storey structure. It is designed as a simple flat roofed building with elevations in masonry and with decorative features in a mock traditional form similar to many similar buildings built between 1980 and present day in Mississauga. It sits comfortably on the site and includes a similar setback along Mississauga Rd. as the current building. This replacement building occupies less of the site than the current building.

The parking lot is located to the west and south and occupies more of the site than the current parking lot. The current parking lot provides spaces for 95 cars. The proposed new parking lot is larger and proposes spaces for 437 cars.



.14 Proposed site plan for redevelopment of the site  
MMC



.15 Proposed front elevation (south) of new building.  
MMC

The result of a larger parking lot is the reduction in setback between the Mississauga Rd lot line and the parking area and the resultant loss of a few existing trees. However, additional trees are proposed along the lot line which fill in gaps in the existing line of trees and result in a consistent and complete row unlike the current condition.

## **6.0 Identification of Impact of proposed Development**

There is no direct impact on Mississauga Road. No new entrances are proposed nor any change to landscape features or grading.

There is a loss of approx. 7-8 trees along the east, Mississauga Rd., boundary of the site which reduces the scenic quality of the roadway.

## **7.0 Consideration of Mitigating Strategies**

To reinforce the Scenic Road, attributes of Mississauga Rd. the loss of the existing trees is compensated for through the addition of 5 new trees along the east boundary of the site.

I would recommend these trees be native species reflective of the traditional species that would have been found along Mississauga Rd. in history and which grow to a substantial size such as; Maple, Oak, Elm, Walnut and closer to grade Lilac, which was often used on farms to enhance their street frontage, or other lower plantings to screen a view of the parking lot, a grouping of cedar and pine could form a green “screen” behind the proposed building.

Additional trees to those proposed would further mitigate the impact of a larger parking area as viewed from Mississauga road and support the status of Mississauga Rd as a Scenic Route.

## 8.0 Summary Statement

The property at 6685 Century drive is not a listed or designated Heritage property nor is it located in a heritage district. Mississauga Road is located to the east of the property and the east property line of the site is against the road allowance.

Mississauga Rd is identified in the Inventory of cultural heritage Landscapes as a “Scenic Road” with objectives in the Inventory set out as the conservation of these qualities.

There is no physical impact on the road allowance from the proposed work however the landscaping of the east property line of the site becomes the landscape frame within which the road passes and contributes to the enjoyment of Mississauga road as a “Scenic Road”.

I would therefore recommend plans for the planting along the east boundary include additional trees which further enhance the roadway boundary and increase the screening of the building and parking lot and that this planting reflect traditional planting found along Mississauga’s historic concession roads.



## 9.0 Bibliography

### Archival Sources

1877 Illustrated Historical Atlas of the County of Peel  
Photographs from City of Mississauga

### Books

***Mississauga: The First 10,000 Years***. Edited by Frank A. Dieterman. East End Books, 2002. Published for the Mississauga Heritage Foundation.

### On-line Sources

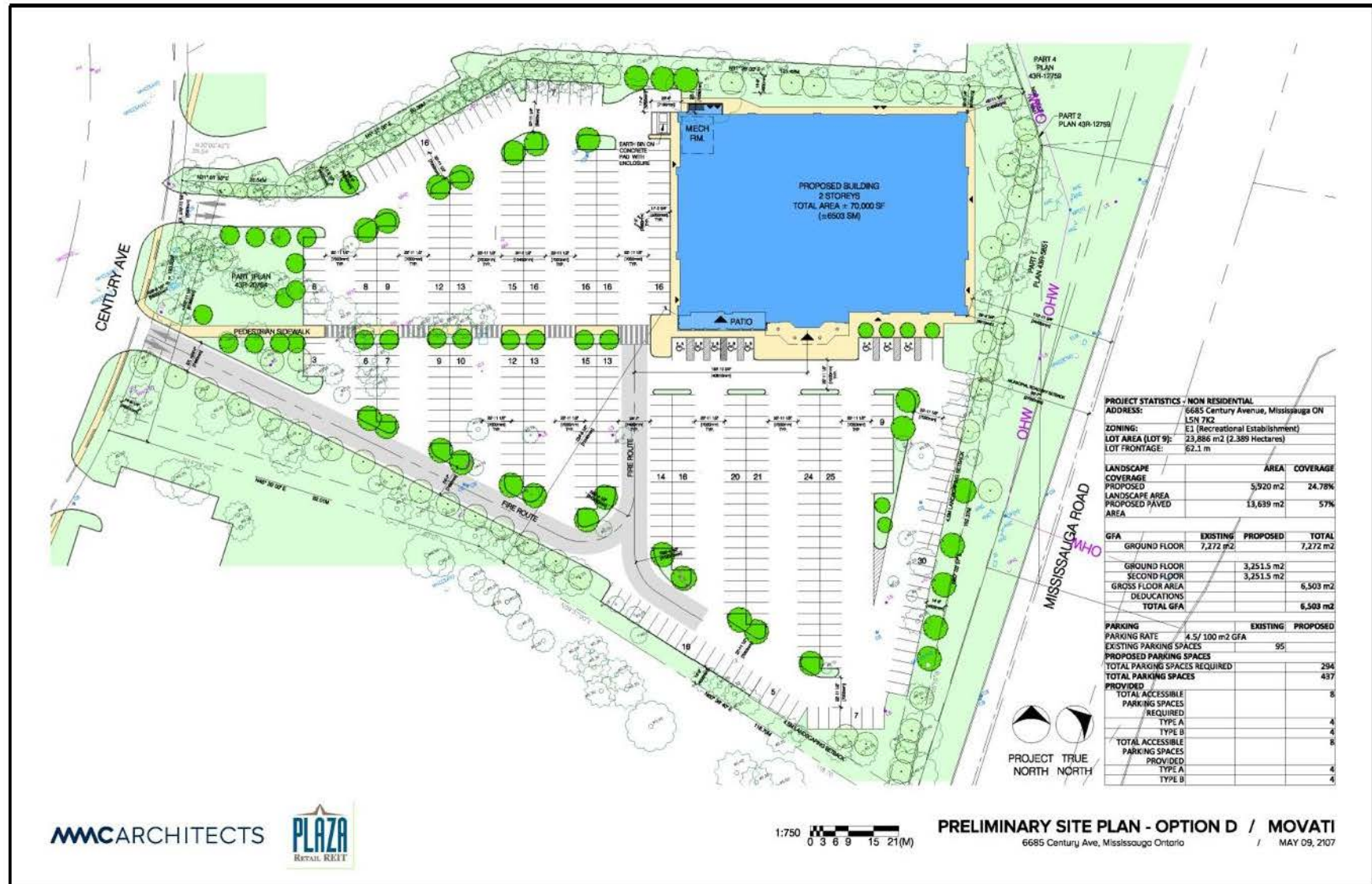
Heritage Mississauga

[www.heritagemississauga.com](http://www.heritagemississauga.com)

## 10.0 Appendix, Architects Drawings

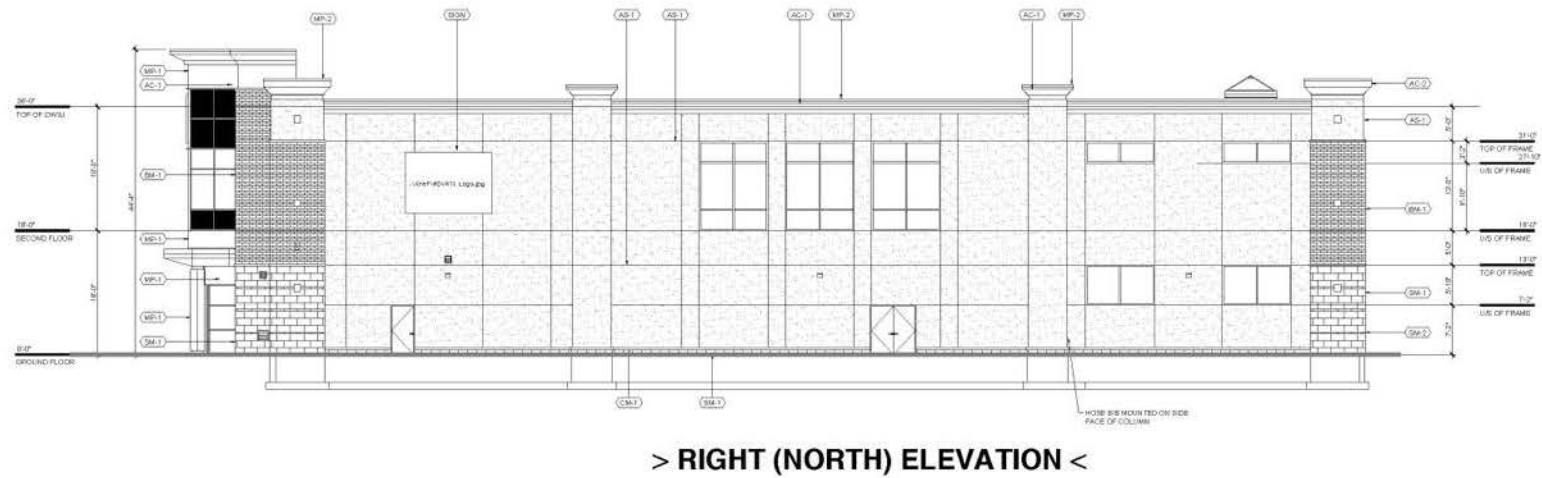












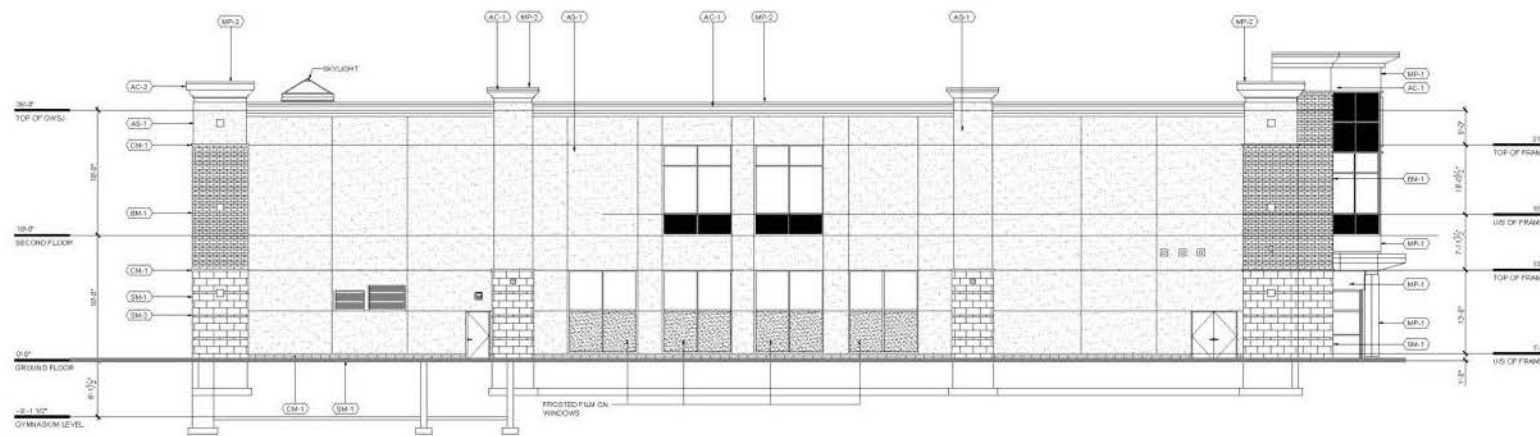
Project: 6685 Century Ave. Mississauga Redevelopmt  
 Project No.: 17030 Date: 31-May-2017  
 MMC Architects

MOVATI ATHLETIC (70,000sf)



Project: 6685 Century Ave. Mississauga Redevelopmt  
 Project No.: 17030 Date: 31-May-2017  
 MMC Architects

MOVATI ATHLETIC (70,000sf)



&gt; LEFT (SOUTH) ELEVATION &lt;

Project: 6685 Century Ave. Mississauga Redevelopmt  
Project No.: 17030 Date: 31-May-2017  
MMC Architects

MOVATI ATHLETIC (70,000sf)





City of Mississauga  
**Memorandum**



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Date: 2018/03/07  
To: Chair and Members of Heritage Advisory Committee  
From: Paul Damaso, Director, Culture Division  
Meeting Date: 2018/04/10  
Subject: Alterations to a Property adjacent to the Meadowvale Village Heritage  
Conservation District: 6985 Second Line West (Ward 11)

---

This memorandum and its attachment are presented for HAC's information.

6985 Second Line West is adjacent to the Meadowvale Village Heritage Conservation District, which is designated under Part V of the Ontario Heritage Act. As per section 7.4.1.12 of the Mississauga Official Plan, "The proponent of any construction, development, or property alteration [...] which is proposed adjacent to a cultural heritage resource will be required to submit a Heritage Impact Assessment prepared to the satisfaction of the City and other appropriate authorities having jurisdiction." As such, the Heritage Impact Assessment is attached for your reference.

## **Attachments**

Appendix 1: Heritage Impact Statement

A handwritten signature in black ink, appearing to read 'Paul Damaso', written over a horizontal line.

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Paul Damaso, Director, Culture Division

Prepared by: Paula Wubbenhorst, Heritage Planner

# 6985 SECOND LINE W, MISSISSAUGA

## HERITAGE IMPACT ASSESSMENT REPORT



FEBRUARY 2018

**ATA**

**ARCHITECTS INC.**

211 LAKESHORE ROAD EAST  
OAKVILLE ONTARIO L6J 1H7



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## 6985 SECOND LINE W - HERITAGE IMPACT ASSESSMENT REPORT

### INTRODUCTION

ATA Architects Inc. was retained to undertake the Heritage Assessment Report of the property listed as 6985 Second Line W, Mississauga, ON.

ATA Architects Inc. undertook the following process in completing this assessment:

- ATA Architects Inc. visited the site and viewed in detail the existing building on the property. The existing context was documented and a study was undertaken to evaluate the heritage value of 6985 Second Line W.
- A review was undertaken of the historical, contextual and architectural value of the existing home, taking into account previous owners, surrounding neighbourhoods, and the current condition of the home.
- Research was completed through the use of multiple local organizations and resources, including the Peel Land Registry Office, the Peel Archives and online resources such as Ancestry.ca

ATA Architects Inc. has utilized the criterion for determining cultural heritage value as outlined in the Ontario Heritage Act.

ATA also took into regard the conservation guidelines and standards outlines in the following documents:

- Venice Charter 1964
- Appleton Charter 1983
- Burra Charter 1999
- ICOMOS Charter 2003
- Park Canada's Standards and Guidelines for the Conservation of Historic Places in Canada 2010
- Ministry of Tourism, Culture and Sport's Ontario Heritage Toolkit – Heritage Property Evaluation section
- Ministry of Tourism, Culture and Sport's Eight Guiding Principles in the Conservation of Built Heritage Properties 2007
- Applicable Conservation Authority Regulation Guidelines for the Region of Peel

#### ONTARIO HERITAGE ACT

#### ONTARIO REGULATION 12/09

#### CRITERIA FOR DETERMINING CULTURAL HERITAGE VALUE OR INTEREST

##### CRITERIA

- (1) The criteria set out in subsection (2) are prescribed for the purposes of clause 29 (1) (a) of the Act.
- (2) A property may be designated under section 29 of the Act if it meets one or more of the following criteria for determining whether it is of cultural heritage value or interest:
  - The property has design value or physical value because it,
    - is a rare, unique, representative or early example of a style, type, expression, material or construction method,
    - displays a high degree of craftsmanship or artistic merit, or
    - demonstrates a high degree of technical or scientific achievement.
  - The property has historical value or associative value because it,
    - has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community,
    - yields, or has the potential to yield, information that contributes to an understanding of a community or culture, or
    - demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.
  - The property has contextual value because it,
    - is important in defining, maintaining or supporting the character of an area,
    - is physically, functionally, visually or historically linked to its surroundings,
    - is a landmark.

##### TRANSITION

- This Regulation does not apply in respect of a property if notice of intention to designate it was given under subsection 29 (1.1) of the Act on or before January 24, 2006.

**NOTE:** The designation of properties of heritage value by municipalities in Ontario is based on the above criteria evaluated in the context of that municipality's jurisdiction. Buildings need not be of provincial or national importance to be worthy of designation and preservation.



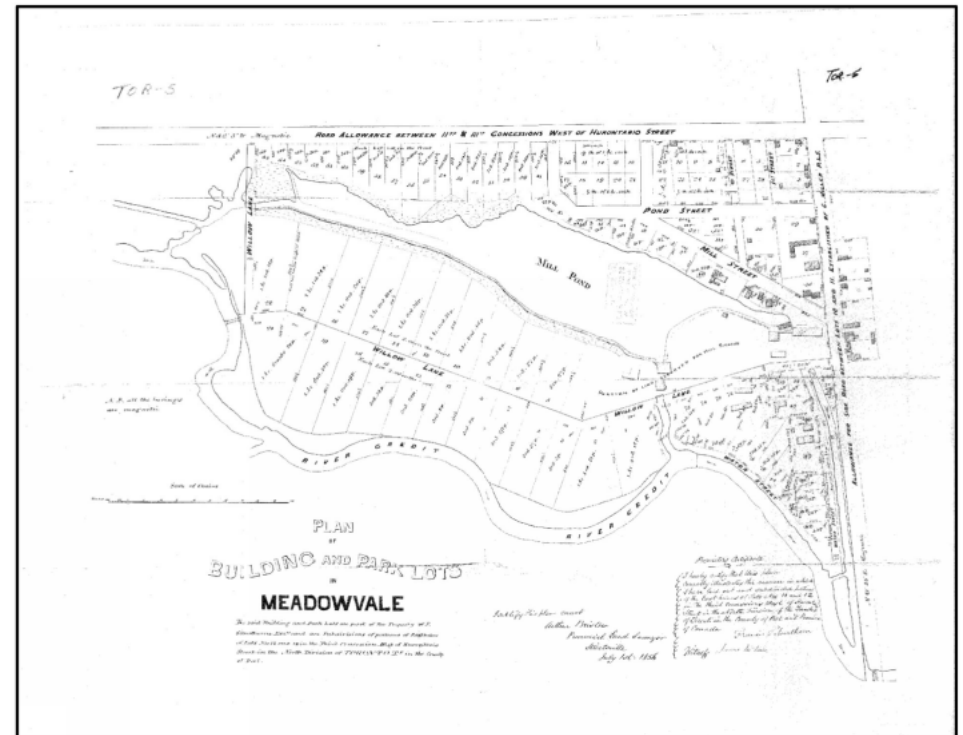
## HISTORICAL BACKGROUND

Meadowvale Village is a small community located in the north end of the City of Mississauga. In the mid-to-late 1900's, the residents recognized the village's cultural heritage, forming a Residents' Association. They referred to the community as Meadowvale Village, distinguishing the old village from the new communities within its growing Meadowvale and Mississauga surroundings. In 1980, Meadowvale Village was approved as the first Heritage District of its type in Ontario under the City of Mississauga's municipal By-law 453-80. In 2003, the Conservation Principles and Design Guidelines for the Meadowvale Village Heritage Conservation District were adopted by the Mississauga City Council.

Today, the village's boundary includes the lots on either side of Old Derry Road, stretching from the Credit River East to Second Line West, Second Line West north to Derry Road West, and the entirety of the land north of Old Derry Road and west of Second Line West stretching to the East side of the Credit River. This boundary includes the original Meadowvale village as well as Old Ridge Park and the Meadowvale Conservation Area, neither of which were included in the original Heritage Conservation District Boundary.

In the 1970's, Old Ridge Park held agricultural buildings. Today it is a public park, sitting just south of Old Derry Road. The historical association of these lands with the agricultural significance of the area, as well as its remaining topographical features led it to become a designated area. The Meadowvale Conservation area, sitting to the east of the Credit River, is owned by Credit Valley Conservation, with the Credit Valley Conservation Area adjacent to the Credit River's west bank. Both the Old Ridge Park and the Meadowvale Conservation Area were incorporated into 2010 boundary map.

The landscape of the Meadowvale Village Heritage Conservation District shows evidence of the village's past. The village sits in the low river valley. Contextually, it's relationship with the Credit River has not changed since the village's founding in the early 1800's, when the early settlers depended on the river as a source of water and travel. The immediate area was farmed for wood products and mixed agrarian farming, with much of the land remaining open farm land today. The village is also a significant source of cultural heritage resources, including the extant mill ruins, mill race and tail race, remnant mill pond, etc.



Plan of Building and Park Lots in Meadowvale  
Published by: Bristow Survey, 1856  
Source: Heritage Conservation District Plan, 2014

## 6985 SECOND LINE W - HERITAGE IMPACT ASSESSMENT REPORT

### LOCATION

The property is situated near the Northeast corner of the intersection of Old Derry Road and Second Line West.

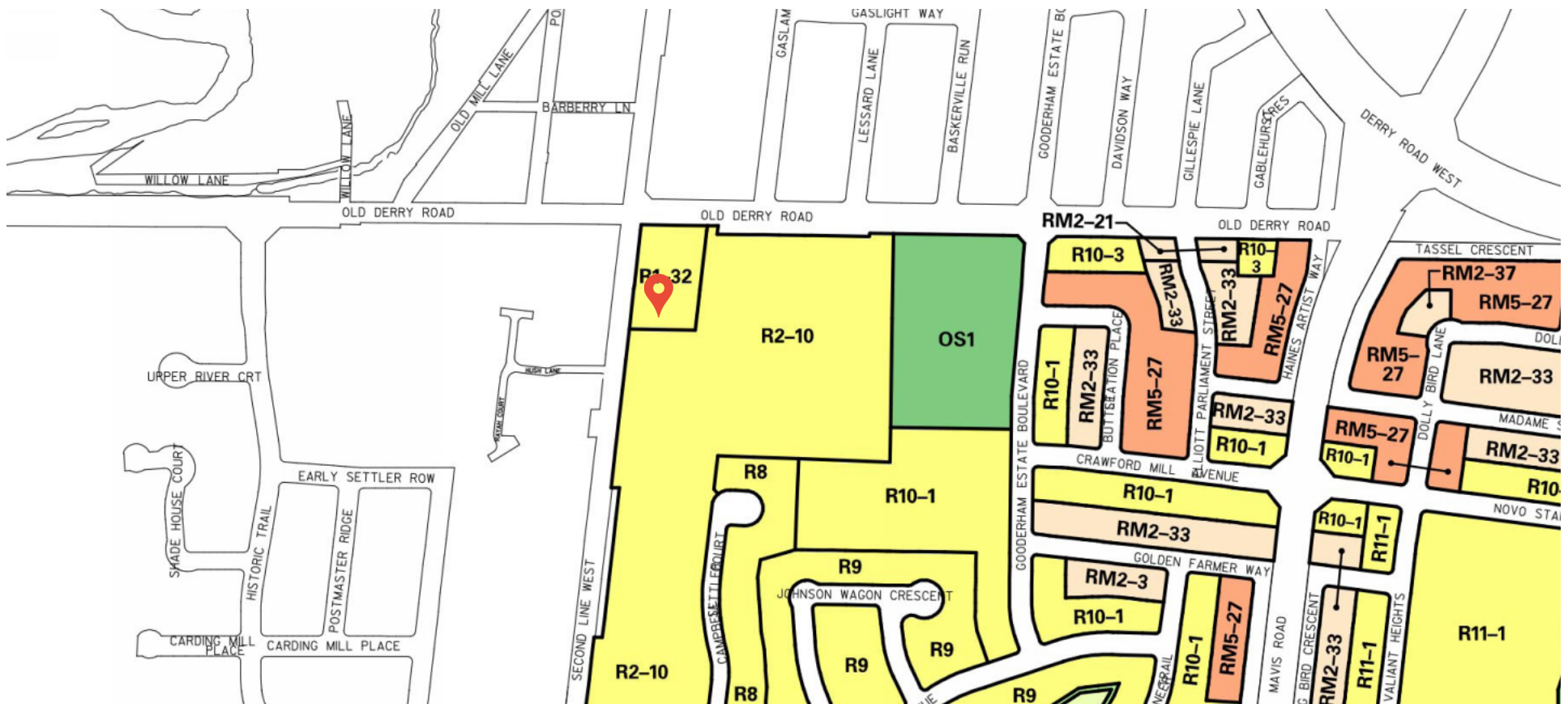


Key plan showing location of property  
Source: Google Maps



## ZONING

The property is currently zoned as Residential by the City of Mississauga Zoning By-law. This zoning permits all the uses indicated on the following chart.



Zoning map of 6985 Second Line W., Mississauga, Ontario

Source: City of Mississauga Zoning Index Map

[http://www6.mississauga.ca/online/planbldg/Miscell-P&B/ZONING\\_OLD.swf](http://www6.mississauga.ca/online/planbldg/Miscell-P&B/ZONING_OLD.swf)

## 6985 SECOND LINE W - HERITAGE IMPACT ASSESSMENT REPORT

## ZONING

**4.2 R1 to R5 ZONES  
(DETACHED DWELLINGS - TYPICAL LOTS)**
**4.2.1 R1 to R5 Permitted Uses and Zone Regulations**

All **buildings** and **structures** shall comply with the provisions contained in Parts 1 to 3 and Section 4.1 of this By-law, and the **uses** and zone regulations specified within the applicable zone column contained in Table 4.2.1 - R1 to R5 Permitted Uses and Zone Regulations.

**Table 4.2.1 - R1 to R5 Permitted Uses and Zone Regulations**

Column	A	B	C	D	E	F
Line 1.0	ZONES	R1	R2	R3	R4	R5
<b>PERMITTED USES</b>						
2.0	RESIDENTIAL					
2.1	Detached Dwelling	✓ <sup>(1)</sup>	✓ <sup>(1)</sup>	✓ <sup>(1)</sup>	✓ <sup>(1)</sup>	✓ <sup>(1)</sup>
<b>ZONE REGULATIONS</b>						
3.0	MINIMUM LOT AREA					
3.1	Interior lot	750 m <sup>2</sup>	695 m <sup>2</sup>	550 m <sup>2</sup>	365 m <sup>2</sup>	295 m <sup>2</sup>
3.2	Corner lot	835 m <sup>2</sup>	810 m <sup>2</sup>	720 m <sup>2</sup>	500 m <sup>2</sup>	415 m <sup>2</sup>
4.0	MINIMUM LOT FRONTAGE					
4.1	Interior lot	22.5 m	18.0 m	15.0 m	12.0 m	9.75 m
4.2	Corner lot	22.5 m	21.0 m	19.5 m	16.5 m	13.5 m
5.0	MAXIMUM LOT COVERAGE	25%	30%	35%	40%	40%
6.0	MINIMUM FRONT YARD					
6.1	Interior lot	9.0 m <sup>(2)(7)</sup>	9.0 m <sup>(2)</sup>	7.5 m <sup>(2)</sup>	6.0 m <sup>(2)</sup>	4.5 m <sup>(2)</sup>
6.2	Corner lot	7.5 m <sup>(2)</sup>	7.5 m <sup>(2)</sup>	6.0 m <sup>(2)</sup>	6.0 m <sup>(2)</sup>	4.5 m <sup>(2)</sup>
6.3	Front garage face - interior lot (0379-2009)	(8)	(8)	(8)	(8)	6.0 m
6.4	Front garage face - corner lot (0379-2009)	(8)	(8)	(8)	(8)	6.0 m

Column	A	B	C	D	E	F
Line 1.0	ZONES	R1	R2	R3	R4	R5
7.0	MINIMUM EXTERIOR SIDE YARD	7.5 m <sup>(2)</sup>	7.5 m <sup>(2)</sup>	6.0 m <sup>(2)</sup>	4.5 m <sup>(2)</sup>	4.5 m <sup>(2)</sup>
7.1	Front garage face (0379-2009)	(9)	(9)	(9)	6.0 m <sup>(2)</sup>	6.0 m <sup>(2)</sup>
8.0	MINIMUM INTERIOR SIDE YARD					
8.1	Interior lot	1.8 m on one side of the lot and 4.2 m on the other side <sup>(2)</sup>	1.8 m + 0.61 m for each additional storey or portion thereof above one (1) storey <sup>(2)</sup>	1.2 m + 0.61 m for each additional storey or portion thereof above one (1) storey <sup>(2)</sup>	1.2 m <sup>(2)</sup>	1.2 m on one side of the lot and 0.61 m on the other side <sup>(2)</sup>
8.2	Corner lot	3.0 m <sup>(2)</sup>	3.0 m <sup>(2)</sup>	1.2 m + 0.61 m for each additional storey above one (1) storey <sup>(2)</sup>	1.2 m <sup>(2)</sup>	1.2 m <sup>(2)</sup>
9.0	MINIMUM REAR YARD					
9.1	Interior lot	7.5 m <sup>(2)</sup>	7.5 m <sup>(2)</sup>	7.5 m <sup>(2)</sup>	7.5 m <sup>(2)</sup>	7.5 m <sup>(2)</sup>
9.2	Corner lot	3.0 m <sup>(2)</sup>	3.0 m <sup>(2)</sup>	3.0 m <sup>(2)</sup>	7.5 m <sup>(2)</sup>	7.5 m <sup>(2)</sup>
10.0	MAXIMUM HEIGHT	10.7 m	10.7 m	10.7 m	10.7 m	10.7 m
11.0	ENCROACHMENTS, PROJECTIONS AND SETBACKS					
11.1	Maximum projection of a garage beyond either the main front entrance or beyond the main entry feature where provided	n/a	n/a	n/a	n/a	2.5 m
11.2	Where a main entry feature has been provided, the maximum projection of a garage beyond a main front entrance	n/a	n/a	n/a	n/a	5.0 m



## ZONING

Column	A	B	C	D	E	F
Line 1.0	ZONES	R1	R2	R3	R4	R5
12.0	ATTACHED GARAGE, PARKING AND DRIVEWAY					
12.1	Attached garage	Permitted <sup>(3)</sup>	Permitted <sup>(3)</sup>	Permitted <sup>(3)</sup>	Permitted <sup>(3)</sup>	Required <sup>(3)</sup>
12.2	Minimum parking spaces	✓ <sup>(4) (5)</sup>	✓ <sup>(4) (5)</sup>	✓ <sup>(4) (5)</sup>	✓ <sup>(4) (5)</sup>	✓ <sup>(4) (5)</sup>
12.3	Maximum driveway width (0190-2014)	Width of garage door opening(s) plus 2.0 m up to a maximum of 8.5 m; if no garage door then maximum width of 6.0 m	Width of garage door opening(s) plus 2.0 m up to a maximum of 6.0 m; if no garage door then maximum width of 6.0 m	Width of garage door opening(s) plus 2.0 m up to a maximum of 6.0 m; if no garage door then maximum width of 6.0 m	Width of garage door opening(s) plus 2.0 m up to a maximum of 6.0 m; if no garage door then maximum width of 6.0 m	Width of garage door opening(s) plus 2.0 m up to a maximum of 6.0 m; if no garage door then maximum width of 6.0 m
12.4	Minimum landscaped soft area in the yard containing the driveway (0190-2014)	40% of the front yard and/or exterior side yard	40% of the front yard and/or exterior side yard	40% of the front yard and/or exterior side yard	40% of the front yard and/or exterior side yard	30% of the front yard and/or exterior side yard
13.0	ACCESSORY BUILDINGS AND STRUCTURES	✓ <sup>(6)</sup>	✓ <sup>(6)</sup>	✓ <sup>(6)</sup>	✓ <sup>(6)</sup>	✓ <sup>(6)</sup>

- NOTES:
- (1) See also Subsections 4.1.1, 4.1.16 and 4.1.17 of this By-law.
  - (2) See also Subsections 4.1.7 and 4.1.8 of this By-law.
  - (3) See Subsection 4.1.12 of this By-law.
  - (4) See Subsection 4.1.9 of this By-law.
  - (5) See Part 3 of this By-law.
  - (6) See Subsection 4.1.2 of this By-law.
  - (7) Where a lot abuts a lot with an existing front yard of 12.0 m or more, the minimum front yard shall be 12.0 m.
  - (8) The setback to the front garage face shall be the same as the front yard. (0379-2009)
  - (9) The setback to the front garage face shall be the same as the exterior side yard. (0379-2009)

4.2.2.32	Exception: R1-32	Map # 44W, 45E, 52W, 53E	By-law: 0308-2011, 0192-2014
In a R1-32 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R1 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.2.2.32.1	The regulations of Sentence 3.1.1.7.1 of this By-law shall not apply		
4.2.2.32.2	Minimum <b>lot area</b>		1 050 m <sup>2</sup>
4.2.2.32.3	Minimum combined width of side <b>yards</b> :		
	(1) one <b>storey detached dwelling</b>	20% of the <b>lot frontage</b>	
	(2) two <b>storey detached dwelling</b>	27% of the <b>lot frontage</b>	
4.2.2.32.4	A <b>flat roof</b> shall not be permitted		
4.2.2.32.5	Maximum <b>height - highest ridge: sloped roof</b>		7.5 m
4.2.2.32.6	Maximum <b>gross floor area - infill residential</b>		160 m <sup>2</sup> plus 0.10 times the <b>lot area</b>
4.2.2.32.7	An attached <b>garage</b> shall not be permitted		
4.2.2.32.8	Maximum <b>floor area</b> of a detached <b>garage</b>		50 m <sup>2</sup>
4.2.2.32.9	Maximum projection of the <b>front garage face</b> of a detached <b>garage</b> beyond any portion of the first floor <b>front wall</b> or <b>exterior side wall</b>		0.0 m
4.2.2.32.10	Maximum <b>driveway</b> width		3.0 m

## 6985 SECOND LINE W - HERITAGE IMPACT ASSESSMENT REPORT

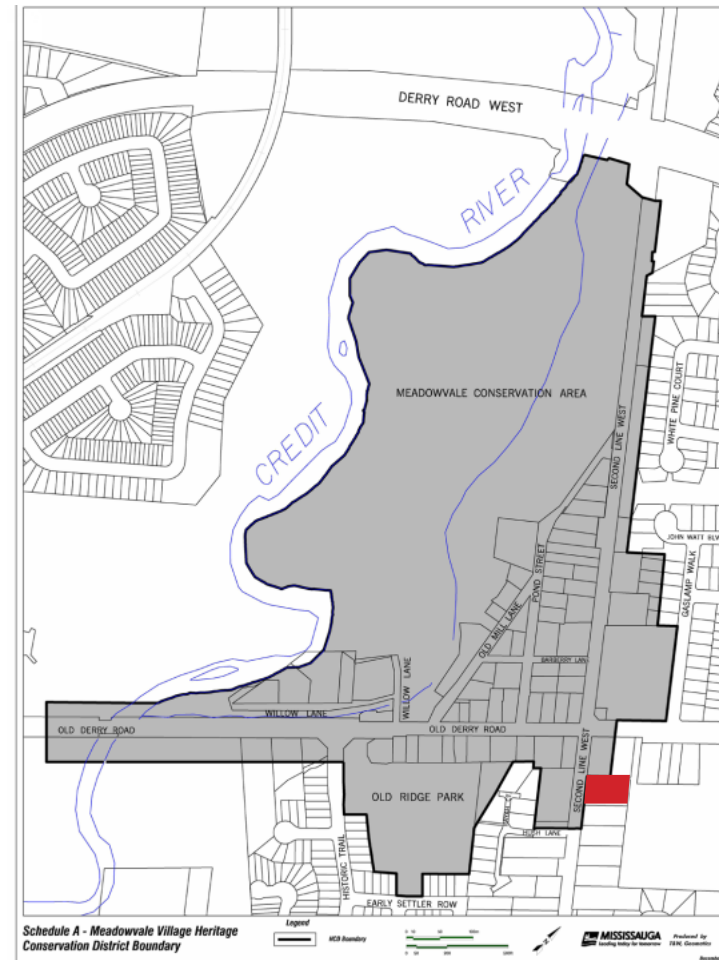
### MEADOWVALE VILLAGE HERITAGE CONSERVATION DISTRICT PLAN

#### MEADOWVALE VILLAGE HERITAGE CONSERVATION DISTRICT PLAN, 2014

##### PART 2: HERITAGE CONSERVATION CONTEXT

##### 2.3 HERITAGE ATTRIBUTES

- a) significant location, adjacent to the Credit River, in a cultural heritage landscape of integrated natural and cultural heritage elements within the river's low floodplain to the gentle sloping ridge;
- b) an ecological feature and tradition of a floodplain meadow on the Credit River that as existed for hundreds of years;
- c) a land pattern that retains the layout and plan of generous lots and pedestrian oriented narrow roadways of the 1856 Bristow Survey, spatial organization of narrow streets with soft vegetation and no shoulders, large diameter trees and a visual relationship which blends from public to private space among front and side yards void of privacy fencing;
- d) long term tradition of rural village-like streetscapes without curbs, with no formalized parking, sidewalks (except on Old Derry Road), modest signage and limited modest lighting;
- e) **a consistency of building types, modest in architectural detail, vernacular style and size, reflecting the nineteenth century development of a milling village;**
- f) **later twentieth century residential styles that are compatible with the district character from a scale, materiality and massing perspective;**
- g) **a common use of stacked plank construction with exterior stucco finish or wood siding, one-and-a-half storeys and limited use of brick;**
- h) **structures of compatible size, shape, form and style, many of which are modest historical residences, contribute to the overall character of the Village;**
- i) visual identity of rural character roadway entry points to the Village from the west on Old Derry Road and from the north along Second Line West, and the open green space of Old Ridge Park to the south;
- j) individual properties of particular character and significance are identified in The Meadowvale Village Heritage Conservation District Plan, 2014: Property Inventory; and,
- k) archaeological resources, including, but not limited to, the extant mill ruins, mill race and tail race at Willow Lane and Old Derry Road and remnant mill pond.



Meadowvale Heritage Conservation District Boundary Map, showing 6985 Second Line W  
Source: City of Mississauga, Dec 2012

## MEADOWVALE VILLAGE HERITAGE CONSERVATION DISTRICT PLAN

### PART 3: POLICIES

The conservation of the cultural heritage values and character in a Heritage Conservation District (HCD) can be achieved only by carefully managing appropriate change at the individual property level as well as on the larger community scale. The policies contained within are intended to guide and manage change in the district. Specifically, the following articulates the manner by which proposed alterations and additions will be considered and accommodated on a variety of properties while ensuring that the character and conservation values of the district are maintained over time.

The policies contained have been developed to satisfy the direction provided by the Ontario Heritage Act (OHA), as well as The Ontario Planning Act, the Provincial Policy Statement 2014 (PPS), and The City of Mississauga's Official Plan. It also considers the Standards and Guidelines for the Conservation of Historic Places in Canada and the Ontario Heritage Toolkit: Heritage Conservation Districts (Toolkit).

#### 3.1 GENERAL POLICY STATEMENTS:

Policy 1: Council will provide cultural heritage recognition and protection of Meadowvale Village through the implementation of the Heritage Conservation District Plan (HCD Plan).

Policy 2: Council will adopt the boundary demarcating the HCD Plan as illustrated and defined in Schedule A. (See District Boundary on Page 3)

Policy 3: Council will employ one or more of, but not limited to, the planning tools listed in (a) through (h) to implement the HCD Plan:

- a) Official Plan
- b) Zoning By-Laws
- c) Ontario Heritage Act
- d) Heritage By-law
- e) Enforcement of the City's Private Tree Protection By-law
- f) Enforcement of the City's Property Standards By-law
- g) Heritage Grants & Incentive programs
- h) Endangered Species Act/Species at Risk Act

Policy 4: Council will apply all policies and guidelines contained within the HCD Plan to private and public properties and the HCD Plan will be read and interpreted in its entirety, including Schedules contained within.

Policy 5: Council will adopt the following objectives of the HCD Plan to guide the conservation

and change within the district.

a) maintain and enhance the distinct heritage character of the HCD with emphasis on the following characteristics:

- i. Narrow rural-like roads;
- ii. Any addition of new sidewalks may be installed where required to meet accessibility needs, as appropriate;
- iii. Minimal street signage;**
- iv. Varied set-back of built form;**
- v. Varied lot size reflecting the retention of the established mid nineteenth century lotting pattern;**
- vi. Small buildings** of a modest scale and design on large lots;
- vii. Retention of all heritage attributes within the HCD and those listed for each individual property;
- viii. Varied, open relationship from one property to another;
- ix. Transparent, or open views, while retaining large diameter trees, from the streetscape to buildings;**
- x. Retention of the original topography;
- xi. Mill remnants (foundations, earthworks, former water-ways);
- xii. Modest residential landscaping of a rural character.

b) preserve buildings of historic association and building features, and ensure new designs contribute to the HCD's heritage character;

c) ensure changes enhance the HCD character;

d) encourage ongoing maintenance and protection of properties; and

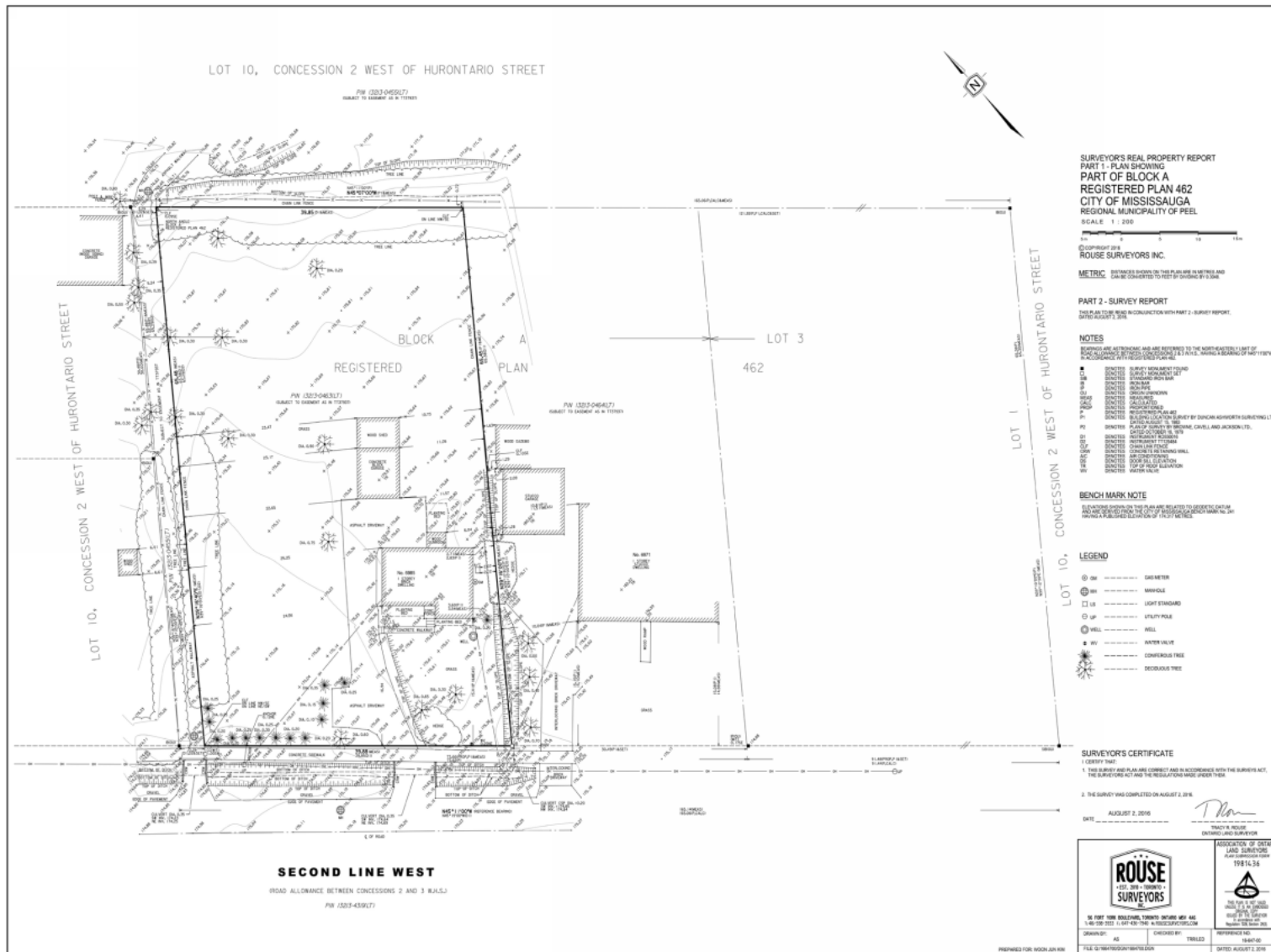
e) involve area residents, property owners, and interested individuals in the ongoing evolution of the HCD .

Policy 6: Further to Policy 2, Council will consider Part IV property designation in accordance to the Ontario Heritage Act where such properties are considered to uniquely contribute and reinforce the HCD's overall cultural heritage value.

#### 3.4 ADJACENT PROPERTY TO THE HCD

Policy 19: Council will consider the impact of proposed changes to properties adjacent the HCD boundary and will ensure appropriate mitigative measures are in place to minimize adverse impacts to the HCD heritage character.

## EXISTING SURVEY DRAWINGS



Existing Survey Drawing  
Source: Provided by Michelle Charkow, Planner with the Goldberg Group



## HISTORICAL SIGNIFICANCE

ATA has been able to establish a list of individuals/families who have owned the property. The following list shows the early owners to the most recent:

- \_\_\_\_ to 1953 - William Wilmott Varey
- 1953 to 1970 - John A. Gilbert and Violet Gilbert
- 1970 to 1979 - William A. Strachan and Judith Strachan
- 1979 to 1980 - Samuel A. Handley
- 1980 to 2014 - Arthur George Handley and Irene Handley
- 2014 to 2016 - Khalid Abu Zaed
- 2016 to Present - Current Owner

The Meadowvale Village Heritage Conservation District sits adjacent to the Credit River, with the majority of the structures being original members of the Village constructed in the mid 1800's. Prior to the Village being designated, and the growth of Mississauga in the 1960's, the land surrounding the Village was predominantly used for agriculture. This can be seen in the 1954 map to the right, showing the site in question as a field. Being out of the Heritage Conservation District, the property sits adjacent to the Village, and directly across from what was, at that time, the Meadowvale Schoolhouse and Town Hall.

The earliest ownership records that could be found for 6985 Second Line West were for William Wilmott Varey, who sold the property in 1953. There are records of a William Varey acting as Secretary of the Lakeshore Swimming Club, where his son Orville competed in 1938.

The house sitting at 6985 Second Line W. has a relatively short history. From the research completed thus far, it can be assumed that the house was built in 1968. The Land Registry information for the site clearly shows a mortgage of \$18,500 being put on the property in 1968, and from the aerial views to the right, it can be seen that by 1969 a house is visibly on the site. Due to the lack of development on the property visible in 1954, it can be assumed that Mr. Varey either owned a neighbouring farm or simply owned the land with the intent to develop.

William Wilmott Varey sold the property to John A. Gilbert and Violet Gilbert in 1953. Due to the fact that the house was not built when the property was initially purchased by the Gilbert's, the couple would have either had a temporary structure on the site, or lived elsewhere until the construction of the house in 1968. The couple are listed in the 1957 voting registry for Meadowvale showing that they remained in the area either way. There are multiple newspaper



## 6985 SECOND LINE W - HERITAGE IMPACT ASSESSMENT REPORT

### HISTORICAL SIGNIFICANCE

clippings from the period mentioning John A. Gilbert's involvement in the local hockey league. It can also be assumed that due to the length of time the couple owned the property, and lived in the area, that they were involved in the community, and that their children attended the local schools.

In 1970, the Gilbert's sold the property to William and Judith Strachan as joint tenants of the newly constructed house. In 1969, the Meadowvale Village Community Association founded the Meadowvale Fair. William, also referred to as Bill, acted as the Games Chairman, overseeing the tug-of-war, races and other contests. The fair was held in the local Meadowvale Conservation Area, now known as the Credit Valley Conservation Park. The tradition of the fair continues today, working with Meadowvale Public School each year.

The Strachan's lived in the home until 1979, when they sold it to Samuel A. Handley. Samuel was a local farmer, having been featured in the paper the previous year for selling his farm on Eglinton Avenue at the age of 92. Samuel Handley had lived on the farm for over 35 years, leasing the land out to the Chow family who grew cauliflower, cabbage, onion, beets and radishes for local sale. With the money from the sale, he stated that his plan was to, "get myself a nice house and pick me up a woman."

Unfortunately, Samuel Handley only lived in the home on Second Line West for one year prior to his passing on February 18, 1980. His estate was passed on to his son Arthur(Art) George Handley and Arthur's wife Irene. Arthur is listed on the local registry of WWII Veterans. His family owned and lived in the home for 34 years, raising their children who likely attended the local schools to the east of their property. Arthur passed away at the age of 92, on January 26, 2017.

In 2013, a year before the Handley family sold the house, Art's son Sam opposed the City of Mississauga's proposed designation of the house at 6985 Second Line West. The home remains undesignated today, however the proximity of the property to the Village remains pertinent in the planning of the development of the property.

In 2014, Khalid Abu Zaed purchased the property, owning it for under two years prior to selling it to the current owner. During his time as the owner of 6985 Second Line West, Khalid applied to the City for a minor variance in order to construct a new dwelling, three car garage and cabana on the property. The application was approved by heritage and the Committee of Adjustment granted the request. Based on review of the site, and the transfer of ownership, it does not appear that any of these changes were made.

Based on the known ownership of the property, and the estimated age of the building on the site, although the property is visually connected to the Meadowvale Village, the house is not historically significant. The approval of Khalid Abu Zaed's application for minor variance would appear to indicate that the City of Mississauga was previously open to major change to the existing property.

## ARCHITECTURAL SIGNIFICANCE

6985 Second Line W, Mississauga is a red brick bungalow typical of housing in the late 1960's throughout Mississauga. It is estimated to have been constructed in 1968. The house features a cottage roof with an overhang, creating a cover for the central entrance and extending out over the protruding southern half of the front facade. This separation of the two halves of the front facade is reflected by the differing window sizes; however, the facade's symmetry is still clearly visible. The exterior is not architecturally significant.

From interior photos of the unfinished basement, a typical block foundation can be seen. The main floor interior seems to have remained relatively unchanged since its initial construction, with one-over-one single hung windows and what appear to be oak doors. There are some deteriorating areas of the ceiling, likely caused by water infiltration. The wood floors are not original; however, it and the tile in the bathroom have begun to deteriorate. The kitchen appears to have the original cabinetry. Although mainly unaltered over time, the interior design is not significant. A small enclosed porch has been added to the back of the house; however, it is in poor condition, and does not add any value to the house.

The lot layout is reflective of the Meadowvale Village standards, with a small structure located centrally on a larger lot, set back from the street. A garage sits behind the house, with a visible addition at the back. This structure is not architecturally significant.



View of front facade and overhang



One-over-one window



Ceilings show areas of water damage



View of garage and addition



**6985 SECOND LINE W - HERITAGE IMPACT ASSESSMENT REPORT****EXTERIOR PHOTOS OF 6985 SECOND LINE W**

Front view from southwest of the building.



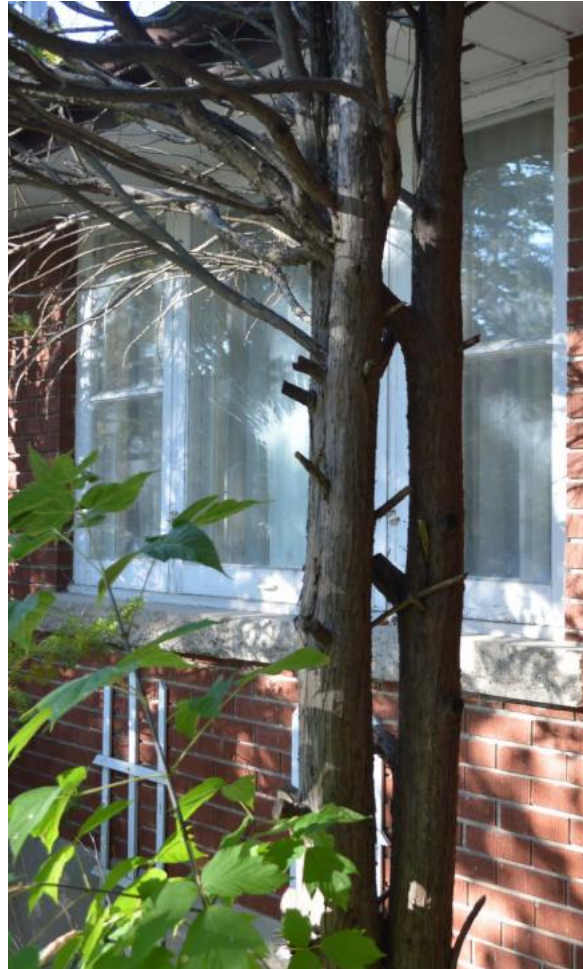
EXTERIOR PHOTOS OF 6985 SECOND LINE W



View of front porch Soffit by main entrance



View of front porch steps



View of front window



View of well in front of the property



**6985 SECOND LINE W - HERITAGE IMPACT ASSESSMENT REPORT****EXTERIOR PHOTOS OF 6985 SECOND LINE W**

View of the north west side of the house



EXTERIOR PHOTOS OF 6985 SECOND LINE W

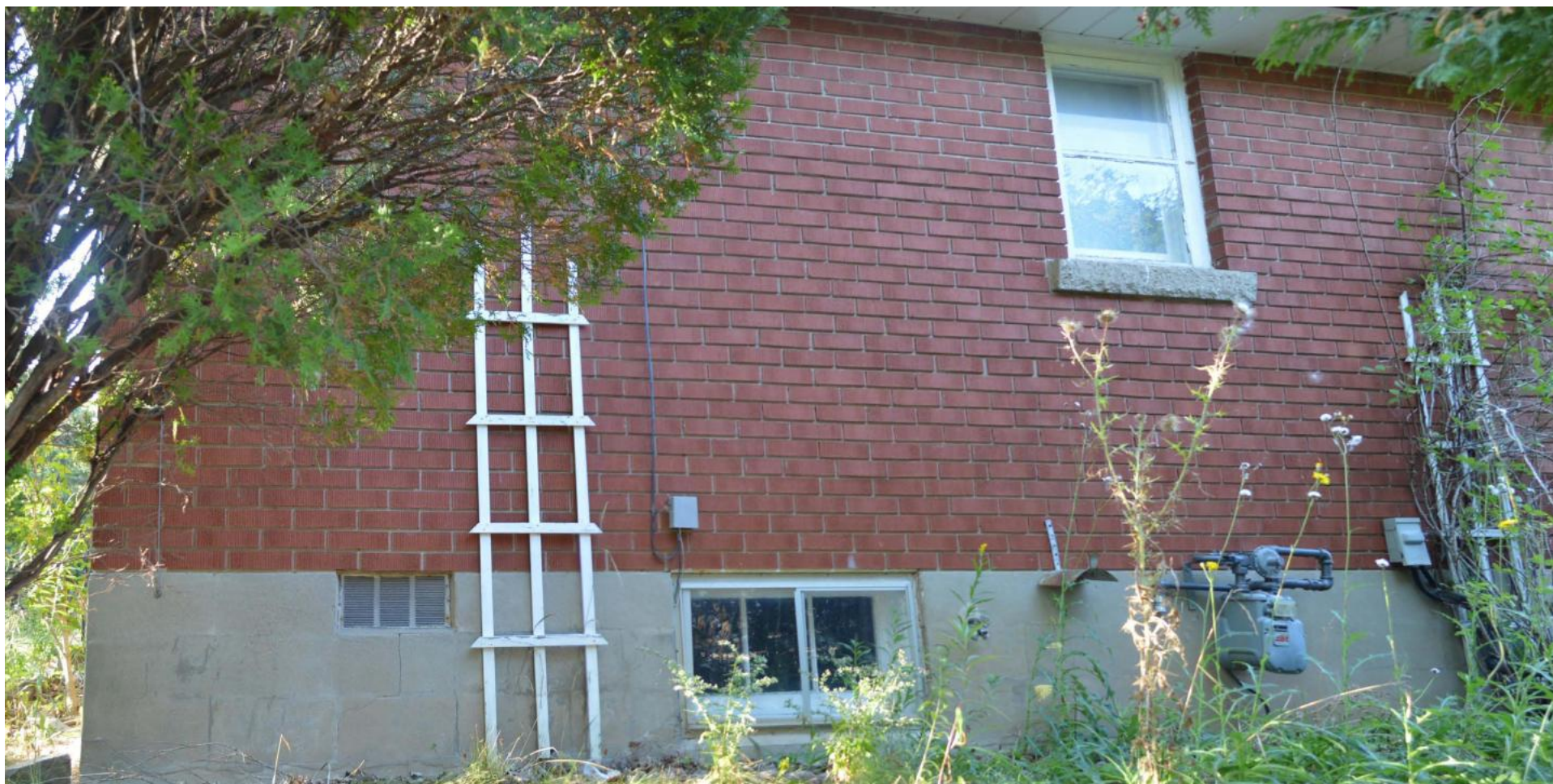


View of the northeast side of the house, including the small enclosed back porch. Landscaping is minimal, with overgrown plants throughout the property.



## 6985 SECOND LINE W - HERITAGE IMPACT ASSESSMENT REPORT

## EXTERIOR PHOTOS OF 6985 SECOND LINE W



View of the south east side of the building



## EXTERIOR PHOTOS OF 6985 SECOND LINE W



Just North East of the main house sits a garage, featuring an addition on the back, a wind out canopy, and degraded eaves troughs



**6985 SECOND LINE W - HERITAGE IMPACT ASSESSMENT REPORT****EXTERIOR PHOTOS OF 6985 SECOND LINE W**

View of the North West facing side of the Garage, where large cracks are visible in the Block walls. The addition is deteriorated and currently holds wood scraps



## EXTERIOR PHOTOS OF 6985 SECOND LINE W



View from the back of the property, looking South West. The garage addition is deteriorating, with peeling paint and a broken eavestrough



**6985 SECOND LINE W - HERITAGE IMPACT ASSESSMENT REPORT****EXTERIOR PHOTOS OF 6985 SECOND LINE W**

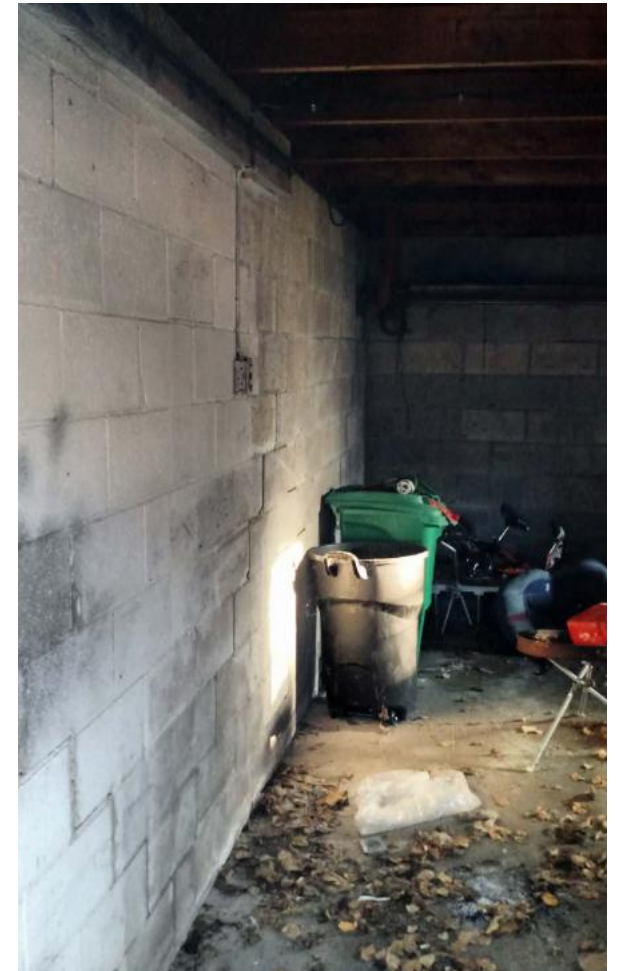
The South east facing side of the garage features a small window, a door and a wind out canopy.



## EXTERIOR PHOTOS OF 6985 SECOND LINE W



The eavestrough is in need of repair and the block walls also contain cracks.



Interior View of the Garage - North West and North East walls. The cracks in the block wall continue to the interior.

## 6985 SECOND LINE W - HERITAGE IMPACT ASSESSMENT REPORT

### EXTERIOR PHOTOS OF 6985 SECOND LINE W



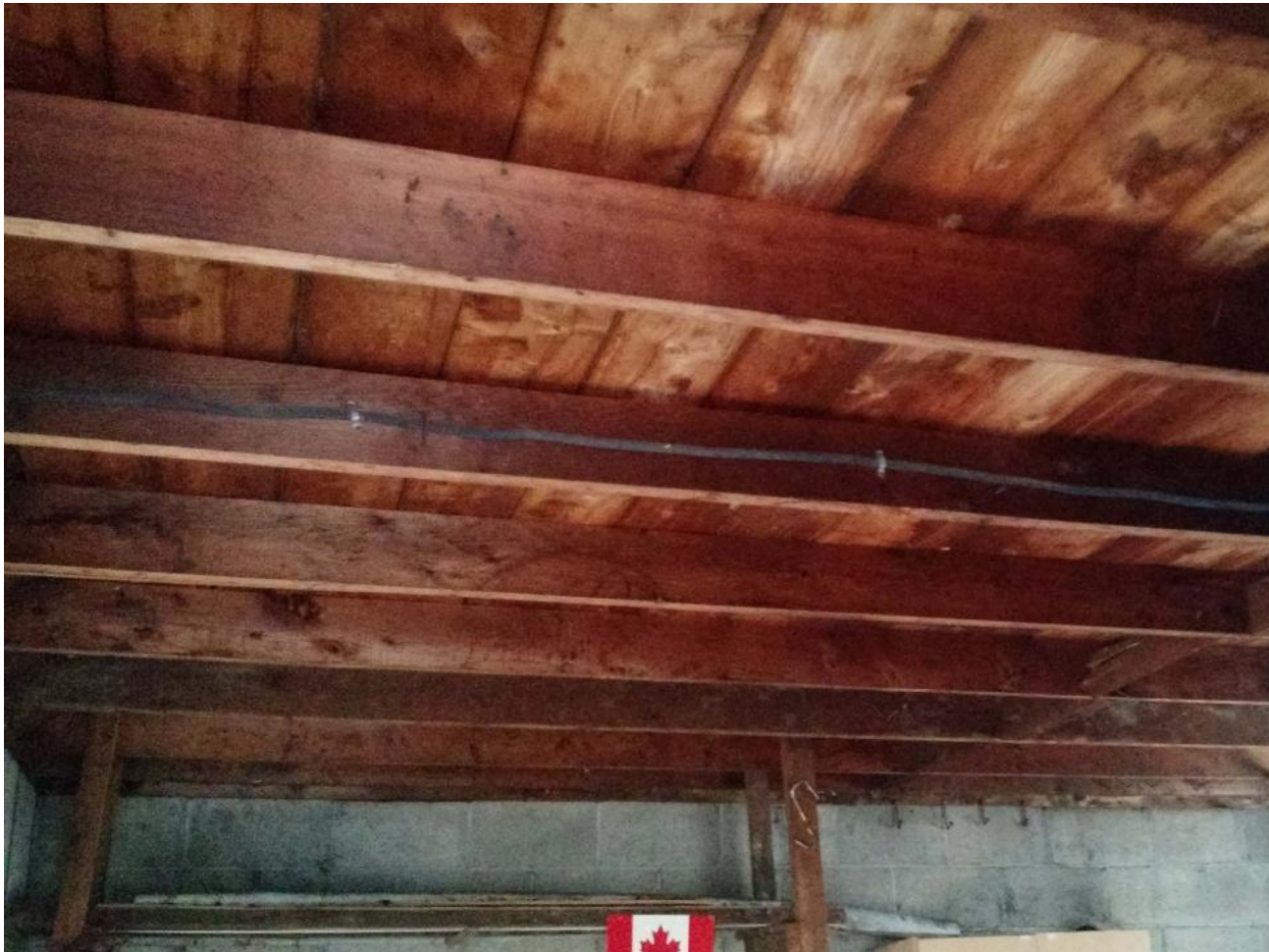
Interior view of the Garage - North East and South East Walls. The concrete floor contains cracks and water damage.



## EXTERIOR PHOTOS OF 6985 SECOND LINE W



Interior View of the Garage - South East Wall - the Window and Door are not in good condition. The door lacks a solid frame, and is not weatherized.

**6985 SECOND LINE W - HERITAGE IMPACT ASSESSMENT REPORT****EXTERIOR PHOTOS OF 6985 SECOND LINE W**

Interior view of the Garage - Ceiling - The wood joists appear to be in good condition, with a wood floor laid above them for potential storage. No access to the upper portion was visible



Interior of Garage Addition - currently holding wood scraps. The construction is simple and is not weatherized.



## 6985 SECOND LINE W - HERITAGE IMPACT ASSESSMENT REPORT

### CONTEXTUAL SIGNIFICANCE

Meadowvale Village has been a community situated adjacent the Credit River since the early 1800's. Designated as Ontario's first adopted Heritage Conservation District in 1980, the community has worked hard to maintain the rural-like quality of life. Although the Village is in the north east corner of Mississauga, with dense residential development around it, the main qualities of the Village, as well as many of its original buildings and lots, remain.

The two main roads of the Meadowvale Village are Old Derry Road and Second Line W. The streets within the community, including Second Line W. have maintained a, "rural community lane-like appearance with soft shoulders, mature street trees, varied building set-backs and consistency of building size." Old Derry Road, once a commercial core, has become more prevalently residential. As stated in the Heritage Conservation District Plan of 2014, the road has become, "a quieter version of an earlier era". Over all, the Village presents a streetscape that is pedestrian friendly, void of privacy fences, and featuring large open yards with large diameter trees. The Homes are of modest design and scale, set on larger lots with soft, naturalized vegetation.

Contextually, 6985 Second Line W sits just outside of the Heritage Conservation District. The lot's northwest site line meets the southeast boundary of the District, while the lot itself sits on the east side of Second Line W. The west side of Second Line W, directly across from the site in question, is included in the Heritage Conservation District, holding the Meadowvale Village Hall which was once the Village Schoolhouse. The Hall is used by the community presently, as are the tennis courts that now sit south of it. The proximity of the property to the Historical Conservation District, and to such a prominent building within the area, make 6985 Second Line W. relevant to the community's context.

On the northwest side of 6985 runs a school route. This walking path leads from Second Line W to Meadowvale Public School and David Leeder Middle School that sit on the lot directly behind 6985 Second Line W. The path has been there since the mid 1950's, when the old school building was constructed, and then remained as the school was rebuilt and a Middle School was added next door. The school route, denoted by a sign, is a fenced off pathway, lined by the foliage of the neighbouring trees.

The Meadowvale Village to the north west features many of its original houses and structures that were once part of the small milling community. To the south east of 6985 Second Line W., many more modern developments have been constructed over the years. Due to their proximity to the Historical Village, some of the developments have managed to maintain similar building styles and architectural features present in the Village, while others have developed more modern and contemporary structures.



The former Village Schoolhouse, now the Village Hall



## CONTEXTUAL SIGNIFICANCE



View of the front of the property, looking southwest from the front steps. The yard is large, with many large trees closer to the sidewalk, shielding the property from the street and neighbours



View of streetscape in front of the property. Large trees scattered along the street create natural divisions, hiding neighbouring houses. Directly across the street sits public tennis courts and the Meadowvale Village Hall.



## CONTEXTUAL SIGNIFICANCE



Sitting between 6985 Second Line W, and the neighbouring property to the North, sits a fenced off school route, shaded by trees and bushes



Neighbouring house to the Southeast, at 6971 Second Line West



## CONTEXTUAL SIGNIFICANCE

### HOUSES NORTH OF OLD DERRY ROAD IN THE HERITAGE DISTRICT



1043 Old Derry Road

Date of Construction: 1850

Three bay facade, Neoclassical design and building materials.

Modest size, shape and form reflecting the mid nineteenth century character of the Village, including the well-proportioned front porch, dormer, and cat slide addition



7004 Second Line West

Date of Construction: 1850

One of the oldest properties in the Village.

The modest one-and-a-half storey structure is made of stacked plank construction, with horizontal narrow wood siding and gable ends and cornice returns. The building rests on a field stone foundation. The original windows retain their aperture but the windows have been replaced. The front façade onto Second Line West has three bays.



## 6985 SECOND LINE W - HERITAGE IMPACT ASSESSMENT REPORT

## CONTEXTUAL SIGNIFICANCE

NEW CONSTRUCTION ON SECOND LINE W, NORTH OF OLD DERRY RD.



7068 Second Line West

Date of Construction: 1981

This is the first infill to have been constructed in the Village after this designation status. The property was formerly the back half of the property. A one-and-a-half storey frame structure with a shallow setback to Second Line West. There is a detached garage connected by a narrow covered passageway. Architecturally, the house was designed to be compatible with the Village character in its size, shape, form, materials and context.

NEIGHBOURING PROPERTY TO THE NORTH (IN THE HERITAGE DISTRICT)



6995 Second Line West

Date of Construction: 1910

One-and-a-half storey frame structure with gable ends. The size, shape, form and style of the residential structure is compatible with the nineteenth century buildings of the Village. The location of the house on the lot with significant setbacks and open yards provide high visibility and open green space on this corner lot supporting the former rural character. The framing of the structure by mature trees in the front yard provide a landscape in keeping with the Village character siding. To the rear of the house is a detached garage accessed from Second Line West.



## CONTEXTUAL SIGNIFICANCE

NEW CONSTRUCTION ON SECOND LINE W, SOUTH OF OLD DERRY RD., NOT IN HERITAGE DISTRICT



6836 Second Line West  
Date of Construction: Unknown



6920 Second Line West  
Date of Construction: Unknown



## 6985 SECOND LINE W - HERITAGE IMPACT ASSESSMENT REPORT

## CONTEXTUAL SIGNIFICANCE

EXAMPLE OF A DIVIDED LOT, NEW CONSTRUCTION, HERITAGE DISTRICT, VICTORIAN VERNACULAR



1009 Old Derry Road

Date of Construction: 1990

The two properties above, 1009 and 1011 Old Derry Road were one lot until they were severed circa 1988. The twentieth century one storey single family home was removed and relocated to another municipality. The two current homes were built at the same time with a shared drive and garage structure to the rear. Brick veneer, not usually permitted in new infill construction, was allowed in this instance due to the proximity of the Graham-Pearson house across the street.



1011 Old Derry Road

Date of Construction: 1990

## SUMMARY REGARDING EXISTING STRUCTURE

## RATING SYSTEM

E - Excellent  
 VG - Very Good  
 G - Good  
 F - Fair  
 L - Low

Municipal Address: 6985 Second Line W, Mississauga

Date: October, 2017

Evaluator: Alexander Temporale B.Arch, O.A.A., F.R.A.I.C., C.A.H.P.

HISTORICAL VALUE OR ASSOCIATIVE VALUE		Grade					Rationale
1. Has direct associations with a person, organization, or institution that is significant to a community.	E	VG	G	F	L		The previous owners and tenants of this property were of modest means, however were part of the surrounding community, with children likely attending the neighbouring schools.
2. Has direct associations with an event or activity that is significant to a community.	E	VG	G	F	L		The structure on the property was built in the late 1960's and was not part of the original Meadowvale Village, nor is the property included in the Heritage Conservation District.
3. Has direct associations with a theme or belief that is significant to a community.	E	VG	G	F	L		The lot layout and house size is reflective of Meadowvale Village's typical residential lots, with a small structure, large lot, and a garage sitting back behind the main home.
4. Yields, or has the potential to yield, information that contributes to an understanding of a community.	E	VG	G	F	L		The home is not of architectural or historical significance relating to the community.
5. Demonstrates or reflects the work or ideas of an architect, artist, builder, designer, or theorist.	E	VG	G	F	L		No specific architect is connected to this property.
DESIGN OR PHYSICAL VALUE		Grade					Rationale
6. Is a rare, unique, representative, or early example of a style, type, expression, material, or construction method.	E	VG	G	F	L		The property features a 1-storey brick bungalow that was typical of the late 1960's in Mississauga.
7. Displays a high degree of craftsmanship or artistic merit.	E	VG	G	F	L		The house is well proportioned and the brick exterior is in good condition.
8. Demonstrates a high degree of technical or scientific achievement.	E	VG	G	F	L		The home uses standard construction methods and materials.
CONTEXTUAL VALUE		Grade					Rationale
9. Is important in defining, maintaining, or supporting the character of an area.	E	VG	G	F	L		The retention of the building would maintain the streetscape, and minimize the visual impact on the neighbouring Historical Conservation District due to its small size; however, it does not reflect the changing nature of the street or the character of the heritage district.
10. Is physically, functionally, visually, or historically linked to its surroundings.	E	VG	G	F	L		The site sits directly across from a historically significant building within the Meadowvale Village. The site is visually important. The house itself is not.
11. Is a landmark.	E	VG	G	F	L		The property lacks the architectural interest and scale required to be considered a landmark



## 6985 SECOND LINE W - HERITAGE IMPACT ASSESSMENT REPORT

### HERITAGE ASSESSMENT SUMMARY

#### EXISTING 6985 SECOND LINE WEST HOME

In summary the existing circa 1968 house on the site is not of historical, architectural or contextual value to the City of Mississauga. The home is an example of the typical red brick buildings built throughout Mississauga, and the general Toronto area, in the 1950's and 1960's. It's neither a fine example of the style nor a demonstration of caring craftsmanship.

Its owners have been local residents of modest means, including young families, local farmers, and war veterans. The residents of the home have been involved within the community; however, have not greatly impacted the Meadowvale Village, nor have they significantly contributed to the progress or development of the local area, the City of Mississauga or the Region. The most active Owner in the community was Bill Strachan, who was involved with the Meadowvale Fair.

Contextually, the existing home is not compatible architecturally with the early styles that typify the Meadowvale Village nor with the more recent homes built along the southern portion of Second Line. These newer homes are frequently gabled traditional homes consisting of a pastiche of historic styles. The building is not of historical value and can be demolished. There is no need for mitigating measures associated with the existing structure.



## HERITAGE ASSESSMENT SUMMARY

### PROPOSED HOMES FOR THE EXISTING LOT

The approach taken by Hicks Studio is innovative in maintaining relatively modest façades facing Second Line West and the Meadowvale Town Hall across the road. It utilizes the depth of the lot to set back the garages in order to prevent them from having prime visual impact on the streetscape. The design responds to some of the design principles set out in the guidelines for the Village, such as the siting and massing of the houses. The plan layout resembles the rambling character of homes in the heritage village.

The proposed design includes two new homes being built on the existing lot. The division of the existing lot results in two lots that have considerable depth and open space. It also results in a façade width for both homes that are more compatible with the Town Hall and the heritage structures of Meadowvale Village. The design also employs the use of “tail sections” typical of additions in heritage areas to gain added space, which is both innovative and acceptable.

The final design proposal has produced two facades that are complimentary but visually different in style and use of materials. The most northerly building (Option 1) is a combination of brick and stone. It has a horizontal stringcourse at the second-floor window sill to divide the two materials. The architectural divide also helps reduce the scale of the front façade facing the street. The long, sloped roof linking the house to the one storey garage and the projecting one storey entrance portico also helps to reinforce the human scale of the house. The facade is a well balanced 3 bay design. The second-floor windows are designed as dormers, creating an attractive rhythm at the roof eave line and further breaking up the building mass. The visual focus of the facade is the front entrance with a centre panelled door and narrow side lights on both sides. All the windows are trimmed in precast, adding further detail to the design. They also have transoms and are subdivided with muntins to add finer scale and additional refinement to the window openings.

Like the plan, the building design is well articulated and three dimensional due to the “U” shaped plan, as well as the projection of the rear porches and front portico. In the distance the garage can be seen. The garage door is panelled with upper windows and is consistently trimmed as per the house. With the addition of the back porch, the garage is given the appearance of a traditional coach house.

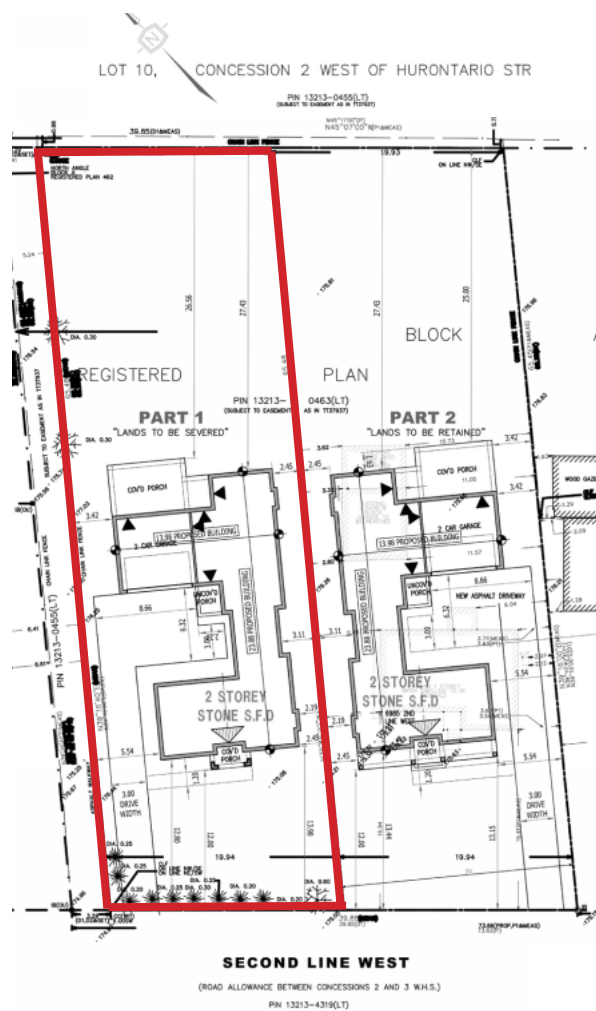
Each elevation has its own feature elements, while retaining the use of the street façade materials. The south elevation, with the projecting porch and angled brick wall resulting from the extended roof line over the garage, creates a distinct rear elevation. Its porch is balanced by the projecting two storey rear extension with eight stacked windows enclosing the great room at grade and the master bedroom above.

On the east elevation, the architect employs two brick gables to break the length of the façade, while using glazing to reinforce the separation and tall forms of the gables. The west elevation, due to the various roof forms, is richly three dimensional. The use of almost 2 storeys of glazing at the stairway in the “U” creates additional visual interest and a focal point for the enclosed space.

Option 2 changes the exterior materials to wood siding with a minimal amount of stone at the foundation level. The use of wood siding on Option 2 is particularly appropriate for the context of the development. It is a symmetrical design framed by two gables. The windows are larger and combined in groups of three, largely glazing the gables. Palladian style feature windows are located on the second floor to give a distinctive character to the façade. Between the two gables is the central entrance way which again has a projecting portico. In this instance, the portico is supported with free standing columns. The design otherwise is similar in its massing, location of openings and projections as Option 1.

The two new designs provide a significant improvement over the original French Country Style designs initially proposed. They are more compatible with the heritage district in style, colour palette and materials. They provide a sympathetic transition between contemporary home styles and the traditional vernacular of Meadowvale Village. Also, the earlier mitigating measures recommended in ATA's original Heritage Impact Assessment regarding two different facades has been accomplished. Lastly, the scale of the two homes facing Second Line West is, in the opinion of the author, more compatible with the scale of the nearby heritage structures than a larger home on a single lot and will have far less impact.

## PROPOSED DEVELOPMENT OPTION 1



## Proposed Site Plan, Option 1

### Proposed Ground Floor Plan, Option 1

### Proposed Second Floor Plan, Option 1

PROPOSED DEVELOPMENT  
OPTION 1



Proposed South (Front) Elevation, Option 1

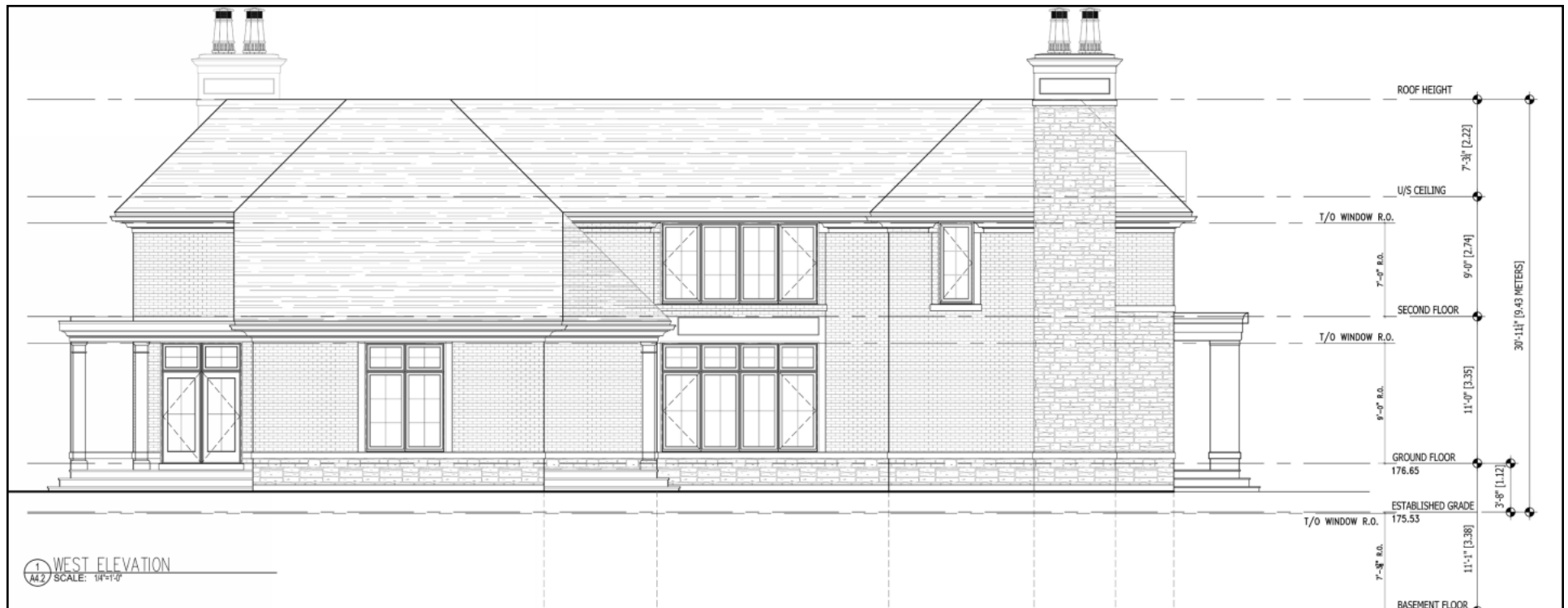


6985 SECOND LINE W - HERITAGE IMPACT ASSESSMENT REPORT



Proposed North Elevation, Option 1

PROPOSED DEVELOPMENT  
OPTION 1



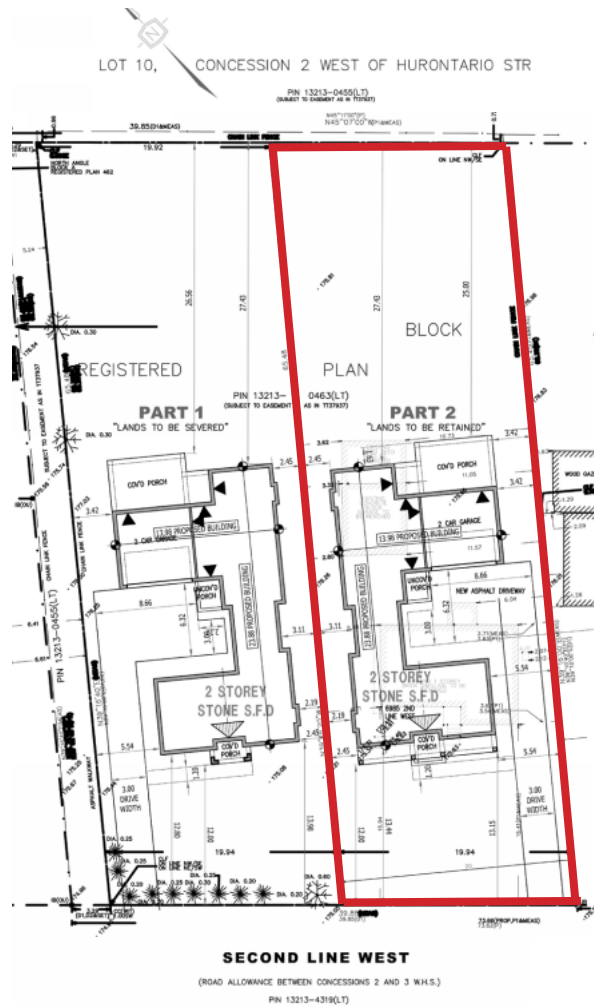
Proposed West Elevation, Option 1

PROPOSED DEVELOPMENT  
OPTION 1



Proposed East Elevation, Option 1

## PROPOSED DEVELOPMENT OPTION 2



## Proposed Site Plan, Option 2

### Proposed Ground Floor Plan, Option 2

### Proposed Second Floor Plan, Option 2



PROPOSED DEVELOPMENT  
OPTION 2



Proposed South (Front) Elevation, Option 2



Proposed North Elevation, Option 2

PROPOSED DEVELOPMENT  
OPTION 2



Proposed East Elevation, Option 2

PROPOSED DEVELOPMENT  
OPTION 2



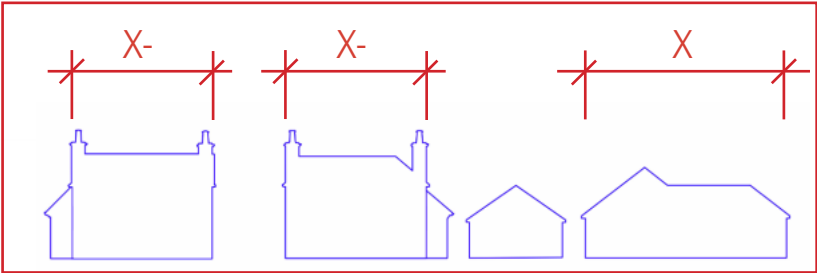
Proposed West Elevation, Option 2



6985 SECOND LINE W - HERITAGE IMPACT ASSESSMENT REPORT

PROPOSED DEVELOPMENT  
STREETSCAPE STUDY - OPTION 1 AND 2

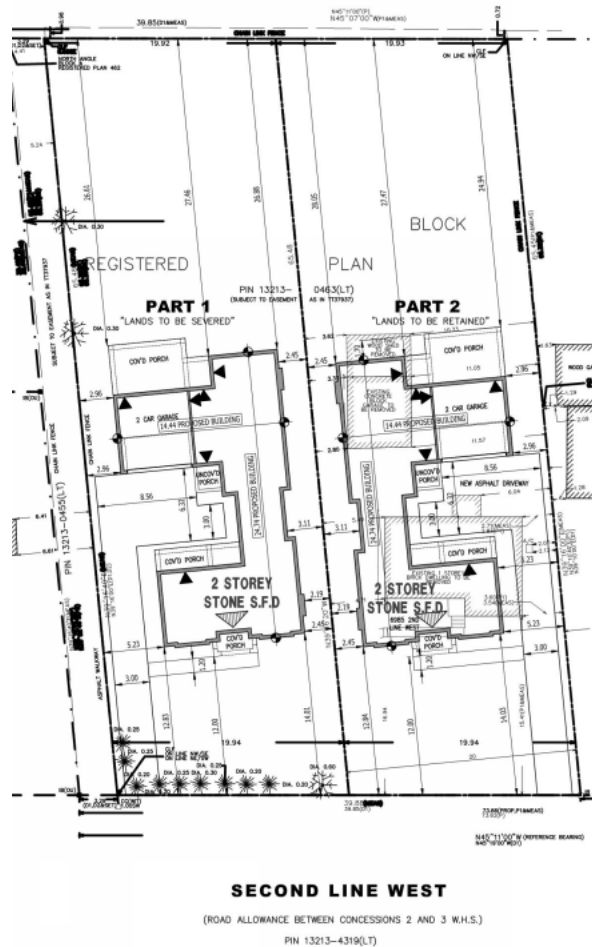
- ATA ANALYSIS:
- Similar Widths
  - Garages concealed in proposal



## INITIAL DEVELOPMENT EXPLORATIONS ALTERNATIVE A

### ATA ANALYSIS:

- Modest scale front facades
- Interior courtyard "U" shaped design
- Garages largely hidden
- Break down of scale (articulated)
- Decorative, up-scale French Provincial Facades
- Two identical homes, mirrored



Site Plan showing two mirrored identical buildings on the existing site

First Floor Plan

Second Floor Plan

INITIAL DEVELOPMENT EXPLORATIONS  
ALTERNATIVE A



Front Elevation

## INITIAL DEVELOPMENT EXPLORATIONS ALTERNATIVE B



### ATA ANALYSIS:

- Simplified Elevation from Alternative A
- Alternative floor plan with slightly different facades
- Garage in the centre of the home in lieu of the courtyard

First Floor Plan - "U" shaped house situated around a 2 car garage

Second Floor Plan



INITIAL DEVELOPMENT EXPLORATIONS  
ALTERNATIVE B



Front Elevation (Home 1)

INITIAL DEVELOPMENT EXPLORATIONS  
ALTERNATIVE B

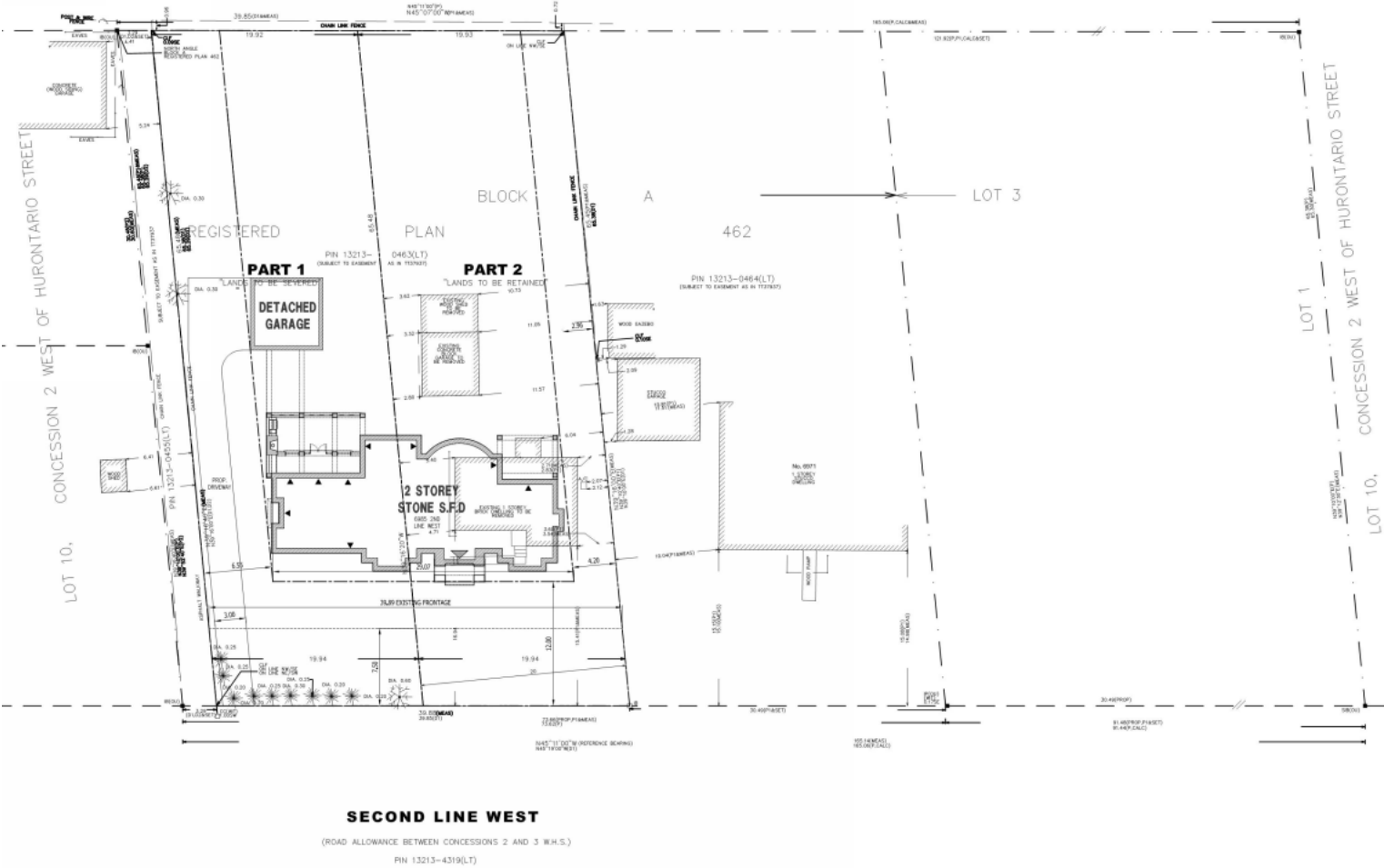


Front Elevation (Home 2)

6985 SECOND LINE W - HERITAGE IMPACT ASSESSMENT REPORT

INITIAL DEVELOPMENT EXPLORATIONS  
ALTERNATIVE C

- ATA ANALYSIS:
- Ornate decorative French Country Manor House
  - Long facade - grand scale
  - Distinctive Architectural Design (out of context with the surrounding area)



Site Plan

## 6985 SECOND LINE W - HERITAGE IMPACT ASSESSMENT REPORT

## INITIAL DEVELOPMENT EXPLORATIONS ALTERNATIVE C

## ATA ANALYSIS:

- Simplified Elevation from Alternative A
- Alternative floor plan with slightly different facades
- Garage in the centre of the home in lieu of the courtyard

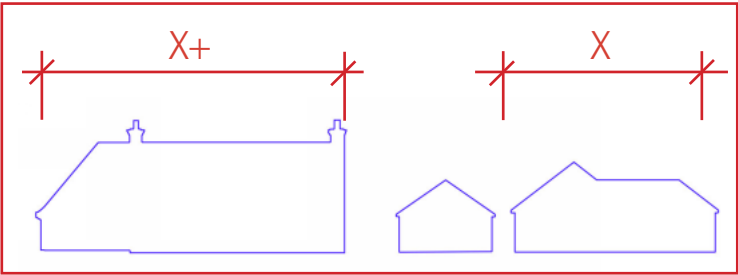


### Front Elevation



INITIAL DEVELOPMENT EXPLORATIONS  
STREETSCAPE STUDY - ALTERNATIVE C

- ATA ANALYSIS:
- Larger proposed width
  - Garage concealed in proposal



Streetscape

## MITIGATING MEASURES

### 1. STYLE

The early iterations of the proposed design raised questions regarding the visual impact the development of 6985 Second Line West could have on the neighbouring buildings, due to the proximity of the site to the Heritage Conservation District. Specifically, the Hall building sits directly across the street from the site in question. After further development of the design proposal, it is the opinion of the author that the architect has managed to incorporate many features and guidelines relating to the Meadowvale Village to allow the design to better suite its surroundings and minimize the visual impact on the neighbouring buildings.

The visual impact of the proposed new construction on Meadowvale Village has been diminished by changes in architectural style to each of the individual buildings. The Heritage District features are mainly Early Georgian, Gothic and Victorian Revival, and local vernacular versions thereof. The initially proposed designs (see appendix) were more French Provincial in style. Although there are several more recently constructed examples of what might be considered French Country or French Provincial homes on Second Line West, they are not as close to Old Derry Road or to the Village Hall as the site in question, which is a local focus of social interaction in the community. In the most recent design proposal by Hicks Design Studio, the houses have been simplified to employ a modern mix of traditional styles with Georgian, Tudor and some Italianate influences of the Meadowvale Village. This more modest appearance has reduced the visual impact the new construction would have on the heritage building across the street, while creating a transition out of the heritage district.

The design also features a material palette that is compatible with those found in the village, benefiting the compatibility of the design to the adjacent heritage area and reducing the project's visual impact.

Over all, the previous concerns about style and variety have been addressed by the current design proposal. All previous design explorations can be found on the previous pages.

### 2. MATURE VEGETATION

If at all possible, the natural vegetation along Second Line should be maintained to retain the character of the street along this section of Second Line.

### 3. VARIETY

The proposed development creates two lots out of the existing site and the appearance of both homes have been designed to be substantially different. In the Meadowvale Village context, buildings were individually constructed and as a result have a distinctive identity from their neighbours. Although beginning with two very similar house designs, the architect has developed their proposal to retain the individuality present in the surrounding neighbourhood and avoid identical twin houses. Although the footprint and layout of the two homes are similar, they have been mirrored, and the street-facing elevations contain individualized characteristics. Through the use of differing materials, window sizes and placement, as well as roof shapes, the proposed designs offer the appearance of two individual buildings.

### 4. GARAGES

Separate garages were considered but the garages are largely hidden from the street and are sympathetically designed. They do not detract from the streetscape or visually dominate the facade.

### 5. SETBACKS

The final proposal may wish to stagger the plans slightly, because the siting in the Village is more random.

### 6. PORCHES

Porches are typical in the Meadowvale Village and both designs incorporate entrance porticos. Option 2, because of its design, is well suited for a front porch. This is a suggestion for consideration only.

## 6985 SECOND LINE W - HERITAGE IMPACT ASSESSMENT REPORT

### APPENDIX

## LAND REGISTRY RECORDS



ServiceOntario

PARCEL REGISTER (ABBREVIATED) FOR PROPERTY IDENTIFIER

 LAND  
 REGISTRY  
 OFFICE #43

13213-0463 (LT)

\* CERTIFIED IN ACCORDANCE WITH THE LAND TITLES ACT \* SUBJECT TO RESERVATIONS IN C

PROPERTY DESCRIPTION: PT BLK A, PL 462 , AS IN R0550016; S/T TT37937; CITY OF MISSISSAUGA

## PROPERTY REMARKS:

## ESTATE/QUALIFIER:

 FEE SIMPLE  
 LT CONVERSION QUALIFIED

## RECENTLY:

FIRST CONVERSION FROM BOOK

## OWNERS' NAMES

 CAPACITY SHARE  
 ROWN

REG. NUM.	DATE	INSTRUMENT TYPE	AMOUNT	PARTIES FROM	
**EFFECTIVE 2000/07/29 THE NOTATION OF THE "BLOCK IMPLEMENTATION DATE" OF 1996/09/10 ON THIS PIN** **WAS REPLACED WITH THE "PIN CREATION DATE" OF 1996/09/10** ** PRINTOUT INCLUDES ALL DOCUMENT TYPES AND DELETED INSTRUMENTS SINCE 1996/09/06 ** **SUBJECT, ON FIRST REGISTRATION UNDER THE LAND TITLES ACT, TO: ** SUBSECTION 44(1) OF THE LAND TITLES ACT, EXCEPT PARAGRAPH 11, PARAGRAPH 14, PROVINCIAL SUCCESSION DUTIES * ** AND ESCHEATS OR FORFEITURE TO THE CROWN. ** THE RIGHTS OF ANY PERSON WHO WOULD, BUT FOR THE LAND TITLES ACT, BE ENTITLED TO THE LAND OR ANY PART OF ** IT THROUGH LENGTH OF ADVERSE POSSESSION, PRESCRIPTION, MISDESCRIPTION OR BOUNDARIES SETTLED BY ** CONVENTION. ** ANY LEASE TO WHICH THE SUBSECTION 70(2) OF THE REGISTRY ACT APPLIES. **DATE OF CONVERSION TO LAND TITLES: 1996/09/10 **					
TT37937	1937/09/08	TRANSFER EASEMENT			THE HYDRO-EL
TT149363	1962/10/10	AGREEMENT			THE CORPORAT
VS248789	1973/02/12	NOTICE			
REMARKS: AMENDMENT OF TORONTO-MALTON AIRPORT ZONING REGULATIONS LT248789 AMENDED TO READ 248789VS 95/11/14 KATHY POWER					
R0550016	1980/06/10	TRANSFER		*** COMPLETELY DELETED ***	HANDLEY, ART HANDLEY, IRE
LT2057426	2000/03/27	NOTICE		HER MAJESTY THE QUEEN IN RIGHT OF THE DEPARTMENT OF	



## 6985 SECOND LINE W - HERITAGE IMPACT ASSESSMENT REPORT

## LAND REGISTRY RECORDS



Ontario

ServiceOntario

LAND  
REGISTRY  
OFFICE #43

PARCEL REGISTER (ABBREVIATED) FOR PROPERTY IDENTIFIER

13213-0463 (LT)

\* CERTIFIED IN ACCORDANCE WITH THE LAND TITLES ACT \* SUBJECT TO RESERVATIONS IN C

REG. NUM.	DATE	INSTRUMENT TYPE	AMOUNT	PARTIES FROM	
PR243372	2002/05/13	APL (GENERAL)		HANDLEY, IRENE JEANETTE  *** COMPLETELY DELETED *** HANDLEY, ARTHUR GEORGE	HANDLEY, ART
PR243747	2002/05/15	CHARGE		*** COMPLETELY DELETED *** HANDLEY, ARTHUR GEORGE	CHIP MORTGAG
PR2543149	2014/06/02	TRANSFER		*** COMPLETELY DELETED *** HANDLEY, ARTHUR GEORGE	ABU ZAED, KH BEIDES, SAMA
REMARKS: PLANNING ACT STATEMENTS.					
PR2543150	2014/06/02	CHARGE		*** COMPLETELY DELETED *** ABU ZAED, KHALID BEIDES, SAMAR	THE TORONTO-
PR2566043	2014/07/17	DISCH OF CHARGE		*** COMPLETELY DELETED *** CHIP MORTGAGE CORPORATION 5 INC.	
REMARKS: PR243747.					
PR2955755	2016/07/26	TRANSFER	\$1,300,000	ABU ZAED, KHALID BEIDES, SAMAR	
REMARKS: PLANNING ACT STATEMENTS.					
PR2955756	2016/07/26	CHARGE	\$700,000		KEB HANA BAN
PR2955757	2016/07/26	NO ASSGN RENT GEN			KEB HANA BAN
REMARKS: TO BE DELETED UPON THE DELETION OF PR2955756					
PR2976993	2016/08/26	DISCH OF CHARGE		*** COMPLETELY DELETED *** THE TORONTO-DOMINION BANK	
REMARKS: PR2543150.					

## LAND REGISTRY RECORDS

DATE PLAN REGISTERED 20 October 1982  
OWNERS: Filadelf Veroy

LOT SUBDIVISION: Pt. 10, 2 W.H.S.

TOWNSHIP OF TROUSDALE

SHEET NO. 1  
LOT NO. 1008 & 1009  
STREET: 6985 2ND LINE W  
PLAN NO. 405

NUMBER	INSTRUMENT	DATE OF INSTRUMENT	DATE OF REGISTRATION	GRANTOR	GRANTEE	CONSIDERATION	REMARKS
73452	Grant	13 Apr 1913	13 Apr 1913	William (Wilbert) Veroy & his wife Mary Veroy (by deed)	Sarah J. Davis & Arthur L. Davis as joint tenants	100% Part S. 1/2 Sec. 100'	
10085	Release	13 July 1955	13 July 1955	William (Wilbert) Veroy	John D. Hillbert & Violet Hillbert as joint tenants	100% Part N. 1/2 Sec. 100'	
129474	Grant	12 Aug 1962	12 Aug 1962	John D. Hillbert & Violet Hillbert	Edward J. Hillbert & Violet Hillbert as joint tenants	100% Part N. 1/2 Sec. 100'	
149565	Agreement	9 July 1962	10 Oct 1962	John D. Hillbert & Violet Hillbert	The Corp. of Life Savers of Toronto	100% Part N. 1/2 Sec. 100'	
541555	Release	10 Oct 1962	10 Oct 1962	John D. Hillbert & Violet Hillbert	John D. Hillbert & Violet Hillbert as joint tenants	100% Part N. 1/2 Sec. 100'	
52804799	Release	24 July 1968	24 July 1968	Treasurer's Consent	Sarah J. Davis Est.	100% Part S. 1/2 Sec. 100'	
68300395	Grant	26 Oct 1968	26 Oct 1968	Treasurer's Consent	Arthur L. Davis Est.	100% Part S. 1/2 Sec. 100'	
8790945	Grant	25 Sept 1968	25 Sept 1968	Isabelle Palmer Adm. William R. Kee	Sarah J. Davis & Arthur L. Davis as joint tenants	100% Part S. 1/2 Sec. 100'	
8791045	Grant	17 Oct 1968	17 Oct 1968	William R. Kee	Charles W. Keeney	100% Part S. 1/2 Sec. 100'	
8791145	Grant	15 Oct 1968	15 Oct 1968	William R. Kee & Linda A. Kee	Charles W. Keeney	100% Part S. 1/2 Sec. 100'	
15053115	Release	21 Sept 1970	21 Sept 1970	The Treasurer of Ontario	John D. Hillbert & Violet Hillbert	100% Part S. 1/2 Sec. 100'	
15467185	Grant	11 Sept 1970	11 Sept 1970	John D. Hillbert & Violet Hillbert	William A. Strachan & Judith D. Strachan as joint tenants	100% Part S. 1/2 Sec. 100'	

Land Registry Records 6985 Second Line W  
Source: York Region Land Registry

## 6985 SECOND LINE W - HERITAGE IMPACT ASSESSMENT REPORT

## LAND REGISTRY RECORDS

PLAN REGISTERED 28 OCTOBER 1965  
PLAN NO. 286745

107 216 4 PLAN 462 PAGE NO. 1

DATE OF REGISTRATION: 1971, 1972, 1973, 1974, 1975, 1976, 1977, 1978, 1979, 1980

DATE OF REGISTRATION	DATE OF REGISTRATION	GRANTOR	GRANTEE	CONSIDERATION	REMARKS
1971	1971	William A. Strachan	John A. Hulbert	12,500.00	Part as in 715 154671/5
1972	1972	William A. Strachan	John A. Hulbert	286745	Discharging no. 154671/5
1973	1973	William A. Strachan	William R. McKee	286745	Discharging no. 154671/5
1974	1974	William A. Strachan	William R. McKee	286745	Discharging no. 154671/5
1975	1975	William A. Strachan	William R. McKee	286745	Discharging no. 154671/5
1976	1976	William A. Strachan	William R. McKee	286745	Discharging no. 154671/5
1977	1977	William A. Strachan	William R. McKee	286745	Discharging no. 154671/5
1978	1978	William A. Strachan	William R. McKee	286745	Discharging no. 154671/5
1979	1979	William A. Strachan	William R. McKee	286745	Discharging no. 154671/5
1980	1980	William A. Strachan	William R. McKee	286745	Discharging no. 154671/5
1971	1971	William A. Strachan	William R. McKee	286745	Discharging no. 154671/5
1972	1972	William A. Strachan	William R. McKee	286745	Discharging no. 154671/5
1973	1973	William A. Strachan	William R. McKee	286745	Discharging no. 154671/5
1974	1974	William A. Strachan	William R. McKee	286745	Discharging no. 154671/5
1975	1975	William A. Strachan	William R. McKee	286745	Discharging no. 154671/5
1976	1976	William A. Strachan	William R. McKee	286745	Discharging no. 154671/5
1977	1977	William A. Strachan	William R. McKee	286745	Discharging no. 154671/5
1978	1978	William A. Strachan	William R. McKee	286745	Discharging no. 154671/5
1979	1979	William A. Strachan	William R. McKee	286745	Discharging no. 154671/5
1980	1980	William A. Strachan	William R. McKee	286745	Discharging no. 154671/5

Land Registry Records 6985 Second Line W  
Source: York Region Land Registry



## THE MISSISSAUGA TIMES, 1978



Clippings from The Mississauga Times, August 1978 - featuring Samuel Handley, a previous owner of the home at 6985 Second Line W and a local farmer  
Source: The Mississauga Times, <http://pub.canadiana.ca>



OBITUARIES

HANDLEY, Arthur George Handley - Obituary

Expired

//

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G+ Share

**HANDLEY, Arthur George** — Peacefully passed away in his 92nd year on January 26, 2017, in Mississauga, Ontario. Dearly beloved of the late Mary Handley and predeceased by Irene J. Handley and children Walter and Patricia. Father of Sam (Cindy), Alice (Ron), Gord (Jennifer). Loved step-father of Mercedes Clements (Ron). Loving grandfather to Andrew, Christine (Josh), Kevin (Marianne), Melissa (Jeff), Cathy, Becky (Dave), Kim, Greg (Sherisse), Lauren, Leah, Dennis, Joe (Mary Jo) and Amanda (Paul). Great-grandfather of Tysen, Luca, Ethan, Jakob, Alicia, Liam and Grayson, Logan, Dylan, Joey and Darwin. Special Thanks to the caring staff of Extendicare Mississauga. Private family and friends Memorial to be held at Meadowvale Funeral Centre, Tuesday, January 31st at 2:00 p.m. If desired, donations accepted, in lieu of flowers, to the Heart & Stroke Foundation.

*TorontoObituaries.com*

Obituary for Arthur George Handley, previous owner of 6985 Second Line W.  
Source: TorontoObituaries.com

Canadian Obituary Index				
CanadianObits.com - Obits indexed from the Toronto Star - 90				
Posted By: CanadianObits.com				
Date: Saturday, 20 August 2016, at 11:11 p.m.				
HANCOCK, Cecil Robert "Bob" wwi	Toronto, Ontario	Toronto Star	March 2, 1980	
HANCOCK, Diane J (GIMOR)	66 Ontario	Toronto Star	April 27, 2001	
HANCOCK, Lois M E	Ontario	Toronto Star	November 29, 2005	
HANCOCK, Martha	75 Toronto, Ontario	Toronto Star	January 4, 1917	
HANCOCK, Matilda Anne "Tillie	Toronto, Ontario	Toronto Star	March 1, 1980	
HANCOCK, mrs thomas	75 Toronto, Ontario	Toronto Star	January 4, 1917	
HANCOCKS, Eleanor Anne	71 Oakville Ontario	Toronto Star	May 23, 2007	
HAND, Robert John "BJ / Bob"	84 Abbotsford BC	Toronto Star	January 20, 2007	
HAND, William	58 Mississauga Ontario	Toronto Star	May 4, 2001	
HAND, William Earl "Bill"	69 Ontario	Toronto Star	July 31, 2000	
HANDERSON, Mary Blanche (GUINDON)	76 Mississauga, Ontario	Toronto Star	March 5, 2005	
HANDFORTH, Doris Irene (STINSON)	88 Napanee Ontario	Toronto Star	October 23, 2007	
HANDLEY, Samuel Arthur	Mississauga, Ontario	Toronto Star	February 18, 1980	
HANES, Maurice "Eddy"	Ontario	Toronto Star	July 16, 2006	
HANDSON, Elsie (MILSON)	95 Barrie Ontario	Toronto Star	August 22, 2007	
HANERACH, Stella (NWII)	Ontario	Toronto Star	October 20, 2007	
HANES, Dora V (STILES)	Braconbridge, Ontario	Toronto Star	February 20, 1980	
HANES, Kevin Bradley	Kitchener, Ontario	Toronto Star	July 31, 2000	
HANEY, Norma	82 Ontario	Toronto Star	May 17, 2007	
HANES-DRIELMA, Louise (deVOS)	93 Java / Ontario	Toronto Star	April 7, 2007	
HANLEY, Leo J	84 Oakville Ontario	Toronto Star	August 6, 2006	
HANLOW, Francis Robert "Frank"	Ontario	Toronto Star	February 1, 1980	
HANLOW, Francis Robert "Frank"	Ontario	Toronto Star	February 2, 1980	
HANLOW, Marion Joyce (HEMELL)	74 Ontario	Toronto Star	January 9, 2007	
HANN, Gladys Marie (CARR)	85 London UK / Richmond Hill Ontario	Toronto Star	May 26, 2007	

Canadian Obituary Index including Samuel A. Handley, previous owner of 6985 Second Line W.  
Source: TorontoObituaries.com

## OBITUARIES

SPC Had Only One Goal Scored Against Them

Pumpkin Parade At Lane Park

Cook Pork Well

**OBITUARY**

**SALE OF CANNED FOODS AT**

**YOU CAN ALWAYS CUT FOOD COSTS AT DOMINION**

**GUARANTEED QUALITY MEATS**

**LAMB SALE!**

**MIX EM or MATCH EM**

BEANS WITH PORK 1 lb. 49¢

CHOICE CORN 1 lb. 21¢

CHOICE PEAS 1 lb. 49¢

TOMATO JUICE 1 lb. 10¢

**4 TINS 59¢**

**BANANAS**

2 LBS. 25¢

**ORANGES**

65¢

**ONIONS**

33¢

**DOMINION WALLPAPER**

3.89

Smoked and cured pork such as ham should be cooked to 170 deg. F. on meat thermometer. The interior should be pink, juicy and tender.

**OBITUARY**

**MRS. ALICE HANDLEY**

In her 71st year, Mrs. Alice Handley died on October 26 at the South Peel Hospital. She was the wife of Samuel A. Handley, 6985 Second Line W., Cookville, Ont.

Mourning with her husband are three daughters: Ellen (Mrs. Andrew Henderson) of Cheltenham, Ont.; Mrs. Lundy Sutherland of British Columbia; and Mrs. Eric Laver of Toronto, and one son, Arthur, also of Toronto. Her sisters Mrs. George Francis of Trillia and Mrs. Sally Gibbs, of Ayr, Scotland, also survive.

Mrs. Handley was born in Ayr, Scotland, and came to Canada, settling in Ontario in 1912. She had made her home in the South Peel area for some 20 years.

Funeral service took place October 29 in the Fleury Funeral Chapel, Cookville, and interment followed in St. John's Anglican Cemetery. Rev. Mr. David K. Perry of Dixie Presbyterian Church was officiant.

Palbearers were John Currie, Glen McIntosh, Arthur Handley, Walter, Edward and Jack Harper.

**Village Reeve Endorses**

(Continued from Page 4)

provincial and dominion government to provide funds for housing.

## MEADOWVALE FAIR

## Meadowvale Fair - 1969

Meadowvale's residents still held enthusiasm and camaraderie for their Village over the years of growth and revolvment. The first country fair, founded by the Meadowvale Village Community Association, took place in 1969. It was held under the willow trees in the Meadowvale conservation area that became the Credit Valley Conservation Park in 1973, located north of the Village off Second Line West.

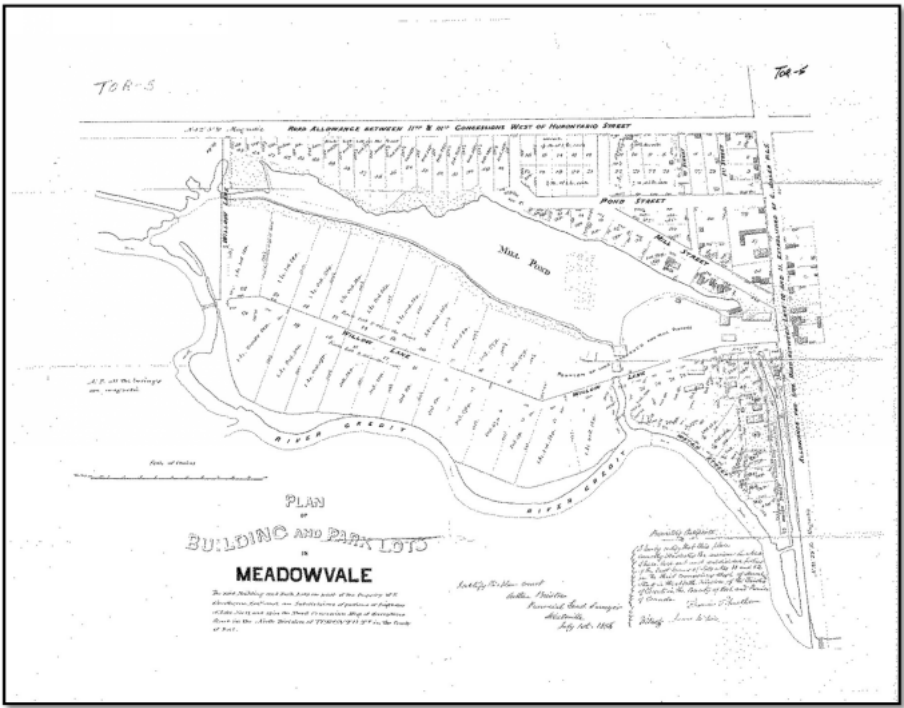
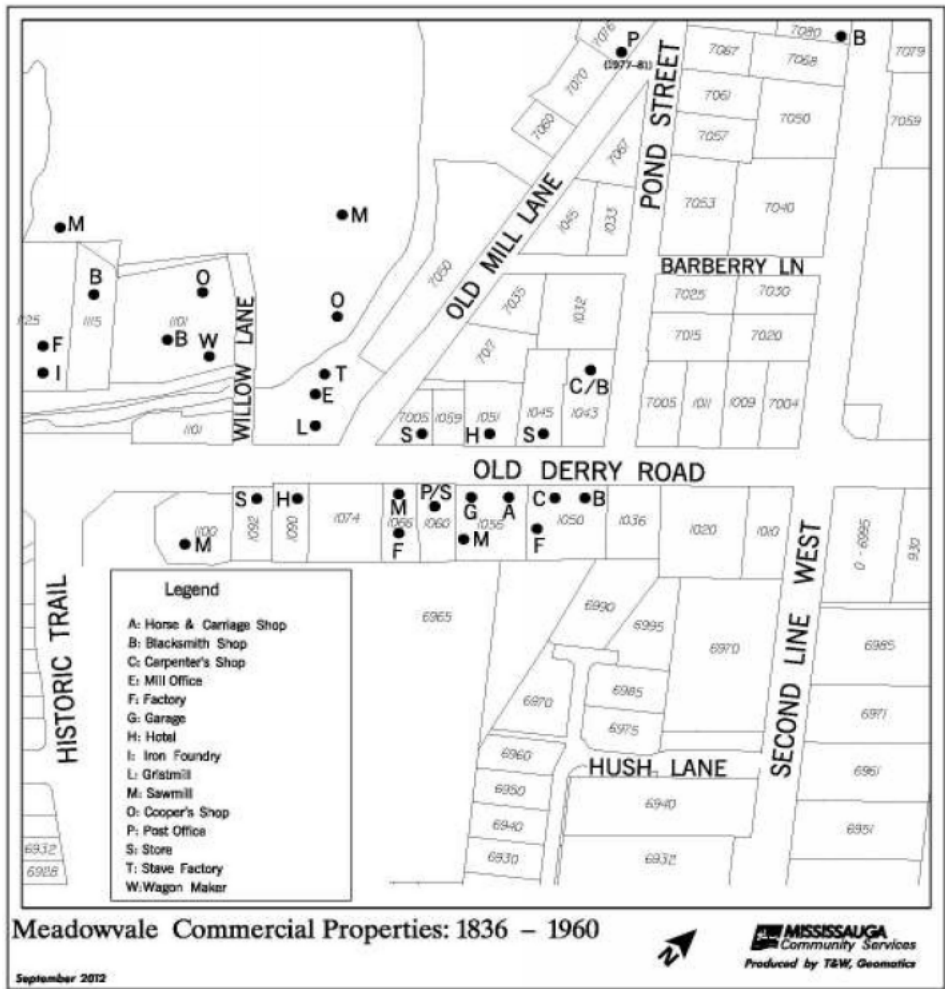
Much entertainment was enjoyed by the hundreds of people who came out. The games chairman was Bill Strachan and he oversaw the tug-of-war, races and other participating contests. The Streetsville Strutters and the Scottish Country Dancers, kilts bobbing, gave a lively show. A barbecue, which was tended by Basil Welch, brought forth burgers, hot dogs and corn on the cob, followed by delicious desserts that were contributed by Mr. and Mrs. Al Stewart, Jim Alexander and Mrs. Joan Geurts. A steer was provided by Ian Davidson and roasts were cooked in the ovens of some of the villagers and slabs of beef were served on a kaiser and sold for \$1.50. The Meadowvale Women's Institute had a Tea Tent. There was also a Craft Tent and various booths that added to the fund raising event. The evening concluded on a dance.

Clippings from THE WEEKLY featuring Alice Handley, wife of Samuel A. Handley, a previous owner of the home at 6985 Second Line W.  
Source: The Weekly, November 3, 1960  
<http://pub.canadiana.ca>

Clipping featuring William (Bill) Strachan a previous owner of the home at 6985 Second Line W.  
Source: 1850 - 1950 - Township of Toronto Centennial, Part 4 - 1950-2000  
[http://www.mississauga.ca/file/COM/9661\\_MeadowvaleBook\\_PartFour.pdf](http://www.mississauga.ca/file/COM/9661_MeadowvaleBook_PartFour.pdf)

6985 SECOND LINE W - HERITAGE IMPACT ASSESSMENT REPORT

RELATED MAPS



Meadowvale Commercial Properties: 1836-1960  
Source: Heritage Conservation District Plan, 2014  
Cultural Heritage Assessment of Meadowvale Village and Area

Bristow Survey, 1856  
Source: Heritage Conservation District Plan, 2014  
Cultural Heritage Assessment of Meadowvale Village and Area, Schedule B.2

## BIBLIOGRAPHY

### REFERENCES:

City of Mississauga - Heritage Conservation District Plan 2014  
 Cultural Heritage Assessment of Meadowvale Village and Area, Schedule B.2  
[http://www7.mississauga.ca/documents/culture/heritage/FINAL\\_Cultural\\_Heritage\\_Assessment\\_of\\_MV\\_and\\_Area\\_Schedule\\_2014.pdf](http://www7.mississauga.ca/documents/culture/heritage/FINAL_Cultural_Heritage_Assessment_of_MV_and_Area_Schedule_2014.pdf)  
<http://www.mississauga.ca/portal/discover/heritageconservationdistricts>

City of Mississauga - Heritage Conservation District Plan 2014  
 Property Inventory, Schedule B.1  
[http://www7.mississauga.ca/documents/culture/heritage/FINAL\\_MV\\_HCD\\_Property\\_Inventory\\_2014.pdf](http://www7.mississauga.ca/documents/culture/heritage/FINAL_MV_HCD_Property_Inventory_2014.pdf)  
<http://www.mississauga.ca/portal/discover/heritageconservationdistricts>

Meadowvale Heritage Conservation District Plan Review - Design Guidelines  
[http://www.mississauga.ca/file/COM/Powerpoint\\_presentation\\_-\\_March\\_7\\_\\_2013.pdf](http://www.mississauga.ca/file/COM/Powerpoint_presentation_-_March_7__2013.pdf)

Canadiana - Public Collections  
<http://pub.canadiana.ca/>

Mississauga Interactive Maps  
<https://www.mississauga.ca/portal/services/maps>

Township of Toronto Centennial - Part 4  
[http://www.mississauga.ca/file/COM/9661\\_MeadowvaleBook\\_PartFour.pdf](http://www.mississauga.ca/file/COM/9661_MeadowvaleBook_PartFour.pdf)

Heritage Mississauga - Meadowvale Village Brochure  
<https://www.heritagemississauga.com/assets/Meadowvale%20Village%20Heritage%20Tour%20Brochure%20-%20Final%202011.pdf>

Canadian Obituaries  
<https://www.canadianobituaries.com/toronto/52567-arthur-handley-january-26-2017.html>

### RESOURCES:

Land Registry Records,  
 Peel Land Registry Office

Ancestry.ca  
<https://www.ancestry.ca>

City of Mississauga, Heritage Planning  
<https://www.georgina.ca/living-here/planning-and-development/heritage-planning>



## ALEXANDER TEMPORALE CV

Alexander Louis Temporale, B.Arch., O.A.A., F.R.A.I.C., C.A.H.P.

### Education

University of Toronto, B.Arch.

### Background

Alexander Temporale has had a long history of involvement in heritage conservation, downtown revitalization, and urban design. As a founding partner of Stark Temporale Architects, Mr. Temporale was involved in a variety of restoration projects and heritage conservation studies, including: the Peel County Courthouse and Jail Feasibility Study, the Brampton Four Corners Study and the Meadowvale Village Heritage District Study. The study led to the creation of the first heritage district in Ontario.

His involvement and interest in history and conservation resulted in a long association with the heritage conservation movement, as a lecturer, resource consultant, and heritage planner. He was a member of the Brampton Local Architectural Conservation Advisory Committee, a director of the Mississauga Heritage Foundation, and chairman of the Mississauga LACAC Committee. As a member of LACAC, Alex Temporale was also a member of the Architectural Review Committee for Meadowvale Village. He is also a former Director of the Columbus Centre, Toronto and Visual Arts Ontario. Mr. Temporale has been a lecturer for the Ontario Historical Society on Urban Revitalization and a consultant to Heritage Canada as part of their "Main Street" program.

In 1982, Alexander Temporale formed his own architectural firm and under his direction the nature and scope of commissions continued to grow with several major urban revitalization studies as well as specialized Heritage Conservation District Studies. His work in this field has led to numerous success stories. The Oakville Urban Design and Streetscape Guidelines was reprinted and used for approximately 20 years. The study of the Alexander Homestead (Halton Region Museum Site) led to the Museum's rehabilitation and a significant increase

in revenue. The Master Plan reorganized the site and its uses, as well as facilitating future growth. During this time, Alex received numerous awards and his contribution to architecture was recognized in 2007 in becoming a Fellow of the Royal Architectural Institute of Canada. Many projects have become community landmarks, received awards or been published. These include Lionhead Golf Clubhouse, Brampton; the Emerald Centre, Mississauga; St. David's Church, Maple; Gutowski Residence, Shelburne; Martin Residence, Mississauga and Stormy Point, Muskoka, to name a few.

Mr. Temporale is recognized at the OMB as an expert in urban design and restoration architecture. He is a member of the advisory committee of Perspectives, a journal published by the Ontario Association of Architects. He is a frequent author on design issues. He has also authored numerous urban design studies and heritage studies for a variety of municipalities i.e. Brantford, Grimsby, Brampton, Flamborough and Burlington. The firm has been a recent recipient of the Lieutenant Governor's Award for Excellence in Conservation and the National Heritage Trust's Award for Heritage Rehabilitation of Oakville's historic Bank of Montreal Building. Below are other previous offices held:

### Past Offices

- > Director and Chair Communication Committee, CAHP
- > Jurist, 2010 Mississauga Urban Design Awards
- > Chairman, Mississauga Local Architectural Conservation Advisory Committee
- > Director, Visual Arts Ontario
- > President, Port Credit Business Association
- > Director, Brampton Heritage Board
- > Director, Mississauga Heritage Foundation
- > Director, Columbus Centre
- > Director, Villa Columbo, Toronto
- > Resource Consultant, Heritage Canada

#### Heritage Assessment and Urban Design Studies

- > 114 Balsam Drive Heritage Impact Assessment, Oakville
- > 332-338 Robinson St. Heritage Impact Assessment, Oakville
- > 104 Burnet St. Heritage Assessment, Oakville
- > High Park Forest School Retrofit Feasibility Study, Toronto
- > 2494 Mississauga Road Heritage Impact Assessment, Mississauga
- > 1187 Burnhamthorpe Road East Heritage Assessment, Oakville
- > 103 Dundas Street Heritage Assessment, Oakville
- > 3060 Seneca Drive Heritage Assessment, Oakville
- > 491 Lakeshore Road (Captain Morden Residence) Heritage Assessment, Oakville
- > 2347 Royal Windsor Drive Heritage Assessment, Oakville
- > 107 Main St. E. Heritage Assessment, Grimsby
- > 74 & 76 Trafalgar Road Heritage Assessment and Urban Design Brief, Oakville
- > 7005 Pond Street Heritage Assessment, Meadowvale
- > 7015 Pond Street (Hill House) Heritage Assessment, Meadowvale
- > 44 and 46 Queen Street South Heritage Assessment, Streetsville
- > 264 Queen Street South (Bowie Medical Hall) Heritage Assessment, Streetsville
- > Fred C. Cook Public School Heritage Assessment, Bradford West Gwillimbury
- > Harris Farm Feasibility Study, City of Mississauga
- > Benares Condition Assessment Report, City of Mississauga
- > Lyon Log Cabin Relocation, Oakville, Ontario
- > 42 Park Avenue Heritage Assessment, Oakville, Ontario
- > The Old Springer House Heritage Assessment, Burlington, Ontario
- > 2625 Hammond Road Heritage Impact Study, Mississauga, Ontario
- > 153 King Street West Heritage Assessment, Dundas, Ontario
- > Brampton Civic Centre Study, Brampton, Ontario
- > 139 Thomas Street Heritage Impact Study, Oakville, Ontario
- > Historic Alderlea Adaptive Reuse and Business Case Study, Brampton, Ontario
- > Trafalgar Terrace Heritage Impact Study, Oakville, Ontario
- > Binbrook Heritage Assessment, Glanbrook, Ontario

- > Fergusson Residence, 380 Mountainbrow Road, Burlington, Ontario, Heritage Assessment
- > Canadian Tire Gas Bar, 1212 Southdown Road, Mississauga, Ontario, Heritage
- > Donald Smith Residence, 520 Hazelhurst Road, Mississauga, Ontario, Heritage Assessment
- > Hannon Residence, 484 Brant Street, Burlington, Ontario, Heritage Assessment
- > Bodkin Residence, 490 Brant Street, Burlington, Ontario, Heritage Assessment
- > Fuller Residence, 8472 Mississauga Road, Brampton, Ontario, Heritage Assessment
- > 11953 Creditview Road, Chinguacousy Township, Brampton, Ontario Assessment
- > Historic Meadowvale Village Inventory/Heritage Assessment Study (Stark Temporale)
- > Brampton Four Corners Urban Design Study (Stark Temporale)
- > Erindale Village Urban Design Study (Stark Temporale)
- > Oakville Downtown Urban Design and Site Plan Guidelines Study
- > Burlington Downtown, Urban Design and Façade Improvement Study
- > Burlington East Waterfront Study
- > Victoria Park Square Heritage District Study, Brantford
- > Bullock's Corners Heritage Conservation District Study, Town of Flamborough
- > Brant Avenue Heritage Conservation District Study, Brantford
- > Urban Design Guidelines for Infill Development, Town of Oakville
- > 111 Forsythe, OMB Urban Design Consultant, Town of Oakville
- > Trafalgar Village Redevelopment, Urban Design Consultant, Town of Oakville
- > Eagle Ridge (Three Condominium Towers) Development, Urban Design Consultant
- > Trafalgar Market Redevelopment, Urban Design Consultant, Town of Oakville
- > St. Mildred Lightbourne Private School Expansion, Urban Design Consultant, Town of Oakville
- > OPP Academy (Art Deco Heritage Building), Feasibility Study, City of Brampton
- > Kennedy Road, Victorian Farmhouse Study, City of Brampton
- > Chisholm Estate Feasibility Study, City of Brampton
- > Urban Design Guidelines, Hurontario and 403, Housing for Ontario Realty Corporation, Mississauga
- > Urban Design Study Canadian General Tower Site, Oakville
- > Port Credit Storefront Urban Design Study (Townpride)
- > Port Credit Streetlighting Phases I and II, Lakeshore Road

## 6985 SECOND LINE W - HERITAGE IMPACT ASSESSMENT REPORT

- > Urban Design Study for the Town of Grimsby Downtown Area
- > Clarkson Village Community Improvement Study as a member of the Townpride Consortium
- > Richmond Hill Downtown Study, as a member of the Woods Gordon Consortium
- > Heritage Building, 108 – 116 Sparks Street, Ottawa, Feasibility Study for National Capital Commission
- > Niagara Galleries Project, Niagara-on-the-Lake, Design Concept/Feasibility Study
- > Aurora Library/Public Square Study (Townpride)
- > Oakville Dorval Glen Abbey Study of High Density Residential
- > Halton Regional Museum (Feasibility Study and Master Plan) Phase I construction including conversion of the Alexander Barn to Museum and Exhibits Building to Visitor Centre.

## Partial List of Heritage Restoration Projects

- > St Mark's Church Restoration/Rehabilitation, Hamilton
- > Pinchin Barn Foundation Repairs & Landscape Improvements, Mississauga
- > Stewart Memorial Church Heritage Grant Application Package, Hamilton
- > 126-128 Lakeshore Road East Façade Restoration, Oakville
- > Oakville Radial Railway Station, Contract Drawings, May construction start, Oakville
- > Old Springer House, Addition Design, Burlington
- > 505 Church and Wellesley, Schematic Design, Rehabilitation and Addition, Toronto
- > Adamson House Roof Repair, Mississauga
- > Restoration/Maintenance of 4 City of Mississauga Properties, Adamson Estate, Restoration Benares Historic House, Derry House and Chappell Estate
- > The Old Springer House Renovation and Replacement of Existing Banquet Hall, Burlington, Ontario
- > Historic Bank of Montreal Building, Restoration and Addition, Oakville, Ontario
- > Fergusson House Restoration, Burlington, Ontario
- > Bovaird House Window Restoration, Brampton, Ontario
- > Vickerman Residence Renovations Design, Oakville, Ontario
- > Ontario Agricultural Museum, Master Plan Revisions (Stark Temporale with Prof. Anthony Adamson)
- > Restoration of Lucas Farmhouse and Women's Institute (Stark Temporale with Prof. Anthony Adamson).
- > Backus Conservation Area, Master Plan of Historical Museum (Stark Temporale)
- > Peel County Courthouse & Jail Feasibility Study (Stark Temporale)
- > Port Credit Streetscape Improvements (Stark Temporale)
- > Miller Residence, Stone Farmhouse, Brampton (Stark Temporale)
- > Salkeld Residence, Brick, Late Victorian, Brampton (Stark Temporale)
- > Bridges Residence, Brick, Late Victorian, Brampton (Stark Temporale)
- > Graff Residence, Brick, Late Victorian, Brampton (Stark Temporale)
- > Sheridan Day Care Centre, Late Victorian Farmhouse (Stark Temporale)
- > St. Paul's Church Renovation/Restoration, Brampton (Stark Temporale)
- > McInnis Residence, Second Empire Style Renovation/Addition, Brampton (Stark Temporale)
- > Shore Residence, Main Street, Victorian Addition/Renovation Brampton (Stark Temporale)
- > Watts Residence, Late Victorian, Renovation and Addition, Brampton
- > Faculty Club Renovations and Interiors, Heritage Building, University of Toronto
- > Cawthra Elliot Estate Conference Centre (Feasibility Study; Restoration and Renovations), Mississauga
- > Springbank Centre for the Visual Arts, Renovation Phases I-IV, Mississauga
- > Wilcox Inn Renovations and Restoration, Mississauga
- > Chappel Riverwood Estate, Restoration and Alterations Concepts for residential use
- > Thomas Street Mews, Streetsville, conversion of existing heritage residence to shops
- > Owens-Baylay House, Mississauga, relocation and renovation to designated Century Farmhouse
- > Queen Street Store, Streetsville, exterior restoration and renovations/addition
- > Atchinson Residence, Brick Late Victorian, Brampton
- > Cameron Residence, Design Victorian, Brampton
- > Reid Residence, Victorian Farmhouse, Caledon
- > Stonehaven Farm, restoration of stone heritage building, Ajax
- > National Competition: Spark Street Mall (Honourable Mention)
- > Strathrobyn Feasibility Study and Restoration Project, Defence Canada, Toronto
- > Medical Arts Building, Toronto, Feasibility Study and Restoration of Art Deco Lobby





# City of Mississauga Memorandum



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Date: 2018/03/14

To: Chair and Members of Heritage Advisory Committee

From: Paul Damaso, Director, Culture Division

Meeting Date: 2018/04/10

Subject: Alterations to a Property designated under the Ontario Heritage Act:  
5576 Hurontario Street (Ward 5)

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This memorandum and its attachment are presented for HAC's information.

5576 Hurontario Street is designated under Part IV of the Ontario Heritage Act. Section 33 of the Ontario Heritage Act requires permission from Council to alter property designated under Part IV of the Act. The City designated portions of the subject property in 1978 (Britannia Schoolhouse), 1992 (Gardner-Dunton House) and 2001 (Britannia Farmhouse), and the entire farm property added to the municipal Heritage Register as a cultural heritage landscape in 2005.

Approval to move the Britannia Farmhouse, Conover Barn and Gardner-Dunton House was granted through approval of site plan application SP10/57 W5, subject to conditions placed on the heritage permit issued, including further review prior to construction, an archaeological assessment, resolution of site plan matters prior to relocation, a letter of credit, provision and approval of detailed plans for the building moves, and Peel District School Board (PDSB) agreement on de-designation and re-designation of the structures prior to and after their respective moves. The final condition of approval of the existing heritage permit is for the issuance of a subsequent heritage permit for a conservation plan and letter of credit to manage the relocated buildings and surrounding lands as informed by the 2010 Heritage Impact Statement report.

The lands are now subject to zoning and Official Plan Amendment OZ/OPA-17-8 W5, applying to re-zone the lands encompassing the Gardner-Dunton House, Britannia Farmhouse and Conover farm from Institutional to Mixed Use zoning to permit a PDSB redevelopment plan. This OPA and rezoning is in concordance with the prior site plan application in principle, with further details on implementation of this OPA and rezoning to be reviewed through site plan. An amended Heritage Impact Statement Report supporting this application is attached for your reference.

**Attachments**

Appendix 1: Amended Heritage Impact Statement Report

A handwritten signature in black ink, appearing to read "Paul Damaso". The signature is fluid and cursive, with the first name "Paul" and last name "Damaso" clearly distinguishable.

---

Paul Damaso, Director, Culture Division

Prepared by: Joe Muller, Supervisor, Heritage Planning

# BRITANNIA FARM HERITAGE IMPACT STATEMENT REPORT

PREPARED FOR THE PEEL DISTRICT SCHOOL BOARD AS PART OF SITE PLAN APPLICATION  
AS PART OF THE REDEVELOPMENT OF A PORTION OF LOT 3. CONCESSION 1 WEST OF HURONTARIO  
MARCH 24th, 2010; REVISED OCTOBER 12th, 2010, REVISED FEBRUARY 15th 2018

**KEARNS MANCINI ARCHITECTS INC.**



AERIAL VIEW OF PROPOSED DEVELOPMENT SITE





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2. Farm History Overview	<b>pg. 9</b>
3. Britannia Farmhouse Overview	<b>pg. 21</b>
4. Dunton House Overview	<b>pg. 39</b>
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6. Proposed Development Analysis and Strategy	<b>pg. 77</b>
7. Existing Site Description	<b>pg. 89</b>
8. Relocation Feasibility & Method	<b>pg. 101</b>
9.0 Proposed Site Description & Design Rational	<b>pg. 107</b>
10. Impact to Heritage & Mitigating Design Initiatives	<b>pg. 114</b>
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## Addendum 1 addressing the 2017 City of Mississauga Heritage Impact Assessment Terms of Reference

The purpose of this addendum to the Britannia Farm Heritage Impact Statement Report authored by Kearns Mancini Architects Inc. issued October 12<sup>th</sup>, 2010 (referred to, in the following, as the 2010 KMAI report) is in response to comments raised by the Heritage Planner in the Planning Application Status Report dated November 8<sup>th</sup>, 2017 read as follows:

*"The property is designated under the Ontario Heritage Act and included in the City's Cultural Landscape Inventory.*

*(See: [http://www5.mississauga.ca/pdfs/Cultural\\_Landscape\\_Inventory\\_Jan05.pdf](http://www5.mississauga.ca/pdfs/Cultural_Landscape_Inventory_Jan05.pdf).) As such, a Heritage Impact Assessment is required that meets both terms of reference posted at [www.mississauga.ca/heritageplanning](http://www.mississauga.ca/heritageplanning) under "Heritage Permits."*

*Current specific links are as follows:*

*[https://www7.mississauga.ca/documents/culture/heritage/HeritageImpactAssessment\\_TermsOfReference2017.pdf](https://www7.mississauga.ca/documents/culture/heritage/HeritageImpactAssessment_TermsOfReference2017.pdf) and*

*[https://www7.mississauga.ca/documents/culture/heritage/CulturalLandscapeHIA\\_TermsOfRef2017.pdf](https://www7.mississauga.ca/documents/culture/heritage/CulturalLandscapeHIA_TermsOfRef2017.pdf).*

*January 19, 2018 The Heritage Impact Assessment addendum remains outstanding. As the heritage buildings are still on the subject property, the amendment needs to provide for their maintenance in place and compatible uses."*

This addendum addresses each component of the 2017 City of Mississauga HIA Terms of Reference in turn, with summaries from the original contents of the 2010 KMAI report associated with each item or references where the relevant information is found in that report.

It should be noted that this application to amend the Official Plan is seeking a "Residential Mixed-Use" designation, whereas the 2010 KMAI report is based on a commercial development proposal. The PDSB currently does not have a development concept plan for the subject site. A concept plan will be prepared and submitted to the City staff in future application processes once a developer is engaged in this process.

The intent of the revised scheme is the same as the development shown in the 2010 report with a portion of the property to South East being developed with medium to high density buildings. The intent is still to relocate the Gardner Dunton House, the Britannia Farmhouse and the Conover Barn as a heritage enclave approximately 150 meters northward to be more associated with the Britannia Schoolhouse, providing a larger buffer from the proposed development and to create an entry to the property aligned with Barondale Drive.

Throughout this addendum components of the City's HIA terms of reference are shown in italics and blue. This applies also to the Parks Canada "Standards and Guidelines for the Conservation of Historic Places in Canada" and the Ontario Ministry of Cultures "Eight Guiding Principles in the Conservation of Historic Properties" both of which are addressed in this document.

The 2017 City of Mississauga HIA Terms of Reference are as follows:

*"2.0 The following minimum requirements will be requested in a Heritage Impact Assessment:"*

*"2.1 A detailed site history to include a listing of owners from the Land Registry Office, and a history of the site use(s). However, please note that due to the Freedom of Information and Protection of Privacy Act, current property owner information must not be included. As such, Heritage Planning will request that current property owner personal information be redacted to ensure the reports comply with the Act."*

This has been described in the 2010 KMAI report under items 2.3 'Origins and Historical Overview' pages 13 to 19, as well as for each of the existing structures on the property i.e. the Britannia Farmhouse item 3.1 pages 25 and 26, the Gardner Dunton House item 4.1 pages 40 and 41 and the Conover Barn item 5.1 pages 60 and 61

*"2.2 A complete listing and full written description of all existing structures, natural or man-made, on the property. Specific mention must be made of all the heritage resources on the subject property which include, but are not limited to: structures, buildings, building elements (like fences and gates), building materials, architectural and interior finishes, natural heritage elements, landscaping, and archaeological resources. The description will also include a chronological history of the structure(s) developments, such as additions, removals, conversions, alterations etc. The report will include a clear statement of the conclusions regarding the significance and heritage attributes of the cultural heritage resource. A location map must be provided, with indications of existing land use, zoning, as well as the zoning and land use of adjacent properties."*

Each of the affected heritage structures on the Britannia Farm Property are analyzed in the existing report addressing the requirements listed in item 2.2. Each building is described in its own section listed as follows:

3.0 Britannia Farmhouse - pages 21-30  
 4.0 Gardner Dunton House – pages 39 to 50  
 5.0 Conover Barn - pages 59 to 66

The Britannia Schoolhouse and the remnant rail bed from the Suburban Electric Radial Railway was not included in detail in the original report since both are remote and unaffected by any of the development proposals considered for the site.

*"2.3 Documentation of the existing conditions related to the heritage resource will include: Current legible internal photographs, external photographs from each elevation. Please note that due to the Freedom of Information and Protection of Privacy Act, photographs should not contain people or highlight personal possessions. The purpose of the photographs is to capture architectural features and building materials. Measured drawings, including elevations, floor plans, and a site plan or survey, at an appropriate scale for the given application, indicating the context in which the heritage resource is situated. Historical photos, drawings, or other archival material that may be available or relevant. The applicant must provide a description of all relevant municipal or agency requirements which will be applied to the subject property, and when implemented may supplement, supersede and/or affect the conservation of heritage resources (i.e. Building Code requirements, Zoning requirements, Transportation and Works requirements)"*

For each of the three heritage structures affected by the proposed developments, heritage and current (2009) photographs along with measured architectural drawings are provided as per each building. Due to proximity and relation to each other, all 3 buildings, are shown on a site plan in Figure 2.12

27 historic and current photographs for the Britannia Farmhouse are found in Figures 3.1 through to 3.27. 11 measured architectural drawings (AutoCAD plans sections and elevations) are found in figures 3.28 through to 3.38.

37 historic and current photographs for the Gardner Dunton House are found in Figures 4.1 through to 4.39. 10 measured architectural drawings ((AutoCAD plans sections and elevations) are found in figures 3.40 through to 3.49.

20 historic and current photographs for the Conover Barn are found in Figures 5.1 through to 5.20. 13 measured architectural drawings (AutoCAD plans sections, elevations and 3d models) are found in figures 5.21 through to 5.33.

Regarding relevant municipal or agency requirements, the Britannia Farm Property, the Britannia Schoolhouse, the Britannia Farmhouse and the Gardner Dunton House are designated under by-law 634-78, bylaw 166-92 and bylaw 0442-2001. The listed heritage attributes are included in the bylaw and appended to this addendum. The entire property was also designated a 'Cultural Landscape' in 2005. It is currently zoned as Institutional (education) with the buildings being used as adjunct educational facilities and offices to the PDSB facility at Matheson and Hurontario.

*"2.4 An outline of the proposed development, its context and how it will impact the heritage resource and neighbouring properties will be provided. This may include such issues as the pattern of lots, roadways, setbacks, massing, relationship to natural and built heritage features, recommended building materials, etc. The outline should address the influence of the development on the setting, character and use of lands on the subject property and adjacent lands. If the property forms part of a Heritage Conservation District, the proposal must be analyzed in terms of its compliance with the Heritage Conservation District Plan. Note: An architectural drawing indicating the subject property streetscape with properties to either side of the subject lands must be provided. The purpose of this drawing is to provide a schematic view of how the new construction is oriented and integrates with the adjacent properties from a streetscape perspective. The drawing must therefore show, within the limits of defined property lines, an outline of the building mass of the subject property and the existing neighbouring properties, along with significant trees or any other landscape or landform features. A composite photograph may accomplish the same purpose with a schematic of the proposed building drawn in."*

The proposed development from the original report has changed from a high density commercial development to a medium high density mixed use residential development and will be dealt with through a separate HIA application.

This forthcoming development proposal still requires a rezoning, in this case from institutional usage to mixed use residential.

The essential modifications to the heritage buildings and the site, as reviewed in the 2010 KMAI report remain the same. It is still the intent is to develop the South East portion of the property while relocating the Britannia Farmhouse, the Gardner Dunton House and the Conover Barn north to be more associated with the Britannia School House and the PDSB facilities.

This allows for the extension of Barondale Drive through the property creating a main intersection on Hurontario Street and creating a primary street access to the midpoint of the property. It also clearly separates the rural enclave of buildings so they can maintain a rural setting as viewed West from Hurontario, North from the Barondale extension and most importantly from the Britannia school house and school yard.

The analysis of the 2010 proposed development is detailed in Chapter 6.0 of the 2010 KMAI report pages 76 to 87 addressing components of terms of reference



item 2.4 including architectural representation of the proposed development in context to the neighbourhood and the heritage buildings (Figures 6.2 to 6.23).

In Chapter 7.0 a fuller description of the existing site context and its defining elements is provided to establish character defining aspects which are to be preserved or replicated in the overall site plan development

In chapter 8.0 relocation technical feasibility of the 3 buildings is discussed since relocation is the major interventional component of the development.

Chapter 9 addresses the overall site strategy and includes architectural site plans and elevations demonstrating the effect of the relocated heritage buildings and the scale and relationship to the proposed development to the South. Comparative before and after photo montages demonstrate the minimal impact the relocation has on the overall site and effect on the heritage building enclave.

*“2.5 Full architectural drawings, by a licensed architect or accredited architectural designer, showing all four elevations of the proposed development must be included for major alterations and new construction.”*

Full elevations are provided comparing the existing condition of the heritage building enclave to the relocated enclave as it relates to the development to the South and to the Britannia School House to the North (figures 6.25, 9.4 and 9.5).

*“2.6 An assessment of alternative development options and mitigation measures that should be considered in order to avoid or limit the negative impact on the cultural heritage resources. Methods of minimizing or avoiding negative impact on a cultural heritage resource as stated in the Ontario Heritage Tool Kit (Info Sheet #5, Ministry of Culture) include, but are not limited to:*  
*Alternative development approaches Isolating development and site alteration from the significant built and natural heritage features and vistas*  
*Design guidelines that harmonize mass, setback, setting and materials*  
*Limiting height and density*  
*Allowing only compatible infill and additions*  
*Reversible alterations*  
*These alternate forms of development options presented in the Heritage Impact Assessment must be evaluated and assessed by the heritage consultant writing the report as to the best option to proceed with and the reasons why that particular option has been chosen.”*

Various test plan options were explored by the development agency as was shown in Figures 6.2 to 6.7. Context rendered views were developed to explore the impact of development adjacent to the heritage buildings when left in context (figures 6.8 to 6.11). 3d shadow studies were explored looking at the impact of development with the heritage buildings left insitu (figures 6.12 to 6.23).

The target density of the commercial development had been set for financial viability of the project and could not offer amenable sized structures scaled to that of the heritage buildings. The scale issue coupled with the need to create a viable road entry off Hurontario (giving the residential community to the East side of Hurontario a much-needed controlled intersection) and the desire to maintain the heritage enclave in a rural setting, lead to the direction of relocation. This is explained in Chapters 9 and 10.

*“2.7 A summary of conservation principles and how they will be used must be included. The conservation principles may be found in publications such as: Parks Canada – Standards and Guidelines for the Conservation of Historic Places in Canada; Eight Guiding*

*Principles in the Conservation of Historic Properties, Ontario Ministry of Culture. (Both publications are available online.)"*

The Parks Canada Standards and Guidelines specifically for buildings is listed below with responses to each:

***"Standards and Guidelines for the Conservation of Historic Places in Canada pertaining to historic buildings"***

***"Understanding*** *the exterior form and how it contributes to the heritage value of the historic building."*

This has been adequately covered in Chapters 2 through 5 as well as the heritage designation statements appended to this document.

***"Understanding*** *the design principles used by the original designer or builder, and any changes made to the exterior form over time."*

This has been adequately covered in Chapters 2 through 5.

***"Documenting*** *the building's exterior form before undertaking an intervention, including the form and massing, and views, sunlight and natural ventilation patterns. Undertaking an intervention that affects the building's exterior form without first documenting building, site and setting relationships."*

This has been adequately covered in Chapters 2 through 5.

***"Assessing*** *the condition of the building's exterior form early in the planning process so that the scope of work is based on current conditions."*

This has been adequately covered in Chapters 2 through 5.

***"Protecting*** *and maintaining elements of the building's exterior form through cyclical or seasonal maintenance work."*

This is the commitment of the PDSB.

***"Retaining*** *the exterior form by maintaining proportions, colour and massing, and the spatial relationships with adjacent buildings."*

This is being maintained after the relocation.

***"Stabilizing*** *deteriorated elements of the exterior form by using structural reinforcement and weather protection, or correcting unsafe conditions, as required, until repair work is undertaken. Removing deteriorated elements that could be stabilized or repaired."*

At the time of the 2010 KMAI report, the buildings did not require extensive stabilization and only minor repair since they were in use. When relocated their foundations will be upgraded to correct some settlement and water infiltration.

***"Protecting*** *adjacent character-defining elements from accidental damage or exposure to damaging materials during maintenance or repair work."*

The buildings will be reestablished in their current arrangement and status (without modification).

***"Documenting*** *all interventions that affect the exterior form and ensuring that the documentation is available to those responsible for future interventions."*

Full documentation will be performed.

*“Reinstating the exterior form by recreating missing or revealing obscured parts to re-establish character-defining proportions and massing.”*

All character defining elements will be maintained or reestablished in the relocation.

The Ministry’s 8 guiding principles for conservation are listed below with responses to each:

**Eight Guiding Principles in the Conservation of Historic Properties**

**“1. RESPECT FOR DOCUMENTARY EVIDENCE:**

*Do not base restoration on conjecture. Conservation work should be based on historic documentation such as historic photographs, drawings and physical evidence.”*

Historic documentation was limited mainly consisting of photographs maps and writings. Full onsite review, photographic documentations and measured drawings compiled a comprehensive picture of the buildings and their condition.

**“2. RESPECT FOR THE ORIGINAL LOCATION:**

*Do not move buildings unless there is no other means to save them. Site is an integral component of a building or structure. Change in site diminishes cultural heritage value considerably.”*

2 of the 3 buildings were relocated to this site in 1989 but have developed a cultural value in their current association and arrangement. The development density and transportation viability make the relocation of the enclave the most viable option for maintaining the cultural landscape of the 3 buildings while strengthening their historic connection to the Britannia School House.

**“3 RESPECT FOR HISTORIC MATERIAL:**

*Repair/conservate -rather than replace building materials and finishes, except where absolutely necessary. Minimal intervention maintains the heritage content of the built resource.”*

The original building materials (as per 1989 renovations) for all three buildings will be maintained except for the foundations which will be veneer clad in the original rubble stone foundation material.

**“4. RESPECT FOR ORIGINAL FABRIC:**

*Repair with like materials. Repair to return the resource to its prior condition, without altering its integrity.*

The original building fabric for all three buildings will be maintained.

**“5. RESPECT FOR THE BUILDING’S HISTORY:**

*Do not restore to one period at the expense of another period. Do not destroy later additions to a building or structure solely to restore to a single time period.*

The 1989 additions and rebuilt areas will be maintained.

**“6. REVERSIBILITY:**

*Alterations should be able to be returned to original conditions. This conserves earlier building design and technique e.g. when a new door opening is put into a stone wall, the original stones are numbered, removed and stored, allowing for future restoration.*

Other than their new location, no alterations are planned.

**“7. LEGIBILITY:**

*New work should be distinguishable from old. Buildings or structures should be recognized as products of their own time, and new additions should not blur the distinction between old and new.*

No additions or alterations are proposed. The buildings will maintain their legibility and relationship as they are.

**“8. MAINTENANCE:**

*With continuous care, future restoration will not be necessary. With regular upkeep, major conservation projects and their high costs can be avoided.*

The PDSB has and will continue to maintain the buildings and keep them fully operational for their education programs.

*“2.8 Proposed demolition/alterations must be explained as to the loss of cultural heritage value interests in the site and the impact on the streetscape and sense of place.”*

The buildings will be maintained without alteration other than relocation. The report discusses the negligible loss of cultural heritage value countered with the beneficial effects because of the relocation. The 2010 KMAI report visually demonstrates the minimal impact the relocation will have on the streetscape (figures 10.1 to 10.4 and 10.6 to 10.8).

*“2.9 When a property cannot be conserved, alternatives will be considered for salvage mitigation. Only when other options can be demonstrated not to be viable will options such as relocation, ruinification, or symbolic conservation be considered. Relocation of a heritage resource may indicate a move within or beyond the subject property. The appropriate context of the resource must be considered in relocation. Ruinification allows for the exterior only of a structure to be maintained on a site. Symbolic conservation refers to the recovery of unique heritage resources and incorporating those components into new development or using a symbolic design method to depict a theme or remembrance of the past. All recommendations shall be as specific as possible indicating the exact location of the preferred option, site plan, building elevations, materials, landscaping, and any impact on neighbouring properties, if relevant.”*

Relocation is the proposed solution for this development with the intent of maintaining the buildings in their current configuration and orientation and maintaining the visual relationship to Hurontario. The surrounding plantings fence lines and other rural farm structures will be recreated at the new location which is still on the same property. Intensive buffer planting is recommended to further separate the new development from the heritage enclave. It was recommended that a memory piece at the existing location be established and incorporated into the landscaping of the proposed development.

**“3.0 Summary Statement and Conservation Recommendations**

*The summary should provide a full description of:*

*The significance and heritage attributes of the cultural heritage resource, including the reference to a listing on the Heritage Register, or designation by-law if it is applicable “*

The Britannia Farm Property, Britannia Schoolhouse, the Britannia Farmhouse and the Gardner Dunton House are designated under by-law 634-78, bylaw 166-92 and bylaw 0442-2001. The listed heritage attributes are included in the bylaw and appended to this addendum. Further descriptions of the Britannia Farmhouse, the



Gardner Dunton House and the Conover Barn are contained in the 2010 KMAI report Chapters 2 through 5.

*"The identification of any impact that the proposed development will have on the cultural heritage resource "*

This listed in Chapter 10 of the 2010 KMAI report.

*"An explanation of what conservation or mitigative measures, or alternative development, or site alteration approaches are recommended "*

This listed in Chapter 10 of the 2010 KMAI report.

*"Clarification as to why conservation or mitigative measures, or alternative development or site alteration approaches are not appropriate:*

This listed in Chapter 6 of the 2010 KMAI report

*"4.0 Mandatory Recommendation  
The consultant must write a recommendation as to whether the subject property is worthy of heritage designation in accordance with the heritage designation criteria per Regulation 9/06, Ontario Heritage Act. Should the consultant not support heritage designation then it must be clearly stated as to why the subject property does not meet the criteria as stated in Regulation 9/06."*

The property and associated buildings (except for the Conover Barn) are already designated.

*"The following questions must be answered in the final recommendation of the report: "*

*"Does the property meet the criteria for heritage designation under the Ontario Regulation 9/06, Ontario Heritage Act?"*

The property and associated buildings (except for the Conover Barn) are already designated.

*"If the subject property does not meet the criteria for heritage designation then it must be clearly stated as to why it does not "*

The property and associated buildings (except for the Conover Barn) are already designated.

*"Regardless of the failure to meet criteria for heritage designation, does the property warrant conservation as per the definition in the Provincial Policy Statement:  
Conserved: means the identification, protection, use and/or management of cultural heritage and archaeological resources in such a way that their heritage values, attributes and integrity are retained. This may be addressed through a conservation plan or heritage impact assessment."*

The report clearly recommends conservation and of the designated structures and the non-designated Conover Barn. Recommend measures for relocation and reuse are covered in Chapters 9 and 10 of the 2010 HIA report. It is recommended that a condition assessment be performed on all the heritage buildings (condition assessment for the 2010 HIA report was done in 2009)

*"Please note that failure to provide a clear recommendation as per the significance and direction of the identified cultural heritage resource will result in the rejection of the Heritage Impact Assessment."*

**“5.0      Qualifications**

*The qualifications and background of the person completing the Heritage Impact Assessment will be included in the report. The author must be a qualified heritage consultant by having Professional standing with the Canadian Association of Heritage Professionals (CAHP) and/or clearly demonstrate, through a Curriculum Vitae, his/her experience in writing such Assessments or experience in the conservation of heritage places. The Assessment will also include a reference for any literature cited, and a list of people contacted during the study and referenced in the report.”*

Qualification of the author are contained in Chapter 12 of the 2010 HIA report.

## Addendum 2 addressing the 2017 City of Mississauga's Cultural Landscapes Term of Reference

The purpose of this addendum to the Britannia Farm Heritage Impact Statement Report authored by Kearns Mancini Architects Inc. issued October 12<sup>th</sup>, 2010 (referred to, in the following, as the 2010 KMAI report) is in response to comments raised by the Heritage Planner in the Planning Application Status Report dated November 8<sup>th</sup>, 2017 read as follows:

*"The property is designated under the Ontario Heritage Act and included in the City's Cultural Landscape Inventory.*

*(See: [http://www5.mississauga.ca/pdfs/Cultural\\_Landscape\\_Inventory\\_Jan05.pdf](http://www5.mississauga.ca/pdfs/Cultural_Landscape_Inventory_Jan05.pdf).) As such, a Heritage Impact Assessment is required that meets both terms of reference posted at [www.mississauga.ca/heritageplanning](http://www.mississauga.ca/heritageplanning) under "Heritage Permits."*

*Current specific links are as follows:*

*[https://www7.mississauga.ca/documents/culture/heritage/HeritageImpactAssessment\\_TermsOfReference2017.pdf](https://www7.mississauga.ca/documents/culture/heritage/HeritageImpactAssessment_TermsOfReference2017.pdf) and*

*[https://www7.mississauga.ca/documents/culture/heritage/CulturalLandscapeHIA\\_TermsOfRef2017.pdf](https://www7.mississauga.ca/documents/culture/heritage/CulturalLandscapeHIA_TermsOfRef2017.pdf).*

*January 19, 2018 The Heritage Impact Assessment addendum remains outstanding. As the heritage buildings are still on the subject property, the amendment needs to provide for their maintenance in place and compatible uses."*

This addendum addresses each component of the 2017 City of Mississauga Terms of Reference for Cultural Landscapes in turn, with summaries from the original contents of the 2010 KMAI report associated with each item or references where the relevant information is found in that report.

It should be noted that this application to amend the Official Plan is seeking a "Residential Mixed-Use" designation, whereas the 2010 KMAI report is based on a commercial development proposal. The PDSB currently does not have a development concept plan for the subject site. A concept plan will be prepared and submitted to the City staff in future application processes once a developer is engaged in this process.

The intent of the revised scheme is the same as the development shown in the 2010 report with a portion of the property to South East being developed with medium to high density buildings. The intent is still to relocate the Gardner Dunton House, the Britannia Farmhouse and the Conover Barn as a heritage enclave approximately 150 meters northward to be more associated with the Britannia Schoolhouse, providing a larger buffer from the proposed development and to create an entry to the property aligned with Barondale Drive.

Throughout this addendum, components of the City's terms of reference are shown in italics and blue. Note that only the sections indicated in the 2005 Cultural Landscape Inventory specific to the Britannia Farm listing (listing L-AG-3 attached in the appendices) will be addressed in this document.

2014 City of Mississauga Cultural Landscape Terms of Reference are as follows:

*"General Requirements include:"*

*"A location map"*

This is shown in Figure 2.1 of the 2010 KMAI report

*“A site plan drawing/survey of existing conditions, to include buildings, structures, roadways, driveways, drainage features, trees and tree canopy, fencing, and topographical features “*

This is shown in Figures 2.12 and 2.16 of the 2010 KMAI report

*“A written and visual inventory (legible photographs – we suggest no more than two per page) of all elements of the property that contribute to its cultural heritage value, including overall site views. For buildings, internal and external photographs and measured floor plans to scale are also required. Please note that due to the Freedom of Information and Protection of Privacy Act, photographs should not contain people or highlight personal possessions. The purpose of the photographs is to capture architectural features and building materials.”*

This has been provided for each of the heritage structures on site and for the farm itself in the following chapters:

Chapter 3.0 – The Britannia Farmhouse  
Chapter 4.0 – The Gardner Dunton House  
Chapter 5.0 – the Conover Barn  
Chapter 7.0 – The Farm

Note: The Britannia Schoolhouse was not part of the 2010 HIA in that it was not affected by the proposed development.

*“A site plan drawing and elevations of the proposed development For cultural landscapes or features that transcend a single property, a streetscape measured drawing is required, in addition to photographs of the adjacent properties “*

The proposed development is fully illustrated in Chapters 6.0 and Chapter 9.0

*“Qualifications of the author completing the report”*

Author qualifications are listed in Chapter 12.0

*“The City reserves the right to require further information, or a full HIA. These terms of reference are subject to change without notice.”*  
*“Addressing the Cultural Landscape or Feature Criteria Cultural Heritage Landscape Inventory Heritage Impact Assessments must demonstrate how the proposed development will conserve the criteria that render it a cultural heritage landscape and/or feature. Each cultural heritage landscape and feature includes a checklist of criteria. The Heritage Impact Assessment need only address the checked criteria for the pertinent cultural heritage landscapes or features. (Please note: some properties constitute more than one cultural heritage landscape.) Criteria include the following.”*

*“Landscape Environment”*

*“scenic and visual quality”*

*“natural environment”*

*“horticultural interest”*

*“landscape design, type and technological interest”*

*“Built Environment”*

*“aesthetic/visual quality”*

*“consistent with pre World War II environs”*

*“consistent scale of built features”*

*“unique architectural features/buildings”*

*“designated structures”*



*“Historical Associations”**“illustrates a style, trend or pattern”**“direct association with important person or event”**“illustrates an important phase of social or physical development”**“illustrates the work of an important designer”**“Other”**“historical or archaeological interest”**“outstanding features/interest”**“significant ecological interest”**“landmark value”*

The highlighted items are the ones indicated as applicable to the Britannia Farm. The numbered and expanded descriptions of these criteria have been taken from Cultural Landscape Inventory document (pages 13 to 16) with comments addressing each:

*“4.1 Landscape Environment”**“4.1.2 Natural Environment”*

*“Natural history interest can include such features as the remnants of glacial moraines, shoreline features of former water courses and lakes, and concentrations of distinct features such as specific forest or vegetation types or geological features. Remnants of original pre-settlement forests would fall into this category.”*

The farm site contains a small natural creek tied to the Cooksville Creek system. The hardwood forest to the West is second or third grown hardwood largely Maple. The development proposed in the 2010 KMAI report had minimal effect on these natural features

*“4.1.4 Landscape design, type and technological interest”*

*“This includes complete landscapes that were designed for a specific use or single purpose. These landscapes are characterized by their design intent or urban function i.e. stormwater management. These landscapes are valued in the community by association of use and/or contribution to the visual quality of the community.”*

The land usage was and remains farmland and has been consistently in use since the early 1800s as a rental property to provide funding for the Britannia School. The development proposed in the 2010 KMAI report would reduce the farmland area by 20 – 25 % but would maintain and intensify the usage of the remaining property for education about history, rural life and nature

*“4.2 Built Environment”**“4.2.1 Aesthetic/visual quality”*

*“This quality may be both positive (as resulting from such factors as a good design or integration with site and setting) or negative (being visually jarring or out of context with the surrounding buildings or landscape or of utilitarian nature on such a scale that it defines its own local character i.e. an industrial complex). The identification is based on the consistent level of the aesthetic and visual quality of both architecture and landscape architecture and may include noted award winning sites and more modest structures of unique quality or those sites having association with similar structures in other cities and regions.”*

The farm property’s visual quality is that of a well-defined rural field and bushlot landscape with an enclave interrelated heritage designated structures seen and experienced against a backdrop of residential and commercial development. The development proposed in the 2010 KMAI report would reduce some of the farmed fields, the wood lot would be maintained, and the heritage enclave of buildings would be relocated but maintained in their current configuration.

**“4.2.2 Consistent with pre-World War II environs”**

*“At a basic level, early settlements usually retain their settlement patterns in the form of roads and large tree plantings. In some instances, stagnation of economic activity allows some locations to remain relatively unchanged with greater potential of restoration decades later. The completeness of the original built features can create a zone or area which allows visitors or inhabitants to understand the context of a much earlier period in the City. Such areas may be residential, commercial or industrial.”*

The property is consistent with pre-WW II and even WW I environs, however the 2 of the 4 heritage buildings on the site were relocated there in 1989 as part of an educational development for the PDSB. This grouping of buildings, although somewhat contrived, strongly relate to the rural impression and interpretive value of the site. The wood lot is the other environ having links to pre-WWII settlement patterns.

**“4.2.3 Consistent scale of built features”**

*“Pleasing design usually is associated with a consistent scale of buildings and landscapes which complement each other visually. Other zones, although not visually pleasing, may have a consistent size and shape of structures due to use or planning constraints. Such groupings may include housing, commercial and industrial collections of buildings with the key criteria being similarity of scale.”*

The Britannia farm buildings are consistent in size scale and relative age and rural history. Their association on site is not historical but supportive of a historic past. The development proposed in the 2010 KMAI report would be out of scale if the existing heritage enclave were to remain amongst the development. Hence the strategy to relocate and replicate the enclave to the North to provide enough buffer between the new development and the heritage enclave.

**“4.2.4 Unique architectural features/buildings”**

*“Specific sites or portions of specific buildings may have features which are unusual, distinctive or of landmark significance. These may be quite modest in the overall context of the community but of local interest.”*

The Gardner Dunton house is identified in its designation description as being a rare example of Georgian Revival architecture. The Britannia Farmhouse is a noted example of Ontario Gothic Revival Farm House which, while not rare, has been designated.

**“4.2.5 Designated structures”**

*“Designation of an individual building or district under the Ontario Heritage Act should trigger inclusion within the database.”*

The Britannia Schoolhouse, the Britannia Farmhouse and the Gardner Dunton House are designated structures and are on the database. The listing descriptions are included in this addendum

**“4.3 Historical Associations”**

**“4.3.1 Illustrates a style, trend or pattern”**

*“Landscapes and buildings, as well as transportation and industrial features in any community, do not develop in isolation from the same forces elsewhere in the world. For each feature, whether a university campus, residential landscape, railway or highway bridge, building type or an industrial complex, each has a rich story. The degree to which a specific site is a representative example of a specific style, trend or pattern will require careful consideration in determining its relevance to the inventory.”*

The trend or pattern of rural development is the primary feature in the Britannia Farm property both from the style and construction of the associated buildings to the relationship of farm fields, fence rows and bushlot. While largely a recreation, the enclave facilitates an understanding of past farm life. The development proposed in the 2010 KMAI report would maintain that understanding of trend or pattern.

*“4.3.2 Direct association with important person or event”*

*“Some sites are rather simple or prosaic in nature. However, great events can happen in a field or in a hut. Famous persons may inhabit or major events may happen in unexpected locations. Preservation of such sites is important to the public's understanding of history and of itself.”*

The property is directly associated with the 1833 granting of the 200 acre parcel of land to then school trustees William Thompson, Reverend McGrath and Joseph Gardner by King William the IV as a trust for the purposes of education. The PDSB has and continues to utilize the property for not just financial support for education but it is an active field site for classes in history, archeology and environment. The development proposed in the 2010 KMAI report endeavors to maintain and enhance that usage.

*“4.3.3 Illustrates an important phase of social or physical development*

*A site may be evocative or representative of a phase or epoch in the development of the City. Such remnants provide context for an on-going understanding of the development of the community.”*

The property represents the beginnings public education in Upper Canada. For 185 years it remains one of the oldest single held properties in Mississauga uniquely preserving an original school as well as the rural landscape that support the school financial in the past as well as a rural and natural microcosm for education.

*“4.4 Other”*

*“4.4.1 Historical or archaeological interest - cultural heritage resources associated with pre-historical and historical events.”*

While pre-historical cultural structures are not evident on the site, the historic interest in the transfer of lands and the founding of the Britannia school stand as a significant event that had clear impact in the development of Upper Canada.

*“4.4.2 Outstanding features/interest - a one-of-a-kind feature that is set apart from other similar landscapes or features because of its context or some other special quality i.e. the first of its kind or the acknowledged best of its kind.”*

The Gardner Dunton House is acknowledged as a rare example of Colonial revival architecture and only one of two within Mississauga. While it has been relocated and as part of the 2010 Development proposal will be relocated, the essential house form and original fabric remains significant.

*“\*For cultural landscapes or features noted for their natural environment (i.e. checked off in the Cultural Landscape Inventory document), and when also required as part of the Planning process, a copy of a certified arborist's report will be included as part of the scope of the Heritage Impact Assessment.”*

An arborists study was not part of the mandate for the 2010 KMAI report.

## **Appendices**

City of Mississauga's Heritage Listing Description for Britannia Farm Property and Designated Structures

The City of Mississauga's Cultural Landscape Inventory listing for the Britannia Farm



**Property Information**

Mississauga's heritage, which extends over 10,000 years, includes archaeological resources, numerous residential, commercial and industrial buildings, views, vistas, ridge lines, scenic routes and a variety of natural heritage properties.

To view details about the inventory item, please click on the INV # link.

Property Details	Zoning Information	Building Permits	Development Applications	Committee of Adjustment	<b>Heritage</b>	Map It
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**PROPERTY HERITAGE DETAILS**

▣ [View Another Property](#)

Please visit [www.mississaugaculture.ca/heritage](http://www.mississaugaculture.ca/heritage) for more information.

Address: 5576 HURONTARIO ST  
 Legal Description: CON 1 WHS PT LOT 3  
 Roll Number: 21-05-040-096-04800-0000



Print Friendly Page

**Heritage Status**

Status: DESIGNATED UNDER THE TERMS OF THE ONTARIO HERITAGE ACT  
 Conservation District:  
 Bylaw: 634-78  
 Bylaw Date: 1978-10-10

**Inventory Item**

INV #	Property Name	Constructed	Decade	Demolished	Year Demolished
<a href="#">472</a>	BRITANNIA FARM HOUSE - 5520 HURONTARIO STREET		1850	N	
<a href="#">98</a>	GARDNER-DUNTON HOUSE - 5520 HURONTARIO STREET		1840	N	
<a href="#">97</a>	BRITANNIA SCHOOL HOUSE - 5576 HURONTARIO STREET		1870	N	
<a href="#">3201</a>	BRITANNIA FARM PROPERTY - 5490-5576 HURONTARIO STREET	1833	1830	N	

**Designation Statement****BRITANNIA FARM PROPERTY:**

Historically, the 200 acre property was granted by the Crown to be held in trust for the "endowment, support and maintenance of a school in the Township of Toronto." In 1986 the Peel Board of Education established an Ad Hoc Britannia Farm Review Committee to review past and current land usages; to, amongst other things, examine potential future land usages; to invite public input, briefs and submissions; and, to prepare, where appropriate, recommendations, including estimated costs and any other practical concerns, for the consideration of The Peel Board of Education Trustees. The Committee decided that no part of the property should be sold; that the property be maintained in an authentic a state as possible; and, that restoration of the Britannia Farm House be included in an overall site master plan.

**BRITANNIA SCHOOL HOUSE:**

The "Britannia School House" located at 5576 Hurontario Street, is recommended for designation on the architectural grounds that, in design, it represents a typical nineteenth-century Ontario school house and, in its attention to details such as the blind rose window, the imbrication, and the decorative brickwork around the windows and the door, it is a fine example of nineteenth century building skills. Historically, it was used as a school for more than half a century and it has long been a

landmark on Hurontario Street.

#### GARDNER-DUNTON HOUSE:

The Gardner-Dunton House, built between 1825 and 1832, is located at 5520 Hurontario Street and is recommended for heritage designation for reasons of its architectural significance. The two-storey, brick structure is a fine example of the Georgian Revival style, emphasized in the symmetrical five bay facade. The building was relocated circa 1990 only a short distance south of its original siting at 5880 Hurontario Street.

After relocation, the structure was restored, adding to it the brick wing, (the original destroyed by fire in 1970) and a rear stone addition, all resting on a stone foundation. The roof is a low pitch, with wood shingles. On the gable ends are cornice returns, the facias having thin moulding in contrast to the wide moulding of the soffits. On the front facade windows are a six-over-six pattern, with stone lintels and wooden lugsills. The side windows have stone lintels, and the rear windows have radiating brick voussoirs. The front entrance has elegant proportions, with six-paned sidelights, a rectangular transom of fine tracery pattern, and the frame posts have sharp mouldings along the edges, and are in the form of decorative, parallel pilasters with small block bases and simple flat squares where the beams intersect.

The Gardner-Dunton House is one of only two best examples of the Georgian Revival style of the early nineteenth century period remaining in Mississauga.

#### BRITANNIA FARM HOUSE:

The Britannia Farm House, located at 5520 Hurontario Street, is recommended for heritage designation under the terms and conditions of the Ontario Heritage Act, for reasons of its historical, architectural and contextual significance. The farm house was fully refurbished in 1989 under the supervision of restoration architect Peter John Stokes. The actual date of construction is not known, but it is suspected that a portion of the house could be as early as 1840, with renovations and additions in the 1880s.

The house is a one-and-a-half storey red brick veneer structure, with polychromatic brickwork on the flush quoins and hood outlines of the windows and doorways. The house is T-shaped, facing east, with a high-pitched roof, finished in wood shingles, and chimneys of red rug brick in the gable ends. To the rear is a single storey addition that was rebuilt in 1989 and covered with cove siding. The gable ends and front gable exhibit a decorative verge board that enhances the overall character of the farm house. The round-headed window in the front gable is also typical of the local 19th century farm houses.

The windows are double-hung with two-over-two panes. The front entrance has a double leaf door with transom above.

Contextually this property is important because of its relationship to the neighbouring Conover Barn and Dunton House. This setting provides for a rural landscape typical of the mid to late 19th century in Peel Region. This property is noted for the open space and rural character once prevalent within Mississauga.

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**Britannia Farm****L-AG-3**

**Location** Located on Hurontario Street and north of Bristol Road

**Heritage or Other Designation** Farmhouse and Britannia Schoolhouse 634-78

**Landscape Type** Agricultural

**LANDSCAPE ENVIRONMENT**

- ☐ Scenic and Visual Quality
- ☒ Natural Environment
- ☐ Horticultural Interest
- ☒ Landscape Design, Type and Technological Interest

**HISTORICAL ASSOCIATION**

- ☒ Illustrates Style, Trend or Pattern
- ☒ Direct Association with Important Person or Event
- ☒ Illustrates Important Phase in Mississauga's Social or Physical Development
- ☐ Illustrates Work of Important Designer

**BUILT ENVIRONMENT**

- ☒ Aesthetic/Visual Quality
- ☒ Consistent Early Environs (pre-World War II)
- ☒ Consistent Scale of Built Features
- ☒ Unique Architectural Features/Buildings
- ☒ Designated Structures

**OTHER**

- ☒ Historical or Archaeological Interest
- ☒ Outstanding Features/Interest
- ☐ Significant Ecological Interest
- ☐ Landmark Value



**Britannia Farm****L-AG-3**

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**SITE DESCRIPTION**

Britannia Farm is one of a few remaining agricultural properties within the City of Mississauga. The property includes 80 ha (200A) and four heritage structures, two of which are original to the site, the farmhouse and school house, and two which were moved to the site from other locations within the City in 1990. The farm buildings are of a consistent scale and are representative of their period of construction. An additional heritage feature on the site is the remnant rail bed of the Suburban Electric Radial Railway which ran from Guelph to Toronto. The original field pattern, hedgerows, sugar bush and fence lines are also significant in terms of the agricultural history of the site. In 1989, a master plan to preserve the agricultural landscape as a teaching resource was prepared by The Landplan Collaborative Ltd. The farm was dedicated to the local Board of Education in 1833 by William the Fourth of England as an educational trust. The heritage significance of the site remains, one of the last remaining agricultural landscapes in the City of Mississauga.

For more information visit: [www.britanniaschoolhouse.org](http://www.britanniaschoolhouse.org)







## 1.0 Introduction

- 1.1 Introduction
- 1.2 Terms of Reference
- 1.3 Study Limitations



Figure 2.1 Britannia Farms, Mississauga. Outline of 32.5 acre development plot.

## **1.1 Introduction**

This report is brought forth as a support document for the Site Plan Application for Development of a portion of the 200 acre lot known as the Britannia Farms. The property is in Mississauga, on the West side of Hurontario Street, between Matheson Blvd. and Bristol Road West, and is owned by the Peel District School Board.

Two separate developments are being proposed for the property. The first involves 32.5 acres at the southeast corner of the property adjacent Hurontario Street and Bristol Road West, currently occupied by an enclave of rural buildings: the Britannia Farmhouse, the Gardener Dunton House and the Conover Barn. The second involves 13 acres of land directly north of the first site, currently occupied by the Britannia School House No. 16.

These two sites are related in that the development of the 32.5 acre southern site requires the relocation of the 3 farm buildings, landscaping and farm structures to the northern site adjacent to the School House. This report deals with the rationale for relocating the farm buildings, the heritage impact of that proposed relocation and the effect on the farm buildings, their current site and their proposed site.

## **1.2 Terms of Reference**

This study will follow the City of Mississauga's 'Heritage Impact Statement Terms of Reference' paper outlining the requirements for the report. This study will also follow the Parks Canada 'Standards and Guidelines for the Conservation of Historic Places in Canada' and the Ontario Ministry of Culture's 'Eight Guiding Principles in the Conservation of Historic Properties'. As well, the Ontario Ministry of Culture's 'Ontario Heritage Tool Kit Guideline' document will be referenced, along with the Ontario Heritage Act and the City of Mississauga's planning policies regarding heritage properties.

## **1.3 Limitations of This Study**

This report is limited to reviewing the farm buildings, their immediate surrounds and the proposed site for their relocation. It is not a detailed site review of the southern development site, nor will it comment on the nature of that development.

The report will comment on the nature of the overall site from a general historical perspective, but will focus on the existing enclave of heritage buildings and on the enclave's proposed relocation.





## 2.0 Britannia Farm Overview

2.1 Property Description

2.2 Current Use

2.3 Origins and Historical Overview



Figure 2.1 Location Map - Britannia Farm, Mississauga.



Figure 2.2 Aerial Photo. Britannia Farm. 2008.

## 2.1 Property Description

The Property known as the Britannia Farm is Lot 3 Concession 1 West of Hurontario, and is bounded by Hurontario to the east, McLaughlin Road to the west, Bristol Road to the south and Matheson Blvd. W. to the north. It comprises approximately 200 acres (minus some small easements for road widenings) of primarily unused farmland fronting Hurontario Street, and hardwood bush (mostly maple) fronting on McLaughlin Road.

Located on Hurontario Street approximately 80 metres to the west sits an enclave of 3 farm buildings plus a metal silo and windmill. The buildings are the Britannia Farmhouse (original to the site), the Chisolm Gardener Dunton House (referenced herein as the Dunton House), relocated to the site in 1989, and the Conover Barn, reassembled on the site in 1991. To the north on Hurontario Street is the Britannia School House, to which the property was leasehold to since it's granting in 1830. Further to the North on Matheson Blvd. are the offices of the Peel District School Board, owners of the Britannia Farm and School House.

Bisecting the property north-south is the Cooksville Creek. Access to the farm property is via a gated lane running west from Hurontario Street between the Britannia Farmhouse and the Dunton House. This continues as a farm lane to the south of the Conover Barn, diminishing into a tractor lane through to the Maple Bush. A second north-south lane comes from the PDSB parking lot and crosses the first lane between the Barn and the Houses and continues south, diminishing into a tractor lane all the way to Bristol Road W.

Intermittent treed fence lines run north-south on either side of the Cooksville Creek, and the access lane from Hurontario has a latter day tree line on both sides. Landscaping trees and shrubs surround both houses. Wire and cedar post fence lines follow along all the lanes with gates at all access points. The remains of a pond (now overgrown with cattails) sit to the south of the Britannia Farmhouse with a metal windmill pump. The remains of a timbered shed (known as the Drive Shed) sit to the southwest of the pond, having been disassembled in 2007 because of the shed's collapsed condition. There is a metal silo to the south of the barn. A residual rail line cut runs through the maple bush which was part of the Toronto/Guelph Electric rail line project. A small sugar shack is located in the maple bush.

## 2.2 - Current Use

The Britannia Farmhouse was a rental residence up to December 2008. It is currently vacant. The Dunton House was being used as PDSB project offices and is now used primarily for storage. The Barn is used for storage of farm equipment previously used in the agricultural education outreach programme (now discontinued).



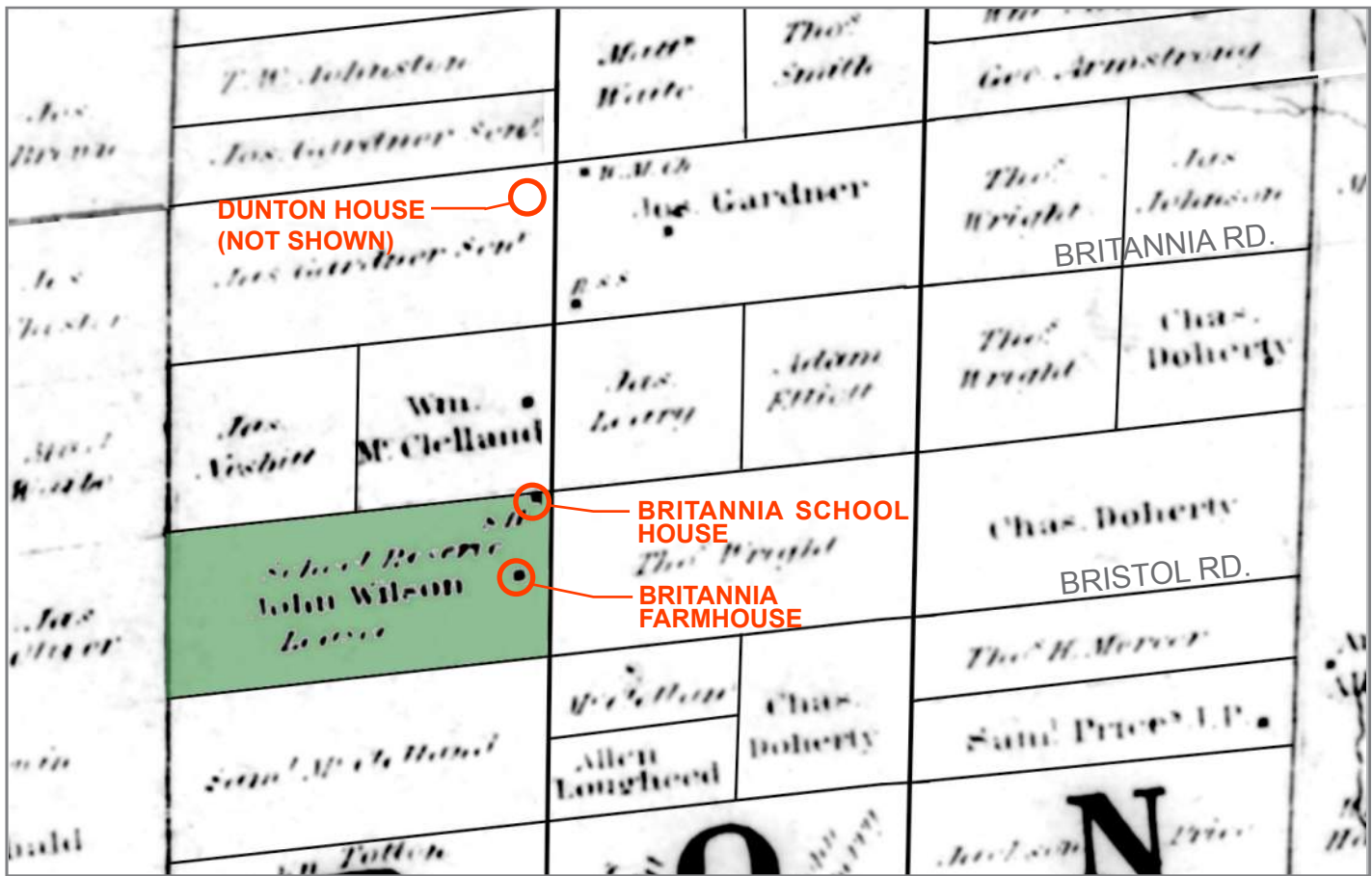


Figure 2.3 From the Tremain Atlas. 1859.

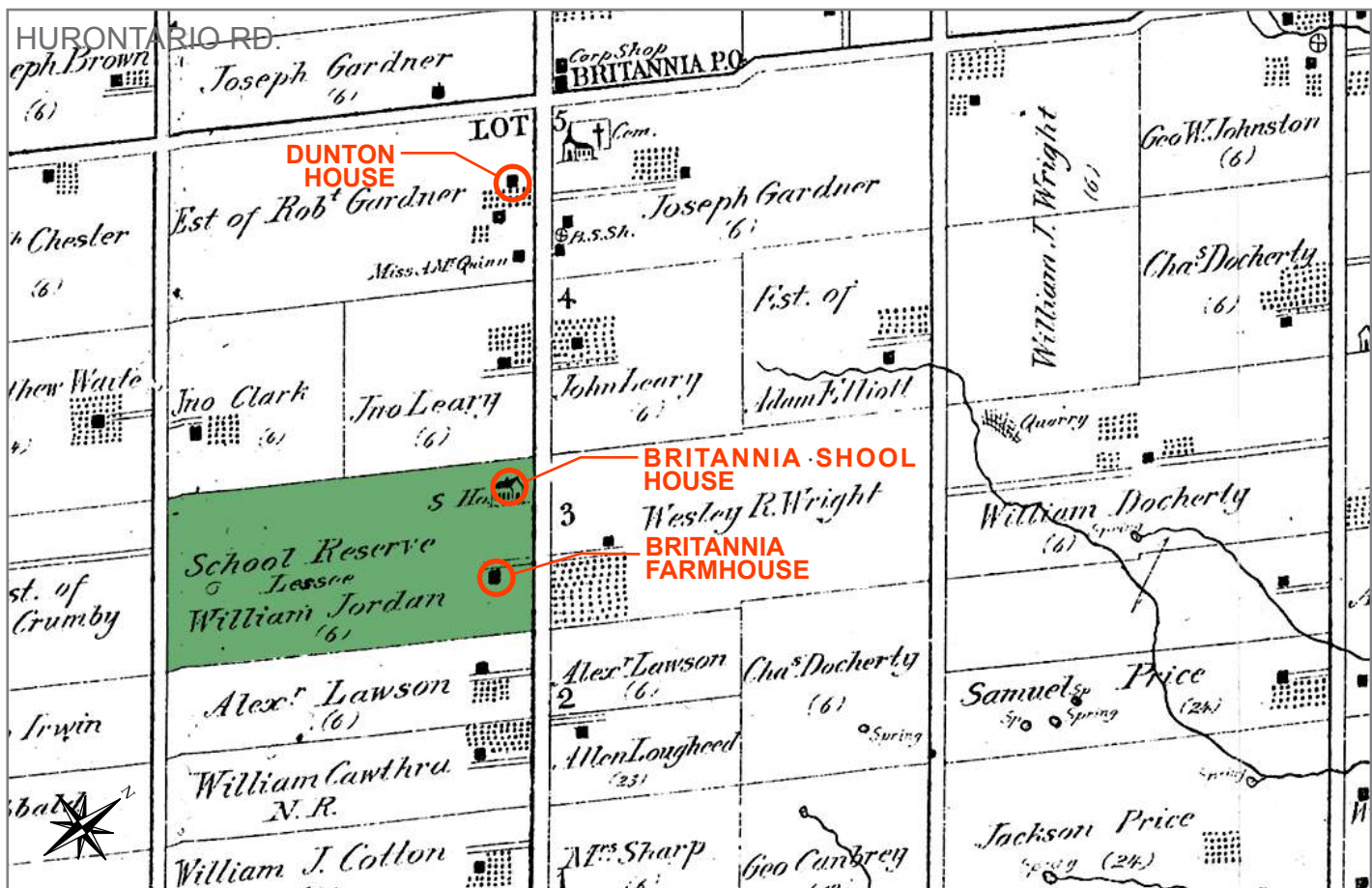


Figure 2.4 From the Peel Atlas Map of Britannia School 1877

The PDSB maintains a small nature educational programme on the property primarily with the maple bush, Cooksville Creek and the watershed area. The farm fields are maintained with winter wheat and are plowed only as a weed control programme which is required by the municipality.

### 2.3 - Origins and Historical Overview

The land of Lot 3 Concession 1 West of Hurontario Street was initially thought to be a clergy reserve prior to 1830 but this was refuted by T.J. Wojas Real Estate Consultants in 1987. It was believed to have been cleared but unused for farming. The Britannia Farm came into existence in 1833 when the 200 acre plot was granted to school trustees William Thompson, Reverend McGrath and Joseph Gardener by King William IV to be held in trust for the purposes of education. The purpose of the land was a rental property with a maximum 20 year leasehold period, with the funds generated from the rent to go towards sustaining a school. The first school house was built shortly afterwards on a one acre parcel in the northeast corner. There had been another one acre plot reserved for a cemetery but all records show it was never used.

The one room School Section No. 12 became known as Britannia School after the hamlet community at the cross roads of Britannia Road and Hurontario Street. It was first visually recorded as a building on the Tremaine Map of Peel County (circa 1859). Records indicate that the original frame school house was in poor condition as of 1851, but was renewed or even rebuilt in 1852-1857 at a cost of \$5000. Its style, however, as described by Peter J. Stokes, was that of a building of the 1870s at its earliest, fueling speculation that it was rebuilt again by 1870, where it is shown graphically in elevation on the Peel Atlas of 1877.

Both the Tremaine Map and the Peel Atlas show the first tangible documentation of the second building on the property which was described as a 1 storey frame farmhouse now known as the Britannia Farmhouse. The heritage architect Peter J. Stokes has hypothesized that this building, which consists of a T-shaped plan with a one storey clapboard-clad back wing and a 2 storey brick veneer front wing, was built in 2 phases since it contained salvaged post and beam framing and rough sawn clapboard possibly from the first school (refer to the detailed history of the Farmhouse later in this report). Suffice to say that the building's providence is somewhat obscure and clearly written documented evidence begins again with the Peel Atlas of 1877.

Another farm residence possibly existed as found in the 1861 Agricultural Census, which lists a Mr. Peter McTavish as having 10 acres on the School Reserve. Since he was a teacher at the school,

Date	Description	Amount
1866	To Mr. Chesters for Rate Bill 1866	57 1/2
1867	Municipal Grant for 1866	25 74
April 7	Rent from H. Hand	10 00
July	Rent from 1st half 1867	26 32
Oct. 15	Rent from H. Hand	15 00
Nov 13	Rent from Cliff Tisdale	57 26
	Bill	2 75
	Mr. Chesters Rate Bill 1867	50
25	Ant of Rate Bill collected 1867	206 30
Nov 31	Balance	
	James McMillan	
	Examined	549 53 1/2

Figure 2.5 School Ledger: Rent was \$300 per year in 1866.



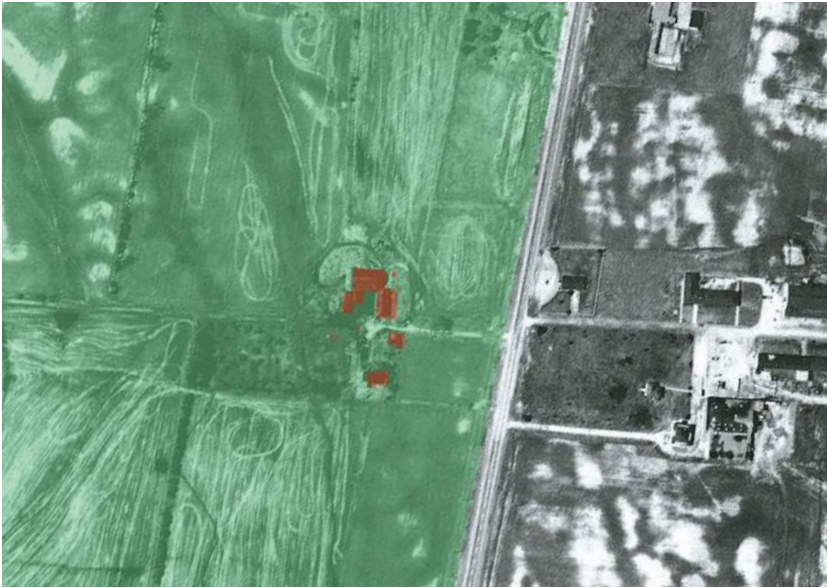


Figure 2.6 Aerial Photo with farm buildings enhanced. 1966.



Figure 2.7 Aerial Photo. 1978.



Figure 2.8 Aerial Photo. 1989.

his name does not appear in the Britannia School Ledger (1852 to 1906) as paying rent. Further evidence of this other farm residence is listed in the 1861 personal census, which lists Mr. McTavish as living in a one storey frame house near the school. The most tangible evidence was found by an archeological investigation performed in 1990 where a dig, located west of the school, revealed a habitation site. This is further described in Chapter 7.

Rents were collected on the farm starting in 1833 and continued to 1971. The maximum lease period allowed on the farm was 20 years. All rent monies went to school maintenance, supplies and teacher salaries. The use of the Britannia Farm as a monetary support for the school has been its consistent purpose throughout its 176 year history.

In early 1889, the Suburban Electric Radial Railway line was established. In 1917, the Toronto Guelph line was constructed and extended through the southwest corner of the Maple bush. The line was abandoned in 1948 but residual rail bed can still be seen on the southwest corner of the property.

Numerous barn out buildings were erected to the northwest of the farmhouse and outline documentation can be seen in the aerial photos from the 1966 and 1970 surveys. By 1978 the only out-building remaining was a heavy timber drive shed. This was relocated in 1990 to the southwest of the farmhouse, then disassembled in 2007 for safety reasons. The Farmhouse was occupied until 1976 and was unoccupied (except for vagrants) until 1989, when it was extensively renovated and rebuilt.

In 1955, School Section 12 became part of the Township of Toronto School Area 1. In 1963, this school zone amalgamated with the South Peel School Board of Education to form the Toronto Township Board of Education. The Britannia School was decommissioned in 1962 and the Toronto Township Board of Education assumed stewardship of the land in 1966. In 1968 the Town of Mississauga was formed and the Toronto Township Board of Education became the Mississauga Board of Education. In 1969 the Mississauga Board of Education joined the Peel District Board of Education, which continues as owner of the Britannia Farm and School to present day. The School itself was designated in 1978 and was extensively refurbished in the ensuing 2 years; it is now a centre for historical education programmes, acts as a meeting hall and is maintained by the stewardship group 'The Friends of the Britannia School House'.

In 1984, the Peel District School Board offices were built to the north of the Britannia Farm and School House, at the northwest corner of Hurontario Street and Matheson Blvd. West.



Figure 2.9 Britannia School House.



Figure 2.10 Britannia Farmhouse.



Figure 2.11 Dunton House Relocation.





Figure 2.12 Existing Site Plan &amp; Survey.

In 1987, the PDSB embarked on an ambitious plan, as reflected in their 1989 Master Plan produced by the Landplan Collaborative Ltd. from Guelph, to redevelop the Britannia Farm lands and buildings into a Heritage Agricultural Education Centre. This was spearheaded by Mr. John Greeniaus, head planner for the PDSB, and informed and enriched by the Heritage architectural consultant work of Mr. Peter J. Stokes (much of whose research and archives inform this report).

The plan was to re-establish the farm as a functioning agricultural enterprise with an intensive educational outreach programme for both primary and secondary school students. To facilitate the plan, the aim was to establish an enclave of farm buildings that would house the new programmes. The first component was to renovate and refurbish the Farmhouse, which as of 1987 was in a high state of deterioration. The building was renovated and recreated, the rear wing entirely rebuilt, landscaping re-established and fence lines rebuilt. The intent was to provide housing for the farm custodian, who would be central to running this agricultural education facility.

A second farmhouse was brought to the site in 1989. Relocated from its original location at the cross roads of Britannia Road and Hurontario Street, it is one of the last remnants of the hamlet of Britannia. The Chisholm Gardener Dunton House, which was designated in 1978, was rescued from demolition and relocated to the Britannia Farm to be used as offices and a classroom facility for the new programme. The 1820's two storey full masonry front wing of the Dunton House was relocated to its present location north of the Britannia Farmhouse. The rear wings, which had been damaged by fire in 1970 and demolished circa 1972, were reconstructed based on photos and interviews with the former residents. The design of the restoration and rebuild of the 1 1/2 storey brick kitchen wing and the 1 storey summer kitchen were directed by Peter J. Stokes.

As part of the 1989 Master Plan, a suitable barn was purchased and relocated to the site. More than 30 barns were researched in the area, with the final selection being the Conover Barn in Oakville near Hwy 5 and Trafalgar Road, owned by Sheridan Nurseries. The barn was disassembled and rebuilt using the original beams, tongue and groove flooring, and an unusual curved staircase leading from the stable area to the hay loft. The foundations, windows, doors, board siding, and roofing were replaced with new material. The Conover Barn was disassembled in 1989 and its reassembly was completed in 1991. A metal silo was bought new and assembled on site in 1992. Its initial concept as a teaching facility was limited due to concerns from the Mississauga Fire Department regarding the need for a sprinkler system. The barn was used up to 1998 to house animals and farm



Figure 2.13 Dunton House. 2009.



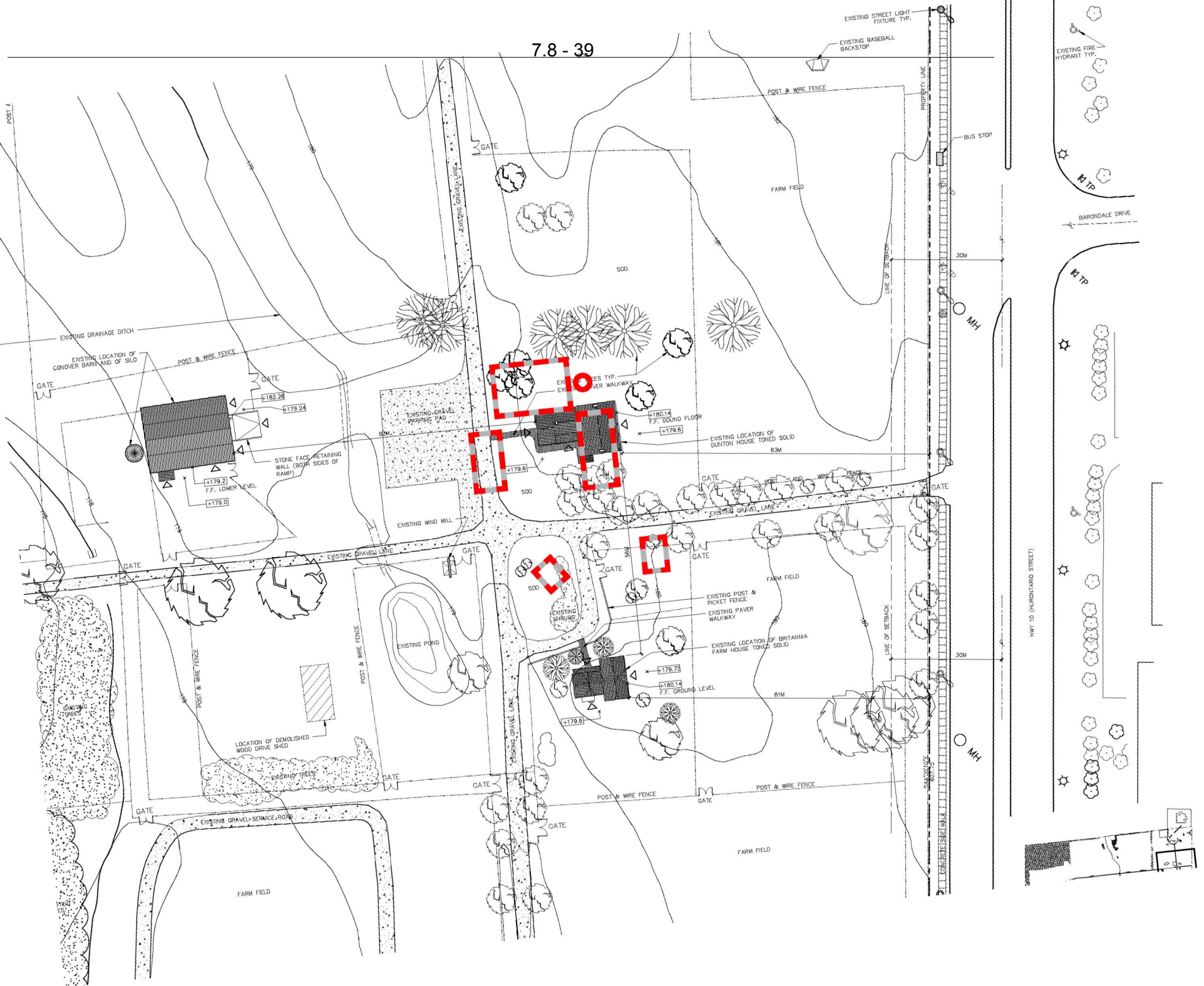
Figure 2.14 Barn Disassembly.



Figure 2.15 Conover Barn. 2009.



Figure 2.16 Existing Farm Enclave with outline of former barns.  
18 KEARNS MANCINI ARCHITECTS INC.



equipment. It is currently used for the storage of farm machinery and other agricultural equipment. A further project contemplated by the PDSB was the relocation of an existing concrete silo to the farm enclave to be fitted out as an observatory; this plan, however, was not enacted.

In 1998, with the change in the Provincial Government, funding for all outreach programmes as envisioned by the PDSB for the Britannia Farm were cut, and the use of the farm as an educational facility was all but stopped. A motion was started by then Minister of Education John Snobelen to sell the property, but was resisted by the PDSB and stopped entirely with the change of the Provincial Government in 2003. The Britannia Farm property was designated by the City of Mississauga as a Cultural Environment in 2005.

In 2005, faced with ever increasing debt loads and the inability to finance educational programmes, the PDSB, in conjunction with Kearns Mancini Architects Inc., undertook several town hall meetings to develop a revised vision for the property that would provide funds to sustain educational programmes. Since agriculture was not a viable means of use any more, and educational programmes based on agriculture and natural awareness were unsupported by public funding, a different means of revenue generation was needed. Proposals were sought and received from interested groups, but none provided a solid means of revenue generation for the PDSB.

In 2006, the PDSB retained DTZ Barnicke Limited Real Estate Advisors to review the property and assess the best location for a possible long term (99 year) leasehold area, meant to provide a dependable source of income to support educational programmes on the farm. A 32 acre area in the southeast corner, fronting on Hurontario Street and Bristol Road West, was selected and proposals were sought from various development agencies. The area was deemed most appropriate because of its location close to the main intersection and its frontage extending along Hurontario Street; it also had the least environmental impact. In 2008, the PDSB entered into a lease agreement with Osmington Inc. to develop the 32 acre area and to relocate the three existing Britannia Farm buildings. Osmington Inc. is preparing development documents for Site Plan Application with the City of Mississauga for an office development. The PDSB has retained KMAI for preparation of their own Site Plan Application for the relocation of the three farm buildings to the north of the development site. This report forms part of the requirements for that application.





Figure 3.1 Farmhouse. 2009.

## 3.0 Britannia Farmhouse Overview

- 3.1 History
- 3.2 As Found 1986
- 3.3 Renovation 1989 & As Found 2009
- 3.5 Current Conditions
- 3.4 Heritage Evaluation

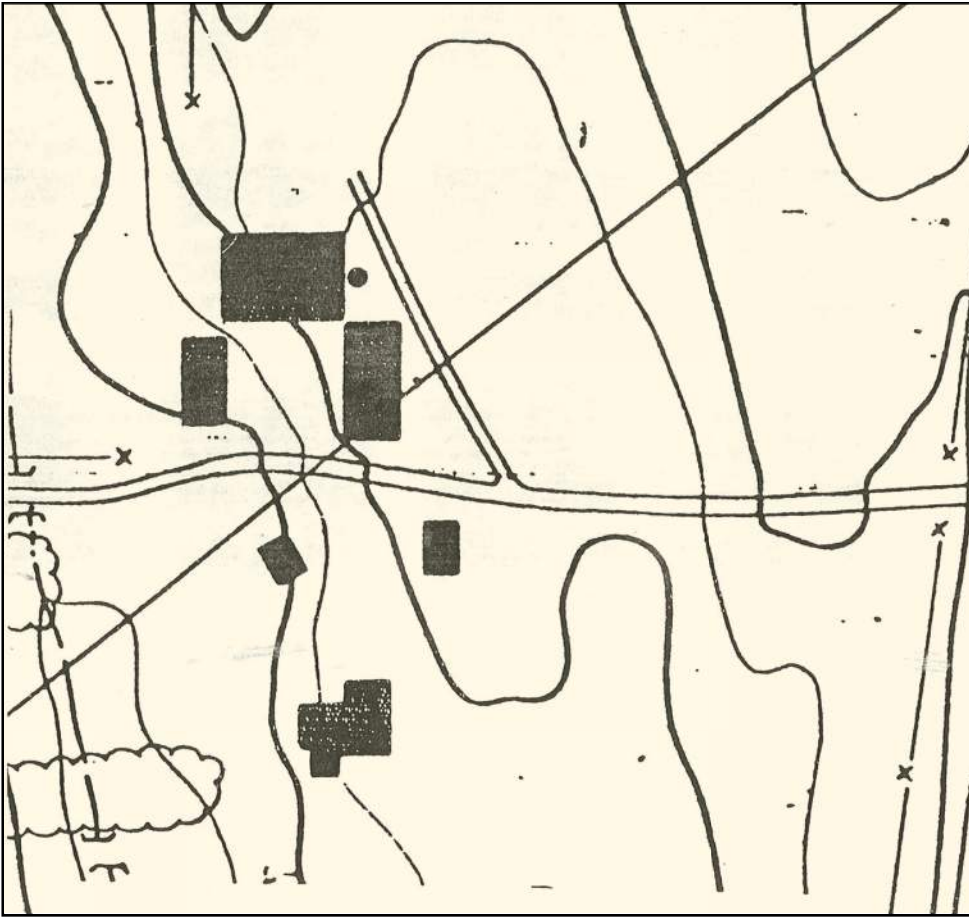


Figure 3.2 1970's Survey of Farm Buildings.



#### LEGEND

1. Britannia Farmhouse
2. Drive shed
3. Gambrel roofed barn
4. Shed roof barn
5. Large shed
6. Silo
7. Shed

Figure 3.3 1966 aerial photo showing Farm buildings highlighted.



By 1978, all farm buildings except for the Drive Shed and the Farmhouse have been removed. The farm is being used for container storage.



Figure 3.4 Aerial Photo. 1978.

By 1989, the farm is non-functioning and is beginning to suffer vandalism and deterioration.



Figure 3.5 Aerial Photo. 1989.

By 1999, the Dunton house and Conover Barn have been relocated and commissioned, landscaping installed and the educational programmes have just been cut.



Figure 3.6 Aerial Photo. 1999.





Figure 3.7 Britannia Farmhouse. East Elevation. 1987.



Figure 3.8 Britannia Farmhouse. South Elevation. 1987.

### 3.1 History

As per the previous overview, the lineage of the Britannia Farmhouse is somewhat lost and requires some conjecture based on prevalent building practices at the time and the physical record of the building itself. The latter is somewhat difficult due to the extensive renovations of 1990, however, the extensive notes and photographs provided by the Peter J. Stoke's (PJS) archive fonds fill in many of details of the original building.

The earliest reference regarding the Farmhouse comes from the first Britannia school financial ledger, which lists the rents collected from the farm starting in 1833. On the 1859 Tremaine map of Peel County, a structure is indicated in approximately the present location of the brick farm house with John Wilson as the 'leaser'. From the 1860 personal census, John Wilson was a 43 year old farmer from England who lived with his family in a 1 storey frame house. On the 1877 Atlas of Peel County a house is indicated on the site with William Jordan as the leasee.

It is speculated that the building was built in at least two phases, with the first being the west 1 storey portion of the building, comprised of heavy timber frame mortise and tenon jointed structure posts. The exterior was clad with wood shiplap siding. The framing and cladding places the building in the early to mid 1800s, which ties in with its early reference as a one storey wood house.

From PJS's photos of the Farmhouse pre-renovation, you can see the original clapboard cladding, as well as subsequent cladding layers of lath and stucco, and 1 to 2 layers of insulbrick cladding (Figure 3.16). PJS hypothesized that the original school building was disassembled and reused as the first phase of the farmhouse, where he noted that the ceiling had been lowered in the farmhouse to create an attic. The front (east) wing of the farmhouse is red brick veneer with gingerbread trim, blond brick coining and eyebrow arched headers over the windows. The structure of the front wing is dimensional lumber balloon framing, which was not prevalent until the 1870s. Stylistically, this type of polychrome brick with gingerbread gable trim dates from a later era and was likely built in the 1870s, when first reference to the brick farmhouse was made.

A gabled enclosed porch existed to the south of the 1 storey wing, as evidenced by the outline still seen in PJS's photos. As well, a lean-to covered porch existed on the north side of the 1 storey wing.

As per Figure 3.2 and 3.3 from 1966, the farm had 2 main barns, several sheds and a silo. By 1978 these were gone except for the



Figure 3.9 Britannia Farmhouse. West Elevation. 1987.



Figure 3.10 Britannia Farmhouse. NW corner. 1987.



Figure 3.11 Britannia Farmhouse. South Elevation. 1987.



Eyebrow brick detailings, typical of mid-late 19th Century Ontario/Victorian farmhouse.

Figure 3.12 Britannia Farmhouse. Front Door elevation. 1987.



Rear wing of Farmhouse in its original form. Note absence of dormers and covered porch, as in current reincarnation.

Figure 3.13 Britannia Farmhouse. Rear wing elevation. 1987.



timber drive shed which is still seen to the northeast of the Farmhouse. This was relocated in 1989 to accommodate the plan for the new learning centre. The drive shed was disassembled in 2007 due to advanced deterioration and hazard.

Many tenants are listed in the School Ledger as to paying rent for the property may not have lived on the premises. The last tenant was John Ellis and family who occupied the farm until the late 1960's. The lease was terminated in 1971.

### 3.2 As Found 1986

(From the PJS archival fonds)

The building is a typical 3 bay, 2 storey, red brick veneer Ontario farmhouse, with flush blond brick quoining and eyebrow arches over the windows and front door. There were the remains of fretted, lacelike bargeboards with starred wheel terminations and solid gable infilling pierced with trefoils.

The plan is T-shaped, with a 2 storey brick wing to the east facing Hurontario Street and a 1 storey clapboard west wing. The east wing is balloon frame construction with full 2" x 4" stud walls on 16" centres, 4" x 8" floor joists, 2" x 6" ceiling joists and roof rafters. All framing is circular sawn, latter 19th century dimensional lumber. Windows were 2 over 2 single hung sash with probable removable storm windows. All windows were in poor or missing condition.

Exterior brick is slightly larger than Ontario Modular 2 1/2" x 4" x 8 3/4", with cut nails acting as brick ties held to 1" pine sheathing of varying widths. Mortar was rough lime mortar with coarse sand and brick dust. Chimneys had been rebuilt with non-matching wire cut 'carpet' brick. The interior was in extremely poor condition. Plaster was unornamented over machine cut wood lath. Interior door and window trim was unadorned flat pilasters with simple lathe-cut corner bosses.

The 1 storey west wing was discovered to be an earlier post and beam type. Corner posts were approximately 8" x 8", 8" x 10" plate beams and 4" x 6" rafters. Floor joists were 4" x 10" running north-south. The exterior was clad with 1" x 7" shiplap siding. The framing and cladding places the building in the early to mid 1800s, which ties in with its early reference as a one storey wood house.

### 3.3 Renovation 1989 & As Found 2009

The building was extensively renovated in 1989 by PDSB Architect S.



Figure 3.14 Britannia Farmhouse. East Gable. 1987.



Figure 3.15 Farmhouse. Masonry veneer with nail ties. 1987.



Figure 3.16 Britannia Farmhouse. NW corner showing timber construction & multiple claddings. 1987.





Figure 3.17 Britannia Farmhouse. Northeast corner. 2009.



Figure 3.18 Britannia Farmhouse. Southwest corner. 2009.

Laba, with overview by PJS as the heritage architectural consultant. Stokes provided both specification and design drawings, essentially preserving the timber frame west wing, but rebuilding all infill walls, foundations and cladding. On his recommendation both wings were fully gutted, preserving only the original flooring. The demolition revealed that the west wing was in poor condition and it was rebuilt entirely using dimensional lumber. At that time, the design was modified from the original to accommodate a second floor area in the attic, adding 2 dormers and stair access. The interiors were rebuilt with fiberglass batt insulation, vapour barrier and gypsum wall board finishes. All trim, doors, stairway, windows and hardware were replaced. The brick wing is still on its original stone foundation, with the ground bay resting on 4" x 8" floor joists that sit directly on soil in the unexcavated part of the basement. The rebuilt west wing foundations are concrete block with field stone veneer. Completely new HVAC, plumbing and electrical services were installed.

The exterior of the brick wing was restored with well matched recycled brick. The decorative gingerbread trim was completely replaced, as were all windows and doors. Exterior wood window sills were replaced with pressure treated 6" x 6"s. A new cedar shingle roof replaced the asphalt rolled roofing. The original chimneys were removed and replaced with faux chimneys comprised of brick slices glued to plywood forms.

### 3.4 Current Conditions

Its current condition is considered fair, with some areas of concern. There is some deterioration of the interior finishes due to wear, minor structural movement and wood shrinkage. The newel and post replacement stair balustrade was cheaply built and is falling apart. There is serious deterioration of the ground floor joists in the south bay of the brick wing, where contact with the earth has led to advanced rot throughout. There is some water deterioration in the north stone foundation wall and there has been some rodent and other animal damage to insulation in the west wing basement.

The exterior is fairing less well in that there is some brick and mortar deterioration, the window sills have rotted out, and there is some wood deterioration in the replacement windows. The faux chimneys are rapidly deteriorating.

### 3.5 Heritage Evaluation

PJS, in his first evaluation of the farmhouse in 1987, believed that the it did not commend itself to special recognition, citing that there were numerous better examples of this archetypal building form.



Figure 3.19 Britannia Farmhouse. West Elevation. 2009.

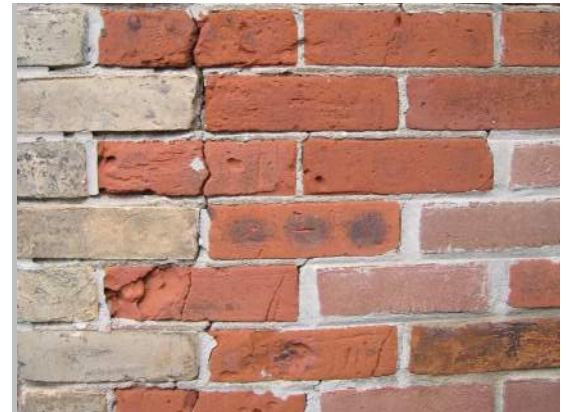


Figure 3.20 Britannia Farmhouse. Brick deterioration. 2009



Figure 3.21 Britannia Farmhouse. Faux chimney. 2009.



Figure 3.22 Britannia Farmhouse. Rotting sill. 2009.





Figure 3.23 Brianna Farm House. Interior at front door. 2009.



Figure 3.24 Brianna Farm House. Interior at main corridor. 2009.

He stated that *“The farmhouse and driveshed on Britannia Farm are considered worthy of record but not appropriate for conservation. The buildings are, in their seriously deteriorated condition and much vandalized state, more of a liability than an asset to the site and its potential use.”*

That was then. Now that the house has been renovated, which involved extensive rebuilding with modern materials (and some artistic license), the heritage value of the building could be argued to have shifted to the nostalgic dream of the past way of life of the farm. This is of course heightened by the 200 acre pastoral setting surrounded by uniform commercial and residential development.

With the general artificial rebuilding of the Farm, as per the PDSB's Master Plan, the enclave stands as a residual memory piece against a rural backdrop. However, little original heritage remains to tie the building to its site, other than its familiar farm set-back distance from Hurontario Street.

The farmhouse was officially designated as a heritage property by the City of Mississauga on September 12, 2001. It names its reasons for designation as “historical, architectural and contextual significance”. It notes that contextually, this property is important because of its relationship to the neighbouring Conover Barn and Dunton House. This setting provides for a rural landscape typical of the mid to late 19th century in the Peel Region.

On March 9th, 2005, the 200 acre Britannia Farm was added to the City of Mississauga's inventory of Cultural Landscapes, naming the buildings, original field pattern, fence lines, hedge rows, maple bush and remnant rail line as being significant, noting that “the site remains one of the last remaining agricultural landscapes in the City of Mississauga.”



Figure 3.25 Britannia Farmhouse. Interiors. 2009.



Figure 3.26 Farmhouse. Attic space. 2009



Figure 3.27 Britannia Farmhouse. Floor joists on earth. 2009



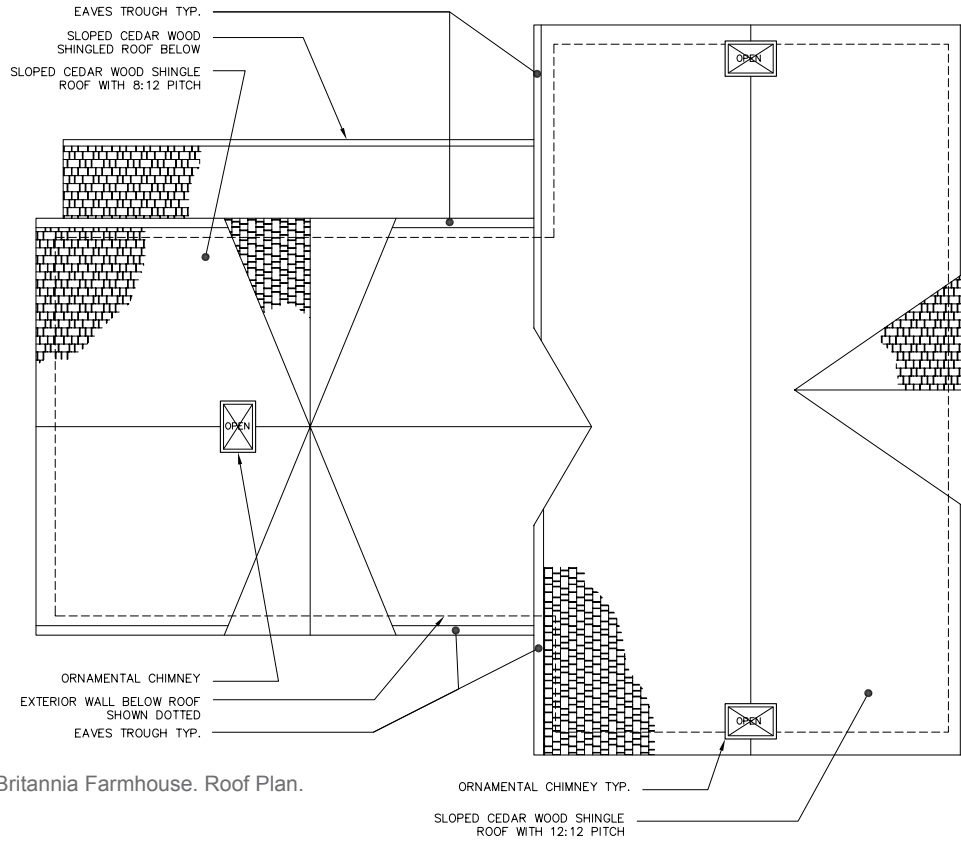


Figure 3.28 Britannia Farmhouse. Roof Plan.

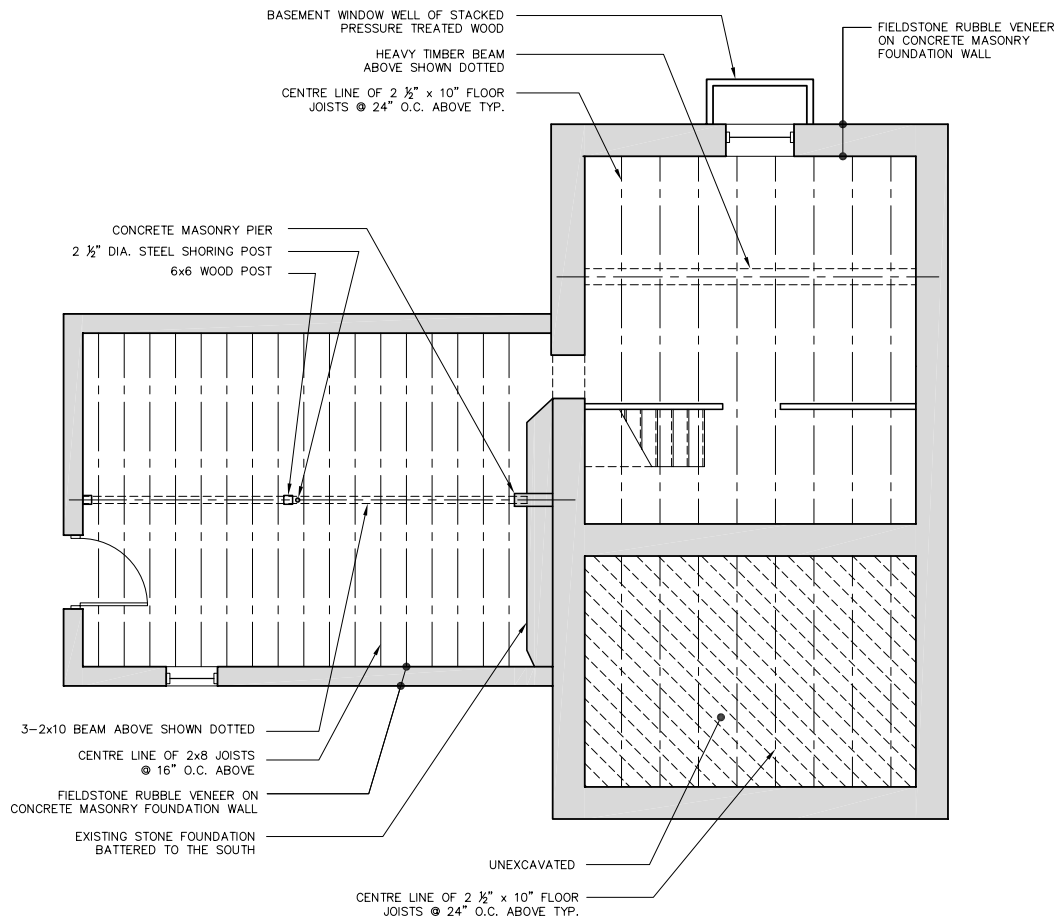


Figure 3.29 Britannia Farmhouse. Basement Plan.

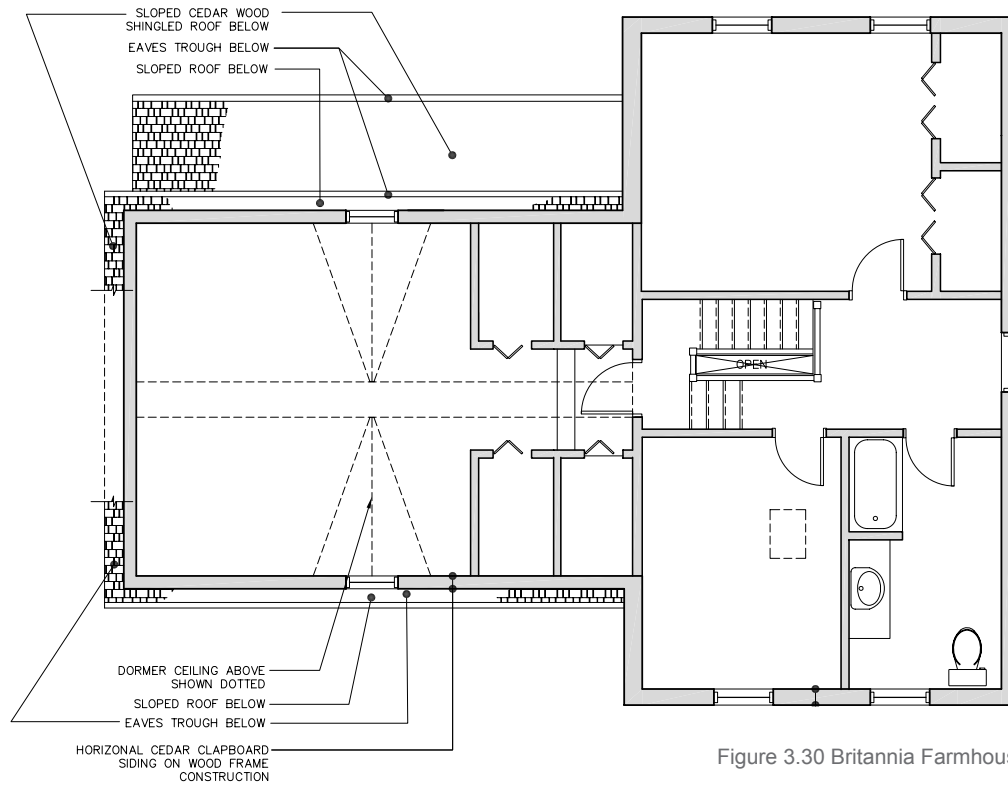


Figure 3.30 Britannia Farmhouse. Second Floor Plan.

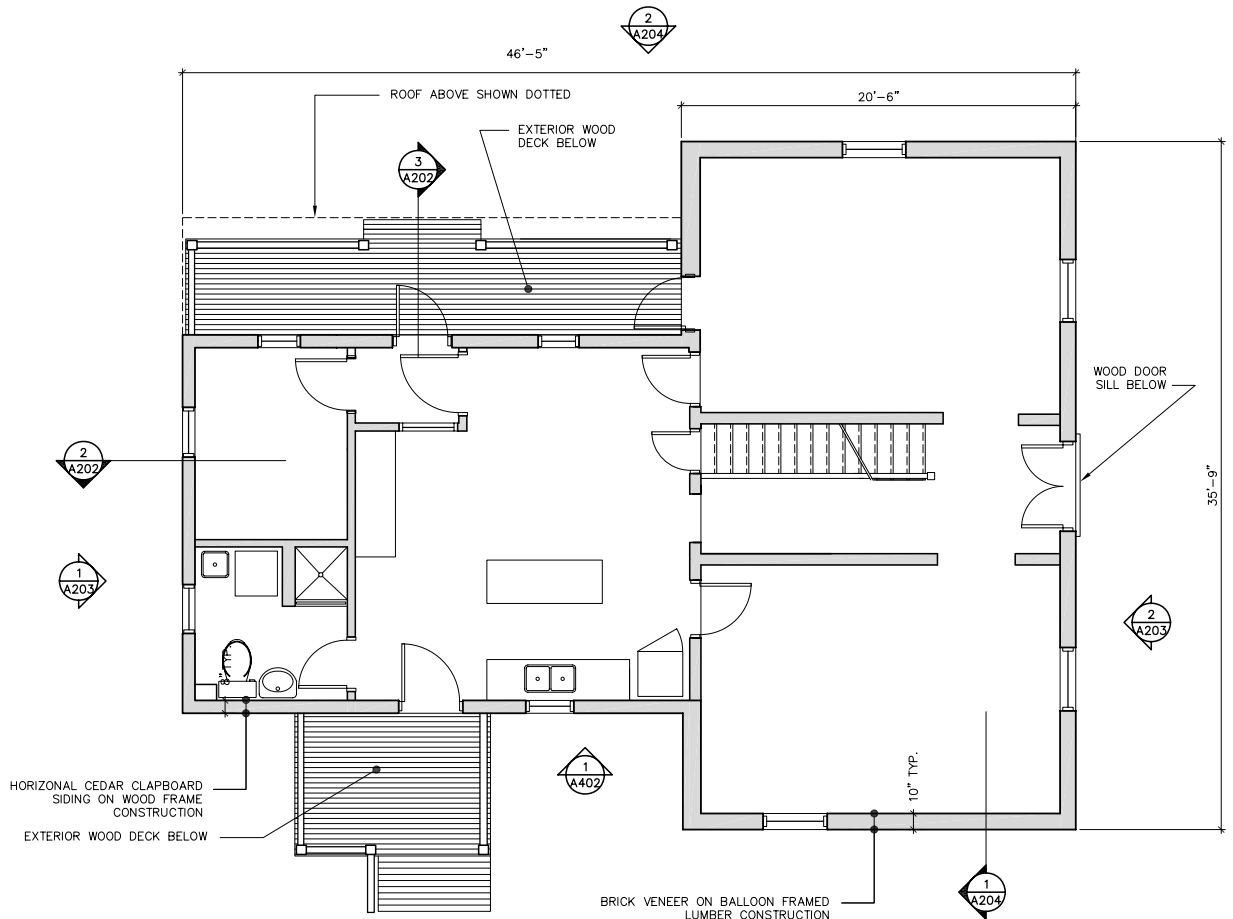


Figure 3.31 Britannia Farmhouse. Basement Plan.

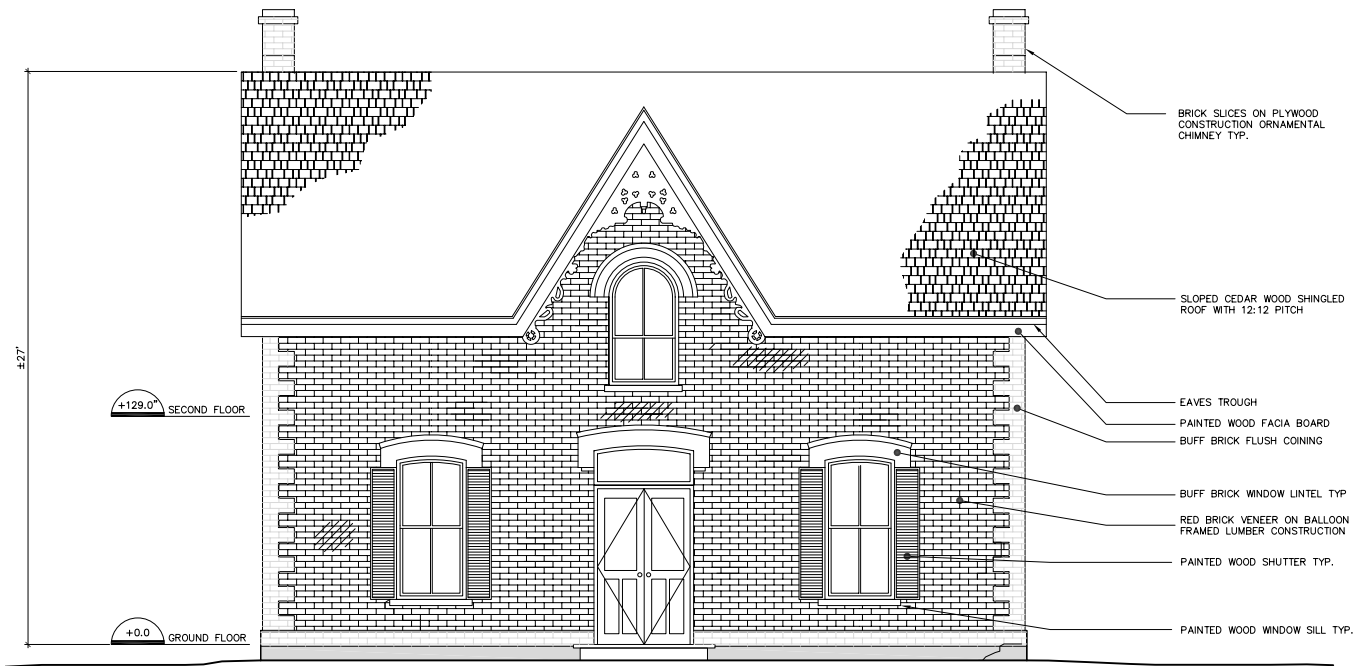


Figure 3.32 Britannia Farmhouse. East Elevation. 2009.



Figure 3.33 Britannia Farmhouse. East Elevation. 2009.

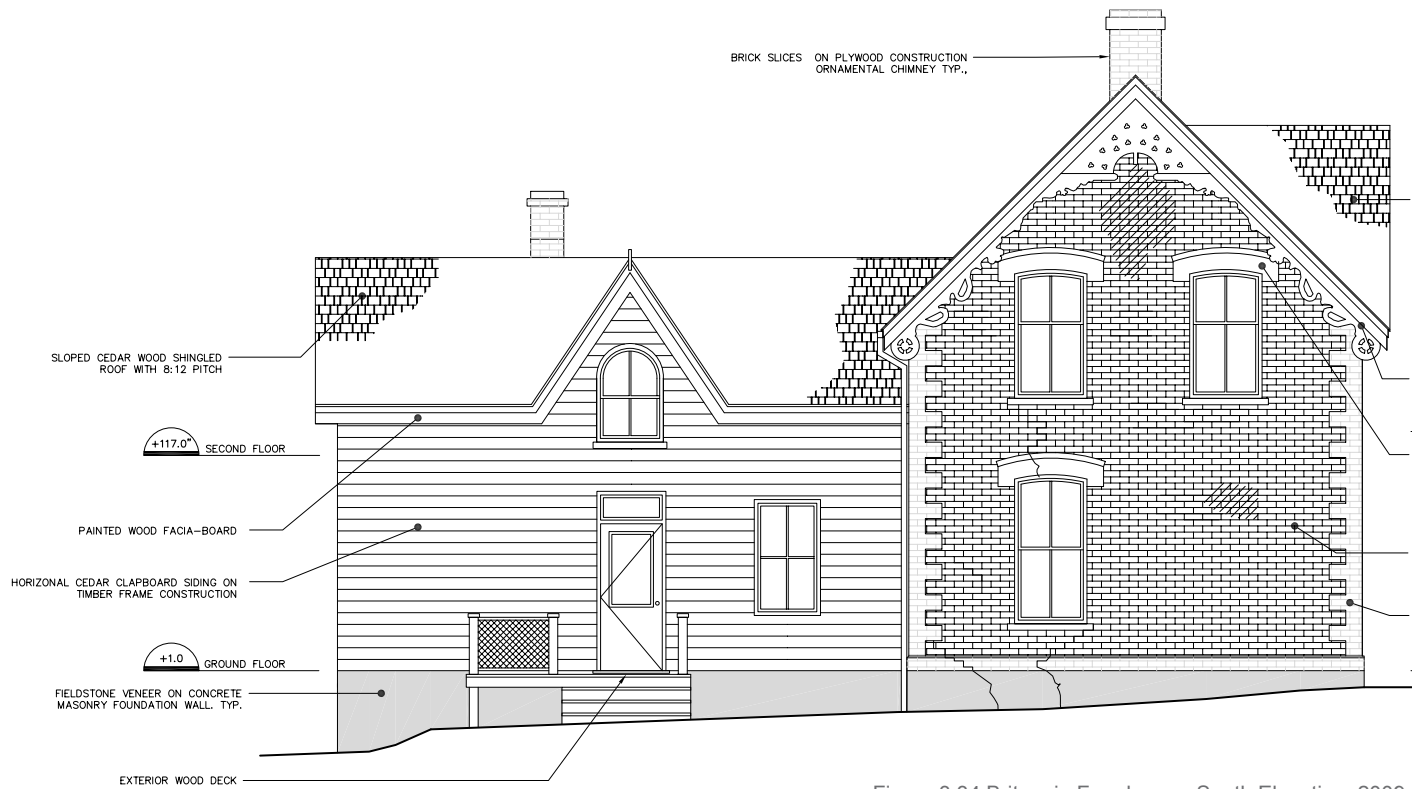


Figure 3.34 Britannia Farmhouse. South Elevation. 2009.

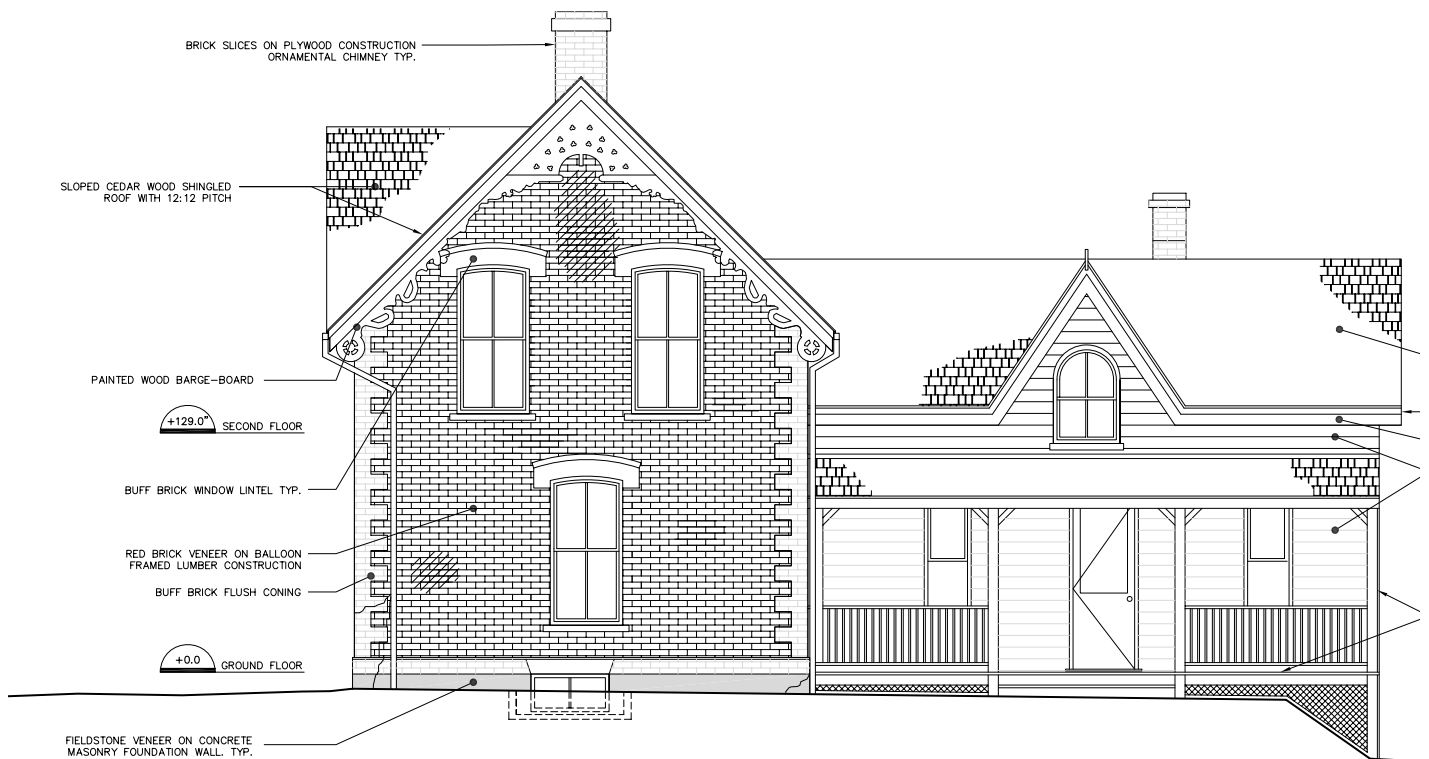


Figure 3.35 Britannia Farmhouse. North Elevation. 2009..



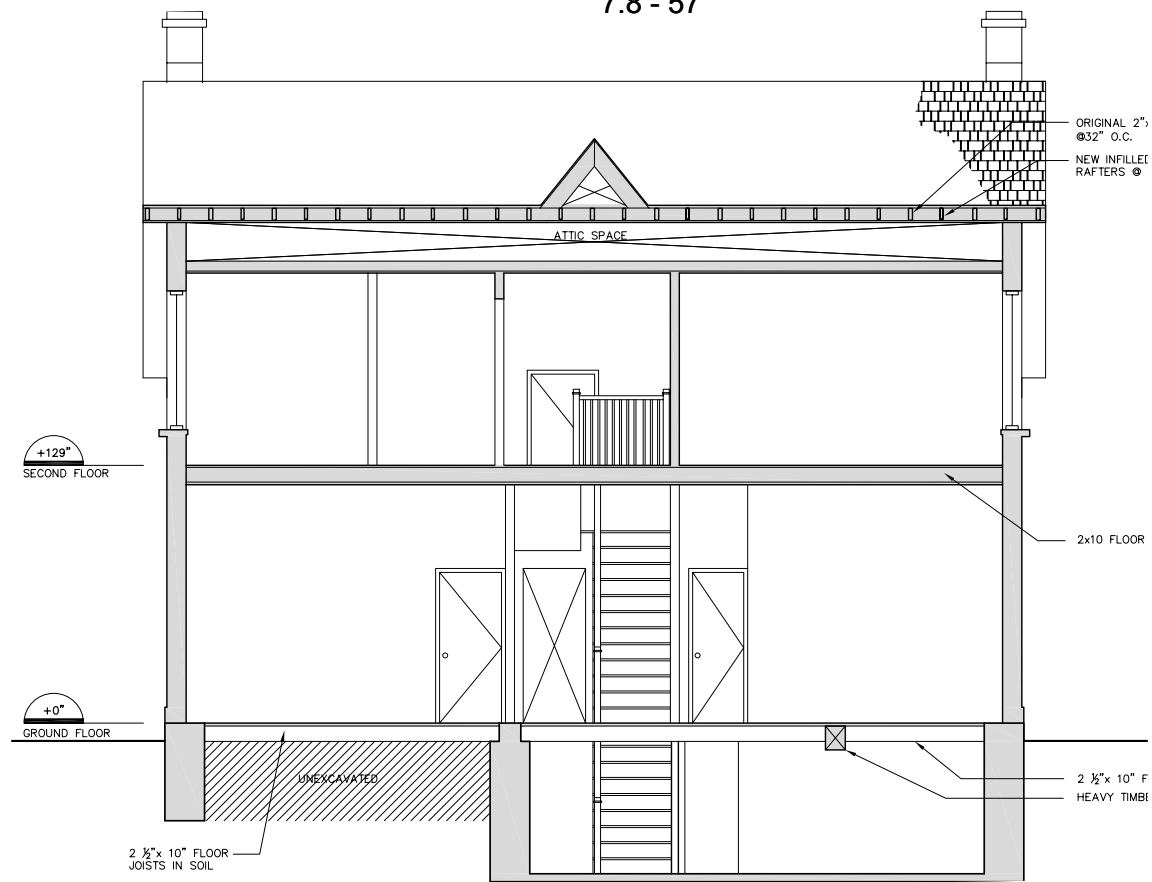


Figure 3.36 Britannia Farmhouse. Cross Section. 2009.

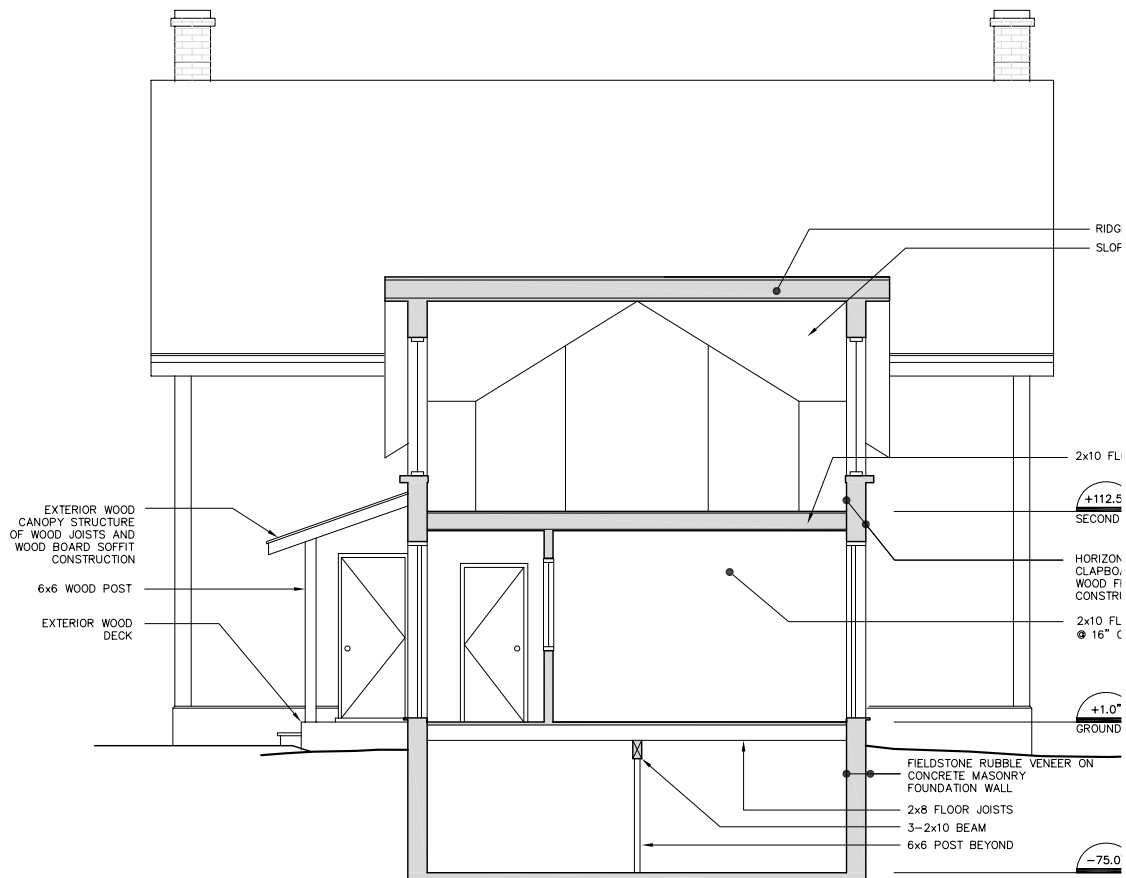


Figure 3.37 Britannia Farmhouse. Cross section through rear wing. 2009.

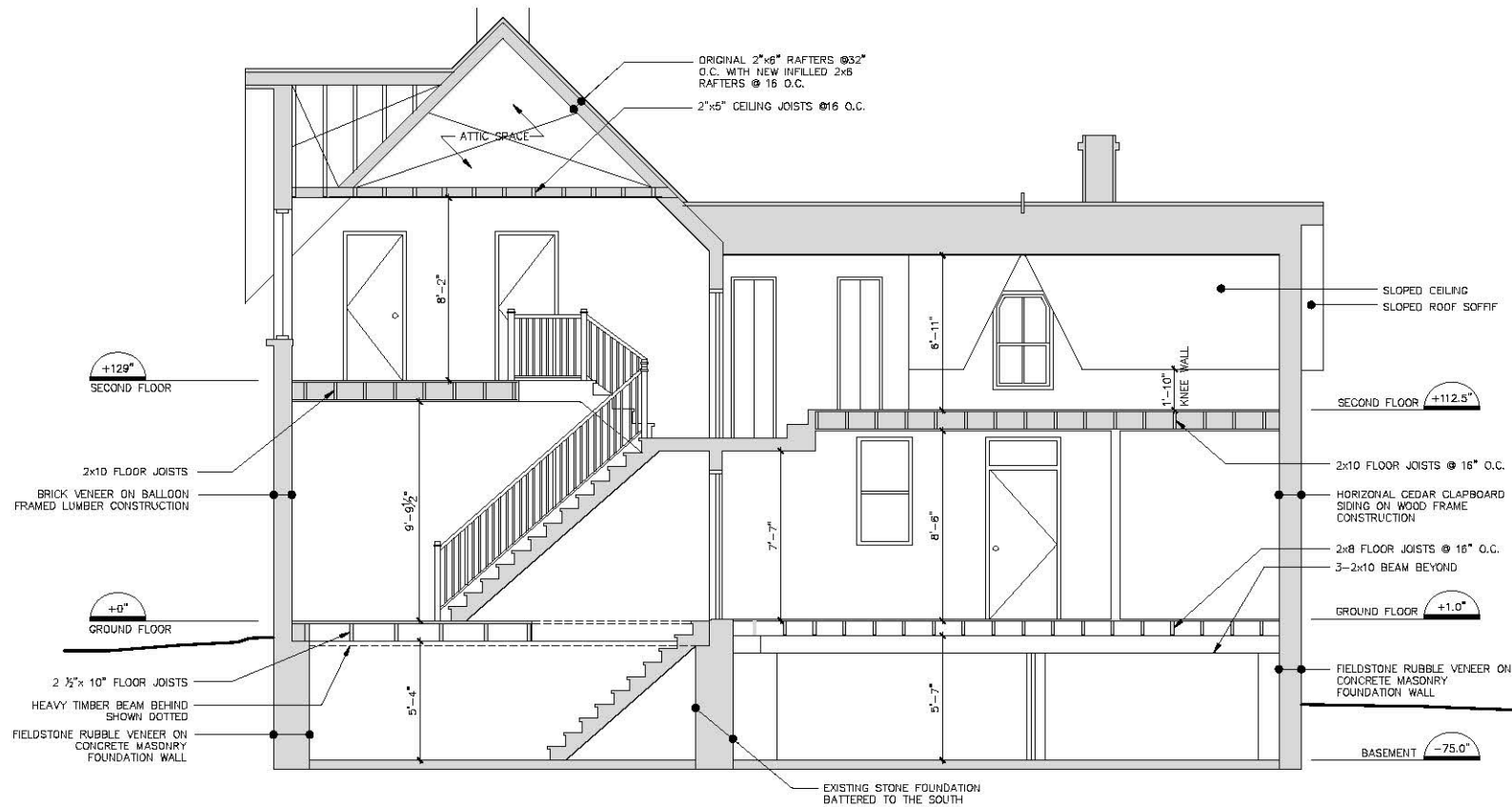


Figure 3.38 Britannia Farmhouse, Long Section, 2009.



Figure 4.1 Dunton House Archival Photo. 1960s.



Figure 4.2 Dunton House Aerial Photo. 1974.

## 4.0 Dunton House History & Overview

4.1 History

4.2 As Found 1988

4.3 As Found 2009

4.4 Heritage Evaluation

4.5 Current Condition





Note later porch addition now removed,

Figure 4.3 Dunton House. Front Elevation. PJS Photo. 1986.



Figure 4.4 Dunton House. Rear Elevation. PJS Photo. 1986.



House in its original location was much closer to Hurontario than in its current location.

Figure 4.5 Dunton House. View from Hurontario St. PJS Photo. 1988.

#### 4.1 History

The original site for the house and property was at the southeast corner of Britannia Road and Hurontario Street, 'Lot 5 West of Hurontario Street.' The lot, originally crown land, was patented to John Bowins in 1825, who sold the property to William Chisolm six days later for £170. It is assumed that Chisolm built a house between 1825 and 1832, whereupon he sold it to Joseph Gardener for £750. It is unclear whether the current house was built by Chisolm or Dunton, since there are references to a house being demolished at the start of the Gardener ownership. However, it is generally accepted that the 5 bay, 2 storey brick main house was built by Gardener.

The house was sold to James Dunton in 1882 for \$13,000. The Duntons are thought to be responsible for the brick and stone rear additions, as well as the front porch that was still on the building at the time of its relocation in 1989. The house and property remained in the Dunton family, passing to Peter Dunton whose family maintained ownership until a least 1965 when the property was sold to a development company.

In 1970, a fire gutted the rear 2 storey brick wing and 1 storey stone wing, and they were subsequently torn down. It was last occupied by John Ellis, who remained there until 1988. The house was relocated to its present location on the Britannia Farm property by Orlando Corporation, who were developing the original Gardener Dunton site. The house was originally given a heritage designation in 1987 and subsequently re-designated in 1990 after its relocation.

#### 4.1 As Found 1988

(From the PJS archival fonds)

In 1988, prior to its relocation and renovation, P.J. Stokes reviewed the Dunton house in its original condition as a heritage assessment analyzing the worth for relocation and conservancy. The following is a summary of his notes.

##### *Historical/Architectural*

The farmhouse is an excellent example of early the 19th Century Neo-Classical Vernacular of Southern Ontario from the beginning of the Victorian period. It is essentially Greek Revival in its trim profiles and detailing. It is an example of a transitional house from the point of view of combined post and beam construction with stick frame infill, heating by wood stoves instead of fireplaces, and window composition of 12 panes (3 across by 4 down) on the Front Elevation, which was prevalent prior to the 19th century for the front windows, and 15 panes (3 across by 5 down) more common in the Victorian era on the side



Figure 4.6 Dunton House. Archive photo of rear wing. 1930.



Figure 4.7 News photo. PJS Fonds. 1970.



Figure 4.8 Dunton House front entry. Note glazing. PJS Photo. 1988.



Figure 4.9 Dunton House. Interior of front entry. PJS photo. 1988.



Figure 4.10 Dunton House. Details of main stairs. PJS photo. 1988.



Figure 4.11 Dunton House. Interior molding. PJS photo. 1988.



elevations. The  $\frac{1}{4}$  circle windows in the attic originally faced south and are a quirky holdover from the regency style, with the farm god's eye window tradition. Its layout also reflects this transitional period, as more elaborate separation of the best part of the house from the functional part was established with the rear 2 storey wing housing the main kitchen, pantry, servant's stair and quarters.

### *Layout*

The front wing of the house is 2 stories, with a central hallway and stair, 4 main rooms on the ground floor and same on the second, with a smaller mid room over the entry hall which was probably a nursery originally, but was converted to a washroom with the advent of modern plumbing. The 2 storey rear wing appears to have been built slightly later, and houses the large farmhouse kitchen, pantry, and indoor privy on the ground floor, with servant stairs leading to servant quarters on the second floor. To the north (now south) was a covered porch and primary back entry. This was enclosed at some point as an unheated vestibule.

The 1 storey stone wing was originally the summer kitchen, having been added after the construction of the 2 storey rear wing. The original house had a full height finished basement. Under the north side (now south) was a full kitchen with large cooking hearth and bake oven. The land sloped away to the north, allowing an exterior entry to the basement kitchen. An earlier front portico (probably Neo-Classical in style) had been replaced with a larger, square, column-covered, late Victorian-styled porch circa 1920s spanning the centre half of the front façade.

### *Construction*

The main front wing is 3 wythe brick construction, the brick being old Ontario Modular, built with Flemish bond on the front façade and common running bond for the rest of the building. The foundations were cut and random shale and slate stone, with some limestone pieces. Window lintels are rough cut buff and reddish sandstone, mostly face bedded, resulting in some flaking deterioration. The sills are also sandstone, but are correctly orientated with natural bedding. The original mortar was a full lime putty-type mortar with coarse river sand and red brick dust.

The interior structure is post and beam with stick frame infill. The hallway walls are the two interior 'bents'. The roof is composed of rough cut 4" x 4" rafters at 32" OC lap jointed at the top with no ridgebeam. Intermediate 8" x 8" purlins run north-south at the midpoint of each roof slope, which are supported with jack posts bearing on the top beam of each hallway bent. Roof planks are rough sawn 1" planks

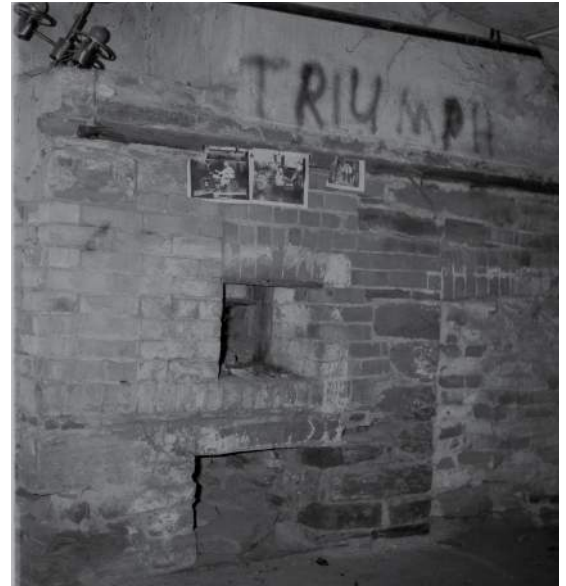


Figure 4.12 Original basement with hearth and bakeoven.



Figure 4.13 Dunton House being relocated from original site. PJS Photo. 1989.



Figure 4.14 Dunton House being relocated from original site. PJS Photo. 1989.





Figure 4.15 Dunton House. East Elevation. 2009.



Figure 4.16 Dunton House. West Elevation. 2009.



Figure 4.17 Dunton House. North Elevation. 2009.

varying in width from 12" to a couple that were 22" in width. Older nail patterns on the underside of the roof boards indicate the original roofing was cedar shakes. Some old cedar debris was found between the roof boards and rafters, further confirming the original roofing material. 2" x 6" ceiling joists run north-south at 24" OC and are notched and pegged into the top plate beams at the hallway bents and let into the masonry walls. It is assumed that floor framing is similar to the 2nd floor joists, except their depth appears to be 10". The ground floor joists are exposed in part of the basement and are 2" x 10" at 24" OC. The south hall bent (now north) had settled early in the life of the building, as evidenced by the sloped floors and the disconnected ceiling joists as seen from the attic. Because cracked plaster and door frame movement was repaired over the years, the sloped structure is now embedded in the building and would be difficult to remedy.

The 2 storey rear wing was destroyed at the time of review in 1988, however, it was a 3 wythe masonry building as seen in the residual walls after the fire. The ground floor level is approximately 1' lower than the main front wing and the second floor is approximately 2' lower than the second floor of the front wing. This was possibly in response to its original siting, where the land sloped away to the northeast. The interior framing was lost after the fire, so floor thicknesses and levels were estimated from the outline left on the main building.

The 1 storey extension to the back wing was completely removed by 1988, but was guessed from photographs and foundations to be a 20" thick random stone masonry structure with an offset gable roof matching the slopes to the 2 storey rear wing. Its floor level steps down 14" from the rear wing. Photographs show a shed structure attached to the east of the house, as well as a cupola with bell and weather vane. Both the 2 storey and 1 storey wings only had crawlspace basements, with the one storey likely sitting atop a rain cistern - evidenced by the rain water leaders routed into the building, as seen in heritage photographs.

### 4.3 As Found 2009

(Renovation in 1989 and as-reviewed in 2009)

The building was relocated to Britannia Farm just north of the Britannia Farmhouse and then extensively renovated in 1989 by Cantay Holding's architectural engineering firm R.E. Winter & Associates Ltd., with overview by PJS as heritage architect. The house was set back from Hurontario Street a shorter distance than the Britannia Farmhouse. In its original location it was less than half the distance from the road. Its orientation is now rotated 180 degrees from its original orientation. The PDSB intended the house to become the centre for the new farm education facility as described in the 1989



Figure 4.18 Dunton House. South Elevation. 2009.



Figure 4.19 Dunton House. Southwest Corner. 2009.



Figure 4.20 Dunton House. Northeast Corner. 2009.



Figure 4.21 Dunton House. Southeast Corner. 2009.





Figure 4.22 Dunton House. East windows & shutters. 2009.



Figure 4.23 Dunton House. Side windows. 2009.



Figure 4.24 Dunton House. View of front door. 2009.

The main front wing was braced, raised and carried down Hurontario Street in December 1988 by Cecil Abra Building Movers Contractors and set on concrete foundations faced with stone to mimic the original stone foundations (at least above grade). The sloped floors were kept after the move and renovation because the age of the defect would prove too difficult to correct. The 2 storey and 1 storey rear wings were replicated from photos and surveys of the original foundations. Plans were in place to build the attached shed, but this was not done. From PJS's extensive measured sketches, many details were replicated including the basement bake kitchen. The front porch was removed prior to relocation and a simple (somewhat rudimentary) open porch and steps were constructed with pressure-treated lumber. The original wood lintel of the first porch can be seen inset in the masonry above the door. The chimneys at the north and south gables of the main front wing were completely rebuilt using new John Price red brick.

Many of the original windows and shutters had to be replicated due to damage or poor condition and little of the original glass remains. The front entry architrave, door, side and transom windows were preserved, but only 2 of the original leaded glass lites were salvageable. Within the interior, most of the plaster work has been repaired with judicious replacement with GWB where damage was too great. Trim was stripped and repaired where possible, and there has been some attempt to replicate the trim work where it was missing. Plaster crown moldings in the 2 ground floor main rooms were mostly preserved. Several interior doors are replications. The main interior stair was preserved almost in its entirety and judiciously reinforced.

The renovation saw the installation of new electrical and plumbing services throughout the building and a gas-fired forced air heating system and central air conditioning. Modern framing and finishes were employed in the rear wings; the masonry shells, however, were replicated as best as could be interpreted from photos. The brick is a modern John Price red brick with a Portland and lime white mortar. The stone for the 1 storey wing is a mix of rounded flat limestone and granite field stones, broken face limestone, shist and shale flags, roughly horizontally coursed. The stones are bedded in a standard Portland lime mortar and tuckpointed with a high lime and white portland face mortar tooled over the arises. The stone masonry has not been parged as per its original condition prefire. The cupola was shown on PJS's design drawings, but was not built. Foundations were apparently poured for the attached shed, but it also was not built.

The new location had one site problem that continues to cause some difficulty with the building. The original site was well sloped and well



Figure 4.25 Dunton House. 1/4 Round windows. 2009.



Figure 4.26 Dunton House. Early Ontario Modular red brick. 2009.



Figure 4.27 Dunton House. Single story wing field stone. 2009.





Figure 4.28 Dunton House. Interior of front door & interior architraves. 2009.



Figure 4.29 Dunton House. Entry stair & handrail detail. 2009.



Figure 4.30 Dunton House. Interiors & crown molding detail. 2009.

drained whereas the new location has little slope and an exceptionally high water table. The original building level was raised during the construction in an attempt to alleviate the water problem. Currently, the basement floor is a wood floor built above a 3' crawl space that has 2 sump pumps that operate almost continually during the spring and fall. A white cedar shingle roof was installed replicating what was probably the original first roof.

Since little of the original 2 storey and 1 storey rear wings existed, interior detailing of the rebuilt wings was somewhat interpretive and leans somewhat to a shaker style with clench nailed plank doors, planked wainscoting and plain mouldings. The kitchen area remains as a kitchen/office centre and fits well in the layout, however, the wheelchair accessible washroom in the 1 storey wing is quite awkward in layout and obscures the south window in the room.

#### 4.4 Heritage Evaluation

##### *Associated Families*

The homeowner's legacy is significant in that the Chisolm, Gardener and Dunton families all had significant roles in the building of Mississauga's history.

##### *Relation to site*

Although not its original location, the current siting is a demonstration of the archetypal farmhouse-street relationship. Its relationship to the 2 other buildings is important as part of the PDSB Britannia Farm Agricultural Education Centre enclave. Historically, it is still on Hurontario Street, albeit slightly south and on the west side.

##### *Architectural/House Form*

The house is a fine example of 19th century transitional home building and style, from Post and Beam construction to stick frame, and Neoclassical Regency to Farmhouse Victorian. It is also significant in its formal separation of the best rooms from the working rooms and the unique aspects of wing buildings and basement cooking hearth.

##### *Original Material/Building Fabric*

The main wing has enough original building fabric, both exterior and interior, to have historical significance and its restoration was fairly sensitive to the original detailing. The replicated additions are less significant since they are newly remade with new materials and do not fully employ historical building techniques or reused materials. The introduction of modern HVAC, electrical, fire safety, security and plumbing systems, while maintaining the viability and continued use of the building, has had an impact on the interior of the building, with some poor decisions regarding service bulkheads and chases. Also, the HVAC is having some negative impacts on the masonry due to



Figure 4.31 Attic showing ridgeless roof structure & reinforcing from 1990 renovation. 2009.



Figure 4.32 Purlins - bearing to hall structural bents. 2009.



Figure 4.33 Displaced ceiling joists at north hall bent. 2009.





Figure 4.34 Dunton House. East Interiors showing front entry beyond. 2009.



Figure 4.35 Dunton House. Interiors. 2009.



Figure 4.36 Dunton House. Basement interior showing rebuilt hearth and bakeoven. 2009.

in-wall exfiltration and warm air leakage.

### *Designation*

The building was designated in 1988, then redesignated in its current location and renovated form in 1992. It is also named as part of the Cultural Landscape Listing, along with the Britannia Farmhouse.

### **4.5 Current Condition**

The general Overall condition of the Dunton house is good. This is due not only to its recent renovation (1990), but also due to its continued usage and maintenance programme carried out by the PDSB. That programme has ceased for the moment due to the discontinuation of the centre for agricultural and wilderness education.

Upon inspection in March and April 2009, there has been some brick, mortar and stone deterioration with areas of erosion and spalling at the gable faces, at the original chimney flue locations and at the south-west corner due to water freeze-thaw from a leaking rain water leader. Several of the sandstone window lintels are shaling due to incorrect bedding, and some are cracked. Several window sills have split, causing water damage to the masonry below the windows. There is mortar deterioration at the brick joints, at the eaves, and on the stone veneer along the exposed foundation wall.

Since the renovation, cracks in the walls have appeared at the north, west and south walls of the main front wing and on the south wall of the stone wing. The shed cover to the basement kitchen entry is deteriorating due to exposure and wood rot. Eaves, trim and fascia are generally in good condition except for repainting. Similarly, exterior casework such as windows, shutters and doors are in stable condition except for paint deterioration. Roof shingles and flashings appear in good condition.

There is some wear to internal finishes, but it is minor. Due to the dampness in the basement of the main wing, there is some progressive deterioration and mold conditions due to the ongoing subsurface water conditions.

Due to conditioned air provided by the HVAC system, there is some evidence of exfiltration through the masonry, as well as condensation damage on wood surfaces in the attic. It is likely that the HVAC system is creating a positive pressure in the building and forcing warm moist air during the winter into the wall structure.



Figure 4.37 South wall showing brick deterioration. 2009.



Figure 4.38 East wall showing brick deterioration. 2009.



Figure 4.39 North wall showing brick deterioration. 2009.



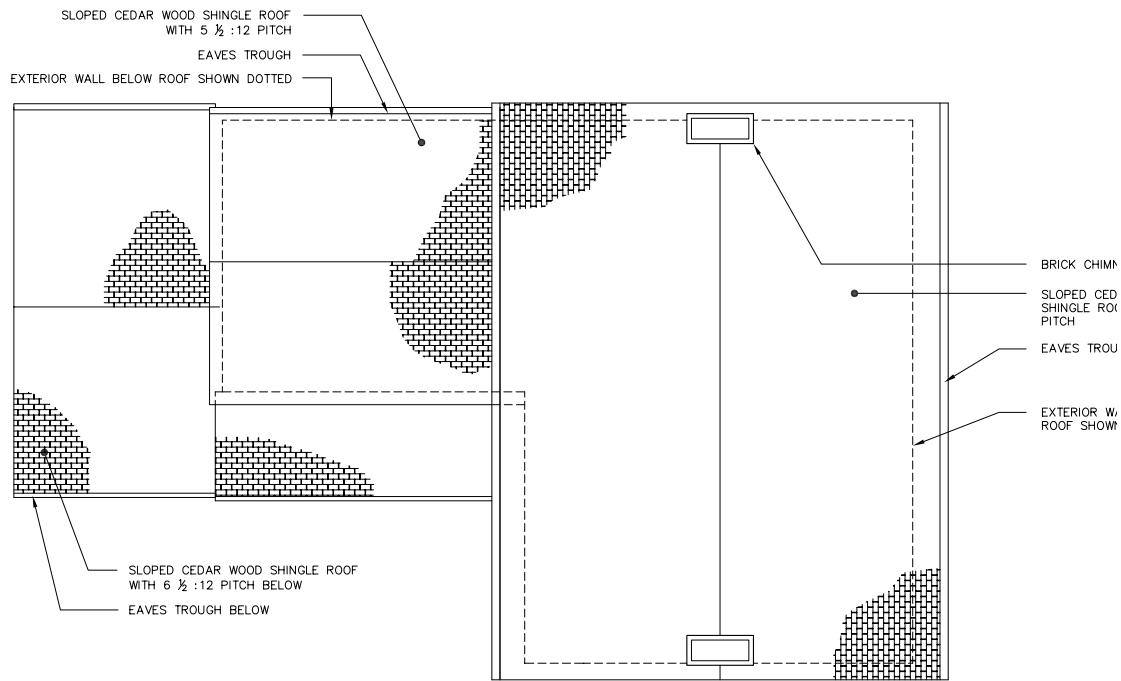


Figure 3.40 Dunton House. Roof Plan.

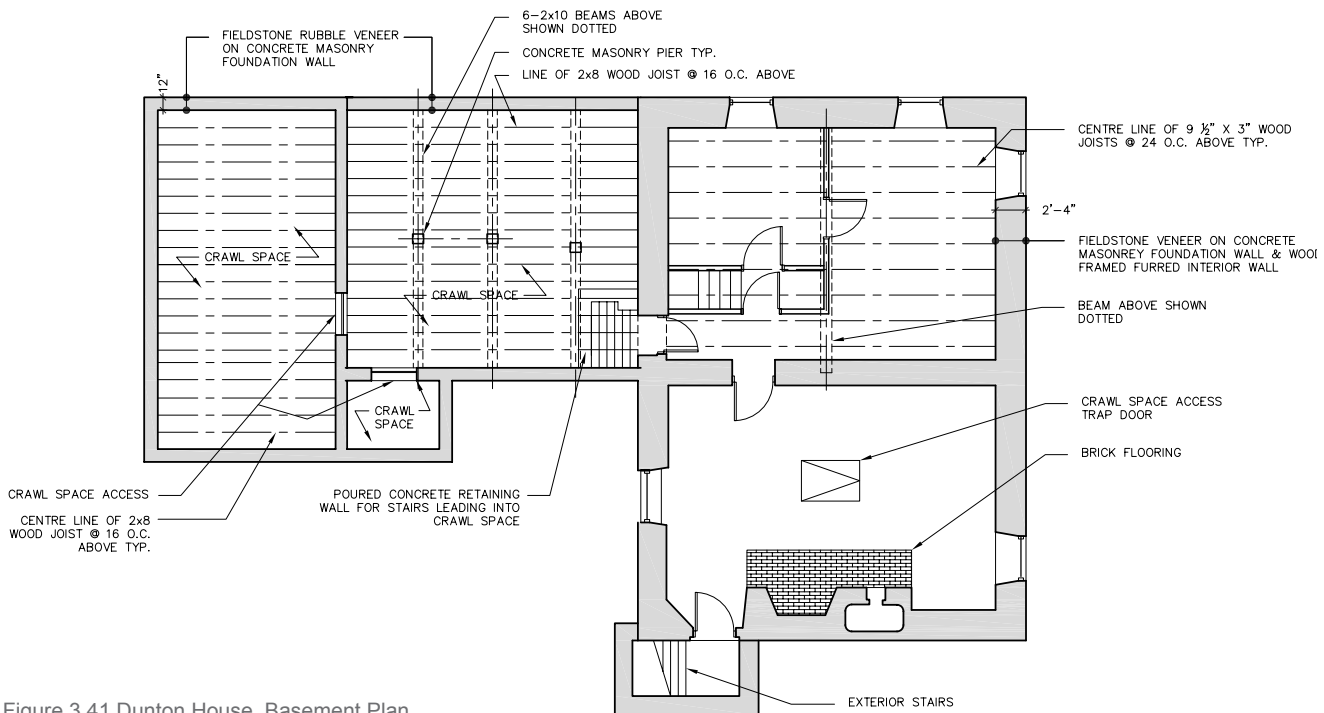


Figure 3.41 Dunton House. Basement Plan.

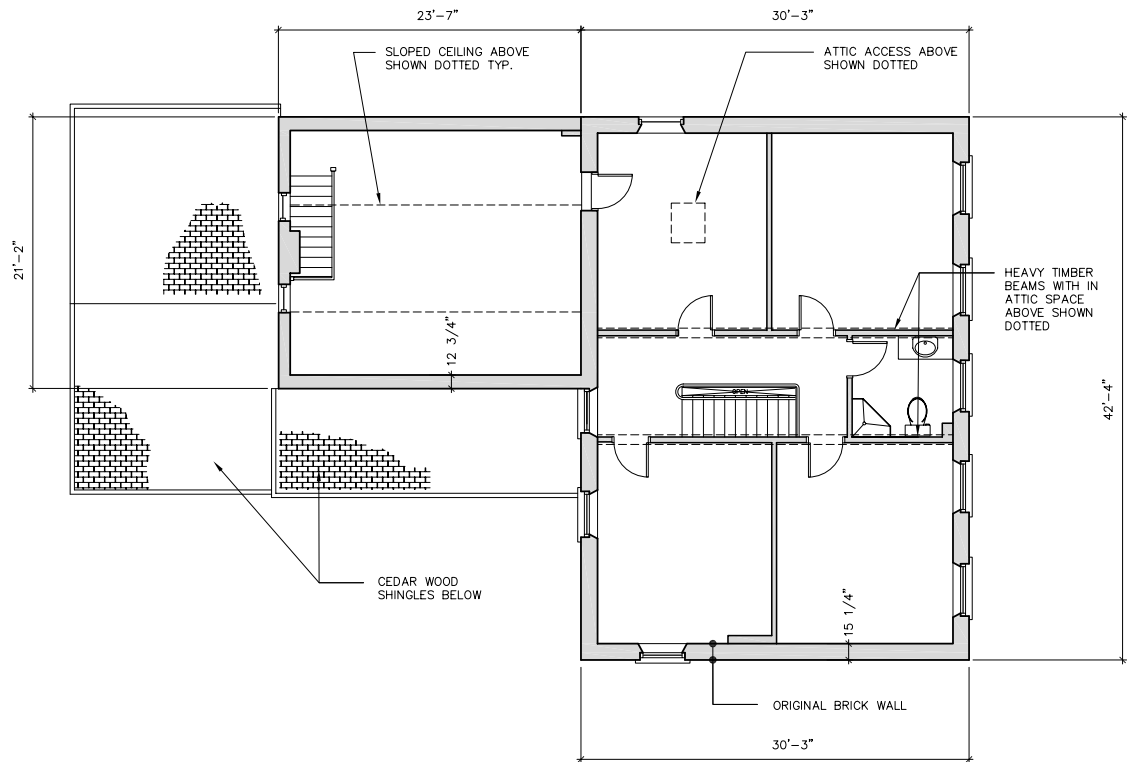


Figure 4.42 Dunton House. Second Floor.

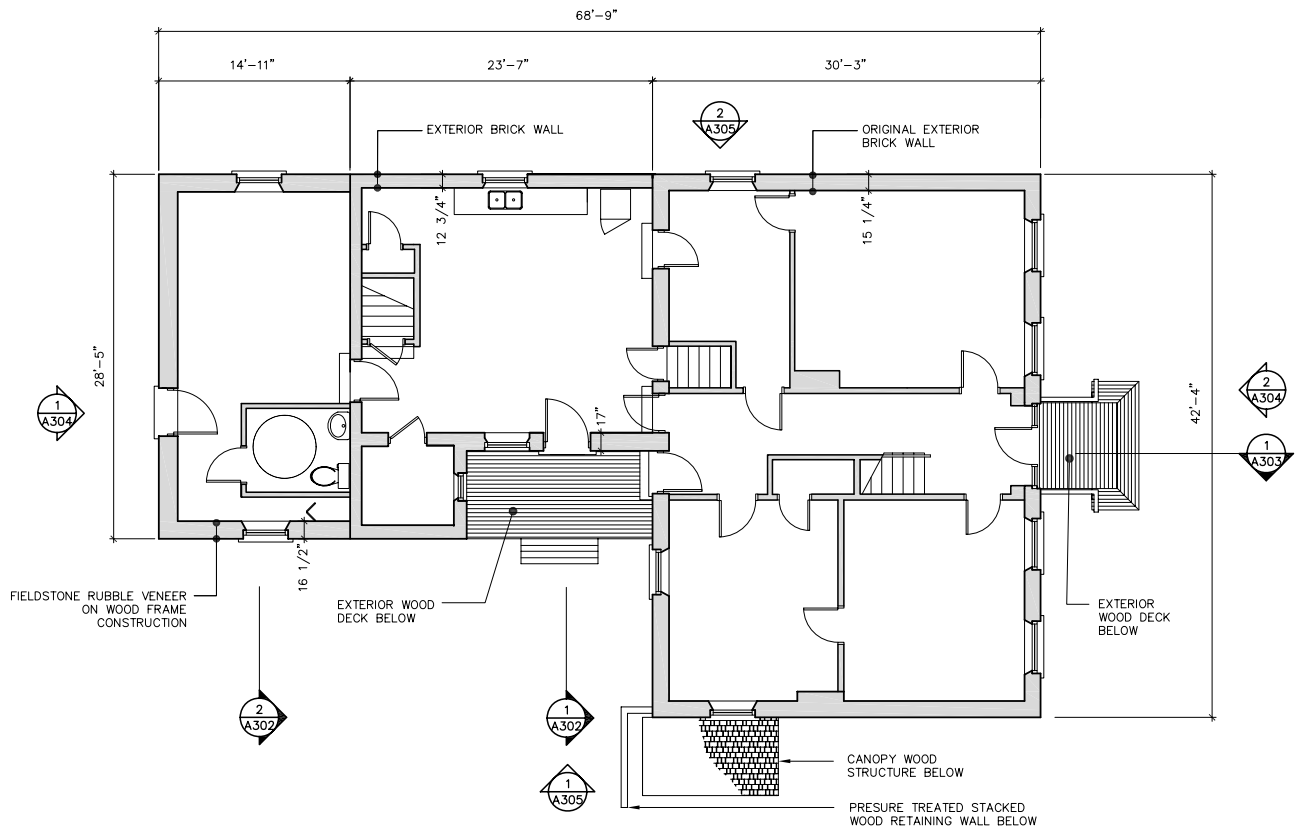


Figure 4.43 Dunton House. Ground Floor Plan.



Figure 4.44 Dunton House. Cross Section.

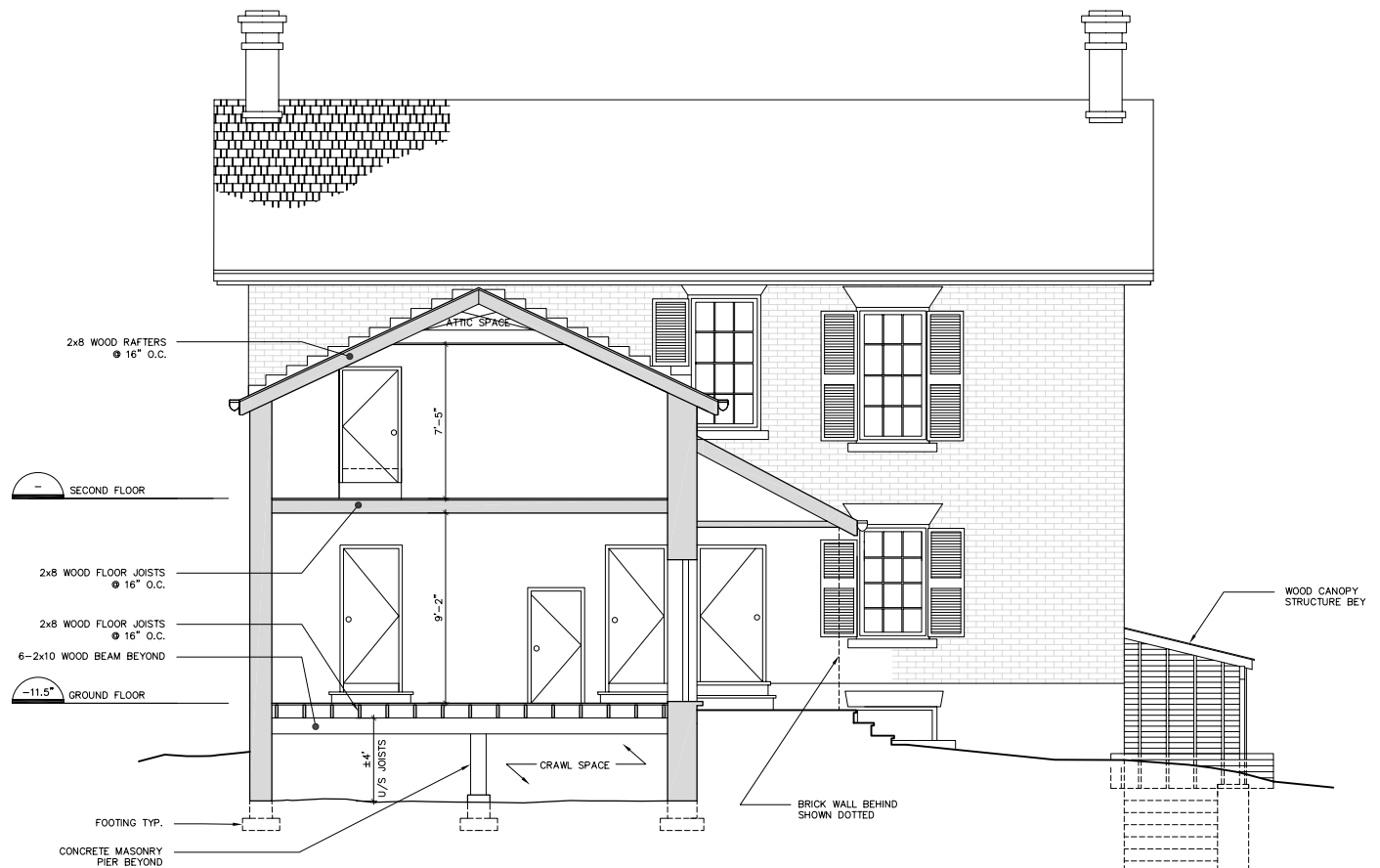


Figure 4.45 Dunton House. Cross Section.



Figure 4.46 Dunton House. Front Elevation.

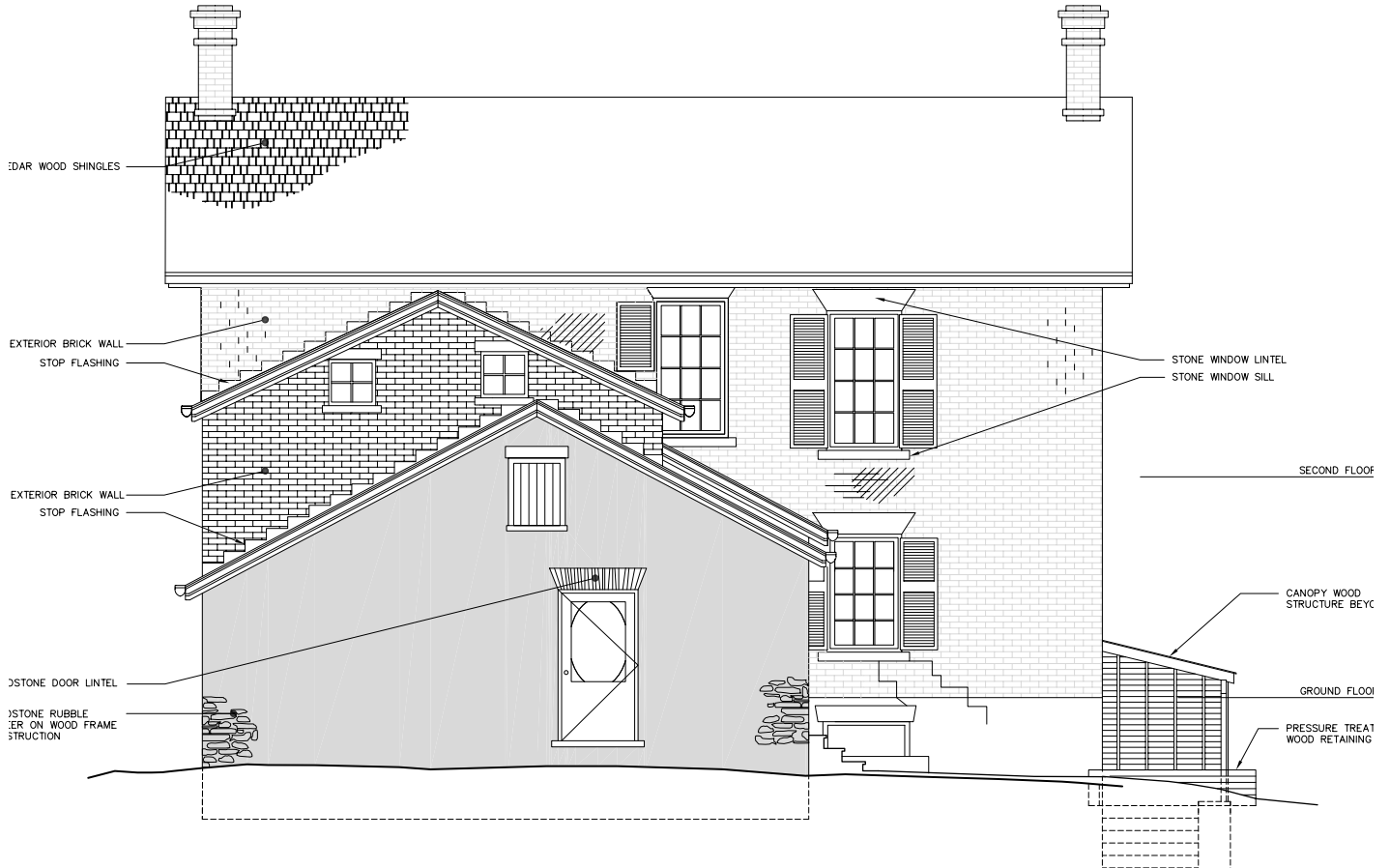
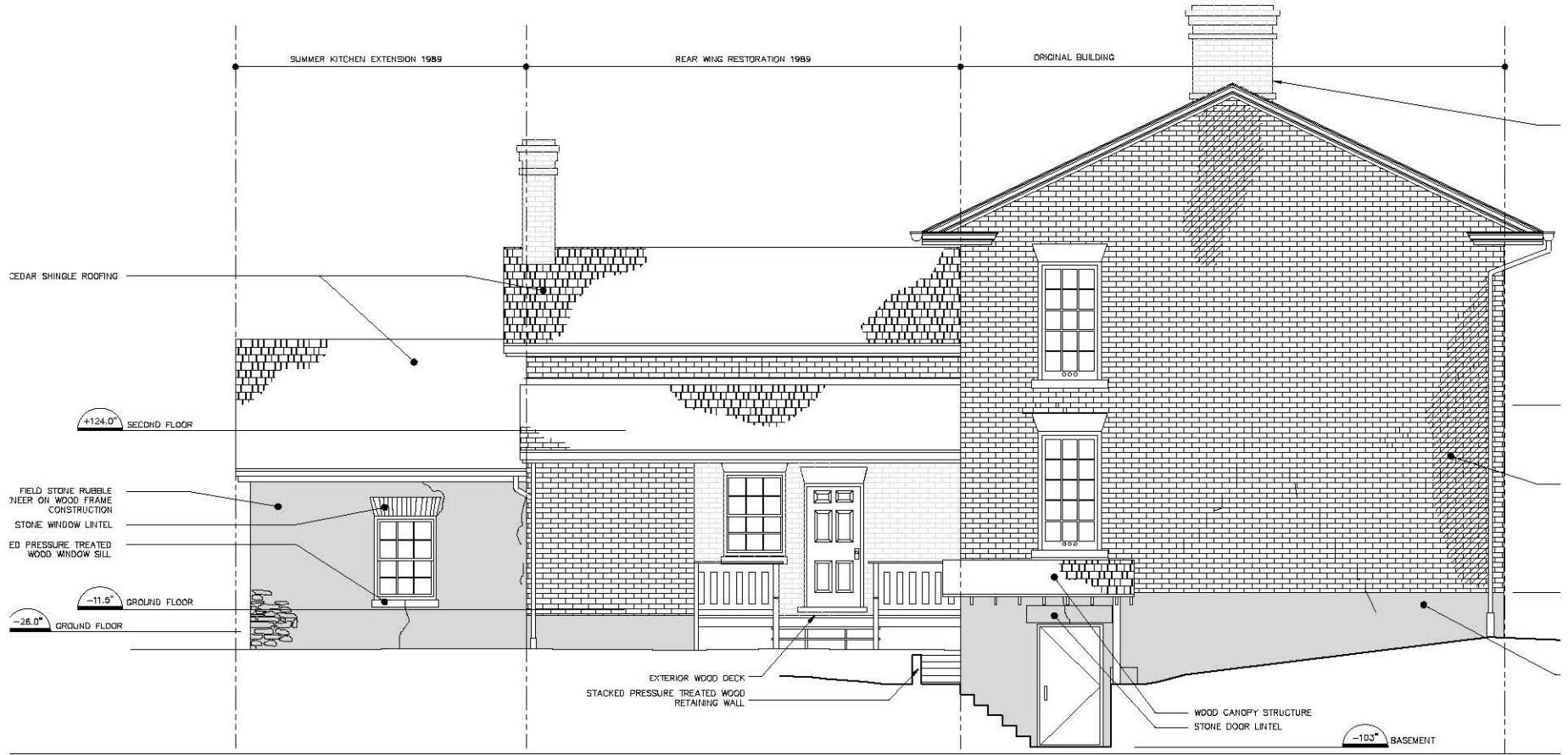


Figure 4.47 Dunton House. Rear Elevation.



Figure 4.48 Duntun House. Side Elevation.



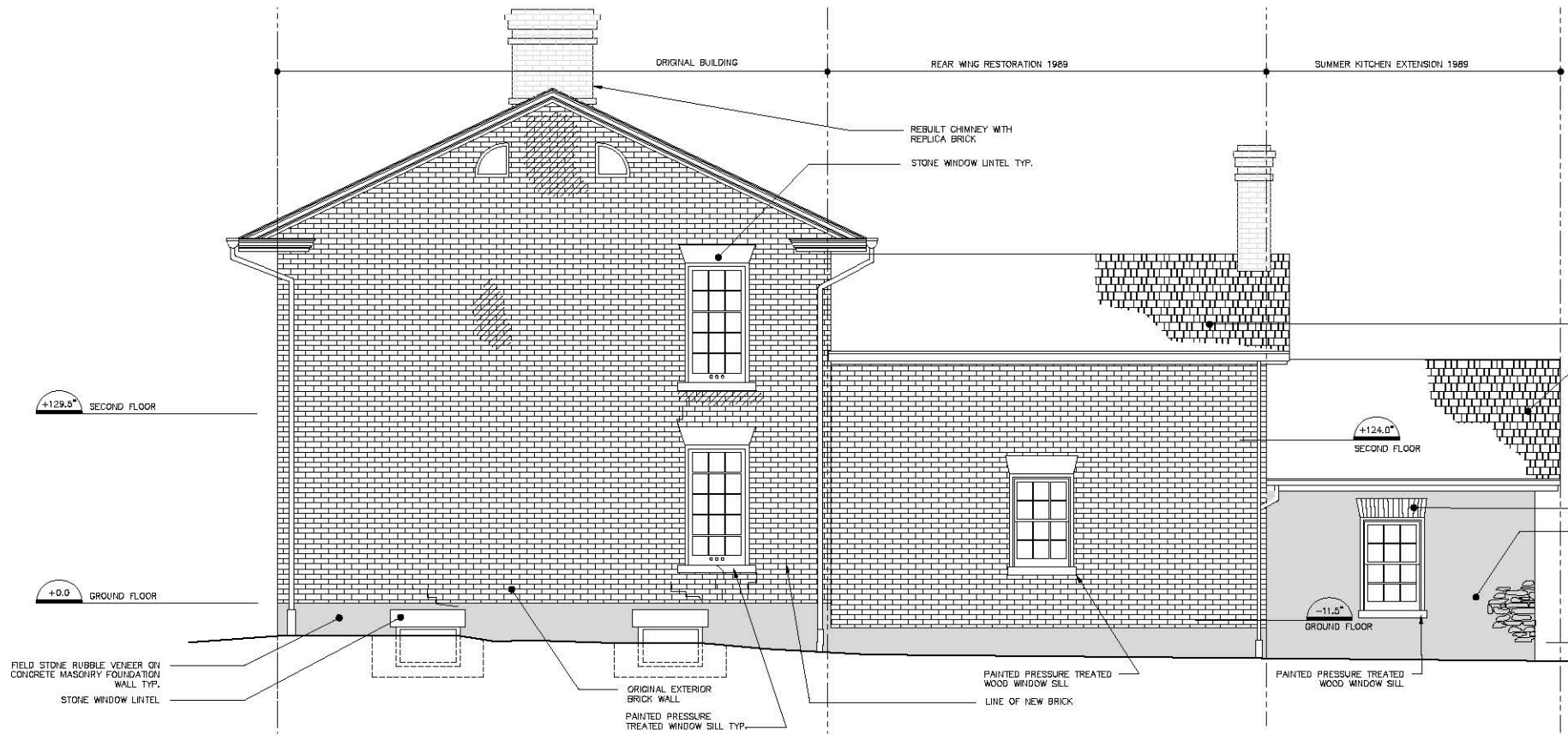


Figure 4.49 Duntoun House. Side Elevation.  
BRITANNIA FARM HERITAGE IMPACT STATEMENT 57



Figure 5.1 Conover Barn. 2009.

## 5.0 Conover Barn History & Overview

5.1 History

5.2 As Found 1986

5.3 As Found 2009

5.4 Current Condition

5.5 Heritage Evaluation





Figure 5.2 Original Conover Barn Viewed from Northwest. 1988.



Figure 5.3 Original Conover Barn. Viewed from Northeast. 1989.



Figure 5.4 Original Conover Barn. Viewed from Southwest. 1989.

The Conover Barn is the one remaining agricultural working building on the site, located to the southeast of the Dunton House. Like the Dunton house, it was brought to the site from a previous location as part of the PDSB's Master Plan to establish an education facility focused on agriculture, past rural life and wilderness, using the 200 acre lands of the farm as its classroom.

### 5.1 History

The PDSB retained Peter J. Stokes as its heritage architect and set him the task of finding a suitable barn to relocate to the Britannia Farm. PJS researched over 30 possible barns in the Peel, Halton and Durham regions, looking for suitable size and structural health to allow for disassembly, transport and reassembly. The Conover barn was selected, being a large 4 bent, 3 bay structure with a 6 bay stable below.

### 5.2 As Found 1986

(From the PJS archival fonds)

The barn was located and reviewed in 1989 by Peter J. Stokes. The following is a summary of his notes:

The barn is part of Sheridan Nurseries in Oakville, located on Cornwall Road and east of Maplegrove Drive, near Royal Windsor and Ford Drives. It was a Gambrel roofed banked barn built in the late 1800s, with new and reused timbers from an earlier structure. The upper hay mow is quite large and airy, composed of only 4 bents and 3 bays, but enclosing a broad open hall of approximately 60 ft by 72 ft. The main timbers are a mix of maple and beech hardwood, which allowed for more slender and fewer structural members. The stables below are in 6 bays, with heavy post and beam structure supporting the hay mow floor. The foundation and ground floor walls were double wythe field stone construction with rubble infill and stuccoed interior. The barn board and batten cladding was hemlock and the roofing was tin shingles. It had some unusual features for barn structures, notably a circular staircase between the stables and the hay mow, and gingerbread gable trim. The barn was oriented east-west, with an earthen ramp and wagon doors to the West, an exterior staircase to the east, small venting windows for the stable to the north, and the main barnyard with doors to the south. It had some structural anomalies such as missing beam support to the floor in the eastern bay and odd diagonal framing at the southeast door. Timber from the late 19th century was identified because it was circular sawn. The few older components (mainly wall girts) were broad axe hewn.

It was considered the best choice for the school project because of its long use as a storage facility for the Nursery, which meant it had not suffered the normal wear and tear of farm operations. Its unusual



Figure 5.5 Conover Barn. Original spiral stairs. 1989.



Figure 5.6 Conover Barn. Mississauga News clipping. 1990.

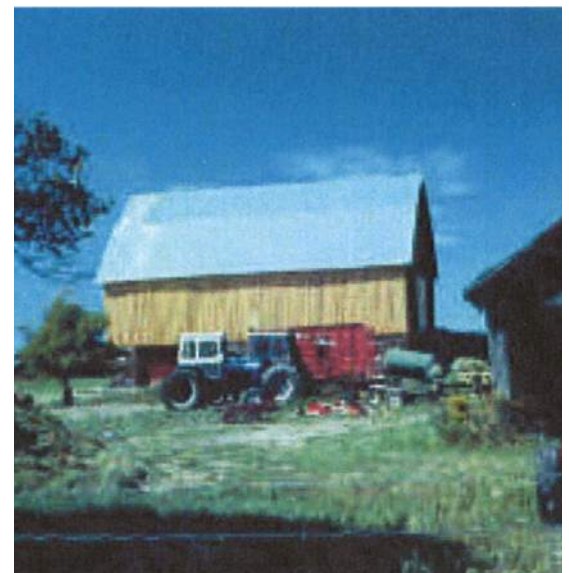


Figure 5.7 Conover Barn recently completed. 1994.



Figure 5.8 Conover Barn. View from Southeast. 2009.



Figure 5.9 Conover Barn. View from Southwest. 2009.



Figure 5.10 Conover Barn. View from Northeast. 2009.



stair and vast uncluttered loft also made it attractive. Its structure was thought sound and was fully tenon and peg jointed, allowing for non-destructive disassembly and reassembly.

### 5.3 As Found 2009

Relocation and Reassembly in 1990.

As-found in 2009.

Disassembly commenced in July 1990 and was complete by September. Portions of the cladding and roof boards were apparently salvaged, however, pictures of the newly completed barn show almost entirely new cladding. Stone was salvaged from the old barn to be used as a stone veneer. Foundations were poured concrete with 12" concrete block ground floor walls with stucco render on the inside face. Some of the windows frames and doors were salvaged for refurbishment and reuse. The heavy tongue and groove flooring for the loft was removed and reused.

The design of the barn was modified so that in its new location the ramped entry was shifted from the west to the east and lengthened. This meant the framing for the upper level was entirely reversed to orient the wagon doors from west to east and to maintain the double bay height at the doors. The circular staircase was also relocated to the northeast. The orientation of the stable level was maintained to continue the south orientation to the barnyard. The barn was sited southwest of the Dunton house, so that its barnyard would front onto an extension of the central east-west lane and back far enough to allow for a gravel school bus and visitor parking lot to the east. This also allowed for a clear drainage ditch that lead from the north fields to the pond south of the barn. A secondary north-south lane was developed to connect to the PDSB parking lot and complex.

Issues arose with the City of Mississauga Building Department and Fire Department over the intended reuse of the barn as an educational facility, citing inadequate exiting from the second level, lack of sprinklers, non compliance of the circular stair and no balustrades on the wagon ramp. In the end, the PDSB had to issue a letter to the Building Department declaring that the barn would be used only to house livestock, hay and farm equipment and would not be used for any classroom function. This allowed the PDSB to at least get a building permit for the reconstruction.

Reconstruction commenced in October 1990 with poured caisson post foundations and perimeter strip foundations. In spite of enthusiastic lobbying from PJS for a full stone foundation, for economic reasons, the stable walls were erected using reinforced and grouted concrete block with a stone veneer exterior and stucco rendered interior. On examination, it is unclear how much of the salvaged stone veneer was



Figure 5.11 Conover Barn. View from Northwest. 2009.



Figure 5.12 Conover Barn. North windows. 2009.

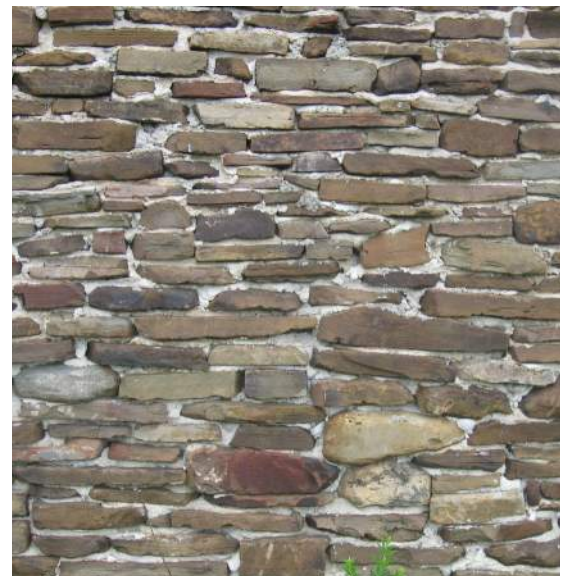


Figure 5.13 Conover Barn. Stone veneer. 2009..





Figure 5.14 Conover Barn. Interiors. 2009.



Figure 5.15 Conover Barn. Interiors. 2009.

reused as the veneer.

The reassembly work was contracted to Omar Eicher of Aylmer Ontario. PJS continued as supervising architect, and structural consulting was provided by Alan Zeegen Associated Ltd. The construction was fraught with delays and poor workmanship, along with difficult weather conditions and escalating costs. The timbers were left on site exposed to the elements during the winter, and some warping and twisting of beams resulted. At one point, a section of metal roofing was torn off during a windstorm, revealing the rafters had not been nailed to the top beam plate. PJS's notes reveal many inadequacies in the overall rebuild; in particular, joint failures in the reassembled timbers required remedial steel strap bracing, structural steel bracing and replacement of wood members with timbers salvaged from other locations. In many cases, the contractor simply nailed the beams in place instead of repegging the joints.

#### 5.4 Current Condition

Reviewing the condition of the barn in 2009, it was found to be in fair to good condition, albeit suffering from lack of maintenance and use. The exterior cladding has weathered but is sound except for the battens, which were improperly installed and should mostly be replaced. Both new and reused windows and doors have weathered and are almost paint free, and hinges and latches are well rusted. The roof appears to be in good condition and there appears to be no water penetration. Remedial structural repairs at some of the beam joints are holding, but should be reviewed by a structural engineer. Foundations and block with stone veneer walls appear in good condition except for some spalling of the interior stucco render. The white wash coating throughout the stable areas is flaking off.

There is a makeshift enclosure at the northeast corner of the loft which is being used as a storage lockup for a collection of antique farm tools. Large farm equipment is being stored on both levels. Outside, there is a small steel silo to the west and a silage hopper to the south. The remains of a hay elevator lies to the west, along with other equipment. The barn was last in use circa 2004.

#### 5.5 Heritage Evaluation

Given the artificial nature of the barn's lineage to the site, it has a tenuous relationship to the farm; however, its iconic value is strong given the loss of rural land and lifestyle in Mississauga.

It does not recreate any of the out buildings that were on the site prior to 1980, however, neither does the placement of the Dunton House. The location does suit the new enclave of the agricultural centre, and its placement with the 2 houses views well from anywhere along Hurontario Street and the approaches along the crossing access lanes.



Figure 5.16 Conover Barn. Spiral Stair. 2009.



Figure 5.17 Conover Barn. Floor Structure. 2009.



Figure 5.18 Conover Barn. Floor Structure. 2009.





Figure 5.19 Conover Barn Interiors. 2009.

The 1989 Master Plan for an active agricultural/wilderness outreach programme, as reflected in the barn and the associated farmhouses, has, over the last 18 years, built a cultural memory that gains strength as the city densifies and surrounds this last outpost of rural imagery.

The Conover Barn was largely recreated as original, although modifications were made to suit the new site and to establish the barn as a fully functioning agricultural building. This, in itself, reflects a strong lesson in heritage building functionality and the general practical rural spirit of unsentimental adaptation to solve the need at hand.

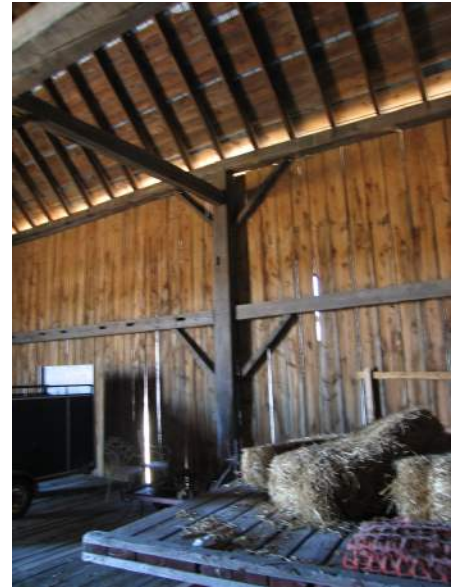


Figure 5.20 Conover Barn. Substituted Wall Girt. 2009.



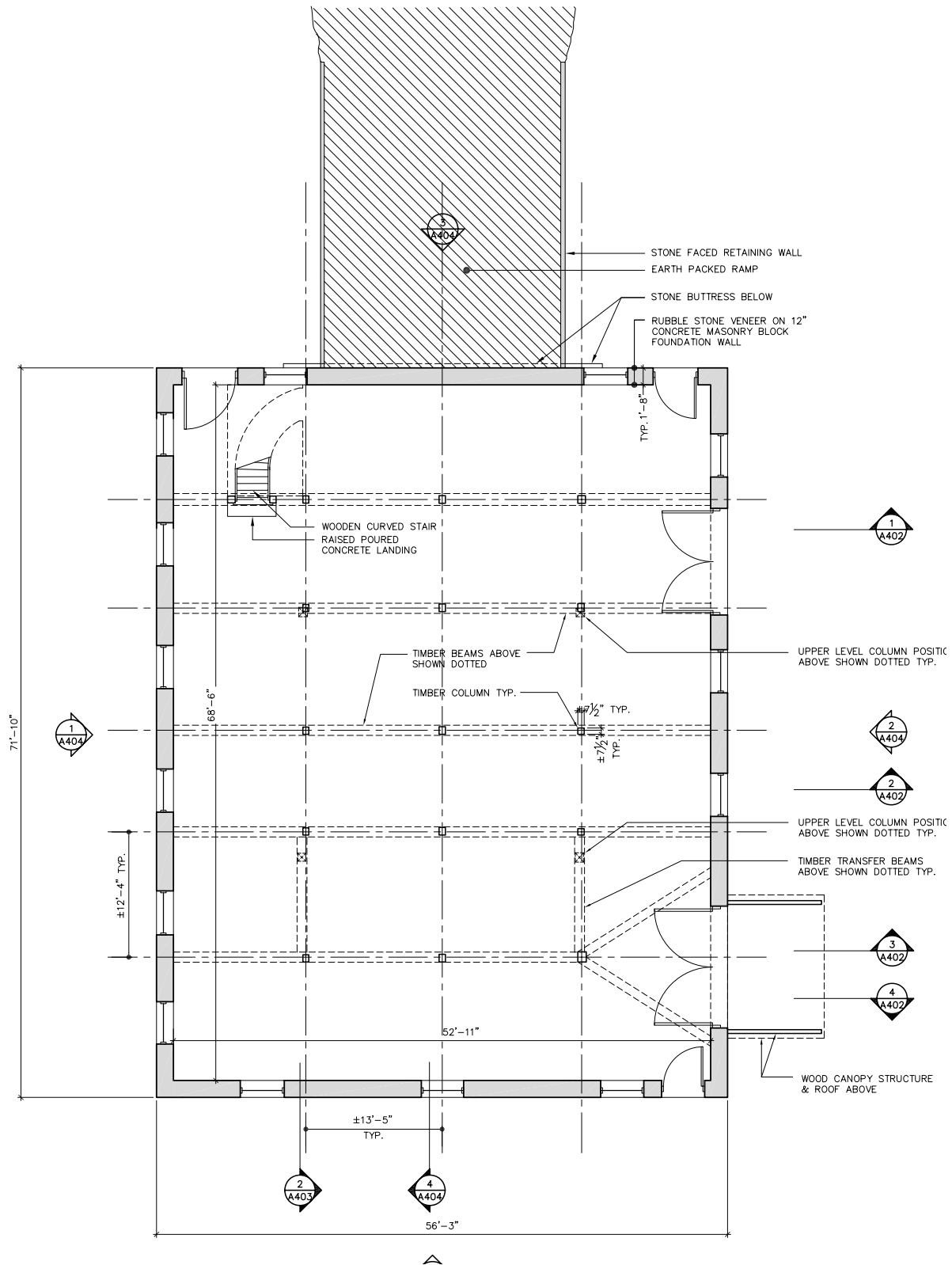


Figure 5.21 Conover Barn. Ground Floor Plan.

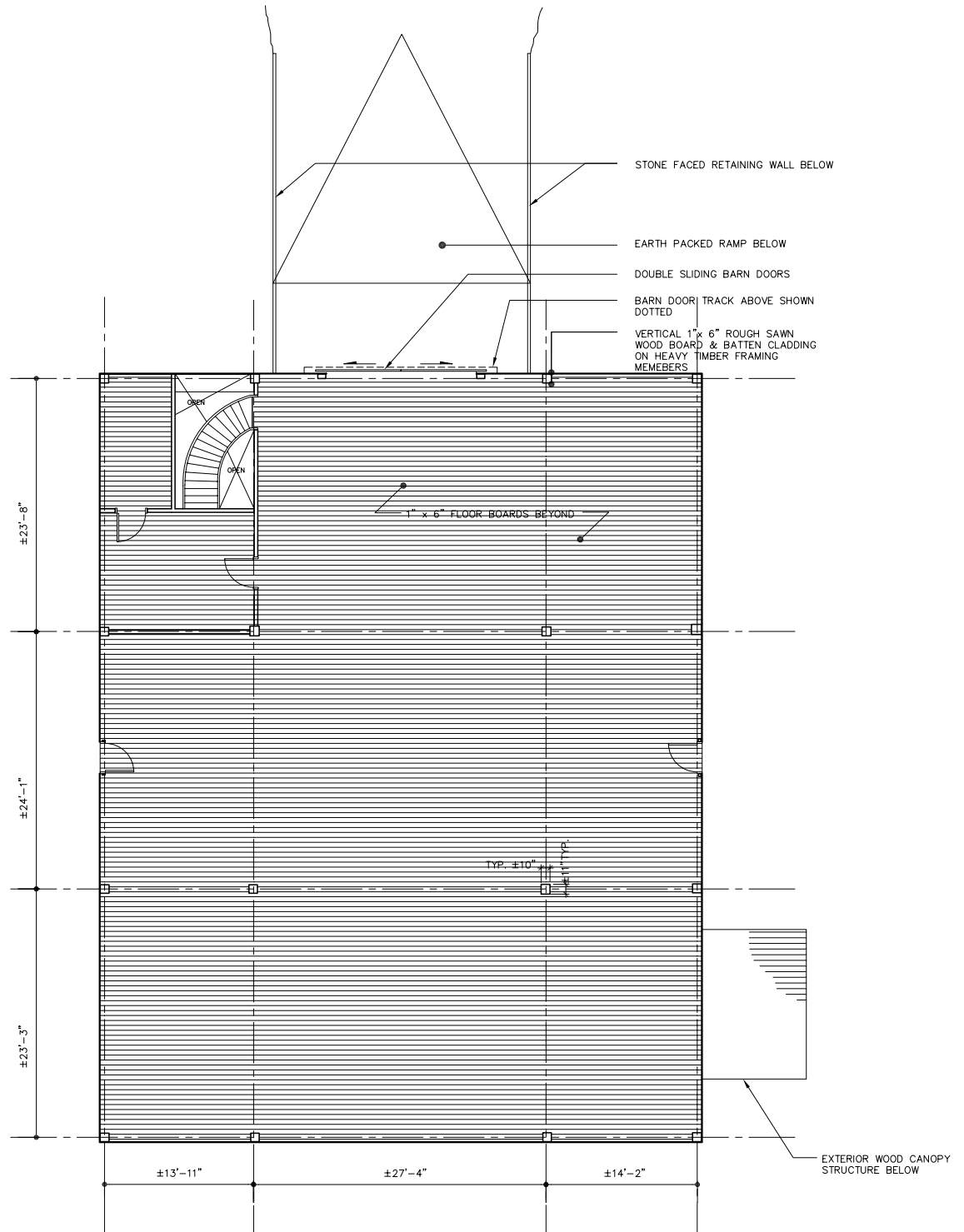


Figure 5.22 Conover Barn. Second Floor Plan.

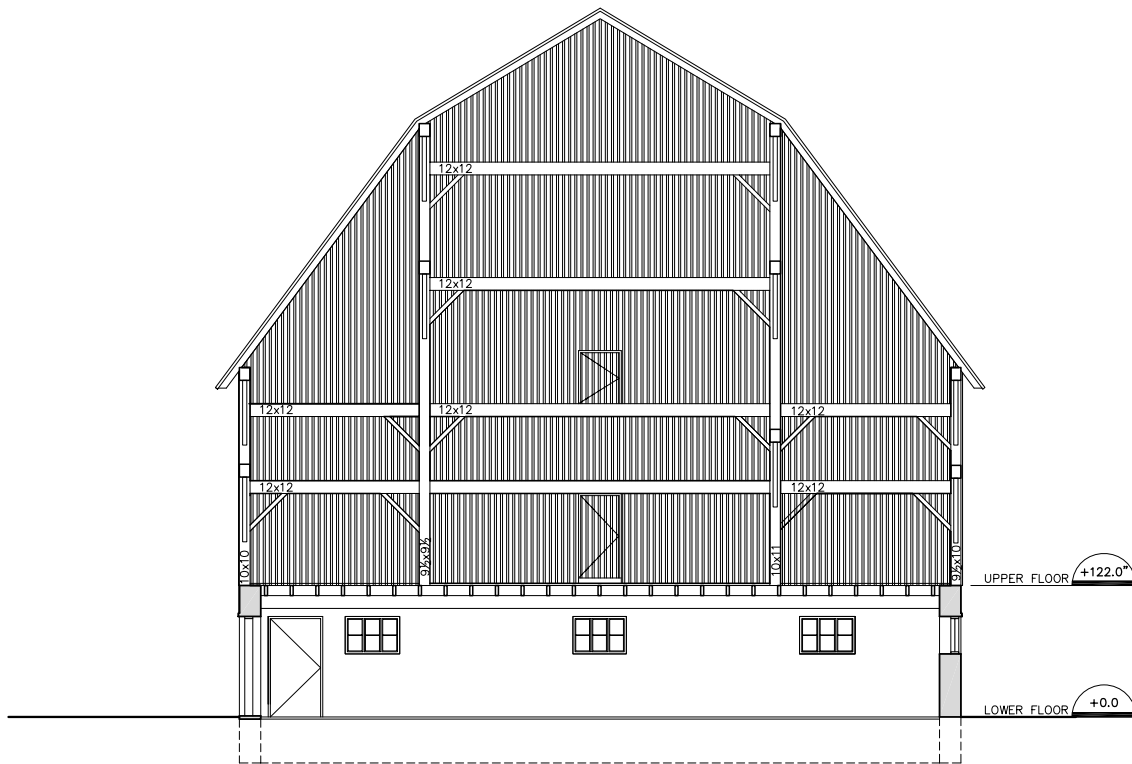


Figure 5.23 Conover Barn. Section looking west at end bent.

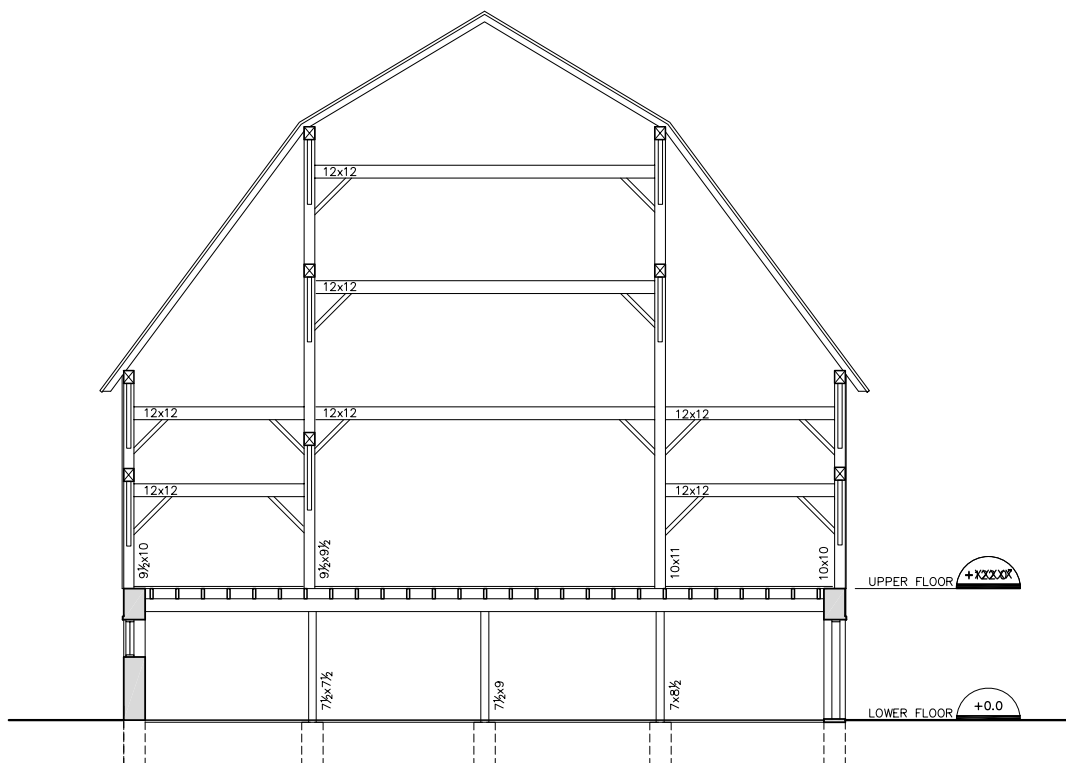


Figure 5.24 Conover Barn. Section looking east at middle.

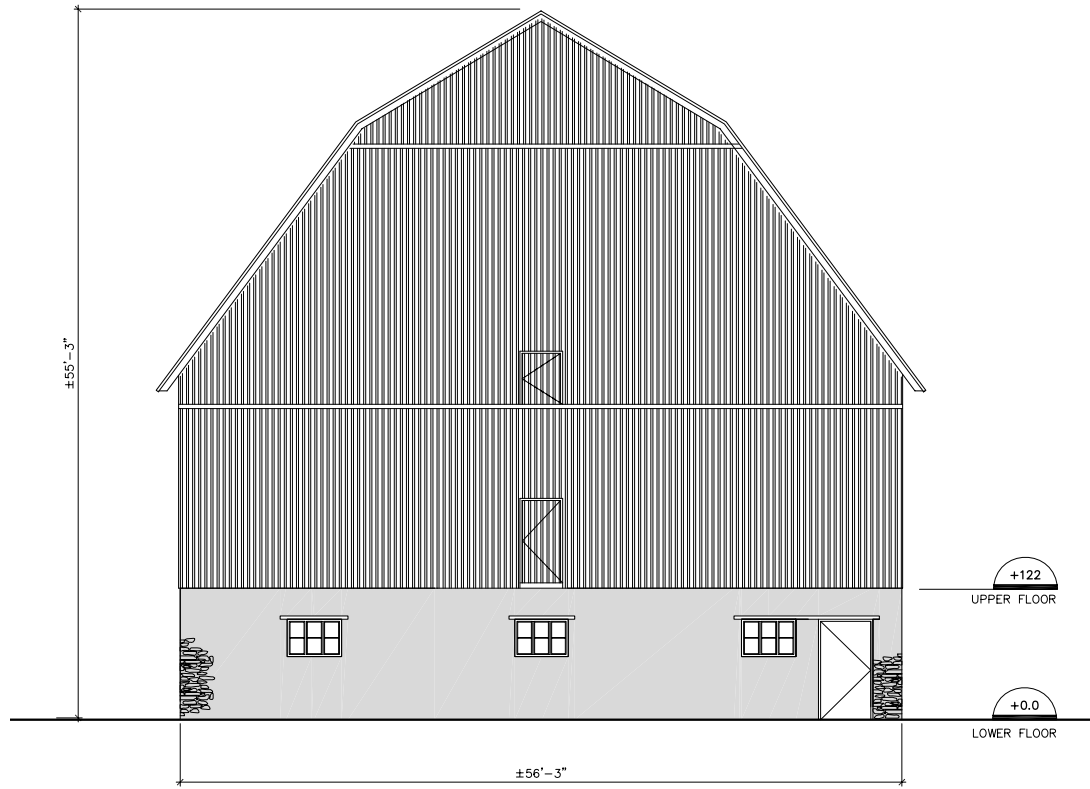


Figure 5.25 Conover Barn. West Elevation.

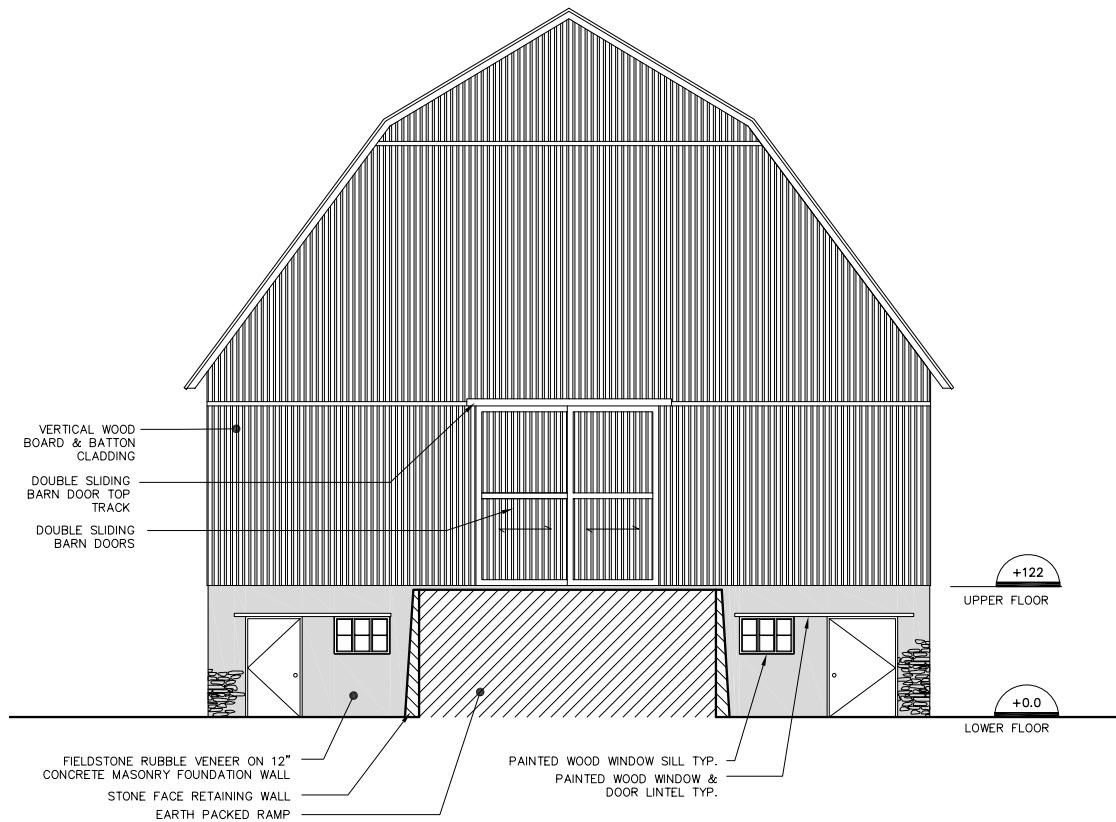
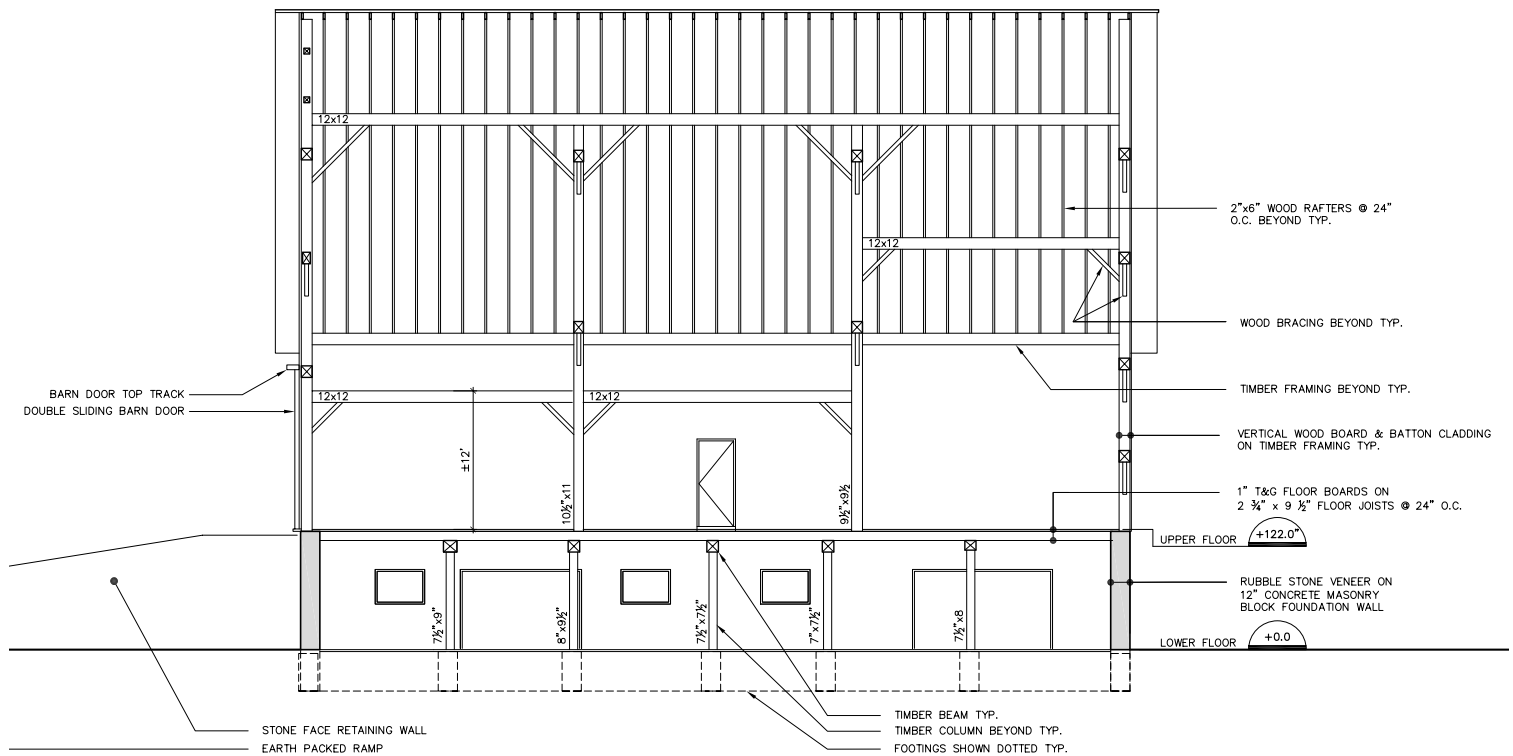
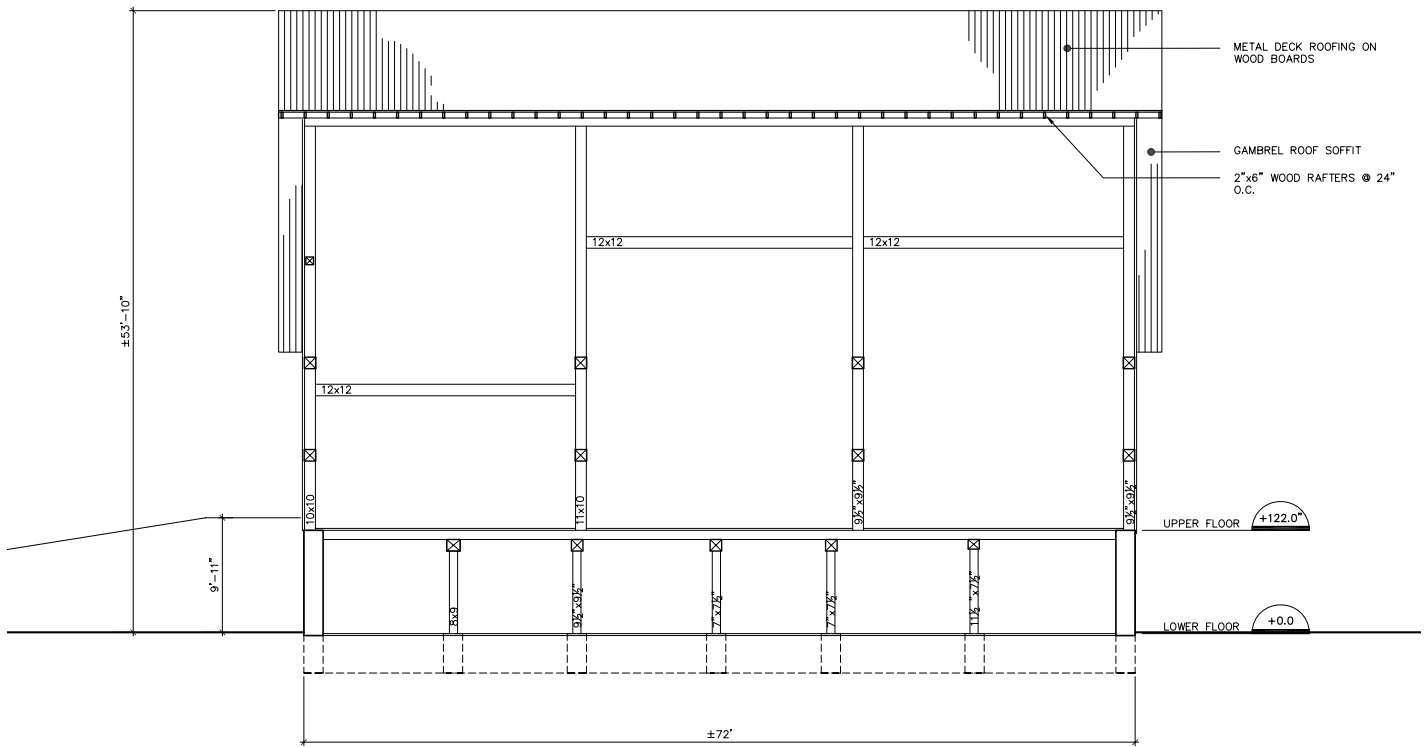


Figure 5.26 Conover Barn. East Elevation.





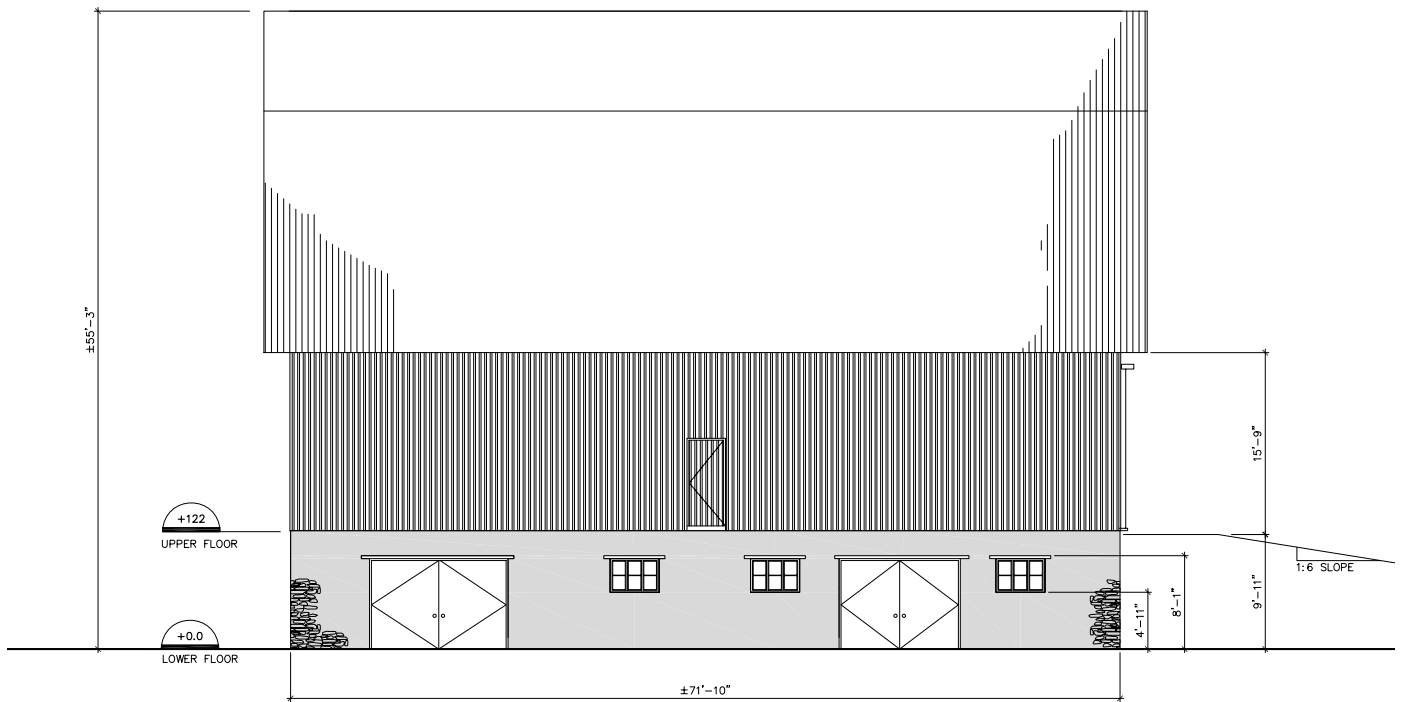


Figure 5.29 Conover Barn. West Elevation.

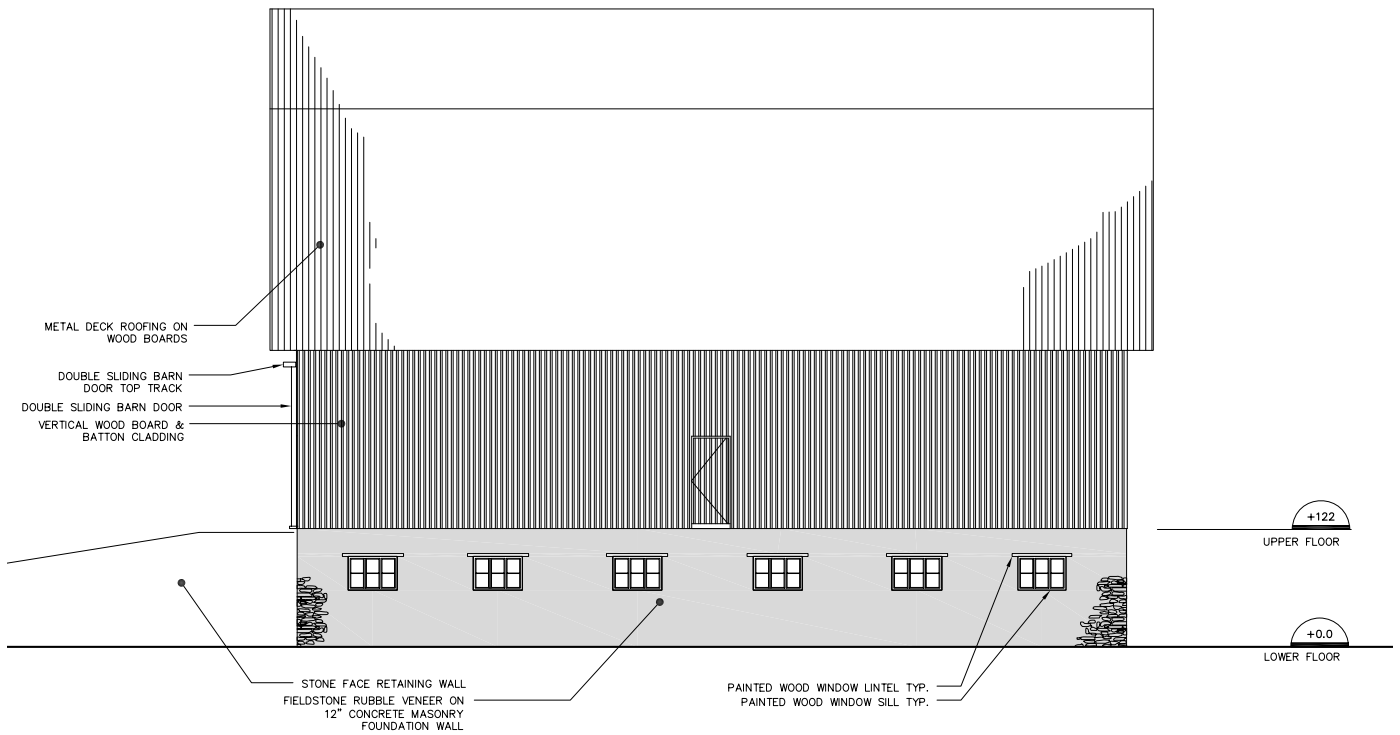


Figure 5.30 Conover Barn. East Elevation.



Figure 5.31 Conover Barn. Perspective Elevation showing structural elements.

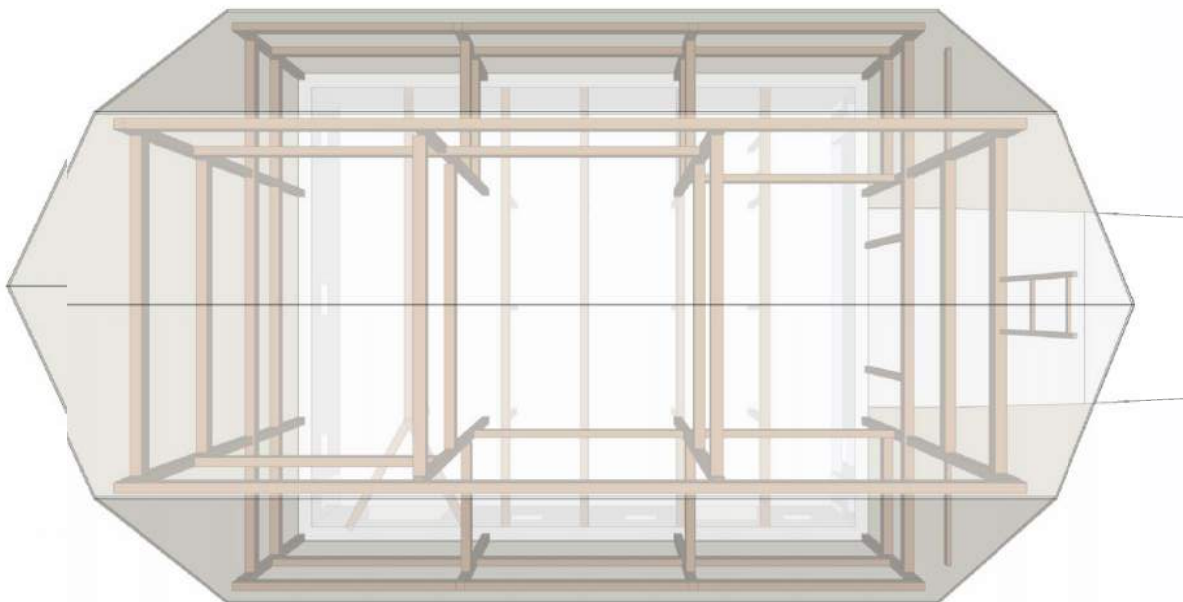


Figure 5.32 Conover Barn. Perspective Plan showing structural elements.

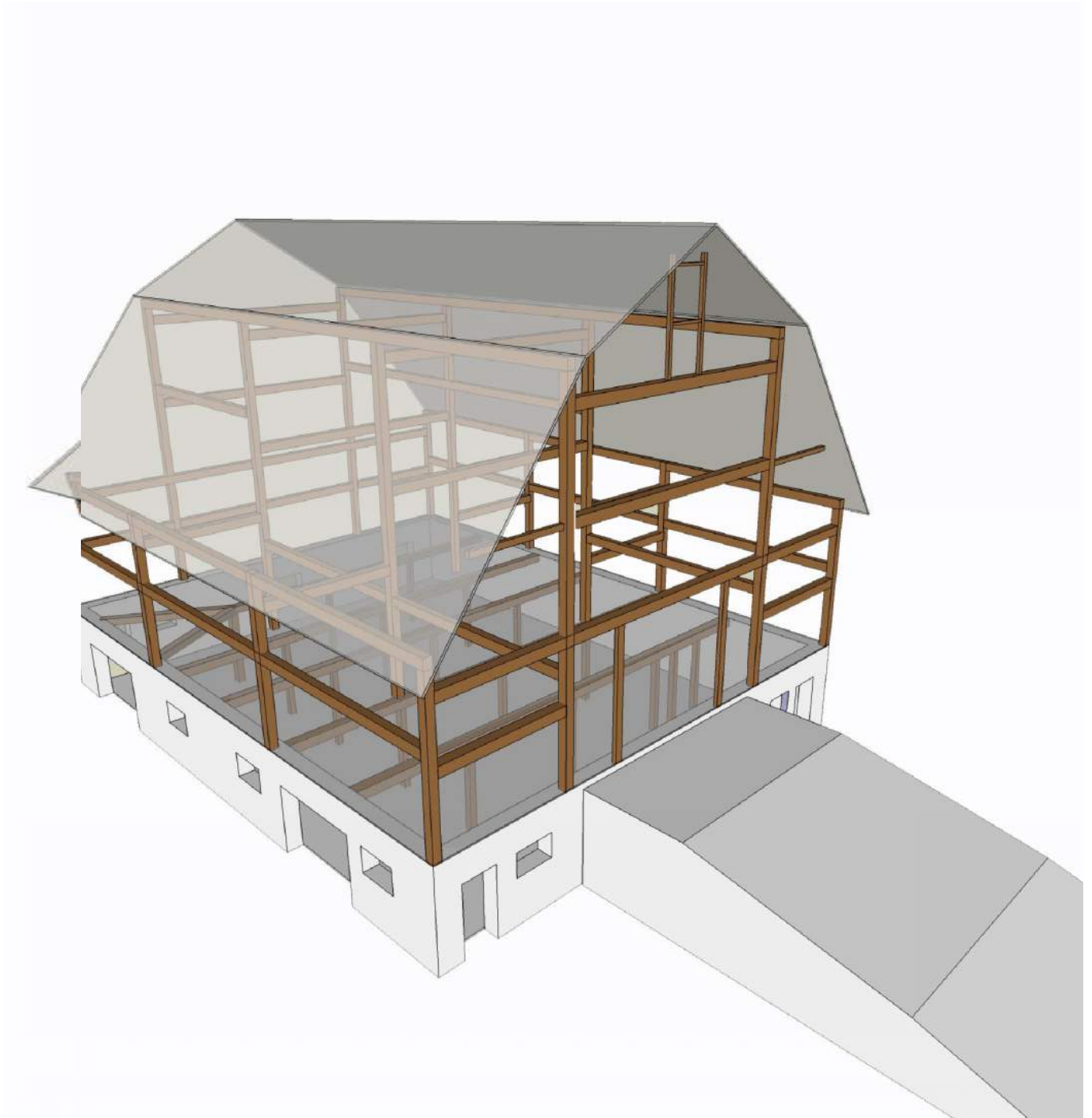


Figure 5.33 Conover Barn. Perspective Diagram showing structural elements.





Figure 6.1 Bird's eye view showing areas of 2 site plans.

## 6.0 Proposed Development Analysis and Strategy



Figure 6.2 Option 1



Figure 6.3 Option 2

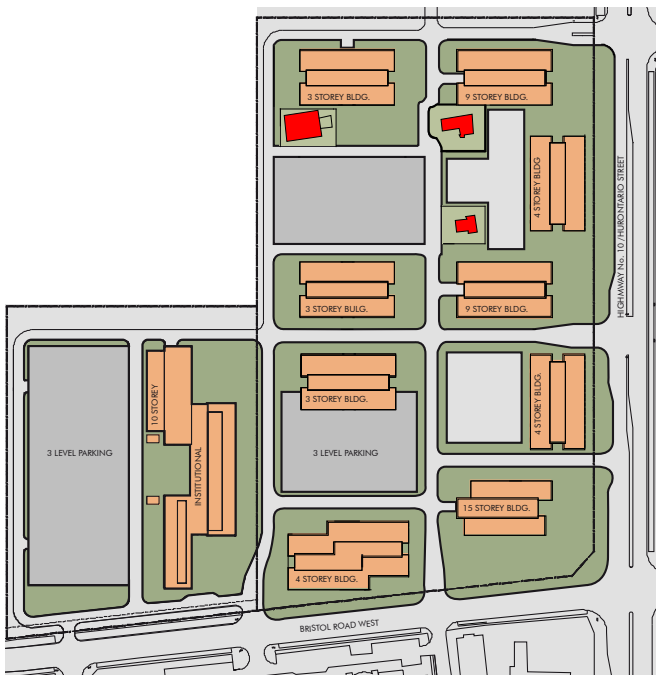


Figure 6.4 Option 3

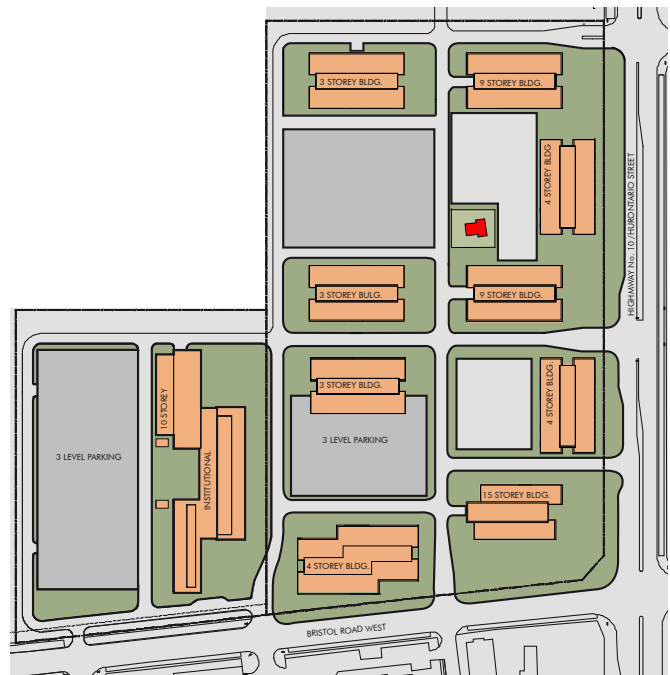


Figure 6.5 Option 4

This report was commissioned by the PDSB as part of an overall proposed development involving the vacant acre directly south of the existing buildings, the parcel of land that the enclave of existing buildings sit and the vacant parcel of land at the north west corner of the farm adjacent to the Britannia School Playground and south of the PDSB parking lots.

As discussed in Sections 1 and 2, the PDSB is leasing out a 32 acre plot for commercial development as part of a long term revenue generating strategy for the PDSB. This follows with the original intent of the property to provide rent to pay for the original Britannia School. The PDSB's plan is to utilize this revenue to support and enrich the farm enclave and remainder of farm and bush as a heritage and environmental education resource (as laid out in their 1989 master plan).

The goal of attracting a long term leasing arrangement for development has lead to the strategy of relocating the existing farm building enclave enmass to the vacant parcel of land to the north, freeing up a larger street frontage along Hurontario while not encroaching on the environmentally sensitive creek land. While attractive to procuring development, this strategy is counter to a basic tenet of heritage preservation which would be to leave the buildings in their historic locations and develop in and around them. Only the farmhouse is an original building and hence (by strict heritage consideration) should be left in situ, however, as discussed in Parts 1, 2 and 7, the enclave of the buildings along with the adjacent landscape has built up a cultural worth to be designated a 'Cultural Landscape'.

As part of this assessment, development options were created to analyze the impact of leaving either one or all the buildings insitu while still developing the 32 acre site into a high density commercial precinct. Four simple options were developed to test the feasibility with 2 options being more fully developed and one option rendered to show the anticipated reality of the heritage buildings adjacent to the commercial development.

#### Test Development Options

##### Option 1 – figure 6.2

Option 1 readjusts the development plan to allow a clear view from Hurontario Street to the farm buildings and on through to the rear lands of the Farm Preserve. This necessitated relocating the Northern most office buildings, closer to the Barondale extension road and relocating the building at Hurontario to the parking area to the West of the frontage building to the south. The 3 storey parking to the South of the barn would be deleted and the parking requirement would necessitate increasing the remaining parking structure from 3 storeys to 6 storeys.

From a planning point of view, this option compresses the office complexes and creates some daylight issues for some of the towers as well as for adjacent open space. The centralizing of the all parking creates some inconvenience as well as a reduction in capacity. By far the biggest impact to the development is the separation of the 2 northern buildings from the rest of the commercail campus. The gap in the street wall



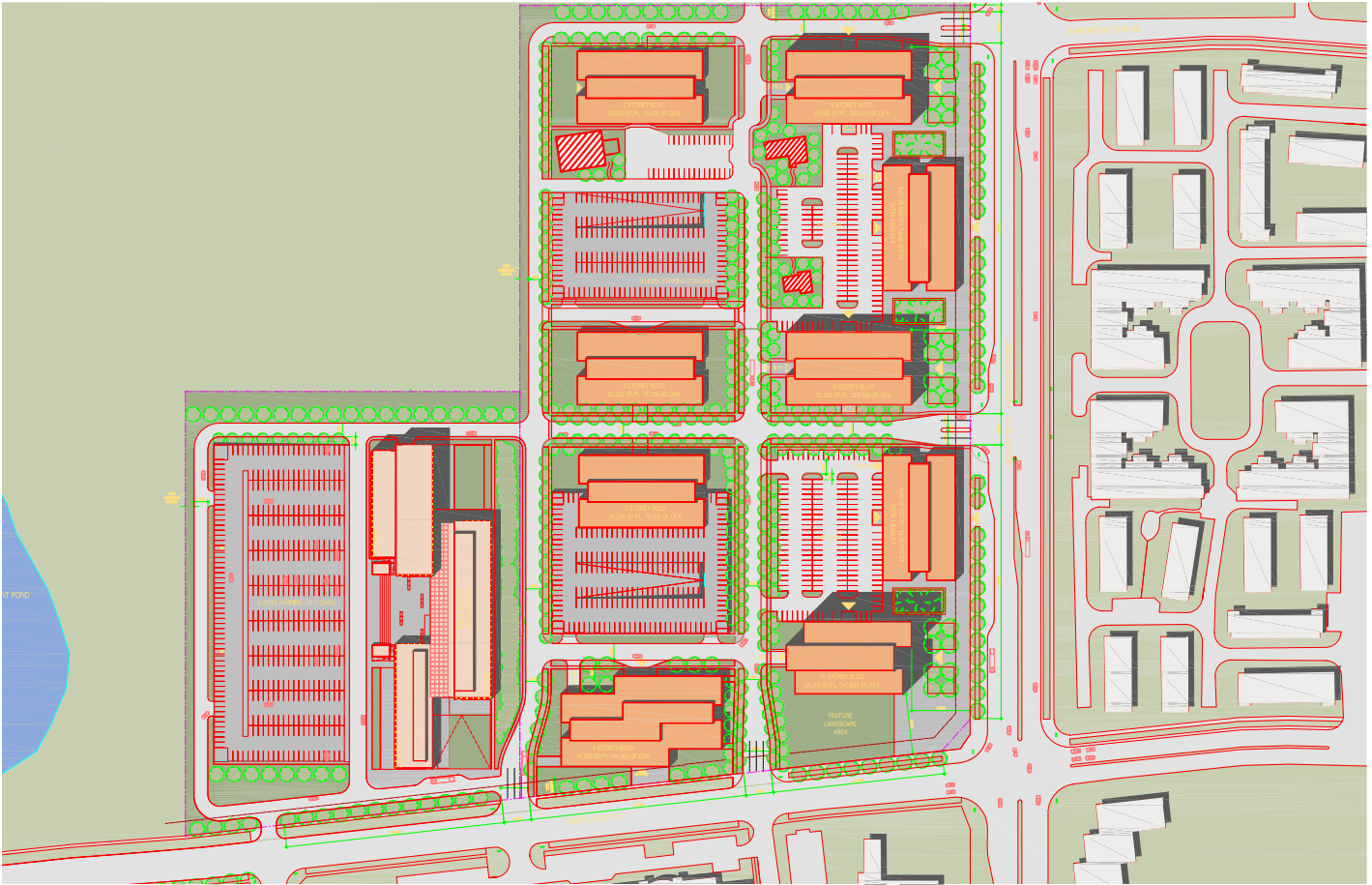


Figure 6.6 Option 3 Farm Buildings Left in place with the Development

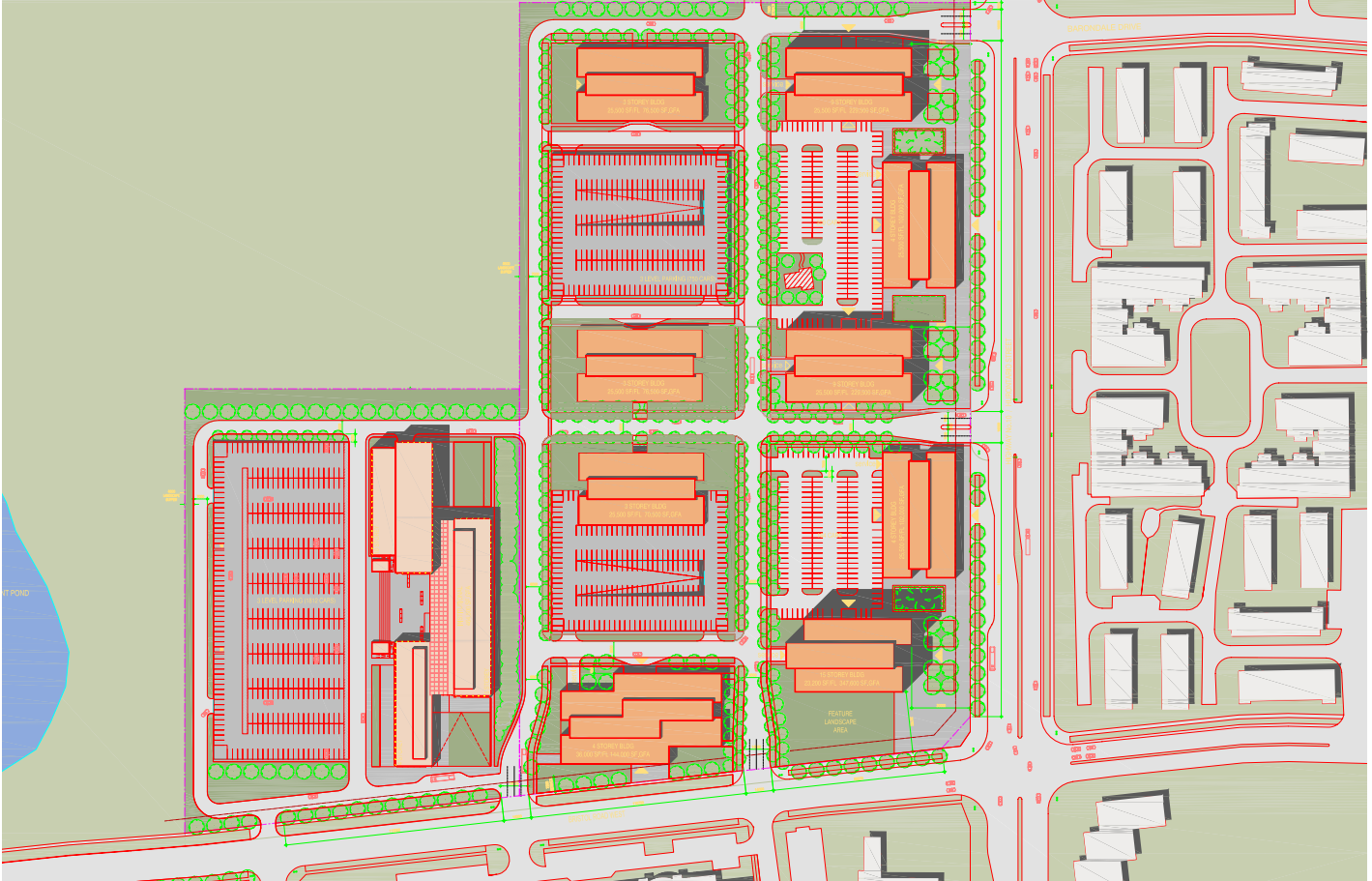


Figure 6.7 Option 4 Farm House Left in place with the Development

along Hurontario is counter to the planning principals from the city.

From the point of view of the farm building enclave, this option does allow for views from Hurontario Street but the sense of an open vista is greatly reduced by bracketing the enclave at the North and South with office blocks. The desired density for this development necessitates the scale of buildings proposed soothe adjacency of office blocks to the farm buildings diminishes the sense of a cultural landscape. The office buildings to the north also cuts off the visual and functional connection to the Britannia Farmhouse and the PDSB.

#### Option 2 – figure 6.3

Option 2 readjusts the development plan to allow a clear area around the buildings opening up to the adjacent land to the West and North. Similar to Option 1 this requires the shifting of buildings and the densifying of the parking structure. It allows the farm enclave to face the back acreage and maintain the connection to the Britannia School House and the PDSB but loses its connection to Hurontario and the farmhouse setback with background landscape. The problems for the development are similar as Option 1 with the exception that the buildings remain connected and the Hurontario Street wall is maintained.

#### Option 3 – figure 6.4 and 6.6

Option 3 maintains the development plan more or less as is with the farmhouse left insitu on an island of landscaping within the North landscaping and parking court. The rationale being that the farmhouse is the only original building on the site (other than the schoolhouse) whereas the other 2 were located in 1990. There is minor impact to the development other than the loss of approximately 33 parking spaces. The impact on the Farmhouse and the rest of the heritage buildings is much more significant. The farmhouse becomes an isolated monument, standing in stark contract to the surrounding development. Whereas this can in some situations create a dynamic figure ground relationship contracting old and new, the loss of the functional connection to the other buildings and the removal of the contextual landscape reduces the heritage value of the building. The act of guarding the heritage value by maintaining its original location ends up negating it.

#### Option 4 – figure 6.5 and 6.7

Similar to Option 3, Option 4 maintains the development but allows for the 3 farm buildings to remain each on landscaped islands within the North parking and landscape court. This would have a greater impact on the parking (losing 193 parking spaces), but would give some context back to the 3 buildings. The reuse of the buildings as an educational centre becomes impossible given the issues of access and children's safety amongst the vehicular traffic. They are again reduced (as in option 3) to rural architectural monuments with options for their reuse greatly reduced.

#### Context Studies – figures 6.8, 6.9, 6.10 and 6.11

The 4 options while having varying positive and negative affects on both the development plan and the heritage buildings, share an essential component which is the contextual dissonance created by the contrasting building types. To illustrate this,



Figure 6.8 Context View of the Farmhouse from Huronrario Street.



Figure 6.9 Context View of the Dunton from Huronrario Street.





Figure 6.10 Context View of Dunton House from North Plaza.



Figure 6.11 Context View of Farm House and Dunton House from South Plaza.





Figure 6.12 December 21, 9:00am.



Figure 6.13 December 21, 12:00am.



Figure 6.14 June 21, 9:00am.



Figure 6.15 June 21, 12:00am.

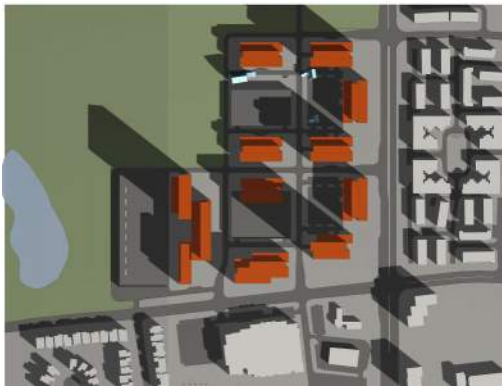


Figure 6.16 March 21, 9:00am.



Figure 6.17 March 21, 12:00am.



Figure 6.18 September 21, 9:00am.



Figure 6.19 September 21, 12:00am.

the 4 context studies included herein show rendered views of the heritage buildings in the context of the development. The views were developed from option 4 but the effect would be similar through all options. The farm buildings are disembodied and become museum pieces in a commercial plaza.

Sun studies for Option 3 show extensive shadowing of the Farmhouse from the development buildings (figures 6.12 through to 6.19).

The strategy of maintaining the buildings insitu in all of the 4 options explored diminishes rather than maintains the heritage worth of the buildings. This due primarily to the loss of site context both from the primary view sheds from Hurontario Street and the open rural lands to the West. It also cuts off the functional and historic relationship to the Britannia School House and the PDSB. To maintain the context with any significance would mean having to compress the area of the commercial campus significantly to the south where the increase in density would be unacceptable or the loss of leased area would render the development financially unviable. This would lead to the likely abandonment of the project and sever loss of revenue for the PDSB.

#### Relocation Development Option

This is the preferred strategy being put forth by the PDSB and Osmington as a means of maximizing the potential of the commercial development and the reuse potential for the heritage enclave. The strategy, while disruptive from the heritage point of view of maintain historical location, serves functionally to locate the buildings closer to the PDSB and the Britannia School to reinforce their viability as an education facility, while maintaining their essential cultural context, their arrangement to each other and their spacial relation to Hurontario Road and the farmlands to the West. By utilizing the Britannia School House play field as a spacial placeholder in front of the farmhouses, the sense of rural frontage is maintained.

By relocation, the commercial development to the south can be treated as a separate project and will have its' own site plan application. The two site plans, the commercial and the relocated enclave share a new boundary which would be the extension of Barondale Crescent as a main access road into the north end of the commercial development and would act as the main road access to the newly located farm buildings.

The treatment of this edge between the 2 storey houses and barn and the multistorey commercial buildings is an important component of the commercial development to mitigate the scale impact between the 2 sites. The height of the development will come into play given the available distance between the proposed relocated farm buildings and the northern most structures of the proposed development. To this end, the farm buildings have been moved as far north on the property as possible while still maintaining their essential special relationship to each other. Consideration should be given to reducing the height of the northern office block facing Hurontario in spite of it being counter to the general planning guideline to increase height and density along the Hurontario Corridor.

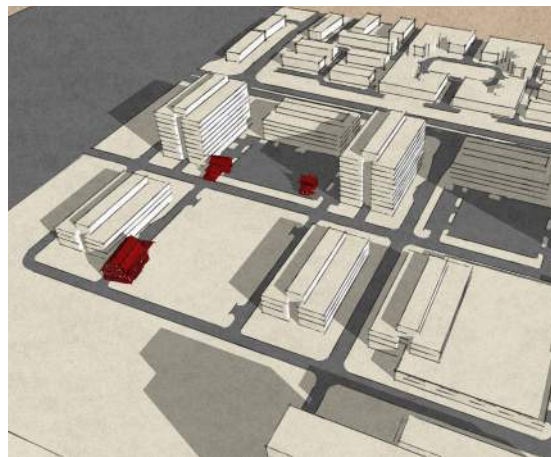


Figure 6.22 Option 3.

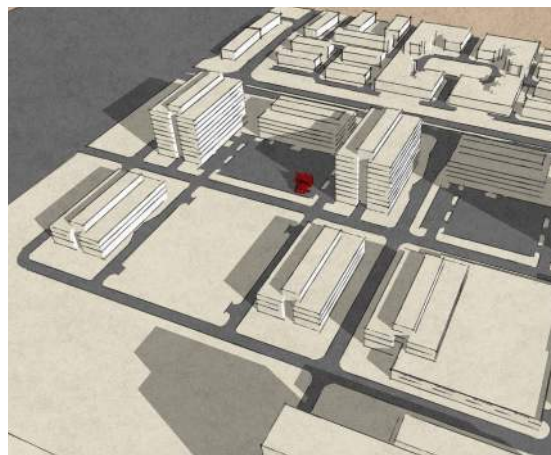


Figure 6.23 Option 4.



Figure 6.24 Site Plan Showing Relocation Option

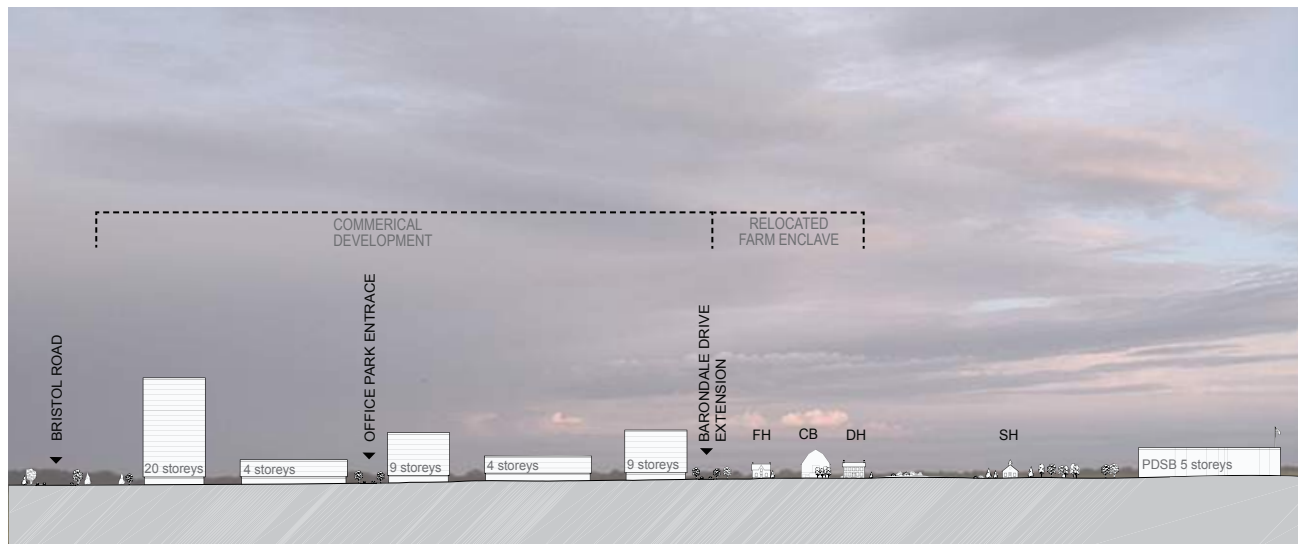


Figure 6.25 Site section showing Relocation Option



To facilitate a safer and more controlled entry to the farm enclave, it is proposed to utilize the Barondale extension into the development and enter the site via the North South farm lane. Access would still be possible via the PDSB property at the north.

#### Conclusion

The previous options and discussion demonstrate the difficulty of leaving the heritage buildings insitu and their heritage and functional diminishment, as well as the stress it would put on the viability of the commercial development potentially leading to the lease agreement being rescinded.

The viability of the Britannia farm buildings depends on connection and enrichment of their use through the PDSB, the Friends of the Britannia School house and the extended public. The intent of the PDSB to reuse these buildings for educational purposes primarily focused on heritage and environment would be greatly enhanced by relocation closer to the school house and the PDSB. This reuse would be greatly diminished and perhaps negated if the buildings are left in place and the development allowed to enfold them.

It is the recommendation in this report that the development in and around the the Britannia heritage buildings is not a viable or desirable option. Since the leasehold development of the lands is tied to the continued viability of the heritage buildings, relocation becomes the most acceptable means of preservation and reuse.





Figure 7.1 Farm Building Enclave. 2009.



## 7.0 Existing Site Description

- 7.1 Existing Site Plan
- 7.2 Boundaries
- 7.3 Adjacent Properties
- 7.4 Views
- 7.5 Natural Features
- 7.6 Drainage
- 7.7 Wild Vegetation
- 7.8 Heritage Planting
- 7.9 1990s Landscaping
- 7.10 Current Agricultural Planting
- 7.11 Archeology
- 7.12 Cultural Landscape Inventory
- 7.13 Heritage Evaluation



## 7.1 Existing Site Plan

### *Recent History*

The enclave of farm buildings on Britannia Farm started life as an idea for an education facility under the PDSB's 1989 Master Plan. The plan, written by the planning and landscape firm Landplan Collaborative Ltd., reviewed the entire 200 acre trust. In the case of the existing (then derelict) farmhouse and barnyard, it laid out a scheme to bring several farm buildings to the site to accommodate a rural education centre linked to the Britannia School House. Under the proposal, the Britannia Farmhouse was to be renovated and would house the farm manager, who would run a functioning demonstration farm for the PDSB and additional outreach education programmes.

A second farmhouse was to be brought to the location to house classrooms, offices and support facilities for the centre. At the time, the drive shed was to be relocated and refurbished, the pond excavated, and a windmill pump and well installed to bring water to the stables. A barn was to be brought or built on the site, along with other out buildings. There was a brief investigation into purchasing an existing concrete or masonry silo to become an astrological observatory and storage facility. This never went beyond the discussion phases. A community garden was also in the works. The education programmes were to be focused on both historic and modern rural life and agriculture, environmental and ecological studies, and forest management. These were to dovetail with programmes offered through the Britannia School House.

As described in this report, much of the enclave's plan was realized and the farm/centre was highly active from 1991 until 1998, when the Provincial Government withdrew financial support of peripheral educational facilities throughout the province. A skeleton programme continued until 2005, but ceased due to cost. All buildings have been unoccupied since the fall of 2008.

### **7.2 Boundaries**

The boundaries of the existing site in this report are: the fence line bounding the south edge of the Britannia School House playground, Hurontario Street to the East, the fence line bounding the south yard of the Britannia Farmhouse, and the fence line west of the barn extending into the hedge/tree row to the southwest.

### **7.3 Adjacent Properties**

Immediately adjacent to the north is the HJA Brown Education Centre (the Peel District School Board) and its landscaped parking



Figure 7.2 Bird's eye view NW to Britannia Farm. 2009.



Figure 7.3 View south to Britannia Farm. 2009.



Figure 7.4 Bird's eye view SE to Hurontario Street and residence.



Figure 7.5 Bird's eye view E to Hurontario Street and residence.





Figure 7.6 Existing Site Plan. Britannia Farm entire property. 2009.

facilities. To the northeast is the Britannia School House and its school playground. To the south are existing fields that are currently ploughed and planted for weed control but are under plans to be leased out for development. To the west are the remaining Britannia farm lands, including pasture lands and former crop fields with tree/hedge rows, a hardwood bush with a sugar shack, and a remnant natural section of the Cooksville Creek. On the east side of Hurontario Street are single and multiple residential developments.

#### 7.4 Views

Primary views to the farm buildings and adjoining yards are from Hurontario looking west, (figures 7.7) the view west along the entry lane (figure 7.9), the view south from the access lane from the PDSB parking lot (figure 7.13) and the view south west from the Britannia School building (figure 7.8). The views out from the property are mainly along the two crossed lanes looking back north to the PDSB, and south to the fields.

#### 7.5 Natural Features

##### Physiology

The site is part of a large, clayish, glacial till flatland stretching from the edge of the shore of glacial Lake Iroquois to the foot of the Trafalgar Moraine. The site area was briefly inundated with the post-glacial Lake Peel. The area is flat except for drainage systems such as the Cooksville Creek. Due to agricultural use and the 1990's realignment and channelling of the creek, most of the natural grading and topography has been obscured. Successive years of farming have built a topsoil bed of 12" to 24" in depth.

#### 7.6 Existing Site Plan

The prime natural drainage system through the site is the Cooksville Creek, which has been straightened and channelized with gabions. Most of the fields are swaled with shallow channels that drain to the creek. One of these channels separates the barn from the farmhouses, crossing the existing east-west access lane through a culvert. It also drains the pond that was dug during the early 1990s as part of the Agricultural Education Centre. Prior to 1990 there was no evidence of any ponds. The current pond is almost completely grown in.

#### 7.7 Wild Vegetation

The immediate site has had ongoing disturbances to the natural vegetation as part of the original agricultural function and as part of the Education Centre development in the 1990s. Fallow areas, fence rows and lane edges nurture a variety of old field flora which best represent the nature of the wild flora on site. These include: New England



Figure 7.7 Farm building enclave from Hurontario St.



Figure 7.8 Farm building enclave beyond the School House.

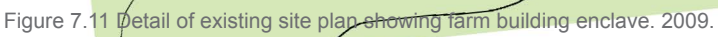


Figure 7.9 View looking West along gravel farm road.



Figure 7.10 View looking East along gravel farm road.





Aster, Burdock, Lambs-quarters, Chicory, Goldenrod, Yarrow, Catnip, Plantain, Dandelion, Cinquefoil, Black Medic, Goatsbeard, Evening Primrose, Sweet Pea, Milkweed, White and Red Clover, Queens Anne Lace, Wild Grape, Loosestrife, and Mullein, along with various wild grasses.

The pond, drainage ditches and wet meadow areas nurture Bulrush, Cattail, Reed Canary Grass, Marsh Mallow, Water-Plantain, and Bur-marigold. In general, wild flora on the site is of a kind that quickly establishes itself after disturbance, and is both common and highly prolific.

### 7.8 Heritage Planting

Little remains of the heritage landscape plantings as seen in the 1966, 1978, 1989 and 1999 air photographs as well as PJS's photos from 1988. Most of the trees and vegetation in the immediate areas around the farmhouses and barn were planted in the early 1990s as part of the relocation and renovations. Prior to the work on the Britannia Farmhouse, it appears (from photos) that there was a large lilac bush established to the northwest of the house. A white spruce, sugar maple and pin cherry were located to the northeast of the house. From their current size they were probably planted in the late 1970s. The east-west and north-south hedgerows to the west of the house were well established before renovations. A more in depth review of the existing landscaping is recommended to establish if any actual heritage planting exists and is transferable.

### 7.9 1990s Planting

As part of the renovations and building relocation, the PDSB planted a row of maple trees along the east-west entry lane, an apple and fruit tree orchard to the south of the Dunton house, plum trees to the west and a grouping of white spruce to the north. Numerous nursery stock landscaping trees were established around the Britannia Farmhouse, including yews and cedars at the north entry, and spruce and red maples to the east and south. In addition, a picket fence was built in the 1990s to define the front yard of the Britannia Farmhouse, focusing attention to the new side entry.

### 7.10 Current Agriculture Planting

Since the farm has gone out of use, the PDSB has maintained the fields, for weed control purposes, by contracting with a local farmer to plant winter wheat and hay.

### 7.11 Archeology

Prior to the relocation of the Dunton House and the Conover Barn, the PDSB engaged in an archeological assessment of the Britannia Farm



Figure 7.12 Farm buildings looking north along farm access road.



Figure 7.13 Farm buildings looking south along farm access road.



Figure 7.14 View looking up drive way to Farmhouse.



Figure 7.15 View looking west along access road.





Figure 7.16 Farm Pond.



Figure 7.17 Bird's eye view of Maple bush at northwest corner of farm property.



Figure 7.18 Rural Vegetation.

in 1990. They engaged the Toronto firm Archeological Services Inc. to prepare the assessment.

The firm reviewed the history of the site and investigated 3 locations: the Britannia School House, the Britannia Farmhouse and a site at the north end of the farm, near Cooksville Creek, named the McTavish site. (Peter McTavish was one of the first teachers of the school and is listed in the 1861 census as having a 10 acre plot on the farm.)

As part of the study, 12 random test pits were dug at each of the three sites, as shown in the schematic maps of Figures 7.19, 7.20, and 7.21. The Farmhouse and School House sites yielded a small to modest amount of artifactual material, mainly building debris and some ceramic fragments dating from the 19th and early to mid 20th centuries. The McTavish site yielded a greater degree of material and in the archeologist's report it was speculated that the site was the location of an earlier residence.

A random find was an 1857 copper half penny minted by the Bank of Canada, located at almost the midpoint of the property (see existing site plan figure 7.6). Further investigation of that location turned up no other artifacts.

Part of the purpose of this archeological report, which was commissioned by the PDSB as part of its Master Plan, was to establish if there were enough significant deposits on the farm property to establish an archeological education programme, utilizing the property for student test digs. In its conclusions, Archeological Inc. stated that the areas immediately around the school and the McTavish site offered the greatest potential for a student-based archeological programme. They did not consider the farmhouse as having significant potential for that purpose.

## 7.12 Cultural Landscape Inventory

The existing and proposed sites are contained within the City of Mississauga's Cultural Landscape Inventory, which has assigned this listing to the entirety of the original 200 acre Trust, including the original Britannia School and Farmhouse, as well as to the Dunton House and Conover Barn, both relocated to the site 20 years ago. The qualifying parameters are listed as follows:

Landscape Environment

Natural Environment

Landscape Design Type and Technical Interest

Historical Association

Illustrates Style, Trend or Pattern

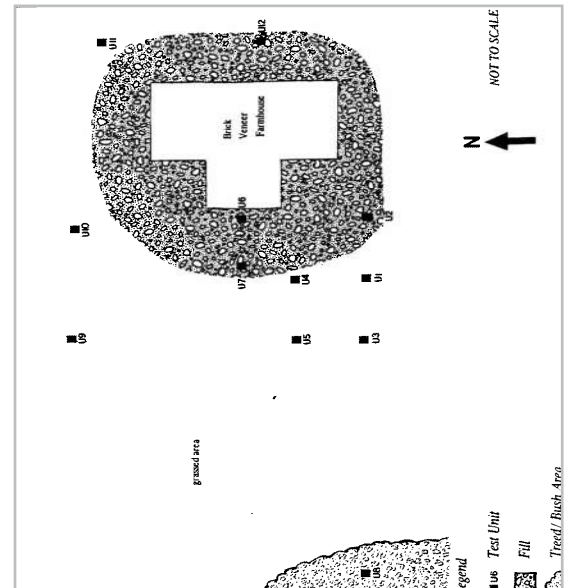


Figure 7.19 Extract from Archeology at Farm House.

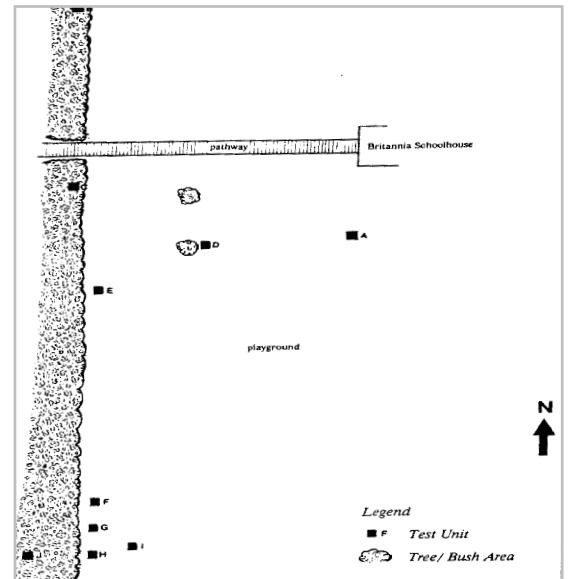


Figure 7.20 Extract from Archeology at School House.

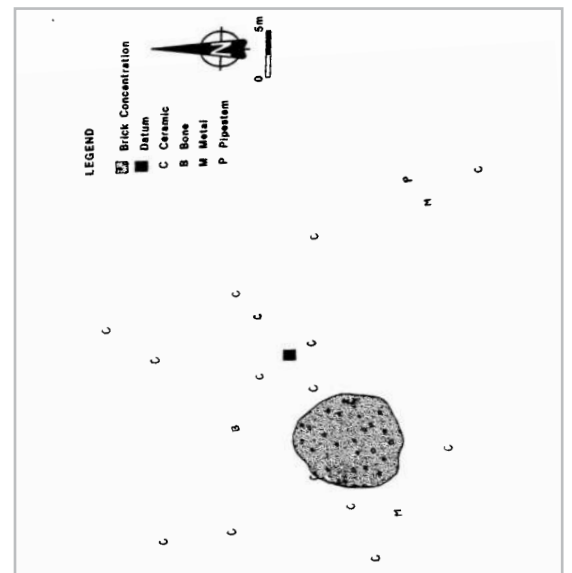


Figure 7.21 Extract from Archeology at McTavish Site.



Direct Association with Important Person or Event  
 Illustrates Important Phase in Mississauga's Social or Physical  
 Development

#### Built Environment

Aesthetic/Visual Quality  
 Consistent Early Environs (pre World War II)  
 Consistent Scale of Built Features  
 Unique Architectural Features/Buildings  
 Designated Structures

#### Other

Historical or Archeological Interest  
 Outstanding Features/Interest

### 7.13 Heritage Evaluation

Within the bounds of its immediate site, the Britannia enclave of buildings holds some significance based on it being the original location of the Britannia Farmhouse and farm yards (both heavily modified with the renovation in 1989-90). This has been greatly changed with the inclusion of the additional farm buildings, landscaping and north-south access lane from the PDSB. The current site, however, has significance in its recent history as a learning centre. As well, the ruralesque substructures of fences, gates and outbuildings, while mostly contrived in the 1990s, enhance and enrich the 20 year-old vision of the building group. This is reinforced by the views to the enclave and the approaches via the crossing lanes. The view west while travelling along Hurontario Street is that of an archetypal farmstead with 10 acre forefields and long lane access. This view is also significant because the buildings are scaled against a backdrop of fields and distant bushland (wooded "back 40"), which further reinforce the archetype farmstead.

In contrast to the densely developed lands to the south, east and north, the figure-ground relationship of the enclave and its adjacent fields create a poignant microcosm of rural landscape amidst the urban/suburban landscape of Mississauga. From a historical point of view, the enclave of buildings is somewhat artificial, like other re-enacted historical sites such as Black Creek Pioneer Village. However, the arrangement of the farmhouses with the barn, cross lanes and fence lines extending into the fields appears more plausible and realistic. This arrangement of the buildings and their setback from Hurontario Street are the most significant aspects of the site to preserve.





Figure 8.1 Dunton House relocation. 1989.

## 8.0 Relocation Feasibility & Methodology

8.1 Overview

8.2 Methodology

8.3 Britannia Farmhouse

8.4 Dunton House

8.5 Conover Barn

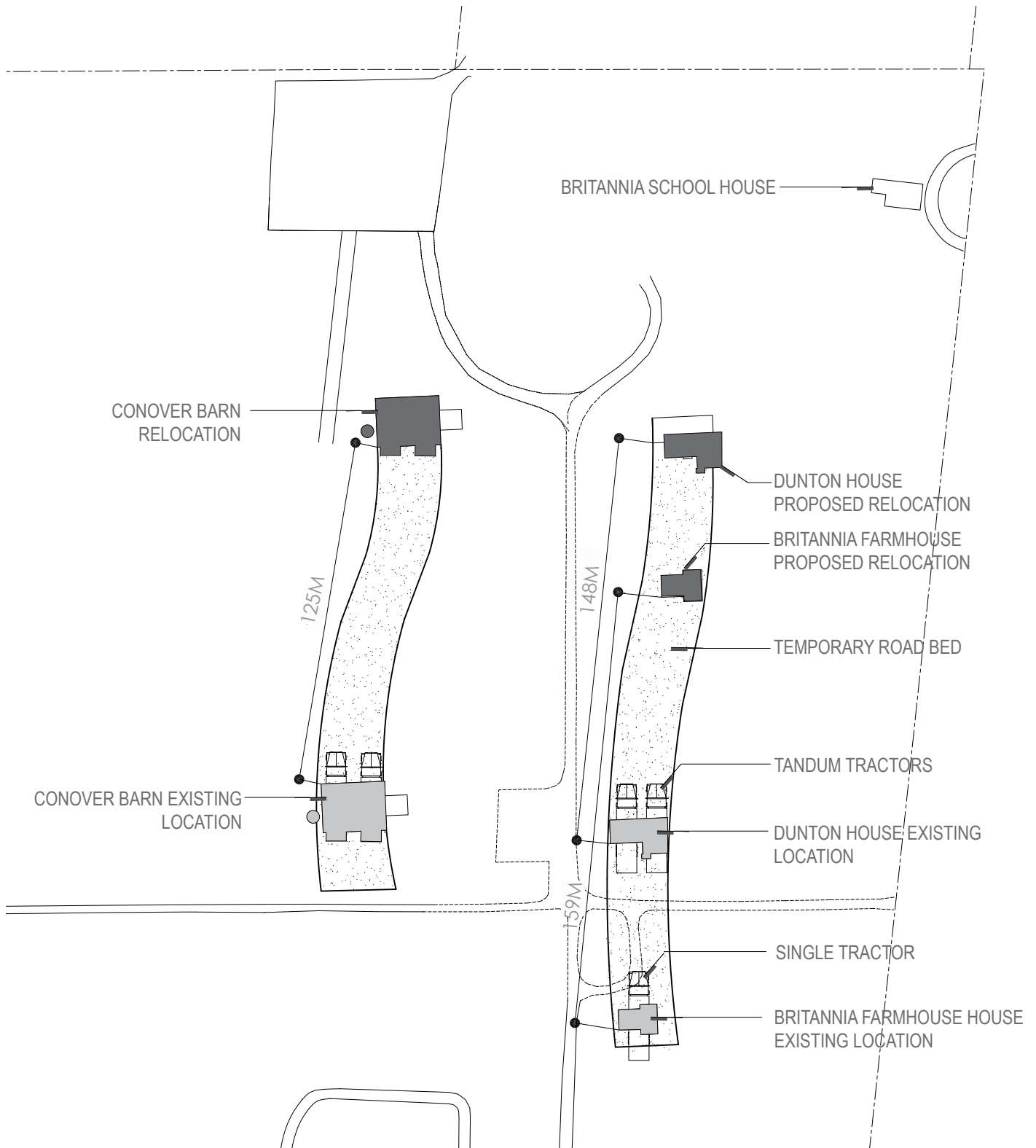


Figure 8.2 Diagram showing relocation route.

## 8.1 Overview

The technology for building relocation has evolved into an engineering science and is controlled and monitored by several associations, notably the International Building Movers Association of North America and the Ontario Building Movers Association. Registry to these associations requires a moving company to provide a minimum of 10 years experience and aptitude for engineering and reconstruction. Through the association, extensive liability insurance has been brought to bear on any relocation project.

Current practice requires a full structural assessment of the building in situ, bracing methodology, temporary road development and negotiations with local authorities regarding the use of local roadways and any removal or lifting of overhead services.

The generic approach for the relocation of 2-3 storey residences usually involves sacrificing the basement and foundations in order to install a structural steel lifting carriage supported on rubber wheeled dollies. Equipped with hydraulic rams for lifting and articulated suspension, these steel carriages are able to negotiate slopes and turns while maintaining the lifted structure in a level position.

## 8.2 Methodology

It is proposed that the Farmhouse, the Dunton House and the Conover Barn would each be relocated by installing structural steel lifting bases under the ground floor structure or, in the case of the barn, under the floor beams of the 2nd floor. Once installed, with all other bracing and stabilizing activities in place, the weight of the buildings would be taken up on hydraulic wheeled dollies attached to the lifting frame. At this point the buildings would be freestanding from their foundations.

The foundations of the houses and the ground floor walls of the barn would be disassembled, conserving windows and stone veneer for reuse in the new foundations. Low gradient gravel ramps would be built to the north to bring the houses up to grade (this is not an issue for the barn). Three temporary gravel road beds would be built to transport the buildings the 85 m to their new location. New replicated foundations would be partially built, with the south walls incomplete to allow entry of the wheeled dollies and level carrier structure.

Each individual building would be hauled by transport tractor to the new site. After rehitching at the south end of the carrier, the building and support structure would then be backed into its new foundation and leveled at the correct elevation. Once in place, the foundation walls would be built to the underside of the existing structure with portals left for the removal of the steel members of the lifting frame.



Figure 8.3 Relocation of heritage building.



Figure 8.4 Relocation of heritage building.



Figure 8.5 Relocation of heritage building.





Figure 8.6 Relocation of heritage building.



Figure 8.7 Relocation of heritage building.



Figure 8.8 Relocation of heritage building.

Only when the weight of the building is carried by the new foundation walls would the lifting structure be hydraulically dropped from the building, disassembled and the members slid out from the foundation. With the removal of all bracing material, the foundation would then be completed and the building's reinstatement could commence.

### 8.3 Britannia Farmhouse

Specific to the Farmhouse, special bracing of the brick veneer would be required since the ties for the veneer are straight nails which are likely rusting away. This bracing could take the form of new brick ties drilled in through the mortar joints and affixed to the wood substrate. Since the southeast quarter of the Farmhouse basement is unexcavated, resulting in deteriorated floor joists, special bracing would be required to maintain the floor in that area until restoration could be performed.

### 8.4 Dunton House

Since the Dunton House is solid masonry, it would not require the same veneer reinforcement. Its size, however, would pose a challenge and would likely require 2 sets of carrier beams oriented north-south and a tandem truck transport.

### 8.5 Conover Barn

The Barn, while the lightest of the structures, has the largest footprint and would also require a double frame and tandem transport.

In all cases, stone from the foundations would be salvaged to reuse as facing. It is proposed that the foundations for the brick wing of the farmhouse would be rebuilt in poured concrete with stone facing rather than replicate the rubble foundation. In all cases and prior to any relocation action, full engineering and methodology statements, bracing drawings and calculations would be required of the contractor performing the work and vetted by an engineering consultant.



Figure 8.9 Britannia Farmhouse. Foundation veneer.

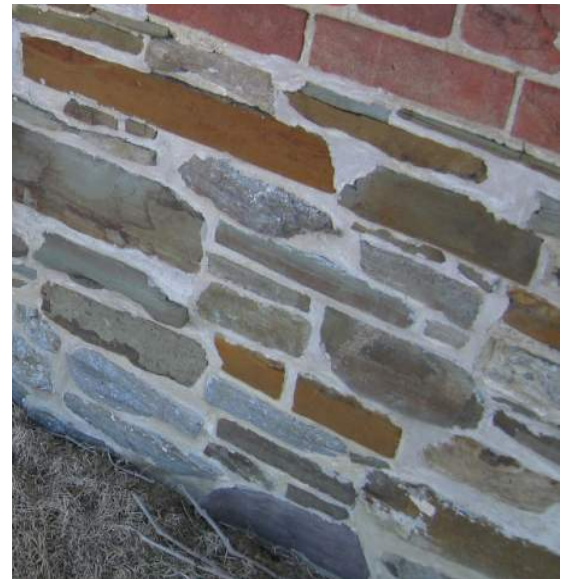


Figure 8.10 Dunton House. Foundation veneer.



Figure 8.11 Conover Barn. Foundation veneer.





Figure 9.1 Overall Site Plan of Britannia Farm showing Relocation Plan and Development Plan.

## 9.0 PROPOSED SITE PLAN DESCRIPTION & DESIGN RATIONALE

9.1 Design Intent

9.2 Description

9.3 Reuse Strategy



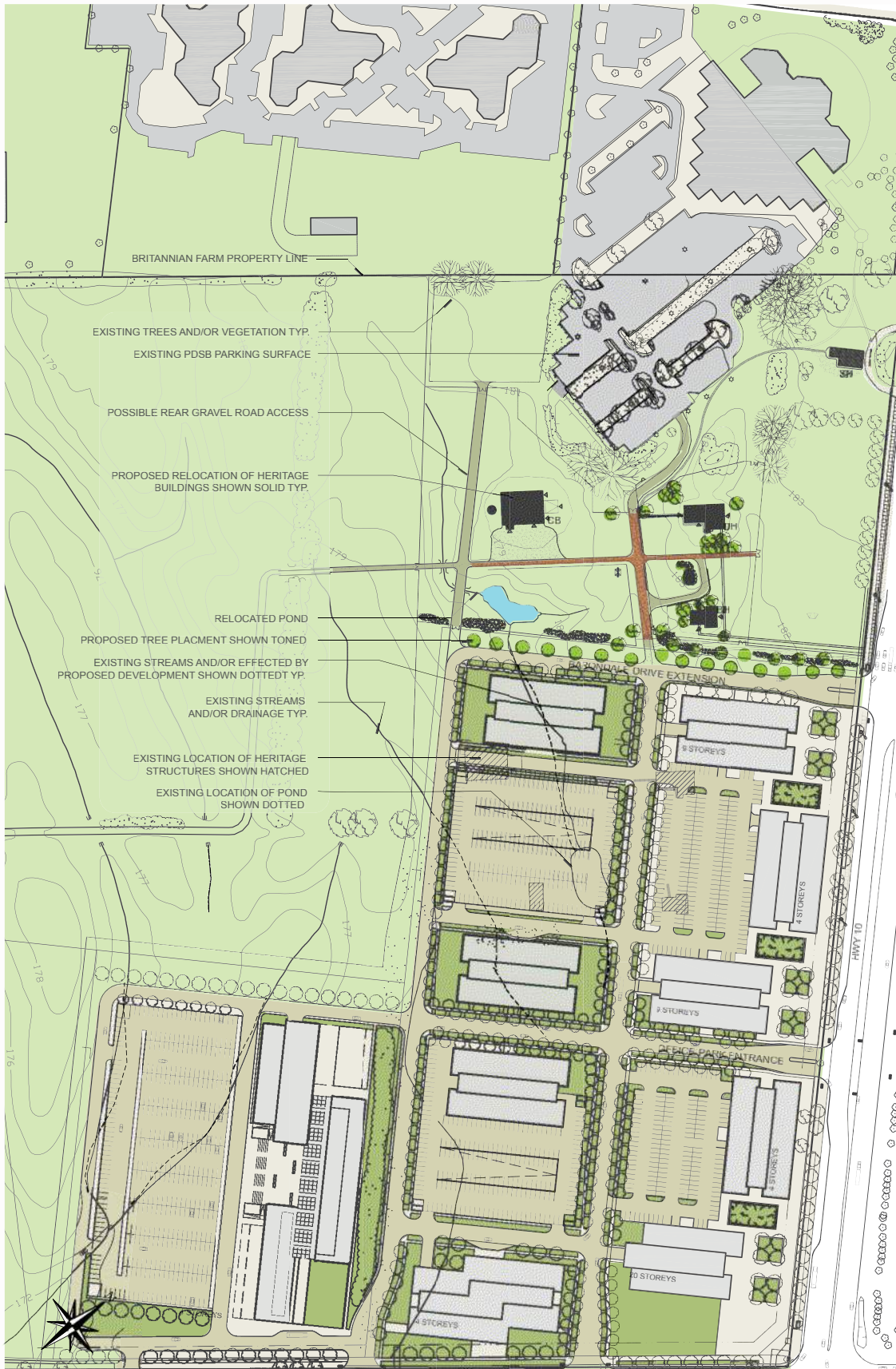


Figure 9.2 Detail showing the 2 proposed site plans.

### 9.1 Design Intent

- Replication of enclave and landscape in northern location
- Siting to replicate views to enclave relative to its background
- Replication of pond
- Replication and reinforcement of cross roads
- Forecourt of existing playground reminiscent of existing front fields
- Clear pedestrian connection to Old School
- Clear pedestrian and vehicular connection to PDSB
- Revival of education programmes for more vitalized use of the heritage buildings
- Reuse programmes and strategies for the buildings

### 9.2 Proposed Site Plan Description

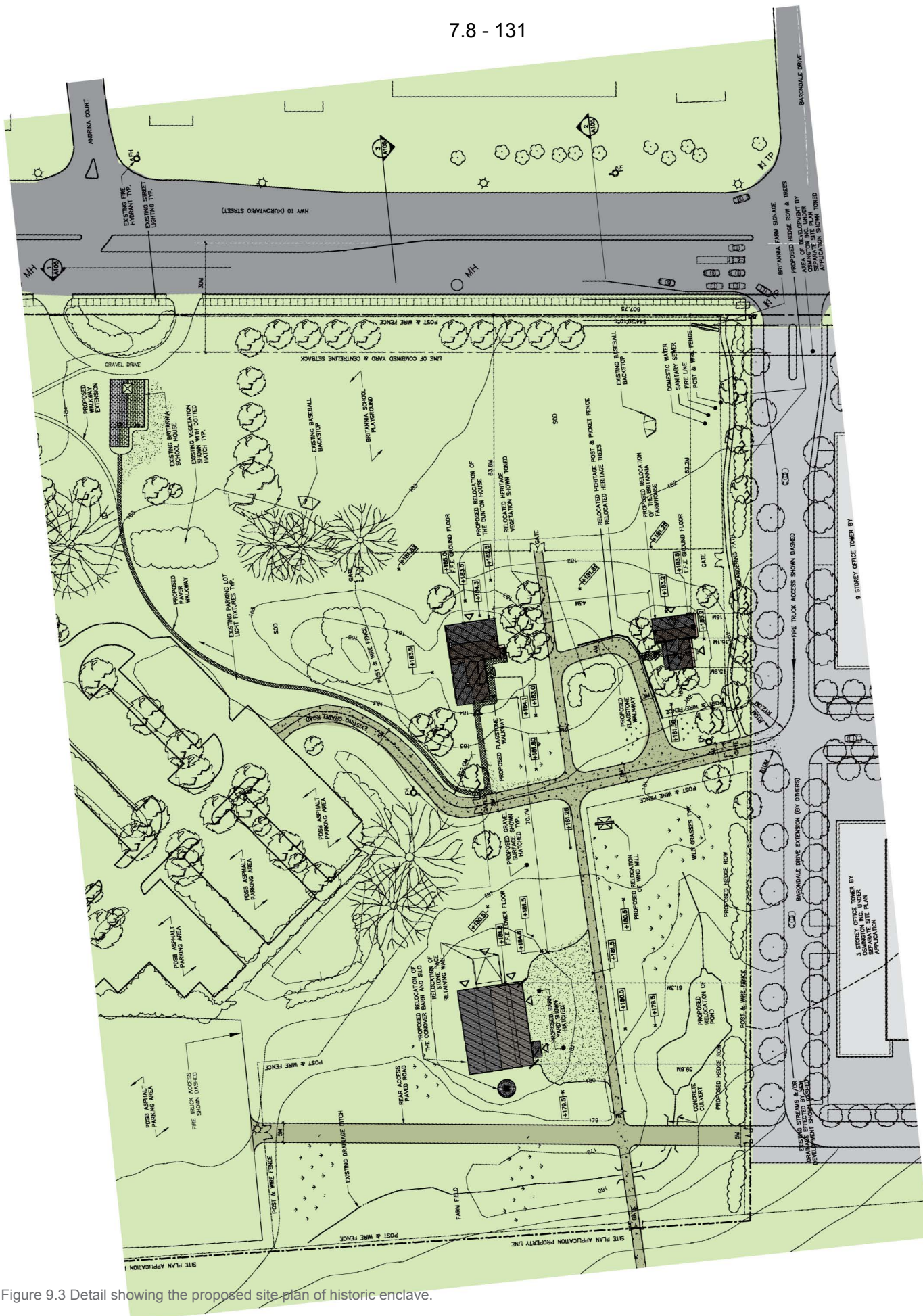
The proposed site plan recreates the enclave of farm buildings and outbuildings in essentially their original arrangement and orientation, as they are set back the same distance west from Hurontario Street and the buildings are arranged around crossroad lanes and a turnabout lane adjacent to the Britannia Farmhouse.

This location places the buildings to the west of the Britannia School House playground, recreating the sense of open fields to the east of the enclave. The east-west lane terminates to the east in a gate leading from the playground. The lane leads west to the first hedgerow, where it is proposed to cut through and re-establish a field lane leading to the maple bush.

A service access lane is proposed along the west of the site, connecting the Barondale Drive extension to the PDSB parking lots. This is to facilitate bus and truck deliveries to the site. Lanes are proposed to be gravel instead of pavement to recreate the rural nature of the site. Fences and gates would further define the lanes and would be gated at entry points. The extension of Barondale Drive would form the new entry to the development site to the south, however, its landscaped treatment is outside the bounds of this proposal. It is expected that buffering would be provided within that design. Further to that end, this site plan proposes a meandering pathway along the south boundary, following the property fence line with hedgerow and tree row landscaping. A new pedestrian path is also proposed leading from the Dunton House to the Britannia School House to establish a clear link between the school and the enclave.

Since there is little original landscape material at the existing site, it is proposed that the trees, fences and other plantings be recreated as near as possible to their existing condition. The existing windmill would





be relocated along with other out structures related to the farm. The former drive shed, which was disassembled circa 2007, is not proposed to be rebuilt given the condition of the timbers.

It is proposed to recreate the pond as part of the the re-establishment of the enclave and to assist in storm water management for the site. It is expected to form part of the educational programmes regarding wetland environments.

Regarding elevation, the only change proposed is that the Dunton House be slightly elevated to facilitate basement access to the replicated heritage classroom located in the former basement kitchen area.

### **9.3 Reuse Strategy**

The PDSB proposes reuse of the buildings and re-establishment of the educational programmes in agricultural and environmental studies. To that end, the Dunton House would maintain its offices and classroom facilities and house an archive for the PDSB. The Britannia Farm-house would be converted from residential use to offices and conference rooms.

A study would review the feasibility of converting the Barn into an assembly-type facility while still maintaining its function as a working barn.



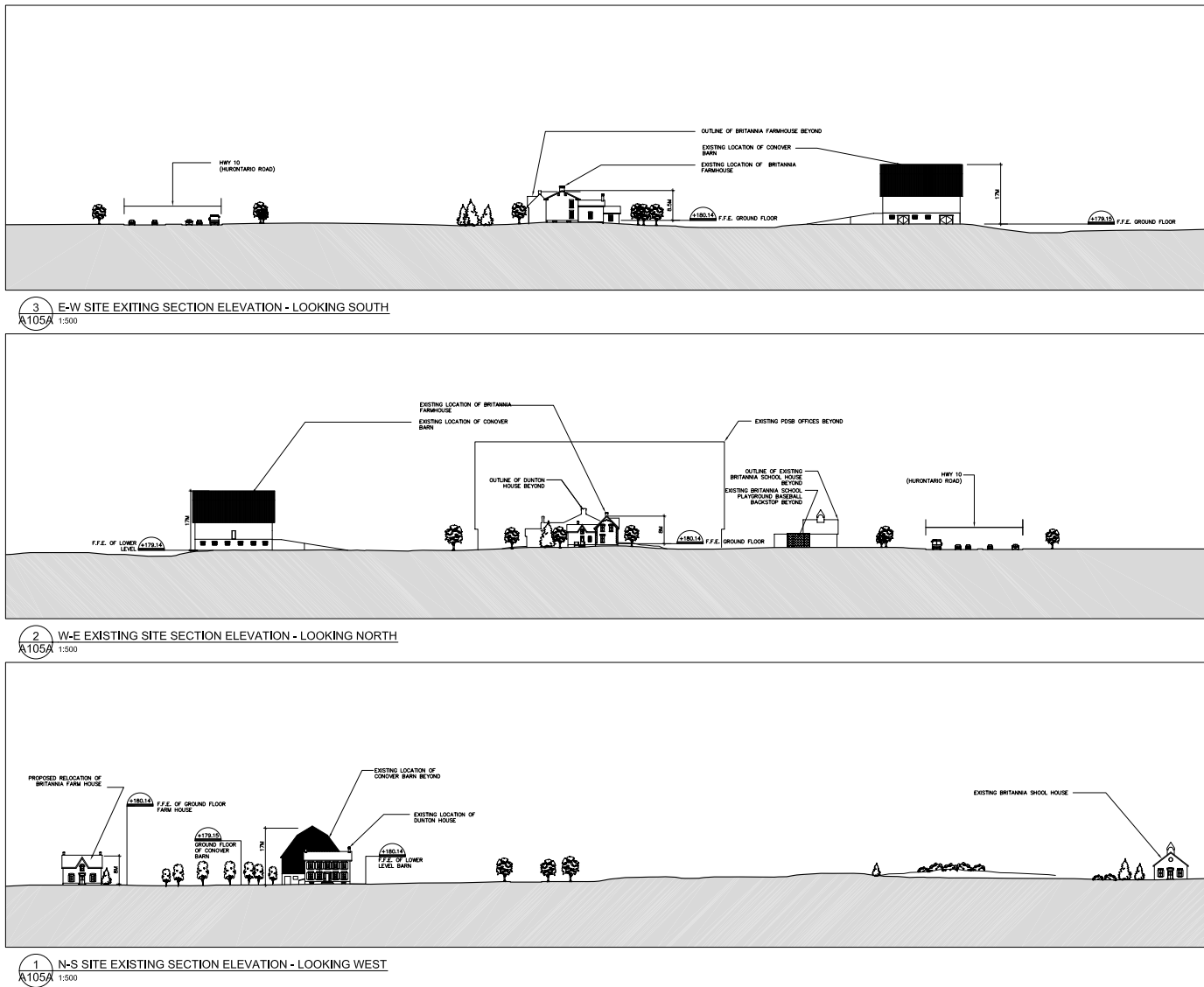


Figure 9.4 Existing Site Sections

Figure 9.5 Proposed Site Sections

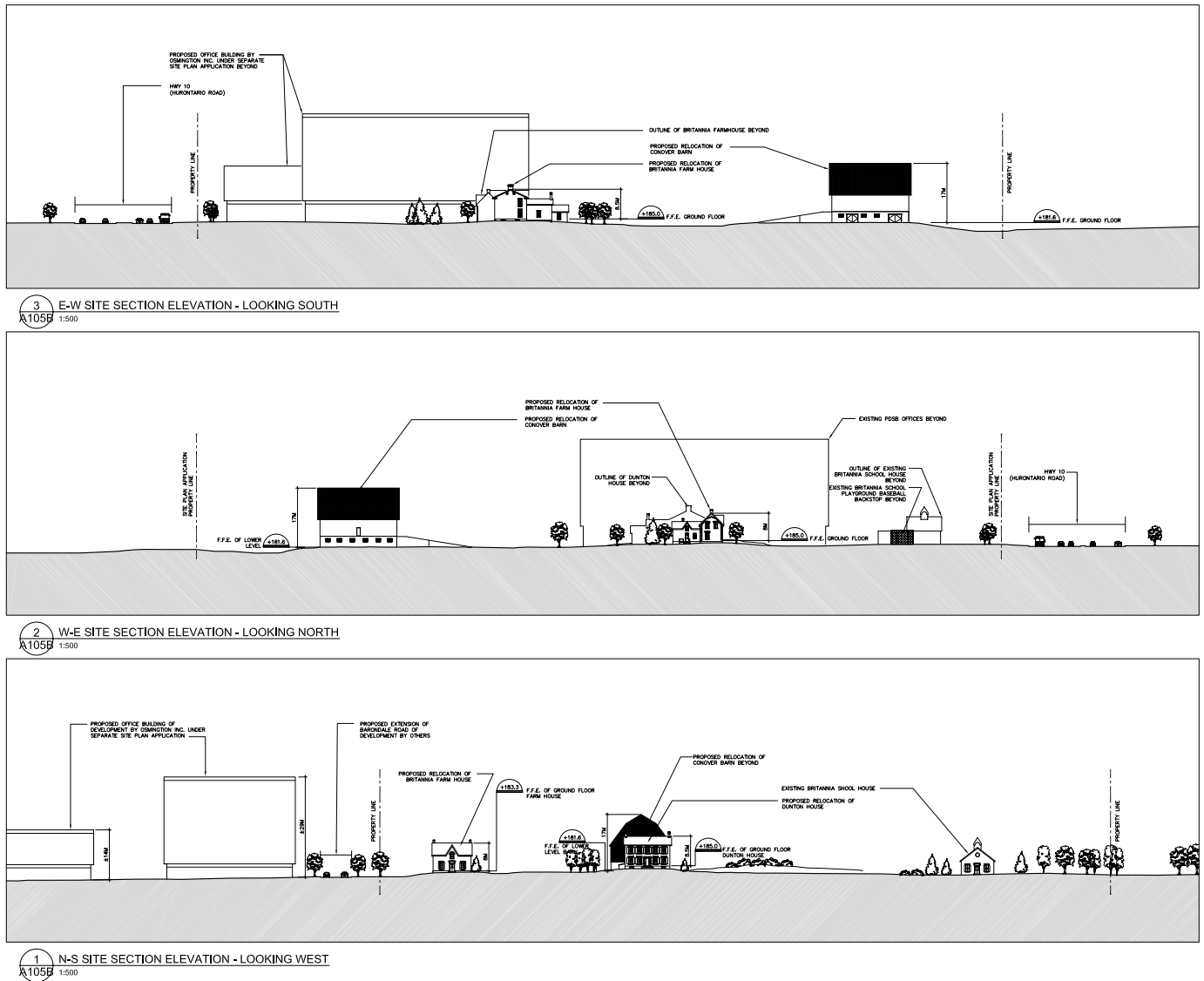


Figure 9.5 Proposed Site Sections.



Figure 10.1 Existing View from Hurontario Street.



Figure 10.2 Proposed view from Hurontario Street.

## 10.0 Impact to Heritage & Mitigating Design Initiatives

10.1 Impact to Heritage

10.2 Summary Points





Figure 10.3 Proposed view form Hurontario at Barondale Drive.



Figure 10.4 Proposed view form Hurontario with Barondale Entry sketched in.

## 10.1 Impact to Heritage

The main impact of this proposed relocation of Heritage Buildings is the removal of the Britannia Farmhouse from its original location, which it has held for 140 years. This would not result in significant building material loss, since only the east wing of the Farmhouse is original and the foundation stone is proposed to be salvaged and used as facing for the new foundations. A spinoff benefit of the relocation is that the new foundations are necessary to correct deteriorating conditions in the existing Farmhouse foundation and floor structure.

The farm itself has changed significantly over its lifetime, particularly during the 1990s, which saw the creation of the enclave of buildings, surrounding landscaping and rural artifacts. Although the pond, the fence rows and the main entry lane were modified significantly as part of the PDSB's Master Plan for creating a rural education centre, the layout of the enclave in its present form, albeit artificial, now stands as the significant cultural landscape.

What is key to the success of the proposed relocation plan is to maintain, as much as possible, the enclave in its preset form and relationship to Hurontario Street and the backdrop view of the hedgerows, fields and maple bush. As was demonstrated in Chapter 6 options development in and around the farm buildings would destroy this view and relationship.

The loss of the lane access from Hurontario Street will have some impact, but has been partially recreated with a lane leading to a proposed gate to the Britannia School playing field. This is part of the strategy to integrate the Farm enclave both visually and functionally with the Britannia School House.

The north-south lane will become the main axis of the enclave and will reinforce its connection to the PDSB building and grounds. This connection will be more directly realized, in that the enclave will be approximately 150 meters closer to the centre.

The immediate surrounding landscape, including the pond and flora, is a construct from the 1990s. The Environmental Impact Statement regarding the existing pond and authored by Sernas Associates did not note any significant or rare flora or fauna associated with the pond, stating that it had low oxygen levels and no fish or amphibian life. Their conclusion was that removal of the pond "would not have a detrimental environmental impact." The pond was dug as part of the 1990's enclave so it has no significant heritage value. The proposed design for the relocation shows a new, larger pond that will contribute to site drainage and will re-create the present arrangement of the farm



Figure 10.5 Rural Image and Memory.



Figure 10.6 Existing view from School House.



Figure 10.7 Proposed view from School House.



Figure 10.8 Proposed view from School House with development sketched in.



enclave environment.

From the archeological studies carried out in 1990 by Archeological Services Inc., the relocation would not disturb any known areas of archeological sensitivity. It is recommended, however, that a further investigation be performed at the proposed relocation site prior to enacting the move.

There will be significant impact on the enclave of farm buildings due to the scale and proximity of the proposed office development to the south. The extension of Barondale Drive as the main entry road to both sites benefits the farm, in that it provides a wide spatial separation between the two building groups and provides a safer public vehicular and pedestrian access to the farm from Hurontario Street because of the traffic light-controlled intersection. As part of the relocation site plan, the design calls for a well buffered, treed and hedgerow landscaped southern edge to reinforce the boundary between the urban development and the rural preserve.

## 10.2 Summary Points

Impact of Relocation:

- Removal from original site of the Farmhouse
- Removal of wide field expanse to south
- Minimal change in background view to west
- Minimal loss of original building material
- Minimal loss of original landscape material
- Minimal change to 1990 enclave layout and memory
- Minimal change to natural environment

Benefits of Relocation:

- Increased usage of the buildings and the farm
- Necessary repairs and improvements to the existing buildings
- Allows for long term lease development along Hurontario, which is more commercially attractive for gaining a viable lease agreement

Mitigating Initiatives:

- Reinforcement and enhancement of rural landscaping
- Improved, safer vehicular access to the site
- Improved public access
- Intense buffering of south boundary
- Revived usage (the best means of preservation)
- Overall lease agreement consistent with original purpose of farm to provide income to support the school
- Increased public usage of the site
- Increased education potential



Figure 10.9 Rural Image and Memory.





Figure 10.10 Sun Shading Studies.



Figure 10.11 Proposed Site Section showing the proposed development adjacent to relocated Farm.

- Proposed site location does not affect other possible archeological materials, heritage structures or natural landscape
- Relationship to existing properties unaffected at east and west, and from a functional point of view is improved with its closer location to Britannia School House and PDSB.

Recommendations:

- Scaling and buffering at the south boundary between the 2 developments
- Clearer signage at Barondale Drive entry to mark access to the farm enclave
- Intensify the buildings accessibility and usage by the public
- Conversion of the barn to allow assembly usage
- Develop landscaped pathways to PDSB and School House
- Memory pieces of the Farmhouse at its former location
- Permanent interpretive centre showing the evolution of the farm into its current layout, possibly linked to the agricultural centre
- Public gardens



## 11.0 References





## 11.0 References

### From the Peter J. Stokes Archival Fonds at University of Queens Archives:

#### Britannia Farmhouse

- Report re: Britannia Farmhouse  
20 August 1988, for PDSB, by PJS
- Specifications, Design Drawings and related notes  
for Britannia Farmhouse Project  
20 August 1988, for PDSB, by PJS
- Report re: Britannia Farm 'Miracle of Mississauga'  
11 June 1990, for PDSB, by PJS

#### Chisholm Gardener Dunton Farmhouse

- Report re: Chisholm, Gardener Dunton Farmhouse  
22 December 1988, for PDSB, by PJS
- Specifications and Design Drawings and related notes  
for Chisholm, Gardener Dunton Farmhouse Project  
23 March 1990, for PDSB, by PJS

#### Conover Barn

- Report re: Potential Barns for Britannia Farm  
2 October 1989, for PDSB, by PJS
- Report re: Conover Barn Recommendation  
20 November 1989, for PDSB, by PJS
- Specifications, Design Drawings and Building Reports  
for Conover Barn March 1990 - August 1991, for PDSB

### From the Peel District Archives

- Illustrated Historical Atlas of Peel County 1877
- Tremaine Map of Peel County
- Perkins Bull Abstracts regarding Britannia School and the  
Gardener and Dunton Families 1830 to 1910
- Britannia School Financial Ledger 1850 to 1910

### From Other Sources

- Britannia Farm Master Plan 13, June 1989  
for PDSB, by The Landplan Collaborative Ltd.
- An Archaeological Resource Assessment of Britannia Farm  
January 1990, for PDSB, by Archaeological Services Inc
- Environmental Impact Statement for Britannia Farms - Existing  
Pond, August 2009, for Osmington Inc., by Sernas Associates
- Title Search of the Britannia Farm property,  
September 2005 for PDSB, by Shaheen Peaker Ltd.



## 12.0 Author Qualifications



**12.0 Qualifications****Kearns Mancini Architects Incorporated**

Kearns Mancini Architects have been operating since 1984 and have in that 26 year period been dedicated to design excellence in many forms of architecture and building particularly in heritage and adaptive reuse of heritage buildings. Since 2002, Daniel McNeil has been an in house heritage consultant to various projects. The following is a brief synopsis of heritage experience and qualification of both Kearns Mancini and Daniel B. McNeil;

## Britannia Farm Development Framework

Mississauga, Ontario

**Location:**

Mississauga, Ontario

**Project Value:**

To be determined

**Project Gross Area:**

200 acres

**Completion Dates:**

2005 (Development Framework only)

**Reference:**

Peel District School Board: Randy Wright, Chief Planner 905-890-1010



The Development Framework for Britannia Farm represents a unique approach for a unique land asset. Through intensive consultation with the client (PDSB), community and stakeholders, the design team will produce a development framework that will allow a new vision to be realized for the property.



top: existing site photos & precedents

below: initial proposed master plan

The plan proposes two scales of development using blocks at a village scale and blocks at a rural scale.



The rural scale is used to connect the east and west parts of the property and to form a suitably scaled gateway to the property from Hurontario street.

In recognition of the existing heritage buildings, a smaller, more intimate village scale is introduced within the rural blocks to create a denser, pedestrian oriented environment.



KMA

kearns mancini architects inc.

**Welland Court**

Elora, Ontario



On an existing site in the old centre of Elora in Centre-Wellington, Ontario, an infill project proposes to increase the existing allowable density from six dwellings to fourteen in a Church and Cloister configuration. The Welland Court proposal will breathe new life back into the Chalmers Church and provide a residential use that is wholly compatible with the surrounding residential context. The principles of heritage conservation are here being applied to a neglected but valuable heritage building; the proposal will save two significant heritage buildings in Elora.

From studying the context it is clear that this small scale court cloister will contribute a very appropriate piece of village architecture to Elora. The architecture has been developed from detailed studies of Elora houses and village buildings including walls and gardens. From an approvals perspective the project challenges the issues of density versus



saving an important heritage building. Our approach is that quality is more important than density where property values are concerned.

Intensification is good for the community and is far superior to suburban sprawl. It makes good use of existing services and infrastructure. The Welland Court proposal will improve the economy and vitality of the village by bringing an increased 'walk to Main Street' population which will assist in supporting the commercial life of Elora's main street.



*kearns mancini architects inc.*



## Adelaide Courthouse Alterations

Toronto, Ontario



Toronto's first "serious" court house, the Adelaide Court, as it is now known was converted from theatre uses to restaurant and night club use. The transformation included the reconstruction and restoration of the original courthouse lobby demolished over the years, from period photos. The exterior stone and brick facades were cleaned and repaired.

4.66 County of York Court House, 57 Adelaide Street East (1851-2), Cumberland and Ridout, architects. Cumberland could turn his hand to a variety of historical styles, and this was one of his attempts at Greek. The front is austere, heavy, and forbidding, and not helped by the alteration of the wings that once supported the central mass. One thinks immediately of the suggested epitaph for Sir John Vanbrugh, the architect of Blenheim Palace – 'Lie heavy on him, Earth, he laid many a heavy load on thee.' The Arts and Letters Club of Toronto met for several years earlier in this century in the old assize courtroom. Certainly strange quarters for such a club, but there the members built the 'great fireplace,' and there in 1913 they entertained Sir Wilfrid Laurier. Many of Toronto's most distinguished citizens have belonged to this club, now located in St George's Hall on Elm Street (1891; Edwards and Webster, architects, with additions by Sproatt and Rolph).

4.67 A view of Adelaide Street (south side), looking east from Toronto Street. On the right is the Wesleyan Methodist Church (1832; demolished 1870) at the corner of Adelaide and Toronto Streets. It was the predecessor of the Metropolitan Church at Shuter and Church streets. Adjoining the church is the County of York Court House (1851), showing the wings, which have been sold as separate properties and have gone their own ways, architecturally speaking.



above: Excerpt from *Toronto, No Mean City* by Eric Arthur  
left: Exterior photo of main facade



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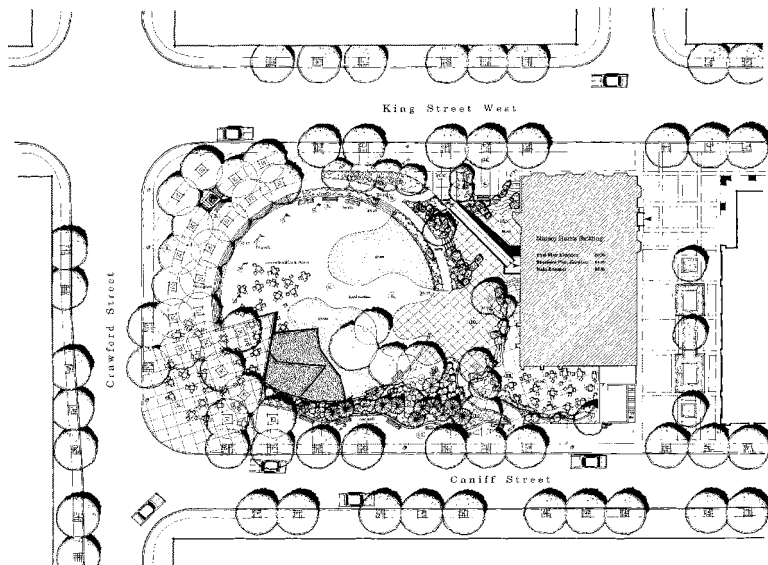


## Massey Harris Building

Canadian Architect, National Design Award of Excellence 1990  
Toronto, Ontario

The program involved providing space for a municipal library and a branch contemporary gallery for the Art Gallery of Ontario within the Massey Harris (later Massey-Ferguson) Building, a historical building on the western edge of downtown Toronto near the CNE. The building is configured with an adjoining park to serve as the focal point for a surrounding redevelopment of 3,000,000 square feet of commercial and information technology space.

The two existing historical facades were faithfully repaired and restored. The two facades that abutted now demolished buildings were entirely reconstructed to provide a new public entry to the building from the park.



top: the refurbished street (north) and new entrance (west) facades.  
above: Site Plan showing the relationship of the building to the new park.  
left: the new rear (south) facade and refurbished (east) facades.



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The program involved the renovation of a 4 storey loft building, including conversion of the basement and ground floor to Brewpub and Restaurant uses and renovation of upper floors for light industrial tenants.

The two full floors of restaurant use established here is significantly larger than would be permitted by the zoning bylaw. The architects convinced the Committee of Adjustment that the brewery and bakery facilities which comprise much of the excess area are in fact light industrial in character, and so fulfill the spirit of the zoning.



*left: A portion of the existing floor was removed to allow views between the bar and the brewing area above. A major goal of the work was to preserve and enhance all existing structural elements of the building.*

*above: view of the second storey brewing facilities enclosed in engineered glass over the bar/restaurant on the lower level.*



*kearns mancini architects inc.*

The brewery is located at the front of the ground floor, emphasizing the large brewing capacity, while the bar and restaurant are located in the half basement accessed by an open stair off the corner of King and Portland Street.

A large opening cut through the ground floor surrounded by engineered glass walls allows the production facilities of the brewery to be visible from the bar below. A separate restaurant seating area is located beyond the bar, screened by an interconnecting steel stair which leads to the washrooms and a brewery viewing area above. The street side of the building is flanked by a long boulevard cafe.



top: the exterior features were cleaned and restored and a new entry to the basement bar was added at the corner of the building.

above: article in *Canadian Architect Magazine*.

**KMA**

kearns mancini architects inc.



## George Brown College, St. James Campus

Toronto, Ontario

### Location:

215 King Street East and  
300 Adelaide Street East,  
Toronto, Ontario

### Project Value:

\$15.7 Million

### Project Gross Area:

36 000 sq.ft.

### Completion Dates:

Construction drawings

### Scope of Work:

Renovation, restoration, retrofit, and  
expansion of two existing buildings

### Client:

George Brown College

### Reference:

Allan Cobham

Facilities Manager

George Brown College

416-415-500 x 4308

The Chef School of George Brown College has gained an international reputation. To support this outstanding program, George Brown College elected to renovate and expand their aging facilities.



The renovation and retrofit of an existing four-storey, 100 year old building, features a publicly accessible student-run restaurant. On the ground and basement levels is the restaurant with associated kitchen and back-of-house facilities. The scheme relocates the existing Siegfried's Dining Room from 300 Adelaide street East to this location. The upper floors house teaching facilities. The approximate area of this building is 18,000 sq.ft.



The Hospitality Building at 300 Adelaide Street East is an expansion and alteration project. A new four-storey 18,000 sq.ft. addition is in front of the existing building. The new addition and alterations include new interactive kitchen classrooms.

*top: The renovation of the existing 215 King Street East  
above: The new addition at 300 Adelaide Street East*



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Tel: 416-463-2597 Fax: 416-463-8855  
Email: dbmcneil@sympatico.ca

DANIEL B. MCNEIL, B.E.S., B.ARCH., OAA, MRAIC, CAPHC

Dan McNeil has been specializing in Heritage Architect since opening his firm in 1987. Through his own practice and as a consultant to other architects, his firm has amassed a large body of experience in Heritage Planning, Adaptive Reuse and Historic Restoration on many prominent historic buildings in the Greater Toronto Region.

The firm has worked closely with various architectural practices over the past years on various heritage projects, notably the restoration of the Senator O'Connor Mansion as part of the Senator O'Connor High School and the recently completed Chef's School for George Brown College. Mr. McNeil has also been contracted on various heritage projects as the project architect.

### ACADEMIC

Guest Critic, University of Waterloo - 1994, 1997  
Bachelor of Architecture, University of Waterloo - 1980  
Bachelor of Environmental Studies, University of Waterloo - 1977

### AWARDS

28th Annual Heritage Toronto Award— 2002 - Ridpaths Restoration  
Toronto Urban Design Awards with Hotson Bakker -1995 - John Street Roundhouse

### ASSOCIATIONS

OAA Ontario Association of Architects - Member with Seal  
RAIC Royal Architectural Institute of Canada  
CAPHC Canadian Association of Professional Heritage Consultants  
APT Association of Preservation Technology



RIDPATH FURNITURE  
STORE RESTORATION  
Toronto, Ontario  
Daniel B. McNeil, Architect.



WHITNEY BLOCK RESTORATION  
Toronto, Ontario  
Stevens Burgess, Architects  
Daniel B. McNeil, Consultant.



## DANIEL B. McNEIL Architect

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Tel: 416-463-2597 Fax: 416-463-8855 Cel: 416-998-2597

Email: dbmcneil@sympatico.ca

### RELEVANT PROJECTS

#### Firm's Projects:

CNIB Heritage Report

Ridpath Furniture Store Heritage Restoration,

University of Toronto Mining Building Heritage Roof Restoration,

Cawthra Mansions Co-operative Heritage Renovations,

Yonge Street Mission Addition and Renovation,

Unionville Main Street Heritage Commercial Building,

Kippendavie Heritage Apartments, Multi-Unit Conversion.

#### Consultant Projects: Kearns Mancini, Architects

Project Architect – Senator O'Connor College High School

Project Architect - Restoration of Heritage Mansion and Coach House

Project Architect - Centre for Addiction and Mental Health Phase 1A

Project Architect - George Brown College King Street Chefs School

#### Consultant Projects: Stevens Burgess, Architects

Project Team - The MacDonald Building Heritage Assessment and Feasibility Report, University of Guelph

Project Team - Monk Centre Design Competition, Devonshire Residences, U of T

Project Architect - The Whitney Block Restoration Phases 1, 2 & 3

Project Team - The Whitney Block Heritage Assessment and Feasibility Report

Project Architect - The Old Don Jail Restoration

#### Consultant Projects: Hotson Bakker, Architects

Project Architect - Gooderham and Worts Case Goods Building Restoration

Project Architect - The John Street Roundhouse Restoration

Project Architect - MTCC Expansion - Heritage Elements

#### Consultant Projects: Kuwabara Payne McKenna Blumberg Architects

Project Architect - Trinity College Interior restoration and renovation.

Project Architect - Royal Conservatory of Music, Heritage Restoration



#### OLD DON JAIL RESTORATION

Toronto, Ontario

Stevens Burgess, Architects

Daniel B. McNeil, Consultant.



#### JOHN STREET ROUNDHOUSE DISASSEMBLY, REASSEMBLY AND RESTORATION

Toronto, Ontario

Hotson Bakker, Architects

Daniel B. McNeil, Consultant.

City of Mississauga  
**Memorandum**



---

Date: 2018/03/07

To: Chair and Members of Heritage Advisory Committee

From: Paul Damaso, Director, Culture Division

Meeting Date: 2018/04/10

Subject: Alterations to a Property adjacent to a Property designated under the Ontario Heritage Act: 185 Derry Road West (Ward 11)

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This memorandum and its attachment are presented for HAC's information.

185 Derry Road West is designated under Part IV of the Ontario Heritage Act. As per section 7.4.1.12 of the Mississauga Official Plan, "The proponent of any construction, development, or property alteration [...] which is proposed adjacent to a cultural heritage resource will be required to submit a Heritage Impact Assessment prepared to the satisfaction of the City and other appropriate authorities having jurisdiction." As such, the Heritage Impact Assessment is attached for your reference

## **Attachments**

Appendix 1: Heritage Impact Statement

A handwritten signature in black ink, appearing to read 'Paul Damaso', written in a cursive style.

---

Paul Damaso, Director, Culture Division

Prepared by: Paul Wubbenhorst, Planner, Heritage Planner

**Heritage Impact Assessment  
for 185-205 Derry Road West,  
Mississauga, Ontario**

Part of Lot 11, Concession 1 West  
of Centre Road, formerly Toronto  
Township North, County of Peel,  
now City of Mississauga, Region  
of Peel



Prepared for:  
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Project Number: 160940473

December 19, 2017



## Sign-off Sheet

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Approved by   
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## Executive Summary

Chartwell Master Care LP retained Stantec Consulting Ltd. (Stantec) to prepare a Heritage Impact Assessment (HIA) for the property located at 185-205 Derry Road West, City of Mississauga, Ontario. This property contains the Hunter House, which was designated in 1981 under Part IV of the *Ontario Heritage Act* through City of Mississauga By-law 339-41. The heritage value of the proper is based on the architectural value of the Hunter House and its historical association with James Hunter. No landscape components or other buildings on the property are included in the designating By-law. Accordingly, this HIA focuses exclusively on the Hunter House.

Chartwell Master Care LP is proposing to build a commercial building at 7060/7070 Derrycrest Drive, which is adjacent to 185-205 Derry Road West. The development proposal includes the construction of a four storey glass and concrete building and associated parking and landscaping. Per Section 7.4 of the *Mississauga Official Plan*, an HIA is required to determine the impacts of the proposed undertaking on 185-205 Derry Road West. This HIA was prepared according to the City of Mississauga 2016 HIA Terms of Reference.

The Hunter House, located at 185-205 Derry Road West, has cultural heritage value or interest and is designated under Part IV of the *Ontario Heritage Act*. The impact assessment carried out for the development proposal at 7060/7070 Derrycrest Drive determined that no direct or indirect impacts to the Hunter House are anticipated as a result of this development. Therefore, no mitigation measures are required.

*The Executive Summary highlights key points from the report only; for complete information and findings the reader should examine the complete report.*

## Project Personnel

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## HERITAGE IMPACT ASSESSMENT FOR 185-205 DERRY ROAD WEST, MISSISSAUGA, ONTARIO

Study Purpose and Methods  
December 19, 2017

### 1.0 STUDY PURPOSE AND METHODS

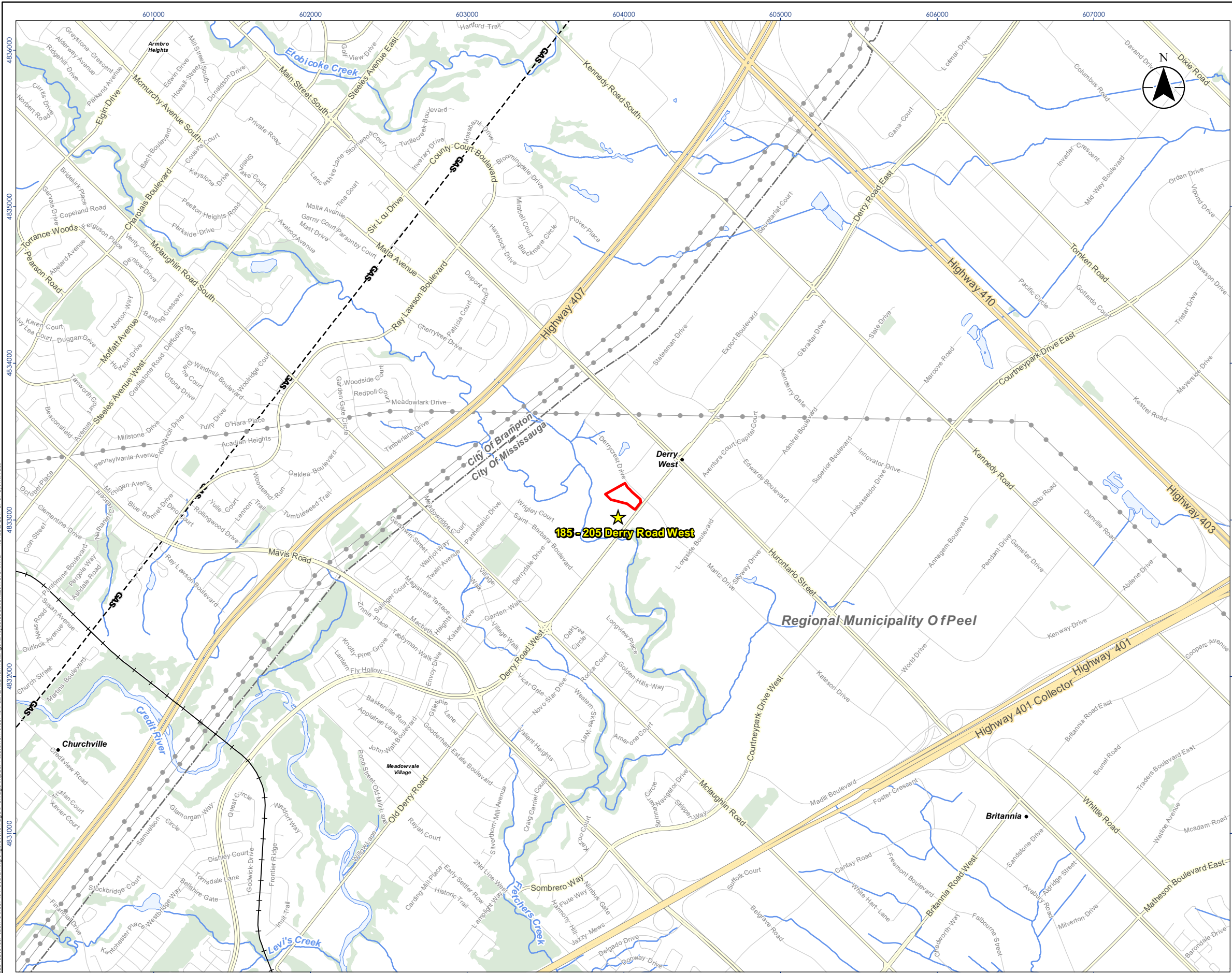
Chartwell Master Care LP (Chartwell) retained Stantec Consulting Ltd. (Stantec) to prepare a Heritage Impact Assessment (HIA) for the property located at 185-205 Derry Road West, City of Mississauga, Ontario (Figure 1). This property contains the Hunter House which was designated in 1981 under Part IV of the *Ontario Heritage Act* through City of Mississauga By-law 339-41 (Appendix A). The heritage value of the property is based on the architectural value of the Hunter House and its historical association with James Hunter. No landscape components or other buildings on the property are included in the designating By-law. Accordingly, this HIA focuses exclusively on the Hunter House (Figure 2).

Chartwell is proposing to build a commercial building at 7060/7070 Derrycres Drive, which is adjacent to 185-205 Derry Road West. The development proposal includes the construction of a four storey glass and concrete building and associated parking and landscaping. Per Section 7.4 of the *Mississauga Official Plan*, an HIA is required to determine the impacts of the proposed undertaking on 185-205 Derry Road West (City of Mississauga 2017).

This HIA was prepared according to the City of Mississauga HIA Terms of Reference (ToR) (2016). As described in the ToR, this HIA includes:

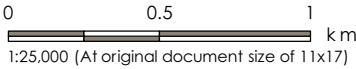
- A site history including land owners as indicated in land registry abstracts and documented through historical photographs as available
- Site assessment to determine the presence of heritage attributes as indicated within the municipal by-law
- Site description including photography and the notation of any discrepancies between the by-law and current conditions
- Site mapping
- A Statement of Significance based on the designating by-law and supplemented by current conditions identified
- An assessment of potential direct and indirect impacts associated with the proposed development (per *Heritage Resources in the Land Use Planning Process, Cultural Heritage and Archaeology Policies of the Ontario Provincial Policy Statement, 2005* (Info Sheet #5) (Ministry of Tourism, Culture and Sport [MTCS] 2006)
- If necessary, assessment of alternative development options and mitigation measures to avoid or limit identified impacts in accordance with appropriate conservation principals as provided by Parks Canada and the MTCS
- Recommendations regarding the preferred method of mitigation, if necessary

A site assessment of the study area was undertaken on June 14, 2017 by Heidy Schopf and Kristen Hahne, both of Stantec. The weather conditions were sunny and calm. Historical research was conducted by Laura Walter to verify background information on the property and its land-use history on June 8, 2017, at the Land Registry Office and Public Library in Brampton, ON.



Legend

- Proposed Development Area
- Designated Heritage Building (Part IV OHA)**
- ★ 185 - 205 Derry Road West, Mississauga
- Existing Features**
- GAS- Gas Pipeline
- Hydro Line
- Expressway / Highway
- Major Road
- Minor Road
- + Railway - Operational
- Watercourse
- Municipal Boundary - Lower Tier
- Municipal Boundary - Upper Tier
- Waterbody
- Wooded Area



- Notes**
1. Coordinate System: NAD 1983 UTM Zone 17N
  2. Base features produced under license with the Ontario Ministry of Natural Resources and Forestry © Queen's Printer for Ontario, 2016.



Project Location  
City of Mississauga

160940473 REVA  
Prepared by MDK on 2017-09-07  
Technical Review by AW on 2017-06-11

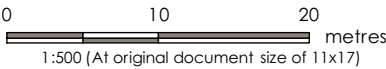
Client/Project  
CHARTWELL RETIREMENT RESIDENCES  
7070 DERRYCREST DRIVE, MISSISSAUGA  
DERRY CREST HERITAGE IMPACT ASSESSMENT

Figure No.  
**1**  
Title  
**Project Location**





- Legend
- Designated Heritage Building (Part IV OHA)**
- ★ 185 - 205 Derry Road West, Mississauga



- Notes
- 1. Coordinate System: NAD 1983 UTM Zone 17N
  - 2. Base features produced under license with the Ontario Ministry of Natural Resources and Forestry © Queen's Printer for Ontario, 2016.
  - 3. Orthoimagery © First Base Solutions, 2014. Imagery Date 2016.



Project Location 160940473 REVA  
City of Mississauga Prepared by MDK on 2017-09-07  
Technical Review by AW on 2017-06-11

Client/Project  
CHARTWELL RETIREMENT RESIDENCES  
7070 DERRYCREST DRIVE, MISSISSAUGA  
DERRY CREST HERITAGE IMPACT ASSESSMENT

Figure No.  
**2**

Title  
**Study Area**

**HERITAGE IMPACT ASSESSMENT FOR 185-205 DERRY ROAD WEST, MISSISSAUGA, ONTARIO**

Historical Summary  
December 19, 2017

**2.0 HISTORICAL SUMMARY****2.1 INTRODUCTION**

The study area is located at 185-205 Derry Road West, City of Mississauga. It is situated on Lot 11, Concession 1 West of Hurontario Street (WHS), former Township of Toronto, County of Peel. The City of Mississauga is located within the Greater Toronto Area and is bounded by the Region of Halton to the west, City of Brampton to the north, City of Toronto to the east and by Lake Ontario to the south. The study area is contained within the municipal boundary of 185-205 Derry Road West and the focus of the HIA is the Gothic Revival style house on the property. The house is exclusive subject of the designating By-law.

The following sections outline the historical development of the study area from the time of Euro-Canadian settlement to the 20<sup>th</sup> century.

**2.2 PHYSIOGRAPHY**

The study area is situated within the Peel Plain physiographic region (Chapman and Putnam 1984: 113). The region consists of a level to rolling tract of clay soils covering 483 square kilometres (km) between the Regions of York and Halton. The general elevation of the region ranges from 500 to 750 feet above sea level with a gradual slope towards Lake Ontario. The underlying material of the Peel Plain is a till that contains large amounts of shale and limestone (Chapman and Putnam 1984: 174).

The study area is located within the Credit Valley Watershed. It is comprised of 1,000 square km of land drained by the Credit River and its 1,500 km of tributaries (Credit Valley Conservation [CVC] 2005:3). Its headwaters are in Orangeville, Erin, and Mono, from which it meanders southeast draining into Lake Ontario at Port Credit, within the City of Mississauga (CVC; online). As the Credit River cut across the Peel Plain it cut deep valleys, leaving no large undrained depressions.

After the Peel Plain had been cleared in the early 19<sup>th</sup> century, its fertile clay soils provided arable land for settlers. Wheat was one of the main crops that was produced in the region. It could be easily transported to the City of Toronto or exported to the United States by way of ports on Lake Ontario. Until 1940, most of the land within the City of Mississauga was used for agriculture (Chapman and Putnam 1984: 175-176).

**2.3 SURVEY**

The study area is located within the former Township of Toronto, on Lot 11, Concession 1 WHS. The survey of the Township of Toronto was completed in two separate parts. The first survey, known as the old survey, was undertaken in 1806 by Deputy Provincial Surveyor Samuel Street



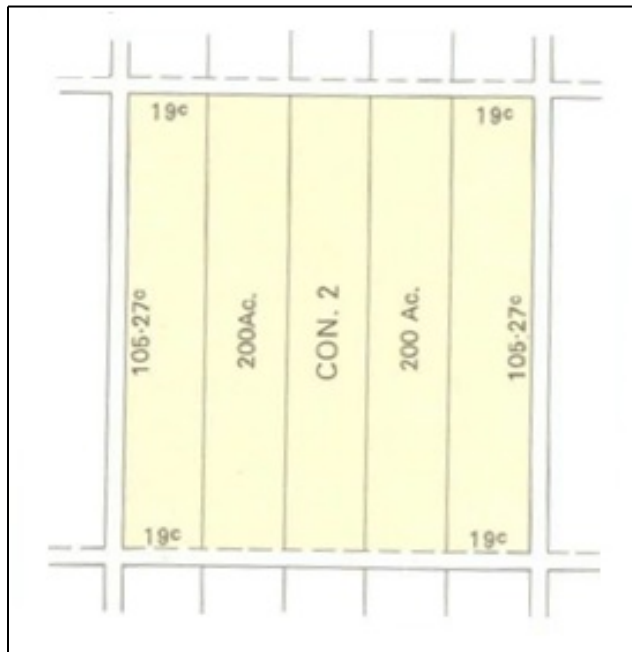


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Wilmot (Association of Ontario Land Surveyors [AOLS] 2013). It was completed from Lake Ontario north to Eglinton Avenue. Concessions within the survey were laid out north and south of Dundas Street which had previously been opened through the township in 1798. The construction of Dundas Street was initiated under Lieutenant Governor John Graves Simcoe in 1793 and named for the Honorable Henry Dundas, the Colonial Secretary. The roadway was opened by the Queen's Rangers under the leadership of Captain Samuel Smith and Augustus Jones (Hicks 2005: xiii). South of Dundas Street, the Lakeshore Road was surveyed in 1791, along an aboriginal trail on the north shore of Lake Ontario (Etobicoke Historical Society; online).

The name of the township was chosen by Alexander Grant, who served as the administrator of the First Executive and Legislative Council of Upper Canada from 1805 to 1806 (Corporation of the County of Peel 1867: 15). It was laid out using the single-front system, whereby each concession was comprised of long and narrow lots that were approximately 200 acres in size (Plate 1). Each lot fronted and backed onto a road.



**Plate 1: Single-Front System (Dean 1969)**

The survey of the northern portion of the township, known as the new survey, was completed by Timothy Street and Richard Bristol in 1819. The township was surveyed with six concessions east and west of Hurontario Street. It was originally known as Street Road after the surveyor (Hicks 2004:xv). It was laid out using the double-front system which produced a rectangular pattern of ten 100-acre lots roughly square in shape and surrounded by road allowances (Plate 2).

## HERITAGE IMPACT ASSESSMENT FOR 185-205 DERRY ROAD WEST, MISSISSAUGA, ONTARIO

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**Plate 2: Double-front survey system (Dean 1969)**

The first settler in the township was Colonel Thomas Ingersoll who operated the Government House and Ferry at the Port Credit prior to 1806 (Walker & Miles 1877: 86). The earliest families to arrive in the township included those of Philip Cody, Daniel Harris, Joseph Silverthorn, Absalom Wilcox, Allen Robinet, and William Barber (Hicks 2004:xii).

## 2.4 19<sup>TH</sup> CENTURY DEVELOPMENT

Settlement in the Township of Toronto developed primarily along the waterways which acted as a source of power for mills as well as at road intersections. The first settlements in the township were Sydenham (later named Dixie) and Harrisville (later named Cooksville), both located along Dundas Street. The War of 1812 increased traffic along the roads which influenced road improvements and the demand for goods in the township (Corporation of the County of Peel 1967: 196).

Following the new survey in 1819, north-south roads soon developed to connect the two surveys. The main settlement roads to the new survey included Hurontario Street (Centre Road), Mono Road, and the Gore Road. Just east of the study area, Hurontario Street was opened in 1819 and named in 1834 by Surveyor General Thomas Ridout for its connection between Lake Ontario and Lake Huron (Hicks 2004:xv). In 1847, the street was planked from Port Credit to the north end of the township (Corporation of the County of Peel 1967: 270).

With its close proximity to the Town of York, and easy accessibility from Lake Ontario, settlers flocked to the township in the early 19<sup>th</sup> century. One of the large groups to arrive that influenced the development of the study area was 150 Irish families that immigrated from New York in 1819. United Empire Loyalists John and James Beatty and Joseph Carter petitioned the Upper Canada government in 1818 for land in the township. The grant was approved with 5,000 acres in the Township of Toronto set aside for 150 families (Hicks 2004:3). By 1821, the population of the township was 803, with 2,924 acres of cleared land (Walker & Miles 1877: 84).



**HERITAGE IMPACT ASSESSMENT FOR 185-205 DERRY ROAD WEST, MISSISSAUGA, ONTARIO**

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With the spread of positive reports by settlers, a large surge of immigrants arrived in the 1830s. In 1834, the population of the township was over 4,000 and by 1836 most of the land within the township had been taken up by settlers (Corporation of the County of Peel 1967: 270). In 1851, following the *Municipal Corporations Act* (Baldwin Act), the Township of Toronto was incorporated with Joseph Wright as the first reeve (Corporation of the County of Peel 1967: 19). At this time, the township had a population of 7,539, with 36,179 acres under cultivation out of a total 60,634 acres (Corporation of the County of Peel 1967: 270).

In relation to the study area, the hamlet of Derry West developed at the intersection of Hurontario Street and Derry Road. The settlement was founded by George Graham, an Irishman who arrived with the group of Irish families in 1819. Graham was granted Lot 12, Concession 1 East of Hurontario Street (EHS), northeast of the study area. He constructed a residence on the property and began to farm the land. When the post office opened in the settlement on August 6, 1851, Graham suggested the name Derry Walls in honour of his forefathers who were involved in holding the gates of Londonderry, during the Battle of Boyne in 1690. The name Derry West was accepted by the postal department (Hicks 2004:246). Derry West developed as a small hamlet surrounded by agricultural lands. Other prominent farmers in Derry West were William Beckwith Reeve and John and James Tilt (Hicks 2004:254).

The 1859 Map of the County of Peel shows the development of the small hamlet at the intersection of two major roadways (Figure 3). The map lists at the intersection a Church of England, a schoolhouse, post office, Presbyterian Church, an inn, and two stores. Six years later a large fire swept through Derry West halting its growth (Hicks 2004:256). The 1874 *Directory of the County of Peel* lists Derry West as a small village in the Township of Toronto, with a population of about 100 (Lynch 1874: 100). The Toronto Township map in the 1877 *Historical Atlas of the County of Peel, Ontario* shows that the hamlet remained stable in the late 19<sup>th</sup> century, with minimal growth when compared to 1861. In 1877, Derry West included two churches, a school, a Temperance hall, an Orange hall, a post office, and a grocery store (Walker & Miles 1877: 86).

While Derry West was slowly developing, the Villages of Streetsville and Meadowvale, west of the study area witnessed increased development with the construction of the Credit Valley Railway through the township between 1877 and 1879. The line was opened through the Township of Toronto, between the City of Toronto and Orangeville. In 1883, the line was taken over by the Canada Pacific Railway (Heritage Mississauga; online). Elsewhere in the township agriculture remained the primary industry. By 1884, the County of Peel had the largest percentage of cleared land with 78.2% compared to the average Ontario county of 49.4% (Corporation of the County of Peel 1967: 36).

## **2.5 20<sup>TH</sup> CENTURY DEVELOPMENT**

In the early 20<sup>th</sup> century, the study area continued to be part of a rural hamlet surrounded by primarily agricultural lands. Within the Township of Toronto, development occurred in the Villages of Streetsville, Meadowvale, Malton, Cooksville, Dixie, and Port Credit through the influence of

## HERITAGE IMPACT ASSESSMENT FOR 185-205 DERRY ROAD WEST, MISSISSAUGA, ONTARIO

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the railway lines. In 1901, the population of the township was 4,690, with 57,043 acres under cultivation out of a total 63,928 acres (Corporation of the County of Peel 1967: 270).

With the improvement in roadways during the 1920s, growth occurred in the township as improved accessibility allowed for industrial and residential development in the area. In 1920, the Department of Public Highways of Ontario assumed Hurontario Street between Cooksville and Orangeville as a provincial highway. In 1925, the highway was paved between Cooksville and Brampton and renumbered as Highway 10. The province retained control of the highway until the 1980s when the portion of Highway 10 near the study area was transferred to the City of Mississauga (Bever 2017a). Other 20<sup>th</sup> century highway development in vicinity to the study area includes Highway 401 and 407.

Industrial development occurred in the township throughout the 20<sup>th</sup> century. By 1967, the township had 365 industries in operation. One of the largest areas of industrial development was at the Village of Dixie, where 750 acres of land had been sold in 1955 as part of an industrial park. By 1966, the population of the township had reached 85,309, a large increase from the 1952 population of 22,882 (Corporation of the County of Peel 1967: 270).

In 1968, the Town of Mississauga was created through the amalgamation of the of the Township of Toronto and the Villages of Clarkson, Lakeview, Cooksville, Erindale, Sheridan, Dixie, Meadowvale, and Malton. In 1974, the town was incorporated as the City of Mississauga (City of Mississauga; online). By 1975, the city had a population of 234,975. Due in large part to its proximity to the City of Toronto, Mississauga prospered throughout the end of the 20<sup>th</sup> century, with a population of 528,000 in 1995. Today, the City of Mississauga is one of the largest in Canada and the third largest in the province. In 2011, the population of the City increased to 713,443 (City of Mississauga 2014). The City of Mississauga remains a fast-growing City within the Greater Toronto Area.

## 2.6 PROPERTY HISTORY

The Euro-Canadian occupation of Lot 11, Concession 1 WHS can be traced using Land Registry data, census records, and cemetery registers. **Table 1** summarizes the land registry information for Lot 11, Concession 1 WHS in the Geographic Township of Toronto from 1822 to the early 20<sup>th</sup> century.

**Table 1: Property Ownership History for Lot 11, Concession 1 West of Hurontario Street**

Name of Grantor(s)	Name of Grantee(s)	Portion	Instrument	Date	Date
The Crown	Joseph Carter	All 200	Patent	15/03/1822	
Joseph Carter and wife	William Orr	199 ½ acres	Bargain and Sale (B&S)	18/10/1827	14/11/1827
William Orr and wife	James Cummings	199 ½ acres	B & S	24/11/1827	28/11/1827

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Historical Summary  
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**Table 1: Property Ownership History for Lot 11, Concession 1 West of Hurontario Street**

Name of Grantor(s)	Name of Grantee(s)	Portion	Instrument	Date	Date
James Cummings and wife	William D. Cummings	197 acres	B&S	16/08/1861	16/08/1861
James Cummings	William D. Cumming	197 acres	Release	12/05/1864	13/05/1864
William Cummings	James Hunter	All	Agreement	14/09/1868	17/09/1868
William D. Cummings and wife	James Hunter	199 ½ acres	B&S	29/09/1868	02/10/1868
James Cummings	William D. Cummings	199 ½ acres	B&S	28/09/1868	03/10/1868
James Hunter and wife	Good Templars	Part E ½	B&S	28/03/1874	30/03/1874
James Hunter and wife	James McCracken	N ½ of W ½ 50 acres	B&S	11/01/1882	11/01/1882
James Hunter	Robert Hunter et al	150 acres	Will	01/11/1881	25/11/1884
Robert Hunter and wife	Charles Hunter	150 acres	B&S	04/11/1884	25/11/1884
Charles Hunter	Samuel Brown	South-easterly part 100 acres	Agreement	28/05/1886	02/06/1886
Charles Hunter	Samuel Brown	50 acres	B&S	10/05/1886	02/06/1886
Charles Hunter and wife	George Cheyne	100 acres	B&S	14/11/1894	29/11/1894
George Cheyne	George C. Cheyne	100 acres	B&S	30/11/1894	04/01/1895
Samuel Brown (widower)	Francis J. Brown	50 acres	B&S	05/09/1896	05/09/1896
Francis J. Brown	Minnie W. Brown his wife	50 acres	B&S	09/11/1896	30/11/1896
Samuel Brown	Francis J. Brown during his natural life etc	50 acres	Probate	30/06/1896	14/03/1905
Florence Hunter	George C. Cheyne	E ½	Quit Clause	03/03/1899	30/03/1907
Mary J. Singer and William D. Hunter	Charles Hunter	150 acres	Quit Clause	14/12/1894	31/03/1910
George C. Cheyne	Alfred G. Rogers	100 acres	B&S	31/03/1911	01/04/1911
Minnie W. Brown	Francis J. Brown	50 acres	B&S	14/10/1914	10/02/1915
Francis Brown	Alfred Rogers	50 acres	B&S	10/02/1915	10/02/1915

The property was granted to Joseph Cater on March 15, 1822 from the Crown as a patent. Carter, his wife Sarah, and their two children, arrived in the township in 1819 with 26 Irish families from New York. Carter was a teacher and had operated an academy in New York. In June 1827,



**HERITAGE IMPACT ASSESSMENT FOR 185-205 DERRY ROAD WEST, MISSISSAUGA, ONTARIO**

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Carter decided to construct a church on his property. It was completed on July 27, 1829, with the help of his neighbours in the hamlet of Derry West. As the cornerstone for the church was christened with whiskey, Bishop Strachan refused to grant Holy Orders on the church. This upset Carter and led him to put the property up for sale. In October 1827, Carter's property was sold at auction to William Orr, while the church on a ½ acre parcel was deeded to the Church of England. Following the sale, Carter and his family returned to New York (Hicks 2004:248-249).

William Orr sold the property that same year to James Cummings. Cummings is listed on the property on the 1859 Map of the County of Peel (Figure 3). The map also shows the location of the church in the southeast corner of the property. Cummings (age 73) is listed on the property in the 1861 census with 150 acres under cultivation; 80 acres of cropland, 68 acres of pasture, two acres of gardens or orchard and 49 ½ acres of wooded or wild land (Library and Archives Canada 1861). For cropland, Cummings farmed wheat, peas, oats, and potatoes. Cummings is listed along with his children William (age 24), Margaret (age 26), Margiory (age 22), Elizabeth (age 20) and James (age 18). The land records show that in 1861, Cummings sold 197 acres of the property to his son William Donald Cummings. This was followed by a similar transaction in 1868 for the entire 199 ½ acres.

William D. Cummings sold the property to James Hunter in 1868. Hunter, of Irish descent, married Eliza Anderson on May 25, 1831, in the Township of York (Archives of Ontario (a)). In 1870, Hunter donated the southeast corner of his property for the construction of a temperance hall. The land records indicate that the property was sold to the Good Templars in 1874. Hunter (age 70) is listed on the 1871 census as a farmer along with his wife Eliza (age 65), and their children Annabella (age 35), Charles (age 32), Jemima (age 22), Eliza Jane (age 22), and William David (age 19) (Library and Archives Canada 1871). Hunter is listed on the property in the 1877 *Historical Atlas of the County of Peel, Ontario* (Figure 4). The map shows two structures on the property with adjacent orchards. The east structure, is the current structure on the property that was constructed in 1871 by Hunter. Also, shown on the map is the Church of England building and Temperance hall in the southeast corner.

Hunter (age 80) is listed in the 1881 census as a gentleman along with his wife Eliza (age 78), and various children and grandchildren including Ethel May (age 6 months), Annabella (age 42), and Joseph (age 51) (Library and Archives Canada 1881). In 1881 (registered 1884) Hunter left the 150-acre property in a will to his son Robert Hunter. The following year, Hunter sold the remaining 50-acre parcel on the west half of the property to James McCracken. Hunter died on October 18, 1883 (Archives of Ontario (b)).

James McCracken (1841-1932) was the son of Jacob McCracken, of Irish descent who arrived in the Township of Toronto in the early 1820s along with his wife Jane (Jemima) Steen's family (Hicks 2004:15). McCracken (age 48) is listed in the 1891 Census of Canada in the Township of Toronto, as a farmer, along with his wife Jemima (age 40) and their children Jennie (age 14), Eva (age 12), James (age 11), Willie (age 9), Weylie (age 7), Russell (age 5), Hazel (age 3), and Howard (age 1) (Library and Archives Canada 1891). The property remained within the McCracken family into the 20<sup>th</sup> century.





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Robert Hunter sold the property to his brother Charles in 1884. Charles Hunter then sold the property in two separate parcels; a 50-acre parcel in 1886 to Samuel Brown and a 100-acre parcel to George Cheyne in 1894.

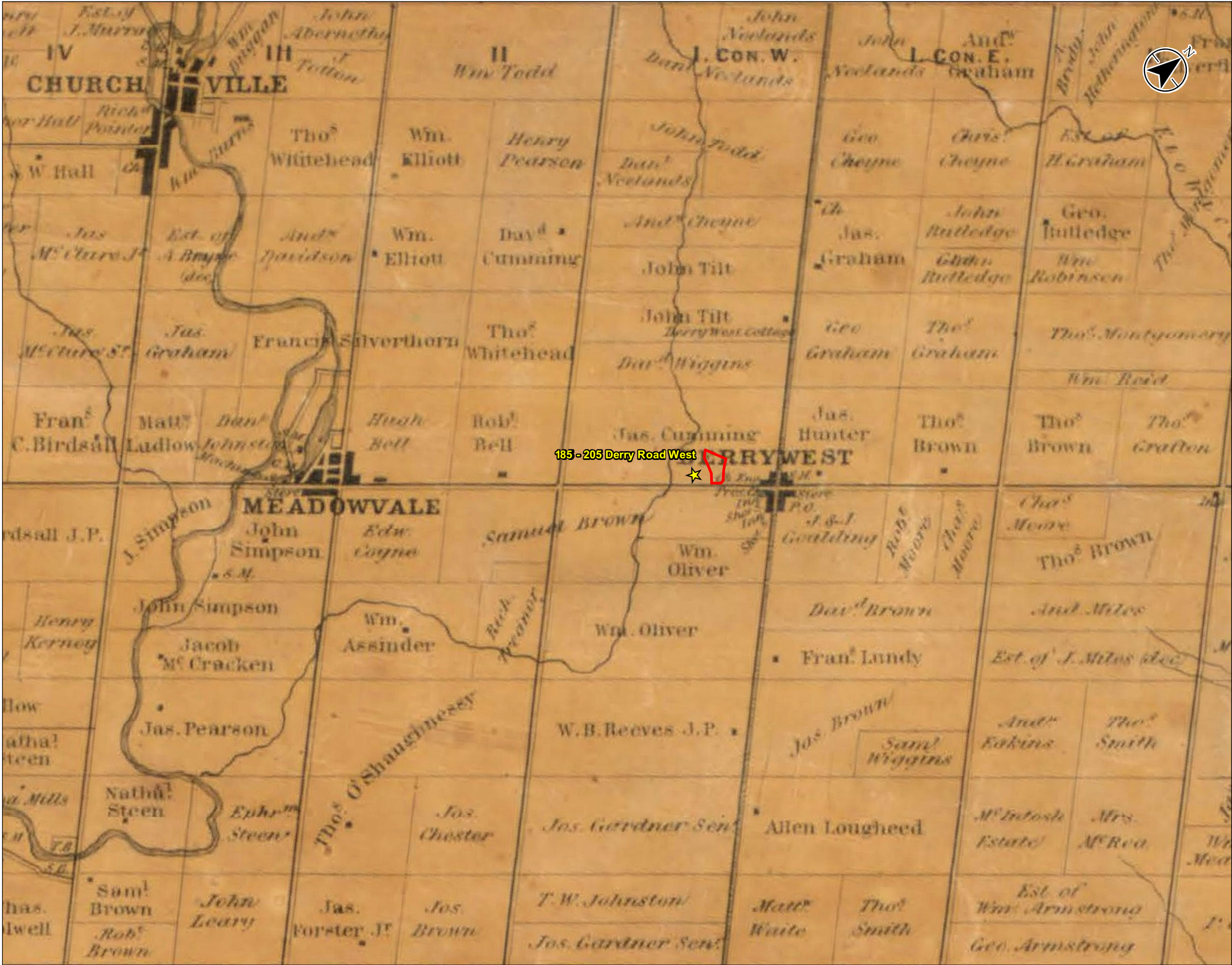
Samuel Brown was the son of Thomas and Janes Brown who arrived in the Township of Toronto in 1824, settling on Lot 6, Concession 2 WHS. Brown accumulated other lots in the township, including Lot 10, Concession 1 WHS, situated directly south of the study area. Samuel Brown inherited Lot 10, Concession 1 WHS, adjacent to the study area, from his father in 1847 (Hicks 2004:21). Brown is shown on the property on the 1877 *Historical Atlas of the County of Peel, Ontario* (Figure 4). Brown (age 71) is listed on the 1891 Census of Canada in the Township of Toronto, as a farmer along with his children John Wesley (age 32), Henry (age 29) and Lucinda (age 37) (Library and Archives Canada 1891). In 1896, Brown sold the property to his son Francis Joseph Brown. Brown died on July 19, 1899 (Archives of Ontario (b)).

Francis (Frank) Joseph Brown (1859-1928) was born in the Township of Toronto. He was a well-known orator in Canada. Brown established the Delsarte School of Oratory in Toronto and served as a professor at normal schools in the United States. Following his retirement, he returned to the family farmstead in the township and assisted his brother John Wesley in operating the dairy farm (Hicks 2004:22). According to the land records, Brown sold the property to his wife Minnie Brown in 1896, who sold the property back to her husband in 1915. That year Brown sold the property to Alfred G. Rogers.

George Cheyne (1829-1906) was the son of Andrew and Jane Cheyne, who arrived in the Township of Toronto in 1819 along with 26 Irish families. Cheyne (age 61) is listed in the 1891 census in the Township of Toronto as a farmer, along with his son George (age 23) and his daughter Jennie (age 20) (Library and Archives Canada 1891). In 1894 (registered in 1895), Cheyne sold the property to his son George C. Cheyne. He retained the property until 1911, when it was sold to Alfred G. Rogers.

Dr. Ray Holmes (1918-2011), purchased 147 acres in the study area, including James Hunter's 1871 house, from Luther Emerson on April 2, 1951. Holmes moved to Derry West with his wife Rita and their children Lorie, Jim, David, and Cathy (Hicks 2004:178). In 1970, Holmes established the Derrydale Golf Course on the property (Colpitts 2011). The golf course was constructed around the Hunter house. The Hunter House is currently in use as a residence.





- Legend
- Proposed Development Area
  - Designated Heritage Building (Part IV OHA)**
  - ★ 185 - 205 Derry Road West, Mississauga

Figure Not to Scale

**Notes**  
1. Tremaine, G.R. 1859. Tremaine's Map of the County of Peel, Canada West.  
Toronto: G.R. and G.M. Tremaine.



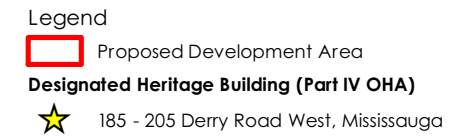
Project Location 160940473 REVA  
City of Mississauga Prepared by MDK on 2017-09-07  
Technical Review by AW on 2017-06-11

Client/Project  
CHARTWELL RETIREMENT RESIDENCES  
7070 DERRYCRESS DRIVE, MISSISSAUGA  
DERRY CRESS HERITAGE IMPACT ASSESSMENT

Figure No.  
**3**  
Title

Portion of the 1859 County of Peel Map





**Notes**

1. Pope, J. H. 1877. *Illustrated Historical Atlas of the County of Peel, Ont: Compiled and Drawn from Official Plans and Special Surveys by J.H. Pope*. Walker & Miles: Toronto.



Client/Project  
CHARTWELL RETIREMENT RESIDENCES  
7070 DERRYCREST DRIVE, MISSISSAUGA  
DERRY CREST HERITAGE IMPACT ASSESSMENT

4

### Portion of the 1877 County of Peel Map



**HERITAGE IMPACT ASSESSMENT FOR 185-205 DERRY ROAD WEST, MISSISSAUGA, ONTARIO**

Site Description  
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**3.0 SITE DESCRIPTION****3.1 PLANNING FRAMEWORK****3.1.1 City of Mississauga Official Plan**

The study area, 185-205 Derry Road West, is designated under Part IV of the *Ontario Heritage Act* (Government of Ontario 2009). Section 7.4 of City of Mississauga's *Official Plan* (2017) contains the following policies that are relevant to this project:

- 7.4.1.3 Mississauga will require development to maintain locations and settings for cultural heritage resources that are compatible with and enhance the character of the cultural heritage resource.
- 7.4.1.10 Applications for development involving cultural heritage resources will be required to include a Heritage Impact Assessment prepared to the satisfaction of the City and other appropriate authorities having jurisdiction.
- 7.4.1.12 The proponent of any construction, development, or property alteration that might adversely affect a listed or designated cultural heritage resources or which is proposed adjacent to a cultural heritage resource will be required to submit a Heritage Impact Assessment prepared to the satisfaction of the City and other appropriate authorities having jurisdiction.
- 7.4.2.3 Development adjacent to a cultural heritage property will be encouraged to be compatible with the cultural heritage property.

**3.1.2 Designating By-Law**

The Hunter House was designated in 1981 through City of Mississauga By-law 339-81 (see Appendix A). The designating By-law is focused on the Hunter House itself; no landscape features of the property are identified. The text contained in the By-law that relates to the heritage value of the house includes reference to the Hunter-Holmes House as opposed to the Hunter House which is referenced on all other documents including a municipal plaque. The text provided as part of the by-law is provided verbatim below:

*The Hunter-Holmes House is recommended for designation on the architectural grounds that it is a particularly fine example of a Gothic Revival Style, combined with prominent Italianate elements. The one-and-a-half storey, three bay façade form with projecting gabled frontpiece and ornate bargeboard are rural Canadian characteristics of domestic Gothic architecture. The eaves brackets, Tuscan Gothic dormer window, polychrome quoins, imbrication, and flat-arch radiating voussoirs with keystones are the Italianate detailing. The Tuscan motif*



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*carries into the round-headed sidelights, consoles, and paneling of the embrasured doorcase. Historically, it is believed to have been built by James Hunter, a farmer, in 1870.*

City of Mississauga (1981)

### 3.2 LANDSCAPE SETTING

The study area, 185-205 Derry Road West, is located on the north side of Derry Road West between Derrycrest Drive and St Barbara Boulevard. The 19<sup>th</sup> century residence is set back approximately 50 metres from Derry Road West and features a garden that includes trees, shrubs, and seasonal plantings (Plate 3). The house remains in its original location, but the landscape context of the property has changed and the former farm house is now located within the Derrydale Golf Course, which was established in 1970. Circulation routes associated with the golf course border the house on the north, east, south, and west (Plate 4). A pond associated with the golf course is located on the north side of the house (Plate 5). The broader golf course property is set among recent development, including a residential development to the southwest (built between 2007 and 2009), a commercial building at the corner of Derry Road West and Maritz Drive (built between 2005 and 2006), and an office building to the north (built between 2007 and 2009). The golf course formerly extended to Derrycrest Road but this portion of the course was graded and re-developed between 2005 and 2006. Currently, this property does not feature any buildings and is a vacant lot (Plate 6 and Plate 7). The roof of the Hunter House is visible from Derrycrest Road but the house is otherwise screened from view by trees and plantings associated with the golf course (Plate 8).



**Plate 3: Front façade (east elevation) of 185 Derry Road, showing the general landscape context**

# HERITAGE IMPACT ASSESSMENT FOR 185-205 DERRY ROAD WEST, MISSISSAUGA, ONTARIO

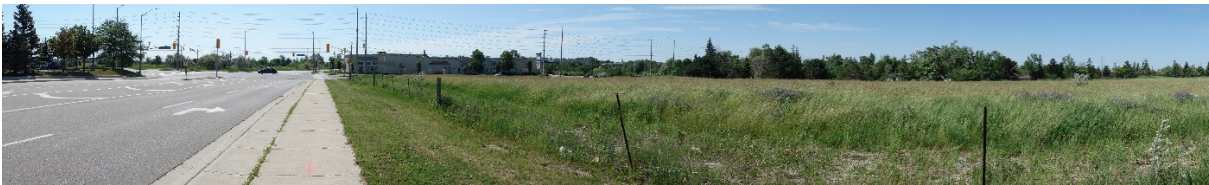
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**Plate 4: North view of 185 Derry Road West showing circulation routes associated with the golf course**



**Plate 5: Southeast view of the circulation route and pond on the northeast side of the Hunter House**



**Plate 6: Southeast view along Derrycrest Drive towards Derry Road West**



**Plate 7: Southeast view along the property line between 7070 Derrycrest Drive and 185-205 Derry Road West**



**HERITAGE IMPACT ASSESSMENT FOR 185-205 DERRY ROAD WEST, MISSISSAUGA, ONTARIO**

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**Plate 8: Southwest view from Derry Road towards the Hunter House at 185-205 Derry Road West**

### **3.3 185-205 DERRY ROAD WEST**

#### **3.3.1 Residence Exterior**

The Hunter House at 185-205 Derry Road West is a one-and-one half storey Gothic Revival style house with Italianate elements. The house has a T-shaped plan, cross gable roof, and a projecting gabled frontpiece. Modern additions have been added to the north, south, and west elevations. For the purpose of this report, the front façade is assumed to be the east elevation.

The front façade is a symmetrical, three bay form with a projecting, two storey bay with gable (Plate 9). The central bay decorative bargeboard contains either an anthus or pineapple motif (Plate 10 and Plate 11). The roof line has projecting eaves, which are decorated with brackets, moulded frieze, and dichromatic brickwork that consists of imbrication and dentils (Plate 12 and Plate 13). The exterior walls of the front façade are constructed with red brick laid out in a stretcher bond (Plate 14). All corners feature buff brick quoins (Plate 15). The entryway is placed in the centre of the front façade and includes a flat-arch structural head with radiating buff brick voussoirs and a carved keystone with a date plaque (Plate 16 and Plate 17). The front door includes a transom, round headed sidelights, consoles, and detailed paneling (Plate 18 and



**HERITAGE IMPACT ASSESSMENT FOR 185-205 DERRY ROAD WEST, MISSISSAUGA, ONTARIO**

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Plate 19). The centre bay includes a Tuscan Gothic dormer window with a buff brick label (or drip mould) and wood lug sill (Plate 20). The front façade also includes two ground level windows, which have flat structural openings, radiating buff brick voussoirs with key stones and wood lug sills (Plate 21 and Plate 22). The windows are sash two-over-two and have wood frames. The windows include decorative wood shutters, which appear to be recent/non-sympathetic additions. A municipal plaque, commemorating the heritage significance of the house, is located on the left side of the front façade (Plate 23).

The north elevation of the house contains the gable end of the front section of the house, original one-and-one half storey rear section, and a more recent one storey addition (Plate 24 and Plate 25). The roofline of the front section contains projecting, returned, eaves with simply decorated frieze (Plate 26). The front section also includes three sash two-over-two windows with flat arch structural openings, radiating buff brick voussoirs, carved keystones, and wood lug sills (Plate 27 and Plate 28). The key stone above the first storey window has a date plaque. The original rear section of the house has dichromatic brickwork along the roof line and buff brick quoins (Plate 29). A doorway and sash six-over-six window are visible through the window of the recent addition (Plate 30).

The west elevation, or rear of the house, is highly altered and contains two recent additions and a screened patio (Plate 31). The original rear section of the house is visible above the one storey addition and demonstrates that the west elevation had returned eaves, common bond brick pattern, and buff brick quoins (Plate 32). A second storey door is located on the right side of the original section, which gives access to the roof of the recent addition.

The south elevation of the house is similar to the north elevation and contains the gable end of the front section of the house, the original one-and-one half storey rear section, and a more recent addition. The gable end of the south elevation has returned eaves, simply decorated frieze, and three windows (Plate 33). Like the north elevation, the windows on the front section of the house includes flat arch structural heads with radiating, buff brick voussoirs, carved keystones, and wood lug sills (Plate 34). The key stone of the first storey window includes a date plaque. The south elevation is constructed with a common bond brick and the stone foundations the house are visible (Plate 35 and Plate 36). A recent addition with red brick exterior and shed style roof is located on the left side of the south elevation of the house (Plate 37). The original rear section of the south elevation is mainly covered by the recent addition (Plate 38). The remaining portion of the original rear section features dichromatic brick work along the roof line, buff brick quoins, and an exterior chimney (Plate 39).

All architectural elements identified in the designating By-law remain in place (A.1Appendix A). The recent additions on the north, west, and south are not mentioned in the By-law and the construction dates of these additions are unknown. The recent additions are not sympathetic to the architectural style of the house but have allowed for the retention of significant heritage attributes.



# HERITAGE IMPACT ASSESSMENT FOR 185-205 DERRY ROAD WEST, MISSISSAUGA, ONTARIO

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**Plate 9: Front façade (east elevation) of the Hunter House**



**Plate 10: Decorative bargeboard on the front façade (centre gable)**



**Plate 11: Anthus or pineapple motif in the bargeboard**



# HERITAGE IMPACT ASSESSMENT FOR 185-205 DERRY ROAD WEST, MISSISSAUGA, ONTARIO

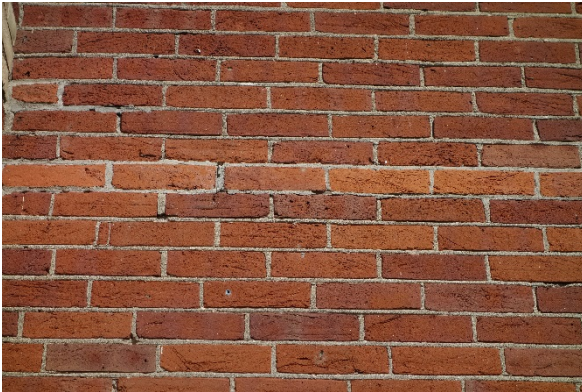
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**Plate 12: Projecting eaves with brackets, on the front façade**



**Plate 13: Brackets, moulded frieze imbrication, and dentils along the front façade roofline**



**Plate 14: Stretcher bond on the front façade**



**Plate 15: Buff brick quoins on the front façade**



**Plate 16: Front entryway showing buff brick, flat arch with keystone, and decorative door frame with transom, sidelights, and moulding**



**Plate 17: Flat arch structural head and keystone with 1871 date plaque on the front façade**



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**Plate 18: Round headed sidelights and consoles in the front entryway**



**Plate 19: Paneling on the front door**



**Plate 20: Tuscan Gothic dormer window on the front façade**



**Plate 21: First storey window on the front façade showing flat structural opening, radiating voussoirs, key stone, and shutters**



**Plate 22: Radiating, buff brick voussoirs and carved keystone on the front façade**



**Plate 23: Municipal plaque on the left side of the front façade**



# HERITAGE IMPACT ASSESSMENT FOR 185-205 DERRY ROAD WEST, MISSISSAUGA, ONTARIO

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**Plate 24: North elevation of the Hunter House**



**Plate 25: Modern one storey addition on the north and west elevations**



**Plate 26: Returned eaves with brackets on the north elevation**



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**Plate 27: Buff brick structural window head with flat-arch radiating, voussoirs and carved keystone with 1871 date**



**Plate 28: Window on the north elevation showing wood lugsill and wood window frame**



**Plate 29: Dichromatic brickwork and quoins on the rear section of the north elevation**



**Plate 30: Original windows and painted brick exterior visible through the modern addition on the north elevation**

# HERITAGE IMPACT ASSESSMENT FOR 185-205 DERRY ROAD WEST, MISSISSAUGA, ONTARIO

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**Plate 31: West elevation of the Hunter House, showing the more recent additions**



**Plate 32: Original section on the west elevation**



**Plate 33: South elevation of the Hunter House**

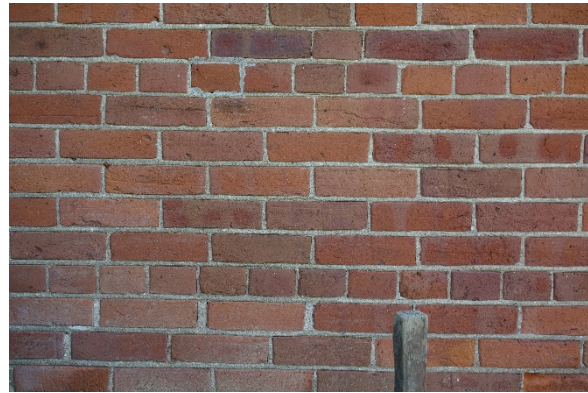


# HERITAGE IMPACT ASSESSMENT FOR 185-205 DERRY ROAD WEST, MISSISSAUGA, ONTARIO

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**Plate 34: Second storey window on the south elevation**



**Plate 35: Common bond on the south elevation**



**Plate 36: Stone foundations, visible on the south elevation**



**Plate 37: Modern addition (left) and original house (right) on the south elevation**



**Plate 38: South elevation of the Hunter House, showing the rear section**



**Plate 39: Rear section of the Hunter House, showing decorative brickwork, and exterior chimney**

**HERITAGE IMPACT ASSESSMENT FOR 185-205 DERRY ROAD WEST, MISSISSAUGA, ONTARIO**

Heritage Evaluation  
December 19, 2017

**4.0 HERITAGE EVALUATION****4.1 ONTARIO REGULATION 9/06**

The criteria for determining cultural heritage value or interest (CHVI) are defined by *Ontario Regulation (O. Reg.) 9/06* (Government of Ontario 2006). If a property meets one or more of the below criteria it may be determined to merit designation under Part IV of the *Ontario Heritage Act*. In order to identify CHVI at least one of the following criteria must be met:

1. The property has design value or physical value because it:
  - i. is a rare, unique, representative or early example of a style, type, expression, material or construction method
  - ii. displays a high degree of craftsmanship or artistic merit
  - iii. demonstrates a high degree of technical or scientific achievement
2. The property has historical value or associative value because it:
  - i. has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community
  - ii. yields, or has the potential to yield, information that contributes to an understanding of a community or culture
  - iii. demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community
3. The property has contextual value because it:
  - i. is important in defining, maintaining or supporting the character of an area
  - ii. is physically, functionally, visually or historically linked to its surroundings
  - iii. is a landmark

**4.2 EVALUATION**

The Hunter House was designated under the *Ontario Heritage Act* in 1981 through City of Mississauga By-law 339-81. The text related to the heritage value of the house is provided in Section 3.1.2 of this report and the entire By-law is included in Appendix A. While the Hunter House has CHVI, the designating By-Law does not include a list of heritage attributes or a statement of significance. Accordingly, the evaluation of the Hunter Home against O. Reg. 9/06 is provided below to identify heritage attributes and create a statement of significance.

Table 2 identifies which criteria of O. Reg. 9/06 are met. Detailed discussions of how the property meets the criteria are included below, in Sections 4.2.1 to 4.2.3.

**Table 2: Evaluation According to Ontario Regulation 9/06**

Criteria of O. Reg 9.06	Y/N
Is a rare, unique, representative or early example of a style, type, expression, material or construction method	Y
Displays a high degree of craftsmanship or artistic merit	Y



**HERITAGE IMPACT ASSESSMENT FOR 185-205 DERRY ROAD WEST, MISSISSAUGA, ONTARIO**

Heritage Evaluation  
December 19, 2017

**Table 2: Evaluation According to Ontario Regulation 9/06**

Criteria of O. Reg 9.06	Y/N
Demonstrates a high degree of technical or scientific achievement	N
Has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community	Y
Yields, or has the potential to yield, information that contributes to an understanding of a community or culture	N
Demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community	N
Is important in defining, maintaining or supporting the character of an area	Y
Is physically, functionally, visually or historically linked to its surroundings	Y
Is a landmark	N

**4.2.1 Design or Physical Value**

The Hunter House is a unique 19<sup>th</sup> century farmhouse that blends Gothic Revival Style with Italianate architectural elements. The house displays a high degree of craftsmanship, which is most notable in the dichromatic brickwork on all elevations, the carved keystones, and the detailed roofline, which includes a projecting eaves with brackets and moulded frieze. The architectural elements related to the Gothic Revival style include the one-and-one half storey scale, T-shaped plan, and symmetrical three bay façade with projecting, gabled, frontpiece and ornate bargeboard. The Italianate style elements include the brackets, Tuscan Gothic dormer window, dichromatic brickwork, buff brick quoins, imbrication, and flat-arch radiating voussoirs with carved keystones. The front entryway is also reflective of Italianate style in its round headed sidelights, consoles, a transom, and moulded paneling.

The house was determined to have design value and to satisfy two criteria (i.i and i.ii) of O. Reg. 9/06 as it a unique house that blends two architectural styles and has a high degree of craftsmanship present on all exterior building elevations.

**4.2.2 Historical or Associative Value**

The Hunter House was built in 1870/71 by James Hunter, a farmer and prominent member of the local community. Hunter was of Irish descent and was married to Eliza Anderson. Hunter purchased the property from William D. Cummings in 1868. He donated the southeast corner of the property for the construction of a Temperance hall in 1870. Hunter was a prominent member of the hamlet of Derry West and is listed as a 'farmer' in the 1877 *Historical Atlas of the County of Peel, Ontario*. In 1881, Hunter willed the 150-acre property to his son Robert Hunter and sold the remaining 50-acre parcel on the west half of the property to James McCracken. Hunter died on October 18, 1883. The Hunter House is one of the last remaining buildings of the historical hamlet of Derry West.

**HERITAGE IMPACT ASSESSMENT FOR 185-205 DERRY ROAD WEST, MISSISSAUGA, ONTARIO**

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The house was determined to have historical or associative value and satisfy one criterion (ii.i) of O. Reg. 9/06 due to its association with the Hunter family who were farmers and prominent citizens in the history of Toronto Township.

**4.2.3 Contextual Value**

The Hunter House is one of the last remaining residences from the 19<sup>th</sup> century settlement of Derry West. The house remains in its original location and is physically and historically linked to its surroundings. The Hunter House is set back approximately 50 metres from Derry Road West and is largely screened from view by tree cover. The immediate surrounding context is comprised of Derrydale, a golf course that was established in the 1970s. The adjacent properties contain modern buildings primarily built between 2005 and 2009. Given its distance from the road and screened tree cover, the Hunter House does not define the area and does not act as a landmark.

The property was determined to have contextual value and satisfy one criterion (iii.i) of O. Reg. 9/06 as the Hunter House is physically and historically linked to its setting.

**4.2.4 Statement of Cultural Heritage Value or Interest**

The Hunter House is a unique 19<sup>th</sup> century farmhouse that blends Gothic Revival Style with Italianate architectural elements. The house displays a high degree of craftsmanship, which is most notable in the dichromatic brickwork on all elevations, the carved keystones, and the detailed roofline, which includes a projecting eaves with brackets and moulded frieze. The architectural elements related to the Gothic Revival style include the one-and-one half storey scale, T-shaped plan, and symmetrical three bay façade with projecting, gabled, frontspiece and ornate bargeboard. The Italianate style elements include the brackets, Tuscan Gothic dormer window, dichromatic brickwork, buff brick quoins, imbrication, and flat-arch radiating voussoirs with carved keystones. The front entryway is also reflective of Italianate style in its round headed sidelights, consoles, a transom, and moulded paneling.

The Hunter House was built in 1870/71 by James Hunter, a farmer. Hunter was of Irish descent and was married to Eliza Anderson. Hunter purchased the property from William D. Cummings in 1868. Hunter donated the southeast corner of the property for the construction of a temperance hall in 1870. In 1881 Hunter left the 150-acre property in a will to his son Robert Hunter and sold the remaining 50-acre parcel on the west half of the property to James McCracken. Hunter died on October 18, 1883. The Hunter House is one of the last remaining buildings of the historical hamlet of Derry West. The Hunter House remains in its original location and is physically and historically linked to its surroundings.

The Hunter House has local significance for design/physical, historical/associative, and contextual reasons. This residence has CHVI and is designated under Part IV of the *Ontario Heritage Act*.



**HERITAGE IMPACT ASSESSMENT FOR 185-205 DERRY ROAD WEST, MISSISSAUGA, ONTARIO**

Heritage Evaluation  
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**4.2.5 Heritage Attributes**

Based on the evaluation of CHVI, the following heritage attributes were identified for the house:

- Gothic Revival house with Italianate style details
- One-and-one half storey scale
- T-shaped plan
- Cross gable roof with projecting, returned eaves
- Projecting, gabled frontpiece
- Tuscan Gothic dormer window
- Red brick exterior with dichromatic brickwork
- Buff brick quoins
- Ornate bargeboard
- Decorated roofline that includes brackets, moulded frieze, imbrication, and dentils
- Flat-arch radiating voussoirs with carved keystones
- Front entryway with round headed sidelights, transom, consoles, and moulded paneling
- Wood frame, multi-pane sash windows on the east (front façade), north, and south elevations
- Municipal plaque noting the historical significance of the house and connection to the Hunter family
- Original location, approximately 50 metres northwest of Derry Road West

## HERITAGE IMPACT ASSESSMENT FOR 185-205 DERRY ROAD WEST, MISSISSAUGA, ONTARIO

Assessment and Mitigation  
December 19, 2017

## 5.0 ASSESSMENT AND MITIGATION

### 5.1 DESCRIPTION OF THE PROPOSED UNDERTAKING

Chartwell Master Care LP is proposing to build a new office building at 7060/7070 Derrycrest Drive, the property located immediately north of the subject property 185-205 Derry Road West. 7060/7070 Derry Crest Drive was formerly part the Derrydale Golf Course, but is currently a vacant lot with no structures. The development proposal includes the construction of a four storey glass and concrete building to be used as an office building. Proposed landscape elements include parking lots, pedestrian paths, and landscaped areas. Drawings of the proposed development are provided in Appendix B of this report.

It should be noted that a streetscape elevation drawing is not included in this HIA. Instead, an aerial map showing the Hunter House in relation to the proposed development is provided in Figure 5. An aerial map was selected as the best means to illustrate the spatial relationship between the Hunter House and the proposed development since the Hunter House is setback from Derry Road by 50 metres and is screened from the road by tree cover. In addition, the Hunter House is located approximately 100 metres southwest of the development site and would not be visible on a streetscape elevation drawing. The aerial map shows the setback and tree line that screen the Hunter House from view and the location of the pond, part of the golf course, and tree line that separate the development site from the house.

### 5.2 ASSESSMENT OF IMPACTS

The Hunter House at 185-205 Derry Road West has CHVI and is designated under Part IV of the *Ontario Heritage Act*. The designation By-law and heritage attributes for the property are limited to the house itself. Accordingly, this impact assessment is focused exclusively on the Hunter House, located at 185-205 Derry Road West. Impacts are defined by Info Sheet #5, as discussed in Section 1.0.

**Table 3: Evaluation of Potential Direct Impacts**

Direct Impact	Relevance to 185-205 Derry Road West
<b>Destruction</b> of any, or part of any, <i>significant heritage attributes</i> or features.	The proposed development is contained entirely in 7060/7070 Derrycrest Drive. No destruction-related impacts are anticipated to the Hunter House or within 185-205 Derry Road West. <b>Therefore, no mitigation measures are required.</b>
<b>Alteration</b> that is not sympathetic, or is incompatible, with the historic fabric and appearance.	The proposed development is contained entirely in 7060/7070 Derrycrest Drive. No alterations are proposed to the current landscape setting of 185-205 Derry Road West or to the Hunter House itself. <b>Therefore, no mitigation measures are required.</b>





## HERITAGE IMPACT ASSESSMENT FOR 185-205 DERRY ROAD WEST, MISSISSAUGA, ONTARIO

Assessment and Mitigation  
December 19, 2017

**Table 4: Evaluation of Potential Indirect Impacts**

Indirect Impact	Relevance to 185-205 Derry Road West
<b>Shadows</b> created that alter the appearance of a <i>heritage attribute</i> or change the viability of a natural feature or plantings, such as a garden	The proposed development is located approximately 100 metres north of the Hunter House and is screened from the house by existing trees in 185-205 Derry Road. Accordingly, no impacts related to shadows are anticipated. <b>Therefore, no mitigation measures are required.</b>
<b>Isolation</b> of a <i>heritage attribute</i> from its surrounding environment, context or a <i>significant</i> relationship	The Hunter House is set in a golf course that dates to the 1970s. The existing development surrounding the golf course property is recent dating between 2005 and 2009. Accordingly, the surrounding environment and context of the Hunter House is already highly altered and no isolation related impacts resulting from the proposed development are anticipated. <b>Therefore, no mitigation measures are required.</b>
<b>Direct or indirect obstruction</b> of <i>significant</i> views or vistas within, from, or of built and natural features	The Hunter House is set back approximately 50 metres from Derry Road West and is screened on all sides by tree cover. Accordingly, no direct or indirect views to or from the Hunter House will be obstructed by the proposed development. <b>Therefore, no mitigation measures are required.</b>
<b>A change in land use</b> such as rezoning a battlefield from open space to residential use, allowing new <i>development</i> or <i>site alteration</i> to fill in the formerly open spaces	No change in land use to the Hunter House will result from the proposed development. <b>Therefore, no mitigation measures are required.</b>
<b>Land disturbances</b> such as a change in grade that alters soil, and drainage patterns that adversely affect an <i>archaeological resource</i>	The development proposal is limited to 7060/7070 Derrycrest Drive and no land disturbance activities are planned within 185-205 Derry Road West. <b>Therefore, no mitigation measures are required.</b>

### 5.3 SUMMARY OF IMPACT ASSESSMENT

No direct or indirect impacts to the Hunter House, located at 185-205 Derry Road West, are anticipated from the proposed development at 7060/7070 Derrycrest Road. Therefore, no mitigation measures are required.





Legend

- Proposed Development Area
- Designated Heritage Building (Part IV OHA)**
- ★ 185 - 205 Derry Road West, Mississauga

0 25 50 metres  
1:1,500 (At original document size of 11x17)

- Notes**
1. Coordinate System: NAD 1983 UTM Zone 17N
  2. Base features produced under license with the Ontario Ministry of Natural Resources and Forestry © Queen's Printer for Ontario, 2016.
  3. Orthoimagery © First Base Solutions, 2014. Imagery Date 2016.



Project Location  
City of Mississauga  
160940473 REVA  
Prepared by MDK on 2017-09-07  
Technical Review by AW on 2017-06-11

Client/Project  
CHARTWELL RETIREMENT RESIDENCES  
7070 DERRYCREST DRIVE, MISSISSAUGA  
DERRY CREST HERITAGE IMPACT ASSESSMENT

Figure No.  
**5**  
Title  
**Study Area and Proposed Development**



**HERITAGE IMPACT ASSESSMENT FOR 185-205 DERRY ROAD WEST, MISSISSAUGA, ONTARIO**

Recommendations

December 19, 2017

**6.0 RECOMMENDATIONS**

The Hunter House, located at 185-205 Derry Road West, has CHVI and is designated under Part IV of the *Ontario Heritage Act*. The impact assessment carried out for the development proposal at 7060/7070 Derrycres Drive determined that no direct or indirect impacts to the Hunter House are anticipated as a result of this development. Therefore, no mitigation measures are required.

**6.1 DEPOSIT COPIES**

To assist in the retention of historic information, copies of this report should be deposited with local repositories of historic material as well as with municipal and regional planning staff. Therefore, it is recommended that this report be deposited at the following locations:

**City of Mississauga**

Civic Centre, Heritage Planning  
300 City Centre Drive  
Mississauga, ON, L5B 3C1

**City of Mississauga Public Library**

Central Branch  
301 Burnhamthorpe Road West  
Mississauga, ON, L5B 3Y3

**HERITAGE IMPACT ASSESSMENT FOR 185-205 DERRY ROAD WEST, MISSISSAUGA, ONTARIO**

Closure

December 19, 2017

**7.0 CLOSURE**

This report has been prepared for the sole benefit of the Chartwell Master Care LP, and may not be used by any third party without the express written consent of Stantec Consulting Ltd. Any use which a third party makes of this report is the responsibility of such third party.

We trust this report meets your current requirements. Please do not hesitate to contact us should you require further information or have additional questions about any facet of this report.

Yours truly,

**STANTEC CONSULTING LTD.**

**Heidy Schopf, MES, CAHP**  
Cultural Heritage Specialist  
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Senior Associate  
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Fax: (613) 722-2799  
Cell: (613) 293-3035  
[colin.varley@stantec.com](mailto:colin.varley@stantec.com)





**HERITAGE IMPACT ASSESSMENT FOR 185-205 DERRY ROAD WEST, MISSISSAUGA, ONTARIO**

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December 19, 2017

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**HERITAGE IMPACT ASSESSMENT FOR 185-205 DERRY ROAD WEST, MISSISSAUGA, ONTARIO**

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**HERITAGE IMPACT ASSESSMENT FOR 185-205 DERRY ROAD WEST, MISSISSAUGA, ONTARIO**

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## **APPENDICES**



**HERITAGE IMPACT ASSESSMENT FOR 185-205 DERRY ROAD WEST, MISSISSAUGA, ONTARIO**

Appendix A B-law Number 339-81  
December 19, 2017

**Appendix A B-LAW NUMBER 339-81**

BY-LAW NUMBER *339-81*

To designate the Hunter Holmes  
House, Part of Lot 11, Conc.  
1, W.H.S.

WHEREAS the Ontario Heritage Act, S.O. 1974, Chapter 122, Section 29(6), authorizes the Council of a municipality to enact by-laws to designate real property including all the buildings and structures thereon, to be of historic or architectural value or interest; and

WHEREAS notice of intention to so designate the Hunter Holmes House, Part of Lot 11, Conc. 1 W.H.S., having been duly published and served and no notice of objection to such designation having been received by the Council of The Corporation of the City of Mississauga.

WHEREAS the reasons for the said designation are set out as Schedule "A" hereto;

THEREFORE the Council of the Corporation of the City of Mississauga enacts as follows:

1. That the real property, more particularly described in Schedule "B" hereto, known as the Hunter Holmes House, Part of Lot 11, Conc. 1 W.H.S. be designated as being of architectural and historic value or interest.
2. That the City Clerk is hereby authorized to cause a copy of this by-law to be served upon the owner of the aforesaid property and upon the Ontario Heritage Foundation and to cause notice of this by-law to be published in a newspaper having general circulation in the City of Mississauga.

ENACTED AND PASSED this *11th* day of *May*, 1981.

CERTIFIED A TRUE COPY

MAYOR

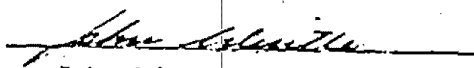
CITY CLERK

APPROVED  
AS TO FORM  
City Solicitor  
MISSISSAUGA

*M. J. J.*  
1 3 0 1 0

DESCRIPTION: Part of Lot 11,  
Concession 1 West of Hurontario Street

ALL AND SINGULAR, that certain parcel or tract of land and premises situate, lying and being in the City of Mississauga, Regional Municipality of Peel, (formerly in the Township of Toronto, County of Peel), Province of Ontario and being composed of that part of Lot 11 in the First Concession West of Hurontario Street in the said City designated as Part 1 on a reference plan deposited in the Land Registry Office for the Registry Division of Peel (No. 43) as 43R-8757,

  
John Wintle,  
Ontario Land Surveyor.

SCHEDULE "A" TO BY-LAW 339-81  
OF THE CITY OF MISSISSAUGA

Reasons for the designation of the Hunter-Holmes House,  
Part of Lot 11, Conc. 1, W.H.S.

The Hunter-Holmes House is recommended for designation on the architectural grounds that it is a particularly fine example of the Gothic Revival Style, combined with prominent Italiante elements. The one-and-a-half storey, three bay facade form with projecting gabled frontispiece and ornate bargeboard are rural Canadian characteristics of domestic Gothic architecture. The eaves brackets, Tuscan Gothic dormer window, polychrome quoins, imbrication, and flat-arch radiating voussoirs with keystones are the Italiante detailing. The Tuscan motif carries into the round-headed sidelights, consoles, and panelling of the embrasured doorcase. Historically, it is believed to have been built by James Hunter, a farmer, in 1870.



**HERITAGE IMPACT ASSESSMENT FOR 185-205 DERRY ROAD WEST, MISSISSAUGA, ONTARIO**

Appendix B Development Proposal  
December 19, 2017

## **Appendix B DEVELOPMENT PROPOSAL**





**SURVEYOR:**  
**Name**  
 Address  
 contact: email

[illegible]

134 Peter Street P 416.971.6252  
Suite 1601 F 416.971.5420  
Toronto ON E info@andco.com  
Canada M5V 2H2 W sweenyandco.com

OWNER  
Chartwell Retirement  
Residences

DATE : 08/15/13  
SCALE :  
DRAWN : INITIALS DWG No.  
CHECKED : INITIALS  
PROJ. No. : 1644



DRAWING NOT TO BE SCALED

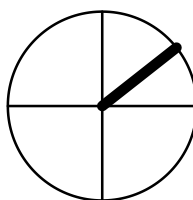
Contractor must check and verify all dimensions on the job and report any discrepancies to the architect before proceeding with the work.

This drawing shall not be used for construction purposes until signed by the consultant responsible. This drawing, as an instrument of service, is provided by and is the property of Sweeny & Co. Architects.

ISSUED / REVISED

No.	Description	Date
1	Issued for SPA	2017-04-04
2	Review for SPA Resub	2017-07-07

CITY OF MISSISSAUGA  
SP.17 / 68 - W5



**Sweeny&Co  
Architects**

134 Peter Street  
Suite 1601  
Toronto ON  
Canada M5V 2H2

P 416.971.6252  
F 416.971.5420  
E info@sandco.com  
W sweenyandco.com

PROJ. NAME

Chartwell Head Office

7070 Derrycrest Drive

OWNER

Chartwell Retirement  
Residences

DWG TITLE

Site Plan

DATE : 10/14/15

SCALE : As indicated

DRAWN : Author

CHECKED : Checker

PROJ. No. : 1644

DWG No.  
**A.101**

STANDARD DEVELOPMENT PLAN NOTES

(a) I hereby certify that this drawing conforms in all respects to the site development plans approved by the City of Mississauga under file number SP 17 / 68 W5

(b) All damaged areas are to be re-instated with topsoil and sod prior to the release of securities

(c) Signage shown on the site development plans is for information purposes only. All signs will be subject to the provisions of Bylaw 0054-2002, as amended, and a separate design application will be required through the Building Division.

(d) Any fencing adjacent to municipal lands is to be located 15cm (6.0 in.) inside the property line.

(e) The City of Mississauga requires that all working drawings submitted to the Building Division, Planning and Building Department as part of an application for the issuance of a Building Permit shall be certified by the architect or engineer as being in conformity with the site development plans as approved by the City of Mississauga.

(f) All exterior lighting will be directed onto the site and will not infringe upon the adjacent properties.

(g) Grades will be met within 33% maximum slope at the property lines and within the site.

(h) Parking spaces reserved for people with disabilities is to conform to current municipal and legislative standards. Barrier free parking signs must be provided, installed at the applicant's expense, in accordance with Bylaw 1C2016.

(i) Continuous 15cm high barrier type poured concrete curbing will be provided between all asphalt and landscaped areas throughout the site.

(j) All roof top mechanical units will be screened from view.

(k) The applicant will be responsible for ensuring that all plans conform to Transport Canada's restrictions.

(l) All surface drainage will be self contained, collected and discharged at a location to be approved prior to the issuance of a building permit.

(m) The portions of the driveway within the municipal boulevard will be paved by the applicant.

(n) At the entrances to the site, the municipal curb and sidewalk will be continuous through the driveway and a curb depression will be provided for each entrance.

(o) All proposed curbing at the entrances to the site is to stop at the property line or at the municipal sidewalk.

(p) All excess excavated material will be removed from the site.

(q) The existing drainage system will be maintained except where noted.

(r) All proposed curbing within the Municipal boulevard area are to have all entrances to the site be in accordance with O.P.S.D. 350.010.

(s) The applicant will be required to contact all Utility Companies to obtain all required locations prior to the installation of hoarding within the Municipal right of way.

(t) The applicant will be responsible for the cost of any utility relocations necessitated by the site plan.

(u) Prior to construction taking place, all required hoarding in accordance with the Ontario Occupational Health & Safety Act and regulations for construction projects must be erected and then maintained throughout all phases of construction.

SITE NOTES

(i) Site information was taken from topographic survey of "Part of Block 1, Registered Plan 43M-1704, City of Mississauga, Regional Municipality of Peel" by David B. Seares Surveying Ltd. dated December 28, 2012.

(ii) Site grading information is for co-ordination purposes only. Refer to drawings by mechanical engineer for site grading and storm water management.

(iii) Electrical and communication information is for co-ordination purposes only. Refer to electrical drawings for electrical and communication work.

(iv) Refer to drawings by landscape architect for landscape work, including landscape pedsting area.

(v) Refer to the Tree Preservation + Inventory Plan for tree removal and tree hoarding protection.

(vi) All parking spaces are 2.6m x 5.2m except those stalls which are a solid wall which are 2.75m x 5.2m. All accessible parking spaces are provided in 2 sizes and maintain a 1.5m wide access aisle abutting the entire length of each stall. Type A stalls are 3.4m x 5.2m and Type B stalls are 2.4m x 5.2m.

(vii) Isle width where a diagonal parking space is to be 7.0m.

(viii) All curb radii are R=1.25m unless otherwise noted.

(ix) All curbing within the limits of the development will be NEW curbing.

(x) Elevations derived from City of Mississauga Bench Mark No. 1079 with published Elev. 205.342m

(xi) If the final course of asphalt paving is delayed, install a temporary lift of asphalt at ramp or curbs to provide barrier-free access.

(xii) The geotechnical suitability of the fill will be assessed by the Geotechnical Engineer.

(xiii) The structural design of any retaining wall over 0.60 metres in height or any retaining wall located on a property line, is to be shown on the Site Grading Plan for this project, and is to be approved by the Consulting Engineer for the project.

(xiv) Works in the municipal right-of-way being performed by the City's contractor will require 4 to 6 weeks notice prior to commencement of construction after all drawings have been approved and securities have been received.

(xv) The Applicant is responsible for ensuring that tree protection hoarding is maintained throughout all phases of demolition and construction in the location and condition as approved by the Planning and Building Department. No materials (building materials, soil, etc.) may be stockpiled within the area of hoarding. Failure to maintain the hoarding as originally approved or the storage of materials within the hoarding will be cause for the Letter of Credit to be held for two (2) years following completion of all site works.

Applicant Signature: \_\_\_\_\_

SITE STATISTICS:

LEGAL DESCRIPTION:

Part of Block 1, Registered Plan 43M-1704

CURRENT ZONING:

Employment (Gateway Area), E2-78

TOTAL LOT AREA: 18,645 m<sup>2</sup>

AREA BREAKDOWN:

BUILDING COVERAGE	6,059 m <sup>2</sup>
PAVED AREA - ROAD	6,122 m <sup>2</sup>
PAVED AREA - WALKWAY	1,403 m <sup>2</sup>
LANDSCAPED AREA	5,061 m <sup>2</sup>

BUILDING HEIGHT:

4 STOREY OFFICE BUILDING	
TOP OF HIGHEST OCCUPIED FLOOR (OBC)	12.95 m
TOP OF BUILDING	16.40 m
TOP OF PENTHOUSE SCREEN	21.25 m

BUILDING CLASSIFICATION:

OFFICE BUILDING O.B.C. CLASSIFICATION - D  
(REFER TO O.B.C. CLAUSE 3.2.2.51)  
UP TO 6 STOREYS, NON-COMBUSTIBLE CONSTRUCTION,  
SPRINKLERED SYSTEM

OPEN AIR PARKING GARAGE O.B.C. CLASSIFICATION - F  
(REFER TO O.B.C. CLAUSE 3.2.2.73)  
NON-SPRINKLERED

PROPOSED DEVELOPMENT STATISTICS:

GFA:	
GROUND FLOOR	2,321 m <sup>2</sup>
SECOND FLOOR	1,541 m <sup>2</sup>
THIRD FLOOR	4,120 m <sup>2</sup>
FOURTH FLOOR	4,120 m <sup>2</sup>
PENTHOUSE	147 m <sup>2</sup>

TOTAL GFA 12,248 m<sup>2</sup>

FSI: 0.66:1

NON-RESIDENTIAL GFA (OFFICE):

GROUND FLOOR	2,099 m <sup>2</sup>
SECOND FLOOR	1,322 m <sup>2</sup>
THIRD FLOOR	3,868 m <sup>2</sup>
FOURTH FLOOR	3,868 m <sup>2</sup>
PENTHOUSE	0 m <sup>2</sup>

TOTAL NR-GFA 11,157 m<sup>2</sup>

FSI-NR: 0.60:1

PARKING REQUIREMENTS:

OFFICE  
NR-GFA = 11,157 m<sup>2</sup>  
PARKING REQUIRED AT 3.2/100m<sup>2</sup> = 357 CARS

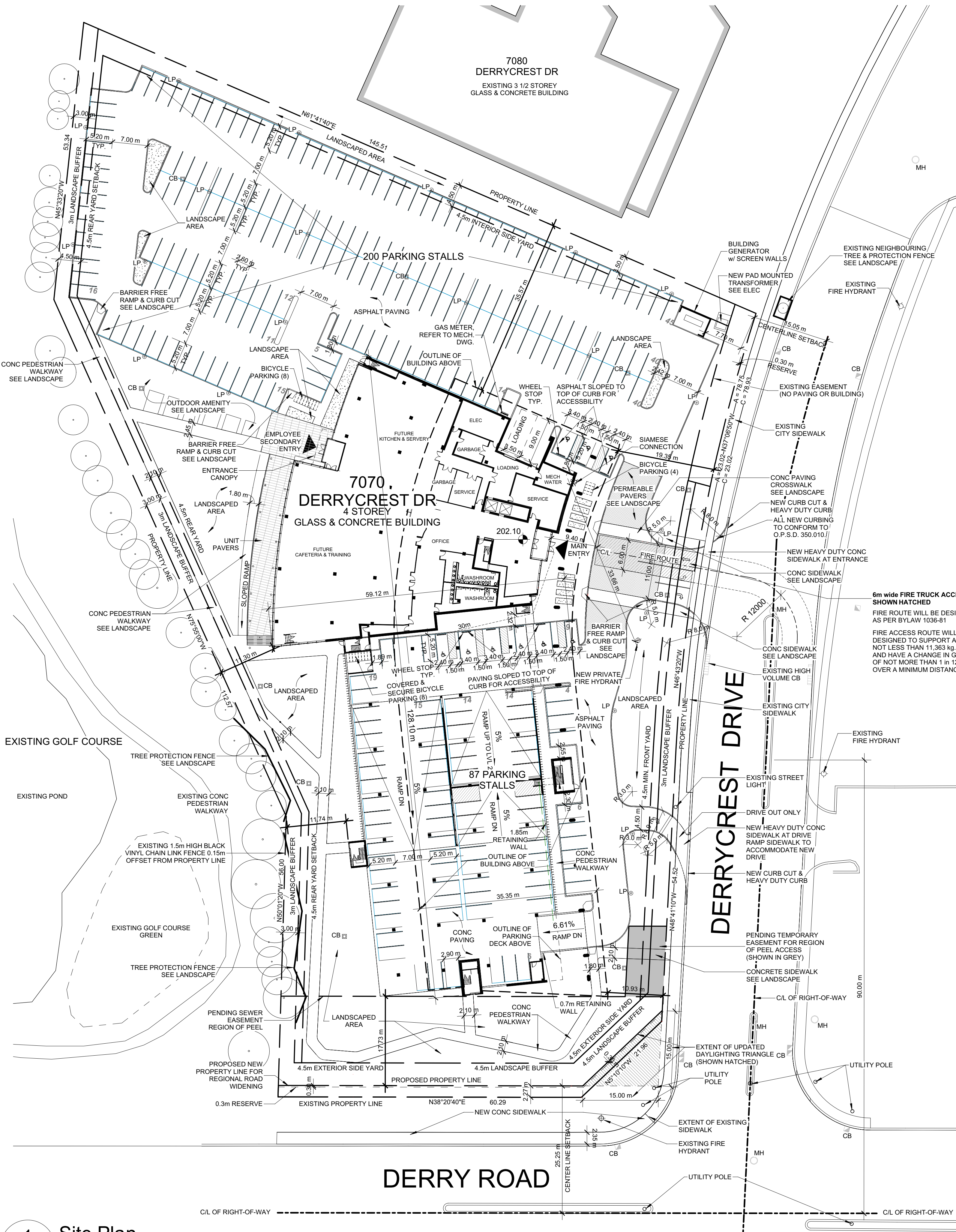
TOTAL PARKING REQUIRED:  
ACCESSIBLE PARKING REQUIRED (2+2%): 357 CARS  
9 CARS

TOTAL PARKING PROVIDED: 411 CARS  
(WITH 9 ACCESSIBLE CARS)

LOADING REQUIREMENTS:

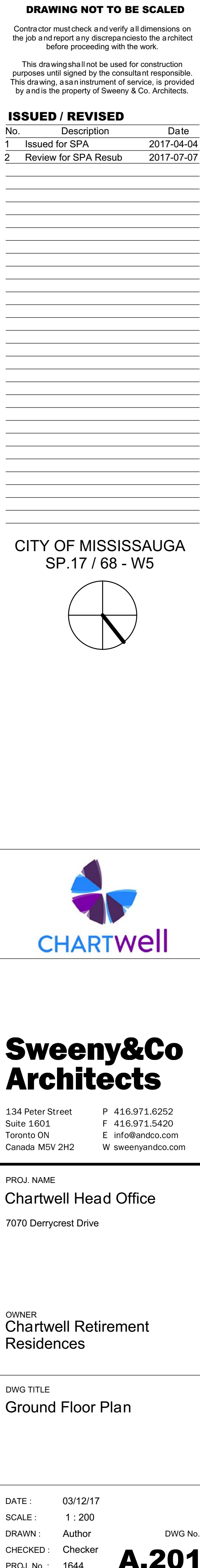
LOADING SPACE REQUIRED: 1 LOADING FOR  
NR-GFA UP TO 11,600 m<sup>2</sup>

LOADING SPACE PROVIDED: 1 @ (3.5m X 9m)



1 Site Plan  
A.101 1:450







DRAWING NOT TO BE SCALED

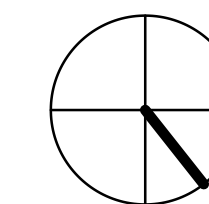
Contractor must check and verify all dimensions on the job and report any discrepancies to the architect before proceeding with the work.

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ISSUED / REVISED

No.	Description	Date
1	Issued for SPA	2017-04-04
2	Review for SPA Resub	2017-07-07

CITY OF MISSISSAUGA  
SP.17 / 68 - W5



**Sweeny&Co  
Architects**

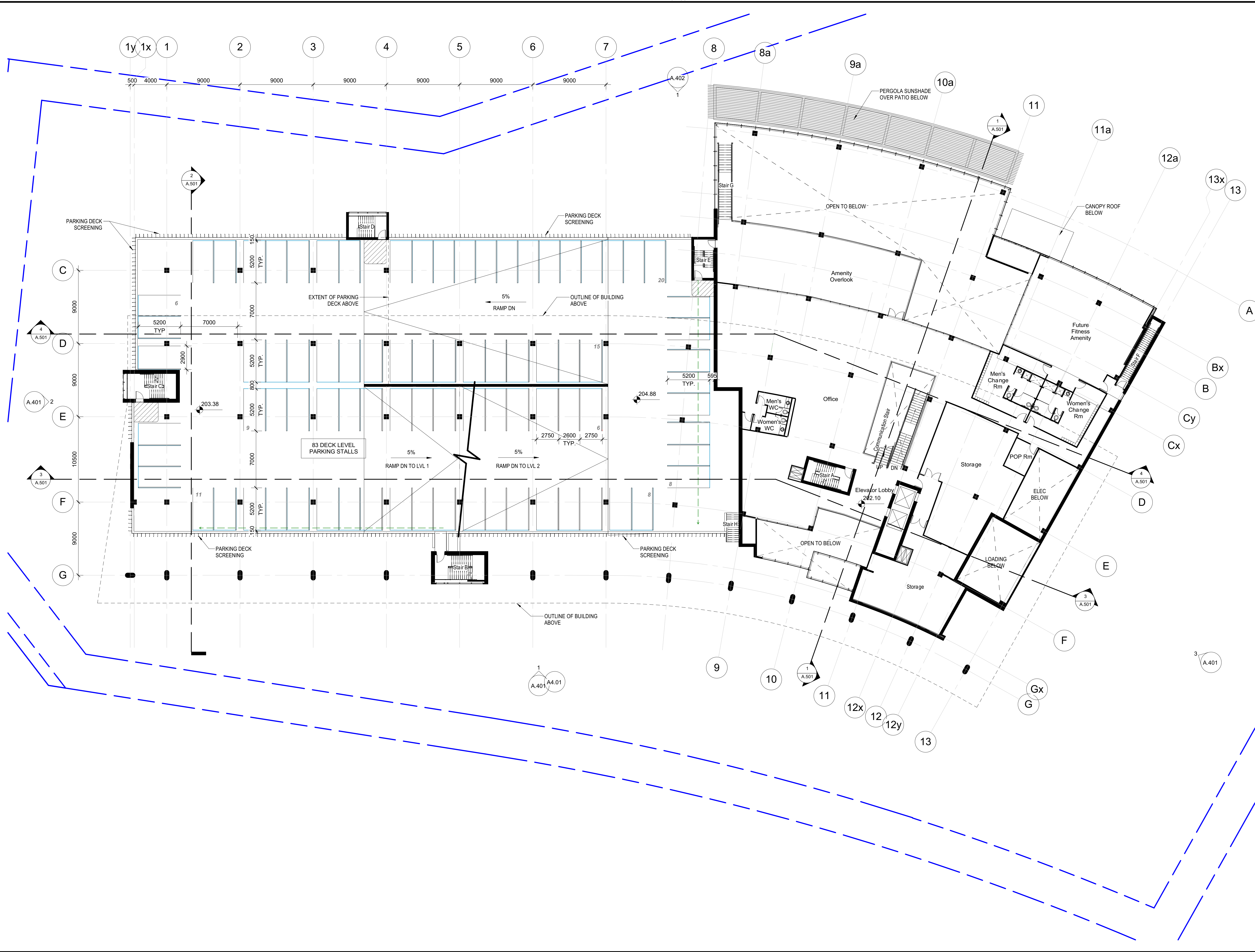
134 Peter Street  
Suite 1601  
Toronto ON  
Canada M5V 2H2  
P 416.971.6252  
F 416.971.5420  
E info@sandco.com  
W sweenyandco.com

PROJ. NAME  
**Chartwell Head Office**  
7070 Derrycrest Drive

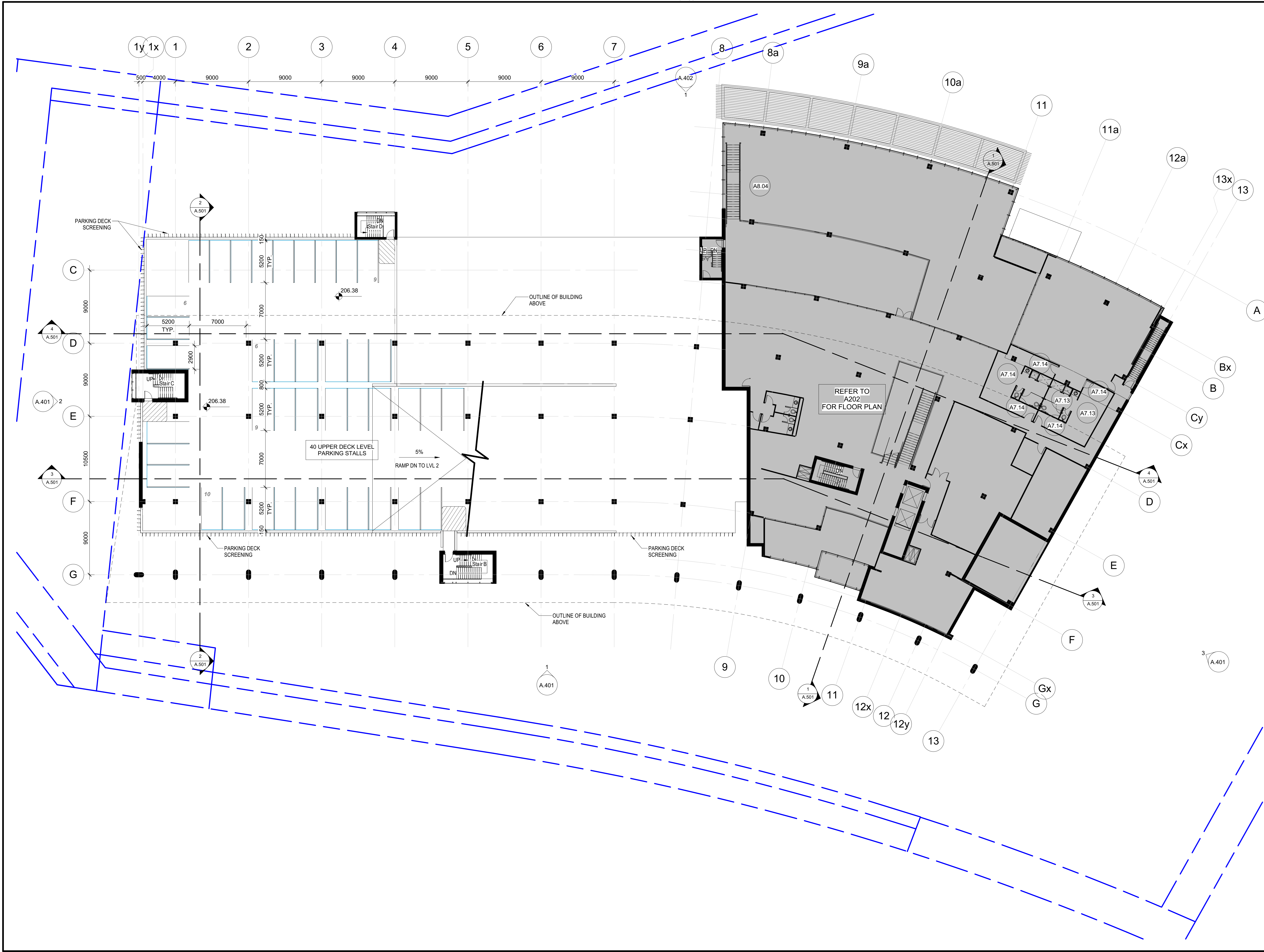
OWNER  
**Chartwell Retirement  
Residences**

DWG TITLE  
**Second Floor Plan**

DATE : 03/12/17  
SCALE : 1 : 200  
DRAWN : Author  
CHECKED : Checker  
PROJ. No. : 1644  
DWG No.  
**A.202**







**DRAWING NOT TO BE SCALED**

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ISSUED / REVISED		
No.	Description	Date
1	Issued for SPA	2017-04-04
2	Progress Issue	2017-06-28

CITY OF MISSISSAUGA  
SP.17 / 68 - W5

**Sweeny&Co Architects**

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PROJ. NAME  
**Chartwell Head Office**  
7070 Derrycrest Drive

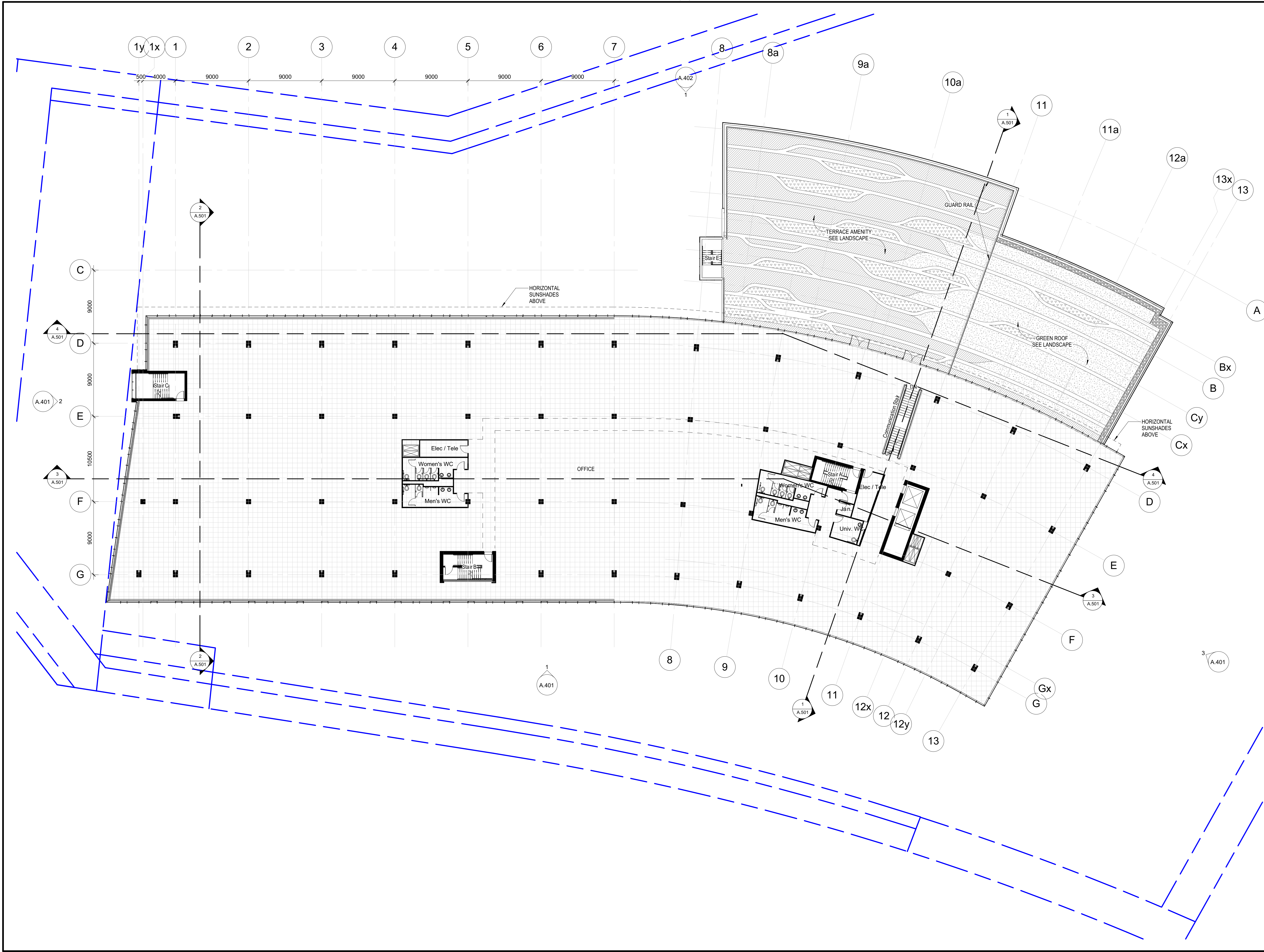
OWNER  
**Chartwell Retirement Residences**

DWG TITLE  
**Upper Parking Floor Plan**

DATE :	03/12/17	
SCALE :	1 : 200	
DRAWN :	Author	DWG No.
CHECKED :	Checker	
PROJ. No. :	1644	

**A.203**





**DRAWING NOT TO BE SCALED**

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ISSUED / REVISED		
No.	Description	Date
1	Issued for SPA	2017-04-04
2	Progress Issue	2017-06-28

CITY OF MISSISSAUGA  
SP.17 / 68 - W5

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W sweenyandco.com

PROJ. NAME  
**Chartwell Head Office**  
7070 Derrycrest Drive

OWNER  
**Chartwell Retirement Residences**

DWG TITLE  
**Third Floor Plan**

DATE :	03/12/17	
SCALE :	1 : 200	
DRAWN :	Author	DWG No.
CHECKED :	Checker	
PROJ. No. :	1644	<b>A.204</b>



Contractor must check and verify all dimensions on the job and report any discrepancies to the architect before proceeding with the work.

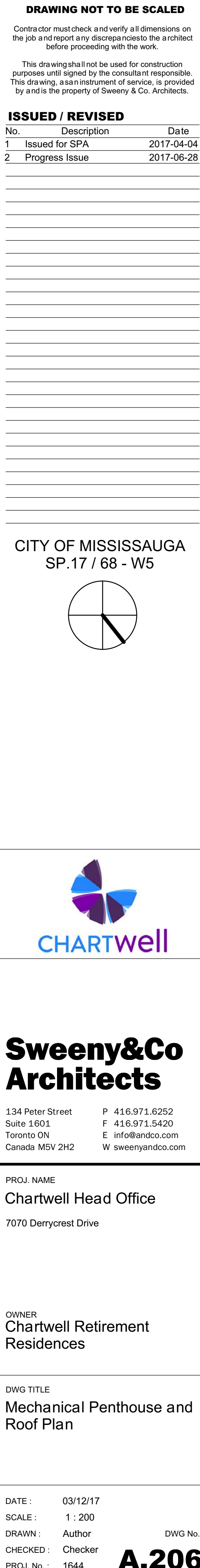
**SUED / REVISED**[illegible]

Smartwell Head Office  
70 Derrycrest Drive

## Fourth Floor Plan

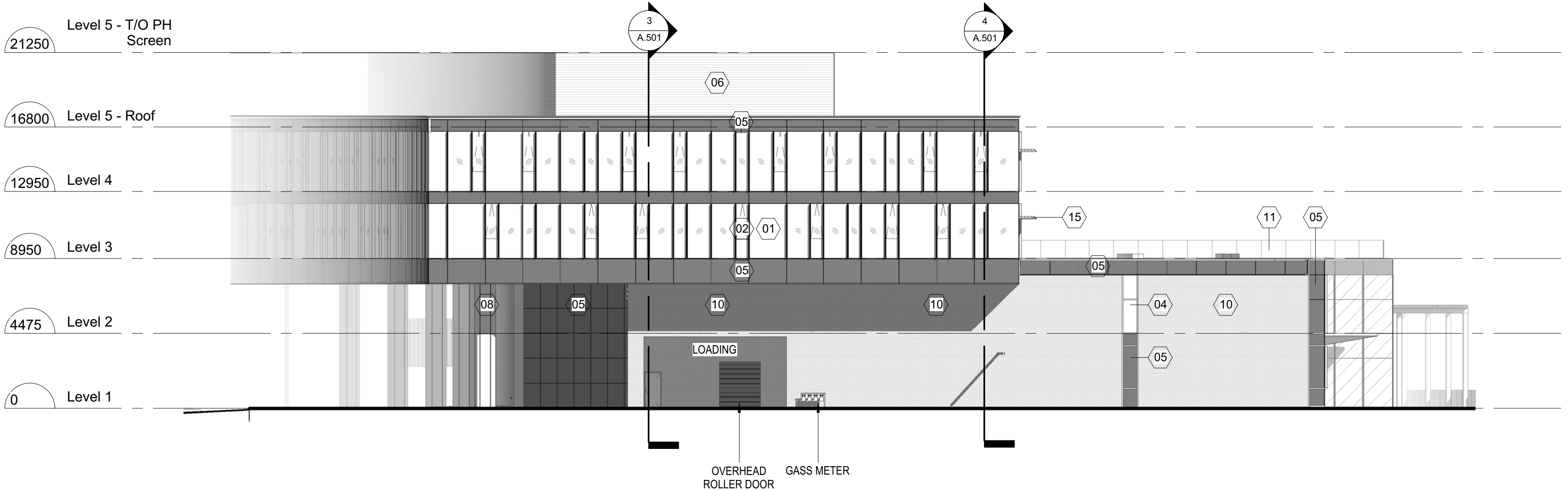
DATE : 03/12/17  
SCALE : 1 : 200  
DRAWN : Author  
CHECKED : Checker  
DJ. No. : 1644







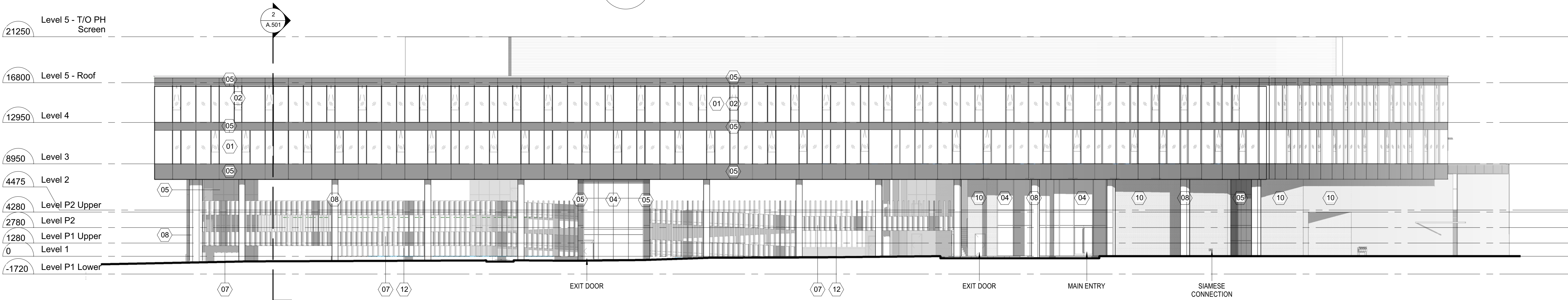
Exterior Material Legend for Site Plan		
No.	Material	Color
01	Curtain Wall Glazing	Grey Tinted
02	Operable Window	Grey Tinted
03	Curtain Wall Glazing	Dynamic Tint
04	Curtain Wall Glazing	Clear
05	Metal Panel	Metallic Grey
06	Metal Clad Screen	Champagne Silver
07	Concrete	
08	Concrete	Sandblasted
09	Masonry Cladding	Natural
10	Brick Cladding	Charcoal
11	Glass Guard	Clear
12	Vertical Fin Sunshade	Champagne Silver
13	Pergola Support	Silver
14	Pergola Canopy	Metallic Grey
15	Horizontal Sunshade	Champagne Silver



3 North Elevation  
A.401 1 : 200



2 South Elevation  
A.401 1 : 200



1 East Elevation  
A.401 1 : 200

DRAWING NOT TO BE SCALED

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ISSUED / REVISED

No.	Description	Date
1	Issued for SPA	2017-04-04
2	Progress Issue	2017-06-28

CITY OF MISSISSAUGA  
SP.17 / 68 - W5



Sweeny&Co Architects

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PROJ. NAME  
Chartwell Head Office  
7070 Derrycres Drive

OWNER  
Chartwell Retirement Residences

DWG TITLE  
Elevations

DATE : 03/12/17  
SCALE : 1 : 200  
DRAWN : Author  
CHECKED : Checker  
PROJ. No. : 1644  
DWG No.  
**A.401**







**DRAWING NOT TO BE SCALED**  
Contractor must check and verify all dimensions on the job and report any discrepancies to the architect before proceeding with the work.  
  
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ISSUED / REVISED		
No.	Description	Date
1	Issued for SPA	2017-04-04

CITY OF MISSISSAUGA  
SP.17 / 68 - W5



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PROJ. NAME  
**Chartwell Head Office**  
7070 Derrycrest Drive

OWNER  
**Chartwell Retirement Residences**

DWG TITLE  
**Rendered View Elevation**

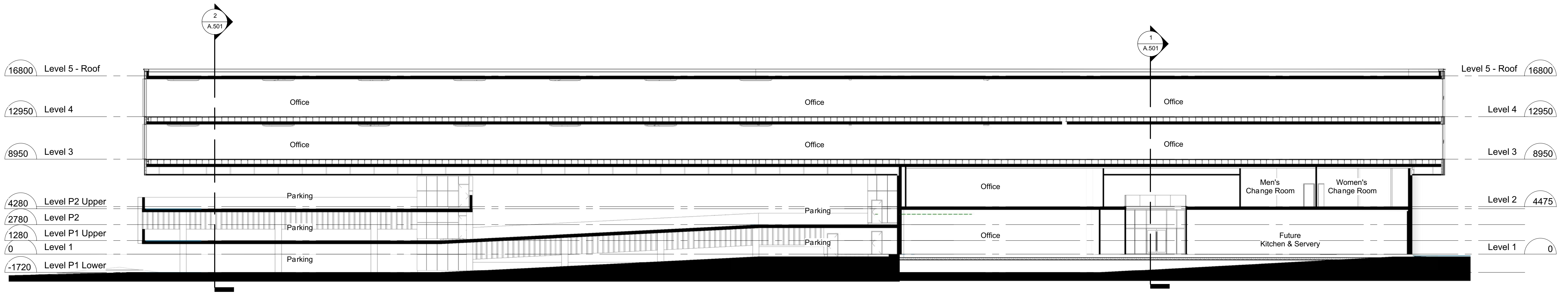
DATE : 04/05/17  
SCALE : 1 : 2  
DRAWN : Author  
CHECKED : Checker  
PROJ. No. : 1644

DWG No.  
**A.410**

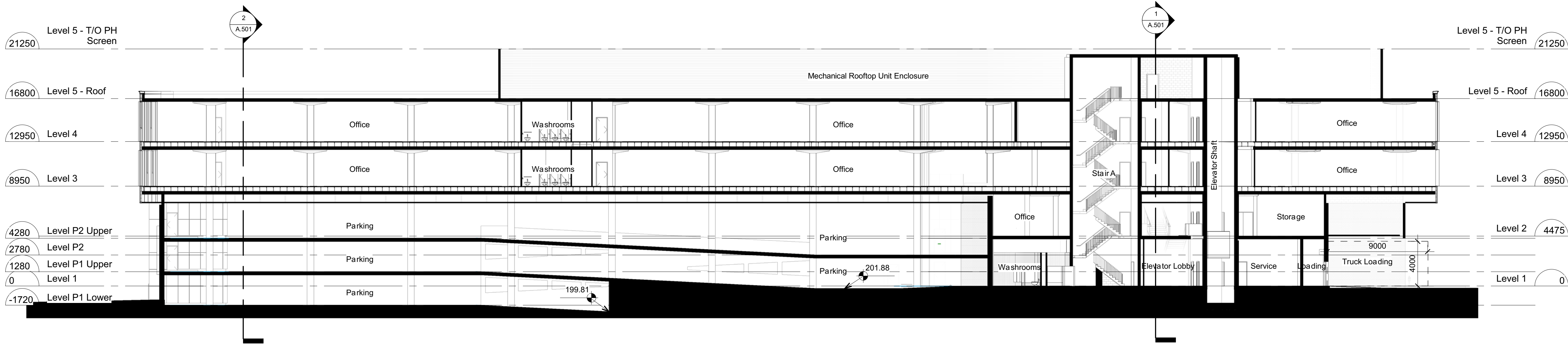


1 Rendered View from Derry Road (looking North-West)  
A.410 1 : 2

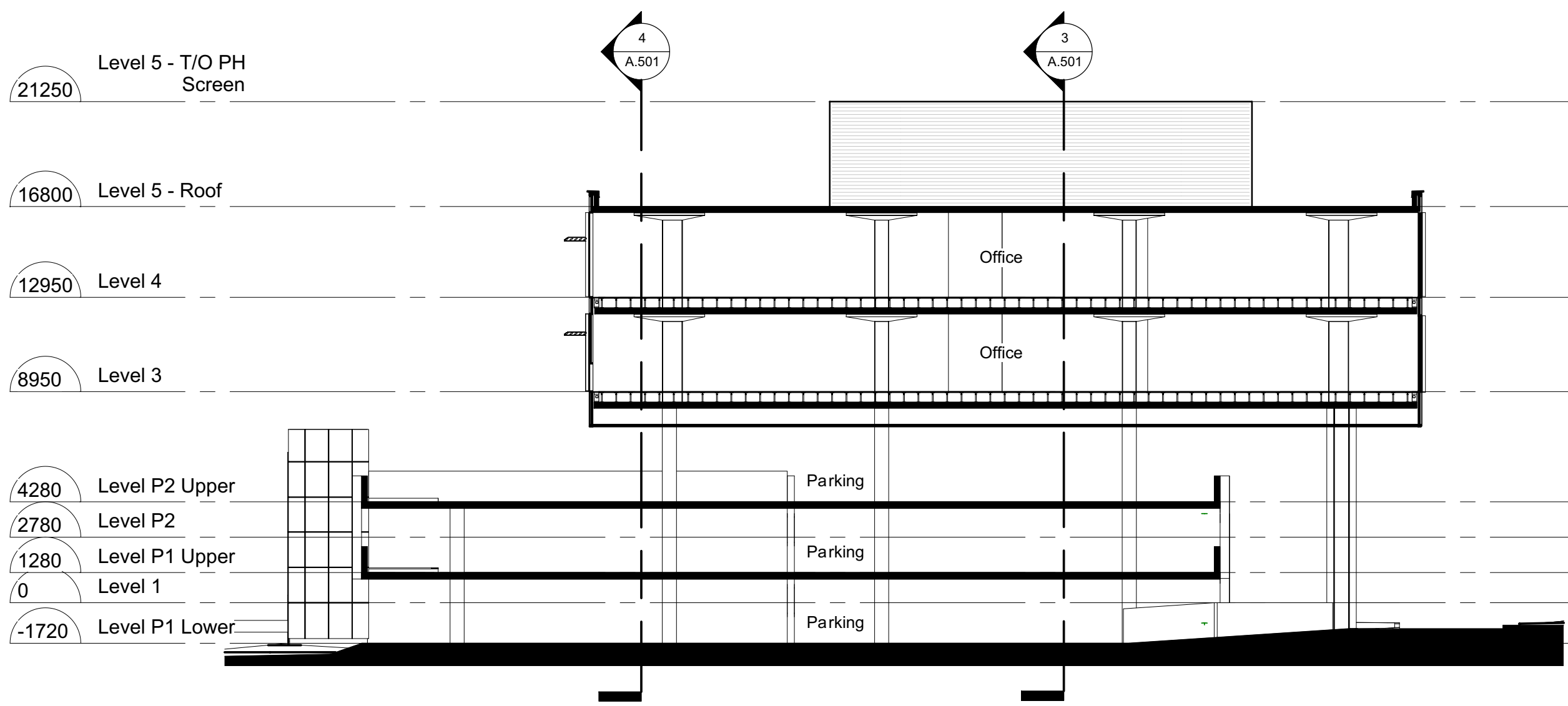




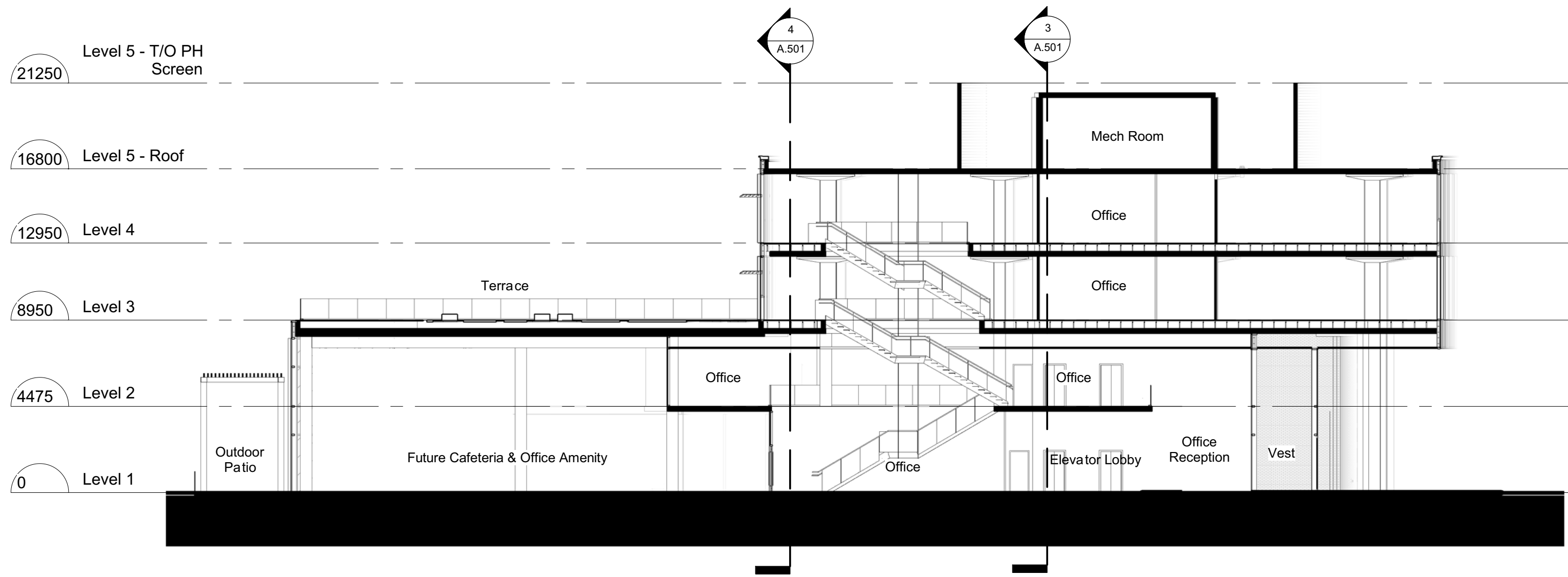
4 N-S Section  
A.501 1 : 200



3 N-S Section - Through Core  
A.501 1 : 200



2 E-W Section - Through Parking Deck  
A.501 1 : 200



1 E-W Section - Through Office Levels  
A.501 1 : 200


**DRAWING NOT TO BE SCALED**

Contractor must check and verify all dimensions on the job and report any discrepancies to the architect before proceeding with the work.

This drawing shall not be used for construction purposes until signed by the consultant responsible. This drawing, as an instrument of service, is provided by and is the property of Sweeny & Co. Architects.

ISSUED / REVISED		
No.	Description	Date
1	Issued for SPA	2017-04-04
2	Review for SPA Resub	2017-07-07

CITY OF MISSISSAUGA  
SP.17 / 68 - W5



CHARTWELL

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PROJ. NAME  
**Chartwell Head Office**  
7070 Derrycress Drive

OWNER  
**Chartwell Retirement Residences**

DWG TITLE  
**Building Sections**

DATE :	03/12/17	
SCALE :	1 : 200	
DRAWN :	Author	DWG No.
CHECKED :	Checker	
PROJ. No. :	1644	

**A.501**

**HERITAGE IMPACT ASSESSMENT FOR 185-205 DERRY ROAD WEST, MISSISSAUGA, ONTARIO**

Appendix C Author Qualifications  
December 19, 2017

## **Appendix C** **AUTHOR QUALIFICATIONS**

Heidy Schopf, MES, CAHP, is a Cultural Heritage Specialist at Stantec Consulting Ltd. She has six years of experience in the field of cultural heritage resource management and has worked as both a research archaeologist and a heritage specialist. She is a professional member of the Canadian Association of Heritage Professionals (CAHP). She has worked on a wide variety of projects throughout Ontario, including: archaeological assessments, cultural heritage resources assessments, heritage impact assessments, documentation reports, cultural heritage evaluations, and heritage conservation district studies and plans. Heidy is also an active researcher who writes about the cultural history of the Leslie Street Spit and other post-industrial landscapes in Ontario.

## EDUCATION

MES Planning Program, York University, Toronto, Ontario, 2011

BA Anthropology/Archaeology and History, McGill University, Montreal, Quebec, 2007

## MEMBERSHIPS

Professional Member, Canadian Association of Heritage Professionals

Candidate Member, Ontario Professional Planning Institute

## PROJECT EXPERIENCE

### Environmental Assessments

Cultural Heritage Resource Assessment, Regional Road 25 Transportation Corridor Improvements from Steeles Avenue to 5 Side Road, Town of Milton, Ontario

(Task Manager, Cultural Heritage Specialist)  
*Coordinated background research, consultation, site assessment, and heritage inventory. Wrote report and identified next steps, including recommendations for further work.*

Cultural Heritage Screening Report, Metrolinx Lincolnville GO Station Improvements, Town of Whitchurch-Stouffville, Ontario

(Cultural Heritage Specialist)  
*Coordinated background research and consultation, carried out site assessment, screened properties within/adjacent to study area and identified potential heritage properties. Identified next steps, including recommendations for CHERs.*

Cultural Heritage Screening Report, Metrolinx Courtice Road Park and Ride, Town of Clarington, Ontario

(Task Manager, Cultural Heritage Specialist)  
*Coordinated background research and consultation, carried out site assessment, screened properties within/adjacent to study area and identified potential heritage properties. Identified next steps, including recommendations for CHERs.*

Cultural Heritage Evaluation Report and Recommendation Report, Metrolinx Courtice Road Park and Ride, Town of Clarington, Ontario

(Task Manager, Cultural Heritage Specialist)  
*Coordinated background research and consultation, carried out site assessment, evaluated property against O. Reg. 9/06 and 10/06, determined heritage value and identified heritage attributes.*

Cultural Heritage Resource Assessment, Living Arts Drive Extension, City of Mississauga, Ontario

(Cultural Heritage Specialist)  
*Carried out site assessment and coordinated background research and consultation. No heritage resources identified.*

Cultural Heritage Assessment Report and Impact Assessment, Salem Secondary Plan Development Area, City of Barrie, Ontario

(Cultural Heritage Specialist)  
*Identification of cultural heritage resources within, and adjacent to, the study area. Completed site assessment, cultural heritage inventory, evaluations of heritage resources, impact assessment, and mitigation measures.*

## Heidy Schopf MES, CAHP

Cultural Heritage Specialist

---

Cultural Heritage Resource Assessment, North Halton Commercial Vehicle Inspection Facility Preliminary Design & Environmental Assessment, Town of Halton Hills and Town of Milton, Ontario (Task Manager, Cultural Heritage Specialist)  
*Coordination of background research, fieldwork (using MTO inventory forms), heritage resources inventory, and evaluation of potential heritage properties. Report writing and conclusions*

Cultural Heritage Resource Assessment, Fenelon Falls Pipeline, City of Kawartha Lakes, Ontario (Task Manager, Cultural Heritage Specialist)  
*Coordination of background research, fieldwork (using digital field forms), heritage resources inventory creation, and evaluation of potential heritage properties. Carried out impact assessment and recommended appropriate mitigation measures to minimize negative impacts.*

Cultural Heritage Evaluation Reports, City of Hamilton Bridge Master Plan Heritage Bridge Inventory, City of Hamilton, Ontario. (Cultural Heritage Specialist)  
*Evaluation of bridges against O. Reg. 9/06 and the Hamilton Bridge Guideline to determine heritage value. Carried out fieldwork and evaluations. Made recommendations for further work based on the MCEA process. Coordinated final deliverables for 25 bridge CHERs.*

Cultural Heritage Resource Assessment, Village of Ayr, Regional Municipality of Waterloo\*, Ontario (Project Manager, Cultural Heritage Specialist)  
*Identification of cultural heritage resources within and/or adjacent to the study area and consideration of potential impacts of proposed rail improvements on these resources. Recommended appropriate mitigation measures to minimize negative impacts.*

Stage 1-2 Archaeological Assessment: Additional Pittens Property TLU, Ontario (Cultural Heritage Specialist)  
*Carried out background research, data collection, identified indicators of archaeological, reported results of fieldwork, and, identified areas of archaeological potential vs no archaeological potential. Recommended appropriate next steps.*

Cultural Heritage Resource Assessment, Wilson Street Reconstruction, City of Guelph\*, Ontario (Project Manager, Cultural Heritage Specialist)  
*Identification of cultural heritage resources within and/or adjacent to the study area and consideration of potential impacts of proposed rail improvements on these resources. Recommended appropriate mitigation measures to minimize negative impacts.*

Stage 1-2 Archaeological Assessment for Newtonbrook Creek Pipeline Exposure, City of Toronto, Ontario (Cultural Heritage Specialist)  
*Carried out background research, data collection, identified indicators of archaeological, reported results of fieldwork, and, identified areas of archaeological potential vs no archaeological potential. Recommended appropriate next steps.*

Stage 1 Archaeological Assessment, Newmarket Property Acquisition – Mulock Drive and Highway 404, Town of Newmarket\*, Ontario (Project Manager, Research Archaeologist)  
*Carried out background research, data collection, identified indicators of archaeological, reported results of fieldwork, and, identified areas of archaeological potential vs no archaeological potential.*

Stage 1 Archaeological Assessment, Highway 35 Left Turn Lane, City of Kawartha Lakes\*, Ontario (Project Manager, Research Archaeologist)  
*Carried out background research, data collection, identified indicators of archaeological, reported results of fieldwork, and, identified areas of archaeological potential vs no archaeological potential. Identified the potential impacts of construction activities on areas of archaeological potential and recommended appropriate mitigation measures. Report received compliance by the MTCS.*

\* denotes projects completed with other firms



## Heidy Schopf MES, CAHP

Cultural Heritage Specialist

Stage 1 Archaeological Assessment, Southeast Collector Trunk Sewer Project – HONI Crossing at Liverpool, City of Pickering\*, Ontario (Project Manager, Research Archaeologist)

*Carried out background research, data collection, identified indicators of archaeological, reported results of fieldwork, and, identified areas of archaeological potential vs no archaeological potential. Identified the potential impacts of construction activities on areas of archaeological potential and recommended appropriate mitigation measures. Report received compliance by the MTCS.*

Stage 1 Archaeological Assessment, Highway 7 and Sideroad 22 Intersection Improvements, Town of Halton Hills\*, Ontario (Project Manager, Research Archaeologist)

*Carried out background research, data collection, identified indicators of archaeological, reported results of fieldwork, and, identified areas of archaeological potential vs no archaeological potential. Identified the potential impacts of construction activities on areas of archaeological potential and recommended appropriate mitigation measures. Report received compliance by the MTCS.*

Stage 1 Archaeological Assessment, Ancaster Water Towers (Six Sites), City of Hamilton\*, Ontario (Project Manager, Research Archaeologist)

*Carried out background research, data collection, identified indicators of archaeological, reported results of fieldwork, and, identified areas of archaeological potential vs no archaeological potential. Identified the potential impacts of construction activities on areas of archaeological potential and recommended appropriate mitigation measures. Report received compliance by the MTCS.*

Stage 1 Archaeological Assessment, McLaughlin Road, City of Mississauga\*, Ontario (Project Manager, Research Archaeologist)

*Carried out background research, data collection, identified indicators of archaeological, reported results of fieldwork, and, identified areas of archaeological potential vs no archaeological potential. Identified the potential impacts of construction activities on areas of archaeological potential and recommended appropriate mitigation measures. Report received compliance by the MTCS.*

Stage 1 Archaeological Assessment, Kalar Storm Water Management Pond, City of Niagara Falls\*, Ontario (Project Manager, Research Archaeologist)

*Carried out background research, data collection, identified indicators of archaeological, reported results of fieldwork, and, identified areas of archaeological potential vs no archaeological potential. Identified the potential impacts of construction activities on areas of archaeological potential and recommended appropriate mitigation measures. Report received compliance by the MTCS.*

Stage 1 Archaeological Assessment, Base Line and Town Line Single Lane Bridge Replacements, City of Sault Ste. Marie\*, Ontario (Project Manager, Research Archaeologist)

*Carried out background research, data collection, identified indicators of archaeological, reported results of fieldwork, and, identified areas of archaeological potential vs no archaeological potential. Identified the potential impacts of construction activities on areas of archaeological potential and recommended appropriate mitigation measures. Report received compliance by the MTCS.*

Stage 1 Archaeological Assessment, Parkside Drive Road Improvements, City of Hamilton\*, Ontario (Project Manager, Research Archaeologist)

*Carried out background research, data collection, identified indicators of archaeological, reported results of fieldwork, and, identified areas of archaeological potential vs no archaeological potential. Identified the potential impacts of road improvement activities on areas of archaeological potential and recommended appropriate mitigation measures. Report received compliance by the MTCS.*

Stage 1 Archaeological Assessment, Sutton Water Servicing, Town of Georgina, Regional Municipality of York\*, Ontario (Project Manager, Research Archaeologist)

*Carried out background research, data collection, identified indicators of archaeological, reported results of fieldwork, and, identified areas of archaeological potential vs no archaeological potential. Identified the potential impacts of construction activities on areas of archaeological potential and recommended appropriate mitigation measures. Report received compliance by the MTCS.*

\* denotes projects completed with other firms

## Heidy Schopf MES, CAHP

Cultural Heritage Specialist

Stage 1 Archaeological Assessment, Ashbridges Bay Treatment Plant, City of Toronto\*, Ontario (Project Manager, Research Archaeologist)

*Carried out background research, data collection, identified indicators of archaeological, reported results of fieldwork, and, identified areas of archaeological potential vs no archaeological potential. Identified the potential impacts of construction activities on areas of archaeological potential and recommended appropriate mitigation measures. Report received compliance by the MTCS.*

Stage 1 Archaeological Assessment, Clythe Station Treatment, Pumping and Storage, City of Guelph\*, Ontario (Project Manager, Research Archaeologist)

*Carried out background research, data collection, identified indicators of archaeological, reported results of fieldwork, and, identified areas of archaeological potential vs no archaeological potential. Identified the potential impacts of construction activities on areas of archaeological potential and recommended appropriate mitigation measures. Report received compliance by the MTCS.*

Stage 1 Archaeological Assessment, Airport Road from 1 km north of Mayfield Road to 0.6 km north of King Street, Town of Caledon, Regional Municipality of Peel\*, Ontario (Project Manager, Research Archaeologist)

*Carried out background research, data collection, identified indicators of archaeological, reported results of fieldwork, and, identified areas of archaeological potential vs no archaeological potential. Identified the potential impacts of construction activities on areas of archaeological potential and recommended appropriate mitigation measures. Report received compliance by the MTCS.*

Stage 1 Archaeological Assessment, Fairtree East Village Road Improvements, City of Markham\*, Ontario (Project Manager, Research Archaeologist)

*Carried out background research, data collection, identified indicators of archaeological, reported results of fieldwork, and, identified areas of archaeological potential vs no archaeological potential. Identified the potential impacts of construction activities on areas of archaeological potential and recommended appropriate mitigation measures. Report received compliance by the MTCS.*

Stage 1 Archaeological Assessment, Eastern Beaches Basement Flooding, City of Toronto\*, Ontario (Project Manager, Research Archaeologist)

*Carried out background research, data collection, identified indicators of archaeological, reported results of fieldwork, and, identified areas of archaeological potential vs no archaeological potential. Identified the potential impacts of construction activities on areas of archaeological potential and recommended appropriate mitigation measures. Report received compliance by the MTCS.*

Stage 1 Archaeological Assessment, Niagara Falls South Pumping Station, City of Niagara Falls\*, Ontario (Project Manager, Research Archaeologist)

*Carried out background research, data collection, identified indicators of archaeological, reported results of fieldwork, and, identified areas of archaeological potential vs no archaeological potential. Identified the potential impacts of construction activities on areas of archaeological potential and recommended appropriate mitigation measures. Report received compliance by the MTCS.*

Cultural Heritage Assessment Report, Townline Road, City of Oshawa and Municipality of Clarington\*, Ontario (Project Manager, Cultural Heritage Specialist)

*Identification of cultural heritage resources within and/or adjacent to the study area and consideration of potential impacts of proposed road improvements on these resources. Recommended appropriate mitigation measures to minimize negative impacts.*

Cultural Heritage Assessment Report, Homer Watson Boulevard Widening and Corridor Study (Conestoga College Boulevard to Manitou Drive), City of Kitchener\*, Ontario (Project Manager, Cultural Heritage Specialist)

*Identification of cultural heritage resources within and/or adjacent to the study area and consideration of potential impacts of proposed road improvements on these resources. Recommended appropriate mitigation measures to minimize negative impacts.*

\* denotes projects completed with other firms

## Heidy Schopf MES, CAHP

Cultural Heritage Specialist

Cultural Heritage Assessment Report, Richmond-Adelaide Corridor Cycle Tracks Planning and Design Study, City of Toronto\*, Ontario (Project Manager, Cultural Heritage Specialist)

*Identification of cultural heritage resources within and/or adjacent to the study area and consideration of potential impacts of proposed cycle tracks on these resources. Evaluation of alternative alignments and impact assessment for preferred alternative. Recommended appropriate mitigation measures to minimize negative impacts.*

Cultural Heritage Resource Assessment, Ninth Line (Highway 401/407 to Derry Road West), City of Mississauga\*, Ontario (Project Manager, Cultural Heritage Specialist)

*Identification of cultural heritage resources within and/or adjacent to the study area and consideration of potential impacts of proposed road widening on these resources. Evaluation of alternative alignments and impact assessment for preferred alternative. Recommended appropriate mitigation measures to minimize negative impacts.*

Cultural Heritage Resource Assessment, New Coronation Road and CP Rail Crossing, Town of Whitby, Regional Municipality of Durham\*, Ontario (Project Manager, Cultural Heritage Specialist)

*Identification of cultural heritage resources within and/or adjacent to the study area and consideration of potential impacts of proposed road construction and rail crossing on these resources. Recommended appropriate mitigation measures to minimize negative impacts.*

Cultural Heritage Resource Assessment, Regional Road 14 (Smithville Road), Township of West Lincoln\*, Ontario (Project Manager, Cultural Heritage Specialist)

*Identification of cultural heritage resources within and/or adjacent to the study area and consideration of potential impacts of proposed road improvements on these resources. Evaluation of alternative alignments and impact assessment for preferred alternative. Recommended appropriate mitigation measures to minimize negative impacts.*

Cultural Heritage Assessment Report, Stouffville Corridor Rail Service Expansion, Town of Markham and City of Toronto\*, Ontario (Project Manager, Cultural Heritage Specialist)

*Identification of cultural heritage resources within and/or adjacent to the study area and consideration of potential impacts of proposed rail improvements on these resources. Recommended appropriate mitigation measures to minimize negative impacts.*

Cultural Heritage Assessment Report, DeCew Raw Water Alternative, City of Thorold, Regional Municipality of Niagara\*, Ontario (Project Manager, Cultural Heritage Specialist)

*Identification of cultural heritage resources within and/or adjacent to the study area and consideration of potential impacts of proposed road improvements on these resources. Evaluation of alternative alignments and impact assessment for preferred alternative. Recommended appropriate mitigation measures to minimize negative impacts.*

Cultural Heritage Assessment Report, Ajax Downtown Road Network Improvements, Town of Ajax, Municipality of Durham\*, Ontario (Project Manager, Cultural Heritage Specialist)

*Identification of cultural heritage resources within and/or adjacent to the study area and consideration of potential impacts of proposed road improvements on these resources. Recommended appropriate mitigation measures to minimize negative impacts.*

Cultural Heritage Assessment Report, Fountain Street, City of Cambridge, Regional Municipality of Waterloo\*, Ontario (Project Manager, Cultural Heritage Specialist)

*Identification of cultural heritage resources within and/or adjacent to the study area and consideration of potential impacts of proposed road improvements on these resources. Recommended appropriate mitigation measures to minimize negative impacts.*

\* denotes projects completed with other firms

## Heidy Schopf MES, CAHP

Cultural Heritage Specialist

### Renewable Energy

Stage 1 Archaeological Assessment, Grand Valley Phase 3 Wind Project, Town of Grand Valley and Amaranth Township, Dufferin County\*, Ontario (Project Manager, Cultural Heritage Specialist)

*Carried out background research, data collection, identified indicators of archaeological, reported results of fieldwork, and, identified areas of archaeological potential vs no archaeological potential. Identified the potential impacts of construction activities on areas of archaeological potential and recommended appropriate mitigation measures. Report received compliance by the MTCS.*

### Heritage Planning and Design

Historic Yonge Street Heritage Conservation District, Study Phase, City of Toronto\*, Ontario (Cultural Heritage Specialist)

*Carried out fieldwork for the landscape survey and reviewed survey forms.*

King-Spadina Heritage Conservation District, Study Phase and Plan Phase, City of Toronto\*, Ontario (Cultural Heritage Specialist)

*Carried out fieldwork for the landscape survey, identified views, attended project team meetings, and public consultation meetings. Reviewed the study and plan along with other project team members.*

St. Lawrence Neighbourhood Heritage Conservation District, Study Phase and Plan Phase, City of Toronto\*, Ontario (Cultural Heritage Specialist)

*Carried out fieldwork for the landscape survey, identified views, attended project team meetings, and public consultation meetings. Wrote the draft landscape policies for the HCD plan and reviewed the study and plan along with other project team members.*

West Queen West Heritage Conservation District, Study Phase, City of Toronto\*, Ontario (Cultural Heritage Specialist)

*Carried out fieldwork for the landscape survey and attended public consultation meetings.*

### Heritage/Archaeological Resource Impact Assessments

Heritage Recording, Locust Hill School House, City of Markham, Ontario.

(Cultural Heritage Specialist)

*Heritage recording of a 19th century schoolhouse to form the basis of a restoration plan. Coordinated LiDAR Scan of the school house, carried out fieldwork, identified original architectural element, unsympathetic alterations, and deteriorated areas. Wrote report and coordinated final deliverable.*

Heritage Impact Assessment, 185-205 Derry Road West, City of Mississauga, Ontario (Cultural Heritage Specialist)

*Heritage Impact Assessment for a 19th century residence set in a 1970s golf course. Conducted municipal consultation, field review, heritage evaluation against O. Reg. 9/06, and impact assessment.*

Cultural Heritage Recommendation Report, Brookside Youth Detention Centre, Town of Cobourg, Ontario.

(Cultural Heritage Specialist)

*Heritage evaluation of the Brookside Youth Detention Centre against O. Reg. 9/06 and O. Reg. 10/06. Carried out fieldwork, background research and heritage evaluations.*

Heritage Documentation Report, Nanticoke Generating Station, Coal Yard and Powerhouse, Nanticoke, Haldimand County, Ontario

(Cultural Heritage Specialist)

*Heritage documentation of the Coal Yard and Powerhouse of a Coal Generating Station. Coordinated LiDAR scans of equipment, reviewed drone footage, described existing conditions, and created a list of salvageable materials. Wrote documentation report and coordinated final deliverable.*

\* denotes projects completed with other firms



## Heidy Schopf MES, CAHP

Cultural Heritage Specialist

Heritage Impact Assessment, Heart Lake Road from Sandalwood Parkway to Mayfield Road, City of Brampton, Ontario  
(Cultural Heritage Specialist)

*Heritage Impact Assessment for Heart Lake Road, a relatively intact 19th century road. Carried out site assessment and heritage evaluation. Work ongoing.*

Heritage Impact Assessment, 412-448 Yonge Street (College Park), TTC College Station Second Exit and Easier Access Project, City of Toronto, Ontario.  
(Cultural Heritage Specialist)

*Heritage Impact Assessment for College Park, a designated Art Deco commercial building under Part IV of the Ontario Heritage Act. Conducted background research, municipal consultation, field review, and heritage evaluation. Identified impacts for preferred alternative, determined appropriate conservation strategy, and mitigation measures.*

Heritage Impact Assessment, Christie Methodist Cemetery, Bridlewood Mall, City of Toronto\*, Ontario (Project Manager, Cultural Heritage Specialist)

*Heritage Impact Assessment for a 19th century cemetery located in a mall parking lot. Conducted background research, municipal consultation, field review, and heritage evaluation. Identified impacts and drafted a conservation strategy to mitigate negative impacts to the site.*

Heritage Impact Assessment, 195 Exbury Road, City of Toronto\*, Ontario (Project Manager, Cultural Heritage Specialist)

*Heritage Impact Assessment for an apartment building listed on the Toronto inventory of heritage properties. Conducted background research, municipal consultation, and field review. Identified impacts and drafted a conservation strategy to mitigate negative impacts to the site.*

Cultural Heritage Documentation Report, Lingelbach United Church, South Easthope Ontario\*, Ontario (MTO)

*Cultural heritage resource documentation report to record and document a 19th century church that was slated for demolition. Elements recorded included: church interior and exterior, landscape, property context and relationship to the Lingelbach cemetery.*

Cultural Heritage Evaluation Report and Documentation Report, 2064 Taunton Road, Located in the East Mainline of the Proposed 407 East Transportation Corridor, Regional Municipality of Durham\*, Ontario (Project Manager, Cultural Heritage Specialist)

*Cultural heritage resource documentation report to record and document a 19th century farmhouse that was to be removed as part of the construction of Highway 407. Elements recorded included: farmhouse (interior and exterior), barn, outbuildings, landscape, views/vistas.*

Landscape Documentation Report, Highway 407 East Owner's Engineer Assignment (Phase 2), Regional Municipality of Durham\*, Ontario (Project Manager, Cultural Heritage Specialist)

*Cultural heritage resource documentation report to record and document rural roadscapes that were to be impacted/removed by the construction of Highway 407. Elements recorded included: road alignment, materials, vegetation, surrounding landscape, views/vistas, and relationship of roadway to other heritage resources (i.e. farmhouses, barns, cemeteries).*

Cultural Heritage Documentation Report, Parkinson-Gladstone Schoolhouse #2, District of Algoma\*, Ontario (Project Manager, Cultural Heritage Specialist)

*Cultural heritage resource documentation report to record and document an early 20th century schoolhouse that had been abandoned in the 1960s. Elements recorded included: landscape, structure, building materials, and property context.*

\* denotes projects completed with other firms

## Heidy Schopf MES, CAHP

Cultural Heritage Specialist

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Heritage Impact Assessment, Water Street and Navy Street Wastewater Pumping Stations, Town of Oakville\*, Ontario (Project Manager, Cultural Heritage Specialist)

*Identification of cultural heritage resources within and/or adjacent to the study area. Made recommendations regarding alternative alignments/sites based on potential impacts to heritage resources. Carried out detailed impact assessment and recommended appropriate mitigation measures for preferred alternative.*

Cultural Heritage Assessment Report (Baseline Conditions and Impact Assessment), Metrolinx UP Express Electrification EA, City of Toronto and City of Mississauga\*, Ontario (Project Manager, Cultural Heritage Specialist)

*Identification of cultural heritage resources within and/or adjacent to the study area. Made recommendations regarding alternative alignments/sites based on potential impacts to heritage resources. Carried out detailed impact assessment and recommended appropriate mitigation measures for preferred alternative.*

Stage 1 Archaeological Assessment, Hamilton RT B-Line Maintenance and Storage Facility, City of Hamilton\*, Ontario (Project Manager, Research Archaeologist)

*Carried out background research, data collection, identified indicators of archaeological, reported results of fieldwork, and, identified areas of archaeological potential vs no archaeological potential. Identified the potential impacts of construction activities on areas of archaeological potential and recommended appropriate mitigation measures. Report received compliance by the MTCS.*

Cultural Heritage Impact Assessment, Upper York Sewage Solutions, Regional Municipality of York\*, Ontario (Project Manager, Cultural Heritage Specialist)

*Identification of cultural heritage resources within and/or adjacent to the study area. Made recommendations regarding preferred alternatives based on potential impacts to heritage resources. Carried out detailed impact assessment and recommended appropriate mitigation measures for alternative alignments.*

Cultural Heritage Assessment Report, Interprovincial Crossing, City of Ottawa\*, Ontario (Project Manager, Cultural Heritage Specialist)

*Identification of cultural heritage resources within and/or adjacent to the study area and made recommendations regarding preferred alternatives based on potential impacts to heritage resources.*

Cultural Heritage Screening Report, Lincolnville GO Station Improvements, Town of Whitchurch-Stouffville, Ontario (Cultural Heritage Specialist)

*Used Metrolinx protocols to screen the study area for properties with potential cultural heritage value. Consulted with municipalities and provincial agencies, carried out background research, conducted fieldwork, and identified Conditional Heritage Properties. Made recommendations for Cultural Heritage Evaluations Reports (CHER) and Cultural Heritage Evaluation (CHE) Recommendations Reports.*

Scoped Heritage Impact Assessment, 9770 Keele Street, City of Vaughan, Ontario (Cultural Heritage Specialist)

*Carried out a scoped Heritage Impact Assessment (HIA) for a property within the Village of Maple Heritage Conservation District (HCD). Evaluated the property against O.Reg. 9/06 of the Ontario Heritage Act. Used the HCD guidelines to assess the impacts of the removal of 9770 Keele Street on the HCD.*

Heritage Impact Statement, 2591 Bradley Avenue, City of London, Ontario (Cultural Heritage Specialist)

*Carried out a Heritage Impact Assessment for a listed heritage property in the City of London. Reported fieldwork results, coordinated background research, consulted with the municipality and relevant agencies. Evaluated the property against O. Reg. 9.06 of the Ontario Heritage Act, identified heritage attributes, and drafted a statement of significance. Explored mitigation measures and recommended next steps for the preservation of the property.*

\* denotes projects completed with other firms

## Heidy Schopf MES, CAHP

Cultural Heritage Specialist

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North Powerline Road Development Group,  
Heritage Overview, County of Brant, Ontario  
(Cultural Heritage Specialist)

*Carried out a heritage overview for a group of private landowners. Carried out background research, fieldwork, and completed heritage screening checklists for all properties within the study area. Created an inventory of heritage resources and recommended next steps.*

Cultural Heritage Screening Report, Stouffville-  
Corridor Grade Separation Project, RQQ-2014-C-  
092, City of Toronto and City of Markham, Ontario  
(Report Writer)

*Carried out report writing activities and fieldwork as part of the heritage screening protocol for Metrolinx projects. Reviewed the draft report and provided recommendations.*

Heritage Screening Checklist, Salem Secondary  
Plan Growth Development Project, City of Barrie,  
Ontario (Cultural Heritage Specialist)

*Carried out a heritage screening checklist for the Salem Secondary Plan Growth Development study area. Completed desktop data collection, municipal and agency consultation, and made recommendations for next steps.*

Heritage Screening Checklist and Inventory, Bell  
Farm Road and Ross/Collier/Bayfield Street  
Environmental Assessments, City of Barrie, Ontario  
(Cultural Heritage Specialist)

*Carried out a heritage screening for two study areas in the City of Barrie. Work included municipal and agency consultation, background research, fieldwork, completion of screening checklists, and creation of an inventory of heritage resources.*

Heidy Schopf MES, CAHP

Cultural Heritage Specialist

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## PUBLICATIONS

Buried Localities: Archaeological Exploration of a Toronto Dump and Wilderness Refuge. *Local Environment: The International Journal of Justice and Sustainability*, Vol.19, Issue 10, Special Issue: *Urban Post-Industrial Greenspace*, 2014.

The Leslie Street Spit: Urban wilderness and cultural heritage landscape. In *Ground: Landscape Architect Quarterly* (Fall 2016).

Mineral Migration: Extracting, Recomposing, Demolishing, and Recolonizing Toronto's Landscape. In *Landscript 5: Material Culture: Assembling and Disassembling Landscapes*, Jane Hutton, editor. Jovis Verlag, UK, 2017.



**Laura Walter** MA, BA  
Cultural Heritage Specialist



Laura brings over five years of experience in the promotion and preservation of history through education, public interaction, building conservation and museums. She has conducted in-depth research on heritage properties at cultural and governmental institutions, performed detailed oral history interviews, participated, and coordinated in heritage assessments, including cultural heritage evaluation reports, provincial significance reports, municipal heritage designation reports, and other heritage impact assessments.

Laura's experience in research and coordination of various tasks and events with a strong focus on client relations makes her a great addition to the Stantec team.

## EDUCATION

Master of Arts, Public History, University of Western Ontario, London, Ontario, 2014

Bachelor of Arts, History Degree, University of Guelph, Guelph, Ontario, 2012

## PROJECT EXPERIENCE

### Municipal Development Plans

Wolf e Street Tower Proposed Development, City of London, Ontario (Report Writer)

*Heritage Impact Statement for proposed 31 storey mixed use commercial and residential tower within the City of London's Downtown Heritage Conservation District Study. Statement included review of pertinent planning policies, design guidelines, and an evaluation of the appropriateness of the development to the district and an assessment of anticipated impact identified. Duties included site assessment, heritage research, review of historic mapping, and report writing.*

32, 36, 40 York Street Proposed Development, City of London, Ontario (Report Writer)

*Heritage Impact Statement for proposed 24 storey mixed use commercial and residential tower within the City of London's Downtown Heritage Conservation District Study. Statement included review of pertinent planning policies, design guidelines, and an evaluation of the appropriateness of the development to the district and an assessment of anticipated impact identified. Duties included site assessment, heritage research, review of historic mapping, and report writing.*

Salem Secondary Growth Development Plan, City of Barrie, Ontario (Report Writer)

*Cultural Heritage Assessment Report for proposed transportation (road widening and grade separated railway crossing) and infrastructure improvements (sanitary sewer and trunk watermain) in the City of Barrie, Ontario. Undertook site assessment, heritage research, site inventory, evaluation of heritage resources and report writing.*

9770 Keele Street, City of Vaughan, Ontario (Report Writer)

*Scoped Heritage Impact Assessment for a property within the Village of Maple Heritage Conservation District (HCD). Undertook site assessment, heritage research, review of historic mapping and photographs, and report writing.*

Downtown St. Thomas, Ontario (Report Writer)

*Heritage Conservation District Study for downtown St. Thomas, Ontario. Undertook heritage research, review of historic mapping and photographs, and report writing.*

2591 Bradley Avenue, City of London, Ontario (Report Writer)

*Heritage Impact Assessment for a listed property in the City of London. Completed the background heritage research, and report writing.*

Dufferin Sanitary Trunk Sewer System Improvements at G. Ross Land Reservoir, City of Toronto, Ontario (Report Writer)

*Stage 1: Archaeological Assessment as part of the Municipal Environmental Assessment process for specified study area in the City of Toronto, Ontario. Undertook background research, review of historic mapping and photographs, and report writing.*

**Laura Walter** MA, BA

Cultural Heritage Specialist

### Highway and Transportation

Stouffville Corridor Grade, City of Toronto, and City of Markham, Ontario (Report Writer)

*Cultural Heritage Screening Report (CHSR) for six at-grade rail crossings: Highway 7, Denison Street, Kennedy Road South, McNicoll Avenue, Finch Avenue, and Danforth Road. Undertook site assessment, heritage research, review of historic mapping, and report writing.*

Bridge over the North Penetangore River, Kincardine, Ontario (Report Writer)

*Cultural Heritage Evaluation Report (CHER) for a 20th century concrete bridge. Undertook site assessment, heritage research, review of historic mapping and report writing.*

Bridge over Highway 401 West, at Watson Road, Township of Puslinch, Ontario (Report Writer)

*Cultural Heritage Evaluation Report (CHER) for a 20th century rigid frame bridge. Undertook site assessment, heritage research, review of historic mapping and report writing.*

Bridge over Big Otter Creek, Town of Tillsonburg, Ontario (Report Writer)

*Cultural Heritage Evaluation Report (CHER) for a 20th century steel girder bridge. Undertook site assessment, heritage research, review of historic mapping and report writing.*

Culvert on Gully Creek, Municipality of Centre Huron, Ontario (Report Writer)

*Cultural Heritage Evaluation Report (CHER) for a mid-20th century concrete culvert. Undertook site assessment, heritage research, review of historic mapping and report writing.*

Victoria Street Pedestrian Bridge, Municipality of Centre Wellington, Ontario (Report Writer)

*Cultural Heritage Evaluation Report (CHER) for the construction of a new bridge in connection to the previous heritage structure over the Grand River, at the community of Elora. Undertook site assessment, heritage research, review of historic mapping and report writing.*

Lincolnville GO Station Improvements, Municipality of Whitchurch-Stouffville, Ontario (Report Writer)  
*Cultural Heritage Screening Report (CHSR) for improvements to the Lincolnville GO Station. Undertook background research, review of historic mapping and photographs, and report writing.*

Square One Drive Extension, City of Mississauga, Ontario (Cultural Heritage Specialist)

*MTC's Built Heritage Resources Checklist completed for the proposed extension of Square One Drive. Undertook consultation with municipalities, heritage committees and agencies, heritage research, and potential heritage resources assessment.*

Colonel Talbot Pumping Station, City of London, Ontario (Report Writer)

*A Cultural Heritage Assessment Report (CHAR) was prepared for the Colonel Talbot Pumping Station Environmental Assessment (EA). The CHAR forms part of the planning and design process for a Schedule B Municipal Class EA. Duties included a site inventory, heritage research, review of historic mapping, and report writing.*

Bridges across the City of Hamilton, Ontario (Report Writer)

*Cultural Heritage Evaluation Reports (CHER) were prepared for the City of Hamilton for 25 bridges across the City. Undertook site assessment, heritage research, review of historic mapping, and report writing.*

### Pipeline Survey

Pipeline to Serve Fenelon Falls, Regional Municipality of Durham and City of Kawartha Lakes, Ontario (Report Writer)

*A Cultural Heritage Assessment Report (CHAR) was prepared to meet OEB Guidelines which require evaluation of potential heritage resources in advance of pipeline project construction. Duties included a site inventory, heritage research, and report writing.*

Pipeline to Serve Seaton Lands, Durham Region, Ontario (Report Writer)

*A Cultural Heritage Assessment Report (CHAR) was prepared to meet OEB Guidelines which required evaluation of potential heritage resources in advance of pipeline project construction. Duties included a site inventory, heritage research, and report writing.*

## Laura Walter MA, BA

### Cultural Heritage Specialist

Pipeline Dawn to Dover, Panhandle Reinforcement, Lambton County and Municipality of Chatham-Kent, Ontario (Report Writer)

*A Cultural Heritage Assessment Report (CHAR) was prepared to meet OEB Guidelines which required evaluation of potential heritage resources in advance of pipeline project construction. Duties included site inventory, heritage and land title records research, review of historic mapping, and report writing.*

Pipeline to Serve Southern Bruce County, Counties of Bruce, and Grey, Ontario (Report Writer)

*A Cultural Heritage Assessment Report (CHAR) is being prepared to meet OEB Guidelines which require evaluation of potential heritage resources in advance of pipeline project construction. Duties included a site inventory, heritage research, and report writing. Report ongoing.*

Pipeline to Serve the Whitney Block, City of Toronto, Ontario (Report Writer)

*Heritage Impact Assessment (HIA) was prepared for a proposed pipeline to service the Whitney Block building, in the Queen's Park Complex. Undertook site assessment, heritage research, review of historic mapping, and report writing.*

#### **Solar Power**

Pendleton Solar Energy Centre, Township of Alfred and Plantagenet, Ontario (Cultural Heritage Specialist)

*Renewable Energy Approval (REA) Checklist was completed to meet Ontario Regulation 359/09. Undertook site assessment, consultation with municipalities, heritage committees and agencies, heritage research, and potential heritage resources assessment.*

Barlow Solar Energy Centre, Township of Stormont, Ontario (Cultural Heritage Specialist)

*Renewable Energy Approval (REA) Checklist was completed to meet Ontario Regulation 359/09. Undertook site assessment, consultation with municipalities, heritage committees and agencies, heritage research, and potential heritage resources assessment.*

Lake Simcoe Regional Airport Solar Project, Township of Oro-Medonte, Ontario (Cultural Heritage Specialist)

*Renewable Energy Approval (REA) Checklist was completed to meet Ontario Regulation 359/09. Undertook site assessment, consultation with municipalities, heritage committees and agencies, heritage research, and potential heritage resources assessment.*

#### **Wind Power**

Strong Breeze Wind Project, Municipality of Dutton-Dunwich, Ontario (Report Writer)

*A Cultural Heritage Assessment Report (CHAR) was prepared to meet OEB Guidelines which require evaluation of potential heritage resources in advance of wind project construction. Duties included a site inventory, heritage research, and report writing.*

#### **Industrial Buildings**

Nanticoke Generating Station, Haldimand County, Ontario (Report Writer)

*Cultural Heritage Evaluation Report (CHER) for a 20<sup>th</sup> coal generating power plant. Undertook site assessment, consultation with local heritage committee, and community members, heritage research, review of historic mapping, and report writing.*

#### **Landscape Architecture**

Cliff Street Cooling and Heating Plant, Ottawa Ontario (Cultural Heritage Specialist)

*Schematic Design Report prepared for the demolition of the Cliff Street Cooling and Heating Plant, situated west of Parliament Hill. Duties included background research, review of planning studies, and report writing.*

Rehabilitation of the West Sector and Bank Street Valley, Parliament Hill, Ottawa, Ontario (Report Writer)

*Feasibility report prepared for slope stabilization, stair construction, and Lover's Walk rehabilitation in the west sector, and Bank Street Valley area of the Parliamentary Precinct. Duties included reviewing background reports, and report writing.*





City of Mississauga  
**Memorandum**



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Date: 2018/03/15  
To: Chair and Members of Heritage Advisory Committee  
From: Paul Damaso, Director, Culture Division  
Meeting Date: 2018/04/10  
Subject: New Construction on Listed Property: 2351 Mississauga Road

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This memorandum and its attachment are presented for HAC's information.

The subject property is registered under Section 27 of the Ontario Heritage Act as part of the Mississauga Road Scenic Route Cultural Landscape. As per section 7.4.1.10 of the Mississauga Official Plan, "Applications for development involving cultural heritage resources will be required to include a Heritage Impact Assessment prepared to the satisfaction of the City and other appropriate authorities having jurisdiction." As such, the report is attached for your reference.

**Attachments**

Appendix 1: Heritage Impact Statement

A handwritten signature in black ink, appearing to read 'Paul Damaso', written over a horizontal line.

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Paul Damaso, Director, Culture Division

Prepared by: Paula Wubbenhorst, Heritage Planner, Culture Planning & Heritage



### Heritage Impact Statement

2351 Mississauga Road  
Mississauga, Ontario

March, 2017

## INTRODUCTION

It is a requirement for the City of Mississauga to request "Heritage Impact Statements" for proposed construction of homes listed within the Cultural Landscape Inventory. This report will review the subject property as a part of the Mississauga Road Scenic Route.

This property was created by way of consent in 2016. An initial HIS was prepared for the site at 2222 Doulton Drive. This report will review the relationship between the new house proposed on the lot at 2351 Mississauga Road and the Mississauga Road Scenic Route Cultural Landscape.

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- 1.Context Map**
- 2.Location Map**
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- 8.Proposed Site Plan**
- 9.Streetscapes**
- 10.Cultural Heritage Landscape Inventory**
- 11.Mitigation Measures**
- 12.Conclusions**
- 13.Mandatory Recommendations**
- 14.About the Author**
- 15.References**

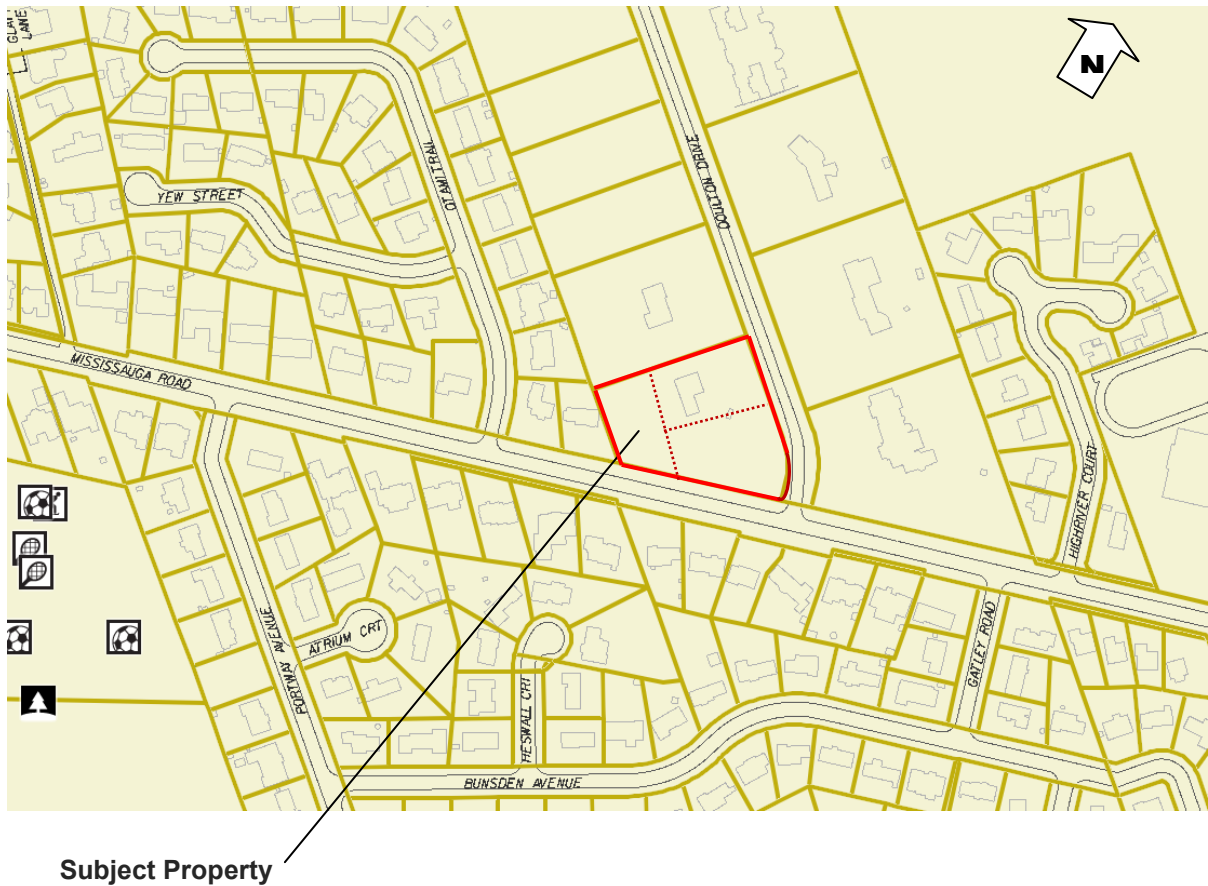


## 1. Context Map



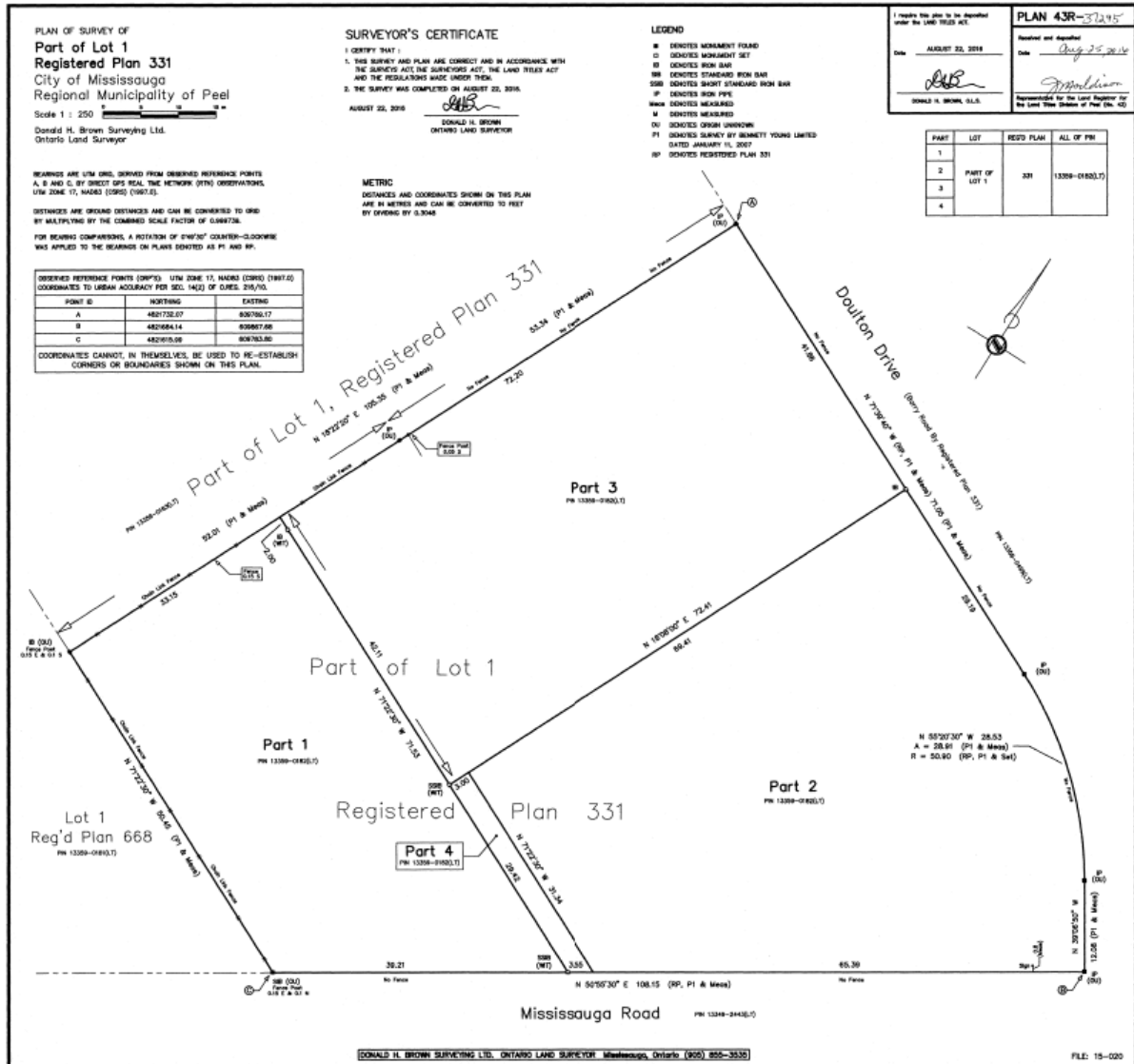
The property is located on the northwest corner of Doulton Drive and Mississauga Road. It is located north of the Queen Elizabeth Way and east of Erin Mills Parkway.

## 2. Location Map



The subject property is located on the north side of Mississauga Road, just west of Doulton Drive. The lot was created through Consent Files B 62 & 63/15.

### 3. Draft Reference Plan



The subject property is Part 1 on the above reference plan.

#### **4. Significant Cultural Landscape Designation**

Mississauga Road is recognized as a Cultural Landscape, as it is one of the City's oldest and most picturesque thoroughfares. Its alignment varies from being part of the normal road grid in the north to a curvilinear alignment in the south, following the top of bank of the Credit River. The scenic quality of the road is notable because it traverses a variety of topography and varying land use, from old established residential neighbourhoods to new industrial and commercial areas. From Streetsville south the boulevards and adjacent landscapes are home to some of the oldest and most spectacular trees in the City. The road also includes some of the city's most interesting architecture and landscape features, including low stone walls. The road's pioneer history and its function as a link between Mississauga's early communities, makes it an important part of the City's heritage.

\*City of Mississauga Cultural Landscape Inventory.

#### **5. Property History (Title Chain)**

This chain of title search was provided by Steven Shaw Conveyancing.

May 1856: Crown to Christopher Robinson  
January 1871: Christopher Robinson to James Teeter  
April 1887: James Teeter to John Urquhart  
December 1944: John Urquhart Estate to Howard Parsons  
Plan 331 is registered  
October 1946: Howard Parsons to Everette and Benjamin Smith  
October 1953: Everette and Benjamin Smith to Cathryne & Gordon Armstrong  
April 1958: Cathryne & Gordon Armstrong to John Wardrop and John Hunter  
May 1958: John Wardrop and John Hunter to Robert Hurley  
March 2016: Estate of Robert Hurley to Maria Finelli  
2017: Maria Finelli to Present Owner

#### **6. Existing Site Conditions**

The subject property has a lot area of 2022.53m<sup>2</sup> and a lot frontage of 39.22m (as per the by-law definition). The lot is flat and well drained. The property is well treed and a small number of trees will be removed for the construction of the proposed dwelling.





The subject property fronting onto Mississauga Road.



These trees will be removed for the construction of the new dwelling.

## 7. Proposed House



**Front Elevation**



**North Elevation**

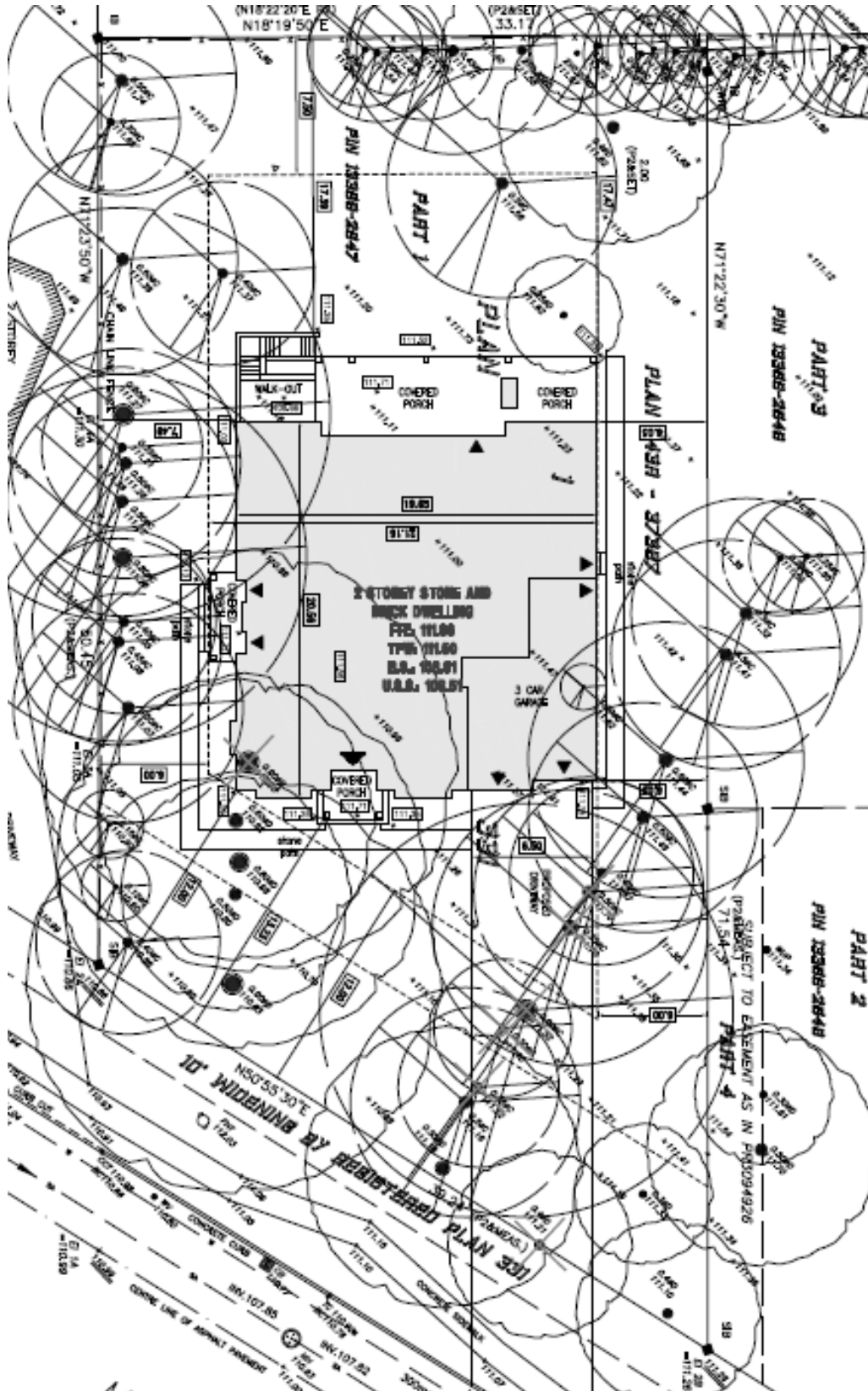


**West Elevation**



**South Elevation**

## 8. Proposed Site Plan





## 9. Streetscapes

### Existing



### Proposed



## 10. Cultural Heritage Landscape Inventory

The subject property is located within an area of Mississauga known as the Mississauga Road Scenic Route that has the following features identified under the "Cultural Landscape Inventory":

### Landscape Environment

- Scenic and Visual Quality
- Horticultural Interest
- Landscape Design, Type and technological Interest

### Historical Association

- Illustrates style, trend or pattern
- Illustrates important phase in Mississauga's Social or physical development

### Built Environment

- Consistent Scale of built features

### Other

- Historical or Archaeological Interest

The proposed demolition of the existing house will not have any negative impacts on its status within the cultural landscape.

We offer the following information to expand on each of the areas identified;

### Landscape Environment

- Scenic and Visual Quality
  - *This property is located in a highly desirable area on Mississauga Road, south of Dundas Street West. The scenic value of Mississauga Road characterized by the vegetation, road type, residential character and heritage quality will not be impacted with the construction of the proposed new home. Many of the mature trees abutting Mississauga Road will be maintained screening the property from the street.*

- Horticultural Interest
  - *The subject property is well treed and as many mature trees as possible will be retained throughout the redevelopment. An arborist report is attached.*
- Landscape Design, Type and technological Interest
  - *Mississauga Road can be traced back to the 1800's; a transportation route established along portions of the Credit River from Streetsville, through Erindale to Port Credit. The construction of a new dwelling on the lot will have no impact on the landscape design of the scenic route.*

#### **Built Environment**

- Consistent Scale of built features
  - *This section of Mississauga Road permits single family detached dwellings. This section of Mississauga Road has consistently sized lots and homes.*

#### **Historical Association**

- Illustrates style, trend or pattern
  - *This lot was created by way of a consent application. The lots are in keeping with the pattern on Mississauga Road.*
- Illustrates important phase in Mississauga's Social or physical development
  - *As the lot was created by way of consent, this is not applicable.*

#### **Other**

- Significant Ecological Interest
  - *Not applicable in this instance.*

### **11. Mitigation Measures**

The proposed home has been designed to respect the scenic nature of Mississauga Road. The proposed massing and height are consistent with adjacent homes. The house is generously setback from Mississauga Road. The mature trees between the dwellings will be retained. No negative impact on the Mississauga Road Scenic Route Cultural Landscape is anticipated as a result of the proposed development plan.



The approximate location and size of the proposed home is shown above.

## 12. Conclusions

The development of the subject property will have no negative impacts on the historic character or the scenic qualities of Mississauga Road. Mature trees will remain and the proposed home will be built in keeping with existing massing and height of homes in the neighbourhood.

### 13. Mandatory Recommendation

The subject property does not meet the criteria for heritage designation under Ontario Regulation 9/06 of the Ontario Heritage Act.

Subsection (2) sets out the criteria by which consideration is given in determining whether a property is of cultural heritage value or interest. It is our opinion that the property does not have cultural heritage value or interest as supported by the following points:

1. The property has design value or physical value because it,
  - i) is a rare, unique, representative or early example of a style, type, expression, material or construction method.
  - ii) displays a high degree of craftsmanship or artistic merit, or
  - iii) demonstrates a high degree of technical or scientific achievement.

The lot was created through consent, as such, this is not applicable.

2. The property has historical value or associative value because it,
  - i) has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to the community,
  - ii) yields, or has the potential to yield, information that contributes to an understanding of a community or culture, or
  - iii) demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community

The property has no known associations and nor does it contribute to an understanding of the community or culture.

3. The property has contextual value because it,
  - i) is important in defining, maintaining or supporting the character of an area,
  - ii) is physically, functionally, visually or historically linked to its surrounding, or
  - iii) is a landmark.

The original parcel is part of the Mississauga Scenic Route as it abuts onto Mississauga Road. However, due to the severance of the property, this home will no longer directly contribute to the streetscape of Mississauga Road. As such, it has no contextual value.

1. *Does the property meet the criteria for heritage designation under Ontario Regulation 9/06, Ontario Heritage Act:*

The subject property does not meet the criteria set out in Regulation 9/06, Ontario Heritage Act.

2. *If the subject property does not meet the criteria for heritage designation then it must be clearly stated as to why it does not.*

The existing lot is vacant, and as such, there is no link to its physical, functional, visual or historic surroundings.

3. *Regardless of the failure to meet criteria for heritage designation, does the property warrant conservation as per the definition in the Provincial Policy Statement?*

The proposed property does not warrant conservation as per Ontario Regulation 9/06, Ontario Heritage Act or the Provincial Policy Statement.



#### **14. About the Author**

William Oughtred of W.E. Oughtred & Associates Inc. is a development and land use consultant who has been practicing in the Mississauga and GTA area for over twenty years. Mr. Oughtred has worked in the land use planning field for over 20 years, specializing in the City of Mississauga. He is well versed in both Planning and Building procedures and the City of Mississauga Zoning By-law and The City of Mississauga Official Plan.

William was born, raised and attended school in Mississauga. He is a lifelong resident and has been very active in the Mississauga community through his other interests and pursuits including volunteering on the Spring Creek Cemetery Board.

William specializes in infill type development projects which typically require attendance before the Committee of Adjustment in connection with Applications for Consent or Minor Variance. His twenty years of experience has afforded him the opportunity to see the City evolve and be at the forefront of evolving trends and patterns in land development in Mississauga. William has been involved in the City of Mississauga's challenge in dealing with the pressures created by the infill housing that has occurred in the south part of Mississauga. His experience in shepherding development applications through the approval process and dealing with the community, City staff and the Members of Council provides an insight into the market for redevelopment that has focused its attention on this community.

Heritage Impact Statements have been completed for the following properties located in Mississauga:

- 276 Arrowhead Road
- 1510 Stavebank Road
- 1267 Mississauga Road
- 2701 Mississauga Road
- 123 Kenollie Avenue
- 1168 Mississauga Road
- 4077 Mississauga Road
- 92 Pinetree Way
- 169 Donnelly Drive
- 1532 Adamson Road
- 1405 Glenwood Drive
- 1445 Glenburnie Road
- 2222 Doulton Drive

#### **15. References**

<http://www.ontarioarchitecture.com/>

<http://www.mississauga.ca>

Canadiana Room, Mississauga Central Library

PAMA, Peel Archives

Mississauga Road Scenic Study, 1997



City of Mississauga  
**Memorandum**



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Date: 2018/03/26  
To: Chair and Members of Heritage Advisory Committee  
From: Paul Damaso, Director, Culture Division  
Meeting Date: April 10, 2018  
Subject: Minor Variance Application: 34 John Street South (Ward 1)

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This memorandum and its attachment are presented for HAC's information.

Section 3.1.6 of the Old Port Credit Village Heritage Conservation District Plan states that variance applications "will be reviewed by the Heritage Advisory Committee." As such, the attached variance application is provided for HAC's information. The City issued a heritage permit for the proposal (HPA 18 6) on March 7, 2018.

**Attachments**

Appendix 1: Variance Application

A handwritten signature in black ink, appearing to read 'Paul Damaso', written in a cursive style.

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Paul Damaso, Director, Culture Division

Prepared by: Paula Wubbenhorst, Heritage Planner



## COMMITTEE OF ADJUSTMENT NOTICE OF PUBLIC HEARING

File: "A" 155/18  
Ward 1

The Committee has set **Thursday April 12, 2018 at 1:30 pm** in the **Mississauga Civic Centre, COUNCIL CHAMBERS**, 2nd Floor, 300 City Centre Drive, Mississauga, Ontario for the public hearing on the following matter:

**ANNE & ROBERT NASCIMBEN** is the owner of **34 JOHN STREET SOUTH** zoned **R15-1 - Residential**. The applicants request the Committee to approve a minor variance to allow additions onto the existing house proposing:

1. A front yard of 3.32m (approx. 10.89ft) where a minimum front yard of 5.00m (approx. 16.40ft) is required in the Zoning By-law;
2. A front yard measured to the porch stairs of 1.98m (approx. 6.50ft) where a minimum front yard measured to the porch stairs of 3.40m (approx. 11.15ft) is required in the Zoning By-law;
3. A rear yard of 3.25m (approx. 10.66ft) where a minimum rear yard of 7.50m (approx. 24.60ft) is required in the Zoning By-law; and
4. An interior side yard of 1.04m (approx. 3.41ft) where a minimum interior side yard of 3.00m (approx. 9.84ft) is required in the Zoning By-law.

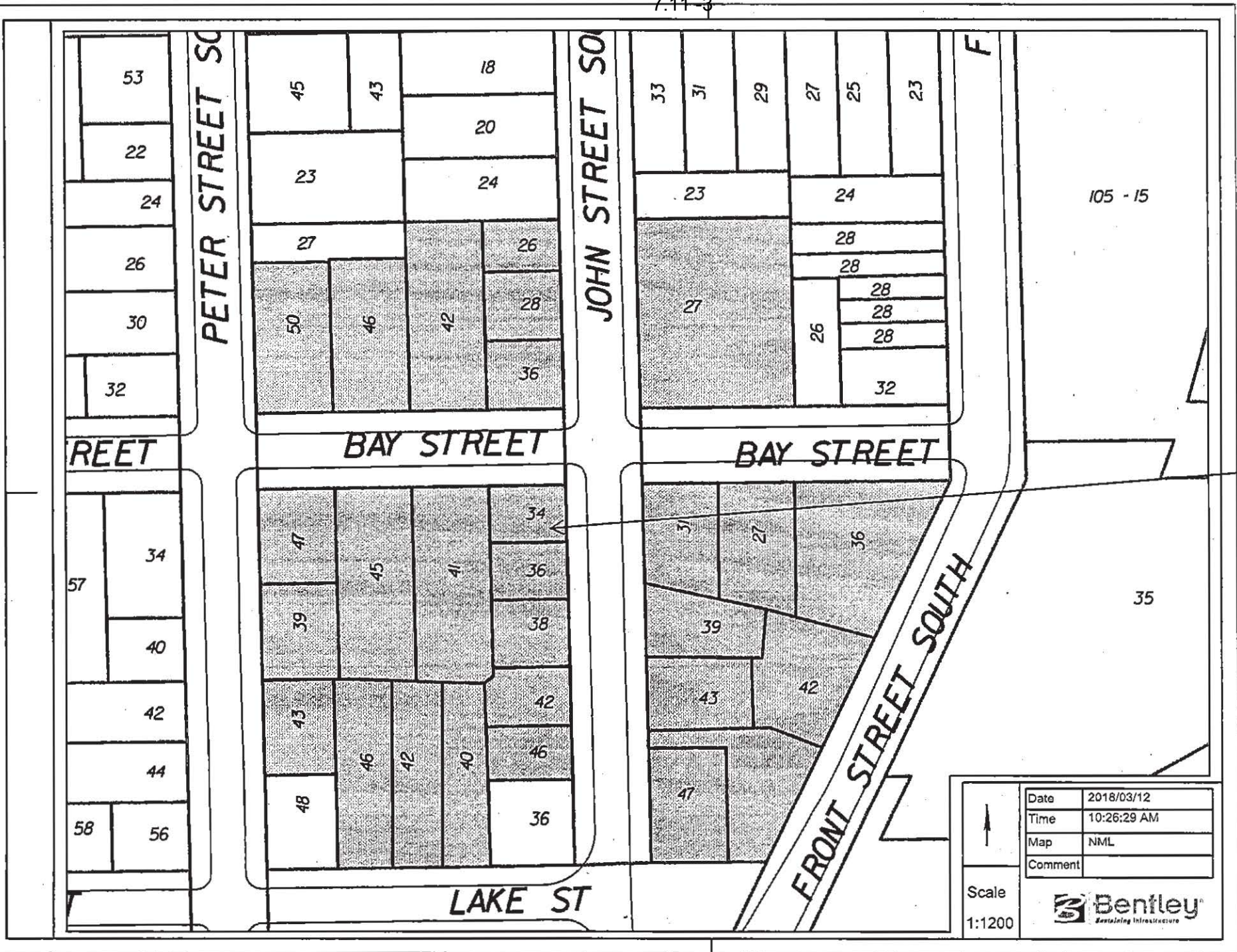
This notice is sent to you because you are the applicant, the authorized agent or the assessed owner of a neighbouring property within 60m (200ft) of the subject property. Should you have any comments on the application, you are invited to attend the public hearing to express your views. If it is inconvenient for you to attend the hearing, signed written submissions shall be accepted by the Secretary-Treasurer by fax at (905) 615-3950 or by e-mail at [committee.adjustment@mississauga.ca](mailto:committee.adjustment@mississauga.ca). Please include your name, your address and application number or address of the property you are providing comments on. **To allow all Committee members the opportunity to review and consider your comment in advance of the hearing please submit all comments no later than the Monday before the hearing.**

If you wish to be notified of the decision of the Committee you must submit a written request to the Secretary-Treasurer. This will also entitle you to be advised of any future Ontario Municipal Board proceedings.

For more information on this matter visit [www.mississauga.ca/portal/residents/cofa](http://www.mississauga.ca/portal/residents/cofa), call 905-615-3200 x2408, or email [committee.adjustment@mississauga.ca](mailto:committee.adjustment@mississauga.ca).

Your comments are collected under the legal authority of the Planning Act R.S.O. 1990, Chapter c.P.13, as amended. Your comments regarding this application become the property of the City of Mississauga and will become part of the decision making process of the application. Pursuant to Section 27 of the Municipal Freedom of Information and Protection of Privacy Act, R.S.O. 1990, c.M56, as amended, public feedback to planning proposals is considered a public record and will be disclosed to any individual (including being posted on the internet) upon request in accordance with Section 27 of the Municipal Freedom of Information and Protection of Privacy Act, R.S.O. 1990, c.M56, as amended. Questions about this collection should be directed to the Secretary-Treasurer, Committee of Adjustment, Office of the City Clerk, 300 City Centre Drive, Mississauga ON L5B 3C1 or (905) 615-3200 x2408.






A155/18  
34 John St.  
S.

Date	2018/03/12
Time	10:26:29 AM
Map	NML
Comment	

Scale  
1:1200

 **Bentley**  
Sustaining Infrastructure

RECEIVED

MAR 09 2018

City of Mississauga  
Committee of Adjustment

MISSISSAUGA

File No. "A" 155/18

The Planning Act, R.S.O. 1990, c.P.13, as amended  
APPLICATION FOR MINOR VARIANCE

The undersigned hereby applies to the Committee of Adjustment for the City of Mississauga under Section 45 of the Planning Act, R.S.O., 1990, c.P.13, as amended, for relief as described in this application from Zoning By-law No. 0225-2007, as amended.

**1.0 Applicant Information**

Property Owner: Anne &amp; Robert Nascimben

Address: 34 John Street South

City: Mississauga

Postal Code: L5H 2E6

Phone:

Fax:

Email:

**2.0 Authorized Agent Information**

Authorized Agent: Rick Mateljan/Strickland Mateljan Design Associates

Address: 301-79 Wilson Street

City: Oakville

Postal Code: L6K 3G4

Phone: 905-510-6251

Fax:

Email: rick.mateljan@smda.ca

**3.0 Land Use, Official Plan and Zoning By-law Designation**Official Plan Designation<sup>1</sup> (e.g. Residential Low Density, Commercial, Employment)

Residential Low Density

Zoning By-law Designation<sup>1</sup> (e.g. Residential (R1, R2, RM1, RM2, etc.) Commercial (e.g. C1, C2, etc.)

R15-1

Existing Use of the Subject Lands:

Residential

Proposed Use of the Subject Lands:

Residential

<sup>1</sup> Please consult with the Planning and Building Department Customer Service Counter on the 3<sup>rd</sup> Floor of City Hall to identify the Official Plan Designation and Zoning By-law Designation or online at [www.mississauga.ca/portal/residents/officialdocuments](http://www.mississauga.ca/portal/residents/officialdocuments)



**4.0 Relief Required from the Zoning By-law**  
(Please identify the relief you are requesting and the relevant Zoning By-law standard/requirement)

-Front Yard Setback: Permitted = 5.0

Proposed = 3.32 m

-Front Yard Setback to Porch Stairs = 1.98 m Permitted = 3.40 m

-Rear Yard Setback: Permitted = 7.5 m

Proposed = 3.25 m

-Interior Side Yard Setback: Permitted = 3.0 m

Proposed = 1.04 m

**5.0 Why is it not possible to comply with the Zoning By-law Requirements**  
(Please describe the request and explain why it is not possible to comply with the provisions set out in the City's Zoning By-law. If additional space is required, attach a separate sheet/letter.)

Site is a tight corner lot, any addition would cause requirement for relief to setbacks

**6.0 Legal Description/ Location of Subject Property (Street Address, Lot Number and Registered Plan Number)**  
(e.g. 123 Street Drive and Lot A, Plan M-1234)

Part of Lot 5, Registered Plan 300, City of Mississauga

34 John Street South, Mississauga ON

**7.0 Dimension of the Subject Property**  
(This is for the entire property, not a portion of the property that may be the subject of the application)

Lot Frontage (metres/ feet): 15.24 m

Lot Depth (metres/ feet): 20.12 m

Lot Area (m<sup>2</sup>, ft<sup>2</sup>, hectares, acres): 306.63 m<sup>2</sup>

**8.0 Type of access to the subject lands (check the appropriate box)**

Municipal Road ☒

Private Road ☐

Provincial Highway ☐

Other ☐

If other, please specify by what means:

9.0 Particulars of all <u>EXISTING</u> building(s) and structure(s) on the subject land. Please specify:	
a) type of building(s) or structure(s)	b) gross floor area or dimensions of the building(s) or structure(s)
c) the front , rear and side yard setbacks	d) height of the building or structure
Existing Dwelling: a) Detached Dwelling, b) 139.45 m2, c) Front = 5.96 m, Side = 1.80 m, Side = 3.23 m, Rear = 6.15 m, d) 7.81 m	
Existing Shed: a) Accessory Building, b) 6.89 m2, c) Side = 0.47 m, Rear = 0.54 m, d) +/- 2.5 m	

10.0 Particulars of all <u>PROPOSED</u> building(s) and structure(s) on the subject land. Please specify:	
a) type of building(s) or structure(s)	b) gross floor area or dimensions of the building(s) or structure(s)
c) the front , rear and side yard setbacks	d) height of the building or structure
Existing Dwelling: a) Detached Dwelling, b) 171.33 m2, c) Front = 3.45 m, Side = NO CHANGE, Side = 1.04 m, Rear = 3.25 m, d) NO CHANGE (Front addition, rear addition, side ear port)	
Existing Shed: NO CHANGE	

11.0 Property Information
The date the subject land was acquired by the current owner: +/- 2008
The date the existing buildings and structures were constructed on the subject land: 1952
The length of time the existing uses of the subject land have continued: 66 years

12.0 Conservation Authority Review Information		
Has the Conservation Authority reviewed the proposed minor variance as it applies to the subject land?		
Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Not Applicable <input type="checkbox"/> (as determined by the relevant Conservation Authority)
Has the Conservation Authority review fee been paid?		Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>

13.0 Municipal Services provided to the subject lands: (check the appropriate boxes)	
<input checked="" type="checkbox"/> Water	If not available, by what means is it provided:
<input checked="" type="checkbox"/> Sanitary Sewers	If not available, by what means is it provided:
<input checked="" type="checkbox"/> Storm Sewers	If not available, by what means is it provided:



**14.0 Other Planning Applications**

If known, is or was the subject land the subject of any of the following development type applications:

Official Plan Amendment	Yes <input type="checkbox"/>	No <input type="checkbox"/>	File No.
Zoning By-law Amendment	Yes <input type="checkbox"/>	No <input type="checkbox"/>	File No.
Plan of Subdivision	Yes <input type="checkbox"/>	No <input type="checkbox"/>	File No.
Site Development Plan	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	File No. SPAX 17 119 W1
Certificate of Occupancy	Yes <input type="checkbox"/>	No <input type="checkbox"/>	File No.
Building Permit	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	File No. BP 9ALT 17 9073
Consent	Yes <input type="checkbox"/>	No <input type="checkbox"/>	File No.
Minor Variance (Committee of Adjustment)	Yes <input type="checkbox"/>	No <input type="checkbox"/>	File No.

**DECLARATION OF OWNER OR AUTHORIZED AGENT**

I, Alexander Blanchard of the  
(Print Name of Owner or Authorized Agent)

City of Burlington in the Region of Aglton  
(e.g. City of Mississauga) (e.g. Region of Peel)

Solemnly declare that all above statements and the statements contained in all of the exhibits transmitted herewith are true, and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as it made under oath and by virtue of the CANADA EVIDENCE ACT.

For the purposes of the FREEDOM OF INFORMATION AND PROTECTION OF PRIVACY ACT, I authorize and consent to the use by or the disclosure to any person or public body of any personal information that is collected under the authority of the PLANNING ACT for the purposes of processing this application and correspondence purposes. Questions about this collection should be directed to the Committee of Adjustment Secretary-Treasurer, City of Mississauga, 300 City Centre Drive, Mississauga, Ontario L5B 3C1, telephone 905-615-3200 ext. 5433.

**NOTE:** The Signature of applicant or authorized agent must be witnessed by a Commissioner, etc.  
 A Commissioner is available in the Committee of Adjustment office, if needed.

Declared before me at the City of Mississauga  
 in the Region of Peel  
 this 9th day of March AD 20 18

Allison Monique Morris  
 A Commissioner, etc

[Signature]  
 Signature of applicant or authorized agent

☐ I have authority to bind the Corporation

Signature of applicant or authorized agent

☐ I have authority to bind the Corporation

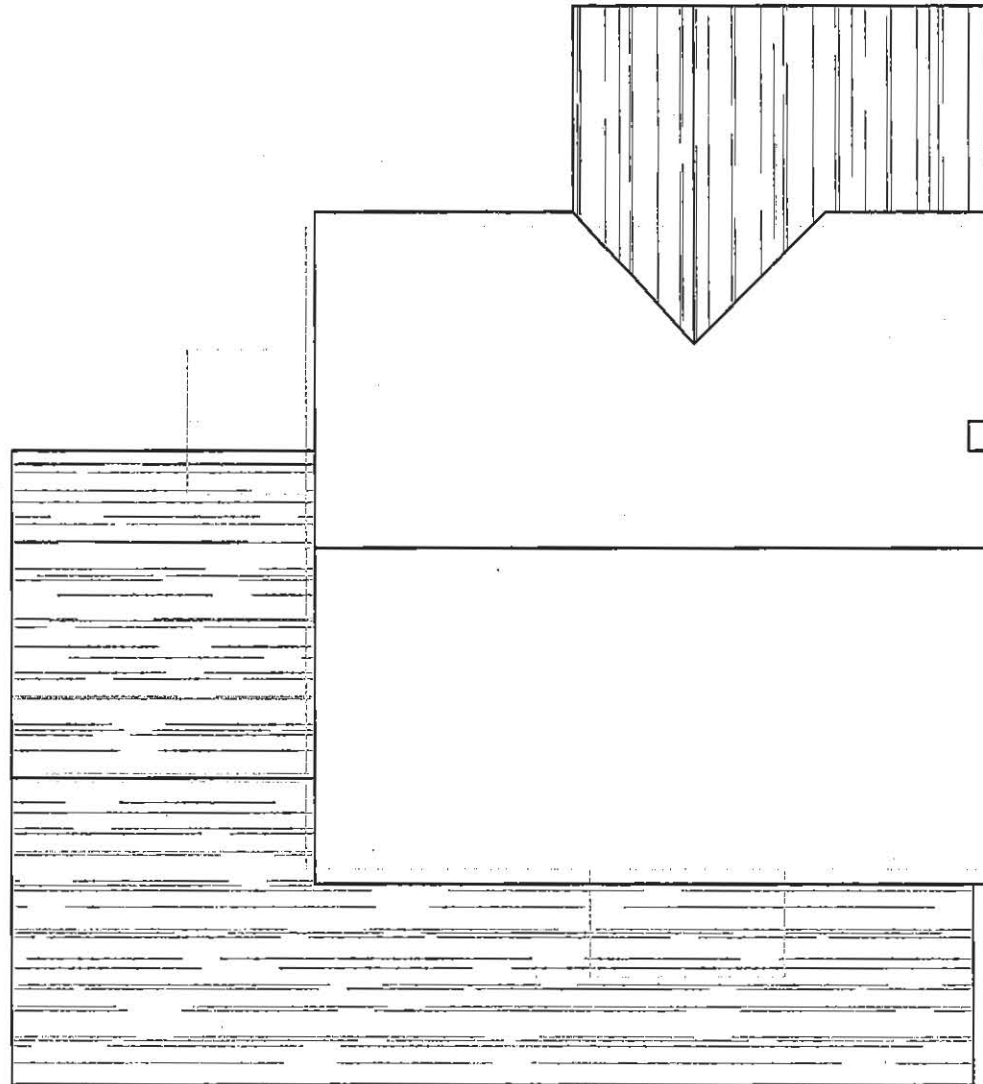
Allison Monique Morris, a Commissioner, etc.,  
 Province of Ontario, for the  
 Corporation of the City of Mississauga.  
 Expires December 12, 2020.



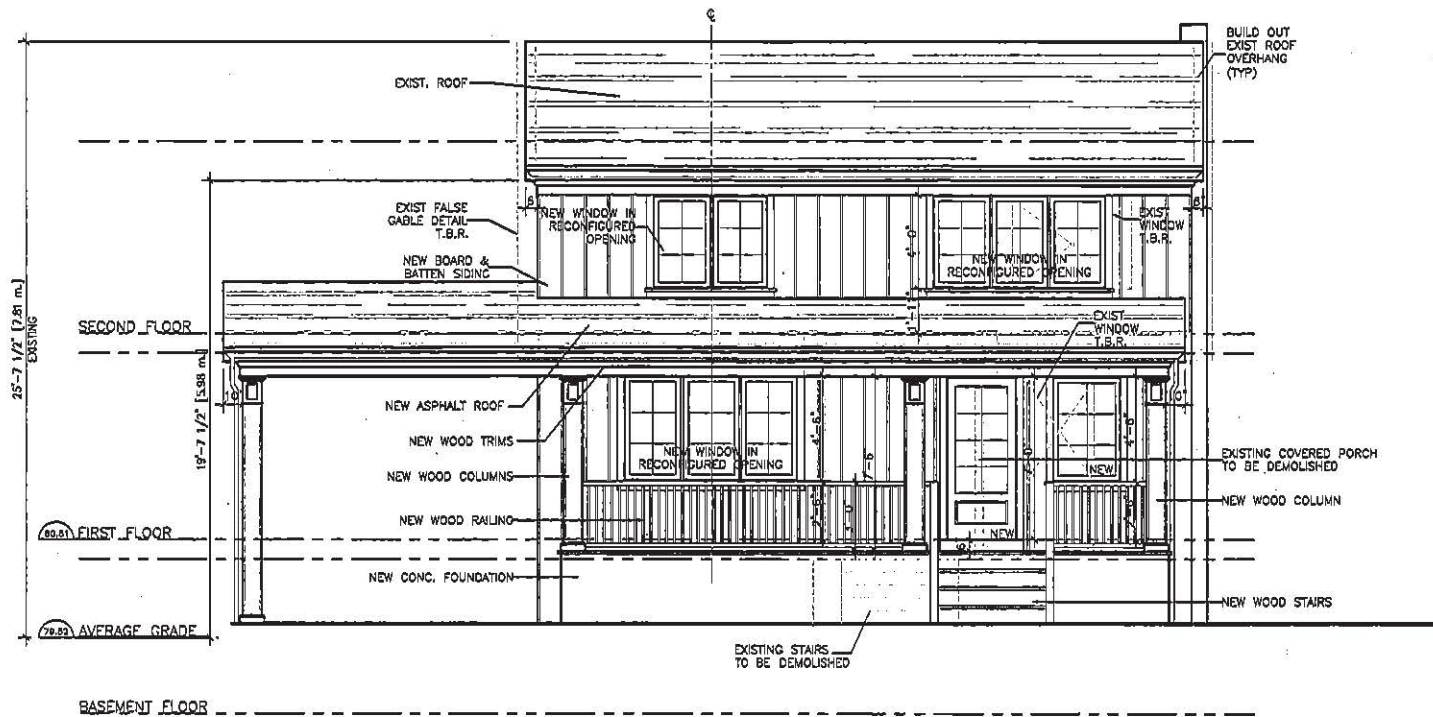
Site Plan 1:100  
34 John Street S., Mississauga  
March 6, 2018

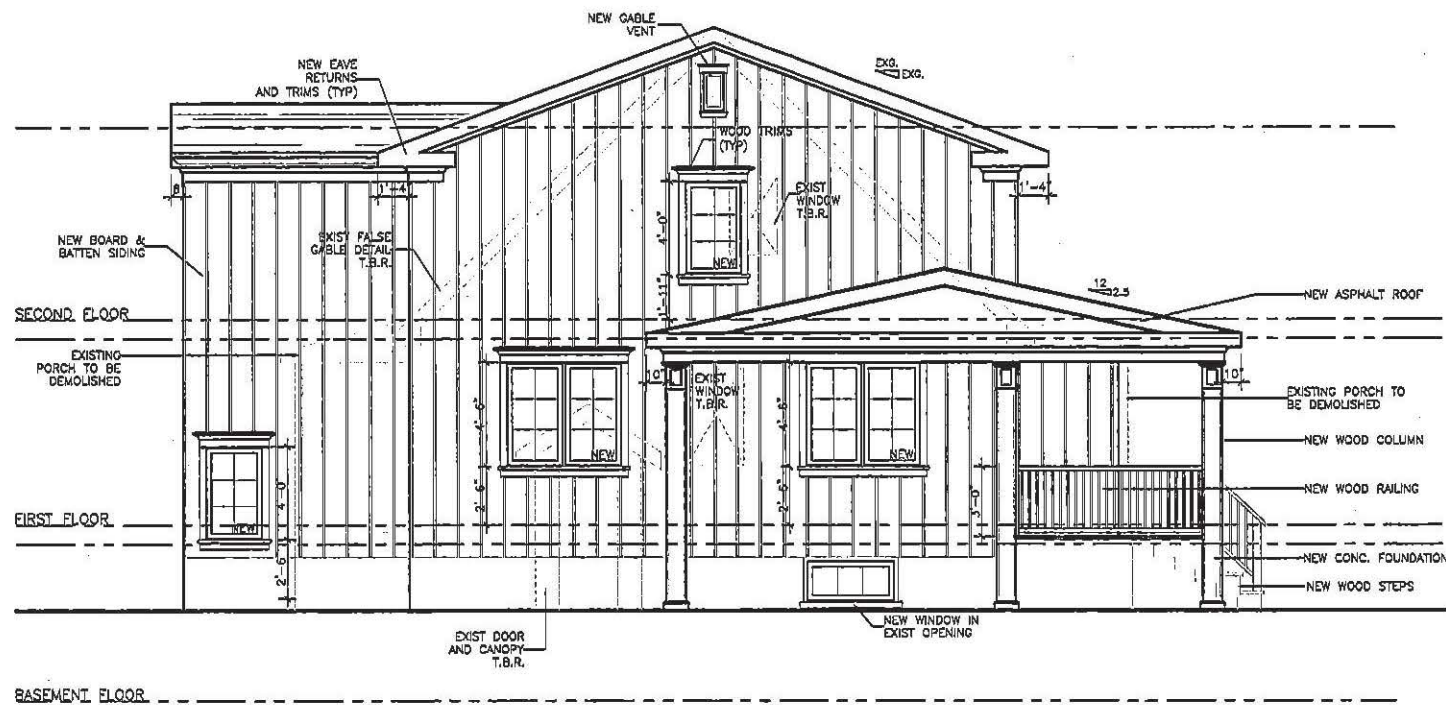


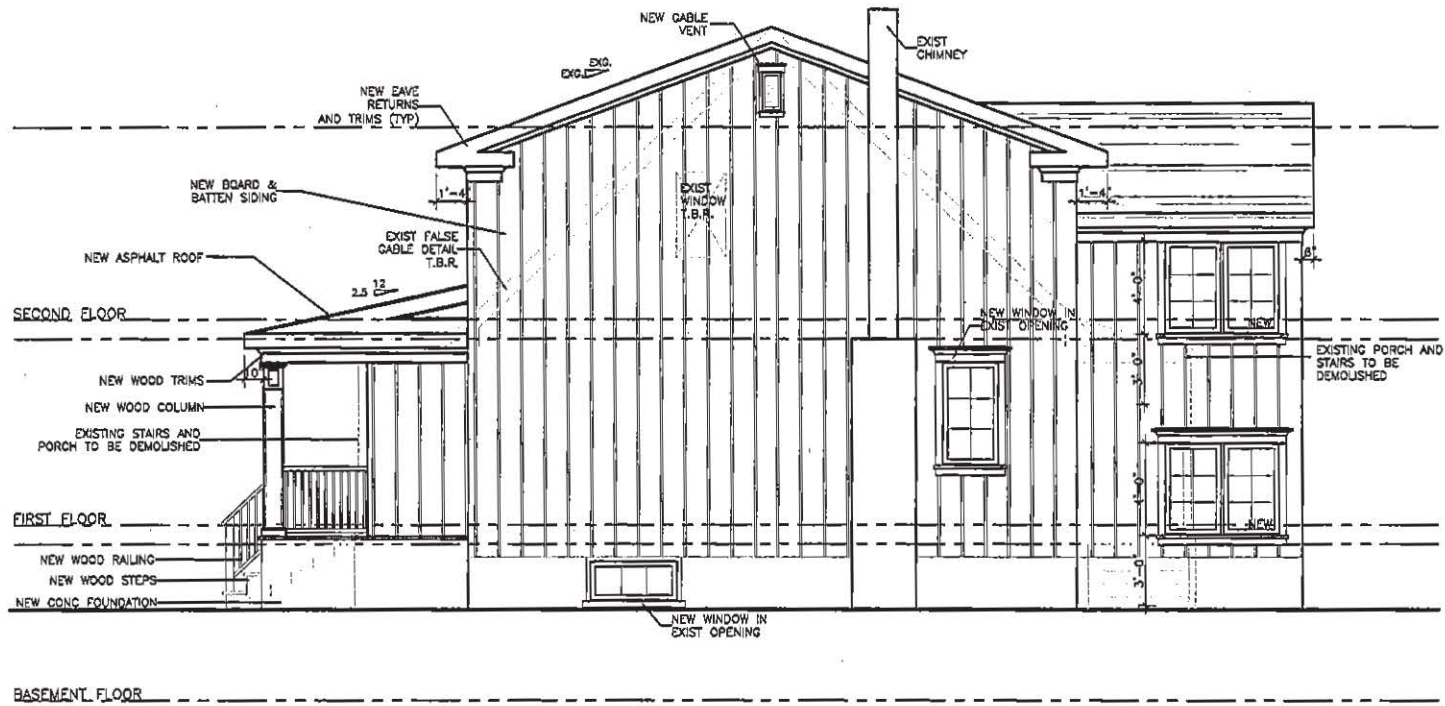
SITE STATISTICS				
DESCRIPTION	BY-LAW	EXISTING	PROPOSED	TOTAL
ZONED	R15-1			
LOT AREA	—	—	—	306.63 m <sup>2</sup>
LOT FRONTAGE	—	—	—	15.33 m
LOT DEPTH	—	—	—	20.22 m
GROSS FLOOR AREA:				
— Main Floor	—	71.06 m <sup>2</sup>	18.23 m <sup>2</sup>	89.29 m <sup>2</sup>
— Second Floor	—	68.39 m <sup>2</sup>	13.65 m <sup>2</sup>	82.04 m <sup>2</sup>
TOTAL:	231.00 m <sup>2</sup>	139.45 m <sup>2</sup>	31.88 m <sup>2</sup>	171.33 m <sup>2</sup>
G.F.A. %	75.3%	45.5%	10.4%	55.9%
BUILDING HEIGHT:				
— House	9.0 m	7.81 m	—	7.81 m
HOUSE SETBACKS:				
— Front	5.0 m	5.96 m	(2.64 m)	3.32 m
— Ext. Side	1.2 m	1.80 m	—	1.80 m
— Int. Side	3.0 m	3.23 m	(2.19 m)	1.04 m
— Rear	7.5 m	6.15 m	(2.90 m)	3.25 m











City of Mississauga  
**Memorandum**



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Date: 2018/03/29  
To: Chair and Members of Heritage Advisory Committee  
From: Paul Damaso, Director, Culture Division  
Meeting Date: April 10, 2018  
Subject: Minor Variance Application: 29 Port Street West (Ward 1)

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This memorandum and its attachment are presented for HAC's information.

Section 3.1.6 of the Old Port Credit Village Heritage Conservation District Plan states that variance applications "will be reviewed by the Heritage Advisory Committee." As such, the attached variance application is provided for HAC's information. The City issued a heritage permit for the proposal (HPA 17 51) in 2017.

**Attachments**

Appendix 1: Variance Application

A handwritten signature in black ink, appearing to read 'Paul Damaso', written over a horizontal line.

---

Paul Damaso, Director, Culture Division

Prepared by: Paula Wubbenhorst, Heritage Planner





## COMMITTEE OF ADJUSTMENT NOTICE OF PUBLIC HEARING

File: "A" 166/18  
Ward 1

The Committee has set **Thursday April 19, 2018 at 1:30 pm** in the **Mississauga Civic Centre, COUNCIL CHAMBERS**, 2nd Floor, 300 City Centre Drive, Mississauga, Ontario for the public hearing on the following matter:

**TYLER GOSSE is the owner of 29 PORT STREET WEST zoned R15-1 – Residential. The applicant requests the Committee to approve a minor variance to allow the construction of a detached garage and a second floor addition proposing:**

1. **Two garages (one car port and one detached garage) where a maximum of one garage (car port or detached garage) is allowed in the Zoning By-law;**
2. **A carport having a rectangular area of 3.65m x 4.61m (approx 11.98ft x 15.12ft) where a minimum rectangular area of 2.75m x 5.2m x 2.0m (approx 9.02ft x 17.06ft x 6.56ft) is required in the Zoning By-law;**
3. **A detached garage area of 37.14m<sup>2</sup> (approx 399.77ft<sup>2</sup>) where a maximum detached garage area of 30.00m<sup>2</sup> (approx 322.917ft<sup>2</sup>) is allowed in the Zoning By-law; and**
4. **A side yard of 1.41m (approx 4.62ft) where a minimum side yard of 3.0m (approx 9.84ft) is required in the Zoning By-law.**

This notice is sent to you because you are the applicant, the authorized agent or the assessed owner of a neighbouring property within 60m (200ft) of the subject property. Should you have any comments on the application, you are invited to attend the public hearing to express your views. If it is inconvenient for you to attend the hearing, signed written submissions shall be accepted by the Secretary-Treasurer by fax at (905) 615-3950 or by e-mail at [committee.adjustment@mississauga.ca](mailto:committee.adjustment@mississauga.ca). Please include your name, your address and application number or address of the property you are providing comments on. **To allow all Committee members the opportunity to review and consider your comment in advance of the hearing please submit all comments no later than the Monday before the hearing.**

If you wish to be notified of the decision of the Committee you must submit a written request to the Secretary-Treasurer. This will also entitle you to be advised of any future Ontario Municipal Board proceedings.

For more information on this matter visit [www.mississauga.ca/portal/residents/cofa](http://www.mississauga.ca/portal/residents/cofa), call 905-615-3200 x2408, or email [committee.adjustment@mississauga.ca](mailto:committee.adjustment@mississauga.ca).

Your comments are collected under the legal authority of the Planning Act R.S.O. 1990, Chapter c.P.13, as amended. Your comments regarding this application become the property of the City of Mississauga and will become part of the decision making process of the application. Pursuant to Section 27 of the Municipal Freedom of Information and Protection of Privacy Act, R.S.O. 1990, c.M56, as amended, public feedback to planning proposals is considered a public record and will be disclosed to any individual (including being posted on the internet) upon request in accordance with Section 27 of the Municipal Freedom of Information and Protection of Privacy Act, R.S.O. 1990, c.M56, as amended. Questions about this collection should be directed to the Secretary-Treasurer, Committee of Adjustment, Office of the City Clerk, 300 City Centre Drive, Mississauga ON L5B 3C1 or (905) 615-3200 x2408.



**PETER STREET SOUTH**

PORT ST W

JOHN STREET SOUTH

PORT ST W

**FRONT STREET SOUTH**

Scale

1:1200



Date	2018/03/19
Time	10:01:20 AM
Map	NML
Comment	

**mentley**  
Sustaining Initiators

A166/18  
29 Port St.  
W.



**RECEIVED**

MAR 16 2018

City of Mississauga  
Committee of Adjustment

7.12 - 4

**MISSISSAUGA**File No. "A" 166118The Planning Act, R.S.O. 1990, c.P.13, as amended  
**APPLICATION FOR MINOR VARIANCE**

The undersigned hereby applies to the Committee of Adjustment for the City of Mississauga under Section 45 of the Planning Act, R.S.O., 1990, c.P.13, as amended, for relief as described in this application from Zoning By-law No. 0225-2007, as amended.

**1.0 Applicant Information**

Property Owner: Tyler Gosse

Address: 29 Port Street West

City: Mississauga

Postal Code: L5H 1C8

Phone:

Fax:

Email:

**2.0 Authorized Agent Information**

Authorized Agent: W. E. Oughtred and Associates Inc.

Address: Suite 28, 2140 Winston Park Drive

City: Oakville

Postal Code: L6H 5V5

Phone: 905-822-5644

Fax: 905-829-0853

Email: [williamoughtred@on.aibn.com](mailto:williamoughtred@on.aibn.com)**3.0 Land Use, Official Plan and Zoning By-law Designation**Official Plan Designation<sup>1</sup> (e.g. Residential Low Density, Commercial, Employment)

Residential Low Density 1

Zoning By-law Designation<sup>1</sup> (e.g. Residential (R1, R2, RM1, RM2, etc.) Commercial (e.g. C1, C2, etc.)

R15-1

Existing Use of the Subject Lands:

Single Family residential dwelling

Proposed Use of the Subject Lands:

Single family detached dwelling

<sup>1</sup> Please consult with the Planning and Building Department Customer Service Counter on the 3<sup>rd</sup> Floor of City Hall to identify the Official Plan Designation and Zoning By-law Designation or online at [www.mississauga.ca/portal/residents/officialdocuments](http://www.mississauga.ca/portal/residents/officialdocuments)

<b>4.0 Relief Required from the Zoning By-law</b> (Please identify the relief you are requesting and the relevant Zoning By-law standard/requirement)
See attached

<b>5.0 Why is it not possible to comply with the Zoning By-law Requirements</b> (Please describe the request and explain why it is not possible to comply with the provisions set out in the City's Zoning By-law. If additional space is required, attach a separate sheet/letter.)
See attached

<b>6.0 Legal Description/ Location of Subject Property (Street Address, Lot Number and Registered Plan Number)</b> (e.g. 123 Street Drive and Lot A, Plan M-1234)
Part Lot 3, Plan 300W
29 Port Street West

<b>7.0 Dimension of the Subject Property</b> (This is for the entire property, not a portion of the property that may be the subject of the application)
Lot Frontage (metres/ feet): 13.41m
Lot Depth (metres/ feet): 38.10m
Lot Area (m <sup>2</sup> , ft <sup>2</sup> , hectares, acres): 511.96m <sup>2</sup> (as per City records)

<b>8.0 Type of access to the subject lands (check the appropriate box)</b>
Municipal Road <input checked="" type="checkbox"/> Private Road <input type="checkbox"/> Provincial Highway <input type="checkbox"/> Other <input type="checkbox"/>
If other, please specify by what means:



The applicant requests the Committee to authorize a minor variance to permit the construction of a detached garage and a second floor addition on the existing dwelling proposing:

1. Two garages; one being a carport and the other a detached garage, whereas By-law 0225-2007, as amended permits only one (1) detached garage or one (1) attached garage (car port) per lot;
2. A carport having a rectangular area of 3.65m x 4.61m; whereas By-law 0225-2007, as amended requires a minimum unobstructed area for parking of 2.75m x 5.2m x 2.0m;
3. A detached garage area of 37.14 m<sup>2</sup>, whereas By-law 0225-2007, as amended permits a maximum detached garage area of 30m<sup>2</sup>;
4. A sideyard setback of 1.41m, whereas By-law 0225-2007, as amended, requires a minimum sideyard setback of 3.0m, in this instance.

The proposal includes a second floor addition, a portion of which is cantilevered over the driveway, and the removal and reconstruction of the existing detached garage. The portion of the driveway below the cantilevered area is considered a carport (garage) and thus requires a variance. Further the garage replacement is similar to that that is being removed. The reduced side yard setback is to the cantilevered portion of the dwelling.

**9.0 Particulars of all EXISTING building(s) and structure(s) on the subject land. Please specify:**

a) type of building(s) or structure(s)	b) gross floor area or dimensions of the building(s) or structure(s)
c) the front, rear and side yard setbacks	d) height of the building or structure
One storey detached dwelling and detached garage	

**10.0 Particulars of all PROPOSED building(s) and structure(s) on the subject land. Please specify:**

a) type of building(s) or structure(s)	b) gross floor area or dimensions of the building(s) or structure(s)
c) the front, rear and side yard setbacks	d) height of the building or structure
Second storey addition to existing dwelling and reconstruction of detached garage	

**11.0 Property Information**

The date the subject land was acquired by the current owner: 2015
The date the existing buildings and structures were constructed on the subject land: 1950's
The length of time the existing uses of the subject land have continued: 60 years approximately

**12.0 Conservation Authority Review Information**

Has the Conservation Authority reviewed the proposed minor variance as it applies to the subject land?		
Yes <input type="checkbox"/>	No <input type="checkbox"/>	Not Applicable <input checked="" type="checkbox"/> (as determined by the relevant Conservation Authority)
Has the Conservation Authority review fee been paid?	Yes <input type="checkbox"/>	No <input type="checkbox"/>

**13.0 Municipal Services provided to the subject lands: (check the appropriate boxes)**

<input checked="" type="checkbox"/> Water	If not available, by what means is it provided:
<input checked="" type="checkbox"/> Sanitary Sewers	If not available, by what means is it provided:
<input checked="" type="checkbox"/> Storm Sewers	If not available, by what means is it provided:



14.0 Other Planning Applications			
If known, is or was the subject land the subject of any of the following development type applications:			
Official Plan Amendment	Yes <input type="checkbox"/>	No <input type="checkbox"/>	File No.
Zoning By-law Amendment	Yes <input type="checkbox"/>	No <input type="checkbox"/>	File No.
Plan of Subdivision	Yes <input type="checkbox"/>	No <input type="checkbox"/>	File No.
Site Development Plan	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	File No. SPI 17-167
Certificate of Occupancy	Yes <input type="checkbox"/>	No <input type="checkbox"/>	File No.
Building Permit	Yes <input type="checkbox"/>	No <input type="checkbox"/>	File No.
Consent	Yes <input type="checkbox"/>	No <input type="checkbox"/>	File No. A
Minor Variance (Committee of Adjustment)	Yes <input type="checkbox"/>	No <input type="checkbox"/>	File No. A97/18

## DECLARATION OF OWNER OR AUTHORIZED AGENT

I, Arlene Beaumont of the \_\_\_\_\_  
(Print Name of Owner or Authorized Agent)

City of Mississauga in the Region of Peel  
(e.g. City of Mississauga) (e.g. Region of Peel)

Solemnly declare that all above statements and the statements contained in all of the exhibits transmitted herewith are true, and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as it made under oath and by virtue of the CANADA EVIDENCE ACT.

For the purposes of the FREEDOM OF INFORMATION AND PROTECTION OF PRIVACY ACT, I authorize and consent to the use by or the disclosure to any person or public body of any personal information that is collected under the authority of the PLANNING ACT for the purposes of processing this application and correspondence purposes. Questions about this collection should be directed to the Committee of Adjustment Secretary-Treasurer, City of Mississauga, 300 City Centre Drive, Mississauga, Ontario L5B 3C1, telephone 905-615-3200 ext. 5433.

NOTE: The Signature of applicant or authorized agent must be witnessed by a Commissioner, etc.  
 A Commissioner is available in the Committee of Adjustment office, if needed.

Declared before me at the City of Mississauga  
 in the Region of Peel  
 this 16 day of March AD 20 18

Alexander John Steigle Davies  
 A Commissioner, etc

Arlene Beaumont

Signature of applicant or authorized agent  
☐ I have authority to bind the Corporation

Signature of applicant or authorized agent  
☐ I have authority to bind the Corporation



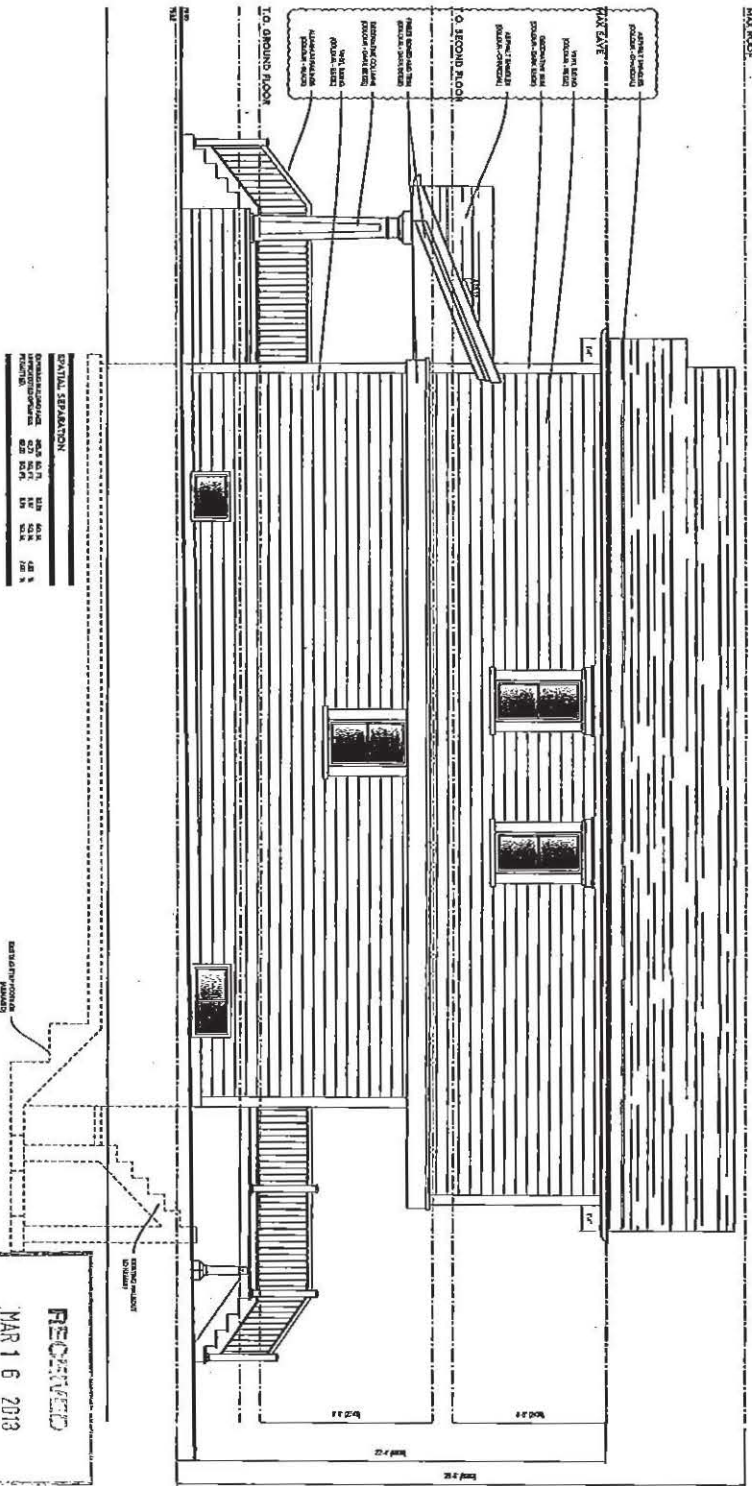








RIGHT ELEVATION



**I-UIS**  
DESIGN STUDIO

1101 BROADWAY  
SUITE 100  
PORTLAND, OREGON 97208  
503.255.1101  
www.i-uis.com

**GENERAL NOTES**

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL RESIDENTIAL CODE BOOK (IRC) AND THE INTERNATIONAL BUILDING CODE (IBC).

2. THE DESIGNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

3. THE DESIGNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY SURVEY DATA AND INFORMATION FROM THE CLIENT.

4. THE DESIGNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY MATERIALS AND LABOR AT THE PROJECT SITE.

5. THE DESIGNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY UTILITIES INFORMATION FROM THE CLIENT.

6. THE DESIGNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY GEOTECHNICAL INFORMATION FROM THE CLIENT.

7. THE DESIGNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY ENVIRONMENTAL INFORMATION FROM THE CLIENT.

8. THE DESIGNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY HISTORICAL INFORMATION FROM THE CLIENT.

9. THE DESIGNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY ARCHITECTURAL INFORMATION FROM THE CLIENT.

10. THE DESIGNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY STRUCTURAL INFORMATION FROM THE CLIENT.

11. THE DESIGNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY MECHANICAL INFORMATION FROM THE CLIENT.

12. THE DESIGNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY ELECTRICAL INFORMATION FROM THE CLIENT.

13. THE DESIGNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PLUMBING INFORMATION FROM THE CLIENT.

14. THE DESIGNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY FIRE PROTECTION INFORMATION FROM THE CLIENT.

15. THE DESIGNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY SAFETY INFORMATION FROM THE CLIENT.

16. THE DESIGNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY ACCESSIBILITY INFORMATION FROM THE CLIENT.

17. THE DESIGNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY ENERGY INFORMATION FROM THE CLIENT.

18. THE DESIGNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY SUSTAINABILITY INFORMATION FROM THE CLIENT.

19. THE DESIGNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY CULTURAL INFORMATION FROM THE CLIENT.

20. THE DESIGNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY COMMUNITY INFORMATION FROM THE CLIENT.

**PERMITS**

THE DESIGNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

1. BUILDING PERMIT

2. ELECTRICAL PERMIT

3. MECHANICAL PERMIT

4. PLUMBING PERMIT

5. FIRE PROTECTION PERMIT

6. SAFETY PERMIT

7. ACCESSIBILITY PERMIT

8. ENERGY PERMIT

9. SUSTAINABILITY PERMIT

10. CULTURAL PERMIT

11. COMMUNITY PERMIT

**REVISIONS**

NO.	DESCRIPTION	DATE
1	...	...
2	...	...
3	...	...
4	...	...
5	...	...
6	...	...
7	...	...
8	...	...
9	...	...
10	...	...

**PROJECT DATA**

PROJECT NAME: ...

PROJECT ADDRESS: ...

PROJECT CITY: ...

PROJECT STATE: ...

PROJECT ZIP: ...

PROJECT PHONE: ...

PROJECT FAX: ...

PROJECT EMAIL: ...

PROJECT WEBSITE: ...

PROJECT SOCIAL MEDIA: ...

PROJECT CONTACT: ...

PROJECT STATUS: ...

PROJECT DATE: ...

PROJECT VERSION: ...

PROJECT SCALE: ...

PROJECT ORIENTATION: ...

PROJECT CLIMATE: ...

PROJECT SOIL: ...

PROJECT GEOTECHNICAL: ...

PROJECT ENVIRONMENTAL: ...

PROJECT HISTORICAL: ...

PROJECT ARCHITECTURAL: ...

PROJECT STRUCTURAL: ...

PROJECT MECHANICAL: ...

PROJECT ELECTRICAL: ...

PROJECT PLUMBING: ...

PROJECT FIRE PROTECTION: ...

PROJECT SAFETY: ...

PROJECT ACCESSIBILITY: ...

PROJECT ENERGY: ...

PROJECT SUSTAINABILITY: ...

PROJECT CULTURAL: ...

PROJECT COMMUNITY: ...

**ADDITIONAL INFORMATION**

PROJECT TYPE: ...

PROJECT PHASE: ...

PROJECT BUDGET: ...

PROJECT SCHEDULE: ...

PROJECT RISK: ...

PROJECT QUALITY: ...

PROJECT SAFETY: ...

PROJECT ACCESSIBILITY: ...

PROJECT ENERGY: ...

PROJECT SUSTAINABILITY: ...

PROJECT CULTURAL: ...

PROJECT COMMUNITY: ...

PROJECT CONTACT: ...

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PROJECT VERSION: ...

PROJECT SCALE: ...

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PROJECT CLIMATE: ...

PROJECT SOIL: ...

PROJECT GEOTECHNICAL: ...

PROJECT ENVIRONMENTAL: ...

PROJECT HISTORICAL: ...

PROJECT ARCHITECTURAL: ...

PROJECT STRUCTURAL: ...

PROJECT MECHANICAL: ...

PROJECT ELECTRICAL: ...

PROJECT PLUMBING: ...

PROJECT FIRE PROTECTION: ...

PROJECT SAFETY: ...

PROJECT ACCESSIBILITY: ...

PROJECT ENERGY: ...

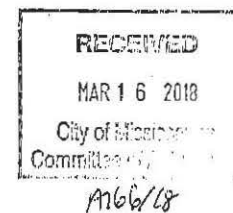
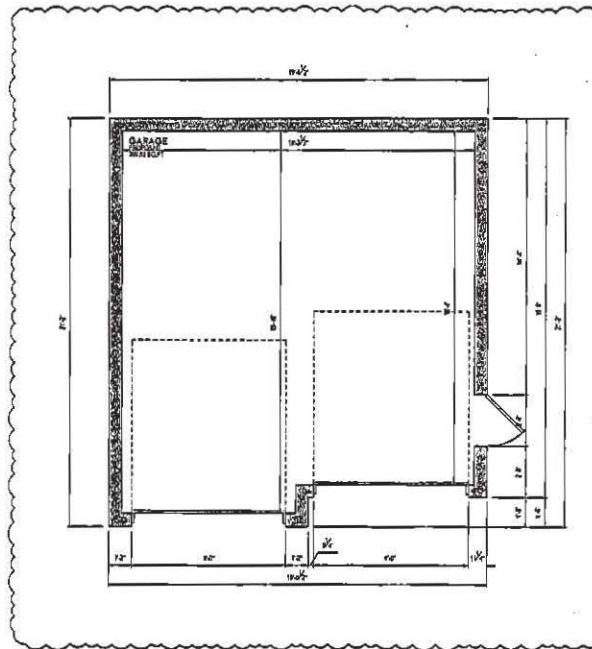
PROJECT SUSTAINABILITY: ...

PROJECT CULTURAL: ...

PROJECT COMMUNITY: ...



ESTABLISHED GRADE CALCULATION				
LENGTH NO.	BEGIN ELEV.	END ELEV.	LENGTH (M)	SL
1	80.20	80.11	3.66	293.37
2	80.11	80.12	3.65	293.22
3	80.12	80.11	3.28	262.78
4	80.11	80.05	3.28	262.68
5	80.06	80.02	3.66	292.95
6	80.02	79.91	3.65	292.67
7	79.91	79.95	2.89	231.00
8	79.95	80.20	2.89	231.42
9	0.00	0.00	0.00	0.00
10	0.00	0.00	0.00	0.00
Total:			26.98	2160.08
EG:			80.06	



GARAGE FLOOR PLAN

**HUIS**  
DESIGN STUDIO

1801 DUNDAS STREET  
EAST, SUITE 100, MISSISSAUGA, ONTARIO L4X 1L3  
TEL: (905) 270-8888 FAX: (905) 270-8889  
WWW.HUISDESIGNSTUDIO.COM

## GENERAL NOTES

1. CHANGES ARE TO BE MADE BY THE CLIENT. THE DESIGNER SHALL BE RESPONSIBLE FOR THE DESIGN AND SHALL BE RESPONSIBLE FOR THE DESIGN AND SHALL BE RESPONSIBLE FOR THE DESIGN.

## DISCLAIMER/NOTIFICATION

1. THE DESIGNER HAS REVIEWED AND ACCEPTED THE DESIGN AND SHALL BE RESPONSIBLE FOR THE DESIGN AND SHALL BE RESPONSIBLE FOR THE DESIGN.

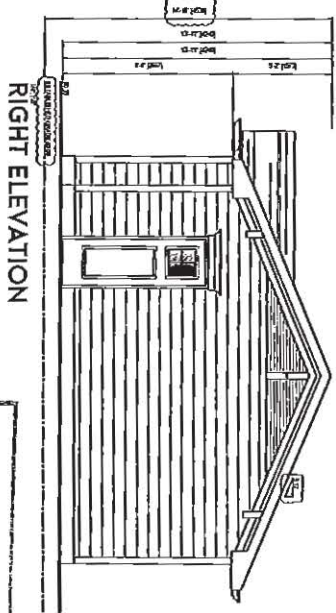
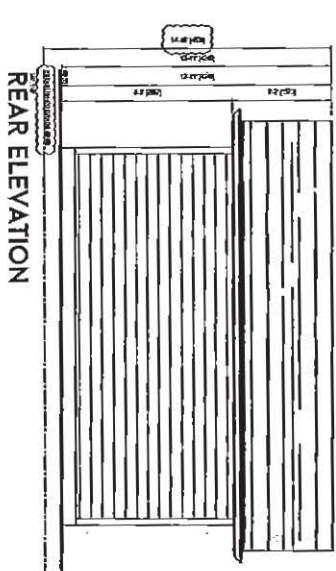
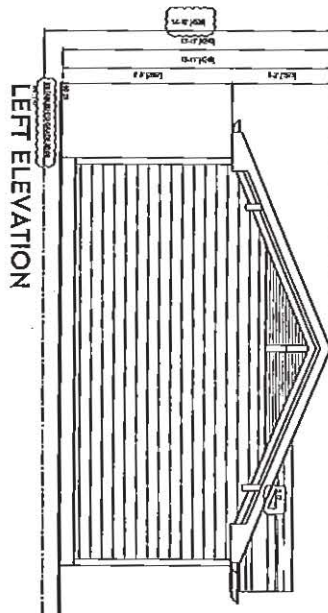
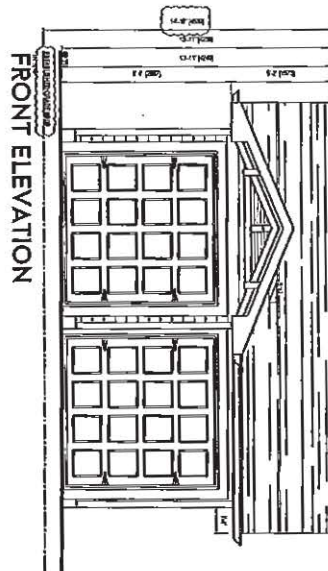
## REVISIONS

1. REVISION NO. 01  
2. REVISION NO. 02  
3. REVISION NO. 03  
4. REVISION NO. 04  
5. REVISION NO. 05  
6. REVISION NO. 06  
7. REVISION NO. 07  
8. REVISION NO. 08  
9. REVISION NO. 09  
10. REVISION NO. 10

## PROJECT SHEET

1. PROJECT NO. 1801  
2. PROJECT NAME: 1801 DUNDAS STREET  
3. PROJECT ADDRESS: 1801 DUNDAS STREET  
4. PROJECT NO. 1801  
5. PROJECT NO. 1801  
6. PROJECT NO. 1801  
7. PROJECT NO. 1801  
8. PROJECT NO. 1801  
9. PROJECT NO. 1801  
10. PROJECT NO. 1801

A301



**RECEIVED**  
MAR 16 2018  
City of Modesto  
Community Development  
A16018

**iHUIS**  
DESIGN STUDIO

1507 28th Street, Modesto, CA 95204  
Tel: 209.521.1111  
www.ihuisdesignstudio.com

**SPECIAL NOTE:**

THIS DRAWING IS THE PROPERTY OF IHUIS DESIGN STUDIO. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF IHUIS DESIGN STUDIO.

**DATE:** 03/16/2018  
**PROJECT:** 1507 28th Street, Modesto, CA 95204  
**CLIENT:** City of Modesto  
**ARCHITECT:** iHUIS DESIGN STUDIO  
**SCALE:** 1/8" = 1'-0"

**REVISIONS:**

NO.	DATE	DESCRIPTION
1	03/16/2018	Initial Design

**APPROVED:**

\_\_\_\_\_  
iHUIS DESIGN STUDIO

**SCALE:**

1/8" = 1'-0"

**PROJECT TITLE:** 1507 28th Street, Modesto, CA 95204  
**PROJECT NO.:** 1507 28th Street, Modesto, CA 95204  
**ARCHITECT:** iHUIS DESIGN STUDIO  
**SCALE:** 1/8" = 1'-0"

Decision of the Mississauga Committee of Adjustment under  
Section 45(1) OR (2) of The Planning Act R.S.O. 1990, c.P.13, as amended.  
Application by TYLER GOSSE for the property located at **29 PORT STREET WEST**.  
Date of Hearing on Thursday March 8, 2018  
Date Decision Signed by the Committee March 15, 2018

No Member declared a pecuniary interest for this application.

### **APPLICATION DETAILS**

The applicant requests the Committee to authorize a minor variance to permit the construction of a detached garage and a second floor addition on the existing dwelling proposing:

1. A detached garage area of 48.50m<sup>2</sup> (approx. 522.05sq.ft) whereas By-law 0225-2007, as amended, permits a maximum detached garage area of 30m<sup>2</sup> (approx. 322.92sq.ft) in this instance;
2. A detached garage height of 4.78m (approx. 15.68ft) whereas By-law 0225-2007, as amended, permits a maximum detached garage height of 4.60m (approx. 15.09ft) in this instance;
3. A side yard of 1.41m (approx. 4.63ft) whereas By-law 0225-2007, as amended, requires a minimum side yard of 3.00m (approx. 9.84ft) in this instance;
4. Two garages (a carport and a detached garage) whereas By-law 0225-2007, as amended, permits only 1 detached or 1 attached garage per lot in this instance; and
5. A carport having a rectangular area of 3.65m by 4.61m (approx. 11.98ft by 15.12ft) whereas By-law 0225-2007, as amended, requires a minimum unobstructed area for parking of 2.75m by 5.2m by 2.0m (approx. 9.02ft by 17.06ft by 6.56ft) in this instance.

Mr. W. Oughtred, authorized agent, attended and presented the application to permit the construction of an addition on the existing dwelling.

### **COMMENTS**

The Secretary – Treasurer noted the comments received from:

- City of Mississauga, Planning and Building Department (dated March 2, 2018)
- City of Mississauga, Transportation and Works Department (dated March 1, 2018)
- City of Mississauga, Community Services Department, Culture Division (dated March 6, 2018)
- Region of Peel (dated March 7, 2018)

### **CORRESPONDENCE & DISCUSSION**

The Secretary – Treasurer noted the comments received from:

- Correspondence was received from the following residents who objected to the application: 26 Bay Street, 31 Port Street, 25 Mississauga Road South, 33 Mississauga Road South, and 43 Mississauga Road South.

The resident of 26 Bay Street appeared before the Committee and requested a deferral of the application.



Accordingly, the Committee resolves to refuse the request.

MOVED BY: D. Kennedy      SECONDED BY: P. Quinn      CARRIED

The Decision of the Committee is:

**APPLICATION REFUSED:**

To permit the construction of a detached garage and a second floor addition on the existing dwelling proposing:

1. A detached garage area of 48.50m<sup>2</sup> whereas By-law 0225-2007, as amended, permits a maximum detached garage area of 30m<sup>2</sup> in this instance;
2. A detached garage height of 4.78m whereas By-law 0225-2007, as amended, permits a maximum detached garage height of 4.60m in this instance;
3. A side yard of 1.41m whereas By-law 0225-2007, as amended, requires a minimum side yard of 3.00m in this instance;
4. Two garages (a carport and a detached garage) whereas By-law 0225-2007, as amended, permits only 1 detached or 1 attached garage per lot in this instance; and
5. A carport having a rectangular area of 3.65m by 4.61m whereas By-law 0225-2007, as amended, requires a minimum unobstructed area for parking of 2.75m by 5.2m by 2.0m in this instance.

Committee Decision dated at the City of Mississauga on March 15, 2018

<b>ABSENT</b> S. PATRIZIO	<u>"D. GEORGE"</u> D. GEORGE
<u>"J. ROBINSON"</u> J. ROBINSON (CHAIR)	<u>"D. KENNEDY"</u> D. KENNEDY
<b>ABSENT</b> J. PAGE	<u>"D. REYNOLDS"</u> D. REYNOLDS
<u>"P. QUINN"</u> P. Quinn	

I certify this is copy of the decision of the Committee's decision given on March 15, 2018.

For a signed copy of this document

"S. KENNEY"

SEAN KENNEY - SECRETARY-TREASURER

please call 905-615-3200 ext. 2408

or email

[Committee.Adjustment@mississauga.ca](mailto:Committee.Adjustment@mississauga.ca)

A copy of Section 45 of the Planning Act, as amended, is attached.

This decision is subject to appeal to the Ontario Municipal Board by filing with the Secretary-Treasurer of the Committee of Adjustment a written notification, giving reasons for the appeal, accompanied with the prescribed fee on or before **April 4, 2018**.

**NOTES:**

1. A Development Charge may be payable prior to the issuance of a Building Permit.
2. Further approvals from the City of Mississauga may be required i.e. a Building Permit, a Zoning Certificate, a License, etc.





City of Mississauga  
**Memorandum**



---

Date: 2018/03/20  
To: Chair and Members of Heritage Advisory Committee  
From: Mumtaz Alikhan, Legislative Coordinator  
Meeting Date: 2018/04/10  
Subject: 2018 Ontario Heritage Conference - June 7 - 9, 2018

---

This year, the 2018 Ontario Heritage Conference is being held in Sault Saint Marie from June 7 to 9, 2018. Conference details can be found here: <http://www.ontarioheritageconference.ca/>

Approval will be required for a maximum of two Citizen Members of the Heritage Advisory Committee to attend in order to cover approximately \$300 for registration fees, approximately \$300 for travel costs, approximately \$400 for accommodation, and \$225 per diem costs (\$75 per day), for an approximate total of \$1,225.00 per person.

The expenditure will subsequently require approval by General Committee and adoption by Council.

**Attachments**

Appendix 1: Conference Announcement

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Prepared by: Mumtaz Alikhan, Legislative Coordinator

# 2018 Ontario Heritage Conference June 7-9, 2018 ~ Sault Ste. Marie, ON



## Ontario Heritage Conference Sault Ste. Marie 2018

The Sault Ste. Marie Municipal Heritage Committee invites and welcomes you to the 2018 Ontario Heritage Conference from June 7th to 9th. The inaugural conference was held in Sault Ste. Marie in 1988 and we are excited and honoured to have the event return to our city for its 30th anniversary!

Sault Ste. Marie is situated at the hub of three of the Great Lakes on the shores of the historic St. Marys River rapids, where for centuries Indigenous Peoples gathered to hold annual meetings, trade, and fish. A junction point for hardy fur traders and intrepid explorers on their westward trek, Sault Ste. Marie is one of the oldest European settlements in the province.

We have chosen "What Have We All Achieved?" as the overarching theme of the conference to give us the opportunity to reflect on our past efforts and also to look ahead with renewed vigour as we continue our work to preserve heritage in our respective communities.

The conference will be a time to showcase the changes in our community over the past 30 years, learn from our colleagues and share successes and challenges. Conference attendees can expect a varied itinerary featuring inspiring guest speakers, visits to local heritage landmarks and opportunities to experience all that Sault Ste. Marie has to offer.

We look forward to seeing you in June!

Jeanette Cowen  
Conference Co-Chair

Lloyd Beilhartz  
Conference Co-Chair

**Ministry of Government and  
Consumer Services**

**Ministère des Services  
gouvernementaux et des Services aux  
consommateurs**



ServiceOntario

ServiceOntario

Central Production and  
Verification Services Branch

Direction des services centraux de  
production et de vérification

20 Dundas St. West, 4<sup>th</sup> Floor  
Toronto ON M5G 2C2

20 rue Dundas Ouest, 4<sup>e</sup> étage  
Toronto ON M5G 2C2

Telephone: (416) 314-4879  
Facsimile: (416) 314-4899

Téléphone: (416) 314-4879  
Télécopieur: (416) 314-4899

March 26, 2018

Mr. Bertrand Duclos, Heritage Outreach Consultant  
Program Planning and Delivery Unit  
c/o Culture Services Unit  
Ministry of Tourism, Culture and Sport  
401 Bay Street, Suite 1700  
Toronto, ON M7A 0A7

Dear Mr. Duclos:

In reply to your recent request made on behalf of Municipal Heritage Committees and their assistants, permission is hereby granted to examine closed parcel registers, copies of documents originally registered in paper and copies of plans in the registry office in the Province of Ontario subject to the terms and conditions set out therein.

You represent and warrant that the above-named organization is a non-profit organization, and, the information obtained will be used only for research of a non-commercial historical nature.

Permission to investigate land registry office records does not include the supply of copies of records, for which, you must pay the requisite photocopy charge. Also, please be advised that a statutory fee is required to access current parcel registers and documents through the automated system.

Land registration documents and records you access may be subject to copyright, license and other rights and interests. You may not further use, reproduce, post, modify or distribute any records without first seeking the appropriate consents or licenses.

A search of the historical abstract index records must not be done during peak periods of operations. You should consult with the on-site Operations Manager who will identify those peak periods.

Solicitors and title searchers and other land professionals who must make a title search in order to complete a land transaction, must be given priority with respect to the records. Where title records being searched are required by such persons, those books must be given up upon request.



In order to limit the demands on the land registry office staff, the number of records to be viewed, copied or produced in one day may be limited at the discretion of the Operations Manager.

All individuals, using this Letter of Authority, must identify themselves to the Land Registry Office Operations Manager, present a copy of this letter and make known to the staff the particular project on which they are working. Use of this permission letter by you, any representatives or members of your organization is evidence of agreement to these terms by those persons.

Through a copy of this letter, I am advising the Operations Manager that I have approved your request as noted above. Please contact the Operations Manager in the land registry office to arrange convenient dates and times. This authorization will be in effect up to March 31, 2019 and is subject to revocation in the sole discretion of the Ministry.

Yours sincerely,

A handwritten signature in black ink, appearing to read 'Denis Blais', with a stylized flourish at the end.

Denis Blais  
Director  
Central Production and Verification Services Branch

Cc: Michelle Gittens, Director, Central Region, Retail Offices Branch  
Louise Larocque, Director, North Region, Retail Offices Branch  
Tara Meagher, Director, Southwest Region, Retail Offices Branch  
Ann Gendron, Director (Acting), Southeast Region, Retail Offices Branch



AECOM  
30 Leek Cres., 4<sup>th</sup> Floor  
Richmond Hill, ON  
L4B 4N4  
Canada  
www.aecom.com

905-882-4401 tel  
905-882-4399 fax

March 21, 2018

George Carlson  
Chair  
Mississauga Heritage Advisory Committee  
300 City Centre Drive,  
Mississauga, ON L5B 3C1

Dear Mr. Carlson:

**Re: Notice of Design and Construction Report Submission – Contract 1  
Queen Elizabeth Way (QEW) Improvements from West of Etobicoke Creek to The East  
Mall (Contract 1), Ontario Ministry of Transportation  
Detail Design and Class Environmental Assessment Study - G.W.P. 2432-13-00**

---

AECOM has been retained by the Ontario Ministry of Transportation (MTO) to undertake a Detail Design and Class Environmental Assessment (EA) Study for improvements to the Queen Elizabeth Way (QEW) from east of Cawthra Road to The East Mall. The project limits are located in the City of Mississauga, City of Toronto and Region of Peel. The project has been separated into two (2) construction contracts. This notice pertains to Contract 1 (refer to the enclosed *Notice of Design and Construction Report Submission*).

The proposed Detail Design improvements include:

- Replacement of the Etobicoke Creek Bridge
- Rehabilitation of The West Mall Ramp bridges over Etobicoke Creek and QEW
- Rehabilitation of the Brown's Line Overpasses
- Localized QEW widening to accommodate operational and safety improvements and for construction staging;
- Drainage improvements
- Watermain and sanitary sewer works
- Modifications to / installation of retaining walls, noise barriers, sign-structures, and illumination
- Pavement rehabilitation from west of Etobicoke Creek to The East Mall
- Etobicoke Creek at the QEW and the area under the QEW / Etobicoke Creek Bridge will be closed for the duration of construction within the MTO right-of-way.

This project is following the approved planning process for a Group 'B' project under the *MTO Class EA for Provincial Transportation Facilities (2000)*, with the opportunity for public input throughout the project.

A Design and Construction Report (DCR) has been prepared for Contract 1 and is available for a 30-day review period. The DCR documents the study process, design details, environmental impacts and mitigation measures, and a summary of consultation undertaken.

The DCR is available for a 30-day public review period commencing March 22, 2018 and ending April 20, 2018. The DCR may be viewed at several locations throughout the study area as listed in the enclosed *Notice of Design and Construction Report Submission* and is available on the project website at: [QEWdixieDetailDesign.ca](http://QEWdixieDetailDesign.ca). Interested persons are encouraged to review the DCR and provide comments by April 20, 2018.

If you wish to obtain additional information about the project please visit the Project Website at [QEWdixieDetailDesign.ca](http://QEWdixieDetailDesign.ca)

If you would like to provide comments, or if you require further information regarding this project, please feel free to contact me by phone at 905-882-4401 ext. 1805 or email at [ProjectTeam@QEWdixieDetailDesign.ca](mailto:ProjectTeam@QEWdixieDetailDesign.ca). You may also contact the MTO Project Manager, Wan Chi Ma, by phone at 416-235-4068 or by email at [ProjectTeam@QEWdixieDetailDesign.ca](mailto:ProjectTeam@QEWdixieDetailDesign.ca)

Sincerely,  
**AECOM**



**Holly Wright, M.E.B., MCIP, RPP**  
Senior Environmental Planner

cc.	W C. Ma	-MTO Project Manager
	C. Barber	-MTO Senior Environmental Planner
	C. Schueler	-AECOM Project Manager
	D. Osorio	-AECOM Deputy Project Manager

Encl. Notice of Design and Construction Report Submission

**NOTICE OF DESIGN AND CONSTRUCTION REPORT SUBMISSION**  
**Queen Elizabeth Way (QEW) Improvements from West of Etobicoke Creek to The East Mall (Contract 1)**  
**Detail Design and Class Environmental Assessment Study – G.W.P. 2432-13-00**

**THE PROJECT**

AECOM has been retained by the Ontario Ministry of Transportation (MTO) to undertake a Detail Design and Class Environmental Assessment (EA) Study for improvements to the Queen Elizabeth Way (QEW) from east of Cawthra Road to The East Mall. The project limits are located in the City of Mississauga, City of Toronto and Region of Peel. The project has been separated into two (2) construction contracts. This notice pertains to Contract 1.

**PROPOSED IMPROVEMENTS – CONTRACT 1 (from west of Etobicoke Creek to The East Mall)**

- Replacement of the Etobicoke Creek Bridge;
- Rehabilitation of The West Mall Ramp bridges over Etobicoke Creek and QEW;
- Rehabilitation of the Brown's Line Overpasses;
- Localized QEW widening to accommodate operational and safety improvements and for construction staging;
- Drainage improvements;
- Watermain and sanitary sewer works;
- Modifications to / installation of retaining walls, noise barriers, sign-structures, and illumination;
- Pavement rehabilitation from west of Etobicoke Creek to The East Mall; and,
- Etobicoke Creek at the QEW and the area under the QEW / Etobicoke Creek Bridge will be closed for the duration of construction within the MTO right-of-way.

A Transportation Environmental Study Report (TESR) was completed in January 2016 for the *QEW from Evans Avenue to Cawthra Road (W.O. 09-20003)* and approved by the Minister of the Environment and Climate Change on September 25, 2017. The recommendations from the TESR have been built upon as part of the Detail Design study.

**THE PROCESS**

This project is following the approved planning process for a Group 'B' project under the MTO *Class EA for Provincial Transportation Facilities* (2000). A Public Information Centre (PIC) was held on December 18, 2017.

**DESIGN AND CONSTRUCTION REPORT PUBLIC REVIEW & COMMENTS**

A Design and Construction Report (DCR) has been prepared for Contract 1 which documents the study process, design details, environmental impacts and mitigation measures, and a summary of consultation undertaken. The DCR is available for a 30-day public review period commencing **March 22, 2018** at the following locations and is also available on the project website at **QEW Dixie Detail Design.ca**. A separate DCR will be prepared for Contract 2 at a later date.

<b>Ministry of Transportation</b> Central Region 159 Sir William Hearst Avenue, 3 <sup>rd</sup> Floor Toronto, ON M3M 0B7	<b>Region of Peel – Regional Clerk's Office</b> 10 Peel Centre Drive, Suite A Brampton, ON L6T 4B9	<b>Toronto Public Library – Alderwood Branch</b> 2 Orianna Drive Toronto, ON M8W 4Y1
<b>City of Mississauga Lakeview Library</b> 1110 Atwater Avenue Mississauga, ON L5E 1M9	<b>City of Toronto - City Clerk's Office</b> Toronto City Hall 100 Queen Street West, 13 <sup>th</sup> Floor Toronto, ON M5H 2N2	<b>City of Mississauga - City Clerk's Office</b> 300 City Centre Drive Mississauga, ON L5B 3C1
<b>Ministry of the Environment and Climate Change – Central Region Office</b> 5775 Yonge Street, 8 <sup>th</sup> Floor North York, ON M2M 4J1		<b>City of Mississauga Burnhamthorpe Library</b> 3650 Dixie Road, Suite 101 Mississauga, ON L4Y 3V9

**COMMENTS**

Interested persons are encouraged to review the DCR and provide comments by **April 20, 2018**. To obtain additional information or to provide comments, please contact:

**Wan Chi Ma, P.Eng.**  
Project Manager  
Ministry of Transportation – Central Region  
Highway Engineering, Peel and Halton  
159 Sir William Hearst Avenue, 4<sup>th</sup> Floor  
Toronto, ON M3M 0B7  
Tel: 416-235-4068; Fax: 416-235-3576

**Christopher Schueler, P.Eng.**  
Senior Project Manager  
AECOM  
30 Leek Crescent, 4<sup>th</sup> Floor  
Richmond Hill, ON L4B 4N4  
Tel: 905-882-4401  
Fax: 905-882-4399

**Holly Wright, M.E.B., MCIP, RPP**  
Senior Environmental Planner  
AECOM  
30 Leek Crescent, 4<sup>th</sup> Floor  
Richmond Hill, ON L4B 4N4  
Tel: 905-882-4401  
Fax: 905-882-4399

**Email: [ProjectTeam@QEW Dixie Detail Design.ca](mailto:ProjectTeam@QEW Dixie Detail Design.ca)**

**Or visit us at: [QEW Dixie Detail Design.ca](http://QEW Dixie Detail Design.ca)**

Comments are being collected to assist MTO with the design and to meet the requirements of the *Ontario Environmental Assessment Act*. This material will be maintained on file for use during the study and may be included in project documentation. Information collected will be used in accordance with the *Freedom of Information and Protection of Privacy Act*. With the exception of personal information, all comments will become part of the public record. If you have any accessibility requirements in order to participate in this project, please contact one of the Project Team members listed above.

Renseignements en français disponibles en composant le (905) – 882-4401 poste 1854 (Karen Cooper) ou [karen.cooper@aecom.com](mailto:karen.cooper@aecom.com)





## AVIS DE SOUMISSION DU RAPPORT DE CONCEPTION ET DE CONSTRUCTION

**Améliorations à l'autoroute Queen-Elizabeth (QEW) de l'ouest du ruisseau Etobicoke jusqu'au East Mall (contrat 1)  
Étude de conception détaillée et d'évaluation environnementale de portée générale – G.W.P. 2432-13-00**

### LE PROJET

Le ministère des Transports de l'Ontario (MTO) a retenu les services d'AECOM afin d'entreprendre l'étude de conception détaillée et l'évaluation environnementale (ÉE) de portée générale pour les améliorations à l'autoroute Queen-Elizabeth (QEW) de l'est de la rue Cawthra jusqu'au East Mall. Les limites du projet sont situées dans la cité de Mississauga, dans la cité de Toronto et dans la région de Peel. Le projet a été séparé en deux (2) contrats de construction. Le présent avis concerne le contrat 1.

### AMÉLIORATIONS PROPOSÉES – CONTRAT 1 (de l'ouest du ruisseau Etobicoke Creek jusqu'au East Mall)

- Remplacement du pont du ruisseau Etobicoke;
- Remise en état des ponts de la bretelle du West Mall sur le ruisseau Etobicoke et la QEW;
- Remise en état des passages supérieurs de la Brown's Line;
- Élargissement localisé de la QEW afin de permettre les améliorations opérationnelles et sécuritaires, et pour la mise en place du chantier de construction;
- Améliorations du drainage;
- Travaux à la canalisation principale et au réseau séparatif;
- Modifications et installation de murs de soutènement, d'écrans antibruit, de structures de signalisation et de lampadaires;
- Remise en état de la chaussée de l'ouest du ruisseau Etobicoke jusqu'au East Mall;
- Fermeture du ruisseau Etobicoke et de la section sous le pont de la QEW et du ruisseau Etobicoke durant les travaux de construction dans l'emprise du MTO.

Un rapport d'étude environnementale a été réalisé en janvier 2016 pour la QEW à partir de l'avenue Evans jusqu'à la rue Cawthra (W.O. 09-20003) et approuvé par le ministre de l'Environnement et de l'Action en matière de changement climatique le 25 septembre 2017. Les recommandations du rapport ont servi à l'étude de conception détaillée.

### LE PROCESSUS

Ce projet fait suite au processus de planification approuvé pour les projets du groupe « B » dans le cadre de l'*Évaluation environnementale pour les installations provinciales de transport* (2000). Un centre d'information public a eu lieu le 18 décembre 2017.

### PÉRIODE D'EXAMEN ET DE FORMULATION DE COMMENTAIRES SUR LE RAPPORT DE CONCEPTION ET DE CONSTRUCTION

Un rapport de conception et de construction a été préparé pour documenter le processus de l'étude, les détails de la conception, les impacts environnementaux et les mesures d'atténuation du contrat 1, puis un sommaire de consultation a été réalisé. Le rapport pourra être consulté pour une période d'examen de 30 jours qui débutera le **22 mars 2018** aux emplacements suivants, et il sera également accessible sur le site Web du projet au [QEW.DixieDetailDesign.ca](http://QEW.DixieDetailDesign.ca). Un rapport distinct sera préparé pour le contrat 2 à une date ultérieure.

<b>Ministère des Transports</b> Région du Centre 159, avenue Sir William Hearst, 3 <sup>e</sup> étage Toronto (Ontario) M3M 0B7	<b>Région de Peel – Bureau du greffier régional</b> 10, rue Peel Centre, bureau A Brampton (Ontario) L6T 4B9	<b>Bibliothèque publique de Toronto – Succursale d'Alderwood</b> 2, rue Orianna Toronto (Ontario) M8W 4Y1
<b>Bibliothèque Lakeview – Cité de Mississauga</b> 1110, avenue Atwater Mississauga (Ontario) L5E 1M9	<b>Cité de Toronto – Bureau du greffier municipal</b> Hôtel de ville de Toronto 100, rue Queen Ouest, 13 <sup>e</sup> étage Toronto (Ontario) M5H 2N2	<b>Cité de Mississauga – Bureau du greffier municipal</b> 300, rue City Centre Mississauga (Ontario) L5B 3C1
<b>Ministère de l'Environnement et de l'Action en matière de changement climatique – Bureau de la région du Centre</b> 5775, rue Yonge, 8 <sup>e</sup> étage North York (Ontario) M2M 4J1		<b>Bibliothèque Burnhamthorpe – Cité de Mississauga</b> 3650, rue Dixie, bureau 101 Mississauga (Ontario) L4Y 3V9

### COMMENTAIRES

Les personnes intéressées sont invitées à consulter le rapport et à fournir leurs commentaires au plus tard le **20 avril 2018**. Pour obtenir de plus amples renseignements ou pour fournir des commentaires, veuillez prendre contact avec l'une des personnes ci-dessous :

**Wan Chi Ma, ing.**  
Gestionnaire de projet  
Ministère des Transports, région du Centre  
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**Courriel : [ProjectTeam@QEW.DixieDetailDesign.ca](mailto:ProjectTeam@QEW.DixieDetailDesign.ca)**

**Ou visitez-nous au : [QEW.DixieDetailDesign.ca](http://QEW.DixieDetailDesign.ca)**

Les commentaires sont recueillis pour aider le ministère des Transports à assurer la conception et à respecter les exigences de la Loi sur les évaluations environnementales de l'Ontario. Cette information sera conservée au dossier pour être utilisée pendant l'étude et pourra être incluse dans la documentation du projet. L'information recueillie sera utilisée conformément à la *Loi sur l'accès à l'information et la protection de la vie privée*. Tous les commentaires, à l'exception des renseignements personnels, feront partie du dossier public. Si vous avez des exigences en matière d'accessibilité pour participer à ce projet, veuillez prendre contact avec l'un des membres de l'équipe du projet nommés ci-dessus.

Pour obtenir des renseignements en français, composez le 905 882-4401 (Karen Cooper) ou écrivez à [karen.cooper@aecom.com](mailto:karen.cooper@aecom.com)

