

---

## Heritage Advisory Committee

**Date**

2018/03/06

**Time**

9:30 AM

**Location**

Civic Centre, Council Chamber,  
300 City Centre Drive, Mississauga, Ontario, L5B 3C1 Ontario

**Members**

Councillor George Carlson, Ward 11 (Chair)

Rick Mateljan, Citizen Member (Vice-Chair)

Councillor Carolyn Parrish, Ward 5

Michael Battaglia, Citizen Member

Elizabeth Bjarnason, Citizen Member

Robert Cutmore, Citizen Member

Lindsay Graves, Citizen Member

James Holmes, Citizen Member

Cameron McCuaig, Citizen Member

Melissa Stolarz, Citizen Member

Matthew N. Wilkinson, Citizen Member

**Contact**

Mumtaz Alikhan, Legislative Coordinator, Legislative Services

905-615-3200 ext. 5425

[mumtaz.alikhan@mississauga.ca](mailto:mumtaz.alikhan@mississauga.ca)

**NOTE:** To support corporate waste reduction efforts the large  
appendices in this agenda can be viewed at:

<http://www.mississauga.ca/portal/cityhall/heritageadvisory.ca>

**Find it Online**

<http://www.mississauga.ca/portal/cityhall/heritageadvisory>



- 
1. CALL TO ORDER
  2. APPROVAL OF AGENDA
  3. DECLARATION OF CONFLICT OF INTEREST
  4. MINUTES OF PREVIOUS MEETING
    - 4.1. Heritage Advisory Committee Minutes of February 6, 2018
  5. DEPUTATIONS – Nil.
  6. PUBLIC QUESTION PERIOD - 15 Minute Limit (5 Minutes per Speaker)  
Pursuant to Section 42 of the Council Procedure By-law 0139-2013, as amended the Heritage Advisory Committee may grant permission to a member of the public to ask a question of the Committee with the following provisions:
    1. The question must pertain to a specific item on the current agenda and the speaker will state which item the question is related.
    2. A person asking a question shall limit any background explanation to two (2) statements, followed by the question.
    3. The total speaking time shall be five (5) minutes maximum per speaker.
  7. MATTERS TO BE CONSIDERED
    - 7.1. Request to Alter a Heritage Designated Property: 1050 Old Derry Road (Ward 11)
    - 7.2. Request to Alter a Heritage Designated Property: 34 John Street South (Ward 1)
    - 7.3. Request to Demolish a Heritage Listed Property: 1775 Fifeshire Court (Ward 8)
    - 7.4. Heritage By-law Revision
    - 7.5. 2018 Work Plan
    - ADDITIONAL ITEMS**
      - 7.6. Request to Alter a Heritage Designated Property: 5520 Hurontario Street (Ward 5)
      - 7.7. Committee of Adjustment Minor Variance Application - 29 Port Street West (Ward 1)
  8. SUBCOMMITTEE UPDATES
    - 8.1. Heritage Designation Sub-Committee
    - 8.2. Public Awareness Sub-Committee



---

9. INFORMATION ITEMS

9.1. Mayor's Letter re Federal Action on Conservation of Heritage Properties dated February 8, 2018

10. OTHER BUSINESS

11. DATE OF NEXT MEETING - April 10, 2018

12. ADJOURNMENT



# City of Mississauga Minutes



---

## Heritage Advisory Committee

### Date

2018/02/06

### Time

9:30 AM

### Location

Civic Centre, Council Chamber,  
300 City Centre Drive, Mississauga, Ontario, L5B 3C1 Ontario

### Members Present

Councillor George Carlson, Ward 11 **(Chair)**  
Rick Mateljan, Citizen Member **(Vice-Chair)**  
Councillor Carolyn Parrish, Ward 5  
Elizabeth Bjarnason, Citizen Member  
Robert Cutmore, Citizen Member  
James Holmes, Citizen Member  
Cameron McCuaig, Citizen Member  
Melissa Stolarz, Citizen Member  
Matthew N. Wilkinson, Citizen Member

### Members Absent

Michael Battaglia, Citizen Member  
Lindsay Graves, Citizen Member

### Staff Present

Mark Warrack, Manager, Culture and Heritage Planning  
Paula Wubbenhorst, Heritage Planner, Culture Division  
Mumtaz Alikhan, Legislative Coordinator

### Find it online

<http://www.mississauga.ca/portal/cityhall/heritageadvisory>



1. CALL TO ORDER – 9:30 am

2. APPROVAL OF AGENDA  
**APPROVED** (Councillor Parrish)

3. DECLARATION OF CONFLICT OF INTEREST

R. Mateljan declared a conflict with Item 7.5 on the Agenda.

4. MINUTES OF PREVIOUS MEETING

4.1. Approval of Minutes of Meeting held on January 9, 2018

**APPROVED** (R. Mateljan)

5. DEPUTATIONS - Nil

6. PUBLIC QUESTION PERIOD - Nil

7. MATTERS TO BE CONSIDERED

7.1. Request to Alter a Heritage Designated Property: 5155 Mississauga Road (Ward 11)

Owen Scott, CHC Limited, spoke to a minor improvement to the site plan for the Barber House site, and a sketch outlining semi-detached dwellings to mimic a detached dwelling as an alternative to address compliance with the Mississauga Scenic Route Policies. He requested the Committee's approval of the amendments in principle.

Councillor Carlson stated that townhomes are discouraged flanking Mississauga Road and expressed support for the option outlined by Mr. Scott in order to comply with the Mississauga Road Scenic Route Policies. The Committee agreed to the alternate proposal.

**RECOMMENDATION**

HAC-0017-2018

That the proposed alteration to 5155 Mississauga Road, as per the Corporate Report from the Commissioner of Community Services, dated January 11, 2018 be approved subject to the following conditions:

1. That the outstanding archaeological work related to the corresponding development application be completed, including the submission of corresponding letters from the Ministry of Tourism and Culture, confirming that all archaeological resource concerns have met licensing and resource conservation requirements; and
2. That a mason and carpenter with proven experience in heritage conservation



and restoration, as well as a building mover with proven experience relocating heritage buildings, approved by the Director, Culture Division, oversee the project; and

3. That final full size building permit and engineering drawings, drawn to scale and dimensioned, with all interventions and impacts clearly marked, materials indicated, be submitted to Heritage Planning for review and comment; and
4. That an interpretation plan be submitted, to the satisfaction of the Director, Culture Division, and
5. That the project is subject to a letter of credit in the amount of \$235,000 to ensure that the conservation plan, including the outbuilding relocation, is satisfactorily completed, not to be released until the building is ready for occupancy and the interpretation plan carried out; and
6. That the owner erect a sign, satisfactory to the Director, Culture Division, clearly visible along Mississauga Road, indicating that the house is in the process of being restored for future use; and
7. That if any changes result from other City review and approval requirements, such as but not limited to building permit, committee of adjustment or site plan approval, a new heritage permit application will be required. The applicant is required to contact Heritage Planning at that time to review the changes prior to obtaining other approvals and commencing construction.
8. That an alternate proposal, with a semi-detached or detached dwelling fronting Mississauga Road, rather than townhouses, at the northwest end of the property, be approved, subject to the conditions outlined above.

**APPROVED** (Councillor C. Parrish)

- 7.2. Request to Alter a Heritage Designated Property: 1352 Lakeshore Road East (Ward 1)  
Corporate Report dated January 11, 2018, from the Commissioner of Community Services.

**RECOMMENDATION**

HAC-0018-2017

That the request to alter the property at 1352 Lakeshore Road East as per the Corporate Report from the Commissioner of Community Services dated January 11, 2018, be approved.

**APPROVED** (R. Cutmore)

- 7.3. Request to Alter a Heritage Designated Property: 31 Lakeshore Road East (Ward 1)



Corporate Report dated January 11, 2018, from the Commissioner of Community Services.

**RECOMMENDATION**

HAC-0019-2018

That the request to alter the property at 31 Lakeshore Road East as per the Corporate Report from the Commissioner of Community Services dated January 11, 2018, be approved.

**APPROVED** (J. Holmes)

- 7.4. Request to Alter a Heritage Designated Property: 1011 Old Derry Road (Ward 11)  
Corporate Report dated January 11, 2018 from the Commissioner of Community Services.

Jim Holmes noted that this request will not affect the public realm and expressed his support.

**RECOMMENDATION**

HAC-0020-2018

That the request to alter the property at 1011 Old Derry Road as per the Corporate Report from the Commissioner of Community Services dated January 11, 2018, be approved.

**APPROVED** (J. Holmes)

At this point, R. Mateljan left the meeting for a conflict with Item 7.5.

- 7.5. Request to Alter a Heritage Designated Property: 7059 Second Line West (Ward 11)  
Corporate Report dated January 11, 2018, from the Commissioner of Community Services.

**RECOMMENDATION**

HAC-0021-2018

That the request to alter the property at 7059 Second Line West (Ward 11) as per the Corporate Report from the Commissioner of Community Services dated January 11, 2018, be approved.

**APPROVED** (J. Holmes)

Mr. Mateljan returned to the meeting.

- 7.6. Request to Demolish a Heritage Listed Property: 1570 Stavebank Road (Ward 1)  
Corporate Report dated January 11, 2018, from the Commissioner of Community Services.



**RECOMMENDATION**

HAC-0022-2018

That the property at 1570 Stavebank Road, which is listed on the City's Heritage Register, is not worthy of heritage designation, and consequently, that the owner's request to demolish proceed through the applicable process.

**APPROVED** (M. Wilkinson)7.7. **Heritage Planning 2017 Year in Review**

Corporate Report dated January 11, 2018, from the Commissioner of Community Services.

In response to C. McCuaig regarding the Work Plan for 2018, Paula Wubbenhorst, Heritage Planner, advised that it will be brought to a future Committee meeting.

**RECOMMENDATION**

HAC-0023-2018

That the Corporate Report dated January 11, 2018 from the Commissioner of Community Services, entitled "Heritage Planning 2017 Year in Review," be received for information.

**RECEIVED** (C. McCuaig)7.8. **Response to HAC-0041-2017 analysis of the Heritage Property Grant Program**

Councillor Parrish requested that staff look into the possibility of unused funds from the Grant Program to be retained for heritage purposes in the Arts Reserve Fund. She felt that there will be more demand from the community if the capped amount is higher than \$5,000.

Mr. Mateljan noted that the Program works well for small projects but does not work effectively for the large ones which may have one general contractor and the City's grant process must be followed which requires multiple quotes. He said that it would be easier for larger projects to be refunded the building permit fee.

Andrew Douglas, Grants Officer, Culture Division, noted that the uptake has been small so the rationale was not there for an increase. Councillor Parrish directed that staff review the demand in the Town of Oakville and the City of Burlington because their maximum available funding is capped at \$15,000.

**RECOMMENDATION**

HAC-0024-2018

That the report dated January 19, 2018 from the Commissioner of Community Services entitled "Response to HAC-0041-2017 Analysis of the Heritage Property Grant Program" be received for information, and that staff be directed to investigate the feasibility of creating a separate Heritage Property Grant Reserve Fund, and review the uptake of the Town of Oakville and the City of Burlington programs.



**RECEIVED** (Councillor C. Parrish)

- 7.9. Alterations to a Heritage Listed Property: 920 East Avenue (Ward 1)  
Memorandum dated January 11, 2018 from Paul Damaso, Director, Culture Division.

**RECOMMENDATION**

HAC-0025-2018

That the Memorandum and the Heritage Impact Statement with respect to the alterations to a Heritage Listed Property located at 920 East Avenue (Ward 1), dated January 11, 2018, from Paul Damaso, Director, Culture Division, be received for information

**RECEIVED** (M. Wilkinson)

- 7.10. 2018 Community Heritage Ontario Membership Renewal  
Memorandum dated January 15, 2018 from Mumtaz Alikhan, Legislative Coordinator.

**RECOMMENDATION**

HAC-0026-2018

That the renewal of the 2018 Community Heritage of Ontario Annual Membership at a cost of \$75.00, as outlined in the Memorandum dated January 15, 2018 from Mumtaz Alikhan, Legislative Coordinator, be approved.

**APPROVED** (R. Mateljan)

8. SUBCOMMITTEE UPDATES
- 8.1. Heritage Designation Sub-Committee - Nil
- 8.2. Public Awareness Sub-Committee - Nil

## 9. INFORMATION ITEMS

## 10. OTHER BUSINESS

- 10.1. Updates to the Workplace Violence and Respectful Workplace Policies  
Memorandum dated January 23, 2018 from Mumtaz Alikhan, Legislative Coordinator.

**RECOMMENDATION**

HAC-0027-2018

That the updated Corporate Policy 01-07-01 on *Workplace Violence*, and the updated Corporate Policy 01-03-04 on *Respectful Workplace*, as outlined in the Memorandum dated January 23, 2018 from Mumtaz Alikhan, Legislative Coordinator, be received for



information.

**RECEIVED** (C. McCuaig)

10.2 **Leave of Absence Request**

Matthew Wilkinson, Citizen Member, requested a leave of absence from the Committee effective April 1, 2018 for a period of six months for medical purposes.

**RECOMMENDATION**

HAC-0028-2018

That the leave of absence for Matthew Wilkinson, Citizen Member, for a period of six months, commencing April 1, 2018, be approved.

**APPROVED** (C. McCuaig)

- 10.3 Mr. McCuaig advised that he will be making a deputation at the February 13, 2018 meeting of the Environment Action Committee with respect his proposal that was discussed at the February 6, 2018 Meeting of the Heritage Advisory Committee about building a net zero carbon City while creating future heritage to improve where people live, work and play.

11. DATE OF NEXT MEETING - March 6, 2018

12. ADJOURNMENT - 10:03 AM



City of Mississauga  
**Corporate Report**



Date: February 8, 2018

To: Chair and Members of Heritage Advisory Committee

From: Paul Mitcham, P. Eng, MBA, Commissioner of  
 Community Services

Originator's files:

Meeting date:  
 March 6, 2018

## Subject

**Request to Alter a Heritage Designated Property: 1050 Old Derry Road (Ward 11)**

## Recommendation

That the request to alter the property at 1050 Old Derry Road as per the Corporate Report from the Commissioner of Community Services dated February 8, 2018, be approved.

## Background

The subject property is designated under Part V of the *Ontario Heritage Act* as it forms part of the Meadowvale Village Heritage Conservation District (HCD). Changes to the property are subject to the Meadowvale Village HCD Plan, 2014, and substantive changes identified in said plan require a heritage permit.

The owner of the property has submitted an application to develop the property under file SPI 15 91. The drawings are attached as Appendix 1. The Heritage Impact Assessment (HIA) and Conservation Plan are attached as appendices 2 and 3 respectively.

## Comments

The proposal includes:

- A small board 'n batten sheathed addition at the southwest side of the house
- A covered rear porch
- A new truss roof, but with the same shape and form as the existing roof, to allow for more headspace
- New and modified window and door openings, including a side entrance
- Underpinning of the basement
- A new detached garage
- Extended gravel driveway
- Re-grading of the property, including dry laid stone retaining walls, to make the rear yard more useful and to ensure that water drains away from the house
- Removal of white picket fence and brick chimney



The project also includes repointing of the rug brick veneer, like for like replacement of the soffits and fascia and the painting and repair of existing windows. All new windows would be painted wood (or modern material to give the appearance of wood). Some of these windows are proposed on the original portion of the dwelling.

Overall the proposal complies with the design guidelines. It retains the dwelling's modest scale, shape and character-defining brick veneer but provides needed upgrades. Some areas wherein there is not full congruence with the Meadowvale Village HCD plan are the possibly modern material windows on the original dwelling and the loss of the chimney, which, according to the HIA is only 50% original.

Additionally, sliding glass doors are proposed at the rear of the property, which technically backs onto the public realm, Old Ridge Park. However, the house only backs onto the public property at the easternmost edge. The full property at 1050 Old Derry Road backs onto an area that is a fenced in woodlot. As such, the impact to the public realm is minimal and, with sliding glass doors recently being approved three properties to the west, in full view from Old Ridge Park, it is reasonable to approve the doors here. With these points made, Heritage Planning staff recommend approval.

## Financial Impact

There is no financial impact.

## Conclusion

The owner of the property has applied for a heritage permit to modify the property, including an addition and new detached garage. The proposal is sympathetic to the character of the dwelling and will help provide further longevity to it. As such, the proposal should be approved.

## Attachments

Appendix 1: Drawings

Appendix 2: Heritage Impact Assessment

Appendix 3: Conservation Plan



---

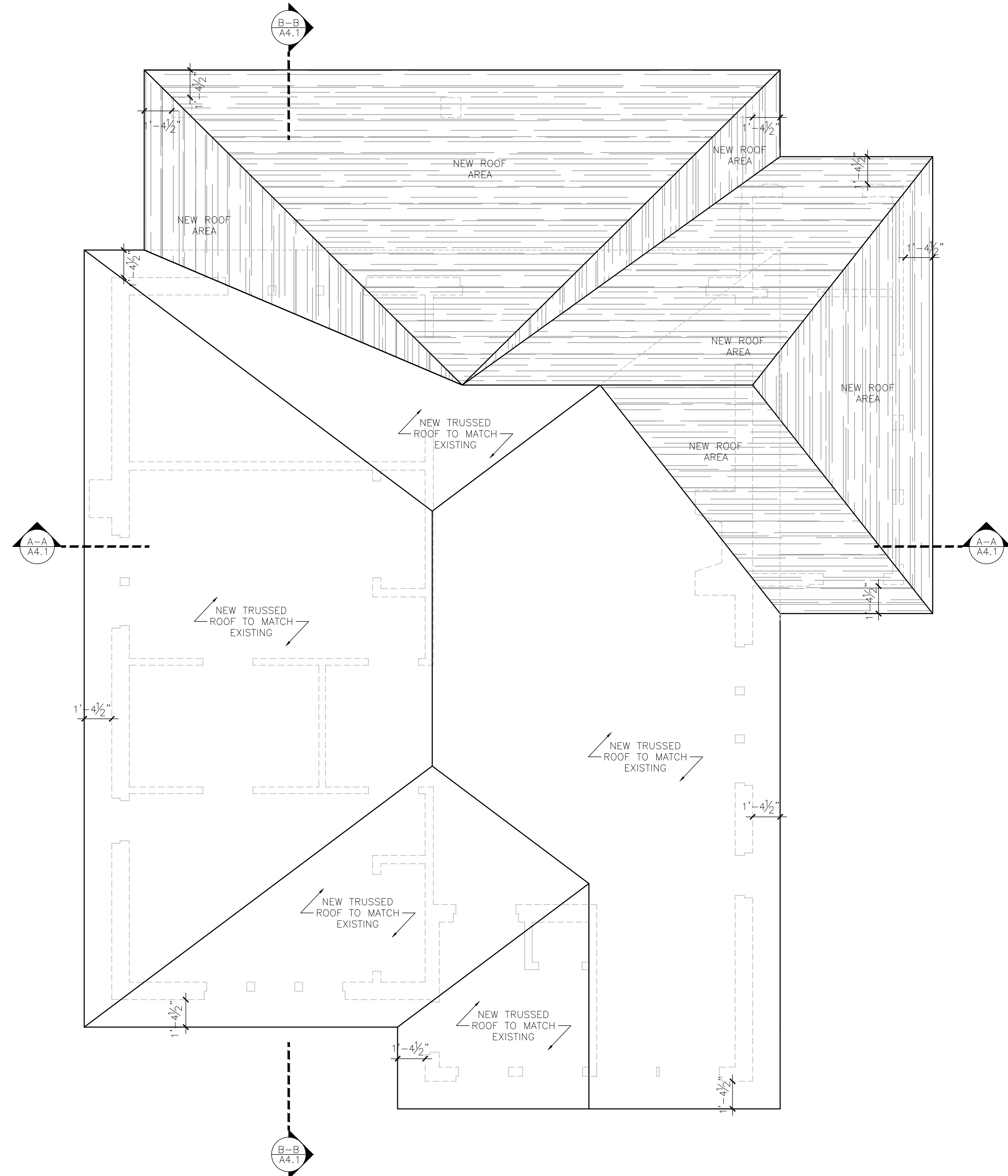
Paul Mitcham, P. Eng, MBA, Commissioner of Community Services

Prepared by: P. Wubbenhorst, Heritage Planner




 (Metal Roof)

er Porch)  
ed)  
d  
ing  
eveloped Roof  
(Flat Roof)  
as Noted  
tiling  
ar Boards



Project Report



Designer: 

1050 Old Derry Rd.  
Mississauga, Ontario

Sheet Title:

Roo Plan

Design by: R.M.	Drawn by: □.□.	Approved by: R.M.
--------------------	-------------------	----------------------

Scale: 1 <input type="text"/> " = 1 <input type="text"/> "	Date: July 2015	Project <input type="text"/> to: 1 <input type="text"/> <input type="text"/> <input type="text"/>
---	--------------------	--

Drawing No:

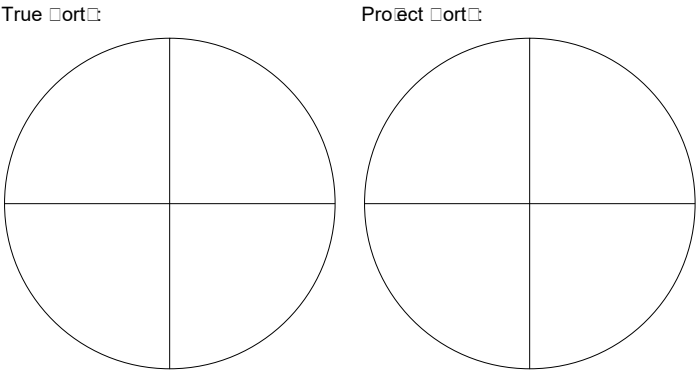
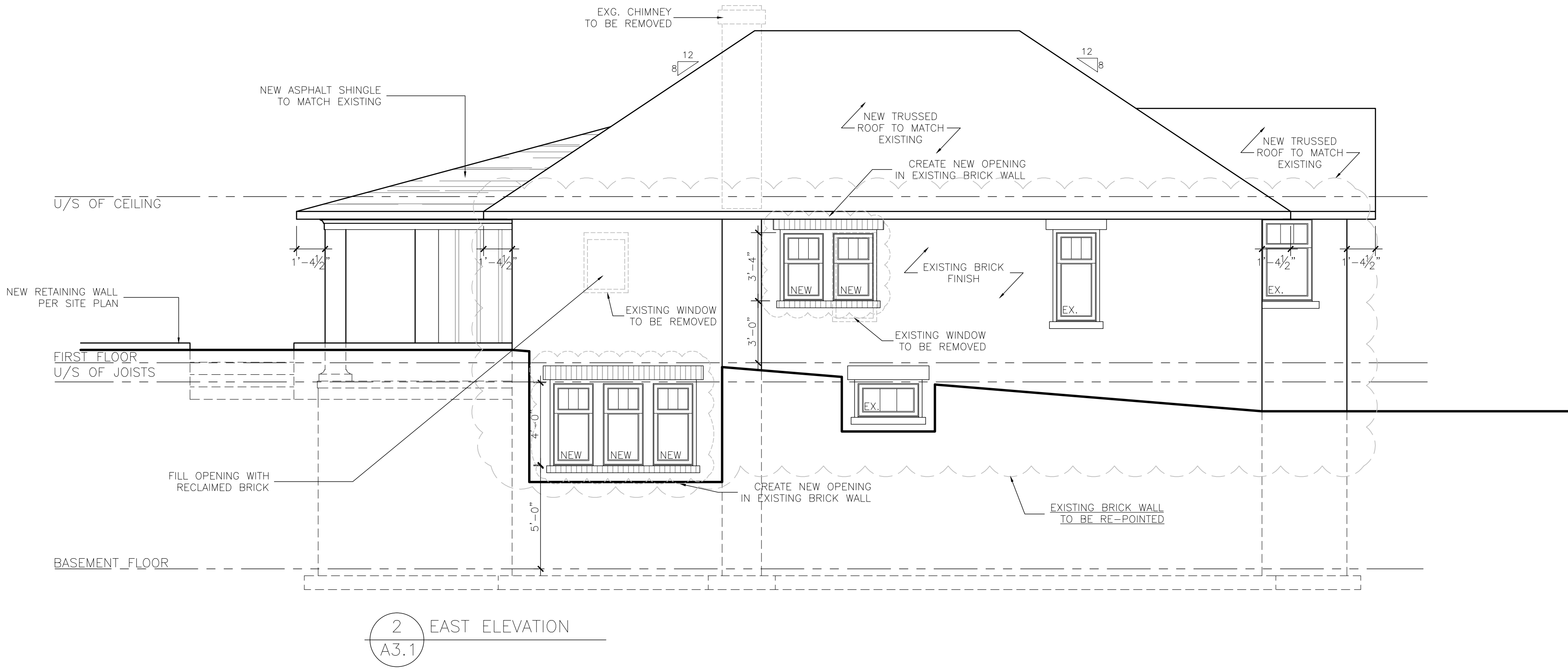
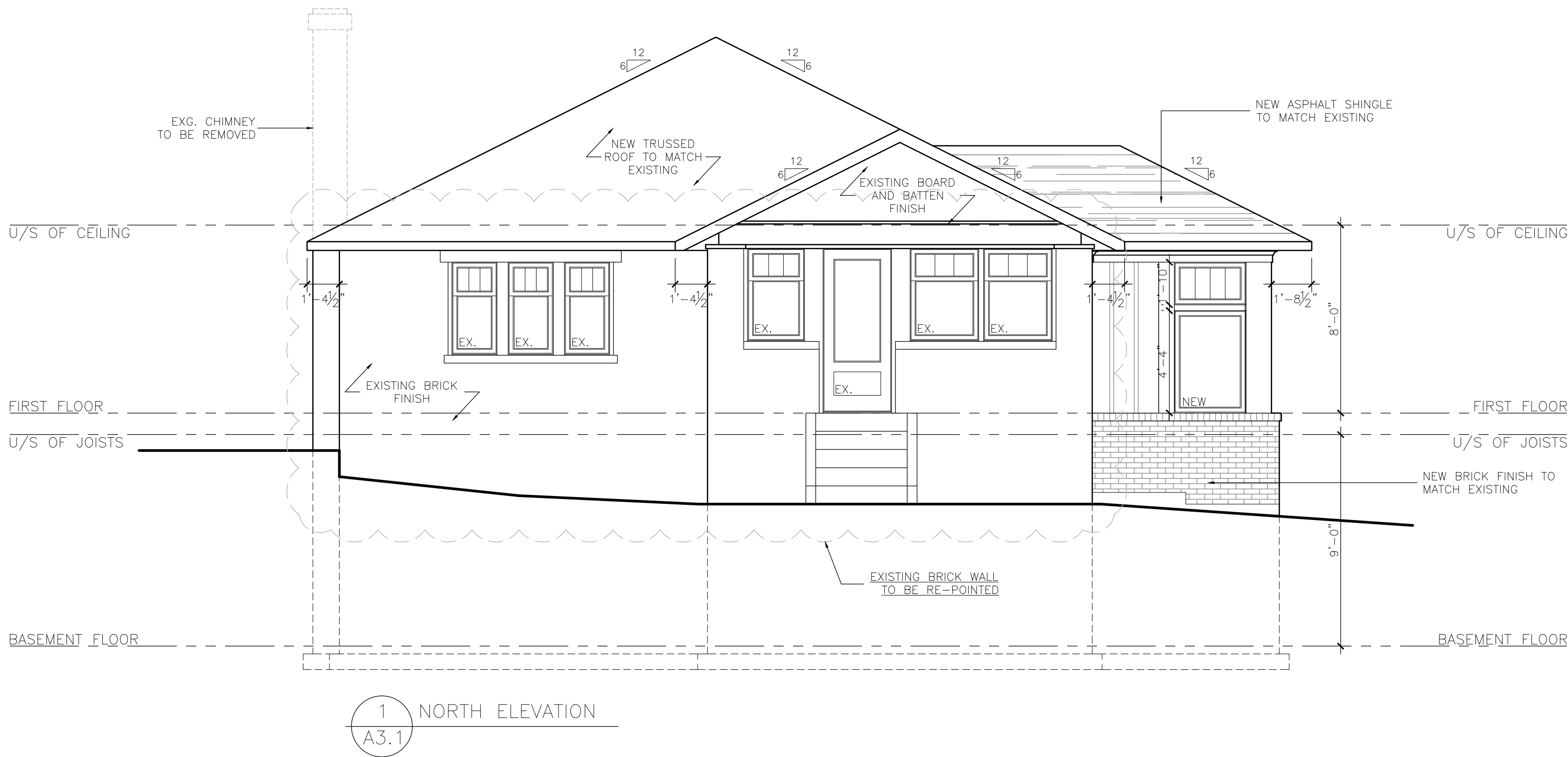
□ 2. □



**BRICK REPOINTING DETAIL:**

GENERAL: REFER TO APPENDICES IN CONSERVATION PLAN FOR INFORMATION REGARDING BRICK POINTING

- CLEAN OUT LOOSE OR DETERIORATED MORTAR GRINDER, DRILL OR CHISEL. REMOVE MORTAR TO A DEPTH AT LEAST DOUBLE THE WIDTH OF THE JOINT TO BE FILLED
- CLEAN JOINT WITH WATER AND BRUSH
- APPLY NEW MORTAR WITH TROWEL, REPOINTING TOOL OR GUN
- NEW MORTAR MUST BE OF SAME PROPERTIES AS EXISTING MORTAR. DO NOT USE MORTAR STRONGER THAN THE MORTAR BEING REPLACED
- MATCH EXISTING JOINT TYPE IN DEPTH AND DETAIL
- ALL WORK TO BE DONE BY TRADES EXPERIENCED IN THIS TYPE OF WORK
- ALL WORK TO BE DONE UNDER THE SUPERVISION OF THE HERITAGE CONSULTANT
- PROVIDE A 1/2" M2 SAMPLE FOR REVIEW BY HERITAGE CONSULTANT AND OWNER BEFORE PROCEEDING WITH REST OF WORK



Key Plan:

1	Aug 7 15	Site Plan Su	Revision	0.0
2	Jan 5 16	Site Plan Resu	Revision	0.0
3	June 1 16	Redesign		0.0
4	Aug 11 16	Site Plan Resu	Revision	0.0
5	Sept 1 16	Site Plan Resu	Revision	0.0
6	Mar 2 17	Underpinning Per	Revision	0.0
7	April 10 17	Site Plan Resu	Revision	0.0
8	Oct 12 17	Site Plan Resu	Revision	0.0

SM  
DA

Strickland  
Mateljan  
Design + Architecture

79 Wilson Street, Suite 301  
Oakville ON L6K 3G4  
Tel: 905 842 2848  
smda.ca

©2017. Copying, Reproduction, Distribution, or any other use of this document without the written consent of Strickland Mateljan Design + Architecture is prohibited. The contractor is to verify all dimensions and site conditions on the project and report any discrepancies to Strickland Mateljan Design + Architecture Ltd. immediately. Construction is subject to all applicable Codes and Regulations. The drawings do not address issues of siting, protection or support of existing or future construction. These drawings are not to be used for construction or alteration of components until issued "Issued for construction". Do not scale drawings. Submit all shop drawings for approval.

Designer:

O.T.R.I.O.  
ASSOCIATES  
O.R.C.I.T.S.

LIC. S.D.T.C. O.C.O.D.I.S.T.  
O.A.A.  
RIC. M.T.L.J.  
LIC. S.D.T.C.

Engineer:

Project:

RSIDCC

1050 Old Derry Rd.  
Mississauga, Ontario.

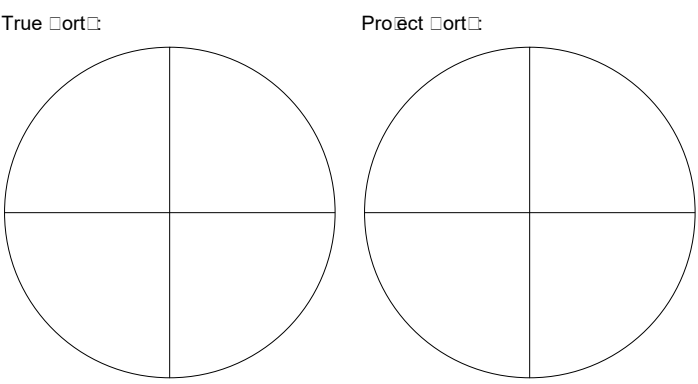
Sheet Title:  
North East Elevation

Design by: R.M.	Drawn by: R.M.	Approved by: R.M.
Scale: 1"=10'	Date: July 2015	Project No: 100

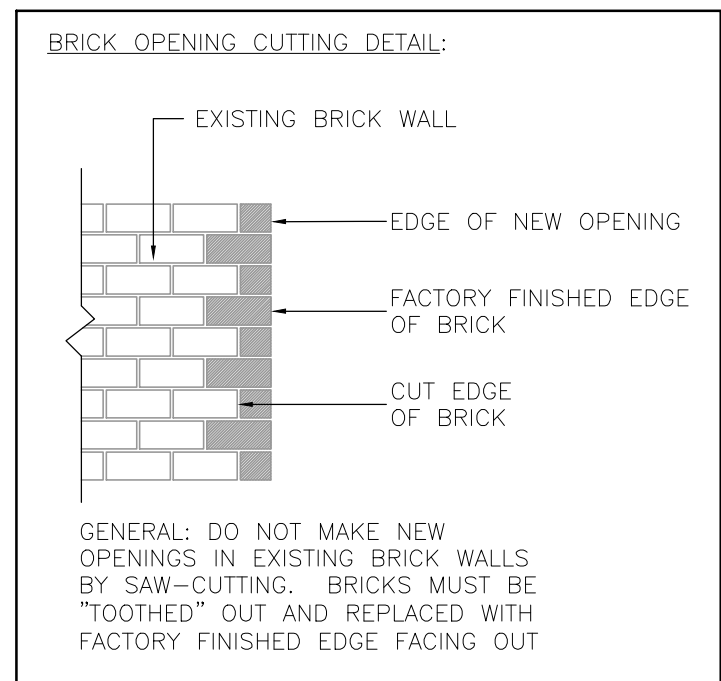
Drawing No:

00.1





### Key Plan



1 SOUTH ELEVATION  
A3.2




	Oct 12'17	Site Plan Resu	ession		
7	April 10'17	Site Plan Resu	ession		
	Mar 2'17	nderpinning Per	Su	ession	
5	Sept 1	Site Plan Resu	ession		
	Aug 11	Site Plan Resu	ession		
	June 1	Redesign			
2	Jan 5'17	Site Plan Resu	ession		
1	Aug 7'15	Site Plan Su	ession		



79 Wilson Street, Suite 301  
Oakville ON L6K 3G4  
Tel: 905 842 2848  
smda.ca

©2017 Copying is ☐ Notes, Details, Graphic ☐ Written Material illustrated herein constitutes the original ☐ of Strick Land Material Design Associates LLC and may not be copied, published, reproduced by any means or used in any way without the prior written consent of Strick Land Material Design Associates LLC. The contractor is to verify all dimensions and site conditions of the proposed project and report any discrepancies to Strick Land Material Design Associates LLC immediately. Construction must conform to all applicable Codes and Regulations and must be within Jurisdiction. Unless otherwise noted, these drawings do not address issues of pricing, protection or support of existing conditions during the construction process. These drawings are not to be used for construction or fabrication of components until a "Issued for Construction" stamp is present. Do not scale drawings. Submit all drawings for approval.

Designer:	Engineer:
	

Project: R SID C

1050 Old Derry Rd.  
Mississauga, Ontario.

Sheet Title:

Sout  est  le  ation

Design By: <b>R.M.</b>	Drawn By: <b>□.□.</b>	Approved By: <b>R.M.</b>
Scale: <b>1 □□ □ 1 □□</b>	Date: <b>July 2015</b>	Project No: <b>1 □ □□</b>

Drawing □:

.

2



Architectural section drawing of a two-story house with a gabled roof. The drawing shows the interior layout from the basement floor to the roof. The first floor includes a New Bedroom (104), New Dining (107), and New Stairwell (108). The basement floor includes a New Bedroom (B05) and New Family (B02). The roof is labeled "NEW TRUSSED ROOF TO MATCH EXISTING" with a pitch of 12/6. Dimensions for ceiling heights and floor levels are provided.

NEW TRUSSED ROOF TO MATCH EXISTING

U/S OF CEILING

1'-4 1/2"

NEW BEDROOM 104

NEW DINING 107

NEW STAIRWELL 108

1'-8 1/2"

8'-0"

FIRST FLOOR

U/S OF JOISTS

9'-0"

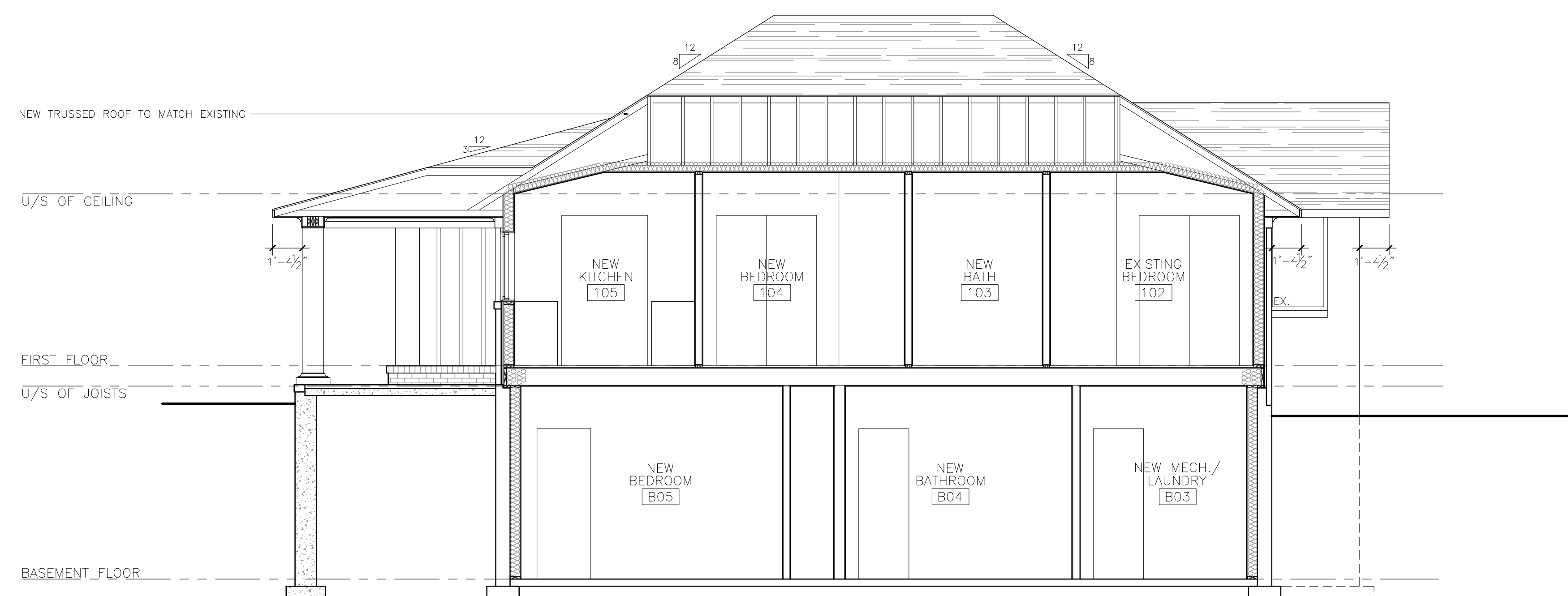
BASEMENT FLOOR

NEW BEDROOM B05

NEW FAMILY B02

BASEMENT FLOOR

1 SECTION A-A  
A4.1



2 SECTION B-B  
A4.1

	Oct 12:37	Site Plan Resu...ission	
7	□ 10:17	Site Plan Resu...ission	
	Mar 2:17	□nderpinning Per...u...ission	
5	Sept 1:11	Site Plan Resu...ission	
	□ 11:13	Site Plan Resu...ission	
	June 1:13	Redesign	
2	Jan 5:3	Site Plan Resu...ission	
	□ 7:15	Site Plan Su...ission	
1	□ 7:15	Site Plan Su...ission	
□	Date	Issued Re...ision	



79 Wilson Street, Suite 301  
Oakville ON L6K 3G4  
Tel: 905 842 2848  
smda.ca

©2017 Copyright © All Designs, Details, Graphic or Written Material Illustrations herein constitutes the original Copyrighted Strick Land Metal Art Design Association Ltd. and may not be copied, published, reproduced by any means or used in products except as noted herein without their written consent. No right reserved. The contractor is to verify all dimensions and site conditions on project and report any discrepancies to Strick Land Metal Art Design Association Ltd. immediately. Construction must conform to all applicable Codes and Requirements of all Authorities Having Jurisdiction. Measurements noted on drawings do not address issues of clearing, protection or support of existing structures or during the construction process. These drawings are not to be used for construction or fabrication of components unless labeled "Issued construction". Do not scale drawings. Supply dimensions for approval.

Designer:

Engineer:

OCTRIO  
ASSOCIATION  
OCTR-IT-CTS

*Rutz*

LICENSING LOGICIST  
OAA

RIC: M T L U D  
LIC: C  
7

Project: \_\_\_\_\_

R SID C

1050 Old Derry Rd.  
Mississauga, Ontario.

Sheet Title:

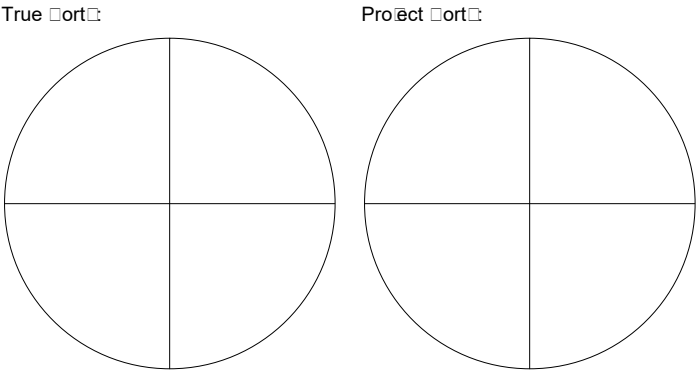
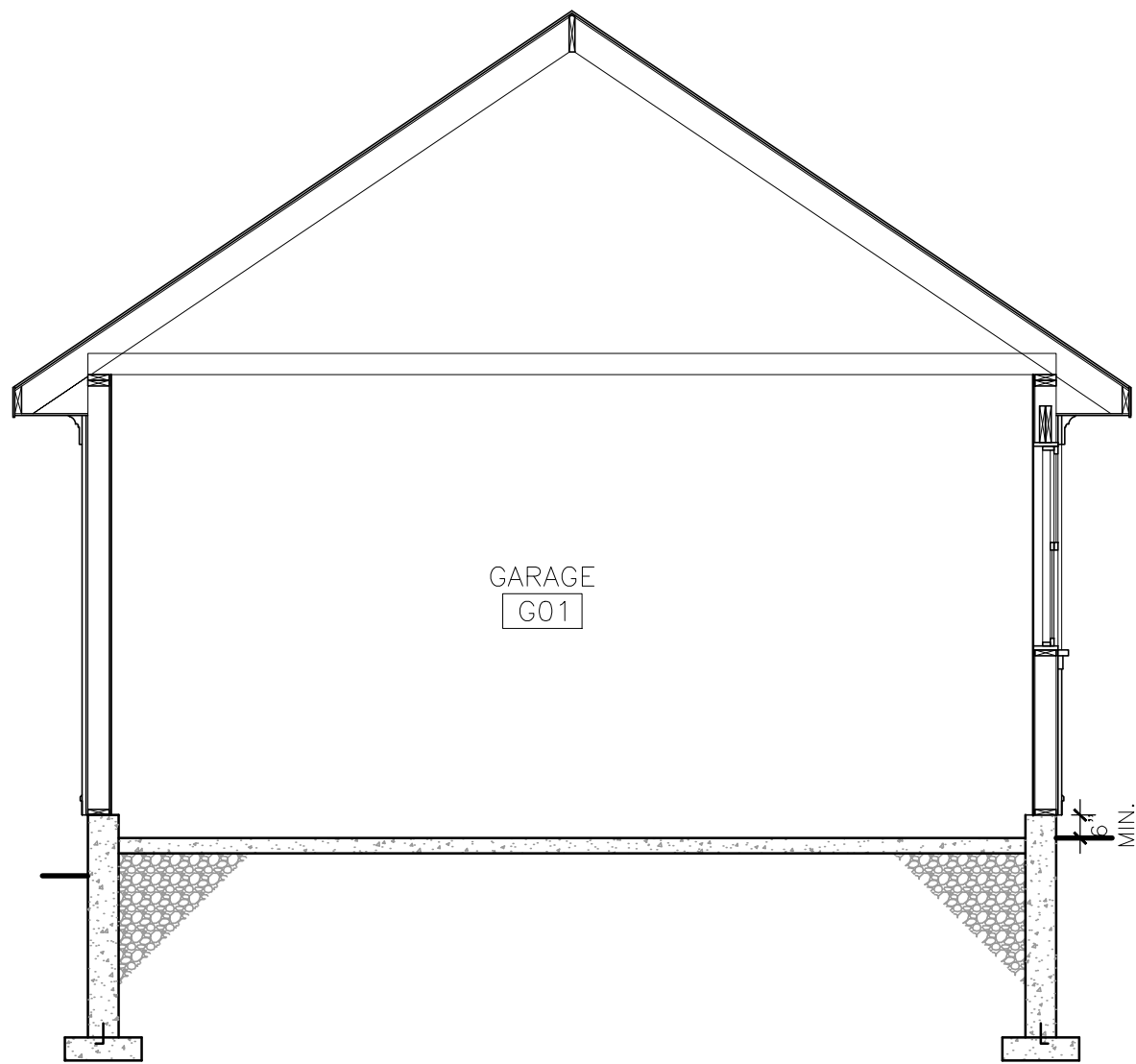
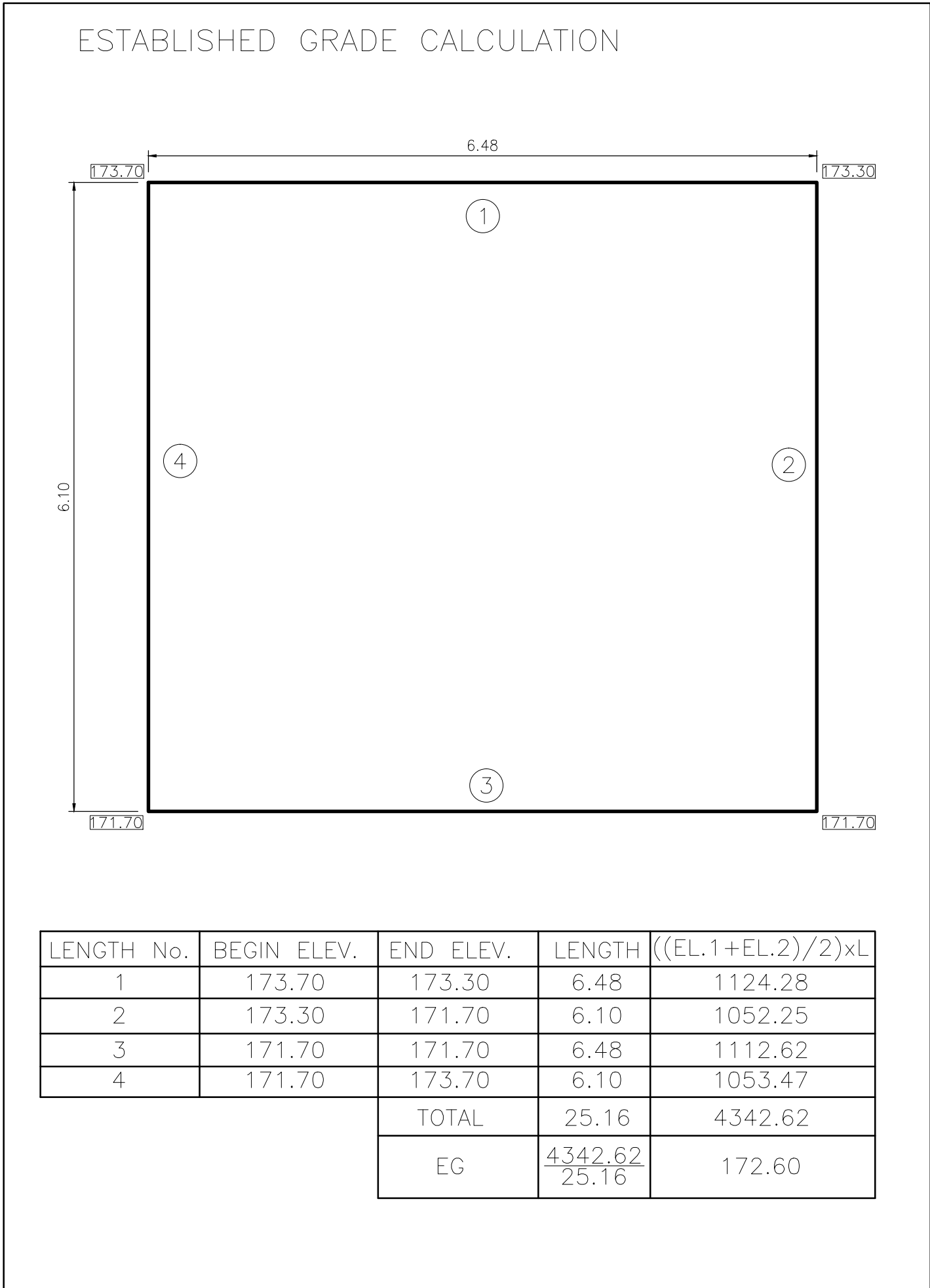
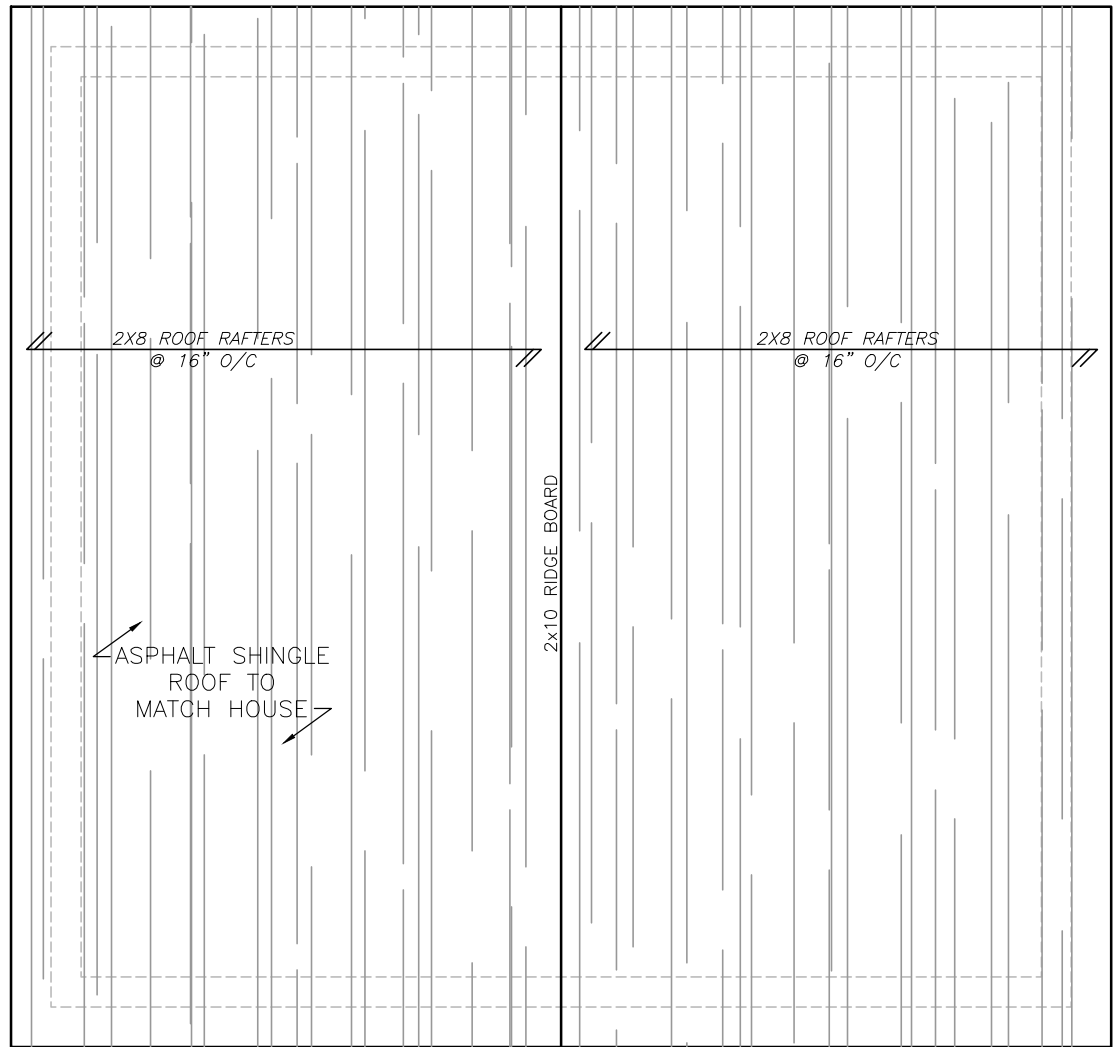
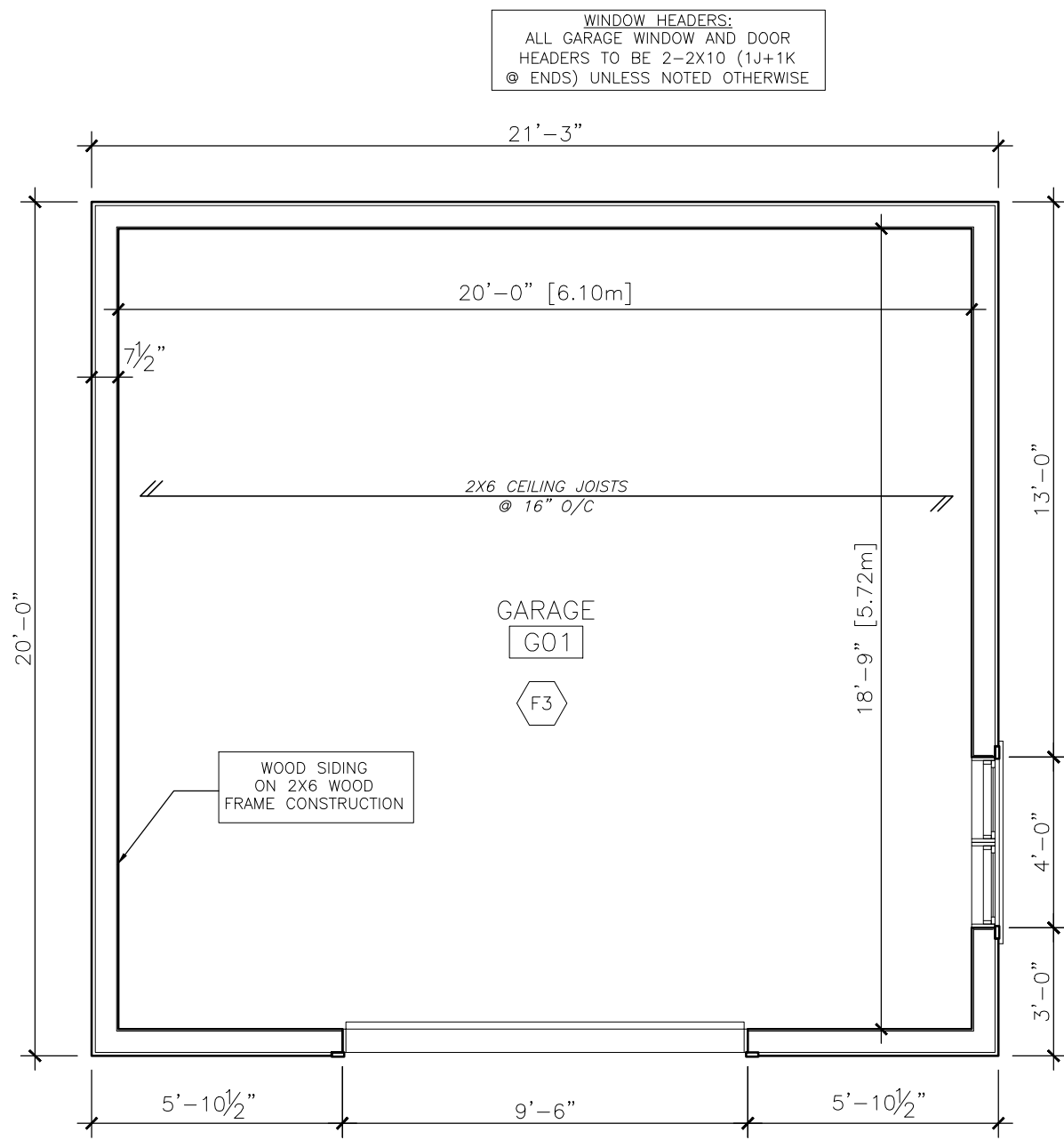
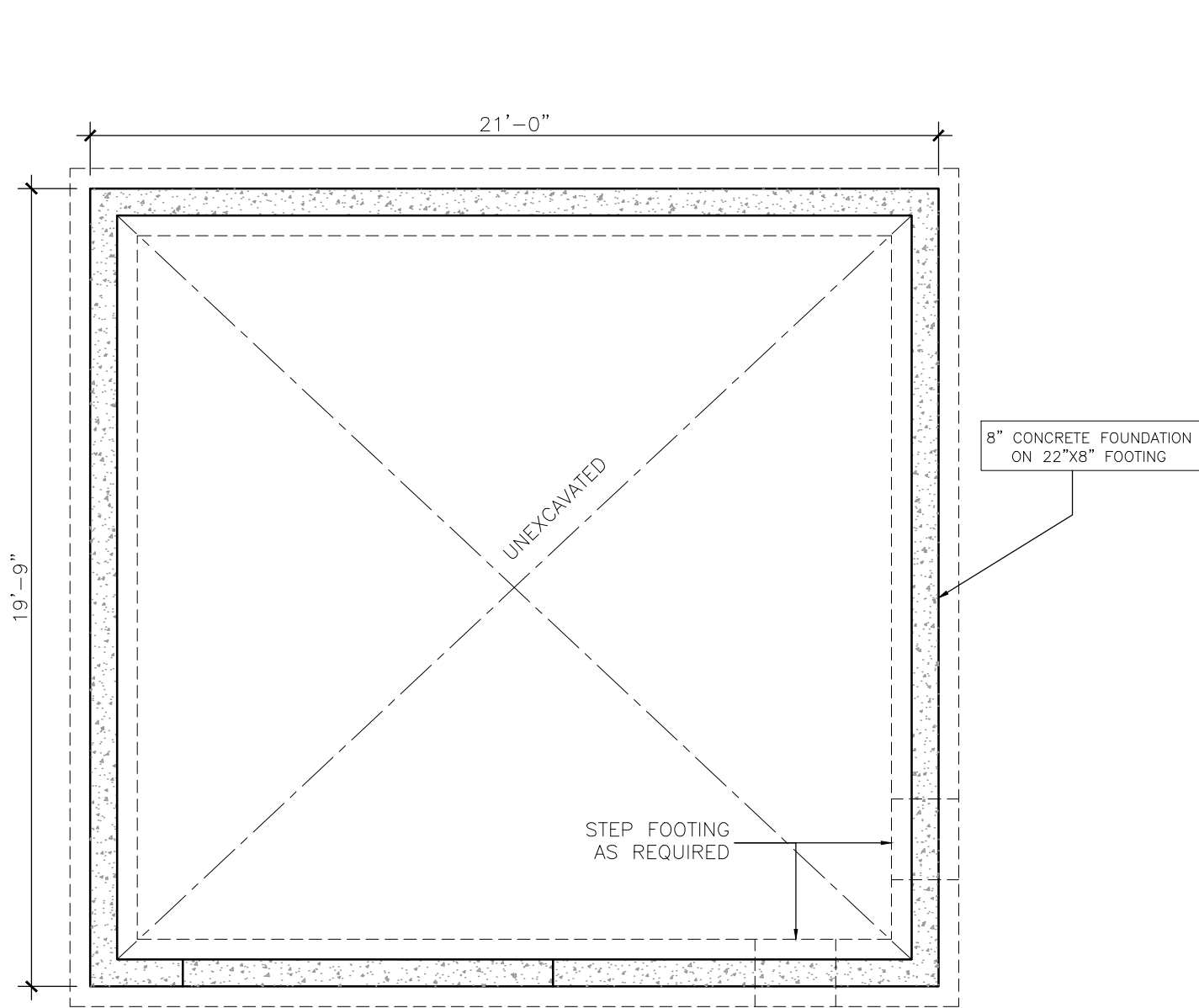
[illegible]

Design By: <b>R.M.</b>	Drawn By: <b>□.□.</b>	Approved By: <b>R.M.</b>
Scale: <b>1 □" = 1 □"</b>	Date: <b>July 2015</b>	Project No.: <b>1 □ □</b>

Drawing No: \_\_\_\_\_

00.1





Day Plan:

Oct 12/17	Site Plan Resubmission	
Apr 10/17	Site Plan Resubmission	
Mar 2/17	Underpinning Permit Submission	
Sept 1/16	Site Plan Resubmission	
Aug 11/16	Site Plan Resubmission	
June 1/16	Redesign	
Jan 5/16	Site Plan Resubmission	
Aug 7/15	Site Plan Submission	

SM  
DA

**Strickland  
Mateljan**  
Design + Architecture  
79 Wilson Street, Suite 301  
Oakville ON L6K 3G4  
Tel: 905 842 2848  
smda.ca

©2017. Copyright in all Designs, Details, Graphics and Written Material illustrated herein constitutes the original work of Strickland Mateljan Design Associates Ltd. and may not be copied, published, reproduced by any means or used on projects except as noted herein without their written consent. All rights reserved. The contractor is to verify all dimensions and site conditions on the project and report any discrepancies to Strickland Mateljan Design Associates Ltd. immediately. Construction is subject to all applicable Codes and Regulations, ordinances and Jurisdiction. Unless otherwise noted, these drawings do not address issues of siting, protection or support of existing or during the construction process. These drawings are not to be used for construction or allocation of components until issued "Issued for construction". Do not scale drawings. Submit all shop drawings for approval.

Designer:

O.T.RIO  
ASSOCIATES  
O.R.CITCTS  
*R.M.*  
LIC.S.D.T.C.OLOGIST  
OAA  
RIC.M.T.L.L.  
LIC.C.  
7/17

Engineer:

Project:

RSIDCC

1050 Old Derry Rd.  
Mississauga, Ontario.

Sheet Title:

Garage Floor Plans  
Garage Section

Design by:

R.M.

Drawn by:

CC

Approved by:

R.M.

Scale:

1"=1'-0"

Date:

July 2015

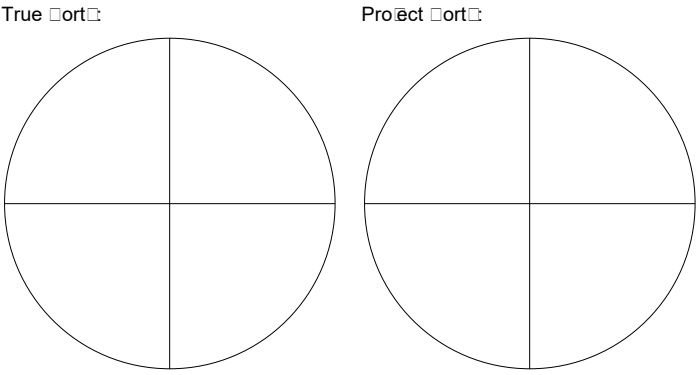
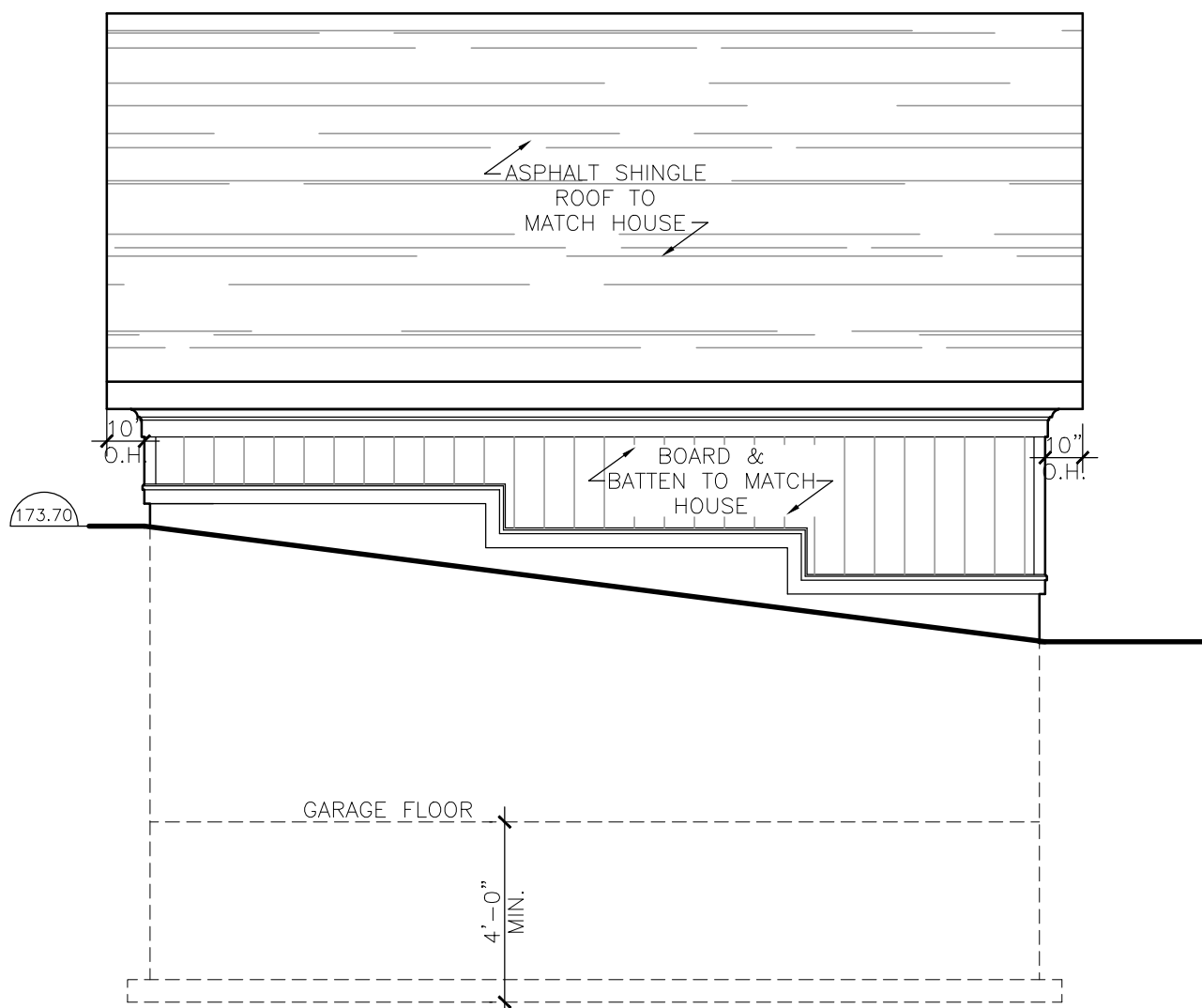
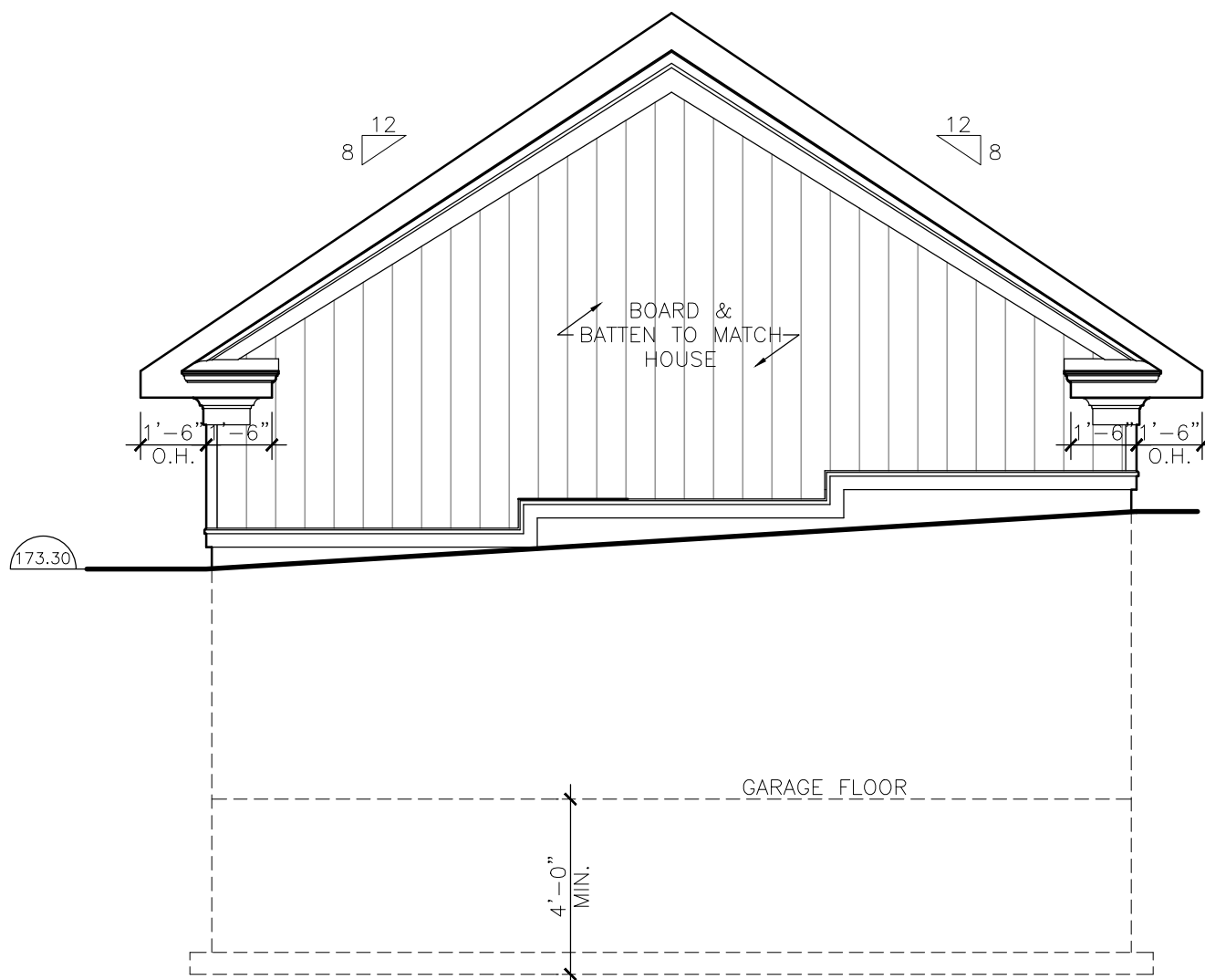
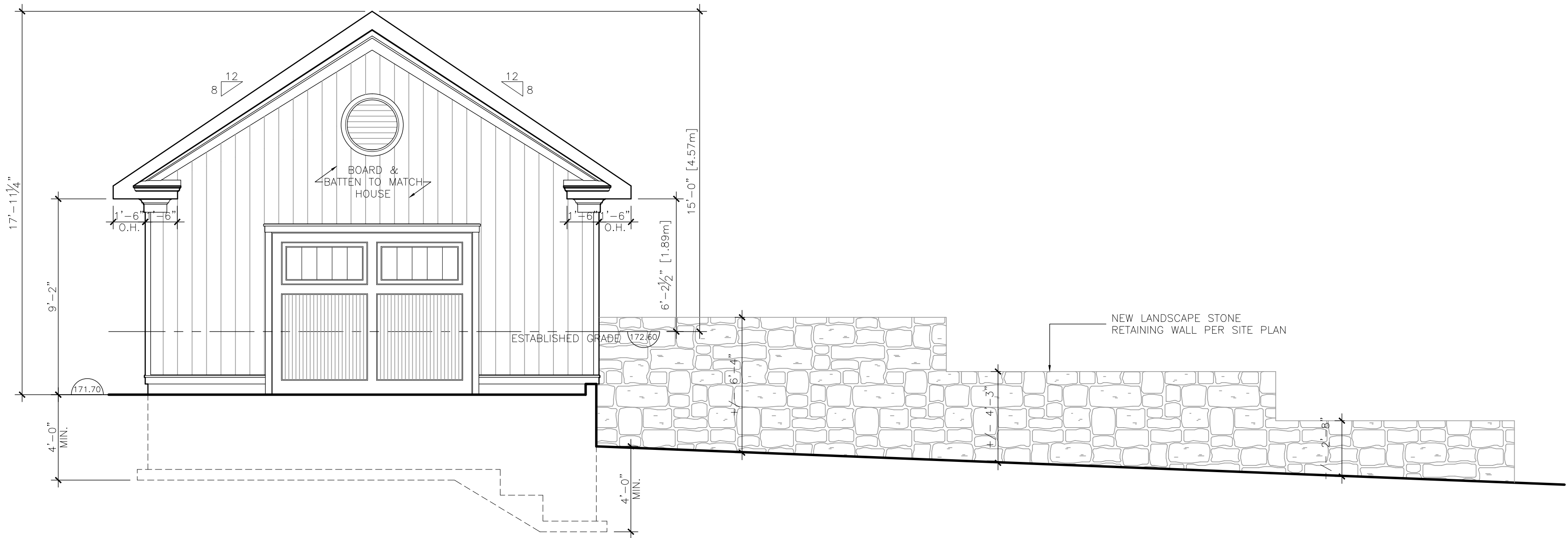
Project No:

1CC

Drawing No:

5.1





Key Plan:

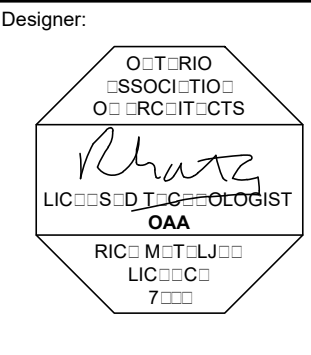
Oct 12/17	Site Plan Revision	
Apr 10/17	Site Plan Revision	
Mar 2/17	Underpinning Permit Submission	
Sept 1/16	Site Plan Revision	
Aug 11/16	Site Plan Revision	
June 1/16	Redesign	
Jan 5/16	Site Plan Revision	
Aug 7/15	Site Plan Submission	

No.	Date	Issued Revision	By:
-----	------	-----------------	-----

SM  
DA

**Strickland  
Mateljan**  
Design + Architecture  
79 Wilson Street, Suite 301  
Oakville ON L6K 3G4  
Tel: 905 842 2848  
smda.ca

©2017. Copying, Distribution, Reproduction, or any other use of the original or derivative material without the written consent of Strickland Mateljan Design + Architecture is prohibited. The contractor is to verify all dimensions and site conditions on the project and report any discrepancies to Strickland Mateljan Design + Architecture Ltd. immediately. Construction is not to be used for any other purpose or in any other jurisdiction. These drawings do not address issues of siting, protection or support of existing or proposed construction. These drawings are not to be used for construction or alteration of components until they are issued for construction. Do not scale drawings. Submit all shop drawings for approval.

Designer:  


Engineer:

Project:  
**R<sub>1</sub>SID<sub>1</sub>C<sub>1</sub>**  
1050 Old Derry Rd.  
Mississauga, Ontario.

Sheet Title:  
**Garage Elevations**

Design by: <b>R.M.</b>	Drawn by: <b>[Signature]</b>	Approved by: <b>R.M.</b>
Scale: <b>1" = 1'-0"</b>	Date: <b>July 2015</b>	Project No: <b>1000</b>

Drawing No:  
**5.2**



**Overview:**

This report is prepared to address the proposed re-development of the property at 1050 Old Derry Road, Mississauga, ON.

Rick Mateljan of Strickland Mateljan Design Associates Ltd. was engaged by the property owner to design a sympathetic addition to this presently un-inhabited property and to complete a Heritage Impact Study to assess the impact of this intervention.

A Chain of Title search was performed by Stephen Nott Conveyancing Services. Their report is appended to this report.<sup>1</sup>

**Key map:**

<sup>1</sup> In some cases the dates in recorded histories vary from those in the title search document – where there is a conflict the title search dates are used



## Meadowvale Village - Overview:

Meadowvale Village was first settled in 1819 when 26 United Empire Loyalist families emigrated from New York State and took advantage of government land grants in this area. The land was at that time covered by pine forest but the settlers quickly understood the agricultural promise of the land and the community prospered. By the 1850's there were several mills, two hotels, a wagon shop, foundry and a school.<sup>2</sup>

The village retained its character and many of its original buildings through the 20<sup>th</sup> century. In 1980, in the face of a proposal to widen Derry Rd. West, demolish some original buildings and irreparably change the character of the community, local residents succeeded in having this designated Ontario's first Heritage Conservation District.

## Terms of Reference

The City required terms of reference are as follows:

1. *A detailed site history to include a listing of owners from the Land Registry Office, and a history of the site use(s). However, please note that due to the Freedom of Information and Protection of Privacy Act, current property owner information must not be included. As such, Heritage Planning will request that current property owner personal information be redacted to ensure the reports comply with the Act.*
2. *A complete listing and full written description of all existing structures, natural or man-made, on the property. Specific mention must be made of all the heritage resources on the subject property which include, but are not limited to: structures, buildings, building elements (like fences and gates), building materials, architectural and interior finishes, natural heritage elements, landscaping, and archaeological resources. The description will also include a chronological history of the structure(s) developments, such as additions, removals, conversions, alterations etc.  
The report will include a clear statement of the conclusions regarding the significance and heritage attributes of the cultural heritage resource.  
A location map must be provided, with indications of existing land use, zoning, as well as the zoning and land use of adjacent properties.*
3. *Documentation of the existing conditions related to the heritage resource will include:  
-Current legible internal photographs, external photographs from each elevation.  
Please note that due to the Freedom of Information and Protection of Privacy Act, photographs should not contain people or highlight personal possessions. The purpose of the photographs is to capture architectural features and building materials.  
-Measured drawings, including elevations, floor plans, and a site plan or survey, at an appropriate scale for the given application, indicating the context in which the heritage resource is situated.  
-Historical photos, drawings, or other archival material that may be available or relevant.  
The applicant must provide a description of all relevant municipal or agency requirements which will be applied to the subject property, and when implemented may supplement, supersede and/or affect the conservation of heritage resources (i.e. Building Code requirements, Zoning requirements, Transportation and Works requirements.)*

---

<sup>2</sup> A Heritage Tour – Meadowvale Village (Heritage Mississauga)(pamphlet)



4. An outline of the proposed development, its context and how it will impact the heritage resource and neighbouring properties will be provided. This may include such issues as the pattern of lots, roadways, setbacks, massing, relationship to natural and built heritage features, recommended building materials, etc. The outline should address the influence of the development on the setting, character and use of lands on the subject property and adjacent lands. If the property forms part of a Heritage Conservation District, the proposal must be analysed in terms of its compliance with the Heritage Conservation District Plan.

*Note: An architectural drawing indicating the subject property streetscape with properties to either side of the subject lands must be provided. The purpose of this drawing is to provide a schematic view of how the new construction is oriented and integrates with the adjacent properties from a streetscape perspective. The drawing must therefore show, within the limits of defined property lines, an outline of the building mass of the subject property and the existing neighbouring properties, along with significant trees or any other landscape or landform features. A composite photograph may accomplish the same purpose with a schematic of the proposed building drawn in.*

5. Full architectural drawings, by a licensed architect or accredited architectural designer, showing all four elevations of the proposed development must be included for major alterations and new construction.

6. An assessment of alternative development options and mitigation measures that should be considered in order to avoid or limit the negative impact on the cultural heritage resources. Methods of minimizing or avoiding negative impact on a cultural heritage resource as stated in the Ontario Heritage Tool Kit (InfoSheet #5, Ministry of Culture) include, but are not limited to:

- Alternative development approaches
- Isolating development and site alteration from the significant built and natural heritage features and vistas
- Design guidelines that harmonize mass, setback, setting and materials
- Limiting height and density
- Allowing only compatible infill and additions
- Reversible alterations

*These alternate forms of development options presented in the Heritage Impact Assessment must be evaluated and assessed by the heritage consultant writing the report as to the best option to proceed with and the reasons why that particular option has been chosen.*

7. A summary of conservation principles and how they will be used must be included. The conservation principles may be found in publications such as: Parks Canada – Standards and Guidelines for the Conservation of Historic Places in Canada; Eight Guiding Principles in the Conservation of Historic Properties, Ontario Ministry of Culture. (Both publications are available online.)

8. Proposed demolition/alterations must be explained as to the loss of cultural heritage value interests in the site and the impact on the streetscape and sense of place.

9. When a property cannot be conserved, alternatives will be considered for salvage mitigation. Only when other options can be demonstrated not to be viable will options such as relocation, ruinification, or symbolic conservation be considered.

*Relocation of a heritage resource may indicate a move within or beyond the subject property. The appropriate context of the resource must be considered in relocation. Ruinification allows for the exterior only of a structure to be maintained on a site. Symbolic conservation refers to the recovery of unique heritage resources and incorporating those components into new development, or using a symbolic design method to depict a theme or remembrance of the past.*



*All recommendations shall be as specific as possible indicating the exact location of the preferred option, site plan, building elevations, materials, landscaping, and any impact on neighbouring properties, if relevant.*

#### Summary Statement and Conservation Recommendations:

*The summary should provide a full description of:*

*-The significance and heritage attributes of the cultural heritage resource, including the reference to a listing on the Heritage Register, or designation by-law if it is applicable*

*-The identification of any impact that the proposed development will have on the cultural heritage resource*

*-An explanation of what conservation or mitigative measures, or alternative development, or site alteration approaches are recommended*

*-Clarification as to why conservation or mitigative measures, or alternative development or site alteration approaches are not appropriate*

#### Mandatory Recommendation:

*The consultant must write a recommendation as to whether the subject property is worthy of heritage designation in accordance with the heritage designation criteria per Regulation 9/06, Ontario Heritage Act. Should the consultant not support heritage designation then it must be clearly stated as to why the subject property does not meet the criteria as stated in Regulation 9/06.*

*The following questions must be answered in the final recommendation of the report:*

*-Does the property meet the criteria for heritage designation under the Ontario Regulation 9/06, Ontario Heritage Act?*

*-If the subject property does not meet the criteria for heritage designation then it must be clearly stated as to why it does not*

*-Regardless of the failure to meet criteria for heritage designation, does the property warrant conservation as per the definition in the Provincial Policy Statement:*

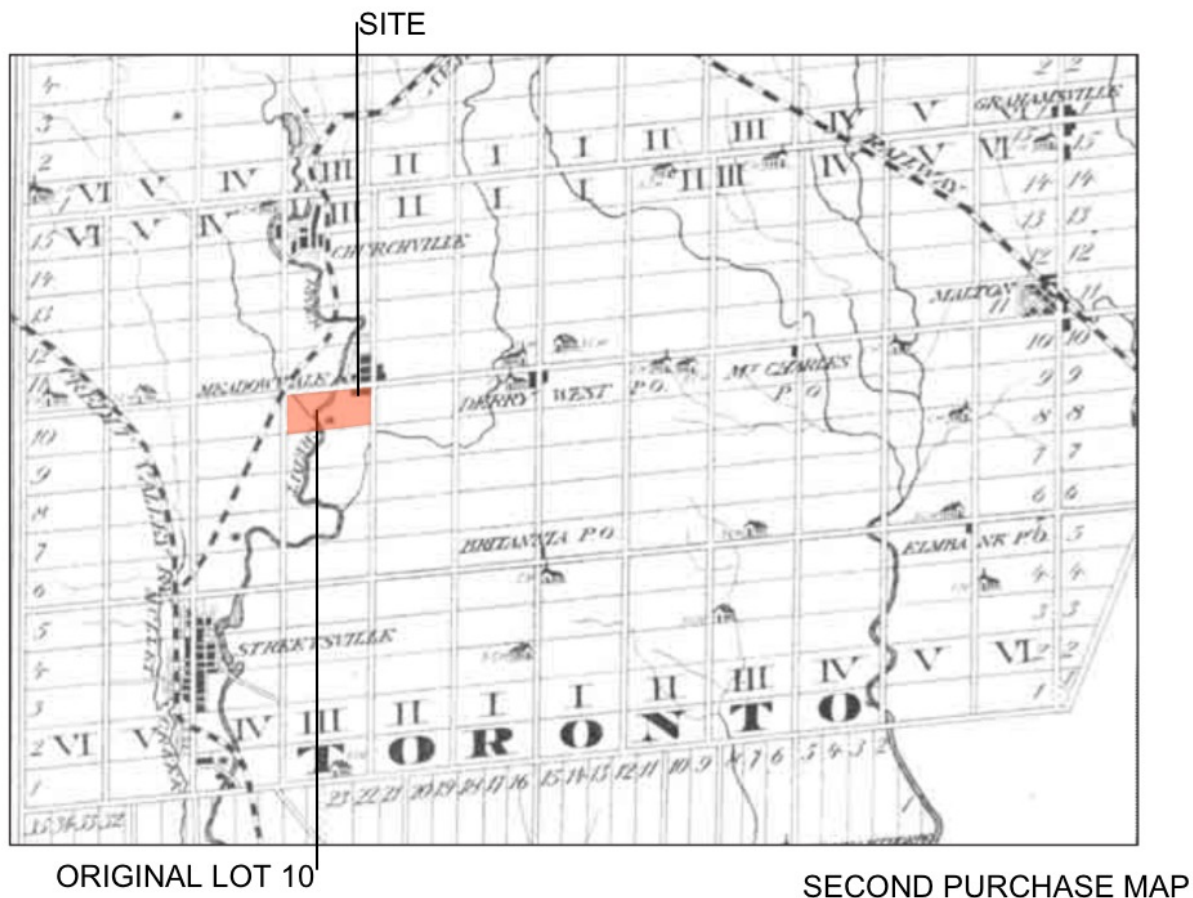
*Conserved: means the identification, protection, use and/or management of cultural heritage and archaeological resources in such a way that their heritage values, attributes and integrity are retained. This may be addressed through a conservation plan or heritage impact assessment.*

*Please note that failure to provide a clear recommendation as per the significance and direction of the identified cultural heritage resource will result in the rejection of the Heritage Impact Assessment.*

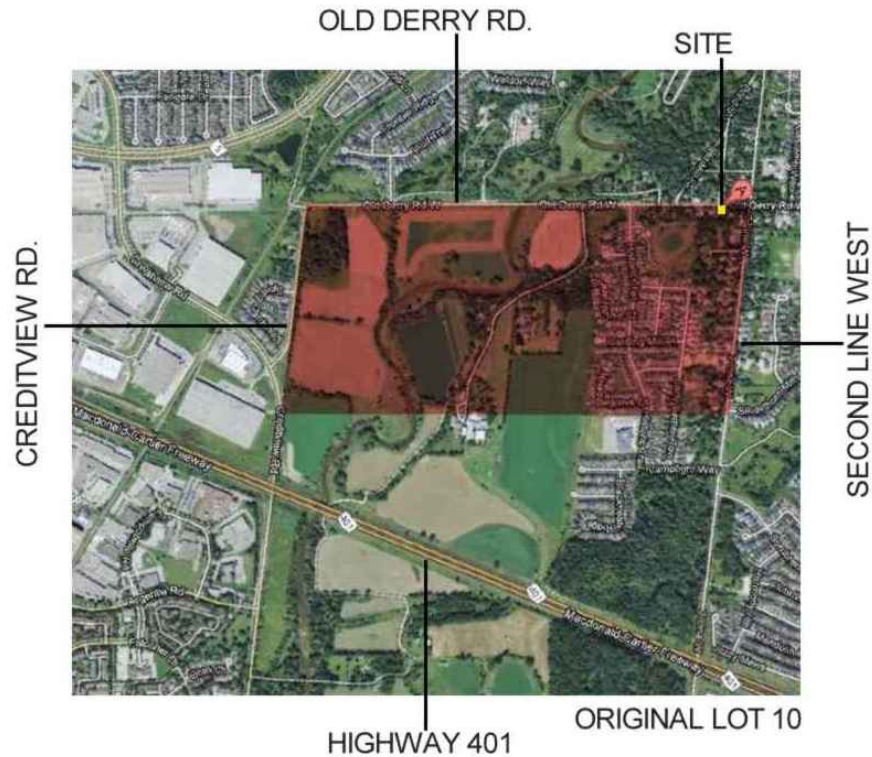


**Site History:**

1050 Old Derry Road is part of the original Lot 10, Concession 3, west of Hurontario Street that was created by the Second Purchase of Land from the Mississauga First Nation in 1818 and surveyed by Timothy Street and Richard Bristol. Lot 10 is a 200 acre parcel that is bounded by modern day Second Line West and Creditview Rd. (previously Third Line West) to the east and west, and Old Derry Rd. to the north. The southern boundary is not readily identifiable but lies north of the present Highway 401.







Lot 10 was deeded from the Crown first to Evan Richards in 1824. It changed hands in its entirety a number of times shortly thereafter – to Janet Heron in 1826, Matthew Dawson in 1830 and then to John Simpson in 1840. Simpson was an entrepreneur and began to sell off individual lots at the north-east corner of the property in one and two rood units (rood is an archaic measurement of area equivalent to  $\frac{1}{4}$  acre) at prices varying between £35 and £60 per rood. (Simpson had paid £659 for the entire Lot 10).<sup>3</sup>

Simpson sold parts of Lot 10 to George Bell in 1854 and 1855 and to Matthew Ludlow in 1856. The exact nature of these transactions is unclear but we can get an idea of the situation upon the death of Matthew Ludlow in 1878 when his property is divided by his executors. This document survives<sup>4</sup> and we see the sale of two roods “being composed of part of the eastern half of lot number 10 in the third concession west of Hurontario Street and known as the west half of village lot number 11 and the whole of village lot number 12 in the village of Meadowvale” to Mary Ann Lamb. This is a property about twice as large as the present 1050 Old Derry Rd. and the purchase price of \$410 would indicate that it was vacant at the time. Likely this was the present 1050 and 1036 Old Derry Rd. properties.

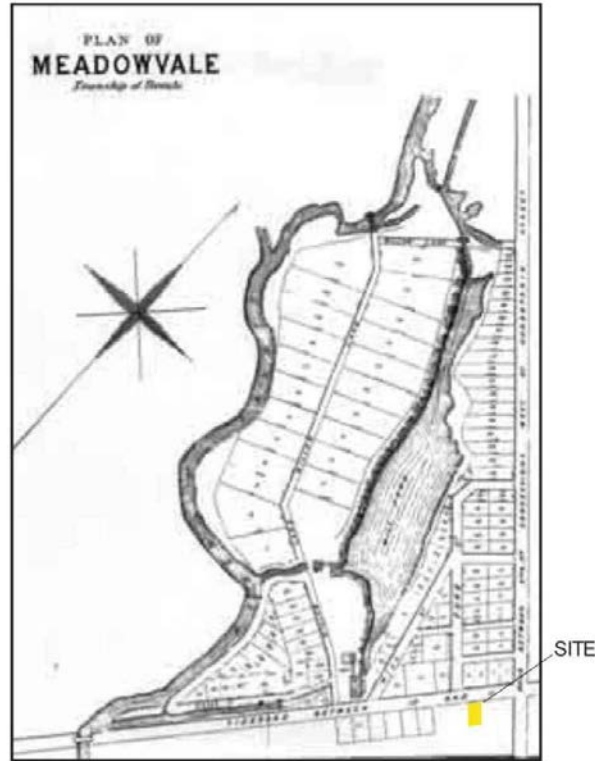
The time of the Simpson and Ludlow ownerships of the property were formative ones for Meadowvale village. Francis Silverthorn’s 1856 plan of subdivision for his lands in Lot 11 (directly north of the subject lands), although not entirely realized, was the basis for Meadowvale village as we know it.<sup>5</sup>

<sup>3</sup> Land Registry Office records, Lot 10, Concession 3 WHS

<sup>4</sup> Instrument 3332, Land Registry Office

<sup>5</sup> Hicks, Kathleen, Meadowvale Village: Mills to Millennium, p.20





SILVERTHORN'S PLAN OF MEADOWVALE - 1856

In lot 10, we also see significant development during this period with the construction of the Methodist Church (1010 Old Derry Rd.) in 1863, Graham-Pearson house (1020 Old Derry Rd) in 1870 and Meadowvale Community Hall (former School House)(6970 Second Line West) in 1871. The Methodist Church and Graham-Pearson house were substantial, brick buildings and together with the Gooderham Estate (929 Old Derry Rd.)<sup>6</sup> built in 1870 form the most significant grouping of buildings in the village.

Mary Ann Lamb owned the property from 1878 to her death in 1928 when it was transferred to her administrator (presumably her son) William T. Lamb. He held the property until 1938 when he transferred it to James A. Lambe, who was likely a relative because William's name is shown as "Lambe" on this document as well. The Lambs (or Lambes) were storekeepers and they owned other properties in Lot 10 as well. Their name appears frequently in the title records in these years. The implication of some of these transfers is unclear. Likely the reason was associated with the building of a house on the property.

In 1942, however, we see a transfer from James A. Lambe *et ux* to Lulu Reeve and John T. Reeve of "Part ... Comm. in Nly. limit 295' W of N angle Thence W 130'x S. at right angles 132'x E. 130'x N. 132' to place or beginning.". This is significant because this is the first description of the property that will go on to become 1050 Old Derry Rd. The purchase price was \$4000 which suggests that the lot had a house on it at the time.

---

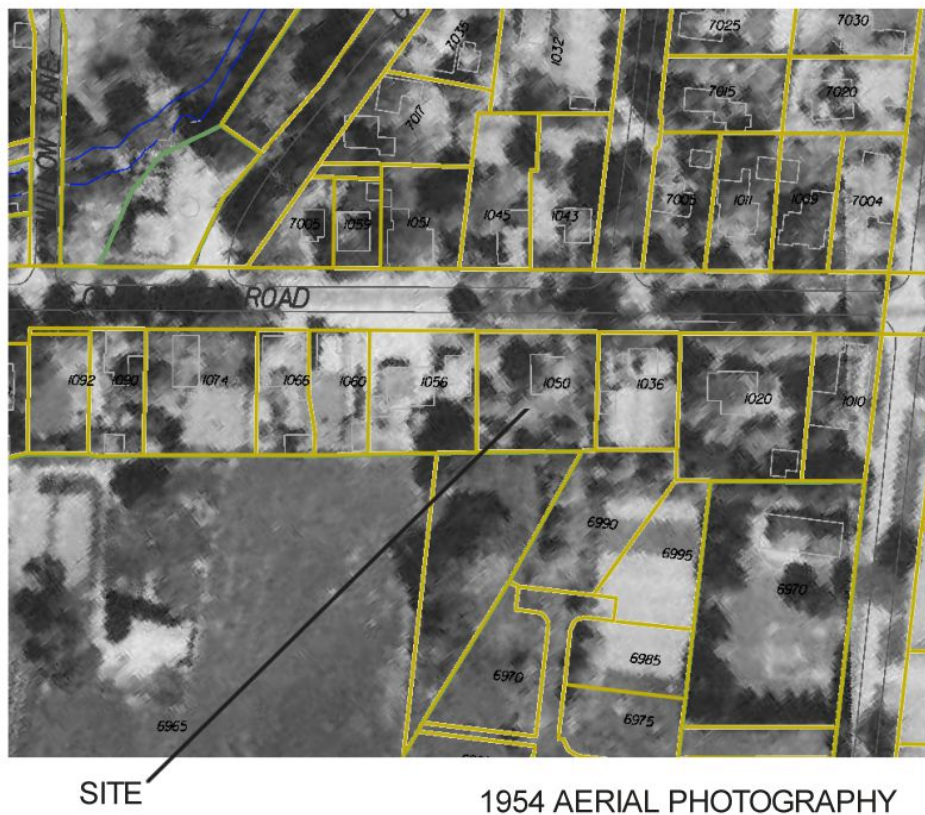
<sup>6</sup> A Heritage Tour – Meadowvale Village (Heritage Mississauga)(pamphlet)



We may conclude from this information that the house at 1050 Old Derry Rd. was constructed in the late 1930's or early 1940's. This construction date is corroborated by the architectural assessment below.

Lulu Reeve, widowed, held the property until 1944 when she sold it to Bertram A. Hale.

Hale would hold the property until 1945 when it was sold to Donald C. McLaren. After McLaren's death, his estate would sell the property to Mary E. Rea and Gordon W. Rea in 1947. The Rea's would hold the



property until 1994 when Mary E. Rea's Estate sold it to Jason Holmes.

The property was then transferred to Neil Michael O'Connor and Giuseppina O'Connor in 2013, and in 2014 was transferred to the present owners.



**Existing conditions on-site:**





**FRONT ELEVATION**



**WEST ELEVATION**





**REAR ELEVATION, NOTE NON-ORIGINAL FRENCH DOOR**



**EAST ELEVATION, NOTE RE-BRICKED UPPER CHIMNEY**



The existing one-storey house is 32' wide x 40' deep. There is a simple, low-slope hip roof with ridge perpendicular to the street. Exterior walls are wood framed with brick façade, brick voissiors and sills. The brickwork is generally not well detailed and may have been a non-professional installation. The foundation is concrete block and partially exposed. There is white-painted board and batten siding in the front porch gable end. The soffits and fascia are also wood and painted white. Soffits are flat for the majority of the house but there is an exposed rafter tail detail with open soffits associated with the front porch. There is no ventilation in the soffit. Roof is asphalt shingle. Main floor windows are wood double-hung, basement windows are wood awning and the enclosed front porch has interesting, older wood casements. There is a newer French door unit on the rear elevation and a newer single door on the west elevation. Trim and detailing is minimal and unremarkable on the exterior of the building and generally not suggestive of high quality or detail. With the exception of the front elevation, windows are randomly placed. The windows are cottage-style splits with vertical muntins on the upper sash and no division on the lower sash. These windows appear to be original to the home. The windows are ganged together in groupings of two or three. This is an interesting and character defining element of the home. This is also a rare feature in Meadowvale Village and speaks to the construction of this home later than the majority of other buildings in the village.

Note that at the time of this building's construction brick veneer was considered an inferior building method to solid brick construction. This would not have been considered a high-quality home when first constructed.

The main floor consists of a covered porch/entrance, a living room, dining room, a kitchen, a bathroom and three bedrooms. There are open stairs to the unfinished basement located in the living room.

The front porch was at some point enclosed with wood casement windows although the apparent age of these windows would indicate that this was not a recent renovation. The porch roof is supported by simple brick columns. It also appears that part of the original porch has been taken over to facilitate an expansion of the kitchen. This is obvious by an awkward brick seam on the west elevation and a corresponding awkward transition between closed and open soffit.





**WEST ELEVATION - TRANSITION AT FORMER OPEN PORCH - NOTE DIVISION AT BRICK, DIFFERENT SOFFIT CONDITIONS, ANIMAL ENTRY HOLE IN SOFFIT**



**PORCH INTERIOR - NOTE CASEMENT WINDOW, PAINTED BRICK, WOOD BOARD CEILING**



The basement is unfinished. Here are located the furnace, laundry and a water pump which appears to have once been connected to a well but now is non-functional. The ceiling heights in the basement are very low with the exception of the northern storage room, which benefits from a dropped basement floor slab. Floor joists are typical sawn lumber 2 x 10's and floor sheathing typical diagonal 1 x 4 boards supportive of a 1940's construction date. In the basement a steel beam runs north-south in the center of the building. This beam appears to be a piece of old steel railway track and it appears to have replaced an earlier wood beam.

The house is in fair condition. There was no major evidence of leaking, rot or significant deterioration<sup>7</sup> although the building exterior is in need of significant maintenance (see below). The floors feel solid. All of the interior finishes have been renewed recently. The floor plan is likely mostly original although the placement of the kitchen and the arrangement of the basement stairs seems not to be. The City of Mississauga Building Department records indicate minimal information as regards to this property.<sup>8</sup>



**KITCHEN SHOWING ORIGINAL WINDOWS**

---

<sup>7</sup> One roof leak was noted and there was standing water and staining in the basement floor that appeared to indicate a long term moisture penetration issue

<sup>8</sup> City of Mississauga website: property information





**NON-ORIGINAL STAIRCASE AND DOOR ARRANGEMENT**



**BASEMENT**





**BASEMENT BLOCK/BRICK WALL - NOTE MOISTURE PENETRATION AT BRICK – THIS IS LIKELY CAUSED BY IMPROPER GRADING**



**BASEMENT - NOTE STAINING, STANDING WATER**





**BASEMENT – RE-PURPOSED STEEL RAILROAD TRACK USED AS BEAM - NOTE POURED CONCRETE FILLER AT BEARING POINT - THIS MAY HAVE REPLACED AN EARLIER WOOD BEAM**

There is an existing white painted wood picket fence across the front of the property. It is in fair condition and clearly not original to the building<sup>9</sup>. The fence is located on City property and through the Site Plan process the City requires that it be removed. The majority of other homes on Old Derry Rd. do not have fences at the streetline and the removal of this fence will not be significant to the heritage character of the building.



**EXISTING FENCE ALONG OLD DERRY RD. - THE CITY REQUIRES THIS TO BE REMOVED**

---

<sup>9</sup> Google Street View image from 2007 shows the fence in position but no earlier documentation for the fence could be found. Wooden fences such as this would typically not have a life expectancy of more than 20 – 25 years so it is virtually certain that this fence is not original. Whether it replaced an earlier fence is unknown.



**Building Condition Assessment and Conservation Recommendations:**

1050 Old Derry Rd. is in need of significant exterior maintenance to prolong its life and to return it to an acceptable appearance. The most urgent repairs required are brick maintenance, grading and waterproofing improvements and soffit replacement.

The brick is of the “rug”<sup>10</sup> variety typical of houses of this construction period. The brick is generally in good condition, although somewhat dirty, but the mortar has been significantly eroded to the point that large areas are missing. Numerous examples of repair of these areas are obvious. These repairs are of very poor quality, likely used inappropriate materials and will require removal and replacement. They were also obviously non-professional and resulted in mortar being smeared onto the face of the brick. This was very unsightly and inappropriate.



**BRICK FINISH – NOTE “RUG” BRICK, MISSING MORTAR**

---

<sup>10</sup> “Rug” brick is brick with narrow-spaced vertical lines pressed into the brick while it is being molded. The lines create a rough appearance similar to a carpet. It was typical in the early 20<sup>th</sup> century





**POOR BRICK REPAIR – MORTAR NOT MATCHING, SMEARED ON FACE OF BRICK**



**POOR BRICK REPAIR AT FRONT STEPS**

The soffits are poorly detailed and in poor condition from environmental deterioration and animal (probably raccoon) damage. They appear to just be plywood sheets roughly tacked in place. They may have replaced or are covering older board type soffit covering, which would have been typical on a house of this age.





**TYPICAL SOFFIT - NOTE TRANSITION OF OPEN AND CLOSED SOFFIT, POOR DETAILING, POOR CONDITION**



**WEST ELEVATION, NOTE ORIGINAL GANGED WINDOWS, BRICK VOISSIORS AND SILLS, OVERALL POOR BRICK CONDITION, POOR SOFFIT CONDITION AND DETAILING**

### **Architectural style and assessment:**

1050 Old Derry is a vernacular building most closely associated with the Craftsman Bungalow or Arts & Crafts Bungalow style. This was an architectural style common in North America in the early 20<sup>th</sup> century characterized by one or one and a half storey massing, low-pitched roofline with deep eaves (and often with exposed rafters or bracketing at the eaves), a front porch created by an extension of the main roof and supported by over-scaled columns. Windows were generally paired and usually double-hung. Dormers were common and often elaborated, with a single gable or shed dormer dominating the




front facing roof. Exterior cladding was often brick on the main floor with wood siding (often shingle) on the second floor and in the gable ends. Garages were usually detached and at the rear.

This was a building type very suited to the suburban development that was taking place in Canada in the early 20<sup>th</sup> century. In Mississauga many of these homes were built in the Port Credit and Streetsville areas and large numbers survive.

Buildings of this type were often built from widely available pattern books of design and details, and the builders often mixed and matched from these books and from what was locally available to create designs that were often quite specific to a local area. Eaton's, Sears and other companies also sold these homes in kit form.


**MAKES ITS OWNERS PROUD**



**The ARGYLE** **Honor Bill** **\$2,349<sup>00</sup>**

*No. 17018 "Already Cut" and Fitted.*

See Description of "Honor Bill" Houses on Page 7.




**FLOOR PLAN**

**THE ARGYLE** Modern Home is a bungalow whose exterior appearance suggests extra fine interior arrangement and furnishings. The front elevation, as you glance at it, bespeaks richness and comfort on the inside. A glance at the illustrations of the living room and dining room proves this conclusively. Note the bookcase colonnade, the beamed ceiling, the massive brick mantel with the built-in bookcase on the side. Note also the extra depth of the living room and dining room, nearly 30 feet long. "A \$6,500.00 house," you might say, and you would not be very far wrong, if it were built in the ordinary way. Yet by our modern merchandising methods we are able to furnish the materials so that you can build it for a great deal less.

Read Complete Description on the Opposite Page.

**SEARS "ARGYLE" BUNGALOW, 1923**



The Craftsman Bungalow is an uncommon architectural style in Meadowvale Village. The only other example is at 7059 Second Line W. This is a 2 ½ storey home that is more characteristic of the style.



**EXISTING HOUSE AT 7059 SECOND LINE W. – SHOWS SIMILAR DETAILING AND MATERIALITY TO 1050 DERRY RD.**

1050 Old Derry as it exists today retains the form and intent of the Craftsman Bungalow but overall is a very weak example of the style. What should be one of the most important features, the wide and dominant porch, is diminished by the fact that it is smaller than would typically be expected in a house of this style and because the porch columns are slender and lacking in detail. It also suffers in that the porch was enclosed at some point in the past and some of the porch area taken over for kitchen expansion. The hip roof is an important character-defining feature but the soffit depth is less than would typically be expected on a house of this style and the soffits are lacking in detail. There is no second floor and consequently no dormer, which would have been a strong element. The strongest character defining elements of this building are its overall form, brick cladding and the ganged, double hung cottage style windows.

### **Context:**

The property is located on the south side of Old Derry Rd. The most significant building in the immediate area is the Graham-Pearson house located two properties to the east. This is a large, two-storey, well detailed and proportioned late Victorian polychromatic brick residence with Italianate detailing. It is immaculately maintained and easily the most impressive single family home in the district. It has a one-storey, recent addition on the west side that somewhat diminishes its heritage value.





GRAHAM-PEARSON HOUSE C.1950 11

Immediately to the east is 1036 Old Derry Rd., a small home constructed of pressed concrete block that has recently been renovated with an addition to the rear. Immediately to the west is a former gas station property that remains in commercial use.

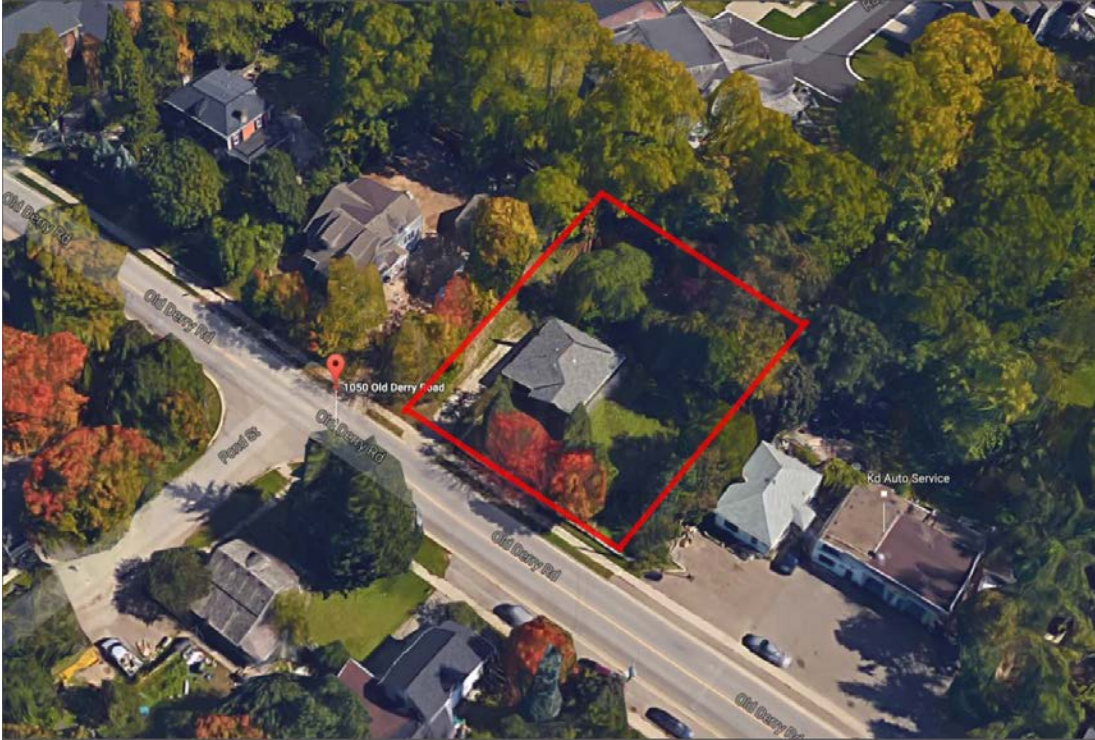
Across the road on the north side of Old Derry Rd. is a well maintained heritage home at the north-east corner of Pond St. and Old Derry Rd that has recently received major additions. To the east of these are two larger, newer residences built with faux-heritage detailing to match the Graham-Pearson house.

To the rear of the subject site is a newer development of large single family homes on relatively small lots. These are also built with faux-heritage detailing, although the massing and scale of these dwellings exceeds anything in the local area. This development must be seen as detrimental to this heritage building in particular and to the district in general.

---

<sup>11</sup> Heritage Mississauga collection





**CONTEXT PLAN - OLDER HOMES TO EAST AND NORTH, FORMER GAS STATION TO WEST, NEWER SUBDIVISION TO SOUTH**

The site and the surrounding properties are significantly treed with mature hedges and planting at the property lines. There are limited views into, out of or through the property.

**Analysis:**

Research failed to discover anything of cultural or historical significance regarding any of the property owners following the presumed construction of the building. There is some cultural significance associated with some of the former owners – John Simpson, Matthew Dawson and Matthew Ludlow. These were all significant landowners in the community but this parcel was merely a part of their holdings and likely not built on at the time. Simpson is especially significant – he is by some regarded as the “founding father” of Meadowvale.<sup>12</sup>

The building’s massing, materials, detailing, and original windows all support the presumed late 1930’s or early 1940’s construction date.

This is a much later build date than the majority of buildings in Meadowvale village and the building differs in character from the majority of these buildings.

Most of the 19<sup>th</sup> century buildings in the village feature wood or stucco siding with single windows in punched openings. Multiple windows in a single opening is a 20<sup>th</sup> century feature and brick was not a common building material in the Village.

<sup>12</sup> A Heritage Tour – Meadowvale Village (Heritage Mississauga)(pamphlet)



The City of Mississauga Heritage Register statement of Architectural Significance for 1050 Old Derry Rd. records as follows:

This is a one storey residential structure constructed of red brick and having a hip roof with asphalt shingling. There is a two bay north asymmetrical facade. The windows are double-hung three-over-one, and fixed with four lites. There is an enclosed front entrance to the building. The structure has brick voussoirs and sills. There is an externally bracketed chimney, which has been altered, such that it is fifty percent new and fifty percent original. The scale, size and overall proportions of this house are compatible with the Village character, although it is a 20th century structure. The setbacks and open space around the home add to its streetscape character.

Heritage Attributes: - The modest scale, shape and form of a one-storey structure, with original brick veneer; - Original wood windows in a three-over-one pattern, and fixed with four lights; - Its location in relation to Old Derry Road and open views to the front and side facades within generous side and rear yards of open green space.

Statement of Significance: The property at 1050 Old Derry Road has historical association with the early development of Meadowvale Village, and the current structure with early to mid-20th century development. The building contributes to the Village character with its modest scale, size, shape, form and materials within a context of generous side and rear yards of open green space.<sup>13</sup>

This is an appropriate description of the building and its contribution to the Heritage Conservation District. Clearly this building is not of itself a major element in the district but it does support the district by “its modest shape, form, size and style” and by its significant setbacks and the preservation of open space around it.

### **Proposal:**

The renovation proposal for this site involves an addition to the south-west to facilitate new basement stairs and side entrance, underpinning the basement to increase headroom and a new covered porch in the rear. The addition along with the new covered porch are both small in massing and have low roof heights so as to not detract from the original house.

At the rear and sides the additions have been designed as a series of individual elements designed to break down their massing and minimize the impact of the additions on the existing building. They are designed as much as practical to be behind the existing and to leave as many of the character-defining features intact as possible. The original building is a very simple form and the additions are designed to be also simple and not dominate the existing. The views into the site are not significantly altered and the property maintains the generous setbacks and feeling of open space that characterizes the existing. The important view from Old Derry Rd. is maintained.

New windows are painted wood (or modern material to give the appearance of wood), simulated-divided-lite units (thermal glazing with muntin bars on both sides of the glass and a spacer bar within the glass), in similar proportion and configuration to the existing. Some new windows are proposed for the existing building but these maintain the same appearance of the existing. The additional windows

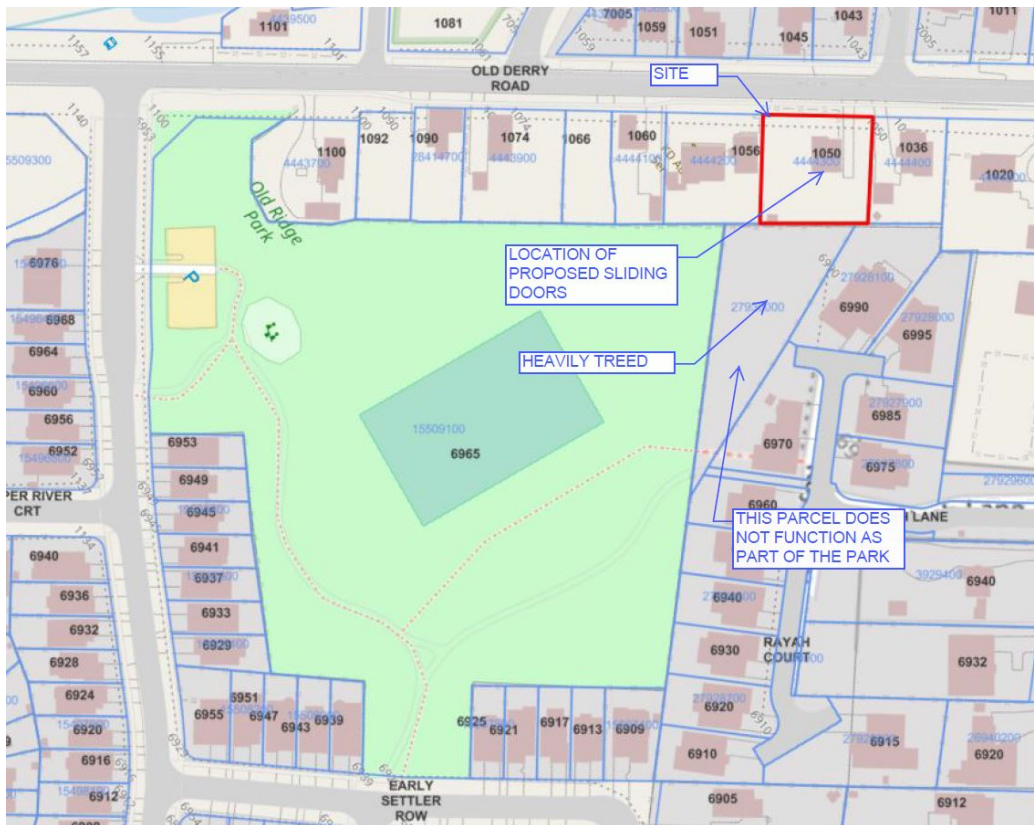
---

<sup>13</sup> City of Mississauga website: Property Heritage Detail



are on the side and rear elevations and will not significantly affect the heritage properties of the building.

On the rear elevation new sliding glass doors are proposed between the dining room and the covered porch. These are contemporary style doors and do not purport to reflect the heritage character of the building. District Plan section 4.2.1.8 allows that “French patio doors will be permitted where they cannot be viewed from the public realm”. This is the case here. Notwithstanding that this property backs onto Old Ridge Park it is adjacent to a heavily treed remnant triangle of land that, while technically part of the Park does not function of such. The City mapping does not even include this land as part of the Park. The proposed sliding glass doors will be visually screened from view by this



**CITY OF MISSISSAUGA MAPPING SHOWING RELATIONSHIP OF SUBJECT SITE TO OAK RIDGE PARK**





**AIR PHOTO SHOWING RELATIONSHIP OF SUBJECT SITE TO OAK RIDGE PARK**

Exterior detailing has been developed for the new elements and this features simple painted wood components and a minimum of applied decoration.

The existing roof structure will be removed (including soffits and fascia) and a new truss roof will be installed over the existing building to match the existing roof. The reasons for this are several – to make good some areas of local settling and to allow for an increased ceiling height and vaulted ceiling potential in the interior of the home. New soffit and fascia will be installed to replace the existing deteriorated material. This roof renovation will in no way change the exterior appearance of the building.

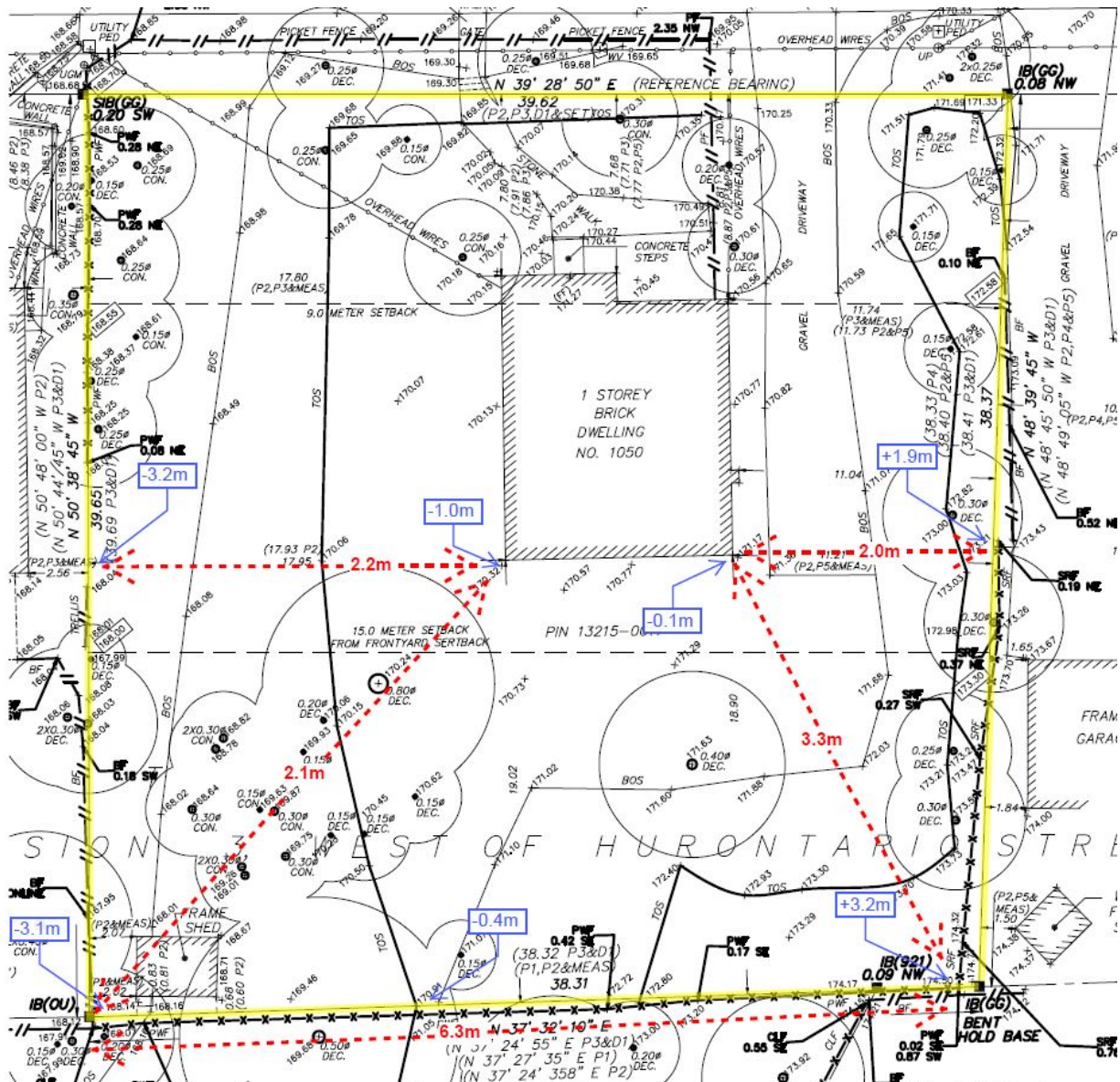
A single car garage is proposed for the property. This is to be located at the end of the existing driveway. It is a simple, wood frame structure similar to others in the community.

#### **Grading Changes & Retaining Walls:**

Some limited grading changes are proposed at the rear of the property. These are to facilitate the construction of the detached garage and to create a small (8m x 13m) flat area at the rear of the dwelling to serve as passive recreational (back yard) space.

The present condition is that there are significant slopes and adverse grading conditions at the rear of this property.





**EXISTING GRADING CONDITIONS – BLUE FIGURES ARE LOCAL GRADE HEIGHTS RELATIVE TO MAIN FLOOR LEVEL – RED FIGURES AND ARROWS ARE GRADE DIFFERENTIALS FROM PLACE TO PLACE**

The plan above illustrates the existing grading conditions at the rear of the property. The easterly rear corner is the highest point on the property and is approx. 3.2m above the finished floor height. The westerly rear corner of the property is 3.1m below finished floor height for a total grade differential across the back of the property of 6.3m or approx. 21'. The easterly rear corner of the property is approx. 3.3m higher than the grade at the nearest point of the existing house while the westerly rear corner of the property is approx. 2.1m lower than the grade at the nearest corner of the existing house. The grading flattens out slightly nearer the house but even here along the back wall of the house there is a grade change of approx. 1.1m from west to east.



The net effect of this grading condition is to make the rear yard of limited value for recreational purposes and to direct runoff water toward the home.



**PARTIAL WEST ELEVATION - NOTE HIGH GRADING CONDITIONS AT REAR OF EXISTING HOUSE**



**REAR ELEVATION - NOTE SLOPING GRADE CONDITION, AWKWARD STEP AT REAR EXIT**

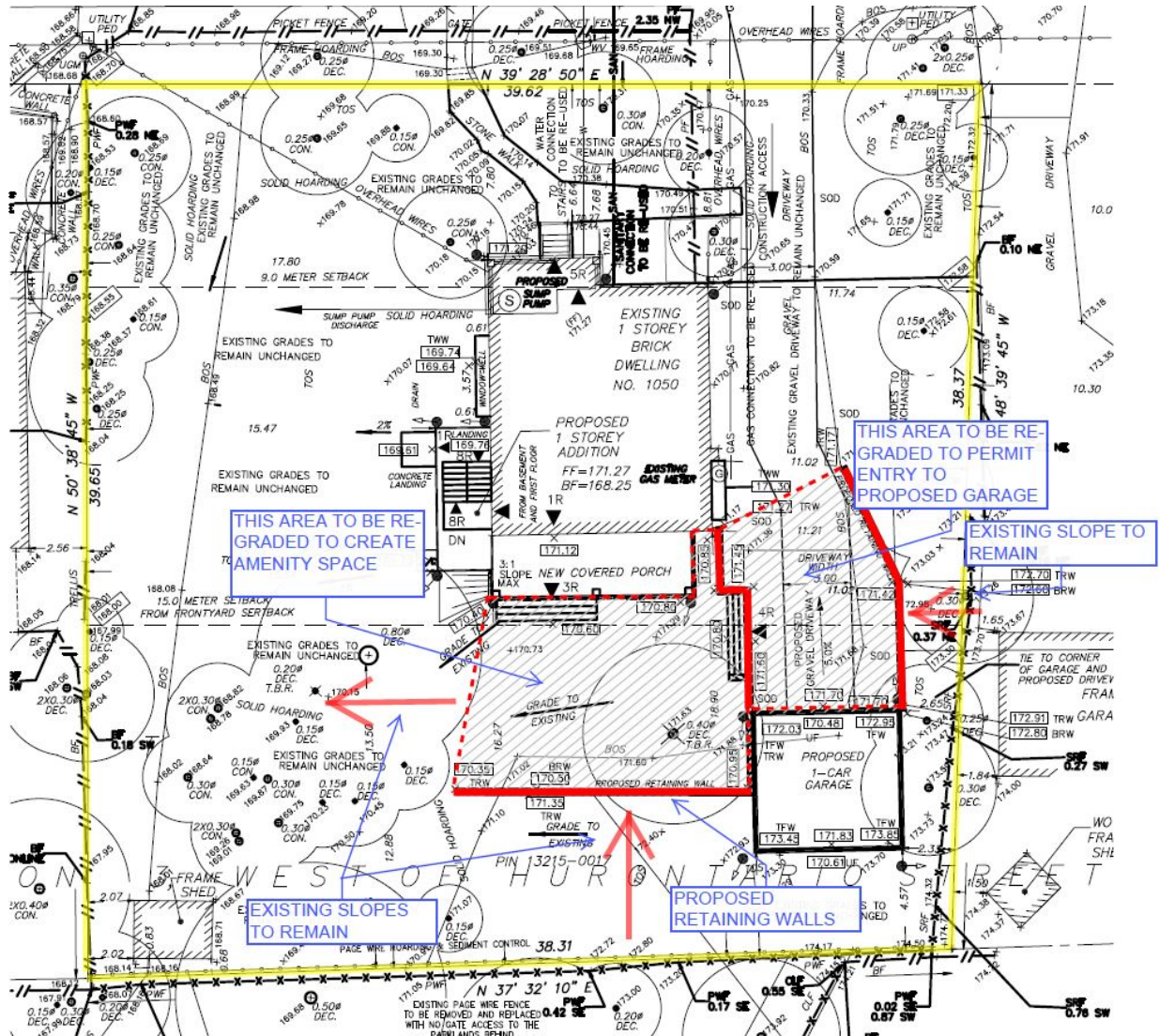




**EAST ELEVATION - PHOTO TAKEN FROM PROPERTY LINE ILLUSTRATING HEIGHT OF EXISTING GRADE**

The proposed grading introduces some retaining walls to deal with these grading conditions to allow the construction of the proposed rear yard garage.





PROPOSED RETAINING WALLS AND RE-GRADING OF SITE - HATCHED AREA INDICATES EXTENT OF RE-GRADING - RED LINES INDICATE RETAINING WALLS - RED ARROWS INDICATE EXISTING SLOPES TO REMAIN

The retaining walls are proposed to be typical dry-laid stone blocks (Pisa Stone or equivalent) with a natural appearance.



TYPICAL DRY-LAID RETAINING WALL WITH NATURAL STONE APPEARANCE



The District Plan section 4.2.1.14 indicates that “retaining walls deemed necessary to preserve natural features are permitted”. In this case, the significant sloping grades on this site are a natural feature and the limited retaining walls are a method to conserve them while also creating the practical benefit of allowing the construction of the rear yard garage, improving grading around the building and creating a small passive recreational space at the rear of the home.

#### **Zoning By-Law:**

The subject property is zoned R1-32 under the City Zoning By-law 0225-2007. This is a fairly restrictive by-law that is specific to the Old Meadowvale Village area only.

The proposal meets the applicable zoning by-law in all respects. The existing building is non-compliant as regards front yard setback however that is an existing condition and no changes to this situation are proposed.

C of A decision A/279/17 was obtained in May, 2017 to legalize the existing front yard and step situation.

#### **Meadowvale Village Heritage Conservation District Plan:**

The proposal meets the intent of the Meadowvale Village Heritage Conservation District Plan (2014), as regards massing, materials, detailing and general design principles (see Appendix).

#### **Conservation Principles<sup>14</sup>:**

Respect for documentary evidence: the material to be replaced includes the original roof structure, soffits and fascia. The replacement roof structure will be identical to the existing in shape and form. The original soffits and fascia are in deteriorated condition, are simple flat boards and will be replaced with similar material.

Respect for the original location: no re-location of the heritage resource is proposed.

Respect for historic material: Minimal loss of significant historic material is proposed. This loss is restricted to the original roof structure, soffit and fascia and some minimal loss of original brick material to facilitate the addition and new window openings.

Respect for original fabric: Existing materials to remain will be conserved.

Respect for the building's history: Not applicable in this instance.

Reversibility: Original bricks removed during the renovation are recommended for retention on site for future repairs or in the event that the additions are reversed.

Legibility: The proposed addition is demonstrably different from the original heritage building.

Maintenance: Ongoing periodic maintenance is expected to take place.

---

<sup>14</sup> Ontario Heritage Trust: “Eight Guiding Principles in the Conservation of Heritage Properties”



**Alternative Design Options:**

The project requirements were to increase the functionality and interior space of the home and to provide a more attractive rear yard condition. Options for more extensive main floor additions were explored but eventually this combination of adding the additional side entry and stair combination and underpinning of the basement was chosen as the least intrusive way of accomplishing the design requirements.

The location of the proposed addition, at the side of the property furthest from the driveway entrance to the property and set back far from the street was chosen to be minimally visible from the street and to not significantly change the appearance of the building.

The proposed rear porch is likewise minimally visible from the street.

**Summary Statement and Conservation and Mitigation Recommendations:**

The City of Mississauga Heritage Register identifies the following elements to be of significance regarding this building:

- two bay asymmetrical façade
- hip roof
- red brick with brick voussoirs and sills
- double-hung three-over-one windows
- building modest in scale with generous setbacks
- view from Derry Rd.

The proposed alterations to this building leave these elements intact and largely unchanged. There is no unacceptable impact to the heritage resource.

Conservation measures during construction should include protection of the existing heritage fabric and conservation of any removed materials, including brick facade. Some of these bricks will have to be removed from the rear, east and west sides of the building and these should be carefully handled and kept for possible repair to the remaining parts of the building, saved for potential re-use on the site or offered to others in the area with similar homes for use in making repairs and alterations.

Given the small scale of the addition and significant retention of original features, no mitigation is required.

There is no requirement for further investigation of alternative development or site alteration approaches.

**Mandatory Recommendation:**



The property must be evaluated under the criteria for designation under Ontario Regulation 9/06, *Ontario Heritage Act*. This is the part of the Act that allows designation of individual designations (Part IV designations). The criteria area:

1. The property has design value or physical value because it,
  - i. is a rare, unique, representative or early example of a style, type, expression, material or construction method.
  - ii. displays a high degree of craftsmanship or artistic merit, or
  - iii. demonstrates a high degree of technical or scientific achievement.

*Analysis: Nothing about the building in its present state would indicate that it was ever rare, unique or displayed a high degree of craftsmanship or achievement, and clearly now it does not display any of these attributes. The building displays much less craftsmanship and architectural interest than other buildings in the local area or buildings of similar vintage elsewhere in Mississauga. The red/brown brick is of some interest as an anomalous material in the Meadowvale community and is indicative of a later construction date than the majority of houses in the village. The double hung three over one windows ganged together are similarly of some interest because of their rarity in the Village. Both brick construction and ganged windows are common in many other neighborhoods of Mississauga, however.*

2. The property has historical value or associative value because it,
  - i. has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to the community,
  - ii. yields, or has the potential to yield, information that contributes to an understanding of a community or culture, or
  - iii. demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.

*Analysis: The building proposed to be renovated is of a later era than the majority of buildings in the Meadowvale Heritage Conservation District and so has no association with the early development of this area. There is no evidence that this building has any significance to any identifiable community or culture. There some evidence of association of the property only (but not the building) to John Simpson, an individual who was of cultural importance to the community, but the connection is not significant.*

3. The property has contextual value because it,
  - i. is important in defining, maintaining or supporting the character of an area,
  - ii. is physically, functionally, visually or historically linked to its surroundings, or



iii. is a landmark.

*Analysis: The building proposed to be renovated has some contextual value and by its small size and simplicity of its design does support the character of the streetscape. Despite the fact that it is not associated with the earliest development of the community it does have value as an example of mid-20<sup>th</sup> century rural development. It is not linked to its physical location or surroundings in a significant way. It is not a landmark.*

**Conclusion:**

The house at 1050 Old Derry Rd. does have some material and contextual value and is properly part of the Meadowvale Village Heritage Conservation District, but it would not be worthy of an individual designation under Part IV of the Act.

**Provincial Policy Statement:**

Under the Provincial Policy Statement,

“Conserved: means the identification, protection, use and/or management of cultural heritage and archaeological resources in such a way that their heritage values, attributes and integrity are retained.”

*Analysis:*

*Under this definition, 1036 Old Derry Rd. warrants conservation as regards its general massing, architectural intent, materials and contribution to the streetscape and Heritage Conservation District. The proposed alterations do conserve these attributes.*

**Appendices:**

- ☐ Elevations of existing building
- ☐ Floor plans of existing building
- ☐ Site plan of proposed development
- ☐ Elevations of proposed development
- ☐ Floor plans of proposed development
- ☐ Meadowvale Conservation Heritage District Plan Commentary

**Bibliography:**



Hicks, Kathleen A., Meadowvale: Mills to Millineum,  
A Heritage Tour – Meadowvale Village (Heritage Mississauga)(pamphlet)(undated)  
Heritage Mississauga Images database  
City of Mississauga – Historic Images Database  
City of Mississauga – Building Department records  
Directory of the County of Peel 1873-1874  
Records of Census 1911



### **Meadowvale Village Heritage Conservation District Plan 2014:**

Following is an examination of this proposal against the criteria found in section 4.2.3 of that Plan:

#### *4.2.3.1 Scale*

- *Width to length ratio of principle structure or additions should be consistent with designs found within the Village*

The intent of this section was to prevent buildings and additions that were awkward or unusual in shape. The proposed addition is small and beside only a portion of the existing building.

There is no change to the apparent width to length ratio.

#### *4.2.3.2 Location*

- *Exterior additions should be located at the rear, or on an inconspicuous side of the building, limited in size and scale to complement the existing building and neighbouring properties*

The proposed addition to this building is located on an inconspicuous side and far behind the front elevation. It meets this criteria.

- *Outbuildings, including garages and greenhouses, should be detached and located at the rear, or on an inconspicuous side of the building, and be limited in size and scale to complement the main structure and neighbouring properties*

The proposed garage is located at the end of the existing driveway.

- *Additions at the rear should always be slightly lower than the existing roof line and stepped in at the sides in order not to overpower or dominate the existing building and the view from the street. Additions so constructed will also tend to be more compatible with adjoining properties*
- *Additions are best set back as deeply as possible from the existing front wall plane in order to be unobtrusive to the streetscape and differentiate the addition from the older structure*
- *The existing building shall maintain a dominant street presence with opportunities for landscaping in the addition's setback area*

The proposed addition is very small in footprint and located behind the front wall of the existing building. It will be minimally visible from the street. The intent of these guidelines is maintained.

- *A primary pedestrian and accessible access from the street shall be encouraged*

The existing means of access and front door location from Old Derry Rd. will be maintained.

- *Corner properties should have an equal proportion of architectural details, such as traditional windows and doors, on both street fronting façades*

This is not a corner property.



#### 4.2.3.3 Roofline

- *The style and pitch of an existing roofline will be retained*
- *New roof dormers should be located at the side or rear rather than the principal façades, and their size, shape and form should be similar to any original dormer(s) to the structure or within the Village*

The existing roofline will be retained. No new dormers are proposed in the existing roof. The proposed roofline of the addition and rear porch is consistent with the existing home.

#### 4.2.3.4 Roofing • *Roofing materials should be of a style traditionally found within the Village, including wood shingles, metal and asphalt shingles*

Asphalt shingle roofing is proposed.

#### 4.2.3.5 Windows

- *Windows important to the architectural character of the building, or in view of the public realm, will be retained and not blocked or removed as part of an addition*
- *New window design will be compatible with the original in terms of proportions, rhythm and scale*
- *Modern materials may be used, however, they should have the visual appearance of traditional materials*
- *The style of new windows on an addition should be consistent with the windows of the original structure in form, size and alignment, unless they cannot be viewed from the public realm*
- *Windows should be vertically oriented with a minimum width to height ratio of 1:1 ¾*

The windows in the proposed addition will be similar to those in the existing building.

#### 4.2.3.6 Doors

- *Doors on an addition should be of a traditional design which is typical to that style of building*
- *Modern materials may be used, however, they should have the visual appearance of traditional materials*

The existing front door is in good condition and will be retained. Other doors will be wood or modern material painted to appear as wood and will also be appropriate to the character of the building.

#### 4.2.3.7 Cladding

- *Cladding should be of a traditional design that is typical to the style of building*
- *Cladding materials on an addition should be different from the existing building*
- *Modern materials may be used, however, they should have the visual appearance of traditional materials.*

The existing brick cladding is in serviceable condition and will be retained. The proposed addition will be brick at its base but wood panel above to create a visual separation between the existing building and the addition.

#### 4.2.3.8 Trim

- *The removal of original trim on an existing structure should be minimal when constructing an addition*



- *Modern materials may be used, however, they should have the visual appearance of traditional materials.*

The original soffit material will be replaced with similar materials. The original soffit material is not architecturally significant and not in good condition.

#### *4.2.3.9 Shutters*

- *Shutters added to an addition should be of a design which is typical to the style of the original building and to the Village*
- *Modern materials may be used, however, they should have the visual appearance of traditional materials.*

There are no shutters on the existing building and none are proposed on the addition.

#### *4.2.3.10 Stairs, Verandahs, Porches and Balconies*

- *The replacement (whole or partial) of existing porches, verandahs, stairs or balconies should be discouraged except in the case of substantial deterioration, in which case the replacement should be designed and constructed in the original style*
- *New railings and staircases should be constructed in a design that is consistent with the style of the building and in the Village*

The existing front porch will be maintained.

There are new steps on the proposed rear porch. These will be simple wooden steps. This is consistent with the design of the house and others in the village.

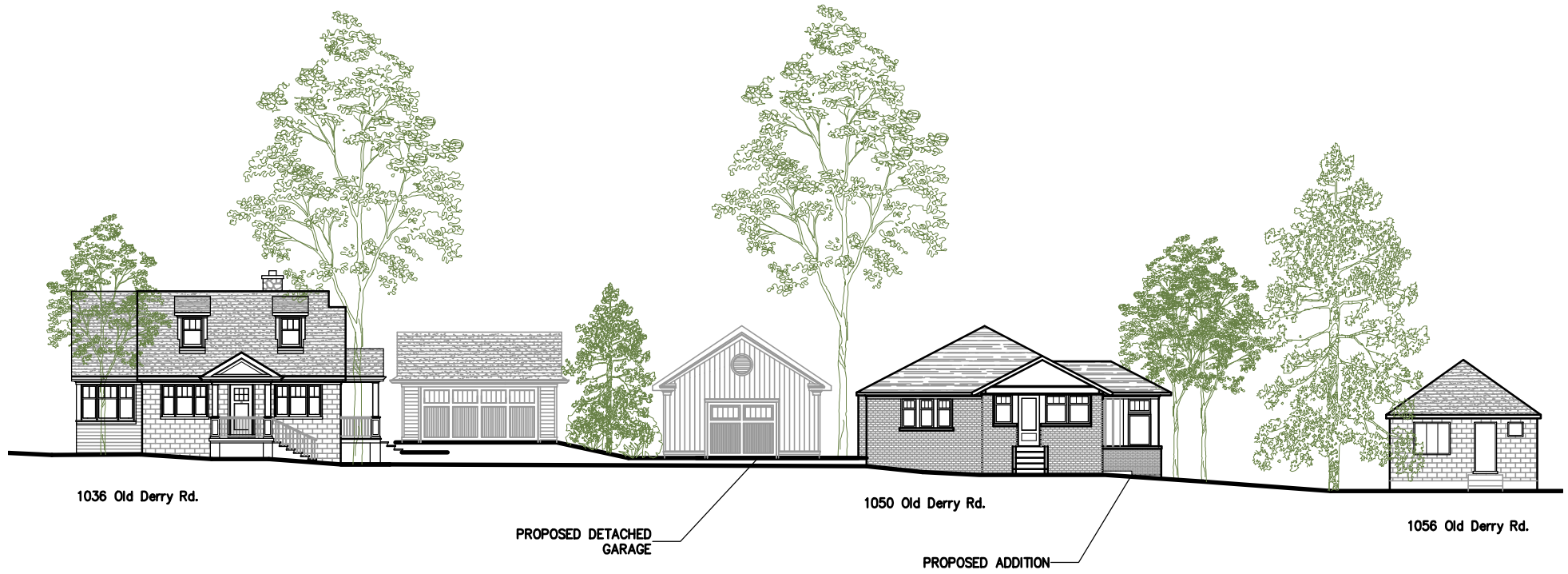
#### *4.2.3.11 Scale*

- *The design of an addition which does not alter the structure's original orientation and main entrance will be permitted*
- *The design should be of an appropriate scale to the existing structure and kept to areas away from the main façades*
- *Additions are to be complementary in design, scale, mass and form, but distinguishable from the original building*
- *Additions should allow for the retention of as much of the original structure as possible*

The proposed addition does not alter the original orientation and main entrance of the existing building.

The proposed addition is highly distinguishable from the existing building and the amount of material loss from the existing building is minimal because of the addition.







November 7, 2017

## **Heritage Conservation Management Plan – 1050 Old Derry Rd., Mississauga ON**

### **1. Introduction**

-An executive summary of the scope of the project:

*The proposal is to do work as follows:*

- an small addition (about 16m2) at the south-west corner of the building to house new basement stairs and a powder room*
- a covered porch (about 25m2) on the south elevation*
- remove the existing roof structure and replace it with a new truss structure (there will be no change to the outward appearance of the building as regards this change but this will allow for higher ceiling heights inside the building)*
- replace existing deteriorated soffits on building to match existing*
- underpin the existing basement to remedy water penetration issues and to lower the basement floor – creation of a finished basement in this space*
- addition of new windows to the existing building associated with the finished basement and changed interior room layout*
- create new garage at south-east corner of property*
- extend existing driveway to connect to new garage*
- grading improvements to drain water away from building*
- re-pointing and repair of the existing masonry*
- painting and repair of the existing windows*

-Background information to document the historical and development history of the site

*See attached HIS report.*

- Identification of the property owner and stakeholders, current and proposed use

*See attached HIS report. The current and proposed use is single family dwelling.*

### **2. Project Description**

Property Description:

- Identify the location, municipal address and provide an appropriate location map

*Part of Lot 10, Concession 3, West of Hurontario St.  
1050 Old Derry Rd., Mississauga.*



*See location map in attached HIS report*

- Documentation of the existing conditions to include recent specialized photograph documentation, measured drawings, site plan, identification of site features such as topography, landscaping or other on-site features

*See attached HIS report.*

- Landscape inventory and documentation will include a site plan, views and vistas, water features, tree location and species, land forms, geological formations, fences, walls, berms, pathways, or any other landscape features

*See attached HIS report and Arborist report. There are no significant views or vistas into or out of the property. The property slopes from east to west approx. 5m in elevation. There are no water features, significant land or geological formations. No significant changes to the landform are proposed. There is a typical white painted board fence across the front of the property. This is not proposed to be altered.*

- Identification of neighbouring properties, including any built form or features, required to illustrate the context of the subject property

*See context description in attached HIS report. To the north, east and west are single family dwellings forming part of the Old Meadowvale Heritage Conservation District. To the north are new subdivision homes built in faux-heritage style.*

- Summary of the history of the property outlining its development over time within a timeframe context

*See attached HIS report*

- Documentation of land ownership from the original Crown Grant and subsequent records from the land registry office

*See attached HIS report*

B) Significance:

- Statement of cultural heritage value or interest

*See attached HIS report*

- Identification of the cultural heritage attributes and values of the property structures and landscape features

*See attached HIS report*

- Identification of any recognized significance, such as a heritage designation by- law, historic plaque, etc.



*The property is part of the Old Meadowvale Heritage Conservation District but is not otherwise identified*

C) Planning and Policy Status:

- Provide details of the current land use and related Official Plan policies and Zoning

*The property is zoned R1-32 under the Mississauga Zoning By-law 0225-2007.*

- Identify any regulatory requirements (e.g. heritage designation, flood plain requirements, etc.)

*The property is designated under Part V of the Ontario Heritage Act and regulated by the Old Meadowvale Heritage Conservation District Plan. There are no flood plain issues. It is not regulated by the Credit Valley Conservation Authority.*

3. Project Objectives

- Outline what is to be achieved by this project

*The intention of the project is renovate and rehabilitate this home to allow it to be used as a single family dwelling for the foreseeable future.*

- Provide short term and long term goals and objectives

*Short term and long terms goals are similar – to allow the building to function as an appropriate single family home*

- Proposed solutions for conservation of the property's heritage attributes

*See attached HIS*

- Provide the conservation policies to be used in this project (i.e. what conservation principles will be used to ensure long term conservation, maintenance, monitoring, and sustainable use of the property)

*This is discussed in the attached HIS and in the appendix to this document. Generally the existing building is in fair condition and is suffering from lack of routine maintenance but has not deteriorated to the extent that major conservation work is required. There will be minimal loss of original exterior materials. The nature of the future use makes the likelihood of long term maintenance and sustainable use very high.*

4. Statement of Heritage Intent

- An explanation is required that proposes the reasoning and considerations behind the choice of conservation treatments.

*The conservation treatments proposed for the brick and windows are really just periodic maintenance – re-pointing as necessary for the brickwork and scraping and painting for the windows. The soffits are in very poor condition, only partially original, were poorly installed in the beginning and have deteriorated beyond the point of repair. Replacement is the best option here.*



- Statement as to why one period of restoration over another was selected, rationale for new interventions, background resources used such as principles and conventions of heritage conservation.

*There is no restoration proposed as part of this project and no choice of period. The rationale for the intervention at the rear and west elevation of the building was that these would be only minimally visible from the street and would appear demonstrably different from the original building. The proposed garage is behind the existing building, is typical of other garages in the community and will complement the heritage building.*

- Statement as to the recording, inventory and disposition/retention of moveable cultural heritage resources (e.g. artifacts, archival material, salvaged material) and its incorporation into the conservation project.

*It is recommended that any bricks salvaged from the construction be retained on-site if required for future maintenance on the building.*

## 5. Condition Assessment of the Cultural Heritage Resource(s)

- Condition report of the cultural heritage resource(s) and specific attributes, identifying any deficiencies or concerns.

*As noted in the attached HIS and above the building is generally in fair condition.*

- Detailed recommendations to mediate and prevent further deterioration. Direction as to use or change in use and how that relates to conserving the heritage attributes.

*The building will require ongoing maintenance but no more so than any other similar structure. The brick finish is very durable and will likely require little on-going maintenance after the re-pointing is complete. The proposed use will not result in any increased maintenance obligations.*

- Outline opportunities and constraints with relation to all aspects of the project (i.e. budget, planning issues, public access, long term needs)

*The owner has not revealed their budget for the project but it is not expected to be large given the value of the property. There are no planning issues. There are no requirements for public access. There are no significant long term needs associated with the building.*

- Recommendations for conservation treatments that reference the framework provided in Parks Canada Standards and Guidelines for the Conservation of Historic Places In Canada.

*See Appendix at end of this document.*

*Brick maintenance and repointing should be undertaken by qualified individuals under the supervision of a heritage consultant and using as a guideline for their work "General Guidelines for the Preservation, Rehabilitation and Restoration of Masonry" from the Standards and Guidelines for the Conservation of Historic Places in Canada and "Practical Conservation Guide for Heritage Properties – Masonry" available from the Region of Waterloo. Both documents are appended to this document.*



## 6. Building System and Legal Considerations

- Statement to explain the building and site use from a practical, logistical and legal perspective

*The site presently functions as a single family home and has done so since its construction about 1940. The property is relatively large by urban standards and it is connected to the street by a single car driveway. The building is generally unremarkable in the local community. The proposal is to do a small addition and interior improvements to allow it to continue to function as a single family residence.*

- Input from structural, mechanical, electrical, planning, geotechnical, trades, and all other required fields of expertise to ensure the project is viable and sustainable. Building and site system review may include:

- Site Work (e.g. landscaping, drainage, servicing)

*JHG Surveying are the surveyors on this project and are responsible for grading and servicing design. They have extensive experience in the Mississauga area.*

- Trees, shrubs, other plantings,

*An Arborist report has been prepared by Storybook Tree Services. There will be minimal impact on the existing vegetation.*

- Archaeological concerns and mitigation

*There is no requirement for archaeological investigation.*

- Structural elements (e.g. foundation, load bearing)

*Centric Engineering Corporation have been retained to do the required structural engineering consulting*

- Building Envelope (roof, wall cladding, window type), Ontario Building Code, Accessibility

*SMDA are the architectural consultants on the project*

- Mechanical, Plumbing, Electrical

*Les Druiven is the mechanical consultant on this project*

- Finishes and Hardware

*No significant finishes or hardware are proposed*

- Fire Safety and Suppression

*There is no requirement for fire safety or suppression devices*

- Environmental Considerations, Lighting, Signage and Wayfinding, Security



*No significant environmental considerations are expected. There is no requirement for significant lighting, signage, wayfinding or security as part of this proposal.*

- Legal Considerations (e.g. easements, encroachments, leasing, etc.)

*There are no leasing arrangements. There are no encroachments or other legal issues.*

## 7. Work Plan

- Timeline to describe, in chronological order, to meet the objectives and goals Statement as to specialized trades or skills that will be required to complete the work

The work will consist of:

- removal of interior partition walls as necessary, kitchen, bathrooms, stairs, etc.
- removal of existing plumbing, heating and electrical systems as necessary
- installation of new beams and load bearing elements in basement, underpinning of basement walls
- local demolition at rear, excavation, creation of foundation for addition and porch
- removal of existing roof assembly, replacement by new truss roof assembly
- framing of new roof, interior partitions, new walls for addition
- creation of openings in existing exterior walls for new windows and doors
- installation of new mechanical and electrical systems
- installation of new soffits and exterior trims
- scraping and painting of windows
- re-pointing of existing brickwork
- interior finishing – completion of new bathrooms, etc.
- building of new detached garage
- removal of the existing front picket fence
- re-grading of site, landscaping

*The work will require qualified local trades but nothing particularly specialized. It is not expected that it will be difficult to find trades to execute the work.*

- Proposed budget to meet and sustain the goals and timeline; long term and short term maintenance schedule

*The budget has not been finalized. There will be ongoing maintenance of the building by the new owners as necessary. No special maintenance program will be necessary.*

- Monitoring schedule, process and identify those responsible for monitoring

*The professionals noted above will be responsible for review during the construction period.*

## 8. Qualifications

- Heritage Conservation Management Plans will only be prepared by accredited, qualified professionals with demonstrated experience in the field of heritage conservation



*A CV for Rick Mateljan is attached.*

- Conservation Plans are usually a multidiscipline exercise whereby all consultants on the project must demonstrate accredited professionalism, experience and knowledge in their chosen field of expertise

*All of the consultants are appropriately licensed in Ontario and have experience on similar projects.*

9. Additional Information

- Bibliography of all documentation resources

- List of consultants and other professionals related to the project

*The Consultant team is named above.*

10. Additional Reports that may be required:

- Archaeological report, Arborist's report, Structural engineering report

*Noted above*

- Any other report that City staff may require to assess the project

11. Approval Authority

The City of Mississauga will be the approval authority for a Heritage Conservation Management Plan

Contact Information:

Inquiries regarding the submission and requirements of a Heritage Conservation Management Plan should be addressed to Heritage Planning, Culture Division, City of Mississauga

Email: [culture.division@mississauga.ca](mailto:culture.division@mississauga.ca)



APPENDIX:

Commentary based on Parks Canada Standards and Guidelines for the Conservation of Historic Places In Canada

1. Conserve the heritage value of a historic place. Do not remove, replace or substantially alter its intact or repairable character-defining elements. Do not move a part of a historic place if its current location is a character-defining element.

*Minimal removal or replacement of character-defining elements is proposed. No movement of any part of the building is proposed.*

2. Conserve changes to a historic place that, over time, have become character-defining elements in their own right.

*The most significant change over time to the building is the enclosing of the front porch. This is not proposed to be altered*

3. Conserve heritage value by adopting an approach calling for minimal intervention.

*The massing, materiality and detailing of the building is not proposed to be changed.*

4. Recognize each historic place as a physical record of its time, place and use. Do not create a false sense of historical development by adding elements from other historic places or other properties, or by combining features of the same property that never coexisted.

*There is no attempt to create a false sense of development.*

5. Find a use for a historic place that requires minimal or no change to its character-defining elements.

*There is no change of use.*

6. Protect and, if necessary, stabilize a historic place until any subsequent intervention is undertaken. Protect and preserve archaeological resources in place. Where there is potential for disturbing archaeological resources, take mitigation measures to limit damage and loss of information.

*The owners are anxious to complete the work and put the building to use. There is no need to stabilize. There is no requirement for archaeological investigation.*

7. Evaluate the existing condition of character-defining elements to determine the appropriate intervention needed. Use the gentlest means possible for any intervention. Respect heritage value when undertaking an intervention.

*The existing condition of the building is fair. The most significant character defining element of the building is the brick exterior finish and this is in urgent need of maintenance if it is to not deteriorate further. This maintenance is part of this project.*



8. Maintain character-defining elements on an ongoing basis. Repair character- defining elements by reinforcing their materials using recognized conservation methods. Replace in kind any extensively deteriorated or missing parts of character-defining elements, where there are surviving prototypes.

*Noted. Re-pointing of the existing masonry is proposed. No other repair or replacement of character defining elements are proposed.*

9. Make any intervention needed to preserve character-defining elements physically and visually compatible with the historic place and identifiable on close inspection. Document any intervention for future reference.

*No such interventions are proposed. The original building is documented in the HIS report attached.*



**RICK MATELJAN B. A. Lic. Tech. OAA**

3566 Eglinton Ave. W., Mississauga, ON

(t) 416 315 4567 (e) rick.mateljan@smda.ca

**curriculum vitae**

---

**Education:**

1978-1983

**Trinity College, University of Toronto**

- B. A. (4 year) (Specialist English, Specialist History)

1994-1995

**Ryerson Polytechnic University**

- detailing of residential and institutional buildings, OBC, technical and presentation drawing

1997-2006

**Royal Architectural Institute of Canada Syllabus Program**

- program of study leading to a professional degree in architecture

---

**Employment:**

2010 - Present

**Strickland Mateljan Design Associates Ltd.(Partner)**

- architectural design practice specializing in custom residential and small commercial /institutional projects, land development consultation, residential infill, adaptive re-use, heritage conservation
- heritage and urban design consulting for complex infill projects
- responsible for management, business development, marketing and project delivery
- extensive experience with building technical issues, integration of building systems, barrier-free issues, change of use issues, Ontario Building Code
- extensive experience in municipal approvals, heritage approvals
- Ontario Association of Architects licence with terms, conditions and limitations

2001 - 2010

**Gren Weis Architect and Associates, Designer and Project Manager**

- design, design development, conceptual, working and presentation drawings, project co-ordination, site review, liaison with authorities having jurisdiction
- extensive client, consultant and building site involvement
- extensive experience in multi-disciplinary team environments
- specialist at Municipal Approvals, Site Plan and Re-zoning approvals
- specialist at renovation and conservation of Heritage buildings, infill developments in Heritage communities
- corporate communication, advertising and photography



1993-2001

**Diversified Design Corporation, Owner**

- conceptual design, design development, working drawings, approvals for custom residential, institutional and commercial projects
- construction management and hands-on construction

---

**Recent professional development:**

2017	RAIC/OAA Conference, Ottawa ON
2017	Ontario Heritage Association Conference, Ottawa ON
2012	OAA – Admission Course
2011	Ontario Heritage Association Conference, Cobourg ON
2010	Georgian College – “Small Buildings”
2010	Successfully completed Ministry of Municipal Affairs and Housing “Small Buildings” and “Designer Legal” examinations
2010	Successfully completed OACETT professional practice exam
2008	Qualified to give testimony before the Ontario Municipal Board
2007	OAA – Heritage Conservation in Practice
2006	RAIC – Standards and Guidelines for the Conservation of Historic Places in Canada

---

**Activities:**

2016-present	Member, OAA Practice Committee
2015-2016	Guest critic, Centennial College Architectural Technology Program
2014-2015	Guest critic, University of Waterloo Architectural Practice Program
2012-present	Member, Board of Directors, OAAAS and member of the Student Award Jury
2011-2016	Member, Editorial Committee, OAA Perspectives magazine
2008-2015	Member, Board of Directors of Oakville Galleries (President 2011-2013)
2007-present	Member, Mississauga Heritage Advisory Committee (vice-chair from 2015), member of the Heritage Award jury and Heritage Property Grant Panel
1995-2001	Member, Oakville Local Architectural Conservation Advisory Committee and Oakville Heritage Review Committee (Chair from 1998)
2001-2004	Alternate Member, Oakville Committee of Adjustment (appointed but never called to serve)

---

**Memberships:**

Ontario Association of Architects  
 Ontario Association of Applied Architectural Sciences



City of Mississauga  
**Corporate Report**



Date: February 8, 2018

To: Chair and Members of Heritage Advisory Committee

From: Paul Mitcham, P. Eng, MBA, Commissioner of  
 Community Services

Originator's files:

Meeting date:  
 March 6, 2018

## Subject

**Request to Alter a Heritage Designated Property: 34 John Street South (Ward 1)**

## Recommendation

That the proposed alteration of 34 John Street South, as per the Corporate Report from the Commissioner of Community Services, dated February 8, 2018, be approved.

## Background

The subject property is designated under Part V of the Ontario Heritage Act as it forms part of the Old Port Credit Village Heritage Conservation District (HCD). Of the three classifications of properties in this district – historic, complementary and other – the subject property is complementary. As per section 3.1.3.2 of the Old Port Credit Village Heritage Conservation District Plan, additions and carports require a heritage permit.

## Comments

The owner of the subject property requests permission to install front and rear additions, a new front porch and a carport with an extended gravel driveway. The application is a revision to a heritage permit issued late last year. (See item 7.1 here:

[https://www7.mississauga.ca/documents/committees/heritage/2017/2017\\_11\\_14\\_HAC\\_Agenda.pdf](https://www7.mississauga.ca/documents/committees/heritage/2017/2017_11_14_HAC_Agenda.pdf).) The proposed rear addition is two storeys, while the front one a single storey; the renovation includes the demolition of an exterior basement access. The drawings are attached as Appendix 1.

The proposed additions are small and simple and a front porch is retained. The proposed windows are flat-headed and taller than they are wide, though the multiple panes and any snap-in muntin bars should be avoided. With this being said, the proposed alteration should be approved.



## Financial Impact

There is no financial impact.

## Conclusion

The owner of 34 John Street South requests permission to alter the subject property. The proposal is sympathetic to the character of the district and should therefore be approved.

## Attachments

Appendix 1: Drawings



---

Paul Mitcham, P. Eng, MBA, Commissioner of Community Services

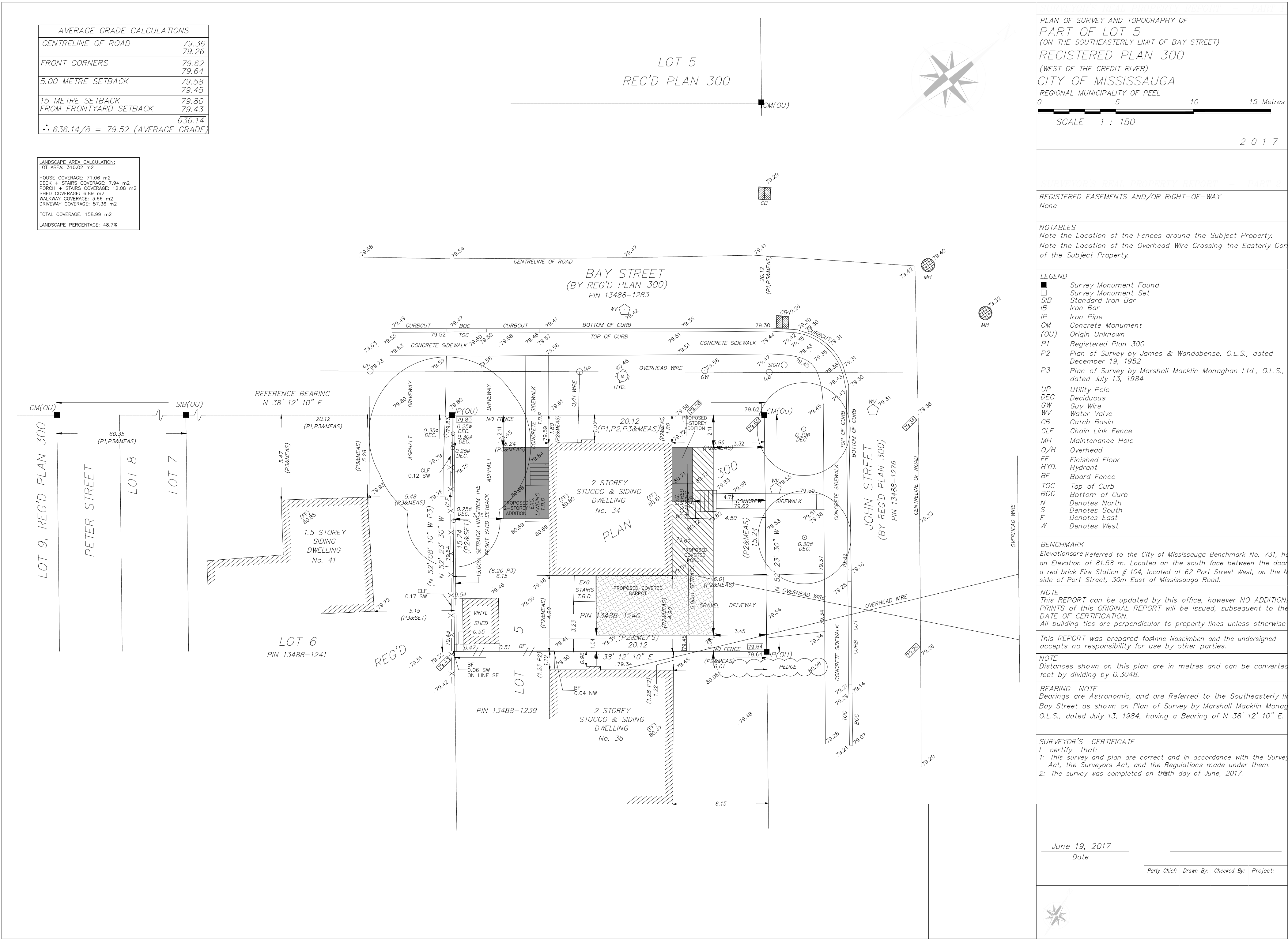
Prepared by: P. Wubbenhorst, Heritage Planner



SITE STATISTICS				
DESCRIPTION	BY-LAW	EXISTING	PROPOSED	TOTAL
ZONED	R15-1			
LOT AREA	-	-	-	310.02 m²
LOT FRONTAGE	-	-	-	15.33 m
LOT DEPTH	-	-	-	20.22 m
COVERAGE				
- Dwelling	-	71.06 m²	18.23 m²	89.29 m²
- Porches	-	10.57 m²	6.96 m²	17.53 m²
- Shed	-	6.89 m²	-	6.89 m²
TOTAL:	124.00 m²	88.52 m²	25.19 m²	113.71 m²
LOT COVERAGE %	40%	28.55%	8.12%	36.67%
GROSS FLOOR AREA:				
- Main Floor	-	71.06 m²	18.23 m²	89.29 m²
- Second Floor	-	68.39 m²	13.65 m²	82.04 m²
TOTAL:	231.00 m²	139.45 m²	31.88 m²	171.33 m²
G.F.A. %	74.51%	44.98%	10.28%	55.26%
GARAGE FLOOR AREA:				
	30 m²	-	-	-
BUILDING HEIGHT:				
- House	9.0 m	5.60 m	-	5.60 m
- Garage	-	-	-	-
HOUSE SETBACKS:				
- Front	5.0 m	5.96 m	-	5.96 m
- Ext. Side	1.2 m	1.80 m	-	1.80 m
- Int. Side	3.0 m	3.23 m	-	3.23 m
- Rear	7.5 m	6.15 m	-	6.15 m

AVERAGE GRADE CALCULATIONS	
CENTRELINE OF ROAD	79.36
	79.26
FRONT CORNERS	79.62
	79.64
5.00 METRE SETBACK	79.58
	79.45
15 METRE SETBACK	79.80
FROM FRONTYARD SETBACK	79.43
	636.14
636.14/8 = 79.52 (AVERAGE GRADE)	

LANDSCAPE AREA CALCULATION:	
LOT AREA:	310.02 m²
HOUSE COVERAGE:	71.06 m²
DECK + STAIRS COVERAGE:	194 m²
PORCH + STAIRS COVERAGE:	12.08 m²
SHED COVERAGE:	6.89 m²
WALKWAY COVERAGE:	5.68 m²
DRIVEWAY COVERAGE:	51.36 m²
TOTAL COVERAGE:	158.99 m²
LANDSCAPE PERCENTAGE:	48.7%



PLAN OF SURVEY AND TOPOGRAPHY OF  
PART OF LOT 5  
(ON THE SOUTHEASTERLY LIMIT OF BAY STREET)  
REGISTERED PLAN 300  
(WEST OF THE CREDIT RIVER)  
CITY OF MISSISSAUGA  
REGIONAL MUNICIPALITY OF PEEL

0 5 10 15 Metres

SCALE 1 : 150

2017

REGISTERED EASEMENTS AND/OR RIGHT-OF-WAY  
None

NOTABLES  
Note the Location of the Fences around the Subject Property.  
Note the Location of the Overhead Wire Crossing the Easterly Corn  
of the Subject Property.

- LEGEND
- Survey Monument Found
  - Survey Monument Set
  - SIB Standard Iron Bar
  - IB Iron Bar
  - IP Iron Pipe
  - CM Concrete Monument
  - (OU) Origin Unknown
  - P1 Registered Plan 300
  - P2 Plan of Survey by James & Wandabense, O.L.S., dated December 19, 1952
  - P3 Plan of Survey by Marshall Macklin Monaghan Ltd., O.L.S., dated July 13, 1984
  - UP Utility Pole
  - DEC Deciduous
  - GW Guy Wire
  - WV Water Valve
  - CB Catch Basin
  - CLF Chain Link Fence
  - MH Maintenance Hole
  - O/H Overhead
  - FF Finished Floor
  - HYD Hydrant
  - BF Board Fence
  - TOC Top of Curb
  - BOC Bottom of Curb
  - N Denotes North
  - S Denotes South
  - E Denotes East
  - W Denotes West

BENCHMARK  
Elevations are Referred to the City of Mississauga Benchmark No. 731, having an Elevation of 81.58 m. Located on the south face between the doors of a red brick Fire Station # 104, located at 62 Port Street West, on the North side of Port Street, 30m East of Mississauga Road.

NOTE  
This REPORT can be updated by this office, however NO ADDITIONAL PRINTS OF THIS ORIGINAL REPORT will be issued, subsequent to the DATE OF CERTIFICATION.  
All building ties are perpendicular to property lines unless otherwise noted.

This REPORT was prepared for Anne Nascimben and the undersigned accepts no responsibility for use by other parties.

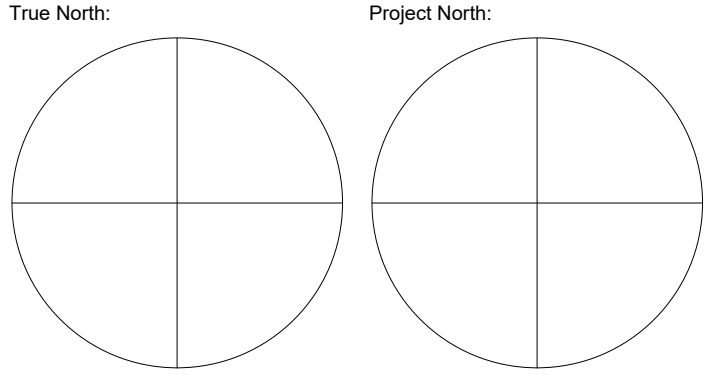
NOTE  
Distances shown on this plan are in metres and can be converted feet by dividing by 0.3048.

BEARING NOTE  
Bearings are Astronomic, and are Referred to the Southeasterly limit of Bay Street as shown on Plan of Survey by Marshall Macklin Monaghan Ltd., dated July 13, 1984, having a Bearing of N 38° 12' 10" E.

SURVEYOR'S CERTIFICATE  
I certify that:  
1. This survey and plan are correct and in accordance with the Survey Act, the Surveyors Act, and the Regulations made under them.  
2. The survey was completed on the 19th day of June, 2017.

June 19, 2017  
Date

Party Chief: Drawn By: Checked By: Project:

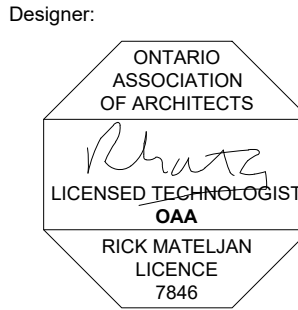
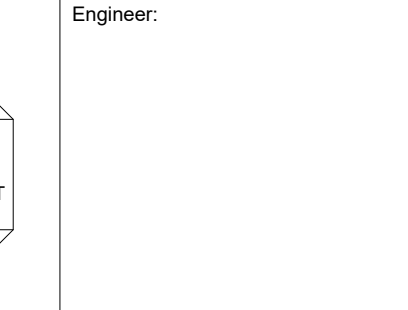


Key Plan:

4	Jan 26/18	For Heritage Review	K.A.
3	Oct 13/17	Porch Changes	A.B.
2	Sept 28/17	For Precon	A.B.
1	Aug 28/17	Issued For Review	A.M.

SM DA Strickland Mateljan  
Design + Architecture  
740 West Beaver Creek Road, Suite 301  
Oakville, ON L6K 3G4  
Tel: 905 842 2848  
smda.ca

©2017 - Copyright - All Designs, Details, Graphic & Written Material illustrated herein constitutes the original work of Strickland/Mateljan Design Associates Ltd. and may not be copied, published, reproduced by any means or used on projects except as noted herein without their written consent. All rights reserved. The contractor is to verify all dimensions and site conditions on the project and report any discrepancies to Strickland/Mateljan Design Associates Ltd. immediately. Construction must conform to all applicable Codes and Requirements of Authorities have Jurisdiction. Unless otherwise noted, these drawings do not address issues of shoring, protection or support of existing works during the construction process. These drawings are not to be used for construction or fabrication of components until marked "Issued for construction". Do not scale drawings. Submit shop drawings for approval.

Designer:  Engineer: 

RICK MATELIJAN  
LICENCE  
7846

Project: Residence

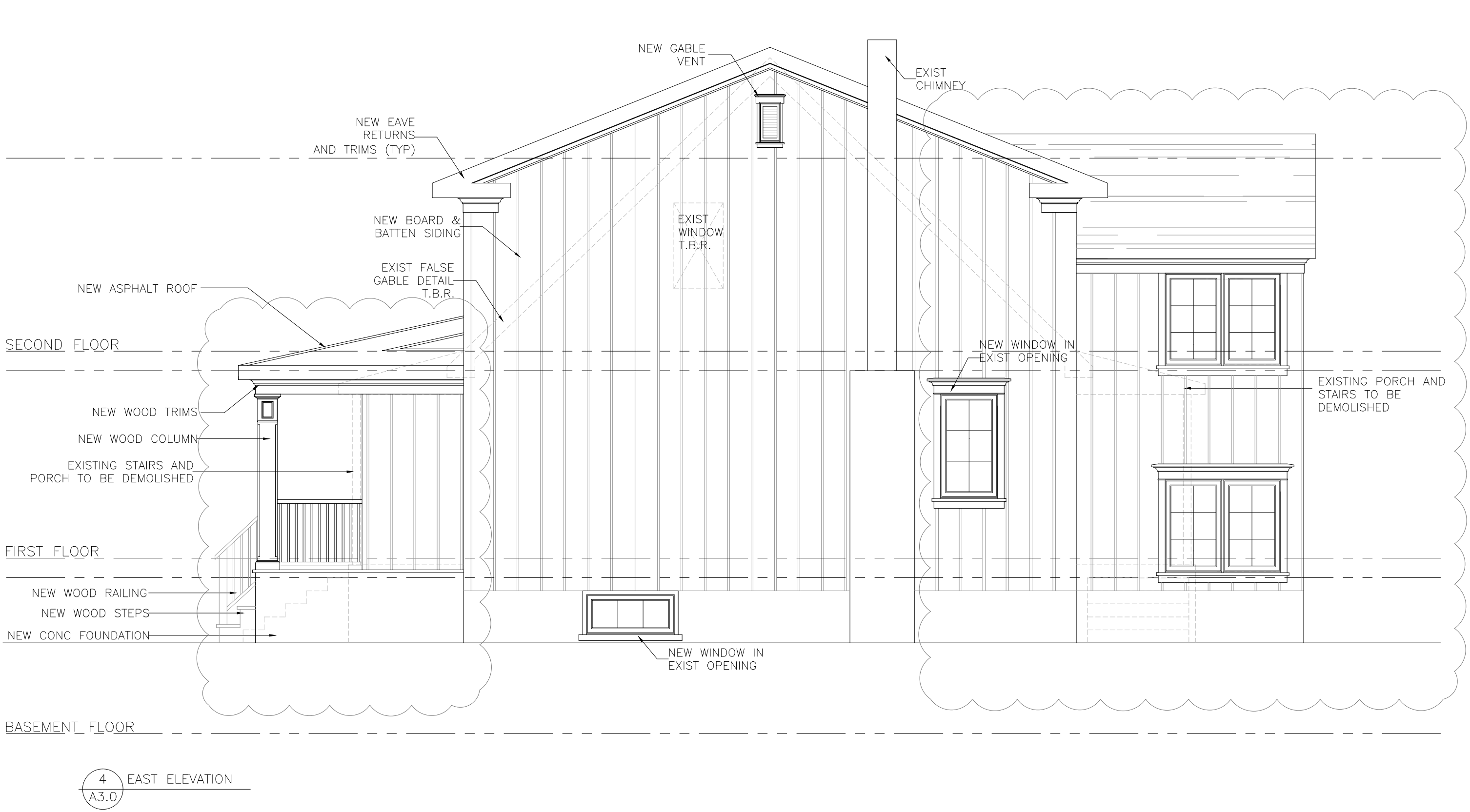
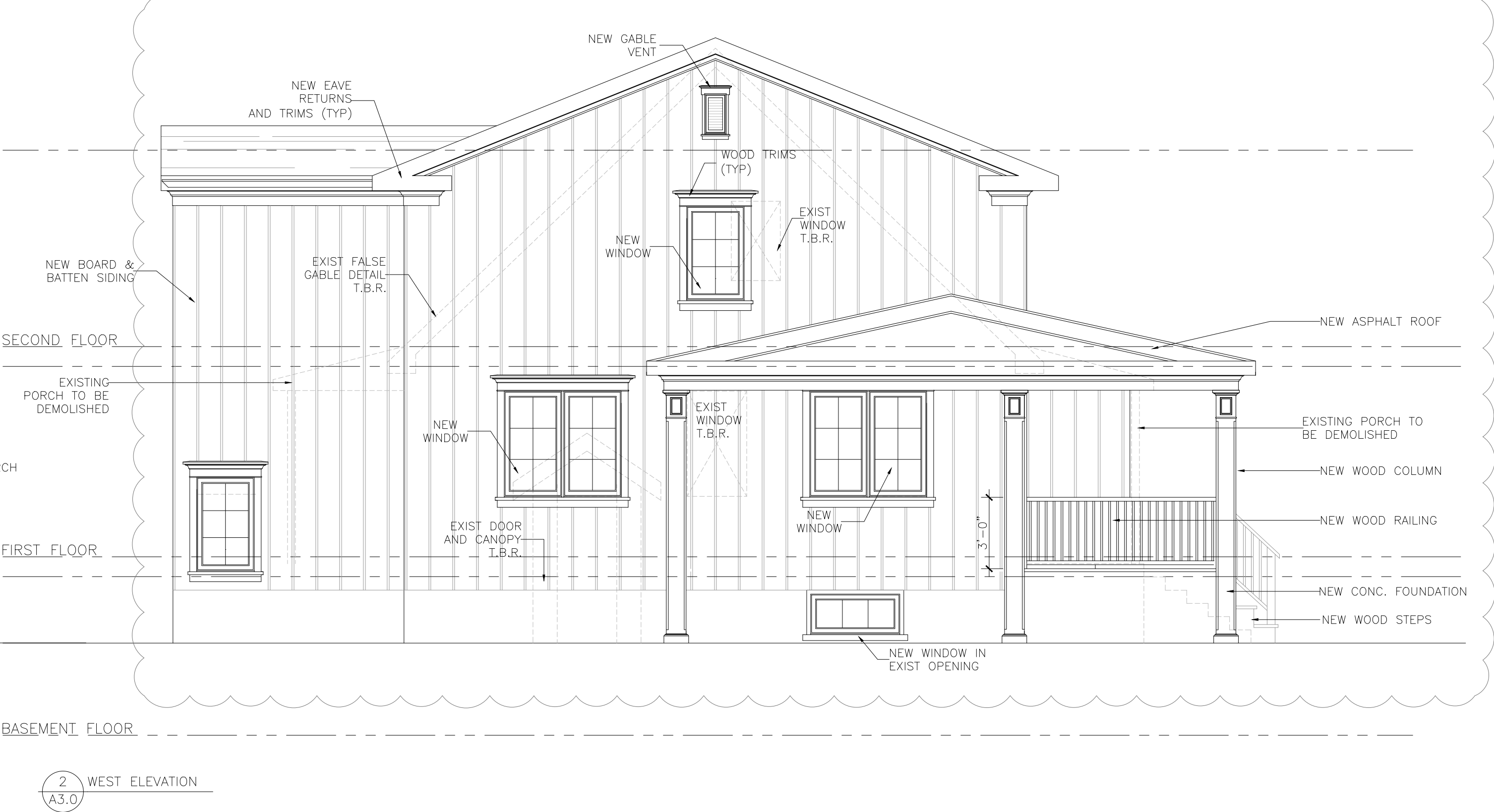
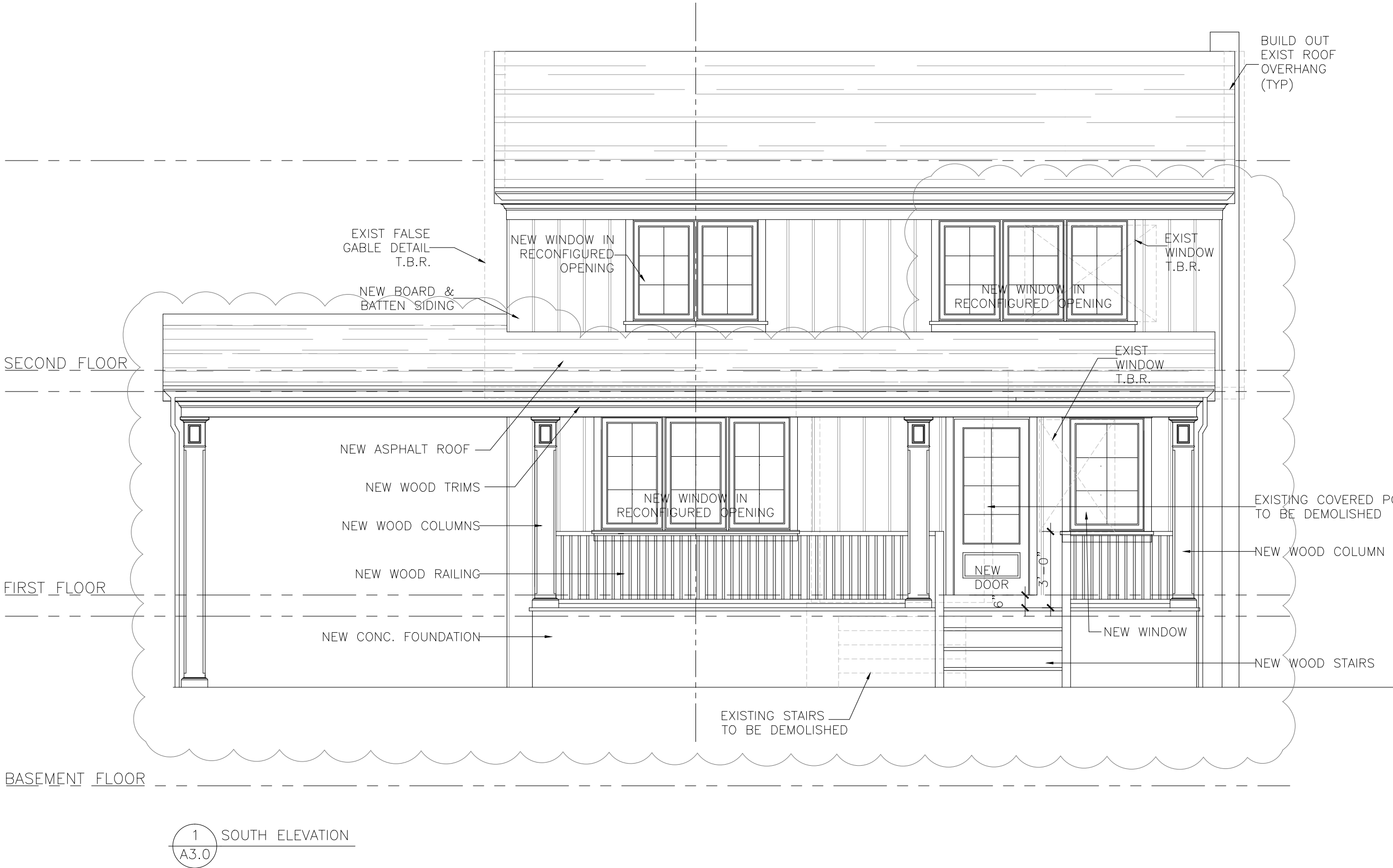
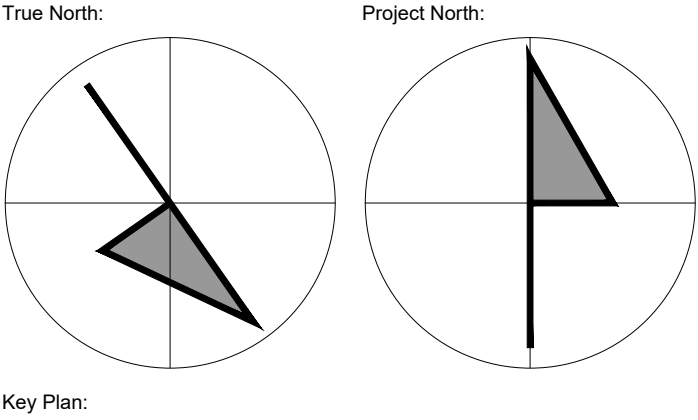
34 John Street South  
Mississauga, ON

Sheet Title: Site Plan

Design By: R.M.	Drawn By: A.M.	Approved By: R.M.
Scale: 1:150	Date: August 2017	Project No: 17.10

Drawing No: A001.1





4	Jan 26/18	For Heritage Review	K.A.
3	Oct 13/17	Porch Changes	A.B.
2	Sept 28/17	For Precon	A.B.
1	Aug 28/17	Issued For Review	A.M.
No.	Date	Issued/Revision	By:

**SM**  
**DA** **Strickland**  
**Mateljan**

Design + Architecture  
740 West Street, Suite 301  
Oakville, ON L6K 3G4  
Tel: 905 842 2848  
smda.ca

©2017 - Copyright - All Designs, Details, Graphic & Written Material illustrated herein constitutes the original work of Strickland/Mateljan Design Associates Ltd. and may not be copied, published, reproduced by any means or used on projects except as noted herein without their written consent. All rights reserved. The contractor is to verify all dimensions and site conditions on the project and report any discrepancies to Strickland/Mateljan Design Associates Ltd. immediately. Construction must conform to all applicable Codes and Requirements of Authorities have Jurisdiction. Unless otherwise noted, these drawings do not address issues of shoring, protection or support of existing works during the construction process. These drawings are not to be used for construction or fabrication of components until marked "Issued for construction". Do not scale drawings. Submit shop drawings for approval.

Designer:

Engineer:

Project:  
**Residence**  
34 John Street South  
Mississauga, ON

Sheet Title:  
**Elevations**

Design By: <b>R.M.</b>	Drawn By: <b>A.M.</b>	Approved By: <b>R.M.</b>
Scale: <b>1/4" = 1'-0"</b>	Date: <b>August 2017</b>	Project No: <b>17.10</b>

Drawing No:  
**A003.0**



City of Mississauga  
**Corporate Report**



Date: February 8, 2018

To: Chair and Members of Heritage Advisory Committee

From: Paul Mitcham, P. Eng, MBA, Commissioner of  
 Community Services

Originator's files:

Meeting date:  
 March 6, 2018

## Subject

**Request to Demolish a Heritage Listed Property: 1775 Fifeshire Court (Ward 8)**

## Recommendation

That the property at 1775 Fifeshire Court, which is listed on the City's Heritage Register, is not worthy of heritage designation, and consequently, that the owner's request to demolish proceed through the applicable process.

## Background

Section 27.3 of the Ontario Heritage Act states that structures or buildings on property listed on the City's Heritage Register cannot be removed or demolished without at least 60 days' notice to Council. This legislation allows time for Council to review the property's cultural heritage value to determine if the property merits designation.

The owner of the subject property has submitted a heritage permit application to demolish and replace the existing structure. The subject property is listed on the City's Heritage Register as it forms part of the Mississauga Road Scenic Route cultural landscape. This cultural landscape is significant due to its scenic and visual quality as the road traverses a variety of topography and land use, from old established residential neighbourhoods to new industrial and commercial uses. Its landscape is of archaeological, design, technological interest as well as having historical interest and associations, illustrating important phases of Mississauga's history and displaying a consistent scale of built features.

The landscaping, urban design and conservation authority related aspects will be reviewed as part of the Site Plan review process to ensure the project respects the character of the surrounding community.



---

## Comments

The owner of the subject property has requested permission to demolish the existing structure. The applicant has provided a Heritage Impact Assessment, attached as Appendix 1. The consultant has concluded that the structure at 1775 Fifeshire Court is not worthy of designation. Staff concurs with this finding.

## Financial Impact

There is no financial impact.

## Conclusion

The owner of 1775 Fifeshire Court has requested permission to demolish a structure on a property that is listed on the City's Heritage Register. The applicant has submitted a documentation report which provides information which does not support the building's merit for designation under the Ontario Heritage Act. Staff concurs with this finding.

## Attachments

Appendix 1: Heritage Impact Assessment



---

Paul Mitcham, P. Eng, MBA, Commissioner of Community Services

Prepared by: P. Wubbenhorst, Heritage Planner



## Heritage Impact Assessment of

1775 Fifeshire Court  
Mississauga, Ontario



Credit: SBA, 2017

SBA Project No. 17080

January 22, 2018



40 St. Clair Avenue East, Ste. 301, Toronto, ON M4T 1M9 T: 416-961-5690 F: 416-972-6417 E-mail: [office@sba.on.ca](mailto:office@sba.on.ca)







## Table of Contents

	Page
<b>1.0 BACKGROUND .....</b>	<b>1</b>
<b>2.0 HERITAGE IMPACT ASSESSMENT .....</b>	<b>3</b>
2.1 Site History including List of Owners .....	3
2.2 Written Description of Site, Structure, and Heritage Resources .....	9
2.3 Documentation of Heritage Resources .....	13
2.4 Relevant Municipal Requirements .....	19
2.5 Outline of the Proposed Development & Impact on Heritage Attributes ..	22
2.6 Proposed Development Architectural Drawings (Appendix C).....	26
2.7 Assessment of Proposed Development and Mitigation Measures .....	27
2.8 Summary of Conservation Principles and How They will be Used.....	27
<b>3.0 SUMMARY STATEMENT AND CONSERVATION RECOMMENDATIONS .....</b>	<b>28</b>
<b>4.0 MANDATORY RECOMMENDATION .....</b>	<b>29</b>
<b>5.0 QUALIFICATIONS and REFERENCES .....</b>	<b>31</b>

### APPENDICES:

**Appendix A:** *Cultural Landscape Heritage Impact Assessment*  
*Terms of Reference, undated*

**Appendix B:** Property Title

**Appendix C:** Redevelopment Architectural Drawings: GHD Limited

**Appendix D:** Heritage Status

**Appendix E:** Curriculum Vitae for Jane Burgess  
Curriculum Vitae for Julia Rady



## 1.0 BACKGROUND

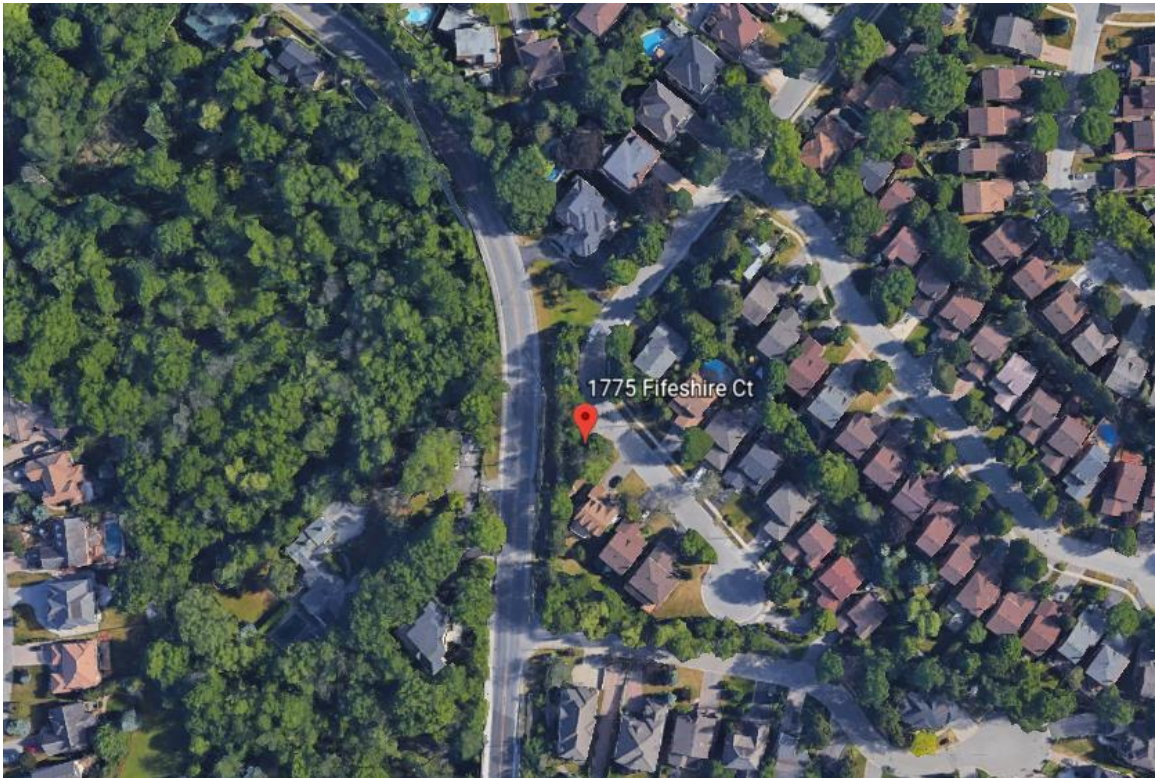
Stevens Burgess Architects Ltd. (SBA) has been contracted by Alexander Toth of GHD Limited to prepare this Heritage Impact Assessment (HIA) of 1775 Fifeshire Court, Mississauga.

The scope of the heritage assessment includes the proposed demolition of the pumping station kiosk as well as the replacement of the kiosk with a one-storey building. The subject property is located on the City's Heritage Property Register as a "Listed" property but it is not designated. The author enquired of the City of Mississauga's Culture Division if they had any additional information as to the reasons for listing. Paula Wubbenhorst advised that the property bordered Mississauga Road and so is part of the Mississauga Road Scenic Route in the Cultural Landscape Inventory.

On December 20, 2017, a site review of the property was undertaken by SBA.

The HIA was prepared in accordance with the Mississauga Cultural Landscape Heritage Impact Assessment Terms of Reference, undated (**refer to Appendix A**).

The intention of the HIA is to evaluate the heritage value, assess the heritage impact of the proposed demolition, and assess the impact of the alteration of the pumping station on this property.



Location Map  
Credit: Google Earth Maps, 2017



**ONTARIO HERITAGE ACT R.S.O 1990**

Section 29 of the *Ontario Heritage Act* provides the policy framework for designating a heritage property, noting that a property can only be designated by municipal by-law. If this has not occurred, then a property is not officially designated but a property which has been identified by a municipality as having cultural heritage value or interest, is permitted to be included within a heritage register, pursuant to Section 27(1.2) of the *Ontario Heritage Act*, and states that

*“in addition to the property listed in the register under subsection (1.1), the register may include property that has not been designated under this Part but that the council of the municipality believes to be of cultural heritage value or interest and shall contain, with respect to such property, a description of the property that is sufficient to readily ascertain the property.”*

Section 27(3) states that

*“if a property included in the register under subsection 1.2 has not been designated under section 29, the owner of the property shall not demolish or remove a building or structure on the property or permit the demolition or removal of the building or structure unless the owner gives the council of the municipality at least 60 days notice in writing of the owner’s intention to demolish or remove the building or structure or to permit the demolition or removal of the building or structure.”*



## 2.0 HERITAGE IMPACT ASSESSMENT

### 2.1 Site History Including List of Owners

See also Appendix B "Property Title " for chain of title documents

Owner and Applicant : The Regional Municipality of Peel **To be redacted in Final Report**

Year	Vendor	Purchaser	Land Parcel	Comments
1805	Mississauga Indians	The Crown	Etobicoke to Burlington	Lot located in newly created Toronto Township. <sup>1</sup>
1821	The Crown	Hon. Samuel Smith and John R. Robinson	Lot No. 3, Third Range N.D.S., North of Racey Tract	Trustees, for sale. Captain S. Smith was born in Long Island, New York in 1756. During the American Revolutionary War he belonged to the Queen's Rangers Loyalist Corp. and immigrated to Upper Canada after the war. He served under the first Lt.-Governor John Graves Simcoe as his Captain in Command of the Queen's Rangers, an outfit of soldiers who specialized in masonry, craftsmanship, road building, etc... Beginning in 1793 the Queen's Rangers built extensive road and infrastructure in Upper Canada to enable the movement of new settlers to the colony. In gratitude for his service, the Crown bestowed Smith with land grants. Smith then leased out this land to immigrants who did not qualify for land grants. Smith himself lived on a property on Lake Shore Road. <sup>2</sup> There is no historical record for John R. Robinson, but most likely he operated as Smith's agent in the area and helped to administer the property and its settlement.
There is a gap in the records from the patent in 1821 until 1857.				
1857	John Irwin	George McDougall	"	£120 There are no records for John Irwin or George McDougall.
1857	George McDougall	John Irwin	"	£200
1859	John Irwin	Donald Douglas	"	£14
1866	Donald Douglas	John Irwin	Lot No. 3, Third Range N.D.S.,	Granted by Chancery; the no. of instrument is not available.

<sup>1</sup> Kathleen Hicks, *Port Credit: Past to Present* (Mississauga Library System, 2007).

<sup>2</sup> Kathleen Hicks, *Lakeview: Journey from Yesterday* (Friends of Mississauga Library System, 2005), 3-4.  
See also, [http://www.biographi.ca/en/bio.php?id\\_nbr=3138](http://www.biographi.ca/en/bio.php?id_nbr=3138)

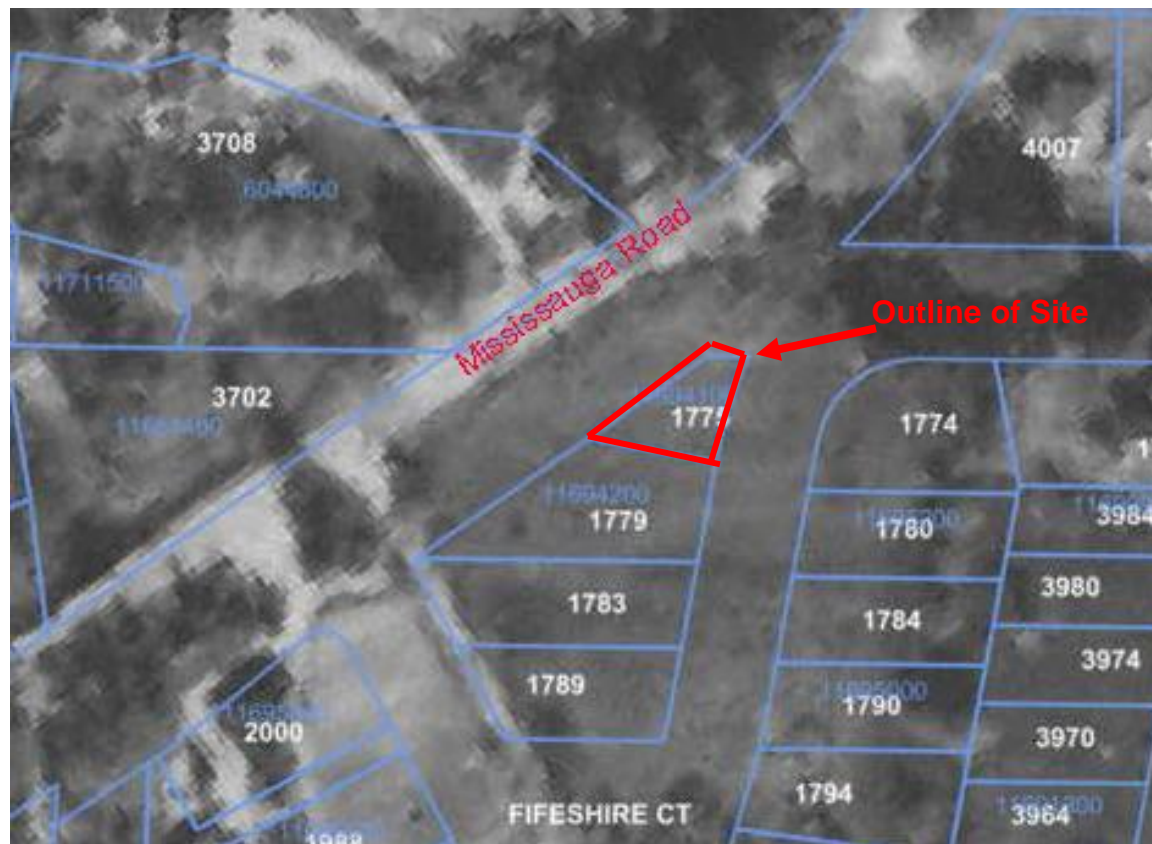


			North of Racey Tract	
1867	John Irwin	Robert Collins	Lot. No., 3 Part 10 1/5	\$250.00 There are no records for Robert Collins
1869	Robert Collins	W.G. Schreiber	““““	\$1000.00. Weymouth George Schreiber was born in England and immigrated to Canada in 1850. He was a land owner and speculator and developed property in the Peel Region. <sup>3</sup> While he lived in the area, he did not reside on Lot 3.
1884	W.G. Schreiber	James Currie	““““	\$600.00. There are no records for James Currie.
1887	James Currie	Henry S. Clarkson	““““	\$1200.00 Henry Shook Clarkson was born in Erindale in 1836 and was an active member of the community. He was made a Justice of the Peace in 1880, he was the warden of Peel in 1896, and he served as the Reeve of Toronto Township from 1897-1898. <sup>4</sup> While he resided in Erindale there is no evidence that he lived on or near Lot 3. His family owned other property in the area, which Clarkson received from his father. <sup>5</sup>
1899	Henry S. Clarkson	Edmund Diment	““““	\$1337.00
1910	Edmund Diment	Louisa Diment	““““	On the death of Louisa Diment, the lands were bequeathed to Kate Wolfe
1913	Estate of Louisa Diment	Kate Wolfe	““““	Received as part of the bequest.
1920	Kate Wolfe	Samuel E. Wolfe	““““	Part of a bequest
1932	Sarah L. Harper	Samuel E. Wolfe	““““	
1972	Samuel E. Wolfe Estate	Treasurer's Consent	““““	
Information pertaining to the fine details of the transfer of property within the Wolfe family and the wills was inconsistent. If records existed, they were illegible.				
1972	Edith M. Wolfe	Don Mills Developments Ltd.	““““	Edith May Wolfe was the widow of Samuel Edmund Wolfe and divided the property

<sup>3</sup> <https://www.wikitree.com/wiki/Schreiber-428><sup>4</sup> <https://www.heritagemississauga.com/page/Henry-Shook><sup>5</sup> Kathleen Hicks, *Clarkson's Corners* (Friends of the Mississauga Library System, 2003), 64.



1978	Don Mills Developments Ltd. changed its name to the Cadillac Fairview Corporation Ltd., and applied to be registered under the Land Titles Act as owner in fee simple with absolute title to Part Lot 3 (as well as other lots in the surrounding area)			
1979	The Cadillac Fairview Corporation was registered as owner under the Land Titles Act and received its certificate of First Registration			
1980	Cadillac Fairview Corporation Ltd.	Montreal Trust Company		A re-entry that indicates the severance of Parcel Plan-1, Section M-399 is severed from the rest of the parcel
1981	Cadillac Fairview Corporation	Regional Municipality of Peel	Block 152	Block 152 on Plan M-399

**Mapped timeline of Site since 1954:**

Aerial photograph, 1954

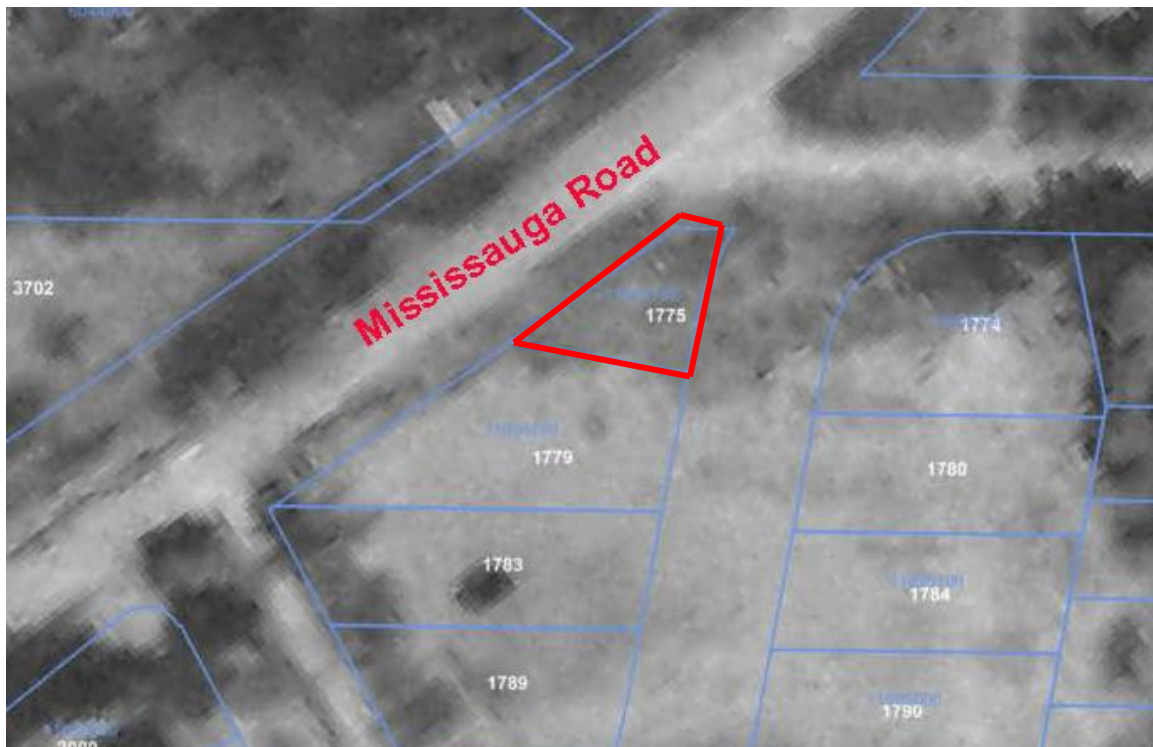
Credit: City of Mississauga emaps, annotated by SBA





Aerial Photograph, 1966

Credit: City of Mississauga emaps, annotated by SBA



Aerial Photograph, 1977

Credit: City of Mississauga emaps, annotated by SBA





Aerial Photograph, 1989  
Credit: City of Mississauga emaps, annotated by SBA

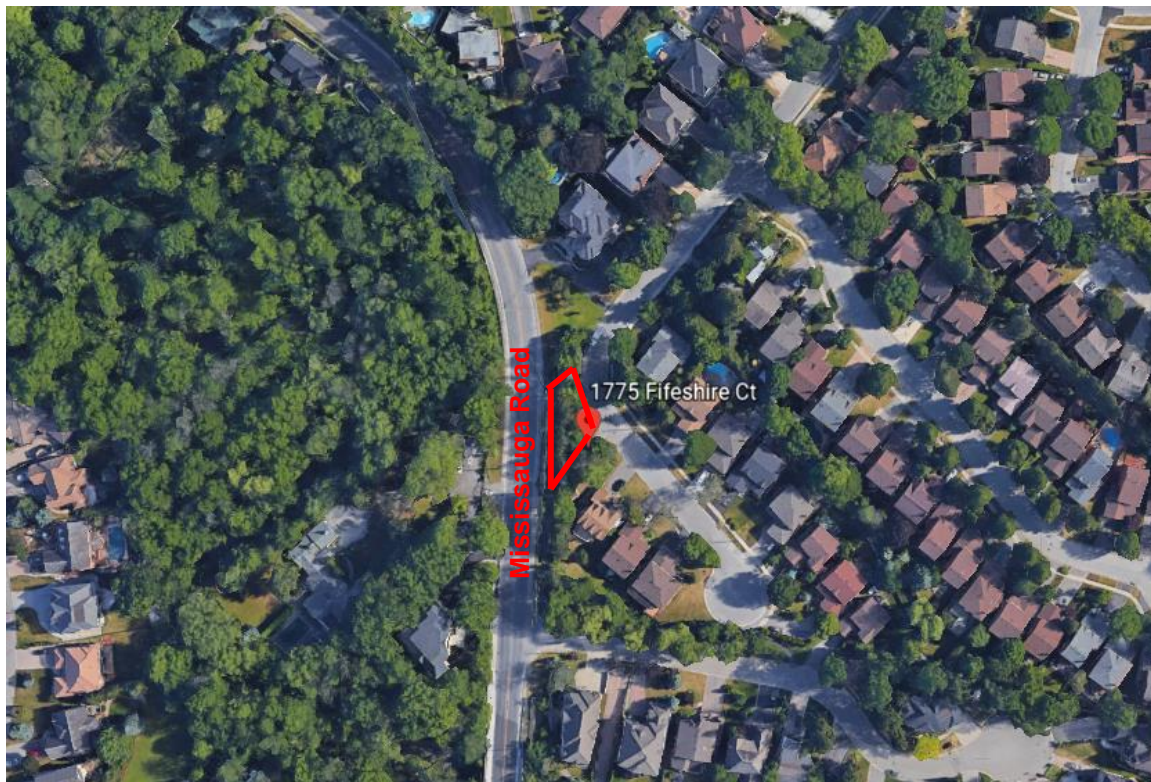


Aerial Photograph, 1997  
Credit: City of Mississauga emaps, annotated by SBA





Aerial Photograph  
Credit: City of Mississauga emaps, 2007, annotated by SBA



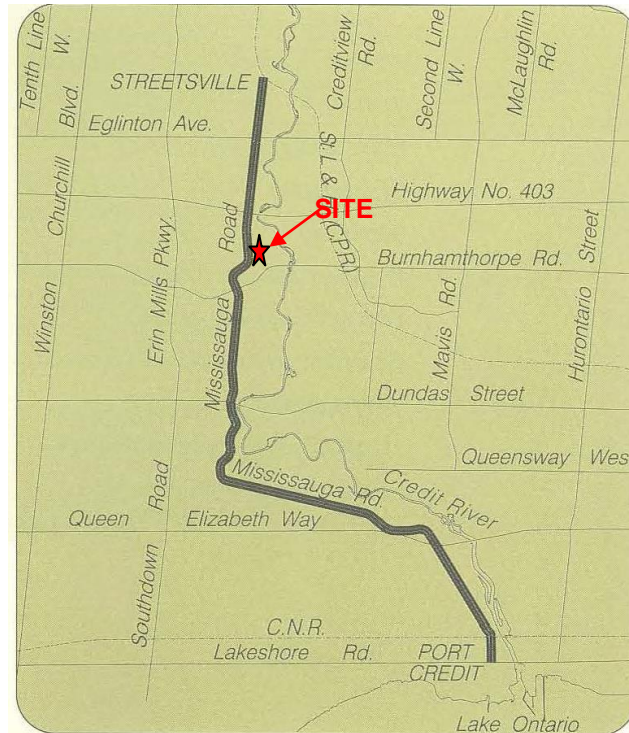
Aerial Photograph  
Credit: Google Maps, 2017, annotated by SBA



## 2.2 Written Description of Site, Structure, and Heritage Resources

### THE SITE

The site is located as part of a residential development bordered by Highway 403 to the north, Mississauga Road to the west and Burnhamthorpe Road to the south and east. The site itself is bordered on the south by Fifeshire Court. Significantly, the site's west and north borders run alongside Mississauga Road, which is part of the Mississauga Road Scenic Route Cultural Landscape.



Mississauga Road Scenic Route Study Limits

Credit: Mississauga Road Scenic Route Study, Prepared by the Study of Mississauga Planning and Building Department, May 1997

Any subsequent site development must take into consideration the heritage resources of the Mississauga Road Scenic Route Cultural Landscape.

The Mississauga Scenic Route is part of the Cultural Landscape Inventory developed by the Municipality of Mississauga. The Inventory defines Cultural Landscapes “as a setting which has enhanced a community's vibrancy, aesthetic quality, distinctiveness, sense of history or sense of place.”<sup>6</sup>

<sup>6</sup> Cultural Landscape Inventory, City of Mississauga, January 2005, 6.



### Mississauga Road Scenic Cultural Route

According to the Mississauga Scenic Route Study prepared by the City of Mississauga Planning and Building Department in May, 1997:

*The Mississauga Road has been classified as a scenic route in the City Plan because of the distinctive features that distinguish it from other major collector streets within the City. An initial reference to the term scenic route was made in 1976 when Council chose to restrict any widenings to the roadway in order to maintain its existing character between North Sheridan Way and Springbank Road.*

*Scenic Routes are designated to preserve existing woodlands and greenbelts along roadways. Scenic routes are also designated to maintain or to restore historic scenic nature of roadways. Any maintenance or physical modification of scenic routes will ensure that the scenic qualities of the route so designated will be reinforced or enhanced.<sup>7</sup>*

The Cultural Landscape Inventory notes that while the Mississauga Road Scenic Route is not designated it has a distinct cultural value for the city. In its site description, the Inventory describes the route as follows (please also refer to **Appendix D**):

*Mississauga Road is one of the oldest roads in Mississauga. Its alignment varies from being part of the normal road grid in the north to the curvilinear alignment in the south following the Credit River. The scenic quality of the road is notable because it traverses a variety of topography and varying land use from old established residential neighbourhoods to new industrial and commercial areas. From Streetsville south the boulevards and adjacent landscapes are home to some of the oldest and most spectacular trees in the City. It is acknowledged as an important cultural landscape because of its role as a pioneer road and its scenic interest and quality.*

The Mississauga Road Scenic Route is listed on the City's Heritage Register as it forms part of the Mississauga Road Scenic Route Cultural Landscape. In September 2017 the City of Mississauga published Urban Design Guidelines for the Mississauga Road Scenic Route "in response to increasing redevelopment pressure and to provide guidance for future developments along the Mississauga Road Scenic Route."

The Guidelines note the built form and landscape features along the Mississauga Road that contribute to its character and cultural landscape value are its<sup>8</sup>:

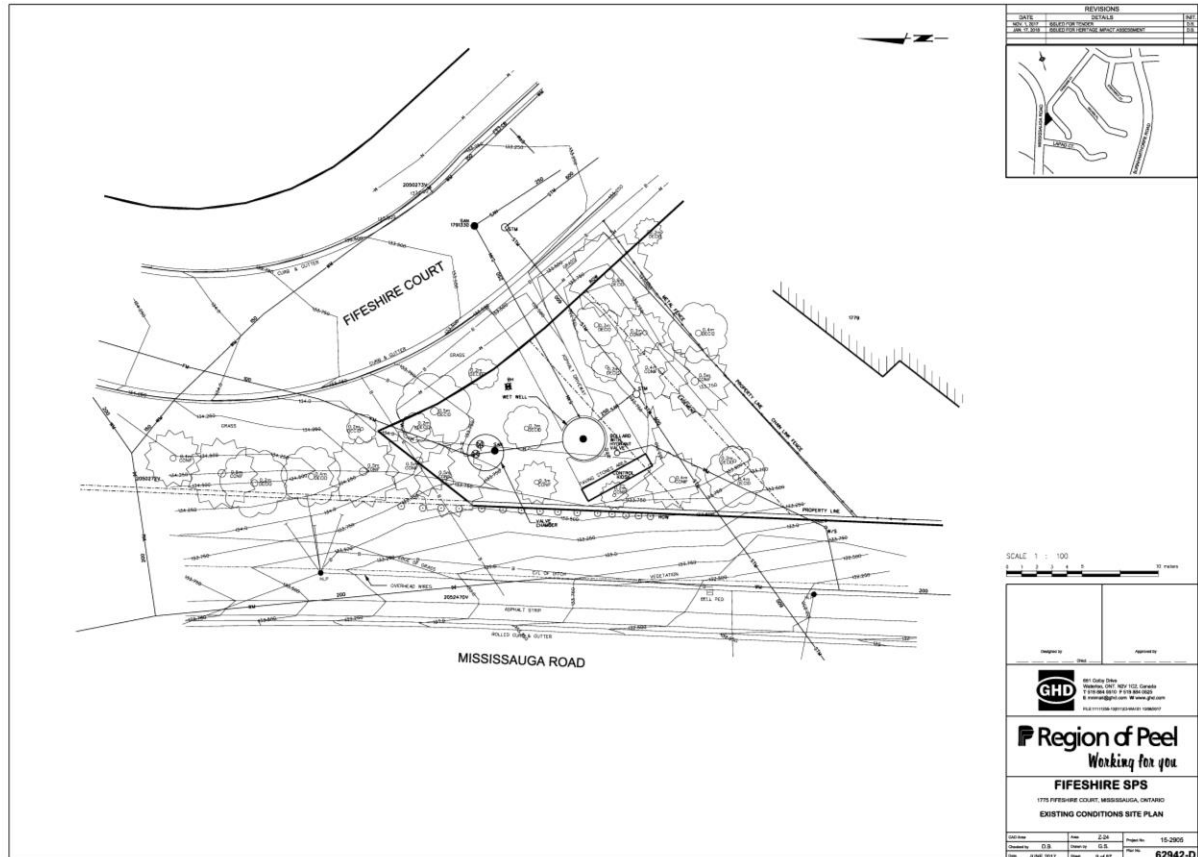
- Largely rural in character with large 'estate' lots
- A narrow and winding road alignment
- Primarily residential uses
- An architecture that reflects its historic past
- Established and mature vegetation and significant tree canopy
- A variety of heritage, cultural, and landscape features.

<sup>7</sup> *Mississauga Road Scenic Route Study*, City of Mississauga Planning and Building Department, May 1997,7.

<sup>8</sup> *Mississauga Road Scenic Route Urban Design Guidelines*, City of Mississauga, September 2017.



The site is part of a residential neighbourhood. Directly to the south is a large private home. Mississauga Road is visible from the site on Fifeshire Court. When viewing the site from the vantage of looking north or south along Mississauga Road the pumping station is partially obscured by the trees on the site, many of which are large coniferous trees, as well as low-lying shrubbery. There is a single driveway on the site with access to Fifeshire Court. There is no fence on the site.



Existing Conditions Site Plan  
Credit: Provided by GHD Limited, dated June 2017



**THE KIOSK**

There is a single existing structure on the rear of the property: a small, 1.5m tall x 5m x 1.5m kiosk that houses a pumping station, which accepts sewage from the surrounding neighbourhood and pumps it to a larger pumping station. The pumping kiosk is a stone structure. The kiosk is capped with a single, man-made coping stone. The walls are rusticated stone with smooth cornerstones. There is an exposed electrical panel on the south end of the kiosk. The remaining equipment is housed within the kiosk and secured by large, green, metal doors. There is cement wet well east of the kiosk.

**Photographs of Current Elevations**

West elevation



South elevation



East elevation



North/East elevation



## 2.3 Documentation of Heritage Resources<sup>9</sup>

The character-defining elements, as identified in the *Mississauga Route Urban Design Guidelines*<sup>10</sup>, are noted below as they apply to the site:

- Largely rural in character with large 'estate' lots  
*The site is not a large estate lot, but as it borders Mississauga Road its visual space complements those of the surrounding properties. The sites' northern and western edges border the Mississauga Cultural Scenic Route at a point where the winding road makes the site visible to northbound and southbound traffic.*
- A narrow and winding road alignment  
*Not applicable*
- Primarily residential uses  
*The pumping station is an industrial site and is not for residential use; however, its design blends into the surrounding area particularly from the north-south view corridor along Mississauga Road.*
- An architecture that reflects its historic past  
*Although built in the mid to late 1980s, the existing pump structure was designed to reflect an earlier period of history. The building uses high quality smooth stone and rusticated stone, and has a custom cast coping stone roof giving the building the appearance of a stone wall from the Scenic Route.*
- Established and mature vegetation and significant tree canopy  
*The pumping station structure is surrounded by an informally planted landscape comprised primarily of coniferous trees that are reaching maturity with an average calliper of 0.4m. Additionally, there are large shrubs in front of the west elevation of the pumping station that during the spring and summer months would likely further camouflage the appearance of the pumping station from the vantage of the Scenic Route.*
- A variety of heritage, cultural, and landscape features.  
*Not applicable*

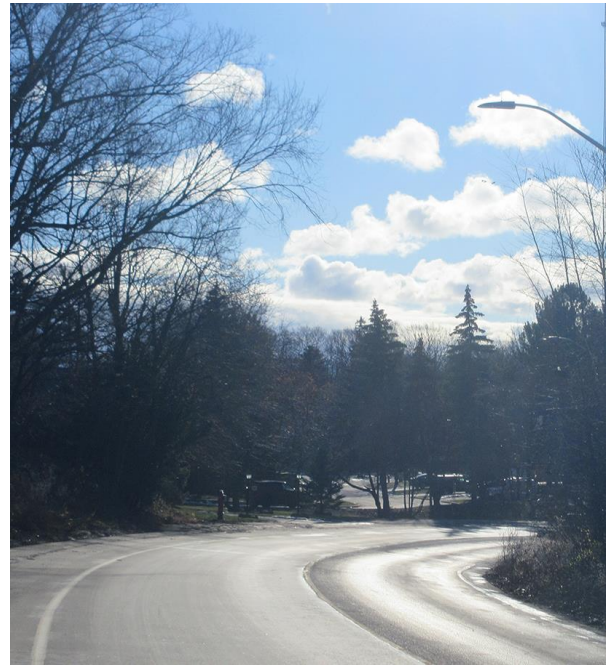
<sup>9</sup> All photos taken by SBA

<sup>10</sup> *Mississauga Road Scenic Route Urban Design Guidelines*, City of Mississauga, September 2017.





View of site from vantage of Mississauga Road facing south



View of site from vantage of Mississauga Road facing south at sharp turn in the road just north of site.



View of site from Mississauga Road facing east



View of site from vantage of Mississauga Road facing north





View of pumping station on site from  
vantage of Mississauga Road facing southeast



View of site from vantage of Mississauga Road facing northeast





View of pumping station with Mississauga Road in the background



View of Mississauga Road, looking north from site





View of pumping station from Fifeshire Road



View of site inclusive of pumping station and Mississauga Road in background





Detail of kiosk construction: smooth and rusticated stone and cast concrete coping stone roof



## 2.4 Relevant Municipal Requirements

### Official Plan Policies

Mississauga Official Plan, Policies 9.3.3.11 and 9.3.3.12 contain provisions related to the Mississauga Road Scenic Route as follows<sup>11</sup>:

9.3.3.11 Lands fronting, flanking and/or abutting Mississauga Road, between Canadian Pacific Railway, located south of Reid Drive, and Lakeshore Road West, are part of a designated scenic route. These lands will be subject to the following:

- a. in order to preserve its historic streetscape character and appearance, residential development will only consist of detached dwellings and will generally be on lots with a minimum depth of 40m. This policy does not apply with the Port Credit Local Area Plan;
- b. direct vehicular access to Mississauga Road will be encouraged;
- c. upgraded building elevations, including principal doors and fenestrations, will be required facing Mississauga Road;
- d. buffer roads (i.e. any parallel road along Mississauga Road) and reverse frontage lot development will not be permitted;
- e. notwithstanding Policy 8.3.1.4, development will not be permitted if an increase in the existing Mississauga Road pavement width is required;
- f. building massing, design setbacks and lot frontages will be consistent with surrounding buildings and lots;
- g. projecting garages will be discouraged;
- h. alternative on-site turn-arounds, such as hammerhead driveways, will be encouraged in order to reduce reverse movements and the number of driveway entrances. Circular driveways will be discouraged;
- i. tree preservation and enhancement will be required on public and private lands in order to maintain existing trees;**
- j. removal of existing landscape features, including but not limited to stone walls, fences and hedgerows, will be discouraged;
- k. utilities will be located to minimize impact on existing vegetation;
- l. grading for new development will be designed to be compatible with and minimize differences between grades of the surrounding area, including Mississauga Road. Retaining walls as a grading solution will be discouraged; and,
- m. opportunities to enhance connections to nearby pedestrian, cycling and multi-use trails, particularly within the Credit River Valley Corridor will be encouraged.

<sup>11</sup> Mississauga Road Scenic Route Urban Design Guidelines, September 2017, 2-3.



9.3.3.12 The existing and planned non-residential uses along Mississauga Road, between Canadian Pacific Railway, located south of Reid Drive, and Melody Drive, will be developed with the highest design and architectural quality. These developments will incorporate the scale, massing, patterns, proportions, materials, character and architectural language found in the best executed examples of commercial conversions of residential buildings within Streetsville's historical mainstreet commercial core. Sufficient landscaping and setbacks along Mississauga Road will be provided. Should any of these sites be developed for residential uses, they will maintain the character of the rest of Mississauga Road as outlined in the scenic route policies of this plan.

#### Heritage Policies<sup>12</sup>

Applicable Policies are:

7.4.1.2 Mississauga will discourage the demolition, destruction or inappropriate alteration or reuse of cultural heritage resources.

7.4.1.3 Mississauga will require development to maintain locations and settings for cultural heritage resources that are compatible with and enhance the character of the cultural heritage resource.

7.4.1.13 Cultural heritage resources must be maintained in situ and in a manner that prevents deterioration and protects the heritage qualities of the resource.

7.4.1.14 Cultural heritage resources will be integrated with development proposals.

7.4.1.16 Mississauga will acquire heritage easements, apply restrictive covenants, and enter into development agreements, as appropriate, for the preservation of cultural heritage resources.

#### **7.4.1.17 Public works will be undertaken that minimizes detrimental impacts on cultural heritage resources**

The next section, 7.4.2, goes on to define what is meant by 'cultural heritage properties' and provide policies related to cultural heritage properties.

*"Cultural heritage properties are those properties or defined areas that are determined to be of cultural, historical, archaeological or natural significance and/or value. A heritage designation is applied to properties that have contextual, archaeological, historical/associative and/or physical/design value that is to be preserved. Properties of cultural heritage value are designated under the Ontario Heritage Act, on the City's Heritage Register, and include listed properties that have not been designated under the Act, but that City Council believes to be of cultural heritage value or interest."*

7.4.2.2 Prior to the demolition or alteration of a cultural heritage resource, documentation will be required of the property to the satisfaction of the City, and any appropriate advisory committee. This document may be in the form of a Heritage Impact Assessment.

<sup>12</sup> Mississauga Official Plan, July 2016.



All the above policies apply only to 'cultural heritage properties'. Regulation 9/06 under the Ontario Heritage Act, sets out how to evaluate properties to determine if they have sufficient 'heritage value or interest' to meet the criteria for designation. This has been undertaken in Section 4.0 of this HIA.

A Heritage Impact Assessment (HIA) is required for applications for development involving cultural heritage resources and any construction, development or property alteration that might adversely affect a listed or designated cultural heritage resource which is proposed adjacent to a cultural heritage resource, pursuant to Sections 7.4.1.10 and 7.4.1.12 of the OP.

The *Mississauga Scenic Route Urban Design Guidelines* provide additional guidance in their section on design principles, as follows:

#### 2.11 Landscape, Cultural and Heritage Features

- The removal of landscape, cultural and heritage features located on private or public land will be discouraged
- Landscape, cultural and heritage features include, but are not limited to, low stone walls, fences and gates, stone pillars, entry features, hedgerows, public art and other cultural features
- Heritage designated and listed properties shall be maintained and enhanced. Where development is considered it shall be done in a sensitive, compatible and respectful manner
- The distinctive low stone walls located on both public and private lands are listed on the Cultural Landscape Inventory and should be maintained.

### **Zoning**

Not applicable

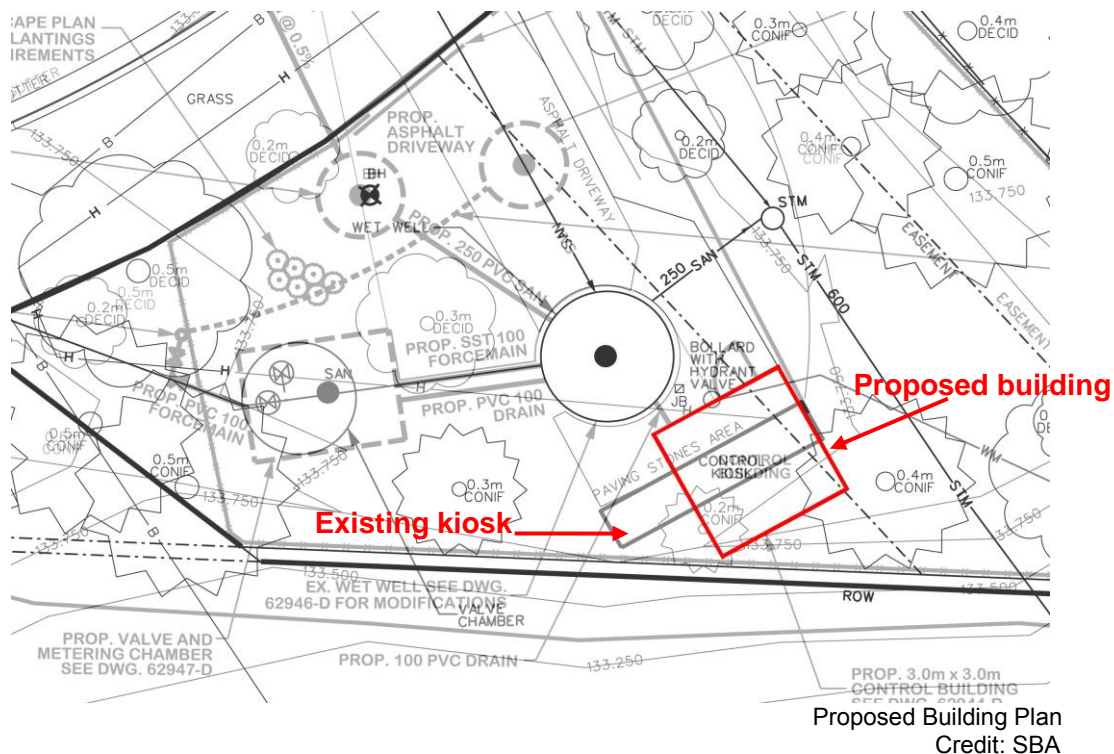


## 2.5 Outline of the Proposed Development Context and Impact on Heritage Resources

The development proposal is for a single-storey building to replace the kiosk currently in place. The present kiosk houses a pumping station. The equipment within the kiosk has come to the end of its service life and requires replacement. The new equipment is larger and therefore requires a larger structure to house it. It also requires a full enclosure in order to meet the Region of Peel's Health and Safety Standards. The proposal includes a fence to enclose the site in order to protect public safety, especially at times when the wet well on the site is open.

Apart from an operator request to enclose the area, as there were numerous concerns about having electrical panels exposed to inclement weather, the control building will house more panels than the existing kiosk. GHD Ltd. will install an entirely new panel for the new sewage grinder to be installed at the site, in addition to including new displays showing forcemain pressure, station temperature, and station discharge flow to the building. GHD will also include a new lighting panel to control station lights, an eyewash station, and a new electric heater for winter operation. The new station will have enough height clearance so that technicians will be able to stand upright when servicing the equipment. This will consolidate station equipment and provide more data while providing the operators with more ease of use. Please see **Appendix C** for the proposed layout of the electrical equipment within the building.

The use of the station remains unchanged: it will accept sewage from the surrounding residences and pump it to a larger consolidated pumping station and then to a treatment facility. The station is being refurbished in order to meet projected demands of the area to 2031, to address public safety issues, as well as to replace old equipment which is nearing the end of its lifecycle.





There are four trees on the property which are to be removed (see **Appendix C**).



Proposed Building Superimposed on Existing Kiosk  
Credit: SBA



## Impact on Heritage Resources

There are no significant historical associations with the property.

There are three key areas in which the heritage resources of the site (as outlined in the *Mississauga Road Scenic Route Urban Design Guidelines*<sup>13</sup>) might be impacted, and which are noted below:

- Largely rural in character with large 'estate' lots  
*The largest substantive change to the site is the erection of a fence around the entire perimeter of the property inclusive of a sliding secured gate. The fence will blend into landscape of the property and attempts to reflect the residential environment (see **Figure 1**).*



**Figure 1:** Proposed fence type

- A narrow and winding road alignment  
*Not applicable*
- Primarily residential uses  
*Not applicable*
- An architecture that reflects its historic past  
*The existing pumping kiosk was built in 1981 and has no historic significance. The architecture of the new station attempts to reflect the residential environment through the use of pre-cast finished concrete (see **Figure 2**) and simulated cedar shingles.*



**Figure 2:** Prototype for proposed new building theme. This site will be about twice this size and have simulated cedar shingles.

<sup>13</sup> *Mississauga Road Scenic Route Urban Design Guidelines*, City of Mississauga, September 2017.



- Established and mature vegetation and significant tree canopy  
*The surrounding vegetation and landscape will be preserved with the exception of the removal of four trees in the immediate vicinity of the building and equipment. The four trees are being replaced and additional shrubbery is being planted between the building and the Scenic Route (refer to **Appendix C**).*
- A variety of heritage, cultural, and landscape features.  
*Not applicable*



## 2.6 Assessment of Proposed Development and Mitigation Measures

To assess the proposed development, Mississauga Official Plan Policies 9.3.3.11 and 9.3.3.12, which contain provisions related to the Mississauga Road Scenic Route as identified in the Mississauga Road Scenic Route Urban Design Guidelines, have been used. Those provisions that apply to the site are noted below, with the most relevant sections written in bold<sup>14</sup>:

- *In order to protect its historic streetscape character and appearance, residential development will only consist of detached dwellings and will generally be on lots with a minimum depth of 40m.*

Not applicable

- *Projecting garages will be discouraged.*

Not applicable.

- *Alternative on-site turn arounds such as hammerhead driveways will be encouraged to reduce reverse movements and the number of driveway entrances.*

Not applicable

- ***Tree preservation and enhancement will be required on public and private lands in order to maintain existing trees;***

The preservation of the current trees and landscape is privileged in the proposal in a mixed or informal configuration. The landscape plan includes tree replacement and the preservation of the dense shrubs along the fence.

- ***Removal of existing landscape features, including but not limited to stone walls, fences and hedgerows, will be discouraged;***

In order to mitigate any impact upon the site, the required new is residential in nature and allows for views of the site's vegetation.

- ***Utilities will be located to minimize the impact on existing vegetation;***

The new station and landscape plans have minimized the impact on existing vegetation.

- ***Grading for new development will be designed to be compatible with and minimize difference between grades of the surrounding area, including Mississauga Road. Retaining walls as a grading solution will be discouraged***

Not applicable

<sup>14</sup> Mississauga Road Scenic Route Urban Design Guidelines, City of Mississauga, September 2017, 2-3.



**2.7 Proposed Development Architectural Drawings***See Appendix C***2.8 Summary of Conservation Principles and How They will be Used**

The existing kiosk has to be replaced with his larger structure in order to safely continue its function. The structure was not a contributing feature of the Mississauga Cultural Scenic Route. The contributing features of the “setting” are being preserved.



### **3.0 SUMMARY STATEMENT and CONSERVATION RECOMMENDATIONS**

There are no heritage structures on the property and no significant historical associations with the property. The cultural heritage significance is the location of the property along the Mississauga Road Scenic Route Cultural Landscape. The removal of the existing pumping station kiosk and its replacement with a one-storey building is a Public Works requirement. The addition of a fence addresses the Region of Peel's Health and Safety Standards.

The following mitigation measures have been included in the proposed plans to ensure the protection of the character and landscape value of the Mississauga Road Cultural Scenic Route:

- Although an industrial building, materials have been chosen that are sympathetic to the residential character of the Scenic Route: simulated cedar shingles, stone-like rendering of the precast concrete walls, and black metal picket fencing.
- The four trees that have to be removed are being replaced, and additional shrubbery is being planted between the building and the Scenic Route;
- The new fence that is required for safety reasons is being set as far back from the Scenic Route as possible and is of a design that blends into the setting.



## 4.0 MANDATORY RECOMMENDATION

1. Does the property meet the criteria for heritage designation under the Ontario Regulation 9/06, Ontario Heritage Act?

Evaluation as per Ontario Regulation 9/06 of the Ontario Heritage Act:

*Criteria for determining cultural heritage value or interest:*

*(Ontario Regulation 9/06 made under the Ontario Heritage Act)*

*A property may be designated under section 29 of the Act if it meets one or more of the following criteria for determining whether it is of cultural heritage value or interest*

1. The property has design value or physical value because it,	
i. is rare, unique, representative or early example of a style, type, expression, material or construction method,	No
ii. Displays a high degree of craftsmanship or artistic merit,	No
or iii. Demonstrates a high degree of technical or scientific achievement.	NA
2. The property has historical value or associative value because it,	
i. has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community,	No
ii. yields, or has the potential to yield, information that contributes to an understanding of a community or culture, or	No
iii. demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community	No
3. The property has contextual value because it,	
i. is important in defining, maintaining or supporting the character of an area,	No
ii. is physically, functionally, visually or historically linked to its surroundings	No
or iii. is a landmark	NA



The property does not meet the criteria for heritage designation under the Ontario Regulation 9/06, Ontario Heritage Act.

PPS 2014 2.6.1 states that, “*Significant built heritage resources and significant cultural heritage landscapes shall be conserved.*”

The proposal does not significantly impact the heritage attributes of the Mississauga Road Scenic Route Cultural Landscape, is in basic conformance with the policies of the Mississauga Road Scenic Route Urban Design Guidelines, and can be approved without loss of heritage value or significance.

This HIA should serve as a record to the identification of heritage value and interest for the site.



## 5.0 QUALIFICATIONS

### Qualifications of Author

As a requirement of the above noted guidelines, the Heritage Impact Assessment was prepared by a member of the Canadian Association of Heritage Professionals (CAHP), namely, Jane Burgess OAA, MRAIC, CAHP, APT, a founding partner of Stevens Burgess Architects Ltd. (SBA) and partner-in charge of heritage projects. She has practiced within the heritage industry for over thirty years, contributing to heritage policy making, advocacy and education. Jane has served as President of CAHP (Canadian Association of Heritage Professionals), Vice Chair of the Toronto Preservation Board and Vice President of the OAA. She has received many awards for her work in conservation and lectures widely on the subject. (Refer to **Appendix E** for Jane Burgess' résumé.)

Stevens Burgess Architects Ltd. is an OAA licensed architectural practice specializing in heritage conservation. SBA has six licensed architects, three of whom are members of the Canadian Association of Heritage Professionals (CAHP), three LEED accredited professionals and a staff trained in the application of heritage standards and best practices.

In 1988, SBA was retained to assist the Trustees of The Old Stone Church in Beaverton, Ontario to assist in designation and conservation of the 1840s stone church which became a national historic site. Since that time SBA has worked on over forty recognized or designated heritage properties and many more listed or eligible to be listed buildings. SBA follows internationally recognized preservation principles as inscribed in the charters. SBA's involvement with projects range from research and documentation to production of Heritage Significance Evaluations, Building Condition Assessments, Intervention Guidelines, Conservation Master Plans, Feasibility Studies, Heritage Impact Statements, Building Conservation, Retrofit and/or Reuse and Monitoring and Maintenance Plans.



## **References**

Standards and Guidelines for the Conservation of Historic Places in Canada (Standards and Guidelines)

Eight Guiding Principles in the Conservation of Historic Properties, Ontario Ministry of Culture  
 Ontario Heritage Tool Kit

Ontario Heritage Act, Regulation 9/06

Provincial Policy Statement under Ontario Planning Act, (PPS) 2014

City Of Mississauga Official Plan

City of Mississauga Heritage Impact Assessment TOR 2014

City of Mississauga Cultural Landscape Heritage Impact Assessment Terms of Reference

City of Mississauga Urban Design Guidelines: Mississauga Road Scenic Route, September 2017

City of Mississauga Scenic Route Study, May 1997

### City of Mississauga Web-sites:

[http://www.mississauga.ca/portal/residents/portcreditgallery?paf\\_gear\\_id=13400033&imageId=9600011n&index=1&returnUrl=%2Fportal%2Fresidents%2Fportcreditgallery](http://www.mississauga.ca/portal/residents/portcreditgallery?paf_gear_id=13400033&imageId=9600011n&index=1&returnUrl=%2Fportal%2Fresidents%2Fportcreditgallery)

<http://www.mississauga.ca/file/COM/Architectural Styles in Mississauga 2012.pdf>

<http://www6.mississauga.ca/online/maps/planbldg/MOP/Chapter16-Neighbourhoods.pdf>

[http://www7.mississauga.ca/documents/agendas/committees/heritage/HAC\\_Agenda\\_2013\\_05\\_28\\_Part\\_3.pdf](http://www7.mississauga.ca/documents/agendas/committees/heritage/HAC_Agenda_2013_05_28_Part_3.pdf)

## **Historical Bibliography**

Heritage Mississauga, [heritagemississauga.com/page/Henry-Shook](http://heritagemississauga.com/page/Henry-Shook)

Hicks, Kathleen. Clarkson's Corners. Friends of the Mississauga Library System, 2003.

*Lakeview: Journey from Yesterday.* Friends of Mississauga Library System, 2005).

The Dictionary of Canadian Biography, "Samuel Smith."

[http://www.biographi.ca/en/bio.php?id\\_nbr=3138](http://www.biographi.ca/en/bio.php?id_nbr=3138)

<http://search.ourontario.ca/>

<https://www.wikitree.com/wiki/Schreiber-428>

## **People Contacted**

Alexander Toth, GHD Ltd.

Chris Aplin, M.C.A. Paralegal Services, Brampton (Title Search)

Paula Wubbenhorst, Senior Heritage Coordinator, City of Mississauga Culture Division



## **Appendix A:**

*Cultural Landscape Heritage Impact Assessment Terms of Reference, undated*






---

## Cultural Landscape Heritage Impact Assessment (HIA) Terms of Reference

### 1. Introduction

The City of Mississauga adopted a Cultural Landscape Inventory in 2005. Cultural landscapes include neighbourhoods, roadways, waterways and more. The Cultural Landscape Inventory is available online at [http://www5.mississauga.ca/pdfs/Cultural\\_Landscape\\_Inventory\\_Jan05.pdf](http://www5.mississauga.ca/pdfs/Cultural_Landscape_Inventory_Jan05.pdf).

All of the properties listed on the Cultural Landscape Inventory are listed on the City's Heritage Register. In compliance with the City's policy 7.4.1.12, as stated below, the City of Mississauga seeks to conserve, record, and protect its heritage resources:

*7.4.1.12: The proponent of any construction, development, or property alteration that might adversely affect a listed or designated cultural heritage resource or which is proposed adjacent to a cultural heritage resource will be required to submit a **Heritage Impact Statement**<sup>1</sup>, prepared to the satisfaction of the City and other appropriate authorities having jurisdiction.*

These cultural heritage resources include properties identified on the City's Heritage Register as being part of Cultural Landscapes.

A Heritage Impact Assessment is a study to determine the impacts to known and potential heritage resources within a defined area proposed for future development. The study would include an inventory of all heritage resources within the planning application area. The study results in a report which identifies all known heritage resources, an evaluation of the significance of the resources, and makes recommendations toward mitigation measures that would minimize negative impacts to those resources. A Heritage Impact Assessment will be required on a property which is listed on the City's Heritage Register, a property designated under the *Ontario Heritage Act*, or where development is proposed adjacent to a known heritage resource. The requirement may also apply to unknown or recorded heritage resources which are discovered during the development application stage or construction.<sup>2</sup>

---

<sup>1</sup> At time of the writing of these Terms of Reference, the 2014 Official Plan Amendments supporting updated heritage definitions has not yet been enacted.

<sup>2</sup> For the definition of "development," please refer to the Mississauga Official Plan.



## 2. General Requirements include:

- A location map
- A site plan of existing conditions, to include buildings, structures, roadways, driveways, drainage features, trees and tree canopy, fencing, and topographical features
- A written and visual inventory (legible photographs – we suggest no more than two per page) of all elements of the property that contribute to its cultural heritage value, including overall site views. For buildings, internal and external photographs and floor plans are also required. Please note that due to the Freedom of Information and Protection of Privacy Act, photographs should not contain people or highlight personal possessions. The purpose of the photographs is to capture architectural features and building materials.
- A site plan and elevations of the proposed development
- For cultural landscapes or features that transcend a single property, a streetscape plan is required, in addition to photographs of the adjacent properties
- Qualifications of the author completing the report
- Three hard copies and a PDF

The City reserves the right to require further information, or a full HIA. These terms of reference are subject to change without notice.

## 3. Addressing the Cultural Landscape or Feature Criteria

Cultural Heritage Landscape Inventory Heritage Impact Assessments must demonstrate how the proposed development will conserve the criteria that render it a cultural heritage landscape and/or feature. Each cultural heritage landscape and feature includes a checklist of criteria. The Heritage Impact Assessment need only address the checked criteria for the pertinent cultural heritage landscapes or features. (Please note: some properties constitute more than one cultural heritage landscape.) Criteria include the following:

### **Landscape Environment**

- scenic and visual quality
- natural environment\*
- horticultural interest
- landscape design, type and technological interest

### **Built Environment**

- aesthetic/visual quality
- consistent with pre World War II environs
- consistent scale of built features
- unique architectural features/buildings
- designated structures

### **Historical Associations**

- illustrates a style, trend or pattern
- direct association with important person or event



- illustrates an important phase of social or physical development
- illustrates the work of an important designer

#### **Other**

- historical or archaeological interest\*\*
- outstanding features/interest
- significant ecological interest
- landmark value

Descriptions of these criteria are available in the Cultural Landscape Inventory document (pages 13 to 16).

\*For cultural landscapes or features noted for their **natural environment** (i.e. checked off in the Cultural Landscape Inventory document), and when also required as part of the Planning process, a copy of a certified arborist's report will be included as part of the scope of the Heritage Impact Assessment.

\*\*For cultural landscapes or features noted for their **archaeological interest** (i.e. checked off in the Cultural Landscape Inventory document), and when also required as part of the Planning process, a stage 1 archaeological assessment is required.

## **4. Property Information**

The proponent must include a list of property owners from the Land Registry office. Additional information may include the building construction date, builder, architect/designer, landscape architect, or personal histories. However, please note that due to the Freedom of Information and Protection of Privacy Act current property owner information must NOT be included. As such, Heritage Planning will request that current property owner personal information be redacted to ensure the reports comply with the Act.

## **5. Impact of Development or Site Alteration**

An assessment identifying any impact the proposed development or site alteration may have on the cultural heritage resource(s). Negative impacts on a cultural heritage resource(s) as stated in the *Ontario Heritage Tool Kit* include, but are not limited to:

- Destruction of any, or part of any, significant heritage attributes or features
- Removal of natural heritage features, including trees
- Alteration that is not sympathetic, or is incompatible, with the historic fabric and appearance
- Shadows created that alter the appearance of a heritage attribute or change the viability of an associated natural feature, or plantings, such as a garden
- Isolation of a heritage attribute from its surrounding environment, context or a significant relationship



- Direct or indirect obstruction of significant views or vistas within, from, or of built and natural features
- A change in land use where the change in use negates the property's cultural heritage value
- Land disturbances such as change in grade that alter soils, and drainage patterns that adversely affect cultural heritage resources

The proponent must demonstrate how the new proposed built form reflects the values of the identified cultural landscape and its characterizations that make up that cultural landscape.

## **6. Mitigation Measures**

The Heritage Impact Assessment must assess alternative development options and mitigation measures in order to avoid or limit the negative impact on the cultural heritage resources. Methods of minimizing or avoiding negative impact on cultural heritage resources, noted by the Ministry of Culture, include but are not limited to the following:

- Alternative development approaches
- Isolating development and site alteration from the significant built and natural heritage features and vistas
- Design guidelines that harmonize mass, setback, setting and materials
- Limiting height and density
- Allowing only compatible infill and additions
- Reversible alterations

These alternate forms of development options presented in the Heritage Impact Assessment must be evaluated and assessed by the heritage consultant writing the report as to the best option to proceed with and the reasons why that particular option has been chosen.

## **7. Qualifications**

The qualifications and background of the person completing the Heritage Impact Assessment will be included in the report. The author must be a qualified heritage consultant by having professional standing with the Canadian Association of Heritage Professionals (CAHP) and/or clearly demonstrate, through a Curriculum Vitae, experience in writing such Assessments or experience in the conservation of heritage places. The Assessment will also include a reference for any literature cited, and a list of people contacted during the study and referenced in the report.

## **8. Recommendation**

The heritage consultant must provide a recommendation as to whether the subject property is worthy of heritage designation in accordance with the heritage designation criteria per Regulation 9/06, *Ontario Heritage Act*. Should the consultant not support heritage designation then it must be clearly stated as to why the subject property does not meet the criteria as stated in Regulation 9/06.



The following questions must be answered in the final recommendation of the report:

- Does the property meet the criteria for heritage designation under Ontario Regulation 9/06, *Ontario Heritage Act*?
- If the subject property does not meet the criteria for heritage designation then it must be clearly stated as to why it does not
- Regardless of the failure to meet criteria for heritage designation, does the property warrant conservation as per the definition in the Provincial Policy Statement:  
**“Conserved:** means the identification, protection, use and/or management of cultural heritage and archaeological resources in such a way that their heritage values, attributes and integrity are retained. This may be addressed through a conservation plan or heritage impact assessment.”

Please note that failure to provide a clear recommendation as per the significance and direction of the identified cultural heritage resource will result in the rejection of the Heritage Impact Assessment.

## 9. Approval Process

Three copies of the Heritage Impact Assessment will be provided to Heritage staff, along with a PDF version. Hard copies must be single sided and pages must be no larger than 11 x 17 inches. Staff will ensure that copies are distributed to the Planning and Building Department and relevant staff and stakeholders within the Corporation. The Heritage Impact Assessment will be reviewed by City staff to determine whether all requirements have been met and to evaluate the preferred option(s). The applicant will be notified of Staff’s comments and acceptance, or rejection of the report.

All Heritage Impact Assessments will be sent to the City’s Heritage Advisory Committee for information or review. As of September 2014, Heritage Impact Assessments will no longer be published online. However, these documents will be made available to the public by appointment with Heritage Planning staff.

An accepted Heritage Impact Assessment will become part of the further processing of a development application under the direction of the Planning and Building Department. The recommendations within the final approved version of the Heritage Impact Assessment will be incorporated into development related legal agreements between the City and the proponent at the discretion of the municipality.

## 10. References

Applicants seeking professional assistance may wish to refer to the Canadian Association of Heritage Professionals website: <http://www.cahp-acecp.ca/>

Interpretation Services: <http://www.mississauga.ca/portal/cityhall/languages>

For more information on Heritage Planning at the City of Mississauga, visit us online at [www.mississauga.ca/heritageplanning](http://www.mississauga.ca/heritageplanning).



## Appendix B:

Property Title









9719	1842	25 Feb 1830	15 July 1830	John Barry	Arthur Jones			Wadon
15773	1844	26 Feb 1830	5 Dec 1830	John Barry	Alexander Montgomery	50 acres	£100	
21510		26 Aug 1830	16 Sept 1830	John Barry	William Chambers	"	£25-	Wadon
24550	1846	29 Aug 1830	6 Oct 1830	Alexander Montgomery	John Barry	"	"	Wadon
25000	1846	30 Jan 1831	15 Feb 1831	John Barry	George Holland	"	£100	Wadon
33070	1847	30 Aug 1830	9 Dec 1830	John P. Robinson	John P. Robinson	2. 32	£100	
38102	1847	15 July 1830	30 Sept 1830	George Holland	Andrew P. Mercer	50 acres	"	
40915	1848	3 Dec 1831	18 June 1831	John Barry	Bartholomew Barry	"	"	Wadon
5235		28 Nov 1833	28 June 1834	George Barry	James Mc Gill	1/2 acre	£20-	
5644		10 July 1834	18 July 1834	George Barry	Ann Parker	1 "	£20	Wadon
5665	1846	13 " "	" "	Ann Parker	Henry Mc Gill	1 "	£11.100	
1401	1846	14 Feb 1834	24 Feb 1834	Andrew Mercer	John Barry	50 "	"	Wadon
4059	1847	19 June 1834	25 June 1834	George P. Robinson	Robert Stephens	34	£10.00	
Credit reserve Lot No. 1 George N. of Dundas St.								
Tatent 6 Mar 1831								
6409	1849	19 July 1835	22 July 1835	John P. Robinson	John Samuel Smith	All	"	Wadon
6440	1846	"	"	Thomas L. Mc Culen	John P. Robinson	"	£1642.10	Wadon
6605	1846	20 Jan 1836	29 Jan 1836	John P. Robinson	John P. Robinson	"	£100	Wadon
6801	1849	14 July 1839	25 July 1839	Thomas L. Mc Culen	John L. Mc Gill	"	£1820-	Wadon
6896	1846	"	"	John L. Mc Gill	Thomas L. Mc Culen	"	£100	Wadon
9513	1846	15 Jan 1836	25 Feb 1836	Thomas L. Mc Culen	John L. Mc Gill	"	£100	Wadon
33039	1846	17 Sept 1830	25 Sept 1830	William P. Jones	Alexander Mc Gill	"	£100	Wadon
35020	1849	10 Dec 1830	17 Dec 1830	Alexander Mc Gill	James Mc Gill	"	£100	Wadon
828	"	28 Nov 1833	28 June 1834	George Barry	James Mc Gill	1/2 acre	£25-	Wadon
10660	1846	5 Mar 1831	29 Mar 1831	James Mc Gill	"	"	"	Wadon



No.	Date	Name	Amount	Balance
11999	16 Jan 1834	Sumner Stafford	£50.	£50.
13238	22 July 1834	William B. Jones	£50.	£50.
13239	" " 24 "	Thomas Hill	£60.	£60.
20560	21 Aug 1835	Edgar Chase et al	£500.	£500.
20561	18 Jan 1836	William Thompson et al	£400.	£400.
21001	10 Feb 1836	Augustus W. Hillman	£400.	£400.
21002	" " " "	William Thompson et al	£400.	£400.
21003	27 Jan 1836	Augustus W. Hillman	£400.	£400.
21004	16 Feb 1836	Augustus W. Hillman	£400.	£400.
21005	17 Dec 1836	Augustus W. Hillman	£400.	£400.
21006	" " " "	Augustus W. Hillman	£400.	£400.
21007	29 Feb 1837	John Hillman et al	£400.	£400.
21008	1 Aug 1837	Charles Mitchell et al	£400.	£400.
21009	1 Aug 1837	John Hillman et al	£400.	£400.
21010	1 Aug 1837	Charles Mitchell et al	£400.	£400.
21011	1 Aug 1837	John Hillman et al	£400.	£400.
21012	1 Aug 1837	Charles Mitchell et al	£400.	£400.
21013	1 Aug 1837	John Hillman et al	£400.	£400.
21014	1 Aug 1837	Charles Mitchell et al	£400.	£400.
21015	1 Aug 1837	John Hillman et al	£400.	£400.
21016	1 Aug 1837	Charles Mitchell et al	£400.	£400.
21017	1 Aug 1837	John Hillman et al	£400.	£400.
21018	1 Aug 1837	Charles Mitchell et al	£400.	£400.
21019	1 Aug 1837	John Hillman et al	£400.	£400.
21020	1 Aug 1837	Charles Mitchell et al	£400.	£400.
21021	1 Aug 1837	John Hillman et al	£400.	£400.
21022	1 Aug 1837	Charles Mitchell et al	£400.	£400.
21023	1 Aug 1837	John Hillman et al	£400.	£400.
21024	1 Aug 1837	Charles Mitchell et al	£400.	£400.
21025	1 Aug 1837	John Hillman et al	£400.	£400.
21026	1 Aug 1837	Charles Mitchell et al	£400.	£400.
21027	1 Aug 1837	John Hillman et al	£400.	£400.
21028	1 Aug 1837	Charles Mitchell et al	£400.	£400.
21029	1 Aug 1837	John Hillman et al	£400.	£400.
21030	1 Aug 1837	Charles Mitchell et al	£400.	£400.
21031	1 Aug 1837	John Hillman et al	£400.	£400.
21032	1 Aug 1837	Charles Mitchell et al	£400.	£400.
21033	1 Aug 1837	John Hillman et al	£400.	£400.
21034	1 Aug 1837	Charles Mitchell et al	£400.	£400.
21035	1 Aug 1837	John Hillman et al	£400.	£400.
21036	1 Aug 1837	Charles Mitchell et al	£400.	£400.
21037	1 Aug 1837	John Hillman et al	£400.	£400.
21038	1 Aug 1837	Charles Mitchell et al	£400.	£400.
21039	1 Aug 1837	John Hillman et al	£400.	£400.
21040	1 Aug 1837	Charles Mitchell et al	£400.	£400.
21041	1 Aug 1837	John Hillman et al	£400.	£400.
21042	1 Aug 1837	Charles Mitchell et al	£400.	£400.
21043	1 Aug 1837	John Hillman et al	£400.	£400.
21044	1 Aug 1837	Charles Mitchell et al	£400.	£400.
21045	1 Aug 1837	John Hillman et al	£400.	£400.
21046	1 Aug 1837	Charles Mitchell et al	£400.	£400.
21047	1 Aug 1837	John Hillman et al	£400.	£400.
21048	1 Aug 1837	Charles Mitchell et al	£400.	£400.
21049	1 Aug 1837	John Hillman et al	£400.	£400.
21050	1 Aug 1837	Charles Mitchell et al	£400.	£400.
21051	1 Aug 1837	John Hillman et al	£400.	£400.
21052	1 Aug 1837	Charles Mitchell et al	£400.	£400.
21053	1 Aug 1837	John Hillman et al	£400.	£400.
21054	1 Aug 1837	Charles Mitchell et al	£400.	£400.
21055	1 Aug 1837	John Hillman et al	£400.	£400.
21056	1 Aug 1837	Charles Mitchell et al	£400.	£400.
21057	1 Aug 1837	John Hillman et al	£400.	£400.
21058	1 Aug 1837	Charles Mitchell et al	£400.	£400.
21059	1 Aug 1837	John Hillman et al	£400.	£400.
21060	1 Aug 1837	Charles Mitchell et al	£400.	£400.
21061	1 Aug 1837	John Hillman et al	£400.	£



434

TOWNSHIP OF TORONTO

Lot No. 3 In the THIRD RANGE N.D.S. or FIRST RANGE CONGRESSIONAL NORTH OF RACEY TRACT

No. of Instrument	Instrument	Its Date	Date of Registration	GRANTOR	GRANTEE	Consideration or Amount of Mortgage	REMARKS
14450	Chancery	19Apr1866	20Apr1866	Donald Douglass (P)	John Irwin (D)		All 17ac. 3r. 3 $\frac{1}{2}$ per. Discharging No. 10240
15085	D.M.	14Jan1867	15Jan1867	Henry McGill	George P. McDougall		10 ac.
15086	IND.	16Jun1865	15Jan1867	John Flinn	George P. McDougall		
15087	B.&S.	21Jun1865	15Jan1867	George P. McDougall et ux	Henry McGill	\$6000.00	Part and O.L. 183 ac.
15088	B.&S.	14Jan1867	15Jan1867	Henry McGill et ux	Joseph Featherstone	3000.00	Part and O.L. 140 ac.
15089		14Jan1867	15Jan1867	Joseph Featherstone	Henry McGill	2000.00	
15160		8 Jan1867	31Jan1867	James O'Neill et ux	Lenoid McDougall	575.00	
15162	Q.C.	8 Jan1867	31Jan1867	Henry McGill et ux	James O'Neill	875.00	Part 40 ac. kws. R.H.W.
15164	D.M.	28Jan1867	31Jan1867	Robert Ellis	John Crozier		Discharging No. 11761
15269	Q.C.	8 Jun1867	5 Mar1867	John Crozier et ux	Henry McGill	1.00	Part 3-4 (kws. R.H.W.)
15342	D.M.	6 Jan1867	20Mar1867	George P. McDougall	John Irwin	250.00	Discharging No. 4482
15343	B.&S.	19Mar1867	20Mar1867	John Irwin et ux	Robert Collins		Part 10 1/5
16023	Q.C.	28Apr1864	4 Dec1867	Henry McGill et al	Donald Douglass	10S	17a3r. 3 $\frac{1}{2}$ per.
1611	B.&S.	13Jun1868	18Jun1868	Janet Douglas	George Dinning	\$1400.00	Part and O.L. 22/4/13
162		13Jun1868	18Jun1868	George Dinning et ux	Janet Douglass	1000.00	Part and O.L. 22/4/13
381	B.&S.	30Sep1869	3 Nov1869	Robert Collins et ux	W. G. Schreiber	1000.00	NE part 10 1/5
834	D.M.	29Oct1871	29Oct1871	Leonie McDougall	James O'Neill		Discharging No. 15160
835	B.&S.	29Sep1871	27Oct1871	James O'Neill et ux	John O'Neill	800.00	40 ac.
894	D.M.	10Jan1872	9 Feb1872	Henry McGill	Joseph Featherstone		Discharging No. 15089
1075	B.&S.	6 Nov1872	13Nov1872	Joseph Featherstone et ux	Samuel Perry	100.00	2ac. Discharging No. 15089
1831	Agreet.	27Aug1873	20Jan1876	Edmund Stephens	Credit Valley Railway	70.00 per acre.	Part 20/4/16 3
3400	B.&S.	22Jun1881	6 Jul1881	John O'Neil	W. G. Schreiber et al	100.00	Part
3429	B.&S.	29Jun1881	4 Oct1881	Donald Douglass	W. G. Schreiber et al	300.00	Part
4077	B.&S.	27Dec1883	21Jan1884	W. G. Schreiber et ux	John M. O'Neill	600.00	17ac. 3r. 3 $\frac{1}{2}$ per. East. Sturtwick Rd.
4078	R.&S.	7 Apr1887	9 Apr1887	James Currie et ux	James Currie	1200.00	NE part 10 1/5 East. Sturtwick Rd.
4079	R.&S.	7 Apr1887	9 Apr1887	James Currie et ux	Henry S. Clarkson	1200.00	NE part 10 1/5 East. Sturtwick Rd.



[illegible]

TO BOOK "C"



Book C

Lot No. 3

First Range Concession

N.D.S.

No. of Instrument	Instrument	Its Date	Date of Registration	Grantor	Grantee	Quantity of Land	Consideration or Amount of Mortgage	Remarks
11946	Grant	24Apr1905	18May1905	John C. Crozier Jane Crozier his wife Geo. Chris. Crozier Exrs of estate of George Crozier deceased.	Archibald Crozier	50	1. excepting thereout & the efrom all those portions of said lot heretofore sold and conveyed by deeds of conveyance duly registered and O.L.	
12689	Grant	22Dec1905	22May1907	Corpn Twp. of Toronto	The Southern Light & Power Co. Ltd.	55.00	pt of the original allowance for road known as Dundas Street covered by water and Other portions described by MAB	
12689	Grant	22Dec1905	22May1907	Corpn Twp of Toronto	The southern Light & Power Co.	68/100 55.00	pt of original allowance for road between ranges two and three or in front of range one & other parts etc.	
14226	Will	5Aug1905	5Dec1910	Edmund Diment	Louisa Diment	pt	on the death of said grantee the said lands are bequeathed to Kate Wolfe	
1887	General Will	n. Edward Kane					homestead. Pt Lt 3 1st Range NDS Indian Res.	
16457	Grant	13Apr1914	16Apr1914	Jane Kane widow exr	Charles H. Strong etur	pt 16ac.3r. 6500.00	pt +	
18960	Agreet	26Apr1919	30Apr1919	Jane Kane	Susan Orr Charles H. Strong	pt pt	1000.00 pt & O.L.	
* 25222	G.R. Will	4Feb1913	9Jun1920	Kate Wolfe	Sammel E. Wolfe etal	pt	among other bequests.	
20638	Grant	17Jun1918	11Feb1921	Archibald Crozier etur	Arthur M. Adamson	6000.00	pt	
20639	Ex. Deed	24Jan1921	11Feb1921	Mary R. Crozier	Arthur M. Adamson	600.00	pt	
20640	Decln	27Jan1921	11Feb1921	Mary R. Crozier	Declaration as to being widow of Archibald C. Crozier etc.			
20715	Grant	24Feb1921	4Mar1921	Charles H. Strong etur	Charles E Disher	pt	1. etc	
20830	Q.C.	1Apr1921	12Apr1921	Beaumont E. Sprowl etal	Mary A. Sprowl	pt	1.	
20831	Grant	1Apr1921	12Apr1921	Mary A. Sprowl	Public School Board	2000.00	pt	
23378	Grant	17Apr1923	12Jun1923	Clark. E. Disher	Vera Disher	pt	1.	
25527	M.	10Oct1924	23Sep1924	Wm. G. Conover etur	Susan Orr	7 1/2	1800.00	pt & O.L.
25572	D.M.	25Sep1924	30Oct1924	Susan Orr	Wm. G. Conover	7 1/2		Miscing. 18708
25587	M.	1Aug1925	10Sep1925	Vera H. Disher	Thomas N. Heiler	4	2000.00	

\* See copy  
cannot read

99 Cont





18960	Agreet	26Apr1919	30Apr1919	30Apr1919	Wm. G. Conover etux	Susan Orr	Charles H. Strong etux	pt	1000.00	pt & O.L.
2522	G.R. Will	4Feb1913	9Jun1920	Kate Wolfe		Sammel E. Wolfe etal	among other bequests.	pt		
20638	Grant	17Jun1928	11Feb1921	Archibald Crozier etux	Mary R. Crozier	Arthur M. Adamson		600.00	pt	
20639	Ex. Deed	24Jan1921	11Feb1921	Mary R. Crozier admr		Arthur M. Adamson		600.00	pt	
20640	Decln	27Jan1921	11Feb1921	Mary R. Crozier		Declaration as to being widow of Archibald C. Crozier etc.				
20715	Grant	24Feb1921	4Mar1921	Charles H. Strong etux		Charles E. Discher		1. etc	pt	
20820	Q.C.	14Apr1921	12Apr1921	Beaumont E. Sprowl etal		Mary A. Sprowl		1.	pt	
20821	Grant	14Apr1921	12Apr1921	Mary A. Sprowl		Public School Board		2000.00	pt	
23378	Grant	17Apr1923	12Jun1923	Clark. E. Discher		Vera Discher		1.	pt	
25227	M.	10-11-1924	23Sep-1924	Wm. G. Conover etux	Susan Orr	Susan Orr		2500.00	pt & O.L.	
25278	D.M.	25Sep1924	30Oct1924	Susan Orr		Wm. G. Conover				
25509	M.	1Aug1925	10Sep1925	Vera H. Discher		Thomas H. Healey		2200.00	pt	
25509	A.M.	1Nov1925	2Nov1925	Thomas H. Healey		Margaret Hall		2250.50	assign to 25509	8/11/43.
28704	Grant	24Mar1927	31Mar1927	Mary R. Crozier Admr of Archibald C. Crozier etal		Wm. W. Evans & Mary T. Evans		15000.00	AMO.L.	
28705	M.	10Mar1927	31Mar1927	Wm. W. Evans & Mary T. Evans		Mary R. Crozier		11000.00	A.O.L.	SEP 30 1936
28777	D.M.	14Sep1928	20Sep1928	Mary R. Crozier		Wm. W. Evans & Mary T. Evans		pt 55.0	Discher 28705	
28822	D.M.	10Nov1928	6Feb1929	Susan Orr		Wm. G. Conover			25227	
see General # 3719										

TO BOOK "D"



waiter painted under  
divided late 1940s  
will John W. He  
Joseph # recorded  
NO 62

SHEET NO 1		LOT NO 3		CON NO		RANGE NO 3		TOWNSHIP OF TOWNSHIP		SECTION 1, North of Range 3	
NUMBER	INSTRUMENT	DATE OF INSTRUMENT	DATE OF REGISTRATION	GRANTOR	GRANTEE	AREA	COMPARISON	REMARKS			
35001	Grant	4 Nov 1932	14 Nov 1932	John K. Featherstone et ux	Walter H. Graythorne	1	210 00	Part of lot 3 of			
34890	Grant	25 Aug 1932	29 Aug 1932	John L. Harper (deceased)	Samuel E. Wolfe	10 1/2 Acres	10 1/2	Part of lot 3 of			
35002	Grant	22 Nov 1932	1 Dec 1932	Samuel E. Wolfe et ux	William A. Wolfe	10 1/2	1000 00	Part of lot 3 of			
35003	Grant	4 Mar 1933	4 Mar 1933	William A. Wolfe et ux	April Wolfe	1000 00	1000 00	Part of lot 3 of			
35004	Grant	11 Mar 1933	11 Mar 1933	William A. Wolfe et ux	Charles W. Wolfe	1000 00	1000 00	Part of lot 3 of			
35005	Grant	1 Dec 1933	1 Dec 1933	Walter H. Graythorne	John K. Featherstone	1	100 00	Part of lot 3 of			
35006	Grant	20 Jan 1934	23 Jan 1934	Walter H. Graythorne	Arthur H. Mitchell	1	500 00	Part of lot 3 of			
35007	Grant	31 Jan 1934	3 May 1934	John K. Featherstone et ux	Harry Plumb	1	912 50	Part of lot 3 of			
35008	Grant	19 May 1934	21 May 1934	John K. Featherstone et ux	Frederick Truman and Lottie Truman as joint tenants	2	1150 00	Part of lot 3 of			
35009	Grant	21 May 1934	21 May 1934	Frederick Truman and Lottie Truman	John K. Featherstone	2	700 00	Part of lot 3 of			
35010	Grant	15 Aug 1934	15 Aug 1934	Samuel E. Wolfe et ux	Friends of the Century	10 1/2	2000 00	Part of lot 3 of			
35011	Grant	16 Oct 1934	22 Oct 1934	Frederick Truman and Lottie Truman	Edna M. Barker	2	1200 00	Part of lot 3 of			
35012	Grant	1 Jan 1935	1 Jan 1935	The Association of the	Reginald H. Watkins			Part of lot 3 of			
35013	Grant	15 Apr 1935	23 Apr 1935	Geo. Francis Laver and Grace V. Laver	John K. Featherstone	3	1200 00	Part of lot 3 of			
35014	Grant	10 Jun 1935	10 Jun 1935	John K. Featherstone	Walter H. Graythorne			Part of lot 3 of			
35015	Grant	3 Jun 1936	10 Jun 1936	Moran Graythorne	Wilhelmina Cresswell	1/2	1000 00	Part of lot 3 of			
35016	Grant	3 Jun 1936	10 Jun 1936	Wilhelmina Cresswell	Moran Graythorne	1/2	1000 00	Part of lot 3 of			
35017	Grant	3 Jun 1936	10 Jun 1936	Moran Graythorne	John K. Featherstone	1/2	1000 00	Part of lot 3 of			
35018	Grant	1 Nov 1937	30 Nov 1937	John K. Featherstone et ux	Harry Plumb			Part of lot 3 of			
35019	Grant	1 Oct 1938	22 Oct 1938	Frederick Truman and Lottie Truman	John K. Featherstone			Part of lot 3 of			
35020	Grant	21 Oct 1938	21 Oct 1938	John K. Featherstone	John K. Featherstone			Part of lot 3 of			



Edith May Wolfe  
widow/divisee  
#34830 Samuel Edmund  
Wolfe  
Probate  
62782 vs 7.3 - 53

See #  
shown  
R6573  
R3623







LOT 3 CONCESSION *Ag.* 3 NDS.

Mississippi.

[illegible]

See plan





Ontario

ServiceOntario

PARCEL REGISTER (ABBREVIATED) FOR PROPERTY IDENTIFIER

LAND  
REGISTRY  
OFFICE #43

PAGE 1 OF 1

PREPARED FOR CA  
ON 2017/12/11 AT 11:13:42

13382-0029 (LT)

\* CERTIFIED IN ACCORDANCE WITH THE LAND TITLES ACT \* SUBJECT TO RESERVATIONS IN CROWN GRANT \*

PROPERTY DESCRIPTION: PCL BLOCK 152-1, SEC M399 ; BLK 152, PL M399 ; S/T LT313360 MISSISSAUGA

PROPERTY REMARKS:

ESTATE/QUALIFIER:

FEE SIMPLE  
ABSOLUTE

RECENTLY:

FIRST CONVERSION FROM BOOK

CAPACITY SHARE

BENO

PIN CREATION DATE:

1996/06/12

OWNERS' NAMES

THE REGIONAL MUNICIPALITY OF PEEL

REG. NUM.	DATE	INSTRUMENT TYPE	AMOUNT	PARTIES FROM	PARTIES TO	CERT/ CHKD
**EFFECTIVE 2000/07/29 THE NOTATION OF THE "BLOCK IMPLEMENTATION DATE" OF 1996/06/12 ON THIS PIN**						
**WAS REPLACED WITH THE "PIN CREATION DATE" OF 1996/06/12**						
** PRINTOUT INCLUDES ALL DOCUMENT TYPES AND DELETED INSTRUMENTS SINCE 1996/06/10 **						
43R8851	1981/04/02	PLAN REFERENCE				C
LT313360	1981/04/22	TRANSFER EASEMENT		THE CORPORATION OF THE CITY OF MISSISSAUGA		C
LT313361	1981/04/22	TRANSFER <i>pic</i>	\$2	THE REGIONAL MUNICIPALITY OF PEEL		C

NOTE: ADJOINING PROPERTIES SHOULD BE INVESTIGATED TO ASCERTAIN DESCRIPTIVE INCONSISTENCIES, IF ANY, WITH DESCRIPTION REPRESENTED FOR THIS PROPERTY.  
NOTE: ENSURE THAT YOUR PRINTOUT STATES THE TOTAL NUMBER OF PAGES AND THAT YOU HAVE PICKED THEM ALL UP.







REGISTRATION NUMBER	INSTRUMENT	DATE OF INSTRUMENT	REGISTRATION DATE	GRANTOR	GRANTEE (PLOT, LOT, TRACT, ETC.)	COMBINATION, ETC.	LAND - REMARKS - SIGNATURE
313358	Plan 43R-8850	10 Mar. 1981	31 Mar. 1981	Lays out Parts of Lot 92 and Parts 1 and 2 thereon	Block 138 on Plan M-399, as		Reference Plan recorded on 31 Mar. 1981 <i>Abney add.</i> Reference Plan recorded on 2 Apr. 1981
313359	Plan 43R-8851	25 Mar. 1981	2 Apr. 1981	Lays out Part of Block 152 on	Plan M-399, as Part 1 thereon		Reference Plan recorded on 6 Apr. 1981 <i>Abney add.</i>
313360	Plan 43R-8852	25 Mar. 1981	6 Apr. 1981	Lays out Part of Block 150 on	Plan M-399, as Parts 1 and 2 thereon		Reference Plan recorded on 6 Apr. 1981 <i>Abney add.</i>
313361	Plan 43R-8853	16 Mar. 1981	6 Apr. 1981	Lays out Part of Lots 1 to 127 inclusive, on Plan M-399, as Parts 1 to 133 inclusive thereon			Reference Plan recorded on 6 Apr. 1981 <i>Abney add.</i> Lots 1 to 127 inclusive on Plan M-399
313362	Notice of Agreement	9 Mar. 1981	22 Apr. 1981	THE CADILLAC FAIRVIEW CORPORATION LIMITED	THE CORPORATION OF THIS CITY OF MISSISSAUGA		Reference Plan recorded on 6 Apr. 1981 <i>Abney add.</i> Lots 1 to 127 inclusive on Plan M-399
313363	Transfer	16 Mar. 1981	22 Apr. 1981	BLOCKS 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147 and 148 on Plan M-399, being the reserves of Block M-399.			Reference Plan recorded on 6 Apr. 1981 <i>Abney add.</i> Lots 1 to 127 inclusive on Plan M-399
313364	Transfer of Easement	18 Nov. 1980	22 Apr. 1981	BLOCKS 132 and 148, being Street Widening and Streets, namely CAYENNE CORNER, FIFTH STREET CORNER, SIXTH STREET CORNER, SEVENTH STREET CORNER, EIGHTH STREET CORNER, NINTH STREET CORNER, TENTH STREET CORNER, ELEVENTH STREET CORNER, TWELFTH STREET CORNER, THIRTEENTH STREET CORNER, FOURTEENTH STREET CORNER, FIFTEENTH STREET CORNER, SIXTEENTH STREET CORNER, SEVENTEENTH STREET CORNER, EIGHTEENTH STREET CORNER, NINETEENTH STREET CORNER, TWENTIETH STREET CORNER, TWENTY-FIRST STREET CORNER, TWENTY-SECOND STREET CORNER, TWENTY-THIRD STREET CORNER, TWENTY-FOURTH STREET CORNER, TWENTY-FIFTH STREET CORNER, TWENTY-SIXTH STREET CORNER, TWENTY-SEVENTH STREET CORNER, TWENTY-EIGHTH STREET CORNER, TWENTY-NINTH STREET CORNER, THIRTIETH STREET CORNER, THIRTY-FIRST STREET CORNER, THIRTY-SECOND STREET CORNER, THIRTY-THIRD STREET CORNER, THIRTY-FOURTH STREET CORNER, THIRTY-FIFTH STREET CORNER, THIRTY-SIXTH STREET CORNER, THIRTY-SEVENTH STREET CORNER, THIRTY-EIGHTH STREET CORNER, THIRTY-NINTH STREET CORNER, FORTIETH STREET CORNER, FORTY-FIRST STREET CORNER, FORTY-SECOND STREET CORNER, FORTY-THIRD STREET CORNER, FORTY-FOURTH STREET CORNER, FORTY-FIFTH STREET CORNER, FORTY-SIXTH STREET CORNER, FORTY-SEVENTH STREET CORNER, FORTY-EIGHTH STREET CORNER, FORTY-NINTH STREET CORNER, FIFTIETH STREET CORNER, FIFTY-FIRST STREET CORNER, FIFTY-SECOND STREET CORNER, FIFTY-THIRD STREET CORNER, FIFTY-FOURTH STREET CORNER, FIFTY-FIFTH STREET CORNER, FIFTY-SIXTH STREET CORNER, FIFTY-SEVENTH STREET CORNER, FIFTY-EIGHTH STREET CORNER, FIFTY-NINTH STREET CORNER, SIXTIETH STREET CORNER, SIXTY-FIRST STREET CORNER, SIXTY-SECOND STREET CORNER, SIXTY-THIRD STREET CORNER, SIXTY-FOURTH STREET CORNER, SIXTY-FIFTH STREET CORNER, SIXTY-SIXTH STREET CORNER, SIXTY-SEVENTH STREET CORNER, SIXTY-EIGHTH STREET CORNER, SIXTY-NINTH STREET CORNER, SEVENTIETH STREET CORNER, SEVENTY-FIRST STREET CORNER, SEVENTY-SECOND STREET CORNER, SEVENTY-THIRD STREET CORNER, SEVENTY-FOURTH STREET CORNER, SEVENTY-FIFTH STREET CORNER, SEVENTY-SIXTH STREET CORNER, SEVENTY-SEVENTH STREET CORNER, SEVENTY-EIGHTH STREET CORNER, SEVENTY-NINTH STREET CORNER, EIGHTIETH STREET CORNER, EIGHTY-FIRST STREET CORNER, EIGHTY-SECOND STREET CORNER, EIGHTY-THIRD STREET CORNER, EIGHTY-FOURTH STREET CORNER, EIGHTY-FIFTH STREET CORNER, EIGHTY-SIXTH STREET CORNER, EIGHTY-SEVENTH STREET CORNER, EIGHTY-EIGHTH STREET CORNER, EIGHTY-NINTH STREET CORNER, NINETYETH STREET CORNER, NINETY-FIRST STREET CORNER, NINETY-SECOND STREET CORNER, NINETY-THIRD STREET CORNER, NINETY-FOURTH STREET CORNER, NINETY-FIFTH STREET CORNER, NINETY-SIXTH STREET CORNER, NINETY-SEVENTH STREET CORNER, NINETY-EIGHTH STREET CORNER, NINETY-NINTH STREET CORNER, ONE HUNDREDTH STREET CORNER, ONE HUNDRED-FIRST STREET CORNER, ONE HUNDRED-SECOND STREET CORNER, ONE HUNDRED-THIRD STREET CORNER, ONE HUNDRED-FOURTH STREET CORNER, ONE HUNDRED-FIFTH STREET CORNER, ONE HUNDRED-SIXTH STREET CORNER, ONE HUNDRED-SEVENTH STREET CORNER, ONE HUNDRED-EIGHTH STREET CORNER, ONE HUNDRED-NINTH STREET CORNER, TWO HUNDREDTH STREET CORNER, TWO HUNDRED-FIRST STREET CORNER, TWO HUNDRED-SECOND STREET CORNER, TWO HUNDRED-THIRD STREET CORNER, TWO HUNDRED-FOURTH STREET CORNER, TWO HUNDRED-FIFTH STREET CORNER, TWO HUNDRED-SIXTH STREET CORNER, TWO HUNDRED-SEVENTH STREET CORNER, TWO HUNDRED-EIGHTH STREET CORNER, TWO HUNDRED-NINTH STREET CORNER, THREE HUNDREDTH STREET CORNER, THREE HUNDRED-FIRST STREET CORNER, THREE HUNDRED-SECOND STREET CORNER, THREE HUNDRED-THIRD STREET CORNER, THREE HUNDRED-FOURTH STREET CORNER, THREE HUNDRED-FIFTH STREET CORNER, THREE HUNDRED-SIXTH STREET CORNER, THREE HUNDRED-SEVENTH STREET CORNER, THREE HUNDRED-EIGHTH STREET CORNER, THREE HUNDRED-NINTH STREET CORNER, FOUR HUNDREDTH STREET CORNER, FOUR HUNDRED-FIRST STREET CORNER, FOUR HUNDRED-SECOND STREET CORNER, FOUR HUNDRED-THIRD STREET CORNER, FOUR HUNDRED-FOURTH STREET CORNER, FOUR HUNDRED-FIFTH STREET CORNER, FOUR HUNDRED-SIXTH STREET CORNER, FOUR HUNDRED-SEVENTH STREET CORNER, FOUR HUNDRED-EIGHTH STREET CORNER, FOUR HUNDRED-NINTH STREET CORNER, FIVE HUNDREDTH STREET CORNER, FIVE HUNDRED-FIRST STREET CORNER, FIVE HUNDRED-SECOND STREET CORNER, FIVE HUNDRED-THIRD STREET CORNER, FIVE HUNDRED-FOURTH STREET CORNER, FIVE HUNDRED-FIFTH STREET CORNER, FIVE HUNDRED-SIXTH STREET CORNER, FIVE HUNDRED-SEVENTH STREET CORNER, FIVE HUNDRED-EIGHTH STREET CORNER, FIVE HUNDRED-NINTH STREET CORNER, SIX HUNDREDTH STREET CORNER, SIX HUNDRED-FIRST STREET CORNER, SIX HUNDRED-SECOND STREET CORNER, SIX HUNDRED-THIRD STREET CORNER, SIX HUNDRED-FOURTH STREET CORNER, SIX HUNDRED-FIFTH STREET CORNER, SIX HUNDRED-SIXTH STREET CORNER, SIX HUNDRED-SEVENTH STREET CORNER, SIX HUNDRED-EIGHTH STREET CORNER, SIX HUNDRED-NINTH STREET CORNER, SEVEN HUNDREDTH STREET CORNER, SEVEN HUNDRED-FIRST STREET CORNER, SEVEN HUNDRED-SECOND STREET CORNER, SEVEN HUNDRED-THIRD STREET CORNER, SEVEN HUNDRED-FOURTH STREET CORNER, SEVEN HUNDRED-FIFTH STREET CORNER, SEVEN HUNDRED-SIXTH STREET CORNER, SEVEN HUNDRED-SEVENTH STREET CORNER, SEVEN HUNDRED-EIGHTH STREET CORNER, SEVEN HUNDRED-NINTH STREET CORNER, EIGHT HUNDREDTH STREET CORNER, EIGHT HUNDRED-FIRST STREET CORNER, EIGHT HUNDRED-SECOND STREET CORNER, EIGHT HUNDRED-THIRD STREET CORNER, EIGHT HUNDRED-FOURTH STREET CORNER, EIGHT HUNDRED-FIFTH STREET CORNER, EIGHT HUNDRED-SIXTH STREET CORNER, EIGHT HUNDRED-SEVENTH STREET CORNER, EIGHT HUNDRED-EIGHTH STREET CORNER, EIGHT HUNDRED-NINTH STREET CORNER, NINE HUNDREDTH STREET CORNER, NINE HUNDRED-FIRST STREET CORNER, NINE HUNDRED-SECOND STREET CORNER, NINE HUNDRED-THIRD STREET CORNER, NINE HUNDRED-FOURTH STREET CORNER, NINE HUNDRED-FIFTH STREET CORNER, NINE HUNDRED-SIXTH STREET CORNER, NINE HUNDRED-SEVENTH STREET CORNER, NINE HUNDRED-EIGHTH STREET CORNER, NINE HUNDRED-NINTH STREET CORNER, TEN HUNDREDTH STREET CORNER, TEN HUNDRED-FIRST STREET CORNER, TEN HUNDRED-SECOND STREET CORNER, TEN HUNDRED-THIRD STREET CORNER, TEN HUNDRED-FOURTH STREET CORNER, TEN HUNDRED-FIFTH STREET CORNER, TEN HUNDRED-SIXTH STREET CORNER, TEN HUNDRED-SEVENTH STREET CORNER, TEN HUNDRED-EIGHTH STREET CORNER, TEN HUNDRED-NINTH STREET CORNER, ELEVEN HUNDREDTH STREET CORNER, ELEVEN HUNDRED-FIRST STREET CORNER, ELEVEN HUNDRED-SECOND STREET CORNER, ELEVEN HUNDRED-THIRD STREET CORNER, ELEVEN HUNDRED-FOURTH STREET CORNER, ELEVEN HUNDRED-FIFTH STREET CORNER, ELEVEN HUNDRED-SIXTH STREET CORNER, ELEVEN HUNDRED-SEVENTH STREET CORNER, ELEVEN HUNDRED-EIGHTH STREET CORNER, ELEVEN HUNDRED-NINTH STREET CORNER, TWELVE HUNDREDTH STREET CORNER, TWELVE HUNDRED-FIRST STREET CORNER, TWELVE HUNDRED-SECOND STREET CORNER, TWELVE HUNDRED-THIRD STREET CORNER, TWELVE HUNDRED-FOURTH STREET CORNER, TWELVE HUNDRED-FIFTH STREET CORNER, TWELVE HUNDRED-SIXTH STREET CORNER, TWELVE HUNDRED-SEVENTH STREET CORNER, TWELVE HUNDRED-EIGHTH STREET CORNER, TWELVE HUNDRED-NINTH STREET CORNER, THIRTEEN HUNDREDTH STREET CORNER, THIRTEEN HUNDRED-FIRST STREET CORNER, THIRTEEN HUNDRED-SECOND STREET CORNER, THIRTEEN HUNDRED-THIRD STREET CORNER, THIRTEEN HUNDRED-FOURTH STREET CORNER, THIRTEEN HUNDRED-FIFTH STREET CORNER, THIRTEEN HUNDRED-SIXTH STREET CORNER, THIRTEEN HUNDRED-SEVENTH STREET CORNER, THIRTEEN HUNDRED-EIGHTH STREET CORNER, THIRTEEN HUNDRED-NINTH STREET CORNER, FOURTEEN HUNDREDTH STREET CORNER, FOURTEEN HUNDRED-FIRST STREET CORNER, FOURTEEN HUNDRED-SECOND STREET CORNER, FOURTEEN HUNDRED-THIRD STREET CORNER, FOURTEEN HUNDRED-FOURTH STREET CORNER, FOURTEEN HUNDRED-FIFTH STREET CORNER, FOURTEEN HUNDRED-SIXTH STREET CORNER, FOURTEEN HUNDRED-SEVENTH STREET CORNER, FOURTEEN HUNDRED-EIGHTH STREET CORNER, FOURTEEN HUNDRED-NINTH STREET CORNER, FIFTEEN HUNDREDTH STREET CORNER, FIFTEEN HUNDRED-FIRST STREET CORNER, FIFTEEN HUNDRED-SECOND STREET CORNER, FIFTEEN HUNDRED-THIRD STREET CORNER, FIFTEEN HUNDRED-FOURTH STREET CORNER, FIFTEEN HUNDRED-FIFTH STREET CORNER, FIFTEEN HUNDRED-SIXTH STREET CORNER, FIFTEEN HUNDRED-SEVENTH STREET CORNER, FIFTEEN HUNDRED-EIGHTH STREET CORNER, FIFTEEN HUNDRED-NINTH STREET CORNER, SIXTEEN HUNDREDTH STREET CORNER, SIXTEEN HUNDRED-FIRST STREET CORNER, SIXTEEN HUNDRED-SECOND STREET CORNER, SIXTEEN HUNDRED-THIRD STREET CORNER, SIXTEEN HUNDRED-FOURTH STREET CORNER, SIXTEEN HUNDRED-FIFTH STREET CORNER, SIXTEEN HUNDRED-SIXTH STREET CORNER, SIXTEEN HUNDRED-SEVENTH STREET CORNER, SIXTEEN HUNDRED-EIGHTH STREET CORNER, SIXTEEN HUNDRED-NINTH STREET CORNER, SEVENTEEN HUNDREDTH STREET CORNER, SEVENTEEN HUNDRED-FIRST STREET CORNER, SEVENTEEN HUNDRED-SECOND STREET CORNER, SEVENTEEN HUNDRED-THIRD STREET CORNER, SEVENTEEN HUNDRED-FOURTH STREET CORNER, SEVENTEEN HUNDRED-FIFTH STREET CORNER, SEVENTEEN HUNDRED-SIXTH STREET CORNER, SEVENTEEN HUNDRED-SEVENTH STREET CORNER, SEVENTEEN HUNDRED-EIGHTH STREET CORNER, SEVENTEEN HUNDRED-NINTH STREET CORNER, EIGHTEEN HUNDREDTH STREET CORNER, EIGHTEEN HUNDRED-FIRST STREET CORNER, EIGHTEEN HUNDRED-SECOND STREET CORNER, EIGHTEEN HUNDRED-THIRD STREET CORNER, EIGHTEEN HUNDRED-FOURTH STREET CORNER, EIGHTEEN HUNDRED-FIFTH STREET CORNER, EIGHTEEN HUNDRED-SIXTH STREET CORNER, EIGHTEEN HUNDRED-SEVENTH STREET CORNER, EIGHTEEN HUNDRED-EIGHTH STREET CORNER, EIGHTEEN HUNDRED-NINTH STREET CORNER, NINETEEN HUNDREDTH STREET CORNER, NINETEEN HUNDRED-FIRST STREET CORNER, NINETEEN HUNDRED-SECOND STREET CORNER, NINETEEN HUNDRED-THIRD STREET CORNER, NINETEEN HUNDRED-FOURTH STREET CORNER, NINETEEN HUNDRED-FIFTH STREET CORNER, NINETEEN HUNDRED-SIXTH STREET CORNER, NINETEEN HUNDRED-SEVENTH STREET CORNER, NINETEEN HUNDRED-EIGHTH STREET CORNER, NINETEEN HUNDRED-NINTH STREET CORNER, TWENTY HUNDREDTH STREET CORNER, TWENTY HUNDRED-FIRST STREET CORNER, TWENTY HUNDRED-SECOND STREET CORNER, TWENTY HUNDRED-THIRD STREET CORNER, TWENTY HUNDRED-FOURTH STREET CORNER, TWENTY HUNDRED-FIFTH STREET CORNER, TWENTY HUNDRED-SIXTH STREET CORNER, TWENTY HUNDRED-SEVENTH STREET CORNER, TWENTY HUNDRED-EIGHTH STREET CORNER, TWENTY HUNDRED-NINTH STREET CORNER, TWENTY-ONE HUNDREDTH STREET CORNER, TWENTY-ONE HUNDRED-FIRST STREET CORNER, TWENTY-ONE HUNDRED-SECOND STREET CORNER, TWENTY-ONE HUNDRED-THIRD STREET CORNER, TWENTY-ONE HUNDRED-FOURTH STREET CORNER, TWENTY-ONE HUNDRED-FIFTH STREET CORNER, TWENTY-ONE HUNDRED-SIXTH STREET CORNER, TWENTY-ONE HUNDRED-SEVENTH STREET CORNER, TWENTY-ONE HUNDRED-EIGHTH STREET CORNER, TWENTY-ONE HUNDRED-NINTH STREET CORNER, TWENTY-TWO HUNDREDTH STREET CORNER, TWENTY-TWO HUNDRED-FIRST STREET CORNER, TWENTY-TWO HUNDRED-SECOND STREET CORNER, TWENTY-TWO HUNDRED-THIRD STREET CORNER, TWENTY-TWO HUNDRED-FOURTH STREET CORNER, TWENTY-TWO HUNDRED-FIFTH STREET CORNER, TWENTY-TWO HUNDRED-SIXTH STREET CORNER, TWENTY-TWO HUNDRED-SEVENTH STREET CORNER, TWENTY-TWO HUNDRED-EIGHTH STREET CORNER, TWENTY-TWO HUNDRED-NINTH STREET CORNER, TWENTY-THREE HUNDREDTH STREET CORNER, TWENTY-THREE HUNDRED-FIRST STREET CORNER, TWENTY-THREE HUNDRED-SECOND STREET CORNER, TWENTY-THREE HUNDRED-THIRD STREET CORNER, TWENTY-THREE HUNDRED-FOURTH STREET CORNER, TWENTY-THREE HUNDRED-FIFTH STREET CORNER, TWENTY-THREE HUNDRED-SIXTH STREET CORNER, TWENTY-THREE HUNDRED-SEVENTH STREET CORNER, TWENTY-THREE HUNDRED-EIGHTH STREET CORNER, TWENTY-THREE HUNDRED-NINTH STREET CORNER, TWENTY-FOUR HUNDREDTH STREET CORNER, TWENTY-FOUR HUNDRED-FIRST STREET CORNER, TWENTY-FOUR HUNDRED-SECOND STREET CORNER, TWENTY-FOUR HUNDRED-THIRD STREET CORNER, TWENTY-FOUR HUNDRED-FOURTH STREET CORNER, TWENTY-FOUR HUNDRED-FIFTH STREET CORNER, TWENTY-FOUR HUNDRED-SIXTH STREET CORNER, TWENTY-FOUR HUNDRED-SEVENTH STREET CORNER, TWENTY-FOUR HUNDRED-EIGHTH STREET CORNER, TWENTY-FOUR HUNDRED-NINTH STREET CORNER, TWENTY-FIVE HUNDREDTH STREET CORNER, TWENTY-FIVE HUNDRED-FIRST STREET CORNER, TWENTY-FIVE HUNDRED-SECOND STREET CORNER, TWENTY-FIVE HUNDRED-THIRD STREET CORNER, TWENTY-FIVE HUNDRED-FOURTH STREET CORNER, TWENTY-FIVE HUNDRED-FIFTH STREET CORNER, TWENTY-FIVE HUNDRED-SIXTH STREET CORNER, TWENTY-FIVE HUNDRED-SEVENTH STREET CORNER, TWENTY-FIVE HUNDRED-EIGHTH STREET CORNER, TWENTY-FIVE HUNDRED-NINTH STREET CORNER, TWENTY-SIX HUNDREDTH STREET CORNER, TWENTY-SIX HUNDRED-FIRST STREET CORNER, TWENTY-SIX HUNDRED-SECOND STREET CORNER, TWENTY-SIX HUNDRED-THIRD STREET CORNER, TWENTY-SIX HUNDRED-FOURTH STREET CORNER, TWENTY-SIX HUNDRED-FIFTH STREET CORNER, TWENTY-SIX HUNDRED-SIXTH STREET CORNER, TWENTY-SIX HUNDRED-SEVENTH STREET CORNER, TWENTY-SIX HUNDRED-EIGHTH STREET CORNER, TWENTY-SIX HUNDRED-NINTH STREET CORNER, TWENTY-SEVEN HUNDREDTH STREET CORNER, TWENTY-SEVEN HUNDRED-FIRST STREET CORNER, TWENTY-SEVEN HUNDRED-SECOND STREET CORNER, TWENTY-SEVEN HUNDRED-THIRD STREET CORNER, TWENTY-SEVEN HUNDRED-FOURTH STREET CORNER, TWENTY-SEVEN HUNDRED-FIFTH STREET CORNER, TWENTY-SEVEN HUNDRED-SIXTH STREET CORNER, TWENTY-SEVEN HUNDRED-SEVENTH STREET CORNER, TWENTY-SEVEN HUNDRED-EIGHTH STREET CORNER, TWENTY-SEVEN HUNDRED-NINTH STREET CORNER, TWENTY-EIGHT HUNDREDTH STREET CORNER, TWENTY-EIGHT HUNDRED-FIRST STREET CORNER, TWENTY-EIGHT HUNDRED-SECOND STREET CORNER, TWENTY-EIGHT HUNDRED-THIRD STREET CORNER, TWENTY-EIGHT HUNDRED-FOURTH STREET CORNER, TWENTY-EIGHT HUNDRED-FIFTH STREET CORNER, TWENTY-EIGHT HUNDRED-SIXTH STREET CORNER, TWENTY-EIGHT HUNDRED-SEVENTH STREET CORNER, TWENTY-EIGHT HUNDRED-EIGHTH STREET CORNER, TWENTY-EIGHT HUNDRED-NINTH STREET CORNER, TWENTY-NINE HUNDREDTH STREET CORNER, TWENTY-NINE HUNDRED-FIRST STREET CORNER, TWENTY-NINE HUNDRED-SECOND STREET CORNER, TWENTY-NINE HUNDRED-THIRD STREET CORNER, TWENTY-NINE HUNDRED-FOURTH STREET CORNER, TWENTY-NINE HUNDRED-FIFTH STREET CORNER, TWENTY-NINE HUNDRED-SIXTH STREET CORNER, TWENTY-NINE HUNDRED-SEVENTH STREET CORNER, TWENTY-NINE HUNDRED-EIGHTH STREET CORNER, TWENTY-NINE HUNDRED-NINTH STREET CORNER, THIRTY HUNDREDTH STREET CORNER, THIRTY HUNDRED-FIRST STREET CORNER, THIRTY HUNDRED-SECOND STREET CORNER, THIRTY HUNDRED-THIRD STREET CORNER, THIRTY HUNDRED-FOURTH STREET CORNER, THIRTY HUNDRED-FIFTH STREET CORNER, THIRTY HUNDRED-SIXTH STREET CORNER, THIRTY HUNDRED-SEVENTH STREET CORNER, THIRTY HUNDRED-EIGHTH STREET CORNER, THIRTY HUNDRED-NINTH STREET CORNER, THIRTY-ONE HUNDREDTH STREET CORNER, THIRTY-ONE HUNDRED-FIRST STREET CORNER, THIRTY-ONE HUNDRED-SECOND STREET CORNER, THIRTY-ONE HUNDRED-THIRD STREET CORNER, THIRTY-ONE HUNDRED-FOURTH STREET CORNER, THIRTY-ONE HUNDRED-FIFTH STREET CORNER, THIRTY-ONE HUNDRED-SIXTH STREET CORNER, THIRTY-ONE HUNDRED-SEVENTH STREET CORNER, THIRTY-ONE HUNDRED-EIGHTH STREET CORNER, THIRTY-ONE HUNDRED-NINTH STREET CORNER, THIRTY-TWO HUNDREDTH STREET CORNER, THIRTY-TWO HUNDRED-FIRST STREET CORNER, THIRTY-TWO HUNDRED-SECOND STREET CORNER, THIRTY-TWO HUNDRED-THIRD STREET CORNER, THIRTY-TWO HUNDRED-FOURTH STREET CORNER, THIRTY-TWO HUNDRED-FIFTH STREET CORNER, THIRTY-TWO HUNDRED-SIXTH STREET CORNER, THIRTY-TWO HUNDRED-SEVENTH STREET CORNER, THIRTY-TWO HUNDRED-EIGHTH STREET CORNER, THIRTY-TWO HUNDRED-NINTH STREET CORNER, THIRTY-THREE HUNDREDTH STREET CORNER, THIRTY-THREE HUNDRED-FIRST STREET CORNER, THIRTY-THREE HUNDRED-SECOND STREET CORNER, THIRTY-THREE HUNDRED-THIRD STREET CORNER, THIRTY-THREE HUNDRED-FOURTH STREET CORNER, THIRTY-THREE HUNDRED-FIFTH STREET CORNER, THIRTY-THREE HUNDRED-SIXTH STREET CORNER, THIRTY-THREE HUNDRED-SEVENTH STREET CORNER, THIRTY-THREE HUNDRED-EIGHTH STREET CORNER, THIRTY-THREE HUNDRED-NINTH STREET CORNER, THIRTY-FOUR HUNDREDTH STREET CORNER, THIRTY-FOUR HUNDRED-FIRST STREET CORNER, THIRTY-FOUR HUNDRED-SECOND STREET CORNER, THIRTY-FOUR HUNDRED-THIRD STREET CORNER, THIRTY-FOUR HUNDRED-FOURTH STREET CORNER, THIRTY-FOUR HUNDRED-FIFTH STREET CORNER, THIRTY-FOUR HUNDRED-SIXTH STREET CORNER, THIRTY-FOUR HUNDRED-SEVENTH STREET CORNER, THIRTY-FOUR HUNDRED-EIGHTH STREET CORNER, THIRTY-FOUR HUNDRED-NINTH STREET CORNER, THIRTY-FIVE HUNDREDTH STREET CORNER, THIRTY-FIVE HUNDRED-FIRST STREET CORNER, THIRTY-FIVE HUNDRED-SECOND STREET CORNER, THIRTY-FIVE HUNDRED-THIRD STREET CORNER, THIRTY-FIVE HUNDRED-FOURTH STREET CORNER, THIRTY-FIVE HUNDRED-FIFTH STREET CORNER, THIRTY-FIVE HUNDRED-SIXTH STREET CORNER, THIRTY-FIVE HUNDRED-SEVENTH STREET CORNER, THIRTY-FIVE HUNDRED-EIGHTH STREET CORNER, THIRTY-FIVE HUNDRED-NINTH STREET CORNER, THIRTY-SIX HUNDREDTH STREET CORNER, THIRTY-SIX HUNDRED-FIRST STREET CORNER, THIRTY-SIX HUNDRED-SECOND STREET CORNER, THIRTY-SIX HUNDRED-THIRD STREET CORNER, THIRTY-SIX HUNDRED-FOURTH STREET CORNER, THIRTY-SIX HUNDRED-FIFTH STREET CORNER, THIRTY-SIX HUNDRED-SIXTH STREET CORNER, THIRTY-SIX HUNDRED-SEVENTH STREET CORNER, THIRTY-SIX HUNDRED-EIGHTH STREET CORNER, THIRTY-SIX HUNDRED-NINTH STREET CORNER, THIRTY-SEVEN HUNDREDTH STREET CORNER, THIRTY-SEVEN HUNDRED-FIRST STREET CORNER, THIRTY-SEVEN HUNDRED-SECOND STREET CORNER, THIRTY-SEVEN HUNDRED-THIRD STREET CORNER, THIRTY-SEVEN HUNDRED-FOURTH STREET CORNER, THIRTY-SEVEN HUNDRED-FIFTH STREET CORNER, THIRTY-SEVEN HUNDRED-SIXTH STREET CORNER, THIRTY-SEVEN HUNDRED-SEVENTH STREET CORNER, THIRTY-SEVEN HUNDRED-EIGHTH STREET CORNER, THIRTY-SEVEN HUNDRED-NINTH STREET CORNER, THIRTY-EIGHT HUNDREDTH STREET CORNER, THIRTY-EIGHT HUNDRED-FIRST STREET CORNER, THIRTY-EIGHT HUNDRED-SECOND STREET CORNER, THIRTY-EIGHT HUNDRED-THIRD STREET CORNER, THIRTY-EIGHT HUNDRED-FOURTH STREET CORNER, THIRTY-EIGHT HUNDRED-FIFTH STREET CORNER, THIRTY-EIGHT HUNDRED-SIXTH STREET CORNER, THIRTY-EIGHT HUNDRED-SEVENTH STREET CORNER, THIRTY-EIGHT HUNDRED-EIGHTH STREET CORNER, THIRTY-EIGHT HUNDRED-NINTH STREET CORNER, THIRTY-NINE HUNDREDTH STREET CORNER, THIRTY-NINE HUNDRED-FIRST STREET CORNER, THIRTY-NINE HUNDRED-SECOND STREET CORNER, THIRTY-NINE HUNDRED-THIRD STREET CORNER, THIRTY-NINE HUNDRED-FOURTH STREET CORNER, THIRTY-NINE HUNDRED-FIFTH STREET CORNER, THIRTY-NINE HUNDRED-SIXTH STREET CORNER, THIRTY-NINE HUNDRED-SEVENTH STREET CORNER, THIRTY-NINE HUNDRED-EIGHTH STREET CORNER, THIRTY-NINE HUNDRED-NINTH STREET CORNER, FORTY HUNDREDTH STREET CORNER, FORTY HUNDRED-FIRST STREET CORNER, FORTY HUNDRED-SECOND STREET CORNER, FORTY HUNDRED-THIRD STREET CORNER, FORTY HUNDRED-FOURTH STREET CORNER, FORTY HUNDRED-FIFTH STREET CORNER, FORTY HUNDRED-SIXTH STREET CORNER, FORTY HUNDRED-SEVENTH STREET CORNER, FORTY HUNDRED-EIGHTH STREET CORNER, FORTY HUNDRED-NINTH STREET CORNER, FORTY-ONE HUNDREDTH STREET CORNER, FORTY-ONE HUNDRED-FIRST STREET CORNER, FORTY-ONE HUNDRED-SECOND STREET CORNER, FORTY-ONE HUNDRED-THIRD STREET CORNER, FORTY-ONE HUNDRED-FOURTH STREET CORNER, FORTY-ONE HUNDRED-FIFTH STREET CORNER, FORTY-ONE HUNDRED-SIXTH STREET CORNER, FORTY-ONE HUNDRED-SEVENTH STREET CORNER, FORTY-ONE HUNDRED-EIGHTH STREET CORNER, FORTY-ONE HUNDRED-NINTH STREET CORNER, FORTY-TWO HUNDREDTH STREET CORNER, FORTY-TWO HUNDRED-FIRST STREET CORNER, FORTY-TWO HUNDRED-SECOND STREET CORNER, FORTY-TWO HUNDRED-THIRD STREET CORNER, FORTY-TWO HUNDRED-FOURTH STREET CORNER, FORTY-TWO HUNDRED-FIFTH STREET CORNER, FORTY-TWO HUNDRED-SIXTH STREET CORNER, FORTY-TWO HUNDRED-SEVENTH STREET CORNER, FORTY-TWO HUNDRED-EIGHTH STREET CORNER, FORTY-TWO HUNDRED-NINTH STREET CORNER, FORTY-THREE HUNDREDTH STREET CORNER, FORTY-THREE HUNDRED-FIRST STREET CORNER, FORTY-THREE HUNDRED-SECOND STREET CORNER, FORTY-THREE HUNDRED-THIRD STREET CORNER, FORTY-THREE HUNDRED-FOURTH STREET CORNER, FORTY-THREE HUNDRED-FIFTH STREET CORNER, FORTY-THREE HUNDRED-SIXTH STREET CORNER, FORTY-THREE HUNDRED-SEVENTH STREET CORNER, FORTY-THREE HUNDRED-EIGHTH STREET CORNER, FORTY-THREE HUNDRED-NINTH STREET CORNER, FORTY-FOUR HUNDREDTH STREET CORNER, FORTY-FOUR HUNDRED-FIRST STREET CORNER, FORTY-FOUR HUNDRED-SECOND STREET CORNER, FORTY-FOUR HUNDRED-THIRD STREET CORNER, FORTY-FOUR HUNDRED-FOURTH STREET CORNER, FORTY-FOUR HUNDRED-FIFTH STREET CORNER, FORTY-FOUR HUNDRED-SIXTH STREET CORNER, FORTY-FOUR HUNDRED-SEVENTH STREET CORNER, FORTY-FOUR HUNDRED-EIGHTH STREET CORNER, FORTY-FOUR HUNDRED-NINTH STREET CORNER, FORTY-FIVE HUNDREDTH STREET CORNER, FORTY-FIVE HUNDRED-FIRST STREET CORNER, FORTY-FIVE HUNDRED-SECOND STREET CORNER, FORTY-FIVE HUNDRED-THIRD STREET CORNER, FORTY-FIVE HUNDRED-FOURTH STREET CORNER, FORTY-FIVE HUNDRED-FIFTH STREET CORNER, FORTY-FIVE HUNDRED-SIXTH STREET CORNER, FORTY-FIVE HUNDRED-SEVENTH STREET CORNER, FORTY-FIVE HUNDRED-EIGHTH STREET CORNER, FORTY-FIVE HUNDRED-NINTH STREET CORNER, FORTY-SIX HUNDREDTH STREET CORNER, FORTY-SIX HUNDRED-FIRST STREET CORNER, FORTY-SIX HUNDRED-SECOND STREET CORNER, FORTY-SIX HUNDRED-THIRD STREET CORNER, FORTY-SIX HUNDRED-FOURTH STREET CORNER, FORTY-SIX HUNDRED-FIFTH STREET CORNER, FORTY-SIX HUNDRED-SIXTH STREET CORNER, FORTY-SIX HUNDRED-SEVENTH STREET CORNER, FORTY-SIX HUNDRED-EIGHTH STREET CORNER, FORTY-SIX HUNDRED-NINTH STREET CORNER, FORTY-SEVEN HUNDREDTH STREET CORNER, FORTY-SEVEN HUNDRED-FIRST STREET CORNER, FORTY-SEVEN HUNDRED-SECOND STREET CORNER, FORTY-SEVEN HUNDRED-THIRD STREET CORNER, FORTY-SEVEN HUNDRED-FOURTH STREET CORNER, FORTY-SEVEN HUNDRED-FIFTH STREET CORNER, FORTY-SEVEN HUNDRED-SIXTH STREET CORNER, FORTY-SEVEN HUNDRED-SEVENTH STREET CORNER, FORTY-SEVEN HUNDRED-EIGHTH STREET CORNER, FORTY-SEVEN HUNDRED-NINTH STREET CORNER, FORTY-EIGHT HUNDREDTH STREET CORNER, FORTY-EIGHT HUNDRED-FIRST STREET CORNER, FORTY-EIGHT HUNDRED-SECOND STREET CORNER, FORTY-EIGHT HUNDRED-THIRD STREET CORNER, FORTY-EIGHT HUNDRED-FOURTH STREET CORNER, FORTY-EIGHT HUNDRED-FIFTH STREET CORNER, FORTY-EIGHT HUNDRED-SIXTH STREET CORNER, FORTY-EIGHT HUNDRED-SEVENTH STREET CORNER, FORTY-EIGHT HUNDRED-EIGHTH STREET CORNER, FORTY-EIGHT HUNDRED-NINTH STREET CORNER, FORTY-NINE HUNDREDTH STREET CORNER, FORTY-NINE HUNDRED-FIRST STREET CORNER, FORTY-NINE HUNDRED-SECOND STREET CORNER, FORTY-NINE HUNDRED-THIRD STREET CORNER, FORTY-NINE HUNDRED-FOURTH STREET CORNER, FORTY-NINE HUNDRED-FIFTH STREET CORNER, FORTY-NINE HUNDRED-SIXTH STREET CORNER, FORTY-NINE HUNDRED-SEVENTH STREET CORNER, FORTY-NINE HUNDRED-EIGHTH STREET CORNER, FORTY-NINE HUNDRED-NINTH STREET CORNER, FIFTY HUNDREDTH STREET CORNER, FIFTY HUNDRED-FIRST STREET CORNER, FIFTY HUNDRED-SECOND STREET CORNER, FIFTY HUNDRED-THIRD STREET CORNER, FIFTY HUNDRED-FOURTH STREET CORNER, FIFTY HUNDRED-FIFTH STREET CORNER, FIFTY HUNDRED-SIXTH STREET CORNER, FIFTY HUNDRED-SEVENTH STREET CORNER, FIFTY HUNDRED-EIGHTH STREET CORNER, FIFTY HUNDRED-NINTH STREET CORNER, FIFTY-ONE HUNDREDTH STREET CORNER, FIFTY-ONE HUNDRED-FIRST STREET CORNER, FIFTY-ONE HUNDRED-SECOND STREET CORNER, FIFTY-ONE HUNDRED-THIRD STREET CORNER, FIFTY-ONE HUNDRED-FOURTH STREET CORNER, FIFTY-ONE HUNDRED-FIFTH STREET CORNER, FIFTY-ONE HUNDRED-SIXTH STREET CORNER, FIFTY-ONE HUNDRED-SEVENTH STREET CORNER, FIFTY-ONE HUNDRED-EIGHTH STREET CORNER, FIFTY-ONE HUNDRED-NINTH STREET CORNER, FIFTY-TWO HUNDREDTH STREET CORNER, FIFTY-TWO HUNDRED-FIRST STREET CORNER, FIFTY-TWO HUNDRED-SECOND STREET CORNER, FIFTY-TWO HUNDRED-THIRD STREET CORNER, FIFTY-TWO HUNDRED-FOURTH STREET CORNER, FIFTY-TWO HUNDRED-FIFTH STREET CORNER, FIFTY-TWO HUNDRED-SIXTH STREET CORNER, FIFTY-TWO HUNDRED-SEVENTH STREET CORNER, FIFTY-TWO HUNDRED-EIGHTH STREET CORNER, FIFTY-TWO HUNDRED-NINTH STREET CORNER, FIFTY-THREE HUNDREDTH STREET CORNER, FIFTY-THREE HUNDRED-FIRST STREET CORNER, FIFTY-THREE HUNDRED-SECOND STREET CORNER, FIFTY-THREE HUNDRED-THIRD STREET CORNER, FIFTY-THREE HUNDRED-FOURTH STREET CORNER, FIFTY-THREE HUNDRED-FIFTH STREET CORNER, FIFTY-THREE HUNDRED-SIXTH STREET CORNER, FIFTY-THREE HUNDRED-SEVENTH STREET CORNER, FIFTY-THREE HUNDRED-EIGHTH STREET CORNER, FIFTY-THREE HUNDRED-NINTH STREET CORNER, FIFTY-FOUR HUNDREDTH STREET CORNER, FIFTY-FOUR HUNDRED-FIRST STREET CORNER, FIFTY-FOUR HUNDRED-SECOND STREET CORNER, FIFTY-FOUR HUNDRED-THIRD STREET CORNER, FIFTY-FOUR HUNDRED-FOURTH STREET CORNER, FIFTY-FOUR HUNDRED-FIFTH STREET CORNER, FIFTY-FOUR HUNDRED-SIXTH STREET CORNER, FIFTY-FOUR HUNDRED-SEVENTH STREET CORNER, FIFTY-FOUR HUNDRED-EIGHTH STREET CORNER, FIFTY-FOUR HUNDRED-NINTH STREET CORNER, FIFTY-FIVE HUNDREDTH STREET CORNER, FIFTY-FIVE HUNDRED-FIRST STREET CORNER, FIFTY-FIVE HUNDRED-SECOND STREET CORNER, FIFTY-FIVE HUNDRED-THIRD STREET CORNER, FIFTY-FIVE HUNDRED-FOURTH STREET CORNER, FIFTY-FIVE HUNDRED-FIFTH STREET CORNER, FIFTY-FIVE HUNDRED-SIXTH STREET CORNER, FIFTY-FIVE HUNDRED-SEVENTH STREET CORNER, FIFTY-FIVE HUNDRED-EIGHTH STREET CORNER, FIFTY-FIVE HUNDRED-NINTH STREET CORNER, FIFTY-SIX HUNDREDTH STREET CORNER, FIFTY-SIX HUNDRED-FIRST STREET CORNER, FIFTY-SIX HUNDRED-SECOND STREET CORNER, FIFTY-SIX HUNDRED-THIRD STREET CORNER, FIFTY-SIX HUNDRED-FOURTH STREET CORNER, FIFTY-SIX HUNDRED-FIFTH STREET CORNER, FIFTY-SIX HUNDRED-SIXTH STREET CORNER, FIFTY-SIX HUNDRED-SEVENTH STREET CORNER, FIFTY-SIX HUNDRED-EIGHTH STREET CORNER, FIFTY-SIX HUNDRED-NINTH STREET CORNER, FIFTY-SEVEN HUNDREDTH STREET CORNER, FIFTY-SEVEN HUNDRED-FIRST STREET CORNER, FIFTY-SEVEN HUNDRED-SECOND STREET CORNER, FIFTY-SEVEN HUNDRED-THIRD STREET CORNER, FIFTY-SEVEN HUNDRED-FOURTH STREET CORNER, FIFTY-SEVEN HUNDRED-FIFTH STREET CORNER, FIFTY-SEVEN HUNDRED-SIXTH STREET CORNER, FIFTY-SEVEN HUNDRED-SEVENTH STREET CORNER, FIFTY-SEVEN HUNDRED-EIGHTH STREET CORNER, FIFTY-SEVEN HUNDRED-NINTH STREET CORNER, FIFTY-EIGHT HUNDREDTH STREET CORNER, FIFTY-EIGHT HUNDRED-FIRST STREET CORNER, FIFTY-EIGHT HUNDRED-SECOND STREET CORNER, FIFTY-EIGHT HUNDRED-THIRD STREET CORNER, FIFTY-EIGHT HUNDRED-FOURTH STREET CORNER, FIFTY-EIGHT HUNDRED-FIFTH STREET CORNER, FIFTY-EIGHT HUNDRED-SIXTH STREET CORNER, FIFTY-EIGHT HUNDRED-SEVENTH STREET CORNER, FIFTY-EIGHT HUNDRED-EIGHTH STREET CORNER, FIFTY-EIGHT HUNDRED-NINTH STREET CORNER, FIFTY-NINE HUNDREDTH STREET CORNER, FIFTY-NINE HUNDRED-FIRST STREET CORNER, FIFTY-NINE HUNDRED-SECOND STREET CORNER, FIFTY-NINE HUNDRED-THIRD STREET CORNER, FIFTY-NINE HUNDRED-FOURTH STREET CORNER, FIFTY-NINE HUNDRED-FIFTH STREET CORNER, FIFTY-NINE HUNDRED-SIXTH STREET CORNER, FIFTY-NINE HUNDRED-SEVENTH STREET CORNER, FIFTY-NINE HUNDRED-EIGHTH STREET CORNER, FIFTY-NINE HUNDRED-NINTH STREET CORNER, SIXTY HUNDREDTH STREET CORNER, SIXTY HUNDRED-FIRST STREET CORNER, SIXTY HUNDRED-SECOND STREET CORNER, SIXTY HUNDRED-THIRD STREET CORNER, SIXTY HUNDRED-FOURTH STREET CORNER, SIXTY HUNDRED-FIFTH STREET CORNER, SIXTY HUNDRED-SIXTH STREET CORNER, SIXTY HUNDRED-SEVENTH STREET CORNER, SIXTY HUNDRED-EIGHTH STREET CORNER, SIXTY HUNDRED-NINTH STREET CORNER, SIXTY-ONE HUNDREDTH STREET CORNER, SIXTY-ONE HUNDRED-FIRST STREET CORNER, SIXTY-ONE HUNDRED-SECOND STREET CORNER, SIXTY-ONE HUNDRED-THIRD STREET CORNER, SIXTY-ONE HUNDRED-FOURTH STREET CORNER, SIXTY-ONE HUNDRED-FIFTH STREET CORNER, SIXTY-ONE HUNDRED-SIXTH STREET CORNER, SIXTY-ONE HUNDRED-SEVENTH STREET CORNER, SIXTY-ONE HUNDRED-EIGHTH STREET CORNER, SIXTY-ONE HUNDRED-NINTH STREET CORNER, SIXTY-TWO HUNDREDTH STREET CORNER, SIXTY-TWO HUNDRED-FIRST STREET CORNER, SIXTY-TWO HUNDRED-SECOND STREET CORNER, SIXTY-TWO HUNDRED-THIRD STREET CORNER, SIXTY-TWO HUNDRED-FOURTH STREET CORNER, SIXTY-TWO HUNDRED-FIFTH STREET CORNER, SIXTY-TWO HUNDRED-SIXTH STREET CORNER, SIXTY-TWO HUNDRED-SEVENTH STREET CORNER, SIXTY-TWO HUNDRED-EIGHTH STREET CORNER, SIXTY-TWO HUNDRED-NINTH STREET CORNER, SIXTY-THREE HUNDREDTH STREET CORNER, SIXTY-THREE HUNDRED-FIRST STREET CORNER, SIXTY-THREE HUNDRED-SECOND STREET CORNER, SIXTY-THREE HUNDRED-THIRD STREET CORNER, SIXTY-THREE HUNDRED-FOURTH STREET CORNER, SIXTY-THREE HUNDRED-FIFTH STREET CORNER, SIXTY-THREE HUNDRED-SIXTH STREET CORNER, SIXTY-THREE HUNDRED-SEVENTH STREET CORNER, SIXTY-THREE HUNDRED-EIGHTH STREET CORNER, SIXTY-THREE HUNDRED-NINTH STREET CORNER, SIXTY-FOUR HUNDREDTH STREET CORNER, SIXTY-FOUR HUNDRED-FIRST STREET CORNER, SIXTY-FOUR HUNDRED-SECOND STREET CORNER, SIXTY-FOUR HUNDRED-THIRD STREET CORNER, SIXTY-FOUR HUNDRED-FOURTH STREET CORNER, SIXTY-FOUR HUNDRED-FIFTH STREET CORNER, SIXTY-FOUR HUNDRED-SIXTH STREET CORNER, SIXTY-FOUR HUNDRED-SEVENTH STREET CORNER, SIXTY-FOUR HUNDRED-EIGHTH STREET CORNER, SIXTY-FOUR HUNDRED-NINTH STREET CORNER, SIXTY-FIVE HUNDREDTH STREET CORNER, SIXTY-FIVE HUNDRED-FIRST STREET CORNER, SIXTY-FIVE HUNDRED-SECOND STREET CORNER, SIXTY-FIVE HUNDRED-THIRD STREET CORNER, SIXTY-FIVE HUNDRED-FOURTH STREET CORNER, SIXTY-FIVE HUNDRED-FIFTH STREET CORNER, SIXTY-FIVE HUNDRED-SIXTH STREET CORNER, SIXTY-FIVE HUNDRED-SEVENTH STREET CORNER, SIXTY-FIVE HUNDRED-EIGHTH STREET CORNER, SIXTY-FIVE HUNDRED-NINTH STREET CORNER, SIXTY-SIX HUNDREDTH STREET CORNER, SIXTY-SIX HUNDRED-FIRST STREET CORNER, SIXTY-SIX HUNDRED-SECOND STREET CORNER, SIXTY-SIX HUNDRED-THIRD STREET CORNER, SIXTY-SIX HUNDRED-FOURTH STREET CORNER, SIXTY-SIX HUNDRED-FIFTH STREET CORNER, SIXTY-SIX HUNDRED-SIXTH STREET CORNER, SIXTY-SIX HUNDRED-SEVENTH STREET CORNER, SIXTY-SIX HUNDRED-EIGHTH STREET CORNER, SIXTY-SIX HUNDRED-NINTH STREET CORNER, SIXTY-SEVEN HUNDREDTH STREET CORNER, SIXTY-SEVEN HUNDRED-FIRST STREET CORNER, SIXTY-SEVEN HUNDRED-SECOND STREET CORNER, SIXTY-SEVEN HUNDRED-THIRD STREET CORNER, SIXTY-SEVEN HUNDRED-FOURTH STREET CORNER, SIXTY-SEVEN HUNDRED-FIFTH STREET CORNER, SIXTY-SEVEN HUNDRED-SIXTH STREET CORNER, SIXTY-SEVEN HUNDRED-SEVENTH STREET CORNER, SIXTY-SEVEN HUNDRED-EIGHTH STREET CORNER, SIXTY-SEVEN HUNDRED-NINTH STREET CORNER, SIXTY-EIGHT HUNDREDTH STREET CORNER, SIXTY-EIGHT HUNDRED-FIRST STREET CORNER, SIXTY-EIGHT HUNDRED-SECOND STREET CORNER, SIXTY-EIGHT HUNDRED-THIRD STREET CORNER, SIXTY-EIGHT HUNDRED-FOURTH STREET CORNER, SIXTY-EIGHT HUNDRED-FIFTH STREET CORNER, SIXTY-EIGHT HUNDRED-SIXTH STREET CORNER, SIXTY-EIGHT HUNDRED-SEVENTH STREET CORNER, SIXTY-EIGHT HUNDRED-EIGHTH STREET CORNER, SIXTY-EIGHT HUNDRED-NINTH STREET CORNER, SIXTY-NINE HUNDREDTH STREET CORNER, SIXTY-NINE HUNDRED-FIRST STREET CORNER, SIXTY-NINE HUNDRED-SECOND STREET CORNER, SIXTY-NINE HUNDRED-THIRD STREET CORNER, SIXTY-NINE HUNDRED-FOURTH STREET CORNER, SIXTY-NINE HUNDRED-FIFTH STREET CORNER, SIXTY-NINE HUNDRED-SIXTH STREET CORNER, SIXTY-NINE HUNDRED-SEVENTH STREET CORNER, SIXTY-NINE HUNDRED-EIGHTH STREET CORNER, SIXTY-NINE HUNDRED-NINTH STREET CORNER, SEVENTY HUNDREDTH STREET CORNER, SEVENTY HUNDRED-FIRST STREET CORNER, SEVENTY HUNDRED-SECOND STREET CORNER, SEVENTY HUNDRED-THIRD STREET CORNER, SEVENTY HUNDRED-FOURTH STREET CORNER, SEVENTY HUNDRED-FIFTH STREET CORNER, SEVENTY HUNDRED-SIXTH STREET CORNER, SEVENTY HUNDRED-SEVENTH STREET CORNER, SEVENTY HUNDRED-EIGHTH STREET CORNER, SEVENTY HUNDRED-NINTH STREET CORNER, SEVENTY-ONE HUNDREDTH STREET CORNER, SEVENTY-ONE HUNDRED-FIRST STREET CORNER, SEVENTY-ONE HUNDRED-SECOND STREET CORNER, SEVENTY-ONE HUNDRED-THIRD STREET CORNER, SEVENTY-ONE HUNDRED-FOURTH STREET CORNER, SEVENTY-ONE HUNDRED-FIFTH STREET CORNER, SEVENTY-ONE HUNDRED-SIXTH STREET CORNER, SEVENTY-ONE HUNDRED-SEVENTH STREET CORNER, SEVENTY-ONE HUNDRED-EIGHTH STREET CORNER, SEVENTY-ONE HUNDRED-NINTH STREET CORNER, SEVENTY-TWO HUNDREDTH STREET CORNER, SEVENTY-TWO HUNDRED-FIRST STREET CORNER, SEVENTY-TWO HUNDRED-SECOND STREET CORNER, SEVENTY-TWO HUNDRED-THIRD STREET CORNER, SEVENTY-TWO HUNDRED-FOURTH STREET CORNER, SEVENTY-TWO HUNDRED-FIFTH STREET CORNER, SEVENTY-TWO HUNDRED-SIXTH STREET CORNER, SEVENTY-TWO HUNDRED-SEVENTH STREET CORNER, SEVENTY-TWO HUNDRED-EIGHTH STREET CORNER, SEVENTY-TWO HUNDRED-NINTH STREET CORNER, SEVENTY-THREE HUNDREDTH STREET CORNER, SEVENTY-THREE HUNDRED-FIRST STREET CORNER, SEVENTY-THREE HUNDRED-SECOND STREET CORNER, SEVENTY-THREE HUNDRED-THIRD STREET CORNER, SEVENTY-THREE HUNDRED-FOURTH STREET CORNER, SEVENTY-THREE HUNDRED-FIFTH STREET CORNER, SEVENTY-THREE HUNDRED-SIXTH STREET CORNER, SEVENTY-THREE HUNDRED-SEVENTH STREET CORNER, SEVENTY-THREE HUNDRED-EIGHTH STREET CORNER, SEVENTY-THREE HUNDRED-NINTH STREET CORNER, SEVENTY-FOUR HUNDREDTH STREET CORNER, SEVENTY-FOUR HUNDRED-FIRST STREET CORNER, SEVENTY-FOUR HUNDRED-SECOND STREET CORNER, SEVENTY-FOUR HUNDRED-THIRD STREET CORNER, SEVENTY-FOUR HUNDRED-FOURTH STREET CORNER, SEVENTY-FOUR HUNDRED-FIFTH STREET CORNER, SEVENTY-FOUR HUNDRED-SIXTH STREET CORNER, SEVENTY-FOUR HUNDRED-SEVENTH STREET CORNER, SEVENTY-FOUR HUNDRED-EIGHTH STREET CORNER, SEVENTY-FOUR HUNDRED-NINTH STREET CORNER, SEVENTY-FIVE HUNDREDTH STREET CORNER, SEVENTY-FIVE HUNDRED-FIRST STREET CORNER, SEVENTY-FIVE HUNDRED-SECOND STREET CORNER, SEVENTY-FIVE HUNDRED-THIRD STREET CORNER, SEVENTY-FIVE HUNDRED-FOURTH STREET CORNER, SEVENTY-FIVE HUNDRED-FIFTH STREET CORNER, SEVENTY-FIVE HUNDRED-SIXTH STREET CORNER, SE			



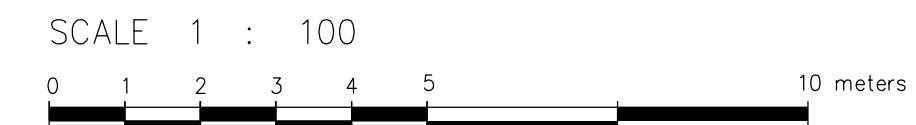
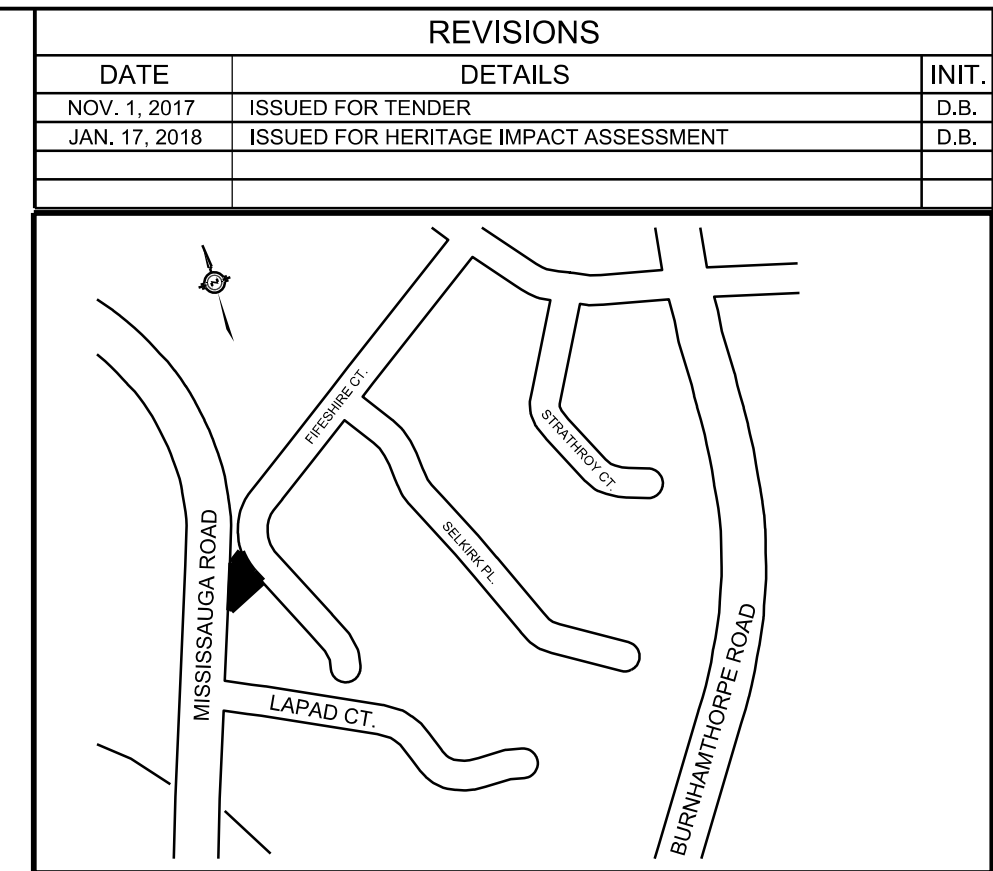
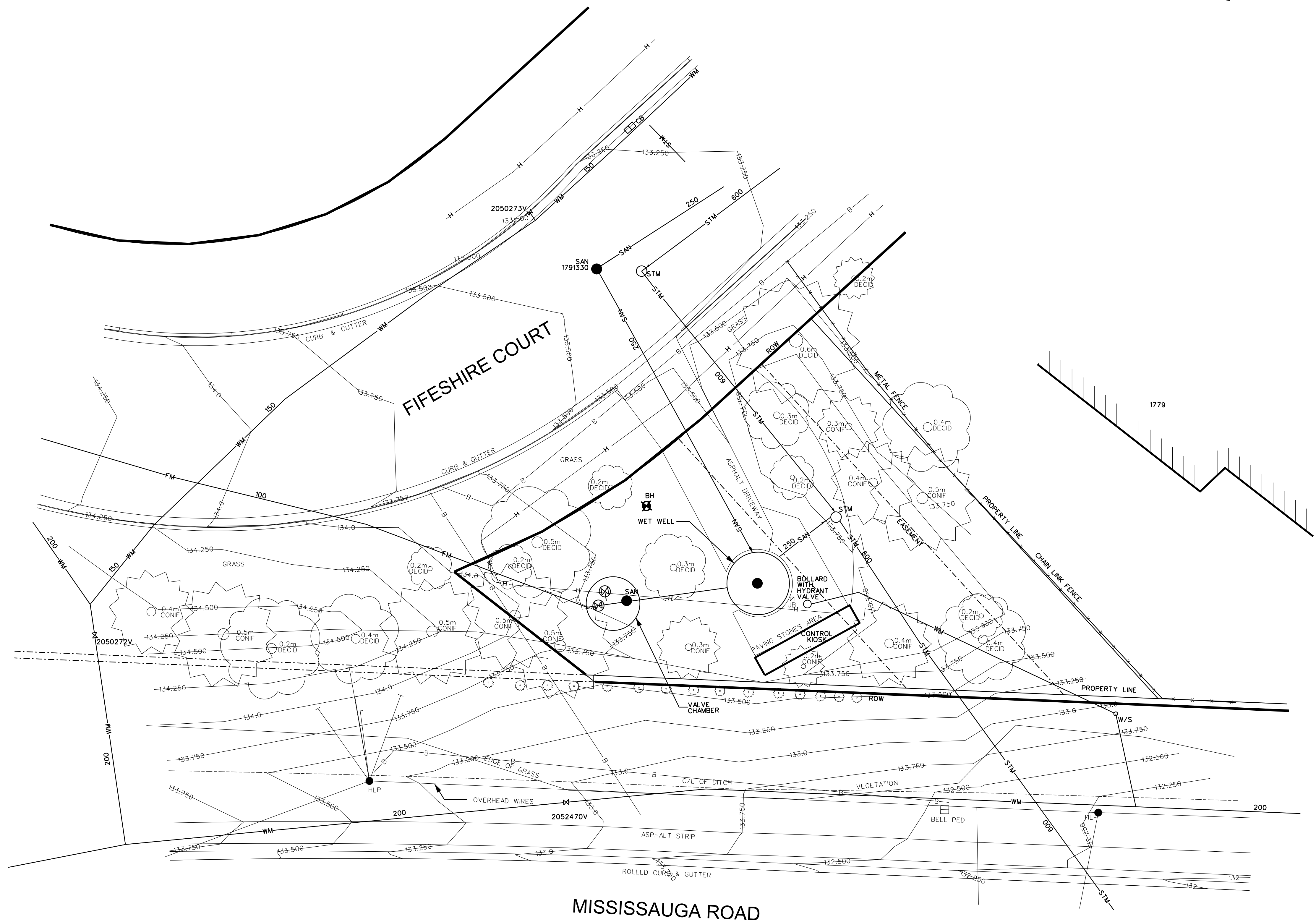




## **Appendix C:**

Development Architectural Drawings, GHD Ltd.





Designed by	Approved by
Chkd.	

**GHD**  
651 Colby Drive  
Waterloo, ONT. N2V 1C2, Canada  
T 519 884 0510 F 519 884 0525  
E [mnimall@ghd.com](mailto:mnimall@ghd.com) W [www.ghd.com](http://www.ghd.com)  
FILE:11111255-10(01)JC-WA101 10/06/2017

**Region of Peel**  
*Working for you*

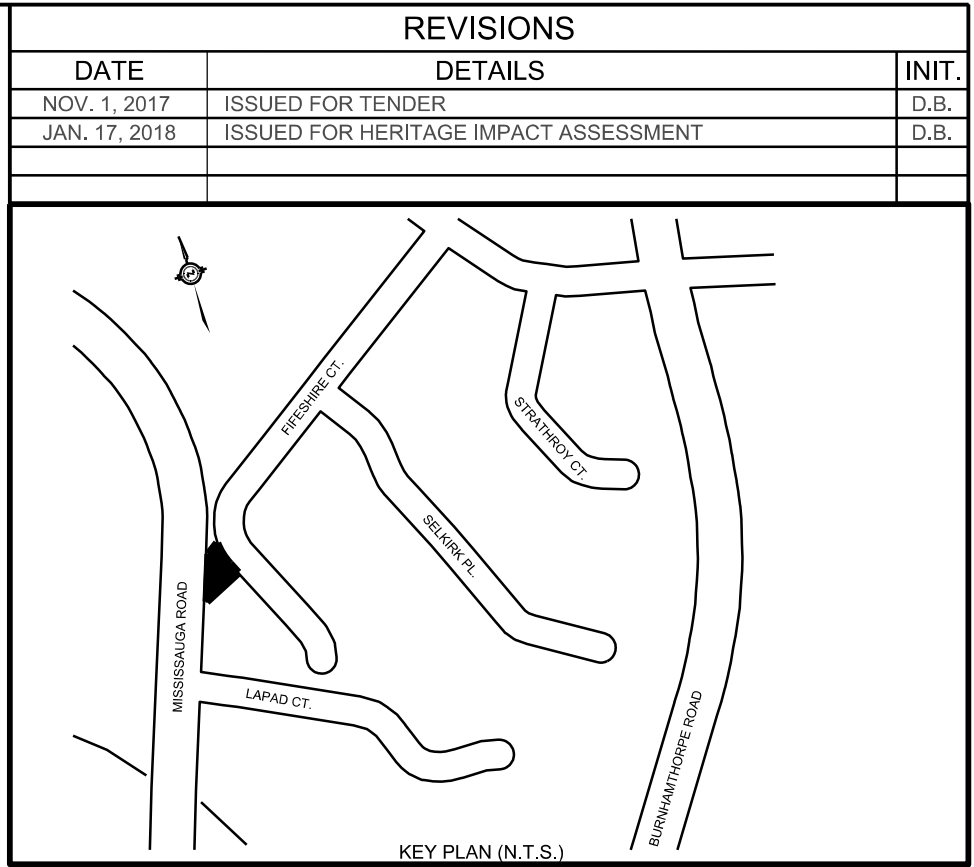
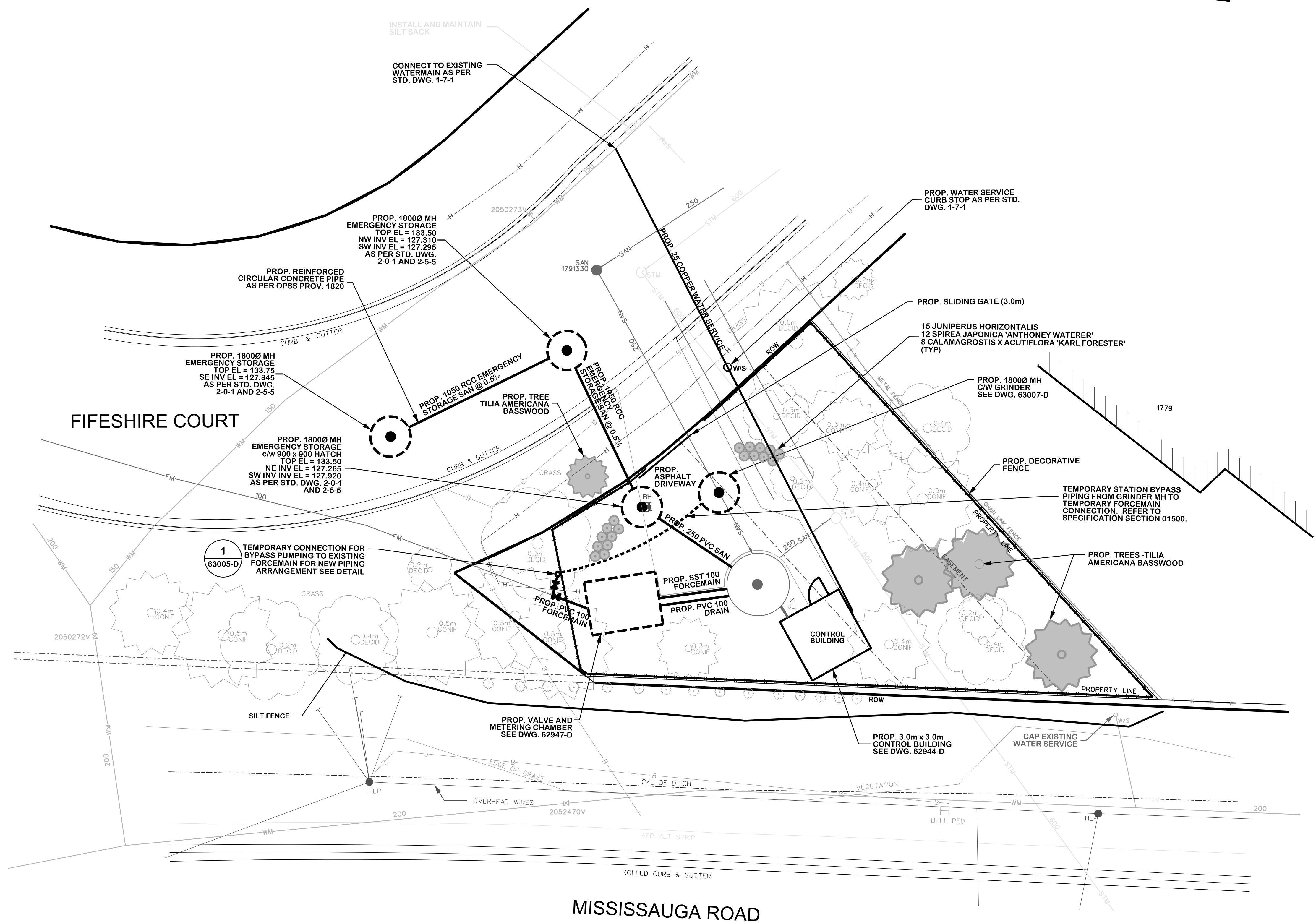
**FIFESHIRE SPS**

1775 FIFESHIRE COURT, MISSISSAUGA, ONTARIO

**EXISTING CONDITIONS SITE PLAN**

CAD Area	Area	Z-24	Project No.	15-2905
Checked by	D.B.	Drawn by	G.S.	Plan No.
Date	JUNE 2017	Sheet	9 of 87	<b>62942-D</b>





- NOTES:**
- 25 TYPE K SP, COPPER WATER SERVICE TO BE INSTALLED WITH TRACER WIRE.
  - PIPE BEDDING FOR ALL NEW WATER SERVICE PIPING SHALL BE CONSTRUCTED IN ACCORDANCE WITH STANDARD DRAWING 1-5-1, AND BEDDING FOR ALL NEW SANITARY SEWERS SHALL BE IN ACCORDANCE WITH STANDARD DRAWING 2-3-1.
  - SEE LANDSCAPE PLAN LP.1 FOR PROPOSED PLANTINGS AND REQUIREMENTS.
  - CONTRACTOR SHALL PLAN EXCAVATIONS AND USE SUITABLE SHORING TO PROVIDE A SAFE AND STABLE EXCAVATION THAT WILL PROTECT ADJACENT STRUCTURES, ROADWAYS, AND VEGETATION FROM DAMAGE.
  - CONTRACTOR SHALL FIELD LOCATE AND VERIFY ALL EXISTING UTILITIES PRIOR TO ANY EXCAVATION. CONTRACTOR SHALL PROVIDE ALL LABOUR AND MATERIALS TO PROTECT EXISTING UTILITIES FOR THE DURATION OF THE CONTRACT.
  - CONTRACTOR SHALL PROVIDE 100m OF TEMPORARY CONSTRUCTION FENCING TO SECURE PERIMETER OF SITE COMPLETE WITH ENTRANCE GATE.
  - CONTRACTOR SHALL MATCH EXISTING GRADES AND ENSURE POSITIVE DRAINAGE FOR THE SITE.
  - CONTRACTOR SHALL FULLY TEST BYPASS SYSTEM AND DEMONSTRATE A MIN. 5 DAY TROUBLE FREE RUN PERIOD PRIOR TO TAKING THE EXISTING STATION OFFLINE.



Designed by	Approved by
Chkd.	

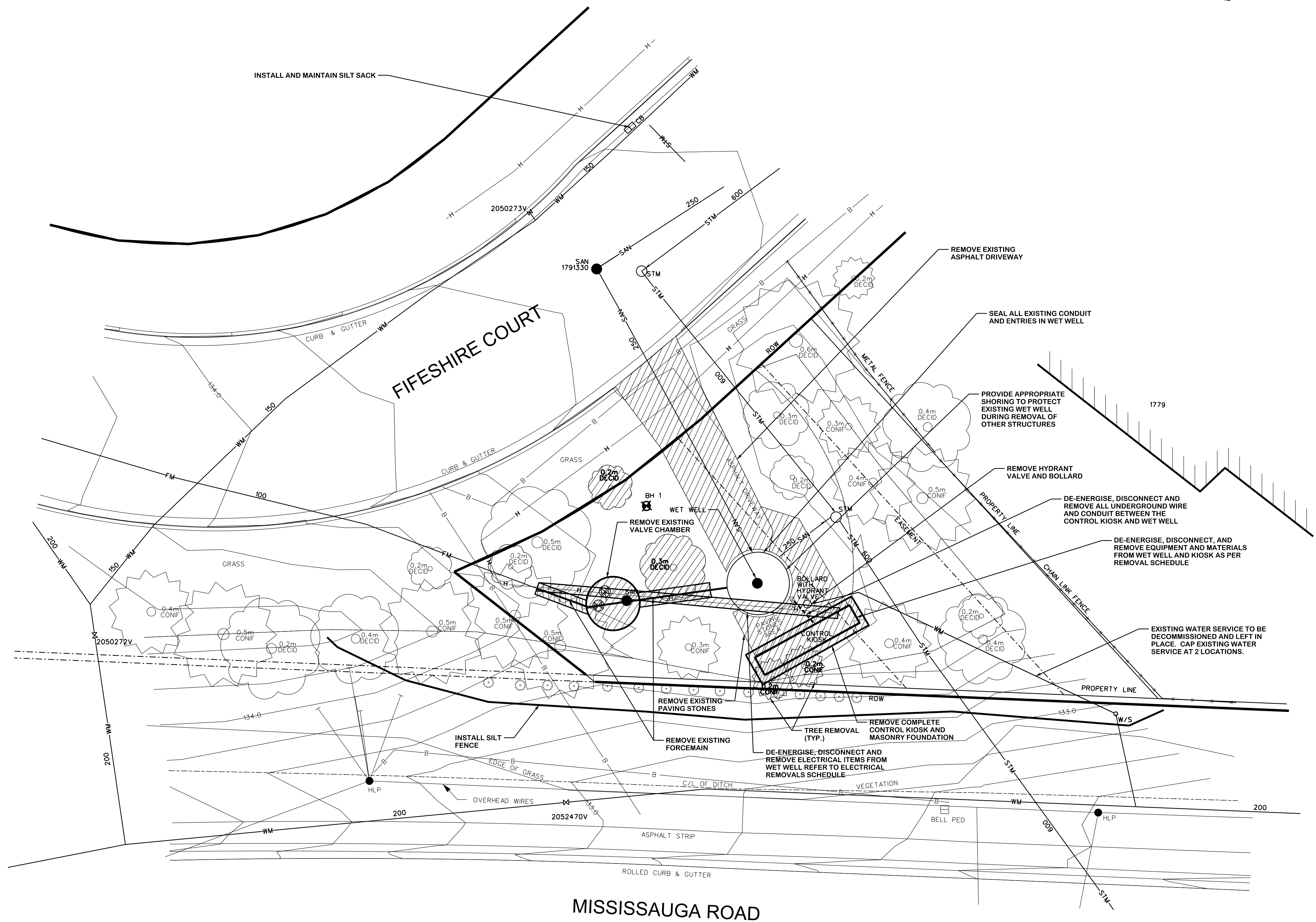
**GHD** 651 Colby Drive  
Waterloo, ONT. N2V 1C2, Canada  
T 519 884 0510 F 519 884 0525  
E mnlmali@ghd.com W www.ghd.com  
FILE:11111255-30(PRES001)PRES-WA007 01/12/2018

**Region of Peel**  
Working for you

**FIFESHIRE SPS**  
1775 FIFESHIRE COURT, MISSISSAUGA, ONTARIO  
**PROPOSED CONDITIONS  
SITE PLAN**

CAD Area	Area	Z-24	Project No.	15-2905
Checked by	D.B.	Drawn by	G.S.	Plan No.
Date	JUNE 2017	Sheet	10 of 87	<b>62943-D</b>









- 1:10 



**Region of Peel**  
*Working for you*

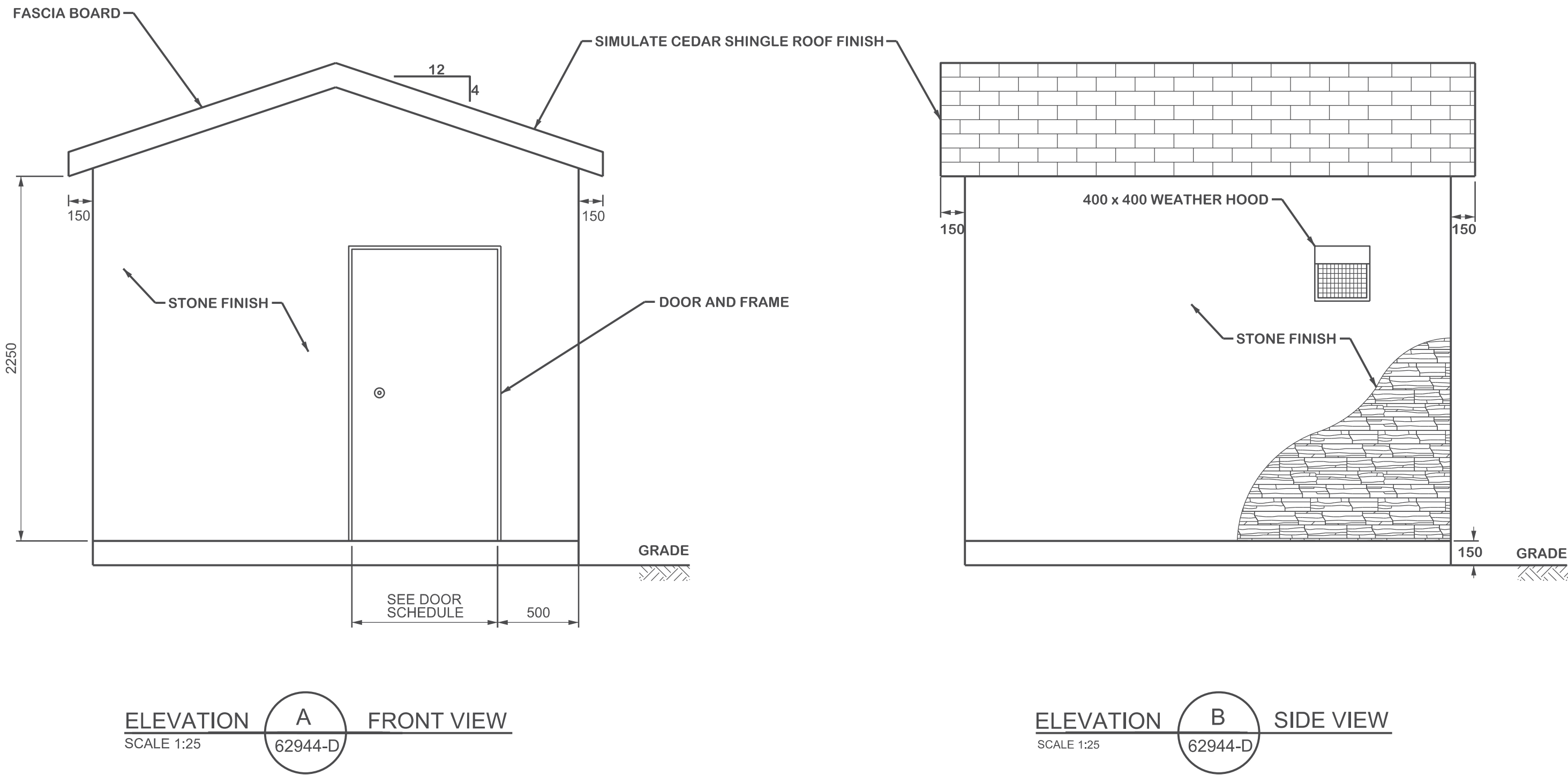
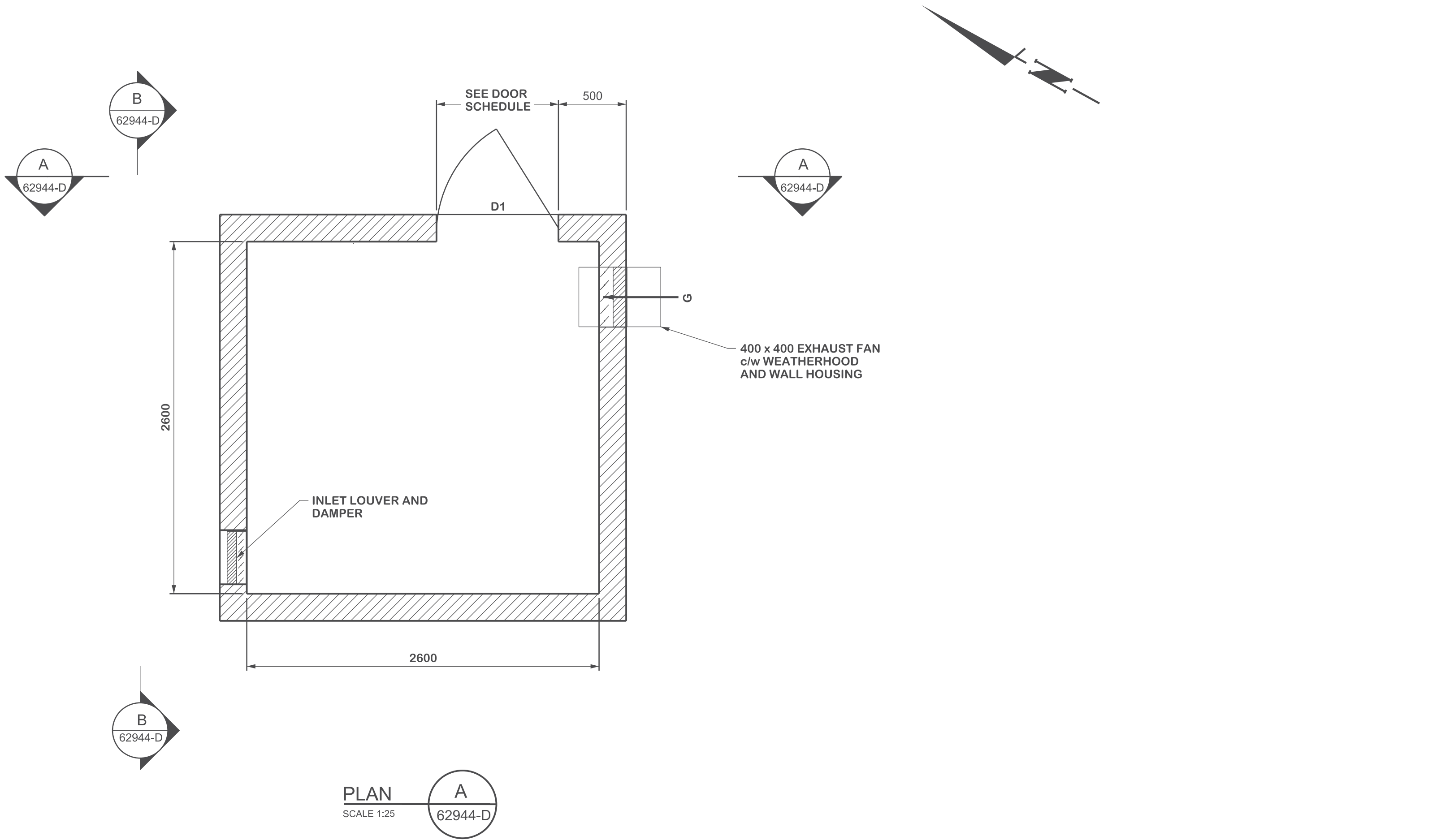
CAD Area	Area	Z-24	Project No.	15-2905
Checked by	D.B.	Drawn by		
Date	JUNE 2017	Sheet	18 of 87	Plan No.
				<b>62951-D</b>





REVISIONS		
DATE	DETAILS	INIT.
NOV. 1, 2017	ISSUED FOR TENDER	D.B.

NOTES:

1. PRECAST INSULATED BUILDING SHALL BE DESIGNED BY THE BUILDING SUPPLIER TO MEET ALL APPLICABLE REQUIREMENTS OF THE ONTARIO BUILDING CODE (2012) AND SPECIFICATION SECTION 03122 w/ MIN. R VALUE OF 20 FOR ROOF AND 16 FOR WALL INSULATION.
2. INTERIOR WALL FINISH SHALL BE PREFINISHED CORRUGATED METAL PANELS.
3. FINAL BUILDING DIMENSIONS SHALL BE CONFIRMED BY BUILDING SUPPLIER AND ROOF SHALL BE SLOPED AT 4:12 MINIMUM.
4. CONTRACTOR SHALL CONFIRM ALL OPENINGS, DIMENSIONS, AND DOOR LOCATION WITH ALL RELATED DRAWINGS.
5. ANCHORAGE DESIGN AND ANCHOR HARDWARE OF PRECAST BUILDING BY BUILDING SUPPLIER.
6. ALL DIMENSIONS IN MILLIMETERS UNLESS OTHERWISE SPECIFIED.



Designed by _____		Approved by _____	
Chkd. _____		Chkd. _____	
 <div>651 Colby Drive Waterloo, ONT. N2V 1C2, Canada T 519 884 0510 F 519 884 0525 E mnlmall@ghd.com W www.ghd.com FILE:11111255-10(011)A-WA101 08/22/2017</div>			
 <div><b>Region of Peel</b> <i>Working for you</i></div>			
<b>FIFESHIRE SPS</b> 1775 FIFESHIRE COURT, MISSISSAUGA, ONTARIO <b>PROPOSED CONTROL BUILDING PLAN AND ELEVATIONS</b>			
CAD Area	Area	Z-24	Project No. 15-2905
Checked by D.B.	Drawn by C.P.		Plan No. 62944-D
Date JUNE 2017	Sheet 11 of 87		



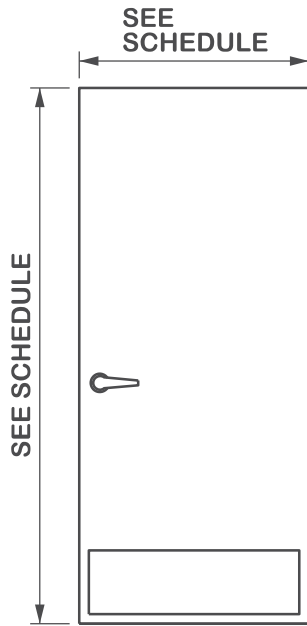
REVISIONS		
DATE	DETAILS	INIT.
NOV. 1, 2017	ISSUED FOR TENDER	D.B.

NOTE: ALL DIMENSIONS IN MILLIMETERS  
UNLESS OTHERWISE SPECIFIED

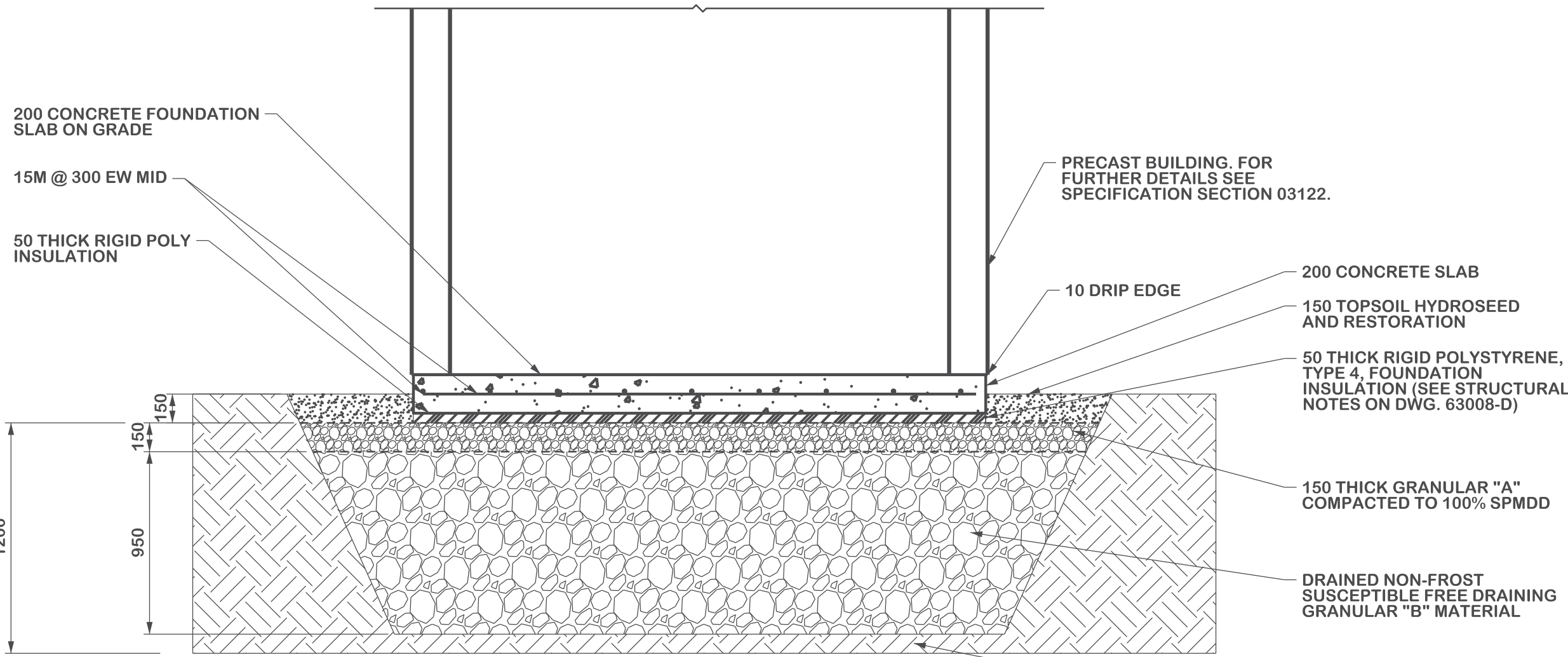
DOOR SCHEDULE								
MARK	QTY	TYPE	DESCRIPTION	DIMENSIONS	MATERIAL	DOOR DESCRIPTION	HARDWARE DESCRIPTION	REMARKS
D1	1	A	EXTERIOR	915 x 2135 x 45 THK.	HOLLOW METAL INSULATED	INSULATED GALV STEEL 2.0mm FACE SHEETS, 2.0mm STEEL CHANNELS FLUSH T&B, WELDED STEEL FRAME, THERMALLY BROKEN, R-11.	A, F, G, K, L, M, O, P, R	SET-IN-PLACE FRAME, 146mm JAMB DEPTH, 1035 x 2195 OPENING SIZE.

NOTES:

- ALL DOOR JAMBS STANDARD 146mm WIDE, 50mm FACE.
- ALL DOORS AND FRAMES SHALL BE PRIME PAINTED AT FACTORY AND FINISH PAINTED IN THE FIELD.
- ALL EXTERIOR DOORS SHALL BE DESIGNED TO RESIST POSITIVE AND NEGATIVE PRESSURE OF 1.0 kPa.
- INSULATED DOORS SHALL BE INSULATED WITH POLYURETHANE CORE, MIN R-11.
- FABRICATE DOORS AND FRAMES AS DETAILED, TO CANADIAN STEEL DOOR AND FRAME MANUFACTURER'S ASSOCIATION, "CANADIAN MANUFACTURING SPECIFICATIONS FOR STEEL DOORS AND FRAMES", EXCEPT WHERE SPECIFIED OTHERWISE.
- STIFFEN EXTERIOR DOORS WITH CONTINUOUS VERTICAL STEEL STIFFENERS AT 150 MM O.C. SPOT WELDED TO BOTH FACE SHEETS. FILL VOIDS WITH POLYURETHANE INSULATION.
- PROVIDE WEATHER CAPS FOR ALL EXTERIOR DOORS.
- GRIND WELDED CORNERS AND JOINTS TO FLAT PLANE, FILL WITH METALLIC PASTE FILLER AND SAND TO UNIFORM SMOOTH FINISH.
- INSTALL 3 BUMPERS ON STRIKE JAMB FOR EACH SINGLE DOOR AND 2 BUMPERS AT HEAD FOR PAIRS OF DOORS.
- MORTISE, REINFORCE, DRILL AND TAP DOORS AND REINFORCEMENTS TO RECEIVE HARDWARE USING TEMPLATES PROVIDED BY FINISH HARDWARE SUPPLIER.
- SET FRAMES PLUMB, SQUARE, LEVEL AND AT CORRECT ELEVATION.
- SECURE ANCHORAGE AND CONNECTIONS TO ADJACENT CONSTRUCTION.
- INSTALL DOORS AND HARDWARE IN ACCORDANCE WITH HARDWARE TEMPLATES AND MANUFACTURER'S INSTRUCTIONS. ADJUST OPERABLE PARTS FOR CORRECT FUNCTION.



PLAN 1 PROPOSED PRECAST CONCRETE BUILDING FOUNDATION  
SCALE 1:25 62945-D



NOTE:  
1. FOR SLAB LOCATION REFER TO DWG. 62943-D.

SECTION 1  
SCALE 1:25 62945-D

DOOR HARDWARE SCHEDULE					
ITEM	QUANTITY	DESCRIPTION	MANUFACTURER	PRODUCT	REMARKS
A	1 1/2 PAIR PER LEAF	5-KNUCKLE MORTISE HINGE	STANLEY	FFB191-114x114-630	NRP, US32D
B	1	BORED LOCKSET OFFICE FUNCTION	SARGENT	11G24	626
C	1	BORED LOCKSET PRIVATE FUNCTION	SARGENT	11U65	626
D	1	BORED LOCKSET PASSAGE FUNCTION	SARGENT	11U15	626
E	1	BORED LOCKSET CLASSROOM FUNCTION	SARGENT	11G37	626
F	1	BORED LOCKSET STORE ROOM FUNCTION	SARGENT	11G04	626
G	1	RIM PANIC DEVICE	VON DUPRIN	98L-996L-06-US32D	--
H	2	RIM PANIC DEVICE	VON DUPRIN	9827L-996L-06-US32D	(1) PER LEAF
J	1	PUSH PLATES/PULL HANDLES	HAGER	3.2x89x381 BEVELED PLATES 13x25x203 LONG HALF ROUND PULL HANDLES WITH PLATE	US32D
K	1 PER LEAF	CLOSER W/ HOLD-OPEN ARM, CUSH-N-STOP AND METALCOVER	LCN	4040-3049CNS-72DS1	(1) PER LEAF
L	1 PER LEAF	KICK PLATE	HAGER	1.27x305 x DOOR WIDTH MINUS 50mm	US32D, BEVELED ON FOUR EDGES
M	1	THRESHOLD	PEMKO	253X3AFG x DOOR WIDTH	--
N	1 PER LEAF	DOOR STOP	HAGER	DOME STOP - HIGH	US32D
O	1	SWEEP - NYLON BRUSH	PEMKO	18100CNB	(1) PER LEAF
P	1 SET	WEATHERSTRIPPING	PEMKO	303AS	(1) PER LEAF
Q	1 1/2 PAIR PER LEAF	5 KNUCKLE MORTISE	STANLEY	FFB191-127x114-630	NRP, US32D
R	1	RAIN DRIP	PEMKO	346 RAIN DRIP	--

NOTES:

- SEE SPECIFICATIONS FOR ALTERNATIVE MANUFACTURERS
- PRODUCT SUBMISSIONS SHALL BE EQUIVALENT TO LISTED PRODUCT MODELS AND FINISHES.

Designed by

Chkd.

Approved by

651 Colby Drive  
Waterloo, ONT. N2V 1C2, Canada  
T 519 884 0510 F 519 884 0525  
E [mn1mall@ghd.com](mailto:mn1mall@ghd.com) W [www.ghd.com](http://www.ghd.com)  
FILE:11111255-10(01)1ST-WA101 10/06/2017

Region of Peel  
Working for you

FIFESHIRE SPS

1775 FIFESHIRE COURT, MISSISSAUGA, ONTARIO

STRUCTURAL BUILDING  
FOUNDATION AND SCHEDULES

CAD Area	Area	Z-24	Project No.	15-2905
Checked by	D.B.	Drawn by	C.P.	Plan No.
Date	JUNE 2017	Sheet	12 of 87	62945-D



## **Appendix D:** Heritage Status



## Property Information

Mississauga's heritage, which extends over 10,000 years, includes archaeological resources, numerous residential, commercial and industrial buildings, views, vistas, ridge lines, scenic routes and a variety of natural heritage properties.

To view details about the inventory item, please click on the INV # link.

Property Details	Zoning Information	Building Permits	Development Applications	Committee of Adjustment	Heritage	Map It
---------------------	-----------------------	---------------------	-----------------------------	----------------------------	----------	--------

### PROPERTY HERITAGE DETAILS

[View Another Property](#)

Please visit [www.mississauga.ca/culture.ca/heritage](http://www.mississauga.ca/culture.ca/heritage) for more information.

Address: 1775 FIFESHIRE CRT  
Legal Description: PLAN M399 BLK 152  
Roll Number: 21-05-060-153-32000-0000

 [Print Friendly Page](#)

## Heritage Status

Status: LISTED ON THE HERITAGE REGISTER BUT NOT DESIGNATED  
Conservation District:  
Bylaw:  
Bylaw Date:

## Inventory Item

There is no Inventory Item.

## Designation Statement

Designation Statement not available





## Cultural Landscape Inventory

### Mississauga Road Scenic Route

**F-TC-4**

**Location** Parallels the Credit River on its west bank

**Heritage or Other Designation** Scenic Road

**Landscape Type** Transportation

#### LANDSCAPE ENVIRONMENT

- ☒ Scenic and Visual Quality
- ☐ Natural Environment
- ☒ Horticultural Interest
- ☒ Landscape Design, Type and Technological Interest

#### HISTORICAL ASSOCIATION

- ☒ Illustrates Style, Trend or Pattern
- ☐ Direct Association with Important Person or Event
- ☒ Illustrates Important Phase in Mississauga's Social or Physical Development
- ☐ Illustrates Work of Important Designer

#### BUILT ENVIRONMENT

- ☐ Aesthetic/Visual Quality
- ☐ Consistent Early Environs (pre-World War II)
- ☒ Consistent Scale of Built Features
- ☐ Unique Architectural Features/Buildings
- ☐ Designated Structures

#### OTHER

- ☒ Historical or Archaeological Interest
- ☐ Outstanding Features/Interest
- ☐ Significant Ecological Interest
- ☐ Landmark Value





## Cultural Landscape Inventory

### Mississauga Road Scenic Route

**F-TC-4**

---

#### **SITE DESCRIPTION**

Mississauga Road is one of the oldest roads in Mississauga. Its alignment varies from being part of the normal road grid in the north to a curvilinear alignment in the south following the top of bank of the Credit River. The scenic quality of the road is notable because it traverses a variety of topography and varying land use from old established residential neighbourhoods to new industrial and commercial areas. From Streetsville south the boulevards and adjacent landscapes are home to some of the oldest and most spectacular trees in the City. It is acknowledged as an important cultural landscape because of its role as a pioneer road and its scenic interest and quality.

---

---



## Appendix E:

Curriculum Vitae – Jane Burgess  
Curriculum Vitae – Julia Rady





### Jane Burgess OAA, CAHP, MRAIC, APT

Jane is a founding partner of Stevens Burgess Architects Ltd (SBA), an architectural practice which specializes in heritage conservation. She has practiced within the heritage industry for over thirty years contributing to heritage policy making, advocacy and education. She has served as President of CAHP (Canadian Association of Heritage Professionals), Vice Chair of the Toronto Preservation Board and Vice President of the OAA. She has received many awards for her work in conservation and lectures widely on the subject. Jane is the senior partner-in-charge of heritage projects and has either provided oversight to or has been the conservation architect for all the projects listed below.

<b>EDUCATION</b>	Bachelor of Architecture, 1974, University of Toronto
<b>TEACHING</b>	University of Waterloo, School of Architecture, 5 <sup>th</sup> yr Program, 1979 University of Waterloo, School of Architecture, Visiting Critic, 1978-79 Ryerson Polytechnic Institute, Studio Instructor, 1988, 1989
<b>PROFESSIONAL EXPERIENCE</b>	1984 to date Stevens Burgess Architects Ltd., Toronto 1976 to 1984 Jane Burgess Architect, Toronto
<b>PROFESSIONAL ASSOCIATIONS</b>	Royal Architectural Institute of Canada, MRAIC Ontario Association of Architects, OAA Canadian Assoc. of Heritage Professionals, CAHP Association of Preservation Technologists, APT

### SELECTED HERITAGE PROJECTS: (+ indicates award winning)

#### Isaac Gould House, 62 Mill Street, Uxbridge, ON

- HIA Peer Review and Assessment of Designated Property conforming with Reg. 9/06 of Heritage Act
- OMB Expert Witness

#### Swift River Energy, Moon River Falls Burgess Island and Portage Landing Heritage Site, Bala ON

- Heritage Consultant – OMB-Witness Statement Heritage Conservation District Amendment
- Portage Landing – Park Rehabilitation Plan in Compliance with Township HIA.

#### Wesley Mimico United Church, Toronto, ON

- Heritage Condition Assessment and Conservation Plan and Adaptive Reuse as Life Lease Seniors Residence

#### Redemptorists of Toronto and Edmonton - 131 McCaul St Monastery, Toronto (Designated)

- Study to determine feasibility of conversion to self-contained residential suites.
- Conservation of the building envelope, interior retrofit and accessibility improvements.

#### Infrastructure Ontario – Huronia & Barrie Jail (Provincial Heritage Properties of Provincial Significance)

- ABIR Pilot Project: Cultural heritage evaluation, condition assessment, and 20 year capital costing plan

#### SNC Lavalin – Strathmore House, 390 King St., Cobourg (Designated)

- Building envelope conservation including of removal of Kenitex non-breathable coating

#### Infrastructure Ontario – North Bay Normal School / Government Office Building, North Bay (Designated)

- Statement of heritage value, assessment, conservation, recommendations and implementation plan.

#### City of Hamilton: #18 –28 King St E., Hamilton (Listed : Draft Designation)

- Confirmation of heritage evaluation, Peer Review Condition Assessment, OMB expert witness statement.

#### City of Toronto – Fort York, Toronto (Museum, National Historic Site, Designated)

- Master Plan, Building Condition Assessment and Capital site and eight buildings.
- Conservation of exterior and interior plus exhibit enhancement of Officers' Mess and Brick Magazine.



- Town of Oakville – 3269 Dundas St. West, Oakville** (*Inventoried Cultural Heritage Landscape*)
- Peer review of developer funded Heritage Evaluation cum Heritage Impact Assessment
- Infrastructure Ontario - Sir James Whitney School, Belleville** (*Ontario Government Heritage Inventory*)
- Heritage Conservation Plan and Capital Plan for this 96 acre site and five designated buildings .
- Infrastructure Ontario - Century Manor, Hamilton Psychiatric Hospital, Hamilton** (*Designated*)
- Adaptive Reuse Study to convert building use to office, museum, and half-way house.
- Ontario Realty Corporation - Ontario Fire College (Scott Hall), Gravenhurst** (*Ont. Gov. Heritage Inventory*)
- Master Plan for the phased conservation of building envelope and interiors and code compliance.
  - +▪ Scott Hall building envelope conservation and interior heritage structure and plaster assessment .
- City of Mississauga – 1993 Mississauga Rd, (Heritage Inventory)**
- Heritage Evaluation, Draft Designation, and preparation for CRB hearing.
- University of Guelph - Macdonald Institute, Guelph** (*Heritage Inventory*)
- Master Plan for the phased conservation of building envelope and heritage interiors spaces.
  - +▪ Reconstruction of building brick and clay tile parapets and entry portico and limestone terrace.
- Town of Oakville – 3445 Dundas St. W.** (Property included in Secondary Plan Built Heritage Resource Study)
- Heritage Significance Evaluation recommending designation under IV for architectural reasons.
- Town of Oakville – 3269-3271 Dundas St. W.** (Included in Secondary Plan Cultural Landscape Heritage Study)
- Heritage Significance Evaluations recommending partial designation as cultural landscape
- Town of Oakville – 4233 Trafalgar Rd, Oakville** (Included in Secondary Plan Cultural Landscape Heritage Study)
- Heritage Significance Evaluations not recommending partial designation as cultural landscape
- City of Hamilton – Lister Block, King William St., Hamilton** (*Designated*)
- Architectural Heritage Impact Assessment for redevelopment of this 1916 terra cotta and brick building.
- Harber Industries - Ravine Vineyard Estate Winery, St. David's**
- +▪ Winery Master Plan and Official Plan Amendment
  - +▪ Reconstruction of heritage Woodruff House
  - Adaptive reuse of vernacular packing shed to restaurant
- Ontario Realty Corporation - Whitney Block and Tower, Toronto** (*Ontario Government Heritage Inventory*)
- Heritage Significance Study and Feasibility Study for the conservation of the exterior envelope.
  - +▪ Conservation of the building envelope of the Whitney Tower and the northern section of the building.
  - +▪ Heritage Conservation Plan; a maintenance and capital plan for all interior and exterior heritage features.
- Huron Provincial Parks - Sainte Marie Among the Hurons, Midland** (*Museum, Ont. Gov. Heritage Inventory*)
- Post Disaster Study to determine feasibility of reconstruction of burned three buildings.
  - +▪ Conservation of the chapel and reconstruction of blacksmith shop, carpentry shop and palisade.
- Aventis Pasteur – Connaught Campus Heritage Centre, 1755 Steeles Ave. W. Toronto**
- +▪ Barton Ave. Stables reconstruction of Dr. FitzGerald's metal clad stable-laboratory and reuse as museum.
  - Conservation and adaptive reuse gatekeeper's cottage to welcome centre and site security office.
- Ontario Realty Corporation - Welland County Courthouse, Welland** (*Designated*)
- Heritage Impact Assessment of a proposed major addition to this 1855 Kivas Tully stone courthouse.
- Friends of Riverdale Hospital - Toronto**
- Expert witness testimony OMB to prevent demolition.
- Ontario Realty Corporation - Old Whitby Psychiatric Site, Whitby** (*Ontario Government Heritage Inventory*)
- Heritage Significant Study and Intervention Guidelines for this 64 acre site containing 48 buildings
  - Realty Master Plan to evaluate constraints and opportunities for site redevelopment
- Ontario Realty Corporation - Old Don Jail, Toronto** (*Ontario Government Heritage Inventory*)
- Heritage Significance Study & Intervention Guidelines
- Beaverton Presbyterian Church – Old Stone Church, Beaverton** (*National Historic Site, Designated*)
- Heritage Significance Study and application for designation provincially and recognition federally.
  - Conservation Feasibility Study , easement agreement and funding application to Ontario Heritage Trust.



Julia Rady, PhD

EDUCATION	<b>PhD, History, 2017, University of Toronto</b> <b>Masters of Arts, 2007, University of Toronto</b> <b>Bachelors of Arts (Honours), 2002, Western University</b>
PROFESSIONAL EXPERIENCE	<b>2017 to date: Stevens Burgess Architects Ltd., Toronto</b>
PROFESSIONAL ASSOCIATIONS	<b>Canadian Historical Association</b> <b>Canadian Society of Church History</b> <b>Multicultural History Society of Ontario</b>

Julia has an academic background in Canadian history and has a special interest in heritage conservation and historical preservation, and the interpretation of Canadian sites of heritage significance. Since starting with SBA, Julia has provided assistance, research, and historical interpretations for Havergal College, Fort York Officers' Mess, the Guelph Correctional Centre, the St. Thomas Psychiatric Hospital Site, and the City of Cambridge Farmer's Market. She has experience with qualitative and quantitative analysis of history, specialized research skills, and the ability to communicate historical ideas and facts in an accessible way to a variety of audiences.

**SELECTED PROJECTS:**

- **Fort Frances Judicial Complex. Fort Frances,** (*Provincial Heritage Property of Provincial Significance*), Strategic Conservation Plan
- **Guelph Correctional Centre. Guelph,** (*Provincial Heritage Property of Provincial Significance*), Strategic Conservation Plan
- **St. Thomas Psychiatric Hospital,** (*Provincial Heritage Property of Provincial Significance*), Strategic Conservation Plan
- **Chatham Judicial Complex, Chatham,** (*Provincial Heritage Property of Provincial Significance*), Strategic Conservation Plan
- **Havergal College,** Masonry Conservation Master Plan
- **City of Cambridge Farmer's Market** (*Designated*), Strategic Conservation Plan

**SELECTED HISTORICAL PROJECTS**

- Historical Commentator – **CBC's *The Goods*.**
- "Worshipping," **an introduction for the SSHRC-funded website,** [www.wartimecanada.ca](http://www.wartimecanada.ca)
- Various conference presentations – **to the Canadian Society of Church History, the Canadian Historical Association, and the Political History Group.**
- Dissertation – **Ministering to an Unsettled World: The Protestant Churches in Early Cold War Ontario, 1945-1956."**
- Finalist - **Three-Minute Thesis Competition, University of Toronto, 2017.**



# City of Mississauga

## Corporate Report



Date: 2018/02/20

To: Chair and Members of Heritage Advisory Committee

From: Paul Mitcham, P. Eng, MBA, Commissioner of  
Community Services

Originator's files:

Meeting date:  
2018/03/06

### Subject

Heritage By-law Revision

### Recommendation

1. That a revised heritage by-law be adopted, as per the Corporate Report from the Commissioner of Community Services, dated February 20, 2018, substantially in compliance with Appendix 1.
2. That Legal Services be directed to complete the appropriate set fine applications and seek the approval of the Ministry of the Attorney General for the related orders by the Senior Regional Justice.

### Background

The Ontario Heritage Act provides authority to municipal governments to protect and conserve heritage properties. Alterations to heritage designated property must follow the process outlined in the Act, which requires that a designated property owner seek a heritage permit from the local municipal Council.

The City of Mississauga wishes to (1) prescribe the notice and application requirements for the demolition of registered properties, and requests to repeal designation by-laws, (2) create a permit system whereby landowners may obtain necessary consents and/or permits under Part IV and Part V of the *Heritage Act*, and (3) create corresponding offences and enforcement provisions governing the administration of this by-law.

### Comments

A revised by-law is now proposed, developed in consultation with Compliance and Licensing staff. Changes have been made to address the following matters:



- Revising the language of the by-law to mirror the Section 27(3) provisions of the Ontario Heritage Act more closely, i.e. a permit or other clearance is not required for demolition of a listed property, just the 60-days' notice with the prescribed information.
- Enhancing enforcement provisions that allow authorized City staff to enforce the by-law under the provisions of the Municipal Act, with administrative penalties.
- Revising the delegated authority provisions to allow the Director of Culture to approve Part V alterations without Heritage Advisory Committee consultation, as permitted by the Ontario Heritage Act.
- Reaffirming that Council approval is still required for certain applications including without limitation, a refusal of an alteration application, a decision as to the erection, demolition or removal of structure or building application, and a decision of repealing all, or part of an existing designation by-law.
- Editorial changes throughout the by-law provide additional clarity and consistency with the Heritage Conservation District Plans and the Ontario Heritage Act.

## Financial Impact

There is no financial impact.

## Conclusion

The proposed by-law enhances the enforcement provisions to encourage compliance with the City's Heritage Permit process and the Ontario Heritage Act. Additionally, the delegated authority revisions streamline the process to alter properties in Heritage Conservation Districts. The changes have been incorporated into the attached draft by-law, which, if endorsed, will be presented to Council for adoption.

## Attachments

Appendix 1: Revised Heritage By-law



For

Paul Mitcham, P. Eng, MBA, Commissioner of Community Services

Prepared by: P. Wubbenhorst, Heritage Planner



Heritage Advisory Committee	2018/02/20	3
-----------------------------	------------	---





**THE CORPORATION OF THE CITY OF MISSISSAUGA  
HERITAGE BY-LAW \_\_\_\_\_**

**WHEREAS** subsection 11(3)5 of the *Municipal Act, 2001*, S.O. 2001, c. 25, as amended, (the “*Municipal Act, 2001*”) provides that a municipality may pass By-laws regarding heritage;

**AND WHEREAS** approval or consent from the Council for the City of Mississauga is required for the alteration or demolition of properties designated under Part IV and located in heritage conservation districts designated under Part V of the *Ontario Heritage Act*, R.S.O. 1990, c. O.18, as amended (the “*Heritage Act*”);

**AND WHEREAS** subsection 27(5) of the *Heritage Act* authorizes Council to prescribe the plans and information required for providing adequate notice of an intention to demolish a registered property;

**AND WHEREAS** Council may delegate certain powers, including its authority to consent to alterations of properties designated under Part IV and located in a designated Heritage Conservation District under Part V of the *Heritage Act*;

**AND WHEREAS** sections 444 and 445 of the *Municipal Act, 2001* provide that a municipality may make an order to require a person to discontinue contravening a by-law and to do the work required to correct the contravention;

**AND WHEREAS** the City of Mississauga wishes to: (1) prescribe the notice and application requirements for the demolition of registered properties, and requests to repeal designation by-laws, (2) create a permit system whereby landowners may obtain necessary consents and/or permits under Part IV and Part V of the *Heritage Act*, and (3) create corresponding offences and enforcement provisions governing the administration of this by-law;

**NOW THEREFORE** Council for the City of Mississauga ENACTS as follows:

**SHORTTITLE**

1. This By-law may be referred to as the “Heritage By-law”.

**DEFINITIONS**

2. For the purposes of this By-law:
  - (1) “**Act**” means the *Ontario Heritage Act*, R.S.O. 1990, c. O.18, as amended;
  - (2) “**Alter**” means to change in any manner and includes to restore, renovate, repair, erect or disturb; and “alteration” and “altering” have corresponding meanings;
  - (3) “**City**” means The Corporation of the City of Mississauga;
  - (4) “**Clearance Certificate**” means a certificate issued by the City in a form approved by the Director which states that alterations proposed by an Owner are not prohibited by the City;
  - (5) “**Council**” means the elected Council of the City;
  - (6) “**Demolish**” means to do anything in the removal of a building or any material part thereof as defined in section 1(1) of the *Building Code Act, 1992* and demolition has a corresponding meaning;



- (7) **“Designated Property”** means a Property that is designated as a heritage property under Part IV of the Act;
- (8) **“Director”** means the City’s Director, Culture Division, and includes his/her designate;
- (9) **“Fence”** means a railing, wall, hedge, line of posts, shrubs, trees, wire, gate, boards, pickets or other similar substances, used to enclose or divide in whole or in part a yard or other land, to establish a property boundary, or to provide privacy;
- (10) **“Heritage Advisory Committee”** or **“HAC”** means the municipal heritage committee established under the *Act* and by by-law to advise Council on proposed demolitions of or alterations to Registered and Designated Properties, and properties within Heritage Conservation Districts, and more generally on the identification, conservation and preservation of the City’s cultural heritage properties;
- (11) **“Heritage Conservation District”** or **“HCD”** means a heritage conservation district designated under Part V of the Act;
- (12) **“Heritage Conservation District Plan”** means a plan adopted by Council to provide direction on the preservation of the heritage character defining elements of a Heritage Conservation District;
- (13) **“Heritage Consultant”** means a person who prepares Heritage Impact Assessments with qualifications as set out in the *Mississauga Heritage Impact Assessment Terms of Reference* or as otherwise required by the City;
- (14) **“Heritage Impact Assessment”** means a report that identifies all known heritage resources, evaluates their significance, and makes recommendations toward mitigation measures that would minimize negative impacts to those resources, prepared in accordance with the *Mississauga Heritage Impact Assessment Terms of Reference* approved by the Manager.
- (15) **“Heritage Permit”** means a permit issued by the Director pursuant to this By-law allowing an Owner to take certain actions with regards to such Owner’s Property as stated thereon;
- (16) **“Heritage Register”** means a register of Properties situated within the geographic borders of the City of Mississauga, Ontario that are of cultural heritage value or interest pursuant to Part IV of the Act;
- (17) **“Inspect”** includes to survey, photograph, measure and record;
- (18) **“Municipal Law Enforcement Officer”** means an individual employed by the City to enforce its municipal by-laws, including the Heritage By-law;
- (19) **“Owner”** means the person registered on title as owner of the property;
- (20) **“Property”** means real property and includes all buildings, structures and heritage landscapes thereon;
- (21) **“Registered Property”** means a Property that is listed on the Heritage Register.

### **GENERAL PROHIBITION**

- 3. No Owner of a Designated Property or Property located within a Heritage Conservation District shall do any of the following without obtaining a Heritage Permit or a Clearance Certificate as the case may be:
  - (1) Alter or permit the Alteration of a Designated Property or Property located within an HCD;
  - (2) Demolish or remove a building or structure or permit the Demolition or removal of a building or structure on a Designated Property; or



- (3) Erect, Demolish or remove any building or structure or permit the erection, Demolition or removal of a building or structure on a Property within an HCD.
- 4. No Owner of a Designated Property or Property located within a Heritage Conservation District shall do any of the activities provided in section 3 not in accordance with conditions on a Heritage Permit or Clearance Certificate as the case may be.

#### **DELEGATION OF AUTHORITY**

- 5. Council delegates to the Director authority to do the following:
  - (1) **Approve Alterations:** consent to, approve and impose terms and conditions on Heritage Permits for
    - (i) Designated Properties after consulting with the HAC, and
    - (ii) Properties located in an HCD;
  - (2) **Issue Permits, and Establish Practices and Procedures:** issue and administer Heritage Permits and Clearance Certificates in accordance with this By-law and the Heritage Act, including establishing any practices and procedures necessary to administer this By-law;
  - (3) **Notice of Receipt:** upon receipt of a completed application for Alteration or Demolitions of Designated Properties or Properties located in an HCD, serve a notice of receipt of application on the Owner;
  - (4) **Extensions of Time:** agree to the extension of any time limit within which Council must make a decision on an application under Part IV of the Act, provided that the Owner agrees to the extension; and
  - (5) **Issue Clearance Certificates:** issue and administer Clearance Certificates for non-substantive alterations in the Meadowvale Village HCD.
- 6. **Decisions Required to be Referred to Council:** The Director shall, after consulting with the HAC, refer the following to Council:
  - (1) **Recommendation to Refuse Proposed Alterations under Part IV or Part V of the Act:** if the Director is of the opinion that an application under subsection 11(1) should be refused, the Director shall report to Council with reasons for the recommendation and Council will either consent to or refuse the proposed alterations;
  - (2) **Recommendation to Issue Notice of Intention to Designate a Registered Property:** within 60 days of receiving notice of intention to demolish a Registered Property in accordance with this By-law, where the Director is of the opinion that a Registered Property should be designated, the Director shall report to Council with reasons for a recommendation to designate the Registered Property, and Council will decide whether to issue a notice of intention to designate the Property.
  - (3) **Decision regarding Demolitions under Part IV of the Act:** Council will either consent to or refuse an application to demolish or remove a building or structure on a Designated Property;
  - (4) **Decision regarding Erection or Demolition of Property under Part V of the Act:** Council will either consent to or refuse an application to erect, demolish or remove a building or structure on Property located in a Heritage Conservation District.
  - (5) **Decision to Repeal Designation By-law:** Council will either consent to or refuse an application to repeal all or a portion of a designating By-law for a Designated Property.



7. **Conditions for Permits:** Heritage Permits issued under this By-law shall be subject to the following conditions:
- (1) All applications, documents, reports and plans and other information form part of the Heritage Permit;
  - (2) All work shall be carried out in accordance with the plans, specifications, reports, documents and any other information that form the basis upon which a permit is issued;
  - (3) Any material change to the plans, specifications, report, documents or other information that form the basis upon which a Heritage Permit is issued shall require a further application;
  - (4) The permit holder shall advise the City's Heritage Planning staff upon completion of the work that is subject to the Heritage Permit;
  - (5) The permit holder shall allow City staff and such other authorized persons to inspect the work done under the Heritage Permit;
  - (6) Such other terms and conditions as the Director deems necessary to maintain the heritage character of the Property;
  - (7) Such other terms and conditions as may be required by Council and/or the Ontario Municipal Board; and
  - (8) Heritage Permits issued pursuant to this By-law shall expire five years from the date of issuance of the Heritage Permit.
8. The Director shall issue a Heritage Permit to an Owner of a Property whose application meets all of the requirements of this By-law and has been approved, subject to the conditions that will include but are not limited to those required by section 7.

#### **INTENTION TO DEMOLISH REGISTERED PROPERTIES**

9. **Demolition:** An Owner wishing to Demolish or remove a building or structure on a Registered Property shall provide at least 60 days' notice of their intention to Demolish in a form prescribed by the Director and shall supply the following information to the satisfaction of the Director:
- (1) The name, address, telephone number and e-mail address of the Owner or the Owner's authorized representative;
  - (2) A site plan drawing or survey showing the location of the proposed Demolition or removal;
  - (3) Photographs showing the existing building condition including all elevations; and
  - (4) A Heritage Impact Assessment prepared by qualified architect licensed to practice in the Province of Ontario or a Heritage Consultant.
10. **Time:** The 60 day notice period shall commence upon submission of the information required in section 9, to the satisfaction of the Director.

#### **HERITAGE PERMITS FOR DESIGNATED PROPERTIES**

11. **Alteration:** An Owner wishing to Alter a Designated Property shall apply for a Heritage Permit in a form prescribed by the Director and shall supply the following information to the satisfaction of the Director upon request:
- (1) The name, address, telephone number and e-mail address of the Owner or the Owner's authorized representative;
  - (2) A site plan drawing and survey showing the location of the proposed work on the Designated Property;



- (3) A statement of the proposed scope of work;
  - (4) Architectural, engineering and landscape design drawings of the proposed work showing materials, dimensions and extent of the work;
  - (5) Written specifications for the proposed work;
  - (6) Materials, samples and specifications of the proposed work;
  - (7) Photographs showing the existing building or landscape condition;
  - (8) Documentation pertaining to the proposal, including archival photographs, pictures or plans of similarly styled buildings in the community;
  - (9) A signed statement by the Owner authorizing the application;
  - (10) A Heritage Impact Assessment prepared by qualified architect licensed to practice in the Province of Ontario or a Heritage Consultant;
  - (11) A heritage conservation plan prepared by a qualified architect and/or engineer licensed to practice in the Province of Ontario or heritage consultant specializing in the subject heritage resource; and
  - (12) Any other information relating to the application as may be required by the Director.
12. **Demolition/Removal:** An Owner wishing to demolish or remove a building or structure on Designated Property shall apply for a Heritage Permit in a form prescribed by the Director and shall supply the following information to the satisfaction of the Director upon request:
- (1) The name, address, telephone number and e-mail address of the Owner or the Owner's authorized representative;
  - (2) A site plan drawing or survey showing the location of the proposed Demolition or removal;
  - (3) Photographs showing the existing building or structure condition including all elevations;
  - (4) A building condition assessment of the building or structure proposed to be demolished or removed;
  - (5) A signed statement by the Owner authorizing the application;
  - (6) A Heritage Impact Assessment prepared by qualified architect licensed to practice in the Province of Ontario or a Heritage Consultant; and
  - (7) Any other information relating to the application as may be required by the Director.

## **HERITAGE PERMITS FOR CONSERVATION DISTRICTS**

### **OLD PORT CREDIT HERITAGE CONSERVATION DISTRICT**

13. **Non-Substantive Alterations:** Notwithstanding sections 14 and 15, a Heritage Permit is not required for the following non-substantive Alterations to the external portions of a building or structure of a Property located in the Old Port Credit HCD:
- (1) The exterior painting of non-masonry surfaces, replacement of eaves troughs and downspouts, installation of exterior lights, including installation of removable storm windows and doors, caulking and weatherproofing;
  - (2) The repair or replacement of existing features, including roofs, dormers, cresting, cupolas, cornices, brackets, columns, balustrades, entrances, sidewalks, windows, foundations, and decorative wood, metal, stone or terra cotta, provided that the same type of materials are used;
  - (3) The erection of small accessory buildings under ten metres squared;



- (4) The erection of Fences and privacy screens;
  - (5) The installation of mechanical and/or electrical equipment not visible from the street;
  - (6) The Repair or replacement of existing steps and sidewalks;
  - (7) All interior work, except structural interventions;
  - (8) An alteration that is not visible from a public right-of-way or public park;
  - (9) Minor alterations as are described in the Old Port Credit Heritage Conservation District Plan;
  - (10) For buildings and structures identified as “complementary” or “other” buildings in the Old Port Credit Village Heritage Conservation District Plan:
    - (a) alterations to the roofline, including demolition or erection of dormers;
    - (b) new and/or alterations to door and/or window openings requiring structural alteration and which may include their surrounds;
    - (c) installation of new replacement windows;
    - (d) installation of skylights;
    - (e) demolition or erection of chimneys;
    - (f) removal or addition of architectural detail, such as brackets, bargeboard, finials, brick, terra cotta decorations;
    - (g) masonry cleaning, masonry repointing or masonry painting;
    - (h) installation or replacement of exterior cladding;
    - (i) installation of new roof material different from existing; and
    - (j) installation of mechanical and/or electrical equipment not visible from the street.
14. **Alteration:** An Owner wishing to alter a Property located in the Old Port Credit HCD shall submit an application in accordance with the requirements of section 11 of this By-law.
15. **Demolition:** An Owner wishing to erect, demolish, or remove a building or structure on a Property located in the Old Port Credit HCD shall submit an application in accordance with the requirements of section 12 of this By-law.
16. For greater clarity, Designated Properties located within the Old Port Credit HCD are governed by sections 13-15, except where interior alterations are proposed, section 11 governs.

#### MEADOWVALE VILLAGE HERITAGE CONSERVATION DISTRICT

17. **Clearance Certificate:** an Owner of Property in the Meadowvale Village HCD shall notify the Director and obtain a Clearance Certificate for non-substantive Alterations which do not significantly Alter the appearance of the Property.
18. **Non-Substantive Alterations:** for the purposes of interpreting section 17, the term “non-substantive Alteration” shall have the same meaning as in the Meadowvale Village HCD Plan, including installing, renovating, repairing and/or replacing the following:
- (1) Roofing Materials
  - (2) Chimneys
  - (3) Exterior Cladding
  - (4) Skylights
  - (5) Solar Panels
  - (6) Windows and Storm Windows
  - (7) Shutters
  - (8) Doors
  - (9) Architectural Details
  - (10) Existing Porches and Verandahs



- (11) Existing Outbuildings
  - (12) Driveways
  - (13) Fences and Privacy Screens
  - (14) Landscaping and Planting
  - (15) Wheelchair ramps
  - (16) Mechanical and Utilities
  - (17) Public works within the Village, including but not limited to:
    - (a) Public roads and right of ways
    - (b) Parkland
    - (c) Signage
    - (d) Structures
19. **Alterations:** An Owner wishing to perform Substantive Alterations to a Property located in the Meadowvale Village HCD shall submit an application in accordance with the requirements of section 11 of this By-law.
20. **Substantive Alterations:** For the purposes of section 19, the term “Substantive Alterations” shall have the same meaning as in the Meadowvale Village HCD Plan, which shall include, but is not limited to the following:
- (1) increases to Gross Floor Area of the primary residence;
  - (2) increases to the primary residence’s building height, width and depth;
  - (3) changes to primary residence’s foundation structure;
  - (4) changes to the primary residence’s roof structure;
  - (5) additions of a sunroom, solarium, porch and/or verandah to a primary residence;
  - (6) new windows, dormers, or doors where they did not originally exist on the primary residence;
  - (7) enlarged window or door openings of the primary residence;
  - (8) removal of an existing and/or replacement of a new primary residence;
  - (9) addition of/to an accessory building, including pre-fabricated buildings, occupying an area greater than 10 square metres (108 square feet)
  - (10) reconfigured lot boundary;
  - (11) changes to lot grade, excavation and the placement of fill which alter a property’s landform and natural vegetative characteristics;
  - (12) increases to driveway width, new and/or relocation of the property’s access and egress;
  - (13) installation of pools and water features; and
  - (14) any other alteration which a Heritage Permit is required under the Meadowvale Village HCD Plan.
21. **Demolitions:** An Owner wishing to erect, demolish, or remove a building or structure on a Property located in the Meadowvale Village HCD shall submit an application in accordance with the requirements of section 12 of this By-law.
22. For greater clarity, Designated Properties located within the Meadowvale Village HCD are governed by sections 17-21, except where interior alterations are proposed, section 11 governs.

#### **REPEAL OF DESIGNATION BY-LAW BY OWNER**

23. An Owner wishing to repeal all or a portion of a designating By-law under Part IV of the Act shall apply in a form prescribed by the Director and shall supply the following information to the satisfaction of the Director upon request:
- (1) The name, address, telephone number and e-mail address of the Owner or the Owner’s authorized representative;
  - (2) A site plan drawing or survey showing the location of the Property;



- (3) Photographs showing the existing buildings' condition including all elevations;
  - (4) A building condition assessment of the buildings or structures;
  - (5) A signed statement by the Owner authorizing the application;
  - (6) A Heritage Impact Assessment prepared by qualified architect licensed to practice in the Province of Ontario or a Heritage Consultant; and
  - (7) Any other information relating to the application as may be required by the Director.
24. The Director, on receipt of an application and together with any information it may require, shall serve a notice of receipt on the Owner.
25. Within 90 days after the notice of receipt is served on the Owner, or within such longer period as is agreed upon by the Owner and the Director, the Director shall make a recommendation to Council, following consultation with the HAC, and Council may consent to the application with or without conditions, or refuse the application.

### **INSPECTIONS:**

26. The following persons are authorized for the purposes of section 38 of the *Ontario Heritage Act* to Inspect Designated Properties and Properties for which an notice of intention to designate has been issued:
- (1) Director, Culture Division;
  - (2) Manager, Culture and Heritage Planning;
  - (3) Supervisor, Heritage Planning;
  - (4) Heritage Planner;
  - (5) Heritage Analyst;
  - (6) A person who in the opinion of the Director has special or expert knowledge in relation to the property; and
  - (7) Municipal Law Enforcement Officers.
27. Authorized persons under section 26 may also, at any reasonable time, enter and inspect any Property subject to this By-law to determine whether there is compliance with this By-law, including a Heritage Permit and any associated conditions, and any order issued under this By-law, which powers shall be exercised in the manner provided for in section 437 of the *Municipal Act, 2001*.
28. Notwithstanding section 27, for the purposes of carrying out inspections on Properties located in an HCD but not Designated, no entry shall be made to buildings and structures.
29. No person shall hinder or obstruct, or attempt to hinder or obstruct, any authorized person who is exercising a power or performing a duty under this By-law.

### **NOTICES & ORDERS:**

30. The Director may issue or cause to be issued notices and warnings under this By-law.
31. **Order to Discontinue:** If an authorized person is satisfied that a contravention of this By-law has occurred, they may make an order requiring the Owner or occupier of the land on which the contravention occurred to discontinue the contravening activity.
32. **Work Order:** If an authorized person is satisfied that a contravention of this By-law has occurred, they may make an order requiring the Owner or occupier of the land on which the contravention occurred to do work to correct the contravention.
33. An order under section 31 or 32 shall set out
- (8) reasonable particulars of the contravention adequate to identify the contravention and the location of the land on which the contravention occurred; and
  - (9) the date by which there must be compliance with the order.



34. Orders shall be served upon the Property Owner by personal service or by mailing a copy of the Order by prepaid first class mail or registered mail to the last known address noted on the tax assessment roll.
35. Service by prepaid first class mail or registered mail shall be deemed to be effective on the fourth day after the Order is mailed.
36. If there is evidence that the person in possession of the Property is not the registered property owner then the Order shall be served on both the registered property owner and the person in possession of the Property.
37. Where a time frame is set out in an Order or other document for carrying out any action, an Officer may extend the time for compliance beyond the established time frame provided such extension is required and is acceptable to the Officer.

### **PENALTY**

38. Every Person who contravenes any provision of this By-law or fails to comply with an order made under this By-law, and every director or officer of a corporation who concurs in such contravention or failure by the corporation, is guilty of an offence and is liable to a fine, and such other penalties, as provided for in the *Provincial Offences Act*, R.S.O. 1990, c.P.33, and the *Municipal Act, 2001*, as both may be amended from time to time.
39. Where a person has been convicted of an offence, the court in which the conviction has been entered and any court of competent jurisdiction thereafter may, in addition to any other remedy and to any penalty imposed by this By-law, make an order prohibiting the continuation or repetition of the offence by the person convicted.
40. **Remedial Action:** In addition to any other remedies provided for by this By-law or by statute, Council may restore the Property and authorize persons to enter on the Property at any reasonable time to carry out the restorations, at the Owner's expense.

### **VALIDITY**

41. In the event of a conflict between any provision of this By-law and the *Heritage Act*, the *Heritage Act* prevails.
42. If a court of competent jurisdiction declares any provision, or any part of a provision, of the By-law to be invalid, or to be of no force and effect, it is the intention of the Council in enacting this By-law, that each and every other provision of this By-law authorized by law, be applied and enforced in accordance with its terms to the extent possible according to law.

### **GENERAL**

43. In this By-law, unless the context otherwise requires, words imparting the singular number shall include the plural, and words imparting the masculine gender shall include the feminine, and further, the converse of the foregoing also applies where the context so requires.
44. Nothing in this By-law shall exempt any person from complying with the requirements of any By-law in force within the City, or from obtaining any license, permission, permit, authority or approval required by this or any other By-law of the City or by any other law in force at the time.
45. Nothing in this By-law, or any action taken under this By-law, is intended to prevent or restrain the City from pursuing any other remedies available in law, including under the *Heritage Act*.



**TRANSITION AND ENACTMENT**

46. By-law No. 109-16 is repealed.
47. Any reference to By-law No. 109-16 shall be deemed to be a reference to this By-law.
48. This By-law comes into force on the date it is passed.

**ENACTED AND PASSED this \_\_\_\_\_ day of \_\_\_\_\_, 2018.**

**Signed by: Bonnie Crombie, Mayor and Diana Rusnov, City Clerk**



City of Mississauga  
**Memorandum**



---

Date: February 6, 2018  
To: Chair and Members of Heritage Advisory Committee  
From: Paul Damaso, Director, Culture Division  
Meeting Date: March 6, 2018  
Subject: 2018 Heritage Planning Work Plan

---

As per the request from the Heritage Advisory Committee, please find attached Heritage Planning's 2018 Work Plan.

A handwritten signature in black ink, appearing to read 'Paul Damaso', written in a cursive style.

---

Paul Damaso  
Director, Culture Division

**Attachments**

Appendix 1: 2018 Heritage Planning Work Plan



## Heritage Planning Work Plan 2018

<b>Core Workload</b>	<b>Status</b>
1. Respond to numerous incoming inquiries re: the 2700+ properties included on the City's Heritage Register	Ongoing
2. Guide changes to heritage property through heritage planning process and negotiation	Ongoing
3. Serve as team member on multiple City projects with a potential heritage component	
4. Manage approximately forty incoming heritage permit applications per annum	
5. Analyze, evaluate and comment on all Official Plan Amendment, Plan of Subdivision and Rezoning applications	Ongoing
6. Analyze, evaluate and comment on all Site Plan applications that are on or adjacent to heritage property	
7. Review all Committee of Adjustment applications and analyze, evaluate and comment on those of heritage interest	Ongoing
8. Provide clearance to building permit office on heritage property proposals that do not require a heritage permit	Ongoing
9. Ensure heritage property grant program is rolled out in accordance with Heritage Planning standards and timelines	Ongoing
10. Serve as subject matter expert for annual heritage property grant program	
11. Contribute to City planning policies, visioning studies, strategic and master plans	Ongoing
12. Work with by-law enforcement, building inspection and prosecutions staff on contraventions related to heritage properties	Ongoing
13. Advance preparation and/or managing recommendations/decisions related to Conservation Review Board and Ontario Municipal Board hearings	Ongoing
<b>Additional Projects</b>	
14. Implement Heritage Management Strategy: <ul style="list-style-type: none"> <li>a. Providing input to Story of M Project</li> <li>b. Communications Campaign</li> <li>c. Cultural Landscape Inventory Reassessment</li> <li>d. Providing input to Heritage Facilities and Asset Management Project</li> <li>e. Archaeology Master Plan business case</li> </ul>	In process
15. Heritage By-law Update	In process
16. Develop standard operating procedures for heritage permits and heritage status letters	In process
17. Designate three heritage listed properties owned by the City of Mississauga – includes researching and drafting cultural heritage assessment if required, drafting designation by-laws and corporate reports, and liaising with relevant City departments	On hold pending staff resources
18. Emergency heritage designation reports, as needed	In process
19. Project manage Old Port Credit Village Heritage Conservation District Plan Review	In process
20. Research, compose copy and coordinate design, production and installation of requested designated property plaques	On hold pending staff resources
21. Waite gates interpretive panel	In process
22. Onboarding and training of new Heritage Planning staff	Forthcoming



# Heritage Property Permit Application

Community Services  
Culture Division  
201 City Centre Drive, Suite 202  
Mississauga, ON L5B 2T4  
FAX: 905-615-3828  
www.mississauga.ca/heritageplanning



Personal information collected on this form and other required documents is collected under the authority of the *Ontario Heritage Act*, s.33(1)(2) and s.42(1,2,1,2,2) and City of Mississauga Heritage By-law 215-07 as amended. The information will be used to process the application. Questions about the collection of this personal information should be directed to the Senior Heritage Coordinator, 201 City Centre Drive, Mississauga ON L5B 2T4, Telephone 905-615-3200 ext. 5385.

## LOCATION DETAILS

For Office Use Only:

Heritage Property Permit Number: \_\_\_\_\_

Will the Heritage Advisory Committee review be required? ☐ Yes ☐ No

(Please Print Clearly)

Municipal Address 5520 Hurontario Street, Mississauga, ON, L5R 1B3

Legal Address Con. 1 WHS Pt. Lot 3

Property Owner Peel District School Board Contact Address 5660 Hurontario Street, Mississauga, ON, L5R 1C6

Phone 905-890-1090 Fax 905-796-2819 Email Address john.clarkson@peelsb.com

HERITAGE DESIGNATION BY-LAW NUMBER (if applicable): 166-92

What type of Permit is Required?

Alteration or addition ☐ Yes ☒ No

Demolition ☐ Yes ☒ No

New Construction ☐ Yes ☒ No

Repeal of Designation By-law ☐ Yes ☒ No

Is there a corresponding application, such as:

a) Building permit number NA

b) Site Plan application number NA

c) Rezoning application number NA

d) Other NA

Description of Work to be Completed :

Please attach drawings, site plans, and photographs to better illustrate the project. These may be required depending on the scale of the project.

Maintenance/renewal work - Replace cedar shingle roofing, flashings and eavestrough system to match existing. Introduce solid plywood substrate, breathable underlayment, continuous ventilation layer, eaves protection and low profile ridge vent to improve roof system performance/life-expectancy.

Name John Clarkson

Please Print

Date 2018/02/27

YYYY / MM / DD

Signature (of property owner)

For information or assistance, please contact Heritage Planning staff at 905-615-3200, ext. 5385 or 5366.





**CONSULTANTS**  
Occupational Hygiene & Environment

# **SPECIFICATIONS FOR GARDNER-DUNTON HOUSE CEDAR ROOFING REPLACEMENT**

*Prepared for:*

**Peel District School Board**  
933 Central Parkway West  
Mississauga, ON L5C 2T9  
Attention: Willy Meyer, Project Manager

*Prepared by:*

**OHE Consultants**  
311 Matheson Blvd. East  
Mississauga, ON L4Z 1X8

OHE Project No.: 22102

February 2018





Page #**SPECIFICATIONS****DIVISION 1****GENERAL**

Section	01 00 00	Scope of Work	1-7
---------	----------	---------------	-----

**DIVISION 7****THERMAL AND MOISTURE PROTECTION**

Section	07 31 10	Cedar Shakes	1-12
---------	----------	--------------	------

Section	07 62 00	Sheet Metal Flashings and Trim	1-7
---------	----------	--------------------------------	-----

**DRAWINGS**Drawing #

Roof Plan	1
Typical Eaves Detail	D1
Typical Rake Edge Detail	D1A
Wall Upturn Detail	D2
Ridge Detail	D3
Plumbing Vent Detail	D4
Exhaust Vent Detail	D5

**APPENDICES**

Appendix 1 – Hazardous Building Materials Survey – OHE



## **DIVISION 01 — GENERAL REQUIREMENTS**

### **SECTION 01 00 00 — SCOPE OF WORK**

#### **1. General**

- .1 Work under this Contract is for replacement of the cedar shingles roofing systems and thermal upgrades of the Gardner-Dunton House located at 5520 Hurontario Street, Mississauga.
- .2 Work may commence on or after contract award. All work to be completed within the schedule/sequencing agreed to with the Peel District School Board (“PDSB”) at time of the bid meeting. The contract shall be completed, including demobilization by March 1, 2018, 5:00pm.
- .3 Working hours are from 7:00 a.m. to 7:00 p.m., Monday to Friday, weekend, and holidays, as permitted by PDSB.
- .4 The contractor is responsible for coordinating the sequence of work so that interior spaces are protected from water penetration at all times. Contractor shall supply temporary protection as required until the new roofing systems are installed and made watertight.
- .5 Supply and maintain all necessary protective screens, overhead protection and/or barriers around all entrance doorways and ramps to protect the vicinity of work areas from flying debris, construction materials and other similar hazards.
- .6 Provide suitable protection to minimize the spread of debris. Protection provided shall meet both environmental and occupational health requirements of the Province of Ontario and all requirements of the PDSB.
- .7 Contractor to abide with local noise by-laws.
- .8 The Contractor shall protect the public from all work related debris and materials.
- .9 The Contractor shall establish a coordination system with the PDSB and the Consultant via email notifying daily updates of the project.
- .10 All work is to be completed in accordance with applicable legislative requirements, and related abatement scope of work (if applicable).
- .11 Consultant will evaluate the contractor’s performance executing the work.
- .12 In interior spaces under or in the vicinity of the areas of construction, place polyethylene (6 mil thickness minimum) over all exhibits, furniture (computers, printers, office equipment, etc.) and flooring to protect them from dust, debris, water penetration etc.
- .13 Protect all occupants, and visitors from all work related debris and materials.
- .14 The Contractor shall submit the warranty documentation and the manufacturer site inspection documentation within seven (7) days of Substantial Completion.
- .15 A review of the exterior and the interior of the building including the pavements shall be conducted with the Consultant prior to the project start-up and after project



completion complete with photographs and notes to establish pre-existing conditions/damaged areas.

## 2. Information Available to the Contractor:

- .1 The following information describes the existing roofing composition of the roof areas that form part of the bid documents. Contractors are advised that the information is derived from a limited visual review of the roofing and is provided as a guideline only.
- .2 OHE or the Owner are not responsible for assumptions, errors or omissions resulting from the use of this information. The Contractor should verify the existing roofing system construction and quantities including test-cuts prior to the Work. Report findings of the test-cuts to the Consultant prior to the work.
- .3 The existing roofing composition (top to bottom):
  - .1 Cedar Shingles;
  - .2 Underlayment;
  - .3 Wood planking;
  - .4 Wood roof framing;
  - .5 Glass fibre insulation; and,
  - .6 Polyethylene vapour retarder.

## 3. Summary of Work:

- .1 A description of the new roofing components for the roof areas are summarized in the table below:

Component	New Materials
Covering	Cedar shingles (to match existing)
Interlayment	No. 30 felt
Continuous Venting Layer	HDPE grid (Ventgrid)
Underlayment	RhinoRoof U20
Eaves Protection/Membrane Flashings	Self-adhesive membrane
Sheathing	½" plywood
Deck	Existing Wood Plank to remain
Attic Insulation	Rigid mineral wool
Vapour Retarder	Polyethylene sheet
Metal Flashings	Sheet metal (to match existing)
Drainage	Galvanized steel half-round (to match existing)
Moss Mitigation	Zinc strips
Ventilation	Concealed low-profile pre-manufactured ridge vents
Sleeves and Exhaust Vents	Copper



- .2 The Contractor shall provide all material, labour, equipment and supervision required to complete the Work as summarized below in accordance with OBC, Cedar Shingles and Shingle Bureau installation instructions, good trade practices and industry standards (please see the entire specification for more detailed instructions).

#### **4. General Work:**

- .1 Remove and dispose of existing cedar roofing systems including shingles, interlayment, underlayment, membrane flashings, metal flashings, penetration sleeves and fan exhaust hoods, eavestroughs, downspouts, etc. and all other roofing components not required to remain as part of the new Work.
- .2 Examine roof deck, dimensional lumber and roof framing and identify areas of deterioration/damage for replacement as required. Remove and replace any deteriorated decking and dimensional lumber to match existing.
- .3 Inspect the underside of the roof framing/decking prior to the work to ensure that the work will not damage MEP installations or other critical building systems. Coordinate with MEP specialists to identify potential hazards prior to fastening. Any damage to MEP installations to be repaired by the roofing contractor at no extra cost to the Owner.
- .4 Inspect the attachment of the decking, roof framing and fascia and install additional fasteners where required to re-secure loose or detached decking/roof framing to the existing structure where required.
- .5 Existing decking to be clean and free of debris and any loose or debonded materials prior to the installation of the new roofing system. Dispose of loose materials at an approved facility.
- .6 Disconnect and temporarily relocate existing mechanical, electrical, lighting equipment including existing conduits, cables, wiring, piping and similar items, to facilitate new roofing work and re-instate to original working condition and in accordance with Contract Documents.
- .7 Disconnect, modify if required, and reconnect all related mechanical/electrical components as required to permit roofing replacement, in accordance with the Contract Documents.

#### **5. New Roofing Assemblies**

- .1 Install new plywood sheathing over roof deck surfaces.
- .2 Install new self-adhesive eaves protection including primer.
- .3 Install new self-adhesive membrane and new metal drip edges at eave and rake locations (including primer where applicable) as indicated.
- .4 Install new continuous venting layer (HDPE grid patterned rigid sheet).
- .5 Install double starter shingles at roof and rake edges with shingles overhang/drip from tip of outside shingles to the wood fascia.
- .6 Install new No. 30 interlayment between shingle courses.



- .7 Install new cedar shingles to match existing at the eaves and working upslope mechanically fastened with stainless steel fasteners.
- .8 Install new zinc strips under the final course of shingles at the top of the roof and under the sides of the hips for moss/algae control on all roof faces/slopes.
- .9 Cut/open plywood sheathing and wood planking at ridge locations as per ridge vent manufacturer's instructions to allow air flow from the attic to the ridge vents (ridge ventilation slot).
- .10 Install new continuous ridge vents at all ridge locations.
- .11 Install new self-adhesive membrane over ridge vents and hip locations of roof sheathing including primer.
- .12 Install new cap cedar shingles at hip locations to provide weather-tight joints.
- .13 Install new self-adhesive membrane flashings at junctions between roof deck and all vertical elements including wall upturns, and opening and other three sides.
- .14 Install continuous self-adhesive membrane at wall-roof substrate interfaces and install new metal step-flashings interspaced between shingles so as to be concealed by overlapping shingles.
- .15 Install new metal plumbing vent sleeves and exhaust vent hood assemblies (including adapters) as indicated including mastic, sealants, self-adhesive membrane flashings, fasteners and other accessories to match existing.
- .16 Install new metal flashings to match existing, new continuous metal starter strips, fasteners, counter flashings, sealants etc.
- .17 Remove loose/peeling paint at exposed wood fascia and soffit locations where applicable. Apply new wood paint primer and paint coatings to match existing colour and finish.
- .18 Install new eavestroughs and downspouts including elbows and adaptors to match existing.
- .19 Install new fastening systems for existing eavestroughs and downspouts including brackets, straps, hangers etc. to match existing. Install fastening systems at intervals as per OBC, manufacturer's instructions, industry standards and authorities having jurisdiction.
- .20 Install new ground splash pads at downspout locations.

## **6. Thermal Upgrades**

- .1 Remove and dispose of old glass fibre insulation.
- .2 Adhere install new vapour retarder over ceiling attic and rafters. Seal all vapour retarder laps/seams.
- .3 Install new rigid mineral wool in attic ceiling cavity to a depth of 10". Install additional dimensional lumber as required to prevent new insulation from blocking air flow from soffit vents.



## **7. Cleaning**

- .1 Dispose of all debris/waste in approved containers and transfer to Ministry of Environment approved disposal site(s).
- .2 Dispose of all debris/waste in approved containers and transfer to Ministry of Environment approved disposal site(s).
- .3 Clean site free of all traces of roofing work and repair or replace any damaged property appurtenances/building surfaces and/or lawn, flowers, shrubs, and trees to the satisfaction of the Owner and Consultant.
- .4 Provide a ten (10) year installation, labour and workmanship warranty supplied by the Contractor/Installer.
- .5 Provide a ten (10) year roofing systems manufacturer's materials guarantee as per the Cedar Shingles and Shingle Bureau ("CSSB").
- .6 At no additional cost to the Owner, supply a ten (10) year warrantee offered by the pressure treatment/fire retardant manufacturer.

**END OF SECTION 01 00 00**



**DIVISION 07 — WOOD AND PLASTICS**  
**SECTION 07 31 00 — CEDAR SHINGLES**

**PART 1 - GENERAL**

**1.1 WORK INCLUDED:**

- .1 All conditions of the contract and Division 1, General Requirements apply to this section.
- .2 All work shall meet the requirements of the latest versions of the Ontario Building Code and the Roofing Specifications Manual of the Canadian Roofing Contractors Association (C.R.C.A.), including all amendments up to project date.
- .3 Installation shall conform to the latest edition of the Application Handbook by the B.C. Shake & Shingle Association and the New Roof Construction Manual by the Cedar Shake and Shingle Bureau (CSSB).

**1.2 PROTECTION:**

- .1 Provide all necessary protection measures to protect surrounding surfaces from damage caused by roofing operations.
- .2 Prevent roofing materials, precipitation and debris entering openings during work.

**1.3 REFERENCE STANDARDS**

- .1 Roofing materials, products, and accessories shall be in accordance with the most current applicable industry standards including but not limited to:
  - .1 ASTM D1970 / CSA A123.22 “Standard Specification for Self-Adhering Polymer Modified Bituminous Sheet Materials Used as Steep Roofing Underlayment for Ice Dam Protection CSA O112 Series, CSA Standards for Wood Adhesives”.
  - .2 CSA O118.1 “Western Red Cedar Shakes and Shingles”.
  - .3 CSA O80 Series “Preservative Treatment for all Timber Products by Pressure Processes”.
  - .4 CSA B111 / ASTM F1667 “Wire Nails, Spikes and Staples”.
  - .5 CSA A123.16 / ASTM D4601 “Asphalt Coated Base Sheets”.



#### 1.4 WORKMANSHIP

- .1 The installer must be a Cedar Shake & Shingle Bureau (CSSB) registered contractor to offer a Limited Warranty from the Shake Manufacturer.
- .2 The Contractor shall be an approved installer of cedar roofing shingles and related roofing systems and shall be trained and experienced in the installation of this type of roofing system as determined by the material manufacturer.
- .3 Defective work resulting from application to unsatisfactory deck conditions will be considered the responsibility of those performing the work of this section.

#### 1.5 SCOPE OF WORK

- .1 Supply all labour materials and equipment required to perform the selective demolition, removal and disposal work specified in the Summary of Work, to the full extent of Drawings and Specifications.
- .2 This Section includes for the installation of the new roofing system, related components and accessories such as new eave protection, underlayment, ventilation layer and membrane flashings.
- .3 Inspect existing conditions, and substrates upon which work of this section is dependent. Report to the Consultant in writing any defects or discrepancies. Commencement of work implies acceptance of existing conditions and assuming full responsibility for the finished condition of the work.

#### 1.6 SAMPLES

- .1 Submit to the Consultant for review four (4) full-size samples of the specified wood shingles.

#### 1.7 MOCK-UP

- .1 Prepare 1200 x 1200 mm mock-up panel at one (1) designated location for the Consultant and Owner's review, promptly and in an orderly sequence, to avoid delay in the schedule of the Work.
- .2 Build mock-up using personnel assigned to the Work, with products and techniques representing all phases of the Work.
- .3 Mock-up sample to demonstrate the materials, procedures, sequences, finishes, and general quality of the Work, and shall serve as the standard for the remaining parts of the Work.
- .4 Mock-up to include cedar shingles, eaves protection, membrane flashings, underlayment/interlayment, metal flashings, continuous venting layer, venting, etc. at a location acceptable to the Consultant and Owner.



- .5 Verify aesthetics, workmanship, preparation and installation procedures with Consultant.
- .6 Obtain Owner's written approval of mock-up sample prior to commencement of the Work. Owner will require a minimum of seven (7) working days in which to review the mock-up sample.
- .7 Approved samples will be standard for comparison and may be incorporated into the Work with the exception of the flashings and ridge vent.

#### 1.8 JOB CONDITIONS

- .1 Before commencing work each day, ensure that all surfaces to receive interlayment are clean, smooth, solid and dry.
- .2 Temperatures during application shall not be less than the minimum recommended by the material manufacturer. Work shall not be carried out during inclement weather conditions.
- .3 Use only dry materials and apply only during weather that will not introduce moisture into roofing system.

#### 1.9 WARRANTY

- .1 At no additional cost to the Owner, provide a ten (10) year labour and workmanship warranty offered by the installer/Contractor. The warranty shall cover the repair of the shingles and associated roofing work as a result of faulty materials, labour or workmanship from the date of substantial and complete performance of the work.
- .2 At no additional cost to the Owner, supply a ten (10) year materials warrantee offered by the material manufacturer as per CSSB.
- .3 At no additional cost to the Owner, supply a ten (10) year warrantee offered by the pressure treatment/fire retardant manufacturer.
- .4 If extended warranty options are selected warranty clearance certificates will be required prior to release of final payments.
- .5 Supply written and signed warranties acceptable to the Owner and the Consultant, in the name of the Owner.
- .6 Repair leaks into building or roofing assembly within 24 hours of notification.
- .7 Inspect the roof 30 days before expiry of workmanship warranty and correct defects within 15 days of inspection.
- .8 Provide a written report to the owner identifying the results of the inspection and corrective measures. This inspection shall be performed at no additional cost to the Owner.



- .9 Carry out repair work required under the warranty in accordance with the recommendation of the Consultant.

#### 1.10 DELIVERY AND STORAGE

- .1 Deliver and store materials to manufacturer's instructions.
- .2 Do not store materials on the roof in a manner that overloads the structure.
- .3 Store materials under cover, on elevated platforms, protected from weather and construction activities.
- .4 Deliver and store materials in original packages with labels intact.
- .5 Store shake bundles in a cool, dry place in stacks not more than 1200 mm (4.0 ft) high.
- .6 Remove and replace damaged, wet or broken materials.
- .7 Stand roll goods on end, and protect edges.
- .8 Store materials away from open flame or ignition sources.
- .9 Do not transport any materials through the building.
- .10 Avoid walking on wood shingles when moisture or frost is present.
- .11 Do not stack skids of wood shake material more than two (2) skids high.

## PART 2 - PRODUCTS

### 2.1 GENERAL:

- .1 Compatibility between components of roofing system is essential. All roofing components including underlayment, continuous ventilation layer, flashings, eave protection, accessories which are to be incorporated into the system must be compatible with all specified components / materials to be installed as part of the roofing system are compatible and will not negatively affect the performance of the roofing system or void the Warranty.

### 2.2 MATERIALS:

- .1 Wood Shingles (to match existing): No. 1 Premium Grade Tapersawn Western Red Cedar Shingles or approved alternate. 100 percent edge grain, clear heartwood and no knots, wormholes, decay or crimp is permitted. Random allowed widths from 102 mm-355 mm (4-14"). Weather exposure to be consistent. Color, size, type and proportion to match existing.



- .2 Cedar Fire-Retardant: "Certi-Guard" Class C fire retardant treated shingles pressure-impregnated with fire-retardant polymers to CSA 0118.1, Appendix G.
- .3 Continuous Ventilation Layer: high density polyethylene rigid grid sheet. Acceptable Product: Ventgrid<sup>12</sup> and Vent<sup>20</sup> by Ventgrid Inc or approved alternate.
- .4 Hip Protection, Upturns and Eave Protection: Self-adhering, polymer modified bituminous membrane underlayment, integrally bonded on one side to an embossed polyethylene film, conforming to ASTM / CSA standards. Accepted products:
  - .1 Ice & Watershield by W.R. Grace
  - .2 Goldshield by IKO Industries
  - .3 Storm Guard by GAF-ELK
  - .4 Winter Guard by Certainteed
  - .5 Weather Lock by Owens-Corning
  - .6 Approved alternate
- .5 Interlayment: No. 30 non-perforated asphalt-saturated felt conforming to CSA A123.3-M79.
- .6 Underlayment: RhinoRoof U20 synthetic roofing underlayment by Interwrap, or approved alternate.
- .7 Plastic Cement: Conforming to CAN/CGSB-37.5-M.
- .8 Lap Cement: Conforming to CAN/CGSB-37.4-M.
- .9 Metal Flashings (Drip Edges): See Section 07 62 00, Sheet Metal Flashing and Trim.
- .10 Plumbing Vent Sleeves: Metal flashing sleeve with a sloped integral deck flange, seals with a vandal proof cap fabricated from 16 oz. per sq. ft. (0.022-inch thick) (0.56-mm) copper, according to ASTM B370 to match existing.
- .11 Exhaust Fan Hood: Fabricated from 16 oz. per sq. ft. (0.022-inch thick) (0.56-mm) copper, according to ASTM B 370 with a sloped integral deck flange, backdraft damper, built-in metal screen and adaptor collar. Shape of vent to match existing. Vent to have height to clear the roofing assembly and provide minimum 100mm (4.0 in.) free-board above finished roof surface. Stem to be of sufficient length to connect to existing exhaust conduit.
- .12 Fasteners: Corrosion-resistant fasteners. Stainless steel Type 304 or 316, or aluminum nails. Nail length corresponding to shingle size: 457 mm (18") shingle, use 6D Box 51mm (2" in.) long nails as per CSSBI guidelines. Nails should be of sufficient length to through penetrate plywood sheathing or a minimum of 25 mm (1")



into the wood plank deck. Nails shall have a head diameter of not less than 4.8 mm (3/16") and a shank thickness of not less than 2 mm (0.083").

- .13 Cap Nails: Round top roofing nails with ARDOX spiral shank with integral 25 mm (1") metal or plastic washer.
- .14 Zinc Strips: 0.6mm (0.0234") thick, 99.2 % pure zinc sheet metal bands to provide a minimum of 64mm (2.5") exposure and a 25mm (1") minimum fastening area under the shingles for fastening.
- .15 Ridge Vent: molded, low-profile, concealed, high-impact copolymer as per ASTM G155 shingle-over ridge vent with external baffles, nail bosses for positioning, weep holes and insect screens and is capable of being fastened with a nail gun and capable of remaining dimensionally stable during shingling with a minimum net free area of 18.3 square inches per linear foot.
- .16 Mineral Wool Insulation: Rigid, mineral wool sheathing board manufactured for sloped metal roofing systems, as manufactured by Roxul, 8 – 25mm (1") layers adhered to sheathing, all in accordance with ASTM C665, ASTM C612 and CAN/ULC S702.
- .17 Vapour Retarder: Polyethylene conforming to the CAN/CGSB-51.34-M86 standard.

## **PART 3 - EXECUTION**

### **3.1 EXAMINATION**

- .1 Temporarily remove any affected sections of fascia, soffit, and wall components necessary to proceed with the Work.
- .2 Examine site conditions and surfaces to ensure that they are in satisfactory condition for the commencement of the work of this section.
- .3 Examine existing deck boards for excessively resinous areas and loose knots. Cover these areas with sheet metal patches and/or underlayment before roofing is applied.
- .4 Remove any unsound, rotted, or decayed existing roof boards. Replace defective boards with new sheathing as directed by the Consultant and in accordance with the requirements detailed in Section 06 10 00 – Rough Carpentry.
- .5 Do not use any boards that are badly warped, have loose knots or have excessively resinous areas.
- .6 Prior to commencement of work insure all shingles and specified underlayment have been removed and decks are firm, straight, smooth, dry, free of snow, ice or frost, and swept clean of dust and debris.



- .7 Install new work promptly after removal of existing roofing minimizing exposure of sheathing to weather.

### 3.2 DRIP EDGE FLASHINGS

- .1 Provide metal drip edges underneath the underlayment or eave protection at the eaves.
- .2 Metal drips edge to overhang 12mm, with minimum 76 mm (3") flange extending onto roof decking.
- .3 Fasten drip edge to roof substrate at 254 mm (10") o.c.

### 3.3 EAVE PROTECTION/MEMBRANE UNDERLAYMENT

- .1 Install eave protection membrane as per Manufacturer's printed instructions at the following locations:
  - .1 Provide membrane underlayment at eaves to provide eave protection. Extend the membrane underlayment a minimum distance of 900 mm (36") from the roof eave line or to a line 305 mm (12") inside the inner face of the exterior wall whichever is greater.
  - .2 Provide membrane underlayment below sheet metal drip edge flashings along eaves.
  - .3 Provide membrane underlayment below sheet metal flashings and at upturn locations or where indicated.
  - .4 Provide membrane underlayment at penetrations such as plumbing vents, exhaust vents and other sleeve flashing locations.
  - .5 Provide membrane underlayment below sheet metal flashing locations.
- .2 Ensure all surface areas are free from frost, dust, grease, oil or loose materials.
- .3 Apply primer as indicated by the manufacturer.
- .4 Always use standard construction practices and follow established safety rules that may apply locally for overhead and roof work.
- .5 Proceed only when weather is favourable. Should installation be undertaken at a temperature below 4°C (40 °F), consult manufacturer regarding special procedures.
- .6 Maintain a minimum endlap of 152 mm (6") and side lap of 52 mm (2").
- .7 Install flexible flashing membrane 300 mm up adjacent vertical wall surfaces as indicated.
- .8 Roll the membrane immediately after placement to ensure continuous adhesion. The roller to be of the type and size recommended by the manufacturer.



- .9 Ensure the continuity of the membrane underlayment is maintained at all penetrations and terminations. Apply membrane sealant in accordance with the manufacturer's instructions at all membrane terminations and as required to fill inaccessible gaps.
- .10 Do not cover the membrane underlayment until it is reviewed and approved by the Consultant.

### 3.4 CONTINUOUS VENTILATION LAYER

- .1 Do not use the continuous venting layer to fasten cedar shingles in place.
- .2 Install Ventrim<sup>20</sup> at the bottom edge of the roof insuring it is straight as starter strip for the installation of the Ventgrid<sup>12</sup>. Secure with fasteners at 300mm (12") o.c.
- .3 Layout the grid from edges and openings using an uncut side of the continuous ventilation layer as the starter where ever possible.
- .4 Work from edges and openings using an uncut side of continuous ventilation layer as the starter to provide full support for the terminal ends and edges of the roof cover. Provide 3mm (1/8") gap between sheets to allow for expansion.
- .5 To cut the grid score along the top edge of the ribs with a utility knife and snap apart.
- .6 Fasten the grid to the roof using recommended fasteners through the pre-formed attachment holes located at every fourth grid intersection.
- .7 Install metal flashing or blocking at gable ends of roof to stop insects and other unwanted debris from entering the air space beneath the shingles.

### 3.5 CEDAR SHINGLE NAILING

- .1 Hand nailing and use of pneumatic tools to install nails is acceptable.
- .2 Pneumatic nail guns shall be adjusted to adequately drive the nails through the shingles and roof deck so that they are not crooked, overdriven, underdriven, or bent.
- .3 Nails shall be driven flush but not so that the nail head crushes the wood. Place nails approximately 19 mm (3/4") – 25 mm (1") from the side edges of the shingles and approximately 38 mm (1.5") above butt line of the following course.
- .4 Secure each shingle with two (2) full-driven corrosion-resistant fasteners. Follow manufacturer's instructions concerning special nailing procedures for steep slopes and high wind areas which may include additional nails.
- .5 Position the nails as required by the manufacturer.



- .6 Align the shingles before nailing so that no nail heads are exposed in the shingle course below.
- .7 Drive the nails straight and flush with the shingle surface. Do not break the shingle surface with the nail head.
- .8 Repair faulty nailing immediately.
- .9 No exposed fasteners are allowed in the application of the cedar shingles.

### 3.6 CEDAR SHINGLE APPLICATION

- .1 Install starter course in a double layer at all eave and rake edges with exposure required to satisfy maximum weather exposure of 191mm (7.5").
- .2 Starter course shingle to overhang the eave and rake edges 25-38 mm (1" - 1.5").
- .3 Install shingles such that each shingle is spaced apart no less than 7 mm (0.25") and no more than 9.5 mm (3/8"). Offset joints between adjacent courses, minimum 38 mm (1.5"). Alternate course joints shall not align.
- .4 Provide an adequate control-line layout that consists of horizontal and vertical control lines to insure that the first shingle course and succeeding shingle courses are perfectly straight and true-to-line. Insure that the shingles are installed to provide exposure recommended by the shake manufacturer and 3-ply coverage.
- .5 After each course of shingles is applied, lay 457 mm (18") wide strip of felt interlayment sheet. Lay felt to extend from 380 mm (15") above butt line of each course of shingles onto the continuous ventilation layer.
- .6 Set bottom edge of interlayment felt at a distance equal to twice the specified weather exposure dimension (i.e. 190 mm exposure requires felt interlayment to be set 380 mm above shingle butts in first course thereby providing coverage of the top 225 mm of the shingles).
- .7 Top edge of felt interlayment must rest on sheathing.
- .8 Stagger fasten interlayment along its upper portion to hold it in place until installation of next course of shingles. Interlayment fasteners must be covered by next consecutive course of interlayment.
- .9 Secure each shingle with two nails. Drive each nail, 25 mm (1") from shingle edge, and 40 mm (1.5") above butt line of course to follow. Do not drive nailhead into shingles. Any exposed nails shall be promptly removed and the affected shingle replaced.
- .10 Lay shingles in straight courses with length parallel to the line of maximum slope and grain perpendicular to the eave.



- .11 Install step flashing at horizontal-to-vertical surfaces in connection with slopes. Form step flashings from separate pieces. Extend flashing horizontally not less than 3" and up the vertical wall so that they are lapped by the counter flashing not less than 4".
- .12 Installed each piece in step fashion such that each piece is lapped no less than 3" (one flashing installed on each course concealed under the covering course). If other than masonry is used the flashing shall extend up the wall not less than 3" behind the sheathing paper.
- .13 Extend chimney flashing up the chimney to a height not less than 3", up the roof slope to a point equal in height to the flashing on the chimney but never less than 1 1/2 times the shingle exposure. (All metal flashings should be painted.)
- .14 Manufactured step-flashing: 5" x 7" shingle = 2 1/2" wall, 2 1/2" roof 8" x 12" shingles = 4" wall, 4" roof 16.
- .15 Apron counter flashing to extend to within 1" of the surface of the finished roof.

### 3.7 CEDAR HIP SHINGLES

- .1 Shingles on hips and ridges shall be applied after both roof areas have been roofed with shingles up to the adjoining hip or ridge intersection, and the shingles in each intersecting course have been cut to the apex of the hip or ridge.
- .2 Install felt plies of underlayment (wrapped and nailed over the hip or ridge centre line) to provide protection from wind-driven rain and snow.
- .3 Start the hips at the eaves; and the ridges at the leeward end of the ridge away from the prevailing wind direction.
- .4 Provide pre-cut or field-cut hip and ridge shingles adequately mitered to provide alternate overlaps and concealed nailing.
- .5 Lay hip and ridge units so that the overlap along the top of each unit is alternated, and fasten each unit with two (2) extra long screw type fasteners.
- .6 Provide nails of adequate length to penetrate 25 mm (1") into the wood plank deck or completely through the plywood sheathing.
- .7 Prior to installing of the shingles, install a strip of self-adhesive eave protection extending a minimum of 152 mm (6") on either side of the hip centre lines.
- .8 Exposure to be the same as the shingles on the main roofs.
- .9 Saw shingles to the line of the intersecting roof surface at hips.
- .10 Protect fasteners in the last hip or ridge unit (at upslope end of hip or windward end of the ridge) with roofing cement.



- .11 Protect the intersection of adjacent wood roofs with closed or mitred valleys with combination of flexible and sheet metal valley flashing that extends under the wood roofing.
- .12 Where the roof slopes downward from window openings and/or curbs or adjacent cladding, extend the flashing over the shingles as indicated.
- .13 Wedge the portion of the flashing embedded.
- .14 Seal the lower flashing and counter flashing at all vertical corners.
- .15 Install counter flashing so that it extends up wall behind the cladding and any underlying sheathing paper so as to lap the lower stepped flashing by at least 100 mm.
- .16 Inspect all soffit vents to ensure there are no insulation or debris blockages. Clear any blocked vents to allow the free flow of air into the ventilated space.
- .17 Replace existing caulking with new materials along all joints and where directed by Consultant.

### 3.8 RIDGE VENT

- .1 Run the ridge vent from end to end on the roof. 6.
- .2 Carefully place the ridge vent prior to cap shingle nailing as per manufacturer's instructions.
- .3 Do not over-nail or cause vent buckling.
- .4 Do not undernail such that the nails back out of the deck.
- .5 All nails must penetrate the underside of the roof deck. Verify adequate nail length prior to installation.

### 3.9 ROOF PENETRATIONS

- .1 Install the plumbing pipe and exhaust vent sleeves at existing locations in strict accordance with manufacturer's recommendations. Clearance required 25 mm (1") around pipe projection.
- .2 Shingle nails are not to penetrate the flashing flange.
- .3 Extend sleeve flanges a minimum of 152 mm (6") over the shingles where the roof slopes downward from the penetration intersection. Flange should be a minimum of 52 mm (2") from the lower edge of the shingle.
- .4 Where the roof slopes downward from the intersection with penetration sleeves etc., extend the flange over the shingles and embed it into the plastic cement. Along the sides and upward from the intersection, extend the flange under the shingles. Coat



the top surface of the flashing with plastic cement and embed the shingles into the cement as applied.

### 3.10 ZINC STRIPS

- .1 Install zinc bands so that 3/4" to 1" is under the ridge shingles, hip shingles, ridge shingles or the top most row of shingles at all roof slopes/faces and provide a minimum 64mm (2.5") exposure of the zinc band.
- .2 Fasten the zinc band at approximately 600mm (2') intervals using. Ensure that the fasteners are concealed under the shingles.
- .3 If the total distance below the zinc bands exceeds approximately 6m (20'), add another zinc strip under the shingles at that point.

### 3.11 CLEANING

- .1 Remove all surplus materials and debris resulting from the foregoing work daily as the work proceeds and on completion.

Clean surfaces soiled by work of this section. Do not use chemicals, scrapers, or other tools in cleaning that will damage surfaces. Make good other work damaged under work of this section.

**END OF SECTION 07 31 00**



**DIVISION 07 — THERMAL & MOISTURE PROTECTION****SECTION 07 62 00 — SHEET METAL FLASHING AND TRIM****PART 1 - GENERAL****1.1 WORK INCLUDED**

- .1 Eavestroughs, downspouts, metal flashings, counter flashings, drip and drip edges to match existing layout and profile.
- .2 Remove and replace existing sealant c/w backer rod at roof flashings.
- .3 Provide all miscellaneous accessories and fasteners to allow for a complete installation.
- .4 Supply and install self-adhesive membrane flashing at all upturns, flashings, eaves and penetrations.

**1.2 PROJECT CONDITIONS**

- .1 Coordinate work of this section with interfacing and adjoining work for proper sequencing of each installation to ensure weather resistance and durability of work and protection of materials and finishes.

**1.3 WORKMANSHIP:**

- .1 Work on this section is to be conducted only by individuals specifically trained for this Work.
- .2 Provide one thoroughly experienced, reliable and competent person in charge of the Work and present on site at all times during this work.
- .3 Contractors in this section shall have a minimum 5 years proven experience that can comply with proper application procedures of the work specified herein.

**1.4 REFERENCE STANDARDS**

- .1 Metal Flashing
  - .1 ASTM A 653/A653M, "Standard Specification for Steel Sheet, Zinc-Coated (Galvanized) or Zinc-Iron Alloy-Coated (Galvannealed) by the Hot-Dip Process".
  - .2 CGSB-1.108-M89 "Bituminous Solvent Type Paint"
  - .3 CAN/CGSB-1.181-99, "Ready Mixed Organic Zinc-Rich Coating".



- .4 Canadian Roofing Contractor's Association (CRCA) Roofing Specifications Manual.
- .5 Canadian Sheet Steel Building Institute (CSSBI) Steel Fact Sheet 3, "Care and Maintenance of Prefinished Sheet Steel Building Products".
- .6 Factory Mutual Insurance Loss Prevention Data Sheet 1-49 (latest issue)

#### 1.5 WARRANTY:

- .1 The Contractor shall warrant against defect all workmanship performed and materials supplied for the installation for a period of two (2) years from the date of Substantial Performance.
- .2 Repair and/or replace any Work judged defective by the Consultant and any other work damaged due to faulty or defective work at no additional cost during the term of the warranty.
- .3 Defective installation covered under the warranty shall include, but not be limited to improper drainage, excessive ponding, leakage, loss of securement, failure of sealants, corrosion, fading of finish, change of colour and staining of adjoining or adjacent materials or surfaces. Replacement and repair of defective work shall be in accordance with this section. Damage caused from vandalism or impact damage by the public is not included.
- .4 Repairs will be made by the Contractor promptly within 48 hours of notification with no cost to the Owner during the warranty period.

#### 1.6 DELIVERY AND STORAGE

- .1 Deliver materials in their original wrappings with the manufacturer's labels and seals intact.
- .2 Store materials in areas designated by the Owner. Do not overload the existing structure.
- .3 Protect materials from all environmental factors. Follow manufacturer's instructions with respect to storage and environmental protection.
- .4 Do not store materials directly on roof. Provide tarped skids or plywood on rigid insulation as minimum protection of the roof.

#### 1.7 PROTECTION

- .1 Ensure adequate protection of existing materials and surfaces from damage.
- .2 Ensure adequate protection of exposed surfaces to prevent damage to interior until application of new roofing materials has been completed. The Contractor will be responsible for any damage as a result of not adequately protecting exposed surfaces.



- .3 The Contractor to provide barriers or overhead protection below the work area to protect pedestrian traffic adjacent to the work area.

#### 1.8 ENVIRONMENTAL CONSIDERATIONS:

- .1 Review all roof material to be disposed of for possible reuse or recycling opportunities.
- .2 Ensure reuse of existing roof materials in good condition wherever feasible and upon the Owner's approval.
- .3 Recycle applicable roofing material where facilities exist.

### PART 2 - PRODUCTS

#### 2.1 FLASHING AND TRIM MATERIALS

- .1 Prefinished Metal Flashing:
  - .1 Metal flashing shall be 24 gauge (0.6mm) hot dipped galvanized steel to ASTM A653/ASTM653M. Flashing to be prefinished with G-90 Baycoat 8000 Series Coating. Colour to match existing.
  - .2 Form work with sharp bends, and true flat planes with no twists, buckles, dents or other similar visual defects caused by defective materials or careless handling.
  - .3 Double back exposed metal edges at least 12 mm.
- .2 Eavestroughs: Half-round 26 ga. paint grip galvanized steel (seamless) with phosphatized coating formed to match existing. Paint colour to match existing.
- .3 Eavestrough Supports: Galvanized steel bracket and spikes with inside and outside bolts fabricated from 0.64mm (24 ga.) aluminum sized to suit profile of new gutters.
- .4 Rain Water Leaders: Round corrugated 26 ga. paint grip galvanized steel downspouts including elbows, shoes, junctions, and all accessories necessary for a complete job including watertight connection to gutters formed to match existing. Paint colour to Owner's approval.
- .5 Nails, screws, fasteners and accessories to be of the same material as the sheet metal to be fastened.
- .6 Isolation Coating: Alkali resistant bituminous paint or approved alternate.
- .7 Touch-up Paint: As recommended by metal flashing and trim manufacturer.
- .8 Rust Inhibitor Paint: Galvafruid by W.R. Meadows Canada or approved alternate.
- .9 Batt Insulation/Void Filler: Mineral-fiber batt insulation. Roxul or approved alternate.



- .10 Precast Concrete Splash Pads: 64 mm x 762 mm x 305 mm (1 ½ x 30 x 12 in.) "Brooklin Splash Pads", as manufactured by Brooklin Concrete Products Limited or approved alternate.

- .11 Provide all accessories for a complete installation.

## 2.2 FASTENERS:

- .1 Of same material as sheet metal, to CSA B111M. Ring thread flat head roofing nails of length and thickness suitable for metal flashing applications.
- .2 Metal siding fasteners: Galvanized, with exposed fasteners colour matched to cladding.

## 2.3 BITUMINOUS COATING:

- .1 SSPC - Paint 12, solvent-type bituminous mastic, nominally free of sulfur, compounded for 15-mil dry film thickness per coat.

## 2.4 MASTIC SEALANT:

- .1 Polyisobutylene; nonhardening, nonskinning, non-drying, nonmigrating sealant.

## 2.5 EPOXY SEAM SEALER:

- .1 2-part noncorrosive metal seam cementing compound, recommended by metal manufacturer for exterior/interior nonmoving joints including riveted joints.

## 2.6 ADHESIVES:

- .1 Type recommended by flashing sheet manufacturer for waterproof/weather-resistant seaming and adhesive application of and compatibility with flashing sheet.

## 2.7 METAL ACCESSORIES:

- .1 Provide clips, straps, anchoring devices, and similar accessory units as required for installation of work, of the same metal, noncorrosive, size and gauge required for performance.

## 2.8 ROOFING CEMENT:

- .1 ASTM D 2822, asphaltic.

## 2.9 FABRICATED UNITS

- .1 Separations: Provide for separation of metal from noncompatible metal or corrosive substrates by coating concealed surfaces at locations of contact, with bituminous coating or other permanent separation as recommended by manufacturer/fabricator.



## 2.10 SEALANT

- .1 High-performance, low-modulus, one-component, moisture-curing, polyurethane joint sealant. Acceptable product, Dymonic with approved primer as manufactured by Tremco Ltd. or approved alternate.

## PART 3 - EXECUTION

### 3.1 SHOP FABRICATION

- .1 Fabricate metal flashings and other sheet metal work in accordance with applicable CRCA 'FL' series specifications.
- .2 Form flashings to closely match profiles shown on drawings, where indicated.
- .3 Brake form pieces in maximum lengths suitable for the work. Make allowance for expansion at joints. Cut, drill and shape in shop where possible.
- .4 Hem exposed edges on underside 12 mm minimum. Mitre and seal corners with sealant, in sliplock fashion to allow for thermal expansion.
- .5 Form sections square, true and accurate to size, free from distortion and other defects detrimental to appearance or performance.
- .6 Double-back exposed edges of metal flashing at least 12 mm.
- .7 Protect dissimilar metal materials from electrolytic action and from contact with concrete materials with a heavy coating of bituminous paint.

### 3.2 FLASHING INSTALLATION - GENERAL

- .1 Except as otherwise indicated, comply with manufacturer's installation instructions and recommendations and with CDA "Copper in Architecture Handbook". Anchor units of work securely in place, providing for thermal expansion of units; conceal fasteners where possible, and set units true to line and level as indicated. Install work with laps, joints, and seams that will be permanently watertight and weatherproof.
- .2 All work shall meet the requirements of the Ontario Building Code, the Canadian Roofing Contractors Association (CRCA), and CSSBI Steel Fact Sheets, including all amendments up to the project date.
- .3 Where not identified in this specification or indicated in the details, metal flashing shall be installed as detailed and in accordance with the applicable C.R.C.A. 'FL' series specifications and FM Loss Prevention Data Sheet 1-49 (latest issue), to match existing.
- .4 Bed flanges of work in a thick coat of bituminous roofing cement where required for waterproof performance.



- .5 Clean existing reglets to receive counter-flashing at masonry wall upturns.
- .6 Seam flashings with lock seams or soldered seams to prevent water infiltration, to match existing.
- .7 All joints shall be locked, cleated and caulked and all exposed edges shall be hemmed. Make ample allowance for expansion and contraction. All surfaces shall be free of distortions, dents or other marks.
- .8 Metal shall be formed on a bending brake. Shaping, trimming and hard seaming shall be done on bench. Form sections square, true and accurate to size, free from distortion and other defects detrimental to appearance or performance.
- .9 Make allowances for expansion at joints.
- .10 Hem exposed edges on underside 13 mm. Mitre and seal.
- .11 Supply and install dry separation sheeting, between all metal components and existing substrates unless otherwise detailed and between dissimilar metals.
- .12 Prevent entry of water in areas where work is in progress.
- .13 Backpaint uncoated sheet metal in contact with masonry or another metal with bituminous paint applied at a rate of 8 m<sup>2</sup>/L.
- .14 Install work in perfectly straight lines.

### 3.3 FLASHINGS:

- .1 At all wall interfaces, flashings are to finish in reglets in masonry unless otherwise noted.
- .2 Install backer rod and fill reglet with sealant.

### 3.4 DRIP FLASHINGS

- .1 Place drip flashing on top of underlayment at rakes. Secure flashing at 100mm on centre.
- .2 Place drip flashing under roof underlayment at roof eave as detailed. Secure flashing at 100mm on centre.

### 3.5 EAVESTROUGHS AND DOWNPIPES

- .1 Remove existing eavestroughs and downspouts, and replace with new components to match existing.
- .2 Ensure substrate for eavestrough securement is sound. Report deteriorated substrates to the Consultant for instruction.
- .3 Install membranes, flashing and fascia at roof perimeter.



- .4 Install new seamless eavestroughs with slope to drain.
- .5 Install downpipes with locations of downpipes as existing unless indicated otherwise on the Drawings.
- .6 Eavestrough gutters shall be placed below roof slope line so that snow and ice are able to slide clear.
- .7 Slope eavestrough gutters minimum 6 mm in 3 m to downpipes.
- .8 Space gutter supports no greater than 300 mm o/c.
- .9 Install new metal downpipes at locations acceptable to Owner and Consultant.
- .10 Modify connections from new metal eavestroughs to suit new metal downpipes.
- .11 Outlet spouts shall discharge into downpipes and shall be flanged at connection to gutter.
- .12 End caps and outlet spouts for new gutters shall be securely fastened with stainless steel rivets or screws and caulked at joints with clear silicone to prevent leakage.
- .13 Install downpipes and provide goosenecks back to wall.
- .14 Downpipes shall not be fastened to roof surfaces.
- .15 Space downspout fastening brackets no greater than 1500 mm o/c. and anchor securely to existing wall surface with non-ferrous fasteners; minimum three (3) brackets per down pipe.
- .16 Where possible, locate downpipes to drain onto soft landscaped areas and not onto walkways, driveways, etc. Review locations prior to installation.
- .17 Extend down pipes at least 2 m away from rear foundation walls, along fences, as directed.
- .18 Install splash pads below downpipes with slope away from walls.
- .19 Seal all terminations and penetrations; complete details.

### 3.6 SEALANTS:

- .1 Install sealants at junctions with adjoining work and along reglets. Sealant to be installed in strict accordance with manufacturer recommendations.
- .2 Provide bond break to prevent three sided adhesion and appropriate joint profile.

### 3.7 CLEANING AND PROTECTION

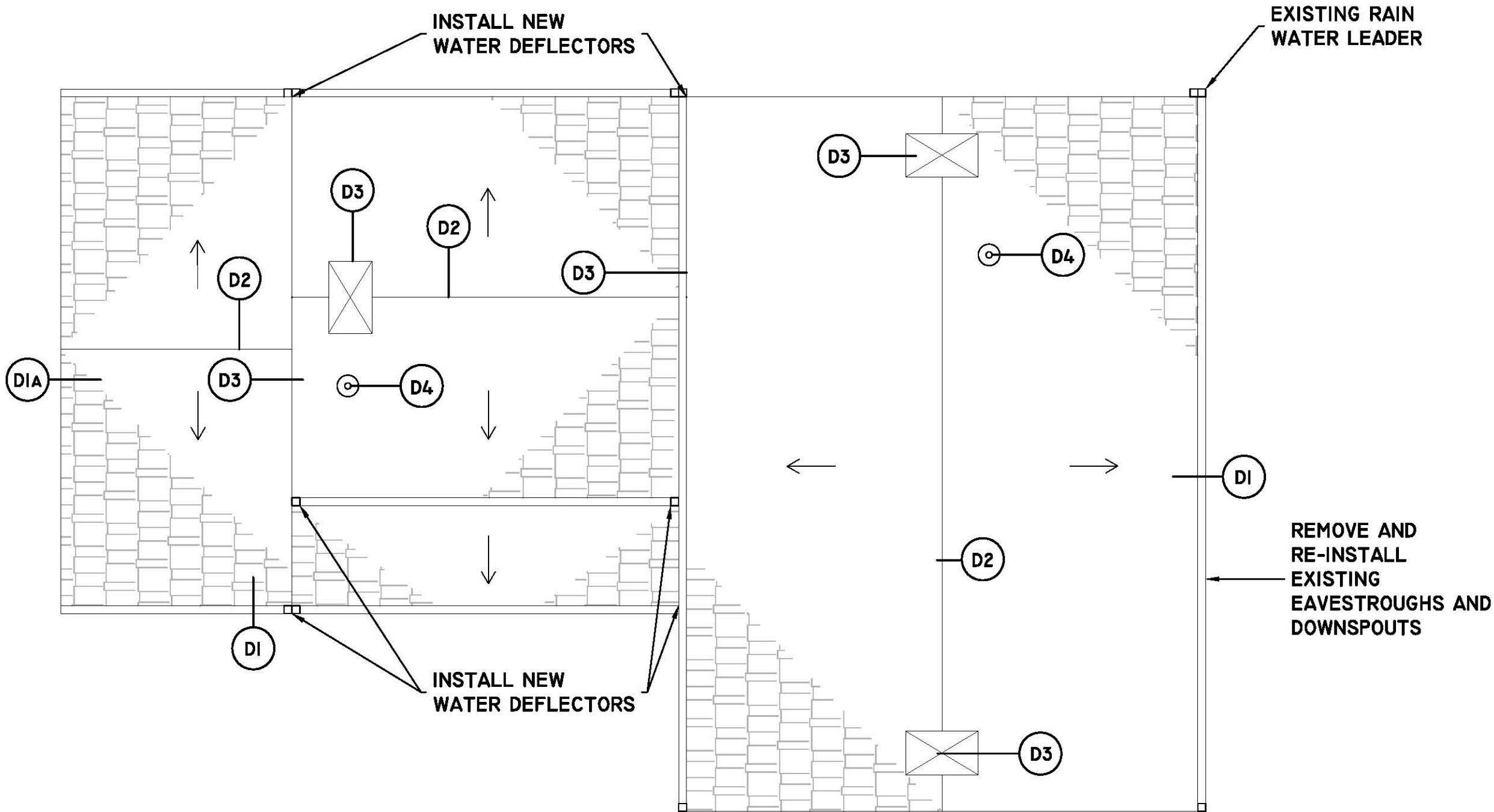
- .1 Clean exposed surfaces, removing substances that might cause discoloration of metal.



- .2 Leave work area free of all foreign and surplus material, obstructions and hindrances. Work area shall be returned to its original condition.
- .3 Maintain the area of work in a clean orderly manner, removing scraps, debris and other superfluous matter on a daily basis.

**END OF SECTION 07 62 00**





**LEGEND:**

- CHIMNEY
- PLUMBING PIPE W/NEW SLEEVE
- SLOPE DIRECTION
- DETAIL NO.
- MASONRY CHIMNEY

**NOTES:**

- LOCATIONS OF SITE FEATURES ARE APPROXIMATE AND MAY VARY FROM THAT SHOWN.
- THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION. CONTRACTOR TO VERIFY QUANTITIES AND DIMENSIONS ON THE WORK.

**DRAWING TITLE:**

ROOF PLAN

**CLIENT ADDRESS:**

PEEL DISTRICT SCHOOL BOARD  
933 CENTRAL PARKWAY  
MISSISSAUGA, ON

**PROJECT LOCATION:**

5520 HURONTARIO STREET  
MISSISSAUGA, ON

**PROJECT No:** 22102

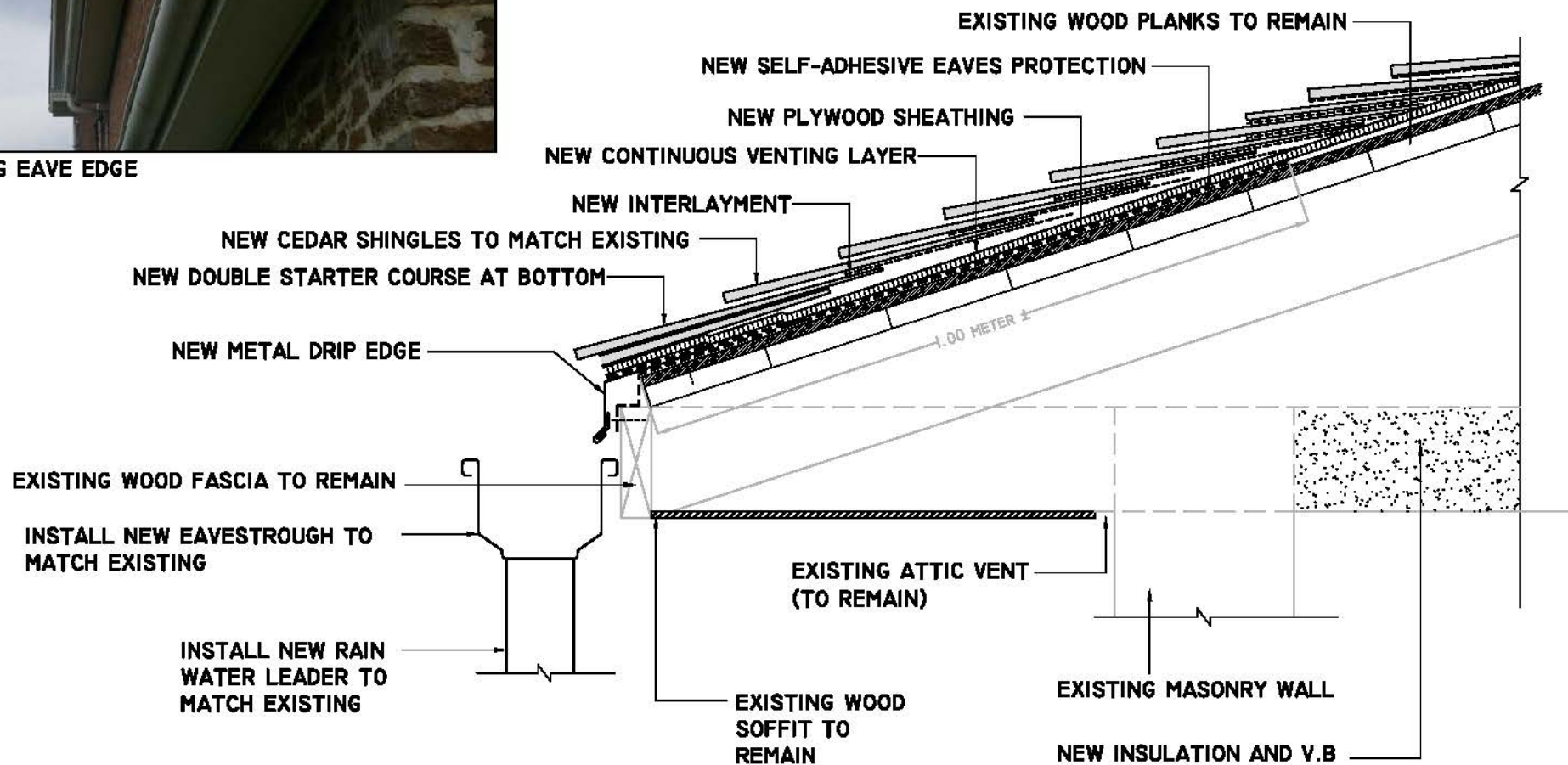
<b>DATE:</b> FEB. 2018	<b>DRAWING No:</b>  1
<b>SCALE:</b> NTS	
<b>DRAWN BY:</b> AK	
<b>APPROVED BY:</b> JR	







EXISTING EAVE EDGE



DRAWING TITLE:

TYPICAL EAVES EDGE DETAIL

PROJECT NUMBER: 22102

CLIENT ADDRESS:

PEEL DISTRICT SCHOOL BOARD  
933 CENTRAL PARKWAY  
MISSISSAUGA, ON

PROJECT LOCATION:

5520 HURONTARIO STREET  
MISSISSAUGA, ON

DATE: FEB. 2018

SCALE: NTS

DRAWN BY: JE

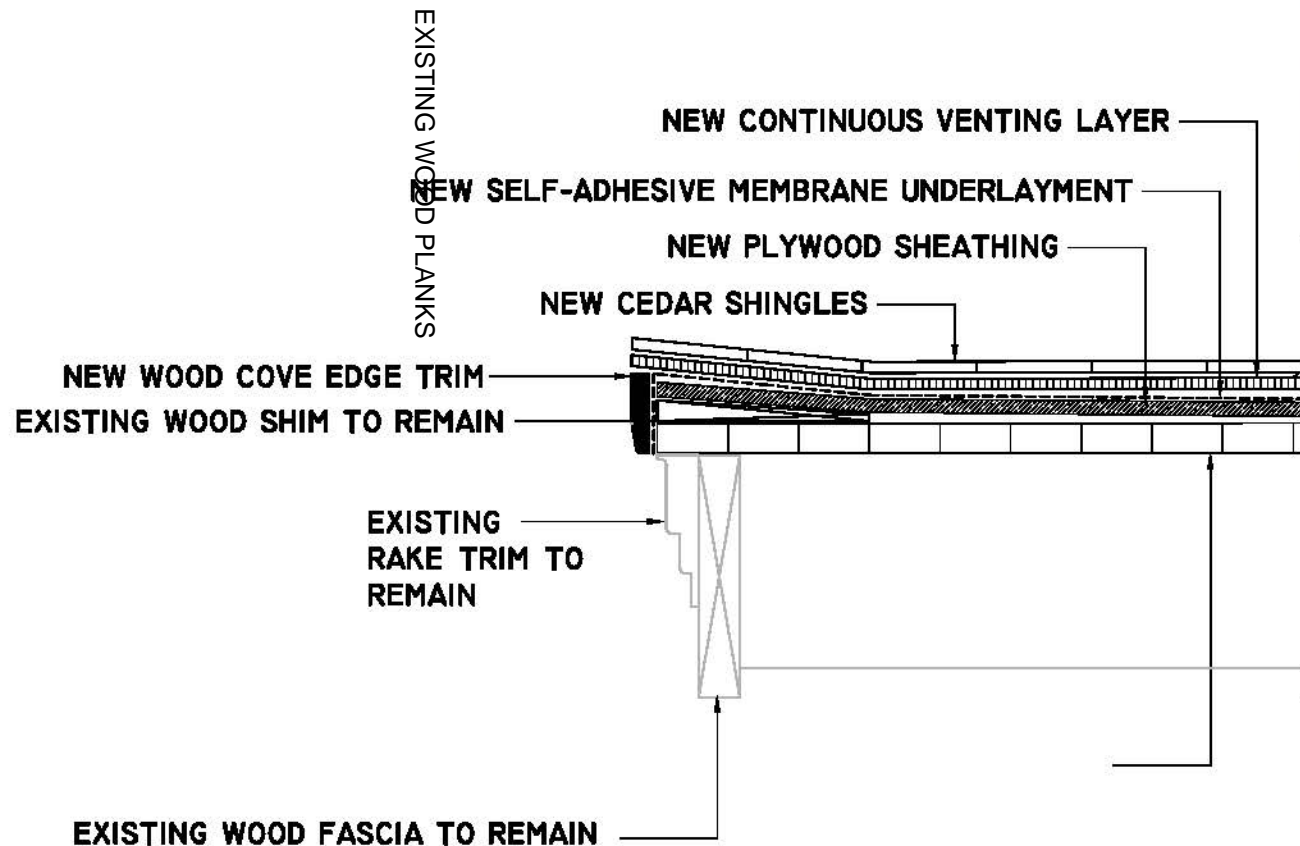
APPROVED BY: JR

DETAIL No:


DI



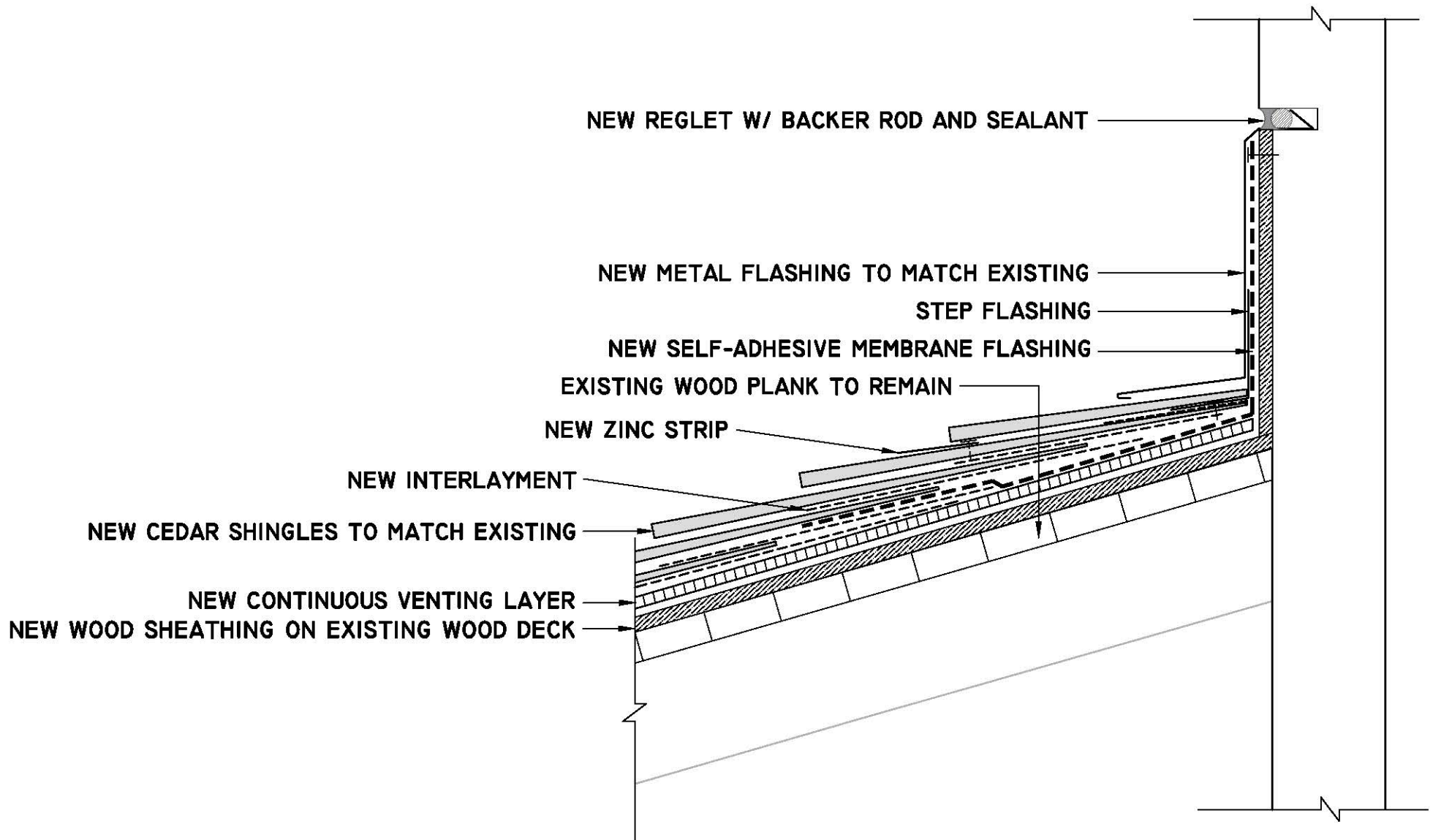




EXISTING RAKE EDGE

<b>DRAWING TITLE:</b>  <b>TYPICAL RAKE EDGE DETAIL</b>	<b>CLIENT ADDRESS:</b>  <b>PEEL DISTRICT SCHOOL BOARD 933 CENTRAL PARKWAY MISSISSAUGA, ON</b>	<b>PROJECT LOCATION:</b>  <b>5520 HURONTARIO STREET MISSISSAUGA, ON</b>	<b>DATE:</b> FEB. 2018 <b>SCALE:</b> NTS <b>DRAWN BY:</b> AK <b>APPROVED BY:</b> JR <b>DETAIL No:</b> <b>DIA</b>
<b>PROJECT NUMBER:</b> 22102			 <b>JTB CONSULTANTS</b> <small>Occupational Hygiene &amp; Remediation</small>





DRAWING TITLE:

WALL UPTURN DETAIL

PROJECT NUMBER: 22102

CLIENT ADDRESS:

PEEL DISTRICT SCHOOL BOARD  
933 CENTRAL PARKWAY  
MISSISSAUGA, ON

PROJECT LOCATION:

5520 HURONTARIO STREET  
MISSISSAUGA, ON

DATE: FEB. 2018

SCALE: NTS

DRAWN BY: JE

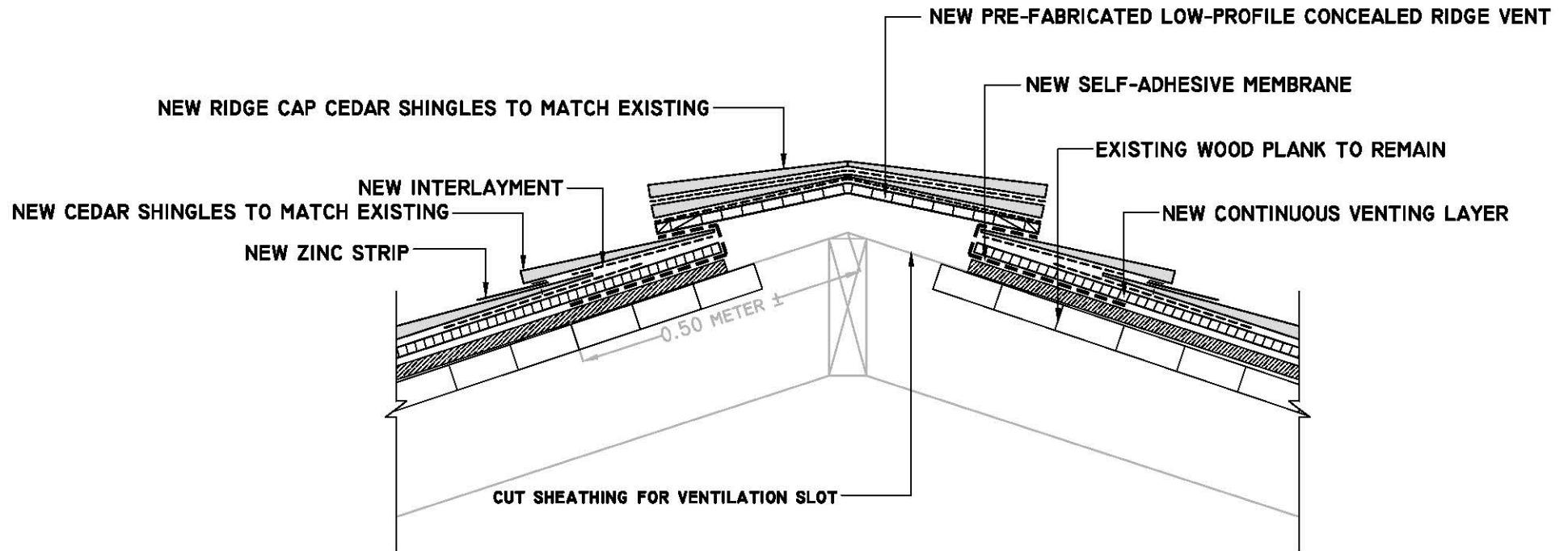
APPROVED BY: JR

DETAIL No:

D2







DRAWING TITLE:

RIDGE DETAIL

PROJECT NUMBER: 22102

CLIENT ADDRESS:

PEEL DISTRICT SCHOOL BOARD  
933 CENTRAL PARKWAY  
MISSISSAUGA, ON

PROJECT LOCATION:

5520 HURONTARIO STREET  
MISSISSAUGA, ON

DATE: FEB. 2018

SCALE: NTS

DRAWN BY: JE

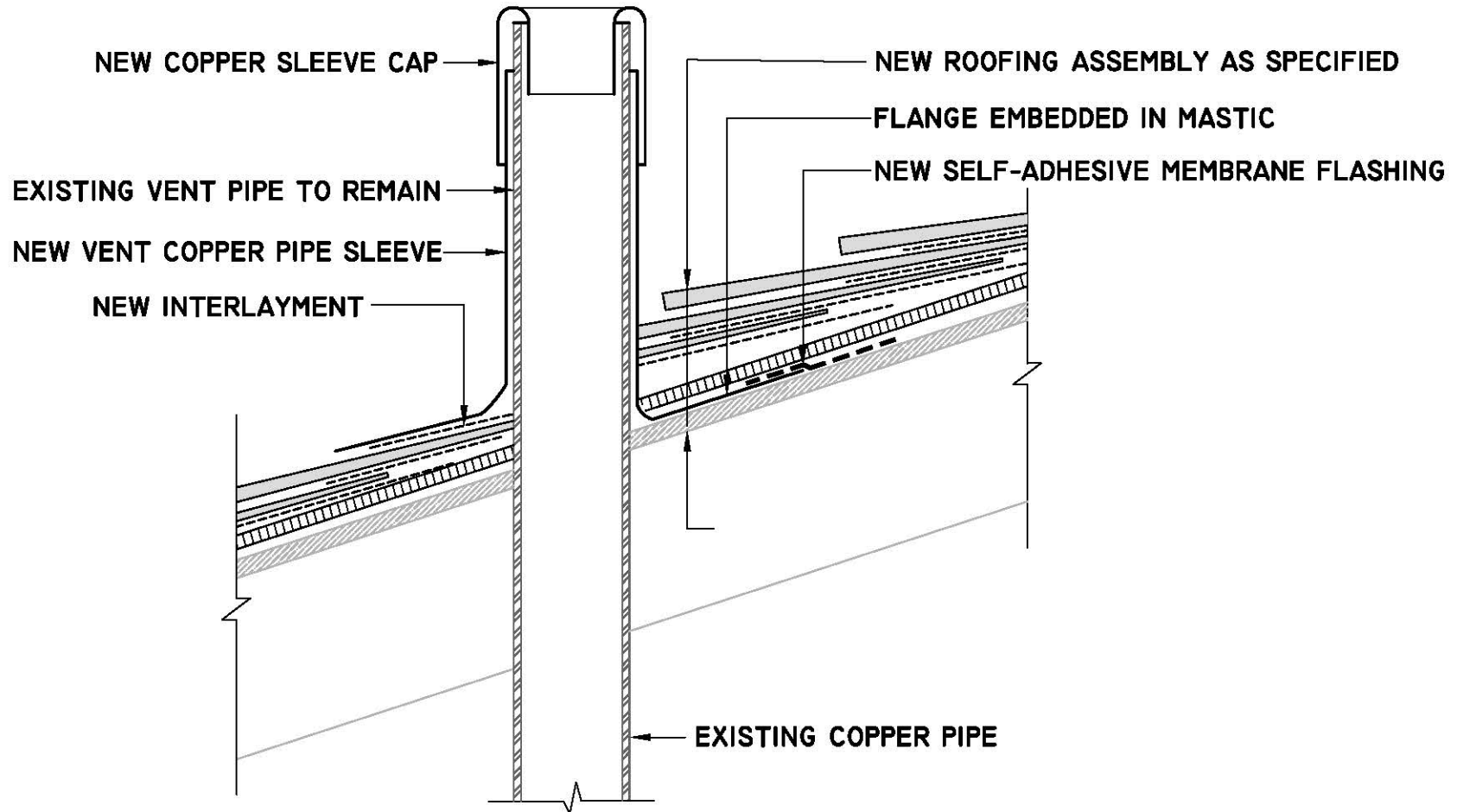
APPROVED BY: JR

DETAIL No:

D3







DRAWING TITLE:

PLUMBING VENT DETAIL

PROJECT NUMBER: 22102

CLIENT ADDRESS:

PEEL DISTRICT SCHOOL BOARD  
933 CENTRAL PARKWAY  
MISSISSAUGA, ON

PROJECT LOCATION:

5520 HURONTARIO STREET  
MISSISSAUGA, ON

DATE: FEB. 2018

SCALE: NTS

DRAWN BY: JE

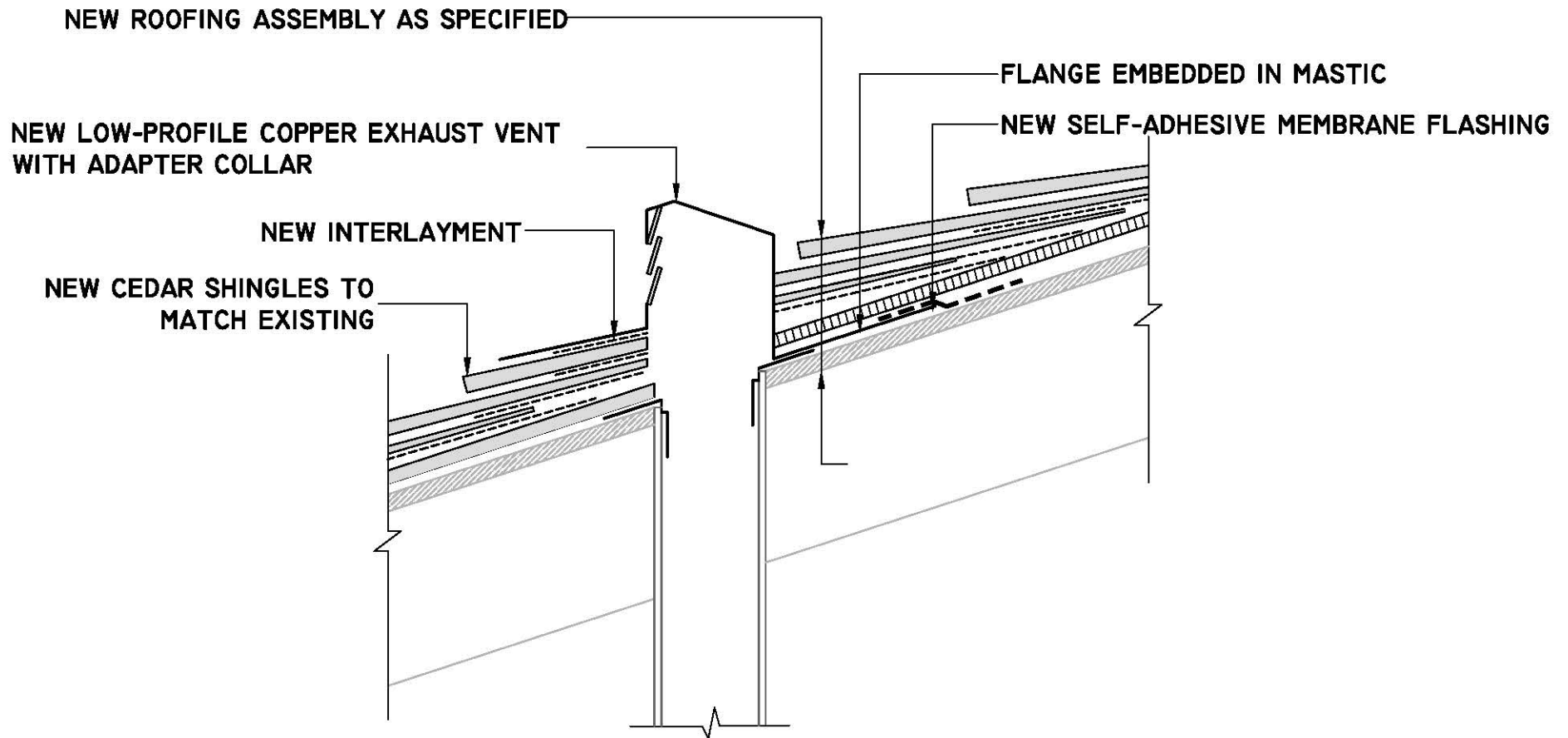
APPROVED BY: JR


DETAIL No:

D4







DRAWING TITLE:	CLIENT ADDRESS:	PROJECT LOCATION:	DATE: FEB. 2018	DETAIL No:
EXHAUST VENT DETAIL (IF REQUIRED)	PEEL DISTRICT SCHOOL BOARD 933 CENTRAL PARKWAY MISSISSAUGA, ON	5520 HURONTARIO STREET MISSISSAUGA, ON	SCALE: NTS	D5
PROJECT NUMBER: 22102			DRAWN BY: JE	
			APPROVED BY: JR	
			 <b>CONSULTANTS</b> Occupational Hygiene & Environment	





## COMMITTEE OF ADJUSTMENT NOTICE OF PUBLIC HEARING

File: "A" 97/18  
Ward 1

The Committee has set **Thursday March 8, 2018 at 4:00 pm** in the **Mississauga Civic Centre, COUNCIL CHAMBERS**, 2nd Floor, 300 City Centre Drive, Mississauga, Ontario for the public hearing on the following matter:

**TYLER GOSSE** is the owner of **29 PORT STREET WEST** being Part of Lot 3, Plan 300W, zoned **R15-1 - Residential**. The applicant requests the Committee to authorize a minor variance to permit the construction of a detached garage and a second floor addition on the existing dwelling proposing:

1. A detached garage area of 48.50m<sup>2</sup> (approx. 522.05sq.ft) whereas By-law 0225-2007, as amended, permits a maximum detached garage area of 30m<sup>2</sup> (approx. 322.92sq.ft) in this instance;
2. A detached garage height of 4.78m (approx. 15.68ft) whereas By-law 0225-2007, as amended, permits a maximum detached garage height of 4.60m (approx. 15.09ft) in this instance;
3. A side yard of 1.41m (approx. 4.63ft) whereas By-law 0225-2007, as amended, requires a minimum side yard of 3.00m (approx. 9.84ft) in this instance;
4. Two garages (a carport and a detached garage) whereas By-law 0225-2007, as amended, permits only 1 detached or 1 attached garage per lot in this instance; and
5. A carport having a rectangular area of 3.65m by 4.61m (approx. 11.98ft by 15.12ft) whereas By-law 0225-2007, as amended, requires a minimum unobstructed area for parking of 2.75m by 5.2m by 2.0m (approx. 9.02ft by 17.06ft by 6.56ft) in this instance.

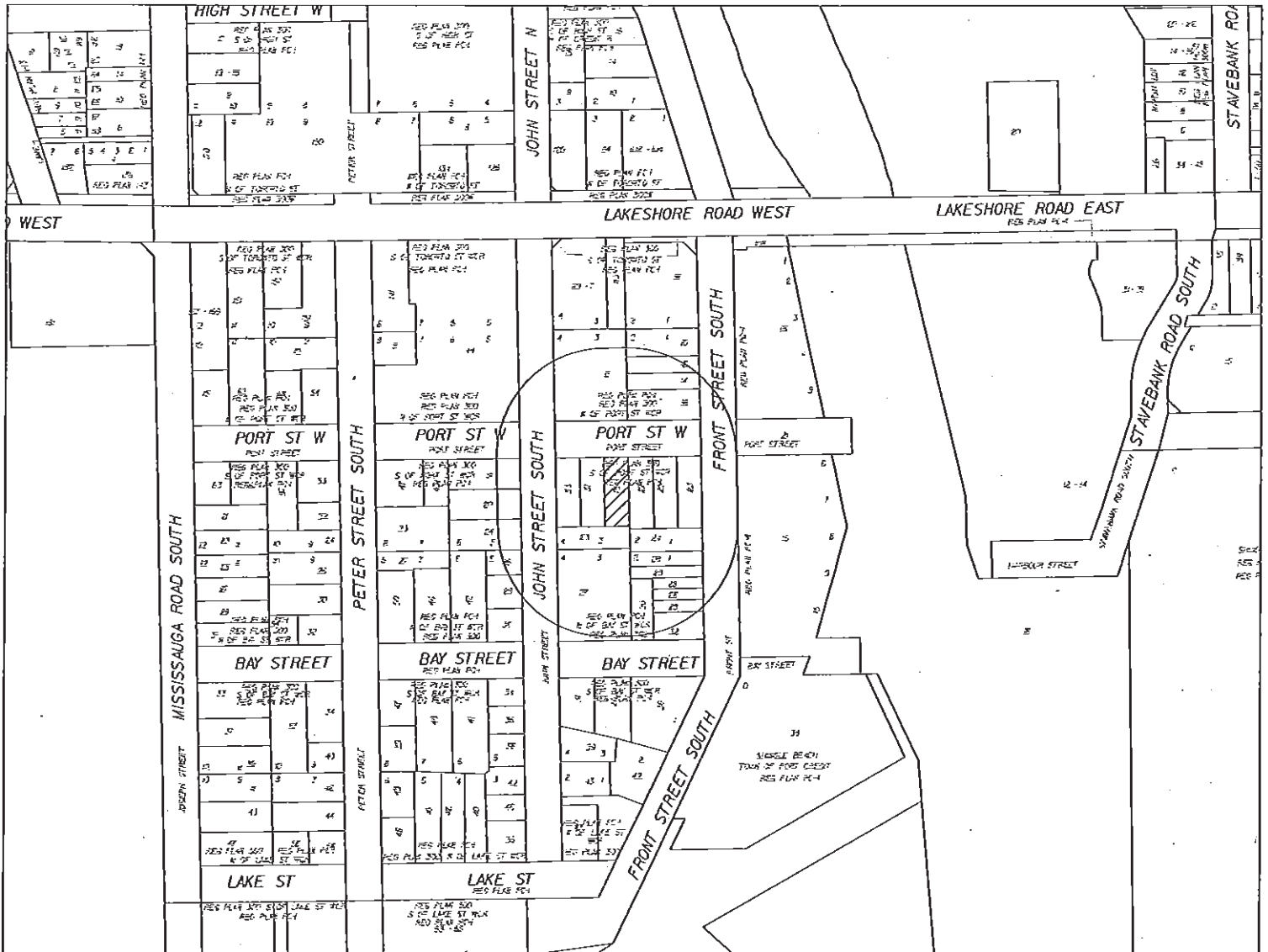
This notice is sent to you because you are the applicant, the authorized agent or the assessed owner of a neighbouring property within 60m (200ft) of the subject property. Should you have any comments on the application, you are invited to attend the public hearing to express your views. If it is inconvenient for you to attend the hearing, signed written submissions shall be accepted by the Secretary-Treasurer by fax at (905) 615-3950 or by e-mail at [committee.adjustment@mississauga.ca](mailto:committee.adjustment@mississauga.ca). Please include your name, your address and application number or address of the property you are providing comments on. **To allow all Committee members the opportunity to review and consider your comment in advance of the hearing please submit all comments no later than the Monday before the hearing.**

If you wish to be notified of the decision of the Committee you must submit a written request to the Secretary-Treasurer. This will also entitle you to be advised of any future Ontario Municipal Board proceedings.

For more information on this matter visit [www.mississauga.ca/portal/residents/cofa](http://www.mississauga.ca/portal/residents/cofa), call 905-615-3200 x2408, or email [committee.adjustment@mississauga.ca](mailto:committee.adjustment@mississauga.ca).

Your comments are collected under the legal authority of the Planning Act R.S.O. 1990, Chapter c.P.13, as amended. Your comments regarding this application become the property of the City of Mississauga and will become part of the decision making process of the application. Pursuant to Section 27 of the Municipal Freedom of Information and Protection of Privacy Act, R.S.O. 1990, c.M56, as amended, public feedback to planning proposals is considered a public record and will be disclosed to any individual (including being posted on the internet) upon request in accordance with Section 27 of the Municipal Freedom of Information and Protection of Privacy Act, R.S.O. 1990, c.M56, as amended. Questions about this collection should be directed to the Secretary-Treasurer, Committee of Adjustment, Office of the City Clerk, 300 City Centre Drive, Mississauga ON L5B 3C1 or (905) 615-3200 x2408.





## Committee of Adjustment

Subject Property : 29 PORT ST. W.

File Number : A097/18

Z Area : 8

Agent : W.E. OUGHTRED & ASSOCIATES INC.





**RECEIVED**

FEB 05 2018

City of Mississauga  
Committee of Adjustment

7.7 - 3

**MISSISSAUGA**File No. "A" 097/18The Planning Act, R.S.O. 1990, c.P.13, as amended  
**APPLICATION FOR MINOR VARIANCE**

The undersigned hereby applies to the Committee of Adjustment for the City of Mississauga under Section 45 of the Planning Act, R.S.O., 1990, c.P.13, as amended, for relief as described in this application from Zoning By-law No. 0225-2007, as amended.

**1.0 Applicant Information**

Property Owner: Tyler Gosse

Address: 29 Port Street West

City: Mississauga

Postal Code: L5H 1C8

Phone:

Fax:

Email:

**2.0 Authorized Agent Information**

Authorized Agent: W. E. Oughtred and Associates Inc.

Address: Suite 28, 2140 Winston Park Drive

City: Oakville

Postal Code: L6H 5V5

Phone: 905-822-5644

Fax: 905-829-0853

Email: [williamoughtred@on.aibn.com](mailto:williamoughtred@on.aibn.com)**3.0 Land Use, Official Plan and Zoning By-law Designation**Official Plan Designation<sup>1</sup> (e.g. Residential Low Density, Commercial, Employment)

Residential Low Density

Zoning By-law Designation<sup>1</sup> (e.g. Residential (R1, R2, RM1, RM2, etc.) Commercial (e.g. C1, C2, etc.)

R15-1

Existing Use of the Subject Lands:

Single Family residential dwelling

Proposed Use of the Subject Lands:

Single family detached dwelling

<sup>1</sup> Please consult with the Planning and Building Department Customer Service Counter on the 3<sup>rd</sup> Floor of City Hall to identify the Official Plan Designation and Zoning By-law Designation or online at [www.mississauga.ca/portal/residents/officialdocuments](http://www.mississauga.ca/portal/residents/officialdocuments)



**4.0 Relief Required from the Zoning By-law**

(Please Identify the relief you are requesting and the relevant Zoning By-law standard/requirement)

see attached

**5.0 Why is it not possible to comply with the Zoning By-law Requirements**

(Please describe the request and explain why it is not possible to comply with the provisions set out in the City's Zoning By-law. If additional space is required, attach a separate sheet/letter.)

See attached

**6.0 Legal Description/ Location of Subject Property (Street Address, Lot Number and Registered Plan Number)**

(e.g. 123 Street Drive and Lot A, Plan M-1234)

Part Lot 3, Plan 300W

29 Port Street West

**7.0 Dimension of the Subject Property**

(This is for the entire property, not a portion of the property that may be the subject of the application)

Lot Frontage (metres/ feet): 13.41m

Lot Depth (metres/ feet): 38.10m

Lot Area (m<sup>2</sup>, ft<sup>2</sup>, hectares, acres): 511.96m<sup>2</sup> (as per City records)**8.0 Type of access to the subject lands (check the appropriate box)**Municipal Road ☒Private Road ☐Provincial Highway ☐Other ☐

If other, please specify by what means:



The applicant requests the Committee to authorize a minor variance to permit the construction of a detached garage and a second floor addition on the existing dwelling proposing:

1. Two garages; one being a carport and the other a detached garage, whereas By-law 0225-2007, as amended permits only one (1) detached garage or one (1) attached garage (car port) per lot;
2. to permit a carport having a rectangular area of 3.65m x 4.61m; whereas By-law 0225-2007, as amended requires a minimum unobstructed area for parking of 2.75m x 5.2m x 2.0m;
3. to permit a detached garage area of 48.5m<sup>2</sup>, whereas By-law 0225-2007, as amended permits a maximum garage area of 30m<sup>2</sup>;
4. to permit a detached garage height of 4.78m, whereas By-law 0225-2007, as amended, permits a maximum garage height from established grade of 4.6m;
5. to permit a sideyard setback of 1.41m, whereas By-law 0225-2007, as amended, requires a minimum sideyard setback of 3.0m, in this instance.

The proposal includes a second floor addition, a portion of which is cantilevered over the driveway, and the removal and reconstruction of the existing detached garage. The portion of the driveway below the cantilevered area is considered a carport (garage) and thus requires a variance. Further the garage replacement is similar to that that is being removed. The reduced sideyard setback is to the cantilevered portion of the dwelling.



9.0 Particulars of all <b>EXISTING</b> building(s) and structure(s) on the subject land. Please specify:	
a) type of building(s) or structure(s)	b) gross floor area or dimensions of the building(s) or structure(s)
c) the front , rear and side yard setbacks	d) height of the building or structure
one storey detached dwelling and detached garage	

10.0 Particulars of all <b>PROPOSED</b> building(s) and structure(s) on the subject land. Please specify:	
a) type of building(s) or structure(s)	b) gross floor area or dimensions of the building(s) or structure(s)
c) the front , rear and side yard setbacks	d) height of the building or structure
Second storey addition to existing dwelling and reconstruction of detached garage	

11.0 Property Information	
The date the subject land was acquired by the current owner: 2015	
The date the existing buildings and structures were constructed on the subject land: 1950's	
The length of time the existing uses of the subject land have continued: since construction	

12.0 Conservation Authority Review Information		
Has the Conservation Authority reviewed the proposed minor variance as it applies to the subject land?		
Yes <input type="checkbox"/>	No <input type="checkbox"/>	Not Applicable <input checked="" type="checkbox"/> (as determined by the relevant Conservation Authority)
Has the Conservation Authority review fee been paid?	Yes <input type="checkbox"/>	No <input type="checkbox"/>

13.0 Municipal Services provided to the subject lands: (check the appropriate boxes)	
<input checked="" type="checkbox"/> Water	If not available, by what means is it provided:
<input checked="" type="checkbox"/> Sanitary Sewers	If not available, by what means is it provided:
<input checked="" type="checkbox"/> Storm Sewers	If not available, by what means is it provided:



**14.0 Other Planning Applications**

If known, is or was the subject land the subject of any of the following development type applications:

Official Plan Amendment	Yes <input type="checkbox"/>	No <input type="checkbox"/>	File No.
Zoning By-law Amendment	Yes <input type="checkbox"/>	No <input type="checkbox"/>	File No.
Plan of Subdivision	Yes <input type="checkbox"/>	No <input type="checkbox"/>	File No.
Site Development Plan	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	File No. SPI 17-167
Certificate of Occupancy	Yes <input type="checkbox"/>	No <input type="checkbox"/>	File No.
Building Permit	Yes <input type="checkbox"/>	No <input type="checkbox"/>	File No.
Consent	Yes <input type="checkbox"/>	No <input type="checkbox"/>	File No.
Minor Variance (Committee of Adjustment)	Yes <input type="checkbox"/>	No <input type="checkbox"/>	File No.

**DECLARATION OF OWNER OR AUTHORIZED AGENT**

I, Arlene Beaumont of the \_\_\_\_\_  
 (Print Name of Owner or Authorized Agent)

City of Mississauga in the Region of Peel  
 (e.g. City of Mississauga) (e.g. Region of Peel)

Solemnly declare that all above statements and the statements contained in all of the exhibits transmitted herewith are true, and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as it made under oath and by virtue of the CANADA EVIDENCE ACT.

For the purposes of the FREEDOM OF INFORMATION AND PROTECTION OF PRIVACY ACT, I authorize and consent to the use by or the disclosure to any person or public body of any personal information that is collected under the authority of the PLANNING ACT for the purposes of processing this application and correspondence purposes. Questions about this collection should be directed to the Committee of Adjustment Secretary-Treasurer, City of Mississauga, 300 City Centre Drive, Mississauga, Ontario L5B 3C1, telephone 905-615-3200 ext. 5433.

NOTE: The Signature of applicant or authorized agent must be witnessed by a Commissioner, etc.  
 A Commissioner is available in the Committee of Adjustment office, if needed.

Declared before me at the CITY of MISSISSAUGA  
 in the REGION of PEEL  
 this 02 day of FEB AD 2018



A Commissioner, etc



Signature of applicant or authorized agent

☐ I have authority to bind the Corporation

Signature of applicant or authorized agent

☐ I have authority to bind the Corporation

Donabelle Simtha Higgs, a Commissioner, etc.,  
 Province of Ontario, for the  
 Corporation of the City of Mississauga.  
 Expires September 24, 2020.

Donabelle Simtha Higgs, a Commissioner, etc.,  
 Province of Ontario, for the  
 Corporation of the City of Mississauga.  
 Expires September 24, 2020.



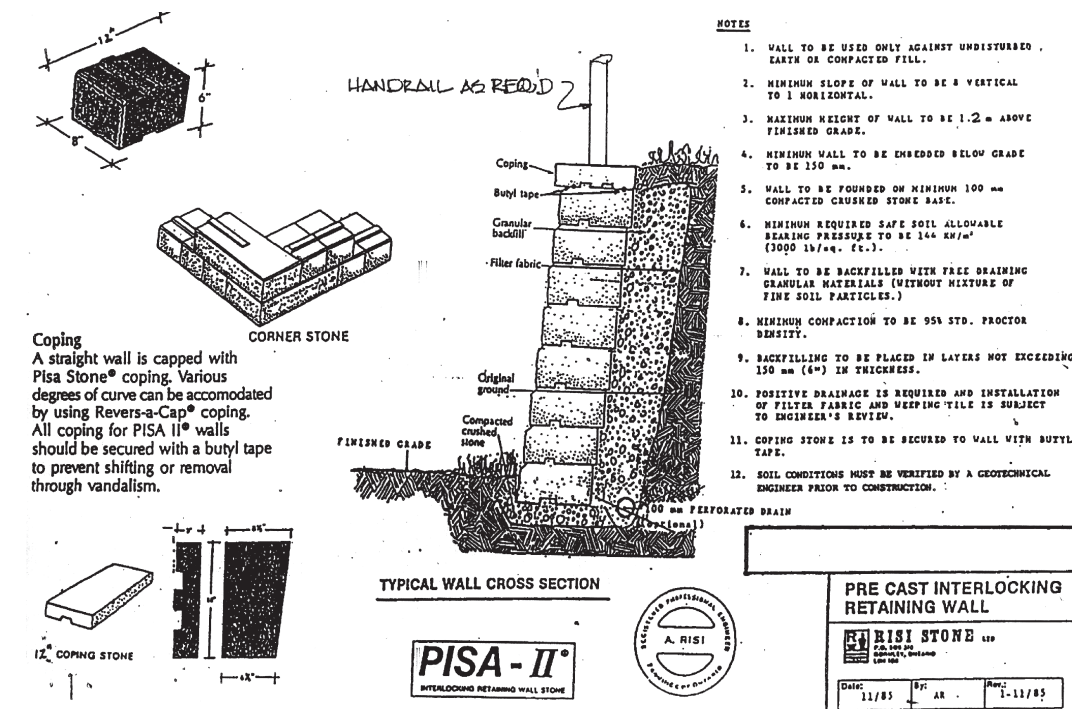




**METRIC**  
DISTANCES SHOWN ON THIS PLAN ARE  
IN METRES AND CAN BE CONVERTED  
TO FEET BY DIVIDING BY 0.3048

<b>SITE STATISTICS</b>	
ADDRESS:	29 PORT STREET WEST
ZONING:	R15-1
LOT AREA	510.95 m <sup>2</sup>
LOT FRONTAGE	13.41 m
AVERAGE GRADE	79.83
HEIGHT TO HIGHEST RIDGE	8.83 m
HEIGHT TO EAVE	6.7 m
<b>GFA - INFILL RESIDENTIAL</b>	
GROUND FLOOR	74.43 m <sup>2</sup>
SECOND FLOOR	103.69 m <sup>2</sup>
GARAGE	48.49 m <sup>2</sup>
<b>TOTAL GFA INFILL RESIDENTIAL</b>	<b>226.61 m<sup>2</sup></b>
<b>LOT COVERAGE</b>	
DWELLING FOOTPRINT (INCL GARAGE)	152.13 m <sup>2</sup>
PORCH	17.01 m <sup>2</sup>
DECKS (>THAN 0.61M HEIGHT, AND 10M2)	12.8 m <sup>2</sup>
OTHER (BALCONY, EAVES >0.45M, FLOOR PROJECTIONS)	2.78 m <sup>2</sup>
<b>TOTAL LOT COVERAGE:</b>	<b>184.72 m<sup>2</sup></b>
	<b>= 36%</b>

<b>LANDSCAPED AREA:</b>	
FRONT YARD AREA	104.2 m <sup>2</sup>
DRIVEWAY AREA:	56.9 m <sup>2</sup>
<b>TOTAL LANDSCAPED AREA:</b>	<b>47.3 m<sup>2</sup></b>
	<b>= 45%</b>



### Average grade calculations

	LOCATION	EXIST. GRADE LEFT SIDE	EXIST. GRADE RIGHT SIDE
1	CENTRE LINE OF ROAD	79.25	79.66
2	FRONT CORNER	79.43	79.93
3	MIN. FRONT SETBACK	79.73	80.20
4	15 m BACK	80.20	80.24
SUM OF GRADE ELEVATIONS=		638.64	
AVERAGE GRADE [metres]=		79.83	

### WATERMAINS AND WATER SERVICE

ALL MATERIALS AND CONSTRUCTION METHODS MUST CORRESPOND TO THE CURRENT PEEL PUBLIC WORKS STANDARDS AND SPECIFICATIONS

WATERMAIN AND/OR WATER SERVICE MATERIALS 100 mm (4") AND LARGER MUST BE PVC ASTM B88-49 SIZE 50 mm (2") AND SMALLER MUST BE COPPER K ASTM B88-49.

WATERMAINS AND/OR WATER SERVICES ARE TO HAVE A MINIMUM COVER OF 1.7 m (5'6") WITH A MINIMUM HORIZONTAL SPACING OF 1.2 m (4') FROM THEMSELVES AND ALL OTHER UTILITIES

PROVISIONS FOR FLUSHING WATER LINE PRIOR TO TESTING, ETC. MUST BE PROVIDED WITH AT LEAST A 50 mm (2") OUTLET ON 100 mm (4") AND LARGER LINES. COPPER LINES ARE TO HAVE FLUSHING POINTS AT THE END, THE SAME SIZE AS THE LINE. THEY MUST ALSO BE HOSED OR PIPED TO ALLOW THE WATER TO DRAIN ONTO A PARKING LOT OR DOWN A DRAIN. ON FIRE LINES, FLUSHING OUTLET TO BE 100 mm (4") DIAMETER MINIMUM ON A HYDRANT

ALL CURB STOPS TO BE 3.0 m (10') OFF THE FACE OF THE BUILDING UNLESS OTHERWISE NOTED

HYDRANT AND VALVE SET TO REGION STANDARD 1-6-1 DIMENSION A AND B, 0.7 m (2') AND 0.9 m (3') AND TO HAVE PUMPER NOZZLE

WATERMAINS TO BE INSTALLED TO GRADES AS SHOWN ON APPROVED SITE PLAN. COPY OF GRADE SHEET MUST BE SUPPLIED TO INSPECTOR PRIOR TO COMMENCEMENT OF WORK, WHERE REQUESTED BY INSPECTOR

WATERMAINS MUST HAVE A MINIMUM CLEARANCE OF 0.3 m (1'2") OVER / 0.5 m (20") UNDER SEWERS AND ALL OTHER UTILITIES WHEN CROSSING

ALL PROPOSED WATER PIPING MUST BE ISOLATED FROM EXISTING LINES IN ORDER TO ALLOW INDEPENDENT PRESSURE TESTING AND CHLORINATING FROM EXISTING SYSTEMS

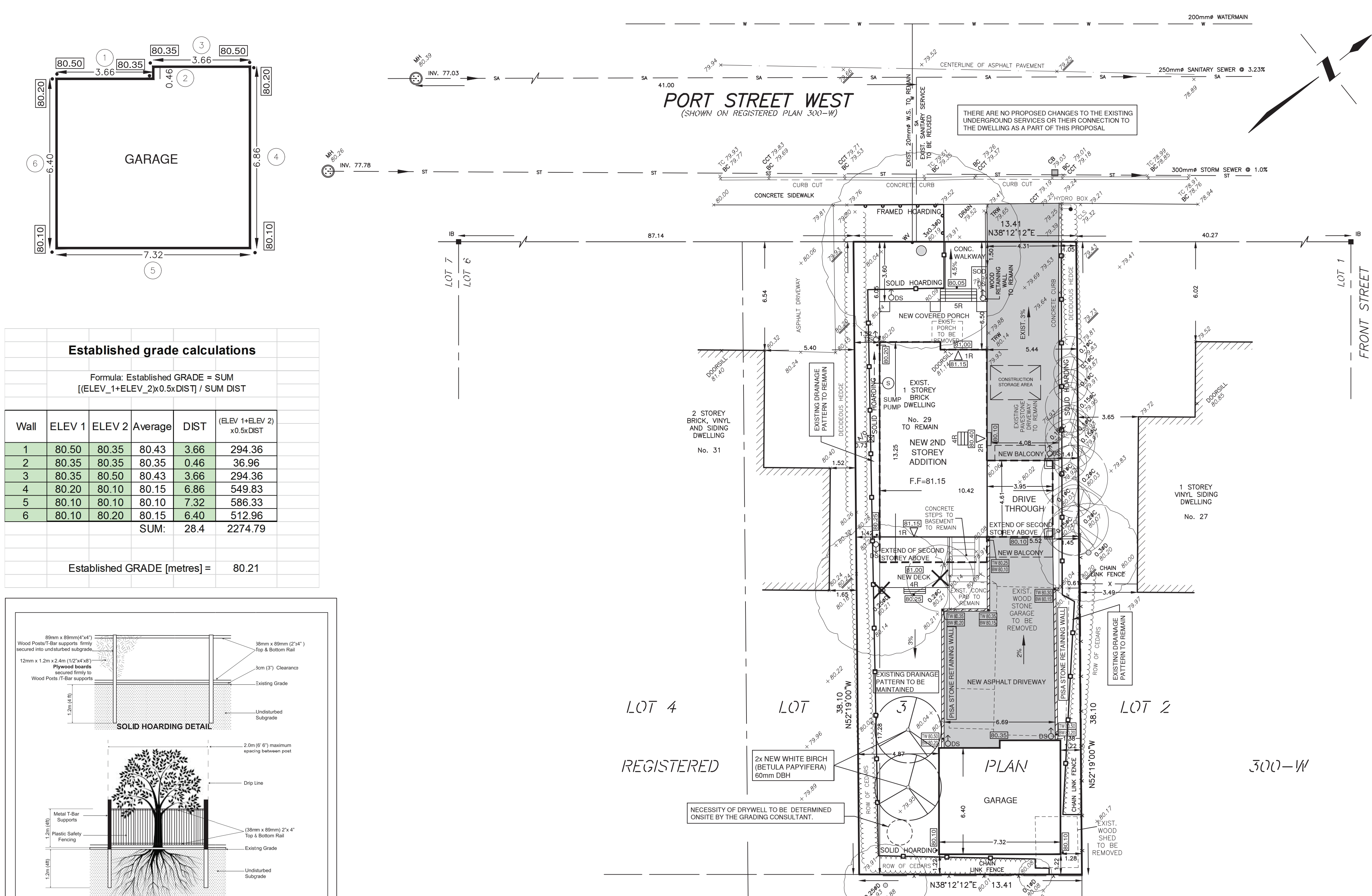
ALL LIVE TAPPING AND OPERATION OF REGION WATER VALVES SHALL BE ARRANGED THROUGH THE REGIONAL INSPECTOR ASSIGNED OR BY CONTACTING THE OPERATIONS AND MAINTENANCE DIVISION

LOCATION OF ALL EXISTING UTILITIES IN THE FIELD TO BE ESTABLISHED BY THE CONTRACTOR

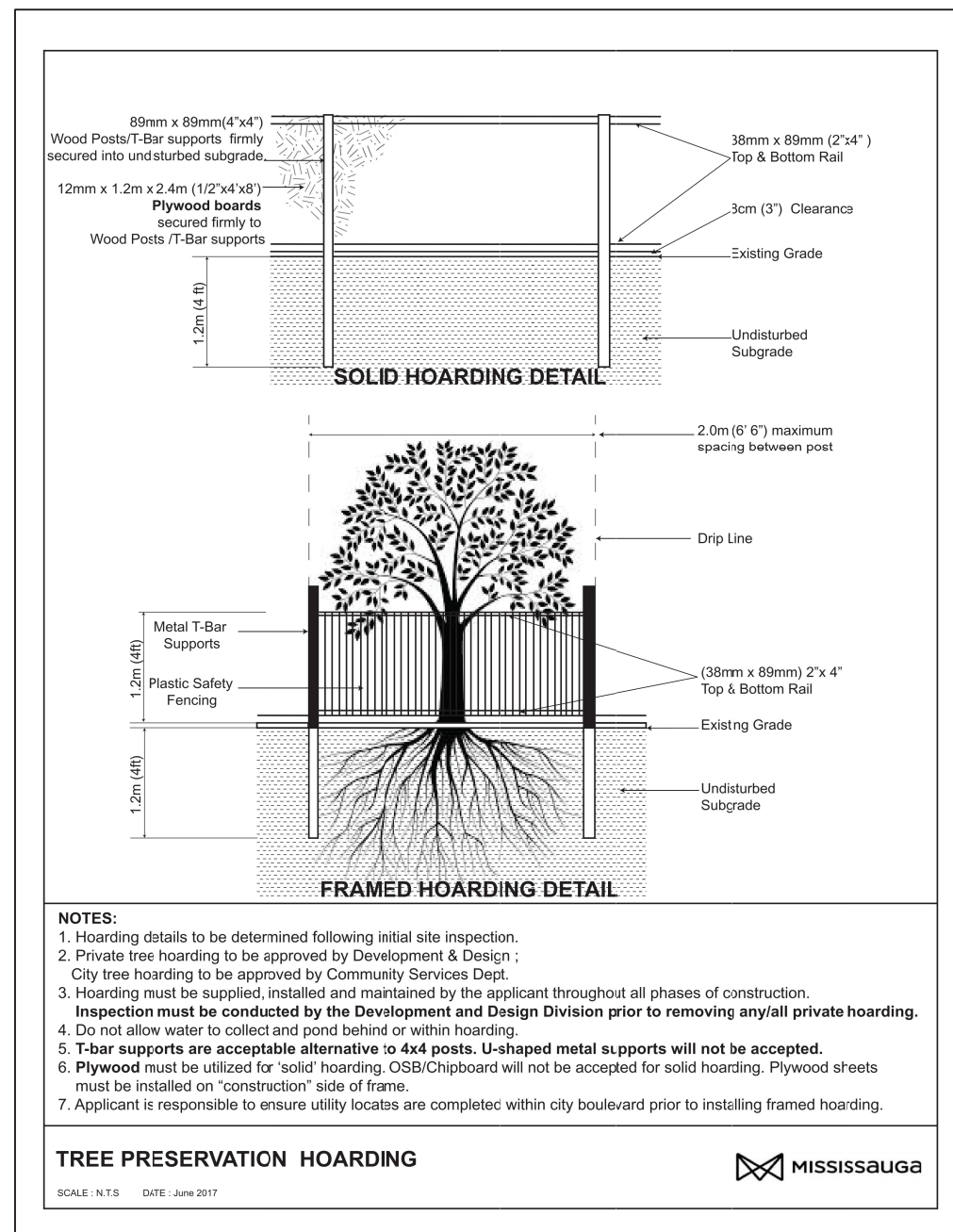
THE CONTRACTOR(S) SHALL BE SOLELY RESPONSIBLE FOR LOCATES, EXPOSING, SUPPORTING AND PROTECTING OF ALL UNDERGROUND AND OVERHEAD UTILITIES AND STRUCTURES EXISTING AT THE TIME OF CONSTRUCTION IN THE AREA OF THEIR WORK. WHETHER SHOWN ON THE PLANS OR NOT AND FOR ALL REPAIRS AND CONSEQUENCES RESULTING FROM DAMAGE TO SAME

THE CONTRACTOR(S) SHALL BE SOLELY RESPONSIBLE TO GIVE 72 HOURS WRITTEN NOTICE TO THE UTILITIES PRIOR TO CROSSING SUCH UTILITIES. FOR THE PURPOSE OF INSPECTION BY THE CONCERNED UTILITY. THIS INSPECTION WILL BE FOR THE DURATION OF THE CONSTRUCTION, WITH THE CONTRACTOR RESPONSIBLE FOR ALL COSTS ARISING FROM SUCH INSPECTION

ALL PROPOSED WATER PIPING MUST BE ISOLATED THROUGH A TEMPORARY CONNECTION THAT SHALL INCLUDE AN APPROPRIATE CROSS-CONNECTION CONTROL DEVICE, CONSISTENT WITH THE DEGREE OF HAZARD, FOR BACKFLOW PREVENTION OF THE ACTIVE DISTRIBUTION SYSTEM, CONFORMING TO REGION OF PEEL STANDARDS 1-7-7 OR 1-7-8



<b>Established grade calculations</b>					
Formula: Established GRADE = SUM [(ELEV_1+ELEV_2)x0.5xDIST] / SUM DIST					
Wall	ELEV 1	ELEV 2	Average	DIST	(ELEV 1+ELEV 2) x0.5xDIST
1	80.50	80.35	80.43	3.66	294.36
2	80.35	80.35	80.35	0.46	36.96
3	80.35	80.50	80.43	3.66	294.36
4	80.20	80.10	80.15	6.86	549.83
5	80.10	80.10	80.10	7.32	586.33
6	80.10	80.20	80.15	6.40	512.96
			SUM:	28.4	2274.79
Established GRADE [metres] =					80.21



### UNDERGROUND SERVICES

THE LOCATION OF UNDERGROUND SERVICES SHOWN ON THIS PLAN IS ONLY APPROXIMATE AND IS FOR PLANNING AND DESIGN PURPOSES ONLY. THIS INFORMATION MUST NOT BE ASSUMED TO BE COMPLETE OR UP-TO-DATE AND AN ON-SITE LOCATE MUST BE ORDERED PRIOR TO ANY EXCAVATION. TARASICK McMILLAN KUBICKI LIMITED ACCEPTS NO RESPONSIBILITY FOR ANY CLAIMS OR LOSSES DUE TO IMPROPER USE OF THIS INFORMATION.

### GRADING

ALL EXISTING GRADES AROUND THE PERIMETER AND THE EXISTING GRADING PATTERN OF THE SITE SHALL BE MAINTAINED. GRADES WILL BE MET WITHIN 33% MAXIMUM SLOPE AT THE PROPERTY LINES AND WITHIN THE SITE.

ALL DOWNSPOUTS SHALL DISCHARGE ONTO SPLASH PADS AT GROUND LEVEL AT THE LOCATIONS INDICATED ON THIS PLAN. PROPOSED SWALES TO HAVE MAXIMUM 1:1 SIDE SLOPES.

GRADING AT THE BASE OF EXISTING TREES MUST BE PRESERVED ADJACENT THE CONSTRUCTION ZONE.

ALL SURFACE DRAINAGE WILL BE SELF-CONTAINED, COLLECTED AND DISCHARGED AT A LOCATION TO BE APPROVED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT.

PROPOSED GRADES AND DRAINAGE PATTERNS SHALL NOT HAVE NEGATIVE IMPACT ON THE ADJACENT PROPERTIES. DIRECT DOWN SPOUTS TO THE FRONT OR REAR.

DRAINAGE SWALE INVERTS SHALL BE 0.20 m BELOW THE ADJACENT GRADE ELEVATION.

THE EXISTING DRAINAGE PATTERN WILL BE MAINTAINED EXCEPT WHERE NOTED.

### SEWERS

EXISTING SANITARY SEWER TO BE USED.

EXISTING STORM SEWER TO BE USED PROVIDED APPROVAL FROM CITY OF MISSISSAUGA.

DEPTH OF SANITARY SEWER CONNECTION AT THE STREET LINE TO BE CONFIRMED IN FIELD PRIOR TO CONSTRUCTION TO ENSURE GRAVITY FLOW.

### EXISTING WELLS/ SEPTIC SYSTEMS

IF A WELL IS DISCOVERED, IT WILL BE DECOMMISSIONED IN ACCORDANCE WITH THE ONTARIO WATER RESOURCES ACT REGULATION 903 (FORMERLY 612/94) AND ANY OTHER APPLICABLE REGULATIONS AND GUIDELINES.

ANY SEPTIC SYSTEM ON SITE WILL BE DECOMMISSIONED AND REMOVED ACCORDING TO ALL APPLICABLE GUIDELINES AND REGULATIONS.

### SUMP PUMP

FOUNDATION WEEPERS AND FLOOR DRAINS WILL BE SUMPED AND PUMPED TO THE SURFACE AND WILL DISCHARGE ONTO A CONCRETE SPLASH PAD IN THE FRONT OF THE HOUSE.

SUMP PUMP/DOWNSPOUT DISCHARGE TO BE MANAGED WITHIN THE PROPERTY BOUNDARIES AND NOT HAVE AN ADVERSE EFFECT ON ADJUTING OR CITY OWNED LANDS AND INFRASTRUCTURE INCLUDING DITCHES

### CONFORMITY TO SITE PLAN

I HEREBY CERTIFY THAT THIS DRAWING CONFORMS IN ALL RESPECTS TO THE SITE DEVELOPMENT PLANS AS APPROVED BY THE CITY OF MISSISSAUGA UNDER THE FILE NO. SP-17/167 W1.

DATE: OCTOBER 11, 2017

SIGNED:

### BUILDING PERMIT DRAWINGS

THE CITY OF MISSISSAUGA REQUIRES THAT ALL WORKING DRAWINGS, SUBMITTED TO THE BUILDING DIVISION, PLANNING AND BUILDING DEPARTMENT AS PART OF AN APPLICATION FOR THE ISSUANCE OF A BUILDING PERMIT SHALL BE CERTIFIED BY THE ARCHITECT OR ENGINEER AS BEING IN CONFORMITY WITH THE SITE DEVELOPMENT PLANS AS APPROVED BY THE CITY OF MISSISSAUGA.

### EXISTING TREE PRESERVATION

THE OWNER IS RESPONSIBLE FOR ENSURING THAT THE TREE PROTECTION HOARDING IS MAINTAINED THROUGHOUT ALL PHASES OF DEMOLITION AND CONSTRUCTION IN THE LOCATION AND CONDITIONS APPROVED BY THE PLANNING AND BUILDING DEPARTMENT. NO MATERIALS (BUILDING MATERIALS, SOIL, ETC.) MAY BE STOCKPILED WITHIN THE AREA OF HOARDING. FAILURE TO MAINTAIN THE HOARDING A SORGINALLY APPROVED, OR THE STORAGE OF MATERIALS WITHIN THE HOARDING WILL CAUSE FOR THE LETTER OF CREDIT TO BE HELD FOR TWO (2) YEARS FOLLOWING COMPLETION OF ALL SITE WORKS.

DATE: \_\_\_\_\_ OWNER'S SIGNATURE \_\_\_\_\_

SHOULD THE INSTALLATION OF BELOW GROUND SERVICES REQUIRE HOARDING TO BE REMOVED, PLANNING AND BUILDING STAFF ARE TO BE CONTACTED PRIOR TO THE COMMENCEMENT OF SUCH WORK. SHOULD AN ALTERNATE SERVICE ROUTE NOT BE POSSIBLE STAFF WILL INSPECT AND DOCUMENT THE CONDITION OF THE VEGETATION AND SERVING INSTALLATION IN ORDER TO MINIMIZE DAMAGE TO THE VEGETATION.

HOARDING MUST BE INSPECTED PRIOR TO REMOVAL OF ANY TREE PROTECTION HOARDING FROM THE SITE.

THE APPLICANT WILL BE REQUIRED TO CONTACT ALL UTILITY COMPANIES TO OBTAIN ALL REQUIRED LOCATES PRIOR TO THE INSTALLATION OF HOARDING WITHIN THE MUNICIPAL RIGHT OF WAY.

PRIOR TO ANY CONSTRUCTION TAKING PLACE, ALL REQUIRED HOARDING IN ACCORDANCE WITH THE ONTARIO OCCUPATIONAL HEALTH AND SAFETY ACT AND REGULATIONS FOR CONSTRUCTION PROJECTS MUST BE ERECTED AND MAINTAINED THROUGHOUT ALL PHASES OF CONSTRUCTION.

ALL EXISTING TREES OVER 0.15 m TRUNK DIAMETER WILL NOT BE REMOVED UNLESS OTHERWISE SHOWN.

### NOTES

ANY LANDSCAPING WITHIN THE MUNICIPAL BOULEVARD WILL BE SUBJECT TO PRIOR APPROVAL BY THE PUBLIC UTILITIES CO-ORDINATING COMMITTEE.

AT THE ENTRANCES TO THE SITE, THE MUNICIPAL CURB AND SIDEWALK WILL BE CONTINUOUS THROUGH THE DRIVEWAY AND CURB DEPRESSION WILL BE PROVIDED FOR EACH ENTRANCE.

ALL PROPOSED CURBING (IF ANY) AT THE ENTRANCES TO THE SITE IS TO STOP AT THE PROPERTY LINE OR AT THE MUNICIPAL SIDEWALK.

SHOULD ANY WORKS BE REQUIRED WITHIN THE MUNICIPAL RIGHT OF WAY, A ROAD OCCUPANCY PERMIT WILL BE REQUIRED. PUC APPROVAL WILL BE REQUIRED. FOR FURTHER INFORMATION, PLEASE CONTACT THE PUC/PERMIT TECHNOLOGIST, LOCATED AT 3185 MAVIS ROAD.

THE PORTIONS OF THE DRIVEWAY WITHIN THE MUNICIPAL BOULEVARD WILL BE PAVED BY THE APPLICANT.

THE APPLICANT WILL BE RESPONSIBLE FOR THE COST OF ANY UTILITIES RELOCATIONS NECESSITATED BY THE SITE PLAN.

ON-SITE WASTE COLLECTION WILL BE REQUIRED THROUGH A PRIVATE WASTE HAULER.

ANY EXCESS EXCAVATED MATERIAL IS TO BE REMOVED FROM THE SITE.

ALL DAMAGED AREAS ARE TO BE RENAISSANCE WITH TOPSOIL, AND SOO PRIOR TO THE RELEASE OF SECURITIES.

THE STRUCTURAL DESIGN OF ANY RETAINING WALL OVER 0.6m IN HEIGHT OR ANY RETAINING WALL LOCATED ON A PROPERTY LINE IS TO BE SHOWN ON THE SITE GRADING PLAN FOR THIS PROJECT AND IS TO BE APPROVED BY THE CONSULTING ENGINEER FOR THE PROJECT.

ALL EXTERIOR LIGHTING WILL BE DIRECTED ONTO THE SITE AND WILL NOT INFRINGE UPON THE ADJACENT PROPERTIES.

ALL ASPHALT AND BASE MATERIALS OF THE EXISTING DRIVEWAY BEING REMOVED ARE TO BE RENAISSANCE WITH TOPSOIL AND SOO.

ALL PROPOSED CURBING WITHIN THE MUNICIPAL BOULEVARD AREA FOR THE SITE IS TO SUIT AS FOLLOWS:

A) FOR ALL SINGLE FAMILY RESIDENTIAL PROPERTIES INCLUDING ON STREET TOWNHOUSES, ALL CURBING IS TO STOP AT THE PROPERTY LIMIT OR THE BACK OF THE MUNICIPAL SIDEWALK, WHICHEVER IS APPLICABLE. OR

B) FOR ALL OTHER PROPOSALS INCLUDING INDUSTRIAL, COMMERCIAL AND CONDOMINIUM DEVELOPMENTS, ALL ENTRANCES TO THE SITE ARE TO BE IN ACCORDANCE WITH O.P.S. 560.010.

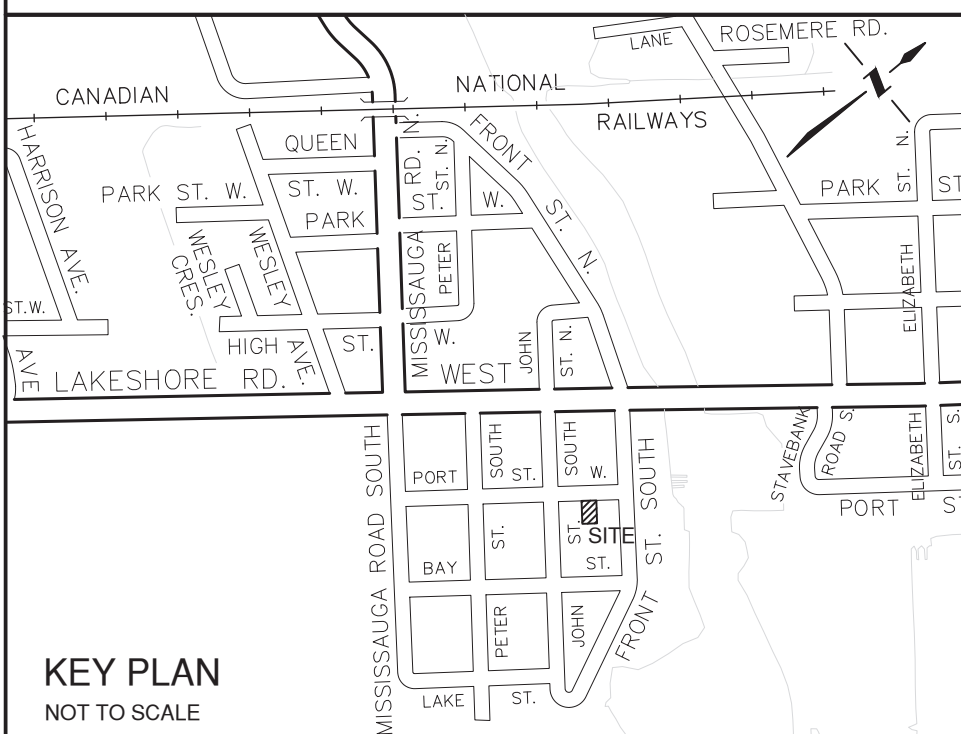
THE PROPOSED DEVELOPMENT OF THE SUBJECT SITE MAY NEGATIVELY IMPACT THE ROOT ZONE(S) OF NEARBY TREE(S) ON ADJACENT PROPERTY AND ULTIMATELY DAMAGE THE TREE(S). THE OWNER SHOULD TAKE ALL REASONABLE STEPS TO MINIMIZE DISTURBANCE TO THE ADJACENT ROOT ZONE(S) THAT ARE WITHIN THE SUBJECT SITE. THE CITY OF MISSISSAUGA TAKES NOT RESPONSIBILITY FOR THE PROTECTION OF TREES ON ADJACENT PROPERTIES.

ALL DAMAGED OR DISTURBED AREAS WITHIN THE MUNICIPAL RIGHT-OF-WAY ARE TO BE RENAISSANCE AT THE APPLICANT'S EXPENSE.

ALL LANDSCAPING AND GRADING WITHIN CLOSE PROXIMITY TO THE PROPOSED ACCESS POINTS IS TO BE DESIGNED TO ENSURE THAT ADEQUATE SIGHT DISTANCES ARE AVAILABLE FOR ALL APPROACHING AND EXISTING MOTORISTS AND PEDESTRIANS.

DRIVEWAY ACCESS SHALL MAINTAIN A 1.5m SETBACK FROM ABOVEGROUND FEATURES SUCH AS UTILITIES AND TREES.

ANY ABOVE GROUND UTILITIES LOCATED WITHIN 1.5m OF A PROPOSED ACCESS ARE TO BE RELOCATED AT THE APPLICANT'S EXPENSE.



**KEY PLAN**  
NOT TO SCALE

### LEGAL DESCRIPTION:

**PART OF LOT 3  
SOUTH OF PORT STREET  
WEST OF THE CREDIT RIVER  
REGISTERED PLAN 300-W  
(FORMERLY VILLAGE OF PORT CREDIT)  
CITY OF MISSISSAUGA  
REGIONAL MUNICIPALITY OF PEEL**

### SURVEY INFORMATION

SURVEY INFORMATION IS TAKEN FROM PLAN PREPARED BY TARASICK McMILLAN KUBICKI LIMITED, ONTARIO LAND SURVEYORS, DATED JUNE 18, 2013

### ELEVATION NOTE

ELEVATIONS ARE REFERRED TO CANADIAN GEODETIC VERTICAL DATUM-1928, AND WERE DERIVED FROM CITY OF MISSISSAUGA BENCHMARK NO. 731, HAVING A PUBLISHED ELEVATION OF 81.58 METRES.

### LEGEND

MH	DENOTES	MANHOLE
FH	DENOTES	FIRE HYDRANT
WV	DENOTES	WOOD UTILITY POLE
WV	DENOTES	WATER VALVE
WV	DENOTES	ENTRY POINT AT LOWER LEVEL
WV	DENOTES	ENTRY POINT AT GROUND FLOOR
WV	DENOTES	EXISTING SPOT ELEVATION
WV	DENOTES	PROPOSED SPOT ELEVATION
WV	DENOTES	PROPOSED RAINWATER DOWNSPOUT
WV	DENOTES	PROPOSED SUMP PUMP LOCATION AND OUTLET
WV	DENOTES	AREA DRAIN
WV	DENOTES	CANIFEROUS TREE WITH TRUNK DIAMETER
WV	DENOTES	DECIDUOUS TREE WITH TRUNK DIAMETER
WV	DENOTES	TREE TO BE REMOVED
WV	DENOTES	FRAMED HOARDING
WV	DENOTES	SOLID WOOD HOARDING
WV	DENOTES	DIRECTION AND GRADIENT OF DRAINAGE
WV	DENOTES	DIRECTION OF SWALE

### DO NOT SCALE DRAWINGS

1) CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS, SPECIFICATIONS AND DRAWINGS ON SITE AND REPORT ANY DISCREPANCIES TO THE ENGINEER/ARCHITECT PRIOR TO PROCEEDING WITH ANY OF THE WORK.

2) THESE PLANS ARE TO REMAIN THE PROPERTY OF THE DESIGNER AND MUST BE RETURNED UPON REQUEST. THESE PLANS MUST NOT BE USED IN ANY OTHER LOCATION WITHOUT THE WRITTEN APPROVAL OF THE DESIGNER.

3) ALL WORKS TO BE DONE IN ACCORDANCE WITH THE ONTARIO BUILDING CODE.

2	JAN. 25, 2018	REVISION AS PER CITY COMMENTS
1	DEC. 12, 2017	REVISION AS PER CITY COMMENTS

### REVISIONS

### CERTIFICATION FOR PROPOSED GRADING

I HAVE REVIEWED THE PLANS FOR THE CONSTRUCTION OF AN ADDITION LOCATED AT 29 PORT STREET WEST AND HAVE PREPARED THIS PLAN TO INDICATE THE COMPATIBILITY OF THE PROPOSAL TO EXISTING ADJACENT PROPERTIES AND MUNICIPAL STANDARDS. IT IS MY BELIEF THAT ADHERENCE TO THE PROPOSED GRADES AS SHOWN WILL PROVIDE ADEQUATE DRAINAGE AND PROPER FACILITY OF MUNICIPAL SERVICES WITHOUT ANY DETRIMENT TO THE EXISTING DRAINAGE PATTERNS OR ADJACENT PROPERTIES.

JANUARY 25, 2018  
MISSISSAUGA, ONTARIO

### APPLICANT/ OWNER

TYLER GOSSE

### FILE: SPI 17/167 W1

### PROJECT:

**PROPOSED SECOND STOREY ADDITION AND DETACHED GARAGE  
29 PORT STREET WEST, MISSISSAUGA**

### SHEET TITLE:

### SITE GRADING PLAN

### SCALE: 1:150

### TARASICK McMILLAN KUBICKI LIMITED

ONTARIO LAND SURVEYORS  
4181 SLADEVIEW CRESCENT, UNIT 42, MISSISSAUGA, ONTARIO L5L 5R2  
TEL: (905) 569-8849 FAX: (905) 569-3160  
E-MAIL: office@tmksurveyors.com

DRAWN BY: T.N.

FILE No. 6375-SP-2018-01-25





HUIS DESIGN STUDIO  
CUSTOM HOME DESIGN AND RENOVATIONS  
2457 DIXIE ROAD | MISSISSAUGA, ONTARIO | L4Y 2A1  
T:647.206.9655 | E:INFO@HUISDESIGNS.CA  
HUISDESIGNS.CA

DRAWINGS ARE TO BE READ NOT SCALED. DO NOT BEGIN CONSTRUCTION UNTIL DESIGNER OR PROJECT MANAGER HAS BEEN NOTIFIED. UPON COMPLETION OF ANY STAGE OF CONSTRUCTION, THE DESIGNER OR PROJECT MANAGER SHALL BE NOTIFIED TO ENSURE PROPER INSPECTION. ALL DESIGN AND CONSTRUCTION DOCUMENTATION ARE FINAL UNLESS REVISED BY THE DESIGNER. IF ANY DISCREPANCIES ARE DISCOVERED HERE WITHIN, THE DESIGNER SHALL BE NOTIFIED. THE DRAWINGS AND DOCUMENTS PROVIDED HERE WITHIN ARE THE EXCLUSIVE PROPERTY OF HUIS DESIGN STUDIO. REPRODUCTION OF THE DOCUMENTS PROVIDED IS PROHIBITED WITHOUT THE CONSENT OF THE DESIGNER.

THE UNDERSIGNED HAS REVIEWED AND TAKES  
RESPONSIBILITY FOR THIS DESIGN, AS WELL AS HAVING  
THE QUALIFICATION AND REQUIREMENTS MANDATED  
BY THE ONTARIO BUILDING CODE TO BE A DESIGNER.

REQUIRED UNLESS THE DESIGN IS EXEMPT UNDER DIV.  
C-3.2.4 OF THE ONTARIO BUILDING CODE

1	Revised for HAC comments (#1)	06.29.2017
2	Revised for HAC comments (#2)	07.26.2017
3	REVISED AS PER CITY COMMENTS	12.05.2017
4	-	MM.DD.YYYY
5	-	MM.DD.YYYY

1	For Heritage Advisory Committee	05.10.2017
2	-	MM.DD.YYYY
3	-	MM.DD.YYYY
4	-	MM.DD.YYYY
5	-	MM.DD.YYYY



DRAWING TITLE: ARCHITECTURAL ELEVATIONS  
 DRAWN BY: JH CHECKED BY: J.D.  
 PROJECT ADDRESS: 29 PORT STREET  
 PROJECT NO. 2016-132 SCALE: 1/4" = 1'-0"  
 SHEET NO. 201

**A201**





1/4"=1'-0"

LEFT ELEVATION

**HUIS**  
DESIGN STUDIO

HUIS DESIGN STUDIO  
CUSTOM HOME DESIGN AND RENOVATIONS  
2457 DIXIE ROAD | MISSISSAUGA, ONTARIO | L4Y 2A1  
T:647.206.9655 | E:INFO@HUISDESIGNS.CA  
HUISDESIGNS.CA

GENERAL NOTES

DRAWINGS ARE TO BE READ NOT SCALED. DO NOT BEGIN CONSTRUCTION UNTIL DESIGNER OR PROJECT MANAGER HAS BEEN NOTIFIED. UPON COMPLETION OF ANY STAGE OF CONSTRUCTION, THE DESIGNER OR PROJECT MANAGER SHALL BE NOTIFIED TO ENSURE PROPER INSPECTION. ALL DESIGN AND CONSTRUCTION DOCUMENTATION ARE FINAL UNLESS REVISED BY THE DESIGNER. IF ANY DISCREPANCIES ARE DISCOVERED HERE WITHIN, THE DESIGNER SHALL BE NOTIFIED. THE DRAWINGS AND DOCUMENTS PROVIDED HERE WITHIN ARE THE EXCLUSIVE PROPERTY OF HUIS DESIGN STUDIO. REPRODUCTION OF THE DOCUMENTS PROVIDED IS PROHIBITED WITHOUT THE CONSENT OF THE DESIGNER.

QUALIFICATION INFORMATION

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AS WELL AS HAVING THE QUALIFICATION AND REQUIREMENTS MANDATED BY THE ONTARIO BUILDING CODE TO BE A DESIGNER.

FIRM NAME B.C.I.N.

REGISTRATION INFORMATION

REQUIRED UNLESS THE DESIGN IS EXEMPT UNDER DIV. C-3.2.4 OF THE ONTARIO BUILDING CODE

FIRM NAME B.C.I.N.

REVISION LIST

1	Revised for HAC comments (#1)	06.29.2017
2	Revised for HAC comments (#2)	07.26.2017
3	REVISED AS PER CITY COMMENTS	12.05.2017
4	-	MM.DD.YYYY
5	-	MM.DD.YYYY

ISSUE LIST

1	For Heritage Advisory Committee	05.10.2017
2	-	MM.DD.YYYY
3	-	MM.DD.YYYY
4	-	MM.DD.YYYY
5	-	MM.DD.YYYY

PROJECT NORTH:

TRUE NORTH:



DRAWING TITLE: ARCHITETCTURAL ELEVATIONS

DRAWN BY: JH CHECKED BY: J.D.

PROJECT ADDRESS: 29 PORT STREET

PROJECT NO. 2016-132 SCALE: 1/4" = 1'-0"

SHEET NO. A202





1/4"=1'-0"  
REAR ELEVATION

**HUIS**  
DESIGN STUDIO

HUIS DESIGN STUDIO  
CUSTOM HOME DESIGN AND RENOVATIONS  
2457 DIXIE ROAD | MISSISSAUGA, ONTARIO | L4Y 2A1  
T: 647.206.9655 | E: INFO@HUISDESIGNS.CA  
HUISDESIGNS.CA

GENERAL NOTES

DRAWINGS ARE TO BE READ NOT SCALED. DO NOT BEGIN CONSTRUCTION UNTIL DESIGNER OR PROJECT MANAGER HAS BEEN NOTIFIED. UPON COMPLETION OF ANY STAGE OF CONSTRUCTION, THE DESIGNER OR PROJECT MANAGER SHALL BE NOTIFIED TO ENSURE PROPER INSPECTION. ALL DESIGN AND CONSTRUCTION DOCUMENTATION ARE FINAL UNLESS REVISED BY THE DESIGNER. IF ANY DISCREPANCIES ARE DISCOVERED HERE WITHIN, THE DESIGNER SHALL BE NOTIFIED. THE DRAWINGS AND DOCUMENTS PROVIDED HERE WITHIN ARE THE EXCLUSIVE PROPERTY OF HUIS DESIGN STUDIO. REPRODUCTION OF THE DOCUMENTS PROVIDED IS PROHIBITED WITHOUT THE CONSENT OF THE DESIGNER.

QUALIFICATION INFORMATION

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AS WELL AS HAVING THE QUALIFICATION AND REQUIREMENTS MANDATED BY THE ONTARIO BUILDING CODE TO BE A DESIGNER.

FIRM NAME B.C.I.N.

REGISTRATION INFORMATION

REQUIRED UNLESS THE DESIGN IS EXEMPT UNDER DIV. C-3.2.4 OF THE ONTARIO BUILDING CODE

FIRM NAME B.C.I.N.

REVISION LIST

1	Revised for HAC comments (#1)	06.29.2017
2	Revised for HAC comments (#2)	07.26.2017
3	REVISED AS PER CITY COMMENTS	12.05.2017
4	-	MM.DD.YYYY
5	-	MM.DD.YYYY

ISSUE LIST

1	For Heritage Advisory Committee	05.10.2017
2	-	MM.DD.YYYY
3	-	MM.DD.YYYY
4	-	MM.DD.YYYY
5	-	MM.DD.YYYY

PROJECT NORTH:

TRUE NORTH:



DRAWING TITLE:

ARCHITETURAL ELEVATIONS

DRAWN BY:

JH CHECKED BY: J.D.

PROJECT ADDRESS:

29 PORT STREET

PROJECT NO.

2016-132 SCALE: 1/4" = 1'-0"

SHEET NO.

A203



MAX ROOF

MAX EAVE

T.O. SECOND FLOOR

T.O. GROUND FLOOR

79.93

79.82

ASPHALT SHINGLES  
(COLOUR - CHARCOAL)

VINYL SIDING  
(COLOUR - BEIGE)

DECORATIVE TRIM  
(COLOUR - DARK BEIGE)

ASPHALT SHINGLES  
(COLOUR - CHARCOAL)

FRIEZE BOARD AND TRIM  
(COLOUR - DARK BEIGE)

DECORATIVE COLUMNS  
(COLOUR - DARK BEIGE)

VINYL SIDING  
(COLOUR - BEIGE)

ALUMINUM RAILINGS  
(COLOUR - BLACK)

SPATIAL SEPARATION

EXPOSING BUILDING FACE:	885.75	SQ. FT.	82.28	SQ. M.	
UNPROTECTED OPENINGS:	42.73	SQ. FT.	3.97	SQ. M.	4.82 %
PERMITTED:	62.00	SQ. FT.	5.76	SQ. M.	7.00 %

EXISTING STEP FOOTINGS  
(ASSUMED)

EXISTING WALKOUT  
TO REMAIN

1/4"=1'-0"  
RIGHT ELEVATION

**HUIS**  
DESIGN STUDIO

HUIS DESIGN STUDIO  
CUSTOM HOME DESIGN AND RENOVATIONS  
2457 DIXIE ROAD | MISSISSAUGA, ONTARIO | L4Y 2A1  
T:647.206.9655 | E:INFO@HUISDESIGNS.CA  
HUISDESIGNS.CA

GENERAL NOTES

DRAWINGS ARE TO BE READ NOT SCALED. DO NOT BEGIN CONSTRUCTION UNTIL DESIGNER OR PROJECT MANAGER HAS BEEN NOTIFIED. UPON COMPLETION OF ANY STAGE OF CONSTRUCTION, THE DESIGNER OR PROJECT MANAGER SHALL BE NOTIFIED TO ENSURE PROPER INSPECTION. ALL DESIGN AND CONSTRUCTION DOCUMENTATION ARE FINAL UNLESS REVISED BY THE DESIGNER. IF ANY DISCREPANCIES ARE DISCOVERED HERE WITHIN, THE DESIGNER SHALL BE NOTIFIED. THE DRAWINGS AND DOCUMENTS PROVIDED HERE WITHIN ARE THE EXCLUSIVE PROPERTY OF HUIS DESIGN STUDIO. REPRODUCTION OF THE DOCUMENTS PROVIDED IS PROHIBITED WITHOUT THE CONSENT OF THE DESIGNER.

QUALIFICATION INFORMATION

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AS WELL AS HAVING THE QUALIFICATION AND REQUIREMENTS MANDATED BY THE ONTARIO BUILDING CODE TO BE A DESIGNER.

FIRM NAME B.C.I.N.

REGISTRATION INFORMATION

REQUIRED UNLESS THE DESIGN IS EXEMPT UNDER DIV. C-3.2.4 OF THE ONTARIO BUILDING CODE

FIRM NAME B.C.I.N.

REVISION LIST

1	Revised for HAC comments (#1)	06.29.2017
2	Revised for HAC comments (#2)	07.26.2017
3	REVISED AS PER CITY COMMENTS	12.05.2017
4	-	MM.DD.YYYY
5	-	MM.DD.YYYY

ISSUE LIST

1	For Heritage Advisory Committee	05.10.2017
2	-	MM.DD.YYYY
3	-	MM.DD.YYYY
4	-	MM.DD.YYYY
5	-	MM.DD.YYYY

PROJECT NORTH:

TRUE NORTH:

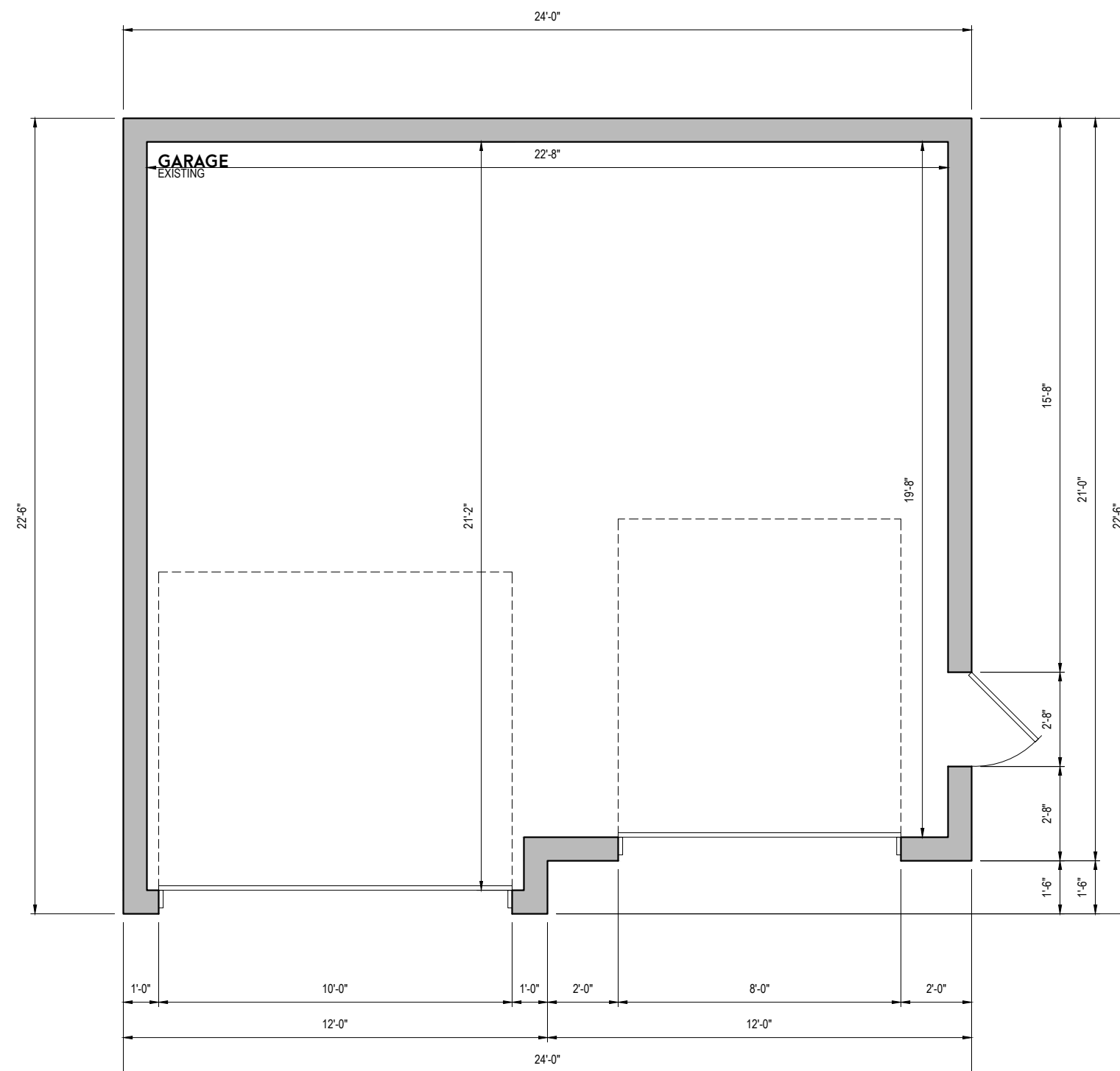


DRAWING TITLE: ARCHITECTURAL ELEVATIONS  
DRAWN BY: JH CHECKED BY: J.D.  
PROJECT ADDRESS: 29 PORT STREET  
PROJECT NO. 2016-132 SCALE: 1/4" = 1'-0"  
SHEET NO.

**A204**



ESTABLISHED GRADE CALCULATION				
LENGTH NO.	BEGIN ELEV.	END ELEV.	LENGTH (M)	EL
1	80.20	80.11	3.66	293.37
2	80.11	80.12	3.66	293.22
3	80.12	80.11	3.28	262.78
4	80.11	80.06	3.28	262.68
5	80.06	80.02	3.66	292.95
6	80.02	79.91	3.66	292.67
7	79.91	79.95	2.89	231.00
8	79.95	80.20	2.89	231.42
9	0.00	0.00	0.00	0.00
10	0.00	0.00	0.00	0.00
		<b>Total:</b>	26.98	2160.08
		<b>EG:</b>	<b>80.06</b>	



1/4"=1'-0"

# GARAGE FLOOR PLAN



HUIS DESIGN STUDIO  
CUSTOM HOME DESIGN AND RENOVATIONS  
2457 DIXIE ROAD | MISSISSAUGA, ONTARIO | L4Y 2A1  
T:647.206.9655 | E:INFO@HUISDESIGNS.CA  
HUISDESIGNS.CA

## GENERAL NOTES

DRAWINGS ARE TO BE READ NOT SCALED. DO NOT BEGIN CONSTRUCTION UNTIL DESIGNER OR PROJECT MANAGER HAS BEEN NOTIFIED. UPON COMPLETION OF ANY STAGE OF CONSTRUCTION, THE DESIGNER OR PROJECT MANAGER SHALL BE NOTIFIED TO ENSURE PROPER INSPECTION. ALL DESIGN AND CONSTRUCTION DOCUMENTATION ARE FINAL UNLESS REVISED BY THE DESIGNER. IF ANY DISCREPANCIES ARE DISCOVERED HERE WITHIN, THE DESIGNER SHALL BE NOTIFIED. THE DRAWINGS AND DOCUMENTS PROVIDED HERE WITHIN ARE THE EXCLUSIVE PROPERTY OF HUIS DESIGN STUDIO. REPRODUCTION OF THE DOCUMENTS PROVIDED IS PROHIBITED WITHOUT THE CONSENT OF THE DESIGNER.

### QUALIFICATION INFORMATION

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AS WELL AS HAVING THE QUALIFICATION AND REQUIREMENTS MANDATED BY THE ONTARIO BUILDING CODE TO BE A DESIGNER.

FIRM NAME	B.C.I.N
-----------	---------

**REGISTRATION INFORMATION**  
REQUIRED UNLESS THE DESIGN IS EXEMPT UNDER DIV.  
C-3.2.4 OF THE ONTARIO BUILDING CODE

FIRM NAME	B.C.I.N.
-----------	----------

## REVISION LIST

1	Revised for HAC comments (#1)	06.29.2017
2	Revised for HAC comments (#2)	07.26.2017
3	REVISED AS PER CITY COMMENTS	12.05.2017
4	-	MM.DD.YYYY
5	-	MM.DD.YYYY

## ISSUE LIST

ISSUE LIST		
1	For Heritage Advisory Committee	05.10.2017
2	-	MM.DD.YYYY
3	-	MM.DD.YYYY
4	-	MM.DD.YYYY
5	-	MM.DD.YYYY

PROJECT NORTH:



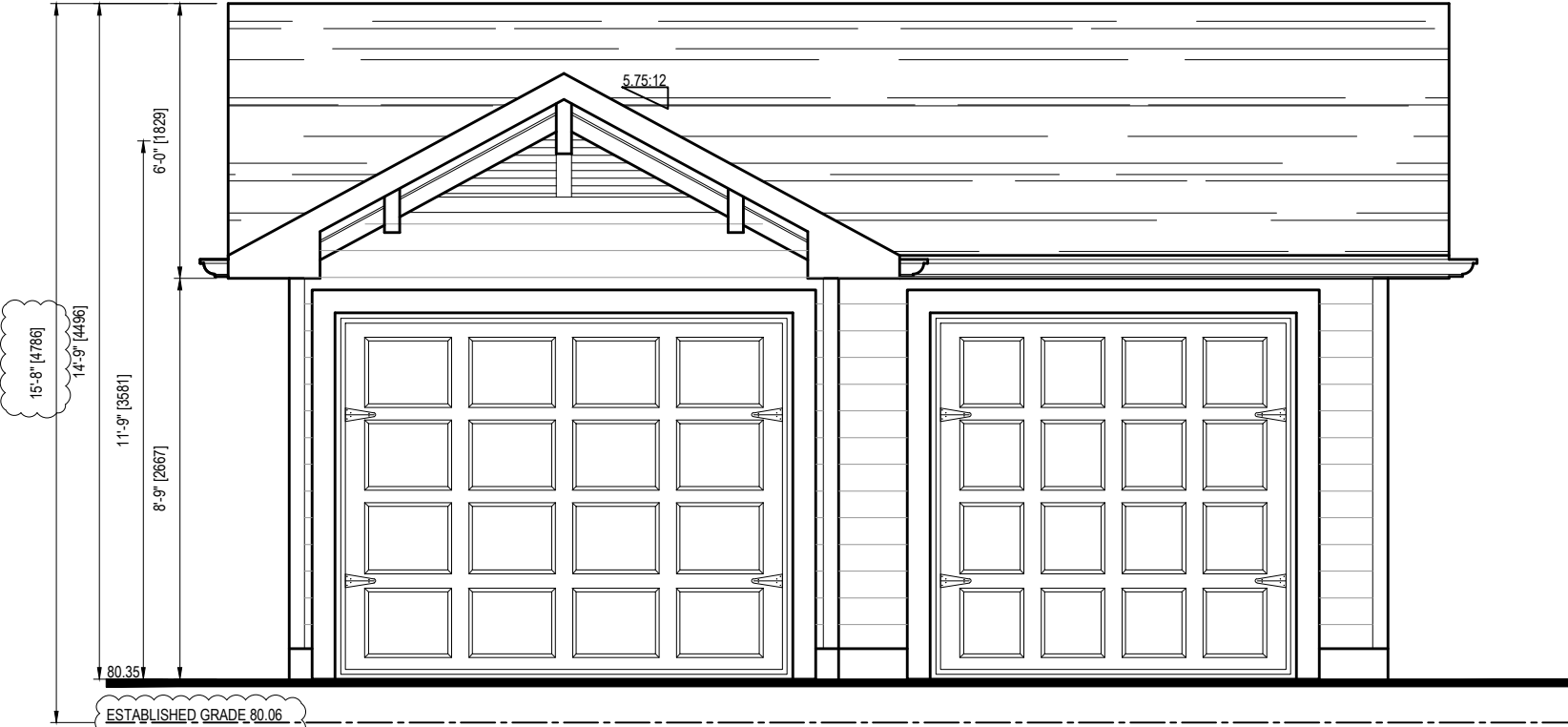
TRUE NORTH:



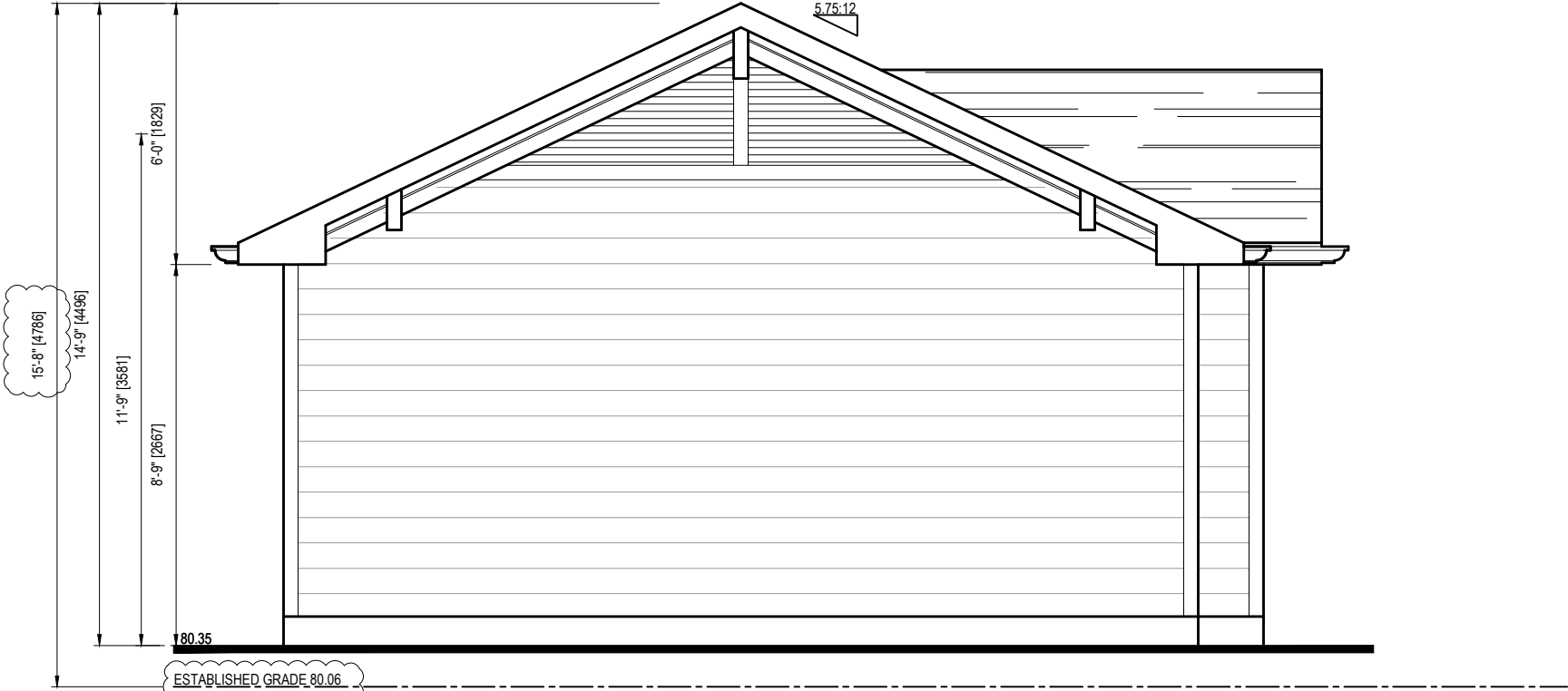
**DRAWING TITLE:** GARAGE FLOOR PLAN  
**DRAWN BY:** JH **CHECKED BY:** KVK  
**PROJECT ADDRESS:** 29 PORT STREET  
**PROJECT NO.** 2016-132 **SCALE:** 1/4" = 1'-0"  
**SHEET NO.** 201

**A301**

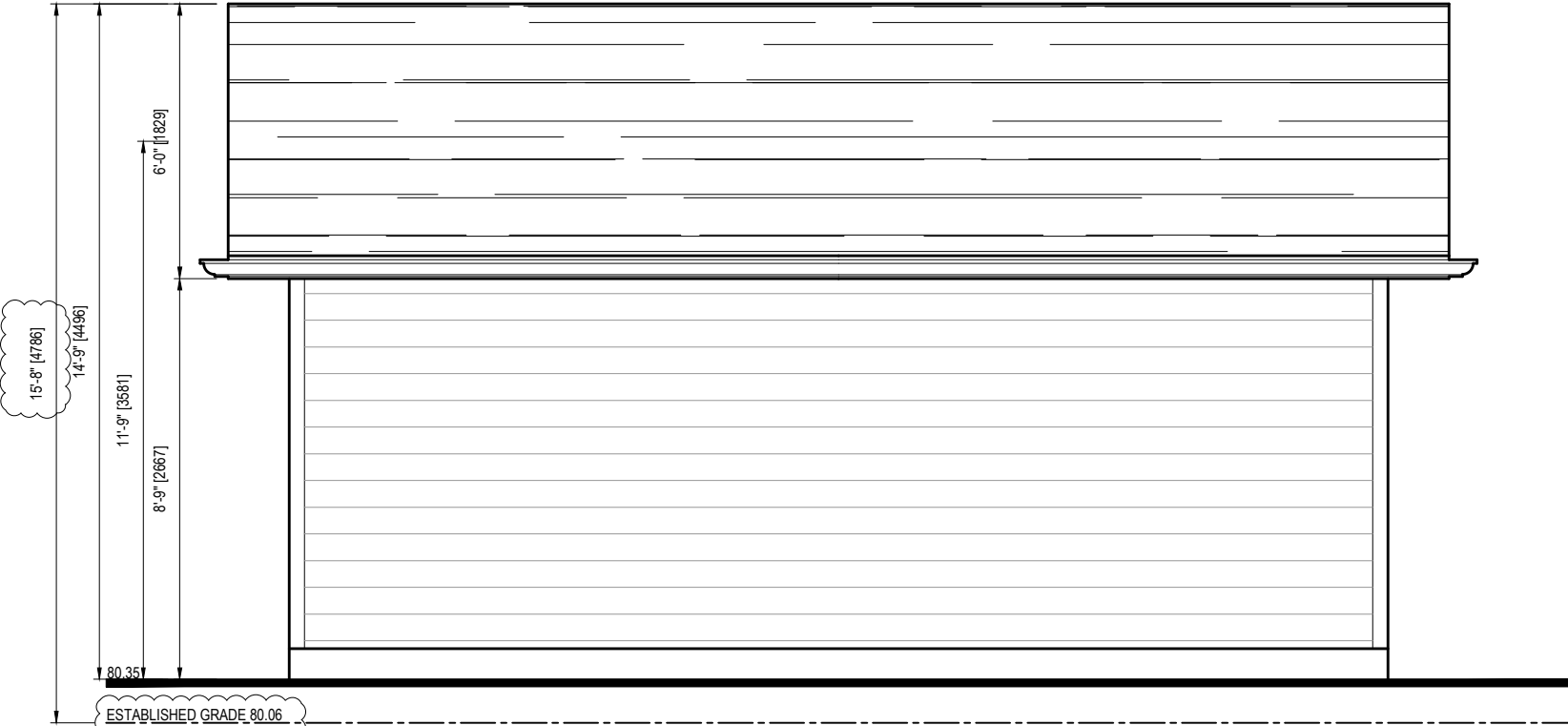




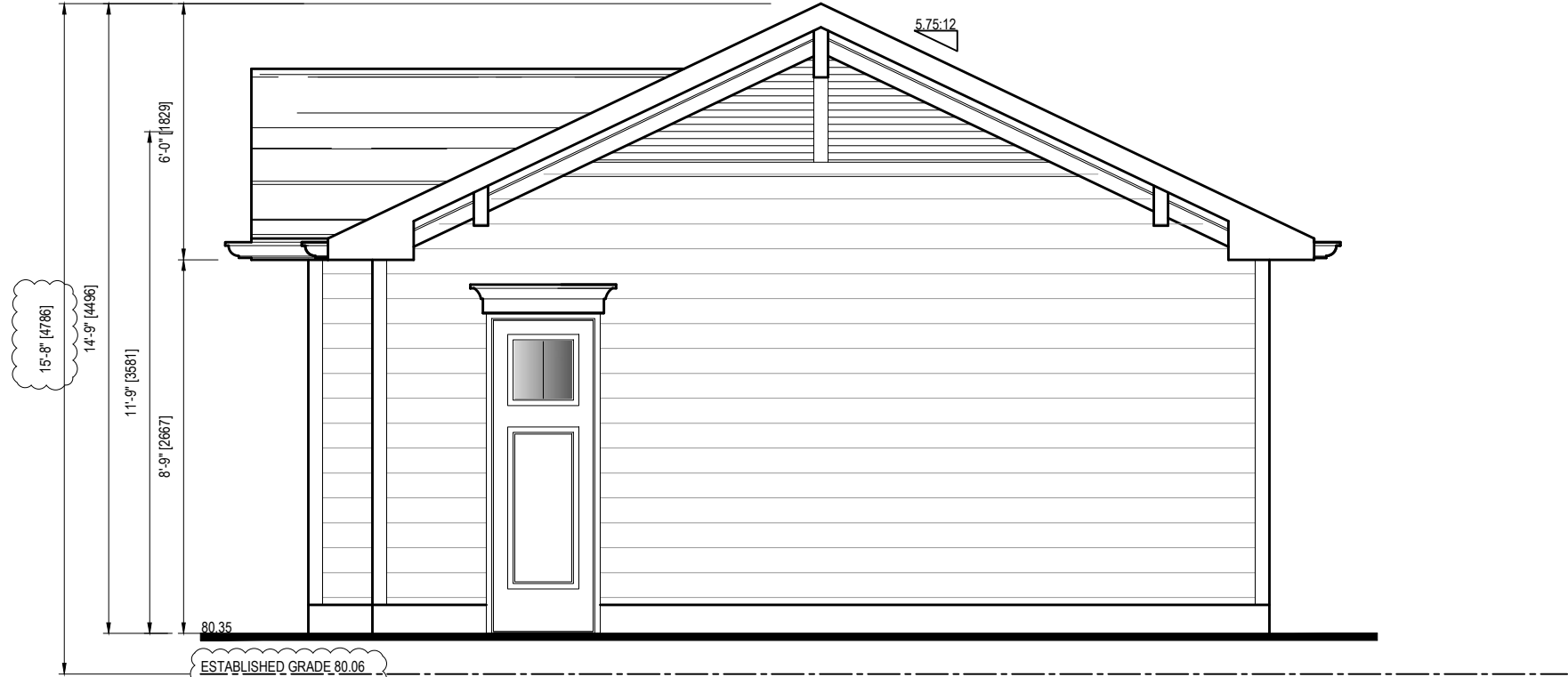
FRONT ELEVATION



LEFT ELEVATION



REAR ELEVATION



RIGHT ELEVATION



HUIS DESIGN STUDIO  
CUSTOM HOME DESIGN AND RENOVATIONS  
2457 DIXIE ROAD | MISSISSAUGA, ONTARIO | L4Y 2A1  
T:647.206.9655 | E:INFO@HUISDESIGNS.CA  
HUISDESIGNS.CA

GENERAL NOTES

DRAWINGS ARE TO BE READ NOT SCALED. DO NOT BEGIN CONSTRUCTION UNTIL DESIGNER OR PROJECT MANAGER HAS BEEN NOTIFIED. UPON COMPLETION OF ANY STAGE OF CONSTRUCTION, THE DESIGNER OR PROJECT MANAGER SHALL BE NOTIFIED TO ENSURE PROPER INSPECTION. ALL DESIGN AND CONSTRUCTION DOCUMENTATION ARE FINAL UNLESS REVISED BY THE DESIGNER. IF ANY DISCREPANCIES ARE DISCOVERED HERE WITHIN, THE DESIGNER SHALL BE NOTIFIED. THE DRAWINGS AND DOCUMENTS PROVIDED HERE WITHIN ARE THE EXCLUSIVE PROPERTY OF HUIS DESIGN STUDIO. REPRODUCTION OF THE DOCUMENTS PROVIDED IS PROHIBITED WITHOUT THE CONSENT OF THE DESIGNER.

QUALIFICATION INFORMATION

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AS WELL AS HAVING THE QUALIFICATION AND REQUIREMENTS MANDATED BY THE ONTARIO BUILDING CODE TO BE A DESIGNER.

REGISTRATION INFORMATION

REQUIRED UNLESS THE DESIGN IS EXEMPT UNDER DIV. C-3.2.4 OF THE ONTARIO BUILDING CODE

REVISION LIST

1	Revised for HAC comments (#1)	06.29.2017
2	Revised for HAC comments (#2)	07.26.2017
3	REVISED AS PER CITY COMMENTS	12.05.2017
4	-	MM.DD.YYYY
5	-	MM.DD.YYYY

ISSUE LIST

1	For Heritage Advisory Committee	05.10.2017
2	-	MM.DD.YYYY
3	-	MM.DD.YYYY
4	-	MM.DD.YYYY
5	-	MM.DD.YYYY

PROJECT NORTH:

TRUE NORTH:



DRAWING TITLE:

GARAGE ELEVATIONS

DRAWN BY:

CHECKED BY:

PROJECT ADDRESS:

29 PORT STREET

SHEET NO.

2016-132

SCALE: 1/4" = 1'-0"

A302



- .4 Canadian Roofing Contractor's Association (CRCA) Roofing Specifications Manual.
- .5 Canadian Sheet Steel Building Institute (CSSBI) Steel Fact Sheet 3, "Care and Maintenance of Prefinished Sheet Steel Building Products".
- .6 Factory Mutual Insurance Loss Prevention Data Sheet 1-49 (latest issue)

#### 1.5 WARRANTY:

- .1 The Contractor shall warrant against defect all workmanship performed and materials supplied for the installation for a period of two (2) years from the date of Substantial Performance.
- .2 Repair and/or replace any Work judged defective by the Consultant and any other work damaged due to faulty or defective work at no additional cost during the term of the warranty.
- .3 Defective installation covered under the warranty shall include, but not be limited to improper drainage, excessive ponding, leakage, loss of securement, failure of sealants, corrosion, fading of finish, change of colour and staining of adjoining or adjacent materials or surfaces. Replacement and repair of defective work shall be in accordance with this section. Damage caused from vandalism or impact damage by the public is not included.
- .4 Repairs will be made by the Contractor promptly within 48 hours of notification with no cost to the Owner during the warranty period.

#### 1.6 DELIVERY AND STORAGE

- .1 Deliver materials in their original wrappings with the manufacturer's labels and seals intact.
- .2 Store materials in areas designated by the Owner. Do not overload the existing structure.
- .3 Protect materials from all environmental factors. Follow manufacturer's instructions with respect to storage and environmental protection.
- .4 Do not store materials directly on roof. Provide tarped skids or plywood on rigid insulation as minimum protection of the roof.

#### 1.7 PROTECTION

- .1 Ensure adequate protection of existing materials and surfaces from damage.
- .2 Ensure adequate protection of exposed surfaces to prevent damage to interior until application of new roofing materials has been completed. The Contractor will be responsible for any damage as a result of not adequately protecting exposed surfaces.



- .3 The Contractor to provide barriers or overhead protection below the work area to protect pedestrian traffic adjacent to the work area.

#### 1.8 ENVIRONMENTAL CONSIDERATIONS:

- .1 Review all roof material to be disposed of for possible reuse or recycling opportunities.
- .2 Ensure reuse of existing roof materials in good condition wherever feasible and upon the Owner's approval.
- .3 Recycle applicable roofing material where facilities exist.

### PART 2 - PRODUCTS

#### 2.1 FLASHING AND TRIM MATERIALS

- .1 Prefinished Metal Flashing:
  - .1 Metal flashing shall be 24 gauge (0.6mm) hot dipped galvanized steel to ASTM A653/ASTM653M. Flashing to be prefinished with G-90 Baycoat 8000 Series Coating. Colour to match existing.
  - .2 Form work with sharp bends, and true flat planes with no twists, buckles, dents or other similar visual defects caused by defective materials or careless handling.
  - .3 Double back exposed metal edges at least 12 mm.
- .2 Eavestroughs: Half-round 26 ga. paint grip galvanized steel (seamless) with phosphatized coating formed to match existing. Paint colour to match existing.
- .3 Eavestrough Supports: Galvanized steel bracket and spikes with inside and outside bolts fabricated from 0.64mm (24 ga.) aluminum sized to suit profile of new gutters.
- .4 Rain Water Leaders: Round corrugated 26 ga. paint grip galvanized steel downspouts including elbows, shoes, junctions, and all accessories necessary for a complete job including watertight connection to gutters formed to match existing. Paint colour to Owner's approval.
- .5 Nails, screws, fasteners and accessories to be of the same material as the sheet metal to be fastened.
- .6 Isolation Coating: Alkali resistant bituminous paint or approved alternate.
- .7 Touch-up Paint: As recommended by metal flashing and trim manufacturer.
- .8 Rust Inhibitor Paint: Galvafruid by W.R. Meadows Canada or approved alternate.
- .9 Batt Insulation/Void Filler: Mineral-fiber batt insulation. Roxul or approved alternate.



.10 Precast Concrete Splash Pads: 64 mm x 762 mm x 305 mm (1 ½ x 30 x12in.) "Brooklin Splash Pads", as manufactured by Brooklin Concrete Products Limited or approved alternate.

.11 Provide all accessories for a complete installation.

## 2.2 FASTENERS:

.1 Of same material as sheet metal, to CSA B111M. Ring thread flat head roofing nails of length and thickness suitable for metal flashing applications.

.2 Metal siding fasteners: Galvanized, with exposed fasteners colour matched to cladding.

## 2.3 BITUMINOUS COATING:

.1 SSPC - Paint 12, solvent-type bituminous mastic, nominally free of sulfur, compounded for 15-mil dry film thickness per coat.

## 2.4 MASTIC SEALANT:

.1 Polyisobutylene; nonhardening, nonskinning, non-drying, nonmigrating sealant.

## 2.5 EPOXY SEAM SEALER:

.1 2-part noncorrosive metal seam cementing compound, recommended by metal manufacturer for exterior/interior nonmoving joints including riveted joints.

## 2.6 ADHESIVES:

.1 Type recommended by flashing sheet manufacturer for waterproof/weather-resistant seaming and adhesive application of and compatibility with flashing sheet.

## 2.7 METAL ACCESSORIES:

.1 Provide clips, straps, anchoring devices, and similar accessory units as required for installation of work, of the same metal, noncorrosive, size and gauge required for performance.

## 2.8 ROOFING CEMENT:

.1 ASTM D 2822, asphaltic.

## 2.9 FABRICATED UNITS

.1 Separations: Provide for separation of metal from noncompatible metal or corrosive substrates by coating concealed surfaces at locations of contact, with bituminous coating or other permanent separation as recommended by manufacturer/fabricator.



## 2.10 SEALANT

- .1 High-performance, low-modulus, one-component, moisture-curing, polyurethane joint sealant. Acceptable product, Dymonic with approved primer as manufactured by Tremco Ltd. or approved alternate.

## PART 3 - EXECUTION

### 3.1 SHOP FABRICATION

- .1 Fabricate metal flashings and other sheet metal work in accordance with applicable CRCA 'FL' series specifications.
- .2 Form flashings to closely match profiles shown on drawings, where indicated.
- .3 Brake form pieces in maximum lengths suitable for the work. Make allowance for expansion at joints. Cut, drill and shape in shop where possible.
- .4 Hem exposed edges on underside 12 mm minimum. Mitre and seal corners with sealant, in sliplock fashion to allow for thermal expansion.
- .5 Form sections square, true and accurate to size, free from distortion and other defects detrimental to appearance or performance.
- .6 Double-back exposed edges of metal flashing at least 12 mm.
- .7 Protect dissimilar metal materials from electrolytic action and from contact with concrete materials with a heavy coating of bituminous paint.

### 3.2 FLASHING INSTALLATION - GENERAL

- .1 Except as otherwise indicated, comply with manufacturer's installation instructions and recommendations and with CDA "Copper in Architecture Handbook". Anchor units of work securely in place, providing for thermal expansion of units; conceal fasteners where possible, and set units true to line and level as indicated. Install work with laps, joints, and seams that will be permanently watertight and weatherproof.
- .2 All work shall meet the requirements of the Ontario Building Code, the Canadian Roofing Contractors Association (CRCA), and CSSBI Steel Fact Sheets, including all amendments up to the project date.
- .3 Where not identified in this specification or indicated in the details, metal flashing shall be installed as detailed and in accordance with the applicable C.R.C.A. 'FL' series specifications and FM Loss Prevention Data Sheet 1-49 (latest issue), to match existing.
- .4 Bed flanges of work in a thick coat of bituminous roofing cement where required for waterproof performance.



- .5 Clean existing reglets to receive counter-flashing at masonry wall upturns.
- .6 Seam flashings with lock seams or soldered seams to prevent water infiltration, to match existing.
- .7 All joints shall be locked, cleated and caulked and all exposed edges shall be hemmed. Make ample allowance for expansion and contraction. All surfaces shall be free of distortions, dents or other marks.
- .8 Metal shall be formed on a bending brake. Shaping, trimming and hard seaming shall be done on bench. Form sections square, true and accurate to size, free from distortion and other defects detrimental to appearance or performance.
- .9 Make allowances for expansion at joints.
- .10 Hem exposed edges on underside 13 mm. Mitre and seal.
- .11 Supply and install dry separation sheeting, between all metal components and existing substrates unless otherwise detailed and between dissimilar metals.
- .12 Prevent entry of water in areas where work is in progress.
- .13 Backpaint uncoated sheet metal in contact with masonry or another metal with bituminous paint applied at a rate of 8 m<sup>2</sup>/L.
- .14 Install work in perfectly straight lines.

### 3.3 FLASHINGS:

- .1 At all wall interfaces, flashings are to finish in reglets in masonry unless otherwise noted.
- .2 Install backer rod and fill reglet with sealant.

### 3.4 DRIP FLASHINGS

- .1 Place drip flashing on top of underlayment at rakes. Secure flashing at 100mm on centre.
- .2 Place drip flashing under roof underlayment at roof eave as detailed. Secure flashing at 100mm on centre.

### 3.5 EAVESTROUGHS AND DOWNPIPES

- .1 Remove existing eavestroughs and downspouts, and replace with new components to match existing.
- .2 Ensure substrate for eavestrough securement is sound. Report deteriorated substrates to the Consultant for instruction.
- .3 Install membranes, flashing and fascia at roof perimeter.



- .4 Install new seamless eavestroughs with slope to drain.
- .5 Install downpipes with locations of downpipes as existing unless indicated otherwise on the Drawings.
- .6 Eavestrough gutters shall be placed below roof slope line so that snow and ice are able to slide clear.
- .7 Slope eavestrough gutters minimum 6 mm in 3 m to downpipes.
- .8 Space gutter supports no greater than 300 mm o/c.
- .9 Install new metal downpipes at locations acceptable to Owner and Consultant.
- .10 Modify connections from new metal eavestroughs to suit new metal downpipes.
- .11 Outlet spouts shall discharge into downpipes and shall be flanged at connection to gutter.
- .12 End caps and outlet spouts for new gutters shall be securely fastened with stainless steel rivets or screws and caulked at joints with clear silicone to prevent leakage.
- .13 Install downpipes and provide goosenecks back to wall.
- .14 Downpipes shall not be fastened to roof surfaces.
- .15 Space downspout fastening brackets no greater than 1500 mm o/c. and anchor securely to existing wall surface with non-ferrous fasteners; minimum three (3) brackets per down pipe.
- .16 Where possible, locate downpipes to drain onto soft landscaped areas and not onto walkways, driveways, etc. Review locations prior to installation.
- .17 Extend down pipes at least 2 m away from rear foundation walls, along fences, as directed.
- .18 Install splash pads below downpipes with slope away from walls.
- .19 Seal all terminations and penetrations; complete details.

### 3.6 SEALANTS:

- .1 Install sealants at junctions with adjoining work and along reglets. Sealant to be installed in strict accordance with manufacturer recommendations.
- .2 Provide bond break to prevent three sided adhesion and appropriate joint profile.

### 3.7 CLEANING AND PROTECTION

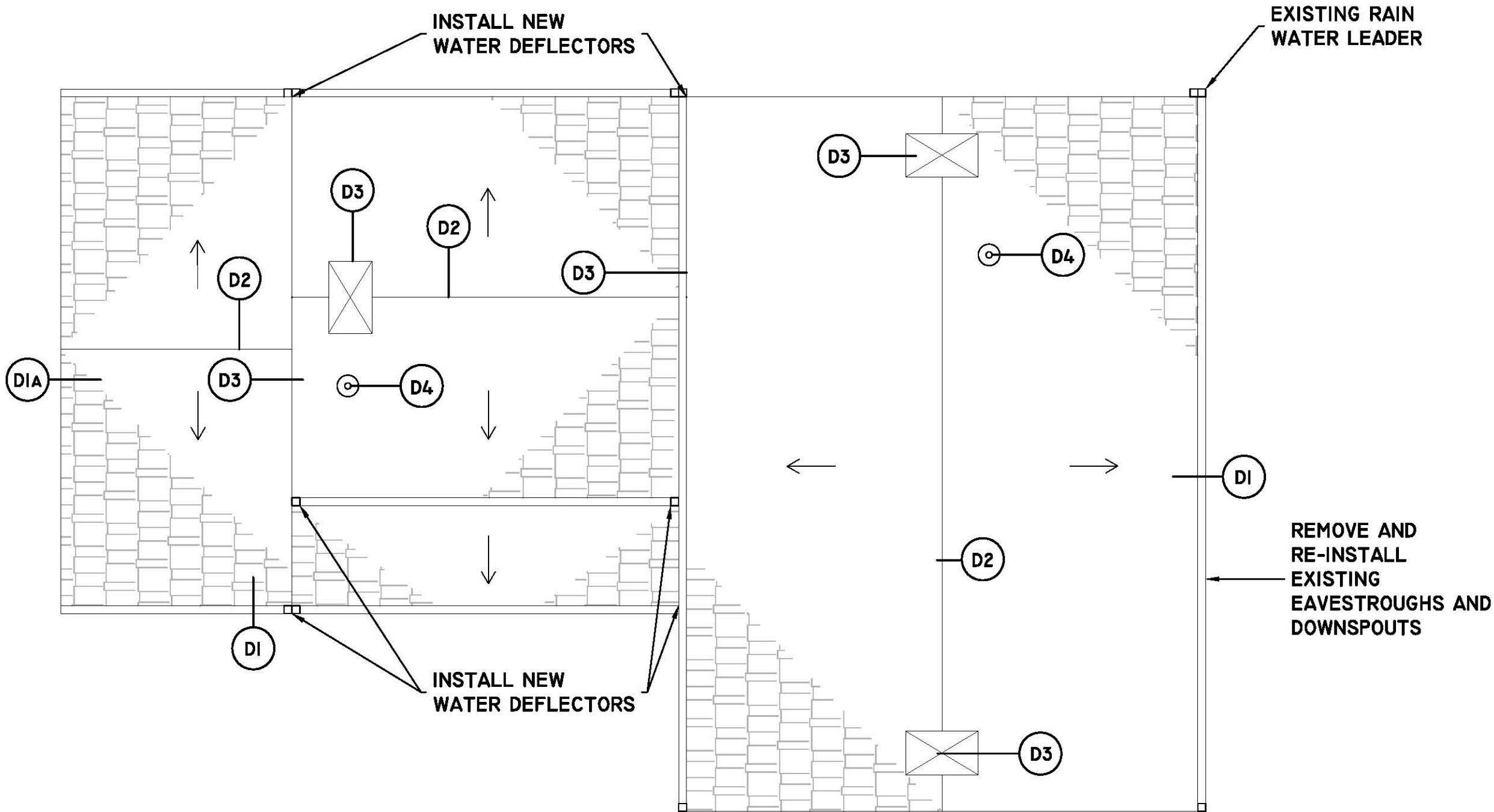
- .1 Clean exposed surfaces, removing substances that might cause discoloration of metal.



- .2 Leave work area free of all foreign and surplus material, obstructions and hindrances. Work area shall be returned to its original condition.
- .3 Maintain the area of work in a clean orderly manner, removing scraps, debris and other superfluous matter on a daily basis.

**END OF SECTION 07 62 00**





**LEGEND:**

- ⊠ CHIMNEY
- ⊙ PLUMBING PIPE W/NEW SLEEVE
- SLOPE DIRECTION
- DETAIL NO.
- ⊠ MASONRY CHIMNEY

**NOTES:**

1. LOCATIONS OF SITE FEATURES ARE APPROXIMATE AND MAY VARY FROM THAT SHOWN.
2. THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION. CONTRACTOR TO VERIFY QUANTITIES AND DIMENSIONS ON THE WORK.

**DRAWING TITLE:**

ROOF PLAN

**CLIENT ADDRESS:**

PEEL DISTRICT SCHOOL BOARD  
933 CENTRAL PARKWAY  
MISSISSAUGA, ON

**PROJECT LOCATION:**

5520 HURONTARIO STREET  
MISSISSAUGA, ON

**PROJECT No:** 22102

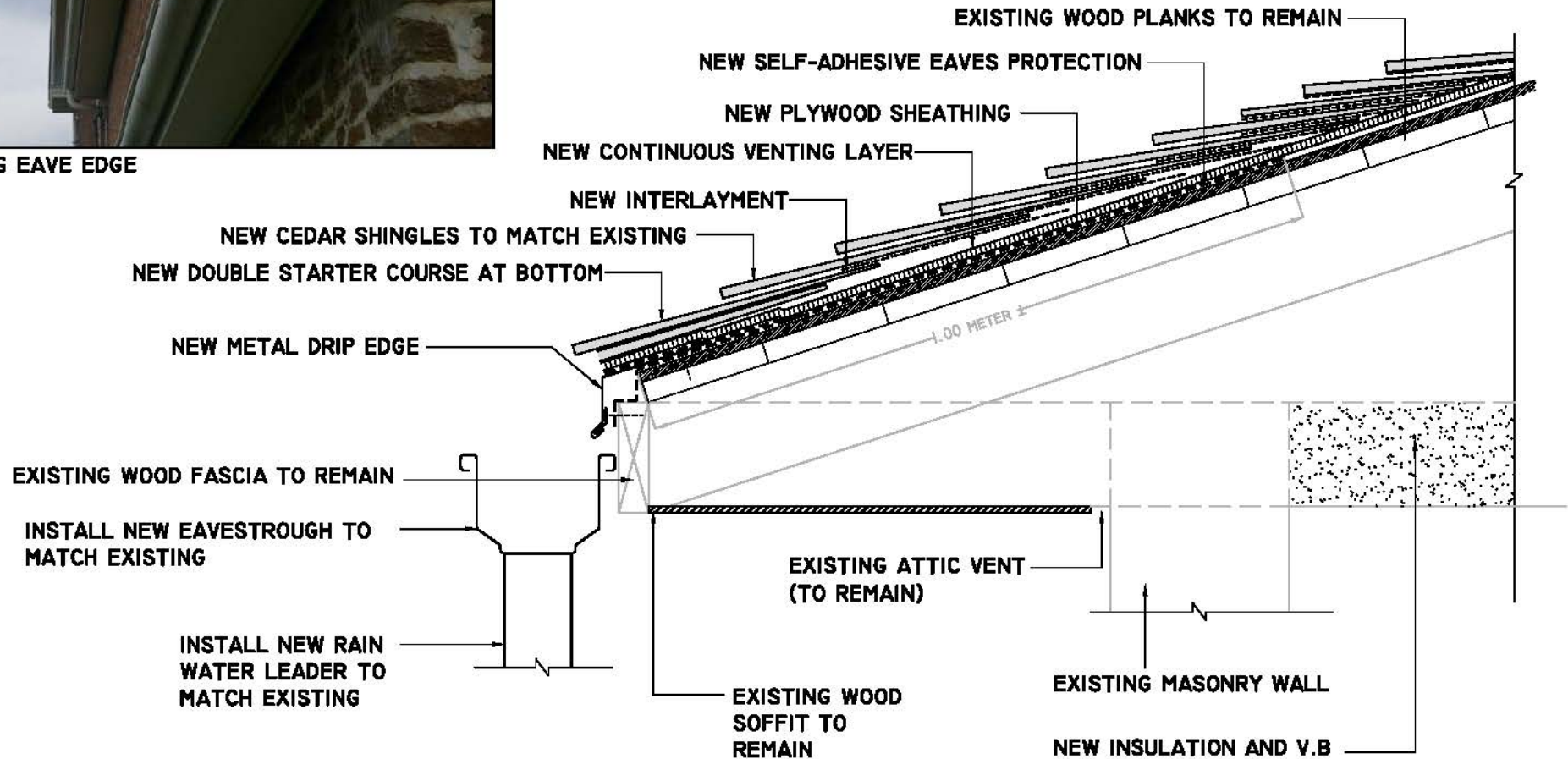
<b>DATE:</b> FEB. 2018	<b>DRAWING No:</b>  1
<b>SCALE:</b> NTS	
<b>DRAWN BY:</b> AK	
<b>APPROVED BY:</b> JR	







EXISTING EAVE EDGE



DRAWING TITLE:

TYPICAL EAVES EDGE DETAIL

PROJECT NUMBER: 22102

CLIENT ADDRESS:

PEEL DISTRICT SCHOOL BOARD  
933 CENTRAL PARKWAY  
MISSISSAUGA, ON

PROJECT LOCATION:

5520 HURONTARIO STREET  
MISSISSAUGA, ON

DATE: FEB. 2018

SCALE: NTS

DRAWN BY: JE

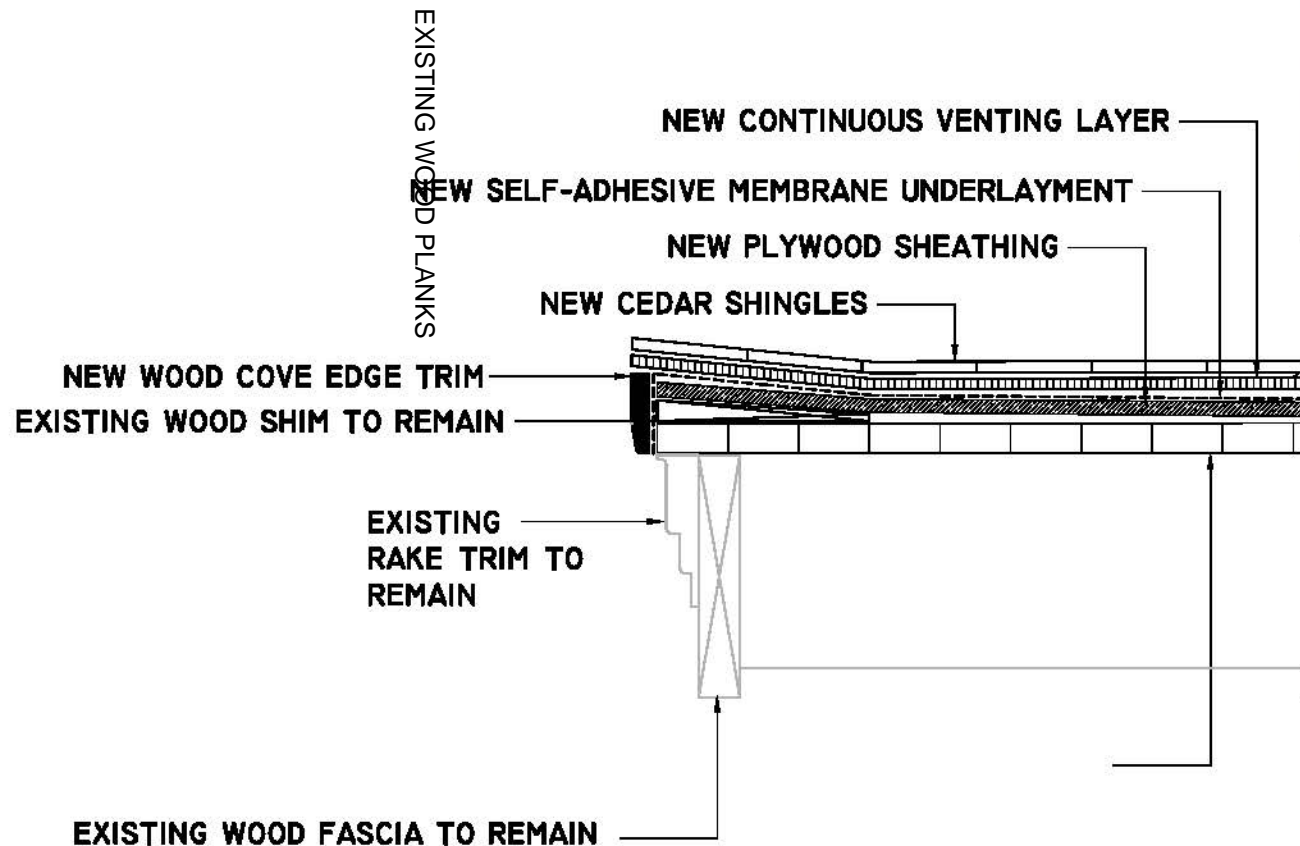
APPROVED BY: JR

DETAIL No:


DI



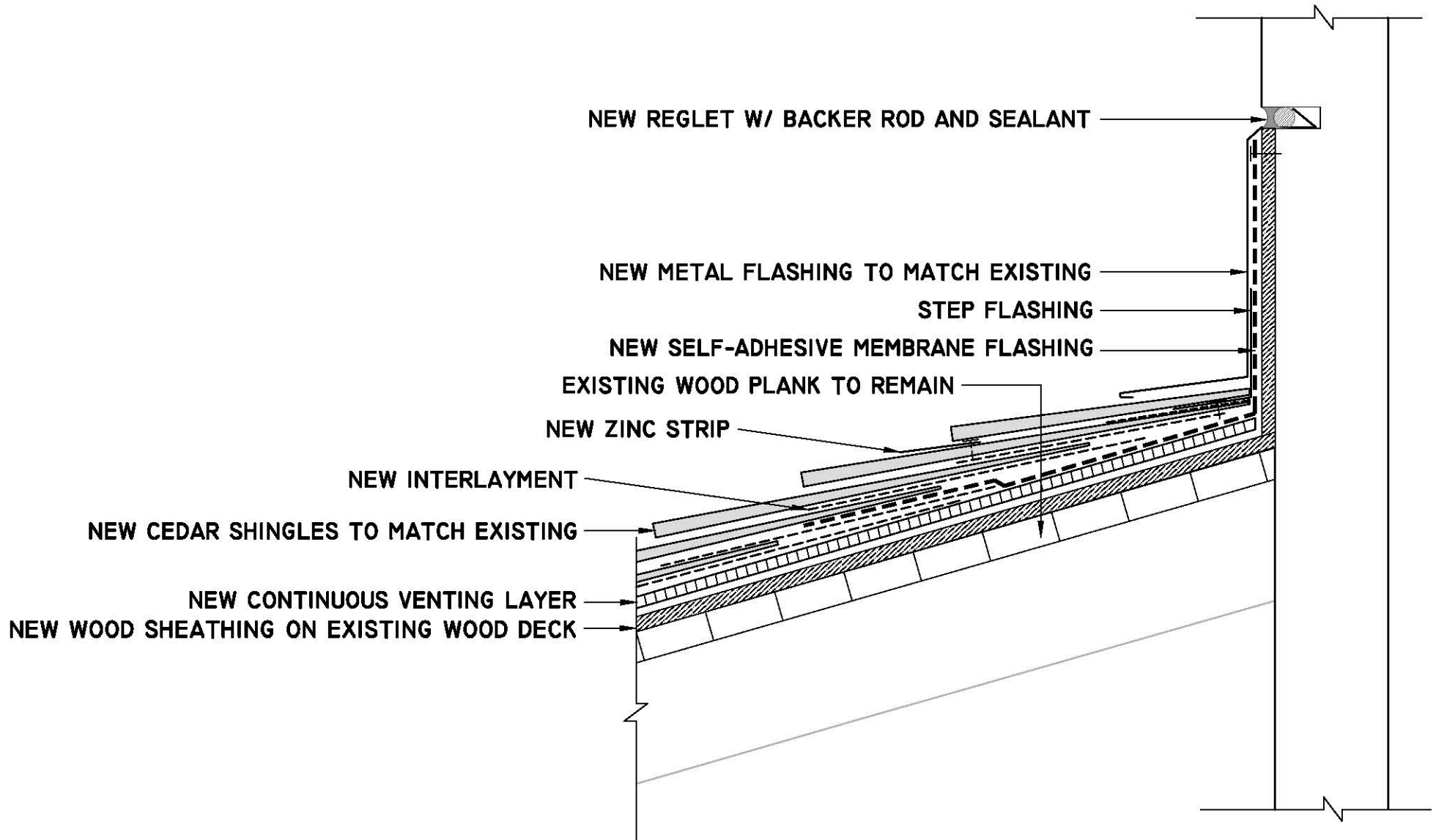




EXISTING RAKE EDGE

<div>DRAWING TITLE:</div> <div>TYPICAL RAKE EDGE DETAIL</div> <div>PROJECT NUMBER: 22102</div>	<div>CLIENT ADDRESS:</div> <div>PEEL DISTRICT SCHOOL BOARD 933 CENTRAL PARKWAY MISSISSAUGA, ON</div>	<div>PROJECT LOCATION:</div> <div>5520 HURONTARIO STREET MISSISSAUGA, ON</div>	<div><div><div>DATE: FEB. 2018</div><div>SCALE: NTS</div><div>DRAWN BY: AK</div><div>APPROVED BY: JR</div></div><div><div>DETAIL No:</div><div>DIA</div></div></div> <div><div><div>JTB CONSULTANTS</div><div>Occupational Hygiene &amp; Remediation</div></div></div>
--	--	--	---





DRAWING TITLE:

WALL UPTURN DETAIL

PROJECT NUMBER: 22102

CLIENT ADDRESS:

PEEL DISTRICT SCHOOL BOARD  
933 CENTRAL PARKWAY  
MISSISSAUGA, ON

PROJECT LOCATION:

5520 HURONTARIO STREET  
MISSISSAUGA, ON

DATE: FEB. 2018

SCALE: NTS

DRAWN BY: JE

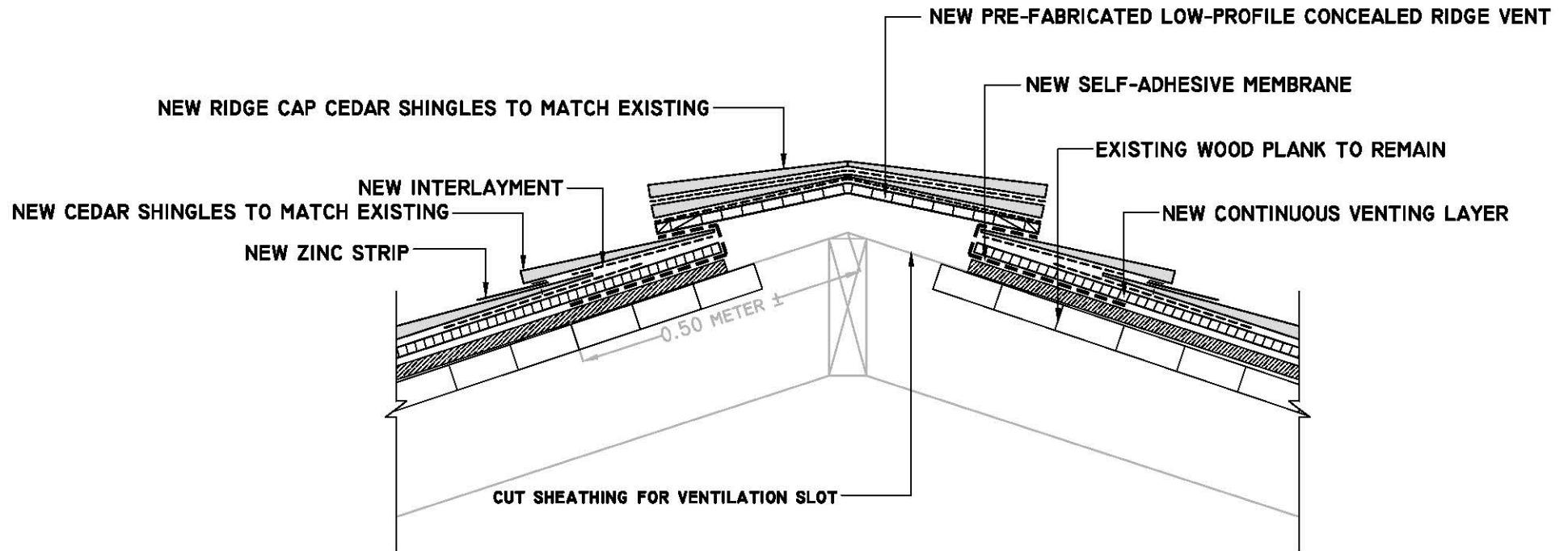
APPROVED BY: JR

DETAIL No:

D2







DRAWING TITLE:

RIDGE DETAIL

PROJECT NUMBER: 22102

CLIENT ADDRESS:

PEEL DISTRICT SCHOOL BOARD  
933 CENTRAL PARKWAY  
MISSISSAUGA, ON

PROJECT LOCATION:

5520 HURONTARIO STREET  
MISSISSAUGA, ON

DATE: FEB. 2018

SCALE: NTS

DRAWN BY: JE

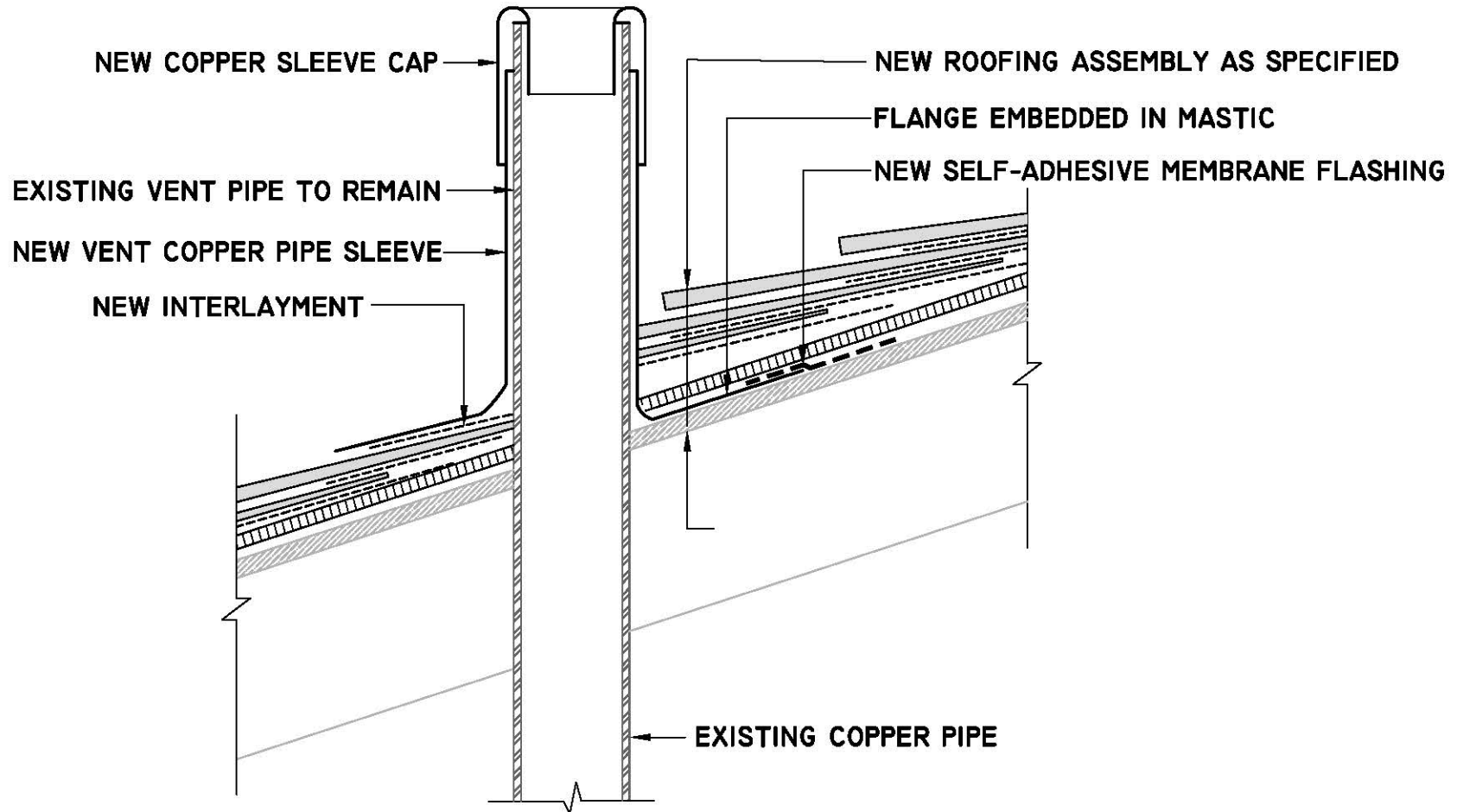
APPROVED BY: JR

DETAIL No:

D3







DRAWING TITLE:

PLUMBING VENT DETAIL

PROJECT NUMBER: 22102

CLIENT ADDRESS:

PEEL DISTRICT SCHOOL BOARD  
933 CENTRAL PARKWAY  
MISSISSAUGA, ON

PROJECT LOCATION:

5520 HURONTARIO STREET  
MISSISSAUGA, ON

DATE: FEB. 2018

SCALE: NTS

DRAWN BY: JE

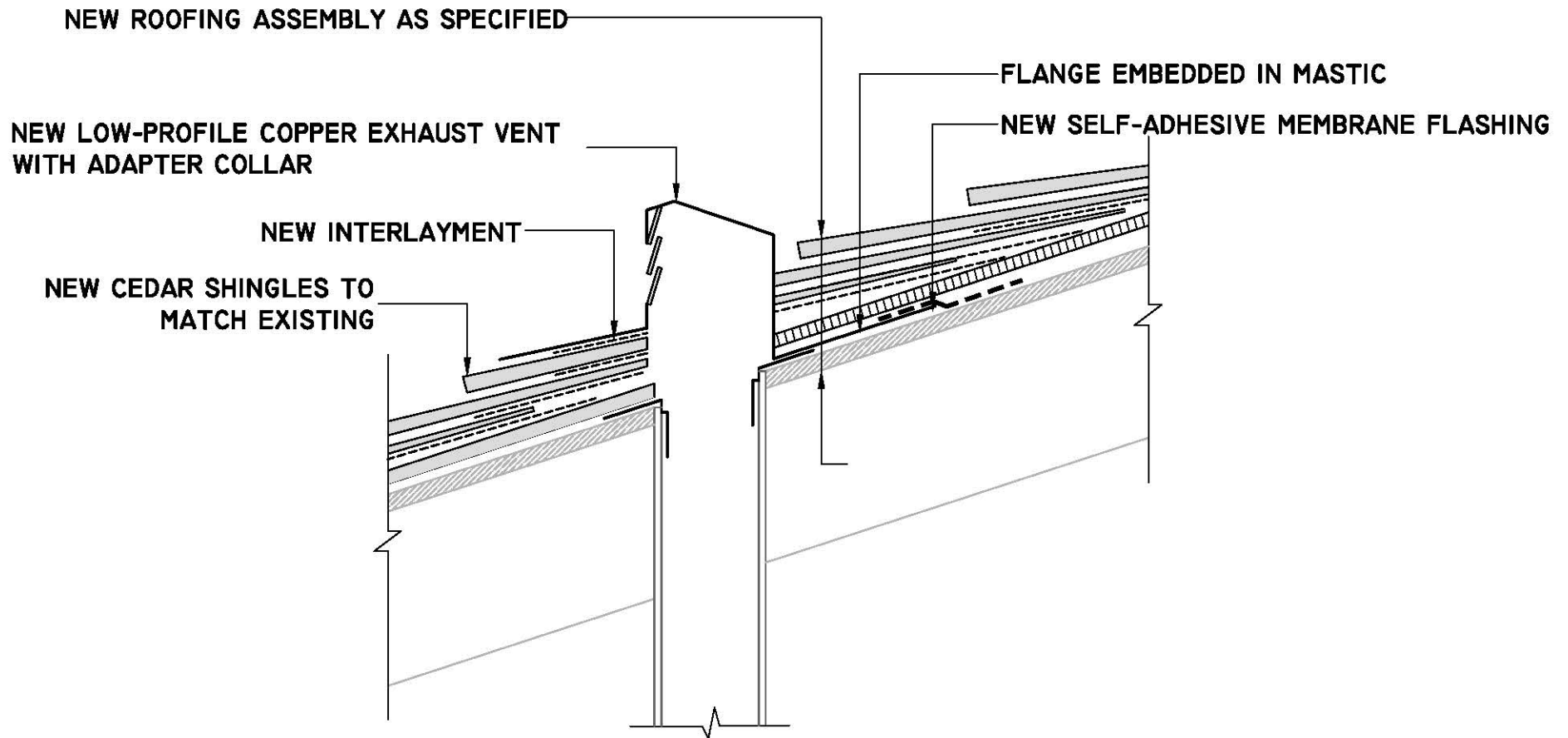
APPROVED BY: JR

DETAIL No:

D4







DRAWING TITLE:

EXHAUST VENT DETAIL (IF REQUIRED)

PROJECT NUMBER: 22102

CLIENT ADDRESS:

PEEL DISTRICT SCHOOL BOARD  
933 CENTRAL PARKWAY  
MISSISSAUGA, ON

PROJECT LOCATION:

5520 HURONTARIO STREET  
MISSISSAUGA, ON

DATE: FEB. 2018

SCALE: NTS

DRAWN BY: JE

APPROVED BY: JR

DETAIL No:

D5





Office of the Mayor

February 6, 2018

Hon. Catherine McKenna  
Minister of Environment and Climate Change in Canada  
200 Sacré-Coeur Boulevard  
Gatineau QC K1A 0H3

**Bonnie Crombie, MBA, ICD.D**

Mayor, City of Mississauga  
T 905-896-5555 F 905-896-5879  
mayor@mississauga.ca

**City of Mississauga**

300 City Centre Drive  
MISSISSAUGA ON L5B 3C1  
mayorcrombie.ca

Dear Hon. Catherine McKenna, Member of Parliament:

The City of Mississauga urges you to implement the recommendations of the federal House of Commons Standing Committee on Environment and Sustainable Development contained in report 10 regarding the preservation of Canada's heritage. (See: <http://www.ourcommons.ca/DocumentViewer/en/42-1/ENVI/report-10>.)

While all of the recommendations should be implemented, recommendation number 11, a proposed tax credit for restoration and preservation work on buildings listed in the Canadian Register of Historic Places, is of particular importance. The Register includes properties from across the country that have been formally recognized for their heritage value by an appropriate authority within a jurisdiction. I.e. most of Mississauga's municipally designated properties – both public and private – are included on this list.

The proposed tax credit would help give much needed support to municipal efforts to conserve properties of cultural heritage value or interest. Supporting heritage preservation is critical to municipalities for the following reasons. Heritage preservation:

- Strengthens the economy because it:
  - Stimulates revitalization;
  - Creates more jobs than new construction as heritage rehabilitation requires more labour and it is usually local;
  - Stimulates tourism because cultural heritage draws more people that stay longer and spend more money than average tourist attractions;
  - Attracts the creative class because it increases quality of life and sense of place, thus attracting innovative industry; and
  - Where heritage conservation districts are the outcome, increases property value by protecting and investing in property enhancement and long term stability.



- Strengthens neighbourhoods by serving as a source of community, memory, identity and pride;
- Distinguishes communities by making communities recognizable;
- Is good for the environment since 30% of landfill is demolition waste; and
- Maintains diversity in the midst of standardized development.

Heritage rehabilitation projects benefit us all. Any incentives that lead to the preservation of our irreplaceable cultural heritage resources are welcome. Please ensure that this important initiative is implemented.

Sincerely,



Bonnie Crombie, MBA, ICD.D  
Mayor of Mississauga

cc: Hon. Bill Morneau, Minister of Finance  
Hon. Omar Alghabra, Member of Parliament  
Hon. Navdeep Bains, Member of Parliament  
Hon. Peter Fonseca, Member of Parliament  
Hon. Iqra Khalid, Member of Parliament  
Hon. Gagan Sikand, Member of Parliament  
Hon. Sven Spengemann, Member of Parliament

City of Mississauga  
300 City Centre Drive