Agenda



Heritage Advisory Committee

Date

2018/02/06

Time

9:30 AM

Location

Civic Centre, Council Chamber, 300 City Centre Drive, Mississauga, Ontario, L5B 3C1 Ontario

Members

Councillor George Carlson, Ward 11 (Chair)
Rick Mateljan, Citizen Member (Vice-Chair)
Councillor Carolyn Parrish, Ward 5
Michael Battaglia, Citizen Member
Elizabeth Bjarnason, Citizen Member
Robert Cutmore, Citizen Member
Lindsay Graves, Citizen Member
James Holmes, Citizen Member
Cameron McCuaig, Citizen Member
Melissa Stolarz, Citizen Member
Matthew N. Wilkinson, Citizen Member

Contact

Mumtaz Alikhan, Legislative Coordinator, Legislative Services 905-615-3200 ext. 5425 mumtaz.alikhan@mississauga.ca

NOTE: To support corporate waste reduction efforts the large appendices in this agenda can be viewed at: http://www.mississauga.ca/portal/cityhall/ heritageadvisory.ca

Find it Online

http://www.mississauga.ca/portal/cityhall/heritageadvisory

- 1. CALL TO ORDER
- 2. APPROVAL OF AGENDA
- DECLARATION OF CONFLICT OF INTEREST
- 4. MINUTES OF PREVIOUS MEETING
- 4.1. Approval of Minutes of Meeting held on January 9, 2018
- 5. DEPUTATIONS
- 6. PUBLIC QUESTION PERIOD 15 Minute Limit (5 Minutes per Speaker)
 Pursuant to Section 42 of the Council Procedure By=law 0139-2013, as amended the
 Heritage Advisory Committee may grant permission to a member of the public to ask a
 question of the Committee with the following provisions:
 - 1. The question must pertain to a specific item on the current agenda and the speaker will state which item the question is related.
 - 2. A person asking a question shall limit any background explanation to two (2) statements, followed by the question.
 - 3. The total speaking time shall be five (5) minutes maximum per speaker.
- 7. MATTERS TO BE CONSIDERED
- 7.1. Request to Alter a Heritage Designated Property: 5155 Mississauga Road (Ward 11)
- 7.2. Request to Alter a Heritage Designated Property: 1352 Lakeshore Road East (Ward 1)
- 7.3. Request to Alter a Heritage Designated Property: 31 Lakeshore Road East (Ward 1)
- 7.4. Request to Alter a Heritage Designated Property: 1011 Old Derry Road (Ward 11)
- 7.5. Request to Alter a Heritage Designated Property: 7059 Second Line West (Ward 11)
- 7.6. Reguest to Demolish a Heritage Listed Property: 1570 Stavebank Road (Ward 1)
- 7.7. Heritage Planning 2017 Year in Review
- 7.8. Response to HAC-0041-2017 analysis of the Heritage Property Grant Program
- 7.9. Alterations to a Heritage Listed Property: 920 East Avenue (Ward 1)
- 7.10. 2018 Community Heritage Ontario Membership Renewal

- 8. SUBCOMMITTEE UPDATES
- 8.1. <u>Heritage Designation Sub-Committee</u>
- 8.2. <u>Public Awareness Sub-Committee</u>
- 9. INFORMATION ITEMS Nil.
- 10. OTHER BUSINESS
- 10.1. <u>Updates to the Workplace Violence and Respectful Workplace Policies</u>
- 11. DATE OF NEXT MEETING March 6, 2018
- 12. ADJOURNMENT

City of Mississauga

Minutes



Heritage Advisory Committee

Date

2018/01/09

Time

9:30 AM

Location

Civic Centre, Committee Room A - Second Floor, 300 Civic Centre Drive, Mississauga, Ontario, L5B 3C1 Ontario

Members Present

Councillor George Carlson, Ward 11 (Chair)
Rick Mateljan, Citizen Member (Vice-Chair)
Councillor Carolyn Parrish, Ward 5 (Left at 10:50 am)
Michael Battaglia, Citizen Member
Elizabeth Bjarnason, Citizen Member
Robert Cutmore, Citizen Member
Lindsay Graves, Citizen Member
James Holmes, Citizen Member
Cameron McCuaig, Citizen Member
Melissa Stolarz, Citizen Member

Members Absent

Matthew Wilkinson, Citizen Member

Staff Present

Mark Warrack, Manager, Culture and Heritage Planning Paula Wubbenhorst, Heritage Planner, Culture Division Mumtaz Alikhan, Legislative Coordinator

Find it online

- 1. CALL TO ORDER 9:36 am
- 2. APPROVAL OF AGENDA

APPROVED (M. Stolarz)

- DECLARATION OF CONFLICT OF INTEREST
 - R. Mateljan declared conflicts with Items 7.2, 7.3 and 7.5 due to his organization's involvement in the applications.
 - L. Graves declared conflicts with Items 7.10 and 7.11 due to her organization's involvement in the applications.
- 4. MINUTES OF PREVIOUS MEETING
- 4.1. Heritage Advisory Committee Minutes November 14, 2017

APPROVED (R. Cutmore)

- 5. DEPUTATIONS
- 5.1. Waterfront Parks Strategy Refresh Jane Darragh, Planner, Parks Planning
 Jane Darragh, Planner, Parks Planning, and Aha Naylor, Partner, Dillon Consulting,
 reviewed the Waterfront Parks Strategy (Strategy) Refresh. Ms. Darragh noted that the
 Strategy was approved by Council in 2008 to help guide the planning, programming and
 management of the City's waterfront parks into the future. Ms. Naylor reviewed the
 project's progress to-date noting that Mississauga's Waterfront is a tourism asset and
 ofthe challenges with respect to congestion due to its popularity. She spoke to building
 the Waterfront Parks connectivity, identity, climate change resiliency, the adaptive reuse of
 heritage buildings and enhancing the natural heritage.
 - R. Cutmore spoke to the Arsenal Lands and the Small Arms Building. Mark Warrack, Manager, Culture and Heritage Planning, commented that the area has high archeological resource potential and an archaeological assessment should be required as part of any redevelopment.

RECOMMENDATION

HAC-0001-2018

That the Power Point Presentation with respect to the Waterfront Parks Strategy Refresh from Jane Darragh, Planner, Parks Planning, to the Heritage Advisory Committee at its meeting held on January 9, 2018, be received for information.

RECEIVED (R. Cutmore)

- 6. PUBLIC QUESTION PERIOD Nil.
- MATTERS TO BE CONSIDERED
- 7.1. Request to Alter a Heritage Designated Property: 41 Bay Street (Ward 1)

 Corporate Report dated December 7, 2017 from the Commissioner of Community Services.

RECOMMENDATION

HAC-00021-2018

That the proposed alteration to 41 Bay Street, as per the Corporate Report from the Commissioner of Community Services, dated December 7, 2017 be approved.

APPROVED (R. Cutmore)

At this point R. Mateljan left the meeting due to a conflict with Items 7.2 and 7.3.

7.2. Request to Alter a Heritage Designated Property: 1155 Willow Lane (Ward 11)
Corporate Report dated December 7, 2017 from the Commissioner of Community
Services.

RECOMMENDATION

HAC-0003-2018

That the request to alter the property at 1155 Willow Lane as per the Corporate Report from the Commissioner of Community Services dated December 7, 2017, be approved.

APPROVED (J. Holmes)

- 7.3. Request to Alter a Heritage Designated Property: 1066 Old Derry Road (Ward 11)
 Corporate Report dated December 7, 2017 from the Commissioner of Community
 Services.
 - J. Holmes noted that the Meadowvale Village Heritage Conservation District Advisory Sub-Committee (Sub-Committee) had considered this application at its meeting on November 28, 2017 and had made two additional recommendations with respect to a barrier being placed on the grassed area in the front of the dwelling to prevent parking there until the landscaping is completed. As well, he noted that the Sub-Committee had recommended a gravel drive way instead of the originally approved interlocking one.

The Committee agreed to the Sub-Committee's recommendations.

RECOMMENDATION

HAC-0004-2018

- 1. That the existing sliding glass doors at the rear of the property at 1066 Old Derry Road be permitted to remain.
- 2. That the request to revise the garage door design at the property at 1066 Old Derry Road be refused.
- 3. That the landscaping be completed as soon as possible and, in the meantime, steps be taken to place a barrier to prevent parking on the grassed area in the front

of the dwelling.

4. That a gravel drive way be recommended instead of the originally approved interlocking stone drive way.

APPROVED (J. Holmes)

- R. Mateljan returned to the meeting.
- 7.4. Request to Alter a Heritage Designated Property: 1059 Old Derry Road (Ward 11) Corporate Report dated December 7, 2017 from the Commissioner of Community Services.

RECOMMENDATION

HAC-0005-2018

That the request to install a concrete deck at the rear of the property at 1059 Old Derry Road as per the Corporate Report from the Commissioner of Community Services dated December 7, 2017, be approved.

APPROVED (J. Holmes)

- R. Mateljan left the meeting due to a conflict with Item 7.5
- 7.5. Request to Alter a Heritage Designated Property: 1036 Old Derry Road (Ward 11) Corporate Report dated December 7, 2017, from the Commissioner of Community Services.

RECOMMENDATION

HAC-0006-2018

That the request to install an asphalt driveway at the property at 1036 Old Derry Road as per the Corporate Report from the Commissioner of Community Services dated December 7, 2017, be approved.

APPROVED (J. Holmes)

7.6. Request to Demolish a Heritage Listed Property: 36-46 Main Street (Ward 11)
Corporate Report dated December 7, 2017 from the Commissioner of Community Services.

RECOMMENDATION

HAC-0007-2018

That the property at 36-46 Main Street, which is listed on the City's Heritage Register, is not worthy of heritage designation, and consequently, that the owner's request to demolish proceed through the applicable process as outlined in the Corporate Report dated December 7, 2017 from the Commissioner of Community Services.

APPROVED (Councillor C. Parrish)

7.7. Request to Demolish a Heritage Listed Property: 7177 Lancaster Avenue (Ward 5) Corporate Report dated December 7, 2017 from the Commissioner of Community

Services.

Councillor Parrish cautioned that the Applicant will need to be notified that they will be subject to strict adherence of the new zoning regulations.

RECOMMENDATION

HAC-0008-2018

That the property at 7177 Lancaster Avenue, which is listed on the City's Heritage Register, is not worthy of heritage designation, and consequently, that the owner's request to demolish proceed through the applicable process as outlined in the Corporate Report dated December 7, 2017.

APPROVED (Councillor C. Parrish)

7.8. Request to Demolish a Heritage Listed Property: 1775 Thorny Brae Place (Ward 8) Corporate Report dated December 7, 2017 from the Commissioner of Community Services.

RECOMMENDATION

HAC-0009-2018

That the property at 1775 Thorny Brae Place, which is listed on the City's Heritage Register, is not worthy of heritage designation, and consequently, that the owner's request to demolish proceed through the applicable process as outlined in the Corporate Report dated December 7, 2017.

APPROVED (J. Holmes)

7.9. 29 Stavebank Road (Vimy Park)

Memorandum dated December 5, 2017 from Paul Damaso, Director, Culture Division.

Mansoor Kazerouni, IBI Group, provided an overview of the proposed development located at 21 Park Street which abuts Vimy Park (Park). He spoke to a re-submission of a rezoning application which will incorporate a 4.5 metre set-back of the parking garage, the wall separating the proposed development from the Park, the landscaping and the aesthetics of the building to complement the Park.

Committee Members felt that the tree back drop should be maintained and suggested that a decorative fence as opposed to a wall be erected.

RECOMMENDATION

HAC-00010-2018

That the Memorandum dated December 5, 2017 from Paul Damaso, Director, Culture Division, with respect to Vimy Park located at 29 Stavebank Road, be received for information.

RECEIVED (R. Mateljan)

L. Graves left the meeting due to conflicts with Items 7.10 and 7.11.

7.10. Credit River Lakeshore Railway Bridge

Memorandum dated November 23, 2017 from Paul Damaso, Director, Culture Division.

Mr. Warrack noted that that the Credit River Lakeshore Railway Bridge (Bridge) is the only one of its kind known to exist in Ontario and is worthy of a heritage designation. He advised that the feasibility of a heritage designation be explored although the Bridge is a provincial property and the City does not have any legal standing even if designated as being of heritage value. The Committee members agreed that staff review the possibility of a heritage designation of the Bridge.

RECOMMENDATION

HAC-0011-2018

That the Memorandum dated November 23, 2017 from Paul Damaso, Director, Culture Division, with respect to the Credit River Lakeshore Railway Bridge, be received for information, and that the feasibility of designation under the Ontario Heritage Act be directed to staff for investigation.

RECEIVED (B. Bjarnason)

7.11. <u>Alterations to a Heritage Listed Property: 1576 Dundas Street West</u>

Memorandum dated November 23, 2017 from Paul Damaso, Director, Culture Division

RECOMMENDATION

HAC-0012-2018

That the Memorandum dated November 23, 2017 from Paul Damaso, Director, Culture Division, with respect to alterations to a Heritage Listed Property located at 1576 Dundas Street West, be received for information.

RECEIVED (C. McCuaig)

7.12. Robert Cotton House, 1234 Old River Road

Memorandum dated November 23, 2017 from Paul Damaso, Director, Culture Division.

RECOMMENDATION

HAC-0013-2018

That the Memorandum dated November 23, 2017 from Paul Damaso, Director, Culture Division, with respect to the designated property known as Robert Cotton House located at 1234 Old River Road, be received for information.

RECEIVED (M. Stolarz)

8. SUBCOMMITTEE UPDATES

8.1. <u>Meadowvale Village Heritage Conservation District Advisory Sub-Committee (Sub-Committee) Report dated November 28, 2017</u>

The following approved Recommendations from the Sub-Committee's meeting held on November 28, 2017 were considered:

MVHCD-0005-2017

That the request to alter the property at 1155 Willow Lane, as described in the Memorandum dated November 6, 2017 from Mark Warrack, Manager, Culture and Heritage Planning, and the attached drawings, be approved.

MVHCD-0006-2017

That the request to alter the property at 1059 Old Derry Road, as described in the Memorandum dated November 6, 2017 from Mark Warrack, Manager, Culture and Heritage Planning, and the attached drawings, be approved.

MVHCD-0007-2017

That the request to alter the property at 1036 Old Derry Road, as described in the Memorandum dated November 7, 2017 from Mark Warrack, Manager, Culture and Heritage Planning, and the attached drawings, be approved.

MVHCD-0008-2017

That the Memorandum dated November 8, 2017 from Mark Warrack, Manager, Culture and Heritage Planning, with respect to a request to alter 1066 Old Derry Road be received, and that the following be approved:

- 1. That the existing sliding glass doors at the rear of the dwelling, be approved.
- 2. That the original type of garage door be installed, as previously approved.
- 3. That the landscaping be completed as soon as possible and, in the meantime, steps be taken to place a barrier to prevent parking on the grassed area in the front of the dwelling.
- 4. That a gravel drive way be recommended instead of the originally approved interlocking stone drive way.

MVHCD-0009-2017

That the resignation dated November 7, 2017 from Colleen Newmarch, be received.

RECOMMENDATION

HAC-0014-2018

That Recommendations MVHCD-0005-2017 to MVHCD-0009-2017 inclusive contained in the Meadowvale Village Heritage Conservation District Advisory Sub-Committee Report 4-2017 dated November 28, 2017, be approved.

APPROVED (J. Holmes)

- 8.2. <u>Heritage Designation Sub-Committee Update</u>
- 8.3. <u>Public Awareness Sub-Committee Update</u>
 Nil.
- 9. INFORMATION ITEMS Nil.

10. OTHER BUSINESS

(a) <u>Federal House of Commons Action on Conservation of Heritage Properties</u>

The Committee considered a letter dated December 29, 2017 from Community Heritage Ontario seeking its support of the Federal House of Commons Standing Committee on Environment and Sustainable Development Recommendations cited in its December 2017 Report entitled "*Preserving Canada's Heritage: The Foundation for Tomorrow*". Mr. Warrack advised that there are 90% of Mississauga's properties on the Federal Register.

The Committee expressed its support of the Federal recommendations and recommended that Council support be requested for action on the conservation of heritage properties.

RECOMMENDATION

HAC-0015-2018

- That the letter dated December 29, 2017 from Community Heritage Ontario seeking support for Federal action on the conservation of heritage properties, be received.
- That the Heritage Advisory Committee recommends that Mississauga City Council consider a Resolution to support the Federal House of Commons Standing Committee on Environment and Sustainable Development recommendations contained in its Report entitled "Preserving Canada's Heritage: The Foundation for Tomorrow", dated December 2017.
- 3. That Council's expression of support be sent, in writing, by the Mayor to the Federal Minister of Environment with copies to the Minister of Finance and Mississauga's Members of Parliament.

APPROVED (Councillor C. Parrish)

(b) C. McCuaig spoke to his proposal sent on January 8, 2018 to Members for discussion about building a net zero carbon City while creating future heritage to improve where people live, work and play. He sought the Committee's feedback as well as approval to present his proposals, on behalf of the Heritage Advisory Committee (HAC), at a future Environment Action Group meeting, and then jointly to Council. He responded to Mr. Holmes' concern regarding HAC's mandate and felt that his proposal falls within it. He noted Mr. Wilkinson's support, expressed in his email to the Committee dated January 9, 2018, sent in lieu of his attendance at today's meeting, citing how HAC's roles and responsibilities could fit in with the larger and evolving city vision and plan.

Mr. Warrack commented that the concept was more about place making and a clearer definition than the words 'future heritage' might be better.

Discussion ensued and Committee Members provided feedback and suggested that a revision be brought back to a future Committee meeting for discussion.

Councillor Carlson stated that there is no reason why Mr. Cameron may not present to the Environment Action Committee as a citizen member.

RECOMMENDATION

HAC-0016-2018

That the verbal report from Cameron McCuaig to the Heritage Advisory Committee at its meeting held on January 9, 2018, with respect to building a net zero carbon city, while creating future heritage for residents, businesses and visitors to improve where they live, work, play, be received.

RECEIVED (R. Cutmore)

- 11. DATE OF NEXT MEETING February 6, 2017
- 12. ADJOURNMENT 11:24 am



City of Mississauga

Corporate Report



Date:	January 11, 2018	Originator's files:
То:	Chair and Members of Heritage Advisory Committee	
From:	Paul Mitcham, P. Eng, MBA, Commissioner of Community Services	Meeting date: February 6, 2018

Subject

Request to Alter a Heritage Designated Property: 5155 Mississauga Road (Ward 11)

Recommendation

That the proposed alteration to 5155 Mississauga Road, as per the Corporate Report from the Commissioner of Community Services, dated January 11, 2018 be approved subject to the following conditions:

- That the outstanding archaeological work related to the corresponding development application be completed, including the submission of corresponding letters from the Ministry of Tourism and Culture, confirming that all archaeological resource concerns have met licensing and resource conservation requirements; and
- 2. That a mason and carpenter with proven experience in heritage conservation and restoration, as well as a building mover with proven experience relocating heritage buildings, approved by the Director, Culture Division, oversee the project; and
- That final full size building permit and engineering drawings, drawn to scale and dimensioned, with all interventions and impacts clearly marked, materials indicated, be submitted to Heritage Planning for review and comment; and
- 4. That an interpretation plan be submitted, to the satisfaction of the Director, Culture Division, and
- That the project is subject to a letter of credit in the amount of \$235,000 to ensure that
 the conservation plan, including the outbuilding relocation, is satisfactorily completed,
 not to be released until the building is ready for occupancy and the interpretation plan
 carried out: and

- That the owner erect a sign, satisfactory to the Director, Culture Division, clearly visible along Mississauga Road, indicating that the house is in the process of being restored for future use; and
- 7. That if any changes result from other City review and approval requirements, such as but not limited to building permit, committee of adjustment or site plan approval, a new heritage permit application will be required. The applicant is required to contact Heritage Planning at that time to review the changes prior to obtaining other approvals and commencing construction.

Report Highlights

- Barber House is designated under Part IV of the Ontario Heritage Act; by-law amended in 2017
- Owner has submitted application to convert Barber House into 4 back to back condominium units and add townhouses and detached homes to the property
- Proposal includes removal of 20th and 21st century rear and north additions, restoration of many exterior elements of the house, and relocation of outbuilding from north to east side of property for use as bike storage
- Visibility of house would be compromised by the proposed additional built form; however, most of the south view, as per the recently amended designation by-law, is visible from the public realm

Background

Section 33 of the Ontario Heritage Act requires permission from Council to alter property designated under Part IV of the Act. The City designated the subject property – the Barber House – under the Ontario Heritage Act in 1982 and amended the by-law in 2017. The by-law is attached as Appendix 1. The property recently served as a restaurant from 1976 to 2016 and is now vacant. The current owner has noted that the property has 24 hour video security monitoring.

The owner of the property has submitted an application, filed under OZ/OPA 16/011 and T-M 16003, to convert the Barber House into four back to back (two storey) condominium units and add sixteen townhouses on a common element condominium road along the north end of the property and four detached lots with double car driveways along Barbertown Road. A Heritage Impact Assessment (HIA), details from the HIA, Conservation Plan, Arborist Report, Landscape Plan and details, budget, perspective drawings, elevation drawings of the townhouses and detached units are attached as appendices 2 thru 10. The owner appealed the planning applications to the Ontario Municipal Board, for lack of a decision, on December 22, 2017.

Comments

The proposal calls for the removal of all the 20th and 21st century additions made to the Barber House and the restoration of the exterior of the original house, with some modifications. The enclosed south porch would be reopened and functional shutters would replace faux ones. Few original windows remain; all would be replaced like for like. The blind windows on the south façade would not be reinstated. Two windows would be converted to doors to meet Ontario Building Code requirements. Windows would be reinstated on the rear elevation, though the additional small hip roof feature shown in the 1977 photograph would not be reinstated. The small outbuilding at the north end of the property would be relocated to the rear of the Barber House and turned 180 degrees (to face north) for use as bike storage. Drawings and budget, specific to the outbuilding, are attached as appendices 11 and 12 respectively. Exterior architectural detail/ornamentation and the masonry of all built form would be repaired/restored/replicated like for like, with the buildings remaining painted white.

The heritage designation by-law includes the following attribute: "views of the building from Mississauga Road and Barbertown Road, from the public realm (the sidewalk and road). This view is illustrated on page 46 (page 55 of the pdf) of the heritage designation amendment report (see item 7.1 here: https://www7.mississauga.ca/documents/committees/heritage/2016/10 - 11 15 16 HAC Agenda.pdf.) As such, visibility of the entire south side of the main house is suggested as being the protected view from the public realm. This view would be compromised slightly with the subject proposal; i.e. the entire south side of the main house would not be visible from the public realm at Mississauga Road. 1100 mm high ornamental fencing, with 98 mm spacing of pickets is proposed at the rear of the lots facing Barbertown Road to provide more visibility; however, coniferous trees are proposed, likely to provide privacy to the rear yards.

Staff have suggested through comments made through the plan of subdivision application that interpretive signage and complementary landscape design would enhance the development. It has also been noted that plantings close to the foundation should be avoided to ensure that roots and watering will not damage the foundation over time.

With the conditions outlined at the outset of this report, staff recommend that the proposal be approved as it has a minimal impact on the property's heritage attributes as set out in the recent heritage designation by-law amendment.

Financial Impact

There is no financial impact.

Conclusion

The owner of the subject property proposes to convert the Barber House into four condominium units. The proposal includes the removal of all 20th and 21st century additions, the restoration/replication of many exterior elements of the house and the relocation of the outbuilding to the rear of the Barber House. As the proposal has a minimal impact on the property's heritage attributes, it should be approved.

Attachments

Appendix 1: Heritage Designation By-law Appendix 2: Heritage Impact Assessment

Appendix 3: Heritage Impact Assessment details

Appendix 4: Conservation Plan Appendix 5: Arborist Report

Appendix 6: Landscape Plan and details

Appendix 7: Barber House Restoration Budget

Appendix 8: Perspective Drawings

Appendix 9: Elevation drawings of townhouses

Appendix 10: Elevation drawings of detached homes

Appendix 11: Outbuilding drawings

Appendix 12: Outbuilding relocation and restoration budget



Paul Mitcham, P. Eng, MBA, Commissioner of Community Services

Prepared by: P. Wubbenhorst, Heritage Planner



CERTIFIED A TRUE COPY

LOT

JUSTO

DIANA RUSNOV DEPUTY CLERK

CITY OF MISSISSAUGA

THE CORPORATION OF THE CITY OF MISSISSAUGA BY-LAW NUMBER . 0.056 - 2017

A by-law to amend By-law No. 368-82 being a Bylaw "to designate the 'William Barber House' located on the north-east corner of Mississauga Road and Barbertown Road of architectural and historical interest"

WHEREAS the *Ontario Heritage Act*, R.S.O. 1990, Chapter O.18, as amended (the "*Heritage Act*") authorizes the Council of a municipality to enact by-laws to designate real property including all the buildings and structures thereon, to be of cultural heritage value or interest;

AND WHEREAS By-law No. 368-82 designated the property known as the "William Barber House" located at 5155 Mississauga Road in the city of Mississauga (the "Property") as being of architectural and historical value or interest;

AND WHEREAS Council of The Corporation of the City of Mississauga, through Resolution No. 0238-2016, approved the enactment of a by-law to amend By-law No. 368-82 for the purpose of reflecting the Property's physical/design, historical/associative and contextual value;

AND WHEREAS in accordance with the *Heritage Act*, a Notice of Intention to Amend Bylaw No. 368-02 was published and served and no notice of objection to such amendment was received by the Clerk of The Corporation of the City of Mississauga;

NOW THEREFORE the Council of The Corporation of the City of Mississauga ENACTS as follows:

- 1. That By-law No. 368-82, being a By-Law "to designate the 'William Barber House' located on the north-east corner of Mississauga Road and Barbertown Road of architectural and historical interest" is hereby amended by replacing Schedule "A" attached thereto with Schedule "A" attached to this By-law.
- 2. That the City Clerk is hereby authorized to cause a copy of this By-law to be served upon the owner of the property located at 5155 Mississauga Road in the city of Mississauga (the "Property") and upon the Ontario Heritage Trust and to cause notice of this By-law to be published in a newspaper having general circulation in the city of Mississauga.
- 3. That Schedule 'A' forms an integral part of this By-law.
- 4. That the City Solicitor is hereby directed to register a copy of this By-law against the Property, in the proper land registry office.

ENACTED AND PASSED this 26 day of April , 201

APPROVED
AS TO FORM
City Solicitor
MISSISSAUGA
Date 2017 04 20

Cupital Green

MAYOR

CLERK

SCHEDULE 'A' TO BY-LAW NO. <u>0056-2017</u>

William Barber House property, 5155 Mississauga Road

Description of Property

The Barber Villa is a 19th century large brick building, originally constructed as the residence for William Barber, mill owner, and his family, on a large estate property in close proximity to the south end of Streetsville, in the Regular Villa style including a two-storey service wing. The property also contains a secondary brick outbuilding, partial original driveway and stone markers and has a prominent setback from Mississauga Road and Barbertown Road, being visible from the property lines along both roads.

The property is located at 5155 Mississauga Road, in Part of Lot 1, Concession 4, West of Hurontario Street (WHS), City of Mississauga, designated as Part 2, Plan 43R-9468.

Statement of Cultural Heritage Value or Interest

5155 Mississauga Road's cultural heritage value is derived from its design, associative, and contextual values.

The villa is a representative example of the Regular Villa style of architecture, popular style employed in the regions surrounding Ontario's urban centres (Toronto and Kingston) in the mid to late 19th century in the design of estate houses for the upper middle class. The villa's relatively simple form and massing is made elaborate with applied architectural features of various stylistic influences, such as the paired brackets, dentils, veranda treillage, and the balustrade enclosing the second-storey balcony at the west elevation's centre bay.

The property's cultural heritage value resides in its association with William Barber, the original owner of the house and co-owner of the successful Toronto Woollen Mills complexes, remnants of which exist and are located on the nearby banks of the Credit River, and was one of the area's largest employers. The property is also associated with Charles H. R. Riches, an entrepreneurial attorney who founded one of the first patent law practices in Upper Canada. It is attributed to have been constructed by Robert Leslie, a prolific Streetsville-based contractor who was a part of one of Streetsville's early settler families, and who is credited with the construction of other significant surviving 19th century estates within the contemporary boundaries of the City of Mississauga.

The property's cultural heritage value is also reflected in its contextual importance as one of the few remaining estates of one of Streetsville's prominent families, and as a landmark for the historic southern approach to the town. Its significant setback from the front and side lots lines, its central placement on the lot, and its raised ground floor reinforce its prominence. It also provides a link between the extant Toronto Woollen Mills complex on the Credit River and the purpose-built worker's houses located on Barbertown Road.

The property's cultural heritage value is closely related to its placement on Mississauga Road, a designated Scenic Route that has been an important artery through the region historically and to the present day. As one of the earliest and more prominent estates along the road, and, having persisted through the 20th century relatively unchanged, 5155 Mississauga Road is significant in having influenced the pattern of residential development along Mississauga Road, defined by large lots, single-family homes, and generous front lot setbacks with extensive landscaping.

Description of Heritage Attributes

The attributes below contribute to an understanding of the identified cultural heritage value and interest of 5155 Mississauga Road, and should be preserved. An illustrated statement of significance (appendix B) indicates the location of each of the heritage attributes below on the property. The 2003 and remnants of the 1984 additions have not been identified as heritage attributes.

Design/Physical Value:

- the scale and massing of the two-storey main building, including east wing;
- the running bond load bearing brick walls;
- the stone foundations;
- the raised ground floor;
- the hipped roof of the villa, and gabled roof of the east wing, both clad in shingles;

- the paired internally bracketed chimneys;
- the symmetrical division of the south and west elevations into 3 and 5 bays, respectively;
- the central projecting portico on the west elevation;
- the elliptical arch openings at the central portico;
- the original masonry window and door openings and their flat brick arches;
- the interior and exterior front doors, transom and sidelights;
- the upstairs door to umbrage and balcony;
- the six-over-six configuration of the windows: the remaining original wood frames, brick moulds and wood lugsills;
- the eaves, cornice and fascia, with paired brackets and dentils;
- the gable end on the west elevation, with cornice, profiled finial and dropped post, and triangular scalloped-edge brick inset;
- the verandas with tented roofs resting on thin paired posts, between which span elliptical arches with drop pendants and fretwork;
- the secondary outbuilding to the north of the villa, including:
 - o the pointed arch windows in the gable ends, and
 - o the running bond brick walls;

Contextual Value:

the villa's prominent set-back from Mississauga and Barbertown Roads; views of the building from Mississauga Road and from the corner of the lot at Mississauga Road and Barbertown Road, from the public realm (the sidewalk and road)

Appendix 2

Heritage Impact Assessment William Barber House 5155 Mississauga Road (Part of Lot 1, Concession 4, West of Hurontario Street) Mississauga



prepared by

CHC Limited

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May 16, 2016 updated March 22, 2017 updated October 20, 2017

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all photographs by Owen R. Scott of CHC Limited, September 28, 2015 & March 23, 2016 unless otherwise noted.

1.0 BACKGROUND - HERITAGE IMPACT ASSESSMENT (HIA)

The property at 5155 Mississauga Road in Mississauga is designated ¹ under Part IV of the *Ontario Heritage Act* and is located in the Mississauga Scenic Road Cultural Landscape.²

This second update of the Heritage Impact Assessment (HIA) follows the *City of Mississauga Heritage Impact Assessment Terms of Reference* February 2016³ and the *Cultural Landscape Heritage Impact Assessment Terms of Reference* 2016⁴ and was prepared in response to May 2017 comments received from City of Mississauga heritage staff ⁵. Revisions to the Site Plan and architectural plans for the Barber House restoration have been made in answer to those comments.

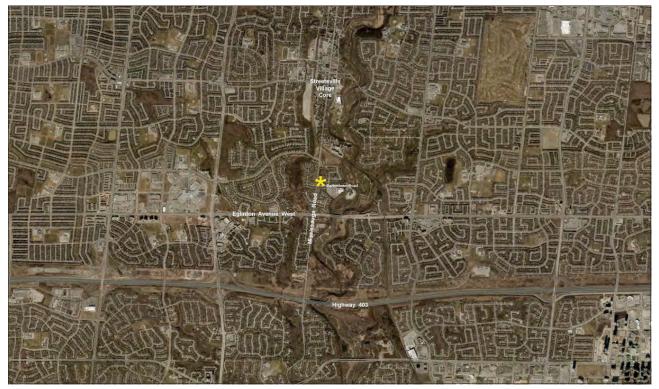


Figure 1

Site Context - http://www.mississauga.ca/portal/services/maps

Figure 1 illustrates the location of the property at the northeast corner of Mississauga Road and Barbertown Road south of the former Village of Streetsville in the small 19th century community of Barberton.

City of Mississauga bylaw # 368-82

Mississauga Road Scenic Route F-TC-4, Cultural Landscape Inventory, City of Mississauga, The Landplan Collaborative Ltd., January, 2005

³ Culture Division, Community Services Department, City of Mississauga

⁴ Ibid

Online Services - Planning Application Status Report - Heritage Planner Contact: Cecilia Nin Hernandez Tel.: (905) 615-3200 X5366 Recommendation Report, May 5, 2017, pp. 13-16

2.0 THE HERITAGE IMPACT ASSESSMENT

2.1 Site history

The villages of Toronto Township amalgamated to became the Town of Mississauga in 1968, excluding the Towns of Port Credit and Streetsville. In 1974, Mississauga incorporated as a City, this time including Port Credit and Streetsville.

Barberton (also known as Creditvale), just south of Streetsville on the Credit River, was the home of the former mill complex of the Barber brothers and their mill workers.

"... The establishment of mills, particularly saw and grist mills, often marked the beginning of a community and provided the impetus for growth. Mills fulfilled a practical need in the life of early settlers as places to grind grain, cut wood, or weave cloth. By 1851, approximately 60 mills were operating along the Credit River and by 1859, 10 of these were woollen or textile mills.

One of the most significant of these textile manufacturers was the Barber brothers' mill near Streetsville. The Barber brothers, who also owned a large mill in Georgetown, expanded their operation in 1843 when they purchased William Comfort's mill-site and farm. William Comfort had purchased this site on the north edge of Lot 1 Concession 4, just south of Streetsville, in 1826. He had a grist mill in operation by 1827. William Comfort, a loyal supporter of William Lyon Mackenzie during the Rebellion of 1837, is believed to have sheltered the rebel leader at his home on the second night following the failed uprising. Comfort was jailed, and later sold his interest in the property to the Barber brothers.

In 1852, the Barbers built a large four-storey stone woollen mill, which burned in 1861. Three months later the mill was rebuilt and back into production. Due to the early success of the mill, the site continued to expand and by 1865 included several additional buildings. The mill complex, known as the Toronto Woollen Mills, produced 1000 yards of cloth daily and employed 100 people. By 1870, the mill was the fourth largest textile mill in Ontario. It is the stone mill built in 1861 which survives underneath the modern layer of stucco and siding.

The small community that began to develop around the mill site became dubbed "Barberton". Barberton never gained village status on its own, but it grew steadily. The Barbers built 43 buildings for mill workers and their families. Some of the workers came from Scotland as skilled weavers (John Rutledge was one). Most of the workers lived in close proximity to the mill. Entire families often relied on the mill for their income and livelihood. In many cases, members of an entire family were employed in the mill. Such was the case with the Henry Rundle family. Henry was employed for a time as a servant in the Barber household, while son James was employed as a millwright, Thomas as a weaver, and daughters Delia and Anna as spinners." ⁶

⁶ Heritage Mississauga web page http://heritagemississauga.com/page/Barberton, accessed September 28, 2015

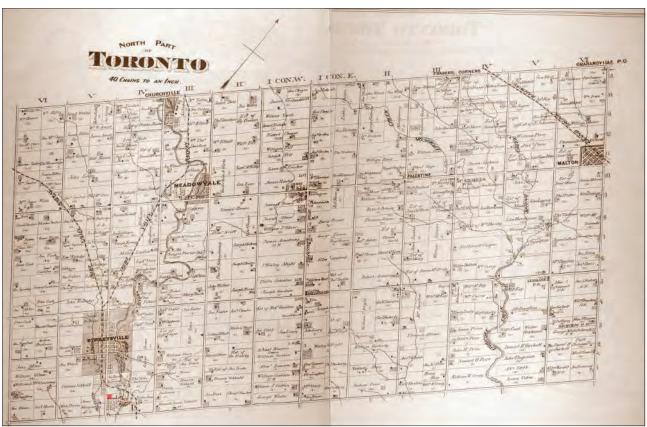


Figure 2 Northern Half Toronto Township, from: Illustrated Historical Atlas of the County of Peel, Ont., Walker & Miles, Toronto 1877

The subject property is located south of the former Village of Streetsville (Figures 1 & 2), in the community once known as Barberton (Figure 3).

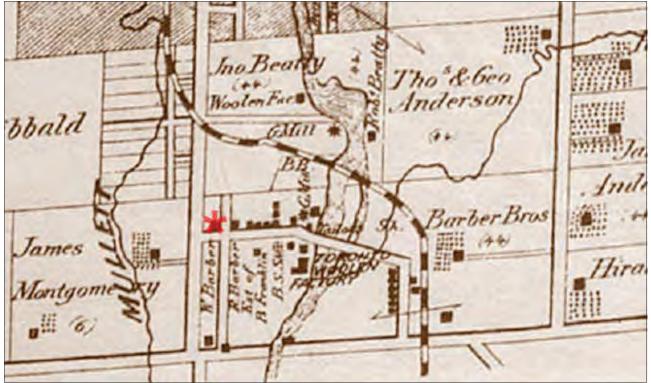


Figure 3 Barberton, environs, and subject property - excerpt from 1877 County of Peel Atlas

The community of Barberton was surrounded by agricultural land in the 1877 *Atlas*, and this remained unchanged until the latter part of the 1980s (Figures 4 - 10).



Figure 4 - subject property & environs 1954

http://www.mississauga.ca/portal/services/maps

In 1954, one non-farm property, north of the subject property existed (Figure 4). More would come later (Figures 5, 6 & 7), eventually to be supplanted by residential subdivisions (Figures 8 - 10).



Figure 5 - subject property & environs 1966

http://www.mississauga.ca/portal/services/maps



Figure 6 - subject property & environs 1977

http://www.mississauga.ca/portal/services/maps



Figure 7 - subject property & environs 1985

http://www.mississauga.ca/portal/services/maps

By 1985, the first subdivision had appeared just north and east of the subject property. Farmland still existed between Streetsville and Barberton (Figure 7).

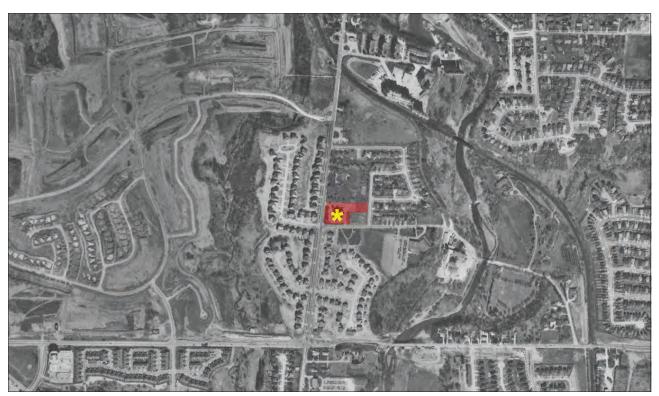


Figure 8 - subject property & environs 1989

http://www.mississauga.ca/portal/services/maps

1989 saw the massive development of residential subdivisions throughout the environs of the subject property (Figure 8).



Figure 9 - subject property & environs 1999

http://www.mississauga.ca/portal/services/maps

By 1999, the area was completely built out with the exception of the subject property and a few hectares to the

north on Mississauga Road (Figure 9).

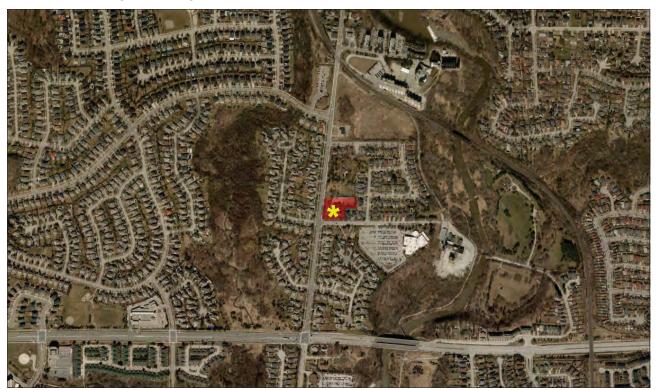


Figure 10 - subject property & environs 2015

http://www.mississauga.ca/portal/services/maps

Figure 11 is an excerpt from Tremaine's map of 1859 showing Barber's Woolen Mill and Robert Barber's residence. The William Barber house,

subject of this HIA, had yet to be constructed.



Figure 12 Toronto Woolen Mill, 1859

Barber's Woolen Mills (Toronto Woolen Mill) is shown in Figure 12 (from Tremaine's Map of 1859).

The subject property, then of 100 acres extent, was granted to Henry Stiver by the Crown in 1828. Stiver

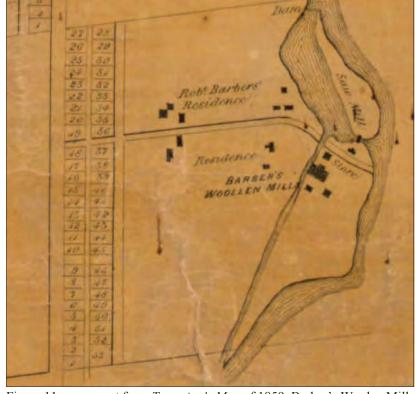


Figure 11 excerpt from *Tremaine's Map* of 1859 Barber's Woolen Mills

was a Loyalist from Pennsylvania, a member of the "Cameron Roll" (Captain Cameron's Company of the Regiment of York Militia in 1812).⁷ Loyalists were granted land in Upper Canada as a reward for their allegiance to the Crown. Stiver, like many others, sold his land grant soon after receiving it, in this case to William J. Comfort, in the same year.

Comfort had a grist mill in operation by 1827. He was a loyal supporter of William Lyon Mackenzie during the Rebellion of 1837 and was jailed for sheltering the rebel leader at his home on the second night following the failed uprising. Comfort sold his interest in the property to the Barber brothers in 1844 for £1,375.

"Born in Ireland in 1809, William Barber came to Canada with his family in 1822. With his brothers James, Joseph and Robert, he opened a carding mill in Georgetown in 1837. In 1843, Barber Brothers Limited opened the Toronto Woollen Mills outside Streetsville. In the late 1860s, the firm dissolved, with William and Robert retaining the Toronto Woollen Mills." "The original mill was burned in 1861 and reconstructed of Credit Valley stone and reopened." 10 The mill business declined in the early 1880s and the empire passed out of the Barbers hands in 1882. It reopened later and "during World War I it was converted to a flour mill. It later became the Oriental Textile Mills. In 1931 the mills were bought by McCarthy Milling Company. Presently owned and operated by ADM Agri-business Ltd." 11 William Barber served on Toronto Township Council in 1873. 12 He also served as a member of the Legislative Assembly of Ontario for Halton from 1867 to 1875. 13 He was involved with founding the Masonic Lodge (River Park Lodge) in Streetsville in 1876 and became its first Master. 14

William Barber purchased the subject property, which was then 7 acres, from his brother Robert in 1870 for \$4,000 and moved to the Barbertown Road site. The house may have been built by Robert Leslie, a local builder. City records suggest the house was built *circa* 1860. Although William Barber did not purchase the property until 1870, \$4,000 seems a high price to pay for 7 acres in 1870. It is probable that the house was on

Ontario Historical Society Papers and Records, Vol. 1, 1899 (reprinted 1930), Google books, pp 133, 184, 185

Heritage Mississauga web page http://heritagemississauga.com/page/Barberton, accessed September 28, 2015

Memorandum, *Heritage Structure Report, William Barber House.* to Local Architectural Conservation Advisory Committee; from L. F. Love, Commissioner, Recreation and Parks Dept. City of Mississauga, August 31st, 1981 (attached as Appendix 4 herein)

City of Mississauga web page, Property Heritage Detail http://www.mississauga.ca/portal/services/property?

¹¹ Ibid

Directory of the County of Peel, 1873, http://freepages.genealogy.rootsweb.ancestry.com/

Legislative Assembly of Ontario webpage http://www.ontla.on.ca/web/members/members all detail.do?locale=en&ID=683

Heritage Mississauga web page http://heritagemississauga.com/page/William--Robert-Barber and River Park Lodge website: http://www.riverparkmasons.com/

Robert Leslie (1812-1886) was a master builder, credited with building the William Barber House, Streetsville, Oliver Hammond House, Erindale and Benares, Clarkson, Historical Plaques of Peel Region, Plaque #7, http://www.waynecook.com/apeel.html

the site when William bought the property. An 1875 photograph (Figure 13) shows landscape plantings that may be a decade old as does an illustration from the 1877 Peel Country Atlas (Figure 14). The house may have been built in the 1860s and as late as 1870. A number of sources suggest 1862 as the build date.



Figure 13

Barber House 1875 - Streetsville Historical Society

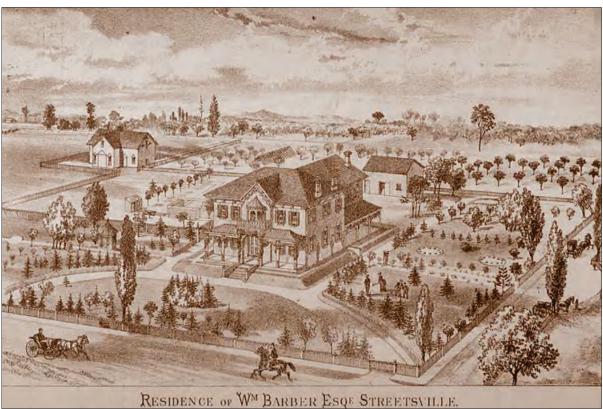


Figure 14 William Barber Residence from:

**Illustrated Historical Atlas of the County of Peel, Ont., Walker & Miles, Toronto 1877*

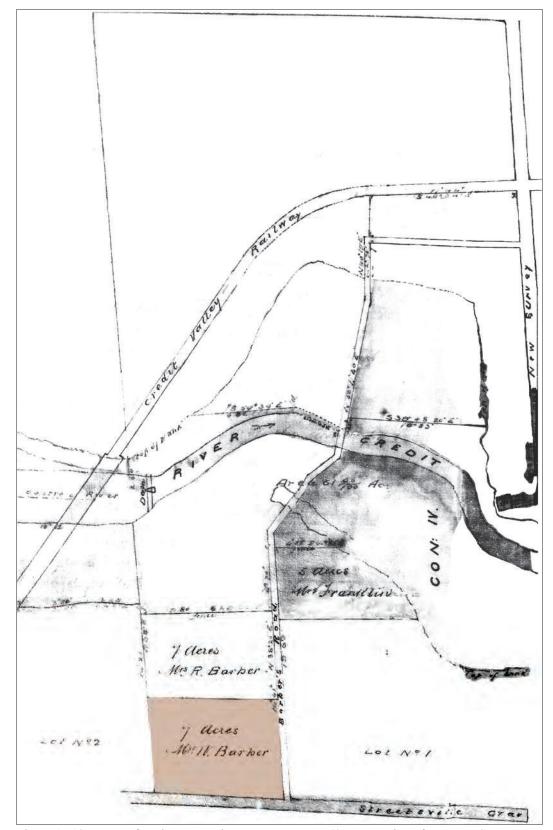


Figure 15 1877 map of Barber properties - instrument no. 6045 Township of Toronto, Con 4, Lot 1

An 1877 map (Figure 15) from the Registry Office records shows the 7 acre parcel of William Barber (shaded) at "Barber's Road" and Streetsville Road" and his brother Robert's and wife's 7 acre parcel to the east.

Between 1870 and 1884, the original Barber brothers purchase was divided into a number of smaller parcels, 7 acres being the most common size parcel. It is recorded in Registry Office records that William Barber sold 7 acres to Robert B. Barber in 1876 (Figure 17). It appears that this 7 acre parcel is the subject property; however, due to the unavailability of microfiche documents and numerous 7 acre parcels in the Barber family, title becomes uncertain after 1870. As well, there were a large number of land transfers, mortgages and transactions recorded in the late 1870s and early 1880s that are of a financial/legal matter. A trust deed was issued by Robert Barber to William Barber in 1876 suggesting that title to the property was being held in trust until the loan for the property was paid. Mortgages in favour of William Barber were provided by John Barber in 1880 and discharged within two years. On one occasion, in 1880, a Chancery Court decision relating to the property was rendered. William Barber became indebted to the Canadian Bank of Commerce in 1883 and it appears the bank owned the property at one time. In 1884 Barber's property was assigned to a trustee. Four lawsuits related to property title are recorded in 1885 and 1886, two of those naming William Barber and two naming Robert Barber. In 1887 Robert Barber took out a mortgage on his property from the Freehold Loan & Savings Company.

The property was transferred from Robert B. Barber to Elizabeth Barber, William Barber's wife in 1884. William Barber died in 1887 and his widow sold the 7 acre property to John C. Hurst in September 1888 for \$3,000. She was not living in the house, but in Georgetown at the time. Hurst sold the house to Patrick Mahoney, Gentleman, 9 months later for \$3,500. In 1906 Mahoney's son Stephen, sold the house with 250 feet of frontage on Mississauga Road, then 2.7 acres, reduced from the original 7 acre parcel (Figure 17), to Henry Everton Hern, Artist, for \$1,300. Hern sold to Elizabeth Charlotte Poliwka 3 years later for \$3,000. In 1918, Alfred Stong, Gentleman, purchased the property for \$6,000. Eleven months later, Stong sold to Barbara Marion Riches, Spinster; Stong holding a mortgage for \$5,000. Riches lived in the house for 16 years, selling the property to Joseph Maski in 1935. who transferred it to Hattie Maski in 1938. A Quit Claim Deed from Hattie Maski to the Trust and Guarantee Co. Ltd. was recorded in January 1944 and in April of that year, the property was sold to Dudley Robinson Dewart. More than a dozen mortgages were taken out and discharged by Dewart in his 24 year tenure. On his death in 1968, the property was sold to Carol A. Townsend. Townsend sold the 0.7 acre Part 2 of the property (Figure 17) in 1981 and Part 1, the subject property (Figure 17) to Buccanear Seafood & Steak House Ltd. in 1981. Buccanear changed its name in 1996 to The Old Barber House Restaurant Limited.

Figure 16 is a time line summarizing the property ownership from 1828 to date.

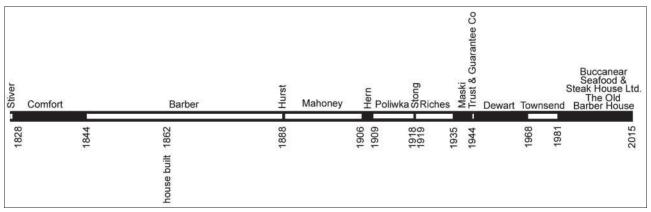


Figure 16

time line, property ownership 1828 - 2016

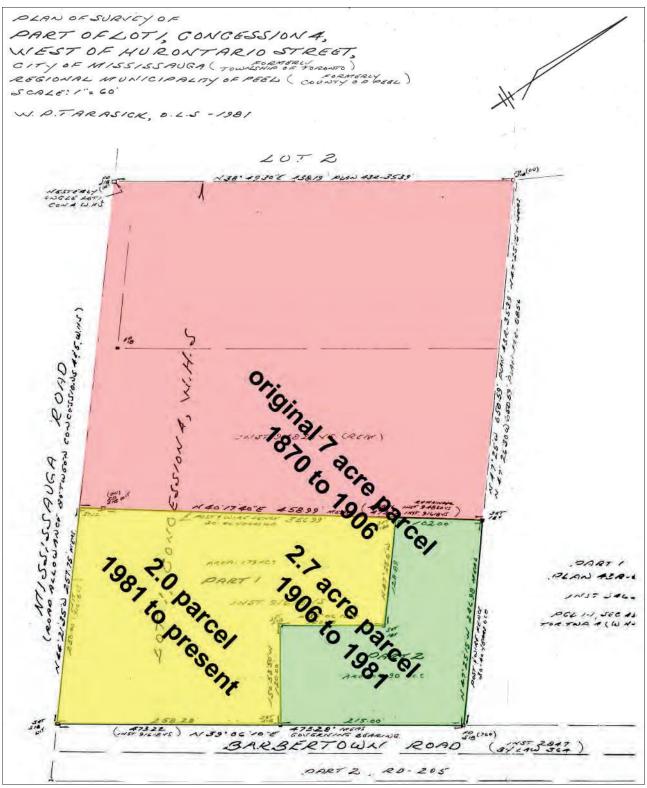


Figure 17 from: Plan of Survey of Part of Lot 1, Concession 4, West of Hurontario Street, City of Mississauga Starr & Tarrsick, O.L.S., 1981

2.2 Listing and written description of existing structures, significance and heritage attributes

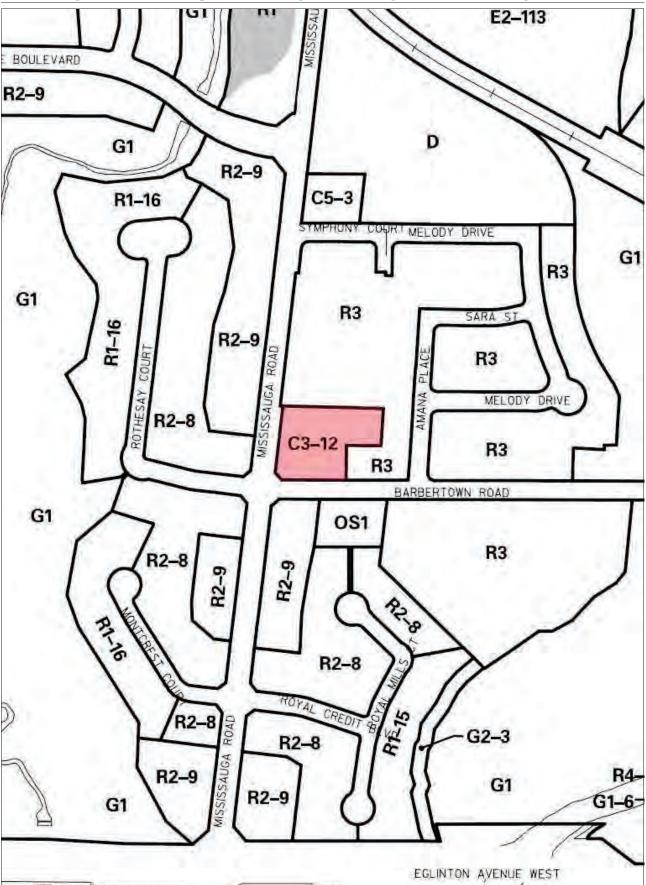


Fig. 18 Zoning / Location map - from: City of Mississauga zoning maps 100m38w & 100m39e (subject property in red)

The City of Mississauga's 'property Heritage Detail' provides a brief description of the properties - see Appendix 2. The following historic photographs (Figures 19 - 28) are from the City of Mississauga's web pages¹⁶, accessed August, 2015 (note: some photograph dates have been corrected).

It is not known when the red brick was painted; in photographs from 1976, the house is painted white as it is today.



Figure 19

front porch detail - 1976



Figure 20

1977 photo of the east face, showing extensions to the building

¹⁶ City of Mississauga website http://www.mississauga.ca/portal/residents/streetsvillegallery?



Figure 21

from Mississauga Road and Barbertown Road - 1977



Figure 22

from Mississauga Road and Barbertown Road - 1978



Figure 23 front of house - 1978



Figure 24 front of house - 1989



Figure 25 front of house - 1989



Figure 26 front of house - winter 1990



Figure 27 front of house - winter 1997

As well as the main house with its additions, a small, square outbuilding (perhaps a former privy) is located just north of the house (Figure 28). It dates from the 19th century and is probably coincident with the building of the house, being of the same red brick (now painted white).

None of the 19th century landscape remains. The oldest trees on the property date from the 1980s renovations and additions to convert the building to a restaurant when the residential estate landscape was obliterated by the construction of the additions and a massive parking lot. An arborist's report (see Appendix 6) shows the existing tree species, sizes and condition and recommends retention and removals. There are no heritage attributes associated with the landscape.



Figure 28 outbuilding - 1989

The original main house, now a component of a restaurant and banquet facility, is two-storey, hipped-roof building with a gabled-roof extension to the rear. A cut-stone foundation supports brick walls. There are four pairs of internally-bracketed chimneys. The cornice has a moulded wooden fascia with a frieze of double pendant brackets and a dentil course. The centre gable on the west facade has a moulded cornice and a finial at its apex, with a triangular scalloped moulding inset into the centre of the gable. There are five bays in the front facade, with the main entrance in the central bay having a slight projection with an enclosed porch on the second storey level. The two bays on either side have a window in each storey, each being six-over-six paned, double-hung sash windows, with radiating voussoirs in brick and stone lugsills. There are similar windows on the north and south sides. Faux louvered shutters are found on all the windows save those on the ground floor under the front porch (two shutters are missing from upper storey windows). Two blind windows (with glazing) are found on the north and south sides. A front porch gracing either side of the front bay projection sports a bell-

cast roof and fanciful woodwork. As noted earlier, the original red-orange brick (Figure 29) has been painted white for at least 5 decades.

A full description of the house as found in 1981 is in Appendix 3. A further description is found in Appendix 4.

Figures 30 - 40 are current photographs of the house and outbuilding.



Figure 29 original red-orange brick under white paint



Figure 30

front (west) facade - 2003 banquet hall addition to the north



Figure 31

south facade - main body of the original house



Figure 32

south rear wing - original house



Figure 33

rear (east) facade - 1984 additions



Figure 34

rear wall - original main body of house, original 1½ storey "tail" in foreground



Figure 35

north facade - 2003 banquet hall/dining room addition (main body of house in background)





Figure 36 front door Figure 376

typical 6/6 sash window



Figure 38 brackets, dentils, faux shutters



Figure 39 rendered, paired chimneys



Figure 40 front porch, north side with bell-cast roof

In 1984, while the building was vacant, it was vandalized, and a fire was set in the interior. The 8 original fireplaces mantles were stolen. The main staircase was vandalized and much of the original woodwork was burned¹⁷. In the 1981 Heritage Structure Report (Appendix 4), the original marble fireplaces were extant. The current owner replaced the fire damaged woodwork, fireplaces and staircase with new in 1984. Wainscotting in the parlours is a recent addition. Some of the windows have been replaced, while others are original. Some plaster mouldings remain, as do the very large pocket doors between the north parlours. The following photographs illustrate the remaining interior elements.

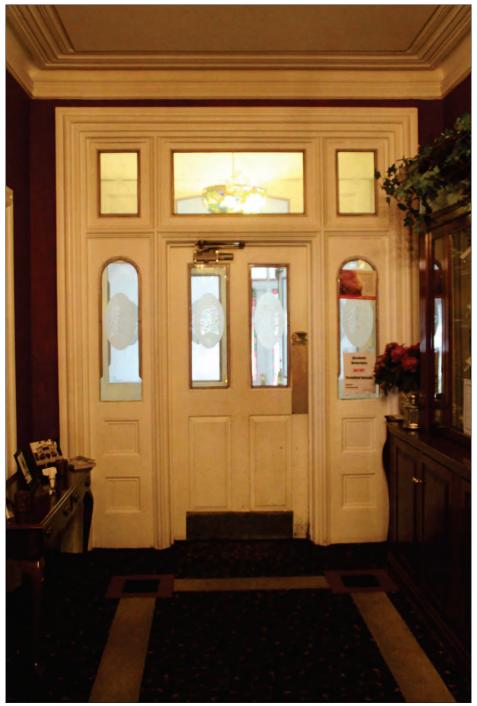


Figure 41 inside front door, transom & sidelights (replacement glass), ceiling moulding

pers. com. Victor Petrovski, March 23, 2016



Figure 42

plaster ceiling moulding, front entrance hall



Figure 43

plaster ceiling moulding detail



Figure 44

upstairs door to balcony





Figure 45

doorway to front parlour Figure 46

folding pocket doors between north parlours



Figure 47

north parlours - pocket doors opening



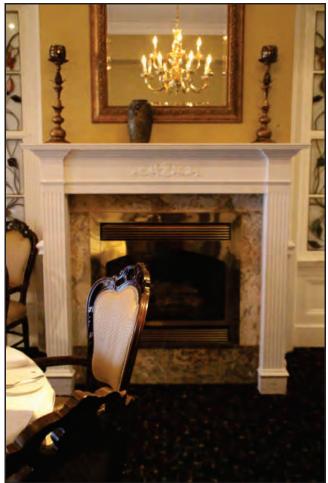


Figure 48

pocket door hinge & handle Figure 49

one of the replacement fireplaces & contemporary wainscotting



Figure 50

plaster ceiling moulding in current bar



Figure 51

doors, top lights and sidelights (replacement glass & hardware) to umbrage from exterior

Numerous additions and alterations have been constructed over the years, the most recent and largest in scale being for the restaurant conversion in 1984 and an enlarged facility in 2003^{18} . A greenhouse, built c. 1960 once occupied the rear of the building. Additions have been demolished and/or re-built in 1984 and 2003. Renovations and restorative works to the original house interior have been generally well done, and to the untrained eye, appear to be mainly original with few exceptions, such as glazing, use of Robertson screws, etc. Figure 52 illustrates the additions and demolitions that have occurred since c. 1862.

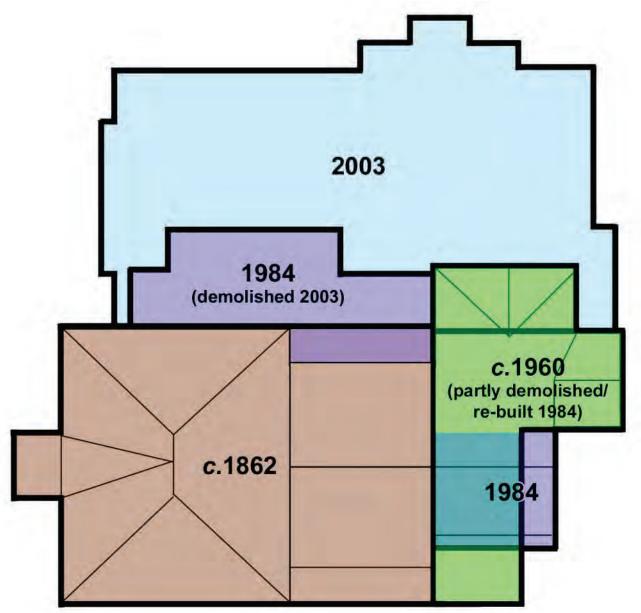


Figure 52 William Barber House construction dates - building outline from: Proposed Site Plan, Old Barber House Ltd., Michael Spaziani Architect Inc., August 28, 2003

The following figures (Figures 53-58) illustrate some of the alterations/changes to the exterior of the original *c*. 1862 residence.

City of Mississauga webpage http://www.mississauga.ca/portal/services/property 'Property Building Permits'





Figure 53 - front facade

2015

1877

Faux shutters have replaced the original functional shutters of the original. The upper porch has been closed-in. Other than the large addition to the north, little else has been changed from 1877.





Figure 54 2015 18

The shuttered, blind, upper and lower front windows on the south side have been replaced with blind, glazed windows. Brick has been painted white. Brick chimneys have been rendered and painted.



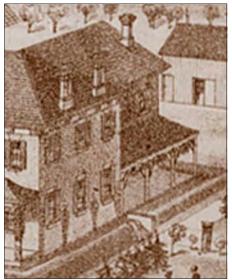


Figure 55 2015 1877

The east "tail" of the building originally sported an open porch similar to the front porch. It has been enclosed for many years. The north side had a similar porch which has been subsumed by additions.





Figure 56 2015 1977

The rear wall of the "tail" of the house is now a blank wall. Stucco and paint covers the area below the gable where windows once occupied the space. A hip roof across the gable over the upper windows has been removed.





Figure 57 2015 1977

The rear (east) facade of the building has had numerous additions, the latest in 1984, built on a *c*. 1960 addition. A *c*. 1960 greenhouse was removed in 1984.





Figure 58 2015 1999

A 1984 addition on the north side was demolished in 2003 and replaced with a much larger addition.

The property also includes a small, square, brick, 19th century outbuilding, its former function possibly a privy (Figures 59 and 60). A detached garage of uncertain vintage was demolished in 1984 (Figure 61).





Figure 59

outbuilding - south facade Figure 60

outbuilding - west facade



Figure 61

former detached garage, 1977 - demolished 1984 http://www.mississauga.ca/portal/residents/streetsvillegallery?



Figure 62 Proposed Site Plan - survey, Old Barber House Ltd., Michael Spaziani Architect Inc., August 28, 2003

Section 2 of the *Planning Act* indicates that City of Mississauga Council shall have regard to matters of Provincial interest such as the conservation of features of significant architectural, cultural, historical, archaeological or scientific interest. In addition, Section 3 of the *Planning Act* requires that decisions of Council shall be consistent with the *Provincial Policy Statement* (PPS). Policy 2.6.1 of the PPS requires that significant built heritage resources and significant cultural heritage landscapes shall be conserved.¹⁹

The PPS defines "built heritage resource" as a building, structure, monument, installation or any manufactured remnant that **contributes to a property's cultural heritage value or interest as identified by a community**, including an Aboriginal community. Built heritage resources are generally located on property that has been designated under Parts IV or V of the *Ontario Heritage Act*, or included on local, provincial and/or federal registers. The term "significant" means resources **valued for the important contribution they make to our understanding of the history of a place, an event, or a people**. "Conserved" means the **identification**, **protection**, **use and/or management of cultural heritage and archaeological resources in such a way that their heritage values, attributes and integrity are retained under the** *Ontario Heritage Act***. This may be achieved by the implementation of recommendations set out in a conservation plan, archaeological assessment, and/or heritage impact assessment.**

The property contains a built heritage resource that has significance, cultural value and interest. It has *design* / *physical value* and *historical / associative value*, and *contextual value* per the criteria for heritage designation under Ontario Regulation 9/06 of the *Ontario Heritage Act*. It is designated under Part IV of the *Ontario Heritage Act* (see Appendix 3).

The cultural heritage attributes of the Barber House, as outlined in the 2017 amended Heritage Designation Bylaw 368-82 are:

Design/Physical Value:

- the scale and massing of the two-storey main building, including east wing;
- the running bond load bearing brick walls;
- the stone foundations;
- the raised ground floor;
- the hipped roof of the villa, and gabled roof of the east wing, both clad in shingles;
- the paired internally bracketed chimneys;
- the symmetrical division of the south and west elevations into 3 and 5 bays, respectively;
- the central projecting-portico on the west elevation;
- the elliptical arch openings at the central portico;
- the original masonry window and door openings and their flat brick arches;
- the interior and exterior front doors, transom and sidelights;
- the upstairs door to umbrage and balcony;
- the six-over-six configuration of the windows: the remaining original wood frames, brick moulds and wood lugsills;
- the eaves, cornice and fascia, with paired brackets and dentils;
- the gable end on the west elevation, with cornice, profiled finial and dropped post, and triangular scallopededge brick inset;
- the verandas with tented roofs resting on thin paired posts, between which span elliptical arches with drop

Provincial Policy Statement (PPS, 2014) Cultural Heritage and Archaeology Policies 2.6, InfoSheet #5, Heritage Impact Assessments and Conservation Plans, Winter 2006

pendants and fretwork;

- the secondary outbuilding to the north of the villa, including:
 - the pointed arch windows in the gable ends, and
 - the running bond brick walls;

Contextual Value:

- the villa's prominent set-back from Mississauga and Barbertown Roads;
- views of the building from Mississauga Road and from the corner of the lot at Mississauga Road and Barbertown Road, from the public realm (the sidewalk and road)

Municipal or agency requirements that supplement, supersede or affect the conservation of the heritage resource are restricted to the Ontario Building Code (OBC). In order to satisfy OBC exit requirements, a door replaces an existing window on the south and north sides. An OBC analysis is found in Appendix 5.

2.3 Addressing the Cultural Landscape criteria

As well as being designated under Part IV, the property is situated in a Cultural Landscape ²⁰, the Mississauga Road Scenic Route.²¹

Cultural Heritage Landscape Inventory Heritage Impact Assessments must demonstrate how the proposed development will conserve the criteria that render it a cultural heritage landscape and / or feature. Each cultural heritage landscape and feature includes a checklist of criteria. The checked criteria for the Mississauga Road Scenic Landscape are:

LANDSCAPE ENVIRONMENT ✓ Scenic and Visual Quality ✓ Horticultural Interest ✓ Landscape Design, Type and Technological Interest HISTORICAL ASSOCIATION ✓ Illustrates Style, Trend or Pattern ✓ Illustrates Important Phase in Mississauga's Social or Physical Development BUILT ENVIRONMENT ✓ Aesthetic/Visual Quality OTHER ✓ Historic or Archaeological Interest

To conserve the "landscape environment", "historical association", "built environment qualities" and "historic or archaeological interest" criteria, the proposed alteration must be consistent with the retention of the appearance of the streetscape to ensure that the character of the street remains intact. "Mississauga Road is recognized as a Cultural Landscape, as it is one of the City's oldest and most picturesque thoroughfares. Its alignment varies from being part of the normal road grid in the north to a curvilinear alignment in the south, following the top of bank of the Credit River. The scenic quality of the road is notable because it traverses a variety of topography and varying land use, from old established residential neighbourhoods to new industrial

All of the properties listed on the Cultural Landscape Inventory are listed on the City's Heritage Register and in compliance with the City's Official Plan policy 7.4.1.12

²¹ Cultural Landscape Inventory, City of Mississauga, The Landplan Collaborative Ltd., January 2005

and commercial areas. From Streetsville south the boulevards and adjacent landscapes are home to some of the oldest and most spectacular trees in the City. The road also includes some of the city's most interesting architecture and landscape features, including low stone walls. The road's pioneer history and its function as a link between Mississauga's early communities, makes it an important part of the City's heritage." ²²

The Mississauga Road streetscape of the block within which the William Barber House is located is fully developed with large, 1980s and newer, $2\frac{1}{2}$ to 3 storey residences (Figures 63 - 67) and in transition on the east side (Figures 68 - 70).



Figure 63 west side Mississauga Road at Barbertown Road



Fig 64 west side Mississauga Rd-opposite subject property



Fig 65 west side Mississauga Rd-opposite subject property



Fig 66 west side Mississauga Rd-opposite subject property



Figure 67

west side Mississauga Road Figure 68



Figure 68 vacant property - north side of subject property

²² City of Mississauga web page, Property Heritage Detail http://www.mississauga.ca/portal/services/property?



Figure 69

plan of subdivision north of subject property

Figure 71 is an aerial view of the Mississauga Road block context within which the William Barber House and the subject property is located. "The scenic quality of the road is notable because it traverses a variety of topography and varying land use, from old established residential neighbourhoods to new industrial and commercial areas. From Streetsville south the boulevards and adjacent landscapes are home to some of the oldest and most spectacular trees in the City. The road also includes some of the city's most interesting architecture and landscape features, including low stone walls." ²³ As can be seen in Figure 71, this area of Mississauga Road is comprised of a new, rather than old, established neighbourhood and former single family residential and commercial lands, now vacant and awaiting new development. The architecture and landscape features date from the 1980s.

Setbacks of the proposed development are greater than that required by by-law and are greater than those opposite on Mississauga Road.



Fig 70 development ad north of property

³ Ibid

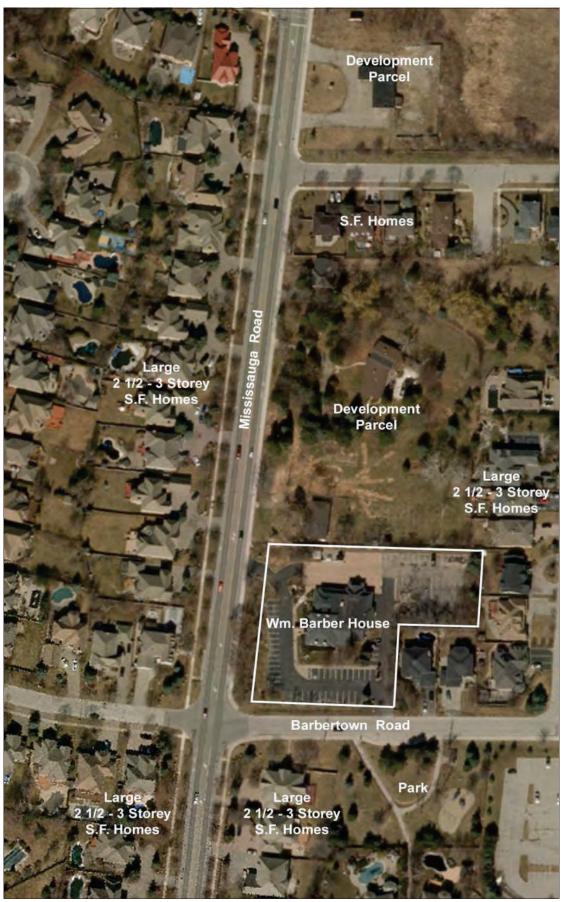


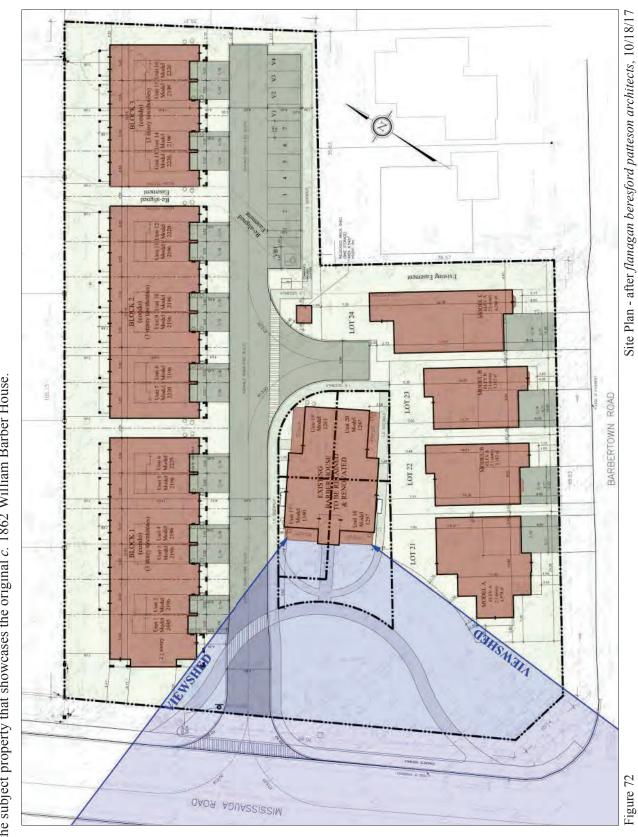
Figure 71

Wm. Barber House block - Mississauga Road streetscape http://www.mississauga.ca/portal/services/maps

2.4 The proposed development

Heritage Impact Assessment - William Barber House, 5155 Mississauga Road Mississauga

The development proposal for this property is illustrated in Figures 72, 73 and 74 a site plan and elevations respectively for a residential development on the subject property that showcases the original c. 1862 William Barber House.



Site Plan - after flanagan beresford patteson architects, 10/18/17

May 16, 2016, updated March 22, 2017 & October 20, 2017

Heritage Impact Assessment - William Barber House, 5155 Mississauga Road Mississauga

May 16, 2016, updated March 22, 2017 & October 20, 2017



Mississauga Road streetscape looking east - townhome end unit at left, Barber House, single family at right - flanagan beresford patteson

Figure 73



westerly townhome block elevation - flanagan beresford patteson



single family front elevation - flanagan beresford patteson Barbertown Road & Mississauga Road Figure 75

Single detached homes face Barbertown Road with townhomes flanking an internal street beside and behind the Barber House in the proposal. The William Barber House retains its prominence on Mississauga Road. Views from Barbertown Road and Mississauga Road to the Barber House are maintained (Figure 72). The single detached 3-storey houses facing Barbertown Road have a roof peak of 12m (Figure 73), approximately one metre higher than the Barber House roof peak; however, the finished floor elevations of the single family homes on Barbertown Road are 0.6m below that of the Barber House. The height difference above sea level is therefore 0.4m. With regard to the townhomes adjacent the Barber House (Figure 74), the height at roof peak is 12.64m and the relative difference in height above sea level between the Barber House and townhomes is 0.64 to 0.94m. The difference in height of the townhomes and singles *versus* the Barber House will not be discernible to the human eye.

Red brick is the cladding (the colour of the Barber House brick under its white paint), complementing and contrasting at the same time the white-painted brick of the Barber House and outbuilding. Architectural detailing is classic, yet subtle to complement and avoid competing with the Barber House architecture. Massing and proportions are similar to the Barber House, as are the roof shapes and window proportions. Parking is not visible from the street. The William Barber House is set in a garden and remains a dominant feature on the street. A sidewalk traces the original curved carriageway from the street to the front of the house.

While the William Barber House has always been located at the intersection of Mississauga and Barbertown Roads, the roads and surrounding landscape have altered dramatically, changing its context.



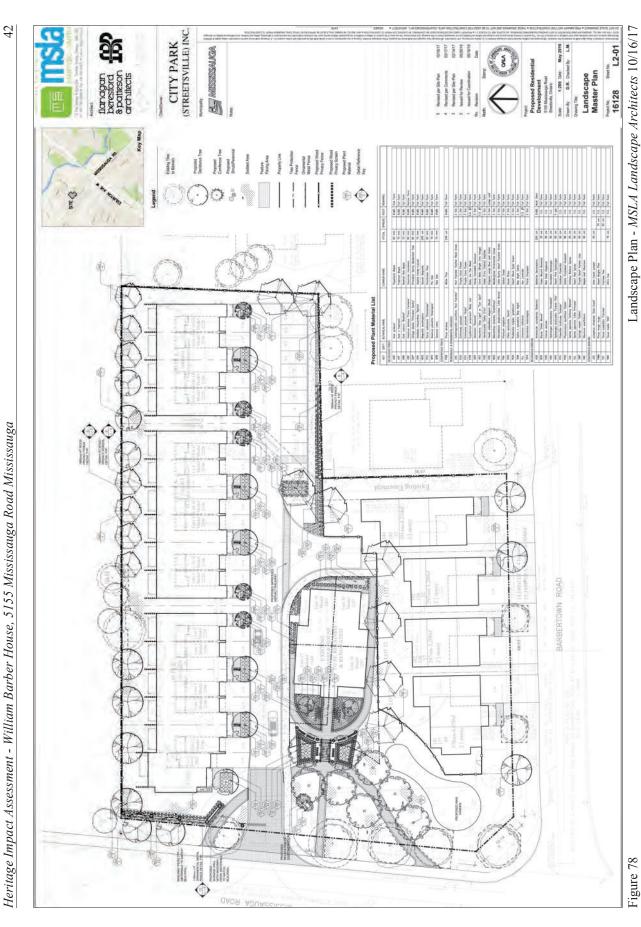


In 1877 (Figure 75), the house was set well back from what was Streetsville Road (now Mississauga Road) and Barber's Road, the lane to the mill (now Barbertown Road). In 1978, 101 years later, the house still retained a fairly long, curving lane from the street (Figure 76). After the 1980s when Mississauga Road became a major arterial and Barbertown Road was widened (Figure 77), the House is closer to the streets and set into the landscape rather than above it, as in the earlier illustrations.



Figure 77 2015

Figure 75



A Landscape Plan (Figure 78) proposes a garden surrounding the Barber House. Street trees on Mississauga Road are retained, partially obscuring the view of the Barber House in summer.

May 16, 2016, updated March 22, 2017 & October 20, 2017

The proposal is to remove the c. 1960, 1984 and 2003 additions to restore the House to its former size and grandeur. The once open south side porch, for example is to be restored as are the windows on the 2^{nd} floor rear "tail". Functional shutters will replace the existing faux shutters. It is likely that the white paint cannot be safely removed from the brick to reveal the original red brick without destroying the brick faces.

The small outbuilding (possibly former privy) is to be retained. It will be moved to a central location on the site to facilitate development of the townhomes and serve as a secured bicycle storage shed. This will require a heritage permit.

With respect to Mississauga Road Scenic Landscape, the potential impacts and an assessment of the proposed site alteration development follows.

Potential Impact	Assessment
• Destruction of any, or part of any, significant heritage attributes or features	significant heritage attributes and features are to be conserved - no negative impact
Removal of natural heritage features, including trees	some landscape plantings will be removed - many more will replace them - no negative impact
• Alteration that is not sympathetic, or is incompatible, with the historic fabric and appearance	current appearance of the property will be altered by removing large asphalt parking lots and adding new development to the property - no negative impact
 Shadows created that alter the appearance of a heritage attribute or change the viability of an associated natural feature, or plantings, such as a garden 	no plantings or gardens extant - no impact expected
• Isolation of a heritage attribute from its surrounding environment, context or a significant relationship	not applicable
Direct or indirect obstruction of significant views or vistas within, from, or of built and natural features	significant views are from Mississauga Road - setbacks are greater than required by by-law - no direct or indirect obstruction of significant views or vistas - no negative impact
• A change in land use where the change in use negates the property's cultural heritage value	residential historic land use will be restored - positive impact
• Land disturbances such as change in grade that alter soils, and drainage patterns that adversely affect cultural heritage resources	not applicable

The impact of the proposed development/site alteration is a change in the view from Mississauga Road, from a restaurant in an historic house that has been the subject of large additions, to a restored historic house *sans* its additions and an adjacent residential development. The criteria that render the Mississauga Road Scenic

Route a cultural heritage landscape and/or feature are not negatively affected. The scenic and visual quality is altered, but not in a negative way. A landscape plan for the properties will enhance the horticultural interest and landscape design. Its historical associations and aesthetic/visual qualities remain intact, and in fact, are enhanced with the proposed restoration of the House and removal of the massive parking lots surrounding the building.

2.5 Assessment of alternative development options and mitigation measures

To afford a development opportunity, the removal of 2003 and earlier additions to the William Barber House, in concert with the restoration of the facades is being proposed.

Alternative development options were considered, including a 3-storey townhouse development along Mississauga Road and a mixed-use proposal, both requiring the slight relocation of the Barber House towards the intersection of Mississauga Road and Barbertown Road. In the May 16, 2016 version of this HIA, an alternative that retained the Barber House *in situ*, flanked with single family homes on the Mississauga Road frontage and townhomes beyond was proposed. The alternative illustrated in this HIA further mitigates the concerns expressed *vis-a-vis* views from the corner of Barbertown Road and Mississauga Road.

2.6 Conservation - principles and mitigation

The City's terms of reference for an HIA require the following with respect to this summary: "A summary of conservation principles and how they will be used must be included. The conservation principles may be found in publications such as: Parks Canada – Standards and Guidelines for the Conservation of Historic Places in Canada; Eight Guiding Principles in the Conservation of Historic Properties, Ontario Ministry of Culture. (Both publications are available online.)" ²⁴

Parks Canada – Standards and Guidelines for the Conservation of Historic Places in Canada:²⁵ General Standards (all projects)

- "I Conserve the heritage value of a historic place. Do not remove, replace, or substantially alter its intact or repairable character-defining elements. Do not move a part of a historic place if its current location is a character-defining element."
 - None of the structures character-defining elements (heritage attributes) is to be removed, replaced or altered with the exception of the conversion of 2 window openings to doors to meet OBC requirements. The original house is to be restored, retaining its character-defining elements, replacing later non-heritage elements such as the faux shutters with replications of the originals which are no longer extant, restoring the open porches on the rear wing, replacing the circa 1984 replacement windows with replica windows, and restoring windows to the now blank 2nd storey rear wall. The later additions, built to convert the house to a restaurant and banquet facility, are to be removed, restoring the house to its original configuration. This is to be explored in more detail in a Conservation Plan.
- "2 Conserve changes to a historic place which, over time, have become character-defining elements in their own right."
 - Later additions have not become character-defining elements and detract from the heritage attributes of the original house. They are to be removed.

²⁴ City of Mississauga Heritage Impact Assessment Terms of Reference, February 2016

²⁵ Parks Canada website <u>www.parkscanada.gc.ca</u>

- "3 Conserve heritage value by adopting an approach calling for minimal intervention."

 Intervention to be employed on the original part of the house is limited to restoring original character-defining elements to be explored in more detail in a Conservation Plan.
- "4 Recognize each historic place as a physical record of its time, place and use. Do not create a false sense of historical development by adding elements from other historic places or other properties or by combining features of the same property that never coexisted."

 Not applicable
- "5 Find a use for a historic place that requires minimal or no change to its character-defining elements."

 The designated character-defining elements, with the exception of the two aforementioned window openings, are not affected by proposed uses.
- "6 Protect and, if necessary, stabilize a historic place until any subsequent intervention is under-taken. Protect and preserve archaeological resources in place. Where there is potential for disturbance of archaeological resources, take mitigation measures to limit damage and loss of information."

 The property has been secured and is well-maintained.
- "7 Evaluate the existing condition of character-defining elements to determine the appropriate intervention needed. Use the gentlest means possible for any intervention. Respect heritage value when undertaking an intervention."

 No extant character-defining elements, with the exception of the two aforementioned window openings, are to be affected. Original materials on the house will be retained and restored where necessary to be explored in more detail in a Conservation Plan.
- "8 Maintain character-defining elements on an ongoing basis. Repair character-defining elements by reinforcing their materials using recognized conservation methods. Replace in kind any extensively deteriorated or missing parts of character-defining elements, where there are surviving prototypes." Missing shutters and windows will be replaced to match the originals based on patterns taken from other elements on the house.
- 9 Make any intervention needed to preserve character-defining elements physically and visually compatible with the historic place, and identifiable upon close inspection. Document any intervention for future reference. See point 7 above.

Eight Guiding Principles in the Conservation of Historic Properties, Ontario Ministry of Culture: (now called Eight Guiding Principles in the Conservation of Built Heritage Properties)²⁶

1. RESPECT FOR DOCUMENTARY EVIDENCE:

Do not base restoration on conjecture. Conservation work should be based on historic documentation such as historic photographs, drawings and physical evidence.

Conjecture is not needed. Evidence is clear.

Ontario Ministry of Tourism, Culture and Sport website

http://www.culture.gov.on.ca/english/heritage/info_sheets/info_sheet_8principles.htm

2. RESPECT FOR THE ORIGINAL LOCATION:

Do not move buildings unless there is no other means to save them. Site is an integral component of a building or structure. Change in site diminishes cultural heritage value considerably.

Building remains on its original site in its original orientation. The outbuilding is conserved on the property in a relocated position and is re-purposed.

3. RESPECT FOR HISTORIC MATERIAL:

Repair/conserve - rather than replace building materials and finishes, except where absolutely necessary. Minimal intervention maintains the heritage content of the built resource.

Replacements are not necessary except for missing elements.

4. RESPECT FOR ORIGINAL FABRIC:

Repair with like materials. Repair to return the resource to its prior condition, without altering its integrity. A detailed examination, including scraping of paint to reveal deterioration removal will be performed and like materials will be used to repair any exterior woodwork and masonry, if necessary

5. RESPECT FOR THE BUILDING'S HISTORY:

Do not restore to one period at the expense of another period. Do not destroy later additions to a building or structure solely to restore to a single time period.

Later *c*. 1960s, 1984 and 2003 additions to a *c*. 1862 building do not complement the original building. Restoration to a single time period is not the intention.

6. REVERSIBILITY:

Alterations should be able to be returned to original conditions. This conserves earlier building design and technique. e.g. When a new door opening is put into a stone wall, the original stones are numbered, removed and stored, allowing for future restoration.

Brick from the enlarged window openings (which are to be converted to doors to satisfy OBC requirements) will be retained and stored in the crawl space to provide opportunity for reversibility in future. No other alterations to original exterior features are proposed.

7. LEGIBILITY:

New work should be distinguishable from old. Buildings or structures should be recognized as products of their own time, and new additions should not blur the distinction between old and new

There is no new work proposed other than replacing non-heritage windows and shutters and new side doors.

8. MAINTENANCE:

With continuous care, future restoration will not be necessary. With regular upkeep, major conservation projects and their high costs can be avoided.

The condominium corporation will be responsible for developing a maintenance plan that includes schedules for monitoring and inspection to proactively determine the type and frequency of maintenance required. Maintenance procedures shall include: cleaning materials only when necessary, to remove heavy soiling or graffiti - cleaning method shall be as gentle as possible to obtain satisfactory results; protecting adjacent materials from accidental damage during maintenance or repair work; and repairing or replacing materials to match the original as closely as possible, both visually and physically.

Pertinent cultural heritage policies of the City of Mississauga's Official Plan (October 14, 2015), 7 - Complete

Communities section include:

7.4.1.2 Mississauga will discourage the demolition, destruction or inappropriate alteration or reuse of cultural heritage resources.

"Demolition" in this case, is the removal of later additions that are not part of the designation, not character-defining elements, and detract from the heritage attributes of the original house; this is considered appropriate.

- 7.4.1. Mississauga will require development to maintain locations and settings for cultural heritage resources that are compatible with and enhance the character of the cultural heritage resource.

 The residential proposal setting for the Barber House is compatible with its character.
- 7.4.1.10 Applications for development involving cultural heritage resources will be required to include a Heritage Impact Assessment prepared to the satisfaction of the City and other appropriate authorities having jurisdiction.

The purpose of this HIA is to satisfy this policy.

7.4.1.1 Cultural heritage resources designated under the Ontario Heritage Act, will be required to preserve the heritage attributes and not detract or destroy any of the heritage attributes in keeping with the Ontario Heritage Tool Kit, the Ontario Ministry of Culture, and the Standards and Guidelines for the Conservation of Historic Places in Canada, Parks Canada.

The purpose of this HIA is to satisfy this policy.

7.4.1.13 Cultural heritage resources must be maintained in situ and in a manner that prevents deterioration and protects the heritage qualities of the resource.

The building is being maintained on its original lot in its original orientation.

7.4.1.14 Cultural heritage resources will be integrated with development proposals. The resource is well-integrated with the development proposal.

7.4.2.2 Prior to the demolition or alteration of a cultural heritage resource, documentation will be required of the property to the satisfaction of the City, and any appropriate advisory committee. This documentation may be in the form of a Heritage Impact Assessment.

The purpose of this HIA is to satisfy this policy.

7.4.2.3 Development adjacent to a cultural heritage property will be encouraged to be compatible with the cultural heritage property.

The adjacent proposed residential development is compatible in land use, landscape, scale, materials, massing and character.

2.7 Proposed demolition / alterations explained

No loss of cultural heritage value interests in the site and no impact on the streetscape and sense of place is expected from the demolition of later additions.

2.8 Alternatives for salvage mitigation

Not applicable.

2.9 Qualifications of the author completing the Heritage Impact Assessment

See appendix 8.

3.0 SUMMARY STATEMENT and CONSERVATION RECOMMENDATIONS

- The cultural heritage resource is significant; it was designated under Part IV of the *Ontario Heritage Act* in 1982, City of Mississauga By-law # 368-82, and the designation amended in 2017.
- No negative impact from the proposed development is expected, rather a positive impact should be realized with its restoration and the removal of the later additions to the building.
- To ensure no negative impact, mitigating measures include the selection of a compatible residential development option and the removal of later additions to the William Barber House and the restoration of its facades.

4.0 MANDATORY RECOMMENDATION

The HIA terms of reference require the consultant to write a recommendation as to whether the subject property is worthy of heritage designation in accordance with the heritage designation criteria per Regulation 9/06, *Ontario Heritage Act*. The following questions must be answered in the final recommendation of the report:

"1. Does the property meet the criteria for heritage designation under the Ontario Regulation 9/06, Ontario Heritage Act?

Ontario Regulation 9/06 states: A property may be designated under section 29 of the Act if it meets one or more of the following criteria for determining whether it is of cultural heritage value or interest:

- 1. The property has design value or physical value because it,
 - i. is a rare, unique, representative or early example of a style, type, expression, material or construction method,
 - ii. displays a high degree of craftsmanship or artistic merit, or
 - iii. demonstrates a high degree of technical or scientific achievement.
- 2. The property has historical value or associative value because it,
 - i. has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community,
 - ii. yields, or has the potential to yield, information that contributes to an understanding of a community or culture, or
 - iii. demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.
- 3. The property has contextual value because it,
 - i. is important in defining, maintaining or supporting the character of an area,
 - ii. is physically, functionally, visually or historically linked to its surroundings, or
 - iii. is a landmark."

The property meets the criteria for Part IV heritage designation. It was designated in 1982, and the designation by-law was amended in 2017 to clarify the property's cultural heritage value or interest.

A Conservation Plan is to be prepared to guide the demolition of the additions and the exterior restoration of the original house.

"2. If the subject property does not meet the criteria for heritage designation then it must be clearly stated as to why it does not."

Not applicable

"3. Regardless of the failure to meet criteria for heritage designation, does the property warrant conservation as per the definition in the Provincial Policy Statement."

Not applicable.

This updated Heritage Impact Assessment is respectfully submitted by:

CHC Limited

Oue Chatt

per: Owen R. Scott, OALA, FCSLA, CAHP

REFERENCES

1877 map of Barber properties - instrument no. 6045 Township of Toronto, Con 4, Lot 1, Registry Office records

City of Mississauga bylaw # 368-82, William Barber House

City of Mississauga *amendment to Designation Bylaw 368-82*, GC-0745-2016 approved by General Committee 2016/12/07

City of Mississauga Heritage Impact Assessment Terms of Reference, February 2016

City of Mississauga Cultural Landscape Heritage Impact Assessment Terms of Reference 2016

City of Mississauga heritage files - http://www.mississauga.ca/portal/services/property

City of Mississauga maps - http://www.mississauga.ca/portal/services/maps

City of Mississauga Heritage Mississauga website - http://www.heritagemississauga.com/history.htm

City of Mississauga Planning Application Status Report OZ/OPA 16 11 Date Printed: February 6, 2017

City of Mississauga Planning Application Status Report 21T-M 16003 Date Printed: February 6, 2017

City of Mississauga Planning Application Status Report OZ/OPA 16 11, 08/06/2017

City of Mississauga Planning Application Status Report 21T-M 16003, 08/06/2017

FGMDA Architects, Cultural Heritage Resource Assessment and Identification 5155 Mississauga Road, Mississauga, Ontario, September 2016

Flanagan, Beresford & Patteson Architects, Site Plans and renderings, March 2017

Directory of the County of Peel, 1873, http://freepages.genealogy.rootsweb.ancestry.com/

Historical Plaques of Peel Region, Plaque #7, http://www.waynecook.com/apeel.html

Heritage Mississauga web page http://heritagemississauga.com/page/Barberton,

Illustrated Historical Atlas of the County of Peel, Ont., Walker & Miles, Toronto 1877

Landplan Collaborative Ltd. (The) Cultural Landscape Inventory, City of Mississauga,, January, 2005

Legislative Assembly of Ontario webpage

http://www.ontla.on.ca/web/members/members all detail.do?locale=en&ID=683

Memorandum, *Heritage Structure Report, William Barber House.* to Local Architectural Conservation Advisory Committee; from L. F. Love, Commissioner, Recreation and Parks Dept. City of Mississauga, August 31st, 1981

Michael Spaziani Architect Inc., Proposed Site Plan, Old Barber House Ltd., August 28, 2003

MSLA, Landscape Plan, William Barber House, October 2017

MSLA, Arborist's Report - Tree Preservation Plan, William Barber House, March 2017

Ontario Ministry of Tourism, Culture and Sport website http://www.mtc.gov.on.ca/en/publications/InfoSheet_8%20Guiding_Principles.pdf

Mississauga Library System Historic Images Gallery http://www.mississauga.ca/portal/residents/cooksvillegallery

Ontario Historical Society Papers and Records, Vol. 1, 1899 (reprinted 1930), Google books, pp 133, 184, 185

Parks Canada website www.parkscanada.gc.ca

Province of Ontario Ontario Heritage Act, R.S.O. 1990, c. O.18

Province of Ontario Provincial Policy Statement (PPS, 2014) Cultural Heritage and Archaeology Policies 2.6

Province of Ontario InfoSheet #5, Heritage Impact Assessments and Conservation Plans, Winter 2006

Skira Associates, Grading Plan, William Barber House, March 2017

Starr & Tarasick, O.L.S. Plan of Survey of Part of Lot 1, Concession 4, West of Hurontario Street, City of Mississauga, 1981

Tremaine, George R. *Tremaine's Map of the County of Peel, Canada West*. Toronto, lithographed by John Ellis for G. R. and G. M. Tremaine. 1859.

Appendix 1 Chain of Title - PIN 13196-0746 - 5155 Mississauga Road, Mississauga, ON

no.	instrument	instrument date	registered date	acres	from	to	sale price
	Patent	8 March 1828	8 March 1828	100	The Crown	Henry Stiver	4
6262	B & S	21 March 1828	24 March 1828	100	Henry Stiver	William J. Comfort	£ 62.10
23220	B & S	4 Sept 1844	11 Sept 1844	100	William J. Comfort	William Barber et al	£1375
529	B & S	1 March 1870	5 May 1870	100	James Barber et al	Robert Barber	\$20,000
531	B & S	1 March 1870	5 May 1870	7	Robert Barber	William Barber	\$4,000
*2640	B & S	30 Aug 1876	22 Jan 1879	7	William Barber et. ux.	Robert B. Barber	
*5152	Deed	4 Sept 1884	9 Sept 1884	7	Robert B. Barber	Elizabeth Barber	
* Between 1 recorded in R due to the una	870 and 1884, t segistry Office r availability of m	he original Barber bro ecords that William B nicrofiche documents	others purchase was carber sold 7 acres to and numerous 7 acre	divided into Robert B. parcels in	* Between 1870 and 1884, the original Barber brothers purchase was divided into a number of smaller parcels, 7 acres being the most common size parcel. It is recorded in Registry Office records that William Barber sold 7 acres to Robert B. Barber in 1876. It appears that this 7 acre parcel is the subject property; however, due to the unavailability of microfiche documents and numerous 7 acre parcels in the Barber family, title becomes uncertain after 1870.	es being the most common size pa 7 acre parcel is the subject propecertain after 1870.	arcel. It is erty; however,
6840	B & S	1 Sept 1888	11 May 1889	7	Elizabeth S. Barber	John C. Hurst	\$3,000
6852	B & S	*21 May 1889	*18 May 1889	7	John C. Hurst et ux	Patrick Mahoney	\$3,500
* dates may	y have been reve	* dates may have been reversed in Registry Office record	se record				
8712	B & S	16 Apr 1894	12 Feb 1895	2.7	Patrick Mahoney et ux	Stephen Mahoney	
12335	Grant	28 May 1906	23 June 1906	2.7	Stephen Mahoney	Henry Everton Hern	\$1,300
13398	Grant	30 Mar 1909	8 April 1909	2.7	Henry Everton Hern et ux	Elizabeth Charlotte Poliwka	\$3,000
15015	Mortgage	10 Jan 1912	10 Jan 1902*	2.7	Elizabeth Charlotte Poliwka	Alfred Stong	\$6,000
* probably	typographic en	* probably typographic error in Registry Office record	record				
19373	Release	14 Nov 1918	30 Nov 1919	2.7	Elizabeth Charlotte Poliwka	Alfred Stong	
19374	Grant	15 Oct 1919	30 Oct 1919	2.7	Alfred Stong	Barbara M. Riches	
36673	Grant	15 June 1935	22 June 1935	2.7	Barbara M. Riches	Joseph Maski	
38871	Grant	16 Dec 1938	22 Dec 1938	2.7	Joseph Maski <i>et ux</i>	Hattie Maski	

April 6, 2016 updated March 17, 2017 & October 20, 2017

The Trust & Guarantee Co Ltd or Charles G. R. Richie et al

Hattie Maski

2.7

6 Mar 1944

20 Jan 1944

Quit Claim

43858

Appendix 1 Chain of Title - PIN 13196-0746 - 5155 Mississauga Road, Mississauga, ON

no.	instrument	instrument date	registered date	acres from	from	to	sale price
44054	Grant	14 April 1944	4 May 1944	2.7	The Trust & Guarantee Co Ltd or Charles G. R. Richie <i>et al</i>	Dudley R. Dewart	
91618VS	Grant	25 Sept 1968	28 Nov 1968	2.7	Estate of Dudley R. Dewart	Carol A. Townsend	
587002	Grant		31 July 1981	7	Carol A. Townsend & F. Gerald Buccaneer Seafood & Steak Townsend House Ltd.	Buccaneer Seafood & Steak House Ltd.	
LT1671308	LT1671308 Name Change		23 Oct 1996	2	Buccaneer Seafood & Steak House Ltd.	The Old Barber House Restaurant Limited	

CAN THE PRINCIPLE OF TH

Property Index Map
Service Ontario

April 6, 2016 updated March 17, 2017 & October 20, 2017

Property Heritage Detail 22

Address: 5155 MISSISSAUGA

ROAD

Type: RESIDENTIAL

Style: VERNACULAR

















Area: STREETSVILLE

Reason: ARCHITECTURAL/HISTORICAL

History

Home of the Barber family who owned Toronto Woolen Mills, Streetsville, from 1843 to 1882. The main structure has a square plan and a hipped roof. There are multiple rear additions with either gable or flat roofs whereas the main block has two storeys and four internally bracketed chimneys (two on either side). The foundation is of cut stone and the brick walls are laid in common bond. The cornice has a molded wooden fascia with a frieze of double pendant brackets and a dentil course. The centre gable on the west facade has a molded cornice and a finial at its apex, with a triangular scalloped molding inset into the centre of the gable. The front facade has five bays, the centre one of which is occupied by the main door (there is a balcony with a door on the second storey). The other bays have windows which are all six over six paned with double hung sash and radiating voussoirs in brick and stone lugsills. The windows on the north and south facades repeat this pattern, but they all have louvered shutters. There are two blind windows, one on each floor on the north and south facades which create the illusion of a real window but in actuality a fireplace is on the other side in the interior. The front door is set within an umbrage that has an elliptical arch, protected by paneled, partly glazed doors. The ceiling of the umbrage is decorated with plaster moldings in egg and dart and acanthus leaf patterns. The door has inset sidelights, each with rounded glass in the top half. There is a three paned transom over the door within a heavy, molded frame. The door has six panels, two of which have rounded tops. The umbrage is set behind an arched entrance way which extends upwards to the second floor to become an enclosed balcony (the balusters are still there from when it was an open balcony). The verandah extends across the front of the house with a tent roof and is decorated with tree-like fretwork. The house has its original marble fireplaces and decorative plaster-work. The interior features a centre-hall plan. Some adaptations were necessary when converted to restaurant use.

City of Mississauga website: http://www.mississauga.ca/portal/services/property?

Appendix 2 **Property Heritage Detail** ²³

Address: 5155 MISSISSAUGA RD Type: Reason: CULTURAL LANDSCAPE

History

Mississauga Road is recognized as a Cultural Landscape, as it is one of the City's oldest and most picturesque thoroughfares. Its alignment varies from being part of the normal road grid in the north to a curvilinear alignment in the south, following the top of bank of the Credit River. The scenic quality of the road is notable because it traverses a variety of topography and varying land use, from old established residential neighbourhoods to new industrial and commercial areas.

From Streetsville south the boulevards and adjacent landscapes are home to some of the oldest and most spectacular trees in the City. The road also includes some of the city's most interesting architecture and landscape features, including low stone walls. The road's pioneer history and its function as a link between Mississauga's early communities, makes it an important part of the City's heritage.

²⁸ Ibid

File 009



BY-LAW NUMBER 368-87

To designate the "William Sarber House" located on the north-east corner of Miasiasauga Road and Darbertown Road of architectural and historical interest.

WHEREAS The Ontario Heritage Act, R.S.O. 1980, Chapter 337, authorizes the Council of a municipality to enact by-laws to designate real property including all the buildings and structures thereon, to be of historic or architectural value or interest; and

WHEREAS notice of intention to so designate the "William Barber House" located on the north-east corner of Mississauga Road and Barbertown Road, having been duly published and served and no notice of objection to such designation having been received by the Council of The Corporation of the City of Mississauga.

WHEREAS the reasons for the said designation are set cut us Schedule "A" hereto;

THEREFORE the Council of The Corporation of the City of Mississauga enacts as follows:

- 1. That the real property, more particularly described in Schedule "B" hereto, known as the "William Barber House" located on the north-east corner of Mississauga Road and Barbertown Road be designated as being of archicectural and historic value or interest.
- 2. That the City Clork is hereby authorized to cause a copy of this by-law to be served upon the owner of the aforesaid property and upon the Ontario Heritage Foundation and to cause notice of this by-law to be published in a newspaper having general circulation in the City of Mississauga, ENACTED AND PASSED this 256 day of

SCHEDULE "Arto By Luw # 368.82

SHORT STATEMENT OF THE REASONS FOR THE PROPOSED DESIGNATION

The William Barber House located on the north-east corner of Mississauga Road and Barbertown Road is recommended for designation on both historical and erchitectural grounds. Ristorically it was the home of one of the founders of the Toronto Woolen Mills (located down the road from the house) which was a thriving industry throughout much of the mineteenth century and one of the largest employers in the area. The decorative cornice, the treillage on the verandah, the plasterwork in the umbrage give the house distinction. At the present time, it is the intention of Buccaneer Restaurants Ltd. to convert the William Barber House into restaurant use. Therefore, it is further recommended that when the building is adapted to restaurant use, the following exterior architectural elements be preserved: the fixe bay two-storey brick facade and projecting frontispiace, the tall paired chimneys, the six-over-six paned windows, the classical moulded frieze with denta course and paired italianate brackets.

SCHEDULE "B" to By-Jaw # 368-82

DESCRIPTION: Part of Lot 1, Concession 4 West of Hurontaric Street

ALL AND SINGULAR, that certain parcel or tract of land and premises, situate, lying and being in the City of Mississauga, Regional Municipality of Peel, (formerly in the Township of Toronto, County of Peel), Province of Ontario, and being composed of that part of Lot 1 in the Fourth Concession West of Hurontario Street in the said City, designated as Part 2 on a reference plan deposited in the Land Registry Diffice for the Registry Division of Peel (No. 43) as 43R-9468.

John Wintle, Ontario Land Surveyor.

Part IV Designation By-law

2017 Amendment to 1982 Designation By-law 368-82

Description of Property

The Barber Villa is a 19th century large brick building, originally constructed as the residence for William Barber, mill owner, and his family, on a large estate property in close proximity to the south end of Streetsville, in the Regular Villa style including a two-storey service wing. The property also contains a secondary brick outbuilding, partial original driveway and stone markers and has a prominent setback from Mississauga Road and Barbertown Road, being visible from the property lines along both roads.

The property is located at 5155 Mississauga Road, in Part of Lot 1, Concession 4, West of Hurontario Street (WHS), City of Mississauga, designated as Part 2, Plan 43R-9468.

Statement of Cultural Heritage Value or Interest

5155 Mississauga Road's cultural heritage value is derived from its design, associative, and contextual values. The villa is a representative example of the Regular Villa style of architecture, popular style employed in the regions surrounding Ontario's urban centres (Toronto and Kingston) in the mid to late 19th century in the design of estate houses for the upper middle class. The villa's relatively simple form and massing is made elaborate with applied architectural features of various stylistic influences, such as the paired brackets, dentils, veranda treillage, and the balustrade enclosing the second-storey balcony at the west elevation's centre bay.

The property's cultural heritage value resides in its association with William Barber, the original owner of the house and co-owner of the successful Toronto Woollen Mills complexes, remnants of which exist and are located on the nearby banks of the Credit River, and was one of the area's largest employers.

The property is also associated with Charles H. R. Riches, an entrepreneurial attorney who founded one of the first patent law practices in Upper Canada. It is attributed to have been constructed by Robert Leslie, a prolific Streetsville-based contractor who was a part of one of Streetsville's early settler families, and who is credited with the construction of other significant surviving 19th century estates within the contemporary boundaries of the City of Mississauga.

The property's cultural heritage value is also reflected in its contextual importance as one of the few remaining estates of one of Streetsville's prominent families, and as a landmark for the historic southern approach to the town. Its significant setback from the front and side lots lines, its central placement on the lot, and its raised ground floor reinforce its prominence. It also provides a link between the extant Toronto Woollen Mills complex on the Credit River and the purpose-built worker's houses located on Barbertown Road.

The property's cultural heritage value is closely related to its placement on Mississauga Road, a designated Scenic Route that has been an important artery through the region historically and to the present day. As one of the earliest and more prominent estates along the road, and, having persisted through the 20th century relatively unchanged, 5155 Mississauga Road is significant in having influenced the pattern of residential development along Mississauga Road, defined by large lots, single-family homes, and generous front lot setbacks with extensive landscaping.

Part IV Designation By-law

Description of Heritage Attributes

The attributes below contribute to an understanding of the identified cultural heritage value and interest of 5155 Mississauga Road, and should be preserved. The 2003 and remnants of the 1984 additions have not been identified as heritage attributes.

Design/Physical Value:

- the scale and massing of the two-storey main building, including east wing;
- the running bond load bearing brick walls;
- the stone foundations;
- the raised ground floor;
- the hipped roof of the villa, and gabled roof of the east wing, both clad in shingles;
- the paired internally bracketed chimneys;
- the symmetrical division of the south and west elevations into 3 and 5 bays, respectively;
- the central projecting portico on the west elevation;
- the elliptical arch openings at the central portico;
- the original masonry window and door openings and their flat brick arches;
- the interior and exterior front doors, transom and sidelights;
- the upstairs door to umbrage and balcony;
- the six-over-six configuration of the windows: the remaining original wood frames, brick moulds and wood lugsills;
- the eaves, cornice and fascia, with paired brackets and dentils;
- the gable end on the west elevation, with cornice, profiled finial and dropped post, and triangular scalloped-edge brick inset;
- the verandas with tented roofs resting on thin paired posts, between which span elliptical arches with drop pendants and fretwork;
- the secondary outbuilding to the north of the villa, including:
 - the pointed arch windows in the gable ends, and
 - the running bond brick walls;

Contextual Value:

- the villa's prominent set-back from Mississauga and Barbertown Roads;
- views of the building from Mississauga Road and from the corner of the lot at Mississauga Road and Barbertown Road, from the public realm (the sidewalk and road).



City of Mississauga MEMORANDUM

To Local Architectural Conservation	From	L.F. Love, Commissioner
Omnittee Advisory Committee	Dept	Recreation and Parks
		

August 31st, 1981

HERITAGE STRUCTURE REPORT

NAME OF STRUCTURE:

William Barber House

ADDRESS:

Mississauga Road at Barbertown Road

amoistin No. 16677.

THE MET. 10. 78007

CLERK'S DEPARTMENT

northeast corner

Conc. IV, WHS, Pt. Lt. 1, W 1/2

ORIGINAL OWNER:

William Barber

ORIGINAL USE:

Residence

PRESENT OWNER:

Carol Ann Townsend

PRESENT USE:

Proposed Restaurant

ARCHITECTURAL QUALITY:

This is a two-storey, hipped-roof building, with a gabled-roof extension to the rear. A cut-stone foundation supports brick walls. There are four pairs of internally-bracketted chimneys. The comice has a moulded wooden fascia with a frieze of double pendant brackets and a dentil course. The central gable has a moulded cornice.

There are five bays in the front facade, with the main entrance in the central bay which has a slight projection. The two bays on either side have a window in each storey, each being six-over-six paned, double-hung sash windows, with radiating voussoirs in brick and stone lugsills. There are similar windows on the north and south sides, but these windows have louvered shutters. Two blind windows on each side cover the chinney access.

The main entrance is set within an umbrage having an elliptical arch. The outer doors leading to the umbrage are partly panelled, partly glazed.

There are plaster mouldings on the ceiling of the umbrage. The six-panelled inner door has inset sidelights and a three-paned transom. Over the umbrage on the second-storey is an enclosed verandah. Across the front facade, on either side of the umbrage, there is a tent-roofed verandah, decorated with treillage. The interior, laid out on a central hall plan, still has its original marble fireplaces

FORM 145

 $\binom{\sim}{L}$

AITECTURAL QUALITY
ONTINUED:

Page two.

and some decorative plasterwork.

In comparing the present-day structure to a photograph in the 1877 Peel County Atlas, it is obvious that there have been changes. The upper balcony has been enclosed and the tent-roofed bay window in the balcony has been removed. Shutters no longer surround the front windows and there is no verge-board in the centre gable. The original red brick has been painted white. Moreover, there have been numerous additions to the rear. Nevertheless, despite these changes, the basic character of the house remains intact.

STYLISTIC CHARACTERISTICS:

This house is reminiscent of the "straight-forward square house" advocated by the Canada Farmer in 1865. As quoted in Ontario Towns, this publication went on to say: "The monotony of the front is relieved by projecting the hall two feet forward of the main building. This is carried up and finished with a gable." Although the Barber House has a slighter projection, the umbrage and balcony together project the front much further forward. The architectural elements are drawn from many styles making this a truly vernacular house. The brackets under the eaves are Italianate. The dentils are from the Classical Revival style and the pendants on the verandah are from the Gothic. Although it is imposing because of its sheer mass and white colouring, yet it is also gracious with the umbrage and ornate verandah. The umbrage is particularly impressive with the plasterwork in the ceiling.

SITE CONSIDERATIONS:

Situated on Mississauga Road at Barbertown Road on the northeast corner, the Barber House is so positioned that it dominates the surrounding area. The fact that it is now painted white increases its visibility. Set back from the road on a large lot, the house has a suitable setting.

HISTORICAL QUALITY:

Born in Ireland in 1809, William Barber came to Canada with his family in 1822. With his brothers James, Joseph and Robert, he opened a carding mill in Georgetown in 1837. In 1843, Barber Brothers Limited opened the Toronto Woollen Mills outside Streetsville. In the late 1860's, the firm dissolved, with William and Robert retaining the Toronto Woollen Mills. It is believed that William Barber moved to Streetsville at this time and had the house at Barbertown Road built, possibly by Robert Leslie, a local builder. An imposing brick residence, it would have been a suitable residence for the owner of the business that dominated the community of Barbertown,

HISTORICAL QUALITY (Continued)

Page three

named after his family. William Barber lived in this house for about two decades, until his deathin 1887.

RECOMMENDATIONS:

This William Barber House is recommended for designation on both historical and architectural grounds. Historically, it was the home of one of the founders of the Toronto Woollen Mills (located down the road from the house) which was a thriving industry throughout much of the nineteenth century and one of the largest employers in the area. The decorative cornice, the treillage on the verandah, and the plasterwork in the umbrage give the house distinction.

At the present time, it is the intention of Buccaneer Restaurants Ltd. to convert the Wîlliam Barber House into restaurant use. Therefore, it is further recommended that when the building is adapted to restaurant use the following exterior architectural elements be preserved: the fine bay twostorey brick facade and projecting frontispiece, the tall paired chimnies, the six-over-six paned windows, the classical moulded frieze with dentil course and paired Italianate brackets. It is also recommended that the elements of the landscape of this highly visible house be preserved as well, i.e. the circular drive, hedges, trees and cast iron fence.

SOURCE:

Ontario Archives, Abstract Index to Deeds. Toronto Township.

> Perkins Bull Collection. Families File.

Greenhill, R., K. Macpherson and D. Richardson. Ontario Towns. Ottawa: Oberon Press, 1975.

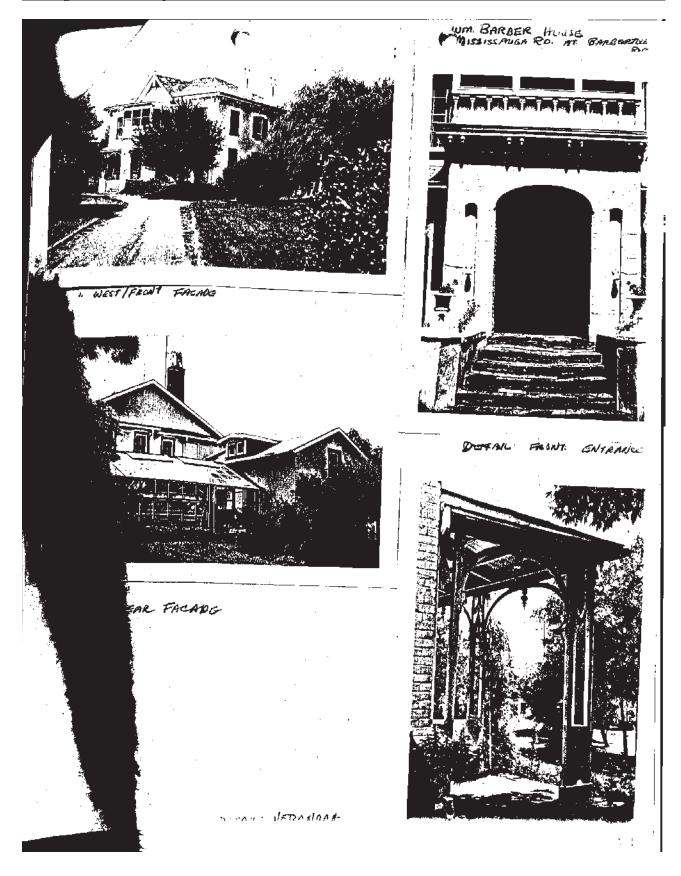
Lynch, John. Directory of the County of Peel for 1873-1874.

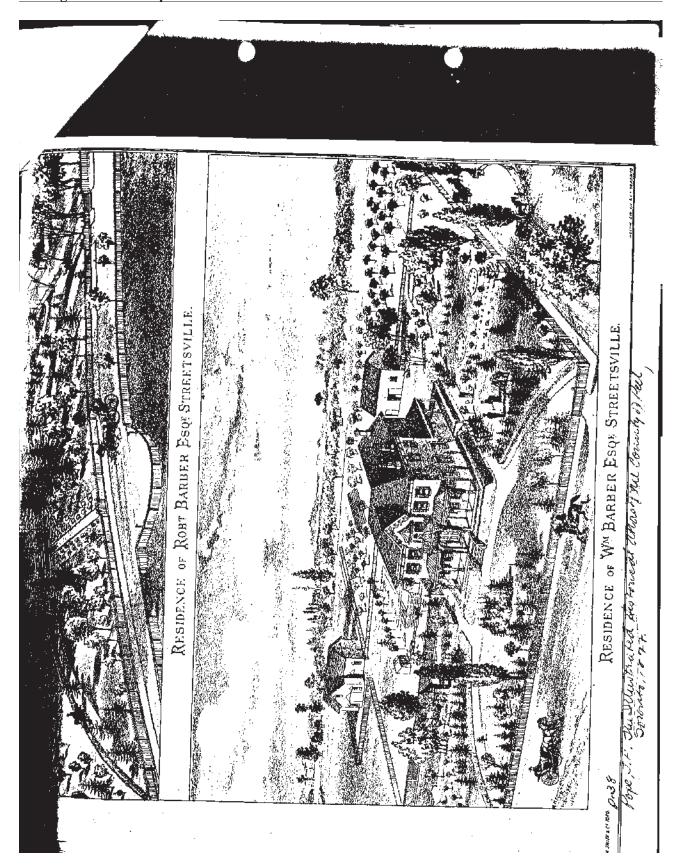
Brampton, 1874.

Manning, Mary. A History of Streetsville. Streetsville Historical Society, rev. ed., 1976.

Pope, J.H. The Illustrated Historical Atlas of the County of Peel. Toronto 1877.

L.F. Love, Commissioner Recreation and Parks Department no





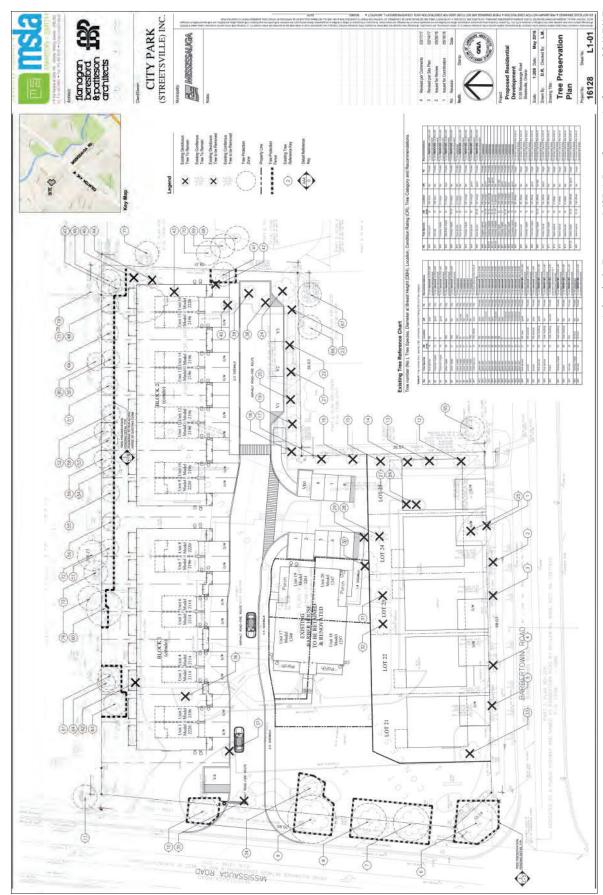
Project: Barber House renovation Completed By: fbp architects

Phone: 905 265 2688 Fax: 905 265 2685 E-mail: billt@fbparch.com

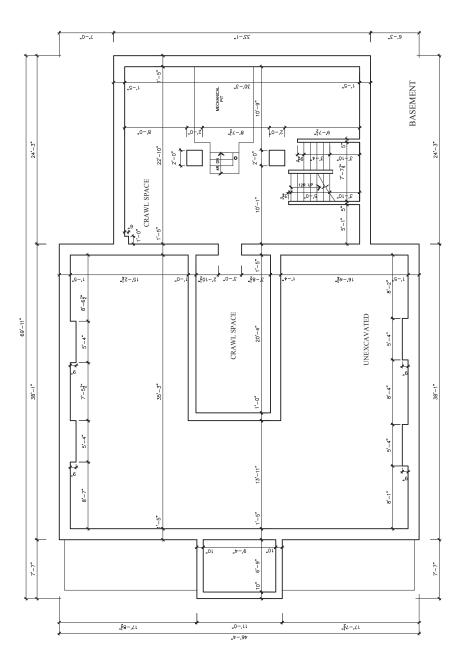
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4	Mezzan	ine Ar	ea (m²	²) E	xisting N/A	Ne	w N/A	Total N	/A		
5	Gross A	rea (m	²)	E	xisting		492	.28		1.4.1.2[A	
6	Numbe	r of St	oreys	3	Above Grad	e 1	Below	Grade	1 crawl space	1.4.1.2[A	<u>\]</u>
7	Height	of Buil	ding	(m)	9.	5 (to	midpoi	nt of roof)		
8	Numbe	r of St	reets	/Acce	ss Rout	es			1	3.2.2.10-9	9.10.20
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CHC Limited

Appendix 6
Arborist's Report



Arborist's Report - MSLA Landscape Architects, 03/17/17



OLD BARBER HOUSE AS BUILT DRAWINGS

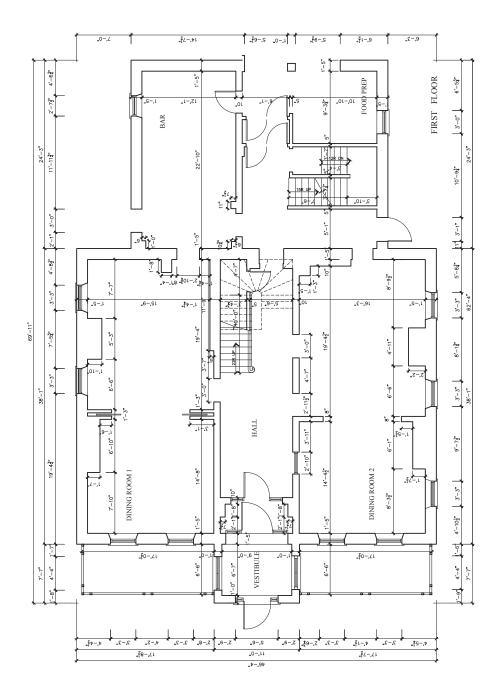
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MARCH 8 2017

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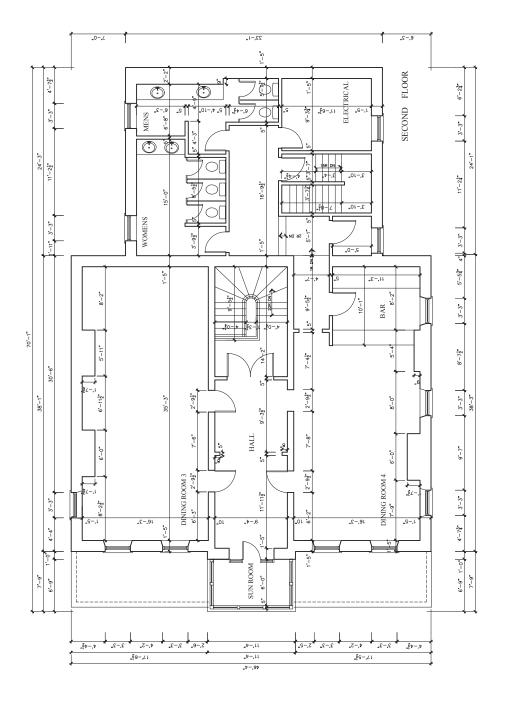




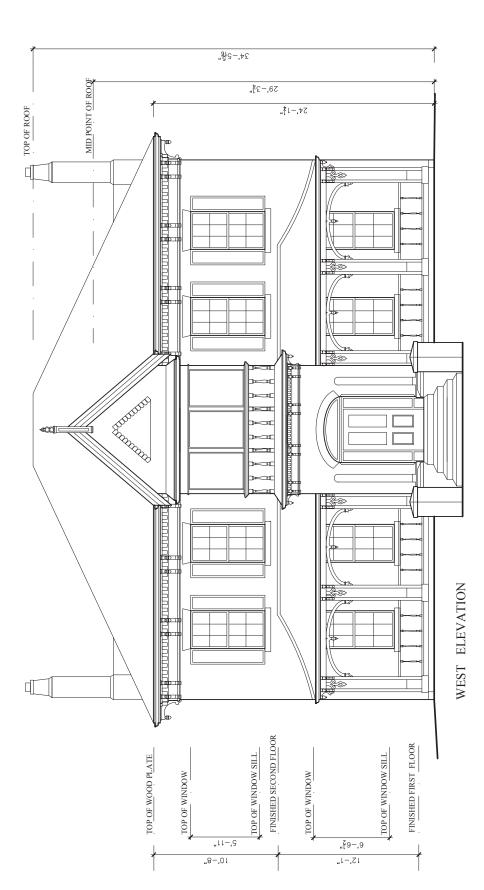


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OLD BARBER HOUSE AS BUILT DRAWINGS

MARCH 8 2017 1/8"=1'0" 15-1276



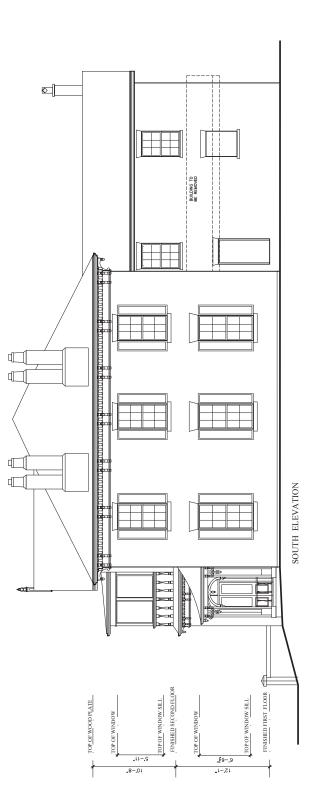
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OLD BARBER HOUSE
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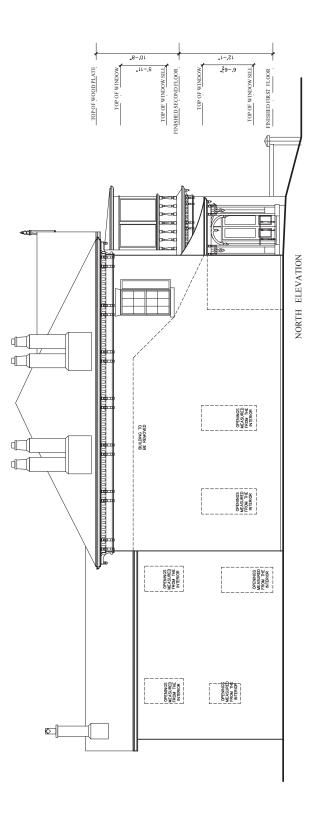
EAST ELEVATION



OLD BARBER HOUSE ASBUILTDRAWINGS

MARCH 8 2017 1/8"=1'0" 15-1276





OLD BARBER HOUSE

AS BUILT DRAWINGS

MARCH 8 2017

1/8"=1'0"

15-1276



RESUME

OWEN R. SCOTT, OALA, FCSLA, CAHP

Education:

Master of Landscape Architecture (MLA) University of Michigan, 1967 Bachelor of Science in Agriculture (Landscape Horticulture), (BSA) University of Guelph, 1965

Professional Experience:

1965 - present President, CHC Limited, Guelph, ON

1977 - present President, The Landplan Collaborative Ltd., Guelph, ON

1977 - 1985 Director, The Pacific Landplan Collaborative Ltd., Vancouver and Nanaimo, BC

1975 - 1981 Editor and Publisher, Landscape Architecture Canada, Ariss, ON

1969 - 1981 Associate Professor, School of Landscape Architecture, University of Guelph

1975 - 1979 Director and Founding Principal, Ecological Services for Planning Limited, Guelph, ON

1964 - 1969 Landscape Architect, Project Planning Associates Limited, Toronto, ON

Historical Research, Heritage Planning and Conservation Experience and Expertise

Current Professional and Professional Heritage Associations Affiliations:

Member: Alliance for Historic Landscape Preservation (AHLP) - 1978 -

Member: Canadian Association of Heritage Professionals (CAHP) - 1987 -

Member: Ontario Association of Landscape Architects (OALA) - 1968 - (Emeritus 2016)

Member: Canadian Society of Landscape Architects (FCSLA) - 1969 - (Fellow 1977, Life Member 2016)

Community and Professional Society Service (Heritage):

Director: Canadian Association of Heritage Professionals (CAHP), 2002 - 2003

Member: Advisory Board, Architectural Conservancy of Ontario, 1980 - 2002

Member: City of Guelph Local Architectural Conservation Advisory Committee (LACAC), 1987 - 2000 (Chair 1988 -

1990)

Member: Advisory Council, Centre for Canadian Historical Horticultural Studies, 1985 - 1988

Professional Honours and Awards (Heritage):

Merit Award	2016	Canadian Association of Heritage Professionals Awards, City of Kitchener Cultural	
		Heritage Landscapes	

National Award 2016 Canadian Society of Landscape Architects (CSLA), City of Kitchener Cultural Heritage

Landscapes

Mike Wagner Award 2013 Heritage Award - Breithaupt Block, Kitchener, ON

People's Choice Award 2012 Brampton Urban Design Awards, Peel Art Gallery, Museum and Archives, Brampton, ON Award of Excellence 2012 Brampton Urban Design Awards, Peel Art Gallery, Museum and Archives, Brampton, ON

National Award

Award of Merit

Canadian Association of Heritage Professionals Awards, Alton Mill, Alton, ON

Canadian Association of Heritage Professionals Awards, Alton Mill, Alton, ON

Award 2007 Excellence in Urban Design Awards, Heritage, Old Quebec Street, City of Guelph, ON

Award 2001 Ontario Heritage Foundation Certificate of Achievement Award 1998 Province of Ontario, Volunteer Award (10 year award) Award 1994 Province of Ontario, Volunteer Award (5 year award)

Regional Merit 1990 CSLA Awards, Britannia School Farm Master Plan National Honour 1990 CSLA Awards, Confederation Boulevard, Ottawa

Citation 1989 City of Mississauga Urban Design Awards, Britannia School Farm Master Plan Honour Award 1987 *Canadian Architect*, Langdon Hall Landscape Restoration, Cambridge, ON

Citation 1986 Progressive Architecture, The Ceremonial Routes (Confederation Boulevard), Ottawa,

Qualifications of the Author

National Citation	1985	CSLA Awards, Tipperary Creek Heritage Conservation Area Master Plan, Saskatoon, SK
-------------------	------	--

National Merit 1984 CSLA Awards, St. James Park Victorian Garden, Toronto, ON

Award 1982 Ontario Ministry of Municipal Affairs Ontario Renews Awards, Millside, Guelph, ON

Selected Heritage Publications:

Scott, Owen R., <u>The Southern Ontario "Grid"</u>, *ACORN* Vol XXVI-3, Summer 2001. *The Journal of the Architectural Conservancy of Ontario*.

Scott, Owen R. 19th Century Gardens for the 20th and 21st Centuries. Proceedings of "Conserving Ontario's Landscapes" conference of the ACO, (April 1997). Architectural Conservancy of Ontario Inc., Toronto, 1998.

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Scott, Owen R. Cemeteries: A Historical Perspective, Newsletter, The Memorial Society of Guelph, September 1993.

Scott, Owen R. The Sound of the Double-bladed Axe, *Guelph and its Spring Festival*. edited by Gloria Dent and Leonard Conolly, The Edward Johnson Music Foundation, Guelph, 1992. 2 pp.

Scott, Owen R. Woolwich Street Corridor, Guelph, ACORN Vol XVI-2, Fall 1991. Newsletter of the Architectural Conservancy of Ontario Inc. (ACO)

Scott, Owen R. guest editor, ACORN, Vol. XIV-2, Summer 1989. Cultural Landscape Issue, Newsletter of the ACO.

Scott, Owen R. <u>Heritage Conservation Education, Heritage Landscape Conservation</u>, *Momentum 1989*, Icomos Canada, Ottawa, p.31.

Scott, Owen R. <u>Cultivars</u>, pavers and the historic landscape, *Historic Sites Supplies Handbook*. Ontario Museum Association, Toronto, 1989. 9 pp.

Scott, Owen R. <u>Landscape preservation - What is it?</u> *Newsletter,* American Society of Landscape Architects - Ontario Chapter, vol. 4 no.3, 1987.

Scott, Owen R. <u>Tipperary Creek Conservation Area, Wanuskewin Heritage Park</u>. *Landscape Architectural Review*, May 1986. pp. 5-9.

Scott, Owen R. Victorian Landscape Gardening. Ontario Bicentennial History Conference, McMaster University, 1984.

Scott, Owen R. <u>Canada West Landscapes</u>. *Fifth Annual Proceedings Niagara Peninsula History Conference (1983)*. 1983. 22 pp.

Scott, Owen R. <u>Utilizing History to Establish Cultural and Physical Identity in the Rural Landscape</u>. *Landscape Planning*, Elsevier Scientific Press, Amsterdam, 1979. Vol. 6, No. 2, pp. 179-203.

Scott, Owen R. <u>Changing Rural Landscape in Southern Ontario</u>. *Third Annual Proceedings Agricultural History of Ontario Seminar (1978)*. June 1979. 20 pp.

Scott, Owen R., P. Grimwood, M. Watson. <u>George Laing - Landscape Gardener, Hamilton, Canada West 1808-187l.</u> *Bulletin, The Association for Preservation Technology*, Vol. IX, No. 3, 1977, 13 pp. (also published in *Landscape Architecture Canada*, Vol. 4, No. 1, 1978).

Scott, Owen R. <u>The Evaluation of the Upper Canadian Landscape</u>. Department of Landscape Architecture, University of Manitoba. 1978. (Colour videotape).

Following is a **representative listing of some of the heritage consultations undertaken by Owen R. Scott** in his capacity as a principal of The Landplan Collaborative Ltd., and principal of CHC Limited.

Heritage Master Plans and Landscape Plans

- o Alton Mill Landscape, Caledon, ON
- o Black Creek Pioneer Village Master Plan, Toronto, ON
- o Britannia School Farm Master Plan, Peel Board of Education/Mississauga, ON
- o Confederation Boulevard (Sussex Drive) Urban Design, Site Plans, NCC/Ottawa, ON
- o Doon Heritage Crossroads Master Plan and Site Plans, Region of Waterloo/Kitchener, ON
- Downtown Guelph Private Realm Improvements Manual, City of Guelph, ON
- o Downtown Guelph Public Realm Plan, City of Guelph, ON
- Dundurn Castle Landscape Restoration Feasibility Study, City of Hamilton, ON
- o Elam Martin Heritage Farmstead Master Plan, City of Waterloo, ON
- o Exhibition Park Master Plan, City of Guelph, ON

Qualifications of the Author

- o George Brown House Landscape Restoration, Toronto, ON
- o Grand River Corridor Conservation Plan, GRCA/Regional Municipality of Waterloo, ON
- o Greenwood Cemetery Master Plan, Owen Sound, ON
- o Hamilton Unified Family Courthouse Landscape Restoration Plan, Hamilton, ON
- o John Galt Park, City of Guelph, ON
- o Judy LaMarsh Memorial Park Master Plan, NCC/Ottawa, ON
- o Langdon Hall Gardens Restoration and Site Plans, Cambridge, ON
- o London Psychiatric Hospital Cultural Heritage Stewardship Plan, London, ON
- o McKay / Varley House Landscape Restoration Plan, Markham (Unionville), ON
- o Museum of Natural Science/Magnet School 59/ Landscape Restoration and Site Plans, City of Buffalo, NY
- o Muskoka Pioneer Village Master Plan, MNR/Huntsville, ON
- o Peel Heritage Centre Adaptive Re-use, Landscape Design, Brampton, ON
- Phyllis Rawlinson Park Master Plan (winning design competition), Town of Richmond Hill, ON
- Prime Ministerial Precinct and Rideau Hall Master Plan, NCC/Ottawa, ON
- o Queen/Picton Streets Streetscape Plans, Town of Niagara-on-the-Lake, ON
- o Regional Heritage Centre Feasibility Study and Site Selection, Region of Waterloo, ON
- o Rockway Gardens Master Plan, Kitchener Horticultural Society/City of Kitchener, ON
- o St. George's Square, City of Guelph, ON
- o St. James Cemetery Master Plan, Toronto, ON
- o St. James Park Victorian Garden, City of Toronto, ON
- Tipperary Creek (Wanuskewin) Heritage Conservation Area Master Plan, Meewasin Valley Authority, Saskatoon, SK
- Whitehern Landscape Restoration Plan, Hamilton, ON
- o Woodside National Historic Park Landscape Restoration, Parks Canada/Kitchener, ON

Cultural Heritage Evaluation Reports (CHER), Cultural Heritage Inventories and Cultural Heritage Landscape Evaluations

- Adams Bridge (Structure S20) Cultural Heritage Evaluation Report, Southgate Township, ON
- o Belanger Bridge Cultural Heritage Evaluation Report, Casey Township., ON
- o Belfountain Area Heritage Inventory for Environmental Assessment, Peel Region, ON
- Bridge #20 Cultural Heritage Evaluation Report, Blandford-Blenheim Township, ON
- o Bridge #25 Cultural Heritage Evaluation Report, Blandford-Blenheim Township, ON
- Chappell Estate / Riverside / Mississauga Public Garden Heritage Inventory, Mississauga, ON
- o Cruickston Park Farm & Cruickston Hall Cultural Heritage Resources Study, Cambridge, ON
- o Doon Valley Golf Course Cultural Heritage and Archaeological Resources Inventory, Kitchener/Cambridge, ON
- Government of Ontario Light Rail Transit (GO-ALRT) Route Selection, Cultural and Natural Resources Inventory for Environmental Assessment, Hamilton/Burlington, ON
- o Hancock Woodlands Cultural Heritage Assessment, City of Mississauga, ON
- Hespeler West Secondary Plan Heritage Resources Assessment, City of Cambridge, ON
- o Highway 400 to 404 Link Cultural Heritage Inventory for Environmental Assessment, Bradford, ON
- Highway 401 to 407 Links Cultural Heritage Inventory for Environmental Assessment, Pickering/Ajax/Whitby/ Bowmanville, ON
- o Holland Mills Road Bridge Cultural Heritage Evaluation Report, Wilmot Township, ON
- Homer Watson House Cultural Heritage Evaluation Report, Kitchener, ON
- Irvine Street (Watt) Bridge Cultural Heritage Evaluation Report, Township of Centre Wellington, ON
- Lakewood Golf Course Cultural Landscape Assessment, Tecumseh, ON
- Landfill Site Selection, Cultural Heritage Inventory for Environmental Assessment, Region of Halton, ON
- o Niska Road Cultural Heritage Landscape Addendum, City of Guelph, ON
- o 154 Ontario Street, Historical Associative Evaluation, Guelph, ON
- 35 Sheldon Avenue North, Cultural Heritage Evaluation Report, Kitchener, ON
- o Silvercreek (LaFarge Lands) Cultural Landscape Assessment, Guelph, ON
- South Kitchener Transportation Study, Heritage Resources Assessment, Region of Waterloo, ON
- 53 Surrey Street East and 41, 43, 45 Wyndham Street South Cultural Heritage Evaluation Guelph, ON
- o Swift Current CPR Station Gardens condition report and feasibility study for rehabilitation/reuse, Swift Current, SK

Qualifications of the Author

- o University of Guelph, McNaughton Farm House, Cultural Heritage Resource Assessment, Puslinch Township, ON
- University of Guelph, Trent Institute Cultural Heritage Resource Assessment, Guelph, ON
- o University of Guelph, 1 and 10 Trent Lane Cultural Heritage Resource Assessments, Guelph, ON
- o Uno Park Road Bridge, Cultural Heritage Evaluation Report, Harley Township, ON
- o 2007 Victoria Road South Heritage Evaluation, Guelph, ON
- Waterloo Valleylands Study, Heritage and Recreational Resources mapping and policies, Region of Waterloo

Heritage Impact Assessments (HIA), Heritage Impact Statements (HIS), Cultural Heritage Resource Impact Assessments (CHRIA) and Cultural Landscape Heritage Impact Statements

- o Adams Bridge (Structure S20) Heritage Impact Assessment, Southgate Township, ON
- o 33 Arkell Road Heritage Impact Assessment, Guelph, ON
- o 86 Arthur Street, Heritage Impact Assessment, Guelph, ON
- o Barra Castle Heritage Impact Assessment, Kitchener, ON
- o Biltmore Hat Factory Heritage Impact Assessment, Guelph, ON
- o 140 Blue Heron Ridge Heritage Impact Assessment, Cambridge, ON
- o 25 Breithaupt Street Heritage Impact Assessment, Kitchener, ON
- o 51 Breithaupt Street Heritage Impact Assessment, Kitchener, ON
- o Bridge #20 Heritage Impact Assessment, Blandford-Blenheim Township, ON
- o Bridge #25 Heritage Impact Assessment, Blandford-Blenheim Township, ON
- o 215 Broadway Street Heritage Impact Statement, Mississauga, ON
- Cambridge Retirement Complex on the former Tiger Brand Lands, Heritage Impact Assessment, Cambridge, ON
- Cambridge Retirement Complex on the former Tiger Brand Lands, Heritage Impact Assessment Addendum, Cambridge, ON
- o 27-31 Cambridge Street, Heritage Impact Assessment, Cambridge, ON
- 3075 Cawthra Road Heritage Impact Statement, Mississauga, ON
- 58 Church Street Heritage Impact Assessment, Churchville Heritage Conservation District, Brampton, ON
- o City Centre Heritage Impact Assessment, Kitchener, ON
- o 175 Cityview Drive Heritage Impact Assessment, Guelph, ON
- o 12724 Coleraine Drive Cultural Heritage Impact Statement, Caledon (Bolton), ON
- o 12880 Coleraine Drive Cultural Heritage Impact Statement, Caledon (Bolton), ON
- Cordingly House Heritage Impact Statement, Mississauga, ON
- 264 Crawley Road Heritage Impact Assessment (farmstead, house & barn), Guelph, ON
- 31-43 David Street (25 Joseph Street) Heritage Impact Assessment, Kitchener, ON
- o 35 David Street (Phase II) Heritage Impact Assessment, Kitchener, ON
- 75 Dublin Street Heritage Impact Assessment, Guelph, ON
- o 24, 26, 28 and 32 Dundas Street East Heritage Impact Statement, Mississauga, (Cooksville), ON
- o 1261 Dundas Street South Heritage Impact Assessment, Cambridge, ON
- o 172 178 Elizabeth Street Heritage Impact Assessment, Guelph, ON
- o 19 Esandar Drive, Heritage Impact Assessment, Toronto, ON
- o 14 Forbes Avenue Heritage Impact Assessment, Guelph, ON
- o 369 Frederick Street Heritage Impact Assessment, Kitchener, ON
- 42 Front Street South Heritage Impact Assessment, Mississauga, ON
- Grey Silo Golf Course/Elam Martin Farmstead Heritage Impact Assessment, City of Waterloo, ON
- o GRCA Lands, 748 Zeller Drive Heritage Impact Assessment Addendum, Kitchener, ON
- o Hancock Woodlands Heritage Impact Statement, City of Mississauga, ON
- o 132 Hart's Lane, Hart Farm Heritage Impact Assessment, Guelph, ON
- o Holland Mills Road Bridge Heritage Impact Assessment, Wilmot Township, ON
- 9675, 9687, 9697 Keele Street Heritage Impact Assessment, City of Vaughan (Maple) ON
- o 13165 Keele Street Cultural Heritage Resource Impact Assessment, King Township (King City), ON
- 151 King Street North Heritage Impact Assessment, Waterloo, ON
- Kip Co. Lands Developments Ltd. Cultural Heritage Resource Impact Assessment Woodbridge Heritage Conservation District, City of Vaughan (Woodbridge) ON

Qualifications of the Author

- o 20415 Leslie Street Heritage Impact Assessment, East Gwillimbury, ON
- o 117 Liverpool Street Heritage Impact Assessment, Guelph, ON
- 36 46 Main Street Cultural Landscape Heritage Impact Assessment & Heritage Impact Assessment, Mississauga, ON
- o 30 40 Margaret Avenue Heritage Impact Assessment, Kitchener, ON
- o 19 37 Mill Street Scoped Heritage Impact Assessment, Kitchener, ON
- 2610, 2620 and 2630 Mississauga Road, Cultural Landscape Heritage Impact Statement, Mississauga, ON
- 4067 Mississauga Road, Cultural Landscape Heritage Impact Statement, Mississauga, ON
- o 1142 Mona Road, Heritage Impact Assessment, Mississauga, ON
- o 1245 Mona Road, Heritage Impact Statement, Mississauga, ON
- o 15 Mont Street, Heritage Impact Assessment, Guelph, ON
- Proposed Region of Waterloo Multimodal Hub at 16 Victoria Street North, 50 & 60 Victoria Street North, and 520 & 510 King Street West, Heritage Study and Heritage Impact Assessment, Kitchener, ON
- 6671 Ninth Line Heritage Impact Statement, Cordingley House Restoration & Renovation, Mississauga, ON
- 324 Old Huron Road Heritage Impact Assessment, Kitchener, ON
- o 40 Queen Street South Heritage Impact Statement, Mississauga, (Streetsville), ON
- o Rockway Holdings Limited Lands north of Fairway Road Extension Heritage Impact Assessment, Kitchener, ON
- o 35 Sheldon Avenue, Heritage Impact Assessment, Kitchener, ON
- o 259 St. Andrew Street East Cultural Heritage Assessment, Fergus, ON
- o 10431 The Gore Road Heritage Impact Assessment, Brampton, ON
- o Thorny-Brae Heritage Impact Statement, Mississauga, ON
- o 7 Town Crier Lane, Heritage Impact Assessment, Markham, ON
- University of Guelph, 3 7 Gordon Street Houses, Heritage Impact Assessment, Guelph, ON
- o University of Guelph, Harrison House, Heritage Impact Assessment, Guelph, ON
- o Uno Park Road Bridge, Heritage Impact Assessment, Harley Township, ON
- Victoria Park Proposed Washroom Cultural Heritage Impact Assessment, Kitchener, ON
- o 927 Victoria Road South (barn) Heritage Impact Assessment, Guelph, ON
- o 272-274 Victoria Street Heritage Impact Assessment, Mississauga, ON
- o 26 32 Water Street North Heritage Impact Assessment, Cambridge (Galt), ON
- o Winzen Developments Heritage Impact Assessment, Cambridge, ON
- o 35 Wright Street Cultural Heritage Resource Impact Assessment, Richmond Hill, ON
- o 1123 York Road Heritage Impact Assessment, Guelph, ON

Heritage Conservation Plans

- o 51 Breithaupt Street Heritage Conservation Plan, Kitchener, ON
- o Hamilton Psychiatric Hospital Conservation Plan, for Infrastructure Ontario, Hamilton, ON
- o Harrop Barn Heritage Conservation Plan, Milton, ON
- o 324 Old Huron Road Conservation Plan, Kitchener, ON
- o 264 Woolwich Street Heritage Conservation Plan, Guelph, ON

Heritage Conservation District Studies and Plans

- o Downtown Whitby Heritage Conservation District Study and Plan, Town of Whitby, ON
- MacGregor/Albert Heritage Conservation District Study and Plan, City of Waterloo, ON
- Queen Street East Heritage Conservation District Study, Toronto, ON
- University of Toronto & Queen's Park Heritage Conservation District Study, City of Toronto, ON

Cultural Heritage Landscape Inventories/Studies

- o Cultural Heritage Landscape Study, City of Kitchener, ON
- o Cultural Heritage Landscape Inventory, City of Mississauga, ON

Peer Reviews

- Acton Quarry Cultural Heritage Landscape & Built Heritage Study & Assessment Peer Review, Acton, ON
- o Belvedere Terrace Peer Review, Assessment of Proposals for Heritage Property, Parry Sound, ON

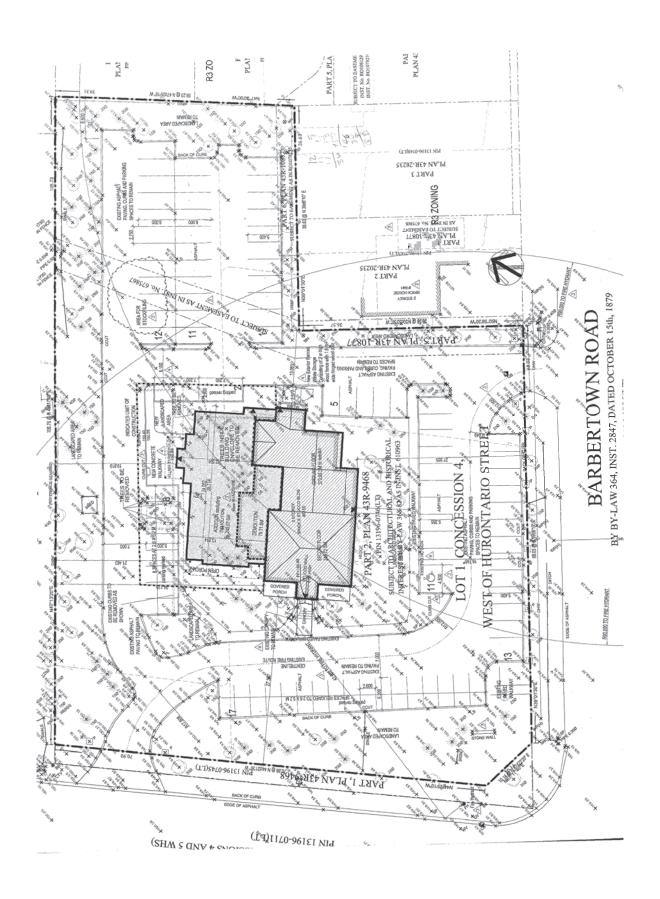
Qualifications of the Author

- o Heritage Square Heritage Impact Assessment Peer Review for Township of Centre Wellington (Fergus), ON
- o Little Folks Heritage Impact Assessment Peer Review for Township of Centre Wellington (Elora), ON

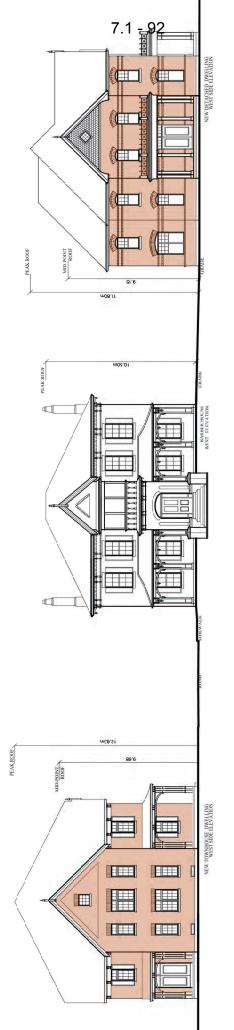
Expert Witness Experience

- o Oelbaum Ontario Municipal Board Hearing, Eramosa Township, ON, 1988
- o Roselawn Centre Conservation Review Board Hearing, Port Colborne, ON, 1993
- Halton Landfill, Joint Environmental Assessment Act and Environmental Protection Act Board Hearing, 1994
- OPA 129 Ontario Municipal Board Hearing, Richmond Hill, ON, 1996
- o Diamond Property Ontario Municipal Board Hearing, Aurora, ON, 1998
- Harbour View Investments Ontario Municipal Board Hearing, Town of Caledon, ON, 1998
- o Aurora South Landowners Ontario Municipal Board Hearing, Aurora, ON, 2000
- o Ballycroy Golf Course Ontario Municipal Board Hearing, Palgrave, ON, 2002
- o Doon Valley Golf Course Ontario Municipal Board Hearing, Cambridge, ON, 2002
- o Maple Grove Community Ontario Municipal Board Hearing, North York, ON, 2002
- Maryvale Crescent Ontario Municipal Board Hearing, Richmond Hill, ON, 2003
- o LaFarge Lands Ontario Municipal Board Mediation, Guelph, ON, 2007
- o 255 Geddes Street, Elora, ON, heritage opinion evidence Ontario Superior Court of Justice, 2010
- o Downey Trail Ontario Municipal Board Hearing, Guelph, ON, 2010
- Wilson Farmhouse Conservation Review Board Hearing, Guelph, ON, 2014
- 85 Victoria Street, Churchville Heritage Conservation District, Ontario Municipal Board Hearing, Brampton, ON, 2016







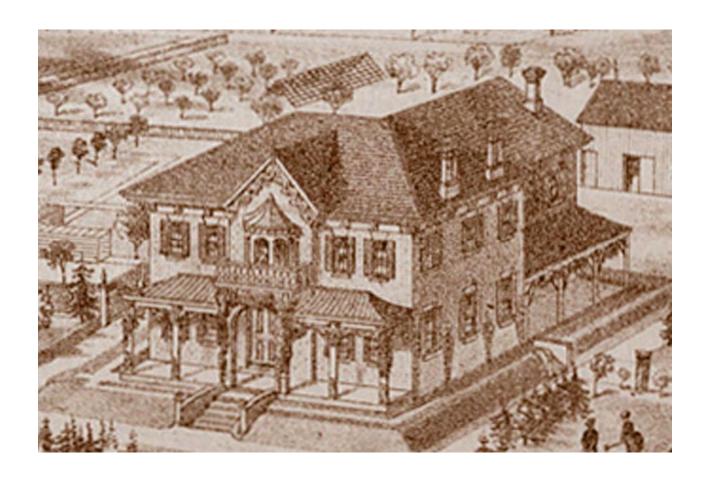


MISSISSAUGA ROAD STREETSCAPE

CITY PARK (STREETSVILLE) INC. PROPOSED RESIDENTIAL DEFELOPMENT 5158 MISSISSAUGA, ONT. LAM ZWO STATEM TO STATEM THE TOTAL TO STATEM TO STATEM THE TOTAL TO STATEM THE TOTAL TOT

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Heritage Conservation Management Plan William Barber House 5155 Mississauga Road, Mississauga



Heritage Conservation Management Plan William Barber House 5155 Mississauga Road, Mississauga

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Appendix C – Structural Report – Barber House, Tacoma Engineers

A residential development is proposed for the William Barber House property at 5155 Mississauga Road in Mississauga that includes the removal of later additions to the building and restoration of the exterior. Prepared by Owen R. Scott, CAHP of CHC Limited and John Beresford, OAA of Flanagan, Beresford, Patteson Architects Inc., with technical input from Tacoma Engineers Inc., this Heritage Conservation Management Plan is for the property which is designated under Part IV of the *Ontario Heritage Act* and is located in the Mississauga Scenic Road Cultural Landscape².

A Heritage Impact Assessment (HIA)³ was prepared for the property, following the *City of Mississauga Heritage Impact Assessment Terms of Reference* February 2016⁴ and the *Cultural Landscape Heritage Impact Assessment Terms of Reference* 2016⁵. The HIA recommended "A Conservation Plan should be prepared to guide the demolition of the additions and the exterior restoration of the original house" Requirements of the Heritage Conservation Management Plan terms of reference⁷ related to the description and significance of the property are found in the aforementioned HIA.

This Conservation Plan sets out a plan to manage, restore, protect, and preserve the heritage attributes and integrity of the cultural heritage resource.

1. Introduction

Executive summary of the scope of the project

The development proposal for this property is a residential development on the subject property that incorporates and showcases the original *c*. 1862 William Barber House. Single detached homes book-end the William Barber House, retaining its prominence on Mississauga Road; townhomes flank an internal street and Barbertown Road, beside and behind the Barber House in the proposal. New development is clad in an red brick, the colour of the Barber House brick under its white paint, complementing and contrasting at the same time the white-painted brick of the Barber House.

The proposal is to remove the *c*. 1960, 1984 and 2003 additions of the Barber House to restore its exterior to its former size and grandeur. The William Barber House is set in a garden and remains a dominant feature on the street.

Background information to document the historical and development history of the site

The May 2016 HIA (updated October 20, 2017) provides full documentation of the historical and development history of the site.

¹ City of Mississauga bylaw # 368-82

² Mississauga Road Scenic Route F-TC-4, *Cultural Landscape Inventory, City of Mississauga*, The Landplan Collaborative Ltd., January, 2005

³ Heritage Impact Assessment, William Barber House, 5155 Mississauga Road, (Part of Lot 1, Concession 4, West of Hurontario Street), Mississauga, CHC Limited May 16, 2016, updated 23 March 2017 & 20 October 2017

⁴ Culture Division, Community Services Department, City of Mississauga

⁵ Ibid

⁶ Heritage Impact Assessment, William Barber House, CHC Limited May 16, 2016

⁷City of Mississauga, Heritage Management Conservation Plan Terms of Reference, March 2013

Identification of the property owner and stakeholders, current and proposed use

The former property owner was The Old Barber House Restaurant Limited. The proposed development is by City Park (Streetsville) Inc. Current use is vacant. The property was a restaurant and banquet facility with most of the site not occupied by the building, a parking lot. The proposed use of the Barber House is a 4-unit residence. Single-family homes and townhomes are to occupy the former parking lot.

2. Project Description

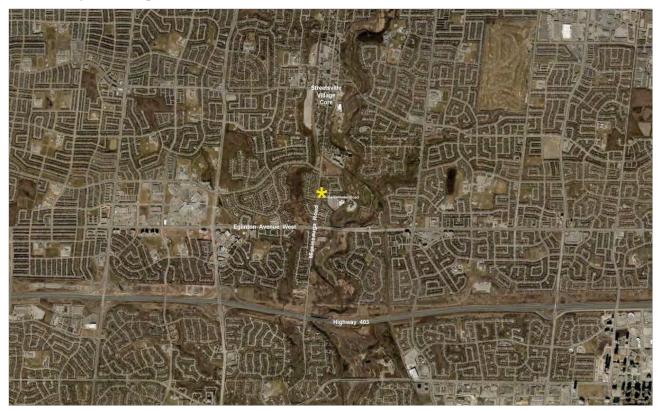


Figure 1 - Location Map

A) Property DescriptionMunicipal address - 5155 Mississauga Road

Documentation of the existing conditions

An extensive photographic record of the subject property is included in the HIA. The development application submission includes an arborist's report, landscape plan, servicing plan, planning report, *etc*. The HIA includes a summary of the history of the property outlining its development over time within a time frame context and documentation of land ownership from the original Crown Grant and subsequent records from the Land Registry Office. A time line, from 1828 to the present is shown in Figure 2.

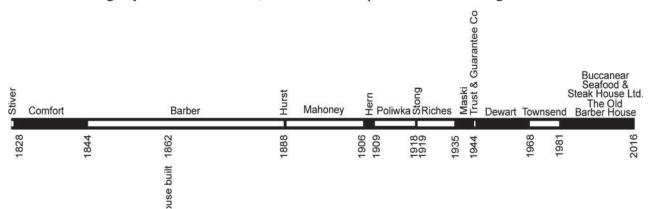
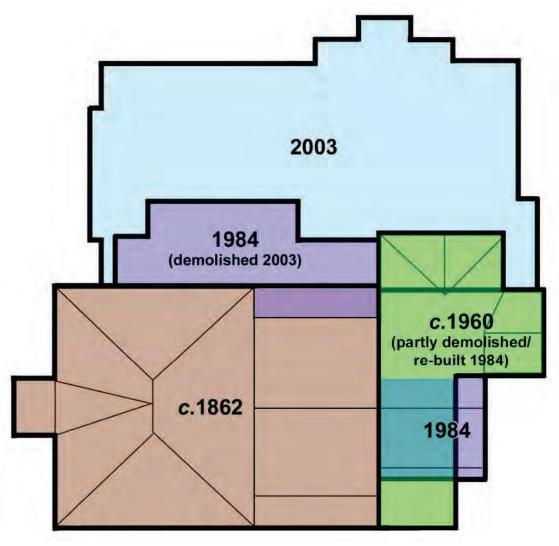


Figure 2 Time Line 1828 - 2016

The original main house, now a component of the former restaurant and banquet facility, is a clay brick, two-storey, hipped-roof building with a gabled-roof extension to the rear. The original red-orange brick has been painted white for at least 5 decades.

Numerous additions and alterations have been constructed over the years, the most recent and largest in scale being for the restaurant conversion in 1984 and an enlarged facility in 2003^8 . A greenhouse, built c. 1960 once occupied the rear of the building. Additions have been demolished and/or re-built in 1984 and 2003. Renovations and restorative works to the original house interior have been generally well done, and to the untrained eye, appear to be mainly original with few exceptions, such as glazing, etc. Figure 3 illustrates the additions and demolitions that have occurred since c. 1862.

Figure 3 William Barber House construction dates - building outline from: *Proposed Site Plan, Old Barber House Ltd., Michael Spaziani Architect Inc.*, August 28, 2003



⁸City of Mississauga webpage http://www.mississauga.ca/portal/services/property 'Property Building Permits'

As-built drawings are included in appendix A to this Plan

B) Significance

The Part IV amended designation by-law provides a statement of cultural heritage value or interest and identifies the cultural heritage attributes and values of the property structures and landscape features. The description is included in the HIA.

C) Planning and Policy Status

The subject property has a total site area of 0.698 hectares (1.725 acres). It currently contains the William Barber House, a two-storey historic dwelling designated under Part IV of the *Ontario Heritage Act*, with an attached banquet facility that currently operated as a restaurant. The House is surrounded by a surface parking area.

The City of Mississauga *Official Plan* designates the subject property as "Mixed Use" and within the Central Erin Mills Neighbourhood Character Area. The subject lands are currently zoned "C3-12" in Zoning By-law 0225-2007 which permits only a restaurant and an outdoor garden accessory to a retail store.

3. Project Objectives

To be achieved by this project

To afford a development opportunity and restoration of the *circa* 1862 William Barber House, the removal of 2003 and earlier additions to the William Barber House, in concert with the restoration of the facades is proposed, achieving a sensitive infill project that is complementary to the historic property.

Goals and objectives

The objective is to restore and re-purpose the former restaurant and banquet facility as a residence, its original use, and to redevelop the restaurant's surrounding asphalt parking lot for single family and town homes.

Proposed solutions for conservation of the property's heritage attributes

The property's heritage attributes are listed in the 2017 amended designation by-law and in the HIA. They are:

Design/Physical Value:

- the scale and massing of the two-storey main building, including east wing;
- the running bond load bearing brick walls;
- the stone foundations;
- the raised ground floor;
- the hipped roof of the villa, and gabled roof of the east wing, both clad in shingles;
- the paired internally bracketed chimneys;
- the symmetrical division of the south and west elevations into 3 and 5 bays, respectively;
- the central projecting-portico on the west elevation;
- the elliptical arch openings at the central portico;
- the original masonry window and door openings and their flat brick arches;
- the interior and exterior front doors, transom and sidelights;
- the upstairs door to umbrage and balcony;
- the six-over-six configuration of the windows: the remaining original wood frames, brick moulds and wood lugsills;
- the eaves, cornice and fascia, with paired brackets and dentils;

- the gable end on the west elevation, with cornice, profiled finial and dropped post, and triangular scalloped-edge brick inset;
- the verandas with tented roofs resting on thin paired posts, between which span elliptical arches with drop pendants and fretwork;
- the secondary outbuilding to the north of the villa, including: the pointed arch windows in the gable ends, and the running bond brick walls;

Contextual Value:

- the villa's prominent set-back from Mississauga and Barbertown Roads;
- views of the building from Mississauga Road and from the corner of the lot at Mississauga Road and Barbertown Road, from the public realm (the sidewalk and road)

These heritage attributes, for the most part, are intact and in relatively good condition. The exception is the brick which has been painted for many years and is showing signs of spalling in some places. Where this has occurred, the brick will be carefully cleaned of flaking paint and re-painted, or replaced and painted. It is unlikely that the paint could be removed from the entire house without damaging the soft orange-red brick underneath (see Appendix 3). The original house exterior is to be restored, retaining all its character-defining elements, replacing later non-heritage elements such as the faux shutters with replications of the originals which are no longer extant, restoring the open porches, replacing the *circa* 1984 replacement windows with replica windows, and restoring windows to the now blank 2nd storey rear wall.

Conservation policies to be used in this project

The conservation principles to be employed in this project are found in: Parks Canada – *Standards and Guidelines for the Conservation of Historic Places in Canada*; and Ontario Ministry of Tourism, Culture and Sport's *Eight Guiding Principles in the Conservation of Built Heritage Properties* and in the City of Mississauga's *Official Plan*.

Parks Canada – Standards and Guidelines for the Conservation of Historic Places in Canada: ⁹ General Standards (all projects)

1 Conserve the heritage value of a historic place. Do not remove, replace, or substantially alter its intact or repairable character-defining elements. Do not move a part of a historic place if its current location is a character-defining element.

None of the structure's character-defining elements (heritage attributes) is to be removed, replaced or altered with the exception of the conversion of 2 window openings to doors to meet OBC requirements. The original house is to be restored, retaining all its character-defining elements, replacing later non-heritage elements. The later additions, built to convert the house to a restaurant, are to be removed, restoring the house to its original configuration.

2 Conserve changes to a historic place which, over time, have become character-defining elements in their own right.

Later additions have not become character-defining elements and detract from the heritage attributes of the original house. They are to be removed.

3 Conserve heritage value by adopting an approach calling for minimal intervention. Intervention to be employed on the original part of the house is limited to restoring original character-defining elements.

⁹Parks Canada website www.parkscanada.gc.ca

4 Recognize each historic place as a physical record of its time, place and use. Do not create a false sense of historical development by adding elements from other historic places or other properties or by combining features of the same property that never coexisted.

Not applicable

- 5 Find a use for a historic place that requires minimal or no change to its character-defining elements. Minimal change to the character-defining elements is proposed. The house is to be restored to its original use as a residence.
- 6 Protect and, if necessary, stabilize a historic place until any subsequent intervention is under-taken. Protect and preserve archaeological resources in place. Where there is potential for disturbance of archaeological resources, take mitigation measures to limit damage and loss of information.

Not applicable, the building is being well-maintained.

7 Evaluate the existing condition of character-defining elements to determine the appropriate intervention needed. Use the gentlest means possible for any intervention. Respect heritage value when undertaking an intervention.

No extant character-defining elements are to be affected. Two window openings which contain 1984 replacement windows will be changed to doors to meet OBC requirements. Original materials on the house will be retained and restored where necessary.

8 Maintain character-defining elements on an ongoing basis. Repair character-defining elements by reinforcing their materials using recognized conservation methods. Replace in kind any extensively deteriorated or missing parts of character-defining elements, where there are surviving prototypes.

Missing shutters and windows will be replaced to match the originals based on patterns taken from other elements on the house.

9 Make any intervention needed to preserve character-defining elements physically and visually compatible with the historic place, and identifiable upon close inspection. Document any intervention for future reference.

See point 7 above.

Eight Guiding Principles in the Conservation of Built Heritage Properties¹⁰

1. RESPECT FOR DOCUMENTARY EVIDENCE:

Do not base restoration on conjecture. Conservation work should be based on historic documentation such as historic photographs, drawings and physical evidence.

Conjecture is not needed. Evidence is clear.

2. RESPECT FOR THE ORIGINAL LOCATION:

Do not move buildings unless there is no other means to save them. Site is an integral component of a building or structure. Change in site diminishes cultural heritage value considerably.

¹⁰Ontario Ministry of Culture website

Building remains on its original site in its original orientation.

3. RESPECT FOR HISTORIC MATERIAL:

Repair/conserve - rather than replace building materials and finishes, except where absolutely necessary. Minimal intervention maintains the heritage content of the built resource.

Replacements are not necessary except for missing elements.

4. RESPECT FOR ORIGINAL FABRIC:

Repair with like materials. Repair to return the resource to its prior condition, without altering its integrity.

Not applicable

5. RESPECT FOR THE BUILDING'S HISTORY:

Do not restore to one period at the expense of another period. Do not destroy later additions to a building or structure solely to restore to a single time period.

Later *c*. 1960s, 1984 and 2003 additions to a *c*. 1862 building do not complement the original building. Restoration to a single time period is not the intention.

6. REVERSIBILITY:

Alterations should be able to be returned to original conditions. This conserves earlier building design and technique. e.g. When a new door opening is put into a stone wall, the original stones are numbered, removed and stored, allowing for future restoration.

Not applicable

7. *LEGIBILITY*:

New work should be distinguishable from old. Buildings or structures should be recognized as products of their own time, and new additions should not blur the distinction between old and new

Not applicable

8. MAINTENANCE:

With continuous care, future restoration will not be necessary. With regular upkeep, major conservation projects and their high costs can be avoided.

Pertinent cultural heritage policies of the City of Mississauga's *Official Plan* (October 14, 2015), <u>7</u> - Complete Communities section include:

7.4.1.2 Mississauga will discourage the demolition, destruction or inappropriate alteration or reuse of cultural heritage resources.

"Demolition" in this case, is the removal of later additions that are not part of the designation, not character-defining elements, and detract from the heritage attributes of the original house; this is considered appropriate.

7.4.1. Mississauga will require development to maintain locations and settings for cultural heritage resources that are compatible with and enhance the character of the cultural heritage resource.

The residential proposal setting for the Barber House is compatible with its character.

7.4.1.10 Applications for development involving cultural heritage resources will be required to include a Heritage Impact Assessment prepared to the satisfaction of the City and other appropriate authorities having jurisdiction.

An HIA has been prepared.

7.4.1.1 Cultural heritage resources designated under the Ontario Heritage Act, will be required to preserve the heritage attributes and not detract or destroy any of the heritage attributes in keeping with the Ontario Heritage Tool Kit, the Ontario Ministry of Culture, and the Standards and Guidelines for the Conservation of Historic Places in Canada, Parks Canada.

The heritage attributes of the William Barber House are to be conserved and protected in keeping with the standards and guidelines.

7.4.1.13 Cultural heritage resources must be maintained in situ and in a manner that prevents deterioration and protects the heritage qualities of the resource.

The building is being maintained on its original lot in its original orientation.

7.4.1.14 Cultural heritage resources will be integrated with development proposals.

The resource is well-integrated with the development proposal.

7.4.2.2 Prior to the demolition or alteration of a cultural heritage resource, documentation will be required of the property to the satisfaction of the City, and any appropriate advisory committee. This documentation may be in the form of a Heritage Impact Assessment.

An HIA has been prepared.

7.4.2.3 Development adjacent to a cultural heritage property will be encouraged to be compatible with the cultural heritage property.

The adjacent, proposed, residential development is compatible in land use, scale, massing and character.

4. Statement of Heritage Intent

The intent of this project from a heritage perspective, is to restore the exterior of the William Barber House to its *circa* 1862 exterior appearance as much as is possible and to restore its use to a residence. Conservation treatments that retain original fabric will be employed except where original features are no longer extant. Where original features such as windows and shutters are missing, these will be replicated from on-site and photographic evidence.

Why one period of restoration over another was selected

The later additions, built to convert the house to a restaurant in 1984 and 2003, and to replace additions built *circa* 1960 (see Figure 3), are to be removed, restoring the house to its original *circa* 1862 configuration. These later additions, which are the only major alterations made to the exterior in its 150 year history, have not become character-defining elements and detract from the heritage attributes of the original house.

Rationale for new interventions

The only new interventions planned are for the non-designated interior which is to be converted to 4 luxury residential condominium units. In 1984, while the building was vacant, it was vandalized, and a fire was set in the interior. The 8 original fireplaces mantles were stolen. The main staircase was vandalized and much of the original woodwork was burned¹¹. In the City's 1981 Heritage Structure Report, the original marble fireplaces were extant. The current owner replaced the fire damaged woodwork, fireplaces and staircase with new in 1984. Wainscoting in the parlours is a recent addition. Most of the windows have been replaced. Some plaster mouldings remain, as do the large pocket doors between the north parlours.

5. Condition Assessment of the Cultural Heritage Resource(s)

The Tacoma Engineers Structural Report, September 21, 2106 (Appendix 3) identifies the Barber House to be generally sound with the need for minor remedial work to the floor system. The Structural Report makes recommendations regarding the restoration of the existing coated brick which includes potential removal of the coatings and rehabilitation of the underlying brick including re-pointing, masonry repair, masonry replacement and probably re-coating with a modern paint. The Report also acknowledges that it is possible that removal of the existing coatings may be so detrimental to the underlying masonry that it may not be feasible. In this case, the alternative for restoration would be scraping of loose material, repair to damaged brick, re-pointing and replacements where necessary, and application of a new exterior coating.

The structural report recommends that the course of action that results in the lowest likelihood of imparting further damage to the brick is to re-coat the brick. While this may not restore the brick to its original condition, it will serve to extend the life of the masonry, albeit with a higher degree of active maintenance in the coming years.

The building has been assessed as basically structurally sound. The restoration of the exterior (more fully described under Section 7 Work Plan) with the removal of 2003 and earlier additions in concert with the restoration of the elevations will conserve the heritage attributes of the building.

The proposed change of use back to residential as a POTL (parcel of tied land) of a common element condominium will ensure long term sustainability of the designated building.

6. Building System and Legal Considerations

The proposed building and site use from a practical perspective has been addressed in previous sections of this Report. The logistical and legal aspect of re-purposing the Barber House and converting it from a restaurant to four dwellings within the footprint of the original house is explained as follows:

The four new dwellings (Appendix B) will be part of a Common Element Condominium. With these four dwellings the Condominium will include townhouses, single family homes and the common elements being the road, parking spaces and open space as shown on Figure 4. The tenure for each of the units in the Condominium is freehold. From a legal description they will be 4 Parcels of Tied Land (POTLs) into the Common element Condominium. Individually each POTL will be described as Part of Block 4 of Plan 43M XXXX. (XXXX to be determined). From a Zoning perspective they will be described under a site specific zoning bylaw which allows them to fall under the RM6 (CEC) zone as Back to Back Townhouses. They will be subject to their own definition and these four POTLs will have separate zoning standards in the bylaw. The "Development" consists of two distinct construction projects. The first is the restoration of the facade of the house which includes the removal of all pre 2003 additions. The second construction

¹¹pers. com. Victor Petrovski, March 23, 2016

project is the renovation and conversion of the interior of the building to four back to back townhouses.

The restoration of the facade is the subject of Section 7 Work Plan. The renovation of the interior of the building will be accomplished through normal renovation practices. All interior wall and ceiling finishes including all trim will be removed. All existing plumbing, electrical HVAC equipment, restaurant related equipment and air handling equipment in the roof space will be removed in its entirety. Remedial work will be done to existing floor joists showing signs of dry rot. The interior ground and second floor will be divided with new fire rated walls into four dwelling units and vertical connections within each unit will be installed. New interior partitions within each unit will delineate rooms (Appendix B). Exterior walls and second floor ceilings will be insulated to current OBC requirements after testing the brick for porosity and employing the wall assembly most commonly used as recommended in the Tacoma Engineering Report. New individual electrical, water, waste and gas connections will be installed for each of the units. Each unit will be fitted with individual HVAC equipment and fitted with a sprinkler system for fire safety. Each unit will be registered with TARION. Finally the exterior space associated with each unit will be landscaped per the approved landscape plan for the Condominium.

The secondary building will be moved on-site and intact by a qualified building moving contractor and set on a new concrete pad in the location shown on the Site Plan (Figure 4). The masonry, woodwork, door and windows will be treated with the same techniques, materials and methods as the main house.

The building will be re-purposed as a bicycle storage structure.



Figure 4 – Site Plan, Flanagan Beresford Patteson

7. Work Plan

The first task of the Work Plan for the restoration of the exterior facade of the Barber House will be to determine the best alternative for masonry restoration. Under the guidance of Tacoma Engineering and FBP Architects testing of the brick for porosity will be performed in order to recommend the final material (paint) to be used for re coating.

Once the method of masonry restoration has been agreed upon, all of the pre-2003 additions to the Barber House are to be demolished and removed from the site under the periodic review of Tacoma Engineering and FBP Architects. All exposed openings resulting from demolition are to be temporarily weather protected and temporary support is to be provided as needed, particularly on the east facade of the tail of the building. 24 hour security monitoring will be provided during demolition and until all openings in the building can be secured.

All existing landscaping, ponds, flower beds and other landscaping surrounding the building are to be removed to allow for the installation of scaffolding as necessary during brick restoration (Appendix B).

Prior to the restoration of the brick all existing openings in the east wall of the tail of the original 1862 house are to be filled in with brick and mortar to match the existing brick. Existing covered-up window openings are to be re-established on the north elevation and on the east elevation of the tail of the 1862 building. The existing recent closed-in porch addition on the south elevation of the tail is to be removed.

Prior to restoration of the brick all existing windows and shutters on all elevations are to be removed. Exposed openings are to be made temporarily weather tight. All existing wood surfaces (wood sills, trim, soffit, dentils etc.) are to be protected.

The agreed-upon method of brick restoration is to be implemented under the periodic review of Tacoma Engineering and FBP Architects.

Once the Brick restoration has been completed the windows in the main building and tail of the 1862 house are to be replaced. Replacement windows for the main building are to have a painted wood frame, be double glazed with simulated divided lights with interior and exterior surface mounted muntins. They are to be double-hung, divided 6 over 6 and sized to fit the existing openings. Replacement and new windows for the tail of the 1862 house are also to have a painted wood frame, be double-glazed with simulated divided lights with exterior and interior surface mounted muntins. They are to be double hung, divided 4 over 4 and sized to fit the former openings. (See north, south, east and west elevation drawings Appendix B for location of replacement and new windows.)

Existing wood sills are to be repaired or replaced where necessary. New wood sills will be provided for new windows in the tail of the building. New wood shutters for the 24 windows on the main building of the original 1862 house are to be provided and installed. New shutters are to be proportioned to appear that they could cover the windows if they were operable. A new ground floor porch floor and roof on the north and south facade of the tail of the 1862 building will be constructed. Porch columns, pickets decorative arches and detail are to match the existing front porch. All of these ornamental details will be duplicated by a skilled finish carpenter. Replication input and review is to be performed by FBP Architects.

All existing exterior porch, soffit and wood detail is to be repaired or replaced as necessary. All replacement pieces are to match existing.

Existing aluminum gutters and downspouts are to be removed and replaced with 5" copper gutters and downspouts.

Long term repair and maintenance of the exterior of the restored building will be the responsibility of the future owners of the building.

8. Qualifications

This Heritage Conservation Management Plan has been prepared by an accredited, qualified multidiscipline team of professionals with demonstrated experience in the field of heritage conservation.

Owen R. Scott BSA, MLA, OALA, FCSLA, CAHP commenced his professional career as a landscape architect with Project Planning Associates Ltd. where he enjoyed the privilege of being involved with master plans for Wasaga Beach Provincial Park, the Canadian National Exhibition, the University of Guelph, a national parkway for the Kingdom of Kuwait, Expo '67 in Montreal, and many other projects. In 1969 he was appointed Assistant Professor in the School of Landscape Architecture at the University of Guelph where he taught for thirteen years, being promoted to Associate Professor. President of The Landplan Collaborative Ltd. from 1977 to 2015, he is an experienced landscape architect specializing in heritage conservation. He oversaw his firm's preparation of the Downtown Guelph Improvement Manual and produced both a plan for the public and private realms and a streetscape manual for downtown Guelph. He directed the preparation of the heritage and urban design policies and regulations for Guelph's Official Plan and Comprehensive Zoning By-law in 1995. He authored the Grand River Corridor Conservation Plan, developed the Wanuskewin Heritage Park Master Plan in Saskatoon, designed the Sussex Drive portion of Ottawa's Confederation Boulevard, designed landscapes for Langdon Hall in Cambridge and Woodside National Historic Site in Kitchener, and completed master plans for Rockway Gardens in Kitchener and the Elam Martin Farmstead in Waterloo. He was responsible for the master planning of Doon Heritage Crossroads and much of the landscape and site planning. He prepared a master plan for Black Creek Pioneer Village in Toronto. With CHC Limited, a firm he and his late father founded in 1965, Owen Scott has prepared more than seventy Cultural Heritage Impact Assessments, Reports and Conservation Plans for historic bridges, golf courses, parks, cemeteries, hospitals, homes, railway stations, commercial properties, university buildings, heritage districts and cultural landscapes in Ontario and Saskatchewan.

John Beresford, B. Arch., OAA, MRAIC is a Principal and founder of Flanagan Beresford Patteson Architects of Woodbridge, ON. He is a 1972 graduate of the University of Waterloo's Environmental Studies program with a 1974 Bachelor of Architecture degree from the same institution. He was awarded the Architectural Guild Medal for Architectural Design by the Ontario Association of Architects, has served as a member of the OAA Council, as a member of the Discipline Committee and as Chair of the Complaints Committee. Flanagan Beresford Patteson was established in 1979 and currently consists of 14 professional and technical staff. They specialize in providing architectural design services for custom residential projects including new residences, additions, renovations, and adaptive re-uses. John Beresford has 40 years of experience in Canada, Britain and the Caribbean. His innovative solutions resolving complex urban infill issues include numerous projects within Heritage Conservation Districts and Cultural Heritage Landscapes.

Jerry Zegerius, BA.Sc., P.Eng., CAHP is a Structural Engineer and Associate with Tacoma Engineers of Guelph, ON. He is a long-term member of the Tacoma Engineers heritage and investigation team, and he has been involved in the assessment, analysis, and restoration of dozens of prominent heritage structures, including a number of National Historic Sites and other designated structures.

9. Additional Information

• Documentation resources:

City of Mississauga, Heritage Management Conservation Plan Terms of Reference, March 2013

City of Mississauga bylaw # 368-82, William Barber House

City of Mississauga heritage files - http://www.mississauga.ca/portal/services/property

City of Mississauga maps - http://www.mississauga.ca/portal/services/maps

City of Mississauga Heritage Mississauga website - http://www.heritagemississauga.com/history.htm

Flanagan, Beresford & Patteson Architects, building plans

Tacoma Engineers, Structural Report – Barber House

Heritage Mississauga web page http://heritagemississauga.com/page/Barberton,

Landplan Collaborative Ltd. (The) Cultural Landscape Inventory, City of Mississauga,, January, 2005

Memorandum, *Heritage Structure Report, William Barber House*. to Local Architectural Conservation Advisory Committee; from L. F. Love, Commissioner, Recreation and Parks Dept. City of Mississauga, August 31st, 1981

Michael Spaziani Architect Inc., Proposed Site Plan, Old Barber House Ltd., August 28, 2003

Ontario Ministry of Tourism, Culture and Sport website

http://www.mtc.gov.on.ca/en/publications/InfoSheet 8%20Guiding Principles.pdf

Mississauga Library System Historic Images Gallery

http://www.mississauga.ca/portal/residents/cooksvillegallery

Parks Canada website www.parkscanada.gc.ca

Province of Ontario Ontario Heritage Act, R.S.O. 1990, c. O.18

Province of Ontario *Provincial Policy Statement (PPS, 2014)* Cultural Heritage and Archaeology Policies 2.6

Province of Ontario InfoSheet #5, Heritage Impact Assessments and Conservation Plans, Winter 2006

• List of consultants and other professionals related to the project

Diane Harman (title consultant)

Aird & Berlis (legal)

Parente, Borean (legal

John Zipay (planning)

Glen Schnarr & Associates Inc. (planning)

Archeoworks Inc. (archaeology)

MSLA Landscape Architects

Bruce A. Brown Associates Limited (environmental and applied earth sciences)

Skira & Associates Ltd., (site engineering)

HGC Engineering Limited (acoustical engineering)

Cole Engineering (transportation planning)

Rady-Pentek & Edward Surveying Ltd.

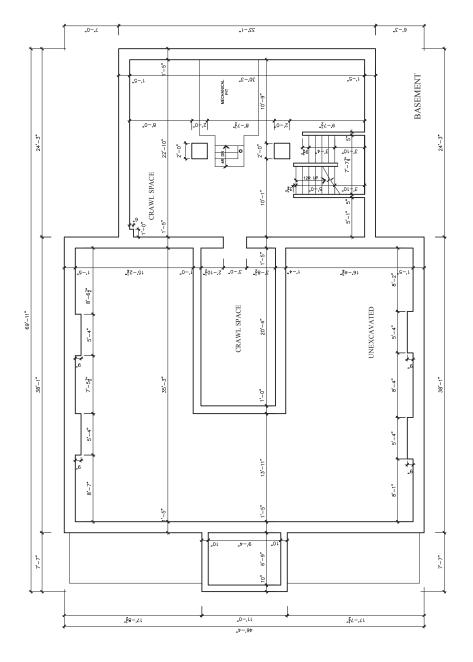
APPENDIX A – As-built drawings

Existing conditions July 8, 2016



MARCH 8 2017

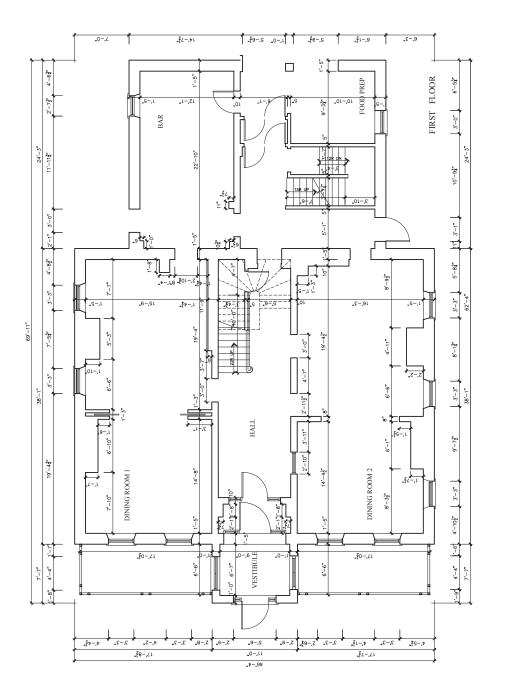
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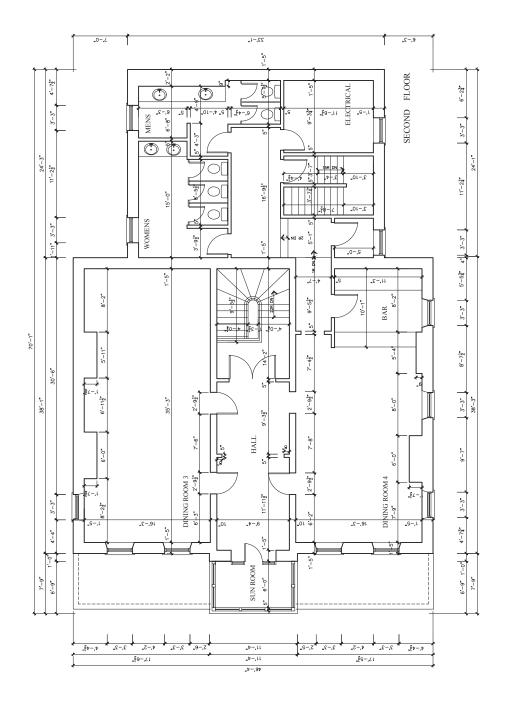
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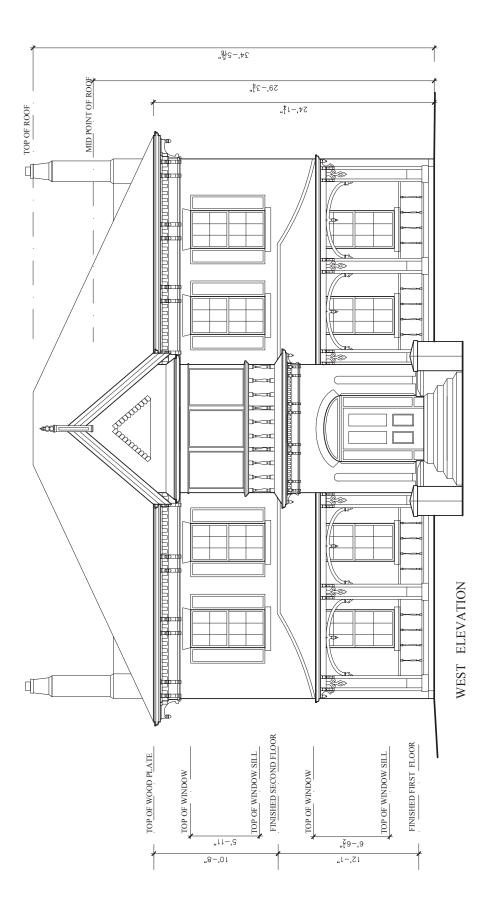


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OLD BARBER HOUSE

AS BUILT DRAWINGS

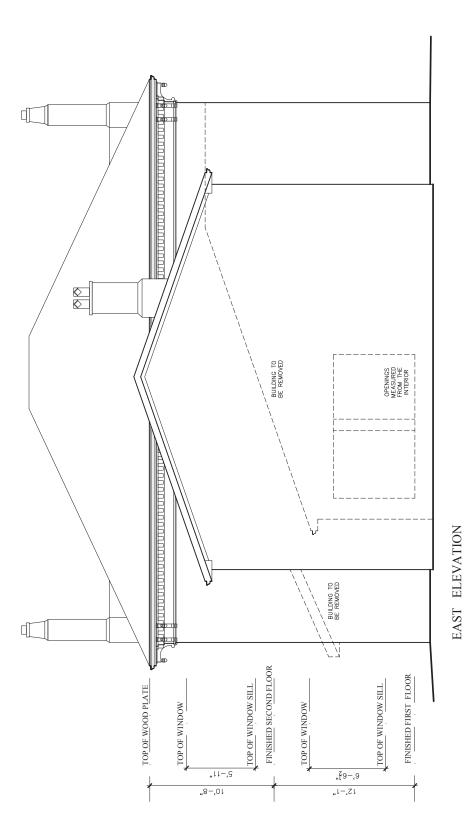
MARCH 8 2017 1/8"=1'0" 15-1276



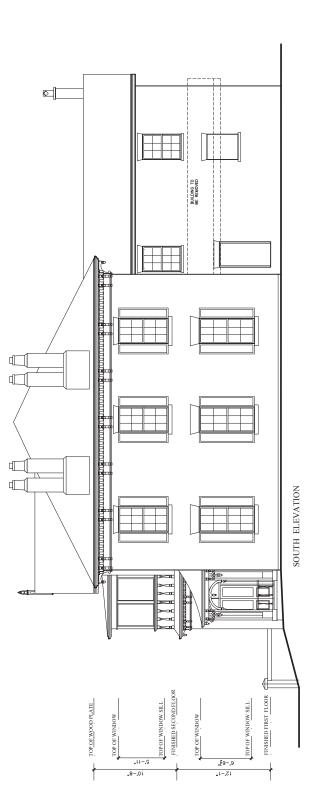
OLD BARBER HOUSE
ASBUILTDRAWINGS

MARCH 8 2017

1/8"=1'0"





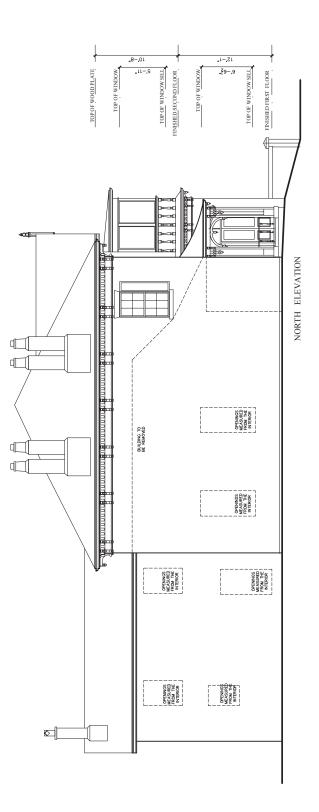


OLD BARBER HOUSE ASBUILTDRAWINGS

MARCH 8 2017

1/8"=1'0"



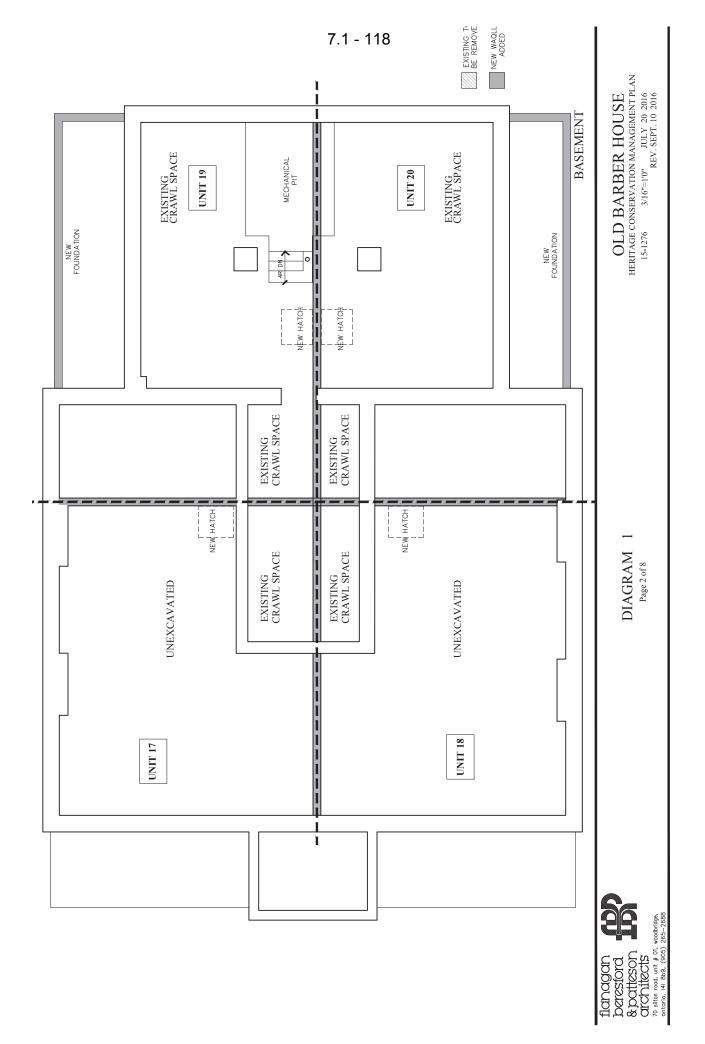


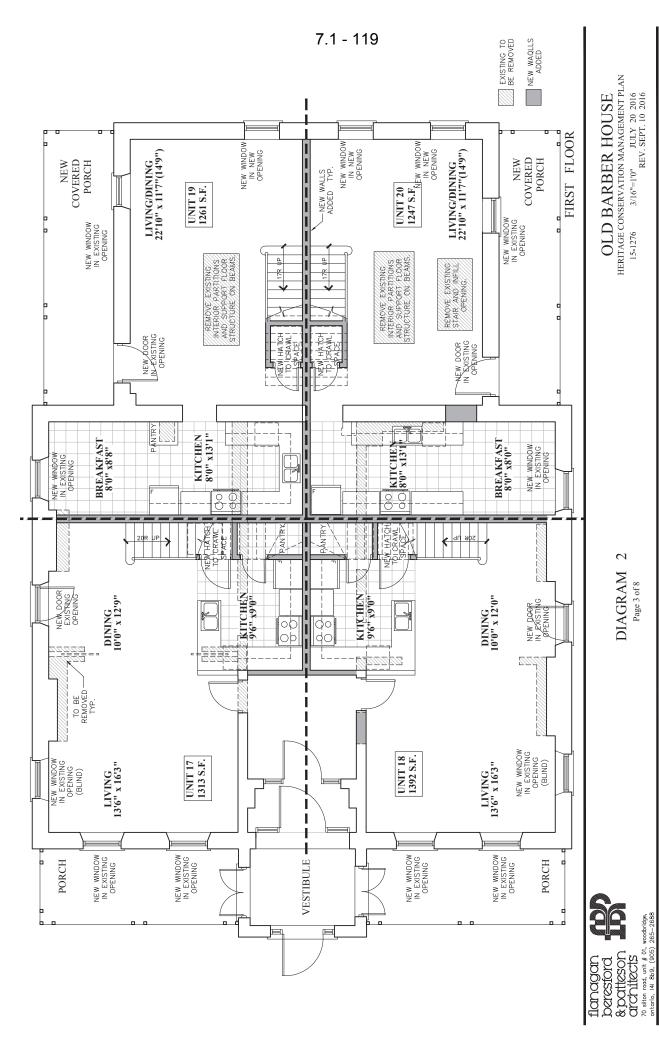
OLD BARBER HOUSE

MARCH 8 2017 AS BUILT DRAWINGS 1/8"=1'0" 15-1276



Appendix B – Proposed residential units





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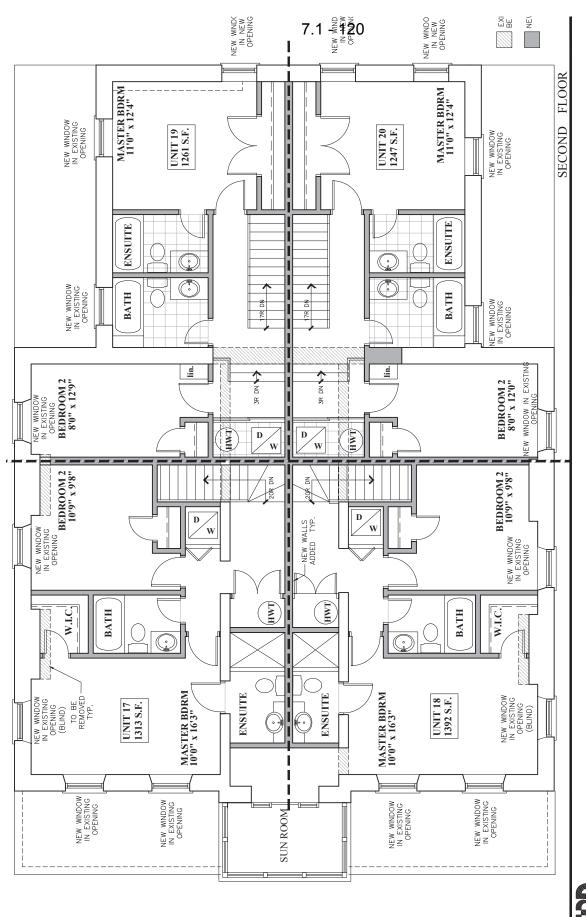
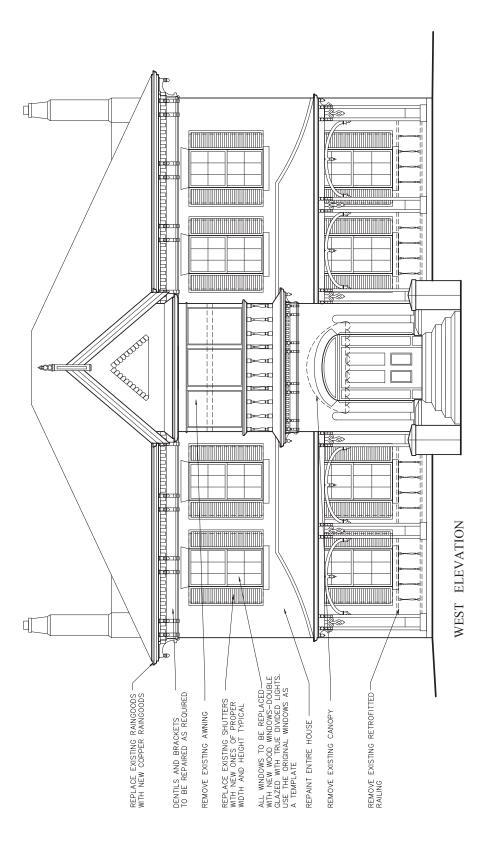


DIAGRAM 3
Page 4 of 8

OLD BARBER HOUSE
HERITAGE CONSERVATION MANAGEMENT PLAN
15-1276 3/16"=10" JULY 20 2016
REV. SEPT. 10 2016

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70 silon road, unit # 01 woodbridge,
ontario, 141 809, (905) 265–2688

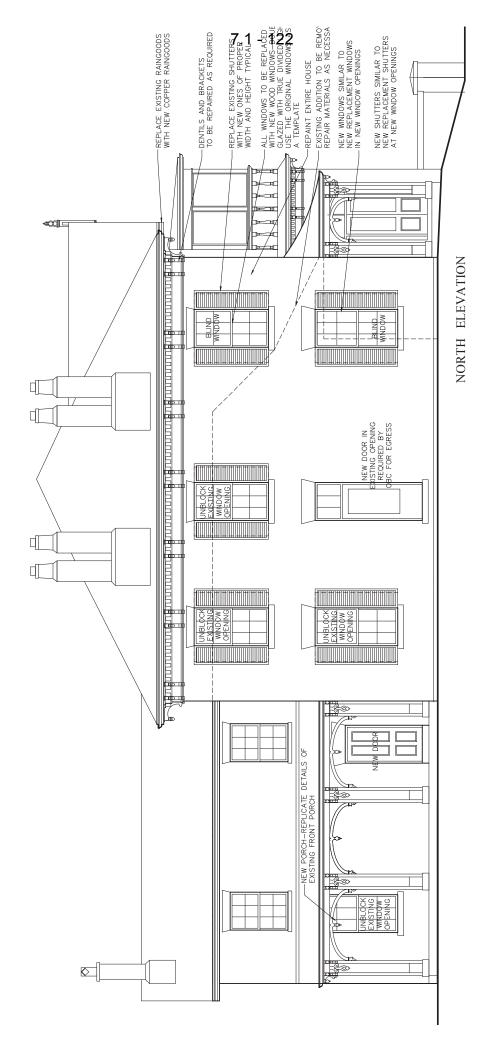
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OLD BARBER HOUSE
HERITAGE CONSERVATION MANAGEMENT PLAN
15-1276 3/16"=10" JULY 20 2016
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DIAGRAM 4 Page 5 of 8



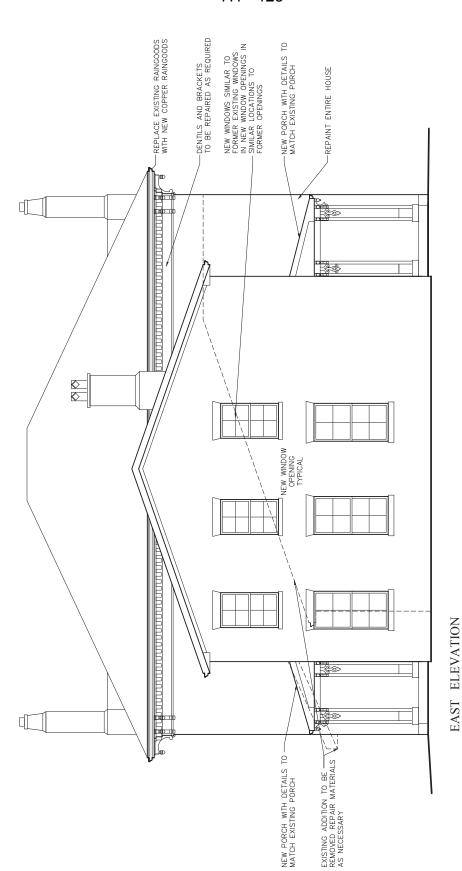




HERITAGE CONSERVATION MANAGEMENT PLAN 15-1276 3/16"=10" JULY 20 2016 REV. SEPT. 10 2016 OLD BARBER HOUSE

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OLD BARBER HOUSE
HERITAGE CONSERVATION MANAGEMENT PLAN
15-1276 3/16"=10" JULY 20 2016
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DIAGRAM 6
Page 7 of 8



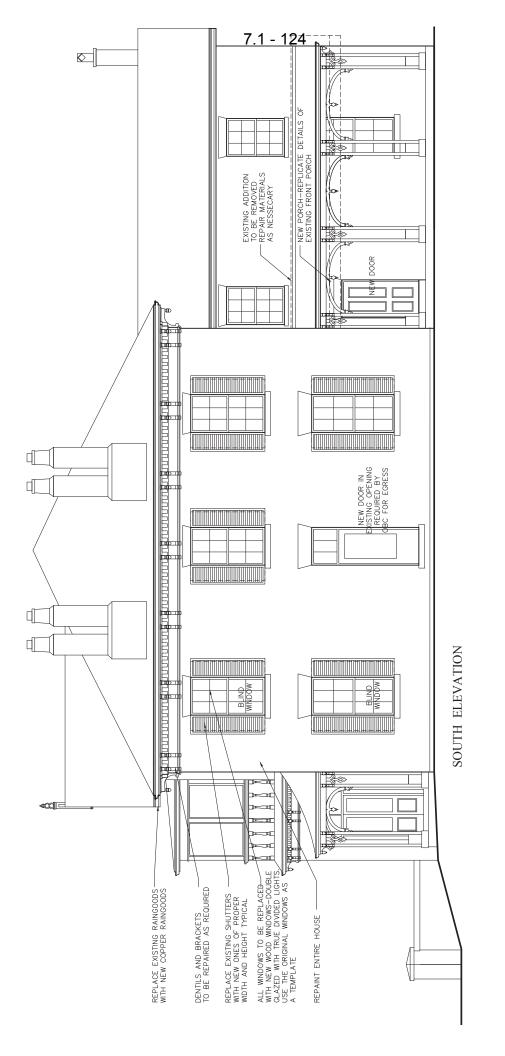


DIAGRAM 7 Page 8 of 8

HERITAGE CONSERVATION MANAGEMENT PLAN 15-1276 3/16"=10" JULY 20 2016 REV. SEPT. 10 2016 OLD BARBER HOUSE

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Appendix C – Structural Report



STRUCTURAL REPORT Barber House REV.1

Date: March 21, 2016 No. of Pages: 9 + Encl.

Project: Project No.: TE-28594-16 Barber House

Address: 5155 Mississauga Road, Mississauga Permit No.:

Client: City Park (Streetsville) Inc.

Dist.: Owen Scott CHC Limited oscott87@rogers.com

johnb@fbparch.com John Beresford Flanagan Beresford & Patteson

Background

Tacoma Engineers has been retained by City Park (Streetsville) Inc. to carry out a review of the existing conditions at the Barber House located at 5155 Mississauga Road in Mississauga, Ontario.

The scope of this report includes:

≠ a general assessment of the existing conditions;

≠ a specific review of the existing brick and associated coatings; and

≠ general recommendations regarding the restoration of the existing brick, as well as recommendations for potential methods of insulation.

A site review was completed on the morning of September 19th, 2016, accompanied by Owen Scott and John Beresford

Note that no destructive investigations were completed as part of this review. The findings of this report are based on a visual review only; many parts of the structure were not visible for review due to the installation of finishes that were not removed. Structural items that appear to be performing adequately are assumed to have been designed and constructed in conformance with the building codes and best building practices in place at the time of construction. No building code analysis was completed as part of this review.

Building Conditions

The interior and exterior of the building were available for review, including the crawl-space basement and a limited attic access port.

Primary structure

A review of the interior found very few signs of deterioration or deflection that would normally be indicators of structural deficiencies. Isolated areas of the main and second floors appear to be out of level, but not to the degree that would lead one to suspect significant structural problems. A crack between drywall sheets was noted on the ceiling of the northern second floor dining room; however, this is not considered a sign of a major structural problem.



Limited areas of the main floor framing appear to have sustained some deterioration, likely due to moisture exposure.

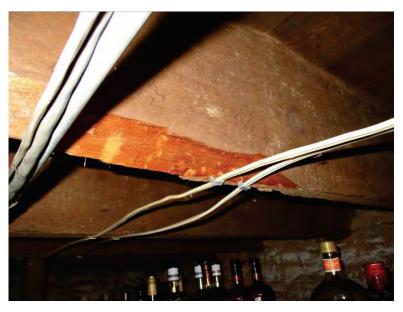


Figure 1: Deteriorated floor framing

The floor joist shown in Figure 1 can be found below the central hallway. It is estimated that between 5 and 10 of these joists will require some form of remedial work. The majority of the basement ceiling has been fire-rated and as such the framing was not visible at the time of the review. A more comprehensive review of the floor framing should be carried out during any proposed renovation design work.

Exterior masonry

Based on a visual review of the exterior of the building, it is reasonable to assume that the exterior masonry walls are constructed as multi-wythe masonry. Lock coursing was visible in several locations on the rear (east) and side elevations. The front (west) elevation did not show evidence of regular lock coursing; however, it is possible that this coursing was hidden on the front elevation for aesthetic reasons. The vintage and construction style of the building lead one to assume that the interior structure is constructed with wood framing supported on multi-wythe brick walls.

The brick has been coated with at least two (2) different coatings. Remnants of a third coating were visible, and it is possible that this lowest layer is a composite of a repeated lime wash, known to have been applied to other buildings of a similar vintage and construction.



Figure 2: Exterior coatings

The outermost coating is very thick and has flaked off in many locations, most notably at interior corners or other locations more prone to moisture accumulation. The coatings exposed below are in varying states of decay, and have deteriorated to a form of powder, possible lime, in some locations. Where exposed below the coatings, the brick was found to be extremely soft.



Figure 3: Soft brick exposed below coatings

It was possible to scrape a depression of up to $\frac{3}{4}$ " deep into the brick with a screwdriver and moderate pressure.

Coatings at or near grade are showing signs of more advanced deterioration, particularly where the wall is sheltered by gardens.



Figure 4: Deteriorated coatings near grade

Advanced deterioration of the coatings and the underlying brick was noted on the south side of the entry canopy.



Figure 5: Deterioration on south side of entry canopy

It appears that the concentration of run-off from the canopy has resulted in saturation of the brick at this location, and the loss of coatings has lead to advanced deterioration of the brick.



Figure 6a, 6b: Damage to masonry at south side of entry canopy

A step crack was noted on the front elevation below the second storey north window. The presence of the coatings precludes comment on the extent or width of the crack.



Figure 7: Step cracking below second storey window

Masonry Restoration

The coatings currently in place on the exterior of the building have compromised the ability of the brick to dry to the exterior, and are likely to increase the risk of freeze-thaw damage. There are several options available to clean and restore the masonry.

Chemical Removals

There are several products available that have a proven capacity to remove paint from masonry surfaces. A solvent is applied to the outside of the brick, and a laminated paper laid over top of the solvent in order to limit evaporation. After a relatively short period of time the paper is peeled off, removing the coating.

Note that these products do not work with the same level of effectiveness on all coatings or substrates, and varying levels of success should be expected. Trial areas should be selected as test sections and the removals process modified as required.

Mechanical Removals

In the event that the chemical removals are not effective, it is recommended that mechanical removals be investigated. Again, limited trial areas should be selected to determine whether the removals process is effective.

The following mechanical removals can be used, in order of increasing abrasion:

- ≠ water blasting or flushing;
- ≠ ice or dry-ice blasting;
- ≠ soda blasting;

- ≠ media (glass or plastic beads, organics) blasting;
- ≠ sand blasting.

The mildest forms of mechanical removals must be attempted before advancing to the next stage. The use of a more aggressive form of abrasive removals increases the risk of damage to the brick and mortar, and any damage to the substrate will negatively impact the overall lifespan of the material.

Rehabilitation of Brick

Once exposed, the condition of the brick and mortar can be assessed. It is reasonable to assume that the original coatings were applied as a reaction to some deterioration of the brick or mortar. In addition to this, the application of these coatings has likely compromised the brick in areas more likely to accumulate moisture. Furthermore, the removal of the coatings may exacerbate conditions in some locations. As a result, it is anticipated that some masonry repair, other than that noted around the entry and other areas of obvious deterioration, will be required once the coatings are removed. It should be anticipated that repair will include:

- ≠ repointing of mortar joints;
- ≠ repair of masonry units; and
- ≠ replacement of masonry units.

Compatible materials should be used in all locations where repair work is required. Replica brick should be sourced and should be of a comparable hardness and porosity. Mortar used for repointing should match the existing mortar in hardness and colour wherever possible. It is likely that the mortar used in the original construction was composed largely of lime, with limited, if any, amounts of Portland cement. It was not possible at the time of the review to determine if the building had been previously repointed prior to the application of the exterior coatings.

Recoating

Due to the combination of previous coatings and the relatively soft original brick, it is possible that the best course of action includes the application of another exterior coating. The technology of exterior coatings has advanced considerably over the last 30 years, and the careful selection and application of a new coating could serve to extend the life of the masonry.

When selecting a new coating, it is recommended that the following factors are considered in detail:

- ≠ reduction of moisture ingress from the exterior (rain, snow, etc.);
- ≠ adequate permeability from the inside ("breathability"); and
- ≠ ultraviolet light resistance.

Note that it is possible that the removal of the existing coatings may not be feasible, even when using the more aggressive forms of abrasive blasting. It may be found that, when advancing to sand blasting, the damage caused to the substrate is not acceptable, and that removing the

coatings will cause more damage than leaving it in place. Until the mock-up areas are completed it is not possible to say with any certainty that the coatings can be removed.

In the event that the coatings cannot be removed for the reasons listed above, it is recommended that:

- ≠ all loose areas be scraped clean;
- ≠ all damaged brick is repaired, as required;
- ≠ any deteriorated masonry joints are repointed, as required; and
- ≠ a new exterior coating is applied to unify the building in appearance and performance.

The course of action that results in the lowest likelihood of imparting further damage to the brick in this instance is to re-coat the brick. While this may not restore the brick to its original condition, it will serve to extend the life of the masonry, albeit with a higher degree of active maintenance in the coming years. Care must be taken when selecting this new coating, and surface preparation should be carried out as listed above and in conjunction with the manufacturer recommendations

Insulation

The insulation of previously uninsulated buildings, particularly buildings of masonry construction, has resulted in some unforeseen failures in the past. This is largely a result of the installation of wall assemblies that did not adequately appreciate the impact of the reduced temperature of the brick, coupled with the varying susceptibility of the brick to freeze-thaw deterioration.

In general, it is recommended that the brick be tested prior to undertaking a new method of insulation. Brick can be tested for its porosity (the amount of water it is likely to take on during regular exposure to the elements) and for its ability to withstand the cycles of freeze-thaw that are common during southern Ontario winters. These findings serve to inform the requirements for a more direct water protection strategy (site drainage, overhangs, flashings, coatings, etc.).

The wall assembly most commonly used to insulate existing masonry buildings includes, from the outside in:

- ≠ masonry (varying thickness);
- ≠ bond break (typically an air barrier such as Tyvek or Typar);
- ≠ closed cell spray foam insulation;
- ≠ steel stud framing; and
- ≠ drvwall.

This particular assembly serves to minimize the vapour transmission from the inside to the outside using the spray foam insulation, reducing the risk of condensation forming on the inside face of the now colder brick assembly. The use of the bond break is intended to provide some measure of reversibility of the spray foam.

When carrying out alterations to heritage buildings, whether they are structural alterations or otherwise, it is important to ensure that the changes can be reversed in future if the alterations

prove to be detrimental to the building, or if more effective means of achieving the goals of the alterations are found in future. For example, if in the future a new, much more effective method of insulation is discovered, and during future renovations of this building the decision is made to install this new method, the bond break will allow for the easy removal of the spray foam, with no damage being done to the brick in the process.

Note that the specification of the final insulation assembly should be coupled with a more comprehensive investigation of the vulnerability of the brick, and should also consider the specific properties of the new coating that will be applied as part of the final restoration strategy. It is recommended that a more detailed investigation of the brick and the anticipated effects of any proposed insulation assembly is carried out prior to specifying the final design of the building.

Per

Gerry Zegerius, P.Eng., CAHP Structural Engineer, Associate Tacoma Engineers

Encl. none

7.1 - 135 Appendix 5

Arborist Report for 5155 Mississauga Road



Mississauga, ON (May 5, 2016)

www.DAWhiteTreeCare.com

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D. Andrew White M. Sc. ISA Certified Arborist ON-0734. 78 Marcella St. Toronto, ON, M1G 1L2.

1. Introduction

The following is an arborist report for the property at 5155 Mississauga Road, in Toronto Ontario. The purpose of this report was to ascertain the potential impacts of the proposed development on the trees on the site and on adjacent properties.

2. Methods

An on-site inspection was made on May 4, 2016. The sizes of individual trees were measured as diameter at breast height (DBH), breast height being 137 cm from ground level. The locations of these trees are indicated on the modified site plan (Fig. 1). From the data collected plant Condition Rating (CR), Location Rating (LR), Species Rating (SR), and minimum Tree Protection Zones (TPZ), were estimated.^{1,2}

It is necessary to protect all trees designated for preservation during both demolition and construction. This tree protection can be accomplished by protecting the said trees with *tree protection barriers*. The minimum tree protection zone (TPZ) radius is based on the diameter of the tree (TPZ \approx 0.06 $_{\text{m/cm}}$ x DBH $_{\text{cm}}$). Tree barriers for road allowance areas would be composed of a 1.2 metres (4 ft.) high orange plastic web snow fencing secured on 2"x4" wood frames. Usually, tree protection barriers, not on road allowance, are to be 1.2 metres (4 ft.) high, and composed of plywood. ^{3,4}

3. Discussion

There are plans to develop the site at 5155 Mississauga Road. Within the proposed development there are eighty (80) existing trees. Forty-six (46) are proposed to be removed. Thirty eight (38) non-exempt trees over 15 cm DBH are proposed to be injured or removed, in order to allow for the proposed development (Table 1, Fig. 1).

3.2 Roadside Trees

Two (2) city owned trees over 15cm DBH are proposed to be removed. (Table 1, Fig. 1 Trees #1 & 4). These trees are in conflict with the proposed development.

One (1) exempt city owned tree (DBH less than 15cm) are also proposed to be removed. (Table 1, Fig. 1 Tree #2).

Zero (0) trees over 50cm DBH are proposed to be removed.

3.3 Private Trees

Thirty six (36) privately owned trees over 15cm DBH are proposed to be removed. (Table 1, Fig. 1 Trees #12–25, #28-46 & #61-63). These trees are in conflict with the proposed development.

One (1) of the thirty six (36) trees proposed to be removed is over 50cm DBH. (Table 1, Fig. 1 Trees #30)

Seven (7) exempt privately owned trees (DBH less than 15cm) are also proposed to be removed.

4. Conclusion

In order to allow for the proposed construction at 5155 Mississauga Road, thirty-seven (37) non-exempt trees <50cm DBH, and one (1) tree >50cm DBH would need to be removed.

Thirty-five (35) privately owned trees over 15cm DBH are proposed to be removed.

One (1) privately owned trees over 50 cm DBH is proposed to be removed..

Two (2) road allowance over 15cm DBH are proposed to be removed

No (0) neighouring trees are proposed to be removed.

All of the trees to be retained would be protected by barriers during the demolition and construction work on the site.

MSLA Landscape Architects has developed a detailed tree preservation plan and proposed landscape plan for the subject site.

D. Andrew White M. Sc.

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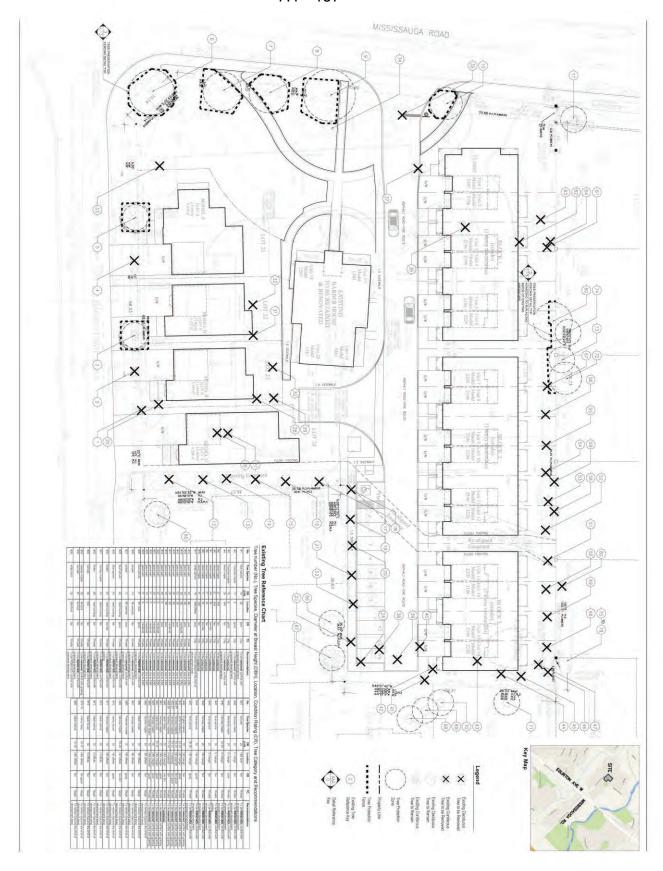


Figure #1: Arborist's Plan and layout of the 5155 Mississauga Road property.

 Table #1. Tree number (No.), species, diameter at breast height (DBH), comments, Condition Rating (CR) and Tree Category.

No.	Tree Species	DB (cm)	Location	CR	TC	Recommendations
#1	blue spruce	16	SE	poor	City	To be removed ; conflict with proposed development
#2	Freeman maple	12	S	good	City	To be removed ; conflict with proposed development
#3	Freeman maple	10	S	good	City	To be <u>preserved</u>
#4	silver maple	29	SW	fair	City	To be removed ; conflict with proposed development
#5	silver maple	27	SW	fair	City	To be preserved
#6	silver maple	61	SW	fair	City	To be preserved
#7	silver maple	54	W	low-fair	City	To be preserved
#8	silver maple	51	W	fair	City	To be preserved
#9	silver maple	77	W	low-fair	City	To be preserved
#10	silver maple	47	NW	fair	City	To be preserved
#11	white spruce	16	NW offsite	poor	City	To remain (beyond the limit of development area)
#12	green ash	34	SE	poor	Private	To be <i>removed</i> ; due to EAB
#13	green ash	33	SE	poor	Private	To be <i>removed</i> ; due to EAB
#14	green ash	29	SE	moribund	Private	To be <i>removed</i> ; due to EAB
#15	green ash	22	SE	poor	Private	To be <i>removed</i> ; due to EAB
#16	green ash	36	SE	poor	Private	To be <i>removed</i> ; due to EAB
#17	green ash	29	SE	moribund	Private	To be removed ; due to EAB
#18	green ash	33	SE	poor	Private	To be <i>removed</i> ; due to EAB
#19	green ash	28	Е	poor	Private	To be <i>removed</i> ; due to EAB
#20	green ash	22	Е	moribund	Private	To be <i>removed</i> ; due to EAB
#21	green ash	39	Е	moribund	Private	To be <i>removed</i> ; due to EAB
#22	green ash	31	Е	moribund	Private	To be removed ; due to EAB
#23	green ash	33	Е	moribund	Private	To be <i>removed</i> ; due to EAB
#24	green ash	31	Е	moribund	Private	To be removed ; due to EAB
#25	blue spruce	27	SE road	good	Private	To be REMOVED ; conflict with proposed development
#26	juniper	14	SE exempt	fair	Private	To be removed ; conflict with proposed development
#27	juniper	12	SE exempt	poor	Private	To be removed ; conflict with proposed development
#28	blue spruce	42	near building	good	Private	To be REMOVED ; conflict with proposed development
#29	blue spruce	34	near building	fair	Private	To be REMOVED ; conflict with proposed development
#30	linden	53	near building	low-fair	Private	To be REMOVED ; conflict with proposed development (2:1 replacement required)
#31	Norway maple	34	near building	fair	Private	To be REMOVED ; conflict with proposed development
#32	linden	46	near building	fair	Private	To be REMOVED ; conflict with proposed development

#33	red oak	49	SW	fair	Private	To be REMOVED ; conflict with proposed development
#34	Norway maple	28	W front	fair	Private	To be removed ; conflict with grading
#35	red oak	47	W front	fair	Private	To be REMOVED ; conflict with
						proposed development
#36	white birch	28	NW front	fair	Private	To be REMOVED ; conflict with
						proposed development
#07	Lucal cole	I 00	L NDA/ Lavina	f =:=	Deliverte	To be DEMOVED, conflict with
#37	red oak	20	NW lawn	fair	Private	To be REMOVED ; conflict with proposed development
#38	Norway maple	22	E margin	fair	Private	To be REMOVED ; conflict with
	Troiway mapio		2α. g	10	1 111410	proposed development
#39	Manitoba maple	24	E margin	poor	Private	To be REMOVED ; conflict with
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#40	Norway maple	18-24	E margin	fair	Private	To be REMOVED ; conflict with
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#41	blue spruce	32	E margin	fair	Private	To be REMOVED ; conflict with proposed development
#42	blue spruce	23	E margin	fair	Private	To be REMOVED ; conflict with
11-12	blue opi doe		Linargini	l'all	Tilvato	proposed development
#43	Norway maple	22	NE margin	fair	Private	To be REMOVED ; conflict with
	,					proposed development
#44	blue spruce	33	NE margin	good	Private	To be REMOVED ; conflict with
		20.00		<u>. </u>	5	proposed development
#45	blue spruce	29-30	NE margin	good	Private	To be REMOVED ; conflict with
#46	English walnut	18	NE margin	fair	Private	proposed development To be removed ; conflict with grading
#47	white mulberry	12-14	NE margin	good	Private	To be removed ; conflict with grading
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#48-51	Norway maples	10-12	NE exempt	fair-good	Private	To be removed ; conflict with grading
#52-57	Norway maples	10-12	N exempt	fair-good	Private	To be removed ; conflict with grading
#58-59	Norway maples	11-14	N exempt	fair	Private	To be removed ; conflict with grading
#60	black maple	52	NW margin	low-fair	Private	To be <u>preserved</u>
#61	Norway maple	31	NW margin	good	Private	To be <i>removed</i> ; conflict with grading
#62	black locust	31-41	NW margin	good	Private	To be removed ; conflict with grading
#63	Norway maple	30	NW margin	poor	Private	To be removed ; conflict with grading
#64	European beach	10	NW exempt	good	Private	To be removed ; conflict with grading
#65	Norway maple	34	SE offsite	fair	Neigh.	To remain (beyond the limit of development area)
#66	black locust	18	SE offsite	fair	Neigh.	To remain (beyond the limit of
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#67	Norway maple	18	SE offsite	fair	Neigh.	To remain (beyond the limit of
						development area)
#68	Freeman maple	20	NE offsite	good	Neigh.	To remain (beyond the limit of
400	Name	40.04	NE - C ''	Laure C. 1	NI-1-1	development area)
#69	Norway maple	18-24	NE offsite	low-fair	Neigh.	To remain (beyond the limit of
#70	honey locust	32	NE offsite	good	Neigh.	development area) To remain (beyond the limit of
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#71	Norway maple	18	NE offsite	fair	Neigh.	To remain (beyond the limit of
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#72	black walnut	42	N offsite	fair	Neigh.	To remain (beyond the limit of
						development area)
#73	black walnut	22	N offsite	fair	Neigh.	To remain (beyond the limit of
						development area)
#74	black locust	32	N offsite	fair	Neigh.	To remain (beyond the limit of
						development area)
#75-79	cherry trees	10-15	NW offsite	fair-good	Neigh.	To remain (beyond the limit of
						development area)
#80	black walnut	10-18	NW offsite	fair	Neigh.	To remain (beyond the limit of
						development area)



Trees #1 to #5 and tree #25

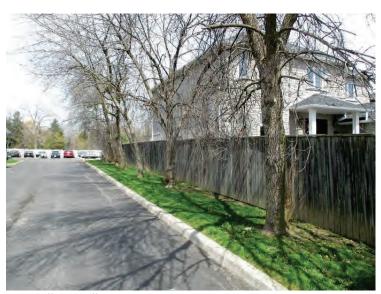


Tree #6 to #11

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Trees #34 to #36



Trees #12 to #18



Trees #18 to #22



Trees #26 to #32



Trees #12 to #22



Tree #37 to #40



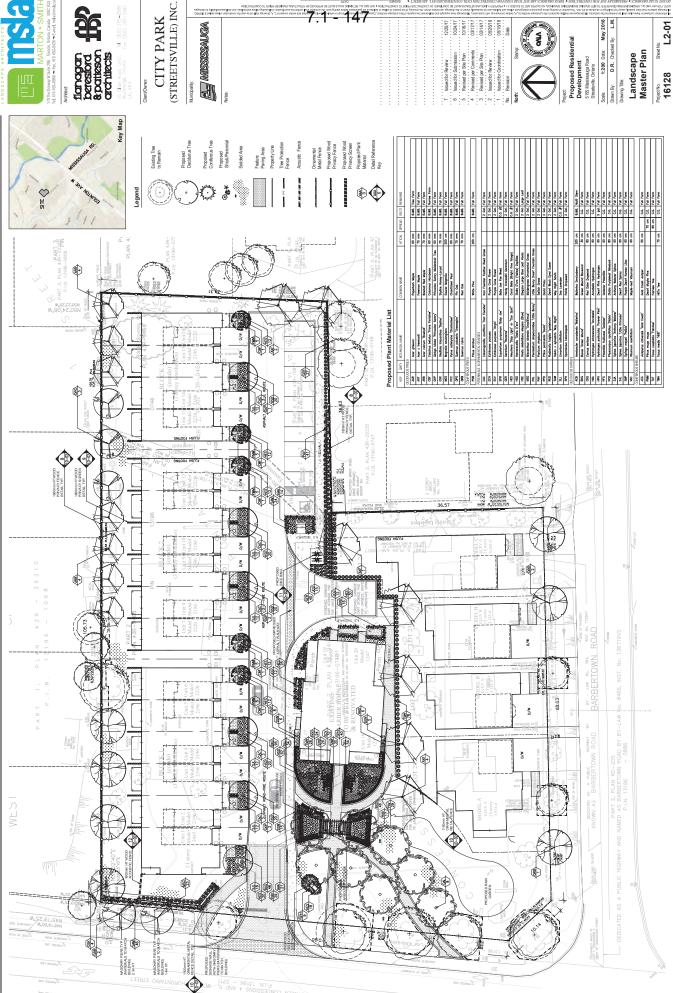
Trees #43 to #46



Trees #60 to #63

5. References

- 1- Council of Tree Landscape Appraisers. 2006. Guide for Plant Appraisal. 10th Edition. International Society of Arboriculture.
- 2- International Society of Arboriculture of Ontario. 2000. Ontario Supplement to Guide for Plant Appraisal 9th Edition. Ontario Chapter, International Society of Arboriculture.
- 3- City of Mississauga. 2001. THE TREE PERMIT BY-LAW NUMBER 474-05. Corporation of the City of Mississauga, ON.
- 4- City of Mississauga. 2014. Application to Permit the Injury or Destruction of Trees on Private Property. City of Mississauga Community Services Department.
- 6- MMAH. 2005. Greenbelt Plan No. 208/2005. Feb 28, 2005. Ministry of Municipal Affairs & Housing.



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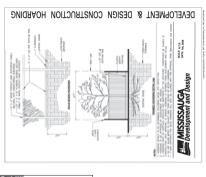








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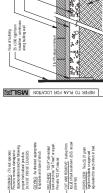
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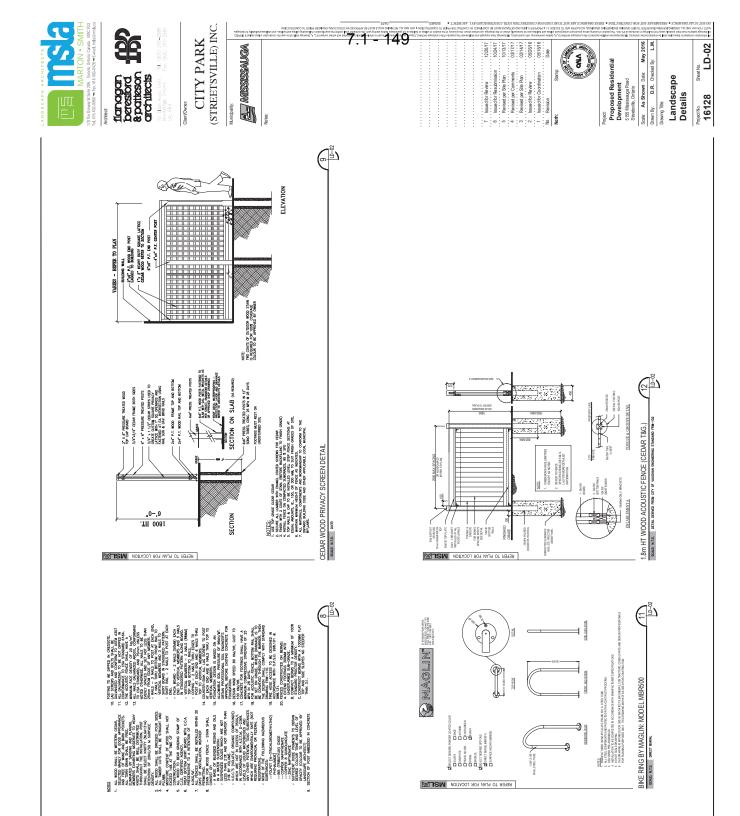
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flanagan beresford

& patteson architects

70 Silton Road, Unit 1 Woodbridge Ontario 141 8b9

Tel. (905) 265-2688 Ext 223 Fax. (905) 265-2685 email – johnb@fbparch.com

December 14, 2017

BARBER HOUSE, RESTORATION BUDGET

GENERAL

Management Fee	\$ 10,000.00
Boom Lift Rental (1 month)	\$ 4,550.00
General Demolition – Labourers – 2x2 weeks – 200 hrs @ \$50	\$ 10,000.00
Garbage – 6 bins @ \$600	\$ 3,600.00
Total	\$ 28,150.00
BRICK REPAIR AND CARE	
Scaffold supply, set up – 4 trades, 1 day – 32 hrs @ \$75	\$ 2,400.00
Hand removal of loose & flaked coating – 8,500 sf.	
4 trades, 2 days – 64 hrs @ \$75	\$ 4,800.00
Engineer/Architect review - 6 hrs @ \$200	\$ 1,200.00
Damaged brickwork repair and fill openings	
4 masons, 5 days – 160 hrs @ \$85	\$ 13,600.00
Tuck point damaged and loose areas	
4 masons, 4 days – 128 hrs @ \$85	\$ 10,880.00
Engineer/Architect review – 2 hrs @ \$200	\$ 400.00
Paint Test – Engineer/Architect/Paint Specialist	\$ 4,000.00
Repaint Exterior – material - 60 gal. Paint @ \$70.00 Repaint Exterior – application	\$ 4,200.00
masking, labourers, 4 x 2 days – 80 hrs @ \$50	\$ 4,000.00
spraying, painters, 3 x 2 days – 60 hrs @ \$70	\$ 4,200.00
Total	\$ 41,480.00
Contingency – 10%	\$ 4,148.00
	\$ 45,628.00

2.

BARBER HOUSE, RESTORATION BUDGET CONT.

WINDOW REPLACEMENT

Remove and replace 30 windows in existing openings. Price includes removal of existing windows. installing new windows and caulking.

New windows to be wood, true double hung, double glazed, low e glazing, argon gas between panes, true muntins, six over six panes and factory primed. Custom built to replicate profile of the few heritage windows left and to fit existing openings.

Windows to be installed by a certified window installer from the manufacturer.

30 windows Supplied and installed @ 1,400 each	\$ 42,000.00		
Paint new frames, painters, 3 x 2 days – 60 hrs @ \$70	\$ 4,200.00		
Architect review of shop drawings – 2 hrs @ \$200	\$ 400.00		
Architect review of installation – 4 hrs @ \$200	\$ 800.00		
Total	\$47,400.00		

Total

WOOD SHUTTERS

Provide and install 36 wood shutters (primed & painted) – 36 @ \$250 \$ 9,000.00

WOODWORK

FASCIA, BRACKETS AND DENTILS

Estimate that 50% of the existing fascia, dentils and brackets will need replacement/repair on four sides of the existing house. Work by trim carpenter, prices are supply and install.

116 ft of fascia/dentils at \$26 per ft. plus \$80 per bracket for 30 brackets \$ 5,416.00

Estimate 50% of existing soffit will need to be replaced/repaired 115 ft @ \$26.00 per ft

\$ 2,990.00

Decorative post and arch ornament (existing at front porch) and new at proposed side porches. Estimated complete replacement of existing front with new material to match existing and construction of new porch. and post ornament at proposed side porches. Work by trim carpenter.

\$ 25,900.00 \$ 800.00
\$ 7,200.00
\$ 42,306.00

3.

BARBER HOUSE, RESTORATION BUDGET CONT.

RAIN GOODS

Supply and install new 5" copper trough at eaves of all roofs with copper downspouts

copper trough – 340 linear ft. @ \$22 per ft	\$ 7,480.00
copper downspouts – 170 linear ft @ \$15 per ft.	\$ 2,550.00

Total \$ 10,030.00

ROOF

Remove existing shingles and replace with new shingles. Shingle style and colour to be determined in consultation with Mississauga Heritage

Strip and replace shingles, remove garbage \$16,500.00

PROJECT TOTAL \$199,014.00

7.1 - 153 Appendix 8

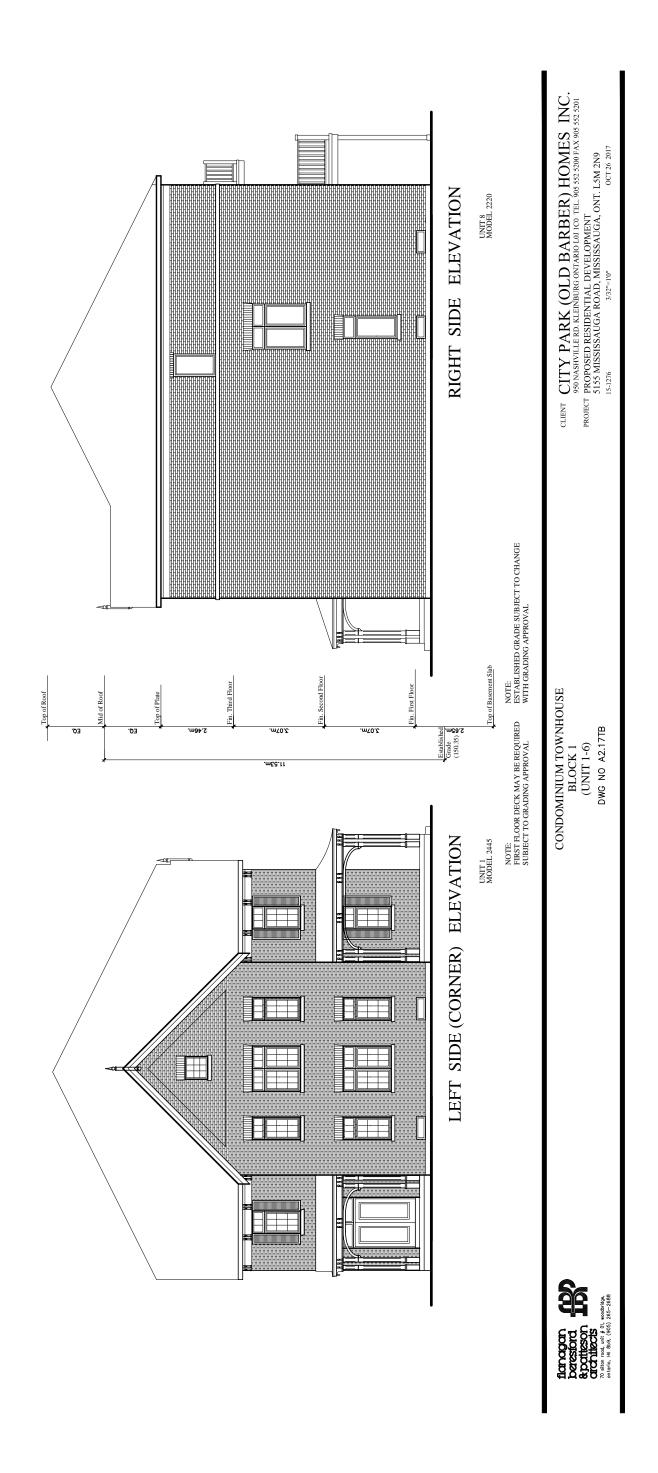




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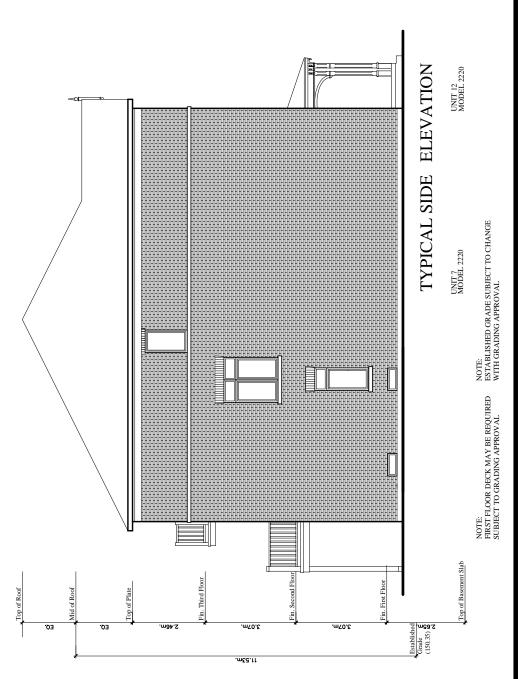












CLIENT CITY PARK (OLD BARBER) HOMES INC. 950 NASHVILLE RD. KLEINBURG ONTARIO LOJ TCO TEL. 905 552 5200 FAX 905 552 5201 PROJECT PROPOSED RESIDENTIAL DEVELOPMENT 5155 MISSISSAUGA ROAD, MISSISSAUGA, ONT. L5M 2N9 15-1276 OCT 26 2017

CONDOMINIUM TOWNHOUSE BLOCK 2 (UNIT 7-12) DWG NO A2.27TB

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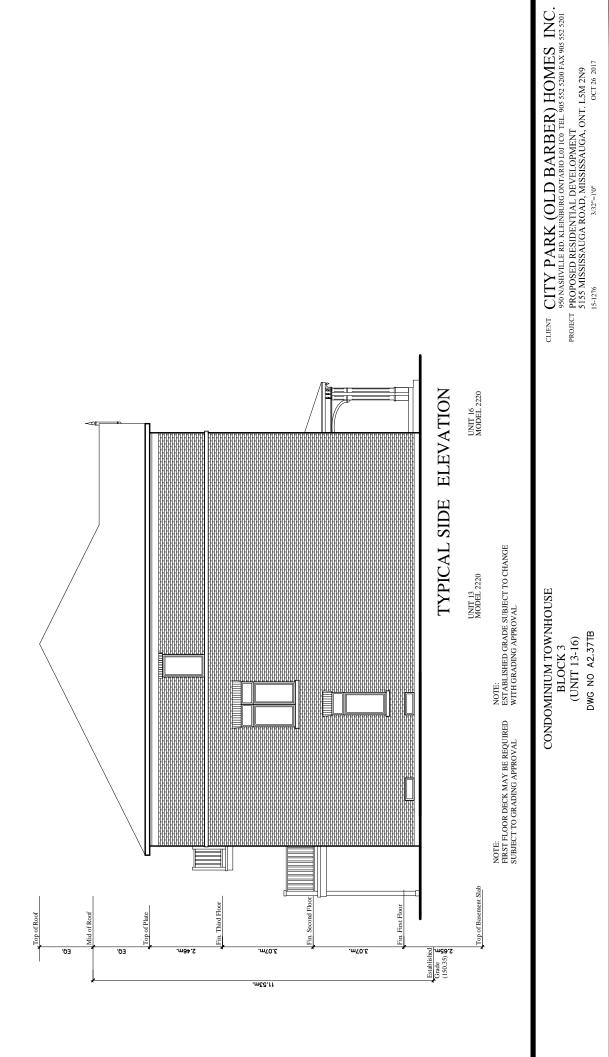




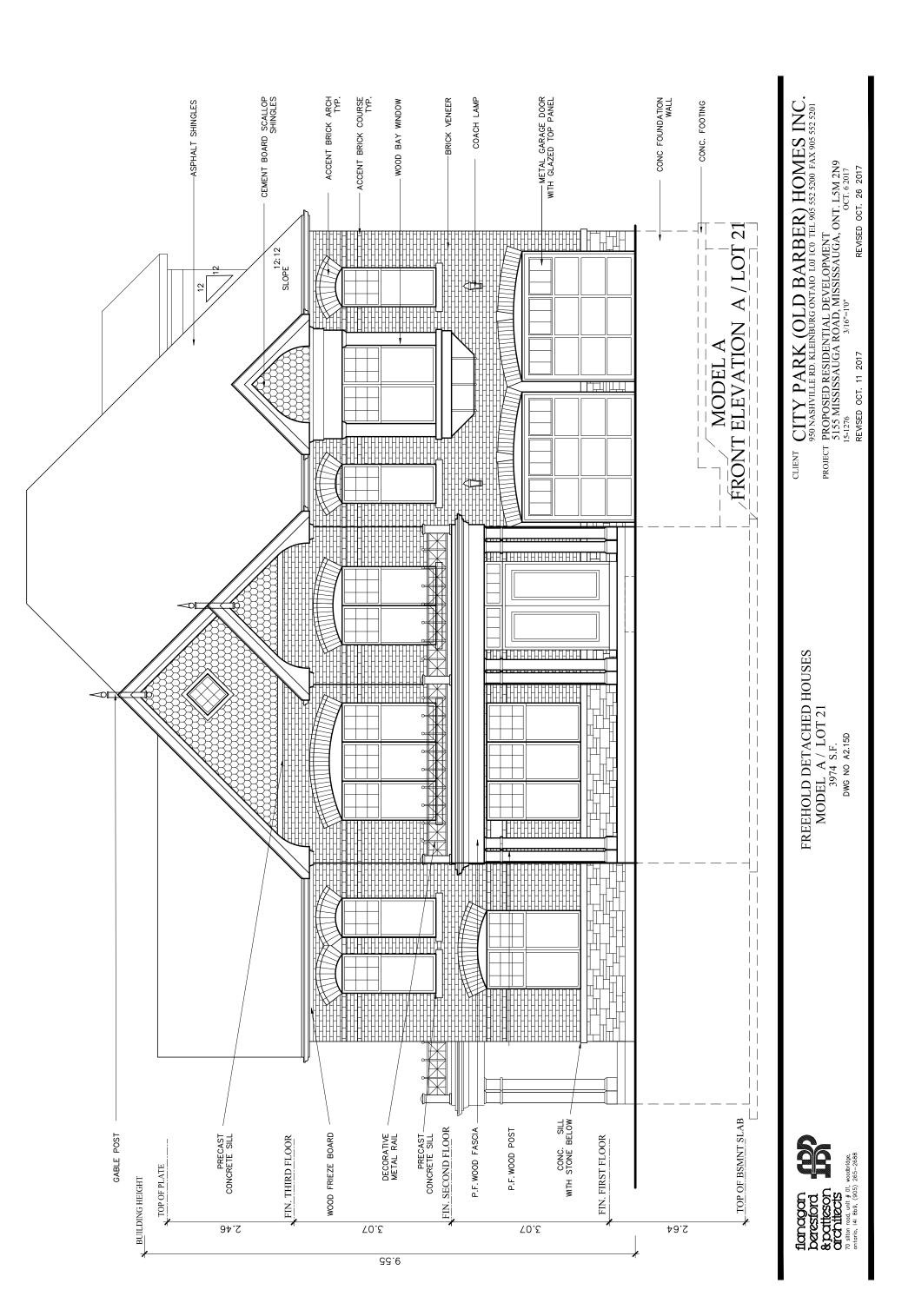




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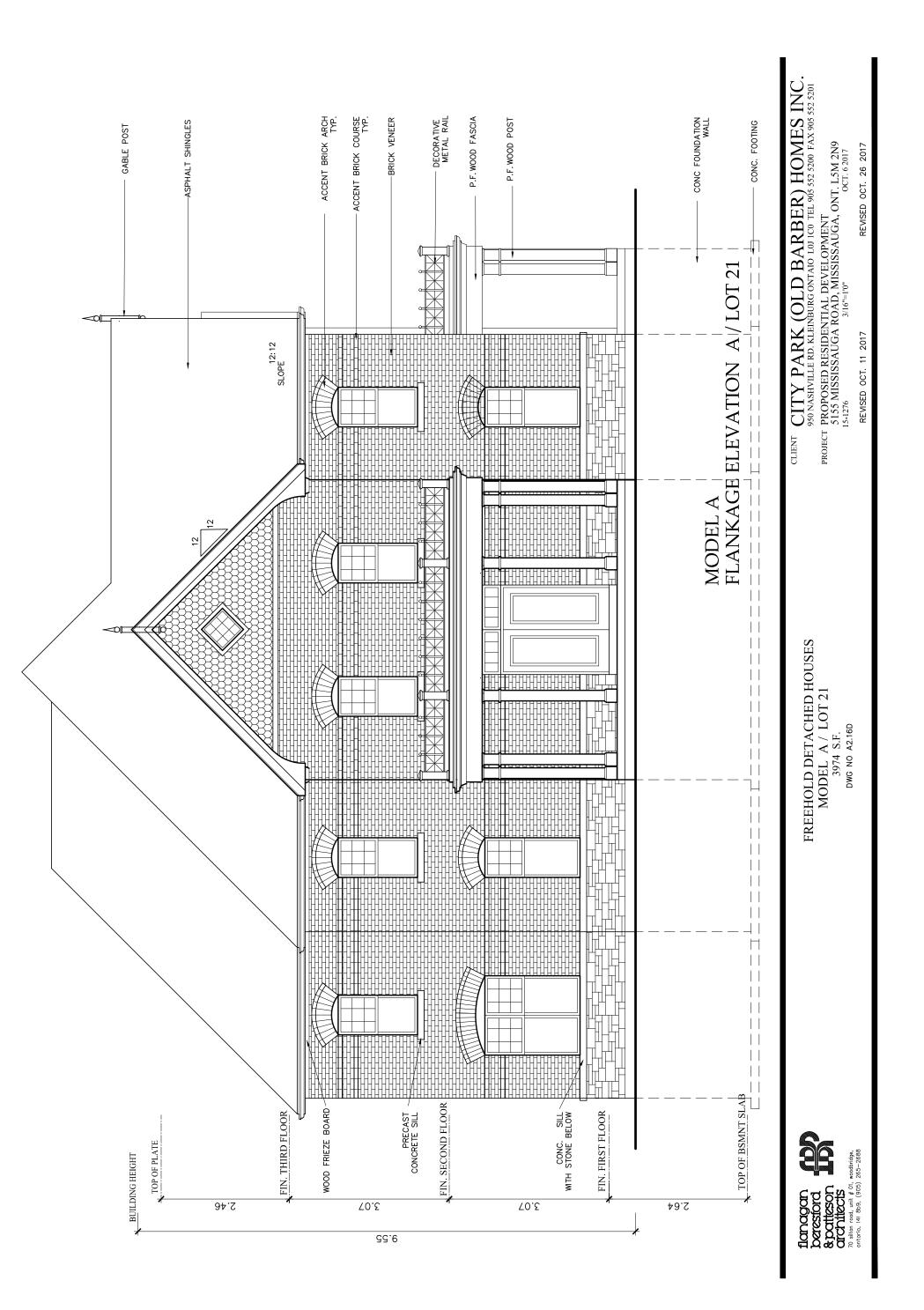


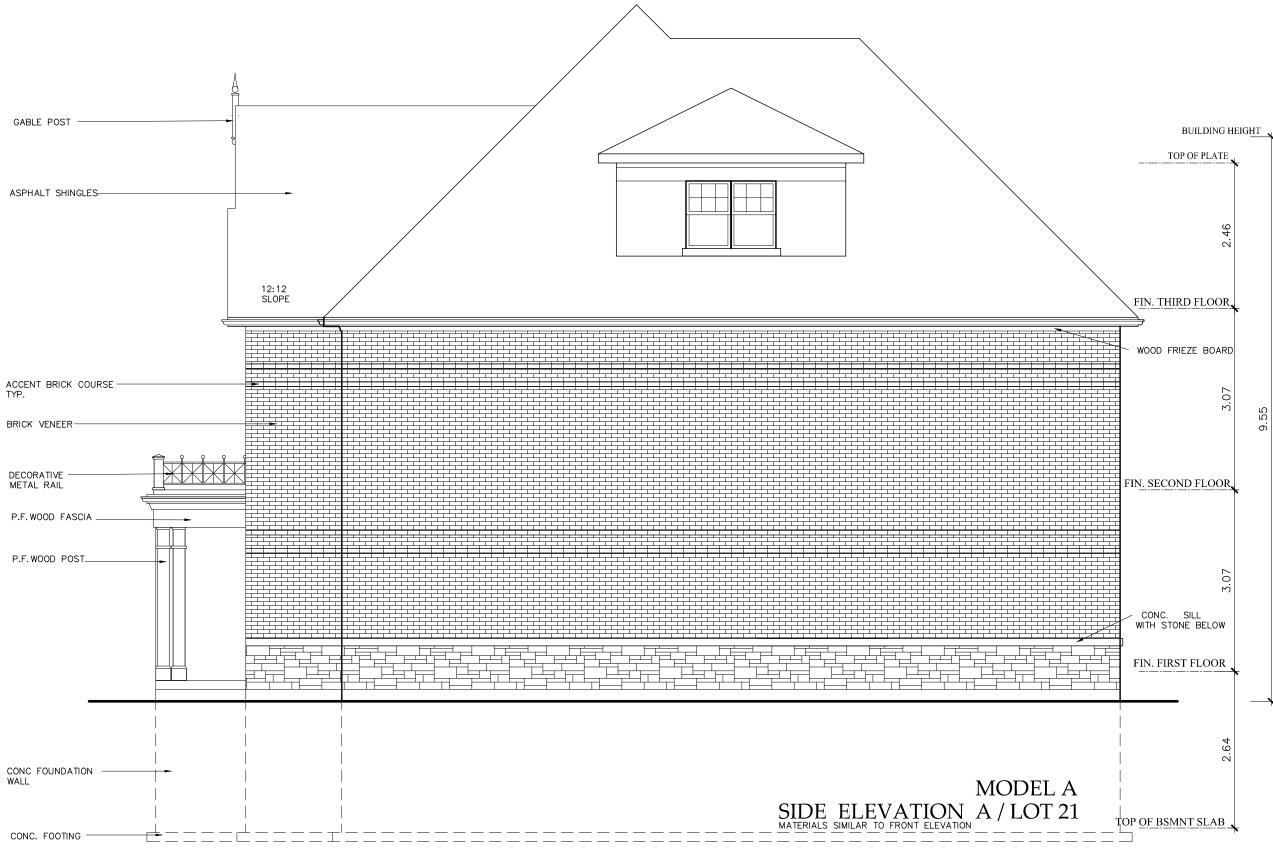


FREEHOLD DETACHED HOUSES MODEL A / LOT 21 3974 S.F. DWG NO A2.17D

CITY PARK (OLD BARBER) HOMES INC. 950 NASHVILLE RD. KLEINBURG ONTAIO LOJ ICO TEL 905 552 5200 FAX 905 552 5201

PROJECT PROPOSED RESIDENTIAL DEVELOPMENT 5155 MISSISSAUGA ROAD, MISSISSAUGA, ONT. L5M 2N9 DEC. 20 2017







FREEHOLD DETACHED HOUSES MODEL A / LOT 21 3974 S.F. DWG NO A2.18D

CITY PARK (OLD BARBER) HOMES INC. 950 NASHVILLE RD. KLEINBURG ONTAIO LOJ ICO TEL 905 552 5200 FAX 905 552 5201

PROJECT PROPOSED RESIDENTIAL DEVELOPMENT
5155 MISSISSAUGA ROAD, MISSISSAUGA, ONT. L5M 2N9
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MATERIALS SIMILAR TO FRONT ELEVATION



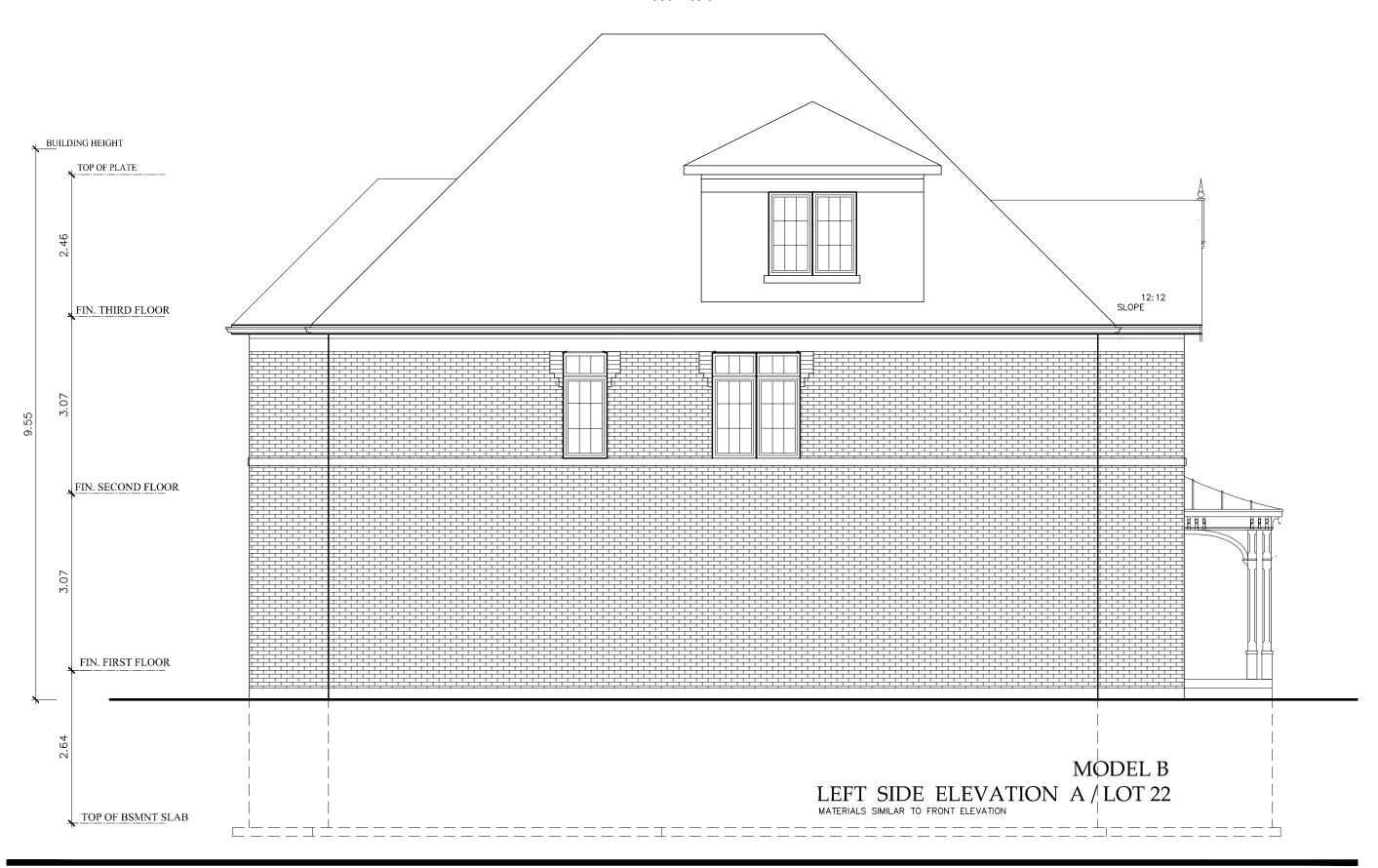




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CITY PARK (OLD BARBER) HOMES INC. 950 NASHVILLE RD. KLEINBURG ONTAIO LOJ ICO TEL 905 552 5200 FAX 905 552 5201

PROJECT PROPOSED RESIDENTIAL DEVELOPMENT
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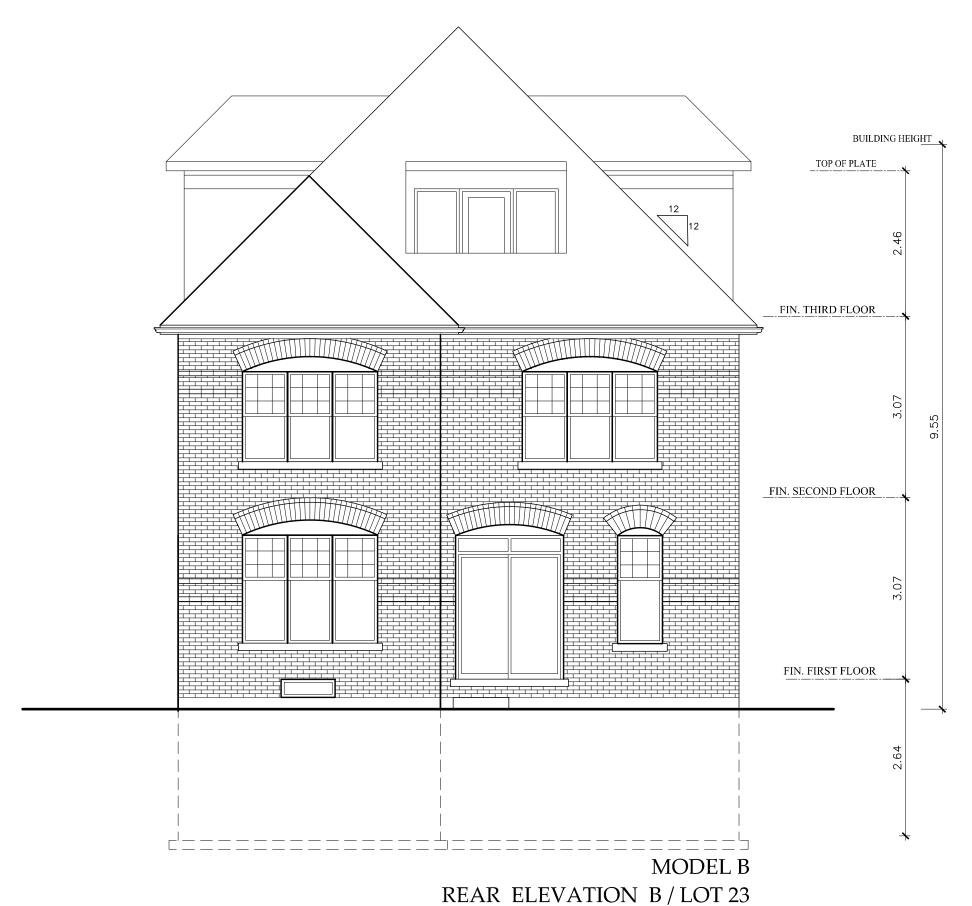


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CITY PARK (OLD BARBER) HOMES INC. 950 NASHVILLE RD. KLEINBURG ONTAIO LOJ ICO TEL 905 552 5200 FAX 905 552 5201

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MATERIALS SIMILAR TO FRONT ELEVATION







FREEHOLD DETACHED HOUSES MODEL B / LOT 23 3142 S.F. DWG NO A2.210D

CITY PARK (OLD BARBER) HOMES INC. 950 NASHVILLE RD. KLEINBURG ONTAIO LOJ ICO TEL 905 552 5200 FAX 905 552 5201

PROJECT PROPOSED RESIDENTIAL DEVELOPMENT
5155 MISSISSAUGA ROAD, MISSISSAUGA, ONT. L5M 2N9
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FREEHOLD DETACHED HOUSES MODEL B / LOT 22 3142 S.F. DWG NO A2.212D

CITY PARK (OLD BARBER) HOMES INC. 950 NASHVILLE RD. KLEINBURG ONTAIO LOJ ICO TEL 905 552 5200 FAX 905 552 5201

PROJECT PROPOSED RESIDENTIAL DEVELOPMENT
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FREEHOLD DETACHED HOUSES MODEL C/LOT 24

4268 S.F.

DWG NO A2.35D



MATERIALS SIMILAR TO FRONT ELEVATION





FREEHOLD DETACHED HOUSES MODEL C/LOT 24 4268 S.F. DWG NO A2.36D

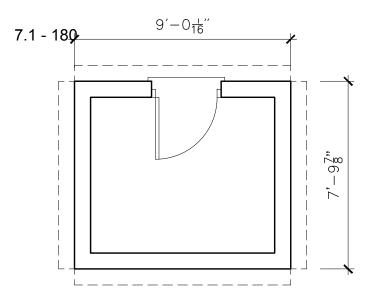
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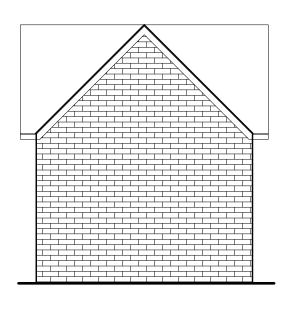


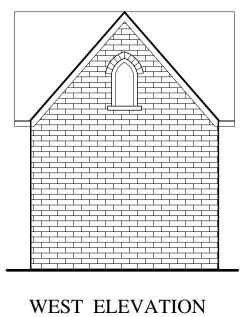
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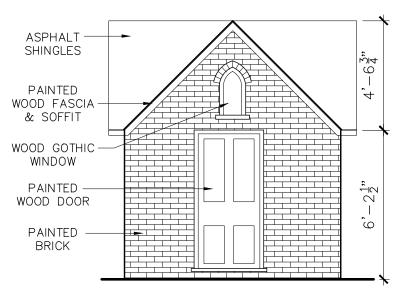
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5155 MISSISSAUGA ROAD, MISSISSAUGA, ONT. L5M 2N9
15-1276 DEC. 20 2017

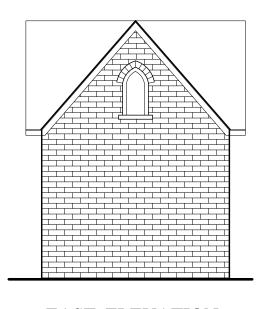


PLAN









SOUTH ELEVATION

NORTH ELEVATION

EAST ELEVATION

flanagan beresford &patteson architects

OUT BUILDING (BRICK SHED)

CITY PARK (STREETSVILLE) INC.

PROPOSED COMMON ELEMENT & FREEHOLD TOWNHOUSE DEVELOPMENT 5155 MISSISSAUGA ROAD, MISSISSAUGA, ONT. L5M 2N9

1/4"=1'0"

15-1276

DEC 20 2017

70 silton road, unit # 01, woodbridge, ontario, 141 8b9, (905) 265-2688

flanagan

beresford

& patteson architects

70 Silton Road, Unit 1 Woodbridge Ontario L4L 8B9

Tel. (905) 265-2688 Ext 223 Fax. (905) 265-2685 email – john.beresford@fbparch.com

December 20, 2017

Barber House OUTBUILDING, Restoration Budget

GENERAL

92. 21. 22		
Management Fee Mobile Crane Rental General Labour 2 x 1 week – 100 hrs @ \$50 Garbage – 2 bins @ \$600.00	\$ \$ \$	2,500.00 2,000.00 5,000.00 1,200.00
Total	\$	10,700.00
SITE PREPARATION		
New Foundation 4ft. frost protection (34 If) New concrete slab (72 sf) including 6 x 6 wwm	\$ \$	2,500.00 1,700.00
Total	\$	4,200.00
BUILDING MOVE		
Perimeter excavation, steel frame support, jack to wheels, move and install on new foundation	\$	7,200.00
BRICK REPAIR AND CARE		
Replacement of deteriorated brick (estimated as the bottom 14 of each wall) 65 sf 1 mason, 2 days – 16 hrs @ \$85.00 Hand removal of loose and flaked coating (190 sf.)	\$	1,360.00
1 Trade, 2 days – 16 hrs @ \$75	\$	1,200.00
Tuck point exterior walls (190 sf.) 1 mason, 2days – 16 hrs @ \$85.00	\$	1,360.00
Total	\$	3,920.00

2.

Barber House ${\bf OUTBUILDING}$ Restoration Budget cont.

WINDOW AND DOOR REPLACEMENT

Repair or replicate 3 window frames with glass Repair or replicate wood door and install in existing opening		900.00
reusing heritage hardware	\$	1,200.00
SOFFIT, FASCIA		
Repair or replicate existing fascia and soffit – 51 If @ \$26	\$	1,326.00
WOODWORK PAINT		
Paint window frames, door and fascia and soffit Painter – 1 x 2 days, 16 hrs @ \$60.00	\$	960.00
ROOF		
Strip and replace shingles, remove garbage	\$	1,800.00
PROJECT TOTAL	\$:	32,206.00

City of Mississauga

Corporate Report



Date: January 11, 2018

To: Chair and Members of Heritage Advisory Committee

From: Paul Mitcham, P. Eng, MBA, Commissioner of Community Services

Meeting date: February 6, 2018

Subject

Request to Alter a Heritage Designated Property: 1352 Lakeshore Road East (Ward 1)

Recommendation

That the request to alter the property at 1352 Lakeshore Road East as per the Corporate Report from the Commissioner of Community Services dated January 11, 2018, be approved.

Background

Section 33 of the Ontario Heritage Act requires permission from Council to alter property designated under Part IV of the Act. The City designated the subject property – the Small Arms Administration Building – in 2009 and approved an adaptive re-use in 2017. The approved work included retention of the existing skylights with replacement of the glass only. During the course of the rehabilitation, it was found that the skylights are no longer safe and that the full assembly must be replaced.

Comments

The owner of the subject property – the City – proposes to replace the existing steel framed skylights with aluminum frame ones. The proposed skylights would be three degrees shallower in height than the existing ones. The skylight assembly would be painted white and employ thermal glass. As part of the project, the large vents, which sit atop the existing skylights and are no longer functional, are also proposed to be removed. A condition assessment, drawings, a detail and specifications for the skylights and glazing are attaches as appendices 1 thru 5 respectively.

The skylights and the building's overall shape and form are listed as heritage attributes in the designation by-law. The shape and form of the proposed skylights are almost identical to the existing and the vents are not visible from the street. Because the subject proposal has a minimal impact on the property's cultural heritage value, staff recommend that it be approved.

Financial Impact

There is no financial impact.

Conclusion

The owner of the property has applied for a heritage permit to replace the skylights at the Small Arms building and remove the vents. As the skylights are almost identical in shape and form to the existing ones and the vents are no longer needed and not visible from the street, the proposal should be approved.

Attachments

Appendix 1: Condition Assessment Appendix 2: Architectural drawings

Appendix 3: Skylight detail

Appendix 4: Unit Skylight Specifications Appendix 5: Glazing Specifications



Paul Mitcham, P. Eng, MBA, Commissioner of Community Services

Prepared by: P. Wubbenhorst, Heritage Planner



December 11, 2017

Laila Gabiazon Project Manager The City of Mississauga Facilities and Property Management - Corporate Services 300 City Centre Drive, 11th Floor Mississauga ON L5B 2G6

Dear Ms. Gabiazon,

RE: Skylight Framing Condition 1352 Lakeshore Road East, Mississauga, Ontario RJC No. TOR.114360.0004

Further to our report entitled "Skylight Glazing Assessment" dated November 30, 2017, Read Jones Christoffersen Ltd. (RJC) was requested by The City of Mississauga to comment on the condition of the skylight framing to determine if the skylight framing could remain in place in the interim while a new system is sourced. It is our understanding the intent is for the skylight to be replaced after March 31, 2018 and in the interim cover the existing skylight systems with plywood and make watertight through use of membranes and sealants.

On November 17, 2017 RJC visited site for a close-up visual review of representative portions of the skylight framing. At the time of the review the framing was noted to be painted which limited our ability to detect areas of visually obvious deterioration however sufficient information was obtained to identify several areas of concern with respect to the current state of the framing and ability to achieve its structural design intent. Based on the observed condition, we are of the opinion that the existing skylight framing can no longer be relied upon to support foreseeable environmental loads and poses a risk to building occupants. As noted in past reports, rehabilitating the existing skylight back to its structural intent (if at all possible) would likely require significant structural reinforcement which would compromise the heritage aesthetic of the skylight. Replacement of the skylight with a modern assembly is recommended; attempts to rehabilitate the existing skylight are not recommended based on the information available

We would recommend that the area below the skylight be fenced off until such a time that the opening below the skylight could be adequately protected. In addition we would recommend that while temporary coverings are installed over the skylight (plywood, membranes etc.) the installers not place live loads on the skylight systems (lean, walk etc. on the skylight) and that typical precautions for working around openings in roof decks be followed. Prior to occupancy, the existing opening in the roof deck below the skylights should be protected with a new structural deck infill designed to withstand the live and dead loads to which it would be subjected. Skylight Framing Condition 1352 Lakeshore Road East, Mississauga, Ontario December 11, 2017

RJC No. TOR.114360.0004 page 2



The deck could be installed from the interior with the existing skylight to remain in place or be installed concurrently with the skylight removal and waterproofed to become part of the roofing system. The deck infill could be removed at the time when a new skylight system is supplied and installed.

Trusting the above meets your needs at this time. Please do not hesitate to contact the undersigned should you wish to discuss the contents of this letter in greater detail.

Yours truly,

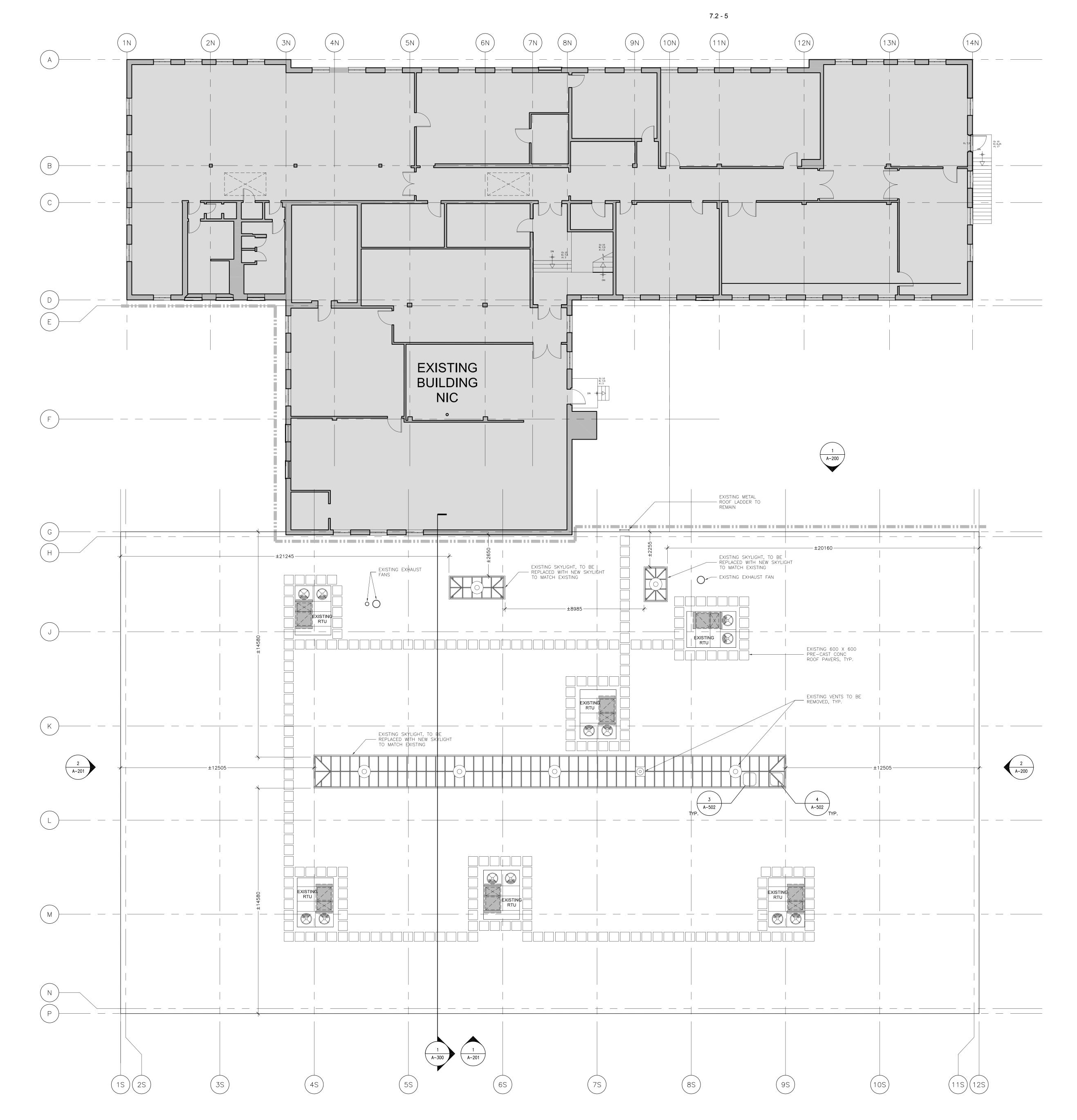
READ JONES CHRISTOFFERSEN LTD.

Jonathan Dickson, M.Eng., P.Eng., LEED® GA, BSSO

Project Engineer

Building Science and Restoration

JJD/sab/rea



partners

533 College Street, Suite 301 Toronto, Ontario, Canada M6G 1A8 T: 416 203 7600 F: 416 203 3342 lga-ap.com

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GENERAL NOTES

EXISTING ROOF.

- ALL DIMS OF EXISTING ELEMENTS ARE APPROXIMATE AND HAVE TO BE VERIFIED ON SITE BY THE CONTRACTOR. REPORT ANY DISCREPANCIES TO ARCHITECT.
- . PATCH AND REPAIR ANY NEW PENETRATION IN THE
- 3. FOR EXTENT OF DESIGNATED SUBSTANCES IN EXISTING BUILDING REFER TO DESIGNATED SUBSTANCE ASSESSMENT REPORT.
- 4. REFER TO BOTH LARGER AND SMALLER SCALE PLANS FOR FULL SCOPE OF WORK.
- 5. TRADE CONTRACTOR TO REPAIR AND MAKE GOOD ALL EXISTING SURFACES DESIGNATED TO REMAIN, AFFECTED BY RENOVATION. REFER TO HERITAGE SPECIFICATIONS FOR REQUIREMENTS RELATED TO HERITAGE BUILDING ELEMENTS.



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2	2016.11.18	Re-Issued for SD Costing
1	2016.11.01	Issued for SD Costing
NO.	DATE	DESCRIPTION

PROJECT:

SMALL ARMS BUILDING - PHASE 1 RENOVATION & RESTORATION

1352 Lakeshore Road East Mississauga, ON

DRAWING TITLE:

LOWER ROOF DEMOLITION & PROPOSED ROOF PLAN

PROJECT NORTH:

PROJECT NO: 16361 **SCALE:** 1:100 DRAWN BY: KP

REVIEWED BY: BJ

DRAWING NO:



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GENERAL NOTES - ELEVATIONS

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HORIZONTAL PIVOT HARDWARE, PRIME & PAINT STEEL FRAMES, AND INSTALLATION OF NEW GLAZING TO BE FIXED IN PLACE AS PER HERITAGE SPECIFICATION.



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SMALL ARMS BUILDING - PHASE 1 RENOVATION & RESTORATION

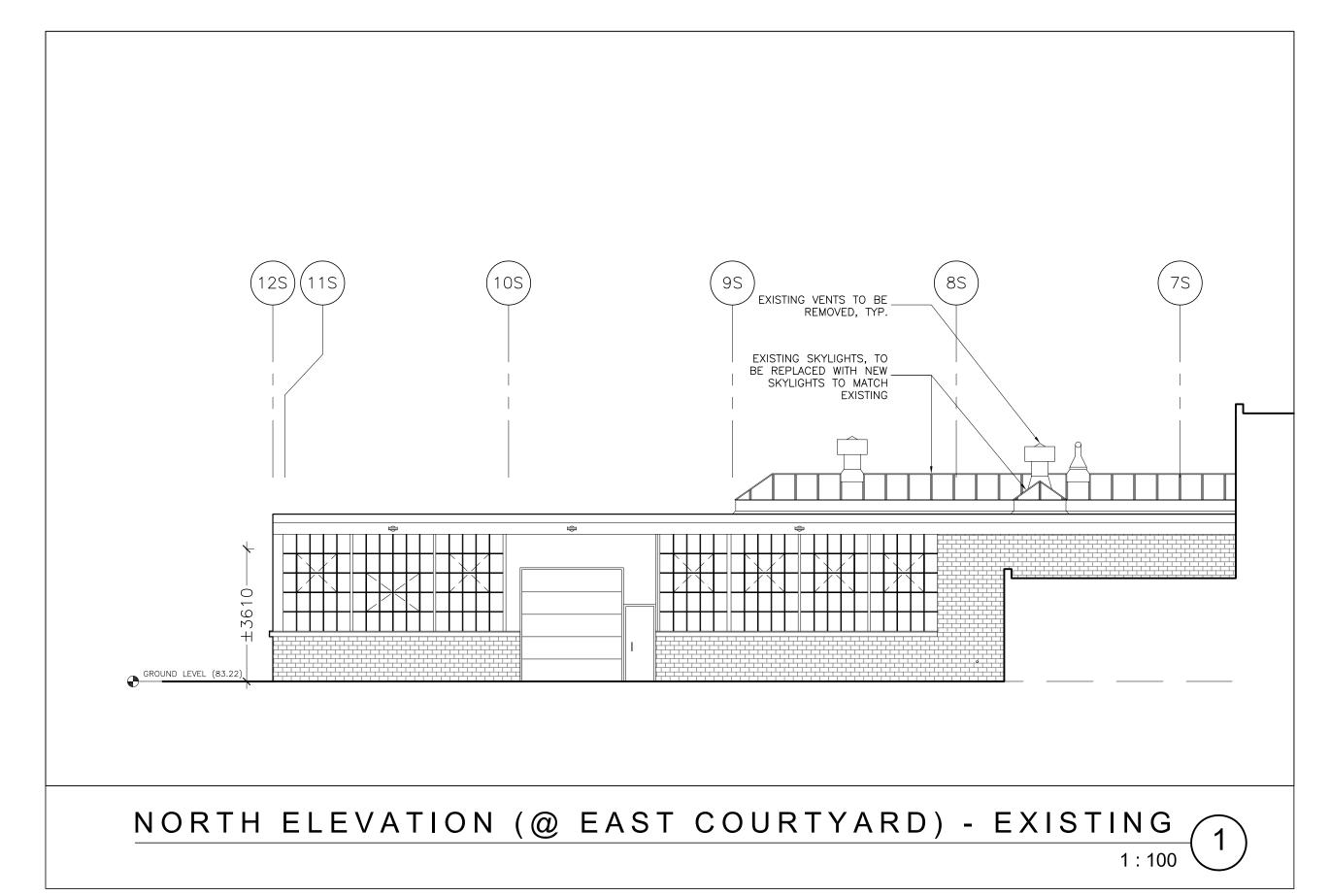
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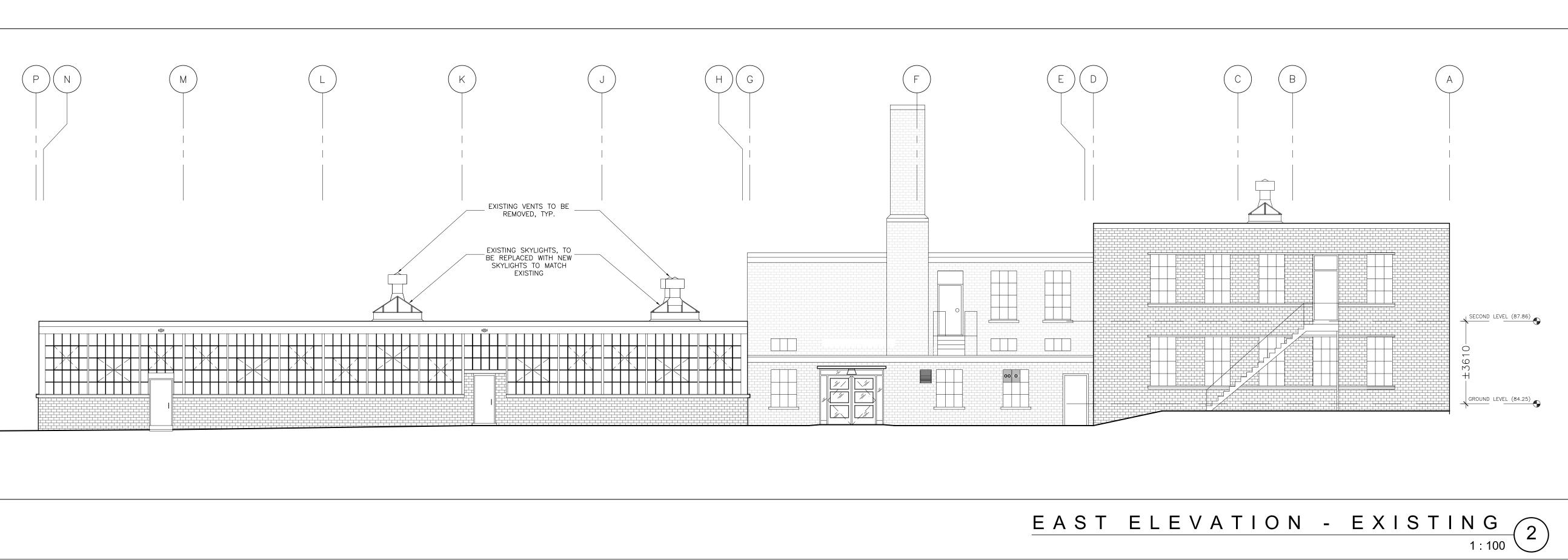
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- EXISTING & DEMOLITION

PROJECT NO: 16361 **SCALE:** 1:100 DRAWN BY: KP

PROJECT NORTH: REVIEWED BY: BJ

DRAWING NO:







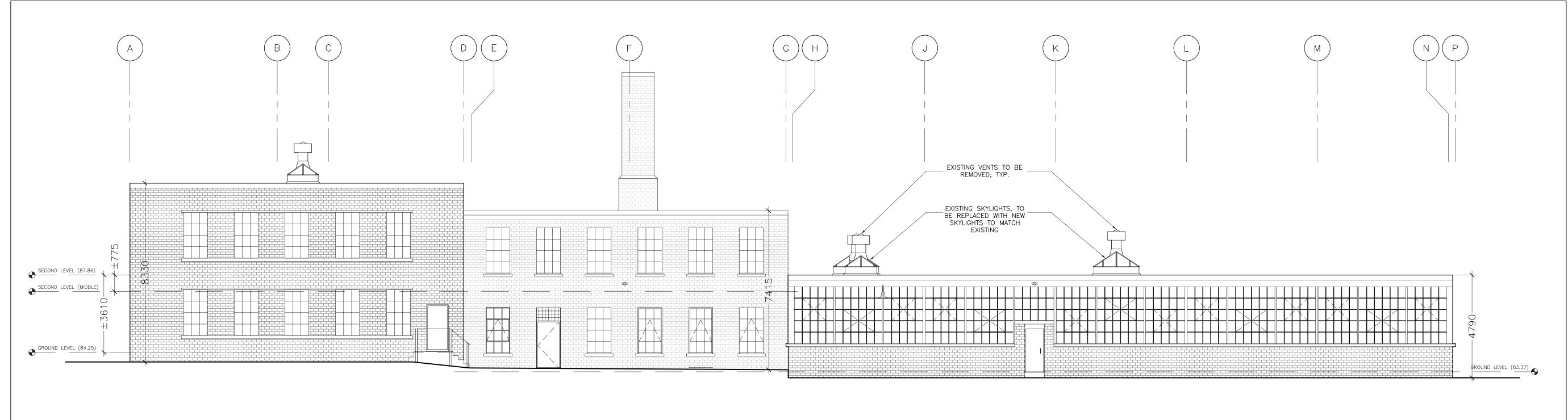
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GENERAL NOTES - ELEVATIONS

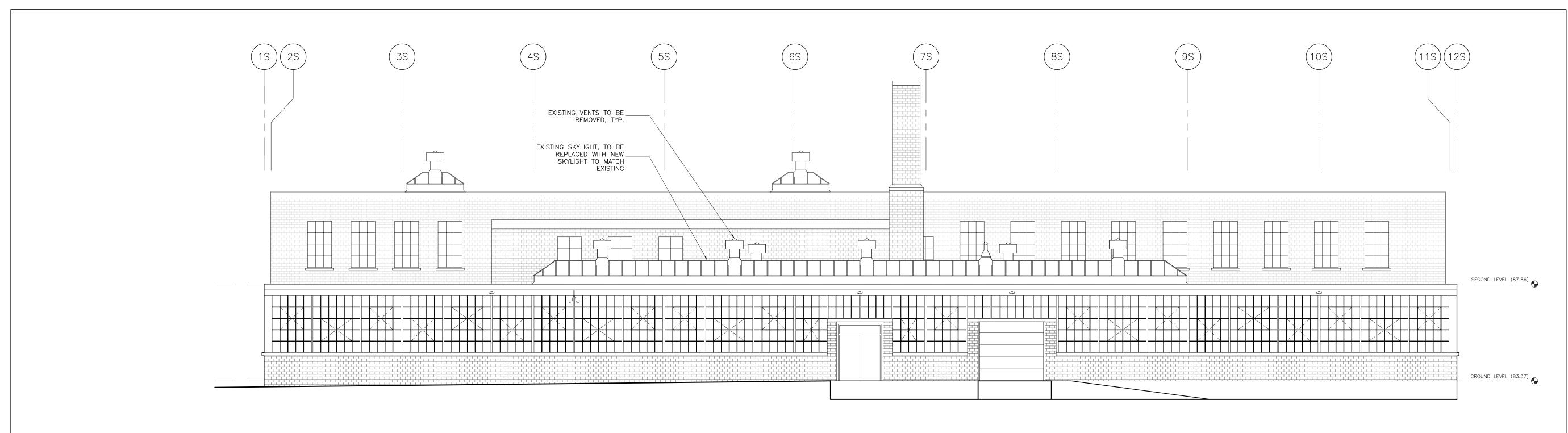
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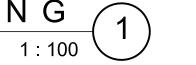
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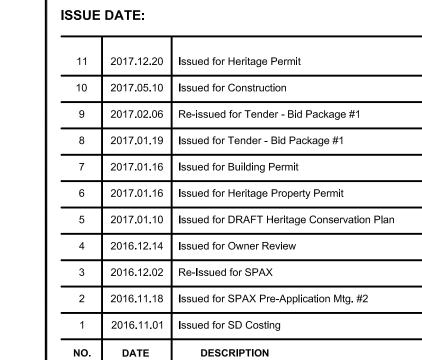


WEST ELEVATION - EXISTING
1:100



SOUTH ELEVATION - EXISTING
1:100





SMALL ARMS BUILDING - PHASE 1 RENOVATION & RESTORATION

1352 Lakeshore Road East Mississauga, ON

DRAWING TITLE: EXTERIOR ELEVATIONS
- EXISTING & DEMOLITION

PROJECT NO: 16361 **SCALE:** 1:100 DRAWN BY: KP **REVIEWED BY**: BJ

DRAWING NO:

PROJECT NORTH:

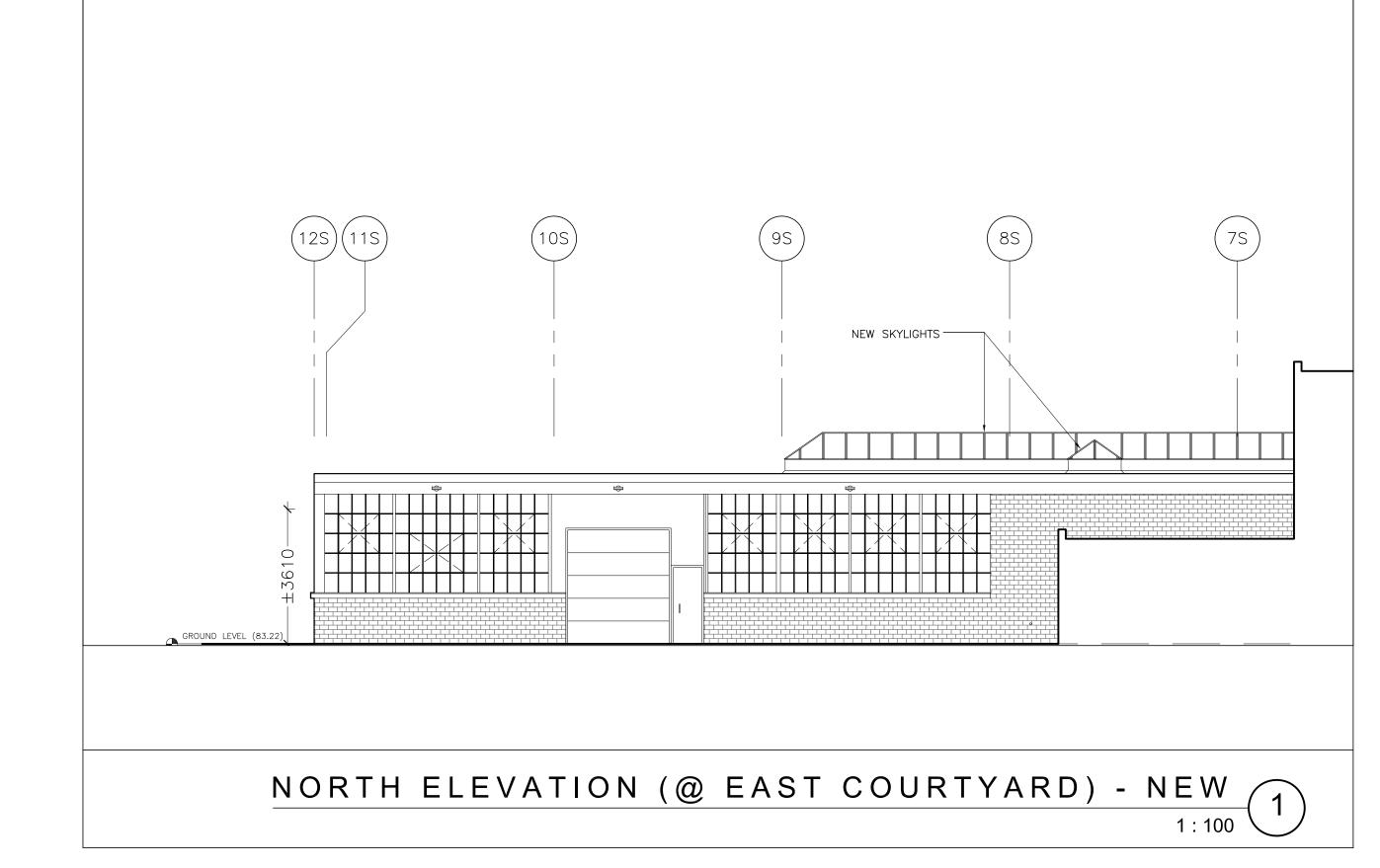


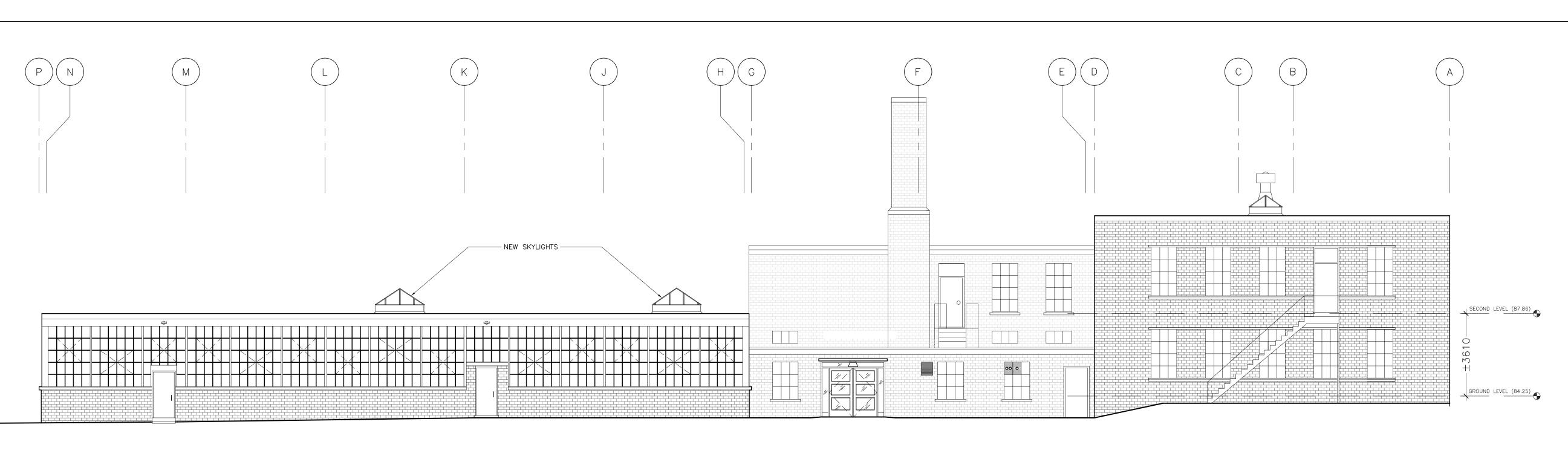
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SMALL ARMS BUILDING - PHASE 1 RENOVATION & RESTORATION

1352 Lakeshore Road East Mississauga, ON

DRAWING TITLE: EXTERIOR ELEVATIONS - NEW

PROJECT NO: 16361 **SCALE:** 1:100 DRAWN BY: KP

REVIEWED BY: BJ

DRAWING NO:

EAST ELEVATION - NEW
1:100

PROJECT NORTH:



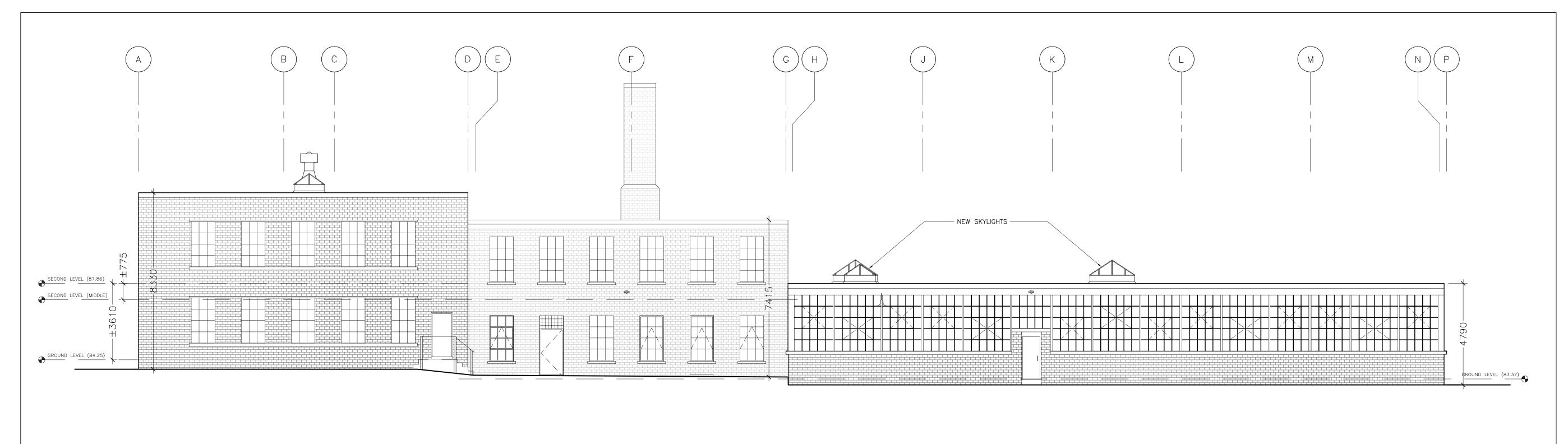
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GENERAL NOTES - ELEVATIONS

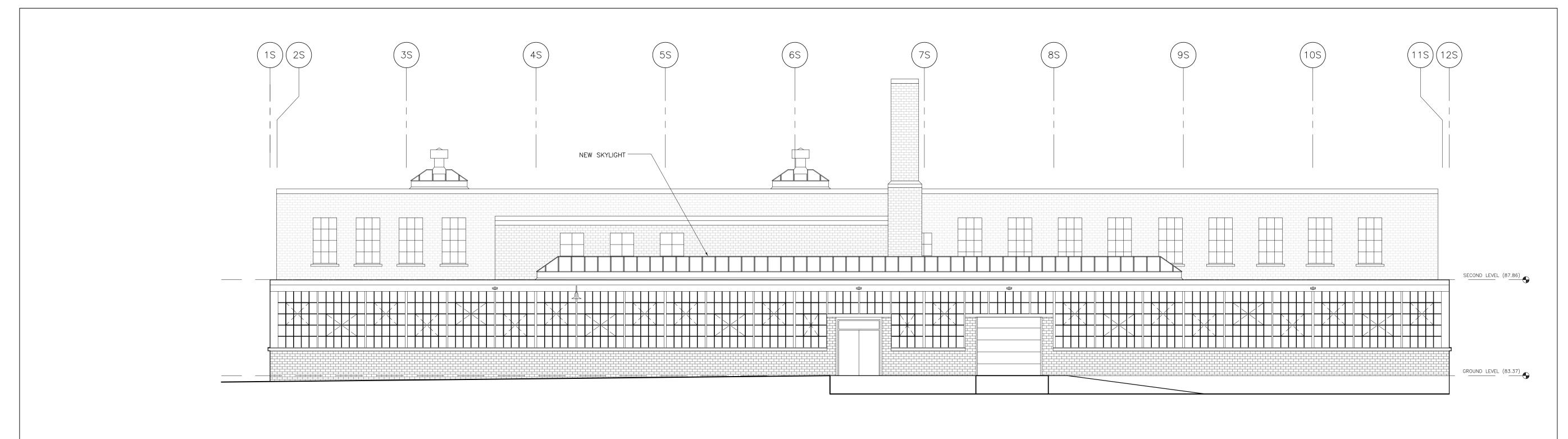
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WEST ELEVATION - NEW
1:100



SOUTH ELEVATION - NEW
1:100

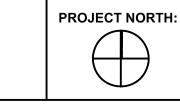
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NO	. DATE	DESCRIPTION			

SMALL ARMS BUILDING - PHASE 1 RENOVATION & RESTORATION

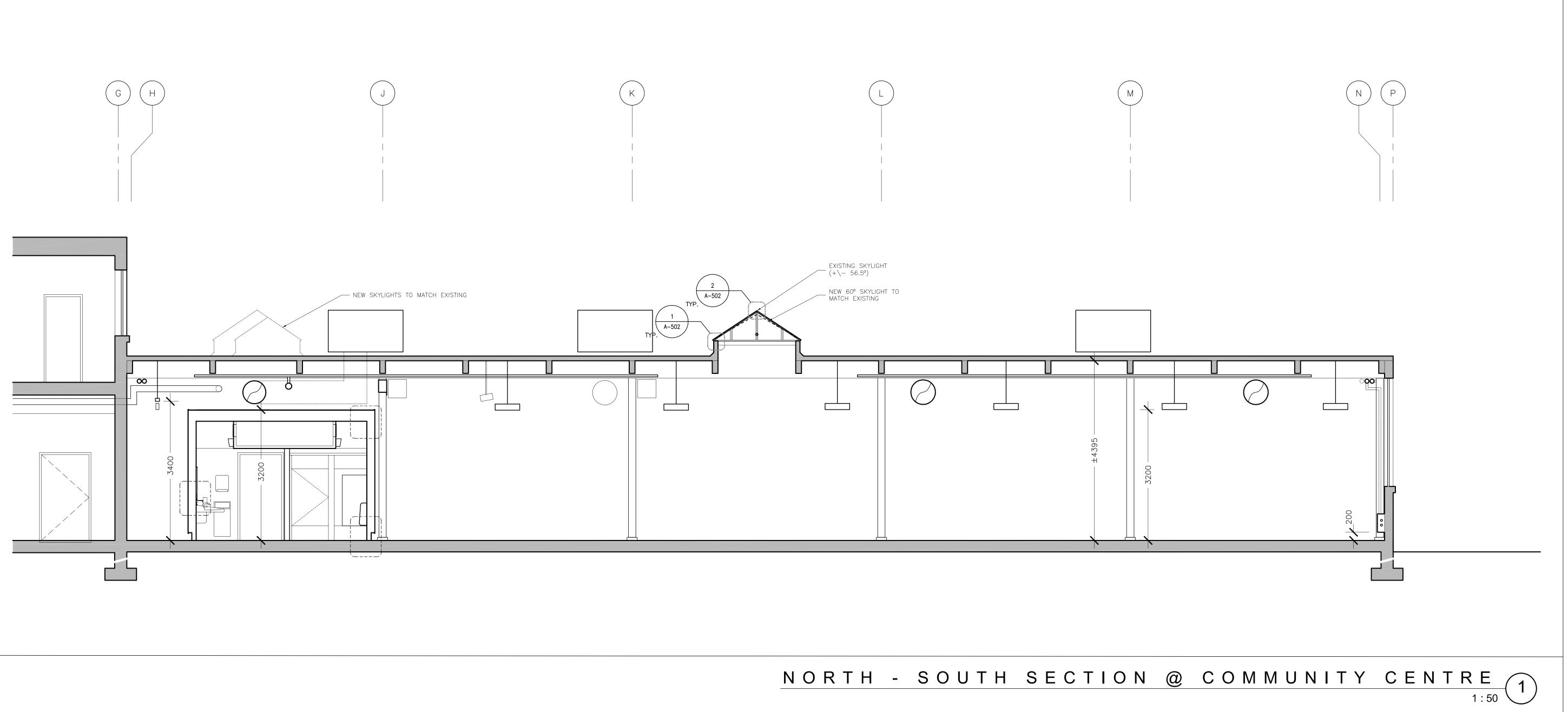
1352 Lakeshore Road East Mississauga, ON

DRAWING TITLE: EXTERIOR ELEVATIONS - NEW

PROJECT NO: 16361 **SCALE:** 1:100 DRAWN BY: KP REVIEWED BY: BJ



DRAWING NO:





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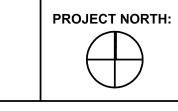
PROJECT

SMALL ARMS BUILDING - PHASE 1
RENOVATION & RESTORATION

1352 Lakeshore Road East Mississauga, ON

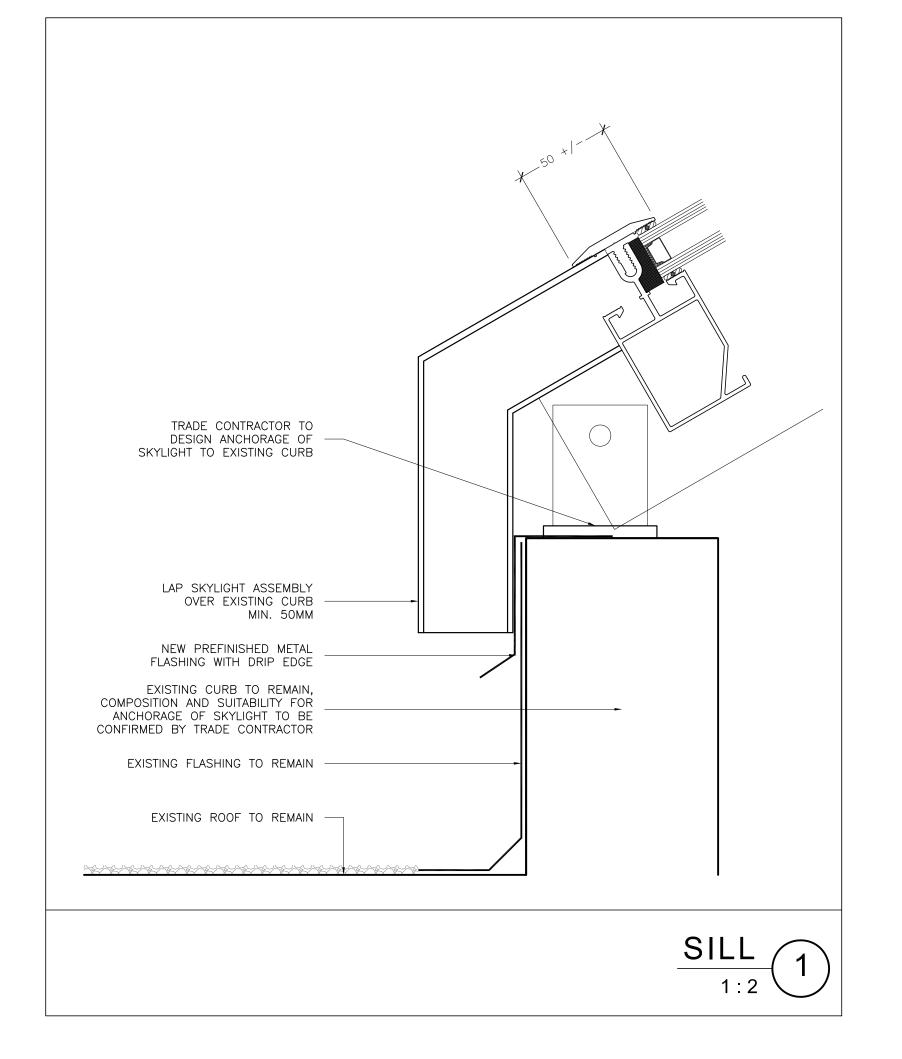
DRAWING TITLE:
NORTH-SOUTH
BUILDING SECTION

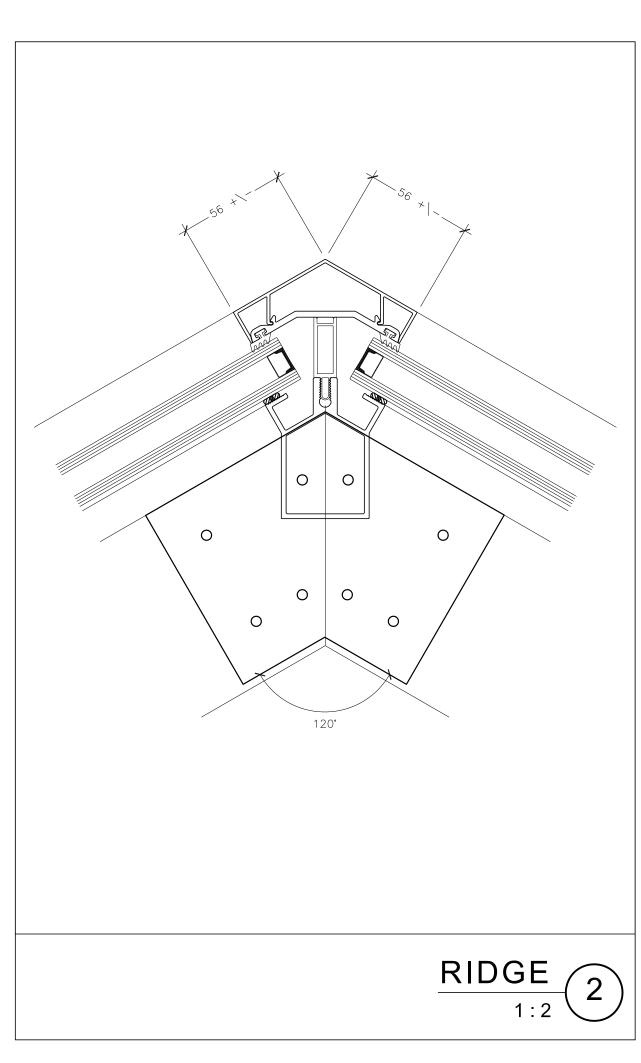
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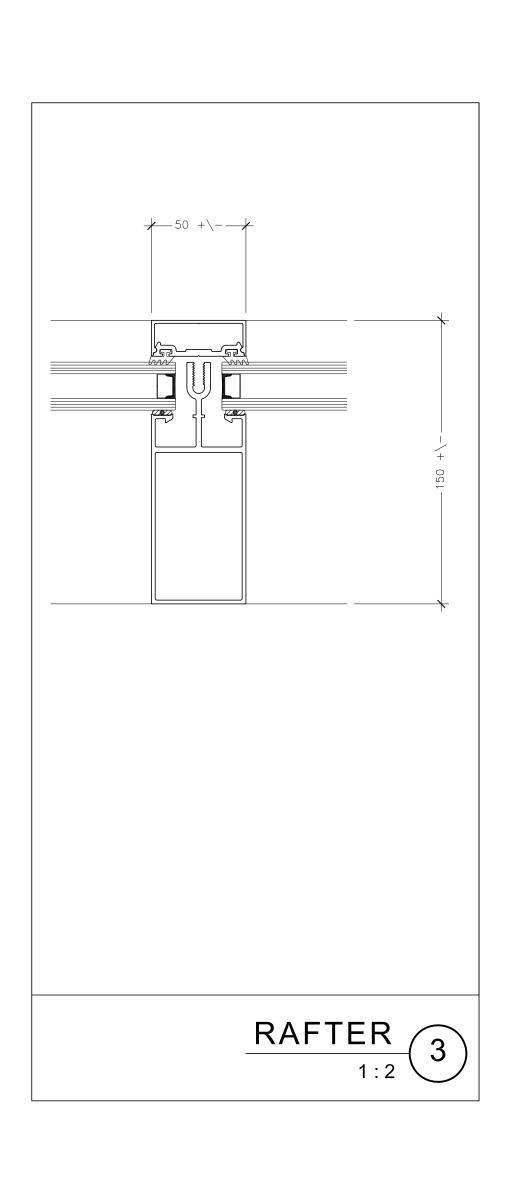


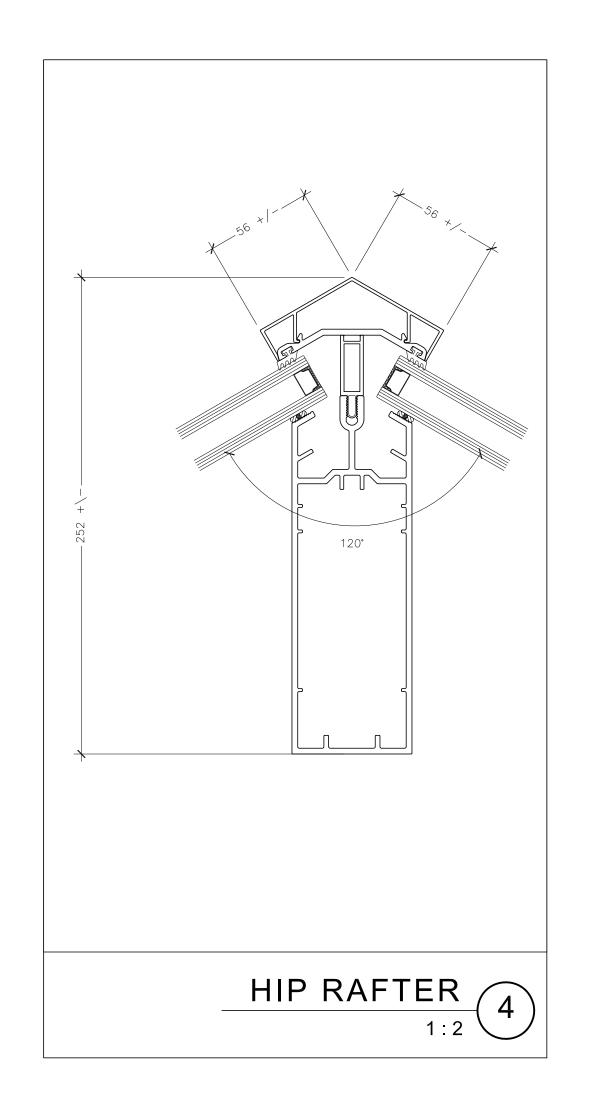
DRAWING NO:

A-300











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GENERAL NOTES - DETAILS

1. DIMENSIONS OF EXISTING WINDOW SECTIONS ARE APPROXIMATE. TRADE CONTRACTOR TO VERIFY ALL DIMENSIONS ON SITE, TYPICAL.

2. EXISTING WINDOWS, WINDOW PUTTY, SKYLIGHTS & FINISHES CONTAIN HAZARDOUS MATERIALS; REFER TO LEAD ABATEMENT SPECIFICATIONS & ASBESTOS AND LEAD ABATEMENT SPECIFICATIONS PREPARED BY MARTECH GROUP INC.

3. EXISTING WINDOWS, PRECAST CONCRETE SILLS, EXTERIOR MASONRY & SKYLIGHTS ARE HERITAGE DESIGNATED; REFER TO HERITAGE SPECIFICATIONS PREPARED BY ERA ARCHITECTS INC.

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NO.	DATE	DESCRIPTION		

PROJECT: SMALL ARMS BUILDING - PHASE 1

RENOVATION & RESTORATION

1352 Lakeshore Road East Mississauga, ON

DRAWING TITLE:

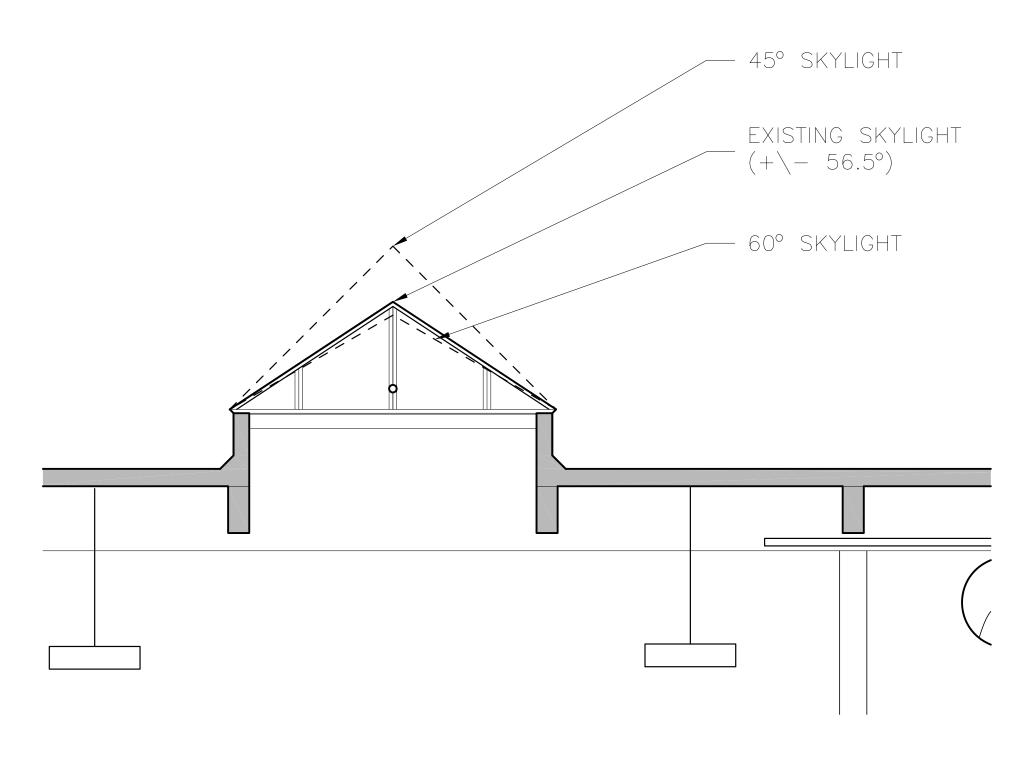
SKYLIGHT DETAILS

PROJECT NO: 16361 SCALE: 1:2 DRAWN BY: KP REVIEWED BY: BJ

PROJECT NORTH:

DRAWING NO:

-502



LGA Architectural Partners Project No. 16361

Section 08 62 00 UNIT SKYLIGHTS Page 1

1 General

1.1 SECTION INCLUDES

.1 Labour, Products, equipment and services necessary for unit skylight Work in accordance with the Contract Documents.

1.2 **REFERENCES**

- .1 AAMA 611, Voluntary Standards for Anodized Architectural Aluminum.
- .2 ANSI H35.1M, Alloy and Temper Designation Systems for Aluminum (Metric).
- .3 ASTM B211M, Specification for Aluminum and Aluminum-Alloy Bar, Rod, and Wire.
- ASTM E283, Standard Test Method for Determining Rate of Air Leakage Through Exterior Windows, Curtain Walls, and Doors Under Specified Pressure Differences Across the Specimen.
- .5 ASTM E330, Standard Test Method for Structural Performance of Exterior Windows, Doors, Skylights and Curtain Walls by Uniform Static Air Pressure Difference.

1.3 **DESIGN REQUIREMENTS**

- .1 Restrict air infiltration/exfiltration, through sloped glazing/skylights in accordance with ASTM E283 at pressure differential as indicated: 0.0003 m³/s m² at differential of 500 Pa.
- .2 Design skylights to accommodate required vertical deflection in supporting structure and movement of supporting structure due to live, dead load, and creep or deflections, seismic load, sway displacement and similar items.
- .3 Design skylight to match existing skylight.

1.4 **SUBMITTALS**

- .1 Product data:
 - .1 Submit duplicate copies of manufacturer's Product data in accordance with Section 01 10 10 indicating:
 - .1 Performance criteria, compliance with appropriate reference standard, characteristics, and limitations.
 - .2 Product transportation, storage, handling and installation requirements.
- .2 Shop drawings: Submit shop drawings indicating elevations, sections and details, dimensions, thicknesses, materials, fastening devices, installation details, and finishes in accordance with Section 01 10 10.

- .3 Reports:
 - .1 Submit substantiating engineering data, and independent test results of pretested, unit skylight to substantiate compliance with the design criteria including air leakage and water penetration conforming to ASTM E283.
 - .2 Submit documentation to substantiate ten years of experience in Aluminum work manufacture and installation of similar size and nature.
 - .4 Closeout submittals: Submit cleaning and maintenance for incorporation into Operations and Maintenance Manuals in accordance with Section 01 10 10.

1.5 **QUALITY ASSURANCE**

- .1 Retain a Professional Engineer, licensed in Province of Ontario, with experience in unit skylight of comparable complexity and scope to perform the following services as part of the work of this Section:
 - .1 Design of unit skylight to match existing skylight.
 - .2 Review, stamp, and sign shop drawings.
 - .3 Conduct on-Site inspections and prepare and submit inspection reports.

 Number and frequency of inspection to be sufficient to satisfy Engineer that unit skylight is being fabricated and installed in accordance with reviewed shop drawings and design intent.

.2 Mock-up:

- .1 Provide one full scale mock-up of unit skylight assembly testing of air and water infiltration, in location acceptable to Consultant.
- .2 Demonstrate conformance to specified design requirements.
- .3 Demonstrate installation procedures, finished look and quality of workmanship including, but not limited to, framing members, glazing units, anchorage and materials.
- .4 Mock-up may form part of final Work, if acceptable to Consultant. Remove and dispose of mock-ups which do not form part of Work.

2 Products

2.1 MANUFACTURED UNITS

- .1 Skylight framing: Aluminum framed, ridged skylight with sloped gable constructed of extrusions and channels meeting ASTM B211 and ANSI H35.1, with integral condensation gutters complete with weeping ports and retainer frame. 'Skyview 2300' by Alumicor Limited or approved alternative.
- .2 Glazing and glazing materials: In accordance with section 08 80 00.
- .3 Fasteners: Stainless steel screws to manufacturers standard.
- .4 Aluminum work sealant: Single-Component, silicone sealant; 'Spectrem 1' by Tremco or '790 Silicone Building Sealant' by Dow Corning Corporation. Colour as selected by Consultant.

Page 3

.5 Finish: 'Duranar (XL)' by PPG in accordance with AAMA 2605. Colour: White, unless otherwise indicated by Consultant.

2.2 **FABRICATION**

.1 Fabricate skylights with an integral interior condensation gutter.

3 Execution

3.1 **EXAMINATION**

.1 Verify condition and dimensions of previously installed Work upon which this Section depends. Report defects to Consultant. Commencement of Work means acceptance of existing conditions.

3.2 **PREPARATION**

.1 Verify all dimensions affecting Work of this Section from site. Ensure adjacent and adjoining materials, flashings, curbs, framing, anchors, fastenings and the like, are properly set and in readiness to accept the structural supports and glazed skylight.

3.3 **INSTALLATION**

- .1 Install skylights in accordance with reviewed shop drawings and manufacturer's written instructions.
- .2 Install components plumb, level and in proper alignment. Secure preformed curb assembly to substrate.
- .3 Metals in contact with dissimilar metals, concrete or other cementitious surface shall have the surfaces protected by a suitable inert material.
- .4 Conceal all fasteners or set flush with surface unless otherwise indicated.
- .5 Adjust and seal assembly with provision for expansion and contraction of components. Secure and seal frame to curb.

END OF SECTION

LGA Architectural Partners Project No. 16361

Section 08 80 00 GLAZING Page 1

1 General

1.1 SECTION INCLUDES

- .1 Design, labour, Products, equipment, tools, and services necessary for glass and glazing Work in accordance with the Contract Documents.
- .2 Refer to Section 08 81 00 for Heritage Glass and Glazing Work.

1.2 **REFERENCES**

- .1 ASTM C920, Specification for Elastomeric Joint Sealants.
- .2 ASTM D2240, Test Method for Rubber Property Durometer Hardness.
- .3 CAN/CGSB-12.1-M, Tempered or Laminated Safety Glass.
- .4 CAN/CGSB-12.3-M, Flat, Clear Float Glass.
- .5 CAN/CGSB-12.8, Insulating Glass Units.
- .6 CAN/CGSB-12.11-M, Wired Safety Glass.
- .7 CAN/CGSB-12.20-M, Structural Design of Glass for Buildings.
- .8 Glass Association of North America (GANA) Glazing Manual.
- .9 NFPA 80, Standard for Fire Doors and Other Opening Protectives.

1.3 **DESIGN REQUIREMENTS**

- .1 Glass Design:
 - .1 Design glass using a probability of breakage of 8 lites per 1000 at the first application of design load.
 - .2 Design glass to CAN/CGSB-12.20-M. Perform stress analysis. Design units to accommodate live, dead, lateral, wind, seismic, handling, transportation, and erection loads.
 - .3 Perform a thermal stress analysis on each glass unit with Low-E coating and provide heat strengthening and/or tempered units as necessary to prevent thermal breakage.
 - .4 Perform a thermal stress analysis on each insulating thermal unit and provide heat strengthening and/or tempered units as necessary to prevent thermal breakage.
 - .5 Where required, design glazing units so as not to allow thermal stress fracture due to heat build-up behind insulating units.

- .2 Design glazing and connections to substrate where the bottom of the Glazing extends to a point below 1070mm above finished floor level and separates a floor level from an adjacent interconnected space to with stand the required guard loads in accordance with the OBC and applicable local regulations. Provide a letter (shop drawings) signed & sealed by a Professional Engineer certifying the Glazing conform with the requirements of the OBC.
- .3 Limit glass deflection to flexural limit of glass with full recovery of glazing materials.
- .4 Utilize inner light of multiple light sealed units for continuity of air and vapour seal.

1.4 **SUBMITTALS**

- .1 Shop drawings: Submit shop drawings in accordance with Section 01 10 10 for fabrication and erection of glazing elements indicating materials, thicknesses, finishes, connections, joints, method of anchorage, number of anchors, supports, reinforcement, details, and accessories.
- .2 Samples:
 - .1 Submit following samples in accordance with Section 01 10 10.
 - .2 Submit one sample of each type of glass.
 - .1 300 x 300 mm of each type of insulating glass unit, complete with each different Low-E coating.
 - .2 300 x 300 mm of mirror.
- .3 Certificates: Submit manufacturer's certification that glass and glazing materials are compatible.
- .3 IGMA Compliance Audit: Submit in accordance with Section 01 10 10, a written certification of successful completion of a Compliance Audit within the last six months.

1.5 **QUALITY ASSURANCE**

- .1 Insulating glass unit fabricators shall be a certified member of the Insulating Glass Manufacturer's Alliance (IGMA). IGMA members must participate in the certification program and shall have successfully passed a Compliance Audit within the last six months.
- .2 Installers qualifications: Perform Work of this Section by a company that has a minimum of five years proven experience in the installation of glazing units of a similar size and nature.

1.6 **SITE CONDITIONS**

.1 Glaze with compounds, sealants, or tapes only when glazing surfaces are at temperatures over 4°C, and when positive that no moisture is accumulating on them from rain, mist, or condensation.

Section 08 80 00 GLAZING Page 3

.2 When temperature of glazing surfaces is below 4°C, obtain from Consultant approval of glazing methods and protective measures which will be used during glazing operations.

1.7 **EXTENDED WARRANTY**

.1 Glazing:

- .1 Provide a 10 year warranty, commencing from date of Substantial Performance, against defects in the insulating glass units and warrant them to be free from material obstruction of vision as a result of dust or film formation on the internal glass surfaces by any cause, under normal design conditions. Warrant the following:
 - .1 The insulating glass units shall be free from condensation, fogging material obstruction of vision as a result of dust or film formation on the internal glass surfaces by any cause under design conditions.
 - .2 The insulating glass units shall not change their mechanical design properties and shall not in any way deteriorate, degrade, delaminate or change their visual appearance.
 - .3 The glass units will not break due to thermal shock and temperature differential due to inherent glass faults, other than extrinsic glass breakage.
- .2 Warrant that glazing work is water and weather tight and free from distortion; that glazing materials will not deteriorate from exposure to the atmosphere and weather, will not be displaced, and will be free from permanent deformation under load; and that glass and insulating glass units will not be broken, cracked or scratched by causes resulting from defects in material, workmanship or design of glazing installation.
- .3 Cracked or scratched glass, shrinking, cracking, staining, hardening, sagging of glazing materials; loosening or rattling of glass; and leaking of glazed joints will be considered defective work.
- .4 Warranty shall provide for the removal of defective Products, replacement with new Products conforming to the specifications, and restoration of work damaged by removal and replacement including labour and installation costs.

2 Products

2.1 ACCEPTABLE MANUFACTURERS

- .1 Glass manufacturers:
 - ,1 AGC Flat Glass.
 - .2 Cardinal Glass Industries.
 - .3 Guardian Industries.
 - .4 PPG Industries Ltd.
 - .5 Viracon Inc.

2.2 MATERIALS

- .1 All materials under Work of this Section, including but not limited to, primers, coatings, sealers, sealants, adhesives and cleaners are to have low VOC content limits.
- .2 Float glass (FGL): CAN/CGSB-12.3-M; clear, glazing quality, minimum 6 mm thick. Clear or tinted as indicated. Heat strengthened as required.
- .3 Tempered glass (TGL): CAN/CGSB-12.1-M, Type 2, Class B, Category II, clear, minimum 6 mm thick.
- .4 Wired glass (WGL): CAN/CGSB 12.11-M, Type 1, Style 3; 6 mm thick or as otherwise noted on Door Schedule, clear polished glass.
- Laminated glass (TLGL2): to CAN/CGSB-12.1, Category II, consisting of top layer of 6 mm thick clear tempered glass, 0.8 mm thick clear PVB interlayer, and bottom layer of 6 mm thick clear tempered glass. Heat strengthening and/or tempered laminated glass as necessary to prevent thermal breakage.
- .6 Silvered mirror glass (MGL):
 - .1 to ASTM C1503, 6 mm thick, laminated safety mirror glass fabricated with polished plate or float glass. Mirror backing shall be resistant to sulphur and hydrogen sulphide fumes. Polish and round all corners of mirrors.
 - .2 Mirror attachment accessories:
 - .1 Mirror adhesive: Chemically compatible with mirror coating and wall substrate.
 - .2 Stainless steel clips.
- .7 Insulating glass units: To CAN/CGSB-12.8-M and IGMA requirements utilizing approved metallic stainless steel edge spacer. Dual seal with a PIB primary seal and silicone secondary seal. Use perforated metalic stainless steel edge spacer for acoustical glass units.
- .8 Argon gas: 100% pure. Argon gas to be used to fill air space at all insulated glass units.
- .9 Low-E coating (Soft coat): High performance sputtered low-E coating. Provide insulating glass units with low-E coating edge deletion and low-E coating. Apply low-E coating to second surface unless otherwise indicated. 'EnergySelect 36' by AGC Flat Glass, 'Cardinal LoE-272' by Cardinal Glass Industries or 'SN 68' by Guardian Industries.
- .10 Glazing types:
 - .1 Type 1: TGL 6 mm thickness at interior screens and non fire-rated doors.
 - .2 Type 2a: Single glazed FGL with Low-E coating at existing windows.
 - .3 Type 2b: Double glazed insulated glass with Low-E coating at new windows and doors.
 - .4 Type 3: WGL used at interior glass lites in fire-rated doors.

- .5 Type 4: TLGL2 with Low-E coating and argon filled unit at new/existing skylights.
- .6 Type 5: MGL, provide mirrors where indicated.
- .11 Glazing and rebate primers, sealants, sealers, and cleaners: Compatible with each other. Type as recommended by glass manufacturer.
- .12 Glazing sealant: Silicone sealant as recommended by glazing manufacturer. Verify compatibility with insulating glass unit secondary sealant.
- .13 Heel & toe bead: Silicone sealant as recommended by glazing manufacturer.
- .14 Glazing gasket: 'Visionstrip' by Tremco Ltd., extruded composite glazing seal, size as recommended by manufacturer.
- .15 Glazing tape: 'Polyshim II' glazing tape EPDM shim.
- .16 Glazing splines: Silicone, extruded shape to suit glazing channel retaining slot, colour as selected.
- .17 Setting blocks (regular): EPDM, 80 90 Shore A durometer hardness to ASTM D2240, sized to suit glazing method, glass unit weight and area.
- .18 Edge blocks: EPDM, 60-70 Shore A Durometer hardness, sized with 3 mm clearance from glass edge and spanning glass thickness(es). Capable of withstanding weight of glass unit, self adhesive on face.
- .19 Glass presence markers: Easily removable, non-residue depositing.
- .20 Screws, bolts and fasteners: Type 304 stainless steel.

2.3 **FABRICATION**

- .1 Verify glazing dimensions on Site.
- .2 Clearly label each glass lite with maker's name and glass type. Ensure labels are easily removable, non-residue depositing type. Do not remove labels until after Work is accepted by Consultant.
- .3 Fabricate glazing not less than 3 mm smaller than rebate size in either dimension; allow for edge spacers, shims, and setting blocks as necessary.
- .4 Work shall have smooth finished surfaces free from distortion and defects detrimental to appearance and performance.
- .5 Carefully make and fit details. Take special care with exposed finished Work to produce a neat and correct appearance to the Consultant's acceptance.

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	ion 08 ZING e 6	80 00 LGA Architectural Partners Project No. 16361
	.6	Grind and polish a 1.5 mm arris to both edges of exposed glazing at locations where glazing is not encapsulated in framing and where edges are exposed to occupants.
	.7	Fabricate argon filled thermal units with air space filled minimum 90% with argon gas.
3		Execution
¹ 3.1		EXAMINATION
	.1	Verify that openings for glazing are correctly sized and within tolerance.
	.2	Verify that surfaces of glazing channels or recesses are clean, free of obstructions, and ready to receive glazing.
	.3	Laminated glass edges shall be completely covered by tape to protect against sealants and water if required by Manufacturer.
3.2		PREPARATION
	.1	Clean contact surfaces with solvent and wipe dry.
	.2	Seal porous glazing channels or recesses with substrate compatible primer or sealer.
	.3	Prime surfaces scheduled to receive sealant.
3.3		INSTALLATION
	.1	Provide glazing in accordance with IGMA recommendations. Provide continuous contact between glazing tapes and gasket to the glazing.
	.2	Install glazing to the Work of Sections 08 11 13, 08 51 24 and 08 62 00.
	.3	Provide neat, straight sight lines. Trim excess glazing material flush with top of stops and fixed leg of frames.
	.4	Remove protective coatings, glazing stops, clean rebate and glass contact surfaces with solvent, wipe dry.

Apply primer/sealer to contact surfaces, prior to glazing.

Apply glazing tape as per manufacturer's instructions including recommended corner sealant.

Use setting blocks at 1/4 points and spacers to centre glass unit in frame.

.5

.6

.7

- .8 Install glazing in accordance with reviewed shop drawings and manufacturer's written instructions. Install glazing with full contact and adhesion at perimeter. Maintain edge clearance recommended by glass manufacturer.
- .9 Apply a continuous heel bead of sealant around perimeter of inboard lite of the sealed unit and the metal framing.
- .10 Re-install glazing stops ensuring continuous contact and rattle-free installation. Do not distort glass. Trim tape protruding more than 2 mm above stop.
- .11 Install glazing gasket in accordance with manufacturer's recommendations.
- .12 Do not cut or abrade tempered, heat treated, or coated glass.
- .13 Install glass presence markers in two cross stripes extending from diagonal corners.

 Maintain markers until final clean-up.
- .14 Remove, dispose of, and replace broken, cut, abraded glass, and defective glass including but not limited to production dimples, 'tiger-stripping', chips, cracks, etc.
- .15 Exterior glass: Glaze units with gasket on exterior side and glazing tape on interior side. Seal gap between glazing and stop with sealant to depth equal to bite of frame. Apply cap head of sealant along void between stop and glazing, to uniform line, flush with sight line. Tool or wipe sealant surface smooth.
- .16 Interior glass: Glaze interior glass using glazing gasket glazing tape.
- .17 Wire glass: Install wired glass in fire rated metal doors with 5 mm gap between glazing stops, in accordance with ULC and NFPA 80 requirements. Strike and point exposed joints between metal and glass.
- .18 Mirrors:
 - .1 Install mirrors in one single piece in sizes indicated without joints.
 - .2 Set mirrors with adhesive and clips, applied in accordance with manufacturer's instructions.
 - .3 Where indicated, provide continuous metal trim along all mirror edges, with mitred corners and concealed fastenings.

3.4 **CLEANING**

- .1 Immediately remove sealant and compound droppings from finished surfaces.
- .2 Remove labels, protective material, and glass presence markers from prefinished surfaces.

.3 Clean glass surfaces with cleaning agents and methods in accordance with Manufacturer's written instructions.

END OF SECTION

City of Mississauga

Corporate Report



Date: January 11, 2018

To: Chair and Members of Heritage Advisory Committee

From: Paul Mitcham, P. Eng, MBA, Commissioner of Community Services

Meeting date: February 6, 2018

Subject

Request to Alter a Heritage Designated Property: 31 Lakeshore Road East (Ward 1)

Recommendation

That the request to alter the property at 31 Lakeshore Road East as per the Corporate Report from the Commissioner of Community Services dated January 11, 2018, be approved.

Background

Section 33 of the Act requires permission from Council to alter property designated under Part IV of the Act. The City designated the subject property – the Port Credit Post Office – under Part IV of the Act in 2013 and approved an adaptive re-use shortly thereafter. As part of the adaptation, the owner now proposes to add exterior signage to the original brick portion of the building.

Comments

The owner proposes to install an exterior channel letter sign with halo lighting on the top storey of the south (rear) elevation as per the drawings, attached as Appendix 1. The fastening points would be drilled into the mortar joints rather than the brick so, would have a minimal and reversible impact on the heritage fabric. As such, staff recommend approval.

Financial Impact

There is no financial impact.

Conclusion

The owner of the property has applied for a heritage permit to install a channel letter sign with halo lighting to the rear of the subject property on the original brick Port Credit Post Office. As the fastening points will be drilled into the mortar joints rather than the brick, the proposal should be approved.

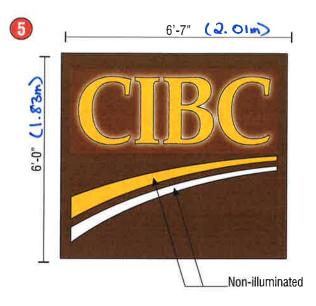
Attachments

Appendix 1: Drawings

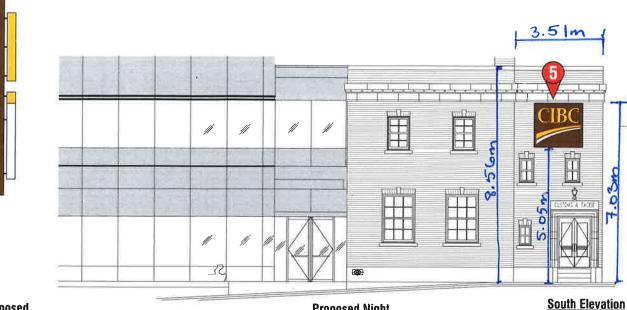


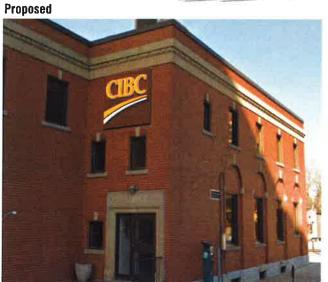
Paul Mitcham, P. Eng, MBA, Commissioner of Community Services

Prepared by: P. Wubbenhorst, Heritage Planner



Sign area: 3,678 m²
Sign weight: 113:4 kg





Proposed Night



Sign 5

Supply & install one(1) new exterior channel letters with halo lighting

Graphics / Substrate

Channel aluminum letters painted White, Yellow PMS-123C

Illumination

"CIBC"

White 6500k LED's Power supply placed behind wall Construction

"CIBC"

1/8" aluminum faces

3" - .050 aluminum returns

1" x 1/8" aluminum flange

3/16" clear lexan backs with

White 3635-70 Diffuser

The Swoosh:

1/8" aluminum faces

3" - .050 aluminum returns

1" x 1/8" aluminum flange

.080" aluminum backs

Backer Panel:

1/8" aluminum panel

3" x 3" x 1/8" aluminum angle return

2" x 2" x 1/8" aluminum mounting angle Ø3/8" thru bolts with aluminum crush angle

at mortar joints only (10x)

■ White paint

PMS 123C paint

Brown paint to match wall finish

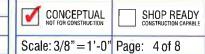
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www.zipsigns.com		
5040 North Service Rd. Burlington, ON		
Ph. 905-332-8332 Fax 905-332-9994		

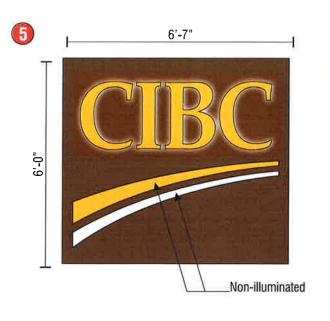
om	Client	CIBC
urlington, ON	Address	31 Lakeshore Rd East
05-332-9994		Mississauga, ON

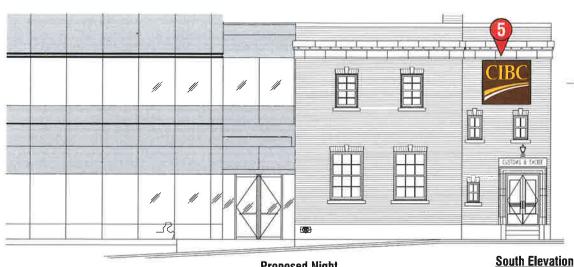
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	Dwg No.	S00276999
	Designer	VN
l	Sales	Coralie Saliege

Date	July 25, 2017
Rev.7	October 25, 2017
Rev.8	November 15, 2017













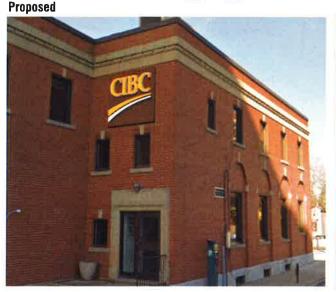
Design Notes:

- 1) Design loads as per 2012 OBC for Missisauga: q 1/50 = 0.44 kPa, Ss = 1.1 kPa, Sr = 0.4 kPa
- Drawings reviewed by Signum Engineering Inc. for sign connections only. Reviewed for sign type #5

84 Shadywood Gres Kitchener, ON: N2M tel: 519.572 7206

Specifications:

- 1) Aluminum angle alloy: 6061-T6
- 2) Fasteners by Powers Fasteners (Lok-Bolt Sleeve anchor)



Proposed Night



Sign 5

Supply & install one(1) new exterior channel letters with halo lighting

Graphics / Substrate

Channel aluminum letters painted White, Yellow PMS-123C

Illumination

"CIBC"

White 6500k LED's Power supply placed behind wall

Construction

"CIBC"

1/8" aluminum faces

3" - .050 aluminum returns

1" x 1/8" aluminum flange

3/16" clear lexan backs with

White 3635-70 Diffuser

The Swoosh:

1/8" aluminum faces

3" - .050 aluminum returns

1" x 1/8" aluminum flange

.080" aluminum backs

Backer Panel:

1/8" aluminum panel

3" x 3" x 1/8" aluminum angle return

2" x 2" x 1/8" aluminum mounting angle

Ø3/8" x 4" Lag bolts with Powers Lag Shields at mortar joints only (16x)

Yellow PMS 123C paint

Brown paint to match wall finish

S:\Customers\C\CIBC\Tenders 2012-Present\Lakeshore and Stavebank_Mississauga\S0026999\Design\S00276999

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Ph. 905-332-8332 Fax 905-332-9994			

Client	CIBC		
Address	31 Lakeshore Rd East		
	Mississauga, ON		

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Dwg No.	So026999		
Designer	VN		
Sales	Coralie Saliege		

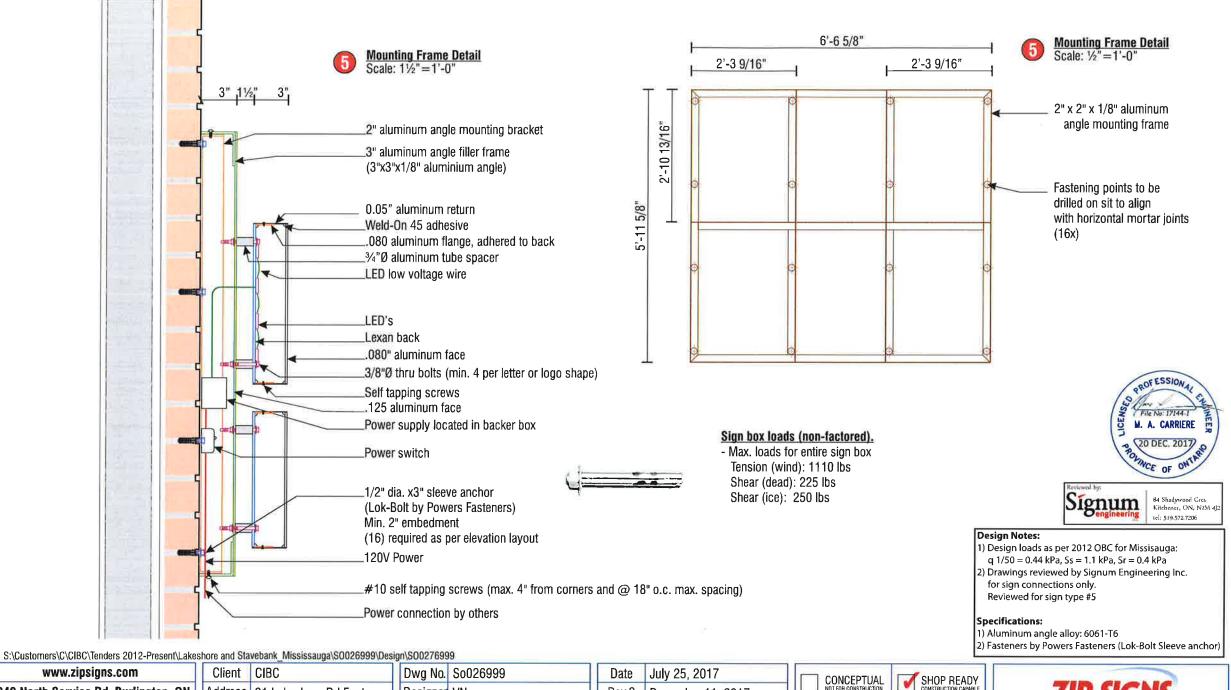
Date	July 25, 2017		
Rev.9	December 11, 2017		
Rev.8	November 15, 2017		



Scale: 3/8"=1'-0" Page: 4 of 8

SHOP READY





www.zipsigns.com
5040 North Service Rd. Burlington, ON
Ph. 905-332-8332 Fax 905-332-9994

Address 31 Lakeshore Rd East
Mississauga, ON

Dwg No. So026999

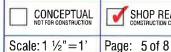
Designer VN

Sales Coralie Saliege

 Date
 July 25, 2017

 Rev.9
 December 11, 2017

 Rev.8
 November 15, 2017





City of Mississauga

Corporate Report



Date: January 11, 2018

To: Chair and Members of Heritage Advisory Committee

From: Paul Mitcham, P. Eng, MBA, Commissioner of Community Services

Meeting date: February 6, 2018

Subject

Request to Alter a Heritage Designated Property: 1011 Old Derry Road (Ward 11)

Recommendation

That the request to alter the property at 1011 Old Derry Road as per the Corporate Report from the Commissioner of Community Services dated January 11, 2018, be approved.

Background

The subject property is designated under Part V of the Ontario Heritage Act as it forms part of the Meadowvale Village Heritage Conservation District (HCD). Changes to the property are subject to the Meadowvale Village HCD Plan, 2014 and substantive changes identified in said plan require a heritage permit. Non-substantive changes that do not comply with the design guidelines also require a heritage permit.

The owner of the subject property installed a vinyl lined steel walled in ground pool, decks and armour stone retaining wall and privacy fencing. A heritage permit was issued for the work in 2016. Since that time an aluminum guard rail system, frosted glass panel railing and stone veneer wall have been installed at the west end of the rear of the property. The plans are attached as Appendix 1.

Comments

The Meadowvale Village HCD plan states that:

Fencing, in keeping with traditional fencing styles within the Village, when required for safety and security, will be permitted where the following conditions are satisfied:

- Sited within the boundary of the private property
- Constructed of fence materials which currently exist within the Village
- Complies with City by-laws (section 4.2.1.13)

Additionally, the plan states that:

 Privacy fencing will be permitted in areas where it cannot be viewed from the public realm (section 4.2.1.13)

Heritage Planning understands that some of the railings and panels are proposed for safety and privacy reasons. It has not been demonstrated that the proposed railings and walls are constructed of fence materials that currently exist within the village. The frosted glass panel railing and stone veneer wall, at minimum, are visible from the public realm.

As per correspondence from its Chair: "Resident members of the [Meadowvale Village] Heritage Conservation District Advisory] Subcommittee attended a site visit on Friday November 24/17 and observed that since the frosted glass panel, railing and stone veneer wall were barely visible at present, the approved new garage to be constructed at 7005 Pond Street will almost entirely take them out of view to the public realm. This Subcommittee is therefore not opposed to the Application." Staff supports the Advisory Subcommittee's recommendation due to the limited visibility from the public realm.

Financial Impact

There is no financial impact.

Conclusion

The owner of the property has applied for a heritage permit for the installed aluminum guard rail system, frosted glass panel railing and stone veneer wall at the rear of the property. As at least some of these elements are visible from the public realm and are made of materials that have not been demonstrated to exist within the village, they do not comply with the plan. Due to support from the Meadowvale Village Heritage Conservation District Advisory Subcommittee, the proposal should be approved.

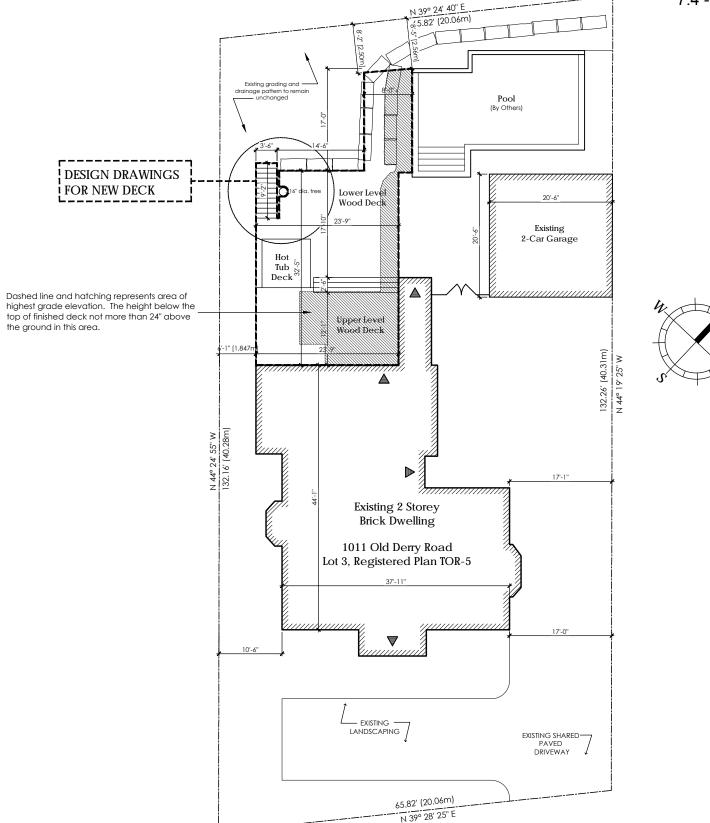
Attachments

Appendix 1: Drawings



Paul Mitcham, P. Eng, MBA, Commissioner of Community Services

Prepared by: P. Wubbenhorst, Heritage Planner



Old Derry Road

LEGAL INFORMATION

PART OF LOT 3, PLAN TOR-5 CITY of MISSISSAUGA

Construction Notes

- 1. All dimensions to be checked and verified on site prior to commencement of work. Any discrepancies shall be brought to the attention of Mackitecture prior to continuation of work.
- 2. The contractor shall take all precautionary measures under the occupational health and safety act as required by the ministry of labour.
- 3. All work shall be done in accordance with the minimum standards and specifications of the municipality's engineering department.
- 4. The contractor is responsible for ensuring that there is no interruption of any surface or subsurface drainage flow that would adversely affect neighboring properties

 5. Existing grade to remain the same, unless otherwise noted.

Climactic Data

Location: Mississauga Design snow load (9.4.2.2.): 1.30 kPa Wind load (q50) (SB-1.2.): 0.38 kPa

Project Statistics			
Address - 1011 Old Derry Road	Lot 3, F	Registered	Plan TOR-5
Zoning	R	21-32, CofA	"A" 359/1 <i>6</i>
Lot area (750 m2 min)			802.38 m2
Lot Coverage	Existing	Proposed	Total
Dwelling foot print (including garage and porch)	191.45 m2	0.00 m2	191.45 m2
Deck (greater than 0.61m height & 10 m2)	54.14 m2	0.00 m2	54.14 m2
Accessory structures (Shed, gazebo, etc)	0.00 m2	0.00 m2	0.00 m2
Eaves (greater than 0.45m)	0.00 m2	0.00 m2	0.00 m2
Other: Balcony, 2nd floor overhang, etc	0.00 m2	0.00 m2	0.00 m2
Subtotal	245.59 m2	0.00 m2	245.59 m2
Total Proposed Lot Coverage (31% max)	30.61%	0.00%	30.61%
Deck Area			
Deck area greater than 0.61 m height	54.15 m2	0.00 m2	54.15 m2
Deck area less than 0.61 m height	29.77 m2	0.00 m2	29.77 m2
Subtotal	83.92 m2	0.00 m2	83.92 m2

KEY PLAN

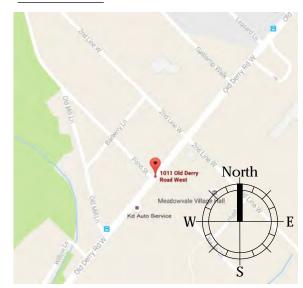




TABLE OF CONTENTS

- Cover Sheet and Site Plan
- Deck Framing Plan A2
- Α3 Deck Plan
- A4 Elevations

Date Scale 2017-11-28 3/16"=1'-0"

Α5 Elevation & Section

permitguys.ca

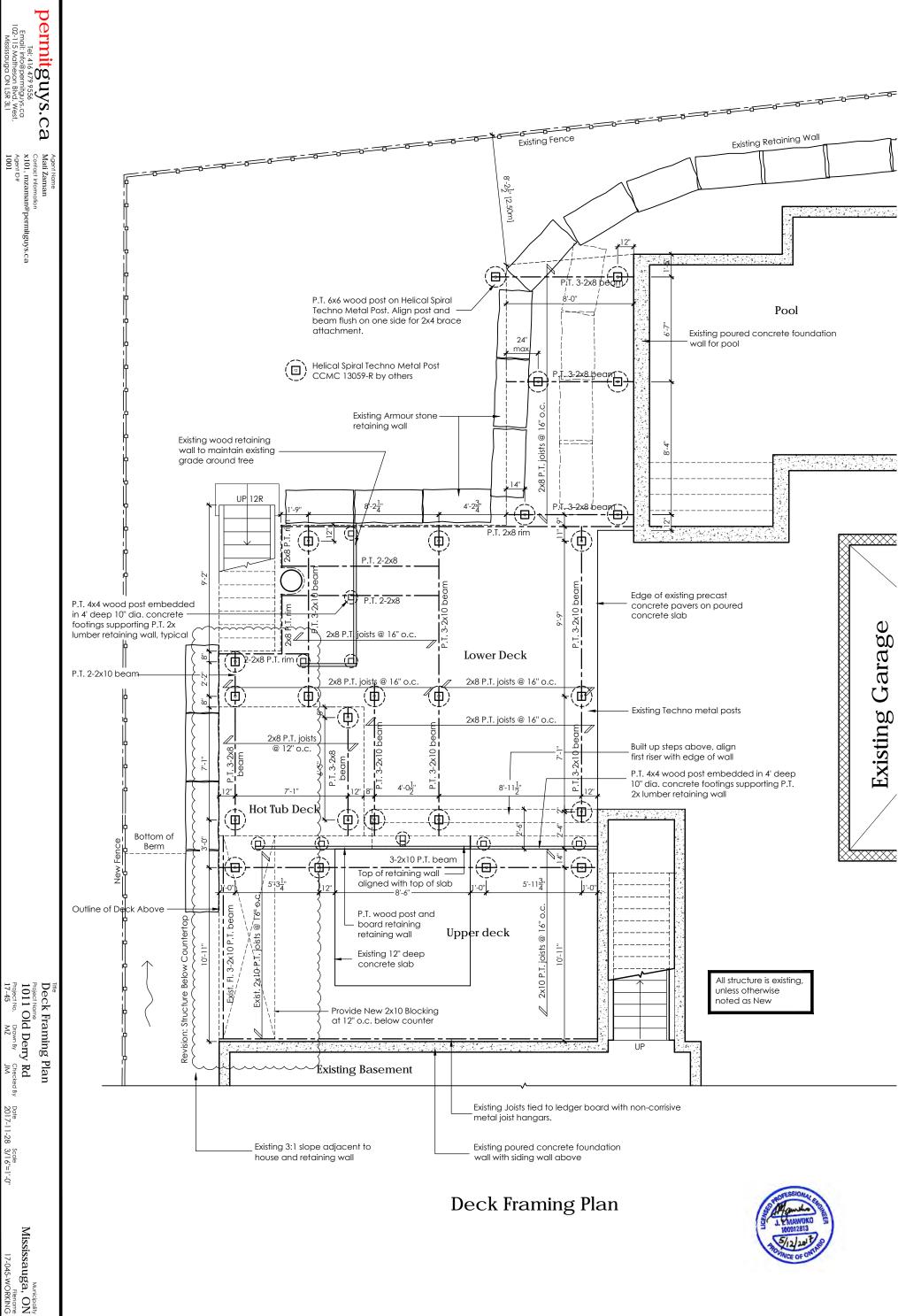
Email: info@permitguys.ca 102-115 Matheson Blvd. West, Mississauga ON L5R 3L1

Agent Name Mati Zaman Contact Information x101, mzaman@permitguys.ca

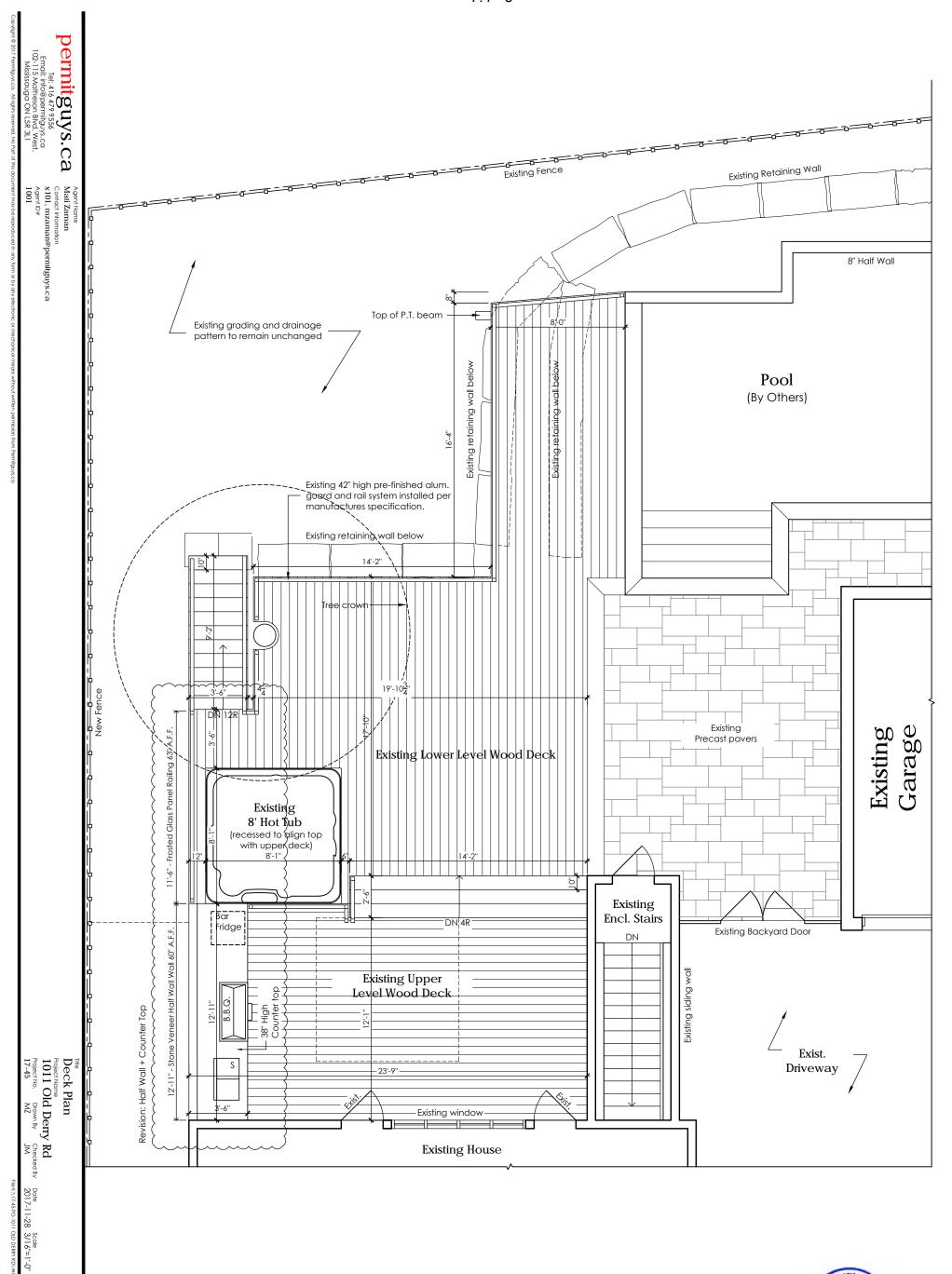
Cover Sheet and Site Plan

1011 Old Derry Rd

Mississauga, ON



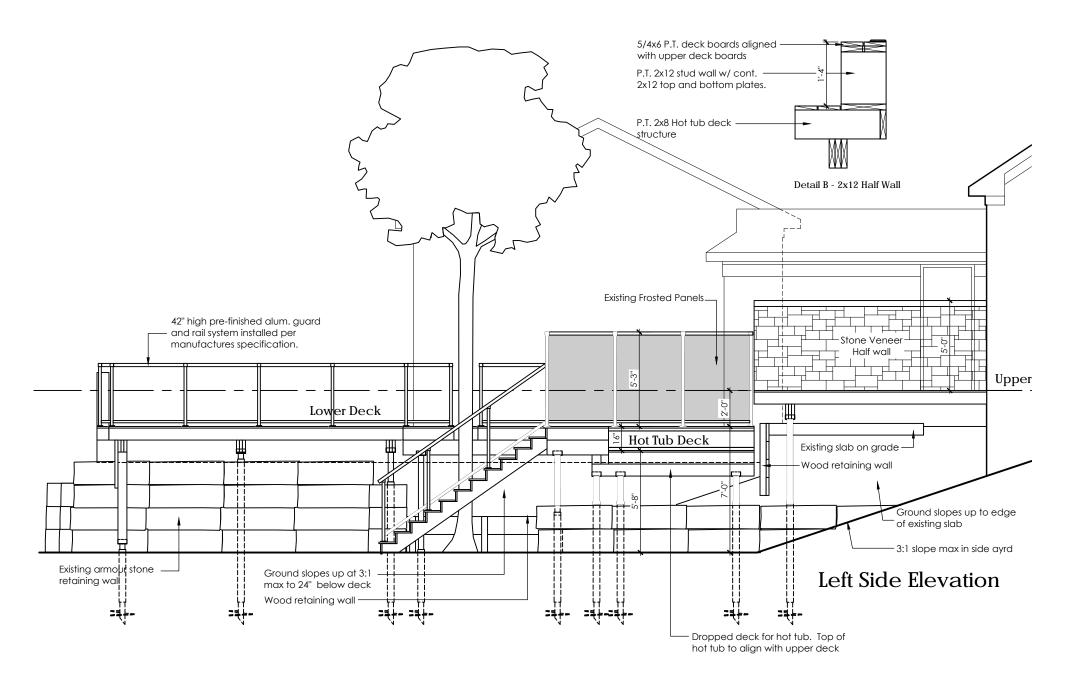




Deck Plan

Municipality Mississauga, ON



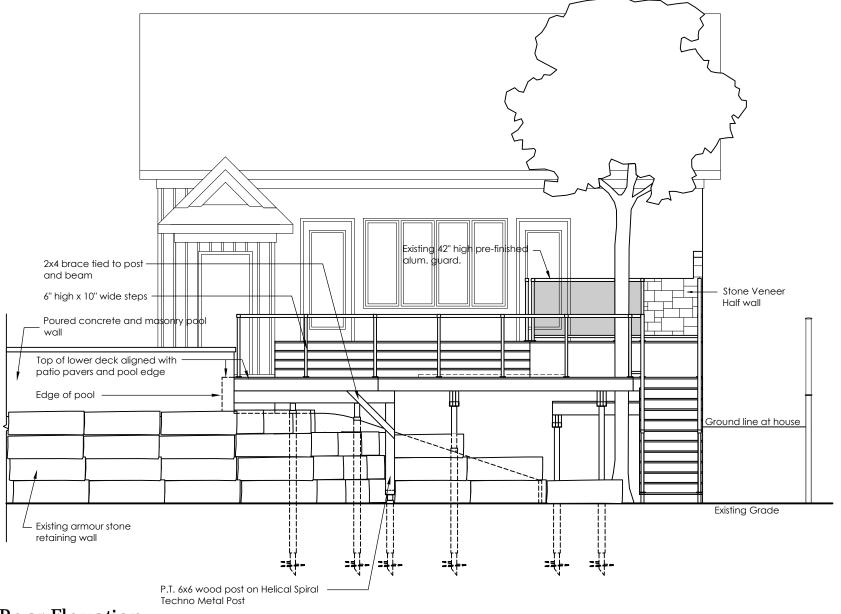




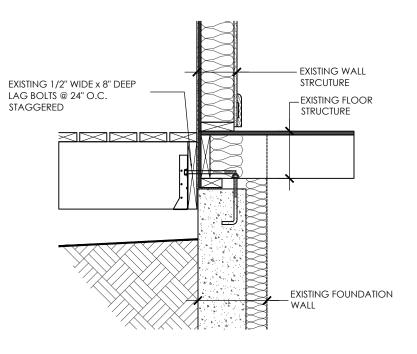
Agent Name Mati Zaman Contact Information x101, mzaman@permitguys.ca Agent ID# 1001

Elevations Project Name 1011 Old Derry Rd

Mississauga, ON 17-045-WORKING



DECK TO FLOOR CONNECTION



Rear Elevation



Agent Name Mati Zaman Contact Information x101, mzaman@permitguys.ca Agent ID# 1001

Elevation & Section Project Name 1011 Old Derry Rd

City of Mississauga

Corporate Report



Date: January 11, 2018

To: Chair and Members of Heritage Advisory Committee

From: Paul Mitcham, P. Eng, MBA, Commissioner of Community Services

Meeting date: February 6, 2018

Subject

Request to Alter a Heritage Designated Property: 7059 Second Line West (Ward 11)

Recommendation

That the request to alter the property at 7059 Second Line West as per the Corporate Report from the Commissioner of Community Services dated January 11, 2018, be approved.

Background

The subject property is designated under Part V of the *Ontario Heritage Act* as it forms part of the Meadowvale Village Heritage Conservation District (HCD). Changes to the property are subject to the Meadowvale Village HCD Plan, 2014, and substantive changes identified in said plan require a heritage permit.

The City issued a heritage permit for alterations to the property to adapt it for use as a learning centre for the adjacent Rotherglen School in 2017. The proposal is shown as item 7.2 here: https://www7.mississauga.ca/documents/committees/heritage/2017/2017 05 09 HAC Agenda .pdf.

The owner, the Rotherglen School Meadowvale Campus, now submits an application to renovate the existing garage for use as storage. The March 2017 Heritage Impact Assessment noted the accessory structure as "a simple gable roofed structure with older aluminum siding on the side and rear elevations and green painted board 'n batten siding on the front elevation."

Due to the condition of the aluminum siding, the owner proposes to sheathe the entire building in board 'n batten to match the front elevation. The proposal includes adding a garage door, changing the doors to a more traditional look and adding double hung wood windows and new air vents. The proposal also includes additional parking, a slight reconfiguration on the driveway and a ground sign. The plans are attached as Appendix 1.

Comments

The Meadowvale Village HCD plan does not speak to the conservation of aluminum siding but does permit wood siding with original board dimensions. The door and windows are appropriate design as per the plan. The parking/driveway changes are permeable paving. The ground sign is modest as per the heritage attributes outlined in the plan. The Meadowvale Village Heritage Conservation District Advisory Subcommittee supports the staff recommendation.

Financial Impact

There is no financial impact.

Conclusion

The owner of the property has applied for a heritage permit to renovate the garage and add parking and a ground sign. The proposal complies with the HCD plan and should therefore be approved.

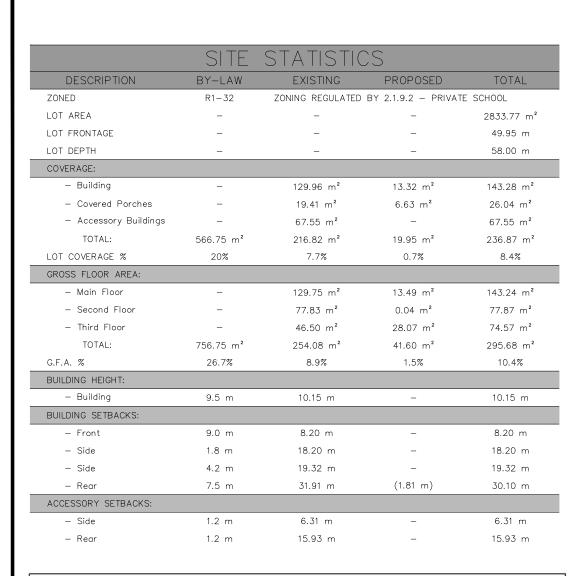
Attachments

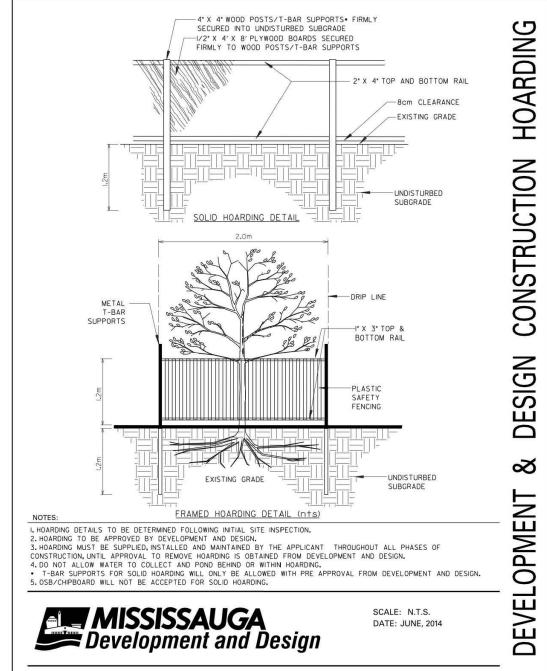
Appendix 1: Drawings



Paul Mitcham, P. Eng, MBA, Commissioner of Community Services

Prepared by: P. Wubbenhorst, Heritage Planner





GENERAL NOTES

THE CONTRACTOR IS TO CHECK AND VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION. ANY DISCREPANCIES MUST BE REPORTED TO THE ENGINEER IMMEDIATELY.

*\cadd\projects\144138 PB Construction Hoarding_CP\Vector\ D&D_ContructHd.dg

THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND PROTECTING ALL UTILITIES DURING CONSTRUCTION. GAS, HYDRO, TELEPHONE OR ANY OTHER UTILITIES THAT MAY EXIST ON THE SITE OR WITHIN THE STREETLINES MUST BE LOCATED BY ITS OWN UTILITIES AND VERIFIED PRIOR TO CONSTRUCTION.

. ALL CONNECTIONS SHALL BE INSTALLED AS PER MUNICIPAL STANDARDS AND SPECIFICATIONS.

. THE OUTSIDE FINISHED GRADE IS TO BE A MINIMUM OF 150mm BELOW THE BRICK VENEER ELEVATION.

. THE BUILDER IS TO VERIFY TO THE ENGINEER THAT THE FINAL FOOTING ELEVATION AND THE TOP OF FOUNDATION WALL ELEVATION ARE IN CONFORMITY WITH THE BUILDING CODE AND THE CERTIFIED GRADING PLAN PRIOR TO PROCEEDING.

. THE ELEVATION OF THE SIDE SWALE AT THE BUILDING LINE SHALL BE A MINIMUM OF 150mm BELOW THE BUILDING LINE AT THE CENTRE OF THE LOT.

PRIOR TO ANY SODDING, THE BUILDER IS TO INSURE TO THE SOILS CONSULTANT AND/OR THE ENGINEER THAT THE LOT HAS

BEEN GRADED, TOPSOILED AND SODDED COMPLETELY WITH A MINIMUM DEPTH OF 100mm OF TOPSOIL AND NO. 1 NURSERY SOD. A

MINIMUM DEPTH OF 150mm OF CRUSHED STONE IS TO BE PROVIDED ON THE ENTIRE LENGTH OF EACH DRIVEWAY ON A FIRM SUBGRADE. THE DRIVEWAY IS TO BE PAVED WITH A MINIMUM COMPACTED DEPTH OF 75mm OF ASPHALT BETWEEN THE CURB AND THE GARAGE. 8. NO SODDING ON ANY LOT IS PERMITTED UNTIL A PRELIMINARY INSPECTION IS DONE BY THE ENGINEER AND THE BUILDER.

9. AT THE ENTRANCES TO THE SITE, THE MUNICIPAL CURB AND SIDEWALK WILL BE CONTINUOUS THROUGH THE DRIVEWAY AND A CURB DEPRESSION WILL BE PROVIDED FOR EACH ENTRANCE.

10. ALL PROPOSED CURBING AT THE ENTRANCES TO THE SITE IS TO STOP AT THE PROPERTY LINE OR AT THE MUNICIPAL SIDEWALK,

11. DRIVEWAY GRADES SHOULD NOT BE LESS THAN 2.0% AND NOT GREATER THAN 8.0%.

12. LAWN AND SWALES SHALL HAVE A MINIMUM SLOPE OF 1.5% (PREFERABLY 2.0%) AND A MAXIMUM SLOPE OF 6.0%

13. WHERE GRADES IN EXCESS OF 6.0% ARE REQUIRED, THE MAXIMUM SLOPE SHALL BE 3 : 1. GRADE CHANGES IN EXCESS OF 1m ARE TO BE ACCOMPLISHED BY USE OF A RETAINING WALL. RETAINING WALLS HIGHER THAN 0.6m SHALL HAVE A FENCE INSTALLED ON THE HIGH SIDE.

14. ALL BACKFILL FOR SEWERS, WATERMAINS AND UTILITIES ON THE ROAD ALLOWANCE AND ON THE INTERNAL SITE MUST BE COMPACTED TO A MINIMUM OF 95% S.P.D. EXCEPT FOR THE TOP 300mm ON THE ROAD ALLOWANCE WHICH MUST BE COMPACTED TO 98% S.P.D. UNLESS OTHERWISE NOTED AND UNDER THE DIRECT SUPERVISION OF THE GEOTECHNICAL SOILS CONSULTANT. 15. THE SERVICE CONNECTION TRENCH WITHIN THE TRAVELLED PORTION OF THE ROAD ALLOWANCE SHALL BE BACKFILLED WITH JNSHRINKABLE BACKFILL MATERIAL AS PER C.M. STDS. 2220.030, 2220.031 AND 2220.032 UNLESS PRIOR APPROVAL FOR OTHER SPECIFIED BACKFILL MATERIAL HAS BEEN OBTAINED.

16. ALL WATERMAINS, WATER SERVICE MATERIALS AND CONSTRUCTION METHODS MUST CORRESPOND TO CURRENT MUNICIPAL STANDARDS AND SPECIFICATIONS.

7. WATERMAINS AND/OR WATER SERVICES ARE TO HAVE A MINIMUM DEPTH OF 1.7m WITH A MINIMUM HORIZONTAL SPACING OF

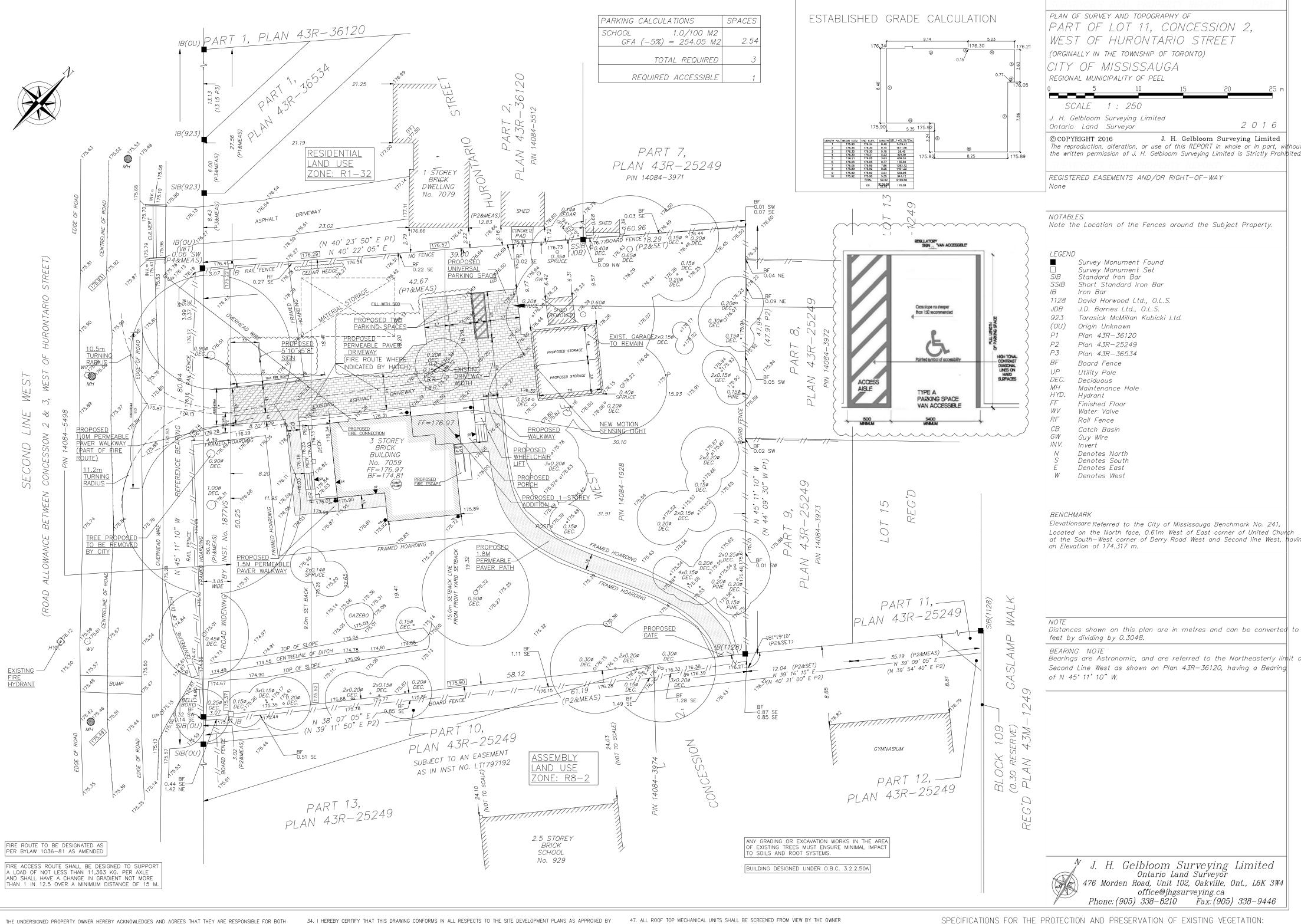
18. SEDIMENT CONTROL FENCING IS TO BE INSTALLED AS PER C.M. STD. 2940.010.

1.2m FROM THEMSELVES AND OTHER UTILITIES.

19. ALL DAMAGED LANDSCAPE AREAS WILL BE REINSTATED WITH TOPSOIL AND SOD PRIOR TO RELEASE OF SECURITIES.

20. THE OWNER IS RESPONSIBLE FOR ENSURING THAT THE TREE PROTECTION HOARDING IS MAINTAINED THROUGH ALL PHASES OF DEMOLITION AND CONSTRUCTION IN THE LOCATION AND CONDITION AS APPROVED BY THE PLANNING AND BUILDING DEPARTMENT. NO MATERIALS (BUILDING MATERIALS, SOIL, ETC.) MAY BE STOCKPILED WITHIN THE AREA OF HOARDING. FAILURE TO MAINTAIN THE HOARDING AS ORIGINALLY APPROVED OR THE STORAGE OF MATERIALS WITHIN THE HOARDING WILL BE CAUSE FOR THE LETTER OF

REDIT TO BE HELD FOR TWO (2) YEARS FOLLOWING COMPLETION OF ALL SITE WORKS.



THE INSTALLATION AND MAINTENANCE OF WORKS AS SHOWN ON THE STAMPED APPROVED SITE PLAN AND ASSOCIATED DRAWINGS, IN THE FORM, MANNER AND LOCATION AS SET OUT ON SAID DRAWINGS, WITHOUT ANY CHANGE OR ADDITION. ANY HANGES TO THE PLANS, INCLUDING NEW DEVELOPMENT OR REDEVELOPMENT ON THE PROPERTY, ARE SUBJECT TO A NEW ITE PLAN APPLICATION AND APPROVAL PROCESS. IN ACCORDANCE WITH THE PROVISIONS OF SITE PLAN CONTROL BY-LAW 0293-2006 (AS AMENDED), THE CITY OF MISSISSAUGA MAY RECOVER ANY COSTS INCURRED, INCLUDING INTEREST AND ADMINISTRATION EXPENSES, TO PROVIDE, MAINTAIN OR COMPLETE SITE WORKS, IF THE PROPERTY OWNER HAS FAILED TO DO SO, BY DRAWING UPON SECURITIES PROVIDED WITH THE APPROVAL OF THE APPLICATION. IF THERE ARE NO SECURITIES HELD, OR IF THE AMOUNT OF SECURITIES HELD BY THE CITY ARE NOT SUFFICIENT TO COVER THE COSTS INCURRED, THEN THE COSTS INCURRED, THEN THE COSTS INCURRED BY THE CITY WHICH CANNOT BE REIMBURSED OR RECOVERED BY SECURITIES WILL BE ADDED TO THE TAX L OF THE PROPERTY AND WILL BE COLLECTED IN THE SAME MANNER AS TAXES.

Illah lange APRIL 26, 2017

22. ALL EXTERIOR LIGHTING WILL BE DIRECTED ONTO THE THE SITE AND WILL NOT INFRINGE UPON ADJACENT PROPERTIES. ALL DAMAGED OR DISTURBED AREAS WITHIN THE MUNICIPAL RIGHT-OF-WAY ARE TO BE REINSTATED AT THE OWNER'S

ALL LANDSCAPING AND GRADING WITHIN CLOSE PROXIMITY TO THE PROPOSED ACCESS POINTS IS TO BE DESIGNED TO ENSURE THAT ADEQUATE SIGHT DISTANCES ARE AVAILABLE FOR ALL APPROACHING AND EXITING MOTORISTS AND PEDESTRIANS 25. DRIVEWAY ACCESSES SHALL MAINTAIN A 1.5M SETBACK FROM ABOVE GRADE FEATURES SUCH AS UTILITIES AND TREES. 26. THE OWNER WILL BE REQUIRED TO CONTACT ALL UTILITY COMPANIES TO OBTAIN ALL REQUIRED LOCATES PRIOR TO

INSTALLATION OF HOARDING WITHIN THE MUNICIPAL RIGHT-OF-WAY. 27. THE PORTIONS OF THE DRIVEWAY WITHIN THE MUNICIPAL BOULEVARD IS TO BE PAVED BY THE OWNER.

28. ALL EXCESS EXCAVATED MATERIAL WILL BE REMOVED FROM THE SITE.

29. THE EXISTING DRAINAGE PATTERN WILL BE MAINTAINED EXCEPT WHERE NOTED.

30. GRADES WILL BE MET WITHIN A 33 % MAXIMUM SLOPE AT THE PROPERTY LINES AND WITHIN THE SITE. 31. ANY ABOVE GROUND UTILITIES WITHIN 1.5 METERS OF A PROPOSED ACCESS TO BE RELOCATED AT THE OWNERS EXPENSE.

32. ANY SEPTIC SYSTEM ON SITE WILL BE DECOMMISSIONED AND REMOVED ACCORDING TO ALL APPLICABLE GUIDELINES AND

33. THE CITY OF MISSISSAUGA REQUIRES THAT ALL WORKING DRAWINGS SUBMITTED TO THE BUILDING DIVISION AS PART OF AN APPLICATION FOR THE ISSUANCE OF A BUILDING PERMIT SHALL BE CERTIFIED BY THE ARCHITECT OR ENGINEER AS BEING IN CONFORMITY WITH THE SITE DEVELOPMENT PLAN AS APPROVED BY THE CITY OF MISSISSAUGA.

34. I HEREBY CERTIFY THAT THIS DRAWING CONFORMS IN ALL RESPECTS TO THE SITE DEVELOPMENT PLANS AS APPROVED BY THE CITY OF MISSISSAUGA UNDER FILE NUMBER SP 16/149 W11

rehutz APRIL 26, 2017 RICK MATELJAN OAA LIC. 784

55. ALL MATERIALS AND CONSTRUCTION METHODS MUST CORRESPOND TO THE CURRENT PEEL PUBLIC WORKS STANDARDS AND 36. ALL SURFACE DRAINAGE WILL BE SELF CONTAINED, COLLECTED AND DISCHARGED AT A LOCATION TO BE APPROVED PRIOR 37. PRIOR TO ANY CONSTRUCTION TAKING PLACE, HOARDING ADJACENT TO EXISTING PROPERTIES TO PROTECT FROM

SAFETY ACT AND REGULATIONS FOR CONSTRUCTION PROJECTS MUST BE ERECTED AND THEN MAINTAINED THROUGHOUT ALL 38. THE APPLICANT WILL BE RESPONSIBLE FOR THE COST OF ANY UTILITY RELOCATIONS NECESSITATED BY THE SITE PLAN. 39. HOARDING MUST BE INSPECTED PRIOR TO REMOVAL OF ANY TREE PROTECTION HOARDING FROM THE SITE.

ONSTRUCTION ACTIVITY AND ALL REQUIRED HOARDING IN ACCORDANCE WITH THE ONTARIO OCCUPATIONAL HEALTH AND

40. OPEN TRENCHING WILL NOT BE PERMITTED WITHIN THE TREE PRESERVATION AREA. 41. THE PROPOSED DEVELOPMENT ON THE SUBJECT SITE MAY NEGATIVELY IMPACT THE ROOT ZONE(S) OF NEARBY TREE(S) ON ADJACENT PROPERTY AND ULTIMATELY DAMAGE THE TREE(S). THE OWNER SHOULD TAKE ALL REASONABLE STEPS TO MINIMIZE DISTURBANCE TO THE ADJACENT TREE'S ROOT ZONE(S) THAT ARE WITHIN THE SUBJECT SITE. THE CITY OF MISSISSAUGA TAKES NO RESPONSIBILITY FOR THE PROTECTION OF TREES ON ADJACENT PROPERTIES. 42. ANY FENCING ADJACENT TO MUNICIPAL LANDS IS TO BE LOCATED 15 CM (6.0 IN.) INSIDE THE PROPERTY LINE

43. SHOULD THE INSTALLATION OF BELOW GROUND SERVICES REQUIRE HOARDING TO BE REMOVED, PLANNING AND BUILDING

STAFF ARE TO BE CONTACTED PRIOR TO THE COMMENCEMENT OF SUCH WORK. SHOULD AN ALTERNATIVE SERVICE ROUTE NOT BE POSSIBLE, STAFF WILL INSPECT AND DOCUMENT THE CONDITION OF THE VEGETATION AND SERVICING INSTALLATION IN 44. THE STRUCTURAL DESIGN OF ANY RETAINING WALL OVER 0.6 M (2.00 FT.) IN HEIGHT OR ANY RETAINING WALL LOCATED ON A PROPERTY LINE IS TO BE SHOWN ON THE SITE PLAN AND GRADING PLAN AND IS TO BE APPROVED BY THE CONSULTING ENGINEER FOR THE PROJECT.

45. CONSTRUCTION MATERIALS ARE NOT TO BE PUT OUT FOR COLLECTION. 46. ANY WELL ON SITE WILL BE DECOMMISSIONED BY A LICENSED WELL CONTRACTOR OR TECHNICIAN IN ACCORDANCE WITH THE ONTARIO WATER RESOURCES ACT REGULATION 903 (FORMERLY 612/84) AND ANY OTHER APPLICABLE REGULATIONS AND

48 THE DESIGN AND NUMBER OF BARRIER FREE PARKING SPACES ARE TO CONFORM TO THE REQUIREMENTS OF BY-LAW NUMBER 0190-2014 TO ZONING BY-LAW 0225-2007, AS AMENDED, AND TO THE REVISED ACCESSIBLE PARKING BY-LAW NUMBER 0010-2016. PARKING SPACES RESERVED FOR PEOPLE WITH DISABILITIES MUST BE IDENTIFIED BY A SIGN, INSTALLED AT THE APPLICANT'S EXPENSE. ONE BARRIER FREE PARKING SIGN MUST BE PROVIDED FOR EACH ACCESSIBLE SPACE. SIGNS FOR TYPE 'A' SPACES MUST INCLUDE A "VAN ACCESSIBLE" DESIGNATION. EACH SPACE MUST BE IDENTIFIED BY PAVEMENT MARKINGS CONSISTING OF A 1525 X 1525 MM WHITE BORDER CONTAINING THE INTERNATIONAL SYMBOL OF ACCESS ON A

49. THE APPLICANT WILL BE RESPONSIBLE FOR ENSURE THAT ALL PLANS CONFORM TO TRANSPORT CANADA'S RESTRICTIONS 50. SIGNAGE SHOWN ON THE SITE DEVELOPMENT PLANS IS FOR INFORMATION PURPOSES ONLY, ALL SIGNS WILL BE SUBJECT TO THE PROVISIONS OF SIGN BY-LAW 0054-2002, AS AMENDED, AND A SEPARATE SIGN APPLICATION WILL BE REQUIRED THROUGH THE BUILDING DIVISION.

51. ONLY "SHIELDED" LIGHTING FIXTURES ARE PERMITTED FOR ALL DEVELOPMENT, EXCEPT FOR DETACHED AND SEMI-DETACHED DWELLINGS WITHIN 60 M (196.8 FT.) OF A RESIDENTIALLY ZONED PROPERTY AND MUST CONFORM TO THE ENGINEER CERTIFIED LIGHTING PLAN.

52. THE ENGINEER CERTIFIED LIGHTING PLAN MUST BE SIGNED BY THE CONSULTING ENGINEER. 53. THE OWNER COVENANTS AND AGREES TO CONSTRUCT AND INSTALL "SHIELDED" LIGHTING FIXTURES ON THE SUBJECT LANDS, IN CONFORMITY WITH THE SITE PLAN AND ENGINEER CERTIFIED LIGHTING PLAN TO THE SATISFACTION OF THE CITY OF

54. DOWNSPOUTS ARE TO SPLASH TO GRADE, AND WHERE POSSIBLE, THE DISCHARGE IS TO BE DIRECTED TOWARDS THE

DEVELOPMENT ENGINEERING NOTES:

"ALL PROPOSED CURBING WITHIN THE MUNICIPAL BOULEVARD AREA FOR THE SITE IS TO SUIT AS FOLLOWS: A) FOR ALL SINGLE FAMILY RESIDENTIAL PROPERTIES INCLUDING ON STREET TOWNHOUSES, ALL CURBING IS TO STOP AT THE PROPERTY LIMIT OR THE BACK OF THE MUNICIPAL SIDEWALK, WHICHEVER IS APPLICABLE, OR, B) FOR ALL OTHER PROPOSALS INCLUDING INDUSTRIAL, COMMERCIAL AND CONDOMINIUM DEVELOPMENTS, ALL ENTRANCES TO THE SITE ARE TO BE IN ACCORDANCE WITH O.P.S.D. 350.010."

PRIOR TO CONSTRUCTION TAKING PLACE, ALL REQUIRED HOARDING IN ACCORDANCE WITH THE ONTARIO OCCUPATIONAL HEALTH & SAFETY ACT AND REGULATIONS FOR CONSTRUCTION PROJECTS MUST BE ERECTED AND THEN MAINTAINED THROUGHOUT ALL PHASES OF CONSTRUCTION"

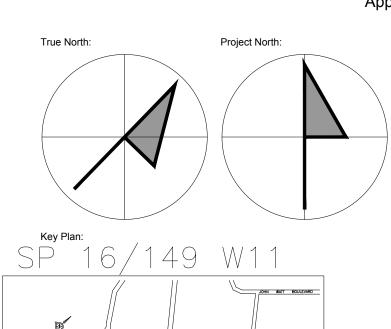
ALL EXISTING TREES WHICH ARE TO REMAIN SHALL BE FULLY PROTECTED WITH HOARDING ERECTED BEYOND THE DRIP LINE OF THE TREE CANOPY TO THE SATISFACTION OF THE PLANNING AND BUILDING DEPARTMENT PRIOR TO THE ISSUANCE OF THE BUILDING PERMIT. GROUPS OF TREES AND OTHER EXISTING VEGETATION ARE TO BE PROTECTED WITH HOARDING AROUND THE ENTIRE AREA. AREAS WITHIN THE PROTECTIVE FENCING SHALL REMAIN UNDISTURBED AND SHALL NOT BE USED FOR THE STORAGE OF BUILDING MATERIALS AND EQUIPMENT. THE PLANNING AND BUILDING DEPARTMENT WILL BE RESPONSIBLE FOR INSPECTION OF TREES ON PRIVATE PROPERTY. WHILE THE COMMUNITY SERVICES DEPARTMENT IS RESPONSIBLE FOR THE INSPECTION OF HOARDING FOR PUBLIC TREES. HOARDING MUST REMAIN IN PLACE UNTIL AN INSPECTION BY THE LANDSCAPE ARCHITECTURAL TECHNOLOGIST, DEVELOPMENT AND DESIGN DIVISION, AND APPROPRIATE REMOVAL TIME HAS BEEN AGREED UPON. NO RIGGING CABLES SHALL BE WRAPPED AROUND OR INSTALLED IN THE TREES AND SURPLUS SOIL, EQUIPMENT, DEBRIS OR MATERIALS SHALL NOT BE PLACED OVER THE ROOT SYSTEMS OF THE TREES WITHIN THE PROTECTIVE FENCING. NO CONTAMINANTS WILL BE DUMPED OR FLUSHED WHERE FEED ROOTS OF TREES EXIST. THE DEVELOPER OR AGENTS SHALL TAKE EVERY PRECAUTION NECESSARY TO PREVENT DAMAGE THE THE VEGETATION TO BE RETAINED. WHERE LIMBS OR PORTIONS OF TREES ARE REMOVED TO ACCOMMODATE CONSTRUCTION, THEY WILL BE REMOVED IN ACCORDANCE WITH

Ontario Land Surveyor

office@jhgsurveying.ca

THIS SITE PLAN BASED UPON:

WHERE ROOT SYSTEMS OF PROTECTED TREES ADJACENT TO CONSTRUCTION ARE EXPOSED OR DAMAGED THEY SHALL BE NEATLY TRIMMED AND THE AREA BACKFILLED WITH APPROPRIATE MATERIAL TO PREVENT DESICCATION. NO OPEN TRENCHING SHALL OCCUR THROUGH TREE PRESERVATION ZONES (TPZ). ONLY DIRECTIONAL BORING CAN BE USED FOR SERVICE INSTALLATION IN THESE AREAS. WHERE NECESSARY, VEGETATION WILL BE GIVEN AN OVERALL PRUNING TO RESTORE THE BALANCE BETWEEN ROOTS AND TOP GROWTH, OR TO RESTORE ITS APPEARANCE. TRESS THAT HAVE DIED OR HAVE BEEN DAMAGED BEYOND REPAIR SHALL BE REMOVED AND REPLACED AT THE OWNERS'EXPENSE WITH TREES OF A SIZE AND SPECIES APPROVED BY THE PLANNING AND BUILDING DEPARTMENT. IF GRADES AROUND TREES TO BE PROTECTED ARE TO CHANGE, THE OWNER SHALL BE REQUIRED TO TAKE PRECAUTIONS SUCH AS DRY WELLING, RETAINING WALLS, AND ROOT FEEDING TO THE SATISFACTION OF THE PLANNING AND BUILDING DEPARTMENT



20 Dec 19/17 Addressing the heritage comments 19 Nov 15/17 Addressing the City's comments 18 Nov 07/17 Accessory building issue 17 October 03/17 Addressing the City's comments 16 August 14/17 Addressing the City's comments Date Issued/Revision

Architect:

2016

J. H. Gelbloom Surveying Limited

Belinda Jones Architect 159 Martin Street

Milton ON L9T 2R3 P 416-662 6024

Structural Engineer:



STRUCTURAL ENGINEERS

200 Queens Avenue, Suite 301 London ON N6A 1J3 Tel: 905 842 2848

Prime Consultant:

centricengineering.ca



79 Wilson Street, Suite 301 Oakville ON L6K 3G4 Tel: 905 842 2848

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ONTARIO ASSOCIATION

OF ARCHITECTS

ICENSED TECHNOLOGIS

RICK MATELJAN

LICENCE

Project: 7059 Second Line West, Mississauga ON

Dwelling Into Learning Centre

Rotherglen School Meadowvale Campus 1 Storey Addition and Conversion of Existing 3-Storey

Jurisdiction. Unless otherwise noted, these drawings do not address issues of shoring,

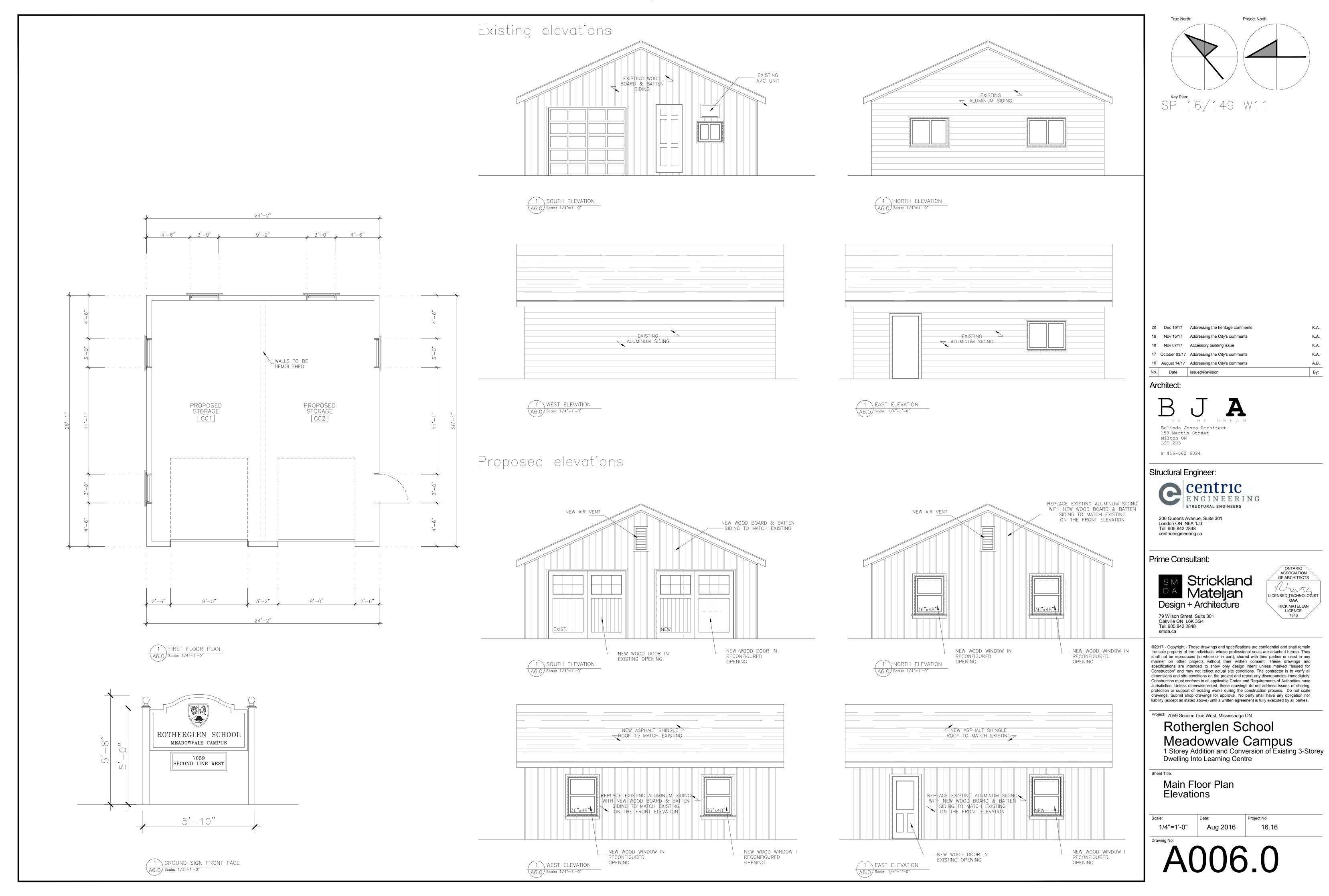
protection or support of existing works during the construction process. Do not scale

drawings. Submit shop drawings for approval. No party shall have any obligation nor

liability (except as stated above) until a written agreement is fully executed by all parties.

Site Plan

As Noted



South Elevation



North Elevation

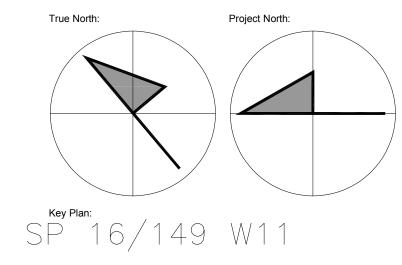


West Elevation



East Elevation





18	Nov 07/17	Accessory building issue	K.A.
17	October 03/17	Addressing the City's comments	K.A.
16	August 14/17	Addressing the City's comments	A.B.
15	May 30/17	Detail Added to Site Plan	A.B.
14	May 23/17	For Building Permit	K.A.
13	May 15/17	For Pricing	A.B.
12	May 12/17	Structural Revision	A.B.
11	May 5/17	Structural Revision	K.A.
10	Apr 27/17	Site Plan Resubmission	A.B.
9	Apr 12/17	Parking/Site Stats Revised	A.B.
8	Apr 4/17	Rev. paving for Zoning and Heritage, misc structure	R.M.
8	Apr 3/17	Rev. driveway, walkways for Heritage approval	R.M.
7	Mar 31/17	Revised driveway, site notes, fire route	R.M.
6	Mar 21/17	Heritage re-application	R.M.
5	Feb 3/17	For Pricing	A.B.
4	Jan 9/17	Structure Added	A.B.
3	Oct 14/16	Revisions Per Staff Comments	A.B.
2	Sept 7/16	Submitted for Pre-Consultation	A.B.
_ 1	Aug 16/16	For Site Plan	R.M.
No.	Date	Issued/Revision	Ву:
		<u> </u>	







Belinda Jones Architect 159 Martin Street Milton ON L9T 2R3

P 416-662 6024

Structural Engineer:



200 Queens Avenue, Suite 301 London ON N6A 1J3 Tel: 905 842 2848 centricengineering.ca

Prime Consultant:



79 Wilson Street, Suite 301 Oakville ON L6K 3G4 Tel: 905 842 2848 smda.ca

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ONTARIO ASSOCIATION OF ARCHITECTS

LICENSED TECHNOLOGIST

OAA

OAA

RICK MATELJAN LICENCE 7846

Project: 7059 Second Line West, Mississauga ON

Rotherglen School Meadowvale Campus 1 Storey Addition and Conversion of Existing 3-Storey Dwelling Into Learning Centre

Photo views

City of Mississauga

Corporate Report



Date: January 11, 2018

To: Chair and Members of Heritage Advisory Committee

From: Paul Mitcham, P. Eng, MBA, Commissioner of Community Services

Meeting date: February 6, 2018

Subject

Request to Demolish a Heritage Listed Property: 1570 Stavebank Road (Ward 1)

Recommendation

That the property at 1570 Stavebank Road, which is listed on the City's Heritage Register, is not worthy of heritage designation, and consequently, that the owner's request to demolish proceed through the applicable process.

Background

Section 27.3 of the Ontario Heritage Act states that structures or buildings on property listed on the City's Heritage Register cannot be removed or demolished without at least 60 days' notice to Council. This legislation allows time for Council to review the property's cultural heritage value to determine if the property merits designation.

The owner of the subject property has submitted a heritage permit application to demolish and replace the existing detached dwelling. The subject property is listed on the City's Heritage Register as it forms part of the Mineola Neighbourhood cultural landscape. This cultural landscape is significant due to development of the area at a time when natural elements respected the lot pattern and road system. The area is notable for its rolling topography, its natural drainage and its mature trees. The area is characterized by a balance between the built form and the natural surroundings with a softened transition from landscaped yards to the street edge with no curbs and a variety of quality housing stock.

The landscaping, urban design and conservation authority related aspects will be reviewed as part of the Site Plan review process to ensure the project respects the character of the surrounding community.

Comments

The owner of the subject property has requested permission to demolish the existing structure. The applicant has provided a Heritage Impact Assessment and Arborist Report, attached as Appendices 1 and 2 respectively. The consultant has concluded that the structure at 1570 Stavebank Road is not worthy of designation. Staff concurs with this finding.

Financial Impact

There is no financial impact.

Conclusion

The owner of 1570 Stavebank Road has requested permission to demolish a structure on a property that is listed on the City's Heritage Register. The applicant has submitted a documentation report which provides information which does not support the building's merit for designation under the Ontario Heritage Act. Staff concurs with this finding.

Attachments

Appendix 1: Heritage Impact Assessment

Appendix 2: Arborist Report



Paul Mitcham, P. Eng, MBA, Commissioner of Community Services

Prepared by: P. Wubbenhorst, Heritage Planner

Appendix 1 7.6 - 3



Heritage Impact Statement

1570 Stavebank Road Mississauga ON L5G 2V7

December 1, 2017

Report prepared by David W. Small

David W. Small

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Section 1 | Introduction

David W. Small Designs Inc. has been engaged by the owners of the residential property located at 1570 Stavebank Rd the City of Mississauga to design a new residential dwelling. The subject property is located in the Mineola West neighbourhood of the City of Mississauga.

The subject property is listed on the City's Heritage Register as being part of the Mineola Neighbourhood Cultural Landscape. The property is listed on the City's Heritage Register, however it is not a designated property.

The City of Mississauga Official Plan Policy 7.4.1.12 states;

The proponent of any construction, development, or property alteration that might adversely affect a listed or designated cultural heritage resource or which is proposed adjacent to a cultural heritage resource will be required to submit a Heritage Impact Statement, prepared to the satisfaction of the City and other appropriate authorities having jurisdiction.'

Accordingly, this Heritage Impact Statement is being submitted to the City of Mississauga in support of the proposed development. A Heritage Impact Statement for this property was previously approved under Heritage Permit HPA 15 49.

Section 2 | About the Authors

David Small is the owner of David W. Small Designs Inc., a custom home design firm based in Mississauga. The firm has developed a specialized expertise in the area of infill housing, which is the redevelopment of existing properties in established mature neighbourhoods. David Small was born to design custom homes. He grew up watching and learning from his Father and Grandfather, both of whom were homebuilders and land developers. Growing up with such a 'heritage of housing', David's passion for the business was ignited and this passion has driven him to the success he enjoys today.

Over the past two decades, David W. Small Designs Inc. has recognized the value of heritage as a firm. They have been engaged and involved in the design of over 400 new homes and renovations in South Mississauga. Over 100 of those homes located within the City's Mineola West neighbourhood. When designing a custom home, David considers the heritage of the community and the cultural landscape in question. The success of the firm is largely based on developing "neighbourhood sensitive" designs that respect the integrity of the existing natural landscape and the development that has occurred within the surrounding community.

As a natural evolution of the designs created by David W. Small Designs Inc., the firm has prepared over thirty Heritage Impact Assessments for the City of Mississauga in connection with the proposals located within the Mineola Cultural Landscape over the past eight years. The unique expertise that has been acquired by this breadth of work uniquely positions the firm to prepare the Heritage Impact Assessment for the Mineola Cultural Landscape.

A list of the Heritage Impact Assessments prepared by David W. Small Designs Inc. is provided below:

- 1. 1403 Glenburnie Road December 2016
- 2. 1276 Woodland Avenue August 2016
- 3. 1251 Stavebank Road July 2016
- 4. 906 Whittier Crescent November 2015
- 5. 866 Tennyson Avenue February 2015
- 6. 1312 Stavebank Road January 2015
- 7. 156 Indian Valley Trail June 2014
- 8. 1392 Stavebank Road March 2014
- 9. 40 Veronica Drive November 2013
- 10. 930 Whittier Crescent November 2013
- 11. 57 Inglewood Drive April 2013
- 12. 1162 Vesta Drive March 2013
- 13. 250 Pinetree Way March 2013
- 14. 1296 Woodland Avenue March 2013

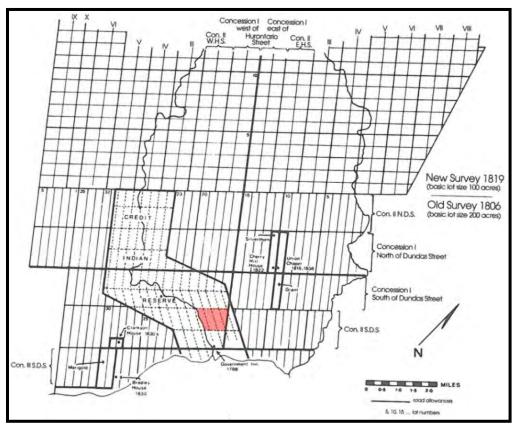
- 15. 29 Cotton Drive March 2013
- 16. 1373 Glenwood Drive August 2012
- 17. 1394 Victor Avenue May 2012
- 18. 1570 Stavebank Road May 2012
- 19. 2494 Mississauga Road April 2012
- 20. 162 Indian Valley Trail March 2012
- 21. 500 Comanche Road March 2012
- 22. 277 Pinetree Way January 2012
- 23. 1000 Sangster Avenue September 2011
- 24. 1362 Stavebank Road August 2011
- 25. 1448 Stavebank Road July 2011
- 26. 1359 Milton Avenue July 2011
- 27. 1380 Milton Avenue April 2010
- 28. 1248 Vista Drive March 2010
- 29. 64 Veronica Drive February 2010
- 30. 125 Veronica Drive January 2010
- 31. 224 Donnelly Drive October 2009
- 32. 1570 Stavebank Road October 2009
- 33. 1379 Wendigo Trail September 2008
- 34. 142 Inglewood Drive September 2008
- 35. 1524 Douglas Drive September 2008
- 36. 1443 Aldo Drive July 2008
- 37. 1397 Birchwood Height Drive July 2008
- 38. 1285 Stavebank Road May 2008

Section 3 | Property Overview

Mineola West Neighborhood:

The Mineola West Neighborhood is bordered on the West by the Credit River, the East by Hurontario Street (Hwy. 10), the North by the Queen Elizabeth Way and the South by the CN Rail line. The area includes a significant portion of the former Credit Indian Reserve (CIR). The CIR originated as part of a land sale by the Mississauga Indians to the British Government in 1805. The sale included the lands stretching from Lake Ontario to a line 6 miles inland but excluded a strip of land one mile each side of the Credit River which was reserved for the Mississauga Indians. The graphic provided below indicates the area known as the Mineola West Neighborhood within the context of the Township of Toronto's Lot Survey.

A Plan of the Township of Toronto's Lot Survey:

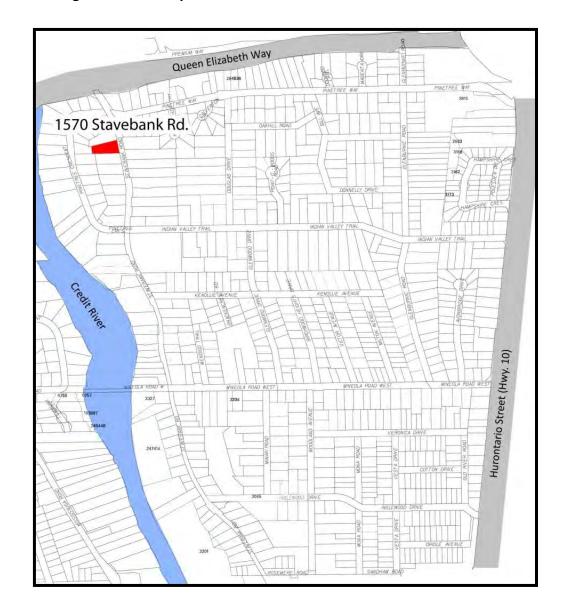


Mississauga's Heritage: The Formative Years, City of Mississauga, 1983

Current City of Mississauga Map:

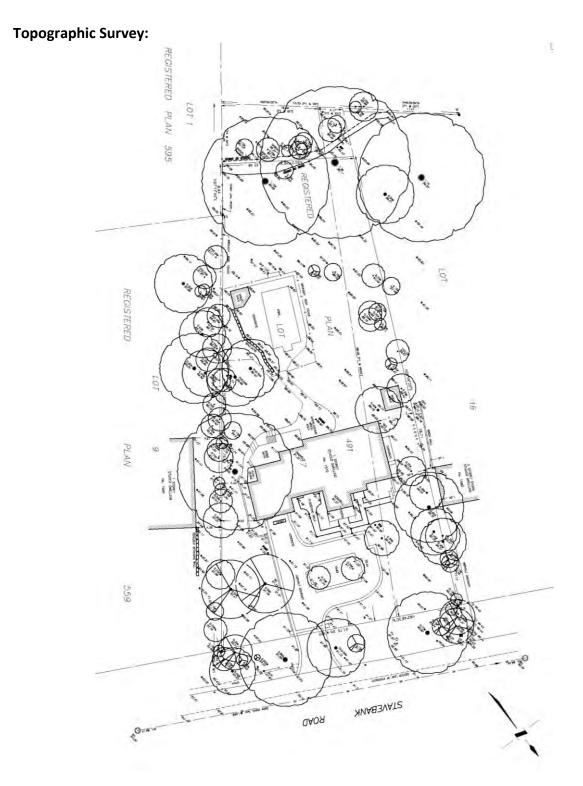


Mineola West Neighbourhood Map:



Aerial Map:





Excerpt of the Plan of Topography for Part of Lots 16 and 17, registered plan 491, prepared by Tarasick McMillan Kubicki Limited, Ontario Land Surveyors dated March 26, 2012.

Section 4 | Property Details

Property Description

Municipal Address 1570 Stavebank Road **Legal description** PLAN 491 PT LOTS 16, 17

Municipal Ward

Zoning R1-2, Zoning By-law 0225-2007

Lot Frontage 39.39 m 78.71 m **Lot Depth**

2544.06m² (0.254ha) **Lot Area** Orientation Front facing North-East

Vegetation Several mature trees located throughout site. Access Existing asphalt drive w/ paver stone border

House Description

Construction Date Early 1960's

Size Approx.3800sf + 520sf attached garage **Building Type** 1 Storey dwelling w/ walkout basement

Wall Construction | Wood Frame and Concrete Block

Exterior Cladding Stucco

Roofing Material Asphalt Shingles Setbacks Front Yard – 19.83 m Right Side – 6.05 m

Left Side – 4.43 m Rear Yard – 45.40 m

Parcel Register

Information gathered from the Ontario Land Registry office for the Region of Peel indicates the chain of ownership from July 11, 1854 to current. The information provided has been acquired through use of microfilm archives along with current Land Title search. The following ownership transfers have taken place since the earliest records of the property on title.

1570 Stavebank – Transfer of Ownership				
DATE	TRANSFEROR	TRANSFEREE		
July 11, 1854	The Crown	James Cotom C.I.R Lot 5 Range 2		
	ows Frederick W. Jarvis transfering the land to the e on the property he owned. (This information was	Bank of Upper Canada due to James Cotton being unable aquired by Matthew Wilkinson from Heritage		
Nov. 14, 1865	Frederick W. Jarvis	Back of Upper Canada		
	was sheriff of York and Peel county, and his job wa e above informaton is taken from the Toronto towns	s to notify and collect money that is due to the Bank of ship book A).		
Sept 6, 1869	Bank of Upper Canada	John Crickmore		
Sept 20, 1869	John Crickmore	William B. Hunter		
Sept 20, 1869	William B. Hunter	Peel General Manufacturing Company		
Oct 18, 1889	Peel General Manufacturing Company	Thomas W. Hector		
Jan 6, 1892	Thomas W. Hector	John Groinlock		
(The above informa	tion is taken from the Toronto township book B).			
July 13, 1925	James M. & Edith M. Groinlock	Gladys I. Angus		
Oct 27, 1955	Gladys I. Angus	Talka Construction		
(The above informa	tion is taken from the Toronto township book C).			
May 27, 1955	Talka Construction	Wilfred & Hermine Bole		
Nov 17, 1955	Wilfred & Hermine Bole	Kathleen & James MacGarlane		
Aug 30, 1963	Kathleen & James MacGarlane	Howard K. Linder		
June 13, 1966	Howard K. Linder	Ronald J. Render		
Aug 21, 1970	Ronald J. Render	Raymond E. & Virginia M. Nienbrurg		
Aug 1, 1972	Raymond E. & Virginia M. Nienbrurg	Allan J. & Dorlores E. Campbell		
April 3, 1993	Allan J. & Dorlores E. Campbell	Peter & Lina Santos		
April 2016	Peter & Lina Santos			

Exterior Photos



Front Elevation



Rear Elevation



Right-Side Elevation



Left-Side Elevation

Alterations to the Original House

The original home, built in the early 1960's, is a one storey dwelling with a walkout basement. We have made reference to the City of Mississauga permitting records and the city has records that there were alterations made to the existing building in 1986 and 1993, also an addition to the existing building in 1997.

App Number	□ Address	□ Scope	□ <u>Issue Date</u>
■ App Date	Description	■ Type Description	□ Status
BP 9ALT 97 1293	1570 STAVEBANK RD	ADDITION TO EXIST BLDG	1997-04-23
1997-03-12	ADDITION	DETACHED DWELLING	ISSUED PERMIT
BPC 93 4281 P	1570 STAVEBANK RD	ALTERATION TO EXIST BLDG	1993-10-27
1993-10-27	SEWER CONVERSION	DETACHED DWELLING	COMPLETED -ALL INSP SIGNED OFF
BPC 86 4748	1570 STAVEBANK RD	ALTERATION TO EXIST BLDG	1986-04-10
1986-03-10		DETACHED DWELLING	ISSUED PERMIT
HCC 74 241216	1570 STAVEBANK RD		
1974-02-19	HEATING PERMIT 20043		HISTORY COMMENT PERMIT

Analysis of Existing Structure

The existing home is representative of circa 1960's vernacular 1 Storey dwelling with walkout basement and attached garage. The home does not display any outstanding degree of craftsmanship, technical achievement and has only moderate artistic merit.

The existing home is not known to represent significance related to theme, event, belief, person, activity, organization or institution in the community. It is not known to possess any characteristics that contribute to an enhanced understanding of the community or local culture. It is also not known to represent the work of any architect, artist, builder, designer or theorist in the community. The property has only modest contextual value as far as its support of the character of the area. There is no link to its physical, functional, visual or historic surroundings.

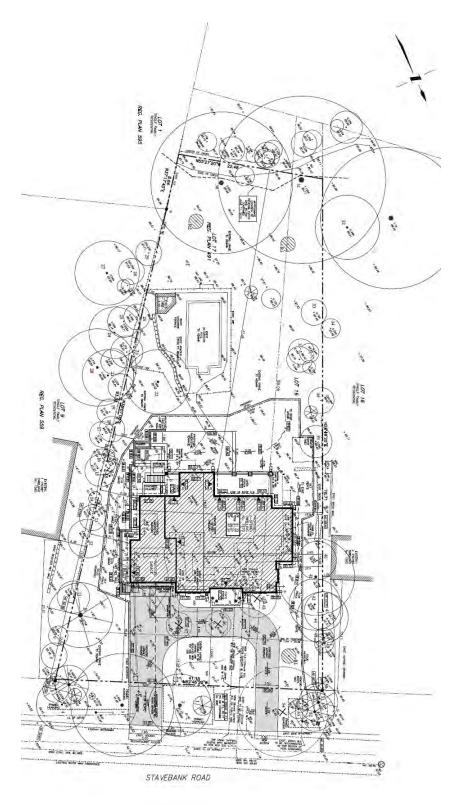
The existing home plays a moderately significant role in its support of the character of the area as its massing and scale are similar to the adjacent homes on Stavebank Road.

Section 5 | Development Proposal

The proposal is to demolish the existing house and replace it with a new two storey residential dwelling. The proposed dwelling has been designed adhere to the sensitive topography of the property. The proposed development is being reviewed though an application for Site Plan Approval which is currently under review by the City of Mississauga Planning and Building Department. To respect the topography of the land and the setbacks of adjacent properties, the architectural style of home has been coined as traditional to ensure the character of the neighbourhood is maintained. The proposed architectural style is a unique blend of transitional with some elements of European Chateau style.

The following pages include the site plan, floor plans and architectural elevation plans. We have provided a rendered streetscape of the proposed dwelling between the two adjoining properties.

Site Development Plan:



Proposed Elevations:



Figure 1 - Front Left



Figure 2 - Front



Figure 3 - Front Right



Figure 4 - Rear Left



Figure 5 – Rear



Figure 6 - Rear Right

Proposed Screetscape Elevation:



Section 6 | Cultural Landscape Inventory

The Mineola Neighbourhood (L-RES-6):

"Mineola was developed before it became standard practice to re-grade top soil into large piles in the early twentieth century, level every nuance of natural topography and engineer the complete storm water drainage system artificially. In Mineola a road system was gently imposed on the natural rolling topography of the Iroquois Plain; homes were nestled into slightly larger lots and natural drainage areas were retained. This provided greater opportunity to save existing trees and because the soils and drainage system were minimally impacted, provided fertile ground for the planting of new vegetation, the natural regeneration of native trees and landscaping of the residential landscapes. What has evolved today is a wonderful neighbourhood with a variety of quality housing stock and a rich stimulating landscape that blends the houses with their natural and manicured surroundings. There are no curbs on the roads which softens the transition between street and front yards. The roads wind, rise and fall with the natural topography and houses sit often at odd angles to take advantage of slopes and the location of large trees. A gradual infilling has increased the density over the years and care must be taken to ensure that this does not, in the end, ruin the very quality and character that makes this neighbourhood so appealing and attractive. Of the many neighbourhoods in Mississauga, the Mineola neighbourhood stands out as one of the most visually interesting and memorable. As is often the case, when new development is balanced with the protection of the natural environment, a truly livable and sustainable community evolves. Mineola is an excellent example of this type of community." - Excerpt from City of Mississauga Cultural Landscape Inventory L-RES-6

The Cultural Landscape or Feature Criteria that have been identified as being applicable to the Mineola Neighbourhood are:

LANDSCAPE ENVIRONMENT:

- Scenic and Visual Quality
- Natural Environment
- Landscape Design, Type and Technological Interest

BUILT ENVIRONMENT:

- Aesthetic / Visual Quality
- Consistent Scale of Built Features

HISTORICAL ASSOCIATION:

- Illustrate Style, Trend or Pattern
- Illustrates Important Phase in Mississauga's Social or Physical Development

OTHER:

• Significant Ecological Interest

The following will focus on the above items and expand on them.

The Mineola Neighbourhood Landscape Environment:

More than most neighbourhoods in Mississauga, Mineola is characterized by the presence of mature trees. They are perhaps the dominant physical feature that shape one's impression as you visit this neighbourhood. Most trees are located along property boundaries and street lines, therefore easily preserved through the years as renewal and redevelopment occurs with the neighbourhood.

The topography of the subject property is bound by the creek at the rear with the grade gradually increasing to the front property line. The positioning of the new home is well-aligned with the positioning of the existing structure. This



A street in the Mineola West neighbourhood

allowed for the preservation of a significant tree stand. There are numerous trees around the property and the level of the proposed property permits a house with a good solid and even relationship to the natural grade. The first floor is relatively close to grade and the rear access is a walk-out which integrates with the existing grade. The house appears centered on the lot and has a comfortable relationship to the street.

The house was brought closer to the front property line to better align with the positioning of the neighbouring homes and to create a more consistent streetscape. An additional driveway access has been added to accommodate a U-shape driveway. This style of driveway is in keeping with other new development in the immediate area and results in a reduction of the hard surface landscaping that is currently at the front of the property.

The Mineola Neighbourhood Built Environment



Narrow Roads, roadside ditches and mature vegetation

Engineering Infrastructure:

Unlike most neighbourhoods, the Mineola neighbourhood is comprised of very few "Engineered Streets". Roads are often narrow and lack the presence of curbs or sidewalks. Storm drainage is managed with a network of roadside ditches. This is in contrast to the more intrusive storm sewer systems found throughout most of the City. Large trees are often in very close proximity to roads which reinforce the overall 'soft' impression of the neighbourhood.

Housing:

The Mineola Neighbourhood consists of a broad range of housing sizes, configurations and styles. The area has homes that represent most decades since development has started occurring in this area in early half of the twentieth century. Below are examples of broad range of housing in the Mineola West Neighbourhood













The housing stock continues to evolve as many new families are attracted to the neighbourhood's unique qualities and attributes. Although the overall housing density has increased most homes have been assimilated successfully into their context as the imposing natural elements continue to visually dominate. Attention to architectural detail and craftsmanship have been the most important characteristics and have superseded house style and size in the redevelopment of the area. Below are examples of newer and older homes, larger and smaller homes and homes of varying architectural styles coexisting comfortably.



Houses of varying architectural styles



Houses of varying architectural styles



Houses of distinct size differences



Houses both old and new

The Existing Built Form

The existing home is a one-storey dwelling. The dwelling is a modest size in the context of the immediate area. When compared to the two adjacent properties, the structure is somewhat setback from the street. A large portion of the front landscape is hard surface.

The existing home nicely blends with the natural grade of the property.



The Surrounding Built Form

The two properties next door to the existing home are one-storey (South) and two-storey (North) homes. The home to the south sits higher from the streetview. This is in alignment with the natural grade of the properties. The home has a low profile, as it is a one-storey structure with extended overhangs. The home to the north is situated closer to the street with a more substantial two-storey presence. The home to the north is clad with stucco in a beige and cream colour palette.

The Proposed Home

The proposed dwelling design has employed many of the same principles that appear to have been employed with the designs of the new homes built along the Stavebank Road. The proposed architectural style will complement the eclectic mix of architecture that has been very effectively introduced along Glenburnie Road.

The proposed dwelling will move the building line forward to better align with the existing streetscape. The home will sit appropriately on the property with the front door having a very comfortable relationship to the existing grades on the property. The colour palette is neutral and complimentary to the surrounding homes.

The exterior finishes of the proposed dwelling will be predominantly cut stone in a neutral grey colour palette. The dwelling includes natural landscaping to ensure the setting for the home on the property matches the street.

The Mineola Neighbourhood Historical Associations

The following is a brief history of the Port Credit area through a chronological overview of the people and events that shaped Mineola West neighbourhood.

The property at 1403 Glenburnie Road was originally part of a 25 acre parcel located within the southerly part of Lot 2 in Range 2 of the Credit Indian Reserve survey. The transfer of the lands was registered by way of a grant from the Crown in 1912 to James Jennings who was described as a farmer on the transfer documents.

James Jennings was born in 1863 in Port Credit. He was the son of Samuel Jennings, who immigrated to Canada from Ireland and worked as an inn keeper in the County of Peel. James had two sisters, Mary Jennings and Ellen Jennings. James worked as a farmer in Port Credit and married Rosa Collins, a housekeeper in 1905. James and Rosa had two daughters, Margaret Jennings (March 9, 1898) and Catherine Jennings (February 24, 1900). James died on October 6, 1928, at the age of 65.

James Jennings sold the property to Edward Burns on March 19th, 1912 for \$11,000. Edward Burns was a lifetime resident of Part Credit living in a home on Hurontario Street that is known today as the Field Residence. The Field Residence dates back to 1914. In 1920, Edward Burns registered a Plan of a Subdivision on the subject lands including Part of Lot 2, Range 2, Credit Indian Reserve, and Part of Lot 12, Township of Toronto, County of Peel. The Registered Plan is described as Registered Plan G-20. The 1935 List of Electors of the Dominion Franchise Act identifies Mr. Burns' occupation as 'gentleman'. Earlier records of occupation indicate that he worked for John MacDonald & Co, a large dry goods company based in Toronto. Mr. Burns was married to Agnes Jane (nee Wilkinson). There were no records to suggest that Edward and Agnes had children.

The total lands were acquired by Paul Jorgenson in 1942 from the Estate of Edward Burns and Lot 22 was sold by Mr. Jorgenson in 1951. Mr Jorgenson's name appears on other land purchases in the area during this time and this would suggest that he was building homes during this time of growth and development in the Mineola area.

The existing house is not an integral part of the history or character of the area as it has evolved. The existing house represents a time when significant growth was occurring in the Township of Toronto and does not reflect any notable character or historical significance as it relates to the Cultural Landscape of Mineola Neighbourhood.

The property exhibits the character that is defined as part of the Mineola Cultural Landscape and as such care is to be taken in the redevelopment of this property.

Section 7 | Summary and Conclusions

The proposed home at 1570 Stavebank Road has been designed with similar massing characteristics of other homes on Stavebank Road and adjacent streets throughout the neighborhood. Although the massing of the proposed home does not represent the immediate adjacent neighbours the house has been designed in a manner in which it can successfully cohabitate with the existing dwellings.

The scale of the proposed dwelling is similar to other dwellings located throughout the neighborhood. As seen on the streetscape sketch in Section 5 of this report and the site photos on the following pages of this report, this property and surrounding lands contain mature trees, manicured lawns and landscaping. The proposed development will require the removal of some trees, which come into conflict with the proposed site plan or pose a safety risk as they are in poor health. The majority of existing mature trees have been preserved through the development.



View of house adjacent to 1570 Stavebank Rd



View of existing front



Photo 1 – View from street looking South



Photo 2 – View from street looking West



Photo 3 – View from street looking East



Photo 4 – View from street looking North

The proposed redevelopment of this property with a new residential dwelling will preserve the characteristics of the Mineola Neighbourhood Cultural Landscape and is consistent with the majority of planned redevelopment efforts throughout the area.

Summary Statement and Conservation Recommendations:

The existing 1 storey dwelling located at 1570 Stavebank Road has not been designated under the Ontario Heritage Act; however, the property has been listed on the register under the Mineola West Cultural landscape. The existing house does not represent significance related to theme, event, person, activity or organization. The existing house does not possess any characteristics that contribute to the local community or culture. The existing house is not known to represent any work of significant person in the community. The existing house has little contextual value in terms of the area character. As such, the significance of the existing dwelling does not merit conservation measures.

The impact of the proposed development has been taken into consideration when designing both the proposed home and the natural preservation of streetscape presence. The proposed dwelling has been designed to respect the front yard setbacks and adjacent properties. The proposed dwelling has been designed in such a manner that the frontage represents a 2-storey dwelling with mixed massing and scale which helps lower the impact on adjacent properties.

The development proposal is sensitive to the Landscape Environment of the Cultural Landscape in terms of proposing a development that; respects the streetscape of Stavebank Road, the visual quality of a home that is respectful of its surroundings and natural environment.

The development proposal complements the Built Environment of the Cultural Landscape in the context that the proposed built form will create an aesthetically pleasing design that has been intentionally created to take advantage of the existing topography of the property and respect the streetscape. The proposed home will represent an appropriate relationship to the adjoining properties and houses.

The development proposal supports the Historical Association of the Cultural Landscape through maintaining the character of the street and the retention of the treed street line and generous landscaped front yards along Glenburnie Road. The proposed architectural style is a unique blend of traditional European style with a contemporary execution. This style has been created by a Mississauga based designer that has been recognized for his work in the Mineola community. The community has a very diverse collection of architectural styles, including other examples of very similar architecture designed by the same designer. This style of architecture is reflective of the prevalent style in the Mineola Community.

The proposed redevelopment upholds the policies and objectives of the Mineola Neighbourhood Cultural Landscape designation applying to the property. For the aforementioned reasons we do not recommend conservation or alternative development measures be applied to for the subject property.

Mandatory Recommendation:

As per criteria set out in Regulation 9/06 of the Ontario Heritage Act the following reasons are why the subject property is not worthy of heritage designation and does not meet such criteria stated in Regulation 9/06.

 Does the property meet the criteria for heritage designation under the Ontario Regulation 9/06, Ontario Heritage Act?

> The property is listed on the City of Mississauga Heritage Register under the Mineola Neighbourhood Cultural Landscape; however, the existing dwelling has not been listed.

> Based on the conclusions and recommendations contained in this report, it is the opinion of the authors the existing house does not meet criteria set out in Regulation 9/06, Ontario Heritage Act for consideration for designation or preservation.

2. If the subject property does not meet the criteria for heritage designation then it must be clearly stated why it does not.

> The review of the chain of title of the property and the historic records of the City of Mississauga it was concluded the existing home does not represent significance related to theme, event, belief, activity, organization or institution in the community.

> The assessment of the existing structure in context of the ownership and architecture revealed that the structure does not possess any characteristics that contribute to an enhanced understanding of the community or local culture.

> The assessment of the existing structure in context of the ownership and architecture does not connect the existing structure to represent the work of any architect, artist, builder, designer or theorist in the community.

> The property and building have very little contextual value as far as its support of the character of the area.

There is no link to its physical, functional, visual or historic surroundings.

3. Regardless of the failure to meet criteria for heritage designation, does the property warrant conservation as per the definition in the Provincial Policy Statement?

> Section 2.6 of the Provincial Policy Statement, 2014 sets out that significant cultural heritage landscapes shall be conserved.

Conserved is specifically defined in the Provincial Policy Statement as:

"the identification, protection, use and/or management of cultural heritage and archaeological resources in such a way that their heritage values, attributes and integrity are retained. This may be addressed through a conservation plan or heritage impact assessment."

The property is listed on the City of Mississauga's Heritage Register as being within the Mineola Neighbourhhood Cultural Landscape. The City has developed policies which require the preparation of Heritage Impact Assessment. This report constitutes that assessment.

This report has considered the context of the Cultural Landscape and how the existing development of the property supports the heritage values, attributes and integrity of the cultural heritage landscape. It was determined that the existing dwelling does not contribute to the heritage values, attributes or integrity of the community.

This report then considered the context of the Cultural Landscape and how the proposed development would impact the heritage values, attributes and integrity of the cultural heritage landscape. The assessment speaks to the criteria as set out in the City of Mississauga's Policy documents and concludes that the proposed development will preserve values, attributes and integrity of the character of the Mineola Cultural Landscape. The sensitive architectural design relates the house to the topography of the property, preserves the trees on the property. The new development is sensitive to the adjoining properties in terms of massing, architectural finish and separation between the homes. The introduction of the new home along Glenburnie Road has been carefully planned to complement the streetscape and enhance the character of the Mineola Cultural Landscape.

As such, it is the conclusion of this report that the policies of the Mineola Neighbourhood Cultural Landscape have been appropriately addressed and that no further designation is required for the subject property.

Section 8 | Bibliography

Dieterman, Frank A. Mississauga The first 10,000 Years. The Mississauga Heritage Foundation Inc., 2002 McIlwraith, Thomas F. Looking for Old Ontario. University of Toronto Press, 1997 City of Mississauga Cultural Landscape Inventory L-RES-6 Community Services Department January 2005 $City\ of\ Mississauga\ \underline{Services\ Online-eMaps}\ \underline{\ http://www6.mississauga.ca/eMaps/(lafipz55wrpwqa55adxyff55)/default.aspx}$ Wilkinson, Matthew. <u>Historian.</u> Heritage Mississauga, 2015



October 25, 2017

David W. Small Designs Inc. c/o Julie Odanski 1440 Hurontario Street, Suite 200 Mississauga, Ontario L5G 3H4

SUBJECT: Arborist Report and Tree Preservation Plan

1570 Stavebank Road, Mississauga

Dear Julie:

Attached please find the Arborist Report and Tree Preservation Plan which has been prepared for the above listed property. It is the client's responsibility to review the entire report to ensure all required tree permit application forms are filed with the City of Mississauga.

This report includes an evaluation of all trees on or within 6 metres of the subject site's property lines with a diameter at breast height (DBH) of <u>15cm or greater</u>. This evaluation includes the DBH, height, canopy spread, health, and structural condition of all trees that may be affected by the currently proposed site plan. This report also provides a Tree Preservation Plan for the property, including the appropriate Tree Protection Zones (TPZ).

This information complies with The City of Mississauga's *Private Tree Protection By-Law 254-12* and *Site Plan Control By-Law 0293-2006*. Included in the report (if required) are Valuation Appraisals of any City-owned trees as required by the City of Mississauga to obtain the necessary tree permits.

This letter is part of the Arborist Report and Tree Preservation Plan and may not be used separately. Please feel free to contact me to discuss this report further.

Best regards,

Tom Bradley B.Sc. (Agr)

ASCA Registered Consulting Arborist #492

ISA Certified Arborist #ON-1182A

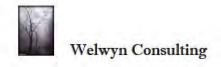
ISA Certified Tree Risk Assessor

Butternut Health Assessor #257 (OMNR)

Welwyn Consulting

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Arborist Report and Tree Preservation Plan

1570 Stavebank Road, Mississauga

Prepared For

David W. Small Designs Inc.

c/o Julie Odanski 1440 Hurontario Street, Suite 200 Mississauga, Ontario L5G 3H4

Prepared By

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Prepared On

October 25, 2017



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Summary

This Arborist Report and Tree Preservation Plan addresses all trees with a diameter at breast height (D.B.H.) of 15cm or greater and within 6 metres of the subject site that may be affected by the proposed property development and provides recommendations for their preservation and/or removal. This report also includes hoarding distances for the Tree Protection Zones (TPZ) and provides recommendations for current and future tree health care.

Based upon the Tree Inventory for this property, there are <u>54 trees</u> that may be affected by the proposed site development plan:

- 16 trees on the subject site
- 21 neighbouring trees within 6 metres of the subject site property line
- 7 shared ownership tree (subject site and neighbour west of subject site)
- 10 City-owned trees within proximity to the subject site

Table 1: Tree Preservation and Removal

TREES TO PRESERVE	TREE NUMBER	
i) Subject Site Trees	10, 22, 30, 31, 33, 35, 36, 37, 38, 39, 40, 41, 42	13
ii) Neighbouring Trees	7, 8, 9, 11, 15, 17-23, 24, 25, 27, 28, 32, 34, 48, 49	19
iii) Shared ownership Trees	12, 13, 14, 16, 43, 44, 50	7
iv) City-owned Trees	1, 2, 3, 4, 5, 6, 51, 52, 53	9
	#of Trees To Be Preserved:	48
TREES TO BE REMOVED	TREE NUMBER	TOTAL
i) Subject Site Trees	45, 46, 47 (site plan conflict)	3
ii) Neighbouring Trees	26, 29 (hazard tree notifications)	2
iii) Shared ownership Trees	0	0
iv) City-owned Trees	54 (site plan conflict)	1
	#of Trees To Be Removed:	6
+	Total trees on or adjacent to subject site:	54

Specific tree-related issues on this site:

Prior to driveway excavation, an Air Spade/Hydro-Vac investigation of the area 1m west of Tree #3's base shall be performed, under the supervision of a Certified Consulting Arborist, to determine the size and quantity of tree roots that could be affected by the excavation process.

Please refer to Page 7 of this report for further information.



Introduction

This Arborist Report and Tree Preservation Plan provides the current condition of all trees with a D.B.H of 15cm or greater on or adjacent to the subject site that may be affected by the proposed site development plan, including any City and/or neighbouring trees within 6 metres of the subject site's property lines as indicated by the attached site plan in Appendix A. The intent of the Tree Preservation Plan is to retain as many trees on the site as is reasonable through the use of Tree Protection Zones (TPZ) and other generally recognized arboricultural practices and to minimize the potential impact of construction injury to the trees.

Assignment

I was contacted by **David Small Designs Inc.** to provide an Arborist Report and Tree Preservation Plan, as required by the City of Mississauga's *Private Tree Protection By-Law 254-12* and *Site Plan Control By-Law 0293-2006* to minimize the impact that the proposed construction may have on the trees on or adjacent to this property. My report shall list specific trees to be preserved or removed, recommend any immediate maintenance required to create a safer environment for contractors and the property owner and provide a long-term tree preservation and management plan for the site.

Limits of Assignment

This report is limited to assessing and documenting the health and structural condition of the trees with a D.B.H of 15cm or greater on or 6 metres from the subject site during my site survey on **October 12, 2017.** My evaluation is based upon a visual inspection of the trees from the ground, and the analysis of photos and any samples taken during that inspection.

Unless specifically stated in the report;

- 1.) Neither aerial inspections nor root excavations were performed on any trees on site or within 6 metres of the subject site.
- 2.) A Level 2 "Basic" assessment using the 2011 International Society of Arboriculture (I.S.A.) *Best Management Practices* was used for tree evaluations within this report.

Purpose and Use

The purpose of this report is to document the current health and structural condition of the trees with a D.B.H of <u>15cm or greater</u> on and within 6 metres of the subject site property, and to provide an Arborist Report and Tree Preservation Plan that complies with the City of Mississauga's *Private Tree Protection By-Law 254-12* and *Site Plan Control By-Law 0293-2006*.

This report is intended for the exclusive use of **David Small Designs Inc.** Upon submission by and payment to Welwyn Consulting, this report will become licensed for use by **David Small Designs Inc.** at their discretion.



Observations

The proposed development is located in an established residential area near the intersections of Stavebank Road and Pine Tree Way within the City of Mississauga. This site presently contains a residential dwelling that will be demolished and replaced with a new home. I visited the site on October 12, 2017 to conduct my tree inventory and take photographs of the trees on site, as well as any neighbouring or City-owned trees that

may be affected by the proposed site plan.





Photo #1

Photo #2

Figure #1: These 2 photos show the front and back yard of the property at 1570 Stavebank Road as they appeared during the tree inventory conducted on October 12, 2017.

Appendices

Appendix A contains the most current site plan supplied by David Small Designs Inc. and provides the following information:

- The location of the trees on or adjacent to the subject site
- Property lines for the subject site and neighbouring properties
- Property lines for City-owned lands adjacent to the subject site
- All existing buildings and hard surfaces
- An outline of the proposed building

Appendix B contains the Tree Inventory for this site. All trees were assigned numbers, and measured for diameter at breast height (DBH=1.4m), height, and canopy spread. The trees' health, structural condition and physical location/ownership provide the basis for their recommended preservation or removal.

Appendix C contains the Tree Appraisal values for any City-owned trees on municipal property adjacent to the subject site that may be impacted by the proposed site plan.

Appendix D contains selected photos of trees on this site.



Trees to Preserve (48)

NOTES:

- It is the responsibility of the client to ensure that all architects, engineers, and contractors involved with the project be provided with a copy of the entire Arborist Report and Tree Preservation Plan for review prior to the commencement of construction activities on this site.
- 2.) All trees 15cm DBH or greater require a permit to injure. Removal of three (3) trees or more over 15cm DBH will require the completion of an "Application to Permit the Injury or Destruction of Trees on Private Property" form available from the link below: www.mississauga.ca/portal/services/formsonline

Trees #1-6 and 51-53 City-owned trees

These nine (9) trees are located in the front yard of the property at 1570 Stavebank Road on lands owned by the City of Mississauga. These 9 trees must be protected for the duration of the proposed construction activities on this site and no injury is anticipated.

<u>These nine (9) City-owned trees must be preserved.</u> Full implementation of the Tree Care Recommendations, Tree Preservation Plan and Tree Preservation Guidelines starting on Page 14 of this report should result in the trees' continued survival.

NOTES:

- 1.) The existing driveway 2m west of Tree #3's base is proposed to be reconfigured to be 1m from the west base of Tree #3. It is anticipated that large anchor roots may be present in this area.
- 2.) Prior to driveway excavation, an Air Spade/Hydro-Vac investigation of the area Im west of Tree #3's base shall be performed, under the supervision of a Certified Consulting Arborist, to determine the size and quantity of tree roots that could be affected by the excavation process. Any roots in the immediate area of the excavation shall be assessed, and if reasonable and feasible, properly pruned by the attending Certified Consulting Arborist. This action is anticipated to minimize the extent of root injury due to excavation and provide any pruned roots with the best opportunity to regenerate.
- 3.) A Tree Protection Audit report documenting the results of the root zone investigation shall be prepared and submitted by a Certified Consulting Arborist to the City of Mississauga for approval.
- 4.) Should approval be granted for the driveway re-configuration, permeable paving materials must be incorporated within the drip-lines of both Trees #2 and 3.
- 5.) The existing driveway 1m east of Tree #2 shall be moved a further 2.5m east as part of the proposed driveway re-configuration.
- 6.) The existing driveway base both east of Tree #2 and west of Tree #3 shall be re-used (no excavation re-grading only) to minimize the potential for root injury.



Trees #7-9 and 11

Neighbouring trees

These four (4) trees are located in the front yard of the neighbour's property east of 1570 Stavebank Road. These 4 trees must be protected for the duration of the proposed construction activities on this site and no injury is anticipated.

<u>These 4 neighbouring trees must be preserved.</u> Full implementation of the Tree Care Recommendations, Tree Preservation Plan and Tree Preservation Guidelines starting on Page 14 of this report should result in the trees' continued survival.

Tree #10

White Pine (subject site)

This tree is located in the front yard of 1570 Stavebank Road. This tree shall be protected for the duration of the proposed construction activities on this site and no injury is anticipated.

<u>This subject site tree shall be preserved.</u> Full implementation of the Tree Care Recommendations, Tree Preservation Plan and Tree Preservation Guidelines starting on Page 14 of this report should result in the tree's continued survival.

Trees #12-14 and 16

Shared-ownership trees

These four (4) trees are located on the east property line of 1570 Stavebank Road and have shared ownership. These 4 trees must be protected for the duration of the proposed construction activities on this site and no injury is anticipated.

All shared trees must be preserved unless their removal is agreed upon in a "Letter of Agreement" signed by all owners. Full implementation of the Tree Care Recommendations, Tree Preservation Plan and Tree Preservation Guidelines starting on Page 14 of this report should result in the trees' continued survival.

• Trees #15, 17-21, 23, 24, 25, 27 and 28

Neighbouring trees

These eleven (11) trees are located in the rear yard of the neighbour's property east of 1570 Stavebank Road. These 11 trees must be protected for the duration of the proposed construction activities on this site and no injury is anticipated.

These eleven (11) neighbouring trees must be preserved. Full implementation of the Tree Care Recommendations, Tree Preservation Plan and Tree Preservation Guidelines starting on Page 14 of this report should result in the trees' continued survival.

Tree #22

Red Oak (subject site)

This tree is located in the rear yard of 1570 Stavebank Road. The tree has been previously fitted with a static steel cabling system to support the tree's codominant stems. This tree shall be protected for the duration of the proposed construction activities and no injury is anticipated.

(Next page)



<u>This subject site tree shall be preserved.</u> Full implementation of the Tree Care Recommendations, Tree Preservation Plan and Tree Preservation Guidelines starting on Page 14 of this report should result in the tree's continued survival.

Trees #30 and 31 Weeping Willows (subject site)

These two (2) large trees are located in the rear yard of 1570 Stavebank Road. They are outside the scope of the currently proposed site plan and no injury is anticipated.

<u>These 2 subject site trees shall be preserved.</u> Full implementation of the Tree Care Recommendations, Tree Preservation Plan and Tree Preservation Guidelines starting on Page 14 of this report should result in the trees' continued survival.

■ Trees #32 and 34 Siberian Elm and Norway Maple (neighbour)

These two (2) trees are located in the rear yard of the neighbouring property west of 1570 Stavebank Road. They are outside the scope of the currently proposed site plan and no injury is anticipated.

<u>These 2 neighbouring trees must be preserved.</u> Full implementation of the Tree Care Recommendations, Tree Preservation Plan and Tree Preservation Guidelines starting on Page 14 of this report should result in the trees' continued survival.

■ Trees #33 and 35-39 Rear yard trees (subject site)

These six (6) trees are located in the rear yard of 1570 Stavebank Road. These 6 trees shall be protected for the duration of the proposed construction activities on this site and no injury is anticipated.

<u>These six (6) subject site trees shall be preserved.</u> Full implementation of the Tree Care Recommendations, Tree Preservation Plan and Tree Preservation Guidelines starting on Page 14 of this report should result in the trees' continued survival.

■ Trees #40-42 Front yard trees (subject site)

These three (3) trees are located in the front yard of 1570 Stavebank Road. These 3 trees shall be protected for the duration of the proposed construction activities on this site and no injury is anticipated.

These three (3) subject site trees shall be preserved. Full implementation of the Tree Care Recommendations, Tree Preservation Plan and Tree Preservation Guidelines starting on Page 14 of this report should result in the trees' continued survival.

■ Trees #43, 44 and 50 Scotch Elms (2) and Norway Maple (shared)

These three (3) trees are located on the western property line of 1570 Stavebank Road and have shared ownership. These 3 trees must be protected for the duration of the proposed construction activities on this site and no injury is anticipated.



All shared trees must be preserved unless their removal is agreed upon in a "Letter of Agreement" signed by all owners. Full implementation of the Tree Care Recommendations, Tree Preservation Plan and Tree Preservation Guidelines starting on Page 14 of this report should result in the trees' continued survival.

■ Trees #48 and 49 Eastern Redcedar (2) (neighbour)

These two (2) trees are located in the front yard of the neighbouring property west of 1570 Stavebank Road. These 2 trees must be protected for the duration of the proposed construction activities and no injury is anticipated.

These two (2) neighbouring trees must be preserved. Full implementation of the Tree Care Recommendations, Tree Preservation Plan and Tree Preservation Guidelines starting on Page 14 of this report should result in the trees' continued survival.



Trees to Remove (4)

Prior to construction, all trees scheduled for removal should be removed to grade level to increase the safety for both the property owner and any contractors.

NOTES:

- 1.) All trees 15cm DBH or greater require a permit to injure. Removal of three (3) trees or more over 15cm DBH will require the completion of an "Application to Permit the Injury or Destruction of Trees on Private Property" form available from the following link: www.mississauga.ca/portal/services/formsonline
- 2.) Guidelines for Tree Removal can be found at the following City of Mississauga link: www.mississauga.ca/portal/business/communityservicesstandards?paf_gear_id=9700018&itemId=300012
- Trees #45, 46 and 47 Weeping Beeches (2) and Crabapple (subject site)

 These three (3) trees are in conflict with the proposed site plan and are proposed to be safely removed to grade level prior to the commencement of on-site construction activities.

■ Tree #54 Silver Maple (City tree)

This City-owned tree is in conflict with the proposed site plan and is proposed to be safely removed to grade level prior to the commencement of on-site construction activities.

NOTE:

Staff from David Small Designs, along with City of Mississauga staff, met at the subject site and discussed the removal of Tree #54 to accommodate the driveway. Such an approval would be have to be provided by the City of Mississauga's Urban Forestry Department.

Hazard Tree Notifications (2)

■ Trees #26 and 29 Green Ash (neighbour)

These two (2) neighbouring trees are dead due to infestation with Emerald Ash Borer (EAB) and represent a safety hazard. The owner shall be notified of their trees' condition and be asked to have them removed as soon as possible.



Replacement Tree Planting (3)

Below are the City of Mississauga's Tree Replacement Plan Policy from The City of Mississauga's *Private Tree Protection By-Law 254-12* and the 2017 Forestry Fee Schedule:

- (2) Where the planting of a Replacement Tree(s) has been imposed as a condition, the Commissioner may require any one or more of the following:
 - (a) the Replacement Tree(s) be located on the same Lot in a location, number, size; and/or species to the satisfaction of the Commissioner;
 - (b) a replanting plan be filed to the satisfaction of the Commissioner;
 - (e) a written undertaking by the Owner to carry out the replacement planting;
 - (f) monies or a letter of credit in a form satisfactory to the Commissioner be delivered to the Commissioner to cover the costs of the Replacement Trees, and the maintenance of the Tree(s) for a period of up to two (2) years; or
 - (g) payment of each Replacement Tree not replanted on the Owner's Lot be made into the City's Replacement Tree Planting Fund. The payment for each such Tree shall be the cost of each street Tree planting as provided in the Fees and Charges By-law.

Forestry Fees and Charges Effective January 1, 2017-December 31, 2017

Street Tree Planting: Up to 60mm (2.5in) Caliper Tree	\$522.75
Street Tree Planting: Up to 200cm (6.5 ft height) Coniferous Tree	\$549.40
Forestry Section Administration Fee (applicable on Forestry Services provided within road allowance and to all related City By-law contraventions)	Greater of \$403 or 8% of total service cost
Requested Maintenance Work on City Owned Trees (Hourly)	
Caliper up to 40cm (15.75in)	\$397.70
Caliper of 41cm to 80cm (16in to 31.5in)	\$700.08
Caliper greater than 80cm (31.5in)	\$747.23
Replacement of Damaged or Destroyed Street Trees	\$704.18
Tree Removal Permit or Permission	
Dead, Dying or Hazardous Tree (as deemed by the Forestry Section)	\$0
Removal of Three (3) Trees, each with a diameter greater than 15cm (6in)	\$393
Removal of Additional Trees, each with a diameter greater than 15cm (6in)	\$89
Commemorative Tree Donation	\$1097.78
Site Plan Control Application Surcharge: Forestry Inspection	\$102.50
Site Visit Non-Compliance Charge	\$76.18

Based upon a 1:1 ratio (a 2:1 ratio for trees over 50cm DBH), the City of Mississauga requires three (3) replacement trees to be planted as compensation for trees over 15cm being removed as a result of site re-development. In accordance with the Tree By-Law, replacement trees are to be native in species, a minimum 60mm caliper for deciduous trees and a minimum 1.80m high for coniferous trees. The "cash in lieu of tree replacement planting" fee for 2017 is set at \$522.75



Tree Replacement Planting Plan: 1570 Stavebank Road, Mississauga

I.D.#	Tree Species	Suggested Location	
R1 (1 tree)	Sugar Maple Acer saccharum	Front yard (full sun)	
R2 (1 tree)	Tulip Tree Liriodendron tulipifera	Rear yard (part sun)	
R3 (1 tree)	White Pine Pinus strobus	Rear yard (part sun)	

NOTES:

1.) Replacement tree numbers were derived as follows:

a.	Tree $\#45 - 31$ cm DBH	1 replacement trees
b.	Tree #46 – 26cm DBH	1 replacement tree
c.	Tree #47 – 24cm DBH	1 replacement tree
		3 replacement trees

2.) Three (3) replacement trees and their proposed locations are marked with the symbol Rx on the site plan in Appendix A on Page 22 of this report.



Tree Care Recommendations

Cabling

Cabling is a practice which provides physical support for trees with structurally weak limbs, co-dominant stems, any branch or trunk unions with included bark, and tree species generally known to be weak-wooded. An aerial inspection of the tree's structural condition should be performed prior to cable installation, and any dead, diseased, or hazardous wood should be removed. Cabled trees should be inspected annually to assess both the cabling hardware and the tree's structural condition. Cabling reduces but does not eliminate a tree's hazard or failure potential.

Tree #22: Red Oak (subject site)

 The existing steel cabling system in this tree should be inspected to determine its condition.

Fertilization

Current research conducted through the International Society of Arboriculture (I.S.A.) indicates that preserved trees within close proximity of proposed construction activities should not be fertilized during the 1st year following construction injury. Uptake of nutrients and water in compacted soils can be reduced and fertilizer salts may actually remove water from a tree's root zone. If and when supplemental fertilization is deemed necessary, products which stimulate root growth should be employed over those that stimulate shoot and foliage growth and be applied at low application rates.

Supplemental fertilization needs should be assessed by a Certified Consulting Arborist upon completion of all on-site construction activities, and any recommendations should be based on site-specific soil nutrient deficiencies determined primarily through soil testing and secondarily by visual analysis of nutrient deficiencies in foliage, twigs, buds, and roots.

Pruning

Pruning is a practice which removes dead, diseased, broken, rubbing, crossing, and hazardous limbs 2.5 cm and larger from trees to create a safer working environment and improve tree health and vigor. Pruning also provides an excellent opportunity for an aerial inspection of the structural integrity of the tree(s). All pruning should be completed prior to any site demolition or construction.

Tree #2 (City) and Tree #10 (subject site)

Remove large-caliper hazardous deadwood from these two (2) trees.



Root Pruning/Air Spade/Hydro-Vac

Root pruning is performed to minimize a tree's potential loss of structural stability through root removal and/or injury due to excavation within close proximity of its root zone. While not always feasible for all projects, root pruning should occur in late autumn during tree dormancy and ideally one full growing season prior to any on-site construction or demolition to allow for root regeneration. Root pruning should be performed by a Certified Arborist in accordance with generally recognized standards and principles within the field of Arboriculture. Air-Spade and Hydro-Vac technologies provide two of the least invasive methods for root zone excavation, and should be performed under the supervision of a Certified Arborist.

General Methodology (other than air spade/hydro-vac)

Under the direction of a Certified Consulting Arborist and using hand and/or mechanical excavation techniques, the soil shall be carefully removed starting approximately 4-6m (where feasible) from the tree's base perpendicular to the edge of the proposed building foundation area. Digging in a line parallel to the roots rather than across them should minimize cracking of any large roots near the tree's base. The soil shall be removed in shallow layers to minimize the potential for striking any large roots that may have been close to the soil surface.

■ Tree #3: Silver Maple (City tree)

Prior to driveway excavation, an Air Spade/Hydro-Vac investigation of the area 1m west of Tree #3's base shall be performed, under the supervision of a Certified Consulting Arborist, to determine the size and quantity of tree roots that could be affected by the excavation process. <u>Please refer to Page 7 of this report for further information</u>.

Irrigation

An irrigation plan for preserved trees should be designed and implemented with the assistance of a Certified Consulting Arborist. The amount and frequency of irrigation will depend on factors such as soil type, local and seasonal precipitation patterns, duration of droughts, and the amount of construction activity near specific trees. The top 30 cm of soil in a tree's root zone should be kept moist without being saturated. Infrequent deep watering produces trees with deeper roots, while frequent shallow watering produces shallow-rooted trees. When combined with soil aeration improvement techniques such as vertical mulching, drill holes, and radial trenching, an adequate but not excessive supply of moisture to a tree's root zone can be an effective and efficient way to help alleviate construction injury.

Preserved trees should be monitored at regular intervals by a Certified Consulting Arborist for signs of drought stress or excess irrigation.

An irrigation plan will be developed upon determination of tree injury levels after completion of any required root pruning.



Horizontal Mulching

It may be determined by the Certified Consulting Arborist that trees within close proximity of construction activities will require a layer of composted wood chip mulch applied to the root zones inside the TPZ hoarding. Decomposed wood mulch 5–10 cm (2-4 inches) deep applied to a tree's root zone should help to retain soil moisture, regulate soil temperature, and provide a natural organic source of nutrients in their elemental form over time. Piling of mulch against the tree stem must be avoided. Fresh wood chip mulch shall be applied to a depth of 30 cm beneath steel plates or plywood on vehicle and equipment traffic areas within close proximity to the TPZ to distribute weight on the soil and help reduce potential root zone soil compaction.

There are no specific mulching requirements at this time.

Root Zone Aeration Improvements

Aeration improvement techniques such as drill holes, vertical mulching, soil fracturing, and radial trenching have the ability to reduce various degrees of soil compaction by increasing the amount of soil macro and micropores. Any form of root zone aeration improvement should be performed post-construction and under the supervision of a Certified Consulting Arborist to help remediate soil compaction caused by construction activity near preserved trees.

There are no root zone aeration improvements required on this site at this time.

Transplanting

Transplanting of larger caliper trees, through either hand digging or tree spade, allows for relocation and retention of desirable trees that might have otherwise been removed due to conflict with the proposed property construction design. Trees should be tree-spaded out by a reputable operator, and are best transplanted during dormancy in late autumn. No construction activity should take place near re-located trees either before or after transplantation.

Any transplanted trees should be fertilized using a complete fertilizer with a preferred nitrogen/phosphorus/potassium ratio of 1-2-2, with the Nitrogen component in slow release form. A 10 cm layer of composted wood mulch should be applied to the root zone, and the tree should receive regular irrigation for a period of at least one year. The tree may also require staking for a period of 1 year to provide stability while it reestablishes its root system.

There are no trees recommended for transplanting on this site at this time.



Tree Preservation Plan

The following Tree Preservation Plan should be implemented prior to any on-site construction activity.

Hoarding

Hoarding is used to define the **Tree Protection Zone** (TPZ), which protects a tree's root zone, trunk, and branches from injury during both construction and landscaping phases of the project. Hoarding should be installed prior to any construction activity, and remain intact until construction and landscaping is completed. **No** TPZ should be used for the temporary storage of building materials, storage or washing of equipment, or the dumping of construction debris, excess fill, or topsoil.

As required by the City of Mississauga, hoarding shall be constructed of 4x8 plywood sheets using 2x4 top and bottom rail construction supported by 4x4 wooden posts. A TPZ may be constructed of orange safety fencing using 2x4 top and bottom rail construction and supported by t-bar supports when protecting street trees where site line obstruction is a concern. TPZ signage should be posted in visible locations on the TPZ hoarding. T-bar supports for solid hoarding will only be allowed through pre-approval from the City of Mississauga's Development and Design Department.

The architect of record for the project should update the most current site plan/grading plan to include all existing trees properly plotted and numbered and all TPZ hoarding locations clearly indicated.

Hoarding Installation

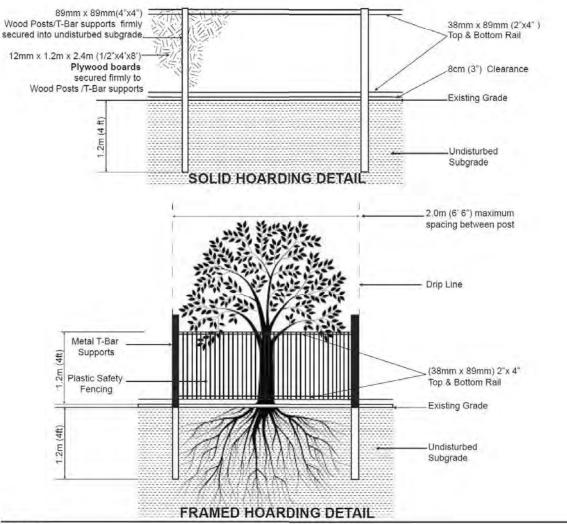
A diagram of the proposed hoarding plan for this site can be found in <u>Appendix A on Page 22</u> of this report. The recommended radial distances from the trunk for installation of TPZ hoarding are listed in <u>Appendix B starting on Page 23</u> of this report, and the hoarding should be installed using the following guidelines:

- All TPZ hoarding shall be placed at the recommended radial distance from the base of all trees to be protected or up to all existing and/or proposed hard surfaces to allow for construction.
- 2) Any large numbers of trees that can be grouped together in a closed box or continuous line system for protection shall have their TPZ hoarding placed at the recommended radial distance from the base of all of the largest peripheral trees of the system, or up to all existing and/or proposed hard surfaces to allow for construction.
- 3) Encroachment within a tree's TPZ will require a special permit from the City of Mississauga and/or on-site supervision by a Certified Consulting Arborist during any proposed excavation activities for root pruning and assessment.



City of Mississauga TPZ Hoarding Specifications

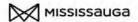
The diagram below provides the City of Mississauga's standards for Tree Protection Zone (T.P.Z) hoarding.



NOTES:

- 1. Hoarding details to be determined following initial site inspection.
- Private tree hoarding to be approved by Development & Design ; City tree hoarding to be approved by Community Services Dept.
- Hoarding must be supplied, installed and maintained by the applicant throughout all phases of construction.
 Inspection must be conducted by the Development and Design Division prior to removing any/all private hoarding.
- Do not allow water to collect and pond behind or within hoarding.
- 5. T-bar supports are acceptable alternative to 4x4 posts. U-shaped metal supports will not be accepted.
- Plywood must be utilized for 'solid' hoarding. OSB/Chipboard will not be accepted for solid hoarding. Plywood sheets must be installed on "construction" side of frame.
- 7. Applicant is responsible to ensure utility locates are completed within city boulevard prior to installing framed hoarding.

TREE PRESERVATION HOARDING



SCALE N.T.S DATE June 2017



Tree Preservation Plan Summary

I.) Pre-Construction Phase

- If necessary, have the Certified Consulting Arborist schedule an on-site meeting with a representative from the City of Mississauga's Urban Forestry Department, the property owner(s), and any Architects, Engineers, and contractors involved with the project to discuss the Tree Preservation Plan.
- Complete all Tree Care Recommendations, including pruning and any required tree removals.
- Install Tree Protection Zone (TPZ) hoarding as required.
- Where required, apply composted wood mulch to tree root zones within the TPZ hoarding, and apply fresh wood mulch over steel plates and/or plywood to any high-traffic areas immediately adjacent to the TPZ hoarding to help reduce soil compaction.
- If feasible, root-prune any preserved trees adjacent to excavation areas prior to construction under the supervision of a Certified Consulting Arborist.
- Establish an irrigation plan with the assistance of a Certified Consulting Arborist.

II.) Construction Phase

- Maintain and respect TPZ hoarding throughout the construction phase. Do not store or dump materials in this area.
- Continue irrigation plan as directed by a Certified Consulting Arborist.
- Prune any roots exposed during excavation under the supervision of a Certified Consulting Arborist.
- On-going monitoring by a Certified Consulting Arborist to evaluate construction injury/stress and make recommendations.

III.) Post-Construction Phase

- Remove hoarding only after permission from the City of Mississauga.
- Continue irrigation program as directed by a Certified Consulting Arborist.
- Supplemental fertilizer needs assessment by a Certified Consulting Arborist.
- Post-construction monitoring of all trees by a Certified Consulting Arborist.

NOTE:

Post-Construction Monitoring

Construction injury may take several years to become apparent. All preserved trees should be inspected by a Certified Consulting Arborist on a semi-annual basis for a period of up to 2 years to pro-actively address any tree health related issues as they occur.



ASSUMPTIONS AND LIMITING CONDITIONS

Any legal description provided to the consultant/appraiser is assumed to be correct. Any titles and ownerships to any property are assumed to be good and marketable. No responsibility is assumed for matters legal in character. Any and all property is appraised or evaluated as though free and clear, under responsible ownership and competent management. It is assumed that any property is not in violation of any applicable codes, ordinances, statutes, by-laws, or other governmental regulations.

Care has been taken to obtain all information from reliable sources, and all data has been verified insofar as possible. The consultant/appraiser can neither guarantee nor be responsible for the accuracy of information provided by others.

The consultant/appraiser shall not be required to give testimony or to attend court by reason of this report unless subsequent contractual arrangements are made, including payment of an additional fee for such services as described in the fee schedule and contract of engagement.

Loss or alteration of any part of this report invalidates the entire report.

Possession of this report or a copy thereof does not imply right of publication or use for any purpose by anyone other than the person to whom it is addressed without the prior expressed written or verbal consent of the consultant/appraiser.

Neither all nor any part of the contents of this report, nor any copy thereof, shall be conveyed by anyone, including the client, to the public through advertising, public relations, news, sales or other media without the prior expressed written or verbal consent of the consultant/appraiser particularly as to value conclusions, identity of the consultant/appraiser, or any reference to any professional society, institute, or any initialed designation conferred upon the consultant/appraiser as stated in his/her qualification.

This report and the values expressed herein represent the opinion of the consultant/appraiser, and the consultant/appraiser's fee is in no way contingent upon the reporting of a specified value, a stipulated result, the occurrence of a subsequent event, nor upon any finding to be reported.

Sketches, diagrams, graphs, and photographs in this report, being intended as visual aids, are not necessarily to scale and should not be construed as either engineering or architectural reports or surveys.

Unless expressed otherwise: 1) Information contained in this report covers only those items that were examined and reflections the condition of those items at the time of inspection, and 2) the inspection is limited to visual examination of accessible items without dissection, excavation, probing, or coring. There is no warranty or guarantee, expressed or implied, that problems or deficiencies of the plants or property in question may not arise in the future.



CERTIFICATE OF PERFORMANCE

I, Tom Bradley, certify that:

- I have personally inspected the tree(s) and/or the property referred to in this report, and have stated my findings accurately. The extent of any evaluation or appraisal is stated in the attached report and the Limits of Assignment.
- I have no current or prospective interest in the vegetation of the property that is the subject of this report, and have no personal interest or bias with respect to the parties involved.
- The analysis, opinions and conclusions stated herein are my own, and are based on current scientific procedures and facts.
- My compensation is not contingent upon the reporting of a pre-determined conclusion that favours the cause of the client or any other party, or upon the results of the assessment, the attainment of stipulated results, or the occurrence of any subsequent events.
- My analysis, opinions and conclusions were developed and this report has been prepared according to commonly accepted arboricultural practices.
- No one provided significant professional assistance to the consultant, except as indicated within the report.

I further certify that I am a Registered Consulting Arborist through the *American Society of Consulting Arborists (A.S.C.A)*, and both a Certified Arborist and Certified Tree Risk Assessor with the *International Society of Arboriculture (I.S.A)*. I have been involved in the fields of Arboriculture and Horticulture in a full-time capacity for a period of more than 20 years.

Signed:

Date:

October 25, 2017

Jour Jacoby



Appendix A: Proposed Site Plan – 1570 Stavebank Rd. Mississauga

Note: The proposed Tree Protection Zone (TPZ) hoarding is shown as green lines and is not to scale on this drawing. Rx denotes three (3) replacement trees and their approximate proposed locations.





Appendix B: Tree Survey - 1570 Stavebank Rd. Mississauga

I.D #	Owner	Tree Species Common Name	Tree Species Botanical Name	DBH (cm)	Height (m)	Canopy (m)	Tree Health	Structural Condition	Comments	Minimum TPZ unless otherwise indicated
1	City of Mississauga	Anglo- Japanese Yew	Taxus cuspidata	17	4.5	6	Good	Good	Small-caliper deadwood in canopy; underneath overhead utility lines	Preserve: TPZ = 1.8m
2	City of Mississauga	Silver Maple	Acer saccharinum	86	24	14	Good	Fair	Large-caliper deadwood in canopy	Preserve: TPZ = 5.4m
3	City of Mississauga	Silver Maple	Acer saccharinum	85	19	10	Good	Fair	Small-caliper deadwood in canopy; north stem topped at 6m with visible decay; branch canopy above 10m; response growth at west, east and north tree base	Preserve: TPZ = 5.4m
4	City of Mississauga	Silver Maple	Acer saccharinum	47	19	8	Good	Fair	Small-caliper deadwood in canopy, serpentine s-curve over utility lines at 10m; small aspect ratio co-dominant stems with included bark union 10m from tree base	Preserve: TPZ = 3.0m
5	City of Mississauga	White Pine	Pinus strobus	22.5	16	4	Good	Fair	Small-caliper deadwood in canopy; lower branch canopy shaded at 4m with upper canopy shaded by adjacent tree species	Preserve: TPZ = 2.4m
6	City of Mississauga	Austrian Pine	Pinus nigra	39.5	19	4	Good	Fair	Small-caliper deadwood in canopy; branch canopy above 7m; approx. 30% Diplodia Tip Blight; upper canopy shaded and reduced on north side	Preserve: TPZ = 2.4m
7	Neighbour	White Oak	Quercus alba	12	8	4	Good	Good	Small-caliper deadwood in canopy; shaded by adjacent trees; branch canopy above 2m	Preserve: TPZ = 1.8m
8	Neighbour	White Oak	Quercus alba	25.5	17	7	Good	Good	Small-caliper deadwood in canopy; branch canopy above 3m; lower branch canopy shaded and reduced	Preserve: TPZ = 2.4m
9	Neighbour	Red Maple	Acer rubrum	6.5, 17 (18)	15	8	Good	Good	Small-caliper deadwood in canopy; co-dominant stems with included bark union at tree base	Preserve: TPZ = 1.8m
10	Subject Site	White Pine	Pinus strobus	57.5	23	8	Good	Good	Large-caliper deadwood in canopy; branch canopy above 16m	Preserve: TPZ = 3.6m
11	Neighbour	Black Cherry	Prunus serotina	33	14	12	Good	Good	Small-caliper deadwood in canopy; branch canopy above 3m and shaded on east side; stem curve west at 8m	Preserve: TPZ = 2.4m
12	Shared Ownership	Scotch Elm	Ulmus glabra	45	22	10	Good	Good	Small-caliper deadwood in canopy; branch canopy above 10m	Preserve: TPZ = 3.0m



I.D #	Owner	Tree Species Common Name	Tree Species Botanical Name	DBH (cm)	Height (m)	Canopy (m)	Tree Health	Structural Condition	Comments	Minimum TPZ unless otherwise indicated
13	Shared Ownership	Black Cherry	Prunus serotina	23	12	7	Good	Fair	Small-caliper deadwood in canopy; stem curve west from 2-4m with branch canopy above 4m	Preserve: TPZ = 2.4m
14	Shared Ownership	Black Cherry	Prunus serotina	13	7	4	Good	Good	Small-caliper deadwood in canopy; branch canopy above 3m	Preserve: TPZ = 1.8m
15	Neighbour	Black Cherry	Prunus serotina	17	16	7	Good	Fair	Small-caliper deadwood in canopy; lower branch canopy clearance pruned 9m from tree base; stem curve east	Preserve: TPZ = 1.8m
16	Shared Ownership	Anglo- Japanese Yew	Taxus cuspidata	6	4	3	Good	Good	Small-caliper deadwood in canopy	Preserve: TPZ = 1.8m
17	Neighbour	Green Ash	Fraxinus pennsylvanica	18	16	5	Good	Fair	Small-caliper deadwood in canopy; branch canopy shaded and reduced on west side; corrected stem curve east at 2-6m	Preserve: TPZ = 1.8m
18	Neighbour	White Ash	Fraxinus americana	28.5	20	8	Good	Good	Small-caliper deadwood in canopy; lower branch canopy shaded and reduced 6m from tree base	Preserve: TPZ = 2.4m
19	Neighbour	Black Cherry	Prunus serotina	10	16	7	Good	Good	Small-caliper deadwood in canopy; lower branch canopy shaded and reduced 6m from tree base	Preserve: TPZ = 1.8m
20	Neighbour	Red Oak	Quercus rubra	77	28	16	Good	Good	Small-caliper deadwood in canopy; north stem previously removed; 5m east of property line	Preserve: TPZ = 4.8m
21	Neighbour	White Oak	Quercus alba	43	22	11	Good	Good	Small-caliper deadwood in canopy; lower branch canopy shaded and reduced 12m; 2m east of chain-link fence	Preserve: TPZ = 3.0m
22	Subject Site	Red Oak	Quercus rubra	74, 77 (106)	30	20	Good	Fair	Small-caliper deadwood in canopy; small aspect ratio co-dominant stems with included bark union at tree base; branch canopy above 12m; static steel support cable at 14m	Preserve: TPZ = 6.0m Inspect cabling system
23	Neighbour	Black Cherry	Prunus serotina	27	18	6	Good	Good	Small-caliper deadwood in canopy, lower branch canopy shaded and reduced 8m from tree base	Preserve: TPZ = 2.4m
24	Neighbour	Norway Maple	Acer platanoides	50	20	16	Good	Good	Small-caliper deadwood in canopy; branch canopy shaded and reduced on west side	Preserve: TPZ = 3.0m



I.D #	Owner	Tree Species Common Name	Tree Species Botanical Name	DBH (cm)	Height (m)	Canopy (m)	Tree Health	Structural Condition	Comments	Minimum TPZ unless otherwise indicated
25	Neighbour	Black Cherry	Prunus serotina	22.5	12	5	Good	Good	Small-caliper deadwood in canopy; stem curve south at 2-5m; lower branch canopy shaded and reduced	Preserve: TPZ = 2.4m
26	Neighbour	Green Ash	Fraxinus pennsylvanica	21, 30, 31 (48)	18	10	130	4	Dead tree due to Emerald Ash Borer (EAB)	Remove: Potential safety hazard
27	Neighbour	Red Oak	Quercus rubra	54	25	15	Good	Good	Small-caliper deadwood in canopy; lower branch canopy shaded 12m from tree base	Preserve: TPZ = 3.6m
28	Neighbour	Red Oak	Quercus rubra	12, 23 (26)	15	10	Good	Good	Small-caliper deadwood in canopy; small aspect ratio co-dominant stems with included bark union at tree base	Preserve: TPZ = 2.4m
29	Neighbour	Green Ash	Fraxinus pennsylvanica	12, 20 (23)	12	6	Poor	Poor	Large-caliper deadwood in canopy with epicormic shoots at tree base; grape ivy climbing on stem; in decline due to infestation by Emerald Ash Borer (EAB)	Remove: Potential safety hazard
30	Subject Site	Weeping Willow	Salix alba var.trisitis	96	21	13	Good	Poor	Small-caliper deadwood in canopy; decayed area at northeast tree base 1m wide x 2m tall; stem wood in contortion	Preserve: TPZ = 6.0m
31	Subject Site	Weeping Willow	Salix alba var.trisitis	112.5	20	12	Good	Good	Small-caliper deadwood in canopy; branch canopy above 9m	Preserve: TPZ = 7.0m
32	Neighbour	Siberian Elm	Ulmus pumila	46	18	9	Good	Fair	Small-caliper deadwood in canopy; approx. 30 degree stem lean northeast	Preserve: TPZ = 3.0m
33	Subject Site	Flowering Crabapple	Malus spp.	16	4	4	Good	Good	Small-caliper deadwood in canopy; branch canopy above 2m	Preserve: TPZ = 1.8m
34	Neighbour	Norway Maple	Acer platanoides	25	11	8	Good	Good	Small-caliper deadwood in canopy, branch canopy shaded on east side and starts 2m from tree base	Preserve: TPZ = 2.4m
35	Subject Site	Flowering Crabapple	Malus spp.	16	3	3	Good	Fair	Small-caliper deadwood in canopy; horizontal stem at 1m; branch canopy shaded on north side	Preserve: TPZ = 1.8m
36	Subject Site	Flowering Crabapple	Malus spp.	24	3	3	Good	Fair	Small-caliper deadwood in canopy; co-dominant stems with included bark union 1.4m from tree base with branch canopy above 2m	Preserve: TPZ = 2.4m



I.D #	Owner	Tree Species Common Name	Tree Species Botanical Name	DBH (cm)	Height (m)	Canopy (m)	Tree Health	Structural Condition	Comments	Minimum TPZ unless otherwise indicated
37	Subject Site	Green Ash	Fraxinus pennsylvanica	24	13	9	Good	Good	Small-caliper deadwood in canopy, branch canopy above 3m	Preserve: TPZ = 2.4m
38	Shared Ownership	Flowering Crabapple	Malus spp.	23, 28 (36)	5	8	Good	Fair	Small-caliper deadwood in canopy; grafted co- dominant stems at 2m with upper canopy topped	Preserve: TPZ = 2.4m
39	Subject Site	Green Ash	Fraxinus pennsylvanica	29	14	10	Good	Good	Small-caliper deadwood in canopy; lower branch canopy clearance pruned on east side over adjacent shed	Preserve: TPZ = 2.4m
40	Subject Site	Silver Maple	Acer saccharinum	35	20	7	Good	Fair	Small-caliper deadwood in canopy; branch canopy shaded and reduced on north side; branch canopy above 3m with stem curve south at 6m	Preserve: TPZ = 2.4m
41	Subject Site	Ulmus glabra	Ulmus glabra	75	24	18	Good	Fair	Small-caliper deadwood in canopy, small aspect ratio co-dominant stems with included bark union 2m from tree base with branch canopy above 4m; large prop roots at base	Preserve: TPZ = 4.8m
42	Subject Site	Silver Maple	Acer saccharinum	55	23	12	Good	Fair	Small-caliper deadwood in canopy; small aspect ratio co-dominant stems with included bark union 4m from tree base with branch canopy above 10m	Preserve: TPZ = 3.6m
43	Shared Ownership	Scotch Elm	Ulmus glabra	37	21	13	Good	Fair	Small-caliper deadwood in canopy; stem bend north above 4m; upper canopy shaded by adjacent large tree	Preserve: TPZ = 2.4m
44	Shared Ownership	Silver Maple	Acer saccharinum	40	22	13	Good	Fair	Small-caliper deadwood in canopy; large aspect ratio co-dominant stems with included bark union 2m from tree base; upper canopy shaded and reduced by adjacent tree	Preserve: TPZ = 2.4m
45	Subject Site	Flowering Crabapple	Malus spp.	18, 26 (31)	4	8	Good	Fair	Small-caliper deadwood in canopy, topped; 2 large branches previously removed on west and east sides	Remove: Proposed site plan in conflict with the tree
46	Subject Site	Weeping Purple Beech	Fagus sylvatica 'Pendula'	26	14	4	Good	Good	Small-caliper deadwood in canopy; in center of circular driveway	Remove: Proposed site plan in conflict with the tree



I.D #	Owner	Tree Species Common Name	Tree Species Botanical Name	DBH (cm)	Height (m)	Canopy (m)	Tree Health	Structural Condition	Comments	Minimum TPZ unless otherwise indicated
47	Subject Site	Weeping Purple Beech	Fagus sylvatica 'Pendula'	sylvatica dula' 24 14 4 Good Good Small-caliper deadwood in canopy; in center of circular driveway		Remove: Proposed site plan in conflict with the tree				
48	Neighbour	Eastern Redcedar	Juniperus virginiana	8, 15.5 (17)	10	2	Fair	Good	Small-caliper deadwood in canopy; reduced foliage due to shading by adjacent trees	Preserve: TPZ = 1.8m
49	Neighbour	Eastern Redcedar	Juniperus virginiana	19.5	10	2	Fair	Good	Small-caliper deadwood in canopy; reduced foliage due to shading by adjacent trees	Preserve: TPZ = 1.8m
50	Subject Site	Scotch Elm	Ulmus glabra	18.5	12	7	Good	Good	Small-caliper deadwood in canopy	Preserve: TPZ = 1.8m
51	City of Mississauga	Douglas Fir	Pseudotsuga menziesii var.glauca	32	20	4	Good	Good	Large-caliper deadwood in canopy; branch canopy above 8m	Preserve: TPZ = 2.4m
52	City of Mississauga	Douglas Fir	Pseudotsuga menziesii var.glauca	41	24	5	Good	Good	Large-caliper deadwood in canopy; branch canopy above 6m	Preserve: TPZ = 3.0m
53	City of Mississauga	Anglo- Japanese Yew	Taxus cuspidata	9, 21 (23)	6	8	Good	Good	Small-caliper deadwood in canopy	Preserve: TPZ = 1.8m
54	City of Mississauga	Silver Maple	Acer saccharinum	76	23	19	Good	Fair	Large-caliper deadwood in canopy, large aspect ratio co-dominant stems with included bark union 5m from tree base with canopy 5m above union	Remove: Proposed site plan in conflict with the tree



Appendix C: Tree Valuation Appraisals (Trunk Formula Method)

TREE APPRAISAL Trunk Formula Method

Tree Number: One (1)

Address: 1570 Stavebank Road, Mississauga

Owner: City of Mississauga
Date of Appraisal: October 12, 2017
Appraiser: Tom Bradley

Certification Number: R.C.A. #492 (A.S.C.A.)

Field Observations (based on Guide for Plant Appraisal, 9th Edition)

Taxus cuspidata

Regional Plant Appraisal Committee Information - Guide for Plant Appraisal, 9th Edition

5	Species Rating:	72	%
6	Replacement Plant Size:	6	cm
6b	Trunk Area:	28.26	cm^2
7	Replacement Plant Cost:	\$28.00	cin
8	Installation Cost: (1.5x Plant Cost)	\$42.00	
9	Installed Tree Cost:	\$70.00	
10	Unit Tree Cost:	\$2.48	

Calculations by Appraiser Using Field and /or Regional Information

11	Appraised Trunk Area (using Table 4.6):	201	cm ²
12	Appraised Tree Trunk Increase (#11 - #6b):	173	cm^2
13	Basic Tree Cost (#12 x #10 + #9):	\$497.88	
14	Appraised Value (#13 x #5 x #2 x #4) :	\$188.20	
15	Appraised Value > \$5000.00 is rounded to the nearest \$100.		
16	Appraised Value < \$5000.00 is rounded to the nearest \$10.		

APPRAISED VALUE:

\$190



TREE APPRAISAL Trunk Formula Method

Tree Number: Two (2)

Address: 1570 Stavebank Road, Mississauga

Owner: City of Mississauga
Date of Appraisal: October 12, 2017
Appraiser: Tom Bradley

Certification Number: R.C.A. #492 (A.S.C.A.)

Field Observations (based on Guide for Plant Appraisal, 9th Edition)

Acer

1 Species: Silver Maple saccharinum

2 Condition: 72 % 3 DBH: 86 cm 4 Location: 77 %

Regional Plant Appraisal Committee Information - Guide for Plant Appraisal, 9th Edition

5	Species Rating:	60	%
6	Replacement Plant Size: Trunk	9	cm
6b	Area:	63.585	cm ²
7	Replacement Plant Cost:	\$295.00	
8	Installation Cost: (1.5x Plant Cost)	\$442.50	
9	Installed Tree Cost:	\$737.50	
10	Unit Tree Cost:	\$11.60	

Calculations by Appraiser Using Field and or Regional Information

11	Appraised Trunk Area (using Table 4.6):	5638	cm^2
12	Appraised Tree Trunk Increase (#11 - #6b):	5574	cm ²
13	Basic Tree Cost (#12 x #10 + #9):	\$65,393.17	
14	Appraised Value (#13 x #5 x #2 x #4):	\$21,620.62	

15 Appraised Value > \$5000.00 is rounded to the nearest \$100.

Appraised Value < \$5000.00 is rounded to the nearest \$10.

APPRAISED VALUE:

\$21,600



TREE APPRAISAL Trunk Formula Method

Tree Number: Three (3)

Address: 1570 Stavebank Road, Mississauga

Owner: City of Mississauga
Date of Appraisal: October 12, 2017
Appraiser: Tom Bradley

Certification Number: R.C.A. #492 (A.S.C.A.)

Field Observations (based on Guide for Plant Appraisal, 9th Edition)

Acer

1 Species: Silver Maple saccharinum

2 Condition: 72 % 3 DBH: 85 cm 4 Location: 77 %

Regional Plant Appraisal Committee Information - Guide for Plant Appraisal, 9th Edition

5	Species Rating:	60	%
6	Replacement Plant Size:	9	cm
	Trunk		
6b	Area:	63.585	cm ²
7	Replacement Plant Cost:	\$295.00	
8	Installation Cost: (1.5x Plant Cost)	\$442.50	
9	Installed Tree Cost:	\$737.50	
10	Unit Tree Cost:	\$11.60	

Calculations by Appraiser Using Field and /or Regional Information

11	Appraised Trunk Area (using Table 4.6):	5280	cm^2
12	Appraised Tree Trunk Increase (#11 - #6b):	5216	cm^2
13	Basic Tree Cost (#12 x #10 + #9):	\$61,240.86	
14	Appraised Value (#13 x #5 x #2 x #4) :	\$20,247.76	
15	Appraised Value > \$5000.00 is rounded to the nearest \$100.		
16	Appraised Value < \$5000.00 is rounded to the nearest \$10.		

APPRAISED VALUE:

\$20,200



TREE APPRAISAL Trunk Formula Method

Tree Number: Four (4)

Address: 1570 Stavebank Road, Mississauga

Owner: City of Mississauga
Date of Appraisal: October 12, 2017
Appraiser: Tom Bradley

Certification Number: R.C.A. #492 (A.S.C.A.)

Field Observations (based on Guide for Plant Appraisal, 9th Edition)

Acer

1 Species: Silver Maple saccharinum

2 Condition: 75 % 3 DBH: 45 cm 4 Location: 75 %

Regional Plant Appraisal Committee Information - Guide for Plant Appraisal, 9th Edition

5	Species Rating:	60	%
6	Replacement Plant Size: Trunk	9	cm
6b	Area:	63.585	cm^2
7	Replacement Plant Cost:	\$295.00	
8	Installation Cost: (1.5x Plant Cost)	\$442.50	
9	Installed Tree Cost:	\$737.50	
10	Unit Tree Cost:	\$11.60	

Calculations by Appraiser Using Field and /or Regional Information

11	Appraised Trunk Area (using Table 4.6):	1590 c	cm^2
12	Appraised Tree Trunk Increase (#11 - #6b):	1526 c	cm ²

13 Basic Tree Cost (#12 x #10 + #9) : \$18,441.85 14 Appraised Value (#13 x #5 x #2 x #4) : \$6,224.12

 $15 \qquad \quad Appraised \ Value > \$5000.00 \ is \ rounded \ to \ the \ nearest \ \$100.$

Appraised Value < \$5000.00 is rounded to the nearest \$10.

APPRAISED VALUE:

\$6,200



TREE APPRAISAL Trunk Formula Method

Tree Number: Five (5)

Address: 1570 Stavebank Road, Mississauga

Owner: City of Mississauga
Date of Appraisal: October 12, 2017
Appraiser: Tom Bradley

Certification Number: R.C.A. #492 (A.S.C.A.)

Field Observations (based on Guide for Plant Appraisal, 9th Edition)

1	Species: V	Vhite Pine			Pinus strobus
2	Condition:		75	%	
3	DBH:		22	cm	
4	Location:		75	%	

Regional Plant Appraisal Committee Information - Guide for Plant Appraisal, 9th Edition

5	Species Rating:	75	%
6	Replacement Plant Size:	9	cm
	Trunk		
6b	Area:	63.585	cm^2
7	Replacement Plant Cost:	\$265.00	
8	Installation Cost: (1.5x Plant Cost)	\$397.50	
9	Installed Tree Cost:	\$662.50	
10	Unit Tree Cost:	\$10.42	

Calculations by Appraiser Using Field and /or Regional Information

11	Appraised Trunk Area (using Table 4.6):	380	cm^2
12	Appraised Tree Trunk Increase (#11 - #6b):	316	cm^2
13	Basic Tree Cost (#12 x #10 + #9):	\$3,959.27	
14	Appraised Value (#13 x #5 x #2 x #4):	\$1,670.32	
15	Appraised Value > \$5000.00 is rounded to the nearest \$100.		
16	Appraised Value < \$5000.00 is rounded to the nearest \$10.		

APPRAISED VALUE:

\$1,670



TREE APPRAISAL Trunk Formula Method

Tree Number: Six (6)

Address: 1570 Stavebank Road, Mississauga

Owner: City of Mississauga
Date of Appraisal: October 12, 2017
Appraiser: Tom Bradley

Certification Number: R.C.A. #492 (A.S.C.A.)

Field Observations (based on Guide for Plant Appraisal, 9th Edition)

Pinus 1 Species: **Austrian Pine** nigra 2 Condition: 75 % 3 DBH: 39 cm % 4 Location: 73

Regional Plant Appraisal Committee Information - Guide for Plant Appraisal, 9th Edition

5	Species Rating:	63	%
6	Replacement Plant Size:	9	cm
	Trunk		
6b	Area:	63.585	cm ²
7	Replacement Plant Cost:	\$265.00	
8	Installation Cost: (1.5x Plant Cost)	\$397.50	
9	Installed Tree Cost:	\$662.50	
10	Unit Tree Cost:	\$10.42	

Calculations by Appraiser Using Field and /or Regional Information

	그리고 아이들 이를 통하는데 보고 있는데 하고 있는데 이 보고 있는데 그리고 있는데 바로 없는데 바로 없는데 하는데 없다.		
11	Appraised Trunk Area (using Table 4.6):	1194	cm^2
12	Appraised Tree Trunk Increase (#11 - #6b):	1130	cm^2
13	Basic Tree Cost (#12 x #10 + #9):	\$12,440.43	
14	Appraised Value (#13 x #5 x #2 x #4):	\$4,310.61	
15	Appraised Value > \$5000.00 is rounded to the nearest \$100.		
16	Appraised Value < \$5000.00 is rounded to the nearest \$10.		

APPRAISED VALUE:

\$4,310



1

Welwyn Consulting

TREE APPRAISAL Trunk Formula Method

Tree Number: Fifty One (51)

Address: 1570 Stavebank Road, Mississauga

Owner: City of Mississauga
Date of Appraisal: October 12, 2017
Appraiser: Tom Bradley

Certification Number: R.C.A. #492 (A.S.C.A.)

Field Observations (based on Guide for Plant Appraisal, 9th Edition)

Pseudotsuga menziesii

Species: Douglas Fir var.glauca

2 Condition: 75 % 3 DBH: 31 cm 4 Location: 73 %

Regional Plant Appraisal Committee Information - Guide for Plant Appraisal, 9th Edition

5	Species Rating:	70	%
6	Replacement Plant Size: Trunk	7	cm
6b	Area:	38.465	cm ²
7	Replacement Plant Cost:	\$190.00	
8	Installation Cost: (1.5x Plant Cost)	\$285.00	
9	Installed Tree Cost:	\$475.00	
10	Unit Tree Cost:	\$12.35	

Calculations by Appraiser Using Field and for Regional Information

11	Appraised Trunk Area (using Table 4.6):	754	cm ²
12	Appraised Tree Trunk Increase (#11 - #6b):	716	cm ²
13	Basic Tree Cost (#12 x #10 + #9):	\$9,311.06	
14	Appraised Value (#13 x #5 x #2 x #4):	\$3.584.76	

15 Appraised Value > \$5000.00 is rounded to the nearest \$100.

16 Appraised Value < \$5000.00 is rounded to the nearest \$10.

APPRAISED VALUE:

\$3,580



1

Welwyn Consulting

TREE APPRAISAL Trunk Formula Method

Tree Number: Fifty Two (52)

Address: 1570 Stavebank Road, Mississauga

Owner: City of Mississauga
Date of Appraisal: October 12, 2017
Appraiser: Tom Bradley

Certification Number: R.C.A. #492 (A.S.C.A.)

Field Observations (based on Guide for Plant Appraisal, 9th Edition)

Pseudotsuga menziesii

Species: Douglas Fir var.glauca

2 Condition: 75 % 3 DBH: 40 cm 4 Location: 73 %

Regional Plant Appraisal Committee Information - Guide for Plant Appraisal, 9th Edition

-	Carrier Decines	70	0/
)	Species Rating:	/0	%
6	Replacement Plant Size:	7	cm
	Trunk		
6b	Area:	38.465	cm ²
7	Replacement Plant Cost:	\$190.00	
8	Installation Cost: (1.5x Plant Cost)	\$285.00	
9	Installed Tree Cost:	\$475.00	
10	Unit Tree Cost:	\$12.35	

Calculations by Appraiser Using Field and or Regional Information

11	Appraised Trunk Area (using Table 4.6):	1256	cm ²
12	Appraised Tree Trunk Increase (#11 - #6b):	1218	cm^2
13	Basic Tree Cost (#12 x #10 + #9):	\$15,510.20	
14	Appraised Value (#13 x #5 x #2 x #4):	\$5,971.43	

15 Appraised Value > \$5000.00 is rounded to the nearest \$100.

Appraised Value < \$5000.00 is rounded to the nearest \$10.

APPRAISED VALUE:

\$6,000



TREE APPRAISAL Trunk Formula Method

Tree Number: Fifty Three (53)

Address: 1570 Stavebank Road, Mississauga

Owner: City of Mississauga
Date of Appraisal: October 12, 2017
Appraiser: Tom Bradley

Certification Number: R.C.A. #492 (A.S.C.A.)

Field Observations (based on Guide for Plant Appraisal, 9th Edition)

Taxus
1 Species: Anglo Japanese Yew cuspidata
2 Condition: 75 %

2 Condition: 75 % 3 DBH: 21 cm 4 Location: 70 %

Regional Plant Appraisal Committee Information - Guide for Plant Appraisal, 9th Edition

Species Rating: 72 % 6 Replacement Plant Size: 7 cm Trunk 38.465 cm^2 6b Area: 7 Replacement Plant Cost: \$85.00 8 Installation Cost: (1.5x Plant Cost) \$127.50 9 **Installed Tree Cost:** \$212.50 Unit Tree Cost: 10 \$5.52

Calculations by Appraiser Using Field and /or Regional Information

11 Appraised Trunk Area (using Table 4.6): 346 cm²

12 Appraised Tree Trunk Increase (#11 - #6b): 308 cm²

13 Basic Tree Cost (#12 x #10 + #9) : \$1,911.48

14 Appraised Value (#13 x #5 x #2 x #4) : \$722.54

15 Appraised Value > \$5000.00 is rounded to the nearest \$100.

16 Appraised Value < \$5000.00 is rounded to the nearest \$10.

APPRAISED VALUE:

\$720



TREE APPRAISAL Trunk Formula Method

Tree Number: Fifty Four (54)

Address: 1570 Stavebank Road, Mississauga

Owner: City of Mississauga
Date of Appraisal: October 12, 2017
Appraiser: Tom Bradley

Certification Number: R.C.A. #492 (A.S.C.A.)

Field Observations (based on Guide for Plant Appraisal, 9th Edition)

Acer

1 Species: Silver Maple saccharinum

2 Condition: 75 % 3 DBH: 73 cm 4 Location: 75 %

Regional Plant Appraisal Committee Information - Guide for Plant Appraisal, 9th Edition

60 % 5 Species Rating: 6 Replacement Plant Size: 9 cm Trunk 63.585 cm² 6b Area: 7 \$295.00 Replacement Plant Cost: 8 Installation Cost: (1.5x Plant Cost) \$442.50 9 **Installed Tree Cost:** \$737.50

Calculations by Appraiser Using Field and /or Regional Information

11	Appraised Trunk Area (using Table 4.6):	4183	cm^2
12	Appraised Tree Trunk Increase (#11 - #6b):	4119	cm^2
13	Basic Tree Cost (#12 x #10 + #9):	\$48,517.14	
14	Appraised Value (#13 x #5 x #2 x #4) :	\$16,374.54	
10	. 1771 - 05000 00: 1 14 1		

Appraised Value > \$5000.00 is rounded to the nearest \$100.

Appraised Value < \$5000.00 is rounded to the nearest \$10.

APPRAISED VALUE:

Unit Tree Cost:

10

\$16,400

\$11.60



Appendix D: Site Photos - 1570 Stavebank Road, Mississauga



Photo #3



Photo #4



Photo #5

Figure #2:

Photos #3, 4 and 5 show the four (4) trees proposed for removal to accommodate the proposed site plan at 1570 Stavebank Road.

City of Mississauga

Corporate Report



Date: January 11, 2018

To: Chair and Members of Heritage Advisory Committee

From: Paul Mitcham, P. Eng, MBA, Commissioner of Community Services

Meeting date: February 6, 2018

Subject

Heritage Planning 2017 Year in Review

Recommendation

That the Corporate Report dated January 11, 2018 from the Commissioner of Community Services, entitled "Heritage Planning 2017 Year in Review," be received for information.

Background

Council established the Heritage Advisory Committee (HAC), then known as the Local Architectural Conservation Advisory Committee, in 1976. The Heritage Advisory Committee advises Council on matters relating to the identification, conservation and preservation of Mississauga's cultural heritage property.

Comments

Heritage Planning staff, within the Culture Division, support HAC by preparing research and reports related to the alteration of heritage property throughout the City.

Heritage Property Application Review

Due to the City's extensive Heritage Register, Heritage Planning staff review approximately one thousand applications a year. Heritage Planning staff analyze, evaluate and comment on every Official Plan Amendment, Rezoning and Plan of Subdivision application, as well as Site Plan and Committee of Adjustment applications that pertain to heritage properties. Staff also provide clearances on building permit applications for heritage property wherein a heritage permit is not required.

Heritage Permit Application Review

A total of 54 heritage permit applications were processed in 2017. This was a 57% increase over 2016 (30 permits).

Heritage Grant Program

Eleven grants were approved in 2017; three projects were not completed and one is deferred. As such, the final list of recipients is as follows:

Address	Grant Payment
41 Bay Street	\$5000
50 Bay Street	\$10,000
38 John Street South	\$5000
1009 Old Derry Road	\$3123
1090 Old Derry Road	\$2225
7005 Pond Street	\$6780
295 Queen Street South	\$2260
1212 Southdown Road	\$3376
	\$37,764.00

The remaining funds will be transferred to the Arts Reserve.

Heritage Designation By-law Initiatives:

- Update Old Port Credit Village Heritage Conservation District Plan Phase 1 complete, Phase 2 underway
- Mary Fix House, 25 Pinetree Way, designated under the Ontario Heritage Act

Heritage Interpretive Signage

The following interpretive signage and plaques have been installed to commemorate heritage properties:

- Grand Duchess Olga Interpretive Sign, Camilla Park
- Thomas Woods House blue designation plaque, 31 Lake Street
- Hammond House blue designation plaque, 2625 Hammond Road

Heritage Management Strategy Implementation

As per specific recommendations in the Heritage Management Strategy, the following initiatives were undertaken:

- Participation/consultation in Story of M project (Thematic Heritage Outline of Mississauga)
- Heritage Planning communications campaign: social media campaign garnered 45140 impressions (views) and 547 engagements (actions with post)
- Received funding approval to proceed with a Cultural Landscape Inventory review project in 2018.

Additional Notable 2017 Staff and Committee Initiatives:

- Reduction of Mineola Cultural Landscape
- Two HAC members attended Ontario Heritage Conference, Ottawa
- HAC developed a Vision and Strategic Priorities
- Future of Heritage in Clarkson Village Presentation

Heritage Planning staff core workload also includes:

- Responding to numerous inquiries re: the 3500+ properties included on the City's Heritage Register
- Contributing to City planning policies, visioning studies, strategic and master plans
- Serving as team member on multiple City projects with a potential heritage component; includes park/City asset projects, environmental assessments and more
- Liaising with by-law enforcement, building inspector and prosecutions staff, if necessary, on contraventions related to heritage properties
- Preparing for provincial court offences related to charges under the Ontario Heritage Act
- Preparing and/or managing recommendations/decisions related to Conservation Review Board and Ontario Municipal Board hearings

Financial Impact

There is no financial impact.

Conclusion

In 2017, the Heritage Advisory Committee, with support from Heritage Planning staff, advised Council on numerous heritage conservation initiatives. Heritage Planning staff recommend that the Corporate Report entitled "Heritage Planning 2017 Year in Review," be received.



Paul Mitcham, P. Eng, MBA, Commissioner of Community Services

Prepared by: P. Wubbenhorst, Heritage Planner

City of Mississauga

Corporate Report



Date:	2018/01/19	Originator's files:
To:	Chair and Members of Heritage Advisory Committee	
From:	Paul Mitcham, P. Eng, MBA, Commissioner of Community Services	Meeting date: 2018/02/06

Subject

Response to HAC-0041-2017 Analysis of the Heritage Property Grant Program

Recommendation

That the report dated January 19, 2018 from the Commissioner of Community Services entitled "Response to HAC-0041-2017 Analysis of the Heritage Property Grant Program" be received for information.

Background

On May 2016 The Heritage Advisory Committee requested staff examine the possibility of increasing the size of the grant envelope. Staff undertook an analysis of the grant program and determined there was no justification for an increase in funding. This analysis showed that over the past four years the average amount the City has awarded in grant funding has been \$53,000 out of the \$75,000 available. The difference between the amount allocated and spent is due to property owners not undertaking the approved project, or not budgeting sufficient time for building plan approvals and permits.

To address these issues staff undertook three initiatives to improve the current Designated Heritage Property Grant program and improve the grant utilization rates.

- Merit based grant evaluations. Priority is given to projects meeting or exceeding best practices, having the appropriate documentation and which are 'shovel ready'
- Providing one-time extensions to accommodate unexpected delays due to City permitting
- Information sessions to ensure applicants are better informed of the scope of the grant, the timeline, eligibility and what is required to be successful.

Comments

Based on the request from the Heritage Advisory Committee, (HAC-0041-2017) staff have invested the possibility of increasing the maximum amount of each grant. Research has been conducted into other municipalities which provide funding support to designated heritage properties. This research demonstrates that Mississauga's grants are in line with other municipalities.

Municipality	Maximum Available Funding
Mississauga	\$5,000 - \$10,000 or 50% of eligible costs
Toronto	50% of eligible costs
Brampton	\$5,000 or 50% of eligible costs
Hamilton	\$5,000 or 50% of eligible costs
Oakville	\$15,000 or 50% of eligible costs
Burlington	\$15,000 or 25% of eligible costs
Ottawa	\$5,000

An analysis of current grant requests was also completed which showed that over the last three years only 39% of applicants have received the maximum available grant. This is based on applicant's project costs not exceeding 50% of eligible costs.

Staff are continuing to build the demand for this grant program. In November staff met with the Heritage Grant Sub-committee to determine additional challenges facing designated heritage property owners in accessing the grant program. This conversation along with feedback from applicants has informed staff to investigate the timelines for completing work and how the City supports emergency conservation and restoration projects. Should new initiatives be developed concerning these topics they would be included in the 2019 grant cycle.

Financial Impact

There are no financial implications to the City as a result of this report.

Conclusion

Research and analysis shows there no demand for increasing the grant envelope or the maximum amounts for each grant.

To assist with increasing the demand, staff are researching and implemented a number of initiatives to improve the awareness of the program and make it easier to receive funding.



Paul Mitcham, P. Eng, MBA, Commissioner of Community Services

Prepared by: Andrew Douglas, Gramts Officer, Cultue Division

City of Mississauga

Memorandum



Date: January 11, 2018

To: Chair and Members of Heritage Advisory Committee

From: Paul Damaso, Director, Culture Division

Meeting Date: February 6, 2018

Subject: Alterations to a Heritage Listed Property: 920 East Avenue (Ward 1)

This memorandum and its attachment are presented for HAC's information only.

The subject property is listed on the City's Heritage Register. As per section 7.4.1.10 of the Mississauga Official Plan, "Applications for development involving heritage resources will be required to include a Heritage Impact Assessment prepared to the satisfaction of the City and other appropriate authorities having jurisdiction." As such, the Heritage Impact Assessment is attached for your reference.

Attachments

Appendix 1: Heritage Impact Assessment

Paul Damaso

Director, Culture Division

Prepared by: P. Wubbenhorst, Heritage Planner

Heritage Impact Statement

Owner Contact Information

The present Owner of the Lakeview Water Treatment Plant is the Municipality of the Region of Peel. Contact information is as follows:

Project Manager - Jennifer Lanthier

10 City Centre Drive, 4th Floor

Brampton, Ontario, L6T 4B9

Telephone: 905-791-7800 Ext, 4421

Fax: 905-891-0350

Email address: Jennifer.Lanthier@peelregion.ca

Site History

The original owner of the plant and site was the Public Utilities Commission of the Township of Toronto. The Ministry of the Environment took over ownership during the 1970's. In 2000 the Region of Peel took over ownership of the site and structures from the Ministry of the Environment and is the current owner. Construction of the Lakeview Water Treatment Plant commenced in 1952 for the Township of Toronto and referred to as the "Water Purification Plan". Initial development consisted of Low Lift Pump Station #1, Filters 1 and 2 with associated settling tanks, High Lift Pump Station No. 1, an administration building and buried reservoir. Subsequent and significant plant expansions and additions occurred over the following time period:

- 1955 Filters 3 and 4 with associated settling tanks.
- 1960 Filters 5 and 6 along with the associated settling tanks.
- 1963 High Lift Pump Station No. 1 was expanded.
- 1966 Filters 7 through to 10 as well as Low Lift Pump Station No. 2 which included a chemical storage area.
- 1969 Filters 11 through to 18 as well as associated settling and flocculation tanks.
- 1978 High Lift Pump Station No. 2 as well as a new administration and maintenance facility.
- 1987 Filters 19 to 22 with associated flocculation tanks.
- 1989 Chlorine Building (labeled as CL Bldg. on site plan).
- 1990 Low Lift Pump Station No. 3 and the Chlorine Facility (labeled as CL Bldg. on site plan).
- 1994 Filters 23 to 26 with associated flocculation tanks.
- 2002 25 MGL new buried reservoir and Access Building.
- 2004 High Lift Pump Station No. 3.
- 2005 Treatment Work Expansion employing a membrane filtration technology (labeled as OBM1 on site plan).

- 2010 Low Lift Pump Station No. 4, Administration and Maintenance Building (LEED certified), and High Lift Pump Station No. 4.
- 2015 Treatment Works Expansion Building & Ozone Contactors OBM2.
- 2016 UV Building and Upgrades.

The Environmental Study Report dated August 2008 prepared as part of the Schedule C Class Environmental Assessment process conducted for the Lakeview Water Treatment Plant Expansion contained sub-reports related to natural inventory investigation and archeological assessment was part of the original Heritage Impact Statement dated June 2008.

Heritage Considerations

The initial series of buildings constructed in 1952 exhibits a utilitarian style of design expression consistent with the buildings' intended industrial usage. The buildings were constructed of concrete with exterior brick facing and conventional flat roofs, providing a rational and conservative envelope to the water treatment processes within. The buildings are rectangular in plan and elevation, with absence of any prominent architectural features. Exterior fenestration in minimized with a limited number of doors, windows, or overhead doors. Architectural expression at openings is minimized and implemented with simple detailing. Interior finishes are pragmatic and durable, consistent with the buildings industrial usage.

Subsequent additions to the Plant constructed between 1955 and 1966 were designed in a very similar manner to the initial 1952 series of buildings. Exterior expression and materials were essential identical.

In summary these buildings constructed between 1952 and 1966 are consistent with the 1950s style of industrial structure, influenced largely by simplicity of design and pragmatic usage of materials. The designs were very engineering driven with lack of any significant architectural expression to either the or interior of the buildings. There are no noteworthy examples of architectural expression, detailing, or use of materials in any of these structures.

Following buildings were demolished to provide space for structures housing new treatment facilities employing new technologies:

- Existing Operation Building, constructed in 1952.
- 2. Existing Settling Tanks and Filter Nos. 1 to 11, constructed between 1952 and 1966.
- 3. Existing Low Lift Pumping Station No. 1, constructed in 1952.
- 3. Existing Low Lift Pumping Station No. 2, constructed in 1966.

High Lift Pump Station No. 2, constructed in 1978, has a completely different architectural expression in comparison to the original brick faced buildings adjacent to it. It is a stand-alone concrete structure with exterior precast concrete cladding. The overall form of the building mimics other buildings on the site in that it is rectangular in plan and elevation, in response to its interior industrial usage. The cladding exhibits strong vertical expression due to its profile, with a continuous strip of windows between the wall panels and the overhanging roof. This approach to exterior expression and use of materials and technology is representative of the building technology employed extensively during the 1970s and 1980s. There are no noteworthy examples of architectural detailing or use of materials in this structure.

The new buildings will be designed in a similar style to the structures erected over the last 15 years.

The new facility will be designed and constructed to the latest version of the Ontario Building Code and requirements of the City of Mississauga zoning requirements.

Construction of the new Natural Gas Engine Power Facility is carried out entirely within the plant limits. The proposed new structure will employ the same exterior architectural features as the recent High Lift Pump Station No. 3, Treatment Works Expansion and Low Lift Pump Station No. 4 buildings and will have no impact on the heritage resource or any of the existing neighboring properties. No modification will be made to the existing lot patterns, roadway layouts (with the exception of resurfacing), setbacks, and massing. Renderings and drawings are attached to this impact statement.

Summary

None of the existing buildings neighboring the proposed new facility have any heritage attributes and the construction of the Natural Gas Engine Power Facility will have no negative impact on the cultural heritage resource.

Final Recommendation

- The proposed structures to be relocated (LOX Tanks) do not meet the criteria for heritage designation under Ontario Regulation 9/06, Ontario Heritage Act. The structures employ no unique architectural features and are essentially isolated within the plant site from view of the neighboring properties. The existing structures employ construction materials and exterior features that are common to the construction methods and materials both of their time and today.
- The properties do not warrant conservation under the definition for the Provincial Policy statement.
- Cultural landscape inventory L-PA-4 Lakefront Promenade will not be effected by the proposed construction.
- The view from the diamond area will not be significantly altered (see attached rendering and pictures).



CONTRACT NO. 2017-421T PROJECT NO. 09-1937

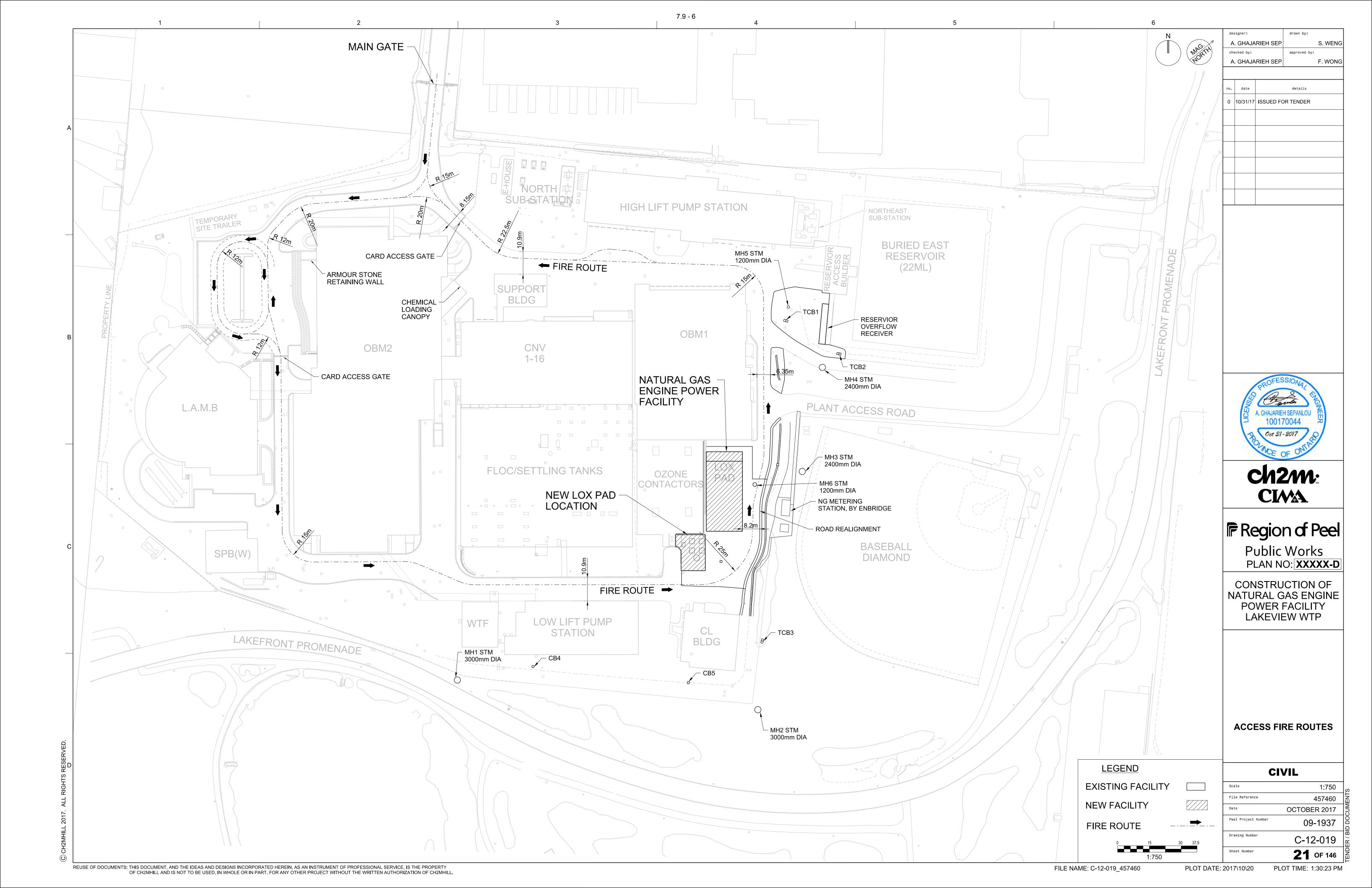
CONSTRUCTION OF NATURAL GAS ENGINE POWER FACILITY LAKEVIEW WTP

OCTOBER 2017

C/2/1/-

Region of Peel Public Works

FILE NAME: G-12-001



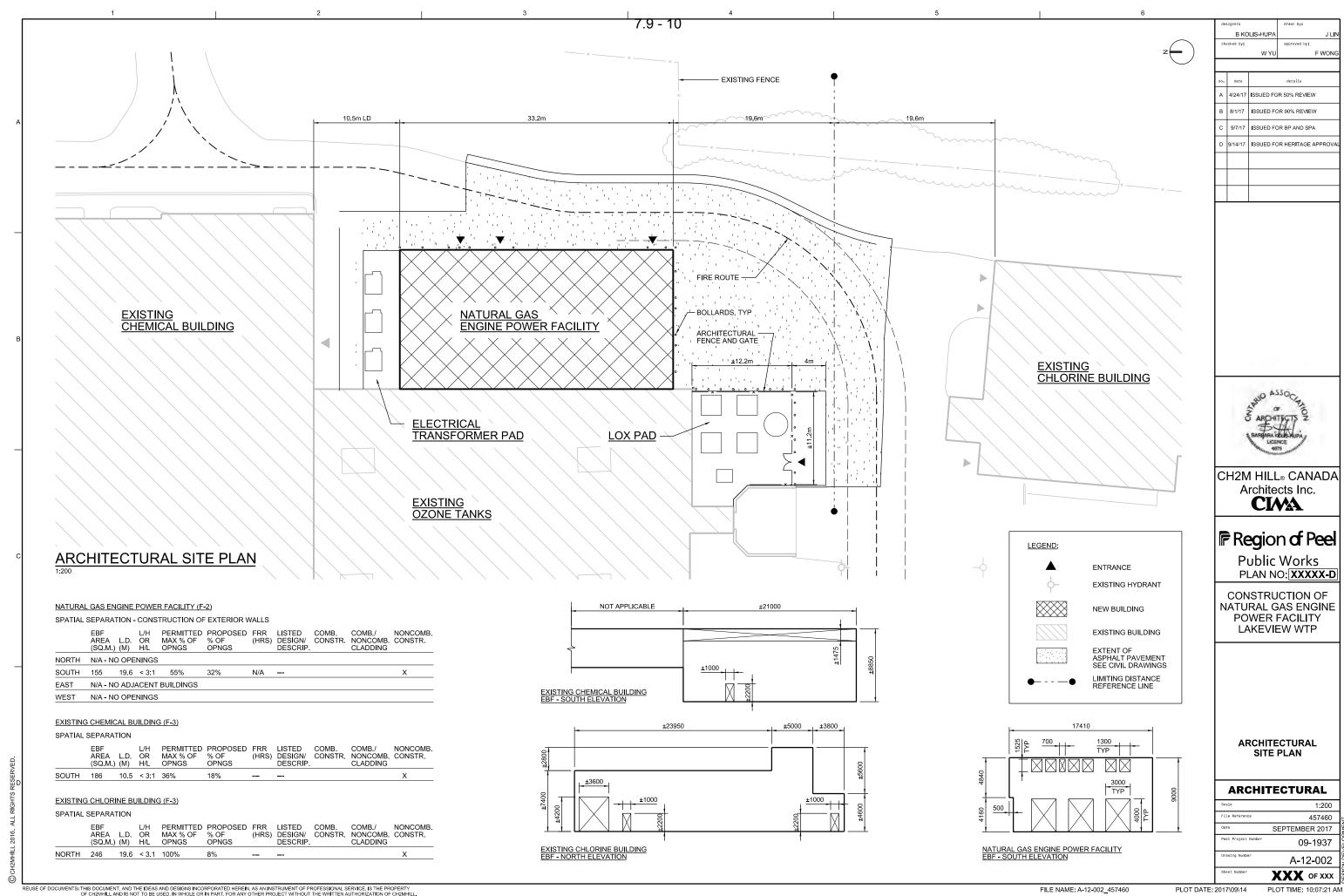


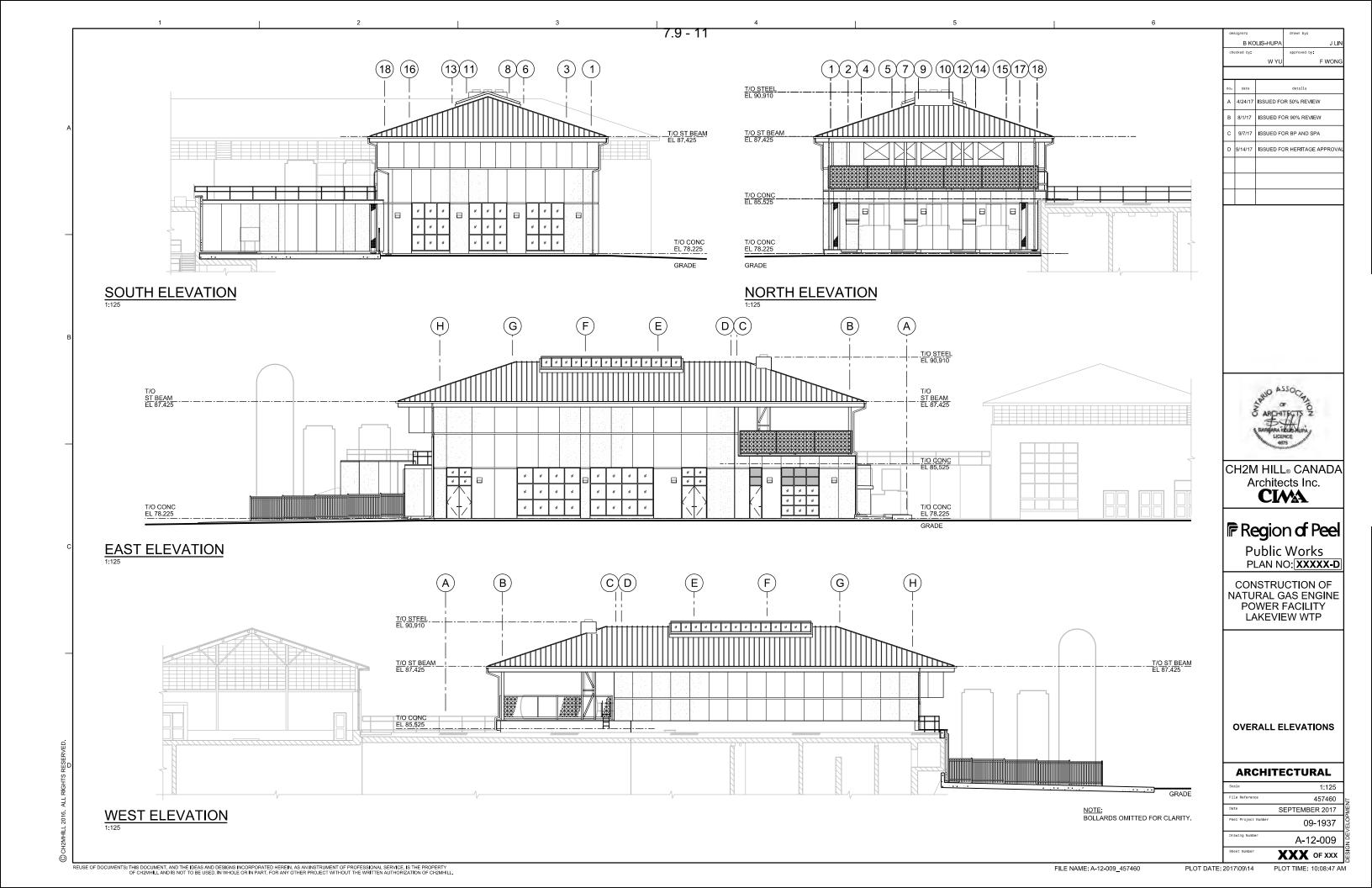


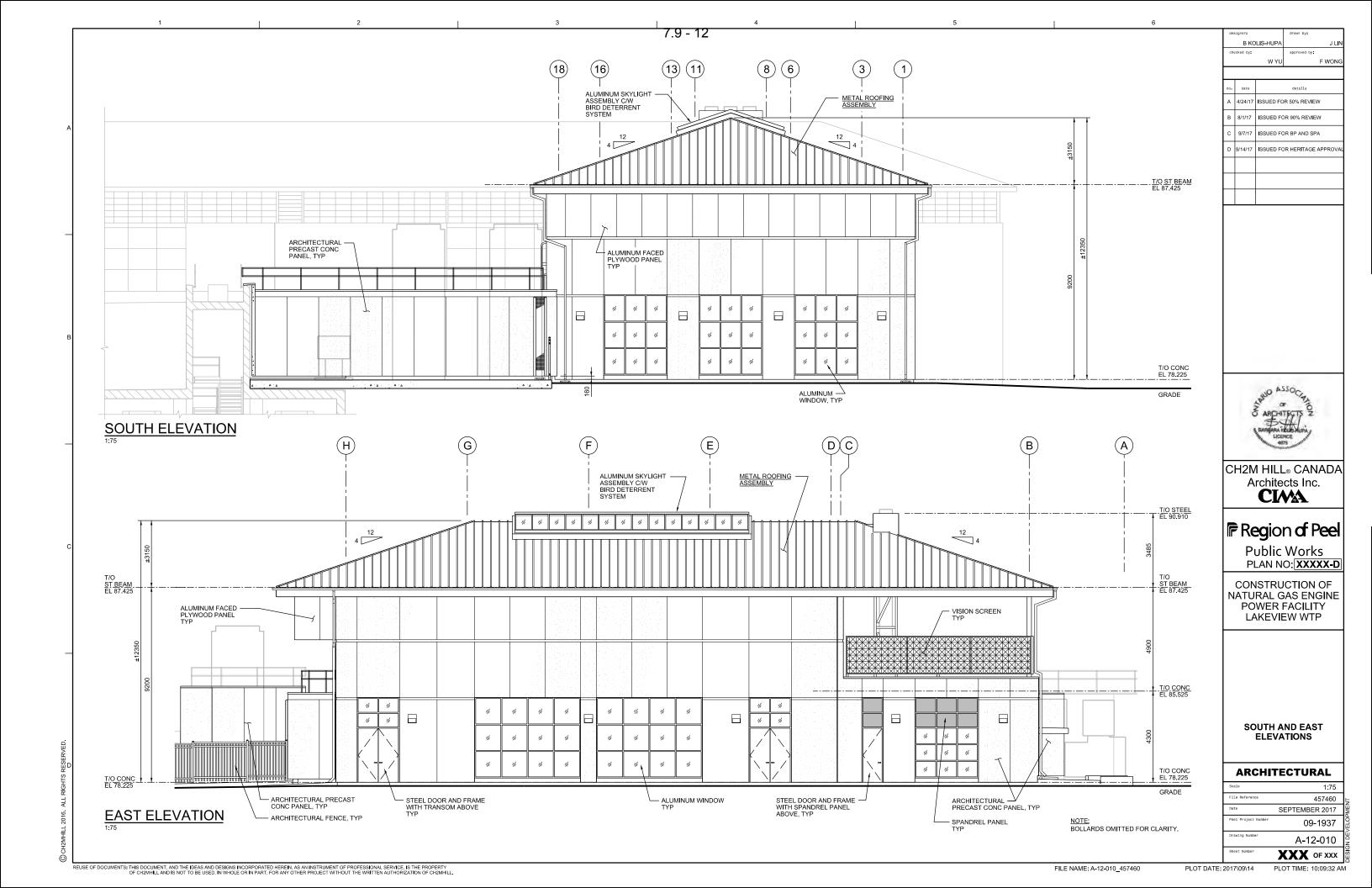
View of Site from Baseball Diamond (East Elevation)

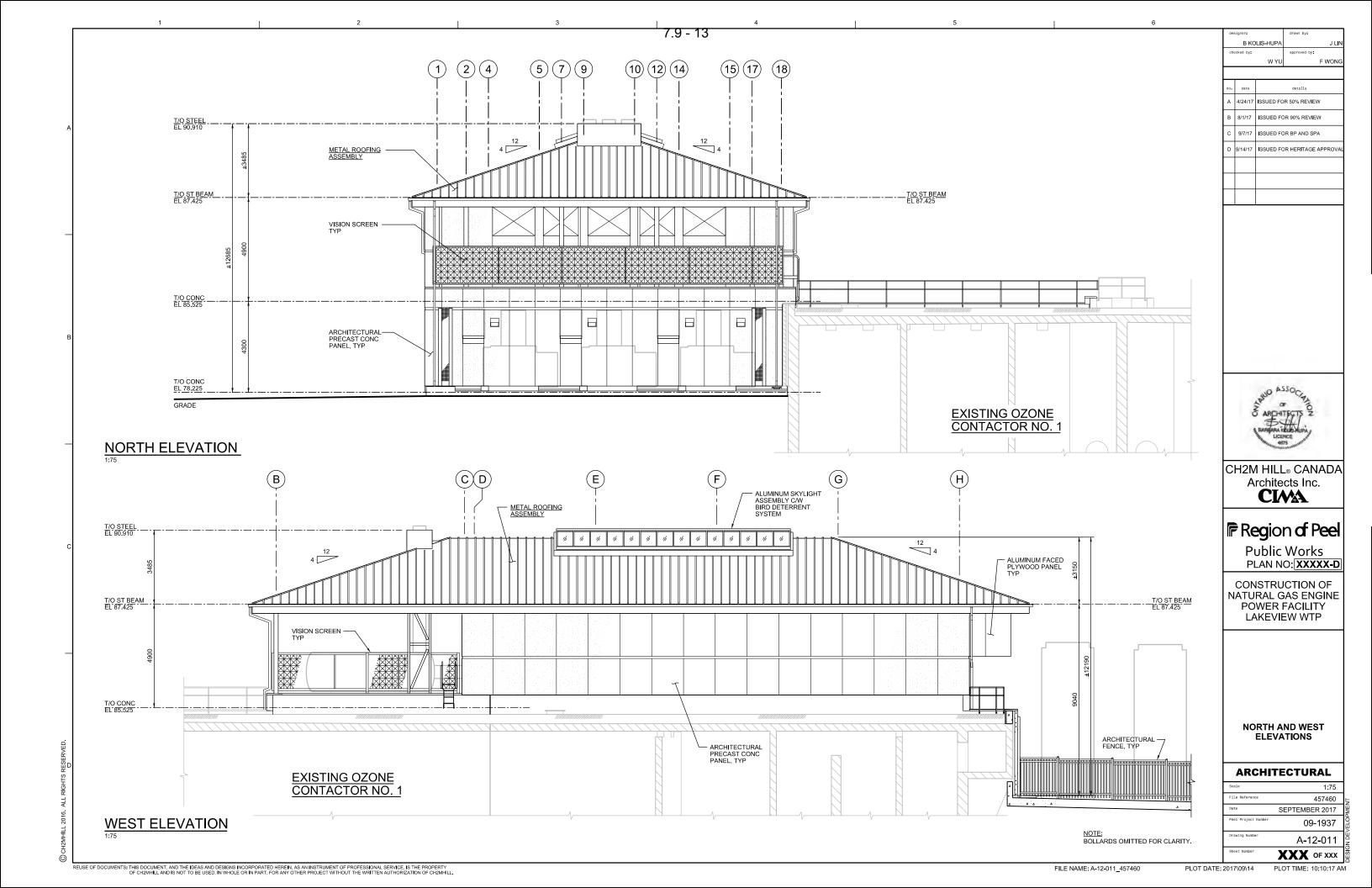


View of Site from Baseball Diamond (East Elevation)









CH2MHILL

Barbara Kolis-Hupa

Senior Architect

Education

Master of Architecture, Wroclaw Technical University, Poland, 1978

Professional Registrations

Licensed Professional Architect: Ontario, Alberta, British Columbia, Manitoba, and Saskatchewan

Distinguishing Qualifications

- Leadership in Energy and Environmental Design (LEED) Accredited Professional
- More than 35 years of experience in water and wastewater treatment design
- Specification coordinator and technical specification coordinator for Canadian CH2M Hill Master Specification
- Trained in CH2M HILL's "greening" master specifications
- Demonstrated ability to meet clients' expectations for facility aesthetics, durability, and reduced maintenance

Relevant Experience

Barbara Kolis-Hupa is a Registered Architect with over 35 years of experience in project design and project planning. Barbara's project experience has included all aspects of project design, planning, and the design of water, wastewater, and solid waste treatment facilities. Her design activities also include budgeting and cost-control monitoring, reviewing code compliance, and specification writing.

Representative Projects

Architect; Natural Gas Engine Facility, Ontario. Project included new natural gas engine power facility at Lakeview Water Treatment Plant.

Architect; Duffin Creek Water Pollution Control Plant; The Regional Municipality of York and Durham, Ontario. Project included upgrades to existing facilities and the addition of a new Disinfection Building,

Architect; Advanced Treatment Facility, Fort Thomas Treatment Plant; Northern Kentucky Water District; Kentucky . Project included upgrades to existing facilities and the addition of a new GAC(Granular Activated Carbon) Building.

Architect; Advanced Treatment Facility, Memorial Parkway Treatment Plant; Northern Kentucky Water District; Kentucky. Project included upgrades to existing facilities and the addition of a new GAC(Granular Activated Carbon) Building.

Architect; Duffin Creek Water Pollution Control Plant; The Regional Municipality of York and Durham, Ontario. Project included upgrades to existing facilities and the addition

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of a new Disinfection Building, Boiler Building, Incineration Facility and Phosphorous building.

Architect; The Corporation of City of Barrie; Barrie, Ontario. Project included upgrades of existing structures and the addition of a new Digester Control Building and Filter Building.

Architect; City of North Bay Water Treatment Plant; North Bay, Ontario. Project included administration facilities and process building housing primary and secondary membrane filters, UV, and liquid chemical systems.

Architect; Courtice Water Pollution Control Plant; Municipality of Durham, Ontario. Project included liquid train with primary and secondary gallery buildings; dechlorination facilities; digester tanks with control building; biosolids management building; energy building and administration facilities.

Architect; Markham Pressure District 6 Reservoir Project; Town of Markham, Ontario. Project included a valve house and reservoir.

Architect; Hebron Regional Wastewater Treatment Plant; Palestinian Water Authority; Al-Rimal, Gaza. Project for the Palestinian Water Authority in Association with the U.S. Agency for International Development Water Resource Program.

Architect; Process Waste Facility; Peterborough Utilities Commission; Peterborough, Ontario. Project included a new waste treatment facility.

Architect; Decew Falls Water Treatment Plant Upgrades; Regional Municipality of Niagara and the City of St. Catharine's, Ontario. Architect for the Decew Falls Water Treatment Plant upgrades; project included the refurbishment of a two-level administration building, the addition of a new alum building, a new generator building, and a new high lift pump station.

Architect; Upgrade of Wastewater Pumping Station No. 9; City of Burlington, Ontario. Project included upgrades to the existing pumping station.

Architect; Water Purification Plant Secondary Expansion; Region of Halton; City of Burlington, Ontario. The project included new ozone facilities, a chemical storage building, administration facilities, and upgrades to the existing plant.

Architect; Wastewater Treatment Plant - Phase 2 Expansion; City of Peterborough, Ontario. Architect for the design of a new energy facility, the refurbishment of an existing digester control building, and a new digester tank building at the Peterborough Wastewater Treatment Plant.

Architect; Arrow Creek Water Treatment Plant; British Columbia. Architect for the Arrow Creek Water Treatment Plant.

Architect; Incinerator Building Conversion; Stamford Pollution Control Authority; Stamford, Connecticut. Architect for the conversion of an incinerator building at the existing facilities.

Architect; Sandy Hollow Landfill Facilities Upgrade; Corporation of the City of Barrie, Ontario. Architect for the Sandy Hollow Landfill facilities upgrades.

Architect; Chemical Storage Facilities and Water Treatment Plant Upgrades; Peterborough Utilities Commission; Peterborough, Ontario. Responsibilities included the design and preparation of contract documents for the chemical storage facilities and upgrades to the existing treatment plant, including the addition of the new chemical storage facilities, tankage and building expansion, and electrical upgrades with a new generator building.

Architect; Water Treatment Plant Upgrades; Gravenhurst, Ontario. Responsibilities included the design and preparation of contract documents for upgrades to the Beach Road Water Treatment Plant.

Architect; Water Supply Project; Town of Little Current, Ontario. Responsibilities included the design and preparation of contract documents for the Little Current Water Supply Project.

Architect; Primary and Secondary Treatment Facilities Upgrade; City of Guelph, Ontario. Responsibilities included the design, preparation of contract documents, and contract administration for the upgrade of the primary and secondary treatment facilities, plant pumping station, filter building, and headworks facilities at the Guelph Water Pollution Control Plant.

Architect; Wastewater Treatment Plant Expansion; Regional Municipality of Halton, Ontario. Responsibilities included the design, preparation of contract documents, and contract administration for the Mid-Halton Wastewater Treatment Plant expansion.

Architect; Biological Reactor Basins Facility and Primary-Weir Observation Building Design; Virginia. Responsibilities included design development and construction document preparation for a Biological Reactor Basins Facility and Primary-Weir Observation Building for the Alexandria Advanced Wastewater Treatment Facility.

Architect; Water Treatment Plant Improvements; Cincinnati, Ohio. Responsibilities included the design development and construction document preparation stages of the Fort Thomas Water Treatment Plant improvements project (construction contract value of US\$4.5M); scope included construction of a new chemical feed and storage building, the addition of a new maintenance facility, and miscellaneous site modifications.

Architect; New Water Treatment Plant; Niagara Falls, New York. Architect for the new 35-mgd Niagara Falls Water Treatment Plant, consisting of process and administration facilities, including a high and low lift pumping station, chlorination building, chemical storage areas, pre-treatment tanks, floc tanks, settling tanks, and filters with filter gallery; administration facilities comprising storage garage, bulk and general stores, offices for outside and inside the water maintenance division, project administration, and engineering division, 4,000 ft² laboratory, and operational division; estimated construction cost of US\$70M.

Architect; Existing Facilities Upgrade and Plant Expansion; Thunder Bay, Ontario. Architect for the upgrade of existing facilities and plant expansion, including a new dewatering building, at the Atlantic Avenue Water Pollution Control Plant; estimated construction cost of CDN\$16M.

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Architect; New Water Pollution Control Plant; District Municipality of Muskoka; Gravenhurst, Ontario. Architect for the 1 mgd Gravenhurst Water Pollution Control Plant, including screen and grit facilities, aeration tanks, ultraviolet disinfection, digesters, and administration facilities; estimated construction cost of CDN\$11M.

Architect; Existing Facilities Upgrade; Brockville, Ontario. Architect for the upgrade of existing facilities at the Brockville Water Pollution Control Plant, including the addition of a new dewatering building and administration facility; estimated construction value of CDN\$8M.

Architect; Water Treatment Plant Improvements; Cincinnati, Ohio. Responsibilities included the design development and construction document preparation stages of the Taylor Mill Water Treatment Plant improvements project (construction contract value of US\$3.8M); project scope included the construction of a new chemical feed and storage building, replacement of existing clarifier mechanism, clearwell baffles, and miscellaneous site modifications.

Architect; Water Pollution Control Plant Upgrade; Township of Ernestown, Ontario. Responsibilities included the preparation of detailed design, contract documents, and contract administration for the construction of the Ernestown Township Water Pollution Control Plant upgrade; construction cost of CDN\$3.3M.

Experience Prior to CH2M HILL

Senior Designer; Multidisciplinary Engineering Firm; Toronto, Ontario. Responsible for the planning and design of commercial/office facilities, including a 15-storey hotel, commercial centre, and office building; historical projects – proposals for renovations and restorations of town halls and city halls; public school – upgrading of existing facilities with an addition of a library, gym, auditorium, and service rooms at a construction cost of CDN\$1.1M; airport facilities – various projects at the Caribbean Island Airport, including fire halls, air traffic control towers with generator buildings, navigation equipment shelters, and maintenance garages; and bus storage garages with administration facilities – Cold Spring Bus Garage, Buffalo (new 210,000 ft² bus garage with maintenance and administration facilities, at a construction cost of US\$27M), and Ajax Bus Garage (new 30,000 ft² bus garage with maintenance and administration facilities, at a construction cost of CDN\$3M).

Designer; Large Consulting Firm; Toronto, Ontario. Involved in the design of the Hillcrest Complex Phase II – Central Processing Building; conceptual design of subway stations, including functional design and station planning for the Sheppard Subway Line; and, upgrading and additions to various subway stations and storage garages.

Interior Design Firm. Involved in the renovation of existing shopping centres and proposals for expansion; and, feasibility studies and design proposals for a variety of retail developments, upgrading of shopping malls, cinemas, and city centres.

Large Architectural Firm, Calgary, Alberta.

Professional Organizations/Affiliations

The Royal Architectural Institute of Canada (RAIC)

The Ontario Association of Architects (OAA)

The Alberta Association of Architects (AAA)

The Manitoba Association of Architects (MAA)

The Saskatchewan Association of architects (SAA)

The Architectural Institute of British Columbia (AIBC)

City of Mississauga Memorandum



Date: 2018/01/15

To: Chair and Members of Heritage Advisory Committee

From: Mumtaz Alikhan, Legislative Coordinatory

Meeting Date: 2018/02/06

Subject: 2018 Community Heritage Ontario Membership Renewal

The Community Heritage Ontario Membership Renewal for 2018 is due. Community Heritage Ontario is an incorporated, province-wide organization of Municipal Heritage Committees (MHCs). It serves its members as an "umbrella" organization, providing heritage preservation support, publications, workshops and an annual conference.

Over the past few years, the Committee has renewed the MHC membership and the renewal for 2018 is due. The Committee's decision is required as to whether or not it wishes to continue this membership at a cost of \$75.00.

Attachments

Appendix 1: CHO Membership

Prepared by: Mumtaz Alikhan, Legislative Coordinator



Community Heritage Ontario Patrimoine communautaire de l'Ontario

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City of Mississauga Memorandum



Date: 2018/01/23

To: Chair and Members of Heritage Advisory Committee

Mumtaz Alikhan, Legislative Coordinator From:

Meeting Date: 2018/02/06

Updates to the Workplace Violence and Respectful Workplace Policies Subject:

In late 2017, the City updated Corporate Policy 01-07-01 on Workplace Violence, and Corporate Policy 01-03-04 on Respectful Workplace.

These Policies apply to all employees, elected officials, citizen members of committees and volunteers acting on behalf of the City of Mississauga and in all areas of the City's Workplace. In addition, all persons who attend a City Workplace including, but not limited to, visitors, members of the public, contractors, vendors, delivery persons, customers, etc., are expected to adhere to the principles of these policies and contribute to a workplace that is respectful and free of violence.

Attachments

Appendix 1: Workplace Violence Corporate Policy

Appendix 2: Respectful Workplace Corporate Policy

Prepared by: Mumtaz Alikhan, Legislative Coordinator

City of Mississauga

Corporate Policy & Procedure



Policy Title: Workplace Violence

Policy Number: 01-07-01

Section:	Hum	an Resources	Subsection:	Health and Safety	
Effective D	ate:	September 28, 2017	Last Review D	ate:	September 2017
Approved by: Council		Owner Division HR Business and Safety Sp	Partn	er Manager or Health	

Policy Statement

The City of Mississauga is committed to providing a safe workplace, free from actual, attempted or threatened violence. The City will not tolerate any acts of violence and will take all reasonable and practical measures to prevent violence in the workplace.

Purpose

The purpose of this policy is to:

- Create and foster a work environment that is free from Workplace Violence
- Define "Workplace Violence" and "Workplace"
- Clarify legislative requirements
- Identify the responsibilities of the City and all Employees to maintain a Workplace free from actual, attempted or threatened Workplace Violence
- Outline the roles and responsibilities of all City employees for reporting Workplace Violence, and
- Ensure that complaints and/or incidents of Workplace Violence are handled/investigated in accordance with this policy and the City's Workplace Violence Program

Scope

This policy applies to all employees, elected officials, citizen members of committees and volunteers acting on behalf of the City of Mississauga. This policy applies to all areas of the City's Workplace.

In addition, all persons who attend a City Workplace including, but not limited to, visitors, members of the public, contractors, vendors, delivery persons, customers, etc., are expected to adhere to the principles of this policy and contribute to a workplace free of violence.

The City's Corporate Policy and Procedure – Human Resources – Respectful Workplace should be consulted regarding procedures for dealing with bullying, workplace harassment, workplace sexual harassment and/or harassment related to the Ontario *Human Rights Code*.

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The City's Corporate Policy and Procedure – Accountability and Transparency – Whistleblower <u>Program</u> should be consulted regarding reporting of any issues of wrongdoing if there is a fear of reprisal when using established reporting channels.

Non-union Employees

For all non-union employees, any other work- related complaints will be handled in accordance with the <u>Employee Complaints Review Protocol</u>.

Union Employees

For all union employees, any other work-related complaints will be handled in accordance with the applicable collective agreement.

Workplace Violence Program

The City's <u>Workplace Violence Program</u> consists of this policy and protocols. The resolution of complaints under this policy will be handled in accordance with the Workplace Violence Program (reporting; investigating; disclosure; resolution; and domestic violence). Employees who are not satisfied with the resolution of their Workplace Violence complaint should refer to the <u>Employee Complaints Review Protocol</u>.

Legislative Requirements

This policy complies with the *Accessibility for Ontarians with Disabilities Act*, the Ontario *Human Rights Code*, and the Ontario *Occupational Health and Safety Act*, as amended In accordance with the Ontario *Occupational Health and Safety Act* this policy will be reviewed annually. Every person who is an employee has a right to freedom from discrimination and harassment in the workplace by the employer or agent of the employer or by another employee. This includes, but is not limited to, discrimination or workplace harassment/sexual harassment because of race, ancestry, place of origin, colour, ethnic origin, citizenship, creed, sex (includes pregnancy and breastfeeding), sexual orientation, gender identity, gender expression, age, record of offences, marital status, family status or disability.

Definitions

For the purposes of this policy:

"Employee" encompasses all union and non-union staff, as well as elected officials, citizen members of committees and volunteers acting on behalf of the City of Mississauga.

"Investigator" means the person(s), who may be an external party, appointed by the City to investigate a complaint and/or incident.

"Management Staff" means any individual responsible for directing the work of others, including elected officials, the City Manager, commissioners, directors, managers/people leaders/

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supervisors, team leaders and any other person having a leadership role, such as trainers, project leaders, facilitators, etc.

"Workplace Violence" means any of the following:

- (a) The use of physical force against or by an Employee in the Workplace that causes or could cause physical injury
- (b) The attempted use of physical force against or by an Employee in a Workplace that could cause physical injury
- (c.) A statement(s) or behaviour(s) that is reasonably believed to be a threat of physical harm or threat to safety or security in the Workplace that could cause physical injury

The "Workplace" includes all locations where Employees conduct City business or social activities and where their behaviour may have a subsequent impact on work relationships, work environment and/or performance. Threats of violence that occur by way of electronic communication (e.g. unwelcome phone calls, voice mail, messages on e-mail or social media and the display of offensive materials on computers, smartphones or other computing devices) will be considered to have occurred in the Workplace if directed to or from Employees and where such conduct may reasonably be expected to have an impact on work relationships, work environment and/or performance.

Responsibilities

City Responsibilities

The City is responsible to:

- Take reasonable preventative measures to protect Employees and others from Workplace Violence
- Ensure that workplace violence assessments are conducted as often as is necessary to protect workers from Workplace Violence
- Advise the Joint Health and Safety Committee of the results of the workplace violence assessments, and provide a copy of the assessments in writing
- Address Workplace Violence risks identified through workplace violence assessments
- Ensure that all Employees are trained on this policy and maintain a record of all completed training
- Post this policy in a conspicuous place in the Workplace
- Establish a process for reporting and responding to complaints and/or incidents of Workplace Violence
- Ensure the process for reporting and responding to complaints and/or incidents of Workplace Violence, including corrective action, is communicated, maintained and followed by all Employees, and

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- Provide Employees with information, including personal information that is reasonably necessary for the protection of Employees, related to a risk of Workplace Violence from a person with a history of violent behaviour if:
 - The Employee can be expected to encounter that person in the course of his or her work,
 or
 - The risk of Workplace Violence is likely to expose the Employee to physical injury.

Management Staff Responsibilities

Management Staff are responsible not only for their own actions, but also for dealing with the actions of staff under their supervision. Management Staff must intervene if a violation of this policy has been brought to their attention and/or has been witnessed. Appropriate steps, as outlined in this policy and the Workplace Violence Program, must be taken to address and resolve the situation.

Management Staff are expected to:

- Actively promote a Workplace free of violence
- Understand and abide by the requirements of this policy, including the responsibilities listed in the "Employee Responsibilities" section below
- Immediately respond to all complaints and/or incidents of Workplace Violence they receive or witness
- Report all complaints and/or incidents of Workplace Violence
- Summon immediate assistance when Workplace Violence occurs
- Communicate and review this policy with the Employees they supervise or manage
- Ensure that all Employees are trained in this policy
- Take corrective action to address the conduct of Employees who violate the policy, including but not limited to disciplinary action, coaching/counselling, training, education or such other measures as are deemed appropriate in the circumstances
- Encourage Employees to report complaints and/or incidents of Workplace Violence
- Ensure that all Employees are aware of who to contact in the event of an incident of Workplace Violence
- Consult with the Director of HR or designate prior to releasing any personal information
- Provide a response, in writing, to all written recommendations from the Joint Health and Safety Committees related to Workplace Violence within 21 days, and
- Become familiar with all aspects of the Workplace Violence Program

Employee Responsibilities

Employees are expected to:

- Promote a work environment free from Workplace Violence and refrain from contributing to or engaging in any acts of Workplace Violence
- Comply with this policy at all times

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- Immediately notify Management Staff or their departmental Human Resources (HR)
 representative of any Workplace Violence, whether the notifying Employee is the victim or
 not. In the case of an extreme or imminent threat of Workplace Violence, to themselves or
 any person, the Employee should contact Security Services, Corporate Services
 Department, and/or the police
- Where appropriate, go to a safe location at the Workplace and immediately report the incident to any Management Staff
- Participate in training regarding this policy and City procedures related to risks of Workplace Violence, and
- Fully cooperate in any investigation of complaints and/or incidents of Workplace Violence or breaches of this policy, including attending interviews and/or providing information

Health and Safety Specialists Responsibilities

Health and Safety Specialists are responsible for:

- Conducting violence assessments, and reassessments as necessary, in conjunction with the appropriate Management Staff and providing the applicable Joint Health and Safety Committee(s) with the results
- Responding as required to any complaints and/or incidents of Workplace Violence and communicating complaints and/or incidents of Workplace Violence to the departmental HR representative, and
- Investigating complaints, in consultation with the applicable departmental HR representative and Legal Services, where appropriate

Joint Health and Safety Committees Responsibilities

Joint Health and Safety Committees are responsible for:

- Receiving and reviewing the City's Workplace Violence assessments
- Submitting written recommendations, where appropriate, to management regarding Workplace Violence risks identified through the assessment process, and
- Participating in investigations involving complaints and/or incidents of Workplace Violence when required

Investigator Responsibilities

Investigators are responsible for:

- Investigating complaints and/or incidents filed under this policy
- Involving joint health and safety committees where required
- Exercising objectivity and impartiality
- Ensuring confidentiality, where possible
- Recording/maintaining appropriate documentation
- Making all necessary findings of fact with respect to allegations in the complaint

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- Discussing findings, conclusions or recommendations with the departmental commissioner, director and/or manager, and
- Submitting recommendations as appropriate to control or prevent Workplace Violence

Domestic Violence

Any Employee experiencing domestic violence that may create a risk of danger to themselves or others in the Workplace is encouraged to report such violence to Management Staff so that the City can take reasonable preventive steps to ensure safety in the Workplace and provide the Employee with internal and external resources to assist, as required and in accordance with the Workplace Violence Program.

Confidential advice and referral for counselling/assistance is available through Employee Health Services and/or the Employee Family Assistance Program (EFAP) for anyone experiencing domestic violence or for those who become aware of someone who is.

Right to Refuse Work

An Employee has the right to refuse unsafe work in accordance with section 43 of the *Occupational Health and Safety Act*, as amended. For more information refer to the <u>Work Refusal Process</u>.

Reprisals

Employees who engage in reprisals or threats of reprisals may be disciplined according to the Corrective Action section of this policy. Reprisal includes:

- Any act of retaliation that occurs because a person has complained of or provided information about an incident of Workplace Violence
- Intentionally pressuring a person to ignore or not report an incident of Workplace Violence, and
- Intentionally pressuring a person to lie or provide less than full cooperation with an investigation of a complaint or incidence of Workplace Violence

Complaint Resolution

Complaints under this policy will be resolved in accordance with the City's Workplace Violence Program.

Police Complaints

Employees have the right to contact police regarding complaints and/or incidents of Workplace Violence.

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Confidentiality

All persons involved with a complaint must endeavour to ensure that the matter remains confidential. To this end, complaints shall be investigated both confidentially and objectively, with respect for the rights of all parties involved. Personal information will be disclosed only on a need-to-know basis, in accordance with the *Municipal Freedom of Information and Protection of Privacy Act*.

Individuals acting as Investigators should advise all persons interviewed that they are expected to treat the matter as confidential and that they may be subject to discipline if they breach confidentiality. Persons interviewed by the Investigator will be required to sign a confidentiality agreement.

Corrective Action

Any Employee who violates this policy, breaches confidentiality in relation to a complaint under the policy, fails to attend an interview or otherwise cooperate with the Investigator, retaliates or threatens retaliation against an individual due to their making a complaint or acting as a witness, and/or Management Staff who fail to take action when advised of a violation will be subject to appropriate corrective action, up to and including termination of employment. Corrective action may also be taken if a complaint is found to be trivial, frivolous, vexatious or has been made in bad faith, fraudulently or with malicious intent.

Revision History

Reference	Description
GC-0403-2010 2010 06 09	
June 05, 2012	Housekeeping - included Manager, Health and Safety in Investigator definition; updated position names
September 28, 2017	Major review. Policy now supported by a Workplace Violence Program.

City of Mississauga

Corporate Policy & Procedure



Policy Title: Respectful Workplace

Policy Number: 01-03-04

Section:	Hum	an Resources	Subsection:	Emp	loyee Conduct
Effective D	ate:	September 28, 2017	Last Review D	ate:	September, 2017
Approved by: Council		Owner Division Human Reson		tact:	

Policy Statement

Employees, elected officials, citizen members of committees and volunteers acting on behalf of the City of Mississauga are entitled to, and are expected to contribute to, a Respectful Workplace. No form of discrimination, workplace harassment, workplace sexual harassment or bullying will be tolerated.

Purpose

The City of Mississauga's objective is to ensure a climate of understanding and mutual respect for the dignity and worth of each individual. This policy:

- Defines Respectful Workplace, Discrimination, Workplace Harassment, Workplace Sexual Harassment and Bullying
- Clarifies legislative requirements
- Identifies the rights and responsibilities of Employees, and
- Outlines the Employee's course of action should a violation of this policy occur

Scope

All employees, elected officials, citizen members of committees and volunteers acting on behalf of the City of Mississauga are covered by this policy. This policy applies to all areas of the City's Workplace.

The City's Corporate Policy and Procedure – Human Resources – <u>Workplace Violence</u> should be consulted regarding procedures for dealing with actual, attempted or threatened Workplace Violence.

The City's Corporate Policy and Procedure – Accountability and Transparency – Whistleblower Program should be consulted regarding reporting of any issues of waste or wrongdoing if there is a fear of reprisal when using established channels.

Non-union Employees

For all non-union employees, any other work-related complaints will be handled in accordance with the Employee Complaints Review Protocol.

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Union Employees

For all union employees, any other work-related complaints will be handled in accordance with the applicable collective agreement.

Respectful Workplace Program

The resolution of complaints under this policy will be handled in accordance with the City's Respectful Workplace Program (reporting; investigating; disclosure; and resolution). Employees who are not satisfied with the resolution of their Respectful Workplace complaint should refer to the Employee Complaint Review Protocol.

Legislative Authority

This policy complies with the *Accessibility for Ontarians with Disabilities Act*, the Ontario *Human Rights Code*, and the Ontario *Occupational Health and Safety Act*, as amended. In accordance with the Ontario *Occupational Health and Safety Act* this policy will be reviewed annually. Every person who is an employee has a right to freedom from discrimination and harassment in the workplace by the employer or agent of the employer or by another employee. This includes, but is not limited to, discrimination or workplace harassment/sexual harassment because of race, ancestry, place of origin, colour, ethnic origin, citizenship, creed, sex (includes pregnancy and breastfeeding), sexual orientation, gender identity, gender expression, age, record of offences, marital status, family status or disability.

Respectful Workplace Statement of Commitment

This policy is supplemented by a Respectful Workplace Statement of Commitment, which is included in the Respectful Workplace Program and posted at City facilities. A copy is also available from Human Resources, Corporate Services Department.

Members of the general public, visitors to City facilities and individuals conducting business with, or performing work on behalf of, the City of Mississauga are required to adhere to the Respectful Workplace Statement of Commitment. Groups which are affiliated with the City or which appear on the City's volunteer group register, through Corporate Policy and Procedure - Community Group Support Program, while independent of the City in their operations, are required to adhere to the Respectful Workplace Statement of Commitment. If a violation occurs, the City will take any steps available, in accordance with City policies and/or by-laws and existing legislation, to ensure that a Respectful Workplace is restored and maintained.

Definitions

"Bullying" is behaviour by a person or group which intimidates or demeans another person and includes, but is not limited to:

- Abuse of power
- Humiliation or embarrassment
- Persistent and unjustified criticism
- Exclusion and/or isolation

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- Threats, or
- Rumours/gossip

"Discrimination" results from treating a person unequally, rather than treating the person fairly on the basis of individual merit. Discrimination can be either intentional or unintentional and is usually based upon personal prejudices and stereotypical assumptions related to at least one of the protected grounds set out in the Ontario *Human Rights Code*.

"Employee" - To simplify the language in this policy, the term "Employee" encompasses all union and non-union employees, as well as elected officials, citizen members of committees and volunteers acting on behalf of the City of Mississauga.

"Investigator" means the person(s), who may be an external party, appointed by the City to investigate a complaint and/or incident.

"Management Staff" means any individual responsible for directing the work of others, including elected officials, the City Manager, commissioners, directors, managers/people leaders/ supervisors, team leaders or any other person taking a leadership role, such as trainers, project leaders, facilitators, etc.

A "Respectful Workplace" means a positive, safe and healthy Workplace that results in the preservation of equal dignity and creates a culture that supports an individual's physical, emotional and social well-being.

The "Workplace" includes all locations where Employees conduct City business or social activities and where their behaviour may have a subsequent impact on work relationships, work environment and/or performance. Incidents that occur by way of electronic communication (e.g. unwelcome phone calls, voice mail, messages on e-mail or other social media and the display of offensive materials on computers, smartphones or other computing devices) are considered to have occurred in the Workplace if directed to or from Employees and where such conduct may reasonably be expected to have an impact on work relationships, work environment and/or performance.

"Workplace Harassment" - Under the Ontario *Human Rights Code* and the Ontario *Occupational Health and Safety Act*, "Workplace Harassment" means engaging in a course of vexatious comments or conduct against an Employee that is known or ought reasonably to be known to be unwelcome. "Vexatious" means annoying. A "course" of conduct means that a pattern of behaviour or more than one incident is usually required to establish Workplace Harassment or Workplace Sexual Harassment. However, a single significant incident may be sufficiently offensive to be considered Workplace Harassment or Workplace Sexual Harassment.

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"Workplace Sexual Harassment" means engaging in a course of vexatious comment or conduct against an Employee in the Workplace because of sex, sexual orientation, gender identity or gender expression, where the course of comment or conduct is known or ought reasonably to be known to be unwelcome; or making a sexual solicitation or advance where the person making the solicitation or advance is in a position to confer, grant or deny a benefit or advancement to the Employee and the person knows or ought reasonably to know that the solicitation or advance is unwelcome.

Workplace Harassment and Workplace Sexual Harassment are also forms of Discrimination when they relate to any of the protected grounds identified in the protected grounds of the Ontario *Human Rights Code*.

Workplace Harassment and Workplace Sexual Harassment are not defined by intent, but rather by how the behaviour would be perceived or would impact a reasonable person's perception of the behaviour. Behaviours which constitute Workplace Harassment and Workplace Sexual Harassment include, but are not limited to:

- Physical actions, such as touching, leering, violence (for violence refer to Corporate Policy and Procedure – Workplace Violence)
- Patronizing or condescending behaviour or language which reinforces stereotypes and undermines self-respect
- Comments, such as inappropriate jokes, psychological abuse, name-calling
- Displays of offensive materials or offensive e-mail or other electronic communications, including social media
- Behaviours which create an environment which is hostile or offensive or which contribute to a poisoned work environment, and
- Bullying

Workplace Harassment/Workplace Sexual Harassment under this policy does not include:

- Differences of opinion, interpersonal conflicts or unpleasant interactions, unless they involve any of the behaviours described above
- The exercise of normal managerial functions, such as the assignment of work, scheduling, approval of overtime or vacation, management of performance and attendance, requests for medical documentation in support of absences, and the imposition of discipline, unless they involve any of the behaviours described above, or
- Reasonable action taken by the Employee or Management Staff relating to the management and direction of Employees or the Workplace

Responsibilities

Employee Responsibility

Employees are expected to:

• Promote and contribute to a Respectful Workplace

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- Refrain from any violation of this policy
- Report incidents to Management Staff or a Human Resources representative where violations of this policy have occurred
- Attend an interview and provide information to the Investigator when requested
- · Maintain confidentiality, and
- Cooperate fully in any attempts to resolve or investigate an incident

Manager Staff Responsibilities

Management Staff are responsible not only for their own actions but also for dealing with the actions of staff under their supervision. Management Staff must intervene if a violation of this policy has been brought to their attention and/or has been witnessed. Appropriate steps must be taken to address and resolve the situation.

Management Staff are expected to:

- Actively promote a Respectful Workplace
- Set a good example by neither engaging in, tolerating or condoning Workplace Harassment,
 Workplace Sexual Harassment, Discrimination or Bullying
- Keep a detailed written record of any violations
- Address and resolve informal employee complaints by conducting inquiries and/or attempting to assist Employees and, as required, consult with a Human Resources Consultant or Manager
- Maintain confidentiality
- Ensure that Employees involved in the complaint/situation are aware of their responsibility to keep the issue confidential
- Cooperate in attempts to reach an informal resolution and in the investigation of the complaint, and
- Take corrective action as required

Human Resources Responsibilities

- Providing advice to Management Staff, as requested
- Providing guidance on this policy and the Program to Employees, including complainants/ respondents
- Providing guidance on this policy and the Program to persons who are the subject of a complaint, when requested
- Acting as Investigators, where necessary, and
- Selecting an external Investigator as may be required

Individual Human Resources Managers and Human Resources Consultants may perform only one role with respect to any given complaint. If approached to perform more than one role, the Human Resources Manager/Consultant must disclose the role he/she has already taken and provide the names of others who can advise or investigate.

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Investigator Responsibilities

Investigators are responsible for:

- Investigating complaints filed under this policy
- Examining the circumstances of a complaint
- Exercising objectivity and impartiality
- Ensuring confidentiality
- Recording/maintaining appropriate documentation
- Making all necessary findings of fact with respect to allegations in the complaint
- Informing the complainant and respondent of the results of the findings
- Informing the complainant of any corrective action that has been/will be taken as a result of the investigation, and
- Discussing findings, conclusions and recommendations with the departmental commissioner, director and/or manager, as appropriate

Confidentiality

All persons involved with a complaint must endeavour to ensure that the matter remains confidential. To this end, complaints shall be investigated both confidentially and objectively, with respect for the rights of all parties involved. Personal information will be disclosed only on a need-to-know basis, in accordance with the *Municipal Freedom of Information and Protection of Privacy Act*.

Investigators must advise all persons interviewed that they will be expected to treat the matter as confidential and that breaching confidentiality may lead to corrective action being taken. Persons interviewed by the Investigator will be required to sign a confidentiality agreement.

Corrective Action

Any Employee who violates this policy, breaches confidentiality in relation to a complaint under the policy, fails to attend an interview or otherwise cooperate with the Investigator, retaliates or threatens retaliation against an individual due to their making a complaint or acting as a witness, and/or Management Staff who fail to take action when advised of a violation, will be subject to appropriate corrective action, up to and including termination of employment. Corrective action may also be taken if a complaint is found to be trivial, frivolous, vexatious or has been made in bad faith, fraudulently or with malicious intent.

Revision History

Reference	Description	
AC-0010-2007 – 2007 05 23		
October 23, 2008	Housekeeping to reflect minor process changes by Human Rights Commission re:	

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	filing complaints
GC-0403-2010 2010 06 09	
October 12, 2011	Housekeeping - Volunteer policy renamed to Community Group Support Program
July 03, 2013	Council Recommendation to forward all investigations of members of Council to the Integrity Commissioner.
September 28, 2017	Major review. Policy now supported by a Respectful Workplace Program