
Meadowvale Heritage Conservation District Advisory Sub-Committee

Date

November 28, 2017

Time

1:30 p.m.

Location

Meadowvale Village Hall, 6970 Second Line West, Mississauga

Members

Jim Holmes, Citizen Member (Chair)

Terry Wilson, Citizen Member (Vice Chair)

Brian Carmody, Citizen Member

Janet Clewes, Citizen Member

Gord MacKinnon, Citizen Member

John McAskin, Citizen Member

David Moir, Citizen Member

Greg Young, Citizen Member

Rick Mateljan, HAC Representative

Contact

Mumtaz Alikhan, Legislative Coordinator, Legislative Services

905-615-3200 ext. 5425/ Fax 905-615-4181 / Email mumtaz.alikhan@mississauga.ca

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[http://www.mississauga.ca/portal/cityhall/
heritageadvisory.ca](http://www.mississauga.ca/portal/cityhall/heritageadvisory.ca).

Find it online

<http://www.mississauga.ca/portal/cityhall/heritageadvisory>

CALL TO ORDER

APPROVAL OF AGENDA

DECLARATIONS OF CONFLICT OF INTEREST

APPROVAL OF PREVIOUS MINUTES

Approval of Minutes of August 1, 2017 Meeting

DEPUTATIONS – Nil

MATTERS TO BE CONSIDERED

1. Request to Alter 1155 Willow Lane
Memorandum dated November 6, 2017 from Mark Warrack, Manager, Culture and Heritage Planning, Culture Division
2. Request to Alter 1059 Old Derry Road
Memorandum dated November 6, 2017 from Mark Warrack, Manager, Culture and Heritage Planning, Culture Division
3. Request to Alter 1036 Old Derry Road
Memorandum dated November 7, 2017 from Mark Warrack, Manager, Culture and Heritage Planning, Culture Division
4. Request to Alter 1066 Old Derry Road
Memorandum dated November 8, 2017 from Mark Warrack, Manager, Culture and Heritage Planning, Culture Division.

OTHER BUSINESS

1. Resignation of Colleen Newmarch

DATE OF NEXT MEETING – January 9, 2018 at 1:30 pm.

ADJOURNMENT

Meadowvale Heritage Conservation District Advisory Sub-Committee

Date

August 1, 2017

Time

1:30 p.m.

Location

Meadowvale Village Hall, 6970 Second Line West, Mississauga

Members Present

Jim Holmes, Citizen Member (Chair)
Terry Wilson, Citizen Member (Vice-Chair)
Councillor George Carlson Ward 11 (Ex-officio)
Brian Carmody, Citizen Member
John McAskin, Citizen Member
Colleen Newmarch, Citizen Member
Greg Young, Citizen Member

Members Absent

Janet Clewes, Citizen Member
David Dodaro, HAC Representative
Gord MacKinnon, Citizen Member
Rick Mateljan, HAC Representative
David Moir, Citizen Member

Staff Present

Mark Warrack, Manager, Culture and Heritage Planning, Culture Division
Paula Wubbenhorst, Senior Heritage Coordinator, Culture Division
Sacha Smith, Legislative Coordinator, Legislative Services Division
Trish Sarnicki, Legislative Coordinator, Legislative Services Division

Find it online

<http://www.mississauga.ca/portal/cityhall/heritageadvisory>

CALL TO ORDER – 1:30 PM

APPROVAL OF AGENDA

APPROVED (G. Young)

DECLARATIONS OF CONFLICT OF INTEREST – Nil

APPROVAL OF PREVIOUS MINUTES

Approval of Minutes of April 4, 2017 Meeting

APPROVED (C. Newmarch)

DEPUTATIONS – Nil

MATTERS CONSIDERED

1. Request to Alter 7089 Second Line West

David Brown, Planning Consultant, Planning Solutions, provided a brief description of the application, noting the revisions on the application.

Jim Holmes, Chair, noted concerns with the property, regarding the area below the front window of the home, the stone facing, and the front entrance to the residence.

Members questioned the possibility of amending the current roof of the residence to a barn-style roof, but had reservations as to whether this would look appropriate.

Mr. Brown noted that a barn structure, in terms of a typical barn is taller and that the residence is shorter, thus, with the size of the building, it would not be appropriate.

Terry Wilson questioned whether there were any other features that could be included to make the residence look like a traditional farmhouse.

Mr. Brown noted that the intent of the original design of the residence was not a farmhouse, however, adjustments had been made to the residence regarding the northerly elevations (left side), the reworking of the chimney, and that the structure had been reduced in size from its original concept.

Members discussed concerns regarding the appearance of the entrance to the residence, the awning, as well as the stone foundation, the door, and the side lights.

Paula Wubbenhorst, Senior Heritage Coordinator, Culture Division, responded that the stone facing had already been reduced, and proposed that it could be reduced further. Mark Warrack, Manager, Culture and Heritage Planning, suggested that the side lights could be made smaller.

Mr. Wilson proposed the elimination of the stone facing.

Mr. Brown said that the awning could be changed to a sloped roof facing the street to match the other northerly side, noting that the slopes may not be exact, but could be similar.

Members agreed that the stone facing be eliminated and that the awning be removed.

RECOMMENDATION

MVCHDA-03-2017

That the Meadowvale Heritage Conservation District Advisory Subcommittee supports the following conditions with respect to the request to alter the property at 7089 Second Line West:

1. That the garage height be reduced to comply with the Zoning by-law;
2. That the garage width be reduced so that the driveway width does not exceed six metres, the typical width of a two car garage;
3. That final building permit drawings be submitted to Heritage Planning noting all material information, including window materials;
4. That if any changes result from other City review and approval requirements such as but not limited to building permit, committee of adjustment or site plan approval, a new heritage permit may be required and that the applicant is required to contact heritage planning at that time to review the changes prior to obtaining other approvals and commencing construction;
5. That the stone facing be eliminated;
6. That the awning on the front window on the north section be eliminated;
7. That the sidelights on either side of the front door on the front elevation be reduced to one single pane column on each side;
8. That the awning over the main entrance be revised to a pitched roof over the porch.

APPROVED (B. Carmody)

2. Request to Alter 1066 Old Derry Road

Brian Carmody noted that approval of the vinyl siding material of the property should be an exception, not a rule. Mr. Warrack and Ms. Wubbenhorst agreed.

Subcommittee Members were concerned that building inspectors are not visiting properties early enough during construction as well as during multiple phases of construction. Ms. Wubbenhorst noted that the property owners had been issued an order to comply in early January. Mr. Warrack said that it would be helpful if Subcommittee Members notified the City of such issues by calling 311.

Fadi Abounassar, Owner of the property, noted that similar proposals have been permitted with other dwellings in the neighbourhood, thereby creating a precedent.

RECOMMENDATION

MVCHDA-04-2017

That the Meadowvale Heritage Conservation District Advisory Subcommittee supports the following conditions with respect to the request to alter the property at 1066 Old Derry Road be approved, as described in the Memorandum dated July 20, 2017 from Mark Warrack, Manager, Culture and Heritage Planning, Culture Division.

APPROVED (C. Newmarch)

OTHER BUSINESS - Nil

DATE OF NEXT MEETING – September 12, 2017.

ADJOURNMENT – 2:11 p.m.

City of Mississauga

Memorandum



To: Chair and Members of the Meadowvale Village Heritage Conservation District Subcommittee

From: Mark Warrack, Manager, Culture & Heritage Planning

Date: November 6, 2017

Meeting Date: November 28, 2017

Subject: Request to Alter 1155 Willow Lane

Recommendation:

That the request to alter the property at 1155 Willow Lane, as per this memorandum and the attached drawings, be approved.

Background:

The subject property is designated under Part V of the *Ontario Heritage Act* as it forms part of the Meadowvale Village Heritage Conservation District (HCD). Changes to the property are subject to the Meadowvale Village HCD Plan, 2014, and substantive changes identified in said plan require a heritage permit. The proposal builds upon a 2015 heritage permit for the subject property as outlined in item 1 here: http://www7.mississauga.ca/documents/agendas/committees/heritage/2015/HAC_Agenda_2015_09_15.pdf. The proposal has been revised, as per the drawings attached as Appendix 1. The revised scope of work includes the following:

- Rebuild front porch (columns and roof)
- Re-stucco dwelling to match existing stucco
- Replace existing windows with new mostly “one over one” wood windows
- Underpin/rebuild/reinforce existing stone foundation
- New floor joists and subfloor in living room area
- Framing and electrical/plumbing/mechanical repairs
- Some changes to window openings
- New garage and shed

Comments:

The proposal does not negatively impact the property’s heritage attributes. It is simple, employs traditional materials, and, with the foundation work in particular, will aid in the longevity of the dwelling. The new outbuildings are proposed where previous ones existed to the west of the house. I.e. they will not impact the open green space and view of the property from Willow Lane, one of the property’s heritage attributes.

Conclusion:

The owner of the subject property has applied to modify the property as per the attached drawings. The proposal is sympathetic to the character of the property and should be approved.

Appendices:

Appendix 1: Drawings

Mark Warrack
Manager, Cultural and Heritage Planning, Culture Division

<p>(W) (Basement Foundation Walls)</p> <ul style="list-style-type: none"> -Footing as indicated -Drainage course -Bituminous dampproofing -$\frac{1}{2}$" paring (block only) -Concrete foundation wall and reinforcing as indicated -Wood sill & anchor bolts as indicated -15 lb. building paper -2" x 6" @ 16" o.c. framing -Continuous insulation per approved package -6 mil. poly V.B./air barrier -$\frac{1}{2}$" drywall filled, taped, sanded and ready for point. 		<p>(W5) (Stucco Walls)</p> <ul style="list-style-type: none"> -DR/RTU Outslution Plus (NC) w/ Cont. Rigid insulation (min. RSI 1.76ci) -Tyvek housewrap -$\frac{1}{2}$" exterior gypsum sheathing -2" x 6" @ 16" o.c. framing -Insulation per approved package -6 mil. poly V.B./air barrier -$\frac{1}{2}$" drywall filled, taped, sanded and ready for point. 	
<p>(W6) (Crawspace Foundation Walls)</p> <ul style="list-style-type: none"> -Drainage course -Bituminous dampproofing -$\frac{1}{2}$" paring (block only) -Concrete foundation wall as indicated -15 lb. building paper -2" x 6" @ 16" o.c. framing -Insulation per approved package -6 mil. poly V.B./air barrier -Tyvek housewrap -$\frac{1}{2}$" plywood sheathing -2" x 6" @ 16" o.c. framing -2" x 6" blocking at mid-height -Double plates at top, sill plate at bottom -Insulation per approved package -6 mil. poly V.B./air barrier -$\frac{1}{2}$" drywall filled, taped, sanded and ready for point. 		<p>(W6) (Brick/Stone Exterior Walls)</p> <ul style="list-style-type: none"> -4" brick/stone facing -Continuous Rigid insulation as per package -Metal ties as per O.B.C. -Weep holes @ 24" o.c. at corners at top of foundation wall and above all openings. -Provide through wall base flashing up min. 12" behind sheathing paper. -Tyvek housewrap -$\frac{1}{2}$" plywood sheathing -2" x 6" @ 16" o.c. framing -2" x 6" blocking at mid-height -Double plates at top, sill plate at bottom -Insulation per approved package -6 mil. poly V.B./air barrier -$\frac{1}{2}$" drywall filled, taped, sanded and ready for point. 	
<p>(W3) (Masonry Retaining Walls)</p> <ul style="list-style-type: none"> -2" high density polystyrene -Bituminous dampproofing -$\frac{1}{2}$" paring (if block) -Concrete foundation wall as indicated -Reinforcement as indicated -1" airspace, masonry ties, weep holes -4" brick or stone facing as indicated -Copper flashing at base of masonry veneer -Continuous Rigid insulation as per package -Stone or pre-cast cap 		<p>(W7) (Wood Siding Exterior Walls)</p> <ul style="list-style-type: none"> -Cedar shingles or Siding -Provide flashings at all windows, doors and projections -Cedar breather or $\frac{1}{4}$" Strapping -Continuous Rigid insulation as per package -Tyvek housewrap -$\frac{1}{2}$" plywood sheathing -2" x 6" @ 16" o.c. framing -6 mil. poly V.B./air barrier -$\frac{1}{2}$" drywall filled, taped, sanded and ready for point. 	
<p>(W4) (Masonry Garden Wall)</p> <ul style="list-style-type: none"> -4" brick or stone facing as indicated -1" airspace, masonry ties, weep holes -Concrete foundation wall as indicated -Reinforcement as indicated -1/2" paring if block -4" brick or stone facing as indicated -Copper flashing at base of masonry veneer (both sides) -Stone or pre-cast cap 		<p>(W8) (Interior Garage Wall)</p> <ul style="list-style-type: none"> -$\frac{1}{2}$" drywall -Gas proofing per OBC (garage space) -Tyvek housewrap -2x6 @ 16" o.c. framing -Insulation per approved package -6 mil. poly V.B. -$\frac{1}{2}$" drywall 	

NOTE:
Refer to HVAC drawings and specs for other requirements related to floor heating system

<p>(F1) (Basement Floor)</p> <ul style="list-style-type: none"> -4" concrete slab -6 mil. poly V.B. -2" rigid insulation -8" granular fill "A" -Undisturbed or compacted soil Note: Seal surface w/concrete sealer. Provide floor drains as per plans. Slope to drains as required. 		<p>(F4) (Tile Finish)</p> <ul style="list-style-type: none"> -Ceramic or Stone tile on Schluter-DITRA mat installed as per manufacturers recommendations -F4 Floor Construction 	
<p>(F2) (Crawl Space Floor)</p> <ul style="list-style-type: none"> -2" concrete slab -6 mil. poly V.B. -5" granular fill "A" -Undisturbed or compacted soil 		<p>(F5) (Floor Above Sauna)</p> <ul style="list-style-type: none"> -$\frac{1}{2}$" T&G spruce plywood subfloor nailed and glued -Floor joists size as indicated -R31 batt insulation -Double layer polyethylene type vapour barrier, tape all joints -1" x 3" @ 16" o.c. strapping -2" x 4" T&G V-groove cedar 	
<p>(F3) (Garage Floor)</p> <ul style="list-style-type: none"> -4" concrete slab 5-8% air entrainment -Slope slab to drain min. 2% -Saw cuts as indicated -6" x 6" x 6/8 wire mesh -5" granular fill "A" on V.B. -Undisturbed soil or compacted material Note: Seal surface w/ concrete sealer. 		<p>(F6) (Insulated Floor/Ceiling)</p> <ul style="list-style-type: none"> -$\frac{1}{2}$" T&G spruce plywood subfloor nailed and glued -6 mil. poly V.B./Air barrier -floor joists size as indicated -Insulation per approved package -$\frac{1}{2}$" drywall filled, taped, sanded and ready for point if interior. Soffit per elevations if exterior. 	
<p>(F4) (First & Second Floor)</p> <ul style="list-style-type: none"> -Floor Finish -$\frac{1}{2}$" T&G spruce plywood subfloor nailed and glued -Floor joists size as indicated -$\frac{1}{2}$" drywall ceiling filled, taped, sanded and ready for point. 			

NOTE:
Unobstructed vent area shall be not less than 1/200 of the insulated ceiling area. Where the roof slope is less than 1 in 6 the unobstructed vent area shall be not less than 1/150 of the insulated ceiling area.

NOTE:
At cathedral ceiling situations, provide 2x6 cavity solid with 2 pound spray foam insulation.

<p>(R1) (Main Roof)</p> <ul style="list-style-type: none"> -Asphalt shingles unless noted otherwise -Ice & watershed -Eaves protection in accord with O.B.C. -$\frac{1}{2}$" spruce plywood sheathing -Rattlers or trusses/ceiling joists size as indicated -Ventilated attic space as per O.B.C. -Insulation per approved package -6 mil. poly V.B./Air barrier -$\frac{1}{2}$" drywall filled, taped, sanded and ready for point. 		<p>(R4) (Flat Roof)</p> <ul style="list-style-type: none"> -Single ply mineral impregnated membrane plywood sheathing -Roof/Ceiling joists size as indicated -Ventilated attic space as per O.B.C. or closed cell spray foam applied to underside of sheathing -Insulation per approved package -6 mil. poly V.B./Air barrier -$\frac{1}{2}$" drywall filled, taped, sanded and ready for point. 	
<p>(R2) (Porch Roof)</p> <ul style="list-style-type: none"> -Asphalt shingles -Ice & watershed -Eaves protection in accordance with O.B.C. -$\frac{1}{2}$" plywood sheathing -Rattlers as indicated -Ventilated attic space as per O.B.C. -Ceiling joists size as indicated -1" x 4" V-groove cedar boards 		<p>(R5) (Balcony Roof over Heated Space)</p> <ul style="list-style-type: none"> -1x6 IPE Decking -Reverse wood strapping min 1 1/2" -Membrane Roofing -$\frac{1}{2}$" Plywood Sheathing sloped to Drain or Sumpers -Sloped Wood Strapping -Roof/Ceiling joists size as indicated -Ventilated space as per O.B.C. or closed cell spray foam applied to underside of sheathing -Insulation per approved package -6 mil. Poly V.B./Air barrier -$\frac{1}{2}$" drywall filled, taped, sanded and ready for point. 	
<p>(R3) (Metal Roof)</p> <ul style="list-style-type: none"> -Standing Seam metal roofing -Layer of dry felt -Ice & watershed -Eaves protection in accordance with O.B.C. -$\frac{1}{2}$" spruce plywood sheathing -Rattlers or trusses/ceiling joists size as indicated -Ventilated attic space as per O.B.C. -Insulation per approved package -6 mil. poly V.B./Air barrier -$\frac{1}{2}$" drywall filled, taped, sanded and ready for point. 		<p>(R6) (Balcony Roof over Porches)</p> <ul style="list-style-type: none"> -1x6 IPE Decking -Reverse wood strapping min 1 1/2" -Membrane Roofing -$\frac{1}{2}$" Plywood Sheathing sloped to Drain or Sumpers -Sloped Wood Strapping -Roof/Ceiling joists size as indicated -Ventilated attic space as per O.B.C. -Insulation per approved package -6 mil. poly V.B./Air barrier -$\frac{1}{2}$" drywall filled, taped, sanded and ready for point. 	
<p>(R7) (Insulated Green Roof)</p> <ul style="list-style-type: none"> -Soil (Depth as Noted) -$\frac{1}{2}$" Protection Board -Membrane Roofing -$\frac{1}{2}$" Plywood Sheathing -1" X Sleepers @ Sloped Roof (Sloped Sleepers @ Flat Roof) -Roof/Ceiling joists as noted -Insulation per approved package -$\frac{1}{2}$" drywall filled, taped, sanded and ready for point. 		<p>(R8) (Green Roof over Porch)</p> <ul style="list-style-type: none"> -Soil (Depth as Noted) -$\frac{1}{2}$" Protection Board -Membrane Roofing -$\frac{1}{2}$" Plywood Sheathing -1" X Sleepers @ Sloped Roof (Sloped Sleepers @ Flat Roof) -Roof/Ceiling joists as noted -$\frac{1}{2}$" Plywood Sub-Ceiling -1x4 V Groove Cedar Boards 	

ARCHITECTURAL NOTES

GENERAL

- THESE DRAWINGS ARE THE PROPERTY OF THE DESIGNER AND ENGINEER AND MAY NOT BE COPIED WITHOUT THEIR APPROVAL AND ARE SUBJECT TO RETURN UPON REQUEST.
- ALL DIMENSIONS SHALL NOT BE SEALED
- ALL CONSTRUCTION TO COMPLY WITH WITH ONTARIO BUILDING CODE LATEST EDITION INCLUDING:
 - SUBSECTION 9.3.3.4 NAILING OF FRAMING
 - SENTENCES 9.10.9 (4)S OPERATION OF STORAGE GARAGES
 - C) SUBSECTION 9.10.19 SMOKE ALARMS
 - D) SENTENCE 9.17.4.2 (2) MATERIAL (BUILT-UP COLUMNS)
 - E) SUBSECTION 9.19.1 VENTING
 - F) SENTENCE 9.19.2.1 (2) ATTIC ACCESS
 - G) ARTICLE 9.20.13.2 DRIPS BENEATH WINDOW SILLS
 - H) TABLE 9.23.3.5 FASTENERS FOR EXTERIOR AND SUBFLOORING
 - I) SENTENCES 9.23.3.1 (7) OR (8) BUILT-UP WOOD BEAMS
 - J) SUBSECTION 9.23.14 SUBFLOORING
 - K) SUBSECTION 9.23.15 ROOF SHEATHING
 - L) CLAUSE 9.26.2.1 (1) MATERIAL STANDARDS, ROOFING MATERIALS SHALL CONFORM TO, (I) CSA A123.1/A123.5, ASPHALT SHINGLES MADE FROM ORGANIC FELT AND SURFACED WITH MINERAL GRANULES/ASPHALT SHINGLES MADE FROM GLASS FELT AND SURFACED WITH MINERAL GRANULES
 - M) ARTICLE 9.26.2.2 NAILS AND 9.26.2.3 STAPLES
 - N) ARTICLE 9.26.4.3 VALLEY FLASHING
 - O) ARTICLE 9.26.4.5 INTERSECTION OF SHINGLED ROOFS AND WALLS OTHER THAN MASONRY
 - P) SUBSECTION 9.26.7 ASPHALT SHINGLES ON SLOPES OF 1 IN 3 OR GREATER
 - Q) SUBSECTION 9.29.5 GYPSUM BOARD FINISHED (TAPED JOINTS)
 - R) SUBSECTION 9.33.4 CARBON MONOXIDE DETECTOR
- ALL DIMENSIONS AND EXISTING CONDITIONS SHALL BE VERIFIED BY THE GENERAL CONTRACTOR AT THE SITE PRIOR TO CONSTRUCTION. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO NOTIFY THE DESIGNER OF ANY DISCREPANCIES BETWEEN THE SITE CONDITIONS AND THE ASSUMED DESIGN CONDITIONS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. IN ADDITION, THE GENERAL CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE CONSTRUCTION METHOD OR ERECTION OF HIDDEN SERVICES BEFORE PROCEDURES OF THE STRUCTURAL MEMBERS INCLUDING THE ERECTION OF STEEL BEAMS. THE GENERAL CONTRACTOR SHALL VERIFY LOCATIONS OF ANY UNDERGROUND OR HIDDEN SERVICES BEFORE COMMENCING DEMOLITION OR CONSTRUCTION. EXCAVATION WORK IS TO USE METHODS WHICH PREVENT MOVEMENT OR DAMAGE TO ADJACENT STRUCTURES, PROPERTIES, ROADS AND SIDEWALKS. THE GENERAL CONTRACTOR SHALL EXERCISE EXTREME CAUTION AND CARE DURING THE DEMOLITION PROCESS OF EXISTING STRUCTURE AND SUPPORTING WALLS AND BE SOLELY RESPONSIBLE TO SUPPORT THE EXISTING STRUCTURE DURING THE CONSTRUCTION. THE GENERAL CONTRACTOR SHALL CALL THE STRUCTURAL ENGINEER FOR AN INSPECTION PRIOR TO CUTTING EXISTING MEMBERS AND REMOVING WALLS. CUTS FOR NEW OPENINGS IN LOAD BEARING MASONRY TO BE DONE BY SAW CUTTING.

- ALL DIMENSIONS ON PLAN WILL BE TO BEAM CENTERS AND WALL EDGES U.N.O.
- PROVIDE WIND BRACING AS PER O.B.C.
- ALL GUARDS TO COMPLY WITH O.B.C. 9.8.8 AND SG-7.
- VAPOUR BARRIERS ARE TO BE OVERLAPPED MIN. 4" AND BE SEALED WITH ACOUSTIC SEALANT.
- ALL EXTERIOR DOORS TO BE INSULATED C/W WEATHER STRIPPING AND MINIMUM THRESHOLD U.N.O.
- ALL BEAMS TO BE LATERALLY SUPPORTED U.N.O.
- ALL BOLT HOLES SHALL BE $\frac{1}{2}$ " OVERSIZED AND BOLT THREADS SHALL NOT BE ON THE WOOD MEMBERS.
- MAKE ALL POSTS CONTINUOUS THROUGH FLOOR AND ROOF FRAMING BY INSTALLING VERTICAL BLOCKING FOR THE FULL AREA OF THE POST.
- SHOP DETAILS OF ALL FABRICATION ITEMS SHALL BE SUBMITTED FOR APPROVAL PRIOR TO FABRICATION.

MASONRY

- MORTAR SHALL CONFORM TO O.B.C. 9.20.3.
- C.M.U.'S SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OVER NET AREA IN ACCORDANCE WITH TABLE 9.20.2.7, AS PER PART 9 OF THE O.B.C.
- BRICK AND BLOCK SHALL BE TIED AND BONDED BY HEAVY DUTY "BLACKLOCK" @ 16" O.C. VERTICALLY
- MINIMUM BEARING OF STRUCTURAL MEMBERS ON MASONRY SHALL BE AS FOLLOWS:
 - CONCRETE AND STEEL BEAMS = 8"
 - CONCRETE SLABS = 4"
 - C) OVERLAP = 4"
 - D) WOOD BEAMS AND JOISTS = 3 1/2"

STRUCTURAL STEEL

- ALL STRUCTURAL STEEL SHALL BE CSA G40.21 GRADE 350W. FABRICATION, CONNECTION DESIGN AND WELDING SHALL CONFORM TO ANS 5.16.1-M89 AND WSM-1-M89. PROVIDE SOLID BEARING TO BEAMS OR FOUNDATION AT POINT LOADS OR BEARING WALLS.
- STRUCTURAL STEEL FABRICATOR TO PROVIDE SHOP DETAIL DRAWINGS AND PROVIDE ERECTION METHOD OR ERECTION OF HIDDEN SERVICES BEFORE PROCEDURES OF THE STRUCTURAL MEMBERS INCLUDING THE ERECTION OF STEEL BEAMS. THE GENERAL CONTRACTOR SHALL VERIFY LOCATIONS OF ANY UNDERGROUND OR HIDDEN SERVICES BEFORE COMMENCING DEMOLITION OR CONSTRUCTION. EXCAVATION WORK IS TO USE METHODS WHICH PREVENT MOVEMENT OR DAMAGE TO ADJACENT STRUCTURES, PROPERTIES, ROADS AND SIDEWALKS. THE GENERAL CONTRACTOR SHALL EXERCISE EXTREME CAUTION AND CARE DURING THE DEMOLITION PROCESS OF EXISTING STRUCTURE AND SUPPORTING WALLS AND BE SOLELY RESPONSIBLE TO SUPPORT THE EXISTING STRUCTURE DURING THE CONSTRUCTION. THE GENERAL CONTRACTOR SHALL CALL THE STRUCTURAL ENGINEER FOR AN INSPECTION PRIOR TO CUTTING EXISTING MEMBERS AND REMOVING WALLS. CUTS FOR NEW OPENINGS IN LOAD BEARING MASONRY TO BE DONE BY SAW CUTTING.
- MINIMUM LIGHTING SHALL BE PROVIDED IN EXITS AND PRINCIPLE ROUTES PROVIDING ACCESS TO AN EXIT IN OPEN FLOOR AREAS AS PER OBC 3.2.7.1.
- EMERGENCY LIGHTING SHALL BE PROVIDED IN EXITS AND PRINCIPLE ROUTES PROVIDING ACCESS TO AN EXIT IN OPEN FLOOR AREAS AS PER OBC 3.2.7.1.
- APPLY FOR ALL PERMITS, SERVICES AND PAY ALL FEES TO THE AUTHORITIES HAVING JURISDICTION
- CONTRACTORS SHALL BE RESPONSIBLE FOR EXAMINING THE SITE TO DETERMINE THE EXTENT OF EXISTING CONDITIONS PRIOR TO PROCEEDING WITH ANY QUOTATIONS.
- ELECTRICAL WIRING AND CABLES EXPOSED WITHIN THE CEILING SPACE MUST CONFORM TO THE PLENUM REQUIREMENTS OF OBC 3.6.4.3.(1).
- BATTERY OPERATED EMERGENCY LIGHTING UNITS MUST HAVE SUFFICIENT BATTERY CAPACITY TO OPERATE THE EMERGENCY LIGHTS FOR AT LEAST 30 MINUTES AND CONFORM TO CSA 22.2 NO. 141-02.
- COMMERCIAL EMERGENCY LIGHT C/W 2x4.4W INCANDESCENT LAMP HEADS, MAINTENANCE FREE BATTERY AND THERMALLY COMPENSATED BATTERY CHARGER. LAMP HEADS MAY BE TOP OR SIDE MOUNTED. "PRESQUITE" NVECON-12V FIRE ALARM PULL STATION
- REMOTE EMERGENCY HEAD "PRESQUITE" NVH1212

FOOTINGS AND FOUNDATIONS

<p>(1) (Stepped Footings)</p> <p>Stepped Footing in Compliance with O.B.C. 9.15.1.9</p>	<p>(8) (Soffit)</p> <p>Pre-finished or paint grade plywood with continuous vent behind fascia. Prime and paint, colour as per designer. Provide inset screen at vent.</p>	<p>(16) (Masonry wood burning fireplace)</p> <p>Refer to typical masonry fireplace detail</p>
<p>(2) (Crawspace Hatch)</p> <p>Serving more than 1 dwelling unit 19x12 1/2" Insulated crawspace access hatch as per O.B.C. 9.18.2.1</p>	<p>(9) (Pre-finished metal or copper flashing)</p> <p>Provide stepped through wall flashing at sloping interface(s) and capping as required. Colour as per designer.</p>	<p>(17) (Chimneys & Flues)</p> <p>Chimneys and flues shall be min. 3"-0" above any point of the roof within a 10'-0" radius of the chimney or flue.</p>
<p>(3) (Attic Hatch)</p> <p>Serving a single dwelling unit 19x12 1/2" Insulated attic hatch as per O.B.C. 9.19.2.1</p>	<p>(10) (Eavestrough)</p> <p>Pre-finished copper/metal eavestrough on finished fascia board.</p>	<p>(18) (Zero clearance gas fireplace)</p> <p>Gas outlet and type "B" vent to roof or direct vent to outside wall as per manufacturers specifications. Diameter of flue and vent as per O.B.C. Section 9.21.2.5</p>
<p>(4) (Guard Rails)</p> <p>3'-6" High unless lower height allowed by O.B.C. (4" max. space between pickets. Guards to resist loads as per O.B.C. Sec. 4.1.10.1)</p>	<p>(11) (Rainwater Leader)</p> <p>Pre-finished copper/metal rainwater leader (RWL) = to match eavestrough.</p>	<p>(19) (Skylight)</p> <p>Curb mounted double glazed skylight. Provide inside curb dimensions as indicated on drawings. Co-ordinate with manufacturer. Install as per manufacturer's instructions.</p>
<p>(5) (Stairs)</p> <p>Refer to Table 9.8.4.1 in the O.B.C. for Rise and Run requirements. Min. Stair Width = 3'-0" Min. Clear Height = 6'-9" Max. Height of Stairs = 12'-2" Max. Railing = 1" Railing at stair = 3'-0" above tread</p>	<p>(12) (Washroom Vent)</p> <p>Washrooms to be mechanically vented to exterior. Provide required air changes per hour per O.B.C.</p>	<p>(20) (Exterior Stairs)</p> <p>Number of risers to grade is to be coordinated with grading plan and site conditions. In case of discrepancy, grading plan will govern. Report any discrepancies to the architectural designer.</p>
<p>(6) (Decorative Wood Trim)</p> <p>Wood trim as per elevations and detail drawing. Prime and paint with 3 coats Benjamin Moore exterior alkyl. All work to be co-ordinated with on site dimensions and proportioned accordingly.</p>	<p>(13) (Dryer/Cooktop)</p> <p>Dryer/Cooktop to be vented directly outside through wall.</p>	<p>(21) (CO Detector)</p> <p>Multi-station alarm style carbon monoxide detector permanently mounted on ceiling and connected to the building electrical supply without a disconnect wall switch and having a circuit not interconnected to any wall outlet. ULC or equal tested & approved, with indicator for operating condition.</p>
<p>(7) (Cut limestone or precast trim)</p> <p>Dimensions as per detail drawings. Provide shop drawings for designer's review. Provide copper/metal flashing at all horizontal planes.</p>		

TYPICAL FIRE SEPARATION RATING NOTES:

EXIT AND EMERGENCY LIGHTING NOTES:

- THE FOLLOWING NOTES SHALL APPLY TO THE CONSTRUCTION GOVERNED BY ALL DRAWINGS ATTACHED HERETO. ALL REFERENCES ARE TO THE APPLICABLE REQUIREMENTS OF THE ONTARIO BUILDING CODE (OBC).
- INSTALLATION OF ALL PRODUCTS SHALL BE IN STRICT ACCORDANCE WITH MANUFACTURER'S WRITTEN INSTRUCTIONS AND SPECIFICATIONS. WHERE IN CONFLICT WITH GOVERNING CODES AND/OR REGULATIONS, THE CODES/REGULATIONS SHALL APPLY.
- EXIT LIGHTS SHALL BE PROVIDED AS PER OBC ARTICLE 3.4.5.11.
- MINIMUM LIGHTING SHALL BE PROVIDED IN CONFORMANCE WITH OBC 3.2.7.1.
- EMERGENCY LIGHTING SHALL BE PROVIDED IN EXITS AND PRINCIPLE ROUTES PROVIDING ACCESS TO AN EXIT IN OPEN FLOOR AREAS AS PER OBC 3.2.7.1.
- APPLY FOR ALL PERMITS, SERVICES AND PAY ALL FEES TO THE AUTHORITIES HAVING JURISDICTION
- CONTRACTORS SHALL BE RESPONSIBLE FOR EXAMINING THE SITE TO DETERMINE THE EXTENT OF EXISTING CONDITIONS PRIOR TO PROCEEDING WITH ANY QUOTATIONS.
- ELECTRICAL WIRING AND CABLES EXPOSED WITHIN THE CEILING SPACE MUST CONFORM TO THE PLENUM REQUIREMENTS OF OBC 3.6.4.3.(1).
- BATTERY OPERATED EMERGENCY LIGHTING UNITS MUST HAVE SUFFICIENT BATTERY CAPACITY TO OPERATE THE EMERGENCY LIGHTS FOR AT LEAST 30 MINUTES AND CONFORM TO CSA 22.2 NO. 141-02.
- COMMERCIAL EMERGENCY LIGHT C/W 2x4.4W INCANDESCENT LAMP HEADS, MAINTENANCE FREE BATTERY AND THERMALLY COMPENSATED BATTERY CHARGER. LAMP HEADS MAY BE TOP OR SIDE MOUNTED. "PRESQUITE" NVECON-12V FIRE ALARM PULL STATION
- REMOTE EMERGENCY HEAD "PRESQUITE" NVH1212

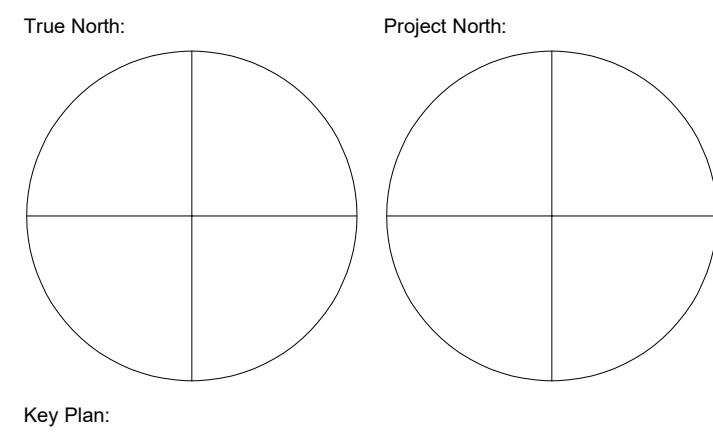


<p>(W1) (Interior 3/4 Hr. FRR Walls)</p> <p>(Construction conforming to O.B.C. SB-3 Table 1 Assembly W1e -12.7mm Type X drywall -2" x 4" @ 16" o.c. framing unless otherwise noted -12.7mm Type X drywall</p>	<p>(W11)</p>
<p>(W2) (Interior 1 Hr. FRR Walls)</p> <p>(Construction conforming to O.B.C. SB-3 Table 1 Assembly W1d) -15.9mm Type X drywall -2" x 4" @ 16" o.c. framing unless otherwise noted -15.9mm Type X drywall</p>	<p>(W21)</p>
<p>(F1) (1 Hr. FRR Floor)</p> <p>(Construction conforming to ULC M500/UL Design L501) -Floor Finish -Existing sheathing to remain -Existing joists to remain -5/8" Type X drywall ceiling</p>	<p>(F11)</p>

- SA SMOKE ALARM**
- CA CARBON MONOXIDE ALARM**
- NOTE: INSTALL SMOKE ALARMS AS PER O.B.C. 9.10.1.9 & 9.36.2.4.(1)
- NOTE: INSTALL CO ALARMS AS PER O.B.C. 9.33.4

Table 3.1.1.1.1 (B)
Thermal Performance Requirements for Additions to Existing Buildings^a
Forming Part of Sentence 3.1.1.1.1.(2)

Component	Thermal Values ^a	Compliance Package			Electric Space Heating
		Zone 1 Less than 5000 Degree Days	Zone 2 5000 or more Degree Days	Zone 3 Electric Space Heating	
Ceiling with Attic Space	Min. Nominal R ²⁰	60	60	60	Zones 1 and 2
	Max. U ²⁰	0.017	0.017	0.017	
Ceiling Without Attic Space	Min. Effective R ²⁰	59.22	59.22	59.22	
	Max. U ²⁰	0.036	0.036	0.036	
Exposed Floor	Min. Effective R ²⁰	27.65	27.65	27.65	
	Max. U ²⁰	0.034	0.034	0.034	
Walls Above Grade	Min. Nominal R ²⁰	19±4.5 ci	22±7.5 ci	22±10 ci	
	Max. U ²⁰	0.049	0.042	0.038	
Basement Walls ^b	Min. Effective R ²⁰	20.32	20.32	20.32	
	Max. U ²⁰	0.047	0.047	0.047	
Heated Slab or Slab < 600 mm Below Grade	Min. Nominal R ²⁰	10	10	10	
	Max. U ²⁰	0.060	0.060	0.060	
Edge of Below Grade Slab < 600 mm Below Grade	Min. Nominal R ²⁰	10	10	10	
	Max. U ²⁰	0.28	0.25	0.25	
Windows and Sliding Glass Doors	Energy Rating	25	29	29	
	Column 1	3	4	5	



Key Plan:

- CONCRETE**
- SLAB ON GRADE SHALL BE 4" THICK REINFORCED WITH 6"x6"x% WELDED WIRE MESH U.N.O.
 - MINIMUM SPECIFIED STRENGTH: 32 MPa FOR PORCH SLABS, GARAGE SLABS, AND EXTERIOR FLATWORK. 20 MPa FOR ALL OTHER CONCRETE.
 - ALL REINFORCEMENT SHALL BE DEFORMED BARS CSA C30.1 Fy = 60 KSI. EXTEND CONTINUOUS BARS INTO INTERSECTING MEMBERS FOR A DISTANCE OF 36 BAR DIAMETERS AND BENT IF REQUIRED. PROVIDE CONCRETE COVER OF REINFORCEMENT AS REQUIRED BY O.B.C.
- WOOD FRAME CONSTRUCTION**
- WOOD FRAMING TO CONFORM TO O.B.C. PART 9 FOR WORKMANSHIP.
 - THE DESIGN OF THE STRUCTURAL COMPOSITE LUMBER BEAMS SHALL CONFORM TO THE CSA STANDARD 086.1-M89. ALL THE STRUCTURAL COMPOSITE LUMBER BEAMS SHALL BE OF MICRO-LAM LUMBER AS OUTLINED IN THE TRUSS JOIST CANADA LTD. DESIGN CATALOGUE OR EQUIVALENT. THE INSTALLATION OF ALL THE STRUCTURAL COMPOSITE LUMBER BEAMS SHALL BE IN ACCORDANCE WITH THE MANUFACTURERS INSTALLATION GUIDELINES AND RECOMMENDATIONS.
 - WOOD FRAMING MEMBERS THAT ARE NOT TREATED WITH A WOOD PRESERVATIVE AND WHICH ARE SUPPORTED ON CONCRETE IN CONTACT WITH THE GROUND OR FILL SHALL BE SEPARATED FROM THE CONCRETE BY AT LEAST 6 MIL. POLYETHYLENE OR OTHER APPROVED DAMP PROOFING MATERIAL.
 - PROVIDE APPROVED METAL CONNECTORS BY MGA CONNECTORS OR SIMPSON STRONG-TIE AT POST BASES, POST CAPS, AND ALL WOOD TO WOOD JOINTS OR CONNECTIONS ARE TO BE DESIGNED BY A PROFESSIONAL ENGINEER LICENSED IN THE PROVINCE OF ONTARIO. QUANTITY OF NAILS IS RECOMMENDED BY MANUFACTURER ARE NOT TO BE REDUCED.
 - ALL FRAMING LUMBER SHALL BE #2 OR BETTER U.N.O.
 - PLYWOOD FLOOR SHEATHING SHALL BE 3/4" SPF U.N.O. PLYWOOD WALL SHEATHING SHALL BE 1/2" SPF U.N.O. PROVIDE EXTERIOR GRADE PLYWOOD WHERE REQUIRED BY O.B.C.
 - THE "T" TYPE JOISTS SHALL BE TJI LOGS AS OUTLINED IN THE TRUSS JOIST CANADA LTD. DESIGN CATALOGUE OR EQUIVALENT. SEE PLANS FOR THE LOCATION AND SPACING OF THE JOISTS. THE INSTALLATION OF ALL "T" TYPE JOISTS SHALL BE IN ACCORDANCE WITH THE MANUFACTURERS INSTALLATION GUIDELINES AND RECOMMENDATIONS.
 - LOAD BEARING STUD WALLS SHALL BE 2X6 @ 16" O.C. SPF #2 LUMBER, U.N.O. PROVIDE BRIDGING OR BLOCKING AT THE STUD WALLS TO GIVE 4'-0" MAXIMUM U.N.O.
 - PROVIDE DOUBLE JOISTS UNDER NON-LOADBEARING PARTITIONS PARALLEL TO JOISTS.
 - PROVIDE ALL LUMBER FLOOR JOIST WITH 2X2 BRIDGING OR SOLID BLOCKING AT 6'-11" MAXIMUM CENTERS.

3	Nov 03/17	Per Heritage Comments	K.A.
2	Oct 30/17	For Heritage Permit	K.A.
1	Oct 06/17	First Issue	K.A.
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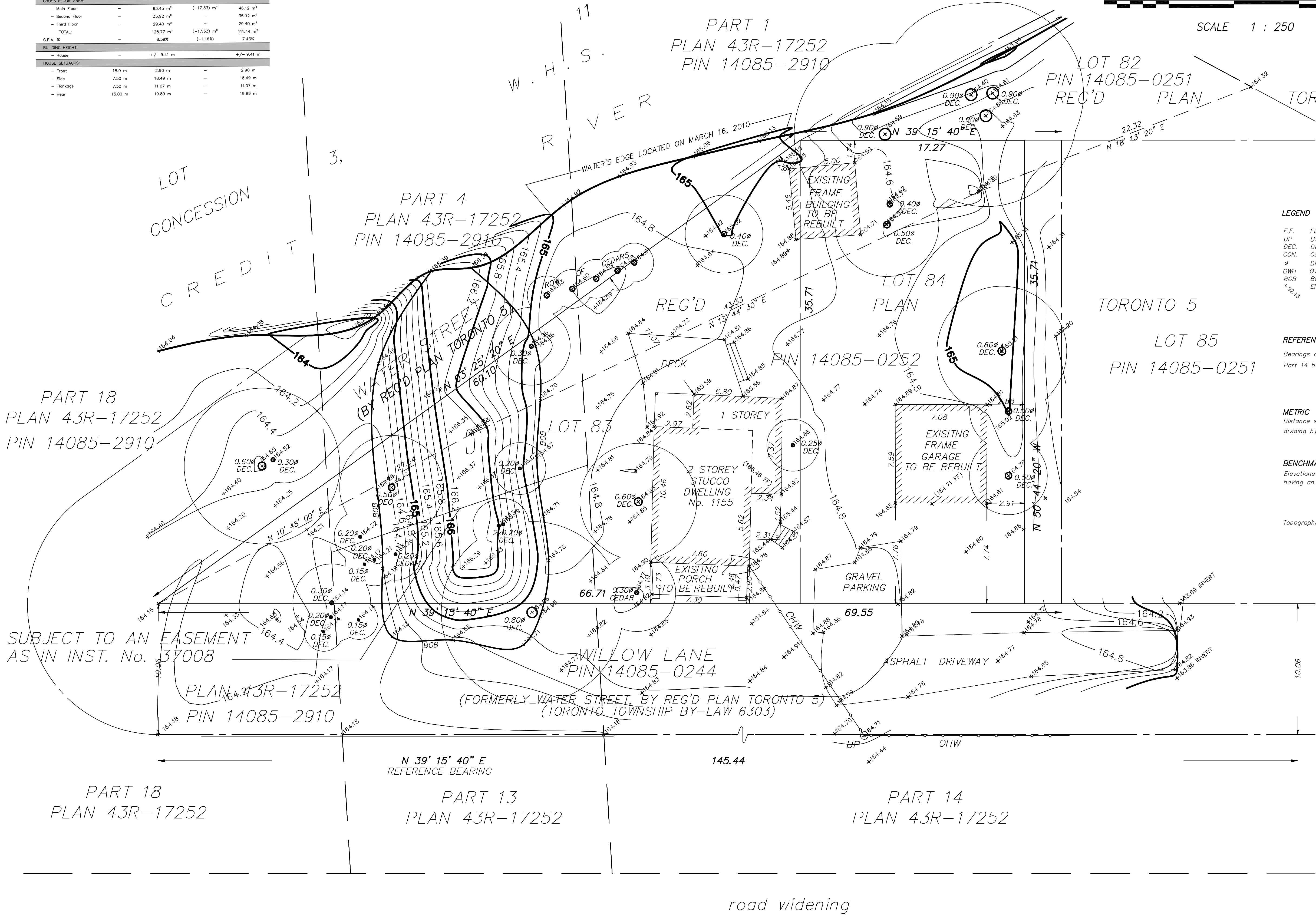
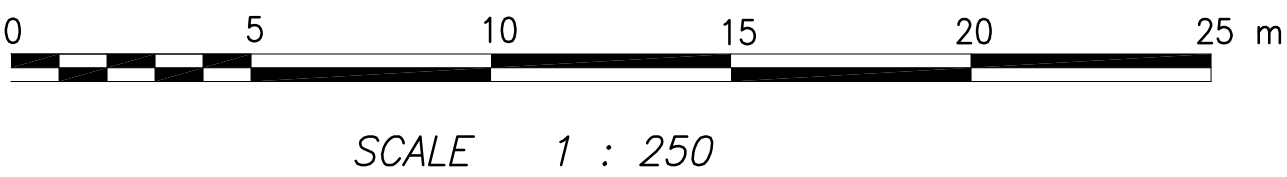
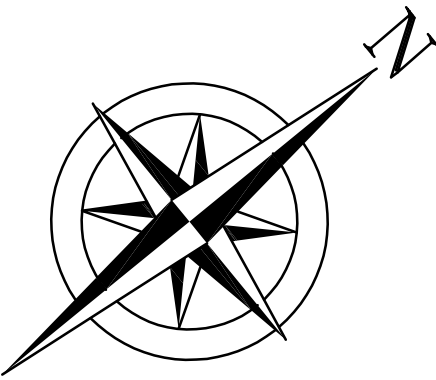
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THIS SITE PLAN BASED UPON:

TOPOGRAPHIC SURVEY OF
LOTS 83 AND 84
REGISTERED PLAN TORONTO-5
CITY OF MISSISSAUGA
REGIONAL MUNICIPALITY OF PEEL

SITE STATISTICS				
DESCRIPTION	NEW BY-LAW	EXISTING	PROPOSED	TOTAL
ZONED	PBI-5			
LOT AREA	-	1499.38 m ²	-	1499.38 m ²
LOT FRONTAGE	-	56.33 m	-	56.33 m
LOT DEPTH	-	35.71 m	-	35.71 m
COVERAGE				
- Dwelling	-	63.45 m ²	(-17.33) m ²	46.12 m ²
- Covered Porches	-	-	32.30 m ²	32.30 m ²
- Detached Garage	-	53.54 m ²	-	53.54 m ²
- Detached Shed	-	27.77 m ²	-	27.77 m ²
TOTAL:	-	144.76 m ²	14.97 m ²	159.73 m ²
LOT COVERAGE %	-	9.65%	1.0%	10.65%
GROSS FLOOR AREA:				
- Main Floor	-	63.45 m ²	(-17.33) m ²	46.12 m ²
- Second Floor	-	32.32 m ²	-	32.32 m ²
- Third Floor	-	29.40 m ²	-	29.40 m ²
TOTAL:	-	125.17 m ²	(-17.33) m ²	107.84 m ²
G.F.A. %	-	8.59%	(-1.16%)	7.43%
BUILDING HEIGHT:				
- House	-	+/- 9.41 m	-	+/- 9.41 m
HOUSE SETBACKS:				
- Front	18.0 m	2.90 m	-	2.90 m
- Side	7.50 m	18.49 m	-	18.49 m
- Flankage	7.50 m	11.07 m	-	11.07 m
- Rear	15.00 m	19.89 m	-	19.89 m



LEGEND

F.F. Finished Floor
UP. Utility Pole
DEC. Deciduous
CON. Coniferous
Ø Diameter
OWH Overhead Wires
BOB Bottom of Bank
Elevations

REFERENCE BEARING

Bearings are Astronomic and are Referred to the Southeasterly Limit of Part 14 being N 39° 15' 40" E as shown on Plan 43R-17252.

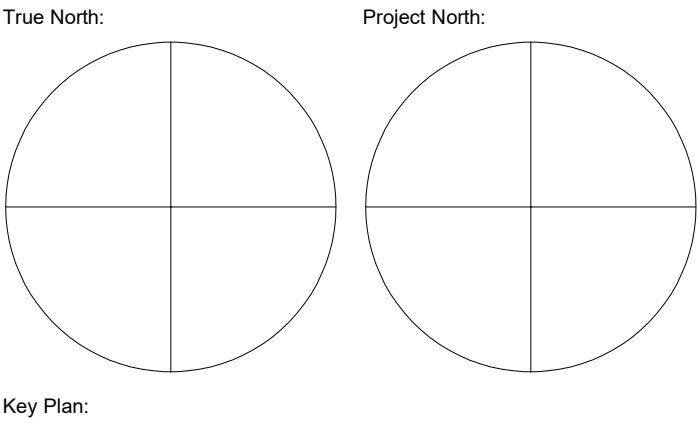
METRIC

Distance shown on this plan are in metric and can be converted to feet by dividing by 0.3048.

BENCHMARK

Elevations are Referred to the City of Mississauga Benchmark No. 241 having an Elevation of 174.317 m.

Topographic Survey completed on the 16th day of March, 2010.



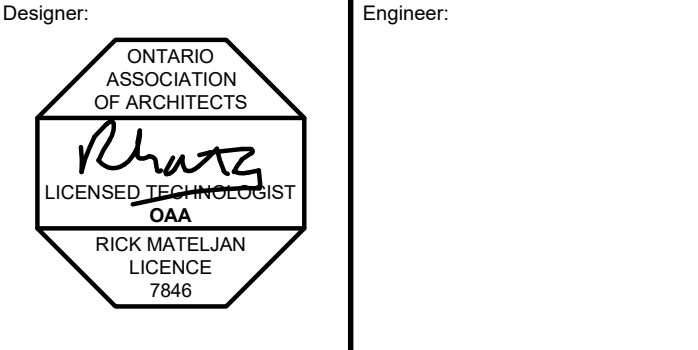
Key Plan:

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2	Oct 30/17	For Heritage Permit	K.A.
1	Oct 06/17	First Issue	K.A.

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Project:

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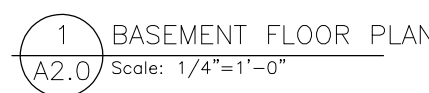
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Site Plan

Design By:	Drawn By:	Approved By:
R.M.	K.A.	R.M.
Scale:	Date:	Project No:
N.T.S.	Aug/18	17.43

Drawing No:

A001.1


NOT PART OF THIS ~~NEW APPLICATION~~
APPLCIATION



Key Plan:

No.	Date	Issued/Revision	E
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<p>Designer:</p> 	<p>Engineer:</p>
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Project: _____

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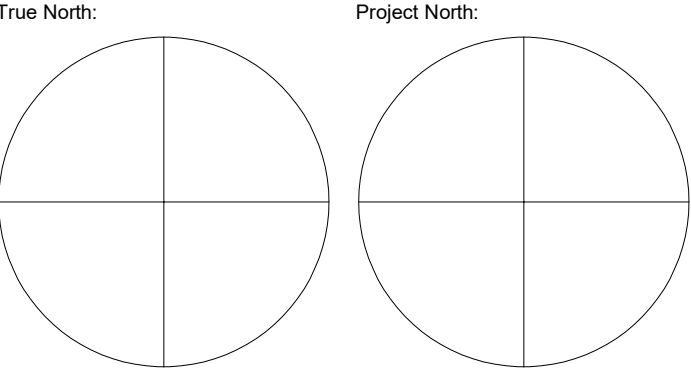
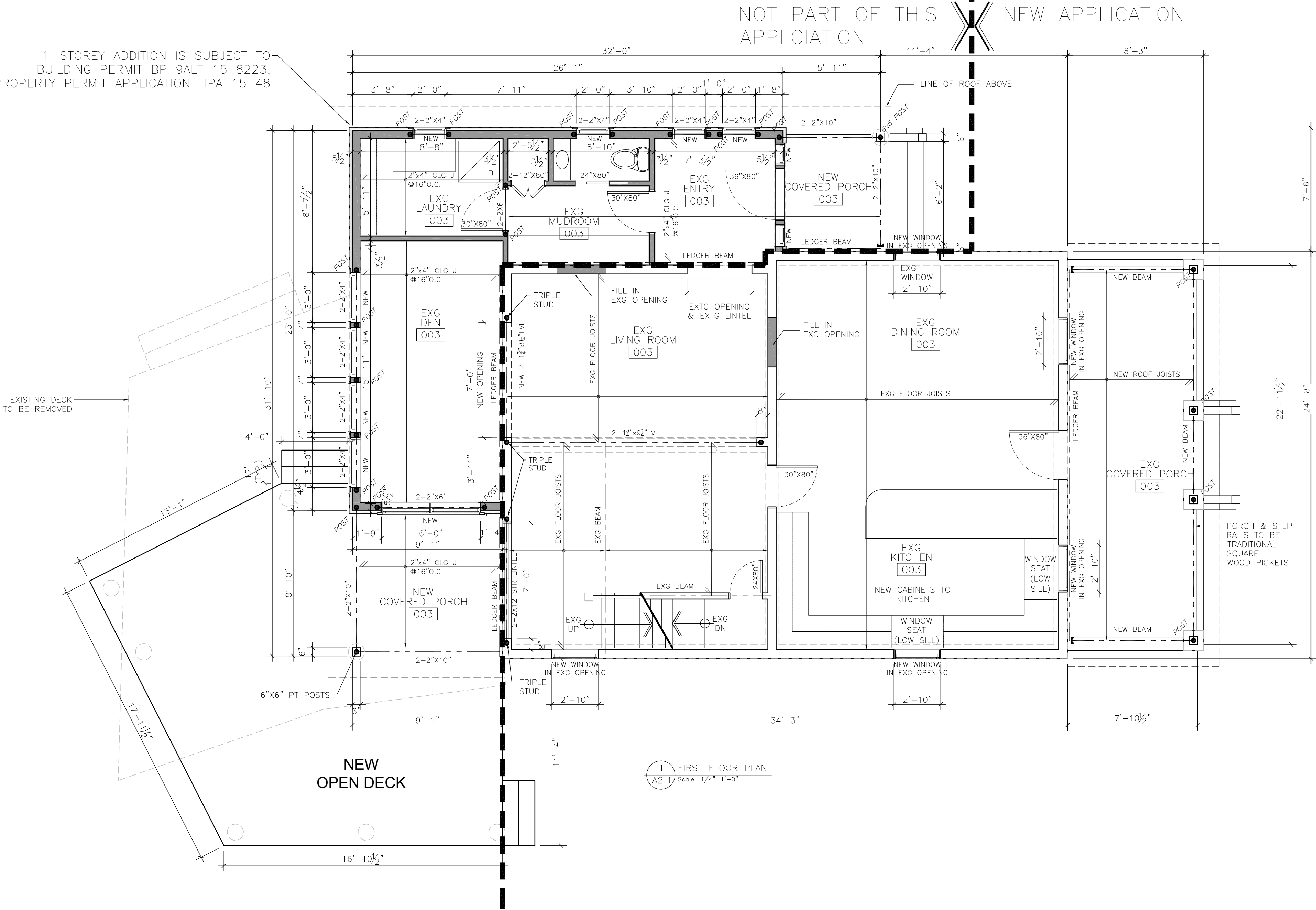
Sheet Title:

Basement Floor Plan

Drawing No:

A002.0

1-STORY ADDITION IS SUBJECT TO
BUILDING PERMIT BP 9ALT 15 8223.
HERITAGE PROPERTY PERMIT APPLICATION HPA 15 48



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Designer:

Engineer:

Project:

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Mississauga, ON

Sheet Title:
First Floor Plan

Design By: R.M.	Drawn By: R.M.	Approved By: R.M.
Scale: 1/4" = 1' - 0"	Date: Aug/2017	Project No: 17.43

Drawing No:
A002.1

[illegible]

NOT PART OF THIS APPLICATION

NEW APPLICATION

ATTIC STORAGE 202

PLAYROOM 202

ACCESS HATCH

NEW WINDOW IN EAG OPENING

NO CHANGE TO 3RD FLOOR

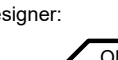
2
A2.2
THIRD FLOOR PLAN
Scale: 1/4"=1'-0"

Key Plan:

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Designer:



Engineer:

Project:

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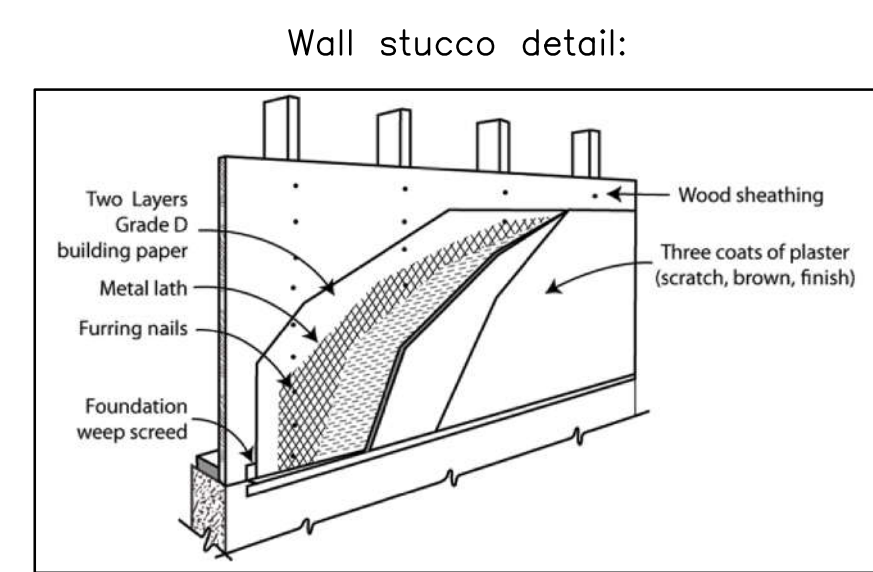
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Second Floor Plan
Third Floor Plan

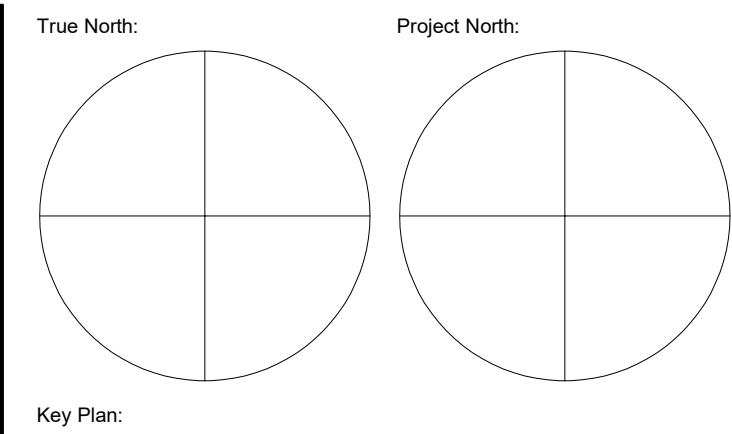
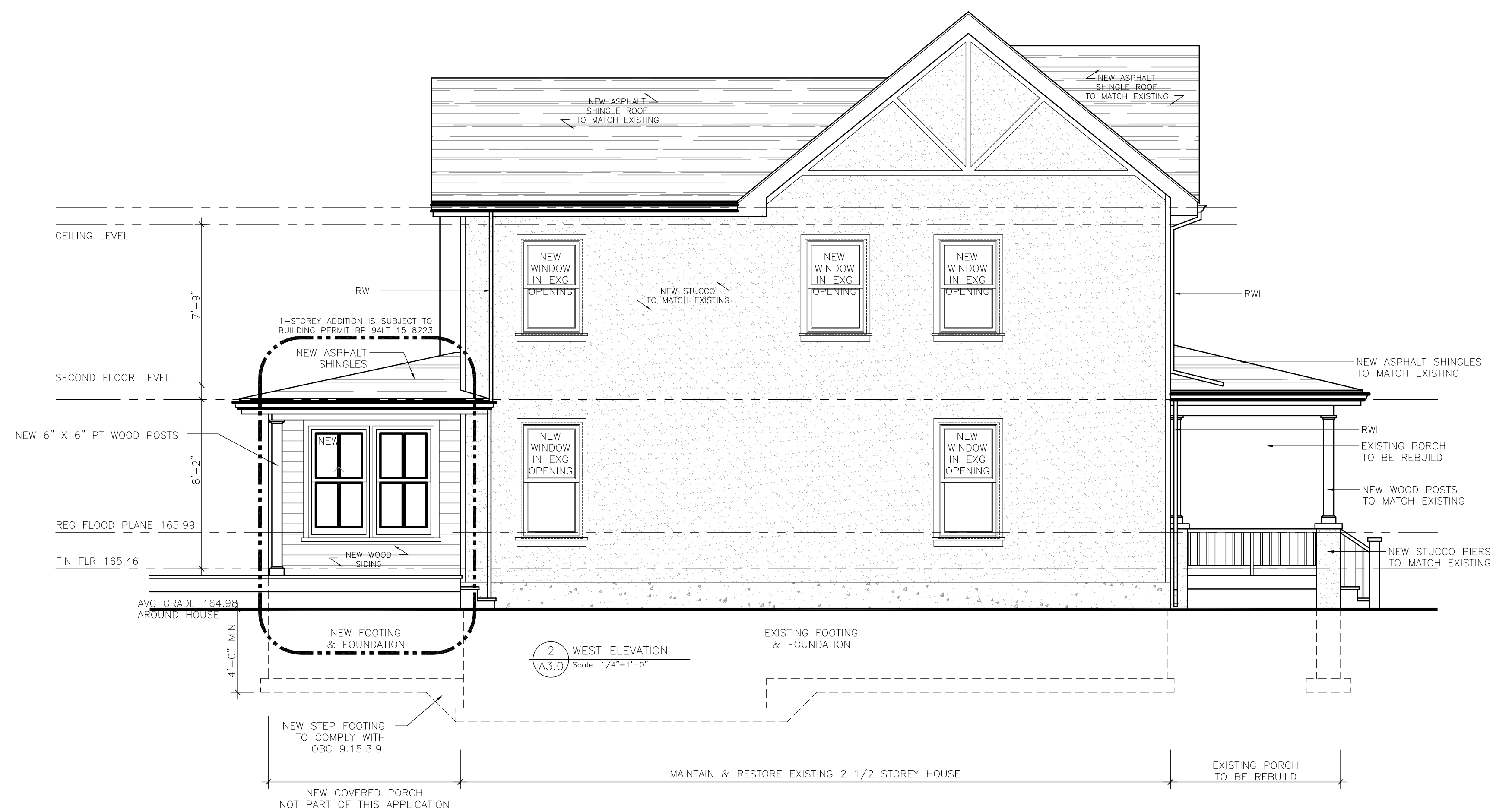
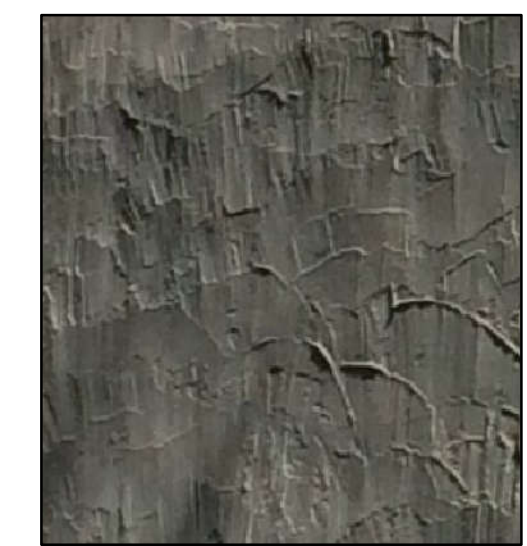
Design By: R.M.	Drawn By: R.M.	Approved By: R.M.
Scale: 1/4" = 1' - 0"	Date: Aug/2017	Project No: 17.43

Drawing No:

A002.2



Stucco to match existing:



Key Plan:

3	Nov 03/17	Per Heritage Comments	K.A.
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Designer:  RICK MATELIAN LICENCE 7846	Engineer:
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Project:

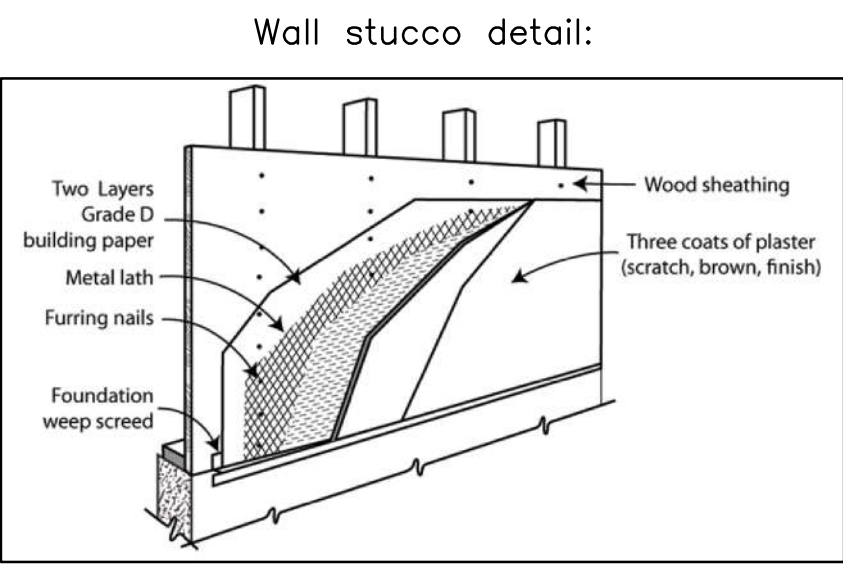
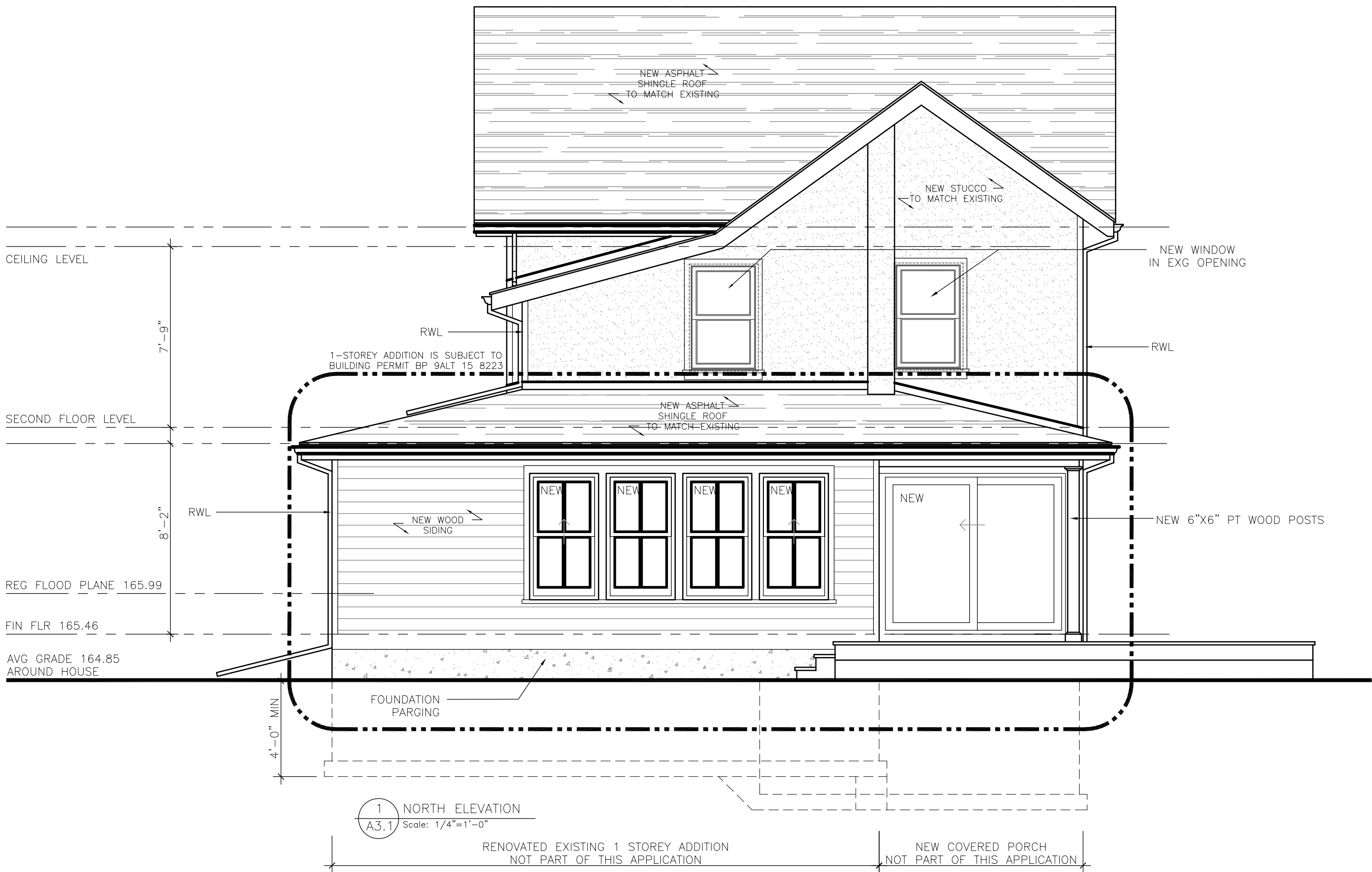
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Sheet Title:
**South Elevation
West Elevation**

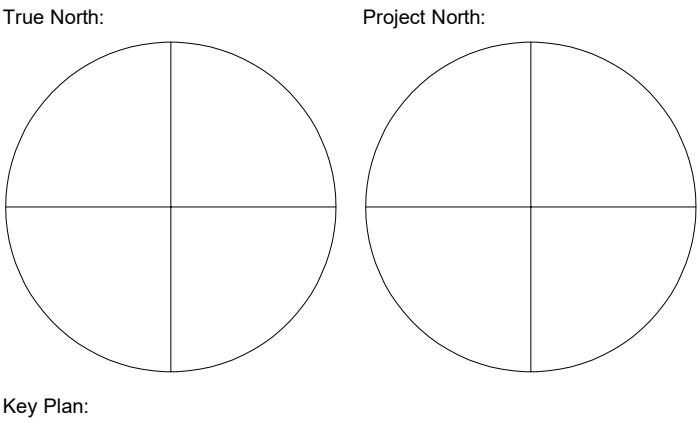
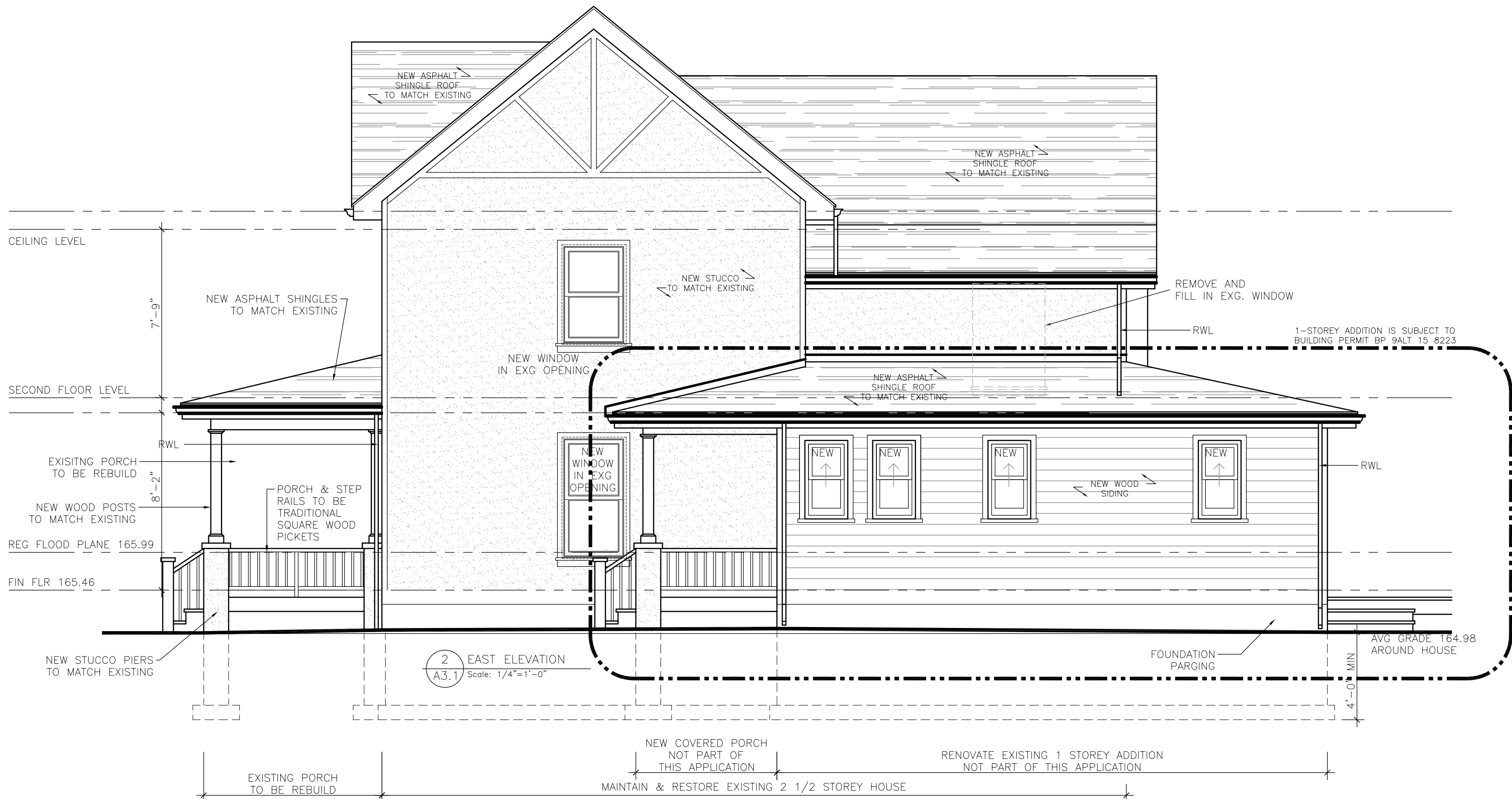
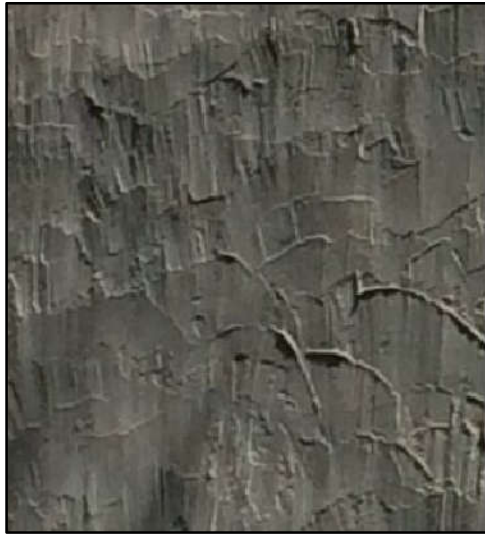
Design By: R.M.	Drawn By: R.M.	Approved By: R.M.
Scale: 1/4" = 1' - 0"	Date: Aug/2017	Project No: 17.43

Drawing No:

A003.0



Stucco to match existing:



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Designer: RICK MATELIAN LICENCE 7846	Engineer:
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Project:

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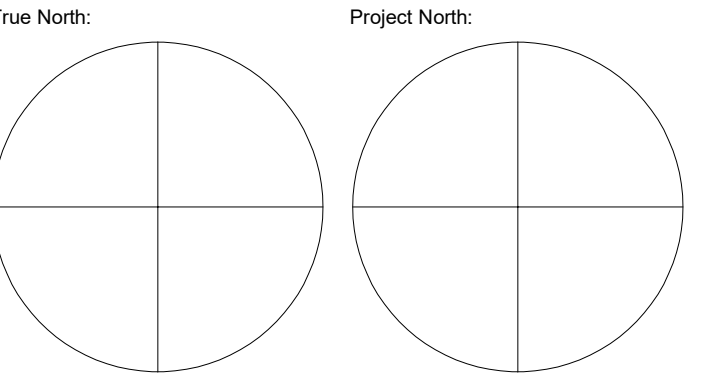
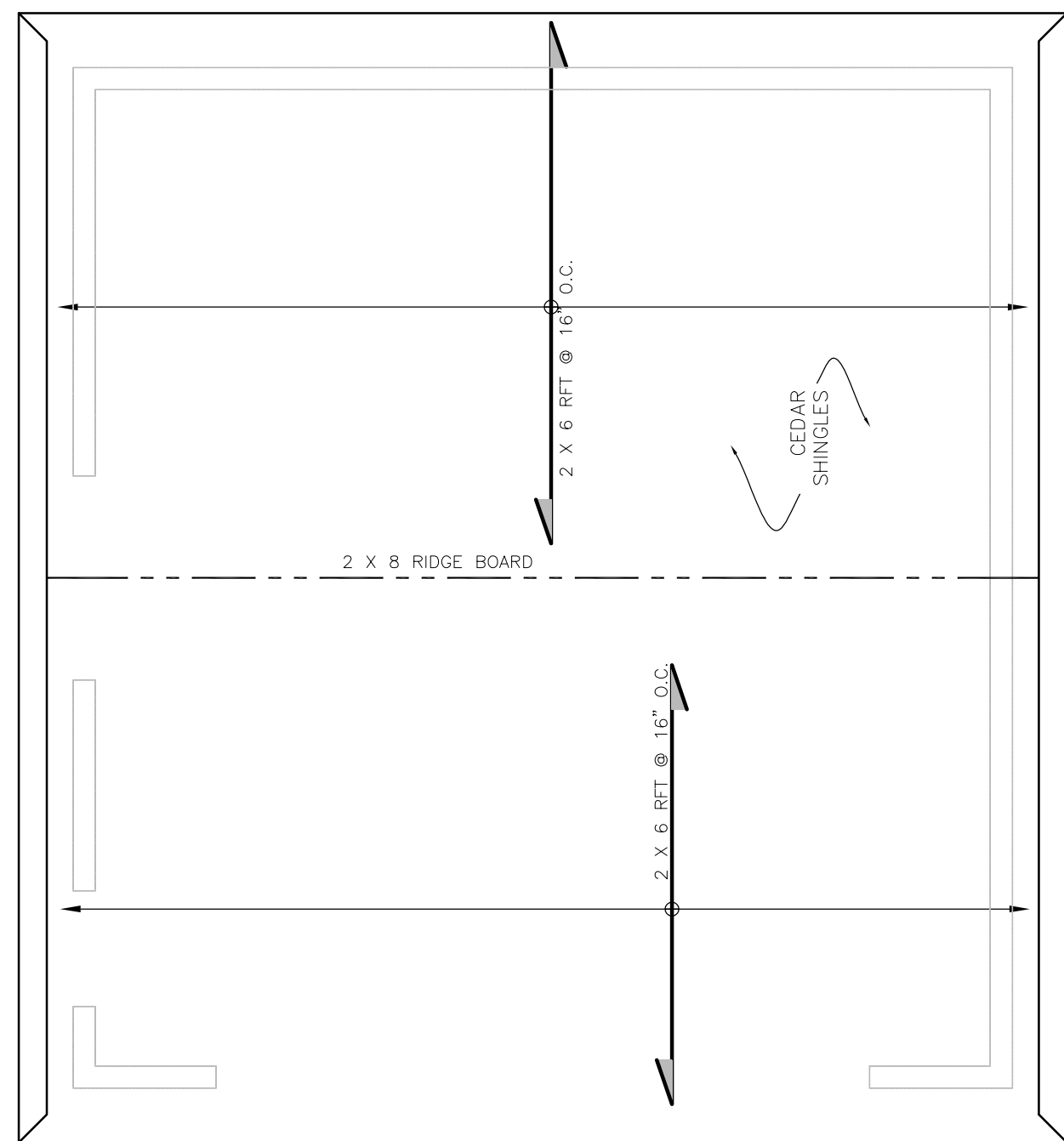
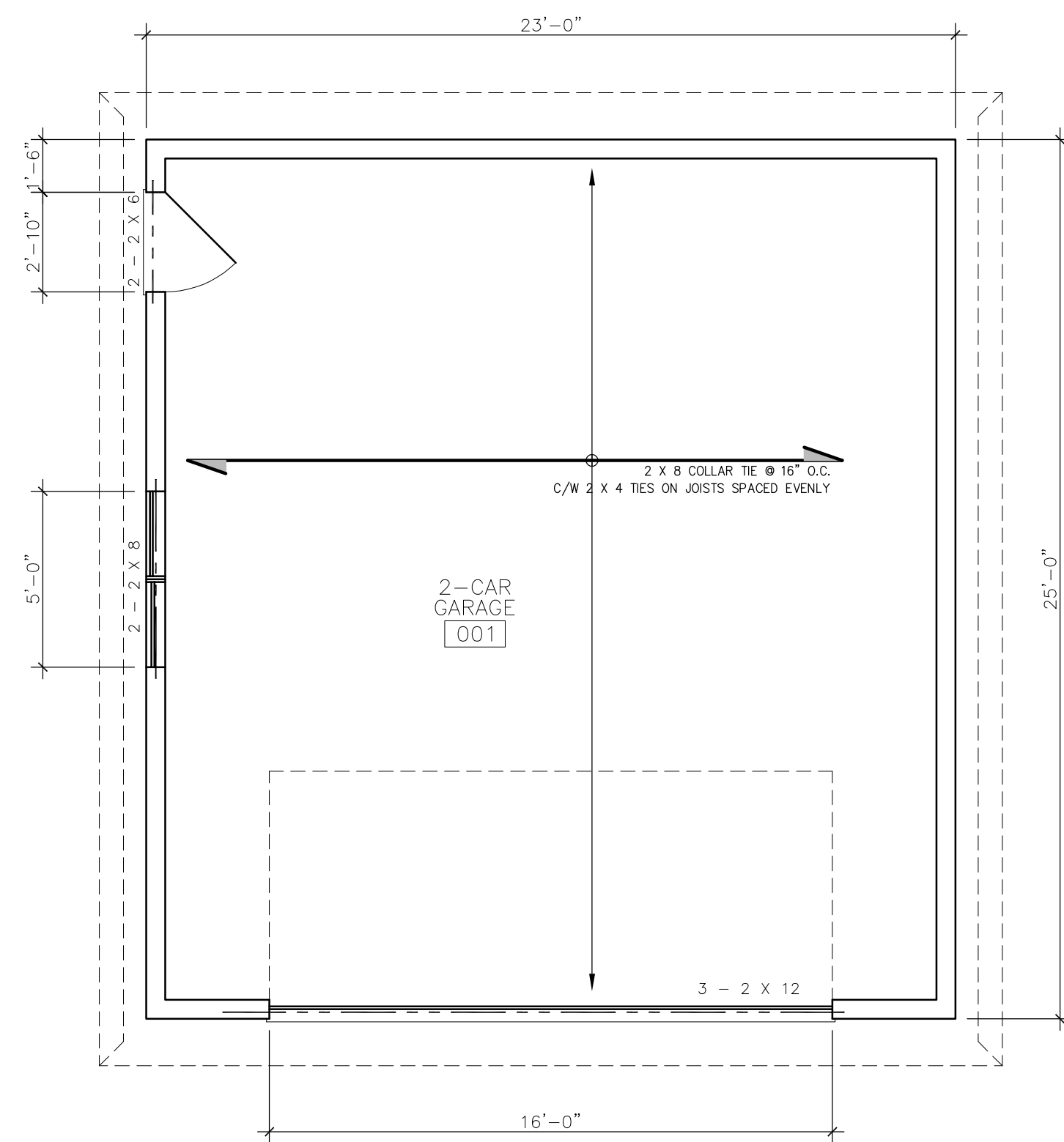
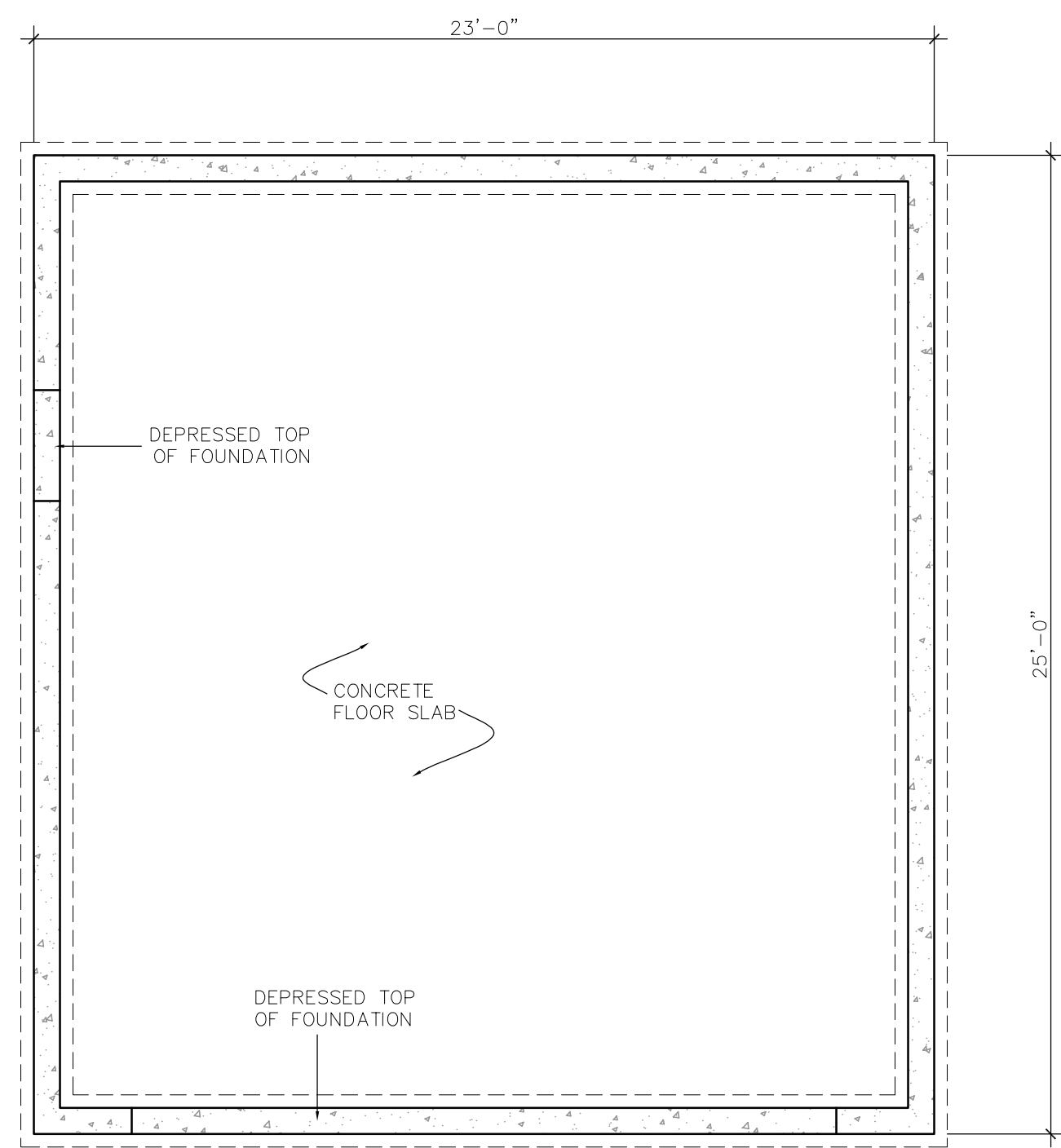
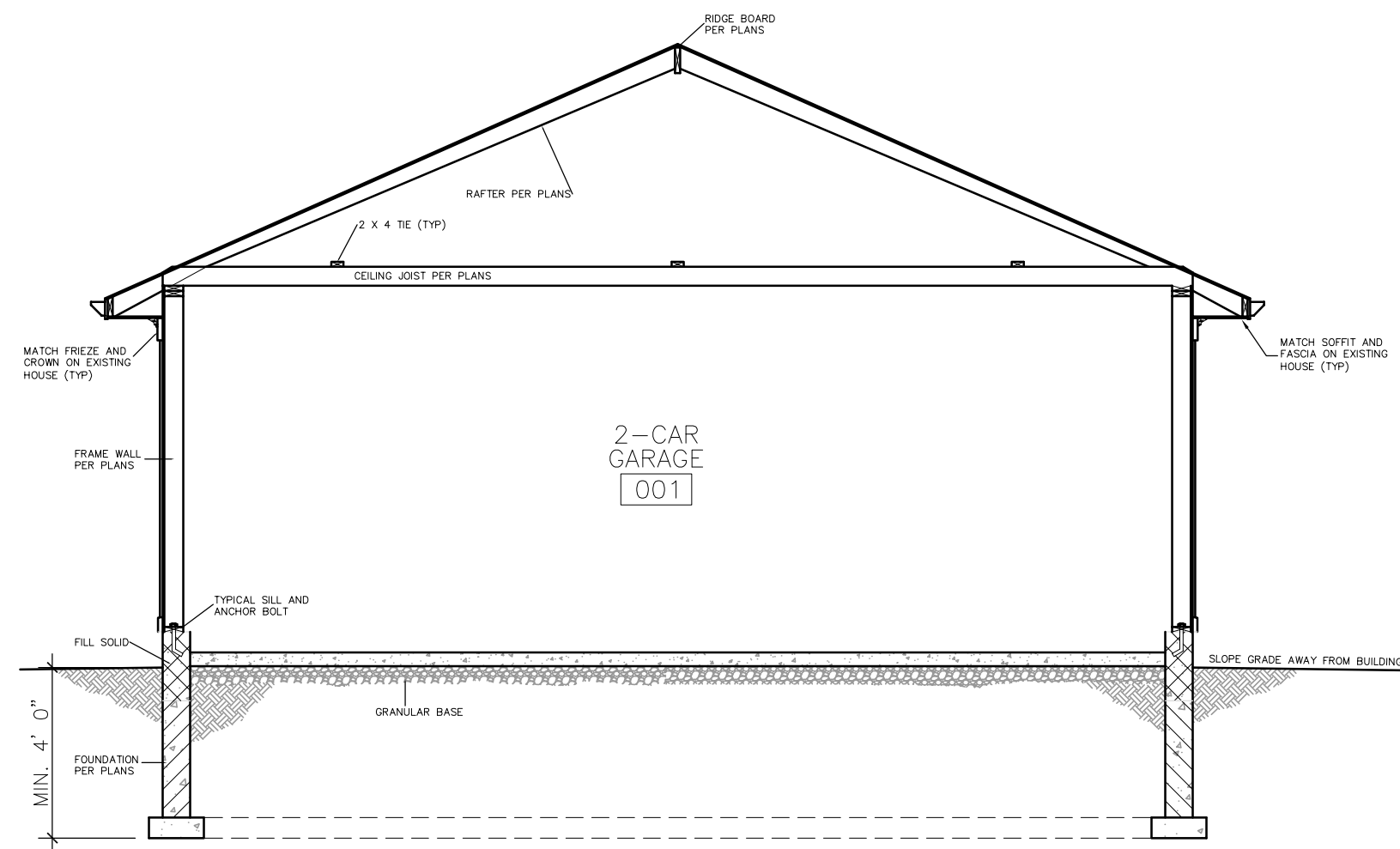
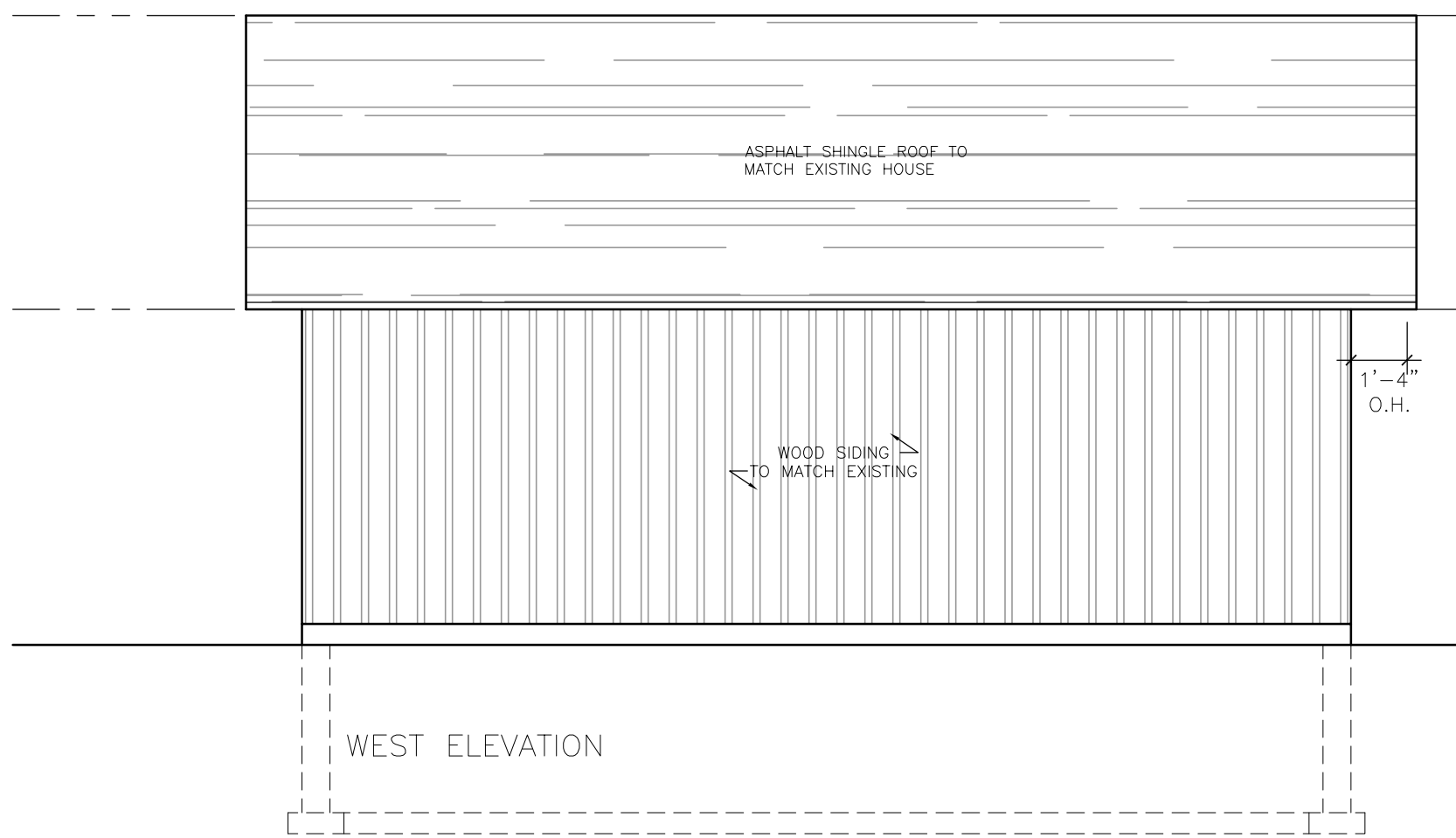
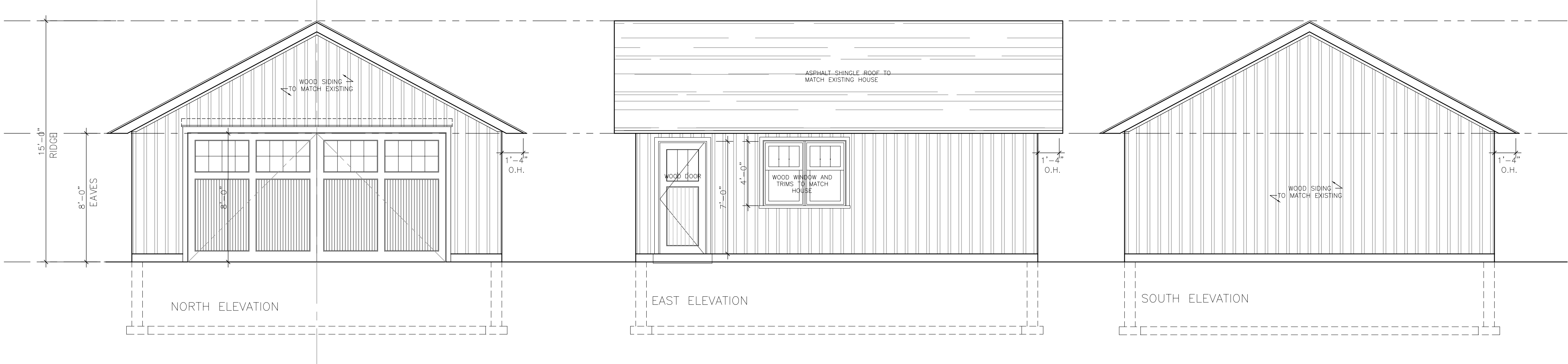
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North Elevation
East Elevation

Design By: R.M.	Drawn By: R.M.	Approved By: R.M.
Scale: 1/4" = 1' - 0"	Date: Aug/2017	Project No: 17.43

Drawing No:

A003.1



Key Plan:


3	Nov 03/17	Per Heritage Comments	K.A.
2	Oct 30/17	For Heritage Permit	K.A.
1	Oct 06/17	First Issue	K.A.
No.	Date	Issued/Revision	By:



**Strickland
Mateljan**
Design + Architecture

79 Wilson Street, Suite 301
Oakville ON L6K 3G4
Tel: 905 842 2848
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Designer:	Engineer:
	

Project:

1155 Willow Lane
Mississauga, ON

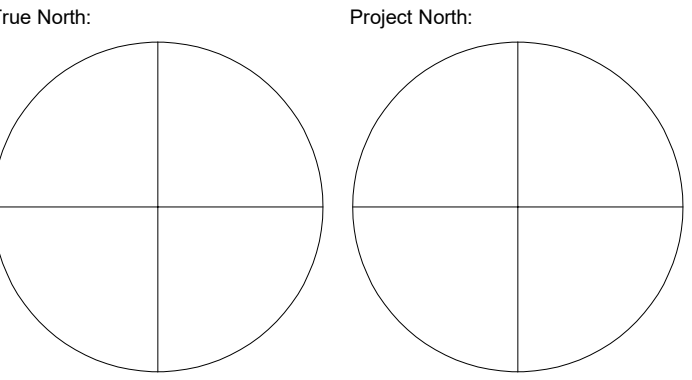
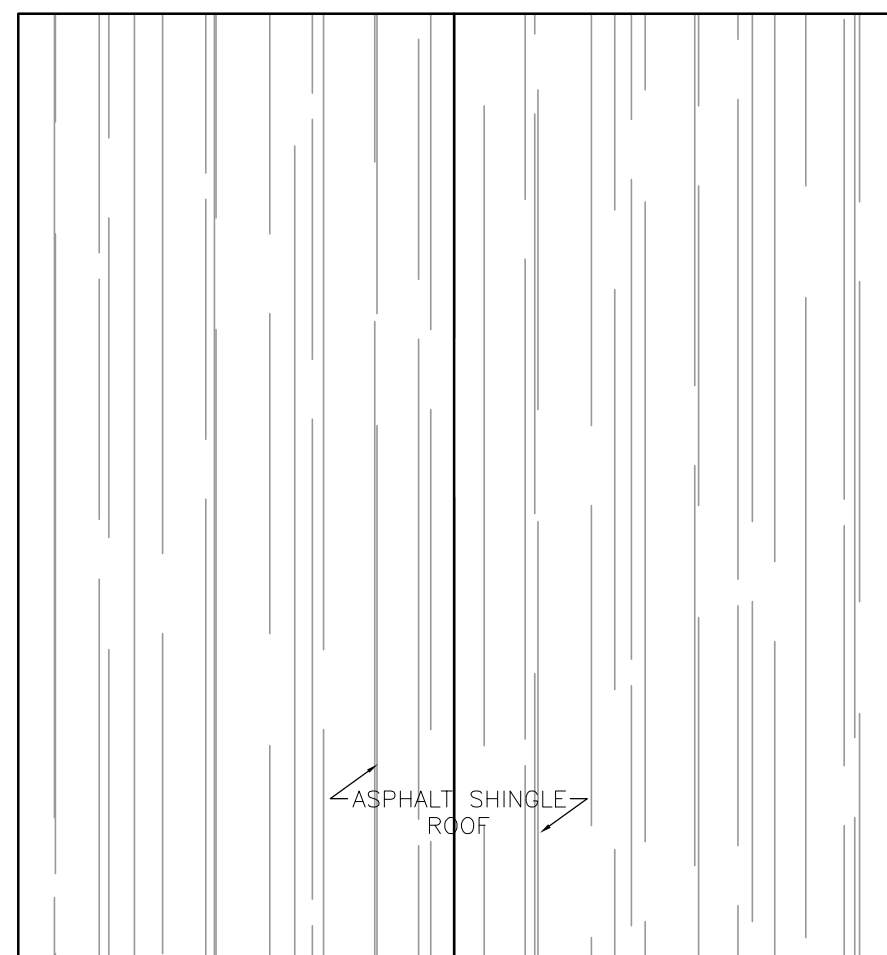
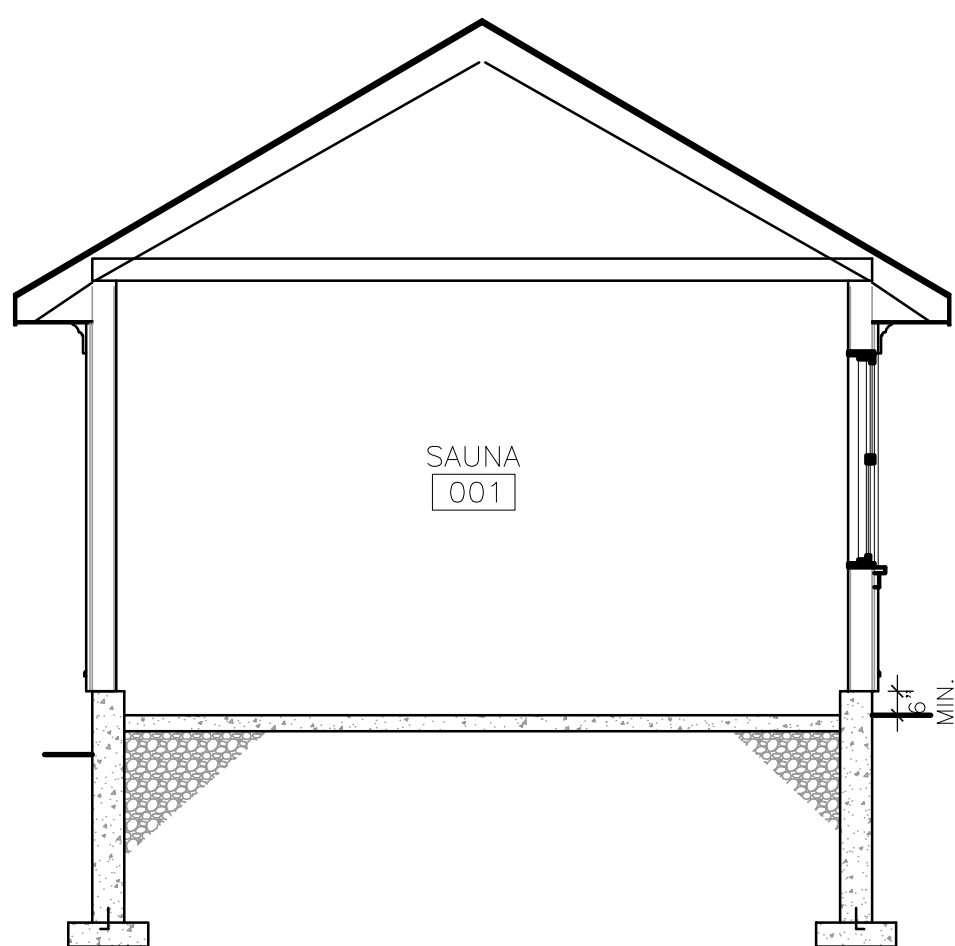
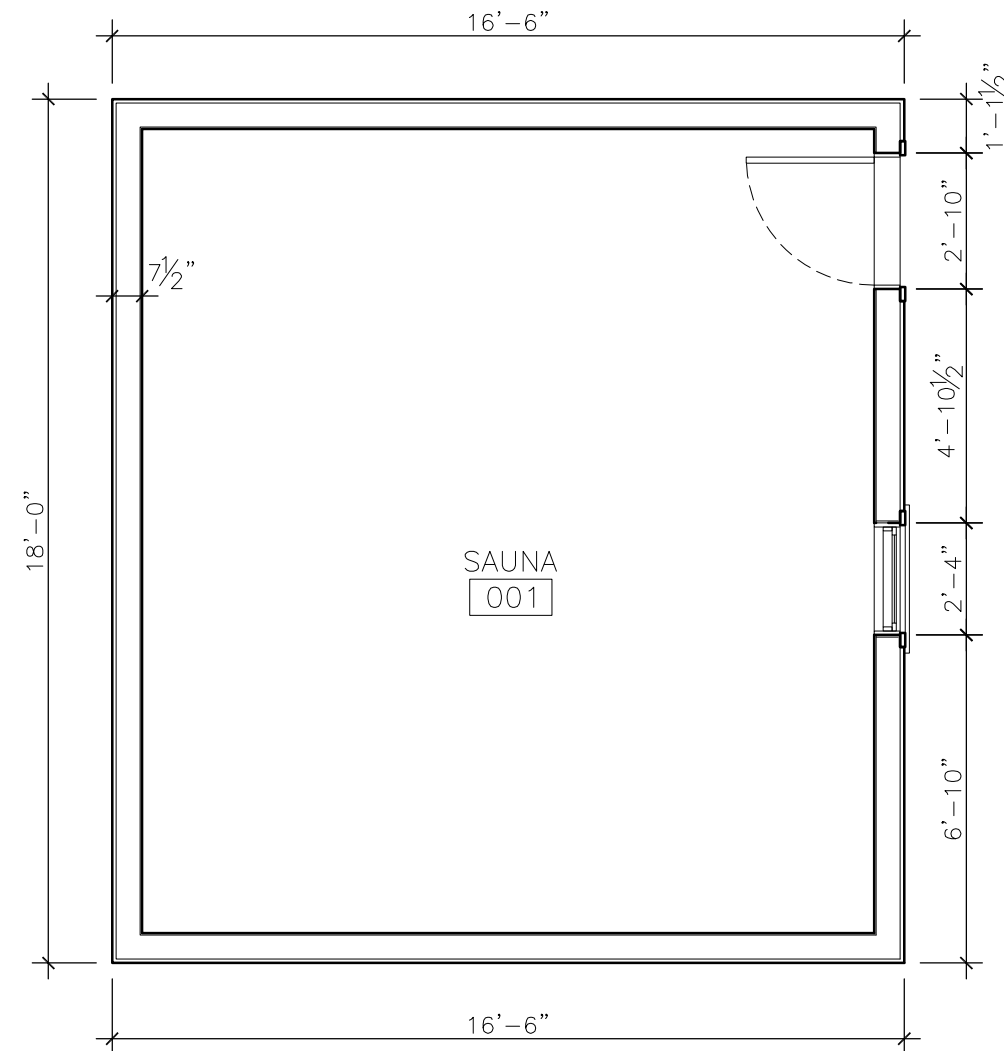
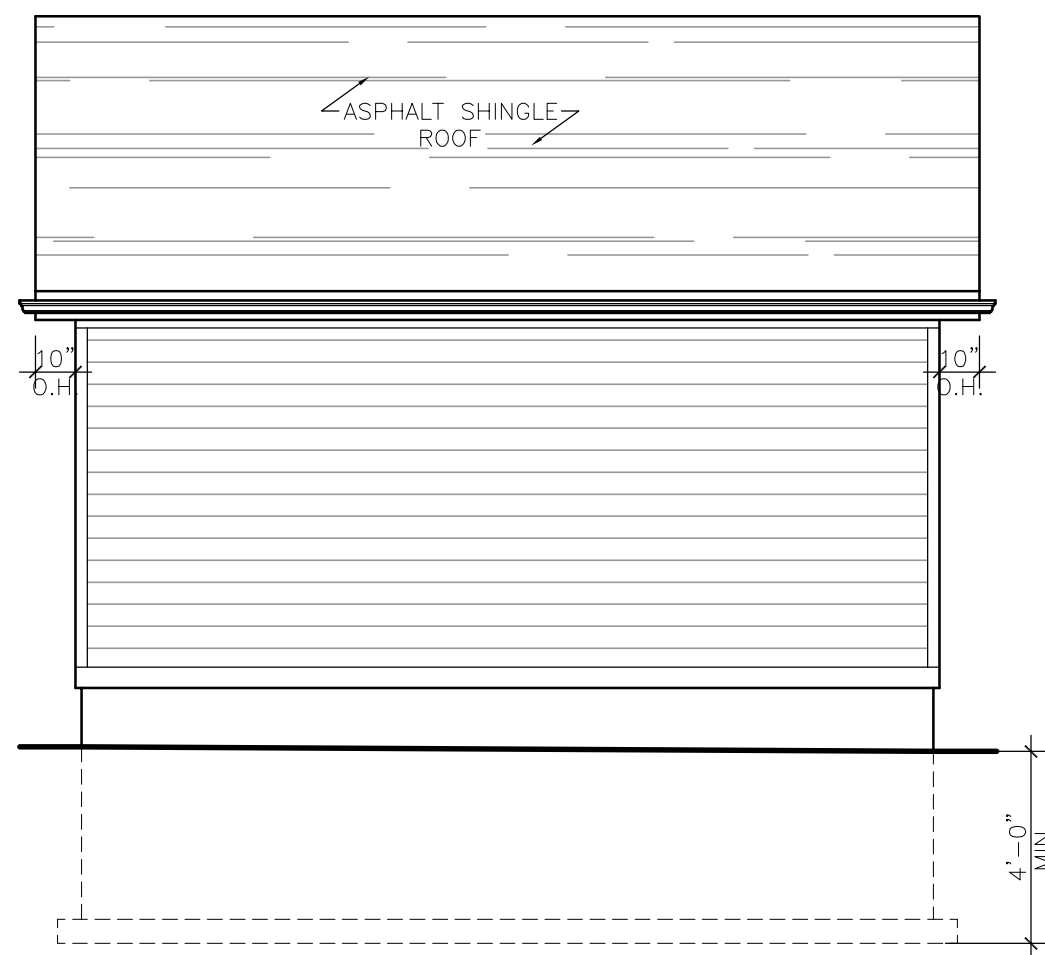
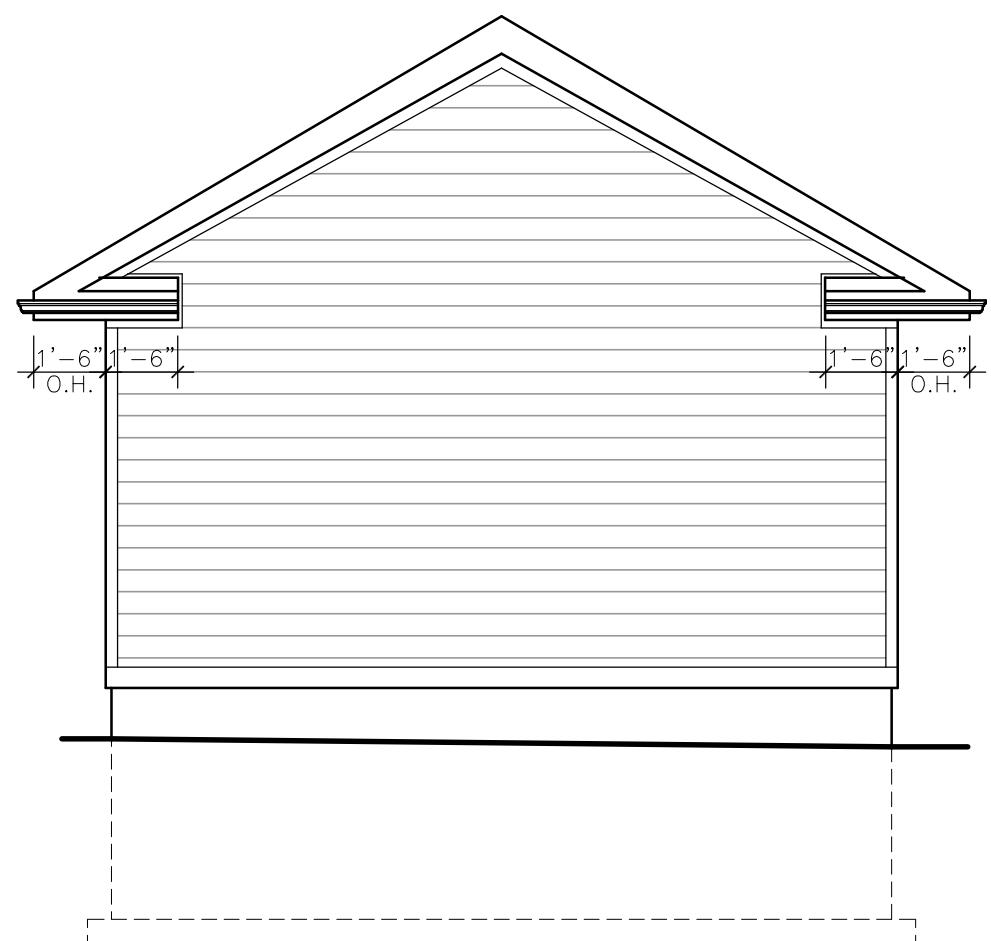
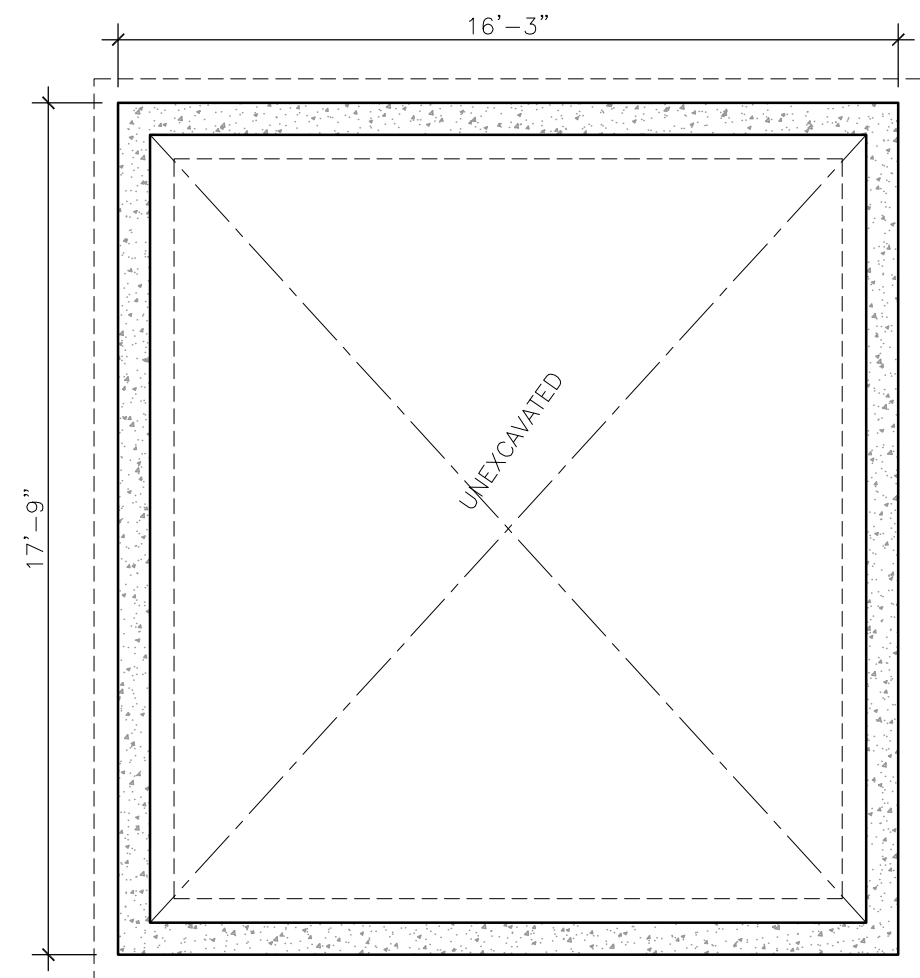
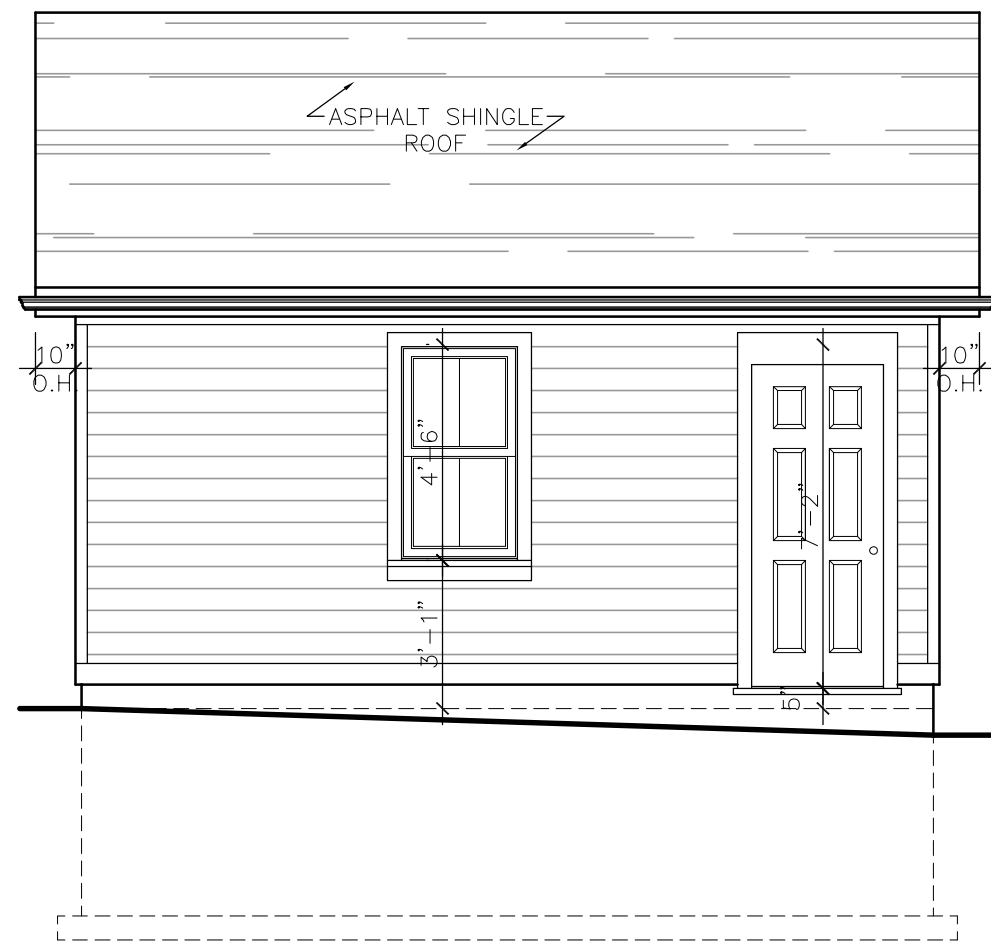
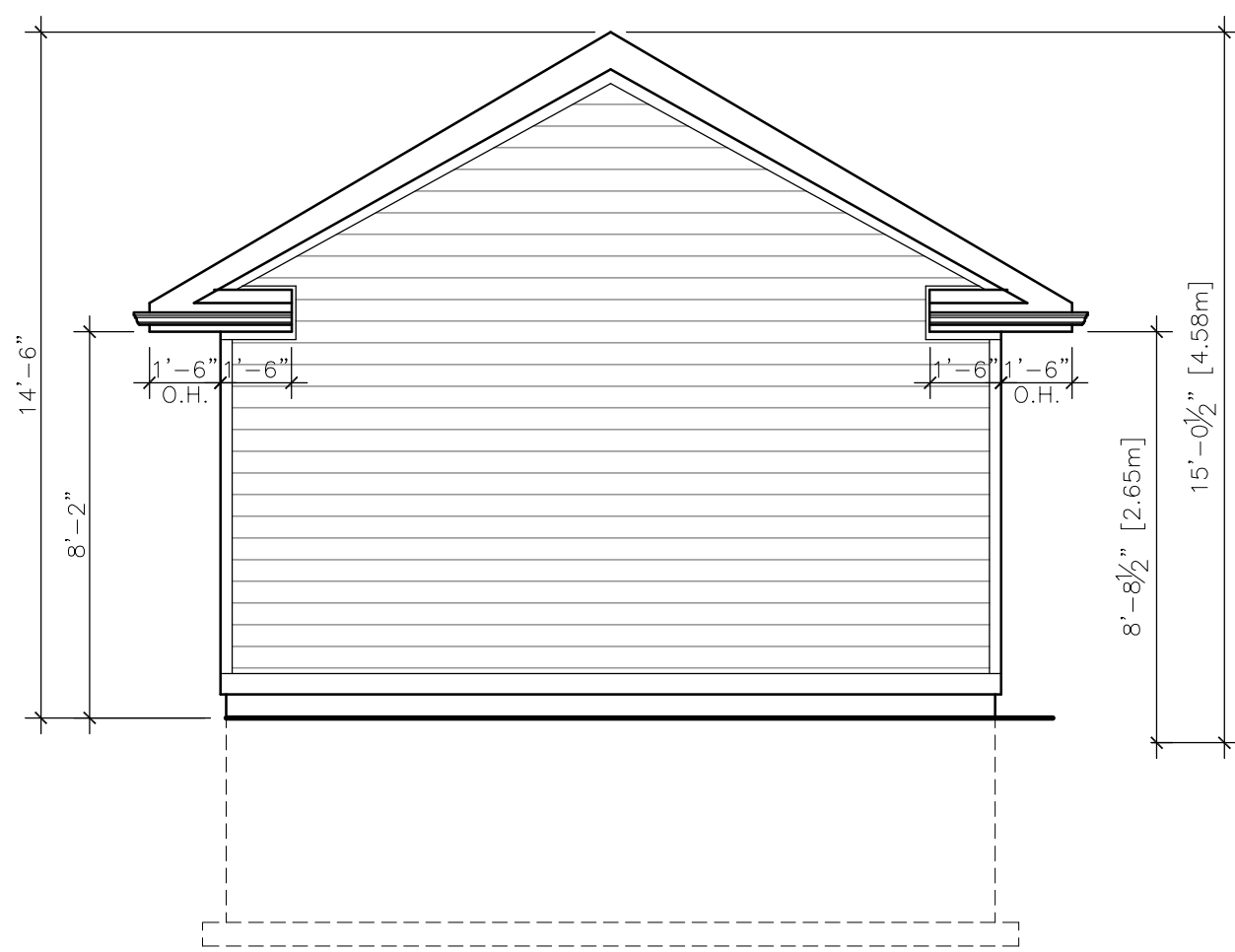
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**Detached Garage
Plans and Elevations**

Design By:	Drawn By:	Approved By:
R.M.	R.M.	R.M.
Scale:	Date:	Project No:
1/4" = 1' - 0"	Aug/2017	17.43

Drawing No:

A004.0



Key Plan:

3	Nov 03/17	Per Heritage Comments	K.A.
2	Oct 30/17	For Heritage Permit	K.A.
1	Oct 06/17	First Issue	K.A.


No.	Date	Issued/Revision	By:
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79 Wilson Street, Suite 301
Oakville ON L6K 3G4
Tel: 905 842 2848
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Designer:	Engineer:
	

Project:

1155 Willow Lane
Mississauga, ON

Sheet Title:
**Shed
Plans and Elevations**

Design By: R.M.	Drawn By: R.M.	Approved By: R.M.
Scale: 1/4" = 1' - 0"	Date: Aug/2017	Project No: 17.43

Drawing No:

A005.0

City of Mississauga
Memorandum



To: Chair and Members of the Meadowvale Village Heritage Conservation District Subcommittee

From: Mark Warrack, Manager, Culture & Heritage Planning

Date: November 6, 2017

Meeting Date: November 28, 2017

Subject: Request to Alter 1059 Old Derry Road

Recommendation:

That the request to install a concrete deck at the rear of the property at 1059 Old Derry Road, as per the attached drawings, be approved

Background:

The subject property is designated under Part V of the *Ontario Heritage Act* as it forms part of the Meadowvale Village Heritage Conservation District (HCD). Changes to the property are subject to the Meadowvale Village HCD Plan, 2014 and substantive changes identified in said plan require a heritage permit. Non-substantive changes that do not comply with the design guidelines also require a heritage permit. The subject proposal is for a new rear concrete deck. Appendix 1 outlines the proposal.

Comments:

The subject property has been undergoing a major redevelopment, including the installation of a cold room in the basement. The applicant was advised to install a concrete deck to prevent rain/snow leakage below. The proposed deck is simple and, additionally, has limited visibility from the public realm. As such, it should be approved.

Conclusion:

The owner of the subject property has applied to install a concrete deck at the rear of the property. As the proposal is simple and has limited visibility from the public realm, it should be approved.

Appendices:

Appendix 1: Supporting documentation

Mark Warrack
Manager, Cultural and Heritage Planning
Culture Division

As part of the original designs and permit submitted, it was intended to have a wooden deck in the back of the house. In Aug – 2016, we submitted a revision to this plan. The revised plan proposed a cold room under the backyard deck and a porch at the front of the house without a crawl space. We removed the crawl space from our proposal as we were concerned about the integrity of a very mature tree at the front of the house. (see figure 1)

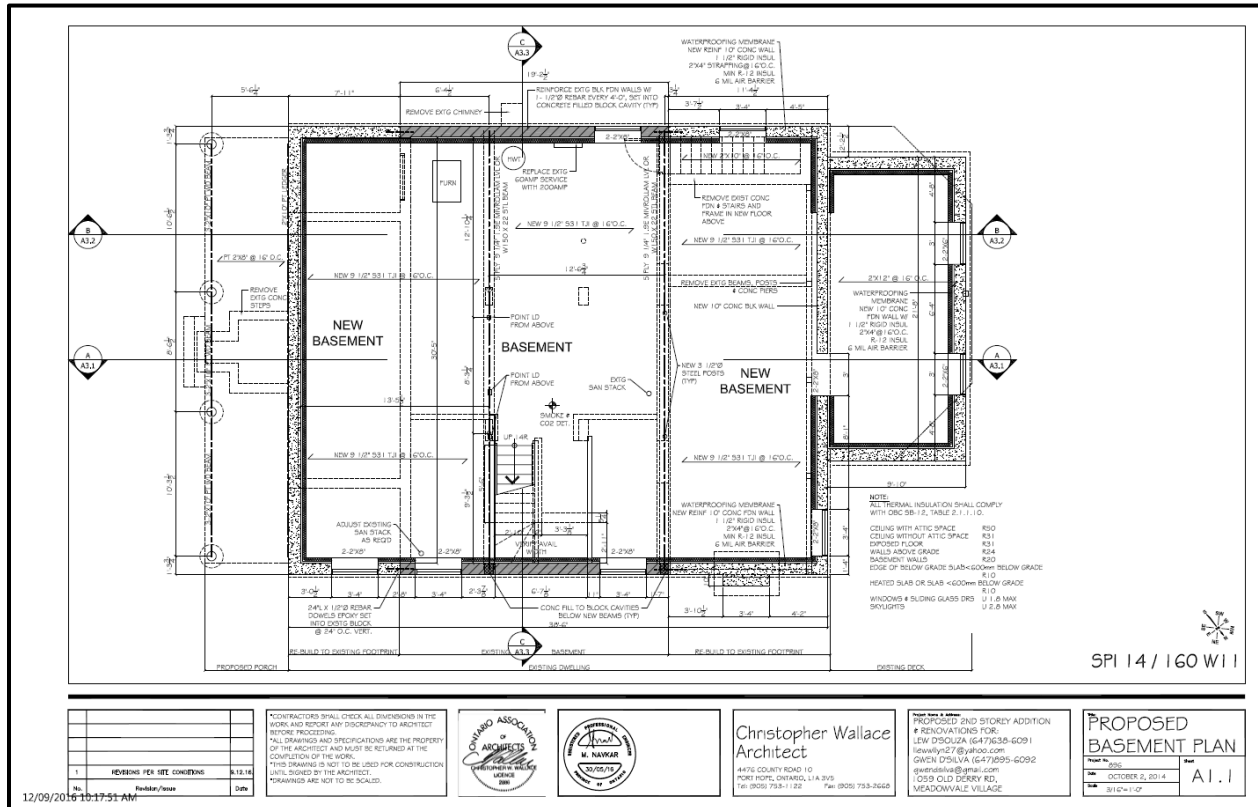


Figure 1: Basement plan

During construction, we were advised that there was a good chance of rain or snow leaking into the cold room below the backyard deck since the deck was without a roof (ex: Pergola, Awning). The contractor recommended a concrete deck. We submitted this change as part of BPA-9896 to the city of Mississauga, Planning & building on Dec 13- 2016. As illustrated in the picture 2 and 3, the proposal was to have a concrete deck that would be cladded with pressure treated decking wood.

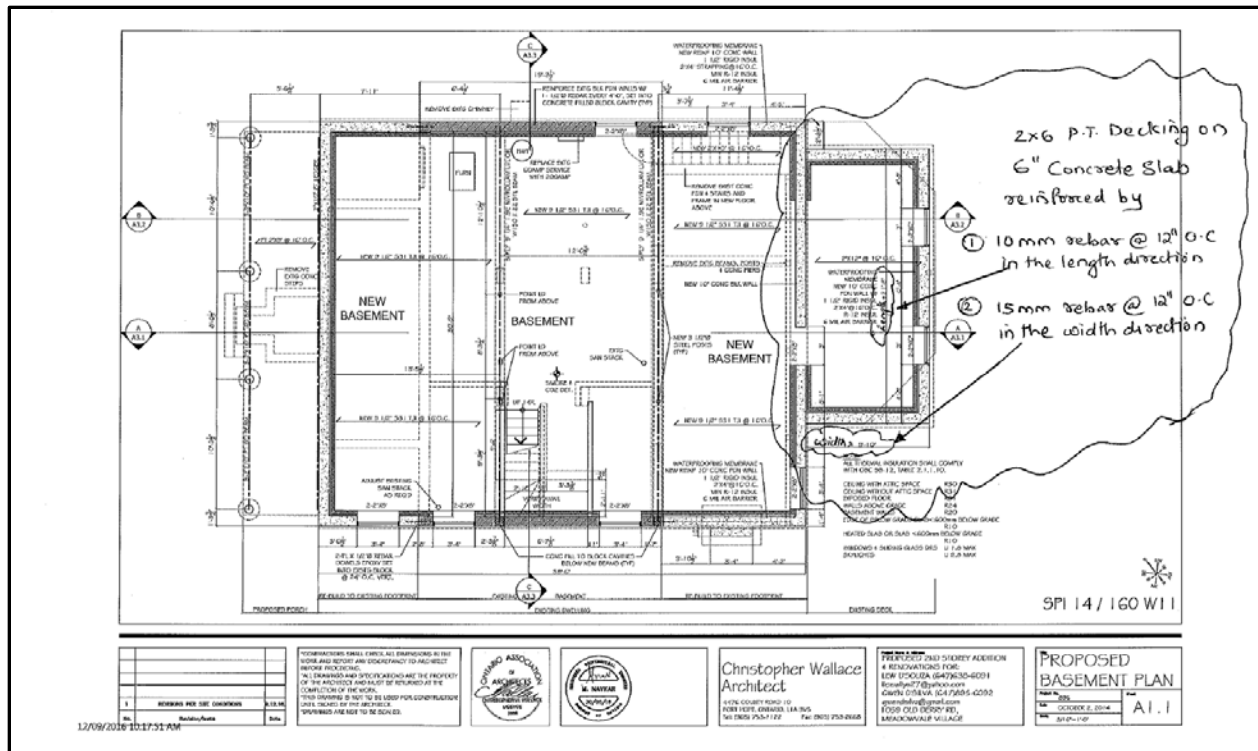


Figure 2: Top view of basement showing backyard deck plan

My proposal is to leave the concrete deck exposed and not to put any pressure treated wood cladding over the concrete deck. Doing so would be a waste of financial resources and does not add value to the property. Being in the rear of the house and coupled with the fact that the deck is narrower than the width of the house, this deck is not visible from Old Derry road or from the adjacent roads. As the backyard is fenced in, it is impossible for this deck whether it is concrete or wood clad to be visible to neighbors or passerby's. (See Figure 4,5)



Figure 4: View of Concrete deck from backyard – note width of deck is less than width of house



Figure 5: Side view of Concrete deck from backyard - note width of deck is less than width of house

City of Mississauga

Memorandum



To: Chair and Members of the Meadowvale Village Heritage Conservation District Subcommittee

From: Mark Warrack, Manager, Culture & Heritage Planning

Date: November 7, 2017

Meeting

Date: November 28, 2017

Subject: Request to Alter 1036 Old Derry Road

Recommendation:

That the request to install an asphalt driveway at the property at 1036 Old Derry Road, as per the attached drawing, be approved.

Background:

The subject property is designated under Part V of the *Ontario Heritage Act* as it forms part of the Meadowvale Village Heritage Conservation District (HCD). Changes to the property are subject to the Meadowvale Village HCD Plan, 2014 and substantive changes identified in said plan require a heritage permit. Non-substantive changes that do not comply with the design guidelines also require a heritage permit. The subject proposal is for a new asphalt driveway. Appendix 1 outlines the extent of the driveway, which, in its entirety, is proposed to be non-permeable asphalt.

Comments:

The Meadowvale Village HCD plan stipulates that “permeable paving methods are permitted.” As such, non-permeable paving requires a heritage permit. As per the proponent’s heritage permit application: “The driveway at this residence is steeply inclined and there are safety implications for vehicles and pedestrians.” The driveway is currently gravel and the owner has found it “unsafe to back the vehicle down.” Due to the safety concerns, staff recommend that the asphalt driveway be approved.

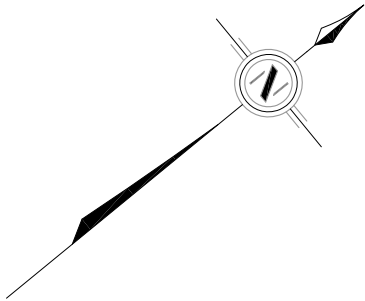
Conclusion:

The owner of the subject property has applied to install a non-permeable asphalt driveway. Due to the safety concerns, the driveway should be approved.

Appendices:

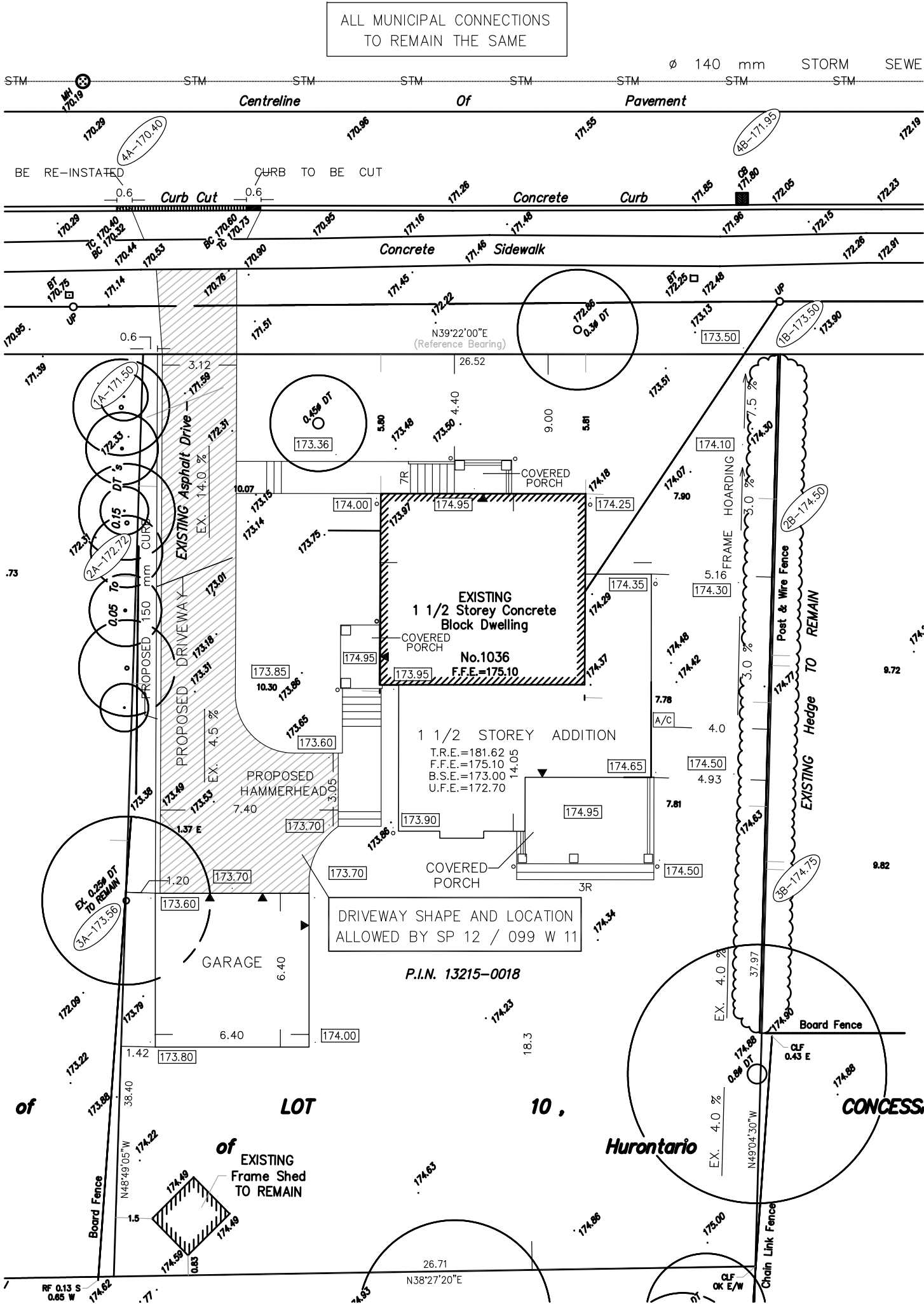
Appendix 1: Site plan drawing

Mark Warrack
Manager, Cultural and Heritage Planning
Culture Division



PRE-CONSTRUCTION PHOTO SHOWING EXISTING ASPHALT DRIVEWAY

OLD DERRY ROAD
(Road Allowance Between LOTS 10 and 11, Concession 3, West of Yonge Street)



City of Mississauga

Memorandum



To: Chair and Members of the Meadowvale Village Heritage Conservation District Subcommittee

From: Mark Warrack, Manager, Culture & Heritage Planning

Date: November 8, 2017

Meeting Date: November 28, 2017

Subject: Request to Alter 1066 Old Derry Road

Recommendation:

1. That the request to alter the property at 1066 Old Derry Road, as per this memorandum, by installing French doors at the rear of the dwelling, be refused.
2. That the request to alter the property at 1066 Old Derry Road, as per this memorandum, by maintaining a modern garage door, be approved.

Background:

The subject property is designated under Part V of the *Ontario Heritage Act* as it forms part of the Meadowvale Village Heritage Conservation District (HCD). Changes to the property are subject to the Meadowvale Village HCD Plan, 2014 and substantive changes identified in said plan require a heritage permit.

The City issued a conditional approval for an infill dwelling in 2015. See item 3 here: http://www7.mississauga.ca/documents/agendas/committees/heritage/2015/HAC_Agenda_2015_07_21.pdf. The applicant fulfilled the condition – to reduce the front yard setback – in 2016. The house was built but does not comply with the approved plans.

This summer the applicant submitted a heritage permit application to rectify the situation. (See item 7.2 here: https://www7.mississauga.ca/documents/committees/heritage/2017/2017_09_05_HAC_Agenda.pdf.) An approval was granted for the modern exterior finishes and the enclosed rear extension on the condition that the extension be modified to match the original approved rear elevation, with a pair of traditional doors and a traditional sash window in place of the sliding glass doors. The applicant now requests permission to modify this elevation with a pair of French doors in place of the window, and to allow the modern garage door, which does not match the approved drawings, to remain. (See Appendices 1 and 2 respectively.)

Comments:

Section 4.2.1.8 of the Meadowvale HCD plan addresses doors. It states that “French doors will be permitted where they cannot be viewed from the public realm.” The subject property backs onto Old Ridge Park and the rear is therefore visible from the public realm. Accordingly, Heritage Planning staff recommend that the application for French doors be refused.

There are no specific guidelines for garage doors. Section 4.2.1.8 applies to existing garages but, presumes that there is an original door to retain or match. Section 4.2.4.2 of the plan speaks to the style of new structures. It states the following:

- Style, massing, form, and materials should be subject to the historic pattern of construction throughout the Village
- New construction should be reflective of the HCD's simplicity of the vernacular style, but not mimic an architectural style, remaining an expression of its own era
- Garages should be designed in a style that reflects the simplicity and utilitarian use of a secondary outbuilding

Overall, the HCD plan emphasizes traditional design. However, the statement above about new construction being "an expression of its own era," suggests that a modern garage door may be acceptable. Because of this, Heritage Planning staff recommend that the modern garage door be approved.

Conclusion:

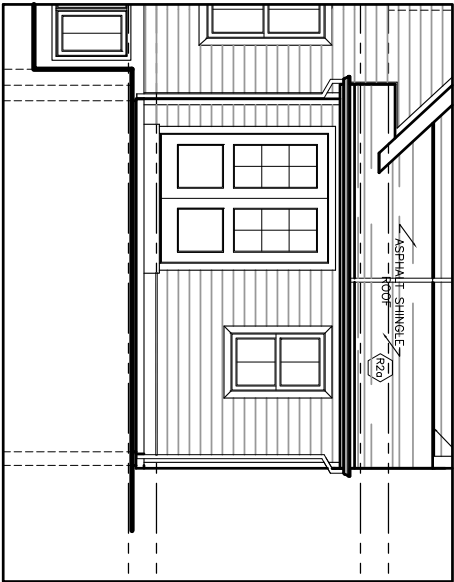
The owner of the subject property requests permission to install French doors at the rear of the dwelling, which is visible from the public realm. Because the plan clearly prohibits this, the request should be refused. The owner of the subject property also requests permission to maintain a modern garage door, which does not match the original approved plans. Because the plan is more ambiguous on this front, the garage door should be approved.

Appendices:

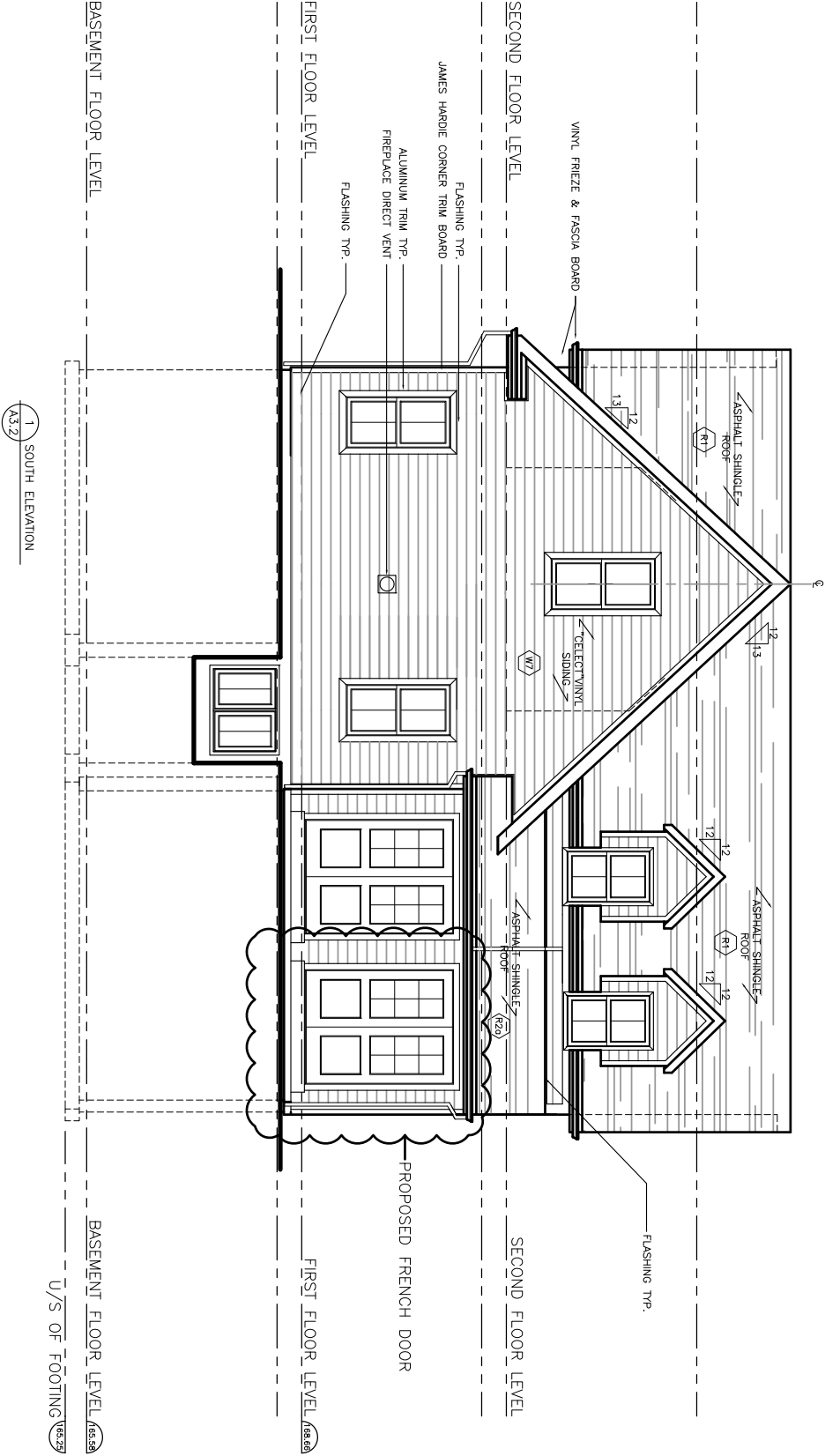
Appendix 1: Revised drawing of rear of dwelling

Appendix 2: Revised drawing of garage

Mark Warrack
Manager, Cultural and Heritage Planning
Culture Division



AS APPROVED

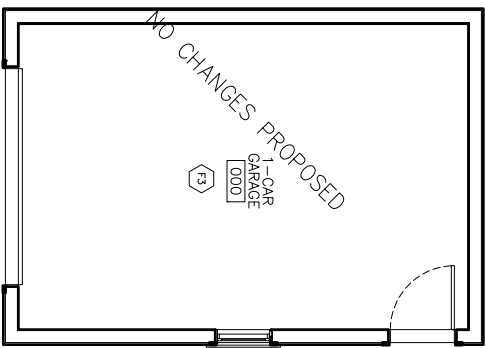
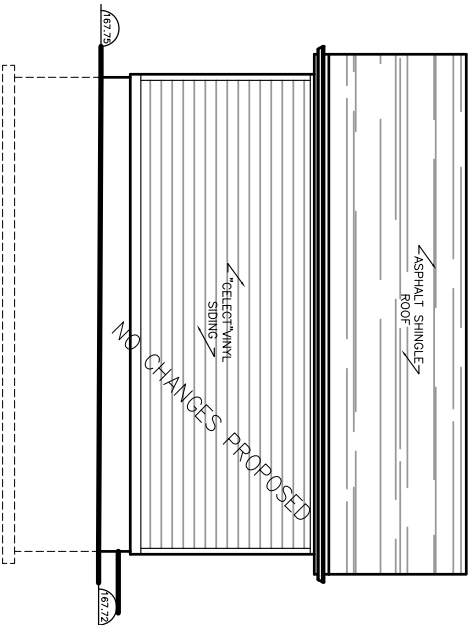
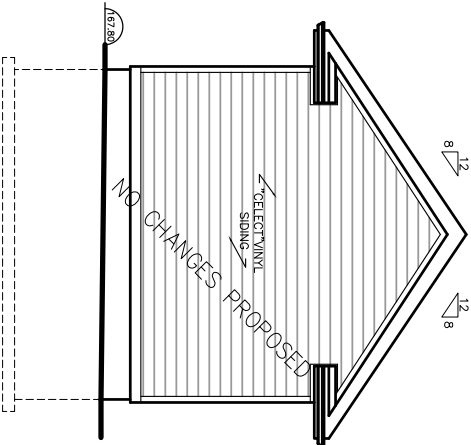
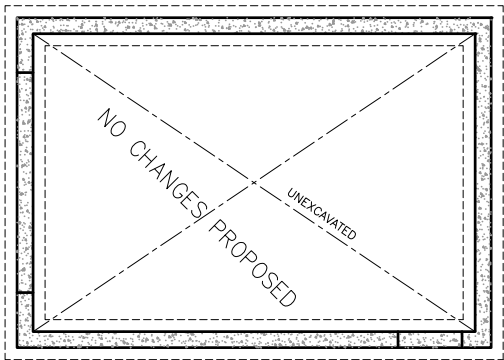
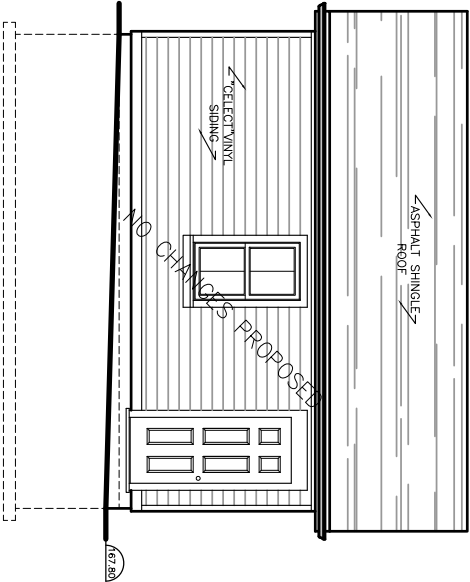
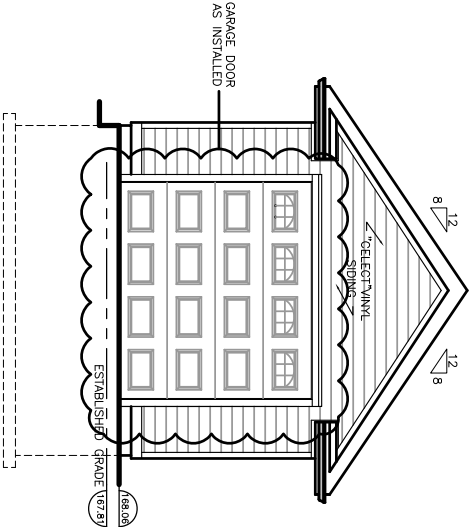
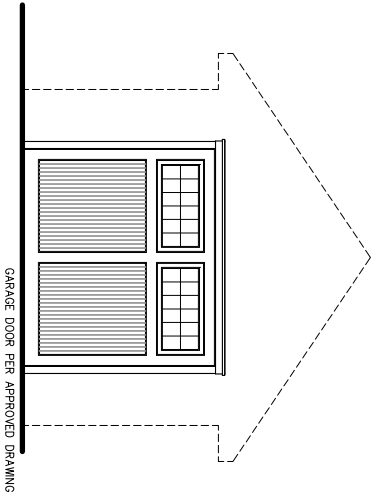


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South Elevation | 1/8"=1'-0"
1066 Old Derry Road, Mississauga
November 7, 2017



GARAGE DOOR AS INSTALLED



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