
Revised
Heritage Advisory Committee

Date

2017/09/05

Time

9:30 AM

Location

Civic Centre, Council Chamber,
300 City Centre Drive, Mississauga, Ontario, L5B 3C1 Ontario

Members

Councillor George Carlson, Ward 11 (Chair)
Rick Mateljan, Citizen Member (Vice-Chair)
Councillor Carolyn Parrish, Ward 5
Michael Battaglia, Citizen Member
Elizabeth Bjarnason, Citizen Member
Robert Cutmore, Citizen Member
David Dodaro, Citizen Member
Lindsay Graves, Citizen Member
James Holmes, Citizen Member
Cameron McCuaig, Citizen Member
Melissa Stolarz, Citizen Member
Matthew N. Wilkinson, Citizen Member

Contact

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NOTE: To support corporate waste reduction efforts the large
appendices in this agenda can be viewed at:
<http://www.mississauga.ca/portal/cityhall/heritageadvisory.ca>

Find it Online

<http://www.mississauga.ca/portal/cityhall/heritageadvisory>

-
1. CALL TO ORDER
 2. APPROVAL OF AGENDA
 3. DECLARATION OF CONFLICT OF INTEREST
 4. MINUTES OF PREVIOUS MEETING
 - 4.1. Approval of Minutes - July 11, 2017
 5. DEPUTATIONS
 - 5.1. Advisory Group on Land Use of Erindale Village Association - Brad Schneller and Terry Murphy
 6. PUBLIC QUESTION PERIOD - 15 Minute Limit (In accordance with Section 43 of the City of Mississauga Procedure By-law 0139-2013, persons who wish to address the Heritage Advisory Committee about a matter on the Agenda may ask their question limiting it to 5 minutes, as the public question period total limit is 15 minutes.)
 7. MATTERS TO BE CONSIDERED
 - 7.1. Request to Alter a Heritage Designated Property: 7089 Second Line West (Ward 11)
 - 7.2. Request to Alter a Heritage Designated Property: 1066 Old Derry Road (Ward 11)
 - 7.3. Request to Alter a Heritage Designated Property: 41 Bay Street (Ward 1)
 - 7.4. Request to Alter a Heritage Designated Property: 1507 Clarkson Road North (Ward 2)
 - 7.5. Request to Demolish a Heritage Listed Property: 2130 Mississauga Road (Ward 8)
 - 7.6. Old Port Credit Heritage Conservation District Plan Review – Issues Analysis Report
 8. SUBCOMMITTEE UPDATES
 - 8.1. Receive Draft Minutes of the Meadowvale Village Heritage Conservation District Advisory Sub-Committee Report dated August 1, 2017 and Approval of Recommendations therein

8.2. Heritage Designation Sub-Committee

8.3. Public Awareness Sub-Committee

9. INFORMATION ITEMS

10. OTHER BUSINESS

11. DATE OF NEXT MEETING - October 17, 2017

12. ADJOURNMENT

City of Mississauga
Minutes



Heritage Advisory Committee

Date

2017/07/11

Time

9:30 AM

Location

Civic Centre, Council Chamber,
300 City Centre Drive, Mississauga, Ontario, L5B 3C1 Ontario

Members Present

Councillor George Carlson, Ward 11 **(Chair)**
Rick Mateljan, Citizen Member **(Vice-Chair)**
Councillor Carolyn Parrish, Ward 5
Michael Battaglia, Citizen Member
Robert Cutmore, Citizen Member
James Holmes, Citizen Member
Cameron McCuaig, Citizen Member
Melisa Stolarz, Citizen Member
Matthew N. Wilkinson, Citizen Member

Members Absent

Elizabeth Bjarnason, Citizen Member
David Dodaro, Citizen Member
Lindsay Graves, Citizen Member

Staff Present

Paul Damaso, Director, Culture Division
Mark Warrack, Manager, Culture and Heritage Planning
Paula Wubbenhorst, Senior Heritage Coordinator, Culture Division
Cecilia Nin Hernandez, Heritage Coordinator, Culture Division
Mumtaz Alikhan, Legislative Coordinator

Find it online

<http://www.mississauga.ca/portal/cityhall/heritageadvisory>

1. CALL TO ORDER – 9:33 am
2. APPROVAL OF AGENDA
APPROVED (R. Mateljan)
3. DECLARATION OF CONFLICT OF INTEREST
Rick Mateljan declared a conflict of interest with Item 7.2
4. MINUTES OF PREVIOUS MEETING
 - 4.1. Approval of HAC Minutes - June 13, 2017
APPROVED (M. Wilkinson)
5. DEPUTATIONS - Nil
6. PUBLIC QUESTION PERIOD
Lisa MacCumber, neighbouring resident, and Beryl Chamberlain, President, Applewood Acres Homeowners' Association, spoke of their concerns regarding Item 7.1 with respect to the request to alter 915 North Service Road. They noted that the owners of have shown no respect for the law or the planning process and neglected the subject property identifying damage to the William Hedge Farmhouse. In addition they said the grass is overgrown and the garbage piled up. They requested the Committee to defer a decision until the damage to the historic house is repaired. Councillor Carlson advised that the Committee can only deal with the heritage component.
7. MATTERS TO BE CONSIDERED
 - 7.1. Request to Alter a Heritage Designated Property: 915 North Service Road (Ward 1)
In response to the residents' request for deferral, Cecilia Nin Hernandez, Heritage Coordinator, stated that the owners can apply for permits per the City's Legal Services. She said that staff met with the owners on a without prejudice basis and that the owners requested a two phase process. She said that this request reflects the first phase dealing with the proposed severance and the two garage structures. Ms. Nin Hernandez noted that the next phase will require a heritage permit dealing with the Hedge House and the proposed garage. She suggested that a Letter of Credit would provide security for the next heritage permit. Paul Damaso, Director, Culture Division, stated that if the City does not respond to the Heritage Permit application, time will run out and the owners, by default, can do whatever they want.

Megan Hobson, Heritage Consultant, addressed the Committee noting that this is a difficult project and that she has been working with the owners who now fully understand that a heritage permit is a condition and to ensure that the historic house is secured for the long term. She noted that most of the features listed in the designation as heritage attributes are still there and requested the Committee to allow the project to move forward with this phase. Ms. Hobson said that the interior features of the historic house will be restored and repaired and believed that the owners are acting in good faith and are willing to do what needs to be done.

The Committee concluded that the owners be required to provide a letter of credit in the amount of \$250,000 as security and held by the City until the project is completed and an occupancy permit is issued for William Hedge Farmhouse.

RECOMMENDATION

HAC-0051-2017

1. That the request to alter the heritage designated property located at 915 North Service Road as outlined in the Corporate Report dated June 19, 2017, from the Commissioner of Community Services entitled *Request to Alter a Heritage Designated Property: 915 North Service Road (Ward 1)* be approved, subject to the following conditions:
 - a. That the approval is without prejudice to charges that are pending before the courts related to this property,
 - b. That, prior to the issuance of the heritage permit for the subject proposal, the owner is to submit a heritage permit application for the conservation work to the Hedge farmhouse, accompanied by a detailed Heritage Management Conservation Plan, building permit drawings for the Hedge farmhouse and the proposed new detached garage shown on Appendix D of the amended HIA report submitted (Appendix 3),
 - c. That staff send comments to the Committee of Adjustment noting that, if the severance is approved by the Committee of Adjustment, conditions be imposed and the City enter into appropriate agreements with the owner in order to ensure the following:
 - (i) That prior to the approval of the severance the heritage designation by-law be amended to reflect the new property boundary and that the owner provide the City with a survey and land description of the new lot boundaries to this end;
 - (ii) That the building permit drawings for the new lots be circulated to Heritage Planning for review and comment.
2. That if any changes result from other City review and approval requirements, such as but not limited to building permit, committee of adjustment or site plan approval, a new heritage permit application will be required. The applicant is required to contact heritage planning at that time to review the changes prior to

obtaining other approvals and commencing construction.

3. That a Letter of Credit from the Owner in the amount of \$250,000 for the completion of the rehabilitation and heritage conservation work of the William Hedge Farmhouse (subject to approval in phase II) be submitted to the City and be held until completion of the project and until an occupancy permit is issued for the William Hedge Farmhouse.

APPROVED (R. Mateljan)

At this point R. Mateljan left the meeting.

- 7.2. Request to Alter a Heritage Designated Property: 929 Old Derry Road West (Ward 11)
Corporate Report dated June 6, 2017 from the Commissioner of Community Services:

RECOMMENDATION
HAC-0052-2017

That the request to alter a Heritage Designated Property located at 929 Old Derry Road West (Ward 11), as outlined in the Corporate Report dated June 6, 2017, from the Commissioner of Community Services, to extend an existing paved walkway to provide a hard surface pedestrian connection to lead to the adjacent property at 7059 Second Line West, as depicted in Appendix 1 and 2, be approved.

APPROVED (J. Holmes)

R. Mateljan returned to the meeting.

- 7.3. Request to Alter a Heritage Designated Property: 7080 Gaslamp Walk (Ward 11)
Corporate Report dated June 6, 2017 from the Commissioner of Community Services:

RECOMMENDATION
HAC-0053-2017

That the request to alter a Heritage Designated Property located at 7080 Gaslamp Walk (Ward 11), as outlined in the Corporate Report dated June 6, 2017 from the Commissioner of Community Services to install an in-ground pool as depicted in Appendix 1 and 2, be approved.

APPROVED (M. Stolarz)

- 7.4. Request to Demolish a Heritage Listed Property: 3098 Merritt Avenue (Ward 5)
Corporate Report dated June 6, 2017 from the Commissioner of Community Services:

RECOMMENDATION
HAC-0054-2017

That the property at 3098 Merritt Avenue, which is listed on the City's Heritage Register, is not worthy of heritage designation, and consequently, that the owner's request to

demolish proceed through the applicable process.

APPROVED (Councillor C. Parrish)

7.5. Request to Demolish a Structure on a Heritage Listed Property: 1695 Dundas Street West (Ward 6)

Corporate Report dated June 14, 2017 from the Commissioner of Community Services:

RECOMMENDATION

HAC-0055-2017

That the temporary washroom at 1695 Dundas Street West, Erindale Park, which is listed on the City's Heritage Register, is not worthy of heritage designation, and consequently, that the owner's request to demolish proceed through the applicable process.

APPROVED (R. Mateljan)

7.6. An information report on the removal of the heritage properties located on Clarkson Road North and a review of the Heritage Permit process.

Corporate Report dated June 15, 2017 from the Commissioner of Community Services:

RECOMMENDATION

HAC-0056-2017

That the report from the Commissioner of Community Services dated June 15, 2017, on the removal of heritage properties located on Clarkson Road North and a review of the heritage permit process be received for information.

RECEIVED (C. McCuaig)

8. SUBCOMMITTEE UPDATES

8.1. Heritage Designation Sub-Committee – Nil.

8.2. Public Awareness Sub-Committee – Nil.

9. INFORMATION ITEMS

Update on the 2017 Ontario Heritage Conference

Mr. McCuaig and Mr. Mateljan provided an update of the 2017 Ontario Heritage Conference they attended from June 8th to the 10th. They spoke of looking at heritage conservation strategically and in a more utopian manner rather than just the

preservation of a structure. Mr. McCuaig noted that he has emailed a detailed update to members of the Committee.

RECOMMENDATION

HAC-0057-2017

That the update from Cameron McCuaig and Rick Matejlan, Citizen Members, with respect to the 2017 Ontario Heritage Conference they attended from June 8 to 10, 2017, be received.

RECEIVED (R. Cutmore)

10. OTHER BUSINESS

Ms. Stolarz spoke to the impact that a proposed 7 storey condominium known as EV Royale Condominiums located at 1646 Dundas Street West will have on the neighbouring heritage designated Erindale Community Hall located at 620 Dundas Street.

At this point, Mr. Mateljan noted that he had a conflict with respect to this matter and left the meeting.

Ms. Stolarz said the Erindale community is against this development and is concerned that it will change the landscape. She asked if there is anything that can be done to prevent the development from going forward. Ms. Nin Hernandez said that as the current site had a building listed on the Heritage Register, a demolition permit will be required. Mark Warrack, Manager, Culture and Heritage Planning, suggested that the proponent be requested to make a deputation at the September Heritage Advisory Committee meeting. The Committee gave direction accordingly.

RECOMMENDATION

HAC-0058-2017

That the proponents of the EV Royale Condominiums to be located at 1646 Dundas Street West, a property listed on the City's Heritage Register, and which is adjacent to Erindale Community Hall, a designated property under the *Ontario Heritage Act*, present their proposal to the Heritage Advisory Committee at its September 5, 2017 Meeting.

APPROVED (M. Stolarz)

Mr. Mateljan returned to the meeting.

11. DATE OF NEXT MEETING - September 5, 2017

12. ADJOURNMENT - 10:58am

DRAFT

City of Mississauga
Corporate Report



Date: 2017/08/02

To: Chair and Members of Heritage Advisory Committee

From: Paul Mitcham, P. Eng, MBA, Commissioner of
 Community Services

Originator's files:

Meeting date:
 2017/09/05

Subject

Request to Alter a Heritage Designated Property: 7089 Second Line West (Ward 11)

Recommendation

That the request to alter the property at 7089 Second Line West, as per the attached Heritage Impact Assessment be approved with the following conditions:

- 1) That the garage height be reduced to comply with the Zoning by-law
- 2) That the garage width be reduced so that the driveway width does not exceed six metres, the typical width of a two car garage
- 3) That final building permit drawings be submitted to Heritage Planning noting all material information, including window materials
- 4) That if any changes result from other City review and approval requirements such as but not limited to building permit, committee of adjustment or site plan approval, a new heritage permit may be required. The applicant is required to contact heritage planning at that time to review the changes prior to obtaining other approvals and commencing construction
- 5) That the stone facing be eliminated
- 6) That the awning on the front window on the north section be eliminated
- 7) That the sidelights on either side of the front door on the front elevation be reduced to one single pane column on each side
- 8) That the awning over the main entrance be revised to a pitched roof over the porch

Report Highlights

- Proposal for new house, which is intended to recall assembly of rural buildings, on vacant lot in Meadowvale Village Heritage Conservation District (HCD)
- Requires several variances from Zoning by-law, which was designed to align with revised 2014 HCD plan

- Due to unique context at end of the village and property constraints, recommend approval with conditions relating to reducing massing of garage and architectural tweaks

Background

The subject property is designated under Part V of the *Ontario Heritage Act* as it forms part of the Meadowvale Village Heritage Conservation District (HCD). Changes to the property are subject to the Meadowvale Village HCD Plan, 2014 and substantive changes identified in said plan require a heritage permit. The subject proposal is for a new dwelling. A Heritage Impact Study, by Strickland Mateljan Design + Architecture, outlines the proposal. It is attached as Appendix 1. The proposal is also subject to other City approvals such as, but not limited to, Site Plan approval, Committee of Adjustment and a building permit.

Comments

The proposal is for a two storey house, detached garage and pool. As per Strickland Mateljan: “The premise of the house design is that it is intended to recall an assembly of buildings typical of a rural farm development.” There is a two story “element [...] intended to recall a rural Ontario barn,” “a one storey element of more refined detailing intended to recall a residential component,” and a garage “intended to recall an agricultural outbuilding.” They are all “visually connected” by facing a common “courtyard-like feature, [...] the driveway and pedestrian access to the home.”

Six variances from the Zoning by-law have been noted through the site plan process. They are attached as Appendix 2. It is important to note that the Zoning by-law was designed to align with the vision of the 2014 revision of the Meadowvale Village Heritage Conservation District Plan.

The HCD Plan outlines a number of criteria upon which to evaluate a heritage permit application. These include the following:

- Impact to individual heritage property attributes;
- Impact to the HCD’s form, scale, density and character;
- Impact to the immediate streetscapes;
- Impact to abutting properties;
- Visibility from the public realm;
- Degree of change to existing lot grade; and
- Quality of proposal, including but not limited to:
 - Compliance to Design Guidelines
 - Compliance to applicable City by-laws
 - Retention, restoration and reuse of original materials

Each of these criteria will be examined below.

Criteria	Evaluation
Impact to individual heritage property attributes	<p>The property formed part of 7079 Second Line West when the 2014 Meadowvale Village HCD plan was adopted. The open space noted for 7079 Second Line West would be the applicable heritage attribute. Although a new dwelling and garage are proposed, there is still open space on the property. The property was severed in 2015.</p>
Impact to the HCD's form, scale, density and character	<p>General heritage attributes of note include:</p> <ul style="list-style-type: none"> • A consistency of building types, modest in architectural detail, vernacular style and size, reflecting the nineteenth century development of a milling village. • Later twentieth century residential styles that are compatible with the district character from a scale, materiality and massing perspective. • Structures of compatible size, shape, form and style, many of which are modest historical residences, contribute to the overall character of the Village <p>The proposed infill is relatively simple in shape, form, style and materiality. It is also modest in architectural detail. The size and scale are somewhat concerning. The height and gross floor area exceeds that allowed by the Zoning by-law. However, the context here is unique, at the end of the village on the east side of Second Line West. Because of this, and the fact that most of the bulk and height is at the rear of the property, an exception may be made. To assist in having the detached garage read as a secondary outbuilding it should be made smaller to reduce the massing, which is at the front of the property.</p>
Impact to the immediate streetscapes	<p>The HCD Plan's "Heritage Conservation Context" (Part 2) notes that: "The positioning of various modest sized structures on the lot differs throughout the Village. This is a characteristic of the development of this rural community over time, as opposed to a more urban, standardized and conventional setback."</p> <p>The proposed house is closer to the street than permitted by the Zoning by-law. However, as it is the last house in the district on the east side of Second Line West, and as per the characteristic varied positioning of houses, noted above, the concern is limited to the variance requirement.</p>

Impact to abutting properties	Only parts of the proposed dwelling and garage are close to the adjoining properties on either side. There is still a lot of visual separation between the properties. However, reducing the impact of the garage as a small secondary structure would assist in this regard.
Visibility from the public realm	The proposal is visible from Second Line West, with the garage at the front of the property.
Degree of change to existing lot grade	Changes to lot grade are minimal.
Compliance to Design Guidelines	The proposal's siting on the lot retains a sense of open space and is oriented to the street in a traditional manner. The proposal is reflective of the HCD's simplicity yet remains an expression of its own era. Wood windows and wood siding are proposed. Permeable paving is proposed for the driveway. The garage is detached; however it is not set back from the front façade due to property constraints.
Compliance to applicable City by-laws	The application is being vetted through the site plan process and will require variances, a pool permit and a building permit at minimum. Pool fencing has not been included in the proposal. It should comply with the design guidelines and is subject to a clearance to alter at minimum.
Retention, restoration and reuse of original materials	N/A

There is concern with the proposed garage. Section 4.2.3.2 of the plan states that:

"Outbuildings, including garages and greenhouses, should be detached and located at the rear, or on an inconspicuous side of the building, and be limited in size and scale to complement the main structure and neighbouring properties." Section 4.2.4.2 of the plan states that: "Garages should be designed in a style that reflects the simplicity and utilitarian use of a secondary outbuilding."

Due to the vast dripline of the tree at the southeast corner of the property, the garage cannot be set back further. However, in attempts to minimize the appearance of the garage, it should be reduced so that the height does not exceed the Zoning by-law and the width of the driveway does not exceed six metres, the typical width of a two car garage.

Since the Site Plan application, Committee of Adjustment application and building permit applications are outstanding to be resolved, other issues and confirmation of variances cannot be provided at this time by other departments. The Meadowvale Village Heritage Conservation

District Plan is supported by current zoning by-law provisions for the area. Therefore, the proposed may be approved conditionally only with the caveat that a new heritage permit application will be required if changes result from the review of other departments.

The Meadowvale Village Subcommittee endorsed the recommendation with conditions 1 thru 4 and added conditions 5 thru 8 on August 1, 2017. These conditions are supported by staff.

Financial Impact

There is no financial impact.

Conclusion

The owner of the subject property has applied to construct a house on this vacant lot. The proposal includes three simple components, including a garage at the front of the property, and a pool at the rear. There are some concerns with the massing of the dwelling, in particular the garage, which should have a more secondary appearance to comply with the Meadowvale Village HCD plan. The proposal should be approved with the conditions outlined at the beginning of this memorandum, which include minimizing the garage and abutting driveway.

Attachments

Appendix 1: Heritage Impact Study, Strickland Mateljan Design + Architecture

Appendix 2: Zoning By-law Variances



Paul Mitcham, P. Eng, MBA, Commissioner of Community Services

Prepared by: P. Wubbenhorst, Senior Heritage Coordinator

JULY, 2017

*HERITAGE IMPACT STUDY
IMPACT OF PROPOSED DEVELOPMENT
7089 SECOND LINE W., MISSISSAUGA*



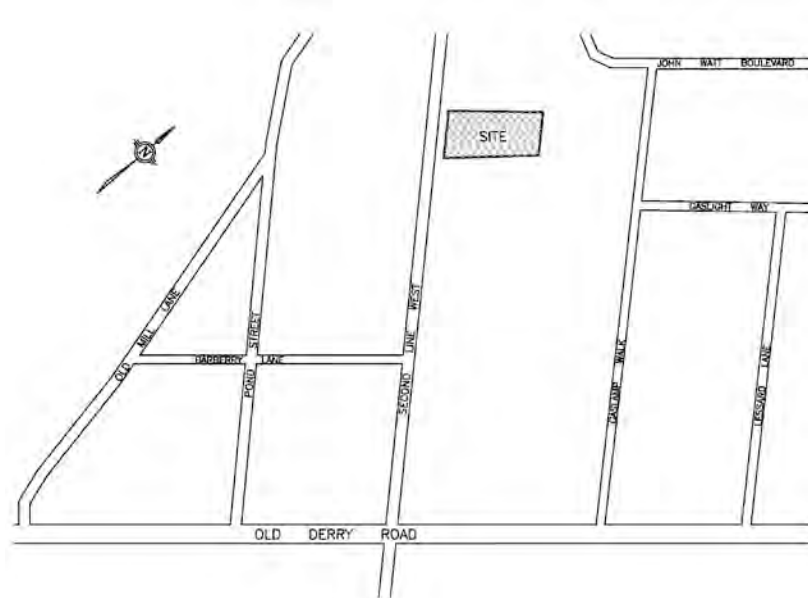
Overview:

This report is prepared to address the proposed development of the property at 7089 Second Line W., Mississauga, ON. This property is presently vacant, having been severed from the neighbouring 7079 Second Line W. The owners wish to develop this as a new single family residence.

Rick Mateljan of Strickland Mateljan Design Associates Ltd. was engaged by the property owner to comment on an original design by David Small Designs and to complete a Heritage Impact Study to assess the impact of this development.

A Chain of Title search was performed by Stephen Nott Conveyancing Services.¹

Key map:



Meadowvale Village - Overview:

Meadowvale Village was first settled in 1819 when 26 United Empire Loyalist families emigrated from New York State and took advantage of government land grants in this area. The land was at that time covered by pine forest but the settlers quickly understood the agricultural promise of the land and the community prospered. By the 1850's there were several mills, two hotels, a wagon shop, foundry and a school.²

¹ In some cases the dates in recorded histories vary from those in the title search document – where there is a conflict the title search dates are used

² A Heritage Tour – Meadowvale Village (Heritage Mississauga)(pamphlet)

The village retained its character and many of its original buildings through the 20th century. In 1980, in the face of a proposal to widen Derry Rd. West, demolish some original buildings and irreparably change the character of the community, local residents succeeded in having this designated Ontario's first Heritage Conservation District.

Terms of Reference

The City required terms of reference are as follows:

1. A detailed site history to include a listing of owners from the Land Registry Office, and a history of the site use(s). However, please note that due to the Freedom of Information and Protection of Privacy Act, current property owner information must not be included. As such, Heritage Planning will request that current property owner personal information be redacted to ensure the reports comply with the Act.

2. A complete listing and full written description of all existing structures, natural or man-made, on the property. Specific mention must be made of all the heritage resources on the subject property which include, but are not limited to: structures, buildings, building elements (like fences and gates), building materials, architectural and interior finishes, natural heritage elements, landscaping, and archaeological resources. The description will also include a chronological history of the structure(s) developments, such as additions, removals, conversions, alterations etc.

The report will include a clear statement of the conclusions regarding the significance and heritage attributes of the cultural heritage resource.

A location map must be provided, with indications of existing land use, zoning, as well as the zoning and land use of adjacent properties.

3. Documentation of the existing conditions related to the heritage resource will include:

-Current legible internal photographs, external photographs from each elevation.

Please note that due to the Freedom of Information and Protection of Privacy Act, photographs should not contain people or highlight personal possessions. The purpose of the photographs is to capture architectural features and building materials.

-Measured drawings, including elevations, floor plans, and a site plan or survey, at an appropriate scale for the given application, indicating the context in which the heritage resource is situated.

-Historical photos, drawings, or other archival material that may be available or relevant.

The applicant must provide a description of all relevant municipal or agency requirements which will be applied to the subject property, and when implemented may supplement, supersede and/or affect the conservation of heritage resources (i.e. Building Code requirements, Zoning requirements, Transportation and Works requirements.)

4. An outline of the proposed development, its context and how it will impact the heritage resource and neighbouring properties will be provided. This may include such issues as the pattern of lots, roadways, setbacks, massing, relationship to natural and built heritage features, recommended building materials, etc. The outline should address the influence of the development on the setting, character and use of lands on the subject property and adjacent lands. If the property forms part of a Heritage Conservation District, the proposal must be analysed in terms of its compliance with the Heritage Conservation District Plan.

Note: An architectural drawing indicating the subject property streetscape with properties to either side of the subject lands must be provided. The purpose of this drawing is to provide a schematic view of how the new construction is oriented and integrates with the adjacent properties from a streetscape perspective. The drawing must therefore show, within the limits of defined property lines, an outline of the building mass of the subject property and the existing neighbouring properties, along with significant trees or any

other landscape or landform features. A composite photograph may accomplish the same purpose with a schematic of the proposed building drawn in.

5. Full architectural drawings, by a licensed architect or accredited architectural designer, showing all four elevations of the proposed development must be included for major alterations and new construction.

6. An assessment of alternative development options and mitigation measures that should be considered in order to avoid or limit the negative impact on the cultural heritage resources. Methods of minimizing or avoiding negative impact on a cultural heritage resource as stated in the Ontario Heritage Tool Kit (InfoSheet #5, Ministry of Culture) include, but are not limited to:

- Alternative development approaches*
- Isolating development and site alteration from the significant built and natural heritage features and vistas*
- Design guidelines that harmonize mass, setback, setting and materials*
- Limiting height and density*
- Allowing only compatible infill and additions*
- Reversible alterations*

These alternate forms of development options presented in the Heritage Impact Assessment must be evaluated and assessed by the heritage consultant writing the report as to the best option to proceed with and the reasons why that particular option has been chosen.

7. A summary of conservation principles and how they will be used must be included. The conservation principles may be found in publications such as: Parks Canada – Standards and Guidelines for the Conservation of Historic Places in Canada; Eight Guiding Principles in the Conservation of Historic Properties, Ontario Ministry of Culture. (Both publications are available online.)

8. Proposed demolition/alterations must be explained as to the loss of cultural heritage value interests in the site and the impact on the streetscape and sense of place.

9. When a property cannot be conserved, alternatives will be considered for salvage mitigation. Only when other options can be demonstrated not to be viable will options such as relocation, ruinification, or symbolic conservation be considered.

Relocation of a heritage resource may indicate a move within or beyond the subject property. The appropriate context of the resource must be considered in relocation. Ruinification allows for the exterior only of a structure to be maintained on a site. Symbolic conservation refers to the recovery of unique heritage resources and incorporating those components into new development, or using a symbolic design method to depict a theme or remembrance of the past.

All recommendations shall be as specific as possible indicating the exact location of the preferred option, site plan, building elevations, materials, landscaping, and any impact on neighbouring properties, if relevant.

Summary Statement and Conservation Recommendations:

The summary should provide a full description of:

- The significance and heritage attributes of the cultural heritage resource, including the reference to a listing on the Heritage Register, or designation by-law if it is applicable*
- The identification of any impact that the proposed development will have on the cultural heritage resource*

- An explanation of what conservation or mitigative measures, or alternative development, or site alteration approaches are recommended
- Clarification as to why conservation or mitigative measures, or alternative development or site alteration approaches are not appropriate

Mandatory Recommendation:

The consultant must write a recommendation as to whether the subject property is worthy of heritage designation in accordance with the heritage designation criteria per Regulation 9/06, Ontario Heritage Act. Should the consultant not support heritage designation then it must be clearly stated as to why the subject property does not meet the criteria as stated in Regulation 9/06.

The following questions must be answered in the final recommendation of the report:

-Does the property meet the criteria for heritage designation under the Ontario Regulation 9/06, Ontario Heritage Act?

-If the subject property does not meet the criteria for heritage designation then it must be clearly stated as to why it does not

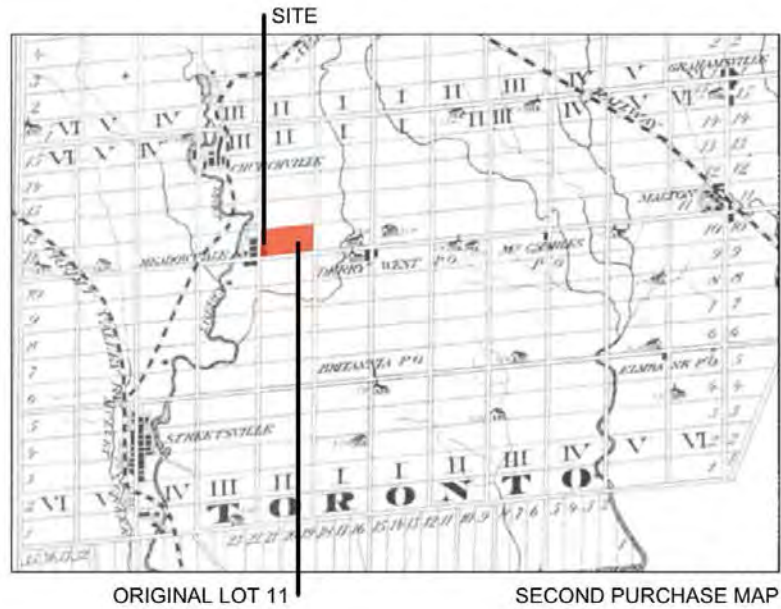
-Regardless of the failure to meet criteria for heritage designation, does the property warrant conservation as per the definition in the Provincial Policy Statement:

Conserved: means the identification, protection, use and/or management of cultural heritage and archaeological resources in such a way that their heritage values, attributes and integrity are retained. This may be addressed through a conservation plan or heritage impact assessment.

Please note that failure to provide a clear recommendation as per the significance and direction of the identified cultural heritage resource will result in the rejection of the Heritage Impact Assessment.

Site History:

7089 Second Line W. is part of the original Lot 11, Concession 2, west of Hurontario Street that was created by the Second Purchase of Land from the Mississauga First Nation in 1818 and surveyed by Timothy Street and Richard Bristol. Lot 11, Concession 2 is a 200 acre parcel that is bounded by modern day Second Line West and McLaughlin Road to the west and east, and Old Derry Rd. to the south. The northern boundary is no longer recognizable but it is approximately half-way between Old Derry Rd. and Highway 407.



The history of Meadowvale Village begins with an original group of 26 families that settled this area under the leadership of United Empire Loyalist John Beatty. Beatty, born in Ireland but living in New York City, in 1817 petitioned the Lieutenant-Governor of Upper Canada for a grant of land for himself

and his community. His efforts were successful and in 1818 5,000 acres in Toronto Township were set aside “for the reception of about 150 families . . . in the rear of Toronto Township”³.

Beatty’s group left New York by caravan on May 1, 1819. They reached Toronto (then York) on May 28th and stayed for a while until their land grants were approved and then they headed west to what was known at the time as Toronto Township. Beatty’s grant was all of Lots 11 and 12, Concession 3, West of Hurontario Street. This comprised about 400 acres and consisted of the area now bounded by Old Derry Rd., Second Line West, Creditview Rd. and Highway 407.

The law at the time required that within 18 months of taking a claim of land the recipient had to erect a dwelling on the property, clear and fence 5 acres of land and clear the roadway in front of the property. The land was covered with white pine forest and the soil was suitable for agriculture and the early farmers were successful. The situation changed, however, with the arrival in the community of Francis Silverthorne. Also of United Empire Loyalist stock, Silverthorne set about to create a lumber and grist mill operation using power from the Credit River. By 1845 he had the mill in operation. It was known as Meadowvale Mills⁴.

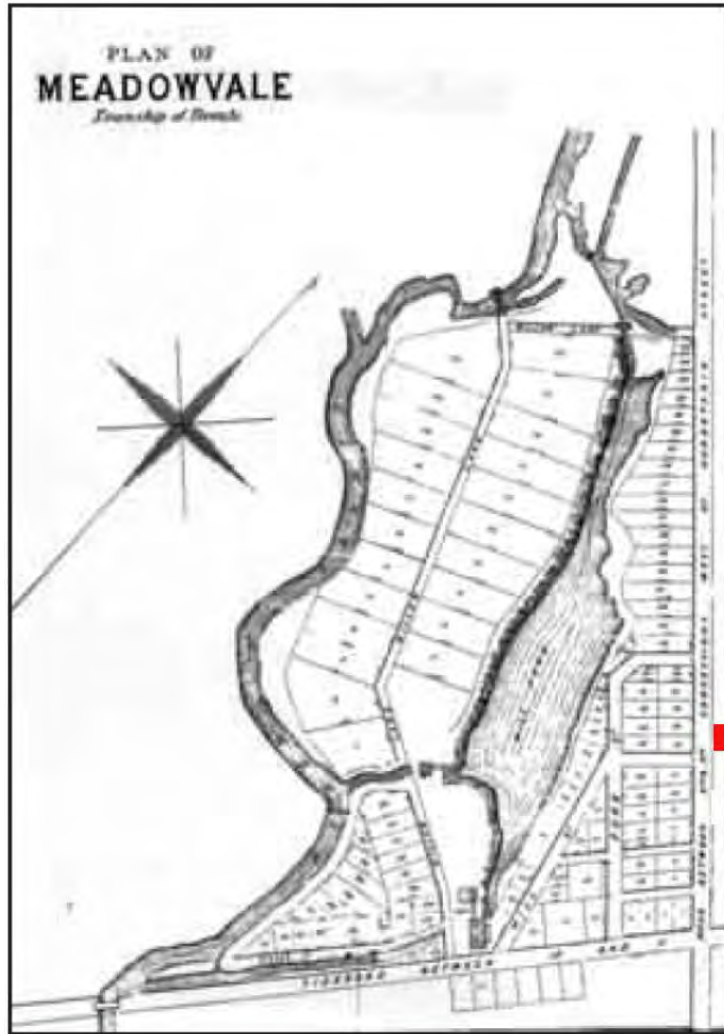


Meadowvale Mills c. 1930

³ Surveyor-General Thomas Rideout to Lieutenant-Governor Peregrine Maitland, quoted in Hicks, Kathleen, Meadowvale: Mills to Millennium, Chapter 3

⁴ Hicks, xvii

Silverthorne continued to increase his land holdings locally and built houses for his workers and a store and by 1856 the beginning of a community was sufficiently established that he had surveyor Arthur Bristow draw a plan for a village that he wanted to create. The Silverthorne Plan of 1856 laid out what is now known as the Village of Meadowvale.



Silverthorne's Plan of 1856. 7089 Second Line W. is indicated by the red box, just off the plan margin

In 1861 the Gooderham family of Toronto acquired the Silverthorne milling operations and in 1865 they purchased all of Silverthorne's land holdings as well as all of Lot 11, Concession 2 WHS (which includes the present 7089 Second Line West), giving them considerable land holdings surrounding the community. The Gooderhams were prominent in the milling and alcohol industries and their coming to Meadowvale inaugurated an era of prosperity in the Village.⁵

In 1870 the Gooderham family built a 10,000 sq. ft. Italianate mansion on Lot 11, Concession 2 WHS. This home, the most significant structure in Meadowvale and now a Part IV designated building, was

⁵ Hicks, p.64

sold by the family in 1884 and has gone through a variety of owners and uses.⁶ Presently it functions as the Meadowvale Elementary Campus of Rotherglen School.



Gooderham Mansion c. 1900⁷

The subject site at 7089 Second Line W. was part of the original west half of Lot 11 granted by the Crown to Hugh Bell in 1851. The property at that time comprised 100 acres. In 1865 Bell sold it in its entirety to William Gooderham for the sum of \$3300. Bell had mortgaged the property twice, in 1859 for \$700 and in 1863 for a further \$900 so presumably there were some improvements made to the property during this time. The property was leased by William to George Gooderham in 1870 for the sum of \$800 per year, then sold by William to Charles Horace Gooderham in 1876. The price of that transaction was not recorded. It was still a 100 acre parcel at that time. In 1884 the property was transferred to Charles' cousin George Gooderham and shortly thereafter a 6 acre parcel comprising the Gooderham mansion lands was divided off at the south-west corner of the property and sold to Angelique H. Douglas. The remaining lands, now 94 acres, were sold by George Gooderham to Steven George South in 1910. The purchase price was \$11,000.⁸ This ended the Gooderham ownership of the property and their association with Meadowvale Village.

In 1918 or 1919 the South family built the 2 ½ -storey brick Edwardian house that still stands at 7059 Second Line W.

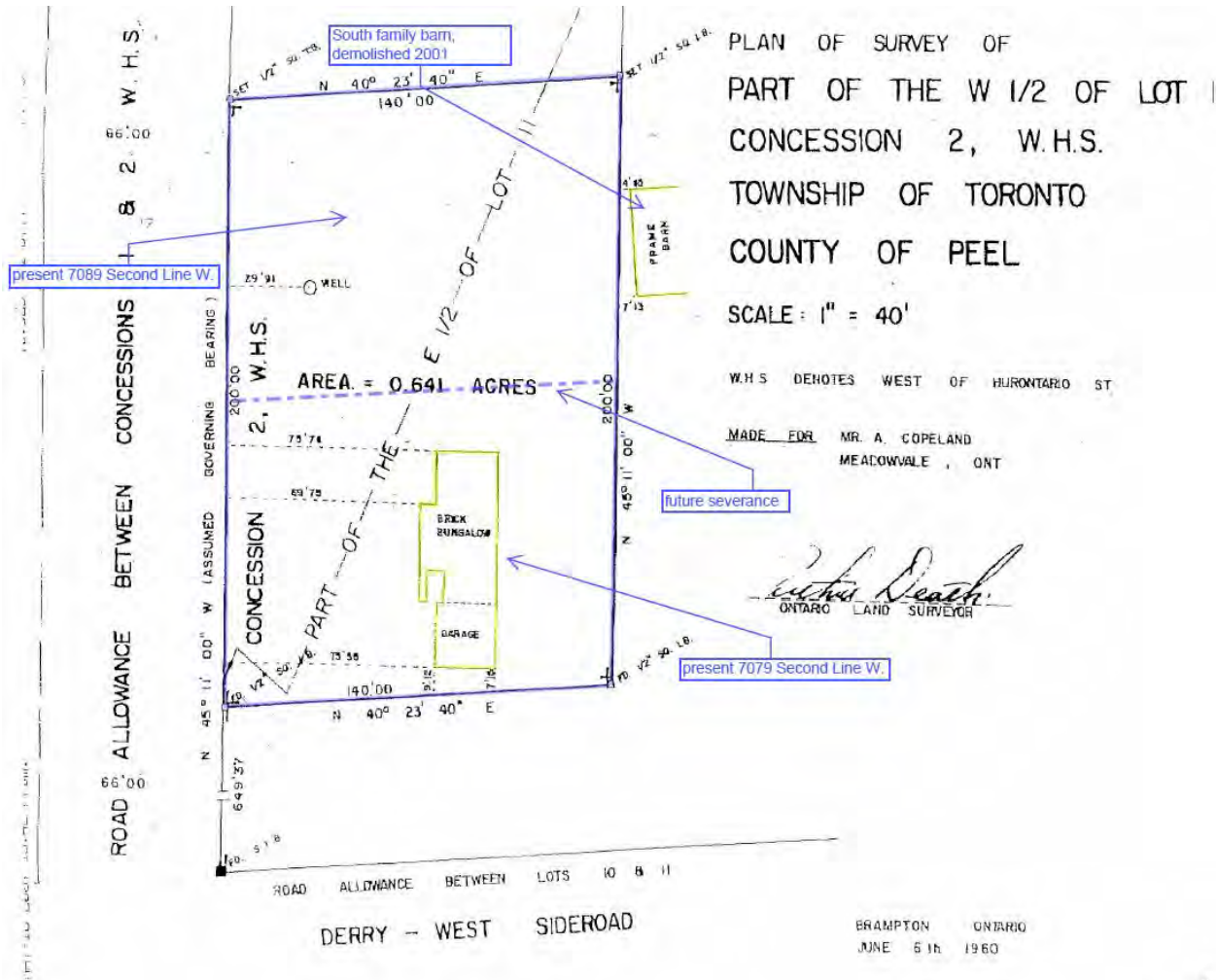
Steven George South died about 1936 and the property passed to his son, Harold. During the 1950's and '60's Harold divided and sold off parts of the property, first to the Meadowvale Development Company Ltd., then to individual purchasers. In 1960 he severed a parcel 200' wide x 140' deep just to the north of his residence for his daughter Francis and her husband Hugh Copeland. The original survey from that date shows a 1-storey brick house already standing on the property. This is the present 7079

⁶ Hicks, p.76

⁷ Heritage Mississauga Photo archive

⁸ Hicks, p. 109

Second Line W. The size of the lot and the location of the house makes obvious that there was an intention that another lot could be created north of this house.



1960 Survey showing creation of 7079 and future 7089 Second Line W.

In 2015 the present owners divided this property to create two lots; the present 7079 Second Line W. and a new property now known as 7089 Second Line W.

Existing conditions on-site:

The site is north of Old Derry Rd. West on the east side of Second Line West.



Site from street looking north. White fence is northerly property boundary. Note modern subdivision behind and to north



Site from street looking south. Note 7079 Second Line W. (1960 construction) at right.

The subject property is parallelogram-shaped approx. 30m wide x 42m deep. The site is generally flat with a +/- 1m fall from east to west and further +/- 1m fall from the westerly property line to the street.

There are some major trees around the perimeter of the site and one major tree at the south-east corner but it is otherwise unremarkable. It is notable as one of the few vacant lots extant in the Village.



Air Photo showing site outlined in red – note former Gooderham mansion at right, newer subdivisions at top right, Meadowvale village at lower left

Site Context:

The site is located on the east side of Second Line W., north of Old Derry Rd. This is at the north-easterly boundary of the Heritage Conservation District and a location of lesser prominence in the Village. To the north and east are newer homes on John Watt Blvd. and White Pine Crt., part of a 1990's subdivision built in faux-heritage style. To the south is the one-storey brick ranch style bungalow that was constructed in 1960 for Francis (nee South) and Hugh Copeland.⁹ To the west, across Second Line W., is the core of the Village of Meadowvale.

This site has cultural heritage interest because of its relationship to the Gooderham family and their contribution to Meadowvale. Prior to that it was considered to be outside of the village – both Silverthorne's Map of Meadowvale and the 1856 Bristow Survey of Meadowvale show Second Line W. as the easterly boundary of the Village and do not include the properties along the east side of the road.

⁹ Hicks, p.110



Context facing north on Second Line W. Site is at right



Context facing South on Second Line W. Site is at left

Analysis:

The City of Mississauga Heritage Register statement of Architectural Significance for 7089 Second Line W. records as follows:

In 2016, this property was severed from the adjacent property, located at 7079 Second Line West. It is significant for its historic association with the Gooderham and South families

The Meadowvale Village HCD Property Inventory (2014) pre-dates the severance of the property so there is no direct mention of it but it is referred to in the description of 7079 Second Line W.:

*The property at 7079 Second Line West has an historic association with the Gooderham and South families. The residential structure has a compatible architectural scale and form to the Village character. The context is significant in that the house location on the lot has **retained an open green space to the west and north facades** of the building to the roadway in keeping with the Village nineteenth century character of small, modest structures on large lots.*

The predominant cultural heritage value of this site is then:

- the relationship to the Gooderham and South families
- the character of open space that it creates

Proposal:

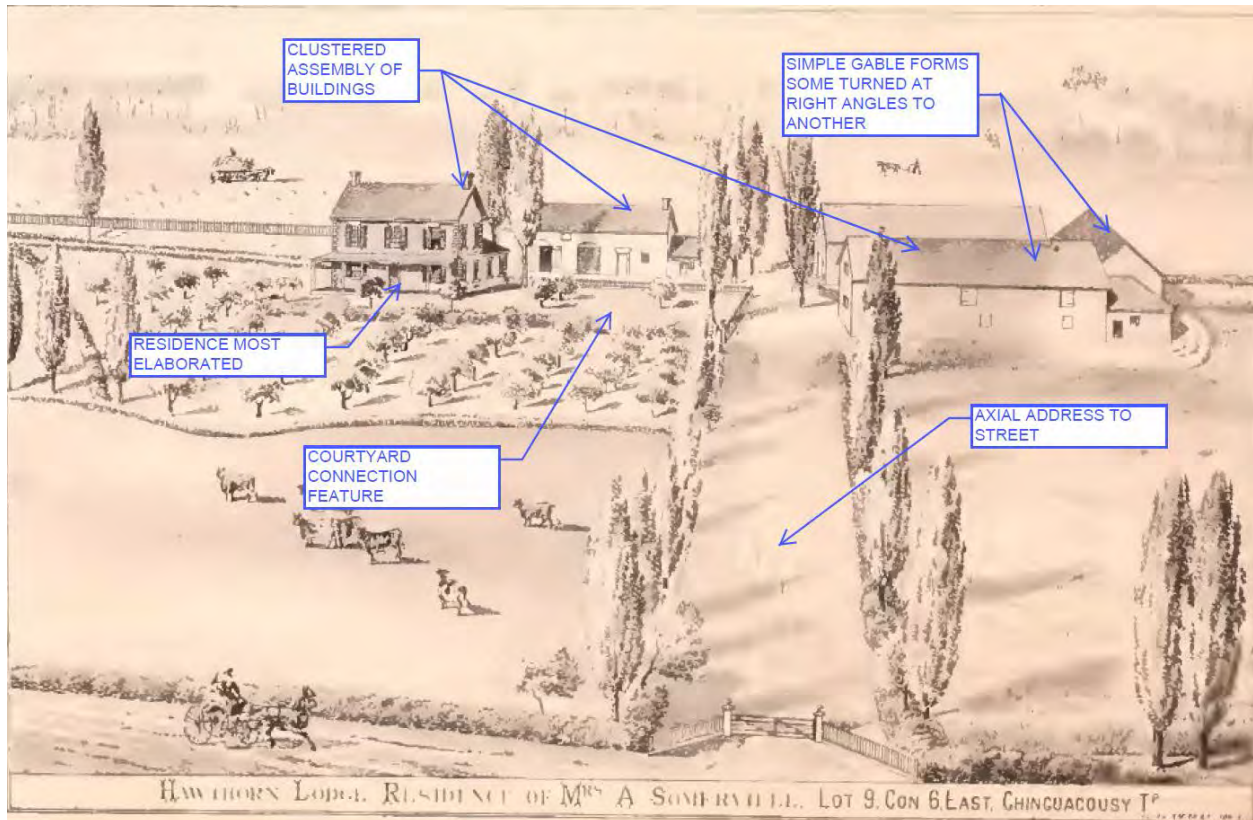
The proposal is to construct a new house 2-storey house with detached garage on this site. The house is approx. 3,800 sq. ft. in gross floor area with a detached garage approx. 500 sq. ft. located in the southerly side yard.

The premise of the house design is that it is intended to recall an assembly of buildings typical of a rural farm development. There are three identifiable components to the design – the rearmost 2-storey element of very simple massing and detailing intended to recall a rural Ontario barn – attached to this but visually separate a one-storey element of more refined detailing intended to recall a residential component – and visually and physically detached from these a garage intended to recall an agricultural outbuilding such as would have been used for equipment storage. These distinct elements are visually connected by the fact that they all face a common courtyard-like feature, which in this case serves as the driveway and pedestrian access to the home.



Artist rendering of proposed new residence and garage

The choice of finishes and colours has been designed to further this agricultural theme – traditional barn red for the rear two-storey element and for the garage and deep green for the residential element. A simple corrugated metal roof is common to all elements as is classic white trim. These are unifying elements that tie together the various components and create a cohesive design.



Typical arrangement of farm and residential buildings from the Atlas of Peel County

The proposal is very much an interpretation of a classic southern Ontario rural landscape as evidenced by an analysis of a typical farm arrangement depicted in the Atlas of Peel County. Many of the fundamental elements depicted in this scene are present in the proposal, including the arrangement of simple, gable formed buildings with roofs randomly parallel and perpendicular to the street, a simple axial driveway approach, residential building more architecturally elaborated than the other buildings, courtyard common to all buildings, etc.

The intent with this proposal is not to create a false narrative by pretending that these are historic buildings but rather to interpret them in a sophisticated way to recall a simple, rural development.

New home designs that reflect agricultural themes are common in rural communities in Ontario and the United States. See Appendix for some typical examples.

Zoning By-Law and other Municipal considerations:

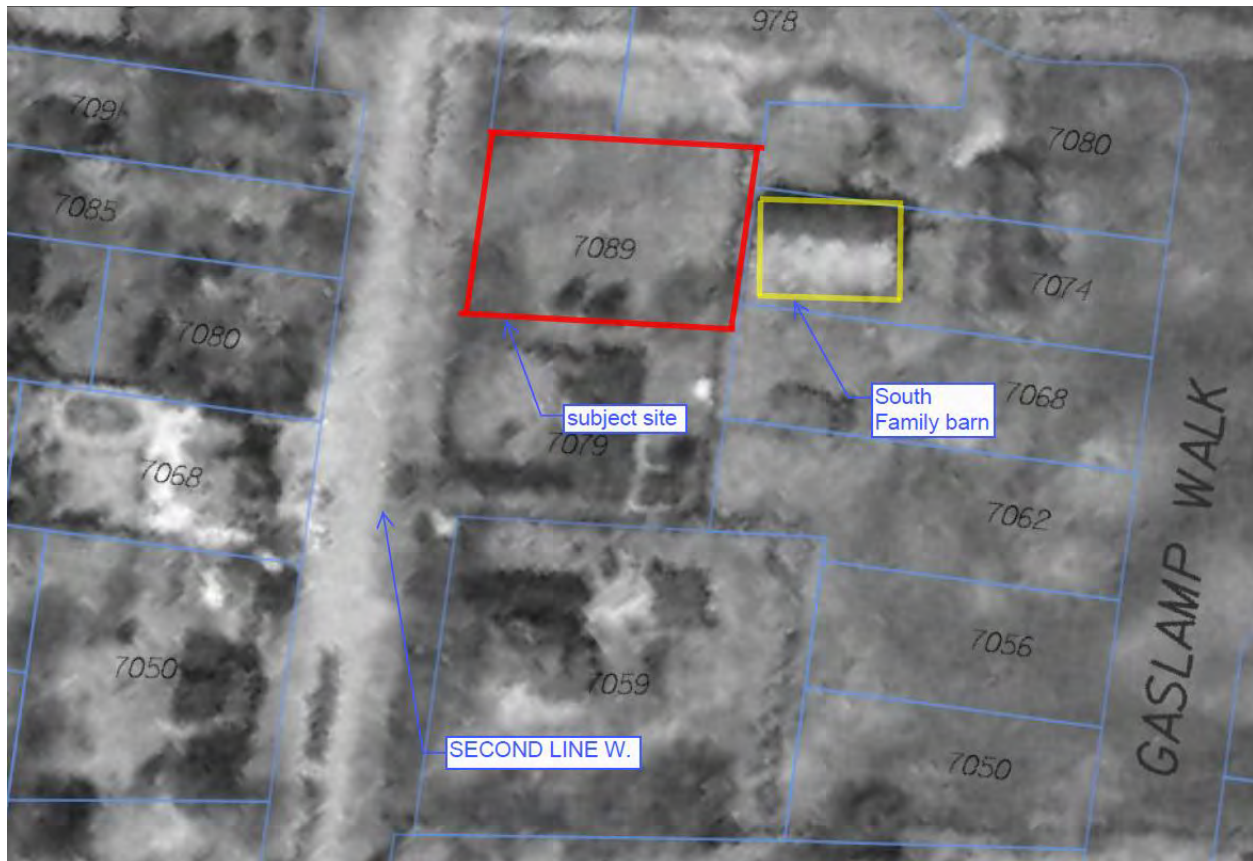
The subject property is zoned R1-32 under the City Zoning By-law 0225-2007. This is a fairly restrictive by-law that is specific to the Old Meadowvale Village area only.

The proposal meets the applicable zoning by-law with the exception of minor variances required in respect of gross floor area, building height (for the rear-most part of the building only), combined width of side yard setback and driveway width.

There are no approvals required from the Credit Valley Conservation Authority or any other authority having jurisdiction.

South Family Barn:

The proposal draws significant inspiration from the South Family barn that once stood just west of the subject site.



1992 Air photo showing subject site and location of former South Family barn (demolished 2001)

The South Family barn has an interesting history. It was purchased from Wesley Watson of Lakeview and transported by horse and wagon to Meadowvale, where it was erected on a new foundation of moulded concrete block.¹⁰ The date of this is unclear. The barn stood in this location until 2001 when it was demolished to make way for the new subdivision along Gaslamp Walk.

¹⁰ Hicks, p. 110



South Family barn - north-west oblique angle (note white fence – this is northerly boundary of the subject property and is still present in contemporary photographs)



7079 Second Line W. and South Family barn in context - likely 1960's photograph

History of Agricultural Landscapes in Meadowvale Village:

As a community with a rich agricultural tradition it is not surprising that a number of farms, barns and agricultural landscapes figure into its history.

Among these are the Steen family farm and barn which survived until about 1984¹¹, the Gooderham Farm, the McCracken barn, Weylie barn, the Henry Brown barn¹², the Simpson Farm (later known as Sanford Farm)¹³, Davidson barn¹⁴, and Silverthorn barn¹⁵.



Simpson Farm (later Sanford Farm) from the Illustrated History of Peel County, 1877

¹¹ Hicks, p. 9

¹² Hicks, p. 22

¹³ Hicks, p. 28

¹⁴ Hicks, p. 31

¹⁵ Hicks, p. 35



Sanford Farm



Steen Farm c. 1900



Steen Farm



Gooderham Farm



Weylie Farm

Meadowvale Village Heritage Conservation District Plan:

The proposal meets the intent of the Meadowvale Village Heritage Conservation District Plan (2014), as regards massing, materials, detailing and general design principles (see Appendix).

Standards and Guidelines for the Conservation of Historic Places in Canada:

The proposal meets the intent of the *Standards and Guidelines* as regards alterations in Heritage Conservation Districts (see Appendix).

Conservation Principles¹⁶:

Respect for documentary evidence: the proposal does not involve conservation of an existing heritage resource but documentary evidence was considered as regards the nature and history of agricultural landscapes and farm type buildings in the community

Respect for the original location: not applicable: no re-location of a heritage resource is proposed.

Respect for historic material: not applicable: no repair or replacement of historic material is proposed.

Respect for original fabric: not applicable: no loss of original fabric is proposed.

Reversibility: not applicable: no reversal of this proposal would ever be contemplated.

¹⁶ Ontario Heritage Trust: "Eight Guiding Principles in the Conservation of Heritage Properties"

Legibility: The proposed construction is demonstrably different from the original heritage buildings in the community.

Maintenance: The proposed construction makes use of quality materials that will require no more than regular, expected maintenance.

Alternative Design Options:

This project has been under design for some time and has undergone numerous changes after consultation with members of the community, Heritage Staff and among the project team. The basic principles have remained the same but a number of options for access and parking have been explored and the building has gotten smaller in size and height as the design has evolved. Required zoning by-law variances have also been reduced. The evolved design represents the product of much consultation and evolution and is much changed from the first iteration.

Summary Statement and Conservation Recommendations:

This project is one of the few opportunities in the Village to build a new house where none has existed before. The location is also notable because it is located at the edge of the Heritage Conservation District and abutting a subdivision of much newer and larger homes. As such, the design must be approached from a number of perspectives – as a design that will compliment the Conservation District and adhere to the requirements of the District Plan but not create a false narrative by pretending to be an old building when it is not – and as a design that will create an appropriate transition between the Conservation District and the new residential community.

The proposed design achieves these objectives by taking an iconic Ontario and Meadowvale landscape – a farm property consisting of home, barn and outbuildings – and re-interpreting it to create the design basis for the new building. It clearly does not intend to appear old but equally clearly tries to draw its inspiration from the heritage of the community. The materials, windows, colours and detailing of the proposal equally are inspired by local tradition but are of their own time and do not mimic. By presenting itself as a series of interconnected components it breaks down its building mass and promotes views through the site.

This property of itself possesses limited heritage importance to the community for the reasons previously described – that it has always been vacant, is located on the margins of the Conservation District, was not part of the original Village and was severed off from a building that was itself built in the mid 20th century. As such the development will have no impact on any identifiable heritage resource and no mitigation measures are required.

Mandatory Recommendation:

The property must be evaluated under the criteria for designation under Ontario Regulation 9/06, *Ontario Heritage Act*. This is the part of the Act that allows designation of individual designations (Part IV designations). The criteria area:

1. The property has design value or physical value because it,
 - i. is a rare, unique, representative or early example of a style, type, expression, material or construction method.
 - ii. displays a high degree of craftsmanship or artistic merit, or
 - iii. demonstrates a high degree of technical or scientific achievement.

Analysis: The property is presently vacant and none of the above are applicable. It is in no way unique, rare or representative of high achievement.

2. The property has historical value or associative value because it,
 - i. has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to the community,
 - ii. yields, or has the potential to yield, information that contributes to an understanding of a community or culture, or
 - iii. demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.

Analysis: The property has associations with the Gooderham family, who were significant to the community. This importance is limited in this case because the property at the time they owned it was vacant and part of a larger farm. The South family and their descendants that owned the land in conjunction with the properties to the south were long term residents but of no greater significance to the community than any other resident.

3. The property has contextual value because it,
 - i. is important in defining, maintaining or supporting the character of an area,
 - ii. is physically, functionally, visually or historically linked to its surroundings, or
 - iii. is a landmark.

Analysis: The property is not in a significant location in the community and is in no way a landmark. Because of its location and the fact that it has never been built on it supports the character of the area relatively less than do the majority of houses in the Village.

Conclusion:

The property at 7089 Second Line W. has limited architectural, contextual and historical value and would not be worthy of Part IV designation.

Provincial Policy Statement:

Under the Provincial Policy Statement,

“Conserved: means the identification, protection, use and/or management of cultural heritage and archaeological resources in such a way that their heritage values, attributes and integrity are retained.”

Analysis:

Under this definition, and by virtue of its presence in a Heritage Conservation District, the existing property at 7089 Second Line W. does warrant conservation.

Bibliography:

Hicks, Kathleen A., Meadowvale: Mills to Millineum,
 A Heritage Tour – Meadowvale Village (Heritage Mississauga)(pamphlet)(undated)
 Heritage Mississauga Images database
 City of Mississauga – Historic Images Database
 City of Mississauga – Building Department records
 Directory of the County of Peel 1873-1874
 Websites: as noted

Appendices:

- commentary on Meadowvale Village Heritage Conservation District Plan 2014
- commentary on the Standards and Guidelines for the Conservation of Historic Places in Canada
- images of similar agricultural themed new houses
- proposed building elevations
- proposed site plan
- proposed streetscape
- chain of title

Appendix - Meadowvale Village Heritage Conservation District Plan 2014:

Following is an examination of this proposal against the criteria found in section 4.2.4 of that Plan:

4.2.4.1 Scale and Location

- *New construction should be sited on the lot to retain spatial relationships and a sense of open space between structures and neighbouring properties*

The proposal is designed as three separate elements with space between them. Two of the elements connect via a glass breezeway type connection but this connection is visually minimal. The idea of creating open spaces around the constituent buildings was a major factor in the design.

- *Residential structures should be oriented to the street in a traditional manner*

The front door of the proposed dwelling faces the street in a traditional manner. The garage doors are sideways facing to make them not prominent in the streetscape. The general orientation of the building is traditional.

- *The setback from the street should be a median of neighbouring properties*

There is no neighbouring property to the north. The existing building to the south is set back unusually far from the street. The proposal exceeds the by-law front yard setback requirement but due to the program requirements of the building it was not possible to match the setback of the building to the south.

- *New built garages, or garage replacements, should be fully detached and set back from the front façade*

The proposed garage is fully detached and in the same line as the front wall of the residence. It was not practical to push it further back because of the driveway configuration and because of the existing tree at the south-east corner of the site.

- *The level of a structure's foundation above grade should be kept to a minimum*

The floor level is set low and there is no exposed foundation.

4.2.4.2 Style

- *Style, massing, form, and materials should be subject to the historic pattern of construction throughout the Village*

The proposal draws from forms, massing and materials present in the village or know to have formerly existed.

- *New construction should be reflective of the HCD's simplicity of the vernacular style, but not mimic an architectural style, remaining an expression of its own era*

The proposal seeks to interpret the simplicity and vernacular architecture of the Village in a way that does not attempt to mimic historic architecture but to create its own expression.

- *Garages should be designed in a style that reflects the simplicity and utilitarian use of a secondary outbuilding*

The proposed garage is a simple and utilitarian design that is visually secondary to the residence.

4.2.4.3 Roofline

- *The angle of a roof over 15% will be permitted*

The proposed roof angle is over 15%.

4.2.4.4 Windows and Shutters

- *Windows should be of wood construction and consistent with the design and style of the structure*
- *Double pane windows with muntin dividers are permitted*

A mix of wood double hung and casement windows are proposed. These are simulated divided lite type with muntin dividers on the exterior of the glass pane

- *Wood shutters, functional in their design, will be permitted*

Wood shutters are proposed on the southerly family room doors only. These are the appropriate width for the doors they flank and feature a rolling shutter detail. They are functional in their design.

- *Windows and shutters not in view from the public realm may be constructed of materials other than wood.*

All windows are proposed to be wood.

4.2.4.5 Cladding

- *Exterior cladding of rough cast stucco and/or wood siding will be permitted*

Wood siding and trims are proposed.

4.2.4.6 Topography

- *Existing topography, natural drainage, mature vegetation and large diameter trees should be retained*

No mature trees are proposed to be removed due to development impacts. The existing topography is generally flat except at the entrance to the property and this will be maintained. Natural drainage patterns will be maintained.

- *The alteration to a site's topography or landscape of up to 7% slope, in keeping with the City's Accessibility Standards Regulation, is permitted*

Proposed slopes are less than 7%.

Appendix: Commentary on *Standards and Guidelines for the Conservation of Historic Places in Canada*

The *Standards and Guidelines* deals in only a limited extent to issues concerning the placement of new buildings into existing Cultural Landscapes or Heritage Conservation Districts (the *Standards and Guidelines* views these categories equally).

The relevant sections are:

4.1 Guidelines for Cultural Landscapes, including Heritage Districts:

4.1.3 Land Patterns

Recommended: Designing a new feature when required by a new use that does not obscure, damage or destroy character-defining land patterns, such as locating a new road along the edge of a forest.

The predominant land pattern in the Village are “town” type lots approximately 50’ wide, although there are wide variations in width and depth. The proposal is located on a lot approximately 100’ wide (the lot is already legally in existence and is not the subject of this proposal). The subject lot is consistent with the prevailing lotting pattern in the community and constructing a new residence on this lot will not affect existing character-defining land patterns.

4.1.4 Spatial Organization

Recommended: Designing a new feature when required by a new use that is compatible with the character-defining spatial organization.

The proposal is designed to reflect traditional agricultural spatial organizations of residence and outbuildings.

4.1.5 Visual Relationships

Recommended: Designing a new feature when required by a new use that respects the historic visual relationships in the cultural landscape. This can include matching established proportions and densities, such as maintaining the overall ratio of open space to building mass in an urban heritage district when designing an infill building

The proposal does reflect typical building setbacks, heights and densities prevalent in the community. It requires some Committee of Adjustment variances as regards zoning by-law provisions but these are generally technical in nature and driven by the uniqueness of the design – ie the combined width of setback variance is due to the modular character of the design. The existing built form of the community is very diverse and many existing buildings to meet meet the zoning by-law.

4.1.6 Circulation

Recommended: Designing and installing a new circulation feature, when required by a new use, that is compatible with the heritage value of the historic place, including controlling and limiting new access points and intersections along an historic road.

The Proposal creates one additional 3m residential driveway accessing the existing road. This is an entirely typical condition and will not affect the heritage value of the community.

4.1.7 Ecological Features

Recommended: Introducing a new element, when required by a new use, that does not have a negative impact on the heritage value and condition of the ecological feature.

There are no significant ecological features on the property. The project is designed to respect a large, existing tree at the south-east corner of the site.

4.1.8 Vegetation

Recommended: Introducing new vegetation, when required by a new use, to ensure that the heritage value of the cultural landscape is preserved, including planting a hedge to screen new construction.

The property is well screened by existing major trees along the west (road) and north sides of the property. The proposal includes one additional tree on the north side and two on the west side of the property. No other screening is required.

4.1.9 Landforms

Recommended: Designing a new feature when required by a new use that is compatible with the character-defining landform.

The site is generally flat and rectangular with no significant landforms.

4.1.10 Water Features

Recommended: Designing and installing a new water feature, when required, by a new use in a way that preserves the cultural landscape's heritage value. For example, locating a new retention basin in a secondary or non-character-defining space.

There are no water features proposed.

Appendix – examples of other agricultural themed new houses



Vincent Burin Architects - Connecticut USA



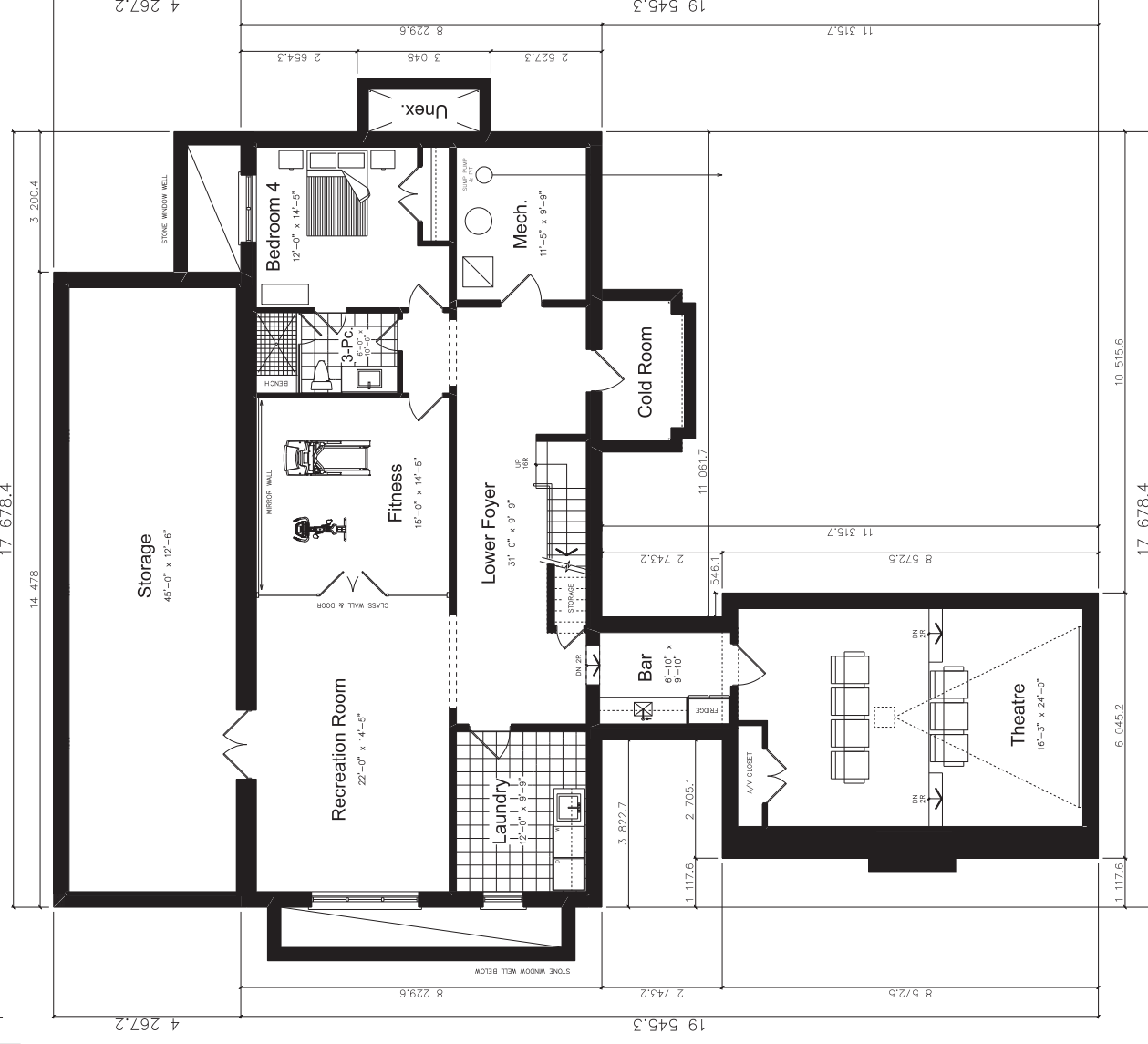
Yankee Post and Beam, New Hampshire USA



Yankee Post and Beam, Massachusetts USA



Yankee Post and Beam, New Hampshire USA



Basement Plan

DO NOT SCALE DRAWINGS

NOTE:

- 1) Contractor to check all dimensions, specifications, etc. on site and shall be responsible for reporting any discrepancies to the engineer and/or designer.
- 2) These plans are to remain the property of the designer and must be returned upon request. These plans must not be used in any other location without the written approval of the designer.
- 3) All works to be in accordance with the **ONTARIO BUILDING CODE**.

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3) All works to be in accordance with the ONTARIO BUILDING CODE.

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Residence
7089 Second Line West

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CITY OF MISSISSAUGA, REGION OF PEEL

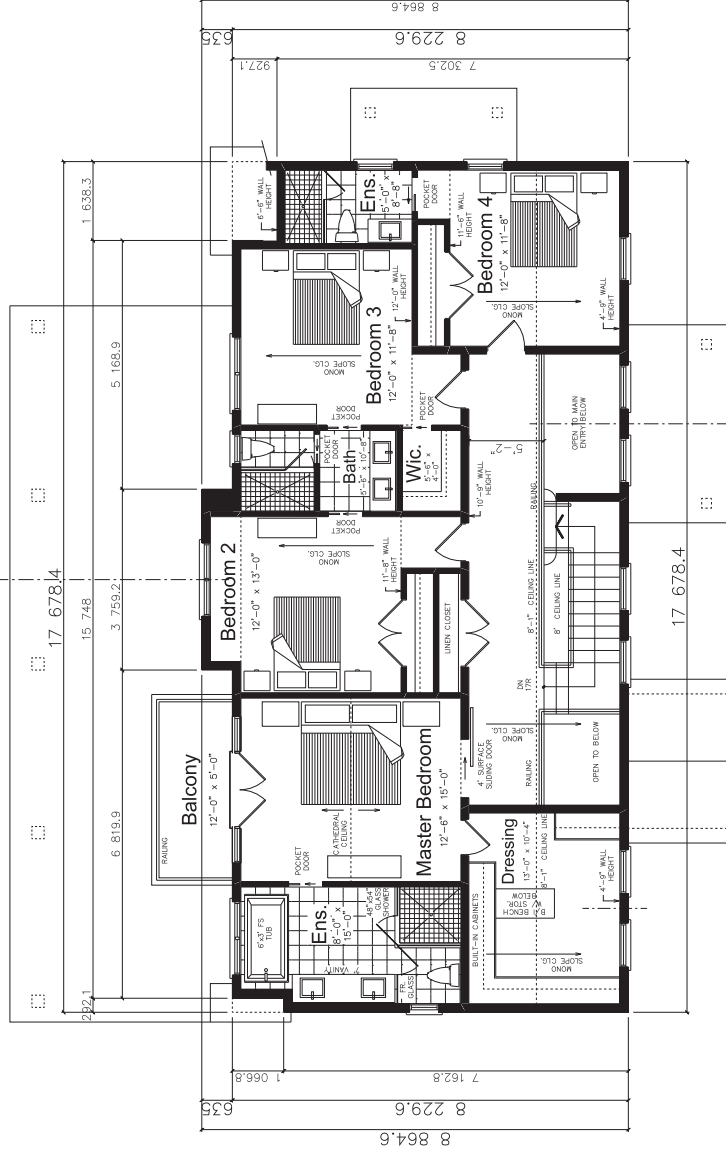
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DO NOT SCALE DRAWINGS

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Residence

Residence
7089 Second Line West

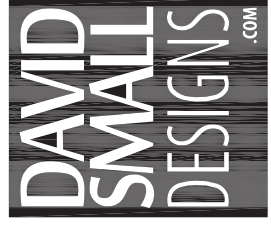
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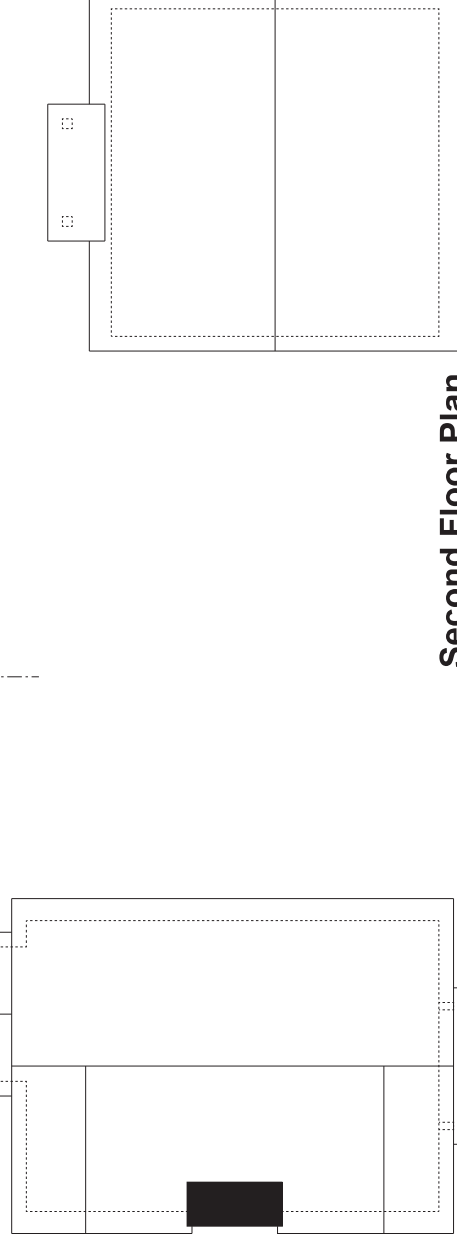
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Second Floor Plan

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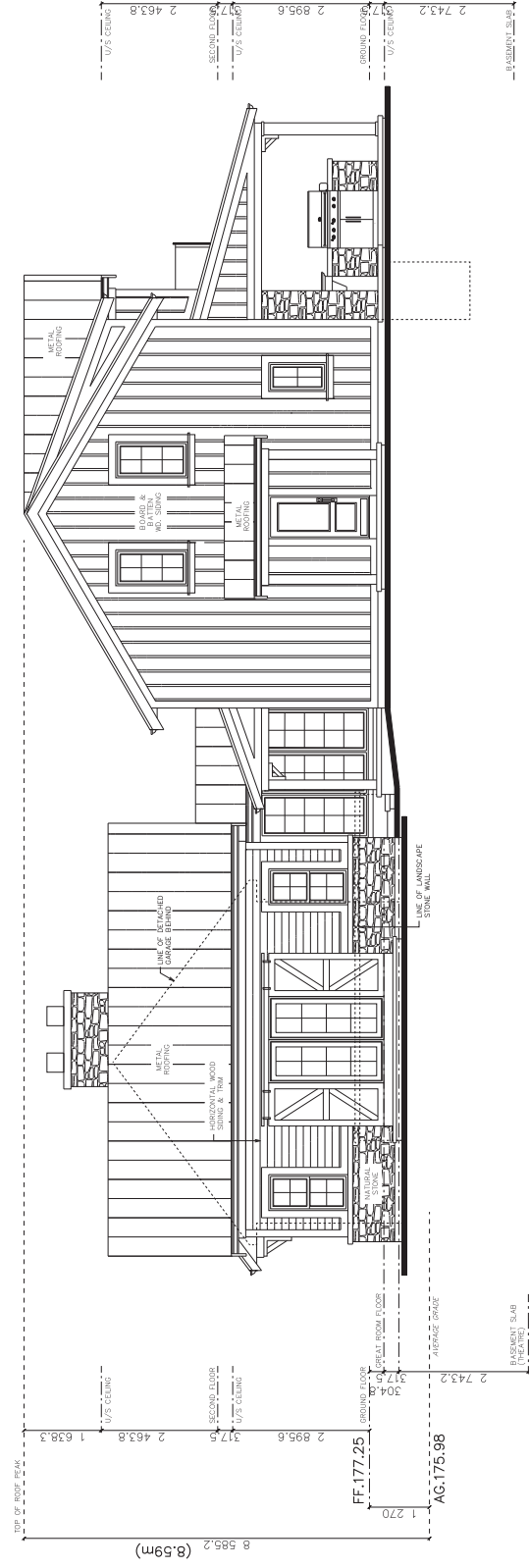


Second Floor Plan





Front Elevation



Right-Side Elevation

DO NOT SCALE DRAWINGS

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no.	date	revision / comment
1	MAR 16/17	ISSUED FOR APPROVALS

project:

Custom Residence

Residence

7089 Second Line West
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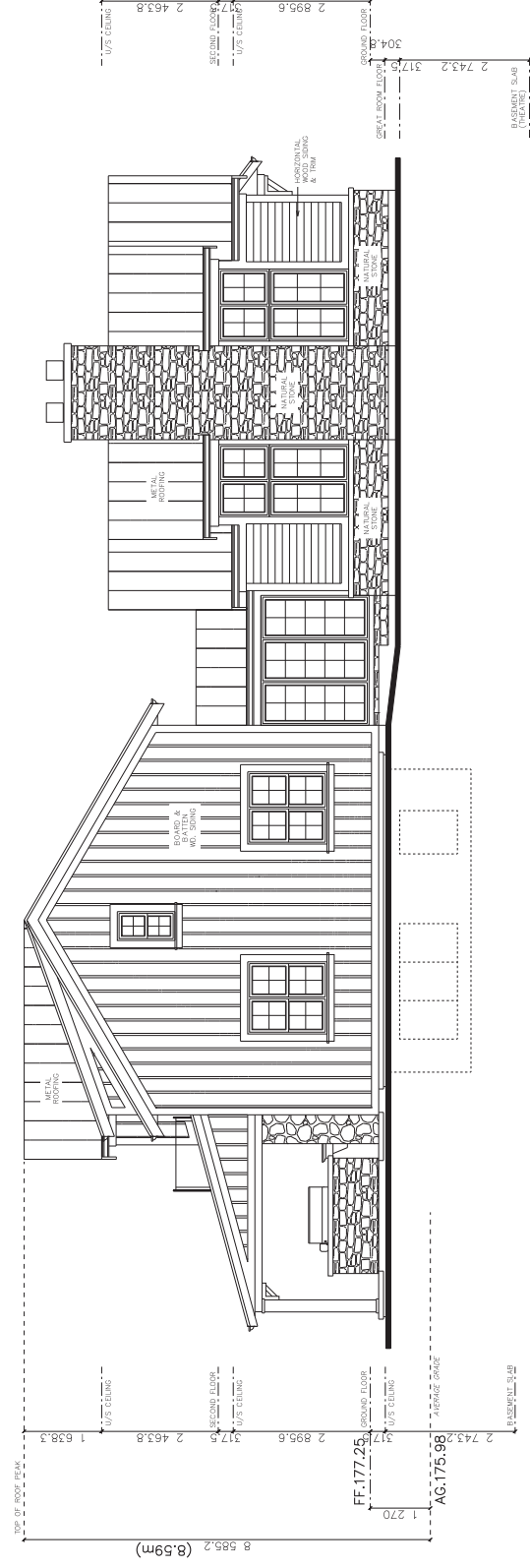
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Rear Elevation



Left-Side Elevation

DO NOT SCALE DRAWINGS

NOTE:

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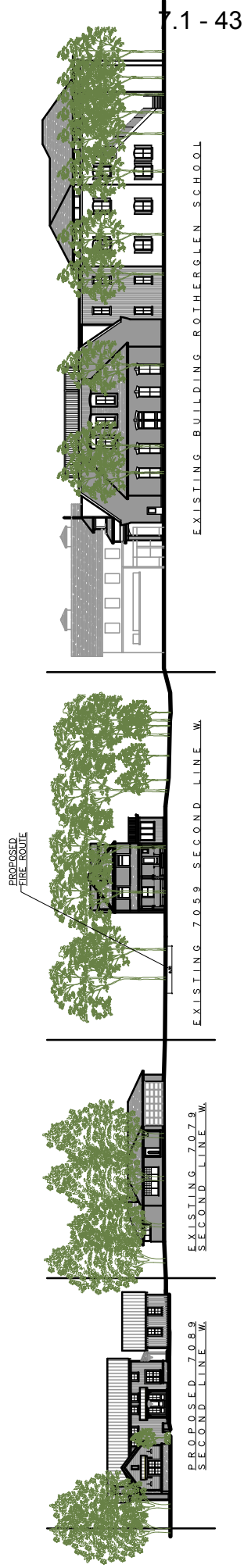
MISSAUGA, REGION OF PEEL

drawing:

Rear & Lest-Side Elevations

scale: 1:50
date: MAR 2017
drawn by: JD
cont. no.: 14-1097

DAVID
SMALL
DESIGNS
COM



7.1 - 43

Chain of Title for PINs 14084-5511 (LT) & 14084-5512 Part Lot 11, Con 2 WHS Tor Twp designated as Parts 1 & 2, 43R36120 7079 (7089) Second Line West, Mississauga			
Deed #	Date	Transferor	Transferee
Patent	April 12 1851	The Crown	Hugh Bell
13803	Oct 23 1865	Hugh Bell	William Gooderham
2147	March 20 1877	Wm. Gooderham Sr.	Horace Gooderham
3889	April 9 1883	C. H. Gooderham	George Gooderham
13892	March 31 1910	George Gooderham	Stephen G. South
37446	Nov 24 1936	Stephen G. South Estate	Harold South
TT13213	Oct 12 1960	Harold South	Frances Isabel Copeland Hugh Alexander Copeland
PR1351519 14084-5512	Oct 10 2007	Frances Isabel Copeland Hugh Alexander Copeland	
PR2786248 Part 1, 43R36120 14084-5511	Sept 9 2015		
Deeds attached: TT132123, PR1351519, PR2786248			
Plans attached: 43R36120			
Title Chain from Crown by abstract name. Instruments not reviewed.			
For Summary purposes only.			
For further details see Abstracts attached.			

Zoning By-law Variances Noted through Site Plan Review

- Excessive driveway width. A maximum of 3 m is permitted, whereas 6.81 m is proposed
- Excessive detached garage height – highest ridge. A maximum 4.6 m is permitted, whereas 5.83 m is proposed
- Excessive GFA-infill residential. A maximum 302.12 m² is permitted, whereas 353.7m² is proposed
- Excessive height – highest ridge. A maximum 7.5 m is permitted, whereas 8.59 m is proposed
- Insufficient combined width of side yard. A minimum 27% is required (9.01 m), whereas only 21.5% (7.19 m) is proposed
- Insufficient front yard. A minimum 12 m is required, whereas 10.29 m is proposed

City of Mississauga
Corporate Report



Date: 2017/08/03

To: Chair and Members of Heritage Advisory Committee

From: Paul Mitcham, P. Eng, MBA, Commissioner of
 Community Services

Originator's files:

Meeting date:
 2017/09/05

Subject

Request to Alter a Heritage Designated Property: 1066 Old Derry Road (Ward 11)

Recommendation

- 1) That the request to revise the materials of the exterior finishes to modern materials be approved on an exceptional basis on the condition that any remaining unpainted wood trims be painted.
- 2) That the request to enclose the rear porch be approved on the condition that the rear wall elevation be revised to match the previously approved (HAC-0043-2015) rear wall elevation, specifically, the horizontal siding, pair of traditional doors and traditional sash window.
- 3) That revised drawings of the enclosure, cited in recommendation 2, are subject to approval by the Director of the Culture Division before the heritage permit is issued.
- 4) That if any changes result from other City review and approval requirements such as but not limited to building permit, committee of adjustment or site plan approval, a new heritage permit may be required. The applicant is required to contact heritage planning at that time to review the changes prior to obtaining other approvals and commencing construction.

Report Highlights

- An infill dwelling in the Meadowale Village Heritage Conservation District was not built in compliance with the heritage permit
- A revised heritage permit requests permission for modern materials and an enclosed rear porch with modern sliding glass doors at the rear
- The approval for the materials should be on an exceptional basis, since the work is complete, and the approval for the enclosure should be conditional on the revision of the back wall to match the approved one with traditional doors, sash window and horizontal siding rather than modern sliding glass doors

Background

The subject property is designated under Part V of the *Ontario Heritage Act* as it forms part of the Meadowvale Village Heritage Conservation District (HCD). Changes to the property are subject to the Meadowvale Village HCD Plan, 2014 and substantive changes identified in said plan require a heritage permit.

The City issued a conditional approval for an infill dwelling in 2015. See item 3 here: http://www7.mississauga.ca/documents/agendas/committees/heritage/2015/HAC_Agenda_2015_07_21.pdf. The applicant fulfilled the condition – to reduce the front yard setback – in 2016. In contravention of both the Ontario Heritage Act and the Building Code Act, the house has been built but does not comply with the approved plans.

Planning & Building issued the following orders to comply:

- January 2017: “Exterior finishes not constructed in accordance to approved permit drawings. Specifically, windows, siding, soffit, fascia, and columns have changed from wood and constructed with vinyl, aluminium and/or pvc products.”
- June 2017: “Unenclosed rear extension in accordance to permit documents. Exterior rear porch has been enclosed with walls to create an interior finished space.”

The approved rear elevation (HAC-0043-2015) is attached as Appendix 1 for ease of reference. A Heritage Impact Study (HIS) addendum, by Strickland Mateljan Design + Architecture, outlines the changes now proposed and already built. The addendum is attached as Appendices 2 and 3. The proposal is also subject to other City approvals such as, but not limited to, Site Plan approval, Committee of Adjustment and a building permit.

Comments

The subject property backs onto Old Ridge Park, meaning all four sides of the house are visible from the public realm. The Meadowvale Village HCD plan requires wood windows and rough cast stucco and/or wood siding for new structures. The heritage attributes specific to this property include the following: “The lot is in the main commercial core of the Village and future built structure must respect the streetscape with respect to building setbacks, style, size, shape, massing, form and materials.” As such, traditional materials are important for this infill.

The City recently approved vinyl windows for the house at 1059 Old Derry Road, kitty corner to 1066 Old Derry Road, because the intervention at 1059 was technically an addition. Modern materials are permitted on additions to mark the new intervention. Given that modern materials were permitted in such close proximity to 1066 Old Derry Road and the fact that the entire house at 1066 Old Derry Road is an intervention where the work has already been completed, Heritage Planning accepts the situation and regrettably recommends that the modern materials be approved in this case. However, any added wood trims that have not been painted require painting.

The owner of 1066 Old Derry Road has also revised the application for the rear of the property in order to seek permission for alterations that do not match approved plans. The rear porch has been enclosed, with a modern sliding glass door facing the backyard. The approved rear elevation includes a traditional open air porch fronting a wall clad in horizontal siding punctured by traditional doors and sash window.

There are no provisions regarding doors in the HCD plan guidelines for new structures; however, “the design guidelines and policies in [all the other] sections apply to all new structures unless stated otherwise.” Section 4.2.3.6 of the plan states that “Doors on an addition should be of traditional design which is typical to that style of building.” Section 4.2.1.8 of the plan states that “French doors will be permitted where they cannot be viewed from the public realm” and includes an image of a door presumably with a large single pane of glass that is noted as “inappropriate [...] if viewed from the public realm.” As stated previously, the subject property backs onto a public park, so the rear is visible from the public realm.

While the plan allows some latitude in terms of the use of non-traditional materials, in terms of design, there is less latitude. Heritage attributes of the district include: “a consistency of building types, modest in architectural detail, vernacular style and size, reflecting the nineteenth century development of a milling village.”

The additional GFA does not comply with the Zoning by-law. More concerning, however, is the style of the doors/windows at the rear elevation. In order to correct the situation, an approval to enclose the porch should be conditional on its redesign to match the approved rear wall, albeit, pushed further out to the rear, in place of the previously approved open air porch. This would be contingent on the other City approvals as outlined above.

The Meadowvale Village Subcommittee endorsed the above recommendations on August 1, 2017. Recommendation 3, regarding the drawings being subject to staff review, was added since the Subcommittee review.

Financial Impact

There is no financial impact.

Conclusion

The owner of the subject property has constructed a house that does not comply with the drawings approved through the heritage permit, site plan nor building permit process. The exterior finishes and rear enclosed porch do not comply with the approved drawings. As such, the owner has applied for a revision to the existing heritage permit to allow these constructed changes. The modern materials should be approved on the condition that any unpainted wood trims be painted. The enclosed porch should only be approved on the condition that it be revised to be consistent with the approved rear wall elevation in place of the open air porch.

Attachments

Appendix 1: Approved rear elevation (HAC-0043-2015)

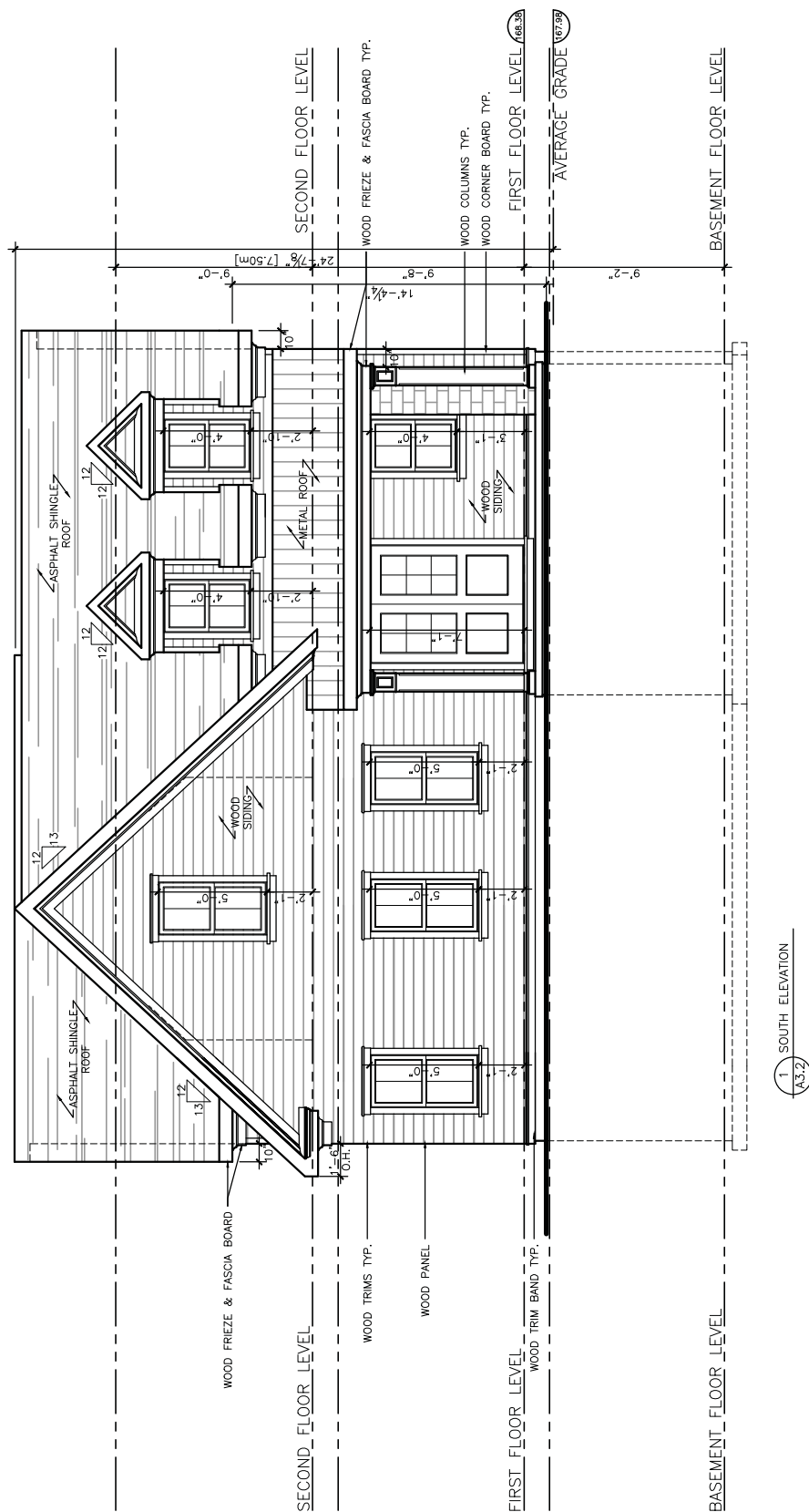
Appendix 2: Heritage Impact Study addendum, Strickland Mateljan Design + Architecture

Appendix 3: Approved Drawings Vs. As Constructed, Strickland Mateljan Design + Architecture



Paul Mitcham, P. Eng, MBA, Commissioner of Community Services

Prepared by: P. Wubbenhorst, Senior Heritage Coordinator





July 10, 2017

Re: 1066 Old Derry Rd.
Addendum to HIS

Background:

The property owner received authorization under Site Plan Approval SPI 14 177, Heritage Permit HPA 15 43 and Building Permit BP 9 NEW 15 6625 to construct a new dwelling at 1066 Old Derry Rd., Mississauga.

Subsequently he was issued an Order to Comply by the City of Mississauga because it appeared that the construction of the dwelling was not in accordance with the issued permits, in particular:

- vinyl siding material had been installed in place of the specified wood or Hardie board siding material as specified in the permit drawings and HIS
- vinyl windows with internal muntins had been installed in place of the wood windows with simulated divided lites (wood muntins on the glass surface) as specified in the permit drawings and HIS
- vinyl porch columns and other trims had been installed in place of the wood columns and trims as specified in the permit drawings and HIS
- the proposed covered porch on the rear elevation of the home had been converted to habitable space
- sliding door units had been installed on the rear elevation of the home

Subsequent to the Order the owner installed solid wood trims around the front facing windows.

Following is a commentary on these issues as regards the applicable sections of the Meadowvale Village Heritage Conservation District Plan, 2014 (the "District Plan") and the Zoning By-law.

1. Windows:

The District Plan requires that in new construction:

(4.2.4.4) windows should be wood construction and consistent with design and style of structure . . . double pane windows with muntin dividers are permitted . . . windows and shutters not in view from the public realm may be constructed of materials other than wood

District Plan (3.2.1 Policy 9) allows that replacement of existing windows in existing buildings is a non-substantive alteration (under certain conditions) and where the retention of original materials is not possible

new windows will be permitted where the following conditions are satisfied . . . wood faced muntins are incorporated if originals are being replaced . . . constructed from wood, although

may be faced with metal and/or vinyl . . . windows and storm windows, which cannot be viewed from the public realm, may be constructed of materials other than wood

Summary:

Vinyl windows with integral muntin dividers are not permitted under the District Plan. Vinyl windows are allowed in areas not visible from the public realm in new and existing construction. Vinyl clad windows are allowed in existing buildings including in areas visible from the public realm but not in new construction.

2. Doors

The District Plan does not specifically comment on requirements for doors in new construction.

The District Plan comments on doors in existing buildings (4.2.1.8) and notes that new doors should maintain the “original style and design” of the existing. The Plan notes that “French patio doors will be permitted where they cannot be viewed from the public realm”. The Plan also illustrates one door type that is considered not appropriate.



Inappropriate door style as shown in District Plan (4.2.1.8)

The District Plan (4.2.3.6) allows that as regards doors in existing buildings “modern materials may be used, however they should have the visual appearance of traditional materials”.

Summary:

The District Plan allows modern door material in existing construction even when it can be viewed from the public realm but allows French patio doors only when they cannot be seen from the public realm. The District Plan does not allow large sheet glass doors in existing construction in any circumstance. Doors in new construction are never specifically discussed.

3. Cladding

The District Plan requires that in new construction:

(4.2.4.5) exterior cladding of rough cast stucco and/or wood siding will be permitted

The District Plan (3.2.1 Policy 9) allows that replacement of existing cladding in existing buildings is a non-substantive alteration (under certain conditions) and where the retention of original materials is not possible

(4.2.1.5) one of the following alternative materials will be permitted . . . stucco . . . concrete block . . . wood with the original board dimensions . . . vinyl or aluminum siding (if an original material)

(4.2.3.7) cladding should be of a traditional design that is typical to the style of building . . . modern materials may be used, however, they should have the visual appearance of traditional materials

Summary:

Vinyl cladding in a traditional design is allowed in existing construction but not in new construction. Note that there is an apparent conflict in the District Plan here. (4.2.1.5) refers to vinyl or aluminum siding being permitted if it is an original material only (there are some later-built houses in the Village that would have had these materials originally installed) but (4.2.3.7) allows them in all instances as long as they “have the visual appearance of traditional materials”.

4. Trims

The District Plan does not speak directly to the issue of trims in new construction.

The District Plan specifies that as regards additions:

(4.2.3.8) modern materials may be used, however, they should have the visual appearance of traditional materials.

Summary:

Vinyl and aluminum trims are allowed in existing buildings. Trims in new construction are never specifically discussed.

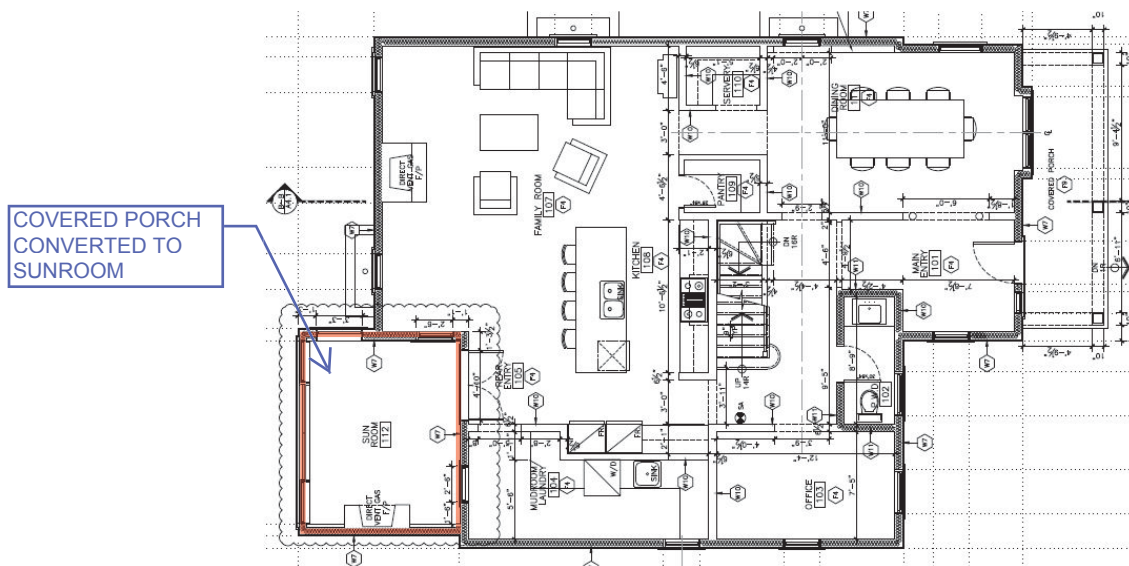
5. Zoning By-law

CAV A 324-14 allowed a total gross floor area of 242.46 m² when the zoning by-law allowed a maximum of 231.85 m² in this instance.

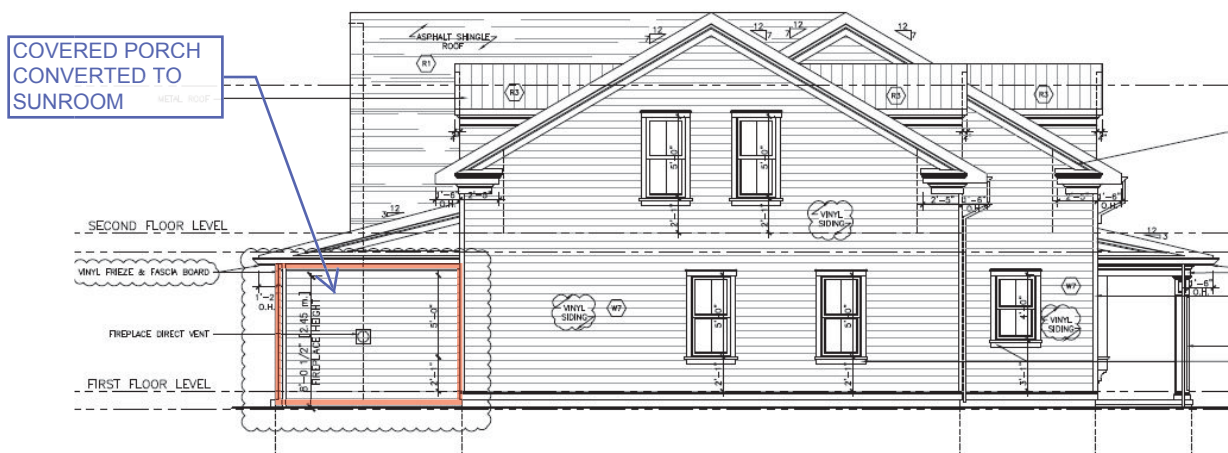
The enclosing of the rear porch adds a further 15.37 m² for a total of 257.83 m² gross floor area. A further Committee of Adjustment variance will be required to allow this.

Summary and Conclusion:

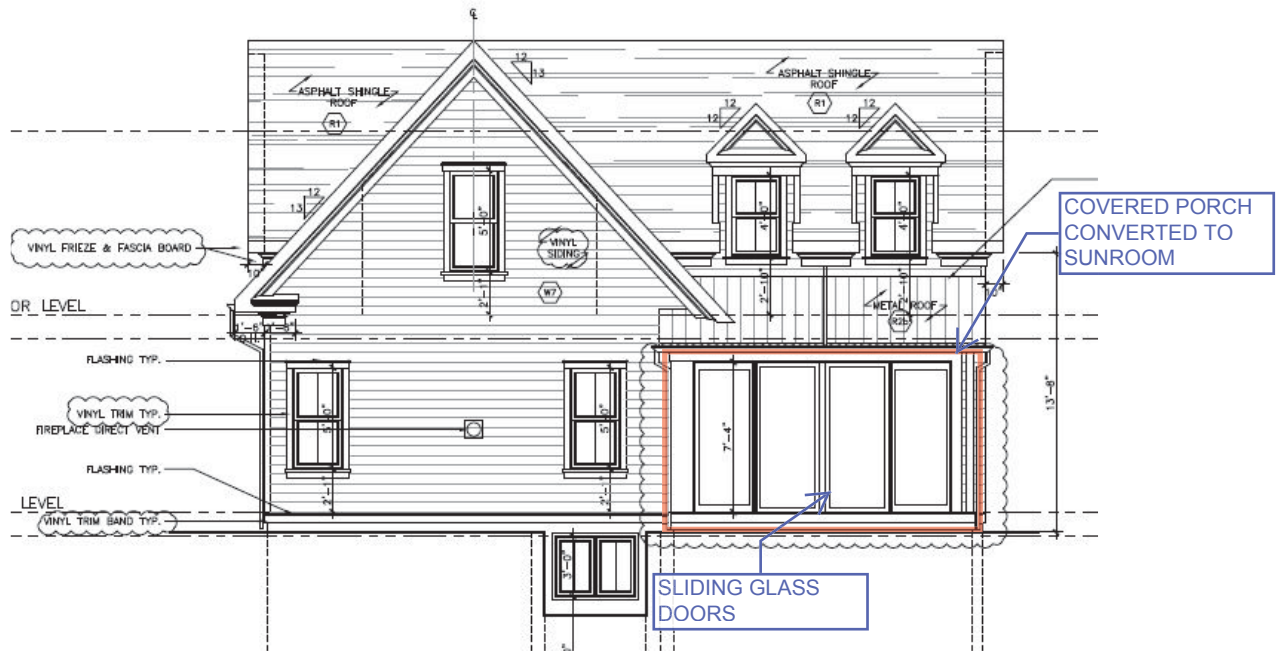
- the use of vinyl siding in this instance is not allowable under the District Plan but would have been allowable if this had been a renovation of an existing building
- the use of vinyl windows in areas visible from the public realm is not allowable under the District Plan under any scenario
- the patio doors installed as part of the porch enclosure, are not regulated under the District Plan because this is new construction but would not have been permitted if this was a renovation of an existing building
- the vinyl porch columns and other trims are not regulated under the District Plan because this is new construction but would have been permitted if this was a renovation
- a Committee of Adjustment variance for additional gross floor area will be required



Main Floor Plan showing enclosed porch area



Side elevation showing enclosed porch area



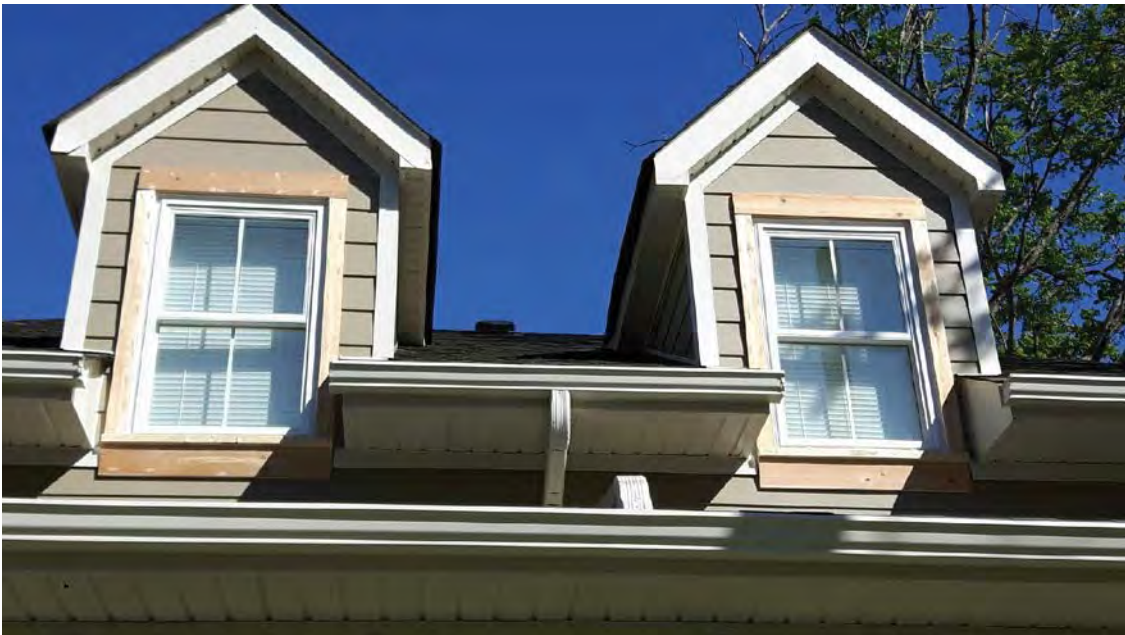
Rear elevation showing enclosed porch area



Front elevation showing vinyl siding, vinyl windows with wood trims (some not yet painted), vinyl porch columns



Detail of front Oriel window showing vinyl window with wood trim



Detail of front dormers

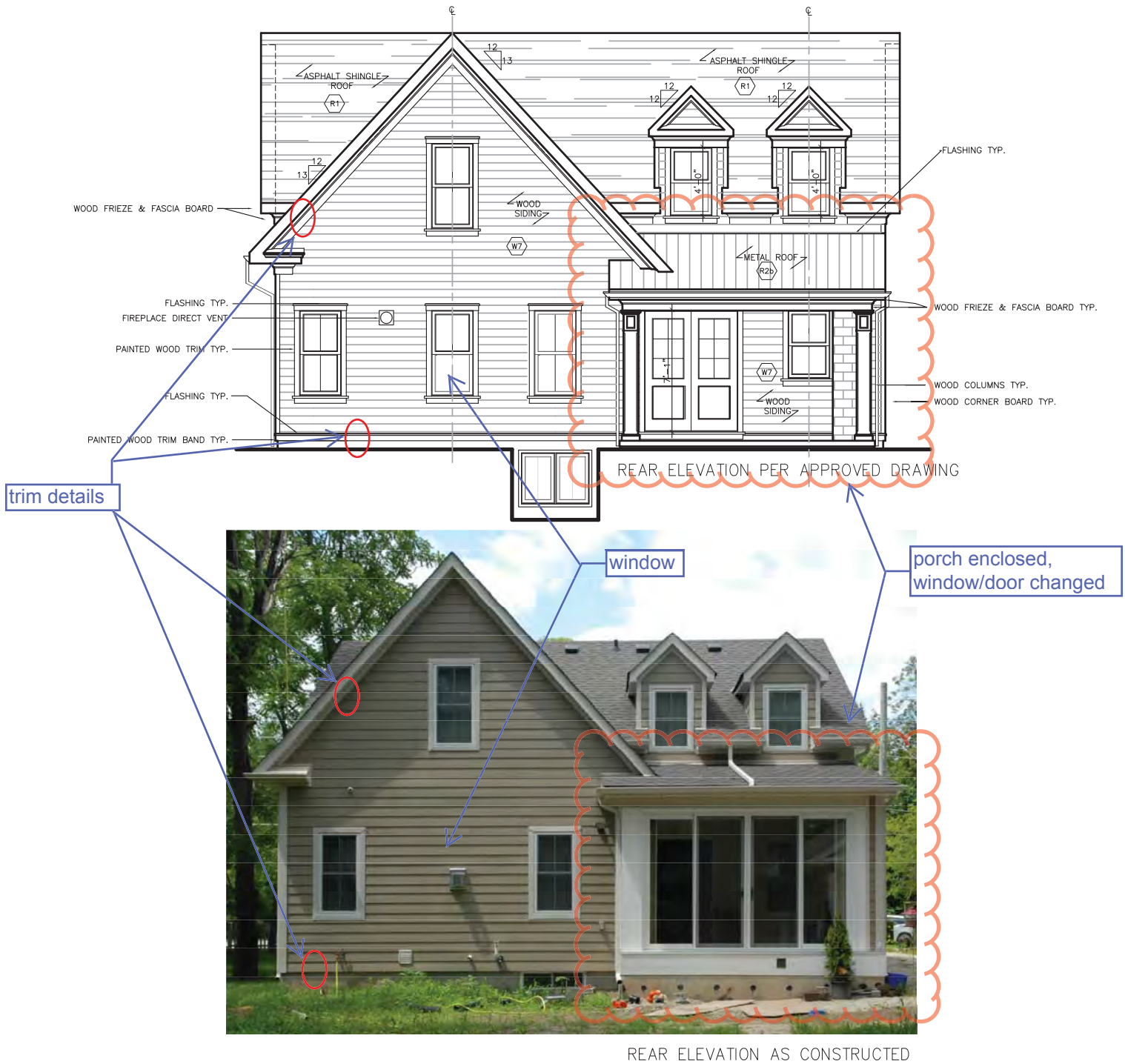


Detail of enclosed porch showing area of side elevation filled in, new sliding glass door

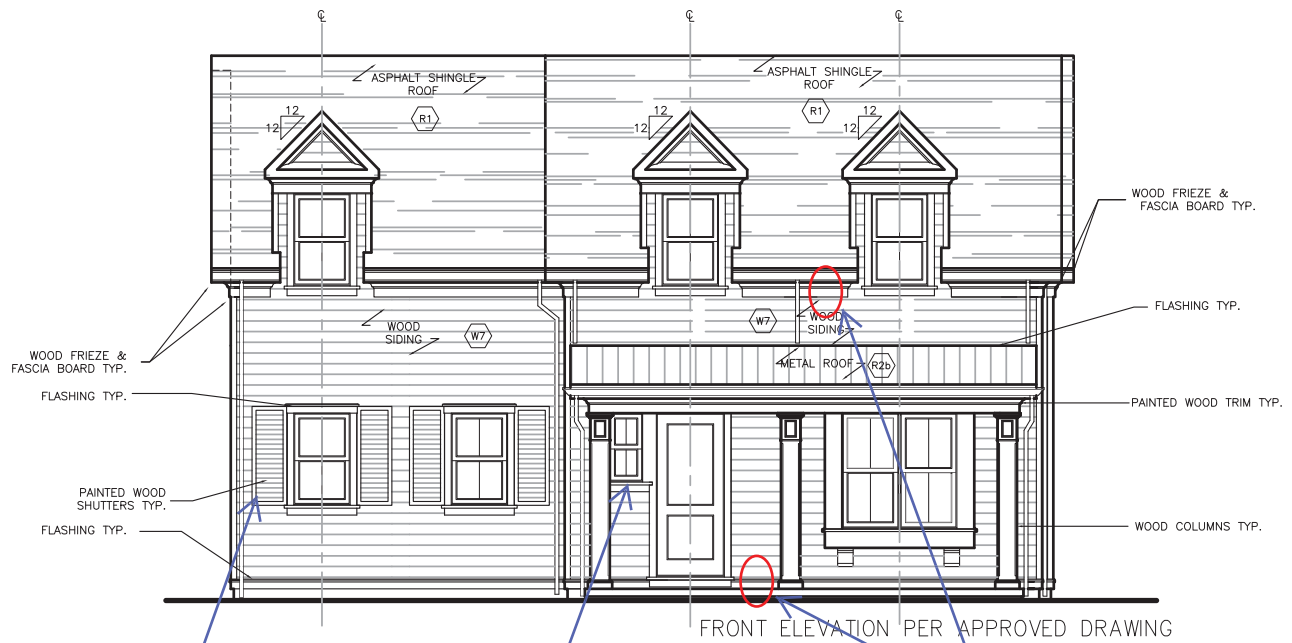


Rear elevation showing enclosed porch and sliding glass door

APPENDIX — APPROVED DRAWINGS VS. AS CONSTRUCTED



APPENDIX – APPROVED DRAWINGS VS. AS CONSTRUCTED

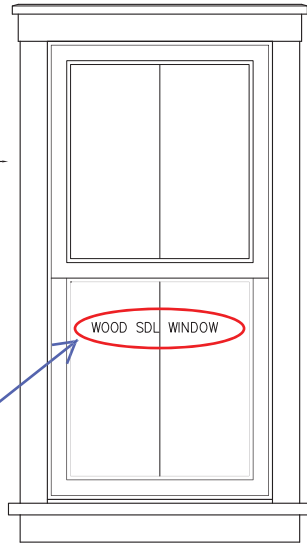


shutters

window size

trim details





WINDOW DETAIL PER APPROVED DRAWING

PAINTED WOOD TRIM TYP.

WOOD SGL WINDOW

trims, materials



INSTALLED WINDOW WITH ALUMINUM TRIM – SIDES AND REAR

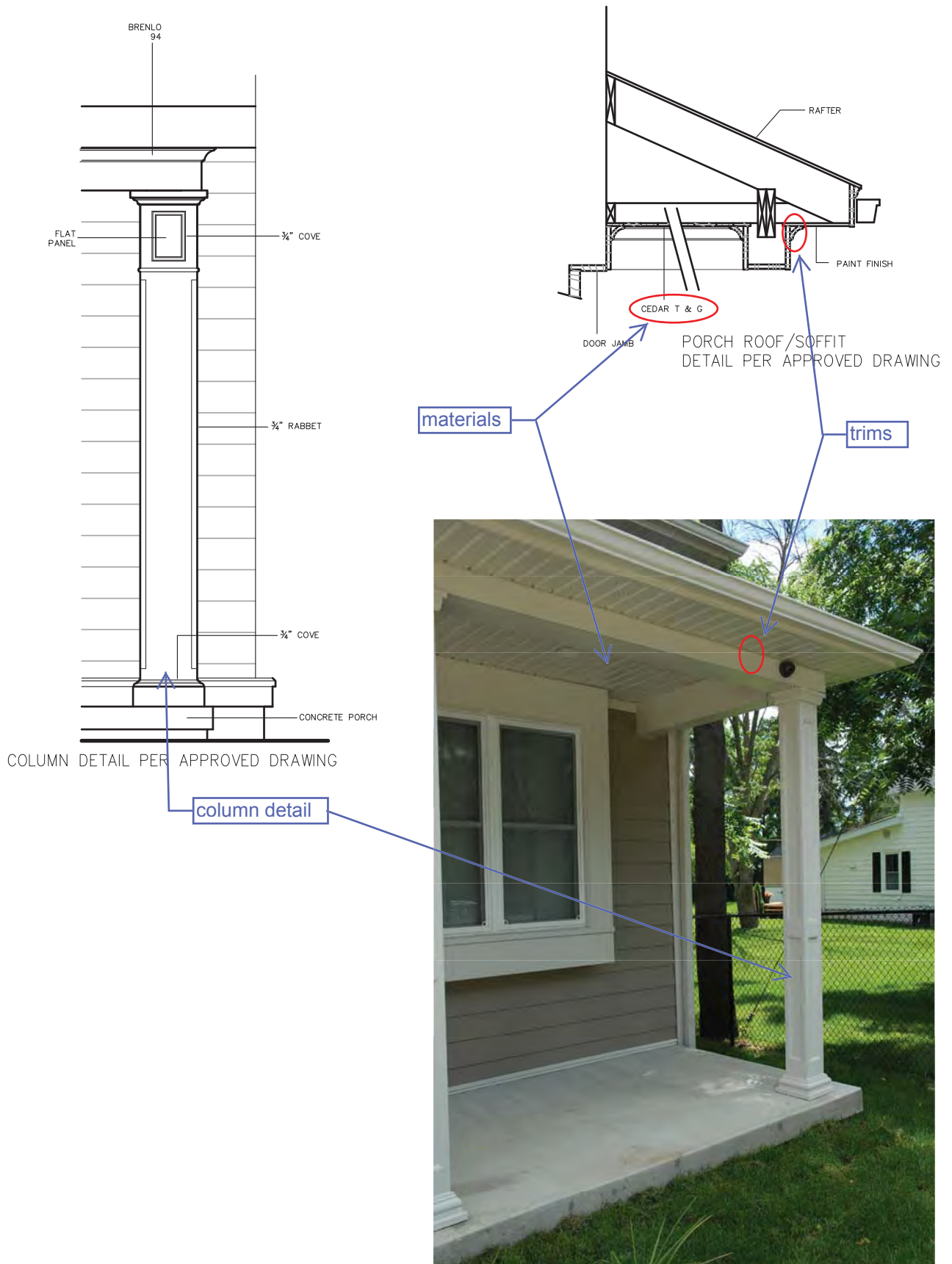


INSTALLED WINDOW WITH APPLIED WOOD TRIM – FRONT

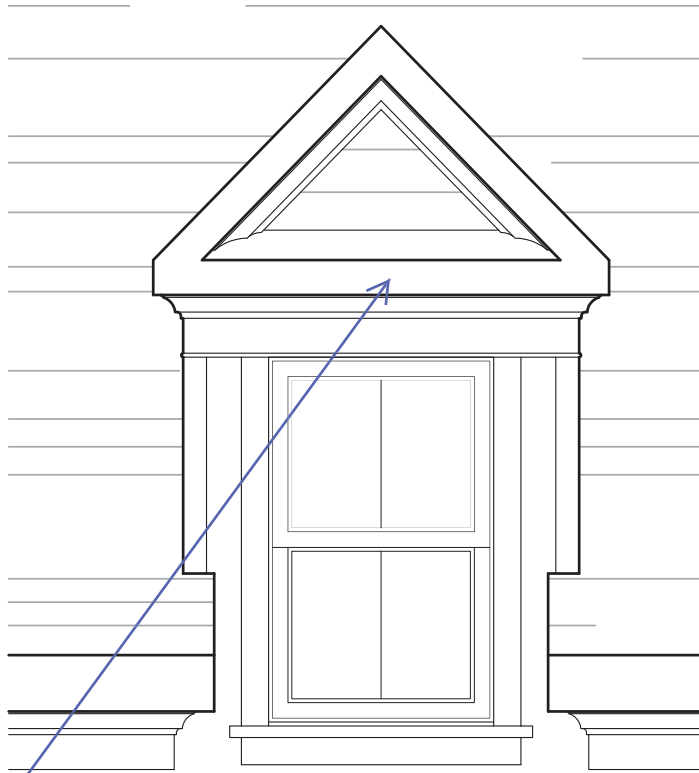


DETAIL OF APPLIED WOOD TRIM

APPENDIX – APPROVED DRAWINGS VS. AS CONSTRUCTED

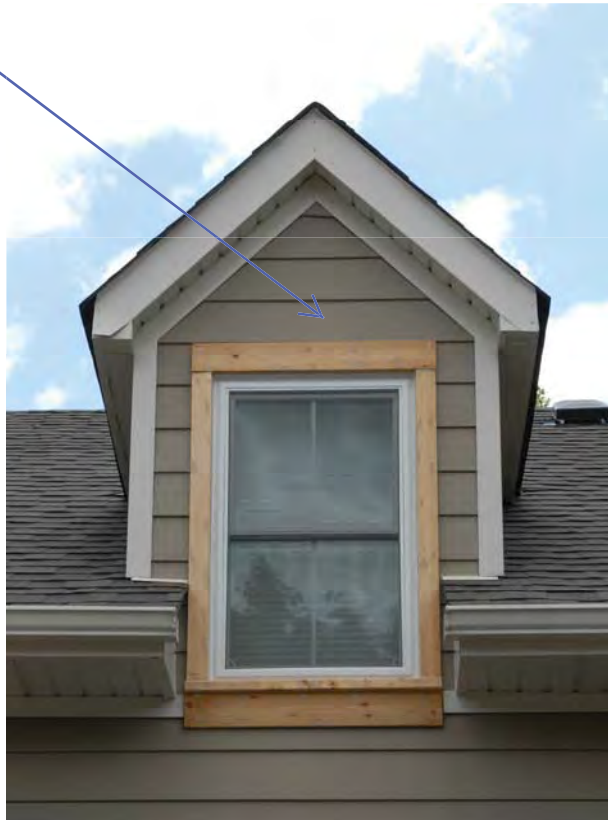


INSTALLED PORCH COLUMN AND SOFFIT

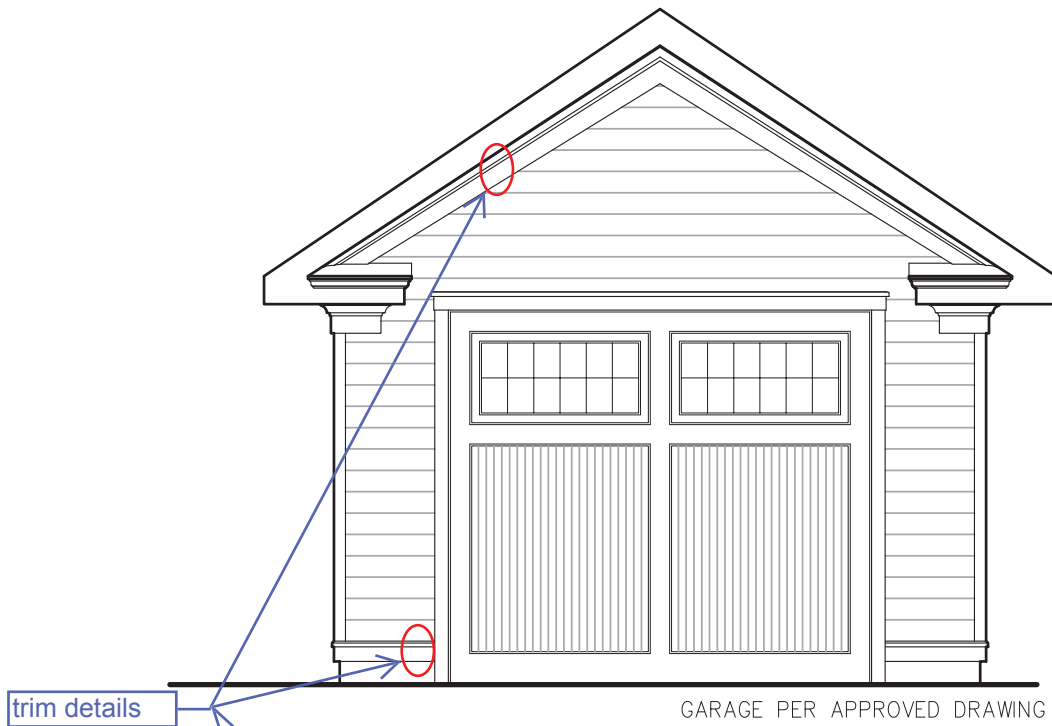


DORMER DETAIL PER APPROVED DRAWING

detail



INSTALLED DORMER



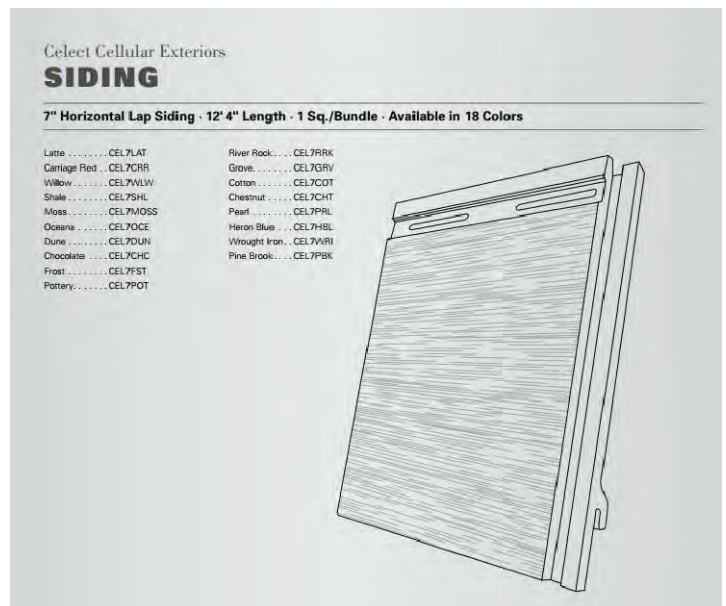
APPENDIX – APPROVED DRAWINGS VS. AS CONSTRUCTED



CAPE COD WOOD SIDING PER APPROVED DRAWING (JAMES HARDIE CEMENT COMPOSITE SIDING WAS AN APPROVED ALTERNATE)



"CELECT" VINYL SIDING WITH JAMES HARDIE CORNER TRIM BOARD AS INSTALLED



ROYAL BUILDING PRODUCTS "CELECT"
7" CLOSED CELL VINYL SIDING

City of Mississauga
Corporate Report



Date: 2017/08/03

To: Chair and Members of Heritage Advisory Committee

From: Paul Mitcham, P. Eng, MBA, Commissioner of
 Community Services

Originator's files:

Meeting date:
 2017/09/05

Subject

Request to Alter a Heritage Designated Property: 41 Bay Street (Ward 1)

Recommendation

That the proposed alteration to 41 Bay Street, as per the Corporate Report from the Commissioner of Community Services, dated August 10, 2017, be approved.

Background

The City designated the Old Port Credit Village Heritage Conservation District (HCD) under Part V of the Ontario Heritage Act in 2004. The subject property is included in the district and identified as a "historic" property in the plan. As such, the property is subject to the heritage permitting requirements outlined in the plan for this classification.

Installation of new wall siding requires a heritage permit. The owner proposes to replace the aluminium siding on the east wall of the house with Maibec wood siding. Aluminium windows would be replaced with wood windows as part of this project. This work has already been completed on the north and west sides of the house. A heritage permit is outstanding for the completion of this work on the east side.

Photographs of the house are attached as appendices 1 and 2. Appendix 1 shows the existing front (north) and east faces. The photograph on the second page is a 1971 photograph from the Ida Lynd Bradley scrapbook from the Canadiana Room, Mississauga Library. Appendix 2 shows the Maibec siding and wood window already installed on another side.

Comments

Section 4.6 of the HCD Plan states: "Replace vinyl or aluminum siding with the original wall material if possible." As the attached images indicate, the siding profile would be returned to a more original condition. As such, the proposal should be approved.

Financial Impact

There is no financial impact.

Conclusion

The owner of the subject property proposes to install Maibec wood siding on the east side of the house at the subject property to match work already completed on the north and west faces. As the siding is more appropriate, as per section 4.6 of the district plan, it should be approved.

Attachments

Appendix 1: Excerpt from heritage designated property grant application

Appendix 2: Details of new siding and window from another face



Paul Mitcham, P. Eng, MBA, Commissioner of Community Services

Prepared by: P. Wubbenhorst, Senior Heritage Coordinator





7.3 - 5
Appendix 2



7.3 - 6
Appendix 2



City of Mississauga

Corporate Report



Date: 2017/08/10

To: Chair and Members of Heritage Advisory Committee

From: Paul Mitcham, P. Eng, MBA, Commissioner of
Community Services

Originator's files:

Meeting date:
2017/09/05

Subject

Request to Alter a Heritage Designated Property: 1507 Clarkson Road North (Ward 2)

Recommendation

That the proposal for the property at 1507 Clarkson Road North, which is designated under Part IV of the Ontario Heritage Act, to: replace the cedar shingle roof, conserve the cupola and fascia of the barn; replace the cedar shingle roof, soffit, fascia, siding and sill beam; and conserve the doors and windows of the potting shed; as outlined in the report from the Commissioner of Community Services, dated August 10, 2017, be approved.

Background

The subject property, known as Benares, owned and operated by the City, is designated under Part IV of the Ontario Heritage Act. Section 33 of the Act requires Council permission for alterations likely to affect the property's heritage attributes. The outbuildings are noted in the heritage designation by-law.

The City recently issued a heritage permit to conserve the barn and stabilize the potting shed. A site visit report, by Strickland Mateljan Architecture, is attached as Appendix 1.

Comments

Facilities and Property Management (FPM) now seek to reroof both buildings, conserve the cupola and fascia on the barn, the doors and windows on the potting shed and re-sheathe the potting shed. The proposal includes replacing the soffit, fascia and sill beam on the potting shed. The proposal, also by Strickland Mateljan, is attached as Appendices 2 and 3. The elements that require replacement are in too poor a condition to conserve. All changes are to be like for like. Heritage Planning staff find that the proposed work is sympathetic to the property's heritage attributes and should be approved. Consultation with the Ontario Heritage Trust, a requirement as per the heritage easement, concurs with our recommendation.

Financial Impact

The cost is budgeted and covered under Facility and Property Management's approved capital budget funding.

Conclusion

FPM has submitted an application to reroof the barn and potting shed, conserve the barn cupola and the doors and windows of the potting shed and re-sheathe this building. The applicant has submitted drawings and documentation by Strickland Mateljan Design and Architecture, supporting the request. The conservation work depicted in the proposal is sympathetic to the heritage attributes of the barn and potting shed buildings and should be approved.

Attachments

Appendix 1: Site Visit Report

Appendix 2: Drawings

Appendix 3: Heritage Conservation Management Plan



Paul Mitcham, P. Eng, MBA, Commissioner of Community Services

Prepared by: P. Wubbenhorst, Senior Heritage Coordinator



SITE VISIT REPORT 1

July 18, 2017

Ms. Harleen Pabla
Project Coordinator/Corporate Services Department
City of Mississauga

RE: Benares Barn
1507 Clarkson Rd., Mississauga ON

Contractor: B. A. Construction

Site Conditions: Sunny, warm. Site was clean and neat.

Observations and Comments:

- Replacement of siding on west elevation was nearing completion
- Repair of siding on north and east elevation was underway. Repair of siding on south elevation not started
- Repair of doors was not started. One window had been removed and I was informed that this was off-site for conservation.

Deficiencies noted in the work: None

Other Observations:

- There was a boom-type personnel lift on site and I had the opportunity to observe the roof and cupola from above. I noted that the existing cedar roof shingles were in a very deteriorated condition and from my point of observation one hole in the roof approximately 10cm in diameter was noted. The shingles cracked and broke easily when touched. Some were obviously loose and many were cupped. Clearly they are at the end of their service life and require imminent replacement.
- Significant deterioration was also noted in the wood cupola with several warped and missing elements and generalized decay obvious. This is likely permitting the ingress of water into the building.

Recommendations:

- The wood shingle roof should be replaced immediately
- The wood cupola should be repaired and conserved.

Attachments:

-site photographs taken July 18, 2017

Best regards,



Rick Mateljan
Partner



North-west view showing progress of work



West view showing progress of work



Detail of board & batten siding



General view of roof showing deteriorated shingles



Roof showing hole in shingles



Cupola showing loose, missing pieces (note cupped, lifted shingles)



(Revision August 10, 2017)

March 31, 2017

Heritage Conservation Management Plan – Benares Barn and Potting Shed, Clarkson Rd., Mississauga ON

1. Introduction

-An executive summary of the scope of the project:

The proposal is to do conservation work on the existing barn and potting shed. The work on the barn will consist of partial siding, soffit and fascia replacement and re-building of several existing doors and windows. The work on the potting shed will consist of improvements to the perimeter drainage system to better drain water away from the building. If finances permit there may also be some repair and conservation of the existing siding material.

(August 10, 2017) During the course of construction as described above it has been decided to add additional scope to the project. This includes:

- replacement of existing cedar roof shingles on the barn and associated repair of the roof sheathing as necessary*
- conservation of the existing barn cupola*
- complete replacement of the siding on the potting shed*
- conservation of doors and windows on the potting shed*
- replacement of sill beam on the potting shed*
- replacement of existing cedar roof shingles on the potting shed*

-Background information to document the historical and development history of the site

This site has been heavily researched and documented, including in the Benares Visitor Center located on this property.

- Identification of the property owner and stakeholders, current and proposed use

The property is currently owned with the City of Mississauga although the Ontario Heritage Trust has a conservation easement over the property. The current and proposed uses are as a cultural history museum. The buildings that are the subject of this conservation management plan form part of the fabric of the estate however the public is not admitted inside the buildings and they are not used as part of the historical interpretation. The buildings are used for general storage of museum artifacts and for seasonal storage of museum equipment.

2. Project Description

Property Description:

- Identify the location, municipal address and provide an appropriate location map

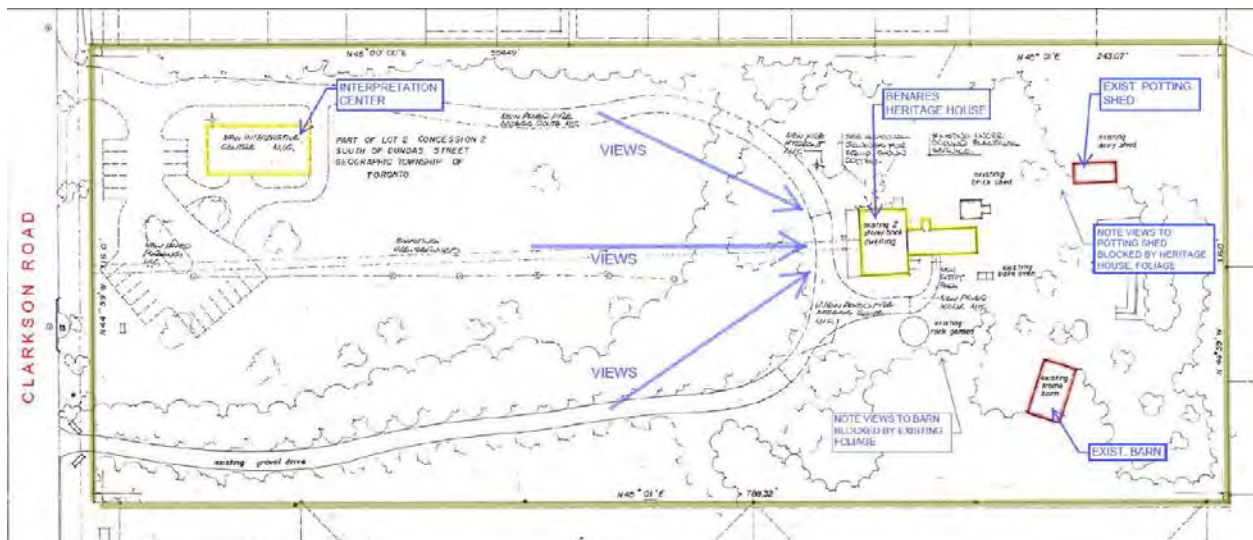
1507 Clarkson Rd N, Mississauga, ON L5J 2W8

- Documentation of the existing conditions to include recent specialized photograph documentation, measured drawings, site plan, identification of site features such as topography, landscaping or other on-site features

See attached architectural drawings.

- Landscape inventory and documentation will include a site plan, views and vistas, water features, tree location and species, land forms, geological formations, fences, walls, berms, pathways, or any other landscape features

There are no significant views or vistas associated with these buildings. There are no water features, significant land or geological formations.



- Identification of neighbouring properties, including any built form or features, required to illustrate the context of the subject property



Benares Estate is located in a stable residential community. To the north, east and south are single family dwellings. To the west is a place of worship and further north along Clarkson Rd. N. is a community shopping plaza. The subject barn and potting shed are located at the rear of the Estate and not visible from the street.

- Summary of the history of the property outlining its development over time within a timeframe context
- Documentation of land ownership from the original Crown Grant and subsequent records from the land registry office

The history of the Benares estate has been extensively researched and documented, including in the Benares Visitor Center. This history does not have to be repeated for this document.

B) Significance:

- Statement of cultural heritage value or interest

Property Heritage Detail (City of Mississauga website):

Some of the out-buildings on the property date to the original Edgar Neave estate, circa 1835. The main house, a two storey brick and stone structure is rectangular in shape with a long single storey stone portion to the rear. The rear stone part of the building dates to 1835 whereas the brick portion was built circa 1855 after a fire destroyed the original stone building. There are various out buildings on the property as well. The main block has a medium hipped roof. The molded cornice has paired dentils along its frieze. At each side of the structure, there are two pairs of internally bracketed, brick, double-linked chimneys. Two other internally bracketed brick chimneys appear in the rear section, which has a gabled roof. The full lighted basement beneath the main section is accessible from outside. A stone foundation

supports brick walls. The walls and foundation of the rear section are constructed completely of stone. Along both floors of the front facade, there are four, six over six paned, double hung windows. All fenestration is shuttered. The front entrance is set into a paneled umbrage. A glazed transom and sidelights surround the four paneled door. Above, there is a small balcony with turned balusters, spoolwork and lattice frame work. A door opens out onto it from the second floor. Along the complete width of the front facade there is an open verandah, with no balustrade. The posts are cambered and the cornice is trimmed with brackets. The colours on the building were done to reflect the 1890 period. The house has been retrofitted and generally restored based on research and informed detailing on the inside and out from 1990 to 1995, by the Ontario Heritage Foundation. Completed as a community museum to reflect the 1918 period. The history of this site dates to the 1830s, which is evident in the remaining stone (rear) portion of the main house. The site is an important cultural landscape as the six acre parcel provides a link to the area's agrarian past; with its historic elements, mature trees, open space, all within an urban context

- Identification of the cultural heritage attributes and values of the property structures and landscape features

City of Mississauga Designation Statement:

"Benares" property is recommended for designation on the architectural grounds that it is a substantial house built in the Georgian style with such vernacular adaptations as the veranda and balcony. The main brick block incorporates the original cut stone house as a rear wing. There are also interesting outbuildings on this property. Historically, the original stone wing is believed to have been started in 1835 by Edgar Neave. The property was then sold to Captain James B. Harris in 1837 who built the main block in 1857. The house has added interest in that it is believed to have been the model for Jalna in Mazo de la Roche's White Oaks series.

- Identification of any recognized significance, such as a heritage designation by-law, historic plaque, etc.

The property is Designated under Part IV of the Ontario Heritage Act and functions as a museum and interpretive center. It is highly recognized as a heritage resource within the City of Mississauga.

C) Planning and Policy Status:

- Provide details of the current land use and related Official Plan policies and Zoning

The property is zoned OS2 under the Mississauga Zoning By-law 0225-2007. This is a zone that allows only a City Park with active and passive recreational uses

- Identify any regulatory requirements (e.g. heritage designation, flood plain requirements, etc.)

The heritage designation is noted above. There are no flood plain or other issues.

3. Project Objectives

- Outline what is to be achieved by this project

As regards the barn, the intention of the project is to conserve the building by replacing weathered siding, soffits and by repairing weathered windows to prevent the intrusion of moisture and wild animals into the building and by so doing to ensure the long-term viability of the building.

As regards the potting shed, the intention of the project is to prevent further decay of the building's wooden structure caused by inappropriate surface drainage and so to stabilize the building until more substantive conservation work can be carried out.

(August 10, 2017) As regards the barn, the project objectives are similar to the above. The deterioration of the roof shingles and cupola and the presence of at least one hole in the roof was not known until construction had begun and elevated work platform equipment was on-site to allow inspection of these elements. Given the obvious water intrusion into the building this work has to be considered urgent. As regards the potting shed, the project objectives have changed from being simple stabilization of the structure to conservation work. This change has been because savings have been recognized on the approved barn conservation work and these surplus funds can be directed to conservation of the potting shed.

- Provide short term and long term goals and objectives

As regards the barn, the short term objective is to restore the building to water-tightness and to secure it against animal intrusion. The long term objective is to have this building remain as part of the fabric of the Benares museum and to continue to allow it to be used for seasonal and miscellaneous storage.

As regards the potting shed, the short term objective is to prevent further deterioration due to inadequate drainage. The long term objective is to properly conserve the building to allow it to remain as part of the fabric of the Benares museum.

(August 10, 2017) These objectives have not changed except that as regards the potting shed the short term objective is no longer just to prevent deterioration but to engage in conservation of the heritage building.

- Proposed solutions for conservation of the property's heritage attributes

Conservation recommendations: BARN

Photo-documentation:

-once appropriate scaffolding is on site the existing siding, soffit, fascia, windows and doors should be thoroughly photo-documented prior to beginning work

Demolition:

West Elevation: the board and batten siding on the west elevation appears to have come to the end of its serviceable life. The battens are in worse condition than the boards but upon inspection every board displayed evidence of cracking, splitting and local deterioration. The battens should be removed and discarded. The board material on the west elevation should be removed completely. The removed board material should be inspected and if serviceable

portions (generally 1.2m long or longer) from these removed boards can be recovered they should be cut out and saved for potential re-use or repair elsewhere.

North, South, East Elevations: the siding on these elevations is weathered but in generally better condition on these elevations. The battens are in worse condition than the boards. The battens should be removed and discarded. The boards should be left in place for inspection and re-use.

Windows: the windows (including all associated sills, trims and casings) should be removed by a specialist window conservator and taken off-site for repair and replacement of deteriorated elements

Barn doors: the barn doors are all visibly sagging and deteriorated. They should be taken off their hinges and set aside for inspection. The original hardware including fasteners should be marked as to location and set aside for re-use.

Soffits: the soffits are extensively damaged by animal intrusion and should be removed

Fascia: the fascia will require inspection once ladders and scaffolding is on site. Some of the fascia has been damaged by animal intrusion and will require removal. The extent cannot be judged now.

Nails: original square head nails removed during the demolition should be retained. Newer wire nails can be discarded.

Wooden head flashings: original wooden head flashings should be removed and documented

Animal intrusion: if invasive animals are discovered during the course of this work a pest control strategy will have to be developed. This is outside the scope of this report.

(August 10, 2017)

Roof: the existing cedar shingles should be removed and discarded together with any paper or other underlayment material that may be present.

Cupola: the existing cupola should be removed and brought to the ground for inspection

Inspection:

Air Barrier: it is not anticipated that any building paper/air barrier/vapour barrier will be discovered following removal of the siding. In the event that this material is present a strategy for inspection, re-use or replacement will have to be developed at that time.

Asbestos: it is not anticipated that any asbestos or similar deleterious materials will be discovered. In the event that these materials are found to be present a strategy for removal and abatement will have to be developed at that time.

West Elevation: the substrate conditions must be inspected for serviceability following removal of the siding. It is expected that sound horizontal elements +/- 0.6m on center will be

available for re-use. If these elements are loose, missing, deteriorated or otherwise not suitable for re-use a conservation strategy will have to be developed at that time.

North, South, East Elevations: the board siding on the north, east and south elevations should be inspected individually. Boards with two or more large imperfections should be removed. Boards with smaller imperfections can be left in place if otherwise soundly attached and only the damaged areas removed. Substrate conditions should be assessed as much as possible. If the substrate appears to be loose, missing, deteriorated or otherwise not suitable for re-use a conservation strategy will have to be developed at that time.

Soffit: the points of attachment of the soffit must be inspected for ability to be re-used.

Fascia: the fascia must be completely inspected for structural soundness, ability to prevent water intrusion and firm attachment. A conservation strategy for the fascia will be developed at that time.

Barn doors: the doors must be completely inspected following removal and a conservation strategy developed. Badly deteriorated pieces should be removed. It may be possible to re-clad them on-site and to repair the frames to correct the sagging. If major work is required the window conservator could also undertake this work off-site.

(August 10, 2017)

Roof: the existing roof sheathing boards should be inspected for deterioration and to ensure they are well fastened to the barn structure. Deteriorated boards should be removed and replaced with similar material. Plywood or other sheet sheathing materials should not be used.

Cupola: the cupola must be completely inspected following removal and a conservation strategy developed. Badly deteriorated pieces should be removed. It may be possible to repair the cupola on-site but if major work is required the window conservator could also undertake this work off-site. Off-site conservation in a shop environment would likely be preferable.

Note: Professional engineering assessment may be required if unexpected conditions are encountered.

Protection during Construction:

-it is expected that the windows (and potentially doors) will be off-site undergoing conservation for several weeks or longer. During that time the openings in the building must be temporarily blocked with tightly fitted plywood or other material to prevent water and animal intrusion. All other areas of the building must be similarly protected during the construction process.

(August 10, 2017)

-tarps or plywood must be used to protect the building at all times while the roof replacement is taking place

Construction:

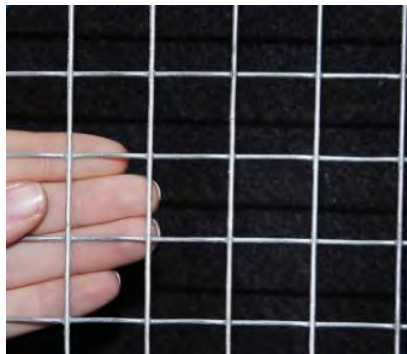
West Elevation: new wood board and batten siding should be installed on this elevation. This siding should replicate in size, species and dimension the existing size and profile. Nailing pattern should be as per existing or for boards min. 2 rows of nails @ 0.6m on center and for battens min. 1 row of nails @ 0.6m on center.

North, South, East Elevations: Very small (less than 25mm) imperfections should be filled with epoxy filler. Larger imperfections and local deterioration should be cut out and replaced with new or salvaged material. Boards that have been removed due to deterioration should be replaced with new material. Existing boards should be checked for firm attachment and nailed as required. New battens should be installed on these elevations, replicating the existing in size, species and dimension. Nailing pattern should be as above.

Windows: the windows (including all associated sills, trims and casings) should be re-installed by the specialist window conservator.

Barn doors: the doors should be re-hung using their original hinges and fasteners in their original locations.

Soffits: the soffits should be entirely replaced using materials matching the existing in dimension, profile and species. The underside of the soffits should be lined with 50mm x 50mm 10 gauge galvanized welded wire mesh. This should be discreetly fastened with stainless steel clips and wood screws.



50mm x 50mm galvanized welded wire mesh

Fascia: the fascia will be repaired and/or replaced following the conservation strategy developed above. All new material should match existing in species, size and profile.

Nails: nails should be common wire or spiral nails, hot dip galvanized. All nails must be hand driven – no pneumatic or automatic nailing equipment may be used. Nails must be appropriate for their use with a minimum embedment into the substrate of double the thickness of the member being fastened.

Wooden head flashings: Wooden head flashings with size and detail to match the existing should be provided at all openings.

(August 10, 2017)

Cedar Shingles: Cedar shingles to be “Certigrade Blue Label” in size and coursing to match existing. Use IKO “RoofGard” underlayment on entire roof. Ensure eave protection and flashings per Ontario Building Code. Use “Cedar Breather” material by Benjamin Obdyke on entire roof. General installation of cedar roof to requirements and specification of Cedar Shake & Shingle Bureau (www.cedarbureau.org) and Ontario Building Code. Pneumatic driven fasteners may be used for cedar shingle installation.

Flashings: Required flashings to be galvanized metal, copper or lead coated copper only. Pre-finished aluminum or metal flashings are not acceptable.

Inspection:

SMDA should be called to inspect at the following project stages at a minimum:

- following scaffolding of building but prior to any removals*
- following removal of deteriorated siding*
- following removal of doors and windows*
- prior to placing any new material*
- prior to re-installation of doors and windows*
- in the event that unexpected conditions are encountered*

(August 10, 2017)

- following removal of the roof shingles and cupola*

Recommended siding material supplier:

-Hoffmeyer’s Mill, 189 Huron Rd., Sebringville, ON www.hoffmeyersmill.com

Recommended Window Conservator:

-Walter Furlan Conservation 905 383 3704

Submittals:

Contractor will be required to submit to SMDA and the City of Mississauga the following:

- samples of all fasteners, siding, building materials proposed to be used*
- 1m x 1m mock-up of new board and batten siding*

(August 10, 2017)

- sample of cedar shingle material, underlayment, cedar breather, fasteners*

Conservation recommendations: POTTING SHED

Photo-documentation:

- the potting shed and any area proposed to be disturbed should be thoroughly photo-documented prior to beginning work*

Excavation:

- a trench +/- 0.6m wide and +/- 0.9m deep should be dug around the perimeter of the potting shed.
- a trench +/- 0.6m wide should be dug away from the dairy shed to a natural low point at least 5m away. At the end of this trench a pit +/- 1.5m x 1.5m x 1.2m deep should be dug. The location of the pit will be coordinated with archeological staff working on site.

Inspection:

- the sub-grade conditions will be inspected to ascertain if the soil permeability is suitable for construction of a French drain. If it is not an alternative conservation solution will be developed.

Protection during Construction:

- The potting shed must be protected at all times against sagging, settling or movement as a result of the excavation. Stop excavation if at any time unsafe soil conditions are encountered. Professional engineering assessment may be required.

Construction:

The trenches and French drain should be backfilled with 19mm clear gravel and topped with a geotextile filter. At the bottom of the trench a 100mm "Big O" pipe with silt cover sock should be laid with positive drainage to the French drain. The geotextile should be covered with +/- 100mm of topsoil sloped as much as possible to encourage drainage away from the building. The topsoil should be sodded or seeded to encourage grass growth.

Inspection:

SMDA should be called to inspect at the following project stages at a minimum:

- following mobilization of equipment but prior to any excavation
- during discussions with archeological staff to determine location of French drain and to confirm location of all excavations
- following excavation
- prior to placing any new material
- in the event that unexpected conditions are encountered

(August 10, 2017)

SMDA should be called to inspect at the following project stages at a minimum:

- following removal of siding and roof shingles
- following exposure of sill beams
- following removal of doors and windows
- prior to placing any new material
- prior to re-installation of doors and windows
- in the event that unexpected conditions are encountered

Siding Repair:

The potting shed siding is generally in very poor condition. Siding consists of horizontal clapboards on the north, east and west elevations and vertical board and batten siding on the south elevation. The board and batten is very deteriorated with many of the battens missing. The clapboard is generally better but with many obvious loose and missing pieces. There are also many instances of inappropriate repair. The windows, sills and doors are all badly deteriorated.

In the event that the budget permits some repair of the potting shed siding will be carried out according to a conservation plan developed once the extent of available funds is known. The conservation plan will likely concentrate on stabilization and protection of the potting shed as opposed to improvement of visual appearance. Generally the work plan will include:

- inspection and identification of areas of loose, missing or deteriorated siding*
- prioritization of areas to be repaired or replaced*
- concentration will be on prevention of water or animal infiltration as opposed to visual appearance*
- repairs will be well-fitted and neat but will generally not attempt to blend with existing materials – will appear as patches*
- welded wire mesh will be applied over cracks and gaps to keep out animals*



Neatly fitted wire mesh used to keep out rodents

(August 10, 2017)

All recommendations and requirements as regards the barn siding replacement, window conservation and roof shingle replacement discussed above shall apply equally to the potting shed siding replacement, window conservation and roof shingle replacement.

The potting shed is presently vertical board siding (no battens) on the south elevation and horizontal wood siding on the other elevations. All of the siding shows extensive deterioration. The horizontal wood siding is held in place by newer dipped galvanized nails while the vertical boards are older square nails (with some newer nails from later repairs). Research conducted by a review of available historic photographs is inconclusive as regards whether the building was originally one siding material or varied, as presently existing. Consequently, the conservation methodology is to retain the existing condition and to replace the deteriorated materials like-for-like.



Existing siding detail showing differential nailing pattern. Horizontal siding at left fastened with newer, round galvanized nails. Vertical siding at right fastened by older, non-coated square head nail

The proposed replacement of the potting shed sill beam will require a conservation methodology to be developed on-site once some initial demolition, excavation and exploration of this area is undertaken.

Replacement sill beam to match existing sill in size and means of attachment to other members.

Replacement sill beam to be heavy-duty pressure-treated suitable for ground contact and meeting the standards of the American Wood Protection Association UC4B or similar.

Submittals:

Contractor will be required to submit to SMDA and the City of Mississauga the following:

- details of preferred material suppliers*
- samples of proposed materials*

(August 10, 2017)

- samples and specifications of pressure treated wood material*
- samples and/or shop drawings of proposed joinery techniques (to match existing, as applicable)*

- Provide the conservation policies to be used in this project (i.e. what conservation principles will be used to ensure long term conservation, maintenance, monitoring, and sustainable use of the property)

BARN: Generally the existing building is in good condition, appears to have had regular routine maintenance and the work proposed is limited to the replacement of existing deteriorated elements that left un-repaired will allow moisture and animal intrusion into the building and threaten its long term viability. Only deteriorated items will be replaced and serviceable elements will be repaired and retained. The nature of the present and future use, the ownership by the City and the involvement of the Ontario Heritage Trust makes the likelihood of long term maintenance and sustainable use very high.

POTTING SHED: The Potting Shed is in much poorer condition and has had poor and inappropriate maintenance. It also has suffered from moisture and animal intrusion but with more serious consequences to the building. This building will likely not survive much longer unless urgent work is done to stabilize it until a long term plan for conservation can be developed. The purpose of the proposed work here is to stabilize it by addressing the ground water issues and preventing further deterioration. If budget permits some urgently required maintenance on the siding will also be carried out.

(August 10, 2017) The conservation policies and intent of the Potting Shed are now similar to those of the Barn.

4. Statement of Heritage Intent

- An explanation is required that proposes the reasoning and considerations behind the choice of conservation treatments.

The conservation treatments proposed are the minimum maintenance requirements to allow the buildings to continue to function and survive in their present use.

- Statement as to why one period of restoration over another was selected, rationale for new interventions, background resources used such as principles and conventions of heritage conservation.

There is no restoration proposed as part of this project and no choice of period. The intention here is periodic maintenance.

- Statement as to the recording, inventory and disposition/retention of moveable cultural heritage resources (e.g. artifacts, archival material, salvaged material) and its incorporation into the conservation project.

It is recommended that any siding materials that are suitable for re-use are stored and conserved. Original square nails should also be stored and conserved.

5. Condition Assessment of the Cultural Heritage Resource(s)

- Condition report of the cultural heritage resource(s) and specific attributes, identifying any deficiencies or concerns.

This is discussed above.

- Detailed recommendations to mediate and prevent further deterioration. Direction as to use or change in use and how that relates to conserving the heritage attributes.

The purpose of the intervention on the barn is to provide routine maintenance that will prevent further deterioration. It is expected that routine re-inspection of the siding will be necessary as is typical with any wood-clad building, but no more so than any other similar structure.

The potting shed is in much poorer condition and will require a comprehensive inspection and management plan in the near future if it is to be conserved. The purpose of this intervention is to attempt to lessen the deterioration until this can take place.

(August 10, 2017) The intent and purpose of the intervention on the potting shed is now similar to that of the barn.

- Outline opportunities and constraints with relation to all aspects of the project (i.e. budget, planning issues, public access, long term needs)

Budgetary constraints limit what can be done to the potting shed now. There are no planning issues or other similar considerations.

(August 10, 2017) Budget now allows for additional work on the potting shed.

- Recommendations for conservation treatments that reference the framework provided in Parks Canada Standards and Guidelines for the Conservation of Historic Places In Canada.

See Appendix at end of this document.

6. Building System and Legal Considerations

- Statement to explain the building and site use from a practical, logistical and legal perspective

These buildings presently function as ancillary buildings to the Benares museum. There is no public access to the buildings and minimal programming associated with them. They are used for incidental storage by the museum.

- Input from structural, mechanical, electrical, planning, geotechnical, trades, and all other required fields of expertise to ensure the project is viable and sustainable. Building and site system review may include:

- Site Work (e.g. landscaping, drainage, servicing)

Proposed site work is minimal and not expected to require professional engineering services but they will be called if unexpected conditions are encountered

- Trees, shrubs, other plantings

There is expected to be minimal impact on trees and plantings

- Archaeological concerns and mitigation

The Ontario Heritage Trust will be on site to do the necessary archaeological investigations and to direct where to excavate for the French drain.

- Structural elements (e.g. foundation, load bearing)

Professional engineering review will be called upon in the event that these situation are encountered

- Building Envelope (roof, wall cladding, window type), Ontario Building Code, Accessibility

SMDA are the architectural consultants on the project. There are no accessibility issues

- Mechanical, Plumbing, Electrical

No mechanical, plumbing or electrical work is proposed

- Finishes and Hardware

No significant new finishes or hardware are proposed

- Fire Safety and Suppression

No fire safety or suppression work is proposed

- Environmental Considerations, Lighting, Signage and Wayfinding, Security

No significant environmental considerations are expected. There is no requirement for lighting, signage, wayfinding or security as part of this proposal.

- Legal Considerations (e.g. easements, encroachments, leasing, etc.)

The present owners are also the operators of the building. There are no leasing arrangements. There are no encroachments. There is a heritage easement in favour of the Ontario Heritage Trust.

7. Work Plan

- Timeline to describe, in chronological order, to meet the objectives and goals Statement as to specialized trades or skills that will be required to complete the work

The work will consist of:

-this is summarized above

The work will require qualified local trades but nothing particularly specialized. It is not expected that it will be difficult to find trades to execute the work.

- Proposed budget to meet and sustain the goals and timeline; long term and short term maintenance schedule

The budget has not been finalized. The City of Mississauga owns a number of heritage buildings and is aware of the cost of maintenance.

- Monitoring schedule, process and identify those responsible for monitoring

This is discussed above.

8. Qualifications

- Heritage Conservation Management Plans will only be prepared by accredited, qualified professionals with demonstrated experience in the field of heritage conservation
- Conservation Plans are usually a multidiscipline exercise whereby all consultants on the project must demonstrate accredited professionalism, experience and knowledge in their chosen field of expertise

9. Additional Information

- Bibliography of all documentation resources
- List of consultants and other professionals related to the project

A CV for Rick Mateljan of SMDA is included.

10. Additional Reports that may be required:

- Archaeological report, Arborist's report, Structural engineering report

Noted above

- Any other report that City staff may require to assess the project

11. Approval Authority

The City of Mississauga will be the approval authority for a Heritage Conservation Management Plan

Contact Information:

Inquiries regarding the submission and requirements of a Heritage Conservation Management Plan should be addressed to Heritage Planning, Culture Division, City of Mississauga

Email: culture.division@mississauga.ca

APPENDIX:

Commentary based on Parks Canada Standards and Guidelines for the Conservation of Historic Places In Canada

1. Conserve the heritage value of a historic place. Do not remove, replace or substantially alter its intact or repairable character-defining elements. Do not move a part of a historic place if its current location is a character-defining element.

Only removal of deteriorated elements is proposed. No movement of any part of the building is proposed.

2. Conserve changes to a historic place that, over time, have become character- defining elements in their own right.

No changes to character-defining elements are proposed

3. Conserve heritage value by adopting an approach calling for minimal intervention.

The proposed intervention to these buildings is as minimal as possible.

4. Recognize each historic place as a physical record of its time, place and use. Do not create a false sense of historical development by adding elements from other historic places or other properties, or by combining features of the same property that never coexisted.

There is no attempt to create a false sense of development.

5. Find a use for a historic place that requires minimal or no change to its character-defining elements.

The ongoing use is an excellent and appropriate use of this property.

6. Protect and, if necessary, stabilize a historic place until any subsequent intervention is undertaken. Protect and preserve archaeological resources in place. Where there is potential for disturbing archaeological resources, take mitigation measures to limit damage and loss of information.

Both of these buildings will be protected and stabilized as a result of this intervention. The Ontario Heritage Trust has done extensive archeological work on this site previously and will manage this part of the project now.

7. Evaluate the existing condition of character-defining elements to determine the appropriate intervention needed. Use the gentlest means possible for any intervention. Respect heritage value when undertaking an intervention.

These are gentle interventions to these buildings.

8. Maintain character-defining elements on an ongoing basis. Repair character- defining elements by reinforcing their materials using recognized conservation methods. Replace in kind any extensively deteriorated or missing parts of character-defining elements, where there are surviving prototypes.

Noted. This is exactly the purpose of this intervention

9. Make any intervention needed to preserve character-defining elements physically and visually compatible with the historic place and identifiable on close inspection. Document any intervention for future reference.

The new siding material on the barn will be identifiable at first but will eventually fade and come to match the patina of the existing. There will be no identifiable change to the potting shed. The buildings will be thoroughly photo-documented prior to work commencing.

(August 10, 2017) The appearance of the potting shed will change because of the replacement of the siding but this will naturally weather with time.



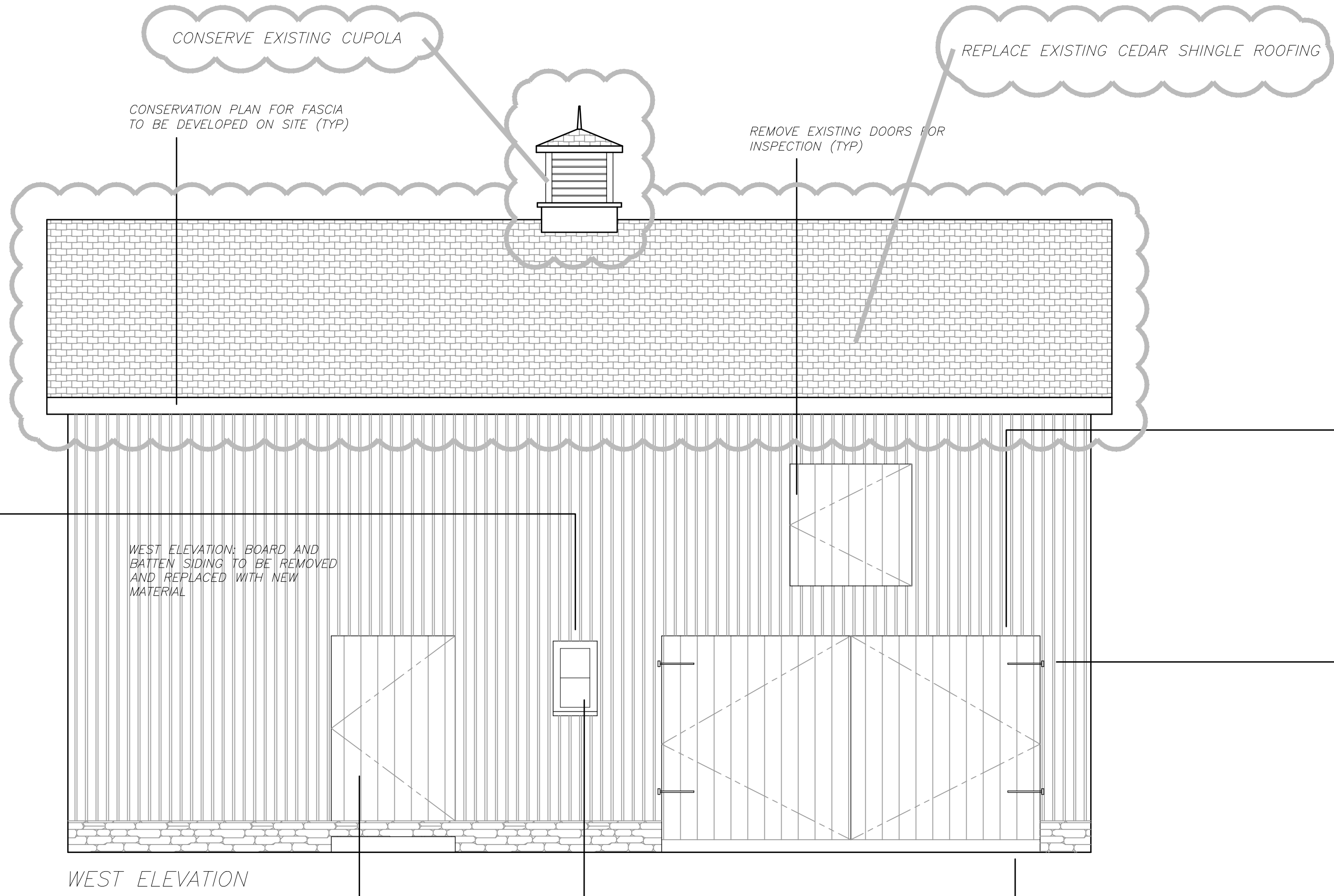
WEST ELEVATION



WINDOW — NOTE DETERIORATION AT LOWER SASH, SILL



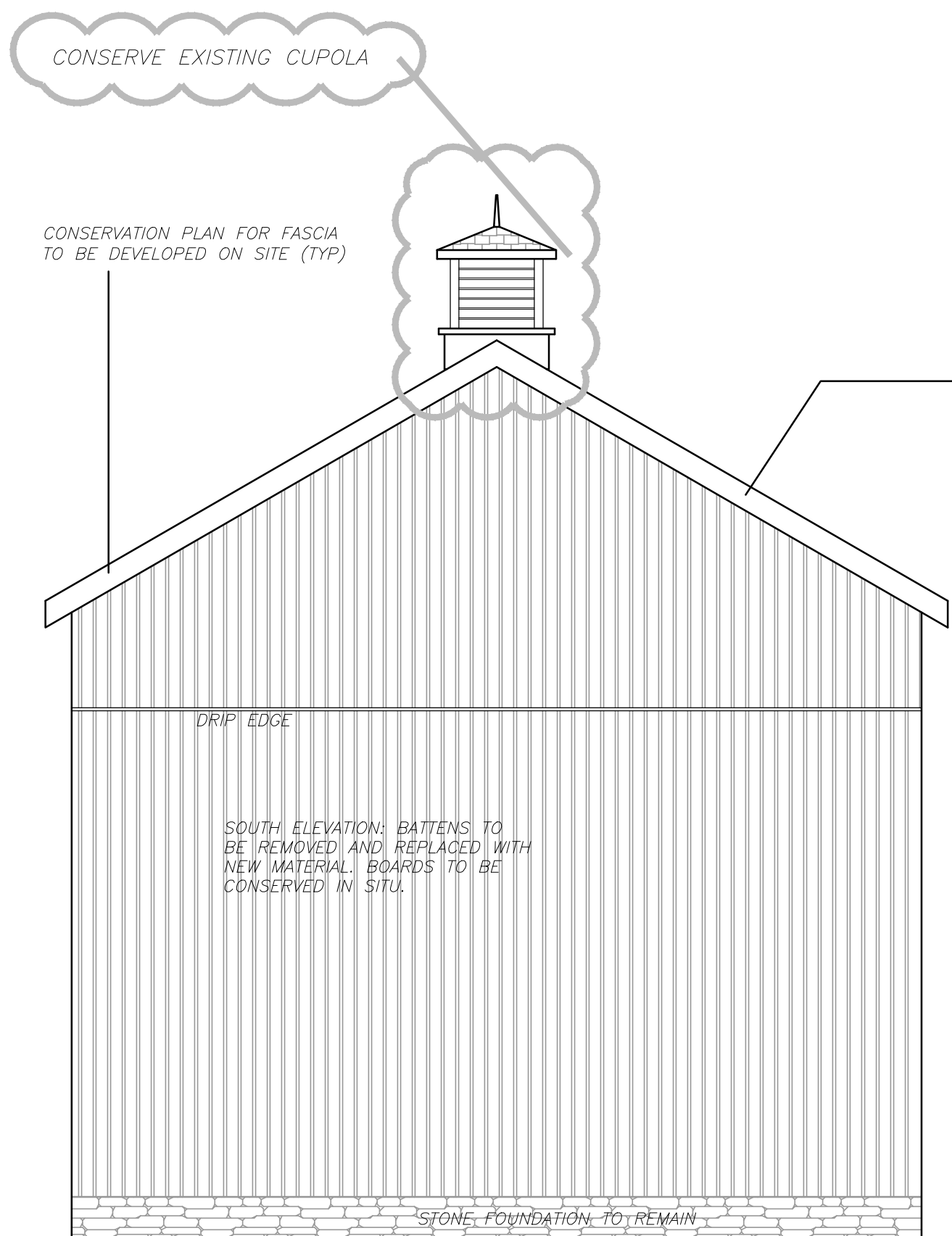
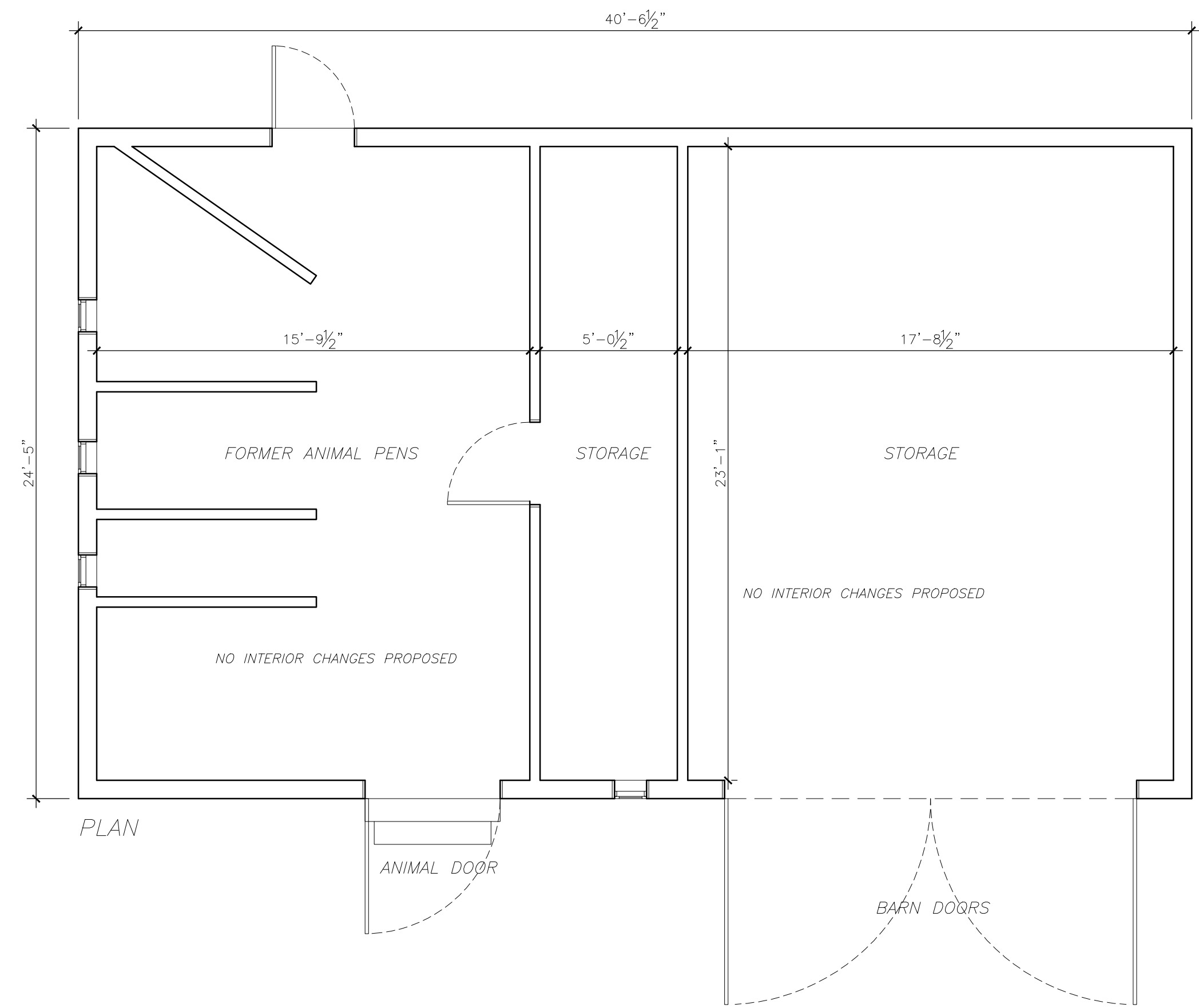
DOOR — NOTE DETERIORATION AT LOWER EDGE (TYPICAL FOR ALL DOORS)



DOOR — NOTE GENERAL DETERIORATION, SAGGING OF DOOR PANELS. ALL DOORS ARE TO BE REMOVED AND ASSESSED ON-SITE AND REPAIRED ON SITE IF POSSIBLE. IF REPAIRS ON SITE ARE NOT POSSIBLE DOORS ARE TO BE SENT TO SPECIALIST FOR OFF-SITE CONSERVATION



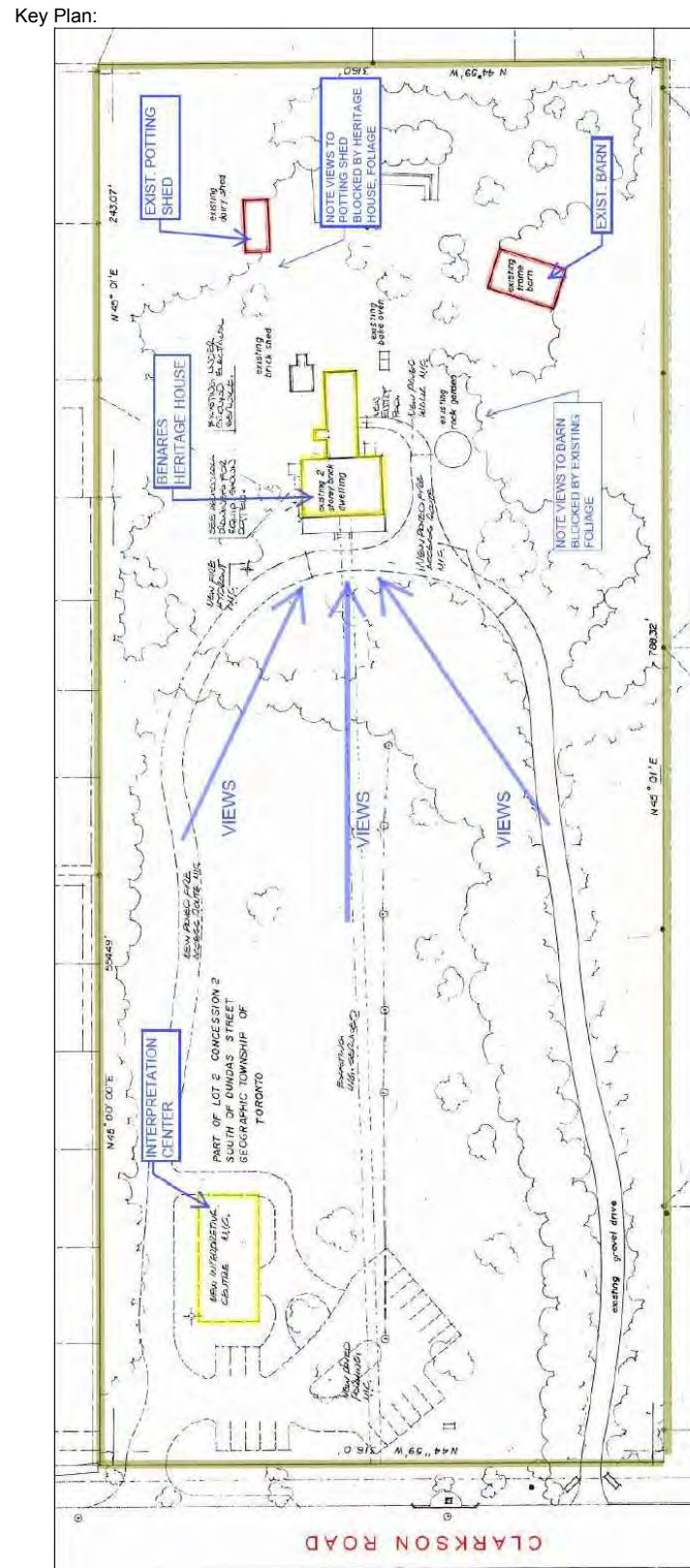
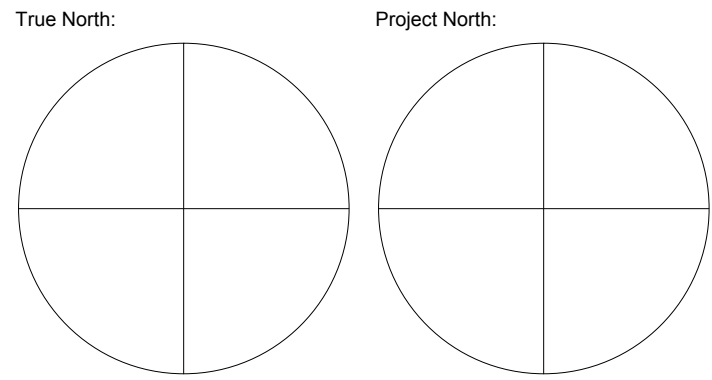
DOOR — NOTE ORIGINAL METAL STRAP HINGE AND ORIGINAL HARDWARE. THIS MUST BE CONSERVED AND RE-USED. NOTE ORIGINAL WOOD DRIP EDGE ABOVE



SOFFIT — NOTE HOLES GNAWED BY ANIMALS SEEKING ENTRY INTO BUILDING



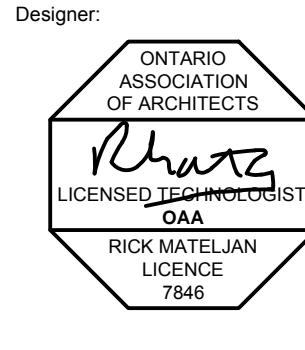
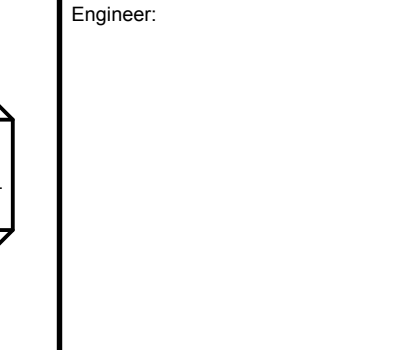
SOUTH ELEVATION — NOTE WOOD DRIP EDGE DETAIL BELOW GABLE END



4	Aug 3 17	Revised Scope	R.M.
3	Mar 30 17	Heritage Permit Application	R.M.
2	Mar 28 17	Client Review	R.M.
1	Mar 17 17	Preliminary Review	R.M.
No.	Date	Issued/Revision	By:

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Designer:  Engineer: 

Project:
Benares Estate
City of Mississauga
1507 Clarkson Rd. N
Mississauga, ON

Sheet Title:
Barn West Elevation
Barn South Elevation
Barn Plan

Design By:	Drawn By:	Approved By:
R.M.	R.M.	R.M.
Scale:	Date:	Project No:
1/4" = 1'0"	March 17, '17	17.09

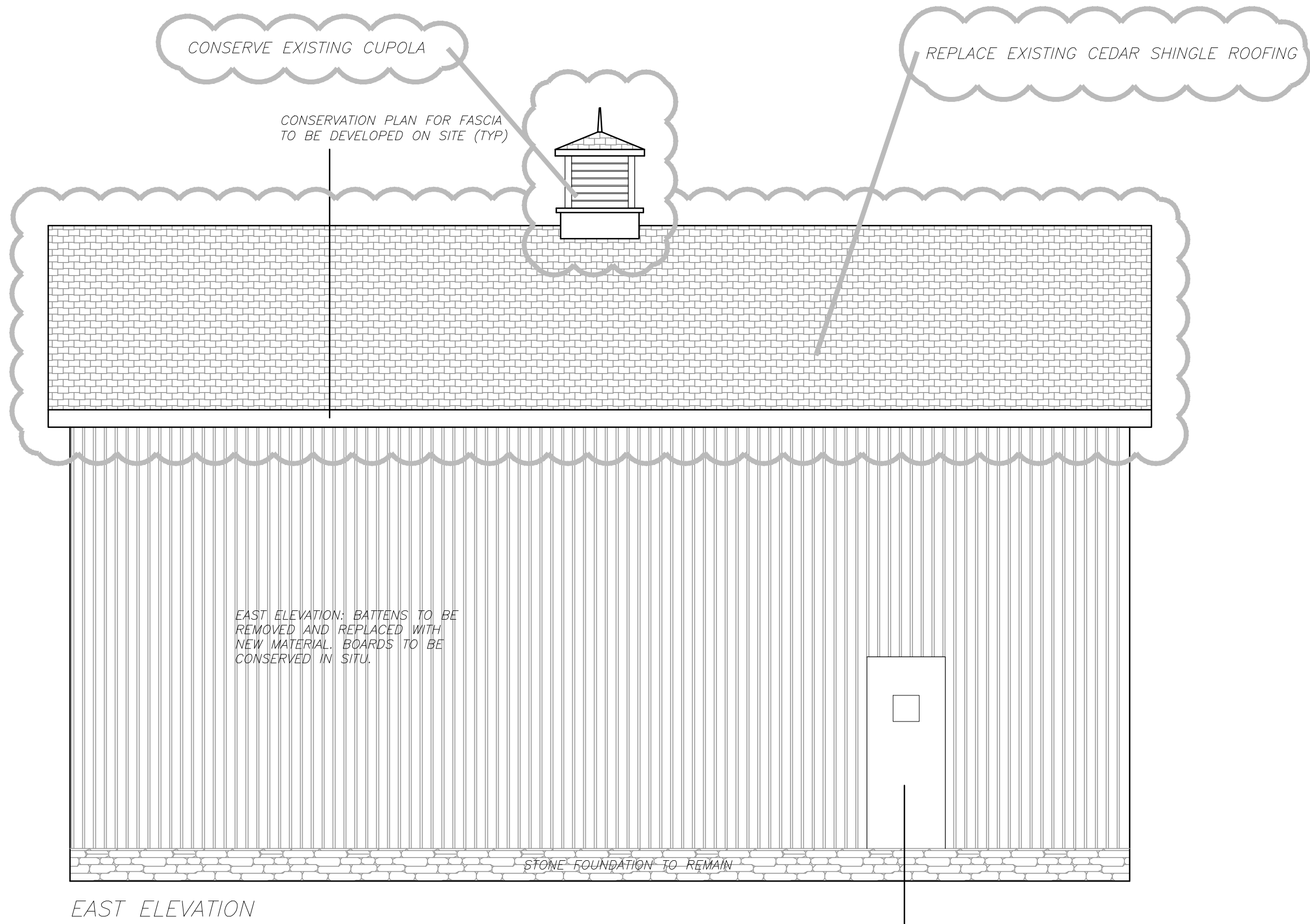
Drawing No:
A001.0



EAST ELEVATION



1 X 12 (NOMINAL) ROUGH SAWN KILN DRIED PINE BOARDS
SOURCE: HOFFMEYERS MILL, 189 HURON RD., SEBRINGVILLE ON



EAST ELEVATION



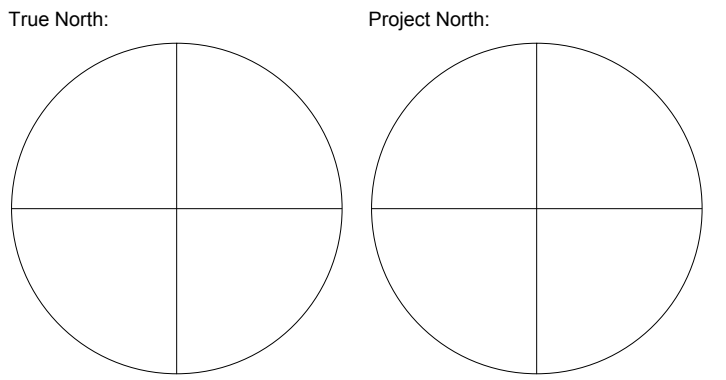
NORTH-EAST OBLIQUE VIEW



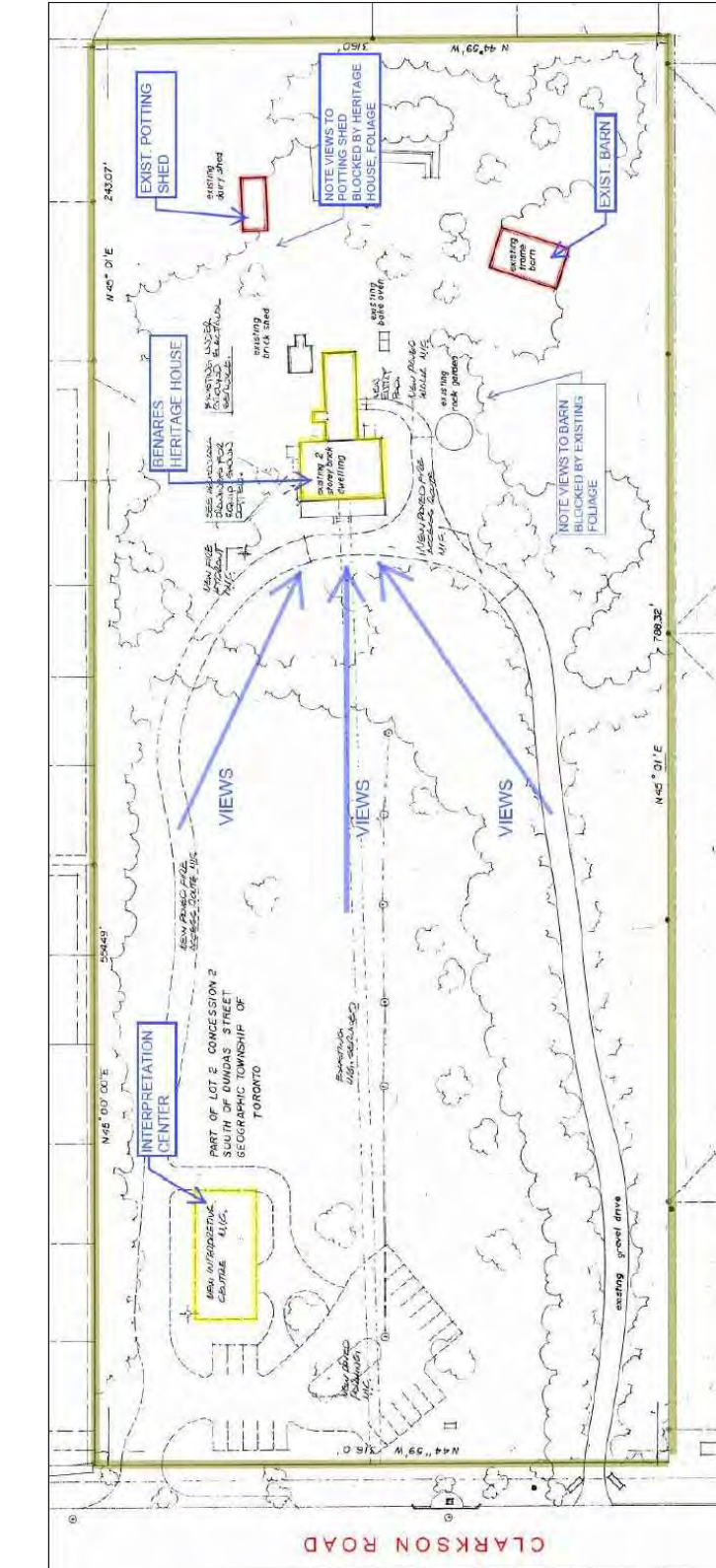
GENERAL DETERIORATION OF CEDAR SHINGLES



10CM HOLE IN EXISTING ROOF



Key Plan:



4	Aug 3 17	Revised Scope	R.M.
3	Mar 30 17	Heritage Permit Application	R.M.
2	Mar 29 17	Client Review	R.M.
1	Mar 17 17	Preliminary Review	R.M.
No.	Date	Issued/Revision	By:

SM
DA



**Strickland
Mateljan**
Design + Architecture

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Designer:

Engineer:



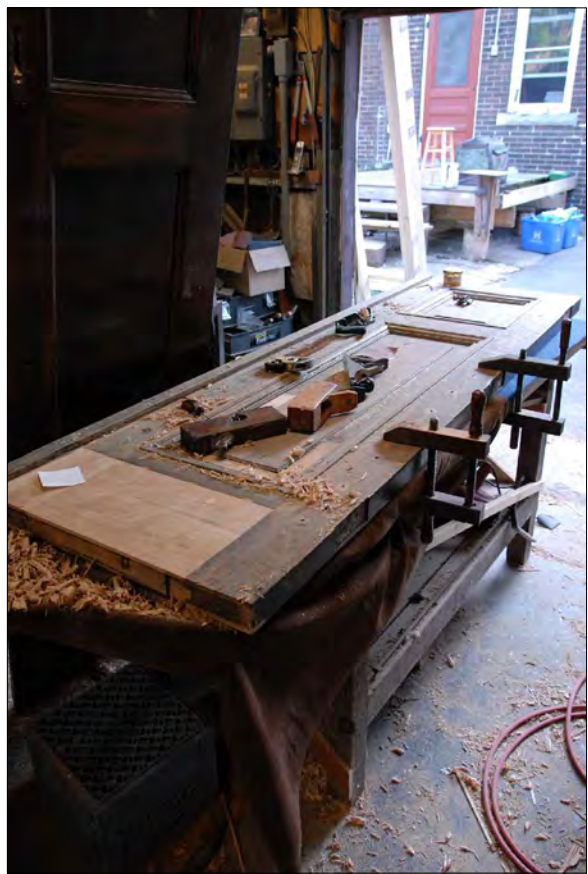
Project:
Benares Estate
City of Mississauga
1507 Clarksson Rd. N
Mississauga, ON

Sheet Title:
Barn West Elevation
Barn South Elevation
Barn Plan

Design By:	Drawn By:	Approved By:
R.M.	R.M.	R.M.
Scale:	Date:	Project No:
1/4" = 1'0"	March 17, '17	17.09

Drawing No:

A002.0



EXAMPLE OF OFF-SITE CUSTOM WINDOW & DOOR CONSERVATION - NOTE NEW MATERIAL AT LOWER RAIL OF DOOR

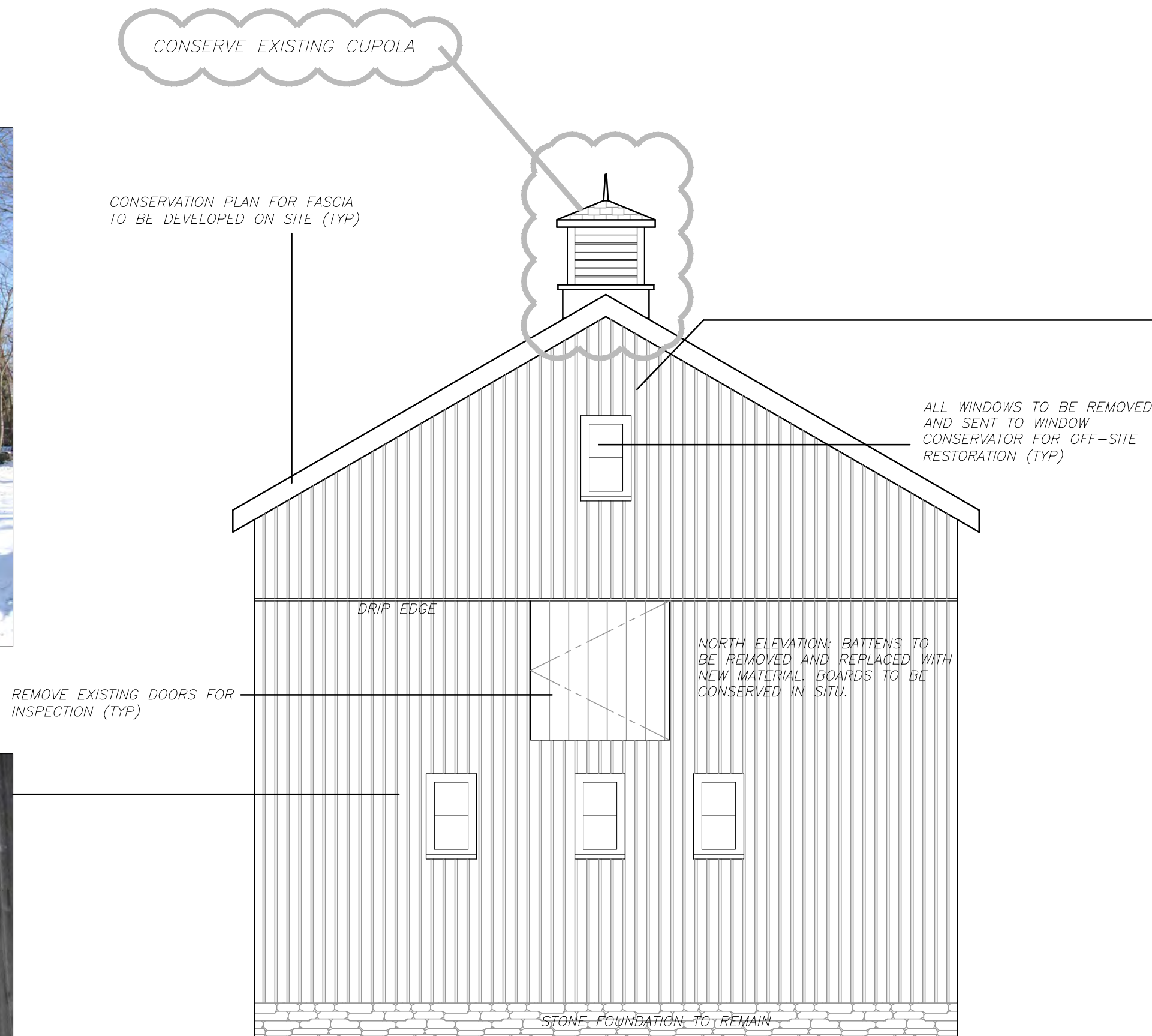
RECOMMENDED CONSERVATOR:
WALTER FURLAN CONSERVATION 905 383 3704



NORTH ELEVATION



WINDOWS AT NORTH ELEVATION - ALL WINDOWS TO BE REMOVED AND SENT TO WINDOW CONSERVATOR FOR OFF-SITE RESTORATION



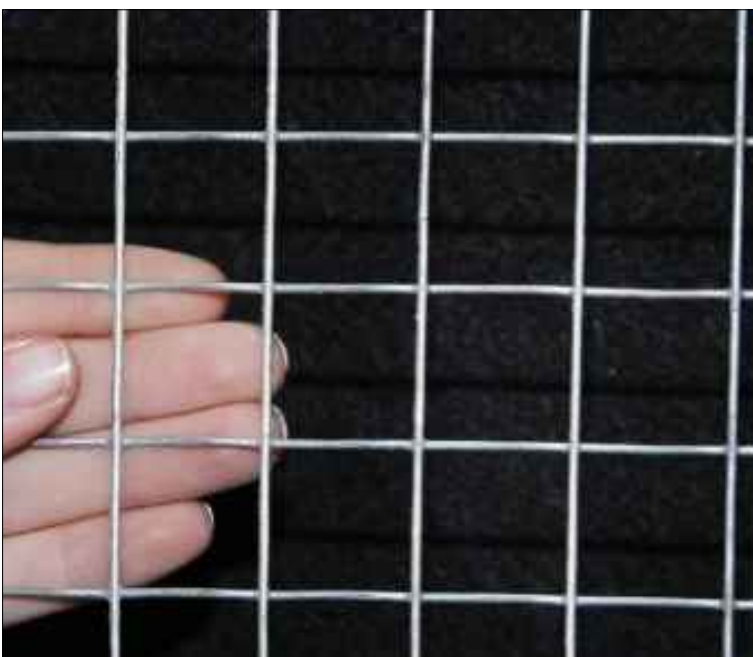
NORTH ELEVATION



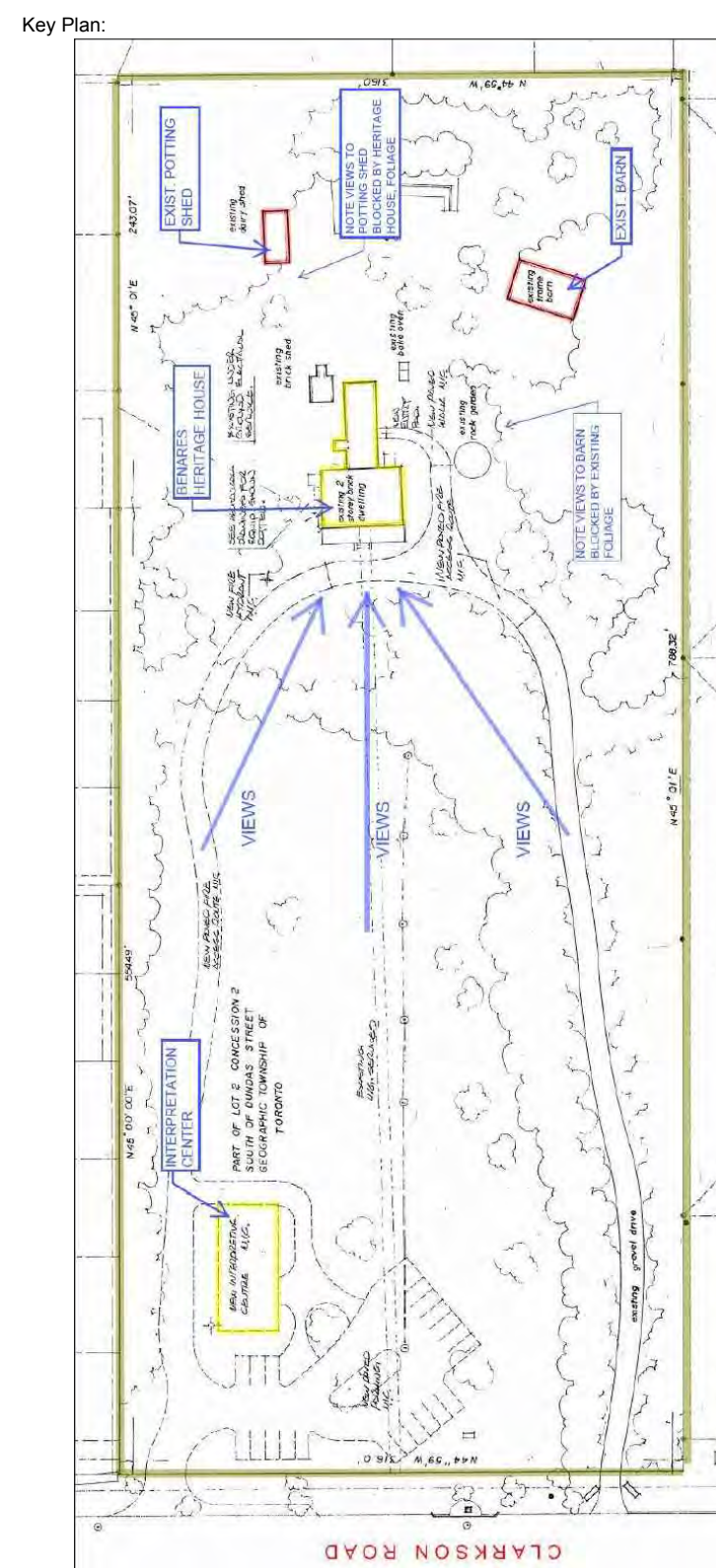
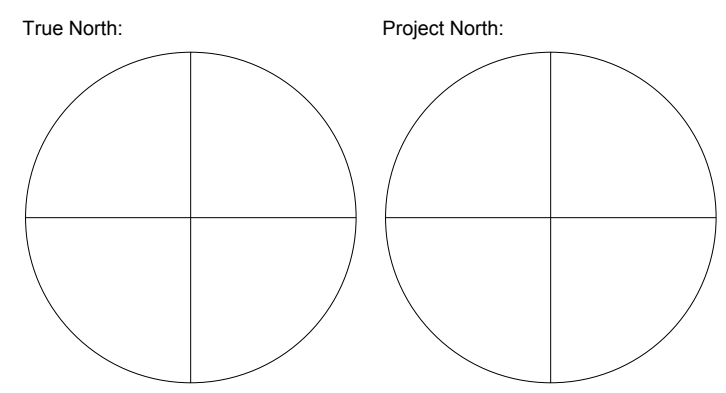
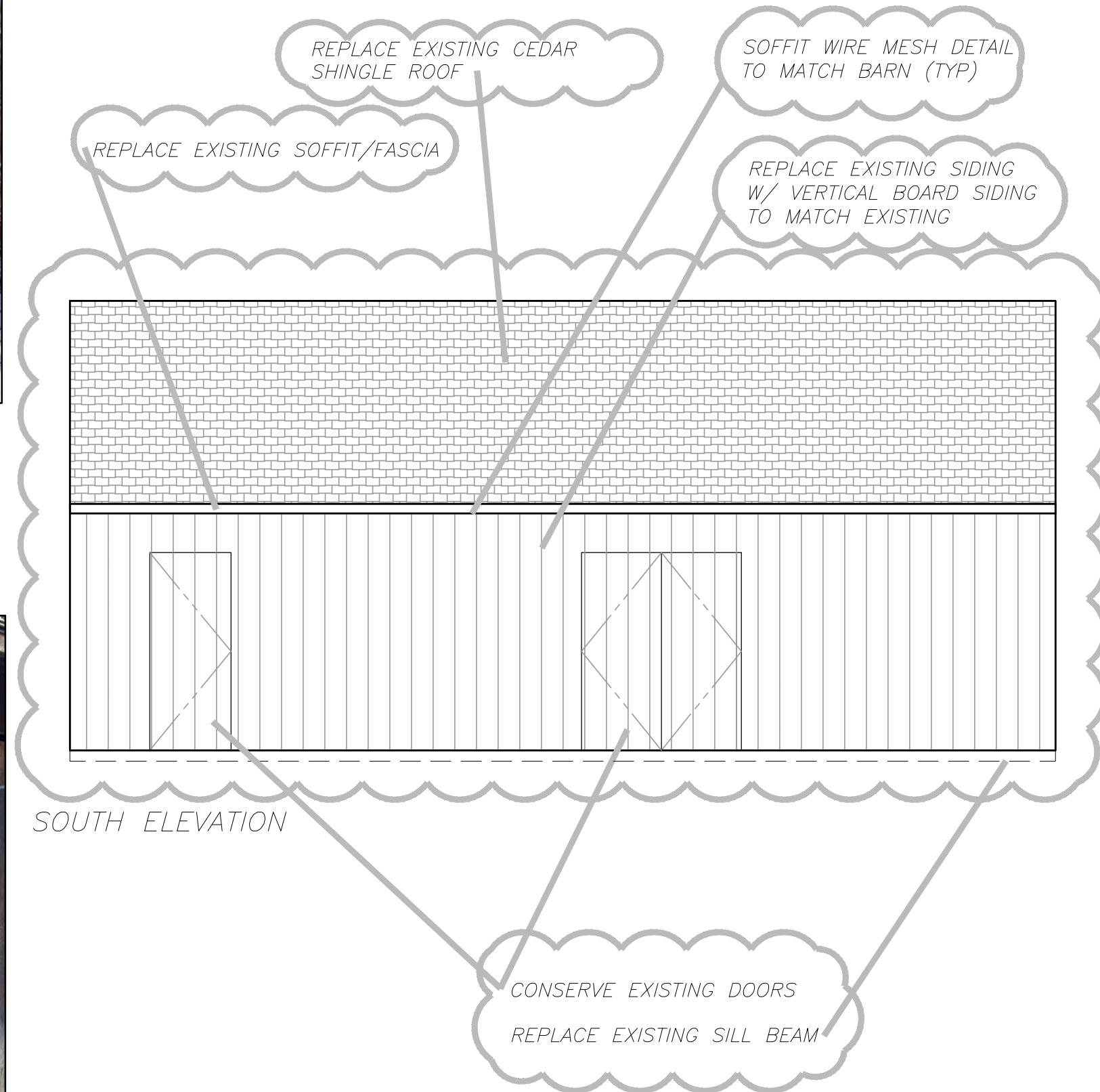
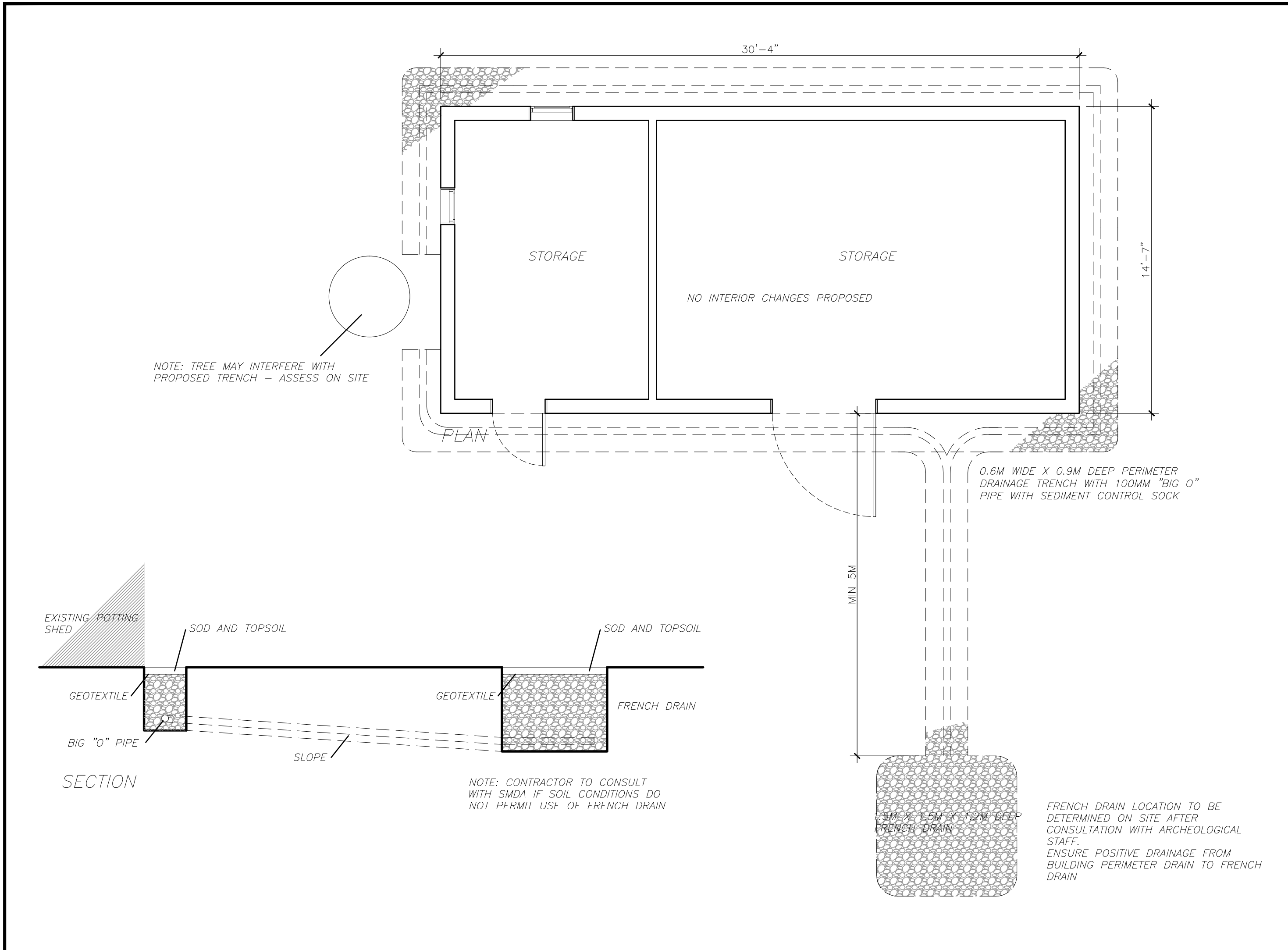
GABLE END - NOTE DETERIORATION AT WINDOW SILL AND TRIMS, DAMAGE FROM ANIMAL INFILTRATION AT SOFFIT, REPAIRED DAMAGED FROM ANIMAL INFILTRATION AT FASCIA



DETERIORATION OF CUPOLA



25MM X 25MM 10 GAUGE GALVANIZED WIRE MESH RECOMMENDED TO LINE SOFFITS TO DISCOURAGE ANIMAL ACTIVITY


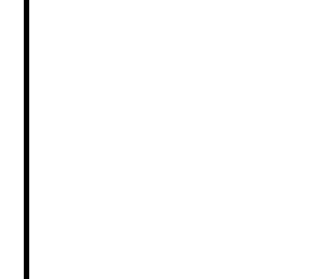


5	Aug 10 17	Potting Shed siding	R.M.
4	Aug 3 17	Revised Scope	R.M.
3	Mar 30 17	Heritage Permit Application	R.M.
2	Mar 29 17	Client Review	R.M.
1	Mar 17 17	Preliminary Review	R.M.

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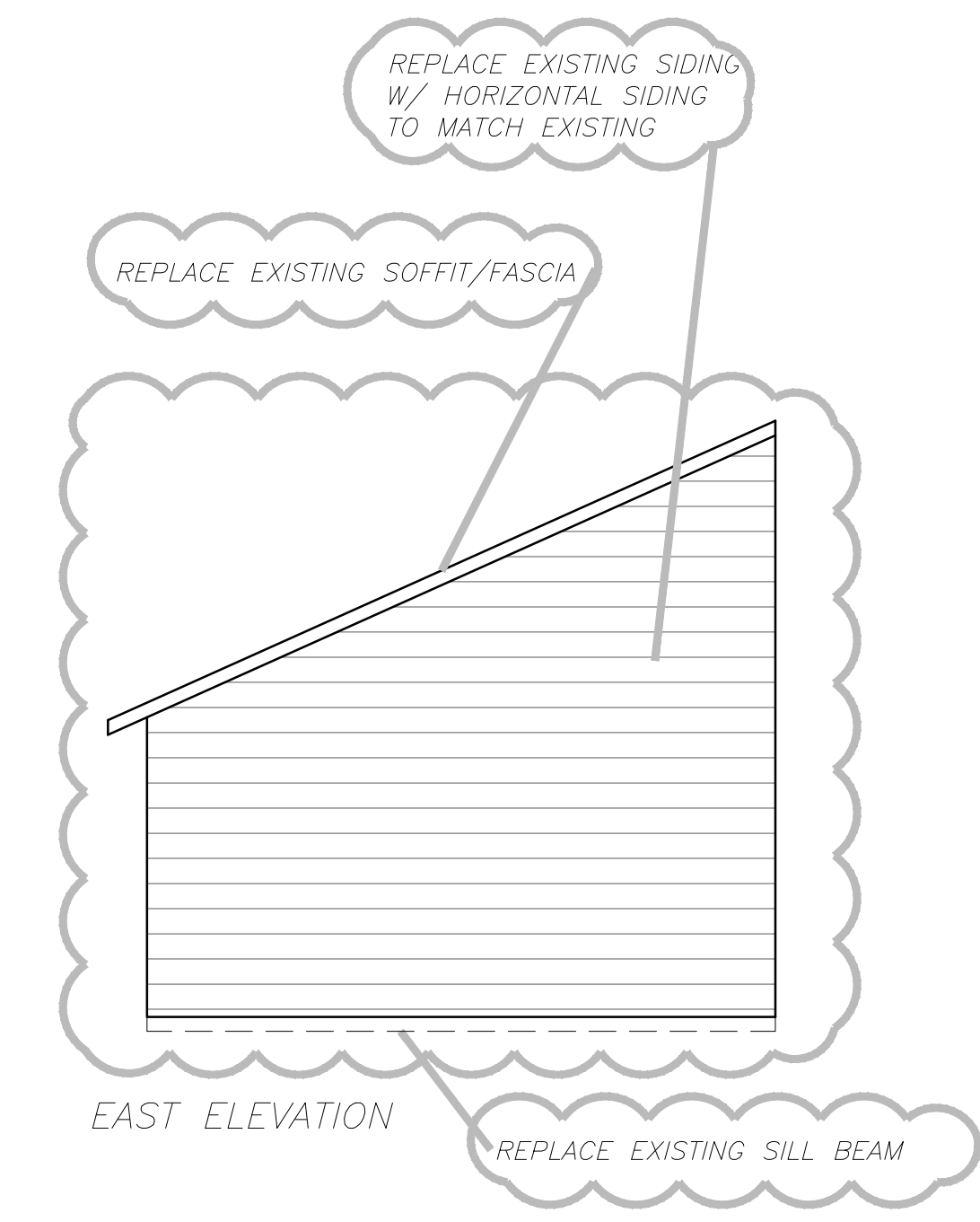
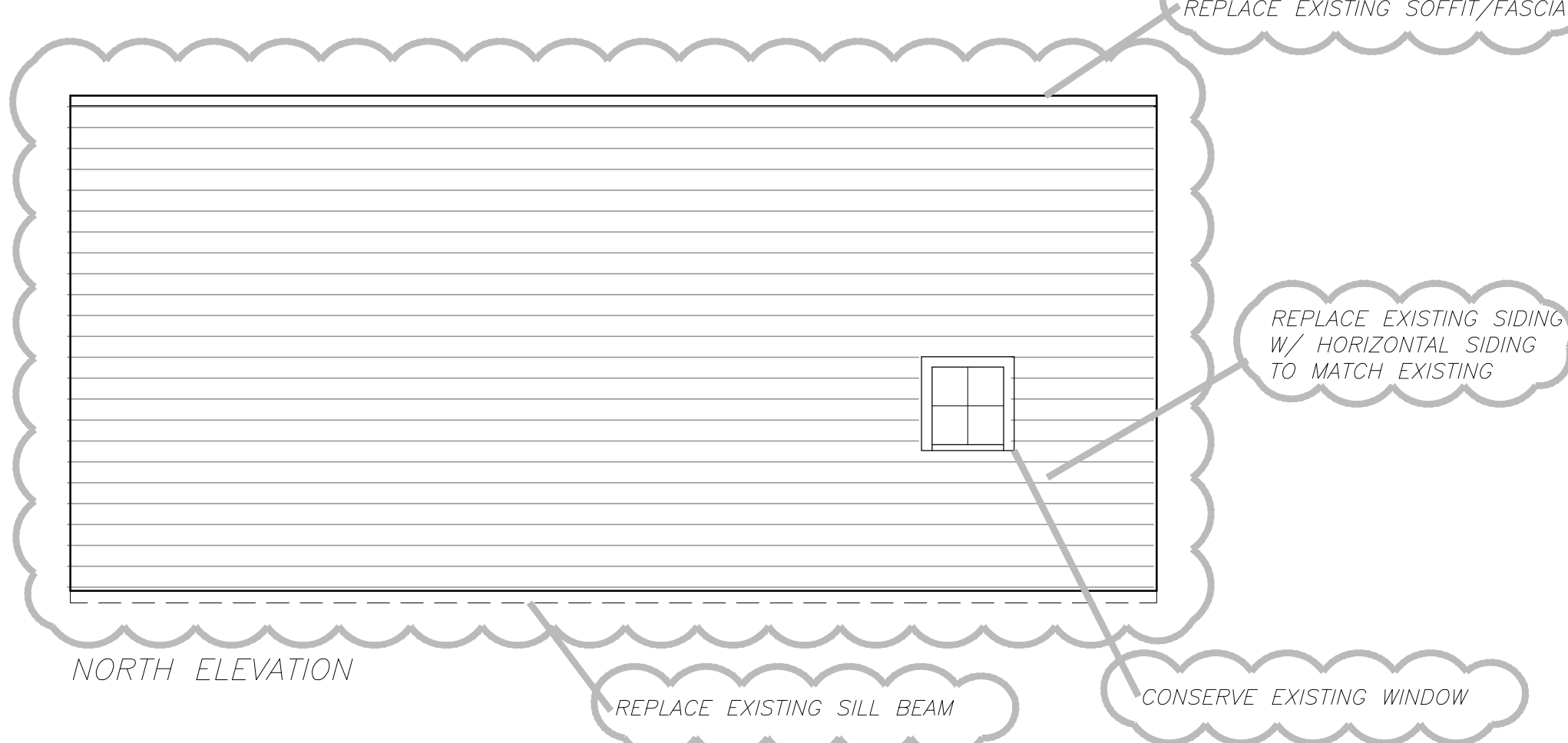
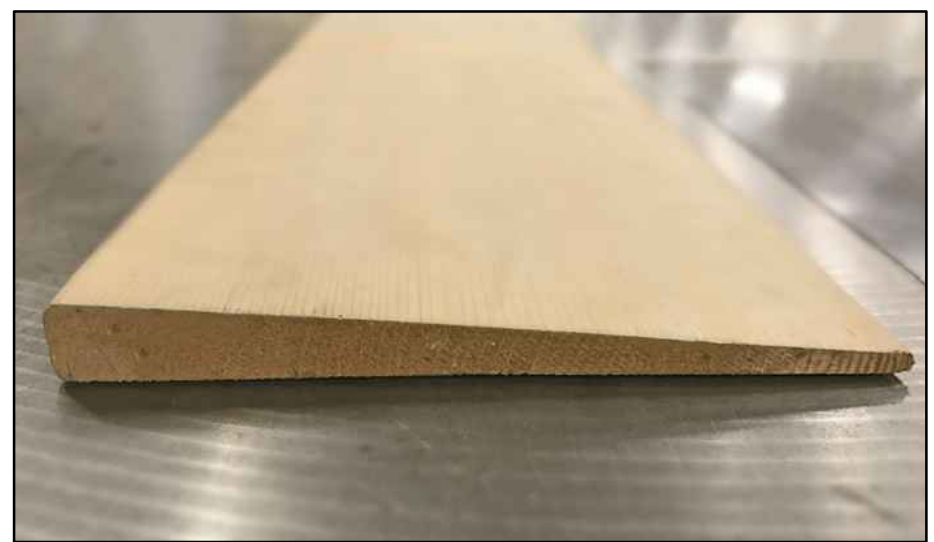
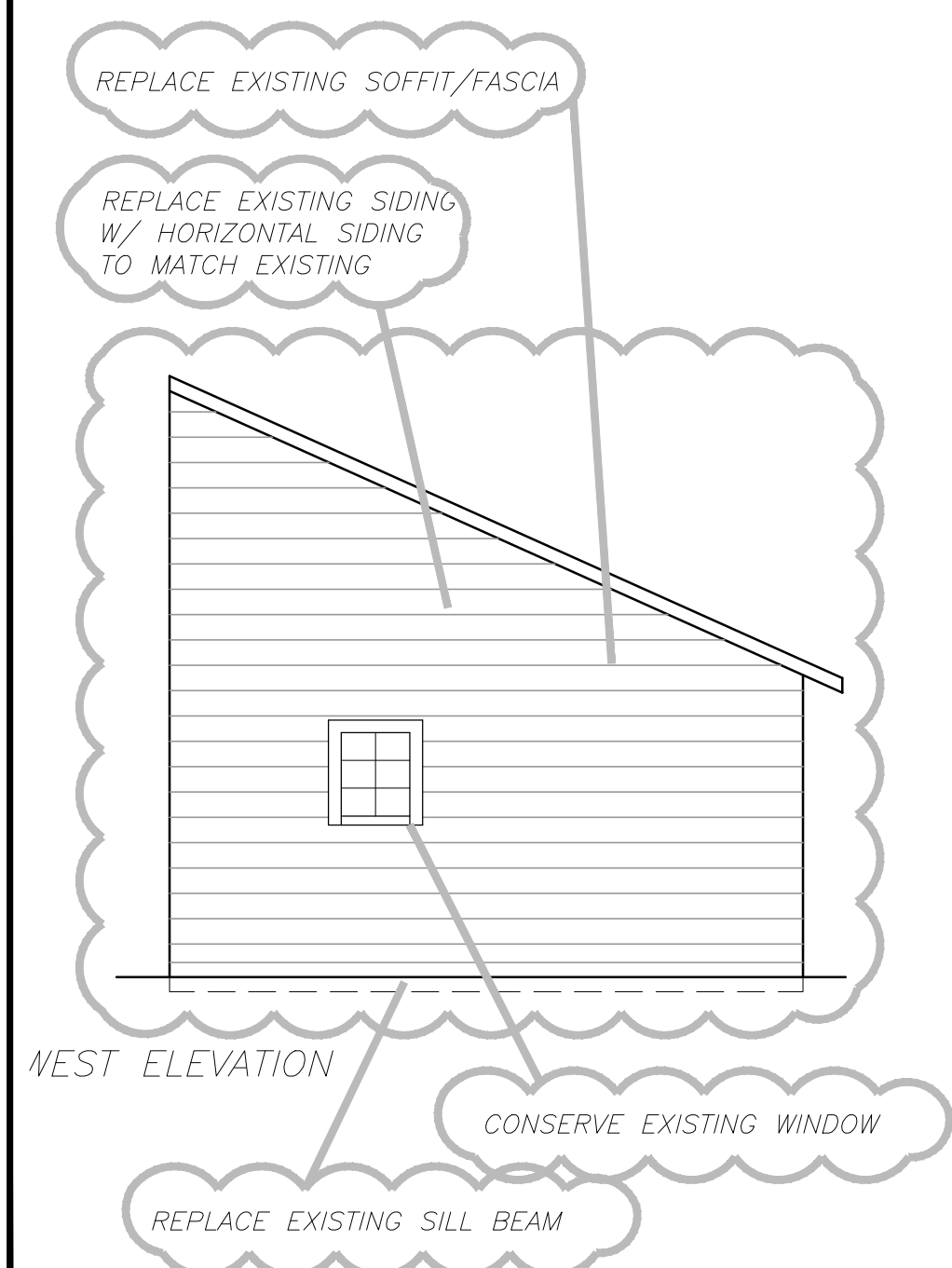
Designer:  Engineer: 

Project:
Benares Estate
City of Mississauga
1507 Clarkson Rd. N
Mississauga, ON

Sheet Title:
Potting Shed
Plans & Elevations

Design By:	Drawn By:	Approved By:
R.M.	R.M.	R.M.
Scale:	Date:	Project No:
1/4" = 1'0"	March 17, '17	17.09

Drawing No:
A003.0



City of Mississauga

Corporate Report



Date: 2017/08/10

To: Chair and Members of Heritage Advisory Committee

From: Paul Mitcham, P. Eng, MBA, Commissioner of
Community Services

Originator's files:

Meeting date:
2017/09/05

Subject

Request to Demolish a Heritage Listed Property: 2130 Mississauga Road (Ward 8)

Recommendation

That the property at 2130 Mississauga Road, which is listed on the City of Mississauga's Heritage Register, is not worthy of heritage designation, and consequently, that the owner's request to demolish proceed through the applicable process.

Background

Section 27.3 of the *Ontario Heritage Act* states that structures or buildings on property listed on the City of Mississauga's Heritage Register cannot be removed or demolished without at least 60 days' notice to Council. This legislation allows time for Council to review the property's cultural heritage value to determine if the property merits designation.

The owner of the subject property has submitted a heritage permit application to demolish and replace the existing detached dwelling. The subject property is listed on the City's Heritage Register as it forms part of the Mississauga Road Scenic Route cultural landscape. This cultural landscape is significant due to its scenic and visual quality as the road traverses a variety of topography and land use, from old established residential neighbourhoods to new industrial and commercial uses. Its landscape is of archaeological, design, technological interest as well as having historical interest and associations, illustrating important phases of Mississauga's history and displaying a consistent scale of built features.

The landscaping, urban design and conservation authority related aspects will be reviewed as part of the development review process, once an application is made to the City, to ensure the project respects the character of the surrounding community.

Comments

The owner of the subject property has requested permission to demolish the existing structure. The applicant has provided a Heritage Impact Assessment compiled by Megan Hobson, Built Heritage Consultant. It is attached as Appendix 1. The consultant has concluded that the house at 2130 Mississauga Road is not worthy of designation. Heritage Planning Staff concurs with this finding.

Financial Impact

There is no financial impact.

Conclusion

The owner of 2130 Mississauga Road has requested permission to demolish a structure on a property that is listed on the City's Heritage Register. The applicant has submitted a documentation report which provides information which does not support the building's merit for designation under the *Ontario Heritage Act*. Heritage Planning Staff concurs with this finding.

Attachments

Appendix 1: Heritage Impact Assessment



Paul Mitcham, P. Eng, MBA, Commissioner of Community Services

Prepared by: P. Wubbenhorst, Senior Heritage Coordinator

HERITAGE IMPACT ASSESSMENT



2130 Mississauga Road
Mississauga Road Scenic Route
Cultural Landscape

FINAL REPORT
28 July 2017

MEGAN HOBSON
M.A. DIPL. HERITAGE CONSERVATION
Built Heritage Consultant
45 James Street, Dundas, ON L9H 2J5
(905) 975-7080

mhobson@bell.net

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APPENDIX C: DRAWINGS	ATTACHED

1.0 BACKGROUND & METHODOLOGY

The subject property is located in the Mississauga Road Scenic Route Cultural Landscape. This report was prepared by heritage consultant Megan Hobson for the property owner of 2130 Mississauga Road as a requirement for obtaining a demolition permit to remove an existing 1-storey detached dwelling and site plan approval to construct a new 2-storey detached dwelling. This report was prepared in accordance with the City of Mississauga's *Terms of Reference for Cultural Landscape Heritage Impact Assessments* (2016).

A site visit was undertaken by Megan Hobson on June 7th, 2016 to assess and document the current condition of the property and its relationship to the neighbourhood. Historical research was carried out, including a title search to determine past ownership of the property, and relevant planning policies were reviewed.

2.0 LOCATION AND SURROUNDINGS

The subject property is located at 2130 Mississauga Road. It is located on the south side of Mississauga Road, east of Erin Mills Parkway and north of the Queen Elizabeth Highway. The property backs onto and is surrounded by a residential subdivision.



Location Map: 2130 Mississauga Road is located at the corner of Mississauga Road and Shawanaga Trail

The property is a corner lot and is situated on the southwest corner of Mississauga Road and Shawanaga Trail. The house is oriented towards Mississauga Road and has large front and rear yards.

There is a driveway entrance from Mississauga Road and no access from Shawanaga Trail. The front yard contains a number of large trees along Mississauga Road that screen the house from the road. The side yard is screened from Shawanaga Trail by a tall cedar hedge.



Aerial photograph of the subject property [Google Earth]

3.0 SITE DESCRIPTION

See Appendix A: Site Photos

See Appendix B: Drawings (Site Plan and Measured Floor plans)



The subject property contains a bungalow that was built c. 1957. The front elevation facing Mississauga Road has Mid-Century Modern architectural features (above) but the rear elevation is very pedestrian (below). This inconsistency is typical of mid-20th century builder-designed suburban housing.

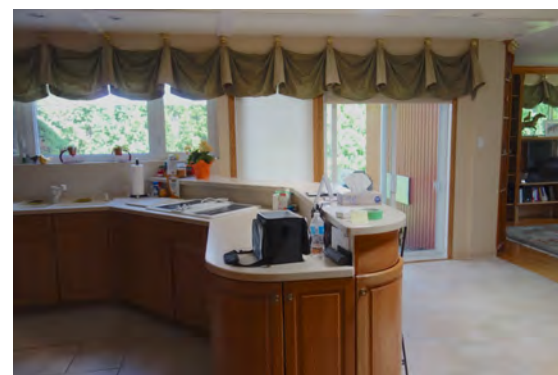
The subject property contains a one-storey residence with a raised basement and an integrated 2-car garage. The roof is a shallow pitched A-frame roof with a wide overhang. The primary cladding

materials are yellow brick and vertical synthetic siding with stone features on the main elevation, including a central chimney and low walls in front of the foundation that have integrated planter boxes at the front entrance. There are inset porches on the front and side elevation. Window styles are varied and include a trapezoidal feature window on the main elevation, horizontal strip windows on side elevations and oriel and tripartite windows on the rear elevation.



Front entrance (left) and side porch (right)

The interior of the main floor has an open plan with the kitchen in the centre, a large sunken living and dining room at the front and a small family room at the back. The kitchen opens out onto a covered porch that has a cutout roof with skylights. All of the principal rooms have large banks of windows. There is a small hallway from the kitchen to the bedrooms and bathrooms.



Living room (left) and kitchen (right)

The basement level is very open and contains additional living and recreational spaces including a small kitchen and a bar. There are utility rooms around the perimeter and storage rooms behind the garage. There is access to the back yard from the basement.



The house is sited in the centre of a large lot that has a 100 ft. frontage on Mississauga Road and a 200 ft. frontage on Shawanaga Trail. The house is set well back and has a large landscaped front yard and side yard. The front yard is bordered by large trees that screen the house from Mississauga Road.



View towards Mississauga Road showing mature conifers in the front yard

The rear yard contains a large and level lawn that is bordered with planting beds and there is a dining gazebo at one end of the lawn. There are no large trees in the rear yard. The side yard that runs along Shawanaga Trail contains a lawn and there is a tall cedar hedge that screens the side yard from the road. The other side yard beside the garage is very narrow and consists of a path between the garage and the property line. There is a chain link fence along this side and the house on the adjacent property also has a narrow side yard.



Cedar hedge along the side property line on Shawanaga Trail

The only entrance to the property is from Mississauga Road. The driveway is paved with asphalt and there is a concrete sidewalk and curb in front of the property along Mississauga Road. There are no sidewalks on Shawanaga Trail but there is a grass boulevard and concrete curb. There is a small parking pad in front of the house with stone paving and the path to the main entrance is also paved with stone.



Driveway from Mississauga Road

4.0 PLANNING CONTEXT

The City of Mississauga adopted a *Cultural Landscape Inventory* in 2005. All of the properties listed on the *Cultural Heritage Inventory* are listed on the *City's Heritage Register*. Under City policy 7.4.1.12, the City of Mississauga seeks to conserve, record and protect its heritage resources and a *Heritage Impact Assessment* is required for any "construction, development, or property alterations that might adversely affect" those resources. The *Heritage Impact Assessment* must be prepared by a qualified heritage consultant and must satisfy the *Terms of Reference for Cultural Landscape Impact Assessments* (2016).

The subject property is identified in the *Cultural Heritage Inventory* as being part of the *Mississauga Road Scenic Route Cultural Landscape (F-TC-4)*. The *Inventory* provides a general description of the character of this resource and includes a checklist of natural and cultural values associated with it. The Mississauga Road Scenic Route Cultural Landscape is described as follows:

SITE DESCRIPTION

Mississauga Road is one of the oldest roads in Mississauga. Its alignment varies from being part of the normal road grid in the north to a curvilinear alignment in the south following the top of bank of the Credit River. The scenic quality of the road is notable because it traverses a variety of topography and varying land use from old established residential neighbourhoods to new industrial and commercial areas. From Streetsville south the boulevards and adjacent landscapes are home to some of the oldest and most spectacular trees in the City. It is acknowledged as an important cultural landscape because of its role as a pioneer road and its scenic interest and quality

Values associated with the Mississauga Scenic Route identified in the *Inventory* are grouped under 4 headings and are:

- Landscape Environment
 - Scenic and visual quality
 - Horticultural interest
 - Landscape Design, Type and Technological Interest
- Historical Associations
 - Illustrates Style, Trend or Pattern
 - Illustrates Important Phase in Mississauga's Social or Physical Development
- Built Environment
 - Consistent Scale of Built Features
- Other
 - Historical and Archaeological Interest

The degree to which individual properties contribute to this character is not assessed. Due to considerable development pressure and the demand for large homes fronting on Mississauga Road, this cultural landscape has experienced a large number of demolitions and new development since 2005. New development is regulated by Official Plan policies and zoning by-laws and is subject to review, including heritage review, under the Site Plan Application process.

There are no specific heritage policies for new development within Cultural Heritage Landscapes. This area is zoned R1 for Detached Dwelling. New development in this area must be compatible with Zoning By-law 0225-2007 and is subject to the Site Plan Approval process. Recent development in this area consists mainly of large 2-2.5 storey homes with 3 or 4- car garages built out to the maximum buildable area permitted (ie; 25% lot coverage and minimum front yard set back of 7.5 m). Due to the large size of many of the lots fronting on Mississauga Road, this allows for substantially larger homes.

5.0 HISTORICAL CONTEXT

See Appendix B: Land Records

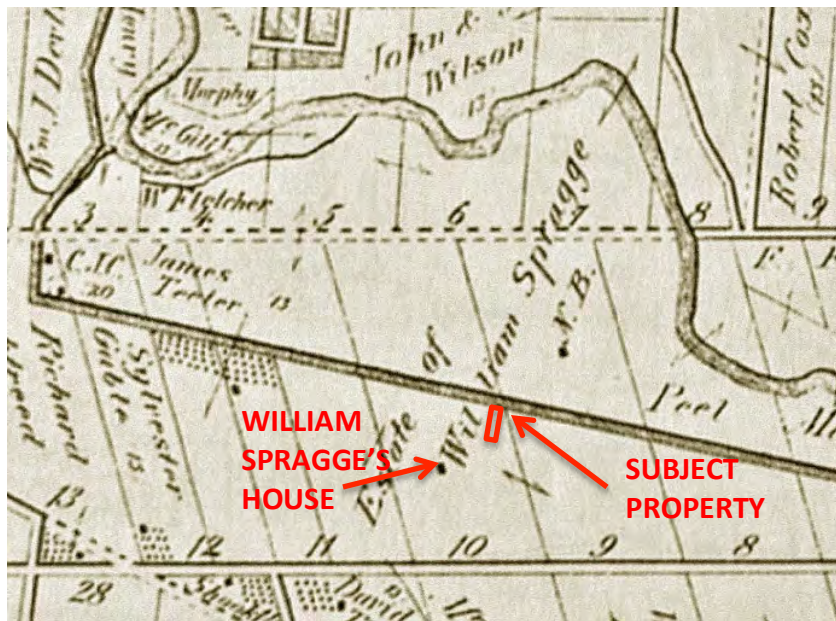
Historically this area was part of land reserved on either side of the Credit River for the Mississauga. In 1805 the Crown negotiated a large purchase of these lands from the Mississauga and it was surveyed into 200-acre lots. This area was divided into three 'ranges' and identified as the Credit Indian Reserve (CIR) in land documents. Lots located in the lower portion of the New Survey (1806) were aligned with the Credit River rather than the shoreline of Lake Ontario so the lots are slightly skewed in relation to other lots in Toronto Township. By 1847, the Mississauga had relocated elsewhere and the land was re-distributed by the Crown.

The subject property is located in Lot 10, Range III of the Credit Indian Reserve (CIR). Land records indicate that Frederick C. Capreol received the original patent for all of Lot 10 in 1855 but his name is crossed out in the copy book and a new patent registered by William Spragge's widow Martha appears in 1876. The Tremaine Map indicates that William Spragge owned Lots 9 & 10 in 1859 when that map was produced.



Location of the subject property on the 1859 Tremaine Map [Detail 1859 Tremaine Map]

William Spragge was the Deputy Superintendent General of Indian Affairs. He died in 1866 and the estate passed to his wife and son A.G.M Spragge. The 1877 Peel County Atlas shows a house in the centre of the south portion half of Lot 10, south of Mississauga Road.



Location of the subject property on the 1877 Peel County Atlas [Detail 1877 Peel County Atlas]

In 1878, A.G.M Spragge sold part of Lot 10 to Enoch Patchett, a farmer who owned adjacent farmland. In 1903 Enoch Patchett transferred approximately 85 acres in Lot 10 to his son Enoch Jr. who immediately sold 50 acres to Thomas H. Robinson and Charles Stewart. Robinson and Stewart, appear to be agents representing the Ontario Conference of Seven Day Adventists.

The 50-acre parcel in Lot 10 belonging to the Ontario Conference of Seven Day Adventists was held in trust by various trustees for a number of years. In 1930, half of the property was sold to Lorne Park College, a Christian high school and Bible college founded by the Free Methodist Church in 1924. In 1948 a plan was registered for this parcel that contains 39 residential lots and two streets, Stonehouse Crescent and Woodlawn Road. Woodlawn Road was later renamed Shawanaga Trail. The subject property is Lot 15 on this plan of subdivision (Plan 352). There is a large property and house on Stonehouse Crescent that may be the house shown on the Wentworth County Atlas belonging to William Spragge. There is no trace of this house now and that property has been re-developed as part of the subdivision. A 1948 aerial photo



The subject property is Lot 15 on Plan 352, registered in 1948. [Land Registry record]

In 1953, Lorne Park College sells Lot 15 to Margaret L. Montgomery and transferred through a trustee to Max and Muriel Scherle in 1953. In 1957, the Scherles transfer the lot to Port Credit building contractors Quentino de Menna and Angelo Masciontonia, operating under a construction company called 'Q and Angelo Construction', presumably while they construct the house that is currently on the lot. That same year, the house was sold to Anna Lagisz who added Josphine Wesolowski as a joint tenant two years later in 1959. Both women appear to have lived in the house together for many years. Ann Lagisz died in 1994 and in 1997 Josephine Wesolowski sold the house to the current owner who is now in the process of selling the property to the applicant. The house has therefore had only two owners, the first owners for 40 years and the second owners for 20 years.

6.0 HERITAGE VALUE

Mississauga Road

Mississauga Road is recognized as a significant cultural landscape within the City of Mississauga because it is the City's oldest north-south transportation route. The road follows the path of an aboriginal trail that lead from fishing grounds at the mouth of the Credit River to farms and hunting grounds located inland to the north. It follows high land on the west bank of the Credit River from Port Credit to Streetsville. These lands were originally reserved for the Mississaugas, but by 1847 they had relocated elsewhere and the land was re-distributed by the Crown and Mississauga Road was extended further north to Brampton.

As the settlements linked by Mississauga Road grew, the cultural landscape made up of villages and farmsteads evolved. In the 20th century, changes to this cultural landscape accelerated as urban boundaries expanded and rural areas were transformed by suburban development. Mississauga Road is now a major arterial road continuously lined with development. Some of the built and natural features associated with this early pioneer road remain. These features define the character of the Mississauga Scenic Route Cultural Landscape.



Location of the subject property on a 1954 aerial photograph [Ontario Ministry of Natural Resources]

Mid-Century Suburban Development

The subject property is located in an area that remained rural until the middle of the 20th century. An aerial photo from 1948 shows large fruit orchards and agricultural fields in the area of the subject property, on both sides of Mississauga Road. Shortly after this photo was taken, Post-war development would transform all of this farmland into residential subdivisions. The subject property is located in a subdivision that was registered in 1949 and contains bungalows on large lots, in a variety of popular mid-century suburban styles. The subject property is one of the larger homes in the subdivision. It was built in 1957 and is a builder-designed house that borrows elements from European and American modernism, a style now commonly called 'Mid-Century Modern'. A few houses in the subdivision have a similar architectural vocabulary and there is a Mid-Century Modern church in the subdivision fronting on North Sheridan Way.



Mid-Century Modern church in the subdivision (Kingdom Glory Ministries, #1261 North Sheridan Way)



Mid-Century Modern houses in the subdivision (#2020 Shawanaga Trail & #2017 Stonehouse Crescent)

Mississauga Road Scenic Route Cultural Landscape

The chart below evaluates the subject property as a component of the Mississauga Road Scenic Route Cultural Landscape according to attributes identified in the City of Mississauga's *Cultural Landscape Inventory* (January 2005):

CHL INVENTORY - CRITERIA	CHL INVENTORY - ATTRIBUTES	2130 Mississauga Road
LANDSCAPE ENVIRONMENT		
Scenic & visual quality	<i>Mississauga Road is one of the oldest roads in Mississauga. Its alignment varies from being part of the normal road grid in the north to a curvilinear alignment in the south following the top of bank of the Credit River.</i>	<p>This subject property fronts onto the southern section of Mississauga Road that follows the west bank of the Credit River.</p> <p>The subject property contains a one-storey house that is set well back from the road and is screened from Mississauga Road by a row of mature trees.</p> <p>The subject property has a paved driveway from Mississauga Road.</p>

	<i>The scenic quality of the road is notable because it traverses a variety of topography and varying land use from old established residential neighbourhoods to new industrial and commercial areas.</i>	The subject property is located in an area that contains Post-war residential subdivisions.
Horticultural interest	<i>From Streetsville south the boulevards and adjacent landscapes are home to some of the oldest and most spectacular trees in the City.</i>	There subject property contains a row of mature trees along Mississauga Road including Blue Spruce and Maple.
Landscape design, type & technological interest	<i>Mississauga Road is an early pioneer road that follows an aboriginal path. It is an evolved cultural heritage landscape.</i>	<p>The subject property is located in an area that supported agricultural activities in the settlement period.</p> <p>It is part a subdivision that was registered in 1948 and built piecemeal in the 1950s by various builders and contains one-storey single detached homes on large lots.</p> <p>No traces of earlier agricultural activities remain.</p>
HISTORICAL ASSOCIATIONS		
Illustrates a style, trend or pattern	<i>Mississauga Road is an early pioneer road that follows an aboriginal path. It is an evolved cultural heritage landscape.</i>	The subject property is part of a subdivision that was registered in 1948 and is characterized by modern bungalow and ranch style suburban homes built in the 1950s with large front and back yards.
Illustrates an important phase in Mississauga's Social or Physical Development	<i>Mississauga Road is an early pioneer road that follows an aboriginal path. It is an evolved cultural heritage landscape.</i>	The subject property is associated with post-WWII suburban development in the City of Mississauga.
BUILT ENVIRONMENT		
Consistent scale of built features	<i>Mississauga Road is an early pioneer road that follows an aboriginal path. It is an evolved cultural heritage landscape.</i>	<p>The subject property is part of a c. 1950s subdivision that originally had a consistent scale of built features in the form of one-storey single-detached homes on large lots.</p> <p>Renewal of the housing stock in recent years reflects a trend toward larger 2-2.5-storey single-detached homes.</p>
OTHER		
Historical and Archaeological Interest	<i>Mississauga Road is an early pioneer road that follows an aboriginal path. It is an evolved cultural heritage landscape.</i>	The subject property does not contain any known historical or archaeological features or resources.

Based on this evaluation, the attributes associated with this property that contribute to the character of the Mississauga Scenic Route Cultural Landscape are:

- Residential use in the form of a single-detached dwelling on a large landscaped lot that contributes to an understanding Post-WWII development on former farmland fronting on Mississauga Road that contributed to the early development of this area
- Low building height (1-storey with a raised basement) that contributes to the consistent scale of built features associated with buildings and built-up areas fronting on Mississauga Road
- Orientation of the house toward Mississauga Road that reflects a pattern of development, specifically 20th century housing subdivisions fronting on Mississauga Road
- Large landscaped front yard and house set well back from Mississauga road that contributes to the scenic quality of the road
- Row of trees and landscape elements that screen the house from Mississauga Road and contribute to the scenic quality of the road

Alterations proposed for this site should therefore seek to conserve these attributes. If negative impacts cannot be avoided, then mitigation measures should be undertaken to reduce these impacts.

6.1 EVALUATION ACCORDING TO ONT. REG. 09/06

The subject property contains a single-detached residence that does not have sufficient heritage significance to warrant individual Designation under Part IV of the Heritage Act. This analysis is based on provincially mandated criteria outlined in Regulation 9/06. The rationale is outlined below:

Compliance with Ontario Heritage Act, Ontario Regulation 9/06: Criteria for Determining Cultural Heritage Value or Interest

According to Subsection 1 (2) of Ontario Regulation 9/06, Criteria for Determining Cultural Heritage Value or Interest, a property may be designated under section 29 of the Act if it meets one or more of the following criteria:

1. The property has design value or physical value because it,
 - i. is a rare, unique, representative or early example of a style, type, expression, material or construction method,
 - ii. displays a high degree of craftsmanship or artistic merit, or
 - iii. demonstrates a high degree of technical or scientific achievement.

The subject property contains a modern suburban bungalow that was built c. 1957 by a local building contractor. It displays some modern design elements such as an open floor plan, a shallow A-frame roof with a deep overhand and integrated garage, horizontal strip windows, a side porch with a cut out roof and sun shade, a stone chimney wall and stone foundation walls with integrated planting boxes. The modern architectural vocabulary is primarily expressed on the main elevation oriented towards Mississauga Road, and to a lesser extent on the side elevation oriented towards Shawanaga Trail. The rear elevation is very pedestrian and does not have any of the modern elements associated with the main façade. The house appears to have been a one-off custom-built home within the subdivision, although there are other houses in the subdivision that have some Mid-Century Modern features also. It is not an early or representative example of Mid-Century Modern house design and it is not rare or unique because this was a popular form of builder-designed suburban housing across North America in the 1950s. The stonework displays a moderate degree of craftsmanship and artistic merit including the chimney, low retaining walls and integrated planter boxes on the main elevation. The interior represents a limited application of the open plan interior and spatial qualities associated with Mid-Century modern residential design because it relies on traditional wood framing and therefore does not demonstrate a high degree of technical or scientific achievement.

2. The property has historical value or associative value because it,
 - i. has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community,
 - ii. yields, or has the potential to yield, information that contributes to an understanding of a community or culture, or
 - iii. demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.

The subject property does not have significant historical or associative value because it is a private residence that is not directly associated with a theme, event, belief, person, activity, organization or institution that is significant to the community. It is associated with post-World War II residential subdivisions built on former orchards and agricultural fields fronting on Mississauga Road and therefore and does not yield information that contributes greatly to attributes associated with the Mississauga Scenic Route Cultural landscape, an early pioneer road that is primarily defined by its varied topography, natural scenery and historic associations with aboriginal and early settlement activities. It does not demonstrate or reflect the work or ideas of an architect, artist, builder, designer or theorist who is significant to the community because it was built by a small local construction company and is typical of vernacular suburban housing in North America in the 1950s that incorporated modern elements.

3. The property has contextual value because it,
- i. is important in defining, maintaining or supporting the character of an area,
 - ii. is physically, functionally, visually or historically linked to its surroundings, or
 - iii. is a landmark.

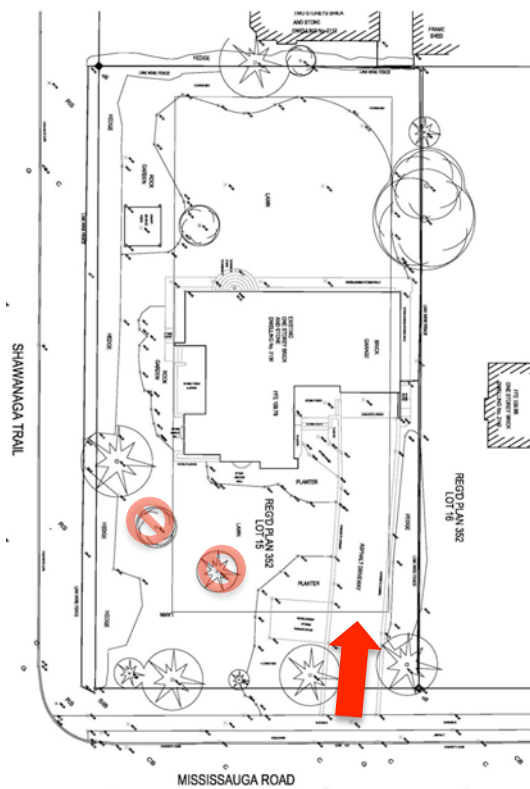
The subject property contributes to the mid-20th century character of the residential subdivision that was laid out in 1948 containing one-storey single-detached builder-designed homes that exhibit a mix of traditional and contemporary styles. Contextually, it contributes to the character of the Mississauga Scenic Cultural Landscape in a limited way in terms of its orientation to Mississauga Road, its deep front setback, large landscaped front yard, and row of trees that screen the house from the road and contribute to the scenic quality of Mississauga Road. It is primarily associated with a residential subdivision laid out in 1948 and therefore does not have significant physical, functional or historical links with the Mississauga Scenic Route Cultural Landscape, an early pioneer road that is primarily defined by its varied topography, natural scenery and historic associations with aboriginal and early settlement activities. It is modest suburban home similar to other homes in the area and therefore is not a landmark.

In conclusion, the subject property does not meet provincial criteria for individual Designation under Part IV of the Heritage Act.

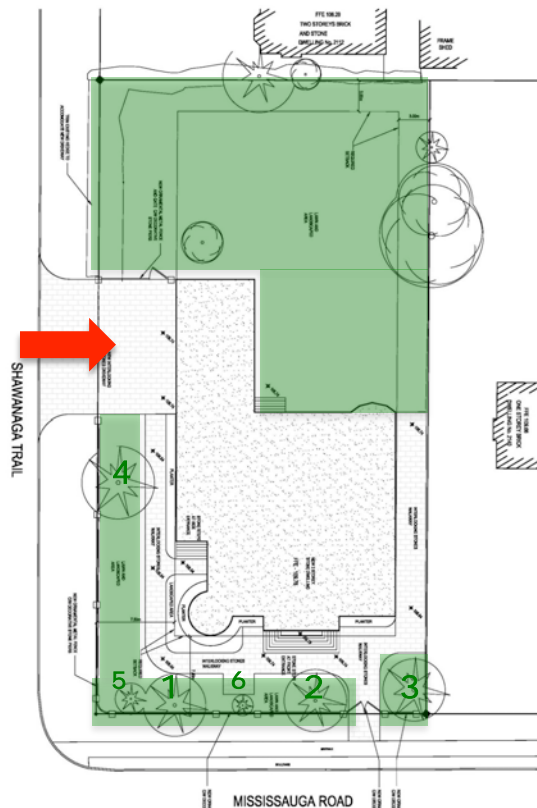
7.0 DEVELOPMENT PROPOSAL

See Appendix C: Drawings

The present owners plan to demolish the existing bungalow with an integrated 2-car garage facing Mississauga Road and construct a larger 2.5 storey residence with an attached 4-car garage facing Shawanaga Trail. All of the existing trees on the site will be retained, including the 3 large spruces on Mississauga Road and 1 large spruce on Shawanaga Trail, with the exception of 2 small trees in the front yard that will be removed. The front yard set back for the proposed house meets the 7.5 m minimum that is required under the zoning by-law. The proposed side yards meet the minimum requirements (7.5 m & 3.0 m) and the rear yard greatly exceeds the minimum requirement (19.2 m). The lot coverage of the proposed development is 26.4%, slightly over the 25% that is permitted, and will require a minor variance. A variance will also be required to construct a new driveway from Shawanaga Trail and the driveway from Mississauga Road will be removed and replaced with a paved path for pedestrian access only.



Existing Site Plan:
2 small trees will be removed



Proposed Site Plan:
Driveway relocated to Shawanaga Trail
1-4; 4 Spruce trees to be retained
5-6: 2 deciduous trees to be retained



Streetscape showing proposed development and adjacent properties on Mississauga Road. [Prepared by ARCH S2DO Architects]

The proposed dwelling has a roof height of 10.67 m and is therefore just under the 10.7 m maximum that is allowable. The roofline includes a steeply pitched mansard roof with small dormers and a conical tower. The main elevation is oriented toward Mississauga Road and has a large 2-storey portico with a monumental order of paired columns flanking the main entrance. The entrance is slightly raised and approached by a flight of stairs. The primary cladding material is buff coloured limestone with rusticated banding across the 1st floor. The primary roofing material is black asphalt shingle with black metal roofing on the tower. Windows on the 1st floor, tower and dormer are arched. Windows on the 2nd floor are rectangular. The windows are large multi-paned windows.



2130 Mississauga Road: Main elevation of proposed dwelling facing Mississauga Road



2130 Mississauga Road: Side elevation and garage facing Shawanaga Trail

8.0 IMPACT ON HERITAGE VALUES

Re: Demolition of the Existing Dwelling

The removal of the existing house, given that it does not meet criteria for Designation under the Ontario Heritage Act, will not have a negative impact on cultural heritage values associated with the Mississauga Road Scenic Route Cultural Landscape.

Re: Proposed Development

Although the proposed dwelling is larger than the house that is currently on the lot, it is comparable in scale, materials and eclectic use of neo-historicist stylistic references to other houses that have been built on adjacent and nearby lots in recent years. There are 2 houses directly behind the subject property on Shawanaga Trail that are very similar in scale and character to the proposed dwelling.



Recent development in the subdivision. Two houses on Shawanaga Trail located directly behind the subject property. [Google Streetview]

The proposed development will not have a negative on the Mississauga Road Scenic Route Cultural Landscape because existing trees will be retained and there will be an adequate landscape buffer along the Mississauga Road frontage. The existing trees will largely screen views of the house from Mississauga Road. The re-location of the driveway to Shawanaga Trail will have a positive impact because it will contribute to a more continuous green edge along Mississauga Road by reducing the amount of paving. It may also contribute to improved traffic flow and traffic safety on Mississauga Road.



PROPOSED ELEVATION OVERLAID ON GOOGLE STREET VIEW

2130 Mississauga Road, Mississauga Road streetscape showing proposed development. [Prepared by ARCH S2DO Architects] – Note: the site plan indicates that there will be an iron fence with stone piers along Mississauga Road and Shawanage Trail that is not shown in this streetscape.

The impact of the proposed development on the Mississauga Road Scenic Route Cultural Landscape can be evaluated using criteria from the Ontario Heritage Toolkit. The table below provides an evaluation of the proposed development against these criteria:

Potential Negative Impact	Evaluation
Destruction of any, or part of any, significant heritage attributes or features	No perceived impact - there will be no destruction to the scenic quality, historical associations, consistent built form scale or landscape design as the proposed development will maintain the existing mature trees and be of a similar scale to neighbouring properties.
Alteration that is not sympathetic, or is incompatible with the historic fabric and appearance	Minimal to no perceived impact - the proposed residence will be 2.5 storeys which is characteristic of dwellings fronting on Mississauga Road. The garage will be accessed from the side of the house, screened from view from Mississauga Road. The setback from the road will be reduced through this development, however, there is an additional 5.5 m for the boulevard and sidewalk along this section of Mississauga Road. The house will be screened visually from the road by the mature trees at the front of the property.

Isolation of a heritage attribute from its surrounding environment, context or a significant relationship	No perceived impact - the relationship between Mississauga Road and its surrounding architecture, scenic quality and landscape design will continue.
A change in land use where the change in use negates the property's cultural heritage value	Not applicable - the site will remain residential.
Removal of natural heritage features, including trees	Minimal perceived impact - All of the existing trees along Mississauga Road will be retained. The construction of the new house will require removal of 2 small trees in the front yard that are not visible from Mississauga Road.
Shadows created that alter the appearance of a heritage attribute or change the viability of an associated natural feature, or plantings, such as a garden	No perceived impact - there will be no shadow impacts on adjacent properties.
Direct or indirect obstruction of significant views or vistas within, from, or of built and natural features	No perceived impact - the proposed residence will not alter the view from, within or to Mississauga Road.
Land disturbances such as change in grade that alter soils, and drainage patterns that adversely affect cultural heritage resources	No perceived impact - insignificant to no grading will be required.
Removal of the existing dwelling	No impact - Based on an evaluation using criteria under the Ontario Heritage Act (Ontario Regulation 09/06), this building does not have cultural heritage value and therefore does not warrant Designation
Construction of the proposed dwelling.	No Impact - The proposed dwelling will maintain the consistent scale of built features that contributes to the Mississauga Road Scenic Route and will not have a negative impact on the built environment.

9.0 MITIGATION MEASURES

Re: Demolition of the Existing Dwelling

This report provides research and documentation related to the ownership and evolution of this property and its significance within the context of the Mississauga Scenic Route Cultural Landscape. The existing dwelling has been documented with photographs and measured drawings.

The following documentation is included in this report:

- Appendix A: Site Photos
- Appendix B: Land Records
- Appendix C: Drawings (Plans of the existing dwelling)

An Evaluation according to *Ontario Regulation 09/06* determined that this property does not meet criteria for Designation under Part IV of the Ontario Heritage Act.

RECOMMENDATION: NO FURTHER MITIGATION IS REQUIRED.

Re: Proposed Development

The proposed development is consistent with recent development on adjacent properties and is consistent with zoning for this area. There are no specific policies related to new construction within the Mississauga Scenic Route Cultural Landscape.

The proposed development will retain existing trees along Mississauga Road and includes an adequate landscape buffer along Mississauga Road. These measures will reduce indirect impacts on Mississauga Scenic Route Cultural Landscape by maintaining a green edge along Mississauga Road and by screening the house from views from Mississauga Road.

RECOMMENDATION: NO FURTHER MITIGATION IS REQUIRED.

10.0 CONCLUSIONS & RECOMMENDATIONS

The subject property contains an existing dwelling that does not meet criteria for individual Designation under the *Ontario Heritage Act*. As such, the proposal to demolish this building will not have a significant impact on built heritage values associated with the Mississauga Road Scenic Route Cultural Landscape.

The proposed development is similar to other new developments in the area and along Mississauga Road. The proposed development will allow retention of existing trees and will include an adequate landscape buffer along Mississauga Road. It will therefore maintain the existing scenic and visual qualities that this property contributes to the Mississauga Scenic Route Cultural Landscape

11.0 QUALIFICATIONS OF THE AUTHOR

The author of this report is a member in good standing of the Canadian Association of Heritage Professionals. Formal education includes a Master of Arts in Architectural History from the University of Toronto and a diploma in Heritage Conservation from the Willowbank School of Restoration Arts. Professional experience includes an internship at the Ontario Heritage Trust, three years as Architectural Historian and Conservation Specialist at Taylor Hazell Architects in Toronto, and 7 years in private practice in Ontario as a heritage consultant. Other relevant experience includes teaching art history at the University of Toronto and McMaster University and teaching Research Methods and Conservation Planning at the Willowbank School for Restoration Arts in Queenston. In addition to numerous heritage reports, the author has published work in academic journals such as the *Journal of the Society of Architectural Historians* and the *Canadian Historical Review*.

12.0 BIBLIOGRAPHY

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APPENDIX A: SITE PHOTOS

CONTEXT



Driveway from Mississauga Road



Hedging along Shawanaga Trail

EXTERIOR



Front elevation



Front elevation – stone chimney



Front entrance



Front entrance



Detail of stone cladding at front entrance



Integrated garage



Front elevation



Side yard



Side porch with sliding doors to kitchen



Side elevation



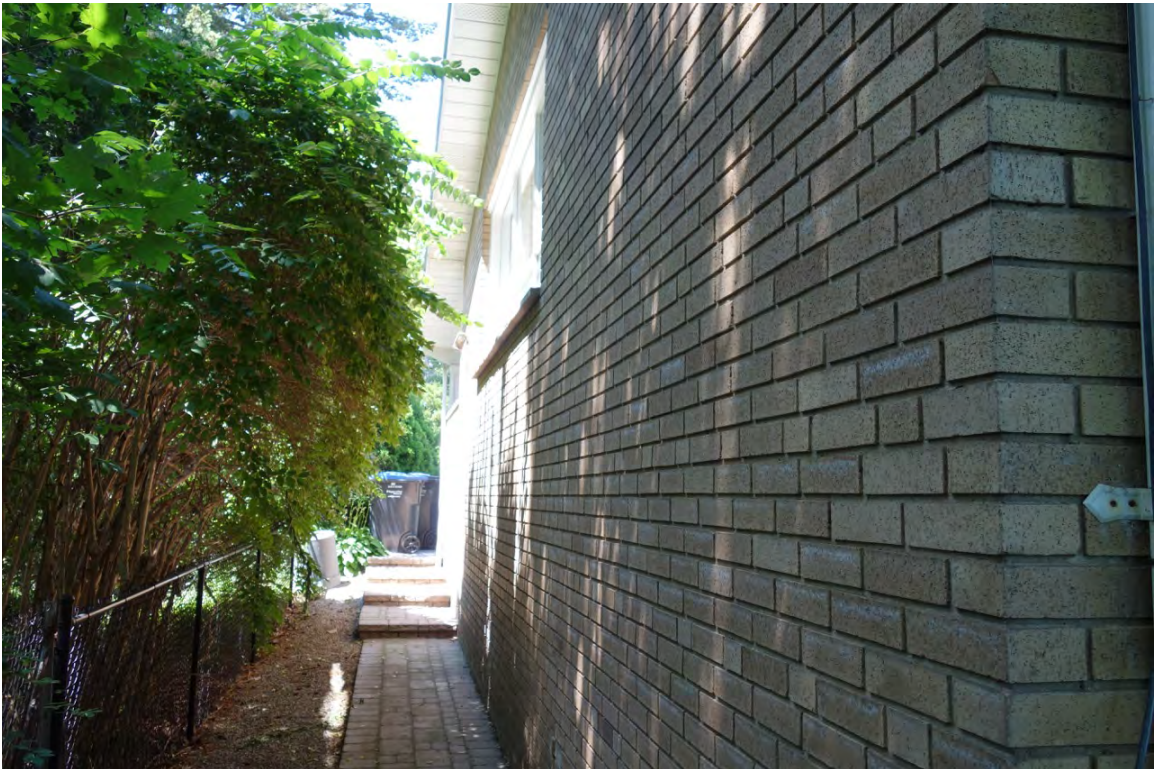
Rear elevation



Rear entrance to basement



Steps to basement



Side yard

LANDSCAPE ELEMENTS



Front yard



Front yard



Stone planters and integrated landscape elements at front entrance



Stone wall and integrated landscape elements



Cedar hedge along side property line



Gazebo structure in back yard



Bach yard



Back yard

APPENDIX B: LAND RECORDS

ADDRESS: 2130 Mississauga Road, Mississauga

LEGAL DESCRIPTION: Plan 353 Lot 15

INST. NO.	DATE	TYPE	GRANTOR	GRANTEE	LANDS
BOOK A					
	1855	Patent	THE CROWN	Frederick C. CAPREOL	All Lot 10
2376	1876	B&S	THE CROWN	Martha A. SPRAGGE et al, Executrix William SPRAGGE	All Lot 10, Range III CIR
2531	1878	B&S	A.G.M. SPRAGGE	Enoch PATCHETT	Part Lot 10
BOOK B					
6278	1866	Will	William SPRAGGE (City of Ottawa)	A.G.M. SPRAGGE (Toronto)	Part Lot 10
11048	1903	B&S	Enoch PATCHETT Sr. et ux (Township Toronto)	Enoch PATCHETT Jr. (Fruit Grower, Township of Toronto)	85 ¼ acres
11092	1903	B&S	Enoch PATCHETT Jr. (Fruit Grower, Township of Toronto)	Thomas H. ROBINSON & Charles STEWART	50 acres
11159	1903	B&S	Thomas H. ROBINSON et ux AND Charles STEWART et ux	George B. THOMPSON et al Trustees of the ONTARIO CONFERENCE SEVENTH DAY ADVENTISTS	50 acres
BOOK C					
14574	1911	Grant	J.T. SMITH et al Trustees	Robert TAYLOR & Edward TAYLOR	50 acres
17544	1916	Grant	Edward T. MUSSON et ux	Robert TAYLOR	50 acres – 10 ¼ acres
21797	1922	Grant	Robert TAYLOR et ux	Richards BURNHAM et al	Part
33090	1930	Grant	Richard BURNHAM et al Trustees	LORNE PARK COLLEGE	26.32 acres (part subject to Mortgage)
PLAN 352	1948	SURVEY	PLAN SHOWING PART OF LOT 10, RANGE III CIR, TOWNSHIP OF TORONTO (Subject property is Lot 15)		
BOOK D					
61398	1950	Grant	LORNE PARK COLLEGE	M. L. MONTGOMERY	Plan 352 Lot 15
64772	1951	Grant	Margaret L. MONTGOMERY	John E. JENNINGS Trustee	Plan 352 Lot 15
76515	1953	Grant	John E. JENNINGS	Max H. SCHERLE & Muriel SCHERLE as joint tenants	Plan 352 Lot 15
90965	1957	Grant	Max H. SCHERLE & Muriel SCHERLE	Quintino DeMENNA and Angelo MASCIONTONIA	Plan 352 Lot 15
104743	1957	Grant	Max H. SCHERLE & Muriel SCHERLE	Anna LAGISZ	Plan 352 Lot 15 - Sold under Mortgage no. 96064
125461	1959	Grant	Anna LAGISZ	Josephine WESOLOWSKI & Anna LAGISZ as joint tenants	Plan 352 Lot 15
R01143774	1997	Grant	Josephine WESOLOWSKI	CURRENT OWNER	Plan 352 Lot 15

*Title search provided by Chris Aplin of MCA Paralegal

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Book A

Sol. Seq

3 Range

Vol. 2, no. 2376 The Green
no. 58 May 15, 1885 Richard H. Green. Richard H. Green. 1885

See 1st entry book B pg 301

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TAXPAYER C.T.S.

No. of Assessment	Assessment	In Date	Date of Registration	GRANTOR	GRANTEE	Compensation in Amount of Purchase	REMARKS
<i>PIC</i> 2756	<i>0.42</i>	25Dec1876	14Feb1878	The Crown	W. H. Sprague et al	17004.35	all and O.L.
2777	0.42	15Dec1877	14Feb1878	W. H. Sprague et al	F. C. E. Sprague	1.00	Part and O.L.
2780	0.42	15Dec1877	14Feb1878	M. A. Sprague et al	Allen Cassels	1.00	Part and O.L.
2506	0.42	4 Sep1878	2 Oct1878	Bank Pritchett et al	A. C. E. Sprague	4000.00	
2550	0.42	9 Oct1878	14Oct1878	A. C. E. Sprague	Wm. H. Clark	500.00	
<i>PIC</i> 2551	0.42	4 Sep1878	15Oct1878	A. C. E. Sprague	Bank Pritchett	3025.30	Part and O.L.
2712	0.42	15Mar1879	15Mar1879	A. C. E. Sprague	Wm. Cantire	2000.00	
2721	0.42	15Mar1879	21Mar1879	W. H. Clark	Arthur C. H. Sprague	500.00	
2998	0.42	15Feb1880	19Feb1880	A. C. E. Sprague	Wm. Cantire	1000.00	
3425	0.42	10Feb1882	25Mar1882	A. C. E. Sprague	J. H. Ferguson	4000.00	
3436	0.42	15Mar1881	25Mar1881	Jas. Croveller et al	J. H. Ferguson	1.00	
3109	0.42	14Apr1887	9 May1887	Jos. H. Ferguson	Jas. Z. Joy	1700.00	
4278	0.42	5 Dec1888	15Nov1887	Wm. Sprague			Part and O.L.
4308	0.42	11Dec1887	9 Jan1888	Jas. Z. Joy	Bank Pritchett		Discharging No. 15M
4329	0.42	12Sep1878	9 Jan1888	Allen Cassels	A. C. E. Sprague	3,000.00	Part and O.L.
4403	0.42	30Mar1887	7 Mar1888	Bertie A. Sprague	John C. E. Sprague		Part and O.L.
4412	0.42	3 Mar1888	15Mar1888	Peter C. E. Sprague	Michael Curran	2000.00	Part and O.L.
10074	0.42	10Jul1891	20Aug1901	Bank Pritchett et al	William Pritchett	1200.00	15 ac.
* 11048	0.42	15Mar1905	20Mar1905	Bank Pritchett et al	Bank Pritchett Jr.	2000.00	Part and O.L. 25 ac.
* 10998	0.42	1 Apr1905	18Apr1905	Bank Pritchett et al	Thomas H. Robinson &	4500.00	30 ac.
					Charles Stewart		
11158	0.42	20Feb1905	5 Aug1905	Thomas H. Robinson et al	George E. Thompson et al	1,000.00	30 ac.
				Charles Stewart et al	Treasurer of the Ontario		
					Conference Service Tax		
					Attest.		
23564	Great	15Jul1909	11Aug1909	Michael Curran	Hydro-Electric Power Co.	250.00	Part 1218 ac. Grant of
							Document.

TO 2000 ac.

* pic descrip'n

Book B.

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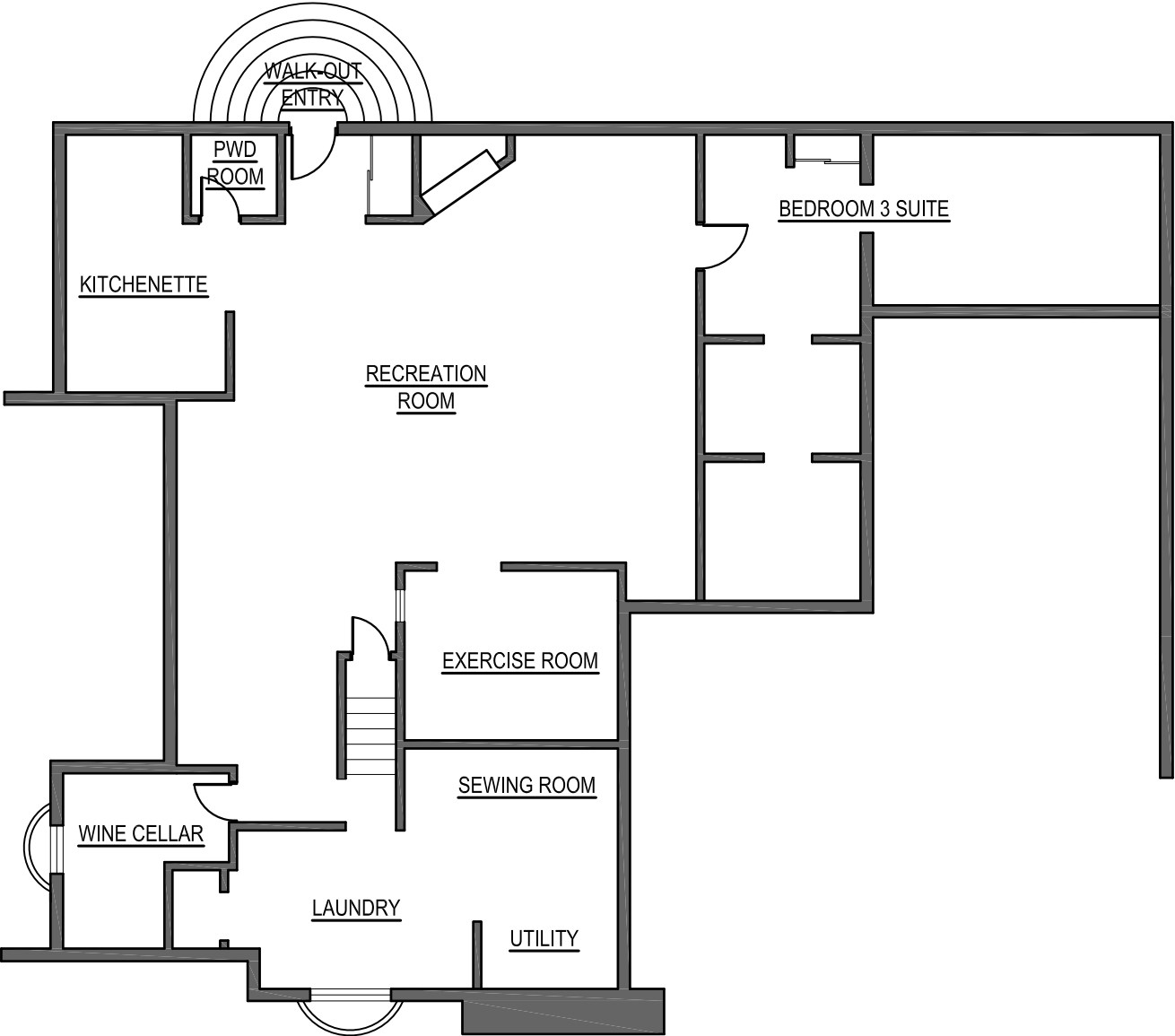
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7.5 - 46

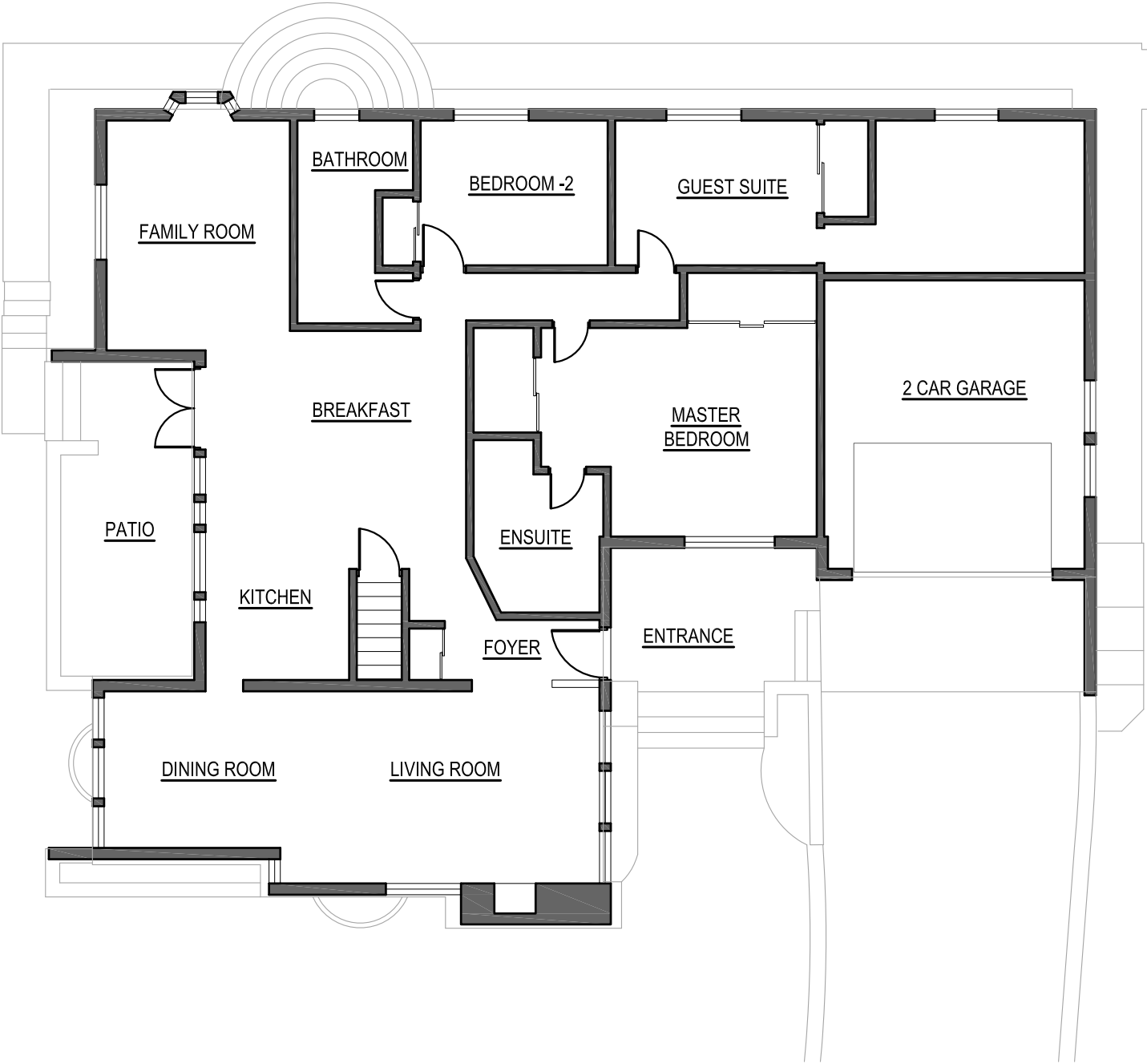
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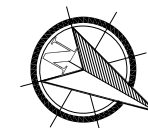


EXISTING BASEMENT PLAN
3/32" = 1'-0"



EXISTING MAIN FLOOR PLAN
3/32" = 1'-0"

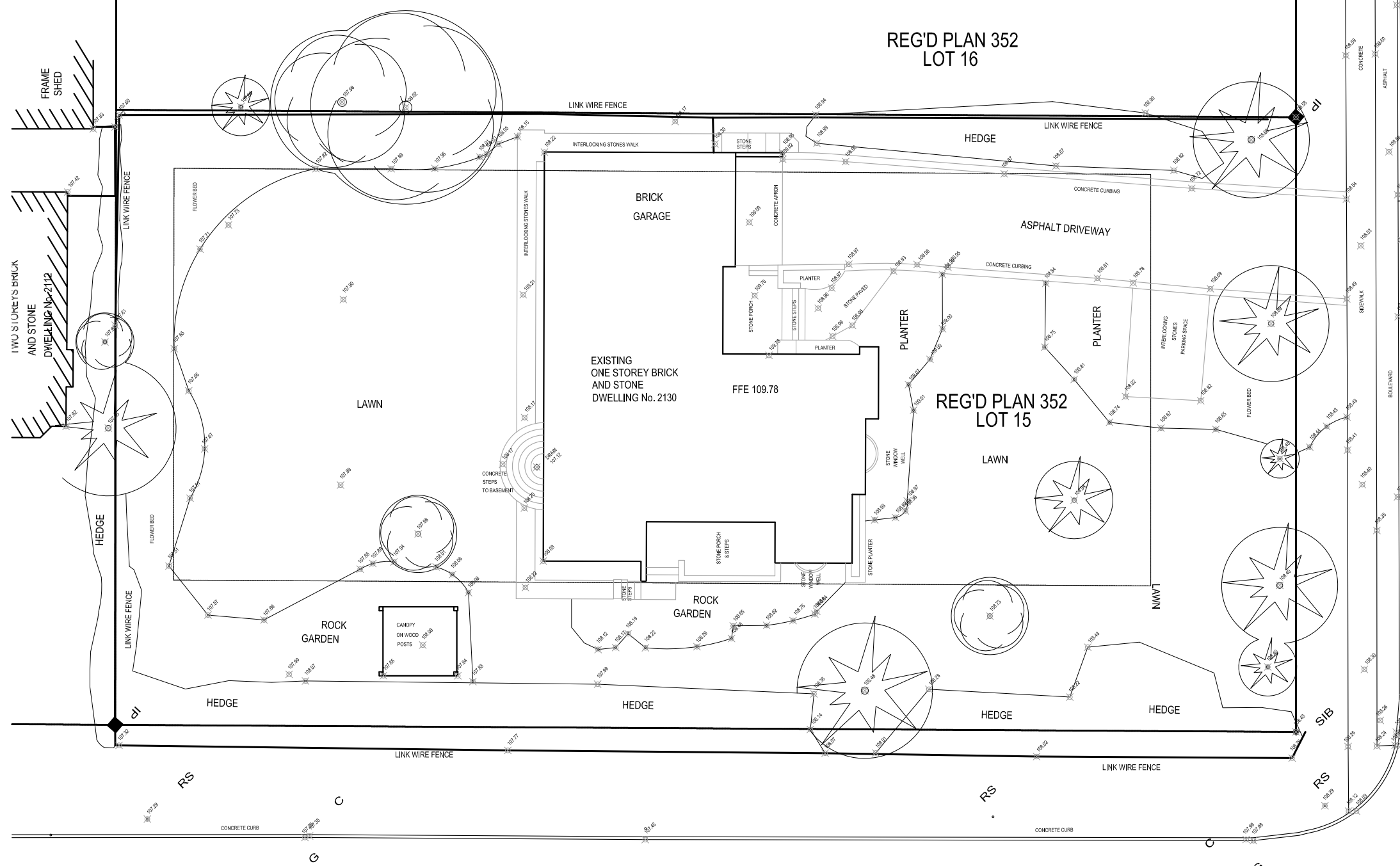
RESIDENCE AT 2130 MISSISSAUGA ROAD



7.5 - 51



REG'D PLAN 352
LOT 16



LEGEND


TOPOGRAPHIC PLAN - METRIC UNITS


SMH = STORM MANHOLE

CB = CATCH BASIN

WLS = WOOD LIGHT STANDARD

FH= FIRE HYDRANT

 = DECIDUOUS TREE

 = CONIFEROUS TREE

SIB = STANDARD IRON BAR

FF = FINISHED FLOOR ELEVATION

C = CURB

G = GUTTER

IP = IRON PIPE

WV = WATER VALVE

RS = ROAD SIGN

CR = CENTERLINE OF ASPHALT PAVEMENT

ELEVATION NOTE:

ELEVATIONS HERE ARE GEODETIC,

RELATED TO BM # 898

WITH PUBLISHED ELEVATION OF 110.791 M

EXISTING SITE PLAN

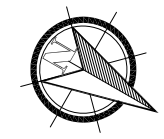
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RESIDENCE AT 2130 MISSISSAUGA ROAD



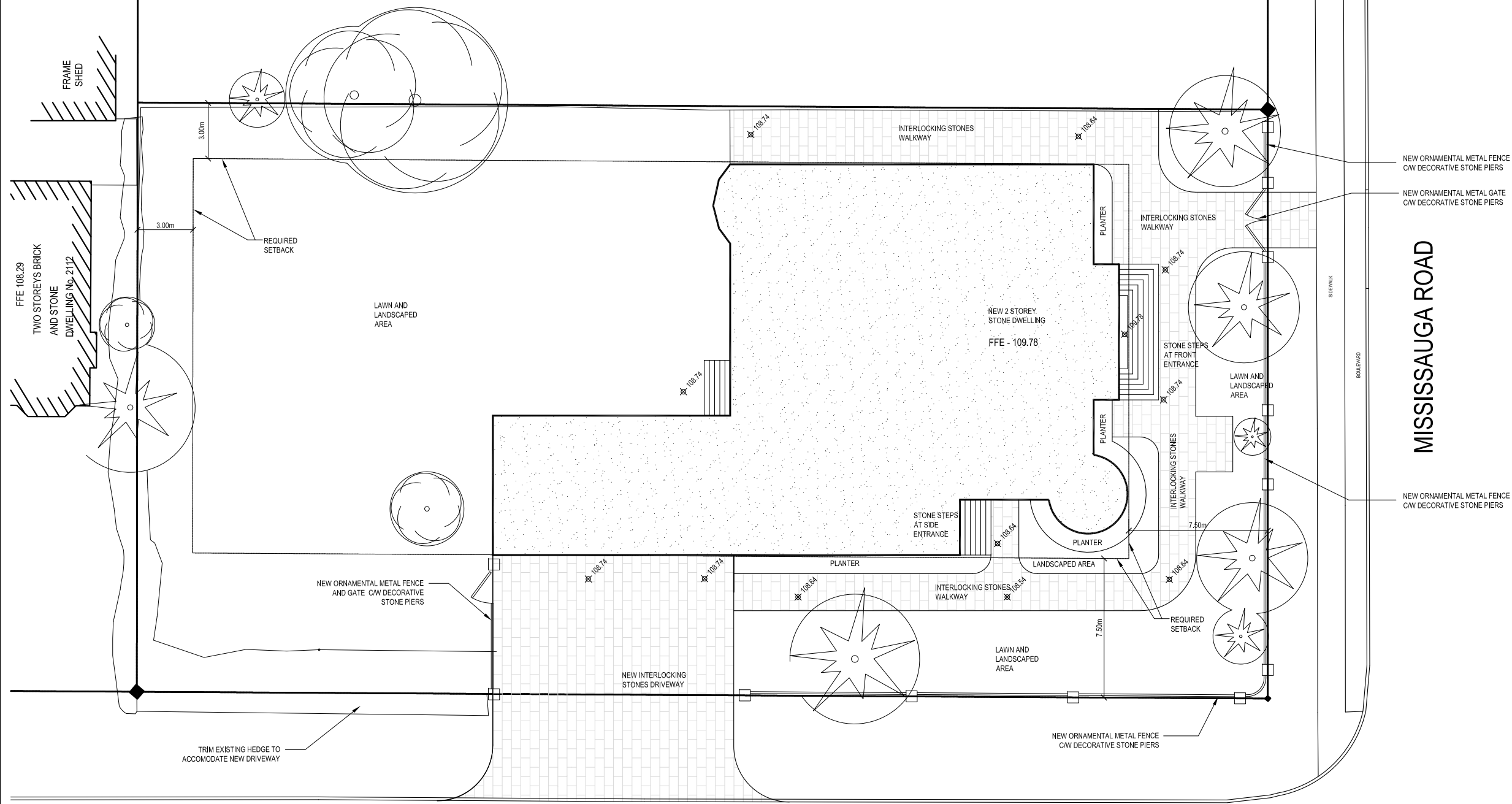
ARCH S2DO
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christian@archs2do.com
647.969.1300



7.5 - 52

FFE 109.66
ONE STOREY BRICK
DWELLING No. 2140



SITE STATISTICS	
MUNICIPALITY	CITY OF MISSISSAUGA
PROPERTY ADDRESS	2130 MISSISSAUGA ROAD
LEGAL DESCRIPTION	PLAN 352 LOT 15
MUNICIPAL WARD	WARD 8
DESIGNATED ZONE	R1 - DETACHED DWELLING
ZONING BYLAW IN EFFECT	BYLAW 0225-2007
LOT FRONTAGE	31.70 M (104.1 F)
LOT DEPTH	60.96 M (200 F)
LOT AREA	1934 SM (20817.58 SF)
MAXIMUM LOT COVERAGE ALLOWED	25% = 483.5 SM (6204.4 SF)
PROPOSED LOT COVERAGE WITH MINOR VARIANCE	26.4% = 510.53 SM (5495.36 SF)
MINIMUM REQUIRED FRONT YARD SETBACK	7.5 M (24.6 F)
PROPOSED FRONT YARD SETBACK	7.5 M (24.6 F)
MINIMUM EXTERIOR SIDE YARD SETBACK	7.5 M (24.6 F)
PROPOSED EXTERIOR SIDE YARD SETBACK	7.5 M (24.6 F)
MINIMUM INTERIOR SIDE YARD SETBACK	3.0 M (9.8 F)
PROPOSED INTERIOR SIDE YARD SETBACK	3.0 M (9.8 F)
MINIMUM REAR YARD SETBACK	3.0 M (9.8 F)
PROPOSED REAR YARD SETBACK	19.2 M (63.0 F)
MAXIMUM BUILDING HEIGHT ALLOWED	10.7 M (35.1 F)
PROPOSED BUILDING HEIGHT	10.67 M (35.0 F)
MAXIMUM DRIVEWAY WIDTH ALLOWED	8.5 M (27.89 F)
PROPOSED DRIVEWAY WIDTH WITH MINOR VARIANCE	13.0 M (42.65 F)
AVERAGE GRADE (CALCULATED PER ZONING BYLAW)	108.54
GROSS MAIN FLOOR AREA	365.38 SM (3933.0 SF)
GROSS SECOND FLOOR AREA	379.0 SM (4079.5 SF)
GROSS BASEMENT AREA	365.38 SM (3933.0 SF)
GROSS GARAGE AREA	102.66 SM (1105.0 SF)
GROSS FRONT PORCH AREA	8.0 SM (86.0 SF)
GROSS COVERED PATIO AREA	33.95 SM (365.5 SF)

SHAWANAGA TRAIL

PROPOSED SITE PLAN
1:250

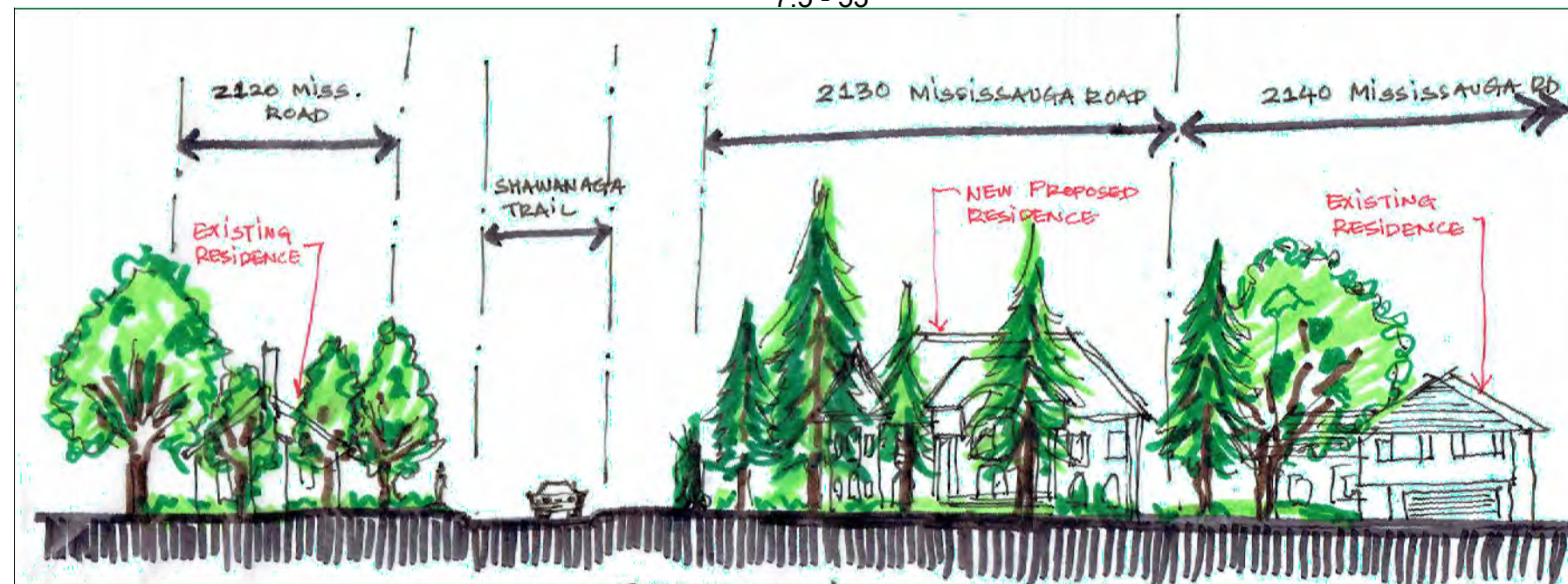
RESIDENCE AT 2130 MISSISSAUGA ROAD

arch

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SOUTH SIDE STREET VIEW ALONG MISSISSAUGA ROAD
NTS



PROPOSED ELEVATION OVERLAID ON GOOGLE STREET VIEW

RESIDENCE AT 2130 MISSISSAUGA ROAD



RESIDENCE AT 2130 MISSISSAUGA ROAD



LEFT SIDE ELEVATION (EASTSIDE)
 $\frac{1}{8}" = 1'-0"$

RESIDENCE AT 2130 MISSISSAUGA ROAD



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 ARCH STUDIO Architects

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 christian@archs2do.com
 647.969.1300



REAR ELEVATION (SOUTHSIDE)

$\frac{1}{8}" = 1'-0"$

RESIDENCE AT 2130 MISSISSAUGA ROAD



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RIGHT SIDE ELEVATION (WESTSIDE)

$\frac{1}{8}" = 1'-0"$

RESIDENCE AT 2130 MISSISSAUGA ROAD



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City of Mississauga
Memorandum



Date: 2017/08/23

To: Chair and Members of Heritage Advisory Committee

From: Paul Damaso, Director, Culture Division

Meeting Date: 2017/09/05

Subject: **Old Port Credit Heritage Conservation District Plan Review – Issues Analysis Report**

The Old Port Credit Heritage Conservation District Plan (HCD) was adopted in 2004 prior to numerous changes to the Ontario Heritage Act affecting heritage conservation districts. The HCD plan requires updating to align with the changes in legislation.

The HCD review includes:

- statement of cultural heritage value or interest and description of heritage attributes
- A reassessment of the HCD boundary, zoning, categorization of properties, policies, guidelines, permit process and other requirements
- investigating the implementation of a local advisory committee, protection of views and additional Part IV designations
- ensuring the public realm is adequately and appropriately protected and there is alignment between the Plan and other City initiatives, including park plans and the Inspiration Port Credit plan.

The City has hired heritage consultants to assist with the HCD review. Two community meetings have been held to introduce the project and receive feedback from the both the immediate community and all other related stakeholders with regard to the success of the existing HCD plan and to gather input for the review and updating of the plan.

The consultant, George Robb Architect, has completed the first phase of the HCD review. An Issues Analysis Report (Appendix 1) has been provided, which gives background information about the project, highlights information about the current HCD plan, reviews current applicable legislation and policies and documents the various opportunities to improve the current HCD plan and heritage management process. The report also documents the issues raised by the community with respect to improving the HCD plan.

Having identified the issues and concerns from the community the consultants will begin the next phase of the project which is to incorporate the issues into a draft revised HCD Plan.

The Old Port Credit Heritage Conservation District Plan review has concluded its first phase with the completion of the Issues Analysis report. The report is a documentation of issues and concerns relevant to writing a revised HCD plan with valued input from the immediate community and other stakeholders. Following this report the consultants will be preparing a first draft of recommendations for an updated HCD plan.

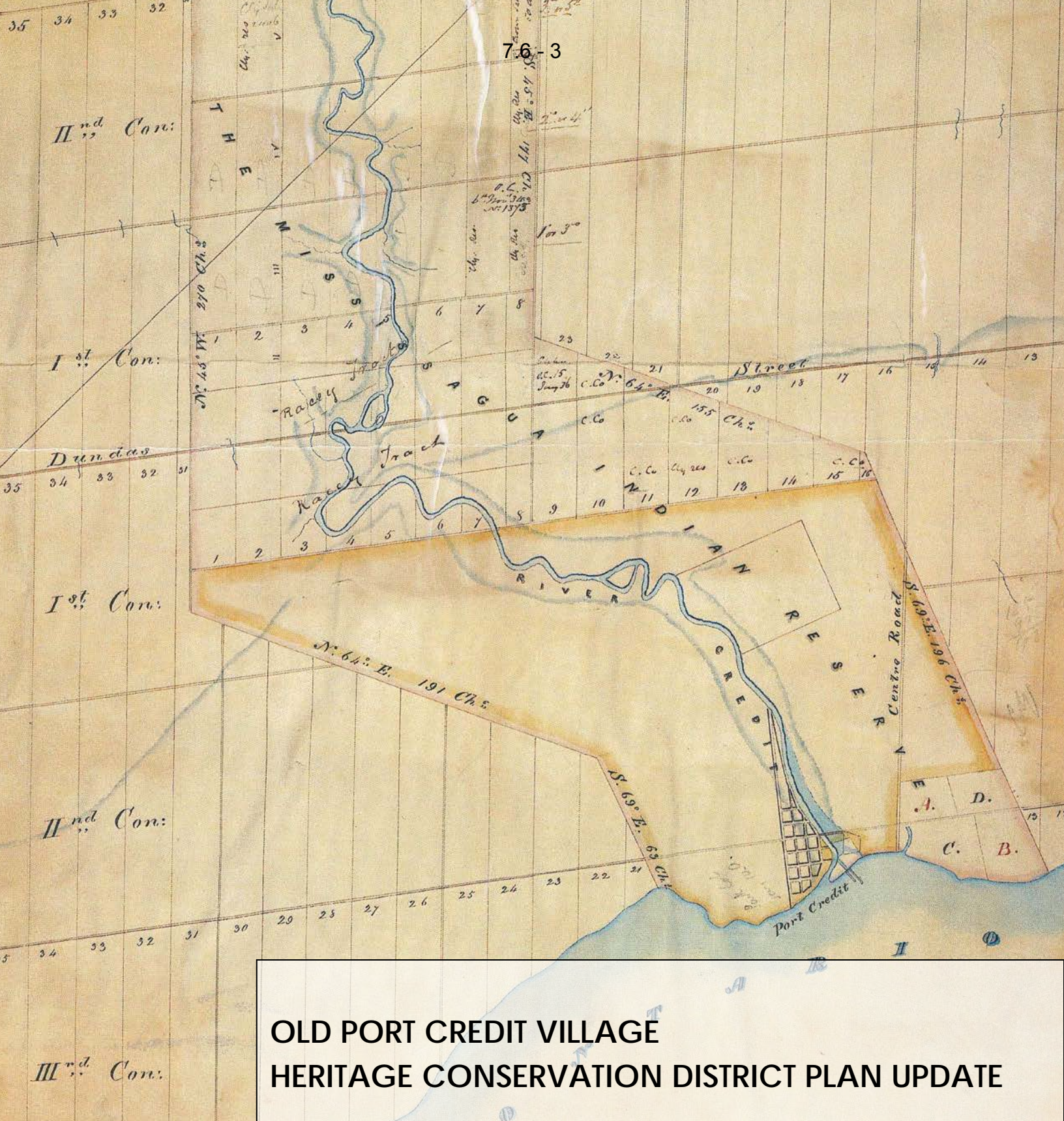
Attachments

Appendix 1: Old Port Credit HCD Plan Review – Issues Analysis Report

A handwritten signature in black ink, appearing to read 'Paul Damaso', is positioned above a horizontal line.

Paul Damaso, Director, Culture Division

Prepared by: Mark Warrack, Manager, Culture and Heritage Planning



OLD PORT CREDIT VILLAGE HERITAGE CONSERVATION DISTRICT PLAN UPDATE

ISSUES ANALYSIS REPORT
Prepared for the City of Mississauga
August 2017

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1.0 Introduction

The City of Mississauga has initiated work on updating the Old Port Credit Village Heritage Conservation District (HCD) Plan. George Robb Architect, MHBC Planning, Wendy Shearer Landscape Architect and Historic Horizons have been retained by the City of Mississauga in order to assist City staff in undertaking this update project.

This work is being done for the following reasons:

- To ensure that the HCD Plan aligns with current legislation
- To ensure that the HCD Plan follows current best practices and heritage conservation principles
- To ensure the HCD Plan continues to preserve the village character
- Evaluate how the heritage management process can be improved

Since the original HCD Plan was approved, there have been changes to the Ontario Heritage Act, Provincial policies, heritage conservation guidance, and changes to the community. The City wants to ensure that the HCD Plan reflects these changes and appropriately manages future change within this special area of Port Credit.

This Issues Analysis Report represents the completion of the first phase of work on the process to update the current HCD Plan. The report provides background information about the project, highlights information about the current HCD Plan, reviews current applicable legislation and policies related to heritage resource management, and documents the various opportunities to improve the current HCD Plan and the heritage management process. The report also identifies the issues that are to be considered in the development of the revised Old Port Credit Village HCD Plan.

A previous draft version of this Report was made available and presented to the Municipal Heritage Committee, City staff, interested agencies / groups, and the community, and their feedback was incorporated into this Report.

2.0 Project background

2.1 Village of Port Credit HCD

In 1988, the City of Mississauga defined by by-law Old Port Credit Village south of Lakeshore Road West on the west side of the Credit River as an area to be examined for possible future designation as a Heritage Conservation District.

In May, 2003, the City authorized the feasibility study and George Robb Architect was chosen in mid-July to undertake the project. The aims of the study were twofold: 1) to determine the merit in conserving the Old Port Credit Village study area; and 2) to consider the feasibility of conserving Old Port Credit Village through designation as a heritage conservation district under the *Ontario Heritage Act* and/or by other means under the *Planning Act*.

The consultant team organized by George Robb Architect met several times with a Staff Steering Committee, Volunteer Advisory Committee and the public. A report was prepared that included an overview of the area's historical development, archaeological, landscape and building inventories, effects of public policies on the area's character and recommendations for a heritage planning framework.

Following consultations with the public, a heritage conservation district plan was prepared. In June 2004, the City of Mississauga Planning and Development Committee unanimously recommended designation of the Old Port Credit Village Heritage Conservation District and the adoption of the HCD Plan. The plan includes guiding principles for the conservation of the district's buildings of historic interest, design guidelines for additions to buildings that complement buildings of historic interest, design guidelines for new construction and landscape conservation guidelines. The approved boundary of the Heritage Conservation District is shown as **Figure 1**.

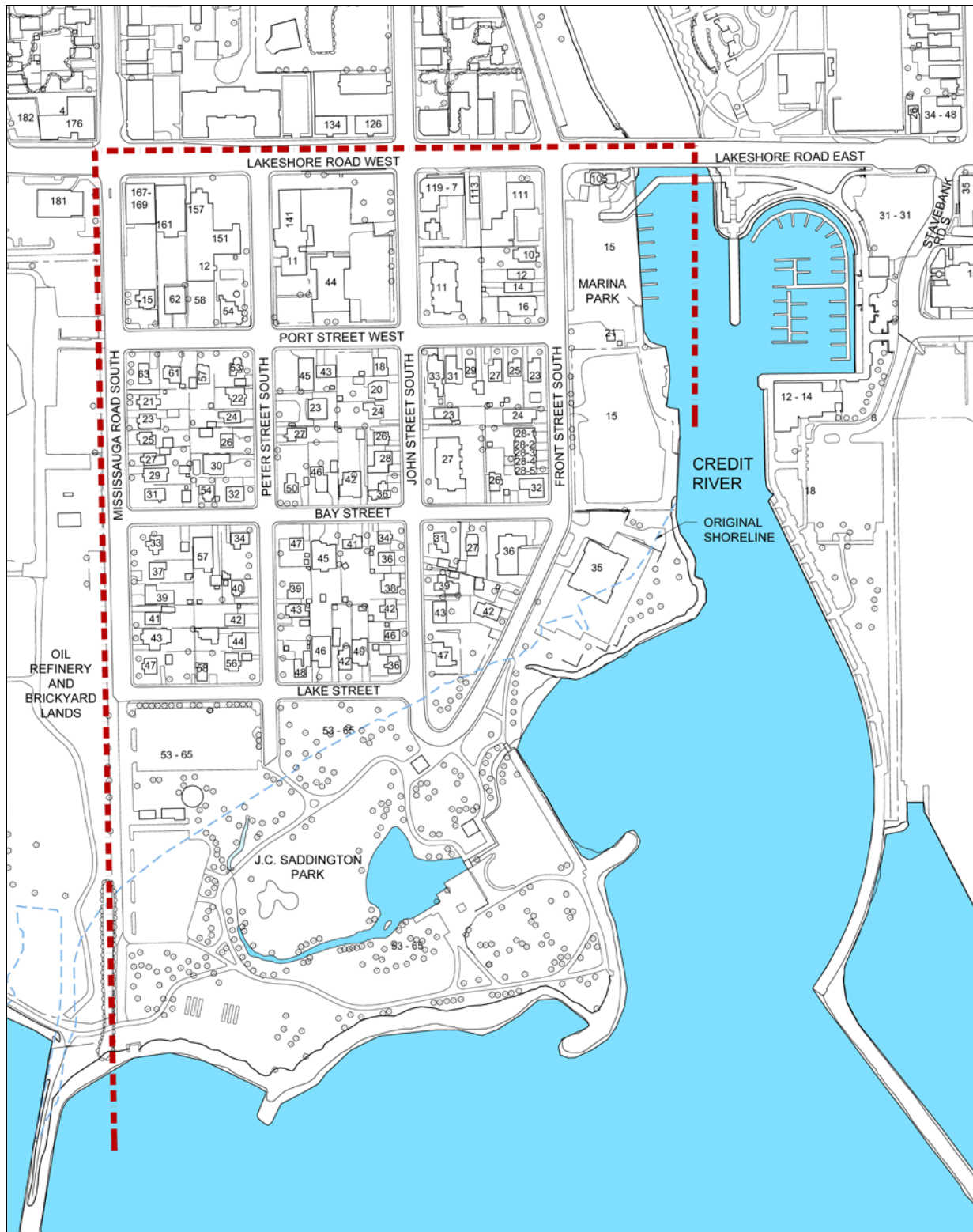


Figure 1: Existing Old Port Credit Village HCD boundary

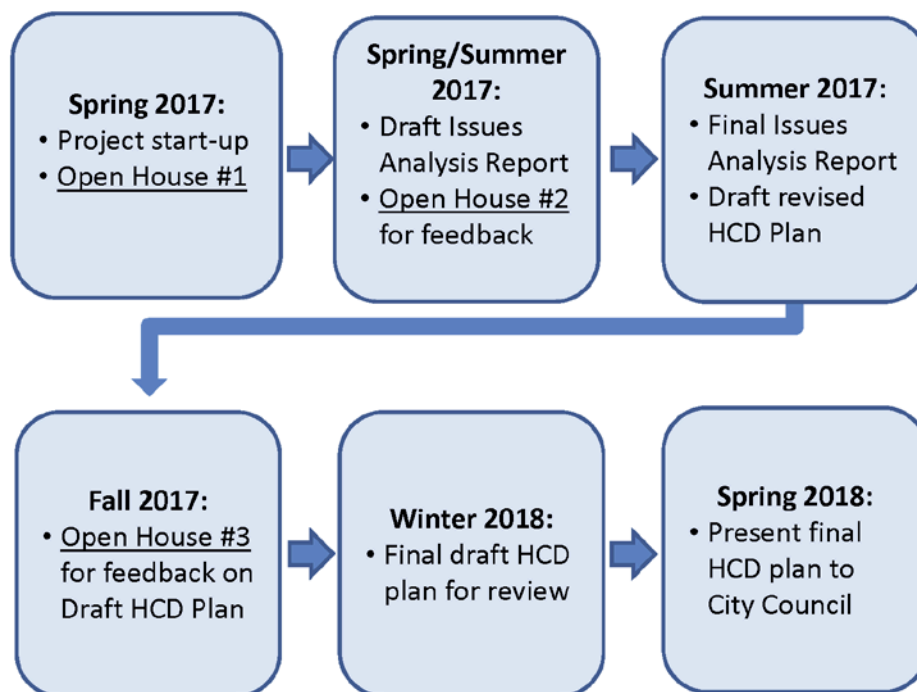
2.2 Project scope and work plan

The Port Credit Heritage Conservation District update project is divided into two phases as follows:

Phase 1 involves the preparation of an Issues Analysis Report to assess how the current HCD Plan has been working, to investigate possible boundary changes, to identify any opportunities to make the Plan better, and identify issues to be carried forward for consideration in revising the HCD Plan. As part of this phase, the project team met with City staff in March to review the project scope and overall approach. A community consultation meeting was then held in April in order to obtain input on the direction for the project and key issues that the update project should address. A review of background information and applicable policies was also undertaken by the project in order to provide context. This Issues Analysis Report summarizes the Phase 1 work to date.

Phase 2 involves the preparation of the updated HCD Plan document. This updated District Plan will be in compliance with current legislation, and will reflect current heritage conservation best practices and related policies. Any changes identified through the Issues Analysis process will also be integrated.

It is expected that the two phases of the project will be complete in spring 2018, as outlined below:



3.0 Current land use and applicable City policies

3.1 Land use within the Port Credit HCD

When the 2003 Heritage Conservation Feasibility Study of Old Port Credit Village was conducted, the study area consisted of mostly single-family dwellings, three mid-rise apartment buildings, one high-rise apartment building, commercial storefronts, places of worship, a cemetery, a nursery school, two public parks, and parking lots.

There has been little change in the District since 2003, and today the area continues to represent a predominantly low-rise residential neighbourhood adjacent to the historic core of Port Credit.

3.2 City of Mississauga Official Plan

The current City of Mississauga Official Plan was initially adopted by City Council in 2012, with subsequent amendments adopted by Council since that time. The most recent consolidation is dated March 2017. Most of Old Port Credit Village is designated 'Residential Low Density I' and "Public Open Space" on Schedule 10 (excerpt below). The southern side of Lakeshore Road West has "Mixed Use" and "Private Open Space" designations, and the eastern side of the Front Street South has a "Residential High Density" designation. Small areas are also designated "Residential Medium Density".

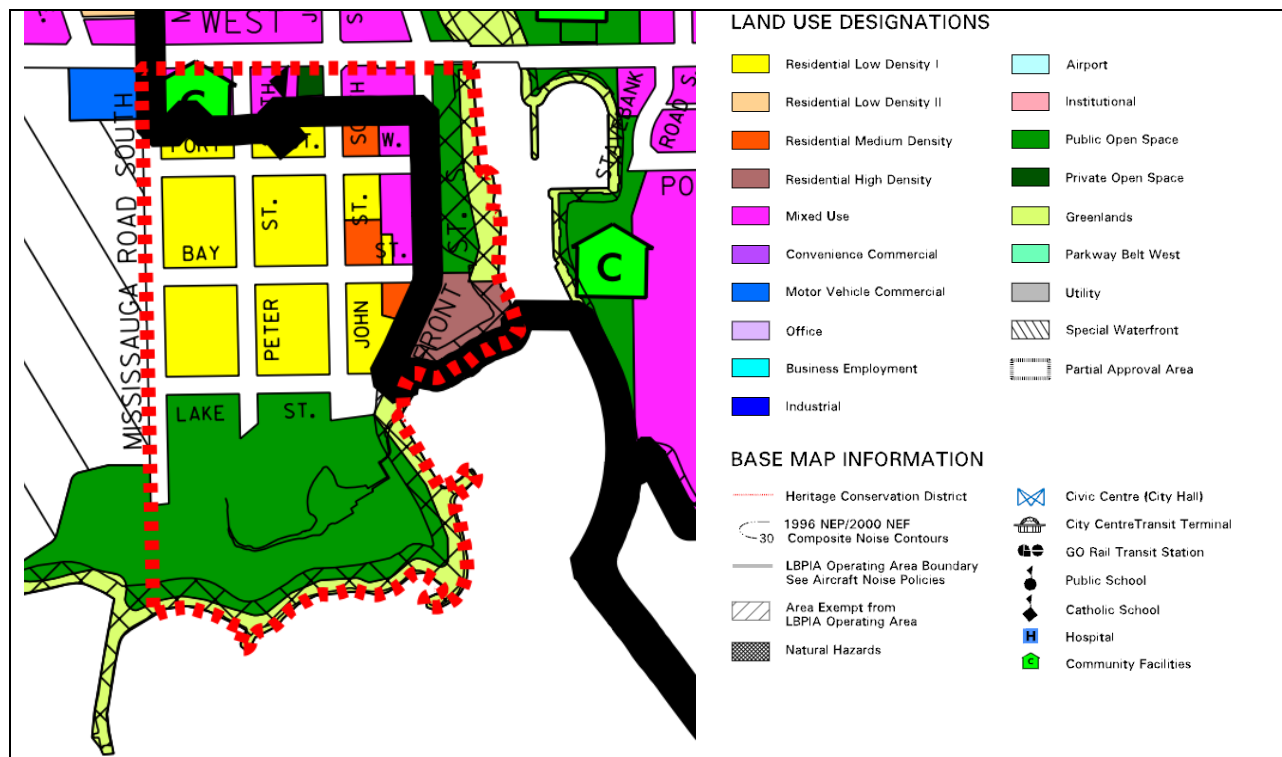


Figure 2: Detail of Land Use Plan (source: City of Mississauga Official Plan)

Section 7.4 of the Official Plan contains policies related to cultural heritage resources, heritage properties, heritage conservation districts, and archaeological resources. Section 7.4.3 states that the Old Port Credit Village is a Heritage Conservation District which is “of unique character to be conserved through a designation by-law pursuant to the Ontario Heritage Act.”

The Official Plan provides a Local Area Plan for Port Credit, which includes specific policies related to the Old Port Credit Village in Sections 10.3.2. These policies state:

10.3.2.1 Any additions, alterations, adaptive reuse or redevelopment will address how the development:

- *displays massing and scale sympathetic to surroundings;*
- *preserves the historic housing stock;*
- *supports the existing historical character;*
- *maintains the existing street grid pattern and building setbacks; and*
- *maintains and enhances significant groupings of trees and mature vegetation.*

10.3.2.2 Mississauga will encourage landscape screening along the west side of Mississauga Road South to buffer the adjacent vacant former refinery site.

Further site-specific policies can be found in Sections 13.1.4 through 13.1.9 of the Local Area Plan for Port Credit which address the non-residential properties of the District.

The above policies provide guidance for development within the Old Port Credit Village and will help inform the update to the HCD Plan. The update to the HCD Plan, in turn, may recommend changes to these existing City of Mississauga Official Plan Policies.

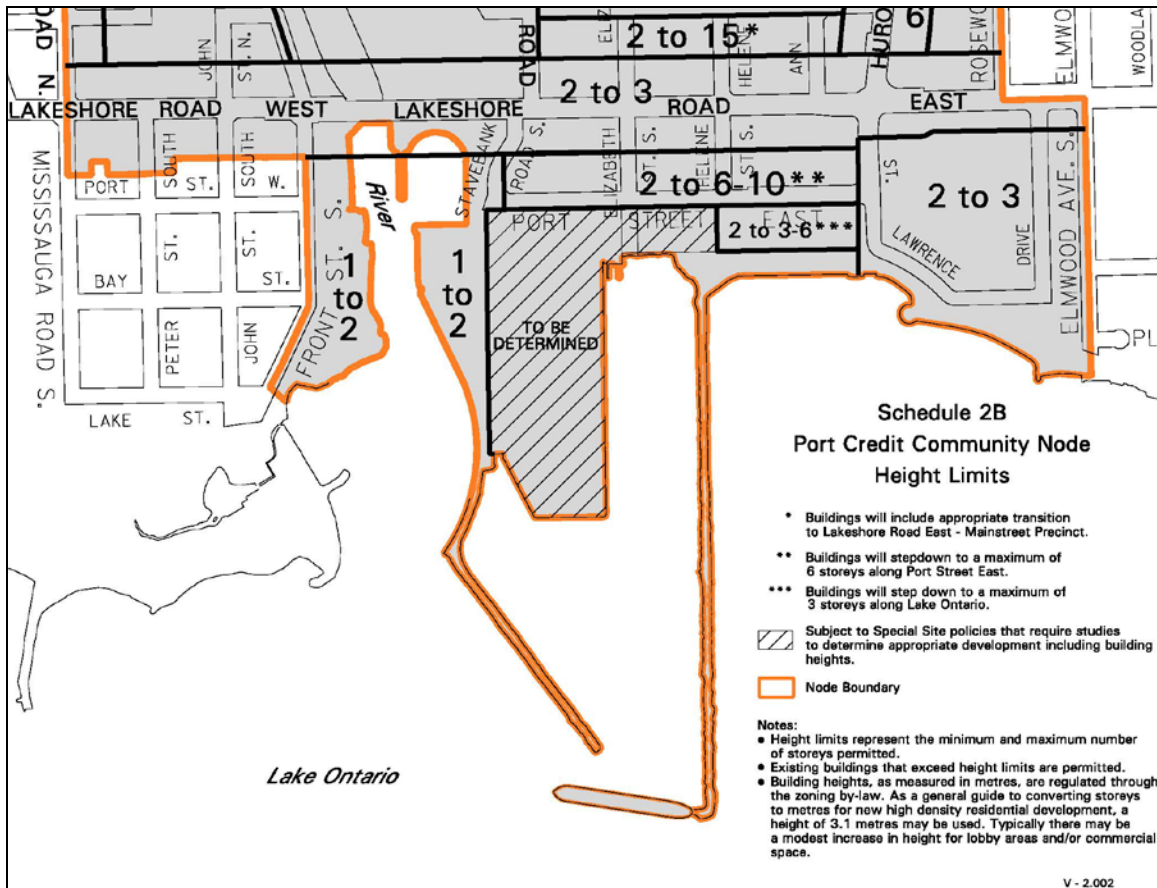


Figure 3: Detail of Port Credit Height Limits Plan (source: City of Mississauga Official Plan)

3.3 City of Mississauga Zoning By-law

The City of Mississauga Zoning By-Law 0225-2007 was initially approved in 2007, and has been updated since that time as changes have occurred.

The Old Port Credit Village is zoned mostly “Residential”, with “Commercial” zoning on the south side of Lakeshore Road West, and on the west side of Front Street South. J.C. Saddington park, south of Lake Street, and Marina Park, east of Front Street South are zoned “Open Space”. In addition, the shoreline along the Credit River, as well as Lake Ontario is zoned as a floodplain.

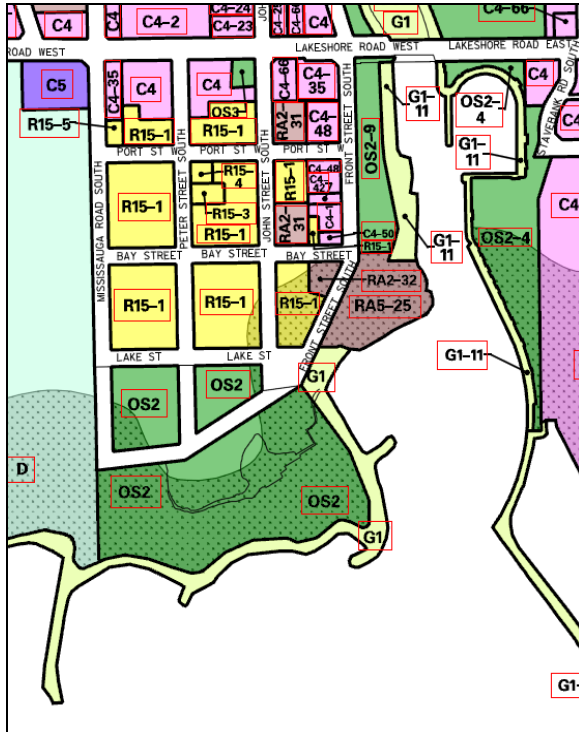


Figure 4: Zoning Map detail (source: City of Mississauga Zoning By-law)



Figure 5: Floodplain Map Detail (source: Credit Valley Conservation)

As part of the update to the Old Port Credit Village HCD Plan, the project team will review current zoning regulations, and may recommend changes where applicable to reflect the intent of the Plan and designation.

3.4 Village of Port Credit HCD Plan

The current 2004 HCD Plan is also the first HCD Plan for the Old Port Credit Village HCD. The main goal is described as conserving and enhancing the historical character of Old Port Credit Village, and the plan serves to guide physical change over time so it contributes to, and does not detract from the district's historical character.

The current HCD Plan contains a character statement, objectives, policies, and guidelines which address: building conservation, alteration and additions to buildings, new buildings, landscape conservation, public lands, lands adjacent to the HCD, and the heritage permit process.

The HCD Plan classifies buildings in the district into three categories: "Historic Interest Buildings", "Complementary Buildings", and "Other Buildings". "Historic Interest Buildings" are buildings whose age, history or architecture is significant in the district and include village landmarks – ranging from the oldest surviving building in the district to landmarks of the 1950s – and modest vernacular dwellings dating from the

nineteenth and early twentieth centuries. “Complementary Buildings” are buildings that in terms of height and size complement the buildings of historic interest. “Other Buildings” are buildings that are neither buildings of historic interest nor complementary buildings. The history and physical character description for each specific property is described in the 2003 Heritage Conservation Feasibility Study of Old Port Credit Village: Building Inventory.

The building conservation guidelines pertain to the Buildings of Historic Interest and provide direction on building maintenance, siding and cladding replacement, wall assembly upgrades, structural conservation, painting, authentication and documentation of alterations, and general aesthetic controls.

The alterations and additions guidelines address Complementary Buildings and provide direction on addition placement, scale, cladding material, window shape, roof shape, garage location, tree conservation, and general aesthetic controls.

The design guidelines for new construction provide direction on height, siting, tree conservation, cladding material window shape, roof shape, and general aesthetic controls.

The landscape conservation guidelines address the importance of the landscape character as a collection of details that form a comprehensive visual appearance. The guidelines are organized into the categories of open space, streetscape elements, and private landscapes. For the private realm, direction is provided for new trees and shrubs, garages, driveways, and maintenance of existing trees, shrubs, and grades. For the public realm, direction is provided for open space parkland, trees, roads, and other infrastructure. There do not appear to be significant changes in the District’s landscape since 2003, aside from the expected continued growth and maturation of vegetation.

As expected, some of the buildings in the District have been altered or replaced since the initial work conducted in 2003. The alterations are mostly positive improvements to the existing buildings and include replacement of non-original cladding material with original cladding material (**Figure 7** and **8**), additions complying with the current HCD plan, and cosmetic repairs. In addition, there have been some successful recently-constructed replacement buildings which abide by the current HCD design guidelines for new construction (**Figure 9** and **10**). The updated HCD Plan will include a Building Inventory to reflect these changes.

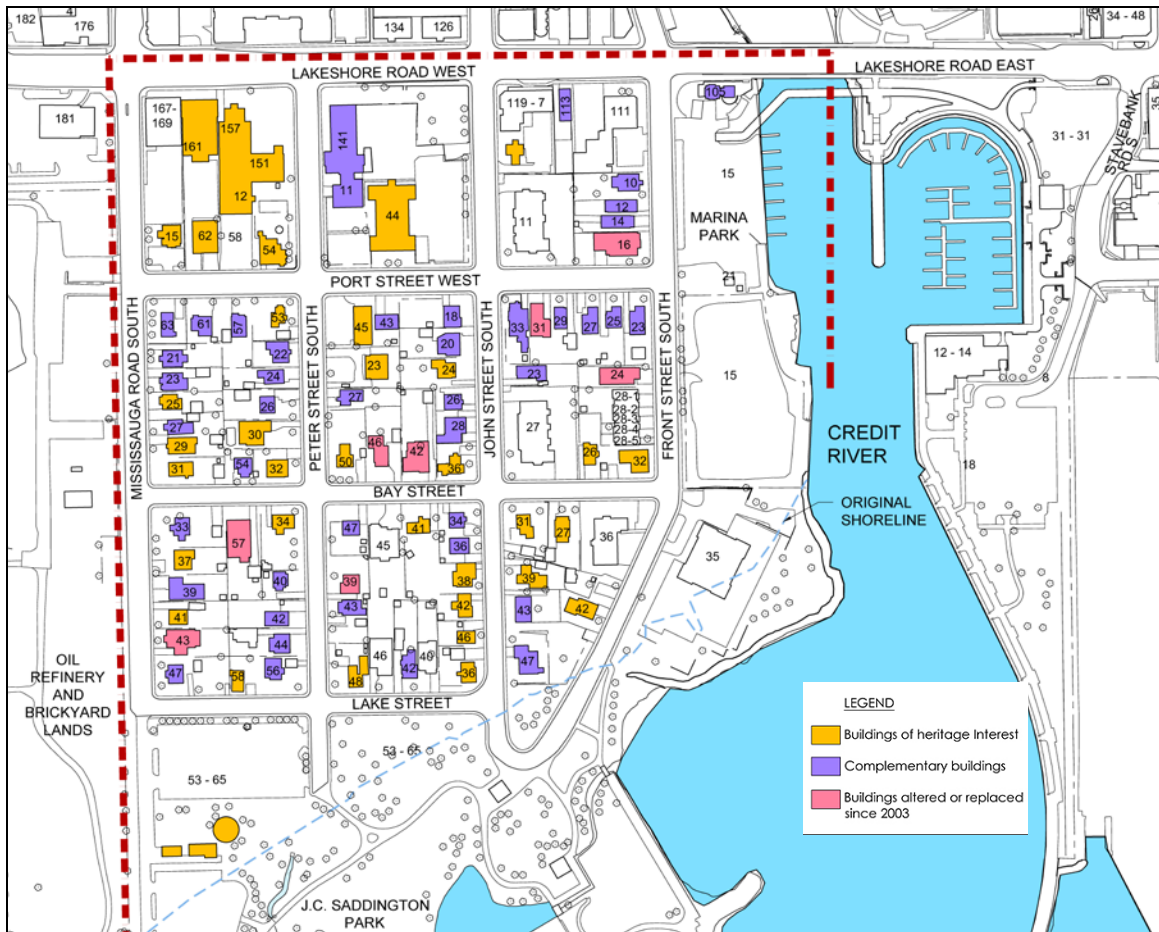


Figure 6: Building Inventory map detail showing buildings altered since 2003



Figure 7: Example of a Historic Interest Building with non-original asphalt shingle cladding, 2003



Figure 8: Example of a Historic Interest Building, improved by the replacement of asphalt shingles with wood shingles, 2016



Figure 9: Historic Interest Building (now demolished), 2003



Figure 10: New building replacing Historic Interest Building in Figure 9, 2016

4.0 Recent policy and legislation changes

4.1 Ontario Heritage Act

The *Ontario Heritage Act* is the legislation which enables municipal and provincial governments to designate and manage properties and districts determined to be of cultural heritage value or interest in Ontario. The Ontario Heritage Act has been amended since it was first enacted in 1975, with the most recent and significant changes occurring in 2005. Although the 2005 changes to the *Ontario Heritage Act* post-dated the 2004 *Old Port Credit Village Heritage Conservation District Plan*, many of these changes were known in advance and incorporated into the Plan.

The *Ontario Heritage Act* is split into various sections, dealing with different types of cultural heritage resources. Part V of the Act addresses heritage conservation districts, and is most applicable to work on the Port Credit HCD Plan update project. Port Credit is one of two such designated areas in the City. Part IV of the Act addresses the designation of individual properties, and the City of Mississauga has designated approximately 130 properties under this Part. For reference, Part III of the Act addresses Provincially-owned properties, and Part VI of the Act addresses archaeological resources.

The *Ontario Heritage Act* now provides clearer guidance regarding the process to designate a heritage conservation district, as well as the required contents of a heritage conservation district plan. Subsection 41.1 (5) of the Act states that a heritage conservation district plan shall include:

- (a) a statement of the objectives to be achieved in designating the area as a heritage conservation district;

- (b) a statement explaining the cultural heritage value or interest of the heritage conservation district;*
- (c) a description of the heritage attributes of the heritage conservation district and of properties in the district;*
- (d) policy statements, guidelines and procedures for achieving the stated objectives and managing change in the heritage conservation district; and*
- (e) a description of the alterations or classes of alterations that are minor in nature and that the owner of property in the heritage conservation district may carry out or permit to be carried out on any part of the property, other than the interior of any structure or building on the property, without obtaining a permit under section 42. 2005, c. 6, s. 31.*

Items c, d, and e listed above will be revisited by the study team as part of the update. Information related to alterations or classes of alterations that are minor in nature and may be carried out without obtaining a heritage permit is an especially important component of the update work, and will be updated in consultation with the public to determine the level of oversight desired for the District.

4.2 Provincial Policy Statement

The Provincial Policy Statement (PPS) contains Provincial direction regarding land-use planning. It provides direction to promote communities, economy, and environment. Municipalities must align their policies with the direction of the PPS. The 2005 and 2014 updates to the PPS should be assessed for their impact on the update to the Old Port Credit HCD Plan, which was adopted by by-law in 2004 under the 1997 PPS.

The PPS contains broad-level policies related to cultural heritage and archaeological resources in Section 2.6. Figures 11, 12 and 13 illustrate the changes in policies regarding Cultural Heritage and Archaeological Resources that may have an impact on the Old Port Credit HCD Plan. The cultural heritage policies direct that significant cultural heritage resources shall be conserved, and that development on adjacent lands will not be permitted unless it is demonstrated that heritage attributes will be conserved.

2.5 Cultural Heritage and Archaeological Resources

2.5.1 Significant built heritage resources and cultural heritage landscapes will be conserved.

2.5.2 Development and site alteration may be permitted on lands containing archaeological resources or areas of archaeological potential if significant archaeological resources have been conserved by removal and documentation, or preservation on site. Where significant archaeological resources must be preserved on site, only development and site alteration which maintain the heritage integrity of the site will be permitted.

Figure 11: Excerpt from the Provincial Policy Statement, 1997

2.6 Cultural Heritage and Archaeology

2.6.1 *Significant built heritage resources and significant cultural heritage landscapes shall be conserved.*

2.6.2 *Development and site alteration shall only be permitted on lands containing archaeological resources or areas of archaeological potential if the significant archaeological resources have been conserved by removal and documentation, or by preservation on site. Where significant archaeological resources must be preserved on site, only development and site alteration which maintain the heritage integrity of the site may be permitted.*

2.6.3 *Development and site alteration may be permitted on adjacent lands to protected heritage property where the proposed development and site alteration has been evaluated and it has been demonstrated that the heritage attributes of the protected heritage property will be conserved.*

Mitigative measures and/or alternative development approaches may be required in order to conserve the heritage attributes of the protected heritage property affected by the adjacent development or site alteration.

Figure 12: Excerpt from the Provincial Policy Statement, 2005

2.6 Cultural Heritage and Archaeology

2.6.1 *Significant built heritage resources and significant cultural heritage landscapes shall be conserved.*

2.6.2 *Development and site alteration shall not be permitted on lands containing archaeological resources or areas of archaeological potential unless significant archaeological resources have been conserved.*

2.6.3 *Planning authorities shall not permit development and site alteration on adjacent lands to protected heritage property except where the proposed development and site alteration has been evaluated and it has been demonstrated that the heritage attributes of the protected heritage property will be conserved.*

2.6.4 *Planning authorities should consider and promote archaeological management plans and cultural plans in conserving cultural heritage and archaeological resources.*

2.6.5 *Planning authorities shall consider the interests of Aboriginal communities in conserving cultural heritage and archaeological resources.*

Figure 13: Excerpt from the Provincial Policy Statement, 2014

As outlined above, the policy direction from the Province has become stronger over the years related to the conservation of significant cultural heritage and archaeological resources, as well as placing increased emphasis on Aboriginal communities. This is relevant as the project team crafts enhanced policies related to the conservation of the heritage resources within the Port Credit Heritage Conservation District.

The other key changes in the PPS which may be relevant to the update to the HCD Plan include active transportation, trails, land-use compatibility, infrastructure, climate change, and natural heritage. It will be important to be mindful of these areas of policy direction while updating the HCD Plan.

These changes will be reviewed by the study team and incorporated accordingly in the updated HCD Plan to ensure sufficient guidance regarding the conservation of cultural heritage resources and attributes.

4.3 Other policy changes

There have been other areas of policy development at the Provincial and Federal level since the current Heritage Conservation District was approved. The following documents are applicable to work on heritage conservation districts, and will also be taken into account in the preparation of the updated Port Credit HCD Plan.

Accessibility

The first relates to accessibility and specifically the Accessibility for Ontarians with Disabilities Act (AODA). This legislation came into force in 2005, and has the overall intent to make the province accessible by 2025. The issue of compliance for heritage properties, specifically those designated under the Ontario Heritage Act is yet to be addressed in legislation, but current information from the Ministry suggests that greater accessibility must be met while taking into account the value of heritage building fabric, historical spaces and architectural features.

Green energy

The Provincial Green Energy Act came into force in 2009, and is focused on promoting green energy projects and approval processes. Proponents of an energy renewal project must satisfy the approval authority that they will have all heritage permits and met any conditions used by a municipality. In addition to the Provincial legislation, there is growing interest for private individuals to install green energy equipment (e.g. solar panels) on their homes. This can often be accommodated on heritage properties provided that adequate care is exercised regarding placement and historic building materials.

Standards and Guidelines for the Conservation of Historic Places in Canada

A third area of policy development was the preparation of the Standards and Guidelines for the Conservation of Historic Places in Canada in 2002 (with updates in 2011). This document was produced by Parks Canada and contains applicable

guidance related to understanding historic resources and determining types of interventions, as well as best practices related to cultural heritage landscape conservation and building conservation.

The Standards and Guidelines for the Conservation of Historic Places in Canada has also been referenced by many municipalities as a source of best practices related to heritage conservation. City of Mississauga Council has adopted the Standards and Guidelines for the Conservation of Historic Places in Canada as a document to be considered related to heritage conservation efforts.

Ontario Heritage Toolkit

The Ontario Heritage Toolkit is a collection of documents authored by the Province (Ministry of Tourism, Culture and Sport), that provide guidance related to a variety of cultural heritage planning matters. One document relates specifically to heritage conservation districts, and provides information related to the steps to undertake in designating a district. The introduction of the section describing what a heritage conservation district is notes that a heritage district "...enables the council of a municipality to manage and guide future change in the district, through adoption of a District plan with policies and guidelines for conservation, protection and enhancement of the area's special character."

5.0 Matters to address through HCD Plan update

5.1 Introduction

Part of the purpose of the initial phase of work on the Old Port Credit Village HCD Plan update is to identify issues and subject areas that should be addressed through the updates to the HCD Plan. While it is important to review background materials, the primary way to gain insight as to how the HCD Plan and approvals process are functioning is through consultation with the community and City staff.

A kick-off community meeting was held on April 25th, 2017, at Clarke Memorial Hall (161 Lakeshore Road) from 7:00 pm to 9:00 pm. The meeting format consisted of a presentation by the project team, followed by a workshop format where participants were asked to answer specific questions about the current HCD Plan and the approvals process. The meeting was well-attended. Feedback forms were also available at the meeting and posted on the City of Mississauga website in order to provide additional opportunities to obtain input. A summary of the input received is in **Appendix A**.

A second community meeting was held on June 27th, 2017 from 6:00 pm to 9:00 pm. The meeting format consisted of a neighbourhood walkabout for the community to let

City staff and consultants know on site what is working or not about the District. Following the walkabout, the community was invited to Clarke Memorial Hall to view display boards outlining the issues raised by the community at the first community meeting, and the options to be considered to address these issues. After the viewing of the boards, the consultant team presented the Draft Issues Analysis Report, followed by a question-and-answer session. The meeting was well-attended. The display boards and the presentation materials were posted on the City of Mississauga website after the meeting. A summary of the input received is included in **Appendix B**.

5.2 Issues and options identified to date

The following is a listing of the various issues that have been identified by the study team through a review of background materials, applicable policies and guidelines, through input from the community, and through input from City of Mississauga staff. These issues will each be discussed later in this report, with a conclusion on how they are carried forward (or not) to the updated HCD Plan.

- Issue #1: How can the updated HCD Plan address compliance with the new Ontario Heritage Act, PPS, and other policies and guidelines?**
- Issue #2: How can the updated HCD Plan address the proposed future development of the former oil refinery lands on the west side of Mississauga Road South?**
- Issue #3: Should the updated HCD Plan address the Mississauga Road Scenic Route policies?**
- Issue #4: How can the updated HCD Plan address the heritage permit application process?**
- Issue #5: How can the updated HCD Plan address the District boundary?**
- Issue #6: How can the updated HCD Plan address potential Marina Park redevelopments?**
- Issue #7: How can the updated HCD Plan address the proposed plans to develop 1 Port Street East on the east side of the Credit River?**
- Issue #8: How can the HCD Plan address First Nations heritage recognition?**
- Issue #9: How can the updated HCD Plan address the design of new construction?**

- Issue #10:** How can the updated HCD Plan address the design of additions and/or alterations to buildings classified as “Complementary Buildings” in the current HCD Plan?
- Issue #11:** How can the updated HCD Plan address the promotion of the HCD to the public as a cultural asset?
- Issue #12:** How can the HCD Plan address the public realm improvements?
- Issue #13:** How can the HCD Plan address the use of LED street lamps and the exposure of power lines?
- Issue #14:** How can the updated HCD Plan address accessibility improvements such as exterior lifts and ramps?
- Issue #15:** How can the updated HCD Plan address green initiatives and sustainable designs?
- Issue #16:** How can the updated HCD Plan address grants and other financial incentives for property owners in the District to maintain and improve their properties?
- Issue #17:** How can the updated HCD Plan address the enforcement of the Plan?
- Issue #18:** How can the updated HCD Plan address potential re-development of the existing apartment building properties (11 John Street, 27 John Street, 35 Front Street, and 36 Front Street?)
- Issue #19:** How can the updated HCD Plan address the Building Inventory of the District?
- Issue #20:** How can the HCD Plan address public transit access?
- Issue #21:** How can the HCD Plan address affordable housing?
- Issue #22:** How can the HCD Plan address flood plain regulations?
- Issue #23:** How can the updated HCD Plan address the value and purpose of keeping Old Port Credit Village a Heritage Conservation District? Can “monster” homes be permitted?

6.0 Analysis of issues and comments provided to date

6.1 Introduction

The purpose of this section is to provide analysis and discussion of the identified issues, and provide a recommendation on those issues that should be carried forward to the HCD Plan update and those that are beyond the scope of the project or should be addressed by other means. Some issues may not be reflected in the actual updated Old Port Credit Village HCD Plan, but can be addressed through implementation recommendations provided to the City of Mississauga.

6.2 Issues analysis

The following main issues will be addressed by the update of the Old Port Credit Village Heritage Conservation District Plan:

Issue #1: How can the updated HCD Plan address compliance with the new Ontario Heritage Act, PPS, and Heritage Toolkit?

As identified earlier in this report, there have been updates to various policies and guidelines that have bearing on Old Port Credit village. Some updates, such as those to the *Ontario Heritage Act*, provide specific direction related to the format and content of heritage conservation district plans, and will be referenced directly as the new document is being prepared in order to ensure the proper terminology is used.

The *Ontario Heritage Act* now also requires heritage conservation district plans to contain information related to the types of alterations to properties that do not require a heritage permit. Some HCDs contain a broad range of alterations that fall under this category, while others are less permissive with respect to these types of alterations. The updated HCD Plan will consider the types of alterations that are appropriate to allow without the requirement for a heritage permit, in consultation with the community and City staff.

Other topic areas, such as the Ontario Heritage Toolkit comprise general reference material that will be reviewed to ensure that pertinent information regarding building alterations, additions, restoration and adjacent lands are included in the updated HCD Plan.

Issue #2: How can the updated HCD Plan address the proposed future development of the former oil refinery lands on the west side of Mississauga Road South?

The current HCD Plan policy 2.2.8.1.1 states: “Any new built form on oil refinery/brickyard lands abutting Mississauga Road South will not rise above two storeys.” Concern was raised at the community meeting on April 27th that this direction may not be achieved through the proposed development of the former oil refinery lands.

The City of Mississauga has also undertaken the preparation of a master plan framework for the former Imperial Oil Lands (titled *Inspiration Port Credit*). This document was approved by the Planning and Development Committee and later endorsed by Council on December 9th, 2015. This document provides a framework to guide the preparation of a master plan for the property. In the *Port Credit West Village Draft Masterplan* (March 14, 2017) made available, the proposed development abutting Mississauga Road South includes three-storey townhouses and a four-storey YMCA community centre.

At the community meeting, concern was also expressed regarding traffic concerns that may be caused by the redevelopment of the refinery lands. It was recommended that the fifteen hour street parking limit be reduced given the expected increase in parking demands that will arise from the future development of the oil refinery lands. Concerns were also raised regarding an increase in through-traffic from the future development of the oil refinery lands.

The oil refinery lands are located outside of the Old Port Credit Village Heritage Conservation District, so are not directly governed by the HCD Plan. However, the lands are considered to be ‘adjacent lands, and the updated HCD Plan could include policies related to adjacency in order to provide some direction related to potential impacts on the District. This will be examined further by the study team.

Regarding traffic concerns, the HCD Plan is not able to directly control traffic. However, the study team can examine whether it would be appropriate for the updated HCD Plan to make recommendations on the potential implementation of features such as textured paving or other measures such as bump-outs and speed humps.

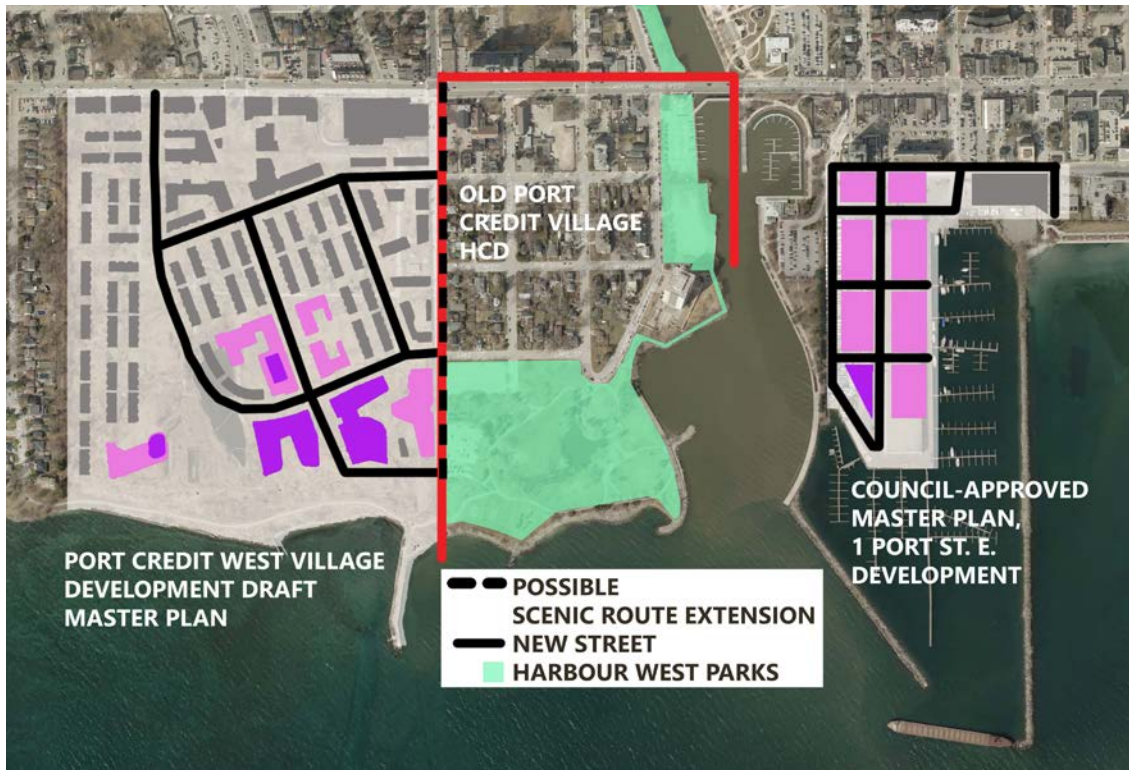


Figure 14: Proposed developments adjacent to the Old Port Credit Village HCD

Issue #3: Should the updated HCD Plan address the Mississauga Road Scenic Route policies?

At the community meeting, the comment was made that the Mississauga Road Scenic Route should be extended south of Lakeshore Road to Lake Ontario.

The Mississauga Road Scenic Route policies are intended to protect the special character of the scenic road. These policies currently exclude the portion of Mississauga Road through Streetsville and in Port Credit south of Lakeshore Road. However the *Local Area Plan Port Credit Built Form Guide* has identified the latter as a potential scenic route requiring further study.

Including the road south of Lakeshore Road under the Scenic Route policies would invoke the following requirements outlined in the *Mississauga Road Scenic Route Policies Review Report* dated October, 2016:

- *In order to preserve its historic streetscape character, residential development of the portion of the lands with frontage along Mississauga Road will be in the form of detached dwellings. Other forms of residential development will not be permitted abutting Mississauga Road.*

- *Lots abutting Mississauga Road will be encouraged to have direct vehicular access to Mississauga Road.*
- *Service road and reverse lot development will not be permitted on lots abutting Mississauga Road.*
- *Development of lands abutting Mississauga Road will not be permitted if it will require an increase in the existing Mississauga Road pavement width.*
- *Building massing, design, setbacks and lot frontages will be consistent with surrounding buildings and lots.*
- *Tree preservation and enhancement will be consistent with surrounding buildings and lots.*

The study team will review the policy direction related to the Mississauga Road Scenic Route, and consider how it can be addressed in the updated HCD Plan. A recommendation may also be made regarding the appropriateness of extending the Scenic Route to Lake Ontario.

Issue #4: How can the updated HCD Plan address the heritage permit application process?

At the community meeting, the study team received comments that improvements could be made to the heritage permit process in order to make the process easier to navigate for applicants. It was felt that a sub-committee could assist in this regard. The purpose of the committee will be to assist HCD homeowners in preparing their heritage permit application and to liaise with the City. The intention is to create a friendlier environment for new owners to discuss the approval process and greater transparency between the City and the Old Port Credit residents.

The current HCD Plan does not include provisions regarding the creation of a sub-committee, and most HCD Plans do not contain this type of detail in the plan itself. The study team will consider the interest expressed during the public meeting for the creation of a committee comprised of HCD residents, and may include implementation recommendations in this regard.

The study team may also include recommendations for on-line tools to help expedite the heritage permit process. For example, section 4.3 of the current HCD Plan refers to research notes in a binder at the Mississauga Central Library. It can be recommended that these notes be accessible on-line.

A need for clearer and more visually accessible and compressed version of the design guidelines was also identified by the community. It was suggested that providing the guidelines as a single-leaflet would help to encourage successful first-time submissions of heritage permit applications and therefore reduce the length of time and cost to the property owner for the heritage permitting process. The study team will examine this further as part of the update process.

Issue #5: How can the updated HCD Plan address the District boundary?

The current HCD Plan applies to the area designated by the former By-Law No. 0272-2004 described as:

The area known locally as Port Credit Village being bounded by Lakeshore Road West to the north, Mississauga Road South to the west, Lake Ontario to the south, and Credit River to the east, and more particularly shown on Appendix "A" attached hereto is hereby designated as a Heritage Conservation District.

At the City's Technical Advisory Team Meeting #1, it was suggested that the former Yacht Club lands and related parkland to the south be included in the HCD. Possible revisions to the north, west and southern boundaries were also discussed. The community was also asked about boundary suggestions at the community meeting held on April 27th.

Regarding the northern boundary, it was generally felt that the existing boundary was acceptable. Possible adjustments were suggested to ensure that Lakeshore Road was included within the District.

Regarding the western boundary, it was suggested that the District extend partly into the former oil refinery lands in order to provide some direction regarding those lands (30 metres was recommended by some members of the public). It was also suggested that the inclusion of the entire Mississauga Road road allowance would help provide some direction, through provisions related to adjacent lands.

Regarding the southern boundary, it was suggested that it be clarified that the District extends to Lake Ontario, thereby including all of J.C. Saddington Park.

As a result of the review undertaken and input provided, the study team recommends that the boundary of the HCD Plan be revised to encompass the entire Credit River, as well as the City-owned property located on the east side of the harbour. The northern and western boundaries should also be clarified to include all of Lakeshore Road and

Mississauga Road, respectively. In addition, the southern boundary should be clarified to be the shoreline.



Figure 15: Existing HCD boundary



Figure 16: Recommended HCD boundary

Issue #6: How can the updated HCD Plan address potential Marina Park redevelopments?

Concern was raised at the community meeting regarding the potential impacts of the proposed Marina Park redevelopment on the District. Marina Park is located on the west side of the harbour, adjacent to Lake Ontario. The lands are located within the District, and it has been confirmed that the City of Mississauga currently owns the property presently occupied by Marina Park.

The current HCD Plan policies 2.2.7.8 and 2.2.7.9 state considerations to be made for the development of Marina Park regarding scale, views, street grid, pedestrian access, historical interpretation, archaeological research, and public consultation. The study team will review this information and consider if any updates are required.

In addition, the City is currently proceeding through a separate community consultation process and design project for the area of the District including the park. The proposed redevelopment will be required to be in conformity with the existing HCD Plan, and depending on timing the new HCD Plan as well.

Issue #7: How can the updated HCD Plan address the proposed plans to develop 1 Port Street East on the east side of the Credit River?

At the community meeting, concern was raised regarding the potential impact of the development proposed a 1 Port Street East on the Old Port Credit HCD. These lands are located outside of District, but would be adjacent if the boundary is revised as recommended.

The study team will consider if it is appropriate for the updated HCD Plan to address the proposed plans to develop the marina on the east side of the Credit River in a general way, as per the *1 Port Street East Comprehensive Master Plan Final dated May 12, 2016*. Policies under consideration regarding adjacent lands will also assist in this regard and provide clearer direction.

Issue #8: How can the HCD Plan address First Nations heritage recognition?

First Nations' use of the lands within Port Credit is an important part of the history of this area of the City. The current HCD Plan acknowledges the Mississaugas of the Credit history in Port Credit in Section 1.5. There was an interest expressed at the community meeting for additional recognition of this history through the update of the HCD Plan.

The updated HCD Plan can recommend the physical recognition of The Mississaugas of the Credit's heritage via the planned continuation of the proposed Credit River Trail along Marina Park and along J.C. Saddington Park. Interpretive parkland features in J.C. Saddington Park could also act as sites for First Nations' ceremonial use.

Further discussion of these opportunities should be carried forward for consideration through the update of the HCD Plan, and may also consider other City initiatives related to parkland in the area.

The study team met with representatives from the Mississaugas of the Credit on July 27, 2017, to open a dialogue concerning the review of the HCD Plan. The items discussed included updating terminology, historical background, and ways to acknowledge their history in the area. The minutes from the meeting are included in **Appendix C**.

Issue #9: How can the updated HCD Plan address the design of new construction?

At the community meeting, comments were provided that the HCD Plan could include additional guidance regarding the design of new construction within the District. Specific mention was made of modern design. It was also identified that further clarification of these guidelines, as well as the additional use of illustrations, would assist permit applicants.

Section 6 of the current HCD Plan is entitled “Design Guidelines for New Construction”. This section deals with issues related to building height, roof profile, finish materials, and other exterior features. It also includes the following:

Guideline 6.10 - Make your new house a product of its own time...

Your new house should be respectful of the district’s historical patterns, but it should not pretend to be old. Consider modern or traditional styles, but avoid incorporating features that mimic historic features.

The current HCD Plan provides guidelines for the design of new construction. The intent of the policies in the current HCD Plan is to discourage replicas of historic buildings, as current best practices suggest that contemporary construction is acceptable and new construction should be distinct from the original building. The intent is to allow flexibility on new construction style while maintaining the scale.

One of the tasks related to the HCD Plan update is to enhance some of the areas of policies and guidelines, particularly related to new construction. The updated HCD Plan can expand on the existing direction and provide additional details to assist future applicants.

Issue #10: How can the updated HCD Plan address the design of additions and/or alterations to buildings classified as “Complementary Buildings” in the current HCD Plan?

Comments were provided to the study team that the HCD Plan should address “Complementary Buildings” in a more comprehensive way, as these buildings seem to have increased pressure for major additions, alterations, or replacement.

The current HCD Plan provides guidelines for the design of additions and/or alterations to “Complementary Buildings”. It has been identified that further clarification of these guidelines, as well as the additional use of illustrations, would assist heritage permit

applicants. The updated HCD Plan can expand on the existing direction and provide additional details to assist future applicants.

Issue #11: How can the updated HCD Plan address the promotion of the HCD to the public as a cultural asset?

Comments were received that there should be increased promotion of Old Port Credit as a significant heritage area of the City, and that it be specifically promoted as a cultural asset. At the community meeting, it was stated that the best way to protect the character of the District is to have a wider understanding of the area's significance, including promotion of the area. It was suggested that the City continue to promote Old Port Credit as an HCD to the public with public walking tours, street signs, an interpretive museum about the "stone-hooking" heritage of the district, and entrance features.

The current HCD Plan contains policies related to encouraging public awareness of the HCD (policies 2.2.9.1 – 2.2.9.3). These include seasonal public educational programming and interpretive markers such as plaques and gateway signs.

The study team will examine ways to increase promotion of the area through municipal implementation recommendations.

Issue #12: How can the HCD Plan address the public realm improvements?

The current HCD Plan contains policies related to maintaining the character of the public realm within the District. The HCD Plan currently recommends maintaining the existing street grid and views to Lake Ontario, as well as the enhancement of boulevards with landscaped medians where and when possible.

It was recommended that the updated HCD Plan recommend other public realm improvements such as:

- Soften streetscape with narrowing "bump-outs" for street parking,
- Increased landscaping or permeable pavers at expansive asphalt parking areas,
- The integration of bike paths and pedestrian trails within the HCD.

The study team will consider possible updates to the public realm policies and guidelines as part of the HCD Plan update. Coordination with other City departments related to detailed recommendations may be necessary.

Issue #13: How can the HCD Plan address the use of LED street lamps and the exposure of power lines?

There was concern raised at the community meeting that contemporary lighting and street lamps are not compatible with the character of the District. Some comments suggested that the District could include lighting such as gas lamps.

The 2003 Heritage Preservation Feasibility Study for Old Port Credit Village has a few early twentieth century photographs of streetscapes. Around the turn of the century (1912), hydro distribution poles appeared but none indicate early street lighting. Nor does there appear to have been any gas-lighting within Port Credit. Up until recently the streets were illuminated with cobra-headed street lights. These have been switched to LED fixtures, we assume, as part of a municipal conservation policy. Installing decorative period streetlight fixtures, without any evidence that they had been previously used, would be contrary to the conservation principles that have been established for the HCD, as well as current heritage conservation best practices.

The study team will consider possible revisions to the current policies and guidelines related to lighting within the District.

Issue #14: How can the updated HCD Plan address accessibility improvements such as exterior lifts and ramps?

There was interest expressed at the community meeting that the updated HCD Plan include information regarding accessibility. The current HCD Plan does not address accessibility improvements. However, accessibility is an emerging issue as described earlier in this report, and municipalities are starting to comply with the provisions of the Accessibility for Ontarians with Disabilities Act (AODA). The AODA provides direction related to accessibility, but also includes exemptions for cultural heritage resources where compliance with the Act would impact heritage attributes.

The study team will consider a new policy section in updated HCD Plan that addresses accessibility. It may include recommendations such as those related to ramps that incorporate the landscape instead of separate built structures, and those that recommend exterior low-rise lifts can be installed if required for accessibility since their impact is reversible.

Issue #15: How can the updated HCD Plan address green initiatives and sustainable designs?

Green energy and sustainability were issues raised by the community at the consultation meeting held in April 2017. The current HCD Plan does not provide detailed direction regarding these often-related issues.

The updated HCD Plan can provide illustrations and guidelines on the placement of any exterior alternative energy accessory, such as solar panels or small-scale windmills.

The updated HCD Plan can encourage the replacement of existing asphalt surfaces with soft landscaping and permeable pavers as appropriate within the private realm.

The conservation of existing heritage buildings has intrinsic environmental benefits, a fact that can be made more explicit in the updated HCD Plan as a way to encourage property owners to maintain their buildings.

Issue #16: How can the updated HCD Plan address grants and other financial incentives for property owners in the District to maintain and improve their properties?

There was interest expressed to the study team in having a more robust grant program, at the City level. Currently, the grants available cover material costs but not consultant or heritage permit costs. Nor are there grants for owners who have buildings classified as “Other”.

Although not something typically addressed in heritage conservation district plans, the study team can include recommendations for additional types of incentives for property owners to maintain and/or improve their buildings as part of the municipal implementation recommendations. Options could include:

- Provision of professional preliminary design advice on the feasibility and appropriateness of proposals by property owners wishing to access the financial incentive programs.
- Assistance in funding condition assessments, heritage impact assessments and conceptual design sketches through its financial incentive programs.
- A tax relief program for designated heritage property to district properties.

Issue #17: How can the updated HCD Plan address the enforcement of the Plan?

At the community meeting, concern was expressed regarding the unauthorized construction of additions to properties and the unauthorized clearing of trees. The updated HCD Plan can recommend that the City consider the preparation of an enhanced Property Standards By-law that could ensure the conservation of the heritage attributes of those properties designated under the Ontario Heritage Act. The Act reinforces the municipal Property Standards By-law in Sentence 35.3 (1) (b):

...the municipality may, by by-law...(b) require property that has been designated under section 29...that does not comply with the standards to be repaired and maintained to conform with the standards.

While enforcement matters such as these are beyond the scope of the HCD Plan update, the study will consider whether recommendations related to enforcement are appropriate to include in the advice to the City regarding municipal implementation.

Issue #18: How can the updated HCD Plan address potential re-development of the existing apartment building properties (11 John Street, 27 John Street, 35 Front Street, and 36 Front Street)?

At the community meeting, concern was raised by the community regarding the potential redevelopment of some of the existing apartment buildings within the District. There was concern that they would be replaced with a built form that is larger and less-compatible with the District.

Current zoning by-law indicates the height limit for 11 John Street, 27 John Street, and 36 Front Street shall not exceed what is already built on the property.

The City of Mississauga Official Plan indicates a maximum height of one to two stores (Figure 3) for 35 Front Street. Current zoning by-law for 35 Front Street indicates a minimum floor space index as 1.0 and a maximum floor space index as 1.8, and a maximum height of 20 storeys. If the 35 Front Street were to be redeveloped according to current zoning by-law, it will not exceed what is already built on the property. The

The updated HCD Plan could include further general direction related to future redevelopment of the properties in question.

Issue #19: How can the updated HCD Plan address the Building Inventory of the District?

Comments were received that the inventory information contained in the current HCD Plan is dated and should be revisited and updated as part of this project. This could include revisions to the building categorization. As outlined earlier in this report, the current HCD Plan contains three categories of buildings.

The updated Building Inventory section of the updated HCD Plan can expand on the property-specific heritage attributes to assist heritage permit applicants. The intention is to minimize the need for heritage permit applicants to hire a heritage consultant to assess the heritage attributes in order to complete their heritage permit application.

The study team will determine if the current HCD Plan's three categories of buildings should be modified to accommodate additional categories for renovated heritage buildings and buildings that have changed from "Historic Interest" to Complementary".

Issue #20: How can the HCD Plan address public transit access?

There was interest expressed at the community meeting regarding the ability of the HCD Plan to address public transit, and in particular access to transit.

Details related to public transit services are beyond the scope of the Old Port Credit Village HCD Plan.

Issue #21: How can the HCD Plan address affordable housing?

Comments received at the community meeting indicated that the character of Port Credit is one of working-class housing, and there was interest in that continuing. This comment links to concerns about housing affordability.

Housing affordability is outside the scope of the HCD Plan update.

Issue #22: How can the HCD Plan address flood plain regulations?

At the community meeting, it was noted that the HCD Plan should include information related to conservation authority regulated areas. These areas are those where land use permits are required from conservation authorities before proceeding with site alteration.

The regulations concerning the flood plain are beyond the scope of the Old Port Credit HCD Plan. The flood plain regulation limit (boundary) is determined by Credit Valley Conservation.

Issue #23: How can the updated HCD Plan address the value and purpose of keeping Old Port Credit Village a Heritage Conservation District? Can “monster” homes be permitted?

Comments were received by the study team that the updated HCD Plan should address the value and purpose of Port Credit HCD. The question was specifically asked if ‘monster homes’ could be permitted.

The current HCD Plan character statement (Section 1.5) describes the value of conserving the Old Port Credit Village. The plan does not permit the construction of “monster” homes, but rather more modest homes that fit with the character of the area. The Zoning By-law regulations applicable to the Old Port Credit Village HCD are also quite detailed, and contain specific guidance related to building size. In addition, the HCD is subject to Site Plan Control, which enables City staff to review the design of a proposed dwelling to ensure that design considerations are addressed in accordance with applicable policies and guidelines.

The updated HCD Plan will include an updated Building Inventory with enhanced descriptions of heritage attributes specific to each property. It is the intention that the purpose for conservation will be made more explicit. Additional direction regarding replacement dwellings will also be provided in order to help ensure that future building construction is compatible with the District character.

6.2 Matters carried forward to updated HCD Plan

Based on the foregoing analysis, the following matters are proposed by the study team to be carried forward for inclusion and further direction either through the updated HCD Plan or the general implementation direction provided to City staff.

Issue	Description	How to be addressed?
Issue #1:	How can the updated HCD Plan address compliance with the new Ontario Heritage Act, PPS, and other policies and guidelines?	HCD Plan
Issue #2:	How can the updated HCD Plan address the proposed future development of the former oil	HCD Plan

	refinery lands on the west side of Mississauga Road South?	
Issue #3:	Should the updated HCD Plan address the Mississauga Road Scenic Route policies?	Implementation Direction
Issue #4:	How can the updated HCD Plan address the heritage permit application process?	HCD Plan / Implementation Direction
Issue #5:	How can the updated HCD Plan address the District boundary?	HCD Plan
Issue #6:	How can the updated HCD Plan address potential Marina Park redevelopments?	HCD Plan
Issue #7:	How can the updated HCD Plan address the proposed plans to develop 1 Port Street East on the east side of the Credit River?	HCD Plan
Issue #8:	How can the HCD Plan address First Nations heritage recognition?	HCD Plan
Issue #9:	How can the updated HCD Plan address the design of new construction?	HCD Plan
Issue #10:	How can the updated HCD Plan address the design of additions and/or alterations to buildings classified as “Complementary Buildings” in the current HCD Plan?	HCD Plan
Issue #11:	How can the updated HCD Plan address the promotion of the HCD to the public as a cultural asset?	Implementation Direction
Issue #12:	How can the HCD Plan address the public realm improvements?	HCD Plan
Issue #13:	How can the HCD Plan address the use of LED street lamps and the exposure of power lines?	HCD Plan
Issue #14:	How can the updated HCD Plan address accessibility improvements such as exterior lifts and ramps?	HCD Plan
Issue #15:	How can the updated HCD Plan address green	HCD Plan

	initiatives and sustainable designs?	
Issue #16:	How can the updated HCD Plan address grants and other financial incentives for property owners in the District to maintain and improve their properties?	Implementation Direction
Issue #17:	How can the updated HCD Plan address the enforcement of the Plan?	Implementation Direction
Issue #18:	How can the updated HCD Plan address potential re-development of the existing apartment building properties (11 John Street, 27 John Street, 35 Front Street, and 36 Front Street)?	HCD Plan
Issue #19:	How can the updated HCD Plan address the Building Inventory of the District?	HCD Plan
Issue #23:	How can the updated HCD Plan address the value and purpose of keeping Old Port Credit Village a Heritage Conservation District? Can “monster” homes be permitted?	HCD Plan

6.3 Matters not carried forward to updated HCD Plan

Based on the foregoing analysis, the following matters are not proposed by the study team to be carried forward for inclusion in the updated HCD Plan or implementation direction provided to City staff.

Issue	Description	Rationale
Issue #20:	How can the HCD Plan address public transit access?	City-wide issue (beyond scope)
Issue #21:	How can the HCD Plan address affordable housing?	City-wide issue (beyond scope)
Issue #22:	How can the HCD Plan address flood plain regulations?	Managed by CVCA.

7.0 Next steps

Following the release of this Issues Analysis Report, the study team will begin work on the updated Heritage Conservation District Plan later in 2017. This second phase of work is expected to carry through the remainder of the year, with an updated HCD Plan expected to be presented to Council for adoption in spring 2018.

8.0 Closing

This report provides an overview of the Port Credit HCD Plan update project, summarizes the results of the background work conducted to date, and provides a list of items that the team should focus on as the project continues.

The study team looks forward to continued work with City of Mississauga staff and the community regarding this project.

Appendix A

Old Port Credit Village HCD Plan Revision

Open House Meeting #1 Feedback

1 of 3

Date: 25 April, 2017

Location: Clarke Memorial Hall, Mississauga

1.00	What works with the existing HCD Plan?	
1.01	Character of district is maintained	
1.02	Excessive development and "monster" homes are limited	
1.03	Community supports HCD Plan purpose and intent	
1.04	History of district is recognized	
1.05	Sense of tight-knit community	
1.06	Grants are helpful	

2.00	What could be improved?	Category
2.01	Clarify boundary	Boundary
2.02	Expand boundary to include Right-of-Way at west side of Mississauga Rd., the lake, and the marina to the east.	Boundary
2.03	Permit process (see 3.0)	Implementation
2.04	Better sharing of information (permit process, history of the district, future Oil Refinery Lands redevelopment) between the City and the residents.	Implementation
2.05	Consistent implementation of HCD plan in all City departments.	Implementation
2.06	Create a committee to liase between staff and residents.	Implementation
2.07	Better funding for grants and more kinds of grants for non-historic and/or commercial properties within the HCD.	Implementation
2.08	Better enforcement of by-laws, monitor tree-cutting and landscaping.	Implementation
2.09	Mississauga Rd. south of Lakeshore Rd. W. should be part of "Scenic Routes" Policy.	Implementation
2.10	Worried about creating a "Disneyland" look.	HCD Plan
2.11	Clarify whether modern additions are allowed.	HCD Plan
2.12	Address green initiatives and sustainable designs.	HCD Plan
2.13	Address the issue of amalgamating properties.	HCD Plan
2.14	HCD plan needs clearer concepts, design guidelines, and definitions - layman's terms would be useful.	HCD Plan
2.15	Better public realm guidance.	HCD Plan
2.16	New category for renovated herit.age buildings (properties changed to complimentary)	HCD Plan
2.17	Address accessibility stairs/lifts.	HCD Plan
2.18	HCD plan is too restrictive and should allow for the building of "monster homes" as it is more cost-effective. Unclear as to what is being preserved.	HCD Plan

Old Port Credit Village HCD Plan Revision

Open House Meeting #1 Feedback

2 of 3

3.00	Is the current permit process working?	Category
3.01	Grants only offset material costs not Heritage Permitting costs.	Cost
3.02	Consider grants/incentives for commercial and non-heritage buildings	Cost
3.03	Too long, too slow, timeline is unpredictable, unable to plan building projects.	Procedure
3.04	Too costly (from additional required consultants and unpredictable timeline)	Procedure
3.04	Too complicated, procedure unclear, not user-friendly, poor communication from the Heritage Permit department, lack of City support to the homeowners.	Procedure
3.05	Streamline approvals for Heritage Permits, Building Permits, and Committee of Adjustments.	Procedure
3.06	Consider having online application submission and processing.	Procedure
3.07	New homeowners should be given a "welcome package" about HCD and how to apply for permits.	Procedure
3.08	City Heritage Planners should assist applicants and have additional knowledge of "heritage options for permit applications. Unclear why additional "heritage consultants" are required, the onus should be on the City to evaluate Heritage Permit/Design.	Procedure
3.09	Opportunity to improve should not be unduly impeded by heritage designation (e.g. 43 Mississauga Rd. has a "separate" garage that is only 12" separated, may as well have been allowed to make attached). Ensure some flexibility for approvals.	Procedure
3.10	Create a committee of residents to help other residents to apply for permit and liaise with the City.	Procedure
3.11	Concerned about re-sale of property due to lengthy/costly permit process required to improve property.	Procedure
3.12	Unclear what architectural standards/features are required, why some applications are rejected.	Requirements
3.13	Difficult to access historical information required for the Heritage Permit - the City should be able to provide this information for individual properties.	Requirements

Old Port Credit Village HCD Plan Revision

Open House Meeting #1 Feedback

3 of 3

4.00	Other Concerns	Category
4.01	Transition/buffer at development to the west, propose a community garden, and/or architecture of complementary scale.	Oil Refinery Lands
4.02	Oil Refinery land development should have own green space.	Oil Refinery Lands
4.03	Concerned about through-traffic and general traffic increases with the new development on the west, concerned about Bay St., Port St., and Lake St. extensions.	Oil Refinery Lands
4.04	Concerned about increased parking demands from increased visitor traffic to the Oil Refinery Lands development.	Oil Refinery Lands
4.05	City should invest in the areas - walking tours, use it as a "draw" to the city, educate, encourage cultural uses of HCD to public	Promotion
4.06	Improve First Nations representation in the neighbourhood	Promotion
4.07	Make explicit the HCD with physical markers (informative plaques in public and private spaces, trails, gates, stone-hooking museum)	Promotion
4.08	Unoccupied homes - what are the plans for them, they should be taxed (e.g. 24 John St. S.)	Property-Specific
4.08	42 Front St. has unauthorized additions and should be investigated	Property-Specific
4.09	Better use Marina Park, formally recognize its history	Property-Specific
4.10	Riverside Public School needs better upkeep	Property-Specific
4.11	The future of the existing high-rise building (35 Front St. S.) in the HCD - concered they will be replaced with condo towers	Property-Specific
4.11	15h parking limit is too long on roads.	Public Realm
4.12	Cobblestone roads.	Public Realm
4.12	Extend Mississauga Rd to lake.	Public Realm
4.13	Increase views to the lake / concerned about blocking views to the lake.	Public Realm
4.14	Minimize paved areas.	Public Realm
4.15	Worried LED streetlamps and exposed power lines detract from HCD.	Public Realm
4.16	Add landscaped medians.	Public Realm
4.17	Increase bike paths and pedestrian trails.	Public Realm
4.18	Improve the public transit along Lakeshore Road.	Other
4.19	Affordable housing issue.	Other
4.20	Want corner stores.	Other
4.21	Landscaping difficulties due to floodplain constraints	Other
4.22	Engage Starbucks to acknowledge HCD in its design or name	Other
4.22	Water run-off issues.	Other

Appendix B

Old Port Credit Village HCD Plan Revision

Open House Meeting #2 Feedback

1 of 2

Date: 27 June, 2017

Location: Clarke Memorial Hall, Mississauga

1.00	Walking Tour Comments	Category
1.01	Acknowledge the importance of First Nations history.	History
1.02	C & C Yachts originated at 10 Front Street South.	History
1.03	Concrete steps to "nowhere" at 141 Lakeshore Road West led to a convent that has since been demolished.	History
1.04	Investigate First Nations' street names for the District	History
1.05	31 Bay Street still owned by same family since mid-1800s. Brick is from Port Credit brickyards. Original rubble foundation wall. Some heritage glass windows. Brick chimney was shortened.	History
1.06	37 Mississauga Road owner has lived in District for 31 years. Brick is from Port Credit brickyards. Chimney was dismantled and bricks are in shed. Built by Eliza Jane Peer and Risdon Morville Parkinson.	History
1.07	36 Lake Street has received various Heritage grants for repairs and upgrades. Upcoming grant and repair includes new cedar shingle roofing.	Implementation
1.08	Preference for the Heritage Permit process to be less lengthy.	Implementation
1.09	Suggestion to form a committee to help with the permit process.	Implementation
1.10	Prefer an increase architectural controls(scale, materials, and form) to discourage further buildings of like 16 Front Street South.	Policy
1.11	Will apartment building at 35 Front Street South be replaced?	Proposed development
1.12	Heritage and complementary classifications not sufficient.	Policy
1.13	Need HCD boundary clarification.	Policy
1.14	Concern for tree removal by-law that allows removal of one tree without permit per property. Preference for stricter tree control.	Policy
1.15	24 John Street tree removed and demolition permit for building has been obtained. Concern that current Heritage Permit process is deterring homeowners from maintaining their homes, eventually enabling them to demolish building instead.	Policy
1.16	Prefer to have more detailed parameters and control architects for permits, especially for Complementary buildings.	Policy
1.17	Suggestion for existing J.C. Saddington Park entrance pavilion to be used for interpretive opportunities.	Promotion
1.18	Suggestion of commemorative walking tour/trail with interpretive plaques and/or audio guide or podcast.	Promotion
1.19	Encourage residents to share historical documents and photos with the City for archival purposes.	Promotion
1.20	Resident organized promotion of neighbourhood through tactical urbanism projects such as "Little Free Library", "Murmur" project (City of Toronto precedent), walking tours, community website, information signs etc.	Promotion
1.21	Marina Park development and connection to the north side of Lakeshore Road West is encouraged.	Proposed development
1.22	Prefer lighthouse be repurposed for civic use.	Proposed development
1.23	Investigate the plans for the reuse of the former pumping station buildings in J.C. Saddington Park.	Proposed development

Old Port Credit Village HCD Plan Revision

Open House Meeting #2 Feedback

2 of 2

1.24	Investigate additional options for pedestrian crossing at Lakeshore Road West and/or alter traffic light timing	Public realm
1.25	Fire hydrant on Front Street (at Port) is not visible.	Public realm
1.26	Prefer buried power lines.	Public realm
1.27	Prefer non-LED lights, or more yellow lights.	Public realm
1.28	Traffic-calming suggestions: cobblestones, landscaped boulevards, separate bike paths between sidewalk street parking, wider sidewalks, and narrower streets.	Public realm
1.29	Suggestion to collaborate with design students to decorate public realm features.	Public realm
1.30	Prefer to take fence down at parking lot adjacent to Marina Park.	Public realm
1.31	Prefer improved maintenance for J.C. Saddington Park. More garbage cans needed, picnic area could be improved, berms both liked and disliked.	Public realm
1.32	Concern for the through-traffic from adjacent 70 Mississauga Road development.	Public realm
1.33	Concern for traffic on Mississauga Road.	Public realm
1.34	Wilcox Inn (1850) at 32 Front Street South could be re-zoned for more varied commercial/public use.	Zoning
2.00	Meeting Comments	Category
2.01	Prefer that 1960s and 1970s bungalows are not classified as Complementary.	Building inventory
2.02	Concern that more restrictive design controls would increase the red tape when applying for permits.	Implementation
2.03	Suggestion that more restrictive design controls would simplify requirements and reduce rejected permit applications.	Implementation
2.04	Suggestion to create sub-committee (or "welcome committee") like in Meadowvale to help orient new residents, advocate on behalf of existing residents, and provide design feedback.	Implementation
2.05	Suggestion to improve navigation of City of Mississauga website.	Implementation
2.06	Suggestion to improve communication of rules and regulations regarding permits. - Checks and balances should be written out clearly and in plain language – steps for residents needs to be clear	Implementation
2.07	Investigate ways to lower the consultant costs in the permit application process. Suggestion	Implementation
2.08	Preference for more restrictive design controls to protect the scale, trees, materials. Not as guidelines but as policies.	Policy
2.09	Concern for Complementary houses being demolished and replaced by new buildings.	Policy
2.10	"Glass boxes" are currently allowed in the district (N.B. current zoning by-law prohibits flat	Policy
2.11	Support for design controls over rear portion of the Historic Interest buildings.	Policy
2.12	Suggestion for the District to have own tree-protection policy.	Policy
2.13	Support for proposed new District boundary.	Policy
2.14	Compare/contrast with Meadowvale. Meadowvale more uniform in appearance, thus easier to control design.	Policy
2.15	Question regarding why the Committee of Adjustment can allow variances on zoning issues that are dictated by the HCD plan.	Policy
2.16	Suggestion to ensure the any streetscape work is coordinated with other infrastructural works (ie: communication between staff, hydro and residents was poor and resulted in people doing upgrades to their home, only to have hydro come in soon after and rip up sidewalks etc.)	Public realm
2.17	Suggestion for roundabouts as a traffic-calming measure.	Public realm
2.18	Suggestion to narrow the streets.	Public realm

Appendix C

GEORGE ROBB ARCHITECT

4800 DUNDAS STREET WEST
SUITE TWO HUNDRED & ONE
TORONTO, ONTARIO
CANADA, M9A 1B1
PHONE: 416 596 8301
FAX: 416 596 1508

MEETING MINUTES

Project:	Old Port Credit Village Heritage Conservation District (HCD) Plan review and update, City of Mississauga	Project No.:	1661
Location:	Mississaugas of the Credit First Nation 6 First Line Road Hagersville	Date:	2017.07.27
		Time:	10:30 AM

Attendees: Mississaugas of the Credit First Nation:

1. Fawn Sault, Consultation Manager
2. Darin Wybenga, Traditional Land Use Coordinator
3. Megan DeVries, Archaeological Coordinator

City of Mississauga:

4. Paula Wubbenhorst, Senior Heritage Coordinator
5. Jane Darragh, Senior Planner

Consultants:

6. Peter Stewart, Heritage Architect, GRA
7. Wendy Shearer, Cultural Heritage Landscape Specialist
8. Heather Henderson, Archeologist, Historic Horizon Inc.
9. Emily Cheng, Architect, GRA

Meeting purpose: To open a dialogue and conversation about the review of the Old Port Credit HCD Plan.

Item	Description	Action By
1.0	The goal of sharing information to acknowledge the non-built aspects of the cultural history of the Mississaugas of the Credit in Old Port Credit Village (OPCV) was discussed.	
2.0	The City's plans to development Marina Park into a public park was discussed. The City will distribute digital copies of the archaeological reports.	[The City]
3.0	It was noted that the City has a 50-year lease on J.C. Saddington Park which is owned by Credit Valley Conservation and the Crown.	
4.0	It was noted that the Mississaugas of the Credit submitted a water claim in September 2016 which includes the waterways and flood plains of OPCV. As J.C. Saddington Park is man-made, it would fall into this claim.	
5.0	It was suggested by the Mississaugas of the Credit that the street names in OPCV be altered to include the full names (e.g. "Peter Jones" instead of "Peter") and/or to include the translated Anishinaabe name in brackets.	

GEORGE ROBB ARCHITECT

MEETING MINUTES

- 6.0** The adequacy and accuracy of the history provided in the 2003-2004 Old Port Credit Heritage Conservation District Feasibility Study was discussed. The Mississaugas of the Credit provided input to be considered for the revised plan including:
- 6.1** General appropriate terminology and language;
 - 6.2** Clarification and differentiation between the Mississaugas of the Credit and the Mississaugas;
 - 6.3** Clarification regarding the treaties that occurred;
 - 6.4** The fourth paragraph on page 6 of the 2003 *Heritage Conservation Feasibility Study of Old Port Credit* may be redundant and be excluded;
 - 6.5** The location of the Mississaugas of the Credit's village relative to the 200 acres they had been granted. A map showing the village location on the west side of the Credit River was provided to the study team;
 - 6.6** The use of natural landscape to inform their land boundaries;
 - 6.7** The adaptability of the Mississaugas of the Credit as demonstrated by the switch from fishing to agricultural to industrial forms of livelihood;
 - 6.8** The locations of where of the Mississaugas of the Credit settled related directly to their forms of livelihood (e.g. they moved north, away from the Credit River and the Lake, towards farming land when agriculture grew in popularity.)
 - 6.9** The current Masonic Temple located at 45 Port Street West was built by the Mississaugas of the Credit, and was used as a church by both Indigenous and European people (the original charter may still be in the building);
 - 6.10** The Mississaugas of the Credit camped on the flats, with gardens, at the mouth of the Credit River during fishing seasons, before they moved north towards the farming lands;
 - 6.11** Delete the word "probably" from the second paragraph on page 6 of the 2003 *Heritage Conservation Feasibility Study of Old Port Credit*;
 - 6.12** Update and clarify the history of the movement of the Mississaugas of the Credit into Southern Ontario;
 - 6.13** Review more recent historical accounts regarding the Mississaugas of the Credit and update the 2003 study accordingly;
 - 6.14** Update and clarify place names and their translations.
- 7.0** The history of the Harbour Company and the "Indian Store" is less certain. It is thought that every man subscribed to the Store.
- 8.0** It was suggested by Wendy Shearer that "marker trees" be considered as one of the ways to acknowledge the Mississaugas of the Credit's history. Darin Wybenga then recommended that the consultants contact Fawn Sault regarding appropriate tree species for the "marker trees".

GEORGE ROBB ARCHITECT

MEETING MINUTES

- 9.0** There was discussion about vegetation in general that may have special meanings to the Mississaugas of the Credit that could be considered in the open space planning and design.
- 10.0** It was noted that the OPCV HCD Plan Consultants will contact the Mississaugas of the Credit after drafting an updated version of the HCD Plan for further input. [GRA]

Meadowvale Heritage Conservation District Advisory Sub-Committee

Date

August 1, 2017

Time

1:30 p.m.

Location

Meadowvale Village Hall, 6970 Second Line West, Mississauga

Members Present

Jim Holmes, Citizen Member (Chair)
Terry Wilson, Citizen Member (Vice-Chair)
Councillor George Carlson Ward 11 (Ex-officio)
Brian Carmody, Citizen Member
John McAskin, Citizen Member
Colleen Newmarch, Citizen Member
Greg Young, Citizen Member

Members Absent

Janet Clewes, Citizen Member
David Dodaro, HAC Representative
Gord MacKinnon, Citizen Member
Rick Mateljan, HAC Representative
David Moir, Citizen Member

Staff Present

Mark Warrack, Manager, Culture and Heritage Planning, Culture Division
Paula Wubbenhorst, Senior Heritage Coordinator, Culture Division
Sacha Smith, Legislative Coordinator, Legislative Services Division
Trish Sarnicki, Legislative Coordinator, Legislative Services Division

Find it online

<http://www.mississauga.ca/portal/cityhall/heritageadvisory>

CALL TO ORDER – 1:30 PM

APPROVAL OF AGENDA

APPROVED (G. Young)

DECLARATIONS OF CONFLICT OF INTEREST – Nil

APPROVAL OF PREVIOUS MINUTES

Approval of Minutes of April 4, 2017 Meeting

APPROVED (C. Newmarch)

DEPUTATIONS – Nil

MATTERS CONSIDERED

1. Request to Alter 7089 Second Line West

David Brown, Planning Consultant, Planning Solutions, provided a brief description of the application, noting the revisions on the application.

Jim Holmes, Chair, noted concerns with the property, regarding the area below the front window of the home, the stone facing, and the front entrance to the residence.

Members questioned the possibility of amending the current roof of the residence to a barn-style roof, but had reservations as to whether this would look appropriate.

Mr. Brown noted that a barn structure, in terms of a typical barn is taller and that the residence is shorter, thus, with the size of the building, it would not be appropriate.

Terry Wilson questioned whether there were any other features that could be included to make the residence look like a traditional farmhouse.

Mr. Brown noted that the intent of the original design of the residence was not a farmhouse, however, adjustments had been made to the residence regarding the northerly elevations (left side), the reworking of the chimney, and that the structure had been reduced in size from its original concept.

Members discussed concerns regarding the appearance of the entrance to the residence, the awning, as well as the stone foundation, the door, and the side lights.

Paula Wubbenhorst, Senior Heritage Coordinator, Culture Division, responded that the stone facing had already been reduced, and proposed that it could be reduced further. Mark Warrack, Manager, Culture and Heritage Planning, suggested that the side lights could be made smaller.

Mr. Wilson proposed the elimination of the stone facing.

Mr. Brown said that the awning could be changed to a sloped roof facing the street to match the other northerly side, noting that the slopes may not be exact, but could be similar.

Members agreed that the stone facing be eliminated and that the awning be removed.

RECOMMENDATION

MVCHDA-03-2017

That the Meadowvale Heritage Conservation District Advisory Subcommittee supports the following conditions with respect to the request to alter the property at 7089 Second Line West:

1. That the garage height be reduced to comply with the Zoning by-law;
2. That the garage width be reduced so that the driveway width does not exceed six metres, the typical width of a two car garage;
3. That final building permit drawings be submitted to Heritage Planning noting all material information, including window materials;
4. That if any changes result from other City review and approval requirements such as but not limited to building permit, committee of adjustment or site plan approval, a new heritage permit may be required and that the applicant is required to contact heritage planning at that time to review the changes prior to obtaining other approvals and commencing construction;
5. That the stone facing be eliminated;
6. That the awning on the front window on the north section be eliminated;
7. That the sidelights on either side of the front door on the front elevation be reduced to one single pane column on each side;
8. That the awning over the main entrance be revised to a pitched roof over the porch.

APPROVED (B. Carmody)

2. Request to Alter 1066 Old Derry Road

Brian Carmody noted that approval of the vinyl siding material of the property should be an exception, not a rule. Mr. Warrack and Ms. Wubbenhorst agreed.

Subcommittee Members were concerned that building inspectors are not visiting properties early enough during construction as well as during multiple phases of construction. Ms. Wubbenhorst noted that the property owners had been issued an order to comply in early January. Mr. Warrack said that it would be helpful if Subcommittee Members notified the City of such issues by calling 311.

Fadi Abounassar, Owner of the property, noted that similar proposals have been permitted with other dwellings in the neighbourhood, thereby creating a precedent.

RECOMMENDATION

MVCHDA-04-2017

That the Meadowvale Heritage Conservation District Advisory Subcommittee supports the following conditions with respect to the request to alter the property at 1066 Old Derry Road be approved, as described in the Memorandum dated July 20, 2017 from Mark Warrack, Manager, Culture and Heritage Planning, Culture Division.

APPROVED (C. Newmarch)**OTHER BUSINESS** - Nil**DATE OF NEXT MEETING** – September 12, 2017.**ADJOURNMENT** – 2:11 p.m.