
Heritage Advisory Committee

Date

2017/05/09

Time

9:30 AM

Location

Civic Centre, Council Chamber,
300 City Centre Drive, Mississauga, Ontario, L5B 3C1 Ontario

Members

Councillor George Carlson, Ward 11 (Chair)
Rick Mateljan, Citizen Member (Vice-Chair)
Councillor Carolyn Parrish, Ward 5
Michael Battaglia, Citizen Member
Elizabeth Bjarnason, Citizen Member
Robert Cutmore, Citizen Member
David Dodaro, Citizen Member
Lindsay Graves, Citizen Member
James Holmes, Citizen Member
Cameron McCuaig, Citizen Member
Melissa Stolarz, Citizen Member
Matthew N. Wilkinson, Citizen Member

Contact

Mumtaz Alikhan, Legislative Coordinator, Legislative Services
905-615-3200 ext. 5425
mumtaz.alikhan@mississauga.ca

NOTE: To support corporate waste reduction efforts the large
appendices in this agenda can be viewed at:
<http://www.mississauga.ca/portal/cityhall/heritageadvisory.ca>

Find it Online

<http://www.mississauga.ca/portal/cityhall/heritageadvisory>

-
1. CALL TO ORDER
 2. APPROVAL OF AGENDA
 3. DECLARATION OF CONFLICT OF INTEREST
 4. MINUTES OF PREVIOUS MEETING
 - 4.1. Approval of Minutes of April 11, 2017 Meeting
 5. DEPUTATIONS
 - Item 7.1 - David McComb, President and CEO, Edenshaw Developments and Jane Burgess, Architect
 6. PUBLIC QUESTION PERIOD - 15 Minute Limit (In accordance with Section 43 of the City of Mississauga Procedure By-law 0139-2013, persons who wish to address the Heritage Advisory Committee about a matter on the Agenda may ask their question limiting it to 5 minutes, as the public question period total limit is 15 minutes.)
 7. MATTERS TO BE CONSIDERED
 - 7.1. Proposed Heritage Designation, 21 Park Street East (Ward 1)
 - 7.2. Request to Alter a Heritage Designated Property: 7059 Second Line West (Ward 11)
 - 7.3. Request to Alter a Heritage Designated Property: 264 Queen Street South (Ward 11)
 - 7.4. Request to Alter a Heritage Designated Property: 1507 Clarkson Road North (Ward 2)
 - 7.5. Request to Alter 1059 Old Derry Road – Heritage Permit Revision (Ward 11)
 - 7.6. Request to Demolish a Heritage Listed Property: 2326 Mississauga Road (Ward 8)
 - 7.7. Request to Demolish a Heritage Listed Property: 191 Donnelly Drive (Ward 1)
 - 7.8. Reduction of Mineola Cultural Landscape
 - 7.9. 2017 Designated Heritage Property Grants

8. SUBCOMMITTEE UPDATES

8.1. Report from Meadowvale Village Heritage Conservation District Advisory Sub-Committee Meeting of April 4, 2017

8.2. Heritage Designation Sub-Committee

8.3. Public Awareness Sub-Committee

9. INFORMATION ITEMS

10. OTHER BUSINESS

11. DATE OF NEXT MEETING - June 13, 2017

12. ADJOURNMENT

City of Mississauga
Minutes



Heritage Advisory Committee

Date

2017/04/11

Time

9:30 AM

Location

Civic Centre, Council Chamber,
300 City Centre Drive, Mississauga, Ontario, L5B 3C1 Ontario

Members Present

Councillor George Carlson, Ward 11 **(Chair)**
Rick Mateljan, Citizen Member **(Vice-Chair)**
Councillor Carolyn Parrish, Ward 5
Elizabeth Bjarnason, Citizen Member
Robert Cutmore, Citizen Member
David Dodaro, Citizen Member
James Holmes, Citizen Member
Cameron McCuaig, Citizen Member
Matthew N. Wilkinson, Citizen Member

Members Absent

Michael Battaglia, Citizen Member
Lindsay Graves, Citizen Member

Staff Present

Cecilia Nin Hernandez, Heritage Coordinator, Culture Division
Angie Melo, Legislative Coordinator

Find it online

<http://www.mississauga.ca/portal/cityhall/heritageadvisory>

1. **CALL TO ORDER – 9:30 AM**2. **APPROVAL OF AGENDA**

Approved (C. McCuaig)

3. **DECLARATION OF CONFLICT OF INTEREST**

M. Wilkinson and R. Mateljan declared a conflict with item 7.5

4. **MINUTES OF PREVIOUS MEETING**4.1. **Heritage Advisory Committee Minutes - March 7 2017**

Approval of Minutes of the Heritage Advisory Committee meeting held on March 7, 2017

Approved (Councillor C. Parish)

5. **DEPUTATIONS - Nil**6. **PUBLIC QUESTION PERIOD - Nil**7. **MATTERS TO BE CONSIDERED**7.1. **Request to Alter a Heritage Designated Property: 31 Mississauga Road South (Ward 1)**

Cecilia Nin Hernandez, Heritage Coordinator, spoke to the heritage permit application submitted by the home owners, for alterations to a Part V designated building in the Port Credit Heritage District. Ms. Nin Hernandez noted that the property is classified as a property of historic interest. She advised that the applicant has submitted architectural drawings, Heritage Impact Assessment, and Conservation Plan for the building to support the proposed structural changes, which includes an addition of a 2nd storey and new roof.

Ms. Nin Hernandez further advised that the Heritage Impact Assessment concludes that the property would not warrant an individual designation. It was noted that although the property does contribute to the district, so would the new design. Ms. Nin Hernandez also advised that staff recommend that the property at 31 Mississauga Road be reclassified as a complementary building as a result of the Heritage Impact Assessment, and the extent of the changes required to the building. She further advised that if any changes require obtaining further city permits, the applicant is required to contact Heritage staff.

Michael Spaziani, Architect, spoke to the original design and construction of the property and described the structural changes being proposed.

Paul Oberst, Architect, Heritage Consultant and author of the Heritage Impact Assessment and Conservation Plan, provided an overview of the historic background of property ownership and evolution of the property.

Mr. Cutmore, Citizen Member expressed his concern with changing the status of the property to that of historic interest. He inquired about whether a change in the inventory status of the building; would it weaken its heritage status, and, if there is a change in ownership in the future, it could perhaps make it easier for a demolition application. He also inquired whether the garage would be replacement. Mr. Oberst advised that replacing the garage has been deferred to another year.

Rick Mateljan, Citizen Member commended everyone on this project, citing that his project is one of the most researched projects he has seen and repurposed to appropriate living. Mr. Mateljan inquired why it is necessary, and for what benefit to down grade the house designation. Mr. Oberst advised that it was staff who made the decision to recommend the designation change.

Ms. Nin Hernandez commented that given the assessment and amount of physical changes proposed and that only a small amount of the existing materials would remain, staff recommends the designation change.

Councillor George Carlson complimented the quality of the work done and noted that he fully supports the staff recommendation.

Besmira Alikaj and David Mucklow, property owners, spoke to the letter of support from their neighbours submitted to the Committee.

RECOMMENDATION

1. That the proposed alterations to the house at 31 Mississauga Road South, which is designated under Part V of the Ontario Heritage Act, located within the Old Port Credit Village Heritage Conservation District, as per the attached drawings and conservation plan included in the appendices of this report be approved.
2. That the Building Inventory for the Old Port Credit Village Heritage Conservation District be updated to indicate that the heritage status of 31 Mississauga Road has changed from a property of "historic interest" to a property that is a "complementary building".
3. That if any changes result from other City review and approval requirements, such as but not limited to building permit, committee of adjustment or site plan approval, a new heritage permit application may be required. The applicant is required to contact heritage planning at that time to review the changes prior to obtaining other approvals and commencing construction.

Approved (R. Cutmore)
Recommendation HAC-0021-2017)

7.2. **Request to Alter a Heritage Designated Property: 913 Sangster Avenue (Ward 2)**

RECOMMENDATION

1. That, the proposal to add a one storey rear addition, build a north (rear) deck, enlarge a doorway (west elevation) and install new French doors, enlarge one window (west elevation) to fit new full length window, add a small deck (west), alter bay window on east elevation (on a previous addition), remove decorative shutters, remove the front trellis (south elevation), shorten the existing garage to accommodate a large tree, as shown in the attachments to the Corporate Report dated March 16, 2017 from the Commissioner of Community Services, be approved for the property at 913 Sangster Avenue, which is designated under Part IV of the Ontario Heritage Act.
2. That new windows be made of wood with exterior muntin bars, where proposed (reconfigured bay window), wood exterior finish materials and trims be noted in the drawings and a final set be provided for staff review and approval prior to issuance of a heritage permit.
3. That if any changes result from other City review and approval requirements, such as but not limited to building permit, committee of adjustment or site plan approval, a new heritage permit application may be required. The applicant is required to contact heritage planning at that time to review the changes prior to obtaining other approvals and commencing construction.

Approved (J. Holmes)
Recommendation HAC-0022-2017

7.3. **Request to Alter a Heritage Designated Property: 4300 Riverwood Park Lane (Ward 6)**

RECOMMENDATION

1. That, the conservation of the windows at the Parker Estate, as shown in the attachments to the Corporate Report dated March 30, 2017 from the Commissioner of Community Services, including selective caulking, painting and weather stripping, is approved for the property at 4300 Riverwood Park Lane, which is designated under Part IV of the Ontario Heritage Act.
2. That if any changes, as a result of other City review and approval requirements, technical matters, or site conditions are encountered, and a full restoration of the windows is required, a new heritage permit application is required. The applicant is required to contact heritage planning at that time to review the changes prior to obtaining other approvals and commencing construction.

Approved (E. Bjarnason)
Recommendation HAC-0023-2017

7.4. **Request to Demolish a Heritage Listed Properties: 272 and 274 Victoria Street (Ward 11)**

Rick Mateljan expressed concern that the homes being proposed do not appear to be complimentary. Councillor George Carlson assured the Committee that the homes will be replaced with complementary homes, and that there is nothing being removed of particular value.

RECOMMENDATION

That the properties at 272 and 274 Victoria Street, which are listed on the City's Heritage Register, are not worthy of heritage designation, and consequently, that the owner's request to demolish proceed through the applicable process.

Approved (R. Mateljan)
Recommendation HAC-0024-2017

7.5. **Request to Demolish a Heritage Listed Property: 2537 Mindemoya Road (Ward 7)**

Rick Mateljan and Matthew N. Wilkinson, Citizen Members, excused themselves during the consideration of this matter.

Ms. Nin Hernandez spoke to the matter and noted that staff looked at the Heritage Impact Assessment and made inquiries in order to understand the existing building fabric and how and the different stages of the home. Staff concurred with the Heritage Impact Assessment which identified the lancet window that belonged to St. Peters church, as well as the white plank flooring which appears to be salvageable and could be offered back to the church.

RECOMMENDATION

That the property at 2537 Mindemoya Road, which is listed on the City's Heritage Register, is not worthy of heritage designation, and consequently, that the owner's request to demolish proceed through the applicable process.

1. That the following salvage and mitigation options be completed and confirmation forwarded to the City:
 - a. The lancet window originally belonging to St. Peter's Church be offered to the same church
 - b. Wide plank floor be salvaged for reuse
 - c. The building be documented during demolition to record any remaining underlying architectural details

Approved (Councillor C. Parish)
Recommendation HAC-0025-2017

7.6. **Request to Demolish a Heritage Listed Property: 1625 Blythe Road (Ward 8)**

RECOMMENDATION

That the property at 1625 Blythe Road, which is listed on the City's Heritage Register, is not worthy of heritage designation, and consequently, that the owner's request to demolish proceed through the applicable process.

Approved (J. Holmes)

Recommendation HAC-0026-2017

7.7. **Request to Demolish a Heritage Listed Property: 3064 Churchill Avenue (Ward 5)**

Councillor Parrish noted that the owners be made aware of the height and setback restrictions under the new regulations that came into effect in October 2016.

RECOMMENDATION

That the property at 3064 Churchill Avenue, which is listed on the City's Heritage Register, is not worthy of heritage designation, and consequently, that the owner's request to demolish proceed through the applicable process.

Approved (Councillor C. Parish)

Recommendation HAC-0027-2017

7.8. **Removal or reduction of Cultural Landscape Properties from the City's Heritage Register**

Ms. Nin Hernandez advised that the report is before the Committee once again for review of the recommendation that the Cultural Landscape Inventory remain status quo, pending completion of Recommendation 6 of the Heritage Management Strategy (2016). Councillor Carlson inquired whether this matter is about timing and staffing, to which Ms. Hernandez advised that it is also to ensure and maintain the integrity of the review process.

Cameron McCuaig noted that this item remained open until feedback from the Ward 1 Councillor was received. Councillor Carlson advised that he has spoken to Councillor Tovey regarding this matter and that Councillor Tovey is enthusiastic to remove this particular district. Mr. McCuaig would like greater clarity on staffing impact to support the Councillor's interest.

Ms. Nin Hernandez advised that the author of the report was not in attendance and that she would need some time to review the report to respond to Committee Members' inquiries.

Committee Members discussed this matter further with respect to reducing the size of the Mineola district, individually listed properties, and concerns of optics of a rubber stamp approach, staffing impact and timing issues.

Ms. Nin Hernandez asked for clarification from the Committee on what it wished staff to report back on. Councillor Carlson advised that a report on implementation plans and

impact if the Mineola Cultural Landscape is reduced.

RECOMMENDATION

1. That Heritage staff be directed to report back to the Heritage Advisory Committee on the implementation and effect of reducing the size of the Mineola Cultural Landscape to properties fronting on Stavebank Road.
2. That any individually listed properties remain on the current City's Heritage Register.

Approved (C. McCuaig)
Recommendation HAC-0028-2017

7.9. 2017 Ontario Heritage Conference – June 8 - 10, 2017

Councillor George Carlson asked that Members advise the Legislative Coordinator if they are interested in attending. Councillor Carolyn, Cameron McCuaig, Councillor George Carlson and Rick Mateljan expressed interest in attending.

RECOMMENDATION

1. That the Memorandum dated March 28, 2017 from Stephanie Smith, Legislative Coordinator entitled 2017 Ontario Heritage Conference – June 8 – 10, 2017 be received.
2. That the amount of up to \$4,700.00 be allocated in the 2017 Council of Committees budget for the costs associated with registration, accommodation and travel for up to four (4) Heritage Advisory Committee Members to attend the 2017 Ontario Heritage Conference in Ottawa, Ontario from June 8 to 10, 2017.

Approved (D. Dodaro)
Recommendation HAC-0029-2017

7.10. 2017 Membership Renewal Form - Community Heritage Ontario

Committee Members agreed to renew the subscription to the 2017 Community Heritage Ontario.

RECOMMENDATION

1. That the Memorandum dated March 28, 2017 from Stephanie Smith, Legislative Coordinator entitled 2017 Membership Renewal Form be received.
2. That the amount of \$75.00 be allocated in the 2017 Council of Committees budget for the cost of the renewal of the Community Heritage Ontario subscription.

Approved (R. Mateljan)
Recommendation HAC-0030-2017

7.11. **Discussion of Protection of Vacant Heritage Properties (Councillor Carlson)**

Councillor Carlson provided an update on the Barber House security system providing live monitoring.

Mr. Wilkinson inquired about the status of the Dandy house, noting that he has not observed any changes, other than more deterioration. Councillor Carlson advised that he will be meeting with the owner to go over the proposal.

Councillor Parrish acknowledged the work that Councillor Carlson did with the Barber House project, citing that it was a masterful piece of work.

Councillor Carlson advised that the property will be maintained and the development around it will be complementary. The front garden will remain and form part of the condominium, and the homes on Barbertown Road will be regular detached homes with low roof lines.

Mr. McCuaig inquired about the maintenance of heritage properties. Councillor Carlson advised that there has been no report to the Committee from staff, and that he will follow up with Raj Seth, Director, Facilities and Property Management, on the conversation they had earlier this year.

Mr. Dodaro requested an update with respect to the recommendation for creating a cultural landscape for Clarkson. Ms. Nin Hernandez advised that staff will report back at a future meeting. Mr. Dodaro asked that staff include the next steps and to clarify the timelines for the commencement of the 60 day demolition application. Ms. Nin Hernandez advised that the 60 day period starts when staff deems the application is complete.

8. **SUBCOMMITTEE UPDATES – Nil.**

9. **INFORMATION ITEMS**

9.1. **Heritage Advisory Committee Strategic Planning Sessions Outcomes from February 14, 2017 and March 7, 2017**

Mr. McCuaig expressed his appreciation for the Heritage Advisory Committee Strategic Planning Sessions, and requested that at in future meeting agendas, preliminary comments be added.

RECOMMENDATION

That the Heritage Advisory Committee Strategic Planning Sessions Outcomes from February 14, 2017 and March 7, 2017 be received.

Approved (D. Dodaro)

Recommendation HAC-0031-2017

9.2. **Demolition of 2000 Stavebank Road****RECOMMENDATION**

That the Memorandum dated March 16, 2017 from P. Wubbenhorst, Senior Heritage Coordinator, entitled Demolition of 2000 Stavebank Road, including Appendix 1: Cultural Heritage Evaluation Report, and Appendix 2: Ministry Info Sheet, be received for information.

Approved (R. Cutmore)

Recommendation HAC -0032-2017

10. **OTHER BUSINESS**

Mr. Cutmore advised that on April 25, 2017 at Clark Memorial Hall from 7:00 PM to 9:00 PM there is a revisit of The Old Port Credit Heritage District. Ms. Nin Hernandez advised that this revamp is taking place at Clark Memorial Hall from 7:00 PM to 9:00 PM, and encouraged Members to check the Heritage Department's webpage for further information.

11. **DATE OF NEXT MEETING** - May 9, 201712. **ADJOURNMENT** - 11:12 AM

City of Mississauga

Corporate Report



Date: 2017/05/03

To: Chair and Members of Heritage Advisory Committee

From: Paul Mitcham, P. Eng, MBA, Commissioner of Community Services

Originator's files:

Meeting date:

May 9, 2017

Subject

Proposed Heritage Designation, 21 Park Street East (Ward 1)

Recommendation

That the property at 21 Park Street East, which is listed on the City's Heritage Register, is not worthy of heritage designation, and consequently, that the owner's request to demolish proceed through the applicable process.

Report Highlights

- Property owner has applied to demolish 21 Park Street East, listed on the City's Heritage Register, in order to redevelop the property
- Staff are of the opinion that the property does not merit designation under the Ontario Heritage Act

Background

Section 27.3 of the Ontario Heritage Act states that an owner wishing to demolish a property that is listed on the City's Heritage Register but not designated under the Ontario Heritage Act must give 60 days' notice of their intention to demolish. The notice must be accompanied by a Heritage Impact Assessment (HIA) that meets the City's terms of reference. The purpose of this legislation is to allow time for Council to consider whether the property merits designation under the Ontario Heritage Act.

The owner of the subject property has submitted a heritage permit application to demolish the existing detached dwelling, which is listed on the City's Heritage Register. The property was listed for architectural reasons and was noted as serving as the Anglican rectory. The property is adjacent to the Port Credit cenotaph, which is designated under the Ontario Heritage Act. The

HIA, that supports the demolition application, by Stevens Burgess Architect, is attached as Appendices 1 and 2.

The redevelopment proposal covers three properties: 21, 25 and 27 Park Street East. A heritage permit for the demolition for 25 Park Street East was issued in 2007. 27 Park Street is not listed on the City's Heritage Register. The proposed redevelopment is for a "15 storey plus penthouse residential tower with parking." The landscaping and urban design related aspects will be reviewed as part of the development review process, once an application is made to the City.

Port Credit's Trinity Anglican Church built the subject house in 1914, on land donated by the Hamilton family, to serve as its rectory. The property served this purpose for approximately seventy-five years.

Comments

The subject property is not without some heritage value. The house is a component of at least a trio of historically and contextually related properties: the rectory, the cenotaph and the church. (St. Andrew's Presbyterian Church, adjacent to Trinity, also contributes to this cultural landscape.) Trinity church, first built in 1867, has undergone several additions and alterations to accommodate for its growing community; and also stands on land donated by the Hamilton family. It sits at 26 Stavebank Road, on the west side of Stavebank, south of Park Street. The church is visible from the rectory and vice versa. The properties are separated by Stavebank Road and the cenotaph, which forms part of a park now known as "Vimy Park." It was the "Village Park" when the cenotaph was originally erected by Leonardo Temporale in 1925.

Trinity Anglican archival records indicate that over the years, the rectory hosted women's group meetings, communion breakfasts, rectory teas and at least one church anniversary party in the backyard. In the spirit of rectories, it is likely that the rector provided counseling to members of the church at this site. As such, the rectory was an important part of the local Anglican community.

Staff visited the site on April 27, 2017. There have been exterior and interior changes to accommodate its current use as a dental office and residence. The original house form, massing and shape contribute to its historic context, but alterations from 1997 such as the greatly enlarged front dormer, rebuilding and orientation of the front porch and entrance, as well as an added gable to the rear elevation have given the house a top-heavy and awkward appearance.

Regulation 9/06 (attached as Appendix 3) states that a "property may be designated under section 29 of the Ontario Heritage Act if it meets one or more of the criteria" set out in the regulation. Although there may be some heritage value to the property, it is staff's opinion in agreement with the Steven Burgess Architect's HIA report, that the subject property does not merit heritage designation.

Financial Impact

There is no financial impact.

Conclusion

The owner of 21 Park Street East has applied to demolish the property. The property does demonstrate limited heritage value in its history as a rectory to Port Credit's Trinity Anglican Church and its context to the church and cenotaph, however it does not merit heritage designation when reviewed against the criteria for Ontario Regulation 9/06. The applicant's request to demolish should proceed through the applicable process.

Attachments

Appendix 1: Heritage Impact Assessment by Stevens Burgess Architect

Appendix 2: Appendices of Heritage Impact Assessment by Stevens Burgess Architect

Appendix 3: Regulation 9/06: Criteria for Determining Cultural Heritage Value or Interest



Paul Mitcham, P. Eng, MBA, Commissioner of Community Services

Prepared by: Mark Warrack, Manager, Heritage and Cultural Planning,

Heritage Impact Assessment of 21 Park Street East Mississauga, Ontario



Credit: Trinity Anglican Church, 1922



Credit: SBA, 2017

Table of Contents

	Page
1.0 BACKGROUND	1
2.0 HERITAGE IMPACT ASSESSMENT	3
2.1 Site History including List of Owners.....	3
2.2 Written Description of Existing Conditions, Chronology of Interventions and Heritage conclusions	5
2.3 Documentation of Heritage Resources & Relevant Municipal Requirements	18
2.4 Outline of the Proposed Development and Impact on Heritage Attributes	28
2.5 Proposed Development Architectural Drawings (See Appendix C).....	31
2.6 Alternate Development Options & Mitigation Measures	31
2.7 Summary of Conservation Principles and How They will be Used.....	32
2.8 Proposed Demolition/Alterations Resulting in Loss of Heritage Value	33
2.9 Alternatives for Salvage Mitigation	35
3.0 SUMMARY STATEMENT AND CONSERVATION RECOMMENDATIONS	35
4.0 MANDATORY RECOMMENDATION.....	37
5.0 QUALIFICATIONS.....	40

APPENDICES:

Appendix A: Property Title

- .1 - 21 Park St. East, Chain of Title
- .2 - Registry Office Abstract Index, Lot #16, East Credit River, PC-2
- .3 - Quit Claim Deed, Peel General Manufacturing Co. Ltd. to F.J. Hamilton
- .4 - Deed of Land, Fredrick J. Hamilton to Rev. Henry Earle

Appendix B: As-Found Documentation

- .1 - Dirtech Engineering Corporation, Interior Renovations Dwg, 1996
- .2 - As-found Drawings 21 Park Street by Planit Measuring
- .3 - As-found Photographs, MW Hall Corporation, 2016

Appendix C: Redevelopment Architectural Drawings; IBI Group

Appendix D: Excerpt from “Trinity’s Yesterdays

Appendix E: Heritage Status

- .1 – 21 Park Street East Heritage Listing
- .2 – Port Credit War Memorial (Cenotaph) By-law 118-84

Appendix F: Curriculum Vitae for Jane Burgess

1.0 BACKGROUND

In October 2016, Stevens Burgess Architects Ltd. (SBA) was contacted by Edenshaw Developments Limited (Edenshaw) to prepare a Heritage Impact Assessment (HIA) for 21 to 27 Park Street. Due to time constraints, Edenshaw choose another consultant. That HIA was submitted to staff which expressed concerns with the content of the HIA as well as notifying Edenshaw that an HIA was not required for 25 and 27 Park Street. In January 2017, Edenshaw requested that SBA undertake an HIA for 21 Park Street East, a listed heritage building. On February 27th 2017, a review of the interior and exterior of 21 Park Street East, Cenotaph Park, Trinity Anglican Church and Cemetery, and the surrounding neighbourhood, was undertaken by SBA.

This HIA has been undertaken in accordance with the City of Mississauga Heritage Impact Assessment Terms of Reference. The intention of the HIA is to evaluate the heritage value of 21 Park Street East, assess the heritage impact of the proposed demolition, and assess the impact of a fifteen storey and mechanical penthouse condominium structure on the adjacent, designated, Cenotaph Park as per PPS 2014 2.6.3¹.

The subject building is located on a "Listed" property on the City's Heritage Property Register but it is not designated. The listing, Appendix E.1, names the property as Trinity Anglican Church Rectory constructed 1920. The subject building is no longer a rectory but the listing may have occurred pre 1997 when it was a rectory. The author enquired of the City of Mississauga's Culture Division if they had any additional information as to the reasons for listing and was given none but rather referred to Heritage Mississauga and other primary sources.

ONTARIO HERITAGE ACT R.S.O 1990

Section 29 of the *Ontario Heritage Act* provides the policy framework for designating a heritage property, noting that a property can only be designated by municipal by-law. If this has not occurred, then a property is not officially designated but a property which has been identified by a municipality as having cultural heritage value or interest, is permitted to be included within a heritage register, pursuant to Section 27(1.2) of the *Ontario Heritage Act*, and states that

"in addition to the property listed in the register under subsection (1.1), the register may include property that has not been designated under this Part but that the council of the municipality believes to be of cultural heritage value or interest and shall contain, with respect to such property, a description of the property that is sufficient to readily ascertain the property."

Section 27(3) states that

"if a property included in the register under subsection 1.2 has not been designated under section 29, the owner of the property shall not demolish or remove a building or structure on the property or permit the demolition or removal of the building or structure unless the owner gives the council of the municipality at least 60 days notice in writing of the owner's intention to demolish or remove the building or structure or to permit the demolition or removal of the building or structure."

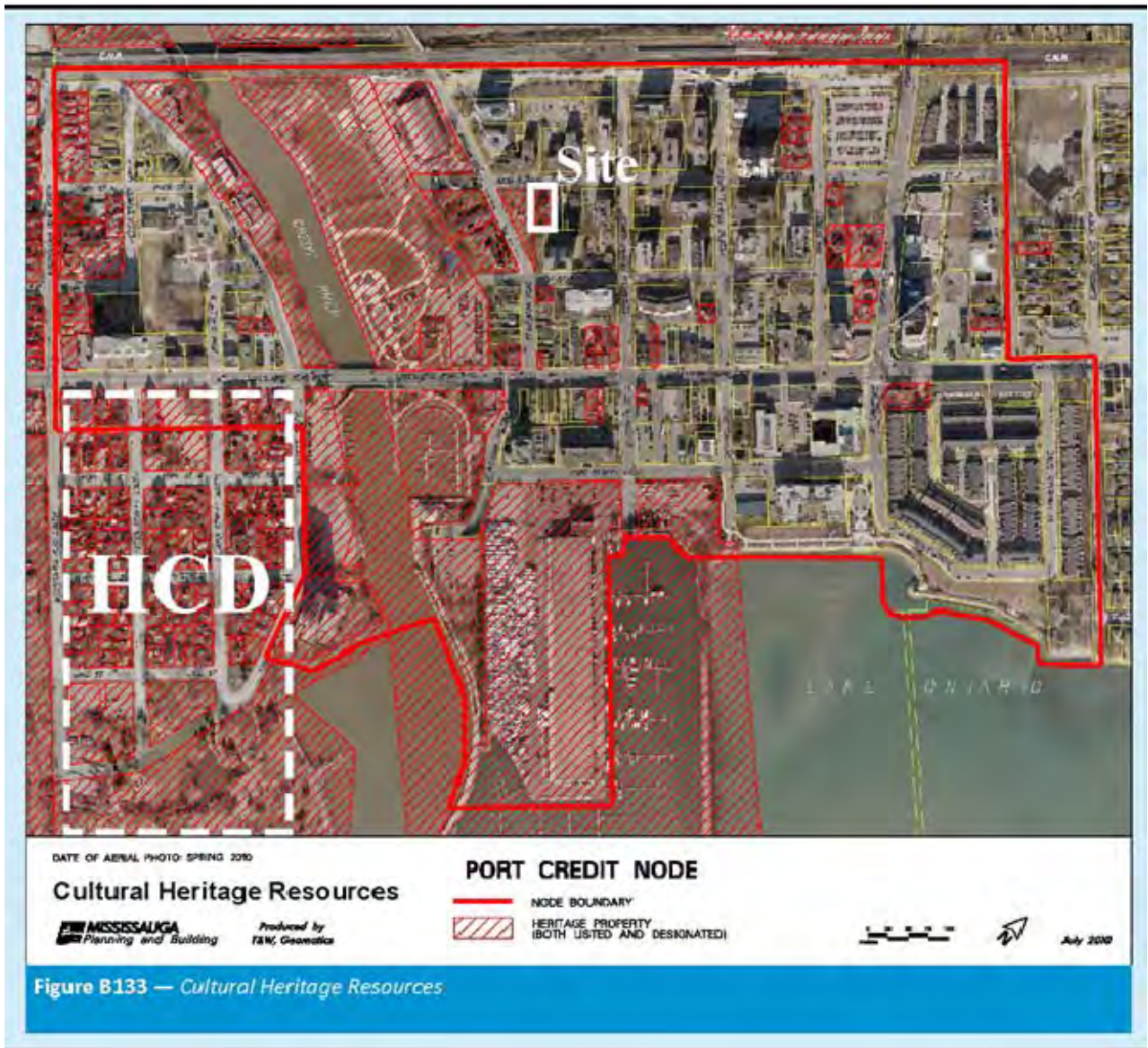
¹ 2.6.3 Planning authorities shall not permit development and site alteration on adjacent lands to protected heritage property except where the proposed development and site alteration has been evaluated and it has been demonstrated that the heritage attributes of the protected heritage property will be conserved.

Heritage Impact Assessment

21 Park Street East, Port Credit & Adjacency Impact on Cenotaph Park

17005

The *Ontario Heritage Act* also provides the framework for the designation of Heritage Conservation Districts through Part V of the *Act*. There is a designated 'Port Credit Heritage Conservation District' which is southwest of the site.



City of Mississauga, Port Credit Built Form Guide annotated by SBA

Heritage Impact Assessment

21 Park Street East, Port Credit & Adjacency Impact on Cenotaph Park

17005

2.0 HERITAGE IMPACT ASSESSMENT**2.1 Site History Including List Of Owners**Owner and Applicant : **To be redacted in Final Report**

Applicant in Conjunction with DARC16-326W:

Site History including List of Owners*See also Appendix A "Property Title " for chain of title, registry abstracts, and instruments.*

Year	Vendor	Purchaser	Land Parcel	Comments
1805	Mississauga Indians	British Crown	Etobicoke to Burlington	Lot located in newly created Toronto Township ²
1834				Village of Port Credit 'initiated' ²
1854 ³	Crown	James Cotton	Lots #1-7 1 st Range Credit Indian Reserve	Cotton: 1846-1885 Son of Robert Cotton. Landowner (See 1880 Toronto Atlas). General store on west side of river where James Hamilton apprentices until store burns when James moves over to Robert Cotton's store on the east side. <i>(Note: Hicks says Cotton purchases these lots in 1867)</i> Cotton Homestead is a designated property.
Missing Records; begins again with a deed poll..."lands described in Deed Poll bearing date 1865 whereby Frederick Wm. Jarvis, the then said Sheriff of the United Counties of York and Peel, granted to the Bank of Upper Canada."				
1865	Fredrick Jarvis	Bank of Canada	" "	
1869	Bank of Canada	John Crickmore	" "	Landowner. John Crickmore was a shareholder in The Peel Manufacturing Company ⁴
1869	John Crickmore	Wm. B. Hunter	" "	Wm. B. Hunter was a shareholder in the Peel Manufacturing Company ⁴
1869	Wm. B. Hunter	The Peel Manufacturing Company (PMC)	" "	Hunter sold the property for shares in the PMC. PMC was Fredrick Chase Capreol's (1803-1886) company, formed to transform Port Credit into an Industrial Centre, but couldn't get sufficient capital. Capreol was 'the father of the Canadian system of railroads' ² and a wealthy land speculator who lived in Toronto. (See 1888 Toronto Atlas).
1876	PMC mortgages	S. S. Lee et al	" "	Mrs. F. W. (Alice) Lee was the daughter of James Hamilton. The amount of the mortgage was \$20,000 a considerable amount of money in 1876.
1877	S.S. Lee	Canada Life Insurance	" "	
1886	Canada Life mortgage	PMC	" "	The date the mortgage is discharged is the year Capreol dies so the discharge, \$6,000, was

² Kathleen A Hicks Port Credit: Past to Present ,2007³ Canadian Imperial Bank of Commerce, Chain of Title, PIN 13463-0026 LT⁴ Matthew Wilkinson, Heritage Mississauga

Heritage Impact Assessment

21 Park Street East, Port Credit & Adjacency Impact on Cenotaph Park

17005

	discharge			probably undertaken as part of an estate settlement.
There is, perhaps, a missing record to show how/why PMC gave Charles Hamilton (James Hamilton's younger son), by Quit Claim, only Lot 16 of the original Lots 1-7, First Range of Credit Indian Reserve. James Hamilton (1827-1900) was, among many other things, a local landowner (See 1880 Atlas) and James Hamilton was an investor in the Peel Manufacturing Company ⁵ . Is it a reasonable assumption that James' shares in PMC land speculation company, after his death in 1900, went to his children and part of the settlement of the estate was Lot #16. In 1864, James donated the land to build the first Trinity Anglican Church on the site of the present day church and in 1890, donated the land for St. Andrew's Presbyterian Church, directly south of Trinity Anglican Church.				
1903	Charles G Hamilton	Fred J Hamilton	Lot #16 East of Credit River	Charles Hamilton (1870-1928) and Frederick Hamilton (1878-1954) are the two sons of James Hamilton who continued to jointly operate the Hamilton store. Charles Hamilton's house, architect Chadwick and Becket, 84 High St., was built in 1912 and is designated.
1914	PMC Quit Claim	Fred J Hamilton	" "	The deed is dated Oct. 12 th and is probably in due diligence before 'giving' the property to the church. The deed (see Appendix A) describes the property as " <i>parcel or tract of land and premises</i> " but this is legal boilerplate verbiage and does not necessarily mean there was a house on the property.
1914	Fred J. Hamilton et ux	Rev. Henry Earle et al	" "	The deed is dated October 14 th and is between Frederick, his wife Edith Mary, and the Reverend as incumbent, and Fredrick Hamilton and Arthur Griffith as church wardens. (See Appendix A)The deed is " <i>....in trust for the purposes of Trinity Church in Port Credit ...</i> "
1914	Rev. Henry Earle et al mortgage	Jane Kane	" "	The amount of the mortgage was for \$2,500 which would have contributed to the building of the rectory along with donated labour. (<i>Hicks notes the Methodist rectory was built in 1913 for \$7,000.</i>)
<p><i>"Trinity continued as a mission church along with St. Johns' of St. Peter's, Erindale for 47 years. By 1914, the Diocese recognized that Trinity was able to continue on its own and Trinity Port Credit became an independent parish. The minutes of a special Vestry held December 30, 1913 reports the election of Lay delegates and Sidesmen and it was moved and seconded that the minister's stipend would be \$1,000 with a free house."⁶</i></p> <p>The Reverend Henry Earle was the congregation's seventh minister but the first to live in the rectory. Many would come after until, by 1988, ministers, following current customs, no longer resided in the rectory but rather, having a higher salary, purchased their own homes. Elizabeth Hamilton recalls that the house was custom built for the Reverend Earle to his specifications as he had a large family of five children. The house was then rented out until it was eventually sold in 1997</p> <p>The present house at 21 Park Street was 'hastily constructed' in 1914, but the wardens were slow in having it decorated. The description of the house in "<i>Trinity's Yesterdays</i>" goes on to list a myriad of deficiencies, poor plumbing, faulty wiring, leaking roofs, peeling paint, and failing plaster. Airy rooms and fireplaces that drew are listed as the house's merits.</p>				
1997	Trinity Church	Current owner	" "	\$225,000 would be for house and lot.
In 1997, the renovations were undertaken to convert the ground floor to a dentist office, modernize the bedroom level on the second floor and expand the third floor attic to create a living space. (See Appendix B, Drawings by Ditect Engineering Corporation.)				
???				Listed on Mississauga Heritage Inventory

⁵ Elizabeth Hamilton, James Hamilton's great granddaughter.⁶ http://www.trinitystpaul.ca/about_more.php

2.2 Written Description of Existing Conditions, Chronology of Interventions and Conclusions Regarding Significance

SITE

The site is approximately 20 meters wide and 51 meters deep. The house faces north and is setback farther from Park Street than other buildings along Park Street. The designated Cenotaph site at 29 Stavebank Road is directly to the west. The Cenotaph site is approximately three meters higher than 21 Park Street, impeding the view of the house from Stavebank Road.

There is an asphalt driveway to the east of the house, probably in the same location as the original driveway. An interlocking brick, triple space, parking pad has been inserted into the frontyard. The addition of the parking pad meant that the current owner had to reconfigure the front porch, moving the stairs to the current location. The walkway to the new stairs is also new.



Asphalt drive and parking pad



Front porch with stair foundation remnants

The raise in grades in the backyard of 21 Park Street is resolved through a stone retaining wall with a level upper yard. The site is separated from Cenotaph Park by a frost fence.



View of terraced rear yard



View over rear yards from Centotaph

Survey

BUILDING

(See Appendix B for 1997 Renovation Drawings & As-found Drawings)

The house doesn't fit any exact style, but most closely fits within the City of Mississauga Architectural Styles Guide as Bungalow Style 1900 -1945. (See also City of Waterloo Architectural Style Guide below - Prairie/Craftsman/Bungalow 1900s-1930s which gives more description of the style.) Because of the size of the building and some of the features, the most accurate description of the building might be Bungalow Style with Queen Anne features, in particular, the large third storey gable on the front façade.



William Thomas Gray House (1909), 90 High Street East: Example of Bungalow Style as defined by the City of Mississauga (Heritage Planning Staff, Mississauga, 2016)



John A. Walker Cottage (1917), 1 Godfrey's Lane: Example of Bungalow Style as defined by the City of Mississauga (Heritage Planning Staff, Mississauga 2016)

Heritage Impact Assessment

21 Park Street East, Port Credit & Adjacency Impact on Cenotaph Park

17005



Kitchener: Example of Prairie/Craftsman/Bungalow style as defined in the Ontario Architectural Style Guide by the HPI Nomination team, University of Waterloo (2009) (Photo credits:Kyles, 2002b)



379 Wortley Road, London, 1921: Example of Prairie/Craftsman/Bungalow style as defined in the Ontario Architectural Style Guide by the HPI Nomination team, University of Waterloo (2009) (Photo credits:Canadian Register Nomination)

General

- Appears to be structurally sound
- Ground floor has been adapted to business / dentist, use while second and third floors remain in residential use. The second floor remains bedrooms while the third floor has been greatly enlarged for living space.
- The property is being maintained

Foundations

- The foundations are poured concrete with cementitious parging over it, which has been rendered to appear to be unit masonry.
- The foundations are structurally sound
- The parging is delaminating in some locations



Cementitious parging rendered as unit masonry Parging delaminating in some locations

Walls

- Multi-wythe red clay brick up to the level of the second floor ceiling with wood framing above.
- The brick masonry is in good condition with the exception of a structural diagonal crack over the three sectioned garden window.
- The mortar joints are recessed but not tooled. The mortar is generally in good condition except for localized areas of deterioration.
- The cedar shingles of the east gable end are original and are standard butt ends. The cedar shingles on the west, park side, have been replaced at some point, inserting a swath of decorative octagonal cedar shingles. The west side shingles have been stained to match the original east side.



Original cedar shingles on east elevation

Replaced shingles on west elevation

- Horizontal vinyl siding has been installed in the gable end on the street side and all dormers and the bay window.

Windows

- Extant Window Types
 - All the windows except some in the basement and the third floor north and south elevations, are original.
 - The original windows are wood with single glazing. The number of glass panes varies with the varying sizes of windows.
 - The wood windows are set in wood brick mold frames.
 - The windows are paint grade and poorly designed with very common inexpensive hardware.
 - The original wood storms, overpainted so they can no longer be readily removed, exist on some of the windows. These storms would be original and pay tribute to the poor quality of the windows.
 - For rooms where fresh air is needed, like bedrooms, newer operable aluminum storms have been installed.
 - The divided storm windows, old and new, give the windows the appearance of being double hung which would not have been in keeping with the design intent.
 - There are a great variety of window styles:
 - Bay with wood paneling over and flared bracket
 - Box with wood paneling over
 - Double, triple, and single sash
 - The wood frames of the windows set into the gable ends are in very poor condition.
- Replacement windows are double glazed vinyl with fake mullions.
- Within the masonry walls some of the smaller window sills appear to be tooled stone, while the larger sills appear to be concrete (manmade stone).



Stock hinge hardware



Window viewed from interior



Stock latch hardware

Entry Doors

- The front door is a wood veneer slab door with nine small bevelled panes of glass set in above.
- Its original varnish finish has been replaced with high gloss urethane.
- With the exception of the mailbox, none of the hardware is original.
- This would have been a very common door type of the period.
- The side door is the poorest quality imaginable, two panel wood door that matches the only remaining original door in the house, the one at the top of the basement stairs.
- The rear basement door is a wood paint grade, three panel with three panes over.



Front Door



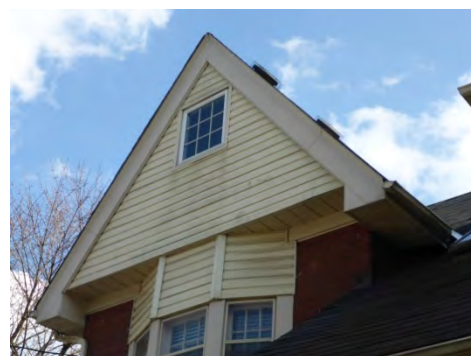
Basement Door

Roof and Roofing

- Given the financial constraints surrounding the rectory, the roofing material was probably always asphalt shingles.
- The current asphalt shingles, which would not be the original, are in adequate condition but there are numerous chewed sections with mesh over them, along the eaves.
- The east and west gable ends still have the original fascia boards and soffit. These require maintenance, as does the weathering board between the cedar shingles and masonry below.
- All fascias and soffits on the north, street side, have been replaced with aluminum.



Original trim West Elevation Gable



Metal trim North Elevation

Heritage Impact Assessment

21 Park Street East, Port Credit & Adjacency Impact on Cenotaph Park

17005

Chimney

- There is a chimney, which is proud of the masonry wall, in the middle of the west elevation
- The chimney is of the same brick as the house and is raked from the first to second floors.
- The chimney has a concrete cap.

Front Porch

- The stairs of the front porch are not in their original location. They were moved to the west end in the 1997 renovation to make way for the parking pad.
- There is a swath of octogan-shaped cedar shingles on the street face indicating these are replacements, similar to the west gable. The deep red stain can be seen beneath the grey paint on the shingles indicates this change was prior to the 1997 rennovation. The shingles were then modified again when the current owner moved the stairs.
- The two end walls have vinyl siding over the cedar shingles. These shingles are probably original and in the same poor condition as those on the east gable.
- From the sketch in 'Trinity's Yesterdays', the columns appear to be in their original location, with the narrow bay framing what would have been the location of the stairs.
- The uprights, beams, soffits, fascia, and kneewall cap are all sheathed in metal flashing. This indicates that all the wood was in poor repair, making it cheaper to sheath than repair and paint.
- The wood ceiling of the porch, which is well protected, is the only visible original element of the porch.



Front Porch

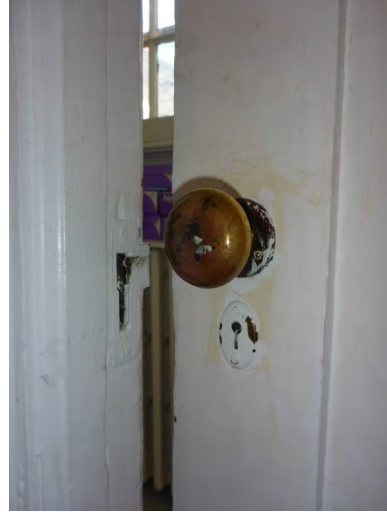
Vinyl Siding on side. All
Wood members flashed in metal**Interiors****Third Floor**

As the third floor had been completely gutted, the author did not inspect the space. The photos below were taken by Mark Hall in 2016 and bear witness to the lack of any original finishes.

- With the exception of the door at the top of the cellar stairs, all the interior doors have been replaced. The two-panelled flat door and hardware are of poor quality. This door is identical to the side door.

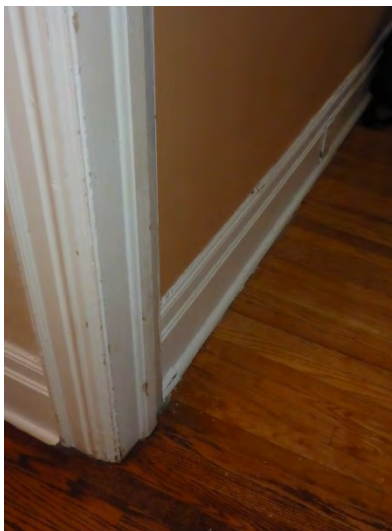


Basement Door



Basement Door Knob

- The wood trim, door, window, and baseboards are standard for that era and are probably paint grade.
- There are hardwood floors throughout the second and third floors. Some original and some replaced. The original is narrow tongue and groove oak.
- There is one decorative cast iron radiator in the front hall with plain cast iron radiators throughout the remainder of the second and third floors.
- The main staircase is a switchback type of modest dimensions. There is a remnant of oak veneer on the bullnose of the first step. The uprights are pine and would have been painted. The treads are of a harder wood (maple?) but would have been oak veneered, which has been stripped off.



Typical Molding



Main Staircase

- The two corner back-to-back fireplaces, like everything else in the house, are of modest dimensions. The hearths are clay tile. The faces are painted rugged brick. The wood surrounds are plain and would originally have been painted. The mantel tops are thick and most likely replacements for mantles that were damaged.

Clay tile hearth

Painted rugged brick, wood surround and mantel

- The most interesting feature of the house's interior is the variety of window types which cannot be appreciated from the exterior because of the storm windows.

Various windows as seen from interior

Interventions

The majority of the interventions impact the front and rear facades. The interventions occurred at different times but all, from the materials used, appear to be from the 1985 sale or later. The majority of them occurred in 1997, when the current owner converted the ground floor into a dentist office and expanded the third floor to act as the family living area.

1. North / Street Elevation

- Principal gable extended flush to fascia and clad in aluminum
- A third gable end dormer was added to what would have been a second floor cottage roofed dormer.
- None of the original finishes are visible on the front porch and the direct access from stair to front door has been compromised.
- The downspouts have been modified so that one leader runs across the face of the building

2. South / Garden Elevation

- A massive third floor gable that stretches almost the full width of the building where originally there would have been a pitched roof with, perhaps, a modest attic dormer. There is a walk-out from sliding glass doors. The siding is vinyl and the fascia and soffits, aluminum.
- A lightwell has been added to the basement

3. East Elevation

- A small lean-to, which probably housed garbage cans, has been removed.
- The wooden stairs to the side door have been replaced with a massive concrete structure

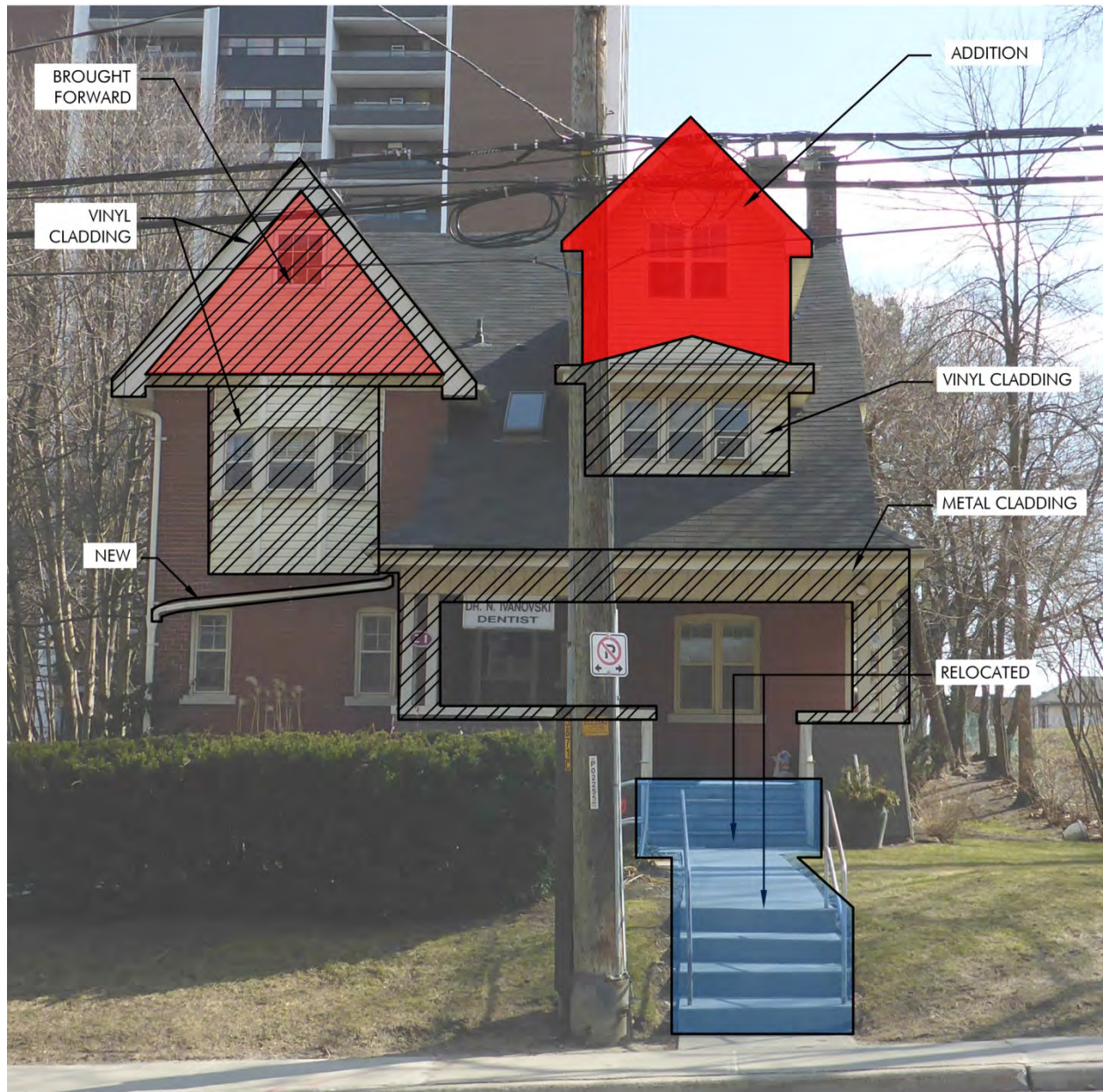
4. West Elevation

- The west elevation is substantively as-built.

Heritage Impact Assessment

21 Park Street East, Port Credit & Adjacency Impact on Cenotaph Park

17005

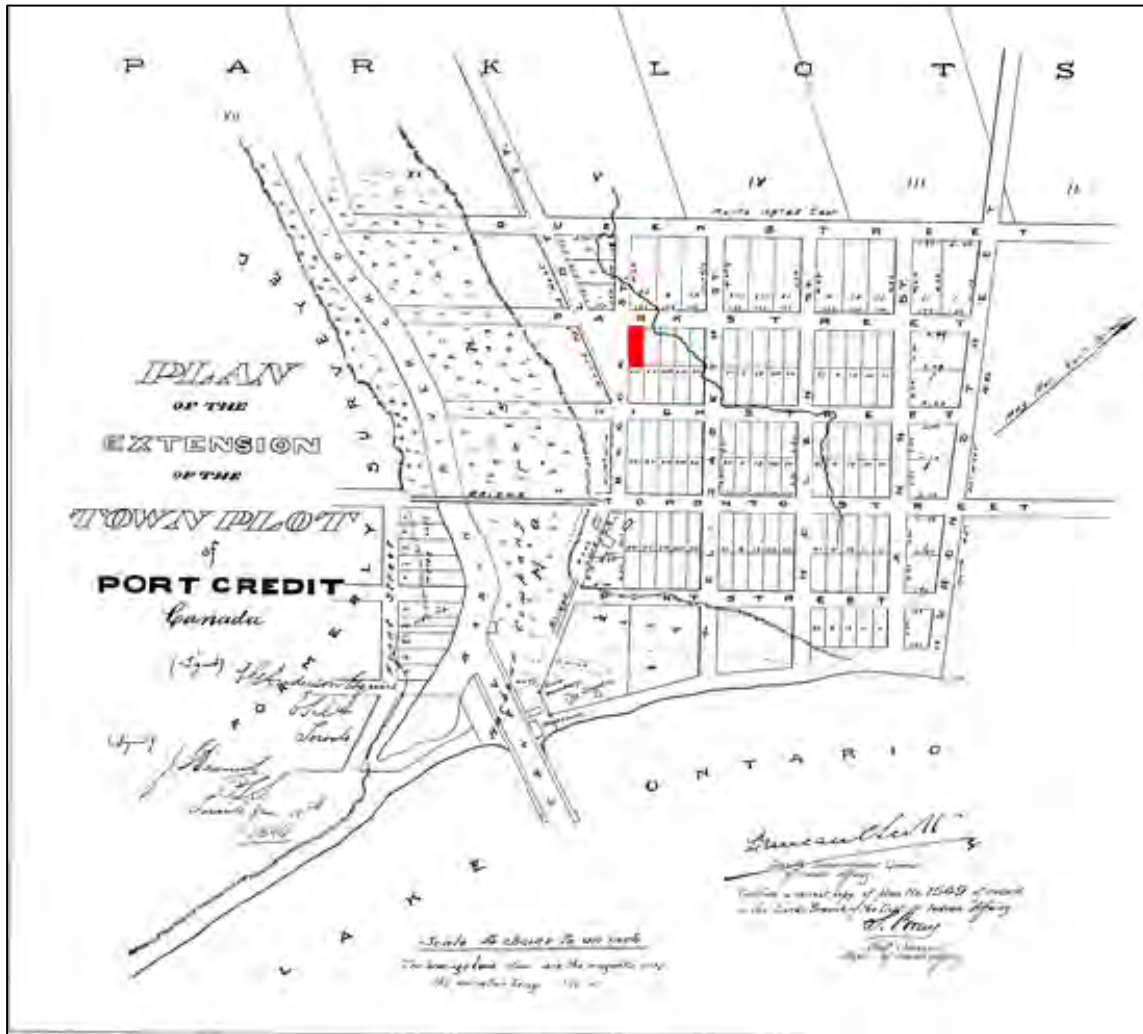


Elements of Front Façade that have been modified over time

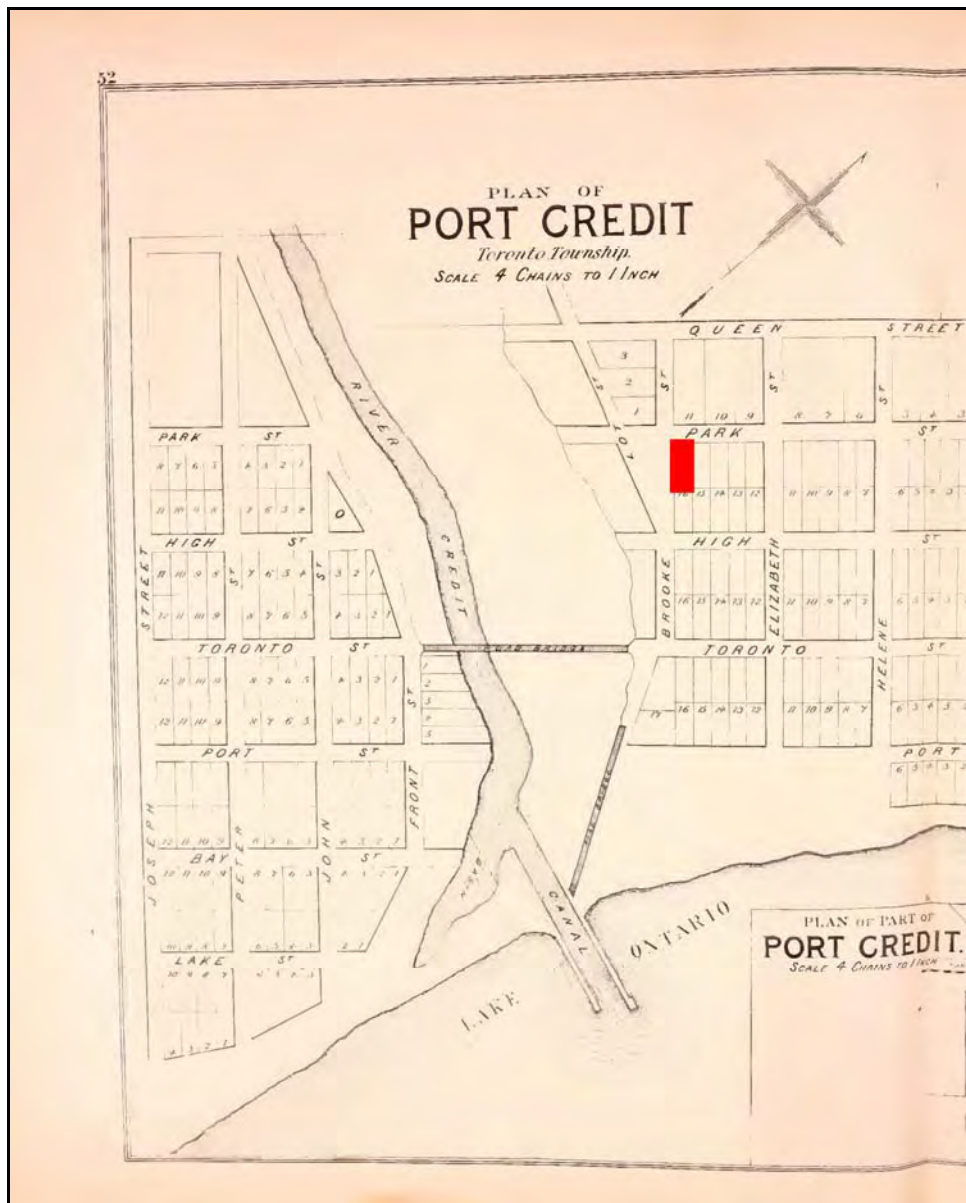
2.3 Documentation of Heritage Resources & Relevant Municipal Requirements

For 1996 Renovation Plans and Current (As-found) Drawings, see Appendix B

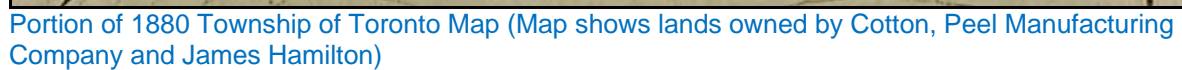
For Archival material, see Appendix D, Excerpts from "Trinity's Yesterdays"



1846 Plan of Extension of Port Credit (Credit: Matthew Wilkinson, Heritage Mississauga)

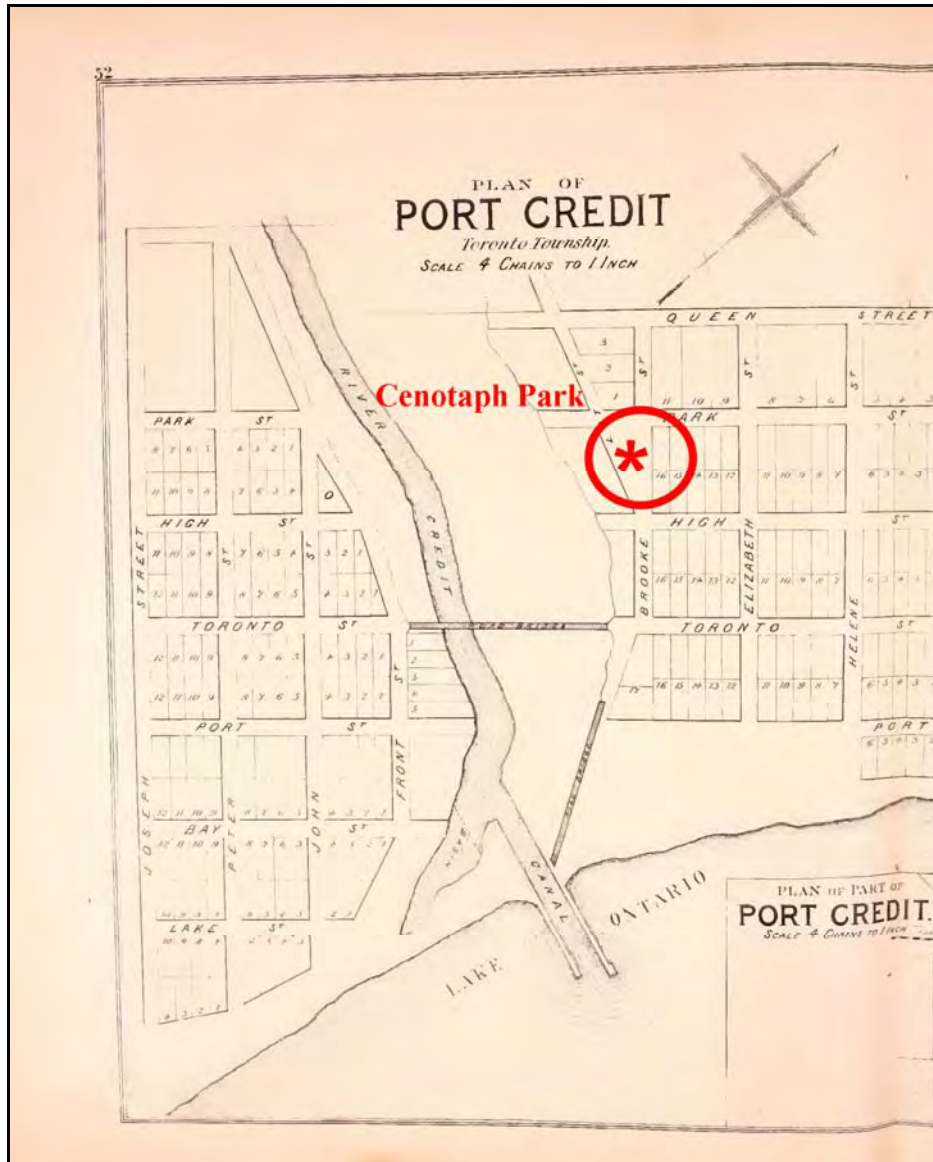


1877 Atlas of the County of Peel (25 Park Street East highlighted in red)



Cenotaph Park : 29 Stavebank Road as per PPS 2014, 2.6.3)

The 1877 Peel County Atlas shows the land subdivided into lots. Stavebank Road is called Brook, and the site that is to become the cenotaph site is shown as a widening of the road easement where the road turns.



1877 Atlas of the County of Peel (Future Cenotaph Park site circled in red)



Circa 1920: Stavebank Road Looking South towards the Bandstand. (Credit: Heritage Mississauga)

"The subject property is located in the rough area of the subdivision where Brook Street and Lot Street intersect to form a triangle, creating a wide public space that would eventually be incorporated into the "Town Square" and now the Cenotaph park location on Stavebank Road (Stavebank is the modern name for the combined Brook and Lot streets). To date, we do not know when the "Town Square" component was created. Local lore has it that the names of the dead were hung around the railings of the bandstand which resulted in putting a damper on festivities so it was decided to move the bandstand to the waterfront and erect a cenotaph."⁷

"Initially constructed in memory of the brave Port Credit men who lost their lives during WWI, it was designed and constructed by Louis Temporale (recipient of the Order of Canada for master craftsmanship in stone masonry).

This Cenotaph, when it was first erected, listed the names of the brave Port Credit men who lost their lives during World War I. In 1946 and 1983, the names of the men who fell during the World War II and the Korean Conflict were added. The memorial is located beside Memorial Park on Stavebank Road North and has been a revered landmark since its building in 1925."⁸

The site was designated in 1984, bylaw 118-84.

⁷ Matthew Wilkinson, Heritage Mississauga

⁸ <https://www.cdli.ca/monuments/on/portcred.htm>



Cenotaph of Cenotaph Park (Photo Credit: SBA 2017)

Photographs of Current Elevations



North Elevation 2017



East Elevation 2017



South Elevation: 2017



West Elevation: 2017

Relevant Municipal Requirements

Official Plan

The following apply to the subject property:

Official Plan Schedule	Designation / Characterization
Schedule 1 – Urban System	Community Node / Intensification Corridor
Schedule 1b – Urban System – City Structure	Community Node
Schedule 2 – Intensification Areas	Intensification Corridor Within 500m of a Major Transit Station
Schedule 9 – Character Areas	Port Credit Community Node *subject to Local Area Plan
Schedule 10 – Land Use	Residential High Density
Port Credit Local Area Plan	Central Residential Precinct

Heritage Policies

Applicable Policies are:

7.4.1.2 Mississauga will discourage the demolition, destruction or inappropriate alteration or reuse of cultural heritage resources.

7.4.1.3 Mississauga will require development to maintain locations and settings for cultural heritage resources that are compatible with and enhance the character of the cultural heritage resource.

7.4.1.13 Cultural heritage resources must be maintained in situ and in a manner that prevents deterioration and protects the heritage qualities of the resource.

7.4.1.14 Cultural heritage resources will be integrated with development proposals.

7.4.1.16 Mississauga will acquire heritage easements, apply restrictive covenants, and enter into development agreements, as appropriate, for the preservation of cultural heritage resources.

The next section, 7.4.2, goes on to define what is meant by ‘cultural heritage properties’ and provide policies related to cultural heritage properties.

“Cultural heritage properties are those properties or defined areas that are determined to be of cultural, historical, archaeological or natural significance and/or value. A heritage designation is applied to properties that have contextual, archaeological, historical/associative and/or physical/design value that is to be preserved. Properties of cultural heritage value are designated under the Ontario Heritage Act, on the City’s Heritage Register, and include listed properties that have not been designated under the Act, but that City Council believes to be of cultural heritage value or interest.”

Heritage Impact Assessment

21 Park Street East, Port Credit & Adjacency Impact on Cenotaph Park

17005

7.4.2.2 Prior to the demolition or alteration of a cultural heritage resource, documentation will be required of the property to the satisfaction of the City, and any appropriate advisory committee. This document may be in the form of a Heritage Impact Assessment.

All the above policies apply only to 'cultural heritage properties'. Regulation 9/06 under the Ontario Heritage Act, sets out how to evaluate properties to determine if they have sufficient 'heritage value or interested' to meet the criteria for designation. This has been undertaken in Section 4.0 of this HIA.

A Heritage Impact Assessment (HIA) is required for applications for development involving cultural heritage resources and any construction, development or property alteration that might adversely affect a listed or designated cultural heritage resource which is proposed adjacent to a cultural heritage resource, pursuant to Sections 7.4.1.10 and 7.4.1.12 of the OP. The requirements of these sections along with the requirements of PPS 2014 2.6.3 are met through the inclusion of Cenotaph Park within this HIA.

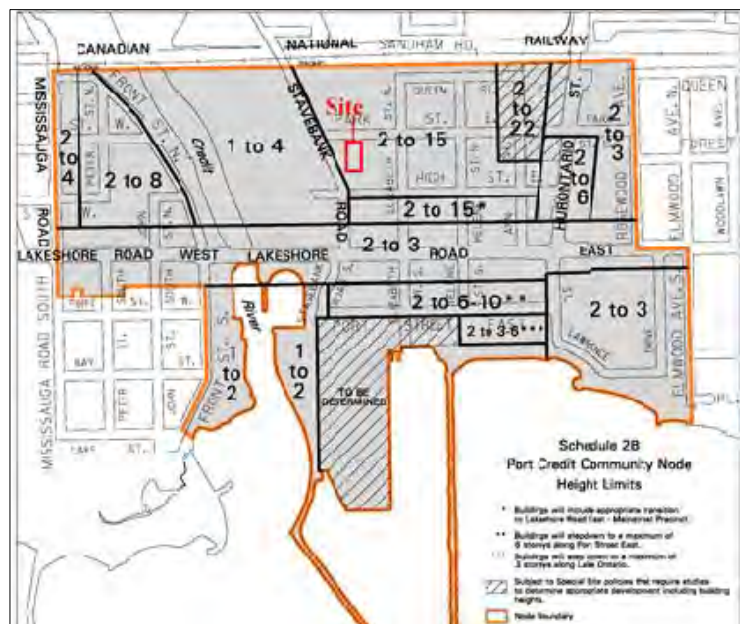
Mississauga's Official Plan defines the subject property as being within the Community Node Character Area of Port Credit Neighbourhood. Partly due to its proximity to the GO station, the Community Node Neighbourhood is the neighbourhood identified for intensification. (Section 5.5)

Port Credit Local Area Plan

Site specific policies are found within the Port Credit Local Area Plan (PCLAP). The subject lands are located specifically within the Port Credit Community Node Character Area.

The Community Node represents the focus for the surrounding neighbourhoods. It exhibits many of the desirable characteristics intended for community nodes, including a mixture of uses, compact urban form, appropriate density, and in many ways has achieved its planned function. It has been identified primarily in recognition of the role it plays in the community and as a location for intensification.⁹

The subarea within the Community Node where the site is located permits buildings of two to fifteen storeys in height.



⁹ Port Credit Local Area Plan

The Community Node Character Area Neighbourhood is straddled by two Neighbourhood Character areas, these areas are to remain stable and their characters preserved.

The Neighbourhood Character Area represents stable residential areas where the existing character is to be preserved and will not be the focus for intensification. Where development occurs, it will generally be through modest infilling or development within the Lakeshore Road (east and west) Mainstreet Neighbourhood Precinct, the existing commercial plaza or the vacant former refinery site⁹



Map 15-20. Port Credit Neighborhood Character Area

Port Credit Built Form Guide

Section 3.5 Cultural Resources: “Designated properties are to be retained. The retention and enhancement of heritage listed properties is strongly encouraged. Properties listed on the Heritage Register will be preserved in their existing location. Any development will incorporate these structures in the design of the proposal. Any changes to these structures or developments adjacent to these structures will require a Heritage Impact Statement and may have additional requirements. Additional requirements may include, but are not limited to, a review and approval from the Heritage Advisory Committee and Council”

This HIA has been undertaken to research the property, evaluate the heritage value and interest and assess the impact.

Zoning

The proposed does don't conform to the current zoning bylaw.

Heritage Impact Assessment

21 Park Street East, Port Credit & Adjacency Impact on Cenotaph Park

17005

2.4 Outline of the Proposed Development Context and Impact on Heritage Attributes

The development proposal covers three properties: 21, 25 and 27 Park Street East. 27 and 25 Park Street East are residential buildings which may be demolished. It is the intent to demolish the subject dwelling at 21 Park Street East and combine all three properties into a single block.



Property Index Map : Cenotaph Park and Lots to be Redeveloped.

All three of these lots were part of the First Range Credit Indian Reserve and had identical ownerships until 1889, when they are first described in the registry as lots. The subject house is on Lot #16; No.'s 25 and 27 are described as being Lot #15. Lot #15 was bought and sold for very little money, including to Fredrick Hamilton, until 1890 when Mary Sharpe buys it. The newly created lot size is in keeping with the past, current, and planned lot size for the neighbourhood.



27 and 25 Park Street East with 21 Park Street East at extreme right. (Credit: Google)

The proposal is for a 15 storey plus penthouse residential tower with parking. The proposal is fully compatible Official Plan requirements and Port Credit Local Area Plan policies. The architectural design for the building is in keeping with the Built Form Guidelines. The height of the building is in keeping with existing buildings in the neighbourhood, most of which are 1960's vintage apartment rental buildings of little architectural interest. The proposed condominium building is of a much higher calibre of design.

The front setback is in keeping with the setbacks of 29 through 25 Park Street but is farther forward than the subject building.

The three storey base of the tower is more solid than the upper levels and of terra cotta. The terra cotta is reflective of the redclay brick colour and material of the early twentieth century brick houses and the line of the top of this base relates to the ridge line of that housing stock.

The three storey base is almost solid on the west side and will provide a backdrop for the Cenotaph. The building is setback at the top of the base to provide an amenity space which has a solid high guard to separate it from the park. There is a setback along the west wall to allow for the planting of climbing vines to provide a green wall as a backdrop to the park. At the present time, the three plus meter drop to the backyards along Park Street results in the unsettling juxtaposition of cenotaph with apartment parking, garbage and backyard barbecues.

2.5 Proposed Development Architectural Drawings

See Appendix C

2.6 Alternate Development Options and Mitigation Measures

Ontario Heritage Tool Kit: InfoSheet #5.5: Consideration of Alternatives, Mitigation and Conservation Methods.

Where an impact on a cultural heritage resource is identified, and the proposed conservation or mitigation measures including avoidance, are considered ineffective, other conservation or mitigation measures, or alternative development or site alteration approaches must be recommended.

o Alternative development approaches.¹⁰

Redevelopment as high density good quality residential housing is in keeping with the municipality and the provinces land use intensification policies. Neither lot #15 nor Lot #16 alone would be adequate to provide a footprint of sufficient size for medium and or high density housing which require an elevator and servicing core as well as unit sizes conforming to today's condominium requirements.

o Isolation development and site alteration from significant built and natural heritage features

The subject house is set far back on the lot leaving only about the rear half of the lot available for development. An 'L' shaped building would not be feasible given the ten meter setback on the driveway side and a building set solely in the rear half of the two lots would not be in keeping with the Port Credit Community Plan nor Urban Guidelines.

o Design Guidelines that harmonize mass, setback, setting and materials

The proposal seeks to create a structure that is better engaged and connected to the street by creating grade-related units with front patios and a residential lobby, both of which would add to the safety and animation of the street, which is a very different vocabulary from that of a bungalow set back from the street for privacy. The proposal is reflective of Port Credit's Built Form Guide.

¹⁰ Blue font is from Mississauga Heritage Impact Assessment Terms of Reference.

- Limiting height and density

As discussed above in order to redevelop the site, the existing structures must be demolished. The height and density of the redevelopment will not impact the Cenotaph Park but the design of the base of the building does impact Cenotaph Park and in a positive manner.

- Allowing only compatible infill and additions

The proposed redevelopment is much more in keeping with the surrounding neighbourhood than the two adjacent houses and the rectory. The two adjacent houses can be demolished which would leave only the subject house as a remnant from a single family housing era.

- Reversible alterations

The proposed demolition is not reversible but the undertaking of this HIA and the research and documentation contained herein provides the historic documentation of the property.

2.7 Summary of Conservation Principles and How They will be Used

The *Standards and Guidelines for the Conservation of Historic Places in Canada (Standards and Guidelines)* is a key reference document for the development of heritage impact assessments. The *Standards and Guidelines* describe the principles and practices that encourage the long-term conservation of Canada's historic places based on sound, practical guidance. A second purpose of the Standards and Guidelines was to develop a Canadian set of Standards and Guidelines that could be adopted by federal, provincial, territorial or other authorities as a benchmark for assessing proposed conservation interventions. The objective for the conservation of a historic place is to meet functional goals while respecting the site/building heritage value and character-defining elements. This 'minimal intervention' approach is the foundation of good conservation practice.

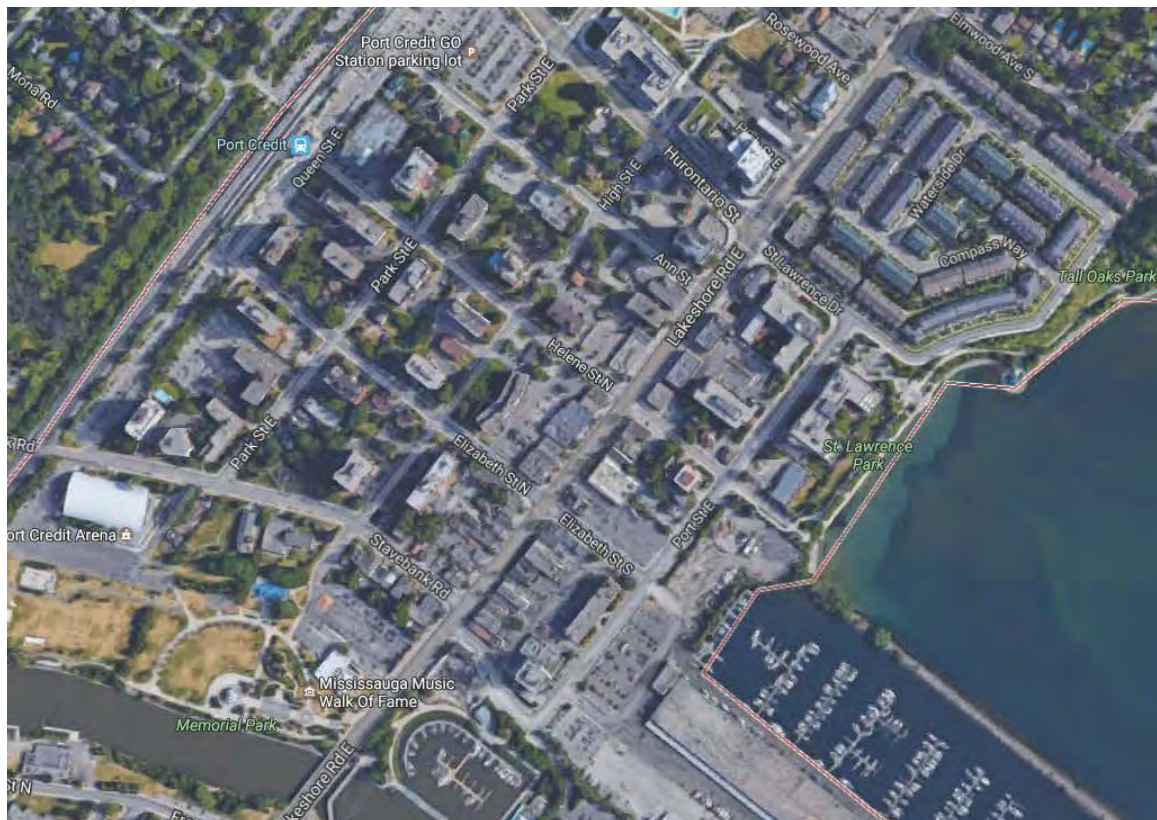
In addition to the above, the *Eight Guiding Principles in the Conservation of Historic Properties, Ontario Ministry of Culture* are ministry statements in the conservation of built heritage properties and are based on international charters which have been established over the century. These principles provide the basis for all decisions concerning good practice in heritage conservation around the world. Principles explain the "why" of every conservation activity and apply to all heritage properties and their surroundings.

The above standards, guidelines and principles were developed to address the conservation, not the evaluation of heritage structures and as such, are not applicable.

2.8 Proposed Demolition/Alterations Resulting in Loss of Cultural Heritage Value

The proposed demolition of the subject property represents the loss of an interesting and once more attractive early twentieth century house but it is not of 'cultural heritage value or interest' as defined under Regulation 9/06. The PPS and the OP both recognize that a property may have cultural heritage value and interest without meeting the criteria for designation but these are usually properties that identified as being important to a particular community, such as an aboriginal community or in this case the community of Port Credit. The research for this HIA has not been able to identify the subject house as being important to the community of Port Credit. Based on the chapter in *Trinity's Yesterdays* the heritage interest and value that Trinity Anglican Church has for the property is mostly intrinsic.

Replacing the three single family houses on the street with a larger development is compatible with the development in all the adjacent blocks. (See Google Earth image below.)



Credit: Google Maps

The impact on the Park Street East streetscape is overall a positive one bringing new life and vitality. The impact on Stavenbank Road and Cenotaph Park is to provide a backdrop and clear delineation between public and private use .



Park Street East Streetscape Before (Credit: Google)



Park Street East Streetscape After (Credit: IBI)



Stavebank Road Streetscape Before (Photo credit: Adam Simkin 2016)



Stavebank Road Streetscape After(Credit: IBI)

2.9 Alternatives for Salvage Mitigation

There is no façade or element of the subject building that is of high enough cultural value, interest or material integrity that could justify trying to integrate it into the proposed development.

3.0 SUMMARY STATEMENT AND CONSERVATION RECOMMENDATIONS

The significance and heritage attributes of the cultural heritage resource, including a reference to a listing on the Heritage Register, or designation by-law, if it is applicable.¹¹

The property is listed on Mississauga's Heritage Register, *see appendix E.1*. There are no details other than it was the Trinity Anglican Church's Rectory and that it was constructed in 1920. The property hasn't served as a rectory since 1988 and has not been owned by Trinity Anglican Church since 1997. The house was built in 1914. This listed property was not fully researched at the time of the listing but this Heritage Impact Assessment provides the necessary documentation for the site in order to better evaluate its heritage value and interest.

Draft Outline for of Statement of Heritage Value or Interest

It is the history of the site which has the greatest cultural heritage value and historical interest as it is an example of early land speculation and the loss of land by our indigenous people. This lot was part of Lots #1-7, First Range Indian Reserve. Its ownership slides out of the Mississauga Indians control into that of Port Credit's early landowners and speculators. The land passes through the hands of Cotton, Jarvis, Crickmore and Hunter, and then, via the Peel Manufacturing Company, into the hands of Capreol and the entire Hamilton family; James, Charles, Fred and Alice.

Heritage value also lies in the fact that the house has residual elements of the 'the bungalow style, 1900-1940'. The 'bungalow style' represents one of the styles of housing being built throughout Port Credit at that time, for the new middle and upper middle class of Port Credit during a period of growth.

Heritage value also lies in the fact that the house was built and used as a rectory for Trinity Anglican Church. Unfortunately, there is no visual connection between the church and the rectory as they don't share the same site nor are there any similarities in design or materials.

The rectory is also associated with the Reverend Henry Earle, its first resident, for whom it was built. Although the Reverend has strong historical value for Trinity Church, where he is buried, he does not seem to have any historical significance for the greater Port Credit community. Various other ministers lived in the rectory until 1988 when the incoming minister wished to purchase his own house.

¹¹ Mississauga Heritage Impact Assessment Terms of Reference, October 2014

Significance of Heritage Attributes of the site that reflect Cultural Heritage Resource

The heritage attributes that contribute to the building as an example of the 'bungalow style' include:

- ► Massing and form
- ► Asymmetrical hip roof with cross gables and flared roof over porch
- Side flared roofing return meeting front porch flared roof
- ► Porch with cedar shingle flared guard wall, multi-membered columns supporting structural framing
- Materials: rendered concrete foundation, red clay brick, ► wood facia and soffits, ► cedar shingle siding
- Exposed chimneys
- Asymmetrical window placement and a variety of types of wood windows

► *indicate attributes that have been modified to the detriment of the original design intent.*

The identification of any impact that the proposed development will have on cultural heritage resources.

For 21 Park Street East, the proposed development will result in the demolition of the subject property. For Cenotaph Park, the proposed development will provide an opportunity for an appropriately designed delineation between public memorial and private residential outdoor space. There will be minimum impact on sunlight in the park as proposed development is situated almost due north. At eleven o'clock on November 11th when the Remembrance Day services are held there will be no impact on the sun rising over the park.

An explanation of what conservation or mitigation measures, or alternative development, or site alteration approaches are recommended.

For 21 Park Street East, other than the preservation of the historical documentation contained in this HIA, no measures other than those already made to and incorporated by the design team are being recommended, namely:

- That the new building respect the established setback on the street
- That a strong building base be established, the top of which aligns with that of the single family structures previously dominant in the area, approximately at the roof line of the rectory
- That the material of the building base be a material and colour relating to the earlier residential building: terra cotta/ red clay.

For Cenotaph Park measures already recommended to and accepted by the design team:

- That the building base extend to the height of the cenotaph to provide a backdrop for the monument.
- That the building base be solid and high enough along the outdoor amenity area of the building so as to block the outdoor furnishings from the cenotaph site.

- That the building base mostly solid to provide a backdrop for the monument.
- That plant material be introduced along the property line to enhance the greenness of the park.

In addition to the above, as per PPS 2.6.3, the heritage planning staff of the City of Mississauga should have input into the ongoing approval process for the new development.

Clarification as to why conservation or mitigation measures, or alternative development or site approaches are not appropriate.

The redevelopment approach to the site is in keeping with Port Credit's future plan. The limited size of the lot and limited value of the heritage attributes make retention of the subject building in part or whole unrealistic.

4.0 MANDATORY RECOMMENDATION

1. Does the property meet the criteria for heritage designation under the Ontario Regulation 9/06, Ontario Heritage Act?

Evaluation as per Ontario Regulation 9/06 of the Ontario Heritage Act:

Criteria for determining cultural heritage value or interest:

(Ontario Regulation 9/06 made under the Ontario Heritage Act)

A property may be designated under section 29 of the Act if it meets one or more of the following criteria for determining whether it is of cultural heritage value or interest

1. The property has design value or physical value because it,	
i. is rare, unique, representative or early example of a style, type, expression, material or construction method,	<p>No</p> <p><i>The property it is not a unique, rare, or early example of a style, type, expression, material or construction method.</i></p> <p><i>Although the house is attractive, it could not be considered a representative example of the 'Bungalow Style' 1900-1945". As a 'representative' of the style it would have to be either a typical example or excellent model. The house is not typical of the "Bungalow Style" nor, as it is today, could it be considered an excellent model. Port Credit has two exemplar designated 'Bungalow Style' sites near this property; the Wm. T. Gray property at 90 High Street and the Charles Hamilton House at 84 High Street.</i></p>
ii. Displays a high degree of craftsmanship or artistic merit,	<p>No</p> <p><i>In its present form the property does not display a high degree of artistic merit. The craftsmanship and materials used reflects a church of limited funds providing housing for its minister's family.</i></p>

or iii. Demonstrates a high degree of technical or scientific achievement.	NA
2. The property has historical value or associative value because it,	
i. has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community,	<p>No</p> <p><i>The property has a historical connection with Trinity Anglican Church through being built as a rectory for the first minister of the independent parish of Trinity Port Credit Anglican Church, the Reverend Henry Earle. Trinity Anglican Church most probably has significance to the community but there is no record found that would support that the Reverend Earle or the custom of churches supplying their ministers with rectories, has significance to the community in this instance.</i></p>
ii. yields, or has the potential to yield, information that contributes to an understanding of a community or culture, or	<p>No</p> <p><i>Land transfer record of this property contributes to the understanding of the community but the building itself contributes to the understanding of the community only in as much as it reflects a pattern of single family houses having been typical of the land use in this area.</i></p>
iii. demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community	<p>No</p> <p><i>The builder is unknown but church lore has it that the rectory was built to the Reverend Earle's specifications.</i></p>
3. The property has contextual value because it,	
i. is important in defining, maintaining or supporting the character of an area,	<p>No</p> <p><i>The character of the area has become medium and high density 'modern' buildings on larger lots. With the slated demolition of the two adjacent houses, it will become an orphan, single family home in a medium and high density landscape.</i></p>
ii. is physically, functionally, visually or historically linked to its surroundings	<p>No</p> <p><i>The site has no physical, functional or visual connection with Trinity Anglican Church to which it is historically linked. (You can see the house from the church and vice versa but unless one knows that it was built as a rectory there are no visual connection.)</i></p>

	<p><i>The fact that Fredrick Hamilton appeared to own this lot and was a staunch adherent of Trinity Anglican Church is the only historical link to the surrounding</i></p> <p><i>This site has no historical connection to the adjacent designated Cenotaph Park The site has always been in public ownership and faces Stavebank Road, not Park Street.</i></p>
<p>or</p> <p>iii. is a landmark</p>	NA

The property does not meet the criteria for heritage designation under the Ontario Regulation 9/06, Ontario Heritage Act.

Regardless of the failure to meet criteria for heritage designation, does the property warrant conservation as per the definition in the Provincial Policy Statement:

Conserved: *means the identification, protection, use and/or management of cultural heritage and archaeological resources in such a way that their heritage values, attributes and integrity are retained. This may be addressed through a conservation plan or heritage impact assessment.*¹²

PPS 2014 2.6.1 States “Significant built heritage resources and significant cultural heritage landscapes shall be conserved”

Through undertaking this HIA the author has reached the conclusion that the residual heritage value in the subject property is not significant.

By undertaking this Heritage Impact Statement, Mississauga has addressed one of the conservation mechanisms referred to in the PPS, namely identification. This HIA should serve as a record to the identification of heritage value and interest for the site.

¹² City of Mississauga , Heritage Impact Statement, Terms of Reference, 5.3

5.0 QUALIFICATIONS

Qualifications of Author

As a requirement of the above noted guidelines, the Heritage Impact Assessment was prepared by a member of the Canadian Association of Heritage Professionals (CAHP), namely, Jane Burgess OAA, MRAIC, CAHP, APT, a founding partner of Stevens Burgess Architects Ltd. (SBA) and partner-in charge of heritage projects. She has practiced within the heritage industry for over thirty years, contributing to heritage policy making, advocacy and education. Jane has served as President of CAHP (Canadian Association of Heritage Professionals), Vice Chair of the Toronto Preservation Board and Vice President of the OAA. She has received many awards for her work in conservation and lectures widely on the subject. (*Refer to Appendix F for Jane Burgess' résumé.*)

Stevens Burgess Architects Ltd. is an OAA licensed architectural practice specializing in heritage conservation. SBA has six licensed architects, three of whom are members of the Canadian Association of Heritage Professionals (CAHP), three LEED accredited professionals and a staff trained in the application of heritage standards and best practice.

In 1988, SBA was retained to assist the Trustees of The Old Stone Church in Beaverton, Ontario to assist in designation and conservation of the 1840's stone church which became a national historic site. Since that time SBA has worked on over forty recognized or designated heritage properties and many more listed or eligible to be listed buildings. SBA Follows internationally recognized preservation principles as inscribed in the charters, SBA's involvement with projects range from research and documentation to production of Heritage Significance Evaluations, Building Condition Assessments, Intervention Guidelines, Conservation Master Plans, Feasibility Studies, Heritage Impact Statements, Building Conservation, Retrofit and/or Reuse and Monitoring and Maintenance Plans.

References

Standards and Guidelines for the Conservation of Historic Places in Canada (Standards and Guidelines)

Eight Guiding Principles in the Conservation of Historic Properties, Ontario Ministry of Culture
Ontario Heritage Tool Kit

Ontario Heritage Act, Regulation 9/06

Provincial Policy Statement under Ontario Planning Act, (PPS) 2014

City Of Mississauga Official Plan

City of Mississauga Heritage Impact Assessment TOR 2014

City of Mississauga Web-sites:

http://www.mississauga.ca/portal/residents/portcreditgallery?paf_gear_id=13400033&imageId=9600011n&index=1&returnUrl=%2Fportal%2Fresidents%2Fportcreditgallery

[http://www.mississauga.ca/file/COM/Architectural Styles in Mississauga 2012.pdf](http://www.mississauga.ca/file/COM/Architectural%20Styles%20in%20Mississauga%202012.pdf)

<http://www6.mississauga.ca/onlinemaps/planbldg/MOP/Chapter16-Neighbourhoods.pdf>

[http://www7.mississauga.ca/documents/agendas/committees/heritage/HAC Agenda 2013 05 28, Part 3.pdf](http://www7.mississauga.ca/documents/agendas/committees/heritage/HAC_Agenda_2013_05_28_Part_3.pdf)

Trinity – St. Paul Anglican Church, Mississauga Web-site:

http://www.trinitystpaul.ca/about_more.php

St. Andrews Memorial Presbyterian Church, Mississauga Web-site:

http://www.standrewsportcredit.ca/wordpress/?page_id=99

University of Waterloo, Ontario Architectural Style Guide:

[https://uwaterloo.ca/heritage-resources-centre/sites/ca.heritage-resources-](https://uwaterloo.ca/heritage-resources-centre/sites/ca.heritage-resources-centre/files/uploads/files/heritage_resources_centre_architectural_styles_guide_reduced.pdf)

[centre/files/uploads/files/heritage_resources_centre_architectural_styles_guide_reduced.pdf](https://uwaterloo.ca/heritage-resources-centre/sites/ca.heritage-resources-centre/files/uploads/files/heritage_resources_centre_architectural_styles_guide_reduced.pdf)

People Contacted

Adam Simkin,
Development Manager, Edenshaw Developments Limited

Mansoor Kazarouni M.Arch, OAA, MRAIC,
Director, Living + Global, IBI Group

Cecilia Nin Hernandez,
Heritage Coordinator, Community Services Department, Cultural Planning Section, Culture
Division, City of Mississauga

Chris Aplin, M.C.A. Paralegal Services, Brampton (Title Search)

Matthew Wilkinson, Historian, Heritage Mississauga

Elizabeth Hamilton, Great-granddaughter of James Hamilton and member of Trinity-St. Paul's
Anglican Church

Judy Tutty, Trinity – St. Paul's Anglican Church Historian.

APPENDICES

Appendix A: Property Title

A.1 - 21 Park Street East, Chain of Title

**A.2 - Registry Office Abstract Index, Lot #16, East
Credit River, PC-2**

**A.3 - Quit Claim Deed, Peel General Manufacturing Co.
Ltd to F.J. Hamilton**

**A.4 - Deed of Land, Frederick J. Hamilton to Rev. Henry
Earl**

Heritage Impact Assessment

21 Park Street East, Port Credit & Adjacency Impact on Cenotaph Park

17005

A.1 21 Park Street East Chain of Title

21 Park Street East, Port CreditOwner: Nada IvanovskiOutstanding mortgages: Canadian Imperial Bank of Commerce (second)CIBC Mortgages Inc. (first)**CHAIN OF TITLE**

Lot 16, Plan PC2/Village Plan 300E, south side of Park Street, Port Credit

PIN 13463-0026 LT

Instrument #	Instrument type and amount paid	Date of instrument	Registration date	Vendor	Purchaser	Amount of land
Patent		11 July 1854		Crown	James Cotton	Lots 1-7, 1 st Range of Credit Indian Reserve (C.I.R.)
13861	Deed Poll (document missing)	31 May 1865	7 Nov. 1865	Frederick Jarvis	Bank of Upper Canada	Lots 1-7, 1 st Range of Credit Indian Reserve (C.I.R.)
340	B & S \$7,000	15 May 1869	6 Sept. 1869	The Trustees of the Bank of Canada	John Crickmore	Lots 1-7, 1 st Range of Credit Indian Reserve (C.I.R.)
351	B & S \$25,000	12 July 1869	20 Sept. 1869	John Crickmore	William B. Hunter	Lots 1-7, 1 st Range of Credit Indian Reserve (C.I.R.) "lands described in Deed Poll bearing date the 13 May 1865 whereby Frederick

Credit: MW Hall Corporation Heritage Impact Assessment

Heritage Impact Assessment

21 Park Street East, Port Credit & Adjacency Impact on Cenotaph Park

17005

							William Jarvis the then Sheriff of the United Counties of York and Peel granted --- to the Bank of Upper Canada"
352 G.R.(document missing)	14,000 shares			20 Sept. 1869	William B. Hunter	The Peel Manufacturing Company	Lots 1-7, 1 st Range of Credit Indian Reserve (C.I.R.)
1996	Mortgage \$20,000	1 Sept. 1876	23 Sept. 1876		The Peel General Manufacturing Company	Stephen S. Lee and Alan Cameron Trustees of Ellen Madeline de ---Cameron, wife of the Honorable John Hillyard Cameron	Lots 2, 3, 4, 5, 6, 1 st Range C.I.R.
2158	Assign. Mortgage #1996 \$1,200	28 Nov. 1876	4 April 1877		Stephen S. Lee and Alan Cameron Trustees of Ellen Madeline de ---Cameron, wife of the Honorable John Hillyard Cameron, deceased	The Canada Life Assurance Company	Assigning mortgage 1996
5677	Release	25 March 1886	14 May 1886		The Canada Life Assurance Company	The Peel General Manufacturing Company	As in 1996
11339	Quit Claim	23 Dec. 1903	23 Dec. 1903		Charles G. Hamilton	Frederick J. Hamilton	Lot 16 south side of Park Street
16797	B & S	14 Oct. 1914	27 Nov. 1914		Frederick J. Hamilton	Reverend Henry Earle, Incumbent of Trinity Church	Lot 16 south side of Park Street
RO1134242	Transfer \$255,000	29 Jan. 1997	31 Jan. 1997		Trinity Church, Port Credit	Nada Ivanovski	Lot 16 south side of Park Street

Credit: MW Hall Corporation Heritage Impact Assessment

Heritage Impact Assessment
21 Park Street East, Port Credit & Adjacency Impact on Cenotaph Park

17005

A.2 Registry Office Abstract Index, Lot #16, East Credit River PC-2

DATE PLAN REGISTERED.....
OWNERS..... Crown Survey
LOTS SUBDIVIDED..... Town Plot

Abstract Index
Répertoire par lot

Lot 16
East of Credit River

PC-2
PARK--South Side

Page 1

Instrument Number	Instrument Type	Day Mon Yr	Parties from	Parties to	Consideration	Land Remarks
1786/70 PS	Type of Act	Day Mon Yr	Parties from	Parties to	Consideration	Land Remarks
13861	D. Pol	17 Nov 1865	Frederick W. Jarvis	Bank of Upper Canada		A11 & O.L.
340	B. & S.	8 Sep 1869	The Bank of U. Canada	John Crickmore	\$7000.00	A11 & O.L.
351	B. & S.	20 Sep 1869	John Crickmore et ux	Wm. B. Hunter	25000.00	A11 & O.L.
352	B. & S.	20 Sep 1869	Wm. B. Hunter et ux	The Peel Gen. Mfg. Co.	14000 shares, A11 & O.L.	
1996	Mortgage	23 Sep 1876	Peel General Mfg. Co.	S.S. Lee et al	20000.00	A11 & O.L.
2158	Ass't of Mort	4 Apr 1877	S.S. Lee et al	Canada Life Assurance Co.	5.00 & C	A11 & O.L.
5677	Release	14 May 1886	Canada Life Assurance Co.	Peel General Mfg. Co.	6000.00	A11 & O.L.
11339	Q.C.	23 Dec 1903	Charles G. Hamilton (unmarried)	Fred J. Hamilton	1.00 & C	A11 & O.L.
16796	Mortgage	27 Nov 1914	Rev Henry Earle et al	Jane Kane	2500.00	A11
16797	B. & S.	27 Nov 1914	Fred J. Hamilton et ux	Rev. Henry Earle et al	1.00 & C	A11
16806	Q.C.	7 Dec 1914	Peel General Mfg. Co.	Fred J. Hamilton	1.00	A11
513107	D.N.	1 May 1979	The Sterling Trust Corporation	The Incumbent and Church Warden of Trinity Church, Port Credit	Discharging no. 3019 A11 & O.L.	
401134242	Transfer	97 01 31	TRINITY CHURCH, PORT CREDIT by its trustees	IVANOVSKI, Nada	255,000.00	A11

NOTICE
All Documents/Instruments
submitted to
MAY 11 1997

FORM 1
I am recording in the automated Abstract
Index set out in Regulation 119 of the
REGISTRY ACT

Heritage Impact Assessment

21 Park Street East, Port Credit & Adjacency Impact on Cenotaph Park

17005

Abstract Index
Répertoire par lot

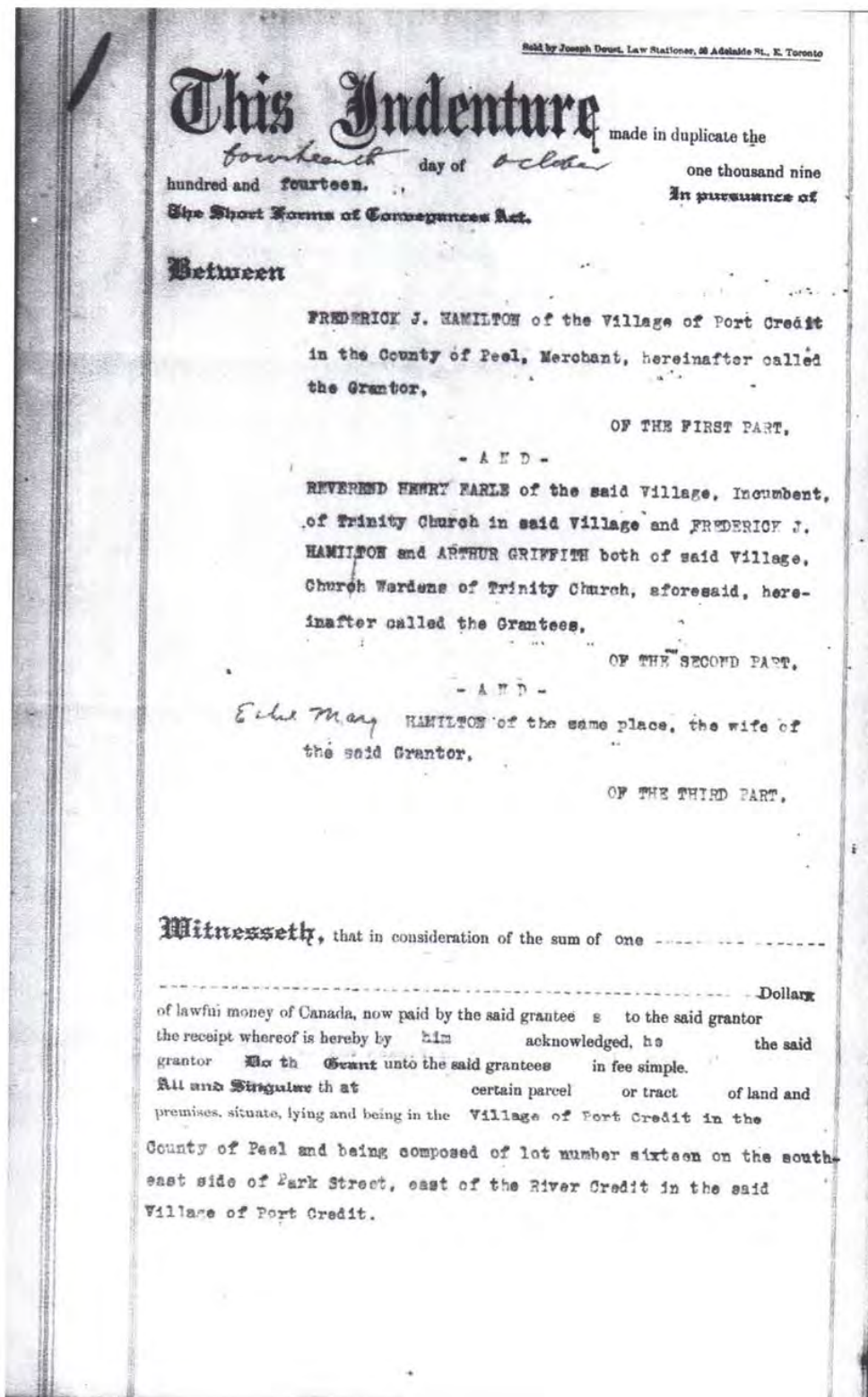
Lot 16 EAST OF CREDIT RIVER Plan/Concession PC-2 PARK--South Side Page 2

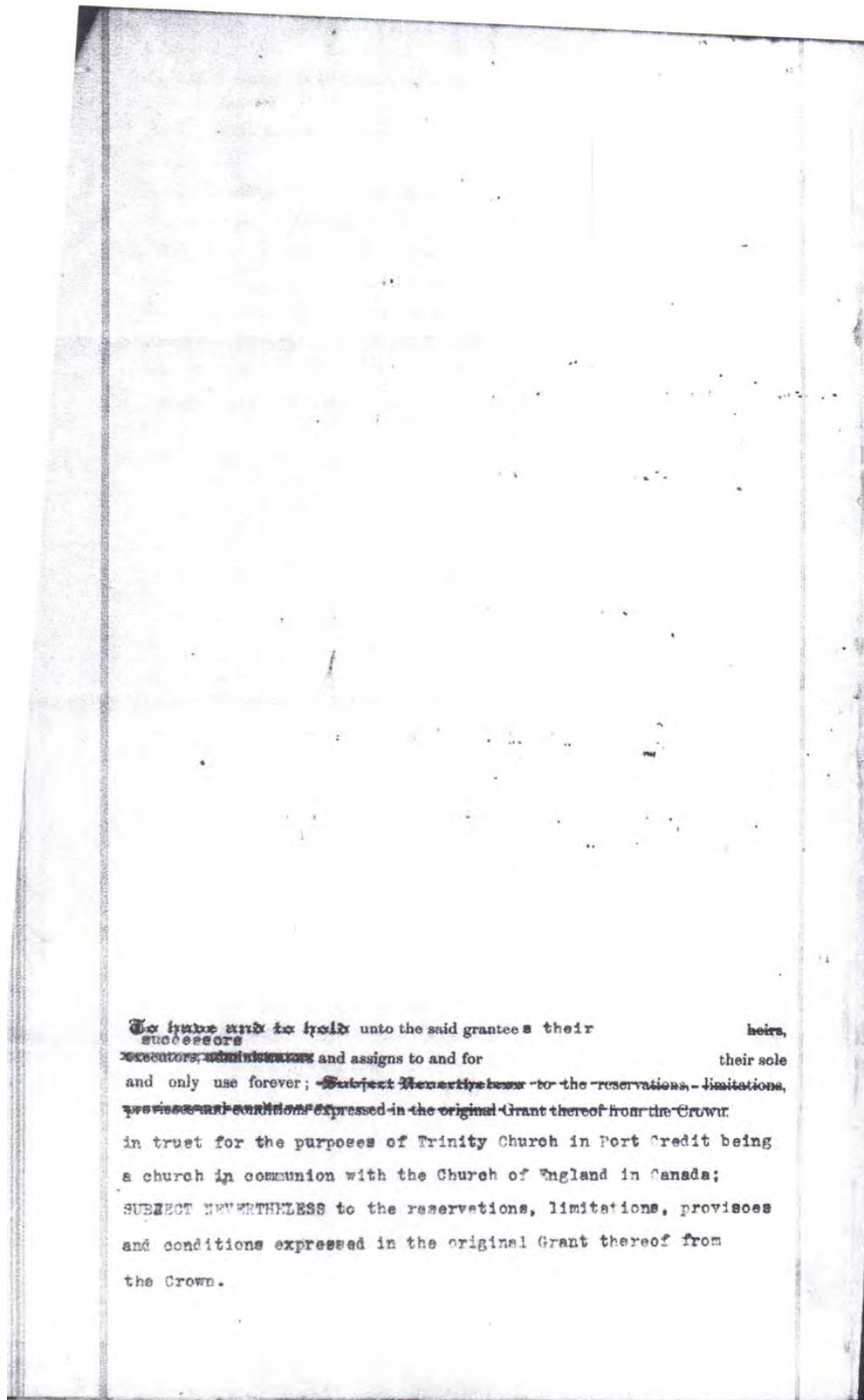
Instrument Type Type d'acte	Effective Date Date d'effet	Parties from Parties	Parties to Parties	Consideration Contrepartie	Land/Remarks Remarques/Observations
Charge	97 02 28	IVANOVSKI, Nada	CIBC Mortgages Inc.	191,250.00	A11

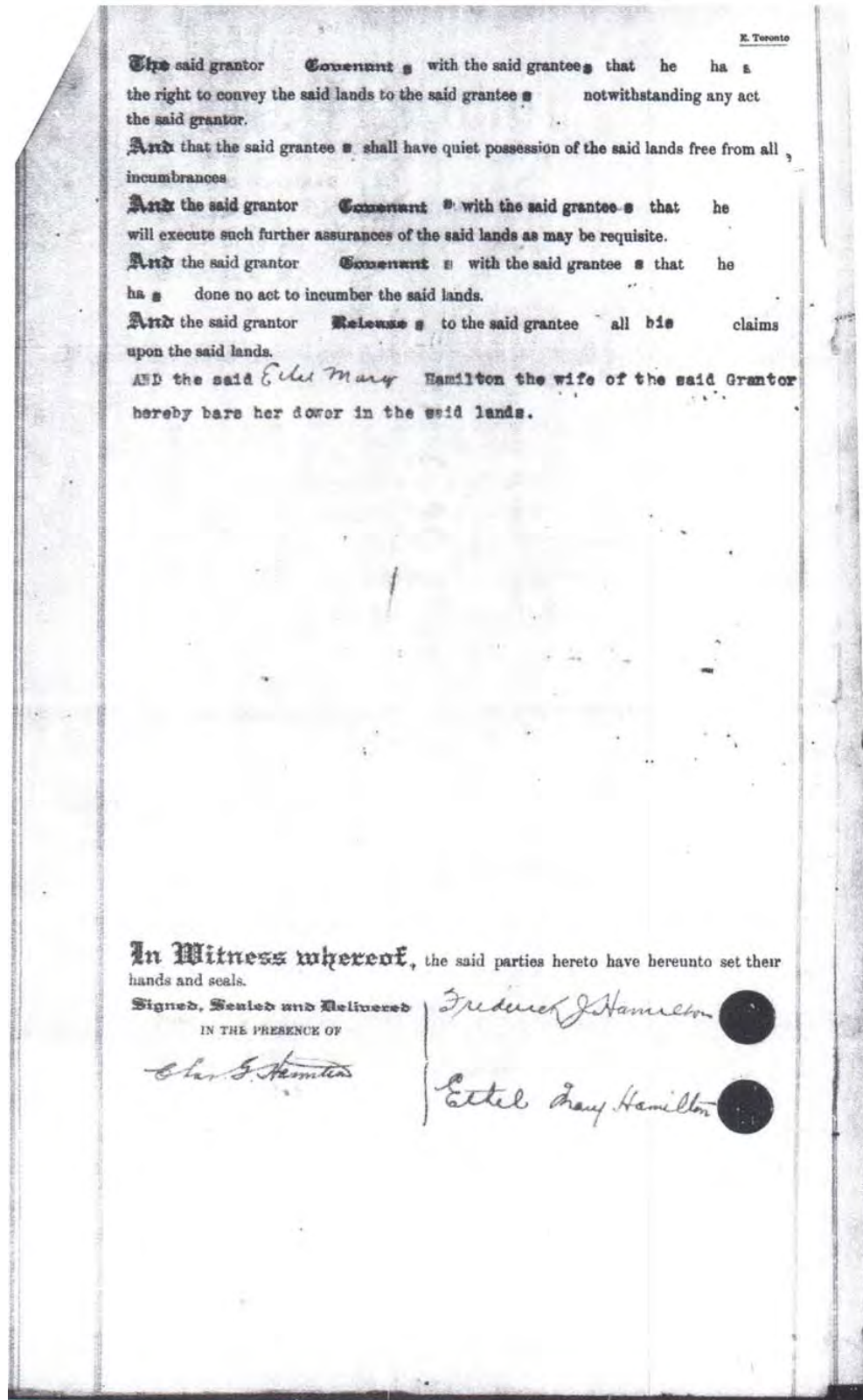
NOTICE
All Document Instruments
sont enregistrés
MAR 18 1998
date d'effet de l'acte d'abstract
index and out in subsection 21(5) of the
REGISTRY ACT

FORM 1
10/11 (08)

A.3 Quit Claim Deed, Peel General Manufacturing Co. Ltd. to F.J. Hamilton







A.4 Deed of Land, Frederick J. Hamilton to Rev. Henry Earle

County of York
To Wit: } *A. Charles G. Hamilton*
of the Village of Port Credit
in the County of Peel
Merchant
make oath and say:

1. That I was personally present and did see the within Instrument and Duplicate thereof duly signed, sealed and executed by Frederick J. Hamilton and *Ethe Mary* Hamilton two of ----- the parties thereto.
2. That the said Instrument and Duplicate were executed by the said parties at the Village of Port Credit.
3. That I know the said parties.
4. That I am a subscribing witness to the said Instrument and Duplicate.

Subscribed before me at the Village of Port Credit in the County of Peel this *14* day of *October* in the year of our Lord 191*4*

Chas G. Hamilton

A Commissioner for taking Affidavits.

Dated *1914*

FREDERICK J. HAMILTON
--TO--
Rev. HENRY EARLE
et al.

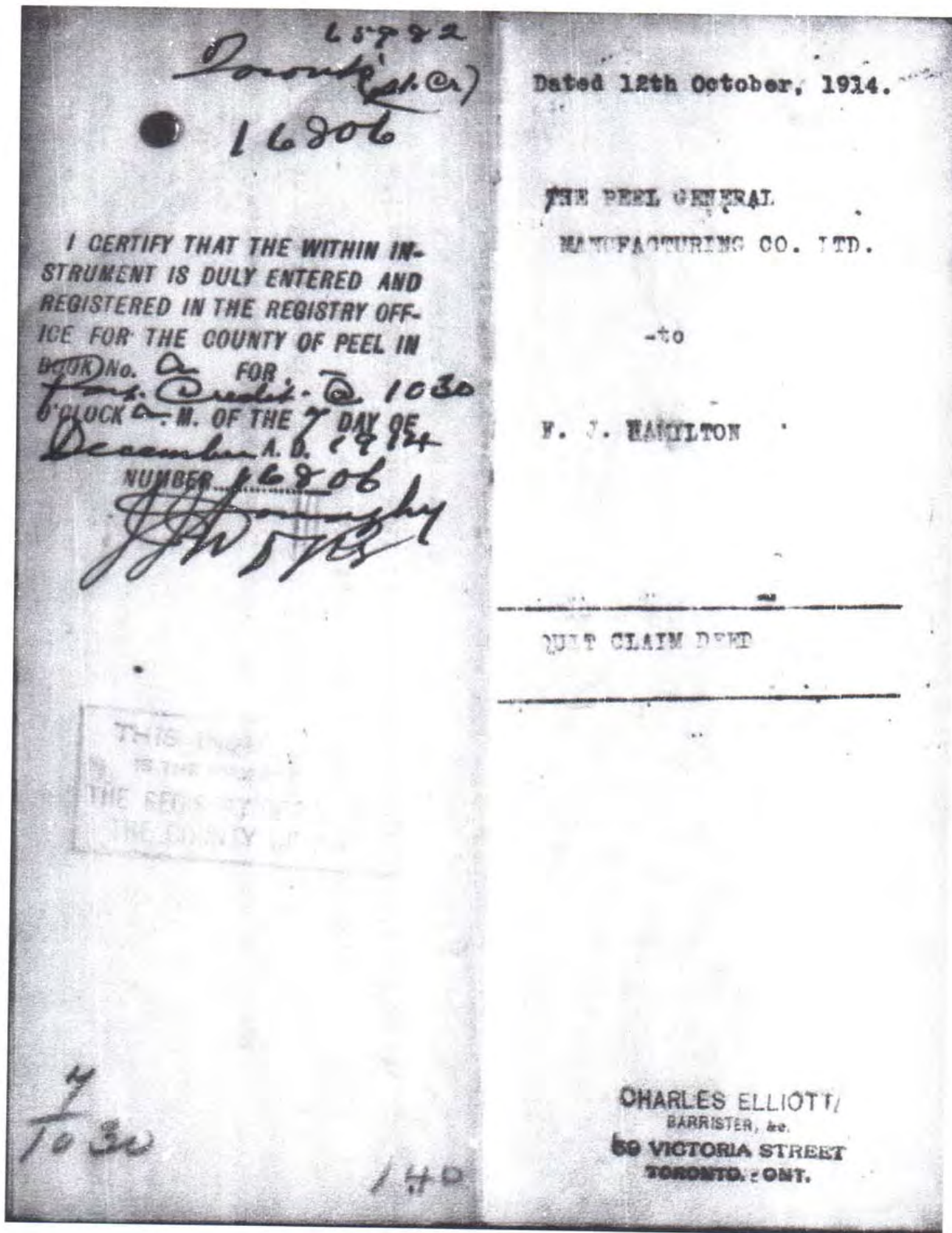
Deed of Land
SITUATE
Village of Port Credit.

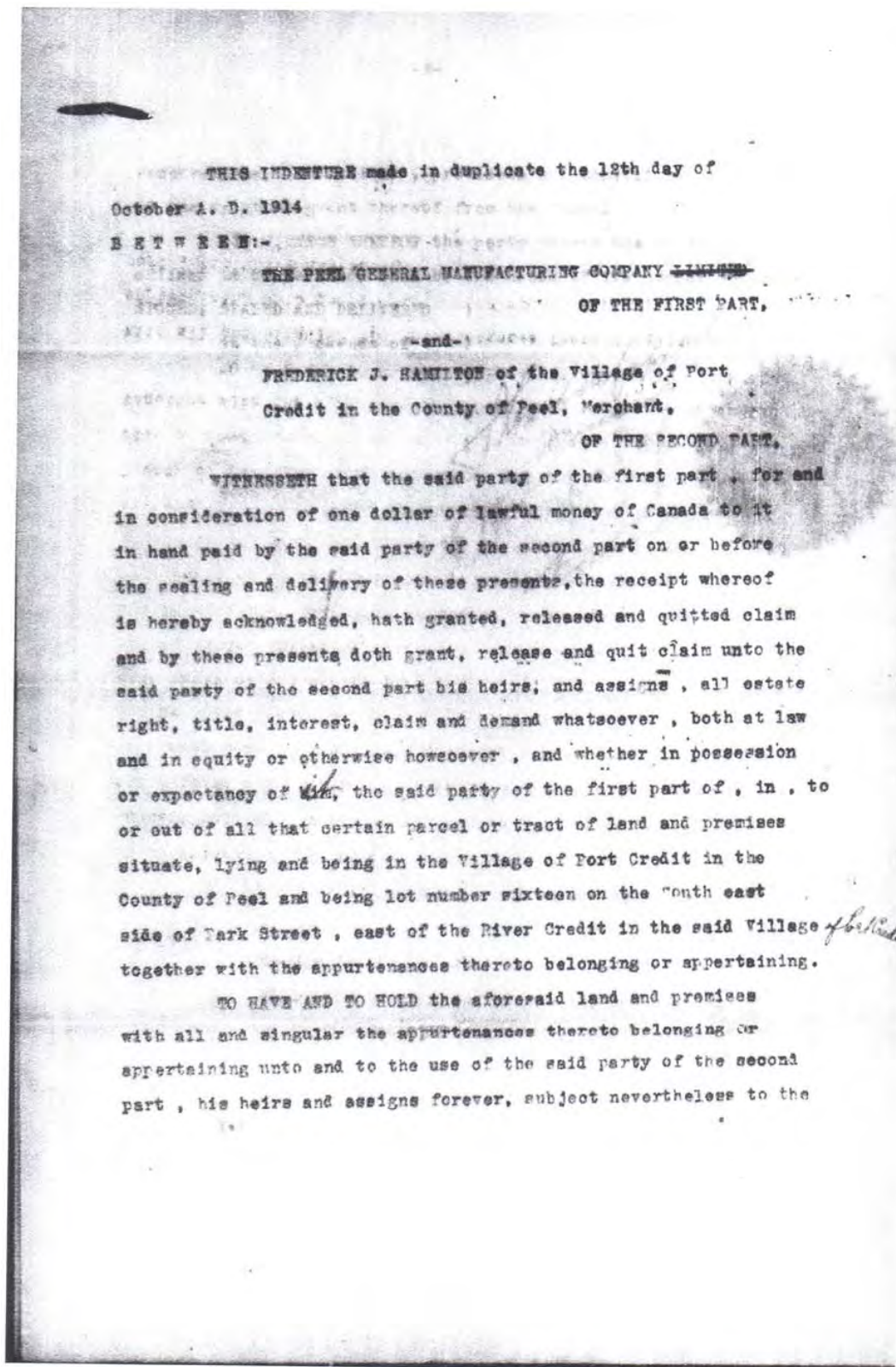
Sold by Joseph Deane, Law Notary, at Adelaide St. E. Toronto

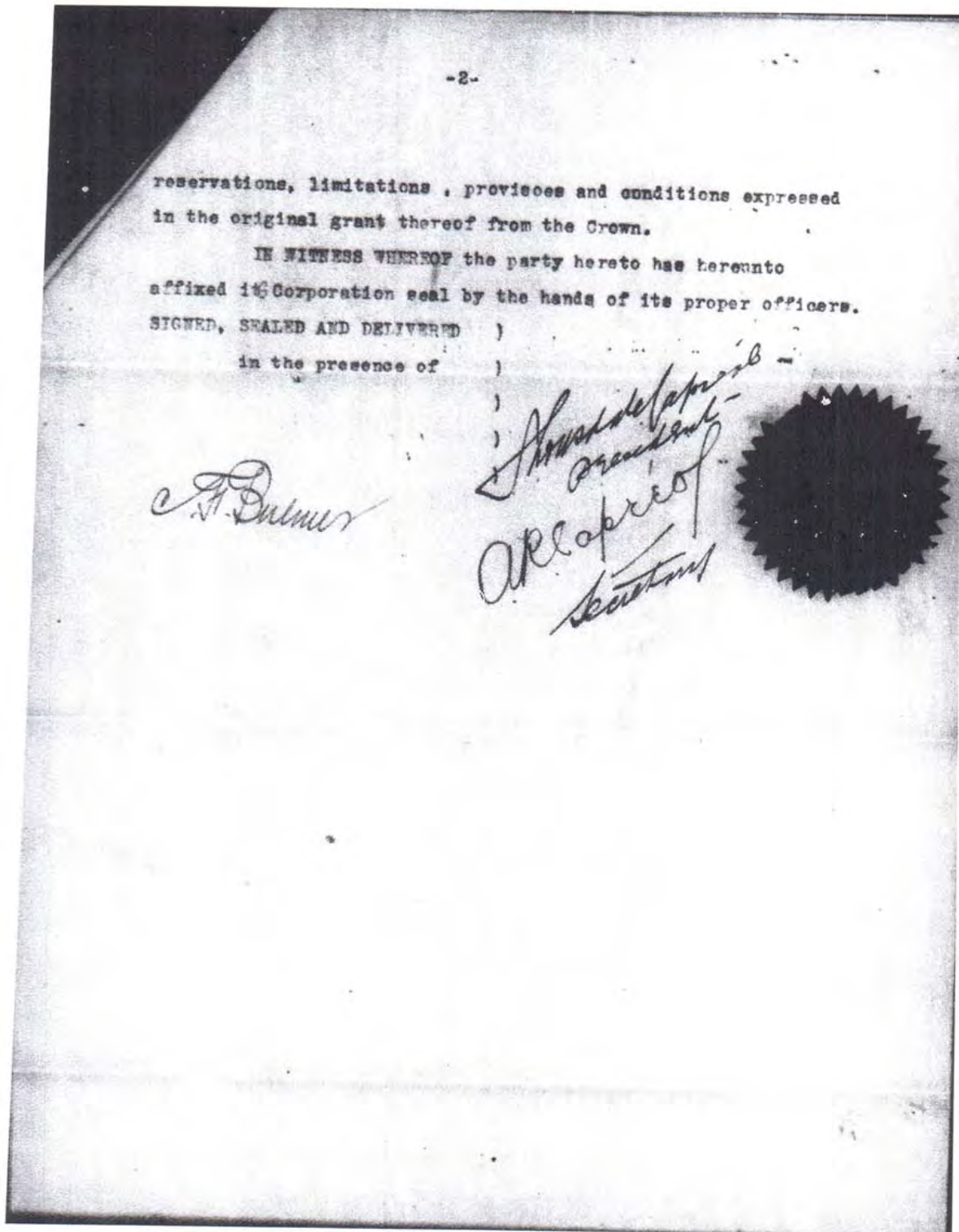
I CERTIFY THAT THE WITHIN INSTRUMENT IS DULY ENTERED AND REGISTERED IN THE REGISTRY OFFICE FOR THE COUNTY OF PEEL IN BOOK No. *Q. 10* FOR *10.10* O'CLOCK P.M. OF THE 7 DAY OF November A.D. 1914
NUMBER *14797*
J. W. [Signature]

Deane (J. W.)
16287

140







Appendix B: Drawings of 21 Park Street East

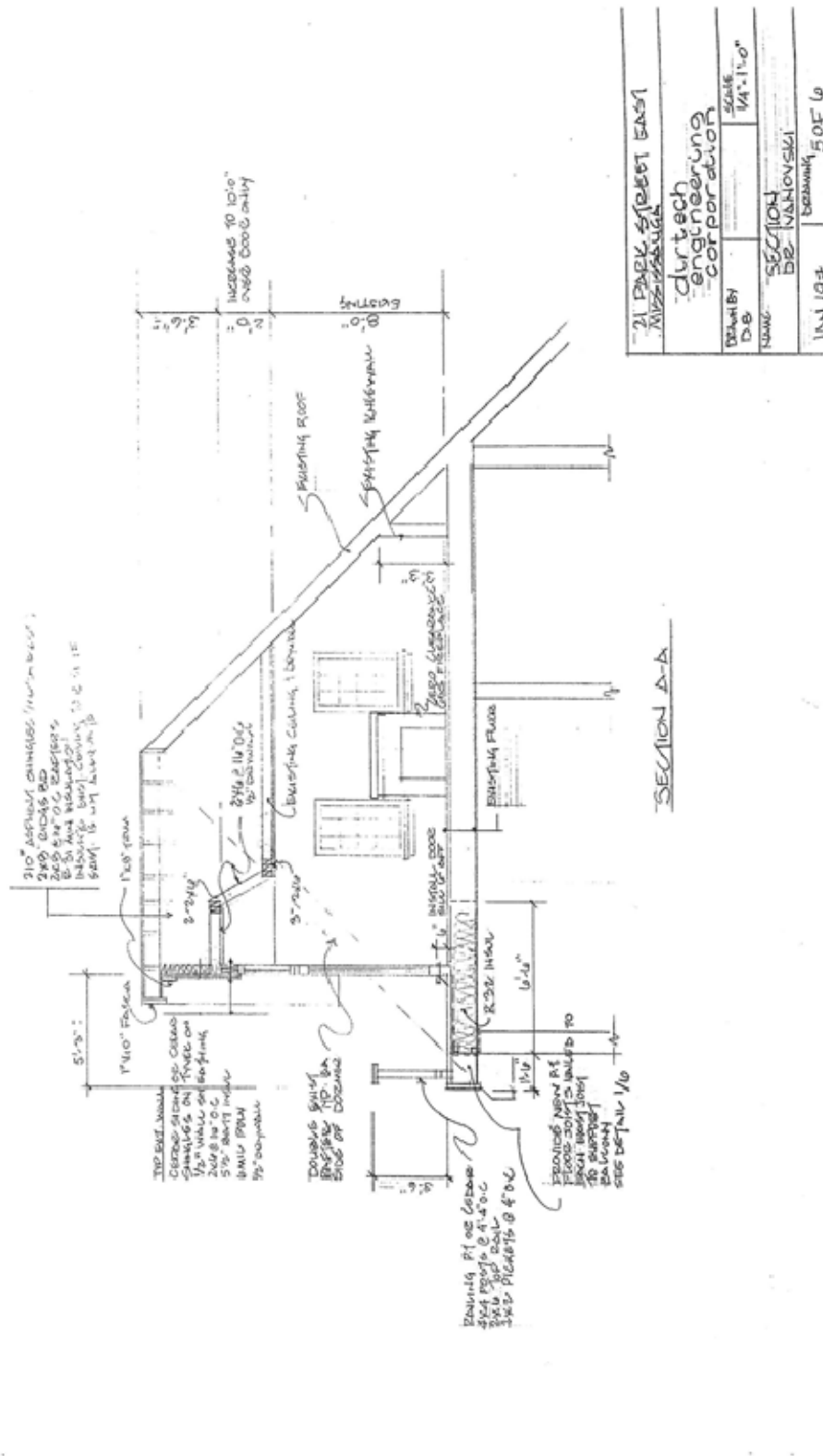
**B.1 – Dirtech Engineering Corporation Interior Renovation
Drawings 21 Park St. East (1996)**

B.2 – As-Found Drawings, Planit Measuring (2017)

B.3 – As-found Photographs, MW Hall Corporation, 2016

B.1 Dirtech Engineering Corporation Ltd. Interior Renovation Drawings, 21 Park St. E (1996)



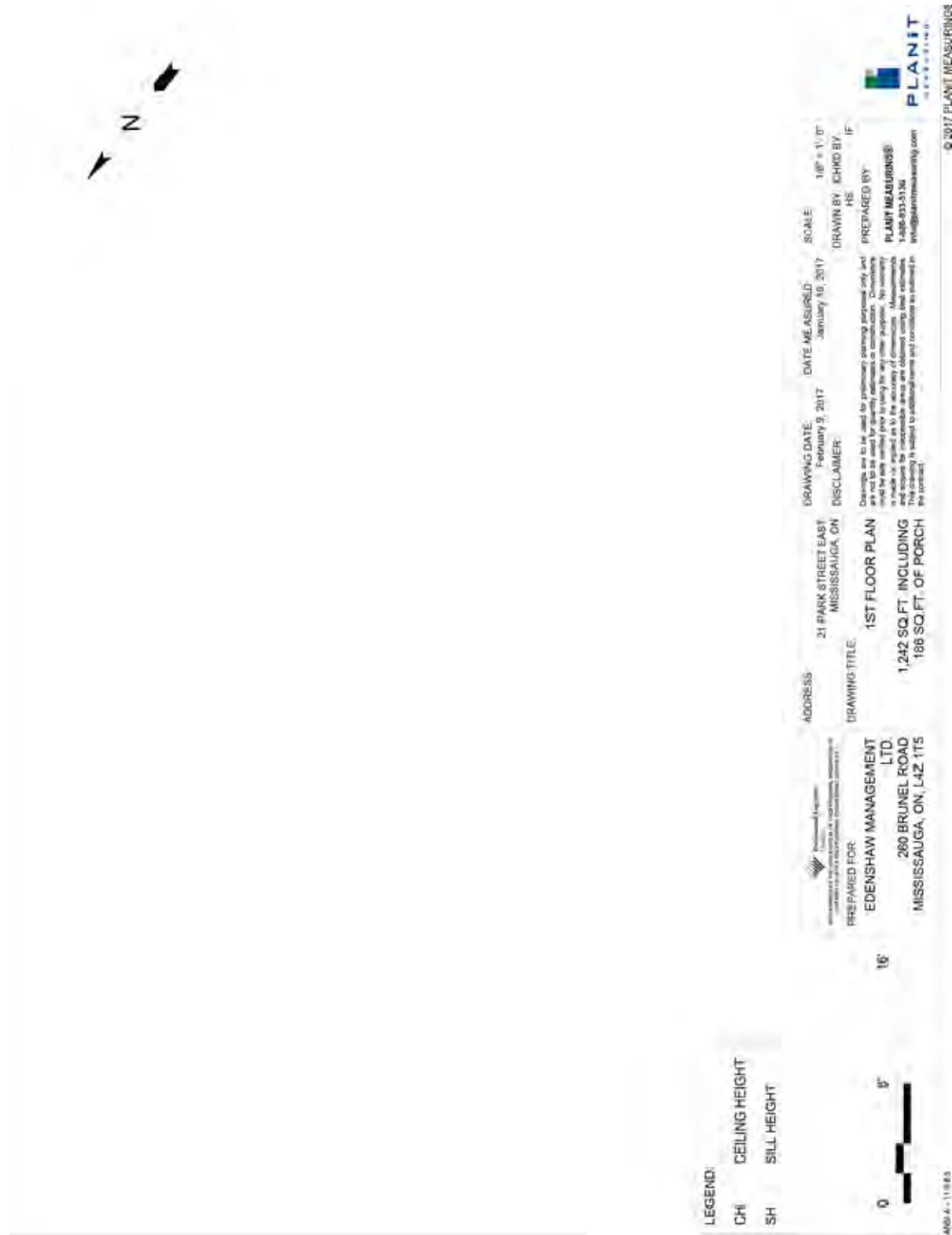




Heritage Impact Assessment
21 Park Street East, Port Credit & Adjacency Impact on Cenotaph Park

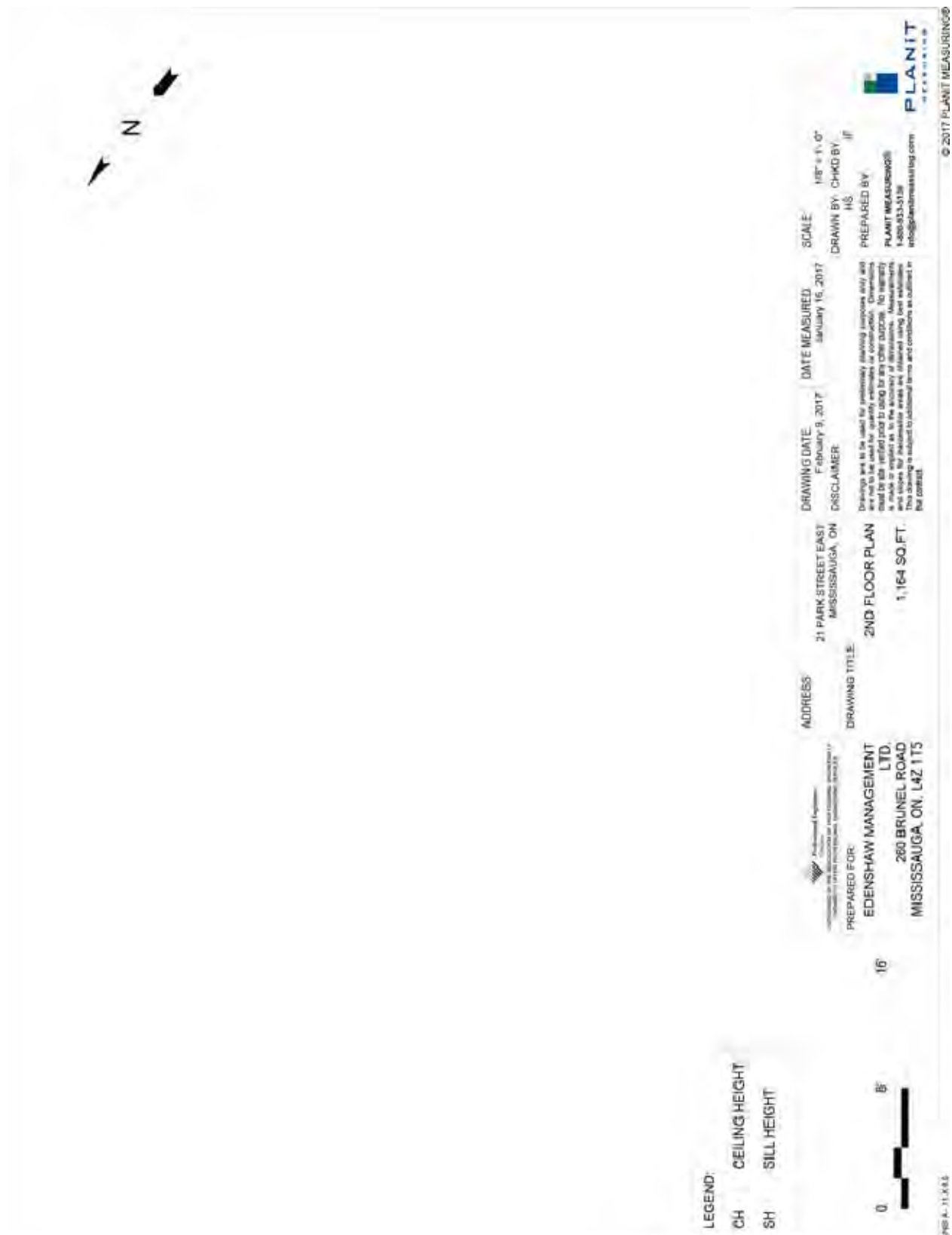
17005

B.2 As-found Drawings, 21 Park Street East by Planit Measuring (2017)



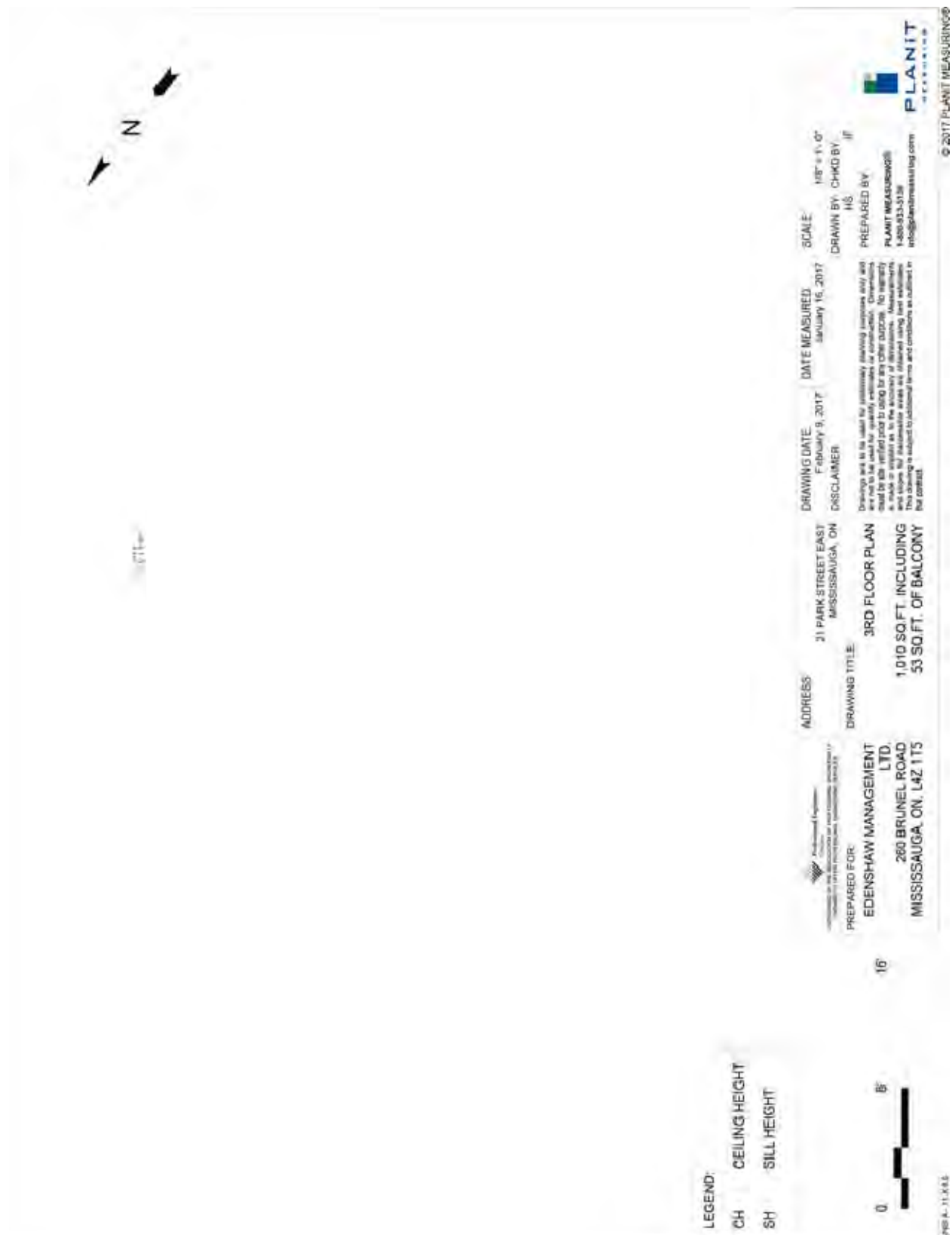
Heritage Impact Assessment
21 Park Street East, Port Credit & Adjacency Impact on Cenotaph Park

17005



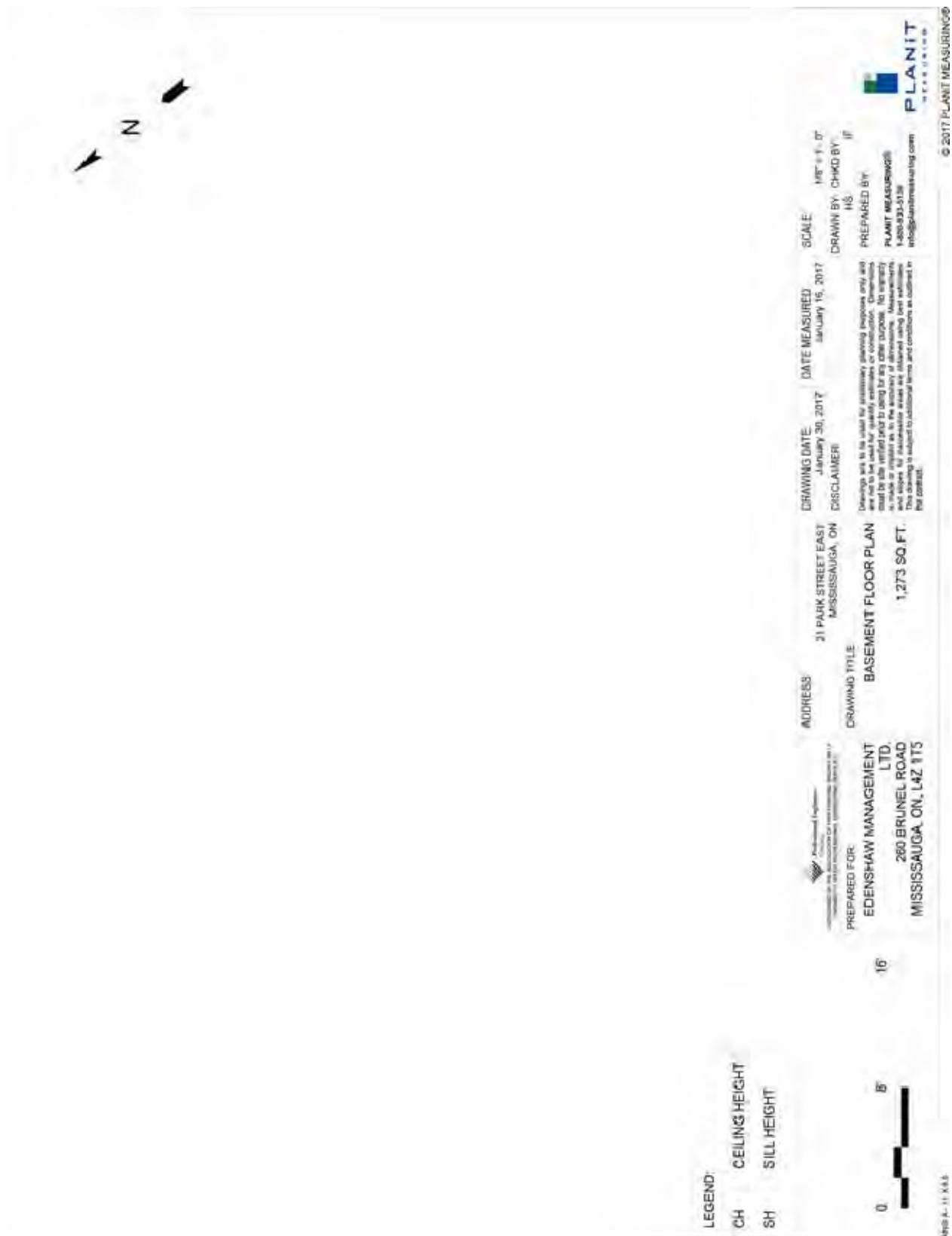
Heritage Impact Assessment
21 Park Street East, Port Credit & Adjacency Impact on Cenotaph Park

17005

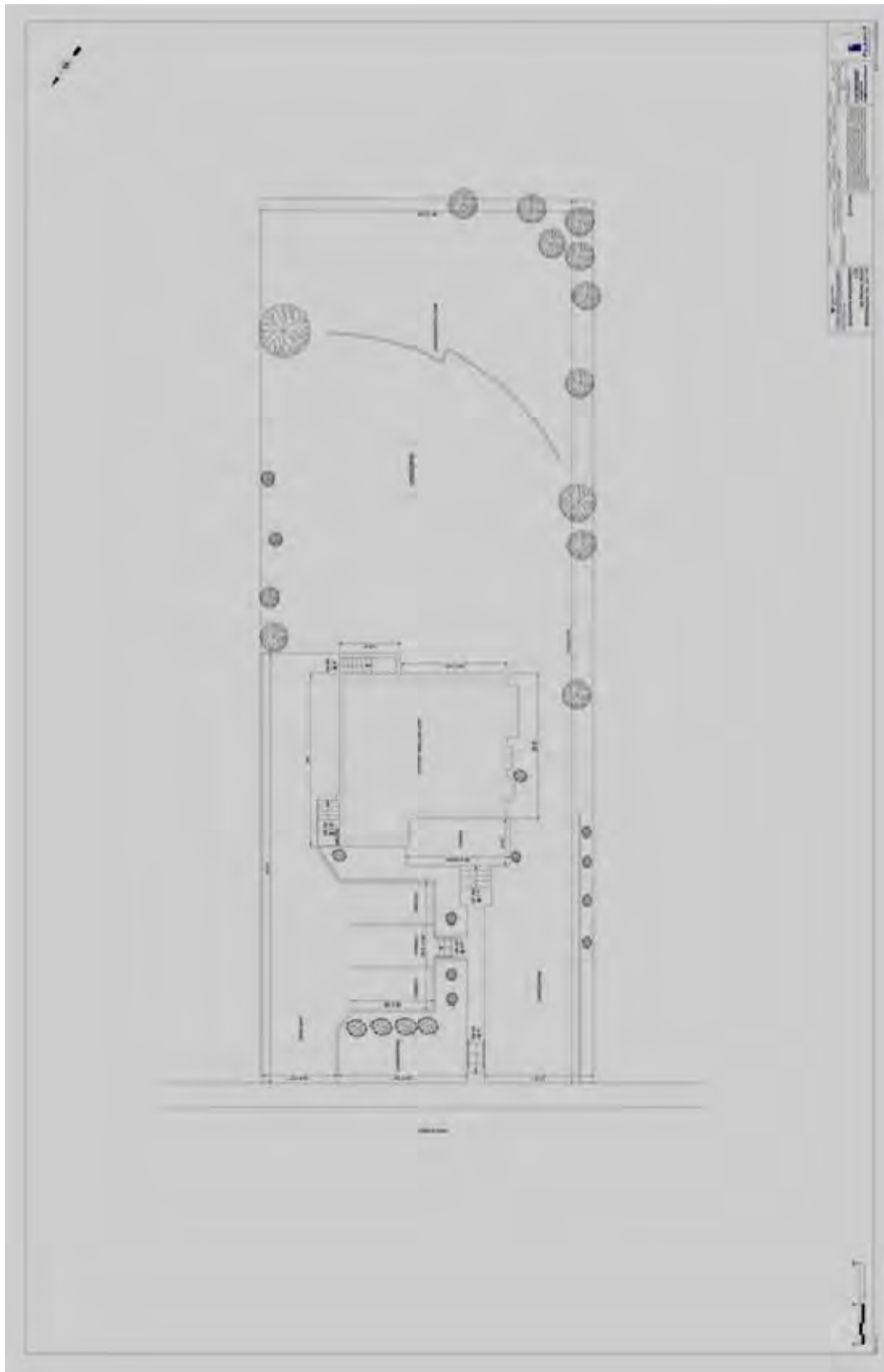


Heritage Impact Assessment
21 Park Street East, Port Credit & Adjacency Impact on Cenotaph Park

17005







B.3 As-found Photographs, MW Hall Corporation, 2016



21 Park Street East: Top Floor, Kitchen and Living Areas

21 Park Street East
2nd Floor, Bedrooms

Appendix 11-G
21 Park Street East
Bedrooms

21 Park Street East
Main Floor, Dentist Offices

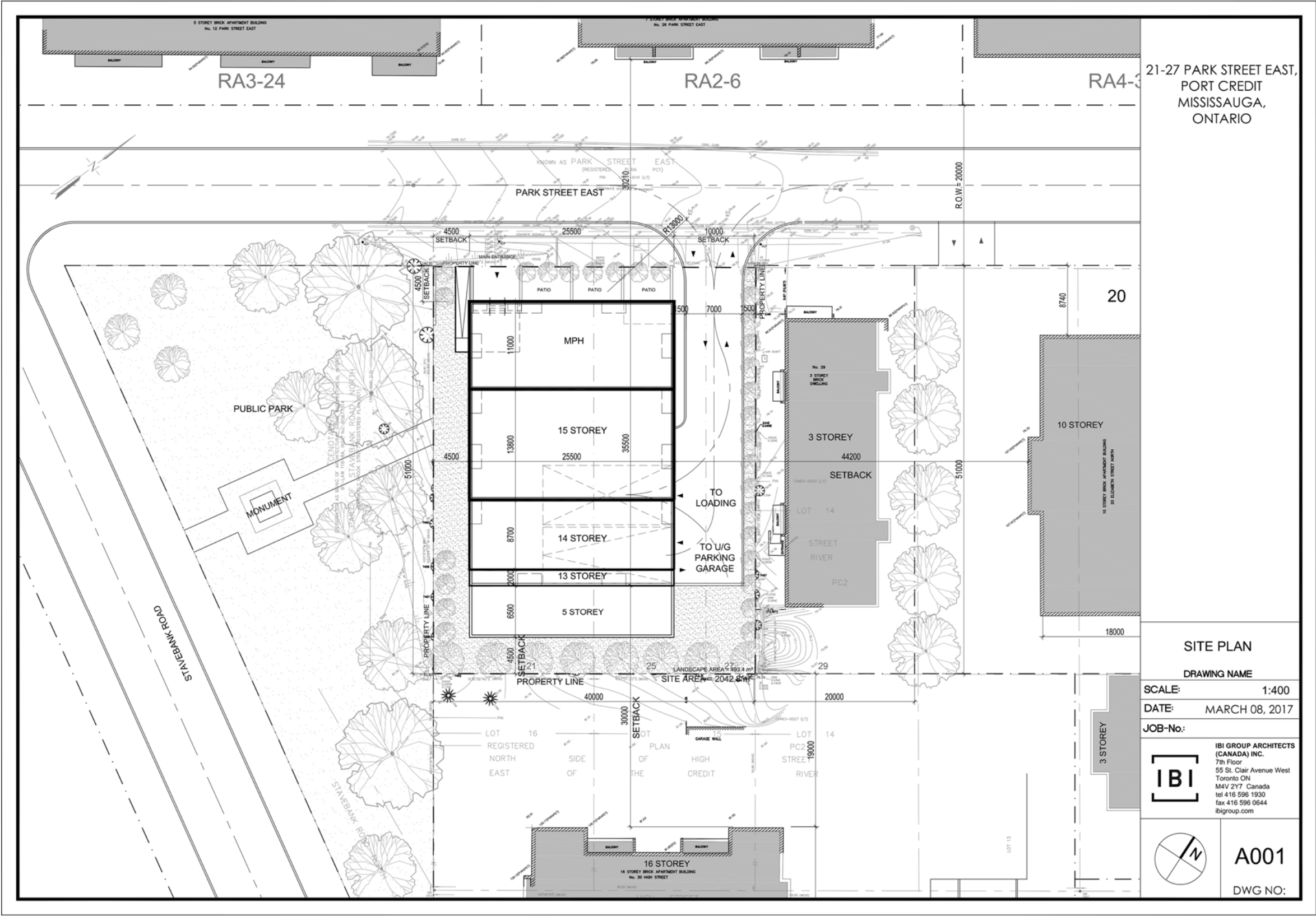
Appendix 11-H
21 Park Street East
Dentist Offices

21 Park Street East
Basement Photos
Before Sewer Damage Repairs

Appendix 11-I
21 Park Street East
Basement Photos

Appendix C: Redevelopment Architectural Drawings

By IBI Group



Heritage Impact Assessment

21 Park Street East, Port Credit & Adjacency Impact on Cenotaph Park

17005



East Elevation



West Elevation – Stavebank Road

Heritage Impact Assessment

21 Park Street East, Port Credit & Adjacency Impact on Cenotaph Park

17005



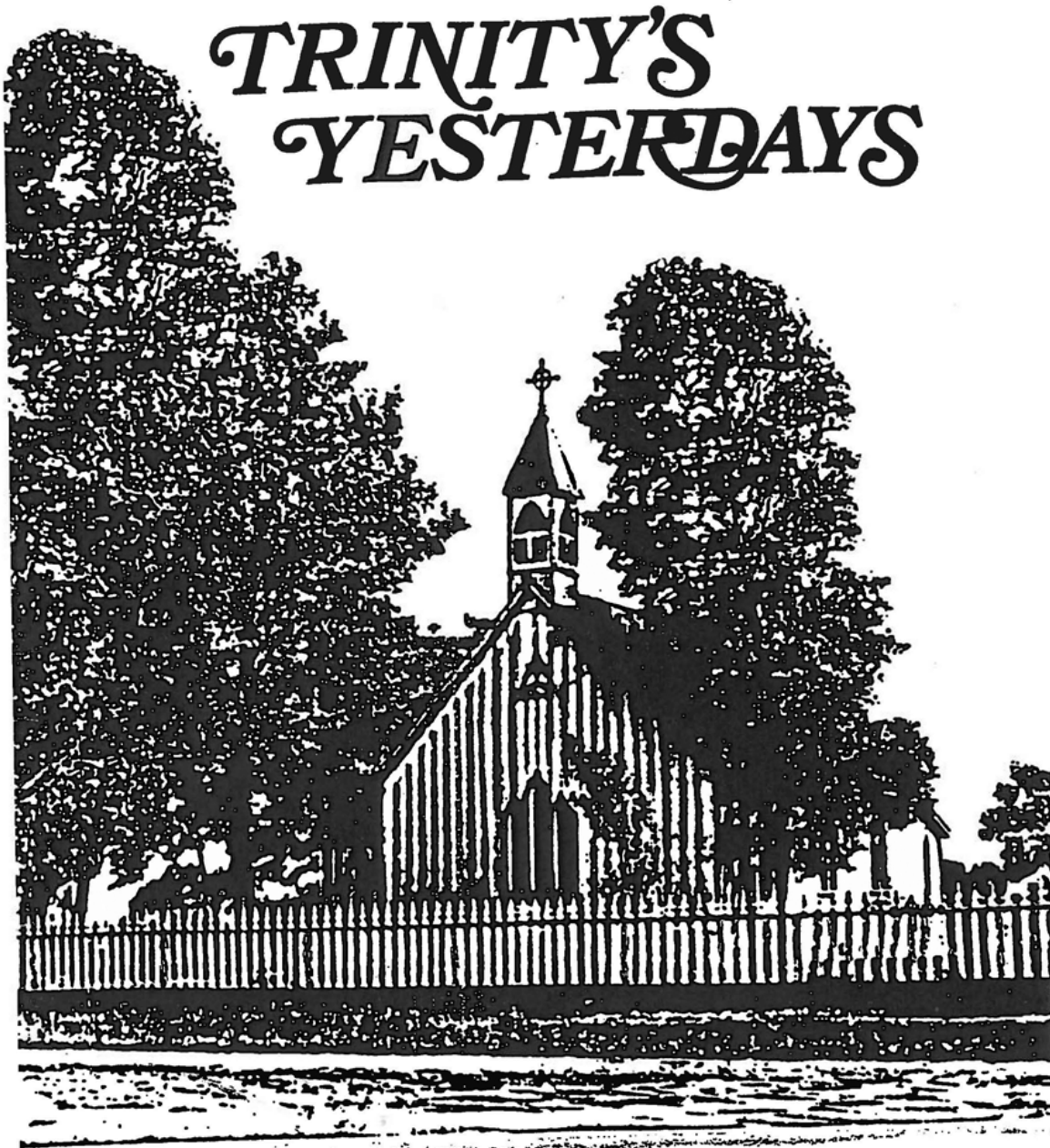
North Elevation – Park Street East



South Elevation

Appendix D: Excerpt from “Trinity’s Yesterday”

Published 1922 by Trinity Anglican Church



250 PAR

TRINITY'S
YESTERDAYS



THE RECTORY

TRINITY'S
YESTERDAYS

THE RECTORY

Trinity Church owes a great deal to The Rev. Henry Earle. The energy and vision of our first full-time Rector led Trinity to its major growth and prosperity. And it was for The Rev. Henry Earle, his wife and four children, that the Rectory across the way at 21 Park Street was built in 1914. In all, nine parish priests and their families have called the house - home.

Anyone who has visited the rectory in the last ten years will remember the bright and airy rooms, especially the livingroom with large windows on two sides facing the garden and the park, and the fireplace in the corner that produced spectacular fires during the winter. Prior to 1979, some incumbents had many complaints especially regarding the heating, the roof and peeling paint, indicating that the church may not have been the best landlord! We see in the Vestry Record of 1914 that the house was erected fairly quickly but that the Wardens were slow to have it decorated. Something in the church like a burst boiler often took priority over rectory repairs.

The old furnace was well remembered by some. A few years ago, the daughter of The Rev. Bernard Buley, while on holiday, dropped by the Rectory. She was delighted to see the same old furnace still working though now on gas instead of oil, whereas, just a few years earlier, Fr. Harper had expressed much concern about the same furnace's capabilities. On one occasion the furnace played a heroic role. In the early 1950's, Trinity had an extremely active A.Y.P.A. which regularly attended early communion services followed by breakfast, often at the Rectory. It is reported that on one occasion, the power went off and Mrs. Langstone was discovered cooking breakfast holding the pan over the coals in the furnace. Even after 1979, the upstairs plumbing never, in spite of numerous repair and plastering jobs, ceased to leak through the diningroom ceiling.

In 1988, the present Rector, The Rev. Bill Warnica and his wife Cathie decided they would eventually like to retire in Port Credit and totally undaunted, bought an even older house on Forest Avenue and moved there in December of that year. Since then the wardens of Trinity have arranged for the rental of the old rectory and have no plans to sell the property. Some future incumbent and his or her family may come into a home with a leaky diningroom ceiling.

Appendix E: Heritage Status

E.1 - 21 Park Street East Heritage Listing

E.2 - Port Credit War Memorial (Cenotaph) By-law 118-84

E.1 21 Park Street East Heritage Listing

11/28/2016

Mississauga: Printer Friendly

Property Information

Mississauga's heritage, which extends over 10,000 years, includes archaeological resources, numerous residential, commercial and industrial buildings, views, vistas, ridge lines, scenic routes and a variety of natural heritage properties.

To view details about the inventory item, please click on the INV# link.

Property Details

Zoning Information

Building Permits

Development Applications

Committee of Adjustment

Heritage

Map It

[View Another Property](#)

PROPERTY HERITAGE DETAILS

Please contact the Planning and Heritage office at 905 - 896-5382 for further information

Address: 21 PARK ST E
Legal Description: PLAN 300-E.L 16
Roll Number: 21 05 090 005 01700 0000

[Print Friendly Page](#)

Heritage Status

Status: LISTED ON THE HERITAGE REGISTER BUT NOT DESIGNATED

Conservation District:
Bylaw:
Bylaw Date:

Inventory Item

INV #	Property Name	Constructed	Decade	Demolished	Year Demolished
<u>200</u>	TRINITY ANGLICAN CHURCH RECTORY		1920	N	

Designation Statement

Designation Statement not available

E.2 Port Credit War Memorial (Cenotaph) Designation By-law 118-84BY-LAW NUMBER 118-84

To designate the "Port Credit War Memorial (Cenotaph)" located on the east side of Stavebank Road North, Mississauga, as being of architectural value and of historical interest.

WHEREAS The Ontario Heritage Act, R.S.O. 1980, Chapter 337, authorizes the Council of a municipality to enact by-laws to designate real property including all the buildings and structures thereon, to be of historic or architectural value or interest; and

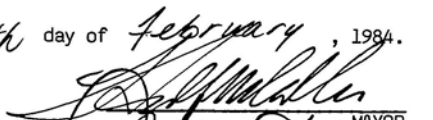
WHEREAS notice of intention to so designate the "Port Credit War Memorial (Cenotaph)" located on the east side of Stavebank Road North having been duly published and served and no notice of objection to such designation having been received by the Council of the Corporation of the City of Mississauga.

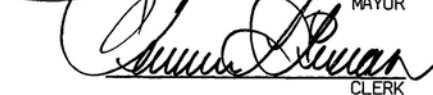
WHEREAS the reasons for the said designation are set out as Schedule 'A' hereto;

THEREFORE the Council of The Corporation of the City of Mississauga enacts as follows:

1. That the property, known as the "Port Credit War Memorial (Cenotaph)" located on the east side of Stavebank Road North, be designated as being of architectural value and historical interest.
2. That the City Clerk is hereby authorized to cause a copy of this by-law to be served upon the owner of the aforesaid property and upon the Ontario Heritage Foundation and to cause notice of this by-law to be published in a newspaper having general circulation in the City of Mississauga.

ENACTED AND PASSED this 27th day of February, 1984.


MAYOR


CLERK



SCHEDULE 'A' TO BY-LAW NO. *118-84*

SHORT STATEMENT OF THE REASONS FOR
THE PROPOSED DESIGNATION

The Port Credit War Memorial or Cenotaph is listed on the Mississauga Heritage Inventory and recommended for designation for its historical and contextual importance. The Cenotaph was built in 1925 by merchants and citizens of the Town of Port Credit in honour of their fathers and sons who fell in battle in World War I. Their names are inscribed in lead lettering, together with battles fought.

Twenty-one years later in 1946, the townspeople added further names and battles of the local casualties of World War II and in 1983 those of the Korean War. The Port Credit Cenotaph is located in the former Town of Port Credit on the east side of Stavebank Road North, north of Lakeshore Road in a park like setting.

SCHEDULE "B" TO BY-LAW NO. 118-84

Description: Part of Stavebank Road, Plan PC-2

ALL AND SINGULAR, that certain parcel or tract of land and premises situate, lying and being in the City of Mississauga, Regional Municipality of Peel, (formerly in the Town of Port Credit, County of Peel), and being composed of part of Brook Street, (changed to Stavebank Road by Port Credit By-law 494), according to a plan of the extension of the Town Plot of Port Credit dated May 1852, lying East of the Credit River and referred to in the Land Registry Office for the Registry Division of Peel (No. 43) as PC-2 and which said Parcel may be described as follows:


PREMISING that the Southeasterly limit of Park Street, East of the Credit River, has a bearing of North 38 degrees 00 minutes East and relating all bearings herein thereto;

COMMENCING at the most Westerly angle of Lot 16, South of Park Street, East of Brook Street, Plan PC-2 aforesaid;

THENCE South 52 degrees 00 minutes East along the Northeasterly limit of Brook Street, 333 feet more or less to the most Southerly angle of Lot 16, North of High Street, plan PC-2 aforesaid;

THENCE North 75 degrees 40 minutes 30 seconds West, 364 feet more or less to a point in the Southeasterly limit of Park Street;

THENCE North 38 degrees 00 minutes East along the last mentioned limit, 146 feet more or less to the point of commencement.


John Wintle,
Ontario Land Surveyor.

BY-LAW NUMBER 118-84

To designate the "Port Credit War Memorial (Cenotaph)" located on the east side of Stavebank Road North, Mississauga, as being of architectural value and of historical interest.

WHEREAS The Ontario Heritage Act, R.S.O. 1980, Chapter 337, authorizes the Council of a municipality to enact by-laws to designate real property including all the buildings and structures thereon, to be of historic or architectural value or interest; and


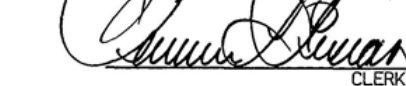
WHEREAS notice of intention to so designate the "Port Credit War Memorial (Cenotaph)" located on the east side of Stavebank Road North having been duly published and served and no notice of objection to such designation having been received by the Council of the Corporation of the City of Mississauga.

WHEREAS the reasons for the said designation are set out as Schedule 'A' hereto;

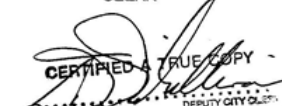
THEREFORE the Council of The Corporation of the City of Mississauga enacts as follows:

1. That the property, known as the "Port Credit War Memorial (Cenotaph)" located on the east side of Stavebank Road North, be designated as being of architectural value and historical interest.
2. That the City Clerk is hereby authorized to cause a copy of this by-law to be served upon the owner of the aforesaid property and upon the Ontario Heritage Foundation and to cause notice of this by-law to be published in a newspaper having general circulation in the City of Mississauga.

ENACTED AND PASSED this 27th day of February, 1984.


MAYOR

CLERK




CERTIFIED TRUE COPY
DEPUTY CITY CLERK
CITY OF MISSISSAUGA

SCHEDULE 'A' TO BY-LAW NO. 118-84

SHORT STATEMENT OF THE REASONS FOR
THE PROPOSED DESIGNATION

The Port Credit War Memorial or Cenotaph is listed on the Mississauga Heritage Inventory and recommended for designation for its historical and contextual importance. The Cenotaph was built in 1925 by merchants and citizens of the Town of Port Credit in honour of their fathers and sons who fell in battle in World War I. Their names are inscribed in lead lettering, together with battles fought.

Twenty-one years later in 1946, the townspeople added further names and battles of the local casualties of World War II and in 1983 those of the Korean War. The Port Credit Cenotaph is located in the former Town of Port Credit on the east side of Stavebank Road North, north of Lakeshore Road in a park like setting.

SCHEDULE "B" TO BY-LAW NO. 118-84

Description: Part of Stavebank Road, Plan PC-2

ALL AND SINGULAR, that certain parcel or tract of land and premises situate, lying and being in the City of Mississauga, Regional Municipality of Peel, (formerly in the Town of Port Credit, County of Peel), and being composed of part of Brook Street, (changed to Stavebank Road by Port Credit By-law 494), according to a plan of the extension of the Town Plot of Port Credit dated May 1852, lying East of the Credit River and referred to in the Land Registry Office for the Registry Division of Peel (No. 43) as PC-2 and which said Parcel may be described as follows:


PREMISING that the Southeasterly limit of Park Street, East of the Credit River, has a bearing of North 38 degrees 00 minutes East and relating all bearings herein thereto;

COMMENCING at the most Westerly angle of Lot 16, South of Park Street, East of Brook Street, Plan PC-2 aforesaid;

THENCE South 52 degrees 00 minutes East along the Northeasterly limit of Brook Street, 333 feet more or less to the most Southerly angle of Lot 16, North of High Street, plan PC-2 aforesaid;

THENCE North 75 degrees 40 minutes 30 seconds West, 364 feet more or less to a point in the Southeasterly limit of Park Street;

THENCE North 38 degrees 00 minutes East along the last mentioned limit, 146 feet more or less to the point of commencement.


John Wintle,
Ontario Land Surveyor.

677514

FORM 437

REGISTRY DIVISION
OF PEEL (NO. 43)
I CERTIFY THAT THIS INSTRUMENT
IS REGISTERED/DEPOSITED AS IS

Dated the 27th day of February 1984

'84 APR -9 14:17

IN THE LAND REGISTRY OFFICE AT
BRAMPTON, ONTARIO

City of Mississauga By-law Number 118-84

City of Mississauga
Legal Department
1 City Centre Drive
Mississauga, Ontario
L5B 1M2

Appendix F: Curriculum Vitae for Jane Burgess



Jane Burgess OAA, CAHP, MRAIC, APT

Jane is a founding partner of Stevens Burgess Architects Ltd (SBA), an architectural practice which specializes in heritage conservation. She has practiced within the heritage industry for over thirty years contributing to heritage policy making, advocacy and education. She has served as President of CAHP (Canadian Association of Heritage Professionals), Vice Chair of the Toronto Preservation Board and Vice President of the OAA. She has received many awards for her work in conservation and lectures widely on the subject. Jane is the senior partner-in-charge of heritage projects and has either provided oversight to or has been the conservation architect for all the projects listed below.

EDUCATION	Bachelor of Architecture, 1974, University of Toronto
TEACHING	University of Waterloo, School of Architecture, 5 th yr Program, 1979 University of Waterloo, School of Architecture, Visiting Critic, 1978-79 Ryerson Polytechnic Institute, Studio Instructor, 1988, 1989
PROFESSIONAL EXPERIENCE	1984 to date Stevens Burgess Architects Ltd., Toronto 1976 to 1984 Jane Burgess Architect, Toronto
PROFESSIONAL ASSOCIATIONS	Royal Architectural Institute of Canada, MRAIC Ontario Association of Architects, OAA Canadian Assoc. of Heritage Professionals, CAHP Association of Preservation Technologists, APT

SELECTED HERITAGE PROJECTS: (+ indicates award winning)

Isaac Gould House, 62 Mill Street, Uxbridge, ON

- HIA Peer Review and Assessment of Designated Property conforming with Reg. 9/06 of Heritage Act
- OMB Expert Witness

Swift River Energy, Moon River Falls Burgess Island and Portage Landing Heritage Site, Bala ON

- Heritage Consultant – OMB-Witness Statement Heritage Conservation District Amendment
- Portage Landing – Park Rehabilitation Plan in Compliance with Township HIA.

Wesley Mimico United Church, Toronto, ON

- Heritage Condition Assessment and Conservation Plan and Adaptive Reuse as Life Lease Seniors Residence

Redemptorists of Toronto and Edmonton - 131 McCaul St Monastery, Toronto (Designated)

- Study to determine feasibility of conversion to self-contained residential suites.
- Conservation of the building envelope, interior retrofit and accessibility improvements.

Infrastructure Ontario – Huronia & Barrie Jail (Provincial Heritage Properties of Provincial Significance)

- ABIR Pilot Project: Cultural heritage evaluation, condition assessment, and 20 year capital costing plan

SNC Lavalin – Strathmore House, 390 King St., Cobourg (Designated)

- Building envelope conservation including of removal of Kenitex non-breathable coating

Infrastructure Ontario – North Bay Normal School / Government Office Building, North Bay (Designated)

- Statement of heritage value, assessment, conservation, recommendations and implementation plan.

City of Hamilton: #18 –28 King St E., Hamilton (Listed: Draft Designation)

- Confirmation of heritage evaluation, Peer Review Condition Assessment, OMB expert witness statement.

City of Toronto – Fort York, Toronto (Museum, National Historic Site, Designated)

- Master Plan, Building Condition Assessment and Capital site and eight buildings.
- Conservation of exterior and interior plus exhibit enhancement of Officers' Mess and Brick Magazine

Town of Oakville – 3269 Dundas St. West, Oakville (*Inventoried Cultural Heritage Landscape*)

- Peer review of developer funded Heritage Evaluation cum Heritage Impact Assessment

Infrastructure Ontario - Sir James Whitney School, Belleville (*Ontario Government Heritage Inventory*)

- Heritage Conservation Plan and Capital Plan for this 96 acre site and five designated buildings.

Infrastructure Ontario - Century Manor, Hamilton Psychiatric Hospital, Hamilton (*Designated*)

- Adaptive Reuse Study to convert building use to office, museum, and half-way house.

Ontario Realty Corporation - Ontario Fire College (Scott Hall), Gravenhurst (*Ont. Gov. Heritage Inventory*)

- Master Plan for the phased conservation of building envelope and interiors and code compliance.
- + ▪ Scott Hall building envelope conservation and interior heritage structure and plaster assessment.

City of Mississauga – 1993 Mississauga Rd, (Heritage Inventory)

- Heritage Evaluation, Draft Designation, and preparation for CRB hearing.

University of Guelph - Macdonald Institute, Guelph (*Heritage Inventory*)

- Master Plan for the phased conservation of building envelope and heritage interiors spaces.
- + ▪ Reconstruction of building brick and clay tile parapets and entry portico and limestone terrace.

Town of Oakville – 3445 Dundas St. W. (Property included in Secondary Plan Built Heritage Resource Study)

- Heritage Significance Evaluation recommending designation under IV for architectural reasons.

Town of Oakville – 3269-3271 Dundas St. W. (Included in Secondary Plan Cultural Landscape Heritage Study)

- Heritage Significance Evaluations recommending partial designation as cultural landscape

Town of Oakville – 4233 Trafalgar Rd, Oakville (Included in Secondary Plan Cultural Landscape Heritage Study)

- Heritage Significance Evaluations not recommending partial designation as cultural landscape

City of Hamilton – Lister Block, King William St., Hamilton (*Designated*)

- Architectural Heritage Impact Assessment for redevelopment of this 1916 terra cotta and brick building.

Harber Industries - Ravine Vineyard Estate Winery, St. David's

- + ▪ Winery Master Plan and Official Plan Amendment
- + ▪ Reconstruction of heritage Woodruff House
- Adaptive reuse of vernacular packing shed to restaurant

Ontario Realty Corporation - Whitney Block and Tower, Toronto (*Ontario Government Heritage Inventory*)

- Heritage Significance Study and Feasibility Study for the conservation of the exterior envelope.
- + ▪ Conservation of the building envelope of the Whitney Tower and the northern section of the building.
- + ▪ Heritage Conservation Plan; a maintenance and capital plan for all interior and exterior heritage features.

Huronian Provincial Parks - Sainte Marie Among the Hurons, Midland (*Museum, Ont. Gov. Heritage Inventory*)

- Post Disaster Study to determine feasibility of reconstruction of burned three buildings.
- + ▪ Conservation of the chapel and reconstruction of blacksmith shop, carpentry shop and palisade.

Aventis Pasteur – Connaught Campus Heritage Centre, 1755 Steeles Ave. W. Toronto

- + ▪ Barton Ave. Stables reconstruction of Dr. FitzGerald's metal clad stable-laboratory and reuse as museum.
- Conservation and adaptive reuse gatekeeper's cottage to welcome centre and site security office.

Ontario Realty Corporation - Welland County Courthouse, Welland (*Designated*)

- Heritage Impact Assessment of a proposed major addition to this 1855 Kivas Tully stone courthouse.

Friends of Riverdale Hospital - Toronto

- Expert witness testimony OMB to prevent demolition.

Ontario Realty Corporation - Old Whitby Psychiatric Site, Whitby (*Ontario Government Heritage Inventory*)

- Heritage Significant Study and Intervention Guidelines for this 64 acre site containing 48 buildings
- Realty Master Plan to evaluate constraints and opportunities for site redevelopment

Ontario Realty Corporation - Old Don Jail, Toronto (*Ontario Government Heritage Inventory*)

- Heritage Significance Study & Intervention Guidelines

Beaverton Presbyterian Church – Old Stone Church, Beaverton (*National Historic Site, Designated*)

- Heritage Significance Study and application for designation provincially and recognition federally.
- Conservation Feasibility Study, easement agreement and funding application to Ontario Heritage Trust.

Français

Ontario Heritage Act

ONTARIO REGULATION 9/06 CRITERIA FOR DETERMINING CULTURAL HERITAGE VALUE OR INTEREST

Consolidation Period: From January 25, 2006 to the [e-Laws currency date](#).

No amendments.

This is the English version of a bilingual regulation.

Criteria

1. (1) The criteria set out in subsection (2) are prescribed for the purposes of clause 29 (1) (a) of the Act. O. Reg. 9/06, s. 1 (1).

(2) A property may be designated under section 29 of the Act if it meets one or more of the following criteria for determining whether it is of cultural heritage value or interest:

1. The property has design value or physical value because it,
 - i. is a rare, unique, representative or early example of a style, type, expression, material or construction method,
 - ii. displays a high degree of craftsmanship or artistic merit, or
 - iii. demonstrates a high degree of technical or scientific achievement.
2. The property has historical value or associative value because it,
 - i. has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community,
 - ii. yields, or has the potential to yield, information that contributes to an understanding of a community or culture, or
 - iii. demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.
3. The property has contextual value because it,
 - i. is important in defining, maintaining or supporting the character of an area,
 - ii. is physically, functionally, visually or historically linked to its surroundings, or
 - iii. is a landmark. O. Reg. 9/06, s. 1 (2).

Transition

2. This Regulation does not apply in respect of a property if notice of intention to designate it was given under subsection 29 (1.1) of the Act on or before January 24, 2006. O. Reg. 9/06, s. 2.

Français

Back to top

City of Mississauga

Corporate Report



Date: 2017/04/18

To: Chair and Members of Heritage Advisory Committee

From: Paul Mitcham, P. Eng, MBA, Commissioner of Community Services

Originator's files:

Meeting date:
2017/05/09

Subject

Request to Alter a Heritage Designated Property: 7059 Second Line West (Ward 11)

Recommendation

1. That the request to alter the property at 7059 Second Line West, as described below, and in the attached drawings be approved with the following conditions:
 - a. That the approval exclude the proposed changes to the basement window (south elevation) and window on the east (rear) elevation shown in A003.1
 - b. That the original stair, baluster, and column wood materials be salvaged for reuse
 - c. That if any changes result from other City review and approval requirements, such as but not limited to building permit, committee of adjustment or site plan approval, a new heritage permit application will be required. The applicant is required to contact Heritage Planning at that time to review the changes prior to obtaining other approvals and commencing construction.

Background

Section 42 of the Ontario Heritage Act requires permission from Council in order to make alterations to a Part V property. The property is designated under Part V of the Ontario Heritage Act as part of the Meadowvale Village Heritage Conservation District (HCD).

The owner has submitted architectural drawings, a Heritage Impact Statement and Conservation Plan report by Strickland and Mateljan Design and Architecture in order to alter and make an addition to accommodate a learning centre for the adjacent Rotherglen School. See Appendix 1. The proposal includes a small addition to the existing 1 storey flat roofed addition in the rear, relocation and widening of the driveway to accommodate a required fire route and parking spaces, as well as a pathway, and changes to the building as per the attached drawings, including a fire escape, change to front and side door swing and removal of two rear windows (one of them converted to a single door).

The proposed alterations fall under the "Substantive Property Alteration" definition in the HCD Plan. The proposal is subject to Meadowvale Village Subcommittee Review. The proposal was reviewed by said subcommittee at their April 4th, 2017 meeting. (Item 2 here

https://www7.mississauga.ca/documents/committees/heritage/2017/2017_04_04_Meadowvale_Village_Subcommittee_Agenda.pdf

Drawings originally submitted were revised to incorporate the Subcommittee's and other department's input. (See Meadowvale Village HCD Meeting minutes.) Development planning matters such as zoning, landscaping, urban design related aspects will be reviewed as part of the Site Plan review process and any variances will be reviewed through the Committee of Adjustment process. There is an active Site Plan application and a Committee of Adjustment application related to the proposal.

Comments

The owners of the property at 7059 Second Line West have requested permission to alter the existing building and property, including constructing a small addition to the existing 1 storey flat roofed addition in the rear, relocate and widen the driveway to accommodate a required fire route and parking spaces, as well as construct a pathway, a fire escape, change to front and side door swing and removal of two rear windows (one of them converted to a single door), as per the drawings shown in Appendix 2. The proposal also includes interior renovations to accommodate the new use and the removal of a small brick tail at the rear of the property, which had been in the past partially incorporated into the larger mid-century flat roofed addition. Refer to Appendix 2. The Meadowvale Village HCD Plan identifies the above as substantive alterations therefore requiring a heritage permit.

The Heritage Impact Assessment and Conservation Plan (refer to Appendix 1) refer to the main building on the property as "an excellent example of Edwardian Classicism in modest residential design." It identifies interior trims and finishes that are generally original and in good condition. These are dark stained flat profiles with architrave type trims and at the doors and windows, columns, stairs, handrails, newels and balusters, original fireplace with wood detailing, which were "all very typical of an Arts and Crafts aesthetic which was popular at the time" of construction of the house. These materials will be impacted by the proposal. They should be salvaged for reuse.

The report states that "the proposed renovations to the building are minimal and not visible from the street. The greatest impact will come from the fire route ..." In order to mitigate the impact to the HCD, Mississauga Fire Department has proposed that the driveway be 4.0 m wide in total (3.0 metres flanked with a sidewalk flush with the paving material of the driveway), a reduction from the originally proposed 6.0 m. In order to further mitigate the visual impact, a portion of the driveway incorporates a walkway of 1.0 m width, with permeable pavers. This is satisfactory to Heritage Planning staff. The HCD Plan supports permeable paving therefore permeable paving should be used as much as possible for the fire route, driveway and paved areas.

The design for the addition is small, the flat roofline is continued from the existing roof line of the existing modern addition, and it is located in the rear, in an inconspicuous side of the building. The addition therefore does not detract from the existing main Edwardian era portion of the building. Two new door openings and a fire escape are located at the rear of the building limiting the visibility and away from the facades which are visible from the public realm. These concepts are sympathetic with the guidelines for additions in the HCD Plan (section 4.2.3). As such, the proposal should be approved.

As stated above, the proposal was reviewed by the Meadowvale Village HCD Subcommittee. However, there are two changes that were not discussed at the meeting or shown in the

circulated drawings to the Heritage Advisory Committee: a proposed new window opening and new window on the East elevation (A003.1) and a proposed replacement basement window on the South elevation (A003.1); refer to Appendix 2. The first is considered a substantive alteration and requires a full review, including by the Meadowvale Village Heritage Advisory Sub-Committee. The second may qualify as a clearance to alter; however at the time of writing this report, sufficient information has not been submitted in order to review the same. As such, these two proposed changes should be excluded from the current review and recommendation for approval, until they undergo a full review as required in the HCD Plan.

Financial Impact

There is no financial impact.

Conclusion

The owners have submitted a heritage permit application supported by architectural drawings, a Heritage Impact Assessment and Conservation Plan report in order to make changes and an addition in order to accommodate a learning centre for the adjacent Rotherglen School. The physical changes to the property aim to minimize the impact to the existing conditions on the property and exterior of the building. Original interior features should be salvaged for reuse. As such, they should be approved, excluding the proposed new window opening and new window on the East elevation and a proposed replacement basement window on the South elevation, as shown in the attached A003.1 drawing (refer to Appendix 2).

Attachments

Appendix 1: Appendix 1

Appendix 2: Appendix 2



Paul Mitcham, P. Eng, MBA, Commissioner of Community Services

Prepared by: Cecilia Nin Hernandez, Heritage Coordinator

~~NOVEMBER, 2016~~

~~REVISED FEBRUARY 9, 2017~~

HERITAGE IMPACT STUDY
IMPACT OF PROPOSED RENOVATION
7059 SECOND LINE W., MISSISSAUGA



**WILL BUILD, PAINT AND COMPLETE, READY FOR
OCCUPANCY, THIS MODERN NINE-ROOM \$3,000.00 HOUSE**

HOW TO GET ANY OF OUR MAGS FREE FULLY EXPLAINED ON PAGE 2



MODERN HOME No. 52

Concrete Block Construction. On the opposite page we illustrate a few of the materials we specify in this our \$7,995.00 house.

OUR \$1,995.00 HOUSE

CLASSIFIED BY: 6034, DATE: 07-10-2013, BY: 6034, FOR: 6034
 UNCLASSIFIED BY: 6034, DATE: 07-10-2013, BY: 6034, FOR: 6034

Πατήρ Πάππ.

Dining Room - 11 feet by 12 feet
 Living Room - 11 feet by 12 feet 6 inches

Weymouth Hall - 12 feet 6 inches by 11 feet
 Redwood - 11 feet 6 inches by 11 feet

Re: you . . . 12 feet by 12 feet
Re: you . . . 9 feet 6 inches by 12 feet

10 feet 6 inches by 11 feet 6 inches
 10 feet 6 inches by 11 feet 6 inches by 1 foot

14. 1990年12月，某市发生一起重大火灾事故，造成多人伤亡和重大财产损失。事故发生后，市政府立即成立调查组，由副市长任组长，市消防、公安、卫生、环保等部门负责人任成员。调查组经过初步调查，认为事故原因可能与电路老化有关。为查明事故原因，调查组决定聘请市消防研究所的专家进行技术鉴定。专家在调查过程中，发现事故现场存在多处安全隐患，并建议市政府立即采取整改措施，防止类似事故再次发生。市政府高度重视，立即召开常务会议，研究落实整改措施，并对相关责任人进行了严肃处理。此次事故的处理，得到了社会各界的广泛关注和好评。

The Arrangement of Our House

... (faint text) ...

Buy at **Modern Book Co.** 1000 Broadway, N.Y.C. 10019

BUILDING WITHOUT PLANS, ¹⁹⁴² 1944

...the
... ..
... ..

please for this report form on page 1

- 19 -

DO NOT ATTEMPT BUILDING WITHOUT PLANS. Each set of architect plans for a single-family detached house costs \$1000.00. Plans for a two-story house cost \$1500.00. Plans for a three-story house cost \$2000.00. Plans for a four-story house cost \$2500.00. Plans for a five-story house cost \$3000.00. Plans for a six-story house cost \$3500.00. Plans for a seven-story house cost \$4000.00. Plans for an eight-story house cost \$4500.00. Plans for a nine-story house cost \$5000.00. Plans for a ten-story house cost \$5500.00. Plans for an eleven-story house cost \$6000.00. Plans for a twelve-story house cost \$6500.00. Plans for a thirteen-story house cost \$7000.00. Plans for a fourteen-story house cost \$7500.00. Plans for a fifteen-story house cost \$8000.00. Plans for a sixteen-story house cost \$8500.00. Plans for a seventeen-story house cost \$9000.00. Plans for an eighteen-story house cost \$9500.00. Plans for a nineteen-story house cost \$10,000.00. Plans for a twenty-story house cost \$10,500.00. Plans for a twenty-one-story house cost \$11,000.00. Plans for a twenty-two-story house cost \$11,500.00. Plans for a twenty-three-story house cost \$12,000.00. Plans for a twenty-four-story house cost \$12,500.00. Plans for a twenty-five-story house cost \$13,000.00. Plans for a twenty-six-story house cost \$13,500.00. Plans for a twenty-seven-story house cost \$14,000.00. Plans for a twenty-eight-story house cost \$14,500.00. Plans for a twenty-nine-story house cost \$15,000.00. Plans for a thirty-story house cost \$15,500.00. Plans for a thirty-one-story house cost \$16,000.00. Plans for a thirty-two-story house cost \$16,500.00. Plans for a thirty-three-story house cost \$17,000.00. Plans for a thirty-four-story house cost \$17,500.00. Plans for a thirty-five-story house cost \$18,000.00. Plans for a thirty-six-story house cost \$18,500.00. Plans for a thirty-seven-story house cost \$19,000.00. Plans for a thirty-eight-story house cost \$19,500.00. Plans for a thirty-nine-story house cost \$20,000.00. Plans for a forty-story house cost \$20,500.00. Plans for a forty-one-story house cost \$21,000.00. Plans for a forty-two-story house cost \$21,500.00. Plans for a forty-three-story house cost \$22,000.00. Plans for a forty-four-story house cost \$22,500.00. Plans for a forty-five-story house cost \$23,000.00. Plans for a forty-six-story house cost \$23,500.00. Plans for a forty-seven-story house cost \$24,000.00. Plans for a forty-eight-story house cost \$24,500.00. Plans for a forty-nine-story house cost \$25,000.00. Plans for a fifty-story house cost \$25,500.00. Plans for a fifty-one-story house cost \$26,000.00. Plans for a fifty-two-story house cost \$26,500.00. Plans for a fifty-three-story house cost \$27,000.00. Plans for a fifty-four-story house cost \$27,500.00. Plans for a fifty-five-story house cost \$28,000.00. Plans for a fifty-six-story house cost \$28,500.00. Plans for a fifty-seven-story house cost \$29,000.00. Plans for a fifty-eight-story house cost \$29,500.00. Plans for a fifty-nine-story house cost \$30,000.00. Plans for a sixty-story house cost \$30,500.00. Plans for a sixty-one-story house cost \$31,000.00. Plans for a sixty-two-story house cost \$31,500.00. Plans for a sixty-three-story house cost \$32,000.00. Plans for a sixty-four-story house cost \$32,500.00. Plans for a sixty-five-story house cost \$33,000.00. Plans for a sixty-six-story house cost \$33,500.00. Plans for a sixty-seven-story house cost \$34,000.00. Plans for a sixty-eight-story house cost \$34,500.00. Plans for a sixty-nine-story house cost \$35,000.00. Plans for a seventy-story house cost \$35,500.00. Plans for a seventy-one-story house cost \$36,000.00. Plans for a seventy-two-story house cost \$36,500.00. Plans for a seventy-three-story house cost \$37,000.00. Plans for a seventy-four-story house cost \$37,500.00. Plans for a seventy-five-story house cost \$38,000.00. Plans for a seventy-six-story house cost \$38,500.00. Plans for a seventy-seven-story house cost \$39,000.00. Plans for a seventy-eight-story house cost \$39,500.00. Plans for a seventy-nine-story house cost \$40,000.00. Plans for an eighty-story house cost \$40,500.00. Plans for an eighty-one-story house cost \$41,000.00. Plans for an eighty-two-story house cost \$41,500.00. Plans for an eighty-three-story house cost \$42,000.00. Plans for an eighty-four-story house cost \$42,500.00. Plans for an eighty-five-story house cost \$43,000.00. Plans for an eighty-six-story house cost \$43,500.00. Plans for an eighty-seven-story house cost \$44,000.00. Plans for an eighty-eight-story house cost \$44,500.00. Plans for an eighty-nine-story house cost \$45,000.00. Plans for a ninety-story house cost \$45,500.00. Plans for a ninety-one-story house cost \$46,000.00. Plans for a ninety-two-story house cost \$46,500.00. Plans for a ninety-three-story house cost \$47,000.00. Plans for a ninety-four-story house cost \$47,500.00. Plans for a ninety-five-story house cost \$48,000.00. Plans for a ninety-six-story house cost \$48,500.00. Plans for a ninety-seven-story house cost \$49,000.00. Plans for a ninety-eight-story house cost \$49,500.00. Plans for a ninety-nine-story house cost \$50,000.00. Plans for a hundred-story house cost \$50,500.00. Plans for a hundred-one-story house cost \$51,000.00. Plans for a hundred-two-story house cost \$51,500.00. Plans for a hundred-three-story house cost \$52,000.00. Plans for a hundred-four-story house cost \$52,500.00. Plans for a hundred-five-story house cost \$53,000.00. Plans for a hundred-six-story house cost \$53,500.00. Plans for a hundred-seven-story house cost \$54,000.00. Plans for a hundred-eight-story house cost \$54,500.00. Plans for a hundred-nine-story house cost \$55,000.00. Plans for a hundred-ten-story house cost \$55,500.00. Plans for a hundred-eleven-story house cost \$56,000.00. Plans for a hundred-twelve-story house cost \$56,500.00. Plans for a hundred-thirteen-story house cost \$57,000.00. Plans for a hundred-fourteen-story house cost \$57,500.00. Plans for a hundred-fifteen-story house cost \$58,000.00. Plans for a hundred-sixteen-story house cost \$58,500.00. Plans for a hundred-seventeen-story house cost \$59,000.00. Plans for a hundred-eighteen-story house cost \$59,500.00. Plans for a hundred-nineteen-story house cost \$60,000.00. Plans for a hundred-twenty-story house cost \$60,500.00. Plans for a hundred-twenty-one-story house cost \$61,000.00. Plans for a hundred-twenty-two-story house cost \$61,500.00. Plans for a hundred-twenty-three-story house cost \$62,000.00. Plans for a hundred-twenty-four-story house cost \$62,500.00. Plans for a hundred-twenty-five-story house cost \$63,000.00. Plans for a hundred-twenty-six-story house cost \$63,500.00. Plans for a hundred-twenty-seven-story house cost \$64,000.00. Plans for a hundred-twenty-eight-story house cost \$64,500.00. Plans for a hundred-twenty-nine-story house cost \$65,000.00. Plans for a hundred-thirty-story house cost \$65,500.00. Plans for a hundred-thirty-one-story house cost \$66,000.00. Plans for a hundred-thirty-two-story house cost \$66,500.00. Plans for a hundred-thirty-three-story house cost \$67,000.00. Plans for a hundred-thirty-four-story house cost \$67,500.00. Plans for a hundred-thirty-five-story house cost \$68,000.00. Plans for a hundred-thirty-six-story house cost \$68,500.00. Plans for a hundred-thirty-seven-story house cost \$69,000.00. Plans for a hundred-thirty-eight-story house cost \$69,500.00. Plans for a hundred-thirty-nine-story house cost \$70,000.00. Plans for a hundred-forty-story house cost \$70,500.00. Plans for a hundred-forty-one-story house cost \$71,000.00. Plans for a hundred-forty-two-story house cost \$71,500.00. Plans for a hundred-forty-three-story house cost \$72,000.00. Plans for a hundred-forty-four-story house cost \$72,500.00. Plans for a hundred-forty-five-story house cost \$73,000.00. Plans for a hundred-forty-six-story house cost \$73,500.00. Plans for a hundred-forty-seven-story house cost \$74,000.00. Plans for a hundred-forty-eight-story house cost \$74,500.00. Plans for a hundred-forty-nine-story house cost \$75,000.00. Plans for a hundred-fifty-story house cost \$75,500.00. Plans for a hundred-fifty-one-story house cost \$76,000.00. Plans for a hundred-fifty-two-story house cost \$76,500.00. Plans for a hundred-fifty-three-story house cost \$77,000.00. Plans for a hundred-fifty-four-story house cost \$77,500.00. Plans for a hundred-fifty-five-story house cost \$78,000.00. Plans for a hundred-fifty-six-story house cost \$78,500.00. Plans for a hundred-fifty-seven-story house cost \$79,000.00. Plans for a hundred-fifty-eight-story house cost \$79,500.00. Plans for a hundred-fifty-nine-story house cost \$80,000.00. Plans for a hundred-sixty-story house cost \$80,500.00. Plans for a hundred-sixty-one-story house cost \$81,000.00. Plans for a hundred-sixty-two-story house cost \$81,500.00. Plans for a hundred-sixty-three-story house cost \$82,000.00. Plans for a hundred-sixty-four-story house cost \$82,500.00. Plans for a hundred-sixty-five-story house cost \$83,000.00. Plans for a hundred-sixty-six-story house cost \$83,500.00. Plans for a hundred-sixty-seven-story house cost \$84,000.00. Plans for a hundred-sixty-eight-story house cost \$84,500.00. Plans for a hundred-sixty-nine-story house cost \$85,000.00. Plans for a hundred-seventy-story house cost \$85,500.00. Plans for a hundred-seventy-one-story house cost \$86,000.00. Plans for a hundred-seventy-two-story house cost \$86,500.00. Plans for a hundred-seventy-three-story house cost \$87,000.00. Plans for a hundred-seventy-four-story house cost \$87,500.00. Plans for a hundred-seventy-five-story house cost \$88,000.00. Plans for a hundred-seventy-six-story house cost \$88,500.00. Plans for a hundred-seventy-seven-story house cost \$89,000.00. Plans for a hundred-seventy-eight-story house cost \$89,500.00. Plans for a hundred-seventy-nine-story house cost \$90,000.00. Plans for a hundred-eighty-story house cost \$90,500.00. Plans for a hundred-eighty-one-story house cost \$91,000.00. Plans for a hundred-eighty-two-story house cost \$91,500.00. Plans for a hundred-eighty-three-story house cost \$92,000.00. Plans for a hundred-eighty-four-story house cost \$92,500.00. Plans for a hundred-eighty-five-story house cost \$93,000.00. Plans for a hundred-eighty-six-story house cost \$93,500.00. Plans for a hundred-eighty-seven-story house cost \$94,000.00. Plans for a hundred-eighty-eight-story house cost \$94,500.00. Plans for a hundred-eighty-nine-story house cost \$95,000.00. Plans for a hundred-ninety-story house cost \$95,500.00. Plans for a hundred-ninety-one-story house cost \$96,000.00. Plans for a hundred-ninety-two-story house cost \$96,500.00. Plans for a hundred-ninety-three-story house cost \$97,000.00. Plans for a hundred-ninety-four-story house cost \$97,500.00. Plans for a hundred-ninety-five-story house cost \$98,000.00. Plans for a hundred-ninety-six-story house cost \$98,500.00. Plans for a hundred-ninety-seven-story house cost \$99,000.00. Plans for a hundred-ninety-eight-story house cost \$99,500.00. Plans for a hundred-ninety-nine-story house cost \$100,000.00. Plans for a two-hundred-story house cost \$100,500.00. Plans for a two-hundred-one-story house cost \$101,000.00. Plans for a two-hundred-two-story house cost \$101,500.00. Plans for a two-hundred-three-story house cost \$102,000.00. Plans for a two-hundred-four-story house cost \$102,500.00. Plans for a two-hundred-five-story house cost \$103,000.00. Plans for a two-hundred-six-story house cost \$103,500.00. Plans for a two-hundred-seven-story

Supp. Rockwell & Co., Chicago, Ill.

BOOK OF MODERN NOVELS

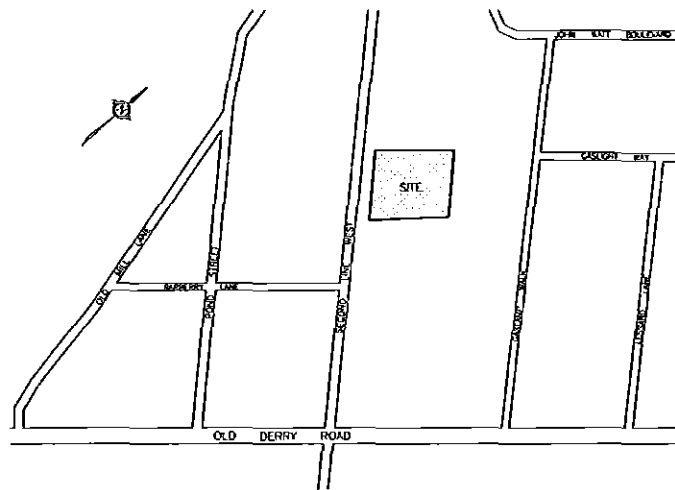
Overview:

This report is prepared to address the proposed re-development of the property at 7059 Second Line W., Mississauga, ON from a single family residence to programming space and offices associated with the neighbouring Rotherglen School at 929 Old Derry Rd., Mississauga ON.

Rick Mateljan of Strickland Mateljan Design Associates Ltd. was engaged by the property owner to carry out a sympathetic adaptive re-use to this heritage building and to complete a Heritage Impact Study to assess the impact of this intervention.

A Chain of Title search was performed by Stephen Nott Conveyancing Services. Their report is appended to this report.¹

Key map:



Meadowvale Village - Overview:

Meadowvale Village was first settled in 1819 when 26 United Empire Loyalist families emigrated from New York State and took advantage of government land grants in this area. The land was at that time covered by pine forest but the settlers quickly understood the agricultural promise of the land and the community prospered. By the 1850's there were several mills, two hotels, a wagon shop, foundry and a school.²

The village retained its character and many of its original buildings through the 20th century. In 1980, in the face of a proposal to widen Derry Rd. West, demolish some original buildings and irreparably change the character of the community, local residents succeeded in having this designated Ontario's first Heritage Conservation District.

¹ In some cases the dates in recorded histories vary from those in the title search document – where there is a conflict the title search dates are used

² A Heritage Tour – Meadowvale Village (Heritage Mississauga)(pamphlet)

Terms of Reference

The City required terms of reference are as follows:

1. A detailed site history to include a listing of owners from the Land Registry Office, and a history of the site use(s). However, please note that due to the Freedom of Information and Protection of Privacy Act, current property owner information must not be included. As such, Heritage Planning will request that current property owner personal information be redacted to ensure the reports comply with the Act.

2. A complete listing and full written description of all existing structures, natural or man-made, on the property. Specific mention must be made of all the heritage resources on the subject property which include, but are not limited to: structures, buildings, building elements (like fences and gables), building materials, architectural and interior finishes, natural heritage elements, landscaping, and archaeological resources. The description will also include a chronological history of the structure(s) developments, such as additions, removals, conversions, alterations etc.

The report will include a clear statement of the conclusions regarding the significance and heritage attributes of the cultural heritage resource.

A location map must be provided, with indications of existing land use, zoning, as well as the zoning and land use of adjacent properties.

3. Documentation of the existing conditions related to the heritage resource will include:

-Current legible internal photographs, external photographs from each elevation.

Please note that due to the Freedom of Information and Protection of Privacy Act, photographs should not contain people or highlight personal possessions. The purpose of the photographs is to capture architectural features and building materials.

-Measured drawings, including elevations, floor plans, and a site plan or survey, at an appropriate scale for the given application, indicating the context in which the heritage resource is situated.

-Historical photos, drawings, or other archival material that may be available or relevant.

The applicant must provide a description of all relevant municipal or agency requirements which will be applied to the subject property, and when implemented may supplement, supersede and/or affect the conservation of heritage resources (i.e. Building Code requirements, Zoning requirements, Transportation and Works requirements.)

4. An outline of the proposed development, its context and how it will impact the heritage resource and neighbouring properties will be provided. This may include such issues as the pattern of lots, roadways, setbacks, massing, relationship to natural and built heritage features, recommended building materials, etc. The outline should address the influence of the development on the setting, character and use of lands on the subject property and adjacent lands. If the property forms part of a Heritage Conservation District, the proposal must be analysed in terms of its compliance with the Heritage Conservation District Plan.

Note: An architectural drawing indicating the subject property streetscape with properties to either side of the subject lands must be provided. The purpose of this drawing is to provide a schematic view of how the new construction is oriented and integrates with the adjacent properties from a streetscape perspective. The drawing must therefore show, within the limits of defined property lines, an outline of the building mass of the subject property and the existing neighbouring properties, along with significant trees or any other landscape or landform features. A composite photograph may accomplish the same purpose with a schematic of the proposed building drawn in.

5. Full architectural drawings, by a licensed architect or accredited architectural designer, showing all four elevations of the proposed development must be included for major alterations and new construction.

6. An assessment of alternative development options and mitigation measures that should be considered in order to avoid or limit the negative impact on the cultural heritage resources. Methods of minimizing or avoiding negative impact on a cultural heritage resource as stated in the Ontario Heritage Tool Kit (InfoSheet #5, Ministry of Culture) include, but are not limited to:

- Alternative development approaches
- Isolating development and site alteration from the significant built and natural heritage features and vistas
- Design guidelines that harmonize mass, setback, setting and materials
- Limiting height and density
- Allowing only compatible infill and additions
- Reversible alterations

These alternate forms of development options presented in the Heritage Impact Assessment must be evaluated and assessed by the heritage consultant writing the report as to the best option to proceed with and the reasons why that particular option has been chosen.

7. A summary of conservation principles and how they will be used must be included. The conservation principles may be found in publications such as: Parks Canada – Standards and Guidelines for the Conservation of Historic Places in Canada; Eight Guiding Principles in the Conservation of Historic Properties, Ontario Ministry of Culture. (Both publications are available online.)

8. Proposed demolition/alterations must be explained as to the loss of cultural heritage value interests in the site and the impact on the streetscape and sense of place.

9. When a property cannot be conserved, alternatives will be considered for salvage mitigation. Only when other options can be demonstrated not to be viable will options such as relocation, ruinification, or symbolic conservation be considered.

Relocation of a heritage resource may indicate a move within or beyond the subject property. The appropriate context of the resource must be considered in relocation. Ruinification allows for the exterior only of a structure to be maintained on a site. Symbolic conservation refers to the recovery of unique heritage resources and incorporating those components into new development, or using a symbolic design method to depict a theme or remembrance of the past.

All recommendations shall be as specific as possible indicating the exact location of the preferred option, site plan, building elevations, materials, landscaping, and any impact on neighbouring properties, if relevant.

Summary Statement and Conservation Recommendations:

The summary should provide a full description of:

- The significance and heritage attributes of the cultural heritage resource, including the reference to a listing on the Heritage Register, or designation by-law if it is applicable
- The identification of any impact that the proposed development will have on the cultural heritage resource
- An explanation of what conservation or mitigative measures, or alternative development, or site alteration approaches are recommended
- Clarification as to why conservation or mitigative measures, or alternative development or site alteration approaches are not appropriate

Mandatory Recommendation:

The consultant must write a recommendation as to whether the subject property is worthy of heritage designation in accordance with the heritage designation criteria per Regulation 9/06, Ontario Heritage Act. Should the consultant not support heritage designation then it must be clearly stated as to why the subject property does not meet the criteria as stated in Regulation 9/06.

The following questions must be answered in the final recommendation of the report:

-Does the property meet the criteria for heritage designation under the Ontario Regulation 9/06, Ontario Heritage Act?

-If the subject property does not meet the criteria for heritage designation then it must be clearly stated as to why it does not

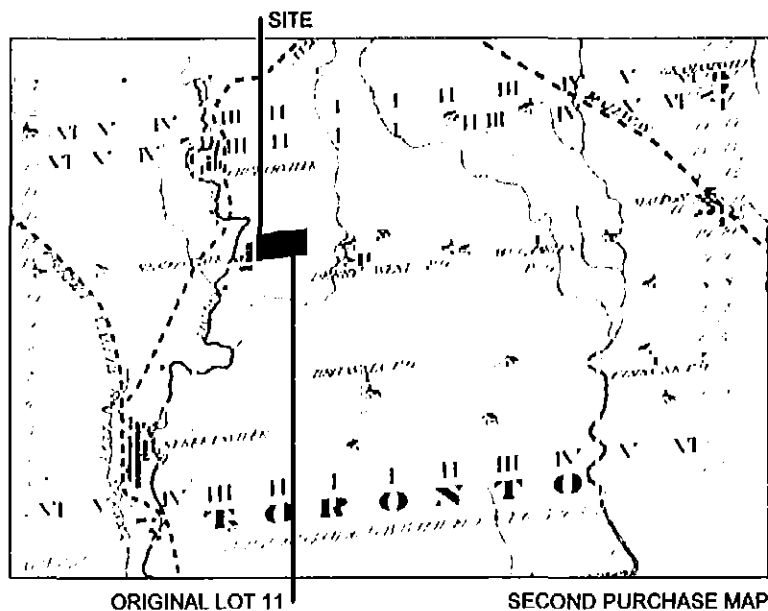
-Regardless of the failure to meet criteria for heritage designation, does the property warrant conservation as per the definition in the Provincial Policy Statement:

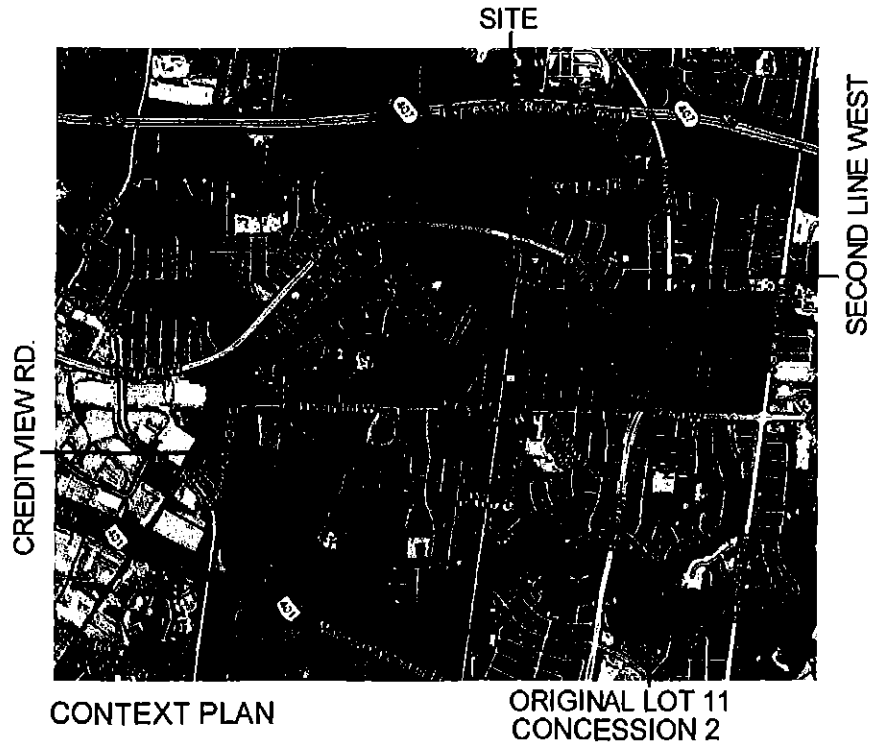
Conserved: means the identification, protection, use and/or management of cultural heritage and archaeological resources in such a way that their heritage values, attributes and integrity are retained. This may be addressed through a conservation plan or heritage impact assessment.

Please note that failure to provide a clear recommendation as per the significance and direction of the identified cultural heritage resource will result in the rejection of the Heritage Impact Assessment.

Site History:

7059 Second Line W. is part of the original Lot 11, Concession 2, west of Hurontario Street that was created by the Second Purchase of Land from the Mississauga First Nation in 1818 and surveyed by Timothy Street and Richard Bristol. Lot 11, Concession 2 is a 200 acre parcel that is bounded by modern day Second Line West and McLaughlin Road to the west and east, and Old Derry Rd. to the south. The northern boundary is no longer recognizable but it is approximately half-way between Old Derry Rd. and Highway 407.





The history of Meadowvale Village begins with an original group of 26 families that settled this area under the leadership of United Empire Loyalist John Beatty. Beatty, born in Ireland but living in New York City, in 1817 petitioned the Lieutenant-Governor of Upper Canada for a grant of land for himself and his community. His efforts were successful and in 1818 5,000 acres in Toronto Township were set aside “for the reception of about 150 families . . . in the rear of Toronto Township”³.

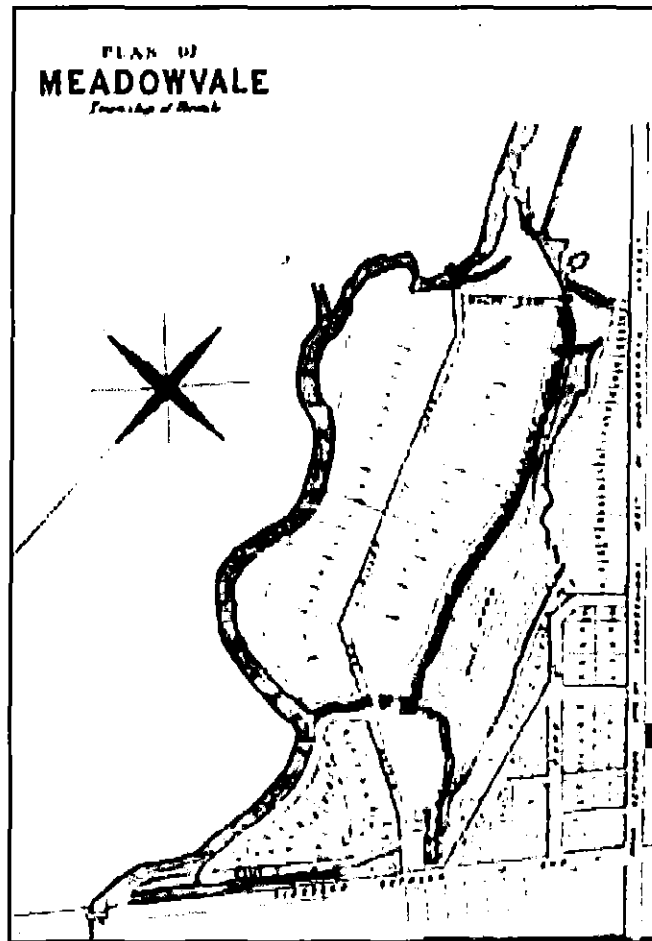
Beatty’s group left New York by caravan on May 1, 1819. They reached Toronto (then York) on May 28th and stayed for a while until their land grants were approved and then they headed west to what was known at the time as Toronto Township. Beatty’s grant was all of Lots 11 and 12, Concession 3, West of Hurontario Street. This comprised about 400 acres and consisted of the area now bounded by Old Derry Rd., Second Line West, Creditview Rd. and Highway 407.

The law at the time required that within 18 months of taking a claim of land the recipient had to erect a dwelling on the property, clear and fence 5 acres of land and clear the roadway in front of the property. The land was covered with white pine forest and the soil was suitable for agriculture and the early farmers were successful. The situation changed, however, with the arrival in the community of Francis Silverthorne. Also of United Empire Loyalist stock, Silverthorne set about to create a lumber and grist mill operation using power from the Credit River. By 1845 he had the mill in operation. It was known as Meadowvale Mills⁴.

³ Surveyor-General Thomas Rideout to Lieutenant-Governor Peregrine Maitland, quoted in Hicks, Kathleen, Meadowvale: Mills to Millennium, Chapter 3

⁴ Hicks, xvii

Silverthorne continued to increase his land holdings locally and built houses for his workers and a store and by 1856 the beginning of a community was sufficiently established that he had surveyor Arthur Bristow draw a plan for a village that he wanted to create. The Silverthorne Plan of 1856 laid out what is now known as the Village of Meadowvale.



Silverthorne's Plan of 1856. 7059 Second Line W. is indicated by the red box, just off the plan margin

In 1861 the Gooderham family of Toronto acquired the Silverthorne milling operations and in 1865 they purchased all of Silverthorne's land holdings as well as all of Lot 11, Concession 2 WHS (which includes the present 7059 Second Line West), giving them considerable land holdings surrounding the community. The Gooderhams were prominent in the milling and alcohol industries and their coming to Meadowvale inaugurated an era of prosperity in the Village.⁵

In 1870 the Gooderham family built a 10,000 sq. ft. Italianate mansion on Lot 11, Concession 2 WHS. This home, the most significant structure in Meadowvale and now a Part IV designated building, was

⁵ Hicks, p.64

sold by the family in 1884 and has gone through a variety of owners and uses.⁶ Presently it functions as the Meadowvale Elementary Campus of Rotherglen School.



Gooderham Mansion c. 1900⁷

The subject site at 7059 Second Line W. was part of the original west half of Lot 11 granted by the Crown to Hugh Bell in 1851. The property at that time comprised 100 acres. In 1865 Bell sold it in its entirety to William Gooderham for the sum of \$3300. Bell had mortgaged the property twice, in 1859 for \$700 and in 1863 for a further \$900 so presumably there were some improvements made to the property during this time. The property was leased by William to George Gooderham in 1870 for the sum of \$800 per year, then sold by William to Charles Horace Gooderham in 1876. The price of that transaction was not recorded. It was still a 100 acre parcel at that time. In 1884 the property was transferred to Charles' cousin George Gooderham and shortly thereafter a 6 acre parcel comprising the Gooderham mansion lands was divided off at the south-west corner of the property and sold to Angelique H. Douglas. The remaining lands, now 94 acres, were sold by George Gooderham to Steven George South in 1910. The purchase price was \$11,000.⁸ This ended the Gooderham ownership of the property and their association with Meadowvale Village.

In 1918 or 1919 the South family built the 2-storey brick Edwardian house that still stands on this site.

Steven George South died about 1936 and the property passed to his son, Harold. During the 1950's and '60's Harold divided and sold off parts of the property, first to the Meadowvale Development Company Ltd., then to individual purchasers. By the time of his death in 1972 the property was 0.3ha (0.74 acre) property now known as 7059 Second Line W.⁹

⁶ Hicks, p.76

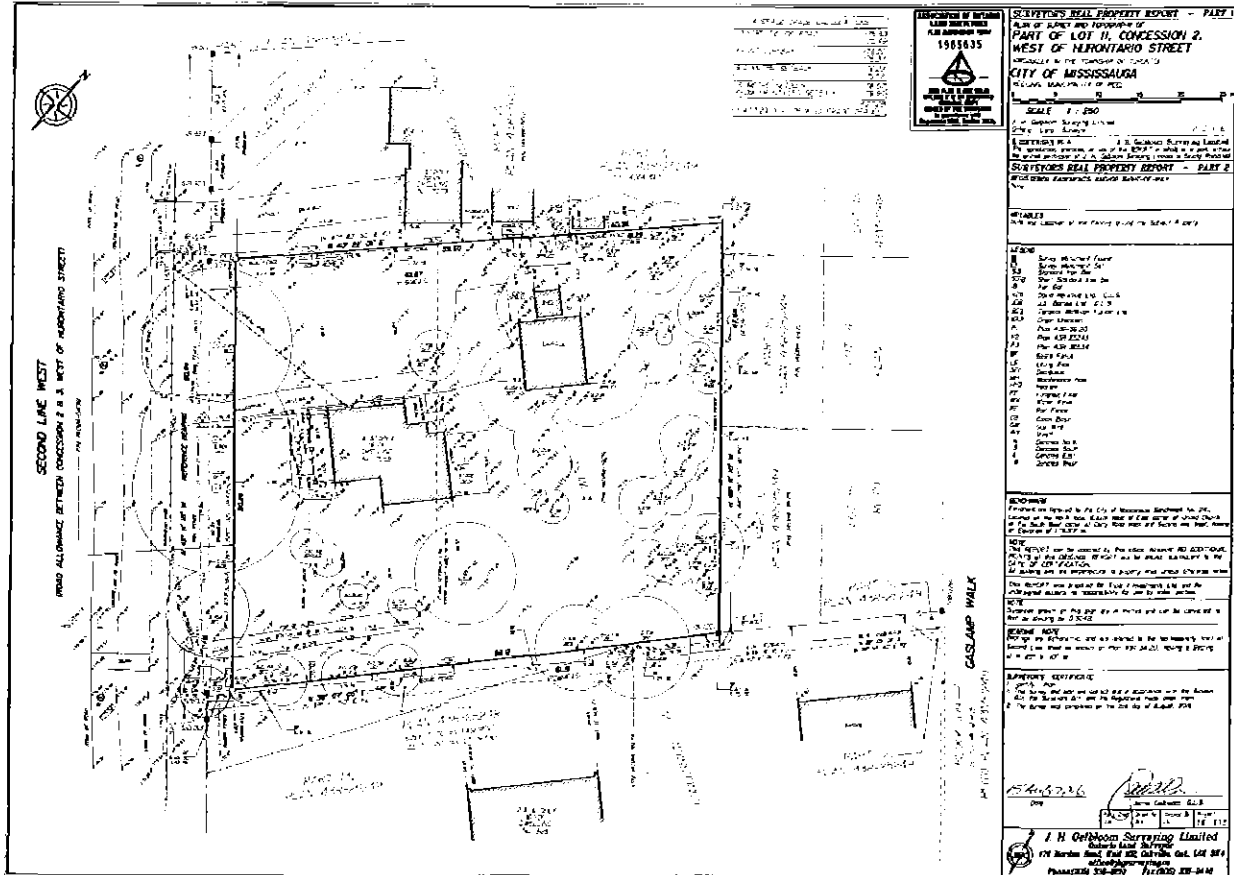
⁷ Heritage Mississauga Photo archive

⁸ Hicks, p. 109

⁹ Hicks, p. 110

The property was sold in 1980 to Lorne Davidson and in 1985 to Ron and Bruria Shahar. In 1996 it was sold to Elizabeth Jane Backhouse and in 2016 to the present owners.

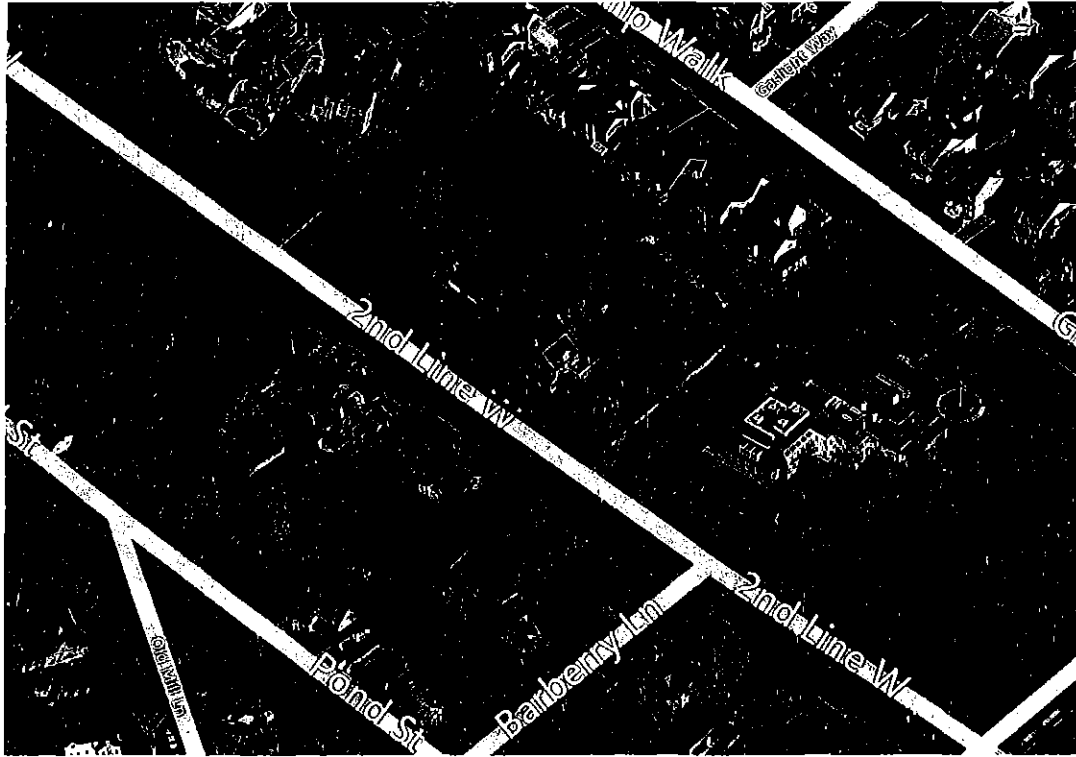
Existing conditions on-site:



Existing property survey

The site is north of Old Derry Rd. West on the east side of Second Line West.

The subject property is parallelogram-shaped approx. 50m wide x 60m deep. The grade falls from north to south and from east to west. The north-east corner of the site is the highest elevation, with the lowest point about 1.5m below this. There are two buildings located on the site – a single family home and a detached garage (a small shed indicated on the survey has been removed). The site is moderately treed and is notable as one of the largest lots extant in the Village.



Air Photo showing site outlined in red – note former Gaoderham mansion at right, newer subdivisions at top right, Meadowvale village at lower left

Architectural Assessment of Existing Building:**City Records:**

Relevant City of Mississauga records are as follows:

- 1991 – sunroom addition to existing dwelling
- 1997 – sewer conversion
- 2007 – Heritage Property Grant – second floor wood window replacement
- 2011 – Heritage Property Grant – replace cedar shingles
- 2014 – Heritage Property Grant – fascia, eavestrough, downpipe replacement
- 2015 – Heritage Property Grant – porch and deck repair and replacement



Streetside view showing driveway, extensive tree canopy



Front Elevation



Rear Elevation showing existing wood-sided addition



South Elevation showing existing wood-sided addition



North Elevation showing original 1-storey brick element at rear, later wood-sided addition beyond

The existing building is a 2 ½ storey brick veneer dwelling with gable roof approximately 30'0" x 30'0". There is an original one-storey brick element at the rear approximately 8'0" x 10'0". This was likely a rear entry porch but now is used as a powder room. There is a one-storey, flat roofed, wood board & batten sided addition approximately 470 sq. ft. at the rear and south side. At the front is a deep covered

porch spanning the width of the building. The porch roof is supported on square wood columns with brick bases. There are two symmetrical dormers in the roof on the north and south side. There is an older stone foundation beneath the original home that appears to have been recently parged and waterproofed on the interior. The waterproofing appears to have been successful and the foundation was solid and dry when observed. There is a crawlspace foundation below the rear addition. The original house consists of an entry hall, kitchen, living room and dining room at the main floor level. The wood sided addition is a main floor family room. The second floor consists of four small bedrooms and one small bathroom. The third floor consists of one large bedroom and ensuite bathroom. The overall condition of the building is good although some of the trims, guards and details on the wood-sided addition require maintenance and/or renewal. The building is presently in use as a single family dwelling.

Exterior:

The building is clad in pink-ish red bricks laid in a typical running bond pattern. There are no bonding courses evident so we presume that this is a brick veneer wall. The brick is generally in excellent condition with tight joints and few defects noted. Headers and sills are painted pre-cast blocks. The stone foundation is minimally visible but no serious issues were noted. The gable ends and dormers are clad in stained wood shingle that appears to have been installed recently (likely the 2011 Heritage Property Grant). The exterior is generally in good condition. Roof is asphalt shingle and in good condition.

Front Porch:

The front porch is a prominent feature of the building and is in excellent condition. The wood detailing and trim around the columns and ceiling appears to be original. There is a flat-bracketed detail around the porch soffit and an interesting and unusual solid guard detail with a band of small pickets at mid-height. The porch floor is painted wood. There is a skirting detail around the base of the porch that is newer lattice type material. This is not original to the house and is likely the repair referenced in the 2015 Heritage Property Grant. Some deterioration of the brickwork at the porch column bases was noted. This is not unusual. These should be re-pointed.



Partial south elevation showing existing front porch



Detail of porch railing, column and soffit. Skirting detail is not original

Rear Addition:

The rear and southerly addition is likely the “sunroom” referenced in the 1991 Building Permit. This is effectively a board & batten clad, wood framed box-like structure with concrete crawlspace type foundation. There is a wooden guard at the top to allow it to be used as a terrace with access from the second floor. An oversized soffit and fascia detail attempts to give the addition a Modernist appearance, although this is not referenced anywhere else in the building and is architecturally unsuccessful. The addition is generally in fair condition. There is minimal architectural or heritage value in this structure.



Partial South Elevation showing 1991 Family Room addition

Windows and trims:

Main floor windows are original wood double hung with later metal storms fitted on the exterior. The original windows appear to be in good condition – although the original sash cords are missing in some cases. There is an attractive leaded glass transom with Art Nouveau styling in the living room front window. This would be original to the home. Second floor windows are the wood replacement units described in the 2007 Heritage Property Grant notation. These units are contemporary in detail but reasonable replacements for the original. Third floor windows are original wood units. Family room windows are vinyl and configured with a large picture unit flanked by a single operating casement. This is not a window style complimentary to the original architecture of the home but was likely chosen to compliment the contemporary style of the addition.



Original leaded glass front window detail

Front Door:



Original front door - note hardware

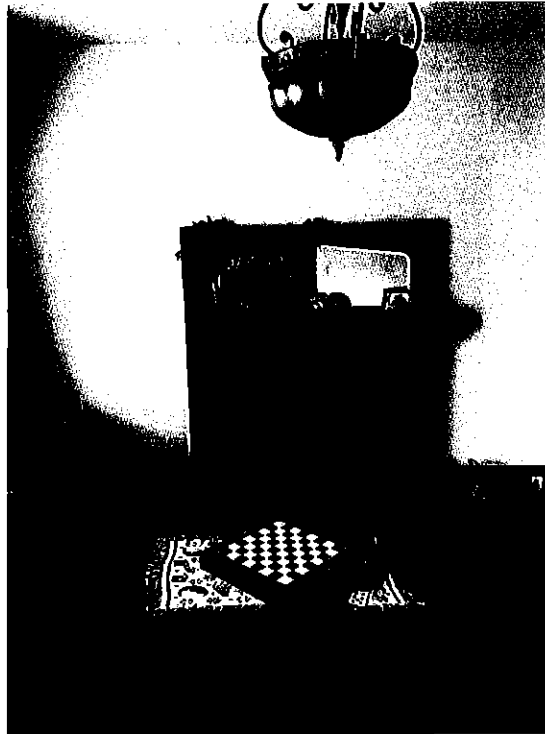
The existing front door is original. It is a handsome wood unit with upper glass and lower wood panel. It is in excellent condition, of very pleasing proportions and retains its original full-mortise style hardware.

Interior Trims and Finishes:

Interior trims and finishes are generally original and in good condition. The kitchen has been replaced as would be expected in a building of this age. Trims are simple dark stained flat profiles without obvious detail, with architrave type trims at the doors and windows. Stairs, handrails, newels and balusters are simple stained wood. This is all very typical of an Arts & Crafts aesthetic, which was popular at this time. The main floor fireplace is original and features interesting wood detailing.



Stair, handrail, newel, baluster detail



Fireplace detail



Living Room entry detail

Garage Accessory Building:

There is an existing two-car detached garage/workshop on the property. This is likely not part of the original construction of the building. It is a simple gable roofed structure with older aluminum siding on the side and rear elevations and green painted board and batten siding on the front elevation. It appears that at the time of the flat-roofed addition in 1991 it was decided to change the siding on the front elevation so as to match the new addition. Generally this is a simple, generic building without architectural detail or interest. It is in fair/poor condition. No changes are proposed to this building.



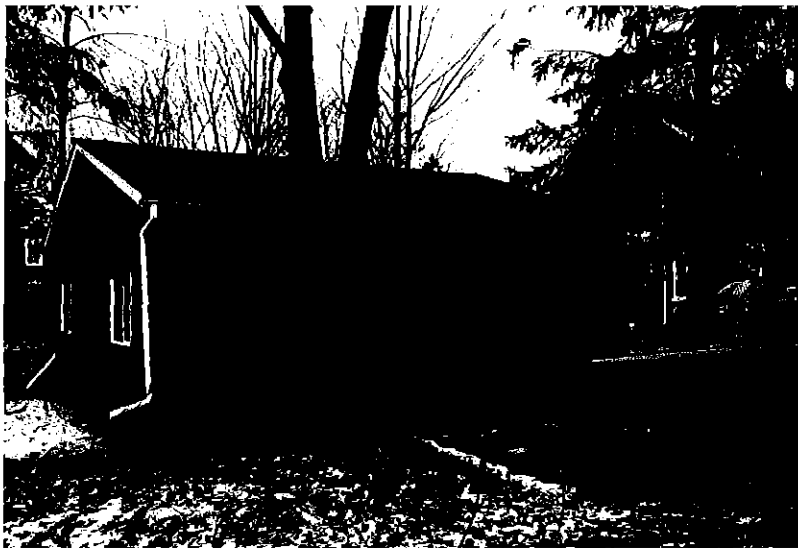
Garage front elevation



Garage south elevation (note dis-similar siding from front elevation)



Garage rear elevation



Garage north elevation (note wooden platform where shed building was recently removed)

Landscaping and Driveway:

The existing landscaping on the site is minimal. There is a single car asphalt driveway that widens to a parking area near the garage door. Trees, some of significant size, are located randomly around the site and along the road allowance at the front of the property. There are no cultivated or manicured gardens. There is an existing drainage swale along the south property line.

Architectural Style:

This building is an excellent example of Edwardian Classicism in modest residential design. This was a period named after Edward VII, son of Queen Victoria and as this implies it was something of an intermediate period between the Victorian architecture that came before it and the Modernist architecture that came after. Generally it is associated with the period 1890 – 1916. Some Edwardian

buildings were highly classical and ornate, deriving from the Beaux Arts and Art Nouveau styles, others were more simple and associated with the Arts & Crafts movements. Single family residential architecture tended to be simpler and are exemplified in North America by what became known as the Four-Square house – a 2 ½ storey house built on a square plan with a hipped or gable roof, two or four dormers and a wide front porch the width of the house. These homes were idealized for the rectangular, suburban lots of the new suburbs in many North American cities and they were built by the tens of thousands, many from stock plans and many ordered as kits through catalogue houses. Exterior finishing materials varied widely according to local availability and preference but the basic shape and function was similar. Many of the architectural details of this home including the flat bracketing on the porch eaves, the porch columns, the use of stained glass, the interior trims were very typical of the style. They tended to be very efficient and handsome designs and have remained popular.¹⁰

These houses are very common in the older suburbs of Toronto and relatively common in some of the older neighborhoods of Mississauga. There was very little building activity in Meadowvale during this period, however, and this is the only example of Edwardian design in Meadowvale Village.

\$1,995⁰⁰ and Our FREE BUILDING PLANS

WILL BUILD, PAINT AND COMPLETE, READY FOR OCCUPANCY, THIS MODERN NINE-ROOM \$3,000.00 HOUSE

HOW TO GET ANY OF OUR PLANS FREE FULLY EXPLAINED ON PAGE 2.



MODERN HOME No. 52

Concrete Block Construction. On the opposite page we illustrate a few of the materials we specify on this our \$1,995.00 house.

OUR \$1,995.00 HOUSE

Illustrated floor, consists of nine good sized rooms and bathroom, as shown in these floor plans.

FIRST FLOOR.

Kitchen - 13 feet by 10 feet
Dining Room - 11 feet by 12 feet
Living Room - 11 feet by 16 feet 6 inches
Reception Hall - 11 feet 6 inches by 11 feet
Bedroom - 11 feet 6 inches by 11 feet

SECOND FLOOR.

Bedroom - 12 feet by 12 feet
Bedroom - 9 feet 6 inches by 12 feet
Bedroom - 10 feet 6 inches by 12 feet 6 inches
Bedroom - 11 feet 6 inches by 12 feet
Bathroom - 7 feet by 5 feet 9 inches
Two closet and bed. Bedrooms have closets.

The Arrangement of Our Houses

is such that they can be well located with very little expense. Our \$1,995.00 house is for one of the many other houses we have and which are all (including our free building plan) available to you. No matter what price house you may want to build, we have it available for you from \$25.00 to \$10,000.00.

Size of Modern House No. 52: 34 feet 47 feet 10 inches with 22 feet 4 inches wide front porch.

DO NOT ATTEMPT BUILDING WITHOUT PLANS, don't pay an architect \$100.00 or \$150.00 for plans which in no way compare in accuracy or detail with the plans we will furnish you free of charge on condition that you send us a small portion of your mail work order. If you were to attempt to build a house similar to the house illustrated above, it would cost you from \$250.00 to \$1,000.00 more.

See how you can get the plans for this house free on page 2.

Sears, Roebuck & Co., Chicago, Ill.

BOOK OF MODERN HOMES

Sears Catalogue advertisement - date unknown

¹⁰ www.ontarioarchitecture.com/Edwardian.htm



1978 Front elevation¹¹(note how finish in front gable end has changed)



1990 Front elevation¹²

Site Context:

The site is located on the east side of Second Line W., north of Old Derry Rd. This is at the easterly boundary of the Heritage Conservation District and a location of lesser prominence in the Village. To the north is a one-storey brick ranch style bungalow that was severed off of this property in the late 1950's

¹¹ City of Mississauga Historic Images Gallery

¹² City of Mississauga Historic Images Gallery

for a daughter of the South family.¹³ To the south is the parking lot and the back of the Rotherglen School. To the east is a 1990's subdivision built in faux-heritage style. To the west, across Second Line W., is the core of the Village of Meadowvale.

This site has cultural heritage interest because of its relationship to the Gooderham family and their contribution to Meadowvale. Prior to that it was considered to be outside of the village – both Silverthorne's Map of Meadowvale and the 1856 Bristow Survey of Meadowvale show Second Line W. as the easterly boundary of the Village and do not include the properties along the east side of the road.

Analysis:

The City of Mississauga Heritage Register statement of Architectural Significance for 7059 Second Line W. records as follows:

This is a two and one half storey residential structure with red brick cedar shake siding only on the upper half storey. The foundation of the structure is credit valley stone, while the roof has asphalt shingling. There is a west three bay asymmetrical facade. There are modern vertically siding windows, straight lintels and sills, cast concrete. The first floor windows have leaded stained glass (note: front window only), with the top half storey having four paned, fixed, double hung six over one windows with decorative dentil course. Noted additions to the building include a southeast enclosed entrance with a pyramidal roof and shiplap siding (note: this roof does not now exist, the siding is board & batten). There is also a front verandah, with a shed roof that is supported by brick piers with wooden piers. Wooden purlins are visible under the eaves. There is a north externally bracketed chimney on the building. Outbuildings on the property consist of a gazebo with a wood octagonal roof and a single storey two door garage (note: the gazebo no longer exists). The structure has generous setbacks and maintains an open, rural character from neighbouring properties. Heritage Attributes: The original shape, form, design and materials of the Edwardian style of architecture. Its location and landscaping of mature trees and open green space on all sides. Statement of Significance: The house and property at 7059 Second Line West has historical significance in its association with the South family and the early twentieth century development of the Village. The house has architectural significance in that it is the only Edwardian style residence within the Meadowvale Village HCD and is a good example of this style in its style, shape, form and materials. The context is significant as the property and residence contribute to the streetscape and illustrate the Village pattern of building within a large lot creating open green space on all sides with the retention of mature trees.

The Meadowvale Village HCD Property Inventory (2014) further notes:

This parcel of land was once part of the Goaderham farm which extended down the full length of Second Line West from Old Derry Road to past the Derry Road by-pass. When the Goaderhams sold the property in 1909 it went to George (Harold) South who took over the Goaderham farmhouse at the end of Second Line West just south of the Derry Road by-pass. South severed off a parcel of the land and built the two storey Edwardian style house for himself in 1918. In the 1960s, the land was subdivided where the South's daughter and her husband built a one storey bungalow next to her parents.

The property is one of the largest lots remaining in the Village and the property, including the house, has changed little in the last few decades. Therefore, it is another fine example of a property that has retained its original cultural heritage attributes which can be directly linked back to both the practical and aesthetic design George South envisioned for his property.

The two storey red brick house is the only Edwardian style structure in the Village HCD. The house has two bays on the front facade with a deep open porch across the front supported by wood columns on brick piers. The house

¹³ Hicks, p.110

remains fairly true to its original shape, form and design. Same windows have been replaced but in a traditional pattern, form and materials.

The house is setback from Second Line West with a row of mature trees along the front property line and a very generous side yard on the south side and rear yard. The house has maintained a country farmhouse appearance with its mature landscaping and open space.

Heritage Attributes:

- The original shape, form, massing, design and materials of the Edwardian style of architecture.
- Its location and landscaping of mature trees and open green space on all sides

Statement of Significance:

The house and property at 7059 Second Line West has historical significance in its association with the South family and the early twentieth century development of the Village. The house has architectural significance in that it is the only Edwardian style residence within the Meadowdale Village HCD and is a good example of this style in its style, shape, massing, form and materials. The context is significant as the property and residence contribute to the streetscape and illustrate the Village pattern of building within a large lot creating open green space on all sides with the retention of mature trees.

The predominant cultural heritage value of this site is then:

- the Edwardian architectural style of the building
- the original building materials including brick finish, stone foundation, cedar shingle gable and dormer details
- the original front porch
- the large lot size and open yards around the building
- the extent of tree coverage

Proposal:

The proposal is to do interior renovations to the building and a small rear addition to allow the main floor to be used as programming space associated with the adjacent Rotherglenn School. The intention is that this will be used for Art and periodic programming – not as continuous classroom space. The second and third stories will be used as offices by school staff. The basement will remain as mechanical space. There will be no student use of the second or third stories or the basement.

The proposed addition will follow from the flat roof architectural style of the existing addition and will be seamless with it. To guarantee this seamless transition, and because the existing siding and trimwork is showing signs of decay, the board & batten siding on the addition will be replaced with new material of matching dimension and profile.

To facilitate the addition one original window will be removed on the rear elevation along with some of the original brick exterior wall.

Windows in the proposed addition will be vinyl to match those in the existing addition. Trims and porch details will be painted wood or weather-proof material painted to give the appearance of wood..

The architecture and detailing of the proposed addition is generally simple and derives from the existing building addition while not intending to mimic or replicate historic detailing.

The proposal will also require the creation of a footpath to join the new rear entrance of this building to the main campus of Rotherglen School.

The additions and modifications to the building will not be visible from the street and the cultural heritage value of the building will be maintained.

Ontario Building Code implications:

In order to comply with Building Code requirements for the new use there will need to be upgrades to the building as regards fire safety, exiting and universal accessibility. Two new universally accessible washrooms will be created on the main floor and a new universally accessible entrance created at the rear of the building. This will necessitate the construction of a main floor addition of approximately 170 sq. ft. together with a covered porch area of approximately 70 sq. ft. The porch will include a wheelchair lift to allow universal access to the main floor of the building.

To comply with Building Code requirements for exiting two exterior metal fire escapes will be created. One will lead from the third floor to the existing flat roof addition at the rear of the building. The other metal fire escape will lead from this flat roof to the ground.

To comply with Building Code requirements for life safety the building will require extensive renovations to the interior. The existing staircase will be removed and a new fire separated exit structure constructed in its place. The existing floor assemblies need to be strengthened to support increased floor loading and to function as horizontal fire separations. The electrical, heating and plumbing systems will be completely upgraded and the building will be sprinklered. The kitchen will be removed. The impact of these renovations to the interior finishes will be considerable however the owner's intention is to conserve and re-use as much of the existing interior trimwork and doors as possible. To comply with Building Code requirements regarding the protection of exits, one existing sliding door in the rear addition will have to be removed and two windows will need to be replaced with fixed, wired glass units in metal frames.

The Building Code also requires that one accessible parking space be provided on the property.

The proposed addition, wheelchair lift and fire escapes will be entirely behind the existing building. There will be no change to the streetscape or to the front appearance of the building, and only minimal change to the rear. There will be removal of part of the original rear wall of the heritage building and part of the wall of the 1991 addition but no original building fabric visible from the street will be affected. The quantity of removed material is small and does not include any parts of the building fabric that are important as regards maintaining the heritage character of the building.

Mississauga Fire Route By-law implications:

The City of Mississauga Fire Route By-law requires that the existing driveway be widened to create a fire route. In practice, because the existing driveway is not perpendicular to the road and because of the loading and turning radius requirements for a fire route it means that the existing driveway will have to be removed and a new, much wider driveway created. The present driveway is approx. 3.0m wide and the fire route is required to be 6.0m wide. This will require the removal of one mature tree in the City boulevard and two smaller private trees on the property.

Zoning By-Law:

The subject property is zoned R1-32 under the City Zoning By-law 0225-2007. This is a fairly restrictive by-law that is specific to the Old Meadowvale Village area only.

The proposal meets the applicable zoning by-law with the exception of a minor variance required for the proposed use, driveway width (required because of the fire route and the handicapped parking requirement) and the presence of a flat roof. Staff have indicated that they will support these variances.

The existing building is non-compliant as regards building height however that is an existing condition and no changes to the building height are proposed. The existing flat roof is also non-compliant.

Meadowvale Village Heritage Conservation District Plan:

The proposal meets the intent of the Meadowvale Village Heritage Conservation District Plan (2014), as regards massing, materials, detailing and general design principles (see Appendix).

Conservation Principles¹⁴:

Respect for documentary evidence: no conservation work or restoration of the existing building fabric is proposed.

Respect for the original location: no re-location of the heritage resource is proposed.

Respect for historic material: No repair or replacement of historic material is proposed.

Respect for original fabric: Minimal loss of integrity of original exterior materials is proposed. This loss is confined to some original brick material and one window at the rear of the building.

Reversibility: Original bricks removed from the rear wall are recommended for retention on site for future repairs or in the event that the additions are reversed.

Legibility: The proposed addition is demonstrably different from the original heritage building.

Maintenance: The proposed use makes the likelihood of regular future maintenance very high.

¹⁴ Ontario Heritage Trust: "Eight Guiding Principles in the Conservation of Heritage Properties"

Alternative Design Options:

The project requires, at a minimum, an addition to the main floor of the building to facilitate the new washrooms required, an elevator or ramp facility to permit barrier free access to the main floor and a secondary exiting facility from the upper floors. Options for ramps were explored but given the height of the existing main floor from grade level any ramp would have to be quite long, be dominating to the rear of the property and visible from the street. The wheelchair lift option was chosen because it was the least intrusive way of accomplishing the barrier-free requirement.

The location of the proposed addition, at a natural recess created by the intersection of the heritage building and the 1990 addition was chosen to resolve this awkward condition and because it was not visible from the street. Other options were explored but this was the least intrusive and resolved this unfortunate, existing condition.



Partial rear elevation showing representation of proposed addition. Addition was chosen to be located here so as not to be visible from the street and to resolve an unfortunate existing condition

Other options to address the second and third floor exiting requirements were explored but these would all have involved some kind of additional enclosed stairway coming down from the upper floors. This would have dramatically increased the size of the required addition and resulted in a major change to the rear elevation of the building. The fire escape option was chosen because it is minimally intrusive and easily reversible.

Options for the required fire route were explored but the City requirements for these facilities is mandated in the By-law and no less intrusive options were available.

Summary Statement and Conservation Recommendations:

The existing building at 7059 is a good example of Edwardian Classicism relatively little modified from its original construction. Despite being atypical of the majority of buildings in the Meadowville Village Heritage Conservation District it supports the character of the Village by giving an indication of the evolution of the Village over time. Its generous site and deep setbacks also help to support the aims of the District Plan.

The building is associated with long term ownership by the South family but there is no evidence that they were of particular local importance.

The proposed change of use of the building from single family residential to institutional supporting the adjacent Rotherglen School is highly positive because it associates the building with this very successful example of adaptive re-use of a heritage resource and by doing so assures ongoing interest and maintenance but without creating increased traffic or parking demand.

The proposed renovations to the building are minimal and not visible from the street. The greatest impact will come from the required fire route, however notwithstanding the 3.0m maximum driveway width in the Zoning By-law numerous examples of 6.0m driveways exist in the community, especially along Second Line W. The driveway will be larger than the existing but not atypical in the community.

The proposed renovated dwelling at 7059 Second Line W. is appropriately designed for its site and meets the intent of all applicable laws, policies and requirements associated with its design. During the construction process as much of the existing topography and tree canopy should be retained as possible.

The original bricks, original window and any other original materials removed in the course of the renovations should not be discarded but stored on-site to be used for future repairs or in the event that there is a desire to reverse these changes.

There may be some minor re-pointing of masonry necessary. If so this should be done using mortar matching the existing in colour and composition of the existing, to be confirmed through testing as necessary. New mortars should not be used to re-point heritage brick work.

Mandatory Recommendation:

The property must be evaluated under the criteria for designation under Ontario Regulation 9/06, *Ontario Heritage Act*. This is the part of the Act that allows designation of individual designations (Part IV designations). The criteria area:

1. The property has design value or physical value because it,

- i. is a rare, unique, representative or early example of a style, type, expression, material or construction method.
- ii. displays a high degree of craftsmanship or artistic merit, or
- iii. demonstrates a high degree of technical or scientific achievement.

Analysis: The property is important as one of the few examples of early 20th century residential development in Meadowvale Village however its construction methods, techniques and materials were very typical for houses of this era. It is in no way unique, rare or representative of high achievement.

2. The property has historical value or associative value because it,

- i. has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to the community,
- ii. yields, or has the potential to yield, information that contributes to an understanding of a community or culture, or
- iii. demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.

Analysis: The property has associations with the Gooderham family, who were significant to the community. This importance is limited in this case because the property at the time they owned it was part of a larger farm. The South family that built and occupied the home were long term residents but of no greater significance to the community than any other resident.

3. The property has contextual value because it,

- i. is important in defining, maintaining or supporting the character of an area,
- ii. is physically, functionally, visually or historically linked to its surroundings, or
- iii. is a landmark.

Analysis: The property is not in a significant location in the community and is in no way a landmark. Because of its location it supports the character of the area relatively less than do the majority of houses in the Village.

Conclusion:

The property at 7059 Second Line W. has limited architectural, contextual and historical value and would not be worthy of Part IV designation.

Provincial Policy Statement:

Under the Provincial Policy Statement,

“Conserved: means the identification, protection, use and/or management of cultural heritage and archaeological resources in such a way that their heritage values, attributes and integrity are retained.”

Analysis:

Under this definition, and by virtue of its presence in a Heritage Conservation District, the existing property at 7059 Second Line W. does warrant conservation.

Bibliography:

Hicks, Kathleen A., Meadowvale: Mills to Millineum,
 A Heritage Tour – Meadowvale Village (Heritage Mississauga)(pamphlet)(undated)
 Heritage Mississauga Images database
 City of Mississauga – Historic Images Database
 City of Mississauga – Building Department records
 Directory of the County of Peel 1873-1874
 Websites: as noted

Appendices:

- commentary on Meadowvale Village Heritage Conservation District Plan 2014
- proposed building elevations
- existing building elevations and plans
- chain of title

Meadowvale Village Heritage Conservation District Plan 2014:

Following is an examination of this proposal against the criteria found in section 4.2.3 of that Plan:

4.2.3.1 Scale

- *Width to length ratio of principle structure or additions should be consistent with designs found within the Village*

The intent of this section was to prevent buildings and additions that were awkward or unusual in shape. The proposed addition is entirely behind the existing building. There is no change to the width to length ratio.

4.2.3.2 Locotion

- *Exterior additions should be located at the rear, or on an inconspicuous side of the building, limited in size and scale to complement the existing building and neighbouring properties*

The proposed addition to this building is located entirely behind the existing and meets this criteria.

- *Outbuildings, including garages and greenhouses, should be detached and located at the rear, or on an inconspicuous side of the building, and be limited in size and scale to complement the main structure and neighbouring properties*

The existing outbuildings will be maintained. These buildings are newer and not important to the cultural importance of the site

- *Additions at the rear should always be slightly lower than the existing roof line and stepped in at the sides in order not to overpower or dominate the existing building and the view from the street. Additions so constructed will also tend to be more compatible with adjoining properties*
- *Additions are best set back as deeply as possible from the existing front wall plane in order to be unobtrusive to the streetscape and differentiate the addition from the older structure*
- *The existing building shall maintain a dominant street presence with opportunities for landscaping in the addition's setback area*

The proposed addition very small in footprint and located entirely behind the existing building. It will be invisible from the street. The intent of these guidelines is maintained.

- *A primary pedestrian and accessible access from the street shall be encouraged*

The existing means of access and front door location from Second Line W. will be maintained.

- *Corner properties should have an equal proportion of architectural details, such as traditional windows and doors, on both street fronting façades*

This is not a corner property.

4.2.3.3 Raofline

- *The style and pitch of an existing roofline will be retained*
- *New roof dormers should be located at the side or rear rather than the principal façades, and their size, shape and form should be similar to any original darmer(s) to the structure or within the Village*

The existing roofline will be retained. No new dormers are proposed in the existing roof. The proposed roofline at the rear is consistent with the existing rear addition.

4.2.3.4 Roofing • Roofing materials should be of a style traditionally found within the Village, including wood shingles, metal and asphalt shingles

Flat roofing materials are not visible from the street.

4.2.3.5 Windows

- *Windows important to the architectural character of the building, or in view of the public realm, will be retained and not blocked or removed as part of an addition*
- *New window design will be compatible with the original in terms of proportions, rhythm and scale*
- *Modern materials may be used, however, they should have the visual appearance of traditional materials*
- *The style of new windows on an addition should be consistent with the windows of the original structure in form, size and alignment, unless they cannot be viewed from the public realm*
- *Windows should be vertically oriented with a minimum width to height ratio of 1:1 ¾*

The windows in the proposed addition will be similar to those in the existing addition.

4.2.3.6 Doors

- *Doors on an addition should be of a traditional design which is typical to that style of building*
- *Modern materials may be used, however, they should have the visual appearance of traditional materials*

The existing front door is in good condition and will be retained. Other doors will be wood or modern material painted to appear as wood and will also be appropriate to the character of the building.

4.2.3.7 Cladding

- *Cladding should be of a traditional design that is typical to the style of building*
- *Cladding materials on an addition should be different from the existing building*
- *Modern materials may be used, however, they should have the visual appearance of traditional materials.*

The existing brick cladding is in serviceable condition and will be retained. The proposed addition will be clad in board & batten to match the existing addition. To ensure that the proposed addition and existing addition are seamless, all board & batten cladding will be replaced.

4.2.3.8 Trim

- *The removal of original trim on an existing structure should be minimal when constructing an addition*
- *Modern materials may be used, however, they should have the visual appearance of traditional materials.*

No original trims will be removed.

4.2.3.9 Shutters

- *Shutters added to an addition should be of a design which is typical to the style of the original building and to the Village*
- *Modern materials may be used, however, they should have the visual appearance of traditional materials.*

There are no shutters on the existing building and none are proposed on the addition.

4.2.3.10 Stairs, Verondahs, Porches and Balconies

- *The replacement (whole or partial) of existing porches, verandahs, stairs or balconies should be discouraged except in the case of substantial deterioration, in which case the replacement should be designed and constructed in the original style*
- *New railings and staircases should be constructed in a design that is consistent with the style of the building and in the Village*

The existing front porch is in excellent condition and will be maintained.

There are new steps and a landing on the proposed addition. These will be simple wooden steps and a handrail with square wooden pickets. This is consistent with the design of the house and others in the village.

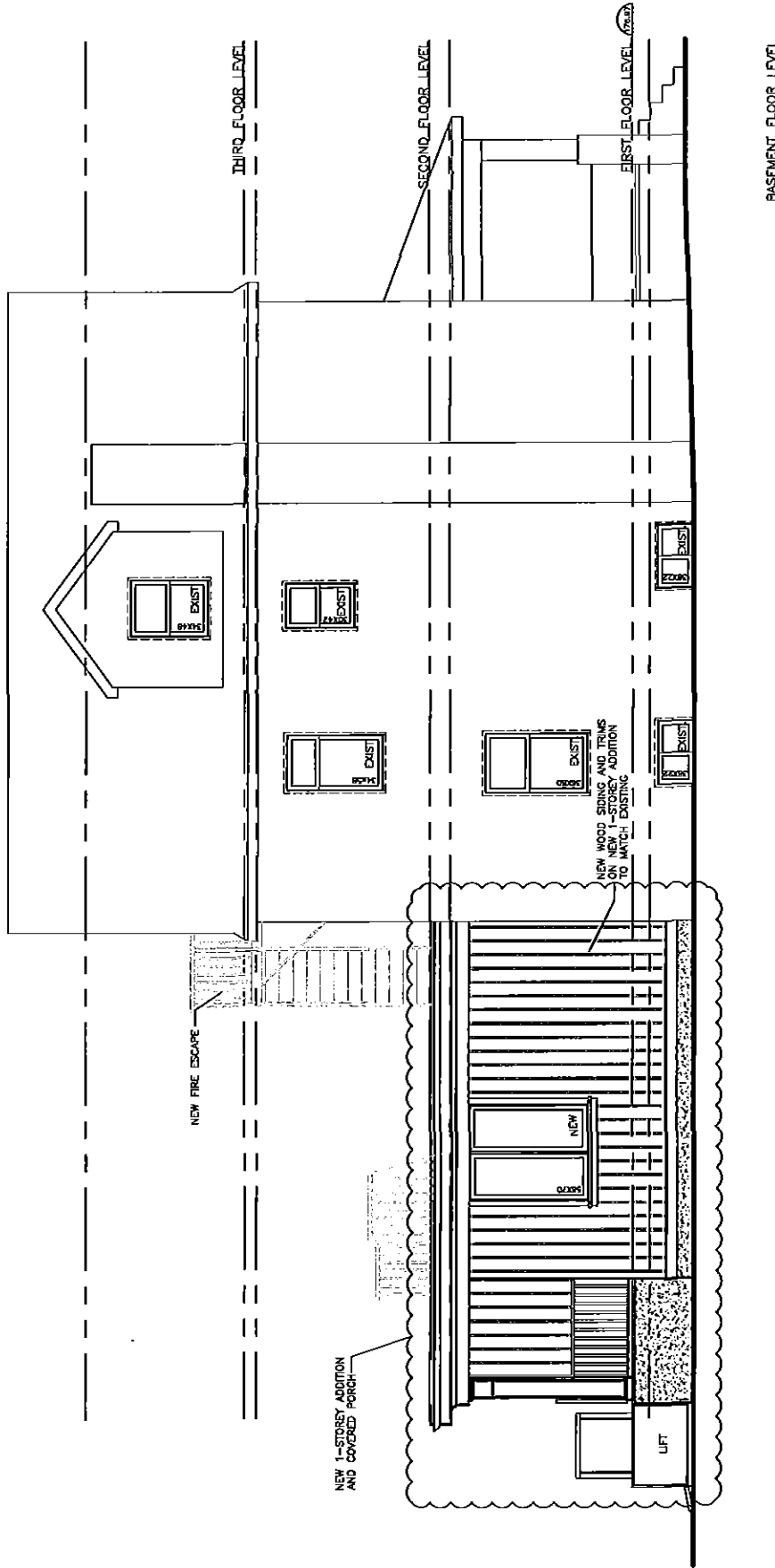
4.2.3.11 Scale

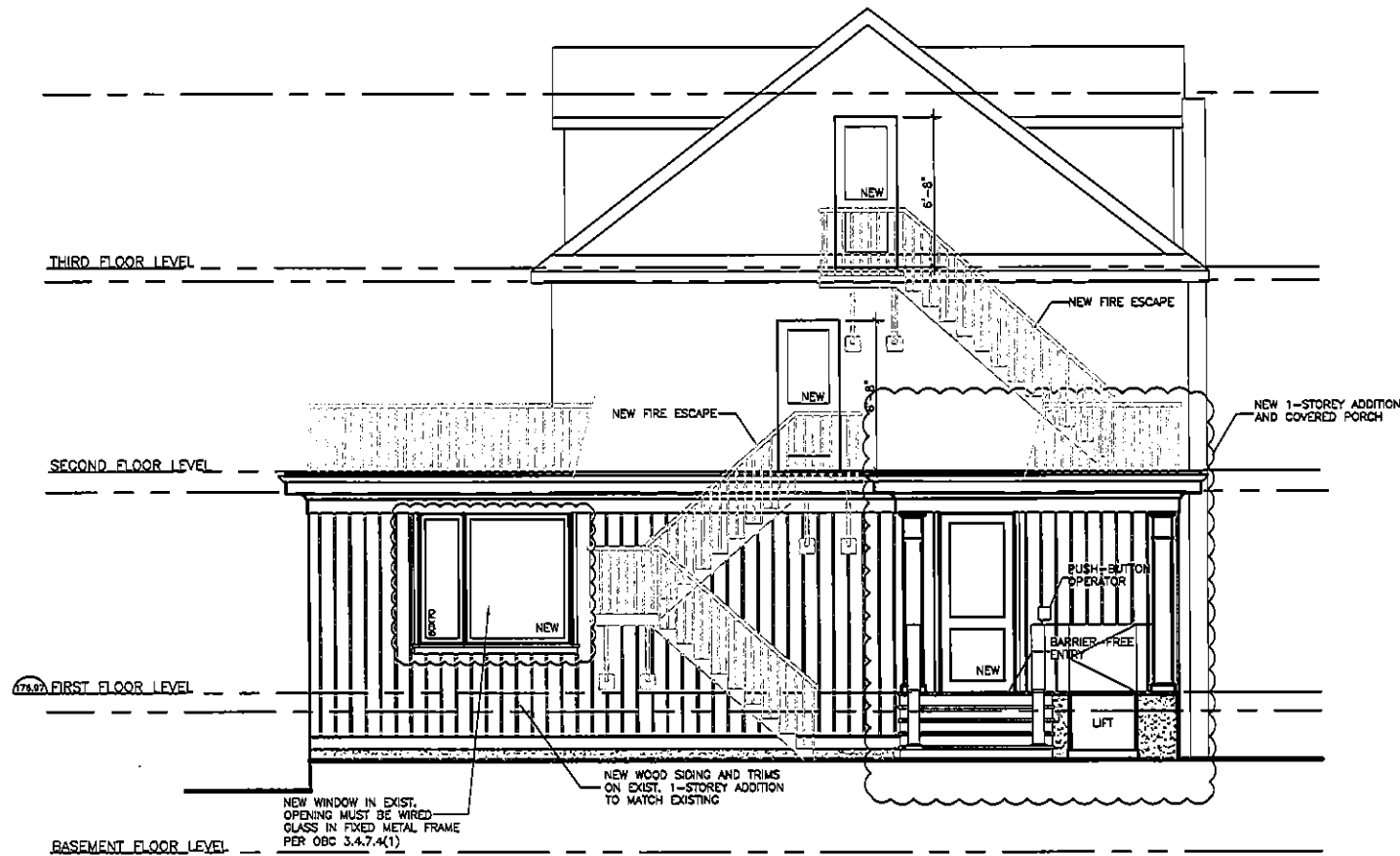
- *The design of an addition which does not alter the structure's original orientation and main entrance will be permitted*
- *The design should be of an appropriate scale to the existing structure and kept to areas away from the main façades*
- *Additions are to be complementary in design, scale, mass and form, but distinguishable from the original building*
- *Additions should allow for the retention of as much of the original structure as possible*

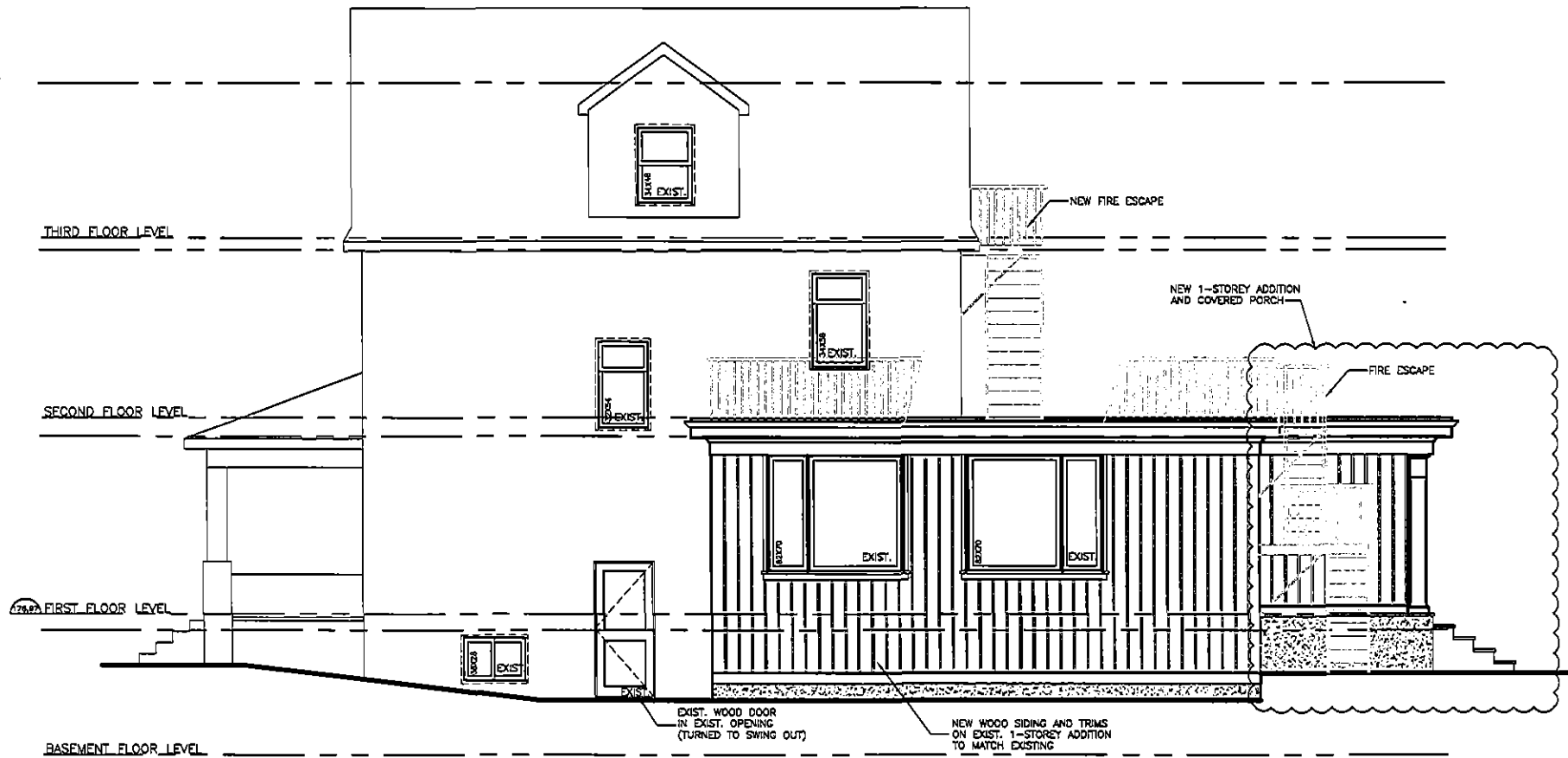
The proposed addition does not alter the original orientation and main entrance of the existing building.

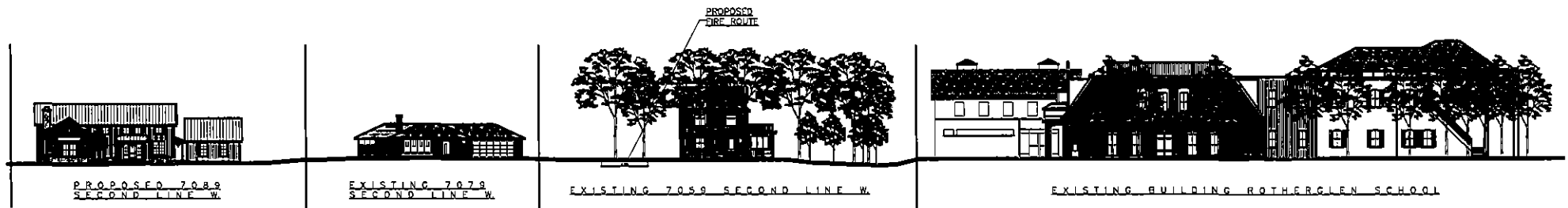
The proposed addition is highly distinguishable from the existing building and the amount of material loss from the existing building is minimal because of the addition.



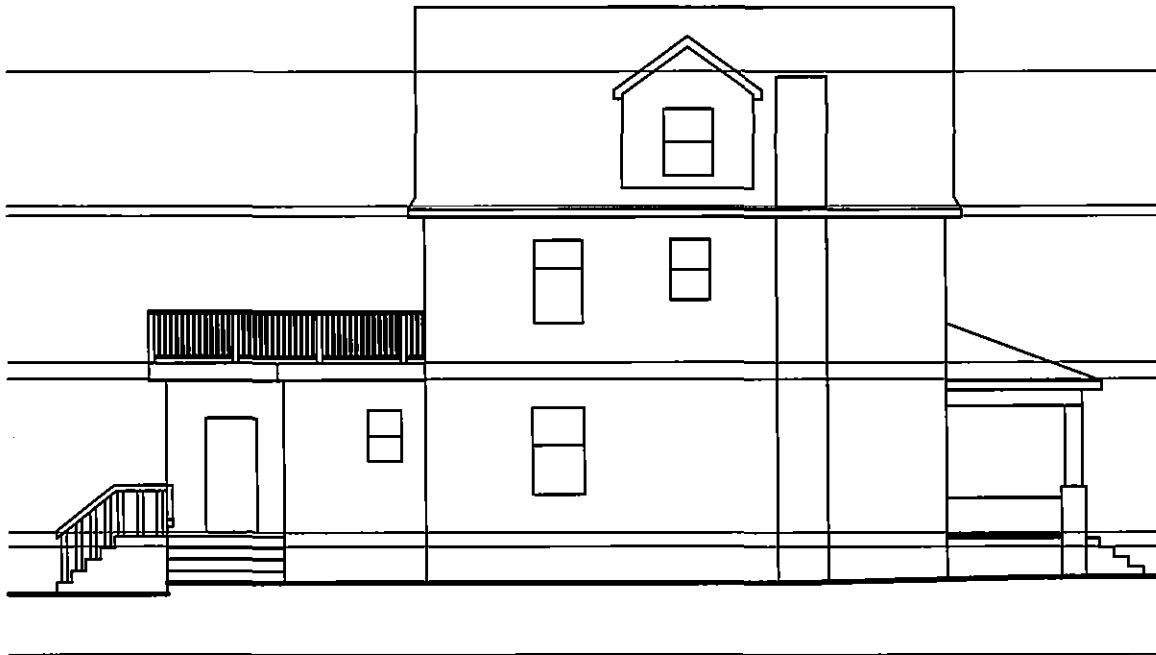




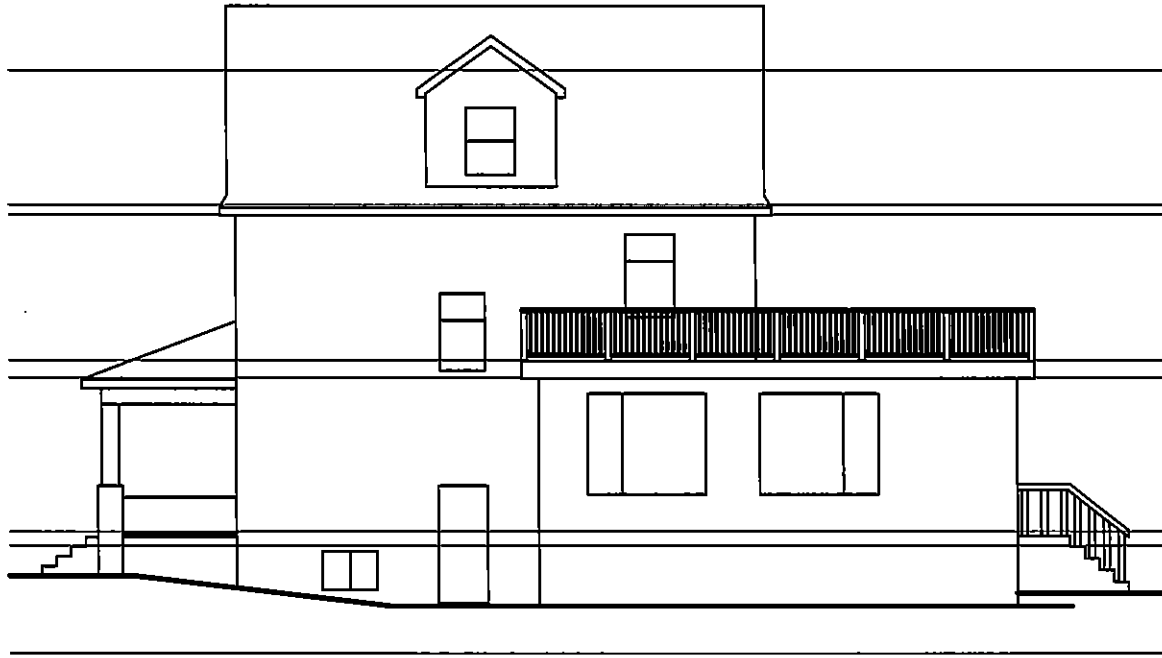


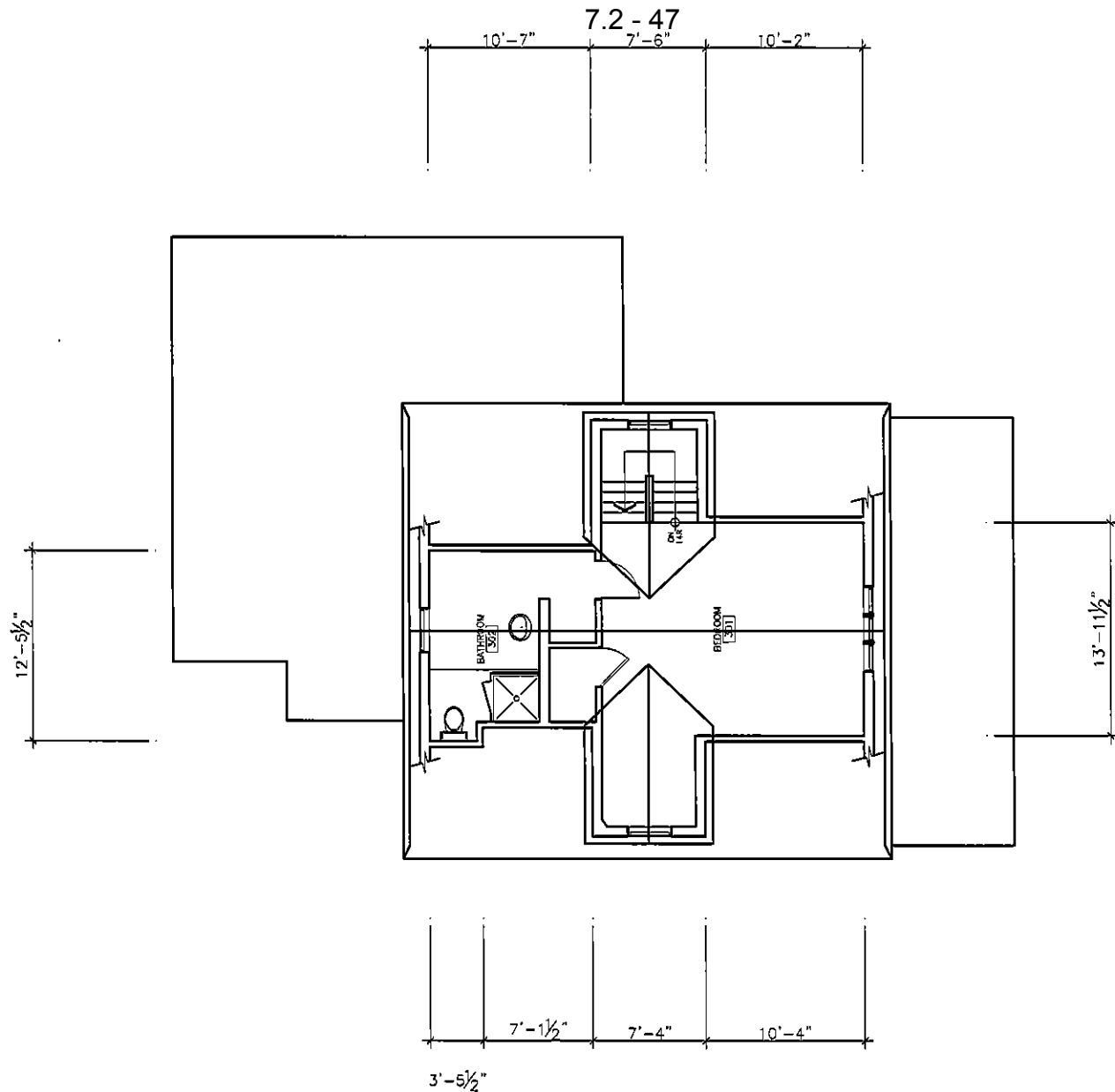












Chain of Title for PIN 14084-1928 (LT) Part Lot 11, Con 2 WHS Tor Twp as in RO717302 7059 Second Line West, Mississauga			
Deed #	Date	Transferor	Transferee
Patent	April 12 1851	The Crown	Hugh Bell
13803	Oct 23 1865	Hugh Bell	William Gooderham
2147	March 20 1877	Wm. Gooderham Sr.	Horace Gooderham
3889	April 9 1883	C. H. Gooderham	George Gooderham
13892	March 31 1910	George Gooderham	Stephen G. South
37446	Nov 24 1936	Stephen G. South Estate	Harold South
213320VS	June 5 1972	Harold A. South Estate	Annie I. South
553064	July 15 1980	Annie I. South	Lorne Davidson
RO 717302	June 21 1985	Lorne Davidson	Ron Shahar Bruria Shahar
LT1651322	July 31 1996	Ron Shahar Bruria Shahar	Elizabeth Jane Backhouse
PR2868679	Feb 16 2016	Elizabeth Jane Backhouse	
Deeds attached: RO717302, PR2868679 Title Chain from Crown by abstract name. Instruments not reviewed. For Summary purposes only. For further details see Abstracts attached.			

March 21, 2017

Heritage Conservation Management Plan – 7059 Second Line W., Mississauga ON

1. Introduction

-An executive summary of the scope of the project:

The proposal is to do interior renovations to the building and a small rear addition to allow the main floor to be used as programming space associated with the adjacent Rotherglen School. The purpose of the addition is to create a barrier-free entry to the building as required by the OBC and space for two barrier-free washrooms inside the building. The intention is that the building will be used for art and periodic programming – not as continuous classroom space. The second and third stories will be used as offices by school staff. The basement will remain as mechanical space. There will be no student use of the second or third stories or the basement.

-Background information to document the historical and development history of the site

See attached HIS report.

- Identification of the property owner and stakeholders, current and proposed use

See attached HIS report.

2. Project Description

Property Description:

- Identify the location, municipal address and provide an appropriate location map

*Part of Lot 11, Concession 2, West of Hurontario St.
7059 Second Line West, Mississauga.
See location map in attached HIS report*

- Documentation of the existing conditions to include recent specialized photograph documentation, measured drawings, site plan, identification of site features such as topography, landscaping or other on-site features

See attached HIS report.

- Landscape inventory and documentation will include a site plan, views and vistas, water features, tree location and species, land forms, geological formations, fences, walls, berms, pathways, or any other landscape features

See attached HIS report and Arborist report. There are no significant views or vistas into or out of the property. There are no water features, significant land or geological formations. There is a typical white painted board fence across the front of the property. This is not proposed to be altered.

- Identification of neighbouring properties, including any built form or features, required to illustrate the context of the subject property

See context plan in attached HIS report. To the north, east and west are single family dwellings. To the south is the former Gooderham mansion, now the Meadowvale Campus of Rotherglen School.

- Summary of the history of the property outlining its development over time within a timeframe context

See attached HIS report

- Documentation of land ownership from the original Crown Grant and subsequent records from the land registry office

See attached HIS report

B) Significance:

- Statement of cultural heritage value or interest

See attached HIS report

- Identification of the cultural heritage attributes and values of the property structures and landscape features

See attached HIS report

- Identification of any recognized significance, such as a heritage designation by- law, historic plaque, etc.

The property is part of the Old Meadowvale Heritage Conservation District but is not otherwise identified

C) Planning and Policy Status:

- Provide details of the current land use and related Official Plan policies and Zoning

The property is zoned R1-32 under the Mississauga Zoning By-law 0225-2007. See the report from Ruth Victor & Associates that discusses the Official Plan and Zoning policies and implications of this proposal

- Identify any regulatory requirements (e.g. heritage designation, flood plain requirements, etc.)

These are identified in the HIS report and in the Ruth Victor & Associates Report. There are no flood plain issues.

3. Project Objectives

- Outline what is to be achieved by this project

The intention of the project is to provide a learning center and office space for Rotherglen School. The learning center will be used for incidental art programming, not for intensive school uses.

- Provide short term and long term goals and objectives

Short term and long term goals are similar – to allow the building to function as an accessory to the neighbouring school.

- Proposed solutions for conservation of the property's heritage attributes

See attached HIS

- Provide the conservation policies to be used in this project (i.e. what conservation principles will be used to ensure long term conservation, maintenance, monitoring, and sustainable use of the property)

This is discussed in the attached HIS. Generally the existing building is in good condition, appears to have had regular routine maintenance and no conservation work is proposed. There will be minimal loss of original exterior materials. The nature of the future use makes the likelihood of long term maintenance and sustainable use very high.

4. Statement of Heritage Intent

- An explanation is required that proposes the reasoning and considerations behind the choice of conservation treatments.

As noted above and in the HIS, the scope of the project is such that minimal conservation of original materials is proposed.

- Statement as to why one period of restoration over another was selected, rationale for new interventions, background resources used such as principles and conventions of heritage conservation.

This is discussed in the attached HIS. There is no restoration proposed as part of this project and no choice of period. The rationale for the intervention at the rear of the property was that it was not visible from the street, demonstrably different from the original building and only as large as required to achieve the required barrier free access to the building.

- Statement as to the recording, inventory and disposition/retention of moveable cultural heritage resources (e.g. artifacts, archival material, salvaged material) and its incorporation into the conservation project.

As noted in the attached HIS it is recommended that any bricks salvaged from the construction be retained on-site if required for future maintenance on the building.

5. Condition Assessment of the Cultural Heritage Resource(s)

- Condition report of the cultural heritage resource(s) and specific attributes, identifying any deficiencies or concerns.

As noted in the attached HIS the building is generally in very good condition. No deficiencies or concerns were noted.

- Detailed recommendations to mediate and prevent further deterioration. Direction as to use or change in use and how that relates to conserving the heritage attributes.

The building will require ongoing maintenance but no more so than any other similar structure. The brick finish is very durable and will likely require little on-going maintenance. The proposed use will not result in any increased maintenance obligations.

- Outline opportunities and constraints with relation to all aspects of the project (i.e. budget, planning issues, public access, long term needs)

The owner has not revealed their budget for the project but given that the scope of work is not that large it is not expected to be a significant overall factor in the project. The project requires some minor variance approvals but these are generally to respect existing conditions with the exception of the variance for driveway width. This is a function of the required fire route. There are no requirements for public access. There are no significant long term needs associated with the building.

- Recommendations for conservation treatments that reference the framework provided in Parks Canada Standards and Guidelines for the Conservation of Historic Places In Canada.

See Appendix at end of this document.

6. Building System and Legal Considerations

- Statement to explain the building and site use from a practical, logistical and legal perspective

The site presently functions as a single family home and has done so since its construction about 1920. The property is relatively large by urban standards and it is connected to the street by a single car driveway leading to a detached garage. The building is generally unremarkable in the local community. The proposal is to do an adaptive re-use to allow it to function as a secondary building to the adjacent private school. This use is allowed by the zoning by-law and will require minimal intervention to the building exterior consisting of a small addition at the rear to facilitate barrier-free entry and the construction of barrier-free washrooms inside the building. There will also be a new fire escape attached to the rear of the building. The interior renovations are more extensive requiring enhanced fire separations, exiting arrangements, upgraded mechanical, electrical and sprinkler systems.

- Input from structural, mechanical, electrical, planning, geotechnical, trades, and all other required fields of expertise to ensure the project is viable and sustainable. Building and site system review may include:

- Site Work (e.g. landscaping, drainage, servicing)

Skira & Associates are the civil engineering consultants on this project. They have extensive experience in the Mississauga area.

- Trees, shrubs, other plantings,

An Arborist report has been prepared by Storybook Tree Services. There will be minimal impact on the existing vegetation.

- Archaeological concerns and mitigation

Amick Consultants Limited have been retained to do the necessary archaeological investigations

- Structural elements (e.g. foundation, load bearing)

Centric Engineering Corporation have been retained to do the required structural engineering consulting

- Building Envelope (roof, wall cladding, window type), Ontario Building Code, Accessibility

SMDA and Belinda Jones Architect are the architectural consultants on the project

- Mechanical, Plumbing, Electrical

YMSD Consulting have been retained to do mechanical, plumbing and electrical consulting

- Finishes and Hardware

No significant finishes or hardware are proposed

- Fire Safety and Suppression

Demand Sprinkler Design Inc. have been retained to design the sprinkler system

- Environmental Considerations, Lighting, Signage and Wayfinding, Security

No significant environmental considerations are expected. There is no requirement for significant lighting, signage, wayfinding or security as part of this proposal.

- Legal Considerations (e.g. easements, encroachments, leasing, etc.)

The present owners are also the proposed operators of the building. There are no leasing arrangements. There are no encroachments or other legal issues.

7. Work Plan

- Timeline to describe, in chronological order, to meet the objectives and goals Statement as to specialized trades or skills that will be required to complete the work

The work will consist of:

- removal of interior partition walls as necessary, kitchen, bathrooms, stairs, etc.*
- removal of interior finishes where necessary for access or where fire separations or structural elements have to be upgraded as part of the work*
- removal of existing plumbing, heating and electrical systems*
- installation of new beams and load bearing elements in basement, main and second floors*

- creation of new fire separation and new exit stair
- local demolition at rear, excavation, creation of small addition and porch, foundation for wheelchair lift
- installtion of new mechanical and electrical systems
- installation of fire sprinkler system
- installation of required fire separations
- interior finishing – completion of new bathrooms, etc.
- creation of new path to join building to Rotherglen School campus
- installation of new fire route
- installation of fire escape at rear of building

The work will require qualified local trades but nothing particularly specialized. It is not expected that it will be difficult to find trades to execute the work.

- Proposed budget to meet and sustain the goals and timeline; long term and short term maintenance schedule

The budget has not been finalized. There will be ongoing maintenance of the building by the school similar to that of their present building. The school now occupies a Part IV designated building so they are aware of the maintenance needs of a heritage building.

- Monitoring schedule, process and identify those responsible for monitoring

The professionals noted above will be responsible for review during the construction period.

8. Qualifications

- Heritage Conservation Management Plans will only be prepared by accredited, qualified professionals with demonstrated experience in the field of heritage conservation

A CV for Rick Mateljan is attached.

- Conservation Plans are usually a multidiscipline exercise whereby all consultants on the project must demonstrate accredited professionalism, experience and knowledge in their chosen field of expertise

All of the consultants are appropriately licensed in Ontario and have experience on similar projects.

9. Additional Information

- Bibliography of all documentation resources
- List of consultants and other professionals related to the project

The Consultant team is named above.

10. Additional Reports that may be required:

- Archaeological report, Arborist's report, Structural engineering report

Noted above

- Any other report that City staff may require to assess the project

11. Approval Authority

The City of Mississauga will be the approval authority for a Heritage Conservation Management Plan

Contact Information:

Inquiries regarding the submission and requirements of a Heritage Conservation Management Plan should be addressed to Heritage Planning, Culture Division, City of Mississauga

Email: culture.division@mississauga.ca

APPENDIX:

Commentary based on Parks Canada Standards and Guidelines for the Conservation of Historic Places In Canada

1. Conserve the heritage value of a historic place. Do not remove, replace or substantially alter its intact or repairable character-defining elements. Do not move a part of a historic place if its current location is a character-defining element.

No removal, replacement or repair of character-defining elements is proposed. No movement of any part of the building is proposed.

2. Conserve changes to a historic place that, over time, have become character-defining elements in their own right.

The flat roofed addition to the building that was added in 1991 is not really a character-defining element in its own right but is being retained and the proposed addition will be seamless with this.

3. Conserve heritage value by adopting an approach calling for minimal intervention.

The proposed intervention to the exterior of the building is minimal. The intervention on the interior is greater in scope but only to the extent that the OBC and the owner's space utilization requirements demand. Existing trims and finishes will be retained where possible.

4. Recognize each historic place as a physical record of its time, place and use. Do not create a false sense of historical development by adding elements from other historic places or other properties, or by combining features of the same property that never coexisted.

There is no attempt to create a false sense of development.

5. Find a use for a historic place that requires minimal or no change to its character-defining elements.

The proposed use is an excellent adaptive re-use of this property.

6. Protect and, if necessary, stabilize a historic place until any subsequent intervention is undertaken. Protect and preserve archaeological resources in place. Where there is potential for disturbing archaeological resources, take mitigation measures to limit damage and loss of information.

An archaeological investigation will be undertaken and the results provided as noted above.

7. Evaluate the existing condition of character-defining elements to determine the appropriate intervention needed. Use the gentlest means possible for any intervention. Respect heritage value when undertaking an intervention.

The existing condition of the building is good. The only character defining elements of the building proposed to be altered are some areas of original brickwork at the rear of the building necessary to

create the addition. One original window will be removed at the rear of the building. Generally, this is a gentle intervention to the existing building.

8. Maintain character-defining elements on an ongoing basis. Repair character- defining elements by reinforcing their materials using recognized conservation methods. Replace in kind any extensively deteriorated or missing parts of character-defining elements, where there are surviving prototypes.

Noted. No repair or replacement of character defining elements are proposed.

9. Make any intervention needed to preserve character-defining elements physically and visually compatible with the historic place and identifiable on close inspection. Document any intervention for future reference.

The interventions will be high quality and will be demonstrably different from the original building. The original building is documented in the HIS report attached.

RICK MATELJAN Lic. Tech. OAA
 3566 Eglinton Ave. W., Mississauga, ON
 (t) 416 315 4567 (e) rick.mateljan@smda.ca

curriculum vitae

Education:

- | | |
|-----------|--|
| 1978-1983 | Trinity College, University of Toronto <ul style="list-style-type: none"> • B. A. (4 year) (Specialist English, Specialist History) |
| 1994-1995 | Ryerson Polytechnic University <ul style="list-style-type: none"> • detailing of residential and institutional buildings, OBC, technical and presentation drawing |
| 1997-2006 | Royal Architectural Institute of Canada Syllabus Program <ul style="list-style-type: none"> • program of study leading to a professional degree in architecture |
-

Employment:

- | | |
|----------------|---|
| 2010 - Present | Strickland Mateljan Design Associates Ltd.(Partner) <ul style="list-style-type: none"> • architectural design practice specializing in custom residential and small commercial /institutional projects, land development consultation, adaptive re-use, heritage conservation • heritage and urban design consulting for complex infill projects • responsible for management, business development, marketing and project delivery • extensive experience in municipal approvals, heritage approvals • Ontario Association of Architects licence with terms, conditions and limitations |
| 2001 - 2010 | Gren Weis Architect and Associates, Designer and Project Manager <ul style="list-style-type: none"> • design, design development, conceptual, working and presentation drawings, project co-ordination, site review, liaison with authorities having jurisdiction • extensive client, consultant and building site involvement • extensive experience in multi-disciplinary team environments • specialist at Municipal Approvals, Site Plan and Re-zoning approvals, OMB appeals • specialist at renovation and conservation of Heritage buildings, infill developments in Heritage communities • corporate communication, advertising and photography |

1993-2001

Diversified Design Corporation, Owner

- conceptual design, design development, working drawings, approvals and construction for custom residential, institutional and commercial projects

Recent professional development:

2012	OAA – Admission Course
2010	Georgian College – “Small Buildings”
2010	Successfully completed Ministry of Municipal Affairs and Housing “Small Buildings” and “Designer Legal” examinations
2010	Successfully completed OACETT professional practice exam
2008	Qualified to give testimony before the Ontario Municipal Board
2007	OAA – Heritage Conservation in Practice
2006	RAIC – Standards and Guidelines for the Conservation of Historic Places in Canada

Activities:

2014 -2015	Guest critic, University of Waterloo Architectural Practice Program
2012-present	Member, Board of Directors, OAAAS and member of the OAAAS Student Award Jury
2011-present	Member, Editorial Committee, OAA Perspectives magazine
2008-2015	Member, Board of Directors of Oakville Galleries (President 2011-2013)
2007-present	Member, Mississauga Heritage Advisory Committee (vice-chair from 2015), member of the Heritage Award jury and Heritage Property Grant Panel
1995-2001	Member, Oakville Local Architectural Conservation Advisory Committee and Oakville Heritage Review Committee (Chair from 1998)
2001-2004	Alternate Member, Oakville Committee of Adjustment (appointed but never called to serve)

Memberships:

Ontario Association of Architects
 Ontario Association of Applied Architectural Sciences



Ruth Victor & Associates

481 North Service Road West
A-33, Oakville, ON L6M 2V6
rvassociates.ca
P 905-257-3590
E admin@rvassociates.ca

February 10, 2017

Committee of Adjustment
City of Mississauga
300 City Centre Drive
Mississauga, ON L5B 3C1

Attention: Mr. David Martin, Secretary Treasurer Committee of Adjustment

Dear Mr. Martin:

RE: Minor Variance Application
Rotherglen Creative Spaces Ltd.
7059 Second Line West
Part Lot 2, Concession 2 WHS

Ruth Victor & Associates is the planning consultant for the registered owner of the property at 7059 Second Line West in the City of Mississauga (herein referred to as the "subject property").

The subject property is located on the east side of Second Line West, north of Old Derry Road, west of Gaslamp Walk, and south of Derry Road West. The municipal address for the property is Part Lot 11, Concession 2 WHS. The subject property has a site area of 2833.70sqm and a lot frontage of 50.25m onto Second Line West. The subject property is occupied by a residential 2 and a half-storey brick dwelling and a one-storey garage. The abutting property to the south is that of the Rotherglen School's Meadowvale Elementary Campus.

PROPOSED VARIANCE

To permit the construction of a one-storey addition at the rear to the existing building and to recognize various non-conforming aspects of the existing dwelling that is being repurposed for Private School uses, the following variances are required under Zoning By-Law 0025-2007:

1. To permit the existing dwelling height of 10.32m, whereas Section 4.2.2.32.5 allows for a maximum height of 7.5m;
2. To permit the existing detached garage to remain with a floor area of 59.2sqm, whereas Section 4.2.2.32.8 permits a maximum of 50sqm;
3. To permit the new one-storey addition and covered porch with a flat roof, whereas Section 4.2.2.32.4 does not permit a flat roof;

4. To permit the existing driveway to remain with a 3.8m landscape buffer between it and the abutting residential property (whereas Section 2.1.9.2 requires a minimum of 4.5m landscape buffer between it and an abutting residential property), and for it to include two new designated parking spaces (one being a wheelchair access space);
5. To permit two parking spaces on the subject property; and,
6. To permit a driveway width of 6.0m to address Fire route requirements, whereas Section 4.2.2.32.10 mandates a maximum driveway width of 3.0m.

PLANNING CONTEXT

Region of Peel Official Plan

The Region of Peel Official Plan ("ROP") contains policies that guide economic, environmental, and community building decisions for growth management. The policies in the ROP help to co-ordinate and set the stage for more detailed planning by local municipalities. The ROP is built on the pillars of creating a sustainable region, through the promotion of healthy communities, attention to agriculture and rural areas, a strong natural environment, and the overall servicing of the population.

The Regional Land Use Map of the ROP designates the property "Residential" (see Figure 1). As per Section 5.4.3.2.1, the ROP states that it is up to the Regional Council to provide a range and mix of residential, commercial, recreational, and institutional land uses, but that it is up to the Municipality to identify areas appropriate for such opportunities. The ROP identifies areas that are to be preserved to maintain the built heritage of the region and to encourage public and private stewardship of Peel's heritage (Sections 3.6.1.1 & 3.6.1.2).

The subject property is not located within the Credit Valley Conservation Authority Regulation Limits.

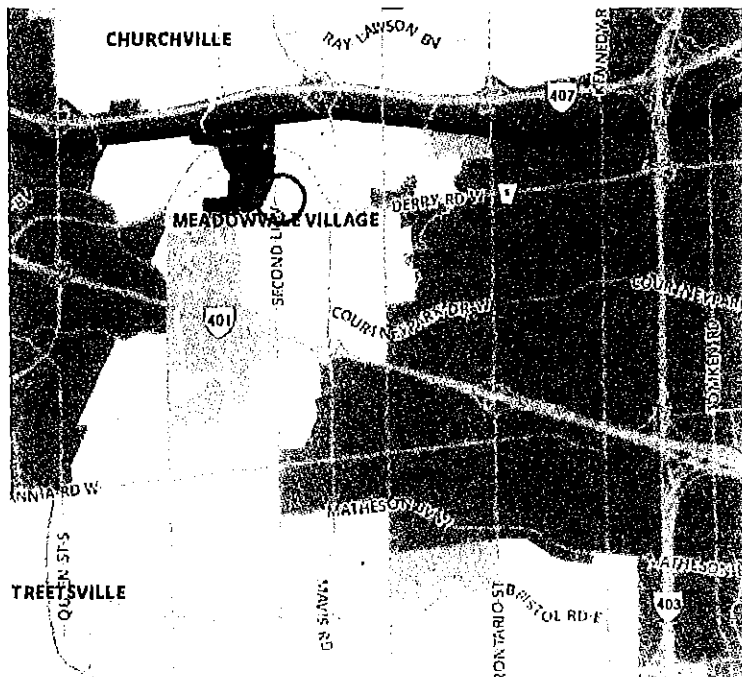


Figure 1 — ROP General Land-Use Map showing the subject lands located within the "Residential" area

Mississauga Official Plan

The Mississauga Official Plan ("MOP") provides direction for the next stage of the City's growth and articulates a vision through specific principles for both public and private sectors in the on-going evolution of the City.

The MOP designates the subject lands "Residential Low Density 1" (see Figure 2), which permits Private School uses as per section 11.2.1 & 7.3.3.

As per section 9.1, any development or alterations to property will take place in a manner that protects, enhances, and restores heritage features, and that it will be sensitive to the existing urban context and minimize undue impacts on adjacent properties. The MOP designates the subject lands as within the Meadowvale Village area (see Figure 3). The subject lands are also located within the Heritage Conservation District, which mandates that any development must maintain the rural character of the surrounding area (section 16.17.2.13). Sections 6.2.5 and 6.9.5 state that Mississauga encourages the retrofitting of existing buildings and developed sites, and that development will ensure compatibility with adjacent, existing, and future land-uses (section 6.9.5).

Section 7.3 of the MOP refers to the importance of Community Infrastructure, stating that it is a vital part of complete communities, contributing to the quality of life and well-being of residents. In addition, Section 7.3.2 states that where appropriate, community infrastructure may also be located within Neighbourhoods (in this case, Meadowvale Village). 7.3.3 supports that Community Infrastructure within Neighbourhoods may include schools, private clubs, daycare/day programs, and that it will generally serve the local or nearby Neighbourhoods. Sections 7.3.4 and 7.3.5 states that community infrastructure will be located to minimize impacts on the transportation system, and that they will be near other community infrastructure and places of gathering. In this case, the subject property is located directly abutting Rotherglen Private School Meadowvale Campus, will be used solely in conjunction with that Private School, and accessed to primarily from that abutting property. Section 7.3.6 requires that the scale, design, layout, and configuration of the community infrastructure may be limited to ensure visual and functional compatibility with surrounding development.

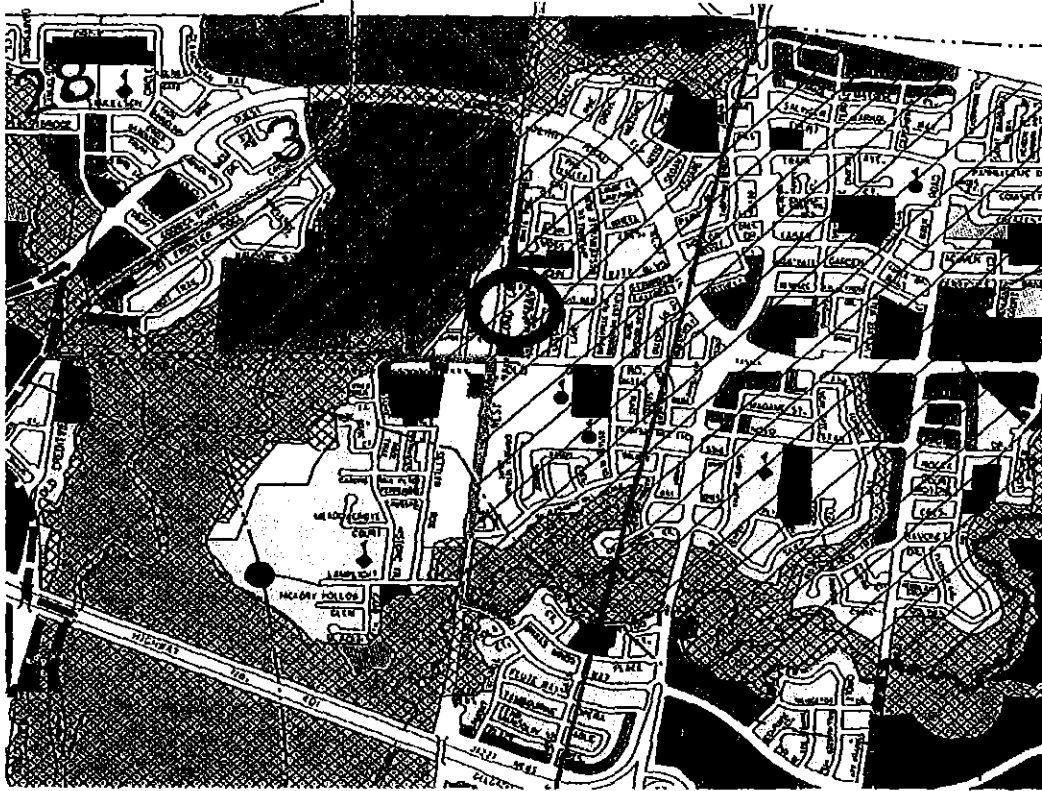


Figure 2 — Land-use Map from the Mississauga Official Plan showing the subject lands located within the "Low Density Residential I" area

16.17 Meadowvale Village

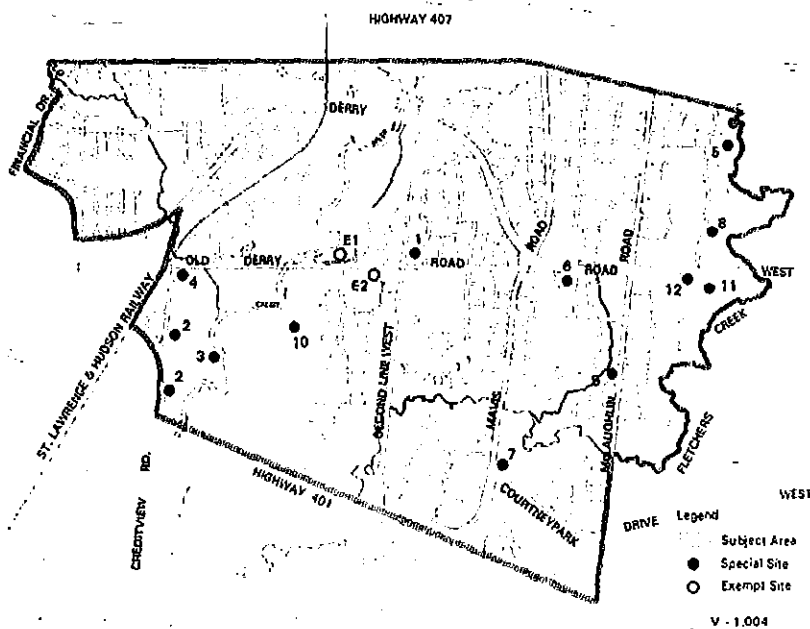


Figure 16-17: Meadowvale Village Neighbourhood Character Area

Figure 3 — Mississauga Official Plan Meadowvale Village Land Use Designation

City of Mississauga Zoning By-law 0025-2007

Under Zoning By-Law 0025-2007, the subject lands are zoned as "Residential Low Density (R1-32)". As per the policies for R1-designated lands, the use of the subject property for Private School purposes is permitted, as shown in Section 2.1.9.2 of the By-Law (see Figure 3):

2.1.9.2 Private School

In addition to the provisions contained in Parts 1 to 3 of this By-law, a private school shall comply with the provisions contained in Table 2.1.9.2 - Private School.

Table 2.1.9.2 - Private School

Line		
1.0	A private school is permitted only in these zones	R1 to R16, RM1 to RM9 and RA1 to RA5, C1 to C3, CC1 to CC4, OS1, OS2 and I zones
2.0	A private school in a non-residential zone shall comply with the regulations of the zone in which it is located	✓
2.1	The following uses shall be permitted accessory to a private school: tutoring, and recreational, social, community and charitable activities	✓
2.2	Maximum percentage of the total gross floor area that may be used for all accessory uses	20% of the gross floor area of a private school
2.3	Minimum setback from a railway right-of-way	30.0 m
2.4	Minimum setback of a parking area to a residential zone	4.5 m

Figure 3 — Section 2.1.9.2 showing the permitted Private School use within an R1 zone.

In regards to parking, Section 43.2 of the By-Law requires there to be 1.0 space per 100m² GFA (see Figure 4).

43.0	Schools:	
43.1	College, University	1.1 spaces per 100 m ² GFA - non-residential used for academic purposes; plus 0.15 spaces per resident student and/or staff
43.2	Public/Private School (up to and including Grade 8)	1.0 space per 100 m ² GFA - non-residential (excluding portables) plus 1.0 spaces per portable classroom ⁽³⁾
43.3	Public/Private School (Grade 9 and above)	1.5 spaces per 100 m ² GFA - non-residential (excluding portables) plus 1.0 spaces per portable classroom ⁽³⁾

Figure 4 — Section 43.2 of the By-Law requires that there be 1.0 parking spaces per 100m² GFA.

Under section 4.2.2.32 of the By-law (Figure 5), lands zoned as R1-32 are subject to the additional land use regulations as follows:

4.2.2.32	Exception: R1-32	Map # 44W, 45E, 52W, 53E	By-law: 0308-2011, 0192-2014
In a R1-32 zone the permitted uses and applicable regulations shall be as specified for a R1 zone except that the following uses/regulations shall apply:			
Regulations			
4.2.2.32.1	The regulations of Sentence 3.1.1.7.1 of this By-law shall not apply		
4.2.2.32.2	Minimum lot area	1 050 m ²	
4.2.2.32.3	Minimum combined width of side yards:		
	(1) one storey detached dwelling	20% of the lot frontage	
	(2) two storey detached dwelling	27% of the lot frontage	
4.2.2.32.4	A flat roof shall not be permitted		
4.2.2.32.5	Maximum height - highest ridge; sloped roof	7.5 m	
4.2.2.32.6	Maximum gross floor area - Infill residential	160 m ² plus 0.10 times the lot area	
4.2.2.32.7	An attached garage shall not be permitted		
4.2.2.32.8	Maximum floor area of a detached garage	50 m ²	
4.2.2.32.9	Maximum projection of the front garage face of a detached garage beyond any portion of the first floor front wall or exterior side wall	0.0 m	
4.2.2.32.10	Maximum driveway width	3.0 m	

Figure 5 — Table 4.2.2.32 of By-Law 0025-2007, outlining the regulations for permitted uses within an R1-32 zone.

PLANNING ANALYSIS

Minor Variance Application

Under Section 45(1) of the Planning Act, there are four tests to be satisfied for a minor variance. These are:

1. That the general intent and purpose of the Official Plan is maintained.
2. That the general intent and purpose of the Zoning By-law is maintained.
3. That the variances are desirable for the appropriate development or use of the land, building or structure in the opinion of the committee.
4. That the variance is minor.

Mississauga Official Plan (MOP)

The general intent and purpose of the Official Plan is to protect heritage areas, to permit growth in selected areas, and to prevent incompatible growth from taking place in areas associated with mature

neighbourhoods or rural areas. The subject property is located within the Meadowvale Heritage Conservation area, and the proposed use of the existing building is in conformity with the policies in the Official Plan (Section 2.1.9.2). The subject property is designated "Residential Low Density I". Under Section 11.2.1.1, any land designation (aside from Greenlands and Parkway Belt West lands) is permitted to be used for Community Infrastructure. As aforementioned, Community Infrastructure refers to "lands, buildings, and structures that support the quality of life for people and communities by providing [...] private schools [...] community facilities [and] daycare/day program."

Under Section 16.17.2.12, the rural village character of the Heritage Conservation District of Meadowvale Village must be maintained. In addition, there is a Special Site Policy (Section 16.17.5.1) for the neighbouring Rotherglen School Meadowvale Campus, which permits the integration of open space with existing buildings and structures to be used for public and/or private uses. The existing building is being preserved in accordance with the policies for this district as set out within the Heritage Impact Study completed in support of the Heritage Permit and Site Plan application.

In this case, the subject property is located directly abutting Rotherglen Private School Meadowvale Campus, will be used solely in conjunction with that Private School, and accessed primarily from that abutting property therefore resulting in no further adverse traffic impact on Second Line West.

Section 7.3.6 requires that the scale, design, layout, and configuration of the community infrastructure may be limited to ensure visual and functional compatibility with surrounding development, and the proposed variances are to permit the existing situation on the subject lands, to permit the addition of a small one-storey wooden addition to the rear of the property which is in-keeping with the architectural styles and elements of not only the subject heritage building, but the surrounding area; and to widen the driveway in order to address fire safety regulations that were identified as required by the Fire Department. The one-storey wooden addition has been designed with a flat roof to incorporate the design elements of the existing addition to the rear. The variance to permit a 3.8m buffer is to acknowledge its pre-existing condition. The variance to increase the width of the driveway from 2.2m to 6.0m is to address fire regulations and the driveway has been designed to minimize impact to both the immediate and general surrounding area by incorporating the access point, driveway, and parking area into one entryway, thus adhering to Section 9.2.1.6, which encourages the consolidation of driveway entrances.

Overall, the proposed use and variances of the subject lands maintain the general intent and purpose of the Official Plan.

Zoning By-Law (0025-2007)

As per the Zoning By-Law, the subject property is zoned as "R1-32 (Low Density Residential I)", which permits detached dwellings. As per Section 2.1.9.2 of the By-Law, lands located within Low Density Residential I zones are permitted to be used for Private School purpose as well as accessory uses to a private school (see figure 3). As set out below, the proposed variances maintain the intent and purpose of the zoning by-law.

The height of the current existing building is 10.32m to the pitch of the sloped roof, whereas Section 4.2.2.32.5 of the By-Law states that the maximum roof height be 7.5m. This variance seeks to permit the existing roofline of the detached dwelling to remain at its 10.32m height. The intent and purpose of the height provision within the zoning by-law is to ensure buildings are related in scale on adjacent parcels. The minor variance to permit the existing height of the building and roof structure, which was built in 1920, maintains the intent and purpose of the zoning by-law and as well preserves an important component of the dwelling's historic character.

Floor Area of Garage

The current existing garage has a floor area of 59.2sqm, whereas Section 4.2.2.32.8 allows a maximum of 50.0sqm. This variance seeks to increase the allowed floor area of a garage to permit its existing footprint of 59.2sqm. The garage has existed on the property for several years, and forms part of the existing context of this property.

Parking Space Buffer

The current parking lot exists with a 3.8m landscaping buffer between it and the adjacent residential property, whereas Section 2.1.9.2 mandates a buffer of 4.5m between a parking lot and an abutting residential lot. In this case, the parking area has existed for several years in its location, and it will remain in this location. The parking area will be a designated Disabled Parking Space, and will have limited use. No additional impact on the adjacent lands will occur due to the proposed variance for the 3.8m buffer.

Parking Spaces

There are two (2) proposed parking spaces located on the subject property — one (1) being a regular parking space and the other a designated disabled parking space. The Zoning By-Law requires that there be 1.0 parking space per every 100.0m². The subject dwelling has GFA of 267.42m², however according to Section 3.1.1.9 of the By-Law, which states that alternative gross floor area deductions for non-residential uses are allowed up to 5%, the total GFA (including this 5% deduction) is 254.05m², which results in 2.54 (or 3) parking spaces required in total for the subject property.

The subject property is to be used in conjunction with the abutting property to the south, Rotherglen School Meadowvale Campus, which contains an excess of 20 parking spaces that was approved by Mississauga Zoning in 2016. Sufficient parking is on the adjacent lands to address the deficiency in parking of one space on the subject property.

The abutting lands are required to have 18 spaces (based on approved calculations of the GFA's) and there are a total of 38 parking spaces provided. Thus, since the subject lands are to be used in conjunction with said property; that the neighbouring property already provides an excess of 20 parking spaces; and that a disabled parking space is located on the subject lands itself, that the additional one (1) required parking space being addressed as located on the abutting property will not result in any adverse impacts to the neighbouring properties nor the general character of the surrounding area.

One-Storey Addition

The proposed one-storey addition to the rear of the property will have a flat roof, whereas section 4.2.2.32.5 does not permit a flat roof in R1-32 zones. This is to prevent unwanted architectural features and aesthetics in a Heritage Area. However, the subject addition has been designed so that it be respectful of its context and the general character of the surrounding area, and the flat roof is to ensure that it fits and integrates well onto the existing structure. An addition with a flat roof will integrate seamlessly onto the existing rear façade.

Driveway Width

The current driveway width fronting onto Second Line West is 2.2m. As requested by the Fire Department, it is required that this driveway be widened to 6.0m to address fire safety concerns and to meet the City's requirements for a fire route. As per Section 4.2.2.32.5 of the By-Law, a maximum driveway width of 3.0m is permitted. This variance seeks to widen the driveway to adhere to the City Fire Department requirements. The entrance has been designed such that it minimizes entryways by integrating with the existing driveway, and addresses Section 4.1.9.1.2, which states that there will be a maximum of one driveway per lot in R1 zones.

Appropriate Development or Use of Land

The requested variances will result in changes to the structure which preserve its heritage elements while keeping with the general character of the surrounding area.

The proposed height, garage, and parking lot variances discussed in this letter are all to permit what currently exists. The detached dwelling has stood at its current height (10.52m) since its building date in 1920, with the roof being a key architectural and heritage feature of the dwelling — this variance seeks to permit this. Both the garage and parking lot have existed with their respective attributes and in their respective locations for several years, and this application seeks to permit them to remain where they are.

The one storey addition and porch to the rear of the property is designed to reflect and fit-in with the character of the existing building as well as integrate well into the general character of the surrounding area. There is an existing one-storey porch located on the south side of the dwelling, and the proposed addition will reflect its design. This addition is to act as an entrance hallway for anyone accessing the property from the rear and from Rotherglen School. This addition will allow easy access to the subject dwelling without use of the front of the building, the addition adheres to the Heritage Guidelines (as stated in the Heritage Report), is not visible from the street, and does not result in any adverse impacts in terms of overlook, shadowing, and privacy.

With regards to the driveway width (2.2m), it is a requirement by the Fire Department that there be a widened entranceway to allow for fire safety regulations. The minimum required width of a driveway is 6.0m, and thus this application simply supports the widening of the driveway onto Second Line West to address these safety concerns.

The variances are desirable for the appropriate development or use of the land, building or structure as set out above.

Variance Is Minor

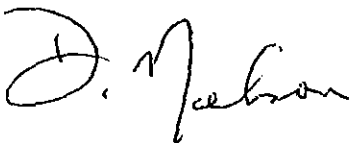
The last requirement is that the variance is minor in nature. In my opinion, the proposed variance does not result in any unacceptable adverse impacts on adjacent properties or the surrounding area and represents a sensitive reuse of the existing dwelling. Aside from the requested variances, the proposed dwelling complies to and in some instances, exceeds other regulations of Zoning By-law 2014-014. The proposed variances are minor in nature.

CONCLUSION

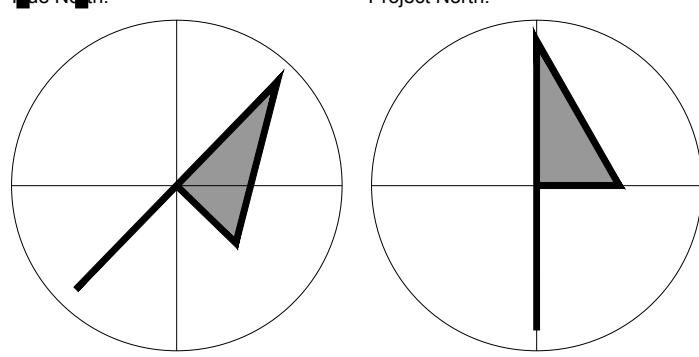
The proposed variances meet the general intent and purpose of the Official Plan and Zoning By-law, are minor in nature, and are desirable and appropriate for this property. It is my opinion that the minor variance application meets the four tests as set out in the Planning Act.

The proposed minor variance represents good planning.

Yours truly,

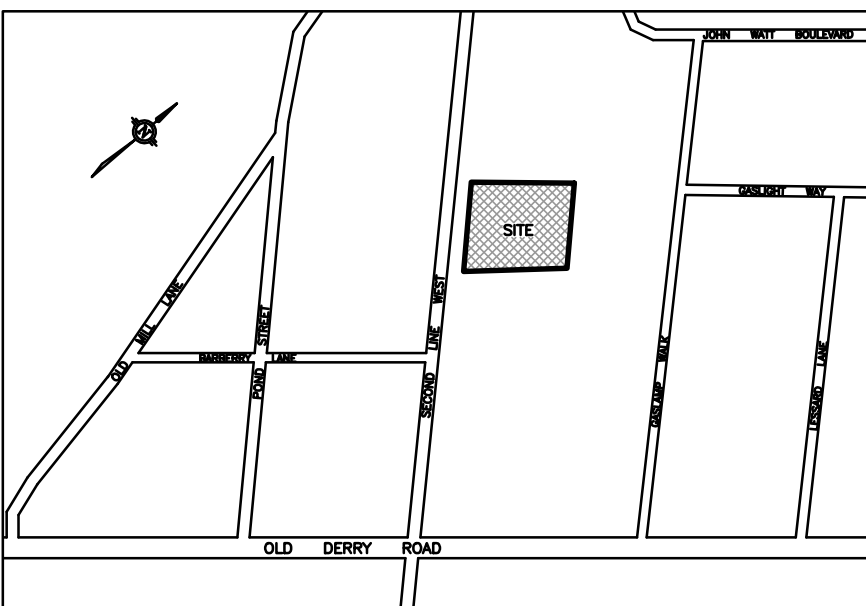

for Ruth Victor MCIP, RPP

Appendix 2



Key Plan:

SP 16/149 W11



8	Apr 4/17	Rev. paving for Zoning and Heritage, misc structure	R.M.
8	Apr 3/17	Rev. driveway, walkways for Heritage approval	R.M.
7	Mar 31/17	Revised driveway, site notes, fire route	R.M.
6	Mar 21/17	Heritage re-application	R.M.
5	Feb 3/17	For Pricing	A.B.
4	Jan 9/17	Structure Added	A.B.
3	Oct 14/16	Revisions Per Staff Comments	A.B.
2	Sept 7/16	Submitted for Pre-Consultation	A.B.
1	Aug 16/16	For Site Plan	R.M.
No.	Date	Issued/Revision	By:

Architect:

B J A
LIVE THE DREAM

Belinda Jones Architect
159 Martin Street
Milton ON
L9T 2R3

P 416-662 6024

Structural Engineer:



200 Queens Avenue, Suite 30
London ON N6A 1J3
Tel: 905 842 2848
centricengineering.ca

Prime Consultant



79 Wilson Street, Suite 301
Oakville ON L6K 3G4
Tel: 905 842 2848
smda.ca

2017 - Copyright - The drawings and specifications are confidential and shall remain the sole property of the individuals whose professional seals are attached hereto. They shall not be reproduced (in whole or in part), shared with third parties or used in any manner on other projects without their written consent. These drawings and specifications are the property of the individuals whose professional seals are attached hereto. Construction" and may not reflect actual site conditions. The contractor is to verify all dimensions and site conditions on the project and report any discrepancies immediately. Construction must conform to all applicable Codes and Requirements of Authorities having Jurisdiction. Unless otherwise noted, these drawings do not address issues of shoring, bracing, scaffolding, or other temporary construction. The contractor shall submit all drawings. Submit shop drawings for approval. No party shall have any obligation or liability (except as stated above) until a written agreement is fully executed by all parties.

Project: 7059 Second Line West, Mississauga ON

Rotherglen School

Meadowvale Campus

1 Storey Addition and Conversion of Existing 3-Storey Dwelling Into Learning Centre

Sheet Title:

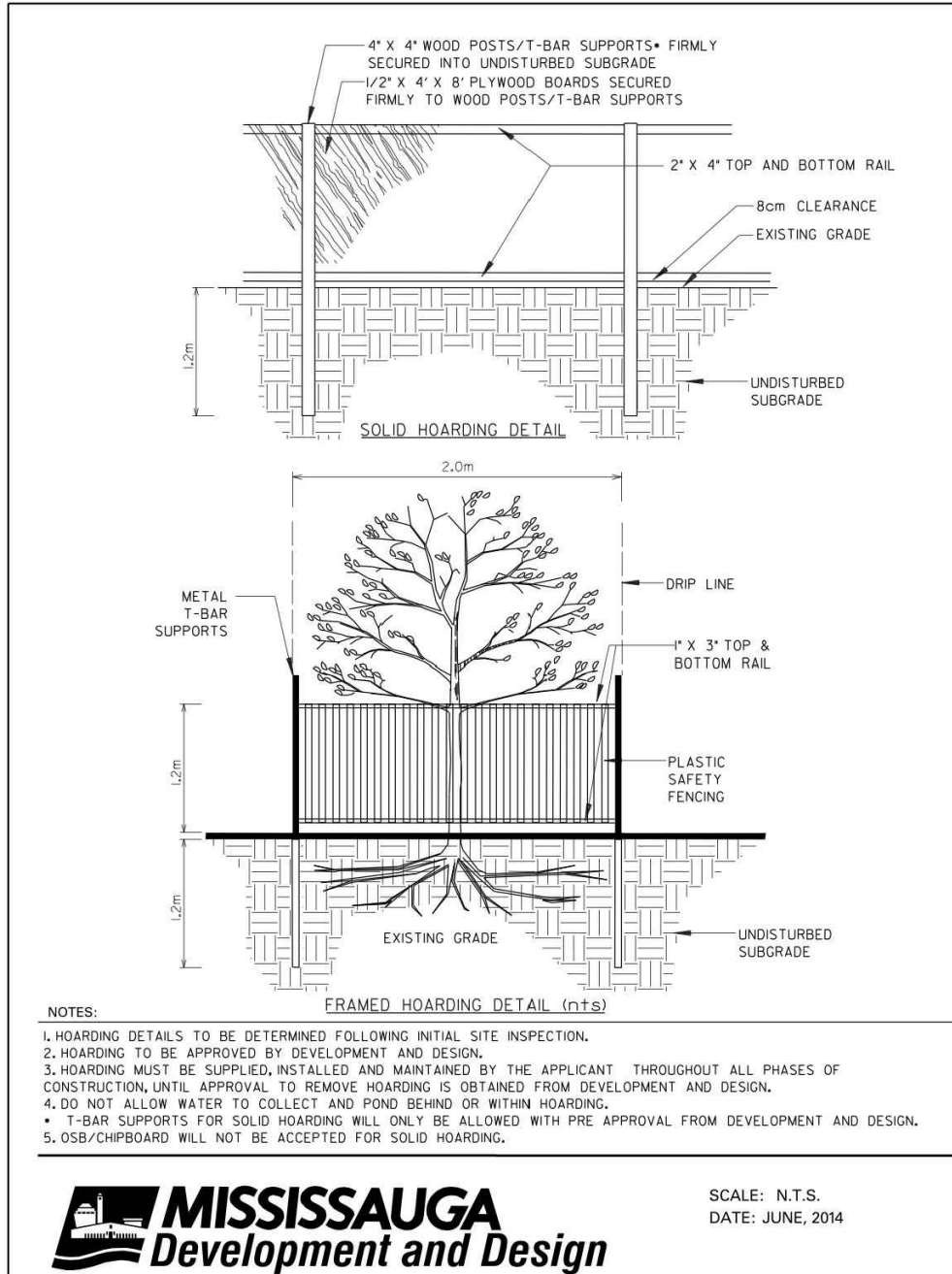
Site Plan

Scale: As Noted	Date: Aug 2016	Project No: 16.16
--------------------	-------------------	----------------------

Drawing No:

A001.1

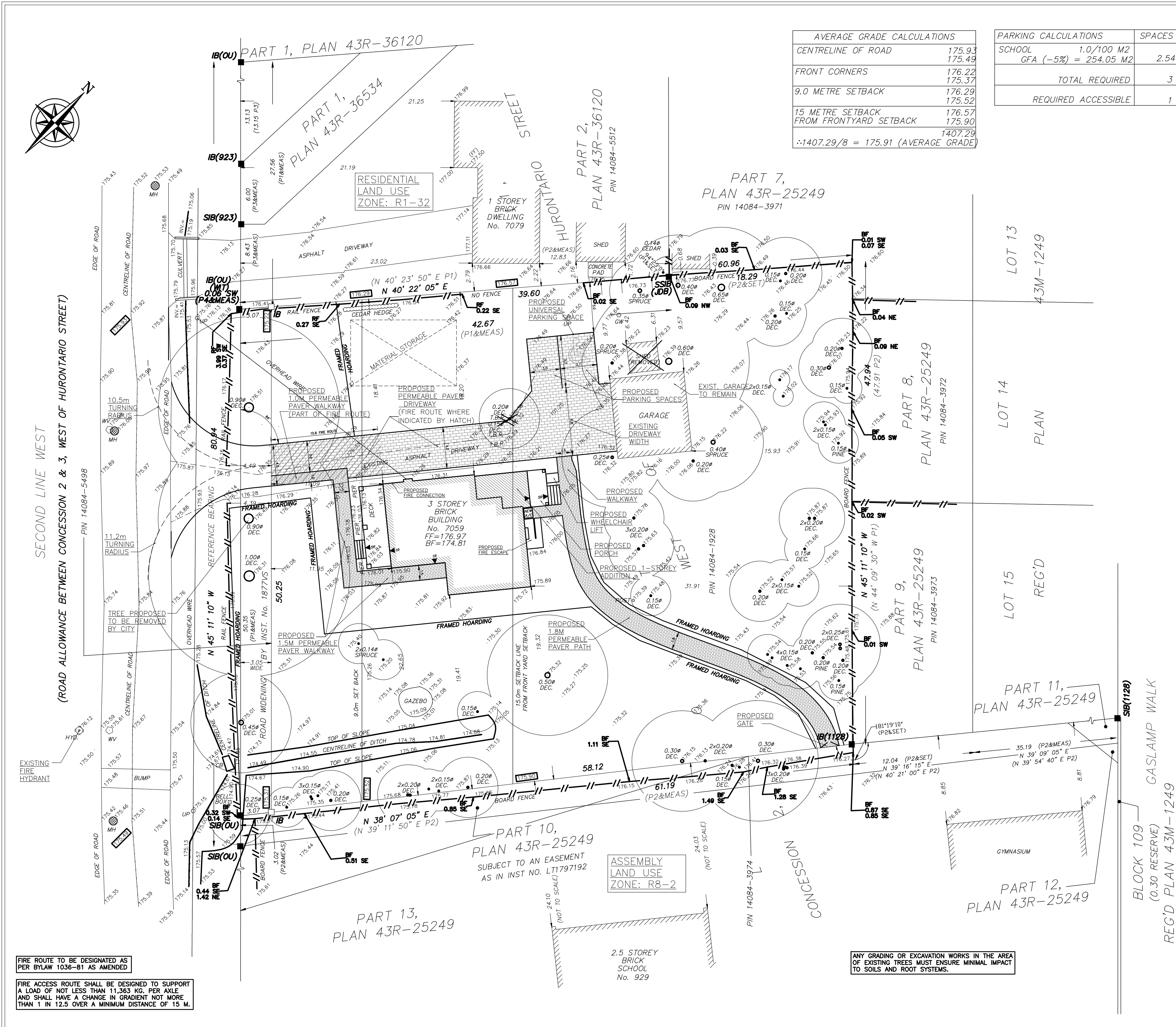
SITE STATISTICS				
DESCRIPTION	BY-LAW	EXISTING	PROPOSED	TOTAL
ZONED	R1-32			
LOT AREA	—	—	—	2833.77 m ²
LOT FRONTAGE	—	—	—	49.95 m
LOT DEPTH	—	—	—	58.00 m
COVERAGE:				
— Building	—	129.96 m ²	13.32 m ²	143.28 m ²
— Covered Porches	—	19.41 m ²	6.63 m ²	26.04 m ²
— Accessory Buildings	—	67.55 m ²	—	67.55 m ²
TOTAL:	708.44 m ²	216.82 m ²	19.95 m ²	236.87 m ²
LOT COVERAGE %	25%	7.7%	0.7%	8.4%
GROSS FLOOR AREA:				
— Main Floor	—	129.96 m ²	13.32 m ²	143.28 m ²
— Second Floor	—	77.66 m ²	—	77.66 m ²
— Third Floor	—	46.48 m ²	—	46.48 m ²
TOTAL:	443.38 m ²	254.10 m ²	13.32 m ²	267.42 m ²
G.F.A. %	15.6%	9.0%	0.4%	9.4%
BUILDING HEIGHT:				
— Building	7.5 m	10.32 m	—	10.32 m
BUILDING SETBACKS:				
— Front	9.0 m	11.09 m	—	11.09 m
— Side	1.8 m	18.20 m	—	18.20 m
— Side	4.2 m	19.32 m	—	19.32 m
— Rear	7.5 m	31.91 m	—	31.91 m
ACCESSORY SETBACKS:				
— Side	1.2 m	6.31 m	—	6.31 m
— Rear	1.2 m	15.93 m	—	15.93 m



GENERAL NOTES

1. THE CONTRACTOR IS TO CHECK AND VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION. ANY DISCREPANCIES MUST BE REPORTED TO THE ENGINEER IMMEDIATELY.
2. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND PROTECTING ALL UTILITIES DURING CONSTRUCTION. GAS, HYDRO, TELEPHONE, OR ANY OTHER UTILITIES THAT MAY EXIST ON THE SITE OR WITHIN THE STREETLINES MUST BE LOCATED BY ITS OWN UTILITIES AND REFERRED PRIOR TO CONSTRUCTION.
3. ALL CONNECTIONS SHALL BE INSTALLED AS PER MUNICIPAL STANDARDS AND SPECIFICATIONS.
4. THE UTILITIES IS TO VERIFY TO THE ENGINEER THAT THE FINAL FLOOR ELEVATION AND THE TOP OF FOUNDATION WALL ELEVATION ARE IN CONFORMANCE WITH THE BUILDING CODE AND THE CERTIFIED GRADING PLAN PRIOR TO PROCEEDING.
5. THE ELEVATION OF THE SIDE SWALE AT THE BUILDING LINE SHALL BE A MINIMUM OF 150mm BELOW THE BUILDING LINE AT THE CENTRE OF THE LOT.
6. THE OUTSIDE FINISHED GRADE IS TO BE A MINIMUM OF 150mm BELOW THE BROOK VENERE ELEVATION.
7. PRIOR TO ANY SODDING, THE BUILDER IS TO INSURE TO THE SLOES CONSULTANT AND/OR THE ENGINEER THAT THE LOT HAS BEEN PROPERLY AND UNDEVELOPED COMPLETELY WITH A MINIMUM DEPTH OF 100mm OF TOPSOIL AND 1 MURDERY SOIL. A MINIMUM DEPTH OF 150mm OF CRUSHED STONE IS TO BE PROVIDED ON THE ENTIRE LENGTH OF EACH DRIVEWAY ON A FIRM SUBGRADE. THE DRIVEWAY IS TO BE PAVED WITH A MINIMUM COMPACTED DEPTH OF 75mm OF ASPHALT BETWEEN THE CURB AND THE GARAGE.
8. NO SODDING ON ANY LOT IS PERMITTED UNTIL A PRELIMINARY INSPECTION IS DONE BY THE ENGINEER AND THE BUILDER.
9. AT THE ENTRANCES TO THE SITE, THE MUNICIPAL CURB AND SIDEWALK MUST BE CONTINUOUS THROUGH THE DRIVEWAY AND A CURB DEPRESSION WILL BE PROVIDED FOR EACH ENTRANCE.
10. ALL PROPOSED CURBING AT THE ENTRANCES TO THE SITE IS TO STOP AT THE PROPERTY LINE OR AT THE MUNICIPAL SIDEWALK WHICHEVER IS APPLICABLE.
11. DRIVEWAY GRADES SHOULD NOT BE LESS THAN 2.0% AND NOT GREATER THAN 8.0%.
12. LAWN AND SWALES SHALL HAVE A MINIMUM SLOPE OF 1.5% (PREFERABLY 2.0%) AND A MAXIMUM SLOPE OF 8.0%.
13. WHERE GRASSES IN EXCESS OF 6.0% ARE REQUIRED, THE MAXIMUM SLOPE SHALL BE 3:1. GRADE CHANGES IN EXCESS OF 1% ARE TO BE ACCOMPLISHED BY USE OF A RETAINING WALL. RETAINING WALLS HIGHER THAN 0.6m HAVING A FACE OF 1:1 ARE ON THE HIGH SIDE.
14. ALL BACKFILL FOR SEWERS, WATERMAINS AND UTILITIES ON THE ROAD ALLOWANCE AND ON THE INTERNAL SITE MUST BE COMPACTED TO A MINIMUM AND SPECIFIED EXCEPT FOR THE TOP 300mm OF THE ROAD ALLOWANCE WHICH MUST BE COMPACTED TO 98% S.D. UNLESS OTHERWISE NOTED AND UNDER THE DIRECT SUPERVISION OF THE GEOTECHNICAL SOILS CONSULTANT.
15. THE SERVICE CONSTRUCTION TRENCH WITHIN THE TRAVELLED PORTION OF THE ROAD ALLOWANCE SHALL BE BACKFILLED WITH UNSHRIKABLE BACKFILL MATERIAL AS PER C.M.S. 2220.030, 2220.031 AND 2220.032 UNLESS PRIOR APPROVAL FOR OTHER SPECIFIED BACKFILL MATERIAL HAS BEEN OBTAINED.
16. ALL WATERMAINS, WATER SERVICE MATERIALS AND CONSTRUCTION METHODS MUST CORRESPOND TO CURRENT MUNICIPAL STANDARDS AND SPECIFICATIONS.
17. WATERMAINS AND/OR WATER SERVICES ARE TO HAVE A MINIMUM DEPTH OF 1.7m WITH A MINIMUM HORIZONTAL SPAACING OF 1.2m FROM THEMSELVES AND OTHER UTILITIES.
18. SEDIMENT CONTROL FENCING IS TO BE INSTALLED AS PER C.M.S. STD. 2240.010.
19. ALL DAMAGED LANDSCAPE AREAS WILL BE REINSTATED WITH TOP SOIL AND SOD PRIOR TO RELEASE OF SECURITIES.
20. THE OWNER IS RESPONSIBLE FOR ENSURING THAT THE TREE PROTECTION HOARDING IS MAINTAINED THROUGH ALL PHASES OF DEMOLITION AND CONSTRUCTION IN THE LOCATION AND CONDITION AS APPROVED BY THE PLANNING AND BUILDING DEPARTMENT. NO MATERIALS (BUILDINGS MATERIALS, SOIL, ETC.) MAY BE STOCKPILED WITHIN THE AREA OF HOARDING. FAILURE TO MAINTAIN THE HOARDING AS ORIGINALLY APPROVED OR THE STORAGE OF MATERIALS WITHIN THE AREA OF HOARDING WILL BE CAUSE FOR THE LETTER OF CREDIT TO BE HELD FOR TWO (2) YEARS FOLLOWING COMPLETION OF ALL SITE WORKS.

SIGNATURE _____ DATE _____



- THE UNDERSIGNED PROPERTY OWNER HEREBY ACKNOWLEDGES AND AGREES THAT THEY ARE RESPONSIBLE FOR BOTH THE INSTALLATION AND MAINTENANCE OF WORK AS SHOWN ON THE STAMPED APPROVED SITE PLAN AND ASSOCIATED SETS OF PLANS IN A PROPER MANNER AND LOCATION AS SHOWN ON SAID DRAWINGS, WITHOUT ANY CHANGE OR ADDITION, ANY CHANGES TO THE PLANS, INCLUDING NEW DEVELOPMENT OR REDEVELOPMENT ON THE PROPERTY, ARE SUBJECT TO A NEW REVIEW BY THE CITY ENGINEER'S OFFICE. IF THE CITY ENGINEER'S OFFICE FINDS THE PROPOSED PROJECT IS NOT IN ACCORDANCE WITH THE CITY OF MISSISSAUGA'S ZONING BY-LAW 629-2006 (AS AMENDED), THE CITY OF MISSISSAUGA MAY REQUIRE ANY COSTS INCURRED, INCLUDING INTEREST AND ATTORNEY'S FEES, TO BE PAID BY THE PROPERTY OWNER. IF THE CITY ENGINEER'S OFFICE FINDS THE PROPOSED PROJECT IS IN ACCORDANCE WITH THE CITY OF MISSISSAUGA'S ZONING BY-LAW 629-2006 (AS AMENDED), THE CITY OF MISSISSAUGA WILL NOT REQUIRE ANY COSTS INCURRED, INCLUDING INTEREST AND ATTORNEY'S FEES, TO BE PAID BY THE PROPERTY OWNER. IF THE CITY ENGINEER'S OFFICE FINDS THE PROPOSED PROJECT IS NOT IN ACCORDANCE WITH THE CITY OF MISSISSAUGA'S ZONING BY-LAW 629-2006 (AS AMENDED), THE CITY OF MISSISSAUGA WILL NOT REQUIRE ANY COSTS INCURRED, INCLUDING INTEREST AND ATTORNEY'S FEES, TO BE PAID BY THE PROPERTY OWNER. IF THE CITY ENGINEER'S OFFICE FINDS THE PROPOSED PROJECT IS IN ACCORDANCE WITH THE CITY OF MISSISSAUGA'S ZONING BY-LAW 629-2006 (AS AMENDED), THE CITY OF MISSISSAUGA WILL NOT REQUIRE ANY COSTS INCURRED, INCLUDING INTEREST AND ATTORNEY'S FEES, TO BE PAID BY THE PROPERTY OWNER.
- | SIGNATURE | DATE |
|---|------|
| 22. ALL EXTERIOR LIGHTING WILL BE DIRECTED TOWARD THE SITE AND WILL NOT IMPROVE UNADJACENT PROPERTIES. | |
| 23. ALL DAMAGED OR DISTURBED AREAS WITHIN THE MUNICIPAL RIGHT-OF-WAY ARE TO BE REINSTATED AT THE OWNER'S EXPENSE. | |
| 24. ALL LANDSCAPING AND GRADING WITHIN CLOSE PROXIMITY TO THE PROPOSED ACCESS POINTS IS TO BE DESIGNED TO ENSURE THAT ADEQUATE SIGHT DISTANCES ARE MAINTAINED FOR ALL APPROACHING AND EXITING MOTORISTS AND PEDESTRIANS. | |
| 25. DRIVEWAY ACCESS SHALL MAINTAIN A 1.5M SETBACK FROM ABOVE GRADE FEATURES SUCH AS UTILITIES AND TREES. | |
| 26. THE OWNER WILL BE REQUIRED TO CONTACT ALL UTILITY COMPANIES TO OBTAIN ALL REQUIRED LOCATIONS PRIOR TO CONSTRUCTION. | |
| 27. THE PORTIONS OF THE DRIVEWAY WITHIN THE MUNICIPAL BOUNDARY IS TO BE PAVED BY THE OWNER. | |
| 28. ALL EXCESS EXCAVATED MATERIAL, WILL BE REMOVED FROM THE SITE. | |
| 29. THE EXISTING DRAINAGE PATTERN WILL BE MAINTAINED EXCEPT WHERE NOTED. | |
| 30. GRADES WILL BE MET WITHIN A 3.3 MAXIMUM SLOPE AT THE PROPERTY LINES AND WITHIN THE SITE. | |
| 31. ANY ABOVE GROUND UTILITIES WITHIN 1.5 METER OF A PROPOSED ACCESS TO BE RELOCATED AT THE OWNERS EXPENSE. | |
| 32. ANY SEPTIC SYSTEM ON SITE WILL BE DECOMMISSIONED AND REMOVED ACCORDING TO ALL APPLICABLE GUIDELINES AND REGULATIONS. | |
| 33. THE CITY OF MISSISSAUGA REQUIRES THAT ALL WORKING DRAWINGS SUBMITTED TO THE BUILDING DIVISION AS PART OF AN APPLICATION FOR A PERMIT, BE PROVIDED TO THE CITY ENGINEER'S OFFICE FOR REVIEW AND COMMENT OR ENGINEER AS BEING IN CONFORMANCE WITH THE SITE DEVELOPMENT PLAN AS APPROVED BY THE CITY OF MISSISSAUGA. | |

34. I HEREBY CERTIFY THAT THIS DRAFTING CONFORMS TO ALL RESPECTS TO THE SITE DEVELOPMENT PLANS AS APPROVED BY THE CITY OF MISSISSAUGA UNDER FILE NUMBER SP 16/44 1011
-
35. RICK MATELANO DAA LIC. 7846 DATE _____
36. ALL MATERIALS AND CONSTRUCTION METHODS MUST CORRESPOND TO THE CURRENT PLEB. PUBLIC WORKS STANDARDS & SPECIFICATIONS.
37. ALL SURFACE DRAINAGE WILL BE SITE CONTAINED, COLLECTED AND DISCHARGED AT A LOCATION TO BE APPROVED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT
38. PRIOR TO ANY CONSTRUCTION TAKING PLACE, HOARDING ADJACENT TO EXISTING PROPERTIES TO PROTECT FROM CONSTRUCTION ACTIVITY AND ALL REQUIRED HOARDING IN ACCORDANCE WITH THE ONTARIO OCCUPATIONAL HEALTH AND SAFETY ACT AND REGULATIONS FOR CONSTRUCTION PROJECTS MUST BE ERECTED AND THEN MAINTAINED THROUGHOUT ALL PHASES OF CONSTRUCTION.
39. THE APPLICANT WILL BE RESPONSIBLE FOR THE COST OF ANY UTILITY RELOCATIONS NECESSITATED BY THE SITE PLAN.
40. HOARDING MUST BE INSPECTED PRIOR TO REMOVAL OF ANY TREE PROTECTION HOARDING FROM THE SITE.
41. OPEN TRENCING WILL NOT BE PERMITTED WITHIN THE TREE PRESERVATION AREA.
42. THE PROPOSED DEVELOPMENT ON THE SUBJECT SITE MAY NEGATIVELY IMPACT THE TREE ZONE(S) OF NEARBY TREES. THE APPLICANT SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL TREE ZONE(S) WITH ALL REASONABLE STEPS TO MINIMIZE DISTURBANCE TO THE ADJACENT TREE(S) TREE ZONE(S) THAT ARE WITHIN THE SUBJECT SITE. THE CITY OF MISSISSAUGA TAKES NO RESPONSIBILITY FOR THE PROTECTION OF TREES ON ADJACENT PROPERTIES.
43. ANY FENCING ADJACENT TO MUNICIPAL LANE(S) TO BE LOCATED 15 CM FROM (0.6 M) INSIDE THE PROPERTY LINE.
44. ANY EXISTING ADJACENT TO MUNICIPAL LANE(S) BELOW GROUND SURFACE (UNDER HOARDING) TO BE REMOVED, PLANNING AND BUILDING DEPT. MUST BE CONTACTED PRIOR TO THE COMMENCEMENT OF SUCH WORK. SUCH WORK SHOULD AN ALTERNATIVE SERVICE ROUTE NOT BE POSSIBLE, STAFF WILL INSPECT AND DETERMINE THE CONDITION OF THE VEGETATION AND SURVEYING INSTALLATION IN ORDER FOR THE PROJECT.
45. THE STRUCTURAL DESIGN OF ANY RETAINING WALL OVER 0.6 M (2.0 FT) IN HEIGHT OR ANY RETAINING WALL LOCATED ON A PROPERTY LINE IS TO BE SHOWN ON THE SITE PLAN AND GRADING PLAN AND IS TO BE APPROVED BY THE CONSULTING ENGINEER FOR THE PROJECT.
46. CONSTRUCTION MATERIALS ARE NOT TO BE PUT OUT FOR COLLECTION.

4. ANY WELL ON SITE WILL BE DECOMMISSIONED BY A LICENSED WELL CONTRACTOR OR TECHNICIAN IN ACCORDANCE WITH THE ONTARIO WATER RESOURCES ACT REGULATION 930 (FORMERLY 616/284) AND ANY OTHER APPLICABLE REGULATIONS AND GUIDELINES.
47. ALL ROOF TOP MECHANICAL UNITS SHALL BE SCREENED FROM VIEW BY THE OWNER.
48. PARKING SPACES RESERVED FOR PEOPLE WITH DISABILITIES MUST BE IDENTIFIED BY A SIGN INSTALLED AT THE OWNER'S EXPENSE, IN ACCORDANCE WITH THE DESIGN SPECIFICATIONS OF SCHEDULES 2 & 3 OF BY-LAW 001-2009
49. THE APPLICANT WILL BE RESPONSIBLE FOR ENSURE THAT ALL PLANS CONFORM TO TRANSFORM CANADA'S RESTRICTIONS
50. SIGNAGE SHOWN ON THE SITE DEVELOPMENT PLANS IS FOR INFORMATION PURPOSES ONLY, ALL SIGNS WILL BE SUBJECT TO THE PROVISIONS OF SIGN BY-LAW 054-2002, AS AMENDED, AND A SEPARATE SIGN APPLICATION WILL BE REQUIRED THROUGH THE BUILDING DIVISION.
51. ONLY "SHIELDED" LIGHTING FIXTURES ARE PERMITTED FOR ALL DEVELOPMENT, EXCEPT FOR DETACHED AND SEMI-DETACHED DWELLS WITHIN 60 M (1968 FT.) OF A RESIDENTIALLY ZONED PROPERTY AND MUST CONFORM TO THE ENGINEER CERTIFIED LIGHTING PLAN.
52. THE ENGINEER CERTIFIED LIGHTING PLAN MUST BE SIGNED BY THE CONSULTING ENGINEER.
53. THE OWNER COVENANTS AND AGREES TO CONSTRUCT AND INSTALL "SHIELDED" LIGHTING FIXTURES ON THE SUBJECT LANDS, IN CONFORMANCE WITH THE SITE PLAN AND ENGINEER CERTIFIED LIGHTING PLAN TO THE SATISFACTION OF THE CITY OF

DEVELOPMENT ENGINEERING NOTES:

"ALL PROPOSED CURBING WITHIN MUNICIPAL BOULEVARD AREA FOR THE SITE IS TO SUIT AS FOLLOWS:
A) FOR ALL SINGLE FAMILY RESIDENTIAL PROPERTIES INCLUDING OR STREET TOWNHOUSES, ALL CURBING IS TO STOP AT THE PROPERTY LIMIT OR THE BACK OF THE MUNICIPAL SIDEWALK, WHICHEVER IS APPLICABLE, OR,
B) FOR ALL OTHER PROPOSALS INCLUDING INDUSTRIAL, COMMERCIAL AND CONDOMINIUM DEVELOPMENTS, ALL ENTRANCES TO THE SITE ARE TO BE IN ACCORDANCE WITH O.P.S.D. 350.0(1).
"PRIOR TO CONSTRUCTION TAKING PLACE, ALL REQUIRED HOARDING IN ACCORDANCE WITH THE ONTARIO OCCUPATIONAL HEALTH & SAFETY ACT AND REGULATIONS FOR CONSTRUCTION PROJECTS MUST BE ERECTED AND THEN MAINTAINED THROUGHOUT ALL PHASES OF CONSTRUCTION"

SPECIFICATIONS FOR THE PROTECTION AND PRESERVATION OF EXISTING VEGETATION:

ALL EXISTING TREES WHICH ARE TO REMAIN SHALL BE FULLY PROTECTED WITH HOARDING ERECTED ABOUT THE DROP LINE OF THE TREE. THE PLANNING AND BUILDING DEPARTMENT IS RESPONSIBLE FOR THE INSPECTION OF HOARDING FOR PUBLIC TREES. ALL TREES AND OTHER EXISTING VEGETATION ARE TO BE PROTECTED WITH HOARDING PRIOR TO THE ISSUANCE OF THE BUILDING PERMIT. GROUPS OF TREES AND OTHER EXISTING VEGETATION ARE TO BE PROTECTED WITH HOARDING AROUND THE ENTIRE AREA. AREAS WITHIN THE PROTECTIVE HOARDING SHALL BE KEPT CLEAR OF ALL OBSTRUCTIONS AND DEBRIS. THE PLANNING AND BUILDING DEPARTMENT WILL BE RESPONSIBLE FOR INSPECTION OF TREES ON PRIVATE PROPERTY, WHILE THE COMMUNITY SERVICES DEPARTMENT IS RESPONSIBLE FOR THE INSPECTION OF HOARDING FOR PUBLIC TREES.

HOARDING MUST REMAIN IN PLACE UNTIL AN INSPECTION BY THE LANDSCAPE ARCHITECTURAL TECHNOLOGIST, DEVELOPER AND DESIGN DIVISION, AND APPROPRIATE REMOVAL TIME HAS BEEN AGREED UPON.

NO RIGGING CABLES SHALL BE WRAPPED AROUND OR INSTALLED IN THE TREES AND SUPPLUS SOIL, EQUIPMENT, DEBRIS OR MATERIALS SHALL BE PLACED WITHIN THE PROTECTIVE HOARDING. NO CONTAMINANTS WILL BE DUMPED OR FLUSHED WERE FEED ROOTS OF TREES EXIST.

THE DEVELOPER OR AGENTS SHALL TAKE EVERY PRECAUTION NECESSARY TO PREVENT DAMAGE TO THE VEGETATION TO BE RETAINED.

WHERE LIMBS OR PORTIONS OF TREES ARE REMOVED TO ACCOMMODATE CONSTRUCTION, THEY WILL BE REMOVED IN ACCORDANCE WITH ACCORDANCE WITH THE CITY OF LOS ANGELES ORDINANCES.

WHERE ROOT SYSTEMS OF PROTECTED TREES ADJACENT TO CONSTRUCTION ARE EXPOSED OR DAMAGED THEY SHALL BE NEATLY TRIMMED AND THE AREA BACKFILLED WITH APPROPRIATE MATERIAL TO PREVENT DESICCATION.

NO OPEN TRENCHEING SHALL OCCUR THROUGH TREE PRESERVATION ZONES (TPZ) ONLY DIRECTIONAL BORING CAN BE USED FOR SERVICE INSTALLATION IN THESE AREAS.

WHERE NECESSARY, WOUNDING SHALL BE GIVEN TOP PRIORITY TO RESTORE THE BALANCE BETWEEN ROOTS AND TOP GROWTH, OR TO RESTORE THEIR APPEARANCE.

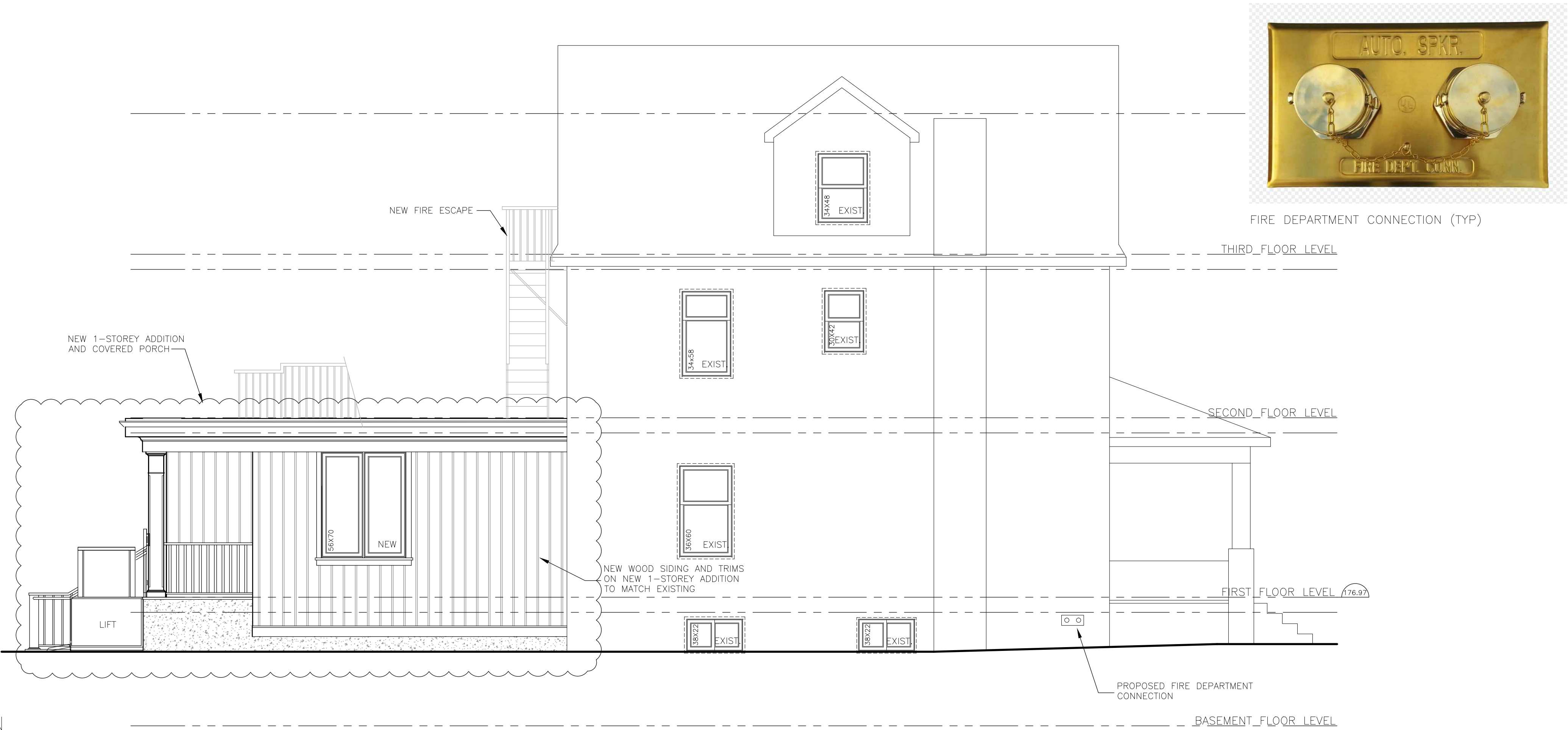
TREES THAT HAVE DIED OR HAVE BEEN DAMAGED BEYOND REPAIR SHALL BE REMOVED AND REPLACED AT THE OWNERS' EXPENSE WITH TREES OF A SIZE AND SPECIES APPROVED BY THE PLANNING AND BUILDING DEPARTMENT.

IF CIRCLES AROUND TREES TO BE PROTECTED ARE TO CHANGE, THE OWNER SHALL BE REQUIRED TO TAKE PRECAUTIONS SUCH AS DRY LEAF MULCHING, TO BE REVIEWED BY THE PLANNING AND BUILDING DEPARTMENT.

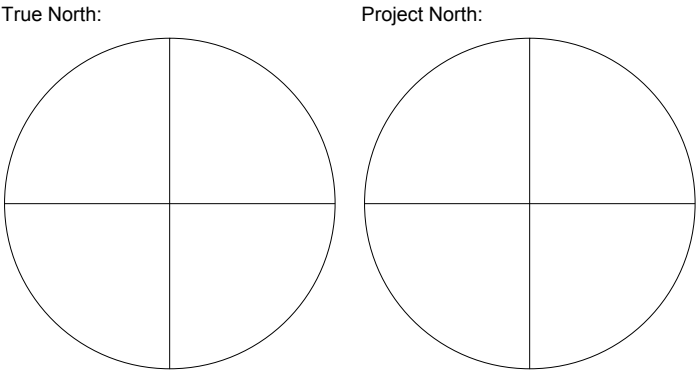
 **J. H. Gelbloom Surveying Limited**
Ontario Land Surveyor
476 Morden Road, Unit 102, Oakville, Ont., L6K 3H1
office@jhgsurveying.ca
Phone: (905) 338-8210 Fax: (905) 338-9446



1 FRONT ELEVATION
A003.0



2 NORTH ELEVATION
A003.0



Key Plan:

SP 16/149 W11

8	Apr 4/17	Rev. paving for Zoning and Heritage, misc structure	R.M.
8	Apr 3/17	Rev. driveway, walkways for Heritage approval	R.M.
7	Mar 31/17	Revised driveway, site notes, fire route	R.M.
6	Mar 21/17	Heritage re-application	R.M.
5	Feb 3/17	For Pricing	A.B.
4	Jan 9/17	Structure Added	A.B.
3	Oct 14/16	Revisions Per Staff Comments	A.B.
2	Sept 7/16	Submitted for Pre-Consultation	A.B.
1	Aug 16/16	For Site Plan	R.M.

Architect:

B J A
LIVE THE DREAM
Belinda Jones Architect
159 Martin Street
Milton ON
L9T 2K3
P 416-662 6024

Structural Engineer:

centric
ENGINEERING
STRUCTURAL ENGINEERS
200 Queens Avenue, Suite 301
London ON N6A 1J3
Tel: 905 842 2848
centricengineering.ca

Prime Consultant:

SM DA Strickland
Mateljan
Design + Architecture
79 Wilson Street, Suite 301
Oakville ON L6K 3G4
Tel: 905 842 2848
smda.ca

©2017 - Copyright - These drawings and specifications are confidential and shall remain the sole property of the individuals whose professional seals are attached hereto. They shall not be reproduced (in whole or in part), shared with third parties or used in any manner on other projects without their written consent. These drawings and specifications are intended to show only design intent unless marked "Issued for Construction" and may not reflect actual site conditions. The contractor is to verify all dimensions and site conditions on the project and report any discrepancies immediately. Construction must conform to all applicable Codes and Requirements of Authorities have Jurisdiction. Unless otherwise noted, these drawings do not address issues of shoring, protection or support of existing works during the construction process. Do not scale drawings. Submit shop drawings for approval. No party shall have any obligation nor liability (except as stated above) until a written agreement is fully executed by all parties.

Project: 7059 Second Line West, Mississauga ON

Rotherglen School
Meadowvale Campus
1 Storey Addition and Conversion of Existing 3-Storey
Dwelling Into Learning Centre

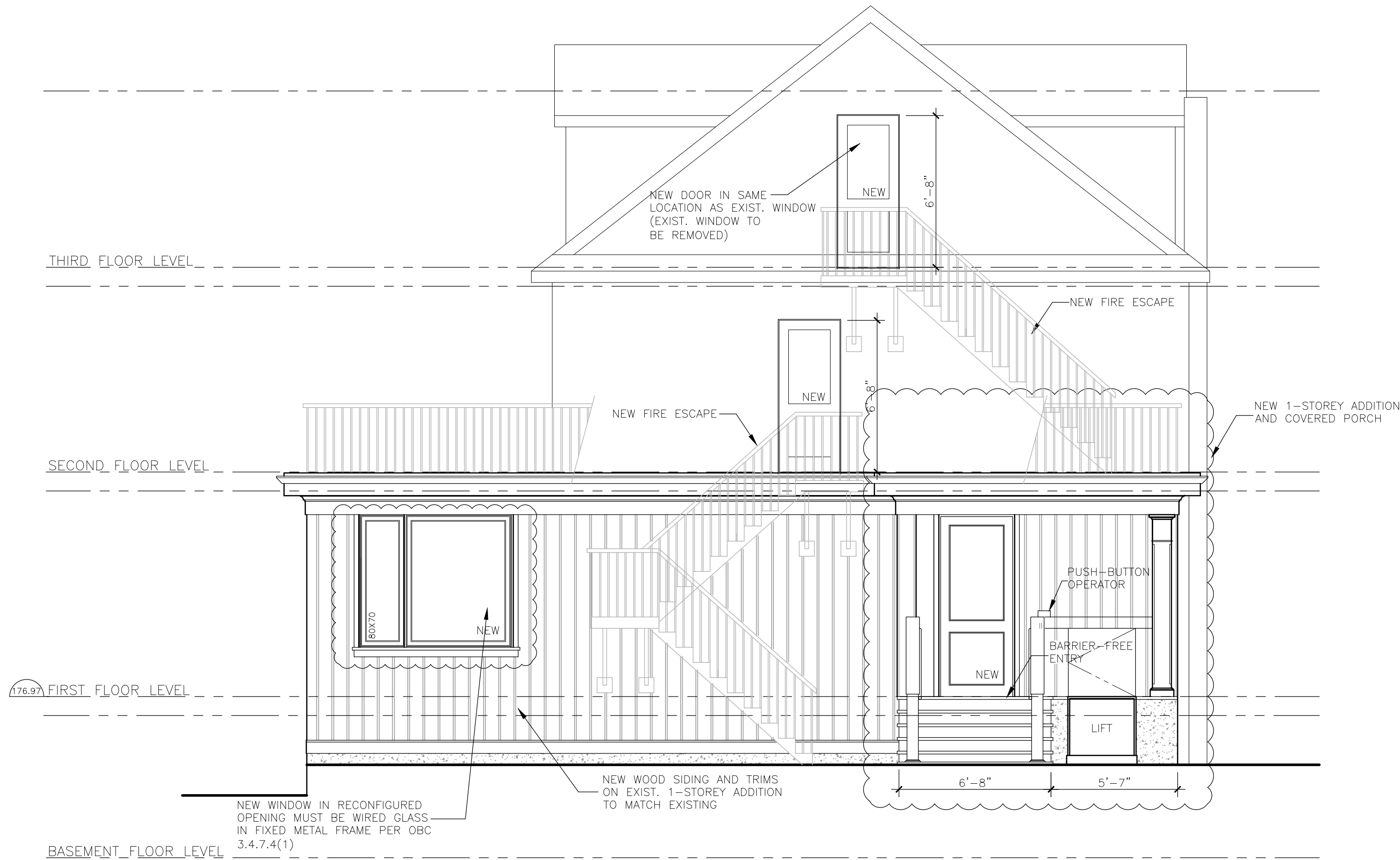
Sheet Title:

Front Elevation
North Elevation

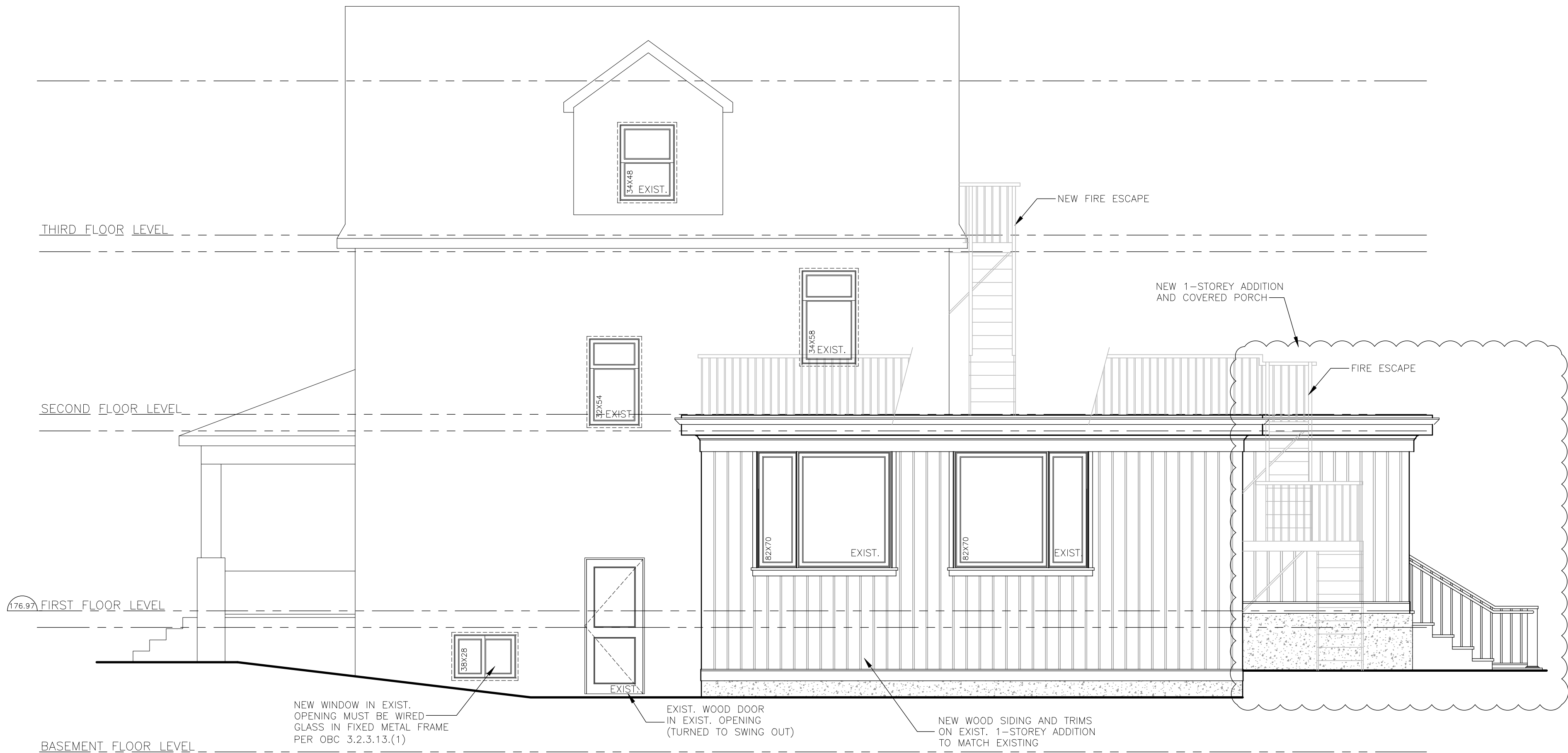
Scale:	Date:	Project No:
1/4"=1'-0"	Aug 2016	16.16

Drawing No:

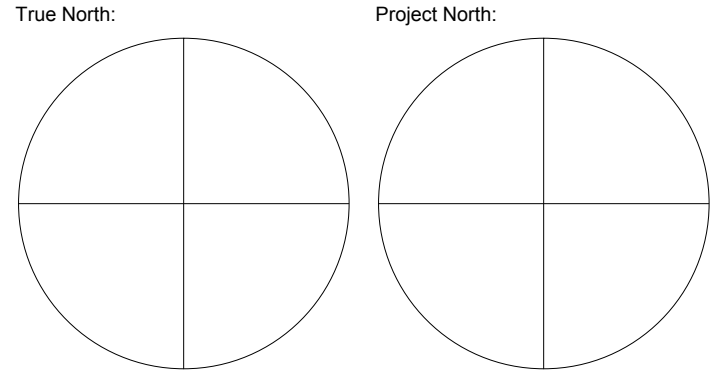
A003.0



1 EAST ELEVATION
A3.1



2 SOUTH ELEVATION
A3.1



Key Plan:

SP 16/149 W11

8	Apr 4/17	Rev. paving for Zoning and Heritage, misc structure	R.M.
8	Apr 3/17	Rev. driveway, walkways for Heritage approval	R.M.
7	Mar 31/17	Revised driveway, site notes, fire route	R.M.
6	Mar 21/17	Heritage re-application	R.M.
5	Feb 3/17	For Pricing	A.B.
4	Jan 9/17	Structure Added	A.B.
3	Oct 14/16	Revisions Per Staff Comments	A.B.
2	Sept 7/16	Submitted for Pre-Consultation	A.B.
1	Aug 16/16	For Site Plan	R.M.

No.	Date	Issued/Revision	By:
-----	------	-----------------	-----

Architect:

B J A
LIVE THE DREAM

Belinda Jones Architect
159 Martin Street
Milton ON
L9T 2B3
P 416-662 6024

Structural Engineer:

centric
ENGINEERING
STRUCTURAL ENGINEERS

200 Queens Avenue, Suite 301
London ON N6A 1J3
Tel: 905 842 2848
centricengineering.ca

Prime Consultant:

SM DA Strickland
Mateljan
Design + Architecture

79 Wilson Street, Suite 301
Oakville ON L6K 3G4
Tel: 905 842 2848
smda.ca

©2017 - Copyright - These drawings and specifications are confidential and shall remain the sole property of the individuals whose professional seals are attached hereto. They shall not be reproduced (in whole or in part), shared with third parties or used in any manner on other projects without their written consent. These drawings and specifications are intended to show only design intent unless marked "Issued for Construction" and may not reflect actual site conditions. The contractor is to verify all dimensions and site conditions on the project and report any discrepancies immediately. Construction must conform to all applicable Codes and Requirements of Authorities having Jurisdiction. Unless otherwise noted, these drawings do not address issues of shoring, protection or support of existing works during the construction process. Do not scale drawings. Submit shop drawings for approval. No party shall have any obligation nor liability (except as stated above) until a written agreement is fully executed by all parties.

Project: 7059 Second Line West, Mississauga ON

Rotherglen School
Meadowvale Campus
1 Storey Addition and Conversion of Existing 3-Storey
Dwelling Into Learning Centre

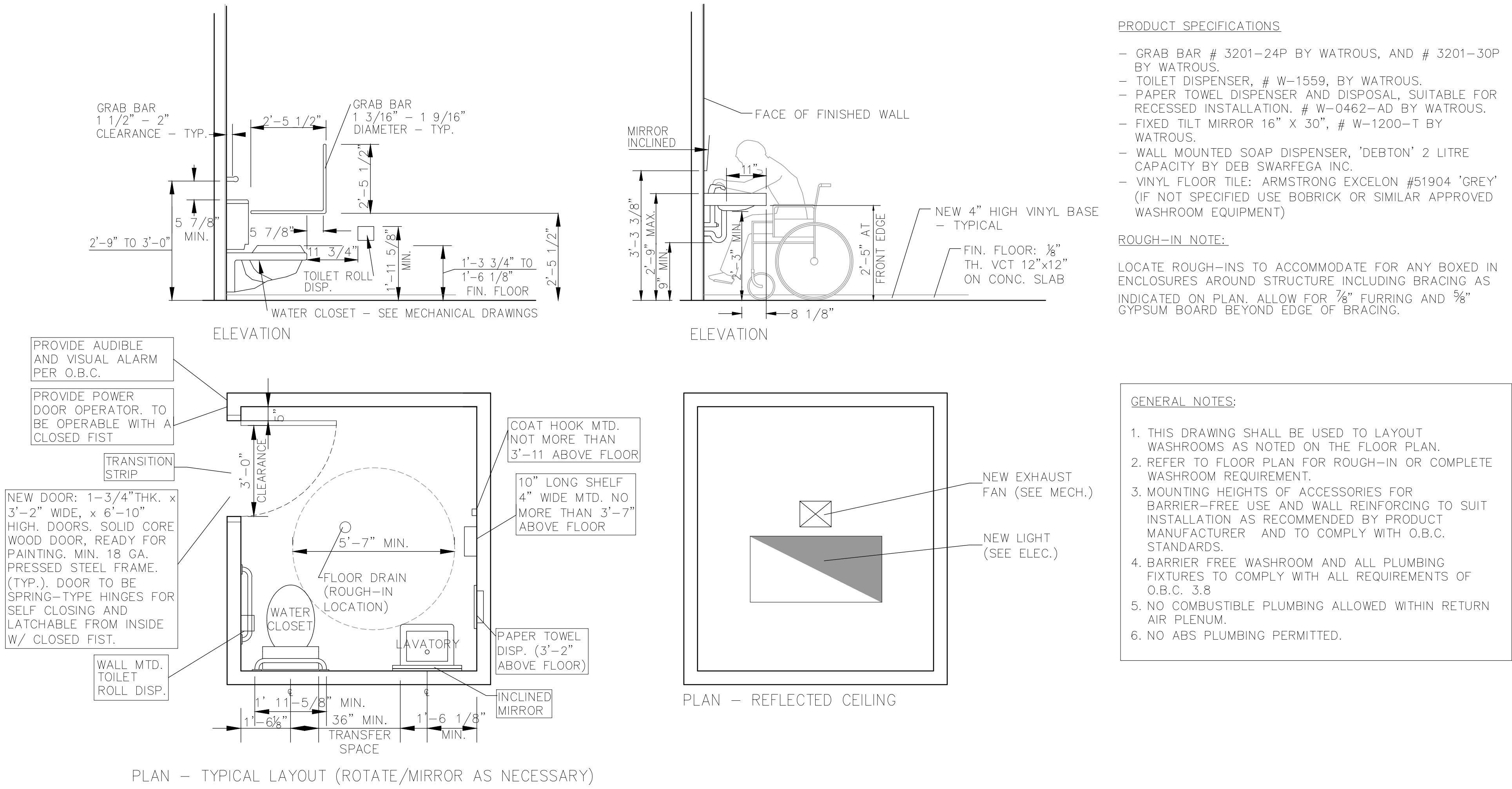
Sheet Title:

East Elevation
South Elevation

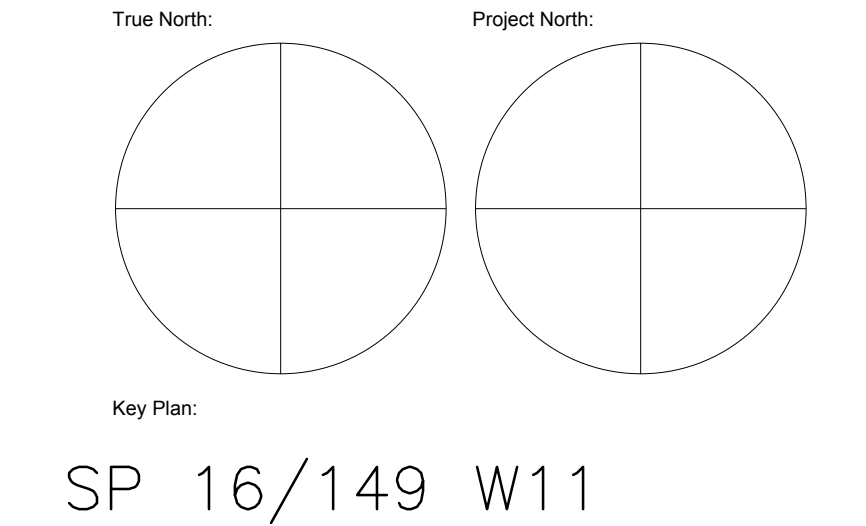
Scale:	Date:	Project No:
1/4"=1'-0"	Aug 2016	16.16

Drawing No:

A003.1



1 UNIVERSAL WASHROOM DETAIL
A4.0



8	Apr 4/17	Rev. paving for Zoning and Heritage, misc structure	R.M.
8	Apr 3/17	Rev. driveway, walkways for Heritage approval	R.M.
7	Mar 31/17	Revised driveway, site notes, fire route	R.M.
6	Mar 21/17	Heritage re-application	R.M.
5	Feb 3/17	For Pricing	A.B.
4	Jan 9/17	Structure Added	A.B.
3	Oct 14/16	Revisions Per Staff Comments	A.B.
2	Sept 7/16	Submitted for Pre-Consultation	A.B.
1	Aug 16/16	For Site Plan	R.M.
No.	Date	Issued/Revision	By:

Architect:

B J A

LIVE THE DREAM

Belinda Jones Architect
159 Martin Street
Milton ON
L9T 2R3

P 416-662 6024

Structural Engineer:

centric
ENGINEERING
STRUCTURAL ENGINEERS

200 Queens Avenue, Suite 301
London ON N6A 1J3
Tel: 905 842 2848
centricengineering.ca

Prime Consultant:

SM DA Strickland Mateljan
Design + Architecture

79 Wilson Street, Suite 301
Oakville ON L6K 3G4
Tel: 905 842 2848
smda.ca

©2017 - Copyright - These drawings and specifications are confidential and shall remain the sole property of the individuals whose professional seals are attached hereto. They shall not be reproduced (in whole or in part), shared with third parties or used in any manner on other projects without their written consent. These drawings and specifications are intended to show only design intent unless marked "Issued for Construction" and may not reflect actual site conditions. The contractor is to verify all dimensions and site conditions on the project and report any discrepancies immediately. Construction must conform to all applicable Codes and Requirements of Authorities having Jurisdiction. Unless otherwise noted, these drawings do not address issues of shoring, protection or support of existing works during the construction process. Do not scale drawings. Submit shop drawings for approval. No party shall have any obligation nor liability (except as stated above) until a written agreement is fully executed by all parties.

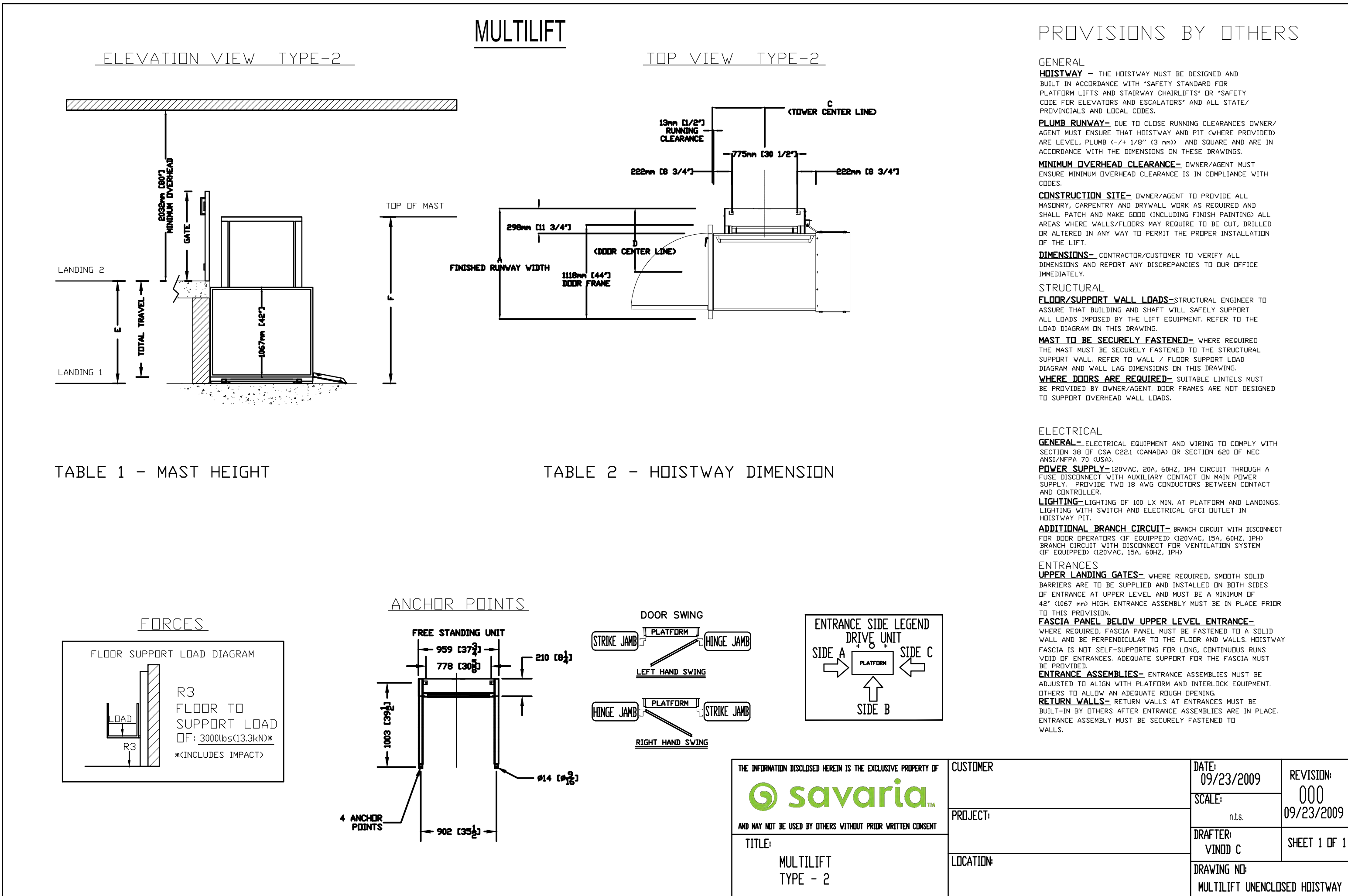
Project: 7059 Second Line West, Mississauga ON

Rotherglen School Meadowvale Campus
1 Storey Addition and Conversion of Existing 3-Storey Dwelling Into Learning Centre

Scale:	Date:	Project No:
N.T.S.	Aug 2016	16.16

Drawing No:

A004.0



2 LIFT DETAIL
A4.0

City of Mississauga

Corporate Report



Date: 2017/04/18

Originator's files:

To: Chair and Members of Heritage Advisory Committee

From: Paul Mitcham, P. Eng, MBA, Commissioner of Community Services

Meeting date:
2017/05/09

Subject

Request to Alter a Heritage Designated Property: 264 Queen Street South (Ward 11)

Recommendation

That the alterations and addition as depicted in the updated attached drawings for the property and building at 264 Queen Street South, which is designated under Part IV of the Ontario Heritage Act as described in the Corporate Report dated April 18, 2017 from the Commissioner of Community Services, be approved.

Background

Section 33 of the Ontario Heritage Act requires permission from Council in order to make alterations to a Part IV property.

The property owner has requested permission to alter and make additions to the building at 264 Queen Street South. The property, known as the Bowie Medical Hall, is designated under Part IV of the Ontario Heritage Act. The subject building was established as a local medical hall in the late nineteenth century. It is associated with Dr. Bowie (1860-1935) whose family owned the property until 1946. The property was designated in 2014 (by-law 276-2014). The proposal had obtained previous approval in 2015; however some changes have been made to the drawings. See Item 2 from the Heritage Advisory Committee meeting on February 10, 2015 here:

http://www7.mississauga.ca/documents/agendas/committees/heritage/2015/02-10-15_Agenda.pdf

ATA architects have submitted updated drawings attached in Appendix 1.

Comments

The property owner requests permission to make modest modifications and improvements to the proposed design and alterations previously approved for the property in 2015. The changes include the style of windows on the proposed addition and the second floor sunroom, as well as the storefront base, proposed signage board, closing of two upper storey windows, new locations for two new upper storey windows on the north elevation, closing of a ground floor window and treatment with fixed shutters on the ground floor and restoration of a ground floor window instead of replacement on the north elevation. For the west elevation a four panel fire rated door is proposed to replace the existing rear door and the window above it is proposed to be wood with a sympathetic 2 over 2 style. The new concrete patio and ramp are proposed to be clad in stone and the railings have been simplified. Refer to Appendix 1. In addition, the applicant has submitted detailed restoration elevation drawings to illustrate the specific areas to

be restored and principles applied. As part of the active site plan application conditions, letters from a masonry conservator and window conservator will be submitted detailing the conservation methodologies as well as a letter of credit for the conservation of the masonry. All of the original conditions from the January 19, 2015 Heritage Advisory Committee report still apply.

Heritage Planning Staff finds that the proposed conservation work and alterations improve on the previous approved proposal and are sympathetic to the heritage attributes of the building.

Financial Impact

There is no financial impact.

Conclusion

The applicant has submitted updated drawings by ATA Architects Inc., supporting the request to complete conservation work alterations and an addition to the Bowie Medical Hall building at 264 Queen Street South. Heritage Planning Staff finds that the conservation work depicted in the proposal is sympathetic to the heritage attributes of the building and should be approved.

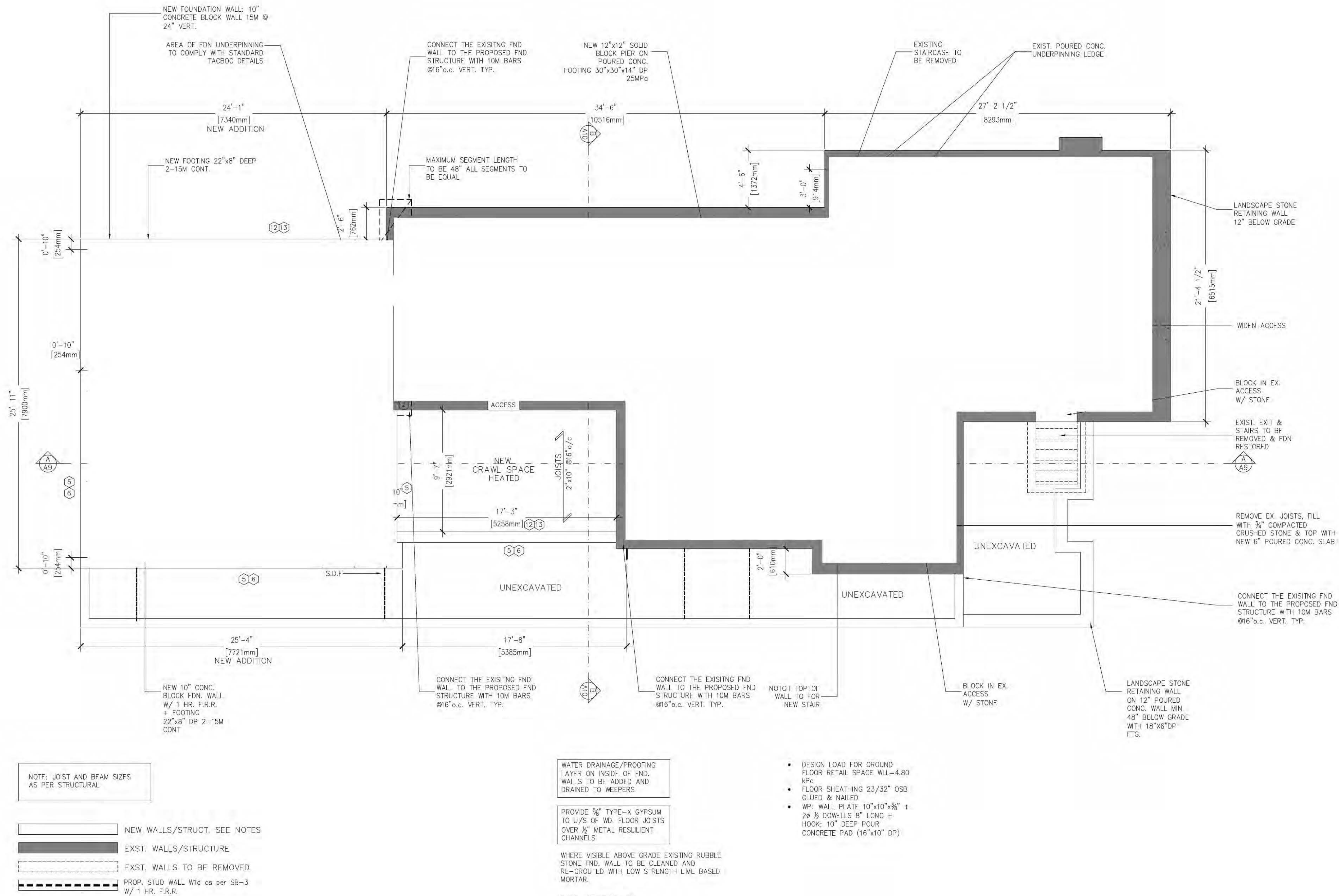
Attachments

Appendix 1: Submitted drawings



Paul Mitcham, P. Eng, MBA, Commissioner of Community Services

Prepared by: Cecilia Nin Hernandez, Heritage Coordinator



REVISIONS		
NUMBER	DATE	REMARKS
002	2017/04/05	ISSUED FOR HERITAGE APPROVAL
001	2016/11/029	ISSUED FOR SPA

CONTRACTOR IS TO CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE PROJECT AND REPORT ANY DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK. DRAWINGS ARE NOT TO BE SCALED.

CONTRACT DOCUMENTS ARE THE COPYRIGHT OF THE CONSULTANTS AND SHALL NOT BE USED OR REPRODUCED WITHOUT AUTHORIZATION. DOCUMENTS ARE TO BE RETURNED UPON COMPLETION OF THE PROJECT.

ATA ARCHITECTS

ATA ARCHITECTS INC.
211 LAKESHORE ROAD EAST,
OAKVILLE, ONTARIO, L6J 1H7
T 905.849.6985 F 905.849.4369
E info@ataarchitectsinc.com
W www.ataarchitectsinc.com

SEALS

ONTARIO ASSOCIATION
of
ARCHITECTS
ALEXANDER TEMPERALE
LICENCE
2587

PROJECT TITLE

264 QUEEN STREET
STREETSVILLE

DRAWING TITLE

PROPOSED BASEMENT PLAN

DRAWN BY

JT

SCALE

1/4" = 1'-0"

DATE

2016 11 29

CHECKED BY

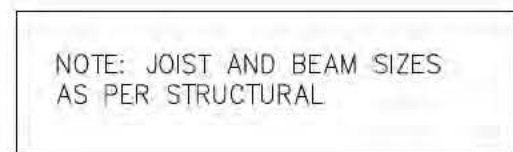
AT





PROJECT NUMBER

16-1127

DRAWING NUMBER

A-2.01



- | | |
|---|---|
|  | NEW WALLS/STRUCT. SEE NOTES. |
|  | EXST. WALLS |
|  | EXST. WALLS TO BE REMOVED |
|  | PROP. STUD WALL W/ld as per SB-3
W/ 1 HR. F.R.R. |

CONTRACTOR IS TO CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE PROJECT AND REPORT ANY DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK. DRAWINGS ARE NOT TO BE SCALED.

CONTRACT DOCUMENTS ARE THE COPYRIGHT OF THE CONSULTANTS AND SHALL NOT BE USED OR REPRODUCED WITHOUT AUTHORIZATION. DOCUMENTS ARE TO BE RETURNED UPON COMPLETION OF THE PROJECT.

ATA ARCHITECTS INC.
211 LAKESHORE ROAD EAST,
OAKVILLE ONTARIO L6J 1H7
T 905 849 6986 F 905 849
4369
E info@ataarchitectsinc.com
www.ataarchitectsinc.com



ONTARIO ASSOCIATION
OF
ARCHITECTS
ALEXANDER L. TEMPORALE
LICENCE
2587

264 QUEEN STREET
STREETSVILLE

PROPOSED FIRST FLOOR PLAN

JT

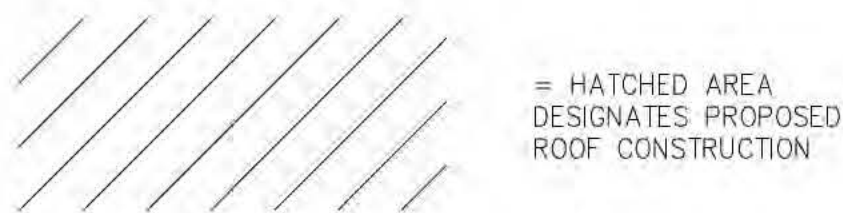
$$1/4" = 1'-0"$$

2016 11 29

AT

16-1127


A-2.02



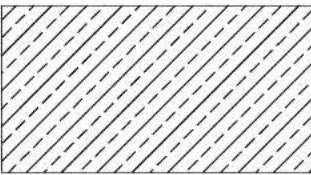
ATA ARCHITECTS

ATA ARCHITECTS INC.
211 LAKESHORE ROAD EAST,
OAKVILLE ONTARIO L6J 1H7
T 905 849 6986 F 905 849
4369
E info@ataarchitectsinc.com
www.ataarchitectsinc.com

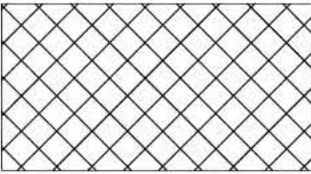
SEALS



A-2.04



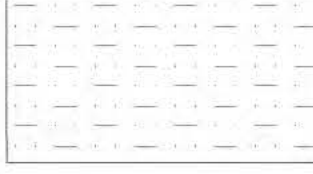
BRICK REPAIR
REMOVE EXISTING BRICK (DEPTH OF ONE WYTHE) FLIP AND USE BACKSIDE OF BRICK AS NEW EXTERIOR FACE.



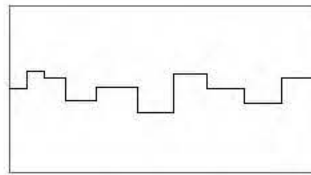
BRICK REMOVAL
REMOVE EXISTING BRICK MASONRY (DEPTH OF ONE WYTHE) AND REPLACE WITH MATCHING NEW OR SALVAGED BRICK MATCHING EXISTING. RESTORE ADJACENT AREA.



BRICK REBUILDING & REPLACEMENT
DISMANTLE EXISTING BRICK MASONRY FOR FULL DEPTH OF WALL REPLACE WITH NEW AND SALVAGED MATERIAL FOR FULL DEPTH OF WALL TO EXTENT OF NEW OPENINGS.



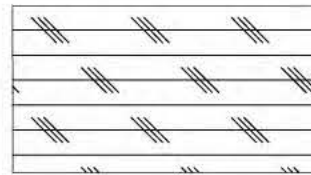
REMOVAL OF ANGEL STONE AND REPAIR OF BRICK
UNDERTAKE A TEST PANEL IN REMOVING "ANGEL STONE" FACADE FROM BUILDING FACADE TO INSPECT CONDITION OF BRICK BELOW. INTENT IS TO SALVAGE EXISTING BRICK AND REVERSE FACE USING BACK OF BRICK.



BRICK CRACK REPAIR
REMOVE EXISTING BRICK (DEPTH OF TWO WYTHES WHERE NECESSARY) TO EXTENT INDICATED. INSTALL HELICAL TIES INTO SOUND WALL ASSEMBLY AS DIRECTED BY THE ARCHITECT. REBUILD BRICK WITH NEW AND SALVAGED MATERIAL.



MORTAR REPOINTING
CUTOUT EXISTING MORTAR IN JOINTS AND REPLACE WITH NEW LIME BASED MORTAR.



PAINT REMOVAL
REMOVE PAINT FROM BRICK SURFACE.



BRICK SALVAGE
EXISTING WALL TO BECOME AN INTERIOR WALL AFTER ADDITION. BRICK TO BE SALVAGED.

TYPICAL NOTES:

- EXCAVATE FOUNDATIONS AND EXAMINE CONDITION OF FOUNDATION WALLS AND SLATE LINE. REPLACE SLATE LINE IF NECESSARY. REPOINT STONE FOUNDATIONS ABOVE AND BELOW GRADE. PARGE, WATERPROOF AND PROVIDE NEW DRAINAGE MATT AND WEeping TILE AT FOUNDATION.
- REMOVE WIRES AND UNUSED SERVICES.
- REPLACE ALUMINUM SOFFITS, FASCIA AND FRIEZE WITH NEW WOOD COMPONENTS. PROVIDE LINEAR ALUMINUM VENTS IN SOFFIT
- ALLOW FOR AN ADDITIONAL 15% REPOINTING AND 15% BRICK REPAIR/REPLACEMENT ON ALL FACADES.



EXISTING SIDING AND WINDOW TO BE REMOVED, TO BE REPLACED WITH NEW SYSTEM AS SHOWN IN PROPOSED EAST ELEVATION.

EXISTING ADDITION TO BE REMOVED AND STAIRWELL FILLED IN.

EXISTING STAIRS TO BE REPLACED

REPLACE EXISTING ALUMINUM WINDOWS WITH NEW WOOD WINDOWS AND WOOD SHUTTERS

UNDERTAKE A TEST PANEL IN REMOVING "ANGEL STONE" FACADE FROM BUILDING FACADE TO INSPECT CONDITION OF BRICK BELOW. INTENT TO SALVAGE EXISTING BRICK AND REVERSE FACE USING BACK OF BRICK.

EXISTING STOREFRONT TO BE REPLACED MATCH STOREFRONT IN THE 1904 PHOTO

REPOINT FOUNDATIONS, PARGE, WATERPROOF AND PROVIDE DRAINAGE MATT AND WEEPERS.



FIG.1 NORTH CORNER OF ENTRANCE STEPS TO THE STOREFRONT - SHOWING DETERIORATED ARCHITECTURAL STONE AND THE GROUND COAT OVER GALVANIZED METAL LATH BENEATH.



EXISTING STAIRS TO BE REPLACED.



UNDERTAKE A TEST PANEL IN REMOVING "ANGEL STONE" FACADE FROM BUILDING FACADE TO INSPECT CONDITION OF BRICK BELOW. INTENT TO SALVAGE EXISTING BRICK AND REVERSE FACE USING BACK OF BRICK.



PANEL CLADDING SYSTEM TO BE USED OVER EXPOSED WOOD BOARDS.

EXISTING BRICKS NEED TO BE RECONSTRUCTED AND REPOINTED.

DOOR TO BE RELOCATED. OPENING TO BE FILLED IN.



REPOINT DETERIORATED MORTAR JOINTS

REMOVE PAINT FROM BRICK (TYPICAL)

STRIP PAINT, REGLAZE, APPLY DUTCHMAN PATCH TO SOFT WOOD IN SILL.

REMOVE ALL WIRES AND TELEPHONE BOXES

REPOINT DETERIORATED MORTAR JOINTS



REMOVE EXISTING BRICK (DEPTH OF ONE WYTHE) FLIP AND USE BACKSIDE OF BRICK AS NEW EXTERIOR FACE.

CLEAN OUT AND RECONSTRUCT

REMOVE EXISTING BRICK (DEPTH OF ONE WYTHE) FLIP AND USE BACKSIDE OF BRICK AS NEW EXTERIOR FACE.

TYPICAL CLEAN PAINT FROM BRICK.

REMOVE BELOW GRADE WINDOWS AND OLD SERVICES AND REBUILD WALL

REVISIONS

NUMBER	DATE	REMARKS
002	2017/04/05	ISSUED FOR HERITAGE APPROVAL
001	2016/11/029	ISSUED FOR SPA

CONTRACTOR IS TO CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE PROJECT AND REPORT ANY DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK. DRAWINGS ARE NOT TO BE SCALED.

CONTRACT DOCUMENTS ARE THE COPYRIGHT OF THE CONSULTANTS AND SHALL NOT BE USED OR REPRODUCED WITHOUT AUTHORIZATION. DOCUMENTS ARE TO BE RETURNED UPON COMPLETION OF THE PROJECT.

ATA ARCHITECTS

ATA ARCHITECTS INC.
211 LAKESHORE ROAD EAST,
OAKVILLE, ONTARIO L6J 1H7
T 905 849 6986 F 905 849 4369
E info@ataarchitectsinc.com
www.ataarchitectsinc.com

SEALS



PROJECT TITLE

264 QUEEN STREET
STREETSVILLE

DRAWING TITLE

EAST ELEVATION - RESTORATION

DRAWN BY

JT

SCALE

1/4" = 1'-0"

DATE

2016 11 29

CHECKED BY

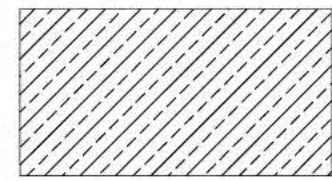
AT

PROJECT NUMBER

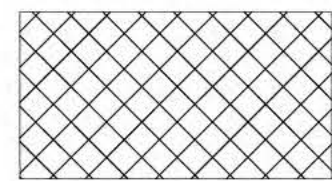
16-1127

DRAWING NUMBER

A-4.01



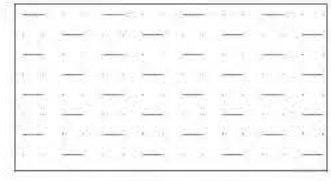
BRICK REPAIR
REMOVE EXISTING BRICK (DEPTH OF ONE WYTHE) FLIP AND USE BACKSIDE OF BRICK AS NEW EXTERIOR FACE.



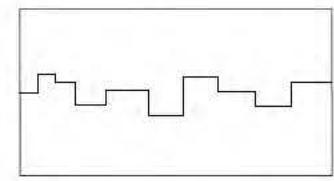
BRICK REMOVAL
REMOVE EXISTING BRICK MASONRY (DEPTH OF ONE WYTHE) AND REPLACE WITH MATCHING NEW OR SALVAGED BRICK MATCHING EXISTING. RESTORE ADJACENT AREA.



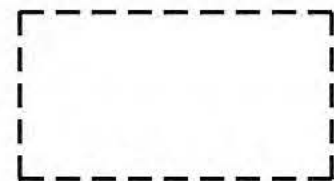
BRICK REBUILDING & REPLACEMENT
DISMANTLE EXISTING BRICK MASONRY FOR FULL DEPTH OF WALL REPLACE WITH NEW AND SALVAGED MATERIAL FOR FULL DEPTH OF WALL TO EXTENT OF NEW OPENINGS.



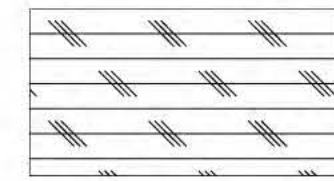
REMOVAL OF ANGEL STONE AND REPAIR OF BRICK
UNDERTAKE A TEST PANEL IN REMOVING "ANGEL STONE" FACADE FROM BUILDING FACADE TO INSPECT CONDITION OF BRICK BELOW. INTENT IS TO SALVAGE EXISTING BRICK AND REVERSE FACE USING BACK OF BRICK.



BRICK CRACK REPAIR
REMOVE EXISTING BRICK (DEPTH OF TWO WYTHES WHERE NECESSARY) TO EXTENT INDICATED. INSTALL HELICAL TIES INTO SOUND WALL ASSEMBLY AS DIRECTED BY THE ARCHITECT. REBUILD BRICK WITH NEW AND SALVAGED MATERIAL.



MORTAR RE-POINTING
CUTOUT EXISTING MORTAR IN JOINTS AND REPLACE WITH NEW LIME BASED MORTAR.



PAINT REMOVAL
REMOVE PAINT FROM BRICK SURFACE.



BRICK SALVAGE
EXISTING WALL TO BECOME AN INTERIOR WALL AFTER ADDITION. BRICK TO BE SALVAGED.

TYPICAL NOTES:

- EXCAVATE FOUNDATIONS AND EXAMINE CONDITION OF FOUNDATION WALLS AND SLATE LINE. REPLACE SLATE LINE IF NECESSARY. REPOINT STONE FOUNDATIONS ABOVE AND BELOW GRADE. PARGE, WATERPROOF AND PROVIDE NEW DRAINAGE MATT AND WEeping TILE AT FOUNDATION.
- REMOVE WIRES AND UNUSED SERVICES.
- REPLACE ALUMINUM SOFFITS, FASCIA AND FRIEZE WITH NEW WOOD COMPONENTS. PROVIDE LINEAR ALUMINUM VENTS IN SOFFIT ALLOW FOR AN ADDITIONAL 15% REPOINTING AND 15% BRICK REPAIR/REPLACEMENT ON ALL FACADES.

REPLACE EXISTING GUTTER WITH NEW LARGER ROUND PROFILE GUTTERS TO BE USED ON EXISTING BUILDING.

REPLACE EXISTING ALUMINUM SOFFIT AND FASCIA WITH NEW CEDAR SOFFIT WITH LINEAR ALUMINUM AIR VENTS.

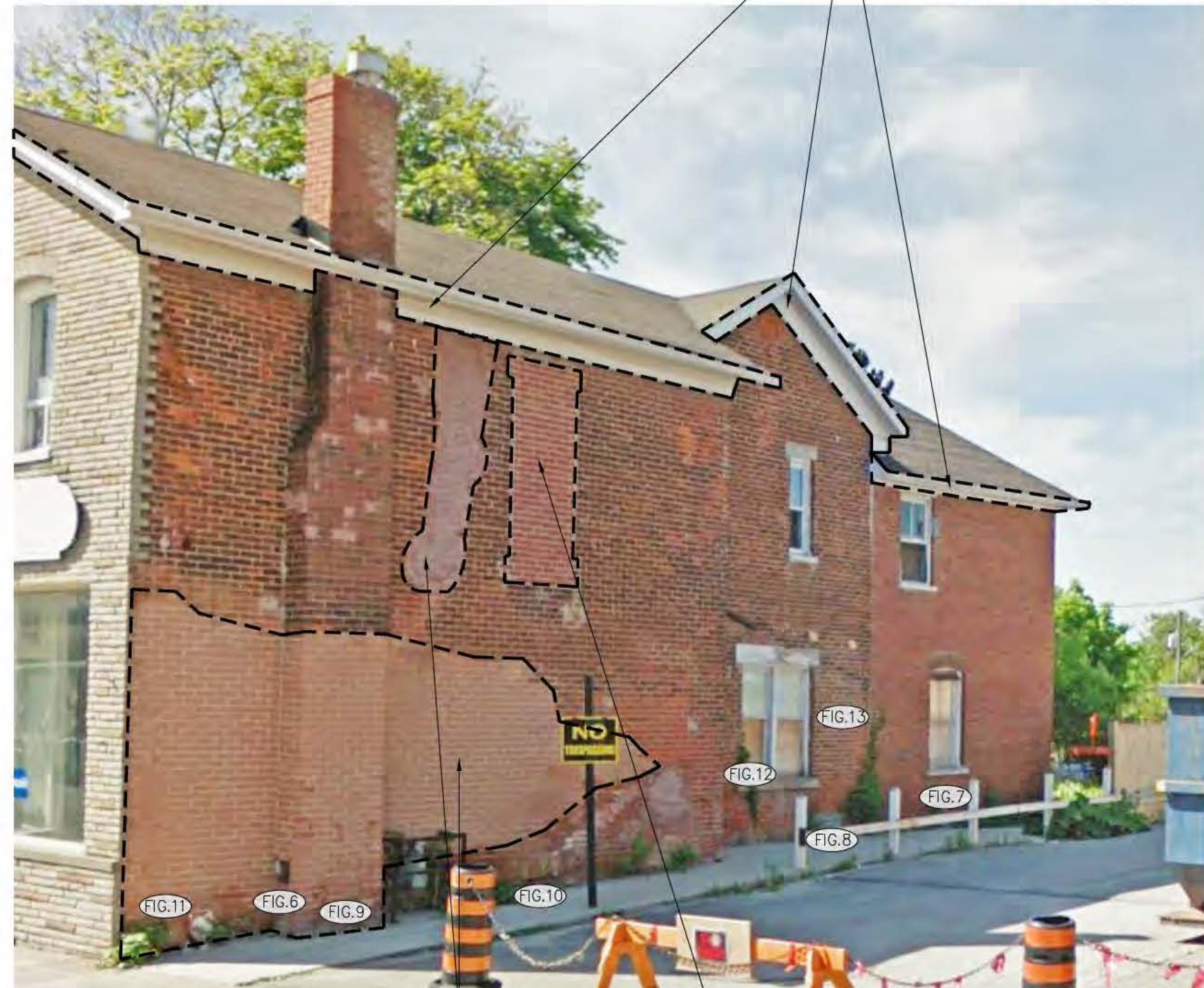
RESET BRICK FROM EAST FACE THAT IS PULLING AWAY AT CORNER FROM NORTH WALL.

REPLACE INAPPROPRIATE BRICK IN THE PATCHED SECTION OF WALL.

WINDOWS AND UNUSED BELOW GRADE SERVICES TO BE BLOCKED IN.

REPOINT STONE FOUNDATIONS ABOVE AND BELOW GRADE. PARGE, WATERPROOF AND PROVIDE DRAINAGE MATT AND WEEPERS.

REPLACE EXISTING ALUMINUM SOFFIT AND FASCIA WITH NEW CEDAR SOFFIT WITH LINEAR ALUMINUM AIR VENTS. REPLACE EXISTING GUTTER WITH NEW LARGER ROUND PROFILE GUTTERS.



CLEAN PAINT FROM BRICK
REPLACE INAPPROPRIATE BRICK IN THE PATCHED SECTION OF WALL



REPOINT DETERIORATED MORTAR JOINTS.
EXCAVATE, REPOINT, PARGE, WATERPROOF AND PROVIDE NEW DRAINAGE MATT AND WEEPING TILE



REPAIR OR REPLACE DAMAGED SILL.
REPOINT DETERIORATED MORTAR JOINTS. SALVAGE EXISTING BRICK AND REVERSE FACE USING BACK OF BRICK.



REMOVE CONCRETE ON NORTH SIDE AND REPLACE WITH COMBINATION OF PAVERS AND PLANTING.
REPOINT AND REPLACE BRICK BELOW SLAB.
CLEAN PAINT FROM BRICK



REMOVE CONCRETE ON NORTH SIDE AND REPLACE WITH COMBINATION OF PAVERS AND PLANTING.
REPOINT AND REPLACE BRICK BELOW SLAB.
REMOVE BELOW GRADE WINDOW AND RECONSTRUCT WALL.
CLEAN PAINT FROM BRICK



REMOVE BELOW GRADE WINDOWS AND OLD SERVICES AND REBUILD WALL



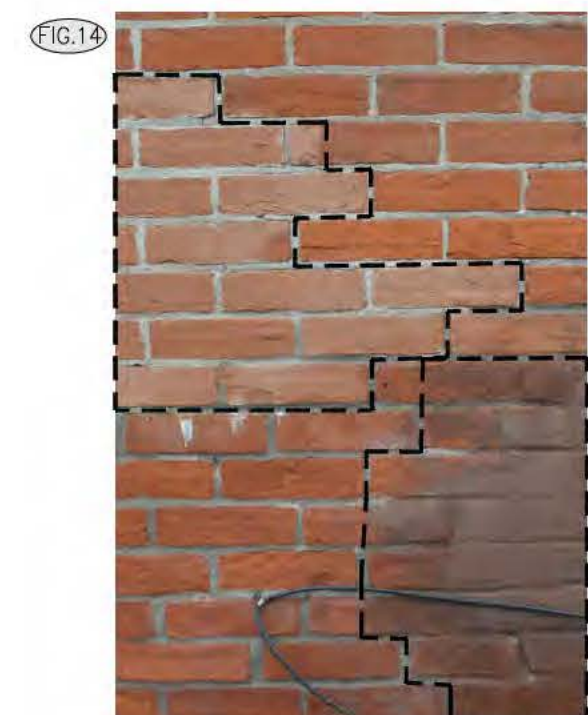
FIX ODD MASONRY AROUND THE WINDOW

REMOVE CONCRETE ON NORTH SIDE AND REPLACE WITH COMBINATION OF PAVERS AND PLANTING. REPOINT AND REPLACE BRICK BELOW SLAB.

- REPOINT WALL TO A HEIGHT OF 42".
- REMOVE MORTAR OVER BRICK AND MAKE REPAIR TO MASONRY BEHIND.
- REPOINT STONE FOUNDATION, PARGE, WATERPROOF AND PROVIDE DRAINAGE MATT AND WEEPERS.



FIX ODD MASONRY AT EDGE OF PATCH.



TWO KINDS OF PAINT ARE PRESENT ON THE BRICK. ALL PATCHES OF PAINT ARE TO BE REMOVED.

REVISIONS		
NUMBER	DATE	REMARKS
002	2017/04/05	ISSUED FOR HERITAGE APPROVAL
001	2016/11/029	ISSUED FOR SPA

CONTRACTOR IS TO CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE PROJECT AND REPORT ANY DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK. DRAWINGS ARE NOT TO BE SCALED.
CONTRACT DOCUMENTS ARE THE COPYRIGHT OF THE CONSULTANTS AND SHALL NOT BE USED OR REPRODUCED WITHOUT AUTHORIZATION. DOCUMENTS ARE TO BE RETURNED UPON COMPLETION OF THE PROJECT.

ATA ARCHITECTS

ATA ARCHITECTS INC.
211 LAKESHORE ROAD EAST,
OAKVILLE, ONTARIO L6J 1H7
T 905 849 6986 F 905 849 4369
E info@ataarchitectsinc.com
www.ataarchitectsinc.com



PROJECT TITLE

264 QUEEN STREET
STREETSVILLE

DRAWING TITLE

NORTH ELEVATION - RESTORATION

DRAWN BY

JT

SCALE

1/4" = 1'-0"

DATE

2016 11 29

CHECKED BY

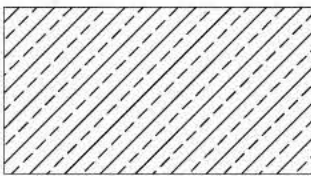
AT

PROJECT NUMBER

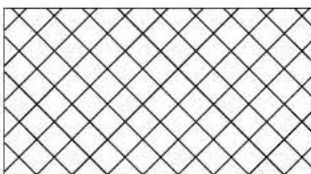
16-1127

DRAWING NUMBER

A-4.02



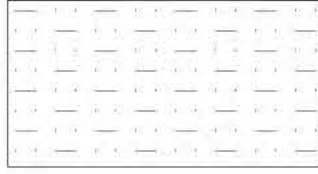
BRICK REPAIR
REMOVE EXISTING BRICK (DEPTH OF ONE WYTHE) FUP
AND USE BACKSIDE OF BRICK AS NEW EXTERIOR FACE.



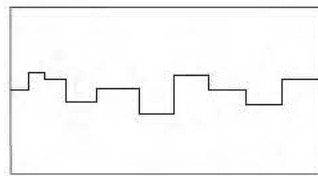
BRICK REMOVAL
REMOVE EXISTING BRICK MASONRY (DEPTH OF ONE
WYTHE) AND REPLACE WITH MATCHING NEW OR
SALVAGED BRICK MATCHING EXISTING. RESTORE
ADJACENT AREA.



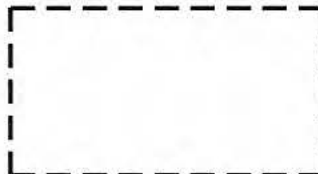
BRICK REBUILDING & REPLACEMENT
DISMANTLE EXISTING BRICK MASONRY FOR FULL DEPTH
OF WALL REPLACE WITH NEW AND SALVAGED MATERIAL
FOR FULL DEPTH OF WALL TO EXTENT OF NEW
OPENINGS.



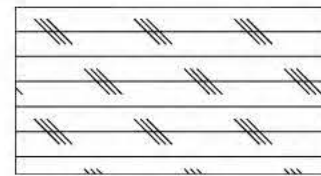
REMOVAL OF ANGEL STONE AND REPAIR OF BRICK
UNDERTAKE A TEST PANEL IN REMOVING "ANGEL STONE"
FACADE FROM BUILDING FACADE TO INSPECT CONDITION
OF BRICK BELOW. INTENT IS TO SALVAGE EXISTING BRICK
AND REVERSE FACE USING BACK OF BRICK.



BRICK CRACK REPAIR
REMOVE EXISTING BRICK (DEPTH OF TWO WYTHES WHERE
NECESSARY) TO EXTENT INDICATED. INSTALL HELICAL
TIES INTO SOUND WALL ASSEMBLY AS DIRECTED BY THE
ARCHITECT. REBUILD BRICK WITH NEW AND SALVAGED
MATERIAL.



MORTAR REPOINTING
CUTOUT EXISTING MORTAR IN JOINTS AND REPLACE WITH
NEW LIME BASED MORTAR.



PAINT REMOVAL
REMOVE PAINT FROM BRICK SURFACE.



BRICK SALVAGE
EXISTING WALL TO BECOME AN INTERIOR WALL AFTER
ADDITION. BRICK TO BE SALVAGED.

TYPICAL NOTES:

- EXCAVATE FOUNDATIONS AND EXAMINE CONDITION OF FOUNDATION WALLS AND SLATE LINE. REPLACE SLATE LINE IF NECESSARY. REPOINT STONE FOUNDATIONS ABOVE AND BELOW GRADE. PARGE, WATERPROOF AND PROVIDE NEW DRAINAGE MATT AND WEEPING TILE AT FOUNDATION.
- REMOVE WIRES AND UNUSED SERVICES.
- REPLACE ALUMINUM SOFFITS, FASCIA AND FRIEZE WITH NEW WOOD COMPONENTS.
- PROVIDE LINEAR ALUMINUM VENTS IN SOFFIT
- ALLOW FOR AN ADDITIONAL 15% REPOINTING AND 15% BRICK REPAIR/REPLACEMENT ON ALL FACADES.

NEW ROOF TO BE PROVIDED TO PATCH
INTO NEW ADDITION.

REPLACE EXISTING GUTTER WITH NEW LARGER ROUND
PROFILE GUTTERS TO BE USED ON EXISTING BUILDING.

REPLACE EXISTING ALUMINUM SOFFIT AND FASCIA WITH
NEW CEDAR SOFFIT WITH LINEAR ALUMINUM AIR VENTS

EXISTING GUTTERS TO BE DEMOLISHED

WINDOW BAYS TO BE DEMOLISHED

DOOR TO BE DEMOLISHED

STAIR TO BE DEMOLISHED

THE WALLS ABOVE GRADE ARE TO BE
DEMOLISHED.

WINDOW TO BE REMOVED AND
SALVAGED FOR REUSE

DOOR TO BE DEMOLISHED

CONCRETE STAIR AND LANDING TO BE
DEMOLISHED

EXISTING FOUNDATION UNDER PROPOSED DESIGN TO
BECOME INTERIOR WALL. REPOINT STONE
FOUNDATIONS ABOVE AND BELOW GRADE.
NEW FOUNDATIONS TO BE PARGED, WATERPROOF
AND PROVIDE DRAINAGE MATT AND WEEPERS.

EXISTING WINDOW
TO BE RESTORED.
WOOD SHUTTERS
TO BE PROVIDED.

REPLACE EXISTING ALUMINUM SOFFIT
AND FASCIA WITH NEW CEDAR SOFFIT
WITH LINEAR ALUMINUM AIR VENTS.
REPLACE EXISTING GUTTER WITH NEW
LARGER ROUND PROFILE GUTTERS.

EXISTING SIDING AND WINDOW TO BE
REMOVED, TO BE REPLACED WITH NEW
SYSTEM AS SHOWN IN PROPOSED EAST
ELEVATION.

REPLACE EXISTING ALUMINUM SOFFIT
AND FASCIA WITH NEW CEDAR SOFFIT
WITH LINEAR ALUMINUM AIR VENTS.
REPLACE EXISTING GUTTER WITH NEW
LARGER ROUND PROFILE GUTTERS.

WINDOW TO BE REPLACED
WITH NEW ENTRY DOOR.
WINDOW TO BE SALVAGED.

EXISTING WINDOW TO BE RESTORED.
WOOD SHUTTERS TO BE PROVIDED.

REPLACE EXISTING GUTTER WITH NEW
LARGER ROUND PROFILE GUTTERS TO BE
USED ON EXISTING BUILDING.

REPLACE EXISTING ALUMINUM SOFFIT AND
FASCIA WITH NEW CEDAR SOFFIT WITH
LINEAR ALUMINUM AIR VENTS

EXISTING SIDING AND WINDOW TO BE
REMOVED, TO BE REPLACED WITH NEW
SYSTEM AS SHOWN IN PROPOSED EAST
ELEVATION.

REPLACE EXISTING ALUMINUM WINDOWS
WITH NEW WOOD WINDOWS AND WOOD
SHUTTERS.

RESET BRICK FROM EAST FACE THAT IS
PULLING AWAY AT CORNER FROM
SOUTH WALL.

WINDOW TO BE REPLACED WITH NEW
ENTRY DOOR.

PANEL CLADDING SYSTEM TO BE USED
OVER EXPOSED WOOD BOARDS.

EXISTING ADDITION TO BE REMOVED
AND STAIRWELL FILLED IN.

DAMAGE BEHIND EXISTING DOWNSPOUT.

REPOINT STONE
FOUNDATIONS ABOVE AND
BELOW GRADE. PARGE,
WATERPROOF AND PROVIDE
DRAINAGE MATT AND
WEEPERS.



WINDOW TO BE
REPLACED WITH NEW
ENTRY DOOR. WINDOW TO
BE SALVAGED.

RELOCATE
SERVICES BELOW
GRADE.

REMOVE

REPOINT
DETERIORATED
JOINTS. REPLACE
DAMAGED BRICK.

REPOINT
DETERIORATED
JOINTS. REPLACE
DAMAGED BRICK.

RESET BRICK FROM EAST
FACE THAT IS PULLING
AWAY AT CORNER FROM
SOUTH WALL.

STRIP BACK PAINT
FROM FRAME TO
ORIGINAL WOOD.
USE DUTCHMAN
PATCH TO REPAIR
FRAME. SALVAGE
WINDOW FROM
SECTION TO BE
ENCLOSED BY NEW
ADDITION.

REPOINT
DETERIORATED
JOINTS.
REPLACE
DAMAGED BRICK.

REPOINT
DETERIORATED
JOINTS. REPLACE
DAMAGED BRICK.

REPOINT
DETERIORATED
JOINTS. REPLACE
DAMAGED BRICK.

REPOINT
DETERIORATED
JOINTS. REPLACE
DAMAGED BRICK.

REPOINT
DETERIORATED
JOINTS. REPLACE
DAMAGED BRICK.

REPOINT
DETERIORATED
JOINTS. REPLACE
DAMAGED BRICK.

REPOINT
DETERIORATED
JOINTS. REPLACE
DAMAGED BRICK.

REPOINT
DETERIORATED
JOINTS. REPLACE
DAMAGED BRICK.

REPOINT
DETERIORATED
JOINTS. REPLACE
DAMAGED BRICK.

REPOINT
DETERIORATED
JOINTS. REPLACE
DAMAGED BRICK.

REPOINT
DETERIORATED
JOINTS. REPLACE
DAMAGED BRICK.

REPOINT
DETERIORATED
JOINTS. REPLACE
DAMAGED BRICK.

REPOINT
DETERIORATED
JOINTS. REPLACE
DAMAGED BRICK.

REPOINT
DETERIORATED
JOINTS. REPLACE
DAMAGED BRICK.

REPOINT
DETERIORATED
JOINTS. REPLACE
DAMAGED BRICK.

REPOINT
DETERIORATED
JOINTS. REPLACE
DAMAGED BRICK.

REPOINT
DETERIORATED
JOINTS. REPLACE
DAMAGED BRICK.

REPOINT
DETERIORATED
JOINTS. REPLACE
DAMAGED BRICK.

REPOINT
DETERIORATED
JOINTS. REPLACE
DAMAGED BRICK.

REPOINT
DETERIORATED
JOINTS. REPLACE
DAMAGED BRICK.

REPOINT
DETERIORATED
JOINTS. REPLACE
DAMAGED BRICK.

REPOINT
DETERIORATED
JOINTS. REPLACE
DAMAGED BRICK.

REPOINT
DETERIORATED
JOINTS. REPLACE
DAMAGED BRICK.

REPOINT
DETERIORATED
JOINTS. REPLACE
DAMAGED BRICK.

REPOINT
DETERIORATED
JOINTS. REPLACE
DAMAGED BRICK.

REPOINT
DETERIORATED
JOINTS. REPLACE
DAMAGED BRICK.

REPOINT
DETERIORATED
JOINTS. REPLACE
DAMAGED BRICK.

REPOINT
DETERIORATED
JOINTS. REPLACE
DAMAGED BRICK.

REPOINT
DETERIORATED
JOINTS. REPLACE
DAMAGED BRICK.

REPOINT
DETERIORATED
JOINTS. REPLACE
DAMAGED BRICK.

REPOINT
DETERIORATED
JOINTS. REPLACE
DAMAGED BRICK.

REPOINT
DETERIORATED
JOINTS. REPLACE
DAMAGED BRICK.

REPOINT
DETERIORATED
JOINTS. REPLACE
DAMAGED BRICK.

REPOINT
DETERIORATED
JOINTS. REPLACE
DAMAGED BRICK.

REPOINT
DETERIORATED
JOINTS. REPLACE
DAMAGED BRICK.

REPOINT
DETERIORATED
JOINTS. REPLACE
DAMAGED BRICK.

REPOINT
DETERIORATED
JOINTS. REPLACE
DAMAGED BRICK.

REPOINT
DETERIORATED
JOINTS. REPLACE
DAMAGED BRICK.

REPOINT
DETERIORATED
JOINTS. REPLACE
DAMAGED BRICK.

REPOINT
DETERIORATED
JOINTS. REPLACE
DAMAGED BRICK.

REPOINT
DETERIORATED
JOINTS. REPLACE
DAMAGED BRICK.

REPOINT
DETERIORATED
JOINTS. REPLACE
DAMAGED BRICK.

REPOINT
DETERIORATED
JOINTS. REPLACE
DAMAGED BRICK.

REPOINT
DETERIORATED
JOINTS. REPLACE
DAMAGED BRICK.

REPOINT
DETERIORATED
JOINTS. REPLACE
DAMAGED BRICK.

REPOINT
DETERIORATED
JOINTS. REPLACE
DAMAGED BRICK.

REPOINT
DETERIORATED
JOINTS. REPLACE
DAMAGED BRICK.

REPOINT
DETERIORATED
JOINTS. REPLACE
DAMAGED BRICK.

REPOINT
DETERIORATED
JOINTS. REPLACE
DAMAGED BRICK.

REPOINT
DETERIORATED
JOINTS. REPLACE
DAMAGED BRICK.

REPOINT
DETERIORATED
JOINTS. REPLACE
DAMAGED BRICK.

REPOINT
DETERIORATED
JOINTS. REPLACE
DAMAGED BRICK.

REPOINT
DETERIORATED
JOINTS. REPLACE
DAMAGED BRICK.

REPOINT
DETERIORATED
JOINTS. REPLACE
DAMAGED BRICK.

REPOINT
DETERIORATED
JOINTS. REPLACE
DAMAGED BRICK.

REPOINT
DETERIORATED
JOINTS. REPLACE
DAMAGED BRICK.

REPOINT
DETERIORATED
JOINTS. REPLACE
DAMAGED BRICK.

REPOINT
DETERIORATED
JOINTS. REPLACE
DAMAGED BRICK.

REPOINT
DETERIORATED
JOINTS. REPLACE
DAMAGED BRICK.

REPOINT
DETERIORATED
JOINTS. REPLACE
DAMAGED BRICK.

REPOINT
DETERIORATED
JOINTS. REPLACE
DAMAGED BRICK.

REPOINT
DETERIORATED
JOINTS. REPLACE
DAMAGED BRICK.

REPOINT
DETERIORATED
JOINTS. REPLACE
DAMAGED BRICK.

REPOINT
DETERIORATED
JOINTS. REPLACE
DAMAGED BRICK.

REPOINT
DETERIORATED
JOINTS. REPLACE
DAMAGED BRICK.

REPOINT
DETERIORATED
JOINTS. REPLACE
DAMAGED BRICK.

REPOINT
DETERIORATED
JOINTS. REPLACE
DAMAGED BRICK.

REPOINT
DETERIORATED
JOINTS. REPLACE
DAMAGED BRICK.

REPOINT
DETERIORATED
JOINTS. REPLACE
DAMAGED BRICK.

REPOINT
DETERIORATED
JOINTS. REPLACE
DAMAGED BRICK.

REPOINT
DETERIORATED
JOINTS. REPLACE
DAMAGED BRICK.

REPOINT
DETERIORATED
JOINTS. REPLACE
DAMAGED BRICK.

REPOINT
DETERIORATED
JOINTS. REPLACE
DAMAGED BRICK.

REPOINT
DETERIORATED
JOINTS. REPLACE
DAMAGED BRICK.

REPOINT
DETERIORATED
JOINTS. REPLACE
DAMAGED BRICK.

REPOINT
DETERIORATED
JOINTS. REPLACE
DAMAGED BRICK.

REPOINT
DETERIORATED
JOINTS. REPLACE
DAMAGED BRICK.

REPOINT
DETERIORATED
JOINTS. REPLACE
DAMAGED BRICK.

REPOINT
DETERIORATED
JOINTS. REPLACE
DAMAGED BRICK.

REPOINT
DETERIORATED
JOINTS. REPLACE
DAMAGED BRICK.

REPOINT
DETERIORATED
JOINTS. REPLACE
DAMAGED BRICK.

REPOINT
DETERIORATED
JOINTS. REPLACE
DAMAGED BRICK.

REPOINT
DETERIORATED
JOINTS. REPLACE
DAMAGED BRICK.

REPOINT
DETERIORATED
JOINTS. REPLACE
DAMAGED BRICK.

REPOINT
DETERIORATED
JOINTS. REPLACE
DAMAGED BRICK.

REPOINT
DETERIORATED
JOINTS. REPLACE
DAMAGED BRICK.

REPOINT
DETERIORATED
JOINTS. REPLACE
DAMAGED BRICK.

REPOINT
DETERIORATED
JOINTS. REPLACE
DAMAGED BRICK.

REPOINT
DETERIORATED
JOINTS. REPLACE
DAMAGED BRICK.

REPOINT
DETERIORATED
JOINTS. REPLACE
DAMAGED BRICK.

REPOINT
DETERIORATED
JOINTS. REPLACE
DAMAGED BRICK.

REPOINT
DETERIORATED
JOINTS. REPLACE
DAMAGED BRICK.

REPOINT
DETERIORATED
JOINTS. REPLACE
DAMAGED BRICK.

REPOINT
DETERIORATED
JOINTS. REPLACE
DAMAGED BRICK.

REPOINT
DETERIORATED
JOINTS. REPLACE
DAMAGED BRICK.

REPOINT
DETERIORATED
JOINTS. REPLACE
DAMAGED BRICK.

REPOINT
DETERIORATED
JOINTS. REPLACE
DAMAGED BRICK.

REPOINT
DETERIORATED
JOINTS. REPLACE
DAMAGED BRICK.

REPOINT
DETERIORATED
JOINTS. REPLACE
DAMAGED BRICK.

REPOINT
DETERIORATED
JOINTS. REPLACE
DAMAGED BRICK.

REPOINT
DETERIORATED
JOINTS. REPLACE
DAMAGED BRICK.

REPOINT
DETERIORATED
JOINTS. REPLACE
DAMAGED BRICK.

REPOINT
DETERIORATED
JOINTS. REPLACE
DAMAGED BRICK.

REPOINT
DETERIORATED
JOINTS. REPLACE
DAMAGED BRICK.

REPOINT
DETERIORATED
JOINTS. REPLACE
DAMAGED BRICK.

REPOINT
DETERIORATED
JOINTS. REPLACE
DAMAGED BRICK.

REPOINT
DETERIORATED
JOINTS. REPLACE
DAMAGED BRICK.

REPOINT
DETERIORATED
JOINTS. REPLACE
DAMAGED BRICK.

REPOINT
DETERIORATED
JOINTS. REPLACE
DAMAGED BRICK.

REPOINT
DETERIORATED
JOINTS. REPLACE
DAMAGED BRICK.

REPOINT
DETERIORATED
JOINTS. REPLACE
DAMAGED BRICK.

REPOINT
DETERIORATED
JOINTS. REPLACE
DAMAGED BRICK.

REPOINT
DETERIORATED
JOINTS. REPLACE
DAMAGED BRICK.

REPOINT
DETERIORATED
JOINTS. REPLACE
DAMAGED BRICK.

REPOINT
DETERIORATED
JOINTS. REPLACE
DAMAGED BRICK.

REPOINT
DETERIORATED
JOINTS. REPLACE
DAMAGED BRICK.

REPOINT
DETERIORATED
JOINTS. REPLACE
DAMAGED BRICK.

REPOINT
DETERIORATED
JOINTS. REPLACE
DAMAGED BRICK.

REPOINT
DETERIORATED
JOINTS. REPLACE
DAMAGED BRICK.

REPOINT
DETERIORATED
JOINTS. REPLACE
DAMAGED BRICK.

REPOINT
DETERIORATED
JOINTS. REPLACE
DAMAGED BRICK.

REPOINT
DETERIORATED
JOINTS. REPLACE
DAMAGED BRICK.

REPOINT
DETERIORATED
JOINTS. REPLACE
DAMAGED BRICK.

REPOINT
DETERIORATED
JOINTS. REPLACE
DAMAGED BRICK.

REPOINT
DETERIORATED
JOINTS. REPLACE
DAMAGED BRICK.

REPOINT
DETERIORATED
JOINTS. REPLACE
DAMAGED BRICK.

REPOINT
DETERIORATED
JOINTS. REPLACE
DAMAGED BRICK.

REPOINT
DETERIORATED
JOINTS. REPLACE
DAMAGED BRICK.

REPOINT
DETERIORATED
JOINTS. REPLACE
DAMAGED BRICK.

REPOINT
DETERIORATED
JOINTS. REPLACE
DAMAGED BRICK.

REPOINT
DETERIORATED
JOINTS. REPLACE
DAMAGED BRICK.

REPOINT
DETERIORATED
JOINTS. REPLACE
DAMAGED BRICK.

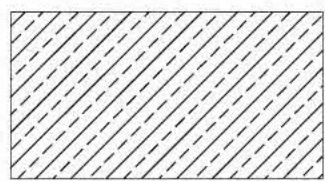
REPOINT
DETERIORATED
JOINTS. REPLACE
DAMAGED BRICK.

REPOINT
DETERIORATED
JOINTS. REPLACE
DAMAGED BRICK.

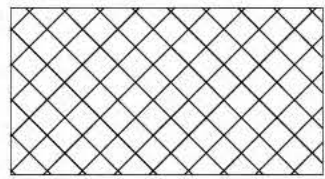
REPOINT
DETERIORATED
JOINTS. REPLACE
DAMAGED BRICK.

REPOINT
DETERIORATED
JOINTS. REPLACE
DAMAGED BRICK.

REPOINT
DETERIORATED
JOINTS. REPLACE
DAMAGED BRICK.



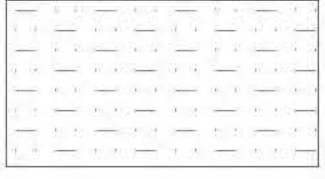
BRICK REPAIR
REMOVE EXISTING BRICK (DEPTH OF ONE WYTHE) FLIP AND USE BACKSIDE OF BRICK AS NEW EXTERIOR FACE.



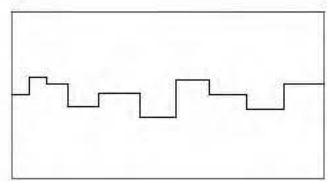
BRICK REMOVAL
REMOVE EXISTING BRICK MASONRY (DEPTH OF ONE WYTHE) AND REPLACE WITH MATCHING NEW OR SALVAGED BRICK MATCHING EXISTING. RESTORE ADJACENT AREA.



BRICK REBUILDING & REPLACEMENT
DISMANTLE EXISTING BRICK MASONRY FOR FULL DEPTH OF WALL. REPLACE WITH NEW AND SALVAGED MATERIAL FOR FULL DEPTH OF WALL TO EXTENT OF NEW OPENINGS.



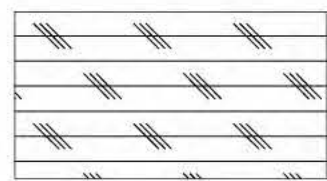
REMOVAL OF ANGEL STONE AND REPAIR OF BRICK
UNDERTAKE A TEST PANEL IN REMOVING "ANGEL STONE" FACADE FROM BUILDING FACADE TO INSPECT CONDITION OF BRICK BELOW. INTENT IS TO SALVAGE EXISTING BRICK AND REVERSE FACE USING BACK OF BRICK.



BRICK CRACK REPAIR
REMOVE EXISTING BRICK (DEPTH OF TWO WYTHES WHERE NECESSARY) TO EXTENT INDICATED. INSTALL HELICAL TIES INTO SOUND WALL ASSEMBLY AS DIRECTED BY THE ARCHITECT. REBUILD BRICK WITH NEW AND SALVAGED MATERIAL.



MORTAR REPOINTING
CUTOUT EXISTING MORTAR IN JOINTS AND REPLACE WITH NEW LIME BASED MORTAR.



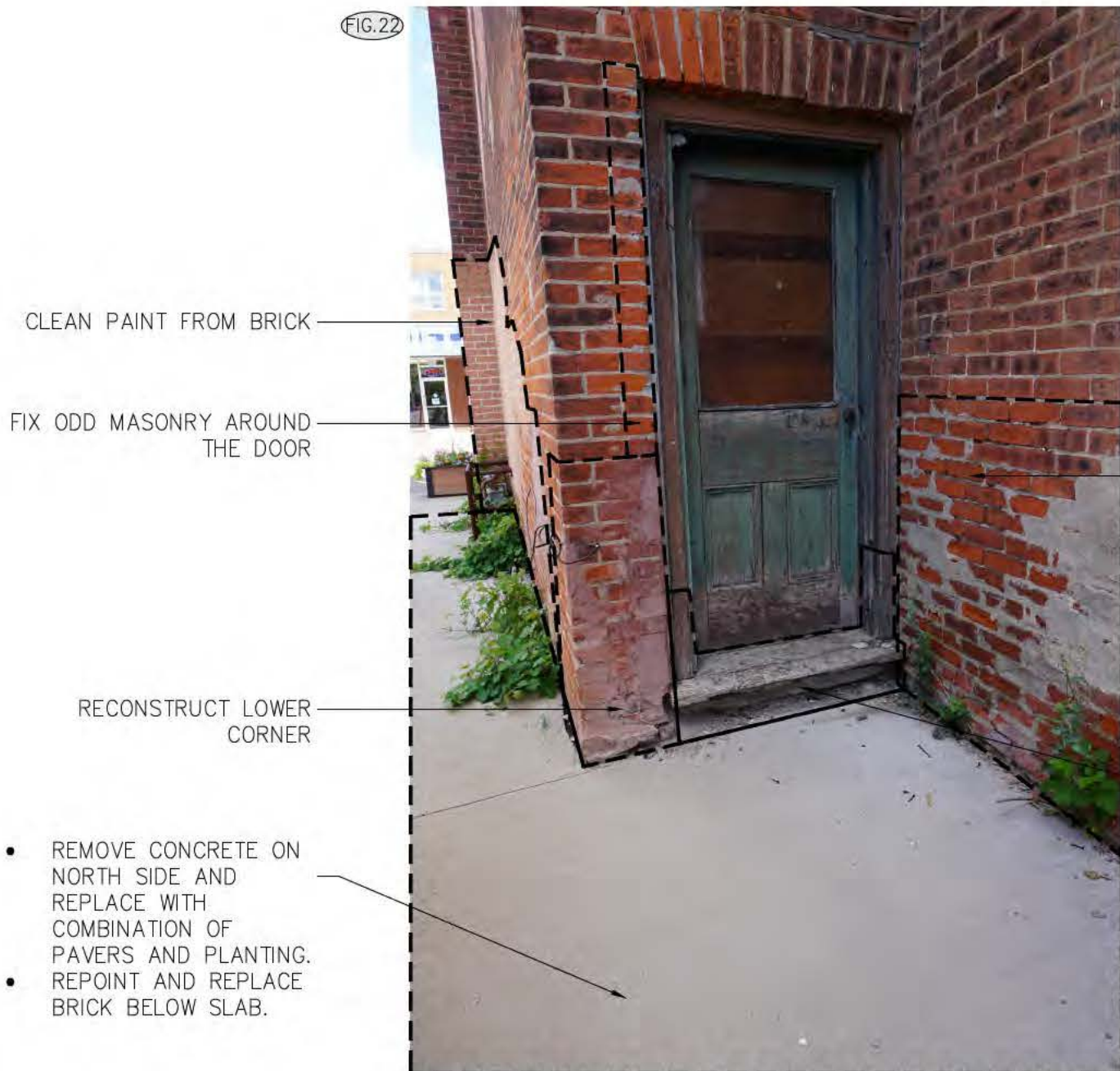
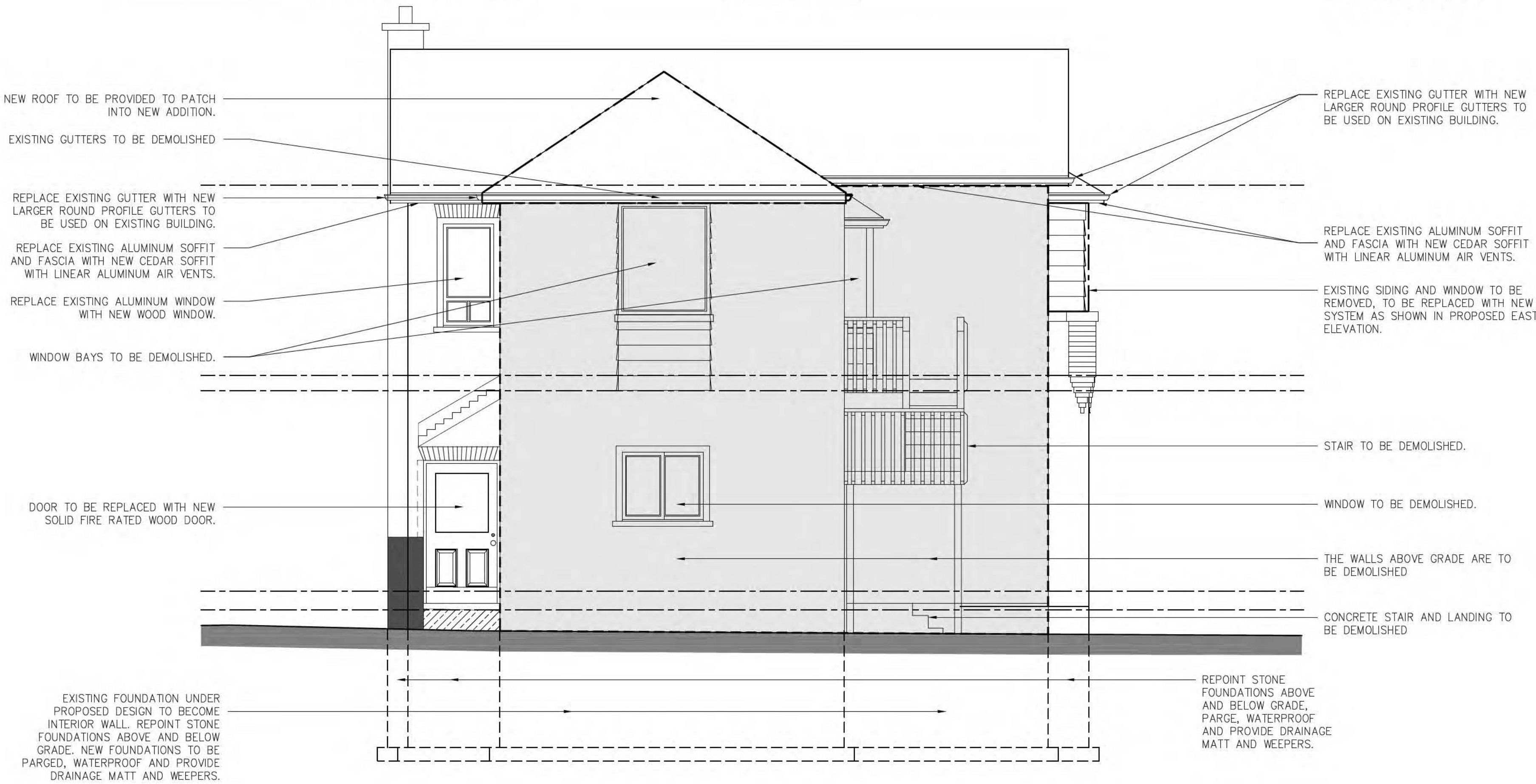
PAINT REMOVAL
REMOVE PAINT FROM BRICK SURFACE.



BRICK SALVAGE
EXISTING WALL TO BECOME AN INTERIOR WALL AFTER ADDITION. BRICK TO BE SALVAGED.

TYPICAL NOTES:

- EXCAVATE FOUNDATIONS AND EXAMINE CONDITION OF FOUNDATION WALLS AND SLATE LINE. REPLACE SLATE LINE IF NECESSARY. REPOINT STONE FOUNDATIONS ABOVE AND BELOW GRADE. PARGE, WATERPROOF AND PROVIDE NEW DRAINAGE MATT AND WEEPING TILE AT FOUNDATION.
- REMOVE WIRES AND UNUSED SERVICES.
- REPLACE ALUMINUM SOFFITS, FASCIA AND FRIEZE WITH NEW WOOD COMPONENTS. PROVIDE LINEAR ALUMINUM VENTS IN SOFFIT
- ALLOW FOR AN ADDITIONAL 15% REPOINTING AND 15% BRICK REPAIR/REPLACEMENT ON ALL FACADES.



REVISIONS		
NUMBER	DATE	REMARKS
002	2017/04/05	ISSUED FOR HERITAGE APPROVAL
001	2016/11/029	ISSUED FOR SPA

CONTRACTOR IS TO CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE PROJECT AND REPORT ANY DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK. DRAWINGS ARE NOT TO BE SCALED.

CONTRACT DOCUMENTS ARE THE COPYRIGHT OF THE CONSULTANTS AND SHALL NOT BE USED OR REPRODUCED WITHOUT AUTHORIZATION. DOCUMENTS ARE TO BE RETURNED UPON COMPLETION OF THE PROJECT.

ATA ARCHITECTS

ATA ARCHITECTS INC.
211 LAKESHORE ROAD EAST,
OAKVILLE, ONTARIO L6J 1H7
T 905 849 6986 F 905 849 4369
E info@ataarchitectsinc.com
www.ataarchitectsinc.com

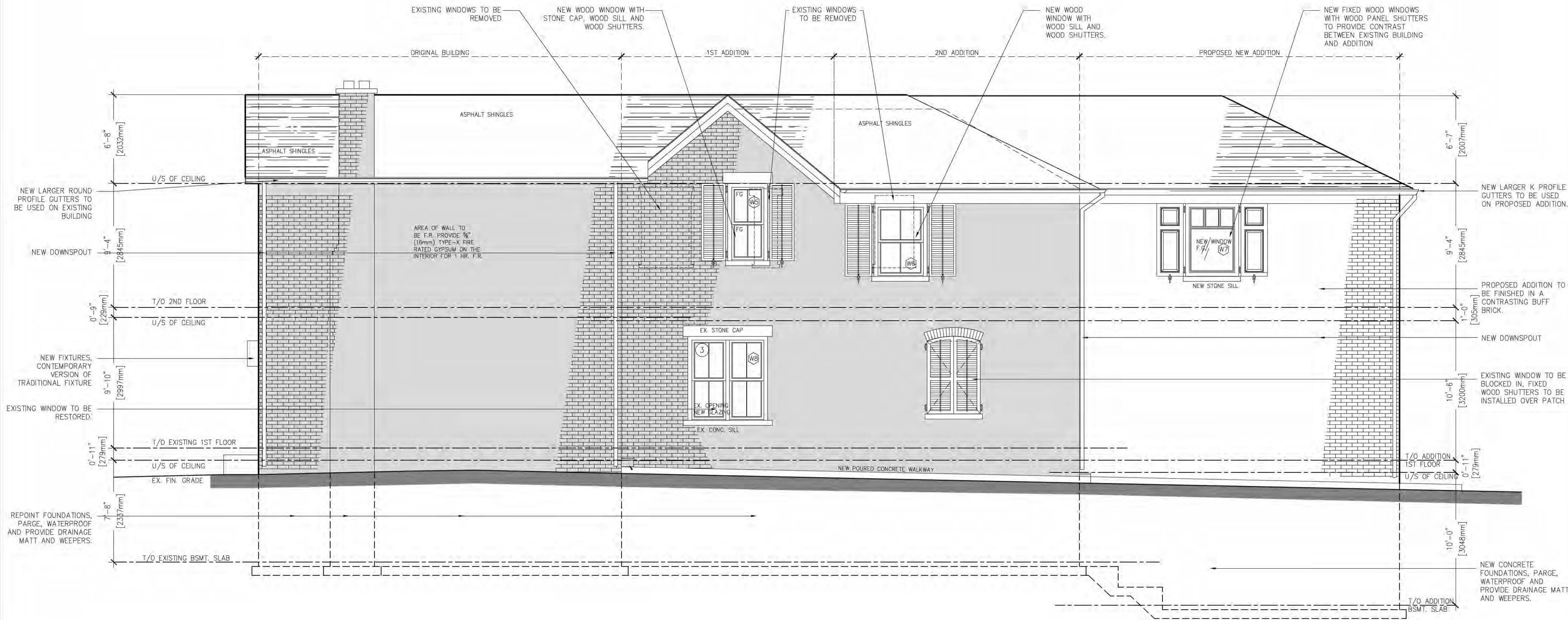
SEALS

ONTARIO ASSOCIATION
OF
ARCHITECTS
ALEXANDER L. TEMPORALE
LICENCE
22897

PROJECT TITLE	
264 QUEEN STREET STREETSVILLE	
DRAWING TITLE	
WEST ELEVATION - RESTORATION	
DRAWN BY	
JT	
SCALE	
1/4" = 1'-0"	
DATE	
2016 11 29	
CHECKED BY	
AT	
PROJECT NUMBER	
16-1127	
DRAWING NUMBER	

A-4.04





REVISIONS

NUMBER	DATE	REMARKS
001	2016/11/02	ISSUED FOR SPA
002	2017/04/05	ISSUED FOR HERITAGE APPROVAL

CONTRACTOR IS TO CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE PROJECT AND REPORT ANY DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK. DRAWINGS ARE NOT TO BE SCALED. CONTRACT DOCUMENTS ARE THE COPYRIGHT OF THE CONSULTANTS AND SHALL NOT BE USED OR REPRODUCED WITHOUT AUTHORIZATION. DOCUMENTS ARE TO BE RETURNED UPON COMPLETION OF THE PROJECT.

ATA ARCHITECTS

ATA ARCHITECTS INC.
211 LAKESHORE ROAD EAST,
OAKVILLE, ONTARIO L6J 1H7
T 905 849 6966 F 905 849 4369
E info@ataarchitectsinc.com
www.ataarchitectsinc.com



PROJECT TITLE

264 QUEEN STREET
STREETSVILLE

DRAWING TITLE

NORTH ELEVATION - PROPOSED

DRAWN BY

JT

SCALE

1/4" = 1'-0"

DATE

2016 11 29

CHECKED BY

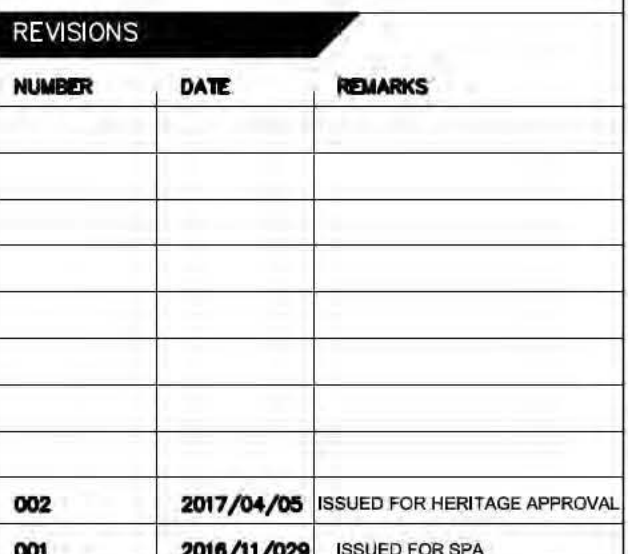
AT

PROJECT NUMBER

16-1127

DRAWING NUMBER

A-5.02



ATA ARCHITECTS

ATA ARCHITECTS INC.
211 LAKESHORE ROAD EAST,
OAKVILLE, ONTARIO L6J 1H7
T 905 849 6986 F 905 849
4369
E info@ataarchitectsinc.com
www.ataarchitectsinc.com

The logo for ATA Architects is a stylized, three-dimensional geometric design. It features a central vertical element that appears to be a column or a structural support, with horizontal and diagonal lines intersecting it to form a complex, abstract shape. The lines are of varying thickness, creating a sense of depth and architectural structure. The overall impression is one of modern, industrial design.

DRAWN BY JT

DATE 2016 11 29

PROJECT NUMBER	16-1127
----------------	---------

DRAWING NUMBER

A-5.03



REVISIONS		
NUMBER	DATE	REMARKS
002	2017/04/05	ISSUED FOR HERITAGE APPROVAL
001	2016/11/029	ISSUED FOR SPA

CONTRACTOR IS TO CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE PROJECT AND REPORT ANY DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK. DRAWINGS ARE NOT TO BE SCALED.

CONTRACT DOCUMENTS ARE THE COPYRIGHT OF THE CONSULTANTS AND SHALL NOT BE USED OR REPRODUCED WITHOUT AUTHORIZATION. DOCUMENTS ARE TO BE RETURNED UPON COMPLETION OF THE PROJECT.

ATA ARCHITECTS

ATA ARCHITECTS INC.
211 LAKESHORE ROAD EAST,
OAKVILLE, ONTARIO, L6J 1H7
T 905 849 6985 F 905 849 4369
E info@ataarchitectsinc.com
www.ataarchitectsinc.com

SEALS



PROJECT TITLE

264 QUEEN STREET
STREETSVILLE

DRAWING TITLE

WEST ELEVATION - PROPOSED

DRAWN BY

JT

SCALE

1/4" = 1'-0"

DATE

2016 11 29

CHECKED BY

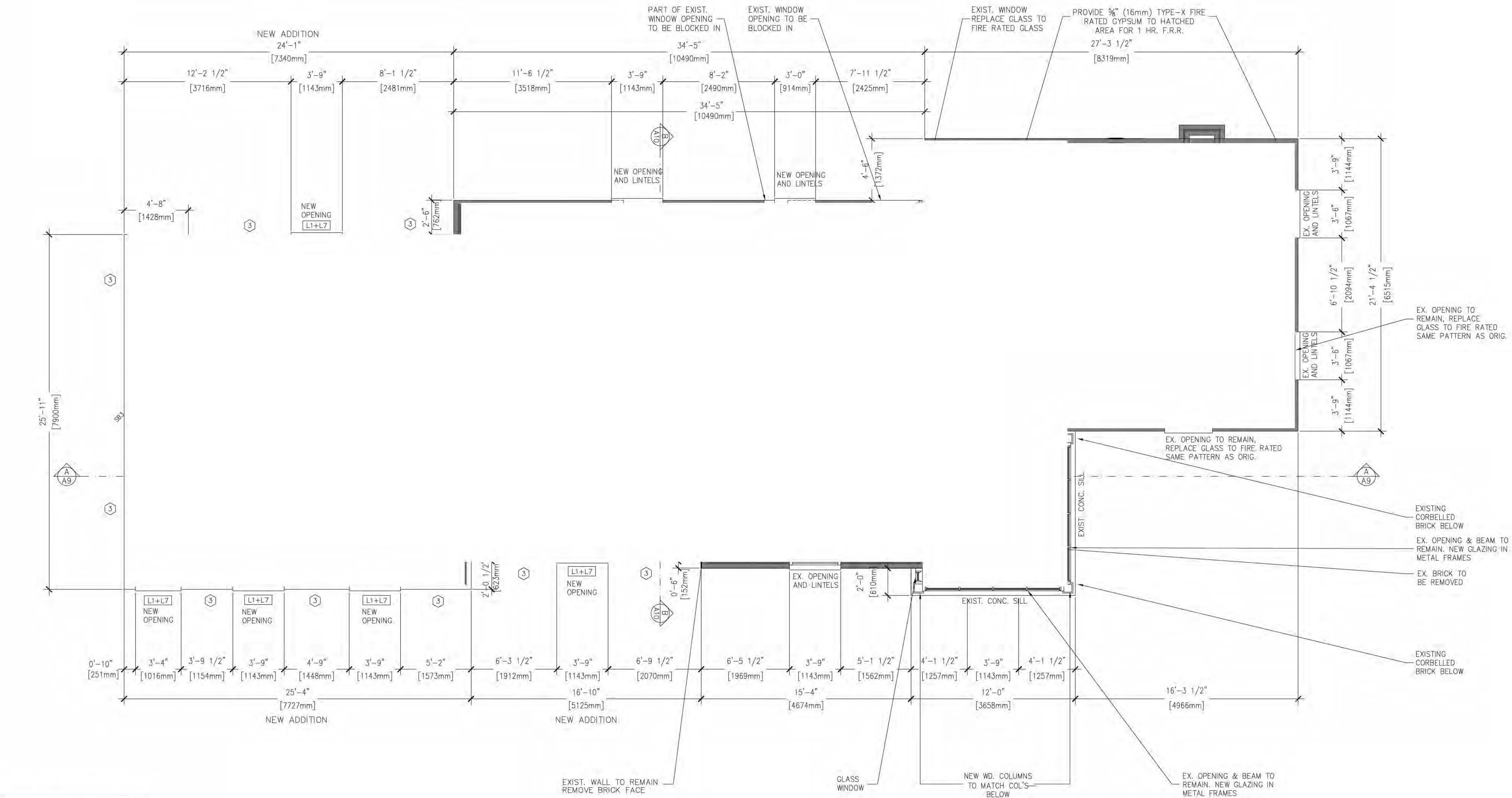
AT

PROJECT NUMBER

16-1127

DRAWING NUMBER

A-5.04



NOTE: JOIST AND BEAM SIZES
AS PER STRUCTURAL

- NEW WALLS/STRUCT. SEE NOTES.
- EXIST. WALLS
- EXIST. WALLS TO BE REMOVED.
- PROP. STUD WALL W/ld as per SB-3
W/ 1 HR. F.R.R.

- DESIGN LOAD FOR THE ATTIC
SPACE WLL=0.50 kPa
- NEW 2ND FLOOR LINTELS:
2-2"x10" + L3½"x3½"x¼"

REVISIONS		
NUMBER	DATE	REMARKS
002	2017/04/05	ISSUED FOR HERITAGE APPROVAL
001	2016/11/02	ISSUED FOR SPA

CONTRACTOR IS TO CHECK AND VERIFY ALL DIMENSIONS
AND CONDITIONS ON THE PROJECT AND REPORT ANY
DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING
WITH THE WORK. DRAWINGS ARE NOT TO BE SCALED.
CONTRACT DOCUMENTS ARE THE COPYRIGHT OF THE
CONSULTANTS AND SHALL NOT BE USED OR REPRODUCED
WITHOUT AUTHORIZATION. DOCUMENTS ARE TO BE
RETURNED UPON COMPLETION OF THE PROJECT.

ATA ARCHITECTS

ATA ARCHITECTS INC.
211 LAKESHORE ROAD EAST,
OAKVILLE, ONTARIO, L6J 1H7
T 905 849 6986 F 905 849
4369
E info@ataarchitectsinc.com
www.ataarchitectsinc.com

SEALS

ONTARIO ASSOCIATION
OF
ARCHITECTS
ALEXANDER TEMPORALE
LICENCE
7587

PROJECT TITLE

264 QUEEN STREET
STREETSVILLE

DRAWING TITLE	
PROPOSED SECOND FLOOR	
DRAWN BY	
JT	
SCALE	
1/4" = 1'-0"	
DATE	
2016 11 29	
CHECKED BY	
AT	
PROJECT NUMBER	
16-1127	
DRAWING NUMBER	

A-2.03

City of Mississauga

Corporate Report



Date: 2017/04/13

To: Chair and Members of Heritage Advisory Committee

From: Paul Mitcham, P. Eng, MBA, Commissioner of Community Services

Originator's files:

Meeting date:
2017/05/09

Subject

Request to Alter a Heritage Designated Property: 1507 Clarkson Road North (Ward 2)

Recommendation

That the proposal for the conservation of windows and doors as well as selected repair and replacement of the existing board and batten, soffit fascia, as depicted in the appendix to this report be approved for the Benares Museum's Barn building and installation of a French drain around the potting shed building at 1507 Clarkson Road North, which is designated under Part IV of the Ontario Heritage Act.

Background

Section 33 of the Ontario Heritage Act requires permission from Council in order to make alterations to a Part IV property.

Staff from the City's Facilities and Property Management Division has submitted a heritage permit application to complete conservation work to the exterior of the barn at the Benares Museum. The property, known as the Benares Museum site, is designated under Part IV of the Ontario Heritage Act. The barn building is one of the outbuildings that are heritage attributes of the property. The Benares property's cultural significance lies in it containing a fine example of the Georgian architectural style, dating to the 1830s. The property contains three historic outbuildings, a root cellar, a potting shed and a barn. The six acre property and all its historic buildings is an important cultural landscape providing a link to Mississauga's agrarian past. See Appendix 1.

The City's Building and Facilities Property Management staff will be coordinating the execution of the work.

Comments

Staff at the City's Building and Facilities Property Management Division has requested permission to repair the Barn building and the Potting shed on the property. For the barn building, the repair and selective replacement of battens on the existing board and batten side on the north, south and east sides of the building as well as the building's fascia, doors and windows is proposed. In addition, permission is requested to replace the existing board and batten on the west side of the building as well as the soffit panels as necessary. Regarding the

potting shed, a drainage trench around the building and French drain are proposed in order to address water drainage concerns around the building.

The City's Building and Facilities Property Management has submitted an application, drawings depicting detailed conservation drawings, and a heritage conservation management plan by heritage consultant Strickland Mateljan Design and Architecture for the proposed work. Refer to Appendix 2. The work is necessary as a result of grading, weathering and some signs of wild animal intrusion (soffit). The proposed work is based on a condition assessment and an approach based on minimal intervention by repairing first and replacement only when necessary, with compatible techniques and like materials and methods. Heritage Planning finds that the proposed conservation work to the barn and potting shed is sympathetic to the heritage attributes of both buildings.

Financial Impact

The cost is covered under Facility and Property Management's approved capital budget.

Conclusion

The applicant has submitted drawings and documentation by Strickland Mateljan Design and Architecture, supporting the request to complete conservation work to the exterior cladding, doors, windows soffits and fascia at the Benares barn building as well as a proposed drainage trench around the potting shed and French drain serving the same building. Heritage Planning Staff finds that the conservation work depicted in the proposal is sympathetic to the heritage attributes of the barn and potting shed buildings and should be approved.

Attachments

Appendix 1: Submitted drawings

Appendix 2: Heritage Conservation Management Plan



Paul Mitcham, P. Eng, MBA, Commissioner of Community Services

Prepared by: Cecilia Nin Hernandez, Heritage Coordinator



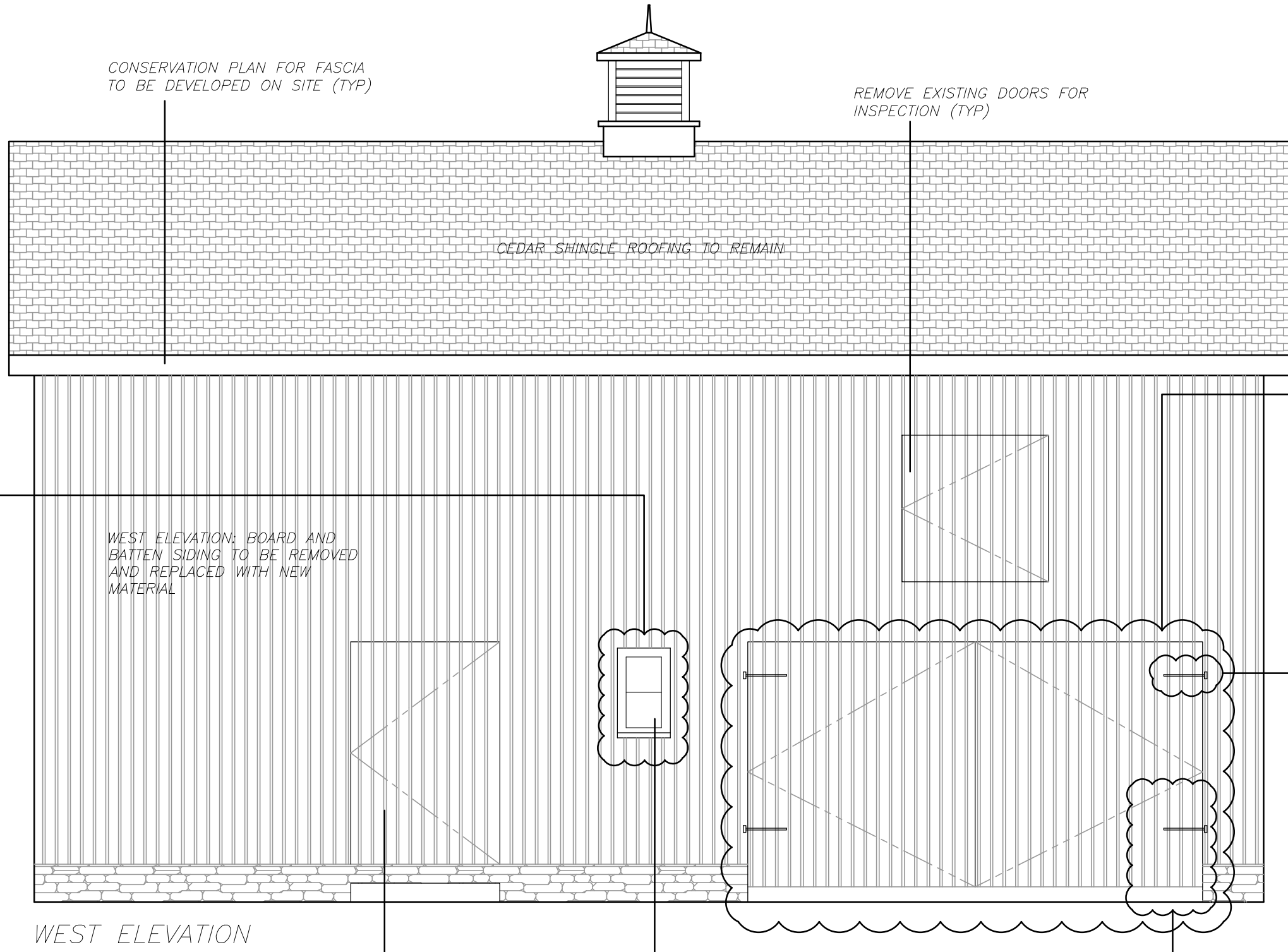
WEST ELEVATION



WINDOW — NOTE DETERIORATION AT LOWER SASH, SILL



DOOR — NOTE DETERIORATION AT LOWER EDGE (TYPICAL FOR ALL DOORS)



WEST ELEVATION

REMOVE EXISTING DOORS FOR INSPECTION (TYP)

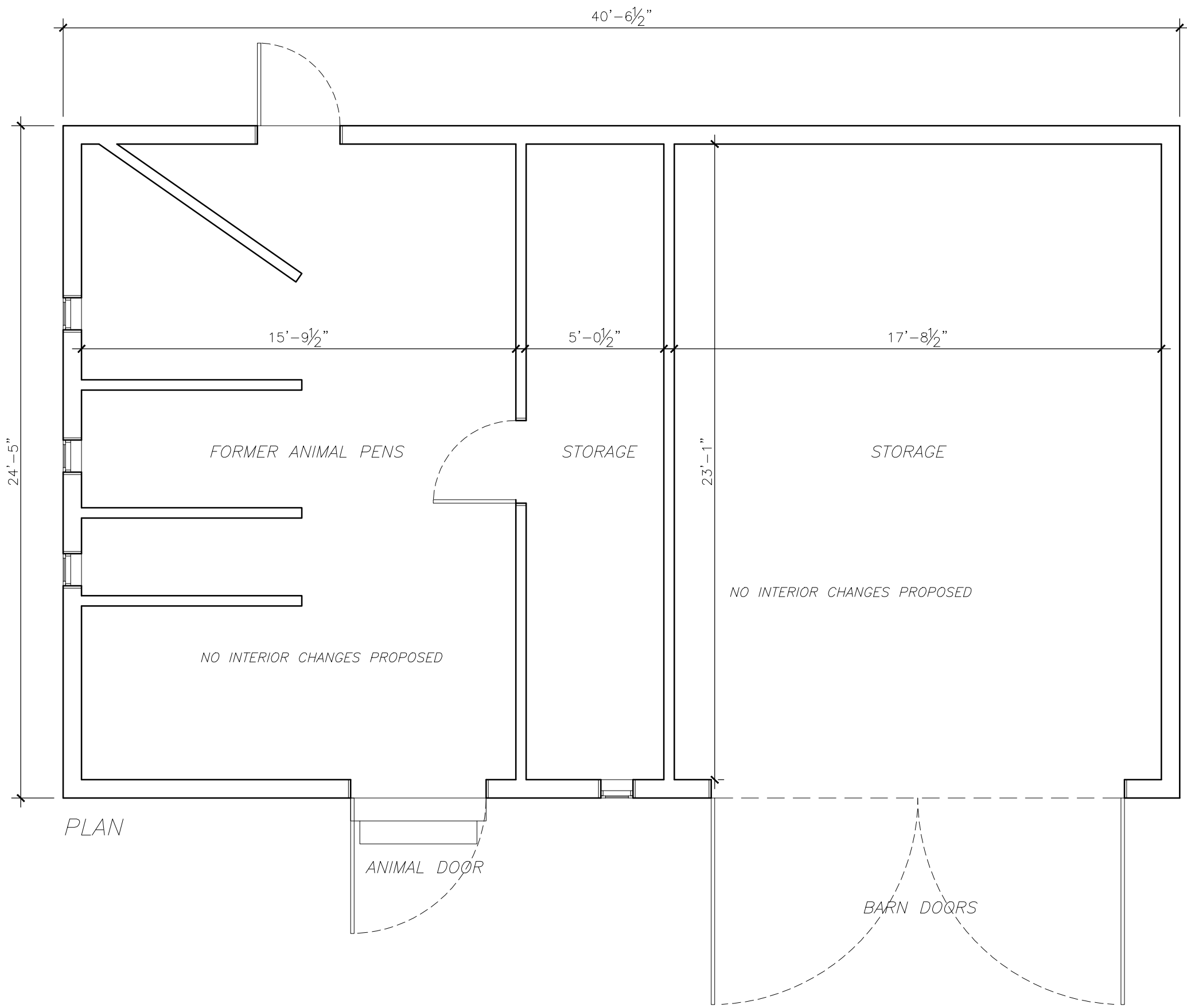
ALL WINDOWS TO BE REMOVED AND SENT TO WINDOW CONSERVATOR FOR OFF-SITE RESTORATION (TYP)



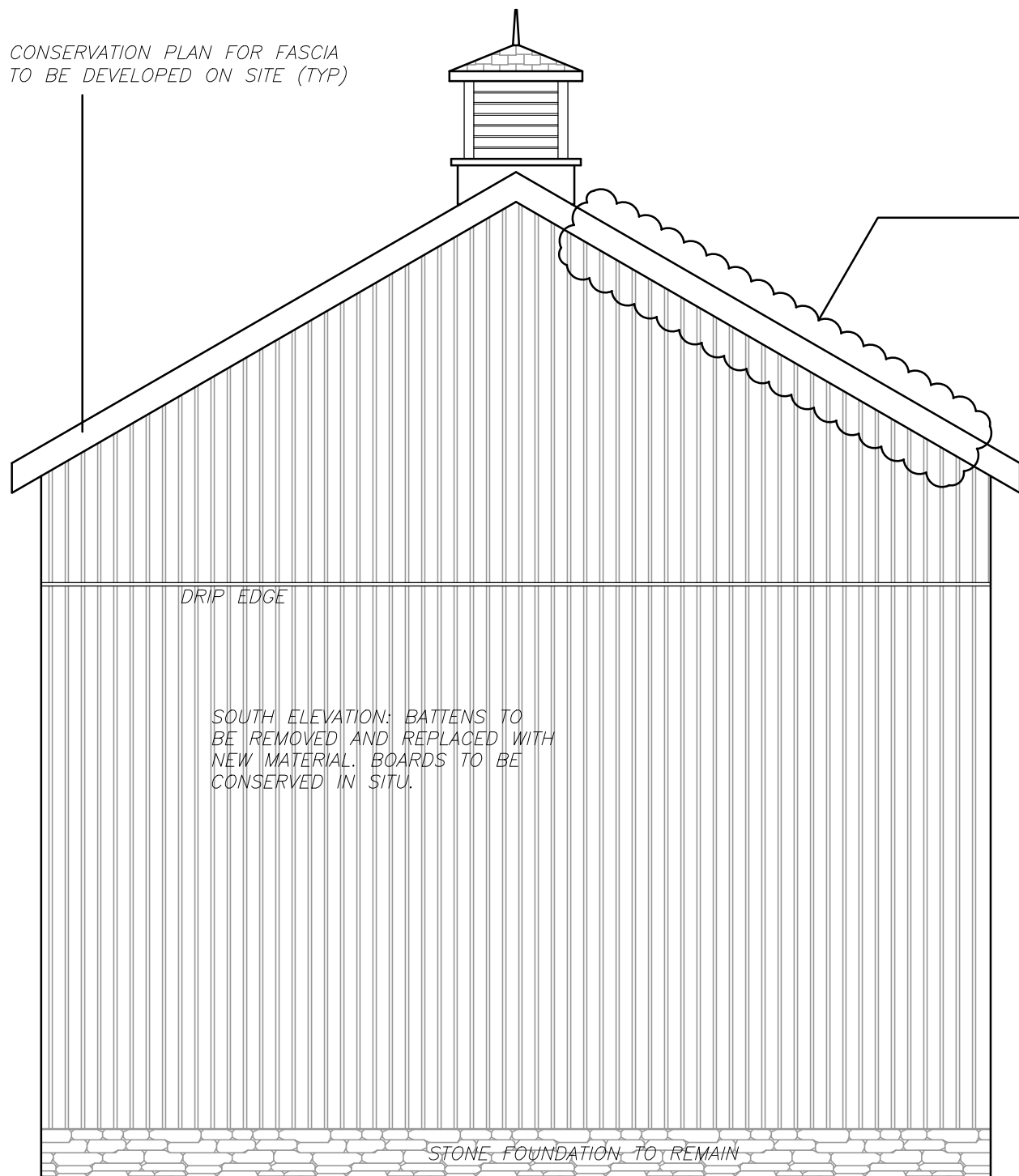
DOOR — NOTE GENERAL DETERIORATION, SAGGING OF DOOR PANELS. ALL DOORS ARE TO BE REMOVED AND ASSESSED ON-SITE AND REPAIRED ON SITE IF POSSIBLE. IF REPAIRS ON SITE ARE NOT POSSIBLE DOORS ARE TO BE SENT TO SPECIALIST FOR OFF-SITE CONSERVATION



DOOR — NOTE ORIGINAL METAL STRAP HINGE AND ORIGINAL HARDWARE. THIS MUST BE CONSERVED AND RE-USED. NOTE ORIGINAL WOOD DRIP EDGE ABOVE



PLAN



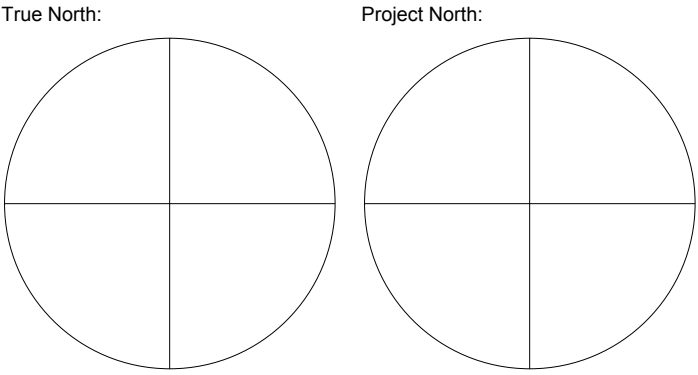
SOUTH ELEVATION



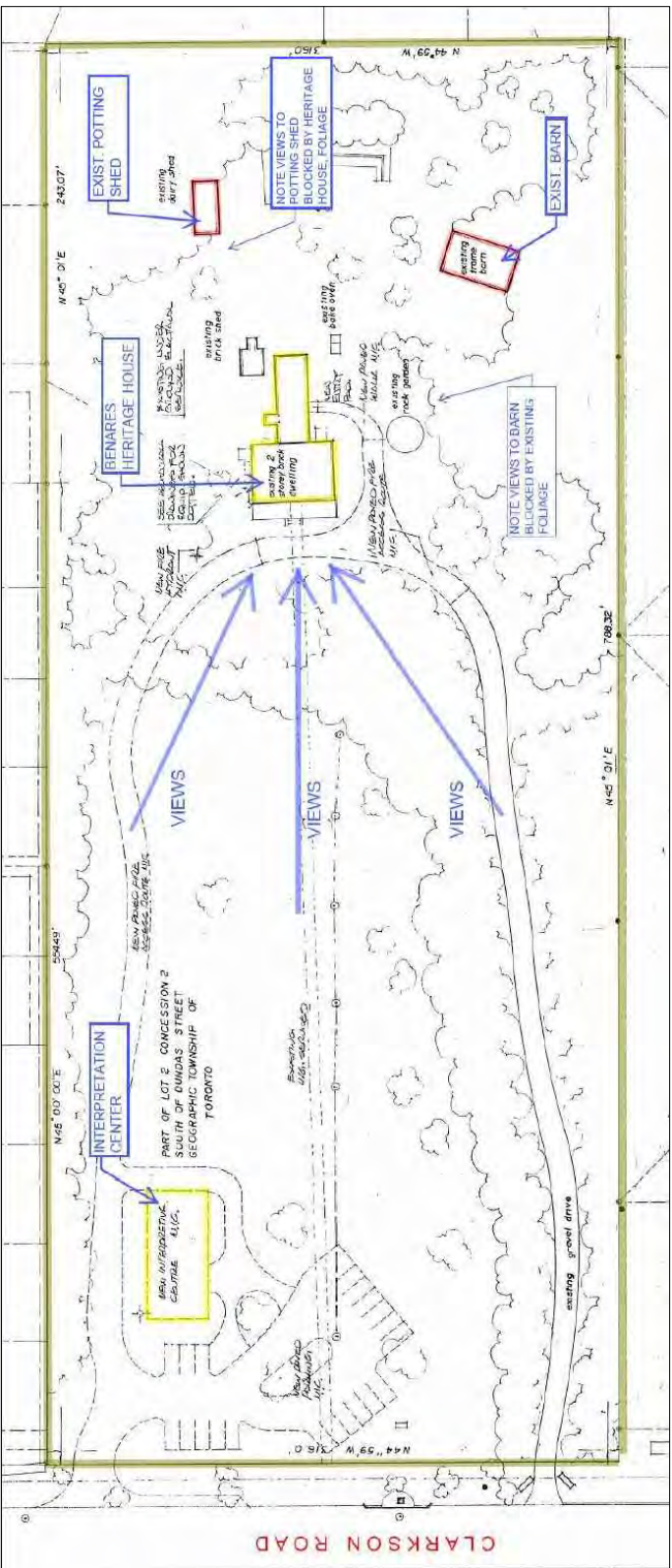
SOFFIT — NOTE HOLES GNAWED BY ANIMALS SEEKING ENTRY INTO BUILDING



SOUTH ELEVATION — NOTE WOOD DRIP EDGE DETAIL BELOW GABLE END



Key Plan:





3	Mar 30 17	Heritage Permit Application	R.M.
2	Mar 29 17	Client Review	R.M.
1	Mar 17 17	Preliminary Review	R.M.
No.	Date	Issued/Revision	By:

Strickland Mateljan
Design + Architecture

79 Wilson Street, Suite 301
Oakville ON L6K 3G4
Tel: 905 842 2848
smda.ca

©2017 - Copyright - All Designs, Details, Graphic & Written Material illustrated herein constitutes the original work of Strickland/Mateljan Design Associates Ltd. and may not be copied, published, reproduced by any means or used on projects except as noted herein without their written consent. All rights reserved. The contractor is to verify all dimensions and site conditions on the project and report any discrepancies to Strickland/Mateljan Design Associates Ltd. immediately. Construction must conform to all applicable Codes and Requirements of Authorities having Jurisdiction. Unless otherwise noted, these drawings do not address issues of shoring, protection or support of existing works during the construction process. These drawings are not to be used for construction or fabrication of components until marked "Issued for construction". Do not scale drawings. Submit shop drawings for approval.

Designer:	Engineer:
	

Project:
Benares Estate
City of Mississauga
1507 Clarkson Rd. N
Mississauga, ON

Sheet Title:
Barn West Elevation
Barn South Elevation
Barn Plan

Design By:	Drawn By:	Approved By:
R.M.	R.M.	R.M.
Scale:	Date:	Project No:
1/4" = 1'0"	March 17, '17	17.09

Drawing No:

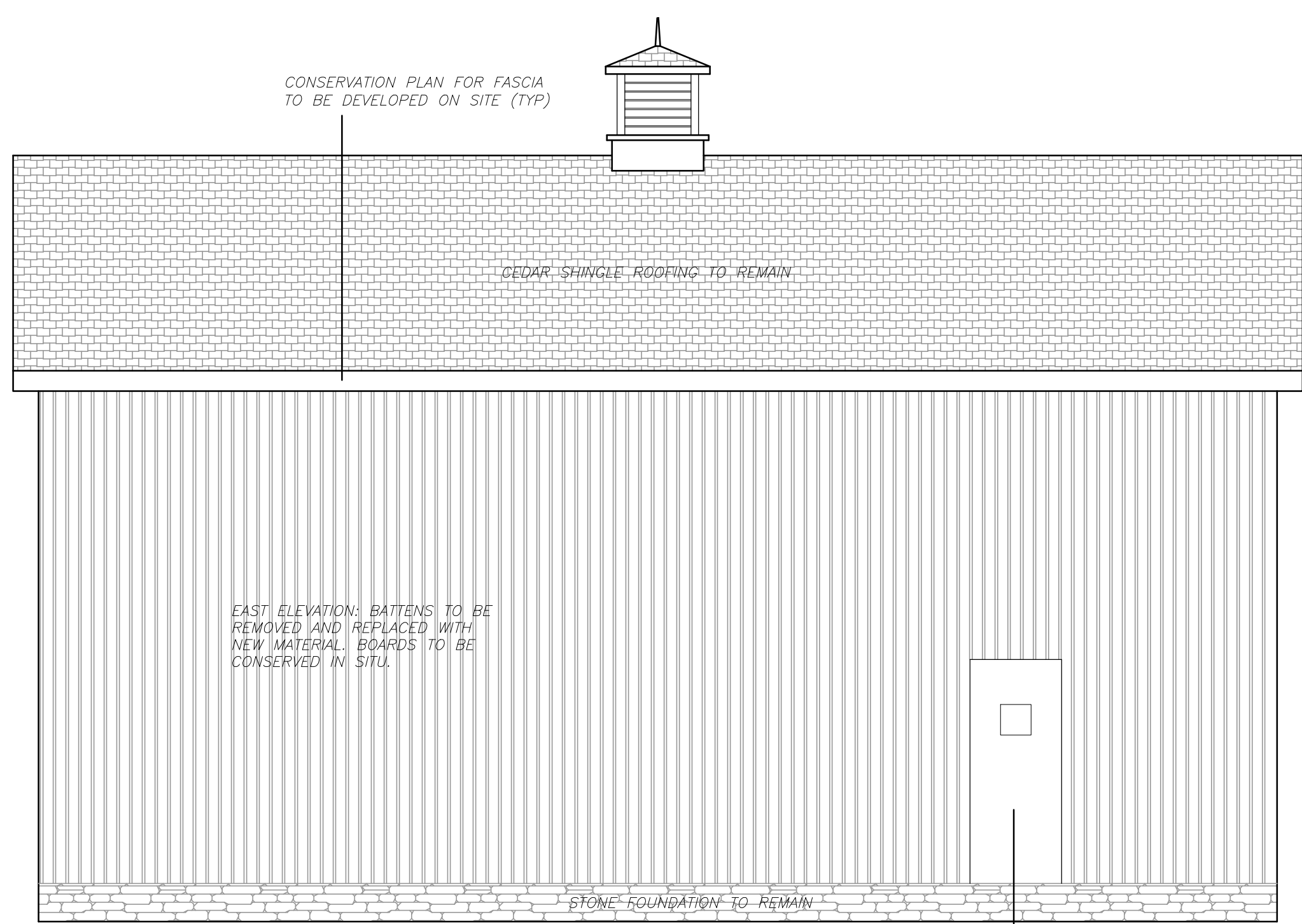
A001.0



EAST ELEVATION



1 X 12 (NOMINAL) ROUGH SAWN KILN DRIED PINE BOARDS
SOURCE: HOFFMEYERS MILL, 189 HURON RD., SEBRINGVILLE ON

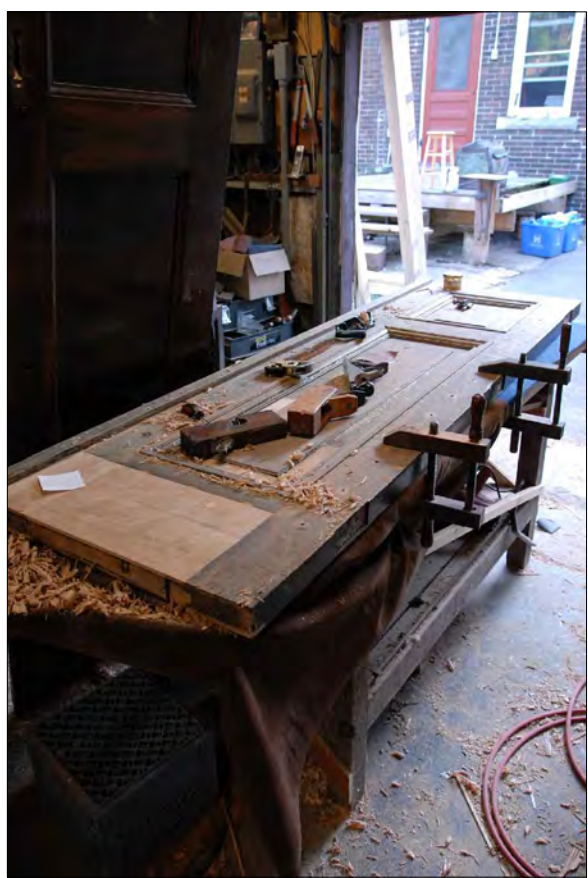


EAST ELEVATION

REMOVE EXISTING DOORS FOR INSPECTION (TYP)



NORTH-EAST OBLIQUE VIEW



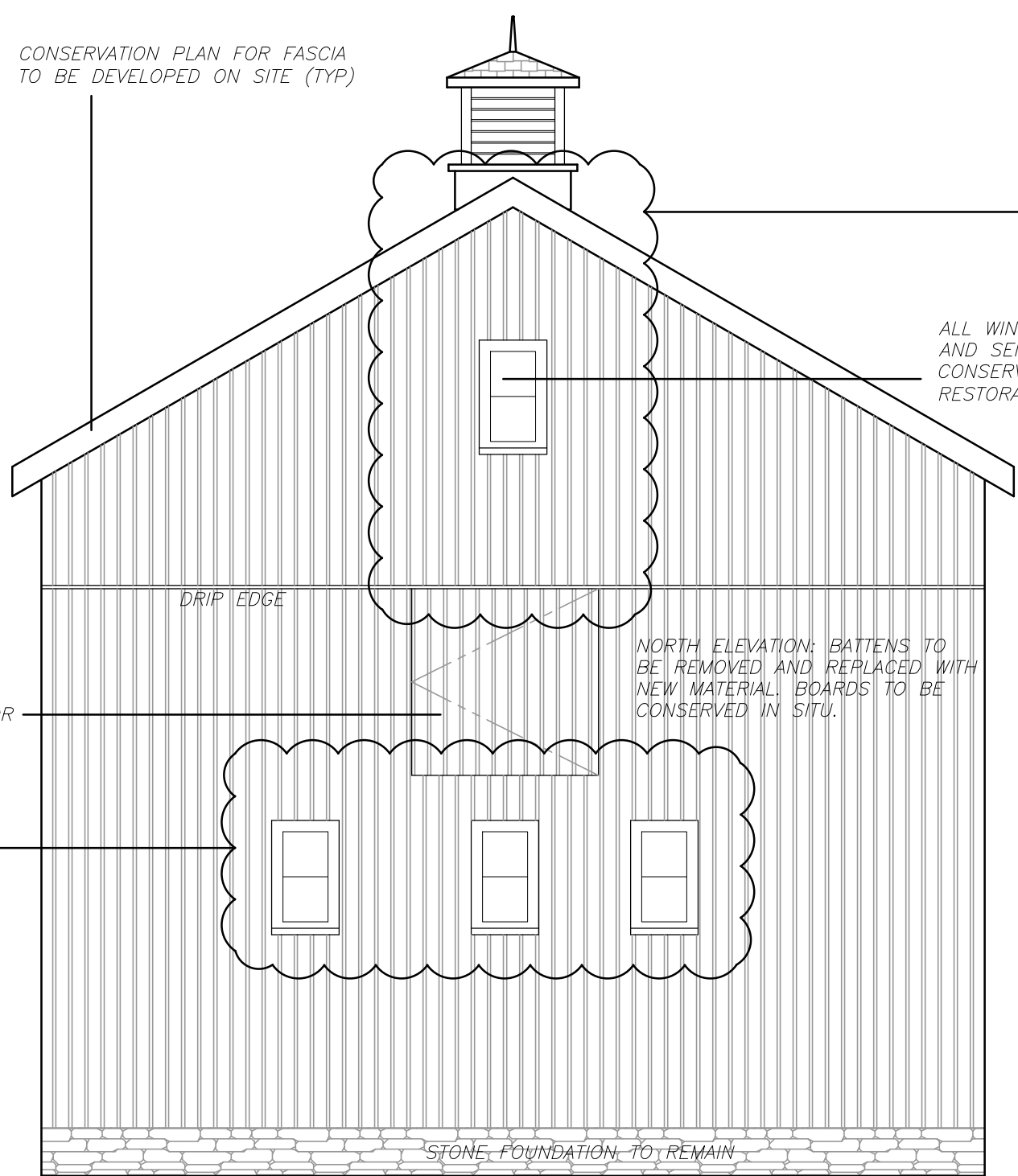
EXAMPLE OF OFF-SITE CUSTOM WINDOW & DOOR CONSERVATION – NOTE NEW MATERIAL AT LOWER RAIL OF DOOR

RECOMMENDED CONSERVATOR:
WALTER FURLAN CONSERVATION 905 383 3704



NORTH ELEVATION

REMOVE EXISTING DOORS FOR INSPECTION (TYP)

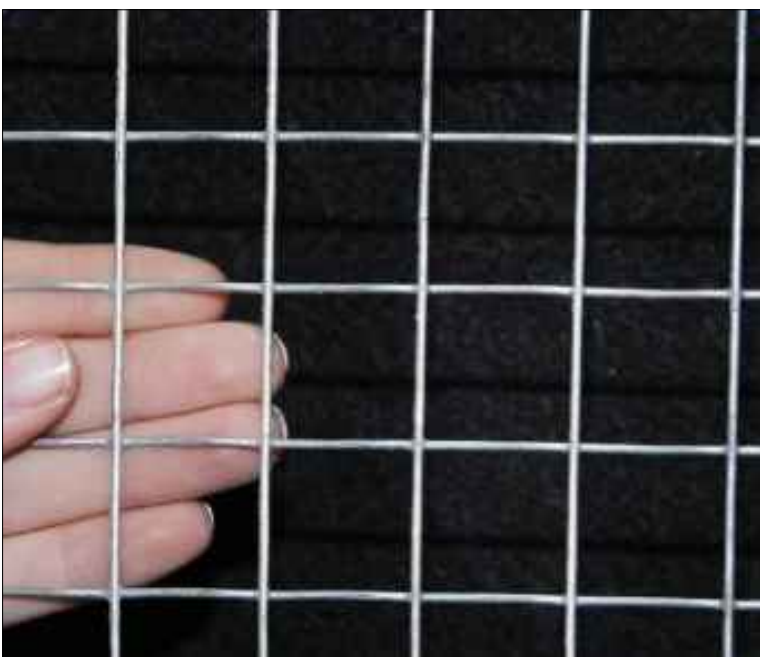


NORTH ELEVATION

ALL WINDOWS TO BE REMOVED AND SENT TO WINDOW CONSERVATOR FOR OFF-SITE RESTORATION (TYP)



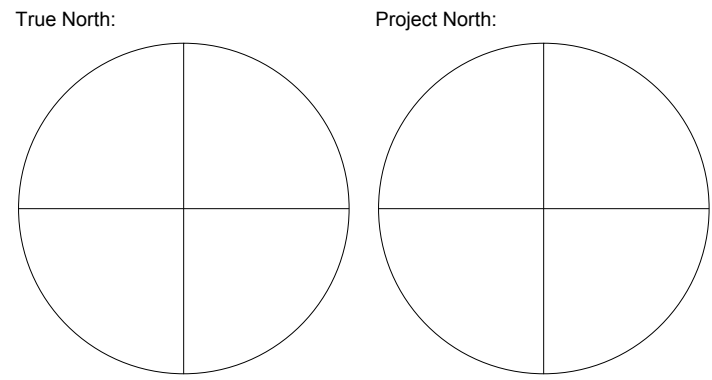
GABLE END – NOTE DETERIORATION AT WINDOW SILL AND TRIMS, DAMAGE FROM ANIMAL INFILTRATION AT SOFFIT, REPAIRED DAMAGED FROM ANIMAL INFILTRATION AT FASCIA



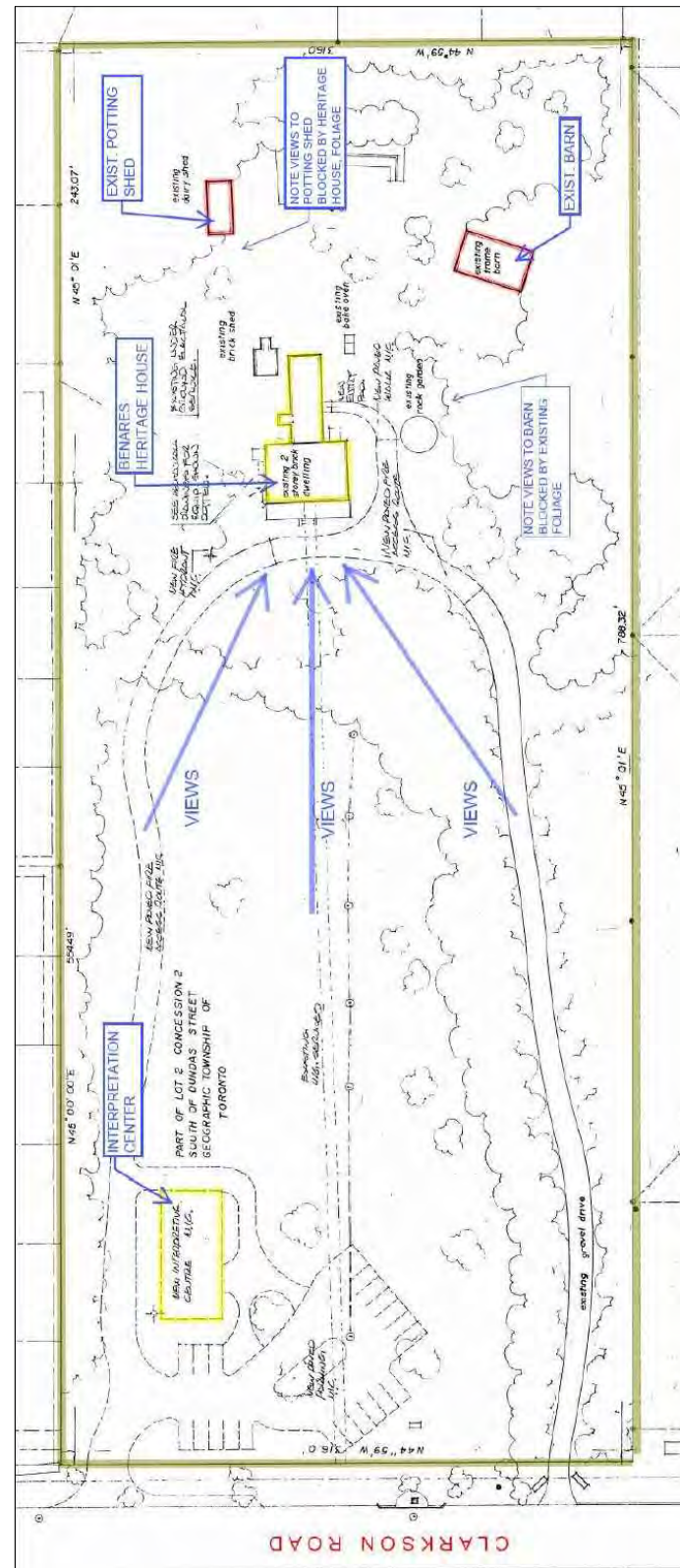
25MM X 25MM 10 GAUGE GALVANIZED WIRE MESH RECOMMENDED TO LINE SOFFITS TO DISCOURAGE ANIMAL ACTIVITY



WINDOWS AT NORTH ELEVATION – ALL WINDOWS TO BE REMOVED AND SENT TO WINDOW CONSERVATOR FOR OFF-SITE RESTORATION



Key Plan:




3	Mar 30 17	Heritage Permit Application	R.M.
2	Mar 29 17	Client Review	R.M.
1	Mar 17 17	Preliminary Review	R.M.
No.	Date	Issued/Revision	By:

Strickland Mateljan
Design + Architecture

79 Wilson Street, Suite 301
Oakville ON L6K 3G4
Tel: 905 842 2848
smda.ca

©2017 - Copyright - All Designs, Details, Graphic & Written Material illustrated herein constitutes the original work of Strickland/Mateljan Design Associates Ltd. and may not be copied, published, reproduced by any means or used on projects except as noted herein without their written consent. All rights reserved. The contractor is to verify all dimensions and site conditions on the project and report any discrepancies to Strickland/Mateljan Design Associates Ltd. immediately. Construction must conform to all applicable Codes and Requirements of Authorities have Jurisdiction. Unless otherwise noted, these drawings do not address issues of shoring, protection or support of existing works during the construction process. These drawings are not to be used for construction or fabrication of components until marked "Issued for construction". Do not scale drawings. Submit shop drawings for approval.

Designer:	Engineer:
	

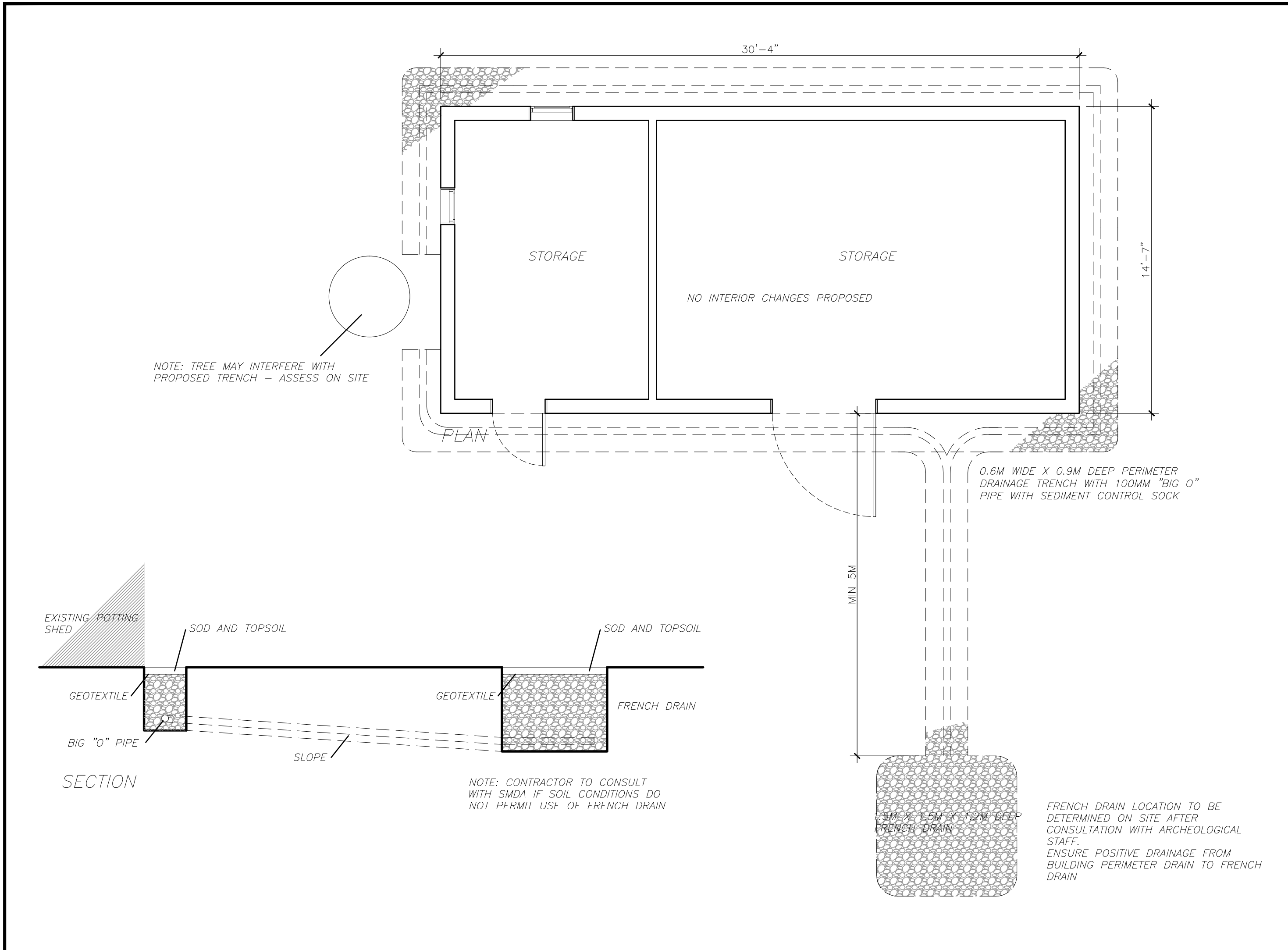
Project:
Benares Estate
City of Mississauga
1507 Clarkson Rd. N
Mississauga, ON

Sheet Title:
Barn West Elevation
Barn South Elevation
Barn Plan

Design By:	Drawn By:	Approved By:
R.M.	R.M.	R.M.
Scale:	Date:	Project No:
1/4" = 1'0"	March 17, '17	17.09

Drawing No:

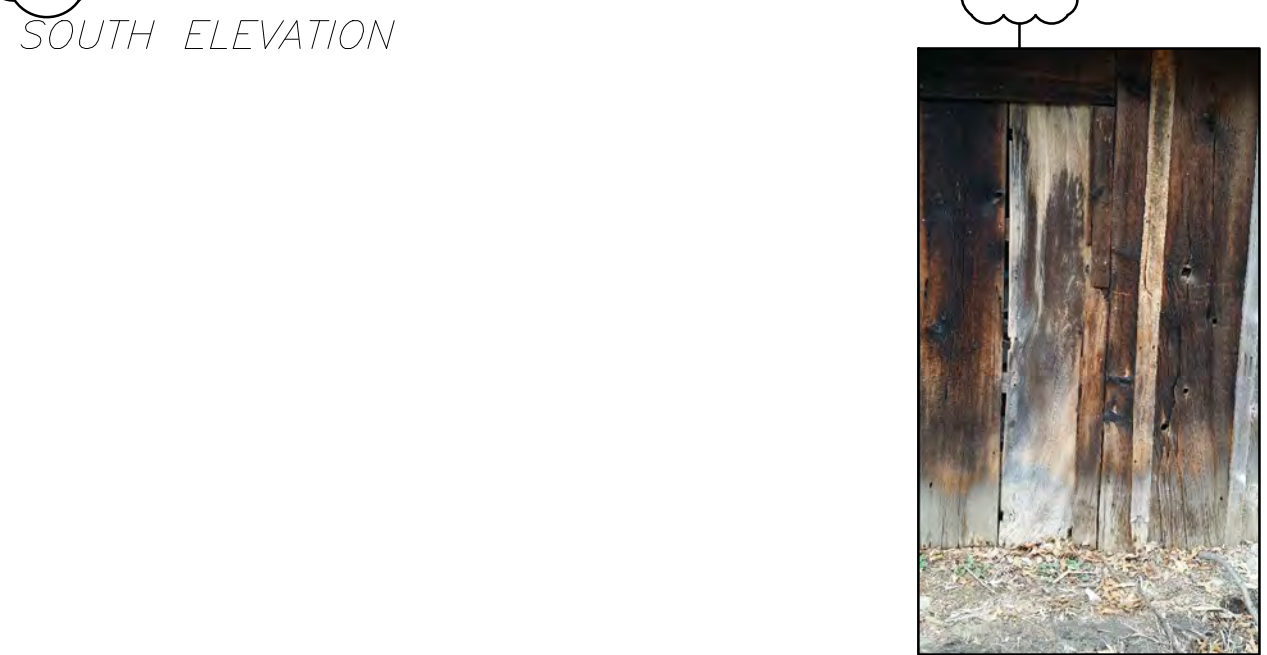
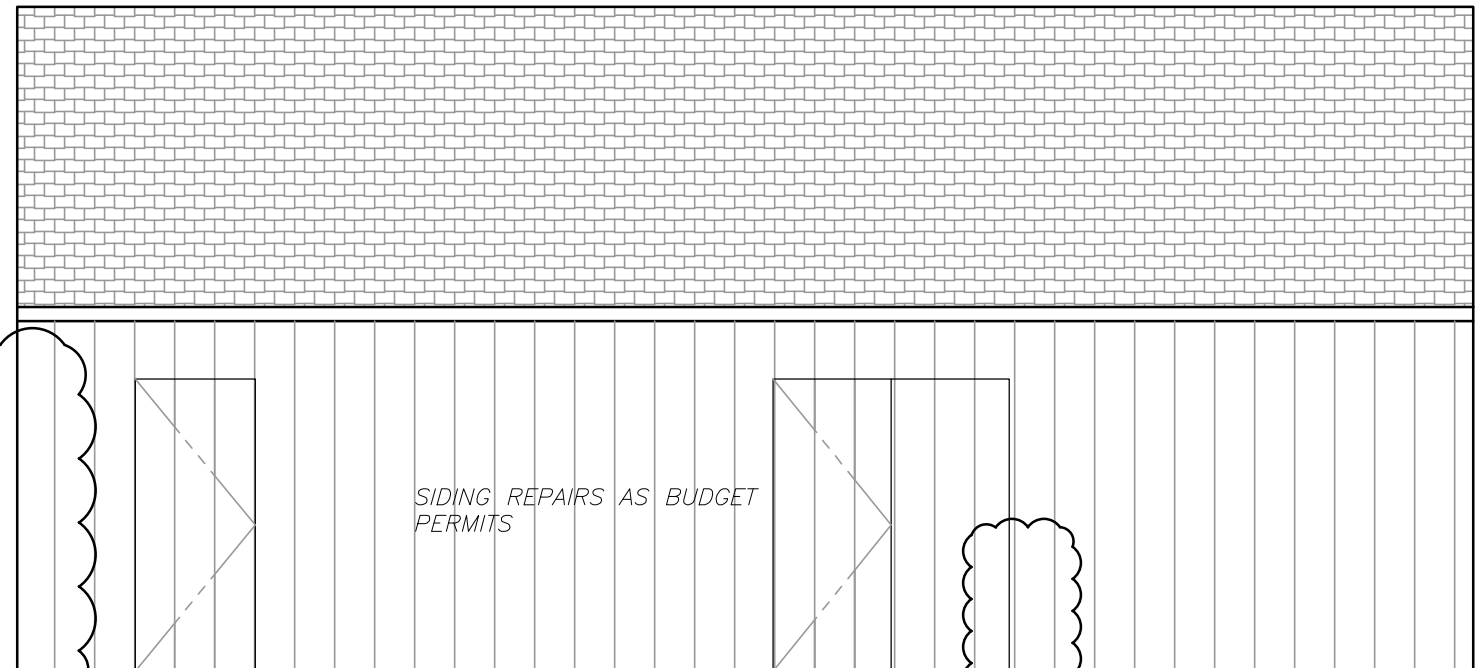
A002.0



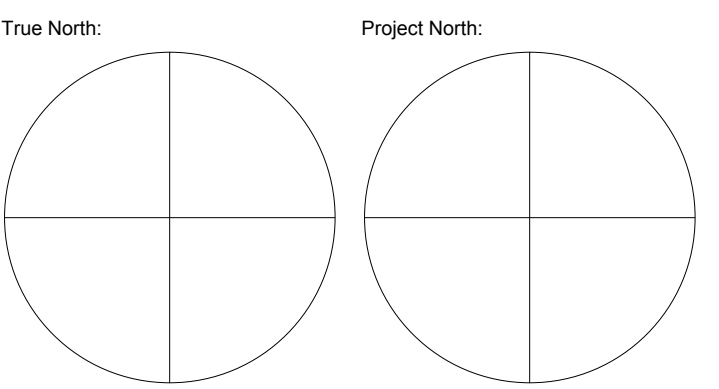
SOUTH-WEST OBLIQUE VIEW - NOTE DIS-SIMILAR SIDING, GENERAL DETERIORATION OF BUILDING



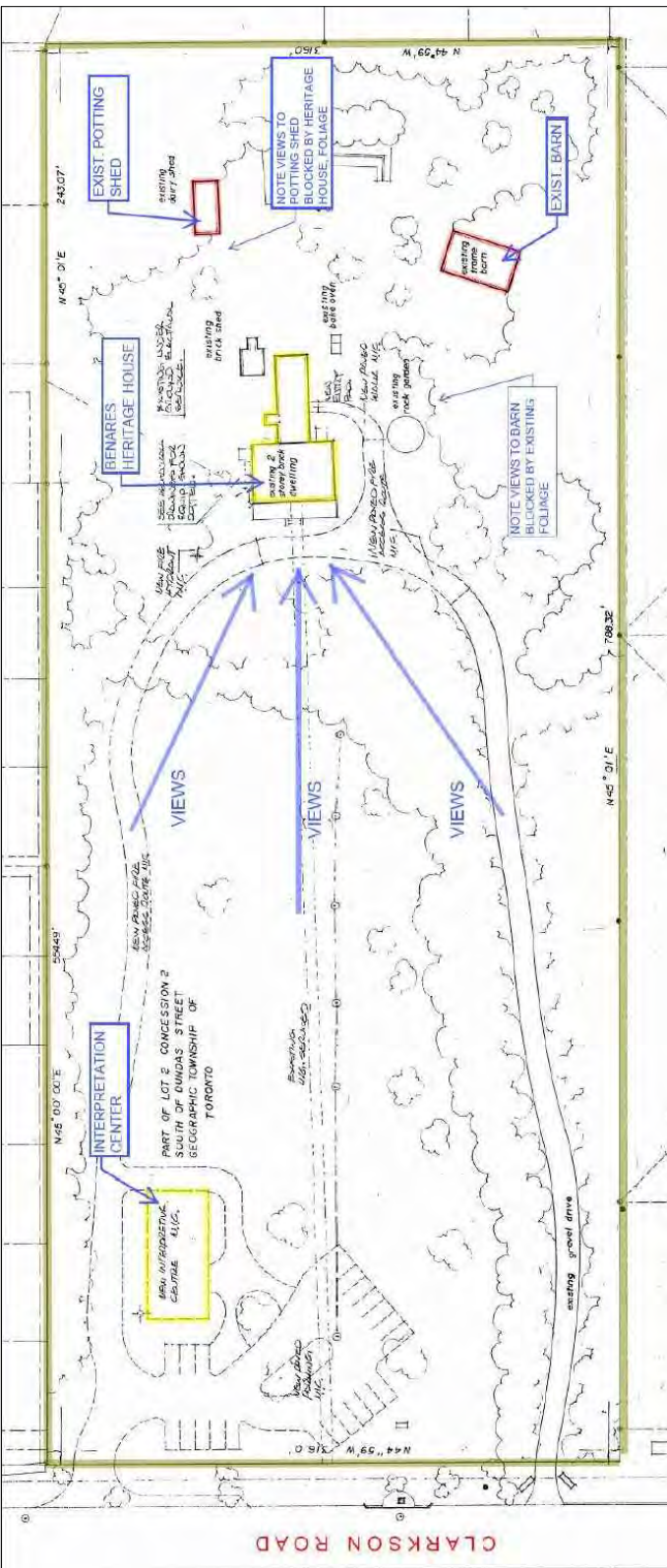
CORNER BOARD - NOTE WEAR



DOOR AND SIDING - NOTE GENERAL DETERIORATION, GAPS, CRACKS



Key Plan:




3	Mar 30 17	Heritage Permit Application	R.M.
2	Mar 29 17	Client Review	R.M.
1	Mar 17 17	Preliminary Review	R.M.

No.	Date	Issued/Revision	By:
-----	------	-----------------	-----

SM DA Strickland Mateljan
Design + Architecture

79 Wilson Street, Suite 301
Oakville ON L6K 3G4
Tel: 905 842 2848
smda.ca

©2017 - Copyright - All Designs, Details, Graphic & Written Material illustrated herein constitutes the original work of Strickland/Mateljan Design Associates Ltd. and may not be copied, published, reproduced by any means or used on projects except as noted herein without their written consent. All rights reserved. The contractor is to verify all dimensions and site conditions on the project and report any discrepancies to Strickland/Mateljan Design Associates Ltd. immediately. Construction must conform to all applicable Codes and Requirements of Authorities have Jurisdiction. Unless otherwise noted, these drawings do not address issues of shoring, protection or support of existing works during the construction process. These drawings are not to be used for construction or fabrication of components until marked "Issued for construction". Do not scale drawings. Submit shop drawings for approval.

Designer:	Engineer:
	

Project:
Benares Estate
City of Mississauga
1507 Clarkson Rd. N
Mississauga, ON

Sheet Title:
Potting Shed
Plans & Elevations

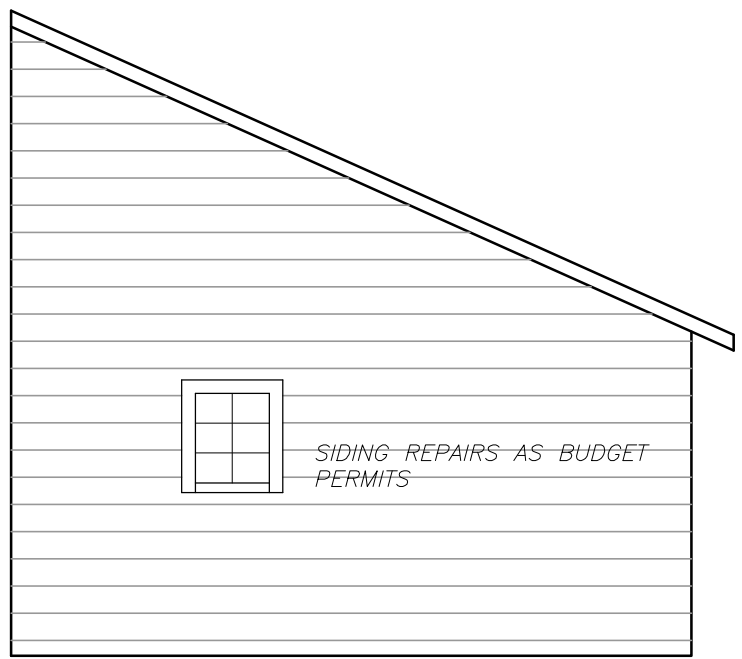
Design By:	Drawn By:	Approved By:
R.M.	R.M.	R.M.
Scale:	Date:	Project No:
1/4" = 1'0"	March 17, '17	17.09

Drawing No:

A003.0



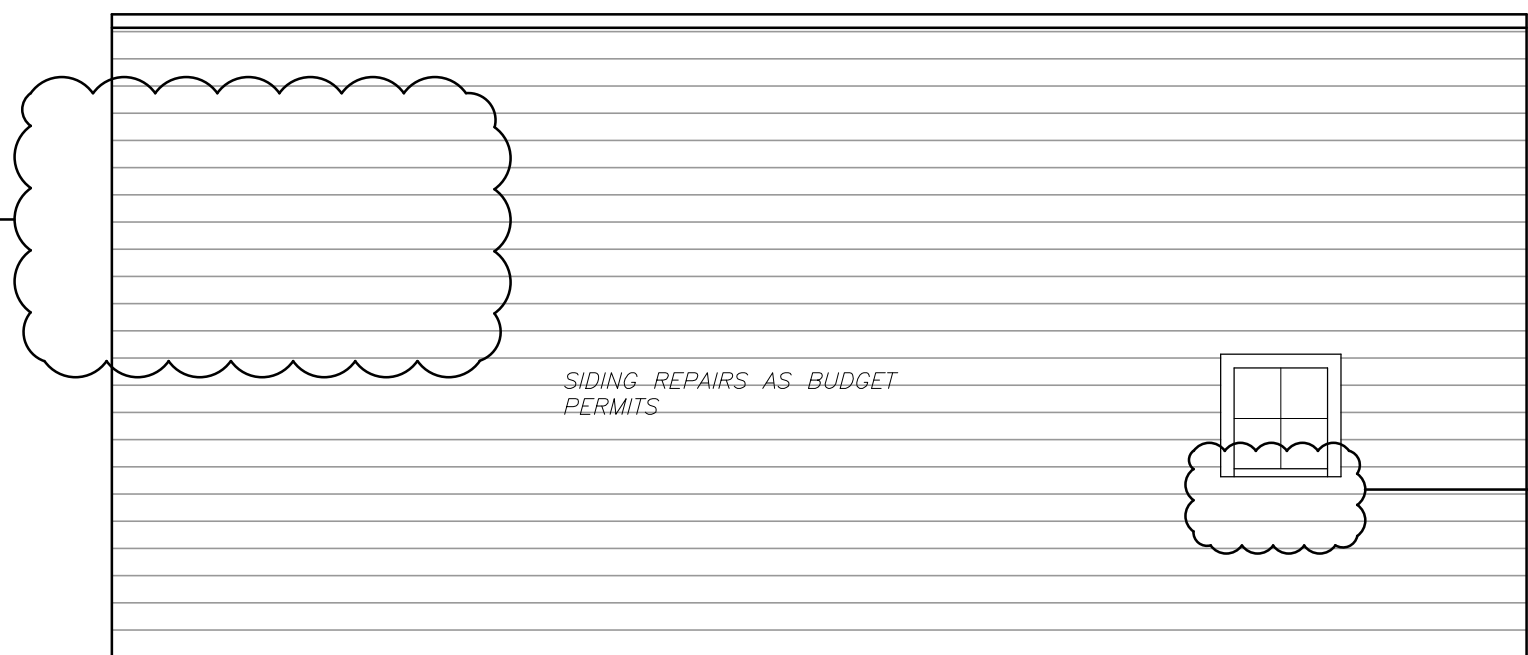
WEST ELEVATION



WEST ELEVATION



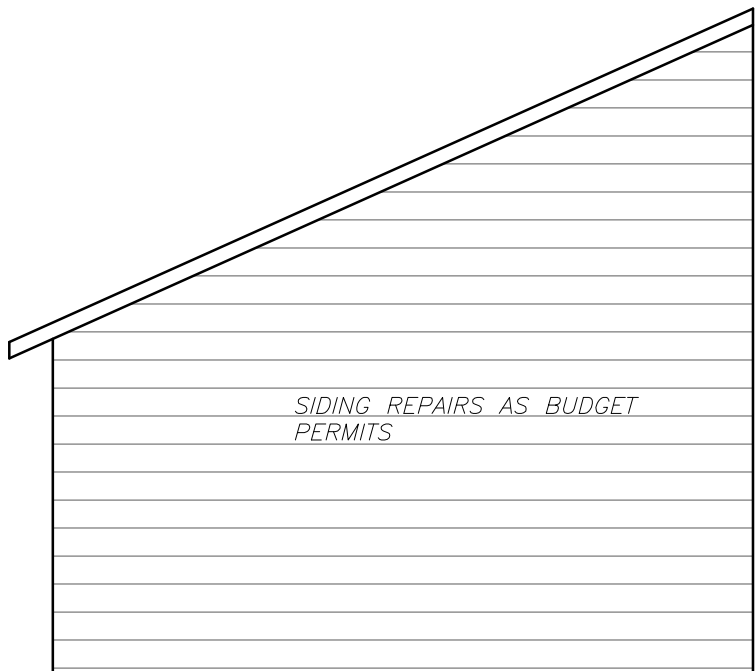
NORTH ELEVATION



NORTH ELEVATION



EAST ELEVATION



EAST ELEVATION



March 31, 2017

Heritage Conservation Management Plan – Benares Barn and Potting Shed, Clarkson Rd., Mississauga ON

1. Introduction

-An executive summary of the scope of the project:

The proposal is to do conservation work on the existing barn and potting shed. The work on the barn will consist of partial siding, soffit and fascia replacement and re-building of several existing doors and windows. The work on the potting shed will consist of improvements to the perimeter drainage system to better drain water away from the building. If finances permit there may also be some repair and conservation of the existing siding material.

-Background information to document the historical and development history of the site

This site has been heavily researched and documented, including in the Benares Visitor Center located on this property.

- Identification of the property owner and stakeholders, current and proposed use

The property is currently owned with the City of Mississauga although the Ontario Heritage Trust has a conservation easement over the property. The current and proposed uses are as a cultural history museum. The buildings that are the subject of this conservation management plan form part of the fabric of the estate however the public is not admitted inside the buildings and they are not used as part of the historical interpretation. The buildings are used for general storage of museum artifacts and for seasonal storage of museum equipment.

2. Project Description

Property Description:

- Identify the location, municipal address and provide an appropriate location map

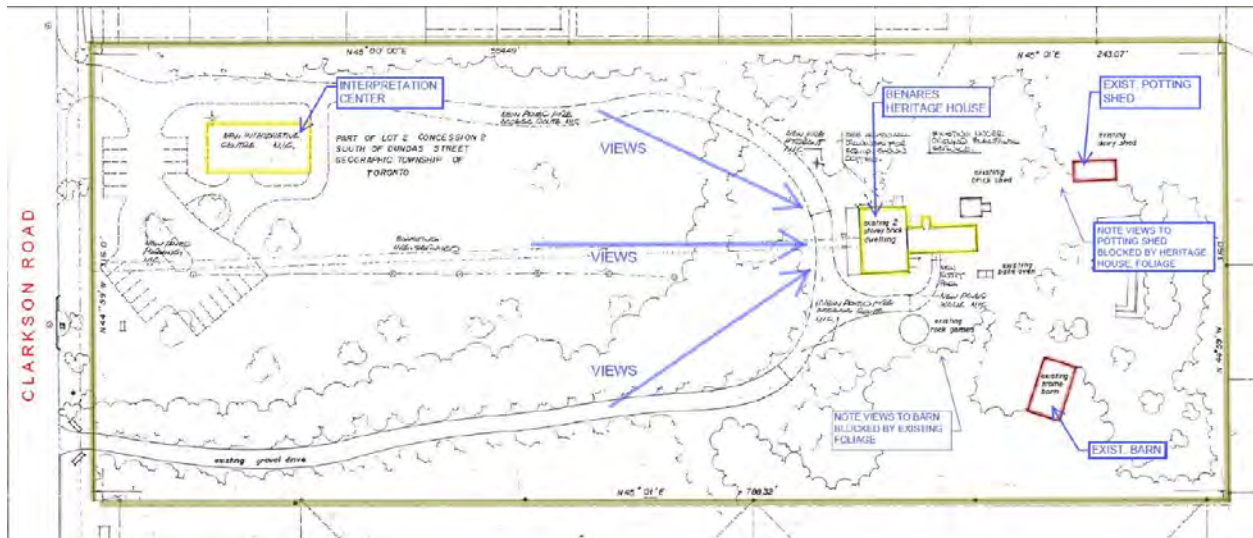
1507 Clarkson Rd N, Mississauga, ON L5J 2W8

- Documentation of the existing conditions to include recent specialized photograph documentation, measured drawings, site plan, identification of site features such as topography, landscaping or other on-site features

See attached architectural drawings.

- Landscape inventory and documentation will include a site plan, views and vistas, water features, tree location and species, land forms, geological formations, fences, walls, berms, pathways, or any other landscape features

There are no significant views or vistas associated with these buildings. There are no water features, significant land or geological formations.



- Identification of neighbouring properties, including any built form or features, required to illustrate the context of the subject property



Benares Estate is located in a stable residential community. To the north, east and south are single family dwellings. To the west is a place of worship and further north along Clarkson Rd. N. is a

community shopping plaza. The subject barn and potting shed are located at the rear of the Estate and not visible from the street.

- Summary of the history of the property outlining its development over time within a timeframe context
- Documentation of land ownership from the original Crown Grant and subsequent records from the land registry office

The history of the Benares estate has been extensively researched and documented, including in the Benares Visitor Center. This history does not have to be repeated for this document.

B) Significance:

- Statement of cultural heritage value or interest

Property Heritage Detail (City of Mississauga website):

Some of the out-buildings on the property date to the original Edgar Neave estate, circa 1835. The main house, a two storey brick and stone structure is rectangular in shape with a long single storey stone portion to the rear. The rear stone part of the building dates to 1835 whereas the brick portion was built circa 1855 after a fire destroyed the original stone building. There are various out buildings on the property as well. The main block has a medium hipped roof. The molded cornice has paired dentils along its frieze. At each side of the structure, there are two pairs of internally bracketed, brick, double-linked chimneys. Two other internally bracketed brick chimneys appear in the rear section, which has a gabled roof. The full lighted basement beneath the main section is accessible from outside. A stone foundation supports brick walls. The walls and foundation of the rear section are constructed completely of stone. Along both floors of the front facade, there are four, six over six paned, double hung windows. All fenestration is shuttered. The front entrance is set into a paneled umbrage. A glazed transom and sidelights surround the four paneled door. Above, there is a small balcony with turned balusters, spoolwork and lattice frame work. A door opens out onto it from the second floor. Along the complete width of the front facade there is an open verandah, with no balustrade. The posts are cambered and the cornice is trimmed with brackets. The colours on the building were done to reflect the 1890 period. The house has been retrofitted and generally restored based on research and informed detailing on the inside and out from 1990 to 1995, by the Ontario Heritage Foundation. Completed as a community museum to reflect the 1918 period. The history of this site dates to the 1830s, which is evident in the remaining stone (rear) portion of the main house. The site is an important cultural landscape as the six acre parcel provides a link to the area's agrarian past; with its historic elements, mature trees, open space, all within an urban context

- Identification of the cultural heritage attributes and values of the property structures and landscape features

City of Mississauga Designation Statement:

"Benares" property is recommended for designation on the architectural grounds that it is a substantial house built in the Georgian style with such vernacular adaptations as the veranda and balcony. The main brick block incorporates the original cut stone house as a rear wing. There are also interesting outbuildings on this property. Historically, the original stone wing is believed to have been started in 1835 by Edgar Neave. The property was then sold to Captain James B. Harris in 1837 who built the main block in 1857. The house has added interest in that it is believed to have been the model for Jalna in Mazo de la Roche's White Oaks series.

- Identification of any recognized significance, such as a heritage designation by- law, historic plaque, etc.

The property is Designated under Part IV of the Ontario Heritage Act and functions as a museum and interpretive center. It is highly recognized as a heritage resource within the City of Mississauga.

C) Planning and Policy Status:

- Provide details of the current land use and related Official Plan policies and Zoning

The property is zoned OS2 under the Mississauga Zoning By-law 0225-2007. This is a zone that allows only a City Park with active and passive recreational uses

- Identify any regulatory requirements (e.g. heritage designation, flood plain requirements, etc.)

The heritage designation is noted above. There are no flood plain or other issues.

3. Project Objectives

- Outline what is to be achieved by this project

As regards the barn, the intention of the project is to conserve the building by replacing weathered siding, soffits and by repairing weathered windows to prevent the intrusion of moisture and wild animals into the building and by so doing to ensure the long-term viability of the building.

As regards the potting shed, the intention of the project is to prevent further decay of the building's wooden structure caused by inappropriate surface drainage and so to stabilize the building until more substantive conservation work can be carried out.

- Provide short term and long term goals and objectives

As regards the barn, the short term objective is to restore the building to water-tightness and to secure it against animal intrusion. The long term objective is to have this building remain as part of the fabric of the Benares museum and to continue to allow it to be used for seasonal and miscellaneous storage.

As regards the potting shed, the short term objective is to prevent further deterioration due to inadequate drainage. The long term objective is to properly conserve the building to allow it to remain as part of the fabric of the Benares museum.

- Proposed solutions for conservation of the property's heritage attributes

Conservation recommendations: BARN

Photo-documentation:

-once appropriate scaffolding is on site the existing siding, soffit, fascia, windows and doors should be thoroughly photo-documented prior to beginning work

Demolition:

West Elevation: *the board and batten siding on the west elevation appears to have come to the end of its serviceable life. The battens are in worse condition than the boards but upon inspection every board displayed evidence of cracking, splitting and local deterioration. The battens should be removed and discarded. The board material on the west elevation should be removed completely. The removed board material should be inspected and if serviceable portions (generally 1.2m long or longer) from these removed boards can be recovered they should be cut out and saved for potential re-use or repair elsewhere.*

North, South, East Elevations: *the siding on these elevations is weathered but in generally better condition on these elevations. The battens are in worse condition than the boards. The battens should be removed and discarded. The boards should be left in place for inspection and re-use.*

Windows: *the windows (including all associated sills, trims and casings) should be removed by a specialist window conservator and taken off-site for repair and replacement of deteriorated elements*

Barn doors: *the barn doors are all visibly sagging and deteriorated. They should be taken off their hinges and set aside for inspection. The original hardware including fasteners should be marked as to location and set aside for re-use.*

Soffits: *the soffits are extensively damaged by animal intrusion and should be removed*

Fascia: *the fascia will require inspection once ladders and scaffolding is on site. Some of the fascia has been damaged by animal intrusion and will require removal. The extent cannot be judged now.*

Nails: *original square head nails removed during the demolition should be retained. Newer wire nails can be discarded.*

Wooden head flashings: *original wooden head flashings should be removed and documented*

Animal intrusion: *if invasive animals are discovered during the course of this work a pest control strategy will have to be developed. This is outside the scope of this report.*

Inspection:

Air Barrier: it is not anticipated that any building paper/air barrier/vapour barrier will be discovered following removal of the siding. In the event that this material is present a strategy for inspection, re-use or replacement will have to be developed at that time.

Asbestos: it is not anticipated that any asbestos or similar deleterious materials will be discovered. In the event that these materials are found to be present a strategy for removal and abatement will have to be developed at that time.

West Elevation: the substrate conditions must be inspected for serviceability following removal of the siding. It is expected that sound horizontal elements +/- 0.6m on center will be available for re-use. If these elements are loose, missing, deteriorated or otherwise not suitable for re-use a conservation strategy will have to be developed at that time.

North, South, East Elevations: the board siding on the north, east and south elevations should be inspected individually. Boards with two or more large imperfections should be removed. Boards with smaller imperfections can be left in place if otherwise soundly attached and only the damaged areas removed. Substrate conditions should be assessed as much as possible. If the substrate appears to be loose, missing, deteriorated or otherwise not suitable for re-use a conservation strategy will have to be developed at that time.

Soffit: the points of attachment of the soffit must be inspected for ability to be re-used.

Fascia: the fascia must be completely inspected for structural soundness, ability to prevent water intrusion and firm attachment. A conservation strategy for the fascia will be developed at that time.

Barn doors: the doors must be completely inspected following removal and a conservation strategy developed. Badly deteriorated pieces should be removed. It may be possible to re-clad them on-site and to repair the frames to correct the sagging. If major work is required the window conservator could also undertake this work off-site.

Note: Professional engineering assessment may be required if unexpected conditions are encountered.

Protection during Construction:

-it is expected that the windows (and potentially doors) will be off-site undergoing conservation for several weeks or longer. During that time the openings in the building must be temporarily blocked with tightly fitted plywood or other material to prevent water and animal intrusion. All other areas of the building must be similarly protected during the construction process.

Construction:

West Elevation: new wood board and batten siding should be installed on this elevation. This siding should replicate in size, species and dimension the existing size and profile. Nailing

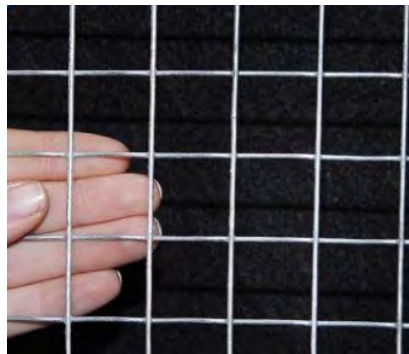
pattern should be as per existing or for boards min. 2 rows of nails @ 0.6m on center and for battens min. 1 row of nails @ 0.6m on center.

North, South, East Elevations: Very small (less than 25mm) imperfections should be filled with epoxy filler. Larger imperfections and local deterioration should be cut out and replaced with new or salvaged material. Boards that have been removed due to deterioration should be replaced with new material. Existing boards should be checked for firm attachment and nailed as required. New battens should be installed on these elevations, replicating the existing in size, species and dimension. Nailing pattern should be as above.

Windows: the windows (including all associated sills, trims and casings) should be re-installed by the specialist window conservator.

Barn doors: the doors should be re-hung using their original hinges and fasteners in their original locations.

Soffits: the soffits should be entirely replaced using materials matching the existing in dimension, profile and species. The underside of the soffits should be lined with 50mm x 50mm 10 gauge galvanized welded wire mesh. This should be discreetly fastened with stainless steel clips and wood screws.



50mm x 50mm galvanized welded wire mesh

Fascia: the fascia will be repaired and/or replaced following the conservation strategy developed above. All new material should match existing in species, size and profile.

Nails: nails should be common wire or spiral nails, hot dip galvanized. All nails must be hand driven – no pneumatic or automatic nailing equipment may be used. Nails must be appropriate for their use with a minimum embedment into the substrate of double the thickness of the member being fastened.

Wooden head flashings: Wooden head flashings with size and detail to match the existing should be provided at all openings.

Inspection:

SMDA should be called to inspect at the following project stages at a minimum:

- following scaffolding of building but prior to any removals*
- following removal of deteriorated siding*
- following removal of doors and windows*
- prior to placing any new material*
- prior to re-installation of doors and windows*
- in the event that unexpected conditions are encountered*

Recommended siding material supplier:

-Hoffmeyer's Mill, 189 Huron Rd., Sebringville, ON www.hoffmeyersmill.com

Recommended Window Conservator:

-Walter Furlan Conservation 905 383 3704

Submittals:

Contractor will be required to submit to SMDA and the City of Mississauga the following:

- samples of all fasteners, siding, building materials proposed to be used*
- 1m x 1m mock-up of new board and batten siding*

Conservation recommendations: POTTING SHED

Photo-documentation:

-the potting shed and any area proposed to be disturbed should be thoroughly photo-documented prior to beginning work

Excavation:

- a trench +/- 0.6m wide and +/- 0.9m deep should be dug around the perimeter of the potting shed.*
- a trench +/- 0.6m wide should be dug away from the dairy shed to a natural low point at least 5m away. At the end of this trench a pit +/- 1.5m x 1.5m x 1.2m deep should be dug. The location of the pit will be coordinated with archeological staff working on site.*

Inspection:

-the sub-grade conditions will be inspected to ascertain if the soil permeability is suitable for construction of a French drain. If it is not an alternative conservation solution will be developed.

Protection during Construction:

-The potting shed must be protected at all times against sagging, settling or movement as a result of the excavation. Stop excavation if at any time unsafe soil conditions are encountered. Professional engineering assessment may be required.

Construction:

The trenches and French drain should be backfilled with 19mm clear gravel and topped with a geotextile filter. At the bottom of the trench a 100mm "Big O" pipe with silt cover sock should be laid with positive drainage to the French drain. The geotextile should be covered with +/- 100mm of topsoil sloped as much as possible to encourage drainage away from the building. The topsoil should be sodded or seeded to encourage grass growth.

Inspection:

SMDA should be called to inspect at the following project stages at a minimum:

- following mobilization of equipment but prior to any excavation*
- during discussions with archeological staff to determine location of French drain and to confirm location of all excavations*
- following excavation*
- prior to placing any new material*
- in the event that unexpected conditions are encountered*

Siding Repair:

The potting shed siding is generally in very poor condition. Siding consists of horizontal clapboards on the north, east and west elevations and vertical board and batten siding on the south elevation. The board and batten is very deteriorated with many of the battens missing. The clapboard is generally better but with many obvious loose and missing pieces. There are also many instances of inappropriate repair. The windows, sills and doors are all badly deteriorated.

In the event that the budget permits some repair of the potting shed siding will be carried out according to a conservation plan developed once the extent of available funds is known. The conservation plan will likely concentrate on stabilization and protection of the potting shed as opposed to improvement of visual appearance. Generally the work plan will include:

- inspection and identification of areas of loose, missing or deteriorated siding*
- prioritization of areas to be repaired or replaced*
- concentration will be on prevention of water or animal infiltration as opposed to visual appearance*
- repairs will be well-fitted and neat but will generally not attempt to blend with existing materials – will appear as patches*
- welded wire mesh will be applied over cracks and gaps to keep out animals*



Neatly fitted wire mesh used to keep out rodents

Submittals:

Contractor will be required to submit to SMDA and the City of Mississauga the following:

- details of preferred material suppliers*
- samples of proposed materials*

- Provide the conservation policies to be used in this project (i.e. what conservation principles will be used to ensure long term conservation, maintenance, monitoring, and sustainable use of the property)

BARN: Generally the existing building is in good condition, appears to have had regular routine maintenance and the work proposed is limited to the replacement of existing deteriorated elements that left un-repaired will allow moisture and animal intrusion into the building and threaten its long term viability. Only deteriorated items will be replaced and serviceable elements will be repaired and retained. The nature of the present and future use, the ownership by the City and the involvement of the Ontario Heritage Trust makes the likelihood of long term maintenance and sustainable use very high.

POTTING SHED: The Potting Shed is in much poorer condition and has had poor and inappropriate maintenance. It also has suffered from moisture and animal intrusion but with more serious consequences to the building. This building will likely not survive much longer unless urgent work is done to stabilize it until a long term plan for conservation can be developed. The purpose of the proposed work here is to stabilize it by addressing the ground water issues and preventing further deterioration. If budget permits some urgently required maintenance on the siding will also be carried out.

4. Statement of Heritage Intent

- An explanation is required that proposes the reasoning and considerations behind the choice of conservation treatments.

The conservation treatments proposed are the minimum maintenance requirements to allow the buildings to continue to function and survive in their present use.

- Statement as to why one period of restoration over another was selected, rationale for new interventions, background resources used such as principles and conventions of heritage conservation.

There is no restoration proposed as part of this project and no choice of period. The intention here is periodic maintenance.

- Statement as to the recording, inventory and disposition/retention of moveable cultural heritage resources (e.g. artifacts, archival material, salvaged material) and its incorporation into the conservation project.

It is recommended that any siding materials that are suitable for re-use are stored and conserved. Original square nails should also be stored and conserved.

5. Condition Assessment of the Cultural Heritage Resource(s)

- Condition report of the cultural heritage resource(s) and specific attributes, identifying any deficiencies or concerns.

This is discussed above.

- Detailed recommendations to mediate and prevent further deterioration. Direction as to use or change in use and how that relates to conserving the heritage attributes.

The purpose of the intervention on the barn is to provide routine maintenance that will prevent further deterioration. It is expected that routine re-inspection of the siding will be necessary as is typical with any wood-clad building, but no more so than any other similar structure.

The potting shed is in much poorer condition and will require a comprehensive inspection and management plan in the near future if it is to be conserved. The purpose of this intervention is to attempt to lessen the deterioration until this can take place.

- Outline opportunities and constraints with relation to all aspects of the project (i.e. budget, planning issues, public access, long term needs)

Budgetary constraints limit what can be done to the potting shed now. There are no planning issues or other similar considerations.

- Recommendations for conservation treatments that reference the framework provided in Parks Canada Standards and Guidelines for the Conservation of Historic Places In Canada.

See Appendix at end of this document.

6. Building System and Legal Considerations

- Statement to explain the building and site use from a practical, logistical and legal perspective

These buildings presently function as ancillary buildings to the Benares museum. There is no public access to the buildings and minimal programming associated with them. They are used for incidental storage by the museum.

- Input from structural, mechanical, electrical, planning, geotechnical, trades, and all other required fields of expertise to ensure the project is viable and sustainable. Building and site system review may include:

- Site Work (e.g. landscaping, drainage, servicing)

Proposed site work is minimal and not expected to require professional engineering services but they will be called if unexpected conditions are encountered

- Trees, shrubs, other plantings

There is expected to be minimal impact on trees and plantings

- Archaeological concerns and mitigation

The Ontario Heritage Trust will be on site to do the necessary archaeological investigations and to direct where to excavate for the French drain.

- Structural elements (e.g. foundation, load bearing)

Professional engineering review will be called upon in the event that these situation are encountered

- Building Envelope (roof, wall cladding, window type), Ontario Building Code, Accessibility

SMDA are the architectural consultants on the project. There are no accessibility issues

- Mechanical, Plumbing, Electrical

No mechanical, plumbing or electrical work is proposed

- Finishes and Hardware

No significant new finishes or hardware are proposed

- Fire Safety and Suppression

No fire safety or suppression work is proposed

- Environmental Considerations, Lighting, Signage and Wayfinding, Security

No significant environmental considerations are expected. There is no requirement for lighting, signage, wayfinding or security as part of this proposal.

- Legal Considerations (e.g. easements, encroachments, leasing, etc.)

The present owners are also the operators of the building. There are no leasing arrangements. There are no encroachments. There is a heritage easement in favour of the Ontario Heritage Trust.

7. Work Plan

- Timeline to describe, in chronological order, to meet the objectives and goals Statement as to specialized trades or skills that will be required to complete the work

The work will consist of:

-this is summarized above

The work will require qualified local trades but nothing particularly specialized. It is not expected that it will be difficult to find trades to execute the work.

- Proposed budget to meet and sustain the goals and timeline; long term and short term maintenance schedule

The budget has not been finalized. The City of Mississauga owns a number of heritage buildings and is aware of the cost of maintenance.

- Monitoring schedule, process and identify those responsible for monitoring

This is discussed above.

8. Qualifications

- Heritage Conservation Management Plans will only be prepared by accredited, qualified professionals with demonstrated experience in the field of heritage conservation

- Conservation Plans are usually a multidiscipline exercise whereby all consultants on the project must demonstrate accredited professionalism, experience and knowledge in their chosen field of expertise

9. Additional Information

- Bibliography of all documentation resources
- List of consultants and other professionals related to the project

A CV for Rick Mateljan of SMDA is included.

10. Additional Reports that may be required:

- Archaeological report, Arborist's report, Structural engineering report

Noted above

- Any other report that City staff may require to assess the project

11. Approval Authority

The City of Mississauga will be the approval authority for a Heritage Conservation Management Plan

Contact Information:

Inquiries regarding the submission and requirements of a Heritage Conservation Management Plan should be addressed to Heritage Planning, Culture Division, City of Mississauga

Email: culture.division@mississauga.ca

APPENDIX:

Commentary based on Parks Canada Standards and Guidelines for the Conservation of Historic Places In Canada

1. Conserve the heritage value of a historic place. Do not remove, replace or substantially alter its intact or repairable character-defining elements. Do not move a part of a historic place if its current location is a character-defining element.

Only removal of deteriorated elements is proposed. No movement of any part of the building is proposed.

2. Conserve changes to a historic place that, over time, have become character-defining elements in their own right.

No changes to character-defining elements are proposed

3. Conserve heritage value by adopting an approach calling for minimal intervention.

The proposed intervention to these buildings is as minimal as possible.

4. Recognize each historic place as a physical record of its time, place and use. Do not create a false sense of historical development by adding elements from other historic places or other properties, or by combining features of the same property that never coexisted.

There is no attempt to create a false sense of development.

5. Find a use for a historic place that requires minimal or no change to its character-defining elements.

The ongoing use is an excellent and appropriate use of this property.

6. Protect and, if necessary, stabilize a historic place until any subsequent intervention is undertaken. Protect and preserve archaeological resources in place. Where there is potential for disturbing archaeological resources, take mitigation measures to limit damage and loss of information.

Both of these buildings will be protected and stabilized as a result of this intervention. The Ontario Heritage Trust has done extensive archeological work on this site previously and will manage this part of the project now.

7. Evaluate the existing condition of character-defining elements to determine the appropriate intervention needed. Use the gentlest means possible for any intervention. Respect heritage value when undertaking an intervention.

These are gentle interventions to these buildings.

8. Maintain character-defining elements on an ongoing basis. Repair character- defining elements by reinforcing their materials using recognized conservation methods. Replace in kind any extensively deteriorated or missing parts of character-defining elements, where there are surviving prototypes.

Noted. This is exactly the purpose of this intervention

9. Make any intervention needed to preserve character-defining elements physically and visually compatible with the historic place and identifiable on close inspection. Document any intervention for future reference.

The new siding material on the barn will be identifiable at first but will eventually fade and come to match the patina of the existing. There will be no identifiable change to the potting shed. The buildings will be thoroughly photo-documented prior to work commencing.

City of Mississauga

Corporate Report



Date: 2017/04/13

To: Chair and Members of Heritage Advisory Committee

From: Paul Mitcham, P. Eng, MBA, Commissioner of Community Services

Originator's files:

Meeting date:
2017/05/09

Subject

Request to Alter 1059 Old Derry Road

Recommendation

That the request to alter the property located at 1059 Old Derry Road, as described in the Corporate Report dated April 13, 2017 from the Commissioner of Community Services, be approved.

Background

The subject property is designated under Part V of the *Ontario Heritage Act* as it forms part of the Meadowvale Village Heritage Conservation District (HCD). Council approved a partial demolition and addition to the property in 2016:

[http://www7.mississauga.ca/documents/agendas/committees/heritage/2016/2 - 02_09_16 - HAC Agenda.pdf](http://www7.mississauga.ca/documents/agendas/committees/heritage/2016/2_-_02_09_16_-_HAC_Agenda.pdf).

Comments

Pre-finished wood windows comprise the approve drawings. The windows that have been installed are vinyl clad. As such, the owner requests a revised heritage permit for the vinyl clad windows. See appendices for revised drawings and photographs of the current condition, as well as a response from the owner.

The guidelines for additions in the HCD Plan (section 4.2.3) allow for “modern materials” for windows as long as they “have the visual appearance of traditional materials.” As such, the revision should be approved.

The Meadowvale Village Subcommittee recommended approval.

Financial Impact

Not applicable.

Conclusion

The City is in receipt of an application to revise a previously issued heritage permit for a change in window material. As the change is permitted in the Meadowvale Village Heritage Conservation District Plan, it should be approved.

Attachments

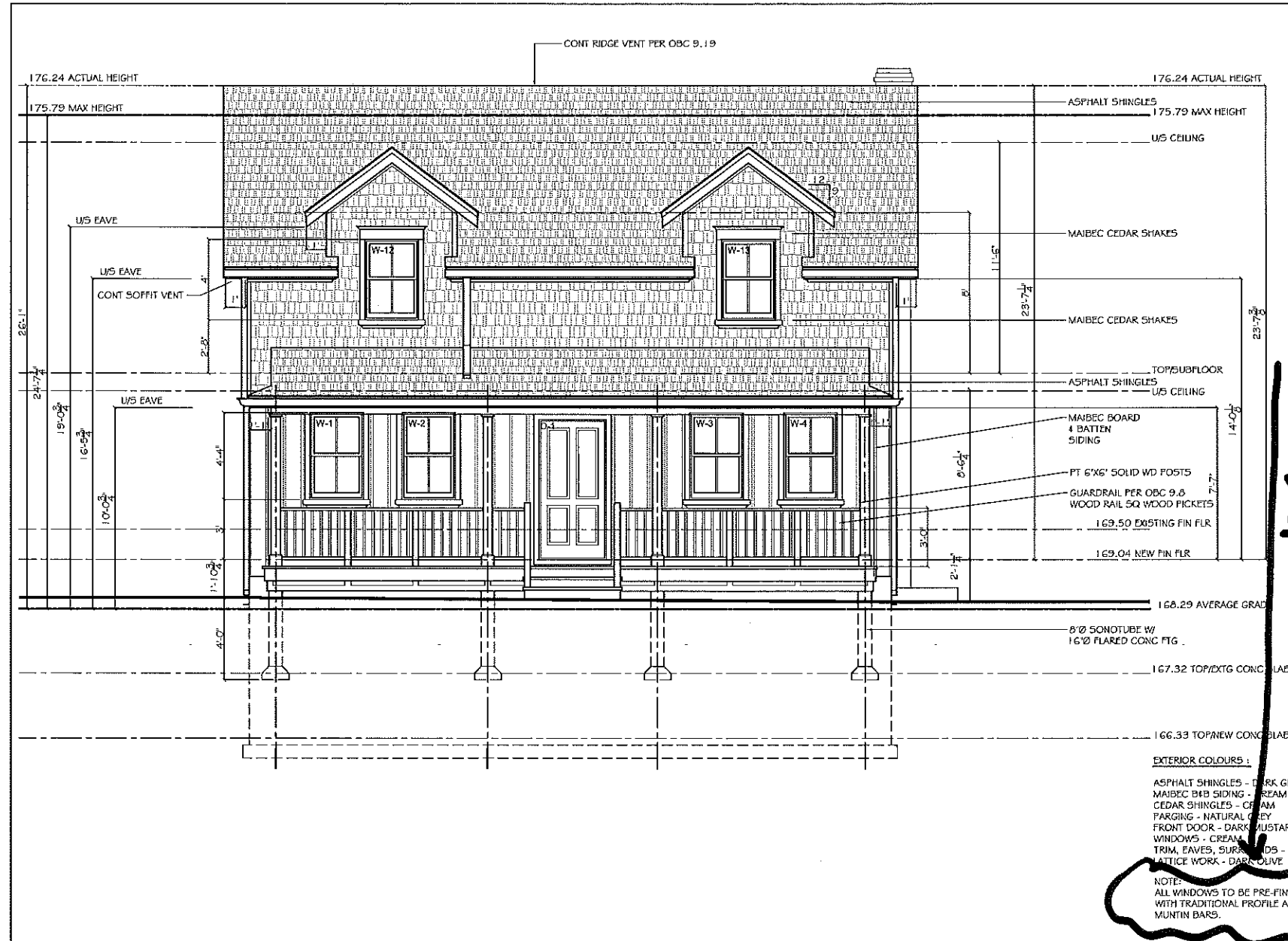
Appendix 1: Revised Drawings

Appendix 2: Response from Owner, including photographs



Paul Mitcham, P. Eng, MBA, Commissioner of Community Services

Prepared by: P. Wubbenhorst, Senior Heritage Coordinator



CHANGE

Window material
vinyl with
traditional profile and
SDL mounting bars

SPI 14 / 160 W11

No.	Revision/Issue	Date
1	REVISIONS PER SITE CONDITIONS	9.12.16

*CONTRACTORS SHALL CHECK ALL DIMENSIONS IN THE WORK AND REPORT ANY DISCREPANCY TO ARCHITECT BEFORE PROCEEDING.

*ALL DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF THE ARCHITECT AND MUST BE RETURNED AT THE COMPLETION OF THE WORK.

*THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION UNTIL SIGNED BY THE ARCHITECT.

*DRAWINGS ARE NOT TO BE SCALED.

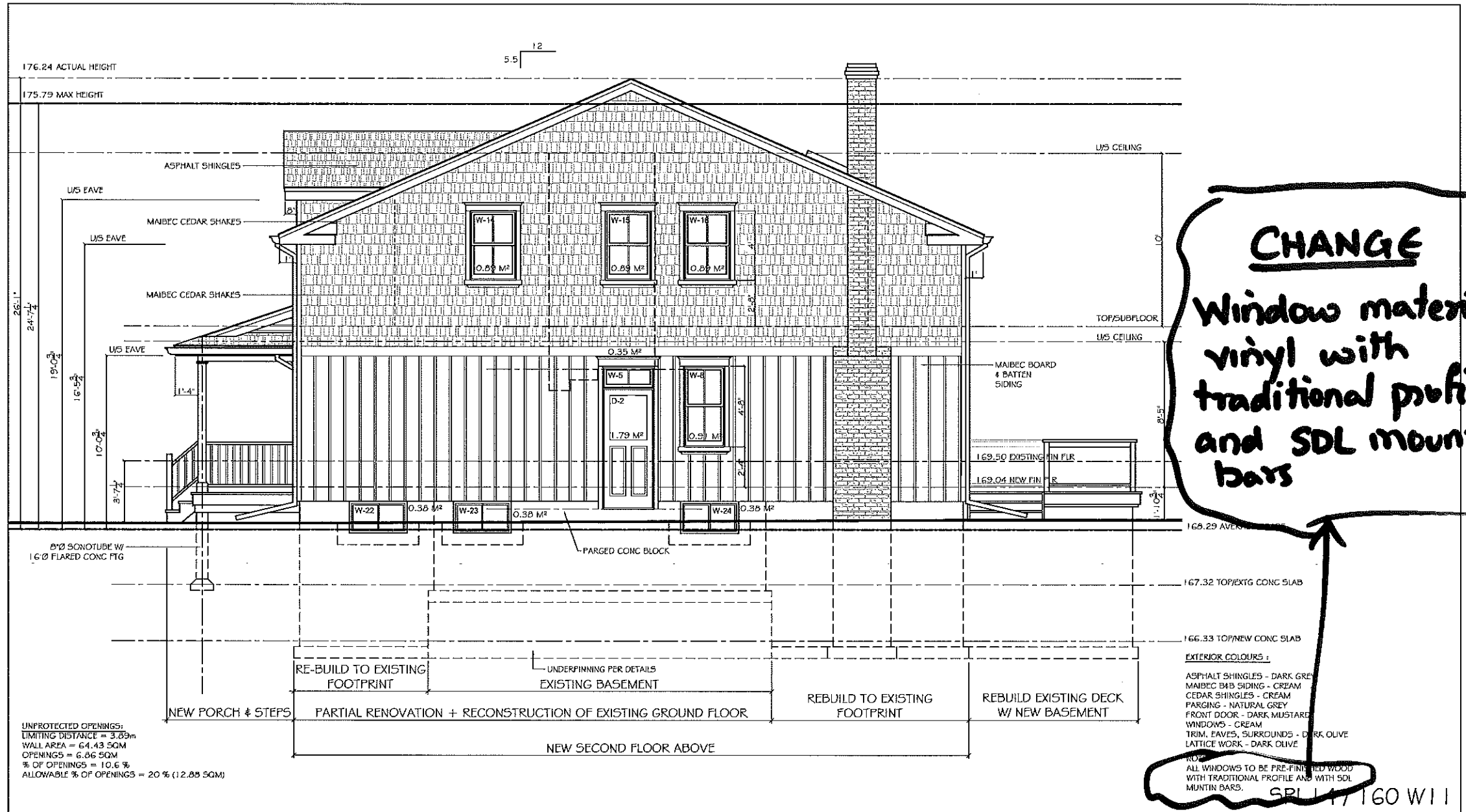


Christopher Wallace
Architect

4476 COUNTY ROAD 10
PORT HOPE, ONTARIO, L1A 3V5
Tel: (905) 753-1122 Fax: (905) 753-2666

Project Name & Address
PROPOSED 2ND STOREY ADDITION
RENOVATIONS FOR:
LEW D'SOUZA (647)638-6091
llew@lyn27@yahoo.com
GWEN D'SILVA (647)895-6092
gwendsilva@gmail.com
1059 OLD DERRY RD,
MEADOWVALE VILLAGE

The FRONT ELEVATION (SOUTH-EAST)	
Project No. 296	Sheet A2.1
Date OCTOBER 2, 2014	
Scale 3/16"=1'-0"	



No.	Revision/Issue	Date
1	REVISIONS PER SITE CONDITIONS	9.12.16

*CONTRACTORS SHALL CHECK ALL DIMENSIONS IN THE WORK AND REPORT ANY DISCREPANCY TO ARCHITECT BEFORE PROCEEDING.
*ALL DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF THE ARCHITECT AND MUST BE RETURNED AT THE COMPLETION OF THE WORK.
*THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION UNTIL SIGNED BY THE ARCHITECT.
*DRAWINGS ARE NOT TO BE SCALED.

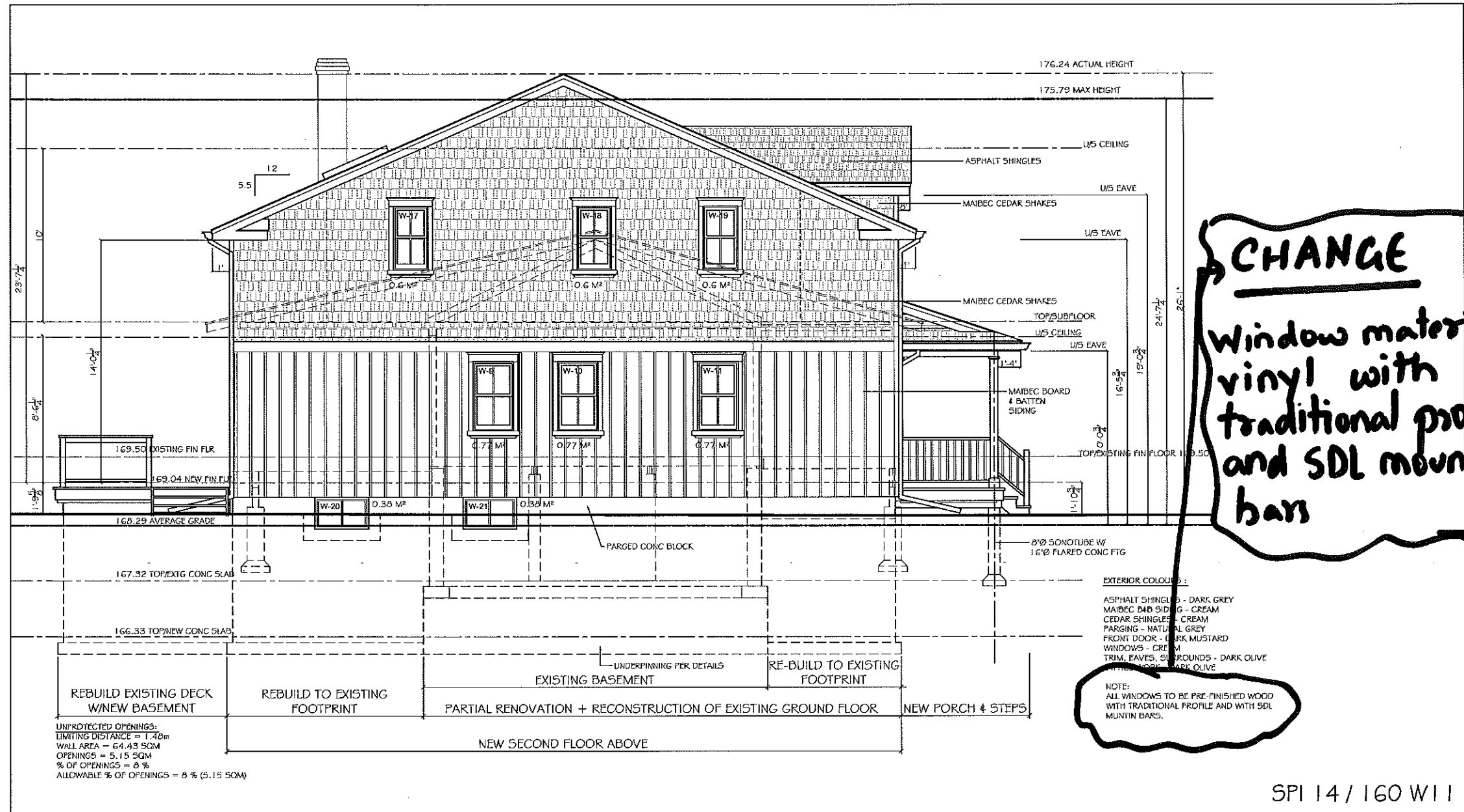


Christopher Wallace
Architect

4476 COUNTY ROAD 10
PORT HOPE, ONTARIO, L1A 3V5
Tel: (905) 753-1122 Fax: (905) 753-2668

Project Name & Address
PROPOSED 2ND STOREY ADDITION
& RENOVATIONS FOR:
LEW D'SOUZA (647) 638-6091
llew@lyn27@yahoo.com
GWEN D'SILVA (647) 895-6092
gwendysilva@gmail.com
1059 OLD DERRY RD,
MEADOWVALE VILLAGE

RIGHT-SIDE ELEVATION(NORTH-EAST)	
Project No. 896	Sheet A2.2
Date OCTOBER 2, 2014	
Scale 3/16"=1'-0"	



No.	Revision/Issue	Date
1	REVISIONS PER SITE CONDITIONS	9.12.16

*CONTRACTORS SHALL CHECK ALL DIMENSIONS IN THE WORK AND REPORT ANY DISCREPANCY TO ARCHITECT BEFORE PROCEEDING.
*ALL DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF THE ARCHITECT AND MUST BE RETURNED AT THE COMPLETION OF THE WORK.
*THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION UNTIL SIGNED BY THE ARCHITECT.
*DRAWINGS ARE NOT TO BE SCALED.

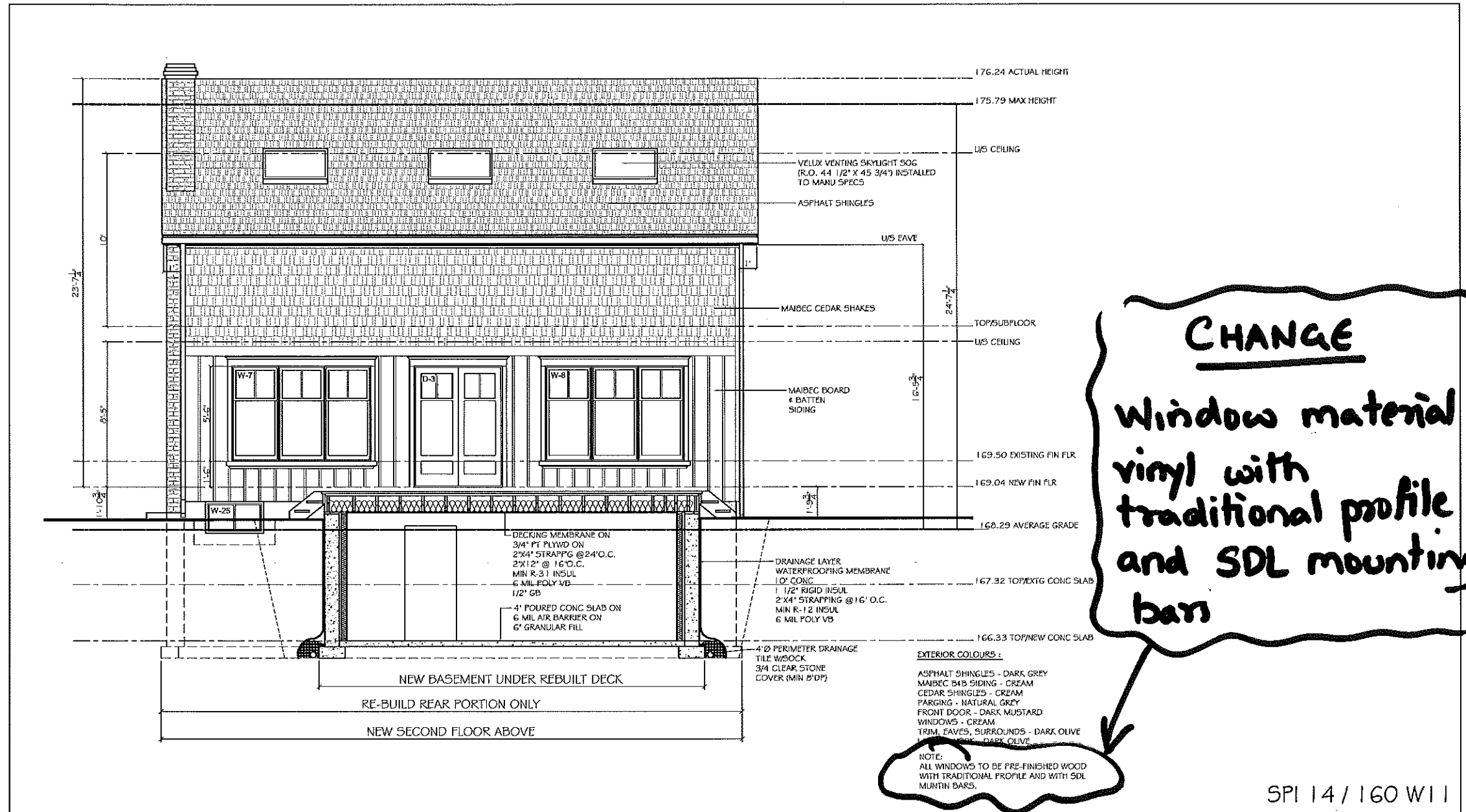


Christopher Wallace
Architect

4476 COUNTY ROAD 10
PORT HOPE, ONTARIO, L1A 3V5
Tel: (905) 753-1122 Fax: (905) 753-2668

Project Name & Address
PROPOSED 2ND STOREY ADDITION
& RENOVATIONS FOR:
LEW D'SOUZA (647)638-6091
llewwlyn27@yahoo.com
GWEN D'SILVA (647)895-6092
gwendsilva@gmail.com
1059 OLD DERRY RD,
MEADOWVALE VILLAGE

Title LEFT-SIDE ELEVATION (SOUTH-WEST)	
Project No. 896	Sheet A2.4
Date OCTOBER 2, 2014	
Scale 3/16" = 1'-0"	



No.	Revision/Issue	Date
1	REVISIONS PER SITE CONDITIONS	9.12.16

*CONTRACTORS SHALL CHECK ALL DIMENSIONS IN THE WORK AND REPORT ANY DISCREPANCY TO ARCHITECT BEFORE PROCEEDING.
*ALL DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF THE ARCHITECT AND MUST BE RETURNED AT THE COMPLETION OF THE WORK.
*THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION UNTIL SIGNED BY THE ARCHITECT.
*DRAWINGS ARE NOT TO BE SCALED.



Christopher Wallace
Architect

4476 COUNTY ROAD 10
PORT HOPE, ONTARIO, L1A 3V5
Tel: (905) 753-1122 Fax: (905) 753-2668

Project Name & Address:
PROPOSED 2ND STOREY ADDITION
& RENOVATIONS FOR:
LEW D'SOUZA (647) 638-6091
llew@lyn27@yahoo.com
GWEN D'SILVA (647) 695-6092
gwendysilva@gmail.com
1059 OLD DERRY RD,
MEADOWVALE VILLAGE

REAR ELEVATION
(NORTH-WEST)

Project No. 896
Date OCTOBER 2, 2014
Scale 3/16" = 1'-0"
Sheet A2.3

Response to Order to Comply Issued by City of Mississauga.

Issue: The windows installed at 1059 Derry Road while meeting the drawing requirements for style and design (double hung with saddle bars) do not match drawing proposal for material (pre finished wood). The owner is requesting a variance to accommodate existing windows.

Root Cause:

After framing construction was completed in early December, I was in a hurry to close the house before winter set in. When I ordered the windows, I used the window schedule page which has no mention of the requirement for prefinished wood windows. After installation, I found out that there is a note on 3 pages of the 20-page packet which details the material of the windows. As such this was a misstep on my part.

Rationale for Request to Approve

- The original house prior to renovation did not have wood windows (See figure 1 from Heritage Impact Assessment). An argument could therefore be made that the new windows merely replace the old windows of the house in like material. In fact, the original windows were Slider windows (slide right to left) of vinyl whereas the replacement windows are more heritage looking by being double hung and sliding up- down. I have saved one of the original home windows on the property.
- Replacing all the 18 windows will place an enormous hardship on me from a financial perspective.
- Another issue relates to damage that would occur to the new wood siding which would occur if the windows were removed, adding a further cost hardship
- Additionally, if my occupancy approval is pushed out due to this issue, I would be forced to find alternate accommodation as my current accommodation (rental) expires in April.

One of the ways I have already tried to remedy the issue is by dressing up the window with wood trim instead of pvc or vinyl. (See figure 2 – Close up view). This ensures that anyone looking at the house from the street view sees a property that blends in with the heritage character of the village.

5. The Existing Buildings

The District Inventory succinctly describes the existing house; “A one storey frame structure of modest proportions, gable ends and finished in vertical wood siding.”

We can elaborate that description as follows: The building is a one-storey 5-bay dwelling with a shallow side-gable roof. The house is 9.85 metres wide by 11.78 metres deep. The house is set about 6.3 metres back from the front lot line, with sideyards of about 3.9 metres on the east and 1.5 metres on the west. There is a small exterior masonry chimney near the mid-point of the west wall. The house is clad in grey board-and-batten siding. The windows are modern 2-light sliders, fitted with mock shutters. The roof is asphalt shingles.



Figure 6. Front (south) elevation.

Figure 1~ 1059 Old Derry Road Street view – Excerpt from Heritage Impact Statement



Figure 2: Close up of window on North West side - Double hung window with saddle bars dressed with wood trim & wood window sill

Alternate Proposal

An alternate proposal I have is to use a product called “ Wood Graining technology” which uses a product from Color Bond. The process in essence can only be done in summer when temperatures are above 20C. It involves polishing each window with a wood grain paste and then sanding off the excess grain to give a wood finish look

PICTURES OF WINDOWS AT 1059 OLD DERRY ROAD



Figure 3: South East

7.5 - 11
Appendix 2



Figure 4: North East



Figure 5: North West



Figure 6: South West



City of Mississauga Corporate Report



<p>Date: 2017/04/18</p> <p>To: Chair and Members of Heritage Advisory Committee</p> <p>From: Paul Mitcham, P. Eng, MBA, Commissioner of Community Services</p>	<p>Originator's files:</p> <hr/> <p>Meeting date: 2017/05/09</p>
--	--

Subject

Request to Demolish a Heritage Listed Property: 2326 Mississauga Road (Ward 8)

Recommendation

That the property at 2326 Mississauga Road, which is listed on the City of Mississauga's Heritage Register, is not worthy of heritage designation, and consequently, that the owner's request to demolish proceed through the applicable process.

Background

Section 27.3 of the *Ontario Heritage Act* states that structures or buildings on property listed on the City of Mississauga's Heritage Register cannot be removed or demolished without at least 60 days' notice to Council. This legislation allows time for Council to review the property's cultural heritage value to determine if the property merits designation.

The owner of the subject property has submitted a heritage permit application to demolish and replace the existing detached dwelling. The subject property is listed on the City's Heritage Register as it forms part of the Mississauga Road Scenic Route cultural landscape. This cultural landscape is significant due to its scenic and visual quality as the road traverses a variety of topography and land use, from old established residential neighbourhoods to new industrial and commercial uses. Its landscape is of archaeological, design, technological interest as well as having historical interest and associations, illustrating important phases of Mississauga's history and displaying a consistent scale of built features.

The landscaping, urban design and conservation authority related aspects will be reviewed as part of the development review process, once an application is made to the City, to ensure the project respects the character of the surrounding community.

Comments

The owner of the subject property has requested permission to demolish the existing structure. The applicant has provided a Heritage Impact Assessment compiled by WSP-MMM Group Ltd. It is attached as Appendix 1. The consultant has concluded that the house at 2326 Mississauga Road is not worthy of designation. Heritage Planning Staff concurs with this finding.

Financial Impact

There is no financial impact.

Conclusion

The owner of 2326 Mississauga Road has requested permission to demolish a structure on a property that is listed on the City's Heritage Register. The applicant has submitted a documentation report which provides information which does not support the building's merit for designation under the *Ontario Heritage Act*. Heritage Planning Staff concurs with this finding.

Attachments

Appendix 1: Heritage Impact Assessment



Paul Mitcham, P. Eng, MBA, Commissioner of Community Services

Prepared by: Cecilia Nin Hernandez, Heritage Coordinator

2655 North Sheridan Way, Suite 300
Mississauga ON L5K 2P8
Tel: 905.823.4988
Fax: 905.823.2669
Web: mmmgrouplimited.com

WSP-MMM GROUP LIMITED

Cultural Landscape Heritage Impact Assessment

2326 Mississauga Road, Mississauga ON

3/29/2017

Contents

1	Introduction	1
2	Methodology.....	1
3	Historical Research, Siste Analysis and Evaluation	2
3.1	Site Description, Location and Context	2
3.2	Cultural Heritage landscape	6
3.3	Subject Property.....	8
3.4	Built Environment	10
4	Identification of the Significance and Heritage Attributes of the Cultural Heritage Resource	12
4.1	Cultural Heritage Landscape	12
4.1.1	Landscape Environment – Scenic and Visual quality.....	12
4.1.2	Landscape Environment – Horticultural Interest.....	13
4.1.3	Landscape Environment – Landscape Design, Type and Technological Interest	13
4.1.4	Built Environment – Consistent Scale of Built Features	13
4.1.5	Historical Associations – Illustrates A Style, Trend Or Pattern	13
4.1.6	Historical Associations – Illustrates Important Phase in Mississauga’s Social or Physical Development	14
4.1.7	Other – Historical interest	15
4.2	Built Environment	15
4.2.1	Heritage Value.....	15
4.2.2	Evaluation According to Ontario Regulation 09/06	19
5	Description of Proposed Development or Site Alteration	22
5.1	Rationale and Purpose of the Proposed Development.....	22
5.2	Recommended Protection and Enhancement Measures	22
5.3	Impacts to Adjacent Heritage Features.....	24
5.4	Mitigation Measures	24
6	Summary Statement and Conservation Recommendations.....	24
6.1	Recommendations	24
7	Qualifications	26
8	Bibliography	27

Appendices

- Appendix A Land Records Summary
- Appendix B Existing Floor Plans
- Appendix C Proposed Site Plan and Elevations of New House
- Appendix D: Property Photographic Documentation

1 INTRODUCTION

WSP-MMM Group Limited was retained by the current owner of 2326 Mississauga Road to complete a Heritage Impact Statement (HIS). As the property is located within the Mississauga Road Scenic Route Cultural Heritage Landscape, the HIS is one of the requirements of the City of Mississauga's Heritage Planning Department to obtain site plan approval. This Heritage Impact Statement describes the features of the cultural landscape, assesses the impact of the proposed development and discusses mitigation measures.

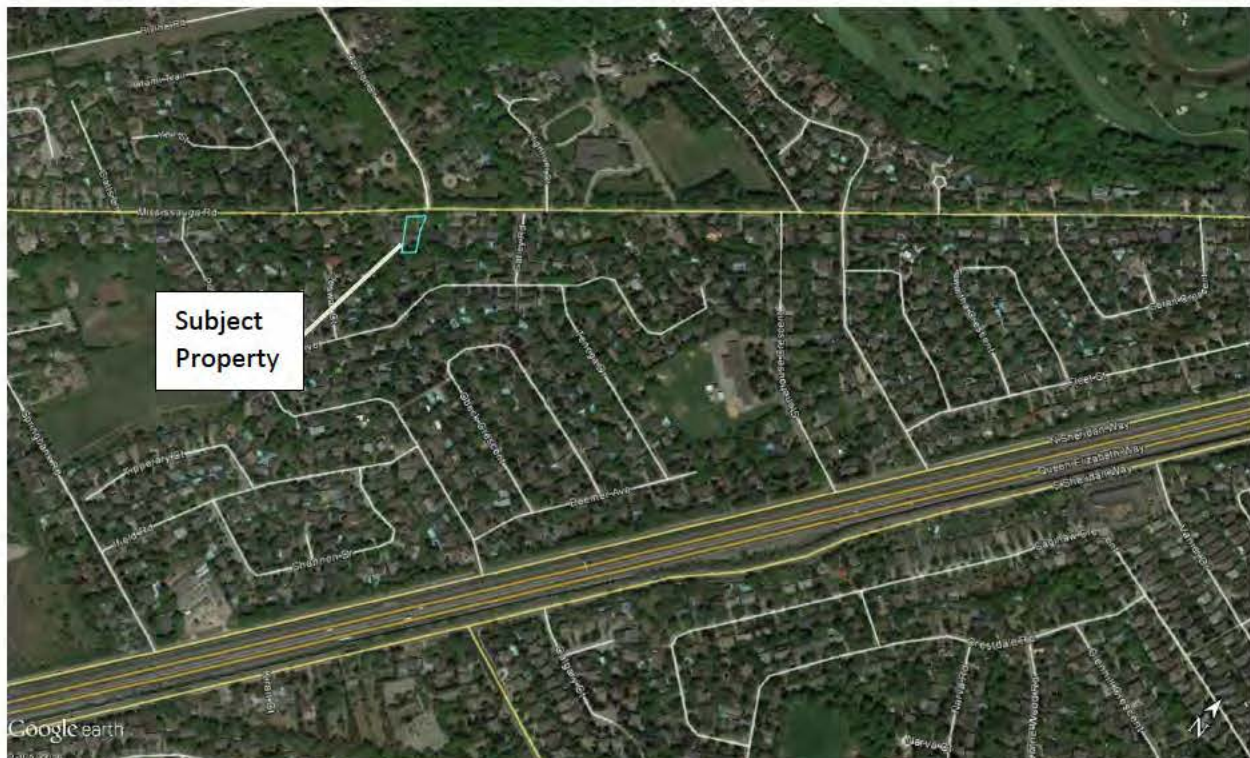
2 METHODOLOGY

On November 26, 2015 and on March 21, 2017, an on-site visual inventory was completed to document the features of the existing property as well as the surrounding neighbourhood landscape. A streetview inventory was also conducted in google earth, to compare summer conditions. Research was also conducted at the Peel Land Registry Office and the Heritage Mississauga Library to ascertain the history and context of the development of Mississauga Road and the local area. This context will help to further convey the significance of the Mississauga Road Scenic Route Cultural Landscape and the property's place within it.

3 HISTORICAL RESEARCH, SITE ANALYSIS AND EVALUATION

3.1 SITE DESCRIPTION, LOCATION AND CONTEXT

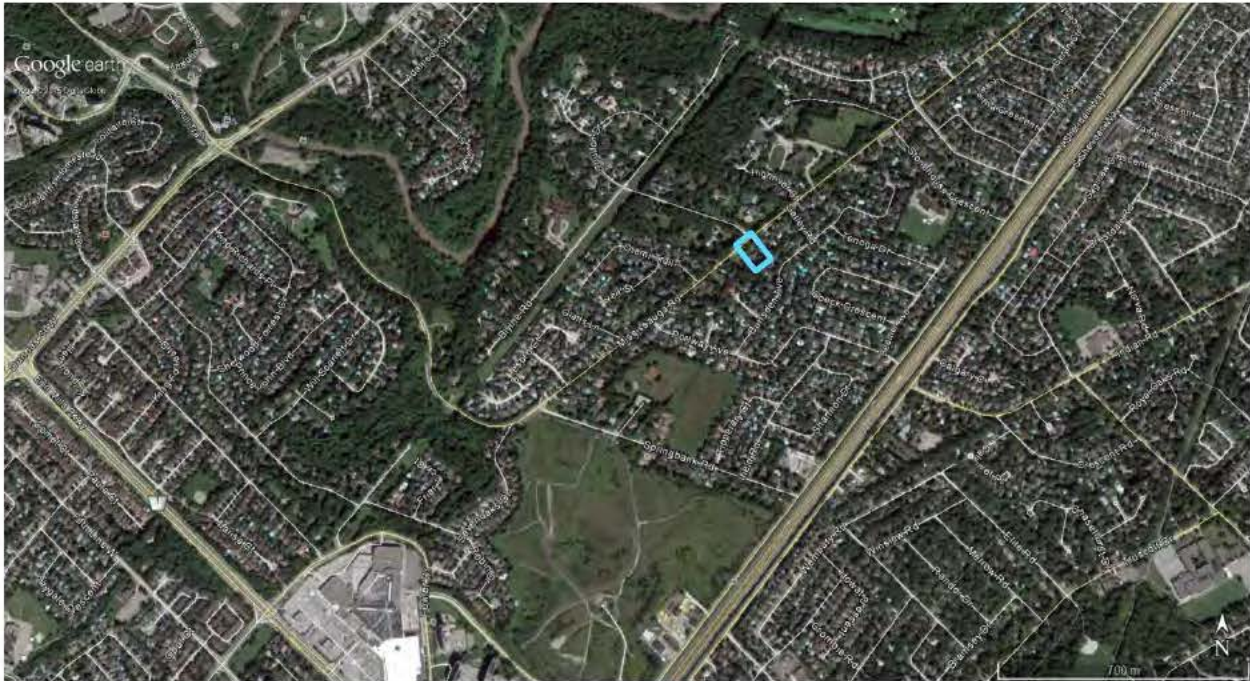
The subject property is located at 2326 Mississauga Road. The property is on the southeast side of Mississauga Road, east of Erin Mills Parkway and north of the Queen Elizabeth Way highway. The property's north side faces onto Doulton Drive. The property backs onto and is surrounded by other residential properties. Across from the property, on the northwest side of Mississauga Road, are several undeveloped parcels of land which are for sale. The subject property appears to have been severed from the adjacent property (2320 Mississauga Road) prior to or during 1977¹, and both are currently developed with single detached dwellings. The subject property and surrounding properties are zoned Residential 1 (R1) in the City of Mississauga's Zoning By-law.²



Context Map, 2014, Google Maps. Subject Property outlined in cyan.

¹ City of Mississauga, Heritage Mapping.

² City of Mississauga, Zoning By-law.



Aerial, 2014, City of Mississauga. Subject site identified by cyan square.



Subject Site at 2326 Mississauga Road (panoramic view distorts plane).



Proposed new building, front elevation overlaid on Google Streetview.



Existing building, architectural details at the front of the house.



Mississauga Road, looking southwest from 2326 Mississauga Road.



Doulton Drive (left) and vacant property (right) across from the subject property.



Mississauga Road, looking northeast from 2326 Mississauga Road.

3.2 CULTURAL HERITAGE LANDSCAPE

Mississauga Road is a recognized Cultural Landscape and one of the City's oldest thoroughfares.³ The name originates from the French-appointed name for the Ojibway First Nation, a corruption of the Ojibwa-named Mississagi River, or 'river with a large outlet', located on the north shore of Lake Huron where the Ojibway were first encountered.⁴ The Ojibway gradually settled Southern Ontario after the Iroquois had withdrawn from the area. At one point, the Ojibway occupied one kilometre on either side of the Credit River from Lake Ontario north to Streetsville. Mississauga Road "was once the Indian hunting and fishing trail that linked the Mississauga natives' fishing grounds at the mouth of the Credit River with their farms and their woodlots and hunting grounds in the interior".⁵ The Ojibway were gradually squeezed into tighter areas due to successive treaties, population decline, and conflicts with new settlers. By 1847, the Ojibway population was reduced to only 28 families and were moved to a reservation at New Credit, near Brantford.⁶

³ City of Mississauga Property Information.

⁴ Skeoch, A. *Mississauga: Where the River Speaks*. 2000.

⁵ Ibid, p.34.

⁶ Ibid.

Mississauga Road is an exception in an otherwise rectilinear road grid laid out in a military plan by British surveyors.⁷ The road follows high land west of the Credit River, often severing properties in half. As settlers arrived, small communities became established, including Port Credit at the mouth of the Credit River on Lake Ontario, and Streetsville to the north of today's highway 403. Port Credit grew as a port to ship goods from the interior such as logs, stone, grain, milled goods and fish to Toronto's markets.⁸ Streetsville was first surveyed in 1818-1819 by Timothy Street, who was also given land here as a result of his services.⁹ He did not immediately develop the land. James Glendinning was the first to settle here in 1819, enticed by the area's rich agricultural land between the Credit River and Mullet Creek.¹⁰ Many others soon followed and the area became a prosperous farming and milling community. Mississauga Road would come to link Port Credit, Streetsville, and other villages in the area.

John Embleton surveyed the First Nations trail in the 1820s, which would eventually become Mississauga Road.¹¹ It became a stagecoach route from Streetsville to Port Credit starting in 1831.¹² It was not until 1931 that the road between Dundas and Streetsville, named the Streetsville-Erindale road, was paved, ceremoniously opened for use, and renamed Mississauga Road.¹³ The road now stretches north and joins Erin Mills Parkway north of Streetsville, and Mississauga Road continues into Brampton.



Mississauga Road prior to paving in 1931.¹⁴

⁷ Skeoch, A. *Mississauga: Where the River Speaks*. 2000.

⁸ Ibid.

⁹ Streetsville Historical Society. *A History of Streetsville*. 2008.

¹⁰ Ibid.

¹¹ Hicks, K. *Streetsville: From Timothy to Hazel*. 2008.

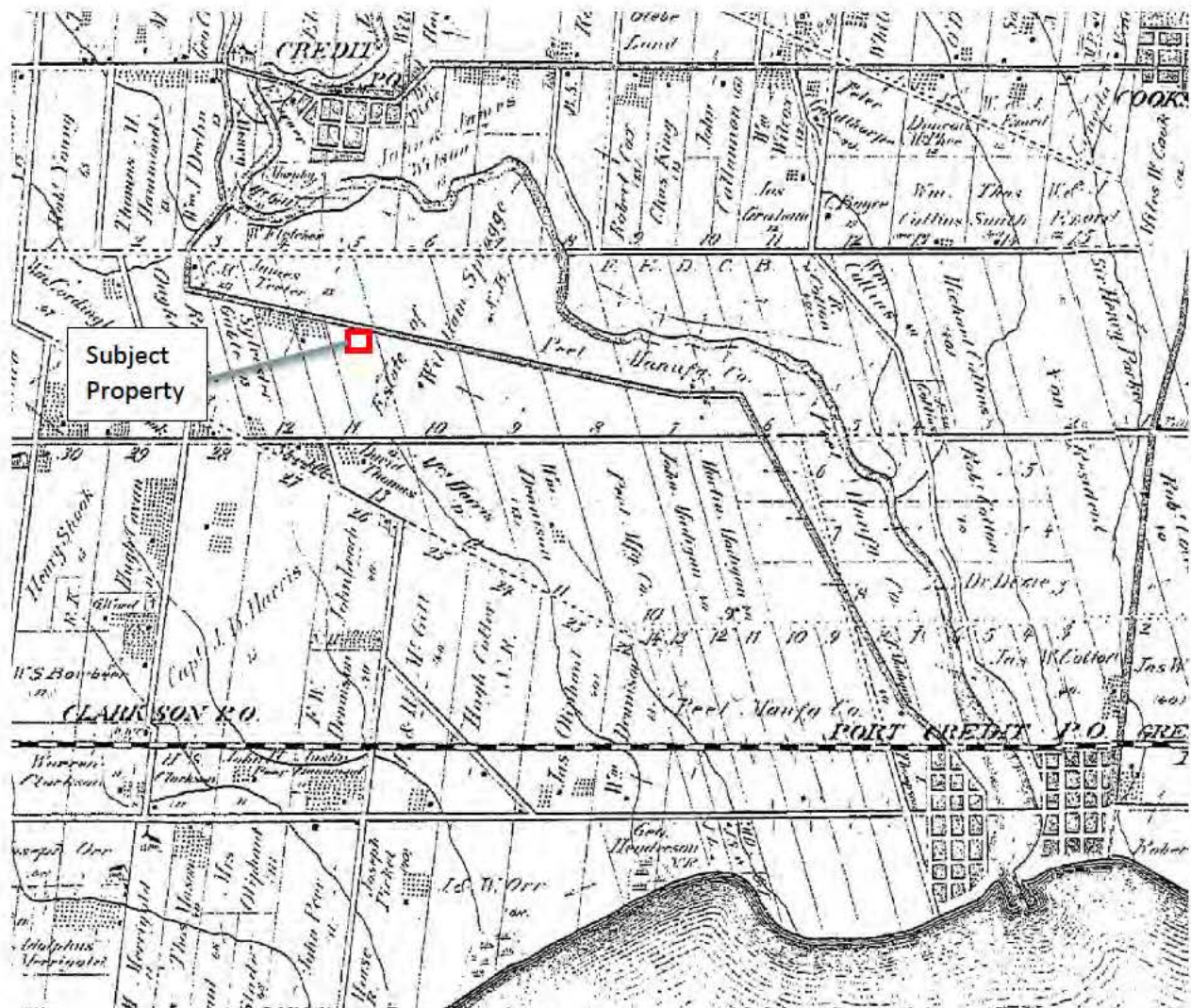
¹² Hicks, K. *Erindale: Early Times to Evolution*. 2009.

¹³ Ibid.

¹⁴ Ibid.

3.3 SUBJECT PROPERTY

The subject property was part of the William Spragge estate in 1877¹⁵. This estate would then be successively subdivided, finally forming the present day property at 2326 Mississauga Road.



Subject Property as shown in 1877 on the Peel County Atlas (South).

¹⁵ City of Mississauga, Heritage Mapping.



Aerial, 1954, City of Mississauga. Subject site identified by red square.

An aerial photo from 1954 shows the area, including the subject property, covered in orchards, a major industry of Mississauga during much of the 20th century.¹⁶ This use continued until the early 1960's, when the number of residences which front on Mississauga Road in Lot 11 more than doubled from approximately six in 1954 to sixteen by 1966.¹⁷

Between 1963 and 1966, the orchard was developed into a subdivision, with roads and several houses clearly visible in the 1966 aerial.¹⁸ By 1977 the building footprints along Mississauga Road reflect what is currently built and the subdivision behind the subject property was mostly built out.¹⁹ More detail on the historical development of the property can be found under Section 4.2.

¹⁶ City of Mississauga, Heritage Mapping.

¹⁷ Ibid.

¹⁸ Ibid.

¹⁹ Ibid.

3.4 BUILT ENVIRONMENT

Mississauga Road is known to feature “some of the City’s most interesting architecture and landscape features”, and this stretch of road is consistent with that statement.²⁰ Large estate homes are a predominate feature in this area of Mississauga Road, the majority of which were built around the mid to late 1960s onwards. The style of homes is eclectic and diverse, with a wide range of architectural styles and materials.



Bickell Estate at 2025 Mississauga Road.

Northeast along Mississauga Road is the Bickell Estate, located at 2025 Mississauga Road. Built in the Spanish Eclectic style in 1931, this house was designated under the terms of the Ontario Heritage Act for its architectural features which are representative of the style.²¹

There are also several buildings in the Erindale area, approximately 1 km north of the subject property, which are designated under the Ontario Heritage Act, including the Erindale Community Hall (1928), Presbyterian Church (1860) and former St. Peter’s Rectory (1861).²²

²⁰ City of Mississauga. *Cultural Landscape Inventory*. 2005.

²¹ City of Mississauga Heritage Designated Properties.

²² Ibid.



Left: Erindale Presbyterian Church (1860) Right: Former St. Peter's Rectory (1861).²³

²³ City of Mississauga Heritage Designated Properties.

4 IDENTIFICATION OF THE SIGNIFICANCE AND HERITAGE ATTRIBUTES OF THE CULTURAL HERITAGE RESOURCE

4.1 CULTURAL HERITAGE LANDSCAPE

Criteria identified by the City of Mississauga that recognizes Mississauga Road as a Cultural Heritage Landscape are divided into four categories; Landscape Environment, Built Environment, Historical Associations and Other. Within these categories, several attributes apply to Mississauga Road which are: Scenic and Visual Quality, Horticultural Interest, Landscape Design, Type and Technological Interest, Consistent Scale of Built Features within the Built Environment, Illustration of a Style, Trend or Pattern, Illustration of a Phase in Social or Physical Development, and Historical or Archaeological Interest.²⁴ Each of these attributes is explored in more detail below.

4.1.1 LANDSCAPE ENVIRONMENT – SCENIC AND VISUAL QUALITY

Mississauga Road's scenic quality is "notable because it traverses a variety of topography and varying land use, from old established residential neighbourhoods to new industrial and commercial areas."²⁵ This quality could have been destroyed, were it not for some concerned citizens.

After an initial vote by council in 1970 to widen the road to four lanes, protests began.²⁶ Among them was a resolution drafted by prominent botanist Dr. Paul Maycock of Erindale College, who wrote that they were against any plan that would "widen the roadbed, destroy the roadside plantings and environment and completely alter the natural and scenic regiment" of the area.²⁷

In 1976, as concern mounted over proposed Regional road widenings, concerned local residents presented Council with a petition with over 200 signatures. The residents valued the scenic quality of the road, and it was officially designated a 'scenic route'. Due to increasing development pressures, residents were still convinced that the road could yet be widened. One particular development along Mississauga Road was appealed to the OMB, and on September 20th, 1976, it was decided that "in perpetuity, no road widening was to take place on Mississauga Road."²⁸

Since this time, Mississauga Road's scenic quality has been kept intact, features of which include winding roads following the Credit River Valley topography, mature trees and estate homes of high architectural quality.

²⁴ City of Mississauga. *Cultural Landscape Inventory*. 2005.

²⁵ City of Mississauga. *Cultural Landscape Inventory*. 2005. Page 162.

²⁶ Hicks, K. Erindale: *Early Times to Evolution*. 2009.

²⁷ Ibid.

²⁸ Ibid.

4.1.2 LANDSCAPE ENVIRONMENT – HORTICULTURAL INTEREST

Mississauga Road has been recognized as home to some of the oldest specimen trees in the City.²⁹ Residents were first attracted to these areas due to the presence of large Oak, Maple and Walnut trees, as well as a sign that the surrounding land was good for agriculture.³⁰ The City has begun a tree sculpture program which takes large trees that have died and creates a site specific work of art from the tree's remains. Many of these sculptures can also be found along Mississauga Road. The properties in the area have a number of mature specimens including ash, maple, oak and spruce, and several mature trees are found on the subject site, all of which are to remain.

4.1.3 LANDSCAPE ENVIRONMENT – LANDSCAPE DESIGN, TYPE AND TECHNOLOGICAL INTEREST

Mississauga Road is recognized for its many low stone walls that define the landscape of the large estates.³¹ Nearby and neighbouring properties do not appear to have this characteristic feature.

4.1.4 BUILT ENVIRONMENT – CONSISTENT SCALE OF BUILT FEATURES

Generally, the houses along Mississauga Road are built far from the road, and at a similar scale of around two storeys. This gives the area its characteristic feel, along with the mature trees that tend to line the residents' large front yards. Near the subject property, this holds true as many of the houses are of a similar scale, the majority are two storeys with occasional larger estate residences and most were built from the 1960s onwards.³² Further information on the built environment analysis can be found below in Section 4.2.

4.1.5 HISTORICAL ASSOCIATIONS – ILLUSTRATES A STYLE, TREND OR PATTERN

Mississauga Road is linked to the early settlement and development of several communities that would eventually form a part of the City of Mississauga. When the area of Mississauga was surveyed, it was measured using chains for distance, with 1 chain measuring 20 metres. This distance was used for the width of all early roads, many of which still retain this width to the present day.³³ Mississauga Road is very likely one of these roads that has retained its original surveyed width.

²⁹ City of Mississauga. *Cultural Landscape Inventory*. 2005.

³⁰ Skeoch, A. *Mississauga: Where the River Speaks*. 2000.

³¹ City of Mississauga. *Cultural Landscape Inventory*. 2005.

³² City of Mississauga. *Heritage Mapping*.

³³ Personal Communication, Matthew Wilkinson, Historian, Heritage Mississauga.



Stone entrance feature at 4198 Mississauga Road, farther north along Mississauga Road.

4.1.6 HISTORICAL ASSOCIATIONS – ILLUSTRATES IMPORTANT PHASE IN MISSISSAUGA'S SOCIAL OR PHYSICAL DEVELOPMENT

As noted above, Mississauga Road played a crucial role in the settlement and development of the communities in this area that would eventually form a part of the City of Mississauga. Mississauga Road was known as various names such as Streetsville Road, Cedar Swamp Road, Gravel Road, Stone Road, and Cold Springs Road until all parts from Lake Ontario to Brampton were renamed Mississauga Road beginning in 1944 until 1974.³⁴ The stretch of road south of Dundas was originally called Joseph Street, named after Joseph Sawyer, a Mississauga Chief.³⁵ The stretch through Streetsville still retains the name Queen Street.

³⁴ Hicks, K. Erindale: *Early Times to Evolution*. 2009.

³⁵ Ibid.

4.1.7 OTHER – HISTORICAL INTEREST

The Mississauga Road corridor has been associated with transportation since pre-European settlement times. From the First Nations trail to the stagecoach to the current two-lane roadway, the road has developed concurrently with the surrounding land uses.

4.2 BUILT ENVIRONMENT

The subject property contains a two-storey dwelling that was constructed approximately 40 years ago. It is a custom-built Suburban Style house with an integrated 2-car garage, rectangular plan and a gable roof with one dormer on the rear elevation. It is wood frame construction with a concrete block foundation and full basement. The cladding materials are red brick and artificial stone with vinyl cladding in the gables and vinyl windows. There are two brick chimneys on the end walls.

The house is oriented to Mississauga Road on a slight angle and is located on a large lot with a paved driveway on the north side of the lot. The surrounding built context, as described above, is a mix of similar scale large estate homes mostly built after the 1960s. The nearest heritage designated home is roughly a kilometer northeast along Mississauga Road, and other designated structures in the historic Erindale area are over a kilometer to the northwest.



Back of the property showing rear building façade.

While the house is part of the Mississauga Road streetscape, the structure is not significant in terms of its built heritage value and does not contribute to the heritage value of the surrounding landscape. The structure is not listed specifically on the City's registry nor is it identified in the City's Cultural Landscape Inventory as being a pertinent asset to the cultural heritage value of the Mississauga Road Cultural Heritage Landscape.

4.2.1 HERITAGE VALUE

See Appendix A: Land Records Summary Chart.

The subject property contains a dwelling that was constructed in 1971-2 by Basner Construction Limited. This construction company has not been identified as having significance to the community. Owners and occupants of the house have been identified and there are no persons of significance to the community that resided here. Previous owners and dates of ownership are as follows:

- 1972-88 George E. & Myrna A. Sandell
- 1988-92 Tony Vettese & Nancy Cooke
- 1992-97 Norval Park
- 1997-99 Patrick L. Borg & Nancy A. Olive
- 1999-2011 Deborah Day
- 2011- Current owners

Prior to construction of the home the property was part of a larger parcel of land that contained fruit orchards. The orchards were located on Part of Lots 11 & 12 on the south side of Mississauga Road. They were well established by 1877 as they appear on the Peel County Atlas. They were part of a larger property on both sides of Mississauga Road that was owned by the Estate of William Spragge in 1877. William Spragge was the Deputy Superintendent of Indian Affairs and was responsible for re-allocating lands along the Credit River after the Mississauga were relocated to lands on the Grand River.



1877 Peel County Atlas; The subject property is located on lands belonging to the Estate of William Spragge that contained fruit orchards and a dwelling house later owned by Enoch Patchett Sr. & Jr from 1878 to 1909. No traces of the house or orchards remain today.

The County Atlas indicates that there was a house located just east of the subject property that was associated with the orchards. The 1891 Census indicates that Enoch Patchett was living on Lot 11 in a two-storey stone house with 9 rooms that probably corresponds to the house indicated on the Wentworth County Atlas. No traces of this house remain today. Enoch Patchett and his son Enoch Jr. are identified in historical records as fruit growers and they owned land in Lot 11 & 12 (including the subject property) from 1878 to 1909, though it is likely that they were there earlier as tenant farmers. A 1956 aerial photo of this area shows that the orchard was still there in the post-war period.



Aerial, 1954, City of Mississauga. Subject site identified by red square.

In 1964 a Plan of Subdivision was registered to create a residential subdivision called Credit Valley Estates in this area. The subject property is part of a small parcel that was not included in the Subdivision, perhaps because it contained an existing residence. There is a larger parcel further east that was also excluded from the subdivision that likely contained the stone house owned by the Patchett family. No traces of either structure or the fruit orchard are extant.



1964 Plan of Subdivision (Plan 697) for the Credit Valley Estates. The subject property is located on a small parcel of land in Lot 11 that was not included in the subdivision.

4.2.1.1 MISSISSAUGA ROAD SCENIC ROUTE (F-TC-4)

The Mississauga Road Scenic Route is a scenic road that has heritage value as a historic transportation corridor that parallels the Credit River on its west bank. Mississauga Road is one of the oldest roads in Mississauga. Its alignment varies from being part of the normal road grid in the north to a curvilinear alignment in the south following the top bank of the Credit River. The scenic quality of the road is notable because it traverses a variety of topography and varying land use from old established residential

neighbourhoods to new industrial and commercial areas. From Streetsville south the boulevards and adjacent landscapes are home to some of the oldest and most spectacular trees in the City. It is acknowledged as an important cultural landscape because of its role as a pioneer road and its scenic interest and quality.

The subject property is located on Mississauga Road South in an area that contains 20th century residential development on both sides of the road. It is located on the section of Mississauga Road South that curves to follow the Credit River but this location is level and does not have any particular scenic interest. It contains a residential building that contributes to the consistent scale of built features associated with the Mississauga Scenic Route due to its two-storey height, orientation to the roadway and lot configuration that includes a generous front-yard setback. The dwelling does not contribute to historical associations that define the Mississauga Road Scenic Route because it was constructed c. 1970, a decade after former agricultural land located here was developed as a residential subdivision. Therefore, it does not illustrate a style, trend, or pattern that contributes to the Mississauga Road Scenic Route and does not illustrate an important phase in the Mississauga's social or physical development.

Based on an evaluation using criteria under the Ontario Heritage Act, the dwelling located on the subject property does not have cultural heritage value. The rationale is outlined in Section 4.2.2 below.

4.2.2 EVALUATION ACCORDING TO ONTARIO REGULATION 09/06

Table 1: Evaluation of Cultural Heritage Value or Interest Summary Table

CRITERIA FOR DETERMINING CULTURAL HERITAGE VALUE OR INTEREST	ASSESSMENT (YES/NO)	RATIONALE
1. Design or physical value:		
a) Is a rare, unique, representative or early example of a style, type, expression, material, or construction method	NO	It is a typical Suburban Style dwelling that was constructed in 1971-72 using common materials and construction methods. Similar dwellings can be found in large numbers throughout Mississauga and the GTA.
b) Displays a high degree of craftsmanship or artistic merit	NO	It is well constructed using standardized building components and materials but it does not display a high degree of craftsmanship or artistic merit.

c) Demonstrates a high degree of technical or scientific achievement	NO	It is a typical 2-storey suburban home with a finished basement and integrated garage. It is standard wood frame construction on a concrete block foundation and therefore does not demonstrate a high degree of technical or scientific achievement.
2. Historical or associative value:		
a) Has direct associations with a theme, event, belief, person, activity, organization, or institution that is significant to a community	NO	It is associated with residential development on Mississauga Road South in the late 20 th century, an activity that is not significant to historical values associated with the Mississauga Road Scenic Route that has been identified as an important cultural landscape because of its role as a pioneer road. Prior to creation of this lot and construction of the dwelling, this property was part of a larger parcel that supported agricultural activities, specifically a fruit orchard. No traces of these former agricultural activities remain.
b) Yields, or has potential to yield, information that contributes to an understanding of a community or culture	NO	It does not contribute significantly to an understanding of residential development in Mississauga because this area was already well established as a residential subdivision when the dwelling was constructed.
c) Demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community	NO	It is not associated with a developer, builder, architect or designer who is significant to the community.
3. Contextual value:		
a) Is important in defining, maintaining, or supporting the character of an area	NO	It is not important in defining, maintaining or supporting the character of the Mississauga Scenic Route because it was constructed approximately 45 years ago, long after the period of significance for this cultural landscape. The Mississauga Road Scenic Route has been identified as an important cultural landscape because of its role as a pioneer road.

b) Is physically, functionally, visually, or historically linked to its surroundings	NO	It is not physically, functionally, visually or historically linked to the Mississauga Scenic Route because it was constructed approximately 45 years ago, long after the period of significance for this cultural landscape because the Mississauga Road Scenic Route has been identified as an important cultural landscape because of its role as a pioneer road.
c) Is a landmark	NO	It is not a landmark because it is a typical suburban residence with no significant physical, historical or contextual value.

5 DESCRIPTION OF PROPOSED DEVELOPMENT OR SITE ALTERATION

5.1 RATIONALE AND PURPOSE OF THE PROPOSED DEVELOPMENT

The proposed property is undergoing site plan and building permit approval for the demolition of the existing residence and the construction of a new one. Since the property is within the Mississauga Road Scenic Route Cultural Heritage Landscape, a Cultural Landscape Heritage Impact Assessment must be prepared.



Approximate Location of proposed development.

5.2 RECOMMENDED PROTECTION AND ENHANCEMENT MEASURES

Mississauga Road is recognized as a Scenic Route Cultural Landscape due to its scenic quality, landscape design and context, consistent scale of built features, and historical associations with Mississauga's development. The effect of the proposed development on Mississauga Road's Cultural Landscape can be analyzed through criteria from the Ontario Heritage Toolkit as summarized in the Cultural Landscape Heritage Impact Assessment Terms of Reference. The table below describes an analysis of the proposed development against this criteria.

Table 2: Evaluation of Effect of Proposed Development

Potential Negative Impact	Analysis
Destruction of any, or part of any, significant heritage attributes or features	No perceived impact – there will be no destruction to the scenic quality, historical associations, consistent built form scale or landscape design as the proposed development will maintain the existing mature trees and be of a similar scale to neighbouring properties.
Alteration that is not sympathetic, or is incompatible, with the historic fabric and appearance	Minimal to no perceived impact – the proposed residence will be 2 storeys which is characteristic of the area. The garage is accessed from the side of the house, screened from view, which is more in keeping with the characteristic appearance of the corridor than the existing house. The setback from the road will be reduced through this development, however, it will be similar to neighbouring residences, and is screened visually from the road by the mature trees at the front of the property.
Isolation of a heritage attribute from its surrounding environment, context or a significant relationship	No perceived impact – the relationship between Mississauga Road and its surrounding architecture, scenic quality and landscape design will continue.
A change in land use where the change in use negates the property's cultural heritage value	Not applicable – the site will remain residential.
Removal of natural heritage features, including trees	Minimal perceived impact - No trees are proposed for removal within the property for the demolition of the existing house. The construction of the new house may require the removal of one coniferous tree (15-20' tall) to facilitate the new driveway.
Shadows created that alter the appearance of a heritage attribute or change the viability of an associated natural feature, or plantings, such as a garden	No perceived impact – the surrounding properties are residential (manicured lawn and mature trees), which will not be impacted by the shadow footprint of the proposed residence.
Direct or indirect obstruction of significant views or vistas within, from, or of built and natural features	No perceived impact – the proposed residence will not alter the view from, within or to Mississauga Road.
Land disturbances such as change in grade that alter soils, and drainage patterns that adversely affect cultural heritage resources	No perceived impact – insignificant to no grading will be required.
Removal of the existing dwelling	No Impact – Based on an evaluation using criteria under the Ontario Heritage Act (Ontario Regulation 09/06), this building does not have

	cultural heritage value and therefore does not warrant Designation.
Construction of proposed dwelling	No Impact – The proposed dwelling will maintain the consistent scale of built features that contributes to the Mississauga Road Scenic Route and will not have a negative impact on the built environment.

5.3 IMPACTS TO ADJACENT HERITAGE FEATURES

It is anticipated that the proposed development will have little to no perceived impact on any adjacent heritage features, as analyzed above.

5.4 MITIGATION MEASURES

The following mitigation measures were considered in order to minimize the impact on the cultural landscape:

- Consideration of the setback of the house in relation to adjacent dwellings, and to existing vegetation along the streetscape;
- The stucco cladding material colour palette will be neutral in tone, in order to demonstrate sensitivity to the predominant colour palette along Mississauga Road;
- A shift in the position of the garage doors so that it is accessed from the side elevation, and is not a prominent architectural feature on the front elevation;
- Removal of existing dwelling - No mitigation required because this structure does not have cultural heritage value. This report contains documentation including photographs and measured drawings.

6 SUMMARY STATEMENT AND CONSERVATION RECOMMENDATIONS

6.1 RECOMMENDATIONS

As shown in the analysis above, the Mississauga Road Scenic Route Cultural Landscape is not anticipated to be impacted by the proposed development. As the surrounding properties have a similar lot size, frontage, and scale of building to the proposed development and the style of homes are eclectic and diverse along this section of Mississauga Road, the proposed size and style of this residence blends into the diversity of homes already existing. One tree may need to be removed to accommodate the new driveway, and the adjacent properties will not be negatively impacted. The diminished setback to the road is minimal, and is similar to neighbouring properties, it is anticipated that this will have little to no impact on the Mississauga Road Scenic Route Cultural Landscape. As Mississauga Road has long been recognized

for its mature trees, further consideration could be given to increase planting where feasible. Tree preservation should be maintained around the existing mature trees at the front of the property during construction to maintain the scenic quality that this vegetation is a part of.

As part of the Cultural Landscape Heritage Impact Assessment, the existing property must be considered for designation under the *Ontario Heritage Act*. The *Ontario Heritage Act's* criteria for determining cultural heritage value or interest were evaluated under Section 4.2.2 (Table 1) of this report. The conclusion of that analysis is as follows:

The property does not meet the criteria for heritage designation for the reasons outlined in Section 4.2.2 (Table 1). It does not have design or physical value due to it being of relatively standard construction. No indications of a significant architect or landscape architect being involved in the property were found. Research did not reveal any significant historical value or associative value. Finally, the property does not have any contextual value because it does not uniquely support the character of the area, is not inextricably linked to its surroundings, nor is it a landmark.

As shown by the analysis in this report, the property does not warrant heritage conservation as per the Provincial Policy Statement definition.

7 QUALIFICATIONS

Shannon Baker, BLA, MUD, OALA, CSLA, CAHP.

Shannon is an award-winning Senior Landscape Architect with WSP-MMM Group Limited and an Associate of the firm. She is a full member of the Ontario Association of Landscape Architects, the Canadian Society of Landscape Architects and the Canadian Association of Heritage Professionals. Shannon's experience with historical research and site design have informed her in her work on restoration plans for national historic sites, design/development guideline packages for parks and open spaces with heritage elements, and historic streetscape design and rehabilitation guidelines. In addition, Shannon has been involved in numerous heritage conservation district studies and plans, as well as heritage impact assessments and statements of cultural heritage landscape significance.

Jennifer Sisson, BLA, MSc, OALA Associate

Jennifer is a Landscape Designer with experience in both the public and private sectors. With a background in both landscape architecture and planning, Jennifer has a strong understanding of the complex relationship between land use, people and the environment, which can be seen in the quality of her work. Jennifer has been involved with the preservation of cultural heritage through working in coordination with the local Heritage Committee in her previous role at a municipal office. This included the designation of Castleton Town Hall as a Heritage Building under the Ontario Heritage Act and updating the Township's Heritage Registrar. Jennifer's project experience includes work in heritage preservation and designation of key heritage buildings in Northumberland County and heritage impact assessments for private development and cultural heritage landscapes in Mississauga.

Megan Hobson, MA, Dipl. Heritage Conservation

Megan Hobson is a Heritage Consultant with a Master of Arts in Architectural History from the University of Toronto and a Diploma in Heritage Conservation from the Willowbank School of Restoration Arts. She has professional experience as a historian, heritage planner and building conservation specialist and is an intern member of the Canadian Association of Heritage Professionals.

8 BIBLIOGRAPHY

Print:

Hicks, Kathleen. 2008. *Streetsville: From Timothy to Hazel*.

Hicks, Kathleen. 2009. *Erindale: Early Times to Evolution*.

Ontario Heritage Act R.S.O. 1990, CHAPTER O.18

Skeoch, Alan. 2000. *Mississauga: Where the River Speaks*. Mississauga Library System.

Streetsville Historical Society. 2008. *A History of Streetsville*.

Web:

City of Mississauga. *Cultural Landscape Inventory*.

http://www5.mississauga.ca/pdfs/Cultural_Landscape_Inventory_Jan05.pdf

City of Mississauga. *Culture on the Map – Heritage Designations*.

<http://www.cultureonthemap.ca/mapcms/com/query.html?idx=8>

City of Mississauga. *Heritage Designated Properties*.

<http://www.mississauga.ca/portal/discover/heritagedesignatedproperties>

City of Mississauga. *Heritage Mapping*.

<https://www.mississauga.ca/portal/services/maps>

City of Mississauga. *Property Information*.

<http://www.mississauga.ca/portal/services/property>

City of Mississauga. *Zoning By-law*.

<http://www.mississauga.ca/portal/residents/zoningbylaw>

In Person:

Matthew Wilkinson, Historian – Heritage Mississauga. Personal Communication November 26, 2015.

Appendix A: Land Records Summary

APPENDIX A: LAND RECORDS SUMMARY CHART

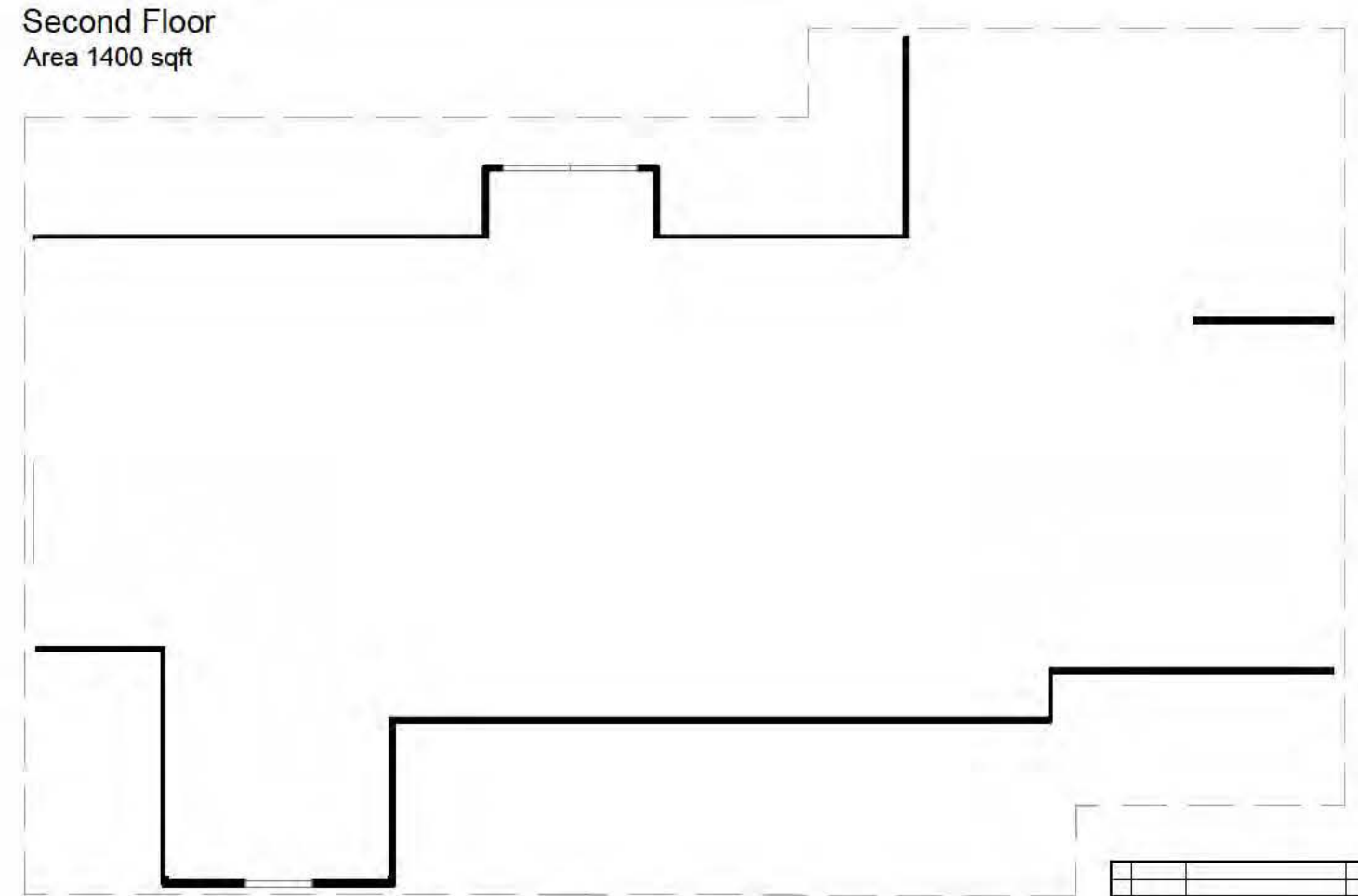
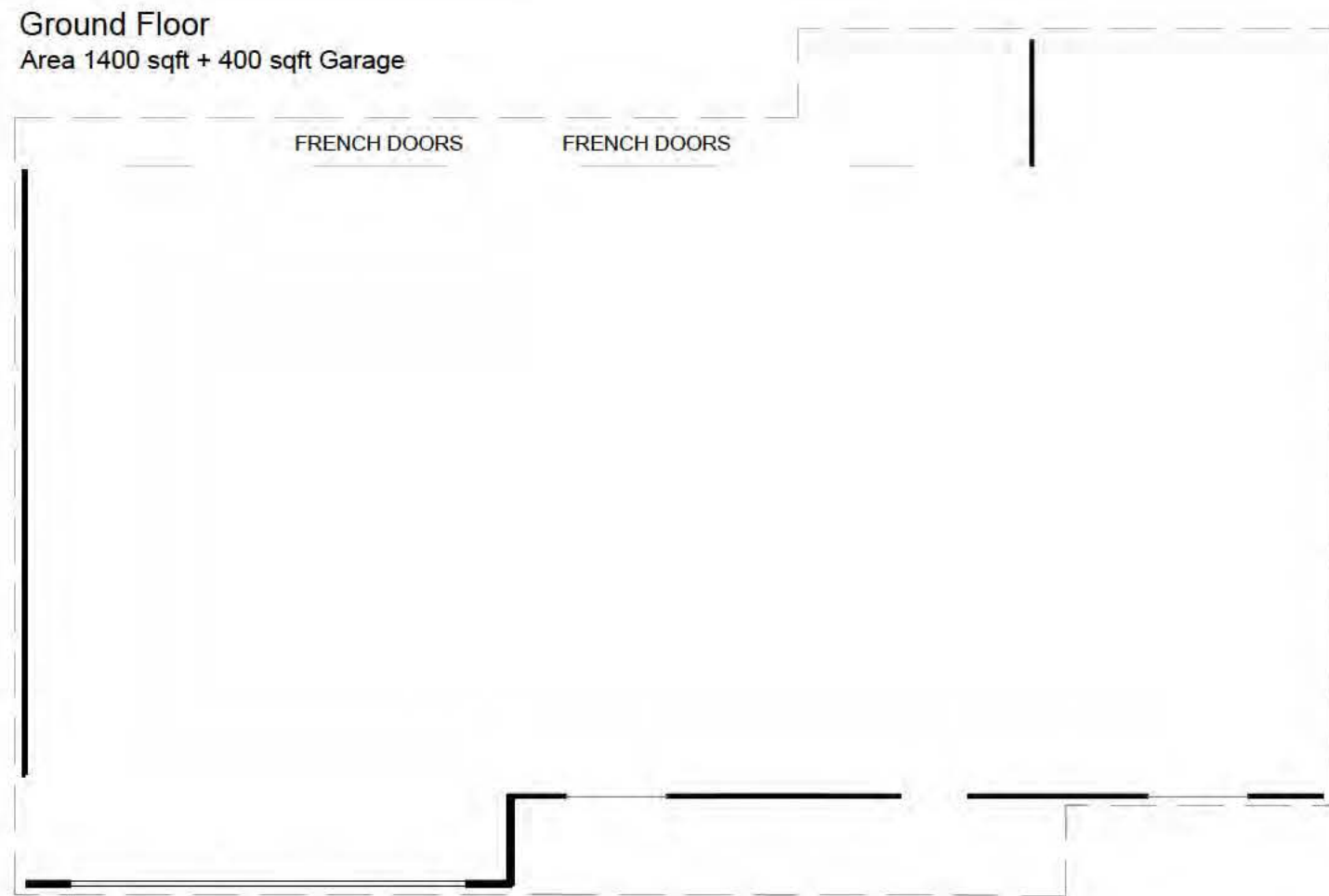
ADDRESS: 2326 Mississauga Road South, Mississauga
 LEGAL DESCRIPTION: Pt. Lot 11, Range 3 CIR

INST. NO.	DATE	TYPE	GRANTOR	GRANTEE	LANDS
BOOK A					
	1856	Patent	THE CROWN	Frederick W. JARVIS (Toronto)	S. Part of Lot.11 CIR Range 3
9555	1861	B&S	Frederick W. JARVIS (City of Toronto)	William SPRAGGE (Quebec) (Deputy Superintendent of Indian Affairs from 1862-67)	36 acres in Lot 11, CIR Range 3
BOOK B					
6278	1866	Will	William SPRAGGE (City of Ottawa)	A.G.M. SPRAGGE (Toronto)	Part Lot 11, CIR Range 3
2531	1878	B&S	A.G.M. SPRAGGE (City of Toronto)	Enoch PATCHETT (Township of Toronto)	Part Lot 11, CIR Range 3
11048	1903	B&S	Enoch PATCHETT Sr. et ux (Township Toronto)	Enoch PATCHETT Jr. (Fruit Grower, Township of Toronto)	Part Lot 11, CIR Range 3
13510	1909	B&S	Enoch PATCHETT Jr. et ux (Fruit Grower, Township of Toronto)	Reginald THOMPSON (Manufacturer, City of Toronto)	Part Lot 11, CIR Range 3
BOOK C					
14732	1909	Grant	Reginald THOMPSON, bachelor	Georgina F. HAMILTON	Part Lot 11, CIR Range 3 (subject to 2 mortgages)
14733	1911	Grant	Georgina F. HAMILTON, wife of Henry C. HAMILTON (City of Toronto, formerly of Sault Ste. Marie)	Thomas J. DEETH (Builder, City of Toronto)	Part Lot 11, CIR Range 3 (subject to 2 mortgages)
17560	1915	Grant	Thomas J. DEETH	Winnifred MUSSON	Part Lot 11, CIR Range 3
19831	1920	Grant	Winnifred MUSSON (wife of Edward T. MUSSON, City of Buffalo, NY)	William George DEAN (Manager, City of Toronto)	Part Lot 11, CIR Range 3
	1924			Solider Settlement Board of Canada	
BOOK D					
86661	1954	Grant	Executors of William George DEAN Estate (d. 1944)	Marjorie D. MORSE (City of Toronto)	69.35 acres composed of Parts of Lots 11 & 12 in Range III of the Credit Indian Reserve
88009	1955	Grant	Marjorie D. Morse (Township of Toronto)	William G. D. MORSE (Contractor) & Marion C. MORSE (wife), as joint tenants	Part Lot 11, CIR Range 3
103318	1957	Grant	William G. D. MORSE & Marion C. MORSE	William G. MASON (Industrial Engineer) & Betty D. MASON (wife), as joint tenants	Part Lot 11, CIR Range 3
146537	1962	Grant	William G. MASON & Betty D. MASON	Douglas HUGHES & Ann HUGHES, as joint tenants	Part Lot 11, CIR Range 3
87163	1968	Grant	Douglas HUGHES & Ann HUGHES	Roger GRAHAM & Lynn GRAHAM, as joint tenants	Plan 697 Part Lot 11, CIR Range 3
18330805	1971	Grant	Roger GRAHAM & Lynn GRAHAM	BASNER Construction Ltd.	Plan 697 Part Lot 11, CIR Range 3

21616900	1972	Grant	BASNER Construction Ltd.	George E. SANDELL & Myrna A. SANDELL, as joint tenants	Plan 697 Part Lot 11, CIR Range 3
865372	1988	Grant	George E. SANDELL & MYRNA A. SANDELL	Tony VETTESE	Plan 697 Part Lot 11, CIR Range 3
941390	1990	Grant	Tony VETTESE	Tony VETTESE & Nancy COOKE, as joint tenants	Plan 697 Part Lot 11, CIR Range 3
1014613	1992	Grant	Tony VETTESE & Nancy COOKE	Norval PARK	Plan 697 Part Lot 11, CIR Range 3
1142668	1997	Transfer	Norval PARK	Patrick L. BORG & Nancy A. OLIVE, as joint tenants	Plan 697 Part Lot 11, CIR Range 3
1974112	1999	Transfer	Patrick L. BORG & Nancy A. OLIVE	Deborah DAY	Plan 697 Part Lot 11, CIR Range 3
2083733	2011	Transfer	Deborah DAY	Current Owner	Plan 697 Part Lot 11, CIR Range 3

*Title Search provided by Chris Aplin of MCA Paralegal

Appendix B: Existing Floor Plans



T	MARCH/17	ISSUED FOR HIA	JS	CR	
N0	DATE	REVISION/ISSUED	BY	APPD	



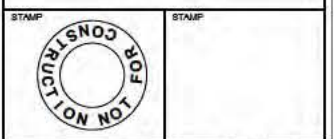
CLIENT
SHOUKRY KOUSSA

PROJECT TITLE
2326 MISSISSAUGA ROAD
HERITAGE IMPACT STUDY

SITE ADDRESS
2326 MISSISSAUGA ROAD

DRAWING TITLE

FLOOR PLANS



MEASURED	MH	DRAWN	JS	CHECKED	CR
SCALE 1/8" = 1'			DATE MAR 24 2017		
PROJECT NUMBER			DWG. NUMBER		
1415805-000-LA1			FP-1		

Appendix C: Proposed Site Plan and Elevations of New House

4.			
3.			
2.			
1.	ISSUED FOR ZONING REVIEW	08/26/16	
No.	Note	Date	Dr By

LOT AREA: 1,449.55 m² (15,603.34 SQ.FT.)

ALLOWABLE LOT COVERAGE : 362.39m² (25%) (3,900.86 FT²)

PROPOSED LOT COVERAGE : 329.54M² (22.7%) (3,547.26 FT²)

ALLOWED GFA (190m² + 289.91 (20% OF LOT AREA))

—G.F.A. INFILL RESIDENTIAL:

FRONT YARD AREA : 401.97m² (4,326.91 FT²)

PROPOSED DRIVEWAY AREA : 162.52M² (40%) (1,749.41 FT²)

REVISIONS <div style="border: 1px solid black; height: 100px; width: 100%;"></div>		<div style="border: 1px solid black; height: 100px; width: 100%;"></div>	
LA VECCHIA DESIGNS ARCHITECTURAL DESIGN FOR RESIDENTIAL AND SMALL COMMERCIAL PROJECTS		1348 DODDEN AVENUE MISSISSAUGA, ON L5E 1A9 (416) 603-4049 info@la-vecchia.com	
Client			
KOUSSA RESIDENCE			
Project Name 2326 MISSISSAUGA ROAD MISSISSAUGA, ONTARIO			
Sheet Title SITE PLAN			
Scale 1:200		Drawing No.:	
Date MARCH 2016		A100	
Project No.			
Drawn by PLV			



FRONT ELEVATION
SCALE: 1/8" = 1'-0"



REAR ELEVATION
SCALE: 1/8" = 1'-0"

5.			
4.			
3.			
2.			
1.	ISSUED FOR REVIEW	03/02/16	Drawn By
No.	Note	Date	By
REVISIONS			
<div>LA VECCHIA DESIGNS</div> <div>ARCHITECTURAL DESIGN FOR RESIDENTIAL AND SMALL COMMERCIAL PROJECTS</div> <div>1008 GORDEN AVE. W. #11 MISSISSAUGA, ONT. L5E 2H8</div> <div>(416) 230-5743</div> <div>plv@lavaggiadesigns.com</div>			
Client			
Project Name KOUSSA RESIDENCE 2326 MISSISSAUGA ROAD MISSISSAUGA, ONTARIO			
Sheet Title FRONT- REAR ELEVATIONS			
Scale 3/16" = 1'-0"		Drawing No.: A500	
Date MARCH 2016			
Project No.			
Drawn by PLV			



No.	Note	Date	Drawn By
5.			
4.			
3.			
2.			
1.	ISSUED FOR REVIEW	03/02/16	

REVISIONS

LA VECCHIA DESIGNS

ARCHITECTURAL DESIGN FOR RESIDENTIAL AND SMALL COMMERCIAL PROJECTS

1540 DUNDAS AVENUE
MISSISSAUGA, ON L5E 2H9
(416) 295-2746
@lavocchiadesigns

Client

Project Name: **KOUSSA RESIDENCE**
2326 MISSISSAUGA ROAD
MISSISSAUGA, ONTARIO

Sheet Title: **SIDE ELEVATIONS**
Scale: 3/16" = 1'-0"
Date: **MARCH 2016**
Project No.:
Drawn by: **PLV**

Drawing No.: **A600**

Appendix D: Property Photographic Documentation

**Plate 1: Front
Elevation**



**Plate 2: Rear
Elevation**



Plate 3: Exterior Side
Elevation (East)



Plate 4: Exterior Side
Elevation (West)

Plate 5: Front
Hallway

Plate 6: Office

late 7: Kitchen

late 8: Family Room

late 9: Dining Room

late 10: Living
Room

Plate 11: Main Floor
Powder Room

Plate 12: Basement
Recreational Room

Plate 13: Stairs
between main and
second floor

Plate 14: Stairs
between basement
and main floor

City of Mississauga
Corporate Report



<p>Date: 2017/04/18</p> <p>To: Chair and Members of Heritage Advisory Committee</p> <p>From: Paul Mitcham, P. Eng, MBA, Commissioner of Community Services</p>	<p>Originator's files:</p> <hr/> <p>Meeting date: 2017/05/09</p>
--	--

Subject

Request to Demolish a Heritage Listed Property: 191 Donnelly Drive (Ward 1)

Recommendation

That the property at 191 Donnelly Drive, which is listed on the City's Heritage Register, is not worthy of heritage designation, and consequently, that the owner's request to demolish proceed through the applicable process.

Background

Section 27.3 of the Ontario Heritage Act states that structures or buildings on property listed on the City's Heritage Register cannot be removed or demolished without at least 60 days' notice to Council. This legislation allows time for Council to review the property's cultural heritage value to determine if the property merits designation.

The owner of the subject property has submitted a heritage permit application to demolish and replace the existing detached dwelling. The subject property is listed on the City's Heritage Register as it forms part of the Mineola Neighbourhood cultural landscape. This cultural landscape is significant due to development of the area at a time when natural elements respected the lot pattern and road system. The area is notable for its rolling topography, its natural drainage and its mature trees. The area is characterized by a balance between the built form and the natural surroundings with a softened transition from landscaped yards to the street edge with no curbs and a variety of quality housing stock.

The landscaping, urban design and conservation authority related aspects will be reviewed as part of the Site Plan review process to ensure the project respects the character of the surrounding community.

Comments

The owner of the subject property has requested permission to demolish the existing structure. The applicant has provided a Heritage Impact Assessment compiled by W.E. Oughtred and Associates Inc. with Meagan Sanderson. It is attached as Appendix 1. The consultant has

concluded that the structure at 191 Donnelly Drive is not worthy of designation. Heritage Planning Staff concurs with this finding.

Financial Impact

There is no financial impact.

Conclusion

The owner of 191 Donnelly Drive has requested permission to demolish a structure on a property that is listed on City of Mississauga's Heritage Register. The applicant has submitted a documentation report which provides information which does not support the building's merit for designation under the Ontario Heritage Act. Heritage Planning Staff concurs with this finding.

Attachments

Appendix 1: Heritage Impact Assessment

Appendix 2: Arborist Report



Paul Mitcham, P. Eng, MBA, Commissioner of Community Services

Prepared by: Cecilia Nin Hernandez, Heritage Coordinator



Heritage Impact Statement

191 Donnelly Drive
Mississauga, Ontario

March, 2017

INTRODUCTION

It is a requirement for the City of Mississauga to request “Heritage Impact Statements” for proposed demolitions of homes listed within the Cultural Landscape Inventory. This report will review the subject property as a part of Mineola Neighbourhood.

The property owners are planning to construct a new two storey home on the property.

As a result of the requirement for the demolition of the existing house on the subject property, this Heritage Impact Statement has been prepared.

TABLE OF CONTENTS

1.Context Map	
2.Location Map	
3.Plan of Survey	
4.Official Plan	
5.Zoning Map	
6.Aerial Photos	
7.Significant Cultural Landscape Designation	
8.Property History	
9.Peel Historical Atlas	
10.Existing site conditions	
a. Exterior Photos	
b. Floor Plans	
c. Interior Photos	
11.Fire Insurance Map	
12.Proposed Building	
13.Proposed Site Plan	
14.Streetscapes	
15.Cultural Heritage Landscape Inventory	
16.Conclusions	
17.Mandatory Recommendations	
18.About the Author	
19.References	
20.Land Registry Records	
21.Arborist Report	

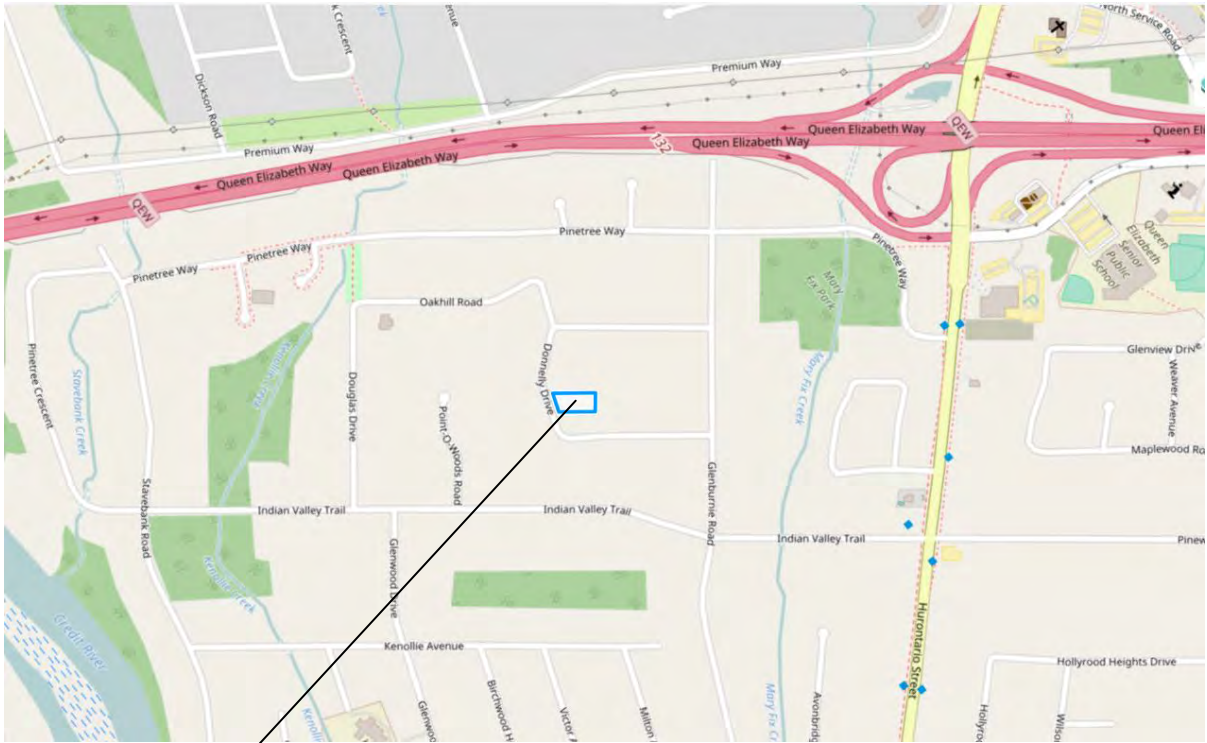
1. Context Map



Subject Property

The property is located in the Mineola Neighbourhood of Mississauga; West of Hurontario Street and South of the Queen Elizabeth Way Highway.

2. Location Map



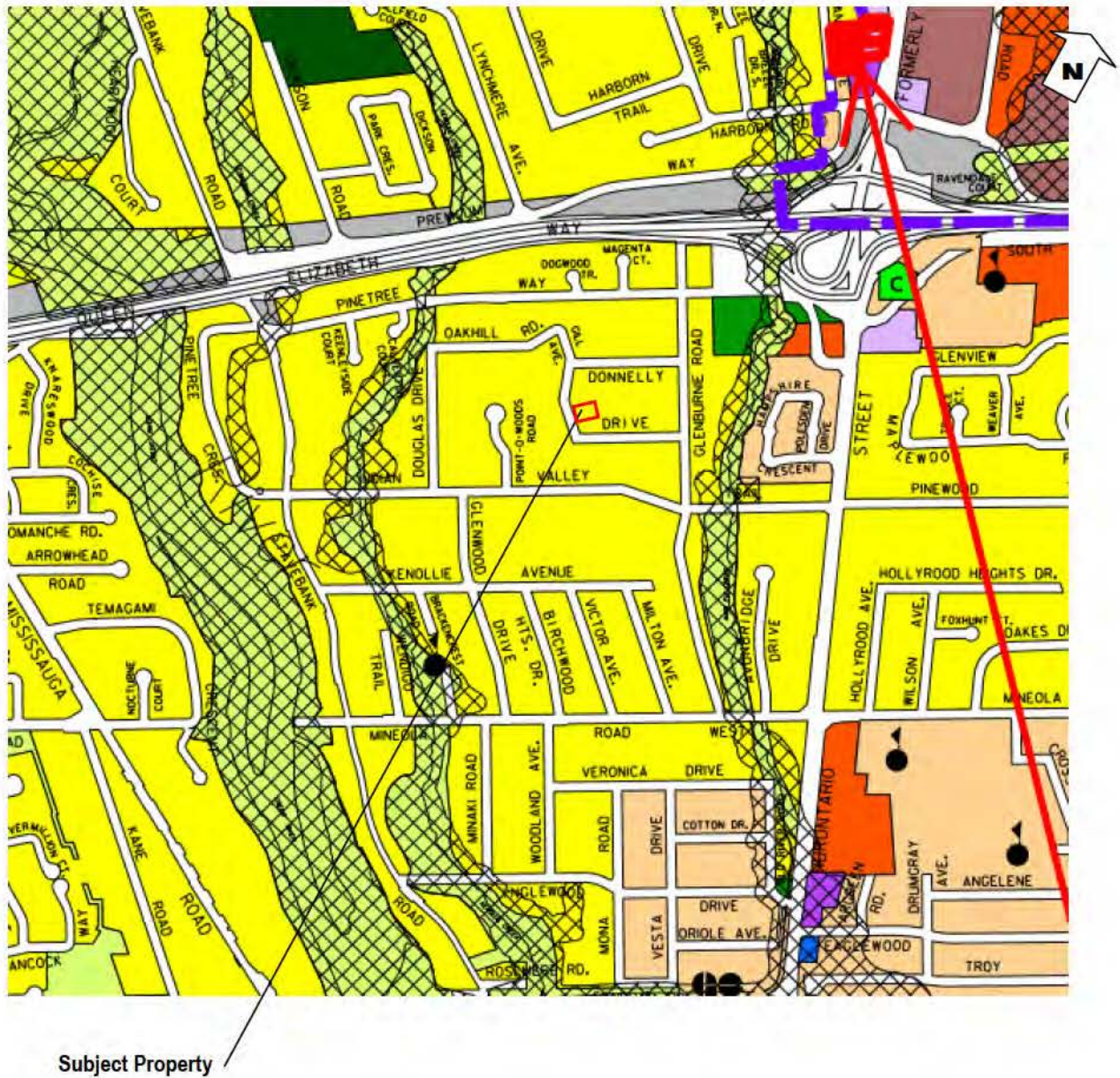
Subject property

The subject property is located on the east side of Donnelly Drive, North of Indian Valley Trail and West of Glenburnie Road.

LEGEND

- 1. 100' RADIUS CIRCLES
- 2. 50' RADIUS CIRCLES
- 3. 25' RADIUS CIRCLES
- 4. 12.5' RADIUS CIRCLES
- 5. 6.25' RADIUS CIRCLES
- 6. 3.125' RADIUS CIRCLES
- 7. 1.5625' RADIUS CIRCLES
- 8. 0.78125' RADIUS CIRCLES
- 9. 0.390625' RADIUS CIRCLES
- 10. 0.1953125' RADIUS CIRCLES
- 11. 0.09765625' RADIUS CIRCLES
- 12. 0.048828125' RADIUS CIRCLES
- 13. 0.0244140625' RADIUS CIRCLES
- 14. 0.01220703125' RADIUS CIRCLES
- 15. 0.006103515625' RADIUS CIRCLES
- 16. 0.0030517578125' RADIUS CIRCLES
- 17. 0.00152587890625' RADIUS CIRCLES
- 18. 0.000762939453125' RADIUS CIRCLES
- 19. 0.0003814697265625' RADIUS CIRCLES
- 20. 0.00019073486328125' RADIUS CIRCLES
- 21. 0.000095367431640625' RADIUS CIRCLES
- 22. 0.0000476837158203125' RADIUS CIRCLES
- 23. 0.00002384185791015625' RADIUS CIRCLES
- 24. 0.000011920928955078125' RADIUS CIRCLES
- 25. 0.0000059604644775390625' RADIUS CIRCLES
- 26. 0.00000298023223876953125' RADIUS CIRCLES
- 27. 0.000001490116119384765625' RADIUS CIRCLES
- 28. 0.0000007450580596923828125' RADIUS CIRCLES
- 29. 0.00000037252902984619140625' RADIUS CIRCLES
- 30. 0.000000186264514923095703125' RADIUS CIRCLES
- 31. 0.0000000931322574615478515625' RADIUS CIRCLES
- 32. 0.00000004656612873077392578125' RADIUS CIRCLES
- 33. 0.000000023283064365386962890625' RADIUS CIRCLES
- 34. 0.0000000116415321826934814453125' RADIUS CIRCLES
- 35. 0.00000000582076609134674072265625' RADIUS CIRCLES
- 36. 0.000000002910383045673370361328125' RADIUS CIRCLES
- 37. 0.0000000014551915228366851806640625' RADIUS CIRCLES
- 38. 0.00000000072759576141834259033203125' RADIUS CIRCLES
- 39. 0.000000000363797880709171295166015625' RADIUS CIRCLES
- 40. 0.0000000001818989403545856475830078125' RADIUS CIRCLES
- 41. 0.00000000009094947017729282379150390625' RADIUS CIRCLES
- 42. 0.000000000045474735088646411895751953125' RADIUS CIRCLES
- 43. 0.0000000000227373675443232059478759765625' RADIUS CIRCLES
- 44. 0.00000000001136868377216160297393798828125' RADIUS CIRCLES
- 45. 0.000000000005684341886080801486968994140625' RADIUS CIRCLES
- 46. 0.0000000000028421709430404007434844970703125' RADIUS CIRCLES
- 47. 0.00000000000142108547152020037174224853515625' RADIUS CIRCLES
- 48. 0.000000000000710542735760100185871124267578125' RADIUS CIRCLES
- 49. 0.0000000000003552713678800500929355621337890625' RADIUS CIRCLES
- 50. 0.00000000000017763568394002504646778106689453125' RADIUS CIRCLES
- 51. 0.000000000000088817841970012523233890533447265625' RADIUS CIRCLES
- 52. 0.0000000000000444089209850062616169452667236328125' RADIUS CIRCLES
- 53. 0.00000000000002220446049250313080847263336181640625' RADIUS CIRCLES
- 54. 0.0000000000000111022302462515654042363166809072265625' RADIUS CIRCLES
- 55. 0.00000000000000555111512312578270211815833405361328125' RADIUS CIRCLES
- 56. 0.000000000000002775557561562891351059079167026806640625' RADIUS CIRCLES
- 57. 0.0000000000000013877787807814456755295395835134033203125' RADIUS CIRCLES
- 58. 0.00000000000000069388939039072283776476979175670166015625' RADIUS CIRCLES
- 59. 0.000000000000000346944695195361418882384895878350830078125' RADIUS CIRCLES
- 60. 0.0000000000000001734723475976807094411924479391754150390625' RADIUS CIRCLES
- 61. 0.00000000000000008673617379884035472059622396958770751953125' RADIUS CIRCLES
- 62. 0.000000000000000043368086899420177360298111984793853759765625' RADIUS CIRCLES
- 63. 0.0000000000000000216840434497100886801490559923969268798828125' RADIUS CIRCLES
- 64. 0.00000000000000001084202172485504434007452799619846343994140625' RADIUS CIRCLES
- 65. 0.00000000000000000542101086242752217003726399809923171970703125' RADIUS CIRCLES
- 66. 0.000000000000000002710505431213761085018631999049615859353515625' RADIUS CIRCLES
- 67. 0.0000000000000000013552527156068805425093159995248079296767578125' RADIUS CIRCLES
- 68. 0.00000000000000000067762635780344027125465799976240396483837890625' RADIUS CIRCLES
- 69. 0.000000000000000000338813178901720135627328999881201982419189453125' RADIUS CIRCLES
- 70. 0.0000000000000000001694065894508600678136644999406009912095947265625' RADIUS CIRCLES
- 71. 0.00000000000000000008470329472543003390683224997030049560479736328125' RADIUS CIRCLES
- 72. 0.000000000000000000042351647362715016953416124985150247802398681640625' RADIUS CIRCLES
- 73. 0.00000000000000000002117582368135750847670806249257512390119934072265625' RADIUS CIRCLES
- 74. 0.000000000000000000010587911840678754238354031246287561950599670361328125' RADIUS CIRCLES
- 75. 0.00000000000000000000529395592033937711917701562314378097529983517578125' RADIUS CIRCLES

4. Mississauga Plan (Official Plan)



The subject property is designated Residential Low Density 1 in the Mineola District Policies of the Mississauga Plan.

The subject property is zoned R2-4 under the City of Mississauga Zoning By-law 225-2007, as amended.

W.E. Oughtred & Associates Inc.

6. Aerial Photos

The aerial photos demonstrate the development of the neighbourhood. The subject property is outlined in red in all of the photos.

Unless identified separately, images are from the City of Mississauga website.

The earliest air photo of this area we could obtain comes from the McMaster University Library .



1954-55 Aerial Photo

Although the image quality is poor and it's not possible to make out a dwelling on the property, we know the home was constructed before 1952 based on the information available on the Fire Insurance Map (i.e., the house is shown on the map).



1960 Aerial Photo - City of Toronto

This image is more legible. Further, the majority of the neighborhood is now developed.



1965 Aerial Photo - City of Toronto

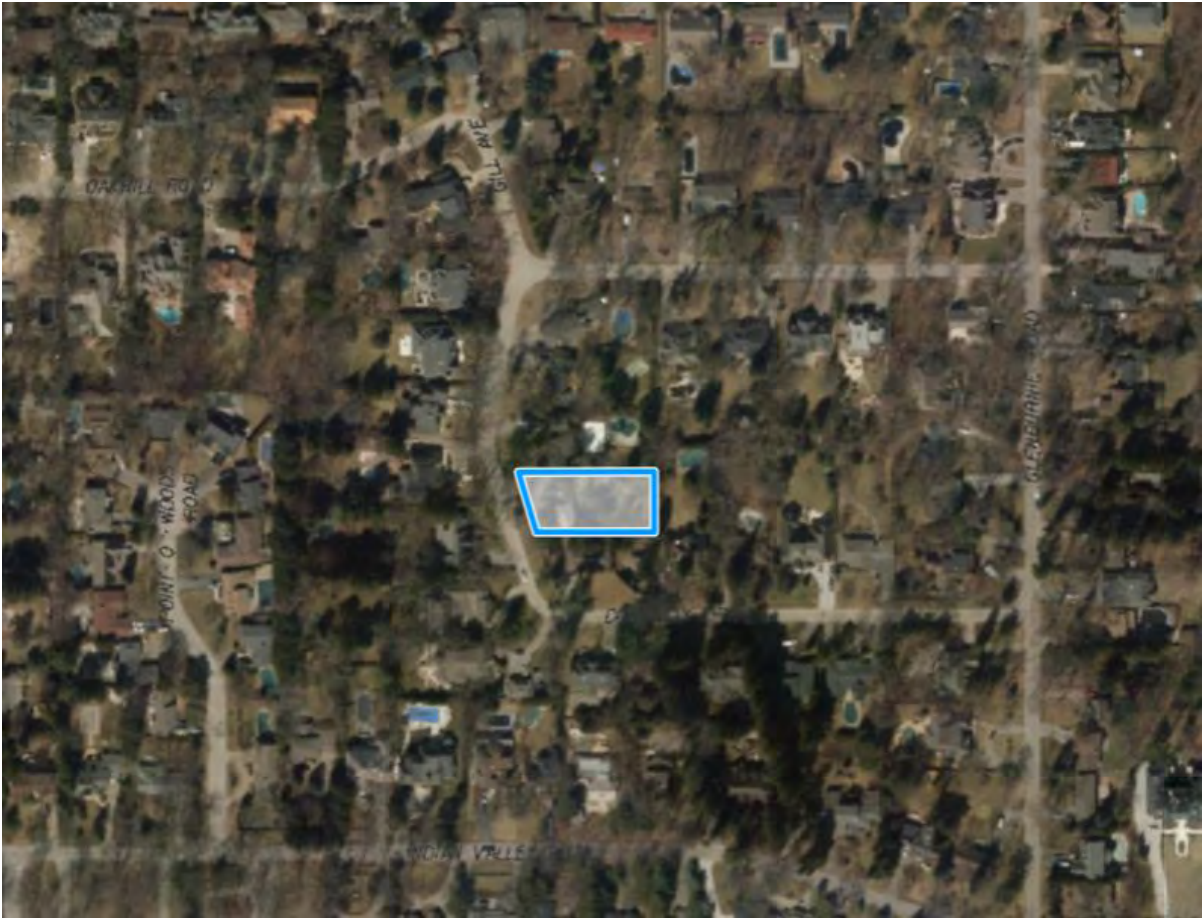
2004 Aerial Photo



City of Mississauga - property outlined in blue.

2004 was the year the aerial photos were in color and the quality and the definition of the photo provided a legible image.

2015 Aerial Photo



City of Mississauga - property outlined in blue.

It is difficult to discern the development of the neighborhood (i.e. the replacement of older homes with new) due to the vegetation coverage in the photo.

We have provided a diagram below indicating the development of the neighborhood.



The diagram above reflects the development of Donnelly Drive. Of the 31 homes on the street, 5 are original, 11 have had additions and the remaining 15 are all new builds constructed since the late 1980's. (i.e. permits were issued for the demolition and construction of a new SFD). Please note that only properties with Donnelly Drive addresses were considered, and not those on Glenburnie Road.

- ★ Original Construction - 5 properties
- ★ Homes with an addition/renovation, 11 properties
- ★ New homes. 15 properties

This demonstrates that the neighborhood has seen significant redevelopment over the past three decades.

7. Significant Cultural Landscape Designation

Mineola was developed before it became standard practice to re-grade topsoil into large piles in the early twentieth century, level every nuance of natural topography and engineer the complete stormwater drainage artificially. In Mineola, a road system was gently imposed on the natural rolling topography of the Iroquois Plain; homes were nestled into slightly larger lots and natural drainage areas were retained. This provided greater opportunity to save existing trees and because the soils and drainage system were minimally impacted, provided fertile ground for the planting of new vegetation, the natural regeneration of native trees and landscaping of the residential landscapes. What has evolved today is a wonderful neighbourhood with a variety of quality housing stock and a rich stimulating landscape that blends the houses with their natural and manicured surroundings. There are no curbs on the roads which softens the transition between street and front yards. The roads wind, rise and fall with the natural topography and houses sit often at odd angles to take advantage of slopes and the location of large trees. A gradual infilling has increased the density over the years and care must be taken to ensure that this does not, in the end, ruin the very quality and character that makes this neighbourhood so appealing and attractive. Of the many neighborhoods in Mississauga, the Mineola neighbourhood stands out as one of the most visually interesting and memorable. As is often the case, when new development is balanced with the protection of the natural environment, a truly livable and sustainable community evolves. Mineola is an excellent example of this type of community.

*City of Mississauga Cultural Landscape Inventory.

8. Property History (Title Chain)

This chain of title search was provided by Steven Nott Convincing.

Part Lot 2, Range 2, CIR

December 24, 1891: The Crown to Sir Melville Parker

May 11, 1907: Parker to May Elizabeth Gordon

January 21, 1910: Gordon to Godfrey M. Donnelly

February 19, 1947: Donnelly to Frederick J. Telgmann

To Plan 344

Part Lots 4 & 5, Range 2, CIR

July 11, 1854: The Crown to James Cotton

November 17, 1865: Frederick Jarvis to Bank of Upper Canada

April 27, 1870: Bank of Upper Canada To Robert Cotton

February 7, 1908: Cotton Estate to Dixie Cotton

October 21, 1908: Cotton Estate to Dixie Cotton

Part Blocks G & J, Plan B-09

June 1, 1915 Dixie C. Cotton to Wm. A. Bowbeer

October 25, 1916: Bowbeer to George W. Bayley

June 30, 1924: George Bayley to Adeline M. Bayley

April 17, 1942: Bayley to Albert Jos. Hurst

July 30, 1942: Hurst to Frederick J. Telgmann

Lot 21, Plan 344

March 21, 1949: Frederick J. Telgmann to John & Alice Cameron

March 23, 1945: Cameron to June E. Omand

November 26, 1998: Omand to Lori Omand and June Omand

July 31, 2013: June Omand Estate to Lori and Todd Omand

July 31, 2013: Omand to Lori Omand

July 23, 2015: Omand to Lori Omand - Estate

September 14, 2016: Omand Estate to Michael Lamanna

November 14, 2016:

9. Peel Historical Atlas 1877



Approximate location of subject property.

10. Existing Site Conditions

The subject property is an interior lot on the east side of Donnelly Drive. The lot is well treed around the perimeter, with the exception of the frontage. Further, the lot is relatively flat; sloping gently from the street towards the house and then sloping gently from the house to the rear of the property. A grade change of approximately one meter occurs from the front to the back.

The house appears to be in original condition with the exception of minor cosmetic changes including window and door replacement and new flooring. It also appears as though the siding has been replaced as well as the garage door. Built-ins remain in the bedrooms, bathroom and upstairs hallway. The kitchen appears to be original as well with the exception of replacement countertop. Fixtures in bathrooms are original. The home has been vacant for the last two years and this is evident by the condition of the home. It is evident that there is a leak in the upstairs bathroom based on the water stains on the kitchen ceiling. It appears that there may be a leak in the roof as well based on stains in on one of the bedroom ceilings.

Although the home seems to be relatively large from the outside, the inside conveys a different picture. The living room is large and spacious as is the dining room. However, both the kitchen and dinette are small and awkwardly designed. The small two-piece bathroom (the second bathroom) is directly off the kitchen. There are three modest sized bedrooms on the second floor and one three-piece bathroom. The home as it was designed, does not meet the needs or lifestyle of today's family.

As with the progression of the neighborhood, this house has reached the end of its life and functionality.

11. Fire Insurance Map

Attached below is the fire insurance map from 1952 north of Indian Valley Trail and east of Glenburnie Road (then known as Forest Road).



Subject property

Enlarged view of Donnelly Drive - property is outlined in red.



Based on the index from the fire insurance map (below), it identifies the house brick construction

[illegible]

Building permit records from the City of Mississauga are shown below. No additions or renovations have been undertaken on the property since records were kept at the City.

Property Details	Zoning Information	Building Permits	Development Applications	Committee of Adjustment	Heritage	Map It
------------------	--------------------	-------------------------	--------------------------	-------------------------	----------	--------

PROPERTY BUILDING PERMITS

[View Another Property](#)

Address: 191 DONNELLY DR
 Legal Description: PLAN 344 L 31
 Roll Number: 21-05-010-018-05300-0000



[Print Friendly Page](#)

Building Permits

2 Permit(s) found Page: 1 of 1

App Number	Address	Scope	Issue Date
App Date	Description	Type Description	Status
HCC 76 240620	191 DONNELLY DR		
1976-08-11	CHRISTENSEN STACK CHANGE PERMIT 1863		HISTORY COMMENT PERMIT
HCC 76 240619	191 DONNELLY DR		
1976-05-21	SAM SCAMURRA SAN PERMIT 1916		HISTORY COMMENT PERMIT

2 Permit(s) found Page: 1 of 1

A). Exterior Photos



Front (Image courtesy of 191donnelly.com)



Rear

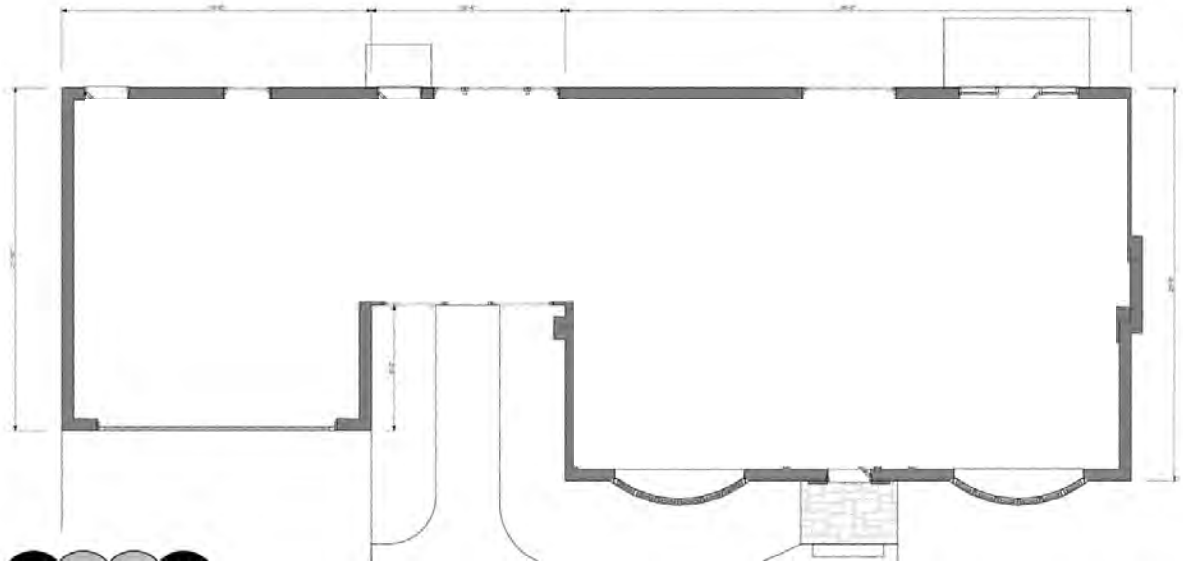


South Elevation

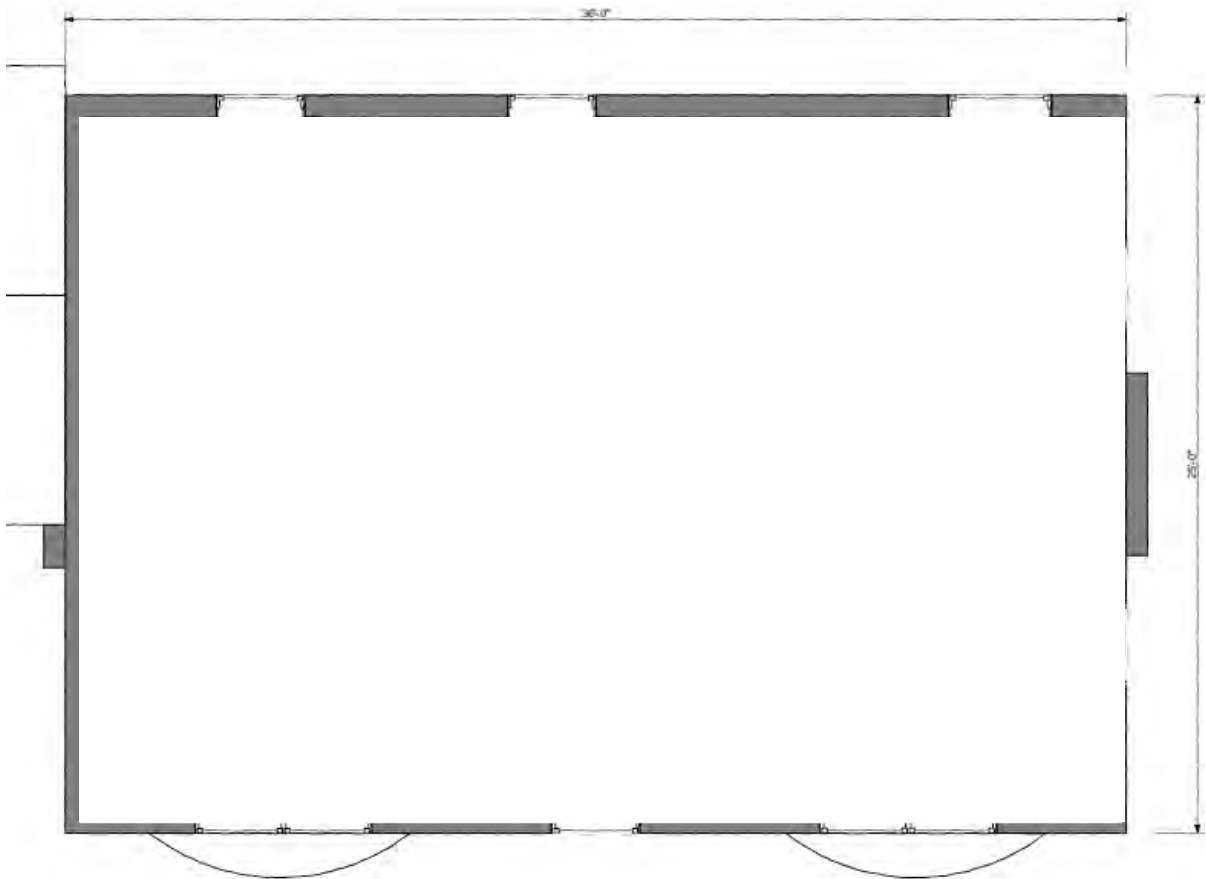


North elevations



B) Floor Plans

Main Floor Plan



Second Floor Plan

C) Interior Photos

Living Room

Living Room fireplace

Kitchen

Kitchen - both pictures looking through to the dining room.

Bedrooms

Master Bedroom

Opposing views of the upper hallway

Main floor bath (above) Second floor bath (below). Fixture and tile are original, flooring has been replaced.

11. Fire Insurance Map

Attached below is the fire insurance map from 1952 north of Indian Valley Trail and east of Glenburnie Road (then known as Forest Road).



Subject property

Enlarged view of Donnelly Drive - property is outlined in red.



Based on the index from the fire insurance map (below), it identifies the house brick construction

[illegible]

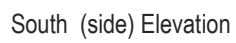
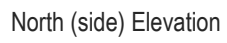
12. Proposed Building



East (rear) Elevation



West (front) Elevation



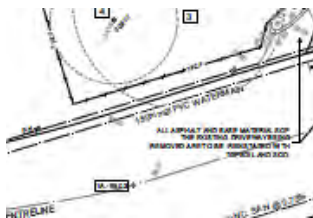
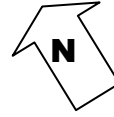


Proposed main floor plan.



Proposed second floor plan.

13. Proposed Site Plan



14. Streetscapes



Existing



Proposed

15. Cultural Heritage Landscape Inventory

The subject property is located within an area of Mississauga known as Mineola that has the following features identified under the "Cultural Landscape Inventory":

Landscape Environment

- Scenic and Visual Quality
- Horticultural Interest
- Landscape Design, Type and technological Interest

Historical Association

- Illustrates style, trend or pattern
- Illustrates important phase in Mississauga's Social or physical development

Built Environment

- Aesthetic/visual quality
- Consistent Scale of built features

Other

- Significant ecological interest

The proposed demolition of the existing house will not have any negative impacts on its status within the cultural landscape.

We offer the following information to expand on each of the areas identified;

Landscape Environment

- Scenic and Visual Quality
 - Properties south of the QEW in the Mineola neighbourhood are very desirable. The neighbourhood is undergoing intense redevelopment, particularly on Donnelly Drive where only 5 of the original 31 homes remain. Older homes that no longer meet the lifestyle demands of today's family are being replaced with larger custom homes. The proposed home is maintaining a generous front yard setback and the mature trees that help define the neighborhood. This home is in keeping with the size and scale of the existing newer homes constructed in the neighbourhood.
- Horticultural Interest
 - The subject property is well treed and as many mature trees as possible will be retained throughout the redevelopment. The arborist report evaluates the twenty-eight (28) trees on site and recommends four (4) for removal as they conflict with the proposed development. The report is attached for reference.
- Landscape Design, Type and technological Interest
 - The Mineola Neighbourhood was developed in a time when natural elements respected the lot pattern and road system. These elements include rolling topography, natural drainage and mature trees. The proposed dwelling will maintain the generous setbacks required by the City of Mississauga Zoning By-law. Further, many of the mature trees within the property are being retained.

Historical Association

- Illustrates style, trend or pattern
 - Based on the date of construction of the existing dwelling, there is no associative value with a social or physical development. The home was likely constructed during 1948/49 by Fred Telgmann (an early property developer or builder as his name has been associated with several in the area - namely the property next door at 169 Donnelly Drive).
- Illustrates important phase in Mississauga's Social or physical development
 - Postwar Ontario; 1945 to the late 1950's; was regarded as a building boom that saw an explosion in suburban development. This is reflected in the registration of Plan 344 by Telgmann and Donnelly which continued the development of Mineola. Some lots were architect designed, but many, as in the case with the immediate area on Donnelly Drive were builder designs. The home at 191 Donnelly cannot be linked to a specific architect or designer.

Built Environment

- Consistent Scale of built features
 - The Mineola Neighbourhood, south of the QEW, is seeing intense redevelopment. The neighbourhood is characterized by older design styles including, mid-century modern, suburban style ranch and side splits. Interspersed amongst the older dwellings are new builds with a mix of architectural styles. These days, new homes outnumber the old. However, site plan guidelines and plan policies are ensuring that the character and appearance of the neighborhood is maintained. The redevelopment of the subject property is consistent with adjacent homes on the street.

Other

- Significant Ecological Interest
 - The existing house does not have significant ecological value. Prior to the division of the lots, the property was owned by Sir Melville Parker, Mary Elizabeth Gordon and the Cotton Family; all large land owners of the time.

16. Conclusions

It is the conclusion of this report that the demolition of the dwelling at 191 Donnelly Drive will not have a negative impact on the character of the neighborhood. As we have indicated before, only 5 of the original homes on Donnelly Drive remain unaltered.

No significant historical or associated values can be made to the existing dwelling. Nor can it be linked to a design or physical value. Further, there is no contextual value. As such, the demolition of the existing dwelling, is supported by the findings of this HIS.

17. Mandatory Recommendation

The subject property does not meet the criteria for heritage designation under Ontario Regulation 9/06 of the Ontario Heritage Act.

Subsection (2) sets out the criteria by which consideration is given in determining whether a property is of cultural heritage value or interest. It is our opinion that the property does not have cultural heritage value or interest as supported by the following points:

1. The property has design value or physical value:
 - The house at 191 Donnelly Drive is not rare or unique. The house was built as two storey, single family residential dwelling and is similar to many houses that were built during this time throughout southern Ontario. This property is included in the Mineola Neighbourhood Cultural Landscape, but the home itself is not listed independently. There are no redeeming qualities that merit designation of this home.
 - The materials used in construction were of no significance. Brick construction was required as part of the Development Agreement for the Indian Valley Park Subdivision. The fire insurance maps do not indicate any materials of significance used in the construction.
 - There was little to no technical or scientific achievement in the construction of the existing house.
2. The property has historical value or associative value.
 - The lot was developed as part of Plan 344, registered in 1947. While the neighborhood has associative value (post war), the lot itself does not.
 - Research did not reveal that any of the owners of the home played a significant role in the growth or development of Mississauga or the Mineola neighborhood
3. The property has contextual value.
 - As per the designation statement of Mineola, it is the neighborhood that has the contextual value. The redevelopment of this property will maintain the natural characteristics of the lot and neighborhood.

The property does not warrant individual designation as per the Provincial Policy Statement definition.

18. About the Author

William Oughtred of W.E. Oughtred & Associates Inc. is a development and land use consultant who has been practicing in the Mississauga and GTA area for over twenty years. Mr. Oughtred has worked in the land use planning field for over 20 years, specializing in the City of Mississauga. He is well versed in both Planning and Building procedures and the City of Mississauga Zoning By-law and The City of Mississauga Official Plan.

William was born, raised and attended school in Mississauga. He is a lifelong resident and has been very active in the Mississauga community through his other interests and pursuits including volunteering on the Spring Creek Cemetery Board.

William specializes in infill type development projects which typically require attendance before the Committee of Adjustment in connection with Applications for Consent or Minor Variance. His twenty years of experience has afforded him the opportunity to see the City evolve and be at the forefront of evolving trends and patterns in land development in Mississauga. William has been involved in the City of Mississauga's challenge in dealing with the pressures created by the infill housing that has occurred in the south part of Mississauga. His experience in shepherding development applications through the approval process and dealing with the community, City staff and the Members of Council provides an insight into the market for redevelopment that has focused its attention on this community.

Heritage Impact Statements have been completed for the following properties located in Mississauga:

- 276 Arrowhead Road
- 1510 Stavebank Road
- 1267 Mississauga Road
- 2701 Mississauga Road
- 123 Kenollie Avenue
- 1168 Mississauga Road
- 4077 Mississauga Road
- 92 Pinetree Way
- 169 Donnelly Drive
- 1532 Adamson Road
- 1445 Glenburnie Road
- 2222 Dolton Drive
- 1405 Glenwood Drive
- 1469 Hurontario Street

19. References

<http://www.ontarioarchitecture.com/>

<http://www.mississauga.ca>

Matthew Wilkinson, Heritage Mississauga

PAMA, Peel Art Gallery, Museum and Archives

City of Toronto, Maps

McMaster University, Maps Library

20. Land Registry Records

21. Arborist Report

CHAIN OF TITLE PIN 13456-0413 (LT) Lot 31 Plan 344 Mississauga 191 Donnelly Drive, Mississauga			
Deed #	Date	Transferor	Transferee
		Part Lot 2 Range 2 C.I.R.	
7753	Dec 24 1891	The Crown	Sir Melville Parker
12681	May 11 1907	Melville Parker Baronet	May Elizabeth Gordon
13784	Jan 31 1910	May E. Gordon	Godfrey M. Donnelly
49434	Feb 19 1947	Maggie S. Donnelly	Frederick J. Telgmann
		(To Plan 344)	
		Part Lots 4 & 5 Range 2 C.I.R.	
Patent	July 11 1854	The Crown	James Cotton
13861	Nov 17 1865	Frederick W. Jarvis	Bank Of Upper Canada
519	April 27 1870	Bank Of Upper Canada	Robert Cotton
12903	Feb 7 1908	Robert Cotton – Estate	Dixie C. Cotton
13193	Oct 21 1908	Robert Cotton – Estate	Dixie C. Cotton
		Part Blocks G & J Plan B-09	
17143	June 1 1915	Dixie C. Cotton	Wm. A. Bowbeer
17829	Oct 25 1916	Wm. A. Bowbeer	George W. Bayley
24913	June 30 1924	George W. Bayley	Adeline M. Bayley
41659	April 17 1942	Adeline M. Bayley	Albert Jos. Hurst
41942	July 30 1942	Albert J. Hurst	Fred J. Telgmann
		Lot 31 Plan 344	
54953	March 21 1949	Frederick J. Telgmann	John F. Cameron Alice D. Cameron
TT54954	March 23 1949	John F. Cameron Alice D. Cameron	June E. Omand
LT1889725	Nov 26 1998	June E. Omand	Lori Omand June Elizabeth Omand
PR2409095	July 31 2013	June Elizabeth Omand - Estate	Lori Omand Todd Omand
PR2409096	July 31	Lori Omand	Lori Omand

	2013	Todd Omand	
PR2752097	July 23 2015	Lori Omand	Lori Omand - Estate
PR2989340	Sept 14 2016	Lori Omand - Estate	Michael Lamanna
PR3027192	Nov 14 2016		
Chain of Title by Name Only .Instruments not reviewed.			
For Summary purposes only. For further details see Abstracts attached.			

LRO # 43 Transfer

Registered as PR3027192 on 2016 11 14 at 12:21

The applicant(s) hereby applies to the Land Registrar.

yyyy mm dd Page 1 of 3

Properties

PIN 13456 - 0413 LT Interest/Estate Fee Simple
Description LT 31, PL 344 ; MISSISSAUGA; CITY OF MISSISSAUGA
Address 191 DONNELLY DRIVE
MISSISSAUGA

Consideration

Consideration

Transferor(s)

The transferor(s) hereby transfers the land to the transferee(s).

Name

Address for Service

Transferee(s)

Capacity

Share

Name RECHICHI, ALESSANDRO
Date of Birth 1973 02 07
Address for Service 191 DONNELLY DRIVE
MISSISSAUGA, ONTARIO

Joint Tenants

Name ESPINOLA, ANITA
Date of Birth 1977 03 11
Address for Service 191 DONNELLY DRIVE
MISSISSAUGA, ONTARIO

Joint Tenants

STATEMENT OF THE TRANSFEROR (S): The transferor(s) verifies that to the best of the transferor's knowledge and belief, this transfer does not contravene the Planning Act.

STATEMENT OF THE SOLICITOR FOR THE TRANSFEROR (S): I have explained the effect of the Planning Act to the transferor(s) and I have made inquiries of the transferor(s) to determine that this transfer does not contravene that Act and based on the information supplied by the transferor(s), to the best of my knowledge and belief, this transfer does not contravene that Act. I am an Ontario solicitor in good standing.

STATEMENT OF THE SOLICITOR FOR THE TRANSFEE (S): I have investigated the title to this land and to abutting land where relevant and I am satisfied that the title records reveal no contravention as set out in the Planning Act, and to the best of my knowledge and belief this transfer does not contravene the Planning Act. I act independently of the solicitor for the transferor(s) and I am an Ontario solicitor in good standing.

Signed By

LRO # 43 **Transfer**

Registered as PR3027192 on 2016 11 14 at 12:21

The applicant(s) hereby applies to the Land Registrar.

yyyy mm dd Page 2 of 3

LAND TRANSFER TAX STATEMENTS

In the matter of the _____ LT 31, PL 344 ; MISSISSAUGA; CITY OF MISSISSAUGA

Joint Tenants

Joint Tenants

1.

I am

- ☐ (a) A person in trust for whom the land conveyed in the above-described conveyance is being conveyed;
- ☐ (b) A trustee named in the above-described conveyance to whom the land is being conveyed;
- ☒ (c) A transferee named in the above-described conveyance;
- ☐ (d) The authorized agent or solicitor acting in this transaction for _____ described in paragraph(s) () above.
- ☐ (e) The President, Vice-President, Manager, Secretary, Director, or Treasurer authorized to act for _____ described in paragraph(s) () above.
- ☐ (f) A transferee described in paragraph() and am making these statements on my own behalf and on behalf of _____ who is my spouse described in paragraph() and as such, I have personal knowledge of the facts herein deposed to.

2. I have read and considered the definition of "single family residence" set out in subsection 1(1) of the Act. The land being conveyed herein:

contains at least one and not more than two single family residences.

3. The total consideration for this transaction is allocated as follows:

(a) Monies paid or to be paid in cash	1,800,000.00
(b) Mortgages (i) assumed (show principal and interest to be credited against purchase price)	0.00
(ii) Given Back to Vendor	0.00
(c) Property transferred in exchange (detail below)	0.00
(d) Fair market value of the land(s)	0.00
(e) Liens, legacies, annuities and maintenance charges to which transfer is subject	0.00
(f) Other valuable consideration subject to land transfer tax (detail below)	0.00
(g) Value of land, building, fixtures and goodwill subject to land transfer tax (total of (a) to (f))	1,800,000.00
(h) VALUE OF ALL CHATTELS - items of tangible personal property	0.00
(i) Other considerations for transaction not included in (g) or (h) above	0.00
(j) Total consideration	1,800,000.00

PROPERTY Information Record

A. Nature of Instrument: Transfer
LRO 43 Registration No. PR3027192 Date: 2016/11/14

B. Property(s): PIN 13456 - 0413 Address 191 DONNELLY DRIVE Assessment 2105010 - 01805300
MISSISSAUGA Roll No

C. Address for Service: 191 DONNELLY DRIVE
MISSISSAUGA, ONTARIO

D. (i) Last Conveyance(s): PIN 13456 - 0413 Registration No. PR2989340
(ii) Legal Description for Property Conveyed: Same as in last conveyance? Yes ☒ No ☐ Not known ☐

E. Tax Statements Prepared By: Samantha Denise Mac Kinnon
31-3455 Harvester Road
Burlington L7N 3P2

No. of Instrument	Instrument	Its Date	Date of Registration	GRANTOR	GRANTEE	Consideration or Amount of Mortgage	REMARKS
340	B.&S.	15May1869	6 Sep1869	Bank of Upper Canada	John Crickmore	\$7000.00	All and O.L.
351	B.&S.	12Jul1869	20Sep1869	John Crickmore et ux	Wm. B. Hunter	25000.00	All and O.L.
352	B.&S.	20Jul1869	20Sep1869	Wm. B. Hunter et ux	Peel General Mfg. Co.	14000 shares.	All and O.L.
1996	B.&S.	1 Sep1876	23Sep1876	Peel General Mfg. Co.	S. S. Lee	20000.00	Part and O.L. E.H.S.
2158	B.&S.	28Nov1876	4 Apr1877	S. S. Lee et al	Canada Life Assce. Co.	5.00&C.	Part and O.L. E.H.S.
5498	B.&S.	19Nov1885	21Dec1885	Isaac Middleton et al	John Forder Jr.	10930.00	All and O.L. 182.20 E.H.S.
5499	B.&S.	19Nov1885	21Dec1885	John Forder Jr.	Isaac Middleton et al	9932.00	All and O.L. E.H.S.
5677	Release	25Mar1886	14May1886	Canada Life Assce. Co. et al	Peel General Mfg. Co.	6000.00	Part and O.L. E.H.S.
5841	B.&S.	2 Apr1885	4 Nov1886	The Crown	Wm. J. McKay et al	1232.00	Part and O.L. E.H.S.
6976	B.&S.	31Oct1889	9 Nov1889	John Forder Jr. et al	Henry H. Shaver	11304.30	Part and O.L. E.H.S.
7169	B.&S.	17Dec1889	1 May1890	H. Herbert Shaver et ux	Miles W. Cook	4500.00	Part and O.L. E.H.S.
7753	Patent	5 Nov1891	24Dec1891	The Crown	Sir Melville Parker	1160.00	N. part 72½ ac. W.H.S.-?
1	Mort. Recpt.	10Apr1893	8Sep1893	W. J. McKay Extr. J. W. Cotton	Miles W. Cook	3012.80	leaving 4132.00 Part&O.L. E.H.S.
8267	Mort. of a Mortgage Not Recorded in Full	15Sep1893	4 Oct1893	W. J. McKay Extr.	Humphrey E. Buchan et al Trustees	3000.00	security. Part&O.L. E.H.S.
9135	B.&S.	30Apr1896	20May1896	Wm. J. McKay sole sur. Extr. J. W. Cotton Est.	The Trusts Corp. of Ontario	1.00	Part (except parts sold) & O.L. E.H.S.
9141	Cert. V.O.	21May1896	22May1896	Humphrey E. Buchan et al Trustees under will of Hon. Wm. McMaster (P)	Toronto General Trusts Co. et al (H)		27.15 ac. Part and O.L. Vested in George Johnson and 27.4 ac. Part and O.L. Vested in William Naish. E.H.S.
9890	B.&S.	24Mar1889	27Mar1889	George Johnson (widower)	John Davis	600.00	Part and O.L. E.H.S.
9892	B.&S.	24Mar1899	27Mar1899	George Johnson (widower)	Charles Wm. Noble	1020.00	Part and O.L. E.H.S.

TO BOOK "C"

Lot No.

Lot 2

Second Range

Concession

Credit Indian Reserve

S. R. Hart & Co. Limited 23553

NO. OF INSTRUMENT	INSTRUMENT	ITS DATE	DATE OF REGISTRATION	GRANTOR	GRANTEE	QUANTITY OF LAND	Consideration or Amount of Mortgage	REMARKS
11051	Grant	3Mar1905	16Mar1905	Toronto General Trust Corporation Trustees of James W. Cotton	Cyril Ernest Cotton	88 pt & 0.1. Portions sold off.	1.40	save & exc E.
11930	Grant	26Apr1905	2Apr1905	Charles Wm. Noble et ux	Henry Davis	pt & 0.1. by metes & Bounds.	\$600.00 mtg	\$1400.00 E.H.
12581	ProWill	6Apr1907	11May1907	Melville Parker Baronet	May Elizabeth Gordon	pt & 0.1. pt		W.H.S. & E.A.
12705	Grant	17May1907	6Jun1907	May Elizabeth Gordon	widow Robert B. Eaton	pt 10	1500.00	pt & 0.1.
12706	M.	20May1907	6Jun1907	Robert B. Eaton et ux	Anna L. McClelland wife of George McClelland	pt 10	1600.00	pt & 0.1.
12780	Grant	31Aug1907	13Sep1907	May Elizabeth Gordon widow in her individual Capacity & As Executrix of the will of Melville Parker	Samuel Pickering	pt 4.1/5		pt & 0.1.
12969	Grant	1Apr1908	2Apr1908	May Elizabeth Gordon	widow Charles W. Gunnerson	4.4/5	1500.00	pt & 0.1.
13152	Grant	16Sep1908	18Sep1908	May E. Gordon widow	John Davis & Martha Ann Davis	4	600.00	pt & 0.1.
13206	Pt.D.M.	17Oct1908	7Nov1908	Anna L. McClelland	Robert B. Eaton			1. dischg. pt lands
13207	Grant	9Oct1908	7Nov1908	Robert B. Eaton et ux	Oscar M. Hudson	4.35/100	\$2000.00	assumption pt & 0.1.
13242	Grant	1Dec1908	2Dec1908	Mary E. Gordon	Thomas A. Martin	59/100	688.00	pt & 0.1.
13243	M.	1Dec1908	2Dec1908	Thomas A. Martin et ux	Mae E. Gordon	59/100	684.00	pt & 0.1.
13244	M.	4Mar1909	12Mar1909	Thomas A. Martin et ux	Robt. E. Murray	W.H.S.	800.00	pt & 0.1.
13485	Grant	10May1909	26May1909	Robert Barrie Eaton et ux	Luzinda Gunnerson	5.2/3	1275.00	pt & 0.1.
13519	Agreet	19 Aug1909	26Sep1909	Godfrey M. Donnelly	May E. Gordon	15.34/100	2300.00	pt
13590	Grant	1Nov1909	8Nov1909	May E. Gordon	Andrew Robertson	pt 10	1750.00	pt
13595	Grant	30Oct1909	10Nov1909	Mary Ann Naish widow exrs of Will of Wm. J. Naish	Grace E.H. deBeaucharnois	27.4/100.3950.00		pt & 0.1.
F'09	Plan	26Nov1909	21Dec1909	May E. Gordon	pt lot 2			
13784	Grant	9Sep1909	31Jan1910	May E. Gordon	Godfrey M. Donnelly	pt 15.54/100	2230.00	pt
13796	Grant	4Feb1910	9Feb1910	Henry Davis et ux	Wm. H. Moore	pt & 0.1.	5500.00	1600.00 Gen Mortgage.
14082	Grant	15Jul1910	30Jul1910	Charles M. Gunnerson	Wilford A. Gunnerson	pt 4.4/5	720.00	pt W.H.
14097	M.	15Jul1910	25/4/10					
14117	Grant	23Jul1910	27Aug1910	Grace E.H. Beaucharnois widow	Edward A. Hobbeslin	pt	6750.00	pt & 0.1.
14162	Grant	26Aug1910	14Oct1910	Wm. H. Moore et ux	Fred. J. Watson	pt	1.	pt lots 1&2.
14290	Grant	17Feb1911	27Feb1911	Fred. J. Watson et ux	Charles Edwards	pt & 0.1.	1.	exchange of
14445	M.	18Mar1911	19Apr1911	Henry Davis	Albert Goss & Arthur F. Forster	pt	1000.00	pt & 0.1.
14592	Grant	5Jun1911	14Aug1911	Charles Edwards et ux	Fred. J. Cummings	pt & 0.1.	1.	undivided & exchange of other lands subject \$4250.00
14517	Grant	23Aug1911	16Sep1911	Charles Edwards	Emma Edwards	pt & 0.1.	1.	exchange of
14702	Grant	23Oct1911	23Oct1911	Emma Edwards married Fred. J. Cummings et ux	Wellington B. Mitchell	pt	5500.00	pt & 0.1.
14861	Grant	17Jan1912	18Mar1912	The Crown	James Jennings	pt 25	425.00	southerly pt

continued on next page.

from Page 545		Lot No.	Lot 2	Range 2	Concession	Credit Indian Reserve.		
NO. OF INSTRUMENT	INSTRUMENT	ISS DATE	DATE OF REGISTRATION	GRANTOR	GRANTEE	QUANTITY OF LAND	Consideration or Amount of Mortgage	REMARK
14863	Grant	18Mar1912	19Mar1912	James Jennings et ux	Edward Burns	pt 25	11000.00	slv pt. 6
14886	Grant	11Mar1912	26Apr1912	Thomas A. Martin et ux	David E. Hughes	pt	4000.00	pt & C.L.
14946	Offer	19Apr1912	29Apr1912	Oscar M. Hudson	Layton J. Sheather	pt 4.33/100	4800.00	pt & C.L.
14971	Agreet	10May1912	14May1912	Chas. M. Gummerson et ux	Wm. H. Cunningham	pt	425.00	pt & C.L.
15057	Grant	27Jun1912	27Jul1912	Lucinda Gummerson married	George Bell	pt 2	1200.00	pt W.H.
15172	Grant	30Sep1912	20Oct1912	Milford A. Gummerson	Charles W. Gummerson	4.4/5	1.	to correct descript
15173	Grant	30Sep1912	2 Oct1912	Chas. M. Gummerson et ux	Milford A. Gummerson	pt & C.L.	1.	lands intended in instrumen
15176	M.	30Sep1912	20Oct1912	Wellington B. Gummerson et ux	Milford A. Gummerson	pt & C.L.	175.00	pt
15176	Grant	30Sep1912	2 Oct1912	Milford A. Gummerson	Wellington B. Gummerson	pt & C.L.	1.	to correct erro
15284	M.	10Nov1912	27Nov1912	Wm. R. Wadsworth et ux	John Davis	pt	5400.00	pt & C.L.
15285	Grant	9Nov1912	27Nov1912	John Davis unmarried	Wm. R. Wadsworth	pt	1000.00	& Mtg back fo
15285	M.D.	22Aug1912	20Aug1912	Vipond & Ramsey	Wm. R. Wadsworth	pt & C.L.	459.92	pt & C.L. 2
15940	Grant	15May1913	22Sep1913	Wellington B. Gummerson	Winnifred E. Gummerson	pt & C.L.	1.	pt & C.L.
16271	Grant	20Dec1913	30Jan1914	Andrew Robertson et ux	Wm. A. Bowbeer	pt 10	5000.00	pt except pt.
16618	Grant	25Mar1914	22Jul1914	Lucinda Gummerson	Aaron Gummerson	pt 1	1.	pt W.H.S.
16619	Grant	25Mar1914	22Jul1914	Lucinda Gummerson	Aaron Gummerson	pt 2.2/3	1.	pt W.H.S.
16676	A.M.	25Mar1914	18Sep1914	Lucinda Gummerson	Aaron Gummerson	pt 2	1.	assigning & 27th 1912
17040	Grant	9Apr1915	21Apr1915	Andrew Robertson et ux	Marie S. Magill	pts	3300.00	pt W.H.S.
17382	Grant	4 Oct1915	19Nov1915	Wm. A. Bowbeer et ux	Elizabeth Mathews	pt 10	1.etc	pt W.H.S.
17777	Grant	6Sep1916	6Sep1916	Wellington B. Gummerson et ux	Ben F.R. Goldthorpe		1.etc	pt & C.L. 4
17783	D.M.	11Sep1916	12Sep1916	George McDielland	W.B. Gummerson			Dischg. 15174
18224	M.	25Aug1917	7Sep1917	John M. Vale et ux	Sammel Pickering	3ac	2600.00	pt & C.L.
18255	Grant	25Aug1917	7Sep1917	Sammel Pickering et ux	John M. Vale et ux	3	1.etc	pt & C.L.
18406	Grant	18Jun1918	6Feb1918	Elizabeth Mathews	George F. Burton		1.	10 acres les
18650	Grant	10Jul1918	26Aug1918	Milford A. Gummerson et ux	Wm. H. Cunningham		2500.00	pt & C.L. W.
18661	M.	11Jul1918	26Aug1918	Wm. H. Cunningham et ux	Adam L. Braschill		1500.00	pt & C.L.
18815	M.	12Feb1919	10Feb1919	Fred. Adams et ux	Aaron Gummerson		550.00	pt W.H.S.
18816	Grant	6Feb1919	12Feb1919	Aaron Gummerson et ux	Fred. Adams	2.2/3	1500.00	pt W.H.S.
19046	Q.C.	6Feb1914	10Jun1919	Burgoyne Gordon et ux	Arthur L. Gordon		1.	pt as shown
19047	Q.C.	6Feb1914	10Jun1919	Ottillie Rubidge	Arthur L. Gordon		1.	" "
19050	Q.C.	6Feb1914	10Jun1919	Beaumont Gordon et ux	Arthur L. Gordon		1.	" "
19050	Grant	25May1919	18Jun1919	George F. Burton et ux	Wm. A. Bowbeer	5ac	4500.00	pt
19061	M.	25May1919	18Jun1919	Wm. A. Bowbeer et ux	George F. Burton	5ac	2315.00	pt
19119	Agreet	12Apr1919	29Jul1919	Oscar M. Hudson	Eileen Galbraith	4.33/100		Assign 14946
19124	Grant	23Jul1919	2Aug1919	Sammel Pickering et ux	Frank Gerhardt		1.	pt & C.L.
19125	M.	23Jul1919	2Aug1919	Frank Gerhardt et ux	Sammel Pickering		5000.00	pt & C.L.
19263	M.	25Sep1919	27Sep1919	Wilson B. Markie et ux	Wellington B. Mitchell		9700.00	pt & C.L.
19264	Grant	24Sep1919	27Sep1919	Wellington B. Mitchell et ux	Wilson B. Markie		10700.00	pt & C.L.
19265	Grant	25Sep1919	27Sep1919	Wilson B. Markie et ux	George D. Craickshank		12500.00	pt & C.L.
19281	Grant	13 Aug1919	4Oct1919	David E. Hughes et ux	Spencer Aikwater	1.27862/100	2100.00	pt & C.L.
19297	Grant	29Sep1919	20Oct1919	Milford A. Gummerson et ux	Alfred E. Thompson	2	6000.00	pt & C.L.

continued on next page

from page 546 Lot No. 2

Second Range

Concession

Credit Indian Reserve.

No. of Instrument	Instrument	Its Date	Date of Registration	GRANTOR	GRANTEE	QUANTITY OF LAND	Consideration or Amount of Mortgage	REMARKS
19309	M.	30Sep1919	11Oct1919	Philip W. Greene et ux	Wm. A. Bowbeer	5	3085.00	pt. W.H.S.
19310	Grant	30Aug1919	11Oct1919	George F. Burton et al.	Philip W. Greene	5	1.	pt. W.H.S.
19397	Grant	20Oct1919	7Nov1919	Arthur L. Gordon et ux.	Dixie C. Cotton	64/100	325.00	pt. W.H.S.
19438	Grant	1 Oct1919	20Nov1919	Charles M. Gummerson et ux	Wm. W. Ward	2	3000.00	pt. & O.L.
19463	M.	26Nov1919	26Nov1919	Spencer De Wynter et ux	Canada Permanent Mortgage Corporation		3500.00	pt. & O.L.
19464	M.	18 Feb 1920	27 Feb 1920	Wm. A. Bowbeer	Wm. A. Bowbeer			disch.
19477	Q.U.	29Mar1920	14Apr1920	Charles M. Gummerson et ux	Wm. W. Ward	pt. & O.L.	1.	pt. & O.L. in number 194
19718	M.	30Mar1920	14Apr1920	Wm. W. Ward et ux	Samuel Rogers	pt. & O.L.	5500.00	pt. & O.L.
19743	Grant	15Oct1919	8Apr1920	Spencer De Wynter et ux	Richard H. Miller		620.00	pt. & O.L.
20017	Grant	11Mar1920	19Jun1920	Aaron Gummerson et ux	George Bell	1.	600.00	pt. W.H.
20035	Grant	12May1920	22Jun1920	Fred. Adams et ux	Wm. A. Bowbeer	2.2/3	4000.00	pt. W.H.
20056	M.	10Jun1920	22 Jun1920	Wm. A. Bowbeer et ux	Fred. Adams	"	3500.00	pt. W.H.
20083	Grant	11Mar1920	13Jul1920	Aaron Gummerson et ux	George Bell	pt 1	600.00	pt. W.H.
20097	M.	15Jul1920	17Jul1920	Wm. W. Ward et ux	Wm. C. Ward	2	3000.00	pt. & O.L.
20206	Grant	25Sep1920	7Oct1920	Philip W. Greene et ux	Robert M. Dunlop	5	1.	pt. W.H.S.
20426	Grant	23Oct1920	11Nov1920	Wm. A. Bowbeer et ux	Albert E. Woods	2.2/3	400.00	giving sec for \$300.00 & assumption of Mort
20437	M.	23Oct1920	11Nov1920	Albert E. Woods et ux	Wm. A. Bowbeer	2.2/3	3300.00	pt.
20438	Grant	26Oct1920	13Nov1920	George F. Burton et ux	Wm. A. Bowbeer	5	2. etc	pt.
20464	M.	26Oct1920	13Nov1920	Wm. A. Bowbeer et ux	George F. Burton	5	1200.00	pt. NOV 23
20486	A.M.	26Oct1920	13Nov1920	Wm. A. Bowbeer	George F. Burton	5	3085.00	assig 1920
20520	Plan	15Oct1920	16Nov1920	Edward Burns	Subdivision of part of said ld.	2.		W.H.S.
20755	Grant	13Feb1921	16Mar1921	Robert M. Dunlop et ux	Wm. A. Bowbeer		1.	pt. W.H.S.
20761	Grant	15Mar1921	16Mar1921	Robert M. Dunlop et ux	Norman Patchett	5	2600.00 etc	pt. W.H.
20709	A.M.	1Apr1921	7Apr1921	Samuel Rogers	Gertrude Rogers		1.	pt. & O.L.
20894	A.M.	24Mar1921	25May1921	George F. Burton	Wm. A. Bowbeer			disch. pt. 10
20935	A.M.	24Mar1921	25May1921	George F. Burton	Philip W. Greene			pt. disch. 1
20822	Grant	7Aug1916	9May1921	Oscar M. Hudson	Georgina E.M. Sheather et ux		1200.00 4.33/100	pt. & O.L.
20976	Grant	14May1921	27May1921	Charles M. Gummerson et ux	Josephine M. Gardiner	4.4/5	8500.00	pt. & O.L.
21040	S.M.	24Jun1921	17Jul1921	Aaron Gummerson	Fred. Adams			disch. 1001
21062	Grant	10Jun1921	28Jun1921	Albert E. Woods et ux	Ida H. Brasier	2.2/3	4500.00	pt. W.H.
21125	Grant	25Jul1921	9Aug1921	George Bell et ux	John F. Burrows	1. & 2	2150.00	pts. W.
21268	M.	5Sep1921	29Sep1921	Wellington B. Mitchell	Willam B. Mayle	5.55/100	1000.00	disch. pt.
21259	Grant	28Sep1921	29Sep1921	George C. Cruickshank et ux	Wm. W. Stallworthy	" "	5500.00	pt. & O.L.
21260	M.	28Sep1921	29Sep1921	Wm. W. Stallworthy et ux	Geo. C. Cruickshank	" "	4500.00	pt. & O.L.
21261	M.	28Sep1921	29Sep1921	Geo. C. Cruickshank	Wellington B. Mitchell	" "	1.	pt. & O.L.
21223	M.	24Sep1921	26Oct1921	Wellington B. Mitchell	Willam B. Mayle	5.46/100	1000.00	disch. pt.
21264	Grant	20Sep1921	24Oct1921	Geo. C. Cruickshank et ux	William M. Gemmel	" "	4200.00	pt. & O.L.
21265	M.	10Oct1921	24Oct1921	William M. Gemmel et ux	Geo. C. Cruickshank	" "	2700.00	pt. & O.L.
21266	M.	12Oct1921	24Oct1921	Geo. C. Cruickshank	Wellington B. Mitchell	" "	1.	pt. & O.L.
21267	Grant	10Oct1921	24Oct1921	Geo. C. Cruickshank et ux	Jesse A. Burns	5.65/100	1.	pt. & O.L.

continued on next page.

SHEET NO. 1
LOT NO. 2
CON. NO.
RANGE NO. 2 C.L.B.

TOWNSHIP OF TORONTO

SHEET NO. 1
LOT NO. 2
CON. NO.
RANGE NO. 2 C.L.B.

NO. 1
NO. 2
NO. 3
NO. 4
NO. 5
NO. 6
NO. 7
NO. 8
NO. 9
NO. 10
NO. 11
NO. 12
NO. 13
NO. 14
NO. 15
NO. 16
NO. 17
NO. 18
NO. 19
NO. 20
NO. 21
NO. 22
NO. 23
NO. 24
NO. 25
NO. 26
NO. 27
NO. 28
NO. 29
NO. 30
NO. 31
NO. 32
NO. 33
NO. 34
NO. 35
NO. 36
NO. 37
NO. 38
NO. 39
NO. 40
NO. 41
NO. 42
NO. 43
NO. 44
NO. 45
NO. 46
NO. 47
NO. 48
NO. 49
NO. 50
NO. 51
NO. 52
NO. 53
NO. 54
NO. 55
NO. 56
NO. 57
NO. 58
NO. 59
NO. 60
NO. 61
NO. 62
NO. 63
NO. 64
NO. 65
NO. 66
NO. 67
NO. 68
NO. 69
NO. 70
NO. 71
NO. 72
NO. 73
NO. 74
NO. 75
NO. 76
NO. 77
NO. 78
NO. 79
NO. 80
NO. 81
NO. 82
NO. 83
NO. 84
NO. 85
NO. 86
NO. 87
NO. 88
NO. 89
NO. 90
NO. 91
NO. 92
NO. 93
NO. 94
NO. 95
NO. 96
NO. 97
NO. 98
NO. 99
NO. 100

NUMBER	INSTRUMENT	DATE OF INSTRUMENT	DATE OF REGISTRATION	GRANTOR	GRANTEE	AREA	CONSIDERATION	REMARKS
--------	------------	--------------------	----------------------	---------	---------	------	---------------	---------

24483	Grant	11/21/1932	11/21/1932	Wm. H. Ashbold et al.	Wm. H. Ashbold	1.00	2.75	Part of Lot 1, Plan 1/1/1932
-------	-------	------------	------------	-----------------------	----------------	------	------	------------------------------

24946	Grant	10/21/1932	10/21/1932	Wm. H. Ashbold et al.	Wm. H. Ashbold	1.00	2.75	Part of Lot 1, Plan 1/1/1932
-------	-------	------------	------------	-----------------------	----------------	------	------	------------------------------

24994	Grant	10/21/1932	10/21/1932	Wm. H. Ashbold et al.	Wm. H. Ashbold	1.00	2.75	Part of Lot 1, Plan 1/1/1932
-------	-------	------------	------------	-----------------------	----------------	------	------	------------------------------

25010	Grant	10/21/1932	10/21/1932	Wm. H. Ashbold et al.	Wm. H. Ashbold	1.00	2.75	Part of Lot 1, Plan 1/1/1932
-------	-------	------------	------------	-----------------------	----------------	------	------	------------------------------

25106	Grant	10/21/1932	10/21/1932	Wm. H. Ashbold et al.	Wm. H. Ashbold	1.00	2.75	Part of Lot 1, Plan 1/1/1932
-------	-------	------------	------------	-----------------------	----------------	------	------	------------------------------

25107	Grant	10/21/1932	10/21/1932	Wm. H. Ashbold et al.	Wm. H. Ashbold	1.00	2.75	Part of Lot 1, Plan 1/1/1932
-------	-------	------------	------------	-----------------------	----------------	------	------	------------------------------

25108	Grant	10/21/1932	10/21/1932	Wm. H. Ashbold et al.	Wm. H. Ashbold	1.00	2.75	Part of Lot 1, Plan 1/1/1932
-------	-------	------------	------------	-----------------------	----------------	------	------	------------------------------

25109	Grant	10/21/1932	10/21/1932	Wm. H. Ashbold et al.	Wm. H. Ashbold	1.00	2.75	Part of Lot 1, Plan 1/1/1932
-------	-------	------------	------------	-----------------------	----------------	------	------	------------------------------

25110	Grant	10/21/1932	10/21/1932	Wm. H. Ashbold et al.	Wm. H. Ashbold	1.00	2.75	Part of Lot 1, Plan 1/1/1932
-------	-------	------------	------------	-----------------------	----------------	------	------	------------------------------

25111	Grant	10/21/1932	10/21/1932	Wm. H. Ashbold et al.	Wm. H. Ashbold	1.00	2.75	Part of Lot 1, Plan 1/1/1932
-------	-------	------------	------------	-----------------------	----------------	------	------	------------------------------

25112	Grant	10/21/1932	10/21/1932	Wm. H. Ashbold et al.	Wm. H. Ashbold	1.00	2.75	Part of Lot 1, Plan 1/1/1932
-------	-------	------------	------------	-----------------------	----------------	------	------	------------------------------

25113	Grant	10/21/1932	10/21/1932	Wm. H. Ashbold et al.	Wm. H. Ashbold	1.00	2.75	Part of Lot 1, Plan 1/1/1932
-------	-------	------------	------------	-----------------------	----------------	------	------	------------------------------

25114	Grant	10/21/1932	10/21/1932	Wm. H. Ashbold et al.	Wm. H. Ashbold	1.00	2.75	Part of Lot 1, Plan 1/1/1932
-------	-------	------------	------------	-----------------------	----------------	------	------	------------------------------

25115	Grant	10/21/1932	10/21/1932	Wm. H. Ashbold et al.	Wm. H. Ashbold	1.00	2.75	Part of Lot 1, Plan 1/1/1932
-------	-------	------------	------------	-----------------------	----------------	------	------	------------------------------

25116	Grant	10/21/1932	10/21/1932	Wm. H. Ashbold et al.	Wm. H. Ashbold	1.00	2.75	Part of Lot 1, Plan 1/1/1932
-------	-------	------------	------------	-----------------------	----------------	------	------	------------------------------

25117	Grant	10/21/1932	10/21/1932	Wm. H. Ashbold et al.	Wm. H. Ashbold	1.00	2.75	Part of Lot 1, Plan 1/1/1932
-------	-------	------------	------------	-----------------------	----------------	------	------	------------------------------

25118	Grant	10/21/1932	10/21/1932	Wm. H. Ashbold et al.	Wm. H. Ashbold	1.00	2.75	Part of Lot 1, Plan 1/1/1932
-------	-------	------------	------------	-----------------------	----------------	------	------	------------------------------

25119	Grant	10/21/1932	10/21/1932	Wm. H. Ashbold et al.	Wm. H. Ashbold	1.00	2.75	Part of Lot 1, Plan 1/1/1932
-------	-------	------------	------------	-----------------------	----------------	------	------	------------------------------

25120	Grant	10/21/1932	10/21/1932	Wm. H. Ashbold et al.	Wm. H. Ashbold	1.00	2.75	Part of Lot 1, Plan 1/1/1932
-------	-------	------------	------------	-----------------------	----------------	------	------	------------------------------

25121	Grant	10/21/1932	10/21/1932	Wm. H. Ashbold et al.	Wm. H. Ashbold	1.00	2.75	Part of Lot 1, Plan 1/1/1932
-------	-------	------------	------------	-----------------------	----------------	------	------	------------------------------

25122	Grant	10/21/1932	10/21/1932	Wm. H. Ashbold et al.	Wm. H. Ashbold	1.00	2.75	Part of Lot 1, Plan 1/1/1932
-------	-------	------------	------------	-----------------------	----------------	------	------	------------------------------

25123	Grant	10/21/1932	10/21/1932	Wm. H. Ashbold et al.	Wm. H. Ashbold	1.00	2.75	Part of Lot 1, Plan 1/1/1932
-------	-------	------------	------------	-----------------------	----------------	------	------	------------------------------

25124	Grant	10/21/1932	10/21/1932	Wm. H. Ashbold et al.	Wm. H. Ashbold	1.00	2.75	Part of Lot 1, Plan 1/1/1932
-------	-------	------------	------------	-----------------------	----------------	------	------	------------------------------

25125	Grant	10/21/1932	10/21/1932	Wm. H. Ashbold et al.	Wm. H. Ashbold	1.00	2.75	Part of Lot 1, Plan 1/1/1932
-------	-------	------------	------------	-----------------------	----------------	------	------	------------------------------

25126	Grant	10/21/1932	10/21/1932	Wm. H. Ashbold et al.	Wm. H. Ashbold	1.00	2.75	Part of Lot 1, Plan 1/1/1932
-------	-------	------------	------------	-----------------------	----------------	------	------	------------------------------

25127	Grant	10/21/1932	10/21/1932	Wm. H. Ashbold et al.	Wm. H. Ashbold	1.00	2.75	Part of Lot 1, Plan 1/1/1932
-------	-------	------------	------------	-----------------------	----------------	------	------	------------------------------

25128	Grant	10/21/1932	10/21/1932	Wm. H. Ashbold et al.	Wm. H. Ashbold	1.00	2.75	Part of Lot 1, Plan 1/1/1932
-------	-------	------------	------------	-----------------------	----------------	------	------	------------------------------

[illegible]

SHEET NO. 2
LOT NO. 2
CON. NO.
RANGE NO. 2 C.I.R.

SHEET NO 2
LOT NO 2
CON. NO
RANGE NO. 2

[illegible]

SHEET NO. 2
LOT NO. 2
CON. NO.
RANGE NO. 2

SECRET

STREET NO.	LOT NO.	CON. NO.	RANGE/INO.
25	13		

[illegible]

[illegible]

SHEET NO. 4
LOT NO. 2
CON. NO.
RANGE NO. 2, C.I.R.

SHEET NO. 4
LOT NO. 2
CON. NO.
RANGE NO. 2, C.I.R.

NUMBER	INSTRUMENT	DATE OF INSTRUMENT	DATE OF REGISTRATION	GRANTOR	GRANTEE	AREA	CONSIDERATION	REMARKS
42812	Grant	25 Jan 1914		Victor E. Jones et al	Carlton W. Stirling		\$4000	pol. 50' x 6' N.S. 20' in 42811.
42836	Grant	25 Jan 1914		Victor E. Jones et al	Carlton W. Stirling		\$1975	pol. 21' x 11' S. 20' in 42812.
42837	Grant	25 Jan 1914		Victor E. Jones et al	Carlton W. Stirling		\$7400	pol. 21' x 11' S. 20' in 42812.
43048	Grant	23 Jan 1913		James R. Harris	William J. Harris		\$8100	pol. 21' x 11' S. 20' in 42812.
43059	Grant	23 Jan 1913		James R. Harris	William J. Harris		\$2600	pol. 21' x 11' S. 20' in 42812.
43121	Grant	23 Jan 1913		James R. Harris	William J. Harris			pol. 21' x 11' S. 20' in 42812.
43190	Grant	23 Jan 1913		James R. Harris	William J. Harris			pol. 21' x 11' S. 20' in 42812.
43191	Grant	23 Jan 1913		James R. Harris	William J. Harris		\$1900	pol. 21' x 11' S. 20' in 42812.
43192	Grant	23 Jan 1913		James R. Harris	William J. Harris		\$2000	pol. 21' x 11' S. 20' in 42812.
43397	Grant	23 Jan 1913		James R. Harris	William J. Harris		\$1900	pol. 21' x 11' S. 20' in 42812.
43705	Grant	23 Jan 1913		James R. Harris	William J. Harris		\$1900	pol. 21' x 11' S. 20' in 42812.
43798	Grant	23 Jan 1913		James R. Harris	William J. Harris		\$1900	pol. 21' x 11' S. 20' in 42812.
43819	Grant	23 Jan 1913		James R. Harris	William J. Harris		\$1900	pol. 21' x 11' S. 20' in 42812.
44058	Grant	23 Jan 1913		James R. Harris	William J. Harris		\$1900	pol. 21' x 11' S. 20' in 42812.
44199	Grant	23 Jan 1913		James R. Harris	William J. Harris		\$1900	pol. 21' x 11' S. 20' in 42812.
44259	Grant	23 Jan 1913		James R. Harris	William J. Harris		\$1900	pol. 21' x 11' S. 20' in 42812.
44304	Grant	23 Jan 1913		James R. Harris	William J. Harris		\$1900	pol. 21' x 11' S. 20' in 42812.
44350	Grant	23 Jan 1913		James R. Harris	William J. Harris		\$1900	pol. 21' x 11' S. 20' in 42812.
44359	Grant	23 Jan 1913		James R. Harris	William J. Harris		\$1900	pol. 21' x 11' S. 20' in 42812.
44410	Grant	23 Jan 1913		James R. Harris	William J. Harris		\$1900	pol. 21' x 11' S. 20' in 42812.

[illegible]

NUMBER	INSTRUMENT	DATE OF INSTRUMENT	DATE OF REGISTRATION	GRANTOR	GRANTEE	AREA	CONSIDERATION	REMARKS
46104	Grant	2 Aug. 1945	10 Sept. 1945	Edward R. Riney, & wife	Theresa E. Riney, & wife			
46105	Grant	19 Jan. 1945	10 Sept. 1945	East E. Lamm, & wife	Theresa E. Riney, & wife			
46375	Grant	1 Oct. 1945	20 Oct. 1945	Edw. H. Riney	Theresa E. Riney, & wife			
46393	Grant	19 Jan. 1945	10 Sept. 1945	Theresa E. Riney, & wife	Theresa E. Riney, & wife			
46407	Grant	29 Oct. 1945	7 Nov. 1945	Theresa E. Riney, & wife	Theresa E. Riney, & wife			
46613	Grant	23 Jan. 1945	10 Sept. 1945	Theresa E. Riney, & wife	Theresa E. Riney, & wife			
46614	Grant	19 Jan. 1945	10 Sept. 1945	Theresa E. Riney, & wife	Theresa E. Riney, & wife			
46622	Grant	19 Jan. 1945	10 Sept. 1945	Theresa E. Riney, & wife	Theresa E. Riney, & wife			
46724	Grant	19 Jan. 1945	10 Sept. 1945	Theresa E. Riney, & wife	Theresa E. Riney, & wife			
46749	Grant	19 Jan. 1945	10 Sept. 1945	Theresa E. Riney, & wife	Theresa E. Riney, & wife			
46750	Grant	19 Jan. 1945	10 Sept. 1945	Theresa E. Riney, & wife	Theresa E. Riney, & wife			
46832	Grant	19 Jan. 1945	10 Sept. 1945	Theresa E. Riney, & wife	Theresa E. Riney, & wife			
46833	Grant	19 Jan. 1945	10 Sept. 1945	Theresa E. Riney, & wife	Theresa E. Riney, & wife			

[illegible]

SHEET NO. 2
LOT NO. 2
CON. NO.
RANGE NO. 1000

Turn up of boots

SHEET NO 6
LOT NO 2
CON NO
RANGE NO. 2234.

[illegible]

Indian Reserve LOT No. 1.

2 Range CONCESSION on R. Credit.

INSTRUMENT	ITS DATE	DATE OF REGISTRY	GRANTOR	GRANTEE	QUANTITY OF LAND	CONSIDERATION OR AMOUNT OF MORTGAGE	REMARKS
Patent 13561 D.P.	13 May 1865 17 Nov 1865		The Crown Frederick W. Harris	Bank of Upper Canada	All	\$ 4015	1000
Lot No 2 2 Range							
Patent 13561 D.P.	13 May 1865 17 Nov 1865		The Crown Frederick W. Harris	Bank of Upper Canada	All	\$ 4015	1000
S.W. pt Lot No 3 2 Range							
Patent 11 July 1854 13561 D.P.	13 May 1865 17 Nov 1865		The Crown Frederick W. Harris	James Cotton Bank of Upper Canada	SW 1/4 All		
N.E. pt Lot No 3 2 Range							
Patent 12 Nov 1864			The Crown	Elizabeth B. Blakely James Cotton	SW 1/4 All		
Lot No 4 2 Range							
Patent 11 July 1854 13561 D.P.	13 May 1865 17 Nov 1865		The Crown Frederick W. Harris	James Cotton Bank of Upper Canada	All	\$ 4015	1000

TOWNSHIP OF TORONTO

483

Lot No. 4

In the SECOND RANGE

CONCESSION C.I.R.

No. of Instrument	Instrument	Its Date	Date of Registration	GRANTOR	GRANTEE	Consideration or Amount of Mortgage	REMARKS
340	B.&S.	15May1869	6 Sep1869	Bank of Upper Canada	John Crickmore	\$7000.00	All and O.L.
351	B.&S.	12Jul1869	20Sep1869	John Crickmore et al	Wm. B. Hunter	25000.00	All and O.L.
352	B.&S.	20Jul1869	20Sep1869	Wm. B. Hunter et ux	Peel General Mfg. Co.	14000 shares.	All and O.L.
519	B.&S.	25Nov1868	27Apr1870	Bank of Upper Canada	Robert Cotton	742.00	Part and O.L. <i>all lying East of Stave Bank Rd. except pts. conveyed by Bank of Upper Canada i.e. No. 5 & 9.</i>
1996		1 Sep1876	23Sep1876	Peel General Mfg. Co.	S. S. Lee et al	20000.00	Part and O.L. <i>all lying West of Stave Bank Road.</i>
2158		28Nov1876	4 Apr1877	S. S. Lee et al	Canada Life Assce. Co.	5,000 & C.	Part and O.L. <i>all lying West of Stave Bank Road.</i>
3134		1 Apr1880	24Jul1880	Peel General Mfg. Co.	Canada Life Assce. Co.	6000.00	Part and O.L. <i>all lying West of Stave Bank Road.</i>
5507	Will	28Oct1885	30Dec1885	Robert Cotton	Susan Cotton et al		Parts and O.L.
5677	Release	25Mar1886	14May1886	Canada Life Assce. Co. et al	Peel General Mfg. Co.	6000.00	All and O.L. <i>Revised title dated 1 Sep 1876.</i>
6948	B.&S.	1 Oct1888	18Oct1889	Peel General Mfg. Co.	Thos. W. Hector et al	9180.00	Part and O.L. <i>lying West of Stave B. Rd.</i>
7610	B.&S.	15Jun1891	26Jun1891	Thos. W. Hector et al	Wm. Andrew	2000.00	Part and O.L.
7763	B.&S.	10Dec1891	6 Jan1892	Thos. W. Hector et al <i>Edwin Crickmore et ux</i>	John Goodinlock	2464.90	Part and O.L.
8446	B.&S.	7 Feb1894	13Feb1894	William Andrew et ux	Janet Wingfield	1225.00	Part and O.L.
9262	B.&S.	23May1896	30Oct1896	Edwin Crickmore et ux	Thos. W. Hector	1,000 & C.	Undivided $\frac{1}{2}$ & O.L.
9303	B.&S.	12Nov1896	28Nov1896	Thos. W. Hector et ux	Catherine Bedford	1500.00	Part and O.L.
9317	B.&S.	11Nov1896	4 Dec1896	Thos. W. Hector et ux	Fred. T. D. Hector	1,000 & C.	Part and O.L.
9963	B.&S.	13May1899	15May1899	Fred. T. D. Hector	David A. Boyd	981.00	Part and O.L. 21.8 ac.
12738	B.&S.	24Jul1907	27Jul1907	David A. Boyd et ux	John E. Hall	2625.00	Part and O.L. 21.8 ac.
12993	B.&S.	4 Feb1908	7 Feb1908	Susan A. Cotton sur. Extr. Robert Cotton Estate.	Dixie C. Cotton	1.00	Part and O.L. 104 ac.
13193	Deed	19Oct1908	21Oct1908	Susan A. Cotton sur. Extr. Robert Cotton Est.	Dixie Cotton	1.00	To correct error in description of land described in No12903.

TO BOOK "C"

Lot No. 4								
Second Range				Concession Credit Indian Reserve				
NO. OF INSTRUMENT	INSTRUMENT	ITS DATE	DATE OF REGISTRATION	GRANTOR	GRANTEE	QUANTITY OF LAND	Consideration or Amount of Mortgage	REMARKS
B'09	Plan	23Sep1908	14Jan1909	D.C. Cotton	Subdivision of part of lot 4			
E'09	Plan	27Jan1909	5May1909	Subdivision of parts 4, 5, 7, & 8	John E. Hall Owner			
13546	Grant	12Jul1909	28Jul1909	Dixie Cox Cotton etux	Charlotte E.E. Swift	pt Plan B'09	1375.00	pt Block "E" plan B'09
13547	M.	12Jul1909	28Jul1909	Charlotte E.E. Swift	Dixie Cox Cotton	same lands	1000.00	not reg. in full
14020	Grant	10Jan1910	9Jun1910	John J. Bedford admr of Catherine Bedford	Herbert S. Bedford	25.1/100	2000.00	pts lots 4 & 7 and the assumption of Mortgage for \$5000.00
14022	Grant	1Apr1910	9Jun1910	Herbert S. Bedford unmarried	Allen E. Taylor	pt 6	2500.00	pts lots 4 & 7 & right of way
14023	M.	12May1910	9Jun1910	Allen E. Taylor unmarried	Herbert S. Bedford	pt 6	1750.00	" " " "
18647	M.	15Aug1918	23Aug1918	Adelaide Gouinlock etux	Eliza C. Yelland Wm. C. Yelland exrs A.E. Yelland		1500.00	pt 16/4/58
18688	Grant	3Jun1918	30Oct1918	Walter T. Gouinlock etux	James M. Gouinlock etal 19 1/2	1.etc		pt & O.L.
18714	Grant	3Jun1918	30 Oct1918	James M. Gouinlock etal	Adelaide Gouinlock	1.		pt
19884	Grant	30Apr1920	12May1920	Toronto General Trust Corporation Exrs of John H. Eyer	Alfred D. Morrow	pt	14500.00	pt & O.L.
20602	Grant	10Dec1920	14Jan1921	Allen E. Taylor etux	Wm. T. Taylor		1.	pt & O.L.
21176	M.	24Aug1921	26 Sep1921	Adelaide Gouinlock	Margaret World		800.00	pt MAR 5 1935
21295	Grant	25Sep1921	13Oct1921	Alfred D. Morrow etux	Wm. G. Burns		17000.00	pt & O.L.
21296	M.	10Oct1921	13Oct1921	Wm. G. Burns etux	Alfred D. Morrow		2000.00	pt & O.L.
See Deposit 147								
21968	A.M.	24Apr1921	27 May 1921	Wm. G. Yelland exr	Wm. A. Yelland		1.	Assign(18647) 16/4/58
25677	Grant	20Dec1924	21Jan1925	Adelaide Gouinlock	James M. Gouinlock & Edith M. Gouinlock	pt	10.etc	pt
25724	D.M.	10Feb1925	16Feb1925	Margaret World	Adelaide Gouinlock etux	pt		Dischg. 21176 MAR 5 1935
26391	Grant	13Jun1925	13Jul1925	James M. Gouinlock etux Edith M. Gouinlock	Gladys I. Angus	17.24/100	10.etc	pt & O.L.
27396	A.M.	15Mar1926	23Mar1926	Wm. A. Yelland	James Gilchrist	pt		Assign(18647) 16/4/58
27409	O.C.	4Jul1925	26Mar1926	James Gilchrist	Gladys I. Angus		1.etc	pt & O.L.
27418	A.M.	29Mar1926	31Mar1926	James Gilchrist	John H. Watson	pt	10.etc	Assign(18647) 16/4/58

Indian Reserve LOT No. 5

2 Range

CONCESSION on R. Credit

No. of INSTRUMENT.	INSTRUMENT.	DATE 1st DATE	DATE OF RECOVERY.	GRANTOR	GRANTEE	QUANTITY OF LAND.	CONSIDERATION OR AMOUNT OF MORTGAGE.	REMARKS.
	Patent 11 July 1854			The Crown	James Cotton	All		
13261	Q.P.	12 Nov 1855	17 Jan 1866	Fredrick W Jarvis	Bank of Upper Canada	"	\$40.75	r & L.

Lot No 6

2 Range

	Patent 11 July 1854			The Crown	James Cotton	All		
4475	B & S	5 Dec 1857	4 Dec 1857	James Cotton	Reeve & Anderson	Pr		
13231	Q.P.	15 Apr 1864	2 Oct 1865	Fredrick W Jarvis	Richard S Wood	"	\$156.00	
13232	B & S	3 Aug 1864	"	Richard S Wood & Co	Henry Fowler	"	\$500.-	

Lot No 7

2 Range

	Patent 11 July 1854			The Crown	James Cotton	All		
4475	B & S	5 Dec 1857	4 Dec 1857	James Cotton	Reeve & Anderson	Pr	\$500.	
13231	Q.P.	15 Apr 1864	2 Oct 1865	Fredrick W Jarvis	Richard S Wood	"	\$156.00	
13232	B & S	3 Aug 1864	"	Richard S Wood & Co	Henry Fowler	"	\$500.-	

Lot No 8

2 Range

	Patent 11 July 1854			The Crown	James Cotton	All		
4475	B & S	5 Dec 1857	4 Dec 1857	James Cotton	Reeve & Anderson	Pr		
13231	Q.P.	15 Apr 1864	2 Oct 1865	Fredrick W Jarvis	Richard S Wood	"	\$156.00	
13232	B & S	3 Aug 1864	"	Richard S Wood & Co	Henry Fowler	"	\$500.-	

Lot No. 5

In the

SECOND RANGE

X Concession X C.I.R.

No. of Instrument	Instrument	Its Date	Date of Registration	GRANTOR	GRANTEE	Consideration or Amount of Mortgage	REMARKS
340	B.&S.	15May1869	6 Sep1869	Bank of Upper Canada	John Crickmore	\$7000.00	All and O.L.
351	B.&S.	12Jul1869	20Sep1869	John Crickmore et ux	Wm. B. Hunter	25000.00	All and O.L.
352	B.&S.	20Jul1869	20Sep1869	Wm. B. Hunter et ux	Peel General Mfg. Co.	14000 shares.	All and O.L.
519	B.&S.	25Nov1868	27Apr1870	Bank of Upper Canada	Robert Cotton	742.00	All and O.L. <i>all lying East of Stone Bank Road. Except pty conveyed by Bank of Upper Canada p. No. 519.</i>
1996		1 Sep1876	23Sep1876	Peel General Mfg. Co.	S. S. Lee et al	20000.00	All and O.L.
2158		28Nov1876	4 Apr1877	S. S. Lee et al	Canada Life Assce. Co.	5.00&C.	All and O.L. <i>Cons. Mfgs dated 1 Sept. 1876.</i>
3134		1 Apr1880	24Jul1880	Peel General Mfg. Co.	Canada Life Assce. Co.	6000.00	All and O.L. <i>lying West of Stone B. Road.</i>
5507	Will	28Oct1884	30Dec1885	Robert Cotton	Susan Cotton et al		All and O.L.
5677	Release	25Mar1886	14May1886	Canada Life Assce. Co. et al	Peel General Mfg. Co.	6000.00	All and O.L. <i>rec'd Mfgs dated 1 Sept 1876.</i>
6948	B.&S.	1 Oct1888	18Oct1889	Peel General Mfg. Co.	Thos. W. Hector et al	9180.00	Part and O.L. <i>lying West of Stone B. Rd.</i>
7742	B.&S.	10Dec1891	17Dec1891	Thos. W. Hector et al	James J. Kenny	2410.30	18.47 ac.
7763	B.&S.	10Dec1891	6 Jan1892	Thos. W. Hector et al	John Gouinlock	2464.90	Part and O.L.
9213		22Jul1896	6 Aug1896	Edwin Crickmore et ux	George Gooderham	2500.00	Part and O.L.
9254		16Oct1896	26Oct1896	Edwin Crickmore et ux	Robert A. P. Hallifax	3000.00	Part and O.L.
9262	B.&S.	23May1896	30Oct1896	Edwin Crickmore et ux	Thomas W. Hector	1.00&C.	Parts and O.L. Undivided $\frac{1}{2}$
9317	B.&S.	11Nov1896	4 Dec1896	Thos. W. Hector et ux	Fred. T. D. Hector	1.00&C.	Part and O.L.
9788	B.&S.	1 Nov1898	10Nov1898	George Gooderham	William F. Ardagh	2810.00	Part and O.L. 24.5 ac.
9963	B.&S.	13May1899	15May1899	Fred. T. D. Hector	David A. Boyd	981.00	Part and O.L. 21.8 ac.
10497	B.&S.	24Apr1901	26Apr1901	Wm. F. Ardagh (unmarried)	Fred. G. D. Durnford	4700.00	Part and O.L.
10498		24Apr1901	26Apr1901	Fred. G. D. Durnford	Wm. F. Ardagh	4200.00	Part and O.L.
11117		20Apr1903	4 May1903	Fred. G. D. Durnford et ux	Edward A. Laver	3349.58	Part and O.L. 24.5 acres. (note- wife does not sign)
11118		5 May1903	6 May1903	Fred. G. D. Durnford et ux	William Laidlaw	505.00&C.	Part and O.L. 24.5 ac.
11209	Release	15Jun1903	8 Oct1903	Fred G. D. Durnford et ux Edward A. Laver & Wm. Laidlaw	Wm. F. Ardagh	1.00	Part and O.L. 24.5 ac. Release of Equity of Redemption. The said Laver reserves all his right etc.

Lot No. 5

Second Range

Concession Credit Reserve.

S. R. Hart & Co. Limited 23553								
NO. OF INSTRUMENT	INSTRUMENT	ITS DATE	DATE OF REGISTRATION	GRANTOR	GRANTEE	QUANTITY OF LAND	Consideration or Amount of Mortgage	REMARKS
11310	Grant	4Dec1903	9Dec1903	Susan Cotton sole surviving Exrx of Robert Cotton deceased Dixie C. Cotton unmarried man	The Toronto & Niagara Power Co. Ltd.	1.48	222.00	pt
11538	Grant	1Jun1904	13Jun1904	Wm. F. Ardagh	Wm. T. Jennings	pt 12.5/10	5500.00	pt see plan attached & C.I.
11598	Grant	1May1904	6Aug1904	James J. Kenny etux	Toronto & Niagara Power Co.	pt .5.43	814.50	pt
12058	Grant	20Oct1905	31Oct1905	Susan A. Cotton Surviving Exrx of Robert Cotton deceased Dixie Cox Cotton unmarried man	Toronto & Niagara Power Company	485/1000	72.75	pt see sketch on deed
12504	Grant	3Dec1906	10Dec1906	James J. Kenny etux	Henry W. Frink	pt 13.4/100	1000.00	subject to the easements reserved in the deed thereof to the party of the first part, and subject also to a mtge. to the Union Life Insurance Co. to secure \$1500.00 and interest as therein set out which Mtge the party of the third part hereby assumes & covenants to pay off.
12690	Grant	21May1907	22May1907	The Southern Light & Power Co. Ltd. John Mackay Liquidator	The Stark Telephone Light & Power Co. Ltd.	pt 87	47500.00	pt & C.I.
12691	M.	21May1907	22May1907	The Stark Telephone Light & Power Co. Ltd.	John MacKay Liquidator of the Southern Light & Power Co.	pt 87	40500.00	pt & C.I. not reg. in full
12738	Grant	24Jul1907	27Jul1907	David Abner Boyd etux	John E. Hall	pt 21.8	2625.00	pt & C.I.
12903	Grant	4Feb1908	7Feb1908	Susan A. Cotton Exr of Robert Cotton Deceased	Dixie Cox Cotton	104 & C.I.	1. & the premises.	pt & C.I.
13193	Conf. Deed	19Oct1908	21Oct1908	Susan Amelia Cotton Sold Exe of Robert Cotton Deceased	Dixie Cox Cotton		1. & the premises	pt & C.I.
E*09	Plan	23Sep1908	14Jan1909	D.C. Cotton	Subdivision			pt & C.I.
E*09	Plan	27Jan1909	5May1909	John E. Hall	Subdivision			pt & C.I.
14745	Grant	12Dec1911	6Jan1912	Henry W. Frink etux	Marion Kenny	pt 13.4/100	1000.00	assumption of Mtge
16080	Grant	28Oct1913	5Nov1913	Marion Bailey	Samuel P. Biggs	0.49	1200.00	pt
17716	Grant	29Jun1916	30Jun1916	Samuel P. Biggs etux	Toronto Dwellings Ltd.		1.	pt & C.I.
17991	Grant	15Feb1917	17Feb1917	Toronto Dwellings	Toronto N.W. Ry. Co.	nt	1.	nt & C.I.

DATE PLAN REGISTERED 14 Jan. 1909

OWNERS D.C. Cotton

TOWNSHIP OF TORONTO

LOTS SUBDIVIDED Pt. 4 & 5, R2, C.I.R.

SHEET NO 1
LOT NO Block "B"
STREET
PLAN NO. E-09PLANT & C
LINES
NO. 10 5674

NUMBER	INSTRUMENT	DATE OF INSTRUMENT	DATE OF REGISTRATION	GRANTOR	GRANTEE	CONSIDERATION	REMARKS
17143	B.&S.	20 May 1915	1 June 1915	Dixie C. Cotton, Etux	William A. Bombeer	\$4845.00	Part & C.L.
F.J.J. 17144	CONTRAST	21 May 1915	1 June 1915	Wm. A. Bombeer, Etux	Dixie C. Cotton	\$3845.00	Part & C.L. FEB. 25, 1930
F.J.J. 17146	D.M.	31 May 1915	1 June 1915	Canada Permanent Mortgage Corp.	Dixie C. Cotton		discharg'g No. 13172 FEB. 26, 1930
F.J.J. 17358	CONTRAST	2 Nov. 1915	3 Nov. 1915	Wm. A. Bombeer, Etux	Elizabeth Bombeer	\$1100.00	pt. & O.L. FEB. 26, 1930
17829	B.&S.	31 Aug. 1916	25 Oct. 1916	Wm. A. Bombeer, Etux	George W. Bayly	\$10500.00	pt. & C.L.
F.J.J. 17835	D.M.	27 Sep. 1916	26 Oct. 1916	Elizabeth Bombeer	Wm. A. Bombeer		discharg'g No. 17358 FEB. 26, 1930
F.J.J. 17836	CONTRAST	15 Oct. 1916	26 Oct. 1916	George W. Bayly, Etux	Wm. A. Bombeer	\$3086.20	pt. & C.L. NOV. 2, 1930
F.J.J. 18066	CONTRAST	13 Apr. 1917	14 Apr. 1917	Dixie C. Cotton, Etux	Canada Permanent Mortgage Corp.	\$1900.00	pt. & C.L. FEB. 26, 1930
F.J.J. 18081	D.M.	24 Apr. 1917	26 Apr. 1917	Canada Permanent Mortgage Corp.	Dixie C. Cotton		discharg'g No. 13172 FEB. 26, 1930
F.J.J. 18796	D.M.	14 Apr. 1920	17 Apr. 1920	Canada Permanent Mortgage Corp.	Dixie C. Cotton		discharg'g No. 18066 FEB. 26, 1930
F.J.J. 20340	WEST OF MNL	15 Oct. 1920	15 Oct. 1920	Wm. A. Bombeer	London & Canadian Loan & Agency Co.	\$1.00	pt. & O.L. NOV. 2, 1930
F.J.J. 20379	WEST OF MNL	16 Oct. 1920	27 Oct. 1920	London & Canadian Loan & Agency Co.	Wm. A. Bombeer	\$1.00	pt. & O.L. NOV. 2, 1930
F.J.J. 20400	D.M.	2 Nov. 1920	4 Nov. 1920	Wm. A. Bombeer	Geo. W. Bayly		discharg'g No. 17836 NOV. 2, 1930
F.J.J. 22605	D.M.	28 May 1917	24 Nov. 1922	Dixie C. Cotton	Wm. A. Bombeer		discharg'g No. 17144 NOV. 2, 1930
22606	CONTRAST	21 Nov. 1922	24 Nov. 1922	Geo. W. Bayly, Etux	Edward Burns	\$1250.00	pt. & O.L. 15/4/6
V.C. 23639	CONTRAST	1 Aug. 1923	18 Aug. 1923	Robert A. Thomson, Etux	George M. Lee	\$2000.00	pt. & O.L. JUL. 15, 1937
A.D. 23709	CONTRAST	5 Sept. 1923	10 Sept. 1923	Robert A. Thomson, Etux	Annie J. Norton	\$2000.00	pt. & O.L.
23994	Grant	11 Apr. 1923	7 Nov. 1923	Dixie C. Cotton, Etux	Robert A. Thomson	\$1.00	pt & C.L.
24913	Grant	15 May 1924	30 June 1924	George W. Bayly	Adeline M. Bayly	\$1.00	pt & O.L.
28993	Grant	5 May 1927	1 June 1927	Adeline M. Bayly	Eveline M. Tombs	\$1.00	2ac. pt. & C.L.
28994	CONTRAST	21 May 1927	1 June 1927	Eveline M. Tombs	Robert A. Thomson	\$5500.00	pt & C.L. 15/4/6
28995	Grant	21 May 1927	1 June 1927	Robert A. Thomson, Etux	Eveline M. Tombs	\$550.00	pt & C.L.
28996	WEST OF MNL	2 May 1927	1 June 1927	Robert A. Thomson, Etux	George M. Lee	\$1.00	pt & O.L. 15/4/6
V.C. 29042	D.M.	6 June 1927	14 June 1927	George M. Lee	Robert A. Thomson		discharg'g No. 23639 July 15/37
A.D. 30752	D.M.	4 Sep. 1928	14 Sep. 1928	Annie J. Norton	Ellen Bailey		discharg'g No. 23709
30807	WEST OF MNL	20 Sep. 1928	5 Oct. 1928	George M. Lee	Robert A. Thomson	\$1.00	Assigning No. 28994 15/4/6
30965	WEST OF MNL	9 Nov. 1928	10 Nov. 1928	Robert A. Thomson	Bessie Thomson	\$565.40	Assigning No. 28994 15/4/6
SEE DEPOSIT NO. 413							
31282	CONTRAST	15 Dec. 1931	24 Dec. 1931	Eveline M. Tombs	Bessie Thomson	\$300.00	Part & O.L. does not reflect No. 28994
33402	CONTRAST	1 Nov. 1932	2 Dec. 1932	Robert A. Thomson, Etux	Ellen Bailey	\$240.00	Part & O.L. does not reflect No. 28994
34482	CONTRAST	11 Sep. 1936	30 Oct. 1936	Eveline M. Tombs, Etux	Bessie Thomson	\$5000.00	Part & O.L. 15/4/6
37755	D.M.	Oct. 1936	8 June 1937	Bessie Thomson	Eveline M. Tombs		discharg'g No. 28994 15/4/6
37756	D.M.	Oct. 1936	8 June 1937	Bessie Thomson	Eveline M. Tombs		discharg'g No. 34482 15/4/6
41432	Grant	1 Oct. 1941	3 Jan. 1942	Adeline M. Bayly	Gladys Adamson	\$4000.00	Part. Coma. at Ely angle, Thence N 156° 11' x N 288° 4' x E 64' x S 302° 4' to pofb.
41433	CONTRAST	1 Oct. 1941	3 Jan. 1942	Gladys Adamson	Adeline M. Bayly	\$1850.00	Part as in No. 41432 15/4/6

DATE PLAN REGISTERED 14 Jan. 1909

OWNERS D.C. Cotton

TOWNSHIP OF TORONTO

LOTS SUBDIVIDED Pt. 4 & 5, R2, C.I.R.

SHEET NO 1

LOT NO Block "G"

STREET

PLAN NO. B-09

NUMBER	INSTRUMENT	DATE OF INSTRUMENT	DATE OF REGISTRATION	GRANTOR	GRANTEE	CONSIDERATION	REMARKS
41659	Grant	15 Apr. 1942	17 Apr. 1942	Adeline M. Bayly	Albert Jos. Hurst	\$3750.00	Part & O.L. Comm in SE limit Blk G 156' 11" SW of E angle Thence SW 345' 12" x NW 871' 1/5" x NE 224' 2" x SE 613' 1/2" x SW 64' x SE 288' 4" to pofb.
41660	Grant	15 Apr. 1942	17 Apr. 1942	Albert Jos. Hurst, Etux	Adeline M. Bayly	\$2750.00	Part & O.L. as in No. 41659 15/4/42
41942	Grant	10 July 1942	30 July 1942	Albert J. Hurst, Etux	John G. Reid, to uses of Fred J. Telgmann	\$1.00	Part & O.L. as in No. 41659
44312	Grant	30 June 1944	29 June 1944	Evaline M. Tombs	Belden W. Fox	\$1.00	Part & O.L. See Block H for parcel (1) (2) Comm. in S limit of Blk G 602' 11" W of SE angle Thence E100' x N711' 5" x W100' x S8711' 5" to pofb.
44313	Grant	30 June 1944	29 June 1944	Belden W. Fox, Etux	Velma P. Wilson	\$3500.00	Part & O.L. Comm in S limit of Blk G 38' 10" E of SW angle Thence E365' 4" x N871' 2" x W100' x S211' 5" x W 65' 4" x S659' 9" to pofb.
44355	D.M.	13 June 1944	5 July 1944	Madelaine W. Thompson, et al adms. Bessie Thomson-Est.	Evaline M. Tombs		discharging No. 37408. Treas. Consent Attached. 15/4/42
44503	Grant	15 Aug. 1944	10 Aug. 1944	Belden W. Fox, Etux	Laura B. Lewis	\$7500.00	Part & O.L. Comm. in S limit of Block G, 38' 10" E of SW angle Thence N659' 9" to N limit x W330' 8" x S at Rt. angles 439' 9" x E 198' x S220' to S limit of Block H x E132' 8" to pofb.
44504	Grant	8 Aug. 1944	10 Aug. 1944	Laura B. Lewis, Etal	Margaret McCarthy	\$3500.00	Part & O.L. as in No. 44503 15/4/42
45027	Pt. D.M.	22 Dec. 1944	28 Dec. 1944	Adeline M. Bayly	Albert J. Hurst	\$1.00	114' x 200' discharged from No. 41660 15/4/42
45043	Grant	28 Dec. 1944	6 Jan. 1945	Fred J. Telgmann	Thomas Easton	\$750.00	Part. Comm. in SE limit 488' 11" W of E angle. Thence N200' x E50' x S200' x W50' to pofb.
45103	Grant	17 Jan. 1945	24 Jan. 1945	Fred J. Telgmann	Thomas Easton	\$500.00	Part. Comm. in SE limit 438' 11" W of E angle. Thence N 200' x E50' x S200' x W50' to pofb.
45104	Grant	22 Jan. 1945	24 Jan. 1945	Thomas Easton, Etux	Cordelia Somerville	\$2000.00	Part as in Nos. 45043 & 45103 15/4/42
45264	Grant	7 Mar. 1945	17 Mar. 1945	John G. Reid, Etux & Fred J. Telgmann	Robert J. Apps & Delphine Apps, as joint tenants	\$900.00	Part. Comm. in SE limit 388' 11" W of E angle. Thence N200' x E75' x S200' x W75' to pofb. Restrictions.
45265	Agree't for Sale	7 Mar. 1945	17 Mar. 1945	John G. Reid & Fred J. Telgmann	Esther Jarvis	\$792.00	Part. Comm. in SE limit 313' 11" W of E angle Thence N200' x E66' x S200' x W66' to pofb.
45266	Agree't for Sale	7 Mar. 1945	17 Mar. 1945	John G. Reid & Fred J. Telgmann	Victor E. Jarvis & Elizabeth K. Jarvis, as Jarvis.	\$900.00	Part. Comm. in SE limit 247' 11" W of E angle. Thence N200' x E75' x S200' x W75' to pofb. 5.44/1
45281	Pt. D.M.	19 Feb. 1945	21 Mar. 1945	Adeline M. Bayly	Fred J. Telgmann	\$1.00	discharging Pt. Comm 388' 11" W of E angle. Thence N200' x E36' x S200' x W36' to pofb. (discharged from No. 41660. 15/4/42
45855	Grant	31 July 1945	13 July 1945	Laura B. Lewis	Ray D. Brock	\$1.00	Part & O.L. as in No. 44503 19/8/45 88 AOK
45856	Grant	1 July 1945	13 July 1945	Laura B. Lewis, Etal	Margaret McCarthy	\$4000.00	Part & O.L. as in No. 44503 19/8/45 86 AOK
45857	Grant	1 July 1945	13 July 1945	Ray D. Brock, Etux	Archie L. Smith	\$500.00	Part & O.L. as in No. 44503

DATE PLAN REGISTERED 14 Jan. 1909

OWNERS D.C. Cotton,

TOWNSHIP OF TORONTO

LOTS SUBDIVIDED Pt. 4 & 5, E2, C.I.E.

SHEET NO 2

LOT NO Block G

STREET

PLAN NO. B-09

NUMBER	INSTRUMENT	DATE OF INSTRUMENT	DATE OF REGISTRATION	GRANTOR	GRANTEE	CONSIDERATION	REMARKS
45294	D.M.	20 July 1945	26 July 1945	Margaret McCarthy	Laura B. Lewis		discharg'g No. 44504 15/4/6
46664	WARRANT	10 Dec. 1945	21 Dec. 1945	Fred J. Telgmann	The Sterling Trusts Corp.	\$2000.00	Part & O.L. Comm. in S limit of G. 156'11" W of E angle of G, Thence N15'2" x N200' x N316' x S200' x W15' x N87'12" x E224'2" to E limit of J x S613'2" x W64' x S288'4" to pofb. 15/4/6
46739	WARRANT	10 Dec. 1945	8 Jan. 1946	Fred J. Telgmann & John G. Reid	The Sterling Trusts Corp.	\$2000.00	Part & O.L. as in No. 46664 15/4/6
46878	D.M.	14 Jan. 1946	1 Feb. 1946	The Sterling Trusts Corp.	Fred J. Telgmann		discharg'g No. 46664 15/4/6
46879	D.M.	24 Jan. 1946	1 Feb. 1946	Adeline M. Bayly	Fred J. Telgmann		discharg'g No. 46664 15/4/6
47026	Grant	14 Feb. 1946	8 Mar. 1946	Velma P. Wilson	Maggie D. Pickering	\$1,000.00	Part. Comm. in SE limit G 204'12" NE of SE limit x N246' x W80' x S246' x E80' to pofb.
48279	WARRANT	9 Aug. 1946	21 Aug. 1946	Gertrude Somerville	William Harris	\$1850.00	Part assigning No. 45104 15/4/6
48928	WARRANT	6 Nov. 1946	15 Nov. 1946	Maggie D. Pickering, Etmar	The Canada Life Assnce. Co.	\$4000.00	Part as in No. 47026 15/4/6
49322	Grant	11 Jan. 1947	22 Jan. 1947	John G. Reid, Etux & Fred J. Telgmann	Esther Jarvis	\$792.00	Part as in No. 45265
49435	WARRANT	3 Feb. 1947	19 Feb. 1947	Fred'k J. Telgmann	J. Wesley Davis	\$2900.00	Part & O.L. Comm in S limit 502'6" SW of E angle of G Thence Wly 288'11" to pofb. Thence N 532'10" x N224'12" x S262'2" x SW 409'7" to pofb. 15/4/6
49447	D.M.	18 Feb. 1947	21 Feb. 1947	John G. Reid, Etux	Fred'k J. Telgmann	\$1,000.00	Part & O.L. as in No. 41659
49643	WARRANT	1 Mar. 1947	2 Apr. 1947	Helen S. Carpenter	Fred J. Telgmann	\$1000.00	Part as in No. 49644 15/4/6
49644	Grant	24 Jan. 1947	2 Apr. 1947	John G. Reid, Etal	Helen S. Carpenter	\$1,000.00	Part. Comm. in SE limit 156'11" W of E angle, Block G. Thence N288'4" x W345' x S88'4" x E331' x S200' to SE limit x E14' to pofb. Subj. to R.L. of Way.
49774	Grant	3 Sep. 1946	22 Apr. 1947	John G. Reid, Etux, Etal	Victor E. Jarvis & Elizabeth K. Jarvis, as joint tenants	\$900.00	Part. Comm. in S. limit 247'11" W of E angle. Thence N 200' x E 75' x S 200' x W75' to pofb.
50128	D.M.	11 June 1947	13 June 1947	William Harris	Thomas Easton		discharg'g No. 45104 15/4/6
50129	WARRANT	10 June 1947	13 June 1947	Thomas Easton, Etux	William Harris	\$4000.00	Parts as in No. 45048 & No. 45103 does not affect 15/4/6
50197	D.M.	18 June 1947	23 June 1947	Evelyn M. Thomson	Robert A. Thomson		discharg'g No. 35036 15/4/6
50249	Grant	24 June 1947	2 July 1947	Maggie D. Pickering	Howard E. Besse & Laura A. Besse, as joint tenants.	\$1,000.00	Part as in No. 47026
50250	D.M.	25 June 1947	3 July 1947	The Sterling Trusts Corporation	Frederick J. Telgmann		discharg'g No. 46739 15/4/6
50251	D.M.	18 June 1947	3 July 1947	Frederick J. Telgmann	Helen S. Carpenter		discharg'g No. 49643 15/4/6
50260	Grant	12 June 1947	4 July 1947	Helen S. Carpenter, Etal	Loran E. Van Horn	\$1,000.00	Part. Comm. in SE limit 156'11" W of E angle Ek. G, Thence N 288'4" x W345' x S88'4" x E331' x S200' to SE limit x E15'2" to pofb.
50261	Agree't.	25 June 1947	4 July 1947	Thomas Easton	Loran E. VanHorn		re: Water main over Wly part of land as in No. 45048 & No. 45103.

DATE PLAN REGISTERED 14 Jan. 1909

OWNERS D.G. Botton

TOWNSHIP OF TORONTO

LOTS SUBDIVIDED Pt. 4 & 5, E. 2, C.I.P.

SHEET NO 2

LOT NO Block "G"

STREET

PLAN NO. E-09

NUMBER	INSTRUMENT	DATE OF INSTRUMENT	DATE OF REGISTRATION	GRANTOR	GRANTEE	CONSIDERATION	REMARKS
344	Plan	2 July 1947	8 July 1947	Frederick J. Telgmann, Etal	Subdivision Pt. & O.L.		
50955	D.M.	27 Sep. 1947	27 Sep. 1947	J. Wesley Davis	Fred'k J. Telgmann		discharg'g No. 49433 15/4/62
51006	D.M.	19 Aug. 1947	2 Oct. 1947	Ethel R. Jarvis, Etmar	The National Life Assur. Co.	\$1800.00	Part as in No. 45265 15/4/62
51722	D.M.	31 Dec. 1947	16 Jan. 1948	Howard E. Besse & Laura A. Besse	The Canada Life Assurance Co.	\$9000.00	Part as in No. 47026 9/4/73
51756	Grant	30 Nov. 1947	23 Jan. 1948	Robert J. Apps & Delphine Apps	Gertrude I. Thornborough & George Thornborough, as joint tenants	\$1125.00	Part as in No. 45264
51757	D.M.	30 Nov. 1947	23 Jan. 1948	Gertrude I. Thornborough & George Thornborough	Robert J. Apps & Delphine Apps	\$500.00	Part as in No. 45264 15/4/62
51820	D.M.	27 Jan. 1948	6 Feb. 1948	The Canada Life Assur. Co.	Maggie D. Pickering		discharg'g No. 48928 15/4/62
52782	D.M.	15 June 1948	23 June 1948	George Thornborough & Gertrude I. Thornborough	Confederation Life Assoc.	\$5000.00	Part as in No. 45264 15/4/62
52861	D.M.	3 June 1948	30 June 1948	Adeline M. Bayly	Gladys Adamson		discharg'g No. 41433 15/4/62
52882	D.M.	21 June 1948	30 June 1948	Robert J. Apps & Delphine Apps	Gertrude Thornborough & George Thornborough		discharg'g No. 51757 15/4/62
54549	Grant	3 Jan. 1949	20 Jan. 1949	Howard E. Besse & Laura A. Besse.	Angus McMillan & John F. Isard, Trustees	\$1.000c	Pt. as in No. 47026
55356	Grant	29 Apr. 1949	3 May 1949	Victor E. Jarvis & Elizabeth K. Jarvis	Sidney Walsom & Florence M. Walsom, Tenants in common	\$1500.00	Part as in No. 49774
55357	Grant	7 Apr. 1949	3 May 1949	Sidney Walsom & Florence M. Walsom	Loran E. Van Horn	\$1.000c	Part as in No. 49774 except Part. Comm. in SE limit 247'11" W of E angle Thence NW 166'5" x NE 75' x SE 166'5" x SW 75' to p.c.
55358	Grant	7 Apr. 1949	3 May 1949	Loran E. Van Horn, Etux	Sidney Walsom & Florence M. Walsom, as joint tenants	\$1.000c	Part. Comm in SE limit 156'11" SW of E angle Thence NW 166'5" x SW 15'2" x SE 206'5" x NE 15'2" to post
55396	D.M.	3 May 1949	6 May 1949	Loran E. Van Horn, Etux	Gladys M. Sullivan Sur. Extra. John Teacock Estate	\$6000.00	Part. Comm. in SE limit 156'11" SW of E angle, Thence NW 223'4" x W 130' to post. Thence W 245' x NE 223'4" x E 223'4" to post.
55834	D.M.	21 Dec. 1925	22 June 1947	Edward Burns	George W. Bayly		discharg'g No. 22696 15/4/62
56255	Grant	21 June 1949	11 Aug. 1949	Angus McMillan & John F. Isard, Trustees	Robert J. Holland & Nellie W. Holland, as joint tenants	\$1.000c	Part as in No. 47026
56399	D.M.	16 Aug. 1949	25 Aug. 1949	George Thornborough & Gertrude I. Thornborough	Confederation Life Association	\$7500.00	Part as in No. 51756 34/11/66
56460	D.M.	20 Aug. 1949	2 Sep. 1949	Confederation Life Association	George Thornborough & Gertrude I. Thornborough		discharg'g No. 52782 15/4/62
56720	Grant	20 Sep. 1949	29 Sep. 1949	Loran E. Van Horn, Etux	Albert J. Dowdney & Margaret E. Dowdney, as joint tenants	\$200.000c	Part. Comm at a pt. - Comm in SE limit 156'11" SW of E angle, Thence NW 288'4" to a pt. in S limit of Donnelly Dr. Plan 344 x SW 100' to p.c. Thence SW 245' x SE 223'4" x NE 245' x NW 223'4" to p.c.

DATE PLAN REGISTERED: 14 Jan. 1909

OWNERS D.C. Cotton

TOWNSHIP OF TORONTO

LOTS SUBDIVIDED Pt. 4 & 5, R2, C.I.R.

SHEET NO 1

LOT NO Block "JH"

STREET

PLAN NO. B-09

NUMBER	INSTRUMENT	DATE OF INSTRUMENT	DATE OF REGISTRATION	GRANTOR	GRANTEE	CONSIDERATION	REMARKS
17143	B.&S.	20 May 1915	1 June 1915	Dixie C. Cotton, Etux	Wm. A. Bowbeer	\$4845.00	Part & O.L.
F.J.J. 17144	B.&S.	21 May 1915	1 June 1915	Wm. A. Bowbeer, Etux	Dixie C. Cotton	\$3845.00	Part & O.L. DEC. 8, 1932
F.J.J. 17146	D.M.	31 May 1915	2 June 1915	Canada Permanent Mortgage Corp.	Dixie C. Cotton		discharging No. 13172 FEB. 26, 1930
F.J.J. 17357	B.&S.	2 Nov. 1915	3 Nov. 1915	Wm. A. Bowbeer, Etux	Elizabeth Bowbeer	\$1100.00	Part & O.L. FEB. 26, 1930
17829	B.&S.	31 Aug. 1916	25 Oct. 1916	Wm. A. Bowbeer, Etux	George W. Bayly	\$10500.00	Part & O.L.
F.J.J. 17825	D.M.	27 Sep. 1916	26 Oct. 1916	Elizabeth Bowbeer	Wm. A. Bowbeer		discharging No. 17358 FEB. 26, 1930
F.J.J. 17836	B.&S.	15 Oct. 1916	26 Oct. 1916	Geo. W. Bayly, Etux	Wm. A. Bowbeer	\$3085.20	Part & O.L. NOV. 20, 1930
F.J.J. 18066	B.&S.	13 Apr. 1917	14 Apr. 1917	Dixie C. Cotton, Etux	Canada Permanent Mortgage Corp.	\$1900.00	Part & O.L. FEB. 26, 1930
F.J.J. 18081	D.M.	24 Apr. 1917	26 Apr. 1917	Canada Permanent Mortgage Corp.	Dixie C. Cotton		discharging No. 13172 FEB. 26, 1930
F.J.J. 19796	D.M.	14 Apr. 1920	17 Apr. 1920	Canada Permanent Mortgage Corp.	Dixie C. Cotton		discharging No. 18066 FEB. 26, 1930
F.J.J. 20249	B.&S.	15 Oct. 1920	15 Oct. 1920	Wm. A. Bowbeer	London & Canadian Loan & Agency Co.	\$1.00	Part & O.L. NOV. 2, 1930
F.J.J. 20379	B.&S.	16 Oct. 1920	27 Oct. 1920	London & Canadian Loan & Agency Company	Wm. A. Bowbeer	\$1.00	Part & O.L. NOV. 24, 1930
F.J.J. 20409	D.M.	2 Nov. 1920	4 Nov. 1920	Wm. A. Bowbeer	Geo. W. Bayly		discharging No. 17836 NOV. 29, 1932
F.J.J. 22605	B.&S.	28 May 1927	24 Nov. 1928	Dixie C. Cotton	Wm. A. Bowbeer		discharging No. 17144 Nov. 29, 1932
23236	B.&S.	15 May 1923	16 May 1923	Geo. W. Bayly, Etux	Mary J. Hamlin	\$10500.00	Part & O.L.
A.D. 23238	B.&S.	15 May 1923	16 May 1923	Mary J. Hamlin	Geo. W. Bayly	\$2500.00	Part & O.L. DEC. 16, 1941
24913	Grant	15 May 1924	30 June 1924	George W. Bayly	Adeline M. Bayly	\$1.00 &c	Part & O.L.
A.D. 24914	Grant	15 May 1924	30 June 1924	George W. Bayly	Adeline M. Bayly	\$1.00 &c	Part & O.L. DEC. 16, 1941
A.D. 27746	Agree. for	2 May 1926	29 Jan. 1926	Adeline M. Bayly	Mary J. Hamlin	\$1.00 &c	Part & O.L. 4/6/42
28993	Grant	5 May 1927	1 June 1927	Adeline M. Bayly	Eveline M. Tombs	\$1.00 Part, 2ac. & O.L.	
32723	Grant	15 May 1926	6 May 1930	Mary J. Hamlin	James Cassina	1st Mtge \$7250.00	
32724	Grant	1 May 1930	6 May 1930	James Cassina, Etux	William Tuck	\$2750.00 Part & O.L.	
SEE DEPOSIT NO. 413						\$2750.00	
34054	B.&S.	5 Oct. 1931	7 Oct. 1931	William Tuck	Elizabeth Tuck	\$2000.00	Part & O.L. 14/1/42
A.D. 34076	D.M.	5 Oct. 1931	16 Oct. 1931	Adeline M. Bayly	William Tuck		discharging No. 23238 DEC. 16, 1941
37236	B.&S.	1 Aug. 1936	1 Sep. 1936	William Tuck	Robert Parker & Nellie Parker	\$790.74	Part & O.L. same land as in No. 32724 14/1/42
37904	D.M.	14 Aug. 1936	8 Sep. 1936	John T. Tuck, Etal	William Tuck		discharging No. 34054
37403	B.&S.	11 Sep. 1936	30 Oct. 1936	Eveline M. Tombs, Etmar	Bessie Thomson	\$5000.00	Part & O.L. Consent Attached. 14/1/42
41659	Grant	15 Apr. 1942	17 Apr. 1942	Adeline M. Bayly	Albert Jos. Hurst	\$2750.00	Part & O.L. See Blk G for desc.
41660	B.&S.	15 Apr. 1942	17 Apr. 1942	Albert J. Hurst, Etux	Adeline M. Bayly	\$2750.00	Part & O.L. as in No. 41659 14/1/42
41942	Grant	10 July 1942	30 July 1942	Albert J. Hurst, Etux	John G. Reid, To Uses of Fred J. Telgmann	\$1.00 &c	Part & O.L. as in No. 41659

DATE PLAN REGISTERED 14 Jan. 1909

OWNERS D.C. Cotton

TOWNSHIP OF TORONTO

LOTS SUBDIVIDED Pt. 4 & 5, R2, C.I.R.

SHEET NO. 1

LOT NO. Block 4

STREET

PLAN NO. B-09

NUMBER	INSTRUMENT	DATE OF INSTRUMENT	DATE OF REGISTRATION	GRANTOR	GRANTEE	CONSIDERATION	REMARKS
42995	D.M.	27 June 1942	13 Nov. 1942	Robert Parker	Wm. Tuck		discharg'g No. 37296. Treas. Consent Attached. 14/62
43223	Grant	17 June 1943	30 Aug. 1943	Dixie C. Cotton	Olive M. Cotton	\$1.00	& N.L.&A. Wly 632'4" & O.L.
43985	Grant	28 Mar. 1944	19 Apr. 1944	Olive M. Cotton	Chas. B. Jacobs	\$3500.00	Wly 632'4" & O.L.
44312	Grant	30 June 1944	29 June 1944	Evaline M. Tombs	Belden W. Fox	\$1.00	Part & O.L. See Blk G. for desc.
44313	Grant	30 June 1944	29 June 1944	Belden W. Fox, Etux	Velma P. Wilson	\$3500.00	Part & O.L. See Blk G. for desc.
V.P. 1479/53 44355	D.M.	13 June 1944	5 July 1944	Madelaine W. Thompson, Etal Adams, Sessie Thompson	Evaline M. Tombs		discharg'g No. 37408 (consents Do Not Cover)
45439	Grant	12 Apr. 1945	28 Apr. 1945	Chas. B. Jacobs	Wm. E. Jones	\$1000.00	Part. Restrictions. 100' X 270' Sketch Attached (Lot 4 on Sketch)
46504	Grant	6 Nov. 1945	16 Nov. 1945	Wm. E. Jones, Etux	Robert S. Gaston & Janet M.C. Gaston, as joint tenants	\$1200.00	Part as in No. 45439
46664	Grant	10 Dec. 1945	21 Dec. 1945	Fred J. Teigmann	The Sterling Trusts Corp.	\$2000.00	Part & O.L. See Lot Q for desc. 14/62
46739	Grant	10 Dec. 1945	8 Jan. 1946	Fred J. Teigmann & John G. Reid	The Sterling Trusts Corp.	\$2000.00	Part & O.L. as in No. 46664 14/62
46873	Grant	23 Jan. 1946	1 Feb. 1946	Chas. B. Jacobs, Etux	Ernest D.A. Dickson & Lorna Dickson, as joint tenants	\$1200.00	Part. Restrictions. See Sketch Attached, Comm. at SE angle Block J, Thence E 432' to pt. called the R.O.F.B. Thence S. 100' x Nat. rt. angles 270' to SE limit of Oakville Rd. x W 100' x S 270' to pofb. (6 copies).
46878	D.M.	14 Jan. 1946	1 Feb. 1946	The Sterling Trusts Corp.	Fred J. Teigmann		discharg'g No. 46664 14/62
46879	D.M.	24 Jan. 1946	1 Feb. 1946	Adeline M. Bayly	Fred J. Teigmann		discharg'g No. 46660 14/62
47197	Grant	19 Mar. 1946	2 Apr. 1946	Chas. B. Jacobs, Etux	Joy Stanfield & Jack Stanfield, as joint tenants	\$1150.00	Part & O.L. See Sketch Attached. Restrictions. (lot 10 on Sketch)
47198	Grant	27 Mar. 1946	2 Apr. 1946	Chas. B. Jacobs, Etux	Glen M. McWhirter	\$1150.00	Part & O.L. Restrictions. Lot 9 on Sketch
47284	Grant	3 Apr. 1946	13 Apr. 1946	John M. Dyke, Etux	Chas. B. Jacobs	\$300.00	Part & O.L. as in No. 47285 14/62
47285	Grant	29 Mar. 1946	13 Apr. 1946	Chas. B. Jacobs, Etux	John M. Dyke	\$1200.00	Part & O.L. Restrictions (lot 12 on Sketch)
47286	Grant	2 Apr. 1946	13 Apr. 1946	Chas. L. MacKenzie, Etux	Chas. B. Jacobs	\$300.00	Part as in No. 47287 24/62
47287	Grant	2 Apr. 1946	13 Apr. 1946	Chas. B. Jacobs, Etux	Chas. L. MacKenzie	\$1200.00	Part. Wly 20' Lot 1, S30' Lot 2, on Sketch. Restrictions.
47388	Grant	9 Apr. 1946	1 May 1946	Charles B. Jacobs, Etux	Edwin J. Shipp	\$1200.00	Part. Lot 3 & Wly 10' of Lot 2 on Sketch. Restrictions.
47410	Grant	29 Mar. 1946	3 May 1946	Chas. B. Jacobs, Etux	James B. Duncan	\$650.00	Part. Sly 70' lot 1 on Sketch. Restrictions.
47411	Grant	14 Apr. 1946	14 May 1946	Borden L. Davis, Etux	Charles B. Jacobs	\$300.00	Part & O.L. Lot 13 on Sketch. 24/62

DATE PLAN REGISTERED 14 Jan. 1909

OWNERS D.C. Cotton

SHEET NO 1

LOT NO Block 4

STREET

PLAN NO. B-09

LOTS SUBDIVIDED Pt. 4 & 5, R2, C.L.R.

TOWNSHIP OF TORONTO

NUMBER	INSTRUMENT	DATE OF INSTRUMENT	DATE OF REGISTRATION	GRANTOR	GRANTEE	CONSIDERATION	REMARKS
4295	D.M.	27 June 1942	13 Nov. 1942	Robert Parker	Wm. Tuck		discharg'g No. 37296. Treas. Consent Attached. 1/4/62
43223	Grant	17 June 1943	30 Aug. 1943	Dixie C. Cotton	Olive M. Cotton	\$1.00	& N.L.&A. Wly 632'4" & O.L.
43985	Grant	28 Mar. 1944	19 Apr. 1944	Olive M. Cotton	Chas. B. Jacobs	\$3500.00	Wly 632'4" & O.L.
44312	Grant	30 June 1944	29 June 1944	Eveline M. Tombs	Belden W. Fox	\$1.00	Part & O.L. See Blk G for desc.
44313	Grant	30 June 1944	29 June 1944	Belden W. Fox, Etux	Velma F. Wilson	\$3500.00	Part & O.L. See Blk G. for desc.
44355	D.M.	13 June 1944	5 July 1944	Madelaine W. Thompson, Etal Adms. Bessie Thompson	Eveline M. Tombs		discharg'g No. 37408 (consents Do Not Cover)
45439	Grant	12 Apr. 1945	28 Apr. 1945	Chas. B. Jacobs	Wm. E. Jones	\$1000.00	Part. Restrictions. 100' X 270' Sketch Attached (Lot 4 on Sketch)
46504	Grant	6 Nov. 1945	16 Nov. 1945	Wm. E. Jones, Etux	Robert S. Caston & Janet M.C. Caston, as joint tenants	\$1200.00	Part as in No. 45439
46664	Grant	10 Dec. 1945	21 Dec. 1945	Fred J. Teigmann	The Sterling Trusts Corp.	\$2000.00	Part & O.L. See Lot 2 for desc. 1/4/62
46739	Grant	10 Dec. 1945	8 Jan. 1946	Fred J. Teigmann & John G. Reid	The Sterling Trusts Corp.	\$2000.00	Part & O.L. as in No. 46664 1/4/62
46873	Grant	23 Jan. 1946	1 Feb. 1946	Chas. B. Jacobs, Etux	Ernest D.A. Dickson & Lorna Dickson, as joint tenants	\$1200.00	Part. Restrictions. See Sketch Attached. Comm. at SE angle Block J, Thence E 432' to pt. called the Eoff. Thence E. 100' x Nat. rt. angles 270' to SE limit of Oakville Rd. x W 100' x S 270' to pofb. (6 angles).
46878	D.M.	14 Jan. 1946	1 Feb. 1946	The Sterling Trusts Corp.	Fred J. Teigmann		discharg'g No. 46864 1/4/62
46879	D.M.	24 Jan. 1946	1 Feb. 1946	Adeline M. Bayly	Fred J. Teigmann		discharg'g No. 41660 1/4/62
47197	Grant	19 Mar. 1946	2 Apr. 1946	Chas. B. Jacobs, Etux	Joy Stanfield & Jack Stanfield, as joint tenants	\$1150.00	Part & O.L. See Sketch Attached. Restrictions. (lot 10 on Sketch)
47198	Grant	27 Mar. 1946	2 Apr. 1946	Chas. B. Jacobs, Etux	Glen M. McShirter	\$1150.00	Part & O.L. Restrictions. Lot 9 on Sketch
47284	Grant	3 Apr. 1946	13 Apr. 1946	John M. Dyke, Etux	Chas. B. Jacobs	\$800.00	Part & O.L. as in No. 47285 1/4/62
47285	Grant	29 Mar. 1946	13 Apr. 1946	Chas. B. Jacobs, Etux	John M. Dyke	\$1200.00	Part & O.L. Restrictions. (lot 12 on Sketch)
47286	Grant	2 Apr. 1946	13 Apr. 1946	Chas. L. MacKenzie, Etux	Chas. B. Jacobs	\$800.00	Part as in No. 47287 2/4/62
47287	Grant	2 Apr. 1946	13 Apr. 1946	Chas. B. Jacobs, Etux	Chas. L. MacKenzie	\$1200.00	Part. Wly 20' Lot 1, 380' Lot 2, on Sketch. Restrictions.
47388	Grant	9 Apr. 1946	1 May 1946	Charles B. Jacobs, Etux	Edwin J. Shipp	\$1200.00	Part. Lot 3 & Wly 10' of Lot 2 on Sketch. Restrictions.
47410	Grant	29 Mar. 1946	3 May 1946	Chas. B. Jacobs, Etux	James B. Duncan	\$650.00	Part. Sly 70' lot 1 on Sketch. Restrictions.
47534	Grant	14 Apr. 1946	19 May 1946	Gordon L. Davis, Etux	Charles B. Jacobs	\$800.00	Part & O.L. Lot 13 on Sketch. 2/4/62

OWNERS D.C. Cotton

TOWNSHIP OF TORONTO

LOTS SUBDIVIDED. Pt. 4 & 5, R2, C.I.R.

LOT NO Block "JH"

PLAN NO. E-09

32 × 10

DATE PLAN REGISTERED: 21 JULY 1941

OWNER: J. J. TALBOT, et al.

TOWNSHIP OF TORONTO

LOTS SUBDIVIDED INTO LOT 1, R.R. C.I.R. & Part Block G. Plan D.C.9.

SHEET NO. 1

LOT NO. 31

STREET: DONNELLY ST.

PLAN NO. 324

NUMBER	INSTRUMENT	DATE OF INSTRUMENT	DATE OF REGISTRATION	GRANTOR	GRANTEE	CONSIDERATION	REMARKS
1050955	D.M.	21 JUL 1947	21 JUL 1947	Wesley Davis	Frederick J. Telgmann		discharge No. 49475
1050956	D.M.	21 JUL 1947	21 JUL 1947	Wesley Davis	Frederick J. Telgmann		discharge No. 50109
154448	D.M.	21 JUL 1947	21 JUL 1947	Maggie S. Donnelly	Frederick J. Telgmann		discharge No. 49475
154449	D.M.	21 JUL 1947	21 JUL 1947	Frederick J. Telgmann	The Canada Life Insurance Co.	\$500.00	all r.o.k. 1/1/48
54953	Grant	24 FEB 1949	21 MAR 1949	Frederick J. Telgmann	John F. Cameron	\$3600.00	all r.o.k. restrictions
54954	Grant	14 MAR 1949	21 MAR 1949	John F. Cameron	Alice D. Cameron	\$2000.00	all r.o.k.
1054996	P.D.M.	25 FEB 1949	25 MAR 1949	The Canada Life Insurance Co.	Frederick J. Telgmann	\$1200.00	all r.o.k. discharged from No. 54499
154449	D.M.	21 JUL 1947	21 JUL 1947	Frederick J. Telgmann	Frederick J. Telgmann		discharge No. 49475
58543	D.M.	25 FEB 1949	21 MAR 1949	John F. Cameron	The Manufacturers Life Insurance Co. et al.	\$7000.00	all r.o.k. 16000.00
366	BY-LAW	12 OCT 1949	3 JULY 50	RE SUBDIV. CONTROL			
178	BY-LAW	1 JUNE 54	9 JUNE 54	RE SUBDIV. CONTROL			
1600556	D.M.	7 Oct 1971	15 Jan 1971	The Manufacturers Life Insurance Company	June E. Omand		discharge No. 58543
RO 1077531	Charge		94 10 20	OMAND, June Elizabeth	Bank of Montreal	40,000.00	ALL.

FEB 13 1981

MICROFILMED

NOTICE
All Document/Instruments
submitted to
MAR 11 1997 97/23/07
are processed by the Bureau of Abstracts
and set out in subsection 2(45) of the
REGISTRY ACT

PROPERTY DESCRIPTION: LT 31, PL 344 ; MISSISSAUGA; CITY OF MISSISSAUGA

PROPERTY REMARKS:

ESTATE/QUALIFIER:

FEE SIMPLE
LT CONVERSION QUALIFIED

RECENTLY:

RE-ENTRY FROM 13456-1008

PIN CREATION DATE:

1998/02/23

OWNERS' NAMES

RECHICHI, ALESSANDRO
ESPINOLA, ANITA

CAPACITY SHARE

JTEN
JTEN

REG. NUM.	DATE	INSTRUMENT TYPE	AMOUNT	PARTIES FROM	PARTIES TO	CERT/ CHKD
<p>**EFFECTIVE 2000/07/29 THE NOTATION OF THE "BLOCK IMPLEMENTATION DATE" OF 1997/03/18 ON THIS PIN**</p> <p>**WAS REPLACED WITH THE "PIN CREATION DATE" OF 1998/02/23**</p> <p>** PRINTOUT INCLUDES ALL DOCUMENT TYPES AND DELETED INSTRUMENTS SINCE 1998/02/23 **</p> <p>**SUBJECT, ON FIRST REGISTRATION UNDER THE LAND TITLES ACT, TO:</p> <p>** SUBSECTION 44(1) OF THE LAND TITLES ACT, EXCEPT PARAGRAPH 11, PARAGRAPH 14, PROVINCIAL SUCCESSION DUTIES *</p> <p>** AND ESCHEATS OR FORFEITURE TO THE CROWN.</p> <p>** THE RIGHTS OF ANY PERSON WHO WOULD, BUT FOR THE LAND TITLES ACT, BE ENTITLED TO THE LAND OR ANY PART OF</p> <p>** IT THROUGH LENGTH OF ADVERSE POSSESSION, PRESCRIPTION, MISDESCRIPTION OR BOUNDARIES SETTLED BY</p> <p>** CONVENTION.</p> <p>** ANY LEASE TO WHICH THE SUBSECTION 70(2) OF THE REGISTRY ACT APPLIES.</p> <p>**DATE OF CONVERSION TO LAND TITLES: 1998/02/24 **</p>						
TT54954	1949/03/21	TRANSFER		*** DELETED AGAINST THIS PROPERTY ***	OMAND, JUNE E.	
RO1077531	1994/10/20	CHARGE		*** COMPLETELY DELETED ***	BANK OF MONTREAL	
LT1889725	1998/11/26	TRANSFER		*** COMPLETELY DELETED *** OMAND, JUNE E.	OMAND, LORI OMAND, JUNE ELIZABETH	
LT1889726	1998/11/26	CHARGE		*** COMPLETELY DELETED *** OMAND, LORI OMAND, JUNE ELIZABETH	BANK OF MONTREAL	
LT2023187	1999/12/03	DISCH OF CHARGE		*** COMPLETELY DELETED ***		

NOTE: ADJOINING PROPERTIES SHOULD BE INVESTIGATED TO ASCERTAIN DESCRIPTIVE INCONSISTENCIES, IF ANY, WITH DESCRIPTION REPRESENTED FOR THIS PROPERTY.
NOTE: ENSURE THAT YOUR PRINTOUT STATES THE TOTAL NUMBER OF PAGES AND THAT YOU HAVE PICKED THEM ALL UP.

REG. NUM.	DATE	INSTRUMENT TYPE	AMOUNT	PARTIES FROM	PARTIES TO	CERT/ CHKD
		REMARKS: RE: RC1077531		BANK OF MONTREAL		
PR268499	2002/06/28	CHARGE		*** COMPLETELY DELETED *** OMAND, JUNE ELIZABETH OMAND, LORI	BANK OF MONTREAL	
PR308328	2002/09/03	NO SEC INTEREST		*** COMPLETELY DELETED *** ENBRIDGE SERVICES INC.		
		REMARKS: EXPIRY DATE IS AUGUST 27, 2007				
PR628587	2004/04/28	DISCHARGE INTEREST		*** COMPLETELY DELETED ***	ENBRIDGE SERVICES INC.	
		REMARKS: RE: PR308328				
PR833270	2005/04/14	CHARGE		*** COMPLETELY DELETED *** OMAND, JUNE ELIZABETH OMAND, LORI	BANK OF MONTREAL	
PR838655	2005/04/25	DISCH OF CHARGE		*** COMPLETELY DELETED *** BANK OF MONTREAL		
		REMARKS: RE: LT1889726				
PR881880	2005/07/05	DISCH OF CHARGE		*** COMPLETELY DELETED *** BANK OF MONTREAL		
		REMARKS: RE: PR268499				
PR1231291	2007/03/27	CHARGE		*** COMPLETELY DELETED *** OMAND, JUNE ELIZABETH OMAND, LORI	BANK OF MONTREAL	
PR1253748	2007/05/07	DISCH OF CHARGE		*** COMPLETELY DELETED *** BANK OF MONTREAL		
		REMARKS: RE: PR833270				
PR2409095	2013/07/31	TRANSMISSION-LAND		*** COMPLETELY DELETED *** OMAND, JUNE ELIZABETH-ESTAATE	OMAND, LORI OMAND, TODD	
PR2409096	2013/07/31	TRANS PERSONAL REP		*** COMPLETELY DELETED *** OMAND, LORI OMAND, TODD	OMAND, LORI	

REG. NUM.	DATE	INSTRUMENT TYPE	AMOUNT	PARTIES FROM	PARTIES TO	CERT/ CHKD
PR2409865	2013/07/31	CHARGE		*** COMPLETELY DELETED *** OMAND, LORI	THE BANK OF MONTREAL	
PR2416415	2013/08/15	DISCH OF CHARGE		*** COMPLETELY DELETED *** BANK OF MONTREAL		
REMARKS: PR1231291.						
PR2752097	2015/07/23	TRANSMISSION-LAND		*** COMPLETELY DELETED *** OMAND, LORI	BERGER, SUSAN LYNN OMAND, LORI - ESTATE	
PR2769697	2015/08/20	DISCH OF CHARGE		*** COMPLETELY DELETED *** THE BANK OF MONTREAL		
REMARKS: PR2409865.						
REMARKS: PLANNING ACT STATEMENTS.						
PR3051113	2016/12/20	DISCH OF CHARGE		*** COMPLETELY DELETED *** HOME TRUST COMPANY		
REMARKS: PR2989341.						



Arborist Report and Tree Preservation Plan for
191 Donnelly Drive
Mississauga, ON

Prepared for:

Richard Mann Architect Inc.
153 Woodhaven Park Drive
Oakville, Ontario
L6L 4K4
905-339-5260

Data Collected and Report Prepared by:

Stephen Shelton ON-0542
251 Third Line
Oakville, ON
L6L 4A2
(905) 827-9103
steve@arborcorp.ca

Ian Burnett ON-1938A
317 County Rd 5
Mallorytown, ON
K0E 1R0
(416) 579-3525
isburnett1987@gmail.com

13 February 2017



Table of Contents

Background Information.....	3
Methodology	3
Municipal Trees	3
Neighbouring Trees	4
Observations.....	4
Tree Protection Recommendations	5
Conclusions	6
Appendix 1 Detailed Tree Data Graph.....	7
Appendix 2 Tree Locations	9
Appendix 3 Tree Inventory Methodology	10
Appendix 4 Tree Inventory Methodology	11
Appendix 5 Management Recommendations	12
Appendix 6 Tree Protection Barriers.....	13
Appendix 7 Municipal Tree Photo(s).....	14
Appendix 8 Appraisal Calculations	15
Appendix 9 Staff Credentials and Qualifications.....	16
Appendix 10 Limitations of Assessment	18



Background Information

This report has been prepared in preparation for the application of a Demolition and Building Permit in the City of Mississauga. The owner of this property intends to build a new home on the property. The Arborcorp Tree Experts have been retained to provide an inventory of the existing trees, to give an overview of their current state of health and structure and to monitor the trees condition throughout the construction process. At the time of this inspection no construction activities had been started on this property. This report summarizes our findings and recommendations.

Methodology

The tree inventory and assessment was conducted on 13 February 2017. There are twenty eight (28) trees included in this report. The existing trees have been numbered and identified on the site plan provided by Richard Mann Architect Inc. Each tree was assigned a unique number and detailed data was collected.

A preservation priority rating was assigned to each tree based on its current health and structure. Typically, under existing conditions, trees having a high or moderate preservation priority rating are recommended for preservation, and those with a low rating are recommended for removal. Recommendations were assigned to preserve or remove each tree based on its current health and/or structure, and the expected impact from the proposed development. A final recommendation has been made of each tree that takes into account the tree's current biological health, structural condition, and the anticipated development impacts.

The scope of this report involves the identification of the existing trees on the property and to identify tree protection methods throughout the construction process.

Tree valuations for the municipal trees were calculated using the Replacement Cost Method as described in the Guide to Plant Appraisal 9th Edition. Species ratings were determined from the Ontario Supplement of this text.

Municipal Trees

There are four (4) municipal trees included in this report.

Tree number one (1) is a 7cm dbh Red Maple that is located near the south west corner of the front lawn. This tree is in fair condition and additional protective measures have been recommended.

Tree number two (2) is a 31cm dbh Norway Spruce that is located on the south side of the existing driveway. This tree is in fair condition and additional protective measures have been recommended.

Tree number three (3) is a 51cm dbh Norway Maple that is located near the north west corner of the front lawn. This tree is in fair condition and additional protective measures have been recommended.

Tree number four (4) is a 25cm dbh Hick's Yew that is located near the south west corner of the front lawn at 201 Donnelly Drive. This tree is in fair condition and additional protective measures have been recommended.

Additional information on these trees can be found in Appendix 1, and a valuation of these trees can be found in Appendix 8.



Neighbouring Trees

There are four (4) neighbouring trees within 6m of the property line.

Tree number twenty-five (25) is an 80cm dbh White Pine that is located near the south east corner of the dwelling at 201 Donnelly Drive. This tree is in good condition and additional protective measures have been recommended.

Tree number twenty-six (26) is a 95cm dbh Red Oak that is located near the center of the backyard at 201 Donnelly Drive. This tree is in good condition and additional protective measures have been recommended.

Tree number twenty-seven (27) is a 45cm dbh Blue Spruce that is located near the south east corner of the backyard at 201 Donnelly Drive. This tree is in good condition and additional protective measures have been recommended.

Tree number twenty-eight (28) is a 45 cm dbh White Oak that is located near the south east corner of the backyard at 201 Donnelly Drive. This tree is in good condition and additional protective measures have been recommended.

Additional information on these trees can be found in Appendix 1.

Observations

There are twenty (20) privately owned trees on this property.

Tree number five (5) is a twin stem White Oak that is located on the north side of the existing driveway. This tree is in fair condition and additional protective measures have been recommended.

Tree number six (6) is a 46 cm dbh Balsam Fir that is located near the front door of the existing home. This tree is in fair condition, however it has been recommended for removal due to development impacts.

Tree number seven (7) is a 34cm dbh Honey Locust that is located near the south west corner of the front lawn. This tree is in fair condition and additional protective measures have been recommended.

Tree number eight (8) is a 23cm dbh Mulberry that is located adjacent to tree number seven (7). This tree is an undesirable invasive species however no negative impacts are expected from the proposed construction.

Tree number nine (9) is a 49cm dbh White Pine that is located near the south west corner of the existing structure. This tree is in fair condition and additional protective measures have been recommended.

Tree number ten (10) is a 40cm dbh Norway Spruce that is located adjacent to tree number nine (9). This tree is in fair condition and additional protective measures have been recommended.

Tree number eleven (11) is a 20/13cm dbh Mulberry that is located on the property line on the south side of the existing dwelling. This tree is an undesirable invasive species however no negative impacts are expected from the proposed construction.

Tree number twelve (12) is a 48cm dbh Norway Spruce that is located near the south east corner of the existing dwelling. This tree is in good condition and additional protective measures have been recommended.



Tree number thirteen (13) is a 22cm dbh Norway Spruce that is located on the south property line in the backyard. This tree is in good condition and additional protective measures have been recommended.

Tree number fourteen (14) is a 29cm dbh Norway Spruce that is located on the south property line in the backyard. This tree is in good condition and additional protective measures have been recommended.

Tree number fifteen (15) is a 52cm dbh Norway Spruce that is located on the south property line in the backyard. This tree is in good condition and additional protective measures have been recommended.

Tree number sixteen (16) is a 59cm dbh Norway Spruce that is located on the south property line in the backyard. This tree is in good condition and additional protective measures have been recommended.

Tree number seventeen (17) is a 42cm dbh Norway Spruce that is located on the south property line in the backyard. This tree is in good condition and additional protective measures have been recommended.

Tree number eighteen (18) is an 18/17cm dbh Crabapple that is located near the south east corner of the backyard. This tree is in very poor condition however no negative impacts are expected from the proposed construction.

Tree number nineteen (19) is a 109cm dbh Red Oak that is located near the middle of the backyard. This tree is in fair condition and additional protective measures have been recommended.

Tree number twenty (20) is an 83cm dbh White Pine that is located near the south east corner of the proposed dwelling. This tree is in fair condition however it is recommended for removal due to development impacts

Tree number twenty-one (21) is a 60cm dbh White Pine that is located near the middle of the backyard. This tree is in poor condition and is recommended for removal.

Tree number twenty-two (22) is a 34 cm dbh Paper Birch that is located 3m east of tree twenty-one (21). This tree is in very poor condition and is recommended for removal.

Tree number twenty-three (23) is a 37cm dbh Paper Birch that is located near the north property line in the middle of the backyard. This tree is in good condition and additional protective measures have been recommended.

Tree number twenty-four (24) is a 71cm dbh White Pine that is located near the north east corner of the proposed dwelling. This tree is in good condition and additional protective measures have been recommended.

Additional information on these trees can be found in Appendix 1.

Tree Protection Recommendations

The Following recommendations shall serve as guidelines for specific trees. These recommendations are intended to protect specific trees throughout the construction process. Protective tree hoarding shall be constructed according to City of Mississauga specifications and will consist of orange snow fencing with two by four frame top and bottom. The Arborcorp Tree Experts have been retained to ensure that all tree protection measures are being followed.



Tree numbers one (1), two (2), five (5), six (6) and seven (7) shall have protective tree hoarding erected 3.6m from the base of the trees on the north, east and west sides, terminating at the south property line.

Tree number three (3) shall have protective tree hoarding erected 3m from the base of the tree on all four sides. An encroachment is expected into the recommended TPZ of tree number three (3). A qualified member of Arborcorp's staff shall be present during the excavation process to direct, monitor and inspect any excavation activity inside the TPZ. Additional protective measures if any shall be recorded and recommended at this time.

Tree number four (4) shall have protective tree hoarding erected 2.4m from the base of the tree on all four sides

Tree numbers nine (9) to twenty-seven (27) shall have protective tree hoarding erected as a one-piece unit erected 3.6m from the base of the trees on the east, south and west sides, terminating at the north property line.

Tree numbers twenty-eight (28) to forty-six (46) shall have protective tree hoarding erected as a one-piece unit erected 3m from the base of the trees on the north, east and west sides, terminating at the south property line.

In addition to these specific recommendations all of the guidelines indicated in Appendix 5 shall be adhered to throughout the construction process. The Arborcorp Tree Experts have been retained to complete all required arboricultural actions.

Conclusions

There are twenty-eight (28) trees associated with this property, five (5) of which will be affected by the proposed construction. There are four (4) municipal trees associated with this project. Tree preservation recommendations have been made for all trees affected by the proposed construction. There are four (4) trees recommended for removal. Tree removals shall be carried out in accordance with the City of Mississauga's Private Tree Protection By-Law.



Appendix 1 Detailed Tree Data Graph

Tree No.	Tree Species	Latin Name	Municipal Address	DBH (cm)	Height (m)	Crown Reserve (m)	Crown Height (m)	Biological Health	Structural Conditions	Minimum Required TPZ	Municipal Tree	Recommendation Based on Health & Structure	Recommendation Based on Development Impacts	Final Recommendation	Observations / Comments
1	Red Maple	<i>Acer rubrum</i>	191	7	3	1	2	M	M	1.8	Y	P	P	P	RP; DC
2	Norway Spruce	<i>Acer platanoides</i>	191	31	13	3	8	M	M	2.4	Y	P	P	P	RP; DC
3	Norway Maple	<i>Acer platanoides</i>	191	51	18	10	10	M	M	3.6	Y	P	P	P	5LNW; CT; RP
4	Hick's Yew	<i>Taxus canadensis</i>	201	25	4	7	7	M	M	2.4	Y	P	P	P	RP; ML
5	White Oak	<i>Quercus alba</i>	191	91/79	22	20	15	M	M	6	N	P	P	P	2FK@3; RP; DW
6	Balsam Fir	<i>Abies balsamea</i>	191	46	20	8	15	M	M	3	N	P	R	R	RP; DC; DW
7	Honey Locust	<i>Gleditsia triacanthos</i>	191	34	16	5	8	M	L	2.4	N	P	P	P	CT; LS; 1-SD; RP; DC
8	Mulberry	<i>Morus alba</i>	191	23	5	5	4	M	M	2.4	N	P	R	R	RP; DC; ML
9	White Pine	<i>Pinus strobus</i>	191	49	20	7	10	M	M	3	N	P	P	P	RP; ML
10	Norway Spruce	<i>Picea glauca</i>	191	40	18	7	16	M	M	2.4	N	P	P	P	RP; DW; LS
11	Mulberry	<i>Morus alba</i>	191	20/13	5	5	4	H	H	2.4	N	P	R	R	RP; DC
12	Norway Spruce	<i>Picea glauca</i>	191	48	20	7	10	H	H	3	N	P	P	P	LS; 1-SD; RP
13	Norway Spruce	<i>Picea glauca</i>	191	22	15	5	7	H	H	2.4	N	P	P	P	LW; 1-SD; RP
14	Norway Spruce	<i>Picea glauca</i>	191	29	18	5	10	M	M	2.4	N	P	P	P	LS; 1-SD; RP

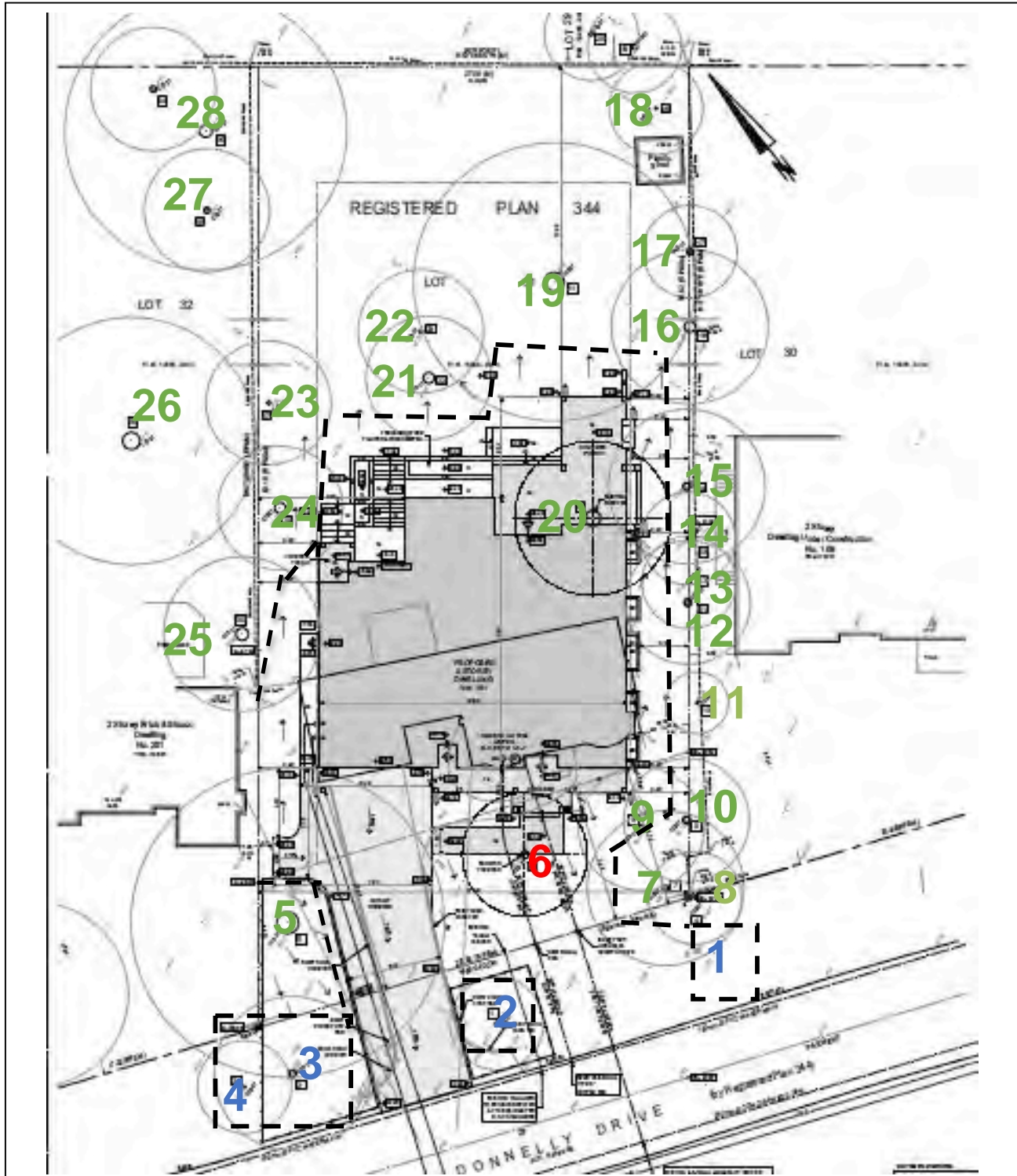


Tree No.	Tree Species	Latin Name	Municipal Address	DBH (cm)	Height (m)	Crown Reserve (m)	Crown Height (m)	Biological Health	Structural Conditions	Minimum Required TPZ	Municipal Tree	Recommendation Based on Health & Structure	Recommendation Based on Development Impacts	Final Recommendation	Observations / Comments
15	Norway Spruce	<i>Picea glauca</i>	191	52	20	7	10	H	H	3.6	N	P	P	P	LS; 1-SD; RP
16	Norway Spruce	<i>Picea glauca</i>	191	59	22	10	18	M	M	3.6	N	P	P	P	LS; 1-SD; RP
17	Norway Spruce	<i>Picea glauca</i>	191	42	18	5	9	M	M	3	N	P	P	P	LS; 1-SD; RP
18	Crabapple	<i>Malus spp.</i>	191	18/17	4	3	3	L	L	2.4	N	P	P	P	DE; RM
19	Red Oak	<i>Quercus rubra</i>	191	109	20	15	10	M	M	6	N	P	P	P	RP; DW; CT; PP
20	White Pine	<i>Pinus strobus</i>	191	83	22	15	10	M	M	5.2	N	P	R	R	RP; DW; 1-SD
21	White Pine	<i>Pinus strobus</i>	191	60	20	10	15	M	M	3.6	N	P	R	R	RP; DW; 5LNSE
22	Paper Birch	<i>Betula papyrifera</i>	191	34	5	5	7	L	L	2.4	N	R	R	R	DE; RM
23	Paper Birch	<i>Betula papyrifera</i>	191	37	15	5	10	M	M	2.4	N	P	P	P	10LNE; RP; ST
24	White Pine	<i>Pinus strobus</i>	191	71	22	12	18	M	M	4	N	P	P	P	TP; DW; DE
25	White Pine	<i>Pinus strobus</i>	201	80	25	15	10	H	H	4	N	P	P	P	RP; DW; 5LNW
26	Red Oak	<i>Quercus rubra</i>	201	95	20	15	10	H	H	6	N	P	P	P	RP; TW; WNC
27	Blue Spruce	<i>Picea pungens</i>	201	45	16	7	16	H	H	3	N	P	P	P	RP ; DW
28	White Oak	<i>Quercus alba</i>	201	45	15	10	10	H	H	3	N	P	P	P	RP; DC

Items highlighted in yellow are recommended for removal
Trees highlighted in green are municipally owned



Appendix 2 Tree Locations



Note: The proposed Tree Protection Zone (TPZ) hoarding shown as - - lines and are not to scale on this drawing



Appendix 3 Tree Inventory Methodology

DBH (cm)	Diameter at breast height, 1.4m above ground, measured in centimeters.
Height (m)	Height of tree from ground to top of crown.
Crown Reserve (m)	Crown diameter (tree's canopy) measured at intervals of 1, 3, 5, 7.5, 10, 15 meters.
Biological Health	<p>Related to presence and extent of disease/disease symptoms and the vigour of the tree.</p> <p>H (high) - No disease or disease symptoms present, moderate to high vigour.</p> <p>M (Moderate) - Presence of minor diseases/disease symptoms, and/or moderate vigour.</p> <p>L (Low) - Presence of diseases/disease symptoms, and/or severely poor vigour.</p>
Structure Condition	<p>Related to defects in a tree's structure, (i.e., lean, co dominant stems).</p> <p>H (High) - No structural defects, well-developed crown.</p> <p>M (Moderate) - Presence of minor structural defects.</p> <p>L (Low) - Presence of major structural defects.</p>
Position on Site	AP—above ground planter; ED - edge of forest or woodland; IN— interior of forest or woodland; HR - hedgerow, or group of trees in a line; OG-open grown; PI - planting island.
Preservation Priority	<p>A rating of each tree's projected survival related to existing conditions.</p> <p>1 (high) - high to moderate biological health, and well developed crown. Well suited as a shade tree of screen planting. Will survive existing conditions indefinitely.</p> <p>2 (moderate) - one or more moderate to severe defects in biological health and/or structural condition. Marginally suited as a shade tree or screen planting. Can survive at least 3 - 5 years under existing conditions. This category also includes stock planted within past 2 years that is not yet established.</p> <p>3 (low) - low biological health and/or severely damaged/defective structural condition, and/or unsuitable for urban uses. If biologically defective, survival for more than 1 - 3 years under existing conditions is unlikely.</p>
Tree Location	Tree is located on Subject Property – S; Tree is located on neighbouring property – N; Tree is located on property line – PL
Municipal tree	Tree is located on the property of the local municipality/town. Y = Municipal tree.
Site Dev. Impact	Impact to tree is anticipated from proposed development at or near the tree, and/or grade changes (cut/fill) of which the tree is not likely to survive. 1 - Site dev. impact.
Rec. Action	<p>A recommendation to preserve or remove a tree based on i) anticipated impacts from proposed development, ii) the tree's current biological health and structural condition, and iii) having a moderate to high hazard potential.</p> <p>P (preserve) - tree having moderate to high biological health and moderate to low structural defects. Tree is likely to survive at least 3-5 years.</p> <p>R (remove) - tree having low biological health and/or severe structural defects, and is not likely to survive more than 1-3 years, and/or will not survive proposed development.</p> <p>C (conditional) - tree's preservation or removal is related to potential relocation/modification of the limit of construction, and/or known treatments that will likely improve the biological health and/or structural condition of the tree. May require review of tree's condition, e.g., roots, at time of construction/excavation. Also applies to trees that may require further or regular evaluation.</p>
Action Priority	A rating which relates to the urgency of treatment(s). H - high (immediate), M - moderate (within 2 years), L - low (little or no action required)



Appendix 4 Tree Inventory Methodology

1-SD=	1 SIDED CROWN	PL=	POOR LEADER DEVELOPMENT
BC=	BROKEN CROWN	PP=	PAST PRUNING
BN=	BARK NECROSIS	PTH=	PLANTED TO HIGH
BR=	BROKEN BRANCH	PTL=	PLANTED LOW
BSD=	BASAL TRUNK DAMAGE	RAC=	REVIEW ACTION DURING CONSTRUCTION
BT=	BENT TRUNK	RB=	REMOVE BASKET/ BURLAP
CD=	CROWN DIEBACK	RC(#)=	REQUIRES CABLING AND NUMBER
CK=	CHLORONIC LEAVES	RM=	REMOVE PLANT
CL=	CROWN NECROSIS	RP=	REQUIRES PRUNING AND/OR THINNING
CT=	CROOKED CROWN	RS=	REMOVE STRING/ TAG/ WIRE
DC=	DEVELOPED CROWN FORM	RU=	REMOVE TREE TO PROMOTE UNDERSTORY
DE=	DISEASED	SB=	SPROUTS AT TRUNK BASE
DED=	DUTCH ELM DISEASE	SC=	SPROUTS IN CROWN
DF=	DEFOLIATED	SF=	SUPERIOR TREE FORM
DL=	DEVELOP LEADER	ST=	SPROUTS ON TRUNK
DW=	DEADWOOD	TC=	THIN CROWN (REDUCED FOLIAGE)
ER=	EXPOSED ROOTS	TD=	TRUNK DECAY
ETB=	ENLARGED TRUNK BASE	TG=	TRUNK/ STEM GIRDLING ROOT
FK#@XM=	# OF TRUNKS, HT. ABOVE GROUND	TK(#)=	MULTIPLE TRUNKS AT OR BELOW GROUND
FC=	FROST CRACKS	TOB=	LOCATED AT TOP OF BANK
GC=	ANTICIPATED IMPACT FROM GRADE CHANGE	TP=	TRANSPLANT POTENTIAL
GR=	GIRDLING ROOT(S)	TNR=	TRANSPLANT NOT RECOMMENDED
HP=	HAZARD POTENTIAL OF TREE	TRS=	TRANSPLANT STRESS
IU=	INSPECT UNDER SOIL FOR WIRES/ STRINGS/ETC	TS=	TRUNK SPLIT
LC=	LIVE CROWN, LC 20%- 20% LIVE CROWN	TT=	TWISTED TRUNK
LN=	LEAN: L (LOW, <5°), M(MODERATE, 5-15°), (HIGH, >15°); (N, E, S, W) INDICATES DIRECTION OF LEAN	TW=	TRUNK WOUND
LS=	LIGHT SUPPRESSED	UC=	UNBALANCED CROWN (N,E,S,W) INDICATES WEIGHTED SIDE OF CROWN
MB=	MULTI-BRANCH NODE ON TRUNK	UW=	TREE UNDER/ OVER POWER WIRES
ML=	MULTIPLE LEADERS	VC=	VINE COVERED
OS=	OFF SITE TREE	WC=	WOUND COMPARTMENTALIZED
PC=	POLLARDED CROWN	WNC=	WOUND NOT COMPARTMENTALIZED

Directions (N,S,E,W)

LN(L-S) = minor lean to the south

Quantified Conditions (defects, diseases) e.g.

L (low, minor), M (moderate), H (high, severe)
e.g. CT(H) = severely crooked stem



Appendix 5 Management Recommendations

The following steps should be taken to remove trees, to assess the conditions of trees at time of tree works and excavation, and to protect trees identified for preservation. A qualified arborist or professional forester should oversee implementation of tree works.

A. Prior to Construction:

- 1 Mark trees for treatments as outlined in the detailed tree assessment descriptions. Ensure that branches and/or trees are removed so as not to damage trees to be preserved. Prune trees to correct/improve structure; remove deadwood, snags, and clear limbs that are likely to be impacted from proposed structures. Treatments are to be carried out prior to commencement of construction. Details of tree pruning and thinning recommendations are to be provided at the time of tree work activities.
- 2 Erect tree protection fencing (1.5 meter high plywood hoarding, paige wire fencing or equivalent) around trees to be preserved approximately 1 meter outside the drip line of the trees. Where this is not possible and changes to grades will occur within the tree's drip line, onsite inspection is required to identify the full and precise extent of disturbance to each tree and to determine additional protection measures. However if more than 25% of the root system is to be compromised, preservation is not recommended.
- 3 Identify areas on site to be used to stockpile and store soils, supplies and materials so that they do not impact trees to be preserved. Do not pile materials within the drip line of the trees to be preserved.
- 4 Identify and locate routes to be used by large, heavy excavation and building machinery. Do not drive equipment within the drip line of trees to be preserved.

B. During Construction:

- 1 Excavation works near trees to be preserved must be conducted carefully so as to minimize impacts. Where necessary, pruning of excavated or damaged roots and limbs should be conducted by qualified personnel. All exposed roots of trees to be preserved must be kept moist and covered at all times.
- 2 On-site guidance to preserve/remove trees based on underground findings at time of excavation is recommended.

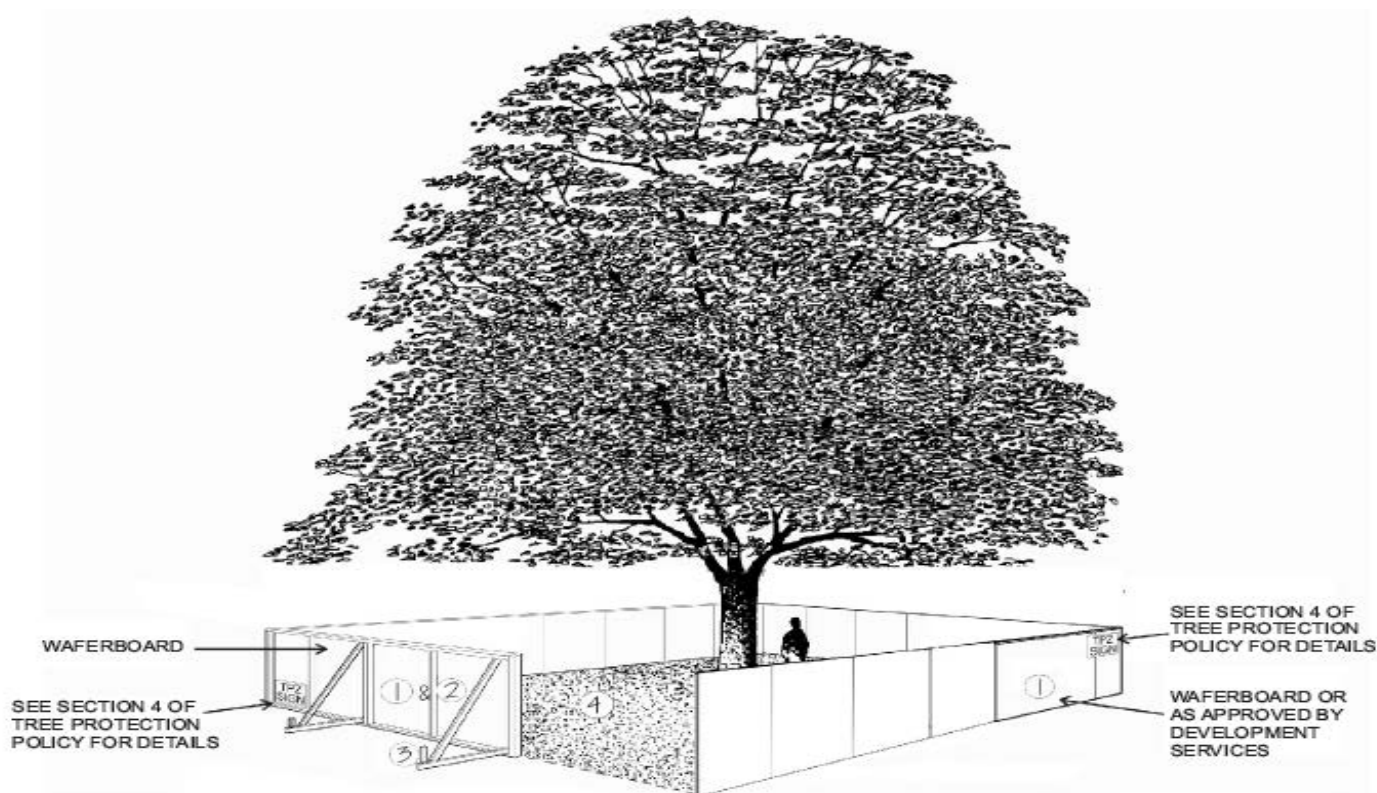
C. Following Construction Including Lot Grading:

- 1 Fertilize trees that receive crown/root pruning with a slow release fertilizer. In the absence of soil and/or foliar nutrient analysis, a fertilizer ratio of 3:1:1 should be used.
- 2 Where possible and in consultation with the arborist/landscape architect apply a mixture of wood chips and $\frac{3}{4}$ clear gravel over tree root zones that may be encroached. Depth of cover and extent of area covered shall be determined on a per case basis.
- 3 Use light soils where fill is required up to a depth of 6 inches. Where depth of fill is greater than 6 inches, retaining wall structures and/or vertical mulching are recommended. Local drainage patterns within the root zones of trees to be preserved should be maintained as existing.
- 4 Monitor the health and condition of trees annually for 5 years.



Appendix 6 Tree Protection Barriers

Tree Protection Procedure EN-TRE-001-001



- ① Tree protection barriers must be 1.2m (4ft.) high, waferboard hoarding or an equivalent approved by Development Services.
- ② Where earthworks material is to be temporarily located near a tree protection barrier, plywood must be used to ensure no material enters the Tree Protection Zone.
- ③ All supports and bracing should be outside the Tree Protection Zone. All such supports should minimize damaging roots outside the Tree Protection Barrier.
- ④ No construction activity, grade changes, surface treatment, or excavations of any kind is permitted within the Tree Protection Zone.

Tree Protection Zones	
Trunk Diameter (DBH)	Minimum Protection Distances Required
Less than 10cm	1.8m
11-40cm	2.4m
41-50cm	3.0m
51-60cm	3.6m
61-70cm	4.2m
71-80cm	4.8m
81-90cm	5.4m
91-100+cm	6.0m



Appendix 7 Municipal Tree Photo(s)

Tree Number 1



Tree Number 2



Tree Number 3 and 4





Appendix 8 Appraisal Calculations

Tree Number	Tree Species	Diameter of Appraised Tree (cm)	Area Of Appraised Tree (cm)	Diameter of Replacem ent Tree (cm)	Area of the Replacem ent Tree (cm)	Cost of Replacem ent Tree	Basic Price	Species Rating	Basic Value	Location Rating	Condition s Rating	Appraised Value
1	Red Maple	7	38.465	8	50.24	997.5	19.8547	61.00%	854.8887	75.00%	70.00%	448.816553
2	Norway Spruce	31	754.385	6	28.26	927.5	32.82024	71.00%	17847.93	75.00%	65.00%	8700.86784
3	Norway Maple	51	2041.785	10	78.5	1137.5	14.49045	68.00%	20482.74	75.00%	55.00%	8449.12819
4	Hick's Yew	25	490.625	3	7.065	577.5	81.74098	72.00%	29036.7	75.00%	70.00%	15244.2675

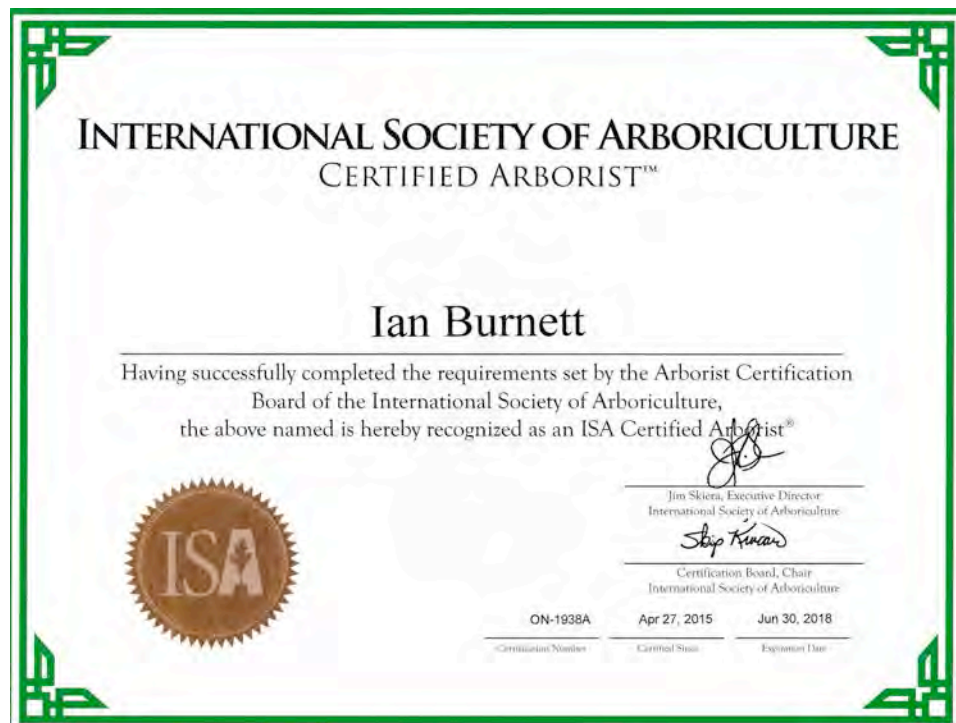


Appendix 9 Staff Credentials and Qualifications





7.7 - 108





Appendix 10 Limitations of Assessment

It is the policy of Arborcorp Tree Experts Ltd. to attach the following clause regarding limitations. We do this to ensure that developers, agencies, municipalities and owners are clearly aware what is technically and professionally realistic in retaining trees.

The assessment of the trees presented in this report has been made using accepted arboricultural techniques. These include a visual examination of the above ground parts of each tree for structural defects, scars, external indications of decay such as fungal fruiting bodies, evidence of insect attack and crown dieback, discolored foliage, the condition of any visible root structures, the degree and direction of lean, the general condition of the trees and the surrounding site, and the proximity of property and people. Except where specifically noted in the report, none of the trees examined were dissected, cored, probed, or climbed, and detailed root crown examinations involving excavation were not undertaken.

Trees greater than 100 mm in DBH have been assessed for structural integrity by following the methodology in the International Society of Arboriculture's (ISA) "Evaluation of Hazard Trees in Urban Areas", Second Edition. Monetary values for trees have been determined using the Guide for Plant Appraisal 9th Edition's replacement cost method.

Notwithstanding the recommendations and conclusions made in this report, it must be realized that trees are living organisms, and their health and vigour constantly change over time. They are not immune to changes in site conditions, or seasonal variations in the weather conditions, including severe storms with high-speed winds.

While reasonable efforts have been made to ensure that the trees recommended for retention are healthy no guarantees are offered, or implied, that these trees, or any parts of them, will remain standing. It is both professionally and practically impossible to predict with absolute certainty the behavior of any single tree or group of trees or their component parts in all circumstances. Inevitably, a standing tree will always pose some risk. Most trees have the potential for failure in the event of adverse weather conditions, and this risk can only be eliminated if the tree is removed.

Although every effort has been made to ensure that this assessment is reasonably accurate, the trees should be re-assessed periodically. The assessment presented in this report is valid at the time of the inspection.

This 18 Page report was prepared by

Stephen W. Shelton
Arborcorp Tree Experts
ISA Certified Arborist ON-0542AT

City of Mississauga Memorandum



Date: 2017/05/02

To: Chair and Members of Heritage Advisory Committee

From: P. Wubbenhorst, Senior Heritage Coordinator

Meeting Date: 2017/05/09

Subject: Reduction of Mineola Cultural Landscape

The Heritage Advisory Committee made the following recommendation at its April meeting:

HAC-0028-2017

1. That Heritage staff be directed to report back to the Heritage Advisory Committee on the implementation and effect of reducing the size of the Mineola Cultural Landscape to properties fronting on Stavebank Road.
2. That any individually listed properties remain on the current City's Heritage Register.

Background

The Corporate Report entitled "Removal or reduction of Cultural Landscape Properties from City's Heritage Register," dated January 19, 2017, recommends that the Cultural Landscape Inventory remain status quo, pending completion of Recommendation 6 of the Heritage Management Strategy (HMS, 2016). (See item 7.8 here: https://www7.mississauga.ca/documents/committees/heritage/2017/2017_04_11_HAC_Agenda.pdf.) Recommendation 6 of the HMS called for a thorough review of the Cultural Landscape Inventory. Staff are currently developing a capital funding request for this project. If funding is approved, the project will commence in 2018.

The other option, presented in the January report, was that any removal of Cultural Landscape properties from the City's Heritage Register be: "subject to review against the Cultural Landscape Inventory criteria for listing."

Implementation

At the April Heritage Advisory Committee meeting, the committee discussed removing all of the properties in the Mineola Cultural Landscape, save for those that are individually listed and those fronting Stavebank Road, ahead of the comprehensive review planned for 2018. Staff recommend that, before this removal takes place, that the properties are reviewed against the Cultural Landscape criteria as mentioned above. As per option 3 of the previous report on the topic, dated October 24, 2016 (also at the link above), the City's Heritage Advisory Committee could assist with this review.

Removal of Properties from the Heritage Register

Section 27.1.3 of the Ontario Heritage Act states that: "Where the council of a municipality has appointed a municipal heritage committee, the council shall, before including a property that has not been designated under this Part in the register under subsection (1.2) or removing the reference to such a property from the register, consult with its municipal heritage committee."

Ministry staff advise that: "Though not required, if what originally led council to believe a non-designated property was of cultural heritage value or interest was supported by an evaluation against O.Reg. 9/06 or other criteria, then certainly council and the public would benefit from a similar evaluation that leads council to believe that a property is no longer of cultural heritage value or interest before making a decision to remove it from the register."

To be clear, Council in consultation with the Heritage Advisory Committee, can remove properties from the City's Heritage Register without any review. However, it is not recommended.

Effect

The current cultural landscape boundary is demonstrated by the green shading in the map attached as Appendix 1. The effect of reducing the Mineola Cultural Landscape to only the properties fronting Stavebank Road, save for listed and designated (including properties protected with a notice of intent to designate) is illustrated in the map attached as Appendix 2. The corresponding list of addresses to be considered for removal is attached as Appendix 3. Properties fronting onto the Credit River Corridor would remain listed as they form part of that landscape. If the Mineola landscape is reduced as this map outlines, Heritage Planning staff will no longer have the opportunity to comment on the potential cultural heritage value related to any building permit, development application or environmental assessment, etc. for any of the properties removed from the City's Heritage Register.

Since the Cultural Landscape Inventory was enacted in 2005, staff have gathered research on some of the other properties in this area that do not have an individual listing and do not front onto Stavebank Road. These properties merit further research and analysis to determine if they merit individual listing:

1312 Hurontario Street: Home of local architect Dixie Cox Cotton

46 Mineola Road West: Second home of artist Hilton Hassell in Mineola – he and wife Elizabeth dubbed it “Tennyson’s Brook”

1261 Minaki Road: one of two properties known to have been built in Mineola by Hilton MacDonald Hassell (1910-1980), and his father, Hilton George Samuel Hassell

229 Mineola Road West: one of two properties in Mineola known to have been built by Hilton MacDonald Hassell (1910-1980), and his father, Hilton George Samuel Hassell

289 Mineola Road West: This property was the gardener's house for "Atholl Brae," 1341 Stavebank Road

1363 Wendigo Trail: Arts and crafts property associated with Kenneth Skinner

Options

- Take no action at this time but incorporate the Mineola Cultural Landscape into the 2018 review process
- Review all properties within the Mineola Cultural Landscape with the assistance of HAC members to review all properties and recommend a final list of properties to be removed
- Remove all properties from the Mineola cultural landscape without review, save for those abutting the Credit River (which are part of the Credit River Corridor Cultural Landscape), those abutting Stavebank Road, designated properties (including those protected with a notice of intent to designate) and those individually listed on the Heritage Register, as shown in Appendix 2.

Attachments

Appendix 1: Current map of Mineola Cultural Landscape

Appendix 2: Proposed map of Mineola heritage properties, as per April 2017 HAC meeting

Appendix 3: List of addresses

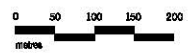
	7.8 - 4		
Heritage Advisory Committee		2017/05/02	4

Prepared by: P. Wubbenhorst, Senior Heritage Coordinator

heritage area.tbl



HERITAGE AREA



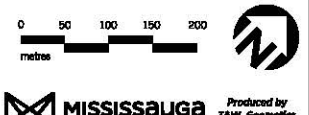
MISSISSAUGA

Produced by
T&W, Geomatics

2017/04/24

sancam

I:\cadd\Projects\175484 Mineola Heritage Mapping_CPI\Vector\Mineola West Heritage Area.DGN



7.8 - 7
Appendix 3

STREET NO.	STREET NAME	POSTAL CODE
1346	AVONBRIDGE DR	L5G 3G5
1356	AVONBRIDGE DR	L5G 3G5
1357	AVONBRIDGE DR	L5G 3G6
1364	AVONBRIDGE DR	L5G 3G5
1365	AVONBRIDGE DR	L5G 3G6
1374	AVONBRIDGE DR	L5G 3G5
1375	AVONBRIDGE DR	L5G 3G6
1382	AVONBRIDGE DR	L5G 3G5
1383	AVONBRIDGE DR	L5G 3G6
1388	AVONBRIDGE DR	L5G 3G5
1390	AVONBRIDGE DR	L5G 3G5
1391	AVONBRIDGE DR	L5G 3G6
1397	AVONBRIDGE DR	L5G 3G6
1398	AVONBRIDGE DR	L5G 3G5
1403	AVONBRIDGE DR	L5G 3G6
1408	AVONBRIDGE DR	L5G 3G5
1409	AVONBRIDGE DR	L5G 3G6
1414	AVONBRIDGE DR	L5G 3G5
1415	AVONBRIDGE DR	L5G 3G6
1420	AVONBRIDGE DR	L5G 3G5
1421	AVONBRIDGE DR	L5G 3G6
1426	AVONBRIDGE DR	L5G 3G5
1427	AVONBRIDGE DR	L5G 3G6
1432	AVONBRIDGE DR	L5G 3G5
1433	AVONBRIDGE DR	L5G 3G6
1438	AVONBRIDGE DR	L5G 3G5
1439	AVONBRIDGE DR	L5G 3G6
1444	AVONBRIDGE DR	L5G 3G5
1445	AVONBRIDGE DR	L5G 3G6
1379	BIRCHWOOD DR	L5J 1T3
1330	BIRCHWOOD HEIGHTS DR	L5G 2Y2
1349	BIRCHWOOD HEIGHTS DR	L5G 2Y3
1352	BIRCHWOOD HEIGHTS DR	L5G 2Y2
1359	BIRCHWOOD HEIGHTS DR	L5G 2Y3
1362	BIRCHWOOD HEIGHTS DR	L5G 2Y2
1363	BIRCHWOOD HEIGHTS DR	L5G 2Y3
1363	BIRCHWOOD HEIGHTS DR	
1371	BIRCHWOOD HEIGHTS DR	L5G 2Y3
1372	BIRCHWOOD HEIGHTS DR	L5G 2Y2
1379	BIRCHWOOD HEIGHTS DR	L5G 2Y3
1380	BIRCHWOOD HEIGHTS DR	L5G 2Y2
1388	BIRCHWOOD HEIGHTS DR	L5G 2Y2
1389	BIRCHWOOD HEIGHTS DR	L5G 2Y3
1397	BIRCHWOOD HEIGHTS DR	L5G 2Y3
1400	BIRCHWOOD HEIGHTS DR	L5G 2Y2

7.8 - 8
Appendix 3

1403	BIRCHWOOD HEIGHTS DR	L5G 2Y3
1404	BIRCHWOOD HEIGHTS DR	L5G 2Y2
1407	BIRCHWOOD HEIGHTS DR	
1412	BIRCHWOOD HEIGHTS DR	L5G 2Y2
1392	BRACKENCREST RD	L5G 2W5
1393	BRACKENCREST RD	L5G 2W6
1400	BRACKENCREST RD	L5G 2W5
1401	BRACKENCREST RD	L5G 2W6
1408	BRACKENCREST RD	L5G 2W5
1416	BRACKENCREST RD	L5G 2W5
1586	CALVERTON CRT	L5G 2W3
1590	CALVERTON CRT	L5G 2W3
1591	CALVERTON CRT	L5G 2W4
1594	CALVERTON CRT	L5G 2W3
1595	CALVERTON CRT	L5G 2W4
1599	CALVERTON CRT	L5G 2W4
1605	CALVERTON CRT	L5G 2W4
1609	CALVERTON CRT	L5G 2W4
26	COTTON DR	L5G 1Z9
28	COTTON DR	L5G 1Z9
29	COTTON DR	L5G 2A1
36	COTTON DR	L5G 1Z9
39	COTTON DR	L5G 2A1
42	COTTON DR	L5G 1Z9
45	COTTON DR	L5G 2A1
48	COTTON DR	L5G 1Z9
51	COTTON DR	L5G 2A1
54	COTTON DR	L5G 1Z9
58	COTTON DR	L5G 1Z9
59	COTTON DR	L5G 2A1
64	COTTON DR	L5G 1Z9
65	COTTON DR	L5G 2A1
70	COTTON DR	L5G 1Z9
71	COTTON DR	L5G 2A1
74	COTTON DR	L5G 1Z9
1609	DOGWOOD TR	L5G 3A4
1610	DOGWOOD TR	L5G 3A5
1618	DOGWOOD TR	L5G 3A5
1619	DOGWOOD TR	L5G 3A4
1625	DOGWOOD TR	L5G 3A4
131	DONNELLY DR	L5G 2M3
134	DONNELLY DR	L5G 2M4
139	DONNELLY DR	L5G 2M3
140	DONNELLY DR	L5G 2M4
149	DONNELLY DR	L5G 2M3
152	DONNELLY DR	L5G 2M4

7.8 - 9
Appendix 3

159	DONNELLY DR	L5G 2M3
168	DONNELLY DR	L5G 2M4
169	DONNELLY DR	L5G 2M3
172	DONNELLY DR	L5G 2M4
176	DONNELLY DR	L5G 2M4
180	DONNELLY DR	L5G 2M4
190	DONNELLY DR	L5G 2M4
191	DONNELLY DR	L5G 2M3
200	DONNELLY DR	L5G 2M4
201	DONNELLY DR	L5G 2M3
208	DONNELLY DR	L5G 2M4
211	DONNELLY DR	L5G 2M3
216	DONNELLY DR	L5G 2M4
224	DONNELLY DR	L5G 2M4
225	DONNELLY DR	L5G 2M3
236	DONNELLY DR	L5G 2M5
246	DONNELLY DR	L5G 2M5
255	DONNELLY DR	L5G 2M3
256	DONNELLY DR	L5G 2M5
263	DONNELLY DR	L5G 2M3
266	DONNELLY DR	L5G 2M5
271	DONNELLY DR	L5G 2M3
276	DONNELLY DR	L5G 2M5
279	DONNELLY DR	L5G 2M3
286	DONNELLY DR	L5G 2M5
1507	DOUGLAS DR	L5G 2W7
1513	DOUGLAS DR	L5G 2W7
1514	DOUGLAS DR	L5G 2W8
1519	DOUGLAS DR	L5G 2W7
1524	DOUGLAS DR	L5G 2W8
1527	DOUGLAS DR	L5G 2W7
1532	DOUGLAS DR	L5G 2W8
1538	DOUGLAS DR	L5G 2W8
1539	DOUGLAS DR	L5G 2W7
1546	DOUGLAS DR	L5G 2W8
1547	DOUGLAS DR	L5G 2W7
1551	DOUGLAS DR	L5G 2W7
1560	DOUGLAS DR	L5G 2W8
1561	DOUGLAS DR	L5G 2W7
1568	DOUGLAS DR	L5G 2W8
1571	DOUGLAS DR	L5G 2W7
1580	DOUGLAS DR	L5G 2W8
201	GILL AVE	L5G 2Y4
1335	GLENBURNIE RD	L5G 3C7
1336	GLENBURNIE RD	L5G 3C8
1345	GLENBURNIE RD	L5G 3C7

7.8 - 10
Appendix 3

1348	GLENBURNIE RD	L5G 3C8
1358	GLENBURNIE RD	L5G 3C8
1359	GLENBURNIE RD	L5G 3C7
1364	GLENBURNIE RD	L5G 3C8
1365	GLENBURNIE RD	L5G 3C7
1371	GLENBURNIE RD	L5G 3C7
1374	GLENBURNIE RD	L5G 3C8
1379	GLENBURNIE RD	L5G 3C7
1382	GLENBURNIE RD	L5G 3C8
1385	GLENBURNIE RD	L5G 3C7
1391	GLENBURNIE RD	L5G 3C7
1394	GLENBURNIE RD	L5G 3C8
1403	GLENBURNIE RD	L5G 3C7
1404	GLENBURNIE RD	L5G 3C8
1413	GLENBURNIE RD	L5G 3C7
1414	GLENBURNIE RD	L5G 3C8
1421	GLENBURNIE RD	L5G 3C7
1422	GLENBURNIE RD	L5G 3C8
1432	GLENBURNIE RD	L5G 3C8
1433	GLENBURNIE RD	L5G 3C7
1435	GLENBURNIE RD	L5G 3C7
1442	GLENBURNIE RD	L5G 3C8
1445	GLENBURNIE RD	L5G 3C7
1446	GLENBURNIE RD	L5G 3C8
1452	GLENBURNIE RD	L5G 3C8
1455	GLENBURNIE RD	L5G 3C7
1456	GLENBURNIE RD	L5G 3C8
1463	GLENBURNIE RD	L5G 3C7
1466	GLENBURNIE RD	L5G 3C8
1485	GLENBURNIE RD	L5G 3C9
1499	GLENBURNIE RD	L5G 3C9
1500	GLENBURNIE RD	L5G 3E1
1501	GLENBURNIE RD	L5G 3C9
1503	GLENBURNIE RD	L5G 3C9
1505	GLENBURNIE RD	L5G 3C9
1507	GLENBURNIE RD	L5G 3C9
1510	GLENBURNIE RD	L5G 3E1
1517	GLENBURNIE RD	L5G 3C9
1522	GLENBURNIE RD	L5G 3E2
1525	GLENBURNIE RD	L5G 3C9
1530	GLENBURNIE RD	L5G 3E2
1531	GLENBURNIE RD	L5G 3C9
1535	GLENBURNIE RD	L5G 3C9
1537	GLENBURNIE RD	L5G 3C9
1540	GLENBURNIE RD	L5G 3E2
1545	GLENBURNIE RD	L5G 3C9

7.8 - 11
Appendix 3

1550	GLENBURNIE RD	L5G 3E2
1551	GLENBURNIE RD	L5G 3C9
1555	GLENBURNIE RD	L5G 3C9
1560	GLENBURNIE RD	L5G 3E2
1563	GLENBURNIE RD	L5G 3C9
1567	GLENBURNIE RD	L5G 3C9
1569	GLENBURNIE RD	L5G 3C9
1577	GLENBURNIE RD	L5G 3C9
1580	GLENBURNIE RD	L5G 3E3
1587	GLENBURNIE RD	L5G 3C9
1590	GLENBURNIE RD	L5G 3E3
1593	GLENBURNIE RD	L5G 3C9
1599	GLENBURNIE RD	L5G 3C9
1600	GLENBURNIE RD	L5G 3E3
1609	GLENBURNIE RD	L5G 3C9
1610	GLENBURNIE RD	L5G 3E3
1627	GLENBURNIE RD	L5G 3E4
1628	GLENBURNIE RD	L5G 3E5
1637	GLENBURNIE RD	L5G 3E4
1640	GLENBURNIE RD	L5G 3E5
1643	GLENBURNIE RD	L5G 3E4
1644	GLENBURNIE RD	L5G 3E5
1653	GLENBURNIE RD	L5G 3E4
0	GLENWOOD DR	
1343	GLENWOOD DR	L5G 2W9
1353	GLENWOOD DR	L5G 2W9
1354	GLENWOOD DR	L5G 2X1
1362	GLENWOOD DR	L5G 2X1
1363	GLENWOOD DR	L5G 2W9
1366	GLENWOOD DR	L5G 2X1
1373	GLENWOOD DR	L5G 2W9
1376	GLENWOOD DR	L5G 2X1
1383	GLENWOOD DR	L5G 2W9
1384	GLENWOOD DR	L5G 2X1
1386	GLENWOOD DR	L5G 2X1
1389	GLENWOOD DR	L5G 2W9
1396	GLENWOOD DR	L5G 2X1
1397	GLENWOOD DR	L5G 2W9
1405	GLENWOOD DR	L5G 2W9
1406	GLENWOOD DR	L5G 2X1
1411	GLENWOOD DR	L5G 2W9
1412	GLENWOOD DR	L5G 2X1
1427	GLENWOOD DR	L5G 2X2
1428	GLENWOOD DR	L5G 2X3
1435	GLENWOOD DR	L5G 2X2
1438	GLENWOOD DR	L5G 2X3

7.8 - 12
Appendix 3

1445	GLENWOOD DR	L5G 2X2
1450	GLENWOOD DR	L5G 2X3
1455	GLENWOOD DR	L5G 2X2
1460	GLENWOOD DR	L5G 2X3
0	HAMPSHIRE CRES	
0	HAMPSHIRE CRES	
1458	HAMPSHIRE CRES	L5G 4P7
1466	HAMPSHIRE CRES	L5G 4P7
1472	HAMPSHIRE CRES	L5G 4P7
1478	HAMPSHIRE CRES	L5G 4P7
1484	HAMPSHIRE CRES	L5G 4P7
1490	HAMPSHIRE CRES	L5G 4P7
1496	HAMPSHIRE CRES	L5G 4P7
1502	HAMPSHIRE CRES	L5G 4P7
1508	HAMPSHIRE CRES	L5G 4P7
1514	HAMPSHIRE CRES	L5G 4P7
1520	HAMPSHIRE CRES	L5G 4P7
1521	HAMPSHIRE CRES	L5G 4P9
1526	HAMPSHIRE CRES	L5G 4P7
1527	HAMPSHIRE CRES	L5G 4P9
1532	HAMPSHIRE CRES	L5G 4P7
1533	HAMPSHIRE CRES	L5G 4P9
1537	HAMPSHIRE CRES	L5G 4P9
1538	HAMPSHIRE CRES	L5G 4P7
1539	HAMPSHIRE CRES	L5G 4P9
1544	HAMPSHIRE CRES	L5G 4S9
1545	HAMPSHIRE CRES	L5G 4S9
1550	HAMPSHIRE CRES	L5G 4S9
1556	HAMPSHIRE CRES	L5G 4S9
1562	HAMPSHIRE CRES	L5G 4S9
1568	HAMPSHIRE CRES	L5G 4S9
1574	HAMPSHIRE CRES	L5G 4S9
1579	HAMPSHIRE CRES	L5G 4S9
1580	HAMPSHIRE CRES	L5G 4S9
1585	HAMPSHIRE CRES	L5G 4S9
1586	HAMPSHIRE CRES	L5G 4S9
1591	HAMPSHIRE CRES	L5G 4S9
1592	HAMPSHIRE CRES	L5G 4S9
1598	HAMPSHIRE CRES	L5G 4S9
1604	HAMPSHIRE CRES	L5G 4S9
0	HURONTARIO ST	
0	HURONTARIO ST	
0	HURONTARIO ST	
1220	HURONTARIO ST	
1252	HURONTARIO ST	L5G 3H3
1262	HURONTARIO ST	L5G 3H3

7.8 - 13
Appendix 3

1276	HURONTARIO ST	L5G 3H3
1288	HURONTARIO ST	L5G 3H3
1290	HURONTARIO ST	L5G 3H3
1300	HURONTARIO ST	L5G 3H3
1312	HURONTARIO ST	L5G 3H3
1322	HURONTARIO ST	L5G 3H3
1348	HURONTARIO ST	L5G 3H4
1358	HURONTARIO ST	L5G 3H4
1368	HURONTARIO ST	L5G 3H4
1370	HURONTARIO ST	L5G 3H4
1382	HURONTARIO ST	L5G 3H4
1392	HURONTARIO ST	L5G 3H4
1402	HURONTARIO ST	L5G 3H4
1412	HURONTARIO ST	L5G 3H4
1424	HURONTARIO ST	L5G 3H4
1430	HURONTARIO ST	L5G 3H4
1440	HURONTARIO ST	L5G 3H4
1450	HURONTARIO ST	L5G 3H4
1462	HURONTARIO ST	L5G 3H4
1470	HURONTARIO ST	L5G 3H4
1484	HURONTARIO ST	L5G 3H6
1498	HURONTARIO ST	L5G 3H6
1572	HURONTARIO ST	L5G 3H6
1572	HURONTARIO ST	L5G 3H6
1584	HURONTARIO ST	L5G 3H6
1592	HURONTARIO ST	L5G 3H6
1600	HURONTARIO ST	L5G 3H6
1602	HURONTARIO ST	L5G 3H6
1608	HURONTARIO ST	L5G 3H6
17	INDIAN VALLEY TR	L5G 2K3
21	INDIAN VALLEY TR	L5G 2K3
29	INDIAN VALLEY TR	L5G 2K3
30	INDIAN VALLEY TR	L5G 2K4
37	INDIAN VALLEY TR	L5G 2K3
38	INDIAN VALLEY TR	L5G 2K4
45	INDIAN VALLEY TR	L5G 2K3
50	INDIAN VALLEY TR	L5G 2K4
53	INDIAN VALLEY TR	L5G 2K3
58	INDIAN VALLEY TR	L5G 2K4
63	INDIAN VALLEY TR	L5G 2K3
64	INDIAN VALLEY TR	L5G 2K4
77	INDIAN VALLEY TR	L5G 2K3
89	INDIAN VALLEY TR	L5G 2K3
109	INDIAN VALLEY TR	L5G 2K5
110	INDIAN VALLEY TR	
117	INDIAN VALLEY TR	L5G 2K5

7.8 - 14
Appendix 3

127	INDIAN VALLEY TR	L5G 2K5
130	INDIAN VALLEY TR	L5G 2K6
136	INDIAN VALLEY TR	L5G 2K6
143	INDIAN VALLEY TR	L5G 2K5
150	INDIAN VALLEY TR	L5G 2K6
156	INDIAN VALLEY TR	L5G 2K6
157	INDIAN VALLEY TR	L5G 2K5
162	INDIAN VALLEY TR	L5G 2K6
167	INDIAN VALLEY TR	L5G 2K5
172	INDIAN VALLEY TR	L5G 2K6
175	INDIAN VALLEY TR	L5G 2K5
181	INDIAN VALLEY TR	L5G 2K5
182	INDIAN VALLEY TR	L5G 2K6
191	INDIAN VALLEY TR	L5G 2K5
194	INDIAN VALLEY TR	L5G 2K6
201	INDIAN VALLEY TR	L5G 2K5
204	INDIAN VALLEY TR	L5G 2K6
209	INDIAN VALLEY TR	L5G 2K5
210	INDIAN VALLEY TR	L5G 2K6
222	INDIAN VALLEY TR	L5G 2K6
232	INDIAN VALLEY TR	L5G 2K6
233	INDIAN VALLEY TR	L5G 2K7
243	INDIAN VALLEY TR	L5G 2K7
246	INDIAN VALLEY TR	L5G 2K6
249	INDIAN VALLEY TR	L5G 2K7
259	INDIAN VALLEY TR	L5G 2K7
262	INDIAN VALLEY TR	L5G 2K8
272	INDIAN VALLEY TR	L5G 2K8
279	INDIAN VALLEY TR	L5G 2K9
284	INDIAN VALLEY TR	L5G 2K8
288	INDIAN VALLEY TR	L5G 2K8
289	INDIAN VALLEY TR	L5G 2K9
300	INDIAN VALLEY TR	L5G 2K8
303	INDIAN VALLEY TR	L5G 2K9
308	INDIAN VALLEY TR	L5G 2K8
313	INDIAN VALLEY TR	L5G 2K9
320	INDIAN VALLEY TR	L5G 2K8
322	INDIAN VALLEY TR	L5G 2K8
330	INDIAN VALLEY TR	L5G 2K8
349	INDIAN VALLEY TR	L5G 2K9
350	INDIAN VALLEY TR	L5G 2K8
22	INGLEWOOD DR	L5G 1X6
25	INGLEWOOD DR	L5G 1X7
28	INGLEWOOD DR	L5G 1X6
31	INGLEWOOD DR	L5G 1X7
32	INGLEWOOD DR	L5G 1X6

7.8 - 15
Appendix 3

35	INGLEWOOD DR	L5G 1X7
36	INGLEWOOD DR	L5G 1X6
39	INGLEWOOD DR	L5G 1X7
40	INGLEWOOD DR	L5G 1X6
45	INGLEWOOD DR	L5G 1X7
46	INGLEWOOD DR	L5G 1X6
51	INGLEWOOD DR	L5G 1X7
52	INGLEWOOD DR	L5G 1X6
56	INGLEWOOD DR	L5G 1X6
57	INGLEWOOD DR	L5G 1X7
60	INGLEWOOD DR	L5G 1X6
63	INGLEWOOD DR	L5G 1X7
65	INGLEWOOD DR	L5G 1X7
66	INGLEWOOD DR	L5G 1X6
75	INGLEWOOD DR	L5G 1X7
76	INGLEWOOD DR	L5G 1X6
80	INGLEWOOD DR	L5G 1X8
89	INGLEWOOD DR	L5G 1X9
91	INGLEWOOD DR	L5G 1X9
110	INGLEWOOD DR	L5G 1X8
115	INGLEWOOD DR	L5G 1X9
142	INGLEWOOD DR	L5G 1Y1
147	INGLEWOOD DR	L5G 1Y2
154	INGLEWOOD DR	L5G 1Y1
162	INGLEWOOD DR	L5G 1Y1
170	INGLEWOOD DR	L5G 1Y1
181	INGLEWOOD DR	L5G 1Y3
182	INGLEWOOD DR	L5G 1Y1
191	INGLEWOOD DR	L5G 1Y3
192	INGLEWOOD DR	L5G 1Y1
210	INGLEWOOD DR	L5G 1Y1
255	INGLEWOOD DR	L5G 4V4
1571	KEENLEYSIDE CRT	L5G 2V8
1572	KEENLEYSIDE CRT	L5G 2V9
1577	KEENLEYSIDE CRT	L5G 2V8
1578	KEENLEYSIDE CRT	L5G 2V9
1583	KEENLEYSIDE CRT	L5G 2V8
1584	KEENLEYSIDE CRT	L5G 2V9
1587	KEENLEYSIDE CRT	L5G 2V8
1590	KEENLEYSIDE CRT	L5G 2V9
1593	KEENLEYSIDE CRT	L5G 2V8
1596	KEENLEYSIDE CRT	L5G 2V9
123	KENOLLIE AVE	L5G 2H7
137	KENOLLIE AVE	L5G 2H7
141	KENOLLIE AVE	L5G 2H7
148	KENOLLIE AVE	L5G 2H8

7.8 - 16
Appendix 3

153	KENOLLIE AVE	L5G 2H7
163	KENOLLIE AVE	L5G 2H7
164	KENOLLIE AVE	L5G 2H8
168	KENOLLIE AVE	L5G 2H8
180	KENOLLIE AVE	L5G 2H9
181	KENOLLIE AVE	L5G 2H7
189	KENOLLIE AVE	L5G 2H7
190	KENOLLIE AVE	L5G 2H9
195	KENOLLIE AVE	L5G 2H7
199	KENOLLIE AVE	L5G 2H7
213	KENOLLIE AVE	L5G 2H7
221	KENOLLIE AVE	L5G 2H7
259	KENOLLIE AVE	L5G 2J1
266	KENOLLIE AVE	L5G 2J2
267	KENOLLIE AVE	L5G 2J1
275	KENOLLIE AVE	L5G 2J1
283	KENOLLIE AVE	L5G 2J1
291	KENOLLIE AVE	L5G 2J1
300	KENOLLIE AVE	L5G 2J3
301	KENOLLIE AVE	L5G 2J1
317	KENOLLIE AVE	L5G 2J1
318	KENOLLIE AVE	L5G 2J3
326	KENOLLIE AVE	
327	KENOLLIE AVE	L5G 2J1
1609	MAGENTA CRT	L5G 3A6
1610	MAGENTA CRT	L5G 3A7
1622	MAGENTA CRT	L5G 3A7
1623	MAGENTA CRT	L5G 3A6
1632	MAGENTA CRT	L5G 3A7
1633	MAGENTA CRT	L5G 3A6
1343	MILTON AVE	L5G 3C5
1350	MILTON AVE	L5G 3C6
1353	MILTON AVE	L5G 3C5
1358	MILTON AVE	L5G 3C6
1359	MILTON AVE	L5G 3C5
1365	MILTON AVE	L5G 3C5
1370	MILTON AVE	L5G 3C6
1371	MILTON AVE	L5G 3C5
1374	MILTON AVE	L5G 3C6
1377	MILTON AVE	L5G 3C5
1380	MILTON AVE	L5G 3C6
1381	MILTON AVE	L5G 3C5
1384	MILTON AVE	L5G 3C6
1386	MILTON AVE	L5G 3C6
1389	MILTON AVE	L5G 3C5
1393	MILTON AVE	L5G 3C5

7.8 - 17
Appendix 3

1394	MILTON AVE	L5G 3C6
1399	MILTON AVE	L5G 3C5
1400	MILTON AVE	L5G 3C6
1401	MILTON AVE	L5G 3C5
1404	MILTON AVE	L5G 3C6
1405	MILTON AVE	L5G 3C5
1413	MILTON AVE	L5G 3C5
1228	MINAKI RD	L5G 2X4
1229	MINAKI RD	L5G 2X5
1232	MINAKI RD	L5G 2X4
1233	MINAKI RD	L5G 2X5
1235	MINAKI RD	L5G 2X5
1248	MINAKI RD	L5G 2X4
1251	MINAKI RD	L5G 2X5
1256	MINAKI RD	L5G 2X4
1261	MINAKI RD	L5G 2X5
1266	MINAKI RD	L5G 2X4
1275	MINAKI RD	L5G 2X5
1280	MINAKI RD	L5G 2X4
1284	MINAKI RD	L5G 2X4
1285	MINAKI RD	L5G 2X5
1290	MINAKI RD	L5G 2X4
1291	MINAKI RD	L5G 2X5
1300	MINAKI RD	L5G 2X4
1309	MINAKI RD	L5G 2X5
1310	MINAKI RD	L5G 2X4
1320	MINAKI RD	L5G 2X4
0	MINEOLA RD W	
17	MINEOLA RD W	L5G 2C1
25	MINEOLA RD W	L5G 2C1
26	MINEOLA RD W	L5G 2C2
36	MINEOLA RD W	L5G 2C2
46	MINEOLA RD W	L5G 2C2
58	MINEOLA RD W	L5G 2C2
66	MINEOLA RD W	L5G 2C2
76	MINEOLA RD W	L5G 2C2
81	MINEOLA RD W	L5G 2C3
84	MINEOLA RD W	L5G 2C2
93	MINEOLA RD W	L5G 2C3
96	MINEOLA RD W	L5G 2C2
105	MINEOLA RD W	L5G 2C4
106	MINEOLA RD W	L5G 2C2
109	MINEOLA RD W	L5G 2C4
113	MINEOLA RD W	L5G 2C4
116	MINEOLA RD W	L5G 2C2
124	MINEOLA RD W	L5G 2C2

7.8 - 18
Appendix 3

125	MINEOLA RD W	L5G 2C4
131	MINEOLA RD W	L5G 2C4
134	MINEOLA RD W	L5G 2C2
146	MINEOLA RD W	L5G 2C2
150	MINEOLA RD W	L5G 2C2
151	MINEOLA RD W	L5G 2C5
157	MINEOLA RD W	L5G 2C5
158	MINEOLA RD W	L5G 2C2
165	MINEOLA RD W	L5G 2C5
172	MINEOLA RD W	L5G 2C2
183	MINEOLA RD W	
189	MINEOLA RD W	L5G 2C6
200	MINEOLA RD W	L5G 2C7
208	MINEOLA RD W	L5G 2C7
219	MINEOLA RD W	L5G 2C8
229	MINEOLA RD W	L5G 2C8
237	MINEOLA RD W	L5G 2C8
250	MINEOLA RD W	L5G 2C9
264	MINEOLA RD W	L5G 2C9
270	MINEOLA RD W	L5G 2C9
276	MINEOLA RD W	L5G 2C9
286	MINEOLA RD W	L5G 2C9
289	MINEOLA RD W	L5G 2E1
292	MINEOLA RD W	L5G 2C9
297	MINEOLA RD W	L5G 2E1
298	MINEOLA RD W	L5G 2C9
1142	MONA RD	L5G 2Z7
1148	MONA RD	L5G 2Z7
1153	MONA RD	L5G 2Z8
1154	MONA RD	L5G 2Z7
1163	MONA RD	L5G 2Z8
1166	MONA RD	L5G 2Z7
1173	MONA RD	L5G 2Z8
1176	MONA RD	L5G 2Z7
1179	MONA RD	L5G 2Z8
1182	MONA RD	L5G 2Z7
1185	MONA RD	L5G 2Z8
1190	MONA RD	L5G 2Z7
1191	MONA RD	L5G 2Z8
1198	MONA RD	L5G 2Z7
1201	MONA RD	L5G 2Z8
1206	MONA RD	L5G 2Z7
1217	MONA RD	L5G 2Z9
1222	MONA RD	L5G 3A1
1223	MONA RD	L5G 2Z9
1229	MONA RD	L5G 2Z9

7.8 - 19
Appendix 3

1232	MONA RD	L5G 3A1
1233	MONA RD	L5G 2Z9
1236	MONA RD	L5G 3A1
1237	MONA RD	L5G 2Z9
1242	MONA RD	L5G 3A1
1245	MONA RD	L5G 2Z9
1251	MONA RD	L5G 2Z9
1252	MONA RD	L5G 3A1
1261	MONA RD	L5G 2Z9
1262	MONA RD	L5G 3A1
1273	MONA RD	L5G 2Z9
1274	MONA RD	L5G 3A1
197	OAKHILL RD	L5G 2P8
200	OAKHILL RD	L5G 2P7
205	OAKHILL RD	L5G 2P8
212	OAKHILL RD	L5G 2P7
215	OAKHILL RD	L5G 2P8
222	OAKHILL RD	L5G 2P7
223	OAKHILL RD	L5G 2P8
233	OAKHILL RD	L5G 2P8
234	OAKHILL RD	L5G 2P7
242	OAKHILL RD	L5G 2P7
251	OAKHILL RD	L5G 2P8
254	OAKHILL RD	L5G 2P7
261	OAKHILL RD	L5G 2P8
271	OAKHILL RD	L5G 2P8
275	OAKHILL RD	L5G 2P8
278	OAKHILL RD	
0	OLD RIVER RD	
1219	OLD RIVER RD	L5G 3G2
1220	OLD RIVER RD	L5G 3G3
1231	OLD RIVER RD	L5G 3G2
1235	OLD RIVER RD	L5G 3G2
1249	OLD RIVER RD	L5G 3G2
1258	OLD RIVER RD	L5G 3G4
1266	OLD RIVER RD	L5G 3G4
0	ORIOLE AVE	
0	ORIOLE AVE	
18	ORIOLE AVE	L5G 1V2
20	ORIOLE AVE	L5G 1V2
21	ORIOLE AVE	L5G 1V3
25	ORIOLE AVE	L5G 1V3
26	ORIOLE AVE	L5G 1V2
30	ORIOLE AVE	L5G 1V2
33	ORIOLE AVE	L5G 1V3
35	ORIOLE AVE	L5G 1V3

7.8 - 20
Appendix 3

36	ORIOLE AVE	L5G 1V2
40	ORIOLE AVE	L5G 1V2
43	ORIOLE AVE	L5G 1V3
46	ORIOLE AVE	L5G 1V2
47	ORIOLE AVE	L5G 1V3
50	ORIOLE AVE	L5G 1V2
51	ORIOLE AVE	L5G 1V3
56	ORIOLE AVE	L5G 1V2
59	ORIOLE AVE	L5G 1V3
65	ORIOLE AVE	L5G 1V3
68	ORIOLE AVE	L5G 1V2
72	ORIOLE AVE	L5G 1V2
80	ORIOLE AVE	L5G 1V2
515	ORIOLE AVE	
0	PINETREE CRES	
1495	PINETREE CRES	
1501	PINETREE CRES	L5G 2S9
1511	PINETREE CRES	L5G 2S9
1521	PINETREE CRES	L5G 2S9
1531	PINETREE CRES	L5G 2S9
1541	PINETREE CRES	L5G 2S9
1551	PINETREE CRES	L5G 2S9
1561	PINETREE CRES	L5G 2S9
1571	PINETREE CRES	L5G 2S9
1585	PINETREE CRES	L5G 2S9
1600	PINETREE CRES	L5G 2S8
1610	PINETREE CRES	L5G 2S8
1611	PINETREE CRES	L5G 2S9
1620	PINETREE CRES	L5G 2S8
1621	PINETREE CRES	L5G 2S9
0	PINETREE WAY	
0	PINETREE WAY	
0	PINETREE WAY	
76	PINETREE WAY	L5G 3H6
92	PINETREE WAY	L5G 2R1
128	PINETREE WAY	L5G 2R2
137	PINETREE WAY	L5G 2R3
138	PINETREE WAY	L5G 2R2
148	PINETREE WAY	L5G 2R2
158	PINETREE WAY	L5G 2R2
168	PINETREE WAY	L5G 2R2
178	PINETREE WAY	L5G 2R2
188	PINETREE WAY	L5G 2R2
206	PINETREE WAY	L5G 2R2
207	PINETREE WAY	
213	PINETREE WAY	L5G 2R4

7.8 - 21
Appendix 3

219	PINETREE WAY	L5G 2R4
224	PINETREE WAY	L5G 2R2
225	PINETREE WAY	L5G 2R4
234	PINETREE WAY	L5G 2R2
235	PINETREE WAY	L5G 2R4
240	PINETREE WAY	L5G 2R2
243	PINETREE WAY	L5G 2R4
250	PINETREE WAY	L5G 2R2
253	PINETREE WAY	L5G 2R4
260	PINETREE WAY	L5G 2R2
261	PINETREE WAY	L5G 2R4
269	PINETREE WAY	L5G 2R4
270	PINETREE WAY	L5G 2R2
277	PINETREE WAY	L5G 2R4
278	PINETREE WAY	L5G 2R2
285	PINETREE WAY	L5G 2R4
286	PINETREE WAY	L5G 2R2
292	PINETREE WAY	L5G 2R2
299	PINETREE WAY	L5G 2R4
303	PINETREE WAY	L5G 2R4
311	PINETREE WAY	L5G 2R4
335	PINETREE WAY	L5G 2R4
340	PINETREE WAY	L5G 2R5
341	PINETREE WAY	L5G 2R4
347	PINETREE WAY	L5G 2R4
355	PINETREE WAY	L5G 2R4
357	PINETREE WAY	L5G 2R4
359	PINETREE WAY	L5G 2R4
366	PINETREE WAY	L5G 4N5
373	PINETREE WAY	L5G 2R4
374	PINETREE WAY	L5G 4N5
375	PINETREE WAY	L5G 2R4
380	PINETREE WAY	L5G 4N5
383	PINETREE WAY	L5G 2R4
1505	POINT-O-WOODS RD	L5G 2X6
1510	POINT-O-WOODS RD	L5G 2X7
1519	POINT-O-WOODS RD	L5G 2X6
1520	POINT-O-WOODS RD	L5G 2X7
1525	POINT-O-WOODS RD	L5G 2X6
1526	POINT-O-WOODS RD	L5G 2X7
1531	POINT-O-WOODS RD	L5G 2X6
1532	POINT-O-WOODS RD	L5G 2X7
1539	POINT-O-WOODS RD	L5G 2X6
1540	POINT-O-WOODS RD	L5G 2X7
1543	POINT-O-WOODS RD	L5G 2X6
1544	POINT-O-WOODS RD	L5G 2X7

7.8 - 22
Appendix 3

1550	POINT-O-WOODS RD	L5G 2X7
0	POLESDEN DR	
1518	POLESDEN DR	L5G 4R2
1519	POLESDEN DR	L5G 4P8
1524	POLESDEN DR	L5G 4R2
1525	POLESDEN DR	L5G 4P8
1530	POLESDEN DR	L5G 4R2
1531	POLESDEN DR	L5G 4P8
1536	POLESDEN DR	L5G 4R2
1537	POLESDEN DR	L5G 4P8
1542	POLESDEN DR	L5G 4S9
1543	POLESDEN DR	L5G 4P8
1549	POLESDEN DR	L5G 4S9
1555	POLESDEN DR	L5G 4S9
1561	POLESDEN DR	L5G 4S9
1598	POLESDEN DR	
1604	POLESDEN DR	
182	ROSEMERE RD	L5G 2S7
183	ROSEMERE RD	L5G 1S4
189	ROSEMERE RD	L5G 1S4
195	ROSEMERE RD	L5G 1S4
0	STAVEBANK RD	
0	STAVEBANK RD	
395	STAVEBANK RD	L5G 4N8
23	VERONICA DR	L5G 2B1
25	VERONICA DR	L5G 2B1
36	VERONICA DR	L5G 2B2
39	VERONICA DR	L5G 2B1
40	VERONICA DR	L5G 2B2
44	VERONICA DR	L5G 2B2
45	VERONICA DR	L5G 2B1
50	VERONICA DR	L5G 2B2
51	VERONICA DR	L5G 2B1
58	VERONICA DR	L5G 2B2
63	VERONICA DR	L5G 2B1
64	VERONICA DR	L5G 2B2
67	VERONICA DR	L5G 2B1
70	VERONICA DR	L5G 2B2
74	VERONICA DR	L5G 2B2
78	VERONICA DR	L5G 2B2
83	VERONICA DR	L5G 2B1
85	VERONICA DR	L5G 2B1
86	VERONICA DR	L5G 2B2
87	VERONICA DR	L5G 2B1
91	VERONICA DR	L5G 2B1
99	VERONICA DR	L5G 2B1

7.8 - 23
Appendix 3

107	VERONICA DR	L5G 2B1
115	VERONICA DR	L5G 2B1
125	VERONICA DR	L5G 2B1
131	VERONICA DR	L5G 2B1
139	VERONICA DR	L5G 2B1
145	VERONICA DR	L5G 2B1
151	VERONICA DR	L5G 2B1
159	VERONICA DR	L5G 2B1
1150	VESTA DR	L5G 3B8
1155	VESTA DR	L5G 3B9
1158	VESTA DR	L5G 3B8
1162	VESTA DR	L5G 3B8
1168	VESTA DR	L5G 3B8
1177	VESTA DR	L5G 3C1
1182	VESTA DR	L5G 3B8
1185	VESTA DR	L5G 3C1
1190	VESTA DR	L5G 3B8
1200	VESTA DR	L5G 3B8
1224	VESTA DR	L5G 3C2
1232	VESTA DR	L5G 3C2
1235	VESTA DR	L5G 3C3
1240	VESTA DR	L5G 3C2
1248	VESTA DR	L5G 3C2
1255	VESTA DR	L5G 3C4
1256	VESTA DR	L5G 3C2
1260	VESTA DR	L5G 3C2
1266	VESTA DR	L5G 3C2
1272	VESTA DR	L5G 3C2
1276	VESTA DR	L5G 3C2
0	VICTOR AVE	
1351	VICTOR AVE	L5G 3A2
1352	VICTOR AVE	L5G 3A3
1361	VICTOR AVE	L5G 3A2
1366	VICTOR AVE	L5G 3A3
1369	VICTOR AVE	L5G 3A2
1374	VICTOR AVE	L5G 3A3
1381	VICTOR AVE	L5G 3A2
1384	VICTOR AVE	L5G 3A3
1390	VICTOR AVE	L5G 3A3
1391	VICTOR AVE	L5G 3A2
1394	VICTOR AVE	L5G 3A3
1395	VICTOR AVE	L5G 3A2
1400	VICTOR AVE	L5G 3A3
1408	VICTOR AVE	L5G 3A3
1411	VICTOR AVE	L5G 3A2
0	WEBSTER'S LANE	

7.8 - 24
Appendix 3

0	WEBSTER'S LANE	
234	WEBSTER'S LANE	L5G 1S5
1335	WENDIGO TR	L5G 2W1
1339	WENDIGO TR	L5G 2W1
1347	WENDIGO TR	L5G 2W1
1348	WENDIGO TR	L5G 2W2
1353	WENDIGO TR	L5G 2W1
1356	WENDIGO TR	L5G 2W2
1360	WENDIGO TR	L5G 2W2
1363	WENDIGO TR	L5G 2W1
1371	WENDIGO TR	L5G 2W1
1379	WENDIGO TR	L5G 2W1
1384	WENDIGO TR	L5G 2W2
1388	WENDIGO TR	L5G 2W2
1391	WENDIGO TR	L5G 2W1
1395	WENDIGO TR	L5G 2W1
0	WOODLAND AVE	
1231	WOODLAND AVE	L5G 2X8
1234	WOODLAND AVE	L5G 2X9
1243	WOODLAND AVE	L5G 2X8
1244	WOODLAND AVE	L5G 2X9
1253	WOODLAND AVE	L5G 2X8
1256	WOODLAND AVE	L5G 2X9
1263	WOODLAND AVE	L5G 2X8
1264	WOODLAND AVE	L5G 2X9
1271	WOODLAND AVE	L5G 2X8
1276	WOODLAND AVE	L5G 2X9
1288	WOODLAND AVE	L5G 2X9
1293	WOODLAND AVE	L5G 2Y1
1296	WOODLAND AVE	L5G 2X9
1314	WOODLAND AVE	L5G 2X9
1315	WOODLAND AVE	L5G 2Y1
1320	WOODLAND AVE	L5G 2X9

City of Mississauga Corporate Report



<p>Date: 2017/04/04</p> <p>To: Chair and Members of Heritage Advisory Committee</p> <p>From: Paul Mitcham, P. Eng, MBA, Commissioner of Community Services</p>	<p>Originator's files:</p> <hr/> <p>Meeting date: 2017/05/09</p>
--	--

Subject

2017 Designated Heritage Property Grants

Recommendation

That the Heritage Property Grant Program requests as outlined in the corporate report dated April 4, 2017, from the Commissioner of Community Services entitled "2017 Designated Heritage Property Grants", be approved.

Background

In May 2007 Council adopted By-law 0184-2007, as amended February 25, 2009, to provide grants to owners of heritage designated properties. The program assists heritage designated property owners with financial assistance from a minimum of \$500 to a maximum of \$5,000 in matching funds for conservation projects, and up to \$10,000 for structural projects. Properties must be designated under the *Ontario Heritage Act*, and the work proposed must be a restoration or reconstruction of original architectural elements.

The Assessment Panel & Process

In support of the Designated Heritage Property Grant process, an assessment panel is established, by the Heritage Advisory Committee, comprising three assessors. The assessors for the term ending November 30, 2018 are; Matthew Wilkinson, Rick Mateljan and David Dodaro. The Committee member assessment panel met on March 31, 2017 to provide their recommendations for grant recipients. The City is fortunate to have such a high quality, knowledgeable group of volunteers. Staff are sincerely grateful to the assessors for their time and commitment.

Comments

The Designated Heritage Property Grant Subcommittee reviewed the applications ensuring projects meet the eligibility criteria.

Eligible projects include:

- Conservation of existing architectural elements;
- Reconstruction of existing architectural elements that need repair;

- Restoration of architectural elements which have been lost but can be replicated based on documentary evidence; and
- Repair and restoration of building elements required for structural soundness.

Thirteen applications were submitted by the advertised deadline of March 24, 2017. The total amount of funding request was \$75,831. Eleven applications are recommended for funding. The remaining two applications did not provide adequate information to be recommended for funding or were deemed ineligible by the assessment panel. A summary of the recommended grant awards based on the 2017 budget is attached as Appendix 1.

Successful grant applicants will be notified of these results with any conditions, including whether the work proposed requires a heritage permit. Work must be complete by October 27, 2017, and property owners must ensure they do not owe any outstanding taxes, monies to the City, or have any by-law deficiencies, so final inspections can be made by staff shortly thereafter. Invoices are due by November 30, 2017. Grant funds are not provided until all of these conditions have been met to the satisfaction of the City. Unspent funding is forfeited by the grant recipient.

Financial Impact

This report recommends a total allocation of \$55,831 against the budget of \$75,000 available in cost centre 21134 for the Designated Heritage Property Grant program.

Conclusion

A total of eleven Designated Heritage Property Grant applications are recommended for approval in the 2017 Heritage Property Grant Program. This allows the city to assist successful applicants in the conservation and preservation of Mississauga's built heritage

Attachments

Appendix 1: 2017 Summary of Designated Heritage Property Grants



Paul Mitcham, P. Eng, MBA, Commissioner of Community Services

Prepared by: Andrew Douglas, Grants Office

Recommended Applications				
Number	Address	Applicant	Project	Max. Grant Amount
1	41 Bay Street	Trevor Crawford	Replacing aluminum siding on the east side of the house with wood siding.	\$5,000
2	50 Bay Street	Patricia Frazier	Foundation Repair	\$10,000
3	38 John Street South	Elizabeth Wisching	Painting clapboard siding	\$5,000
4	36 Lake Street	Ryan Hunwicks	Replacing asphalt shingles with cedar shakes	\$7,910
5	1009 Old Derry Road	Joanne Redhead	Exterior painting	\$3,123
6	1011 Old Derry Road	Shannon Bubalo	Exterior painting	\$3,000
7	1090 Old Derry Road	Elisabeth Mowling	Painting window frames, shutters and front door threshold	\$2,225
8	7005 Pond Street	Martin Boeykens	Waterproofing south-east foundation walls	\$6,780
9	63 Port Street	Cassandra Irving	Waterproofing basement	\$7,157
10	295 Queen Street South	Gregory Tyralla	Side door restoration	\$2,260
11	1212 Southdown Road	Ian Rutledge	Painting and repairs to gas bar canopy	\$3,376
				Total \$ 55,831.00

Not Recommended				
Number	Address	Rational		Max. Grant Amount
1	31 Mississauga Road South	Requested project was for design and structural alterations of the roof and main floor which are contrary to the purpose of the grant program.		\$10,000
2	47 Queen Street South	An Engineers condition assessment was not provided. The scope and scale of the project was indeterminable based on the materials provided.		\$10,000
				Total \$ 20,000.00

City of Mississauga

Minutes



DRAFT

Meadowvale Heritage Conservation District Advisory Sub-Committee

Date

April 4, 2017

Time

1:33 p.m.

Location

Meadowvale Village Hall, 6970 Second Line West, Mississauga

Members Present

Jim Holmes, Citizen Member (Chair)
Terry Wilson, Citizen Member (Vice-Chair)
Brian Carmody, Citizen Member
Gord MacKinnon, Citizen Member
David Moir, Citizen Member
Greg Young, Citizen Member

Members Absent

John McAskin, Citizen Member
David Dodaro, HAC Representative
Janet Clewes, Citizen Member
Colleen Newmarch, Citizen Member

Staff Present

Paula Wubbenhorst, Senior Heritage Coordinator, Culture Division
Cecilia Nin Hernandez, Heritage Coordinator, Culture Division
Karen Morden, Legislative Coordinator, Legislative Services Division

Find it online

<http://www.mississauga.ca/portal/cityhall/heritageadvisory>

CALL TO ORDER – 1:33 PM

APPROVAL OF AGENDA

APPROVED (G. MacKinnon)

DECLARATIONS OF CONFLICT OF INTEREST - Nil

APPROVAL OF PREVIOUS MINUTES

Approval of Minutes of June 7, 2016 Meeting

APPROVED (G. Young)

DEPUTATIONS – Nil

MATTERS CONSIDERED

1. Request to Alter 1059 Old Derry Road

Paula Wubbenhorst, Senior Heritage Coordinator briefly reviewed the application.

No further discussion took place on this matter.

RECOMMENDATION

MVHCDA-0001/2017

That the request to alter the property at 1059 Old Derry Road be approved, as described in the Memorandum dated March 29, 2017 from Paula Wubbenhorst, Senior Heritage Coordinator, Culture Division.

APPROVED (D. Moir)

2. Request to Alter 7059 Second Line West

Cecilia Nin Hernandez, Heritage Coordinator provided a brief overview of the application.

Rick Mateljan, Architect, Strickland Mateljan, provided an in-depth description of the application, noting the revisions on the application.

Brian Carmody, Citizen Member, spoke to the ownership of the property, noting that two separate corporations were present on the site and expressed concerns with regard to potential future changes to the property, such as expanding the parking lot, and the linking of the properties along the walkway. Ms. Nin Hernandez noted that the owner would have to make an application to do that. Mr. Mateljan advised that a gate would be installed along the walkway, limiting access.

Discussion amongst Members consisted of parking concerns, traffic concerns on Second Line West, pick up and drop off from school concerns, and possible signage on Second Line West, preventing stopping and parking of any sort.

A member of the public spoke to concerns about possible future expansion of the school, parking concerns, and trees and shrubs that had been cut down on the site. Further, the resident inquired about installing a lock on the gate separating the properties along the walkway to prevent parents from parking on Second Line West while picking up their children from school.

Members agreed with the recommended approval and wished to have the following concerns noted:

1. Replacement of trees and shrubs cut down or removed from the site, to maintain the residential character of the neighbourhood;
2. The walkway would provide a link only, to be open when school is operating and locked at all other times;
3. There should never be a road that connects the buildings;
4. There should not be a drop-off or pick-up zone on Second Line West.

Recommendation

MVCHDA-02/2017

That the request to alter the property at 7059 Second Line West be approved with the following conditions:

- a. That the proposed driveway be revised to reflect a reduction in driveway width to 4 metres, or 3 metres flanked with a sidewalk flush with the paving material of the driveway
- b. That permeable materials are supported for the driveway and flanking sidewalk
- c. That if any changes result from other City review and approval requirements, such as, but not limited to, building permit, committee of adjustment or site plan approval, a new heritage permit application will be required. The applicant is required to contact heritage planning at that time to review the changes prior to obtaining other approvals and commencing construction.

OTHER BUSINESS

1. Jim Holmes, Chair spoke regarding a large purple clothing drop-off box that was placed in the neighbourhood by a charitable organization and inquired about having it removed. Paula Wubbenhorst, Senior Heritage Coordinator, noted that the matter would have to go through By-law Enforcement and/or Legal.
2. Discussion arose about the fence on Greg Young's (Citizen Member) property. Mr. Young was advised that an application would have to be submitted.

DATE OF NEXT MEETING – Tuesday, May 9, 2017

ADJOURNMENT – 3:04 p.m.