
Heritage Advisory Committee

Date

2017/04/11

Time

9:30 AM

Location

Civic Centre, Council Chamber,
300 City Centre Drive, Mississauga, Ontario, L5B 3C1 Ontario

Members

Councillor George Carlson, Ward 11 (Chair)
Rick Mateljan, Citizen Member (Vice-Chair)
Councillor Carolyn Parrish, Ward 5
Michael Battaglia, Citizen Member
Elizabeth Bjarnason, Citizen Member
Robert Cutmore, Citizen Member
David Dodaro, Citizen Member
Lindsay Graves, Citizen Member
James Holmes, Citizen Member
Cameron McCuaig, Citizen Member
Matthew N. Wilkinson, Citizen Member

Contact

Angie Melo, Legislative Coordinator, Legislative Services
905-615-3200 ext. 5423
angie.melo@mississauga.ca

NOTE: To support corporate waste reduction efforts the large
appendices in this agenda can be viewed at:
<http://www.mississauga.ca/portal/cityhall/heritageadvisory.ca>

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<http://www.mississauga.ca/portal/cityhall/heritageadvisory>

1. CALL TO ORDER
2. APPROVAL OF AGENDA
3. DECLARATION OF CONFLICT OF INTEREST
4. MINUTES OF PREVIOUS MEETING
 - 4.1. Heritage Advisory Committee Minutes - March 7 2017
5. DEPUTATIONS
6. **PUBLIC QUESTION PERIOD** - 15 Minute Limit (In accordance with Section 43 of the City of Mississauga Procedure By-law 0139-2013, persons who wish to address the Heritage Advisory Committee about a matter on the Agenda may ask their question limiting it to 5 minutes, as the public question period total limit is 15 minutes.)
7. MATTERS TO BE CONSIDERED
 - 7.1. Request to Alter a Heritage Designated Property: 31 Mississauga Road South (Ward 1)

Recommendation

1. That the proposed alterations to the house at 31 Mississauga Road South, which is designated under Part V of the Ontario Heritage Act, located within the Old Port Credit Village Heritage Conservation District, as per the attached drawings and conservation plan included in the appendices of this report be approved.
2. That the Building Inventory for the Old Port Credit Village Heritage Conservation District be updated to indicate that the heritage status of 31 Mississauga Road has changed from a property of “historic interest” to a property that is a “complementary building”.
3. That if any changes result from other City review and approval requirements, such as but not limited to building permit, committee of adjustment or site plan approval, a new heritage permit application may be required. The applicant is required to contact heritage planning at that time to review the changes prior to obtaining other approvals and commencing construction.

7.2. Request to Alter a Heritage Designated Property: 913 Sangster Avenue (Ward 2)

Recommendation

1. That, the proposal to add a one storey rear addition, build a north (rear) deck, enlarge a doorway (west elevation) and install new French doors, enlarge one window (west elevation) to fit new full length window, add a small deck (west), alter bay window on east elevation (on a previous addition), remove decorative shutters, remove the front trellis (south elevation), shorten the existing garage to accommodate a large tree, as shown in the attachments to the Corporate Report dated March 16, 2017 from the Commissioner of Community Services, be approved for the property at 913 Sangster Avenue, which is designated under Part IV of the Ontario Heritage Act.
2. That new windows be made of wood with exterior muntin bars, where proposed (reconfigured bay window), wood exterior finish materials and trims be noted in the drawings and a final set be provided for staff review and approval prior to issuance of a heritage permit.
3. That if any changes result from other City review and approval requirements, such as but not limited to building permit, committee of adjustment or site plan approval, a new heritage permit application may be required. The applicant is required to contact heritage planning at that time to review the changes prior to obtaining other approvals and commencing construction.

7.3. Request to Alter a Heritage Designated Property: 4300 Riverwood Park Lane (Ward 6)

Recommendation

1. That, the conservation of the windows at the Parker Estate, as shown in the attachments to the Corporate Report dated March 30, 2017 from the Commissioner of Community Services, including selective caulking, painting and weather stripping, is approved for the property at 4300 Riverwood Park Lane, which is designated under Part IV of the Ontario Heritage Act.
2. That if any changes, as a result of other City review and approval requirements, technical matters, or site conditions are encountered, and a full restoration of the windows is required, a new heritage permit application is required. The applicant is required to contact heritage planning at that time to review the changes prior to obtaining other approvals and commencing construction.

7.4. Request to Demolish a Heritage Listed Properties: 272 and 274 Victoria Street (Ward 11)

Recommendation

That the properties at 272 and 274 Victoria Street, which are listed on the City's Heritage Register, are not worthy of heritage designation, and consequently, that the owner's request to demolish proceed through the applicable process.

7.5. Request to Demolish a Heritage Listed Property: 2537 Mindemoya Road (Ward 7)

Recommendation

1. That the property at 2537 Mindemoya Road, which is listed on the City's Heritage Register, is not worthy of heritage designation, and consequently, that the owner's request to demolish proceed through the applicable process.
2. That the following salvage and mitigation options be completed and confirmation forwarded to the City:
 - a. The lancet window originally belonging to St. Peter's Church be offered to the same church
 - b. Wide plank floor be salvaged for reuse
 - c. The building be documented during demolition to record any remaining underlying architectural details

7.6. Request to Demolish a Heritage Listed Property: 1625 Blythe Road (Ward 8)

Recommendation

That the property at 1625 Blythe Road, which is listed on the City's Heritage Register, is not worthy of heritage designation, and consequently, that the owner's request to demolish proceed through the applicable process.

7.7. Request to Demolish a Heritage Listed Property: 3064 Churchill Avenue (Ward 5)

Recommendation

That the property at 3064 Churchill Avenue, which is listed on the City's Heritage Register, is not worthy of heritage designation, and consequently, that the owner's request to demolish proceed through the applicable process.

7.8. Removal or reduction of Cultural Landscape Properties from the City's Heritage Register

Recommendation

That the Cultural Landscape Inventory remain status quo, pending completion of Recommendation 6 of the Heritage Management Strategy (2016).

7.9. 2017 Ontario Heritage Conference – June 8 - 10, 2017

Memorandum dated March 28, 2017 from Stephanie Smith, Legislative Coordinator with respect to the 2017 Ontario Heritage Conference – June 8 – 10, 2017.

7.10. 2017 Membership Renewal Form - Community Heritage Ontario

Memorandum dated March 28, 2017 from Stephanie Smith, Legislative Coordinator with respect to the 2017 membership Renewal – Community Heritage Ontario.

7.11. Discussion of Protection of Vacant Heritage Properties (Councillor Carlson)

8. SUBCOMMITTEE UPDATES

9. INFORMATION ITEMS

9.1. Heritage Advisory Committee Strategic Planning Sessions Outcomes from February 14, 2017 and March 7, 2017

9.2. Demolition of 2000 Stavebank Road

Memorandum dated March 16, 2017 from P. Wubbenhorst, Senior Heritage Coordinator, with respect to Demolition of 2000 Stavebank Road.

10. OTHER BUSINESS

11. DATE OF NEXT MEETING May 9, 2017

12. ADJOURNMENT

Heritage Advisory Committee

Date

2017/03/07

Time

9:30 AM

Location

Civic Centre, Council Chamber,
300 City Centre Drive, Mississauga, Ontario, L5B 3C1 Ontario

Members Present

Councillor George Carlson, Ward 11 **(Chair)**
Rick Mateljan, Citizen Member **(Vice-Chair)** (Arrived 9:15am)
Michael Battaglia, Citizen Member
Elizabeth Bjarnason, Citizen Member
Robert Cutmore, Citizen Member
David Dodaro, Citizen Member
James Holmes, Citizen Member
Cameron McCuaig, Citizen Member
Paul McGuigan, Citizen Member
Matthew N. Wilkinson, Citizen Member (Arrived 9:16am)

Members Absent

Councillor Carolyn Parrish, Ward 5
Lindsay Graves, Citizen Member

Staff Present

Mark Warrack, Manager, Culture and Heritage Planning
Paula Wubbenhorst, Senior Heritage Coordinator, Culture Division
Cecilia Nin Hernandez, Heritage Coordinator, Culture Division
Stephanie Smith, Legislative Coordinator

Find it online

<http://www.mississauga.ca/portal/cityhall/heritageadvisory>

1. CALL TO ORDER – 9:08 AM

2. APPROVAL OF AGENDA

Approved (J. Holmes)

3. DECLARATION OF CONFLICT OF INTEREST – Nil

4. MINUTES OF PREVIOUS MEETING

4.1. Heritage Advisory Committee Minutes - February 14, 2017

Approved (R. Cutmore)

5. DEPUTATIONS

5.1. Dundas Connects (Andrew Miller, Strategic Leader)

Andrew Miller, Strategic Leader, Dundas Corridor reviewed the Dundas Corridor Master Plan. He encouraged members to attend the final public meeting on April 12 from 6:30pm – 9:00pm at Living Arts Centre.

Members of the committee made the following comments;

- Ensuring alignment between all conducted Master Plans
- Integrating historical components of Dundas Road
- Conducting a heritage focused meeting between staff and members of the Heritage Advisory Committee
- Opportunity to name a part of the route due to its historical significant

RECOMMENDATION

That the deputation by Andrew Miller, Strategic Leader regarding Dundas Connects be received for information.

Received (C. McCuaig)

Recommendation HAC-0017-2017

6. PUBLIC QUESTION PERIOD - 15 Minute Limit (In accordance with Section 43 of the City of Mississauga Procedure By-law 0139-2013, persons who wish to address the

Heritage Advisory Committee about a matter on the Agenda may ask their question limiting it to 5 minutes, as the public question period total limit is 15 minutes.)

7. MATTERS CONSIDERED

7.1. Request to Demolish a Heritage Listed Property: 1484 Hurontario Street (Ward 1)

Cameron McCuaig, Citizen Member enquired if the LRT would impact the property listing. Paula Wubbenhorst, Senior Heritage Coordinator responded that staff had yet to receive documentation of property impacts.

RECOMMENDATION

That the property at 1484 Hurontario Street, which is listed on the City's Heritage Register, is not worthy of heritage designation, and consequently, that the owner's request to demolish proceed through the applicable process.

Approved (R. Cutmore)
Recommendation HAC-0018-2017

7.2. Request to Demolish a Heritage Listed Property: 1248 Minaki Road (Ward 1)

RECOMMENDATION

That the property at 1248 Minaki Road, which is listed on the City's Heritage Register, is not worthy of heritage designation, and consequently, that the owner's request to demolish proceed through the applicable process.

Approved (M. Wilkinson)
Recommendation HAC-0019-2017

7.3. Removal or reduction of Cultural Landscape Properties from the City's Heritage Register

Members of Committee engaged in discussion regarding; informing Councillor Tovey of the report, original communication strategies to homeowners and estimated costs to the homeowners affected. Councillor Carlson noted that he would write a memorandum informing Councillor Tovey of the report. Staff provided clarification regarding the previous communications strategy and opportunities for future communications.

RECOMMENDATION

That the Corporate Report dated January 19, 2017 entitled Removal or Reduction of Cultural Landscape Properties from the City's Heritage Register be deferred to a future Heritage Advisory Committee.

Approved (M. Wilkinson)

Recommendation HAC-0020-2017

8. SUBCOMMITTEE UPDATES

8.1. Heritage Designation Sub-Committee – Nil

8.2. Public Awareness Sub-Committee – Nil

9. INFORMATION ITEMS – Nil

10. OTHER BUSINESS

Members of the Heritage Advisory Committee engaged in discussion regarding the designation of the Clarkson Cooperative Storage Limited building.

Members of the Heritage Advisory Committee engaged in discussion regarding the 150th Vimy Ridge celebration.

11. DATE OF NEXT MEETING - April 11, 2017

12. ADJOURNMENT – 9:54AM (R. Mateljan)

City of Mississauga Corporate Report



Date: 2017/03/16

To: Chair and Members of Heritage Advisory Committee

From: Paul Mitcham, P. Eng, MBA, Commissioner of
Community Services

Originator's files:

Meeting date:
2017/04/11

Subject

Request to Alter a Heritage Designated Property: 31 Mississauga Road South (Ward 1)

Recommendation

1. That the proposed alterations to the house at 31 Mississauga Road South, which is designated under Part V of the Ontario Heritage Act, located within the Old Port Credit Village Heritage Conservation District, as per the attached drawings and conservation plan included in the appendices of this report be approved.
2. That the Building Inventory for the Old Port Credit Village Heritage Conservation District be updated to indicate that the heritage status of 31 Mississauga Road has changed from a property of "historic interest" to a property that is a "complementary building".
3. That if any changes result from other City review and approval requirements, such as but not limited to building permit, committee of adjustment or site plan approval, a new heritage permit application may be required. The applicant is required to contact heritage planning at that time to review the changes prior to obtaining other approvals and commencing construction.

Background

Section 42 of the Ontario Heritage Act requires permission from Council in order to make alterations to a Part V property.

The owners of the property at 31 Mississauga Road have submitted a heritage permit application to remove the second storey at the front portion of the house and construct a new second storey with dormers at a higher elevation at the ridge in order to connect with the existing two storey addition at the rear. Also, the owners request permission to reinforce the structure's wood framing, remove the front room (former front porch), construct a new front porch, remove the existing siding and re-clad the house in vinyl siding, and remove and install new window openings, as per the drawings shown in the appendix. The proposal also includes the removal and reconstruction of the roof of the side porch.

The property is designated under Part V of the Ontario Heritage Act as per to the Old Port Credit Village Heritage Conservation District. The building is identified as one of “historic interest” in the heritage district plan for the area. The owner has submitted a Heritage Impact Statement and Conservation Plan report by Paul Oberst Architect, with Property Ownership Chronology by Sue Murdoch Historical Consulting, a letter from Tacoma Engineering, architectural and engineering drawings, supporting the proposal. See Appendix 1.

Comments

The owners of the property at 31 Mississauga Road have requested permission to remove the second storey at the front portion of the house and construct a new second storey with dormers at a higher elevation at the ridge in order to connect with the existing two storey addition at the rear. Also, the owners request permission to reinforce the structure’s wood framing, remove the front room (former front porch), construct a new front porch, remove the existing siding and re-clad the house in vinyl siding, and remove and install new window openings as per the drawings shown in the appendix. The proposal also includes the removal and reconstruction of the roof of the side porch. Refer to the appendix.

The Heritage Impact Assessment and Conservation Plan report includes an evaluation of the cultural value of the property and states that the property “is not a candidate for designation under Part IV of the Ontario Heritage Act.” (p.14). The report further states that the proposal will not “alter the basic description of the house: a 1 ½ storey side gable house with a 2 storey rear addition of frame construction with siding. This is in keeping with the character described in the Heritage Conservation District Plan”. Staff concurs with this finding.

Staff also visited the property on October 28, 2016 and found that the structure had undergone extensive work in order to stabilize it and the remaining construction methods were not notable, although the overall scale and massing of the building were complementary to the heritage district character. Therefore, in light of the evaluation submitted, the property should be reclassified as a “complementary building” in the Building Inventory for the Old Port Credit Village Heritage Conservation District.

Financial Impact

There is no financial impact.

Conclusion

The owners have submitted a heritage permit application supported by a Heritage Impact Assessment and Conservation Plan report that states that the property does not hold cultural value to warrant individual designation under Part IV of the Ontario Heritage Act. Staff concurs with this finding. The property should be reclassified from a property of “historic interest” to a “complementary building” in the Building Inventory for the Old Port Credit Village Heritage Conservation District. Therefore, the proposal, as shown in the submitted drawings in the appendices to this report, is found to depict a design which is complementary to the district character and should be approved.

Attachments

Appendix 1: Heritage Impact Assessment and Conservation Plan

Appendix 2: Submitted Drawings



Paul Mitcham, P. Eng, MBA, Commissioner of Community Services

Prepared by: Cecilia Nin Hernandez, Heritage Coordinator

**Heritage Impact Statement
&
Conservation Plan**

31 Mississauga Road South, Port Credit

City of Mississauga



Existing House, view from the corner of Mississauga Road South and Bay Street
Photo by author.

Paul Oberst, B. Arch., OAA, CAHP

Paul Oberst Architect

August 2016

Engagement:

I am an architect licensed in Ontario, and a professional member of the Canadian Association of Heritage Professionals (CAHP). I was engaged by the owners to produce a heritage impact statement regarding the property at 31 Mississauga Road South, in Port Credit in the City of Mississauga.

Contacts:

Heritage Consultant- Paul Oberst Architect 416-504-6497
oberst@bellnet.ca

Owner-

Architect- Michael Spaziani Architect Inc. 905-891-0691 x 1
mspaziani@msai.ca

Table of Contents

1. The Proposal _____	3
2. Location _____	3
3. Historical Background _____	4
4. Current Development Controls _____	4
5. Existing House Description _____	5
6. Evaluation of the property under Ontario Regulation 9/06 _____	14
7. The Proposal _____	15
8. Heritage Evaluation of the Proposal _____	19
9. Conservation Plan _____	22
10. Conclusions _____	24
11. Bibliography _____	24

Appendices

Property Ownership Chronology by Su Murdoch Historical Consulting
 Consultant's CV

1. The Proposal

It is proposed to renovate and alter the existing house at 31 Mississauga Road South in the Old Port Credit Heritage Conservation District. The proposed alterations will be sympathetic to the architectural and landscape character of the District, and will restore elements of the original house that have been lost through several alterations.

2. Location

The property is located on the east side of Mississauga Road South, at the northern corner of the intersection with Bay Street. The property is described as South Part Lot 11 and South Part Lot 12, North Side Bay Street, West Credit River, Plan PC1 (shown on Plan 300), Port Credit. It bears the Roll Number of 21-05-090-005-10200-0000.



Figure 1. Aerial view from Google Earth. Lot location is indicated by the red box..

3. Historical Background

Historical information is contained in Appendix A: Property Ownership Chronology 31 Mississauga Road South, Port Credit, City of Mississauga. This document was prepared by Su Murdoch Historical Consulting, and incorporates an Overview History of Port Credit Village that I developed in 2011 with the assistance of my client Muhammad Siddiqi,

. It is interesting that the property remained in the family of the original builder until it was purchased by the current owners in 2016.

4. Current Development Controls

4.1 Official Plan

- a) The Mississauga Official Plan designates the land use of the subject property as Residential Low Density I. This designation allows Detached Dwellings, Semi-detached Dwellings, and Duplex Dwellings.
- b) The Mississauga Official Plan designates the subject property as within the Port Credit Neighbourhood, and places policies for lands within that neighbourhood contained in the Port Credit Local Area Plan. That Plan designates the Old Port Credit Village Heritage Conservation District as one of its Precincts, and provides as follows:

10.3.2 Old Port Credit Village Heritage Conservation District Precinct

The Old Port Credit Village Heritage Conservation District Plan applies to the lands within this precinct.

The precinct contains a mixture of housing, retail commercial and community buildings of many types, representing different eras. While some of the housing stock is relatively new, the neighbourhood contains pockets of housing that date back to the nineteenth century, representing various time frames and a pleasing sense of "time depth".

The precinct is predominately low rise in character, however, the existing low rise apartment buildings are recognized as forming part of the precinct.

10.3.2.1 Any additions, alterations, adaptive reuse or redevelopment will address how the development:

- displays massing and scale sympathetic to surroundings;
- preserves the historic housing stock;
- supports the existing historical character;
- maintains the existing street grid pattern and building setbacks; and
- maintains and enhances significant groupings of trees and mature vegetation

10.3.2.2 Mississauga will encourage landscape screening along the west side of Mississauga Road South to buffer the adjacent vacant former refinery site.

4.2 Zoning Bylaw 0225-2007, enacting by-law BL 0308/11

The subject property is zoned R15-1. Table 4.6.2.1 sets out the bylaw restriction. Briefly, the R15-1 designation allows only detached dwellings. Maximum lot coverage does not apply. Minimum landscaped area is 40% of the lot area. Maximum area of a detached garage is 30 sq m. Maximum ridge height is 9.0m.

The general bylaw provisions for Accessory Buildings provides:

4.1.2 Accessory Buildings and Structures

4.1.2.1 A maximum of one (1) accessory building, structure and/or one (1) detached garage and/or one (1) gazebo and/or one (1) pergola shall be permitted per lot in R1 to R11, R15, RM1, RM2, RM7 and RM8 zones in compliance with the regulations contained in Table 4.1.2.2.

In broad terms, that table limits the area of the accessory building to 75 sq m, or 10% of the lot area, and limits the ridge height to 4.6m for sloped roofs and 3m for flat roofs. Rear lot line setbacks are minimum .6m for lots smaller than 75 sq m, and 1.2m for larger lots. Note that the table for R15-1 zones sets a lower limit of 30 sq m for the area of an accessory building.

4.2 Old Port Credit Village Heritage Conservation District, Bylaw 217-2004

The subject property is within the boundary of the Old Port Credit Village Heritage Conservation District, and all work therein is governed by the District Plan. The property is identified in the map on page 15 as a “building of historic interest”. Section 8, later in this document, discusses the application of the provisions in the Heritage District Plan to the proposal.

5. Existing Property Description

The house is located about 9.45m back from the front lot line on Mississauga Road South, with side yards of 2.31 on the south along Bay Street, and 2.74 on the interior side to the north.

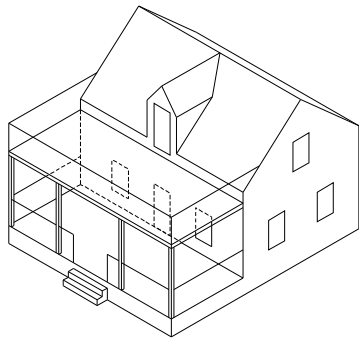
The house is a 1 ½-storey vernacular 3-bay side gable cottage with a 2-storey tail, set perpendicular to the main front block. There is an enclosed 5-bay porch across the entire front of the house, and a central dormer in the main roof above. There is a one-storey shed-roof extension which fills the south-west junction of the cottage and its tail. It may have once been an open verandah—a back porch off of the kitchen is a traditional feature of houses of this layout. The house is currently clad in aluminum clapboard siding, and has an asphalt shingle roof. The soffits, fascia and rainware are of prefinished aluminum. Most of the windows are modern replacements.

The basic form of this house has been used in Ontario from the beginning. I’ve worked on log houses of a similar size and shape, and old historic styles like Loyalist or neo-Classical cottages are very similar, as are more recent styles like Colonial Revival, wartime Victory houses, and many postwar suburban types. I call this house vernacular because it lacks the details that distinguish the various style listed above. It is a very plain mass, with very plain details.

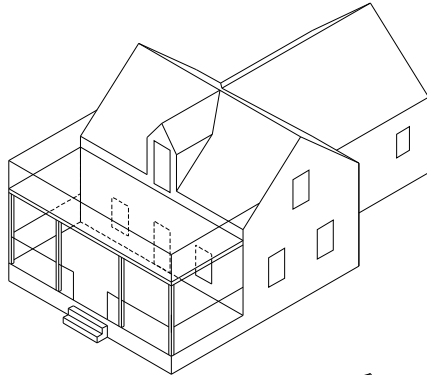
We are fortunate to have some information on the history of the house, since it has been in the same family since it was constructed until the current owners purchased it this year. The immediately previous owner, Margaret Draper, who is very knowledgeable about Port Credit history has been able to share some family lore, and she directed me to her cousin Fred Beford for more information. Mr. Beford said, “Yes, I know a lot about that house. I lived in it for 65 years.” Ellis Chandler lived in the house immediately to the north, and the house at 31 Mississauga Road South appeared on the site in 1911, having been moved from an unknown farm near Lorne Park. It was hauled on sledges over icy roads to its present location. The original house was a modest farm building, and included only the front portion of the current house with the two-level front verandah. It was incredibly small, with a footprint of about 17 x 24 feet. It had a central stair with principal rooms downstairs and sleeping quarters above. A one-storey kitchen tail was added at an unknown early date. In the 1920s the house served as the first meeting place for the Port Credit Legion, the kids being sent for the night to their grandparents’ house next door.

The upper verandah was removed around 1945, and a second storey was added above the kitchen in the late 1950s. Wanting a full-height ceiling in the tail, its roof was built higher than the ridge of the main front block. The verandah was enclosed in the late 1950s. As the aluminum siding covers the entire building, it is assumed that it was installed at the same time or afterwards. Mr. Chandler was a labourer, much of the material was scavenged, and the construction was pretty ad-hoc. The current owners have had to do a substantial amount of interior work to correct some structural defects in the original construction. The existing deck and ramp at the southeast corner of the house were added in 2013. A sketch of the evolution of the dwelling over the years is provided in figure 2, below. Margaret Draper supplied some old photographs of the house. See figures 3 & 4 below.

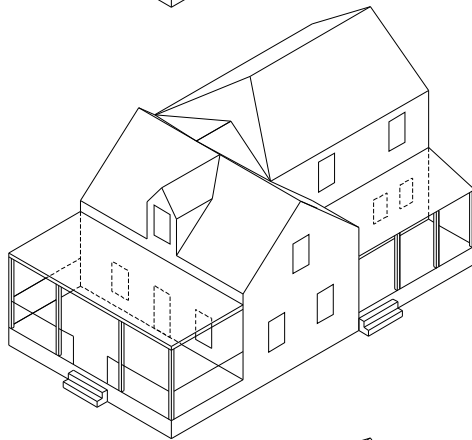
I would like to note that both Ms. Draper and Mr. Beford told me that they are very pleased with the new owners of the house. They like that they are young, that they like the house, and are working to make it their long-term home.



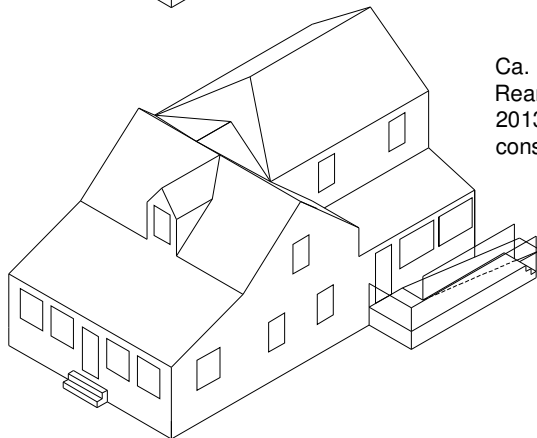
1911 House moved to site.
2-level front verandah
and dormer likely built immediately



"Early" addition of 1-storey
kitchen tail, according to Fred Belford.



Ca. 1945 upper veranda & its door
removed.
Late 1950s 2nd storey addition built
over kitchen tail.
Open rear verandah probably
built at this time.



Ca. 1960 front verandah enclosed.
Rear verandah enclosed at unknown date.
2013 rear deck and wheelchair ramp
constructed.

Figure 2. Conceptual sketches showing the evolution of the house over a century.



Figure 3. Wedding party circa 1911. Note that the existing dormer was part of the original house. The unadorned verandah had a flat roof with a railing around it, and the dormer was fitted out with a door to give access to the upper gallery. The siding appears to be wood clapboard with corner boards, and the roof appears to be wood shingle. The central chimney is no longer there.



Figure 4. Unknown person, unknown date. Verandah has been changed from original.



Figure 5. Front of the house, facing Mississauga Road South.



Figure 6. South side of the house, facing Bay Street.



Figure 7. View from Bay Street looking northwest. Note exterior chimney replacing original central one.



Figure 8. The rear (east) side of the house.

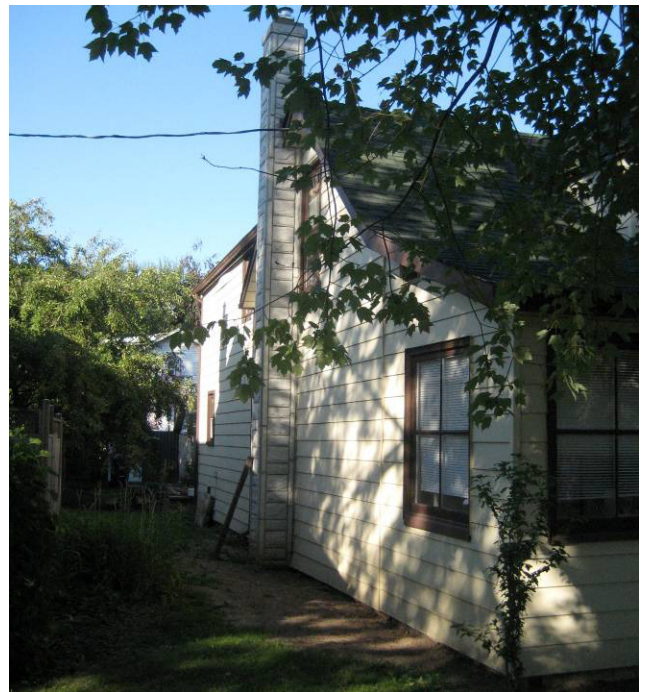


Figure 9. Flanking view of the north side of the house. Note the second non-original chimney.

The interior of the house has been much altered. Walls have been removed to create a more open plan than what would have been the original layout. New closets, with double width doors have been created in place of what would have been much smaller ones. All interior trim, including doors, door and window casings and baseboards have been replaced with modern items.



Figure 10. The interior of the house has been gutted in order to effect structural remediation.

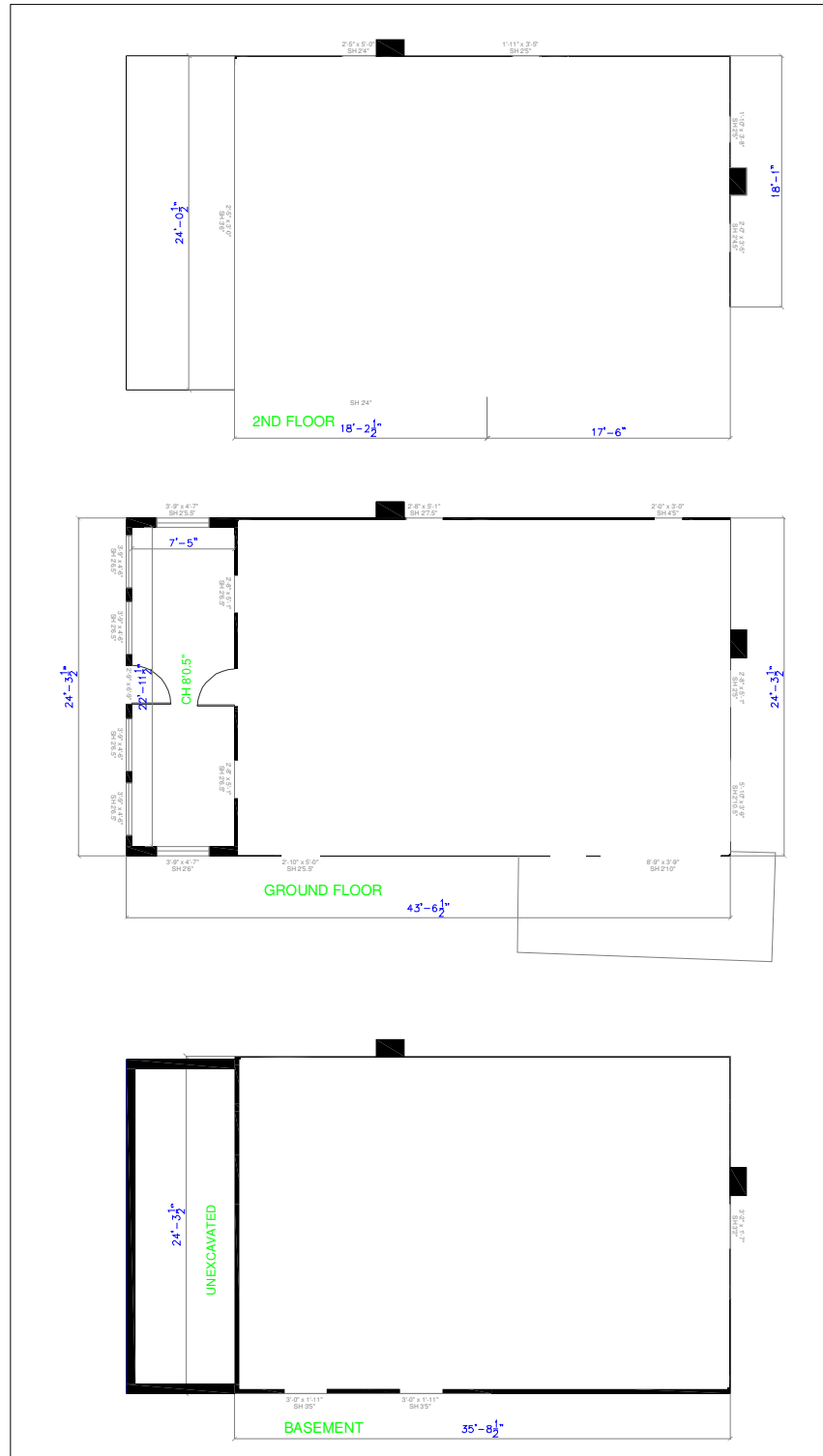


Figure 11. Plans of the house as it presently exists.

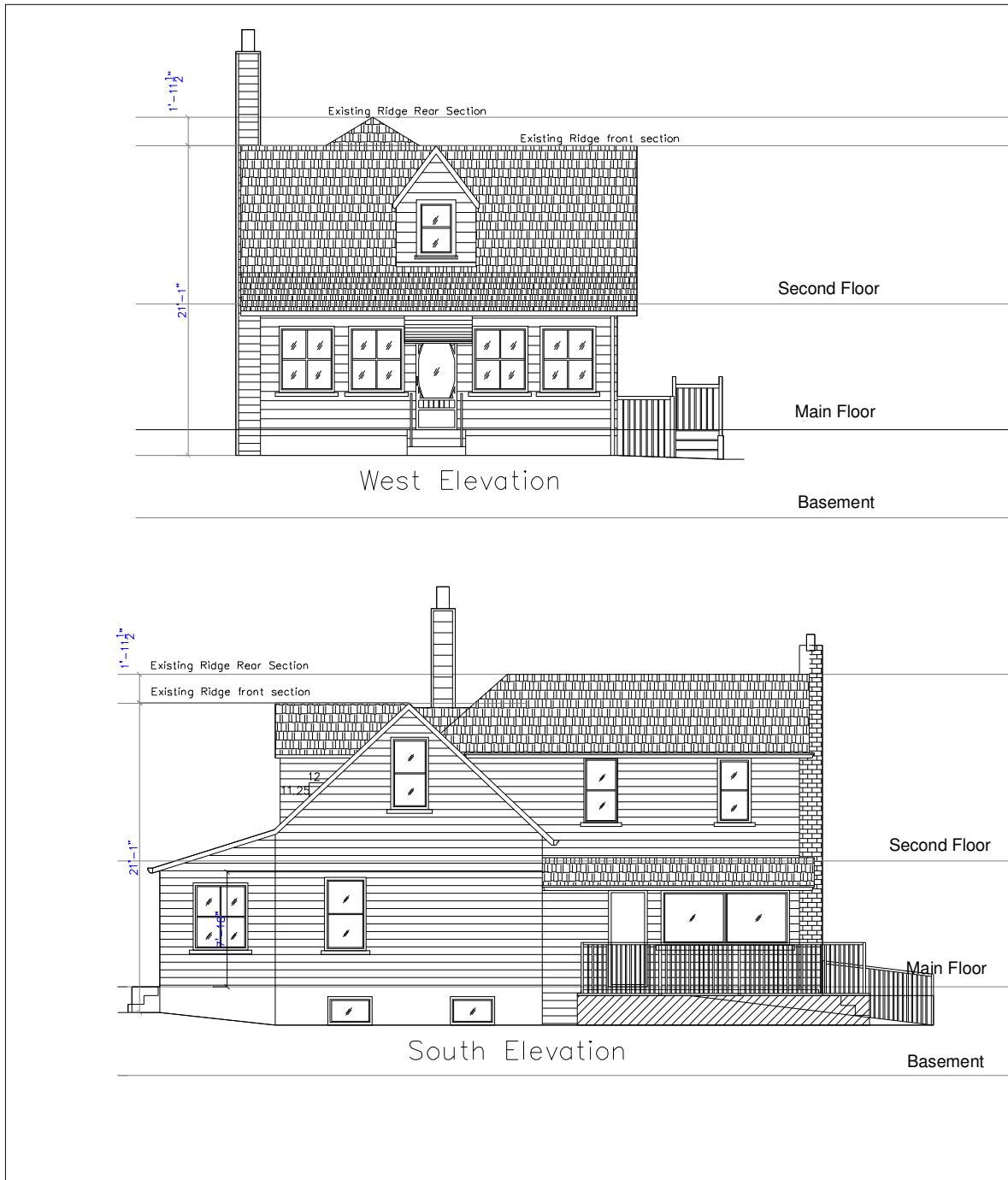


Figure 12. Street elevations of the existing house. Mississauga Road South, above. Bay Street, below.

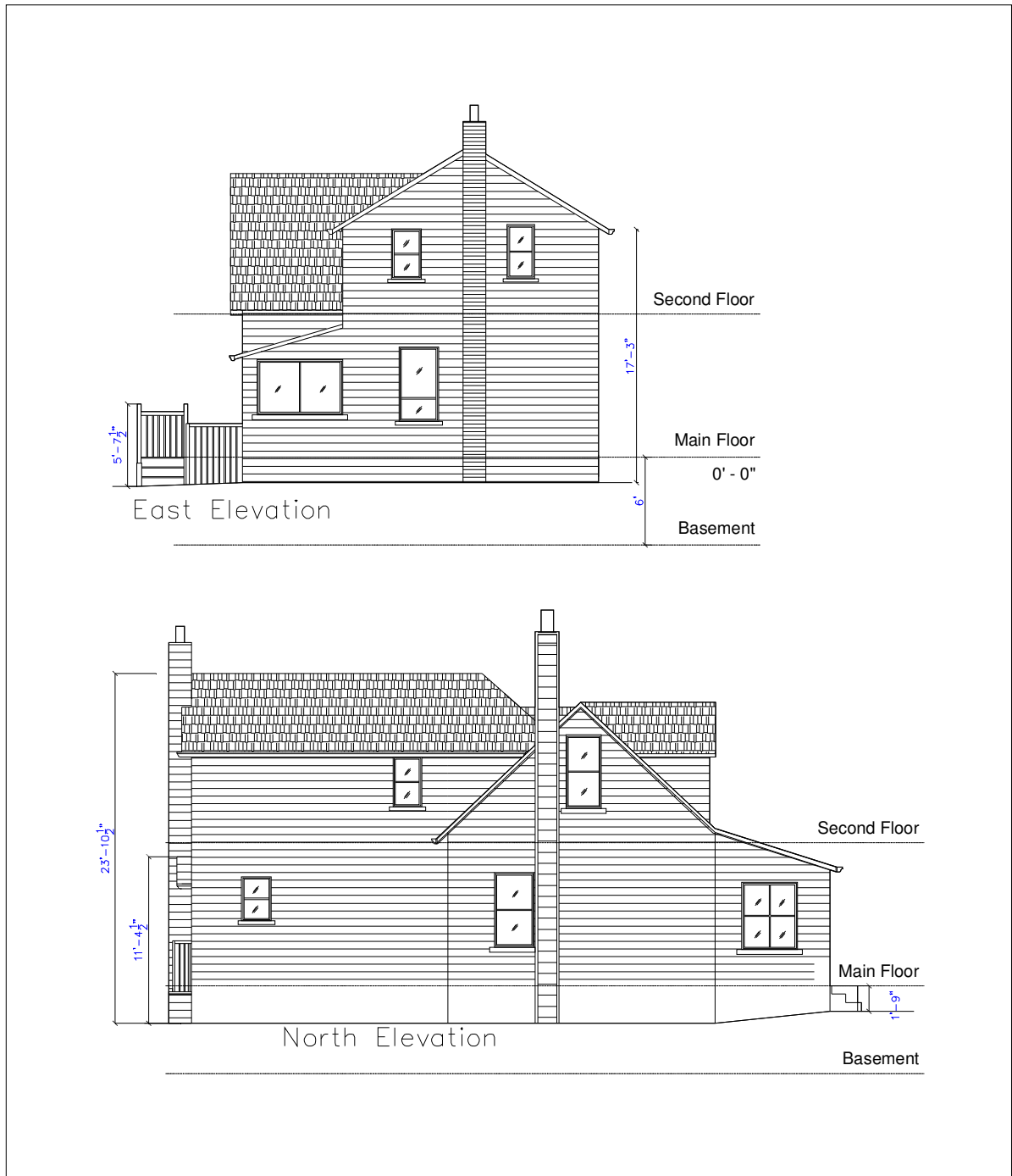


Figure 13. Interior lot line elevations of the existing house. East (rear), above. North side, below.

6. Evaluation of the property under Ontario Regulation 9/06

Ontario Regulation 9/06 sets out the criteria for designation, referenced in Section 29(1)(a) of the *Ontario Heritage Act* as a requirement for designation under Part IV of the Act.

The Regulation states that “A property may be designated under section 29 of the Act if it meets one or more of the following criteria for determining whether it is of cultural heritage value or interest:”

1. The property has design value or physical value because it,
 - i. is a rare, unique, representative or early example of a style, type, expression, material or construction method,
 - ii. displays a high degree of craftsmanship or artistic merit, or
 - iii. demonstrates a high degree of technical or scientific achievement.
2. The property has historical value or associative value because it,
 - i. has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community,
 - ii. yields, or has the potential to yield, information that contributes to an understanding of a community or culture, or
 - iii. demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.
3. The property has contextual value because it,
 - i. is important in defining, maintaining or supporting the character of an area,
 - ii. is physically, functionally, visually or historically linked to its surroundings, or
 - iii. is a landmark. O. Reg. 9/06, s. 1 (2).

My evaluation of the subject property, on the basis of these criteria follows:

1. i, The existing house is not a rare, unique, or early example of its style, type, expression, material or construction method. It has been greatly modified since it was placed on the site, and so does not reflect any one style, type, or expression. As with any building, it is representative of something, but this is not a criterion to be applied lightly. Designation should mean something, and not every example of a common building type is worthy.
1. ii, The craftsmanship or artistic merit of the house is not high.
1. iii, There is no demonstration of technical or scientific achievement in the building.
2. i, There is no direct association with a theme, event, belief, person, activity, organization or institution that is significant to the Port Credit community.
2. ii, The building does not yield or have potential to yield significant information about the community or its culture.
2. iii, There is no identified architect, artist, builder, designer, or theorist.

3. i, The identified character of the area (see section 77, below) is based on its early 20th century development, with a scattering of earlier buildings. The existing building does not help define, nor maintain that character. It might be said to support it, mainly due to its scale and landscape characteristics, but the same is can be said of a many newer building as well.

3. ii, The links to the surroundings are typical of the area, and do not have any special characteristics.

3. iii, The building is not a landmark..

In my professional opinion, and based on the criteria in Ontario Regulation 9/06, the property at 31 Mississauga Road South is not a candidate for designation under Part IV of the *Ontario Heritage Act*.

7. The Proposal

The basic form of the house will be retained. The proposed changes are as follows:

- The ridge of the front side-gable roof is to be raised 2 feet to match the ridge of the existing tail.
- The enclosed front verandah is being replaced by a two-level open verandah, similar to the original as shown in figure 3.
- The existing exterior chimneys will be removed.
- New window openings—ground floor south façade towards rear of front portion; ground floor east façade new patio door in centre of wall.
- Add two small dormers flanking existing centre dormer on front roof slope.
- Remove 2013 deck and handicap ramp addition and reuse existing stair which was left beneath it.
- All windows will be new, 2 over 2 double hung, to match the original windows as seen in figure 3.
- Remove 8” aluminum clapboard siding and replace with 4” vinyl siding, in keeping with the siding profile of the original house as seen in figure 3.

None of these changes alter the basic description of the house: a 1 ½ storey side gable house with a two storey rear addition of frame construction with siding. This is in keeping with the character described in the Heritage Conservation District Plan. See excerpt in Section 8 of this document, below.

There will be interior layout changes which are not subject to review, under Part V of the *Ontario Heritage Act*.

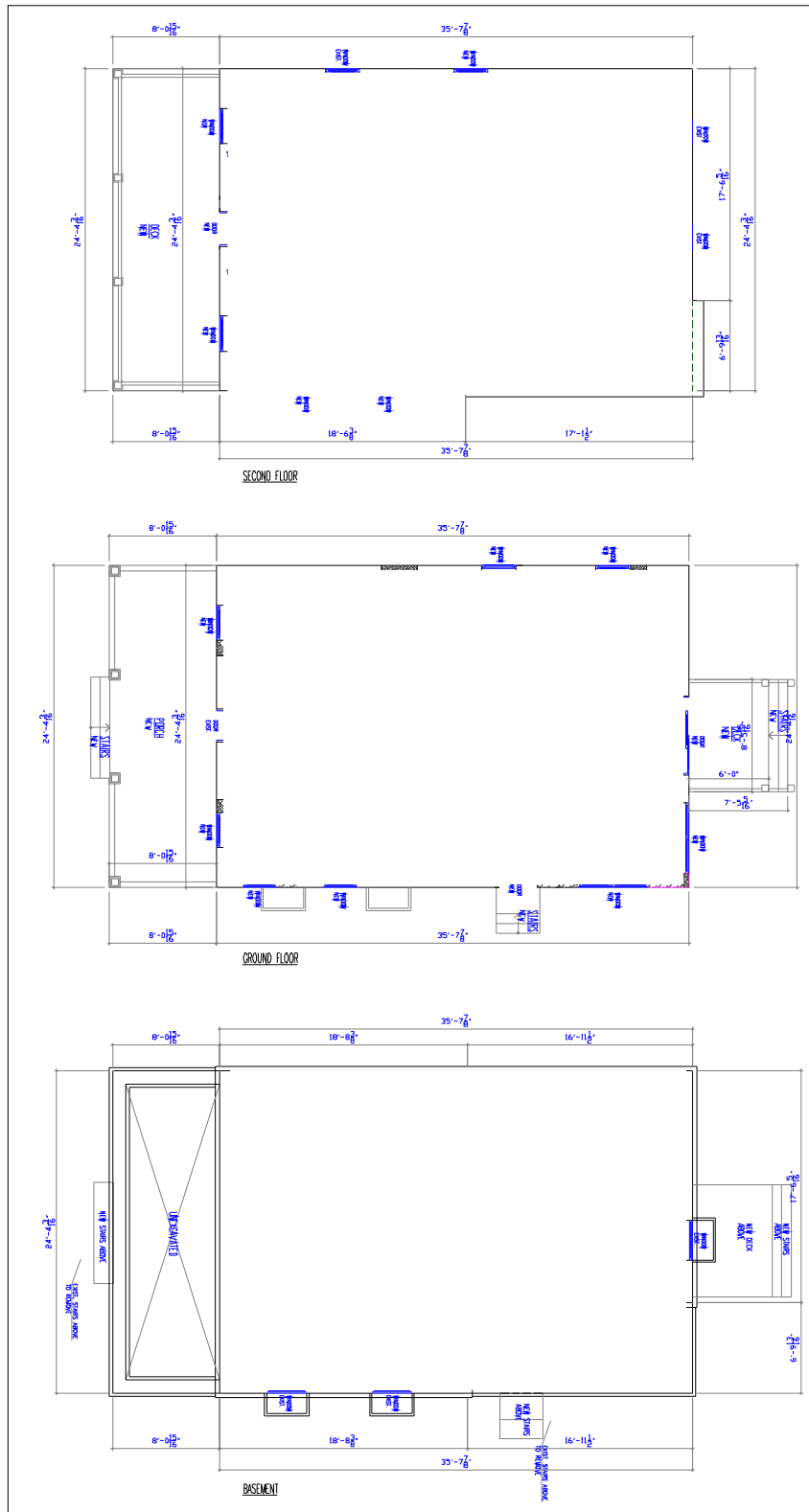


Figure 14. Plans of the proposed alterations.
The footprint is not altered except for the replacement of the enclosed front verandah with an open verandah in keeping with the original design.

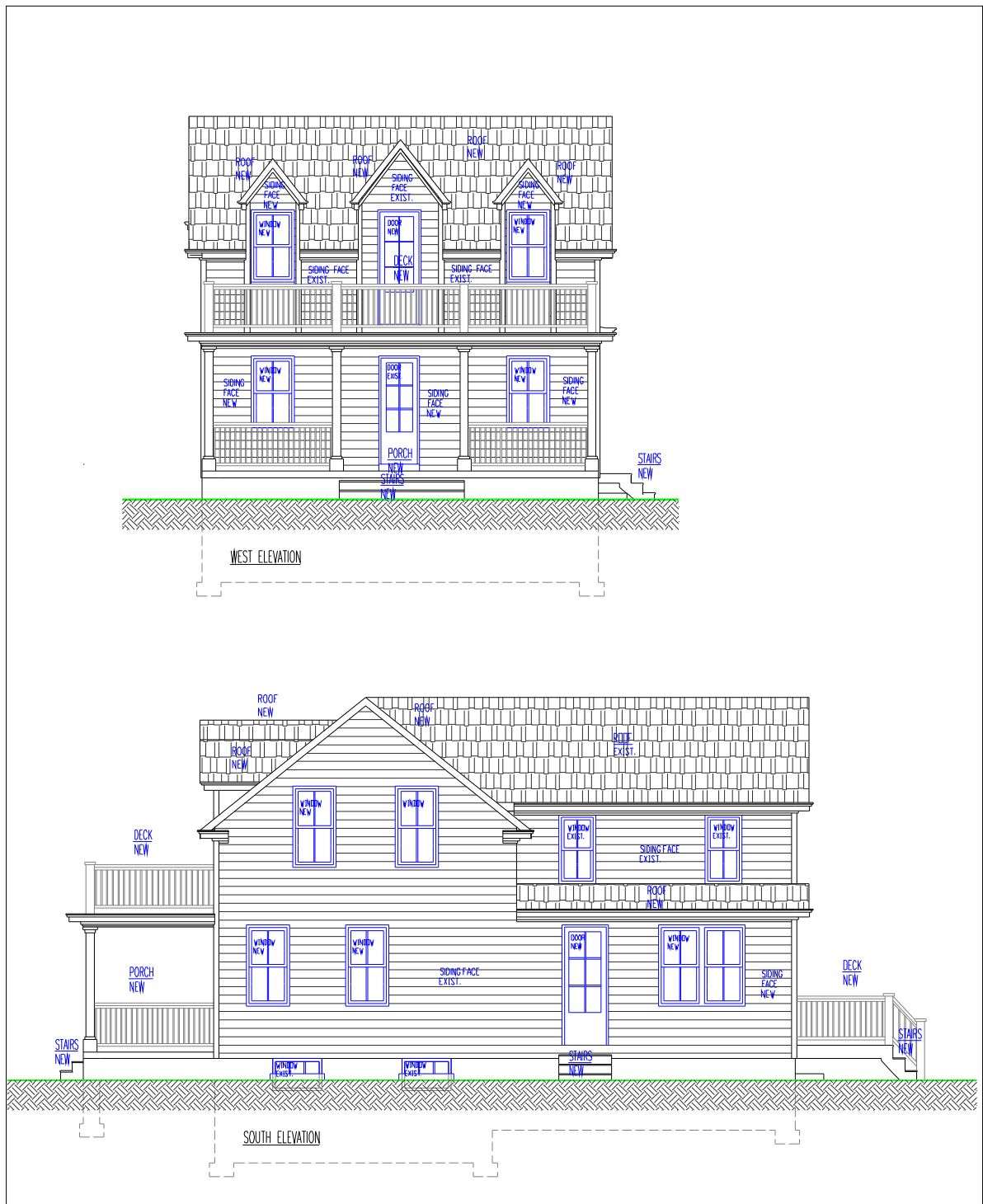


Figure 15. Street elevations of the proposed alterations. Mississauga Road South (front), above. Bay Street, below. Front roof slope is increased to 12:12 from 11.25:12. Two small dormers added to front roof slope. New windows match originals in design. Original open two-level front verandah is restored.

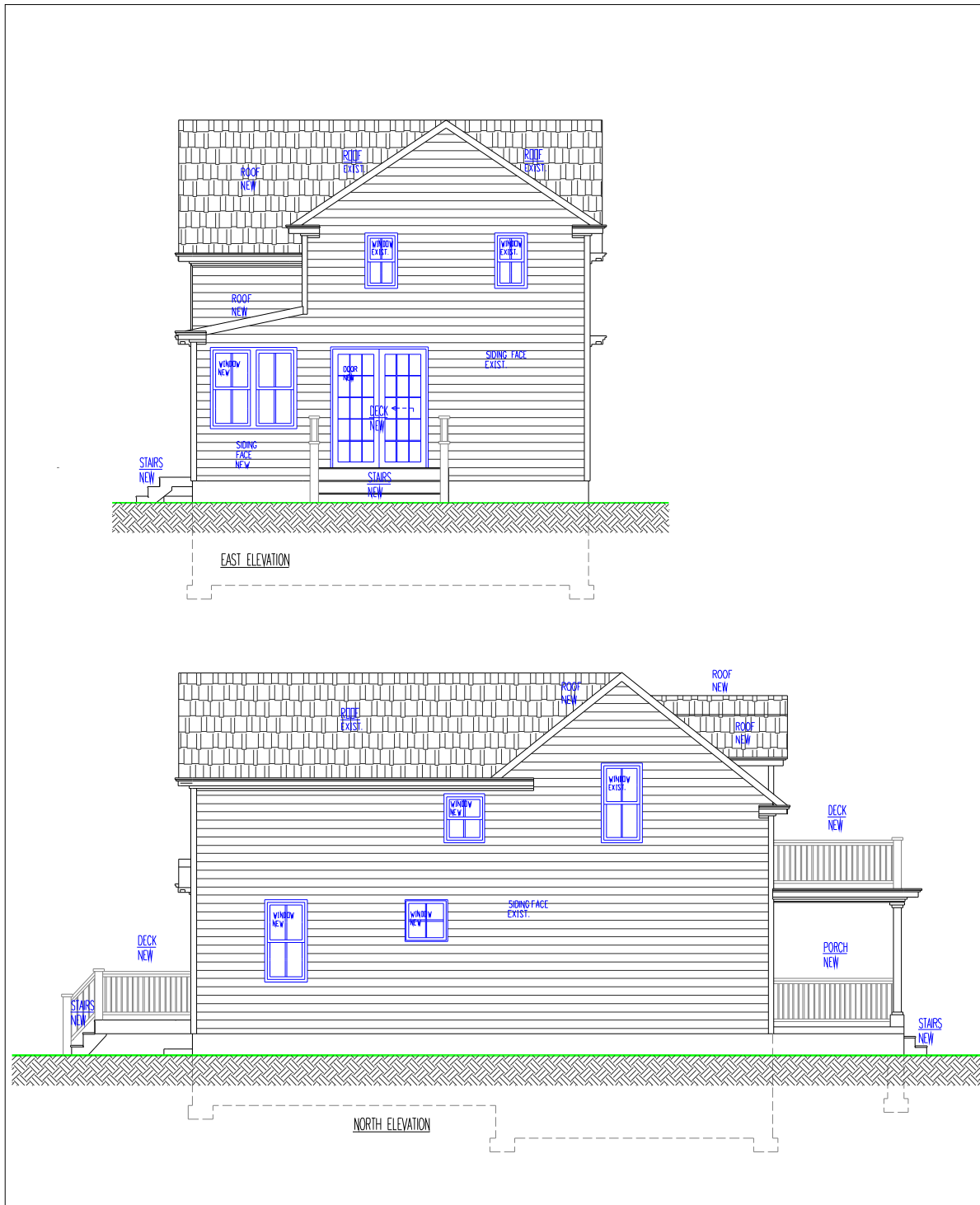


Figure 13. Interior lot line elevations of the proposed alterations. East (rear), above. North side, below.

8. Heritage Evaluation of the Proposal

8.1 District Character. The Ministry of Tourism Culture and Sport describes the function of Heritage Conservation Districts in the first section of its Heritage Toolkit book *Heritage Conservation Districts: A Guide to Designation Under the Ontario Heritage Act*:

District designation enables the council of a municipality to manage and guide future change in the district, through the adoption of a district plan with policies and guidelines for conservation, protection and enhancement of the area's special character. (emphasis added.)

In other words, the Ministry recognizes that districts change. The aim is not to conserve every element in the area, but to conserve the area's overall character.

It has been common, therefore, for Heritage Conservation District Plans to make a statement about what that character is. Since the 2005 amendments to the Ontario Heritage Act, Plans have been required to contain "a statement explaining the cultural heritage value or interest of the heritage conservation district". The Toolkit describes this statement as follows:

The statement of cultural heritage value describes the heritage values that contribute to the special identity and character of the district that should be protected. A clear statement will help to promote understanding of the values and attributes and will assist decision-makers in ensuring that future changes and interventions contribute to, rather than detract from, the character of the area. Statements should be brief and succinct and should relate specifically to the identified values and attributes of the district. (emphasis added).

The Old Port Credit Village Heritage Conservation District Plan was adopted just before the amendments to the Heritage Act, and its Section 1.5—Statement Defining the District's General Historical Character—is rather lengthy since it covers later intensified development along the northern and eastern edges of the District. Rather than quote the entire Section, I will quote the parts that describe the typical low-scale residential areas of which the subject property is an example.

- Urban form in old Port Credit village is defined by the original grid of streets laid out by survey or Robert Lynn, by the Credit River and by J. C. Saddington Park fronting on Lake Ontario. There is a progression from high traffic activity on Lakeshore Road West, through quiet residential streets that dead-end in the park, to the sounds and sights of Lake Ontario.
- Single-family houses, a few of which have been converted to commercial use, are typical in the district.
- Other houses of historic interest, dating from the nineteenth and early twentieth centuries, are modest vernacular dwellings: frame with siding or with a veneer of locally manufactured brick, usually 1½ storeys tall and gable roofed. Many were built by those who made their living on the water – mariner, sailor, fisherman and wharfingers – by tradesmen or by labourers. Infill houses of the mid-twentieth century were also modest. Houses that in terms of size and height complement houses of historic interest provide an appropriate architectural context for the district's houses of historic interest. The front yards of houses are predominately landscaped, contain a diversity of deciduous and some conifer tree species, and usually provide access to the street by means of a single driveway situated to one side of the lot.

I would add to that description the characteristic front yard set-backs in the area, which are similar, but not identical, from house to house, and the random—as opposed to linear—placement of trees. I have identified these elements as typical of villages in my own HCD studies, in contrast to the more uniform layouts of buildings and trees found in towns. Also characteristic in the core of Old Port Credit is the mix of buildings of historic interest and complementary and other buildings. There are very few blocks that don't contain a mix.

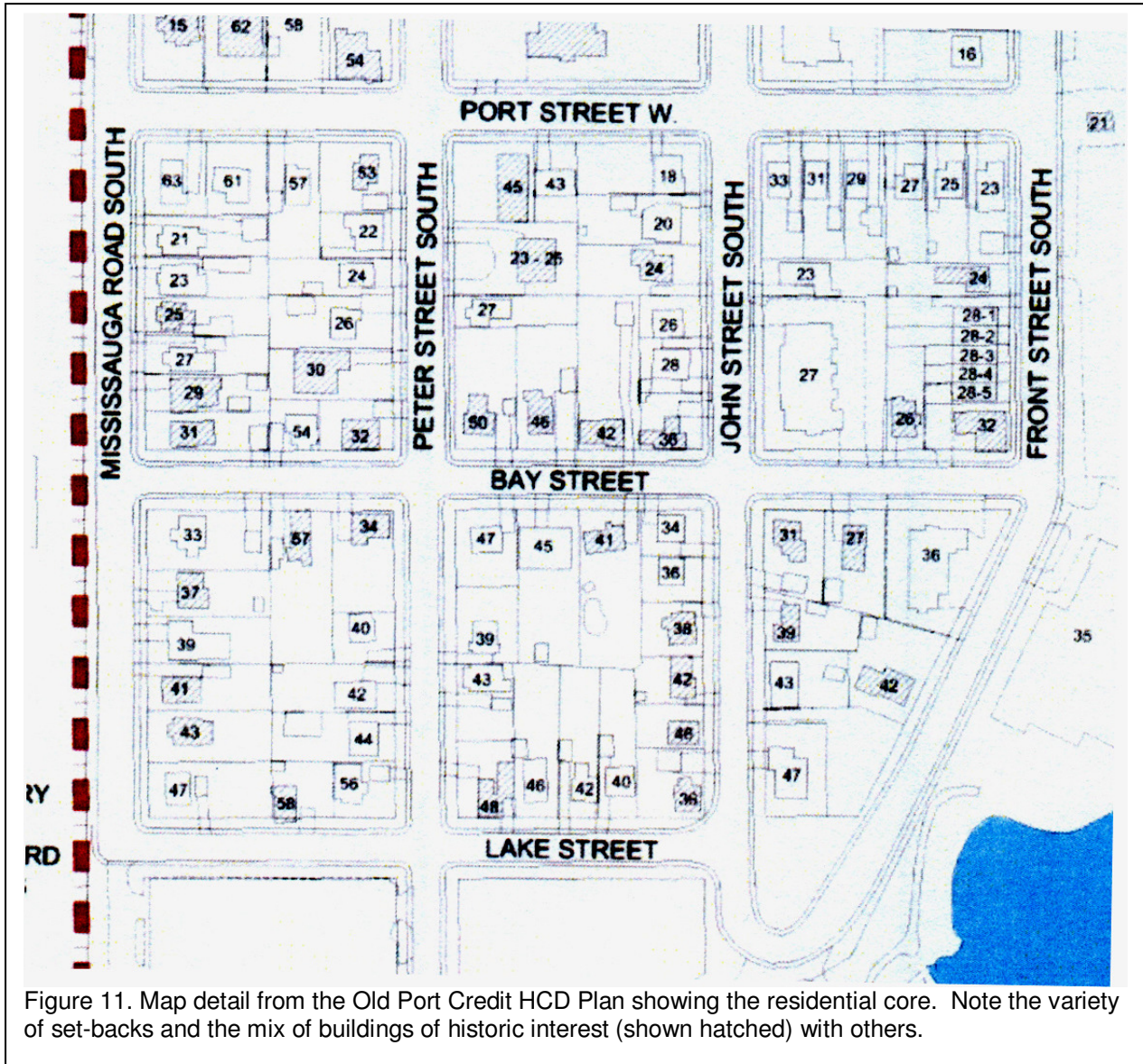


Figure 11. Map detail from the Old Port Credit HCD Plan showing the residential core. Note the variety of set-backs and the mix of buildings of historic interest (shown hatched) with others.

8.2. Contribution of the Subject Property to the District Character

The heritage tab on the City's Property Information website describes the property as follows.

History of the CHANDLER-ANDERSON RESIDENCE

The one-and-a-half storey building has a gable roof and small dormer on the front facade. The porch has been enclosed to provide for a five bay facade with windows being two-over-two. The structure is finished in horizontal siding. The historian Verna Mae Weeks both describes and illustrates the frame house as Ellis Chandler's. The land title records Ellis Chandler, a labourer, both buying and mortgaging the southern half of Lots 11 and 12 north of Bay Street in 1911. Weeks gives his occupation as delivering mail from the train station to the post office. He is the same Ellis Chandler associated with 24 John Street South, married to Jane Chandler. In 1921 when his son William owned the property at today's 31 Mississauga Road South, he was described as a gardener from New Toronto. The house is first illustrated on the 1928 fire insurance plan.

MISSISSAUGA ROAD SCENIC ROUTE: Mississauga Road is one of the oldest roads in Mississauga. Its alignment varies from being part of the normal road grid in the north to a curvilinear alignment in the south following the top bank of the Credit River. The scenic quality of the road is notable because it traverses a variety of topography and varying land use from old established residential neighbourhoods to new industrial and commercial areas. From Streetsville south the boulevards and adjacent landscapes are home to some of the oldest and most spectacular trees in the City. It is acknowledged as an important cultural landscape because of its role as a pioneer road and its scenic interest and quality.

Consultant's Comment: I believe that the description of the Mississauga Scenic Route should not apply to Mississauga Road South, which does not share the scenic and curvilinear character of Mississauga Road north of Lakeshore. I believe that the landscape and streetscape character of Mississauga Road South is consistent with the village-type landscape and streetscape character of the Port Credit Village Heritage Conservation District, rather than that of the road as it follows the course of the river to the north.

In my professional opinion, the existing house and landscaping, described and depicted in Section 5, above, conforms to the description in the Character Section of the HCD plan, being a modest vernacular dwelling, frame with siding, 1½ storeys tall and gable roofed.

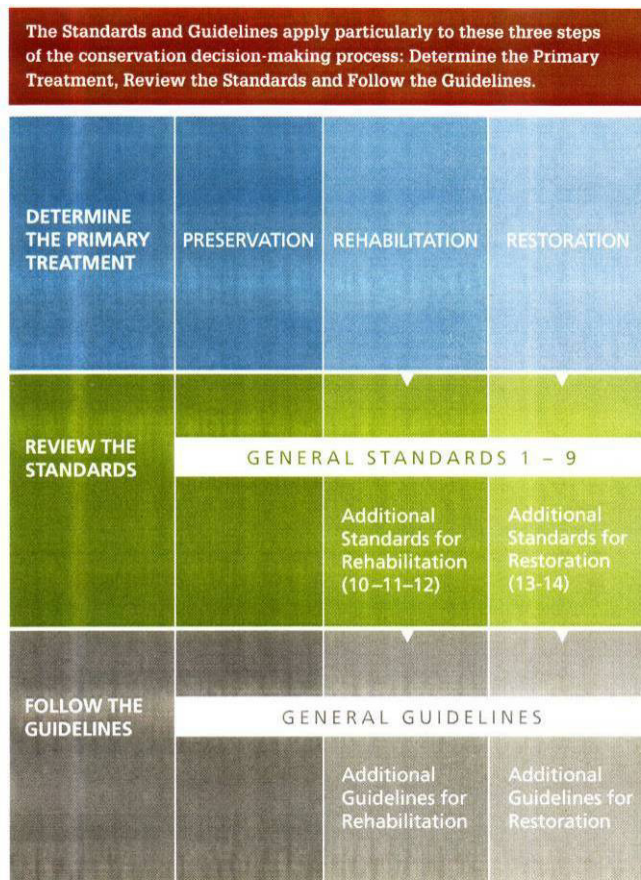
In my professional opinion, the proposed alterations to the house, described and depicted in Section 7, above, maintain those identified characteristics and restore some original elements of the house that have been subsequently lost or concealed. The addition of two small dormers and new windows and patio door do not detract from the heritage character of the house.

9. Conservation Plan

9.1 Project Conservation Principles

The conservation approach for the Alterations to 31 Mississauga Road South relies on *Standards and Guidelines for the Conservation of Historic Places in Canada*, published by Parks Canada—hereinafter referred to as *Standards and Guidelines*. Briefly stated, it provides guidance for planning and executing conservation projects on identified historic places.

The chart below, from the introduction to the document, shows how it is to be used.



Identify Heritage Value and Character-Defining Elements:

As described in Sections 6 through 12, above, the existing house at 31 Mississauga Road South has minimal individual heritage value. It does not meet the threshold for designation under the Part IV of the Ontario Heritage Act. It reflects the defining house type described in the Heritage Conservation Plan, both as it stands and as it will be altered. Its modest scale, massing characteristics and its landscaping are in keeping with, and contribute to, the historic character of the Village. The visual scale of the house and the quality of the landscaping are the Character-Defining Elements that are worthy of conservation.

Maintain or Select and Appropriate and Sustainable Use:

Maintenance of use as a single-family dwelling is sustainable within the context of the Old Port Credit Village Heritage Conservation District.

Determine the Primary Treatment:

The project is to upgrade a single-family dwelling to make it suitable for continuing and sustainable use. The primary treatment will therefore be considered a Rehabilitation project, under the terms of the *Standards and Guidelines*.

Review Standards:

Within the context of the Old Port Credit Village Heritage Conservation District, the proposal conserves the Character-Defining Elements of the subject property, and restores original elements such as the open front verandah, siding material, and window types. In maintaining the visual building scale, respecting the original vernacular style, and conserving the landscape character, the proposal will sustainably conserve and enhance the heritage character of the District

Balancing Other Considerations:

The second edition of the Standards and Guidelines has removed the Balancing Other Considerations section. It is still worth noting that upgrading the existing 105-year old house will provide long-term benefits in terms of both energy efficiency, and longevity. The most important factor in conservation is finding a sustainable and long-term use.

9.2 Elements of the Conservation Plan

- Provide a sustainable continuation of the existing single-family dwelling use.

The most significant means of preserving a historic building is providing a sustainable continuing or compatible use. By updating the building to modern standards its continued conservation is ensured. Updating systems for improved energy performance is part of that effort, as are the interventions in the roof at the front of the building—adding two small dormers and raising the slope from 11.25/12 to 12/12 in order to provide more useful rooms in the space. It also simplifies the form of the roofscape.

Correct structural deficiencies.

Interior structural remediation, not requiring a heritage permig, has already occurred. Remediation of roof structure will be undertaken as part of the roof re-configuration. As noted in Section 5 above, additions to the building were fairly ad-hoc and used scavenged materials. This is particularly true of the junction of the front side-gabled roof and the front-gabled roof of the late 1950s second storey rear addition.

- Maintain existing site plan.

Building footprint is maintained. Site is maintained: exiting sidewalk, garage and driveway, lawns and trees are all retained unchanged.

- Maintain basic building form.

The basic form, which is in keeping with the characteristic housing described in the Heritage District Plan, is retained: small 1 ½-storey side-gabled front element with 2-storey front-gabled tail with a shed-roof extension on the south side.

- Restore historic elements that have been lost over time.

Removal of the existing single-level enclosed verandah—dating from about 1945—and its replacement with an open two-level verandah in keeping with the original design as seen in the 1911 photograph (figure 3).

Replacement of 8” metal clapboard siding with new siding that matches the profile of the original wood clapboard siding.

Replacement of existing unsympathetic replacement windows with new windows that replicate the 2-over-2 double hung windows seen in the 1911 photograph (figure 3.)

- Remove unsympathetic alterations that have occurred over time.

Remove existing deck and wheelchair ramp in southeast angle which date from 2013.

It is anticipated that all work will occur within one year of approval.

10. Conclusions

In my professional opinion, the proposed alterations of the property at 31 Mississauga Road South in the Old Port Credit Heritage Conservation District conserves the heritage character of the District, in the context of its location on Mississauga Road South.

The existing use is maintained in a sustainable way, ensuring long-term preservation of the building. The building form and scale, streetscape and landscape are all conserved, and are in keeping with the characteristics described in the Heritage Conservation District Plan.

Unsympathetic alterations are removed, and original elements are replicated: the open front verandah, window type and siding profile.

In keeping with the advice of the Ministry in the Toolkit book *Heritage Conservation Districts*, approval “decisions should be guided by the provisions of the HCD district plan”. In my professional opinion, the proposed alterations of the property at 31 Mississauga Road South in the Old Port Credit Heritage Conservation District merits approval.

11. Bibliography

City of Mississauga: Old Port Credit Village Heritage Conservation District Plan 2004

City of Mississauga: Heritage Conservation Feasibility Study of Old Port Credit Village 2003

City of Mississauga: Zoning Bylaw 0225-2007, as amended

City of Mississauga: Official Plan 2015

Ontario: Ontario Heritage Act, R.S.O. 1990, Chapter O. 18, as amended.

Ontario Ministry of Housing and Municipal Affairs. Provincial Policy Statement 2005, Toronto: 2005

Ontario Ministry of Tourism, Culture and Sport: Ontario Heritage Toolkit, Heritage Conservation Districts, Queen's Printer for Ontario, 2006.

Parks Canada. Standards and Guidelines for the Conservation of Historic Places in Canada, second edition. Queen's Printer, 2010

Telephone interviews with Margaret Draper and Fred Belford, both descendants of the builder, and both former residents in the house.

PROPERTY OWNERSHIP CHRONOLOGY

***31 MISSISSAUGA ROAD SOUTH, PORT CREDIT
CITY OF MISSISSAUGA***

***PREPARED FOR
PAUL OBERST ARCHITECT***

**SU MURDOCH HISTORICAL CONSULTING
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AUGUST 2016

CONTENTS

1.0 PROPERTY DESCRIPTION

- 1.1 LOCATION
- 1.2 HERITAGE STATUS

2.0 REPORT OBJECTIVE AND METHODOLOGY

3.0 OVERVIEW HISTORY OF PORT CREDIT VILLAGE

- 3.1 EARLY DEVELOPMENT
- 3.2 20TH CENTURY PORT CREDIT

4.0 PROPERTY CHRONOLOGY

- 4.1 EARLY LOT HISTORY
- 4.2 ELLIS CHANDLER FAMILY

ELLIS AND JANE CHANDLER (OWNERS 1911-1914)

WILLIAM ELLIS AND CATHERINE CHANDLER (OWNERS 1914-1930)

ELSIE AND SYDNEY CHANDLER (OWNERS 1930 - 1945)

WILLIAM ANDERSON AND NORAH CHANDLER ANDERSON (OWNERS 1945 - 2013)

ELIZABETH BLOWER AND MARGARET DRAPER (OWNERS 2013 - 2016)

- 4.3 CURRENT OWNER

5.0 SUMMARY

SOURCES

ENDNOTES

PROPERTY OWNERSHIP CHRONOLOGY

31 MISSISSAUGA ROAD SOUTH, PORT CREDIT, CITY OF MISSISSAUGA

SOUTH PART LOT 11 AND SOUTH PART LOT 12, NORTH SIDE BAY STREET, WEST CREDIT RIVER, PLAN PC1 (SHOWN ON PLAN 300), PORT CREDIT

1.0 PROPERTY DESCRIPTION

1.1 LOCATION

The legal description of 31 Mississauga Road South is south part Lot 11 and south part Lot 12, north side Bay Street, West Credit River, Plan PC1 (shown on Plan 300). This is a parcel of land at the northeast corner of Mississauga Road South (originally known as Joseph Street) and Bay Street in Port Credit. It is on the west side of the Credit River and contains a modest, frame dwelling built in 1911 and later remodelled.

1.2 HERITAGE STATUS

This property is within the boundary of the Old Port Credit Village Heritage Conservation District. This is a geographic area protected by City of Mississauga Bylaw 272-2004 under Part V of the Ontario Heritage Act. No. 31 Mississauga Road South is considered a property of “historic interest” within the HCD and is described by the City of Mississauga (“City”) as follows:

History of the CHANDLER-ANDERSON RESIDENCE

The one-and-a-half storey building has a gable roof and small dormer on the front facade. The porch has been enclosed to provide for a five bay facade with windows being two-over-two. The structure is finished in horizontal siding. The historian Verna Mae Weeks both describes and illustrates the frame house as Ellis Chandler's. The land title records Ellis Chandler, a labourer, both buying and mortgaging the southern half of Lots 11 and 12 north of Bay Street in 1911. Weeks gives his occupation as delivering mail from the train station to the post office. He is the same Ellis Chandler associated with 24 John Street South, married to Jane Chandler. In 1921 when his son William owned the property at today's 31 Mississauga Road South, he was described as a gardener from New Toronto. The house is first illustrated on the 1928 fire insurance plan.

For heritage planning purposes, the City categorizes Mississauga Road as a cultural heritage landscape. It is not protected under the Ontario Heritage Act, but the City reviews all permit applications in the context of impact on the character of the cultural heritage landscape. The City describes Mississauga Road, as follows:

MISSISSAUGA ROAD SCENIC ROUTE

Mississauga Road is one of the oldest roads in Mississauga. Its alignment varies from being part of the normal road grid in the north to a curvilinear alignment in the south following the top bank of the Credit River. The scenic quality of the road is notable because it traverses a variety of topography and varying land use from old established residential neighbourhoods to new industrial and commercial areas. From Streetsville south the boulevards and adjacent landscapes are home to some of the oldest and most spectacular trees in the City. It is acknowledged as an important cultural landscape because of its role as a pioneer road and its scenic interest and quality.

2.0 REPORT OBJECTIVE AND METHODOLOGY

The current property owners, Besmira Alikaj and David Mucklow, are applying for a heritage permit to alter the dwelling. Given the location of the property within the Old Port Credit Village HCD, plus the categorizing of Mississauga Road as a cultural heritage landscape, the City requires a Heritage Impact Assessment (“HIA”) to accompany the permit application.

The objective of this Property Ownership Chronology is to provide research information, not cultural heritage evaluation, as a component of the HIA being compiled separately by Paul Oberst Architect.

The information in this report was assembled through a property Title search at the Peel Region Land Registry Office and documentary research, including research provided by Paul Oberst and by a past owner and Chandler family member, Margaret Draper. The property was not personally viewed. Photographs of the exterior of the dwelling were provided by Paul Oberst.

3.0 OVERVIEW HISTORY OF PORT CREDIT VILLAGE

3.1 EARLY DEVELOPMENT

The village of Port Credit is historically at the southern limit of Toronto Township in the County of Peel. It fronts on the north shore of Lake Ontario, at the mouth of the Credit River.

For centuries before European settlement, the Credit River was an important transportation corridor for aboriginal people. The Mississaugas are known to have been trading in the 1720s with the French, near the mouth of the Credit River at the Lake Ontario shoreline. After the French lost control of New France in 1759, the British erected a trading post on the east bank of the river at Port Credit. This was around 1798. In 1804, the government built a “station” or building to accommodate emigrants to the area.

The first settler in Toronto Township was Colonel Thomas Ingersoll. According to the 1877 *Historical Atlas of Peel County*, “Col. Ingersoll is generally acknowledged as being the founder of the village, he having had a trading store there in about 1804 or 5. . . . [He] kept the Government House and Ferry at Port Credit.”

On August 2, 1805, the Mississaugas signed a land treaty with the British Crown, reserving a “one mile” strip of land on either side of the river (currently from Rhododendron Gardens to Hiawatha Park).¹ The following year, Deputy Surveyor Samuel Wilmot undertook the first survey of the lower part of Toronto Township, the “Old Survey.” As the mile wide strip on each side of the river had to be set aside, the site of Port Credit was not included in the survey, except for an area around Government House.

By 1807, settlers were arriving via Lake Ontario and by the early colonization roads that reached about four kilometres west of the mouth of the Credit River. The Mississaugas signed another treaty in 1818. The following year, the rear part of Toronto Township was surveyed, the “New Survey.” Further treaties in 1820 left the Mississaugas with a 200 acre reserve of land in the township. In an effort to assimilate them, the government built a village north of Port Credit in 1826, now the site of the Mississauga Golf and Country Club.

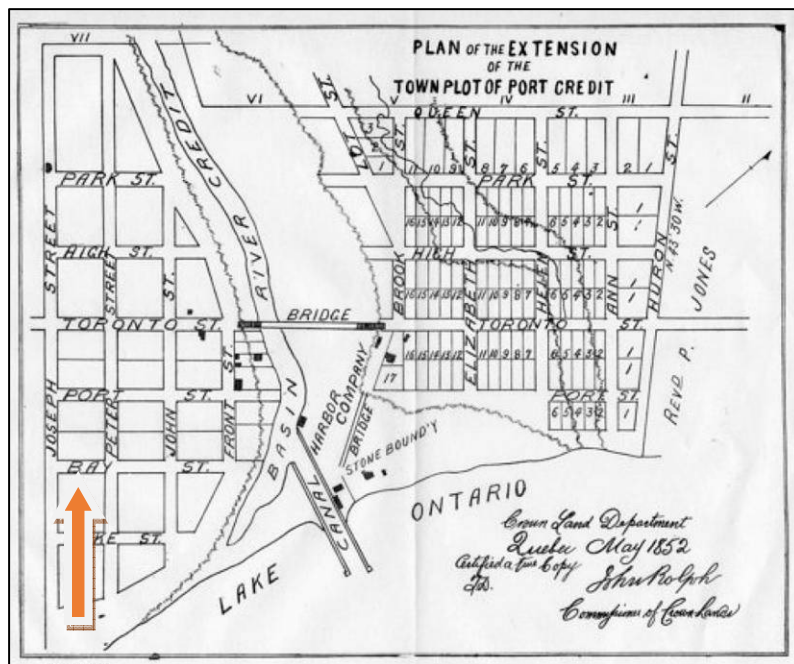


Figure 1: Plan of the original and extension of the Town Plot of Port Credit, May 1852. The subject property at 31 Mississauga Road South (formerly Joseph Street) is indicated. (Source: Paul Oberst Architect)

In 1834, a village was laid out at what is now the area of Old Port Credit HCD. Construction of a commercial harbour began and the first post office opened in October 1842. In 1847, the Mississaugas relocated to the New Credit Reserve near Brantford.

The decades of the 1840s and 1850s were a period of tremendous growth for Port Credit. This was marred in the mid 1850s by a destructive fire. The 1857-1858 *Canada Directory* describes the village as “a shipping Post on Lake Ontario, and a Station on the Great Western Railway.” The population was “about 400.”

The 1877 *Historical Atlas of Peel County* continues the story:

This being the only harbor or port in the County of Peel, and one of the best on Lake Ontario, great quantities of grain and other farm produce are shipped from this point. . . . The strawberry industry has already reached large dimensions and bids fair to rival other points of longer standing. . . . There are two stores in the village, one kept by James Hamilton, who is also post master, the other by Jas. R Shaw. There are three churches, the Episcopalian, the Methodist and the Roman Catholic; one large stone school house, employing two teachers. There is a temperance hall and a new Orange hall, lately built by Mr. James Hamilton, which is in a flourishing condition. There are also three hotels.

Port Credit is a good place for fishing and shooting, and is a favorite resort for sporting men from Toronto and other places. The water power is of the very best and it is hoped that manufactories will soon spring up and make the village the brisk business place it is destined to be.

Toward the end of the 19th century, the stonehooking trade kept the port alive. A unique craft called a "stonehooker" plied the waters of Lake Ontario, dragging large rakes along the bottom to gather stone and lift it onto the ship. This stone, mainly Dundas shale, was used for building construction in the area and Toronto.²

Other industries, such as the St. Lawrence Starch Works (1889 to 1989) and Port Credit Brick Yard (1891 to 1927) provided employment for local residents.

3.2 20TH CENTURY PORT CREDIT

In 1905, the Toronto and York Radial Railway extended a line along the Lake Ontario shoreline to the St. Lawrence Starch Company at Port Credit. In 1909, Port Credit became a police village but continued to be administered under Toronto Township. Lakeshore Road (originally known as Toronto Street) was paved from Toronto to Hamilton in 1914. Port Credit was incorporated as a village that year, thereby gaining its own municipal administration.

In 1915, the Toronto Suburban Railway was built along the Credit River valley, passing through Cooksville, Britannia, Meadowvale, and Churchville as it made its way to Guelph. In 1918, Dundas Street was widened and paved (Highway 5).

The escalating traffic along these several routes prompted the provincial government to initiate a trans-provincial highway project. The King's Highway (now Queen Elizabeth Way) followed the path of Middle Road (to the north) and was completed through Toronto Township in 1937. Both railways were phased out as automobiles, trucks, and buses became increasingly available and roadways were improved and extended.³

The ability to “commute” to a place of employment was the catalyst for suburban development in Toronto Township. People could live in smaller communities and make the daily trek into the larger urban centres for employment. For those who lived in the larger centres, particularly Toronto, the holiday migration out to cottages and retreats along Lake Ontario and the surrounding countryside was now possible. The result was that Port Credit and nearby communities experienced a steady rise in population, with some seasonal and tourist fluctuations.⁴

Port Credit became a Town in 1961 and was amalgamated into the City of Mississauga in 1974.

4.0 PROPERTY CHRONOLOGY

The property at 31 Mississauga Road South is the south part of Lot 11 and south part of Lot 12, north side Bay Street, West Credit River, Plan PC1 (as shown on Plan 300). Although lot and plan references were already in use, another plan of this area was drawn on May 20, 1914, and registered October 3, 1927. An expanded plan was compiled in 1929 by W.J.B. Rubidge based on “other plans and surveys.”⁵ This is Plan 300, which is the basis of Plan PC 1. Mississauga Road South was originally named Joseph Street.

4.1 EARLY LOT HISTORY

The quarter acre of Lot 12, north side, Bay Street, was patented from the Crown by George Garnett on June 25, 1836. The quarter acre of Lot 11, north side, Bay Street, was patented in 1847 by John Cameron.

The first entry on the Plan 300 Abstract of Title for Lot 12 is a sale in December 1839 from George Garnett to George Monro. The first for Lot 11 is a Quit Claim dated April 27, 1904, from James Robinson Shaw of Port Credit, a “gentleman” (retired), to Victoria Thompson of Port Credit, the widow of Joseph Thompson. The deed explains that Robinson owned for “the past twenty two years” the combined half acre of Lots 11 and 12. Shaw sold Thompson both lots for \$150.⁶

In March 1908, Victoria Thompson quit claimed both lots to Margaret Naish for \$200. Margaret was the wife of James E. Naish, a mariner. They were living in Port Credit.

On September 18, 1909, Margaret sold the “southeast half” of Lot 11 and the “southeast half” of Lot 12 (totalling a quarter acre) to Mary Transom for \$250. The Goad’s Fire Insurance Plan for 1910 (Figure 2) indicates that the lots were vacant. On the same day, Mary Transom of the City of Hamilton, wife of James Transom of Port Credit, a “foreman at Brick Works” mortgaged the property with Margaret Naish for \$225.

Mary Transom died January 1, 1910, survived by James and their several children. The estate was transferred by the executors to their daughter, Beatrice, a bookkeeper.

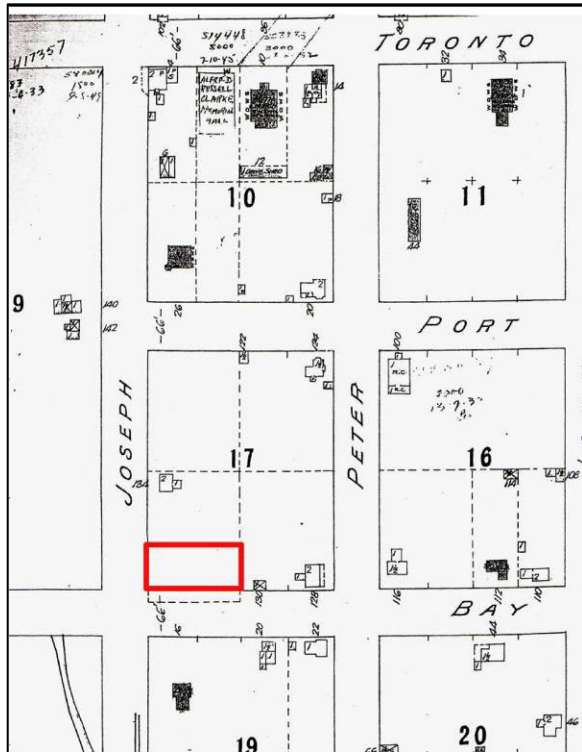


Figure 2: Goad's Fire Insurance Plan, 1910, indicating the subject property is vacant (Source: Paul Oberst Architect)

(1879-), Eliza (1881-), Sydney (1882-1967), Ned (1884-1940), Louisa Jane (1885-1978), and Lewisia (1886-), all born in England.

The 1901 personal census for Peel County lists the Ellis and Jane Chandler household living in Caledon Township. Their year of immigration from England to Canada is given as 1891. In the household were their children Joseph, 29; Sidney, 18; Ned, 16; and Lewisia, 13. The 1911 census places the family in Toronto Township (Port Credit) at "Lot 10 Joseph."⁸ Ellis was a labourer at the brickyard. William, 27; Edward (Ned), 33; and Charlie, 25, were in the household.

On September 21, 1911, Ellis and Jane mortgaged Lots 11 and 12 for \$750. Ellis was described as a labourer in Port Credit. The construction of the dwelling at 31 Mississauga Road South is attributed to Ellis Chandler and was likely undertaken in 1911.

4.2 ELLIS CHANDLER FAMILY

Ellis and Jane Chandler (Owners 1911-1914)

Beatrice Transom sold the quarter acre of Lots 11 and 12, north side, Bay Street, to Ellis Chandler on September 16, 1911, for \$350. On that day, "an indemnity bond for minor to convey when of age" ordered the payment of a "penal sum of fifty dollars" to Chandler. One of Mary Transom's beneficiaries, daughter Velma, was not yet age 21, and could not legally quit claim her interest in the estate. To settle her claim, the \$50 owed Velma by the estate was paid by Beatrice to Chandler.

Ellis Chandler was born March 24, 1843, in Capet, Surrey, England, the son of James Chandler and Eliza Cooper. According to a family genealogy,⁷ he had two sons born in England, Joseph (1870/71-1944) and William Ellis (1873-1929). He married Jane Leeming in 1873 in Driffield, Yorkshire, England. Jane was born in 1844 in Hutton, Cranswick, York, England. They also had children Fred (1876-1926), Charles

William Ellis and Catherine Chandler (Owners 1914-1930)

Ellis and Jane Chandler sold the property to their son, William Ellis Chandler, on November 6, 1914. The 1921 census enumerated Ellis, Jane, and their son Charlie in Etobicoke Township. Ellis was retired by that date. He died on October 21, 1934, at the home of his daughter, Louisa Gill, on Forest Avenue in Port Credit. Jane died on January 12, 1931.

William Ellis Chandler was born in Hessle, Yorkshire, England, about December 28, 1876. He married Catherine Jobson. Their children, Joseph, Sydney, and Norah were born at the District of Polkington, Yorkshire, England. A son, Robert, was born in 1908 at Port Credit, followed by a daughter, Laura, in 1912.

The 1921 census enumerated the Chandlers at Port Credit. In the household were William Ellis, 46; Catherine, 48; Joseph, 21; Sydney, 19; Nora, 17; Robert, 13; Laura, 8; and Joseph R. Jobson, 31. William's year of immigration to Canada is given as 1906.

William was a bricklayer when he died on May 5, 1929, of pneumonia. He had been living in Port Credit for 23 years.

Elsie and Sydney Chandler (Owners 1930 - 1945)

On May 23, 1930, William's widow and executor Catherine Chandler, sold the property to Elsie May, the wife of their son Sydney Teasdale Chandler. All were living in Port Credit. Velma Ryckman (nee Transom) waived any rights she held to the property as a beneficiary of her mother Mary's estate.

Sydney was born about 1901 in Nunburnholme, Yorkshire, East Riding, England. On June 25, 1924, at St. Paul's Mission, Lorne Park (now Toronto), he married Elsie May Branton (1904-1999).

William M. Anderson and Norah Chandler Anderson (Owners 1945 - 2013)

On March 20, 1945, Elsie Chandler sold the property to William McJanet Anderson for \$1,500.

William Anderson was born about 1889 in Shettleston, Lanarkshire, Scotland, the son of Robert Anderson and Annie Rollo. He married Ada Booth (born 1887) in Toronto on April 30, 1925. Their daughter Elizabeth was born in 1927. Annie developed inoperable cancer and in May 1929 they went to England to be with her mother and sister. William returned to Canada at the end of August. Annie died in England that year.



Figure 3: Above: Historic photograph presumed to be a Chandler family wedding held shortly after the dwelling was completed in 1911. (Source: Margaret Draper, descendant)

Figure 4: Below: Front façade, 2016 (Source: Paul Oberst Architect)



About 1933, William married Norah Annie Chandler (1904-1989). Norah was born in 1904 in Nunburnholme, Yorkshire, England, the daughter of William Ellis and Catherine Chandler and a sister to Sydney.

William died November 4, 1979, a retired police dispatcher. As his widow and executor, Norah transferred ownership of the property to herself in April 1980.

Elizabeth Blower and Margaret Draper (Owners 2013 - 2016)

Norah Chandler Anderson died in 1989. The land was transferred to Elizabeth Booth Blower in July 2013. This is presumed to be William Anderson's daughter, Norah's stepdaughter. In 2015, it was jointly acquired by Elizabeth B. Blower and Margaret Anne Draper. Margaret is a direct descendant of Ellis and Jane Chandler.



Figure 5: William "Bill" Anderson, 1933, Radio Dispatcher, Port Credit (Source: Anderson genealogy, ancestry.ca)

4.3 CURRENT OWNER

Margaret Draper sold the property to the current owners, _____, in 2016.

5.0 SUMMARY

The south parts of Lots 11 and 12, north side, Bay Street, were severed in September 1911 from what began as village lots a quarter acre each in size. They were bought by Ellis Chandler. Ellis, his wife Jane, and their several children immigrated to Canada from England in 1891. He was a labourer at the brickyard. This was likely the Port Credit Brick Yard in operation from 1891 to 1927. The 1911 census indicates that before the purchase of part Lots 11 and 12, the family was living at "Lot 10 Joseph" (Mississauga Road). This location is not known but the family tradition is that Ellis and Jane had an earlier house nearby. Ellis may have had the dwelling at 31 Mississauga Road South erected in 1911 for his son William Ellis and his wife Catherine, who immigrated to Canada from England in 1906 with their children. William was a

bricklayer. Following his death, Catherine sold the property to their daughter in law, Elsie, wife of their son Sydney.

In 1945, Elsie sold the property to William M. Anderson, a Scottish immigrant. Following the death of his wife in 1929, William married Norah Annie Chandler. This was in 1933. Norah was the granddaughter of Ellis Chandler and sister to Sydney. Other Chandler family members owned the property until it was sold to the current owners in 2016.

When constructed in 1911, this dwelling was typical of the modest frame houses built in small Lake Ontario shoreline communities. Its 1.5 storey scale, open verandah, centre gable with a doorway accessing the upper gallery, and clapboard cladding are cottage like. Some housed working class families who lived in the village, near their place of employment. Some were built as cottages, or were transitioned to that use as the road transportation system linking Port Credit to Toronto and Hamilton improved. Most, including this example at 31 Mississauga Road South, have been enlarged and modified.

SOURCES

Abstract of Title and related documents for Lots 11 and 12, north side, Bay Street, Plan 300. Peel Region Land Registry Office and Margaret Draper.

Walker & Miles. *Illustrated Historical Atlas, Peel County York, 1877*. Reprint edition, 2000.

Dieterman, Frank A., ed.; The Mississauga Heritage Foundation Inc. *Mississauga: the first 10,000 years*. Mississauga, 2002.

Ancestry.ca.

ENDNOTES

¹ Some information about the history of Port Credit was provided by Paul Oberst.

² Information provided by Paul Oberst.

³ Frank Dieterman, *Mississauga: the first 10,000 years*, p.139.

⁴ Frank Dieterman, p.140.

⁵ This wording is on Plan 300 as filed at the Peel Region Land Registry Office.

⁶ The chronology whereby George Monro transferred his 1839 ownership to Shaw is not known.

⁷ Ellis and Jane Chandler family chart posted online at ancestry.ca.

⁸ The location of "Lot 10 Joseph" is unknown as the lots number from the cross streets, not Joseph (now Mississauga Road South). It is known that Ellis Chandler had an earlier residence in the area before 1911.

PAUL OBERST, OAA, B.Arch, CAHP
CURRICULUM VITAE

EDUCATION

1970 B. ARCH (WITH DISTINCTION) University of Michigan

PROFESSIONAL HISTORY

1993 – Present	Paul Oberst Architect, Principal
1995-Present	Consultant to: Phillip H. Carter Architect
1994-1996	Consultant to: R. E. Barnett Architect
1989 - 1993	Designer Gordon Cheney Architect Inc.
1984 - 1989	Paul Oberst Design, Principal
1981-1984	Designer Lloyd Alter Architect
1973-1981	Major Works Building, Principal

SELECTED PROJECT EXPERIENCE:

HERITAGE PROJECTS



The Beverley Street project preserved a large Victorian row of 16 houses, maintaining their original use as single-family dwellings. It was nominated for an Ontario Renews Award.

For Lloyd Alter Architect
Contact Lloyd Alter, 416-656-8683
Beverley Street Row, Toronto,
 Renovation and preservation, 1982

This project was part of the redevelopment of a largely vacant city block. The developer chose to preserve this 16-house Victorian row, an enlightened attitude for the time.

Mr. Oberst worked on several of the houses in the project, with responsibilities including design, construction documents, and field review .

McCabe Houses, 174-178 St.George Street, Toronto
 restoration for adaptive re-use, 1982

Mr. Oberst assisted in working drawings and field review.

For Lloyd Alter Architect

Fulton-Vanderburgh House, Richmond Hill,
exterior restoration, 1984

This project was part of a development agreement for farmland south of Richmond Hill. CAPHC member David Fayle was the LACAC liaison.

Mr. Oberst handled the project, having full responsibility for design, construction documents, and field review.



The Fulton-Vanderburgh House in Richmond Hill, after its restoration. Built around 1810, this is the oldest house in York Region



Woodstock Public Library. Phillip Carter's project combined sensitive alterations and an addition with the restoration of one of Ontario's finest Carnegie libraries.

For Phillip H. Carter Architect and Planner **Contact Phillip Carter, 416-504-6497** **Woodstock Public Library,**

Restoration, addition, and renovations, 1996

Mr. Oberst assisted in the production of working drawings and wrote the specifications.

Port Hope Public Library, restoration, addition and renovations, 2000

Mr. Oberst wrote the specifications.



Setting back the third-floor addition allowed the restored bank building to retain its street presence, and maintain the detail significance of the cornice and entry-bay decoration. Preservation Services provided oversight for work under the façade improvement program.

For Paul Oberst Architect

The Dominion Bank

2945 Dundas Street W., Toronto

Restoration, addition, and renovation, 2002

This 1915 bank by John M. Lyle Architect was converted to a commercial residential building with a penthouse addition, set back 2.3m from the building line, and following the curve of the façade.

The original structure was restored under a local façade improvement program, including cleaning and installation of replacement 1-over-1 double hung windows on the second floor.

Medland Lofts

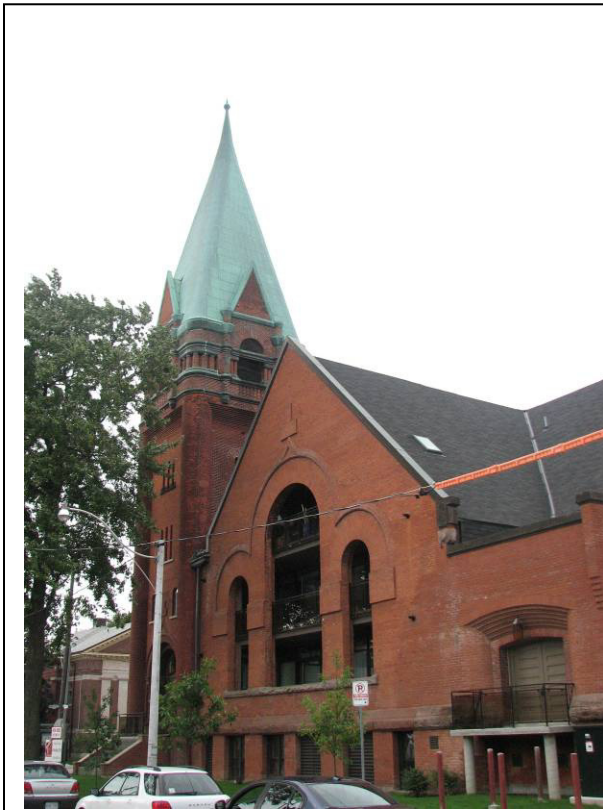
2925 Dundas Street W., Toronto

Restoration, addition, and renovation, 2005

This Art Deco building was in extreme disrepair following an uncompleted renovation. The completed project provided 10 residential and 3 commercial condominium units. It contributes to the revitalization of the Junction commercial area.



This building has a set-back addition similar to the one at the Dominion Bank across the street. In this case the penthouse has a Moderne design, reflecting the Art Deco style of the original building.



Balconies behind the original arches double the window area to meet the requirements of residential use, without cutting new openings in the historic masonry structure.

For Paul Oberst Architect

Victora Lofts

152 Annette Street, Toronto

Residential Conversion,
Occupied 2011

The 1890 Victoria-Royce Presbyterian Church was designed by Knox and Elliot, who were also the architects for the Confederation Life building on Yonge Street. In 2005, the parish ceased operation, no longer having sufficient members to maintain this large and important heritage building.

The project preserves and restore the building envelope and many of the interior features, and will provide 34 residential condominiums.

Significant elements that were not used in the project, like the 1908 Casavant organ, and the enormous stained glass windows have been preserved intact in new homes at other churches.

This project received the William H. Greer Award of Excellence at the Heritage Toronto Awards 2013.

HERITAGE DISTRICTS

In association with Phillip H. Carter Architect and Planner

Collingwood Downtown Heritage Conservation District Study and Plan, 2001-2002

Kleinburg-Nashville Heritage Conservation District Study and Plan, 2002-2003

Old Burlington Village Heritage Conservation District Study, 2004-2005. Resulted in our Urban Design Guidelines for the downtown.

Northeast Old Aurora Heritage Conservation District Study and Plan, 2005-2006. Received Honourable Mention (2nd place nationally) in the Neighbourhood Plans category—Canadian Institute of Planning, 2007.

Village of Maple Heritage Conservation District Study and Plan, 2006-2007.

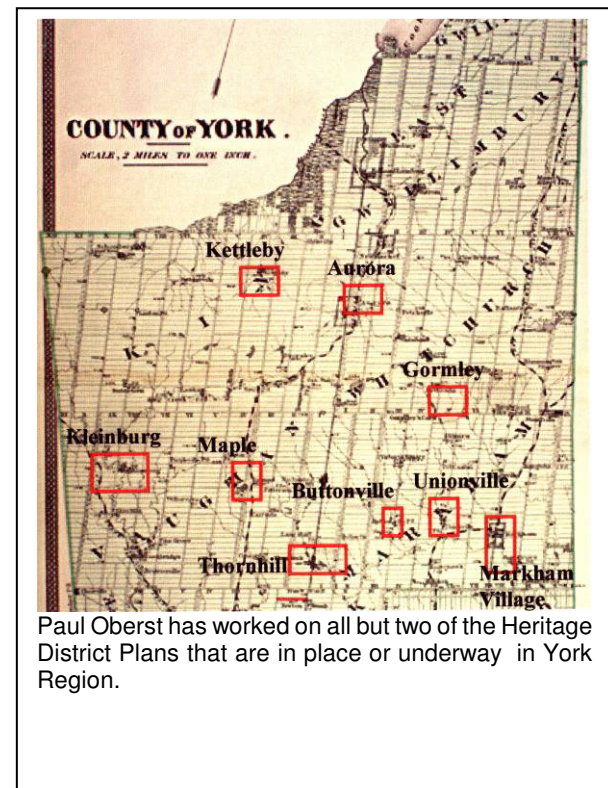
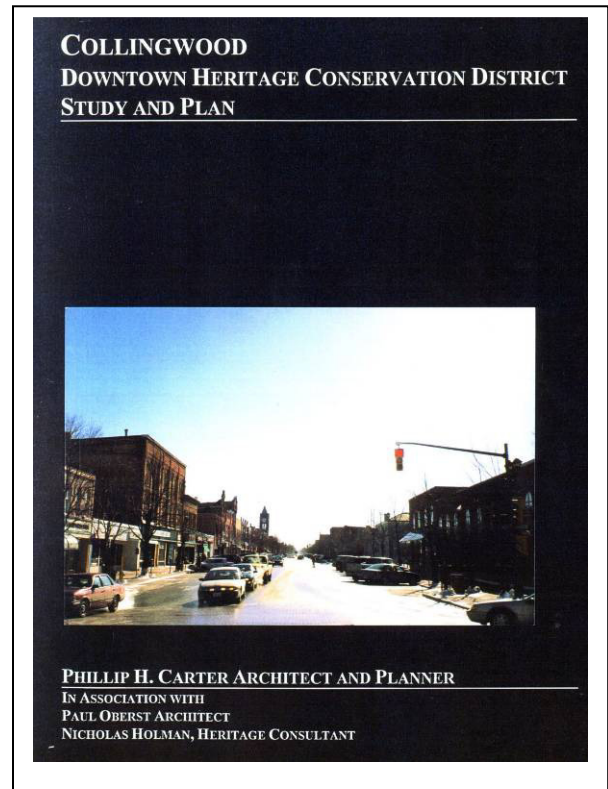
Buttonville Heritage Conservation District Study and Plan, underway.

Thornhill Markham Heritage Conservation District Study and Plan, 2007.

Thornhill Vaughan Heritage Conservation District Study and Plan, 2007.

Gormley Heritage Conservation District Study and Plan, 2008

Kettleby Heritage Conservation District Study and Plan, suspended by Council.



Talk of preserving heritage a façade

Zoning change to Spadina will raze historic buildings



JOE FIORITO
City columnist

Walk slowly up Spadina, from Dundas to College; it doesn't take much time. Get yourself some barbecued duck, a bowl of pho, a bag of star fruit and keep walking. Look closely at the buildings as you walk.

Under decades of neglect and

cheap signage you will see a streetscape of handsome bay windows, latticed brick and old stone cornices — the remnants of Victorian Toronto.

Now listen carefully: Hidden in the noise of traffic, there is another, softer sound — landlords rubbing their hands, lawyers drafting agreements, wrecking crews licking their chops.

Final arguments over a zoning change to Spadina Avenue have just been heard by the Ontario Municipal Board; if the change is approved, those old buildings may topple like dominoes.

To boil it down: Certain developers want a change in zoning to allow an increase in the density of the street, which would make the narrow little properties on Spadina more valuable as real estate, which in turn would make it easy for somebody with the cash to bundle up several of the narrow lots into larger parcels for redevelopment — i.e., demolition.

City council has approved the

change, in spite of staff recommendations to the contrary. Perhaps council believes a denser, post-development Spadina will still look like Spadina, only better, healthier, more vibrant; and perhaps one day the fire hydrants will be filled with cherry Kool-Aid.

It could happen, but it ain't likely.

I went to the offices of the OMB last Friday, to listen as the opposition made its case.

I was won over.

Architect and neighbourhood resident Paul Oberst led the arguments by calling a planner for the city, Suzanne Pringle. She explained that if the density along that strip of Spadina were increased, it would make it easy to assemble small lots. However, in order to achieve the proposed density, it would be necessary to demolish what's there and rebuild.

Next, heritage expert Marcia Cuthbert testified that there are a number of architecturally significant buildings along this stretch of Spadina that ought to be considered historic properties. They have not yet been designated as such, partly because the heritage board is overworked, and partly because of delays caused by amalgamation.

See SPADINA on Page A17

Better safe than sorry?

SPADINA

Continued from Page A16

Among the more notable buildings are: the Standard, a Yiddish theatre that morphed into the Victory Burlesque which in turn became the Golden Harvest Chinese Theatre, at 285 Spadina; Grossman's Tavern, at 377; the house where Red Emma Goldman lay in state upon her death, at 346; and Broadway Hall, once used by the Women's Christian Temperance Union, at 450 Spadina.

Margie Zeidler, one of the few developers in town who preserves heritage buildings for a living, noted that many of the buildings on this stretch of the street were architecturally outstanding, and in reasonable

shape. She said that the economics of preservation were generally equivalent to the economics of demolition.

Cathy Nasmith, another heritage expert, noted that there were whole blocks of Spadina worth preserving — including one stretch of 11 Victorian buildings in a row. When challenged by a lawyer who said that façades could easily be preserved as a part of redevelopment, she observed succinctly, "If there is a heritage scale, with demolition at one end and renovation at the other, I'd say saving a façade is one step up from demolition." In any case, there's no way to enforce the preservation of façades.

And that is a rather brutal summary of a day's worth of arguments and cross-examinations. A couple of questions:

Why is it that when you knock a building down, what goes up in its place is generally uglier? Why don't we force developers to pay a price for zoning changes that give them profits they don't earn? Why, when it comes to Toronto's irreplaceable architectural heritage, don't we take the position that it's better to be safe than sorry? And why don't we follow the example of certain, um, world-class cities — London, Paris, Edinburgh — and encourage preservation?

I'm not one of those guys who thinks old is intrinsically good; neither am I certain that we should erase, deface, or reface our common heritage for the sake of a few bucks.

It's worth noting that the OMB rarely rules against a decision taken by city council, but it has happened. Yes, and the water in the hydrants could run sweet and red.

National Post

CITIZEN ADVOCACY

Mr. Oberst was the "Party", before the Ontario Municipal Board, opposing an application for rezoning and Official Plan Amendment on Spadina Avenue in Toronto in 2001. Rezoning threatened 113 heritage properties on one kilometre of street frontage.

He organized and presented the case to the OMB, with the assistance of residents and many heritage activists.

Joe Fiorito's column, to the left, provides a succinct narration.

Mr. Oberst continues to work on heritage issues in the neighbourhood, being involved in the designation of Kensington Market as a National Historic Site, and the preservation of the historic parish of Saint Stephen-in-the-Fields.

Contact:

Catherine Nasmith
416-598-4144



OTHER ARCHITECTURAL WORK

RESIDENTIAL

Kensington Market Lofts

Condominium Conversion, George Brown College Kensington Campus, \$13,000,000

Design partner, in joint venture with R.E. Barnett Architect.

At the Toronto Architecture and Urban Design Awards 2000 the jury created the new category of 'Adaptive Re-use' to recognize this project and the Roundhouse. Since it was a new category, we received an honourable mention rather than an award.

St John's Lofts

Condominium Conversion, 1 St. John's Road, Toronto, \$1,000,000

Design partner, in joint venture with R.E. Barnett Architect

COMMERCIAL

Retail/Apartment Building, 80 Kensington Avenue, Toronto, \$400,000

Designer for Paul Oberst Architect

Kings Tower, 393 King Street West Toronto, 12 Storey mixed use building, \$10M

Designer for Gordon Cheney Architect Inc

Office Building, 2026 Yonge Street Toronto, 3 Storey mixed use building, \$3M

Designer for Lloyd Alter Architect

THEATRE WORK

Set designer, *A Ride Across Lake Constance*, by Peter Handke

New Theatre, Toronto 1975

Set and Costume designer, *The Curse of the Starving Class*, by Sam Shepard

New Theatre, Toronto, 1979

COMMUNITY WORK

Kensington Market Working Group

-Board Member

1994-97 & 2000-2001.

-Secretary 1994-97.

Kensington Market Action Committee,

-Board Member 2001-2002.

WRITINGS

Founding Editor of *A.S.*

A student architecture journal

University of Michigan, 1968-70

Founding Co-editor of *FILE Magazine*

Toronto, 1972

Originator and author of

Rear Elevation essay series

Toronto Society of Architects Journal, 1994-1996

Author of articles and reviews in:

Globe & Mail,

NOW magazine

File magazine

PUBLICATION OF WORK

Kensington Market Lofts is listed in: *East/West: A Guide to Where People Live In Downtown Toronto*

Edited by Nancy Byrtus, Mark Fram, Michael McClelland. Toronto: Coach House Books, 2000

Class Acts, by John Ota, Toronto Star, May 20, 2001, describes a Kensington unit in the old elementary school.

Urban Arcadia, By Merike Weiler,

City & Country Home, April 1990

Customizing your Condo, by Kathleen M. Smith

Canadian House and Home, October 1989

A Place of Your Own, by Charles Oberdorf and Mechtilde Hoppenrath,

Homemaker's Magazine, November 1980

The Invention of Queen Street West, by Debra Sharpe

The Globe & Mail *Fanfare* section, January 10, 1980


Alternatives, by Charles Oberdorf and Mechtilde Hoppenrath,

Homemaker's Magazine, April 1979

Various accounts, reviews and/or photographs of heritage work, furniture designs, theatre design work, and exhibitions.



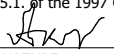


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A. AKSELROD		37139
NAME	SIGNATURE	BCIN

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CADAXX DESIGN	37356
FIRM NAME	BCIN



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Toronto, ON M3J 3C1

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REVISION / ISSUE

PROJECT


RENOVATION

31 Mississauga Rd. South

Port Credit, Ontario

DRAWING TITLE	
PERSPECTIVE VIEW	
DRAWN BY A.A.	CHECKED BY
DATE DRAWN 15.02.2017	SCALE: 1:98,61
PROJECT NO. 10-03	DRAWING NO. A.04

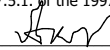


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REVISION / ISSUE

PROJECT

RENOVATION

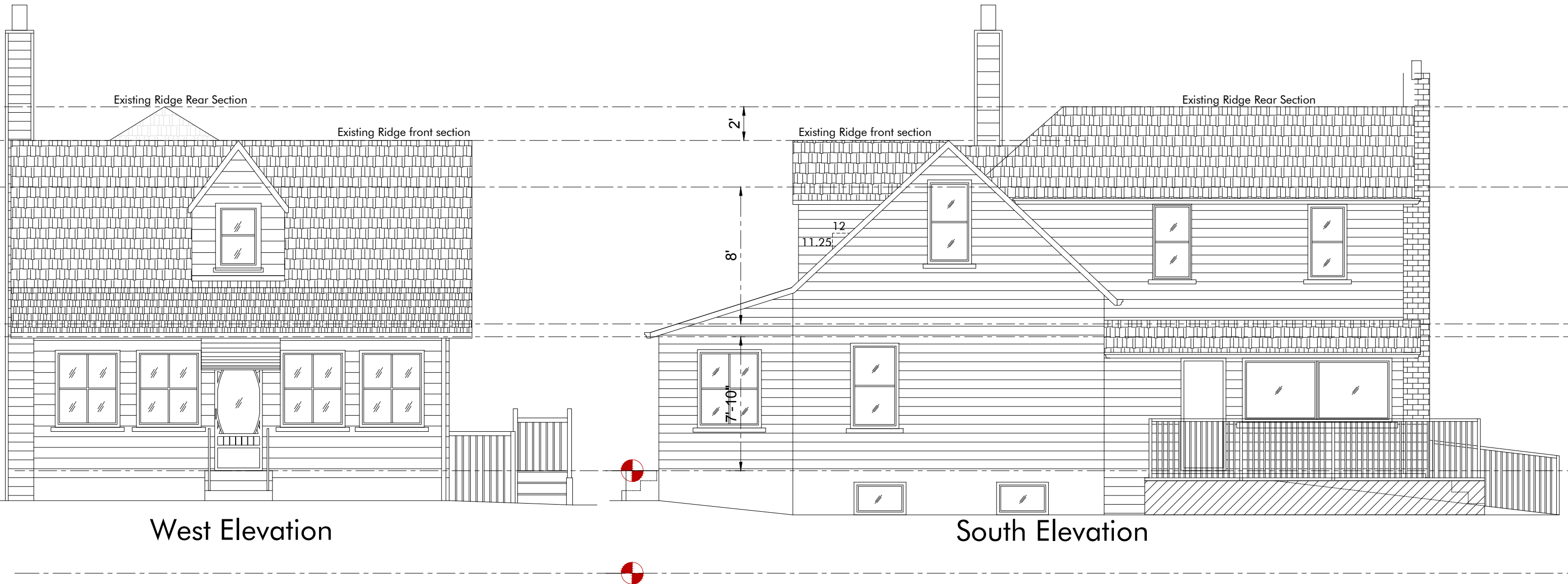
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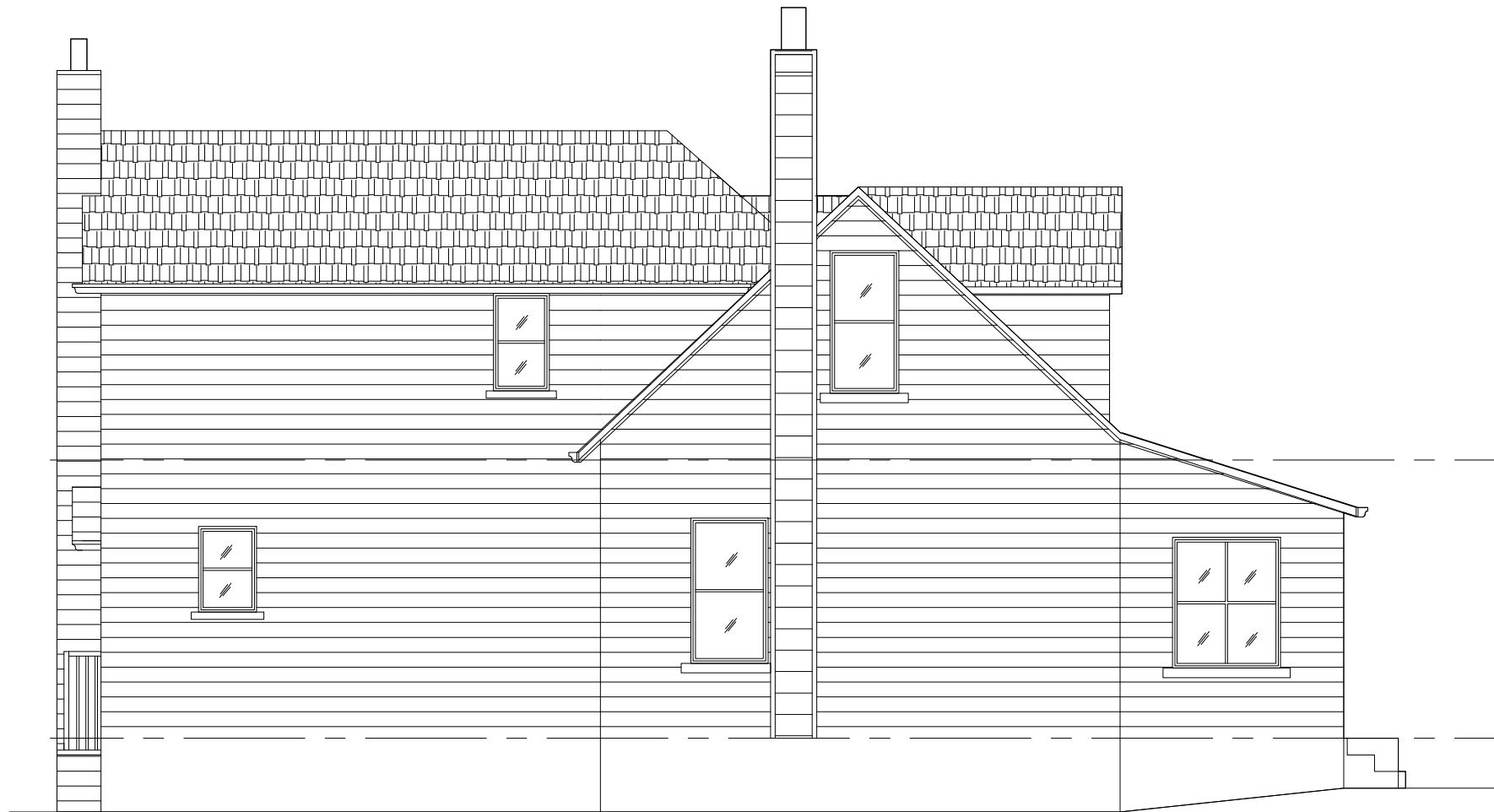
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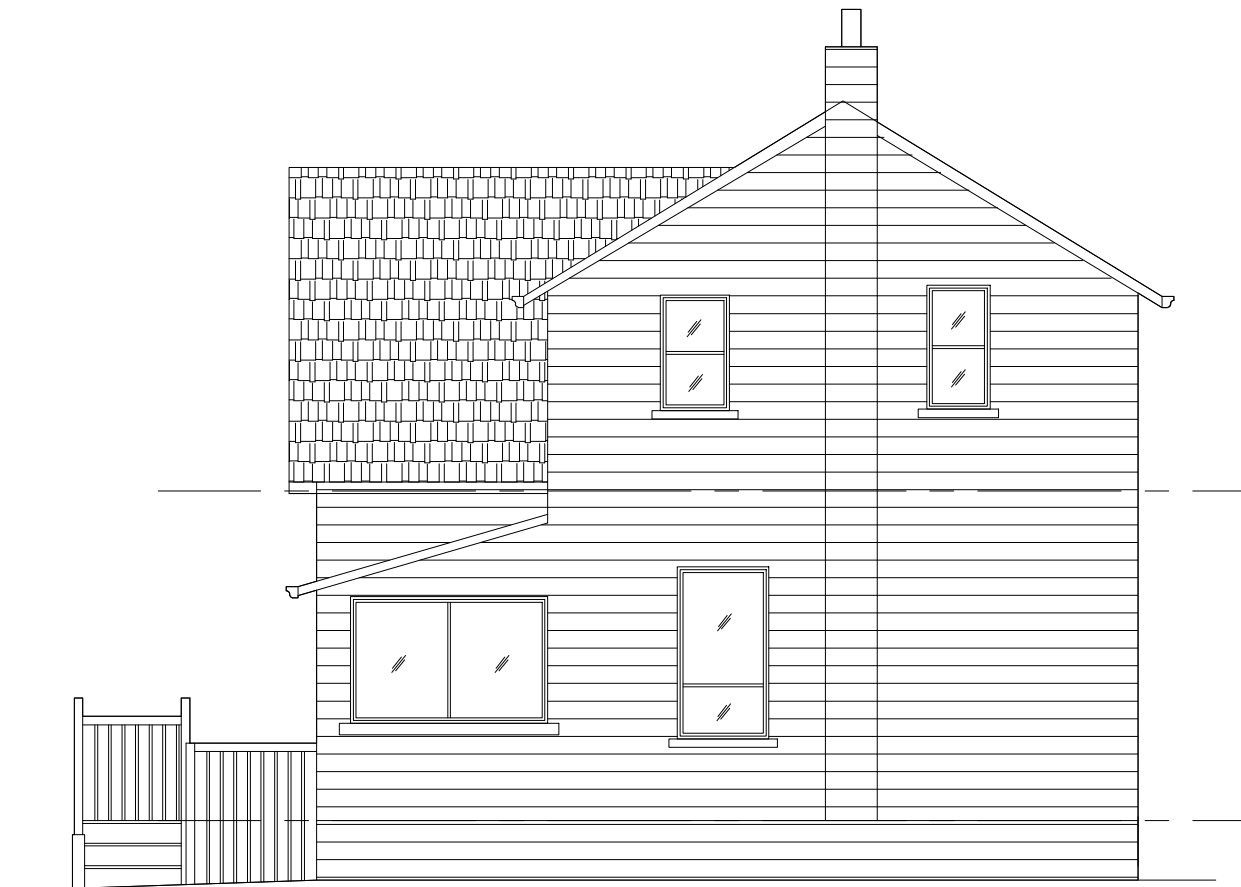
PERSPECTIVE VIEW

DRAWN BY A.A.	CHECKED BY
DATE DRAWN 15.02.2017	SCALE: 1:98,61
PROJECT NO. 10-03	DRAWING NO. A.05

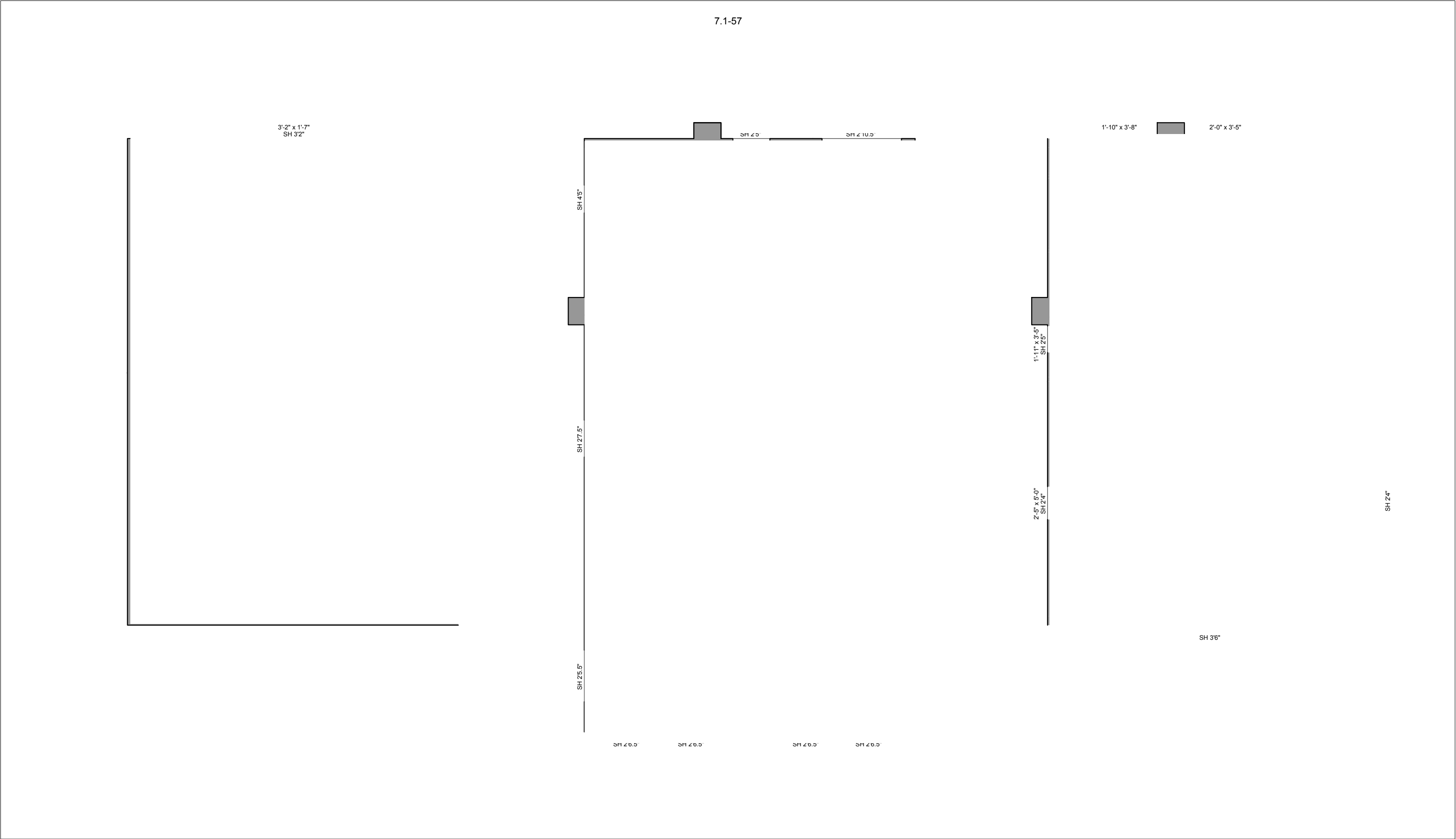


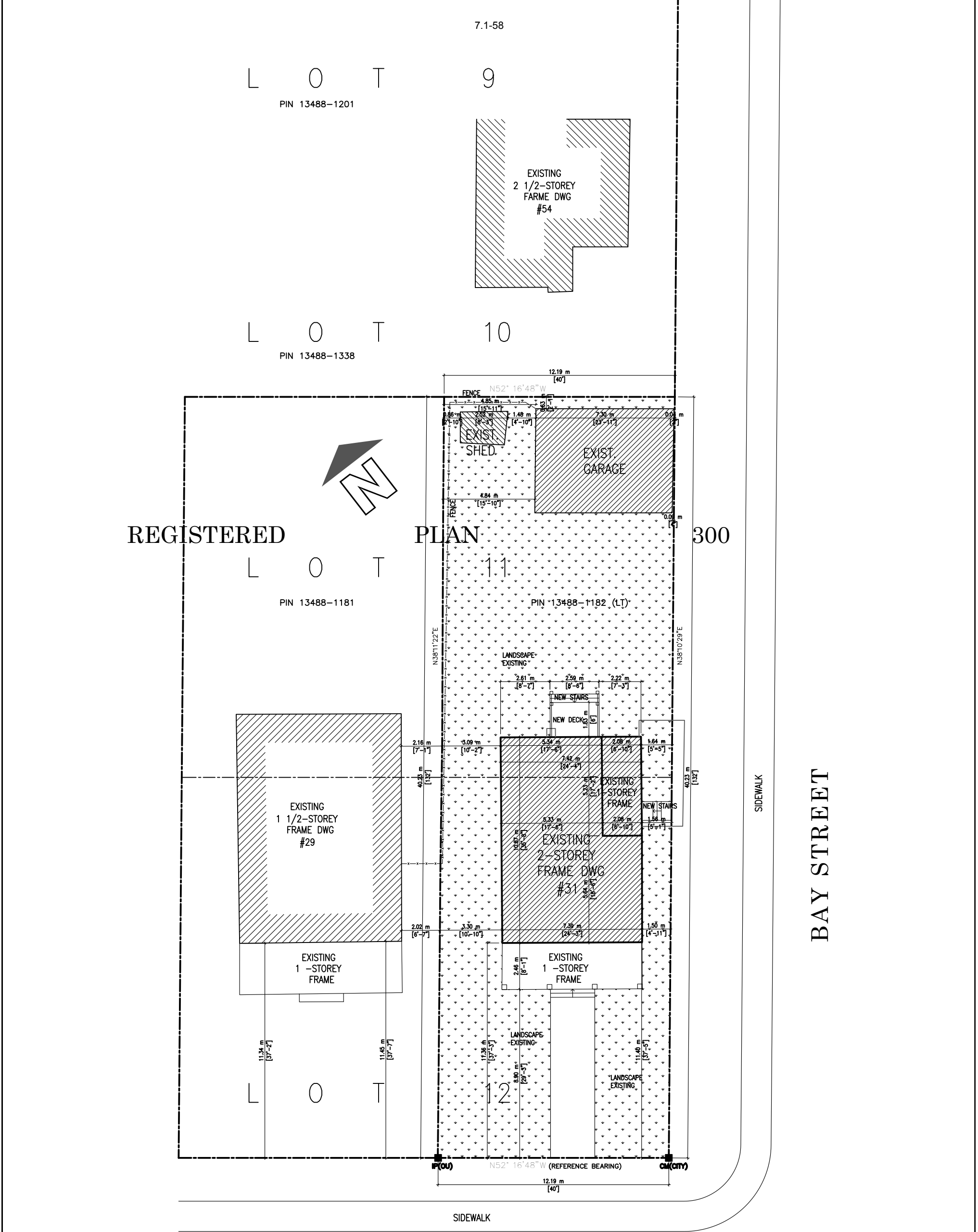


North Elevation



East Elevation





MISSISSAUGA ROAD SOUTH
(FORMERLY JOSEPH STREET) (BY REGISTERED PLAN 300)
PIN 13488-1278 (LT)

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

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www.cadaxx.com info@cadaxx.com

PROJECT:

RENOVATION

31 Mississauga Rd. South
Port Credit, Ontario

REVISION / ISSUE

2017-02-17 ADD SECTIONS AA AND CC
2017-02-17 ADD SITE PLAN
2017-02-28 ADJUSTING DRAWINGS
2017-03-01 ROOF UPDATE
2017-03-07- UPDATE FOR APPLICATION

DRAWING TITLE:

SITE PLAN

DATE:

03-07-2017

SCALE:

1/16"=1'

DRAWN:

A.A.

CHECKED:

PROJECT NO:

10-03

DWG. NO:

A100

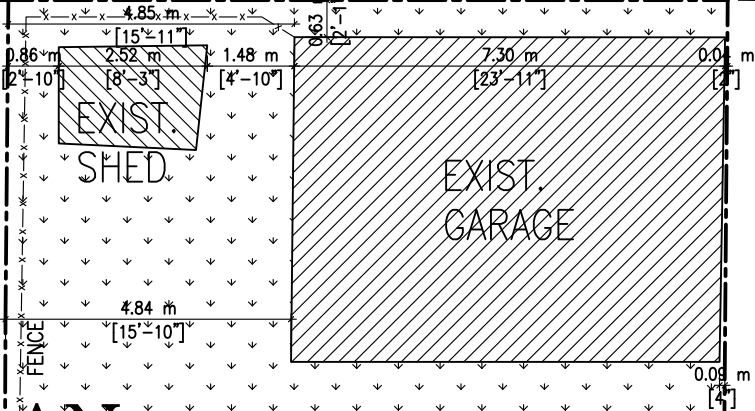
PIN 13488-1338

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[40']

N52° 16'48" W

FENCE



REGISTERED

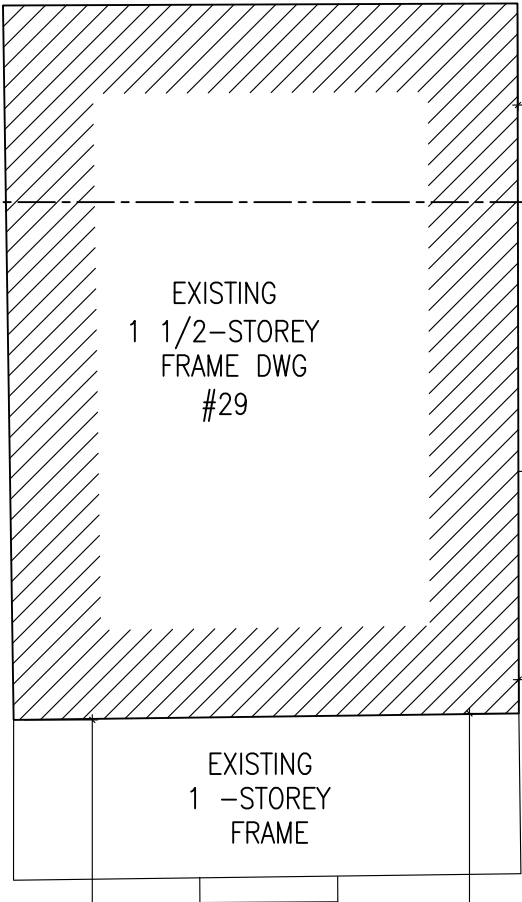
PLAN

300

L O T

PIN 13488-1181

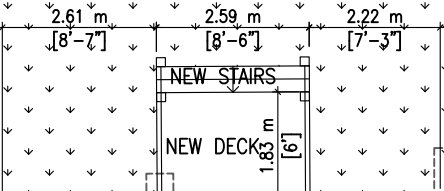
PIN 13488-1182 (LT)



N38°11'22"E

LANDSCAPE
EXISTING

N38°10'29"E



EXISTING
1-STOREY
FRAME

NEW STAIRS

EXISTING
2-STOREY
FRAME DWG
#31

EXISTING
1-STOREY
FRAME

LANDSCAPE
EXISTING

LANDSCAPE
EXISTING

IP(OU)

N52° 16'48" W (REFERENCE BEARING)

CM(CITY)

12.19 m
[40']

SIDEWALK

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

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3/32"=1'

DRAWN:

A.A.

CHECKED:

PROJECT NO:

10-03

DWG. NO:

A100

L O T 10
PIN 13488-1338

REGISTERED

PLAN

300

BAY STREET

CADAXX DESIGN LTD	10062
FIRM NAME	BCIN

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NOTE: THE CONTRACTOR SHALL CHECK AND VERIFY DIMENSIONS AND REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE COMMENCING ANY WORK



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www.cadaxx.com info@cadaxx.com

RENOVATION

31 Mississauga Rd. South
Port Credit, Ontario

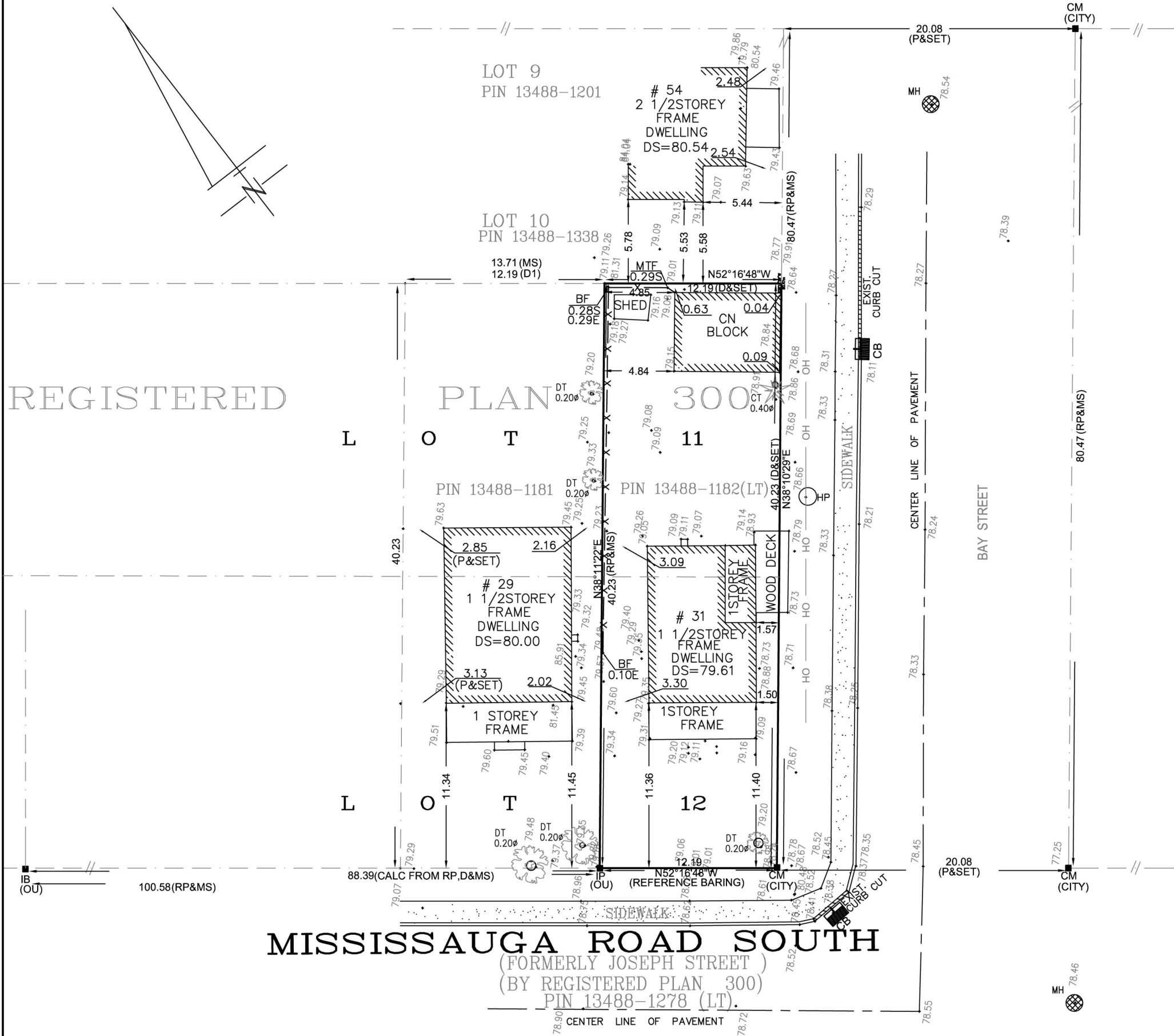
2017-02-17	ADD SECTIONS AA AND CC
2017-02-17	ADD SITE PLAN
2017-02-28	ADJUSTING DRAWINGS
2017-03-01	ROOF UPDATE
2017-03-07-	UPDATE FOR APPLICATION

SITE PLAN - DETAIL

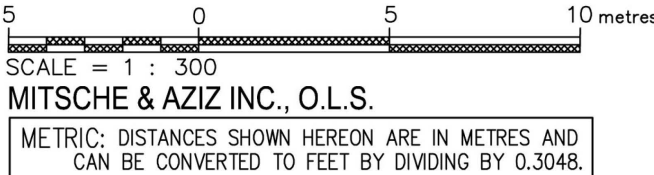
DRAWN:
A.A.

A101

SIDEWALK



SURVEYOR'S REAL PROPERTY REPORT OF
PART 1:
PLAN OF PART OF LOTS 11 & 12
REGISTERED PLAN 300
CITY OF MISSISSAUGA



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PART 2 :
REPORT
* THIS REPORT WAS PREPARED FOR B. ALIKAJ, AND THE UNDERSIGNED ACCEPTS NO RESPONSIBILITY FOR ITS USE BY OTHER PARTIES.

BOUNDARIES
* PART OF LOTS 11&12 , REGISTERED PLAN 300

TITLE SEARCH INDICATES
* NO EASEMENTS OR RIGHT OF WAYS REGISTERED ON TITLE.

ZONING
* NO INVESTIGATION WITH RESPECT TO MUNICIPAL ZONING BY LAW HAS BEEN MADE FOR THE SUBJECT PROPERTY (PROPERTIES).

ENCROACHMENTS
* PLEASE NOTE THE POSITION OF THE FENCES IN RELATION TO THE SOUTHERLY, NORTHERLY, EASTERLY & WESTERLY BOUNDARIES; THEY ARE LOCATED OVER THE SUBJECT BOUNDARIES TO THE EXTENT SHOWN ON THE PLAN.

BEARING NOTE
* BEARING ARE ASTRONOMIC AND ARE REFERRED TO THE SOUTHERLY LIMIT OF MISSISSAUGA ROAD SOUTH/H AVENUE HAVING A BEARING OF N52°16'48"W AS SHOWN ON REGISTERED PLAN 300

GEODETIC:
* ELEVATIONS SHOWN GEODETIC DRIVEN FROM CITY OF MISSISSAUGA BENCH MARK # VA331, ELEVATION 85.519m

LEGEND:		DENOTES		DENOTES		DENOTES	
■	"	SURVEY MONUMENT FOUND	IB	"	IRON BAR		
□	"	SURVEY MONUMENT SET	GW	"	GUY WIRE		
SIB	"	STANDARD IRON BAR	CA	"	CABLE BOX		
N,E,S,W	"	NORTH, EAST, SOUTH, WEST	MH	"	MANHOLE		
BF	"	BOARD FENCE	O/H	WIRES	OVERHEAD WIRE		
CLF	"	CHAIN LINK FENCE	HP	"	HYDRO POLE		
MTF	"	METAL FENCE	OU	"	ORIGIN UNKNOWN		
RP	"	REGISTERED PLAN 300	MS	"	MEASURED		
P	"	PLAN 43R-15696	DT.	"	DECIDUOUS TREE		
P1	"	SURVEY BY BROWNE, CAVELL AND JACKSON O.L.S. DATED SEP 28, 1961	CT.	"	CONIFEROUS TREE		
D	"	INST # RO-546176	DT.	"	DECIDUOUS TREE TRUNK		
D1	"	INST # 170046-VS	CT.	"	CONIFEROUS TREE TRUNK		
CM	"	CONCRETE MONUMENT	DS	"	DOOR SILL		
CITY	"	CITY OF MISSISSAUGA SURVEY PUBLIC WORKS					

SURVEYOR'S CERTIFICATE
I CERTIFY THAT:
1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT, THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
2. THE SURVEY WAS COMPLETED ON THE 02nd DAY OF SEPT, 2016.

DATE: SEPTEMBER 21, 2016.

A. ABDEL SHAHID
ONTARIO LAND SURVEYOR

MITSCHKE & AZIZ INC.			
ONTARIO LAND SURVEYORS			
120 NEWKIRK ROAD- #31, RICHMOND HILL, ONT. L4C-9S7			
Tel. (905) 237-8224 Fax: (416) 477-5465			
Website : M-Azizsurveyors.ca			
E-Mail : aziz@m-azizsurveyors.ca			
PROJECT NUMBER		PROJECT	
16-357		MISSISSAUGA ROAD SOUTH (SR-PR)	
DRAWN BY	R.A	CHECKED BY	A.A

LOT 9
PIN 13488-1201

LOT 10
PIN 13488-1338

13.71 (MS)
12.19 (D1)

54
2 1/2 STOREY
FRAME
DWELLING
DS=80.54

PLAN

LOT

PIN 13488-1181

PIN 13488-1182(LT)

11

40.23 (D&SET)

N38°10'29"E

SIDEWALK

29
1 1/2 STOREY
FRAME
DWELLING
DS=80.00

31
1 1/2 STOREY
FRAME
DWELLING
DS=79.61

WOOD DECK

1 STOREY
FRAME

1 STOREY
FRAME

12

88.39(CALC FROM RP,D&MS)

N52°16'48"W
(REFERENCE BARING)

CM

EXIST. CURB CUT

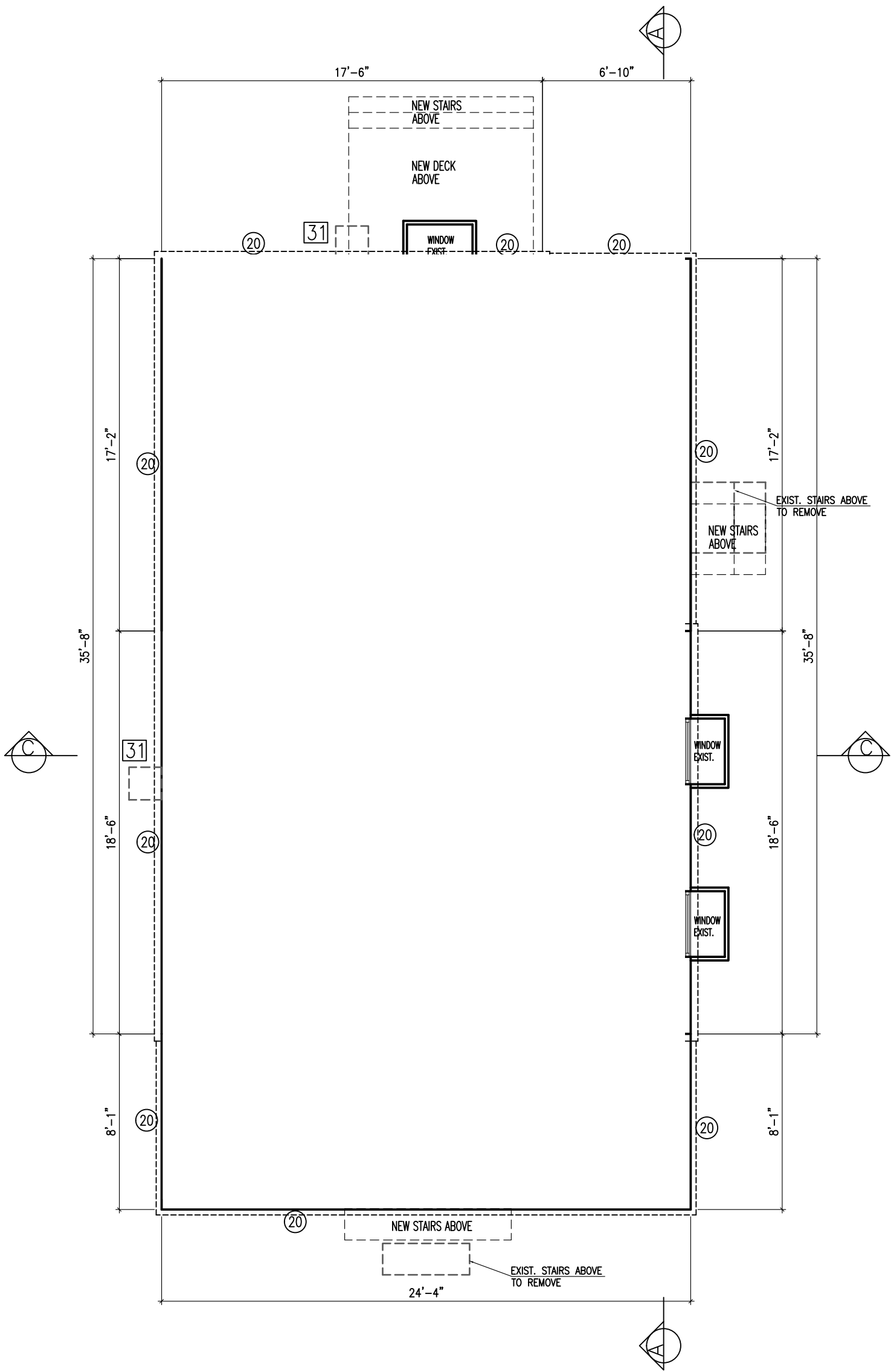
MISSISSAUGA ROAD SOUTH

(FORMERLY JOSEPH STREET)
(BY REGISTERED PLAN 300)

PIN 13488-1278 (LT)

CENTER LINE OF PAVEMENT

7.1-62



The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C - 3.2.5.1. of the 2006 Ontario Building Code (or 2.17.5.1. of the 1997 Ontario Building Code)

A. AKSELROD 37139
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under Division C - 3.2.4.1. of the 2006 Ontario Building Code (or 2.17.4.1. of the 1997 Ontario Building Code)

CADAXX DESIGN LTD 100624
FIRM NAME BCIN

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NOTE: THE CONTRACTOR SHALL CHECK AND VERIFY DIMENSIONS AND REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE COMMENCING ANY WORK



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office 416.639.0904 cell 416.873.6899
www.cadaxx.com info@cadaxx.com

PROJECT:

RENOVATION

31 Mississauga Rd. South
Port Credit, Ontario

REVISION / ISSUE
2017-02-17 ADD SECTIONS AA AND CC
2017-02-17 ADD SITE PLAN
2017-02-28 ADJUSTING DRAWINGS
2017-03-01 ROOF UPDATE
2017-03-07- UPDATE FOR APPLICATION

DRAWING TITLE: BASEMENT
PROPOSED PLAN

DATE:
03-07-2017

SCALE:
3/16"=1'

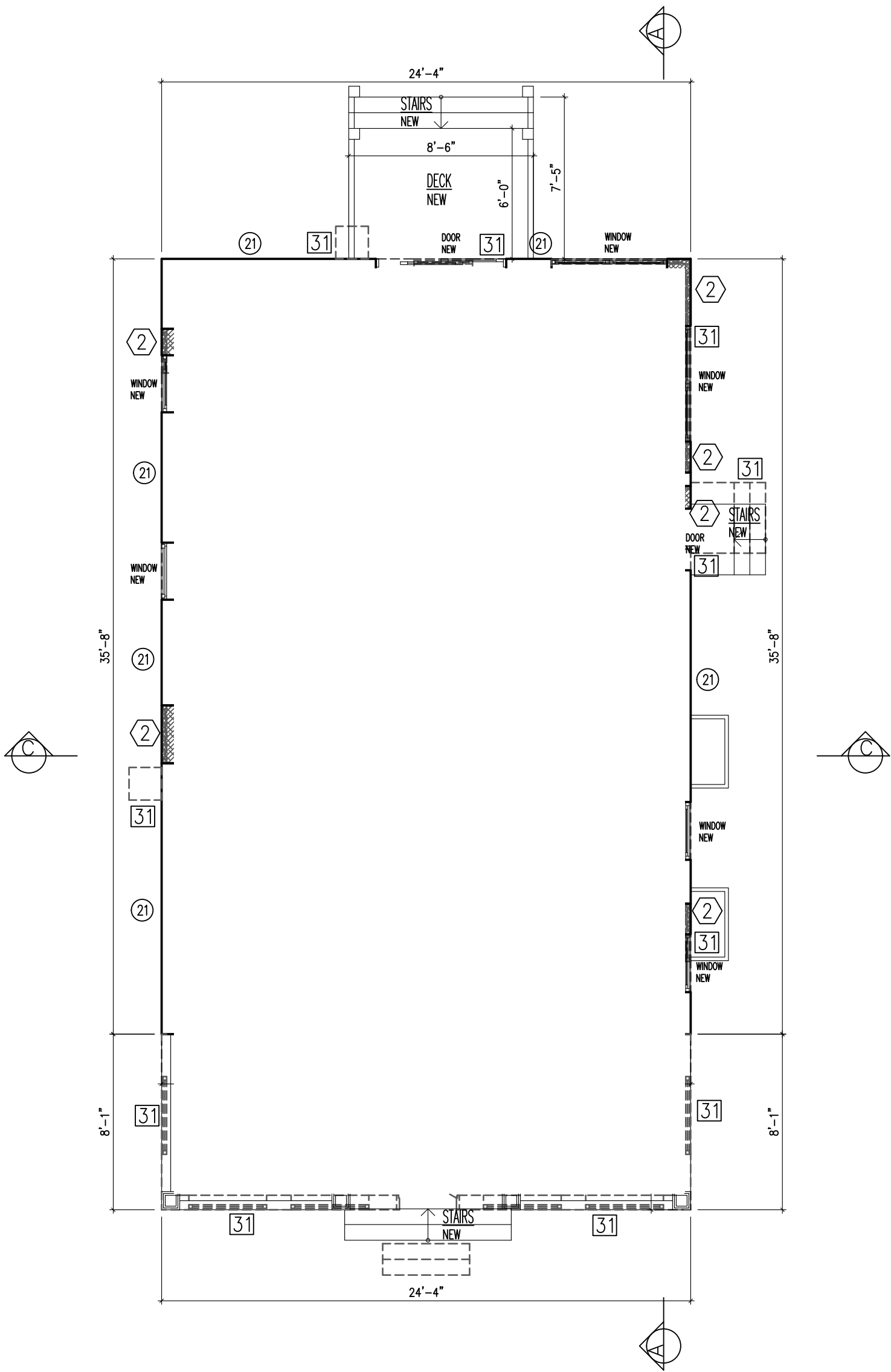
DRAWN:
A.A.

CHECKED:

PROJECT NO:
10-03

DWG. NO:

A200



The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C - 3.2.5.1. of the 2006 Ontario Building Code (or 2.17.5.1. of the 1997 Ontario Building Code)

A. AKSELROD 37139
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
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CADAXX DESIGN LTD 100624
FIRM NAME BCIN

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PROJECT:

RENOVATION

31 Mississauga Rd. South
Port Credit, Ontario

REVISION / ISSUE
2017-02-17 ADD SECTIONS AA AND CC
2017-02-17 ADD SITE PLAN
2017-02-28 ADJUSTING DRAWINGS
2017-03-01 ROOF UPDATE
2017-03-07- UPDATE FOR APPLICATION

DRAWING TITLE: GROUND FLOOR
PROPOSED PLAN

DATE:
03-07-2017

SCALE:
3/16"=1'

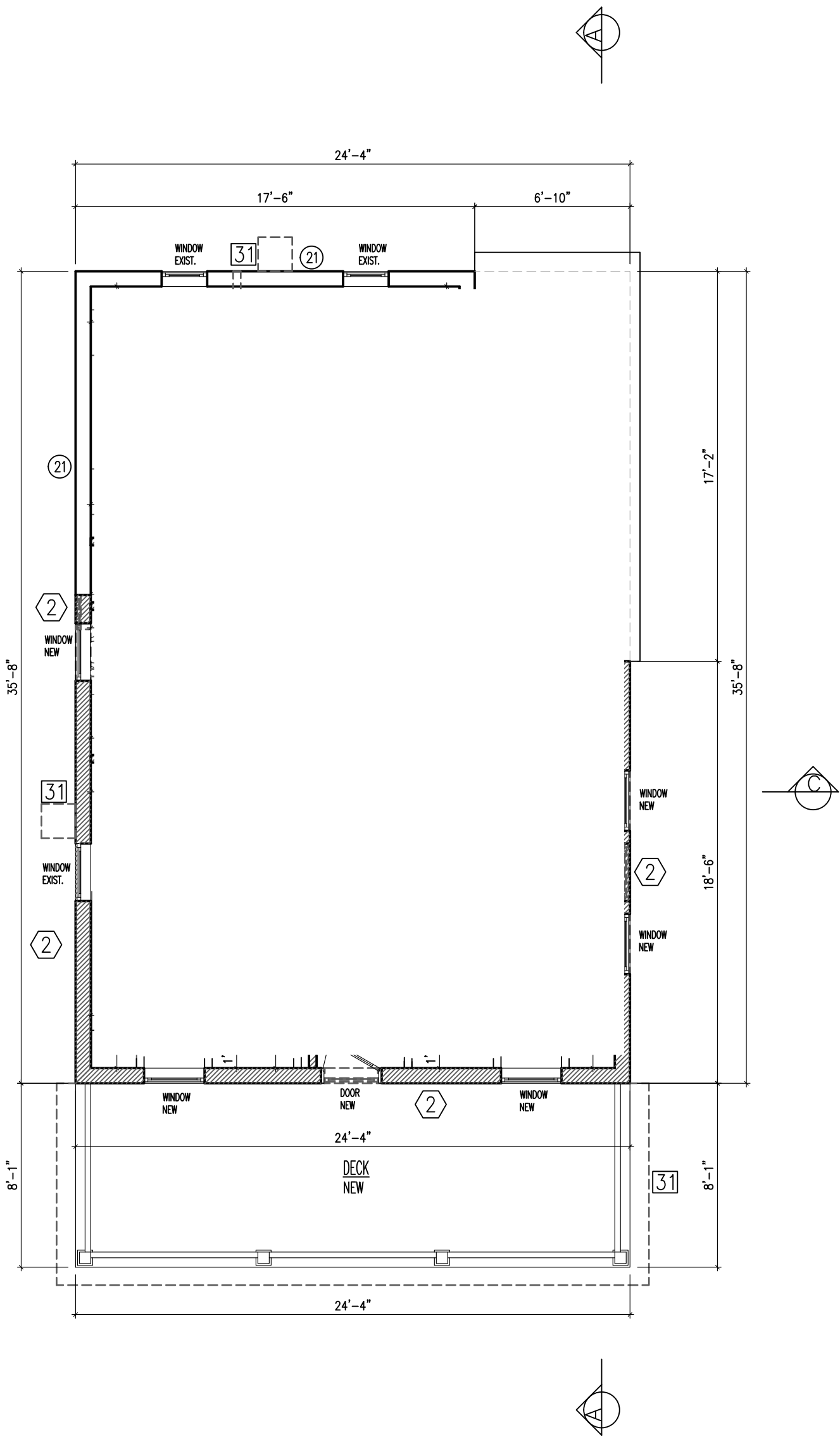
DRAWN:
A.A.

CHECKED:

PROJECT NO:
10-03

DWG. NO:

A201



The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
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A. AKSELROD 37139
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
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CADAXX DESIGN LTD 100624
FIRM NAME BCIN

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PROJECT:

RENOVATION

31 Mississauga Rd. South
Port Credit, Ontario

REVISION / ISSUE
2017-02-17 ADD SECTIONS AA AND CC
2017-02-17 ADD SITE PLAN
2017-02-28 ADJUSTING DRAWINGS
2017-03-01 ROOF UPDATE
2017-03-07- UPDATE FOR APPLICATION

DRAWING TITLE: 2nd FLOOR
PROPOSED PLAN

DATE:
03-07-2017

SCALE:
3/16"=1'

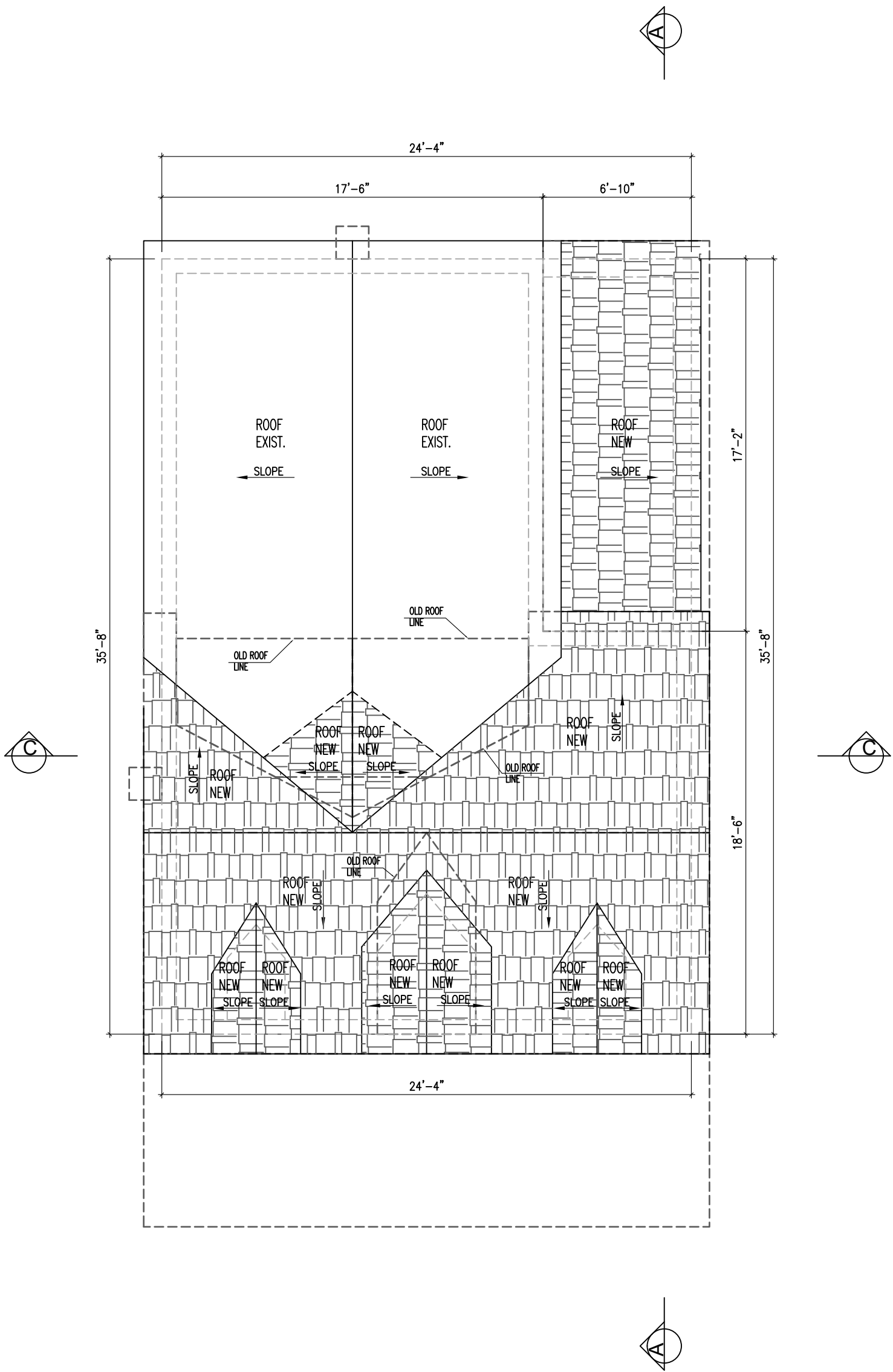
DRAWN:
A.A.

CHECKED:

PROJECT NO:
10-03

DWG. NO:

A202



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QUALIFICATION INFORMATION
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A. AKSELROD
NAME SIGNATURE BCIN 37139

REGISTRATION INFORMATION
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CADAXX DESIGN LTD
FIRM NAME BCIN 100624

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PROJECT:

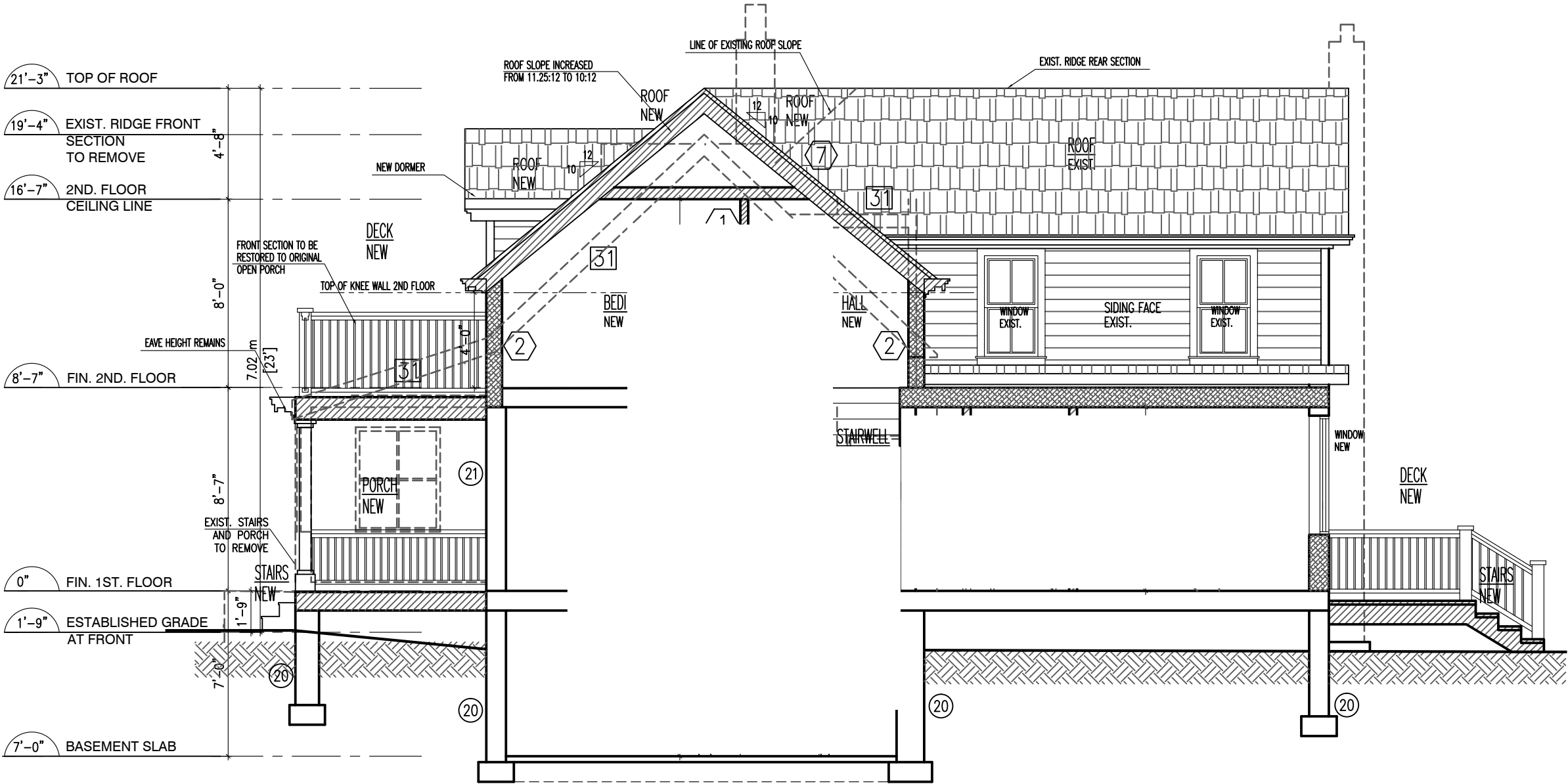
RENOVATION

31 Mississauga Rd. South
Port Credit, Ontario

REVISION / ISSUE
2017-02-17 ADD SECTIONS AA AND CC
2017-02-17 ADD SITE PLAN
2017-02-28 ADJUSTING DRAWINGS
2017-03-01 ROOF UPDATE
2017-03-07- UPDATE FOR APPLICATION

DRAWING TITLE: ROOF
PROPOSED PLAN

DATE: 03-07-2017	PROJECT NO: 10-03
SCALE: 3/16"=1'	DWG. NO: A203
DRAWN: A.A.	CHECKED:



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QUALIFICATION INFORMATION

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A. AKSELROD

[Signature]

37139

NAME

SIGNATURE

BCIN

REGISTRATION INFORMATION

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CADAXX DESIGN LTD

100624

FIRM NAME

BCIN



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PROJECT:

RENOVATION
31 Mississauga Rd. South
Port Credit, Ontario

REVISION / ISSUE

2017-02-17 ADD SECTIONS AA AND CC
2017-02-17 ADD SITE PLAN
2017-02-28 ADJUSTING DRAWINGS
2017-03-01 ROOF UPDATE
2017-03-07 UPDATE FOR APPLICATION

DRAWING TITLE:

SECTION AA

DRAWN:

A.A.

CHECKED:

DATE:
03-07-2017

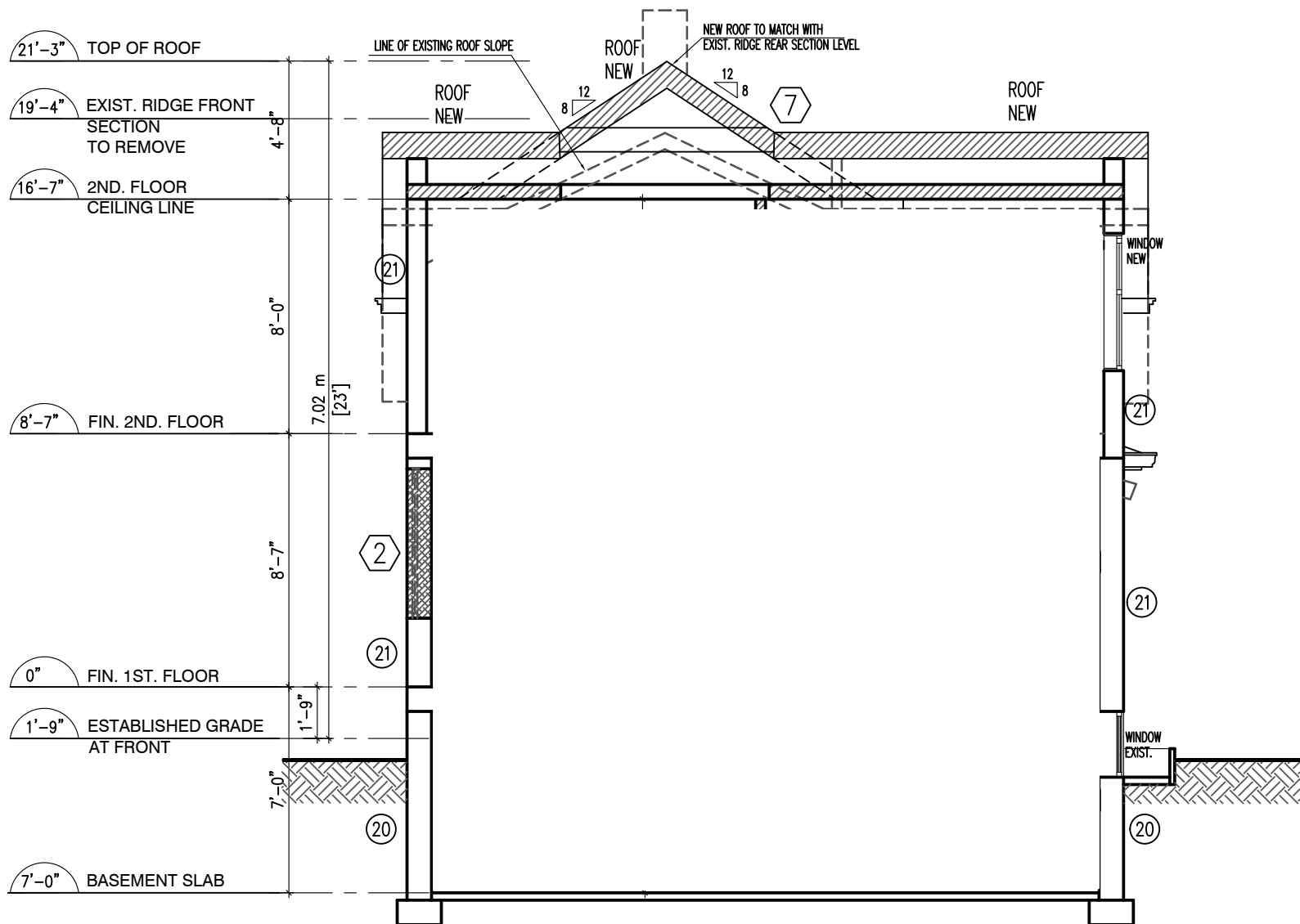
SCALE:
3/16"=1'

PROJECT NO:
10-03

DWG. NO:

A204

NOTE: THE CONTRACTOR SHALL CHECK AND VERIFY DIMENSIONS AND REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE COMMENCING ANY WORK



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QUALIFICATION INFORMATION
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A. AKSELROD 37139
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
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FIRM NAME BCIN

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PROJECT:

RENOVATION

31 Mississauga Rd. South
Port Credit, Ontario

REVISION / ISSUE
2017-02-17 ADD SECTIONS AA AND CC
2017-02-17 ADD SITE PLAN
2017-02-28 ADJUSTING DRAWINGS
2017-03-01 ROOF UPDATE
2017-03-07- UPDATE FOR APPLICATION

DRAWING TITLE:

SECTION CC

DATE:
03-07-2017

SCALE:
3/16"=1'

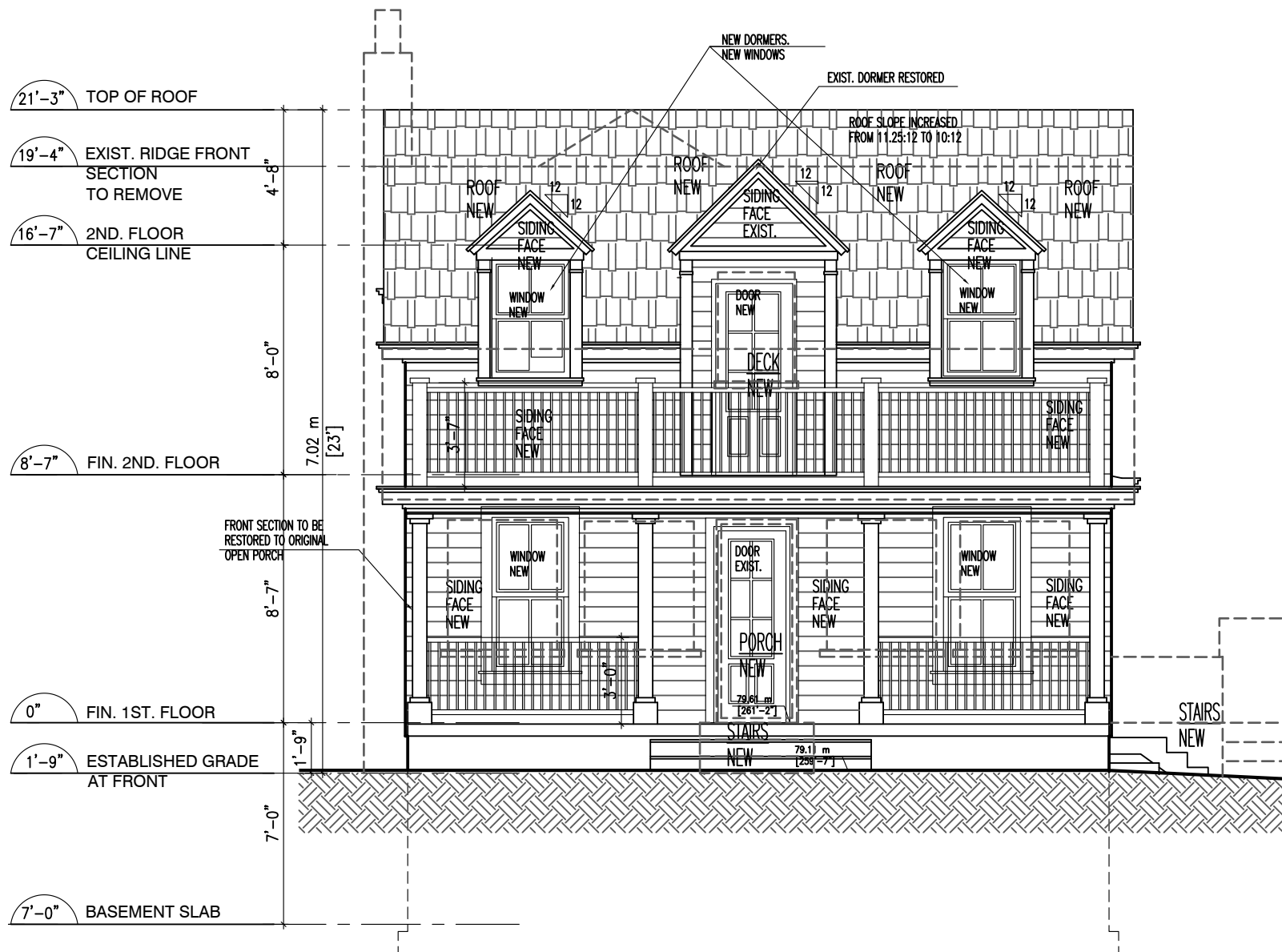
DRAWN:
A.A.

CHECKED:

PROJECT NO:
10-03

DWG. NO:

A205



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QUALIFICATION INFORMATION

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A. AKSELROD		37139
NAME	SIGNATURE	BCIN

NAME _____ SIGNATURE _____
REGISTRATION INFORMATION _____

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CADAXX DESIGN LTD	10062
FIRM NAME	BCIN

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PROJECT:

RENOVATION

31 Mississauga Rd. South
Port Credit, Ontario

REVISION / ISSUE

2017-02-17	ADD SECTIONS AA AND CC
2017-02-17	ADD SITE PLAN
2017-02-28	ADJUSTING DRAWINGS
2017-03-01	ROOF UPDATE
2017-03-07	UPDATE FOR APPLICATION

DRAWING TITLE:

FILE: WEST ELEVATION

DATE:	03-07-2017
-------	------------

SCALE:
3/16"=1'

DRAWN:
A.A.

CHECKED:

PROJECT NO:
10-03

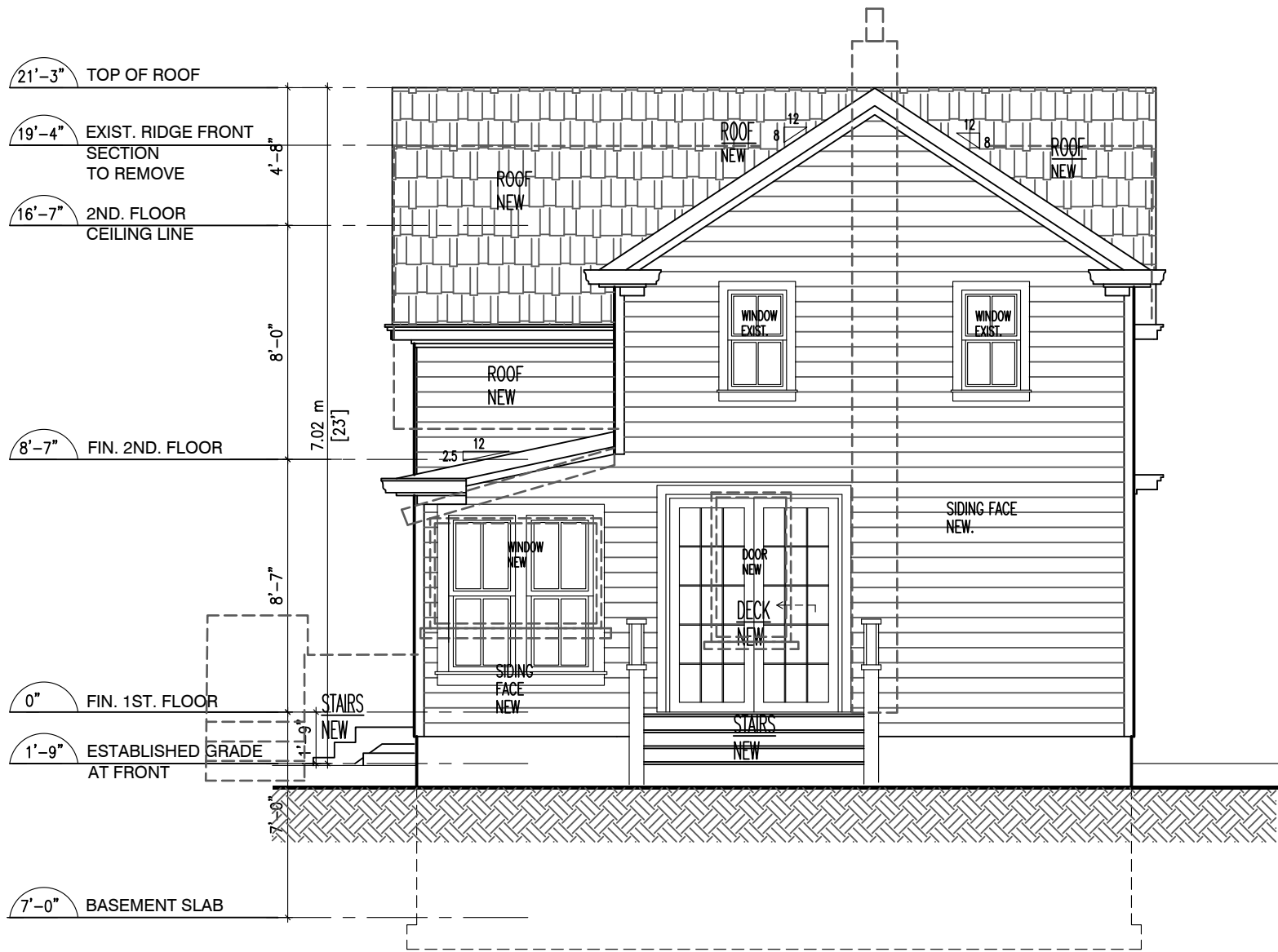
DWG. NO:

A206



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A. AKSELROD 37139

NAME SIGNATURE BCIN

REGISTRATION INFORMATION

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CADAXX DESIGN LTD 100624

FIRM NAME BCIN

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PROJECT:

RENOVATION

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Port Credit, Ontario

REVISION / ISSUE

2017-02-17 ADD SECTIONS AA AND CC
2017-02-17 ADD SITE PLAN
2017-02-28 ADJUSTING DRAWINGS
2017-03-01 ROOF UPDATE
2017-03-07- UPDATE FOR APPLICATION

DRAWING TITLE:

EAST ELEVATION

DATE:

03-07-2017

SCALE:

3/16"=1'

DRAWN:

A.A.

CHECKED:

PROJECT NO:

10-03

DWG. NO:

A208

SPECIFICATIONS



1 INTERIOR STUD PARTITION
12.7mm(½") DRYWALL FINISH BOTH SIDES OF 38X89(2"x4") WOOD STUDS @400 MM(16") O/C
2 TOP PLATES & 1 BOTTOM PLATE



2 NEW. FRAME WALL
FINISH AS PER ELEVATION: AIR BARRIER, SHEATHING PAPER, LAYERS TO OVERLAP EACH OTHER 10mm (¾") EXTERIOR TYPE SHEATHING, 38X140(2"x6") WOOD STUDS @ 400(16") O.C. DOUBLE PLATE @ TOP SILL PLATE @ BOTTOM
R24 BATT INSUL. IN CONTINUOUS CONTACT W/ EXTERIOR SHEATHING
CONTINUOUS AIR / VAPOUR BARRIER
12.7mm(½") INTERIOR DRYWALL FINISH

3 FLOOR CONSTRUCTION

15.5mm(⅝") PLYWOOD SUBFLOOR FLOOR, GLUE NAILED JOISTS (SEE PLANS)
FLOOR JOISTS BRIDGED W/ CONTINUOUS 19mmx64mm(1"x3") STRAPPING, 2 ROWS OF 38mmx38mm(2"x2") CROSS BRIDGING OR SOLID BLOCKING

4 WOOD POST

3–2X6" SPR STRUCTURAL SELECT WOOD POST.

PROVIDE SIMPSON STRONG TIE BASE ANCHOR TO CONNECT TO CONCRETE OR WOOD.

5 FLOOR CONSTRUCTION

15.5mm(⅝") PLYWOOD SUBFLOOR FLOOR, GLUE NAILED JOISTS (SEE PLANS)
FLOOR JOISTS BRIDGED W/ CONTINUOUS 19mmx64mm(1"x3") STRAPPING, 2 ROWS OF 38mmx38mm(2"x2") CROSS BRIDGING OR SOLID BLOCKING
W/ RSI 3.34 BATT INSULATION, EXTEND VAPOUR BARRIER & SEAL TO JOISTS AND SUBFLOOR

6 FOUNDATION WALL

BITUMINOUS DAMPROOFING ON MIN. 6mm PARGING 12" CONCRETE BLOCK FDN.WALL. OR 10" POURED CONCRETE (SEE PLAN FOR SIZE)
TOP BLOCK COURSE FILLED W/MORTAR OR CONCRETE
PROVIDE PARGING COVERED OVER 20"x10" POURED CONC. FOOTING TO BEAR ON UNDISTURBED SOIL
PROVIDE DRANAIGE LAYER
–MIN 19mm MINERAL FIBRE INSULATION W/ A DENSITY OF NOT LESS THEN 57kg/m3 OR
–MIN 100mm OF FREE DRAIING GRANULAR MATERIAL OR
–A B.M.E.C APPROVED DRAINAGE LAYER MATERIAL



7 ROOF CONSTRUCTION
20 YEAR ASPHALT SHINGLES ON MIN. 9.5mm(⅜") EXTERIOR PLYWOOD SHEATHING ON CONVENTIONAL FRAMING (SEE SECTION)
USE 'H' CLIPS AT 600mm(24") O.C. SPACING



8 OVERHANG CONSTRUCTION
PREFINISHED VENTED ALUMINUM FASCIA, EAVESTROUGH & RAIN WATER LEADERS TO MATCH EXISTING FINISHES. PROVIDE DRIP EDGE AT FASCIA & VENTED SOFFIT
EXTEND DOWNSPOUTS TO GRADE LEVEL



9 ROOF VENTILATION
1:300 OF THE INSULATED CEILING AREA UNIFORMLY DISTRIBUTED.



10 EAVES PROTECTION
EAVES PROTECTION MEMBRANE TO EXTEND FROM THE EDGE OF THE ROOF, 900mm(36") UP THE SLOPE BUT NOT LESS THAN 300mm(12") BEYOND THE INTERIOR FACE OF THE EXTERIOR WALL



11 CEILING CONSTRUCTION
15.9mm(⅝") INTERIOR DRYWALL FINISH CONTINUOUS AIR / VAPOUR BARRIER W/ MINIMUM R50 BATT INSULATION



12 WALL/CEILING INSULATION
CARRY MIN. R31 INSULATION TO COVER THE INTERIOR FACE OF THE EXTERIOR WALL



13 PIERS
PROVIDE 10" DIA. SONO TUBE OF POURED CONCRETE PIERS MIN. 1200mm(4'–0") BELOW GRADE



14 STAIRS INTERIOR/EXTERIOR
MAXIMUM RISE = 200mm 7⅞"
MINIMUM RISE = 125mm 4⅞"
MINIMUM RUN = 210mm 8¼"
MAXIMUM RUN = 355mm 14"
MINIMUM TREAD = 235mm 9¼"
MAXIMUM TREAD = 355mm 14"
MAXIMUM NOSING = 25mm 1"
MINIMUM WIDTH = 860mm 2'–10"
MINIMUM HEADROOM = 1950mm 6'–5"



15 GUARDS
INTERIOR LANDINGS = 900mm 2'–11"
EXTERIOR BALCONY = 1070mm 3'–6"
INTERIOR STAIRS = 900mm 2'–11"
EXTERIOR STAIRS = 900mm 2'–11"
MAX. BETWEEN PICKETS = 100mm 4"

GUARD HEIGHT IF DECK TO GRADE IS:
GREATER THAN 1800mm(5'–11") = 1070mm 3'–6"
1800 OR LESS = 900mm 2'–11"
NO MEMBER OR ATTACHMENT BETWEEN 140mm(4") & 900mm(2'–11") HIGH SHALL FACILITATE CLIMBING



16 BUILT UP BEAM
BUILT UP BEAM PROVIDE NOT LESS THEN 89mm(3½") OF BEARING ON BOTH ENDS OF THE BEAM.
INDIVIDUAL MEMBERS SHOULD BE NAILED TOGETHER W/ A DOUBLE ROW OF NAILS NOT LESS THEN 89mm(3½") IN LENGTH, SPACED NOT MORE THEN 450mm(17¾") APART IN EACH ROW W/ THE END NAILS LOCATED 100mm(4") TO 150mm(5⅞") FROM THE END EACH PIECE



17 STEEL POST
HSS 4"x4"x¼"
STEEL COLUMNS SHALL BE FITTED WITH 8"(200 mm) x 8"(200 mm) BY ⅜"(6.35 mm) THICK STEEL PLATES AT EACH END, AND WHERE THE COLUMN SUPPORTS A WOODEN BEAM, THE TOP PLATE SHALL EXTEND ACROSS THE FULL WIDTH OF THE BEAM



18 FOOTING
3'–6"x3'–6"x10" FOOTING SHALL REST ON UNDISTURBED SOIL OR COMPACTED GRANULAR FILL



19 LVL BEAM
3–1¼"x9¼" LVL (SEE PLANS FOR EXACT. SIZE)
PROVIDE NOT LESS THEN 89mm(3½") OF BEARING ON BOTH ENDS OF THE BEAM.



20 STEEL BEAM
W8x15 (SEE PLANS FOR EXACT. SIZE)
MIN 6" BEARING ON 16"x8"x16"(PP) CONC. PAD ON MASONRY WALL



20 EXISTING BRICK FOUNDATION WALL AND CONCRETE FOOTING TO REMAIN



21 EXISTING EXTERIOR FRAME WALL TO REMAIN



22 EXISTING INTERIOR STUD PARTITION TO REMAIN



30 REMOVE EXISTING FOUNDATION WALL AS SHOWN DASHED



31 REMOVE EXISTING EXTERIOR WALL AS SHOWN DASHED



32 REMOVE EXISTING INTERIOR STUD PARTITION AS SHOWN DASHED

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.
QUALIFICATION INFORMATION
Required unless design is exempt under Division C - 3.2.5.1. of the 2006 Ontario Building Code (or 2.17.5.1. of the 1997 Ontario Building Code)
A. AKSELROD 37139
NAME SIGNATURE BCIN
REGISTRATION INFORMATION
Required unless design is exempt under Division C - 3.2.4.1. of the 2006 Ontario Building Code (or 2.17.4.1. of the 1997 Ontario Building Code)
CADAXX DESIGN LTD 100624
FIRM NAME BCIN

DO NOT START CONSTRUCTION UNTIL A PERMIT IS ISSUED.

USE ONLY OFFICIAL CITY STAMPED PERMIT DRAWINGS FOR CONSTRUCTION.

NOTE: THE CONTRACTOR SHALL CHECK AND VERIFY DIMENSIONS AND REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE COMMENCING ANY WORK



1540 Lodestar Rd, Unit 1,
Toronto, ON M3J 3C1
office 416.639.0904 cell 416.873.6899
www.cadaxx.com info@cadaxx.com

PROJECT:

RENOVATION

31 Mississauga Rd. South
Port Credit, Ontario

REVISION / ISSUE
2017-02-17 ADD SECTIONS AA AND CC
2017-02-17 ADD SITE PLAN
2017-02-28 ADJUSTING DRAWINGS
2017-03-01 ROOF UPDATE
2017-03-07- UPDATE FOR APPLICATION

DRAWING TITLE:
SPECIFICATIONS

DATE:
03–07–2017

SCALE:
NO SCALE

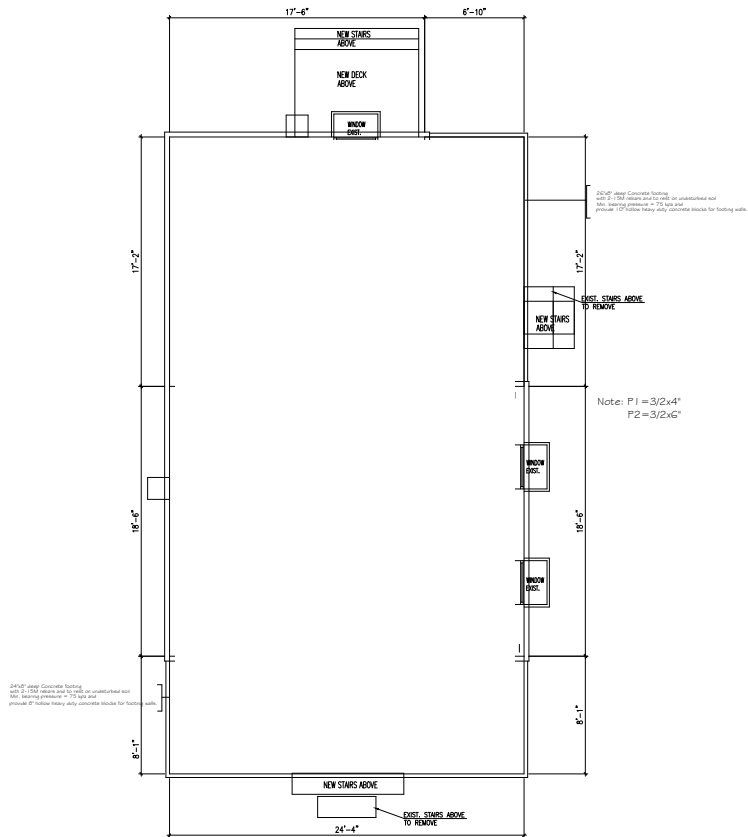
DRAWN:
A.A.

CHECKED:

PROJECT NO:
10-03

DWG. NO:

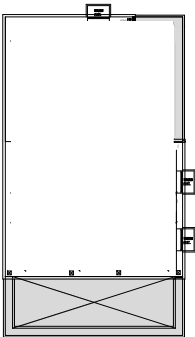
A400



Proposed Basement Floor

Notes:

- 1- General Contractor is responsible to hire Engineer to investigate the responsibility for the following:
 - a) Any Sub-surface conditions that may exist and further remedial work that may be necessary and any future costs.
 - b) Any site removal of any land fill or filling underground pores etc.
- 2- Contractor shall ensure and field verify that all footings are constructed on existing naturally consolidated undisturbed soil capable of providing a safe bearing capacity of 75 Kpa.



Key Plan

Locations of proposals is highlighted.

GENERAL CONTRACTOR

THE CONTRACTOR SHALL COMPLY ONTARIO BUILDING CODE REG. 3501.2 INCLUDING LOCAL BUILDING CODES, AMENDMENTS AND THE MUNICIPAL BUILDING DEPARTMENT AND WILL ENSURE THAT ALL APPLICATIONS, WORK PERMITS, APPROVALS AND WORK ORDERS ARE COMPLETED AND OBTAINED. THE CONTRACTOR SHALL BE FAMILIAR WITH ALL SITE CONDITIONS AND SHALL VERIFY ALL RELEVANT STRUCTURE DIMENSIONS AND ELEVATIONS AS SHOWN ON THE DRAWING(S) PRIOR TO ANY WORK AND ADJUST AS REQUIRED TO MATCH EXISTING STRUCTURE DIMENSIONS.

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REVISIONS		
No.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	5/5/2017
2	REVISION	
3		
4		
5		
6		
7		
8		
9		
10		

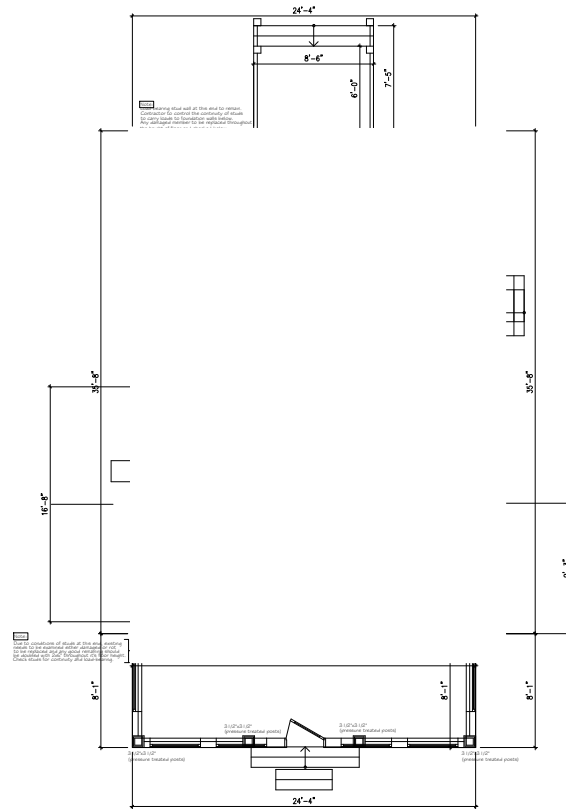
Do not scale drawings		



Basement Floor Plan

31 Mississauga Rd S
Port Credit, Ontario.

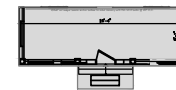
Date:	30/4/2017
Scale:	1/8" = 1'
Drawn:	
Checked:	K. ZAND
No.	Sheet



Proposed Main Floor Plan (RCP)

Notes:

- 1- Loading on second and main floor was taken as follows:
Live load = 1.9kpa, Dead load = 0.8 kpa
- 2- These drawings to be read in conjunction with Structural Notes.



Key Plan

Locations of proposals is highlighted.

GENERAL CONTRACTOR:

THE CONTRACTOR SHALL COMPLY ONTARIO BUILDING CODE REG. 3501/2 INCLUDING LOCAL BUILDING CODES, AMENDMENTS AND THE MUNICIPAL BUILDING DEPARTMENT AND WILL ENSURE THAT ALL APPLICATIONS, WORK PERMITS, APPROVALS AND WORK ORDERS ARE COMPLETED AND OBTAINED.

THE CONTRACTOR SHALL BE FAMILIAR WITH ALL SITE CONDITIONS AND SHALL VERIFY ALL RELEVANT STRUCTURE DIMENSIONS AND ELEVATIONS AS SHOWN ON THE DRAWING(S) PRIOR TO ANY WORK, AND ADJUST AS REQUIRED TO MATCH EXISTING STRUCTURE DIMENSIONS.

THE DESIGN AND CONTRACT DOCUMENTS ARE THE COPYRIGHT PROPERTY OF THE OWNER AND MAY NOT BE REPRODUCED, ALTERED OR REUSED WITHOUT THE PRIOR WRITTEN AUTHORITY OF THE OWNER.

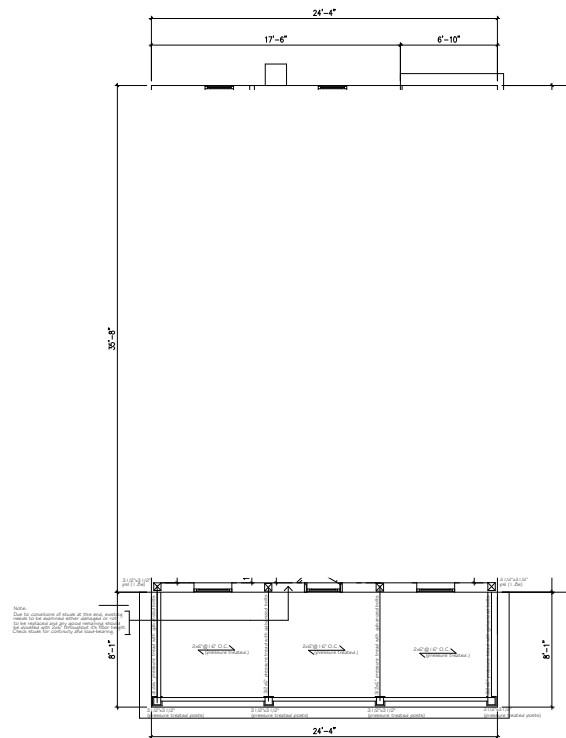
A	WEEK REVIEWED	6/7/2017
No	Revision	Date

Do not include drawings

Proposed Main Floor Plan

31 Mississauga Rd S
Port Credit, Ontario.

Notes: 3/4/2017
Scale: $\frac{1}{16}'' = 1'$
From: SO2
Checked: K. ZAND
Job: Sheet



Proposed Second Floor Plan

Notes:

- 1- Loading on second and main floor was taken as follows:
Live load = 1.9kpa, Dead load = 0.8 kpa
- 2- These drawings to be read in conjunction with Structural Notes.



Key Plan

Locations of proposals is highlighted.

GENERAL CONTRACTOR

THE CONTRACTOR SHALL COMPLY WITH ALL BUILDING CODES, ORDINANCES, REGULATIONS, AND ORDINANCES, INCLUDING LOCAL BUILDING CODES, AMENDMENTS AND THE MUNICIPAL BUILDING DEPARTMENT AND SHALL ENSURE THAT ALL APPLICATIONS, WORK PERMITS, APPROVALS AND WORK ORDERS ARE COMPLETED AND MAINTAINED. THE CONTRACTOR SHALL BE FAMILIAR WITH ALL SITE CONDITIONS AND SHALL VERIFY ALL RELEVANT STRUCTURAL DIMENSIONS AND ELEVATIONS (AS SHOWN ON THE DRAWINGS) PRIOR TO ANY WORK AND ADJUST AS REQUIRED TO MATCH EXISTING STRUCTURE DIMENSIONS.

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A	MINOR REVISIONS	6/7/2017
No.	Revisions	Date

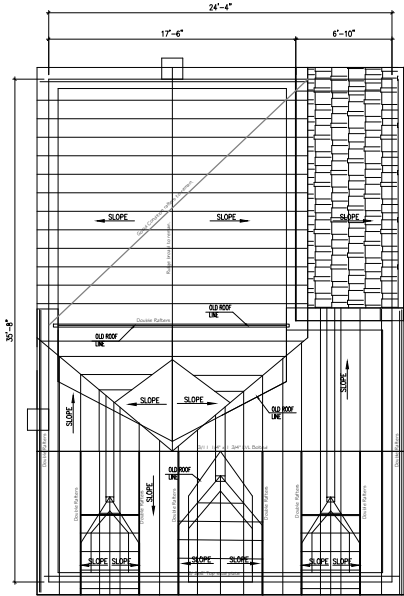
Do not scale drawings



Proposed Second Floor Plan

31 Mississauga Rd S
Port Credit, Ontario.

Date: 3/4/2017
Scale: $\frac{1}{16}'' = 1'$
Drawn: SO3
Checked: K. ZAND
Job: Sheet

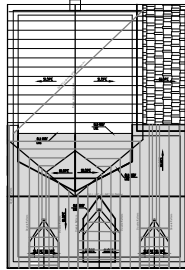


Proposed Roof Plan

NOTES:

- 1- All roof heights and slopes including ridges, hips, slopes and any other roof members to be extracted from Architect's drawings.
- 2- All conventional framing, either shown on layout or assumed, is to conform to requirements of OBC2012.
- 3- Size of new rafters to be 2x8" unless otherwise shown.
- 4- Vertical supports longer than 6' shall be laterally braced to diaphragm at mid height.
- 5- Provide collar ties 2x4x4" above the ceiling level at all rafter locations.

Roof Loadings are as follows:
Snow Load: 1.0 kpa
Roof Dead load: 0.8 kpa



Key Plan

Locations of proposals is highlighted.

GENERAL CONTRACTOR

THE CONTRACTOR SHALL COMPLY ONTARIO BUILDING CODE REG. 3501.2 INCLUDING LOCAL BUILDING CODES, AMENDMENTS AND THE MUNICIPAL BUILDING DEPARTMENT AND WILL ENSURE THAT ALL APPLICATIONS, WORK PERMITS, APPROVALS AND WORKING DRAWINGS ARE COMPLETED AND OBTAINED.

THE CONTRACTOR SHALL BE FAMILIAR WITH ALL SITE CONDITIONS AND SHALL VERIFY ALL RELEVANT STRUCTURE DIMENSIONS AND ELEVATIONS AS SHOWN ON THE DRAWINGS PRIOR TO ANY WORK AND ADJUST AS REQUIRED TO MATCH EXISTING STRUCTURE DIMENSIONS.

THE DESIGN AND CONTRACT DOCUMENTS ARE THE COPYRIGHT PROPERTY OF THE OWNER AND MAY NOT BE REPRODUCED, ALTERED OR REUSED WITHOUT THE PRIOR WRITTEN AUTHORITY OF THE OWNER.

[illegible]

Proposed Roof Plan

1 Mississauga Rd S
Port Credit, Ontario.

Notes: 3/4/2017
Scale: $\frac{3}{16}'' = 1'$
From: SQ-4
Checked: K. ZAND
Job: Sheet

City of Mississauga

Corporate Report



Date: 2017/03/16

To: Chair and Members of Heritage Advisory Committee

From: Paul Mitcham, P. Eng, MBA, Commissioner of
Community Services

Originator's files:

Meeting date:
2017/04/11

Subject

Request to Alter a Heritage Designated Property: 913 Sangster Avenue (Ward 2)

Recommendation

1. That, the proposal to add a one storey rear addition, build a north (rear) deck, enlarge a doorway (west elevation) and install new French doors, enlarge one window (west elevation) to fit new full length window, add a small deck (west), alter bay window on east elevation (on a previous addition), remove decorative shutters, remove the front trellis (south elevation), shorten the existing garage to accommodate a large tree, as shown in the attachments to the Corporate Report dated March 16, 2017 from the Commissioner of Community Services, be approved for the property at 913 Sangster Avenue, which is designated under Part IV of the Ontario Heritage Act.
2. That new windows be made of wood with exterior muntin bars, where proposed (reconfigured bay window), wood exterior finish materials and trims be noted in the drawings and a final set be provided for staff review and approval prior to issuance of a heritage permit.
3. That if any changes result from other City review and approval requirements, such as but not limited to building permit, committee of adjustment or site plan approval, a new heritage permit application may be required. The applicant is required to contact heritage planning at that time to review the changes prior to obtaining other approvals and commencing construction.

Background

Section 33 of the Ontario Heritage Act requires permission from Council in order to make alterations to a Part IV property. The property, known as the Briggs house at 913 Sangster Avenue, is designated under Part IV of the Ontario Heritage Act, as well as part of the Lorne Park Estate as a Cultural Landscape. The natural landscape is one of the heritage attributes of the property as part of said cultural landscape. The property's individual significance lies in it containing a Queen Anne revival residence, formerly a cottage that may have been designed by Edmund Burke, demonstrating a high degree of craftsmanship and artistic value. The property also has historical associative value due to associations to John Graydon a prominent Streetsville builder. The property is also associated to Reverend William Briggs, associated with the developing of Ryerson Press. The property has contextual value as it supports the character

of the Lorne Park Estates, a planned summer resort community which evolved into a year-round residential community while retaining its original character.

Joan Burt Architect has submitted a heritage permit application, description and drawings of the proposed addition and alterations proposed to the cottage. The project will add a one storey addition to the rear of the property, build a north (rear) deck, enlarge a doorway (west elevation) and install new French doors, enlarge one window (west elevation) to fit new full length window, add a small deck (west), alter bay window on east elevation (on a previous addition), remove decorative shutters, remove the front trellis (south elevation), shorten the existing garage to accommodate a large tree. See Appendix 1.

Comments

The owner of 913 Sangster Avenue has requested permission to alter the individually designated property. The applicant has submitted an application, drawings depicting the proposal and a Heritage Impact Assessment. Refer to the appendix. Sensitive contemporary alterations are appropriate in heritage sites if they are found to be complementary and do not negatively affect the cultural heritage attributes. Heritage Planning finds that the proposed addition, modest window and door alterations, proposed deck areas and cutting back of the existing garage are sympathetic to the cultural significance of the property as a whole.

Financial Impact

There is no financial impact.

Conclusion

The applicant has submitted a proposal and design concept drawings supporting the request to construct a one storey addition and alterations to the property as per the submitted drawings and Heritage Impact Assessment by Joan Burt Architect. Staff finds that the proposal depicted in the appendix of this report is sympathetic to the heritage attributes of the designated Briggs House, located at 913 Sangster Avenue, and should be approved.

Attachments

Appendix 1: Heritage Impact Assessment (including drawings)

Appendix 2: Partial First Floor Plan



Paul Mitcham, P. Eng, MBA, Commissioner of Community Services

Prepared by: Cecilia Nin Hernandez, Heritage Coordinator

CULTURAL HERITAGE IMPACT ASSESSMENT



**913 SANGSTER AVENUE
LORNE PARK ESTATES
MISSISSAUGA, ONTARIO**

Prepared By
JOAN BURT ARCHITECT

FEBRUARY 2017

To The Reader

Property Owner

913 Sangster Avenue
Mississauga, Ontario, L5H 2Y3

Project Architect

Joan Burt Architect
(see below)

CHIA Prepared by

Heritage Consultant
Joan Burt Architect
310 Delaware Avenue
Toronto, Ontario, M6H 2T8

Contact:

Joan Burt, B.Arch, OAA, CAHP
T - 416 533 0072
joanburtarchitect@rogers.com

**913 Sangster Avenue
 Lorne Park Estates
 Mississauga, Ontario**

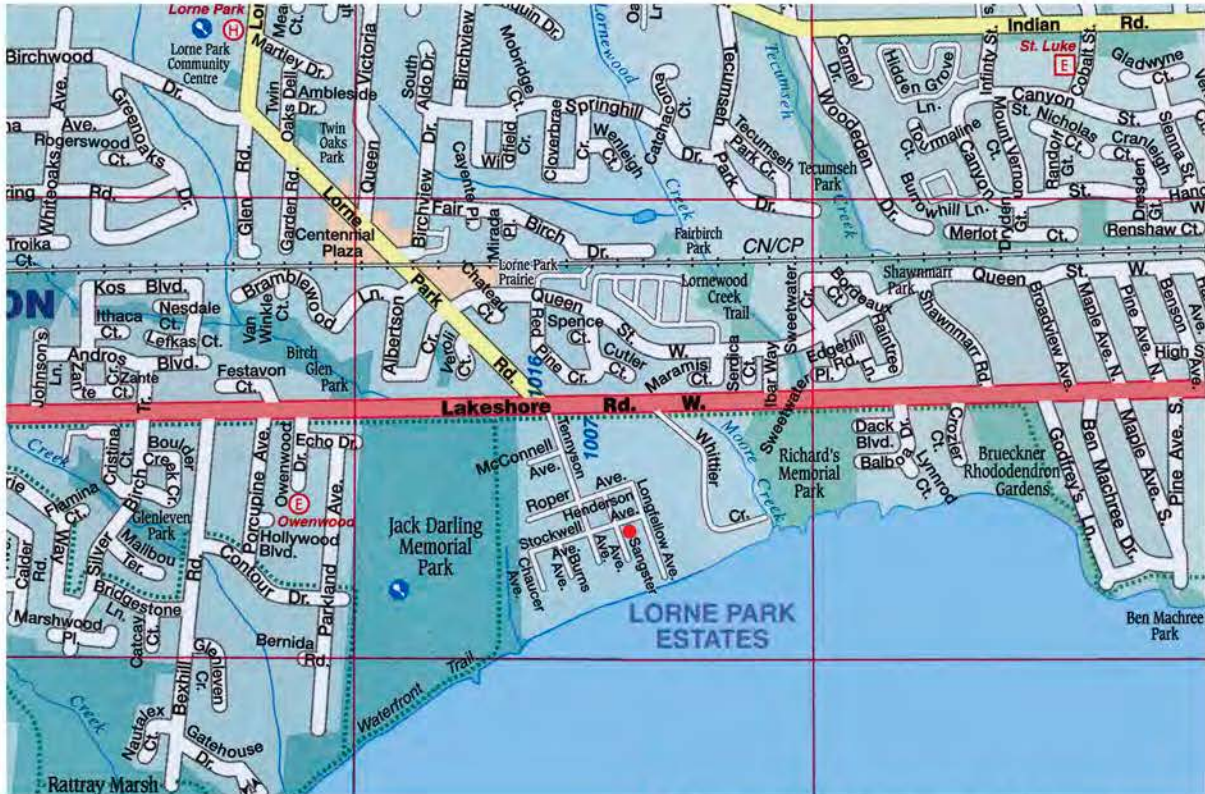
Table of Contents

1.0	Introduction to the Site	1
1.1	Location Map	1
1.2	Legal Description	1
1.3	Zoning	1
1.4	Heritage Status	1
1.5	Approval Being Sought from the Heritage Advisory Committee	1
1.6	Property Index Map	2
1.7	Survey of Property	3
1.8	Description of the Property	4
1.9	Description of the Building on the Site	5
2.0	Background Research and Analysis	7
2.1	Chain of Title	7
2.2	Map of Lorne Park Estates Showing Surrounding Features	10
2.3	Plan - 88 Plan of the Subdivision of part of Lorne Park Summer Resort	11
2.4	Site History	12
2.5	Builder of the Original Cottage at 913 Sangster Avenue	13
2.6	Architect of the Original Cottage at 913 Sangster Avenue	14
3.0	Architectural Description	17
3.1	Exterior Views	17
	Elevations	17
	Three Quarter Views	18
4.0	Assessment of Existing Condition	21
4.1	Exterior	21
4.2	Interior	28
5.0	Context	30
6.0	Heritage Attributes of 913 Sangster Avenue	31
7.0	The Design for the Proposed Addition and Alterations	32
7.1	Description of the Proposed Addition and Alterations	32
7.2	Architects Design Drawings	34
	Sources	41
	Joan Burt Architect Qualifications	42

1.0 Introduction to the Site

1.1 Location Map

913 Sangster Avenue is located in Lorne Park Estates, between Roper Avenue and Henderson Avenue.



● Location of 913 Sangster Avenue

1.2 Legal Description

LOTS 4 & 6 BLOCK G
 REGISTERED PLAN B - 88
 CITY OF MISSISSAUGA,
 COUNTY OF PEEL

Pin 13488-0930LT

1.3 Zoning - Residential

1.4 Heritage Status - Designated

1.5 Approval Being Sought From The Heritage Advisory Committee

Permission to build a small one storey kitchen addition and rebuild existing deck on the north (rear) elevation of the house: enlarge existing doorway and install new french doors, enlarge existing window opening and install new window, and add a small deck on the west elevation: alter the existing bay window on the east elevation: remove decorative shutters, remove columns and trellis on the south elevation: and shorten the existing garage to accommodate the existing very large tree.

1.6 Property Index Map

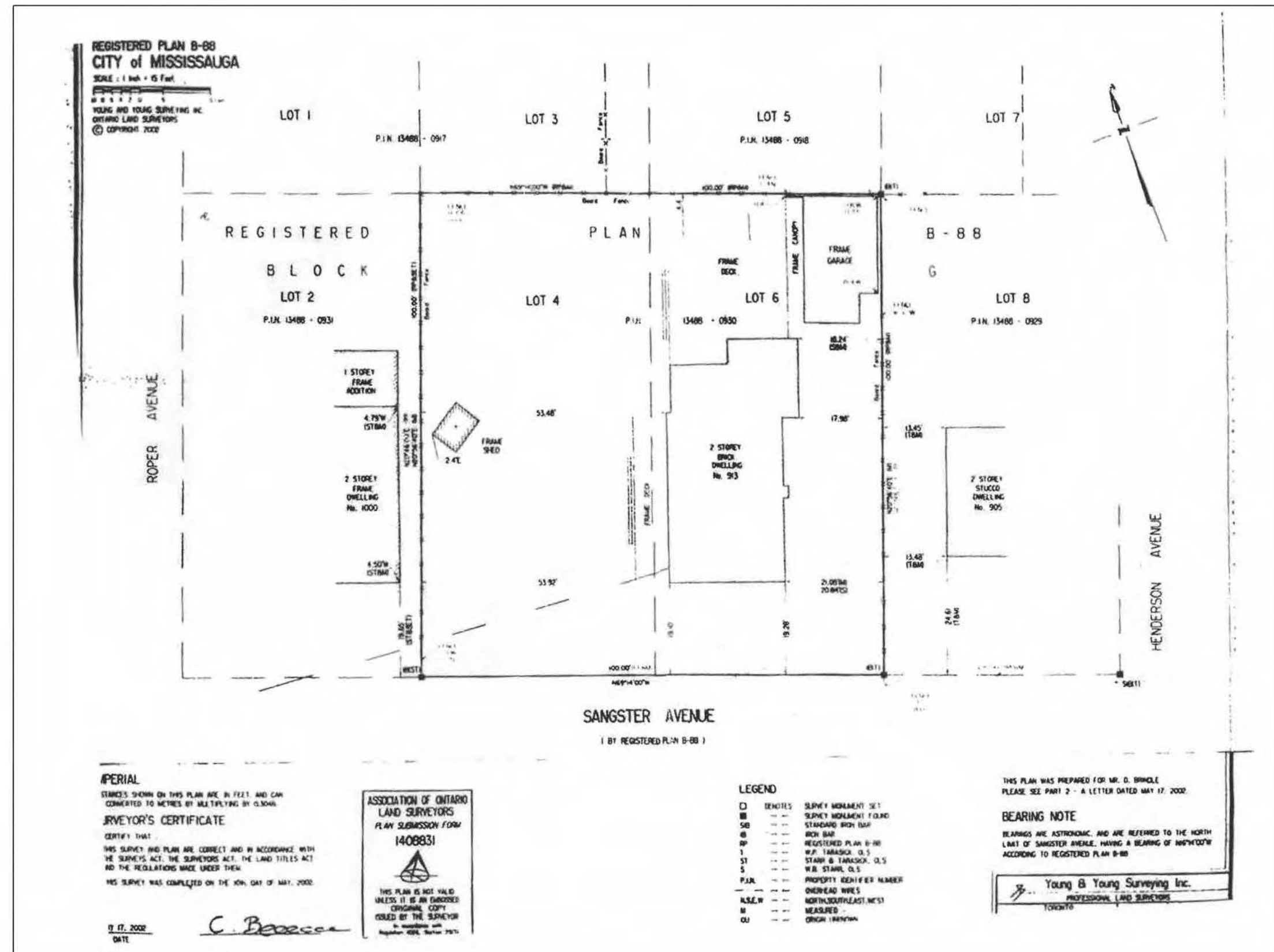
The property at 913 Sangster Avenue is outlined in red.



1.7 Survey of Property

913 Sangster Avenue
Lorne Park Estates
Mississauga, Ontario
Cultural Heritage Impact Assessment

3

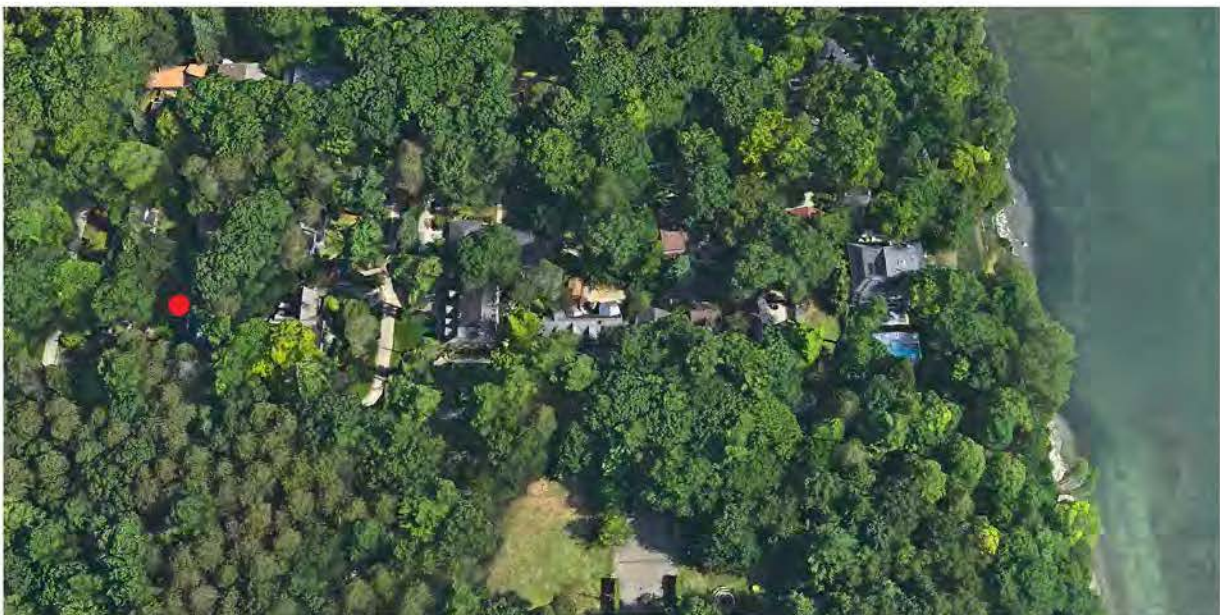


1.8 Description of the Property

This property is located in Lorne Park Estates in Block G on Sangster Avenue, which runs south off Roper Avenue. It is a centre pair of lots (4 & 6) between one lot (2) to the west on Roper Avenue, and two lots (8 & 10) to the east on Henderson Avenue. The two lots making up 913 Sangster are each 50 ft. x 100 ft. rectangles, which is the typical lot size for the Lorne Park Estates Subdivision when it was established.

Presently on the lot is the a two - storey, frame, single - family house altered from the original cottage which faces Sangster Avenue. There are two later additions to the rear (north): one, a storey and a half, and the other a one storey. There is a plain single car garage at the north - east corner of the lot, which is accessed off Sangster Avenue, and at the middle of the west property line is a small decorative garden shed.

The property is relatively flat with a small slope from the rear of the original house to the street and from the rear of the additions to north - west corner of the property. The front of the lot has well positioned mature trees and pleasant landscaping. There is a very large mature tree at the south - east corner of the garage and the remainder of the lot is grass with border planting of small trees, hedges and bushes. The long driveway is surfaced in gravel. There is a low wood fence between the neighbour to the east, and chain link and wood fencing on the north and east property lines, which is mostly obscured with planting.



Aerial View Showing The Relationship Of The Properties on Sangster Avenue, And The Densely Wooded Unoccupied Land. 913 Sangster Avenue Is Indicated By The Red Dot.

1.9 Description of the Building on the Site

The House

The front two storey frame section of the house is the original summer cottage, built by John Graydon, and likely designed by Edmund Burke. The cottage has been considerably modified, however the general form of the building remains the same, with its monk's hood gable roof, and second floor wood shingle cladding. The original open front porch has been closed in with 10 paned casement windows, and incorporated into the living room. The front entry has been relocated to the east side, and the first floor exterior wood siding has been covered over with brick veneer. On the west side of the house there is new verandah running the full length of the original cottage, with a shed roof supported on Doric style wood columns. On the front elevation are new decorative wood Doric style columns and trellis, as well as decorative shutters, which have no relationship to the windows.

On the second floor front elevation are casement windows with 8 panes, similar to the ones on the first floor, which possibly indicates that this area was also once an open balcony across the front of the cottage.

On the east side of the house at the west end there is a 1 1/2 storey frame addition that may have been built around 1920. This addition is clad in narrow wood siding on the top floor and wider metal siding on the first floor. It has a gable roof, which butts into the north wall of the original house. The windows on the first floor are very small and utilitarian. The windows on the second floor of the north elevation are similar in design to the first floor 8 over 2 double hung wood windows on the east elevation, and may have been relocated from the north wall of the original cottage. The one storey addition at the north east corner of the house was built a little later than the first addition, and has been modified with a sliding door on the north elevation, and vinyl windows in a vinyl clad bay window on the east side. In no way do the additions have the same quality workmanship or design of the original cottage.

Garage

The garage is a simple frame structure with a gable roof, and a covered walkway with a shed roof on the west elevation. The walls are covered in metal siding, and there is a metal overhead door. The interior is unfinished. This is a simple plain garage and it too was not designed nor built by the original architect or builder.



Garden Shed

The decorative garden shed is designed to resemble a little cabin with a gable roof, a two panel entry door and a 6 pane casement window complete with window box.

**Garden Shed Located
Near West Property Line**

Description of the Buildings on the Site (continued)



**913 Sangster Avenue
South East 3/4 View
Of Original Cottage
With Modifications
And Additions To
The Rear (above)**



**South Elevation Of
The Single Car
Garage Showing The
Large Tree At The
South East Corner
(left)**

2.0 Background Research and Analysis

2.1 Chain of Title

Lots 4 and 6, Block G, Plan B-88, Toronto Township
 (Formerly Lot 23, Con. 3, S.D.S. Toronto Township)

Pin 13488-0930

Patent			23 July 1833	Crown	Arthur Jones	All lot 23, con. 3., S.D.S. and other lands
10781	B & S L. 50	12 May 1834	27 May 1834	Arthur Jones	Frederick Chase Capreol	All lot 23 and o.i.
42812 (missing)	B & S L. 200	15 Aug. 1848	13 Jan. 1852	K. McKay Sutherland	Alexander H. Grant	All lot 23 and o.i.
44018 (missing)	Ind. L. 5	26 March 1852	14 Apr. 1852	John Bishop	John Maulson	All lot 23 and o.i. undivided 1/3 interest
50570	Ind. L. 728	18 Jan. 1839	16 Aug. 1853	Frederick Chase Capreol	Charles Mitchell	All lot 23 and o.i.
8258	Assign. L. 5	22 Feb. 1844	16 June 1860	Charles Mitchell	John Bishop	All lot 23 and o.i.
11678	B & S L. 500	4 Dec. 1860	16 Nov. 1863	Alexander H. Grant	Ross Wyman Wood	All lot 23 and o.i.
64	B & S \$1.00	12 May 1868	10 July 1868	Ross Wyman Wood	John D. Wood	All lot 23 and o.i.
365	Release	— Sept. 1860	6 Oct. 1869	John Bishop	James Leslie and Kenneth McKay Sutherland	All lot 23 and o.i.
1310	Quit Claim \$75	29 Nov. 1873	20 Dec. 1873	Robert W. Sutherland	John D. Wood	All Lot 23 and o.i.
1329	B & S \$4,000	17 Dec. 1873	14 Jan. 1874	James Leslie	Joseph Orr	All lot 23 and o.i.
2231	B & S \$1,150	7 March 1877	6 July 1877	Joseph Orr	William Andrew Orr as to undivided ½ interest	All lot 23 and o.i.
2436	B & S \$5,500	1 Apr. 1878	3 Apr. 1878	Joseph Orr and William Andrew Orr	Columbus H. Greene	All lot 23 & o.i.
2662	B & S \$7,500	1 Oct. 1878	31 Jan. 1879	Columbus Hopkins Greene	Neaven McConnell	All lot 23 & o.i. 75 ¼ ac.
2873	Lis Pendens	3 Nov. 1879	12 Nov. 1879	Neven McConnell, Plaintiff	The Toronto Park Association, Defendant	Lot 23, con. 3
5559	B & S (under Insolvency Act) \$500	5 Feb. 1885	16 July 1886	Thomas Clark, assignee of The Toronto Park Association	Neaven McConnell	Pt. Lot 23 and o.i. 75 ¼ ac.
5739	Quit Claim	1 July 1886	16 July 1886	Carrie McCandless	Neaven McConnell	Pt. Lot 23 and o.i. 75 ¼ ac.

5740	B & S \$7,000	9 July 1886	16 July 1886	Neaven McConnell	John William Stockwell, William Richard Henderson, James Venn, Peter McIntyre	Pt. Lot 23 and o.i. 75 ¼ ac.
5761	B & S \$16,000	16 July 1886	31 July 1886	John William Stockwell, William Richard Henderson, James Venn, Peter McIntyre	The Toronto and Lorne Park Summer Resort Company	Pt. Lot 23 and o.i. 75 ¼ ac.
Plan B-88			9 May 1888			
LOT 6, Block G, PLAN B-88						
5914	Grant \$100	16 Nov. 1886	3 Jan. 1887	The Toronto and Lorne Park Summer Resort Company	John William Stockwell	Lot 6, Block G, Plan B-88
6544	Grant \$175	14 May 1888	23 Aug. 1888	John William Stockwell	Mary Amelia Shaver	Lot 6
6722	Grant \$175	6 Oct. 1888	21 Jan. 1889	Mary Amelia Shaver	John Graydon	Lot 6
6974	Grant \$1,000	13 Sept. 1889	5 Nov. 1889	John Graydon	The Reverend William Briggs	Lot 6
13976	Grant \$1,200	21 April 1910	11 May 1910	William Briggs	Anna Valerie Clancy	Lot 6
LOT 4, Block G, Plan B-88						
6221	Grant \$100	20 Sept. 1877	29 Sept. 1884	The Toronto and Lorne Park Summer Resort Company	Byron John Hill and Robert Stephenson Weir	Lot 4, Block G, Plan B
7208	Grant \$140	21 May 1888	7 June 1890	Byron John Hill and Robert Stephenson Weir	John Maltman Martin	Lot 4
8748	Grant \$1.00	25 Feb. 1895	4 March 1895	John Maltman Martin	Havelock Stinson	Lot 4
10226	Grant \$1.00	24 April 1900	21 May 1900	Havelock Stinson	Wilhelmine Howard Martin	Lot 4
17590	Grant \$300	17 Feb./16	11 Apr./16	Wilhelmine Howard Martin	Anna Valerie Clancy	Lot 4
LOTS 4 and 6, Block G						
19964	Grant \$4,500	7 May /20	2 June/20	Anna V. Clancy	Doris R. Muldoon	Lots 4 and 6
46352	Grant \$9,000	22 Oct./45	25 Oct./45	Estate of Doris Harkness (formerly Doris Muldoon)	Newton Leonard Stacey and Florence Stacey	Lots 4 and 6
83772	Grant \$16,000	21 June /48	4 Oct. /48	Florence Stacey and Newton Leonard Stacey	Mary Ramsay and John Ramsay	Lots 4 and 6
145294	Grant \$22,500	1 May /62	1 May /62	Mary Ramsay and John Ramsay	Eileen Patricia Brown and Archibald James Brown	Lots 4 and 6
124163VS	Grant \$33,510.98	15 Oct./69	17 Oct./69	Eileen Patricia Brown and Archibald James Brown	Harold B. Keevil	Lots 4 and 6

240261VS	Grant \$63,500	13 Nov./72	30 Nov./72	Harold B. Keevil	Allan Seichi Watanabe and Margo Jane Watanabe	Lots 4 and 6
339757VS	Grant \$95,000	3 Dec./74	6 Jan./75	Allan Seichi Watanabe and Margo Jane Watanabe	Patricia Lillian Wadman	Lots 4 and 6
437144	Grant \$103,000	22 June/77	4 July/77	Patricia Lillian Wadman	Anthony George Drew Moore and Audrey Moore	Lots 4 and 6
685088	Grant \$219,000	25 May/84	27 June/84	Anthony George Drew Moore and Audrey Moore	William Gordon Green and Catherine Elizabeth Greene	Lots 4 and 6
RO1089544	Transfer \$460,000	27 April/95	1 May/95	William Gordon Green and Catherine Elizabeth Greene	William James Haines and Margo Lynne Haines	PIN 13488-0930 LT Lots 4 and 6
PR306364	Transfer \$720,000		30 Aug. 2002	William James Haines and Margo Lynne Haines	Pamela Delaney and David Brindle	PIN 13488-0930 LT Lots 4 and 6
PR536900	Transfer Nil – separa- tion agmt.		4 Nov. 2003	Pamela Delaney and David Brindle	Pamela Delaney	PIN 13488-0930 LT Lots 4 and 6
PR586809	Transfer \$800,000		5 Feb. 2004	Pamela Delaney	Robert Frederick Grierson and Mary Grierson	PIN 13488-0930 LT Lots 4 and 6
PR861907	Transfer Nil – spouse to spouse		2 June 2005	Robert Frederick Grierson and Mary Grierson	Mary Grierson	PIN 13488-0930 LT Lots 4 and 6
PR2227003	By-law #0139- 2012	4 July 2012	11 July 2012	Order to designate Briggs House as being of cultural heritage value or interest		PIN 13488-0930 LT Lots 4 and 6
PR2659144	Transfer		13 Jan. 2015	Mary Grierson		PIN 13488-0930 LT Lots 4 and 6

2.2 Map of Lorne Park Estates Showing Surrounding Features

This map shows that Lorne Park Estates is in an ideal location for the concept of a desirable summer resort. Being 14 miles from Toronto, it had easy access from Toronto by water, train or carriage. The 90 - acre site was considered to have health giving properties by the abundance of Norway pines. The site has a varied topography being cliff - like at the lake, and then a long gently sloping table land to the north, providing an ideal location for cottages.



Map from "A Village Within A City" By The Lorne Park Estates Historical Committee

2.4 Site History - To Establish the Formation of the Lot - Construction Date of the House

On July 23 1833, Arthur Jones was granted the following Crown Land, all of Lot 23, con. 3., S.D.S. (South of Dundas Street) and other lands in Toronto Township. This parcel of undeveloped land was bought and sold many times, until on July 9, 1886, Neaven McConnell sold the land to John Stockwell, William Richard Henderson, James Venn and Peter McIntyre, who then sold the land to The Toronto and Lorne Park Summer Resort Company on July 16, 1886. In May 1888, the Plan of the Subdivision of Part of Lorne Park Summer Resort was registered.

Lot 6

Block G

Plan - 88

The Toronto and Lorne Park Summer Resort Company sold Lot 6 of this subdivision to John William Stockwell for \$100, Stockwell sold the land to Mary Amelia Shaver for \$175, who then sold the property to John Graydon for \$175 on October 6, 1888. John Graydon sold the property (Lot 6) to The Reverend William Briggs for \$1000, on November 5, 1889, which indicates that there was now a cottage on the property. As John Graydon was a prominent builder in the area, it would be reasonable to assume that he built the cottage, in the year that he owned the property. The cottage appears to have been designed by an architect and as Edmund Burke designed many similar appearing cottages in the Resort, it may be assumed that Burke was the architect.

William Briggs sold the property to Anna Valerie Clancy for \$1,299, on April 21, 1910.

Lot 4

Block G

Plan-88

The Toronto and Lorne Park Summer Resort Company sold Lot 4 to Byron John Hill and Robert Stephenson West for \$100 on September 29 1877, and this empty lot was bought and sold a few times until Anna Valerie Clancy on February 17, 1916 bought the lot for \$300.

Lots 4 and 6

Block G

Plan-88

Lot 4 and 6 now become the property that is now 913 Sangster Avenue. This property has changed hands many times over the years until its present owner purchased it in January 2015.

2.5 Builder of the Original Cottage at 913 Sangster Avenue

John Graydon purchased Lot 6 in October 1866, and as the title search indicates, built the original cottage, that he sold to William Briggs about one year later in September of 1889.

Graydon was a man with great energy, he built houses and commercial buildings, in Streetsville, owned a sawmill, planing mill, brickyard, sash and door factory, as well as served as a Councillor and Reeve for many terms, and a Justice of the Peace. His many community services included, a trustee of the Methodist Church, Sunday School Superintendent for 40 years, and a founding member of the Streetsville Public Cemetery. He was the largest building contractor in Peel County and one of the most influential businessmen.

His own house at 62 Queen Street South, which he built in 1865, is a large square plan, brick Italianate house, which is now designated, and shows that his buildings had fine quality workmanship with attention to detailing.



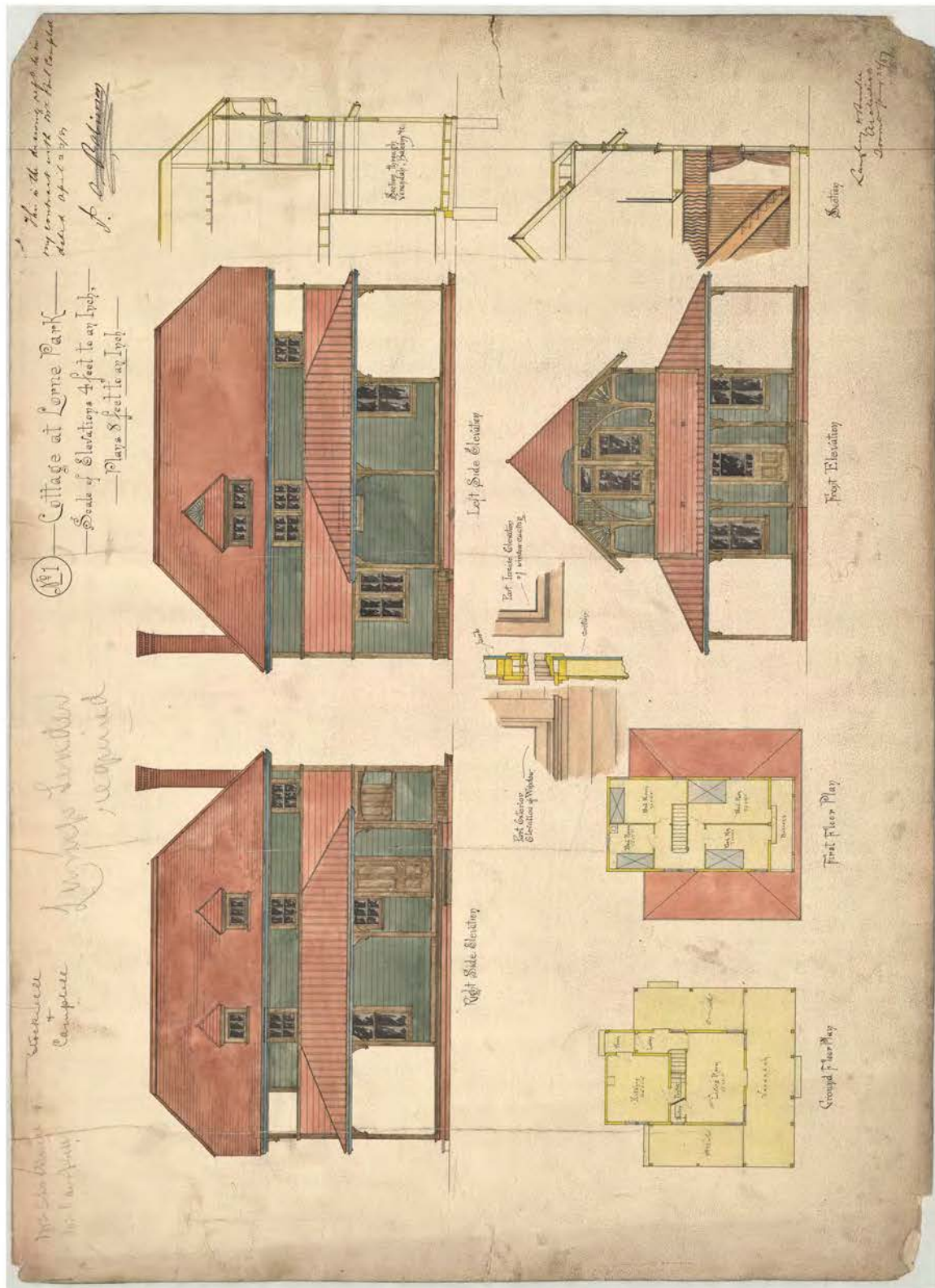
The John Graydon House at 62 Queen Street South (designated) as it is today. Some modifications have taken place - the verge boards have been altered and some changes made on the centre bay. However it shows a well built house with fine craftsmanship and attention to detailing.

Edmund Burke was a director of The Toronto and Lorne Park Summer Resort Company. He was a design partner with the architectural firm of Langley and Burke, from 1874 to 1894, when he designed many Toronto churches: St Luke's United Church and Trinity St. Paul's United Church among them. After 1894 he went into practice on his own when he designed the architectural parts of the Prince Edward Viaduct, the Robert Simpson Department store and many other notable buildings.

At this time, no definitive proof or archival evidence has been found that Burke was the Architect for the original cottage at 913 Sangster Avenue. However the following cottages, designed by Burke show his design principles, form, massing, materials, and detailing. These images show the similarity of the design elements used in these cottages to the original cottage at 913 Sangster, discussed later in this report.



Joan Burt Architect



A Langley & Burke, Architects 1887 Cottage Design With Some Design Elements Similar To Those In The Original 913 Sangster Cottage



A Langley & Burke, Architects 1889 Cottage Design With Some Design Elements Similar To Those In The Original 913 Sangster Cottage

3.0 Architectural Description

3.1 Exterior Views 913 Sangster Avenue

Elevations



South Elevation Facing Sangster Avenue



West Elevation

Elevations continued



North Elevation

Three Quarter Views



South East View

Three Quarter Views continued



South West View



North West View

Three Quarter Views continued



North East View

4.0 Assessment of Existing Conditions

4.1 Exterior

General

This house is composed of three parts, the original 2 storey cottage facing the street, the later 1 1/2 storey addition at the north west corner of the cottage, and an even later 1 storey addition at the north east corner. The location of these parts can be seen in 7.1 Architects Design Drawings - Site Plan. An examination of the house shows that the original cottage was designed and built by very qualified and knowledgeable professionals who used appropriate and quality materials, and the two additions were built by amateur builders with inferior and previously used materials, with little regard for the original design. The assessment will deal with the building as a whole, rather than dealing with the parts separately. Please refer to Section 3.1 Exterior Views if required.

Roof

The original cottage has a distinctive monk's hood gable roof that is presently clad in asphalt shingles. The original roof would most likely have been in Ontario white cedar shingles, as asphalt shingles were not available until the beginning of the 1900's. The roof on the 1 1/2 storey addition is a gable roof, and the one storey addition has a hip roof, both have asphalt shingles, and as they are of a later date it is possible that this was the original shingle material. There is a shed roof with asphalt shingles over the later deck on the west elevation, which may also have been the original roofing material. It would appear that the bay window on the west elevation was built at the time of the first addition, and the roof over the deck was built later as it obscures the side windows of the bay window even though there is a recessed roof under the bay window.



West Elevation - North End Showing The Various Roof Configurations And Bay Window Detail

Chimney

The very tall brick chimney is in its original location and was used for a fireplace, which was the only source of heat. This very distinctive chimney can be found in other houses in the subdivision.

Fascia and Soffits

Under all the recently installed metal cladding, is a plain pine board fascia with a beaded tongue and groove wood soffit. The overhang on the original house and the 1 1/2 storey addition are both approximately 1' - 0", and the overhang on the 1 storey addition is 2 - 0".



North West View Showing Fascia & Soffits & the Various Siding Conditions

Exterior Cladding

The cladding on the original cottage was pine drop ship lap siding 5 11/16" high and 15/16" thick. When the basement was constructed 4" brick veneer was installed over the wood siding up to the ceiling of the first floor; above this brick are wood octagonal fancy butt shingles, which curve out from the shingle plane to cover the top of the brick veneer. There is rather crude flashing at this connection. There is some question as to whether the wood shingles would have originally terminated at the bottom of the second floor windows, as in Buenavista, the original Roper House. There is further evidence for this, as indicated by the continuous sill at the second floor windows, which wraps the corners of the front elevation. (continued)

On the 1 1/2 storey addition the narrow wood siding on the upper floor appears to be the original siding and likely covered the whole addition. The metal siding was added at much later date. The 1 storey addition has the same brick as the brick on the lower section of the original cottage.



South East View Shows The Window Sill Wrapping The Corner And The Shingle & Brick Condition



Original Window Relocated From The Original House To The 1 1/2 Storey Addition

Windows

The predominant window type in the early houses in Lorne Park Estates is 2 over 2 double or single hung windows. In the original cottage, there is a pair of 8 over 2 double hung windows on the west elevation. It is likely that these were the original windows generally used throughout the cottage. When the front porch was enclosed 10 and 8 paned casement windows were introduced, and on the second floor east and west elevations there are single pane small casement windows. It is doubtful that these were the original windows.

In the 1 1/2 storey addition there are two of the original 8 over 2 double hung windows, that possibly came from the original cottage. In the 1 storey addition there is a vinyl clad bay window and a set of sliding doors, all more recent.

Structure

The original cottage is wood frame balloon construction, where all the wood members are dressed to be the finished interior. The vertical 4"x4" members are placed 4' - 0" on centre and have a beaded detail. The ledger board that supports the floor joists has the same beaded detail. The exterior wood siding is secured to these vertical posts. The ceiling & partitions are 3/4" tongue and groove boards. These structural elements form the interior finish, and in this house the wood was painted. There was a beam upon which the posts rested, and this beam was supported on piers. At sometime later a concrete block foundation and the basement was constructed. The two additions are conventional platform construction. When the cottage became a year around house, the interior was finished with lath and plaster (no insulation).

**View Of Interior Of
Exterior Wall
Showing Balloon
Construction With
4' x 4" Posts And
Ledger (Both With
Beaded Detail)
Post Are Closer
Together As
They Are Located
By The Landing**

View Of Inside Of North Wall Of The Original Cottage Showing The Original Structure In Blue Paint And The New Studs Installed In The Wall To Accommodate The Structure Of The 1 ½ Storey Addition Behind

Front Entry

The original main entry to the house was on the south side facing Sangster Avenue off a covered verandah, that was subsequently incorporated into the interior of the house. The doorway was located in the center of the front elevation. The original threshold seen in the photograph indicates that it may have been a pair of doors, which was a common feature at the time and in Lorne Park Estates. The photo also shows that new floor boards were installed to raise the verandah to the level of the cottage floor.

This Photo Was Taken At The Mid Point Of The Width Of The Room When The Wall To Wall Carpet Was Removed From The Living Room Floor

The main entry to the house was relocated from the center of the south elevation to the north end of the east elevation and a Georgian inspired door with side lights was installed. This work may have done at the time that the 1 storey addition was added, as the roof on the addition is continued toward the south, forming the cover over the new front entry. (see photo next page)



Georgian Inspired New Front Entry On East Elevation, Garage Behind

4.2 Interior

First Floor

The original cottage first floor plan has been altered by the incorporation of the front verandah into the living room, as well as by the relocation of the centre entry on Sangster to the north end of the east elevation. A steel beam was installed on a steel column in the middle of the newly created front wall running to a steel column in the new stair hall wall. All the partitions were removed from the first floor of the cottage with the exception of the wall for the new stair hall. The result was a very large living area and a generous entry hall with stairs. Two additions were added to the rear of the house, the first one possibly for a new kitchen.

Second Floor

The second floor plan of the original cottage has also been altered considerably. The original stairs were located near the middle of the cottage allowing for four bedrooms. Edmund Burke has a plan very similar, which can be seen in Section 2.6, the first of Burkes drawings (called first floor plan which is our second floor). Evidence may indicate that there was a balcony across the front of the cottage, accessed from the two front bedrooms. When a bathroom was required, the washroom was located in the north - east bedroom, and the first addition was built with a replacement bedroom. The many owners of the house have made many changes and have added lath and plaster or drywall to the walls. No original trim or doors were found.

Building Permit

A Building Permit was obtained by the present owner to correct the very low head room in the stairs and stair hall with a new configuration, that is to code, and add a powder room in the first addition. During this construction all the numerous structural deficiencies that were uncovered were addressed, the house was insulated to code requiring considerable remedial work, the foundation was waterproofed, and all windows restored.

5.0 Context



Aerial View Of The Lorne Park Summer Resort Area Showing The Contribution Of The Houses, The Lake, And The Wooded Areas To The Concept Of Community Summer Resort

Park Estates is one of the few examples of a privately owned community, remaining today, planned for a common purpose, that was a Summer Resort. The houses are on lots that are privately owned with the common land owned by the community. A very large percent of the development is common land, with much of it densely treed with indigenous trees. From the time of the registration of the subdivision in 1888 there has been very little change to the original subdivision. The most noticeable change is the absence of the hotel that burned down in 1920, the absence of summer resort activities, and the removal of some of the summer cottages, that were an important part of the original generating idea for the development.

The most significant change is in the general concept of the community. Originally it was designed to be a summer resort for people mostly from Toronto, who owned a cottage and participated in the many summer events in the park areas by the lake. Over time it has slowly evolved into a place where owners reside year round, and with the changing life styles, the common grounds are not used as they once were. The remaining original cottages have been converted into year round houses.

There are very few of the original cottages remaining, and those that are have been considerably altered to accommodate the change in use, from summer to year round living. 913 Sangster Avenue, although also altered, still retains enough of its original form to be a significant link to its historical past and along with the other remaining cottages, contributes to the memory of this early planned community with its distinctive architectural style.

6.0 Heritage Attributes of 913 Sangster Avenue, Lorne Park Estates

913 Sangster Avenue is a designated property under Heritage Designation By-Law Number HAC-0023-2012.

The following is the Description of the Heritage Attributes from the Designation Statement in the Cultural Heritage Assessment for Briggs House 913 Sangster Avenue prepared by Heritage Planning Community Services.

Description of Heritage Attributes

Key attributes of the Briggs House that reflect its design/physical value:

- the entire structure in and of itself, with its simple massing and form which are compatible with the other structures on the street
- its fine craftsmanship and artistic merit as a well-built and aesthetically pleasing building
- its expansive veranda and its shape, form and location relative to the house
- its asymmetrical fenestration
- its clustered, original wood windows, with simple brick headers and lintels
- its simple steep half-hipped gable jerkin head, or “monk’s hood”, roof
- its timber frame construction clad in brick
- its wood ‘fish-scale’ shingles and their arrangement, shape and form
- its rectangular, simple, symmetrical plan
- its tall chimney and its shape, form and location relative to the house
- its ground-hugging proportions and horizontal composition
- the variety of materials, textures and shapes
- its rear addition which is in keeping with the scale of the original structure yet remains secondary and complementary to it

Key attributes of the Briggs House that reflect its historical/associative value:

- its location in Lorne Park Estates
- the location and form of the entire property
- the location of the structure within the boundary of the lot, whereby an open space is maintained to the north and west of the building
- the structure’s relationship to the surrounding mature trees and vegetation
- its fine craftsmanship and artistic merit as a well-built and aesthetically pleasing building

Key attributes of the Briggs House that reflect its contextual value:

- its location in Lorne Park Estates
- the shape and form of the lot
- the location of the structure within the boundary of the lot, whereby an open space is maintained to the north and west of the building
- the structure’s connection to the surrounding mature trees and vegetation
- its visibility from Sangster Avenue
- its proximity to the common area park area and Lake Ontario further south of the property

The opportunity to do an intensive investigation of the building, has lead to more information that lends a different interpretation to some of the previous understandings. This new information is covered in this CHIA.

7.0 The Design for the Proposed Addition and Alterations

7.1 Description of the Proposed Addition and Alterations

The following is an outline of the changes and their location:

- North Elevation - build a small one-storey addition to the rear of the first addition to the original cottage, thereby resulting in a minimal intervention with the original cottage and the later additions
 - re-build existing deck from family room, which was removed in order to waterproof the foundation wall
- West Elevation - enlarge existing doorway and install new French doors
 - enlarge existing window opening and install new window
 - add a small uncovered deck at the same level as the existing deck
- East Elevation - re-configure the existing later vinyl bay window
- South Elevation - remove recent decorative shutters, columns and trellis
- Windows - Screens and storm windows are to be fitted into the existing stop on each separate casement window, with a minimal frame profile
- Garage - Shorten the existing garage to accommodate the existing very large tree (see following page for details)

Comments

The addition is at the rear of the property; it is a one story addition that abutts the storey and a half of the first addition to the cottage. The roof of the addition carries the same pitch and line of the roof of the second addition, in order to minimize the impact of this small addition on the heritage resource.

The items that are being removed are intended to improve the heritage resource, some are of an incompatible Georgian inspired design or like the shutters do not fit the situation.

Garage

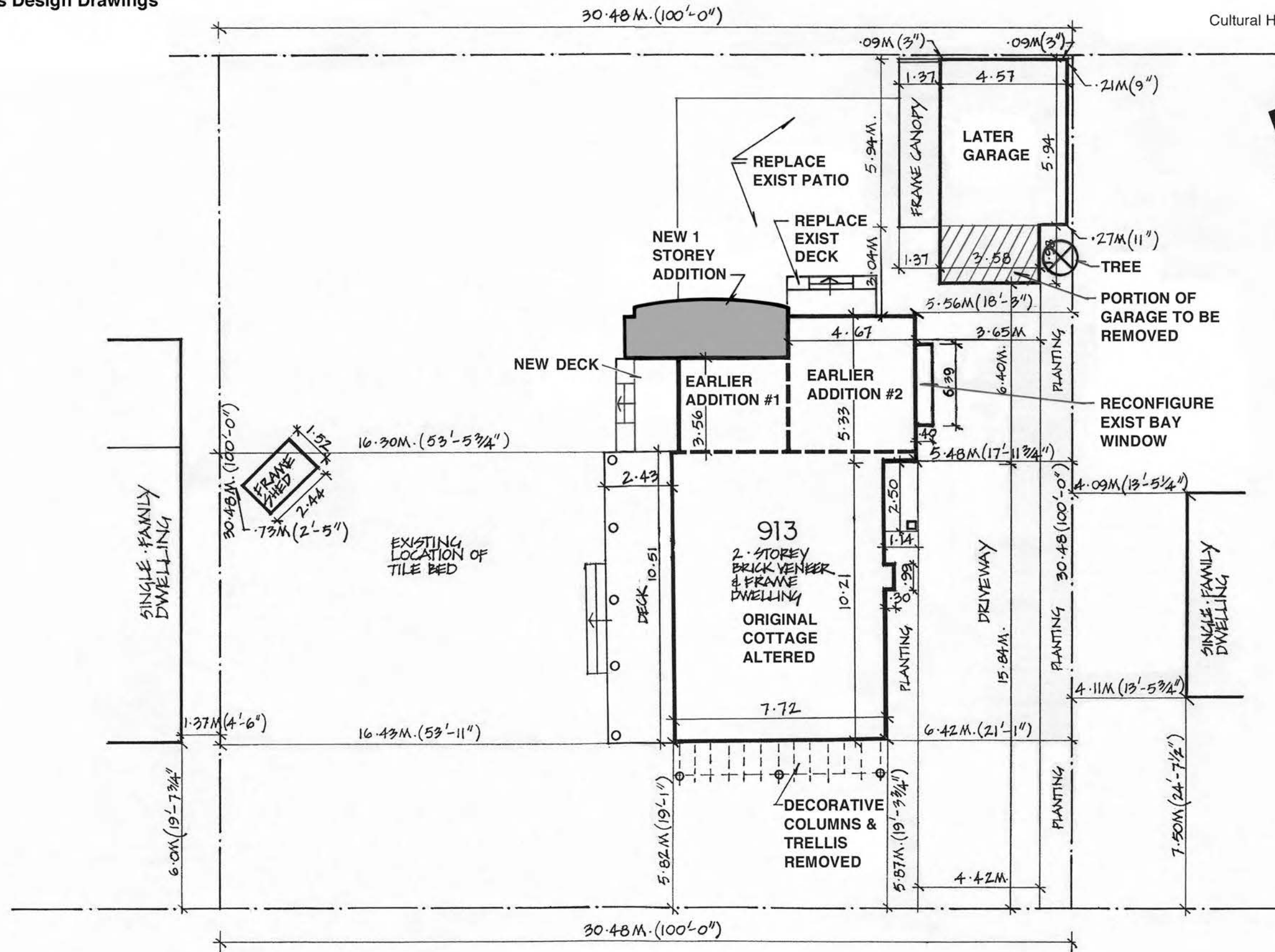
The garage was built close to the very large tree on the north east corner of the garage. The garage has had a corner removed to accommodate the tree. (see Architects Site Plan Drawing). However, the tree has grown larger since the garage was built, now in order to accommodate the tree, it is proposed to shorten the garage by moving the front elevation of the garage to the north, back of the tree. (see photo below)



7.2 Architects Design Drawings

913 Sangster Avenue
Lorne Park Estates
Mississauga, Ontario
Cultural Heritage Impact Assessment

34

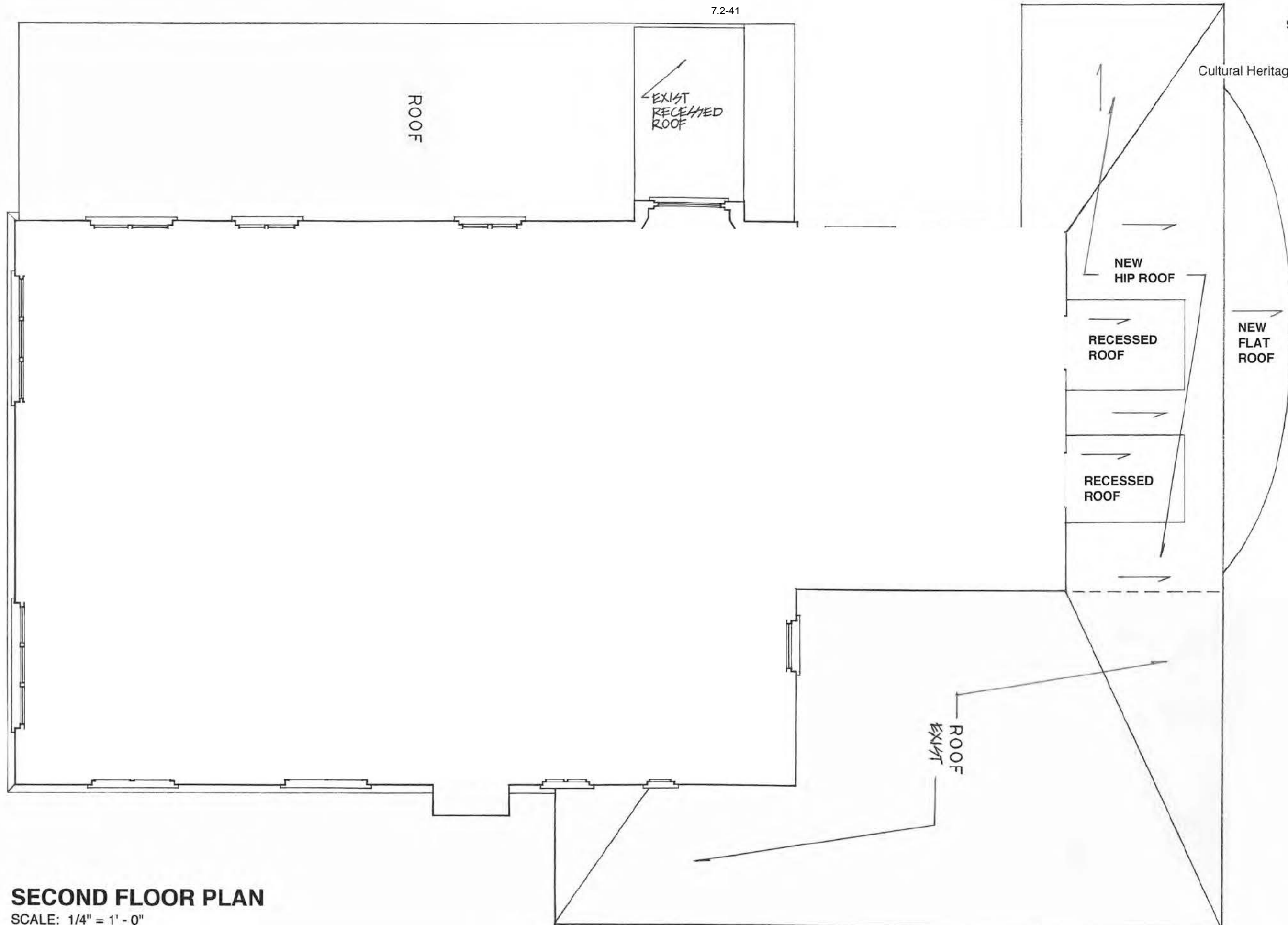


SITE PLAN

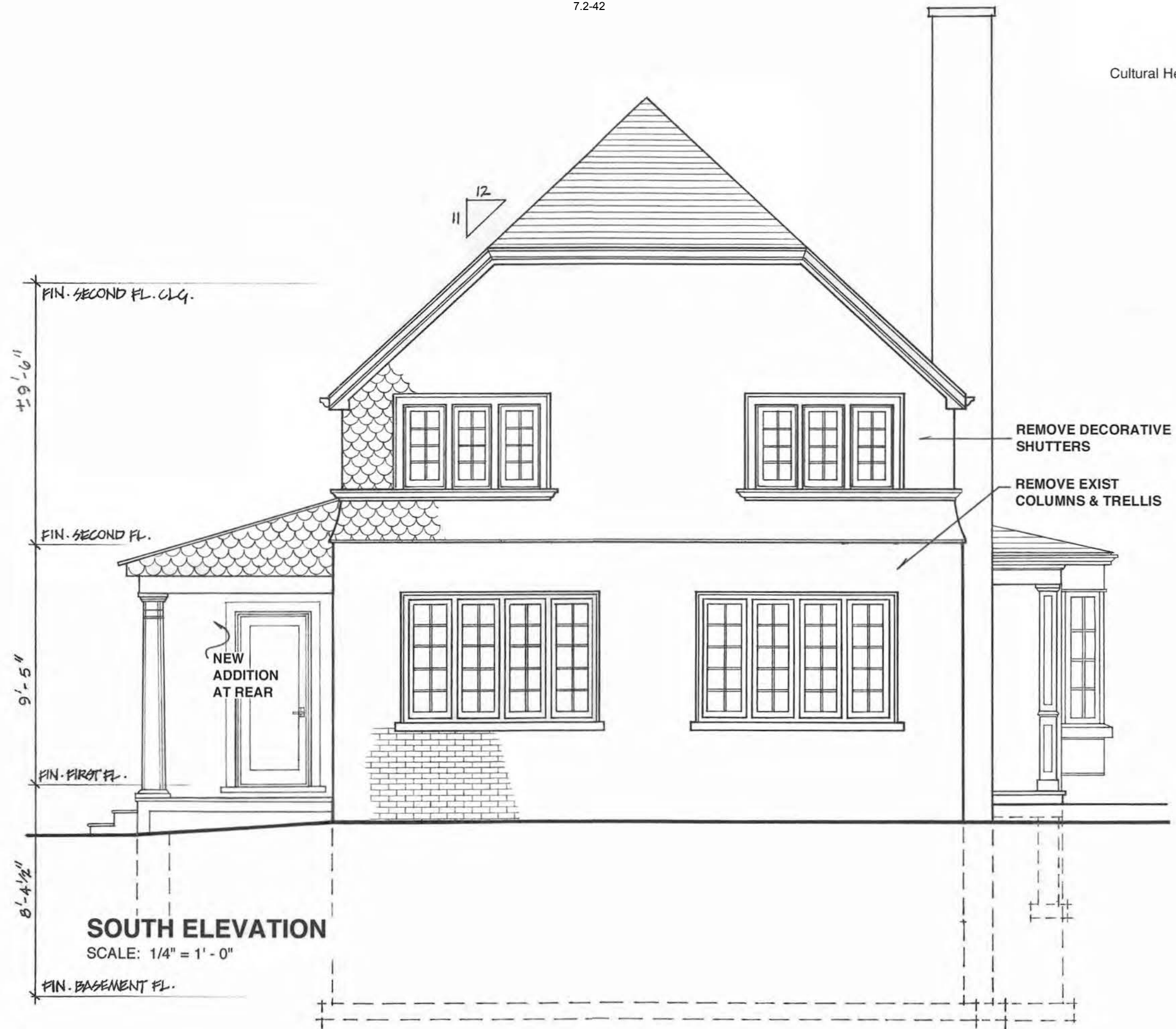
SCALE: 3/32" = 1'-0"

SANGSTER AVENUE

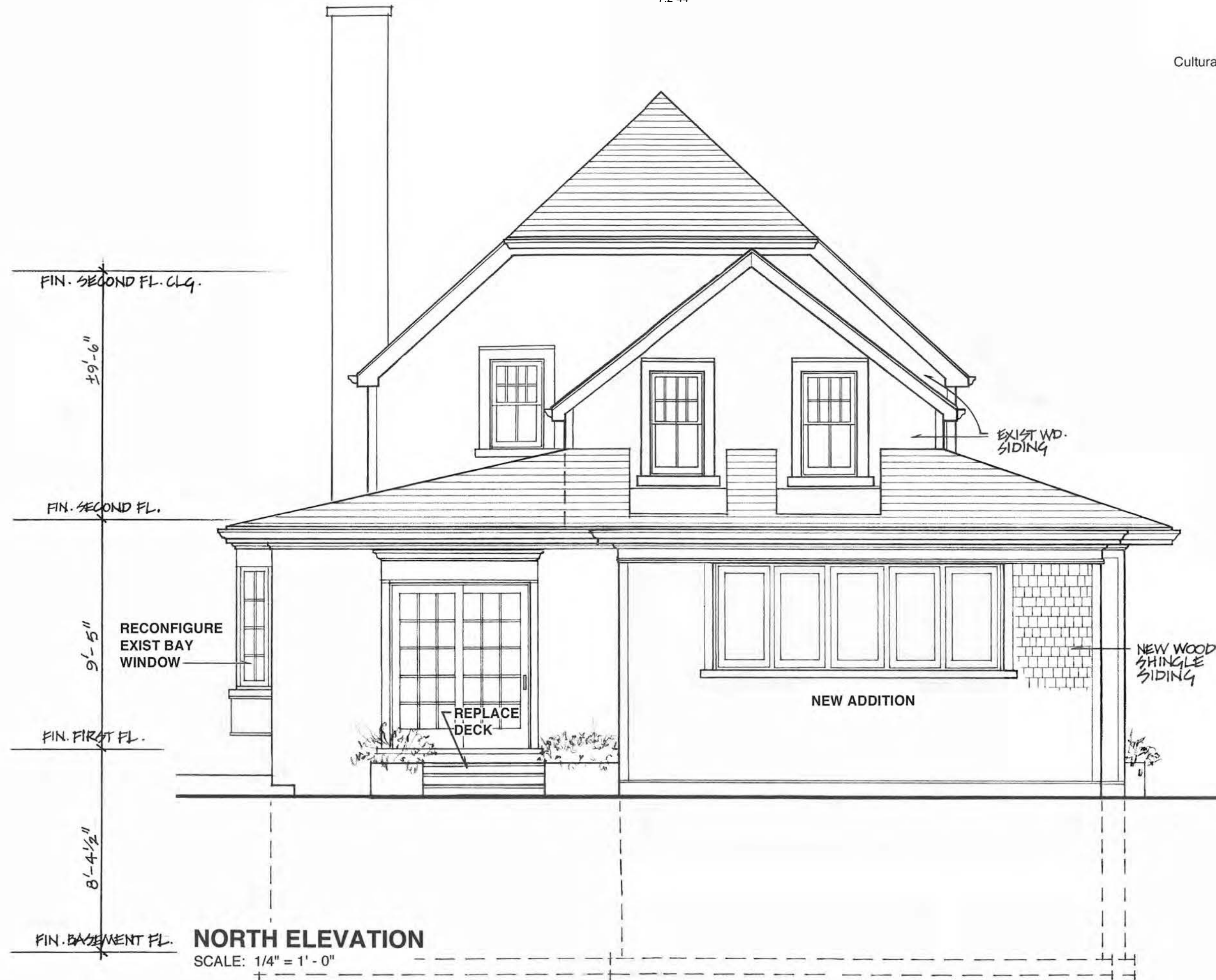
**JOAN BURT
ARCHITECT**
310 DELAWARE AVE
TORONTO ONTARIO
M 6 H • 2 T 8



SECOND FLOOR PLAN
SCALE: 1/4" = 1' - 0"







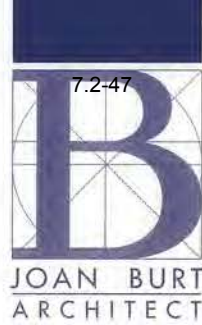


EAST ELEVATION

SCALE: 1/4" = 1' - 0"

Sources

- The Ontario Heritage Act
- Ontario Heritage Tool Kit
Ministry of Culture
- Standards and Guidelines for the
Conservation of Historic Places in Canada
- Land Registry Office
Abstract Research Material
Linda Clark - Title Searcher
- A Village Within A City
The Story of Lorne Park Estates
By Lorne Park Estates Historical Committee
- Briggs House
913 Sangster Avenue
Cultural Heritage Assessment
Prepared by Heritage Planning Community Services
- Richard Zaplitney
Production
- The Ancestral Roof
Domestic Architecture in Upper Canada
by Marion MacRae and Anthony Adamson
- Well - Preserved
The Ontario Heritage Foundation Manual
Of Principles and Practices
for Architectural Conservation
by Mark Fram
- Edifice (general reference only)
Old Home Magazine
Christopher Cooper Ph.D.
Editor-in-Chief
- Your Inspection Report
913 Sangster Avenue
Carson Dunlop & Associates Ltd.
- Architectural Graphic Standards
Edition 1, Edition 4, Edition 10



Joan Burt Architect

Qualifications

Joan Burt is an architect and a member of the Ontario Association of Architects License # 1466, and The Canadian Association of Heritage Professionals

Firm's History

The firm of Joan Burt Architect was established in 1958
The firm specializes in a combination of residential, commercial, and heritage work. This includes restoration, renovations and additions, new construction, architectural interiors, as well as planning & development.

Joan Burt Architect has received the following awards and recognition:

- Beautify Toronto Award for work to buildings on Berkeley Street between King and Adelaide including the Klaus Neinkamper Building which was featured in a *Canadian Interiors* publication (City of Toronto Designated List)
- Niagara-on-the-Lake Historical Society recognition for dismantling, relocating and reconstructing an 1840 Port Hope house to 115 Ricardo Street, Niagara-on-the-Lake.
- Plaques for Heritage Buildings, Toronto Historical Board, City of Toronto Sesquicentennial, including Belmont Street, No.'s 4, 14, 16, 18, 20; Alpha Avenue No.'s 4, 9, 11, 13; Beaconsfield Avenue, No.57
- Credited with having started the revitalization of Cabbagetown at a time when the City of Toronto was planning major demolition in the area.

Project Experience

Joan Burt, principal of the firm, graduated from the University of Toronto School of Architecture, in 1956. At that time the curriculum had a strong basis in a traditional architectural approach. As well as contemporary design there was a strong emphasis on architectural history, and structural design.

From the beginning, the focus of her practice has been the restoration of downtown Toronto districts and buildings. Experience was acquired by locating architecturally significant buildings to restore and renovate, matching a client to the building, performing architectural services that included both exterior facade and the interior spaces and assisting with the marketing of the project.

The firm of Joan Burt Architect has revitalized architecturally significant building areas in Toronto that include: Belmont Street, Cabbagetown, King and Berkeley, King and Jarvis, King and Wilkins, the Beaches and outside of Toronto in Niagara-on-the-Lake, St. Anns and Collingwood, as well as The Dundalk Community Improvement Plan

Joan Burt has 20 years experience as Chair of the Department of Design at the Ontario College of Art. She was the founder of a multi-disciplinary Department of Design that included Environmental Design (Interior Design), Ceramics, Textiles (woven and printed), and Glass. The curriculum that she developed had a strong basis in History of Design and the Decorative Arts.

Because of our interest in interior design and the decorative arts, the firm has also focuses on interior architecture (interior design) for our own architectural client projects, independent client projects, as well as consultant to other architects.

Architectural Specialization

Joan Burt Architect heritage projects provide for contemporary life while retaining the historical architecture of the building. The projects range from small restorations to large Toronto developments. The scope of these projects include all aspects of heritage work including restoration, dismantling heritage buildings and reconstruction, to the restoration of the exterior and interior, as well as making alterations and/or additions to accommodate new living patterns within heritage buildings.

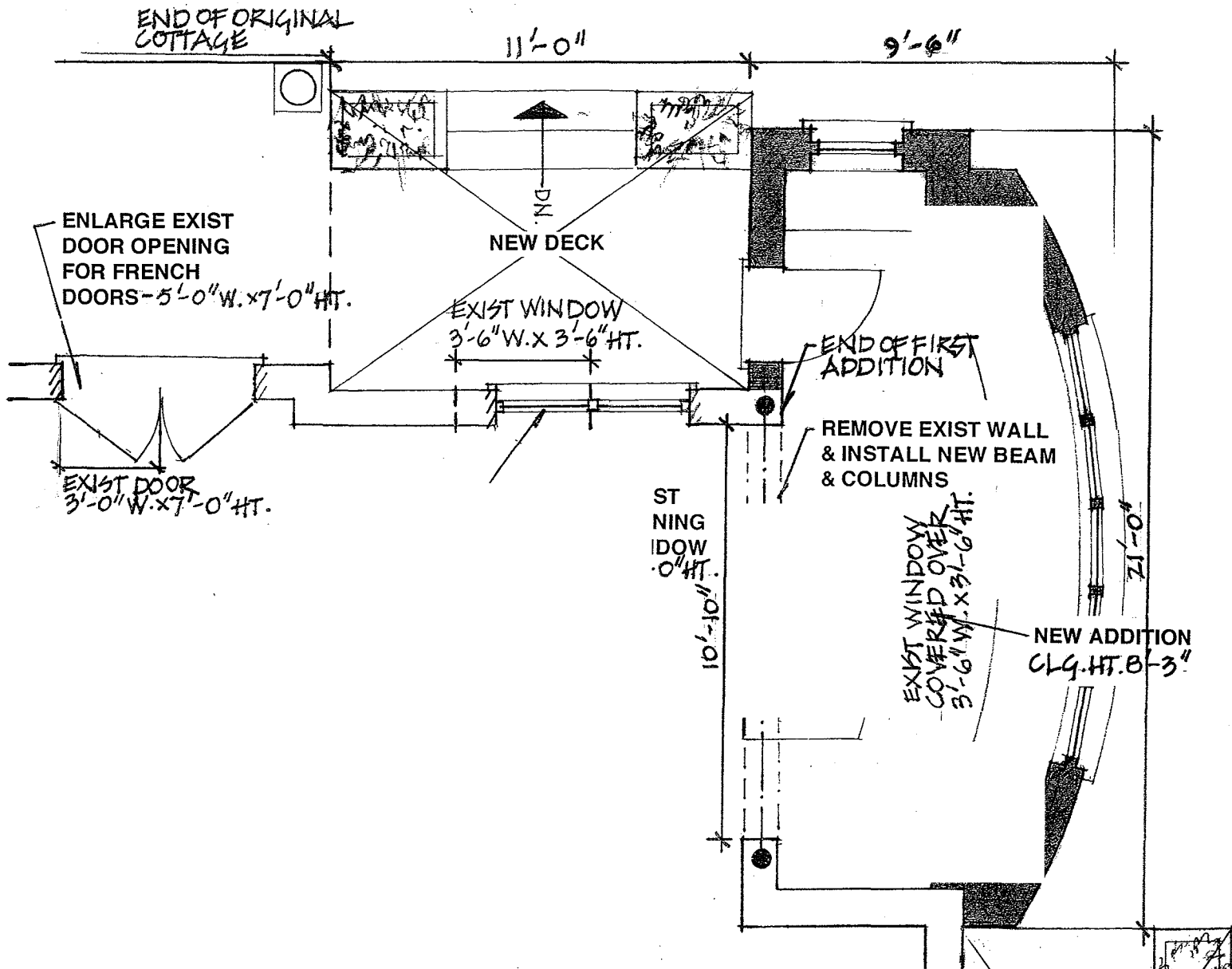
The nature of projects undertaken by our firm requires a major design component and a highly specialized hands-on approach. Consultants are retained as required, such as: architectural historians, structural engineers, landscape architects, and mechanical and electrical engineers, all who have experience with heritage work.

The skills available include: Heritage Impact Statements, historical research and detailing, technical detailing, specification writing, photography, model making, and architectural rendering. The firm has a strong liaison with traditional craftsmen in both architecture and the decorative arts.

Contact Information

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Drawing Showing Requested Additional Measurements



PARTIAL FIRST FLOOR PLAN OF NORTH END OF THE HOUSE

SCALE: 1/4" = 1' - 0"

City of Mississauga Corporate Report



Date: 2017/03/30

To: Chair and Members of Heritage Advisory Committee

From: Paul Mitcham, P. Eng, MBA, Commissioner of
Community Services

Originator's files:

Meeting date:
2017/04/11

Subject

Request to Alter a Heritage Designated Property: 4300 Riverwood Park Lane (Ward 6)

Recommendation

1. That, the conservation of the windows at the Parker Estate, as shown in the attachments to the Corporate Report dated March 30, 2017 from the Commissioner of Community Services, including selective caulking, painting and weather stripping, is approved for the property at 4300 Riverwood Park Lane, which is designated under Part IV of the Ontario Heritage Act.
2. That if any changes, as a result of other City review and approval requirements, technical matters, or site conditions are encountered, and a full restoration of the windows is required, a new heritage permit application is required. The applicant is required to contact heritage planning at that time to review the changes prior to obtaining other approvals and commencing construction.

Background

Section 33 of the Ontario Heritage Act requires permission from Council in order to make alterations to a Part IV property. The property, known as the Parker Estate, is designated under Part IV of the Ontario Heritage Act, as well as recognized as a Cultural Landscape. The natural landscape is one of the heritage attributes of the property. The property's significance lies in it containing a large Arts and Crafts style estate residence, surrounded by landscaping originally designed by William E. Harries and Alfred V. Hall with A.M. Kruse and surrounded by natural landscape features within a large property.

Staff from the City's Facilities and Property Management Division has submitted a heritage permit application, description and drawings of the proposed conservation work to the windows at the main house at 4300 Riverwood Park Lane. The consultant has indicated that the project is being undertaken in order "to rehabilitate" and "improve the longevity and performance" of the windows. Specifically, the work "will minimize air leakage and reduce energy consumption, while preserving the heritage character" of the Parker house. See Appendix 1.

The City's Building and Facilities Property Management staff will be coordinating the execution of the work.

Comments

Staff at the City's Building and Facilities Property Management Division has requested permission to complete conservation work to the original wood windows on the Parker House. The applicant has submitted an application, drawings depicting the proposal and a Heritage Impact Assessment. Refer to the appendix. The windows are character defining elements of the designated house. In order to ensure their maintenance and improve their performance, conservation work is required. Heritage Planning finds that the proposed rehabilitation work to the windows is sympathetic to the property's cultural heritage attributes and significance.

Financial Impact

The cost is covered under Facility and Property Management's approved capital budget/Canada 150 funding.

Conclusion

The applicant has submitted a proposal, drawings and a Heritage Impact Assessment supporting the request to complete conservation work to the windows at the Parker House. Staff finds that the proposal depicted in the appendix of this report is sympathetic to the heritage attributes of the Parker Estate and should be approved.

Attachments

Appendix 1: Submitted Conservation Outline and Drawings



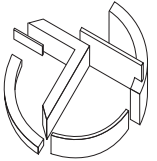
Paul Mitcham, P. Eng, MBA, Commissioner of Community Services

Prepared by: Cecilia Nin Hernandez, Heritage Coordinator

March 3, 2017

Outline of Chappell House Window Revitalization for Preservation and Energy Efficiency

The City of Mississauga is presently planning to rehabilitate the existing windows of the Chappell House to improve their longevity and performance. This will in turn reduce heat loss in the building and ensure the windows are preserved for another decade. See the attached drawings for the work to be done.



The Designated Property

The property was originally constructed in 1919 by the architect, A.S. Mathers. It was designated as being historically, architecturally, and contextually significant in 2004 under Mississauga By-Law Number 0505. The designated property, Chappell Estate, is located at 4300 Riverwood Park Lane in the Riverwood Conservancy. This area was once described by Hazel McCallion as "the jewel in Mississauga's crown", and is one of its four distinct areas; including the Bird Terrace, the MacEwan Estate, and the Zaichuk property. The Chappell Estate sits at the furthest end of the Riverwood Park Lane to the East of the Credit River, between highway 403 and Burnhamthorpe Road West.

The Chappell Estate, originally named Riverwood, was built in an "Arts and Craftsman's" style and was constructed out of stone from the Credit River. Its dominant features include a pitched cross-hip roof, an external chimney in the front façade and multi-pane casement windows, most of which remain to be original. In 1954, when Riverwood was sold to Grace and Hyliard Chappell, they added windows to the dining room and updated the electricity. Since the 1950's, minor alterations have been done to the windows and doors to preserve the condition and energy consumption of the Chappell Estate, including door replacements, sealing shut the exterior windows and interior storm window installation on selected units.

The Chappell Estate holds an abundance of historical and architectural significance, while also being an up and coming hub for environmental education and exploration. The Chappell House facility runs a series of programs for people of all ages, including tours, classes, workshops, and initiatives to involve schools, communities, and seniors. The building houses its full-time office staff in the North and South wings, while the main room is used for various special events and as a meet up spot for guided nature hikes, photography, and gardening.

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ASSOCIATE

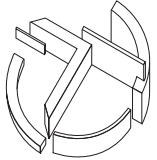
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B.Arch., MRAIC, AIA, OAA
ASSOCIATE

The Proposed Development – Exterior Windows

The proposal by the City of Mississauga is to rehabilitate the existing condition of exterior windows in order to to minimize air leakage and reduce energy consumption, while preserving the heritage character of the Chappell House.

The windows have lost their weather-tightness and operability with age. Consequently, points of high air infiltration are located where the sealant is missing around the window sash. 70% of the windows were caulked shut during the Summer of 2012. For windows with fresh sealant, it is proposed to add caulk in areas where the sealant is damaged or missing. In 13% of the windows, where the caulk is deteriorated or never applied, it is proposed to return the stuck window sashes to their original operation. This would include making them weather tight and energy efficient by weather-stripping around the sash and readjusting hardware. The deteriorated sealant is to be removed from windows prior to weather-stripping.



All pertinent windows will be cleaned, and repainted only where the paint is flaking, blistering or alligating, and protected with a clear coating to preserve the quality of wood. Adding caulk where it is missing or weather-stripping the windows will prevent warm air from escaping in the winter and cool air in the summer, thus saving energy, as well as heating and cooling costs. Furthermore, it will create greater comfort for Chappell Estate's full-time employees and visitors. Please see the attached report summarizing the existing condition of the windows and the proposed work.

Summary of Conservation Principles

The intervention proposed will follow the "Standards and Guidelines for the Conservation of Historic Places in Canada." The window work will follow the guidelines for rehabilitation, preservation, restoration, accessibility, sustainability, health, safety and security of the Riverwood site. The proposed restoration work carefully considers previous maintenance practices, as well as the window's existing condition and their original characteristics, properties, and operation. Lead safe practices will be implemented in the lead-based paint removal to meet health and safety considerations. It will contribute to sustainability and to preservation of its original intent for natural ventilation in the building by readjusting the hardware and fixing stuck sashes. In addition, the proposed repair work will provide further longevity to the original windows with no impact to its heritage character within Riverwood Conservancy.

The significant heritage attributes of the property and buildings have been outlined in Mississauga By-Law 0505-2004. The addition of the sealant and the weather-stripping will not impact the buildings character-defining elements. The work will furthermore provide a solution to comply with energy efficiency objectives without impacting the overall heritage value of the building.



16-1115 CHAPPELL HOUSE WINDOW RENOVATION

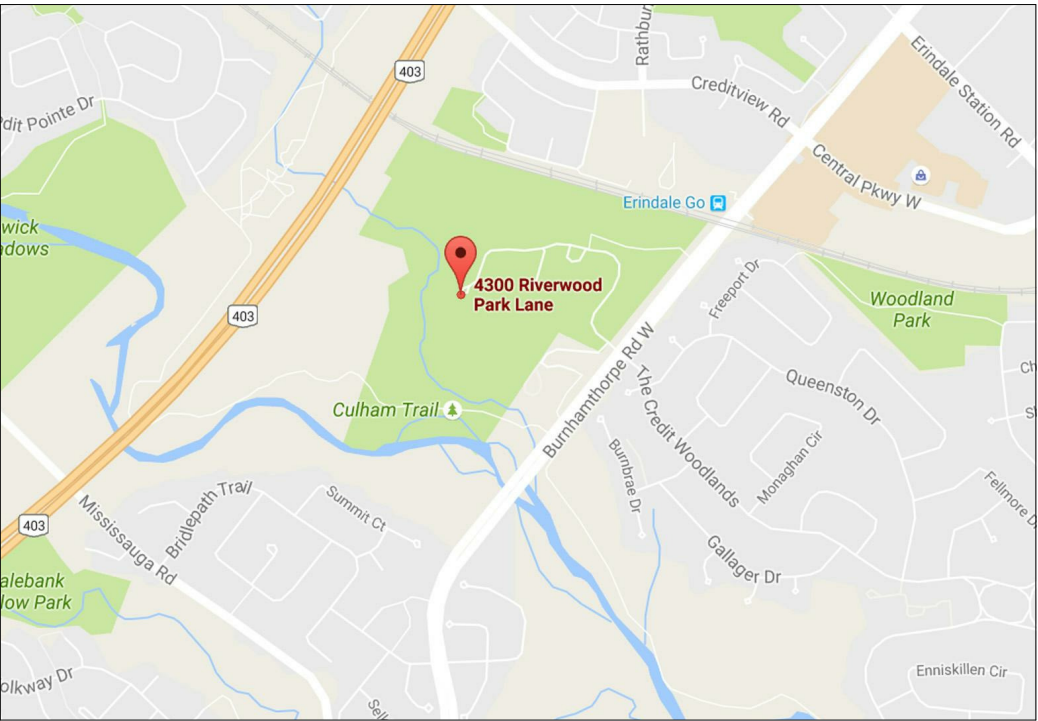
4300 RIVERWOOD PARK LANE, MISSISSAUGA

PROJECT NO. 16-1115

ARCHITECTURAL

ATA ARCHITECTS INC.

211 LAKSHORE ROAD EAST 360 DUFFERIN STREET, SUITE 103
OAKVILLE ONTARIO L6J 1H7 TORONTO ONTARIO M6K 1Z8
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F 905-849-4369



KEY PLAN

1
A101

1
AD-000

11

11

0

2

11

Room name
101

11

W00

1 Ref
A101
1 Ref
1 Ref

SECTION HEAD

CALLOUT HEAD

DOOR TAG

ENTRY ARROW

FLOOR TAG

GRID BUBBLE

LEVEL TAG

MATERIAL TAG

ROOF TAG

ROOM NAME TAG

WALL TAG

WINDOW TAG

ELEVATION MARKER

CJ

AL

HM

AN

PT

FIN

F.R.

GWG

TEMP

WM

RWL

CONTROL JOINT

ALUMINUM

HOLLOW METAL

ANODIZE

PAINT

FINISH

FIRE RATING

GEORGIAN WIRED GLASS

TEMPERED

POSSIBLE WATER METER LOCATION

RAIN WATER LEADER

1 : 50

ANNOTATION LEGEND

GENERAL NOTES

1. ALL CONSTRUCTION TO MEET THE 2012 ONTARIO BUILDING CODE AND ALL APPLICABLE CODES.

2. INSPECT SITE CONDITIONS PRIOR TO QUOTING ON NEW WORK AND REPORT ANY DISCREPANCIES.

3. ENSURE THAT ALL CONSTRUCTION, MATERIALS, METHODS OF INSTALLATION AND TEMPORARY BRACING, COMPLY WITH REQUIREMENTS OF ALL AUTHORITIES HAVING JURISDICTION.

4. SITE VERIFY ALL DIMENSIONS AND MAKE MODIFICATIONS TO SUIT EXISTING SITE CONDITIONS.

5. MAKE GOOD ALL AREAS DISTURBED OR DAMAGED DURING CONSTRUCTION WHETHER SHOWN ON DRAWINGS OR NOT.

6. THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ANY AND ALL STRUCTURAL, MECHANICAL, ELECTRICAL, SITE SERVING AND LANDSCAPE DRAWINGS. REFER TO THESE DRAWINGS FOR EXACT LOCATION OF FINISHED FITTINGS. COORDINATE STRUCTURAL, MECHANICAL, ELECTRICAL & LANDSCAPE WORK TO ENSURE THAT THE PARTS OF THE WORK COME TOGETHER PROPERLY.

7. REPORT ALL CONTEMPLATED DEVIATIONS FROM THE DRAWINGS PRIOR TO MAKING CHANGES.

8. PROVIDE CUTTING, PATCHING AND REMEDIAL WORK IN ORDER TO ENSURE PARTS OF THE

REVISION		
NUMBE	DAT	REMARK
003	2017 03 03	ISSUED FOR HERITAGE REVIEW
002	2017 01 19	ISSUED FOR REVIEW
001	2016 10 21	ISSUED FOR REVIEW

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E admin@ataarchitectsinc.com

SEALS

PROJECT

16-1115 CHAPPELL HOUSE

4300 RIVERWOOD PARK LANE, MISSISSAUGA

DRAWING

COVERSHEET & DRAWING LIST

DRAWN

A.P.

SCALE

1 : 50

DAT

2017 03 03

CHECKED

M.J.D.

PROJECT

16-1115

DRAWING

A0.1

CONDITION A

WHERE CAULKING IS RECENT (SUMMER 2012), WHITE IN COLOUR WITH GAPS AROUND THE WINDOW, CAULK-IN GAPS TO KEEP EXTERIOR WINDOW SEALED SHUT

GENERAL NOTES FOR CONDITION A EXTERIOR WINDOW:

- REMOVE HARDWARE PRIOR TO CAULKING AND/OR PAINTING AND REINSTALL SELECTED HARDWARE TO MATCH ONCE THE NEW PAINT/CAULK IS COMPLETELY DRY
- WHERE CAULKING AROUND THE FRAME IS MISSING OR DAMAGED, REMOVE ANY REMAINING EXISTING CAULKING AND FILL WITH NEW CAULK
- WHERE PAINT IS YELLOW, FLAKING, BLISTERING, ALLIGATORING, OR BUILT-UP, STRIP LOOSE PAINT WITH GENTLE SANDING, DO NOT USE MECHANICAL OR CHEMICAL MEANS AND REPAINT WHITE TO MATCH EXISTING
- CLEAN WINDOW AND FRAME AFTER PAINT/CAULK HAS DRIED
- ALL EXTERIOR WINDOW WORK TO BE DONE PRIOR TO INTERIOR STORM WINDOW WORK
- DRAWINGS AND NOTES PROVIDE GUIDANCE AS TO THE INTENT AND GENERAL SCOPE, BUT DO NOT LIMIT THE RESPONSIBILITY OF THE CONTRACTOR TO FULLY RESTORE THE WINDOWS AND MAKE THEM WEATHERTIGHT

CONDITION B

WHERE CAULKING IS OLDER THAN SUMMER 2012 AND GREY IN COLOUR/ CAULKING IS RECENT (SUMMER 2012) BUT WINDOW NOT PROPERLY SHUT/ WINDOW IS NOT SEALED SHUT, OLD CAULKING TO BE REMOVED AND WEATHERSTRIP INSTALLED TO KEEP EXTERIOR WINDOW OPERABLE

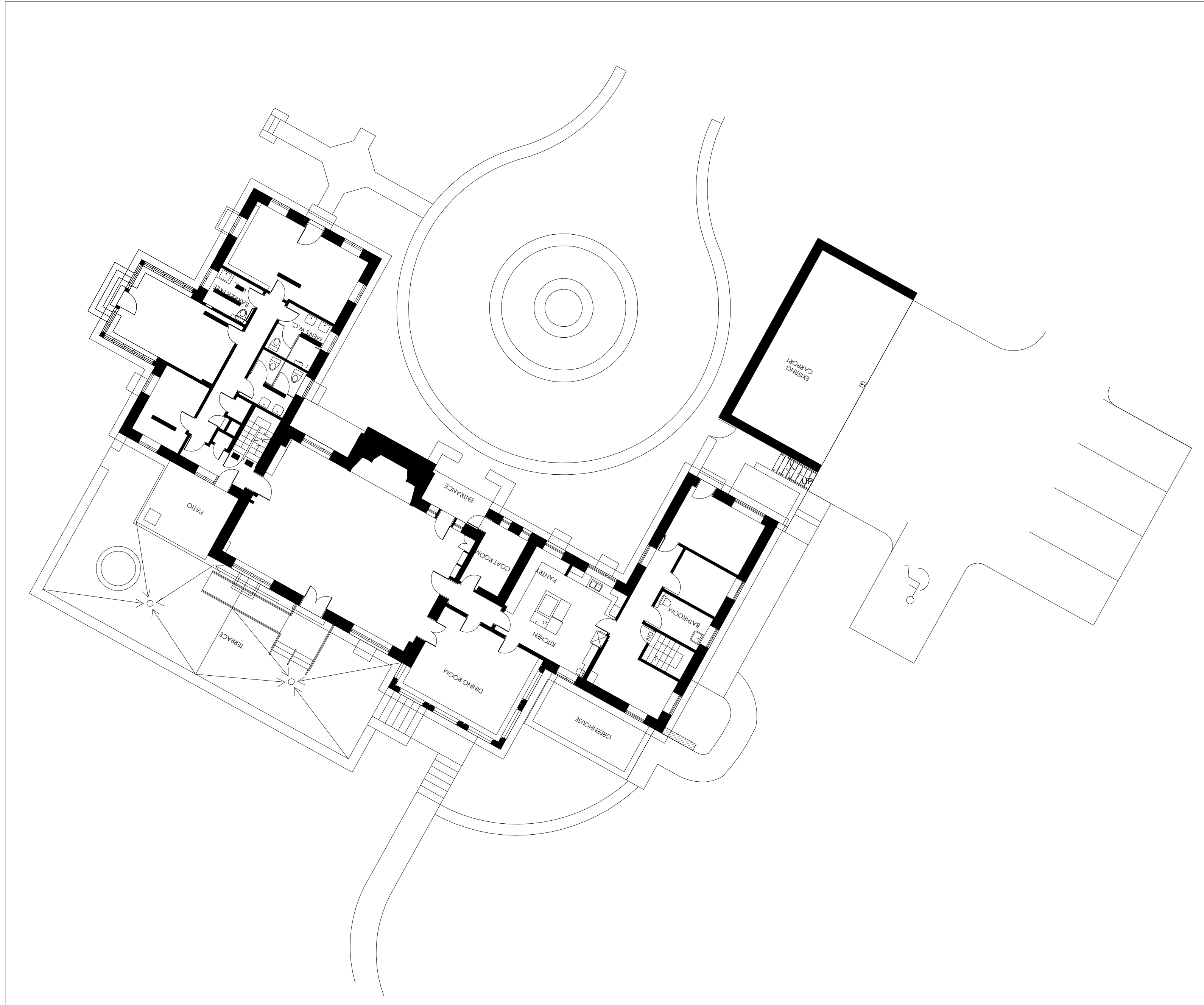
GENERAL NOTES ON CONDITION B EXTERIOR WINDOW:

- REMOVE HARDWARE PRIOR TO ANY WORK AND REINSTALL SELECTED HARDWARE TO MATCH ONCE THE WORK IS COMPLETE AND NEW PAINT IS COMPLETELY DRY
- REMOVE ALL EXISTING CAULKING PRIOR TO WEATHERSTIPPING
- REMOVE WINDOW BEFORE INSTALLING WEATHERSTRIP
- INSTALL WEATHERSTRIP AROUND FOUR SIDES OF WINDOW SASH
- WHERE PAINT IS YELLOW, FLAKING, BLISTERING, ALLIGATORING, OR BUILT-UP, STRIP LOOSE PAINT WITH GENTLE SANDING, DO NOT USE MECHANICAL OR CHEMICAL MEANS AND REPAINT WHITE TO MATCH EXISTING
- CLEAN WINDOW AND FRAME AFTER PAINT/CAULK HAS DRIED
- ALL EXTERIOR WINDOW WORK TO BE DONE PRIOR TO INTERIOR STORM WINDOW WORK
- DRAWINGS AND NOTES PROVIDE GUIDANCE AS TO THE INTENT AND GENERAL SCOPE, BUT DO NOT LIMIT THE RESPONSIBILITY OF THE CONTRACTOR TO FULLY RESTORE THE WINDOWS AND MAKE THEM WEATHERTIGHT

EXTERIOR WINDOW WORK
1 : 20

Window Schedule				
WINDOW #	TYPE	OPERABLE	EXISTING STORM WINDOW	ATA PROPOSAL
E101	Awning	Y	None	Leave as existing
E201	Casement - (3 sash)	Y	None	Condition A
E201a	Casement - (2 sash)	Y	None	Condition A
E202	Casement - (3 sash)	Y	None	Condition A
E203	Casement - (2 sash)	Y	None	Condition A
E204	Casement	Y	None	Condition A
E205	Casement	Y	None	Condition A
E206	Casement	Y	None	Condition A
E207	Casement	Y	None	Condition A
E208	Casement - (3 sash)	Y	None	Condition A
E208-A	Casement - (2 sash)	Y	None	Condition B (E208-A.1) / Condition A (E208-A.2)
E208-B	Casement - (2 sash)	Y	Seasonal (E208-B.2) / None (E208-B.1)	Condition A
E209	Casement - (2 sash)	Y	Operable (E209.1) / Seasonal (E209.2)	Condition A
E210	Casement - (2 sash)	Y	Operable (E210.1) / Seasonal (E210.2)	Leave as existing (E210.1) / Condition B (E210.2)
E211	Casement/ Fixed (E211.3) - (5 sash)	Y / N (E211.3)	Operable (E211.1, E211.2, E211.5) / None (E211.4, E211.3)	Condition A (E211.1, E211.2, E211.4) / Condition B (E211.5) / Leave as existing (E211.3)
E301	Casement - (3 sash)	Y	None	Condition A
E302	Casement - (3 sash)	Y	None	Condition A
N102	Awning	Y	None	Leave as existing
N103	Awning	Y	None	Leave as existing
N212	Casement - (2 sash)	Y	None	Condition A
N213	Casement - (2 sash)	Y	None	Condition A
N214	Casement/ Fixed (N214.3) - (2 sash)	Y	Operable (N214.1, N214.2)	Condition A
N215	Casement/ Fixed (N215.1) - (2 sash)	Y	Operable (N215.1, N215.2)	Condition A (N215.1) / Condition B (N215.2)
N216	Casement - (2 sash)	Y	Seasonal (N216.1) / None (N216.2)	Condition A
N303	Casement - (2 sash)	Y	None	Condition A
W217	Casement/ Fixed (W217.3) - (5 sash)	Y / N (W217.3)	Operable (W217.1, W217.4, W217.5) / None (W217.3, W217.2)	Condition A (W217.1, W217.2, W217.3, W217.4) / Condition B (W217.5)
W218	Casement - (2 sash)	Y	None	Condition A
W218-A	Casement - (2 sash)	Y	None	Condition A
W219	Casement - (4 sash)	Y	None	Condition A
W220	Casement - (4 sash)	Y	None	Condition A (W220.1, W220.2, W220.3) / Condition B (W220.4)
W221	Casement - (2 sash)	Y	Seasonal (W221.2) None (W221.1)	Condition A
W222	Casement - (2 sash)	Y	None	Condition B
W304	Casement - (10 sash)	Y	None	Condition B (W304.1-W304.5) / Condition A (W304.6-W304.91)
S104	Casement - (2 sash)	Y	Seasonal	Leave as existing
S105	Casement	Y	None	Leave as existing
S106	Casement - (2 sash)	Y	None	Leave as existing
S223	Casement - (2 sash)	Y	None	Condition A
S224	Casement - (2 sash)	Y	None	Condition A (S224.1) / Condition B (S224.2)
S225	Casement - (2 sash)	Y	None	Condition A
S226	Casement - (2 sash)	Y	Operable (S226.1) / Seasonal (S226.2)	Condition A

TOTAL CONDITION A: 71
TOTAL CONDITION B: 14
TOTAL WINDOW SASHES: 95



1 SITE PLAN
A0.3 1 : 155

REVISION		
NUMBE	DAT	REMARK
003	2017 03 03	ISSUED FOR HERITAGE REVIEW
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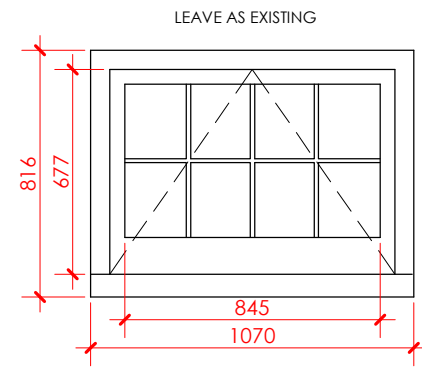
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SEALS

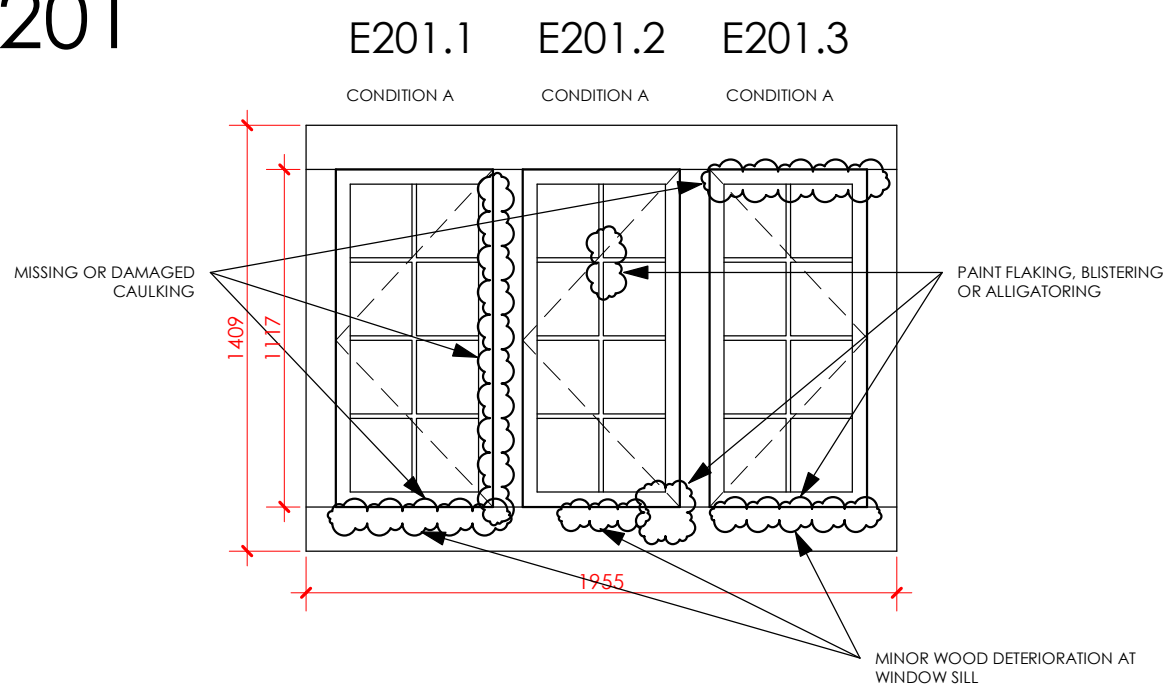
PROJECT	
16-1115 CHAPPELL HOUSE	
4300 RIVERWOOD PARK LANE, MISSISSAUGA	
DRAWING	
WINDOW SCHEDULE	
DRAWN	
A.P.	
SCALE	
As indicated	
DAT	
2017 03 03	
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M.J.D.	
PROJECT	
16-1115	
DRAWING	

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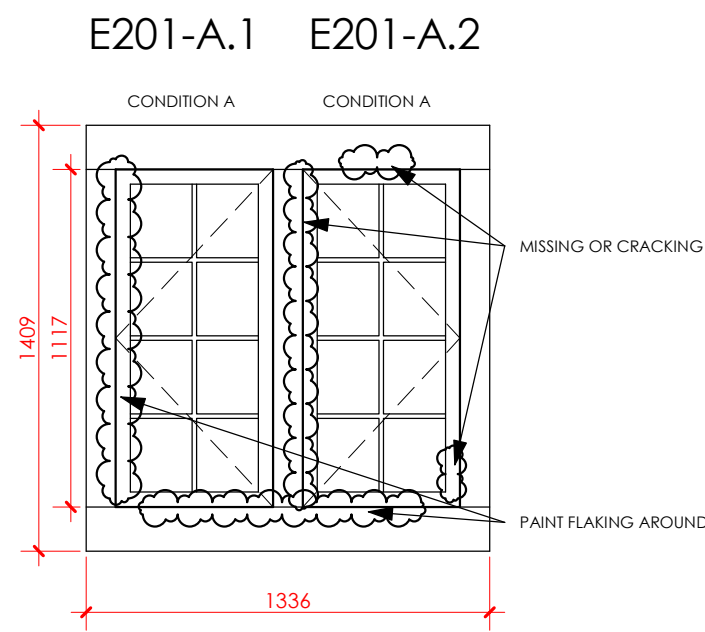
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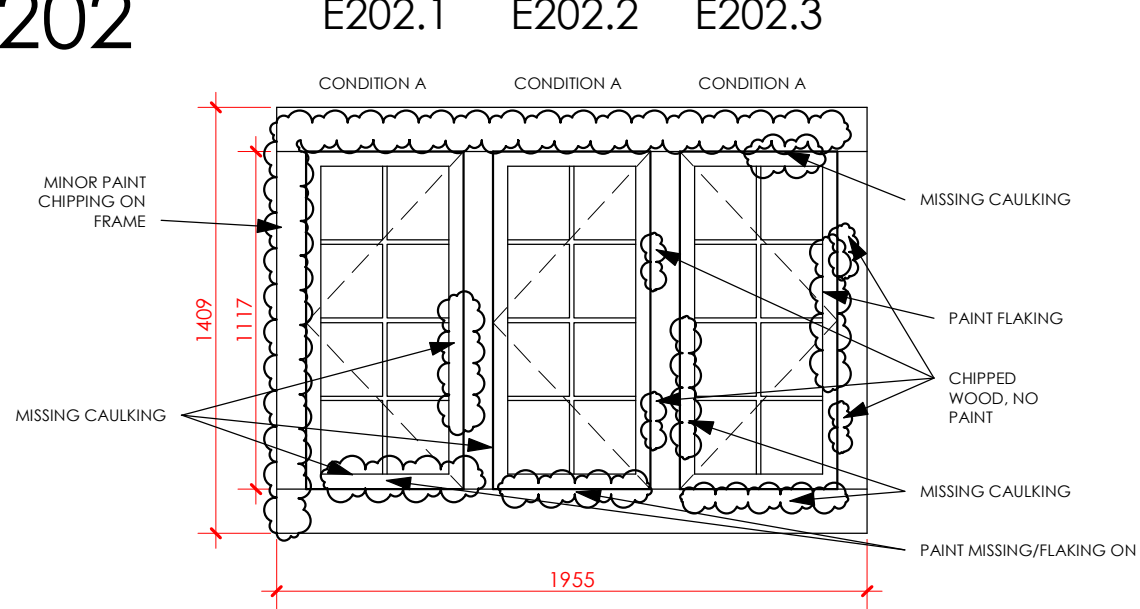
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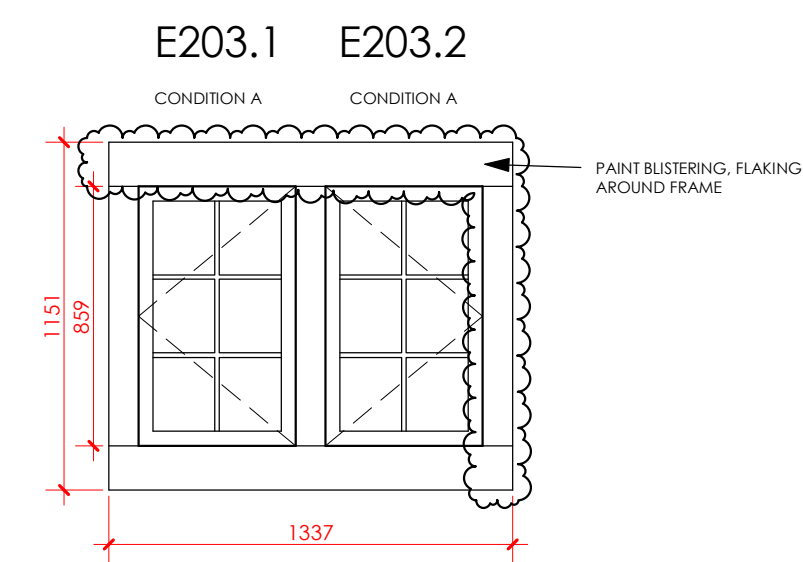
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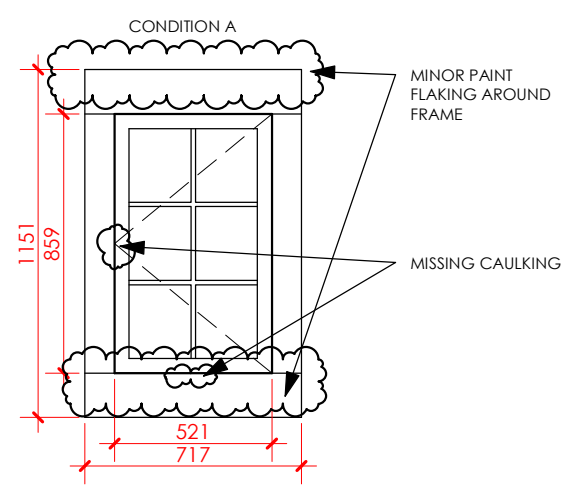
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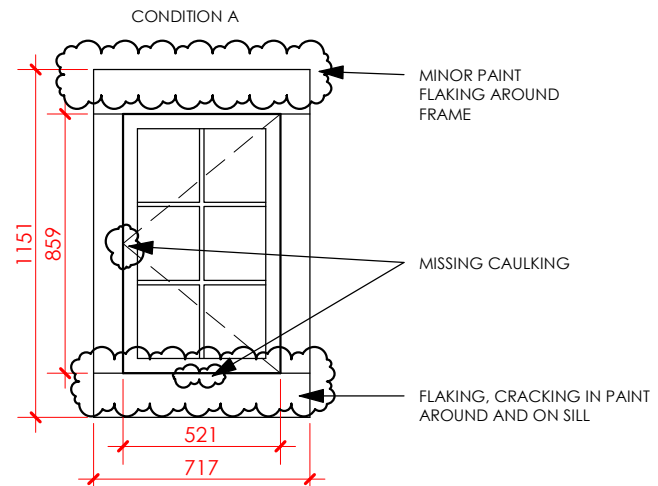
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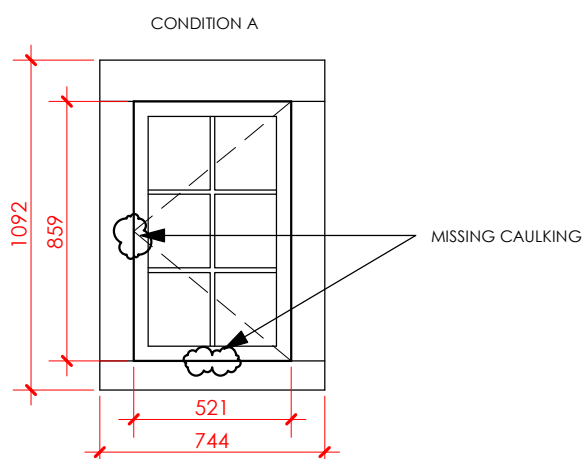
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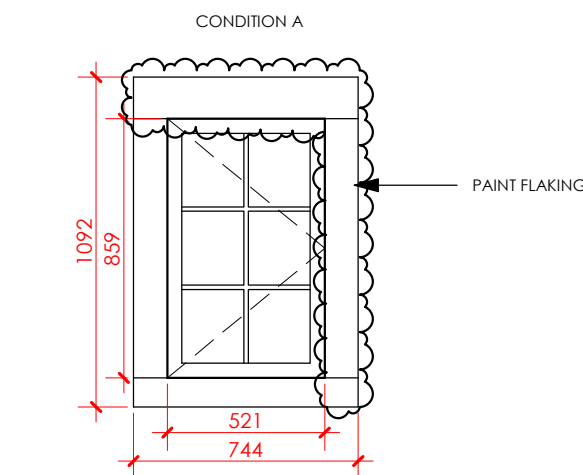
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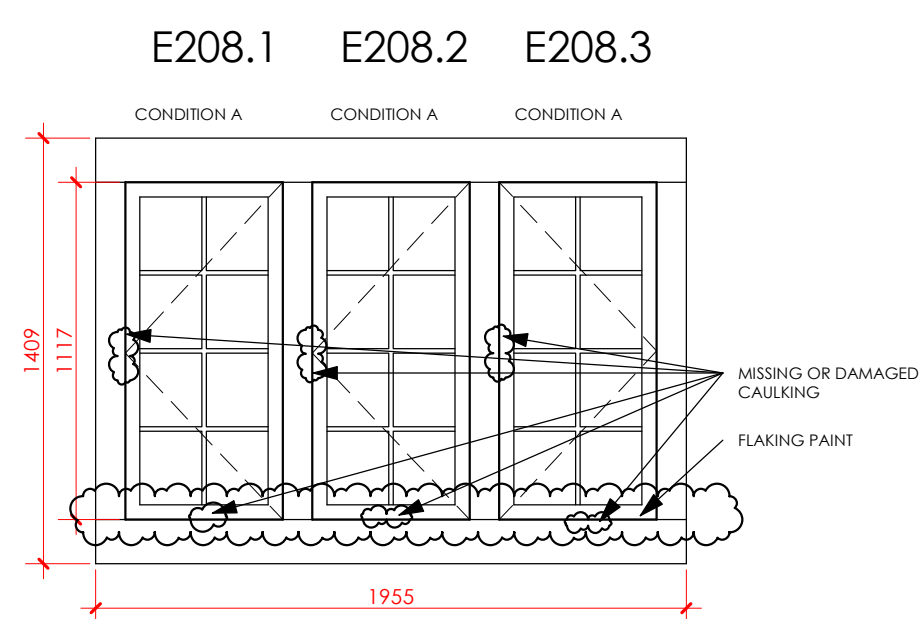
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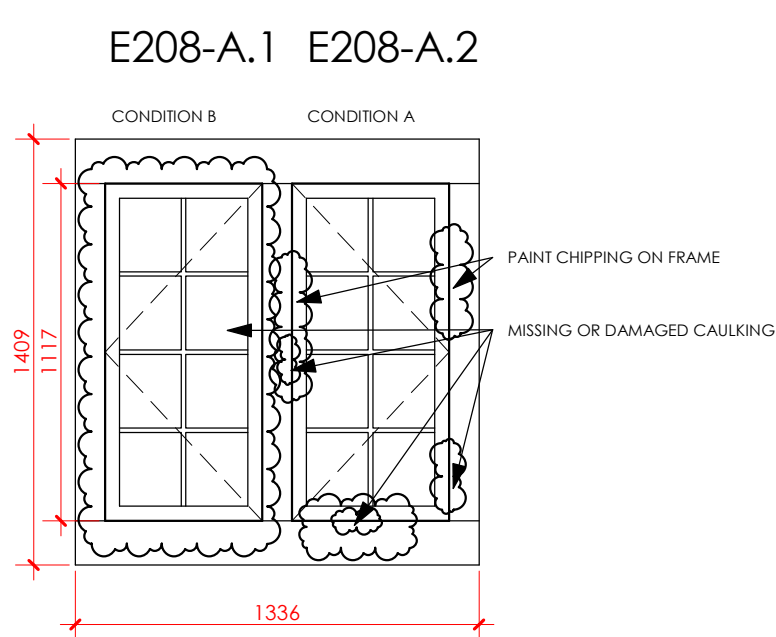
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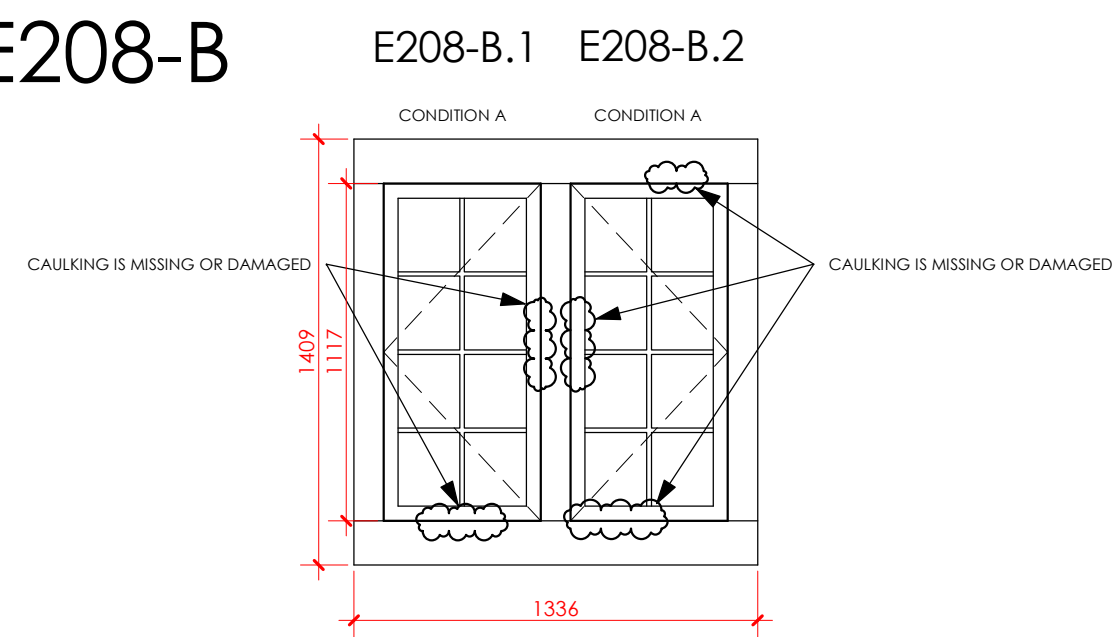
E208



E208-A



E208-B



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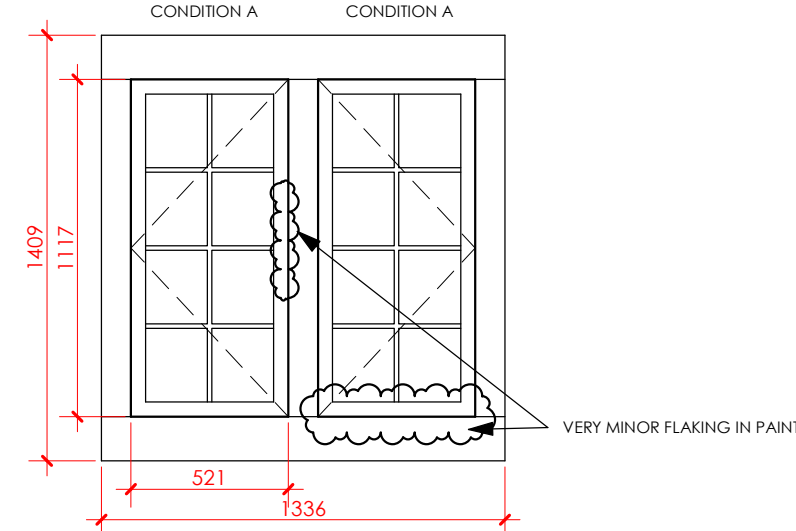
PROJECT
16-1115 CHAPPELL
HOUSE
4300 RIVERWOOD PARK
LANE, MISSISSAUGA

DRAWING	
	WINDOW SCHEDULE
DRAWN	
	A.P.
SCALE	
	1 : 25
DAT	
	2017 03 03
CHECKED	
	M.J.D.
PROJECT	
	16-1115
DRAWING	

A0.4

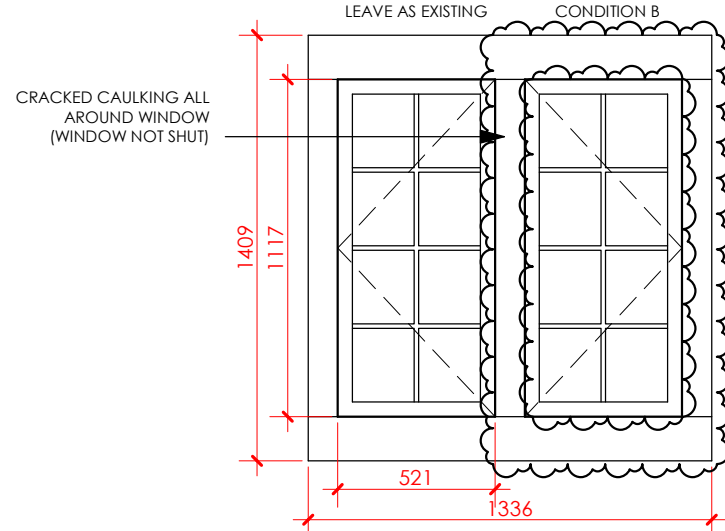
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E209.1 E209.2



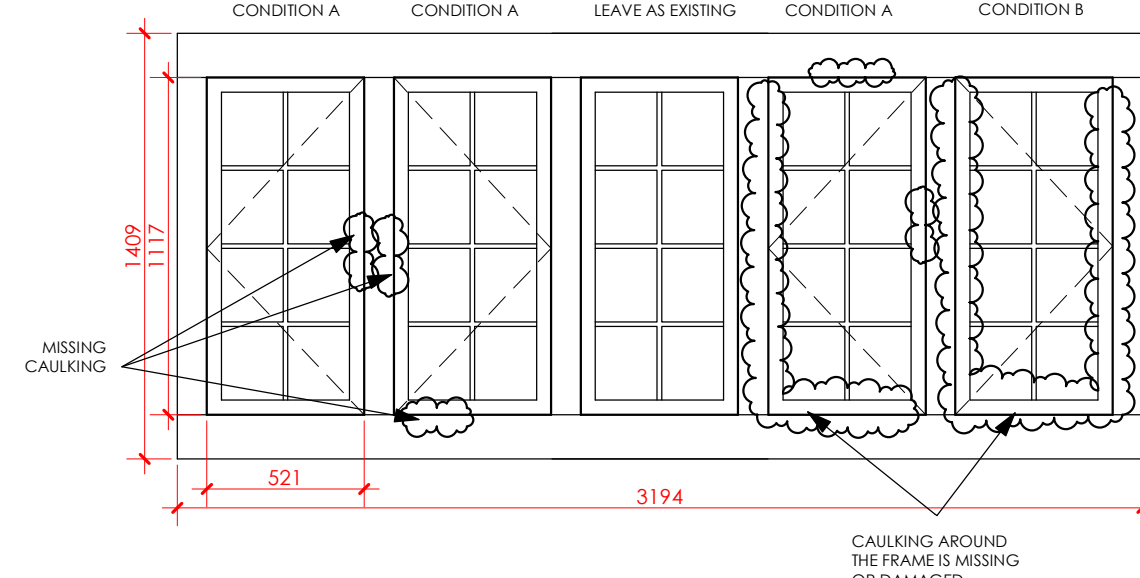
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E210.1 E210.2



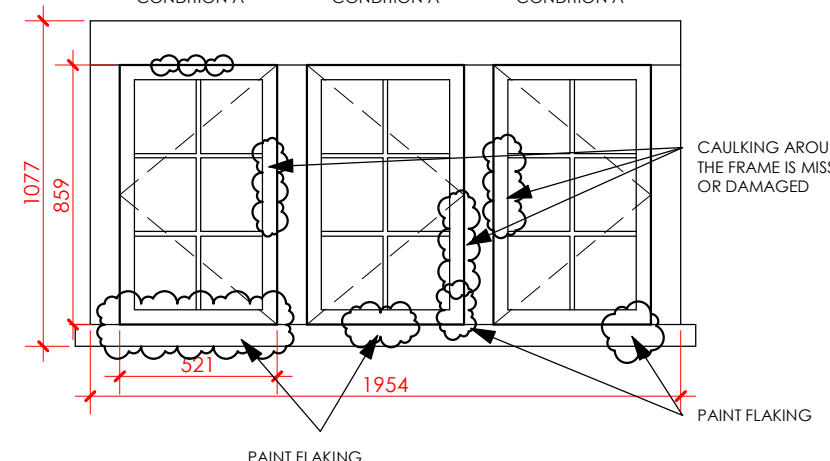
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E211.1 E211.2 E211.3 E211.4 E211.5



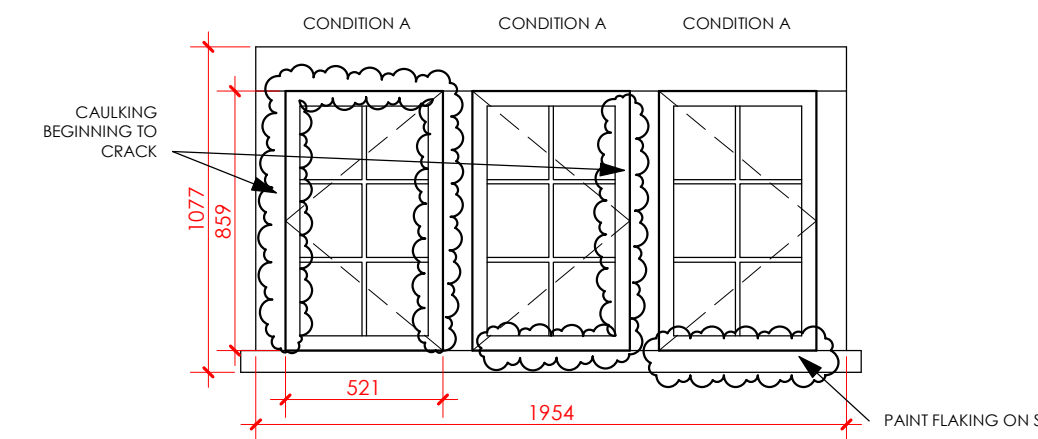
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E301.1 E301.2 E301.3



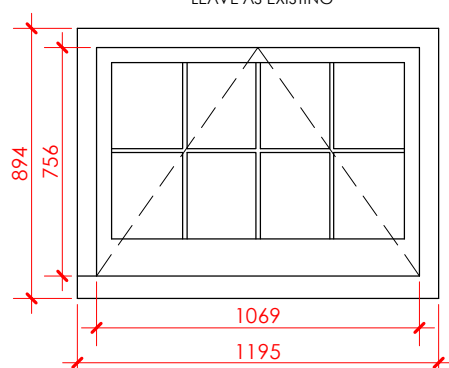
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E302.1 E302.2 E302.3



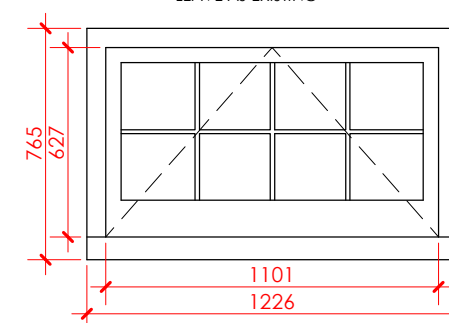
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LEAVE AS EXISTING



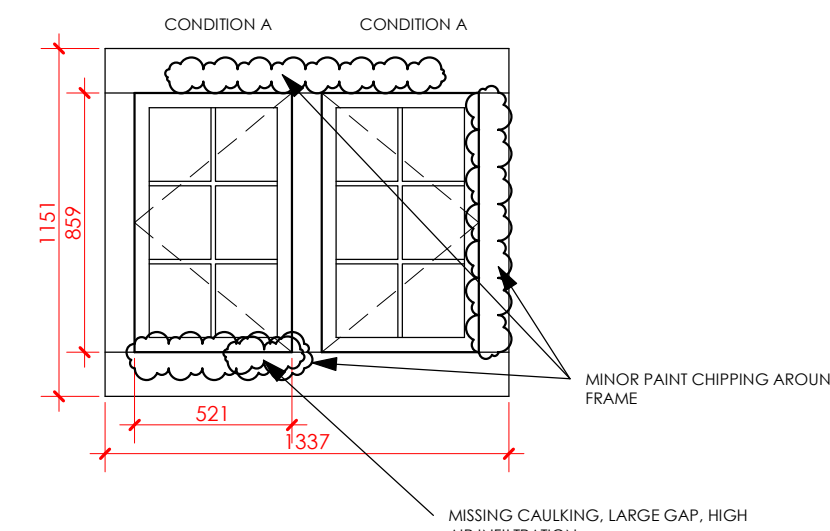
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LEAVE AS EXISTING



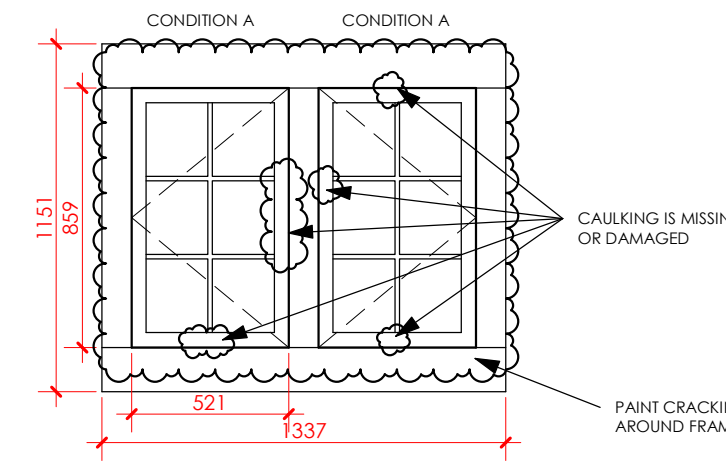
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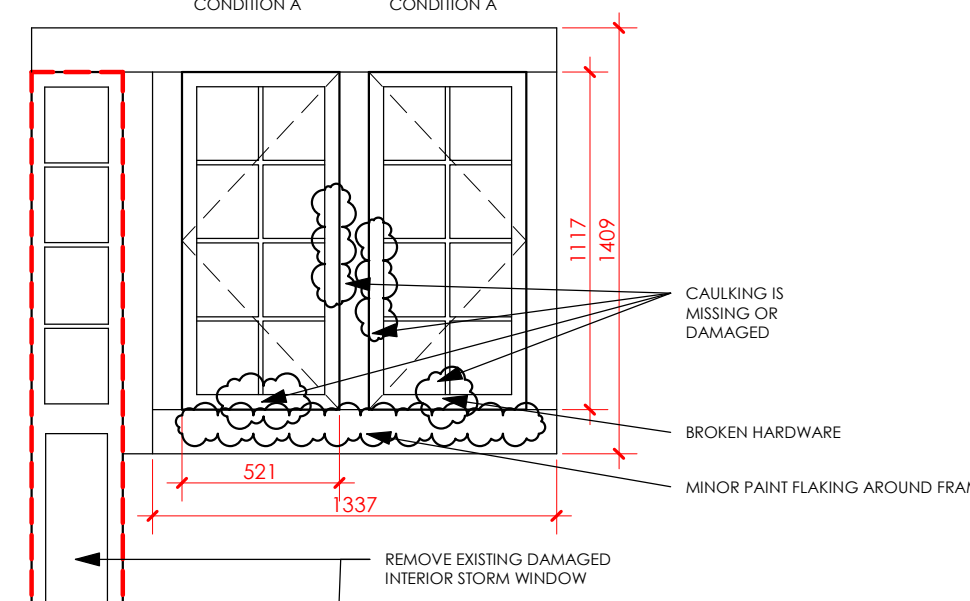
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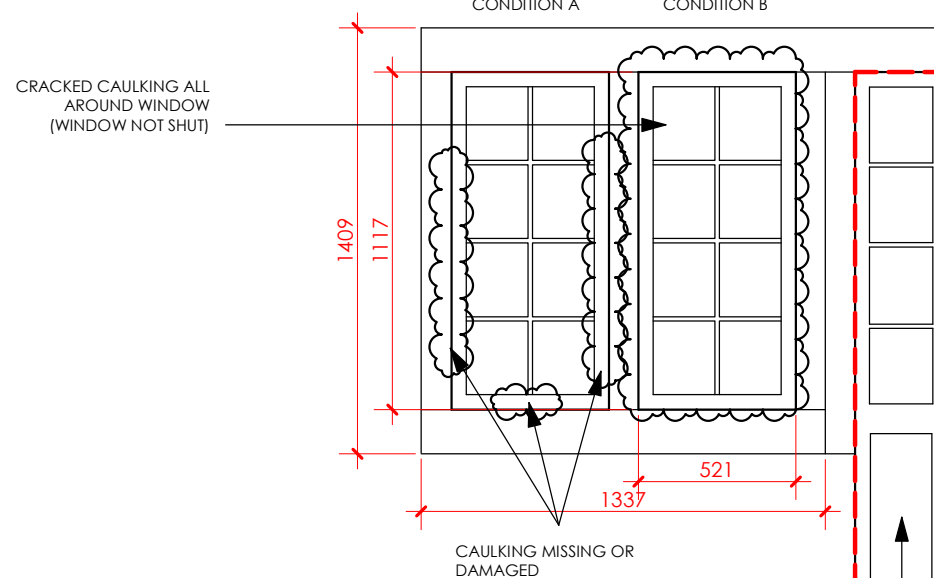
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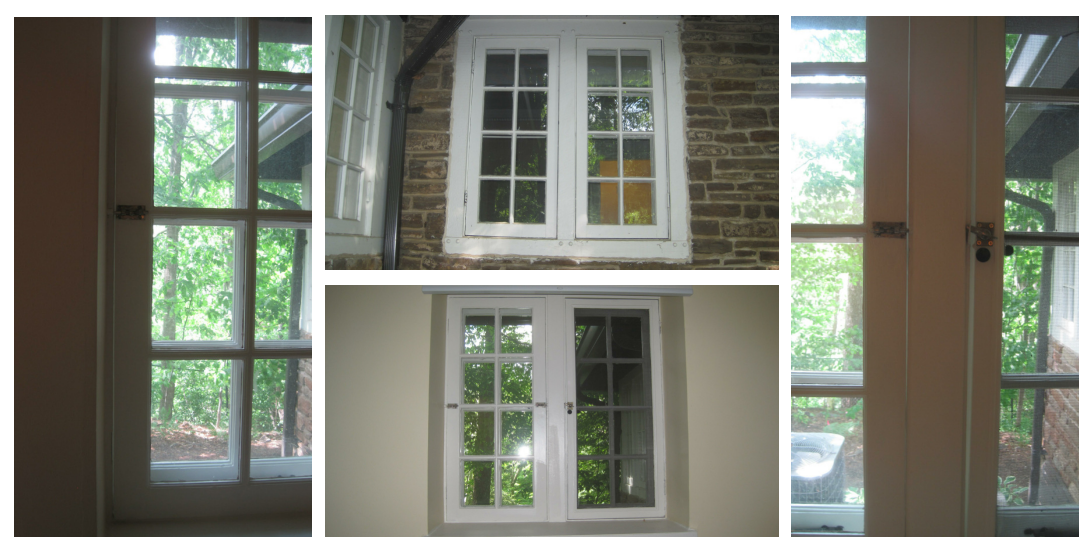
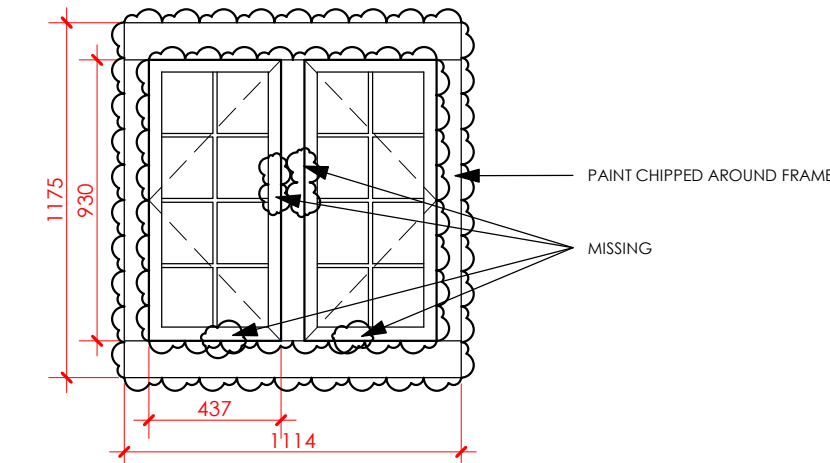
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N215.1 N215.2



N216

N216.1 N216.2



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SEALS



PROJECT
16-1115 CHAPPELL HOUSE
4300 RIVERWOOD PARK LANE, MISSISSAUGA

DRAWING
WINDOW SCHEDULE

DRAWN

SCALE

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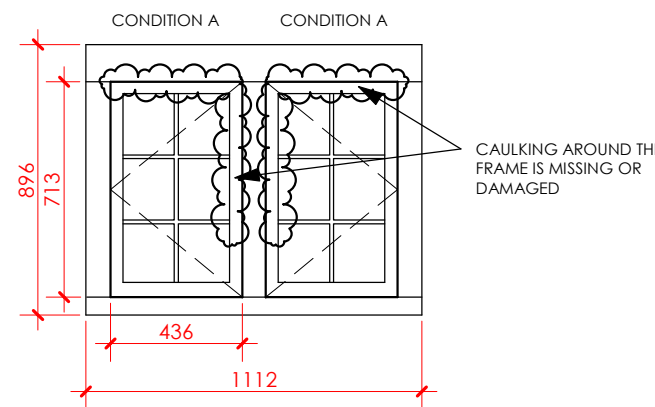
PROJECT

DRAWING

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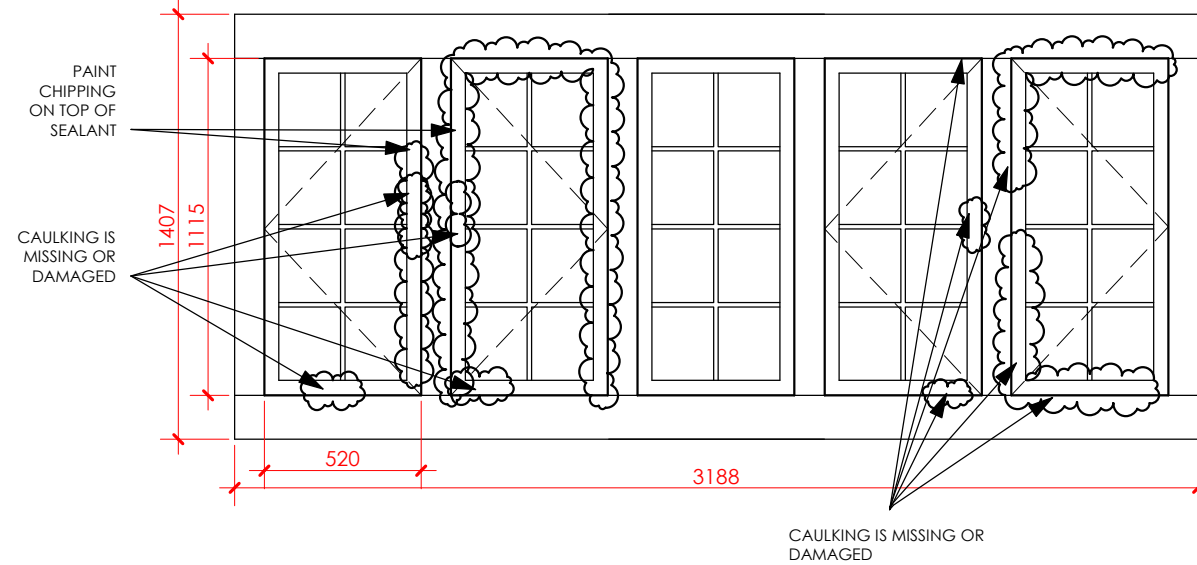
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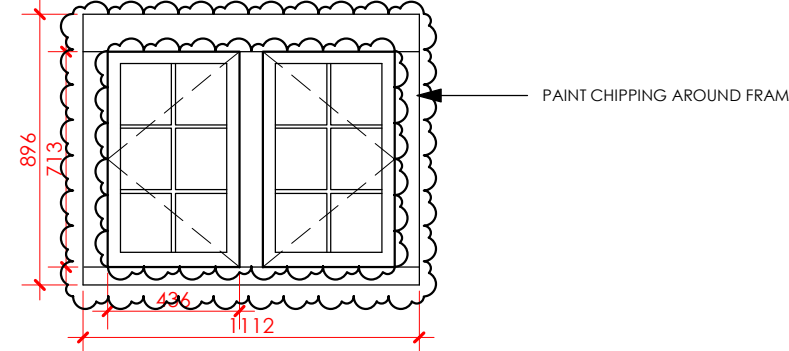
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W217.1 W217.2 W217.3 W217.4 W217.5



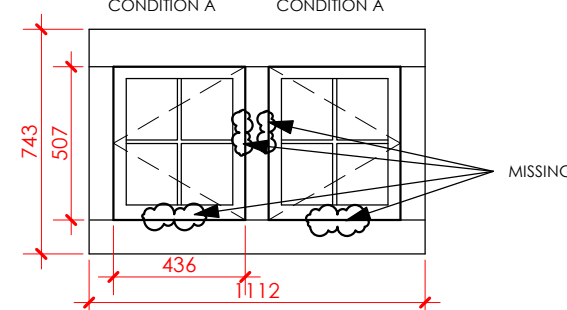
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W218.1 W218.2



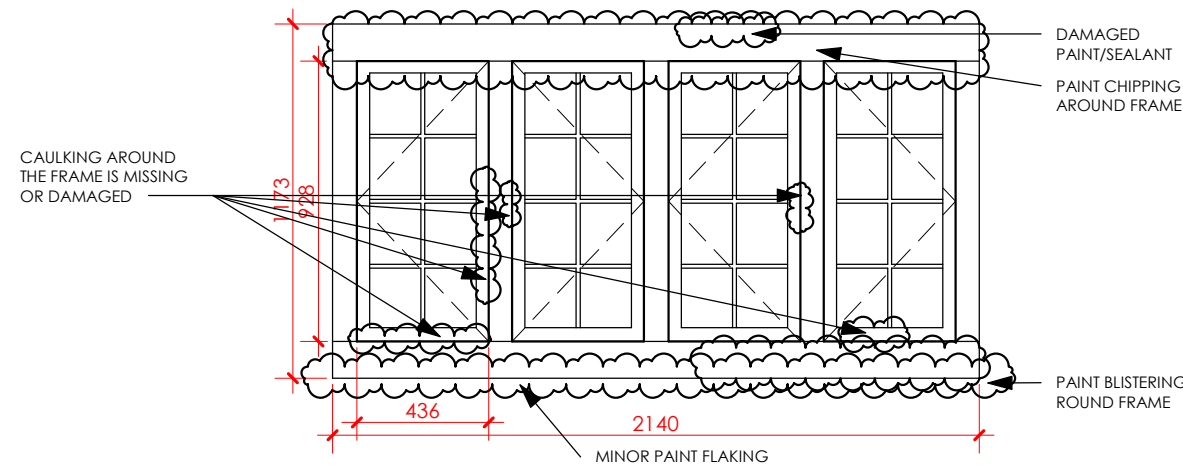
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W218-A.1 W218-A.2



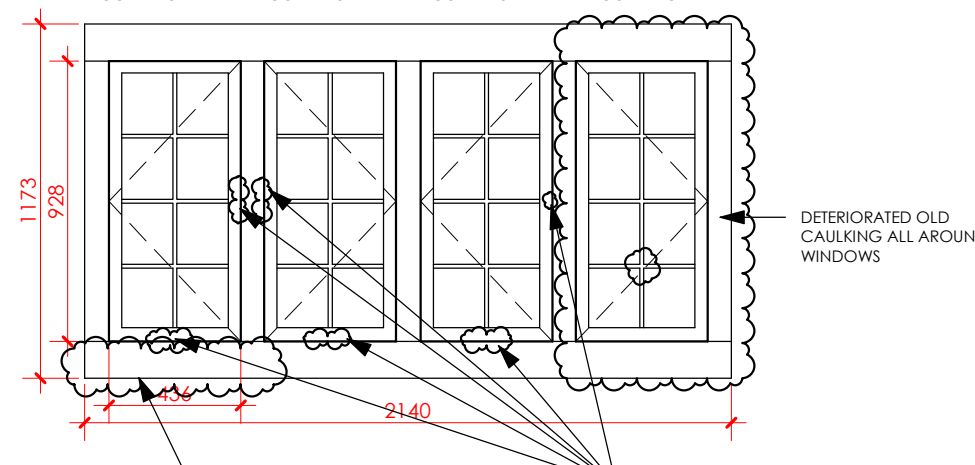
W219

W219.1 W219.2 W219.3 W219.4



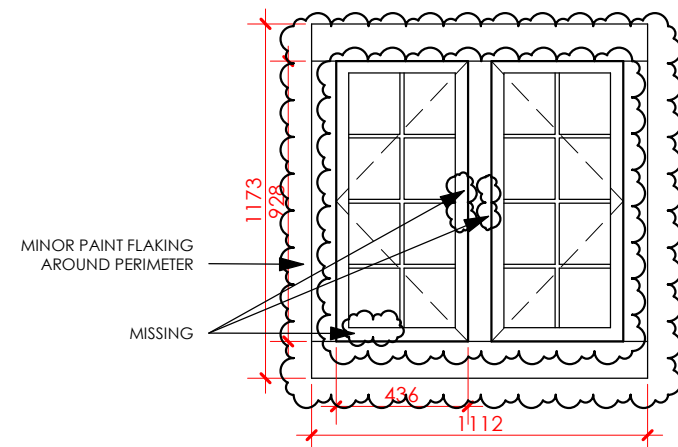
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W220.1 W220.2 W220.3 W220.4



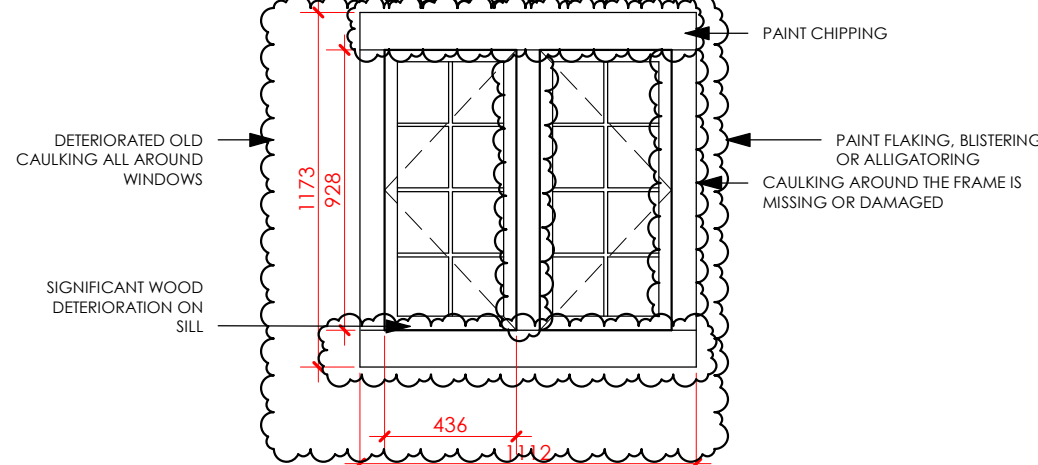
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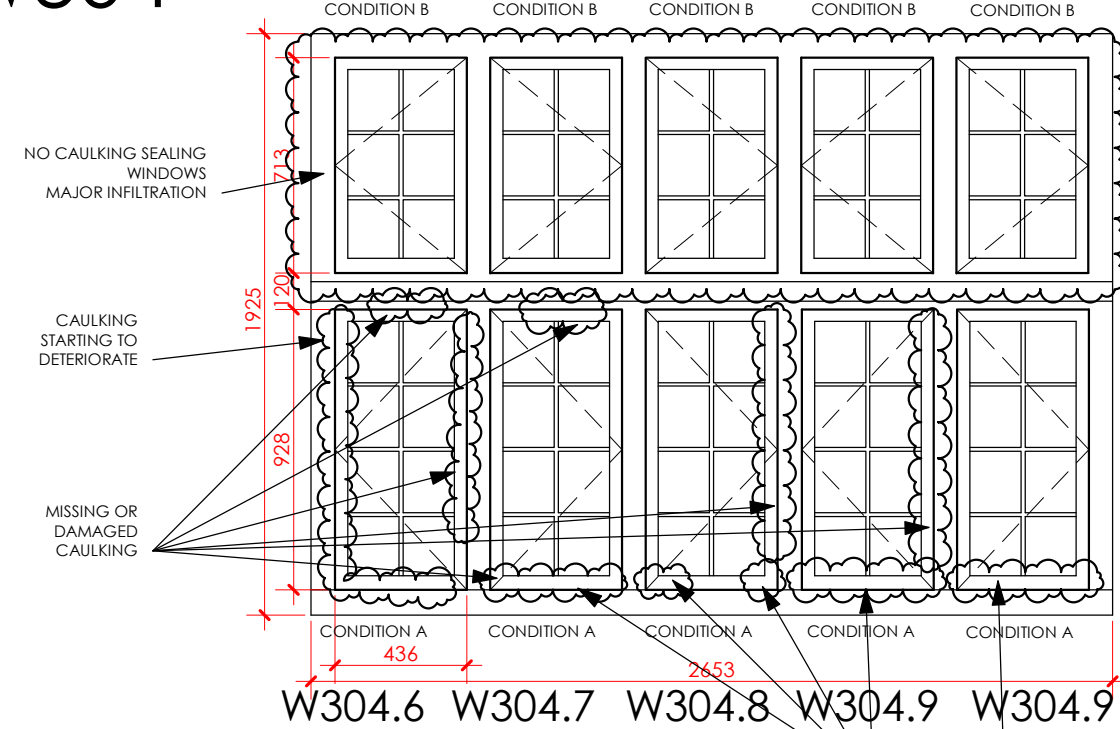
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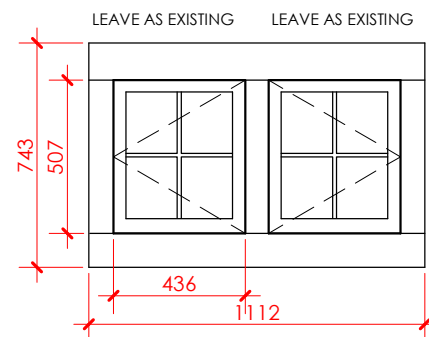
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W304.1 W304.2 W304.3 W304.4 W304.5

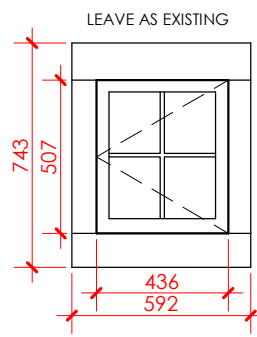


S104

S104.1 S104.2

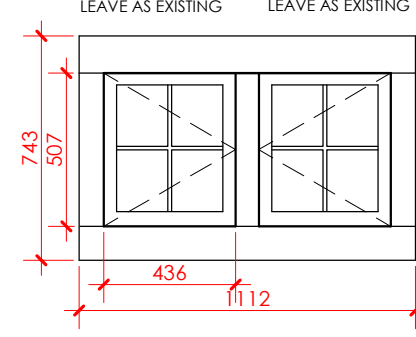


S105



S106

S106.1 S106.2



NOTE:
- ALL NOTES ON PAGES A0.4, A0.5, A0.6 AND A0.7 ARE TO BE USED AS GUIDANCE FOR EXTERIOR WINDOW WORK ONLY
- ALL WORK IS INCLUDING BUT NOT LIMITED TO WHAT IS SHOWN

REVISION

NUMBE	DAT	REMARK
003	2017 03 03	ISSUED FOR HERITAGE REVIEW
002	2017 01 19	ISSUED FOR REVIEW
001	2016 10 21	ISSUED FOR REVIEW

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SEALS



PROJECT

16-1115 CHAPPELL HOUSE

4300 RIVERWOOD PARK LANE, MISSISSAUGA

DRAWING

WINDOW SCHEDULE

DRAWN

A.P.

SCALE

1 : 25

DAT

2017 03 03

CHECKED

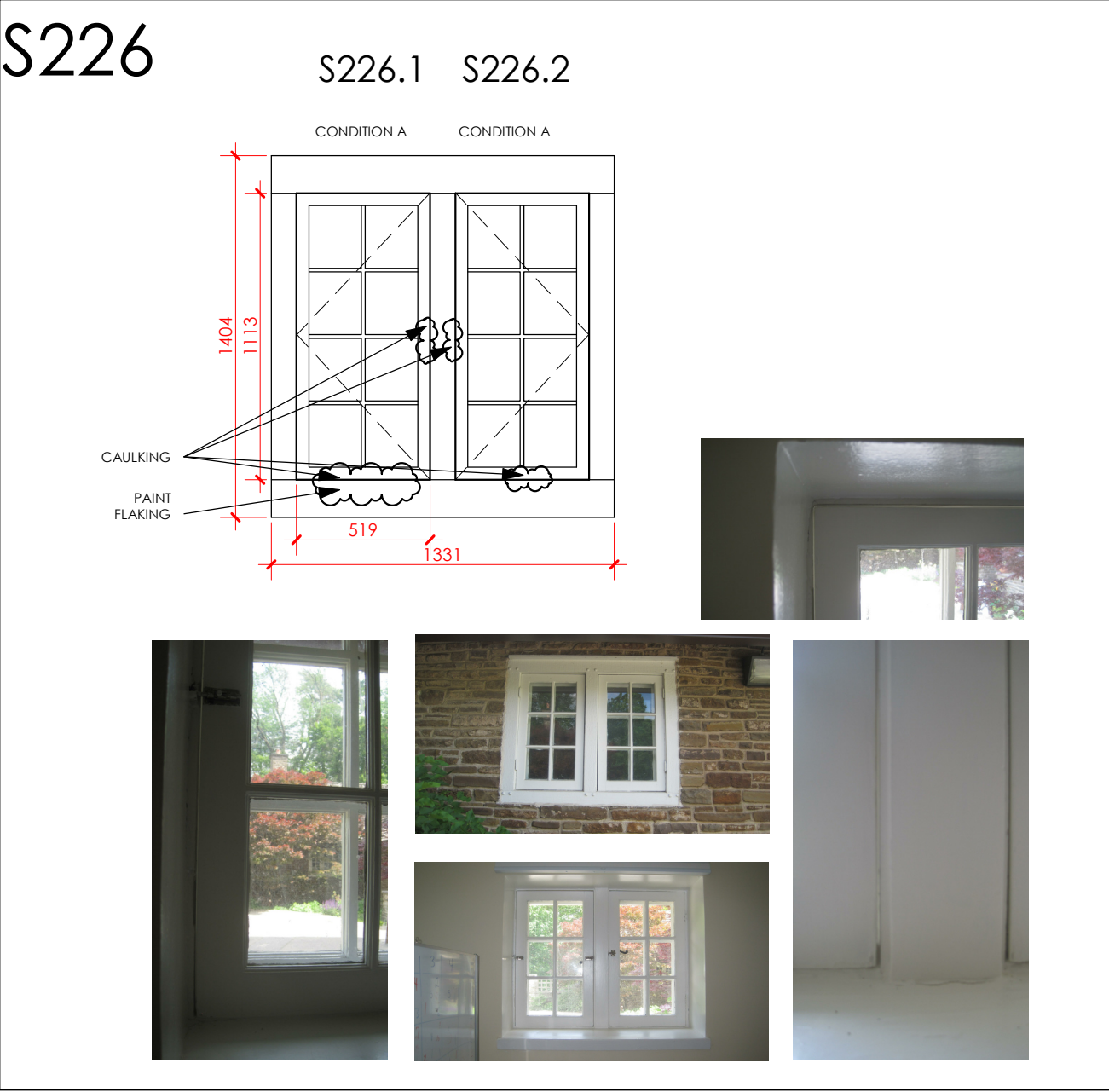
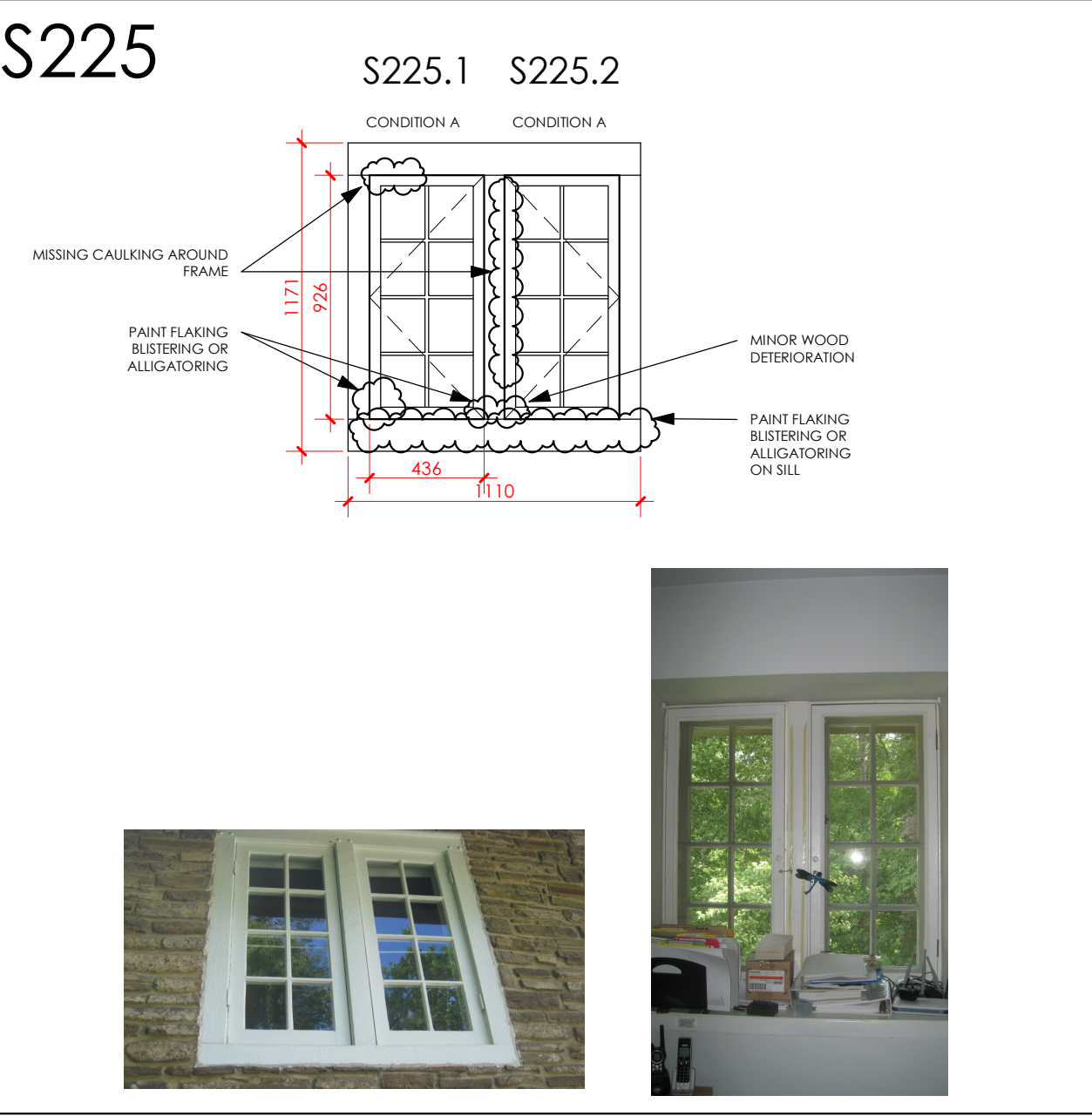
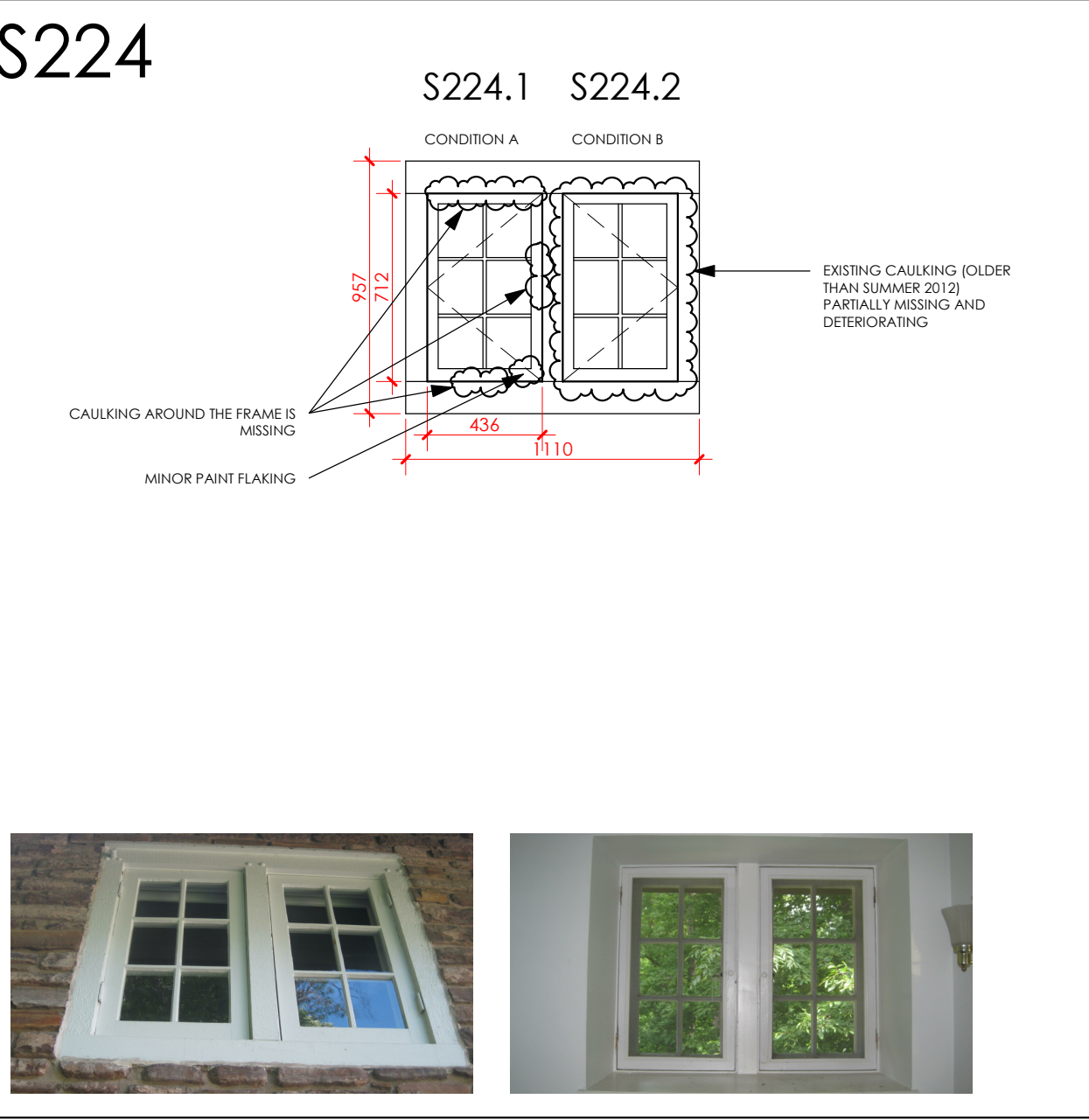
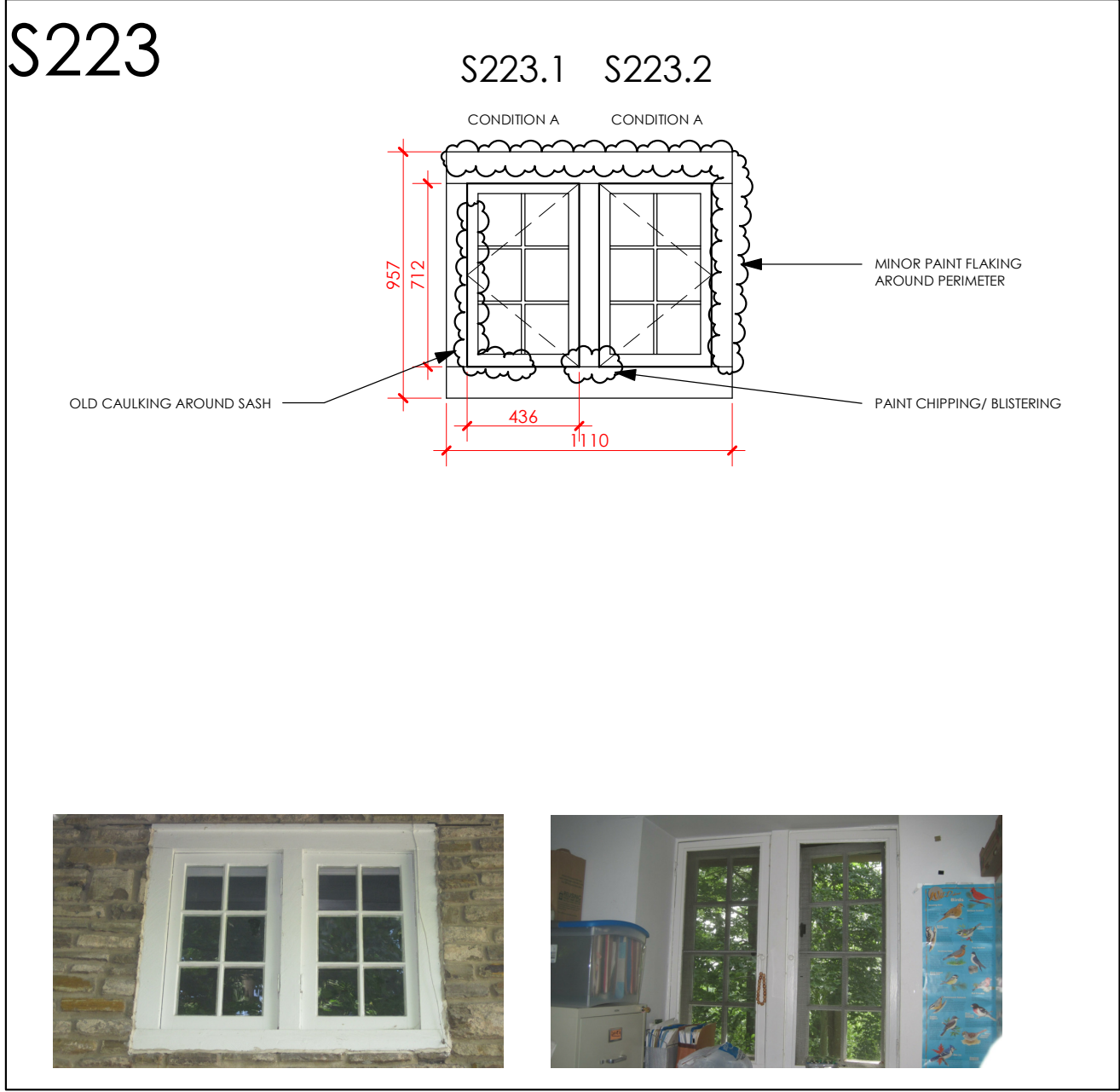
M.J.D.

PROJECT

16-1115

DRAWING

A0.6



 SOUTH WINDOW ELEVATION
1 : 25

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PROJECT	
16-1115 CHAPPELL HOUSE	
4300 RIVERWOOD PARK LANE, MISSISSAUGA	
DRAWING	
WINDOW SCHEDULE	
DRAWN	
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SCALE	
1 : 25	
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2017 03 03	
CHECKED	
M.J.D.	
PROJECT	
16-1115	
DRAWING	

A0.7



1 EAST
A5.1 1 : 100



3 WEST
A5.1 1 : 100



2 NORTH
A5.1 1 : 100



4 SOUTH
A5.1 1 : 100

REVISION		
NUMBE	DAT	REMARK
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SEALS



PROJECT

16-1115 CHAPPELL HOUSE

4300 RIVERWOOD PARK LANE, MISSISSAUGA

DRAWING	
ELEVATIONS	A.P.
DRAWN	
SCALE	
	1 : 100
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	M.J.D.
PROJECT	
	16-1115
DRAWING	

A5.1



THE CORPORATION OF THE CITY OF MISSISSAUGA

BY-LAW NUMBER . 0505-2004

A by-law to designate the property located at
1461, 1465 and 1475 Burnhamthorpe Road West
as being of historical, architectural and contextual significance

WHEREAS the *Ontario Heritage Act*, R.S.O. 1990, Chapter 0.18, as amended, authorizes the Council of a municipality to enact by-laws to designate real property including all the buildings and structures thereon, to be of architectural value or interest;


AND WHEREAS Notice of Intention to so designate the property located at 1461, 1465 and 1475 Burnhamthorpe Road West, in the City of Mississauga, has been duly published and served, and no notice of objection to such designation has been received by the Clerk of The Corporation of the City of Mississauga;

AND WHEREAS the reasons for the said designation are set out as Schedule 'A' hereto;

NOW THEREFORE the Council of The Corporation of the City of Mississauga ENACTS as follows:

1. That the real property located at 1461, 1465 and 1475 Burnhamthorpe Road West, City of Mississauga, and legally described in Schedule 'B' attached hereto, is hereby designated as being of historic value under Part IV of the *Ontario Heritage Act*, R.S.O. 1990, Chapter 0.18, as amended.
2. That the City Clerk is hereby authorized to cause a copy of this by-law to be served upon the owner of the aforesaid property, and upon the Ontario Heritage Foundation and to cause notice of this by-law to be published in a newspaper having general circulation in the City of Mississauga.
3. That Schedules "A" and "B" form an integral part of this by-law.
4. That the City Solicitor is hereby directed to register a copy of this by-law against the property located at 1461, 1465 and 1475 Burnhamthorpe Road West in the proper land registry office.

ENACTED AND PASSED this 15th day of December, 2004.


ACTING MAYOR

APPROVED
BY-LAW FORM

MEM
30 11 04


CLERK

SCHEDULE "A" TO BY-LAW NO. 0505-2004

STATEMENT OF THE REASONS FOR DESIGNATION

"Riverwood", 1465, 1461 & 1475 Burnhamthorpe Road West
(Also known as the Parker, Chappell, and MacEwan Estates)

The property known as Riverwood, 1447 Burnhamthorpe Road West, has been recommended for heritage designation for reasons of its historical, architectural and contextual significance.

The Reasons for Designation were written in the context of the completed Garden Park Master Plan and the Garden Park Cultural Resource Management Plan.

Historical Background:

The original patent from the crown for Lots 4 and 5, Range 4, went to Peter McDougall in 1833. The adjacent Lot 6 was a patent from the crown to William MacGrath, who owned the property south of Burnhamthorpe Road. The properties changed hands several times until June of 1913, when Lots 4, 5 and 6 were bought by W.R.P Parker, from Allen Case.

From 1913 onwards the Parkers, who resided in Toronto, gradually rebuilt a stone cottage from what existed of a former stone building on the site. The Parkers then used this cottage, now known as the MacEwan house, as a summer home. In 1919 Mr. Parker hired A.S. Mathers, later of the firm Mathers and Haldenby, to design an elegant Arts-and-Crafts residence on the property. The new home, called "Riverwood," was designed to blend with its impressive natural surroundings, and soon became a centre for entertaining and relaxation. Mr. Parker was a Toronto lawyer and businessman and was politically well-connected, and among many of the celebrated guests to stay at Riverwood was a close family friend, William Lyon Mackenzie.

North of Riverwood was the "upper farm," now known as the Zaichuk property. The farm was then operated by the Plumb family, who assisted the Parkers in managing the estate, and Harry Plumb was also responsible for much of the construction throughout the property, perhaps including supervision of the building of Riverwood itself.

In 1931 Mr. Parker died and, due to the stock market crash of 1929, left his widow with scant financial resources. The house was then rented out to Jim Rattray, who later owned the large Rattray Estate on the shores of Lake Ontario. Mrs. Parker sold off the upper farm to the Zaichuk family and the old stone house to her daughter, Margaret MacEwan. Eventually the financial strain forced Mrs. Parker to sell the main house in 1956 to Hyliard and Grace Chappell.

Mr. Chappell, also a lawyer and politician, resided in the house for many years. In 1986 Mrs. Chappell, then a widow, sold the property to the Credit Valley Conservation Authority, in conjunction with the City of Mississauga.

Archaeological studies conducted on the property have also proven the lands to be of native prehistoric significance, dating from the Middle to Late Iroquoian Periods. These components have been removed through archaeological investigations.

Architectural and other Heritage Resources:

The Riverwood property is recognized to be organized into four areas: the Bird terrace, the MacEwan Estate, the Chappell Estate, and the Zaichuk property.

The Bird terrace is located on the floodplain adjacent to the Credit River and immediately north of the Burnhamthorpe Road West Bridge. The name derives from the surname of the last inhabitants on this property. The residence and outbuildings have all been removed, though the oldest foundations of the house, which may date from the mid-nineteenth century, probably remain. The only visible remnants of these former residential structures are the landscape features of a stone retaining wall and terrace at the top of the valley, and a nearby stone wall which runs orthogonal to the valley. It is believed that the Norway Spruce Allé was created to provide a windbreak for the orchard which was planted southeast of the allé on the terrace and up the hill to the MacEwan terrace. A few remnants of the orchard remain.

SCHEDULE "A" TO BY-LAW NO. 0505-2004

Along the north side of Burnhamthorpe Road West is the stone wall and drive entrance which was a defining landscape feature that denoted this property as a private estate. Although the wall and gates have been relocated and altered over time, they provide a significant cultural landscape on Burnhamthorpe Road West. It is recognized that portions of this wall may be altered or removed as the park develops.

The MacEwan House is a single-storey, Credit River stone structure, parts of the original portion believed to date from the mid-nineteenth century. It is an elongated "L" in plan, the bottom of the "L" being the rebuilt older portion. As a result of grade differences around the building, much of the cellar portion is fully exposed. This situation is also the reason for a small stone bridge at the east facade, which connects the upper floor to the adjacent grade level. The windows are multi-paned casement units, and the medium-pitched roof has stucco gable ends with mock-Tudor work over the porch. In the earlier portion of the house, the roof (formerly shingled) has a slight belcast. The house rests not far from the top-of-bank and would have had a dominant view of the river valley when the grounds were clear of trees. An interior feature of particular note is the fireplace in the main room, which was part of the original structure.

Directly to the east of the MacEwan House is the MacEwan Barn. The barn is typical of a small English-style barn and dates from the mid-nineteenth century. The barn is built in two phases, the later addition having a shed roof and poured concrete floor. The roof pitches now have a variety of cladding materials, with the north pitch of the older portion now clad horizontal boards, which presumably replace original wooden shingles.

The main house, named "Riverwood" by the Parker family, was built in 1919 of Credit Valley stone collected on the property. This Arts-and-Crafts style structure was designed by W.S. Mathers (later of Mathers and Haldenby, which company also worked here), who took a holistic view of the property and had walkways, gardens, woodland pool, and patios all designed to integrate into the marvelous landscape. The one-and-a-half storey stone house is designed in a "U" shape, with two wings extending from a dominant central core. The original landscaping adjacent the house was designed by Harries and Hall, Landscape Architects and Engineers (of Toronto and Buffalo), in association with Arthur M. Kruse, and is an important example of their work.

The high, pitched, wood-shingled roof with flanged eaves provides a dominant feature, broken at the front facade by a massive stone chimney with a decorative, hand-carved stone shield indicating the date "1919". This main chimney served the living room and upper storey fireplaces. The house was built for entertaining, which provided for a separate bedroom wing, servants wing, and central dining and reception area.

The main living room has hand-hewn B.C. fir ceiling beams and a large walk-in fireplace built of red brick. Above the mantel is a hand-painted folk-art depiction of the property when it was fully developed, painted by Estelle Kerr about 1935.

The windows are multi-paned casement units and the doors leading onto the rear flagstone patio were formerly multi-paned French doors. On either side of the chimney on the front facade, the roofline is broken by two dormers. These provide light into the only room on the second floor, which also has a large single dormer at the rear of the structure. A second, less dominant internal chimney served the kitchen area, and a third chimney rises from the bedroom wing. From the bedroom wing there are exits to the garden by a north door of the original master bedroom, with its many multi-paned windows, and a second exit onto the rose garden on the east facade of the house.

A full cellar extends throughout the house, and includes a large walk-in safe under the front entrance.

The house and grounds are surrounded by many landscape features. At the front is the courtyard, with circular drive around the central lily pond and with stone wall and trellis to the south. This stone wall forms the wall for the garage, which is set below grade. There are walkways that lead away from the house into the gardens. To the southeast of the garage is an above-ground stone cistern associated with the woodland pool and (lost) fountain. An extant, but unused set of stone steps leads from the house rear lawn down to the river valley. A second stairway leads from the rear yard to the woodland pool, now in poor condition, but once a major garden and landscape feature on the property, fed by the waters of MacEwan Creek. Throughout the entire site are remnants of earlier landscape features such as bridge abutments, old roadways, and numerous fence lines and paths.

SCHEDULE "A" TO BY-LAW NO. 0505-2004Contextual Significance:

The "Riverwood" site, comprised of its four major components, MacEwan House and Barn, Bird Terrace, Chappell Estate, and Zaichuk property, has numerous built and natural heritage resources. The property is bordered on the south by Burnhamthorpe Road West, to the east is the rail line, on the west is the Credit River and to the north, Highway 403. The most significant feature of this property is its relationship to the Credit River corridor and the related creeks that feed into this river. The site has been the location of human habitation for hundreds of years, whereby its occupants have always had a respect for the natural landforms and unique qualities between upper table lands and low valley floodplain. The site is noted for its natural heritage features and provides a significant green space within the urban context, while also reflecting on the cultural development of the property over time. It is the careful integration of open space, forest, gardens and built forms that make this property a significant cultural landscape.

SCHEDULE 'B' TO BY-LAW 0505-2004

Description: Part of Lots 3, 4, 5, 6 and 7, Range 4 North of Dundas Street
(To be designated under the Ontario Heritage Act)

(Ward 6, City Zone 31, in the vicinity of Burnhamthorpe Road West and Creditview Road)

In the City of Mississauga, Regional Municipality of Peel, (Geographic Township of Toronto, County of Peel), Province of Ontario and being composed of:

FIRSTLY: Part of Lots 4, 5, 6 and 7, Range 4 North of Dundas Street, of the said Township, designated as Parts 1, 2, 3, 4 and 5 on a plan of survey deposited in the Land Registry Office for the Registry Division of Peel (No. 43) as Plan 43R-13158 and Parts 2, 3, 4, 5, 6, 7, 8, 9, 10 and 11 on a plan of survey deposited in the said Registry Office as Plan 43R-9772.

SECONDLY: Part of Lots 3, 4 and 5, Range 4 North of Dundas Street, of the said Township, designated as Part 1 on a plan of survey deposited in the said Registry Office as Plan 43R-19545, Part 1 on a plan of survey deposited in the said Registry Office as Plan 43R-5061, Part 1 on a plan of survey deposited in the said Registry Office as Plan 43R-5821, Part 5 on a plan of survey deposited in the said Registry Office as Plan 43R-9773 and Part 1 on a plan of survey deposited in the said Registry Office as Plan 43R-5550, save and except Part 3 on a plan of survey deposited in the said Registry Office as Plan 43R-6228.

THIRDLY: Part of Lots 5 and 6, Range 4 North of Dundas Street, of the said Township, as described in Instrument Number RO499454, save and except Parts 1, 2 and 3 on a plan of survey deposited in the said Registry Office as Plan 43R-6252.

G. T. Stidwill

G. T. Stidwill, P. Eng.
Ontario Land Surveyor

City of Mississauga

Corporate Report



Date: 2017/03/16

To: Chair and Members of Heritage Advisory Committee

From: Paul Mitcham, P. Eng, MBA, Commissioner of
Community Services

Originator's files:

Meeting date:
2017/04/11

Subject

Request to Demolish a Heritage Listed Properties: 272 and 274 Victoria Street (Ward 11)

Recommendation

That the properties at 272 and 274 Victoria Street, which are listed on the City's Heritage Register, are not worthy of heritage designation, and consequently, that the owner's request to demolish proceed through the applicable process.

Background

Section 27.3 of the Ontario Heritage Act states that structures or buildings on property listed on the City's Heritage Register cannot be removed or demolished without at least 60 days' notice to Council. This legislation allows time for Council to review the property's cultural heritage value to determine if the property merits designation.

The owner of the subject property has submitted a heritage permit application to demolish and replace the existing detached dwelling. The subject property is listed on the City's Heritage Register as it forms part of the Streetsville Village Core cultural landscape. The City's Heritage Register includes the following description: "Streetsville is recognized as a significant cultural landscape because it retains a portfolio of heritage buildings of a consistent scale and portrays a period landscape of a small village" as well as "including extant churches, cemeteries, public buildings and open spaces."

Comments

The owner of the subject property has requested permission to demolish the existing structure, which is divided into two dwellings, with two different addresses. The applicant has provided a Heritage Impact Assessment compiled by CHC Limited. It is attached as Appendix 1. The consultant has concluded that the structure at 272 and 274 Victoria Street is not worthy of designation. Staff concurs with this finding.

Financial Impact

There is no financial impact.

Conclusion

The owner of 272 and 274 Victoria Street has requested permission to demolish a structure (two dwellings) on properties that are listed on the City's Heritage Register. The applicant has submitted a documentation report which provides information which does not support the building's merit for designation under the Ontario Heritage Act. Staff concurs with this finding.

Attachments

Appendix 1: Heritage Impact Assessment



Paul Mitcham, P. Eng, MBA, Commissioner of Community Services

Prepared by: Cecilia Nin Hernandez, Heritage Coordinator

**Heritage Impact Assessment
272 - 274 Victoria Street
Mississauga**



prepared by

CHC Limited

87 Liverpool Street, Guelph, ON N1H 2L2
(519) 824-3210 email oscott87@rogers.com

January 24, 2017
amended February 13, 2017

Table of Contents

1.0	BACKGROUND - HERITAGE IMPACT Assessment (HIA)	1
2.0	THE HERITAGE IMPACT Assessment	1
2.1	Site history	1
2.2	Listing and written description of existing structures, significance and heritage attributes	13
2.3	Addressing the Cultural Landscape criteria	25
2.4	The proposed development	31
2.5	Assessment of alternative development options and mitigation measures	31
2.6	Conservation - principles and mitigation	37
2.7	Proposed demolition / alterations explained	37
2.8	Alternatives for salvage mitigation	37
2.9	Qualifications of the author completing the Heritage Impact Assessment	37
3.0	SUMMARY STATEMENT and CONSERVATION RECOMMENDATIONS	38
4.0	MANDATORY RECOMMENDATION	38
	REFERENCES	40
Appendix 1	CHAIN of TITLE, PINS 13122-0004 & 13122-0005 - 272-274 Victoria Street, Mississauga	
Appendix 2	Property Heritage Detail, City of Mississauga	
Appendix 3	Cultural Landscape Inventory: Streetsville Village Core	
Appendix 4	Qualifications of the author	

all photographs by Owen R. Scott of CHC Limited, January 18, 2017 unless otherwise noted.

1.0 BACKGROUND - HERITAGE IMPACT ASSESSMENT (HIA)

The property at 272 - 274 Victoria Street in Mississauga (Streetsville) is listed on the City's Heritage Register. It is not designated under Part IV of the *Ontario Heritage Act*. It is located in the "Streetsville Village Core Cultural Landscape"¹

This Heritage Impact Assessment (HIA) follows the *City of Mississauga Heritage Impact Assessment Terms of Reference* February 2016² and the *Cultural Landscape Heritage Impact Assessment (HIA) Terms of Reference*³ and was prepared in response to a request from the owner.



Figure 1

Site Context - <http://www.mississauga.ca/portal/services/maps>

Figure 1 illustrates the location of the property in the southwest corner of the historic Streetsville village core.

2.0 THE HERITAGE IMPACT ASSESSMENT

2.1 Site history

The settlement story of Streetsville begins in 1818 when the Crown acquired all lands north of modern

¹ *Cultural Landscape Inventory, City of Mississauga, The Landplan Collaborative Ltd., January 2005*

² Culture Division, Community Services Department, City of Mississauga

³ *Ibid*

Eglinton Avenue, throughout Halton and Peel counties, from the Native Mississaugas. The Government commenced formal survey of these lands in 1819. Timothy Street financed the survey and Richard Bristol oversaw the work. Following this, settlers began to apply for land grants in and around what would become the Streetsville area.

By 1835, Streetsville had attracted many merchants and tradesmen. The community was becoming the political and economic centre of the surrounding township, with the Credit River acting as the backbone of the village. Grist mills, sawmills and tanneries were established milling enterprises along the river. Just south of Streetsville was William Comfort's mill site, which was purchased by the Barber Brothers in 1843. At its height the Barber mill was home to one of the largest woollen manufacturing centres in Canada.

By 1850, with a population of 1000, Streetsville had emerged as the most prosperous and populous village in Peel County. Early directories list several mills, a tannery, foundry, cooperage, pottery, brickyard, blacksmiths, shoemakers, carriage shops, tinsmith, brewery, telegraph office, physicians, tailors, gunsmith, watchmaker, broom and pail factory, millinery, carpenter, furniture manufacturer, stave factory, bobbin factory, four churches, an Orange Lodge, and two schools.

The intersection of Queen Street and Main Street quickly became the commercial hub of the community, anchored in large part by the enterprises of the Barnhart's Montreal House and John Embleton's store. In 1858, Streetsville had a population of around 1,500, and incorporated as a village, with John Street, Timothy's son, serving as the first Reeve. Streetsville was considered by many as the "Queen of the County", and was the most populated and prosperous area in Peel County. The coming of the railways in the 1850s, which initially bypassed Streetsville, brought a halt to the village's prosperity. By Confederation the population had dwindled to 750 inhabitants.

Although Streetsville's prosperity peaked before 1867, the village continued to thrive after the arrival of the Credit Valley Railway in 1879. It was too late, however, for the village to supplant Brampton as the business and political centre of Peel. Much of the existing built form of Streetsville dates from the post-Confederation period, and reflects the story of this prosperous and industrial rural village.

Many of the mills, which were once the lifeblood of the village, began to close in the early 20th century. Timothy's mill burned in 1929. The Temperance Act spelled the end for most of Streetsville's inns and hotels. The Royal Hotel, the last operating hotel in Streetsville, closed in the 1940s. The village gradually changed from an industrial mill-town into a small business and services centre.

By 1951, the population of Streetsville was registered as 1,139 people. The village officially became a town on January 1st, 1962.... However, the town could not expand, as it was surrounded by the new Town of Mississauga (formerly Toronto Township), and bordered on one side by the Credit River. In 1974, the Town of Streetsville amalgamated with the Towns of Mississauga and Port Credit to form the City of Mississauga.⁴

A 200 acre parcel of land that included the subject property was granted to Kings College by The Crown in January 1828. In 1844, the east half of the parcel was sold to William Cawthra. Cawthra sold 2 acres to John Street in 1846 for £50. Street, in turn, sold Lots 6, 7, 8 & 9 to John McMaster in 1848 for £62.10.

⁴ Heritage Mississauga web page <http://www.heritagemississauga.com/history.htm>,

McMaster sold to Adam Simpson in 1857 for £394. According to the City of Mississauga's heritage inventory, 272 - 274 Victoria Street was built for Adam Simpson in the 1840s as a single family house and converted to a semi-detached after 1884.^{5, 6, 7} Figure 2 is "A New Plan of Streetsville from actual survey & careful reference to original plans & documents published for subscribers by Bristow, Fitzgerald & Spencer".⁸



Figure 2

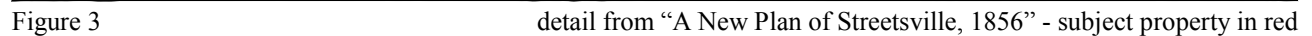
"A New Plan of Streetsville", 1856 - Library and Archives Canada - subject property in red

⁵ Property Heritage Detail, 272 Victoria Street, <https://www.mississauga.ca/portal/services/property>

⁶ According to the Land Registry records, Simpson did not purchase the property until March 17, 1857 for £394. The "1856 New Plan of Streetsville" shows Simpson's name on the lots; however the Plan was not registered until 1861 and the Simpson label may reflect that later date. Simpson lived in a different enumeration district according to the 1851 census. The house may have been built for John McMaster, the previous owner, who purchased the lots in 1848.

⁷ The house appears to have been converted to a semi-detached in 1960, not "after 1884" - see Figure 15.

⁸ Bristow, Fitzgerald & Spencer, *A New Plan of Streetsville*, 1856 [map]. Library and Archives Canada.



Tremaine's map of 1859⁹ (Figures 4 & 5) shows a similar situation as that of "A New Plan of Streetsville" with 272 - 274 Victoria Street being the only built-upon property in the block.

January 24, 2017, amended February 13, 2017



Figure 5

detail from *Tremain's Map 1859*

Figure 4

Tremain's Map 1859

A series of airphotos of the neighbourhood, from 1954 to 2015 (Figures 6 through 13) shows the evolution of the area. In 1954, there is only one other house on the west side of the street. Lands across the railway tracks are industrial. Houses line both sides of William Street/Barry Avenue (Figure 6).



Figure 6 - subject property & environs 1954

<http://www.mississauga.ca/portal/services/maps>



Figure 7 - subject property & environs 1966

<http://www.mississauga.ca/portal/services/maps>

By the middle of the next decade, a series of bungalows have been built south of the subject property on the west side of Victoria Street (Figure 7). A Streetsville United Church parking lot now occupies one of the lots on Barry Avenue.



Figure 8 - subject property & environs 1975

<http://www.mississauga.ca/portal/services/maps>

There is little obvious change from 1966 to 1975 (Figure 8). Lands to the south of Princess Street have been developed by 1985 (Figure 9).



Figure 9 - subject property & environs 1985

<http://www.mississauga.ca/portal/services/maps>



Figure 10 - subject property & environs 1992

<http://www.mississauga.ca/portal/services/maps>

By 1992, the industrial development west of the tracks has been demolished, levelling the site for its future use. The house at the corner of Victoria and Barry has been demolished as well.



Figure 11 - subject property & environs 1999

<http://www.mississauga.ca/portal/services/maps>

The United Church parking lot has expanded to the corner of Victoria and Barry and a commuter rail parking

lot has been constructed west of the railway tracks on the former industrial site.



Figure 12 - subject property & environs 2006

<http://www.mississauga.ca/portal/services/maps>

The rail commuter lot has been expanded to fill the entire former industrial site and the property at the railway tracks and Thomas Street (south side) has been redeveloped (see Figure 53).



Figure 13 - subject property & environs 2015

<http://www.mississauga.ca/portal/services/maps>

Adam Simpson (1808-1884), born in Scotland, was the Clerk of the 2nd Division Court, County of Peel from the 1850s to 1881. He was married to Margaret Paterson (1825-1885) at his death. She was the widow of William Wylie and before Wylie's death c. 1871, Margaret and William Wylie lived in the house they had built about 1860 at 263 Victoria Street, across the street from the subject property. Adam Simpson's first wife was also named Margaret (5 years his senior, she died in 1870), and he and both his wives are buried in the Streetsville Public Cemetery ¹⁰ (Figure 14).

Adam Simpson's long career as a Justice of the Peace and Clerk was not without controversy.

To the Honourable T. B. Pardee

Provincial Secretary

Toronto, 3rd December, 1872.

SECOND DIVISION COURT, COUNTY OF PEEL.

Clerk—Adam Simpson, Streetsville.

The books, procedure book, cash book and debt attachment book are all kept according to the forms of July, 1869. An examination of the papers and documents discloses the fact that Mr. Simpson has made many errors in his charges of fees - many of his charges have been in excess of what the law requires, and in every, or nearly every case. where stamps have been affixed in excess of the lawful charges, the suitors have been charged with the excess. These mistakes, no doubt, have arisen from not consulting the table of fees and depending too much to memory. Mr. Simpson has not been stamping for alias or pluries summonses, or adjournments. He has been very careless about cancelling the stamps after they have been affixed, in some instances not obliterating them at all. I have taken an account of the years 1864 to 1872, inclusive. of all omissions of stamps that should have been affixed and cancelled, according to the way Mr. Simpson understood the law to apply and that have been charged to the suitors, and find Omissions in 1864, amounting to making a total sum of \$62.90. I have pointed out to Mr. Simpson where he is in error, and called his attention to the rules, &c., bearing on the cases in point. I cannot think that he intended fraud, but believe that the omissions above have arisen from a careless habit of doing business, and think he would very willingly make good the deficiency to the revenue if allowed so to do. Mr. Simpson's sureties, I believe, are quite good.

I have the honour to be,

Sir,

Your obedient servant.

J. Dickey ¹¹



Fig. 14 Joanne Krywko, <http://cemetery.canadagenweb.org>

¹⁰ <http://frednix.weebly.com/third-generation-11-children-of-james-paterson.html> and <https://www.wikitree.com/wiki/Paterson-810>

¹¹ *Sessional Papers - Volume V - Part III. Second Session of the Second Parliament of the Province of Ontario. Session 1873*

*Provincial Secretary's Office,
Toronto, 11th December, 1872.*

Sir,—With reference to your report of the 3rd instant upon the division courts of the County of Peel, I am instructed to direct you to receive from Adam Simpson, Clerk of the Second Division Court of the County of Peel, the sum of sixty-two dollars and ninety cents, that being the value indicated by you of stamps omitted to be affixed by him to certain documents and papers in that court from the year 1804 to 1872 inclusive. This course has been decided on, as it appears that the omissions in question have arisen from carelessness or error of judgment, and not through any intention to defraud. I am also directed to enquire what action you have taken with reference to the communication addressed to you from this Department under date 5th ultimo.

I have the honour to be,

Sir, -

Your obedient servant,

I. R. Eckart,

Acting Assistant Secretary.¹²

Toronto, 8th January, 1873.

Sir,—I have the honour to inform you that I have this day received from Mr. Adam Simpson, clerk of the second division court of the County of Peel, the sum of sixty-two dollars and ninety cents in accordance with the instructions contained in your letter, No. 1500 of the 11th December, ultimo, and have enclosed the same in a letter of this date to the Honourable the Provincial Treasurer.

I have the honour to be, Sir.

Your obedient servant,

Joseph Dickey,

Inspector of Division Courts.¹³

Simpson occupied the subject property until from 1857 until his death in 1884. His second wife Margaret lived there until her death in 1885, and her daughter Jane Wylie by her first marriage continued to live there until 1914 when the house was sold to Laura Isabella Dalby of Milton for \$1,500. Dalby immediately sold to David Evans, farmer, for \$1,700. Evans died in 1930, leaving the property to his son Charles R. Evans who lived there until 1946 when he and his wife sold to Merrick G. and Inez Hawn for \$3,500. The Hawns sold the property to Mary Alice Dowling in 1948 for \$4,000.

Dowling's Estate sold Lot 7 and part of Lot 8 (274 Victoria Street) to Edith Lillian and Roy Gordon Dowling, mechanic for \$7,500 at her death in 1959. In January 1960, 272 Victoria Street (Lot 6 and part of Lot 8) was sold to Rena Alison and Harold Maynard Dowling, truck driver for \$7,500. It appears that this is when the house was converted to a semi-detached. Figure 15 shows the partition wall between the units. This survey accompanies the Rena Alison and Harold Maynard Dowling purchase of January 4, 1960. William Street has not yet been re-named Barry Avenue, but is closed and a dwelling occupies it. The plan shows the house to be stucco, unlike its current cladding of horizontal siding. Horizontal siding on the house, of one type or another, dates from at least 1975 (Figures 16 - 20). The Plan also notes the division of the property, creating the semi-detached houses.

¹² *Ibid*

¹³ *Ibid*



274 Victoria Street

274 Victoria Street was sold by Edith and Roy Dowling to Nellie Gilbert, widow in May 1961. Gilbert sold the property to Howard Duncan Bell and Ricki-Lee Bell in 1971. In 1974, the Bells transferred the property to Ricki-Lee Bell/Baxter for \$17,568, who, over the next 10 years took out a series of mortgages, eventually selling to Gheorghe and Lenuta Costache in 1989 for \$171,000. Costache received a number of mortgages in the total amount of \$205,000, eventually losing the property to the Toronto-Dominion Bank in 1993. Under Power of Sale, the bank sold 274 Victoria Street to Frank Auciello in trust for \$92,000. Auciello in trust transferred the property to Sylvia Janet Ams for \$147,000 in 1995, who transferred it to 1575636 Ontario Limited for \$225,000 in 2003. It was transferred to the current owner for \$315,000 in 2012.

272 Victoria Street

In 1964, 272 Victoria Street was sold to Audrey Margaret and Joseph Ferguson, truck driver for \$8,000. Audrey Margaret Ferguson sold the property to Gheorghe and Lenuta Costache in 1988 for \$137,500. The Costache's purchased 274 Victoria in 1989 when 272 Victoria was transferred to Lenuta Costache. Like 274 Victoria, Costache lost the property to the bank, this time The Laurentian Bank of Canada. Under Power of Sale, the bank sold the property to Olde York Development Corporation (Frank Auciello, President) in 1994 for \$95,000. Olde York sold to M. J. AMS Development Corp (Sylvia Janet Ams) 4 months later for \$149,000. M. J. AMS sold to 1575636 Ontario Limited for \$220,000 in 2003. The current owner purchased the property in 2012 for \$315,000.

2.2 Listing and written description of existing structures, significance and heritage attributes

The City of Mississauga's 'property Heritage Detail' provides a brief description of the properties - see Appendix 2. The following historic photographs (Figures 16 - 20) are from the City of Mississauga's web pages.



Figure 16

1975 - <http://www.mississauga.ca/portal/residents/streetsvillagegallery?>



Figure 17

1978 - <http://www.mississauga.ca/portal/residents/streetsvillegallery?>

Figure 18

1989 - <http://www.mississauga.ca/portal/residents/streetsvillegallery?>



Figure 19

1989 - <http://www.mississauga.ca/portal/residents/streetsvillegallery?>Figure 18 1989 - <http://www.mississauga.ca/portal/residents/streetsvillegallery?>

The house was built after 1848 and before 1857, likely for John McMaster who owned the property from 1848 to 1857. It is a wood frame, Regency-style, originally 3-bay front, 1½ storey, back-split (2 storeys at the rear), approximately 10m x 14m (34' x 45'). It has a cross-gable hip roof with small twin dormers (perhaps later additions) on the north and south sides. The house was originally rough-cast (stucco) and clad with horizontal aluminum siding sometime after 1959. It is difficult to know what the original windows on the east, north and south sides were, as numerous changes were made when the house was severed into two, and subsequently when it was converted to four apartments, its current configuration.



Figure 21

front (east) facade

The front facade (Figure 21) is much altered from the original, and even the post-division era, as the french doors added in the 1960s have been replaced with modern windows and siding infill. The small gable window is also a modern replacement. Contrast Figure 21 with Figure 18 to see the changes in the past 27 years.

The rear facade (Figures 22 & 23) is two-storeys as a result of the steeply sloping lot which originally was the east bank of the Mullet Creek valley. An enclosed porch and elevated deck are found on the first floor. Entrance to the basement apartment of 272 Victoria street is at the rear (Figure 22). A 20th century brick chimney pierces the porch and gable soffit (Figure 23).



Figure 22

rear entrance to 272 Victoria



Figure 23

rear (west) facade

272 Victoria Street is vacant and the openings are secured with plywood. The north facade has two small roof dormers, a small gable with window and two windows on the first floor, creating a symmetrical facade, broken by the off-centre 20th century brick chimney (Figure 24).



Figure 24

north facade



Figure 25

south facade

The south facade (Figure 25) may have been originally symmetrical like the north side, but window openings have been moved and altered over time. The entrance to the occupied basement apartment is at this side under the deck.

The foundation is poured concrete (Figures 26 & 27). At some point in recent years, the house has been lifted from its original foundation and a new concrete foundation installed. Dimpled foundation drainage board is visible. There is no evidence of a Building Permit for this on the City's website, so the date has not been determined.



Figure 26

north side foundation & drainage board



Figure 27

south side foundation & drainage board

Soffits, fascia, window surrounds, eavestroughs and downspouts are aluminum (Figures 28 & 29).



Figure 28 aluminum soffits, fascia, troughs & downspouts

The interior of the house has been altered significantly to divide it into two in 1959 and then into four apartments. It would appear that almost none of the original interior remains. There are no original finishes remaining except possibly the staircase.



Figure 29 aluminum cladding on dormer

272 Victoria Street is vacant and the interior has been trashed by the evicted tenant (Figures 30 to 35).



Figure 36 rear yard overlooking railway & commuter parking

The apartments at 274 Victoria Street are occupied. The basement apartment was viewed where all interior walls and finishes are relatively recent. The upper apartment at 274 Victoria has sitting tenants and was not available for viewing. Floor plans for 272 Victoria are found in Figures 37 - 39.

Figure 35 2nd floor bedroom - dormer window

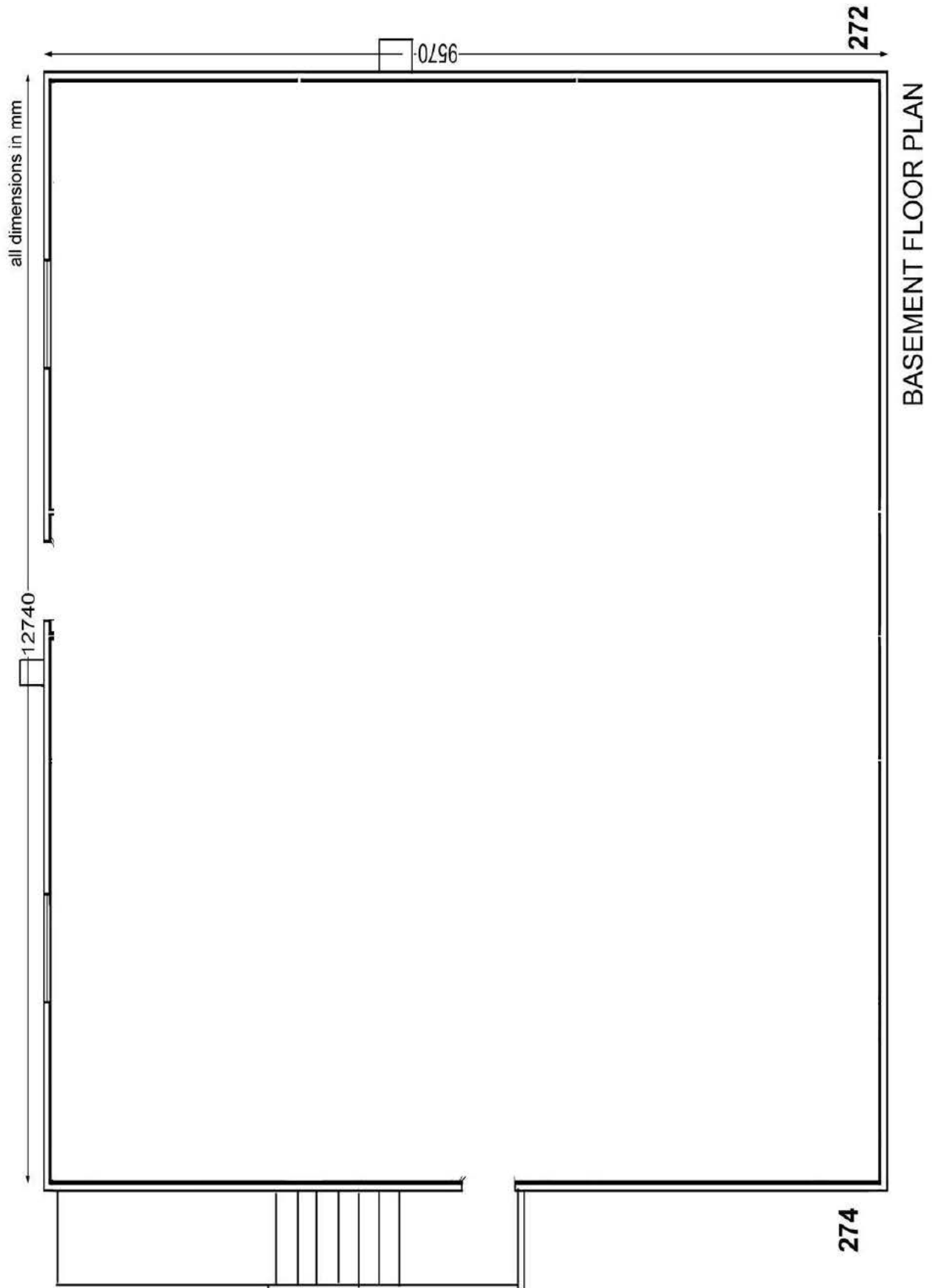


Figure 37

basement floor plan

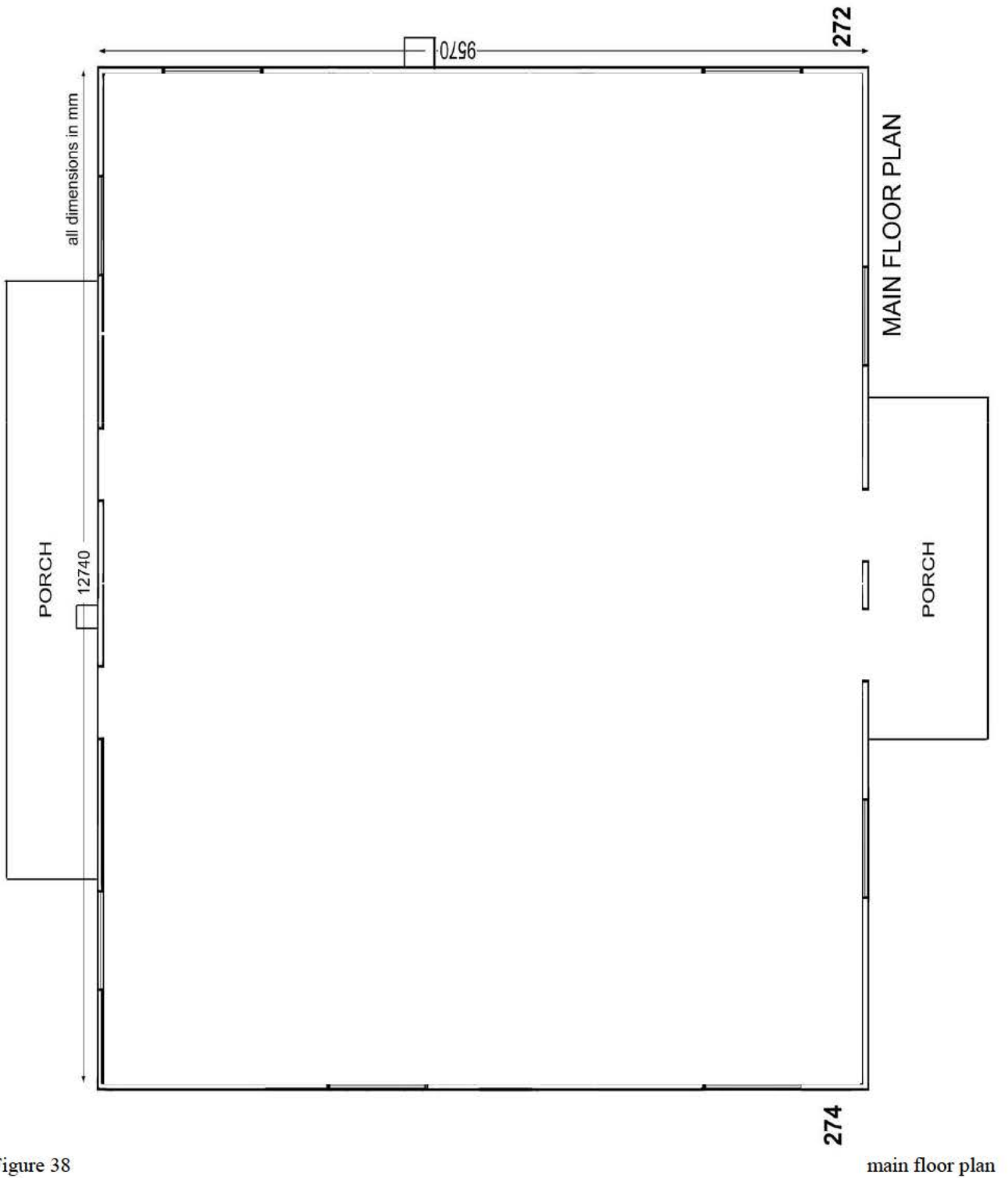


Figure 38

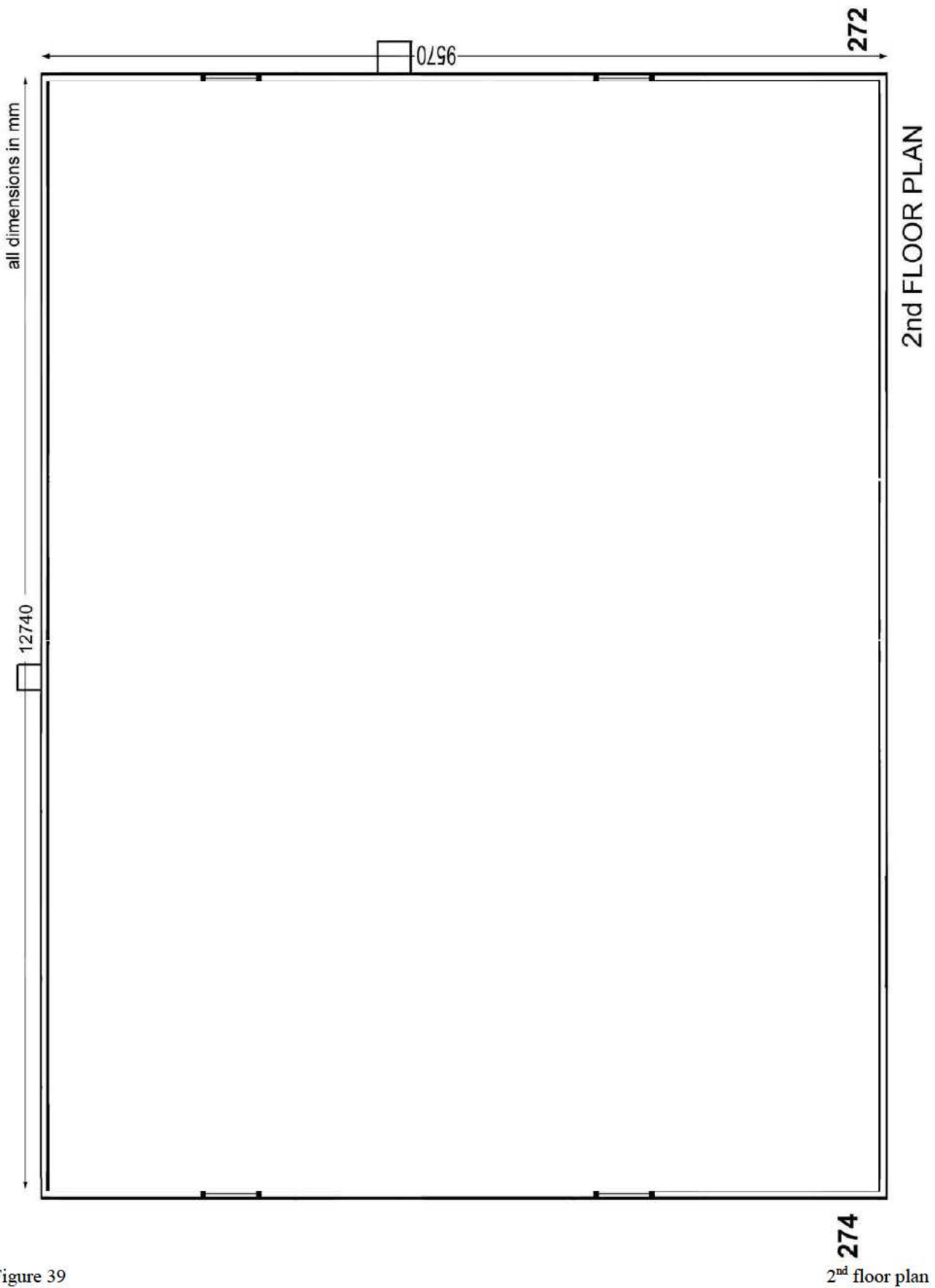


Figure 39

Section 2 of the *Planning Act* indicates that City Council shall have regard to matters of Provincial interest such as the conservation of features of significant architectural, cultural, historical, archaeological or scientific interest. In addition, Section 3 of the *Planning Act* requires that decisions of Council shall be consistent with the *Provincial Policy Statement* (PPS-2014). Policy 2.6.1 of the PPS requires that significant built heritage resources and significant cultural heritage landscapes shall be conserved.¹⁴

The PPS defines “built heritage resource” as a building, structure, monument, installation or any manufactured remnant that **contributes to a property’s cultural heritage value or interest as identified by a community**, including an Aboriginal community. Built heritage resources are generally located on property that has been designated under Parts IV or V of the *Ontario Heritage Act*, or included on local, provincial and/or federal registers. The term “significant” means resources **valued for the important contribution they make to our understanding of the history of a place, an event, or a people**. “Conserved” means the **identification, protection, use and/or management of cultural heritage and archaeological resources in such a way that their heritage values, attributes and integrity are retained under the *Ontario Heritage Act***. This may be achieved by the implementation of recommendations set out in a conservation plan, archaeological assessment, and/or heritage impact assessment.

Ontario Regulation 9/06 ‘Criteria for Determining Cultural Heritage Value or Interest’¹⁵ states for a property to be considered of cultural heritage value or interest, it must meet one or more of the following criteria:

1. have **design value or physical value** because it,
 - is a rare, unique, representative or early example of a style, type, expression, material or construction method,
 - displays a high degree of craftsmanship or artistic merit, or
 - demonstrates a high degree of technical or scientific achievement.
2. have **historical value or associative value** because it,
 - has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community,
 - yields, or has the potential to yield, information that contributes to an understanding of a community or culture, or
 - demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.
3. have **contextual value** because it,
 - is important in defining, maintaining or supporting the character of an area,
 - is physically, functionally, visually or historically linked to its surroundings, or
 - is a landmark.

¹⁴ *Provincial Policy Statement (PPS, 2014)* Cultural Heritage and Archaeology Policies 2.6, InfoSheet #5, Heritage Impact Assessments and Conservation Plans, Winter 2006

¹⁵ *Ontario Heritage Act, Ontario Regulation 9/06* ‘Criteria for Determining Cultural Heritage Value or Interest’ January 25, 2006

2.3 Addressing the Cultural Landscape criteria¹⁶

Heritage Impact Statements for properties within a Cultural Heritage Landscape must demonstrate how the proposed development will conserve the criteria that render it a cultural heritage landscape and/or feature. Each cultural heritage landscape and feature includes a checklist of criteria. The checked criteria for the Streetsville Village Core Cultural Heritage Landscape are:

HISTORICAL ASSOCIATION

- ☒ Illustrates Style, Trend or Pattern
- ☒ Illustrates Important Phase in Mississauga's Social or Physical Development

BUILT ENVIRONMENT

- ☒ Aesthetic/Visual Quality
- ☒ Designated Structures

OTHER

- ☒ Historical or Archaeological Interest

To conserve the “historical associations”, “aesthetic/visual qualities” and “historical interest” criteria, the proposed alteration must be consistent with the retention of the appearance of Streetsville to ensure that the character of this part of Mississauga remains intact. Streetsville retains a portfolio of heritage buildings of a consistent scale and portrays a period landscape of a small village. It is important that this appearance and character be retained.¹⁷

The structure on the property dates from circa 1850s with significant modifications. It does not meet the criteria for significant under Regulation 9/06 of the *Ontario Heritage Act*. It is part of an early phase in Mississauga's physical development. It has little aesthetic/visual quality and is not a designated structure. No adjacent structures are designated; one structure in the next block is. There is no known archaeological interest; historic interest documented in this IA.

Figure 4 is an aerial view of the block context in which the subject property is located. The area is comprised of a mix of old and new rhythms and church parking lots. Figures 41 - 48 are of the environs.

¹⁶ *Cultural Landscape Inventory*, City of Mississauga, the Landplan Collaborative Ltd. January 2015
http://www5.mississauga.ca/pdfs/Cultural_Landscape_Inventory_Jan05.pdf

¹⁷ *Ibid*



Figure 40 neighbourhood cultural landscape context & zoning - <http://www.mississauga.ca/portal/services/maps>



Figure 41

United Church parking lot directly across Victoria Street



Figure 42

264 Victoria Street - northerly neighbour



Figure 43

278 Victoria Street - southerly neighbour



Figure 44

280 to 294 Victoria Street - 1960s bungalows



Figure 45

looking east on Barry Avenue from Victoria Street



Figure 46

William Cunningham House, c. 1860 designated under Part IV - Victoria & Barry



Figure 47

Wylie/Patterson House, c. 1860 - 263 Victoria Street



Figure 48

272 - 274 Victoria Street and neighbours

The Victoria Street streetscape surrounding the subject property is illustrated in Figure 49.



Figure 49

streetscape, left to right - 278, 274-272, 270 Victoria Street looking west

2.4 The proposed development

The development proposal for this property and the adjacent property at 278 Victoria Street is illustrated in Figure 50. 278 Victoria Street is not listed on the City's Heritage Register.



Figure 50

proposed streetscape - after *RN Design*, March 22, 2016

A proposed Site Plan is illustrated in Figure 51.

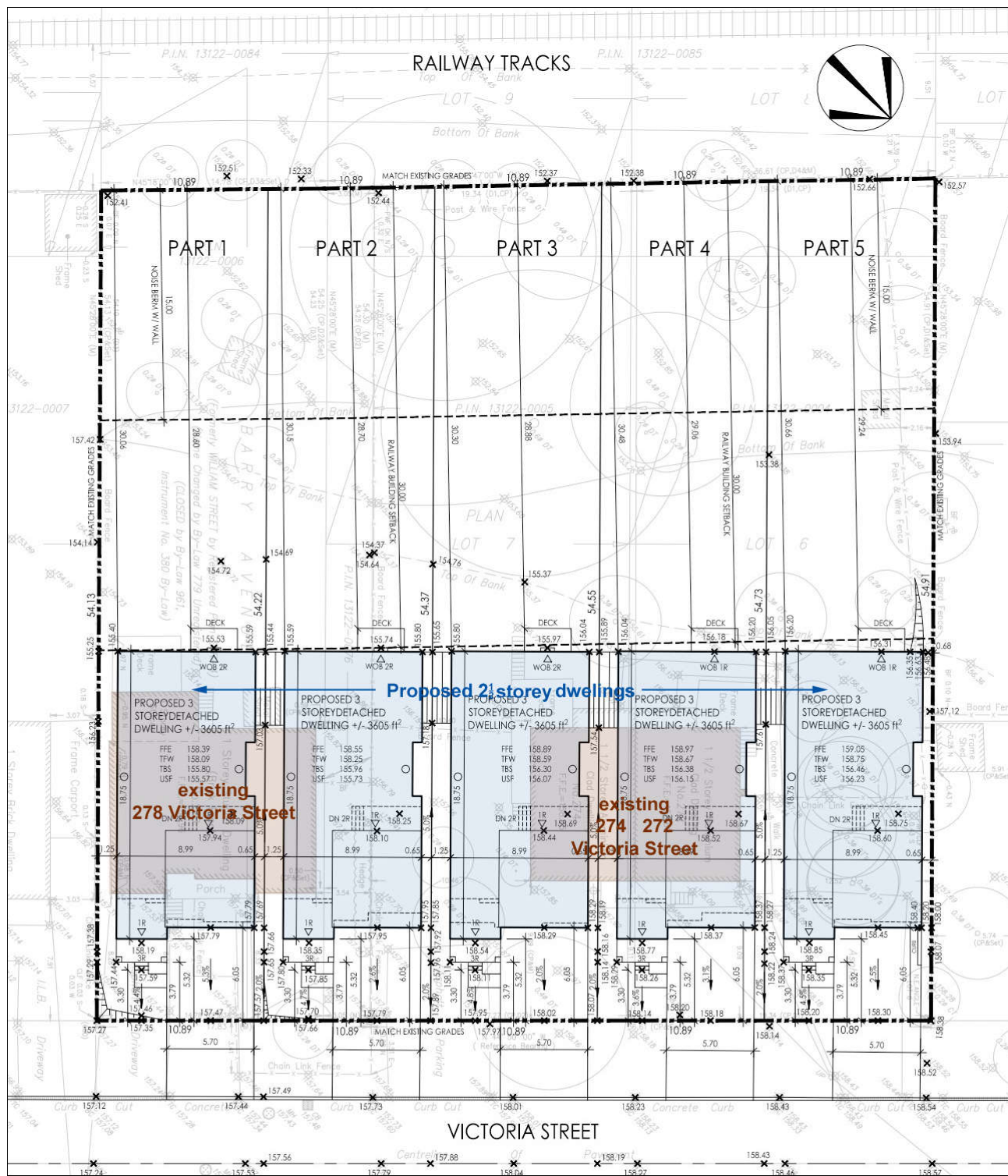


Figure 51

Proposed Site Plan - RN Design Ltd., May 17, 2016

Five 2½-storey dwellings are proposed to replace the existing three dwellings (two buildings). Each new home would have a frontage of 10.89 metres (the Zoning By-law requires 12 m). Other site statistics can be found in Figure 52. Most requirements of the current zoning are met, including the maximum height permitted.

SITE STATS						
ZONE R4						
REGULATIONS	REQUIRED	PROPOSED				
		PART 1	PART 2	PART 3	PART 4	PART 5
MINIMUM LOT AREA	365 m ²	589.81 m ²	591.00 m ²	592.91 m ²	594.87 m ²	596.84 m ²
MINIMUM LOT FRONTAGE	12.0 m	10.89 m	10.89 m	10.89 m	10.89 m	10.89 m
MAXIMUM LOT COVERAGE	40%	167.11 m ² (28.33%)	167.11 m ² (28.28%)	167.11 m ² (28.18%)	167.11 m ² (28.09%)	167.11 m ² (28.00 %)
MINIMUM FRONT YARD	6.0 m	5.32 m	5.32 m	5.32 m	5.32 m	5.32 m
MINIMUM FRONT GARAGE FACE	6.0 m	6.05 m	6.05 m	6.05 m	6.05 m	6.05 m
MINIMUM INTERIOR SIDE YARD	1.2 m	1.25 m / 0.65 m	1.25 m / 0.65 m	1.25 m / 0.65 m	1.25 m / 0.65 m	1.25 m / 0.65 m
MINIMUM REAR YARD (30.0 m TO RAILWAY R.O.W.)	7.5 m	30.06 m	30.15 m	30.30 m	30.48 m	30.66 m
MAXIMUM HEIGHT	10.7 m	10.31 m	10.10 m	10.29 m	10.06 m	10.14 m
MAXIMUM DRIVEWAY WIDTH	6.0 m	5.70 m	5.70 m	5.70 m	5.70 m	5.70 m
MINIMUM LANDSCAPED SOFT AREA IN YARD CONTAINING DRIVEWAY	40%	20.04 m ² (34.64%)	20.06 m ² (34.68%)	20.04 m ² (34.64%)	20.08 m ² (34.71%)	20.07 m ² (34.69%)
GROSS FLOOR AREA	N/A	334.92 m ²	334.92 m ²	334.92 m ²	334.92 m ²	334.92 m ²

Figure 52

site statistics from *RN Design Ltd.* Site Plan, May 17, 2016

Neighbouring properties vary in height from a single storey to two-storeys. Lot coverage varies from zero (parking lot) to +/- 40 percent.

With respect to the Streetsville Village Core Cultural Heritage Landscape, the potential impacts and an assessment of the proposed site alteration follows.

Potential Impact	Assessment
<ul style="list-style-type: none"> Destruction of any, or part of any, significant heritage attributes or features 	no significant heritage attributes or features
<ul style="list-style-type: none"> Removal of natural heritage features, including trees 	no significant natural heritage features - trees are invasive weed species, Manitoba Maple and Crack Willow
<ul style="list-style-type: none"> Alteration that is not sympathetic, or is incompatible, with the historic fabric and appearance 	current appearance of the property will be altered by replacing 1½-storey semi-detached & single-storey detached home with five 2½-storey detached homes
<ul style="list-style-type: none"> Shadows created that alter the appearance of a heritage attribute or change the viability of an associated natural feature, or plantings, such as a garden 	no impact
<ul style="list-style-type: none"> Isolation of a heritage attribute from its surrounding environment, context or a significant relationship 	not applicable
<ul style="list-style-type: none"> Direct or indirect obstruction of significant views or vistas within, from, or of built and natural features 	no direct or indirect obstruction of significant views or vistas - no negative impact

Potential Impact	Assessment
<ul style="list-style-type: none"> A change in land use where the change in use negates the property's cultural heritage value 	no land use change
<ul style="list-style-type: none"> Land disturbances such as change in grade that alter soils, and drainage patterns that adversely affect cultural heritage resources 	not applicable

The impact of the proposed development/site alteration is a change in the view on Victoria Street, from a 1½-storey semi-detached home and a single-storey detached home to five 2½-storey detached homes. The architectural style of the new proposed built form reflects the values of the Streetsville Village Core Cultural Heritage Landscape and its characterizations that make up that cultural landscape in a similar vein as other recent new built-form examples in the next block including the adjacent lot at Figure 53. (Figures 53 - 55).



Figure 53

Thomas Street at Broadway



Figure 54

Broadway & Pearl Streets



Figure 55

rendering 215 Broadway

With respect to the *Design Guidelines, Historic Streetsville*¹⁸ the subject property is in the “Areas in Transition” character area of Streetsville (Figure 56). The general heritage guidelines apply to this area as well as the “new construction” item for the “Residential Character Areas”.

¹⁸ *Design Guidelines, Historic Streetsville*, Planning and Building Department, Development and Design, City of Mississauga, July 2011

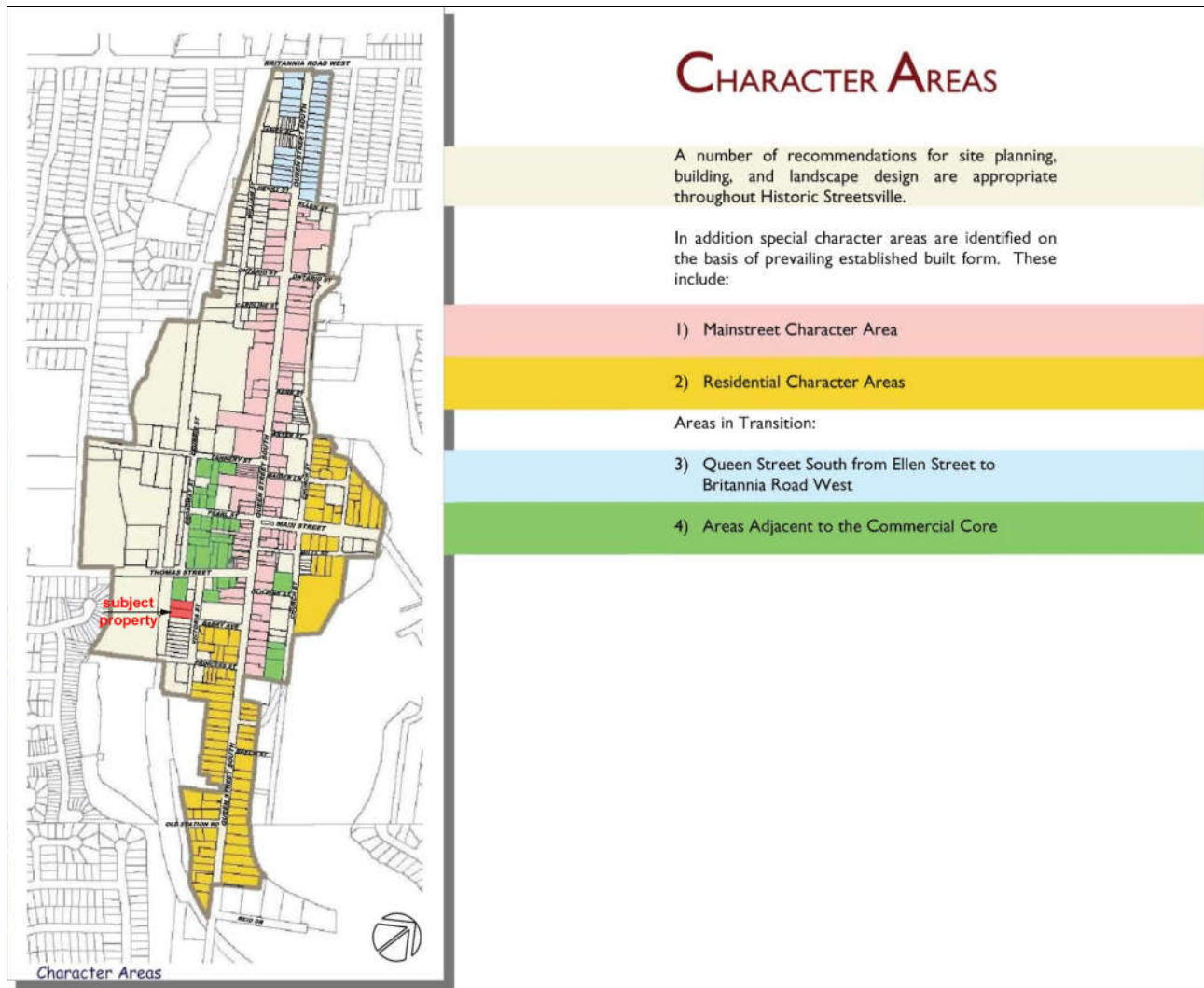


Figure 56

Character Areas from: *Design Guidelines, Historic Streetsville*, July 2011

Applicable general guidelines are:

- *Buildings and additions should be designed to reflect the nearby scale, character, and massing of construction with particular attention to detailing, trim, materials, colours, proportions, and the orderly arrangement of windows, dormers, and roof forms.*

The proposed buildings (Figure 50) reflect the scale of nearby newer buildings, but not the immediately adjacent 1960s ranch bungalows or the mix of neighbourhood 19th century 1½ and 2 storey buildings.

- *Designs rich in architectural detail, and which respect the rhythm and pattern of surrounding buildings through the alignment of windows, doors, cornices, and fascias, are encouraged.*

The design of the proposed residences is rich in architectural detail with both symmetrical and asymmetrical facades aligning one with the other.

- *Predominantly vertical proportions are preferred in most cases.*

Vertical proportions are used throughout.

- *Window styles should be consistent with the architectural period of the building.*

Complies

- *Broad expanses of glass should be partitioned to create smaller rectangular units and vertical proportions.*
Complies
- *Building setbacks are determined through the requirements of Mississauga Zoning By-law #0225-2007 and on the basis of neighbourhood context. The precedents established by surrounding development should be used to establish appropriate setbacks so that development reinforces the existing scale and character of the community.*
Building setbacks are consistent with the zoning by-law and the neighbourhood.

Applicable “Residential Character Area” new construction guidelines are:

- *The scale, character, and nature of building in the surrounding neighbourhood, including building height, setbacks, roof forms, the number of bays, the predominance of porches, the placement of garages and openings, and building materials should be considered precedents for new building design, and the design of additions and secondary structures.*
The area of the subject property, and specifically Victoria Street, is a *potpourri* of 19th century and 1960s houses and a parking lot. There is no consistency of scale or character; nonetheless, the proposed houses relate
- *New construction should not be made to appear "traditional" through the application of inappropriate architectural elements and details, but should instead reflect the materials, scale, rhythm, and proportions of nearby dwellings.*
Complies
- *Front doors should always face the street for purposes of aesthetics, safety, surveillance, and crime prevention.*
Complies

2.5 Assessment of alternative development options and mitigation measures

The Heritage Impact Assessment is to assess alternative development options and mitigation measures in order to avoid or limit the negative impact on the cultural heritage resources. Methods of minimizing or avoiding negative impact on cultural heritage resources, noted by the Ministry of Culture, include but are not limited to the following:

- *Alternative development approaches*
Alternative development approaches have not, to our knowledge, been proposed. It would appear that, to comply with the R4 zoning regulations, alternatives would consist of other forms of detached dwellings.
- *Isolating development and site alteration from the significant built and natural heritage features and vistas*
There are no significant built and natural heritage features and vistas on site or adjacent.
- *Design guidelines that harmonize mass, setback, setting and materials*
- Limiting height and density
- Allowing only compatible infill and additions
- Reversible alterations

These alternate forms of development options presented in the Heritage Impact Assessment must be evaluated and assessed by the heritage consultant writing the report as to the best

option to proceed with and the reasons why that particular option has been chosen.

2.6 Conservation - principles and mitigation

The City's terms of reference for an require the following with respect to this summary: "*A summary of conservation principles and how they will be used must be included. The conservation principles may be found in publications such as: Parks Canada – Standards and Guidelines for the Conservation of Historic Places in Canada; Eight Guiding Principles in the Conservation of Historic Properties, Ontario Ministry of Culture. (Both publications are available online.)*"¹⁹

The historic place is not considered significant. The proposal is to demolish the property, rendering the standards, guidelines and guiding principles not applicable.

Pertinent cultural heritage policies of the City of Mississauga's *Official Plan* (October 14, 2015), 7 - Complete Communities section include:

7.4.1.10 *Applications for development involving cultural heritage resources will be required to include a Heritage Impact Assessment prepared to the satisfaction of the City and other appropriate authorities having jurisdiction.*

The purpose of this HIA is to satisfy this policy.

7.4.2.2 *Prior to the demolition or alteration of a cultural heritage resource, documentation will be required of the property to the satisfaction of the City, and any appropriate advisory committee. This documentation may be in the form of a Heritage Impact Assessment.*

The purpose of this HIA is to satisfy this policy.

2.7 Proposed demolition / alterations explained

No loss of a significant cultural heritage resource will result from the demolition. The impact on the streetscape of the proposal is expected to be minimal, being compatible with the existing streetscape and eclectic immediate environs.

2.8 Alternatives for salvage mitigation

There appears to be no original fabric on either the interior or the exterior of this building, save and except the staircase which might be considered for salvage.

2.9 Qualifications of the author completing the Heritage Impact Assessment

See appendix 4.

¹⁹ City of Mississauga *Heritage Impact Assessment Terms of Reference*, February 2016

3.0 SUMMARY STATEMENT and CONSERVATION RECOMMENDATIONS

- The cultural heritage resource is not significant.
- No negative impact from the proposed development is expected.

4.0 MANDATORY RECOMMENDATION

The terms of reference require the consultant to write a recommendation as to whether the subject property is worthy of heritage designation in accordance with the heritage designation criteria per Regulation 9/06, *Ontario Heritage Act*. The following questions must be answered in the final recommendation of the report:

“1. Does the property meet the criteria for heritage designation under the Ontario Regulation 9/06, Ontario Heritage Act?”

It is the opinion of the consultant that the property at 272 - 274 Victoria Street does not meet the criteria for Part IV heritage designation.

“2. If the subject property does not meet the criteria for heritage designation then it must be clearly stated as to why it does not.”

The potential built heritage resource and potentially significant heritage resource on this property is the **c. 1850s** now **semi-detached house**. The house is listed on the City’s *Heritage Register*. The properties were originally under one ownership and functioned as a single-family house. It was divided in 1959 and then further divided into 4 apartments. It is again under one ownership. The house has been “updated” over time with horizontal aluminum siding replacing the original stucco, aluminum soffits and fascia, changed window and door locations, replacement windows, skylights, an enclosed rear porch, and a poured concrete foundation. The interior has been much modified. The house **does not have design value or physical value**. It is not a representative or early example of a style, type, expression, material or construction method; it does not display a high degree of style and craftsmanship or artistic merit, nor does it demonstrate a high degree of technical or scientific achievement. The property **does not have historical value or associative value** as it does not have direct associations with a theme, event, belief, person, activity, organization or institution that is significant to the community. It does not yield nor have the potential to yield, information that would contribute to an understanding of the community or culture, nor does it demonstrate or reflect the work or ideas of an architect, artist, builder, designer or theorist who is significant to the community. Its potential **contextual value** is much diminished by the many changes to the immediate neighbourhood with demolitions for a parking lot and the addition of modern suburban bungalows on the street.

“3. Regardless of the failure to meet criteria for heritage designation, does the property warrant conservation as per the definition in the Provincial Policy Statement.”

Although the property is not considered significant, if it were not so greatly altered and in such degraded condition, it could be worthy of conservation in the consultant’s opinion. To restore the property to its original configuration as a single family home or for an adaptive re-use that is compatible with the zoning and the neighbourhood would require an heroic effort, one that would not be economically feasible. The many alterations and the building’s condition do not warrant this type of action.

This Heritage Impact Assessment is respectfully submitted by:

CHC Limited

A handwritten signature in black ink, appearing to read "Owen R. Scott", with a stylized flourish at the end.

per: Owen R. Scott, OALA, FCSLA, CAHP

REFERENCES

Bristow, Fitzgerald & Spencer, *A New Plan of Streetsville, 1856* [map]. Library and Archives Canada.

http://collectionscanada.gc.ca/pam_archives/index.php?fuseaction=genitem.displayEcopies&lang=eng&rec_nbr=4137370&rec_nbr_list=3692568.4&title=A+New+plan+of+Streetsville+from+actual+survey+%26+careful+reference+to+original+plans+%26+documents+published+for+subscribers+by+Bristow%2C+Fitzgerald+%26+Spencer.+%5Bcartographic+material%5D.+&ecopy=n0011443&new_width=100

City of Mississauga Heritage Impact Assessment Terms of Reference, February 2016

City of Mississauga Cultural Landscape Heritage Impact Assessment Terms of Reference 2016

City of Mississauga heritage files - <http://www.mississauga.ca/portal/services/property>

City of Mississauga maps - <http://www.mississauga.ca/portal/services/maps>

City of Mississauga Heritage Mississauga website - <http://www.heritagemississauga.com/history.htm>

Heritage Mississauga web page <http://heritagemississauga.com/page/Barberton>.

Illustrated Historical Atlas of the County of Peel, Ont., Walker & Miles, Toronto 1877

Landplan Collaborative Ltd. (The) *Cultural Landscape Inventory, City of Mississauga*, January, 2005

Library and Archives Canada, 1851 Census, <http://www.bac-lac.gc.ca/eng/census/1851/Pages/about-census.aspx>

Library and Archives Canada, 1861 Census, <http://www.bac-lac.gc.ca/eng/census/1861/Pages/about-census.aspx>

Library and Archives Canada, 1871 Census, <http://www.bac-lac.gc.ca/eng/census/1871/Pages/about-census.aspx>

Library and Archives Canada, 1881 Census, <http://www.bac-lac.gc.ca/eng/census/1881/Pages/about-census.aspx>

Ontario Regulation 9/06 'Criteria for Determining Cultural Heritage Value or Interest' January 25, 2006

Ontario Ministry of Tourism, Culture and Sport website

http://www.mtc.gov.on.ca/en/publications/InfoSheet_8%20Guiding_Principles.pdf

Mississauga Library System Historic Images Gallery

<http://www.mississauga.ca/portal/residents/streetsvillegallery>

Parks Canada website www.parkscanada.gc.ca

Province of Ontario *Ontario Heritage Act, R.S.O. 1990, c. O.18*

Province of Ontario *Provincial Policy Statement (PPS, 2014)* Cultural Heritage and Archaeology Policies 2.6

Province of Ontario *InfoSheet #5, Heritage Impact Assessments and Conservation Plans*, Winter 2006

Scobie's Canadian Almanac, and Repository of Useful Knowledge for the Year 1852, Being Leap Year Containing Full and Authentic Commercial, Statistical, Astronomical, Departmental, Ecclesiastical, Educational, Financial, and General Information, Toronto: Hugh Scobie

Sessional Papers - Volume V - Part III. Second Session of the Second Parliament of the Province of Ontario. Session 1873

The Canadian Almanac, and Repository of Useful Knowledge, for the Year 1860, Being Leap Year, Containing Full and Authentic Commercial, Statistical, Astronomical, Departmental, Ecclesiastical, Educational, Financial, and General Information. Toronto: MacLear & Co.

The Canadian Almanac, and Repository of Useful Knowledge, for the Year 1867, Being the Third after Leap Year, Containing Full and Authentic Commercial, Statistical, Astronomical, Departmental, Ecclesiastical, Educational, Financial, and General Information. Toronto: W. C. Chewett & Co.

Tremaine, George R. *Tremaine's Map of the County of Peel, Canada West*. Toronto, lithographed by John Ellis for G. R. and G. M. Tremaine. 1859.

Appendix 1

Chain of Title - PINS 13122-0004 & 13122-0005 - 272-274 Victoria Street, Mississauga

no.	instrument	instrument date	registered date	acres	from	to	sale price
	Patent	3 January 1828		200	The Crown	Kings College	
23152	B & S	31 July 1844	27 August 1844	100	Kings College	William Cawthra	
27561	B & S	8 October 1846	8 October 1846	2	William Cawthra	John Street	£50
40681	B & S	17 November 1848	27 May 1851	2	John Street	John McMaster	£ 62.10
3040	B & S	17 March 1857	2 April 1880	2	John McMaster	Adam Simpson	£394
1761	Grant	5 June 1914	3 November 1930	2	Estate of Margaret Simpson	Laura I. Dalby	\$1,500
1222	B & S	5 June 1914	15 October 1914	2	Laura I. Dalby	David Evans	\$1,700
1762	Grant	31 October 1930	3 November 1930	2	Estate of David Evans	Charles Evans	
2321	Grant	7 September 1946	18 Sept. 1946	2	Charles Evans	Merrick G. Hawn & Inez Hawn	\$3,500
2451	Grant	15 April 1948	17 April 1948	2	Merrick G. Hawn & Inez Hawn	Mary A. Dowling	\$4,000
7074*	Grant	6 July 1959	23 January 1960	1	Estate of Mary A. Dowling	Edith L. & Roy G. Dowling	\$7,500
7082*	Grant	4 January 1960	2 February 1960	1	Estate of Mary A. Dowling	Rena A. & Harold M. Dowling	\$7,500
* these sales resulted in the division of the house to a semi-detached							
272 Victoria Street							
8801	Grant	23 September 1964	30 Sept 1964	1	Rena A. & Harold M. Dowling	Audrey M. & Joseph Ferguson	\$8,000
847864	Grant		6 January 1988	1	Audrey Margaret Ferguson	Gheorghe & Lenuta Costache	
877836	Grant		01 April 1989	1	Gheorghe & Lenuta Costache	Lenuta Costache	
RO1064340	Transfer		03 May 1994	1	Laurentian Bank	Olde York Development Corp	\$95,000
RO1098735	Transfer		18 Sept. 1995	1	Olde York Development Corp	M. J. AMS Development Corp	\$149,000
PR460692	Transfer		02 July 2003	1	M. J. AMS Development Corp	1575636 Ontario Limited	\$220,000
PR2145893	Transfer		02 February 2012	1	1575636 Ontario Limited	current owner	\$315,000

Appendix 1

Chain of Title - PINS 13122-0004 & 13122-0005 - 272-274 Victoria Street, Mississauga

no.	instrument	instrument date	registered date	acres	from	to	sale price
274 Victoria Street							
7552	Grant	01 May 1961	10 May 1961	1	Edith L. & Roy G. Dowling	Nellie Gilbert	
161563VS	Grant	15 January 1971	7 February 1971	1	Nellie Gilbert	Howard D. & Ricki-Lee Bell	
341618VS	Grant	8 November 1974	30 January 1975	1	Howard D. & Ricki-Lee Bell	Ricki-Lee Bell/Baxter	\$17,568
878000	Grant		05 January 1989	1	Ricki-Lee Baxter	Gheorghe Costache	\$171,000
RO1064083	Transfer	13 April 1994	29 April 1994	1	Toronto Dominion Bank	Frank Auciello in trust	\$92,000
RO1102337	Transfer		03 Nov 1995	1	Frank Auciello in trust	Sylvia Janet Ams	\$147,000
PR460672	Transfer		02 July 2003	1	Sylvia Janet Ams	1575636 Ontario Limited	\$225,000
PR2145892	Transfer		02 February 2012	1	1575636 Ontario Limited	current owner	\$315,000

Appendix 2

Property Heritage Detail ¹⁸**Property Information**

All recognized heritage properties are listed on the City's Heritage Register. Some of these properties are designated under the Ontario Heritage Act. For more information visit [Heritage Planning](#).

Property Details	Zoning Information	Building Permits	Development Applications	Committee of Adjustment	Heritage	Map It
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PROPERTY HERITAGE DETAIL**Property Heritage Detail**

Address: 272 VICTORIA ST
 Type: RESIDENTIAL
 Style: REGENCY - COTTAGE

Area: STREETSVILLE
 Reason: ARCHITECTURAL

Images**History**

Built for Adam Simpson in 1840s. Converted to double house after 1884. Frame, rough-cast, with French windows. This is a one and one half storey white siding structure with a Credit Valley stone foundation. The structure was originally a single family detached dwelling but is now semi-detached. There was originally a porch on three sides. There is a hip roof with asphalt shingles, a gable and gambrel dormers. There is a symmetrical eastern four bay facade, while the windows are double hung sash one over one and within the French doors three and eight panes. Noted features of the structure include double doors on the east, an exterior north chimney, an east covered portico, a central chimney and an enclosed porch at the rear.

²⁰ City of Mississauga website: <http://www.mississauga.ca/portal/services/property?>

Appendix 2

Property Heritage Detail ¹⁹

Property Heritage

Address:	272-274 VICTORIA STREET	Area:	STREETSVILLE
Status:	LISTED ON THE HERITAGE REGISTER BUT NOT DESIGNATED		
Type:	STREETSVILLE CORE	Reason:	CULTURAL LANDSCAPE

History: The main core of the community retains the distinct scale and character of a rural farming town. New developments continue to respect the scale of shop fronts along the main portion of Queen Street South, and the residential character of large lots with mature trees is typified in the south end transitional approach to the Village. The north end of the Village is also characterized with a residential and commercial mix found in many small towns throughout Ontario. Care should be taken to ensure that the appearance of Streetsville, including extant churches, cemeteries, public buildings and open spaces, is retained in the face of future development pressures to ensure that the character of this part of Mississauga remains intact. There are over ninety heritage properties listed, many which are designated. Streetsville is recognized as a significant cultural landscape because it retains a portfolio of heritage buildings of a consistent scale and portrays a period landscape of a small village.

²²

²¹ *Ibid*

²² http://www.mississauga.ca/portal/services/property?paf_portalId=default&paf_communityId=200005&paf_pageId=2700006&paf_dm=shared&paf_gear_id=6500016&paf_gm=content&paf_gear_id=6500016&action=heritage&heritageTab=yes&propDetailsTab=no&id=133376&addressId=225549&pin=null&rollNumber=2105120006033000000&redirectPage=1
City of Mississauga Property information, property heritage detail



Cultural Landscape Inventory

Streetsville Village Core

L-HS-3

Heritage or Other Designation Numerous designated properties

Location Located on Mississauga Road west of the Credit River and south of Britannia Road

Landscape Type Historic Settlement (Village)

LANDSCAPE ENVIRONMENT

- ☐ Scenic and Visual Quality
- ☐ Natural Environment
- ☐ Horticultural Interest
- ☐ Landscape Design, Type and Technological Interest

HISTORICAL ASSOCIATION

- ☒ Illustrates Style, Trend or Pattern
- ☐ Direct Association with Important Person or Event
- ☒ Illustrates Important Phase in Mississauga's Social or Physical Development
- ☐ Illustrates Work of Important Designer

BUILT ENVIRONMENT

- ☒ Aesthetic/Visual Quality
- ☐ Consistent Early Environs (pre-World War II)
- ☐ Consistent Scale of Built Features
- ☐ Unique Architectural Features/Buildings
- ☒ Designated Structures

OTHER

- ☒ Historical or Archaeological Interest
- ☐ Outstanding Features/Interest
- ☐ Significant Ecological Interest
- ☐ Landmark Value





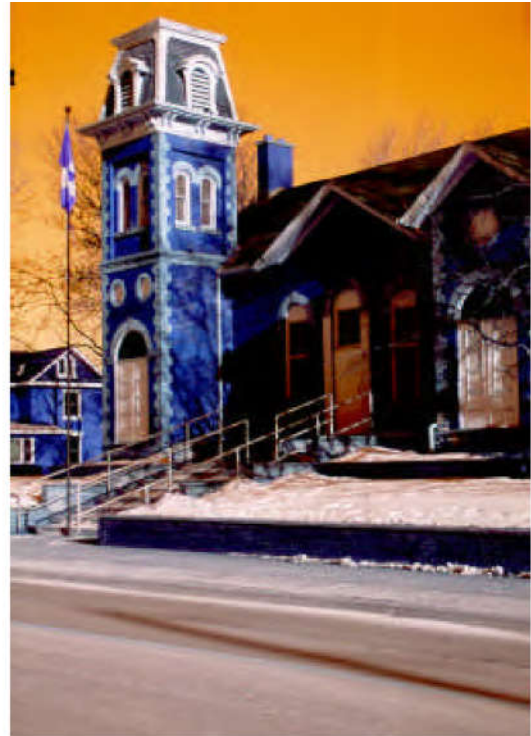
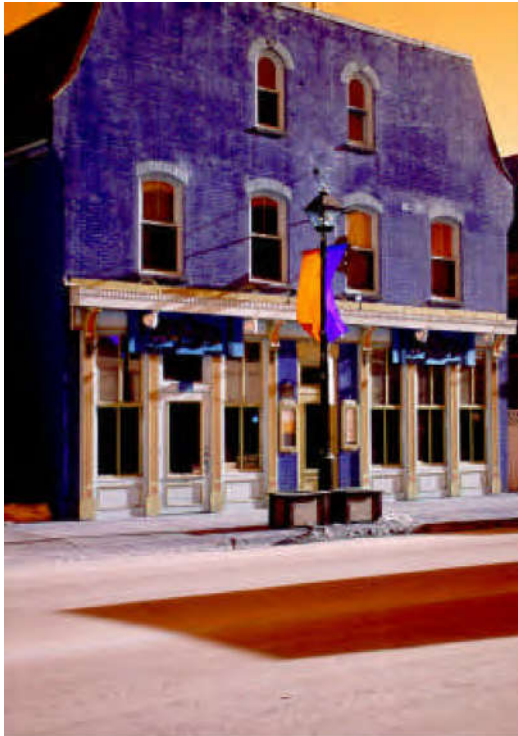
Cultural Landscape Inventory

Streetsville Village Core

L-HS-3

SITE DESCRIPTION

Despite the encirclement of Streetsville by encroaching urbanization over the past twenty years, the main core of the community retains the distinct scale and character of a rural farming town. New developments continue to respect the scale of shop fronts along the main portion of the street and local features have crept into the many forecourt walls fronting buildings to the north end of the core area. Because of its integration with the surrounding development, the core area remains a local service centre to its surrounding community - albeit to a much larger population base. Care should be taken to ensure that the appearance of Streetsville, including extant churches, cemeteries and public buildings, is retained in the face of future development pressures to ensure that the character of this part of Mississauga remains intact. There are over ninety heritage properties listed, many of which are designated. Streetsville is recognized as a significant cultural landscape because it retains a portfolio of heritage buildings of a consistent scale and portrays a period landscape of a small village.



http://www5.mississauga.ca/pdfs/Cultural_Landscape_Inventory_Jan05.pdf

Appendix 4

Qualifications of the Author

R E S U M E

OWEN R. SCOTT, *OALA, FCSLA, CAHP*

Education:

Master of Landscape Architecture (MLA) University of Michigan, 1967

Bachelor of Science in Agriculture (Landscape Horticulture), (BSA) University of Guelph, 1965

Professional Experience:

1965 - present President, CHC Limited, Guelph, ON
 1977 - present President, The Landplan Collaborative Ltd., Guelph, ON
 1977 - 1985 Director, The Pacific Landplan Collaborative Ltd., Vancouver and Nanaimo, BC
 1975 - 1981 Editor and Publisher, *Landscape Architecture Canada*, Ariss, ON
 1969 - 1981 Associate Professor, School of Landscape Architecture, University of Guelph
 1975 - 1979 Director and Founding Principal, Ecological Services for Planning Limited, Guelph, ON
 1964 - 1969 Landscape Architect, Project Planning Associates Limited, Toronto, ON

Historical Research, Heritage Landscape Planning and Restoration Experience and Expertise

Current Professional and Professional Heritage Associations Affiliations:

Member: Alliance for Historic Landscape Preservation (AHLP) - 1978 -
 Member: Canadian Association of Heritage Professionals (CAHP) - 1987 -
 Member: Ontario Association of Landscape Architects (OALA) - 1968 - (Emeritus 2016)
 Member: Canadian Society of Landscape Architects (FCSLA) - 1969 - (Fellow 1977, Life Member 2016)

Community and Professional Society Service (Heritage):

Director: Canadian Association of Heritage Professionals (CAHP), 2002 - 2003
 Member: Advisory Board, Architectural Conservancy of Ontario, 1980 - 2002
 Member: City of Guelph Local Architectural Conservation Advisory Committee (LACAC), 1987 - 2000 (Chair 1988 - 1990)
 Member: Advisory Council, Centre for Canadian Historical Horticultural Studies, 1985 - 1988

Professional Honours and Awards (Heritage):

Merit Award	2016	Canadian Association of Heritage Professionals Awards, City of Kitchener Cultural Heritage Landscapes
National Award	2016	Canadian Society of Landscape Architects (CSLA), City of Kitchener Cultural Heritage Landscapes
Mike Wagner Award	2013	Heritage Award - Breithaupt Block, Kitchener, ON
People's Choice Award	2012	Brampton Urban Design Awards, Peel Art Gallery, Museum and Archives, Brampton, ON
Award of Excellence	2012	Brampton Urban Design Awards, Peel Art Gallery, Museum and Archives, Brampton, ON
National Award	2009	Heritage Canada Foundation National Achievement, Alton Mill, Alton, ON
Award of Merit	2009	Canadian Association of Heritage Professionals Awards, Alton Mill, Alton, ON
Award	2007	Excellence in Urban Design Awards, Heritage, Old Quebec Street, City of Guelph, ON
Award	2001	Ontario Heritage Foundation Certificate of Achievement
Award	1998	Province of Ontario, Volunteer Award (10 year award)
Award	1994	Province of Ontario, Volunteer Award (5 year award)
Regional Merit	1990	CSLA Awards, Britannia School Farm Master Plan
National Honour	1990	CSLA Awards, Confederation Boulevard, Ottawa
Citation	1989	City of Mississauga Urban Design Awards, Britannia School Farm Master Plan
Honour Award	1987	<i>Canadian Architect</i> , Langdon Hall Landscape Restoration, Cambridge, ON
Citation	1986	<i>Progressive Architecture</i> , The Ceremonial Routes (Confederation Boulevard), Ottawa,
National Citation	1985	CSLA Awards, Tipperary Creek Heritage Conservation Area Master Plan, Saskatoon, SK
National Merit	1984	CSLA Awards, St. James Park Victorian Garden, Toronto, ON
Award	1982	Ontario Ministry of Municipal Affairs Ontario Renews Awards, Millside, Guelph, ON

Appendix 4

Qualifications of the Author

Selected Heritage Publications:

- Scott, Owen R., The Southern Ontario "Grid", *ACORN* Vol XXVI-3, Summer 2001. *The Journal of the Architectural Conservancy of Ontario*.
- Scott, Owen R. *19th Century Gardens for the 20th and 21st Centuries*. Proceedings of "Conserving Ontario's Landscapes" conference of the ACO, (April 1997). Architectural Conservancy of Ontario Inc., Toronto, 1998.
- Scott, Owen R. *Landscapes of Memories, A Guide for Conserving Historic Cemeteries*. (19 of 30 chapters) compiled and edited by Tamara Anson-Cartright, Ontario Ministry of Citizenship, Culture and Recreation, 1997.
- Scott, Owen R. Cemeteries: A Historical Perspective, *Newsletter, The Memorial Society of Guelph*, September 1993.
- Scott, Owen R. The Sound of the Double-bladed Axe, *Guelph and its Spring Festival*. edited by Gloria Dent and Leonard Conolly, The Edward Johnson Music Foundation, Guelph, 1992. 2 pp.
- Scott, Owen R. Woolwich Street Corridor, Guelph, *ACORN* Vol XVI-2, Fall 1991. Newsletter of the Architectural Conservancy of Ontario Inc. (ACO)
- Scott, Owen R. guest editor, *ACORN*, Vol. XIV-2, Summer 1989. Cultural Landscape Issue, Newsletter of the ACO.
- Scott, Owen R. Heritage Conservation Education, Heritage Landscape Conservation, *Momentum 1989*, Icomos Canada, Ottawa, p.31.
- Scott, Owen R. Cultivars, pavers and the historic landscape, *Historic Sites Supplies Handbook*. Ontario Museum Association, Toronto, 1989. 9 pp.
- Scott, Owen R. Landscape preservation - What is it? *Newsletter*, American Society of Landscape Architects - Ontario Chapter, vol. 4 no.3, 1987.
- Scott, Owen R. Tipperary Creek Conservation Area, Wanuskewin Heritage Park. *Landscape Architectural Review*, May 1986. pp. 5-9.
- Scott, Owen R. Victorian Landscape Gardening. Ontario Bicentennial History Conference, McMaster University, 1984.
- Scott, Owen R. Canada West Landscapes. *Fifth Annual Proceedings Niagara Peninsula History Conference (1983)*. 1983. 22 pp.
- Scott, Owen R. Utilizing History to Establish Cultural and Physical Identity in the Rural Landscape. *Landscape Planning*, Elsevier Scientific Press, Amsterdam, 1979. Vol. 6, No. 2, pp. 179-203.
- Scott, Owen R. Changing Rural Landscape in Southern Ontario. *Third Annual Proceedings Agricultural History of Ontario Seminar (1978)*. June 1979. 20 pp.
- Scott, Owen R., P. Grimwood, M. Watson. George Laing - Landscape Gardener, Hamilton, Canada West 1808-1871. *Bulletin, The Association for Preservation Technology*, Vol. IX, No. 3, 1977, 13 pp. (also published in *Landscape Architecture Canada*, Vol. 4, No. 1, 1978).
- Scott, Owen R. The Evaluation of the Upper Canadian Landscape. Department of Landscape Architecture, University of Manitoba. 1978. (Colour videotape).

Following is a **representative listing of some of the heritage consultations undertaken by Owen R. Scott** in his capacity as a principal of The Landplan Collaborative Ltd., and principal of CHC Limited.

Heritage Master Plans and Landscape Plans

- Alton Mill Landscape, Caledon, ON
- Black Creek Pioneer Village Master Plan, Toronto, ON
- Britannia School Farm Master Plan, Peel Board of Education/Mississauga, ON
- Confederation Boulevard (Sussex Drive) Urban Design, Site Plans, NCC/Ottawa, ON
- Doon Heritage Crossroads Master Plan and Site Plans, Region of Waterloo/Kitchener, ON
- Downtown Guelph Private Realm Improvements Manual, City of Guelph, ON
- Downtown Guelph Public Realm Plan, City of Guelph, ON
- Dundurn Castle Landscape Restoration Feasibility Study, City of Hamilton, ON
- Elam Martin Heritage Farmstead Master Plan, City of Waterloo, ON
- Exhibition Park Master Plan, City of Guelph, ON
- George Brown House Landscape Restoration, Toronto, ON
- *Grand River Corridor Conservation Plan*, GRCA/Regional Municipality of Waterloo, ON
- Greenwood Cemetery Master Plan, Owen Sound, ON
- Hamilton Unified Family Courthouse Landscape Restoration Plan, Hamilton, ON
- John Galt Park, City of Guelph, ON
- Judy LaMarsh Memorial Park Master Plan, NCC/Ottawa, ON
- Langdon Hall Gardens Restoration and Site Plans, Cambridge, ON

Appendix 4

Qualifications of the Author

- London Psychiatric Hospital Cultural Heritage Stewardship Plan, London, ON
- McKay / Varley House Landscape Restoration Plan, Markham (Unionville), ON
- Museum of Natural Science/Magnet School 59/ Landscape Restoration and Site Plans, City of Buffalo, NY
- Muskoka Pioneer Village Master Plan, MNR/Huntsville, ON
- Peel Heritage Centre Adaptive Re-use, Landscape Design, Brampton, ON
- Phyllis Rawlinson Park Master Plan (winning design competition), Town of Richmond Hill, ON
- Prime Ministerial Precinct and Rideau Hall Master Plan, NCC/Ottawa, ON
- Queen/Picton Streets Streetscape Plans, Town of Niagara-on-the-Lake, ON
- Regional Heritage Centre Feasibility Study and Site Selection, Region of Waterloo, ON
- Rockway Gardens Master Plan, Kitchener Horticultural Society/City of Kitchener, ON
- St. George's Square, City of Guelph, ON
- St. James Cemetery Master Plan, Toronto, ON
- St. James Park Victorian Garden, City of Toronto, ON
- Tipperary Creek (Wanuskewin) Heritage Conservation Area Master Plan, Meewasin Valley Authority, Saskatoon, SK
- Whitehern Landscape Restoration Plan, Hamilton, ON
- Woodside National Historic Park Landscape Restoration, Parks Canada/Kitchener, ON

Cultural Heritage Evaluation Reports (CHER), Cultural Heritage Inventories and Cultural Heritage Landscape Evaluations

- Adams Bridge (Structure S20) Cultural Heritage Evaluation Report, Southgate Twp., ON
- Belfountain Area Heritage Inventory for Environmental Assessment, Peel Region, ON
- Bridge #20 Cultural Heritage Evaluation Report, Blandford-Blenheim Township, ON
- Bridge #25 Cultural Heritage Evaluation Report, Blandford-Blenheim Township, ON
- Chappell Estate / Riverside / Mississauga Public Garden Heritage Inventory, Mississauga, ON
- Cruickston Park Farm & Cruickston Hall - Cultural Heritage Resources Study, Cambridge, ON
- Doon Valley Golf Course - Cultural Heritage and Archaeological Resources Inventory, Kitchener/Cambridge, ON
- Government of Ontario Light Rail Transit (GO-ALRT) Route Selection, Cultural and Natural Resources Inventory for Environmental Assessment, Hamilton/Burlington, ON
- Hancock Woodlands Cultural Heritage Assessment, City of Mississauga, ON
- Hespeler West Secondary Plan - Heritage Resources Assessment, City of Cambridge, ON
- Highway 400 to 404 Link Cultural Heritage Inventory for Environmental Assessment, Bradford, ON
- Highway 401 to 407 Links Cultural Heritage Inventory for Environmental Assessment, Pickering/Ajax/Whitby/ Bowmanville, ON
- Holland Mills Road Bridge Cultural Heritage Evaluation Report, Wilmot Township, ON
- Homer Watson House Cultural Heritage Evaluation Report, Kitchener, ON
- Irvine Street (Watt) Bridge Cultural Heritage Evaluation Report, Township of Centre Wellington, ON
- Lakewood Golf Course Cultural Landscape Assessment, Tecumseh, ON
- Landfill Site Selection, Cultural Heritage Inventory for Environmental Assessment, Region of Halton, ON
- Niska Road Cultural Heritage Landscape Addendum, City of Guelph, ON
- 154 Ontario Street, Historical - Associative Evaluation, Guelph, ON
- 35 Sheldon Avenue North, Cultural Heritage Evaluation Report, Kitchener, ON
- Silvercreek (LaFarge Lands) Cultural Landscape Assessment, Guelph, ON
- South Kitchener Transportation Study, Heritage Resources Assessment, Region of Waterloo, ON
- 53 Surrey Street East and 41, 43, 45 Wyndham Street South Cultural Heritage Evaluation Guelph, ON
- Swift Current CPR Station Gardens condition report and feasibility study for rehabilitation/reuse, Swift Current, SK
- University of Guelph, McNaughton Farm House, Cultural Heritage Resource Assessment, Puslinch Township, ON
- University of Guelph, Trent Institute Cultural Heritage Resource Assessment, Guelph, ON
- University of Guelph, 1 and 10 Trent Lane Cultural Heritage Resource Assessments, Guelph, ON
- Uno Park Road Bridge, Cultural Heritage Evaluation Report, Harley Township, ON
- 2007 Victoria Road South Heritage Evaluation, Guelph, ON
- Waterloo Valleylands Study, Heritage and Recreational Resources mapping and policies, Region of Waterloo

Heritage Impact Assessments (HIA), Heritage Impact Statements (HIS), Cultural Heritage Resource Impact Assessments (CHRIA) and Cultural Landscape Heritage Impact Statements

- Adams Bridge (Structure S20) Heritage Impact Assessment, Southgate Township, ON
- 33 Arkell Road Heritage Impact Assessment, Guelph, ON

Appendix 4

Qualifications of the Author

- 86 Arthur Street, Heritage Impact Assessment, Guelph, ON
- William Barber House, 5155 Mississauga Road , Heritage Impact Assessment, Mississauga, ON
- Barra Castle Heritage Impact Assessment, Kitchener, ON
- Biltmore Hat Factory Heritage Impact Assessment, Guelph, ON
- 140 Blue Heron Ridge Heritage Impact Assessment, Cambridge, ON
- 25 Breithaupt Street Heritage Impact Assessment, Kitchener, ON
- 51 Breithaupt Street Heritage Impact Assessment, Kitchener, ON
- Bridge #20 Heritage Impact Assessment, Blandford-Blenheim Township, ON
- Bridge #25 Heritage Impact Assessment, Blandford-Blenheim Township, ON
- 215 Broadway Street Heritage Impact Statement, Mississauga, ON
- Cambridge Retirement Complex on the former Tiger Brand Lands, Heritage Impact Assessment, Cambridge, ON
- Cambridge Retirement Complex on the former Tiger Brand Lands, Heritage Impact Assessment Addendum, Cambridge, ON
- 27-31 Cambridge Street, Heritage Impact Assessment, Cambridge, ON
- 3075 Cawthra Road Heritage Impact Statement, Mississauga, ON
- 58 Church Street Heritage Impact Assessment, Churchville Heritage Conservation District, Brampton, ON
- City Centre Heritage Impact Assessment, Kitchener, ON
- 175 Cityview Drive Heritage Impact Assessment, Guelph, ON
- 12724 Coleraine Drive Cultural Heritage Impact Statement, Caledon (Bolton), ON
- 12880 Coleraine Drive Cultural Heritage Impact Statement, Caledon (Bolton), ON
- Cordingly House Heritage Impact Statement, Mississauga, ON
- 264 Crawley Road Heritage Impact Assessment (farmstead, house & barn), Guelph, ON
- 31-43 David Street (25 Joseph Street) Heritage Impact Assessment, Kitchener, ON
- 35 David Street (Phase II) Heritage Impact Assessment, Kitchener, ON
- 75 Dublin Street Heritage Impact Assessment, Guelph, ON
- 24, 26, 28 and 32 Dundas Street East Heritage Impact Statement, Mississauga, (Cooksville), ON
- 1261 Dundas Street South Heritage Impact Assessment, Cambridge, ON
- 172 - 178 Elizabeth Street Heritage Impact Assessment, Guelph, ON
- 19 Esandar Drive, Heritage Impact Assessment, Toronto, ON
- 14 Forbes Avenue Heritage Impact Assessment, Guelph, ON
- 42 Front Street South Heritage Impact Assessment, Mississauga, ON
- Grey Silo Golf Course/Elam Martin Farmstead Heritage Impact Assessment, City of Waterloo, ON
- GRCA Lands, 748 Zeller Drive Heritage Impact Assessment Addendum, Kitchener, ON
- Hancock Woodlands Heritage Impact Statement, City of Mississauga, ON
- 132 Hart's Lane, Hart Farm Heritage Impact Assessment, Guelph, ON
- Holland Mills Road Bridge Heritage Impact Assessment, Wilmot Township, ON
- 9675, 9687, 9697 Keele Street Heritage Impact Assessment, City of Vaughan (Maple) ON
- 13165 Keele Street Cultural Heritage Resource Impact Assessment, King Township (King City), ON
- 151 King Street North Heritage Impact Assessment, Waterloo, ON
- Kip Co. Lands Developments Ltd. Cultural Heritage Resource Impact Assessment - Woodbridge Heritage Conservation District, City of Vaughan (Woodbridge) ON
- 20415 Leslie Street Heritage Impact Assessment, East Gwillimbury, ON
- 117 Liverpool Street Heritage Impact Assessment, Guelph, ON
- 30 - 40 Margaret Avenue Heritage Impact Assessment, Kitchener, ON
- 19 - 37 Mill Street Scoped Heritage Impact Assessment, Kitchener, ON
- 2610, 2620 and 2630 Mississauga Road, Cultural Landscape Heritage Impact Statement, Mississauga, ON
- 4067 Mississauga Road, Cultural Landscape Heritage Impact Statement, Mississauga, ON
- 1142 Mona Road, Heritage Impact Assessment, Mississauga, ON
- 1245 Mona Road, Heritage Impact Statement, Mississauga, ON
- 15 Mont Street, Heritage Impact Assessment, Guelph, ON
- Proposed Region of Waterloo Multimodal Hub at 16 Victoria Street North, 50 & 60 Victoria Street North, and 520 & 510 King Street West, Heritage Study and Heritage Impact Assessment, Kitchener, ON
- 6671 Ninth Line Heritage Impact Statement, Cordingley House Restoration & Renovation, Mississauga, ON
- 324 Old Huron Road Heritage Impact Assessment, Kitchener, ON
- 40 Queen Street South Heritage Impact Statement, Mississauga, (Streetsville), ON

Appendix 4

Qualifications of the Author

- Rockway Holdings Limited Lands north of Fairway Road Extension Heritage Impact Assessment, Kitchener, ON
- 35 Sheldon Avenue, Heritage Impact Assessment, Kitchener, ON
- 259 St. Andrew Street East Cultural Heritage Assessment, Fergus, ON
- 10431 The Gore Road Heritage Impact Assessment, Brampton, ON
- Thorny-Brae Heritage Impact Statement, Mississauga, ON
- 7 Town Crier Lane, Heritage Impact Assessment, Markham, ON
- University of Guelph, 3 - 7 Gordon Street Houses, Heritage Impact Assessment, Guelph, ON
- University of Guelph, Harrison House, Heritage Impact Assessment, Guelph, ON
- Uno Park Road Bridge, Heritage Impact Assessment, Harley Township, ON
- Victoria Park Proposed Washroom Cultural Heritage Impact Assessment, Kitchener, ON
- 927 Victoria Road South (barn) Heritage Impact Assessment, Guelph, ON
- 26 - 32 Water Street North Heritage Impact Assessment, Cambridge (Galt), ON
- Winzen Developments Heritage Impact Assessment, Cambridge, ON
- 35 Wright Street Cultural Heritage Resource Impact Assessment, Richmond Hill, ON
- 1123 York Road Heritage Impact Assessment, Guelph, ON

Heritage Conservation Plans

- William Barber House, 5155 Mississauga Road , Heritage Conservation Plan, Mississauga, ON
- 51 Breithaupt Street Heritage Conservation Plan, Kitchener, ON
- Hamilton Psychiatric Hospital Conservation Plan, for Infrastructure Ontario, Hamilton, ON
- Harrop Barn Heritage Conservation Plan, Milton, ON
- 324 Old Huron Road Conservation Plan, Kitchener, ON
- 264 Woolwich Street Heritage Conservation Plan, Guelph, ON

Heritage Conservation District Studies and Plans

- Downtown Whitby Heritage Conservation District Study and Plan, Town of Whitby, ON
- MacGregor/Albert Heritage Conservation District Study and Plan, City of Waterloo, ON
- Queen Street East Heritage Conservation District Study, Toronto, ON
- University of Toronto & Queen's Park Heritage Conservation District Study, City of Toronto, ON

Cultural Heritage Landscape Inventories/Studies

- Cultural Heritage Landscape Study, City of Kitchener, ON
- Cultural Heritage Landscape Inventory, City of Mississauga, ON

Peer Reviews

- Acton Quarry Cultural Heritage Landscape & Built Heritage Study & Assessment Peer Review, Acton, ON
- Belvedere Terrace - Peer Review, Assessment of Proposals for Heritage Property, Parry Sound, ON
- Heritage Square Heritage Impact Assessment Peer Review for Township of Centre Wellington (Fergus), ON
- Little Folks Heritage Impact Assessment Peer Review for Township of Centre Wellington (Elora), ON

Expert Witness Experience

- Oelbaum Ontario Municipal Board Hearing, Eramosa Township, ON, 1988
- Roselawn Centre Conservation Review Board Hearing, Port Colborne, ON, 1993
- Halton Landfill, Joint Environmental Assessment Act and Environmental Protection Act Board Hearing, 1994
- OPA 129 Ontario Municipal Board Hearing, Richmond Hill, ON, 1996
- Diamond Property Ontario Municipal Board Hearing, Aurora, ON, 1998
- Harbour View Investments Ontario Municipal Board Hearing, Town of Caledon, ON, 1998
- Aurora South Landowners Ontario Municipal Board Hearing, Aurora, ON, 2000
- Ballycroy Golf Course Ontario Municipal Board Hearing, Palgrave, ON, 2002
- Doon Valley Golf Course Ontario Municipal Board Hearing, Cambridge, ON, 2002
- Maple Grove Community Ontario Municipal Board Hearing, North York, ON, 2002
- Maryvale Crescent Ontario Municipal Board Hearing, Richmond Hill, ON, 2003
- LaFarge Lands Ontario Municipal Board Mediation, Guelph, ON, 2007
- 255 Geddes Street, Elora, ON, heritage opinion evidence - Ontario Superior Court of Justice, 2010

Appendix 4

Qualifications of the Author

- Downey Trail Ontario Municipal Board Hearing, Guelph, ON, 2010
- Wilson Farmhouse Conservation Review Board Hearing, Guelph, ON, 2014
- 85 Victoria Street, Churchville Heritage Conservation District, Ontario Municipal Board Hearing, Brampton, ON, 2016

City of Mississauga

Corporate Report



Date: 2017/03/16

To: Chair and Members of Heritage Advisory Committee

From: Paul Mitcham, P. Eng, MBA, Commissioner of
Community Services

Originator's files:

Meeting date:
2017/04/11

Subject

Request to Demolish a Heritage Listed Property: 2537 Mindemoya Road (Ward 7)

Recommendations

1. That the property at 2537 Mindemoya Road, which is listed on the City's Heritage Register, is not worthy of heritage designation, and consequently, that the owner's request to demolish proceed through the applicable process.
2. That the following salvage and mitigation options be completed and confirmation forwarded to the City:
 - a. The lancet window originally belonging to St. Peter's Church be offered to the same church
 - b. Wide plank floor be salvaged for reuse
 - c. The building be documented during demolition to record any remaining underlying architectural details

Background

Section 27.3 of the Ontario Heritage Act states that structures or buildings on property listed on the City's Heritage Register cannot be removed or demolished without at least 60 days' notice to Council. This legislation allows time for Council to review the property's cultural heritage value to determine if the property merits designation.

The owner of the subject property has submitted a heritage permit application to demolish and replace the existing detached dwelling. The subject property is listed on the City's Heritage Register as it forms part of the Erindale Village cultural landscape. This cultural landscape is noted in the Cultural Landscape Inventory for "being a small residential enclave...with a street pattern and scattered heritage properties are remnants of this nineteenth century village". It is known for characteristic landscape and built environment features, and historical associations to a phase of Mississauga's development. The property is also noted in the Register as containing a vernacular building dating to c.1850.

Comments

The owner of the subject property has requested permission to demolish the existing structure. The applicant has provided a Heritage Impact Assessment compiled by Strickland Mateljan Design and Architecture. It is attached as Appendix 1.

The HIA's section 5.4 "Mitigation and Salvage" identifies that the following items should be salvaged:

- The original lancet window belonging to the original (1827) St. Peter's Church should be "protected and offered" to the church
- Second floor wide plank floors should be salvaged for reuse
- Documenting of the building's demolition process, carefully removing siding to look for any historic detailing

The consultant has concluded that the structure at 2537 Mindemoya Road is not worthy of designation. Staff concurs with this finding and agrees with the Mitigation and Salvage recommendations outlined in the report.

Financial Impact

There is no financial impact.

Conclusion

The owner of 2537 Mindemoya Road has requested permission to demolish a structure on a property that is listed on the City's Heritage Register. The applicant has submitted a documentation report which provides information which does not support the building's merit for designation under the Ontario Heritage Act, although it recommends salvage and mitigation for the lancet window originally belonging to the St. Peter's Church in the community by offering to return it to the church, salvage for reuse of wide plank wood floors and documentation of the demolition process to record any remaining underlying historic detailing. Staff concurs with these findings.

Attachments

Appendix 1: Heritage Impact Assessment



Paul Mitcham, P. Eng, MBA, Commissioner of Community Services

Prepared by: Cecilia Nin Hernandez, Heritage Coordinator

HERITAGE IMPACT STUDY
IMPACT OF PROPOSED DEVELOPMENT
2537 MINDEMOYA RD., MISSISSAUGA



1. Introduction

This Heritage Impact Study discusses the existing single family dwelling at 2537 Mindemoya Rd., Mississauga ON, and the surrounding historic Village of Erindale. It assesses the potential impact to the community that would result from the removal of this heritage resource and its replacement by a new and much larger single family residence. The Village of Erindale is a Cultural Heritage Landscape recognized by the City of Mississauga.

This report also reviews and comments on the applicable Zoning By-law implications of the proposed development.



KEY PLAN SHOWING 2537 MINDEMOYA RD.

“Cultural landscapes are settings that enhance community vibrancy, aesthetic quality, distinctiveness, sense of history and/or sense of place. The City of Mississauga adopted a Cultural Landscape Inventory in 2005. It is the first municipality in the province to do so. All cultural landscapes are listed on the City’s Heritage Register. Most landscapes include numerous properties. There are approximately 60 landscapes or features, visually distinctive objects and unique places within landscapes, on the City’s Heritage Register.

. . . Cultural Landscapes can be defined as a setting which has enhanced a community’s vibrancy, aesthetic quality, distinctiveness, sense of history or sense of place.”

(City of Mississauga website)

The Cultural Landscape Inventory defines and describes the fundamental characteristics of this Landscape as follows:

“This small residential enclave has a wonderful visual appearance and special landscape character defined by mature trees and a common scale of structures. Most prominent are the rows of Norway spruce, remnants of the former agricultural fields, which predate the housing development. The preservation of these trees through the sensitive siting of housing and roads has created a unique and wonderful residential environment similar to other neighbourhoods straddling the Credit River Valley. The street pattern and scattered heritage properties are the remnants of this nineteenth century village.”

(The Landplan Collaborative Ltd., Goldsmith, Borgal & Company Ltd., North South Environmental Inc., Geodata Resources Inc., 2005)

The ability of a municipality to identify Cultural Heritage Landscapes and to require a Heritage Impact Statement is mandated by the Provincial Policy Statement (2005):

2.6.1 *Significant built heritage resources and significant cultural heritage landscapes shall be conserved.*

2.6.3 *Development and site alteration may be permitted on adjacent lands to protected heritage property where the proposed development and site alteration has been evaluated and it has been demonstrated that the heritage attributes of the protected heritage property will be conserved.*

Mitigative measures and/or alternative development approaches may be required in order to conserve the *heritage attributes* of the *protected heritage property* affected by the *adjacent development* or *site alteration*.

Where “cultural heritage landscape” means “a defined geographical area of heritage significance which has been modified by human activities and is valued by a community. It involves a grouping(s) of individual heritage features such as structures, spaces, archaeological sites and natural elements, which together form a significant type of heritage form, distinctive from that of its constituent elements or parts. Examples may include, but are not limited to, heritage conservation districts designated under the Ontario Heritage Act; and villages, parks, gardens, battlefields, mainstreets and neighbourhoods, cemeteries, trailways and industrial complexes of cultural heritage value” and where “significant” means “in regard to cultural heritage and archaeology, resources that are valued for the important contribution they make to our understanding of the history of a place, an event, or a people” and where “conserved” means “the identification, protection, use and/or management of cultural heritage and archaeological resources in such a way that their heritage values, attributes and integrity are retained. This may be addressed through a conservation plan or heritage impact assessment”.

The “Mississauga Plan”, the City of Mississauga’s most recent Official Plan (currently under appeal) also has broad requirements for Heritage Conservation and the protection of existing, stable neighborhoods, including:

Where there is a conflict between the policies relating to the natural and cultural heritage and the rest of this Plan, the direction that provides more protection to the natural and cultural heritage will prevail. (1.1.4(e))

Any construction, development, or property alteration which might adversely affect a listed or designated heritage resource or which is proposed adjacent to a heritage resource may be required to submit a Heritage Impact Statement, prepared to the satisfaction of the City and other appropriate authorities having jurisdiction. (3.20.2.3)

. . . valuable cultural heritage resources will be protected and strengthened with infill and redevelopment, compatible with the existing or planned character . . . it is important that infill “fits” within the existing urban context and minimizes undue impacts on adjacent properties. (9.1)

1.1 Terms of Reference

The City required terms of reference are as follows:

1. A detailed site history to include a listing of owners from the Land Registry Office, and a history of the site use(s). However, please note that due to the Freedom of Information and Protection of Privacy Act, current property owner information must not be included. As such, Heritage Planning will request that current property owner personal information be redacted to ensure the reports comply with the Act.

2. A complete listing and full written description of all existing structures, natural or man-made, on the property. Specific mention must be made of all the heritage resources on the subject property which include, but are not limited to: structures, buildings, building elements (like fences and gates), building materials, architectural and interior finishes, natural heritage elements, landscaping, and archaeological resources. The description will also include a chronological history of the structure(s) developments, such as additions, removals, conversions, alterations etc.

The report will include a clear statement of the conclusions regarding the significance and heritage attributes of the cultural heritage resource.

A location map must be provided, with indications of existing land use, zoning, as well as the zoning and land use of adjacent properties.

3. Documentation of the existing conditions related to the heritage resource will include:

-Current legible internal photographs, external photographs from each elevation.

Please note that due to the Freedom of Information and Protection of Privacy Act, photographs should not contain people or highlight personal possessions. The purpose of the photographs is to capture architectural features and building materials.

-Measured drawings, including elevations, floor plans, and a site plan or survey, at an appropriate scale for the given application, indicating the context in which the heritage resource is situated.

-Historical photos, drawings, or other archival material that may be available or relevant.

The applicant must provide a description of all relevant municipal or agency requirements which will be applied to the subject property, and when implemented may supplement, supersede and/or affect the conservation of heritage resources (i.e. Building Code requirements, Zoning requirements, Transportation and Works requirements.)

4. An outline of the proposed development, its context and how it will impact the heritage resource and neighbouring properties will be provided. This may include such issues as the pattern of lots, roadways, setbacks, massing, relationship to natural and built heritage features, recommended building materials, etc. The outline should address the influence of the development on the setting, character and use of lands

on the subject property and adjacent lands. If the property forms part of a Heritage Conservation District, the proposal must be analysed in terms of its compliance with the Heritage Conservation District Plan.

Note: An architectural drawing indicating the subject property streetscape with properties to either side of the subject lands must be provided. The purpose of this drawing is to provide a schematic view of how the new construction is oriented and integrates with the adjacent properties from a streetscape perspective. The drawing must therefore show, within the limits of defined property lines, an outline of the building mass of the subject property and the existing neighbouring properties, along with significant trees or any other landscape or landform features. A composite photograph may accomplish the same purpose with a schematic of the proposed building drawn in.

5. Full architectural drawings, by a licensed architect or accredited architectural designer, showing all four elevations of the proposed development must be included for major alterations and new construction.

6. An assessment of alternative development options and mitigation measures that should be considered in order to avoid or limit the negative impact on the cultural heritage resources. Methods of minimizing or avoiding negative impact on a cultural heritage resource as stated in the Ontario Heritage Tool Kit (InfoSheet #5, Ministry of Culture) include, but are not limited to:

- Alternative development approaches*
- Isolating development and site alteration from the significant built and natural heritage features and vistas*
- Design guidelines that harmonize mass, setback, setting and materials*
- Limiting height and density*
- Allowing only compatible infill and additions*
- Reversible alterations*

These alternate forms of development options presented in the Heritage Impact Assessment must be evaluated and assessed by the heritage consultant writing the report as to the best option to proceed with and the reasons why that particular option has been chosen.

7. A summary of conservation principles and how they will be used must be included. The conservation principles may be found in publications such as: Parks Canada – Standards and Guidelines for the Conservation of Historic Places in Canada; Eight Guiding Principles in the Conservation of Historic Properties, Ontario Ministry of Culture. (Both publications are available online.)

8. Proposed demolition/alterations must be explained as to the loss of cultural heritage value interests in the site and the impact on the streetscape and sense of place.

9. When a property cannot be conserved, alternatives will be considered for salvage mitigation. Only when other options can be demonstrated not to be viable will options such as relocation, ruinification, or symbolic conservation be considered.

Relocation of a heritage resource may indicate a move within or beyond the subject property. The appropriate context of the resource must be considered in relocation. Ruinification allows for the exterior only of a structure to be maintained on a site. Symbolic conservation refers to the recovery of unique heritage resources and incorporating those components into new development, or using a symbolic design method to depict a theme or remembrance of the past.

All recommendations shall be as specific as possible indicating the exact location of the preferred option, site plan, building elevations, materials, landscaping, and any impact on neighbouring properties, if relevant.

Summary Statement and Conservation Recommendations:

The summary should provide a full description of:

- The significance and heritage attributes of the cultural heritage resource, including the reference to a listing on the Heritage Register, or designation by-law if it is applicable*
- The identification of any impact that the proposed development will have on the cultural heritage resource*
- An explanation of what conservation or mitigative measures, or alternative development, or site alteration approaches are recommended*
- Clarification as to why conservation or mitigative measures, or alternative development or site alteration approaches are not appropriate*

Mandatory Recommendation:

The consultant must write a recommendation as to whether the subject property is worthy of heritage designation in accordance with the heritage designation criteria per Regulation 9/06, Ontario Heritage Act. Should the consultant not support heritage designation then it must be clearly stated as to why the subject property does not meet the criteria as stated in Regulation 9/06.

The following questions must be answered in the final recommendation of the report:

- Does the property meet the criteria for heritage designation under the Ontario Regulation 9/06, Ontario Heritage Act?*
- If the subject property does not meet the criteria for heritage designation then it must be clearly stated as to why it does not*
- Regardless of the failure to meet criteria for heritage designation, does the property warrant conservation as per the definition in the Provincial Policy Statement:*

Conserved: means the identification, protection, use and/or management of cultural heritage and archaeological resources in such a way that their heritage values, attributes and integrity are retained. This may be addressed through a conservation plan or heritage impact assessment.

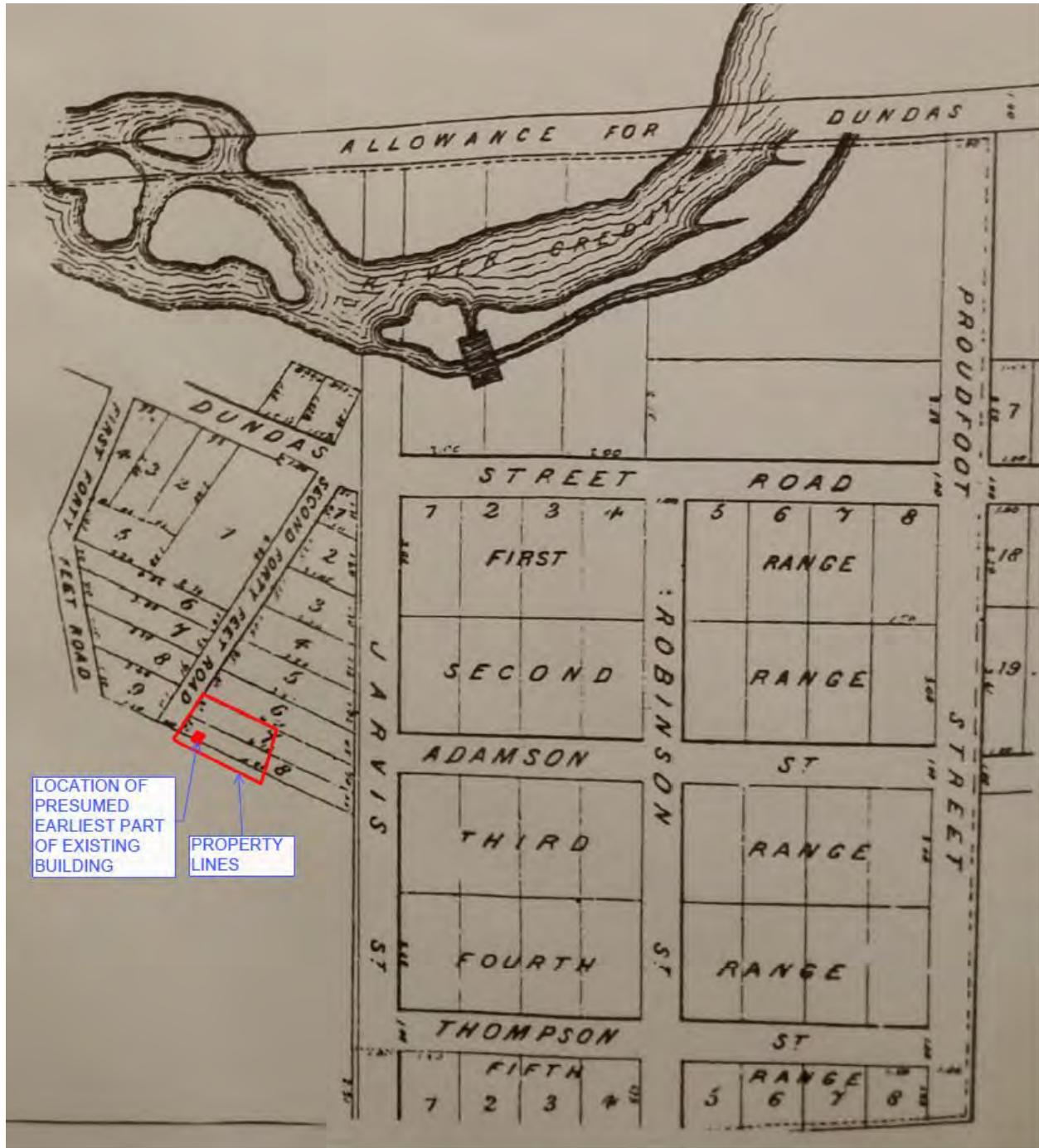
Please note that failure to provide a clear recommendation as per the significance and direction of the identified cultural heritage resource will result in the rejection of the Heritage Impact Assessment.

2.0 Site History

2.1 Overview:

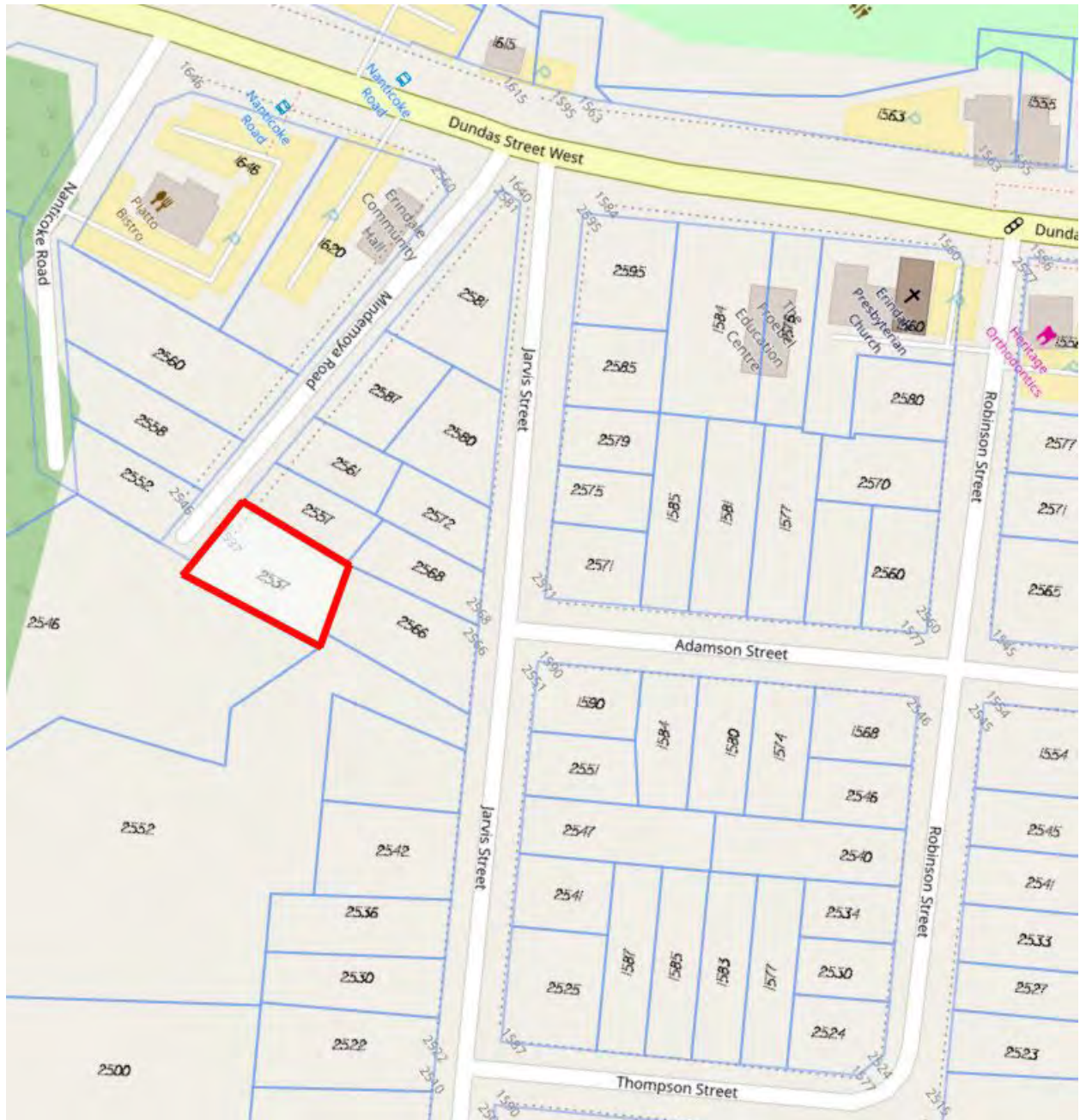
The lands upon which the subject site are located are Lot 4, Range 1 South of Dundas Street, Racey Tract, and were part of the second purchase of lands by the British Crown from the Mississauga First Nation. The Crown had first purchased lands in this area from the Mississaugas in 1805. This was for lands south of the present Eglinton Avenue but excluding a strip of land one mile either side of the Credit River. In 1818 there was a further purchase of lands north of Eglinton Avenue and in 1820 two further treaties that ceded the Credit Valley lands and that left the Mississaugas with just one 200 acre parcel near the present Mississauga (sic) Golf Club. (Part of this became known as the "Racey Tract")

because a Major Thomas Racey had been given property here for the purpose of establishing a town and mill).¹



1877 ATLAS OF PEEL COUNTY SHOWING ORIGINAL SUBDIVISION OF ERINDALE (SPRINGFIELD)(SHOWING LOCATION OF SUBJECT SITE AND LOCATION OF PRESUMED EARLIEST BUILDING ON THE SITE)

¹ Fitzgibbon, Meaghan, "Searching for the Mississauga of the Credit River: Treaties", Heritage Mississauga website.



CONTEMPORARY PLAN OF VILLAGE OF ERINDALE (CITY OF MISSISSAUGA MAPPING) SHOWING EXISTING LOTTING PATTERN(SUBJECT SITE SHOWN IN RED)

These lands were further subdivided by lots into the Village of Springfield by J.O. Browne P.L.S. (In 1900 the name of the community was changed to Erindale to avoid confusion with other communities of the same name.)

Dundas St. was a major defence and commercial road and this location at the “crook of the Credit” and mid-way between Hamilton and Toronto was an ideal place for a community. It was also a location that historically First Nations and European settlers had met to trade.

Lots in the Village were first auctioned off in 1825 and the community grew quickly. Soon it included the locally renowned Royal Exchange Hotel as well as a number of general stores, mills and churches. It served as a stopping point for travellers along Dundas Street between Hamilton and Toronto. The Village began to decline after it was bypassed by the Great Western Railway in 1855. This was somewhat mitigated by the arrival of the Credit Valley Railway in 1879 and the building of a station nearby on what is still known as Erindale Station Rd.²

The Village of Erindale was one of the communities that amalgamated in 1968 to form the modern Town (later City) of Mississauga. Many of the buildings in the area are associated with the Village of Erindale. The Village consisted of a residential core south of Dundas St. W. and a mixed commercial-residential section along Dundas St. W. In general the Village retains elements of its earlier character however most streets, and especially Dundas St. W., are mixed and disparate in their streetscapes, in part because of a 1919 fire that destroyed a number of commercial buildings and from which the village never entirely recovered. There is no intact heritage streetscape anywhere in the village.

2.2.1 The Site

For the purposes of this Heritage Impact Study the site is the area occupied by the 2537 Mindemoya Rd.

2.2.2 Heritage properties impacted:

For the purposes of this Heritage Impact Study the extent of heritage properties impacted is limited to 2537 Mindemoya Rd.

2.2.3 Site and Environs Description:

2537 Mindemoya Rd. is a single family dwelling of approximately 180 m² located on a 0.125 ha site on the east side of Mindemoya Rd. south of Dundas St. W. The site is immediately surrounded stable residential development. To the north is Dundas St. W. which is a major thoroughfare featuring a mix of residential and commercial uses. At the corner of Mindemoya and Dundas St. W. is the Erindale Village Hall (built 1928) which is a significant public heritage resource in the community. The Mindemoya streetscape is a mix of one and 2-storey residential buildings of varying age and character. The oldest appears to be the subject dwelling. Several appear to be original mid to late 20th century residences and others are more recent infill residences. In general the streetscape is highly varied and incohesive as regards building styles and forms.

² Heritage Mississauga, “A Heritage Tour – Erindale”

2.4 Chain of Title:

The subject site is located on the east side of Mindemoya Rd., formerly known as Second Forty Feet Road. The lots on the east side of Mindemoya span from Mindemoya on the west to Jarvis St. on the east. The subject site consists of the westerly parts of town lots 7 and 8 and part of the neighbouring Lot 4, Range 1 to the south³. The existing building is located entirely on Lot 8 and the remnant part of Lot 4, Range 1. Lot 7 presently consists of the driveway only. The record is somewhat unclear but it appears that Lot 7 and 8 were in separate ownership until 1857. All of these lots were first deeded by the Crown in 1825 to Thomas McEwan. The chain of title below is for Lot 8:

1829: Thomas McEwan to Dr. Joseph Adamson
 1850: Dr. Joseph Adamson to James Adamson
 1850: James Adamson to Catherine Higgins
 (original building likely built during this time)
 1857: Estate of Catherine Phenix (nee Higgins) to Russell Woodruff
 (main floor expansion and second storey likely built during this time)
 1904: Flora Woodruff (widow) to Elmira Ough
 (ground floor corridor likely added during this time)
 1911: Elmira Ough to Dennis O'Brien
 1920: Dennis O'Brien to Louise O'Brien
 1923: Louise O'Brien to William House
 1926: Estate of William House to Rose Scotchmer
 1946: Rose Scotchmer to Peter Armour
 1948: Peter Armour to James Parker (south part of property was severed at this time)
 1948: James Parker to Ernest Robertson
 1949: Ernest Robertson to Douglas Boyd
 (rear family room addition added during this time)
 1965: Douglas Boyd to Grace Barker (north part of property was severed at this time)
 (second floor raised roof added during this time)
 1968: Grace Barker to Delamary (Barker) Wilkinson (Grace and Delamary were sisters)
 (fire damage and reconstruction and all subsequent work took place during this time)
 2014: Delamary Wilkinson to present owners

The history of the house is interesting because of the ownership at intervals of two prominent families in Erindale – the Adamsons and the Barkers.

Nothing is known of the original grantee Thomas McEwan. The second owner of the property, Dr. Joseph Adamson, was a prominent member of the Erindale community. He and his brother Peter were early settlers in the area (Peter arrived in 1821 and Joseph in 1823). Joseph was the first doctor in the Township and treated both the First Nations inhabitants and the European settlers.⁴ He was known to live elsewhere and likely owned this property only as an investment or he may have taken it in trade for medical services as he was sometimes known to do. Little is known of the next several owners. The

³ Up until the time of the most recent purchase of this property the subject site was considered to consist of parts of Lots 7 and 8. The survey done at the time of this purchase indicated that the existing building was located partially on the lot to the south and that these some of these lands had historically been part of the subject property. This situation has now been corrected through the Land Titles Office.

⁴ www.adamsonancestry.com/credit-river-valley-canada/

building may have served as a hotel during the House ownership from 1923-26. It may have served as a chicken coop and gatehouse for the Armour estate during the 1946-48 period.⁵

The Barkers are an important Erindale family. Brothers John and Thomas Barker arrived in Canada in 1856 and quickly settled in Erindale. John moved to Brant County in 1873 but Thomas (1836 – 1908) and his wife Catherine (1844 – 1930) stayed in Erindale. They had 14 children plus 4 who died in infancy. Their son John (1865 – 1928) operated a local grocery store and livery and was also postmaster and justice-of-the-peace. It was in his store in 1919 that the fire started that devastated the business district of Erindale. John's son Delmar (1899 – 1944) took over the family grocery business and was also an auto mechanic. John married Marjorie Adamson (1905 – 1979) and they had four daughters, of whom two, Grace Barker and Delamary Barker Wilkinson were owners of the subject property. It is known to have served as a real estate office for Grace Barker during her ownership from 1965 to 1968.⁶ Delamary Wilkinson (known as Mary) was a long-time teacher and local community volunteer. Her son Matthew is historian of the Mississauga Heritage Foundation and contributed much of the historical information in this report.



1895 IMAGE OF SUBJECT PROPERTY (NOTE GRADE CHANGE TO PRESENT CONDITION). THE BUILDING BEHIND THE MAIN STRUCTURE WAS LIKELY AN OUTBUILDING DEMOLISHED TO MAKE WAY FOR THE CORRIDOR ADDITION. COMPARE WINDOWS ON FRONT ELEVATION IN THIS PHOTO WITH MORE RECENT PHOTOS – FRONT WINDOWS WERE SUBSEQUENTLY ENLARGED AND MOVED OUTWARD

⁵ Matthew Wilkinson

⁶ Matthew Wilkinson

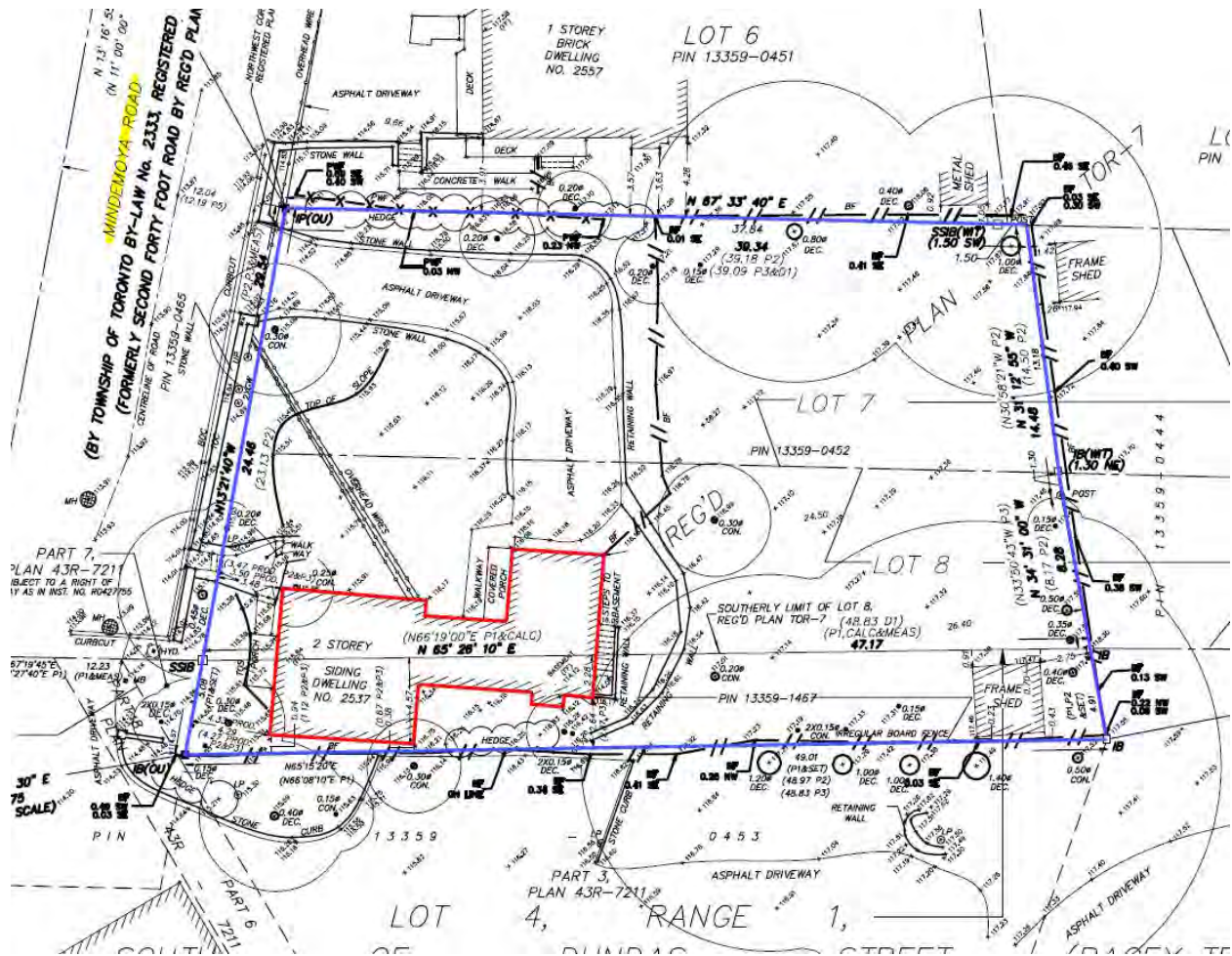


ERINDALE LOOKING WEST, 1885 (MUCH OF THIS WAS DESTROYED IN THE FIRE OF 1919)

3.0 Site Description

The site is approximately 30m wide and 40m deep and somewhat irregular. It is moderately treed. The trees are mature but individually insignificant. The topography of the site is sloping with distinct downward fall from east to west. This sloping is associated with the property's location on the east side of the Credit River valley. The elevation of Mindemoya Rd has obviously been modified over time leading to an unusual retaining wall condition along the front of the property. This is evidenced by a comparison of the present condition with the 1895 photograph copied earlier in this document.

The site is also notable in that the building is located at the extreme south-west corner of the property, leaving a significant open space on the north and east sides. This open space contributes to the character of the property. It is also likely evidence of the various lots that make up the present property being assembled over time.



SURVEY SHOWING EXISTING CONDITIONS ON SITE

3.1 Ecological Interest

The historic topography of the land is generally maintained in this area, but the site has been stripped of all native vegetation

3.2 City of Mississauga Records

The City of Mississauga information database records building permit activity for this property as follows:

- 1962: Family Room Addition
- 1970: Plumbing Permit
- 1974: Swimming Pool and Fence Permit
- 1975: Drain Permit
- 1975: Fire damage repair
- 1978: Heating replacement

-1982: CR 74-82 Rect by R Comrie⁷

3.3 Description of Heritage Building



NORTH-WEST OBLIQUE VIEW

The building is a simple wood frame structure with vinyl siding and asphalt shingle roof. It is obvious at once that it is composed of a series of distinct elements.

Nearest the road is a 1 ½-storey volume with a two 1-storey elements located behind. The 1 ½-storey volume is a reverse saltbox form (ie. asymmetrical roof but with front low and rear high as opposed to traditional saltbox configuration with front high and rear low). The roof is a simple gable with ridge parallel to the road. The 1-storey elements consist of a larger gabled volume at the rear with roof ridge parallel to the road and a smaller linking element and covered porch with roof ridge perpendicular to the road. The entire of the building is clad with white vinyl siding which gives a uniformity to its appearance. The majority of the windows are vinyl double-hung with pre-finished aluminum capped trims. The siding is installed right down to grade level and no foundation is visible. There are no significant architectural features or detailing visible.

The front elevation is a simple, symmetrical three-bay composition which as evidenced by historical photographs is virtually unchanged from the original construction of this part of the building (with the exception of the vinyl siding and replacement of windows). This is a major character defining element of the building.

⁷ It is unclear what this entry refers to – it may be associated with new electrical and duct work associated with the conversion of the furnace from oil to gas. (Recollections of the previous owner as told to Matthew Wilkinson)

(Note that there is very dense vegetation growth around the building and it was difficult to get photographs of the south and east elevations)



NORTH ELEVATION SHOWING REVERSE SALTBOX VOLUME AT RIGHT, ONE-STOREY VOLUME AT LEFT, LINK ELEMENT AT CENTER, FLOOR LEVELS



REAR ELEVATION



PARTIAL SOUTH ELEVATION (NOTE LANCET WINDOW)



FRONT ELEVATION

The windows and trims on the building are a mix of ages but generally reflective of late 20th century replacement siding practice. There is no original siding or trim material visible.

3.3.1 – detail of 1 -1/2 storey front element:

The 1 ½ storey front element is curious in that there are two dissimilar floor levels on the main and second floor. At the ground floor the front part of the main floor is a living room and is located two steps below the rear part which is a kitchen and dining room. The kitchen and dining room floor level is then consistent with the balance of the home. At the second floor the front part is two bedrooms and the rear is one larger bedroom and bathroom. The floor levels are again separated by two steps. These floor levels are indicated on the north elevation photograph.

These broken floor levels are very unexpected and are likely indicators of sequential building. Their location, exactly in the center of the building and parallel to the roof ridge, is very unusual.

Interior finishes on the kitchen and dining room are drywall with roll sheet type flooring. Interior finish in the living room is strip hardwood flooring with pre-finished wood panelling on the lower half of the walls and painted pressed paper type board (Homasote board) on the upper half of the walls. All of this is not original to the home.

Interior trims on the main floor are minimal consisting of small bevelled baseboards and casings. These are not original to the home and are consistent with mid-20th century renovation practice.

Kitchen cabinets are typical mid-20th century units commonly sold through building supply stores.

Numerous areas of sagging or uneven floors were noted in this part of the home.

In the kitchen floor there is a trap door in the floor that leads to a partial basement below. This is a small room approximately 12' x 12' and 6' in height with a concrete floor. The rest of this part of the building is underlain by a crawlspace with dirt floor accessible via an exterior service access on the north elevation. The crawlspace varies in height from several feet at the north and west sides to virtually zero at the south and east, where the building appears to sit directly on the ground.

The drywall ceiling finish in the kitchen area is badly deteriorated and falling and now reveals the joists above. These joists are of modern appearance and dimension and have been spray painted with white paint (this paint is likely part of the remediation of the 1975 fire and is discussed below). There are also modern ABS type plumbing pipes in these cavities that have also been painted. The combination of these joists and plumbing fixtures would suggest that this is mid-late 20th century construction.

There is a stained wood stair with craftsman-style newel, handrail and pickets along the south wall of the dining room. This is a handsome element and one of the few examples of architectural detail in the building. Information provided by the previous owner indicates that this is not original, however, but was purchased from an antique shop and placed there in 1978, replacing an earlier box type staircase.⁸

The second floor finishes consist of drywall throughout all walls and ceilings and are also not original to the home. Floor finish in the easterly (upper) bedroom is oak parquet consistent with mid 20th century renovation practice. Floor finish in the hall and westerly bedrooms is very wide plank flooring (approximately 12" width) with square nails. This is clearly very old material but information provided by the previous owner indicates that this is not original to the home but was reclaimed in 1965 from the Litner Hotel on Mindemoya Rd. and placed there at that time.⁹

There is one bathroom on the second floor accessible from the easterly and north-westerly bedrooms. Finishes in this room are typical mid-20th century renovation practice and clearly not original to the home.

⁸ Matthew Wilkinson

⁹ Matthew Wilkinson

3.3.2 – detail of 1-storey corridor element:

The corridor element contains the main entry to the home (from the driveway), a hall and bathroom. Wall finishes are typical drywall and floor finish is roll vinyl. This part of the building is unremarkable except for the presence on the south wall of a lancet window which is understood to have originally been located in the original (built 1827) St. Peter's Church, Erindale and is the last surviving window from that structure.¹⁰ The former owner's family have requested that this be returned to the Church and this would seem an appropriate request. The rest of the interior finishes in this part of the building also appear to be mid-to late 20th century and are significantly deteriorated.

It is unknown what type of foundation, if any, is located beneath this part of the building. No foundation is accessible or visible. The grade level is very close to the finished floor level in this area and this may have been constructed directly on grade.

An 1895 photo of the building (printed above) shows a structure in the same approximate location as this part of the building however the 1895 structure appears larger and was likely used for animals. Analysis of the present structure (see below) would indicate that the earlier structure was demolished to make way for the present building.

Information from the former owner indicates that the bathroom in this part of the building was added in 1962.¹¹ The appearance of the bathroom and visible trimwork evident supports this construction date.

The roof structure above this part of the house can be viewed from the second floor easterly bedroom. It reveals modern rafters and board sheathing consistent with mid 20th century practice. This was likely replaced following the 1975 fire (see discussion of fire damage below).

¹⁰ Matthew Wilkinson

¹¹ Matthew Wilkinson

IMAGE 5 - CORRIDOR LOOKING NORTH. LANCET WINDOW AT LEFT. KITCHEN/DINING ROOM BEYOND

3.3.3 – detail of 1-storey rear element:

The 1-storey rear element is a family room with vaulted ceiling and a tall, stone fireplace along the south wall. It is an impressive room of pleasing proportions. There is a concrete block foundation under this part of the building and the overall structure appears to be of quality construction and in good condition. The City of Mississauga building department records a family room addition in 1962 and this would most certainly be the product of this work.

A photograph of a fireplace in a family room. The fireplace is built into a wall and features a dark, possibly stone or brick, surround. The opening of the fireplace is visible, and the interior of the hearth is dark. The surrounding wall appears to be a light color, possibly plaster or drywall. The photograph is taken from a slightly low angle, looking into the fireplace.

IMAGE 6 - FAMILY ROOM SHOWING FIREPLACE

3.4 Detailed structural and materials analysis:

In order to better determine the sequence of construction, construction methods and relative age of the various elements of the building a number of inspection holes and were cut in the known oldest parts of the building and documentary photographs taken.

3.4.1 Front Basement (under kitchen):

As noted above, the basement is approx. 12' x 12' x 6' high and located under the existing kitchen. It is accessed from a trap door in the kitchen although there are no permanent steps or ladder. The basement floor was dry when inspected in November and December 2016 although there was a strong smell of dampness. Walls are rounded river type stones set in mortar although the south wall is dry laid. The walls appear to be in good condition and there may have been some re-pointing repairs done at some point. The easterly wall is parged on the interior face and was assumed to be stone although this

could not be confirmed. Along the bottom of the stone walls is a poured concrete bench – this was likely poured to stabilize and straighten the bottom of the wall at the time that the concrete floor was poured (the concrete floor was most certainly later than the stone walls).

The floor framing above this basement is a mix of very old logs and later machine sawn (although not planed or dressed) joists. The logs are highly deteriorated and it is obvious that the later lumber was put in place to support them, although the fact that the later joists are of the un-planed variety would date them to the late 19th or early 20th century. There is also evidence of later structural reinforcement – an adjustable steel jackpost that was obviously put in place to correct some deficiency is now lying badly corroded on the floor. Clearly this was put in place for some reason but has failed through time.

The floor framing in this area is likely part of the earliest construction of the building but badly deteriorated and it would appear of questionable safety.

IMAGE 7 - DETERIORATED LOG JOIST AT BASEMENT

IMAGE 8 - STONE FOUNDATION WALLS AT BASEMENT LOOKING SOUTH. NOTE CURB BELOW

IMAGE 9 - NOTE MAJOR DAMAGE/DETERIORATION TO LOG FRAMING

3.4.2 Detail of Front Crawlspace:

The crawlspace underlies the westerly and southerly parts of the 1 ½ storey part of the building.

The perimeter walls to the north and west are stone rubble although highly irregular in form. They are loosely mortared, partially collapsing and by their width and random nature appear more as rough retaining walls rather than foundation walls. At one point along the southerly wall the stone appears to end and to be replaced by a concrete block wall but because of the high grade condition here this was difficult to discern. The floor is loose dirt and highly varied in height. Clearly this was never levelled. In the center of the space and at some other random locations there are crude concrete block piers located to support the framing above. These are un-mortared, often leaning and obviously of non-professional construction. These likely replaced earlier stone or wooden posts. At the easterly side the crawlspace appears to end and the building may simply sit on the ground here.

The floor framing above is machine sawn (although not planed) full depth 2 x 8 joists at approx. 20" on center. This is obviously much later framing than that seen at the basement area and it appears generally in good condition.

Between the joists is white rigid Styrofoam insulation board 1" thick. This would have given some minimal insulation value however the heating ducts that run through this unheated space are not insulated and this would have dramatically compromised their efficiency. Clearly the living room above would have been very cold room during winter months.

IMAGE 10 - FRONT CRAWLSPACE LOOKING SOUTH. NOTE RANDOM STONE FOUNDATION WALL, MACHINED JOISTS, LATER BLOCK PIER, UN-INSULATED HEATING DUCT

3.4.3 Detail of Dining Room/Kitchen:

Inspection holes were cut in the south and east (exterior) and west (interior) walls of the dining room.

Examination of the south and east walls reveals wood stud construction with planed wood studs and rough-sawn board sheathing. The walls are insulated with paper backed type fiberglass insulation. The east wall revealed what appeared to be significant vermin infestation. The wall was packed with nuts, twigs and other debris and emitted a foul odour. Significantly this is the area where there appeared to be no foundation below and where some significant floor settlement was noted. Likely the wall sill plate here has rotted and permitted vermin to enter and nest.

The south interior wall is located below the change in floor levels on the second floor. It is a double framed wall – a taller stud wall at the east supporting the higher floor level above and a lower stud wall to the west supporting the lower floor level above. This wall was a mix of planed and non-planed studs. It was also very poorly and irregularly constructed. The presence of the non-planed studs would seem to indicate that this wall was older than the perimeter walls or made of partially re-claimed materials.

IMAGE 11 - OPENING CUT IN SOUTH-EAST CORNER OF DINING ROOM. NOTE MACHINED STUD, PAPER BACKED INSULATION, BOARD SHEATHING, VERMIN INFESTATION

IMAGE 12 - FLOOR FRAMING ABOVE KITCHEN. NOTE MODERN DRESSED JOISTS, PLYWOOD SHEATHING, ABS PLUMBING, SPRAYED WHITE PAINT FINISH. THIS IS PART OF THE 1975 FIRE DAMAGE REPAIR

3.4.4 Detail of Living Room:

Inspection holes were cut in the north and west walls of the living room. These reveal similar construction to that evident in the dining room – square planed wood studs with rough sawn board sheathing and paper backed fiberglass batt insulation.

As noted above, wall construction here is unusual with painted Homasote board above and 1970's type pre-finished wood panelling below.

IMAGE 13 - INSPECTION HOLES CUT IN NORTH AND WEST WALLS OF LIVING ROOM

IMAGE 14 - DETAIL OF LIVING ROOM INSPECTION HOLE. NOTE WIDE SHEATHING BOARDS, MACHINED STUDS, PAPER BACKED INSULATION, LATER FURRING TO SUPPORT HOMASOTE BOARD

3.4.5 Detail of Main floor Corridor:

One inspection hole was cut in the south wall of the corridor. This revealed similar construction to the other exterior walls on the main floor with planed studs and wide, rough-sawn sheathing boards and Styrofoam beadboard insulation. The framing in this area is painted white (see discussion of white paint below).

Note that the wall construction in this part of the house can also be observed from the attic access on the second floor. This corroborates the painted stud construction seen in the main floor inspection hole. Interestingly, the north wall of the corridor is a different construction, with 20th century type dressed wood studs and narrow board sheathing. This likely means this wall was rebuilt following the 1975 fire (see discussion of fire damage below).

IMAGE 15 - INSPECTION HOLE CUT IN CORRIDOR. NOTE LANCET WINDOW BEYOND, BEADBOARD INSULATION, WIDE BOARD SHEATHING W/WHITE PAINT FINISH

IMAGE 16 - CORRIDOR WALL FRAMING LOOKING SOUTH FROM SECOND FLOOR ATTIC ACCESS. NOTE OLD WALL BELOW W/WHITE PAINT, NEW ROOF FRAMING

3.4.6 Detail of Second Floor Walls:

Inspection holes were cut in the south, north and west exterior walls of the second floor and in the wall dividing the hall from the east bedroom.

The south wall reveals construction consistent with this wall on the main floor with planed wood studs and wide, rough sawn board sheathing. The wall is insulated with paper backed fiberglass insulation.

The west wall is a curious amalgam of construction materials. The inspection hole reveals newer poly vapour barrier and batt insulation and light gauge metal stud framing. It could not be determined if this metal stud framing was load bearing or simply furring but the photograph shows evidence of the removal of a wood stud so it is possible that the metal framing could be load bearing (this light gauge framing is not intended to be load bearing). The sheathing is the wide, rough-sawn boards seen elsewhere. The insulation, metal stud and poly vapour barrier seen here would likely date this construction to very late 20th century.

The north wall is also a curious construction. Here we see wood studs but of the planed and dressed variety typical in the late 20th century and Styrofoam beadboard type insulation. There is no vapour barrier. The wood stud is painted white as seen elsewhere but here it is painted with a brush as opposed to the spray seen elsewhere.

IMAGE 17 - INSPECTION HOLES CUT IN SOUTH AND WEST SECOND FLOOR WALLS

IMAGE 18 - DETAIL OF INSPECTION HOLE IN WEST WALL. NOTE METAL STUD, POLY VAPOUR BARRIER, MODERN BATT INSULATION. NOTE ALSO EVIDENCE OF REMOVED WOOD STUD AT CENTER OF IMAGE

IMAGE 19 - DETAIL OF INSPECTION HOLE IN NORTH WALL OF SECOND FLOOR. NOTE MODERN DRESSED STUD W/BRUSH APPLIED WHITE PAINT FINISH, STYROFOAM BEADBOARD INSULATION

3.5 Analysis and Observations:

3.5.1 Fire damage:

As noted above, the history and recollections of the former owner indicate that a serious fire took place in this building in 1975. Analysis of the building concludes that this fire likely began in the kitchen and destroyed the second floor framing above the kitchen area and parts of the south wall on the first and second stories as well as the south wall of the corridor and the entire of the roof framing above the corridor. More intensive investigation would likely reveal further repaired damage, likely to the roof of the second floor above the kitchen.

3.5.2 White paint:

White paint is visible on the house framing in a number of locations, in the kitchen ceiling, on both corridor walls and in the second floor south side. This is not traditional whitewash but a spray applied coat of what appeared to be primer. It is applied neatly but clearly was not intended to be a finished coat. The most likely explanation for this paint is that was applied at the time of the renovation following the fire to framing members that were not affected by the fire to the extent that they required replacement but may have been darkened by smoke and potentially smelled of fire. Why the new framing members and pipes were in some cases also sprayed white cannot be explained.

3.5.3 Analysis:

The expectation in these circumstances would be that the reverse saltbox element was the original part of the building and the other parts subsequent additions. Detailed inspection of the building reveals that the situation is more complex than this. The saltbox building is in fact not a singular element but is composed of an original, much smaller building and a series of additions that were accrued over time and then partially rebuilt following the fire of 1975. This is evident in a number of ways – the most obvious being that the main and second floor levels of the home are not consistent elevations but are unusually divided by two steps. The lack of a consistent foundation, random window placements and the remnant of roof at the rear of the 1 ½ storey building are also critical factors. The fact that all of the interior trims and finishes in the building appear to be late 20th century and some of the workmanship appears to be non-professional is also significant.

The most likely sequence of building is as follows:

- the earliest construction is the foundation that is accessible from the kitchen trap door and the floor framing above it. The presence of the log framing elements and the known history of the site would indicate that this would likely date to the mid-19th century. This was likely a very small 1 or 1 ½ storey building. All of the wall and roof framing of this building appears to have been removed either as a result of subsequent additions or because of the fire.
- the dining room, living room and front and back of the second storey are likely the second phase of construction of the home. This is evident because of the similar construction methods and materials evident by the exploratory investigation. This was likely late 19th century construction.
- the third phase of construction was likely the rear corridor area, reported by the former owner to have been constructed in 1910¹²
- the fourth phase of construction was the 1962 rear family room addition, as evidenced by the building permit information
- the fifth phase was the raising of the rear roof of the 1 ½ storey part of the building to create the reverse saltbox form. The former owner has indicated that this took place in 1966.
- the sixth phase was the reconstruction following the 1975 fire. The similar trim and drywall interior finish in the building as well as the paper backed insulation (which was typical building practice at this time) in the building would suggest that the building interior was completely gutted following the fire and all of the finishes renewed at this time. The kitchen, trims, baseboards and some of the windows would date to this. As discussed above there was also significant re-framing of the exterior walls and roof at this time.

¹² Matthew Wilkinson

- the seventh phase of construction was some likely remedial work done on the north side second floor and elsewhere as evidenced by the beadboard insulation in this wall. This was likely in the late 1970's or 1980's.
- the eighth phase of construction was the interior work along the west wall of the second storey revealed by the metal framing and poly vapour barrier. This was likely 1990's or early 21st century.
- Also likely 1990's or early 21st century was the existing vinyl siding and trims on the exterior of the entire building and the vinyl windows that are present in the home.
- at some point the windows on the front elevation were enlarged and moved outward. This probably coincided with the replacement of the siding but the exact date of this is unknown

3.5.4 Summary:

The overall condition of the building is very poor. As noted above, there is significant differential settlement and unevenness in much of the building and lack of a proper foundation in much of it. Clearly there is evidence of deterioration of structural members and collapse of foundation elements. There is a visible sag in the main roof ridge and in some of the rafters. Numerous instances of water penetration are obvious and there is a strong smell of dampness present. There is evidence of vermin and raccoon infestation. If more of the interior finishes were to be removed than what was done to facilitate this study, it is highly probable that mold and deterioration would be widespread.



PARTIAL NORTH ELEVATION – NOTE RANDOM, MIS-ALIGNED WINDOWS, CONTEMPORARY FINISHES, ABSENCE OF DETAILING

3.5.5 Potential for Renovation of the Building

This building has been highly compromised and is a poor candidate for renovation. The incremental nature of its construction means that it likely never had any significant architectural merit or interest

and any that might have been present has been lost by subsequent renovations, the 1975 fire and deterioration over time. The lack of a proper foundation and the mold, dampness and settlement issues attributable to this are major factors limiting the development potential of the building.

4.0 Architectural, Historical and Contextual Analysis

4.1 Statement of Cultural Value or Interest

The City of Mississauga's Statement of Cultural Value or Interest as regards the 2537 Mindemoya Rd. is as follows:

This is a simple three bay facade frame structure with a wood siding finish. The building would have been one of the earlier homes in the former village of Springfield (Erindale)

4.2 Analysis

2537 Mindemoya Rd. is a simple, vernacular building without obvious architectural intent or interest. Earlier in its life, before the many additions, repairs, replacement of windows and exterior finishes there may have been some additional architectural interest but nothing significant remains.

Although the building is reported in local history to be of 1835 construction¹³ this is probably both a factual error and also generally misleading. The earliest part of the home was likely, as discussed above, constructed in the mid-1850's but virtually none of this remains. The majority of the home, including the entire of the front elevation and the main roof that gives it its form, is of late 19th century construction.

The building is also reported in various written histories to incorporate part of an earlier log structure. This appears to be erroneous information. The only logs that were seen were in the earliest part of the floor framing and this was a typical condition in the mid 19th century. There were no log wall remnants found in the exploration of this building.

The building has no discernable historical importance to the community. While its inhabitants have included members of families that were long term residents of the community, this is to be expected in any older building especially one in a village context. None of the individuals who were known to have lived here are of local importance and there is no evidence that any event or thing of significance took place here.

¹³ A Heritage Tour, Erindale



The building does have some minor contextual importance simply as a survivor from the earlier days of the Village, however the building's location at the end of a dead end street and awkwardly placed on the site limits its visibility. There are a number of surviving major buildings from the original Village including the public school (now University of Toronto at Mississauga Alumni House)(c.1922), the Evans estate (now Glen Erin Inn)(c.1928), Lislehurst (residence of the president of the University of Toronto at Mississauga)(c.1882), Robinson-Adamson Grange (now the offices of the Mississauga Heritage Foundation)(c.1828), Erindale Presbyterian Church(c.1877), St. Peter's Anglican Church(c.1877), the Anglican parsonage (now Heritage Orthodontics)(c.1861) and the Erindale Village Hall (c.1928). Notable private homes include 2592 Jarvis St. (c.1835), 1584 Dundas St. W. (c.1878), 1532 Adamson St. (c.1855), 2625 Hammond Rd. (c.1866). All of these buildings are architecturally and contextually more significant buildings than 2537 Mindemoya Rd.

4.3 Streetscape

The existing streetscape is highly varied as regards building size, building age and lotting pattern. Generally all of the homes in the immediate area are much newer and/or have been extensively renovated.



STREETSCAPE LOOKING SOUTH. SUBJECT SITE IS AT LEFT



STREETSCAPE LOOKING NORTH

5.0 Zoning and Official Plan

2537 Mindemoya Rd. is presently zoned R2-22 under by-law 0225-2007.

This zoning allows:

- max. lot coverage: 35%
- minimum front yard: 7.5m
- minimum interior side yard: 1.2m plus 0.61m for each additional storey above one storey
- minimum rear yard: 7.5m
- maximum height: 10.7m (measured to the midpoint of the roof)
- gross floor area: not regulated

Given the approximately 1200m² lot area this would allow a single family residence of approximately 800m².

The property is not subject to site plan control.

5.1 Development Options

The combination of the zoning by-law requirements, the awkward placement of the existing building on the site and the grade conditions make it very difficult to imagine a development scenario that could include re-use of this building, even if it were in better condition.

The only reasonable development option here is a new structure built within the present zoning by-law.

There are no significant built or natural features in the immediate area of this development. The existing streetscape is highly varied and generally consists of buildings that date from the mid to late 20th century. The only significant heritage building near the site is the Erindale Village Hall at Mindemoya and Dundas however there is no visual relationship between these two sites.

This neighborhood is not a Heritage Conservation District and there is no District Plan, Site Plan control or other mechanism in force that regulates compatibility, materiality or architectural design. This area has been under development pressure for some time and the overwhelming trend, as in many other communities in Mississauga, has been for new construction to be built to the by-law maximums as regards coverage, and height and to by-law minimums as regards setbacks.

Other neighborhoods in Mississauga such as Lorne Park and Mineola have infill requirements that limit height, gross floor area and require greater setbacks, as well as Site Plan control. Streetsville and Port Credit have their own specifically designed zoning by-laws intended to limit the impact of new development. Erindale has none of this, however, and the result is that new construction tends to dominate the streetscape. This is the unavoidable result of lack of regulation.

5.2 Conservation Principles

Nothing of the original building (with the exception of the salvage items described below) are proposed to be conserved.

5.3 Loss of Cultural Heritage Value

There will be some loss of cultural heritage value under this proposal however this will be minimal. The heritage value of the building consists of its form and primarily of the simplicity of its front elevation which has been largely unchanged since the late 19th century.

5.4 Mitigation and Salvage

There is very little material in the building with salvage value with the exception of the original lancet window, which should be protected and offered to St. Peter's Church, and the wide plank floors on the second floor. These should be carefully removed and re-used in the new building or offered for re-use elsewhere in the Village. Given that they were already removed from a previous building for re-use here their removal and re-use elsewhere would make a very interesting story and previous something of the legacy of both of these buildings.

The building should be thoroughly documented during the demolition process and the siding should be carefully removed to see what traces of historic detailing still exist, although this is expected to be minimal.

5.5 Summary Statement

2537 Mindemoya Rd is an interesting building that recalls the beginnings of the Erindale Community. It has been extensively altered through its history but in a way that has preserved its fundamental form. It was fortunate to have as its owners for many years a family that took interest and its heritage. It has also suffered from poor quality renovations, lack of maintenance and from a devastating fire. It is poorly situated on the site and this is a major factor in its redevelopment potential. The requirement to conserve the building is also limited by a zoning by-law that not as restrictive as other parts of Mississauga and by a lack of other regulatory mechanisms that might make conservation a viable option.

The building is not important in maintaining the character of the streetscape nor is it part of an important view. Its location on the street and the amount of vegetation around it actually makes it quite difficult to observe.

The development will have minimal impact on surrounding properties and on the streetscape.

Demolition of the building is recommended.

6.0 The Proposal

The proposal is for a new 2-storey dwelling of approx. 450m² plus finished basement and garage. The proposal is setback further from the property lines than required under the by-law and is several meters less high than the zoning by-law allows as per the following statistics:

Front yard setback (9.0m required): north corner 9.0m, south corner 13.1m proposed
 Side yard setback (1.81m required): north side 3.1m, south side 3.1 proposed
 Rear setback (7.5m required): 19.1m proposed
 Building height (10.70m max. to mid-point of roof): 9.0m to mid-point proposed
 Coverage (35% maximum): 27.6% proposed

The front elevation is stone and the side elevations are brick. It is a highly traditional design although with some contemporizing elements that identify it as being of 21st century construction. It is very similar to other infill houses recently built in the community and elsewhere in Mississauga.

Proposed site plans, floor plans, elevations and streetscape are amended to this report.

There are 26 mature trees on and surrounding the site of which 5 will be removed as a result of this proposal. None of these trees is individually significant. An Arborist Report from Storybook Tree Services is attached.

7.0 Mandatory Recommendation:

The property must be evaluated under the criteria for designation under Ontario Regulation 9/06, *Ontario Heritage Act*. This is the part of the Act that allows designation of individual designations (Part IV designations). The criteria area:

1. The property has design value or physical value because it,
 - i. is a rare, unique, representative or early example of a style, type, expression, material or construction method.
 - ii. displays a high degree of craftsmanship or artistic merit, or
 - iii. demonstrates a high degree of technical or scientific achievement.

Analysis: The property is significant as one of the few examples of 19th century residential development in Erindale Village however it has been highly compromised by additions and the 1975 fire. Its construction methods, techniques and materials were very typical for houses of this era. It is in no way unique, rare or representative of high achievement.

2. The property has historical value or associative value because it,

- i. has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to the community,
- ii. yields, or has the potential to yield, information that contributes to an understanding of a community or culture, or
- iii. demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.

Analysis: The property has an association with Dr. Joseph Adamson, who was significant to the community. This importance is limited in this case because it is almost certain that he owned this as part of larger holdings and not as a residence. There were other long term residents of the home including the Barker/Wilkinson family but these individuals were of no greater significance to the community than any other resident.

3. The property has contextual value because it,

- i. is important in defining, maintaining or supporting the character of an area,
- ii. is physically, functionally, visually or historically linked to its surroundings, or
- iii. is a landmark.

Analysis: The relatively intact front elevation and diminutive massing of the building does have some contextual value in maintaining the character of this community as a 19th century village, as does the significant amount of open space to the north and east of the building. This value is limited by a number of factors, however, including the incremental development of Mindemoya Rd. and the re-grading of the street that has made this property an anomaly in the local area, as well as the fact that the property is not in a significant location in the community and is in no way a landmark. There are a significant number of 19th century private, public and commercial buildings remaining in this area and because of the factors listed above this building supports the character of the area relatively less than do the majority of other heritage buildings in the Village.

Conclusion:

The property at 2537 Mindemoya Rd has limited architectural, contextual and historical value and would not be worthy of Part IV designation.

Provincial Policy Statement:

Under the Provincial Policy Statement,

“Conserved: means the identification, protection, use and/or management of cultural heritage and archaeological resources in such a way that their heritage values, attributes and integrity are retained.”

Analysis:

Under this definition the existing property at 2537 Mindemoya Rd. does not warrant conservation.

Bibliography:

- Mississauga Library, Canadiana Room, original unpublished documents and newspaper clipping files
- Heritage Mississauga, original unpublished documents, original photographs
- City of Mississauga website, property information, zoning by-law, Official Plan
- City of Mississauga files, un-published photographs
- Hicks, Kathleen A., Erindale: Early Times to Evolution, Mississauga Library System, 2009
- Matthew Wilkinson, unpublished manuscript and personal recollections

-websites: University of Toronto Mississauga, Heritage Mississauga

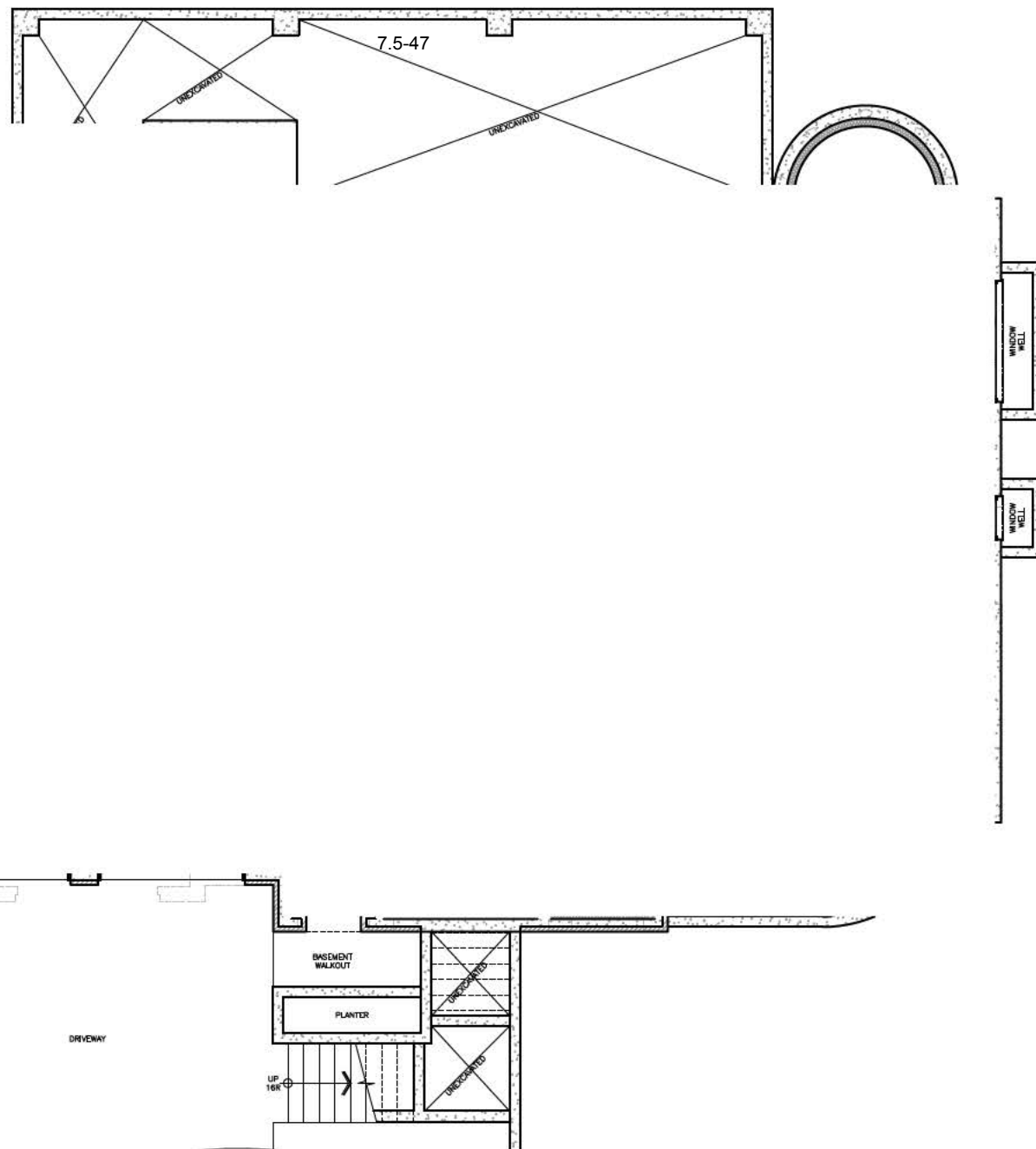
Appendix: Floor plans showing final built condition of the 2537 Mindemoya Rd.

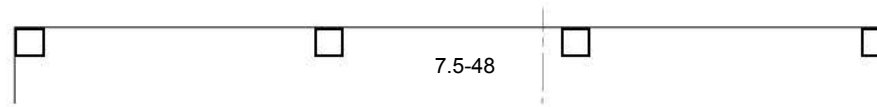
Appendix: Existing Survey

Appendix: Proposed building plans and elevations

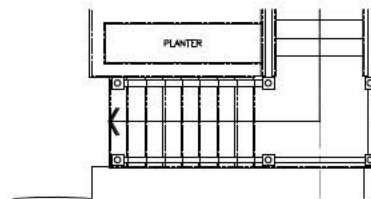
SMDA Strickland
Mateljan
Design+Architecture

Residence
N.T.S.
Site Plan I
2537 Mindemoya Rd. Mississauga, ON.
February 10, 2017

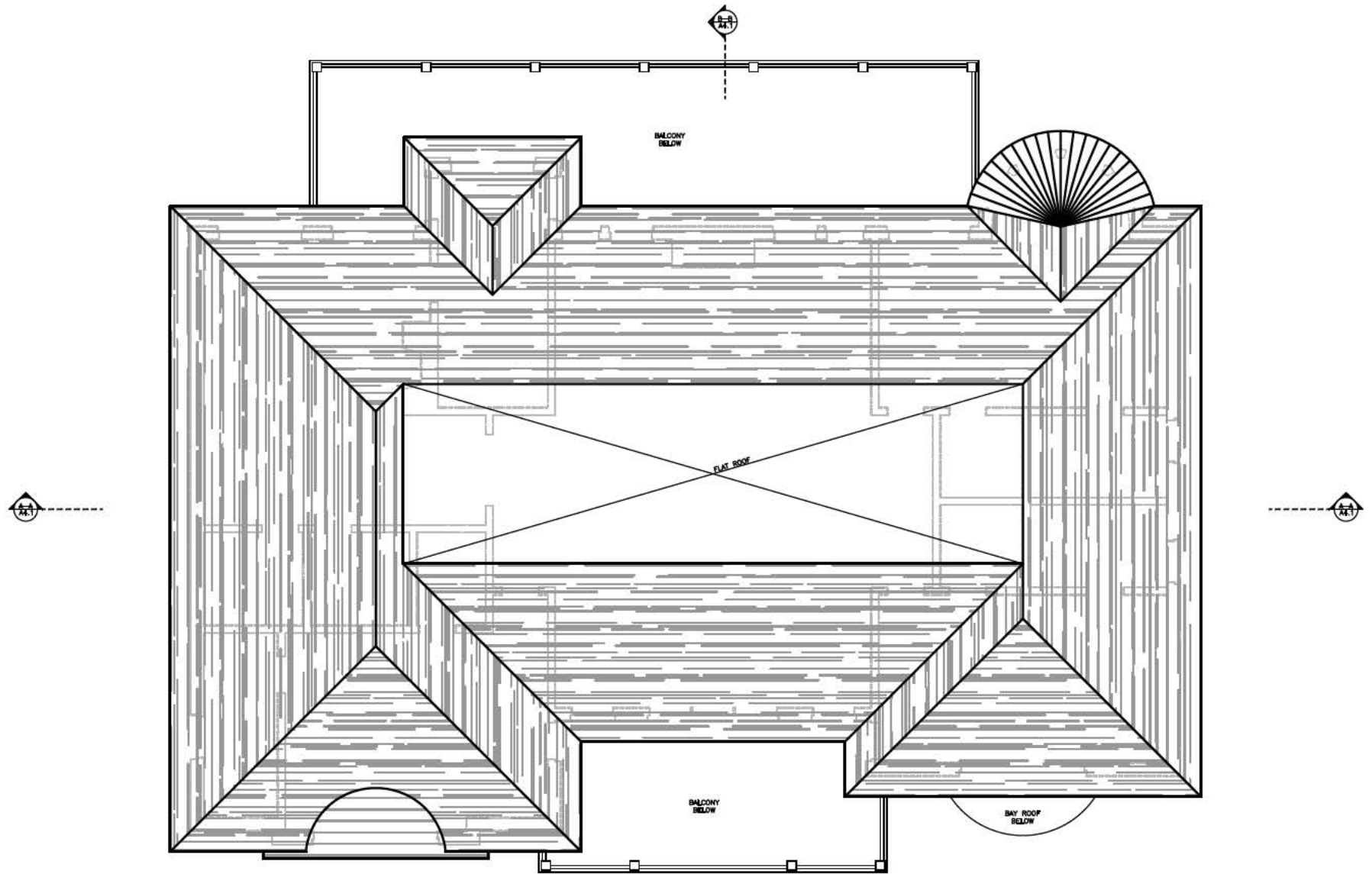




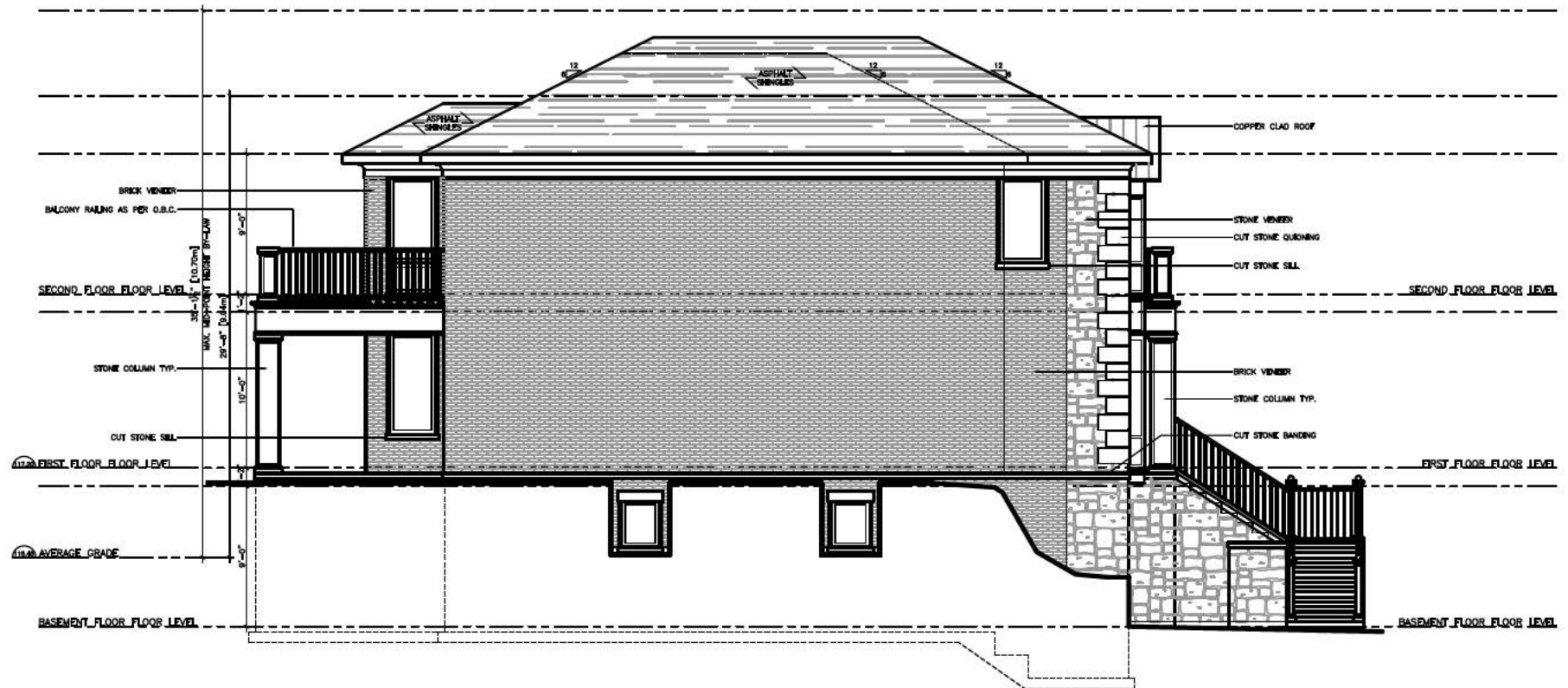
DRIVEWAY

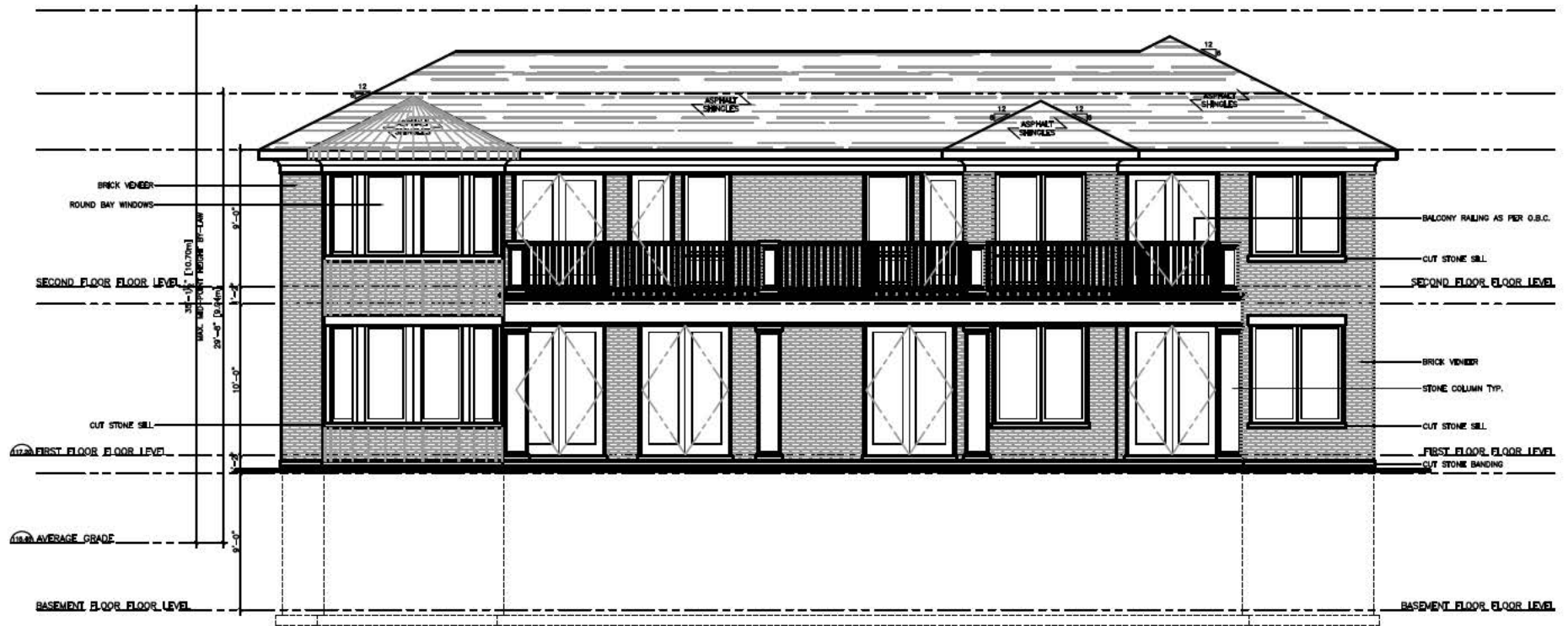


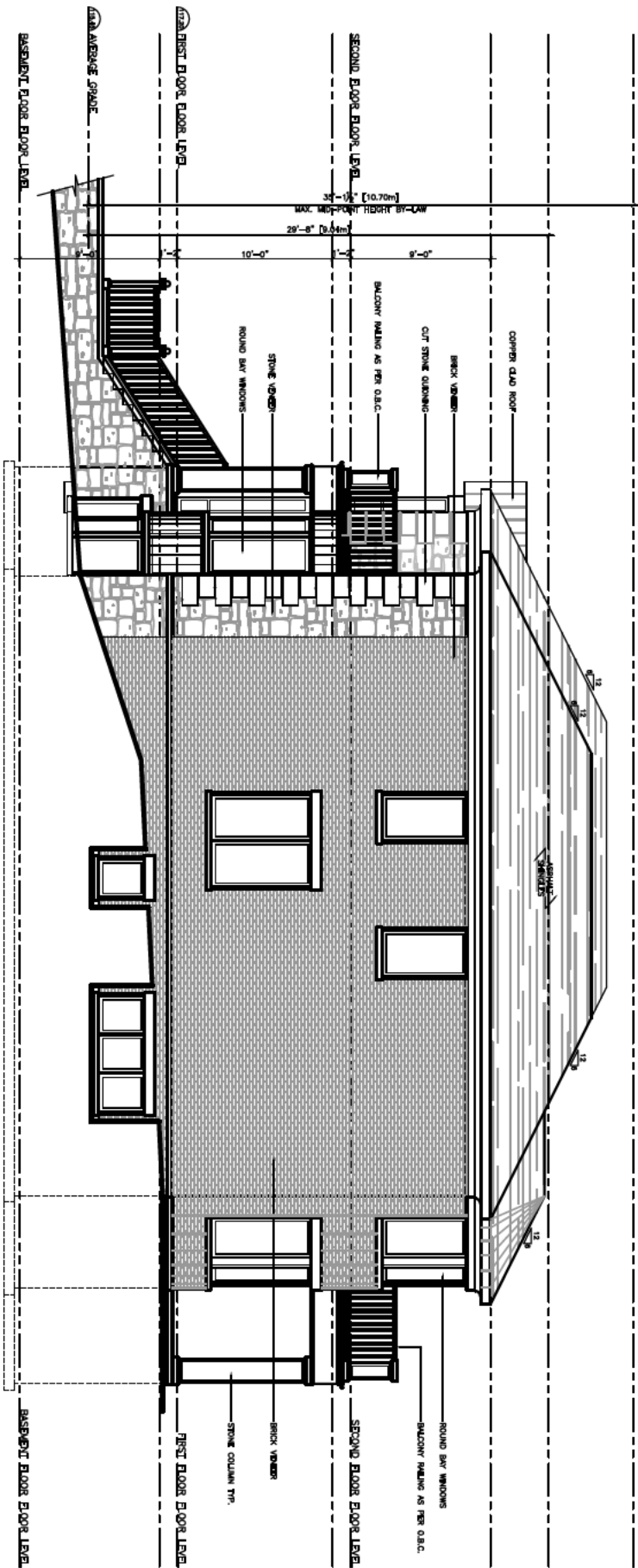
7.5-50

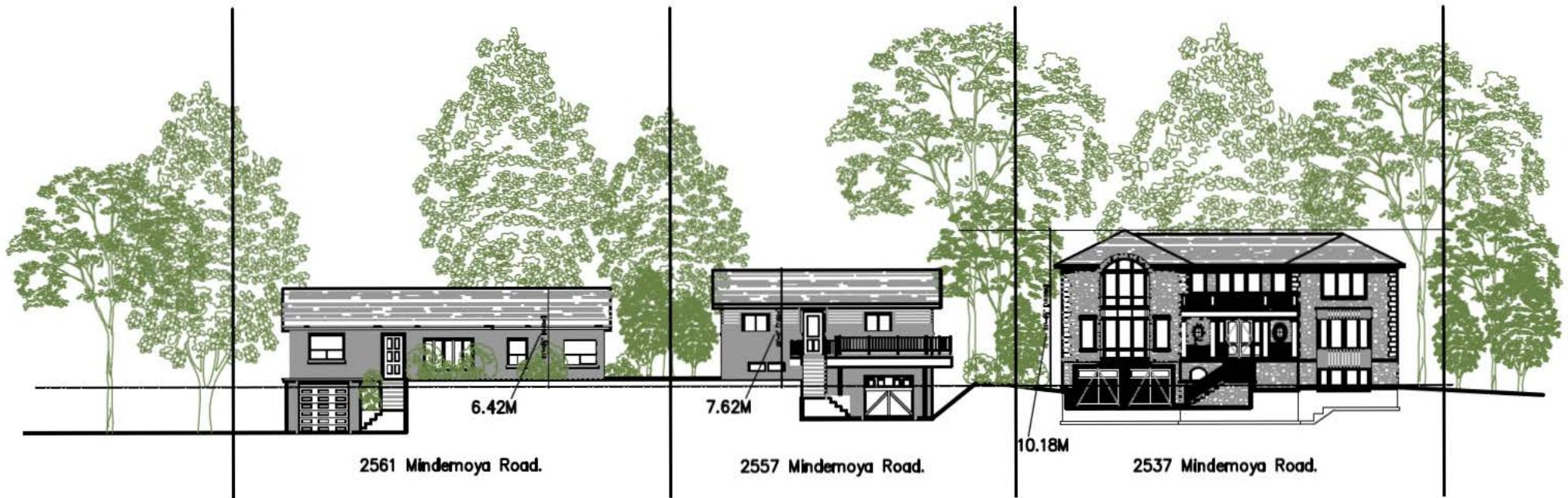




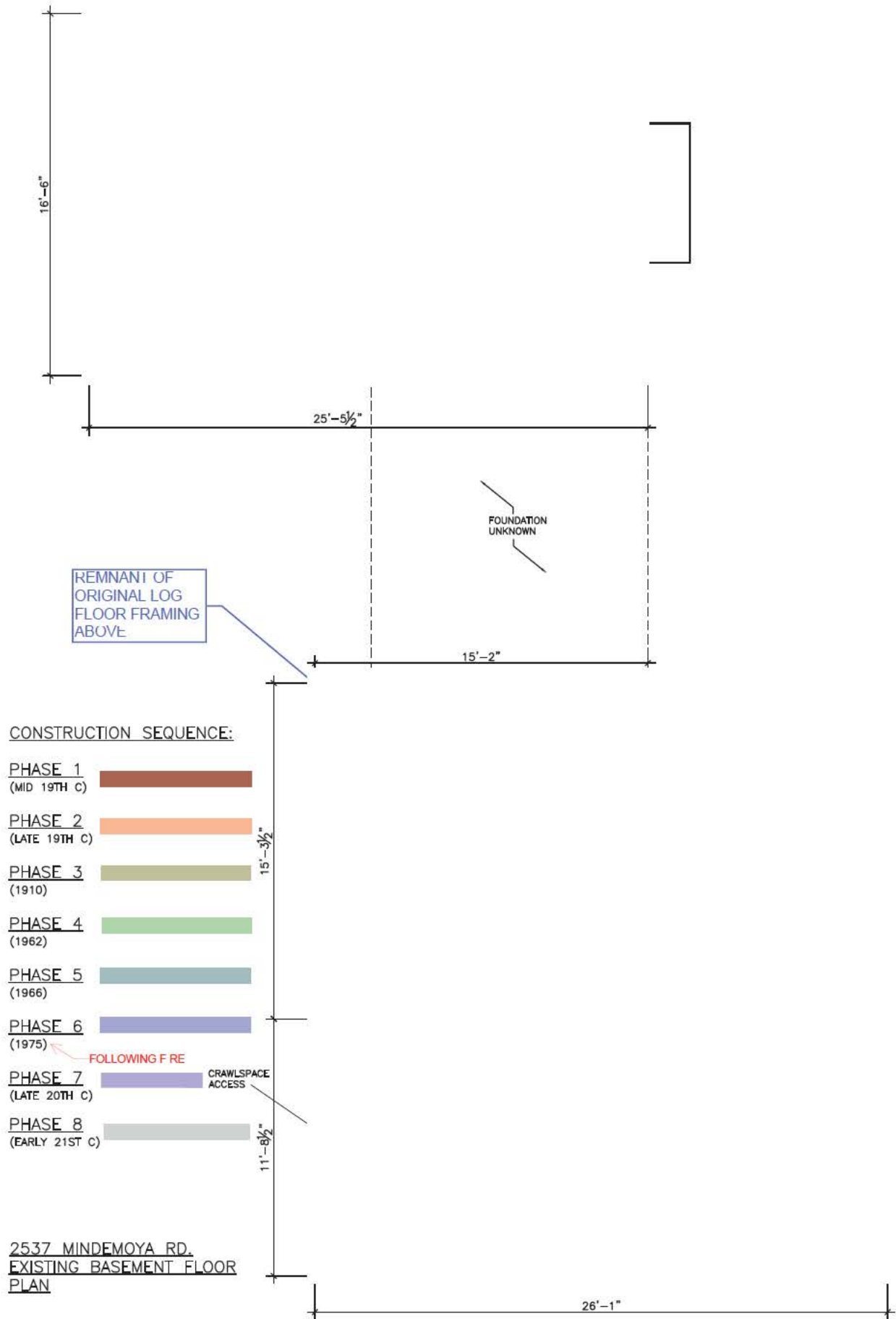


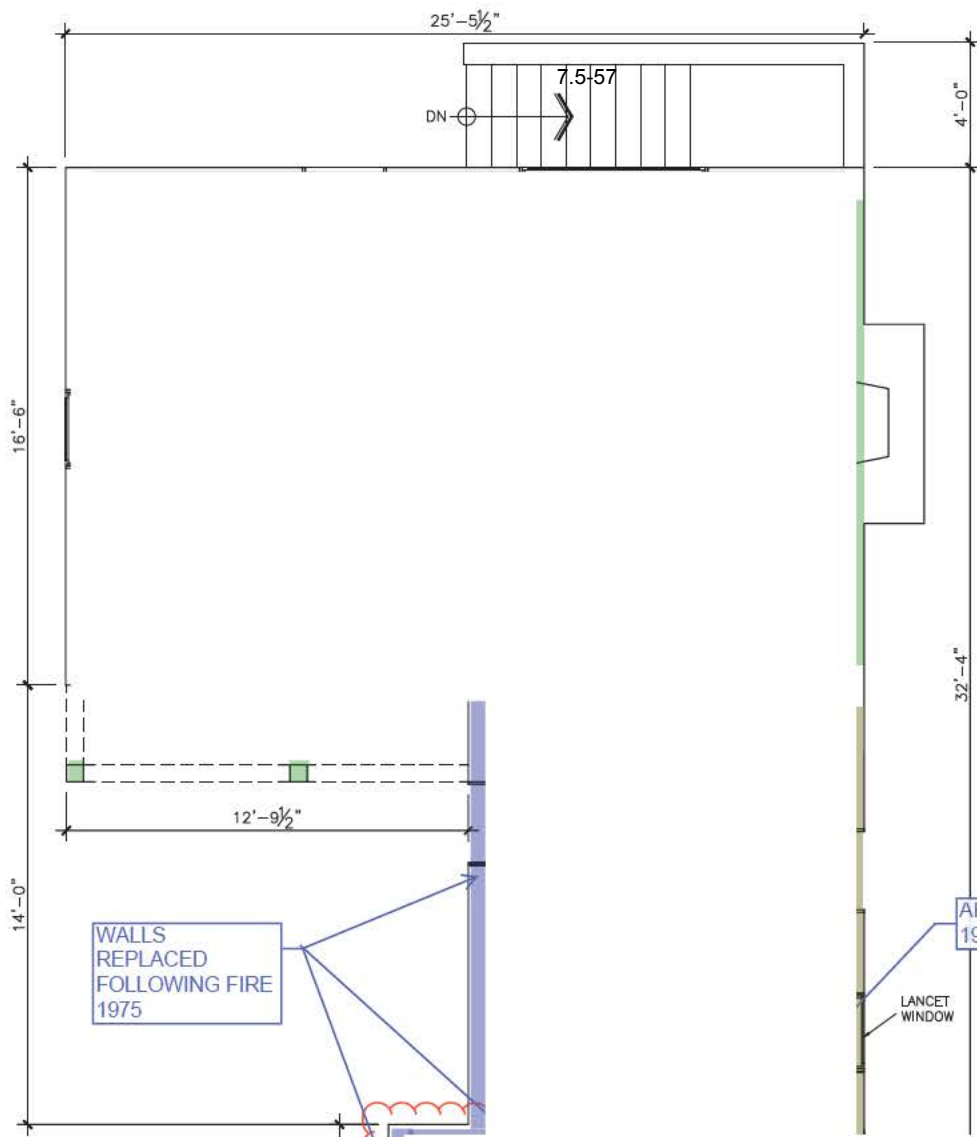





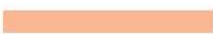

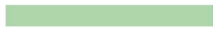






NOTE: HEIGHTS SHOWN ARE FOR ILLUSTRATIVE PURPOSES ONLY AND ARE TAKEN FROM THE ESTABLISHED GRADE OF 2537 MINDEMOYA TO THE PEAK OF EACH INDIVIDUAL HOME. BUILDING HEIGHT AS DEFINED IN THE ZONING BY-LAW IN THIS ZONE IS TAKEN TO THE MID-POINT OF THE ROOF AND FROM THE ESTABLISHED GRADE ON EACH PROPERTY, WHICH CANNOT BE CALCULATED WITHOUT A SURVEY FOR EACH INDIVIDUAL PROPERTY. FOR THIS REASON IT IS DIFFICULT TO COMPARE BUILDING HEIGHTS ON ADJACENT PROPERTIES. BUILDING HEIGHTS ON NEIGHBOURING PROPERTIES ARE APPROXIMATIONS.



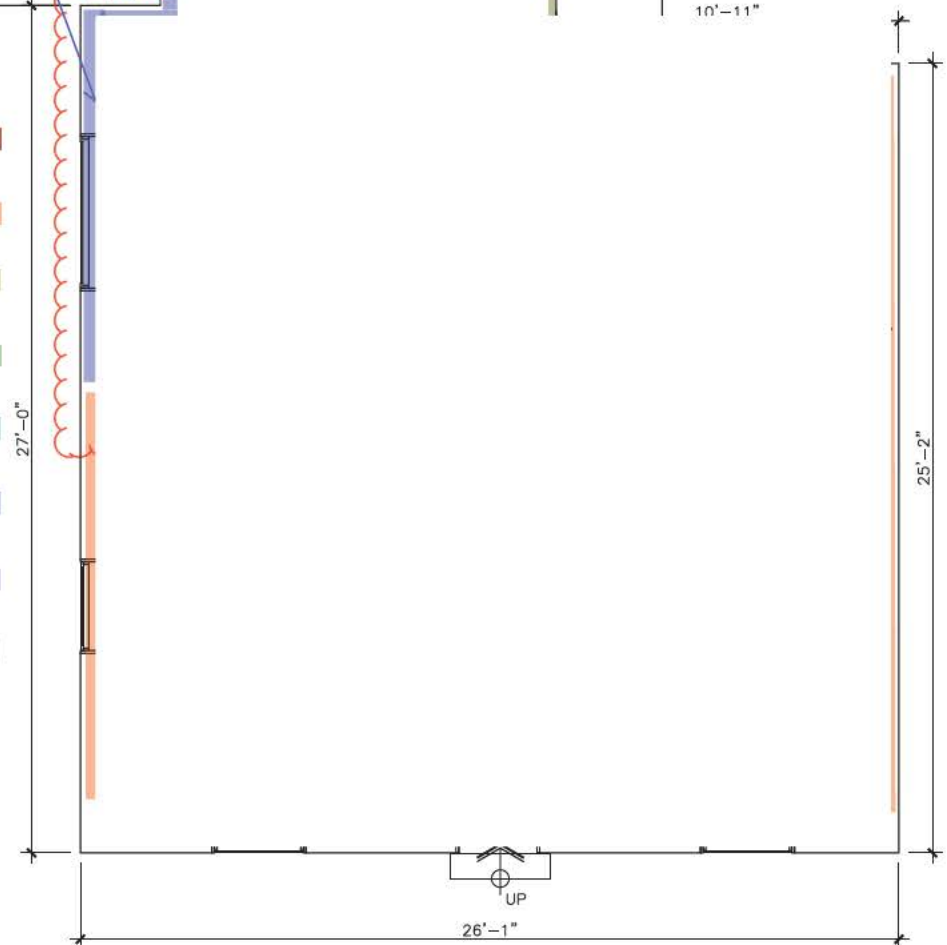


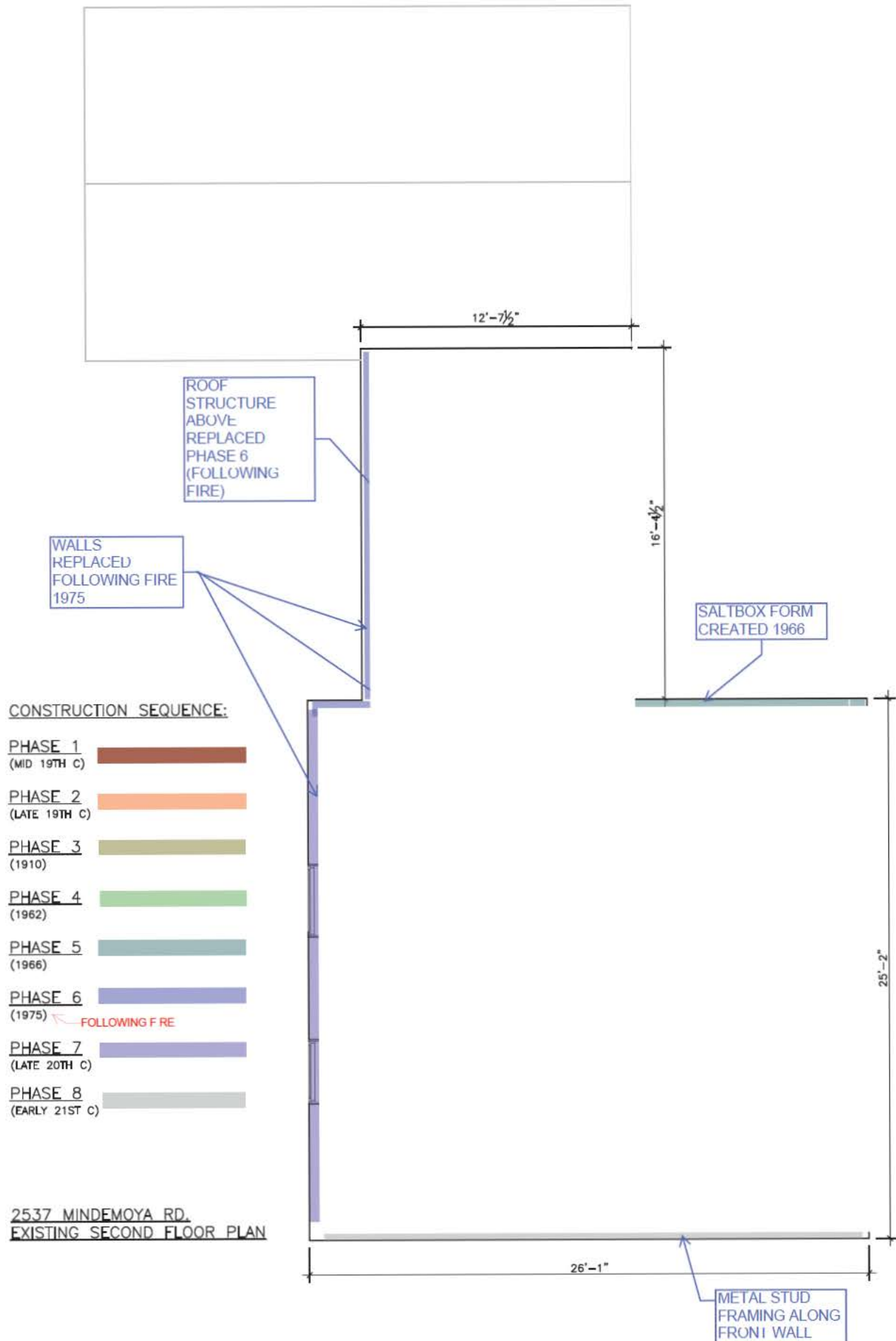
CONSTRUCTION SEQUENCE:

PHASE 1 (MID 19TH C)	
PHASE 2 (LATE 19TH C)	
PHASE 3 (1910)	
PHASE 4 (1962)	
PHASE 5 (1966)	
PHASE 6 (1975)	
PHASE 7 (LATE 20TH C)	
PHASE 8 (EARLY 21ST C)	

FOLLOWING FIRE

2537 MINDEMOYA RD.
EXISTING MAIN FLOOR PLAN





City of Mississauga Corporate Report



Date: 2017/03/16

To: Chair and Members of Heritage Advisory Committee

From: Paul Mitcham, P. Eng, MBA, Commissioner of
Community Services

Originator's files:

Meeting date:
2017/04/11

Subject

Request to Demolish a Heritage Listed Property: 1625 Blythe Road (Ward 8)

Recommendation

That the property at 1625 Blythe Road, which is listed on the City's Heritage Register, is not worthy of heritage designation, and consequently, that the owner's request to demolish proceed through the applicable process.

Background

Section 27.3 of the Ontario Heritage Act states that structures or buildings on property listed on the City's Heritage Register cannot be removed or demolished without at least 60 days' notice to Council. This legislation allows time for Council to review the property's cultural heritage value to determine if the property merits designation.

The owner of the subject property has submitted a heritage permit application to demolish the existing detached dwelling. The subject property is individually listed on the City's Heritage Register. It also forms part of the Credit River Corridor Cultural Landscape. This cultural landscape is significant due to it being a "scenic rare natural landmark in the city." The Credit River is an ecologically, archaeologically and historically significant feature in the City, noted for its importance in the development of Mississauga.

Comments

The owner of the subject property has requested permission to demolish the existing structure. The applicant has provided a Heritage Impact Assessment compiled by Richard Collins. It is attached as Appendix 1. The consultant has concluded that the structure at 1625 Blythe Road is not worthy of designation. Staff concurs with this finding.

The tree inventory (attached as Appendix 2), by Maple Hill Tree Services, indicates two tree species that are "unusual urban trees especially at the size."

A Heritage Impact Assessment addendum, showing future plans for redevelopment, as well as a full arborist report, will be required at the time that a development application is submitted to the City.

Financial Impact

There is no financial impact.

Conclusion

The owner of 1625 Blythe Road has requested permission to demolish a structure on a property that is listed on the City's Heritage Register. The applicant has submitted a documentation report which provides information which does not support the building's merit for designation under the Ontario Heritage Act. Staff concurs with this finding.

Attachments

Appendix 1: Heritage Impact Assessment

Appendix 2: Tree Inventory



Paul Mitcham, P. Eng, MBA, Commissioner of Community Services

Prepared by: P. Wubbenhorst, Senior Heritage Coordinator



HERITAGE IMPACT ASSESSMENT

1625 BLYTHE ROAD

MISSISSAUGA, ONTARIO

0.0

CONTENTS

1.0 General Information

2.0 General Requirements

- 2.1 Detailed site history
 - 2.1.1 listing of owners from the Land Registry Office
 - 2.1.2 a history of the site use(s).
 - 2.2 Complete listing and full written description of property
 - 2.2.1 Built Forms
 - structures
 - building materials
 - building elements
 - architectural and interior finishes,
 - natural heritage elements
 - landscaping
 - archaeological resources
 - 2.2.2 Chronological history of the property
 - 2.2.3 Conclusions regarding the significance and heritage attributes
 - 2.2.4 Location map
 - existing land use
 - zoning and land use of adjacent properties
 - 2.3 Existing conditions related to the heritage resource
 - 2.3.1 current exterior and interior photographs
 - 2.3.2 measured elevations
 - 2.3.3 floor plans
 - 2.3.4 site plan or survey
 - 2.3.5 Historical photos, drawings, or other archival material
 - Items 2.4 to 2.7 are not applicable to this application**
 - 2.4 Proposed development outline
 - 2.4.1 Impact of the heritage resource on neighbouring properties
 - 2.4.2 Influence on the subject and adjacent properties.
 - 2.4.3 Compliance with the Heritage Conservation District Plan.
 - 2.4.4 Streetscape
 - 2.5 Architectural drawings
 - 2.6 Alternative development options/mitigation measures
 - 2.6.1 Alternative development approaches
 - 2.6.2 Isolating site alteration from built and natural features and vistas
 - 2.6.3 Design guidelines that harmonize mass, setback, setting and materials
 - 2.6.4 Limiting height and density
 - 2.6.5 Allowing only compatible infill and additions
 - 2.6.6 Reversible alterations
 - 2.7 A summary of conservation principles
-

2.8 Loss of cultural heritage value interests and impact on the streetscape

2.9 Salvage mitigation

3.0 Summary Statement

3.1 Attributes of the cultural heritage resource

3.2 Impact on the cultural heritage resource

3.3 Mitigation measures

3.4 Why conservation or mitigative measures are not appropriate

4.0 Recommendation

4.1 Regulation 9/06, Ontario Heritage Act

4.1.1 Does the property meet the criteria for designation

4.1.2 Provincial Policy Statement - 2014

5.0 Qualifications

5.1 Author

5.2 References

1.0

GENERAL INFORMATION

Name(s)

1.11 Historic Place Name

- none

1.12 Other Name(s)

- W. Alan Van Every residence, 1939

- Thomas P. O'Malley residence, 1971

Recognition

1.21 Authority

- City of Mississauga

1.22 Inventory Code

- L-NA-2; #480

Location

1.31 Address

- 1625 Blythe Road

1.32 Postal Code

- L5H 2C3

1.33 Lower Tier

- City of Mississauga

Coordinates of the Building Proposed for Demolition

1.41 Latitude

- 43° 31' 47.4" north

1.42 Longitude

- 79° 38' 52.2 west

Boundaries

1.51 Lot

- C.I.R. Range 2 S.D.S., Racey Tract; part of Lot 4

1.52 Property Area

- 11,175.53 m²

1.53 Depth

- n/a

Zoning

1.61 Zoning

- G1 and R1

1.62 Status

- listed, but not designated

1.63 Bylaw

- n/a

2.0

GENERAL REQUIREMENTS

2.1 Detailed site history

2.1.1: listing of owners from the Land Registry Office

Owners of the Undeveloped Property

Because the Credit River passes through the subject property, the property was originally part of a reserve retained by the Mississauga nation after signing Treaty 13a in 1805, in which the Mississauga nation sold all land south of present-day Eglinton Avenue, from Etobicoke Creek to the Brant Tract in modern-day Burlington, excluding all land for ~1.6 kilometres on both sides of the Credit River.

In 1822, the councilors of the Mississauga nation signed Treaty 22, selling the part of the 1805 reserve for one-quarter the distance of a concession (approximately 500 metres) on both sides of the Dundas Street survey line. The southern lot line of Treaty 22 is today's Blythe Road, which is the southern lot line of the subject property. Being the lot line half way between the Dundas Street survey line and the 1st Concession South (called the Middle Road), Blythe Road was known as Upper Middle Road to August 1958, when the current name was adopted.

Thomas Racey purchased the Treaty 22 tract from the Crown with the guarantee to pay for the tract by way of revenue generated by a saw and/or grist mill he proposed to build on the Credit River about one kilometre upstream of the subject property. Racey's mill did not generate sufficient revenue to cover cost, and he surrendered the land in 1828. The Crown divided the surrendered land into smaller lots to be resold by trustees of the land.

An ~81 hectare (200 acre) portion of this surrender was transferred to Thomas McEwen who acted as an agent for the sale of this section of the Racey Tract, referred to from this date as Lot 4 of Range 2 S.D.S. (south of Dundas Street) of the C.I.R. (Credit Indian Reserve).

Following this transfer, the record of the subject property is uncertain, because the land registry record lists all land transactions within Lot 4, CIR Range 2 SDS without specifying which portions of the lot were sold. With the assistance of the historian for Heritage Mississauga, the following sequence of land transactions has been assembled for the subject property by going through the sequence of transactions back in time from the current owner.

It is likely that John McGill planned to rebuild Racey's mill, purchasing the land in Lots 3 and 4, CIR Range 2 SDS (through which the river meandered) in 1868. He purchased Lot 4 for £1,280.

There is some confusion regarding the next transaction. The land registry record states that the southernmost 20 acres of Lot 4 was purchased by William Fletcher in 1890 for \$2,000, but the Walker and Miles map of Toronto Township of 1877 shows the land in Fletcher's possession in 1877. It is possible that Fletcher was managing the land for the McGills, who were only interested in the water rights to the property. This would explain why Fletcher's name appears on the 1877 map even though the sale of the property to Fletcher didn't take place until 1890.

In 1908, the subject property was acquired by Jane Peer (et al), who sold the land undeveloped to Frank Mullet in 1913 for \$6,500.

Possible 1913 Development

It is likely that Mullet was the first owner to develop the property. When he sold the property to Francis and Nellie Perkins a year later the land value had more than doubled to \$13,500, suggesting that Mullet had improved the property; probably with a homestead. The City of Mississauga's records state that the current residence at 1625 Blythe Road dates from the 1910s, but Donald Van Every – son of a later landowner – mentioned on his second visit to the current property owner that there had been an old cottage in the front yard, and asked if any remnants had been found. There is a cleared area about 50 metres south of the current residence, with some lakestone landscaping, which could indicate the site of a now-demolished structure.

The property (now known as 1617 and 1625 Blythe Road) was acquired in 1928 by Clara Ann Elizabeth Sharon Gibson (1877-1961), widow of Thomas Gibson (1874-1924). Her daughter Janet Isabel (1904-1987) married William Alan Van Every (1905-1992) in 1935.

The Current Property

Based on two interviews with Don Van Every in 2003 and 2015 by the current property owner, Clara Gibson severed the western part of the property (now identified as 1625 Blythe Road) in 1938 and granted it to Alan and Janet Van Every. Construction of the current home was begun in 1938 by the Van Everys.

The subject property was sold in 1951 to John and Aileen McRae. The McRaes sold the subject property to Winnifred Olynk in 1969, who sold the property in 1971. The subject property has, since then, been owned by Thomas Phillip O'Malley and his descendants. Further information on the current landowners is not included in this assessment in accordance with the Freedom of Information and Protection of Privacy Act, 1990.

2.1.2: A history of the site use(s)

The current lot at 1625 Blythe Road has seen mixed use over the years. South of the Credit River, the high plateau at the crest of the rivercourse has been used for residential purposes, likely since 1913.

The river, which runs through the north end of the current lot, was purchased in 1866 as a tailrace for a grist mill and sawmill further upstream at Erindale. A hydro electric power plant further upstream of the mills opened in 1910, but this plant discharged its water through a tunnel located downstream of 1625 Blythe Road. The water rights in 1866 were along an earlier alignment of the Credit River, before natural erosion (hastened by the power plant's water diversion, from 1910 to 1923) altered the Credit River onto its current course. The south bank of this earlier river alignment forms the current north lot line of 1625 Blythe Road.

The wide utility right-of-way south of Blythe Road was the alignment of the 1911 Hydro-Electric Power Commission of Ontario (Ontario Hydro, from 1974) transmission corridor. The wide corridor was purchased by the provincial power

authority for future expansion, but expansion was not undertaken after HEPCO purchased a private company in 1921, making use of its wider corridor, further south in Mississauga, for expansion in the 1940s.

History of the Lot

The subject property, as part of Lot 4 of CIR Range 2 SDS, was originally part of the Mississauga Nation to 1805, at which time it was part of the Credit Indian Reserve. From 1822, the subject property was part of the Racey Tract. It appears likely that the land of the current property remained undeveloped up to 1913, but water rights were obtained by John and Henry McGill on the rivercourse through Lot 4, in 1866.

Frank Mullet purchased the lot in 1913, and appears to have built the first structure on the subject property, based on the increase in the value of the land in 1914 when Mullet sold the property.

The Current Home

In an interview in 2003 with Donald Van Every, he stated that his father, Alan Van Every started construction of the current main residence on the subject property in 1938 and moved into it in 1939. This is confirmed by records of the Municipal Property Assessment Corporation which identifies 1939 as the year of first levy assessment on this property. A severance of the lot in 1938 divided the current 1625 Blythe Road from the current Queen of Apostles Renewal Centre (1617 Blythe Road), defining the current eastern lot line of 1625 Blythe Road.

The Van Everys

William Alan Templeton "Alan" Van Every studied municipal law, which became an asset when he was hired by the Ontario Department of Municipal Affairs in 1934. He and Janet Isabel Gibson married a year later. Both Alan and Janet were lawyers. They met at the University of Toronto. Both graduated in 1926 with BA degrees. Both attended Osgoode Hall Law School and were called to the bar in 1929. Janet ended her legal career when their first child, Elizabeth Janet was born in 1936.

Alan decided to build the current residence when Janet was pregnant with their second child, Donald Alan, who was born in 1939. Alan and Janet's last child, Margaret Catherine was born in 1942.

In 1946, Janet was elected president of the Clarkson-Lorne Park Women's Institute. In April 1946, Alan was appointed solicitor by Port Credit's village council, and was appointed KC (King's council) in 1947. Alan became solicitor for the Township of Toronto (Mississauga, today) in 1954 and remained at this post until 1968, when he joined the staff on the Ontario Municipal Board, in Toronto. Alan was a township councilor in 1950.

After the Van Everys

In the 1953 voters' list, John McRae is listed as a secretary and his wife, Aileen was a clerk. They had one daughter, Kathleen, living with them at 1625 Blythe Road.

The Olnyks owned the property for only a short time. The current resident of 1625 Blythe Road has a collection of plans drawn in 1969 for the Olnyks showing a large addition to the east of the existing structure, but retaining most of the existing structure. This addition was not built, and the property was sold to T.P. O'Malley in 1971. The O'Malleys have lived on the property for 45 years, being the longest owners of the subject property.



2.2 Complete listing and full written description of property

The subject property is located on the north side of Blythe Road and extends northward ~280 metres, crossing the main course of the Credit River to land north of the river. The north lot line follows the contour of an earlier course of the Credit River. The current main residence is located about 85 metres north of the south lot line at Blythe Road.

Structures

There are only two structures with a foundation on the lot. The main residence is two full storeys, on a ~70 m² foundation, extending northward on a steep incline providing for a half-above ground basement to the north. The residence has a half-height gable attic. The garage, located northeast of the main residence is approximately 25 m². A long, unpaved driveway extends northward from Blythe Road, splitting ~35 metres inward into two driveways – one leading to the subject residence and the other leading eastward to 1617 Blythe Road.

Building Materials

The main residence and garage are both of wood-frame construction. The main residence has a stone and concrete foundation. Stonework is present to the north and east of the main residence for stairs and a patio.

Building Elements

There is also stonework ~50 metres south of the current residence in a cleared area that may have been the site of an earlier residence.

Architectural and Interior Finishes

The main residence is a wood-frame house with horizontal wood siding, on a stone and concrete foundation.

Natural Elements

A woodlot on the property between the road and the main residence obscures the main residence from view, from the road.

The southerly 170 metres of property is relatively flat, rising one metre to the bank of the Credit River, where the property drops sharply 29 metres in elevation to the level of the Credit River. The remainder of the property north of the current course of the Credit River is flat.

The lot is generally tree-covered south and north of the Credit River, with a long, narrow cleared area extending northward from the current main residence to the crest of the ravine.

Landscaping

There is minimal landscaping on the property, except for stone elements incorporated into the main residence. The lot is primarily in a natural state.

Archaeological Resources

A recent archaeological study has not been undertaken of the property. Considering the dangerous access to the Credit River at this point, this lot was not likely used extensively by aboriginal settlers. A confirmed settlement site of the Credit Mississauga nation existed about two kilometres downstream of the subject property.

2.2.2: Chronological history of the property

See Section 2.1 for details.

1822: Lot purchased from the Mississauga nation.

1822: Thomas Racey purchased lot from Crown.

1829: Thomas McEwen hired as agent to sell Racey Tract lots.

1868: John and Henry McGill purchased lot to control water rights on river.

1890: McGills retained the water rights, but sold the land to William Fletcher.

1908: Jane Peer purchased the lot.

1903: Frank Mullet purchased the lot from Jane Peer for \$6,500.

1914: Frank Mullet sold the property for \$13,500 to Francis and Nellie Perkins, suggesting that Mullet improved the lot, likely building a residence.

1916: Francis Perkins sold the property to William Washington.

1919: William Washington transferred the property to Jessie Washington.

1928: Clara A. Gibson purchased the property.

1938: Gibson's property is subdivided into 1625 and 1617 Blythe Road.

1939: Gibson's son-in-law, Alan Van Every completed current main residence.

1951: John and Aileen McRae purchased 1625 Blythe Road.

1969: Winnifred Olynk purchased 1625 Blythe Road.

1971: Thomas P. O'Malley purchased 1625 Blythe Road.

2.2.3: Conclusions regarding the significance and heritage attributes

As will be clarified in Section 4 of this Heritage Impact Assessment, the structures on the property are not of architectural or contextual significance. Alan Van Every, who lived in the main residence of the subject property for 12 years, was a solicitor for Port Credit, and later for Toronto Township, and served a year on council. Janet Van Every was active in the community, and was a president of the Clarkson-Lorne Park Women's Institute.

2.2.4: Location

The subject property, the neighbouring residences to the west, and Queen of Apostles Renewal Centre to the east of the subject property are zoned R1 south of the crest of the Credit River. R1 zoning permits only detached, single family dwelling.

The northerly part of the aforementioned lots – being those parts of the lots which include the crest, ravine and river – are zoned G1. No development is permitted on properties zoned G1, or portions thereof.

The service corridor directly south of Blythe Road is zoned U. Properties zoned as such are for use as corridors for municipal and electrical distribution utilities, and for passive recreational use.

The properties south of the service corridor are zoned R1.

LOT No. 11		Range		CONCESSION	
DATE	BY DAY	DATE OF REGISTER	GRANTOR	GRANTEE	
1821	1st	1821	The Crown	John Samuel Smith John B. Robinson	
1822	1st	1822	John B. Robinson	Thomas S. McEwen	
1823	1st	1823	Thomas S. McEwen	John B. Robinson	
1824	1st	1824	John B. Robinson	Thomas S. McEwen	
1825	1st	1825	Thomas S. McEwen	John Carey	
1826	1st	1826	Thomas S. McEwen	John M. Sell	
1827	1st	1827	Thomas S. McEwen	Joseph Adams on	
1828	1st	1828	Thomas S. McEwen	Henry M. Worley	
1829	1st	1829	John M. Sell	Thomas S. McEwen	
1830	1st	1830	Thomas S. McEwen	John M. Sell	
1831	1st	1831	Edgar Lewis et al	Thomas Carey	
1832	1st	1832	John B. Robinson	Edgar Lewis	
1833	1st	1833	Edgar Lewis et al	George Bryant	
1834	1st	1834	George Bryant	John M. Sell	
1835	1st	1835	John M. Sell	Thomas Carey	
1836	1st	1836	Thomas Carey	John M. Sell	

Land registry record;
Book A.

Range		CONCESSION		S. of Dundas St	
GRANTOR	GRANTEE	QUANTITY OF LAND	CONSIDERATION OR AMOUNT OF MORTGAGE	REMARKS	
The Crown	John Samuel Smith John B. Robinson	All	-	Trusts for sale	
John B. Robinson	Thomas S. McEwen	"	\$1250		
Thomas S. McEwen	John B. Robinson	"	\$1250		
John B. Robinson	Thomas S. McEwen	"	-	6410	
Thomas S. McEwen	John Carey	"	\$1250		
Thomas S. McEwen	John M. Sell	"	\$1250		
Thomas S. McEwen	Joseph Adams on	"	\$1250		
Thomas S. McEwen	Henry M. Worley	"	-		
John M. Sell	Thomas S. McEwen	"	\$1250		
Thomas S. McEwen	John M. Sell	"	-	6416	
Edgar Lewis et al	Thomas Carey	All	\$1250		
John B. Robinson	Edgar Lewis	"	\$1250		
Edgar Lewis et al	George Bryant	"	\$1250		
George Bryant	John M. Sell	"	\$1250		
John M. Sell	Thomas Carey	"	\$1250		
Thomas Carey	John M. Sell	"	\$1250		

Land registry record,
Book B.

Lot No. 4		In the Racey Tract C.T.R.		SECOND RANGE	
No. of Instrument	Instrument	Its Date	Date of Registration	GRANTOR	GRANTEE
14237	B.&S.	17Feb1866	27Feb1866	John McGill et ux	Michael Murphy
15765	Will	11Nov1835	11Sep1867	John McGill	
16650	B.&S.	3 Feb1868	9 May1868	John McGill et ux	Henry McGill
366	B.&S.	27Sep1869	6 Oct1869	Henry McGill et ux	Francis W. Dennison
2052	B.&S.	15Jan1875	5 Dec1876	F. W. Dennison	Wm. Dennison
2061	Agreet.	11Dec1876	13Dec1876	Wm. Dennison	Wm. Fletcher
2852	B.&S.	18Oct1879	18Oct1879	Michael Murphy	James Wilson
5347	B.&S.	4 Apr1885	10Apr1885	H. McGill et ux	James Wilson
7364	B.&S.	10Dec1890	13Dec1890	F. W. Dennison Extr. et al	William Fletcher
11332	Agreet.	29Sep1903	19Dec1903	James Wilson	Joseph Barrett
11719	B.&S.	28Oct1904	25Nov1904	James Wilson et ux	Emily A. Barrett
12967	Will	24Jun1901	1 Apr1908	William Fletcher	Jane Peer et al
13837	B.&S.	9 Feb1910	26Feb1910	James Wilson et ux	Sidney W. Smith
14361	B.&S.	1 Jul1911	3 Jul1911	Sidney W. Smith et ux	Laura E. Goulding
15838	B.&S.	11Jun1913	16Jun1913	Jane Peer et al Extr.	Frank Mallett
16350	B.&S.	23Feb1914	9 Mar1914	James Wilson et ux	James L. Ross

Land registry record,
Book C.

Lot No. 4		Second Range		Concession		B.D.S.	
DATE OF REGISTRATION	GRANTOR	GRANTEE	QUANTITY OF LAND	Consideration or Amount of Mortgage	REMARKS		
18Sep1914 19Nov1914	Frank Mallett et ux	Francis R. Perkins	20	13500.00	pt & C.L.		
21Sep 1914 24Dec1914	Francis R. Perkins	Nellie E. Perkins (wife)	"	13500.00	pt & C.L.		
18May1916 14Jun1916	Nellie E. Perkins	Wm. Washington	20	13500.00	& C.L.		
24Aug1917 4Oct1917	James Wilson et ux	James L. Ross	pt	125.00	pt		
2Mar1919 14Mar1919	Wm. Washington	Jessie M. Washington		500.00	eto	pt & C.L.	
21Mar1920 14Apr1920	Jessie M. Washington	His Majesty The King	6.12	1.eto	pt & right of way.		
21Mar1920 14Apr1920	Jessie M. Washington	His Majesty The King	4.75	1.eto	pt & C.L.		
21Mar1920 16Jul1920	Jessie M. Washington	Harry E. Coales	4.35	1.eto	pt		
10Feb1921 1Mar1921	Harry E. Coales et ux	Charlotte M. Hill		4500.00	pt & C.L.		
18Nov1921 18Nov1921	Charlotte M. Hill	Elice C. Yelland	4.35	1500.00	pt & C.L.		
29Jul1923 10Jul1923	James Wilson et ux	M. E. Sutton et al	Sec. 24 per	1000.00	pt	JUL 21 1936	
10Oct1925 10Oct1925	Alfred J. Phipps et ux	Charles T. Sharpe	1.22	1000.00	pt	as that was entered and agreed in the wrong manner see page 127	
27Nov1924 1Dec1924	James Wilson et ux	Kenneth Skinner & Milton Skinner	9ac. 24 per	2500.00	& C.L.		
20Feb1925 7Apr1925	Milton D. Skinner unmarried	Kenneth Skinner	9ac. 24 per	25.00	& C.L. his title & interest		
19Sep1925 21Sep1925	Joseph G. Balce & George E. Goulding exr Laura E. Goulding dec'd	Boris E. Goulding	10.6	1c	pt & C.L.		
11Feb1926 10Mar1926	William A. Yelland et al Exrs of Elice C. Yelland	Charlotte M. Hill	4.35		Dischgs. 21402		

Land registry record,
Book D - upper half of page.

27577	D.M.	12Feb1926	19Mar1926	William A. Yelland et al	Charlotte M. Hill	4.35	
Estate of Eliza C. Yelland							
27578	Grant	28Dec1921	19Mar1926	James L. Ross	Clarence B. Hill	1.00	Right of way
27579	Grant	24Feb1926	19Mar1926	His Majesty The King	Charlotte M. Hill	pt	4000.00 pt with
27580	Grant	18Mar1926	19Mar1926	Charlotte M. Hill	Clarence A. Hare	4.35, 4.75	1.00
27581	Grant	18Mar1926	19Mar1926	Clarence B. Hill	Clarence A. Hare	pt	right of way for road
27582	M.	28Mar1926	19Mar1926	Clarence A. Hare et al	Thomas Greenham	0.10	5000.00
William Greenham							
27587	Lease	22Sep1927	12Oct1927	Clarence B. Hill	Alan Bland	8.12	2 C.L. 4 right
27588	Grant	27Jan1928	20Jan1928	Clarence A. Hare et al	Clara A. Gibson	pt 9.10	10000.00 together
27589	M.	27Jan1928	20Jan1928	Clara A. Gibson	Clarence A. Hare	pt 9.10	5000.00
27590	D.M.	Jan1928	20Jan1928	Mary E. Sutton	Kenneth Skinner		2500.00
27591	D.M.	19Jan1928	19Jan1928	Thomas Greenham et al	Eliza C. Hare	pt 2.50	4000.00
27592	A.M.	20May1929	12Jul1929	Clarence A. Hare	William Neely Corp Ltd.	9.10	4000.00
27593	D.M.	20Jul1929	12Jul1929	William Neely Corp Ltd.	Clara A. Gibson	pt 2.00	2500.00
27594	D.M.	20Jul1929	12Jul1929	Clarence A. Hare & Eliza C. Hare	The William Neely Corporation Ltd.	0.10	2.00
27595	D.M.	27Jul1929	12Jul1929	The William Neely Corp	The Morgan Trust Co	0.10	2.00
27596	D.M.	26Feb1930	26Feb1930	Portia B. Building	Sydney W. Smith	pt	4000.00
27597	Grant	26Feb1930	26Feb1930	Sydney W. Smith et al	O. Wilma Oughtred	pt	2700.00
27598	M.	26Feb1930	26Feb1930	Clarence A. Hare et al	Kenneth Skinner	pt 2.10	2500.00
27599	Grant	26Feb1930	26Feb1930	Kenneth Skinner et al	Clarence A. Hare	pt	2500.00
27600	Grant	12Mar1930	12Mar1930	Soldier Settlement Board	Alan Bland	8.12/100	4000.00
27601	M.	26Feb1930	12Mar1930	Alan Bland et al	Charlotte M. Hill	0.10	2.00
27602	M.	26Feb1930	12Mar1930	Morgan Trust Co	The Morgan Trust Co	0.10	2.00

Land registry record,
Book D - lower half of page.

BOOK NO.
PAGE NO. 62

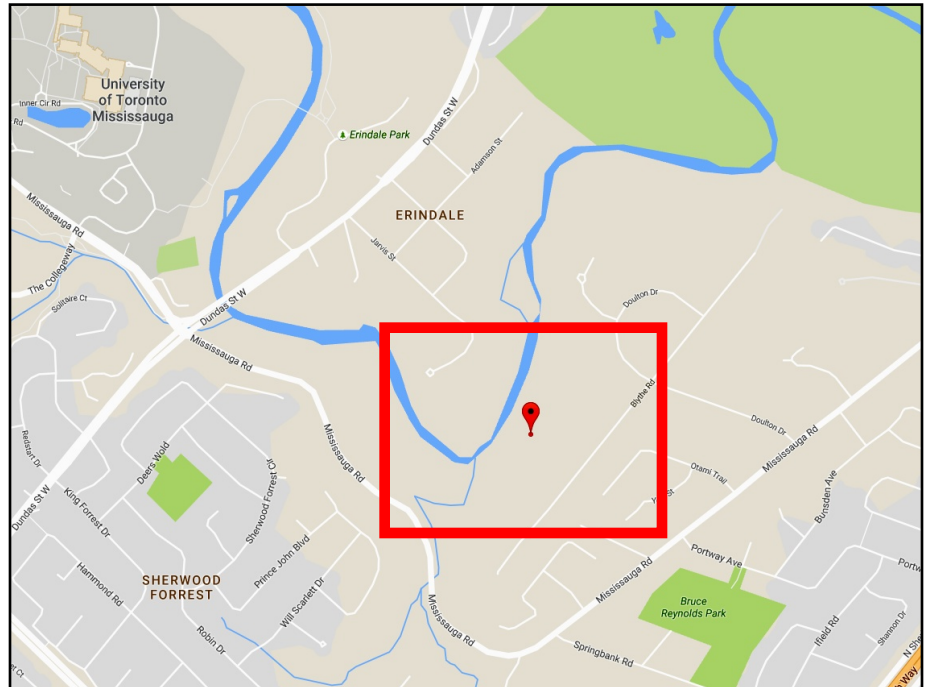
BOOK NO. 62

BOOK NO.
PAGE NO. 62

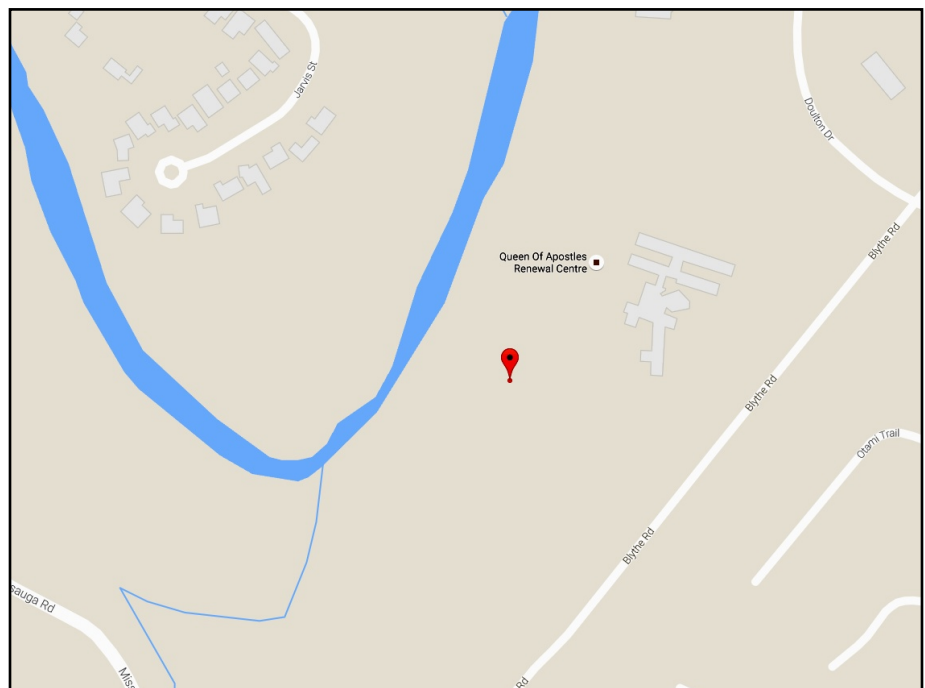
BOOK NO.	INTEREST	DATE	REMARKS	GRANTOR	GRANTEE	AMT.	REMARKS	REMARKS
17575	Grant	27 May 1925	John & Isaac Rae	Manitoba Land Co	2000.00	Part of No. 6085	2000.00	Part of No. 6085
17576	MORTGAGE	1925	John & Isaac Rae	Manitoba Land Co	2000.00	Part of No. 6085	2000.00	Part of No. 6085
17577	MORTGAGE	1925	John & Isaac Rae	Manitoba Land Co	2000.00	Part of No. 6085	2000.00	Part of No. 6085
17578	MORTGAGE	1925	John & Isaac Rae	Manitoba Land Co	2000.00	Part of No. 6085	2000.00	Part of No. 6085
17579	MORTGAGE	1925	John & Isaac Rae	Manitoba Land Co	2000.00	Part of No. 6085	2000.00	Part of No. 6085
17580	MORTGAGE	1925	John & Isaac Rae	Manitoba Land Co	2000.00	Part of No. 6085	2000.00	Part of No. 6085
17581	MORTGAGE	1925	John & Isaac Rae	Manitoba Land Co	2000.00	Part of No. 6085	2000.00	Part of No. 6085
17582	MORTGAGE	1925	John & Isaac Rae	Manitoba Land Co	2000.00	Part of No. 6085	2000.00	Part of No. 6085
17583	MORTGAGE	1925	John & Isaac Rae	Manitoba Land Co	2000.00	Part of No. 6085	2000.00	Part of No. 6085
17584	MORTGAGE	1925	John & Isaac Rae	Manitoba Land Co	2000.00	Part of No. 6085	2000.00	Part of No. 6085
17585	MORTGAGE	1925	John & Isaac Rae	Manitoba Land Co	2000.00	Part of No. 6085	2000.00	Part of No. 6085
17586	MORTGAGE	1925	John & Isaac Rae	Manitoba Land Co	2000.00	Part of No. 6085	2000.00	Part of No. 6085
17587	MORTGAGE	1925	John & Isaac Rae	Manitoba Land Co	2000.00	Part of No. 6085	2000.00	Part of No. 6085
17588	MORTGAGE	1925	John & Isaac Rae	Manitoba Land Co	2000.00	Part of No. 6085	2000.00	Part of No. 6085
17589	MORTGAGE	1925	John & Isaac Rae	Manitoba Land Co	2000.00	Part of No. 6085	2000.00	Part of No. 6085
17590	MORTGAGE	1925	John & Isaac Rae	Manitoba Land Co	2000.00	Part of No. 6085	2000.00	Part of No. 6085
17591	MORTGAGE	1925	John & Isaac Rae	Manitoba Land Co	2000.00	Part of No. 6085	2000.00	Part of No. 6085
17592	MORTGAGE	1925	John & Isaac Rae	Manitoba Land Co	2000.00	Part of No. 6085	2000.00	Part of No. 6085
17593	MORTGAGE	1925	John & Isaac Rae	Manitoba Land Co	2000.00	Part of No. 6085	2000.00	Part of No. 6085
17594	MORTGAGE	1925	John & Isaac Rae	Manitoba Land Co	2000.00	Part of No. 6085	2000.00	Part of No. 6085
17595	MORTGAGE	1925	John & Isaac Rae	Manitoba Land Co	2000.00	Part of No. 6085	2000.00	Part of No. 6085
17596	MORTGAGE	1925	John & Isaac Rae	Manitoba Land Co	2000.00	Part of No. 6085	2000.00	Part of No. 6085
17597	MORTGAGE	1925	John & Isaac Rae	Manitoba Land Co	2000.00	Part of No. 6085	2000.00	Part of No. 6085
17598	MORTGAGE	1925	John & Isaac Rae	Manitoba Land Co	2000.00	Part of No. 6085	2000.00	Part of No. 6085
17599	MORTGAGE	1925	John & Isaac Rae	Manitoba Land Co	2000.00	Part of No. 6085	2000.00	Part of No. 6085
17600	MORTGAGE	1925	John & Isaac Rae	Manitoba Land Co	2000.00	Part of No. 6085	2000.00	Part of No. 6085

Land registry record,
Book E.

2.2.4 Location maps



Blythe Road, and area.



1625 Blythe Road, and neighbourhood.



looking north



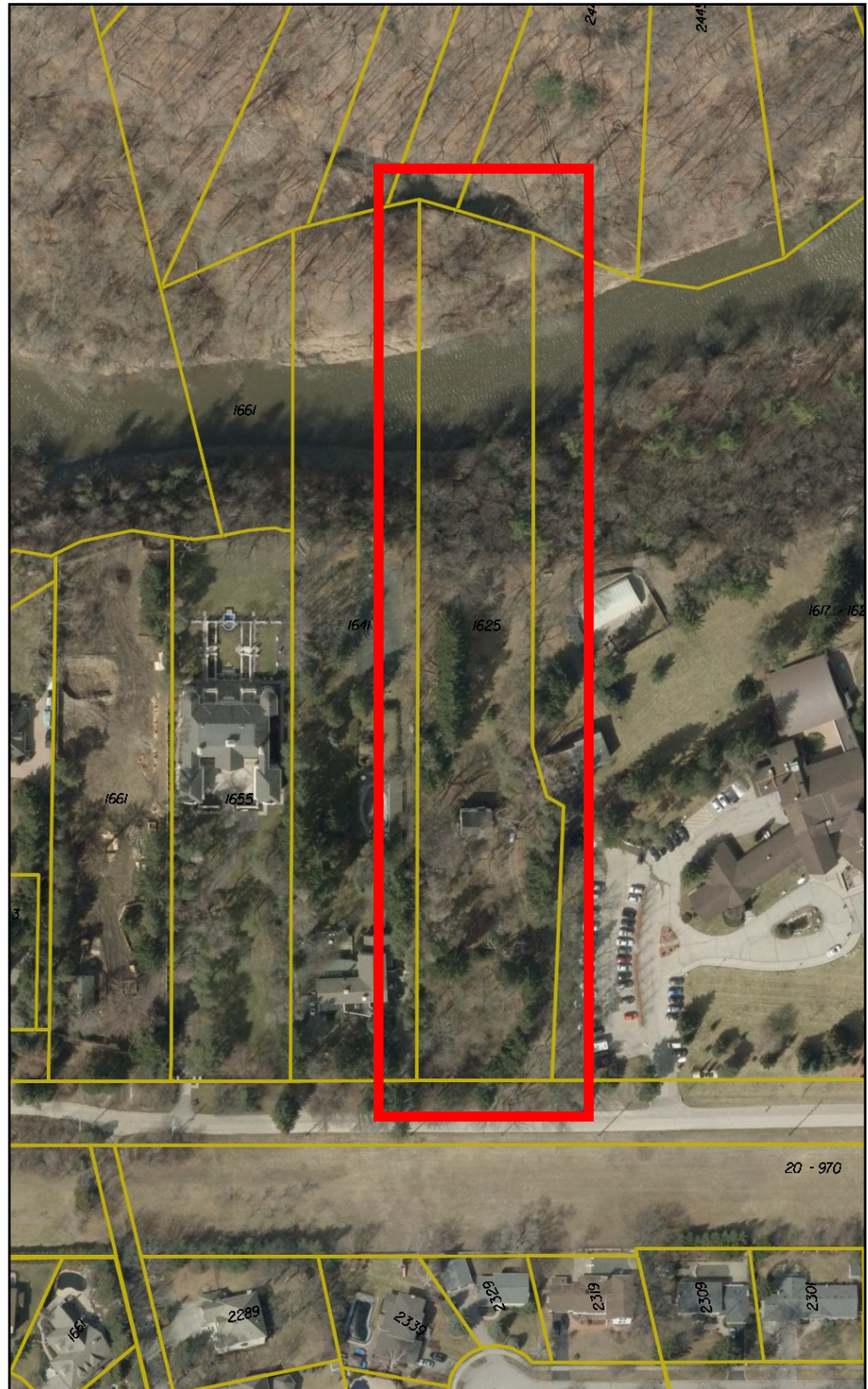
looking south
(both photos: Google Maps)



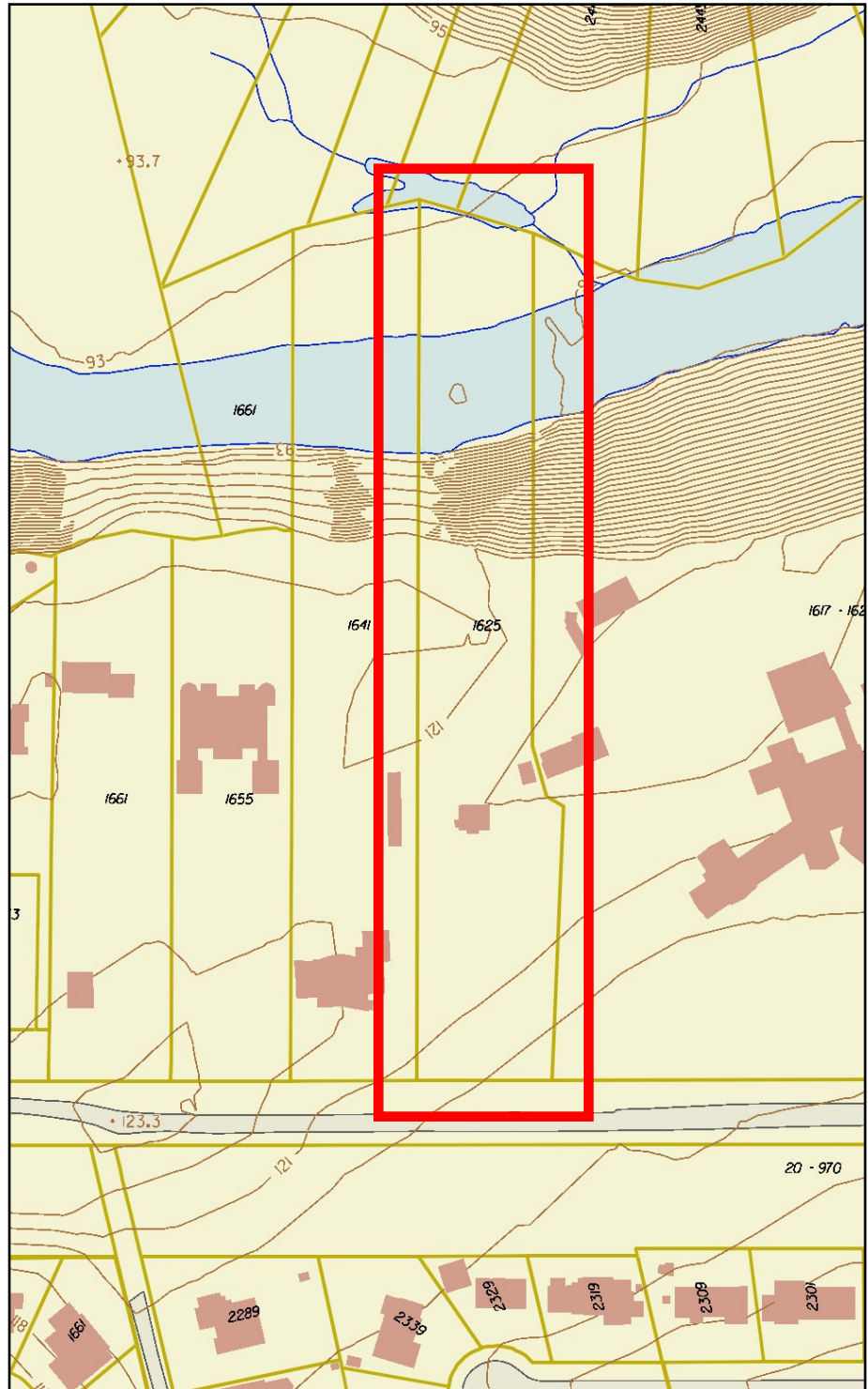
looking east



looking west
(both photos: Google Maps)



2016 aerial image.
(City of Mississauga I-Maps)



2016 solid fill image.
(City of Mississauga I-Maps)

2.3.1 Existing conditions related to the heritage resource



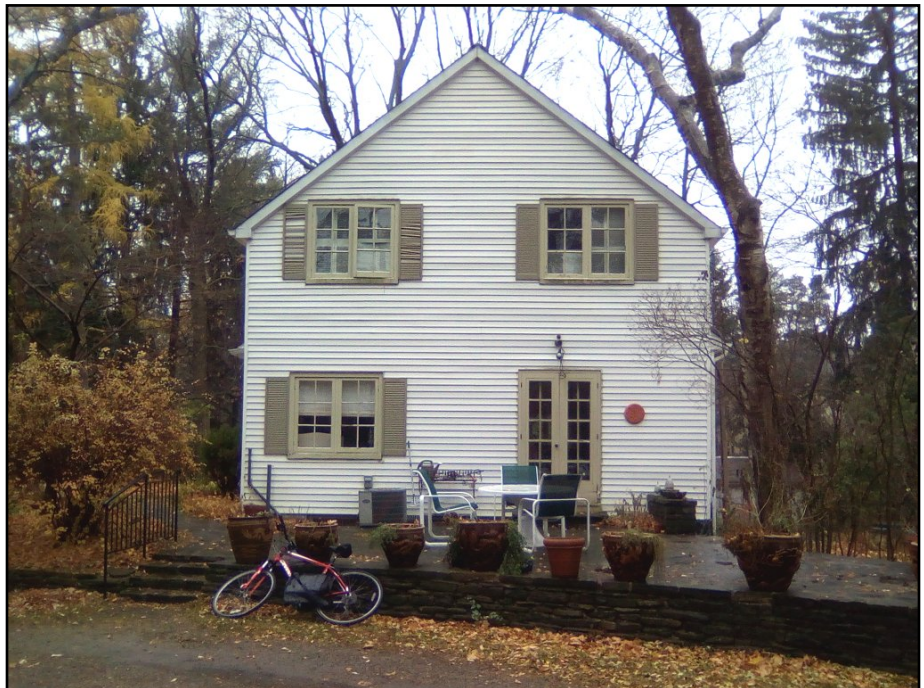
South facade, and front yard; looking north.



South (front) facade, looking north.



East facade, and yard; looking west.



East facade, looking west.



West facade, looking east.



North (rear) facade, looking south.



South and west facades.



North and west facades.



Back (north) yard, looking east.



Back (north) yard, looking west.



Back (north) yard, looking north.



Back (north) yard, looking south.



Garage, south facade.



Garage, north facade.



Garage, west facade.



Garage, and back yard: looking southeast



Detail; east door.



Detail; main living room window (south facade).



1625 Blythe Road driveway; looking south.



*Driveway, looking north.
1625 Blythe Road to the left; 1617 Blythe Road to the right.*



Stonework, east side of residence.



Stonework, east side of residence.



Stonework, east side of residence.



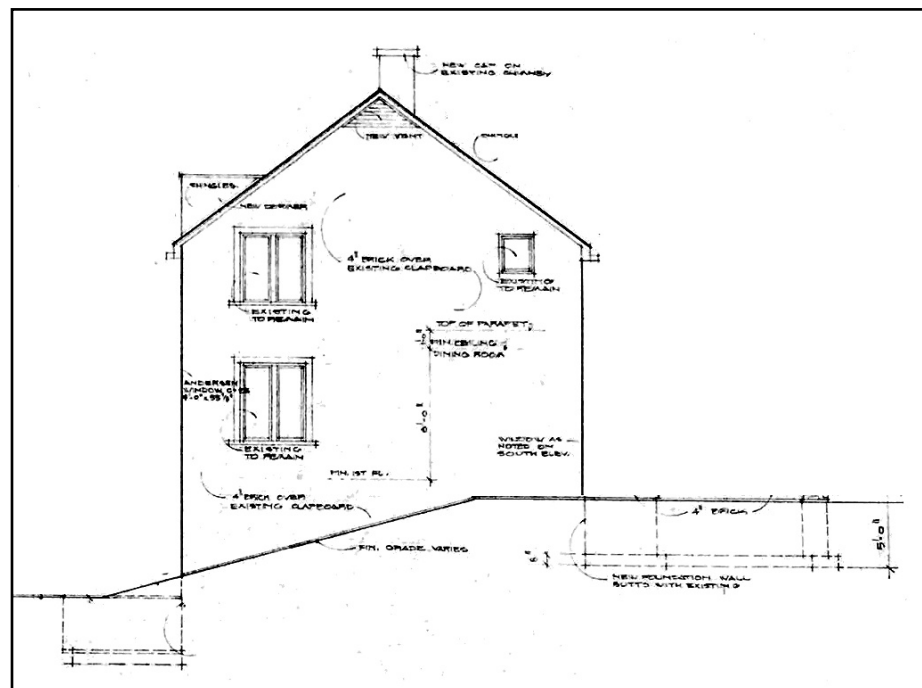
Stonework, east side of residence.



Stonework, north side of residence.

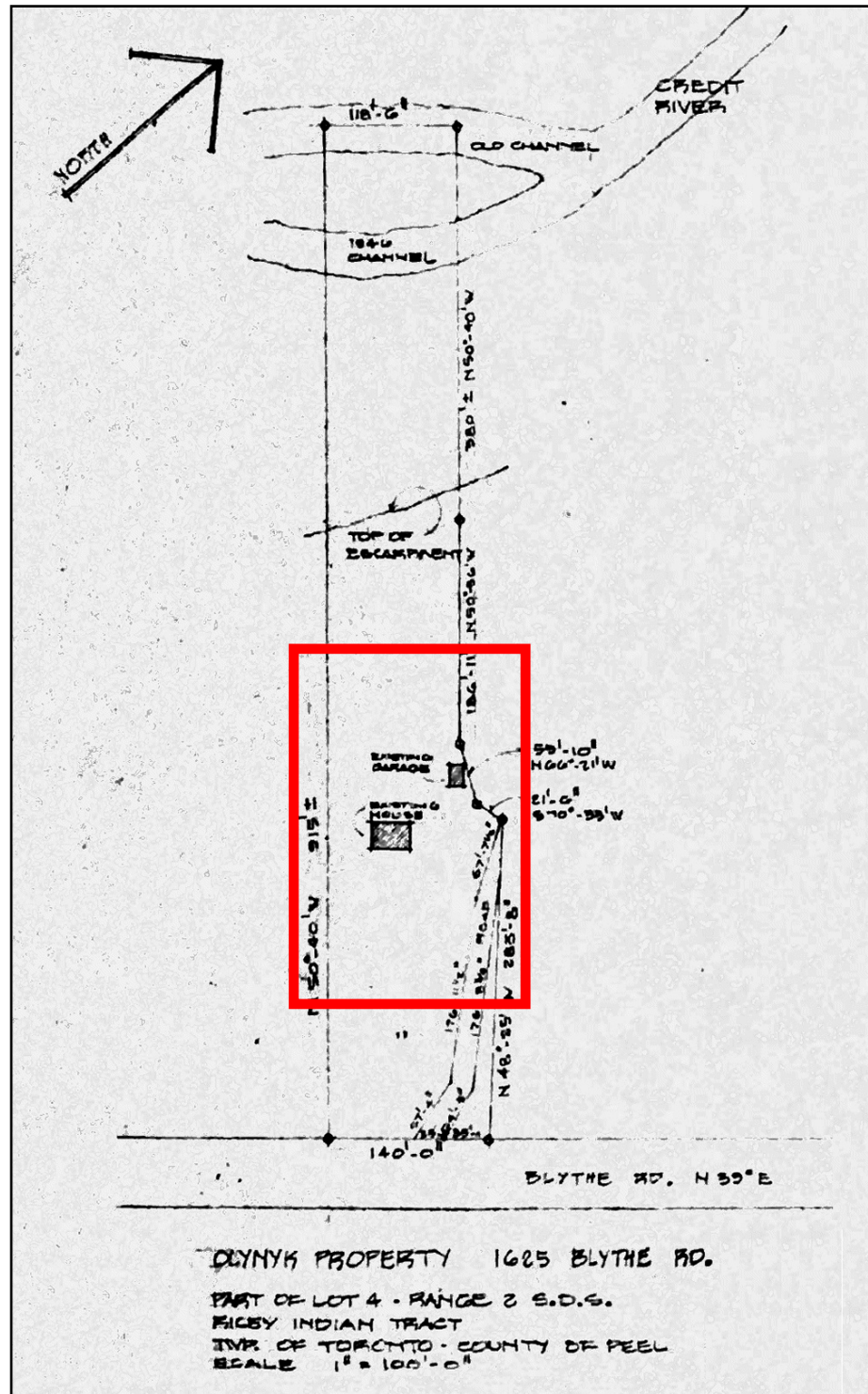


Stone landscaping; north (back) yard.

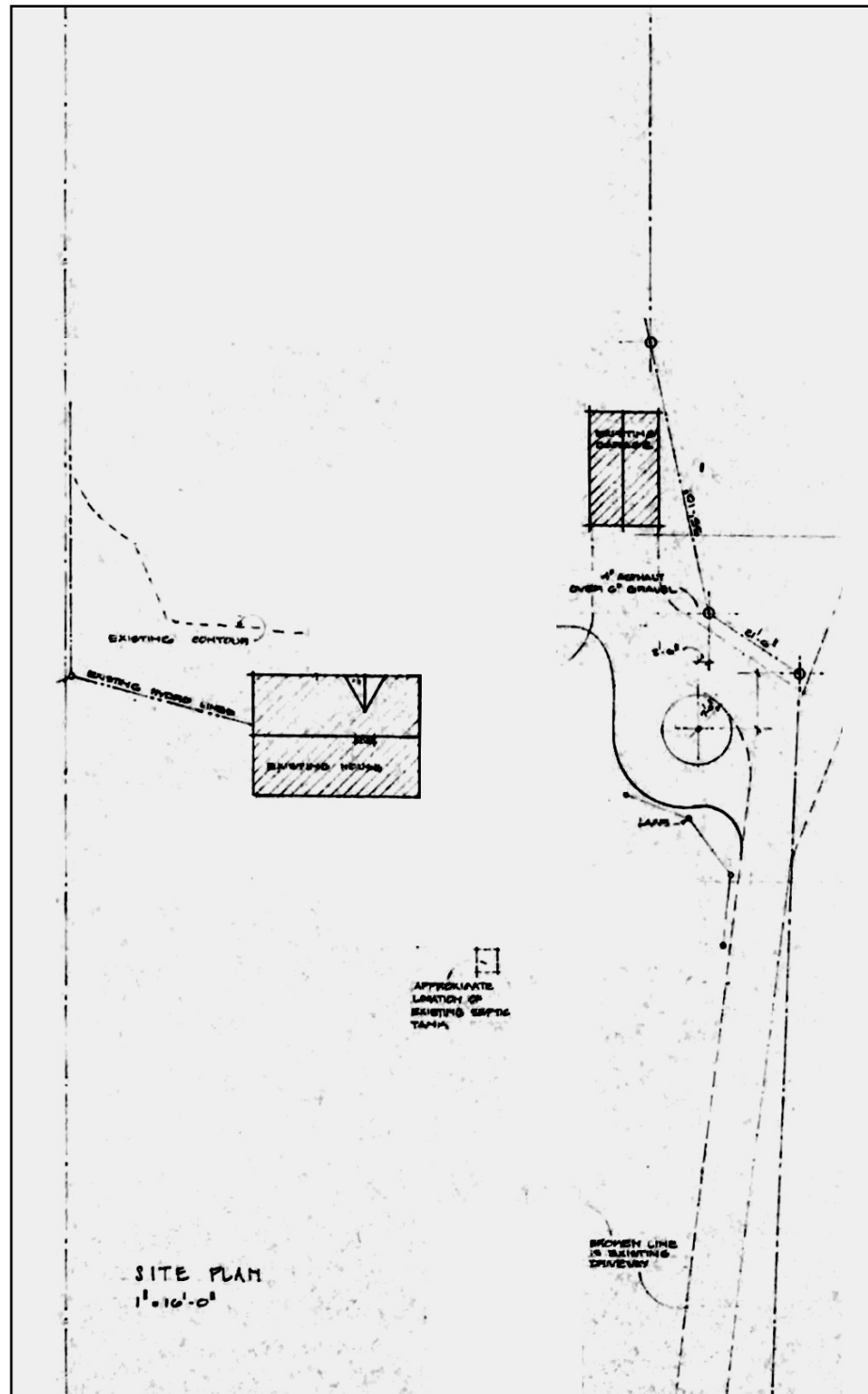


West elevation.

2.3.4 Site plan

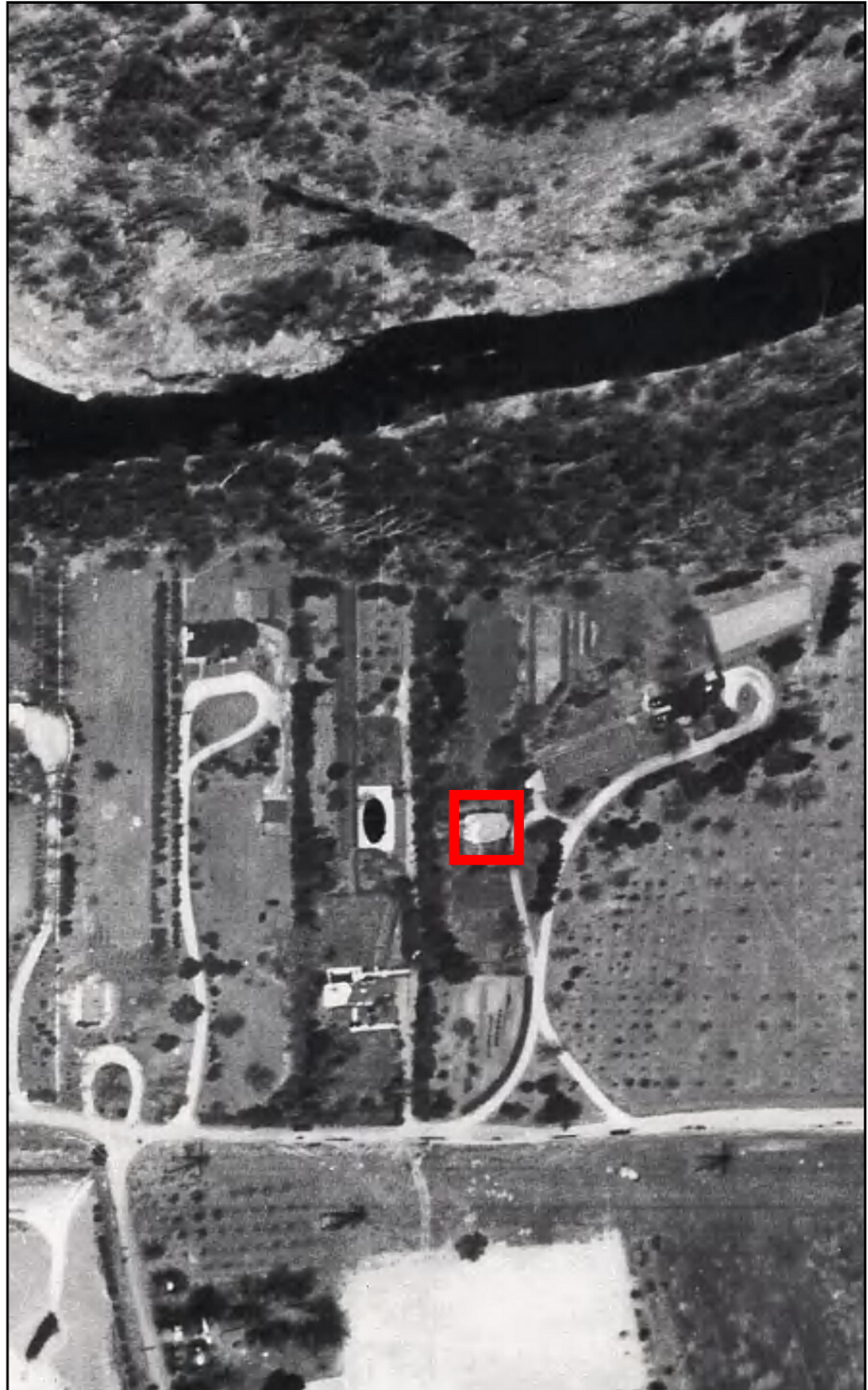


Site plan: full property.



Site plan: house, garage and driveway.

2.3.5 Historical photos, drawings, or other archival material



*1961 aerial image.
(City of Toronto Archives)*



Janet Van Every (left) and Ellen Terry at a fundraising event during Toronto Township's centenary celebrations; 1950.



*Stonework landscaping of possible earlier structure, in foreground,
looking north to current residence.*



*Clearing at the site of possible earlier structure,
looking south.*

2.4 Proposed development outline

2.5 Architectural drawings

2.6 Alternative development options/mitigation measures

2.7 A summary of conservation principles

The current Heritage Property Permit Application for this property is for a demolition only. No new construction is proposed with this application.

Items 2.4, 2.5, 2.6 and 2.7 of the City of Mississauga Heritage Impact Assessment Terms of Reference are not applicable to this application.

Photos of neighbouring properties, as per Item 2.4 are included, following, for historical reference.

2.8 Loss of cultural heritage value interests and impact on the streetscape

As will be clarified in Section 4 of this assessment, there is minimal loss of cultural heritage with the demolition of the current structures on this properties.

The property does not exhibit significant design or physical value. The main residence and garage are not rare, unique or representative of a style, type, expression, material or construction method, does not display a high degree of craftsmanship or artistic merit, or technical or scientific achievement.

The property itself has no historical value. Alan Van Every, who built the current main residence was a township councilor and solicitor.

The property has no significant contextual value. The structures proposed for demolition cannot be seen from Blythe Road. The current Blythe Road streetscape will not be affected by demolition of the current structures.

In addition to its separate listing on the City of Mississauga's heritage inventory (Item #480), the property is also identified as part of the Credit River cultural landscape (L-NA-2), because a portion of the current course of the Credit River runs through the property. The structures on the property for which demolition is proposed cannot be seen from the Credit River and are not historically or contextually linked to the river.

2.9 Salvage mitigation

Because the main residence and garage on the subject property are not architecturally or structurally unique, there are minimal salvage opportunities. The exterior wood siding, while in relatively good condition, is not rare or unique. Windows, doors and frames are of a conventional design.

If the foundation of the current main residence is to be used as all or part of a future development, the flat lakestones currently used for stairs and landscaping could be incorporated in a new-build.

2.4.1 Neighbouring properties to the east



*Westerly building on 1617-1621 Blythe Road
(identified on building as 1617 Blythe Road).*



*Easterly building at 1617-1621 Blythe Road,
Queen of Apostles Renewal Centre.*

2.4.1 Neighbouring properties to the west



1641 Blythe Road.



1655 Blythe Road.

2.4.1 Neighbouring properties to the south



*2329 Otami Trail,
north (rear) facade.*



*Service corridor (former 1911 Hydro Electric Power Commission of Ontario corridor)
and greenspace, south of Blythe Road.*

2.4.1 View to the north of 1625 Blythe Road



*Credit River,
looking northeast from 1625 Blythe Road.*



*Credit River,
looking northwest from 1625 Blythe Road.*

3.0

SUMMARY STATEMENT

3.1 Attributes of the cultural heritage resource

The property identified as 1625 Blythe Road is listed in the City of Mississauga's heritage inventory (Item #480). There are no specific details from the City of Mississauga's Property Information database regarding the conditions for inclusion in the inventory. There is a brief description of the architecture of the current main structure on the property, as follows:

"A frame, wood sided, two-storey structure with gable ends. The house has an enclosed porch entry on the front facade and unusual small rectangular windows on the upper storey just beneath the eaves. The windows on the gable ends are full size, six by six casements."

The current main residence at 1625 Blythe Road does exhibit unique architectural elements as identified in the City's heritage description, but overall the residence is a simple square plan house, with a basic gable roof and unadorned facades. The house is ideally situated on a southward rise in the terrain, providing for a two-storey facade from the south (front) and a three storey north facade, with a stone and concrete basement leading out, at grade to the back lawn. Handmade stone and masonry stairs and lake stone retaining walls form a graded path from the south, upper elevation of the residence to the north, lower elevation.

These elements, particularly on the north facade, cannot be seen from Blythe Road. The residence is not visible on foot or by car without entering the property.

3.2: Impact that the proposed development will have on the cultural heritage resource

Because the residence is not visible from Blythe Road in spring, summer and autumn, and only partially visible through the leaf-less deciduous trees in the winter, there would be minimal impact on the cultural heritage of this neighbourhood from the loss of these architectural characteristics and mixed building and landscaping materials and elements.

3.3: Conservation or mitigative measures, or alternative development, or site alteration

Existing architectural features of aesthetic value could be incorporated into a new development, if a new residence is proposed in the future.

3.4: Clarification as to why conservation or mitigative measures are not appropriate

The current main residence and garage on the subject property do not have significant architectural, historical or contextual value, as clarified in Section 4. The main residence cannot be easily seen from either Blythe Road or the Credit River vantage points.

4.0

RECOMMENDATION

4.1 Regulation 9/06, Ontario Heritage Act

A municipal council may designate heritage resources by by-law pursuant to Section 29 of the Ontario Heritage Act based on criteria set forth in Ontario Regulation 9/06; Criteria for Determining Cultural Heritage Value or Interest.

Section 1

The property has design value or physical value because it;

- i: is a rare, unique, representative or early example of a style, type, expression, material or construction method,
- ii: displays a high degree of craftsmanship or artistic merit, or
- iii: demonstrates a high degree of technical or scientific achievement.

Section 2

The property has historical value or associative value because it;

- i: has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community,
- ii: yields, or has the potential to yield, information that contributes to an understanding of a community or culture, or
- iii: demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.

Section 3

The property has contextual value because it is;

- i: important in defining, maintaining or supporting the character of area,
- ii: physically, functionally, visually or historically linked to its surrounding,
- iii: a landmark.

4.1.1 Does the property meet the criteria for designation

Section 1

- Subsection i

The City of Mississauga's report on the main residence at 1625 Blythe Road identifies some interesting architectural characteristics, but none of these is notable as being rare or unique. The design of the main residence is in a conventional square plan, with unembellished facades.

- Subsection ii

The house is well constructed, with fine window and door details and handmade stone and concrete stairs, patio and retaining walls, which were unconventional for Depression-era homes, but their construction does not display a high degree of unique craftsmanship. The main residence at the subject property is a fine, serviceable home built at a time when financial resources were scarce for most Canadians, but is otherwise consistent with an era of architectural restraint. Built in a basic square plan format, with plain walls, gable roof and minimal embellishment, there is little artistic expression to the home.

- Subsection iii

The main residence and the garage at 1625 Blythe Road do not reveal a high degree of technical or scientific achievement.

Section 2

-Subsection i

The subject property has been an occupied residential lot for 103 years. The main residence is 77 years old and in that time has had four owners. The current family has owned the property for 45 years. For 12 years (1939-1951), Alan and Janet Van Every lived in the surviving main residence. Both were lawyers, but Janet did not practice after their first child was born in 1936. Alan was a paid solicitor for the Village of Port Credit. One year after being hired as Toronto Township's solicitor, he moved out of the existing main residence. Alan served a one-year term as a township councilor. Alan served Mississauga for many years as an employee, and Janet was a dedicated volunteer and fundraiser, but it cannot be said that either was "significant to the community" as stated in Regulation 9/06.

-Subsection ii

The surviving structures on the property have little potential to yield information that would contribute to a better understanding of Mississauga. The main residence cannot be seen from Blythe Road or the Credit River.

-Subsection iii

Being of a simple square plan, with almost no exterior facade embellishments, the house is not an example of any particular architectural style.

Section 3

- Subsection i

It is difficult to define the character of the community in the area of 1625 Blythe Road and its neighbours. The area is generally not identified as having a specific historical context within Mississauga. This area is not known by a specific name, being generally south of, and not associated historically or contextually with the village of Erindale. Many scenic properties along the Credit River were the site of fine summer homes for Toronto businessmen, and grand mansions for Mississauga's early industrialists. Percy Parker's *Riverwood*, Weymouth Schreiber's *Lislehurst* and William Barber's *River Park* are surviving examples of elegant homes suitably located to take advantage of the scenic and recreational potential of the Credit River. Limited access to the Credit River in the area of Blythe Road, due to the high ravine cliffs at this curving section of the Credit River may have been the reason cottage development was sparse in this part of Mississauga, and generally of later development. Built in 1938-39, the main residence at 1625 Blythe Road is of later construction date and simpler architectural form than most other Credit River summer homes, which were built before the Great Depression.

- Subsection ii

The residence at 1625 Blythe Road is physically, functionally and visually isolated from Blythe Road and the Credit River. The structures on the property cannot be easily seen from the public realm. Historically, the property and the earlier residents on it did not have a strong link to the development of Erindale or of Mississauga.

- Subsection iii

Secluded by trees, and located on a truncated road that is accessible only from the east, the buildings at 1625 Blythe Road are not regarded as landmarks.

Conclusion

Although much information has been collected on the families living at the subject property over the years by the current property owner, and considering that the main residence does exhibit some interesting architectural landscape features, the current structures at 1625 Blythe Road do not convincingly meet any of the six subsections of Sections 1 and 2 of Regulation 9/06 of Section 29 of the Ontario Heritage Act, for designation under Part IV of the Ontario Heritage Act. The lack of community context for this neighbourhood in general prevents the subject property from complying with any of the three subsections of Section 3 of Regulation 9/06.

4.1.1 Does the property meet the criteria for designation



*Other Credit River residences in Mississauga.
Riverwood; 1919.*



*Other Credit River residences in Mississauga.
Lislehurst; 1882, enlarged 1929.*



*Other Credit River residences in Mississauga.
River Park; 1862.*



1625 Blythe Road is obscured from public view by trees.

4.1.2 Provincial Policy Statement - 2014

The preamble to the Provincial Policy Statement – 2014 states that “the Provincial Policy Statement provides for appropriate development while protecting resources of provincial interest, public health and safety, and the quality of the natural and built environment.”

Based on established criteria for designation potential, the current structures at 1625 Blythe Road cannot be considered to be of provincial interest as subjects of built environment. However, it is essential that any future development on this property should acknowledge the terms of the Provincial Policy Statement in regard to the section of the Credit River which runs through the subject property. This historic and scenic river is of provincial interest and is a vital and sensitive part of the province’s natural environment.



5.0

QUALIFICATIONS

5.1 Author

Since 2007 Richard Collins has prepared Heritage Impact Statements for sites in Burlington, Gravenhurst, Mississauga, Oakville and Welland Ontario.

- Clarkson 1808-2008 Committee; heritage coordinator
- City of Mississauga; 2012 Civic Award of Recognition
- Heritage Mississauga; volunteer, recipient of the 2007 Lifetime Membership Award and the 2008 Member's Choice Award
- Mississauga South Historical Society; past president
- Page+Steele Architects, Toronto; past archivist
- Peel District School Board Heritage Fair, member and adjudicator
- Port Credit 175th Anniversary Committee; project leader and secretary
- Port Credit Village Project; secretary and co-chair of the Heritage Circle
- The Booster; author of over 200 articles on Mississauga's history

5.2 References

Ancestry.ca

Ontario and Canada voters' lists, 1935-1980

Blumenson, John

Ontario Architecture: Guide to Styles and Terms

City of Toronto archives

aerial photos, 1961

Google Maps

Heritage Mississauga

image archive

Kalman, Harold D.

A History of Canadian Architecture

mississauga.ca - Services Online - e-maps

mississauga.ca - Services Online - Property Information

Mississauga South Historical Society

records and image archive

Port Credit News (1927-1937) / *Port Credit Weekly* (1937-1959)

Service Ontario at www.e-laws.gov.on.ca

Ontario Heritage Act, RSO 1990, Chapter O.18

Land Registry records

Toronto Daily Star (1896-1971) / *Toronto Star* (1971-present)

Walker and Miles

Historical Atlas of Peel County, 1877

Weeks, Verna Mae

Erindale: The Pretty Little Village

January 30, 2017

1625 Blythe Rd
Mississauga, ON L5H 2C3

RE: Tree Inventory

The following pages contain the tree inventory for your property. The inventory table contains the tag number for each tree over 10cm in diameter at breast height (DBH) on site and the evaluation details for these trees. This evaluation includes DBH, height, canopy spread, health, structural condition, and comments relevant to the condition ratings.

There are a few trees of particular interest on this property; tag #9550 and 9551 are large *Larix laricina* in good condition, tag #9599 is a large *Corylus cornuta* in fair condition. Both of these species are unusual urban trees especially at the size found on this site.

There are 3 trees with included bark unions that should have structural support systems installed if they are to be retained. These trees are tagged #9504, #9617, and #9626.

In an effort not to miss any subject site trees we collected all the trees along the road allowance and east to the active driveway. Therefore, some trees between tag #9630 and #9665 will be on City and Neighbouring properties.

Although the slope at the rear was not accessible we made note of the following species on the bank; *Quercus rubra*, *Pinus strobus*, *Tsuga canadensis*, *Acer saccharum*, *Acer negundo*, *Acer platanoides*.

If you have any questions or comments please feel free to contact us.

Respectfully yours,



Brianna Thornborrow
ISA Certification Number: ON-1267A



6302 NINTH LINE
MISSISSAUGA
ONTARIO, CANADA
L5N 0C1
T: 905-824-2100
F: 905-824-1561
WWW.MAPLEHILLTREE.COM

1625 Blythe Rd, Mississauga

Data Collected January 2017

Tag #	Species		DBH (cm)	Height (m)	Tree Health	Tree Structure	Comments
	Botanical	Common					
9500	Acer platanoides	Norway Maple	34.5	13	G	G	
9501	Acer platanoides	Norway Maple	28	13	G	G	
9502	Acer platanoides	Norway Maple	11.5	9	F	F	deadwood
9503	Pinus sylvestris	Scots Pine	32	13.5	D	D	
9504	Quercus rubra	Red Oak	59.5, 74.5	15	F	F	deadwood, included bark
9505	Pinus sylvestris	Scots Pine	28	7	D	D	
9506	Acer saccharum	Sugar Maple	27.5	9	G	G	
9507	Acer platanoides	Norway Maple	26	9	G	G	
9508	Prunus serotina	Black Cherry	16	7	F	G	deadwood
9509	Pinus sylvestris	Scots Pine	27	5.5	D	D	
9510	Pinus sylvestris	Scots Pine	23	6	D	D	
9511	Prunus spp.	Cherry sp.	11	6	G	G	
9512	Ulmus spp.	Elm sp.	13	6	D	D	
9513	Ulmus spp.	Elm sp.	10	6	F	F	
9514	Prunus spp.	Cherry sp.	15	8	G	G	
9515	Pinus sylvestris	Scots Pine	35	6	P	P	half of the tree has previously failed
9516	Acer saccharum	Sugar Maple	35.5	13	G	F	Included bark
9517	Pinus sylvestris	Scots Pine	27	10	F	F	
9518	Prunus spp.	Cherry sp.	10.5	5	G	G	
9519	Pinus sylvestris	Scots Pine	46	12	F	P	
9520	Prunus spp.	Cherry sp.	20, 16	10	F	F	
9521	Juglans nigra	Black Walnut	40.5, 26	11	P	F	deadwood, included bark
9522	Morus spp.	Mulberry sp.	14, 13	3	D	D	
9523	Fraxinus pennsylvanica	Green Ash	22.5	7	F	F	
9524	Fraxinus pennsylvanica	Green Ash	12	3.5	P	F	
9525	Ulmus spp.	Elm sp.	53.5	10	G	G	
9526	Fraxinus pennsylvanica	Green Ash	12, 21	6	P	F	
9527	Juglans nigra	Black Walnut	55	12	G	G	
9528	Populus spp.	Poplar sp.	14	6	G	G	
9529	Liriodendron tulipifera	Tulip Tree	9.5	6	G	G	
9530	Picea abies	Norway Spruce	53.5	16	G	G	
9531	Picea abies	Norway Spruce	41.5	16	G	G	
9532	Picea abies	Norway Spruce	15.5	11	G	G	
9533	Picea abies	Norway Spruce	58	16	G	G	
9534	Picea abies	Norway Spruce	53	15.5	G	G	
9535	Picea abies	Norway Spruce	28.5	13	G	G	
9536	Picea abies	Norway Spruce	38.5	16	G	G	
9537	Picea abies	Norway Spruce	44.5	15.5	G	G	
9538	Populus spp.	Poplar sp.	28.5	8.5	G	F	heavy lean

Tag #	Species		DBH (cm)	Height (m)	Tree Health	Tree Structure	Comments
	Botanical	Common					
9539	Picea abies	Norway Spruce	59.5	16	G	G	
9540	Picea abies	Norway Spruce	54	16	G	G	
9541	Picea abies	Norway Spruce	54.5	15.5	G	G	
9542	Picea abies	Norway Spruce	57	16	G	G	
9543	Ulmus spp.	Elm sp.	89	16	P	P	major limb failure in the past
9544	Fraxinus pennsylvanica	Green Ash	18.5	6	D	D	
9545	Fraxinus pennsylvanica	Green Ash	23	6	D	D	
9546	Fraxinus pennsylvanica	Green Ash	20	4.5	D	D	
9547	Fraxinus pennsylvanica	Green Ash	21	6	D	D	
9548	Picea abies	Norway Spruce	26	10	G	G	
9549	Fraxinus pennsylvanica	Green Ash	22.5	10.5	D	D	
9550	Larix Laricina	Tamarack	52.5	14	G	G	deadwood
9551	Larix Laricina	Tamarack	58.5	14	G	G	deadwood
9552	Acer negundo	Manitoba Maple	32.5, 29.5	6	P	P	
9553	Prunus spp.	Cherry sp.	15.5	2	P	P	
9554	Fraxinus pennsylvanica	Green Ash	12	7	P	F	
9555	Pinus sylvestris	Scots Pine	25	10	G	G	deadwood
9556	Fraxinus pennsylvanica	Green Ash	22	6	D	D	hollow base
9557	Ulmus spp.	Elm sp.	23.5	9	F	F	
9558	Pinus sylvestris	Scots Pine	31	10	F	F	
9559	Fraxinus pennsylvanica	Green Ash	22.5	7.5	D	D	
9560	Pinus sylvestris	Scots Pine	26	8	F	F	
9561	Fraxinus pennsylvanica	Green Ash	10	6	P	P	
9562	Acer platanoides	Norway Maple	14, 10.5, 8, 4.5, 18, 14.5, 10	7	F	F	
9563	Ulmus spp.	Elm sp.	50	8	F	F	Included bark
9564	Ulmus spp.	Elm sp.	43	13	F	F	previous failures
9565	Ulmus spp.	Elm sp.	28.5	13	F	F	deadwood
9566	Ulmus spp.	Elm sp.	23.5, 15	12	F	F	deadwood
9567	Ulmus spp.	Elm sp.	55	12	F	F	deadwood
9568	Ulmus spp.	Elm sp.	37	12	F	F	deadwood
9569	Ulmus spp.	Elm sp.	48	10	F	F	deadwood
9570	Pinus sylvestris	Scots Pine	25	11	F	F	
9571	Pinus sylvestris	Scots Pine	40	13	G	G	
9572	Pinus sylvestris	Scots Pine	34.5	13	G	G	
9573	Pinus sylvestris	Scots Pine	25	9	F	F	deadwood
9574	Betula papyrifera	White Birch	35	9	F	F	deadwood
9575	Picea abies	Norway Spruce	48	15	G	G	
9576	Picea abies	Norway Spruce	50	15	G	G	
9577	Thuja occidentalis	White Cedar	14.5	6	F	F	
9578	Fraxinus pennsylvanica	Green Ash	38.5	12	P	P	
9579	Acer platanoides	Norway Maple	29.5, 22	13	P	P	deadwood, included bark

Tag #	Species		DBH (cm)	Height (m)	Tree Health	Tree Structure	Comments
	Botanical	Common					
9580	Acer platanoides	Norway Maple	44.5	14.5	F	P	deadwood, decay @2m, canker, girdling root
9581	Acer platanoides	Norway Maple	45	14	F	P	deadwood, decay, girdling root
9582	Acer platanoides	Norway Maple	54.5	14	F	F	girdling root
9583	Acer platanoides	Norway Maple	16	3	P	F	
9584	Acer platanoides	Norway Maple	64.5	14	F	F	girdling root
9585	Fraxinus pennsylvanica	Green Ash	20.5	10	P	P	
9586	Prunus spp.	Cherry sp.	18.5	8	F	F	deadwood
9587	Pinus sylvestris	Scots Pine	29	7	D	D	
9588	Ulmus spp.	Elm sp.	57.5	14.5	F	F	deadwood
9589	Acer saccharinum	Silver Maple	80	12	F	F	deadwood, previous failures
9590	Pinus sylvestris	Scots Pine	26	9	F	F	no visible root flare
9591	Larix Laricina	Tamarack	46.5	14.5	F	G	deadwood
9592	Picea glauca	White Spruce	10.5	5.5	P	F	
9593	Larix Laricina	Tamarack	52	14.5	F	G	deadwood
9594	Quercus rubra	Red Oak	16	9	F	F	
9595	Morus spp.	Mulberry sp.	14, 11	6	F	F	slim flux, included bark
9596	Picea glauca	White Spruce	14	10	F	G	
9597	Prunus serotina	Black Cherry	31	12	F	F	deadwood, heavy lean
9598	Fraxinus pennsylvanica	Green Ash	14.5	12	P	P	
9599	Corylus colurna	Turkish Filbert	55.5	13	F	G	deadwood
9600	Picea glauca	White Spruce	37	14	G	G	
9601	Larix Laricina	Tamarack	28.5	13	F	G	deadwood
9602	Picea abies	Norway Spruce	37.5	14	G	G	
9603	Picea abies	Norway Spruce	43.5	14	G	G	
9604	Picea abies	Norway Spruce	54	15	G	G	
9605	Prunus serotina	Black Cherry	35	12	F	F	
9606	Pinus sylvestris	Scots Pine	22	6	D	D	
9607	Prunus serotina	Black Cherry	34	13	F	F	lean
9608	Fraxinus pennsylvanica	Green Ash	23	8	D	D	
9609	Prunus serotina	Black Cherry	36.5	13	F	F	deadwood
9610	Morus spp.	Mulberry sp.	16	5	D	D	
9611	Quercus rubra	Red Oak	18	9	F	F	lean
9612	Picea glauca	White Spruce	26.5	9	F	G	
9613	Fraxinus pennsylvanica	Green Ash	21.5, 19	6	P	P	Included bark
9614	Fraxinus pennsylvanica	Green Ash	21	10	D	D	
9615	Fraxinus pennsylvanica	Green Ash	22, 28	10	D	D	
9616	Ulmus spp.	Elm sp.	32	12	P	P	slim flux, large deadwood, injury @ base
9617	Picea abies	Norway Spruce	55.5	13	G	F	Included bark
9618	Picea abies	Norway Spruce	24	10	F	F	Included bark
9619	Picea abies	Norway Spruce	43	13	G	G	
9620	Picea abies	Norway Spruce	62.5	13	G	F	Included bark
9621	Betula papyrifera	White Birch	43	11	F	F	

Tag #	Species		DBH (cm)	Height (m)	Tree Health	Tree Structure	Comments
	Botanical	Common					
9622	Picea abies	Norway Spruce	15, 35	12	F	F	
9623	Picea abies	Norway Spruce	33	11.5	F	F	
9624	Picea abies	Norway Spruce	31	9.5	F	F	
9625	Picea abies	Norway Spruce	45	12	F	F	
9626	Acer platanoides	Norway Maple	15, 34	12	F	F	deadwood, included bark
9627	Quercus rubra	Red Oak	31.5	11.5	F	F	deadwood
9628	Acer negundo	Manitoba Maple	15,13, 15.8, 15	6	P	P	mostly dead
9629	Acer negundo	Manitoba Maple	18,18, 11	6	P	P	
9630	Juglans nigra	Black Walnut	37.5,36, 39.5	11	P	P	deadwood
9631	Prunus serotina	Black Cherry	43	11	F	F	deadwood
9632	Juglans nigra	Black Walnut	27, 23	6	P	P	hollow, decayed
9633	Prunus serotina	Black Cherry	43	10	P	P	mostly dead
9634	Acer platanoides	Norway Maple	23	9	F	F	
9635	Morus spp.	Mulberry sp.	11.5,12, 12.5	4	F	F	Included bark
9636	Picea abies	Norway Spruce	56	12	D	D	
9637	Picea abies	Norway Spruce	56.5	12	F	G	
9638	Prunus serotina	Black Cherry	30.5	7	P	P	lean
9639	Acer platanoides	Norway Maple	14.5	6	G	F	
9640	Rhus spp.	Sumac sp.	15	5	D	D	
9641	Picea glauca	White Spruce	32	10	F	P	
9642	Picea abies	Norway Spruce	32	10	F	F	half of tree has previously been removed
9643	Picea abies	Norway Spruce	32	11	F	F	canker
9644	Fraxinus pennsylvanica	Green Ash	26	8	D	D	
9645	Ulmus spp.	Elm sp.	61	10	F	F	x'ed, lean
9646	Ulmus spp.	Elm sp.	29	10	F	F	x'ed
9647	Ulmus spp.	Elm sp.	22,15, 47,82, 32.5,39	11	F	P	x'ed, included bark, deadwood
9648	Acer platanoides	Norway Maple	31	10	F	F	
9649	Quercus rubra	Red Oak	10.5	5	G	G	
9650	Quercus rubra	Red Oak	33	11	G	G	root damage from nearby stump grinding
9651	Quercus rubra	Red Oak	21.5	8	G	G	
9652	Picea pungens	Blue Spruce	23	9	G	G	
9653	Pinus sylvestris	Scots Pine	45.5	10.5	D	D	
9654	Quercus rubra	Red Oak	30.5	11	F	F	lean
9655	Pinus sylvestris	Scots Pine	23	11	F	G	
9656	Quercus rubra	Red Oak	29	12	F	F	
9657	Pinus sylvestris	Scots Pine	12	8	F	G	
9658	Quercus rubra	Red Oak	33.5	12	G	F	
9659	Quercus rubra	Red Oak	23	10	G	G	
9660	Pinus sylvestris	Scots Pine	32	12.5	G	F	
9661	Quercus rubra	Red Oak	42	12	G	G	
9662	Quercus rubra	Red Oak	28	10	G	F	

Tag #	Species		DBH (cm)	Height (m)	Tree Health	Tree Structure	Comments
	Botanical	Common					
9663	Picea abies	Norway Spruce	38.5	10	F	P	
9664	Picea abies	Norway Spruce	41	12	F	P	
9665	Picea abies	Norway Spruce	23.5	9	F	F	
9666	Picea abies	Norway Spruce	45	12	F	F	
9667	Picea abies	Norway Spruce	33.5	12.5	F	F	
9668	Picea abies	Norway Spruce	35.5	12	F	F	large stem has previously been removed
9669	Picea abies	Norway Spruce	35.5	13	F	G	
9670	Picea abies	Norway Spruce	26.5	10	F	F	
9671	Picea abies	Norway Spruce	26.5	10	F	F	Included bark
9672	Morus spp.	Mulberry sp.	14.5, 10	6	P	F	deadwood
9673	Acer platanoides	Norway Maple	14	7	P	F	
9674	Ulmus spp.	Elm sp.	18	11	F	F	
9675	Ulmus spp.	Elm sp.	23.5	11	F	F	deadwood
9676	Fraxinus pennsylvanica	Green Ash	50	11	F	F	
9677	Pinus nigra	Austrian Pine	43	12	F	F	
9678	Pinus nigra	Austrian Pine	39	11	F	P	
9679	Picea abies	Norway Spruce	28	12	F	G	
9680	Picea abies	Norway Spruce	54.5	13	F	G	
9681	Picea abies	Norway Spruce	41	13	F	G	
9682	Picea abies	Norway Spruce	35	12	F	G	
9683	Picea abies	Norway Spruce	56	13	F	G	
9684	Picea abies	Norway Spruce	26	11	F	G	
9685	Pinus nigra	Austrian Pine	28	11	F	G	
9686	Pinus sylvestris	Scots Pine	33.5	11	P	G	deadwood
9687	Pinus sylvestris	Scots Pine	26.5	10.5	F	G	
9688	Pinus sylvestris	Scots Pine	27.5	9	F	F	
9689	Pinus sylvestris	Scots Pine	29	10.5	F	G	
9690	Pinus sylvestris	Scots Pine	23.5	11	F	G	
9691	Pinus sylvestris	Scots Pine	26	10.5	P	F	

City of Mississauga Corporate Report



Date: 2017/03/16

To: Chair and Members of Heritage Advisory Committee

From: Paul Mitcham, P. Eng, MBA, Commissioner of
Community Services

Originator's files:

Meeting date:
2017/04/11

Subject

Request to Demolish a Heritage Listed Property: 3064 Churchill Avenue (Ward 5)

Recommendation

That the property at 3064 Churchill Avenue, which is listed on the City's Heritage Register, is not worthy of heritage designation, and consequently, that the owner's request to demolish proceed through the applicable process.

Background

Section 27.3 of the Ontario Heritage Act states that structures or buildings on property listed on the City's Heritage Register cannot be removed or demolished without at least 60 days' notice to Council. This legislation allows time for Council to review the property's cultural heritage value to determine if the property merits designation.

The owner of the subject property has submitted a heritage permit application to demolish and replace the existing detached dwelling. The subject property is listed on the City's Heritage Register as it forms part of the Malton Wartime Housing cultural landscape. This cultural landscape is noted for being a planned subdivision of the WWII and post-war era government efforts to provide mass produced housing to workers in industry related to the war effort and to veterans respectively within Mississauga.

Comments

The owner of the subject property has requested permission to demolish the existing structure. The applicant has provided a Heritage Impact Assessment compiled by Sue Murdoch Historical Consulting. It is attached as Appendix 1. The consultant has concluded that the structure at 3064 Churchill Avenue is not worthy of designation. Staff concurs with this finding.

Financial Impact

There is no financial impact.

Conclusion

The owner of 3064 Churchill Avenue has requested permission to demolish a structure on a property that is listed on the City's Heritage Register. The applicant has submitted a documentation report which provides information which does not support the building's merit for designation under the Ontario Heritage Act. Staff concurs with this finding.

Attachments

Appendix 1: Heritage Impact Assessment



Paul Mitcham, P. Eng, MBA, Commissioner of Community Services

Prepared by: Cecilia Nin Hernandez, Heritage Co-ordinator

HERITAGE IMPACT STATEMENT

**3064 CHURCHILL AVENUE
CITY OF MISSISSAUGA, ONTARIO**

PREPARED FOR THE PROPERTY OWNERS BY

SU MURDOCH HISTORICAL CONSULTING

47 RODNEY STREET, BARRIE, ON L4M 4B6
705.728.5342 SUMURDOC@SYMPATICO.CA

FEBRUARY 2017



SUMMARY

This Heritage Impact Statement was prepared for the owners of 3064 Churchill Avenue in the City of Mississauga. It is intended to accompany applications for demolition, site plan approval, and a Heritage Permit.

This property is within a residential neighbourhood identified by the City as the Wartime Housing (Malton) Cultural Heritage Landscape. The City has determined that the “significance” of this cultural heritage landscape “lies in the fact that it retains a number of post-war houses which represent some of the first mass produced housing in the GTA.” This Heritage Impact Statement agrees that the cultural heritage value or interest of this cultural heritage landscape lies in its being a collective of wartime/postwar housing units of similar design, materials, frontages, and setbacks.

The design form of this area is undergoing a transition with the small scale, “wartime” housing units being replaced with two storey, medium scale dwellings. This is happening without any specific, heritage based parameters or guidelines set by the City to manage redevelopment. The City also has not indicated what amount of removal and infill can be sustained before the identified significance and character of the Wartime Housing (Malton) Cultural Heritage Landscape is surpassed.

It is the conclusion of this Heritage Impact Statement that designating any single property under s. 29 of the OHA will not maintain the overall vintage character of this area, if this is the long range intention of the City. Nothing elevates or sets apart the property or the 1940s/early 1950s dwelling at 3064 Churchill Avenue from any other on the street or in the area. Wartime housing is a well documented initiative. Further measuring or otherwise documenting this dwelling or undertaking the salvage of any materials will not contribute to what is already known of this type of housing. As such, there will be negligible loss of cultural heritage value or interest resulting from the demolition of this dwelling.

Given the absence of any heritage based design parameters set by the City, the proposed redevelopment is acceptable. It continues the traditional use of the land for single family housing and respects the streetscape pattern by maintaining the front yard setback important to the character of the neighbourhood. The proposed dwelling will introduce a new form of two storeys, but will be only slightly taller than the 1.5 storey vintage examples on this segment of the street. The lot coverage will be greater than traditional and the use of brick and an integral garage will be new to this stretch of Churchill Avenue, but not new to the area where other infill exists.

CONTENTS

SUMMARY

1.0 SUBJECT PROPERTY

- 1.1 DESCRIPTION
- 1.2 PROPOSED DEVELOPMENT

2.0 REPORT OBJECTIVE

3.0 METHODOLOGY

4.0 POSITION OF THE CITY OF MISSISSAUGA

- 4.1 CITY OF MISSISSAUGA HERITAGE POLICIES
- 4.2 WARTIME HOUSING (MALTON) CULTURAL HERITAGE LANDSCAPE (L-RES-5)
- 4.3 ONTARIO HERITAGE ACT REGISTER

5.0 HISTORICAL OR ASSOCIATIVE VALUE

- 5.1 MALTON VILLAGE
- 5.2 WARTIME HOUSING
- 5.3 VICTORY VILLAGE
- 5.4 SUBJECT PROPERTY CHRONOLOGY
- 5.5 SUMMARY OF HISTORICAL OR ASSOCIATIVE VALUE

6.0 DESIGN OR PHYSICAL VALUE

- 6.1 DATE OF CONSTRUCTION
- 6.2 STYLE AND FORM
- 6.3 DESCRIPTION OF 3064 CHURCHILL AVENUE
- 6.4 SUMMARY OF DESIGN OR PHYSICAL VALUE

7.0 CONTEXTUAL VALUE

- 7.1 CHURCHILL AVENUE STREETScape
- 7.2 LOT FRONTAGE AND SETBACK
- 7.3 SUMMARY OF CONTEXTUAL VALUE

8.0 DEVELOPMENT PROPOSAL

9.0 ANALYSIS

10.0 CONCLUSION AND RECOMMENDATIONS

- 10.1 CONCLUSION
- 10.2 RECOMMENDATIONS

DISCLAIMER

SUMMARY OF HERITAGE CONSULTING CREDENTIALS AND EXPERIENCE

SOURCES

APPENDIX ACCOMPANYING THIS REPORT

Photographs of the interior of the dwelling at 3064 Churchill Avenue are provided as an Appendix in a separate efile format. These interior photographs are not to be circulated with this Heritage Impact Statement, reproduced, or used in any manner beyond confirmation by the City of Mississauga Heritage Planning staff that the interior has no cultural heritage value or interest. This restriction is for privacy reasons as the property was occupied by a tenant as a personal residence at the date these photographs were recorded. These photographs can be retained by the City of Mississauga in the relevant property file with this proviso clearly indicated.

HERITAGE IMPACT STATEMENT 3064 CHURCHILL AVENUE

LOT 105, PLAN 436, CITY OF MISSISSAUGA

1.0 SUBJECT PROPERTY

1.1 DESCRIPTION

The legal description of the property known municipally as 3064 Churchill Avenue is Lot 105, Plan 436, City of Mississauga. It is within an area identified by the City of Mississauga ("City") as the Wartime Housing (Malton) Cultural Heritage Landscape.

The geographic orientation for purposes of the Heritage Impact Statement ("HIS") is that the subject property fronts on the south side of Churchill Avenue (Figure 1).

It contains an estimated late 1940s/ early 1950s, single storey, frame dwelling erected as "wartime" housing. It is accessed by a driveway running south from Churchill, along the west side of the dwelling, which appears to be shared with the dwelling on the west. There is a small frame outbuilding at the rear fence line of the property. On the abutting properties and throughout the area are similar vintage and style wartime housing units. Recent infill dwellings are visible at a distance in all directions.

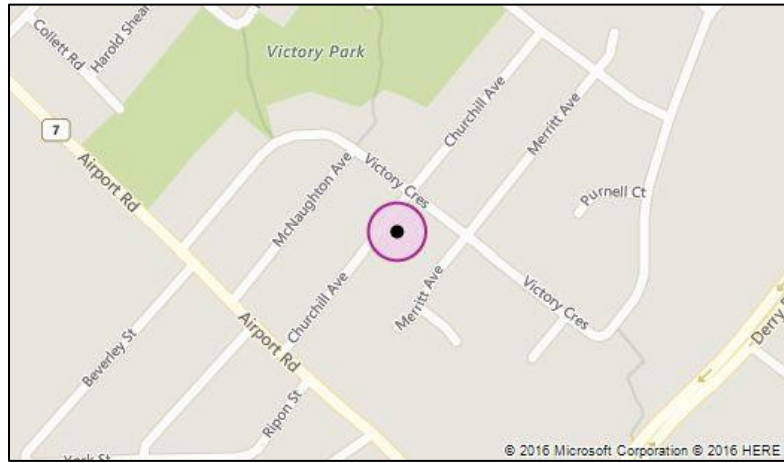


Figure 1: Property Location

1.2 PROPOSED DEVELOPMENT

In January 2017 when this HIS was commissioned, the property owners Rashpal and Rupinderjit Nijhar were intending to demolish the existing dwelling and erect a custom built, two storey, single family dwelling. The site plans and conceptual elevations and streetscape are shown in this HIS as Figures 14, 15, and 16.

2.0 REPORT OBJECTIVE

In the event of any demolition, site plan approval, and/or Heritage Permit applications for the property at 3064 Churchill Avenue, the City requires a Heritage Impact Statement prepared by a

qualified heritage professional. This is due to the location of the property within the boundary of the Wartime Housing (Malton) Cultural Heritage Landscape.

This HIS was prepared by Su Murdoch, a professional member in good standing of the Canadian Association of Heritage Professionals. The heritage evaluation contained in this report was guided by the City's Terms of Reference for an HIS. Requirements that relate to site plan, Ontario Building Code, zoning, transportation, and works, etc., will be submitted separately by the property owners. Archaeological fieldwork and the identification of areas of archaeological potential are not included in this HIS.

3.0 METHODOLOGY

Ontario Regulation 9/06 ("O. Reg. 9/06") sets the minimum standard for criteria to be used by municipalities when evaluating the cultural heritage value or interest of a property being considered for protection under s. 29 of the Ontario Heritage Act ("OHA"). One or more of the criterion in the categories of Design or Physical Value, Historical or Associative Value, and Contextual Value must be met for the property to be protected by bylaw under s. 29. For purposes of this HIS, the evaluation categories of O. Reg. 9/06 were applied. The use of O. Reg. 9/06 as a framework does not imply that there is any current intent to designate or otherwise protect the subject property under the OHA.

The findings and recommendations of this HIS are based on documentary research, a property title search at the Peel Region Land Registry Office, and a site visit by the heritage consultant on January 16, 2017. The interior and exterior of the dwelling, the grounds, and the adjacent Churchill streetscape were examined. The dwelling is occupied by a tenant and for privacy reasons photographs of the interior are provided as a separate document not for circulation. No structural assessment or engineering type report was commissioned to determine the current physical condition of the dwelling.

4.0 POSITION OF THE CITY OF MISSISSAUGA

4.1 CITY OF MISSISSAUGA HERITAGE POLICIES

The City's Official Plan states "Mississauga will protect and enhance resources of heritage significance." Section 3.17 Heritage Resources, Introduction 3.17.1.2 states:

The Heritage policies of the Plan are based on two principles:

- a. Heritage planning will be an integral part of the planning process;
- b. Heritage resources of significant value will be identified, protected, and preserved.

4.2 WARTIME HOUSING (MALTON) CULTURAL HERITAGE LANDSCAPE (L-RES-5)

In addition to individual properties and structures that may hold cultural heritage value or interest, the City recognizes the value of cultural heritage landscapes. These are geographical areas that involve a grouping of features such as buildings, spaces, archaeological sites, and natural elements, which collectively form a significant type of cultural heritage resource.¹ The City's position is that "a cultural landscape can be defined as a setting which has enhanced a community's vibrancy, aesthetic quality, distinctiveness, sense of history or sense of place. A cultural landscape may be a single property or a collection of properties such as a local streetscape or a river corridor."²

In 2005, the City commissioned The Landplan Collaborative Ltd. to inventory and evaluate cultural heritage landscapes throughout the municipality. The resulting *Cultural Landscape Inventory, City of Mississauga* identifies a cultural heritage landscape labelled "War Time Housing (Malton) L-RES-5" located north of Pearson International Airport and bound by Derry Road on the south and Airport Road on the west:

Site Description

This planned subdivision is located opposite the northeast corner of Pearson International Airport. The neighbourhood is close to where the original Malton Terminal was located and remains close to the present airplane manufacturing and service industry. Although some of the original houses have been altered with newer porches, dormers, raised basements and garages, many retain characteristics typical of the period with 1 to 1 roof pitches, central front doors, picture windowed living rooms to one side, kitchen and eating areas on the opposite side and bedrooms and bathrooms to the rear. According to local sources, one in four of the houses were moved from Bramalea Road when the airport was expanded in 1950. The relocated houses and lots sold for \$2,500.00 each. The street names in the area, including Churchill Avenue and Victory Crescent, act as reminders that this area was developed during the post-war period. Its significance lies in the fact that it retains a number of post-war houses which represent some of the first mass produced housing in the GTA.

4.3 ONTARIO HERITAGE ACT REGISTER

The City has "listed" on its Heritage Register all properties within the Wartime Housing (Malton) Cultural Heritage Landscape, including that at 3064 Churchill Avenue. This Register is as prescribed by s. 27 of the OHA. The OHA places only the following provision on all listed properties:

Restriction on demolition, etc.

(3) If property included in the register under subsection (1.2) has not been designated under section 29, the owner of the property shall not demolish or remove a building or structure on the property or permit the demolition or removal of the building or structure

unless the owner gives the council of the municipality at least 60 days notice in writing of the owner's intention to demolish or remove the building or structure or to permit the demolition or removal of the building or structure.

The City's policy is to require a HIS and a Heritage Permit when there is a planning application for a property listed on the Register.

To date, there has been no indication by the City to the property owners that the identification of this area as a Cultural Heritage Landscape and the listing on the Register of individual properties within its boundary will be elevated to greater legislative protection, such as a Heritage Conservation District under Part V of the OHA.

5.0 HISTORICAL OR ASSOCIATIVE VALUE

5.1 MALTON VILLAGE

The historic village of Malton developed at the four corners of Malton Sideroad (Derry Road) and Sixth Line (Airport Road). By 1850, the village had a population of about 350. The arrival of the Grand Trunk Railway in 1854 substantially boosted the local economy and the village was surveyed the following year into building lots. It became an agricultural hub with several grain elevators. Malton lost its bid to the town of Brampton in becoming the county seat for Peel and then, in 1879, the Credit Valley Railway bypassed the village. Both events contributed to a long term economic slump in the area.

The resurgence in Malton's economy was launched by the opening of Malton Airport. In 1937, land agents representing the Toronto Harbour Commission assembled 1,030 acres in the area and a license to operate an airport was issued to the Commission on January 24, 1939.³ Also boosting the local economy was the 1938 opening by National Steel Car of a manufacturing plant in Malton. In 1942,⁴ the federal government expropriated farmland in the area to establish the Victory Village wartime housing community, which contains the property at 3064 Churchill Avenue. Many referred to Victory Village as New Malton.

Geographically on the border of the Townships of Toronto Gore and Toronto, Malton was ceded to Toronto Township in 1952. It became part of the Town, now City of Mississauga, in 1967.

5.2 WARTIME HOUSING

Canada entered the Second World War effort in September 1939 and the federal government leased Malton Airport shortly after as a centre for the British Commonwealth Air Training Plan. This was a large, joint military aircrew training program created by the United Kingdom, Canada, Australia, and New Zealand. On November 4, 1942, the National Steel Car plant was expropriated

and a Crown corporation called Victory Aircraft Ltd. was established. Victory Aircraft produced the mainstay Avro Lancaster bombers from 1942 to 1945. With the influx of military service families, plus wartime industrial production demanding an ever increasing workforce, adequate housing in Malton was soon in critical shortage.

This wartime housing problem was not unique to Malton. By the fall of 1940 when widespread housing shortages and overcrowded accommodations across Canada began to disrupt industrial production, some munitions plants constructed employee housing. In response to this critical demand for housing for munitions workers, the Canadian government established Wartime Housing Ltd. It was the first time in Canadian history that a government undertook to build nonprofit, subsidized rental housing. According to Marc Denhez in his publication *The Canadian Home, From Cave to Electronic Cocoon*:

Wartime Housing Limited accumulated materials at discount prices through the Department of Munitions and Supply. It assembled land by expropriation or by using surplus federal property; it also made deals with municipalities, which had a surplus of land left over from the property-tax seizures of the Depression era. Sometimes WHL planned roads, sewers, etc. When the site was ready, WHL would put in its order – for 250 houses at a time in New Glasgow, 752 houses in North Vancouver, 300 in Richmond, as so on across the country. The dimensions of these houses fit standard-size materials. A bungalow would measure 25 by 32 feet (7 m by 9.6 m), with one bathroom and a 55-square foot kitchen, the size of many bathrooms today. Some had the luxury of a triple window in the living room – one of the few options available.

Building techniques were also revolutionized. Even if Rome wasn't built in a day, maybe the Victory House could be. WHL certainly tried. By 1946, Canadian houses still required over 2.6 person-years to be built, but over half of this was off-site thanks to prefabrication.⁵

In 1944, Wartime Housing Ltd. went beyond its original mandate of building housing for munitions workers (or in Malton's case, aircraft workers) to give housing aid to the families of soldiers overseas who were being threatened with eviction and homelessness.

At the close of the War in 1945, the next demand for housing was to accommodate veterans. The government soon shifted from temporary rental accommodation to low cost housing for sale. Now in need of mortgage funding administration, not building advice, on January 1, 1946, Central Mortgage and Housing Corporation (now Canada Mortgage and Housing) was founded. Its purpose was to provide low cost housing through the sale of wartime and post war housing units, using the government owned lots as collateral on low interest rate mortgages. Denhez continues:

The Victory House, which was supposed to be temporary, was anything but. Instead of carting these houses away in dumpsters, countless veterans upgraded them, put "holes"



Figure 2: Extract from a wartime publication, *Homelife and Community Interests*, Vol. 3, No. 3.

McNaughton Avenue (for Canadian military commander General Andrew McNaughton), and Lancaster (for the Lancaster bomber), plus Anson and Merrit Avenues. Churchill Avenue commemorates Winston Churchill who served as the British Prime Minister from 1940-1945.

Victory Village is described by Kathleen A. Hicks in her publication *Malton: Farms to Flying*:

Victory Village was not welcomed by the old residents as it was referred to as the “New Malton” and this was resented. It was thought by some that there would be an increase in service taxes in Malton and others looked at it as a booming population and therefore a boom in business. Everyone who had these thoughts was right, both did occur. Water pipes were laid for several miles (kilometers) from the Somerville’s Woodhill Farms springs and new business abounded.⁸

(basements) under them, installed furnaces, and made them into durable components of the urban landscape.⁶

Between 1941 and 1947, Wartime Housing Ltd. constructed 32,000 rental houses for the benefit of munitions workers, military service families, and veterans. Many of these have been upgraded and continue to be occupied as single family units. This is the case with 3064 Churchill Avenue.

5.3 VICTORY VILLAGE

The property at 3064 Churchill is within a Wartime Housing Ltd. initiative known as Victory Village. In 1942, the north part of the Fred Codlin farm was expropriated and construction began on “temporary” housing. Two hundred houses were built and leased.⁷

The streets of Victory Village (as in many other Wartime Housing Ltd. developments) were named with wartime references: Victory (for Victory Aircraft Ltd. founded in 1942),



Top left: Larger 4-room bungalow, Collingwood, Ont. Top right: Showing large 6-room and small 4-room bungalows at Woodstock, Ont. Lower right: Shingled 4-room bungalow at Kingston, Ont. Lower left: Ivy graces the porch on St. Catharines Wartime Home.

Windsor park a wading pool. So successful have these efforts been that the park in Windsor now enjoys the largest attendance of any park in the city with an average of 1,000 children a day. Properly supervised play is provided through the co-operation of the Windsor Playground Association.

The Club House

In developments where the comparatively small number of houses does not justify the provision of a community centre, a house is set aside as headquarters for the group committees and smaller social gatherings. These have proved their value and it is customary to start with such a centre, even in the larger projects, until a real demand for increased accommodation makes itself felt.

A Pattern for Future Housing

All these activities are based on sound community practice; and in an

unobtrusive and acceptable fashion, it is doing much toward the establishment of a healthy, vital community. Its success has been so genuinely proved that it may well establish a guide to the evolution of future housing needs. Certainly it is exercising a considerable influence on the pattern of housing developments to come.

Schools for Children

Now another problem arose. Families had children. There were dozens, hundreds of children, in numbers far beyond the capacity of existing local schools. And so was added another feature of the housing programme: the provision of schools for the tenants of the new houses.

Types of Houses

There are now a small four-roomed bungalow, a four-roomed bungalow with slightly larger rooms, a five-roomed bungalow, and a six-roomed

house. Certain minor changes are introduced in different parts of the country because of varying climatic conditions. Heavier insulation where the weather is cold; wider eaves in the Pacific Coast developments where the rainfall is heavy are examples.

Revision Based on Experience

In addition to this, continual revision of original designs, based upon the experience gained from the houses already built in different parts of the country, constantly modifies the plans



A pleasant vista at Amherst, N.S.

Demountable Houses

The word pre-fabricated has been applied to these houses. They should be called demountable. The reason for this method of building is obvious. If the houses have to be removed or torn down, the salvaging of material and the simplicity of removal for the purpose of rebuilding elsewhere is increased.

Designs and Materials

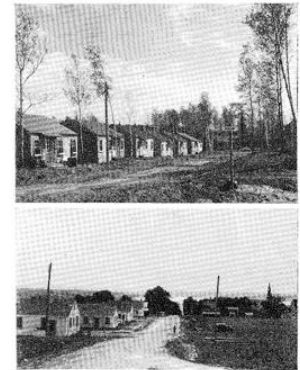
The design of the houses was based on several essentials. First, the best material for the least cost, yielding the best living returns. The choice of material was influenced by supply. Frequently shortages occur. For instance 75% of our plywood is now being exported to Great Britain. (It is used to supply quick, temporary shelters in the bombed-out areas). Certain types of weather board, using waterproof glues which come from the

United States, are no longer available. Shellac, a product which comes mostly from India, is practically non-existent today. Substitutes have to be found for all these.

Supplying Material

The question of material constituted one of the most impressive problems in the planning and building of these communities. Millions of feet of lumber had to be assembled and arrangements made for plumbing fixtures, wallboard by the square mile, water pipes, mains, electric and other equipment, wiring and insulating material in vast quantities. Even in ordinary times this would have been a big undertaking and under war conditions with material and labour restrictions, the problem was increased.

(Continued on next page)



Top: A new road at Nobel, Ont. Bottom: Beginning of the Pictou project. A school is going in the empty lot where the car now stands.

One home out of every five has been destroyed or damaged by air-raids over Britain.

Figure 3: Extract from a wartime publication, *Homelife and Community Interests*, Vol. 3, No. 3. The "Lower left" dwelling is similar in design to that at 3064 Churchill Avenue when built.

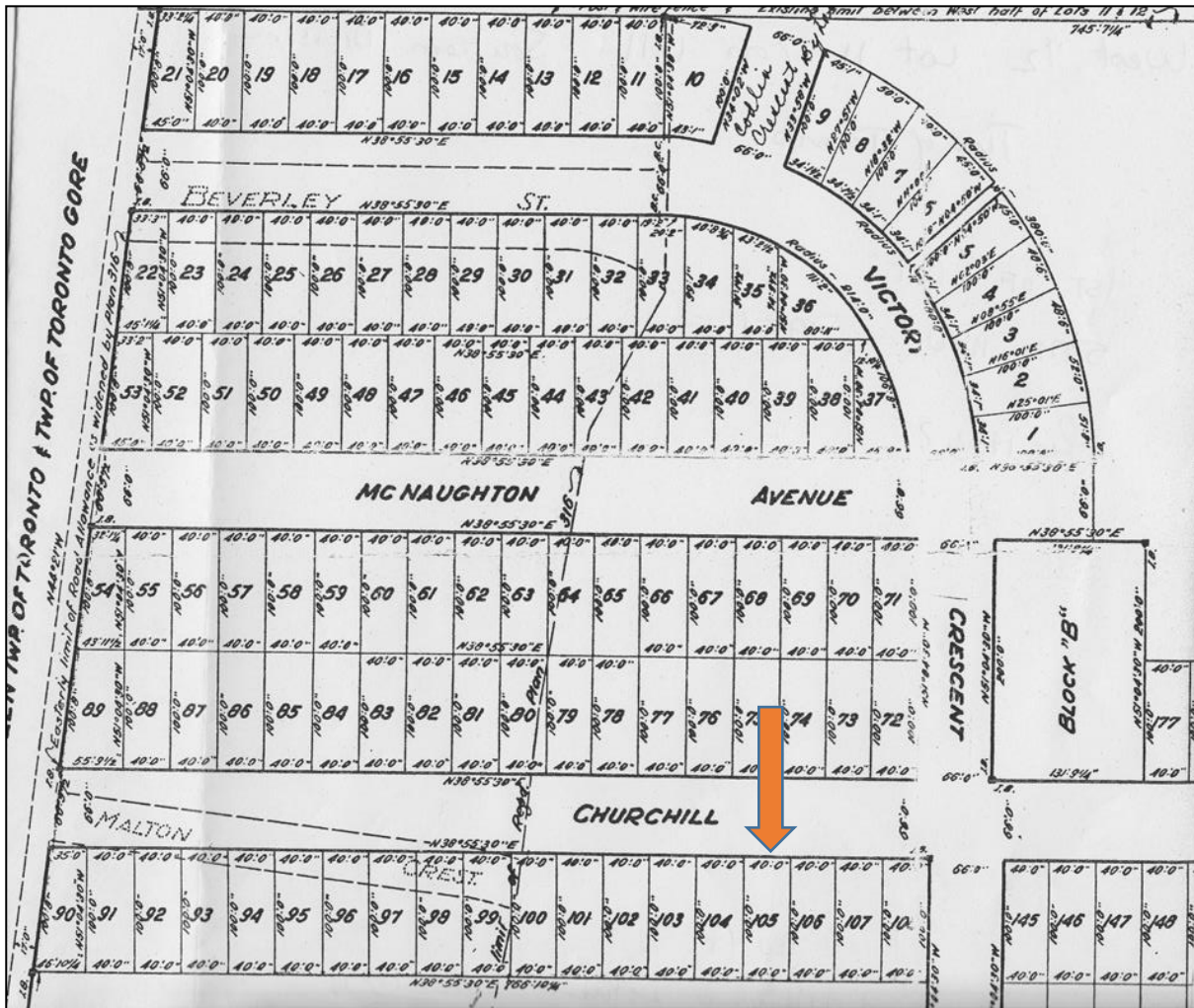


Figure 4: Section of 1951 Plan 436 for Victory Village, indicating Lot 105 on Churchill Avenue. Note the delineation of the earlier Plan 316.

The War ended in August 1945. A.V. Roe Canada Ltd. was established in December that year and assumed control of Victory Aircraft Ltd. In 1949, the Avro Jetliner made its maiden flight. This was followed in 1950 by the maiden flight of Avro's CF-100 Jet Interceptor/Fighter. These achievements, plus the increasing volume of air transport through Malton Terminal, gave Malton an international reputation as a leader in aeronautics. The industry sustained the former wartime workforce and pressed the ongoing need for housing. According to Hicks:

Following the war, the houses were used for airport workers as the airplane manufacturing industry escalated. These houses were later improved upon and still survive today as a permanent part of Malton, always as a reminder of their involvement during the Second World War and aviation. The Malton Victory Hall still exists at 3091 Victory Crescent.⁹

In 1958, Canada's first supersonic aircraft, the Avro Arrow, took its maiden flight but the federal government cancelled the program in 1959. In 1962, the A.V. Roe plant was occupied by de Havilland (Aircraft) Canada. After de Havilland's relocation to Downsview, the plant was occupied by other aircraft manufacturers before being demolished in 2005. Throughout this period, many of the houses in Victory Village were occupied by aeronautical industry employees. This prolonged the use of what was intended as "temporary" wartime and veterans' housing.

5.4 SUBJECT PROPERTY CHRONOLOGY

Although land for the site of Victory Village was expropriated by the federal government in 1942 and construction began soon after, Plan 436 (Figure 4), which contains the subject property (Lot 105), was not drawn until November 1951. It was registered on February 5, 1952, by Central Mortgage and Housing Corporation as a subdivision and expansion of the earlier Plan 316 and part of the west half of Lot 11, Concession 7, Toronto Township (South Division).

The creation of Plan 436 may coincide with the government decision to begin selling the developed lots, giving those who had been renting the dwelling the first right of purchase. The sale price of these units in the 1950s/1960s ranged from \$2,500 to \$4,500.¹⁰

On December 10, 1962,¹¹ Central Mortgage and Housing Corporation sold Lot 105, Plan 436 (3064 Churchill), to John O'Brien of the "Fire Patrol" and his wife Irene Julia O'Brien, both of Malton. The purchase price was \$2,950.

John O'Brien died on January 29, 1973, leaving the property to his widow Irene. She died on December 17, 1983. Her Last Will and Testament bequeathed the property to Kenneth Joseph O'Brien. He sold the property on July 12, 1984, to Bryan Frederick Donaghy, Esq. and his wife Mary Margaret Donaghy, both of the City of Mississauga. The purchase price was \$49,000.

The Donaghys sold to Sydney Leslie Morgan in 1991 for \$100,000. In 1998, Morgan sold to Corrie Lee Sherwin and William George Butterworth. They sold in 2001 to Kimberly Anne McCall, who

sold in 2007 to Jyotsna Moria and Rajinder Aujla. Puneet Heer purchased it in 2013 from Rajinder Aujla. In 2016, it was purchased by the current owners,

5.5 SUMMARY OF HISTORICAL OR ASSOCIATIVE VALUE

O. Reg. 9/06

The property has historical value or associative value because it,

- i. has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community,
- ii. yields, or has the potential to yield, information that contributes to an understanding of a community or culture, or
- iii. demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.

Applying the criteria of O. Reg. 9/06 for historical or associative value, the Victory Village neighbourhood has a direct association with the theme of federally sponsored social housing and of the Malton community needing this housing to support its wartime and post war workforce. The area is typical of the economical housing offered across Canada by Wartime Housing Ltd. from 1941 to 1947, and later by its successor, Central Mortgage and Housing Corporation. This government initiative entailed the construction of thousands of partially prefabricated housing units conforming to standardized designs, floor plans, and materials. The 40 x 100 ft. lots and small but functional scale of the dwellings reflect the social housing philosophy of providing adequate, not indulgent, accommodation. Intended as “temporary suburbs,” these wartime housing areas developed as “distinct social and cultural networks.” Some of these areas dissolved after the Second World War ended in 1945, while others, including Victory Village, continue to thrive as single family residential neighbourhoods. “They offer a material glimpse into our collective memory of World War II and the socioeconomic challenges associated with that event.”

12

Applying the criteria for historical or associative value to 3064 Churchill Avenue specifically, its chronology is the same as the other properties in Victory Village. It was constructed to a national standard as a social housing rental unit and offered for sale in the early 1960s. The known achievements of the succession of property owners (based on occupation) do not suggest persons “significant to a community” as prescribed by O. Reg. 9/06. The criteria of “information that contributes to an understanding of a community or culture” or demonstrates “works or ideas” are not applicable. Nothing elevates this property from others in the area.

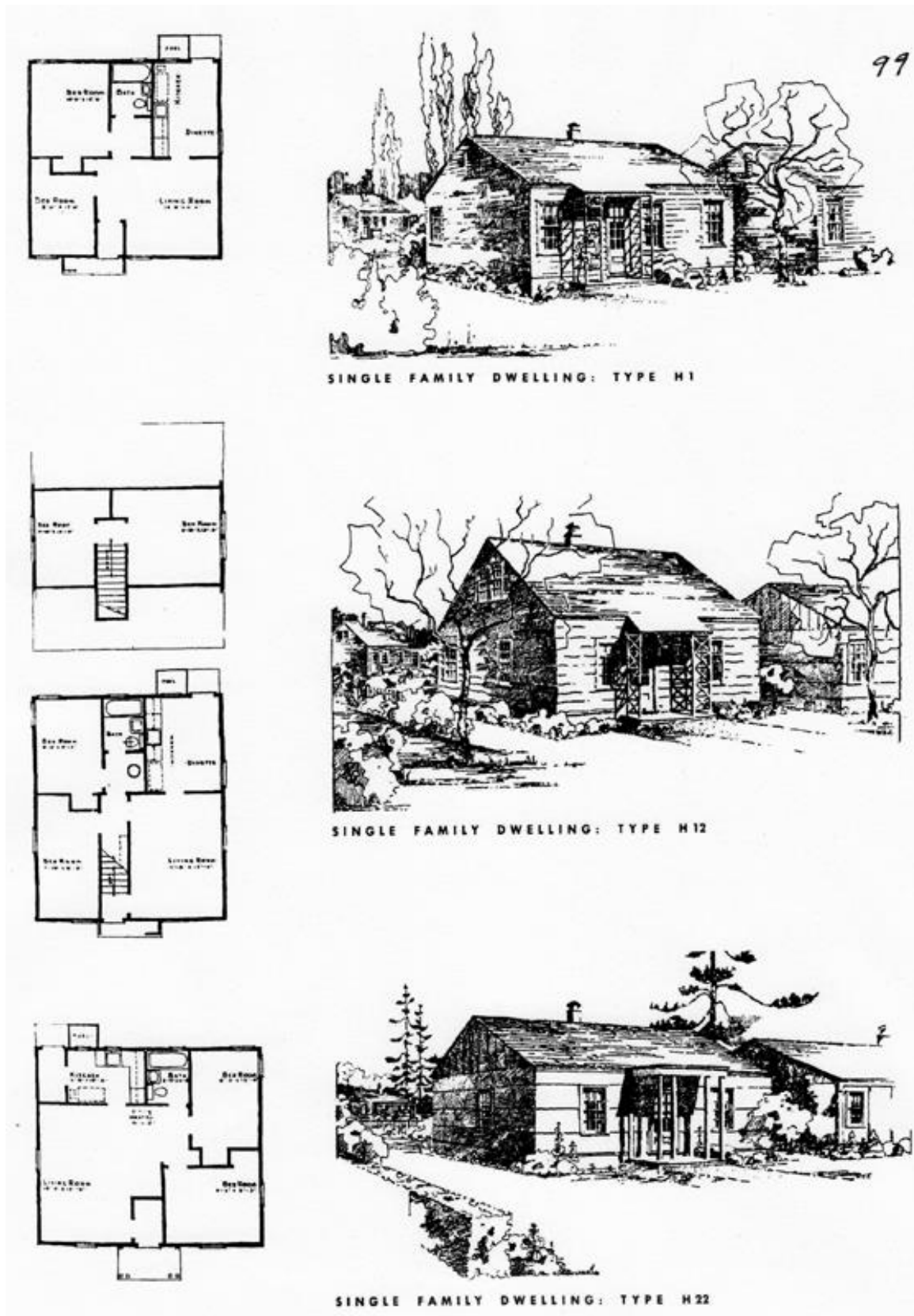


Figure 5: Wartime Housing elevations and floor plan examples (Source: "Wartime Housing Ltd., 1941-1947: Canadian Housing Policy at the Crossroads.")



Figure 6: East and front facades of 3064 Churchill Avenue, 2017. The 6x6 panes type sashes (indicated by arrows) reproduce the original sash type.



Figure 7: West and front facades of 3064 Churchill Avenue, 2017. The front edge of the roof appears to have been elongated to create a deep eave. This may have resulted from the removal of a centre porch and the application of the vinyl siding.



Figure 8: West and rear facades of 3064 Churchill Avenue, 2017. The original window opening on the west may be under the vinyl siding. The two windows at the corner have been added.



Figure 9: Rear facade of 3064 Churchill Avenue, 2017. The rear enclosed entrance has been added.

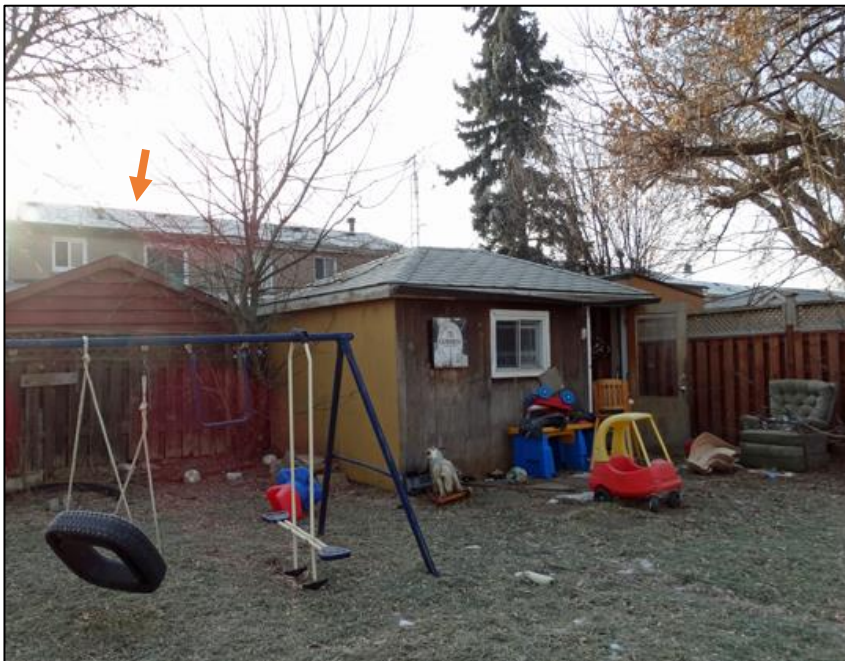


Figure 10: Outbuilding at rear of lot at 3064 Churchill Avenue, 2017. Note the two storey infill structure in the background

6.0 DESIGN OR PHYSICAL VALUE

6.1 DATE OF CONSTRUCTION

It is assumed that construction of the dwellings in Victory Village commenced following the 1942 expropriation of the land and completion of the infrastructure necessary to service the area. The peak period of construction for Wartime Housing Ltd. was 1941 to 1947. Central Mortgage and Housing Corporation was founded in 1946 and continued as its successor. Plan 436, which includes the subject property, was drawn in 1951 and incorporates part of the earlier Plan 316 (shown on Figure 4). On this basis, and theorizing that the dwelling was rented possibly by John and Irene O'Brien before they purchased the property in 1962, the date of construction is estimated as late 1940s/early 1950s.

6.2 STYLE AND FORM

Wartime Housing Ltd. erected economical, partially prefabricated, frame, single and 1.5 storey rental houses. The designs, floor plans, and building materials were standardized. When built, these dwellings were considered by many to be "state of the art" and included window blinds and a large coal or wood burning stove for heating the entire house. They did not have basements. Central Mortgage and Housing Corporation continued this practice and published numbered building plans with limited options (Figure 5) that came with low rate mortgages for veterans. The priority was affordability.

6.3 DESCRIPTION OF 3064 CHURCHILL AVENUE

EXTERIOR

The subject dwelling is a single storey structure with a medium pitched, gable roof. It was built in a rectangular plan with a 3 bay front façade (centre door likely built with a porch or portico; with flanking window openings). The original window sash type was wood, 6x6 panes, double hung, with wood frames. At the peak of each gable on the side walls there is a vertical, narrow slit window that may have been for attic ventilation. The concrete block foundation is a crawl space (not a full basement).

The visible modifications to the as built structure are as follows:

- The exterior clapboard has been overlaid (or replaced) with vinyl siding.
- The vinyl siding on the west (side) and south (rear) facades may be covering original window openings. The installation of the siding made possible the insertion of new window openings.
- The front east window opening has been replaced with a bay window type.

- The wood window sashes and frames have been replaced with metal sashes fitted within new wood surrounds. Some of these sashes replicate the original 6x6 panes, double hung type.
- The vertical, narrow slit window sash in each gable is a replacement metal type.
- The front door is a replacement.
- The side wall fascia is composed of wood boards likely placed over the original boards to accommodate the increased wall thickness after the application of the vinyl siding.
- What was likely a portico/porch surrounding the centre front doorway has been removed.
- A wood deck spanning part of the front façade has been added.
- The roof line may have been elongated to overhang at the front, creating a deep eave.
- The soffits are a replacement metal type.
- An enclosed entryway area has been added at the southeast (rear) corner.
- The central, metal chimney stack services the replacement, forced air furnace.

INTERIOR

For tenant privacy reasons, the photographs of the interior are provided as an Appendix in a separate efile format and are not for general circulation.

The interior likely began as a centre hall plan with rooms (kitchen, living room, two bedrooms, bathroom) along each side of the hall. The common plan was for the centre hall to terminate at the bathroom at the rear of the space (Figure 5). This has been changed and that area enlarged by the addition of the enclosed entranceway at the southeast corner. Figure 11 plots the existing floor plan.

GROUNDS

The rear yard is of sufficient size for a vegetable garden and a play area. Vegetable gardens were an important self sufficiency consideration given the wartime rationing of food and the period of economic rebuilding following the War. The front yard is grassed and has one mature tree, similar to many other examples along Churchill and neighbouring streets. The date of the tree planting is not known. The detached outbuilding at the rear fence is vintage (Figure 10).

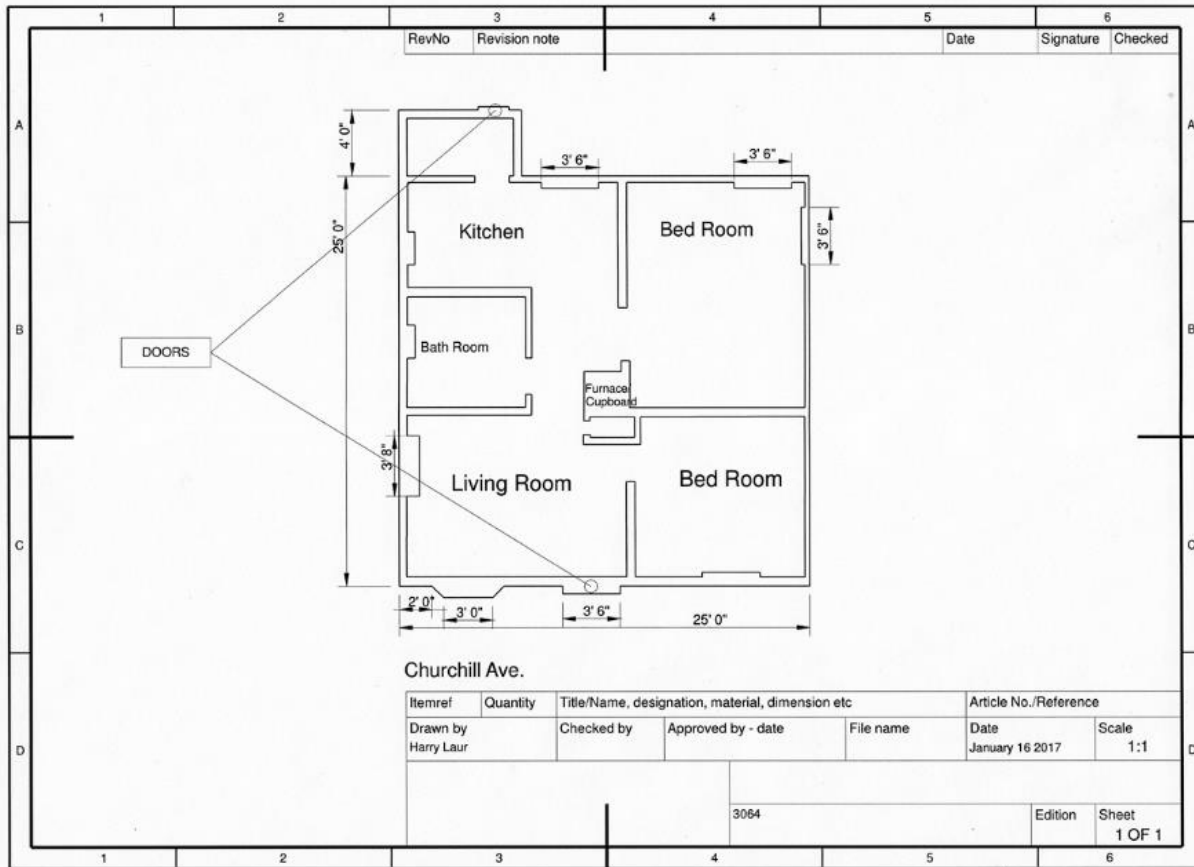


Figure 11: Floor plan, 3064 Churchill Avenue, January 2017

6.4 SUMMARY OF DESIGN OR PHYSICAL VALUE

O. Reg. 9/06

The property has design value or physical value because it,

- i. is a rare, unique, representative or early example of a style, type, expression, material or construction method,
- ii. displays a high degree of craftsmanship or artistic merit, or
- iii. demonstrates a high degree of technical or scientific achievement.

Applying the criteria of O. Reg. 9/06 for design or physical value, given the standardization in the construction of these housing units, no single example could be categorized as “rare” or “unique” unless it diverged from the standard. The exception could be in a community where few units of this type were built or where most have been removed, making the remaining example representative of this mass social housing initiative in that community. This is not the case in Victory Village where the one and 1.5 storey frame structures are prevalent.

None of these units have a “high degree of craftsmanship or artistic merit.” This was not the intent of this housing initiative.

By the 1940s, the technology of building prefabrication was already in practice. As an example, the Pigott Construction Company Ltd. of Hamilton was issued a patent in 1936 for several initiatives including “to devise a construction of frame for the house in which the units may be pre-fabricated, necessitating only comparatively unskilled labour for their erections.”¹³ Wartime housing is considered to be the first government sponsored, large scale initiative involving partially prefabricated units in Canada.

7.0 CONTEXTUAL VALUE

7.1 CHURCHILL AVENUE STREETScape

Both sides of the Churchill Avenue streetscape in the vicinity of No. 3064 have wartime housing type dwellings (Figures 12 and 13). These are one and 1.5 storey, frame structures built using the original roster of standardized plans and materials. Each has been modified since construction and now incorporates a variety of siding types, verandahs, landings, entranceways, windows, basements, and additions using newer materials and technology.

7.2 LOT FRONTAGE AND SETBACK

When wartime housing subdivisions were planned, the average urban lot in Ontario had a 35 ft. frontage. Wartime housing lots average 40 ft. frontages and are 100 ft. deep. Also, the streets are wider than the average city street at that date.

Front yard setbacks were uniform to give continuity to the streetscape. Most were grassed and had flower gardens and a specimen tree. The rear yards had sufficient land for a play area and a vegetable garden. All of these characteristic elements are present in the layout of Plan 436, including 3064 Churchill.

7.3 SUMMARY OF CONTEXTUAL VALUE

O. Reg. 9/06

The property has contextual value because it,

- i. is important in defining, maintaining or supporting the character of an area
- ii. is physically, functionally, visually or historically linked to its surroundings, or
- iii. is a landmark.

Applying the criteria of O. Reg. 9/06 for contextual value, as one among multiple examples of wartime housing that survive in this neighbourhood, the subject property is not individually any more “important in defining, maintaining or supporting the character of an area” than others along Churchill and adjacent streets. It is linked to its surroundings as an original component of this social housing development, as are all the others. The property is not a landmark.



Figure 12: Streetscape Context, 2017

Above: 3064 Churchill Avenue shown in centre; shared driveway on right

Below: 3064 Churchill Avenue on left, looking southwest along Churchill





Figure 13: Streetscape Context, 2017

Above: South side of Churchill Avenue looking east to infill at Victory Crescent

Below: North side of Churchill Avenue opposite No. 3064. The rear of the infill dwelling at 3056 McNaughton Avenue is on the left.



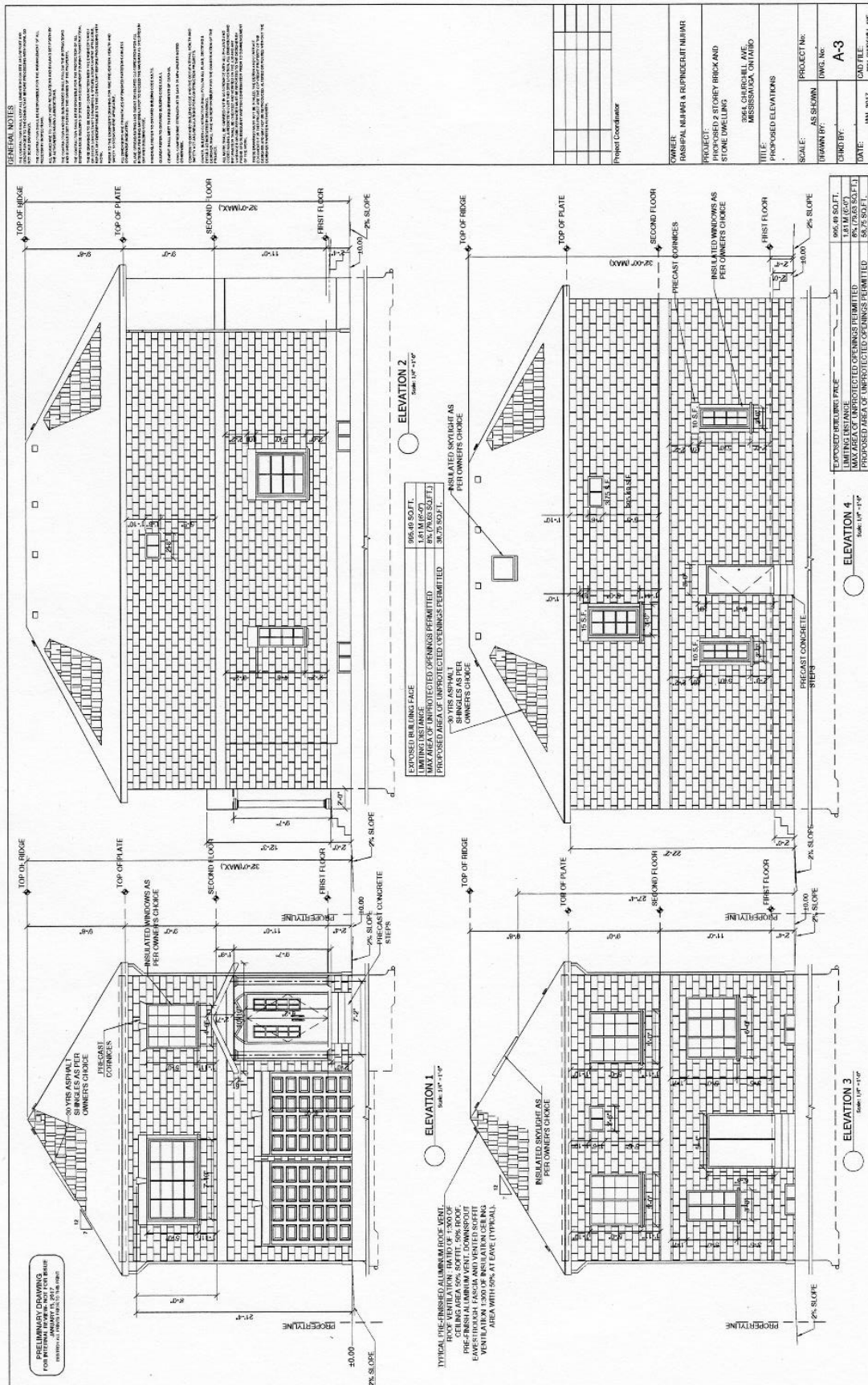


Figure 14: Conceptual Elevations, 2017

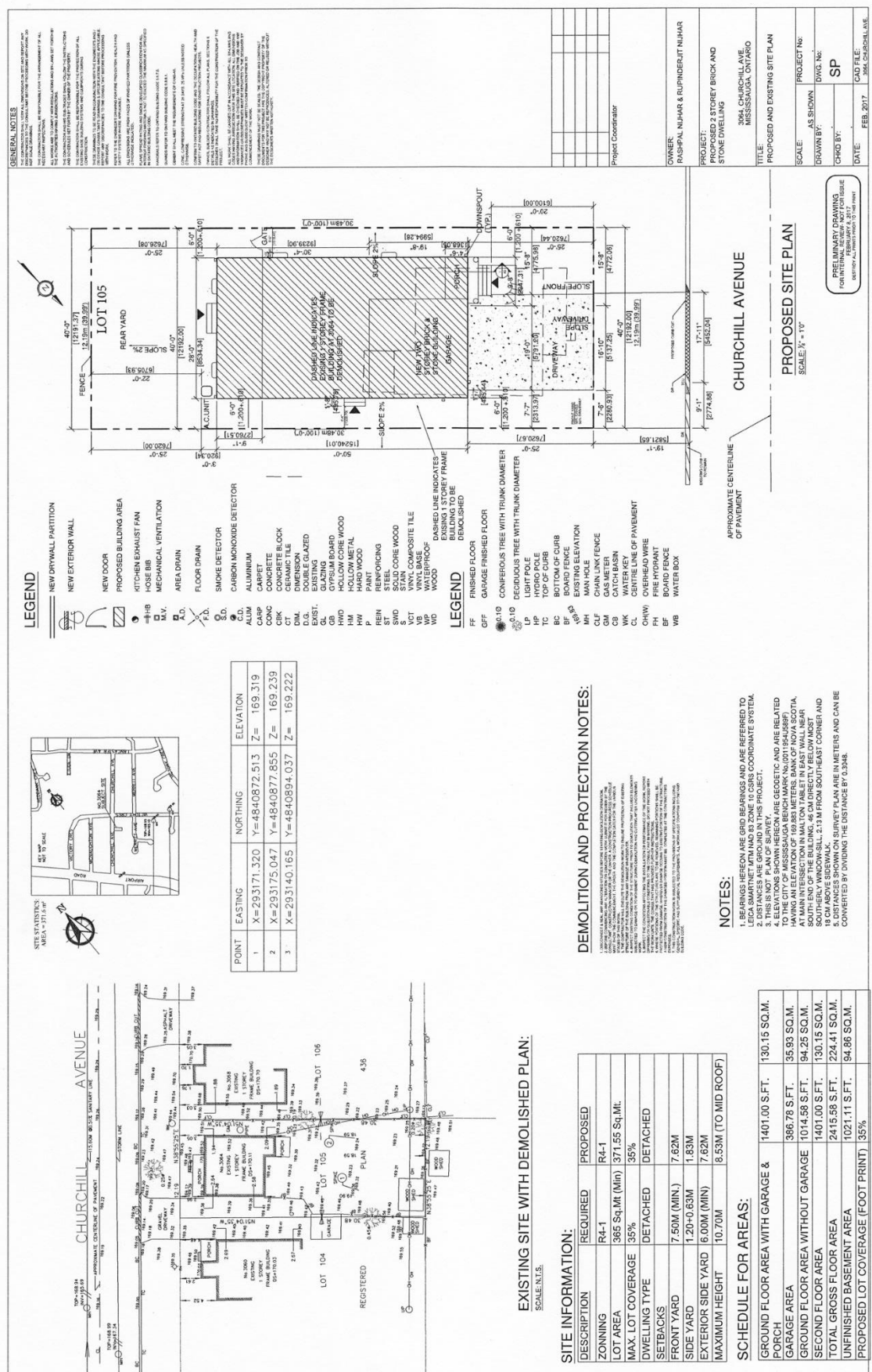


Figure 15: Existing and Proposed Site Plans, 2017



The lot size and setbacks characteristic of wartime housing neighbourhoods are evident in the Plan 436 area and at 3064 Churchill. Continuing these sizes and setbacks is important if the intent of the City is to maintain the character of the area as an older, single family neighbourhood.

8.0 DEVELOPMENT PROPOSAL

The property owners intend to demolish the dwelling and erect a two storey, single family dwelling within the 40 by 100 ft. lot. The conceptual elevations are shown as Figure 14. The existing and proposed site plans are shown as Figure 15. The conceptual streetscape is shown as Figure 16.

If constructed, this dwelling will be the only two storey structure on this stretch of Churchill Avenue. Its height as shown in Figure 16 will be slightly taller than that of the 1.5 storey units on the street, notably 3056 Churchill, two properties to the west (Figure 12, lower image). The proposed dwelling will be the only brick structure within this segment of Churchill. Infill dwellings to the distant east, south, and north as shown in Figures 10, 13, and 14 are also two storey, brick; indicative of the infill trend in this area. The design feature of an integral garage within the front façade, accessed by a driveway, will be new to this segment of the street.

Of importance is that the existing front setback (between the road allowance and the front façade of the dwelling) will be maintained. The side lot setbacks will be slightly reduced. The increased square footage of the proposed dwelling will be accommodated within the rear yard.

9.0 ANALYSIS

Victory Village began as a wartime/postwar, government sponsored, social housing initiative. The large workforce at Malton during and after the Second World War was such that this affordable housing was needed. The housing along Churchill Avenue dates to the 1940s and into the 1950s when the program was at its peak. The standardized and partially prefabricated units in the area are identical to thousands built in hundreds of communities across Canada.

Over time, all of these one and 1.5 storey, frame dwellings have evolved through routine maintenance using replacement products and updated building technology. Entryways have been removed, enclosed, or added, along with basements and modest additions. Wood siding has been replaced with vinyl or metal; wood windows with the same; furnaces installed. This is the normal evolution of a family occupied dwelling. Compared to the as built condition, the loss of historic integrity is evident; but, overall, these structures still can be discerned as wartime/postwar housing.

There are multiple challenges in trying to conserve this area for cultural heritage value or interest reasons. These challenges are legislative as well socioeconomic. There is considerable pressure on this area to build detached, single family dwellings that meet modern expectations and building code standards.

From a legislative perspective, the City has identified this area as the Wartime Housing (Malton) Cultural Heritage Landscape and listed each property on the Register prescribed by s. 27 of the OHA. This listing only triggers the OHA requirement to give notice of an intention to apply to demolish or remove a building or structure from the property. The City has not initiated any further strategy for the management of the area beyond this identification and listing. There are no heritage parameters or design guidelines set for the redevelopment of each property, such as would exist within a Heritage Conservation District designation requiring an HCD Plan under Part V of the OHA. Redevelopment in this area is directed only by general provisions within the Planning Act and by the Ontario Building Code.

In addition, the majority of these dwellings were erected as “temporary” rental units. A later change in government policy led to most being sold into private ownership. It could be argued that some have been kept standing longer than the anticipated performance of the building materials used. Some are now deficient under the Ontario Building Code.

These units are also small in scale, some measuring about 625 square feet in total. This is far short of the permitted minimum in most municipalities for detached, single family dwellings. With 40 x 100 ft. lots, they have a low percentage of lot coverage by modern standards.

The replacement of these units with larger dwellings is inevitable, and already evident to the north, east, and south of the subject property. The City has not indicated what amount of removal and infill can be sustained before the identified significance and character of the area as a cultural heritage landscape is surpassed.

Overall, if a sense of the vintage character of this cultural heritage landscape is to be maintained, it is important to build detached housing not exceeding two storeys. These should retain the 40 ft. frontages with uniform front setbacks. Front yards with some garden plantings and often a specimen tree is what was planned for Victory Village. The proposed dwelling and site plan for 3064 Churchill are within these parameters.

10.0 CONCLUSION AND RECOMMENDATIONS

10.1 CONCLUSION

This property is within a residential neighbourhood identified by the City as the Wartime Housing (Malton) Cultural Heritage Landscape. The City has determined that the “significance” of this cultural heritage landscape “lies in the fact that it retains a number of post-war houses which represent some of the first mass produced housing in the GTA.” This Heritage Impact Statement agrees that the cultural heritage value or interest of this cultural heritage landscape lies in its being a collective of wartime/postwar housing units of similar design, materials, frontages, and setbacks.

The design form of this area is undergoing a transition with the small scale, “wartime” housing units being replaced with two storey, medium scale dwellings. This is happening without any

specific, heritage based parameters or guidelines set by the City to manage redevelopment. The City also has not indicated what amount of removal and infill can be sustained before the identified significance and character of the Wartime Housing (Malton) Cultural Heritage Landscape is surpassed.

It is the conclusion of this Heritage Impact Statement that designating any single property under s. 29 of the OHA will not maintain the overall vintage character of this area, if this is the long range intention of the City. Nothing elevates or sets apart the property or the 1940s/early 1950s dwelling at 3064 Churchill Avenue from any other on the street or in the area. Wartime housing is a well documented initiative. Further measuring or otherwise documenting this dwelling or undertaking the salvage of any materials will not contribute to what is already known of this type of housing. As such, there will be negligible loss of cultural heritage value or interest resulting from the demolition of this dwelling.

Given the absence of any heritage based design parameters set by the City, the proposed redevelopment is acceptable. It continues the traditional use of the land for single family housing and respects the streetscape pattern by maintaining the front yard setback important to the character of the neighbourhood. The proposed dwelling will introduce a new form of two storeys, but will be only slightly taller than the 1.5 storey vintage examples on this segment of the street. The lot coverage will be greater than traditional and the use of brick and an integral garage will be new to this stretch of Churchill Avenue, but not new to the area where other infill exists.

10.2 RECOMMENDATIONS

Based on the findings of this HIS, the following recommendations are made concerning any proposal for the redevelopment of this property:

1. To comply with the provision of the Ontario Heritage Act for a property listed on a municipal Register of heritage properties, the property owners must give the City of Mississauga 60 days notice of the intention to apply for a demolition permit.
2. Permission to demolish the dwelling could be sought without any terms or conditions.
3. Limiting the height to two storeys and maintaining the traditional front setback on Churchill Avenue are important to the historical context and character of this older neighbourhood.
4. Maintaining a front yard with one specimen tree and some landscaping would contribute to the existing character of this neighbourhood.

Disclaimer

Overall professional judgment was exercised in gathering and analyzing the information obtained and in the formulation of the conclusions and recommendations. Like all professional persons rendering advice, the consultant does not act as absolute insurer of the conclusions reached, but is committed to care and competence in reaching those conclusions.

SU MURDOCH, B.A. HIST.**SUMMARY OF HERITAGE CONSULTING CREDENTIALS AND EXPERIENCE**

SU MURDOCH is the principal in SU MURDOCH HISTORICAL CONSULTING.

Founded in 1990, projects have been completed by Su Murdoch Historical Consulting for individual, corporate, and public clients across Ontario. Much of this work has involved the evaluation of the cultural heritage value or interest of properties and preparation of Heritage Impact Statements.

SU MURDOCH is a professional member in good standing of the Canadian Association of Heritage Professionals for 2015.

EDUCATION

Bachelor of Arts (History)
 Certificate in Cultural Landscape Theory and Practice (Willowbank Centre)
 Archival Principles and Administration certification
 Related research skills training

AWARDS AND RECOGNITION

Town of Markham Heritage Award of Excellence
 Ontario Historical Society Fred Landon Award for Best Regional History Publication (*Beautiful Barrie: The City and Its People: An Illustrated History*)
 Ontario Heritage Foundation Community Heritage Achievement Award
 Ontario Historical Society Special Award of Merit
 City of Barrie Heritage Conservation Award

RELEVANT PROJECTS

AVAILABLE ON REQUEST

SOURCES

Abstract of Title and related documents for Lot 105, Plan 436, City of Mississauga. Peel Region Land Registry Office.

Ministry of Tourism, Culture and Sport. *Ontario Heritage Tool-Kit, Heritage Property Evaluation*. Toronto, 2006.

Bacher, John. *Keeping to the Marketplace: The Evolution of Canadian Housing Policy*. McGill/Queen's University Press, 1995.

Denhez, Marc. *The Canadian Home, From Cave to Electronic Cocoon*. Toronto, 1994.

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Canadian Patent (11) CA 355247, Canadian Patent Classification 72/25 issued to Inventors: Percy Merrihew Smith and Franklin Sturgeon Milligan, and Owner: The Pigott Construction Company Limited. Issue date 1936-01-07.

ENDNOTES

¹ Ministry of Tourism, Culture and Sport. *Ontario Heritage Tool-Kit, Heritage Property Evaluation*, p.7.

² City of Mississauga website.

³ Now Pearson International Airport, the area covers 4,428 acres of land.

⁴ The 1942 date for the expropriation is given in several local history accounts and was not further researched for purposes of this HIS.

⁵ Denhez, Marc. *The Canadian Home, From Cave to Electronic Cocoon*, pp. 79-80.

⁶ Denhez, p.92.

⁷ The first plan of subdivision in this area was Plan 316 as delineated within Plan 436 (Figure 4).

⁸ Hicks, Kathleen A. *Malton: Farms to Flying*, pp.138-139. "Shortly after the houses were occupied, the Victory Community Hall was built at the northeast corner of Victory Crescent and Churchill Avenue. It was used for social events for the new community. With the War in progress, it became a popular place for the servicemen to enjoy their leisure time before heading overseas." This structure still stands.

⁹ Hicks, pp.138-139.

¹⁰ Some information on wartime housing is extracted from an online article which references *Keeping to the Marketplace: The Evolution of Canadian Housing Policy* by John Bacher, McGill/Queen's University Press, 1995.

¹¹ The Abstract of Title for Lot 105, Plan 436, incorrectly gives the date as December 10, 1972. The year 1962 is on the document No. 250346VS.

¹² Bacher, as found in online extracts.

¹³ Canadian Patent (11) CA 355247, Canadian Patent Classification 72/25 issued to Inventors: Percy Merrihew Smith and Franklin Sturgeon Milligan, and Owner: The Pigott Construction Company Limited. Issue date 1936-01-07.

City of Mississauga
Corporate Report



Date: 2017/01/19

To: Chair and Members of Heritage Advisory Committee

From: Paul Mitcham, P. Eng, MBA, Commissioner of
 Community Services

Originator's files:

Meeting date:
 2017/02/14

Subject

Removal or reduction of Cultural Landscape Properties from the City's Heritage Register

Recommendation

That the Cultural Landscape Inventory remain status quo, pending completion of Recommendation 6 of the Heritage Management Strategy (2016).

Report Highlights

- This report provides a follow up to the October 24, 2016 Heritage Advisory Committee (HAC) report regarding the removal of properties from the City's Heritage Register
- The Heritage Advisory Committee requested a recommendation of final options as a result of the discussion that ensued at HAC on November 15, 2016
- Staff recommend that a review process is required before properties are removed from the City's Heritage Register
- Both of the final options (leaving the properties on the City's Heritage Register or reviewing properties for removal) would require additional budget and staffing resources that are not currently available

Background

In July 2016, the City's Heritage Advisory Committee made the following recommendation, (HAC-0042-2016) subsequently adopted by Council:

That staff be directed to prepare a report summarizing: the current data on Mississauga's Cultural Landscapes; the "pros and cons" of the process of listing/delisting, and the impact of maintaining the list, but with a focus on the Mineola Neighbourhood.

A report responding to this request, dated October 24, 2016, was provided at the November 15, 2016 Heritage Advisory Committee. It is attached as Appendix 1. Subsequent to the discussion

that occurred as a result of the report, the Heritage Advisory Committee recommended that “Staff provide a review of the options at a future Heritage Advisory Committee meeting.” This report responds to that request.

Heritage Listing

Heritage listing had no legal status when Council adopted the Cultural Landscape Inventory in early 2005. Due to applicable law, currently, building permits may not be issued without clearance from the Heritage Planning unit. Section 7.4.1.12 of the Official Plan allows staff to require a Heritage Impact Assessment for proposals that might adversely affect a cultural heritage resource (both listed and designated). However, if a satisfactory compromise cannot be negotiated, the municipality’s only recourse to an adverse listed property proposal is to designate the property under the *Ontario Heritage Act*.

The *Ontario Heritage Act* provides interim protection for listed properties. It provides a mechanism to prevent the demolition of listed buildings or structures. In terms of this legislation, listing on the City’s heritage register means that any application “to demolish or remove a building or structure on the property” requires 60 days notice to Council. The 60 days is legislated to allow time for Council to consider designating the property under the *Ontario Heritage Act*, which would enable it to prevent demolition.

Cultural Landscape Inventory

The purpose of the Cultural Landscape Inventory was: “to provide a working inventory of the City’s cultural landscapes which will serve as a tool to assess and manage these heritage resources as the community changes and evolves.”

The Cultural Landscape Inventory identified the following:

Cultural Landscapes can be defined as **a setting which has enhanced a community’s vibrancy, aesthetic quality, distinctiveness, sense of history or sense of place.**

Cultural Features can be defined as **visually distinctive objects and unique places within a cultural landscape. They are not necessarily consistent with their immediate natural surroundings, adjacent landscape, adjacent buildings or structures.** These features can include objects, paths, trees, woodlands, viewpoints and may include features such as rail lines, historic highways, and airports.

Criteria were used to select the sites though “the dynamic nature of the database is intended to allow for additions and alterations to these criteria.” The criteria includes the following categories: Landscape Environment, Built Environment, Historical Associations, and Other.

In terms of the *Ontario Heritage Act*, **heritage listing** provides recognition but it **only protects settings, aesthetic quality, distinctiveness, sense of history or place, objects and unique places only insofar as these are expressed in built form** and the only recourse to the removal of such built form is through, again, designation under the *Ontario Heritage Act*.

The Cultural Landscape Inventory includes a wide range of landscapes. As the original Heritage Advisory Committee recommendation requested a focus on the Mineola Neighbourhood, the focus on this report is on the landscapes largely comprised of residential properties. As mentioned in the preceding October 2016 report, a Heritage Conservation District Feasibility Study for Streetsville is noted in the City's unfunded Capital Budget. As such, it is recommended that properties in this area not be considered for removal from the City's Heritage Register. The area covered by the Historic Streetsville Design Guidelines, attached as Appendix 2, is suggested to be maintained on the Register.

Comments

Removal of Properties from the City's Heritage Register

Before any property is removed from the City's Heritage Register, it should be assessed against Regulation 9/06, the criteria for determining cultural heritage value or interest, attached as Appendix 3. Failing that, before a landscape or part of a landscape is removed from the City's Heritage Register, it should be assessed against the criteria that was used to determine that it should be added in the first place. Excerpts from the Cultural Landscape Inventory that demonstrate how the criteria were applied to the landscapes largely comprised of residential properties are attached as Appendix 4.

Because the *Ontario Heritage Act* only provides for the protection of buildings and structures, the criteria assessment could be scoped to consider structural impact. For example, "built environment" was not a criteria for several of the landscapes. However, structures may still play a role in the "historical association." Further analysis is required.

The integrity of the landscapes should also be considered. This might lead to a reduction in certain landscapes. For example, the map, attached as Appendix 5, shows where the demolitions have occurred in Mineola. The demolitions are quite scattered but the map shows that certain areas remain relatively intact.

If cultural landscapes are proposed for removal from the City's heritage register, staff recommend that the removal be effective with sufficient communications to ensure that potential heritage permit applicants are advised before dedicating resources to heritage permit applications.

The key message is that properties should only be removed from the City's Heritage Register upon review. The assessment suggested above would require additional temporary heritage planning staff resources. Maintaining the status quo requires longer term resources.

As such, the options are as follows:

1. That, save for individually listed properties, subject to review against the Cultural Landscape Inventory criteria for listing, scoped to impact to structures, the cultural landscapes largely comprised of residential properties be removed, with a communications plan, from the City's Heritage Register. These would include:
 - War Time Housing (Malton)
 - Mineola Neighbourhood
 - Lorne Park Estates
 - Trelawny Community
 - Erindale Village
 - Credit River Corridor
 - Mississauga Road Scenic Route (except for – due to the upcoming Heritage Conservation District feasibility study – Streetsville properties from Britannia Road to the CPR tracks that are not covered in the Streetsville Core)
 - Creditview Road Scenic Route

This option requires temporary Heritage Planning staff resources in order to implement, which is not budgeted for 2017.

2. That the Cultural Landscape Inventory remain status quo, pending completion of Recommendation 6 of the Heritage Management Strategy (2016). In order for this option to be sustainable, more Heritage Planning staff resources are required to maintain the expected level of service.

The 2016 Heritage Management Strategy recommended a thorough review, as per option 2. Staff concur with this approach. However, the risk is that the current workload will continue to strain existing staff resources. Additional staff resources for 2018 will be necessary in order to keep pace with the current volume of listed applications and the Ontario Heritage Act timelines.

Financial Impact

Both options require more staff resources, which are not currently budgeted. The resources for option 1 – a review against the criteria for listing – are more temporary than those required for option 2.

Conclusion

This report builds upon discussions at the City's Heritage Advisory Committee about the removal or reduction of Cultural Landscape properties from the City's Heritage Register. The two options are to maintain the properties on the City's Heritage Register until further consideration through a comprehensive review or remove the properties largely comprised of residential properties subject to a review and the conditions outlined above. Both options require additional Heritage Planning staff resources. Because the 2016 Heritage Management Strategy recommends a thorough review of the Cultural Landscape Inventory, this is the recommendation of staff.

Attachments

- Appendix 1:** Corporate Report on the Removal or reduction of Cultural Landscape Properties from the City's Heritage Register, October 20, 2016
- Appendix 2:** Map of character areas, Historic Streetsville Design Guidelines, July 2011
- Appendix 3:** Regulation 9/06, Criteria for determining cultural heritage value or interest
- Appendix 4:** Excerpts from the Cultural Landscape Inventory
- Appendix 5:** Map of the Mineola west neighbourhood and surrounding heritage properties indicating house demolitions since 2005.



Paul Mitcham, P. Eng, MBA, Commissioner of Community Services

Prepared by: P. Wubbenhorst, Senior Heritage Coordinator

City of Mississauga Corporate Report



Date: 2016/10/24

To: Chair and Members of Heritage Advisory Committee

From: Paul Mitcham, P. Eng, MBA, Commissioner of
Community Services

Originator's files:

Meeting date:
2016/11/15

Subject

Removal or reduction of Cultural Landscape Properties from the City's Heritage Register

Recommendation

That the report regarding the Removal or reduction of Cultural Landscape Properties from the City's Heritage Register, from the Commissioner of Community Services, dated October 24, 2016, be received.

Report Highlights

- The City adopted a Cultural Landscape Inventory in 2005 and simultaneously added all (approximately 3000) of the impacted properties to the City's Heritage Register
- All of these properties are now subject to review by Heritage Planning staff for any building permit and/or development application
- The process is unmanageable with the current staff compliment and has had little impact in conserving the City's cultural heritage resources
- A revision of the Cultural Landscape Inventory is set for 2018
- In the meantime, options are discussed below for managing the City's large Heritage Register

Background

In July 2016, the City's Heritage Advisory Committee made the following recommendation, (HAC-0042-2016) subsequently adopted by Council:

That staff be directed to prepare a report summarizing the current data on Mississauga's Cultural Landscapes, the pros and cons of the process of listing/delisting, and maintaining of the list, with a focus on the Mineola Neighbourhood.

This report responds to that request.

The City of Mississauga is a leader in identifying cultural landscapes; it was the first municipality in Ontario to propose a Heritage Conservation District and to produce a Cultural Landscape Inventory. (The document is available online at: http://www5.mississauga.ca/pdfs/Cultural_Landscape_Inventory_Jan05.pdf.)

The City adopted the Cultural Landscape Inventory in 2005. Simultaneously, all of the impacted properties were added to the City's Heritage Register, then known as the Heritage Inventory. As per the original Corporate Report, attached as Appendix 1: "The purpose of the Cultural Landscape Inventory is to have it fully integrated into the City's existing Heritage Inventory. [...] As with all property currently listed on the Heritage Inventory, when a development proposal is received, it will be reviewed for cultural heritage resources and appropriate comments will be made toward how the resources may be conserved." It is important to note that listing had no legal status at this time.

The Cultural Landscape Inventory included approximately sixty landscapes, which include large neighbourhoods, streetscapes and the Credit River Corridor. As such, more than 3000 properties were added to the existing 300 individually listed heritage properties. It should be noted that Mississauga's heritage register is one of the largest in the province. As a point of comparison, Toronto has 2498 listed properties versus Mississauga's 3300.

Amendments to the *Ontario Heritage Act* made in April 2005 gave legal status to the Heritage Register and amendments made in June 2006 provided interim protection for listed properties (subsections 27 (3)-(5)). Owners of listed properties must give the council of the municipality at least 60 days notice of their intention to demolish or remove a building or structure on the property. This allows time for the municipality to decide whether to begin the designation process to give long term protection to the property.

The City's 2016 Heritage Management Strategy's sixth recommendation is that the City's Cultural Landscape Inventory and its applicable policies be revised. The eleven year-old inventory needs to be re-assessed based on current Provincial definitions, the integrity of the existing landscapes, consideration of new ones, etc. More importantly, an implementation plan that focuses on planning controls is required. The implementation plan would include consideration of delisting landscapes as well as adding Part IV (individual) and Part V (district) heritage designations where warranted. Capital funding is required for such a project. The Culture Division leadership team has committed to requesting funds in the 2017 business planning process for a 2018 start date.

Present Status

Of the approximately forty heritage permits that Heritage Planning staff process annually, approximately half are redevelopment applications for properties that fall within the cultural landscapes. While some individually listed properties that **also** have cultural landscape status

have been designated under the *Ontario Heritage Act* during this time, **no property** with cultural landscape status only **has been designated under the *Ontario Heritage Act*** to date. Staff recommended one for heritage designation but Council did not uphold the recommendation.

As all demolition applications require a Heritage Impact Assessment, the process has allowed for the documentation of resources subsequently lost. Additionally, to a degree, the Cultural Landscape Inventory has provided some impetus for staff to attempt to mitigate new proposals that are not sympathetic to the character of the cultural landscapes. However, in the absence of coordinated zoning by-laws, and more specific guidelines for the areas, comments cannot be enforced. Likewise, some heritage consultants have advised that cultural landscape status helps them to influence design to be more compatible with surroundings. Simultaneously some heritage consultants have expressed frustration when their advice cannot be enforced.

In addition to managing approximately twenty heritage permits per year as a result of the Cultural Landscape Inventory, as well as corresponding site plan applications, staff also spend considerable time fielding “tire kicking” inquiries from property owners and potential property owners about redevelopment options for heritage properties. As a point of interest, 40% of the Culture Division’s 311 inquiries to date this year are Heritage Planning calls. Additionally, due to applicable law, Heritage Planning staff are flagged on every building permit application that pertains to property listed on the City’s Heritage Register. As such, a considerable amount of staff resources are engaged due to the fact that the Cultural Landscape Inventory is listed on the City’s Heritage Register. Heritage Planning staff review over 2800 applications a year, and that number does not include informal pre-applications.

Heritage listing is an interim tool to protect buildings or structures from demolition or removal without an evaluation against Regulation 9/06, the criteria for determining cultural heritage value or interest. Without the full protection of a heritage designation by-law, heritage listing alone cannot protect the collective physical, associative and contextual cultural heritage character of an area. Over the past decade, the experience has shown **enforceable planning tools are required to preserve the character of these cultural landscapes.**

Comments

Cultural landscapes can be viewed as a precursor to heritage conservation district designation. Interest in heritage conservation district designation needs to stem from impacted property owners in order to be successful. Although staff, Heritage Advisory Committee members and others find merit – on a very preliminary basis – in designating some of these cultural landscapes under the *Ontario Heritage Act*, there has been little if any interest by affected property owners in upgrading any landscape’s heritage listed status to district designation under the *Ontario Heritage Act*.

Streetsville is the exception. A feasibility study for this potential heritage conservation district is noted in the City’s unfunded Capital Budget. It should be noted that staff have had some

success in conserving the character of the Streetsville Core Cultural Landscape as well as the “low stone walls” cultural features.

In summary, the pros and cons of the inclusion of the Cultural Landscape Inventory on the City’s Heritage Register are as follows:

PROS	<ul style="list-style-type: none"> Minimizes risk of properties that merit Part IV heritage designation being demolished
	<ul style="list-style-type: none"> Provides opportunity for heritage staff and consultants to attempt to mitigate proposals that are not sympathetic to the character of the landscape
	<ul style="list-style-type: none"> Documents Mississauga’s property history
	<ul style="list-style-type: none"> Demonstrates City belief in the cultural heritage value of the properties
CONS	<ul style="list-style-type: none"> Diverts the few (2.5) staff resources available from projects that may be more effective in conserving Mississauga’s cultural heritage resources, most notably implementing the Heritage Management Strategy. Additionally, other staff, i.e. Legislative Services, Planning & Building and administrative staff, are also impacted.
	<ul style="list-style-type: none"> Impacts property owner resources due to Heritage Impact Assessment requirement and timelines associated with the production of same as well as the heritage permit process
	<ul style="list-style-type: none"> Creates frustration for many, both internally and externally, as there is a perception that the “listed” status of a property, that is also included in the Cultural Landscape Inventory, authorizes the City to enforce the maintenance of the cultural landscape character.

Mineola Neighbourhood

As the chart attached as Appendix 2 shows, an inordinate amount of building permit and site plan work is attributed to the Mineola Neighborhood and the Mississauga Road Scenic Route cultural landscapes (2013-15). As the Heritage Advisory Committee recommendation suggests, Mineola has been particularly high in the number of heritage permit applications for demolition that have come before the Committee and Council.

Over the years, there have been attempts to mitigate the challenges associated with the high volume of heritage permit applications in the Mineola Cultural Landscape. In 2007 HAC recommended that Planning and Building be requested to examine the feasibility of strengthening planning tools for Mineola. The department found the existing policies, zoning regulations and design guidelines were sufficient. In 2009, HAC member Matthew Wilkinson spearheaded a group, including volunteers and staff photographed all of the properties in the area, for documentary purposes. These photos were subsequently uploaded into MAX, the City’s planning approval process software/database. In 2012, staff investigated the feasibility of streamlining the Heritage Impact Assessment terms of reference but found that it would undermine both the objectives of the Cultural Landscape Inventory and the heritage policies in the official plan.

Options

The estimated timing for the Cultural Landscape Inventory review, as per the recommendation of the Heritage Management Strategy, is a few years away, as noted in the background of this report. Interim measures to address some of the more immediate issues discussed above could be considered. Below are some options. They all have varying degrees of feasibility, risk and resource requirements. They are offered here as a point of discussion.

Please note that any removal of properties from the heritage register would require a transition plan to ensure that applicants that are currently in the process of applying for a heritage permit are treated fairly.

Option #1

Canvas property owners in potential heritage conservation districts to determine level of interest, if any, in designating the area as a heritage conservation district. Consider removing landscapes wherein there is little interest.

Option #2

Remove cultural landscapes from the City's Heritage Register wherein the original objective of the Inventory – to conserve cultural heritage resources – is proving ineffective. Criteria would need to be determined to define “ineffective.” For example, for landscapes wherein built heritage was not a major identifying criteria, our only conservation tool – preventing demolition with heritage designation – would be less effective.

Option #3

Assign Heritage Advisory Committee members in teams of three to conduct half day or day long site visits to each of the cultural landscapes with the most redevelopment pressures – including Mineola, Mississauga Road, Lorne Park Estates, Malton War Time Housing and Erindale Neighbourhood – to conduct a preliminary evaluation against the original Inventory, i.e. the criteria used to identify the landscape originally. If appropriate, recommend reduction of properties from the City's Heritage Register. The focus of this study may be on the potential to designate properties under Part IV of the *Ontario Heritage Act* rather than preserving character.

For all of these options, properties that are individually listed should remain so and, through any survey/study more properties that merit individual listing could be identified.

Some combination of the above options may be most effective. Again, these potential solutions are brought forward as a point of discussion.

Financial Impact

There is no financial impact.

Conclusion

Heritage Planning staff have processed approximately twenty heritage permit demolition applications per year in the City's Cultural Landscapes for over a decade. The only mechanism of preventing demolition is with designation of the property under the *Ontario Heritage Act*. No property with Cultural Landscape listing status only has been designated through this process.

The Inventory needs to be reassessed and, more importantly, an effective Planning implementation plan is required should there be community support. The Culture Division plans to seek funding for such a multi-year project, to begin in 2018. As a point of discussion, options on interim solutions to the challenges associated with the listing of all properties within Cultural Landscapes are included in the report.

Attachments

Appendix 1: Cultural Landscape Inventory – Supplementary Report

Appendix 2: Major Building Permits and Site Plan Applications in Cultural Landscapes, 2013-15



Paul Mitcham, P. Eng, MBA, Commissioner of Community Services

Prepared by: P. Wubbenhorst, Senior Heritage Coordinator



Corporate Report

Clerk's Files

Originator's
Files

HAC

DATE: January 18, 2005

TO: Chairman and Members of the Heritage Advisory Committee
Meeting Date: February 22, 2005

FROM: Paul A. Mitcham, P.Eng., MBA
Commissioner of Community Services

SUBJECT: **Cultural Landscape Inventory – Supplementary Report**

ORIGIN: Community Services Department

BACKGROUND: The Heritage Advisory Committee, at its meeting of November 2003, recommended approval in principle of the initial study on a Cultural Landscape Inventory. (Exhibit 1) In addition it was recommended that a sub-committee be established to review the accuracy of the contents and possible additions or deletions to the Inventory.

At the March 2004 meeting of HAC the sub-committee to review the report was confirmed. The committee made recommendations to staff for improvements to the study which have now been incorporated in the current report. (Exhibit 2)

COMMENTS: Alterations to the report included the elimination of various transportation corridors as landscapes and/or features, greater consideration of the importance of historic and landmark woodlands and trees, as well as the clarification of the definitions of cultural landscapes and cultural features.

The definitions now read:

Cultural Landscapes can be defined as a setting which has enhanced a community's vibrancy, aesthetic quality, distinctiveness, sense of history or sense of place.

Cultural Features can be defined as visually distinctive objects and unique places within a cultural landscape. They are not necessarily consistent with their immediate natural surroundings, adjacent landscape, adjacent buildings or structures. These features can include objects, paths, trees, woodlands, viewpoints and may include features such as rail lines, historic highways, and airports.

The revised report was circulated to the Planning and Building Department and the Transportation and Works Department for a final review. Planning and Building Department comments related to editorial changes which have been incorporated into the study and issues surrounding mapping which will be reviewed through the implementation of the report. Transportation and Works had no comments on the study.

A section has been added to the report which explains the implementation process and integration of the report into the planning process. The purpose of the Cultural Landscape Inventory is to have it fully integrated into the City's existing Heritage Inventory. In this way cultural landscapes will be noted as a type of cultural heritage resource.

As with all property currently listed on the Heritage Inventory, when a development proposal is received, it will be reviewed for cultural heritage resources and appropriate comments will be made toward how the resource may be conserved. The Cultural Landscape Inventory conforms to Section 3.17, Heritage Resources of the Mississauga Plan.

The Cultural and Landscape Inventory will be expanded as both the City and local communities gather more information and analysis about the landscapes within each community. As with all inventories, it is a living document and is expected to change and expand with time.

Staff have found through research and discussion with other municipalities and the Ontario Ministry of Culture that the City of Mississauga is the first municipality in Canada to complete a cultural landscape study and propose its implementation.

CONCLUSION:

In order to enhance our understanding of Mississauga's past and be in a position to better preserve selected cultural heritage resources, a Cultural Landscape Inventory has been prepared.

The purpose of the Inventory is to identify and document cultural landscapes, or geographical areas that will be added to the Heritage Inventory. The addition of landscapes to the existing Heritage Inventory will provide the background for assessing development proposals and ensure that all cultural heritage resources are noted for appropriate evaluation.

RECOMMENDATION:

That the City's Heritage Inventory be expanded to include the Cultural Landscape Inventory, as presented to the Heritage Advisory Committee on February 22, 2005.



Paul A. Mitcham, P.Eng, MBA
Commissioner of Community Services

MW

K:\RECOM\SECTION\GROUP\2005\Planning and Heritage\MW\Cultural Landscapes 2005

Landscape	Permits	%	Site Plan	%
Credit River Corridor	23	6	5	4.2
Creditview Road Scenic Route	16	4.2	1	0.8
Erindale Village Neighbourhood	8	2.1	0	0
Lakefront Promenade	3	0.8	1	0.8
Lorne Park Estates	6	1.6	7	5.9
Low Stone Walls	4	1	1	0.8
Mineola Neighbourhood	82	21	66	55
Civic Centre Precinct	18	4.7	0	0
Mississauga Road Scenic Route	132	35	20	17
Ratray Marsh	1	0.3	0	0
Sheridan Research Park	28	7.3	8	6.7
St. Lawrence Starch	1	0.3	1	0.8
Streetsville Memorial Park	1	0.3	0	0
Streetsville Village Core	36	9.4	9	7.6
Trelawny	7	1.8	0	0
War Time Housing	16	4.2	0	0
TOTAL	382	100	119	100

CHARACTER AREAS

A number of recommendations for site planning, building, and landscape design are appropriate throughout Historic Streetsville.

Page 8

In addition special character areas are identified on the basis of prevailing established built form. These include:

1) Mainstreet Character Area

Page 10

2) Residential Character Areas

Page 16

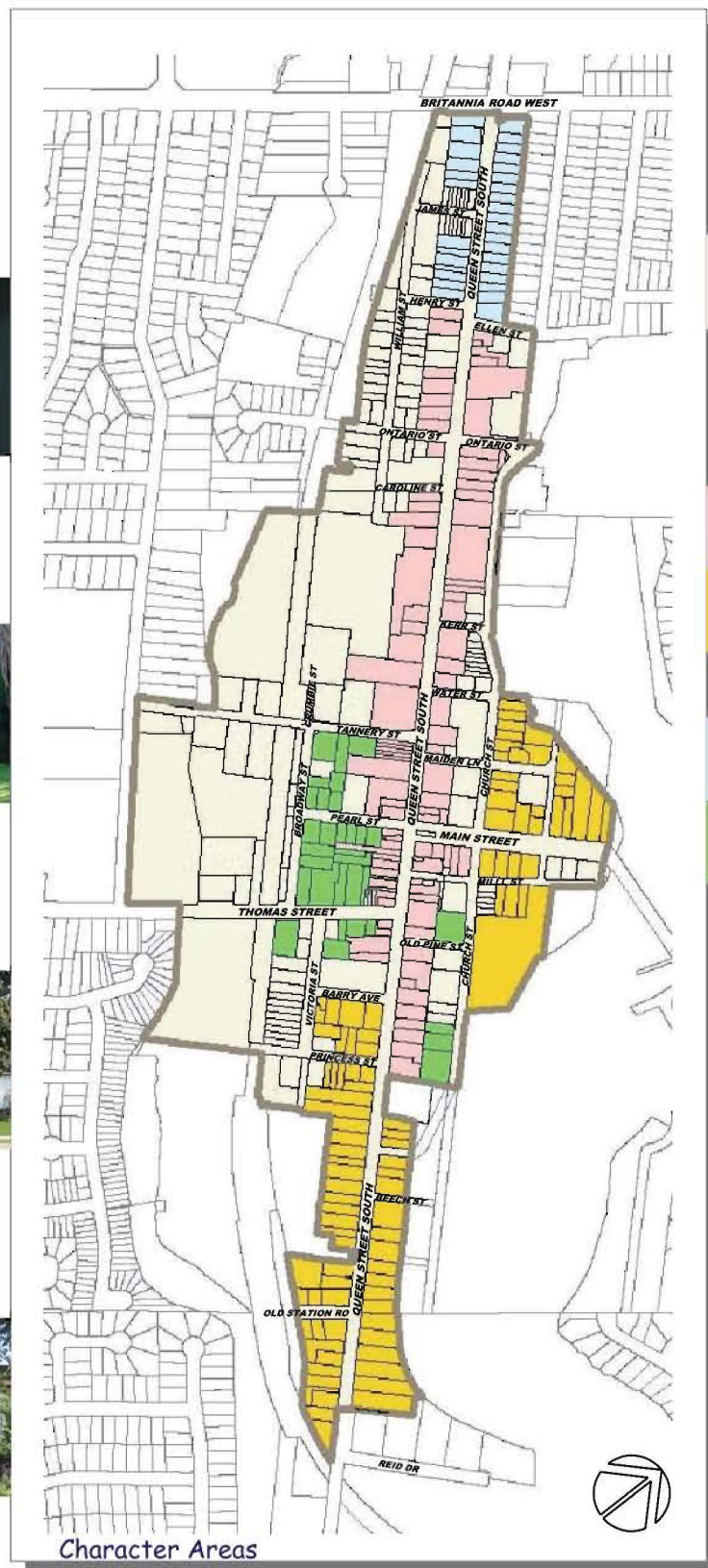
Areas in Transition:

3) Queen Street South from Ellen Street to Britannia Road West

Page 20

4) Areas Adjacent to the Commercial Core

Page 22



Character Areas

1. Mainstreet Character Area
2. Residential Character Areas
- 3-4. Areas in Transition



ServiceOntario

e-Laws

Français**Ontario Heritage Act****ONTARIO REGULATION 9/06****CRITERIA FOR DETERMINING CULTURAL HERITAGE VALUE OR INTEREST****Consolidation Period:** From January 25, 2006 to the e-Laws currency date.

No amendments.

*This is the English version of a bilingual regulation.***Criteria**

1. (1) The criteria set out in subsection (2) are prescribed for the purposes of clause 29 (1) (a) of the Act. O. Reg. 9/06, s. 1 (1).

(2) A property may be designated under section 29 of the Act if it meets one or more of the following criteria for determining whether it is of cultural heritage value or interest:

1. The property has design value or physical value because it,
 - i. is a rare, unique, representative or early example of a style, type, expression, material or construction method,
 - ii. displays a high degree of craftsmanship or artistic merit, or
 - iii. demonstrates a high degree of technical or scientific achievement.
2. The property has historical value or associative value because it,
 - i. has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community,
 - ii. yields, or has the potential to yield, information that contributes to an understanding of a community or culture, or
 - iii. demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.
3. The property has contextual value because it,
 - i. is important in defining, maintaining or supporting the character of an area,
 - ii. is physically, functionally, visually or historically linked to its surroundings, or
 - iii. is a landmark. O. Reg. 9/06, s. 1 (2).



Cultural Landscape Inventory

Credit River Corridor

L-NA-2

Location The River runs north south and transects the City from the Brampton border to the Lake Ontario shoreline.

Heritage or Other Designation None

Landscape Type Natural Area

LANDSCAPE ENVIRONMENT

- ☒ Scenic and Visual Quality
- ☒ Natural Environment
- ☐ Horticultural Interest
- ☒ Landscape Design, Type and Technological Interest

HISTORICAL ASSOCIATION

- ☐ Illustrates Style, Trend or Pattern
- ☒ Direct Association with Important Person or Event
- ☒ Illustrates Important Phase in Mississauga's Social or Physical Development
- ☐ Illustrates Work of Important Designer

BUILT ENVIRONMENT

- ☐ Aesthetic/Visual Quality
- ☐ Consistent Early Environs (pre-World War I)
- ☐ Consistent Scale of Built Features
- ☐ Unique Architectural Features/Buildings
- ☐ Designated Structures

OTHER

- ☒ Historical or Archaeological Interest
- ☒ Outstanding Features/Interest
- ☒ Significant Ecological Interest
- ☐ Landmark Value



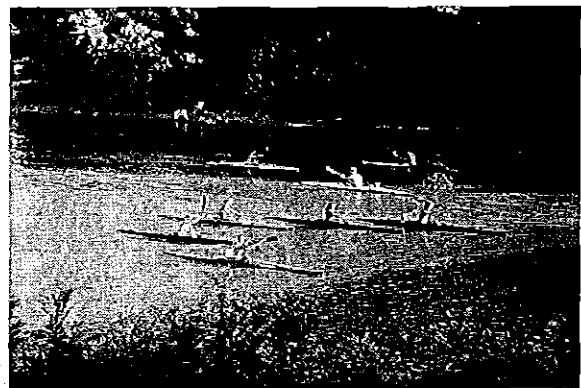
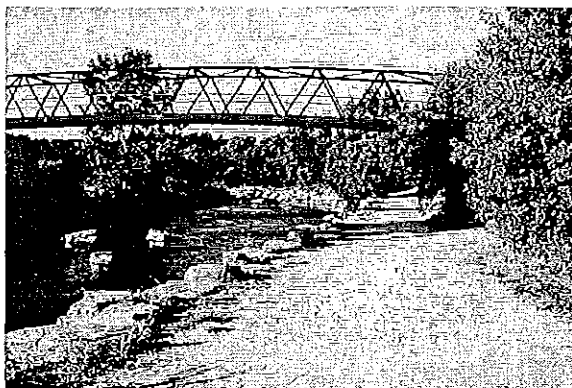


Credit River Corridor

L-NA-2

SITE DESCRIPTION

The Credit River is 58 miles long in total and has a drainage area of 328 square miles. From south of Georgetown to Erindale, the river cuts through the boulder till of the Peel Plain and in some areas exposes the underlying Paleozoic bedrock of shales and sandstones. The River flows through a wide alluvial terrace at Meadowvale where its banks are gentle and tree covered. As it approaches the old Shoreline of glacial Lake Iroquois at Erindale it cuts deeper and deeper into the Peel Plain creating steep valley walls in excess of 75 feet deep. In several locations, such as on the former Bird property north of Burnhamthorpe, intermediate benches were formed as the water levels of the glacial lakes receded. These benches and alluvial terraces provide wonderful natural and recreational settings for trails and other recreational activities. South of the Iroquois shoreline the River cuts through the sands and boulder till of the Iroquois Plain. The last mile of the river is drowned and marshy. The wave action of Lake Ontario continues in its efforts to build a bar across the mouth of the river which is periodically removed by dredging. Despite its size, the River has had significant impact on the settlement of the area. At one time, Erindale had a mill and for a short while a small hydroelectric generating station. At Streetsville, four flour mills operated some of which remain today as modern mills. Two sawmills and a carding mill were built in Meadowvale. The banks of the river continue to be developed for attractive residential neighborhoods, parks and special uses such as the University of Toronto Erindale campus. The river provides the residents of Mississauga with a variety of recreational and educational opportunities. The Credit River Valley is the most significant natural feature remaining in the City of Mississauga. (excerpts from The Physiography of Southern Ontario)





CITY OF MISSISSAUGA

Cultural Landscape Inventory

War Time Housing (Malton)

L-RES-5

Location Located north of Pearson International Airport bounded by Derry Road on the south and Airport Road on the west

Heritage or Other Designation None

Landscape Type Residential (Neighbourhood)

LANDSCAPE ENVIRONMENT

- ☐ Scenic and Visual Quality
- ☐ Natural Environment
- ☐ Horticultural Interest
- ☐ Landscape Design, Type and Technological Interest

HISTORICAL ASSOCIATION

- ☒ Illustrates Style, Trend or Pattern
- ☒ Direct Association with Important Person or Event
- ☒ Illustrates Important Phase in Mississauga's Social or Physical Development
- ☐ Illustrates Work of Important Designer

BUILT ENVIRONMENT

- ☐ Aesthetic/Visual Quality
- ☐ Consistent Early Environs (pre-World War I)
- ☒ Consistent Scale of Built Features
- ☐ Unique Architectural Features/Buildings
- ☐ Designated Structures

OTHER

- ☒ Historical or Archaeological Interest
- ☐ Outstanding Features/Interest
- ☐ Significant Ecological Interest
- ☐ Landmark Value



War Time Housing (Malton)**L-RES-5****SITE DESCRIPTION**

This planned subdivision is located opposite the northeast corner of Pearson International Airport. The neighbourhood is close to where the original Malton Terminal was located and remains close to the present airplane manufacturing and service industry. Although some of the original houses have been altered with newer porches, dormers, raised basements and garages, many retain characteristics typical of the period with 1 to 1 roof pitches, central front doors, picture windowed living rooms to one side, kitchen and eating areas on the opposite side and bedrooms and bathrooms to the rear. According to local sources, one in four of the houses were moved from Bramalea Road when the airport was expanded in 1950. The relocated houses and lots sold for \$2,500.00 each. The street names in the area, including Churchill Avenue and Victory Crescent, act as reminders that this area was developed during the post-war period. Its significance lies in the fact that it retains a number of post-war houses which represent some of the first mass produced housing in the GTA.





CITY OF MISSISSAUGA

Cultural Landscape Inventory

Mineola Neighbourhood

L-RES-6

Location Located north of Lakeshore Road bounded by the Credit River on the west and Hurontario on the east

Heritage or Other Designation None

Landscape Type Residential (Neighbourhood)

LANDSCAPE ENVIRONMENT

- ☒ Scenic and Visual Quality
- ☒ Natural Environment
- ☐ Horticultural Interest
- ☒ Landscape Design, Type and Technological Interest

HISTORICAL ASSOCIATION

- ☒ Illustrates Style, Trend or Pattern
- ☐ Direct Association with Important Person or Event
- ☒ Illustrates Important Phase in Mississauga's Social or Physical Development
- ☐ Illustrates Work of Important Designer

BUILT ENVIRONMENT

- ☒ Aesthetic/Visual Quality
- ☐ Consistent Early Environs (pre-World War I)
- ☒ Consistent Scale of Built Features
- ☐ Unique Architectural Features/Buildings
- ☐ Designated Structures

OTHER

- ☐ Historical or Archaeological Interest
- ☐ Outstanding Features/Interest
- ☒ Significant Ecological Interest
- ☐ Landmark Value

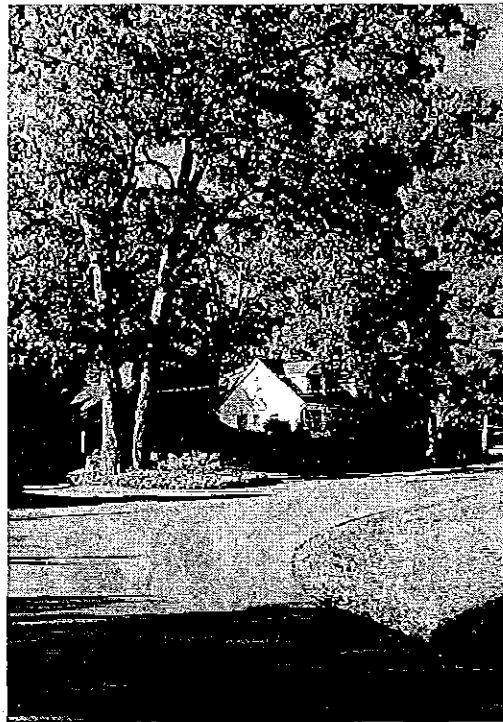
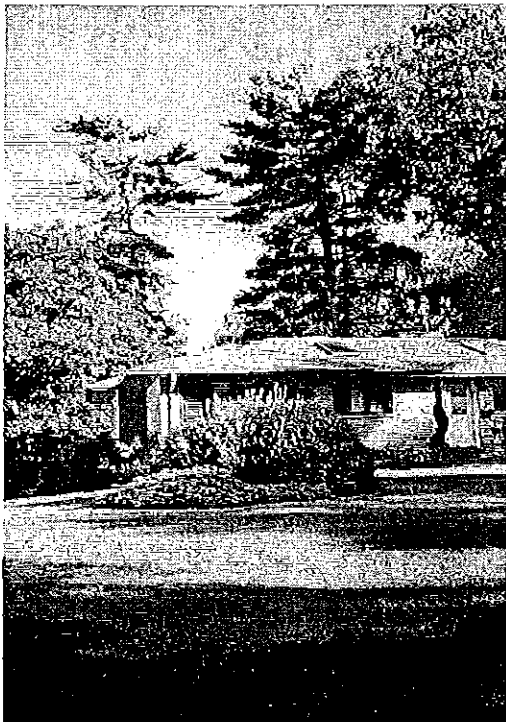


Mineola Neighbourhood

L-RES-6

SITE DESCRIPTION

Mineola was developed before it became standard practice to regrade top soil into large piles in the early twentieth century, level every nuance of natural topography and engineer the complete stormwater drainage system artificially. In Mineola a road system was gently imposed on the natural rolling topography of the Iroquois Plain; homes were nestled into slightly larger lots and natural drainage areas were retained. This provided greater opportunity to save existing trees and because the soils and drainage system were minimally impacted, provided fertile ground for the planting of new vegetation, the natural regeneration of native trees and landscaping of the residential landscapes. What has evolved today is a wonderful neighbourhood with a variety of quality housing stock and a rich stimulating landscape that blends the houses with their natural and manicured surroundings. There are no curbs on the roads which softens the transition between street and front yards. The roads wind, rise and fall with the natural topography and houses sit often at odd angles to take advantage of slopes and the location of large trees. A gradual infilling has increased the density over the years and care must be taken to ensure that this does not, in the end, ruin the very quality and character that makes this neighbourhood so appealing and attractive. Of the many neighbourhoods in Mississauga, the Mineola neighbourhood stands out as one of the most visually interesting and memorable. As is often the case, when new development is balanced with the protection of the natural environment, a truly livable and sustainable community evolves. Mineola is an excellent example of this type of community.





CITY OF MISSISSAUGA

Cultural Landscape Inventory

Lorne Park Estates

L-RES-7

Location Located south of Lakeshore Road at Lorne Park Road

Heritage or Other Designation None

Landscape Type Residential (Neighbourhood)

LANDSCAPE ENVIRONMENT

- ☒ Scenic and Visual Quality
- ☒ Natural Environment
- ☐ Horticultural Interest
- ☒ Landscape Design, Type and Technological Interest

HISTORICAL ASSOCIATION

- ☐ Illustrates Style, Trend or Pattern
- ☐ Direct Association with Important Person or Event
- ☐ Illustrates Important Phase in Mississauga's Social or Physical Development
- ☐ Illustrates Work of Important Designer

BUILT ENVIRONMENT

- ☒ Aesthetic/Visual Quality
- ☐ Consistent Early Environs (pre-World War I)
- ☒ Consistent Scale of Built Features
- ☐ Unique Architectural Features/Buildings
- ☐ Designated Structures

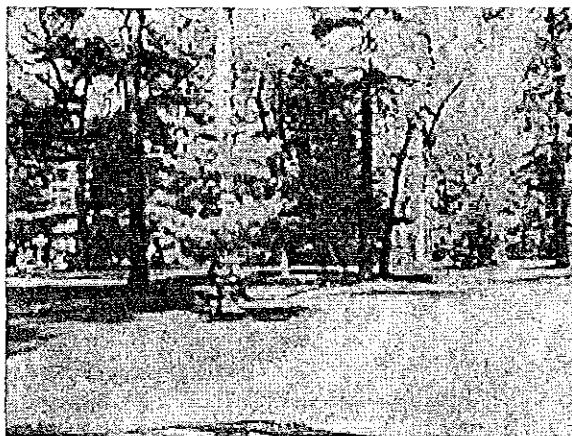
OTHER

- ☐ Historical or Archaeological Interest
- ☐ Outstanding Features/Interest
- ☒ Significant Ecological Interest
- ☐ Landmark Value



**Lorne Park Estates****L-RES-7****SITE DESCRIPTION**

This unique shoreline community combines a low density residential development with the protection and management of an amazing forested community representative in many ways of the pre-settlement shoreline of Lake Ontario. Mature specimens of white pine, red oak, etc. give this residential area a unique visual quality. This cultural landscape is recognized for its wonderful balance between residential development and the protection of a mature forest community. The area was initiated as the 75 acres Lorne Park pleasure resort in 1879. In 1886, the Toronto and Lorne Park Summer Resort Company acquired the property and built summer cottages. In 1999, the last remaining cottage was demolished due to damage from an earlier fire. This neighbourhood remains a privately held community.



**CITY OF MISSISSAUGA****Cultural Landscape Inventory****Trelawny Community****L-RES-8**

Location Located west of Tenth Line and west of the Meadowvale Town Centre

Heritage or Other Designation None

Landscape Type Residential (Neighbourhood)

LANDSCAPE ENVIRONMENT

- ☐ Scenic and Visual Quality
- ☐ Natural Environment
- ☐ Horticultural Interest
- ☒ Landscape Design, Type and Technological Interest

HISTORICAL ASSOCIATION

- ☒ Illustrates Style, Trend or Pattern
- ☐ Direct Association with Important Person or Event
- ☒ Illustrates Important Phase in Mississauga's Social or Physical Development
- ☐ Illustrates Work of Important Designer

BUILT ENVIRONMENT

- ☐ Aesthetic/Visual Quality
- ☐ Consistent Early Environs (pre-World War I)
- ☐ Consistent Scale of Built Features
- ☐ Unique Architectural Features/Buildings
- ☐ Designated Structures

OTHER

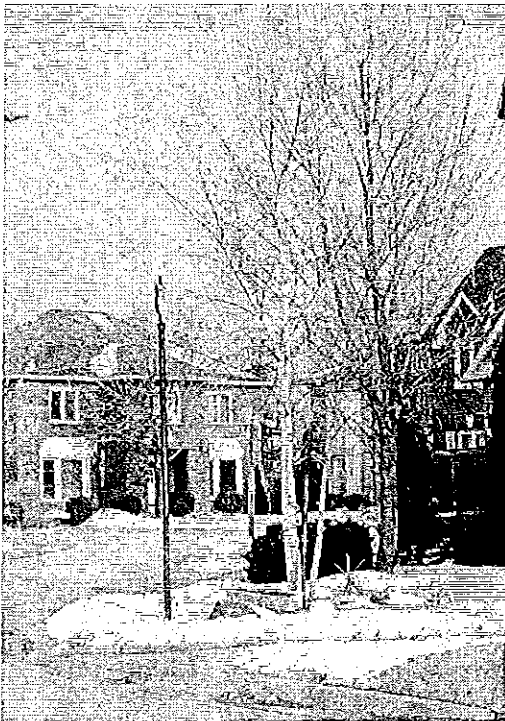
- ☐ Historical or Archaeological Interest
- ☐ Outstanding Features/Interest
- ☐ Significant Ecological Interest
- ☐ Landmark Value





SITE DESCRIPTION

This experimental residential neighbourhood within the larger Meadowvale new town, attempted to break the "spaghetti" mold of curvilinear streets and cul-de-sacs typical of the majority of subdivision development scattered across GTA since 1970. In a unique organization of street pattern created by arterials and hammer-headed housing clusters, this development attempted to increase housing density in a single family home format. The subdivision pattern attempted to minimize the impact of the car by reducing typical road standards and integrating vehicular access more compactly with the layout of drives, garages and smaller scaled access streets. Although it remains to be seen how successfully this community will mature as a residential area, it is recognized as a special cultural landscape for its creative attempt to more compactly integrate vehicular access with the residential component of the neighbourhood and to assist in reducing the sprawl of suburban development into neighbouring rural areas through higher densities.



Erindale Village**L-RES-11**

Location A small enclave south of Dundas and the former Erindale Village and just east of the Credit River

Heritage or Other Designation A number of designated properties

Landscape Type Residential (Neighbourhood)

LANDSCAPE ENVIRONMENT

- ☒ Scenic and Visual Quality
- ☐ Natural Environment
- ☒ Horticultural Interest
- ☐ Landscape Design, Type and Technological Interest

HISTORICAL ASSOCIATION

- ☐ Illustrates Style, Trend or Pattern
- ☐ Direct Association with Important Person or Event
- ☒ Illustrates Important Phase in Mississauga's Social or Physical Development
- ☐ Illustrates Work of Important Designer

BUILT ENVIRONMENT

- ☐ Aesthetic/Visual Quality
- ☐ Consistent Early Environs (pre-World War I)
- ☒ Consistent Scale of Built Features
- ☐ Unique Architectural Features/Buildings
- ☒ Designated Structures

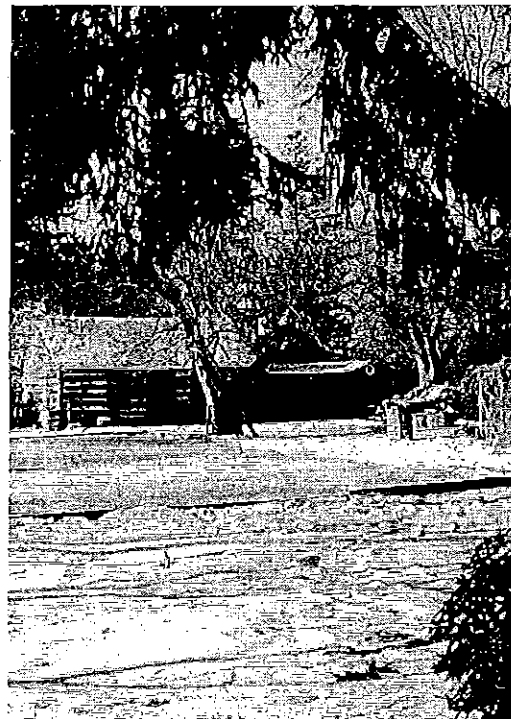
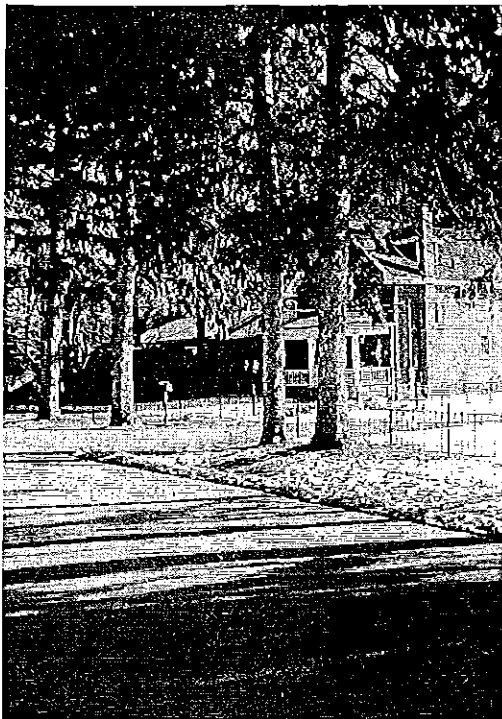
OTHER

- ☒ Historical or Archaeological Interest
- ☐ Outstanding Features/Interest
- ☐ Significant Ecological Interest
- ☐ Landmark Value



Erindale Village**L-RES-11****SITE DESCRIPTION**

This small residential enclave has a wonderful visual appearance and special landscape character defined by mature trees and a common scale of structures. Most prominent are the rows of Norway spruce, remnants of the former agricultural fields, which predate the housing development. The preservation of these trees through the sensitive siting of housing and roads has created a unique and wonderful residential environment similar to other neighbourhoods straddling the Credit River Valley. The street pattern and scattered heritage properties are the remnants of this nineteenth century village.





CITY OF MISSISSAUGA

Cultural Landscape Inventory

Creditview Road Scenic Route

F-TC-3

Location Parallels the Credit River on its east bank

Heritage or Other Designation None

Landscape Type Transportation

LANDSCAPE ENVIRONMENT

- ☒ Scenic and Visual Quality
- ☐ Natural Environment
- ☒ Horticultural Interest
- ☐ Landscape Design, Type and Technological Interest

HISTORICAL ASSOCIATION

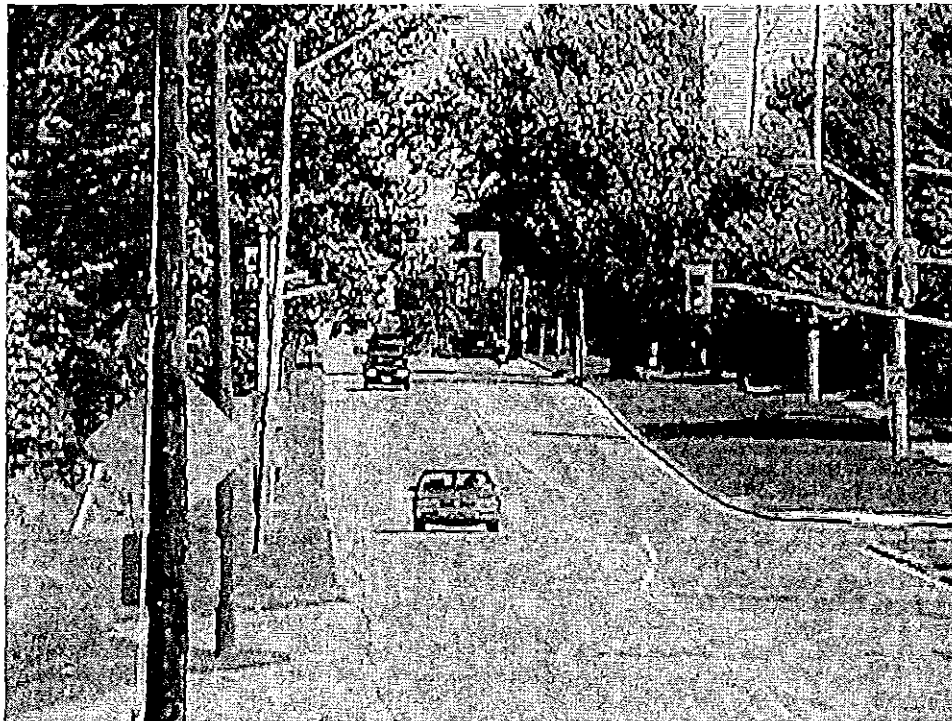
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- ☒ Illustrates Important Phase in Mississauga's Social or Physical Development
- ☐ Illustrates Work of Important Designer

BUILT ENVIRONMENT

- ☐ Aesthetic/Visual Quality
- ☐ Consistent Early Environs (pre-World War I)
- ☐ Consistent Scale of Built Features
- ☐ Unique Architectural Features/Buildings
- ☐ Designated Structures

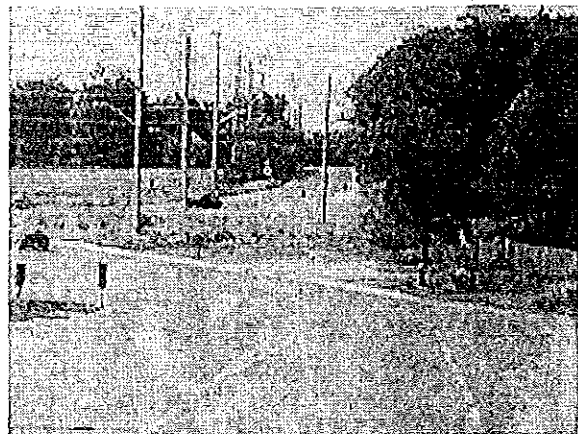
OTHER

- ☐ Historical or Archaeological Interest
- ☐ Outstanding Features/Interest
- ☐ Significant Ecological Interest
- ☐ Landmark Value



Creditview Road Scenic Route**F-TC-3****SITE DESCRIPTION**

Creditview Road scenic route runs along the east side of the Credit River, from Britannia Road to north of the 401. Towards the northern portion of the Creditview Road, it crosses over the Credit River. For the most part, it follows a straight alignment from the southeast to the northwest. The road offers a scenic view of various parts of Mississauga, from recently established commercial and residential neighbourhoods to areas of significant historical, horticultural and scenic interest. An historic hedgerow and view to the Credit River south of Highway 401 make this a scenic view of note.





CITY OF MISSISSAUGA

Cultural Landscape Inventory

Mississauga Road Scenic Route

F-TC-4

Location Parallels the Credit River on its west bank

Heritage or Other Designation Scenic Road

Landscape Type Transportation

LANDSCAPE ENVIRONMENT

- ☒ Scenic and Visual Quality
- ☐ Natural Environment
- ☒ Horticultural Interest
- ☒ Landscape Design, Type and Technological Interest

HISTORICAL ASSOCIATION

- ☒ Illustrates Style, Trend or Pattern
- ☐ Direct Association with Important Person or Event
- ☒ Illustrates Important Phase in Mississauga's Social or Physical Development
- ☐ Illustrates Work of Important Designer

BUILT ENVIRONMENT

- ☐ Aesthetic/Visual Quality
- ☐ Consistent Early Environs (pre-World War I)
- ☒ Consistent Scale of Built Features
- ☐ Unique Architectural Features/Buildings
- ☐ Designated Structures

OTHER

- ☒ Historical or Archaeological Interest
- ☐ Outstanding Features/Interest
- ☐ Significant Ecological Interest
- ☐ Landmark Value



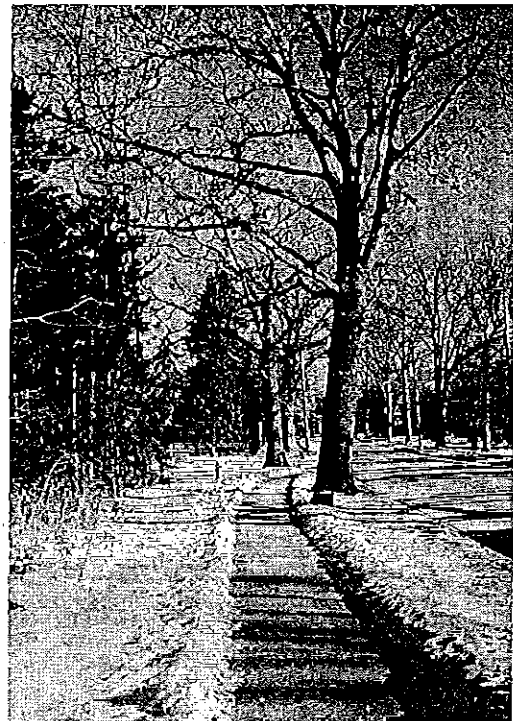
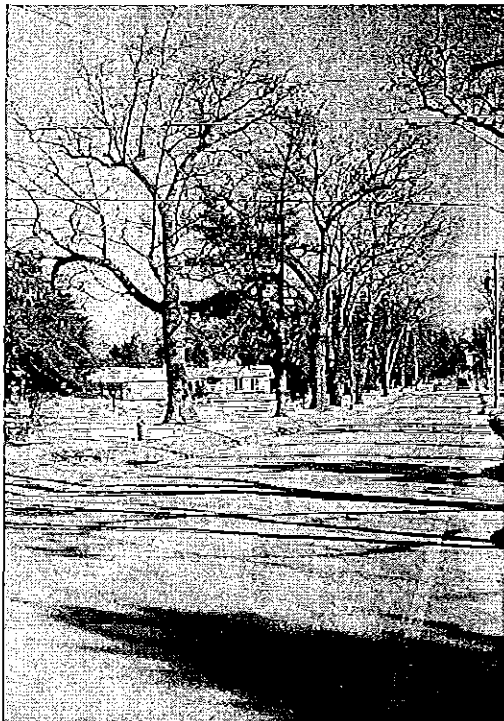


Mississauga Road Scenic Route

F-TC-4

SITE DESCRIPTION

Mississauga Road is one of the oldest roads in Mississauga. Its alignment varies from being part of the normal road grid in the north to a curvilinear alignment in the south following the top of bank of the Credit River. The scenic quality of the road is notable because it traverses a variety of topography and varying land use from old established residential neighbourhoods to new industrial and commercial areas. From Streetsville south the boulevards and adjacent landscapes are home to some of the oldest and most spectacular trees in the City. It is acknowledged as an important cultural landscape because of its role as a pioneer road and its scenic interest and quality.



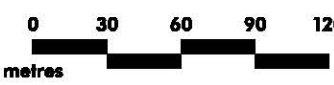
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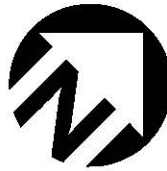
HERITAGE PROPERTIES WITH DEMOLITION PERMITS SINCE 2005

 STUDY AREA

PROPERTIES IN STUDY AREA = 893
PROPERTIES WITH PERMITS = 99



DRAFT



MISSISSAUGA

Produced by
T&W, Geomatics

2016/12/12

apasha

City of Mississauga
Memorandum



Date: 2017/03/28

To: Chair and Members of Heritage Advisory Committee

From: Stephanie Smith, Legislative Coordinator

Meeting Date: 2017/04/11

Subject: 2017 Ontario Heritage Conference – June 8 - 10, 2017

This year, the 2017 Ontario Heritage Conference is being held in Ottawa from June 8 – 10, 2017. Approval for the funding of the conference will be required by the Heritage Advisory Committee to cover approximately \$300 for registration fees, approximately \$200 for mileage costs, approximately \$450 for accommodation, and \$225 per diem costs (\$75 per day), for an approximate total of \$1,175.00.

The expenditure will subsequently require approval by General Committee and adoption by Council.

Attachments

Appendix: 1 – Conference Announcement

Stephanie Smith
Legislative Coordinator
Office of the City Clerk



Ontario Heritage Conference
June 8-10, 2017
Ottawa

2017 Ontario Heritage Conference Registration Now Open!

To view our program go to

www.ontarioheritageconference.ca

[**REGISTER NOW!**](#)



Early Bird Rate

until May 8, 2017

Accommodation

To get more information
about our main venue
and book your room [click
here](#)

VIA Rail Discount

To view our VIA Rail
discount and make your
reservation [click here](#)

City of Mississauga
Memorandum



Date: 2017/03/28

To: Chair and Members of Heritage Advisory Committee

From: Stephanie Smith, Legislative Coordinator

Meeting Date: 2017/04/11

Subject: 2017 Membership Renewal Form

That the Heritage Advisory Committee approve the \$75.00 cost for the 2017 membership subscription for Community Heritage Ontario and that the \$75.00 cost be funded from the 2017 Heritage Advisory Committee budget.

Stephanie Smith
Legislative Coordinator
Office of the City Clerk

Set an example with City's own properties	Public are aware of the <u>value</u> of heritage	Knowledgeable Committee Members	Identify opportunities for interpretation	Spend time on "HIGH VALUE WORK" to increase designations	Engage sponsors and partners to celebrate heritage	Have the "RIGHT" Resources to meet expanded role of heritage	City vision & Heritage vision well aligned	Support Implementation of Heritage Strategy	Advice/Support Council on effective use of tools to protect and preserve Heritage
Proactive Plan (specific objectives + results) in general + for City owned heritage properties	Public Awareness/ engagement re: our heritages in a "New" City	Enhance training and education of HAC members	Interpret heritage – walks, publications, panels, sidewalk embedments, newsletter content, etc.	Establish HCDs in our historic village areas	Partner with historical societies and Heritage Mississauga (Research, interpreting heritage at a neighbourhood level)	Heritage restoration + maintenance expert for City properties + to aid public	Strong support of Council and other departments	Ensure that the heritage strategy is progressing (regular updates/reports)	More funding to preserve buildings for private and City owned
Participate in review of City-owned heritage property	Elevate Public Awareness	Continuous learning of applicable legislation i.e. Criteria 9/06	Championing an interpretation strategy ("TELL THE STORY") Heritage As an Outdoor Museum	Increase designations	Become more aware of existing programs by other organisations and seek to support, integrate	Increase heritage staff	Educate Council – want Council to internalize support	Adopt THOM	Encourage TAX incentives through Council
	More content for website	Prepare for HAC meetings ahead of time		Initiate/Proactive Research & Property Documentation	Collaboration between BIAs, historical societies, HAC, Heritage Mississauga	Lobby Council for increased staff assistance	Better connecting the heritage vision to overall City vision		More effective enforcement to discourage "accidents," "neglect"
	Public Awareness Initiatives – promotions/ newsletter web			Study potential for new HCDs		Sufficient staff for expanded heritage roles (HCDs, Designations, Engagement)	Heritage is part of fabric of how we design and build City		
	Better understanding of <u>\$ value</u> , well-being value, etc. (VALUE) of heritage for the City			Set priorities for cultural landscapes					
	Champion adaptive re-use of idle heritage properties (host an annual think tank for ideas – public involved)			Eliminate busy-work (cultural districts/ Mineola) in order to focus on properties to be preserved/ designated					

Identify opportunities to align our vision to Council's and Community (Cameron)	Identify what we want to learn and actively educate ourselves (Mike, Mathew, Rick, Bob, Jim)	Research and identify innovative practices that we could apply (David, Rick)	Identify and reach out to Community Partners (Beth, David, Bob)	Identify and support specific community heritage initiatives (Rick, Jim)
Adopt a Councillor (or 2) to enhance their knowledge/ support of heritage	Hold a community heritage local knowledge exchange event for HAC members	Promote design longevity	Annual conference with other heritage organisations to share common interests	Increase funding for Grant Program (vote for it)
Establish objectives and report on progress to Council annually	Educate ourselves, bring expertise to us	Think-tank re: adaptive re-use of idle heritage properties	Participate in community meetings with BIAs and community interest groups	Work on budget obstacles re: staffing, grants, City-owned properties
Support re-assessment of Cultural Landscape Inventory	Apply heritage process consistently	Improved by-laws/ tools for derelict heritage properties – advocate for and/ or research	Initiate contacts with outside community partners – inform and collaborate	
Encourage public awareness discussions to keep Mississauga residents informed; Make deputations to Council to make them aware of concerns	HAC members to produce training, learning plan (Guest Speakers)	Identify issues, landmarks with help of City staff	Work more closely with or present to ratepayers, BIAs, historic societies and Real Estate Board	
Members to examine City policy to identify where resources are required to support policy (good policy should be enforced)	Get involved in your community	Need access to broader resources and data	Find opportunities for engagement with the public	
Encourage and provide opportunity for each HAC member to speak at each meeting	Ensure other departments accountable to heritage connect to HAC (Property Standards, Official Plan, Marketing/ By-law, etc.)	Review heritage initiatives in other communities/ jurisdictions	Subcommittee of HAC to develop expertise re: HCDs and connect with local residence associations	
	Find opportunities for continuous learning	Find new ways of heritage interpretation and expression	HAC members to engage residence associations to identify and prioritize interpretive plaques	
	Visit properties prior to HAC meetings when needed		HAC member on MHF board and/ or annual joint meeting	
	Get out there and physically see issues		Define role of HAC members to have consistent message in community	
	Participate in community meetings re: City planning initiatives (Dundas Corridor)		Public Awareness: bi-annual heritage newsletter	
			HAC members to submit material, relating to heritage issues, to cultural website, e.g. status of Britannia Farm Redevelopment	

City of Mississauga Memorandum



Date: 2017/03/16
To: Chair and Members of Heritage Advisory Committee
From: P. Wubbenhorst, Senior Heritage Coordinator
Meeting Date: 2017/04/11
Subject: Demolition of 2000 Stavebank Road

This memorandum and its attachment are presented for HAC's information only.

The subject property is registered under Section 27 of the Ontario Heritage Act as part of the Credit River Corridor Cultural Landscape. As such, a heritage permit is typically required for demolition, the application for which includes 60 days notice and a completed heritage impact assessment.

The property is adjacent to the Credit River bridge and will be impacted by the Credit River bridge and pedestrian crossing undertaking. The Ministry of Transportation owns the property.

"Provincially owned heritage properties are exempt from the provisions of Part IV of the Act, including the requirement to provide notice of intention to demolish or remove a building or structure on the property. Provincially owned properties are not subject to designation by municipalities. Provincially owned heritage properties are protected under Part III.1 of the Ontario Heritage Act..." (Ministry Info Sheet on the Municipal Register of Heritage Properties, Fall 2016).

As such, the attached Cultural Heritage Evaluation Report is included for information only rather than as a request to demolish.

Attachments

Appendix 1: Cultural Heritage Evaluation Report

Appendix 2: Ministry Info Sheet

Prepared by: P. Wubbenhorst, Senior Heritage Coordinator

Heritage Advisory Committee	9.2-2	Enter memo date.	2
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**CULTURAL HERITAGE EVALUATION
BUILT HERITAGE RESOURCES AND CULTURAL HERITAGE LANDSCAPES**

**2000 STAVEBANK ROAD
ASSIGNMENT NUMBER 2014-E-0021-009**

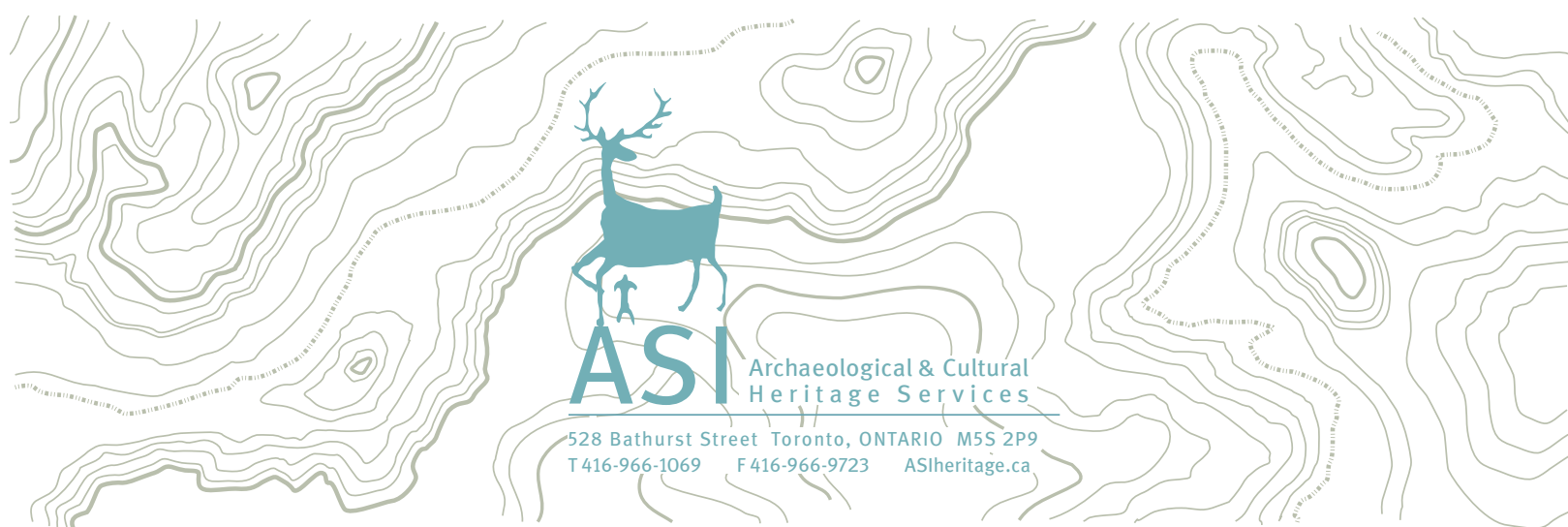
**CITY OF MISSISSAUGA,
REGIONAL MUNICIPALITY OF PEEL, ONTARIO**

Prepared for:

Ministry of Transportation
1201 Wilson Ave
Downsview, ON, M3M 1J8
tel: 416.235.5647,
fax: 416.235.3446

ASI File: 17EA-007

February 2017



**CULTURAL HERITAGE EVALUATION
BUILT HERITAGE RESOURCES AND CULTURAL HERITAGE LANDSCAPES**

**2000 STAVEBANK ROAD
ASSIGNMENT NUMBER 2014-E-0021-009**

**CITY OF MISSISSAUGA,
REGIONAL MUNICIPALITY OF PEEL, ONTARIO**

EXECUTIVE SUMMARY

ASI was contracted by the Ministry of Transportation (MTO) to complete a Cultural Heritage Evaluation Report (CHER) for the property at 2000 Stavebank Road, Mississauga, as a part of the improvements related to the Credit River bridge project. The subject property is located adjacent to the Queen Elizabeth Way (QEW) in the City of Mississauga, Regional Municipality of Peel, Ontario.

Background historical research, field survey activities, and site analysis were undertaken to evaluate the property's cultural heritage value. Based on the results of these activities, the property at 2000 Stavebank Road in the City of Mississauga was not determined to have local heritage value following the application of Ontario Regulation 9/06 of the *Ontario Heritage Act*. Application of Ontario Regulation 10/06 confirmed that the subject property was not determined to have provincial significance at this time.

The subject cultural heritage resource located at 2000 Stavebank Road is expected to be impacted by the improvements to the Credit River Bridge. The improvement project is expected to fully remove the dwelling at 2000 Stavebank Road and introduce physical, visual, audible, and atmospheric elements that are not in keeping with the setting of the property. As a result, the following recommendations have been made based on the determined heritage values of the resource and in consideration of overall impacts to the property:

1. To ensure that the structure does not succumb to vandalism, premature decay, and/or arson, the following measures should be undertaken immediately to mitigate negative impacts upon vacancy:
 - a) Examine the interior of the building for evidence of animals and/or insects. If detected, seal off access to the structure and exterminate if necessary;
 - b) Protect the exterior from moisture penetration. As such, roofing materials, foundation, and window treatments should be examined by a qualified contractor in this regard, if excess moisture is entering the structure;
 - c) All main floor windows and entrance ways should be boarded up and securely locked;
 - d) Exterior doors should be reinforced with full, non-removal locking mechanisms;
 - e) Ensure that adequate ventilation to the interior is maintained. A mechanical



engineer should be consulted to ensure that a suitable interior climate is achieved;
and

- f) It is recommended that the property be visited on a regular basis.
2. This report should be submitted to the City of Mississauga's Heritage Advisory Committee for review and comment, and subsequently filed and archived at the City.

PROJECT PERSONNEL

<i>Senior Project Manager</i>	Annie Veilleux, MA Cultural Heritage Specialist Manager, Cultural Heritage Division
<i>Project Manager:</i>	Joel Konrad, PhD Cultural Heritage Specialist
<i>Cultural Heritage Specialist:</i>	Annie Veilleux
<i>Cultural Heritage Assistants:</i>	Andrew Clish, BES Senior Archaeologist John Sleath, MA Cultural Heritage Assistant
<i>Project Coordinator:</i>	Sarah Jagelewski, Hon. BA Staff Archaeologist Assistant Manager, Environmental Assessment Division
<i>Project Administrator:</i>	Carol Bella, Hon. BA Research Archaeologist Administrative Assistant
<i>Report Preparation:</i>	Joel Konrad Annie Veilleux
<i>Graphics Preparation:</i>	Jonas Fernandez, MSc Geomatics Specialist
<i>Report Reviewer:</i>	Katherine Hull, PhD Partner Director, Cultural Heritage Division

TABLE OF CONTENTS

PROJECT PERSONNEL	iv
TABLE OF CONTENTS	v
1.0 INTRODUCTION	1
2.0 CONTEXT AND METHODOLOGY	2
2.1 Provincial Policy Framework.....	2
2.2 Cultural Heritage Glossary of Terms	3
2.3 Cultural Heritage Evaluation Report	4
2.4 Municipal Consultation and Recognition	5
3.0 HISTORICAL CONTEXT.....	5
3.1 Introduction.....	5
3.3 Land Use History.....	7
3.3.1 1854-1865	7
3.3.2 1866-1891	9
3.3.3 1906-Present	11
3.3.4 Land Use Summary History	15
4.0 EXISTING CONDITIONS	15
4.1 Architectural Features	16
4.1.1 Residence: Exterior Description	16
4.1.2 Residence: Interior Description	16
4.1.3 Outbuilding Description.....	17
4.2 Context and Landscape Features.....	17
5.0 HERITAGE EVALUATION OF 2000 Stavebank Road	18
5.1 Comparative Context of Residence Development in Mississauga	18
5.2 Application of Regulations 9/06 and 10/06.....	18
6.0 CONCLUSIONS	21
7.0 RECOMMENDATIONS	21
8.0 REFERENCES	23
APPENDIX A: PHOTOGRAPHIC PLATES	26

LIST OF FIGURES

Figure 1: Location of the subject property in the City of Mississauga, Peel Region.....	1
Figure 2: Approximate location of the subject property on the 1859 Tremaine's Map of the County of Peel	8
Figure 3: Approximate location of the subject property in Toronto Township, Peel County, in 1877	10
Figure 4: Approximate location of the subject property in Toronto Township, County of Peel, 1909	12
Figure 5: Approximate location of the subject property in Toronto Township, County of Peel, 1931	13
Figure 6: General location of the subject property in Toronto Township, Peel County, 1954	13
Figure 7: General location of the subject property in the City of Mississauga, Regional Municipality of Peel, 1994	14
Figure 8: Detail of the expropriation plan for the subject property (Part 2) in 2014.	14

LIST OF TABLES

Table 1: Evaluation of 2000 Stavebank Road using <i>Ontario Heritage Act</i> Regulation 9/06	18
Table 2: Evaluation of 2000 Stavebank Road using <i>Ontario Heritage Act</i> Regulation 10/06	19

1.0 INTRODUCTION

ASI was contracted by the Ministry of Transportation to complete a Cultural Heritage Evaluation Report (CHER) for the property at 2000 Stavebank Road, Mississauga, as a part of the improvements related to the Credit River bridge project. The subject property is located adjacent to the Queen Elizabeth Way (QEW) in the City of Mississauga, Regional Municipality of Peel, Ontario (Figure 1). Due to the original land surveys conducted in relation to Lake Ontario, the roads adjacent to the subject property are not oriented according to cardinal directions. For the purposes of this report, Stavebank Road is described as having an east-west orientation, while the QEW is described as having a north-south orientation adjacent to the study area.

2000 Stavebank Road is listed on the City of Mississauga Heritage Register and located within the Credit River Corridor Cultural Landscape. As the residence will be subject to displacement due to the approved right-of-way, the completion of a CHER is required.

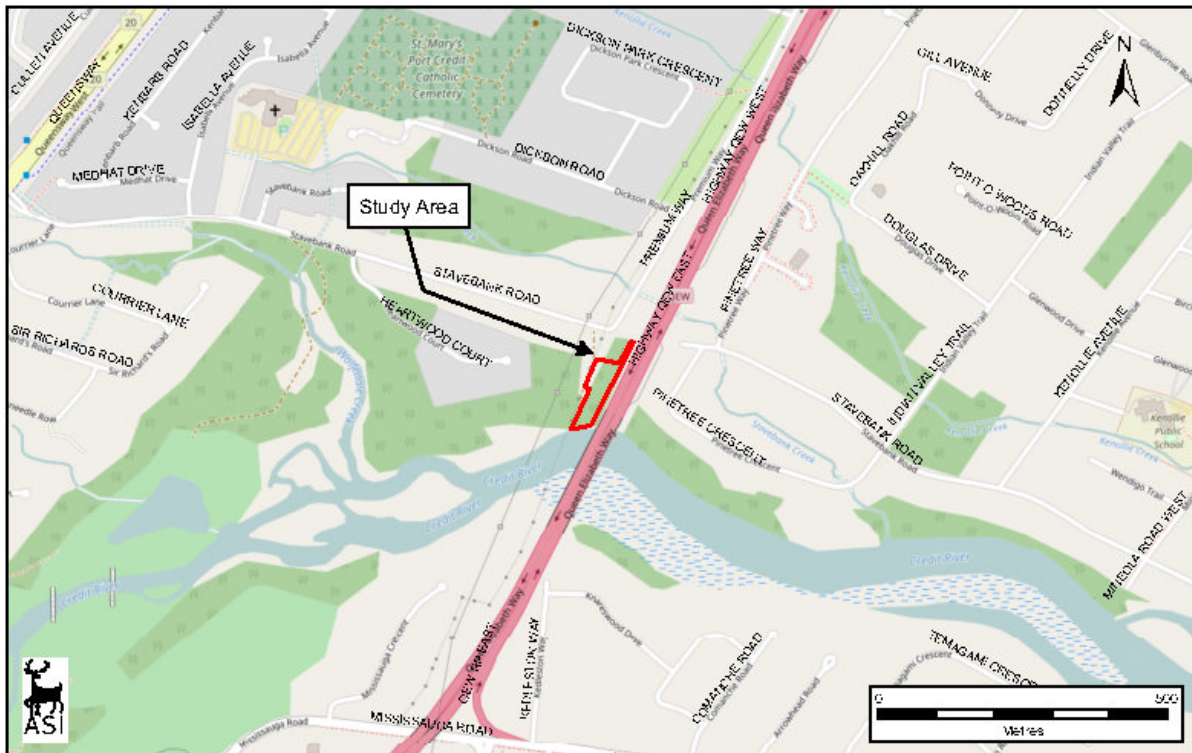


Figure 1: Location of the subject property in the City of Mississauga, Peel Region

Base Map: Open Street Map

This research was conducted under the senior project management of Annie Veilleux, Manager of the Cultural Heritage Division of ASI, and project management of Joel Konrad, Cultural Heritage Specialist in the Cultural Heritage Division of ASI. Research was completed to investigate and document the cultural heritage resources within the subject property. This document will provide:

- a description of the cultural heritage resource(s), including location, a detailed land use history of the site and existing conditions; (Sections 3.0 and 4.0)
- a description of the site's cultural heritage value as based on archival research, site analysis, and provincially accepted criteria for establishing cultural heritage significance (Sections 5.0 and 6.0); and
- if applicable, appropriate conservation measures and mitigation strategies, as based on the results of the heritage evaluation (Section 7.0).

2.0 CONTEXT AND METHODOLOGY

2.1 Provincial Policy Framework

The present report has been undertaken to satisfy heritage mitigation measures recommended as part of the *QEW Credit River Bridge Preliminary Design and Class Environmental Assessment Study, Transportation Environmental Study Report* (McCormick Rankin 2013: Section 4.3.2)

Pursuant to the *Environmental Assessment Act*, applicable infrastructure projects are subject to assessment so as to determine related impacts on above ground cultural heritage resources (MTO 2006).

Infrastructure projects have the potential to impact cultural heritage resources in a variety of ways. These include loss or displacement of resources through removal or demolition and the disruption of resources by introducing physical, visual, audible, or atmospheric elements that are not in keeping with the resources and/or their setting.

When considering cultural heritage resources in the context of improvements to specified areas, a 40 year old threshold is used as a guiding principle when identifying cultural heritage resources. While identification of a resource that is 40 years old or older does not confer outright heritage significance, this threshold provides a means to collect information about resources that may retain heritage value. Similarly, if a resource is slightly younger than 40 years old, this does not preclude the resource from retaining heritage value.

The analysis used throughout the cultural heritage resource assessment process addresses cultural heritage resources under various pieces of legislation and their supporting guidelines:

- *Environmental Assessment Act* (R.S.O. 1990, Chapter E.18)
 - *Guideline for Preparing the Cultural Heritage Resource Component of Environmental Assessments* (MCC – MOE 1992)
 - *Guidelines on the Man-Made Heritage Component of Environmental Assessments* (MCR – MOE 1981)
- *Ontario Heritage Act* (R.S.O. 1990, Chapter O.18) and a number of guidelines and reference documents prepared by the Ministry of Tourism and Culture (MTC):
 - *Standards and Guidelines for the Conservation of Provincial Heritage Properties* (MTC 2010)
 - *Ontario Heritage Tool Kit* (MCL 2006)
- *Planning Act* (R.S.O. 1990, Chapter P.13) and the 2014 *Provincial Policy Statement*

- The Ministry of Transportation has provided a number of technical and reference documents to ensure that cultural heritage resource management is integrated into the design and construction process:
 - *Environmental Reference for Highway Design* (2006)
 - *Environmental Standards and Practices User Guide* (2006)
 - *Cultural Heritage – Built Heritage and Cultural Heritage Landscapes: Technical Requirements for Environmental Impact Study and Environmental Protection/Mitigation* (2006)
 - *Environmental Guide for Built Heritage and Cultural Heritage Landscapes* (2007)
 - *Ontario Heritage Bridge Guidelines for Provincially-Owned Bridges* (MTO and the MCL 2007)

2.2 Cultural Heritage Glossary of Terms

The following section provides definitions and terms considered throughout the cultural heritage assessment process.

Alter	Change in any manner and includes to restore, renovate, repair or disturb (MTC 2010).
Built Heritage Resource	One or more significant buildings (including fixtures or equipment located in or forming part of a building), structures, monuments, installations, or remains associated with architectural, cultural, social, political, economic or military history and identified as being important to a community (MTC 2010).
Cultural Heritage Landscape	A defined geographical area of heritage significance that has been modified by human activities. Such an area is valued by a community, and is of significance to the understanding of the history of a people or place. Examples include farmscapes, historic settlements, parks, gardens, battlefields, mainstreets and neighbourhoods, cemeteries, railways, and industrial complexes of cultural heritage value (<i>Provincial Policy Statement</i> , MMAH 2005).
Cultural Heritage Resource	Any resource or feature of archaeological, historical, cultural, or traditional use significance. This may include archaeological resources, built heritage or cultural heritage landscapes (MCL 2006).
Displacement	The removal by demolition and/or disruption by isolation (MTO 2007: 11)
Disruption	The introduction of physical, visual, audible or atmospheric elements that are not in keeping with the character and setting of the cultural heritage resources (MTO 2007:11).
Heritage Attributes	Physical features or elements that contribute to a property's cultural heritage value or interest and may include the property's built or manufactured elements, as well as natural landforms, vegetation, water features and its visual setting (MTC 2010).
Visual Setting	Views or vistas to or from a heritage property (MTC 2010).

2.3 Cultural Heritage Evaluation Report

Cultural Heritage Evaluation Reports are prepared for cultural heritage resources potentially affected by proposed construction during the detailed design phase. Cultural Heritage Evaluation Reports are typically required based on recommendations outlined in the Cultural Heritage Resource Assessment Report (Ministry of Transportation 2007).

The scope of a Cultural Heritage Evaluation Report (CHER) is outlined in the *Environmental Guide for Built Heritage and Cultural Heritage Landscapes* (2007), section 5.5.2. Generally, CHERs include the following components:

- A general description of the history of the subject property as well as a detailed historical summary of property ownership and building(s) development;
- A description of the cultural heritage landscape and built heritage resources;
- Representative photographs of the exterior and interior of a building or structure, and character-defining architectural details;
- A cultural heritage resource evaluation guided by the *Ontario Heritage Act* criteria;
- A summary of heritage attributes;
- Historical mapping, photographs; and
- A location plan.

Archival research was carried out by ASI to examine the land use history of the subject site and to determine the significance of the property's design and contextual value within the context of late nineteenth century trends in residential design and historical development patterns within the former Township of Toronto. A field review was then carried out to conduct photographic documentation and to collect on-site data necessary for establishing the site's heritage significance.

Using background information and data collected during the site visit, the cultural heritage resource is evaluated using criteria contained within Regulation 9/06 and 10/06 of the *Ontario Heritage Act*.

Ontario Heritage Act Regulation 9/06 provides a set of criteria, grouped into the following categories which determine the cultural heritage value or interest of a potential heritage resource in a municipality:

- i) Design/Physical Value;
- ii) Historical/Associative Value; and
- iii) Contextual Value.

Should the potential built heritage resource meet one or more of the above mentioned criteria and when there is no longer provincial ownership, the heritage property may be considered for designation under the *Ontario Heritage Act*.

Ontario Heritage Act Regulation 10/06 provides a set of criteria for determining cultural heritage value or interest of provincial significance. The criteria, listed below, consider the cultural heritage resource in a provincial context:

- i) The property represents or demonstrates a theme or pattern in Ontario's history;



- ii) The property yields, or has the potential to yield, information that contributes to an understanding of Ontario's history;
- iii) The property demonstrates an uncommon, rare or unique aspect of Ontario's cultural heritage;
- iv) The property is of aesthetic, visual or contextual importance to the province;
- v) The property demonstrates a high degree of excellence or creative, technical or scientific achievement at a provincial level in a given period;
- vi) The property has a strong or special association with the entire province or with a community that is found in more than one part of the province. The association exists for historic, social, or cultural reasons or because of traditional use; and
- vii) The property has a strong or special association with the life or work of a person, group or organization of importance to the province or with an event of importance to the province.

Should the potential heritage resource meet one or more of the above mentioned criteria, it may be considered a heritage property of provincial significance.

2.4 Municipal Consultation and Recognition

As part of ASI's background research, the City of Mississauga was contacted to receive any additional information on the subject property. A response from the City of Mississauga confirmed that the subject property is listed on the City of Mississauga's Cultural Heritage Landscape Inventory.¹

The subject property is listed on the inventory because it is located within the Credit River Corridor Cultural Landscape which is described as follows:

The Credit River Corridor is noted as a Cultural Landscape for a variety of reasons. The corridor is a scenic rare natural landmark in the city. The 58 mile river cuts through both the Peel and Iroquois Plains. In some of these areas underlying Paleozoic bedrock of shale and sandstone is exposed. There are also heavily treed and marshy areas. Benches and alluvial terraces provide for a variety of recreational opportunities. The Mississaugas settled on the banks of the river until they were displaced by European settlers. Pioneers established mills on the river in Meadowvale Village, Streetsville and Erindale. Some remain. Thus, the river is not only ecologically significant, it is also an invaluable archaeological site that yields information about our native, pioneer and industrial history, as well as a link to the historic community development along the river corridor.²

3.0 HISTORICAL CONTEXT

3.1 Introduction

A review of available primary and secondary source material was undertaken to produce a contextual overview of the subject property, including a general description of Euro-Canadian settlement and land-use, and the development of transportation infrastructure. The following section provides the results of this research.

¹ Email communication 13 February 2017.

² Property Heritage Detail, 2000 Stavebank Road. <https://www.mississauga.ca/portal/services/property> [accessed 14 February 2017].

The subject property is located on Lot 5, Range II Credit River Indian Reserve (CIR), in the former Township of Toronto, Peel County, (presently the City of Mississauga, Peel Region). The property features a one-and-a-half-storey frame residence with a gable roof. It is located on the north side of the Credit River, an important watercourse with a long history of use for transportation, industry, and occupation in the region.

3.2 Township Survey and Settlement

In 1788, the County of Peel was part of the extensive district known as the “Nassau District.” Later called the “Home District,” its administrative centre was located in Newark, now called Niagara. After the province of Quebec was divided into Upper and Lower Canada in 1792, the Province was separated into nineteen counties, and by 1852, the entire institution of districts was abolished and the late Home Districts were represented by the Counties of York, Ontario, and Peel. Shortly after, the County of Ontario became a separate county, and the question of separation became popular in Peel. A vote for independence was taken in 1866, and in 1867 the village of Brampton was chosen as the capital of the new county. Early settlement was often influenced by the presence of watercourses. The development of the network of concession roads and railroads through the course of the nineteenth century also frequently influenced the location of farmsteads and early industries.

By 1805, the lands from Burlington Bay to the Etobicoke River north of Eglinton Avenue were known as the “Mississague Tract” (Boulton 1805: 48; Heritage Mississauga 2012: 18; Smith 2002). In 1806, the lands south of Eglinton Avenue from Etobicoke Creek to Burlington Bay, excluding the Brant Tract Land reserves along the Twelve Mile Creek, the Sixteen Mile Creek and the Credit River were purchased by the Crown from the Mississaugas as part of the “Head of the Lake Treaty” (AANDC 2013b). In 1818, the lands of the Mississauga Tract north of Eglinton Avenue were purchased by the crown from the Mississaugas of the Twelve Mile Creek, the Sixteen Mile Creek and the Credit River as part of the “Ajetance Treaty” (AANDC 2013a). In 1820, the remainder of Mississauga land was surrendered except approximately 81 ha along the Credit River (Heritage Mississauga 2012: 18). In 1825-26, the Credit Indian Village was established as an agricultural community and Methodist mission near present day Port Credit (Heritage Mississauga 2009; MNCFN n.d.). By 1840, the village was under significant pressure from Euro-Canadian settlement and plans were formulated to relocate the settlement. In 1847, the Credit Mississaugas were made a land offer by the Six Nations Council to relocate at the Grand River. In 1847, 266 Mississaugas settled at New Credit, approximately 23 km southwest of Brantford. The majority of the former Mississague Tract had been surrendered from the Mississauga by 1856 (Gould 1981).

Township of Toronto

The Township of Toronto was originally surveyed in 1806 by a Mr. Wilmot, Deputy Surveyor. The first settler in this township, and also the County of Peel, was Colonel Thomas Ingersoll. The whole population of the township in 1808 consisted of seven families scattered along Dundas Street. The number of inhabitants gradually increased until war broke out in 1812, which gave considerable check to its progress. When the war was over, the township’s growth revived and the remaining part of the township was surveyed and called the “New Survey.” The greater part of New Survey was granted to a colony of Irish settlers from New York City who suffered persecution during the war.



The Credit River runs through the western portion of the township. During settlement, this watercourse was an important resource to nearby settlers, providing both clean drinking water and numerous milling points.

Within the Township of Toronto, several villages of various sizes had developed by the end of the nineteenth century, including Streetsville, Meadowvale, Churchville, and Malton. A number of crossroad communities also began to grow by the end of the nineteenth century. These included Britannia, Derry, Frasers Corners, Palestine, Port Credit, Mt. Charles, and Grahamsville.

In 1967 the Township of Toronto was elevated to become the Town of Mississauga. In 1974 the Town of Mississauga was amalgamated with the villages of Port Credit and Streetsville, and portions of the townships of Toronto Gore and Trafalgar, to form the City of Mississauga.

3.3 Land Use History

The following land use history is based on a combination of land registry records, historical mapping, census records, assessment/collector rolls, and local history resources where available. For ease of description, this section has been divided into time periods which correspond to property ownership. The subject property is located in Lot 5, Range II Credit River Indian Reserve (CIR) in the former Township of Toronto.

3.3.1 1854-1865

The Crown Patent for Lot 5, Range II CIR was granted to James Cotton in 1854 (Abstract Index, Toronto Township Vol. A-B, microfilm GSU179318). James Cotton and his brother Robert Cotton emigrated from Ireland and settled in the Port Credit area. The 1851 Census Returns (Enumeration Ward 1, Schedule 1, Pages 59-60) confirm that James Cotton, a 40-year-old farmer born in Ireland, occupied a two-storey frame house with his older brother, Robert, a 42-year-old merchant, who is listed as the head of the household. Robert was married to Sarah Cotton in 1848 (aged 40, born in Scotland), with whom they had one child, James W. Cotton (aged 7). Elizabeth Blakely, aged 18, is also listed as living in the house as a family member, although the relationship between them is not clear. The family is recorded as living in a two-storey frame house and employing 24 people. The frame house noted in the census was not located on Lot 5, Range II CIR, but was instead located on another parcel of land owned by the Cotton family in nearby Lot 2, Range I CIR (Heritage Mississauga 2015).

Tremaine's Map of the County of Peel (Figure 2), published in 1859, indicates that R and J Cotton owned the entirety of Lot 5, Range II at this time, as well as many other properties in the area, including Lot 2 Range I CIR where their two-storey frame home was located. No structures are depicted on the Lot, but the Credit River, three smaller creeks, and a roadway oriented east-west (part of modern day Stavebank Road) are visible.

Schedule 1 of the 1861 Census Returns (Enumeration District No 1, Schedule 1, Page 12) confirms that Robert Cotton, aged 52, lived with his wife Sarah, aged 50, their son, James W. (aged 15), and Elizabeth Blakely (aged 22). While the census indicates that the Cotton's owned a two-storey frame house, there is no mention on which of the many properties they owned the house was located, and no structures are depicted in the 1859 *Tremaine* map. It is assumed that they continued to reside in the house in Lot 2, Range I CIR.



The Abstract index to deeds lists the sale of Lot 5 Range II CIR from Frederick W. Jarvis to the Bank of Upper Canada in 1865, although there is no mention of the date that Jarvis acquired the land from James Cotton. The 1865 Assessment Rolls do not list Lot 5, Range II CIR as owned by Cotton, Jarvis, or the Bank of Upper Canada.

Only the 1865 Assessment Rolls were available for Toronto Township. These records indicate that Robert Cotton (aged 55) was a councilor in the Township of Toronto, and was listed as owning Lots 1, 3, and 6 in Range II CIR, while Mrs. Cotton was listed as owning another 200 acre property (record details obscured), the combined total of which was listed at 234 ½ acres, valued at \$4,020. In addition to being a councilor at this time, Robert Cotton also served in various political positions in the Township and in local government throughout his career, including serving as a Justice of Peace from 1850-51, deputy reeve from 1867-1871, reeve from 1872-1879, and as the warden of the Township from 1873-1874 (Heritage Mississauga). Elizabeth Blakely, recorded as a spinster, is also listed as owning 60 acres in Lot 3, Range II CIR valued at \$1,200 (Assessment Roll for the Township of Toronto, 1865).

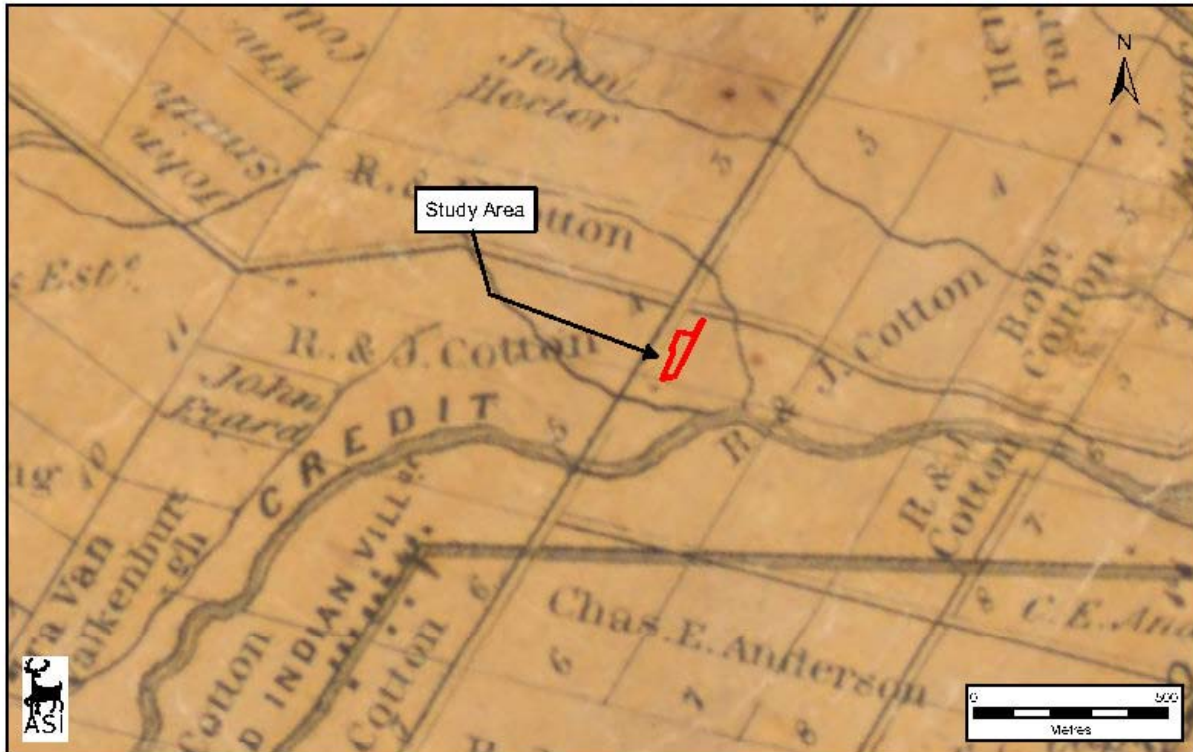


Figure 2: Approximate location of the subject property on the 1859 Tremaine's Map of the County of Peel
Base Map: *Tremaine's Map of the County of Peel, 1859*

3.3.2 1866-1891

The Abstract Index (Township of Toronto Book B, page 484) lists Robert Cotton as purchasing all the land east of Stavebank Road in Lot 5, Range II CIR in 1868 at a cost of \$742, while the portion of the property south of Stavebank road was purchased by the Peel Manufacturing Company in 1869.

The 1871 Census Returns (Enumeration District No. 39, Sub-District A, Schedule 1, Page 59) record Robert Cotton as a 62-year-old farmer, married to Sarah Cotton, aged 60. Their son James W., a 25-year-old farmer, and Elizabeth Wright, a 55-year old widow, also lived in the household. According to Schedule 3 of that census –Returns of Real Estate– Robert Cotton owned 400 acres of land containing two dwellings within town, four rural dwellings, and four barns or stables in addition to various farm implements. The location of these dwellings is not listed. James W. Cotton is listed as owning 250 acres of land, containing one dwelling house and one stable or barn (Enumeration District 39, Schedule 3, Page 11). According to Schedule 4, Agricultural Returns of Cultivated land, the 400 acres of land owned by Robert Cotton included Lot 5, Range II, of which 150 acres were improved, 40 were in pasture, and one was in garden. This land produced barley (800 bushels), oats (700 bushels), peas (400 bushels), potatoes (200 bushels), turnips (300 bushels), carrots (650 bushels), 90 bundles of hay, and 100 bushels of apples (Enumeration District 39, Schedule 4, Page 11). This information potentially conflicts with the Abstract Index record, which states that James Cotton sold Lot 5, Range II CIR before 1865. It is possible, however, that Cotton re-purchased the land prior to the 1871 census, in a transaction that is not listed, or that he rented the land as a tenant farmer from the owner. James W. Cotton is listed as owning Lot 1, Range II, with 100 acres improved and 100 acres in pasture (Enumeration District 39, Schedule 4, Page 11).

The 1877 *Illustrated Historical Atlas of the County of Peel* (Figure 3) depicts the southern half of Lot 5, south of Stavebank Road as under the ownership of the Peel Manufacturing Company. The Peel General Manufacturing Company was a large industrial company that was amalgamated into the Credit Harbour Company in 1873, forming the industrial backbone of Port Credit and the surrounding area (Statutes of the Province of Ontario, 1873). No structures are illustrated, but the Credit River, three smaller tributaries, and modern day Stavebank Road are depicted. Jas. W Cotton is listed as owning Lot 2, Range 1 CIR, and a structure and orchards are depicted. While located outside the study area, this is noteworthy because it is the first depiction of the two-storey frame house occupied by the Cotton family that was initially listed in the 1851 census.



Figure 3: Approximate location of the subject property in Toronto Township, Peel County, in 1877
Base Map: *Illustrated Historic Atlas of the County of Peel, 1877*

The 1881 Census Returns (Enumeration District No. 140, Schedule 1, Page 39) record Robert Cotton (aged 72) residing with his son, James W. Cotton (aged 34), his wife Susan (nee Barber) (aged 34), and their children Robert B.W. (aged 1) and William Franklin (aged six months). Robert Cotton died in 1885 in Port Credit, and is interred in a local cemetery (Heritage Mississauga). Upon his death, his land in Lot 5, Range II CIR east of Stavebank Road was willed to his daughter-in-law, Susan Amelia (Township of Toronto Book B, page 484).

The 1891 Census Returns (Enumeration District No. 160, Schedule 1) contains no records for any member of the Cotton family, although the Abstract index (Township of Toronto Book C, page 554) lists Susan A. Cotton, sole executor of the estate of Robert Cotton, conferring the deed to 104 acres on Lot 5, Range II CIR east of Stavebank Road to Dixie Cox Cotton in 1908, who then allotted the land for subdivision later that year.

The Abstract Index lists the Peel Manufacturing Company as selling all lands west (south in mapping) of Stavebank Road (the location of the subject property) in 1888 for \$9,180 to Thomas W. Hector et al, who began partitioning the land beginning in 1891 with a severance of 18.47 acres to James J. Kenny for \$2,410.30, and continuing well into the twentieth century (Township of Toronto Book B, page 484). The 1891 Census Returns do not contain any information on James J. Kenny.

3.3.3 1906-Present

After the subdivision of Lot 5, Range II CIR began in the later nineteenth century, the lands were further partitioned throughout the twentieth and twenty-first centuries, with sections being expropriated for large scale projects, such as the construction of pipelines, hydro lines, and of course the QEW in the mid-twentieth century. While the specific land transactions are frequent and some of the entries in the Abstract Index are difficult to read, it appears that the subject property followed the chain of ownership below after it was acquired by James J. Kenny in 1891:

- Henry W. Frink in 1906: acquired for \$1,000.
- Marion Kenny Bailey in 1912: acquired for \$1,200.

There is a gap in information between 1927 and 1933, but by going backwards from the present owner, the following chain of ownership was determined:

- Eva K. Barber in 1946: acquired from Francis L. Waterhouse for \$5,000.
- James Wilson in 1947: acquired for \$6,100. It appears that 2000 and 2002 Stavebank Road may have been severed around this time period.
- Frederick Deveny in 1964: acquired from the Halton & Peel Trust & Savings Company (who had acquired it from the James Wilson Estate) for \$2.
- John Leonard Zigmund Gora and Stella Gora in 1966: acquired for \$2.
- Stella Gora in 1970: acquired for \$1.

It appears that Stella Gora retained the property until 2004 when it was sold to Adrian Wozny for \$615,000. Since that time, the property was acquired by Jacek Pietrachowicz in 2005 (\$1,250,000), Regina Wawrzycka in 2006 (\$1,910,000), and Debra Jean Bartham in 2009 (\$500,000). In 2014 the property was transferred to Ryan Bartham and subsequently acquired by the MTO that same year.

The 1909 National Topographical Survey (NTS) map (Figure 4) depicts the Village of Port Credit as a small settlement with both a telegraph and a telephone office, a lighthouse, and a sawmill. The Grand Trunk Railway line forms the northern boundary of the village, and Lake Ontario forms the southern and eastern boundaries. The study area is visible near the Credit River adjacent to modern day Stavebank Road, with the extant hydro corridor to the west of the property, and the Toronto and Niagara Electric Power Line immediately to the east. No structures are depicted within or near the study area.

The 1931 National Topographic Survey (NTS) map (Figure 5) demonstrates that significant changes had taken place within Lot 5, Range II during the early twentieth century. Significant residential development occurred adjacent to the study area along Stavebank Road, however no structures are illustrated in the immediate study area. The most notable change is the construction of the QEW directly to the east of the study area, which severed access along Stavebank road, thereby permanently altering circulation routes in the area. The Credit River, as well as the creeks depicted in the nineteenth-century mapping, are still present as is Stavebank Road, although it is altered by the construction of the QEW. The hydro line to the immediate west of the study area is also visible.

Aerial photography produced for the Hunting Survey in 1954 (Figure 6) provides the first indication of structural development on 2000 and 2002 Stavebank Road. The aerial photo depicts the 2002 Stavebank Road as cleared of trees, with a rectangular structure located on it. While tree cover obscures most of

2000 Stavebank Road, a driveway extending west from QEW into the subject property is present, suggesting the presence of residence.

A review of additional aerial photography available on the City of Mississauga website confirms that there was a structure in the location of the existing residence in 1966. Additionally, the secondary structure on the property does not appear on the 1966 photo, but is in place by 1975. The existing configuration of the driveway to 2000 Stavebank Road is also in place.

The 1994 NTS map (Figure 7), however, does not depict the extant structures associated with 2000 Stavebank Road. It does show the structure at 2002 Stavebank Road as well as the hydro line to the west, Stavebank Road to the north, the QEW to the east, and the Credit River to the south. Significant residential development is depicted from the earlier mapping, with most individual homes omitted in favour of widescale shading to indicate development.

The expropriation plan prepared in 2014 (Figure 8) illustrates the existing structures within the subject property, including a two-storey dwelling with a covered entrance, a one-storey dwelling with a deck, two gazebos, and a shed.

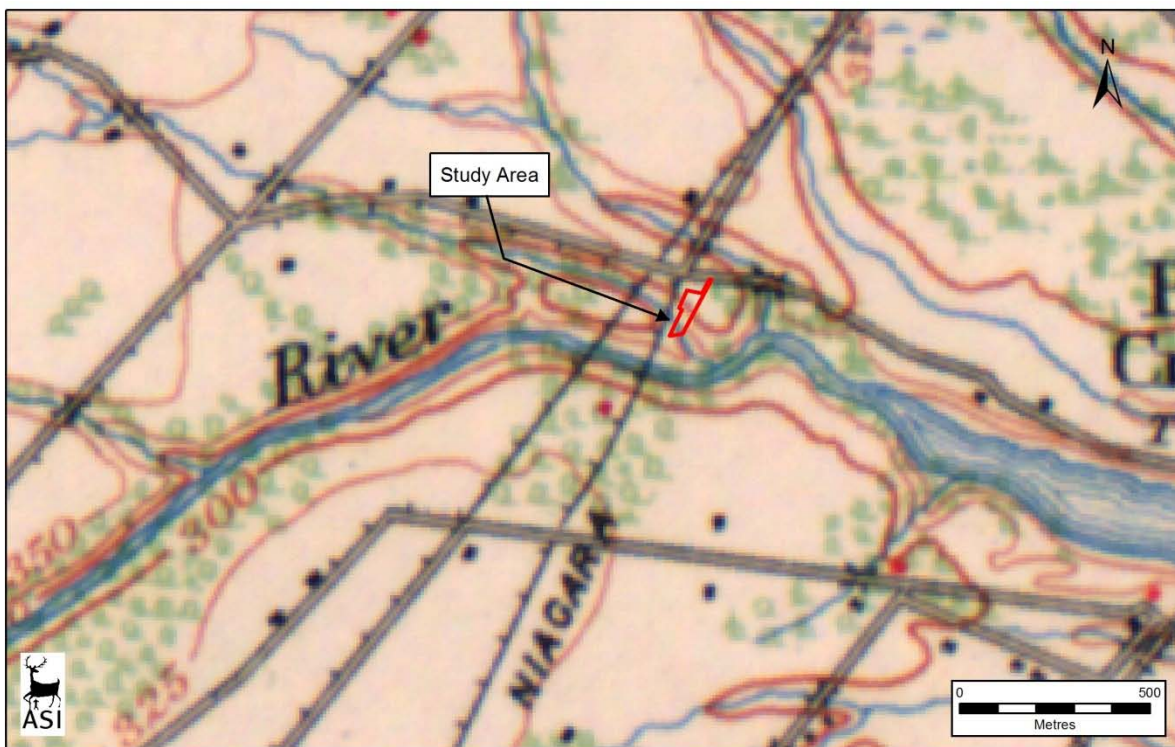


Figure 4: Approximate location of the subject property in Toronto Township, County of Peel, 1909
Base Map: Department of Militia and Defense, Brampton Sheet 30-M 12, 1909



Figure 5: Approximate location of the subject property in Toronto Township, County of Peel, 1931
Base Map: Department of National Defense, Brampton Sheet 30-M 12, 1931

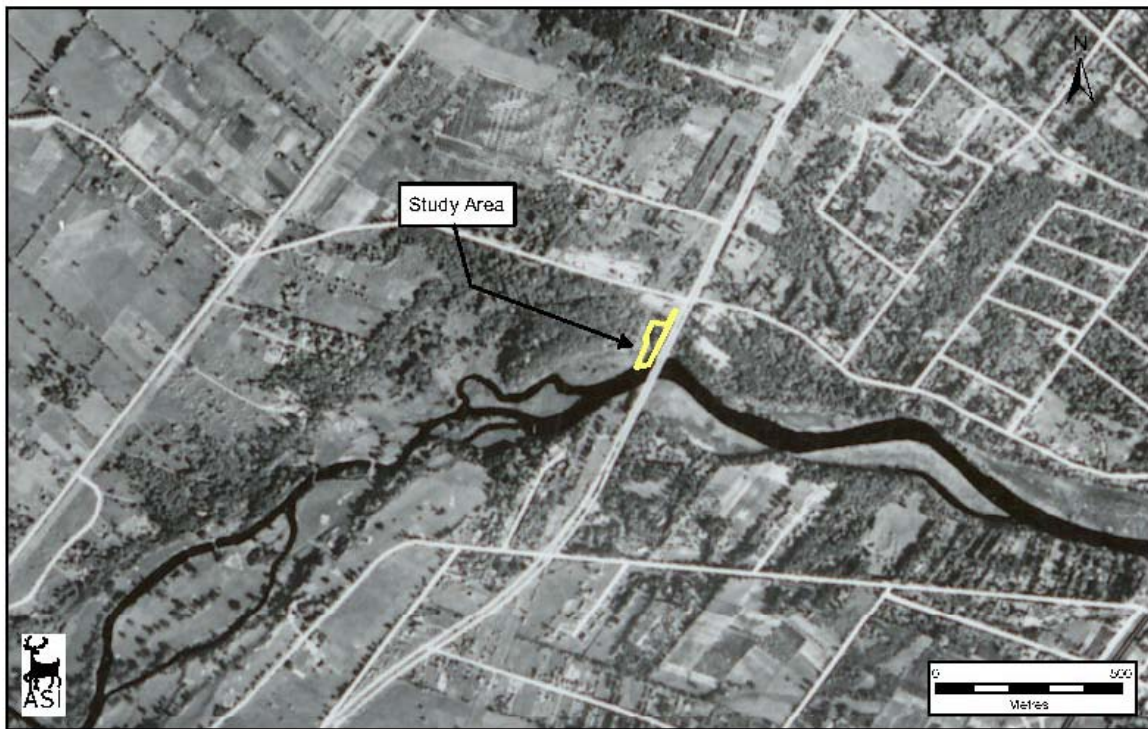


Figure 6: General location of the subject property in Toronto Township, Peel County, 1954
Base Map: Photo 435.793, Hunting Survey Corporation Limited, 1954



Figure 7: General location of the subject property in the City of Mississauga, Regional Municipality of Peel, 1994

Base Map: NTS Sheet 30-M/12, 1994

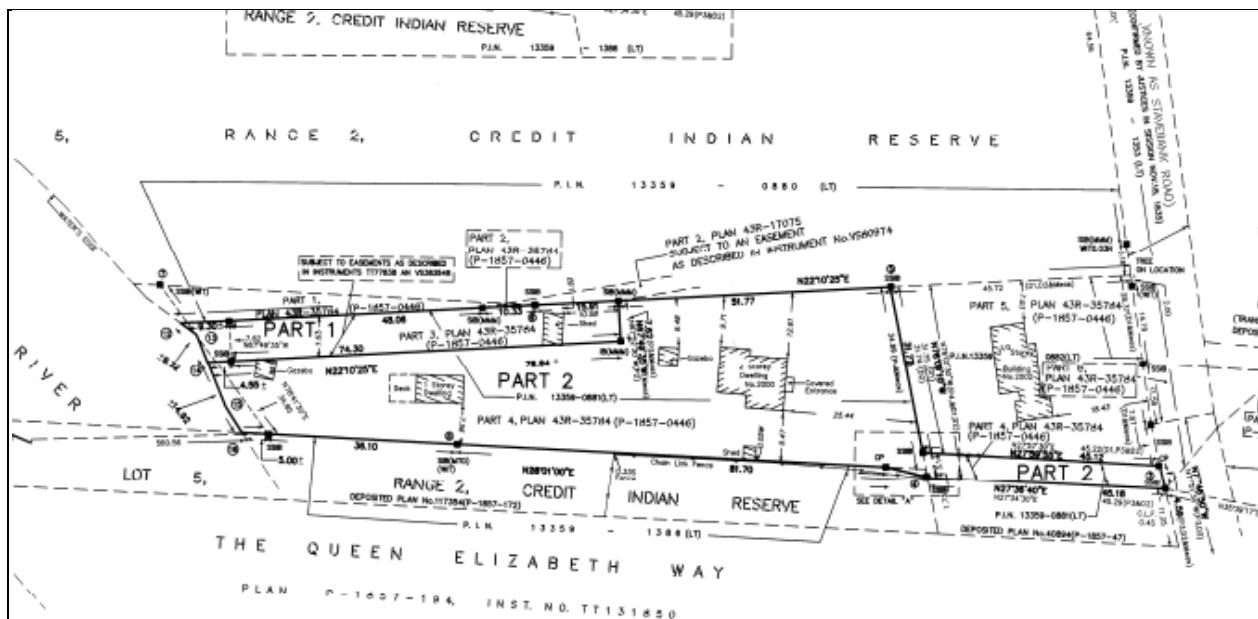


Figure 8: Detail of the expropriation plan for the subject property (Part 2) in 2014.

Source: Plan PR2615052, 2014

3.3.4 Land Use History Summary

The property at 2000 Stavebank Road is located in Lot 5, Range II CIR, in the former Township of Toronto, now the City of Mississauga. The Crown Patent for Lot 5 was granted to James Cotton in 1854. According to census records, by 1851 brothers James and Robert Cotton lived in a two-storey frame house in nearby Lot 2, Range 1 CIR with Robert's wife, Sarah, their son James Jr., and family member Elizabeth Blakely. The returns for 1871 demonstrate that Robert Cotton had cleared 150 acres of Lot 5, and was successfully producing a variety of crops on it. By 1868, the property had already been sold to Frederick W. Jarvis, although details of this transaction were not available. In 1868, Jarvis sold the entirety of Lot 5 to the Bank of Upper Canada at a cost of \$4075. In 1868 Robert Cotton re-purchased the portion of the property east of Stavebank Road (north in mapping), and in 1869 the Peel Manufacturing Company purchased the land west of Stavebank Road (south in mapping). Upon his death in 1885, Robert Cotton's portion east of Stavebank Road passed to his daughter-in-law Susan, who transferred ownership to Dixie Cox Cotton in 1908. The land was then subdivided that same year. The Peel Manufacturing Company then sold their portion in 1888 to Thomas W. Hector et al, who began partitioning the land beginning in 1891.

Historical research suggests that the subject residence was built by an unknown individual in 1945, as demonstrated by documentation (Antec Appraisal Group Inc. n.d.), historical mapping, and aerial photographs. Based on the available information, no structures existed on the subject property during the ownership of either the Cotton family or the Peel Manufacturing Company. By the time the subject residence was constructed, the study area had been removed from its historical agricultural context with the construction of the QEW Highway and the re-alignment of Stavebank Road.

The property was acquired by the Ministry of Transportation in 2014.

4.0 EXISTING CONDITIONS

A field review was undertaken by John Sleath, and Andrew Clish, ASI, on 6 February 2017 to collect data relating to the house (interior and exterior), the outbuilding (interior and exterior), and the landscape in order to complete a description of the existing conditions of the property. Results of the field review and archival research were then utilized to complete a heritage evaluation. The following sections provide a general description of the dwelling, outbuildings, and the surrounding residential context. Photographic plates are provided in Appendix A.

The subject property at 2000 Stavebank Road in the City of Mississauga is located on the south side of Stavebank Road. The property parcel is bounded by a hydro corridor to the west, 2002 Stavebank Road to the north, the Queen Elizabeth Way (QEW) to the east, and the Credit River to the south. The subject property contains a one-and-a-half-storey frame residence, outbuildings, and a number of landscape features. The following provides a description of the subject property and is organized to correspond to the scope of site research and analysis provided in the MTO's *Environmental Guide for Built Heritage and Cultural Heritage Landscapes* (MTO 2007).

4.1 Architectural Features

4.1.1 *Residence: Exterior Description*

The subject residence (Plates 1 to 9) is a one-and-a-half storey, side gable roofed frame structure clad in aluminum siding, with a hipped roofed, one-and-a-half storey rear addition clad in aluminum siding and brick, and a single-storey shed roof addition on the east side clad in aluminum siding and faux stone. The house presently features an irregular footprint and the rear addition sits on concrete foundations. Foundations are not visible under the rest of the residence.

The structure features entrances on all elevations: a covered front entrance on the north elevation that is offset to the east side of the two-bay facade; a boarded up entrance on the west elevation leading to a low-lying patio; a covered entrance on the south elevation providing access to a recessed basement due to the natural slope on the property; and an entrance providing access to the small single-storey addition on the west elevation. The windows throughout the residence are generally boarded up and those that are visible on the upper storey appear to be modern. The fenestration is fairly irregular in terms of window placement and size.

The roof of the residence, including all additions, is clad in asphalt shingles and the eaves of the entire structure are aluminum. The soffits and fascia are plain. A single, centrally located red-brick chimney is located on what would have been the rear elevation of the main structure.

The exterior of this vernacular structure does not exhibit any heritage elements.

4.1.2 *Residence: Interior Description*

The residence features a ground floor, second floor, and basement (Plates 10 to 37). It should be noted that visibility inside the structure was low due to lack of natural light (boarded up windows and doors) and lack of electricity in the building. The general floor plan of the main part of the house has a relatively open concept, with a central stairwell leading to the second floor and the basement, as well as an enclosed modern kitchen occupying the southwest corner. A brick fireplace is centrally located along the south wall of the original part of the house. The rear addition features two comparatively large rooms, and the small side addition features a small modern washroom and stairs to the basement. Flooring throughout the ground floor appears to be a combination of hard wood and synthetic flooring. All window and door surrounds appear to be modern.

The central staircase that provides access to the second floor features plain wooden handrails supported by metal balusters as well as plain wooden treads, risers, and stringers. The L-shaped staircase located in the more recent side addition and which provides access to the basement is similar in style. The second floor includes three bedrooms and a washroom in the main part of the house, as well as two bedrooms in the rear addition. Where extant, window and door surrounds appear modern. Flooring throughout the second floor appears to be a combination of painted pine board in part of the original structure, stained hard wood floors, and synthetic flooring. All doors are modern. A look through the attic openings revealed pine roof boards in the original structure and modern roofing in the addition.

The basement is accessed by the central staircase in the main part of the house and by the stairs located in the side addition. The latter provides access to the lower floor of the rear addition, which because of the natural slope of the property, can also be accessed from the outside. The basement has been renovated and

includes a large bedroom/living room and washroom in the addition as well as a modern kitchen, furnace room, and storage areas under part of the original structure. Part of the north wall and the east wall is occupied by a crawl space.

Part of the foundations of the original structure can be seen in the basement, including part of the original rusticated concrete exterior wall of what would have been the south elevation of the house prior to the construction of the rear addition. Concrete block foundations can be seen in the northwest interior corner and along the crawlspace of the original structure. A section of potentially hewn timber beam which is supported by steel beams was identified near the centre of the original structure.

The house interior does not exhibit any heritage elements.

4.1.3 Outbuilding Description

In addition to the house, the subject property features a second two-storey structure to the south of the main residence (Plate 38 to 44). The frame structure, which was built in the late 1960s or early 1970s, is characterised by a low gable roof with overhanging eaves and a wrap-around porch on the second floor. The structure has a narrow rectangular footprint and is clad in painted wood (upper storey) and red brick (lower storey). The natural slope of the property allows for a recessed basement. The structure overlooks the Credit River and Credit River Bridge. The simply built structure contains three small bedrooms and a washroom on the upper floor, and open room in both the middle and lower floors. The staircase is located along the north wall. The structure does not exhibit any heritage elements. This secondary structure was originally constructed as a rental residence, but was used more recently as an office space (Antec Appraisal Group Inc. n.d.).

The property also features two square covered gazebos, one immediately south of the main house and the other overlooking the river.

4.2 Context and Landscape Features

The property parcel has an irregular, but relatively rectangular shape with its western border generally following the hydro corridor demarcated by an established treeline and a post-and-rail fence, the north boundary being the property line with 2002 Stavebank Road, the east boundary demarcated by QEW sound barriers and the southern boundary being the Credit River. At the time of the field review, the property exhibited signs of large-scale excavation, grading, and tree removal. Most of the property's landscape features have been removed.

The property retains a number of mature and established trees, including large willow and spruce trees, and is characterised by its fairly steep natural slope leading down to the Credit River, as well as its views of the river and the Credit River Bridge. The latter is especially visually and audibly remarkable due to its proximity to the property. The southwest corner of the property is occupied by marshy lands (Plates 45 to 51).

5.0 HERITAGE EVALUTION OF 2000 Stavebank Road

5.1 Comparative Context of Residence Development in Mississauga

Comparative analysis is generally used to support the *Ontario Heritage Act* Regulation 9/06 criterion regarding design or physical value: whether a property is rare, unique or early example of a style, type, expression, material or construction method; if it displays a high degree of craftsmanship or artistic merit; or if it demonstrates a high degree of technical or scientific achievement.

The first half of the twentieth century saw increasing development in the area and a number of vernacular frame residences would have been constructed around the same time as 2000 Stavebank Road, and so it would not be considered rare or unique. In addition, as the subject property has been heavily altered, a detailed comparative analysis would not provide any additional insights as to the heritage value of its architectural design and physical form.

The subject property located at 2000 Stavebank Road has no identifiable connection to prominent citizens. Though the property does have historic connections to long-standing agricultural land-use and connections to Robert Cotton, an early prominent citizen, the subject residence was not constructed by Cotton, nor was any structure located on the property during Cotton's ownership. The subject property is not important in defining the character of the area, and is located in a marginal location adjacent to the QEW. The subject property is no longer used for agricultural purposes, and thus is disconnected from its historical context.

Tables 1 and 2 contain the evaluation of 2000 Stavebank Road against criteria as set out in *Ontario Heritage Act* Regulation 9/06 and Regulation 10/06.

5.2 Application of Regulations 9/06 and 10/06

Table 1: Evaluation of 2000 Stavebank Road using *Ontario Heritage Act* Regulation 9/06

1. The property has design value or physical value because it :

<i>Ontario Heritage Act</i> Criteria	Analysis
i. is a rare, unique, representative or early example of a style, type, expression, material or construction method;	The subject house, constructed in 1945, is an example of mid-twentieth-century vernacular architecture. The building materials, including drywall, vinyl siding, and asphalt shingles are all original to the house, and are indicative of mid twentieth century construction.
ii. displays a high degree of craftsmanship or artistic merit, or;	This structure does not display a high degree of craftsmanship or artistic merit.
iii. demonstrates a high degree of technical or scientific achievement.	This property is not known to demonstrate a high degree of technical or scientific achievement.

Table 1: Evaluation of 2000 Stavebank Road using *Ontario Heritage Act* Regulation 9/06

2. The property has historical value or associative value because it:

<i>Ontario Heritage Act</i> Criteria	Analysis
i. has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community;	The subject property was owned by Robert Cotton, considered to be an early founder of the Village of Port Credit. However, there is no known structure associated with the Cotton family within the study area. Thus, the subject property is not considered to meet this criterion
ii. yields, or has the potential to yield, information that contributes to an understanding of a community or culture, or;	The subject property, like neighbouring residences, contributed to the development of this area and the activities undertaken there within the early-mid twentieth century. However, little information is known regarding the property owners/tenants and, as such, this property is not known to meet this criterion.
iii. demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.	This property is not known to meet this criterion

3. The property has contextual value because it:

<i>Ontario Heritage Act</i> Criteria	Analysis
i. is important in defining, maintaining or supporting the character of an area;	This property is not known to meet this criterion.
ii. is physically, functionally, visually or historically linked to its surroundings, or;	While the property is bounded by modern (QEW) and historic (Credit River) transportation routes and features views to these resources, it is not known to be physically, functionally, visually or historically linked to its surroundings.
iii. is a landmark.	This property is not known to meet this criterion.

Table 2: Evaluation of 2000 Stavebank Road using *Ontario Heritage Act* Regulation 10/06

<i>Ontario Heritage Act</i> Criteria	Analysis
i. The property represents or demonstrates a theme or pattern in Ontario's history;	The property is not known to meet this criterion.
ii. The property yields, or has the potential to yield, information that contributes to an understanding of Ontario's history;	The property is not known to meet this criterion.

Table 2: Evaluation of 2000 Stavebank Road using *Ontario Heritage Act* Regulation 10/06

iii. The property demonstrates an uncommon, rare or unique aspect of Ontario's cultural heritage;	The property is not known to demonstrate an uncommon, rare or unique aspect of Ontario's cultural heritage.
iv. The property is of aesthetic, visual or contextual importance to the province;	The property is not known to demonstrate any elements which may be considered of aesthetic, visual or contextual importance to the province.
v. The property demonstrates a high degree of excellence or creative, technical or scientific achievement at a provincial level in a given period;	The property is not known to illustrate any technical or scientific achievements which are of provincial significance.
vi. The property has a strong or special association with the entire province or with a community that is found in more than one part of the province. The association exists for historic, social, or cultural reasons or because of traditional use; and	The property is not known to meet this criterion.
vii. The property has a strong or special association with the life or work of a person, group or organization of importance to the province or with an event of importance to the province.	The property is not known to meet this criterion.

The subject property at 2000 Stavebank Road does not meet any of the criteria contained in Regulation 9/06; and therefore should not be considered for designation under Section 34.5 of the *Ontario Heritage Act*.

The subject property at 2000 Stavebank Road does not meet any of the criteria contained within Regulation 10/06, and therefore should not be considered for designation under Section 34.5 of the *Ontario Heritage Act*.

6.0 CONCLUSIONS

Historical research revealed that the subject property at 2000 Stavebank Road (located in Lot 5, Range II CIR) was first granted in 1854 to James Cotton. By 1871 the property was under active cultivation and was mostly cleared. The property was subdivided beginning in the late nineteenth century and continuing into the twentieth century. Records suggest that 2000 and 2002 Stavebank may have been severed in the late 1940s. Historical records as well as mapping suggest that no structures existed on the subject property until the subject residence was constructed in 1945 (Antec Appraisal Group Inc n.d.), with the first depiction of a structure in the 1954 aerial photograph of the area. Limited structural evidence in the original part of the house, such as the section of a potentially hewn beam in the basement, hints at an earlier construction date. The subject residence, however, has been heavily altered and any further evidence of a potentially earlier construction date has been removed.

The property consists of a heavily altered one-and-a-half storey frame vernacular constructed in 1945 and a secondary structure constructed in the 1970s. While most of the landscape features associated with the property have been removed due to excavation, grading and tree removal activities, the property is still retains a number of mature and established trees. It is characterised by its natural slope which leads to the Credit River and features views to the Credit River as well as the Credit River Bridge. Despite its location within the Credit River Corridor, the subject property is not known to be a contributing element to that cultural landscape.

The property at 2000 Stavebank Road retains associations with to mid-twentieth century residential development, however, it is physically and historically removed from its historical landscape and the historical land use of Peel Region. The former associations with the Cotton family, and commercial manufacturing during the ownership of the Peel Manufacturing Company of the subject property have been severed. Also, the study is not known to retain particular association with the Credit River and its long history of transportation, settlement, and industry in the region. Finally, the study area retains little association with Stavebank Road, an historically surveyed road that was heavily impacted by the construction of the QEW.

7.0 RECOMMENDATIONS

Based on the results of archival research, a field review, and heritage evaluation, the property at 2000 Stavebank Road was determined to lack local cultural heritage value following the application of Ontario Regulation 9/06 of the *Ontario Heritage Act*. Application of Ontario Regulation 10/06 confirmed that the subject property was not determined to be of provincial significance at this time.

The subject cultural heritage resource located at 2000 Stavebank Road is expected to be impacted by the improvements to the Credit River Bridge. Based on preliminary designs of the approved alignment, the subject property is expected to be impacted through displacement due to the intersection of that alignment with the subject property. This is expected to fully remove the dwelling at 2000 Stavebank Road and introduce physical, visual, audible, and atmospheric elements that are not in keeping with the setting of the resource. As a result, the following recommendations have been made based on the overall impacts to the property:

1. To ensure that the structure does not succumb to vandalism, premature decay, and/or arson, the following measures should be undertaken immediately to mitigate negative impacts upon vacancy:



- a) Examine the interior of the building for evidence of animals and/or insects. If detected, seal off access to the structure and exterminate if necessary;
 - b) Protect the exterior from moisture penetration. As such, roofing materials, foundation, and window treatments should be examined by a qualified contractor in this regard, if excess moisture is entering the structure;
 - c) All main floor windows and entrance ways should be boarded up and securely locked;
 - d) Exterior doors should be reinforced with full, non-removal locking mechanisms;
 - e) Ensure that adequate ventilation to the interior is maintained. A mechanical engineer should be consulted to ensure that a suitable interior climate is achieved; and
 - f) It is recommended that the property be visited on a regular basis.
2. Finally, this report should be submitted to the Heritage Advisory Committee at the City of Mississauga for review and comment, and subsequently filed and archived at the Municipality.

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APPENDIX A: PHOTOGRAPHIC PLATES



Plate 1: North elevation of residence.



Plate 2: North and east elevations of the residence.



Plate 3: East elevation of the residence.



Plate 4: East and south elevations of the residence.



Plate 5: South elevation of the residence.



Plate 6: South and west elevations of the residence.



Plate 7: West
elevation of the
residence



Plate 8: West and
north elevations of
the residence.



Plate 34: Detail of potentially hewn beam.



Plate 35: North elevation of the secondary structure.



Plate 36: West and south elevations of the secondary structure.



Plate 40: South elevation of the secondary structure.



Plate 45: View of the Credit River and the Credit River bridge from the secondary structure.

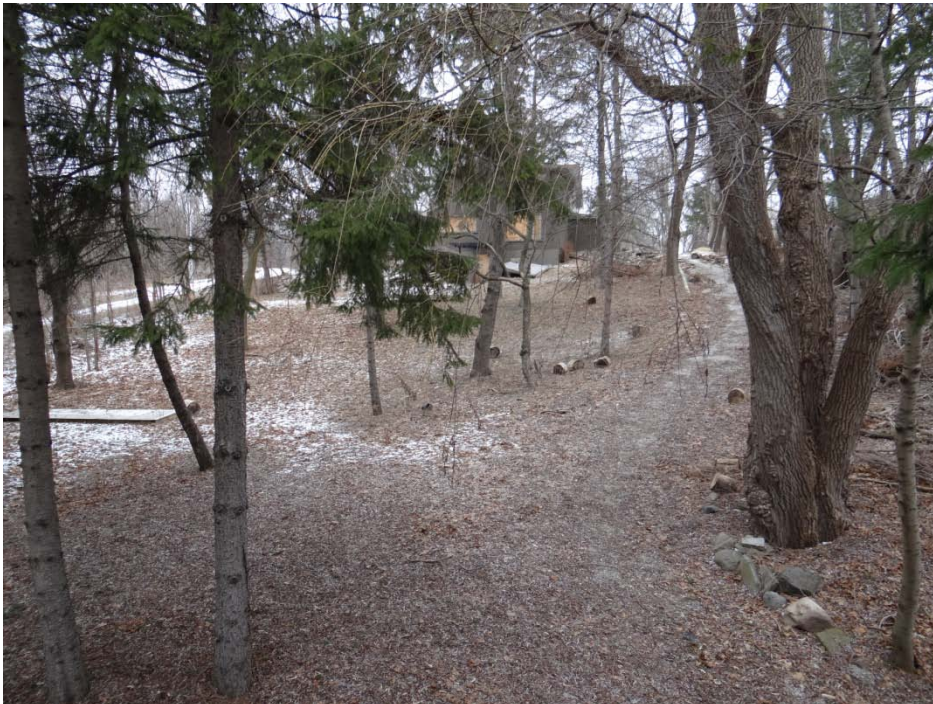


Plate 46: Looking north toward the house from the secondary structure.



Plate 47: Looking north toward the rear of 2002 Stavebank Road.



Plate 48: View of the QEW barrier walls which form the eastern boundary of the subject property.



Plate 49: Looking north from the edge of the Credit River at the steep slope of the subject property. Note the proximity of the Credit River Bridge.



Plate 50: The Credit River and Credit River bridge from the southern edge of the subject property.



Plate 51: View of the low-lying marsh land along the southern edge of the subject property.



The Municipal Register of Heritage Properties

Identifying properties of cultural heritage value or interest is an essential part of a municipality's role in heritage conservation. This note explains the importance of including heritage properties in the municipal register.

What is the municipal register of cultural heritage properties?

Section 27 of the [Ontario Heritage Act](#) requires the clerk of every municipality to keep a publicly accessible register of properties that are of cultural heritage value or interest situated in the municipality.

The municipal register of heritage properties must list all properties in the municipality that are designated under Part IV (individual property designation) and Part V (within a designated heritage conservation district) of the *Ontario Heritage Act*.

For properties designated under Part IV, the municipal register must include:

- a legal description of the property;
- the name and address of the owner; and
- a statement explaining the cultural heritage value or interest of the property and a description of its heritage attributes.

For districts designated under Part V, the municipal register must include a map or description of the area of each district.

The *Ontario Heritage Act* (subsection 27(1.2)) also allows a municipality to include properties of cultural heritage value or interest that have not been designated in its municipal register.

Why should a municipality include properties that have not been designated in its municipal register?

Including non-designated properties in the municipal register is a means to identify properties that have cultural heritage value or interest to the community. The municipal register is an important tool in planning for the conservation of heritage properties and provides interim protection from demolition.

A comprehensive register of cultural heritage properties:

- Recognizes properties of cultural heritage value or interest in the community.
- Demonstrates a municipal council's commitment to conserve cultural heritage resources.
- Enhances knowledge and understanding of the community's cultural heritage.
- Provides a database of properties of cultural heritage value or interest for land use planners, property owners, developers, the tourism industry, educators and the general public.
- Should be consulted by municipal decision makers when reviewing development proposals or permit applications.
- Provides interim protection from demolition (see below).

For more information on municipal registers, please contact the Ministry of Tourism, Culture and Sport at (416) 314-7265 or Toll Free at 1-866-454-0049 or general_info@mtc.gov.on.ca.

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How does inclusion in the municipal register provide interim protection from demolition?

An approved building permit from the municipality is required prior to demolition of a building. The *Ontario Building Code Act* provides mandatory time frames for the review of building permit applications. These include, for example, 10 days for a house and 20 days for a large building.

These building permit review time frames may not provide enough time for a municipality and its municipal heritage committee to assess the cultural heritage value or interest of properties where demolition is proposed.

To address this issue, the *Ontario Heritage Act* provides interim protection for non-designated properties that are included in the municipal register (see subsections 27 (3)-(5) of the *Ontario Heritage Act*). Owners of such properties must give the council of the municipality at least 60 days notice in writing of their intention to demolish or remove a building or structure on the property or to permit the demolition or removal of the building or structure. This allows time for the municipality to decide whether to begin the designation process.

What is the process to include properties in the municipal register?

Each municipality must list all properties that have been designated under Parts IV or V of the *Ontario Heritage Act* in the municipal register.

To include a property that has not been designated in the municipal register, a municipal council must believe that a property has cultural heritage value or interest and provide a description that is sufficient to readily identify the property, such as the property's street address.

Although detailed research and evaluation of the property are not required, it is suggested that a brief rationale be included that explains why a municipal council believes that the property is of cultural heritage value or interest. The municipality may want to consider the Criteria for Determining Cultural Heritage Value or Interest in [Ontario Regulation 9/06](#) under the *Ontario Heritage Act* when deciding which properties to include in the municipal register. For more information on heritage property evaluation, please refer to the guide to [Heritage Property Evaluation](#) in the Ontario Heritage Tool Kit.

In a municipality with a municipal heritage committee, council must consult with its committee before a property that has not been designated under Part IV is added or removed from the municipal register.

A municipality is not required to consult with property owners or the public before including non-designated properties in the municipal register. However, notifying the property owner that their property will be included in the municipal register is recommended. For example, when the Toronto Preservation Board (municipal heritage committee) recommends a property's inclusion on the municipal register, property owners are notified and invited to attend the Toronto Preservation Board meeting to discuss the matter.

Discussion with the broader community may also be helpful. The City of Kenora, for example, held a public forum to help decide which properties of heritage value or interest should be included in its municipal register.

Requests to include a property in the municipal register may come from anyone, including property owners, a municipal heritage committee, municipal staff, local historical societies or residents' associations.

What about existing heritage inventories?

In addition to the required municipal register of designated cultural heritage properties, many municipalities have existing inventories or lists of properties of potential cultural heritage value or interest. This practice is sometimes referred to as "listing".

If your municipality has an existing inventory of properties of cultural heritage value or interest, you may wish to consider the following questions when determining whether to include all or part of the inventory in the municipal register:

- Was the inventory previously adopted by the municipal heritage committee and/or municipal council?
- Is the inventory recognized in planning policy, such as the municipal Official Plan?
- Was the public consulted as part of the development of the inventory?
- Does the list consider the full range of properties that may have cultural heritage value or interest? For example, does the inventory include cultural heritage landscapes?

There are examples of municipal councils who have elected to "roll" all or part of an existing inventory into the municipal register, while others have undertaken a new process to identify properties. This would be an appropriate time to consider whether older inventories were compiled using criteria that are consistent with current heritage conservation best practice.

Can provincially owned heritage properties be included in the municipal register?

The *Ontario Heritage Act* allows a municipality to include provincially owned heritage properties in the municipal register. Provincially owned heritage properties are exempt from the provisions of Part IV of the Act, including the requirement to provide notice of intention to demolish or remove a building or structure on the property. Provincially owned heritage properties are not subject to designation by municipalities.

Provincially owned heritage properties are protected under Part III.1 of the *Ontario Heritage Act*, which gives the Minister of Tourism, Culture and Sport the authority to prepare standards and guidelines that set out the criteria and the process for the identification of properties that have cultural heritage value or interest, and set standards for the protection, maintenance, use and disposal of these properties. These standards and guidelines are known as

the [Standards and Guidelines for Conservation of Provincial Heritage Properties](#) (the “Standards and Guidelines”). The Standards and Guidelines came into effect on July 1, 2010 and apply to property that is owned or controlled by the provincial government. All provincial ministries and prescribed public bodies listed in [Ontario Regulation 157/10](#) must comply with the Standards and Guidelines.

Including a provincially owned heritage property in the municipal register indicates to the Province, as the property owner/manager, that the property has cultural heritage value or interest to the local community. The Standards and Guidelines require that decisions regarding provincial heritage properties be made in an open, accountable way, taking into account the views of interested persons and communities.

The information contained in this InfoSheet should not be relied upon as a substitute for specialized legal or professional advice in connection with any particular matter.

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