

---

## Meadowvale Heritage Conservation District Advisory Sub-Committee

**Date**

April 4, 2017

**Time**

1:30 p.m.

**Location**

Meadowvale Village Hall, 6970 Second Line West, Mississauga

**Members**

Jim Holmes, Citizen Member  
Brian Carmody, Citizen Member  
Janet Clewes, Citizen Member  
Gord MacKinnon, Citizen Member  
John McAskin, Citizen Member  
David Moir, Citizen Member  
Colleen Newmarch, Citizen Member  
Terry Wilson, Citizen Member  
Greg Young, Citizen Member  
David Dodaro, HAC Representative  
Paul McGuigan, HAC Representative

**Contact**

Karen Morden, Legislative Coordinator, Legislative Services  
905-615-3200 ext. 5471/ Fax 905-615-4181 / Email [karen.morden@mississauga.ca](mailto:karen.morden@mississauga.ca)

**NOTE:** To support corporate waste reduction efforts large appendices in agenda will not be printed. The appendices can be viewed at:  
<http://www.mississauga.ca/portal/cityhall/heritageadvisory.ca>.

**Find it online**

<http://www.mississauga.ca/portal/cityhall/heritageadvisory>

CALL TO ORDER

APPROVAL OF AGENDA

DECLARATIONS OF CONFLICT OF INTEREST

APPROVAL OF PREVIOUS MINUTES

Approval of Minutes of June 7, 2016 Meeting

DEPUTATIONS – Nil

MATTERS TO BE CONSIDERED

1. Request to Alter 1059 Old Derry Road  
Memorandum dated March 21, 2017 from Paula Wubbenhorst, Senior Heritage Coordinator, Culture Division.

**Recommendation**

That the request to alter the property at 1059 Old Derry Road be approved, as described in the Memorandum dated March 21, 2017 from Paula Wubbenhorst, Senior Heritage Coordinator, Culture Division.

2. Request to Alter 7059 Second Line West  
Memorandum dated March 24, 2017 from Cecilia Nin Hernandez, Heritage Coordinator, Culture Division. (*Note: Appendix 2 available online*)

**Recommendation**

That the request to alter the property at 7059 Second Line West be approved with the following conditions:

- a. That the proposed driveway be revised to reflect a reduction in driveway width to 4 metres, or 3 metres flanked with a sidewalk flush with the paving material of the driveway
- b. That permeable materials are supported for the driveway and flanking sidewalk
- c. That if any changes result from other City review and approval requirements, such as but not limited to building permit, committee of adjustment or site plan approval, a new heritage permit application will be required. The applicant is required to contact heritage planning at that time to review the changes prior to obtaining other approvals and commencing construction.

OTHER BUSINESS

DATE OF NEXT MEETING – To be determined.

ADJOURNMENT

## Meadowvale Heritage Conservation District Advisory Sub-Committee

**Date**

June 7, 2016

**Time**

1:30 p.m.

**Location**

Meadowvale Village Hall, 6970 Second Line West, Mississauga

**Members**

Jim Holmes, Citizen Member  
Brian Carmody, Citizen Member  
Gord MacKinnon, Citizen Member  
John McAskin, Citizen Member  
David Moir, Citizen Member  
Colleen Newmarch, Citizen Member  
Greg Young, Citizen Member

**Members Absent**

Janet Clewes, Citizen Member  
David Dodaro, HAC Representative  
Paul McGuigan, HAC Representative  
Terry Wilson, Citizen Member

**Staff Present**

Mark Warrack, Manager, Culture and Heritage Planning  
Paula Wubbenhorst, Senior Heritage Coordinator, Culture Division  
Cecilia Nin Hernandez, Heritage Coordinator, Culture Division  
Mumtaz Alikhan, Legislative Coordinator, Legislative Services Division

**Find it online**

<http://www.mississauga.ca/portal/cityhall/heritageadvisory>

CALL TO ORDER – 1:30pm

APPROVAL OF AGENDA

**APPROVED** ( G. Young)

DECLARATIONS OF CONFLICT OF INTEREST - Nil

APPROVAL OF PREVIOUS MINUTES

Approval of Minutes of January 5, 2016

**APPROVED** (B. Carmody)

DEPUTATIONS - Nil

MATTERS TO BE CONSIDERED

1. Request to Alter 7004 Second Line West

Paula Wubbenhorst, Senior Heritage Coordinator reviewed the Application.

In response to concerns with the state of the vacant lot requiring a clean-up, Rick Mateljan, Architect, Strickland Mateljan, advised that the Applicant is anxious to proceed with the alternation. Ms. Wubbenhorst confirmed that this item will be on the agenda of the Heritage Advisory Committee scheduled to meet on July 12, 2016.

**RECOMMENDATION**

MVHCDA-0006/2016

That the request to alter the property at 7004 Second Line West be approved with the following conditions:

1. No simulated dividers be employed on the windows.
2. The proposed replacement door be simplified.
3. Any repairs made to the original siding match the original material and dimensions.

**APPROVED** (C. March)

2. Request to Alter 7005 Pond Street

Ms. Wubbenhorst reviewed the Application. She stated that there are two trees to the rear wall which will probably need to be removed. She suggested that flexibility be permitted to allow the garage to be moved forward to save these trees. David Moir objected to this as his house will already be overpowered by the garage which will be taller than his heritage home. He said the two trees behind were not worth saving. Ms.

Wubbenhorst confirmed that tree removal will be subject to the Private Tree Protection By-law.

**RECOMMENDATION**

MVHCDA-0007/2016

That the request to alter the property at 7005 Pond Street be approved with the following condition:

1. No simulated dividers be employed on the windows.

**APPROVED** (D. Moir)

3. **Request to Alter 1011 Old Derry Road**

Ms. Wubbenhorst reviewed the Application.

Jim Holmes, Chair, advised that several members visited the site just before the commencement of this meeting to review the request.

Matt Ramsay, Jameson Pool, noted that there is no alternative in the backyard without some presence of a retaining wall in order to allow a swimming pool. He said an armour stone wall provides stability and will not be visible to backyards in the neighbourhood.

Sharon and Adrian Bubalo, Owners, stated that they wished to make the space usable for their family's enjoyment. Ms. Bubalo noted that the armour stone wall will be more cost effective. Mr. Bubalo stated that they have gone above and beyond to meet the City's guidelines and should not be punished for going through the process.

The Committee considered the request and felt that an armour stone wall will be a safer and functional option which will stand the test of time. The Committee felt that due to the proposed wall's invisibility to adjacent neighbours, it does not have a negative impact from a heritage perspective and that the Application be approved. Mr. Moir also noted that the proposed wall will prevent erosion washing onto his property.

**RECOMMENDATION**

MVHCDA-0008/2016

That the Meadowvale Village Heritage Conservation District Advisory Sub-Committee recommends the request to alter the property at 1011 Old Derry Road, be approved.

**APPROVED** (G. Young)

**OTHER BUSINESS**

1. Colleen Newmarch expressed concern about the appropriateness of the stone surface driveway at the Silverthorn property instead of gravel. Mark Warrack, Manager, Culture and Heritage Planning, advised that it is permitted if the stone surface is considered permeable.

2. Mr. Young said that he was prepared to pay for a fence behind the Community Centre. Ms. Cecilia Nin Hernandez, Heritage Coordinator, advised that if it is a privacy fence and is visible to the neighbourhood, a heritage permit is required.

DATE OF NEXT MEETING - Tuesday, August 9, 2016 at 1:30 a.m., Meadowvale Village Hall, 6970 Second Line West if required.

ADJOURNMENT – 2:25 p.m.

# City of Mississauga Memorandum



---

**To:** Chair and Members of the Meadowvale Village Heritage Conservation District Subcommittee

**From:** Paula Wubbenhorst, Senior Heritage Coordinator

**Date:** March 21, 2017

**Subject:** Request to Alter 1059 Old Derry Road

---

**Meeting Date:** April 4, 2017

**Recommendation:**

That the request to alter the property at 1059 Old Derry Road, as described below, be approved.

**Background:**

The subject property is designated under Part V of the *Ontario Heritage Act* as it forms part of the Meadowvale Village Heritage Conservation District (HCD). Council approved a partial demolition and addition to the property in 2016:

[http://www7.mississauga.ca/documents/agendas/committees/heritage/2016/2\\_-\\_02\\_09\\_16\\_-\\_HAC\\_Agenda.pdf](http://www7.mississauga.ca/documents/agendas/committees/heritage/2016/2_-_02_09_16_-_HAC_Agenda.pdf).

**Comments:**

Pre-finished wood windows comprise the approve drawings. The windows that have been installed are vinyl clad. As such, the owner requests a revised heritage permit for the vinyl clad windows. See appendices for revised drawings and photographs of the current condition, as well as a response from the owner.

The guidelines for additions in the HCD Plan (section 4.2.3) allow for “modern materials” for windows as long as they “have the visual appearance of traditional materials.” As such, the revision should be approved.

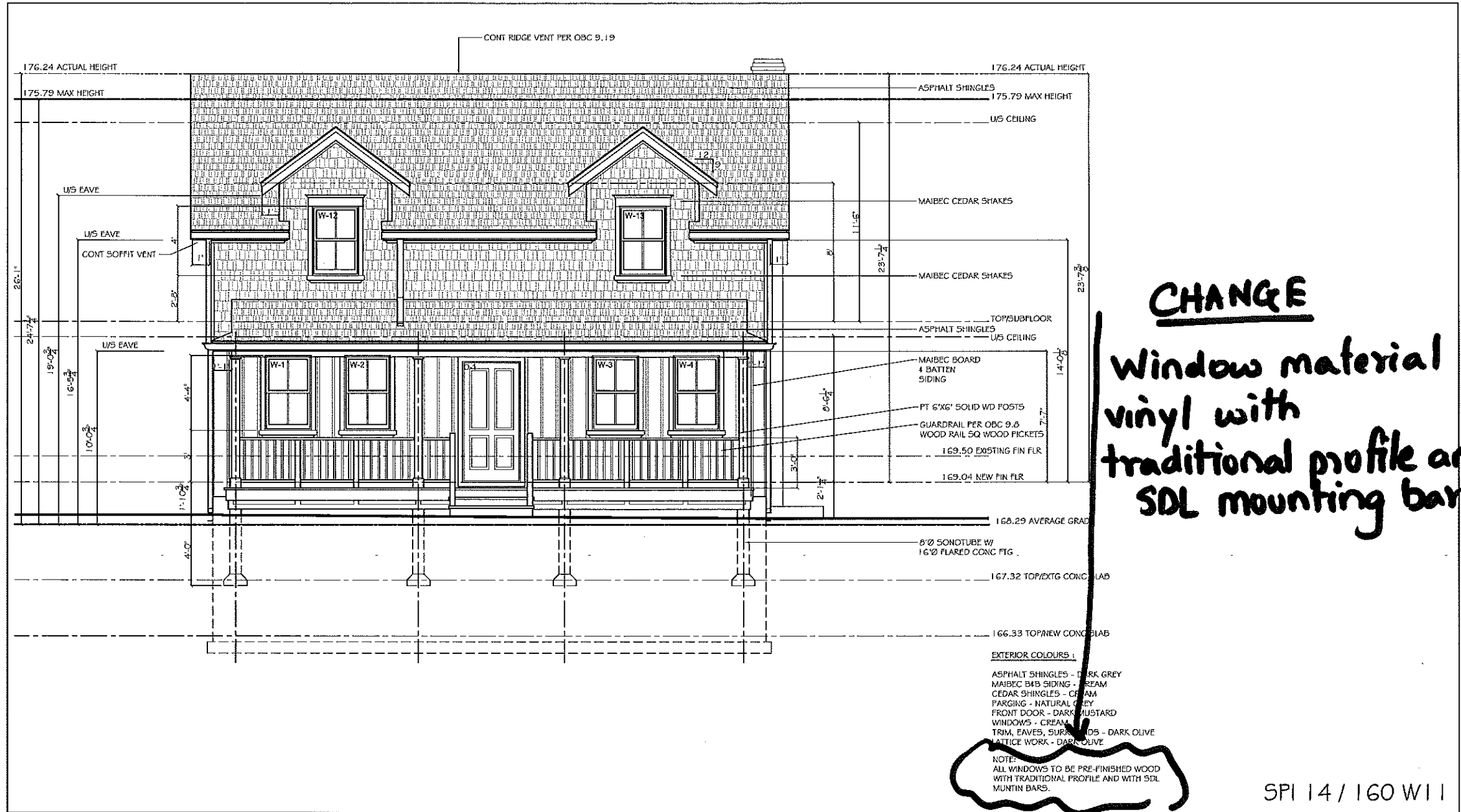
**Conclusion:**

The City is in receipt of an application to revise a previously issued heritage permit for a change in window material. As the change is permitted in the Meadowvale Village Heritage Conservation District Plan, it should be approved.

**Appendices:**

Appendix 1: Revised drawings  
Appendix 2: Response from owner, including photographs

P. Wubbenhorst  
Senior Heritage Coordinator  
Culture Division



No.	Revision/Issue	Date
1	REVISIONS PER SITE CONDITIONS	9.12.16

\*CONTRACTORS SHALL CHECK ALL DIMENSIONS IN THE WORK AND REPORT ANY DISCREPANCY TO ARCHITECT BEFORE PROCEEDING.

\*ALL DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF THE ARCHITECT AND MUST BE RETURNED AT THE COMPLETION OF THE WORK.

\*THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION UNTIL SIGNED BY THE ARCHITECT.

\*DRAWINGS ARE NOT TO BE SCALED.



Christopher Wallace  
Architect

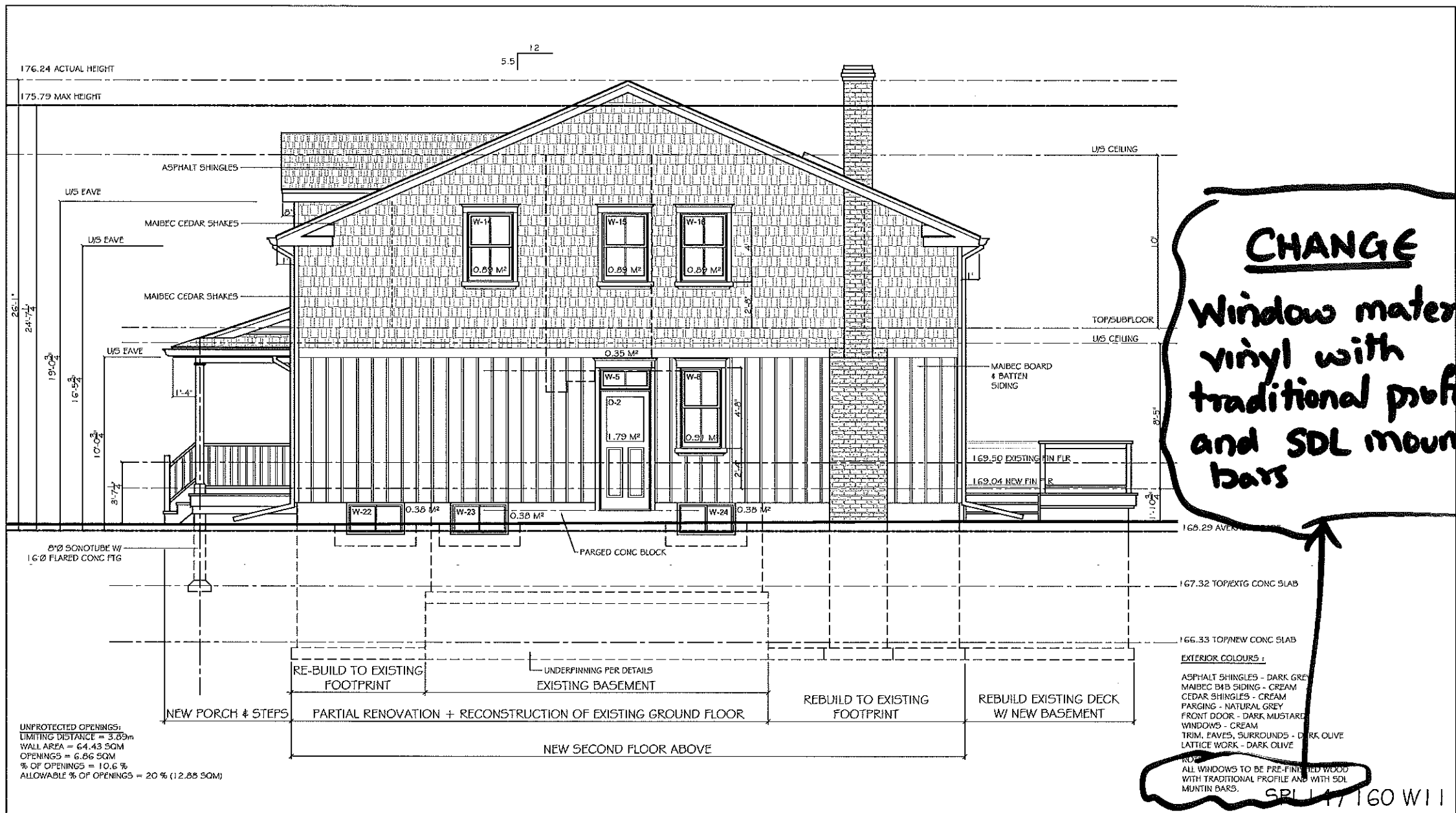
4476 COUNTY ROAD 10  
PORT HOPE, ONTARIO, L1A 3V5  
Tel: (905) 753-1122 Fax: (905) 753-2666

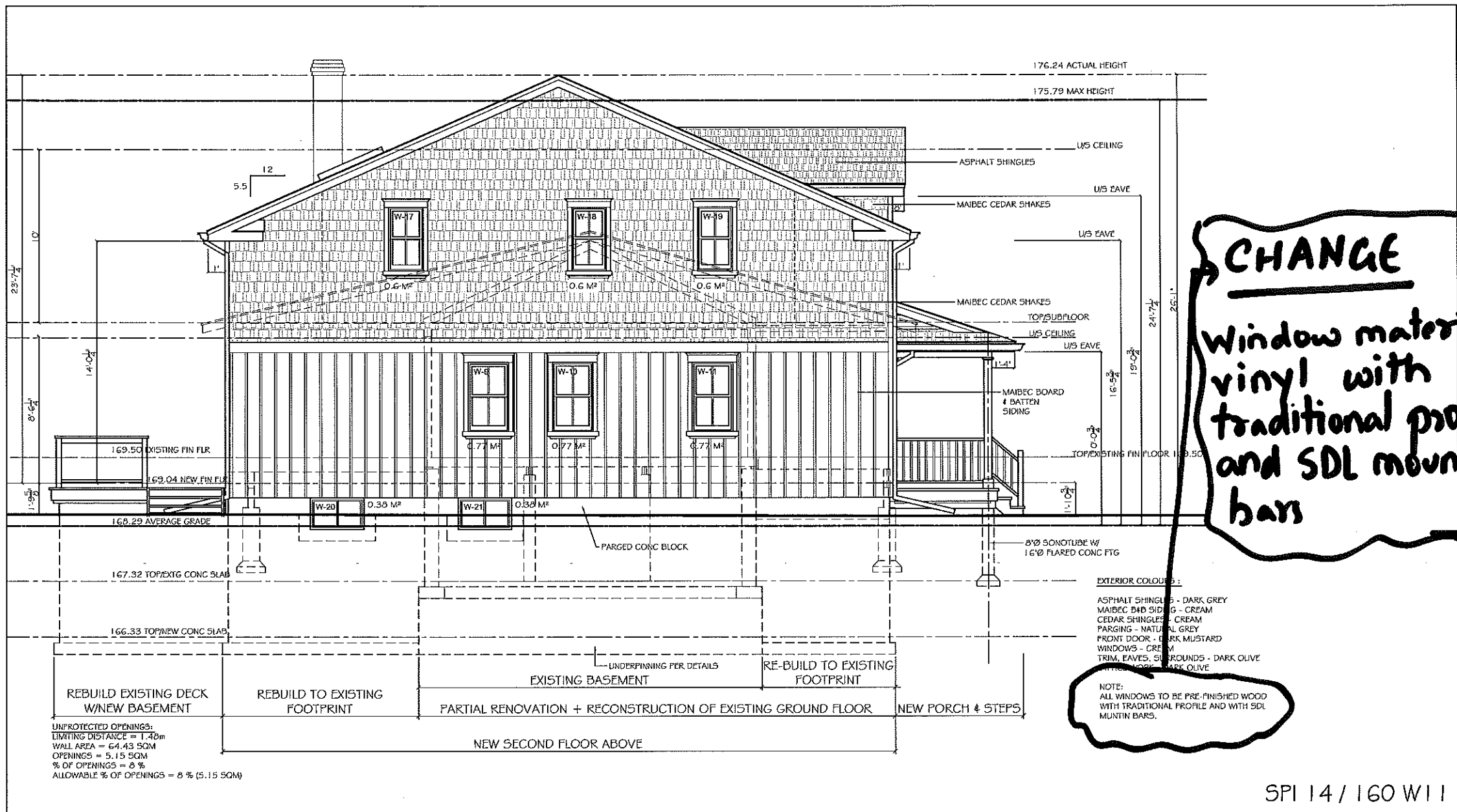
Project Name & Address:  
PROPOSED 2ND STOREY ADDITION  
# RENOVATIONS FOR:  
LEW D'SOUZA (647)638-6091  
llew@lyn27@yahoo.com  
GWEN D'SILVA (647)895-6092  
gwendysilva@gmail.com  
1059 OLD DERRY RD,  
MEADOWVALE VILLAGE

FRONT ELEVATION  
(SOUTH-EAST)

Project No.	296	Sheet	A2.1
Date	OCTOBER 2, 2014		
Scale	3/16"=1'-0"		







12/09/2016 10:26:26 AM

No.	Revision/Issue	Date
1	REVISIONS PER SITE CONDITIONS	9.12.16

\*CONTRACTORS SHALL CHECK ALL DIMENSIONS IN THE WORK AND REPORT ANY DISCREPANCY TO ARCHITECT BEFORE PROCEEDING.  
\*ALL DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF THE ARCHITECT AND MUST BE RETURNED AT THE COMPLETION OF THE WORK.  
\*THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION UNTIL SIGNED BY THE ARCHITECT.  
\*DRAWINGS ARE NOT TO BE SCALED.

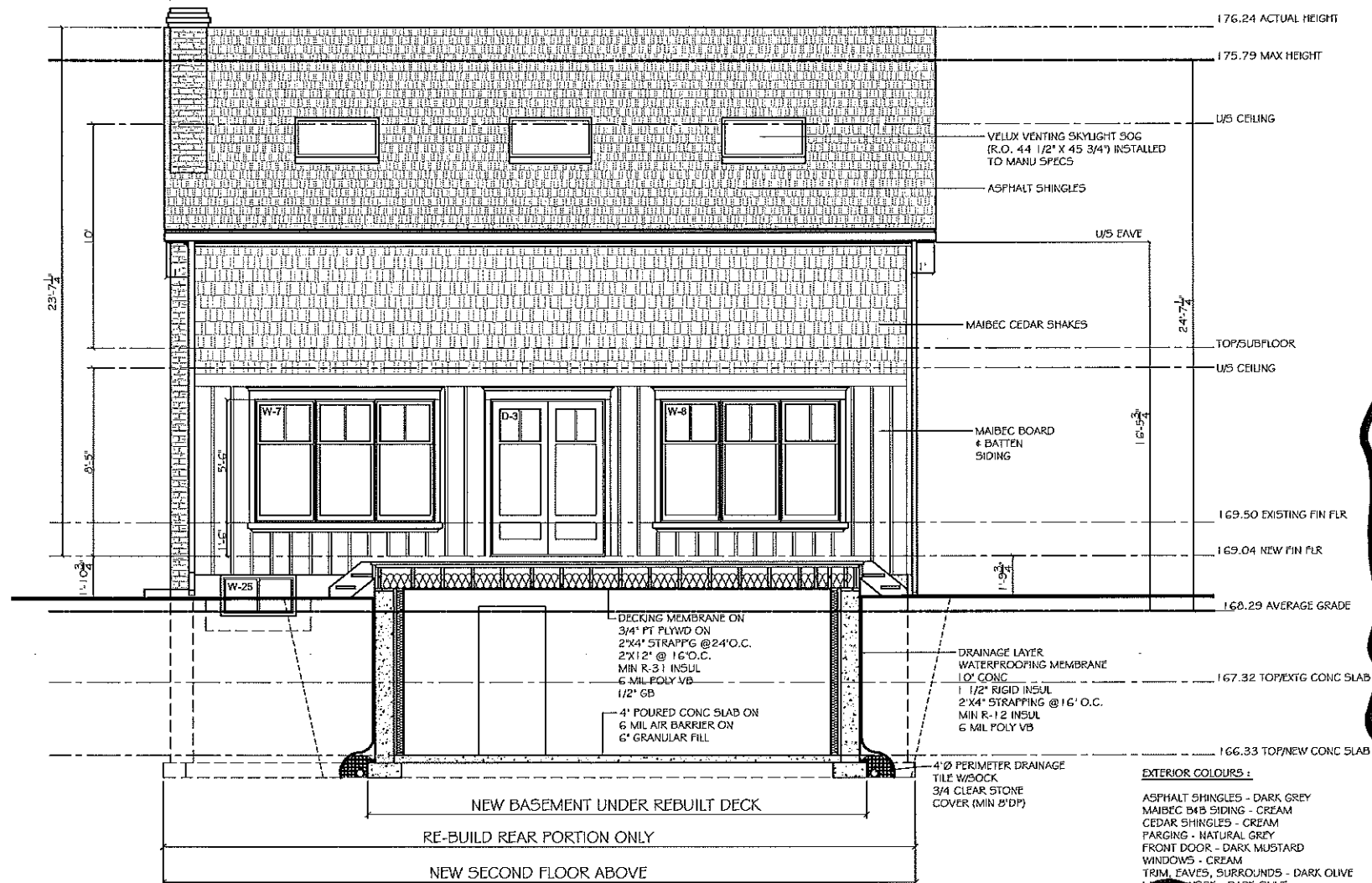


Christopher Wallace  
Architect

4476 COUNTY ROAD 10  
PORT HOPE, ONTARIO, L1A 3V5  
Tel: (905) 753-1122 Fax: (905) 753-2668

Project Name & Address  
PROPOSED 2ND STOREY ADDITION  
& RENOVATIONS FOR:  
LEW D'SOUZA (647)638-6091  
llewwlyn27@yahoo.com  
GWEN D'SILVA (647)895-6092  
gwendsilva@gmail.com  
1059 OLD DERRY RD,  
MEADOWVALE VILLAGE

Title LEFT-SIDE ELEVATION (SOUTH-WEST)	
Project No. 896	Sheet A2.4
Date OCTOBER 2, 2014	Scale 3/16" = 1'-0"



**CHANGE**

Window material  
vinyl with  
traditional profile  
and SDL mounting  
bars

SPI 14 / 160 W11

No.	Revision/Issue	Date
1	REVISIONS PER SITE CONDITIONS	9.12.16

\*CONTRACTORS SHALL CHECK ALL DIMENSIONS IN THE WORK AND REPORT ANY DISCREPANCY TO ARCHITECT BEFORE PROCEEDING.  
\*ALL DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF THE ARCHITECT AND MUST BE RETURNED AT THE COMPLETION OF THE WORK.  
\*THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION UNTIL SIGNED BY THE ARCHITECT.  
\*DRAWINGS ARE NOT TO BE SCALED.



Christopher Wallace  
Architect

4476 COUNTY ROAD 10  
PORT HOPE, ONTARIO, L1A 3V5  
Tel: (905) 753-1122 Fax: (905) 753-2668

Project Name & Address:  
PROPOSED 2ND STOREY ADDITION  
& RENOVATIONS FOR:  
LEW D'SOUZA (647) 638-6091  
llew@lyn27@yahoo.com  
GWEN D'SILVA (647) 895-6092  
gwendsilva@gmail.com  
1059 OLD DERRY RD,  
MEADOWVALE VILLAGE

REAR ELEVATION (NORTH-WEST)	
Project No. 896	Sheet A2.3
Date OCTOBER 2, 2014	
Scale 3/16" = 1'-0"	

**Response to Order to Comply Issued by City of Mississauga.**

**Issue:** The windows installed at 1059 Derry Road while meeting the drawing requirements for style and design (double hung with saddle bars) do not match drawing proposal for material (pre finished wood). The owner is requesting a variance to accommodate existing windows.

**Root Cause:**

After framing construction was completed in early December, I was in a hurry to close the house before winter set in. When I ordered the windows, I used the window schedule page which has no mention of the requirement for prefinished wood windows. After installation, I found out that there is a note on 3 pages of the 20-page packet which details the material of the windows. As such this was a misstep on my part.

**Rationale for Request to Approve**

- The original house prior to renovation did not have wood windows (See figure 1 from Heritage Impact Assessment). An argument could therefore be made that the new windows merely replace the old windows of the house in like material. In fact, the original windows were Slider windows (slide right to left) of vinyl whereas the replacement windows are more heritage looking by being double hung and sliding up- down. I have saved one of the original home windows on the property.
- Replacing all the 18 windows will place an enormous hardship on me from a financial perspective.
- Another issue relates to damage that would occur to the new wood siding which would occur if the windows were removed, adding a further cost hardship
- Additionally, if my occupancy approval is pushed out due to this issue, I would be forced to find alternate accommodation as my current accommodation (rental) expires in April.

One of the ways I have already tried to remedy the issue is by dressing up the window with wood trim instead of pvc or vinyl. (See figure 2 – Close up view). This ensures that anyone looking at the house from the street view sees a property that blends in with the heritage character of the village.

## 5. The Existing Buildings

The District Inventory succinctly describes the existing house; “A one storey frame structure of modest proportions, gable ends and finished in vertical wood siding.”

We can elaborate that description as follows: The building is a one-storey 5-bay dwelling with a shallow side-gable roof. The house is 9.85 metres wide by 11.78 metres deep. The house is set about 6.3 metres back from the front lot line, with sideyards of about 3.9 metres on the east and 1.5 metres on the west. There is a small exterior masonry chimney near the mid-point of the west wall. The house is clad in grey board-and-batten siding. The windows are modern 2-light sliders, fitted with mock shutters. The roof is asphalt shingles.



Figure 6. Front (south) elevation.

*Figure 1~ 1059 Old Derry Road Street view – Excerpt from Heritage Impact Statement*

## Appendix 2



*Figure 2: Close up of window on North West side - Double hung window with saddle bars dressed with wood trim & wood window sill*

### Alternate Proposal

An alternate proposal I have is to use a product called “ Wood Graining technology” which uses a product from Color Bond. The process in essence can only be done in summer when temperatures are above 20C. It involves polishing each window with a wood grain paste and then sanding off the excess grain to give a wood finish look



**PICTURES OF WINDOWS AT 1059 OLD DERRY ROAD**



*Figure 3: South East*

## Appendix 2



Figure 4: North East



Figure 5: North West



## Appendix 2



*Figure 6: South West*

## Appendix 2



# City of Mississauga Memorandum



---

**To:** Chair and Members of the Meadowvale Village Heritage Conservation District Subcommittee

**From:** Cecilia Nin Hernandez, Heritage Coordinator

**Date:** March 24, 2017

**Subject:** Request to Alter 7059 Second Line West

---

**Meeting Date:** April 4, 2017

**Recommendation:**

1. That the request to alter the property at 7059 Second Line West, as described below, be approved with the following conditions:
  - a. That the proposed driveway be revised to reflect a reduction in driveway width to 4 metres, or 3 metres flanked with a sidewalk flush with the paving material of the driveway
  - b. That permeable materials are supported for the driveway and flanking sidewalk
  - c. That if any changes result from other City review and approval requirements, such as but not limited to building permit, committee of adjustment or site plan approval, a new heritage permit application will be required. The applicant is required to contact heritage planning at that time to review the changes prior to obtaining other approvals and commencing construction.

**Background:**

The subject property is designated under Part V of the *Ontario Heritage Act* as it forms part of the Meadowvale Village Heritage Conservation District (HCD). Changes to the property are subject to the Meadowvale Village Heritage Conservation District Plan, 2014 and require a heritage permit. The proposal is also subject to other City approvals such as, but not limited to, Site Plan approval, Committee of Adjustment and a building permit.

**Comments:**

The proposal includes a small addition to the existing 1 storey flat roofed addition in the rear, relocation and widening of the driveway to accommodate a required fire route and parking spaces, as well as a pathway, and changes to the building as per the attached drawings, including a fire escape, change to front door swing and removal of rear window.

The HCD Plan identifies the above as substantive alterations therefore requiring a heritage permit. In order to mitigate the impact to the Heritage District, Mississauga Fire has proposed that the driveway may be 4 m wide in total (3 metres flanked with a sidewalk flush with the paving material of the driveway). The HCD Plan supports permeable paving therefore permeable paving should be used as much as possible for the fire route.

The design for the addition is small, the flat roofline is continued from the existing roof line of the existing modern addition, and it is located in the rear, in an inconspicuous side of the building. The addition therefore does not detract from the existing Edwardian era portion of the building. Two new door openings and a fire escape are located at the rear of the building

limiting the visibility and away from the mainly visible facades from the public realm. These concepts are sympathetic with the guidelines for additions (section 4.2.3) in the HCD Plan. As such, the proposal should be approved.

**Conclusion:**

The City is in receipt of an application to revise a previously issued heritage permit for a change in window material. As the change is permitted in the Meadowvale Village Heritage Conservation District Plan, it should be approved.

**Appendices:**

Appendix 1: Architectural Drawings

Appendix 2: Heritage Impact Assessment and Conservation Plan

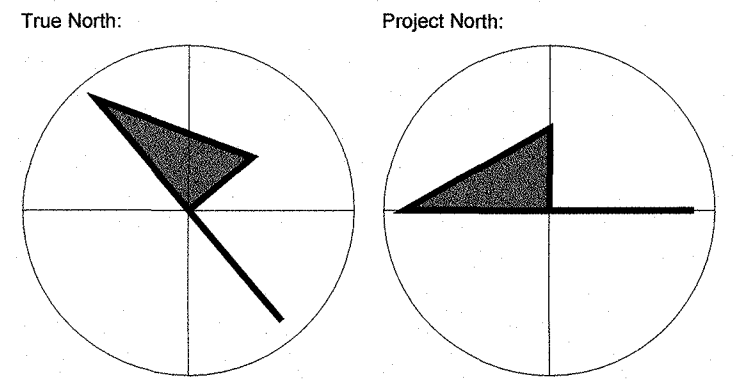
C. Nin Hernandez  
Heritage Coordinator  
Culture Division











Key Plan:

SP 16/149 W11

6	Mar 21/17	Heritage re-application	R.M.
5	Feb 3/17	For Pricing	A.B.
4	Jan 9/17	Structure Added	A.B.
3	Oct 14/16	Revisions Per Staff Comments	A.B.
2	Sept 7/16	Submitted for Pre-Consultation	A.B.
1	Aug 16/16	For Site Plan	R.M.
No.	Date	Issued/Revision	By:

Architect:

**B J A**  
LIVE THE DREAM

Belinda Jones Architect  
159 Martin Street  
Wilton ON  
L2T 2P3

P 416-662 6024

Structural Engineer:

**centric**  
ENGINEERING  
STRUCTURAL ENGINEERS

200 Queens Avenue, Suite 301  
London ON N6A 1J3  
Tel: 905 842 2848  
centricengineering.ca

Prime Consultant:

**SM DA** Strickland  
Mateljan  
Design + Architecture

79 Wilson Street, Suite 301  
Oakville ON L6K 3G4  
Tel: 905 842 2848  
smda.ca

©2017 - Copyright - These drawings and specifications are confidential and shall remain the sole property of the individuals whose professional seals are attached hereto. They shall not be reproduced (in whole or in part), shared with third parties or used in any manner on other projects without their written consent. These drawings and specifications are intended to show only design intent unless marked "Issued for Construction" and may not reflect actual site conditions. The contractor is to verify all dimensions and site conditions on the project and report any discrepancies immediately. Construction must conform to all applicable Codes and Requirements of Authorities having jurisdiction. Unless otherwise noted, these drawings do not address issues of shoring, protection or support of existing works during the construction process. Do not scale drawings. Submit shop drawings for approval. No party shall have any obligation nor liability (except as stated above) until a written agreement is fully executed by all parties.

Project: 7059 Second Line West, Mississauga ON

**Rotherglen School**  
**Meadowvale Campus**

1 Storey Addition and Conversion of Existing 3-Storey  
Dwelling Into Learning Centre

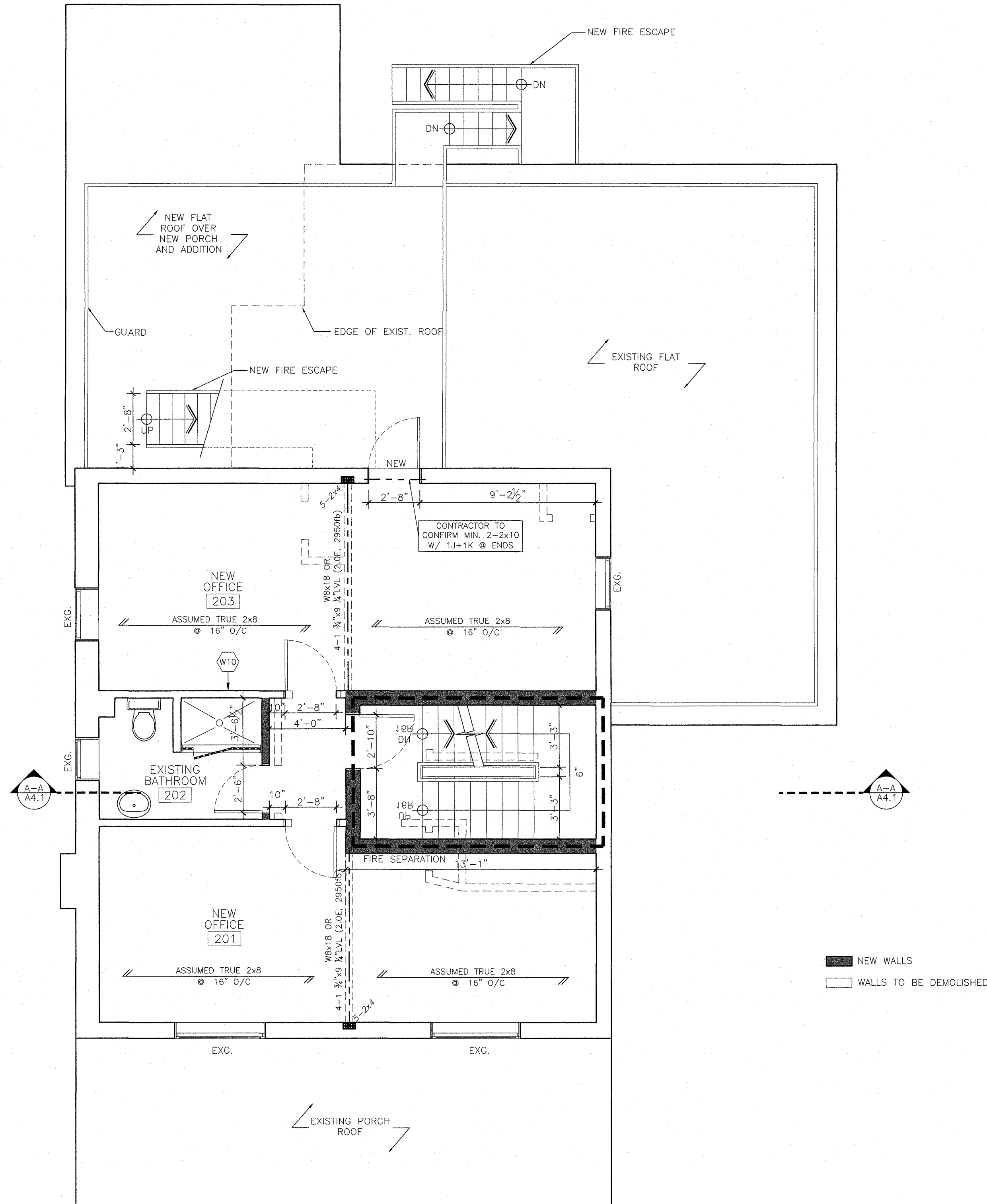
Sheet Title:

**Second Floor Plan**  
**Third Floor Plan**

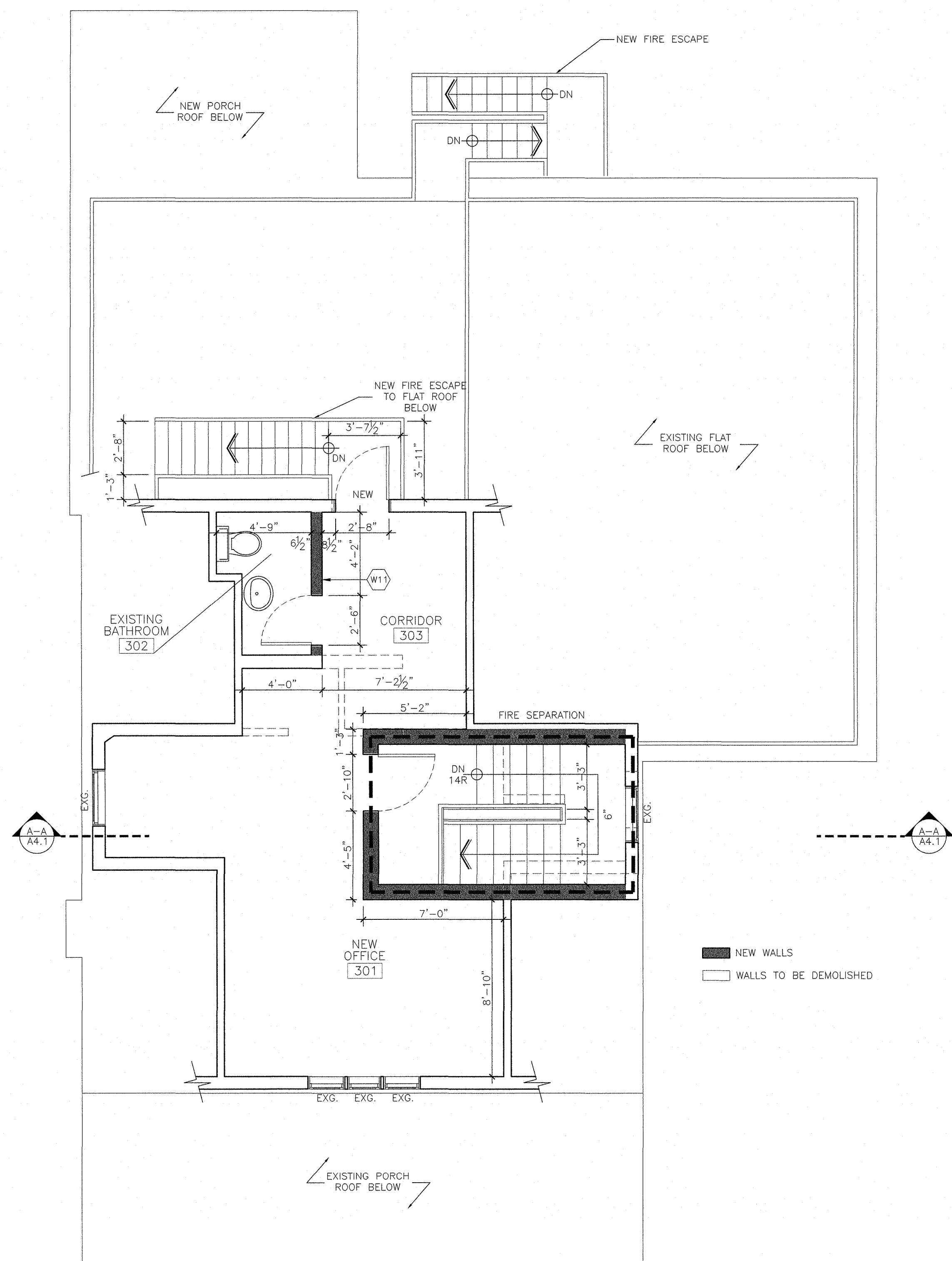
Scale:	Date:	Project No:
1/4"=1'-0"	Aug 2016	16.16

Drawing No:

**A002.1**



1 SECOND FLOOR PLAN  
A2.1

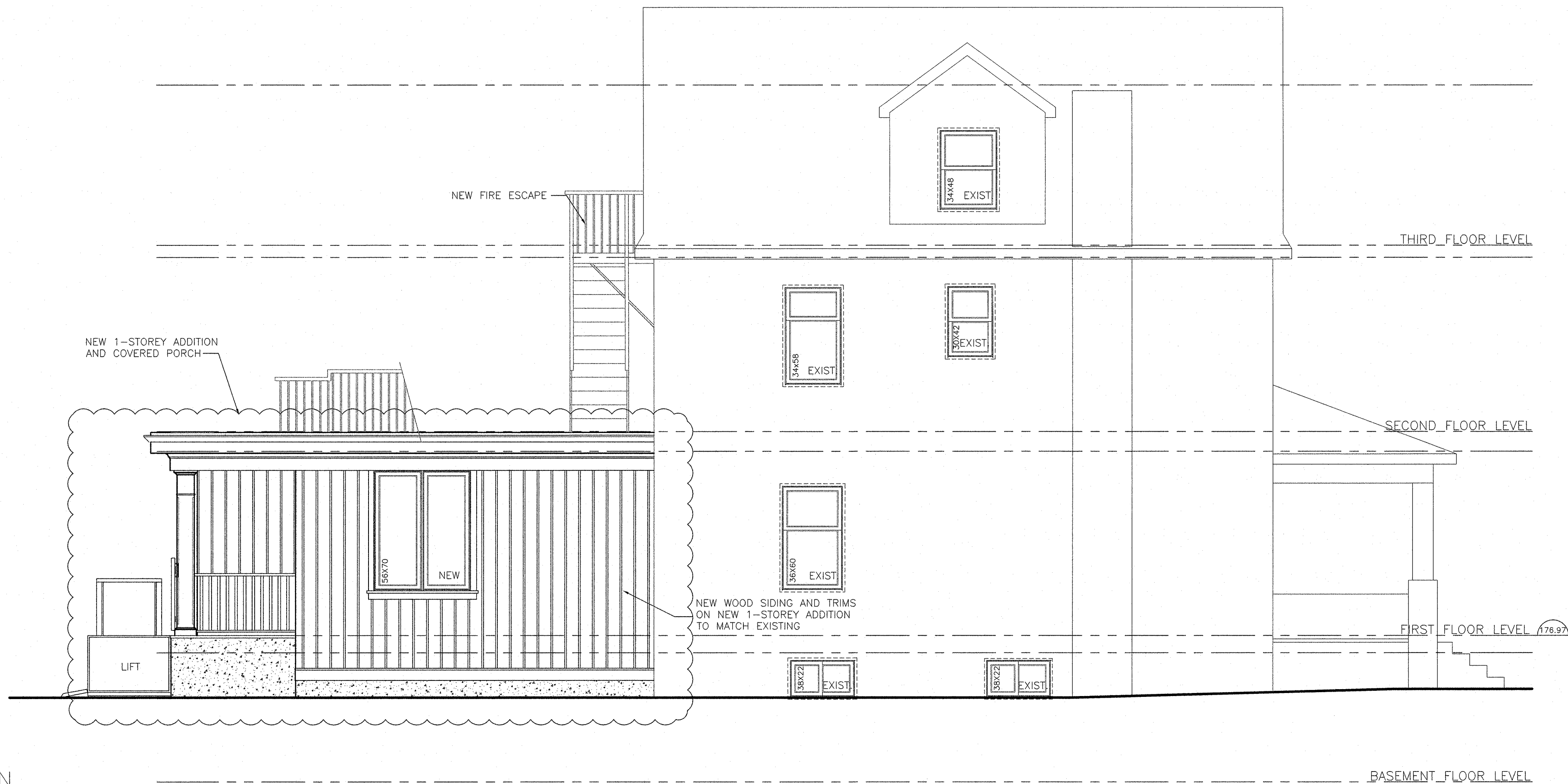


2 THIRD FLOOR PLAN  
A4.1

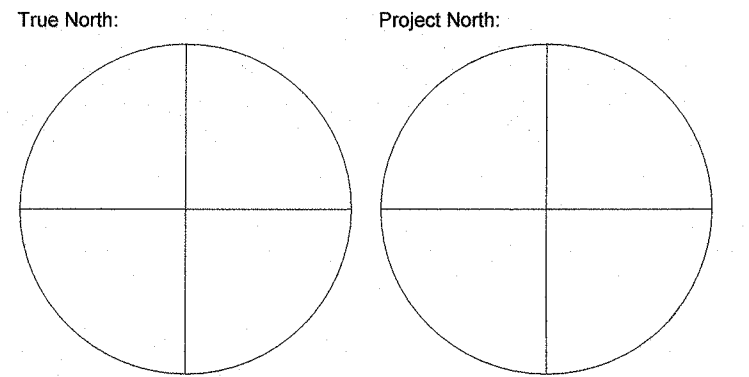




1 FRONT ELEVATION  
A3.0



2 NORTH ELEVATION  
A003.0



Key Plan:

SP 16/149 W11

6	Mar 21/17	Heritage re-application	R.M.
5	Feb 3/17	For Pricing	A.B.
4	Jan 8/17	Structure Added	A.B.
3	Oct 14/16	Revisions Per Staff Comments	A.B.
2	Sept 7/16	Submitted for Pre-Consultation	A.B.
1	Aug 18/16	For Site Plan	R.M.
No.	Date	Issued/Revision	By:

Architect:

**B J A**  
LIVE THE DREAM  
Belinda Jones Architect  
159 Martin Street  
Wilton ON  
L9T 2B3  
P 416-662 6024

Structural Engineer:

**centric**  
ENGINEERING  
STRUCTURAL ENGINEERS

200 Queens Avenue, Suite 301  
London ON N6A 1J3  
Tel: 905 842 2848  
centricengineering.ca

Prime Consultant:

**SM DA** Strickland  
Mateljan  
Design + Architecture

79 Wilson Street, Suite 301  
Oakville ON L6K 3G4  
Tel: 905 842 2848  
smda.ca

©2017 - Copyright - These drawings and specifications are confidential and shall remain the sole property of the individuals whose professional seals are attached hereto. They shall not be reproduced (in whole or in part), shared with third parties or used in any manner on other projects without their written consent. These drawings and specifications are intended to show only design intent unless marked "Issued for Construction" and may not reflect actual site conditions. The contractor is to verify all dimensions and site conditions on the project and report any discrepancies immediately. Construction must conform to all applicable Codes and Requirements of Authorities have Jurisdiction. Unless otherwise noted, these drawings do not address issues of shoring, protection or support of existing works during the construction process. Do not scale drawings. Submit shop drawings for approval. No party shall have any obligation nor liability (except as stated above) until a written agreement is fully executed by all parties.

Project: 7059 Second Line West, Mississauga ON

**Rotherglen School**  
**Meadowvale Campus**  
1 Storey Addition and Conversion of Existing 3-Storey  
Dwelling Into Learning Centre

Sheet Title:

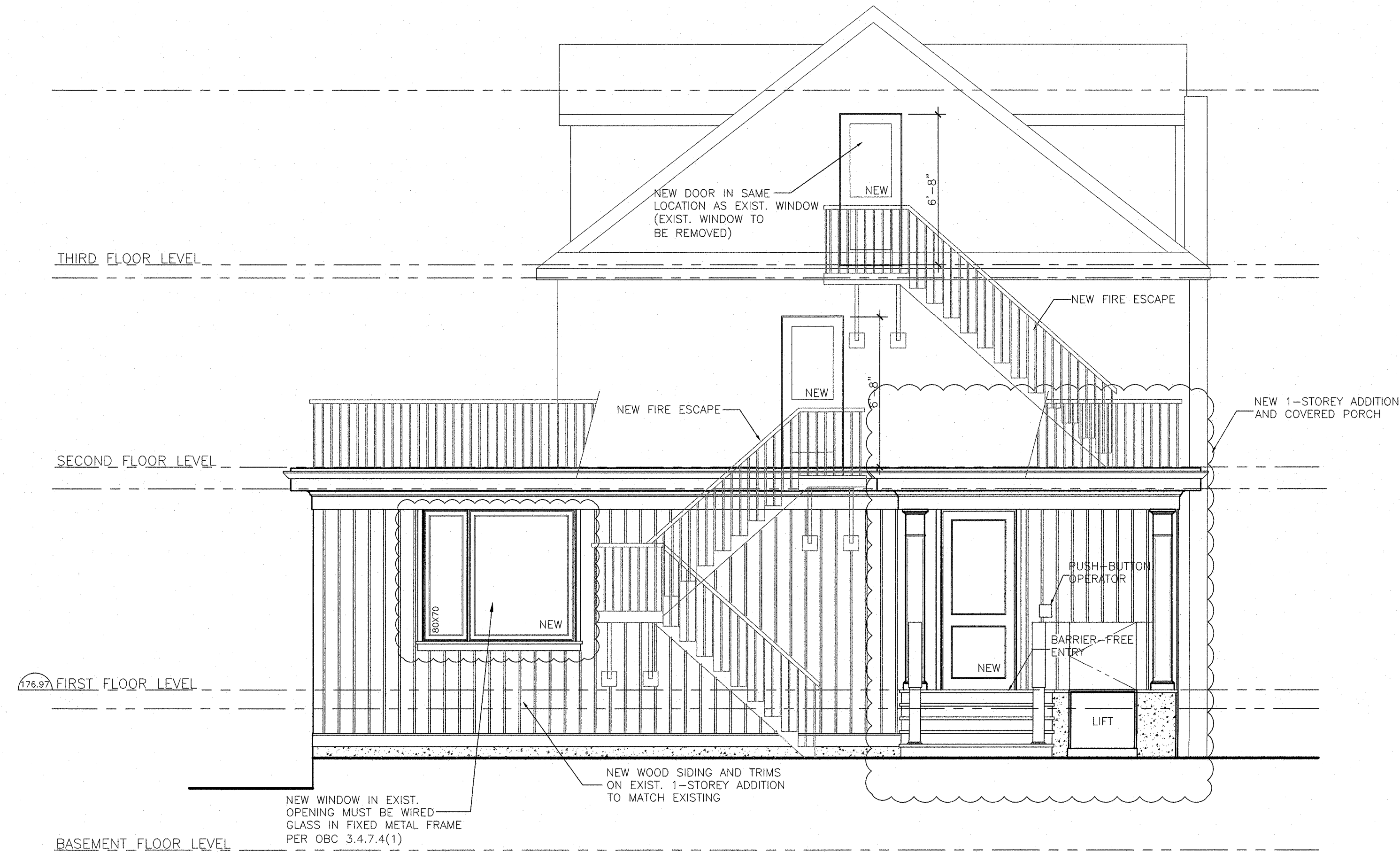
Front Elevation  
North Elevation

Scale:	Date:	Project No:
1/4"=1'-0"	Aug 2016	16.16

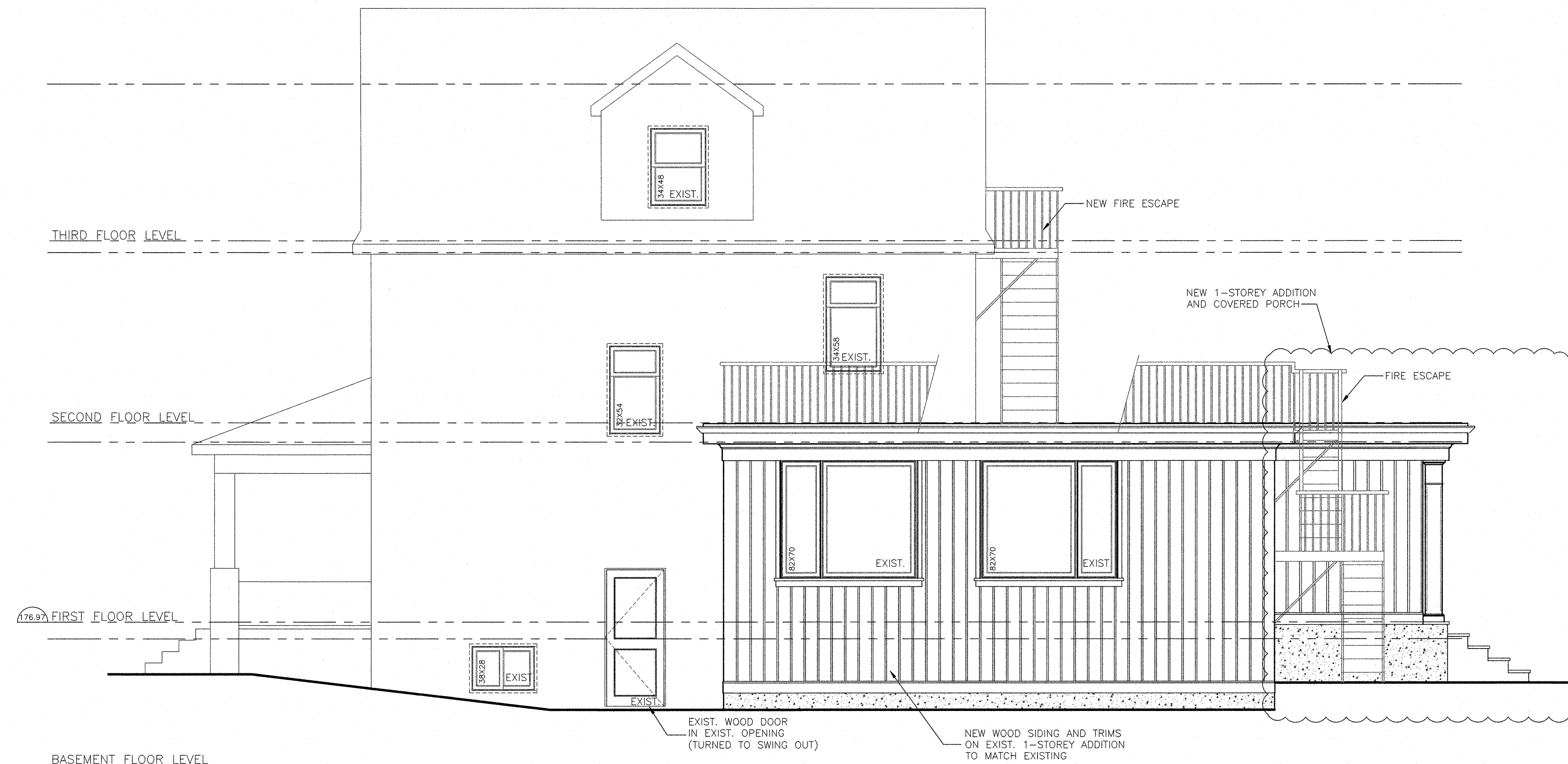
Drawing No:

**A003.0**

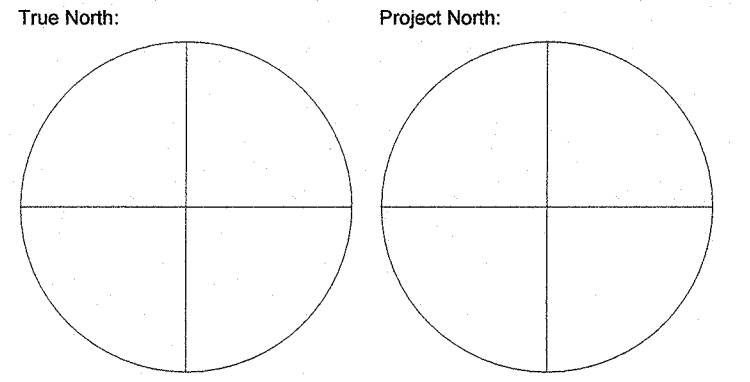




1 EAST ELEVATION  
A3.1



2 SOUTH ELEVATION  
A3.1



Key Plan:

SP 16/149 W11

6	Mar 21/17	Heritage re-application	R.M.
5	Feb 3/17	For Pricing	A.B.
4	Jan 9/17	Structure Added	A.B.
3	Oct 14/16	Revisions Per Staff Comments	A.B.
2	Sept 7/16	Submitted for Pre-Consultation	A.B.
1	Aug 16/16	For Site Plan	R.M.
No.	Date	Issued/Revision	By:

Architect:

**B J A**  
LIVE THE DREAM  
Belinda Jones Architect  
153 Martin Street  
Mississauga, ON  
L4Y 2R3  
P 416-662-6024

Structural Engineer:

**centric**  
ENGINEERING  
STRUCTURAL ENGINEERS

200 Queens Avenue, Suite 301  
London ON N6A 1J3  
Tel: 905 642 2848  
centricengineering.ca

Prime Consultant:

**SM DA** Strickland  
Mateljan  
Design + Architecture

79 Wilson Street, Suite 301  
Oakville ON L6K 3G4  
Tel: 905 642 2848  
smda.ca

©2017 - Copyright - These drawings and specifications are confidential and shall remain the sole property of the individuals whose professional seals are attached hereto. They shall not be reproduced (in whole or in part), shared with third parties or used in any manner on other projects without their written consent. These drawings and specifications are intended to show only design intent unless marked "Issued for Construction" and may not reflect actual site conditions. The contractor is to verify all dimensions and site conditions on the project and report any discrepancies immediately. Construction must conform to all applicable Codes and Requirements of Authorities having Jurisdiction. Unless otherwise noted, these drawings do not address issues of shoring, protection or support of existing works during the construction process. Do not scale drawings. Submit shop drawings for approval. No party shall have any obligation nor liability (except as stated above) until a written agreement is fully executed by all parties.

Project: 7059 Second Line West, Mississauga ON

**Rotherglen School**  
**Meadowvale Campus**  
1 Storey Addition and Conversion of Existing 3-Storey  
Dwelling Into Learning Centre

Sheet Title:

**East Elevation**  
**South Elevation**

Scale:	Date:	Project No:
1/4"=1'-0"	Aug 2016	16.16

Drawing No:

**A003.1**

~~NOVEMBER, 2016~~  
~~REVISED FEBRUARY 9, 2017~~  
 REVISED MARCH 21, 2017

# HERITAGE IMPACT STUDY

## IMPACT OF PROPOSED RENOVATION

### 7059 SECOND LINE W., MISSISSAUGA



**\$1,995<sup>00</sup> and Our FREE BUILDING PLANS**  
 WILL BUILD, PAINT AND COMPLETE, READY FOR  
 OCCUPANCY, THIS MODERN NINE-ROOM HOUSE

HOW TO GET ANY OF OUR PLANS FREE FULLY EXPLAINED ON PAGE 2



MODERN HOME No. 52

Concrete Block Construction. Our floor plans are illustrated in a few of the materials we supply to this our \$1,995.00 house.

**OUR \$1,995.00 HOUSE:**

Complete plans, including all blue prints and

complete list of materials, delivered to your door.

FIRST FLOOR:

Kitchen - 10 feet by 11 feet

Dining Room - 11 feet by 11 feet

Living Room - 11 feet by 11 feet

Bedroom - 11 feet by 11 feet

Bathroom - 5 feet by 7 feet

Second Floor:

Bedroom - 11 feet by 11 feet

Bedroom - 11 feet by 11 feet

Bathroom - 5 feet by 7 feet

Bedroom - 11 feet by 11 feet

Bedroom - 11 feet by 11 feet

Bathroom - 5 feet by 7 feet

Bedroom - 11 feet by 11 feet

Bedroom - 11 feet by 11 feet

Bathroom - 5 feet by 7 feet

Bedroom - 11 feet by 11 feet

Bedroom - 11 feet by 11 feet



The Arrangement of Our Houses

is shown in the floor plans and in the

illustrations of the houses. The

arrangement of the houses is

shown in the floor plans and in the

illustrations of the houses. The

arrangement of the houses is

shown in the floor plans and in the

illustrations of the houses. The

arrangement of the houses is

shown in the floor plans and in the

illustrations of the houses. The

arrangement of the houses is

DO NOT ATTEMPT BUILDING WITHOUT PLANS. \$100.00 for plans and \$100.00 for materials. Total \$200.00. If you want to see the plans and materials, call us at 1-800-555-1234. We will send you the plans and materials for free. If you want to see the plans and materials, call us at 1-800-555-1234. We will send you the plans and materials for free. If you want to see the plans and materials, call us at 1-800-555-1234. We will send you the plans and materials for free.

Write, Strickland & Co., Chicago, Ill.

81

BOOK OF MODERN HOMES

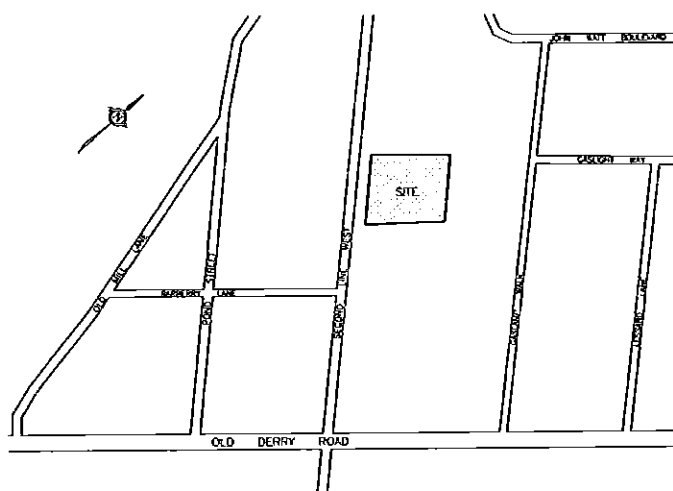
## Overview:

This report is prepared to address the proposed re-development of the property at 7059 Second Line W., Mississauga, ON from a single family residence to programming space and offices associated with the neighbouring Rotherglen School at 929 Old Derry Rd., Mississauga ON.

Rick Mateljan of Strickland Mateljan Design Associates Ltd. was engaged by the property owner to carry out a sympathetic adaptive re-use to this heritage building and to complete a Heritage Impact Study to assess the impact of this intervention.

A Chain of Title search was performed by Stephen Nott Conveyancing Services. Their report is appended to this report.<sup>1</sup>

## Key map:



## Meadowvale Village - Overview:

Meadowvale Village was first settled in 1819 when 26 United Empire Loyalist families emigrated from New York State and took advantage of government land grants in this area. The land was at that time covered by pine forest but the settlers quickly understood the agricultural promise of the land and the community prospered. By the 1850's there were several mills, two hotels, a wagon shop, foundry and a school.<sup>2</sup>

The village retained its character and many of its original buildings through the 20<sup>th</sup> century. In 1980, in the face of a proposal to widen Derry Rd. West, demolish some original buildings and irreparably change the character of the community, local residents succeeded in having this designated Ontario's first Heritage Conservation District.

<sup>1</sup> In some cases the dates in recorded histories vary from those in the title search document – where there is a conflict the title search dates are used

<sup>2</sup> A Heritage Tour – Meadowvale Village (Heritage Mississauga)(pamphlet)

## Terms of Reference

The City required terms of reference are as follows:

1. A detailed site history to include a listing of owners from the Land Registry Office, and a history of the site use(s). However, please note that due to the Freedom of Information and Protection of Privacy Act, current property owner information must not be included. As such, Heritage Planning will request that current property owner personal information be redacted to ensure the reports comply with the Act.

2. A complete listing and full written description of all existing structures, natural or man-made, on the property. Specific mention must be made of all the heritage resources on the subject property which include, but are not limited to: structures, buildings, building elements (like fences and gates), building materials, architectural and interior finishes, natural heritage elements, landscaping, and archaeological resources. The description will also include a chronological history of the structure(s) developments, such as additions, removals, conversions, alterations etc.

The report will include a clear statement of the conclusions regarding the significance and heritage attributes of the cultural heritage resource.

A location map must be provided, with indications of existing land use, zoning, as well as the zoning and land use of adjacent properties.

3. Documentation of the existing conditions related to the heritage resource will include:

-Current legible internal photographs, external photographs from each elevation.

Please note that due to the Freedom of Information and Protection of Privacy Act, photographs should not contain people or highlight personal possessions. The purpose of the photographs is to capture architectural features and building materials.

-Measured drawings, including elevations, floor plans, and a site plan or survey, at an appropriate scale for the given application, indicating the context in which the heritage resource is situated.

-Historical photos, drawings, or other archival material that may be available or relevant.

The applicant must provide a description of all relevant municipal or agency requirements which will be applied to the subject property, and when implemented may supplement, supersede and/or affect the conservation of heritage resources (i.e. Building Code requirements, Zoning requirements, Transportation and Works requirements.)

4. An outline of the proposed development, its context and how it will impact the heritage resource and neighbouring properties will be provided. This may include such issues as the pattern of lots, roadways, setbacks, massing, relationship to natural and built heritage features, recommended building materials, etc. The outline should address the influence of the development on the setting, character and use of lands on the subject property and adjacent lands. If the property forms part of a Heritage Conservation District, the proposal must be analysed in terms of its compliance with the Heritage Conservation District Plan.

*Note: An architectural drawing indicating the subject property streetscape with properties to either side of the subject lands must be provided. The purpose of this drawing is to provide a schematic view of how the new construction is oriented and integrates with the adjacent properties from a streetscape perspective. The drawing must therefore show, within the limits of defined property lines, an outline of the building mass of the subject property and the existing neighbouring properties, along with significant trees or any other landscape or landform features. A composite photograph may accomplish the same purpose with a schematic of the proposed building drawn in.*

5. Full architectural drawings, by a licensed architect or accredited architectural designer, showing all four elevations of the proposed development must be included for major alterations and new construction.

6. An assessment of alternative development options and mitigation measures that should be considered in order to avoid or limit the negative impact on the cultural heritage resources. Methods of minimizing or avoiding negative impact on a cultural heritage resource as stated in the Ontario Heritage Tool Kit (InfoSheet #5, Ministry of Culture) include, but are not limited to:

- Alternative development approaches
- Isolating development and site alteration from the significant built and natural heritage features and vistas
- Design guidelines that harmonize mass, setback, setting and materials
- Limiting height and density
- Allowing only compatible infill and additions
- Reversible alterations

These alternate forms of development options presented in the Heritage Impact Assessment must be evaluated and assessed by the heritage consultant writing the report as to the best option to proceed with and the reasons why that particular option has been chosen.

7. A summary of conservation principles and how they will be used must be included. The conservation principles may be found in publications such as: Parks Canada – Standards and Guidelines for the Conservation of Historic Places in Canada; Eight Guiding Principles in the Conservation of Historic Properties, Ontario Ministry of Culture. (Both publications are available online.)

8. Proposed demolition/alterations must be explained as to the loss of cultural heritage value interests in the site and the impact on the streetscape and sense of place.

9. When a property cannot be conserved, alternatives will be considered for salvage mitigation. Only when other options can be demonstrated not to be viable will options such as relocation, ruinification, or symbolic conservation be considered.

Relocation of a heritage resource may indicate a move within or beyond the subject property. The appropriate context of the resource must be considered in relocation. Ruinification allows for the exterior only of a structure to be maintained on a site. Symbolic conservation refers to the recovery of unique heritage resources and incorporating those components into new development, or using a symbolic design method to depict a theme or remembrance of the past.

All recommendations shall be as specific as possible indicating the exact location of the preferred option, site plan, building elevations, materials, landscaping, and any impact on neighbouring properties, if relevant.

#### Summary Statement and Conservation Recommendations:

The summary should provide a full description of:

- The significance and heritage attributes of the cultural heritage resource, including the reference to a listing on the Heritage Register, or designation by-law if it is applicable
- The identification of any impact that the proposed development will have on the cultural heritage resource
- An explanation of what conservation or mitigative measures, or alternative development, or site alteration approaches are recommended
- Clarification as to why conservation or mitigative measures, or alternative development or site alteration approaches are not appropriate

#### Mandatory Recommendation:

*The consultant must write a recommendation as to whether the subject property is worthy of heritage designation in accordance with the heritage designation criteria per Regulation 9/06, Ontario Heritage Act. Should the consultant not support heritage designation then it must be clearly stated as to why the subject property does not meet the criteria as stated in Regulation 9/06.*

*The following questions must be answered in the final recommendation of the report:*

*-Does the property meet the criteria for heritage designation under the Ontario Regulation 9/06, Ontario Heritage Act?*

*-If the subject property does not meet the criteria for heritage designation then it must be clearly stated as to why it does not*

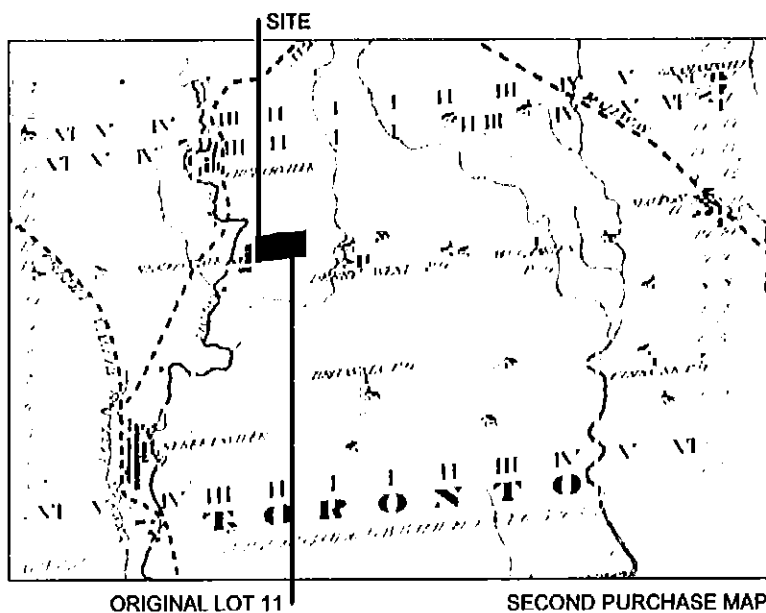
*-Regardless of the failure to meet criteria for heritage designation, does the property warrant conservation as per the definition in the Provincial Policy Statement:*

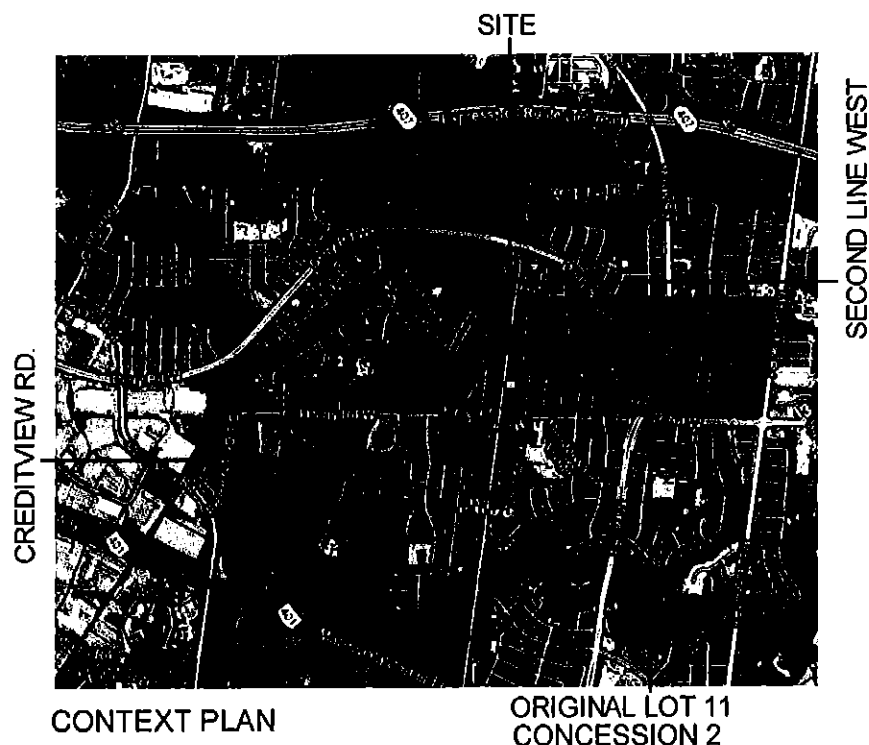
*Conserved: means the identification, protection, use and/or management of cultural heritage and archaeological resources in such a way that their heritage values, attributes and integrity are retained. This may be addressed through a conservation plan or heritage impact assessment.*

*Please note that failure to provide a clear recommendation as per the significance and direction of the identified cultural heritage resource will result in the rejection of the Heritage Impact Assessment.*

## Site History:

7059 Second Line W. is part of the original Lot 11, Concession 2, west of Hurontario Street that was created by the Second Purchase of Land from the Mississauga First Nation in 1818 and surveyed by Timothy Street and Richard Bristol. Lot 11, Concession 2 is a 200 acre parcel that is bounded by modern day Second Line West and McLaughlin Road to the west and east, and Old Derry Rd. to the south. The northern boundary is no longer recognizable but it is approximately half-way between Old Derry Rd. and Highway 407.





The history of Meadowvale Village begins with an original group of 26 families that settled this area under the leadership of United Empire Loyalist John Beatty. Beatty, born in Ireland but living in New York City, in 1817 petitioned the Lieutenant-Governor of Upper Canada for a grant of land for himself and his community. His efforts were successful and in 1818 5,000 acres in Toronto Township were set aside "for the reception of about 150 families . . . in the rear of Toronto Township"<sup>3</sup>.

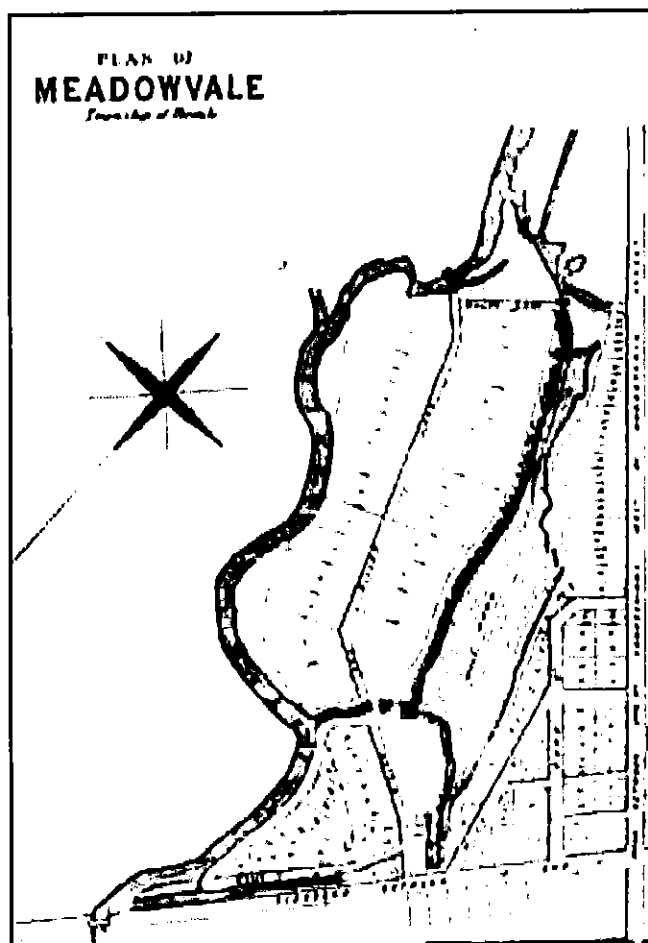
Beatty's group left New York by caravan on May 1, 1819. They reached Toronto (then York) on May 28<sup>th</sup> and stayed for a while until their land grants were approved and then they headed west to what was known at the time as Toronto Township. Beatty's grant was all of Lots 11 and 12, Concession 3, West of Hurontario Street. This comprised about 400 acres and consisted of the area now bounded by Old Derry Rd., Second Line West, Creditview Rd. and Highway 407.

The law at the time required that within 18 months of taking a claim of land the recipient had to erect a dwelling on the property, clear and fence 5 acres of land and clear the roadway in front of the property. The land was covered with white pine forest and the soil was suitable for agriculture and the early farmers were successful. The situation changed, however, with the arrival in the community of Francis Silverthorne. Also of United Empire Loyalist stock, Silverthorne set about to create a lumber and grist mill operation using power from the Credit River. By 1845 he had the mill in operation. It was known as Meadowvale Mills<sup>4</sup>.

<sup>3</sup> Surveyor-General Thomas Rideout to Lieutenant-Governor Peregrine Maitland, quoted in Hicks, Kathleen, Meadowvale: Mills to Millennium, Chapter 3

<sup>4</sup> Hicks, xvii

Silverthorne continued to increase his land holdings locally and built houses for his workers and a store and by 1856 the beginning of a community was sufficiently established that he had surveyor Arthur Bristow draw a plan for a village that he wanted to create. The Silverthorne Plan of 1856 laid out what is now known as the Village of Meadowvale.



*Silverthorne's Plan of 1856. 7059 Second Line W. is indicated by the red box, just off the plan margin*

In 1861 the Gooderham family of Toronto acquired the Silverthorne milling operations and in 1865 they purchased all of Silverthorne's land holdings as well as all of Lot 11, Concession 2 WHS (which includes the present 7059 Second Line West), giving them considerable land holdings surrounding the community. The Gooderhams were prominent in the milling and alcohol industries and their coming to Meadowvale inaugurated an era of prosperity in the Village.<sup>5</sup>

In 1870 the Gooderham family built a 10,000 sq. ft. Italianate mansion on Lot 11, Concession 2 WHS. This home, the most significant structure in Meadowvale and now a Part IV designated building, was

---

<sup>5</sup> Hicks, p.64



sold by the family in 1884 and has gone through a variety of owners and uses.<sup>6</sup> Presently it functions as the Meadowvale Elementary Campus of Rotherglen School.



*Gooderham Mansion c. 1900<sup>7</sup>*

The subject site at 7059 Second Line W. was part of the original west half of Lot 11 granted by the Crown to Hugh Bell in 1851. The property at that time comprised 100 acres. In 1865 Bell sold it in its entirety to William Gooderham for the sum of \$3300. Bell had mortgaged the property twice, in 1859 for \$700 and in 1863 for a further \$900 so presumably there were some improvements made to the property during this time. The property was leased by William to George Gooderham in 1870 for the sum of \$800 per year, then sold by William to Charles Horace Gooderham in 1876. The price of that transaction was not recorded. It was still a 100 acre parcel at that time. In 1884 the property was transferred to Charles' cousin George Gooderham and shortly thereafter a 6 acre parcel comprising the Gooderham mansion lands was divided off at the south-west corner of the property and sold to Angelique H. Douglas. The remaining lands, now 94 acres, were sold by George Gooderham to Steven George South in 1910. The purchase price was \$11,000.<sup>8</sup> This ended the Gooderham ownership of the property and their association with Meadowvale Village.

In 1918 or 1919 the South family built the 2-storey brick Edwardian house that still stands on this site.

Steven George South died about 1936 and the property passed to his son, Harold. During the 1950's and '60's Harold divided and sold off parts of the property, first to the Meadowvale Development Company Ltd., then to individual purchasers. By the time of his death in 1972 the property was 0.3ha (0.74 acre) property now known as 7059 Second Line W.<sup>9</sup>

<sup>6</sup> Hicks, p.76

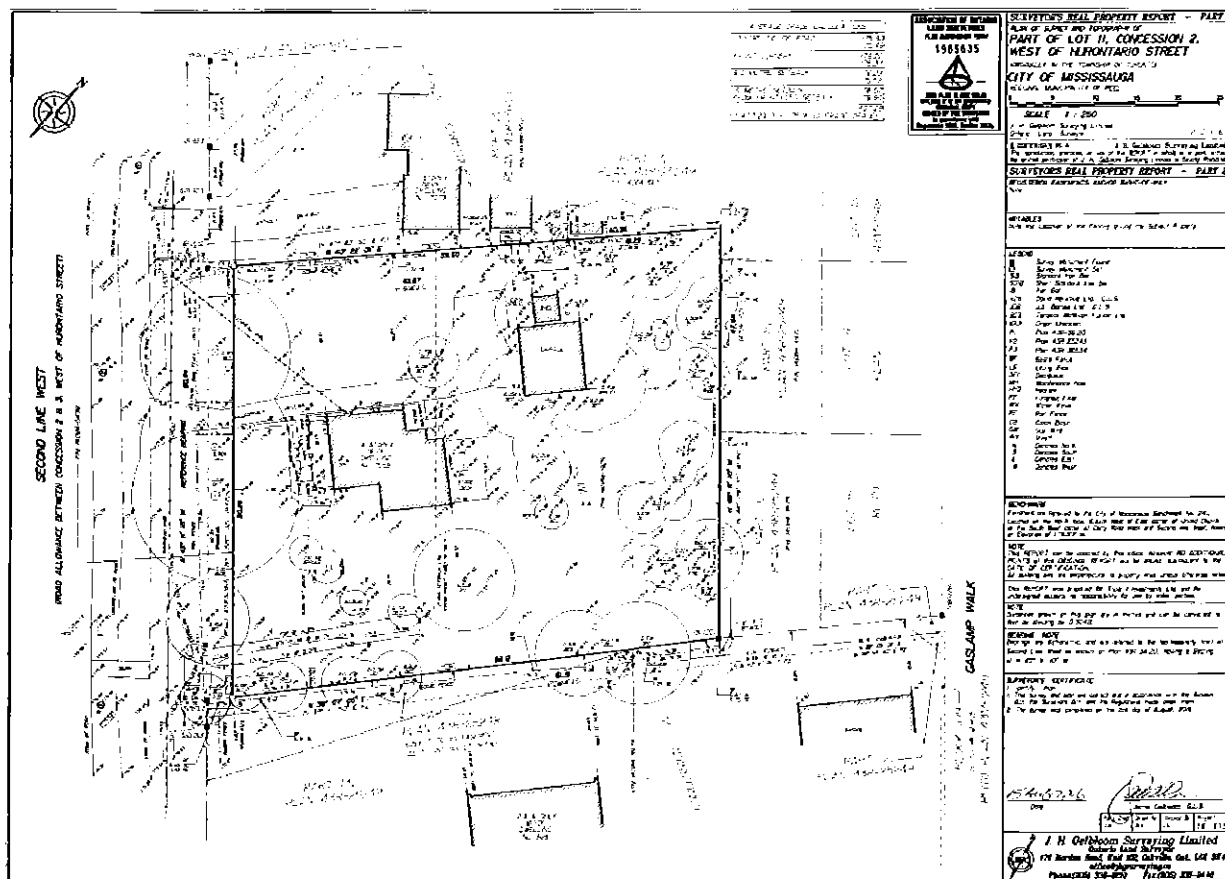
<sup>7</sup> Heritage Mississauga Photo archive

<sup>8</sup> Hicks, p. 109

<sup>9</sup> Hicks, p. 110

The property was sold in 1980 to Lorne Davidson and in 1985 to Ron and Bruria Shahar. In 1996 it was sold to Elizabeth Jane Backhouse and in 2016 to the present owners.

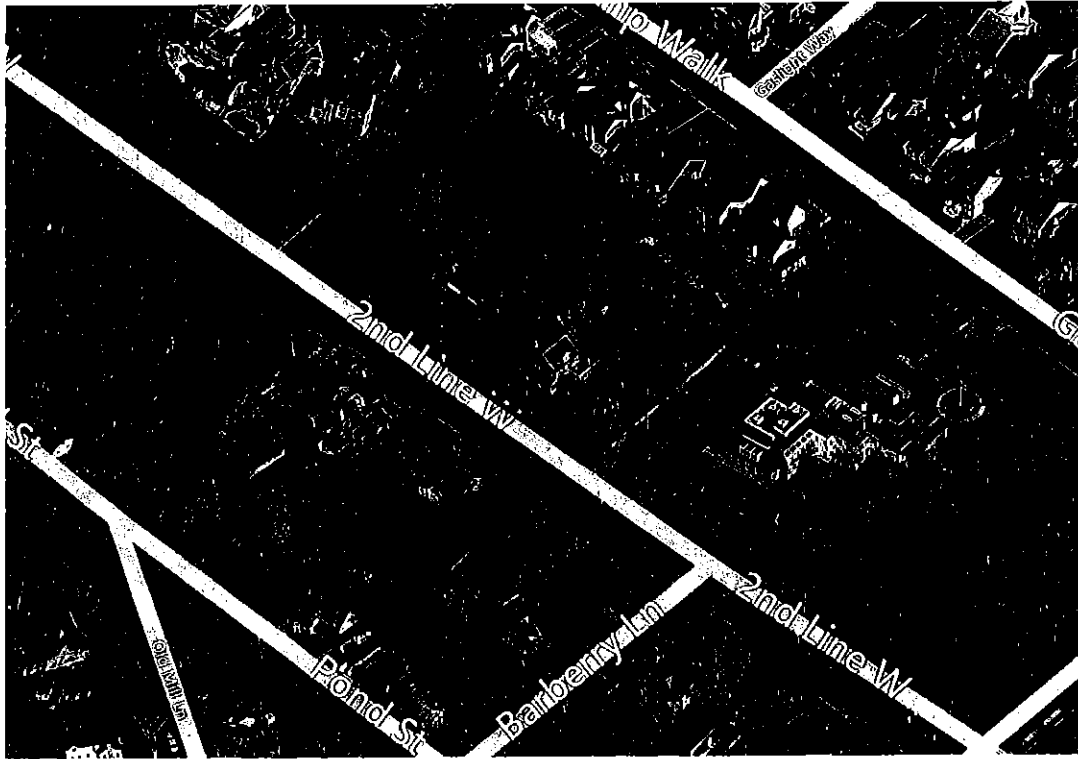
**Existing conditions on-site:**



### Existing property survey

The site is north of Old Derry Rd. West on the east side of Second Line West.

The subject property is parallelogram-shaped approx. 50m wide x 60m deep. The grade falls from north to south and from east to west. The north-east corner of the site is the highest elevation, with the lowest point about 1.5m below this. There are two buildings located on the site – a single family home and a detached garage (a small shed indicated on the survey has been removed). The site is moderately treed and is notable as one of the largest lots extant in the Village.



*Air Photo showing site outlined in red – note former Gooderham mansion at right, newer subdivisions at top right, Meadowvale village at lower left*

## Architectural Assessment of Existing Building:

### City Records:

Relevant City of Mississauga records are as follows:

- 1991 – sunroom addition to existing dwelling
- 1997 – sewer conversion
- 2007 – Heritage Property Grant – second floor wood window replacement
- 2011 – Heritage Property Grant – replace cedar shingles
- 2014 – Heritage Property Grant – fascia, eavestrough, downpipe replacement
- 2015 – Heritage Property Grant – porch and deck repair and replacement



*Streetside view showing driveway, extensive tree canopy*



*Front Elevation*



*Rear Elevation showing existing wood-sided addition*



*South Elevation showing existing wood-sided addition*



*North Elevation showing original 1-storey brick element at rear, later wood-sided addition beyond*

The existing building is a 2 ½ storey brick veneer dwelling with gable roof approximately 30'0" x 30'0". There is an original one-storey brick element at the rear approximately 8'0" x 10'0". This was likely a rear entry porch but now is used as a powder room. There is a one-storey, flat roofed, wood board & batten sided addition approximately 470 sq. ft. at the rear and south side. At the front is a deep covered

porch spanning the width of the building. The porch roof is supported on square wood columns with brick bases. There are two symmetrical dormers in the roof on the north and south side. There is an older stone foundation beneath the original home that appears to have been recently parged and waterproofed on the interior. The waterproofing appears to have been successful and the foundation was solid and dry when observed. There is a crawlspace foundation below the rear addition. The original house consists of an entry hall, kitchen, living room and dining room at the main floor level. The wood sided addition is a main floor family room. The second floor consists of four small bedrooms and one small bathroom. The third floor consists of one large bedroom and ensuite bathroom. The overall condition of the building is good although some of the trims, guards and details on the wood-sided addition require maintenance and/or renewal. The building is presently in use as a single family dwelling.

**Exterior:**

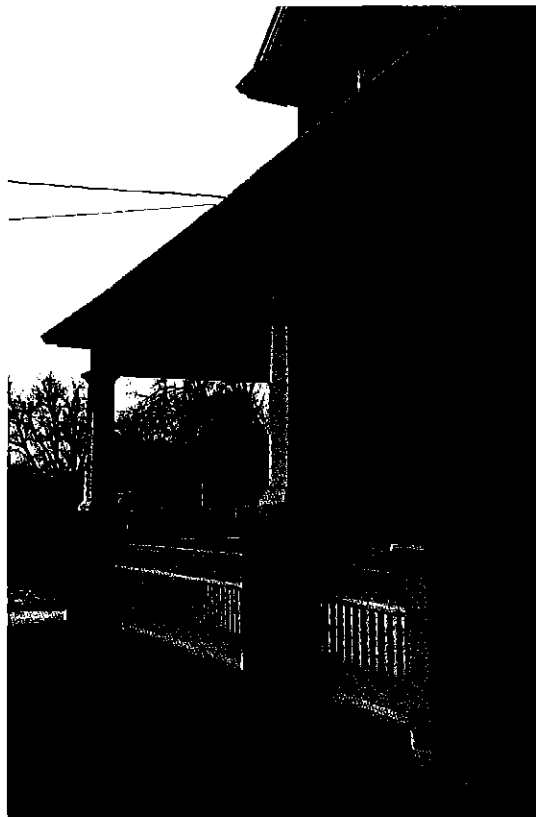
The building is clad in pink-ish red bricks laid in a typical running bond pattern. There are no bonding courses evident so we presume that this is a brick veneer wall. The brick is generally in excellent condition with tight joints and few defects noted. Headers and sills are painted pre-cast blocks. The stone foundation is minimally visible but no serious issues were noted. The gable ends and dormers are clad in stained wood shingle that appears to have been installed recently (likely the 2011 Heritage Property Grant). The exterior is generally in good condition. Roof is asphalt shingle and in good condition.

**Front Porch:**

The front porch is a prominent feature of the building and is in excellent condition. The wood detailing and trim around the columns and ceiling appears to be original. There is a flat-bracketed detail around the porch soffit and an interesting and unusual solid guard detail with a band of small pickets at mid-height. The porch floor is painted wood. There is a skirting detail around the base of the porch that is newer lattice type material. This is not original to the house and is likely the repair referenced in the 2015 Heritage Property Grant. Some deterioration of the brickwork at the porch column bases was noted. This is not unusual. These should be re-pointed.



*Partial south elevation showing existing front porch*



*Detail of porch railing, column and soffit. Skirting detail is not original*



### **Rear Addition:**

The rear and southerly addition is likely the “sunroom” referenced in the 1991 Building Permit. This is effectively a board & batten clad, wood framed box-like structure with concrete crawlspace type foundation. There is a wooden guard at the top to allow it to be used as a terrace with access from the second floor. An oversized soffit and fascia detail attempts to give the addition a Modernist appearance, although this is not referenced anywhere else in the building and is architecturally unsuccessful. The addition is generally in fair condition. There is minimal architectural or heritage value in this structure.



*Partial South Elevation showing 1991 Family Room addition*

### **Windows and trims:**

Main floor windows are original wood double hung with later metal storms fitted on the exterior. The original windows appear to be in good condition – although the original sash cords are missing in some cases. There is an attractive leaded glass transom with Art Nouveau styling in the living room front window. This would be original to the home. Second floor windows are the wood replacement units described in the 2007 Heritage Property Grant notation. These units are contemporary in detail but reasonable replacements for the original. Third floor windows are original wood units. Family room windows are vinyl and configured with a large picture unit flanked by a single operating casement. This is not a window style complimentary to the original architecture of the home but was likely chosen to compliment the contemporary style of the addition.



*Original leaded glass front window detail*

**Front Door:**



*Original front door - note hardware*

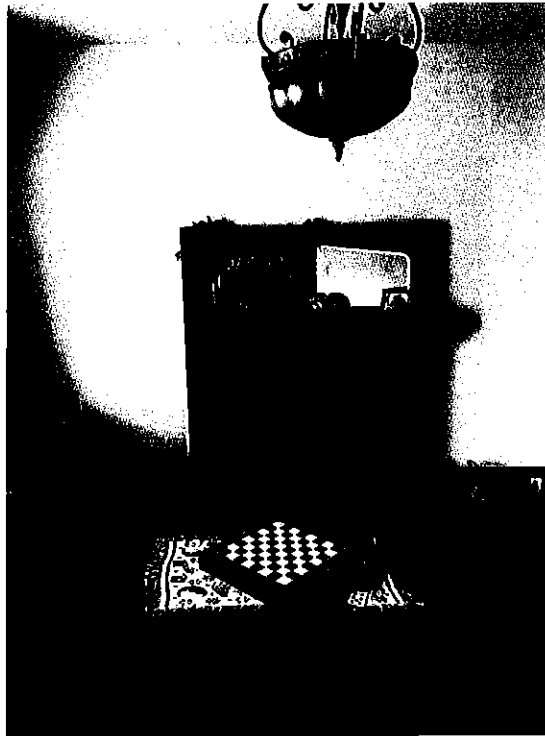
The existing front door is original. It is a handsome wood unit with upper glass and lower wood panel. It is in excellent condition, of very pleasing proportions and retains its original full-mortise style hardware.

**Interior Trims and Finishes:**

Interior trims and finishes are generally original and in good condition. The kitchen has been replaced as would be expected in a building of this age. Trims are simple dark stained flat profiles without obvious detail, with architrave type trims at the doors and windows. Stairs, handrails, newels and balusters are simple stained wood. This is all very typical of an Arts & Crafts aesthetic, which was popular at this time. The main floor fireplace is original and features interesting wood detailing.



*Stair, handrail, newel, baluster detail*



*Fireplace detail*



*Living Room entry detail*

**Garage Accessory Building:**

There is an existing two-car detached garage/workshop on the property. This is likely not part of the original construction of the building. It is a simple gable roofed structure with older aluminum siding on the side and rear elevations and green painted board and batten siding on the front elevation. It appears that at the time of the flat-roofed addition in 1991 it was decided to change the siding on the front elevation so as to match the new addition. Generally this is a simple, generic building without architectural detail or interest. It is in fair/poor condition. No changes are proposed to this building.



*Garage front elevation*



*Garage south elevation (note dis-similar siding from front elevation)*



*Garage rear elevation*



*Garage north elevation (note wooden platform where shed building was recently removed)*

#### **Landscaping and Driveway:**

The existing landscaping on the site is minimal. There is a single car asphalt driveway that widens to a parking area near the garage door. Trees, some of significant size, are located randomly around the site and along the road allowance at the front of the property. There are no cultivated or manicured gardens. There is an existing drainage swale along the south property line.

#### **Architectural Style:**

This building is an excellent example of Edwardian Classicism in modest residential design. This was a period named after Edward VII, son of Queen Victoria and as this implies it was something of an intermediate period between the Victorian architecture that came before it and the Modernist architecture that came after. Generally it is associated with the period 1890 – 1916. Some Edwardian

buildings were highly classical and ornate, deriving from the Beaux Arts and Art Nouveau styles, others were more simple and associated with the Arts & Crafts movements. Single family residential architecture tended to be simpler and are exemplified in North America by what became known as the Four-Square house – a 2 ½ storey house built on a square plan with a hipped or gable roof, two or four dormers and a wide front porch the width of the house. These homes were idealized for the rectangular, suburban lots of the new suburbs in many North American cities and they were built by the tens of thousands, many from stock plans and many ordered as kits through catalogue houses. Exterior finishing materials varied widely according to local availability and preference but the basic shape and function was similar. Many of the architectural details of this home including the flat bracketing on the porch eaves, the porch columns, the use of stained glass, the interior trims were very typical of the style. They tended to be very efficient and handsome designs and have remained popular.<sup>10</sup>

These houses are very common in the older suburbs of Toronto and relatively common in some of the older neighborhoods of Mississauga. There was very little building activity in Meadowvale during this period, however, and this is the only example of Edwardian design in Meadowvale Village.

### **\$1,995<sup>00</sup> and Our FREE BUILDING PLANS**

**WILL BUILD, PAINT AND COMPLETE, READY FOR OCCUPANCY, THIS MODERN NINE-ROOM \$3,000.00 HOUSE**

HOW TO GET ANY OF OUR PLANS FULLY EXPLAINED ON PAGE 2.



**MODERN HOME No. 52**

Concrete Block Construction. On the opposite page we illustrate a few of the materials we specify on this our \$1,995.00 House.

#### **OUR \$1,995.00 HOUSE**

Illustrated above, consists of nine good sized rooms and bathroom, as shown in these floor plans.

##### **FIRST FLOOR.**

Kitchen - 12 feet by 10 feet  
Dining Room - 11 feet by 12 feet  
Living Room - 14 feet by 16 feet 6 inches  
Reception Hall - 11 feet 6 inches by 11 feet  
Bedroom - 11 feet 6 inches by 11 feet

##### **SECOND FLOOR.**

Bedroom - 12 feet by 12 feet  
Bedroom - 9 feet 6 inches by 12 feet  
Bedroom - 10 feet 6 inches by 12 feet 6 inches  
Bedroom - 11 feet 6 inches by 7 feet  
Bathroom - 7 feet by 5 feet 9 inches  
His & hers bed bath. Bedrooms have closets.

##### **The Arrangement of Our Houses**

is such that they can be well heated with very little expense. One 12 1/2 inch boiler is put one of the new triple expansion house which we install in furnace, and for heating the whole structure. No matter what you desire you can have it built, provided you have the money to do so.

Size of Modern Home No. 52: 40 feet 47 feet 10 inches with 22 feet 4 inches, exclusive of porch.

**DO NOT ATTEMPT BUILDING WITHOUT PLANS,** don't pay an architect \$100.00 or \$150.00 for plans which in no way compare in accuracy or detail with the plans we will furnish you free of charge on condition that you send us a small portion of your real work order. If you were to attempt to build a house similar to the house illustrated above it would cost you from \$300.00 to \$1,000.00 more.

See how you can get the plans for this house free on page 2.

Sears, Roebuck & Co., Chicago, Ill.

BOOK OF MODERN HOMES

*Sears Catalogue advertisement - date unknown*

<sup>10</sup> [www.ontarioarchitecture.com/Edwardian.htm](http://www.ontarioarchitecture.com/Edwardian.htm)



*1978 Front elevation<sup>11</sup>(note how finish in front gable end has changed)*



*1990 Front elevation<sup>12</sup>*

### **Site Context:**

The site is located on the east side of Second Line W., north of Old Derry Rd. This is at the easterly boundary of the Heritage Conservation District and a location of lesser prominence in the Village. To the north is a one-storey brick ranch style bungalow that was severed off of this property in the late 1950's

---

<sup>11</sup> City of Mississauga Historic Images Gallery

<sup>12</sup> City of Mississauga Historic Images Gallery



for a daughter of the South family.<sup>13</sup> To the south is the parking lot and the back of the Rotherglen School. To the east is a 1990's subdivision built in faux-heritage style. To the west, across Second Line W., is the core of the Village of Meadowvale.

This site has cultural heritage interest because of its relationship to the Gooderham family and their contribution to Meadowvale. Prior to that it was considered to be outside of the village – both Silverthorne's Map of Meadowvale and the 1856 Bristow Survey of Meadowvale show Second Line W. as the easterly boundary of the Village and do not include the properties along the east side of the road.

### Analysis:

The City of Mississauga Heritage Register statement of Architectural Significance for 7059 Second Line W. records as follows:

*This is a two and one half storey residential structure with red brick cedar shake siding only on the upper half storey. The foundation of the structure is credit valley stone, while the roof has asphalt shingling. There is a west three bay asymmetrical facade. There are modern vertically siding windows, straight lintels and sills, cast concrete. The first floor windows have leaded stained glass (note: front window only), with the top half storey having four paned, fixed, double hung six over one windows with decorative dentil course. Noted additions to the building include a southeast enclosed entrance with a pyramidal roof and shiplap siding (note: this roof does not now exist, the siding is board & batten). There is also a front verandah, with a shed roof that is supported by brick piers with wooden piers. Wooden purlins are visible under the eaves. There is a north externally bracketed chimney on the building. Outbuildings on the property consist of a gazebo with a wood octagonal roof and a single storey two door garage (note: the gazebo no longer exists). The structure has generous setbacks and maintains an open, rural character from neighbouring properties. Heritage Attributes: The original shape, form, design and materials of the Edwardian style of architecture. Its location and landscaping of mature trees and open green space on all sides*  
*Statement of Significance: The house and property at 7059 Second Line West has historical significance in its association with the South family and the early twentieth century development of the Village. The house has architectural significance in that it is the only Edwardian style residence within the Meadowvale Village HCD and is a good example of this style in its style, shape, form and materials. The context is significant as the property and residence contribute to the streetscape and illustrate the Village pattern of building within a large lot creating open green space on all sides with the retention of mature trees.*

The Meadowvale Village HCD Property Inventory (2014) further notes:

*This parcel of land was once part of the Gooderham farm which extended down the full length of Second Line West from Old Derry Road to past the Derry Road by-pass. When the Gooderhams sold the property in 1909 it went to George (Harold) South who took over the Gooderham farmhouse at the end of Second Line West just south of the Derry Road by-pass. South severed off a parcel of the land and built the two storey Edwardian style house for himself in 1918. In the 1960s, the land was subdivided where the South's daughter and her husband built a one storey bungalow next to her parents.*

*The property is one of the largest lots remaining in the Village and the property, including the house, has changed little in the last few decades. Therefore, it is another fine example of a property that has retained its original cultural heritage attributes which can be directly linked back to both the practical and aesthetic design George South envisioned for his property.*

*The two storey red brick house is the only Edwardian style structure in the Village HCD. The house has two bays on the front façade with a deep open porch across the front supported by wood columns on brick piers. The house*

---

<sup>13</sup> Hicks, p.110

*remains fairly true to its original shape, form and design. Some windows have been replaced but in a traditional pattern, form and materials.*

*The house is setback from Second Line West with a row of mature trees along the front property line and a very generous side yard on the south side and rear yard. The house has maintained a country farmhouse appearance with its mature landscaping and open space.*

**Heritage Attributes:**

- *The original shape, form, massing, design and materials of the Edwardian style of architecture.*
- *Its location and landscaping of mature trees and open green space on all sides*

**Statement of Significance:**

*The house and property at 7059 Second Line West has historical significance in its association with the South family and the early twentieth century development of the Village. The house has architectural significance in that it is the only Edwardian style residence within the Meadowvale Village HCD and is a good example of this style in its style, shape, massing, form and materials. The context is significant as the property and residence contribute to the streetscape and illustrate the Village pattern of building within a large lot creating open green space on all sides with the retention of mature trees.*

The predominant cultural heritage value of this site is then:

- the Edwardian architectural style of the building
- the original building materials including brick finish, stone foundation, cedar shingle gable and dormer details
- the original front porch
- the large lot size and open yards around the building
- the extent of tree coverage

**Proposal:**

The proposal is to do interior renovations to the building and a small rear addition to allow the main floor to be used as programming space associated with the adjacent Rotherglen School. The intention is that this will be used for Art and periodic programming – not as continuous classroom space. The second and third stories will be used as offices by school staff. The basement will remain as mechanical space. There will be no student use of the second or third stories or the basement.

The proposed addition will follow from the flat roof architectural style of the existing addition and will be seamless with it. To guarantee this seamless transition, and because the existing siding and trimwork is showing signs of decay, the board & batten siding on the addition will be replaced with new material of matching dimension and profile.

To facilitate the addition one original window will be removed on the rear elevation along with some of the original brick exterior wall.

Windows in the proposed addition will be vinyl to match those in the existing addition. Trims and porch details will be painted wood or weather-proof material painted to give the appearance of wood..

The architecture and detailing of the proposed addition is generally simple and derives from the existing building addition while not intending to mimic or replicate historic detailing.

The proposal will also require the creation of a footpath to join the new rear entrance of this building to the main campus of Rotherglen School.

The additions and modifications to the building will not be visible from the street and the cultural heritage value of the building will be maintained.

#### **Ontario Building Code implications:**

In order to comply with Building Code requirements for the new use there will need to be upgrades to the building as regards fire safety, exiting and universal accessibility. Two new universally accessible washrooms will be created on the main floor and a new universally accessible entrance created at the rear of the building. This will necessitate the construction of a main floor addition of approximately 170 sq. ft. together with a covered porch area of approximately 70 sq. ft. The porch will include a wheelchair lift to allow universal access to the main floor of the building.

To comply with Building Code requirements for exiting two exterior metal fire escapes will be created. One will lead from the third floor to the existing flat roof addition at the rear of the building. The other metal fire escape will lead from this flat roof to the ground.

To comply with Building Code requirements for life safety the building will require extensive renovations to the interior. The existing staircase will be removed and a new fire separated exit structure constructed in its place. The existing floor assemblies need to be strengthened to support increased floor loading and to function as horizontal fire separations. The electrical, heating and plumbing systems will be completely upgraded and the building will be sprinklered. The kitchen will be removed. The impact of these renovations to the interior finishes will be considerable however the owner's intention is to conserve and re-use as much of the existing interior trimwork and doors as possible. To comply with Building Code requirements regarding the protection of exits, one existing sliding door in the rear addition will have to be removed and two windows will need to be replaced with fixed, wired glass units in metal frames.

The Building Code also requires that one accessible parking space be provided on the property.

The proposed addition, wheelchair lift and fire escapes will be entirely behind the existing building. There will be no change to the streetscape or to the front appearance of the building, and only minimal change to the rear. There will be removal of part of the original rear wall of the heritage building and part of the wall of the 1991 addition but no original building fabric visible from the street will be affected. The quantity of removed material is small and does not include any parts of the building fabric that are important as regards maintaining the heritage character of the building.

### **Mississauga Fire Route By-law implications:**

The City of Mississauga Fire Route By-law requires that the existing driveway be widened to create a fire route. In practice, because the existing driveway is not perpendicular to the road and because of the loading and turning radius requirements for a fire route it means that the existing driveway will have to be removed and a new, much wider driveway created. The present driveway is approx. 3.0m wide and the fire route is required to be 6.0m wide. This will require the removal of one mature tree in the City boulevard and two smaller private trees on the property.

### **Zoning By-Law:**

The subject property is zoned R1-32 under the City Zoning By-law 0225-2007. This is a fairly restrictive by-law that is specific to the Old Meadowvale Village area only.

The proposal meets the applicable zoning by-law with the exception of a minor variance required for the proposed use, driveway width (required because of the fire route and the handicapped parking requirement) and the presence of a flat roof. Staff have indicated that they will support these variances.

The existing building is non-compliant as regards building height however that is an existing condition and no changes to the building height are proposed. The existing flat roof is also non-compliant.

### **Meadowvale Village Heritage Conservation District Plan:**

The proposal meets the intent of the Meadowvale Village Heritage Conservation District Plan (2014), as regards massing, materials, detailing and general design principles (see Appendix).

### **Conservation Principles<sup>14</sup>:**

Respect for documentary evidence: no conservation work or restoration of the existing building fabric is proposed.

Respect for the original location: no re-location of the heritage resource is proposed.

Respect for historic material: No repair or replacement of historic material is proposed.

Respect for original fabric: Minimal loss of integrity of original exterior materials is proposed. This loss is confined to some original brick material and one window at the rear of the building.

Reversibility: Original bricks removed from the rear wall are recommended for retention on site for future repairs or in the event that the additions are reversed.

Legibility: The proposed addition is demonstrably different from the original heritage building.

Maintenance: The proposed use makes the likelihood of regular future maintenance very high.

---

<sup>14</sup> Ontario Heritage Trust: "Eight Guiding Principles in the Conservation of Heritage Properties"

### Alternative Design Options:

The project requires, at a minimum, an addition to the main floor of the building to facilitate the new washrooms required, an elevator or ramp facility to permit barrier free access to the main floor and a secondary exiting facility from the upper floors. Options for ramps were explored but given the height of the existing main floor from grade level any ramp would have to be quite long, be dominating to the rear of the property and visible from the street. The wheelchair lift option was chosen because it was the least intrusive way of accomplishing the barrier-free requirement.

The location of the proposed addition, at a natural recess created by the intersection of the heritage building and the 1990 addition was chosen to resolve this awkward condition and because it was not visible from the street. Other options were explored but this was the least intrusive and resolved this unfortunate, existing condition.



*Partial rear elevation showing representation of proposed addition. Addition was chosen to be located here so as not to be visible from the street and to resolve an unfortunate existing condition*

Other options to address the second and third floor exiting requirements were explored but these would all have involved some kind of additional enclosed stairway coming down from the upper floors. This would have dramatically increased the size of the required addition and resulted in a major change to the rear elevation of the building. The fire escape option was chosen because it is minimally intrusive and easily reversible.

Options for the required fire route were explored but the City requirements for these facilities is mandated in the By-law and no less intrusive options were available.

### **Summary Statement and Conservation Recommendations:**

The existing building at 7059 is a good example of Edwardian Classicism relatively little modified from its original construction. Despite being atypical of the majority of buildings in the Meadowville Village Heritage Conservation District it supports the character of the Village by giving an indication of the evolution of the Village over time. Its generous site and deep setbacks also help to support the aims of the District Plan.

The building is associated with long term ownership by the South family but there is no evidence that they were of particular local importance.

The proposed change of use of the building from single family residential to institutional supporting the adjacent Rotherglen School is highly positive because it associates the building with this very successful example of adaptive re-use of a heritage resource and by doing so assures ongoing interest and maintenance but without creating increased traffic or parking demand.

The proposed renovations to the building are minimal and not visible from the street. The greatest impact will come from the required fire route, however notwithstanding the 3.0m maximum driveway width in the Zoning By-law numerous examples of 6.0m driveways exist in the community, especially along Second Line W. The driveway will be larger than the existing but not atypical in the community.

The proposed renovated dwelling at 7059 Second Line W. is appropriately designed for its site and meets the intent of all applicable laws, policies and requirements associated with its design. During the construction process as much of the existing topography and tree canopy should be retained as possible.

The original bricks, original window and any other original materials removed in the course of the renovations should not be discarded but stored on-site to be used for future repairs or in the event that there is a desire to reverse these changes.

There may be some minor re-pointing of masonry necessary. If so this should be done using mortar matching the existing in colour and composition of the existing, to be confirmed through testing as necessary. New mortars should not be used to re-point heritage brick work.

### **Mandatory Recommendation:**

The property must be evaluated under the criteria for designation under Ontario Regulation 9/06, *Ontario Heritage Act*. This is the part of the Act that allows designation of individual designations (Part IV designations). The criteria area:

1. The property has design value or physical value because it,

- i. is a rare, unique, representative or early example of a style, type, expression, material or construction method.
- ii. displays a high degree of craftsmanship or artistic merit, or
- iii. demonstrates a high degree of technical or scientific achievement.

*Analysis: The property is important as one of the few examples of early 20<sup>th</sup> century residential development in Meadowvale Village however its construction methods, techniques and materials were very typical for houses of this era. It is in no way unique, rare or representative of high achievement.*

2. The property has historical value or associative value because it,

- i. has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to the community,
- ii. yields, or has the potential to yield, information that contributes to an understanding of a community or culture, or
- iii. demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.

*Analysis: The property has associations with the Gooderham family, who were significant to the community. This importance is limited in this case because the property at the time they owned it was part of a larger farm. The South family that built and occupied the home were long term residents but of no greater significance to the community than any other resident.*

3. The property has contextual value because it,

- i. is important in defining, maintaining or supporting the character of an area,
- ii. is physically, functionally, visually or historically linked to its surroundings, or
- iii. is a landmark.

*Analysis: The property is not in a significant location in the community and is in no way a landmark. Because of its location it supports the character of the area relatively less than do the majority of houses in the Village.*

#### **Conclusion:**

The property at 7059 Second Line W. has limited architectural, contextual and historical value and would not be worthy of Part IV designation.

### **Provincial Policy Statement:**

Under the Provincial Policy Statement,

“Conserved: means the identification, protection, use and/or management of cultural heritage and archaeological resources in such a way that their heritage values, attributes and integrity are retained.”

*Analysis:*

*Under this definition, and by virtue of its presence in a Heritage Conservation District, the existing property at 7059 Second Line W. does warrant conservation.*

### **Bibliography:**

Hicks, Kathleen A., Meadowvale: Mills to Millineum,  
 A Heritage Tour – Meadowvale Village (Heritage Mississauga)(pamphlet)(undated)  
 Heritage Mississauga Images database  
 City of Mississauga – Historic Images Database  
 City of Mississauga – Building Department records  
 Directory of the County of Peel 1873-1874  
 Websites: as noted

### **Appendices:**

- commentary on Meadowvale Village Heritage Conservation District Plan 2014
- proposed building elevations
- existing building elevations and plans
- chain of title



## **Meadowvale Village Heritage Conservation District Plan 2014:**

Following is an examination of this proposal against the criteria found in section 4.2.3 of that Plan:

### **4.2.3.1 Scale**

- *Width to length ratio of principle structure or additions should be consistent with designs found within the Village*

The intent of this section was to prevent buildings and additions that were awkward or unusual in shape. The proposed addition is entirely behind the existing building. There is no change to the width to length ratio.

### **4.2.3.2 Location**

- *Exterior additions should be located at the rear, or on an inconspicuous side of the building, limited in size and scale to complement the existing building and neighbouring properties*

The proposed addition to this building is located entirely behind the existing and meets this criteria.

- *Outbuildings, including garages and greenhouses, should be detached and located at the rear, or on an inconspicuous side of the building, and be limited in size and scale to complement the main structure and neighbouring properties*

The existing outbuildings will be maintained. These buildings are newer and not important to the cultural importance of the site

- *Additions at the rear should always be slightly lower than the existing roof line and stepped in at the sides in order not to overpower or dominate the existing building and the view from the street. Additions so constructed will also tend to be more compatible with adjoining properties*
- *Additions are best set back as deeply as possible from the existing front wall plane in order to be unobtrusive to the streetscape and differentiate the addition from the older structure*
- *The existing building shall maintain a dominant street presence with opportunities for landscaping in the addition's setback area*

The proposed addition very small in footprint and located entirely behind the existing building. It will be invisible from the street. The intent of these guidelines is maintained.

- *A primary pedestrian and accessible access from the street shall be encouraged*

The existing means of access and front door location from Second Line W. will be maintained.

- *Corner properties should have an equal proportion of architectural details, such as traditional windows and doors, on both street fronting façades*

This is not a corner property.

### **4.2.3.3 Roofline**

- *The style and pitch of an existing roofline will be retained*
- *New roof dormers should be located at the side or rear rather than the principal façades, and their size, shape and form should be similar to any original dormer(s) to the structure or within the Village*

The existing roofline will be retained. No new dormers are proposed in the existing roof. The proposed roofline at the rear is consistent with the existing rear addition.

**4.2.3.4 Roofing • Roofing materials should be of a style traditionally found within the Village, including wood shingles, metal and asphalt shingles**

Flat roofing materials are not visible from the street.

**4.2.3.5 Windows**

- *Windows important to the architectural character of the building, or in view of the public realm, will be retained and not blocked or removed as part of an addition*
- *New window design will be compatible with the original in terms of proportions, rhythm and scale*
- *Modern materials may be used, however, they should have the visual appearance of traditional materials*
- *The style of new windows on an addition should be consistent with the windows of the original structure in form, size and alignment, unless they cannot be viewed from the public realm*
- *Windows should be vertically oriented with a minimum width to height ratio of 1:1 ¾*

The windows in the proposed addition will be similar to those in the existing addition.

**4.2.3.6 Doors**

- *Doors on an addition should be of a traditional design which is typical to that style of building*
- *Modern materials may be used, however, they should have the visual appearance of traditional materials*

The existing front door is in good condition and will be retained. Other doors will be wood or modern material painted to appear as wood and will also be appropriate to the character of the building.

**4.2.3.7 Cladding**

- *Cladding should be of a traditional design that is typical to the style of building*
- *Cladding materials on an addition should be different from the existing building*
- *Modern materials may be used, however, they should have the visual appearance of traditional materials.*

The existing brick cladding is in serviceable condition and will be retained. The proposed addition will be clad in board & batten to match the existing addition. To ensure that the proposed addition and existing addition are seamless, all board & batten cladding will be replaced.

**4.2.3.8 Trim**

- *The removal of original trim on an existing structure should be minimal when constructing an addition*
- *Modern materials may be used, however, they should have the visual appearance of traditional materials.*

No original trims will be removed.

**4.2.3.9 Shutters**

- *Shutters added to an addition should be of a design which is typical to the style of the original building and to the Village*
- *Modern materials may be used, however, they should have the visual appearance of traditional materials.*

There are no shutters on the existing building and none are proposed on the addition.

#### **4.2.3.10 Stairs, Verandahs, Porches and Balconies**

- *The replacement (whole or partial) of existing porches, verandahs, stairs or balconies should be discouraged except in the case of substantial deterioration, in which case the replacement should be designed and constructed in the original style*
- *New railings and staircases should be constructed in a design that is consistent with the style of the building and in the Village*

The existing front porch is in excellent condition and will be maintained.

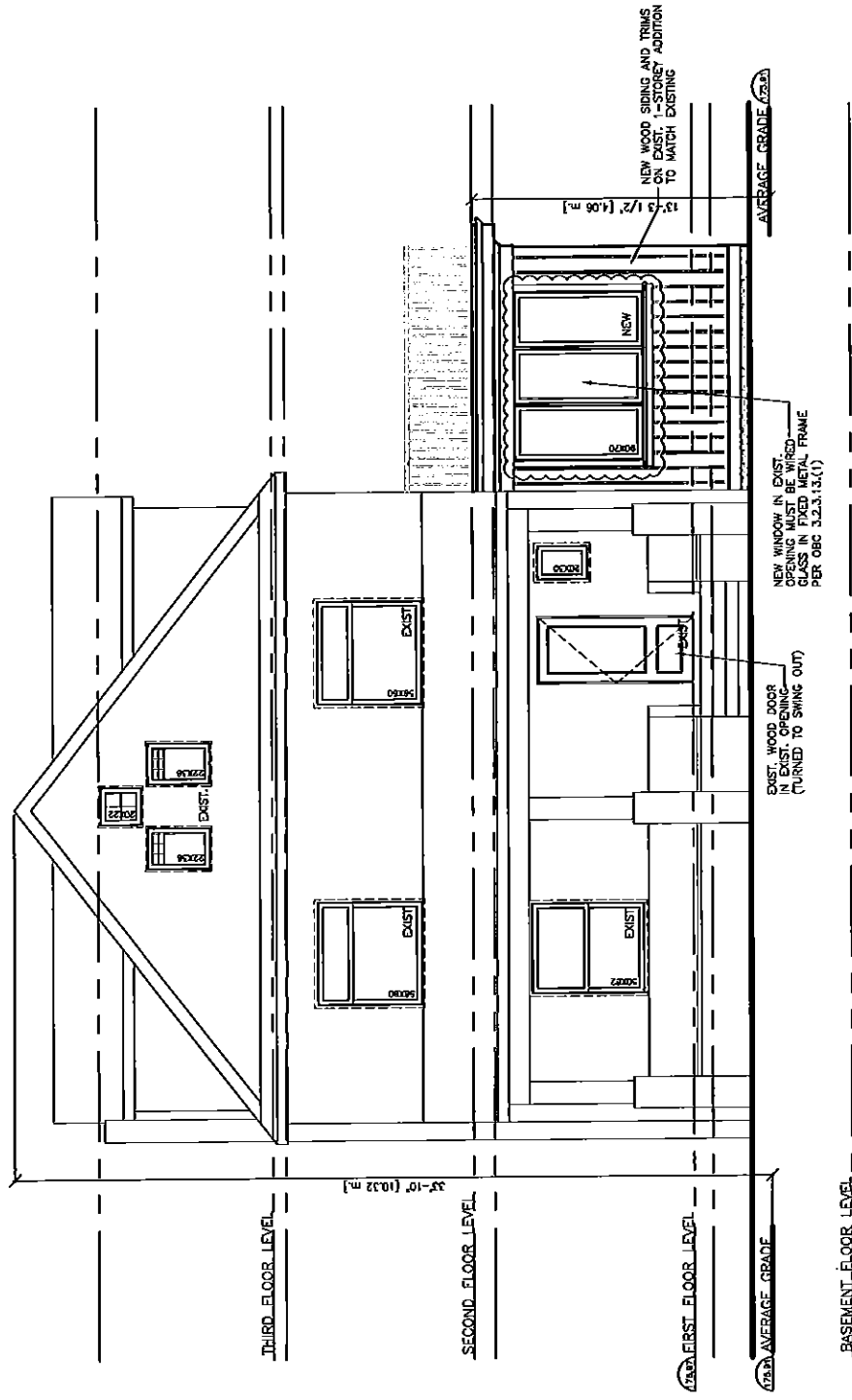
There are new steps and a landing on the proposed addition. These will be simple wooden steps and a handrail with square wooden pickets. This is consistent with the design of the house and others in the village.

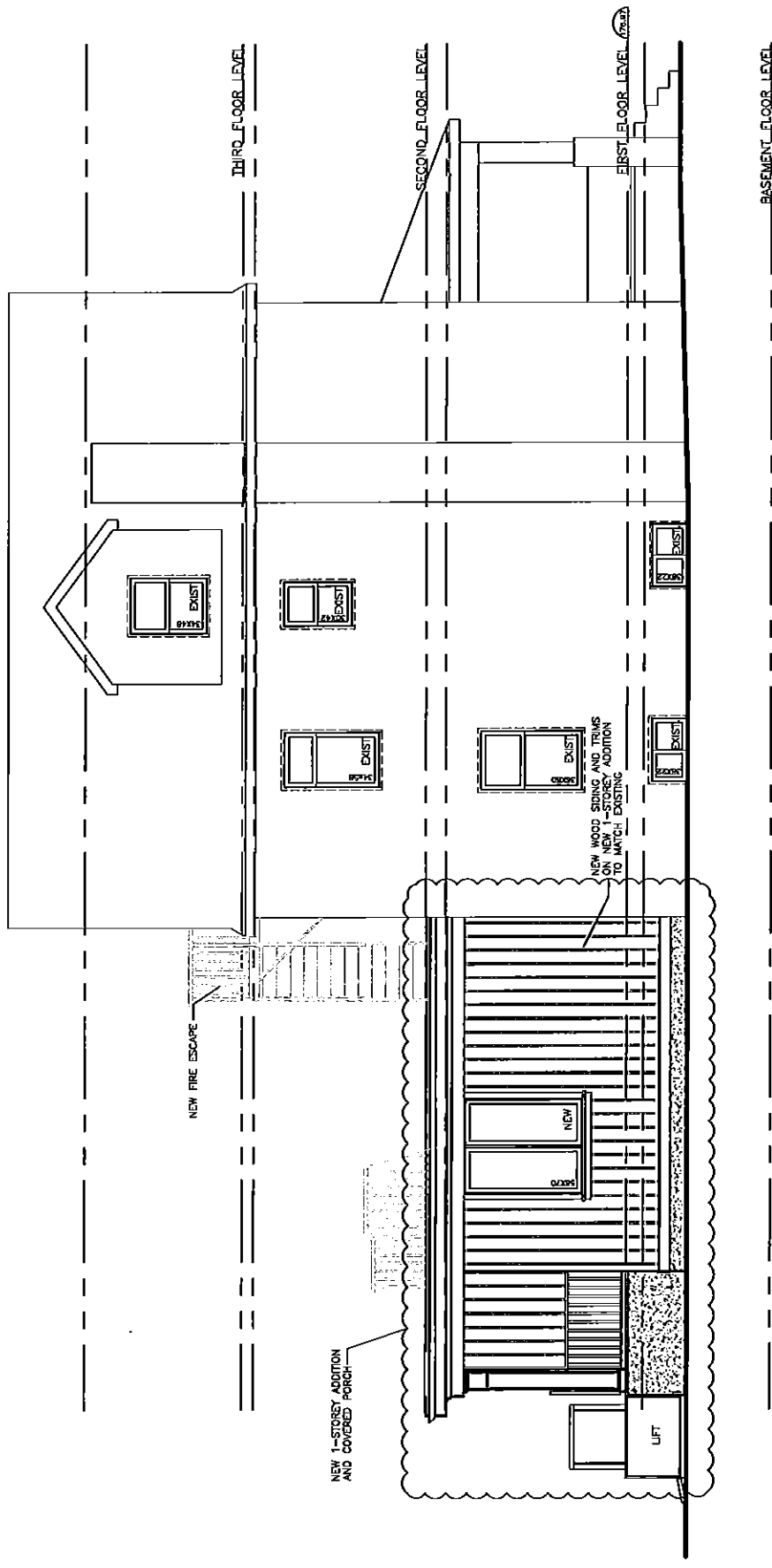
#### **4.2.3.11 Scale**

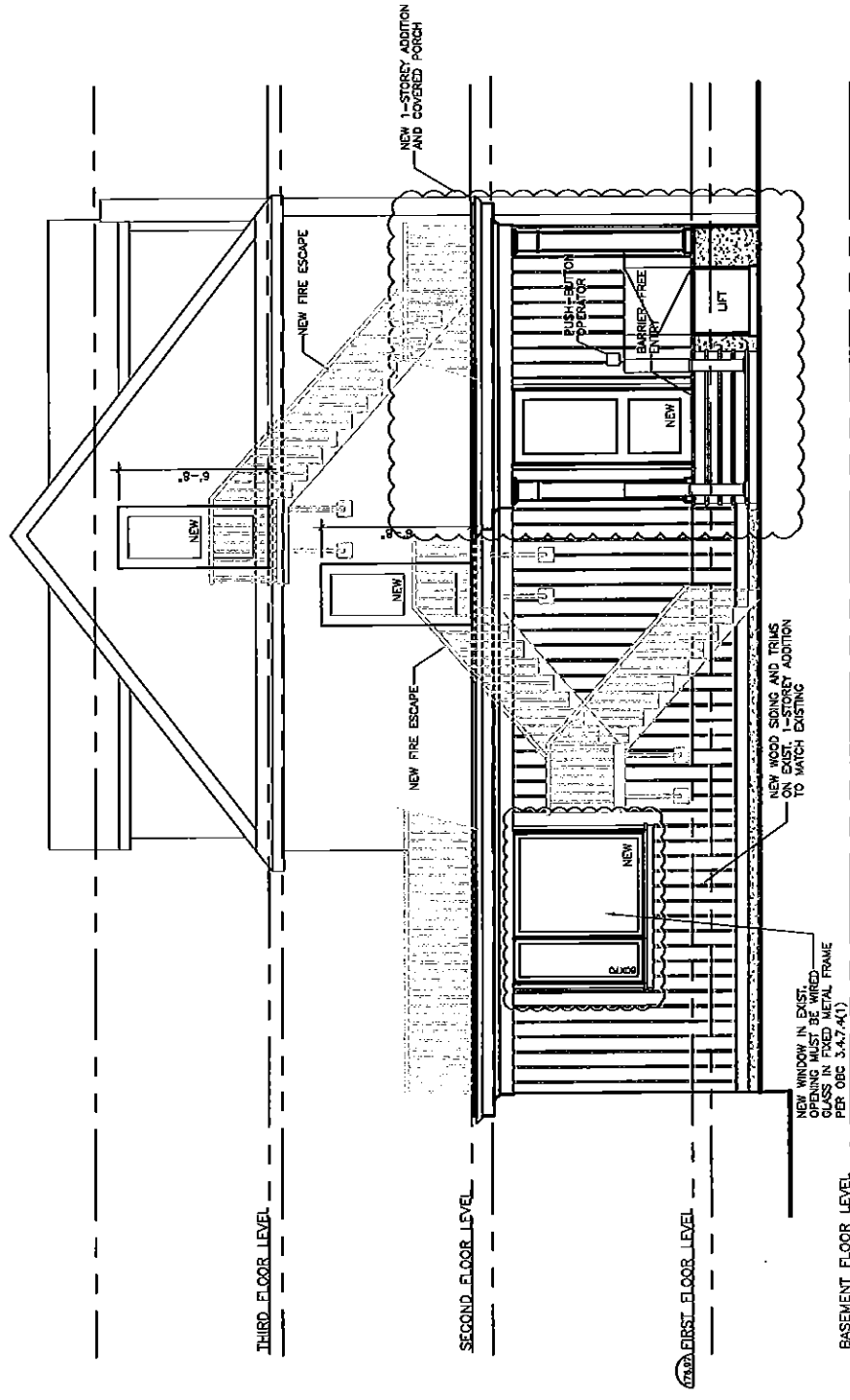
- *The design of an addition which does not alter the structure's original orientation and main entrance will be permitted*
- *The design should be of an appropriate scale to the existing structure and kept to areas away from the main façades*
- *Additions are to be complementary in design, scale, mass and form, but distinguishable from the original building*
- *Additions should allow for the retention of as much of the original structure as possible*

The proposed addition does not alter the original orientation and main entrance of the existing building.

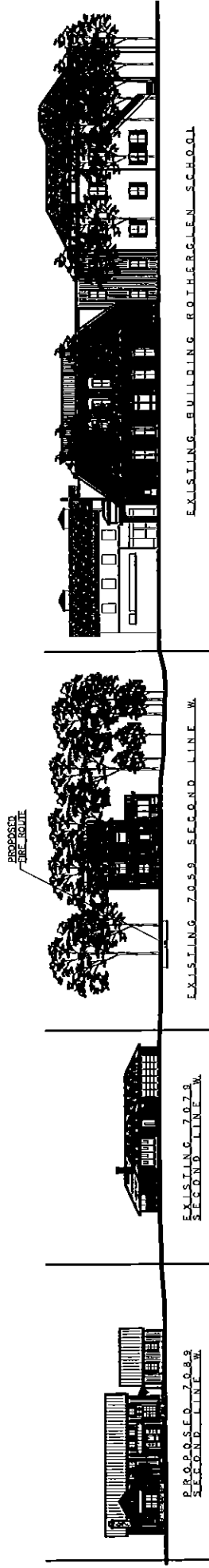
The proposed addition is highly distinguishable from the existing building and the amount of material loss from the existing building is minimal because of the addition.



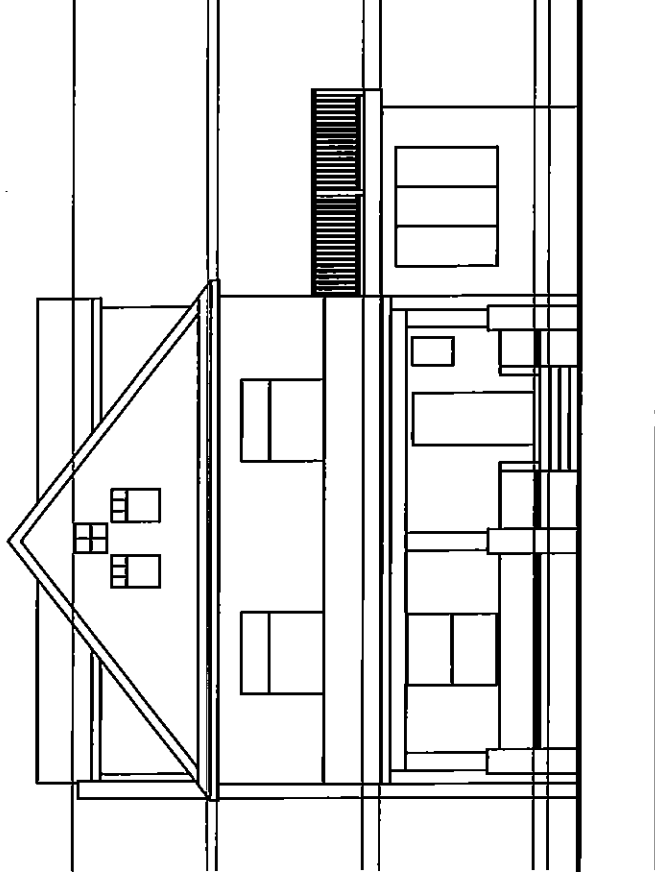


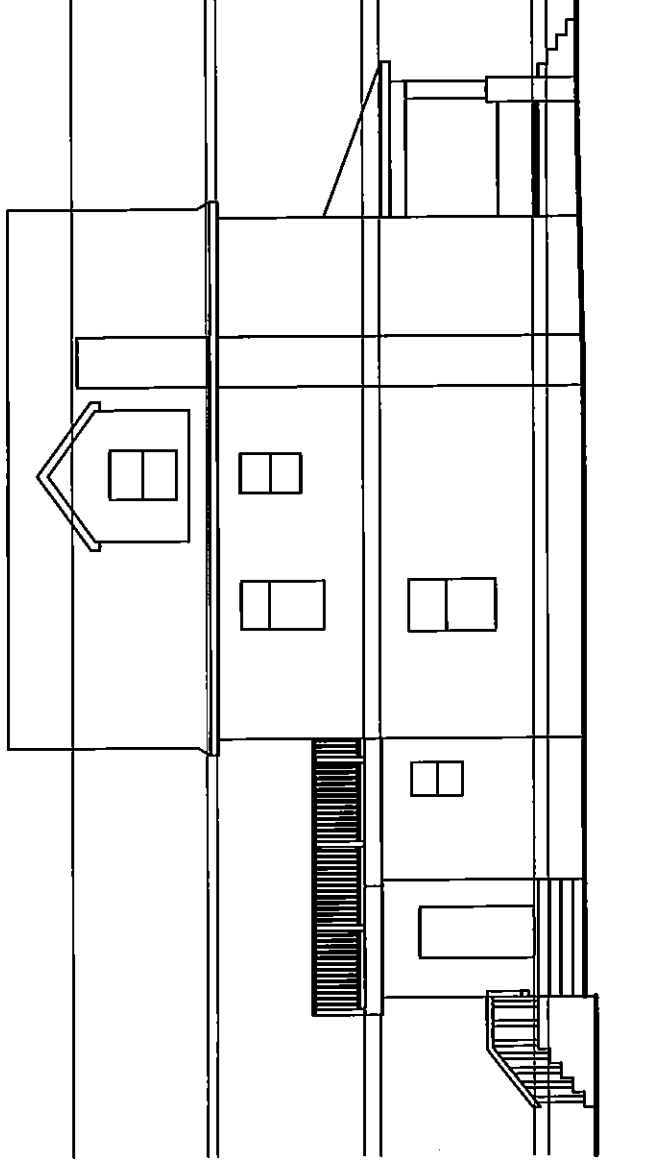


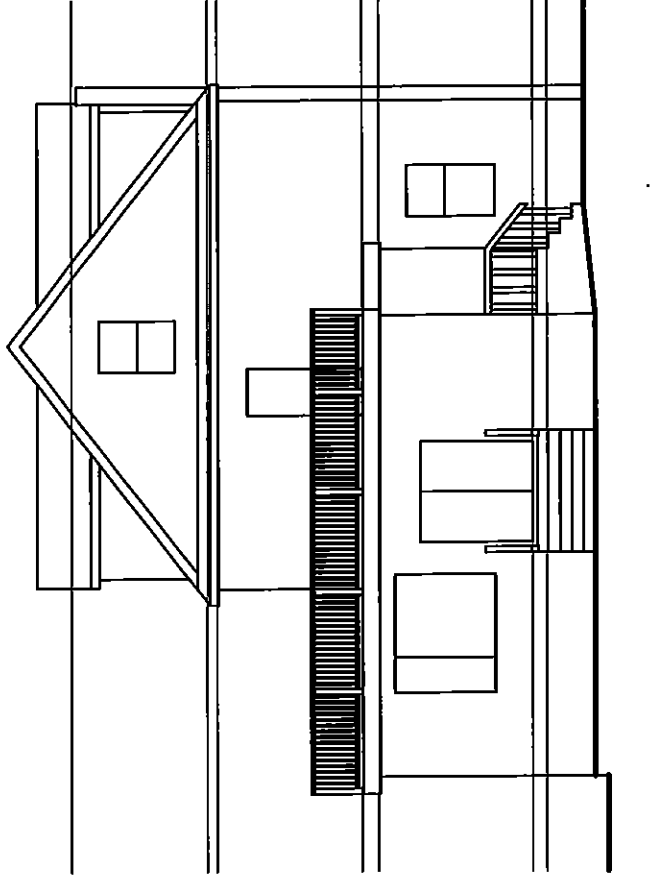


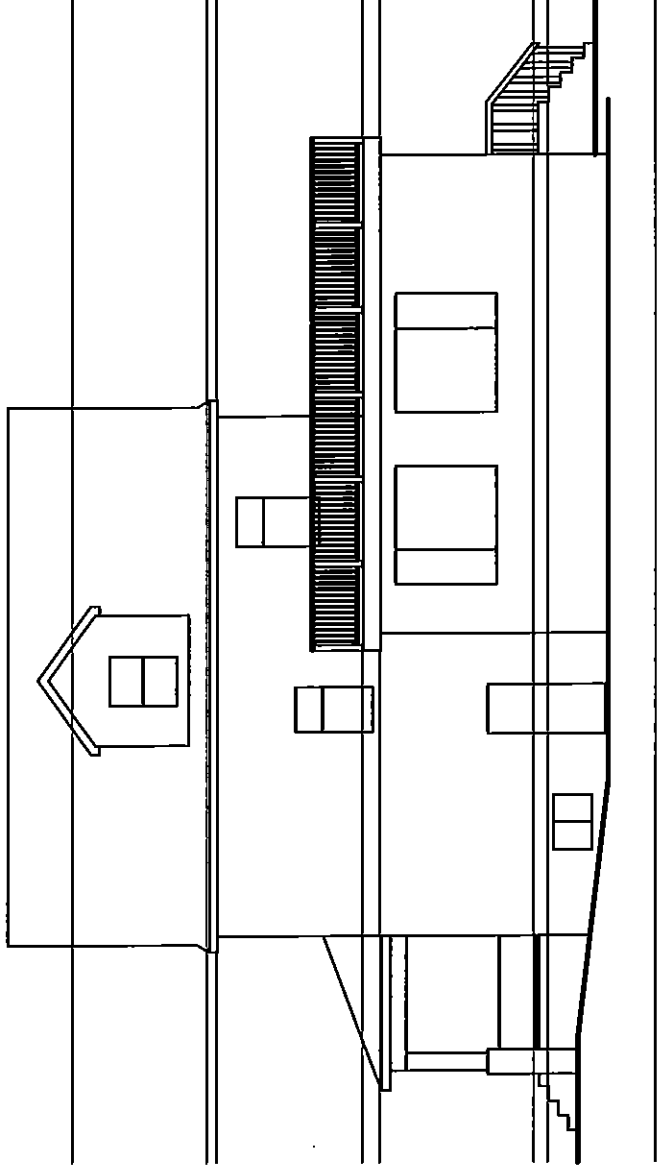


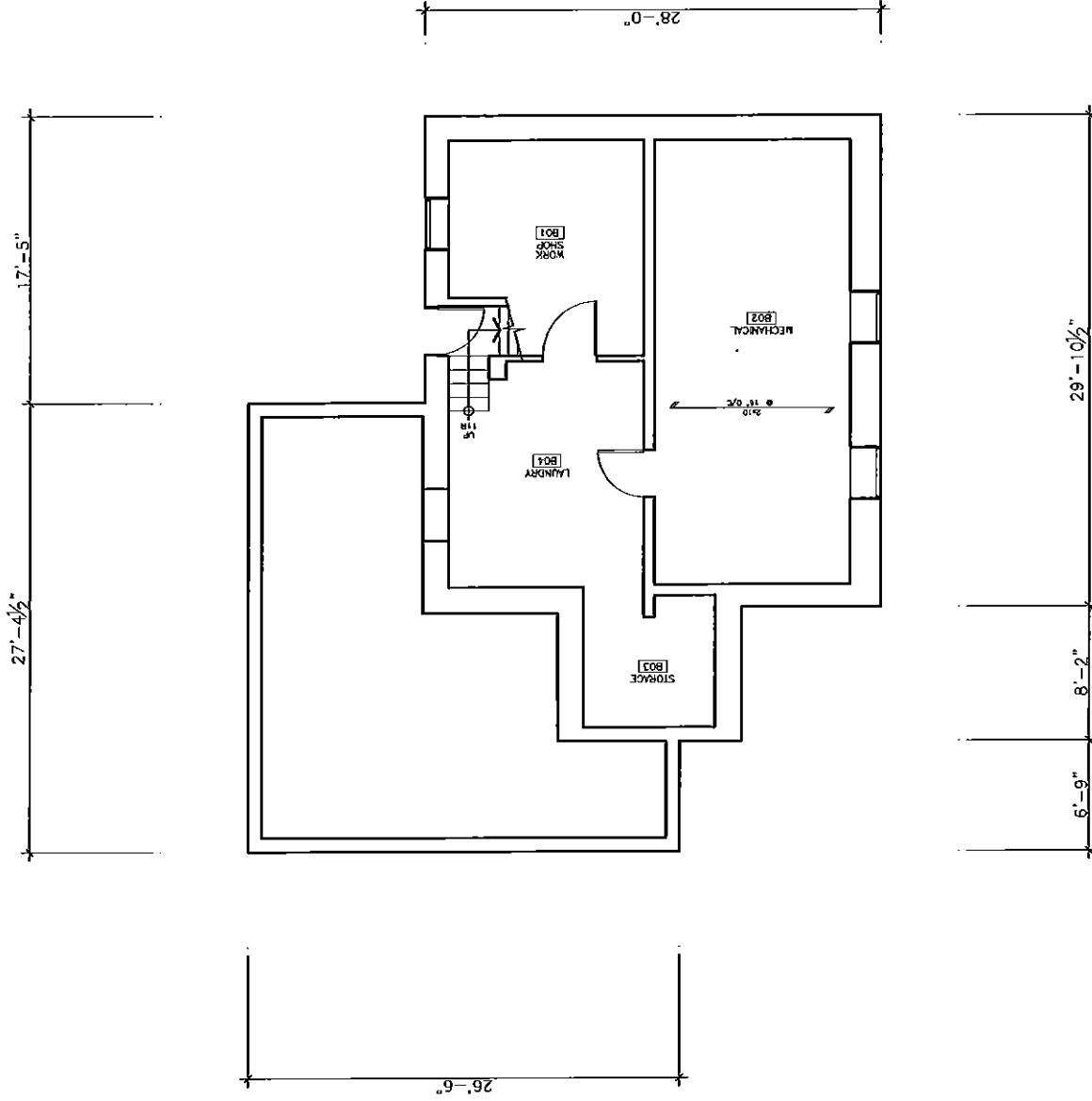


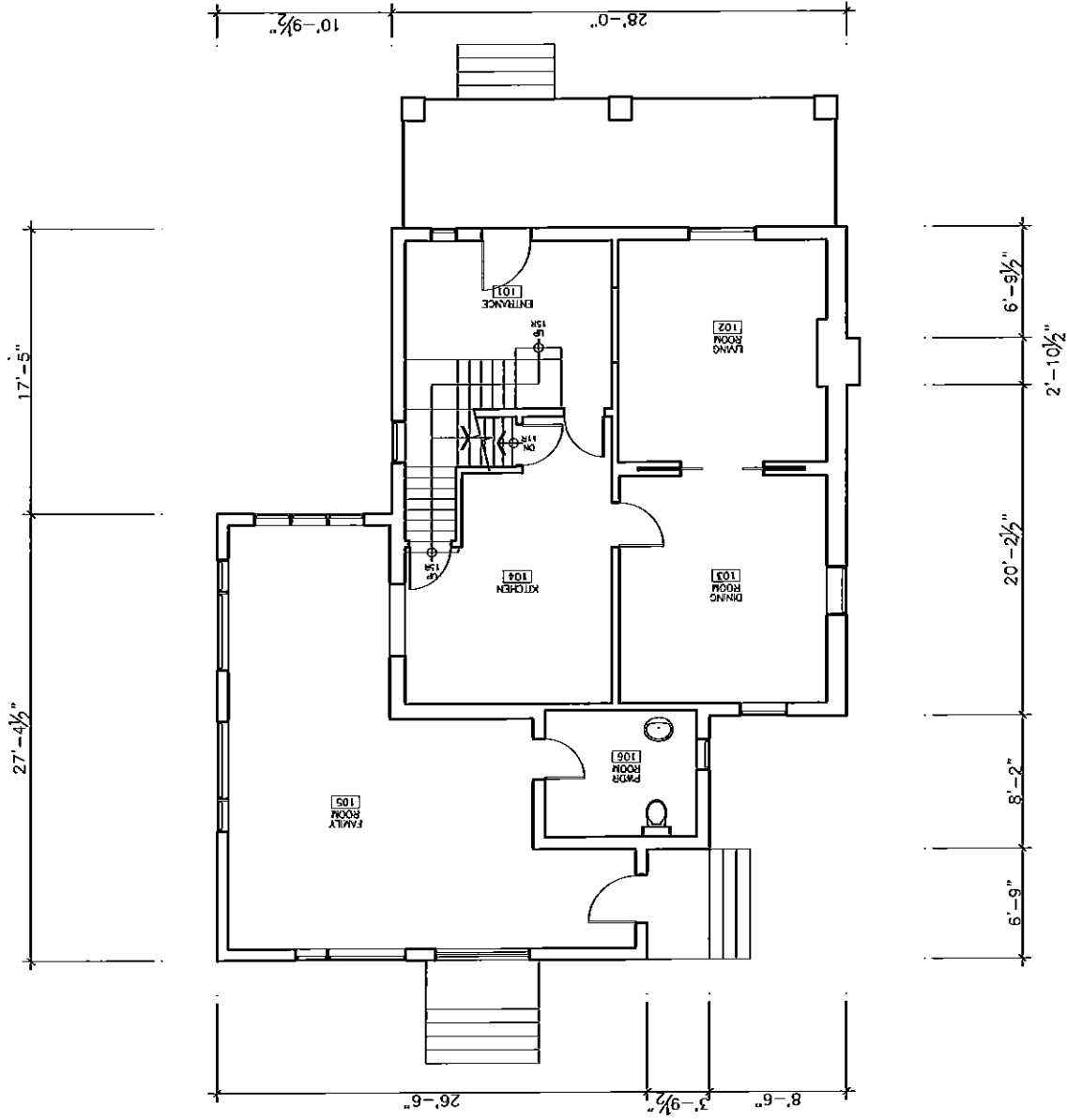


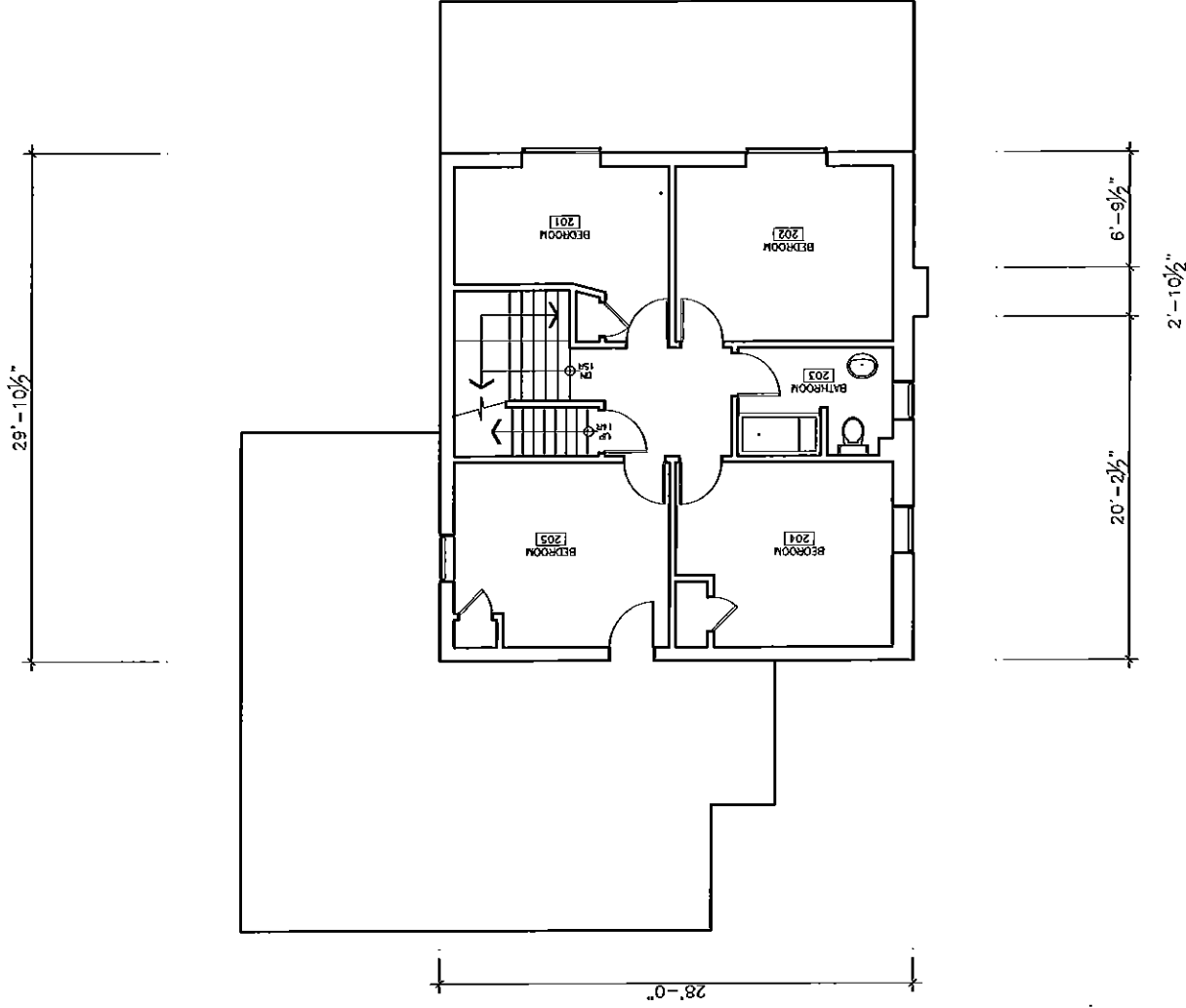




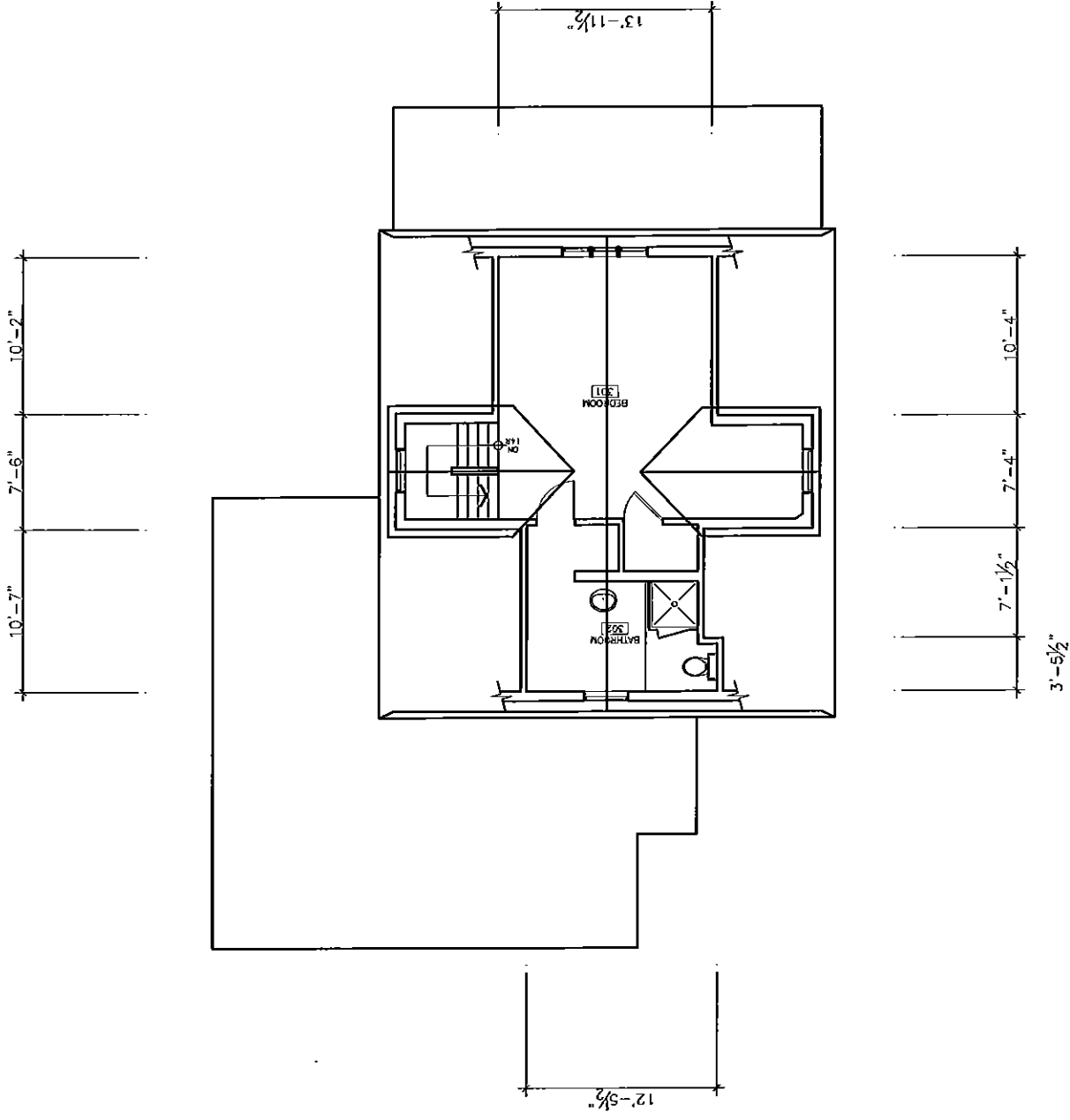








ROTHERGLEN SCHOOL  
 EXIST. SECOND FLOOR PLAN 3/32"  
 -1'0"  
 7059 SECOND LINE WEST, MISSISSAUGA  
 FEBRUARY 9, 2017





**Chain of Title for PIN 14084-1928 (LT)**  
Part Lot 11, Con 2 WHS Tor Twp as in RO717302  
7059 Second Line West, Mississauga

Deed #	Date	Transferor	Transferee
Patent	April 12 1851	The Crown	Hugh Bell
13803	Oct 23 1865	Hugh Bell	William Gooderham
2147	March 20 1877	Wm. Gooderham Sr.	Horace Gooderham
3889	April 9 1883	C. H. Gooderham	George Gooderham
13892	March 31 1910	George Gooderham	Stephen G. South
37446	Nov 24 1936	Stephen G. South Estate	Harold South
213320VS	June 5 1972	Harold A. South Estate	Annie I. South
553064	July 15 1980	Annie I. South	Lorne Davidson
RO 717302	June 21 1985	Lorne Davidson	Ron Shahar Bruria Shahar
LT1651322	July 31 1996	Ron Shahar Bruria Shahar	Elizabeth Jane Backhouse
PR2868679	Feb 16 2016	Elizabeth Jane Backhouse	Rotherglen Creative Spaces Ltd.

Deeds attached: RO717302, PR2868679

Title Chain from Crown by abstract name. Instruments not reviewed.

For Summary purposes only.

For further details see Abstracts attached.

March 21, 2017

## **Heritage Conservation Management Plan – 7059 Second Line W., Mississauga ON**

### **1. Introduction**

-An executive summary of the scope of the project:

*The proposal is to do interior renovations to the building and a small rear addition to allow the main floor to be used as programming space associated with the adjacent Rotherglen School. The purpose of the addition is to create a barrier-free entry to the building as required by the OBC and space for two barrier-free washrooms inside the building. The intention is that the building will be used for art and periodic programming – not as continuous classroom space. The second and third stories will be used as offices by school staff. The basement will remain as mechanical space. There will be no student use of the second or third stories or the basement.*

-Background information to document the historical and development history of the site

*See attached HIS report.*

- Identification of the property owner and stakeholders, current and proposed use

*See attached HIS report.*

### **2. Project Description**

#### **Property Description:**

- Identify the location, municipal address and provide an appropriate location map

*Part of Lot 11, Concession 2, West of Hurontario St.  
7059 Second Line West, Mississauga.  
See location map in attached HIS report*

- Documentation of the existing conditions to include recent specialized photograph documentation, measured drawings, site plan, identification of site features such as topography, landscaping or other on-site features

*See attached HIS report.*

- Landscape inventory and documentation will include a site plan, views and vistas, water features, tree location and species, land forms, geological formations, fences, walls, berms, pathways, or any other landscape features

*See attached HIS report and Arborist report. There are no significant views or vistas into or out of the property. There are no water features, significant land or geological formations. There is a typical white painted board fence across the front of the property. This is not proposed to be altered.*

- Identification of neighbouring properties, including any built form or features, required to illustrate the context of the subject property

*See context plan in attached HIS report. To the north, east and west are single family dwellings. To the south is the former Gooderham mansion, now the Meadowvale Campus of Rotherglen School.*

- Summary of the history of the property outlining its development over time within a timeframe context

*See attached HIS report*

- Documentation of land ownership from the original Crown Grant and subsequent records from the land registry office

*See attached HIS report*

#### B) Significance:

- Statement of cultural heritage value or interest

*See attached HIS report*

- Identification of the cultural heritage attributes and values of the property structures and landscape features

*See attached HIS report*

- Identification of any recognized significance, such as a heritage designation by- law, historic plaque, etc.

*The property is part of the Old Meadowvale Heritage Conservation District but is not otherwise identified*

#### C) Planning and Policy Status:

- Provide details of the current land use and related Official Plan policies and Zoning

*The property is zoned R1-32 under the Mississauga Zoning By-law 0225-2007. See the report from Ruth Victor & Associates that discusses the Official Plan and Zoning policies and implications of this proposal*

- Identify any regulatory requirements (e.g. heritage designation, flood plain requirements, etc.)

*These are identified in the HIS report and in the Ruth Victor & Associates Report. There are no flood plain issues.*

#### 3. Project Objectives

- Outline what is to be achieved by this project

*The intention of the project is to provide a learning center and office space for Rotherglen School. The learning center will be used for incidental art programming, not for intensive school uses.*

- Provide short term and long term goals and objectives

*Short term and long terms goals are similar – to allow the building to function as an accessory to the neighbouring school.*

- Proposed solutions for conservation of the property's heritage attributes

*See attached HIS*

- Provide the conservation policies to be used in this project (i.e. what conservation principles will be used to ensure long term conservation, maintenance, monitoring, and sustainable use of the property)

*This is discussed in the attached HIS. Generally the existing building is in good condition, appears to have had regular routine maintenance and no conservation work is proposed. There will be minimal loss of original exterior materials. The nature of the future use makes the likelihood of long term maintenance and sustainable use very high.*

#### 4. Statement of Heritage Intent

- An explanation is required that proposes the reasoning and considerations behind the choice of conservation treatments.

*As noted above and in the HIS, the scope of the project is such that minimal conservation of original materials is proposed.*

- Statement as to why one period of restoration over another was selected, rationale for new interventions, background resources used such as principles and conventions of heritage conservation.

*This is discussed in the attached HIS. There is no restoration proposed as part of this project and no choice of period. The rationale for the intervention at the rear of the property was that it was not visible from the street, demonstrably different from the original building and only as large as required to achieve the required barrier free access to the building.*

- Statement as to the recording, inventory and disposition/retention of moveable cultural heritage resources (e.g. artifacts, archival material, salvaged material) and its incorporation into the conservation project.

*As noted in the attached HIS it is recommended that any bricks salvaged from the construction be retained on-site if required for future maintenance on the building.*

#### 5. Condition Assessment of the Cultural Heritage Resource(s)

- Condition report of the cultural heritage resource(s) and specific attributes, identifying any deficiencies or concerns.

*As noted in the attached HIS the building is generally in very good condition. No deficiencies or concerns were noted.*

- Detailed recommendations to mediate and prevent further deterioration. Direction as to use or change in use and how that relates to conserving the heritage attributes.

*The building will require ongoing maintenance but no more so than any other similar structure. The brick finish is very durable and will likely require little on-going maintenance. The proposed use will not result in any increased maintenance obligations.*

- Outline opportunities and constraints with relation to all aspects of the project (i.e. budget, planning issues, public access, long term needs)

*The owner has not revealed their budget for the project but given that the scope of work is not that large it is not expected to be a significant overall factor in the project. The project requires some minor variance approvals but these are generally to respect existing conditions with the exception of the variance for driveway width. This is a function of the required fire route. There are no requirements for public access. There are no significant long term needs associated with the building.*

- Recommendations for conservation treatments that reference the framework provided in Parks Canada Standards and Guidelines for the Conservation of Historic Places In Canada.

*See Appendix at end of this document.*

## **6. Building System and Legal Considerations**

- Statement to explain the building and site use from a practical, logistical and legal perspective

*The site presently functions as a single family home and has done so since its construction about 1920. The property is relatively large by urban standards and it is connected to the street by a single car driveway leading to a detached garage. The building is generally unremarkable in the local community. The proposal is to do an adaptive re-use to allow it to function as a secondary building to the adjacent private school. This use is allowed by the zoning by-law and will require minimal intervention to the building exterior consisting of a small addition at the rear to facilitate barrier-free entry and the construction of barrier-free washrooms inside the building. There will also be a new fire escape attached to the rear of the building. The interior renovations are more extensive requiring enhanced fire separations, exiting arrangements, upgraded mechanical, electrical and sprinkler systems.*

- Input from structural, mechanical, electrical, planning, geotechnical, trades, and all other required fields of expertise to ensure the project is viable and sustainable. Building and site system review may include:

- Site Work (e.g. landscaping, drainage, servicing)

*Skira & Associates are the civil engineering consultants on this project. They have extensive experience in the Mississauga area.*

- Trees, shrubs, other plantings,

*An Arborist report has been prepared by Storybook Tree Services. There will be minimal impact on the existing vegetation.*

**- Archaeological concerns and mitigation**

*Amick Consultants Limited have been retained to do the necessary archaeological investigations*

**- Structural elements (e.g. foundation, load bearing)**

*Centric Engineering Corporation have been retained to do the required structural engineering consulting*

**- Building Envelope (roof, wall cladding, window type), Ontario Building Code, Accessibility**

*SMDA and Belinda Jones Architect are the architectural consultants on the project*

**- Mechanical, Plumbing, Electrical**

*YMSD Consulting have been retained to do mechanical, plumbing and electrical consulting*

**- Finishes and Hardware**

*No significant finishes or hardware are proposed*

**- Fire Safety and Suppression**

*Demand Sprinkler Design Inc. have been retained to design the sprinkler system*

**- Environmental Considerations, Lighting, Signage and Wayfinding, Security**

*No significant environmental considerations are expected. There is no requirement for significant lighting, signage, wayfinding or security as part of this proposal.*

**- Legal Considerations (e.g. easements, encroachments, leasing, etc.)**

*The present owners are also the proposed operators of the building. There are no leasing arrangements. There are no encroachments or other legal issues.*

**7. Work Plan**

**- Timeline to describe, in chronological order, to meet the objectives and goals Statement as to specialized trades or skills that will be required to complete the work**

**The work will consist of:**

- removal of interior partition walls as necessary, kitchen, bathrooms, stairs, etc.*
- removal of interior finishes where necessary for access or where fire separations or structural elements have to be upgraded as part of the work*
- removal of existing plumbing, heating and electrical systems*
- installation of new beams and load bearing elements in basement, main and second floors*

- creation of new fire separation and new exit stair
- local demolition at rear, excavation, creation of small addition and porch, foundation for wheelchair lift
- installation of new mechanical and electrical systems
- installation of fire sprinkler system
- installation of required fire separations
- interior finishing – completion of new bathrooms, etc.
- creation of new path to join building to Rotherglen School campus
- installation of new fire route
- installation of fire escape at rear of building

*The work will require qualified local trades but nothing particularly specialized. It is not expected that it will be difficult to find trades to execute the work.*

- Proposed budget to meet and sustain the goals and timeline; long term and short term maintenance schedule

*The budget has not been finalized. There will be ongoing maintenance of the building by the school similar to that of their present building. The school now occupies a Part IV designated building so they are aware of the maintenance needs of a heritage building.*

- Monitoring schedule, process and identify those responsible for monitoring

*The professionals noted above will be responsible for review during the construction period.*

## 8. Qualifications

- Heritage Conservation Management Plans will only be prepared by accredited, qualified professionals with demonstrated experience in the field of heritage conservation

*A CV for Rick Mateljan is attached.*

- Conservation Plans are usually a multidiscipline exercise whereby all consultants on the project must demonstrate accredited professionalism, experience and knowledge in their chosen field of expertise

*All of the consultants are appropriately licensed in Ontario and have experience on similar projects.*

## 9. Additional Information

- Bibliography of all documentation resources
- List of consultants and other professionals related to the project

*The Consultant team is named above.*

## 10. Additional Reports that may be required:

- Archaeological report, Arborist's report, Structural engineering report

*Noted above*

- Any other report that City staff may require to assess the project

#### 11. Approval Authority

The City of Mississauga will be the approval authority for a Heritage Conservation Management Plan

#### Contact Information:

Inquiries regarding the submission and requirements of a Heritage Conservation Management Plan should be addressed to Heritage Planning, Culture Division, City of Mississauga

Email: [culture.division@mississauga.ca](mailto:culture.division@mississauga.ca)



## APPENDIX:

### Commentary based on Parks Canada Standards and Guidelines for the Conservation of Historic Places In Canada

1. Conserve the heritage value of a historic place. Do not remove, replace or substantially alter its intact or repairable character-defining elements. Do not move a part of a historic place if its current location is a character-defining element.

*No removal, replacement or repair of character-defining elements is proposed. No movement of any part of the building is proposed.*

2. Conserve changes to a historic place that, over time, have become character-defining elements in their own right.

*The flat roofed addition to the building that was added in 1991 is not really a character-defining element in its own right but is being retained and the proposed addition will be seamless with this.*

3. Conserve heritage value by adopting an approach calling for minimal intervention.

*The proposed intervention to the exterior of the building is minimal. The intervention on the interior is greater in scope but only to the extent that the OBC and the owner's space utilization requirements demand. Existing trims and finishes will be retained where possible.*

4. Recognize each historic place as a physical record of its time, place and use. Do not create a false sense of historical development by adding elements from other historic places or other properties, or by combining features of the same property that never coexisted.

*There is no attempt to create a false sense of development.*

5. Find a use for a historic place that requires minimal or no change to its character-defining elements.

*The proposed use is an excellent adaptive re-use of this property.*

6. Protect and, if necessary, stabilize a historic place until any subsequent intervention is undertaken. Protect and preserve archaeological resources in place. Where there is potential for disturbing archaeological resources, take mitigation measures to limit damage and loss of information.

*An archaeological investigation will be undertaken and the results provided as noted above.*

7. Evaluate the existing condition of character-defining elements to determine the appropriate intervention needed. Use the gentlest means possible for any intervention. Respect heritage value when undertaking an intervention.

*The existing condition of the building is good. The only character defining elements of the building proposed to be altered are some areas of original brickwork at the rear of the building necessary to*

*create the addition. One original window will be removed at the rear of the building. Generally, this is a gentle intervention to the existing building.*

8. Maintain character-defining elements on an ongoing basis. Repair character- defining elements by reinforcing their materials using recognized conservation methods. Replace in kind any extensively deteriorated or missing parts of character-defining elements, where there are surviving prototypes.

*Noted. No repair or replacement of character defining elements are proposed.*

9. Make any intervention needed to preserve character-defining elements physically and visually compatible with the historic place and identifiable on close inspection. Document any intervention for future reference.

*The interventions will be high quality and will be demonstrably different from the original building. The original building is documented in the HIS report attached.*

**RICK MATELJAN** Lic. Tech. OAA  
3566 Eglinton Ave. W., Mississauga, ON  
(t) 416 315 4567 (e) rick.mateljan@smda.ca

**curriculum vitae**

---

**Education:**

- |           |  |
|-----------|--|
| 1978-1983 | Trinity College, University of Toronto <ul style="list-style-type: none"><li>• B. A. (4 year) (Specialist English, Specialist History)</li></ul>                               |
| 1994-1995 | Ryerson Polytechnic University <ul style="list-style-type: none"><li>• detailing of residential and institutional buildings, OBC, technical and presentation drawing</li></ul> |
| 1997-2006 | Royal Architectural Institute of Canada Syllabus Program <ul style="list-style-type: none"><li>• program of study leading to a professional degree in architecture</li></ul>   |
- 

**Employment:**

- |                |  |
|----------------|--|
| 2010 - Present | Strickland Mateljan Design Associates Ltd.(Partner) <ul style="list-style-type: none"><li>• architectural design practice specializing in custom residential and small commercial /institutional projects, land development consultation, adaptive re-use, heritage conservation</li><li>• heritage and urban design consulting for complex infill projects</li><li>• responsible for management, business development, marketing and project delivery</li><li>• extensive experience in municipal approvals, heritage approvals</li><li>• Ontario Association of Architects licence with terms, conditions and limitations</li></ul>  |
| 2001 - 2010    | Gren Weis Architect and Associates, Designer and Project Manager <ul style="list-style-type: none"><li>• design, design development, conceptual, working and presentation drawings, project co-ordination, site review, liaison with authorities having jurisdiction</li><li>• extensive client, consultant and building site involvement</li><li>• extensive experience in multi-disciplinary team environments</li><li>• specialist at Municipal Approvals, Site Plan and Re-zoning approvals, OMB appeals</li><li>• specialist at renovation and conservation of Heritage buildings, infill developments in Heritage communities</li><li>• corporate communication, advertising and photography</li></ul> |

1993-2001

Diversified Design Corporation, Owner

- conceptual design, design development, working drawings, approvals and construction for custom residential, institutional and commercial projects

---

Recent professional development:

2012	OAA – Admission Course
2010	Georgian College – “Small Buildings”
2010	Successfully completed Ministry of Municipal Affairs and Housing “Small Buildings” and “Designer Legal” examinations
2010	Successfully completed OACETT professional practice exam
2008	Qualified to give testimony before the Ontario Municipal Board
2007	OAA – Heritage Conservation in Practice
2006	RAIC – Standards and Guidelines for the Conservation of Historic Places in Canada

---

Activities:

2014 -2015	Guest critic, University of Waterloo Architectural Practice Program
2012-present	Member, Board of Directors, OAAAS and member of the OAAAS Student Award Jury
2011-present	Member, Editorial Committee, OAA Perspectives magazine
2008-2015	Member, Board of Directors of Oakville Galleries (President 2011-2013)
2007-present	Member, Mississauga Heritage Advisory Committee (vice-chair from 2015), member of the Heritage Award jury and Heritage Property Grant Panel
1995-2001	Member, Oakville Local Architectural Conservation Advisory Committee and Oakville Heritage Review Committee (Chair from 1998)
2001-2004	Alternate Member, Oakville Committee of Adjustment (appointed but never called to serve)

---

Memberships:

Ontario Association of Architects  
Ontario Association of Applied Architectural Sciences



# Ruth Victor & Associates

481 North Service Road West  
A-33, Oakville, ON L6M 2V6  
rvassociates.ca  
P 905-257-3590  
E admin@rvassociates.ca

February 10, 2017

Committee of Adjustment  
City of Mississauga  
300 City Centre Drive  
Mississauga, ON L5B 3C1

Attention: Mr. David Martin, Secretary Treasurer Committee of Adjustment

Dear Mr. Martin:

RE: Minor Variance Application  
Rotherglen Creative Spaces Ltd.  
7059 Second Line West  
Part Lot 2, Concession 2 WHS

---

Ruth Victor & Associates is the planning consultant for Rotherglen Creative Spaces Ltd., the registered owner of the property at 7059 Second Line West in the City of Mississauga (herein referred to as the "subject property").

The subject property is located on the east side of Second Line West, north of Old Derry Road, west of Gaslamp Walk, and south of Derry Road West. The municipal address for the property is Part Lot 11, Concession 2 WHS. The subject property has a site area of 2833.70sqm and a lot frontage of 50.25m onto Second Line West. The subject property is occupied by a residential 2 and a half-storey brick dwelling and a one-storey garage. The abutting property to the south is that of the Rotherglen School's Meadowvale Elementary Campus.

## PROPOSED VARIANCE

To permit the construction of a one-storey addition at the rear to the existing building and to recognize various non-conforming aspects of the existing dwelling that is being repurposed for Private School uses, the following variances are required under Zoning By-Law 0025-2007:

1. To permit the existing dwelling height of 10.32m, whereas Section 4.2.2.32.5 allows for a maximum height of 7.5m;
2. To permit the existing detached garage to remain with a floor area of 59.2sqm, whereas Section 4.2.2.32.8 permits a maximum of 50sqm;
3. To permit the new one-storey addition and covered porch with a flat roof, whereas Section 4.2.2.32.4 does not permit a flat roof;

4. To permit the existing driveway to remain with a 3.8m landscape buffer between it and the abutting residential property (whereas Section 2.1.9.2 requires a minimum of 4.5m landscape buffer between it and an abutting residential property), and for it to include two new designated parking spaces (one being a wheelchair access space);
5. To permit two parking spaces on the subject property; and,
6. To permit a driveway width of 6.0m to address Fire route requirements, whereas Section 4.2.2.32.10 mandates a maximum driveway width of 3.0m.

### PLANNING CONTEXT

#### Region of Peel Official Plan

The Region of Peel Official Plan ("ROP") contains policies that guide economic, environmental, and community building decisions for growth management. The policies in the ROP help to co-ordinate and set the stage for more detailed planning by local municipalities. The ROP is built on the pillars of creating a sustainable region, through the promotion of healthy communities, attention to agriculture and rural areas, a strong natural environment, and the overall servicing of the population.

The Regional Land Use Map of the ROP designates the property "Residential" (see Figure 1). As per Section 5.4.3.2.1, the ROP states that it is up to the Regional Council to provide a range and mix of residential, commercial, recreational, and institutional land uses, but that it is up to the Municipality to identify areas appropriate for such opportunities. The ROP identifies areas that are to be preserved to maintain the built heritage of the region and to encourage public and private stewardship of Peel's heritage (Sections 3.6.1.1 & 3.6.1.2).

The subject property is not located within the Credit Valley Conservation Authority Regulation Limits.

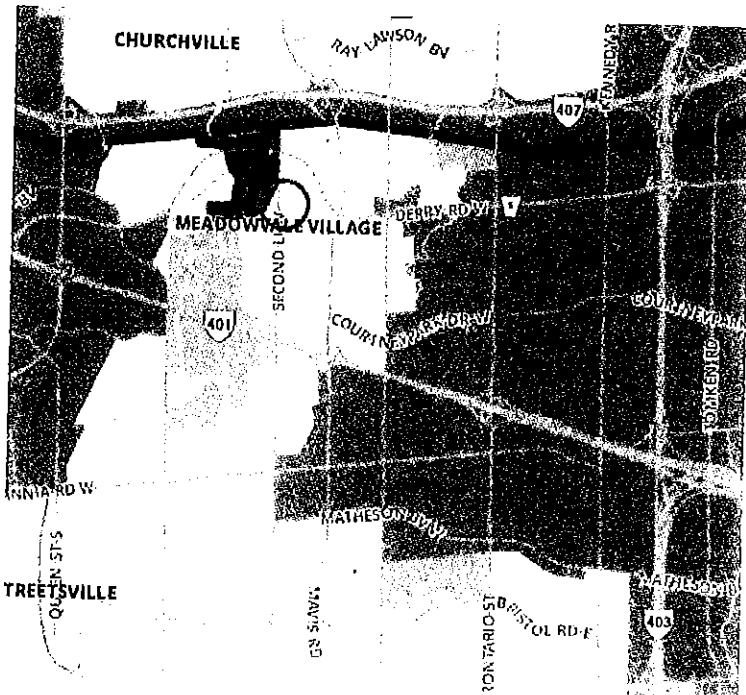


Figure 1 — ROP General Land-Use Map showing the subject lands located within the "Residential" area

### Mississauga Official Plan

The Mississauga Official Plan ("MOP") provides direction for the next stage of the City's growth and articulates a vision through specific principles for both public and private sectors in the on-going evolution of the City.

The MOP designates the subject lands "Residential Low Density 1" (see Figure 2), which permits Private School uses as per section 11.2.1 & 7.3.3.

As per section 9.1, any development or alterations to property will take place in a manner that protects, enhances, and restores heritage features, and that it will be sensitive to the existing urban context and minimize undue impacts on adjacent properties. The MOP designates the subject lands as within the Meadowvale Village area (see Figure 3). The subject lands are also located within the Heritage Conservation District, which mandates that any development must maintain the rural character of the surrounding area (section 16.17.2.13). Sections 6.2.5 and 6.9.5 state that Mississauga encourages the retrofitting of existing buildings and developed sites, and that development will ensure compatibility with adjacent, existing, and future land-uses (section 6.9.5).

Section 7.3 of the MOP refers to the importance of Community Infrastructure, stating that it is a vital part of complete communities, contributing to the quality of life and well-being of residents. In addition, Section 7.3.2 states that where appropriate, community infrastructure may also be located within Neighbourhoods (in this case, Meadowvale Village). 7.3.3 supports that Community Infrastructure within Neighbourhoods may include schools, private clubs, daycare/day programs, and that it will generally serve the local or nearby Neighbourhoods. Sections 7.3.4 and 7.3.5 states that community infrastructure will be located to minimize impacts on the transportation system, and that they will be near other community infrastructure and places of gathering. In this case, the subject property is located directly abutting Rotherglen Private School Meadowvale Campus, will be used solely in conjunction with that Private School, and accessed to primarily from that abutting property. Section 7.3.6 requires that the scale, design, layout, and configuration of the community infrastructure may be limited to ensure visual and functional compatibility with surrounding development.

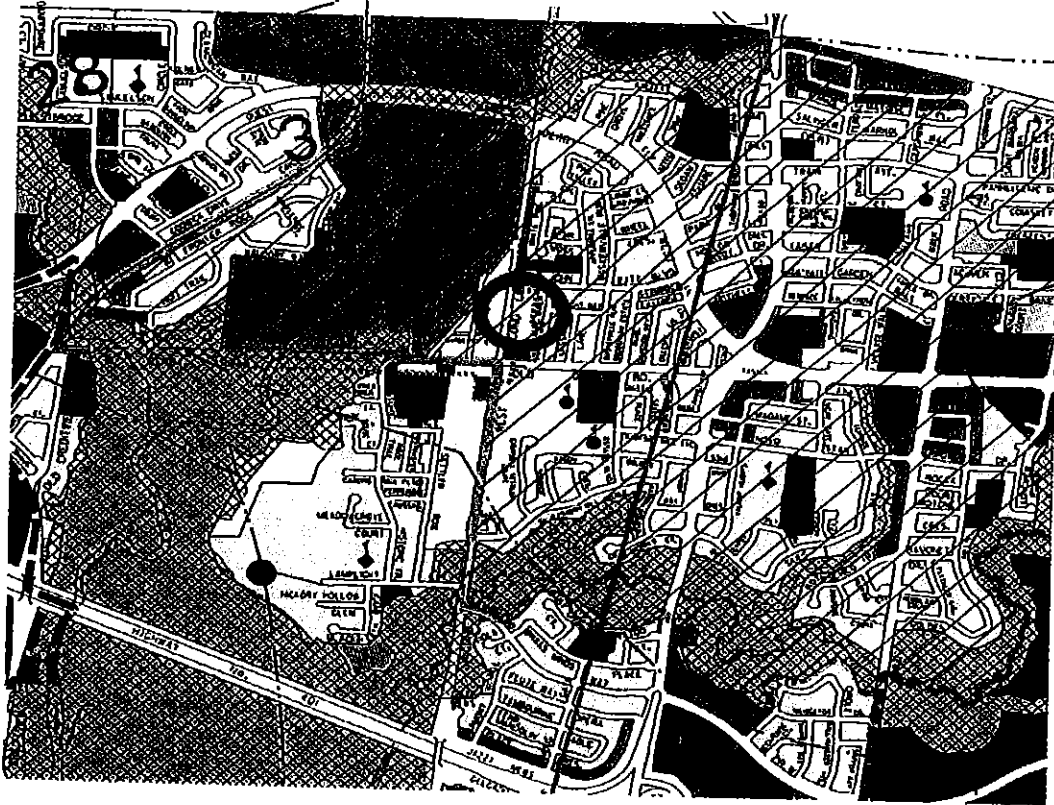


Figure 2 — Land-use Map from the Mississauga Official Plan showing the subject lands located within the "Low Density Residential 1" area

### 16.17 Meadowvale Village

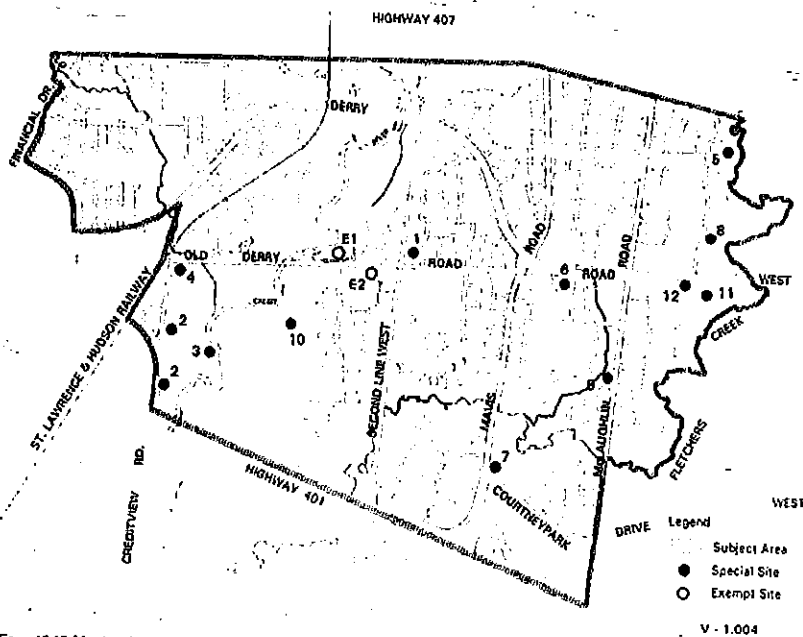


Figure 16-17: Meadowvale Village Neighbourhood Character Area

Figure 3 — Mississauga Official Plan Meadowvale Village Land Use Designation



# City of Mississauga Zoning By-law 0025-2007

Under Zoning By-Law 0025-2007, the subject lands are zoned as "Residential Low Density (R1-32)". As per the policies for R1-designated lands, the use of the subject property for Private School purposes is permitted, as shown in Section 2.1.9.2 of the By-Law (see Figure 3):

## 2.1.9.2 Private School

In addition to the provisions contained in Parts 1 to 3 of this By-law, a private school shall comply with the provisions contained in Table 2.1.9.2 - Private School.

Table 2.1.9.2 - Private School

Line		
1.0	A private school is permitted only in these zones	R1 to R16, RM1 to RM19 and RM1 to RA5, C1 to C4, CC1 to CC4, OS1, OS2 and I zones
2.0	A private school in a non-residential zone shall comply with the regulations of the zone in which it is located	✓
2.1	The following uses shall be permitted accessory to a private school: tutoring, and recreational, social, community and charitable activities	✓
2.2	Maximum percentage of the total gross floor area that may be used for all accessory uses	20% of the gross floor area of a private school
2.3	Minimum setback from a railway right-of-way	30.0 m
2.4	Minimum setback of a parking area to a street	4.5 m

Figure 3 — Section 2.1.9.2 showing the permitted Private School use within an R1 zone.

In regards to parking, Section 43.2 of the By-Law requires there to be 1.0 space per 100m<sup>2</sup> GFA (see Figure 4).

43.0	Schools:	
43.1	College, University	1.1 spaces per 100 m <sup>2</sup> GFA - non-residential used for academic purposes; plus 0.15 spaces per resident student and/or staff
43.2	Public/Private School (up to and including Grade 8)	1.0 space per 100 m <sup>2</sup> GFA - non-residential (excluding portables) plus 1.0 spaces per portable classroom <sup>(3)</sup>
43.3	Public/Private School (Grade 9 and above)	1.5 spaces per 100 m <sup>2</sup> GFA - non-residential (excluding portables) plus 1.0 spaces per portable classroom <sup>(3)</sup>

Figure 4 — Section 43.2 of the By-Law requires that there be 1.0 parking spaces per 100m<sup>2</sup> GFA.

Under section 4.2.2.32 of the By-law (Figure 5), lands zoned as R1-32 are subject to the additional land use regulations as follows:

4.2.2.32	Exception: R1-32	Map # 44W, 45E, 52W, 53E	By-law: 0308-2011, 0192-2014
In a R1-32 zone the permitted uses and applicable regulations shall be as specified for a R1 zone except that the following uses/regulations shall apply:			
<b>Regulations</b>			
4.2.2.32.1	The regulations of Sentence 3.1.1.7.1 of this By-law shall not apply		
4.2.2.32.2	Minimum lot area		1 050 m <sup>2</sup>
4.2.2.32.3	Minimum combined width of side yards:		
	(1) one storey detached dwelling		20% of the lot frontage
	(2) two storey detached dwelling		27% of the lot frontage
4.2.2.32.4	A flat roof shall not be permitted		
4.2.2.32.5	Maximum height - highest ridge: sloped roof		7.5 m
4.2.2.32.6	Maximum gross floor area - Infill residential		160 m <sup>2</sup> plus 0.10 times the lot area
4.2.2.32.7	An attached garage shall not be permitted		
4.2.2.32.8	Maximum floor area of a detached garage		50 m <sup>2</sup>
4.2.2.32.9	Maximum projection of the front garage face of a detached garage beyond any portion of the first floor front wall or exterior side wall		0.0 m
4.2.2.32.10	Maximum driveway width		3.0 m

Figure 5 — Table 4.2.2.32 of By-Law 0025-2007, outlining the regulations for permitted uses within an R1-32 zone.

#### PLANNING ANALYSIS

##### Minor Variance Application

Under Section 45(1) of the Planning Act, there are four tests to be satisfied for a minor variance. These are:

1. That the general intent and purpose of the Official Plan is maintained.
2. That the general intent and purpose of the Zoning By-law is maintained.
3. That the variances are desirable for the appropriate development or use of the land, building or structure in the opinion of the committee.
4. That the variance is minor.

##### Mississauga Official Plan (MOP)

The general intent and purpose of the Official Plan is to protect heritage areas, to permit growth in selected areas, and to prevent incompatible growth from taking place in areas associated with mature

neighbourhoods or rural areas. The subject property is located within the Meadowvale Heritage Conservation area, and the proposed use of the existing building is in conformity with the policies in the Official Plan (Section 2.1.9.2). The subject property is designated "Residential Low Density I". Under Section 11.2.1.1, any land designation (aside from Greenlands and Parkway Belt West lands) is permitted to be used for Community Infrastructure. As aforementioned, Community Infrastructure refers to "lands, buildings, and structures that support the quality of life for people and communities by providing [...] private schools [...] community facilities [and] daycare/day program."

Under Section 16.17.2.12, the rural village character of the Heritage Conservation District of Meadowvale Village must be maintained. In addition, there is a Special Site Policy (Section 16.17.5.1) for the neighbouring Rotherglen School Meadowvale Campus, which permits the integration of open space with existing buildings and structures to be used for public and/or private uses. The existing building is being preserved in accordance with the policies for this district as set out within the Heritage Impact Study completed in support of the Heritage Permit and Site Plan application.

In this case, the subject property is located directly abutting Rotherglen Private School Meadowvale Campus, will be used solely in conjunction with that Private School, and accessed primarily from that abutting property therefore resulting in no further adverse traffic impact on Second Line West.

Section 7.3.6 requires that the scale, design, layout, and configuration of the community infrastructure may be limited to ensure visual and functional compatibility with surrounding development, and the proposed variances are to permit the existing situation on the subject lands, to permit the addition of a small one-storey wooden addition to the rear of the property which is in-keeping with the architectural styles and elements of not only the subject heritage building, but the surrounding area; and to widen the driveway in order to address fire safety regulations that were identified as required by the Fire Department. The one-storey wooden addition has been designed with a flat roof to incorporate the design elements of the existing addition to the rear. The variance to permit a 3.8m buffer is to acknowledge its pre-existing condition. The variance to increase the width of the driveway from 2.2m to 6.0m is to address fire regulations and the driveway has been designed to minimize impact to both the immediate and general surrounding area by incorporating the access point, driveway, and parking area into one entryway, thus adhering to Section 9.2.1.6, which encourages the consolidation of driveway entrances.

Overall, the proposed use and variances of the subject lands maintain the general intent and purpose of the Official Plan.

#### **Zoning By-Law (0025-2007)**

As per the Zoning By-Law, the subject property is zoned as "R1-32 (Low Density Residential I)", which permits detached dwellings. As per Section 2.1.9.2 of the By-Law, lands located within Low Density Residential I zones are permitted to be used for Private School purpose as well as accessory uses to a private school (see figure 3). As set out below, the proposed variances maintain the intent and purpose of the zoning by-law.

The height of the current existing building is 10.32m to the pitch of the sloped roof, whereas Section 4.2.2.32.5 of the By-Law states that the maximum roof height be 7.5m. This variance seeks to permit the existing roofline of the detached dwelling to remain at its 10.32m height. The intent and purpose of the height provision within the zoning by-law is to ensure buildings are related in scale on adjacent parcels. The minor variance to permit the existing height of the building and roof structure, which was built in 1920, maintains the intent and purpose of the zoning by-law and as well preserves an important component of the dwelling's historic character.

#### *Floor Area of Garage*

The current existing garage has a floor area of 59.2sqm, whereas Section 4.2.2.32.8 allows a maximum of 50.0sqm. This variance seeks to increase the allowed floor area of a garage to permit its existing footprint of 59.2sqm. The garage has existed on the property for several years, and forms part of the existing context of this property.

#### *Parking Space Buffer*

The current parking lot exists with a 3.8m landscaping buffer between it and the adjacent residential property, whereas Section 2.1.9.2 mandates a buffer of 4.5m between a parking lot and an abutting residential lot. In this case, the parking area has existed for several years in its location, and it will remain in this location. The parking area will be a designated Disabled Parking Space, and will have limited use. No additional impact on the adjacent lands will occur due to the proposed variance for the 3.8m buffer.

#### *Parking Spaces*

There are two (2) proposed parking spaces located on the subject property — one (1) being a regular parking space and the other a designated disabled parking space. The Zoning By-Law requires that there be 1.0 parking space per every 100.0m<sup>2</sup>. The subject dwelling has GFA of 267.42m<sup>2</sup>, however according to Section 3.1.1.9 of the By-Law, which states that alternative gross floor area deductions for non-residential uses are allowed up to 5%, the total GFA (including this 5% deduction) is 254.05m<sup>2</sup>, which results in 2.54 (or 3) parking spaces required in total for the subject property.

The subject property is to be used in conjunction with the abutting property to the south, Rotherglen School Meadowvale Campus, which contains an excess of 20 parking spaces that was approved by Mississauga Zoning in 2016. Sufficient parking is on the adjacent lands to address the deficiency in parking of one space on the subject property.

The abutting lands are required to have 18 spaces (based on approved calculations of the GFA's) and there are a total of 38 parking spaces provided. Thus, since the subject lands are to be used in conjunction with said property; that the neighbouring property already provides an excess of 20 parking spaces; and that a disabled parking space is located on the subject lands itself, that the additional one (1) required parking space being addressed as located on the abutting property will not result in any adverse impacts to the neighbouring properties nor the general character of the surrounding area.

### *One-Storey Addition*

The proposed one-storey addition to the rear of the property will have a flat roof, whereas section 4.2.2.32.5 does not permit a flat roof in R1-32 zones. This is to prevent unwanted architectural features and aesthetics in a Heritage Area. However, the subject addition has been designed so that it be respectful of its context and the general character of the surrounding area, and the flat roof is to ensure that it fits and integrates well onto the existing structure. An addition with a flat roof will integrate seamlessly onto the existing rear façade.

### *Driveway Width*

The current driveway width fronting onto Second Line West is 2.2m. As requested by the Fire Department, it is required that this driveway be widened to 6.0m to address fire safety concerns and to meet the City's requirements for a fire route. As per Section 4.2.2.32.5 of the By-Law, a maximum driveway width of 3.0m is permitted. This variance seeks to widen the driveway to adhere to the City Fire Department requirements. The entrance has been designed such that it minimizes entryways by integrating with the existing driveway, and addresses Section 4.1.9.1.2, which states that there will be a maximum of one driveway per lot in R1 zones.

### **Appropriate Development or Use of Land**

The requested variances will result in changes to the structure which preserve its heritage elements while keeping with the general character of the surrounding area.

The proposed height, garage, and parking lot variances discussed in this letter are all to permit what currently exists. The detached dwelling has stood at its current height (10.52m) since its building date in 1920, with the roof being a key architectural and heritage feature of the dwelling — this variance seeks to permit this. Both the garage and parking lot have existed with their respective attributes and in their respective locations for several years, and this application seeks to permit them to remain where they are.

The one storey addition and porch to the rear of the property is designed to reflect and fit-in with the character of the existing building as well as integrate well into the general character of the surrounding area. There is an existing one-storey porch located on the south side of the dwelling, and the proposed addition will reflect its' design. This addition is to act as an entrance hallway for anyone accessing the property from the rear and from Rotherglen School. This addition will allow easy access to the subject dwelling without use of the front of the building, the addition adheres to the Heritage Guidelines (as stated in the Heritage Report), is not visible from the street, and does not result in any adverse impacts in terms of overlook, shadowing, and privacy.

With regards to the driveway width (2.2m), it is a requirement by the Fire Department that there be a widened entranceway to allow for fire safety regulations. The minimum required width of a driveway is 6.0m, and thus this application simply supports the widening of the driveway onto Second Line West to address these safety concerns.

The variances are desirable for the appropriate development or use of the land, building or structure as set out above.

*Variance Is Minor*

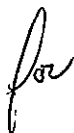
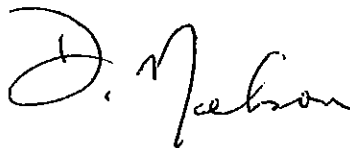
The last requirement is that the variance is minor in nature. In my opinion, the proposed variance does not result in any unacceptable adverse impacts on adjacent properties or the surrounding area and represents a sensitive reuse of the existing dwelling. Aside from the requested variances, the proposed dwelling complies to and in some instances, exceeds other regulations of Zoning By-law 2014-014. The proposed variances are minor in nature.

**CONCLUSION**

The proposed variances meet the general intent and purpose of the Official Plan and Zoning By-law, are minor in nature, and are desirable and appropriate for this property. It is my opinion that the minor variance application meets the four tests as set out in the Planning Act.

The proposed minor variance represents good planning.

Yours truly,



Ruth Victor MCIP, RPP