
Heritage Advisory Committee

Date

2017/01/10

Time

9:30 AM

Location

Civic Centre, Council Chamber,
300 City Centre Drive, Mississauga, Ontario, L5B 3C1 Ontario

Members

Councillor George Carlson, Ward 11 (Chair)
Rick Mateljan, Citizen Member (Vice-Chair)
Councillor Carolyn Parrish, Ward 5
Michael Battaglia, Citizen Member
Elizabeth Bjarnason, Citizen Member
Robert Cutmore, Citizen Member
David Dodaro, Citizen Member
Lindsay Graves, Citizen Member
James Holmes, Citizen Member
Cameron McCuaig, Citizen Member
Matthew N. Wilkinson, Citizen Member

Contact

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<http://www.mississauga.ca/portal/cityhall/heritageadvisory.ca>

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<http://www.mississauga.ca/portal/cityhall/heritageadvisory>

1. CALL TO ORDER
2. APPROVAL OF AGENDA
3. DECLARATION OF CONFLICT OF INTEREST
4. MINUTES OF PREVIOUS MEETING
 - 4.1. Heritage Advisory Committee Minutes of November 15, 2016
5. DEPUTATIONS
 - 5.1. Credit River Bridge Pilot Project Strategic Conservation Plan - Winston L. Wong, Ministry of Tourism, Culture and Sport
6. PUBLIC QUESTION PERIOD - 15 Minute Limit (*In accordance with Section 43 of the City of Mississauga Procedure By-law 0139-2013, persons who wish to address the Heritage Advisory Committee about a matter on the Agenda may ask their question limiting it to 5 minutes, as the public question period total limit is 15 minutes.*)
7. MATTERS TO BE CONSIDERED
 - 7.1. Proposed Heritage Designation Mary Fix Property, 25 Pinetree Way (Ward 1)

Recommendation

1. That the property at 25 Pinetree Way, known as the Mary Fix Property, be designated under the Ontario Heritage Act for its design, physical, historical, associative and contextual value and that the appropriate City officials be authorized and directed to take the necessary action to give effect thereto.
 2. That if there are objections to the designation, City Council direct the City Clerk to refer the matter to the Conservation Review Board.
- 7.2. Request to Alter a Heritage Designated Property: Installation of public art at 4300 Riverwood Park Lane (Ward 6)

Recommendation

1. That the proposal for a new public art sculpture, concrete foundation slab with integrated steps and new public seating areas, with dimensions as described in the preliminary technical description, as shown in the attachments to the Corporate Report dated December 15, 2016 from the Commissioner of Community Services, be approved for the property at 4300 Riverwood Park Lane, which is designated under Part IV of the Ontario Heritage Act.
2. That final drawings be submitted to heritage planning prior to issuance of the

heritage permit.

7.3. Request to Alter a Heritage Designated Property: Landscaping work at 4300 Riverwood Park Lane (Ward 6)

Recommendation

That the rehabilitation of the circular drive, the adjacent stone path and the pedestrian path along the north of the Parker Estate house, concrete foundation slab with integrated steps and new public seating areas, as shown in the attachments to the Corporate Report dated December 15, 2016 from the Commissioner of Community Services, be approved for the property at 4300 Riverwood Park Lane, which is designated under Part IV of the Ontario Heritage Act.

7.4. Request to Demolish a Heritage Listed Property: 1412 Birchwood Heights Drive (Ward 1)

Recommendation

That the property at 1412 Birchwood Heights Drive, which is listed on the City's Heritage Register, is not worthy of heritage designation, and consequently, that the owner's request to demolish proceed through the applicable process.

7.5. Request to Demolish a Heritage Listed Property: 23 Plainsman Road (Ward 11)

Recommendation

That the property at 23 Plainsman Road, which is listed on the City's Heritage Register, is not worthy of heritage designation, and consequently, that the owner's request to demolish proceed through the applicable process.

7.6. Heritage Advisory Committee and Related Staff Milestones: 2016 Year in Review

8. SUBCOMMITTEE UPDATES

8.1. Heritage Designation Sub-Committee

8.2. Public Awareness Sub-Committee

9. INFORMATION ITEMS

10. OTHER BUSINESS

11. DATE OF NEXT MEETING - February 14, 2017 at 9:00 am

12. ADJOURNMENT

City of Mississauga
Minutes



Heritage Advisory Committee

Date

2016/11/15

Time

9:30 AM

Location

Civic Centre, Council Chamber,
300 City Centre Drive, Mississauga, Ontario, L5B 3C1 Ontario

Members Present

Councillor George Carlson, Ward 11 **(Chair)**
Rick Mateljan, Citizen Member **(Vice-Chair)** – left at 11:15am
Councillor Carolyn Parrish, Ward 5
Elizabeth Bjarnason, Citizen Member
Robert Cutmore, Citizen Member
David Dodaro, Citizen Member
James Holmes, Citizen Member
Cameron McCuaig, Citizen Member
Matthew N. Wilkinson, Citizen Member

Members Absent

Michael Battaglia, Citizen Member
Lindsay Graves, Citizen Member

Staff Present

Mark Warrack, Manager, Culture and Heritage Planning
Paula Wubbenhorst, Senior Heritage Coordinator, Culture Division
Cecilia Nin Hernandez, Heritage Coordinator, Culture Division
Mumtaz Alikhan, Legislative Coordinator

Find it online

<http://www.mississauga.ca/portal/cityhall/heritageadvisory>

1. CALL TO ORDER - 9:30 am

2. APPROVAL OF AGENDA

APPROVED (R. Mateljan)

3. DECLARATION OF CONFLICT OF INTEREST

4. MINUTES OF PREVIOUS MEETING

4.1. Approval of Minutes of October 11, 2016 Meeting

APPROVED (R. Cutmore)

5. DEPUTATIONS – Nil.

6. PUBLIC QUESTION PERIOD – Nil.

7. MATTERS TO BE CONSIDERED

7.1. Proposed Heritage Designation Amendment: 5155 Mississauga Road (Ward 11)

Owen Scott, Heritage Consultant, CHC Limited, addressed the Committee. He said the proposed amendment has been prompted by the completion of the application to restore Barber House which has been the subject of a Heritage Impact Statement as well as a conservation plan. He expressed agreement with the proposed amendment except for the following exceptions that have been considered as heritage attributes:

- the original driveway was located to the north of the property and was moved south to its existing location in the 1980s with the reconstruction, widening and elevation change of Mississauga Road and the development of the existing restaurant facility which occupies Barber House;
- the stone markers were a recent addition as part of the redevelopment of the House in the 1980s;
- the view of the building from Mississauga Road is important to preserve, but the view across the existing parking lot from Barbertown Road, a minor street, is hidden by the trees and does not constitute a heritage attribute.

Mr. Scott requested the Committee to remove the aforementioned as heritage attributes and the wording with respect to the view be amended to read “from Mississauga Road”.

Committee Members noted the following:

- The stone markers are a recent addition;
- The view of the building from the corner of the lot at Mississauga Road and Barbertown Road property lines is a very important feature to preserve.

Cecilia Nin Hernandez, Heritage Coordinator, noted that the original Bylaw was passed in 1982 and does not reflect the updates in the *Ontario Heritage Act* Regulation 906. She explained that the study (Appendix 3 in the Corporate Report) recommends an update to the designation by-law. Based on the information Mr. Scott has presented on the stone markers, staff do not object to removing them from the list of attributes. With respect to the views, Ms. Nin Hernandez said that staff would consider amending the wording with “Views of the building from Mississauga Road and from the corner of the lot at Mississauga Road and Barbertown Road property lines”.

Mr. Scott suggested that the wording “property lines” be replaced with “from the sidewalk and road.” In response to Ms. Nin Hernandez’s proposal to express the concept with the words “public realm”, Mr. Scott stated that he did not consider this to be legal terminology. Ms. Nin Hernandez then proposed to include both suggestions to read “*Views of the building from Mississauga Road and from the corner of the lot at Mississauga Road and Barbertown Road from the public realm (the sidewalk and road)*”. Mr. Scott agreed to the wording. The Committee agreed to this revision and the removal of the stone markers.

RECOMMENDATION

HAC-0056-2016

1. That Designation By-law 368-82, designating the property known as the William Barber House located at 5155 Mississauga Road be amended, per Section 30.1 (1) of the *Ontario Heritage Act*, for its physical and design; historical and associative; and contextual value, with the following revisions to the wording within the proposed Schedule A included as Appendix 4 of the Corporate Report dated October 20, 2016 from the Commissioner of Community Services:
 - (a) That the attribute “location of original driveway and stone markers” be removed from the list of attributes;
 - (b) That the wording “views of the building from the Mississauga and Barbertown Roads property line”, be revised as follows: “*Views of the building from Mississauga Road, and views from the public realm (the sidewalk and road) at the corner of Mississauga Road and Barbertown Road*”.
2. That the appropriate City officials be authorized and directed to take the necessary action to give effect thereto.
3. That if there are objections to the amendment of Designation Bylaw 368-82, City Council direct the City Clerk to refer the matter to the Conservation Review Board.

APPROVED (R. Mateljan)

7.2. Request to Alter a Heritage Designated Property: 1620 Orr Road (Ward 2)

Corporate Report dated October 20, 2016 from the Commissioner of Community Services.

RECOMMENDATION

HAC-0057-2016

That the proposal for new, wood, operable shutters as depicted in the appendix to the report from the Commissioner of Community Services, dated October 20, 2016, be approved for the Anchorage building at 1620 Orr Road, which is designated under Part IV of the Ontario Heritage Act.

APPROVED (M. Wilkinson)

7.3. Request to Demolish a Heritage Listed Property: 1251 Stavebank Road (Ward 1)

Corporate Report dated October 14, 2016 from the Commissioner of Community Services.

RECOMMENDATION

HAC-0058-2016

That the property at 1251 Stavebank Road, which is listed on the City's Heritage Register, is not worthy of heritage designation, and consequently, that the owner's request to demolish proceed through the applicable process.

APPROVED (D. Dodaro)

7.4. Request to Demolish a Heritage Listed Property: 1276 Woodland Avenue (Ward 1)

Corporate Report dated October 17, 2016 from the Commissioner of Community Services.

RECOMMENDATION

HAC-0059-2016

That the property at 1276 Woodland Avenue, which is listed on the City's Heritage Register, is not worthy of heritage designation, and consequently, that the owner's request to demolish proceed through the applicable process.

APPROVED (J. Holmes)

7.5. Request to Demolish an outbuilding at a Heritage Listed Property: 1548 Dundas Street West (Ward 7)

Corporate Report dated October 24, 2016 from the Commissioner of Community Services.

RECOMMENDATION

HAC-0060-2016

That the outbuilding at the property at 1548 Dundas Street West, which is listed on the City's Heritage Register, is not worthy of heritage designation, and consequently, that the owner's request to demolish proceed through the applicable process.

APPROVED (R. Mateljan)

7.6. Removal or reduction of Cultural Landscape Properties from the City's Heritage Register

The Committee discussed several options that would simplify the removal or reduction of Cultural Landscape Properties from the City's Heritage Register.

In response to Mr. McCuaig's questions regarding whether or not affected property owners were communicated with individually when the Cultural Landscape Inventory was adopted in 2005 and if the cost of a heritage impact assessment (HIA) could be included that impacted owners would incur. He felt that there is a very low awareness of the impact on potential buyers and sellers that their property is listed. Ms. Wubbenhorst responded that there were public meetings held at the time, but no direct communication was made to individual property owners. With respect to how much an HIA would cost, staff do not have this information as it is the owner's responsibility.

Councillor Carlson noted that the Mineola Cultural Landscape needs a focus as it has a very high number of applications for demolition requiring considerable staff time.

Mr. Mateljan suggested a simplified one page check list with pictures would be a useful tool for property owners to submit to staff and only the ones that staff determine to have a historical value be brought to the Committee for attention. He also suggested a fee of \$2,500 for each application as a cost recovery measure. In response to the fee, Mark Warrack, Manager, Culture and Heritage Planning, responded that such a fee is deemed a negative for heritage properties across the Province.

Mr. Warrack stated that there is a need for policy changes but the funding to conduct a study will not be available until 2018. He said the study will take an in-depth look at redefining Mississauga's cultural landscapes. He suggested a suspension be placed in the meantime on reviewing properties in parts of the City such as Mineola, the Malton Wartime Housing and the Erindale neighbourhood where an HIA would not be required. The applications would however be part of the site plan process. There would be a limited risk if this is implemented until the study is completed in late 2018.

M. Wilkinson said there is merit in streamlining the process which would alleviate staff workload. He said he trusted staff judgement in determining properties that require a full review. He also noted his support for Option 3 outlined in the Corporate Report and that he would be prepared to conduct site visits to conduct an evaluation and make recommendations. Mr. Wilkinson said that the impact to sellers and buyers is significant and stressful and owners need to be made aware that their property is listed.

Mr. McCuaig stressed that the confusion in the market place needs to be alleviated in terms of how to deal with listed properties.

Mr. Dodaro suggested that a one year suspension may be a better option in order to prevent a rash of applications. He said this will provide an opportunity to assess the situation to see if an extension is warranted for another year.

Ms. Wubbenhorst advised that it is important to determine the legality of simplifying the

process where historical value is not researched to determine if a property merits designation. Mr. Warrack noted that there is an obligation under the *Ontario Heritage Act* (Act) to determine within 60 days as to whether or not a property merits designation.

The Committee felt that there does not appear to be an easy solution to a simplified process given the Act. Councillor Carlson reiterated that the Mineola Cultural Landscape needs immediate attention. The general conclusion of the Committee was to delist properties in the landscapes and identify individual ones that merit further investigation, or continue with the current process.

The Committee requested that staff provide options for consideration at a future meeting given the above discussion at today's meeting.

RECOMMENDATION

HAC-0061-2016

That the report regarding the removal or reduction of Cultural Landscape Properties from the City's Heritage Register, from the Commissioner of Community Services, dated October 24, 2016, be received; and that staff provide a review of the options available for consideration at a future Heritage Advisory Committee Meeting.

RECEIVED (Councillor C. Parrish)

7.7. Vacancy on Heritage Advisory Committee - Resignation of Paul McGuigan

The Committee noted that Mr. McGuigan is no longer able to attend regularly scheduled meetings due to a job change, but has offered assistance to the Committee in a heritage capacity if needed.

RECOMMENDATION

HAC-0062-2016

That the resignation of Paul McGuigan from the Heritage Advisory Committee be received, and that the City Clerk be directed to fill the vacancy in accordance with the Corporate Policy on Citizen Appointments to Committees, Boards and Authorities #02-01-01.

APPROVED (B. Bjarnson)

7.8. Heritage Planning Work Plan

The Heritage Staff Work Plan was requested by the Committee at its meeting held on October 11, 2016.

Mumtaz Alikhan, Legislative Coordinator, stated that given the Museums and Heritage Strategic Planning Plan (Plan) process work underway in 2015, the development of the Committee's Work Plan had to be delayed. She advised that with the Plan's completion and adoption by Council, a facilitated session will be scheduled in early 2017 to assist the Committee in developing its Work Plan for 2017 and 2018.

RECOMMENDATION

HAC-0063-2016

That the Heritage Planning Staff Work Plan for 2017 be received for information.

RECEIVED (J. Holmes)

8. SUBCOMMITTEE UPDATES

8.1. Heritage Designation Sub-Committee

Mr. Dodaro advised that as part of a review of the possibility of a mini Heritage Conservation District (HCD) for Clarkson centering around the Clarkson Corners buildings, an information session at a Mississauga South Heritage Society Meeting to introduce the community to the idea of an HCD to gauge interest. He noted that discussions have also taken place with Ward 2 Councillor Ras on this matter.

Mr. Cameron noted that the area is not zoned currently and expressed concern as to whether the structures are recoverable in their current state. He said that if designation fails, there should some form of recognition such as a plaque.

Mr. Warrack noted that the heritage attributes have to be maintained per the *Ontario Heritage Act*.

RECOMMENDATION

HAC-0064-2016

That the update from D. Dodaro and C. McCuaig, members of the Heritage Designation Sub-Committee, to the Heritage Advisory Committee at its meeting held on November 15, 2015, be received.

RECEIVED (R. Cutmore)8.2. Public Awareness Sub-Committee – Nil.

9. INFORMATION ITEMS

9.1. 2017 Heritage Advisory Committee Meeting Dates

Memorandum dated October 6, 2016 from Mumtaz Alikhan, Legislative Coordinator:

RECOMMENDATION

HAC-0065-2016

That the schedule for the 2017 Heritage Advisory Committee Meetings in the Memorandum dated October 6, 2016 from Mumtaz Alikhan, Legislative Coordinator, be received.

RECEIVED (D. Dodaro)

9.2. Maintenance Priorities for City Owned Properties - Email dated 09/30/16

Mr. Wilkinson confirmed that he had attended site meetings several years ago, and he had assumed a report had subsequently been generated which included chimney repointing, water proofing basements, a roof for *The Grange*, etc. Councillor Carlson recalled that a report had been generated. Mr. McCuaig suggested that an assessment of City heritage properties be requested. Mr. Dodaro noted that work had recently been done at the Derry House and the Bradley Museum and that work must have precipitated from somewhere. Councillor Carlson agreed to pursue this matter further with the Director of Facilities and Property Management.

RECOMMENDATION

HAC-0066-2016

That the Email dated September 30, 2016 from Facilities and Property Management advising that no report exists with respect to maintenance priorities of City owned heritage properties, be received.

RECEIVED (C. McCuaig)

10. OTHER BUSINESS

Councillor Parrish announced that on December 1, 2016, at 6pm at the Peel Board of Education, the final plans for the Britannia Farm will be presented which includes a heritage section.

11. DATE OF NEXT MEETING - January 10, 2017

12. ADJOURNMENT - 11:30am

City of Mississauga
Corporate Report



Date: 2016/12/01

To: Chair and Members of Heritage Advisory Committee

From: Paul Mitcham, P. Eng, MBA, Commissioner of
 Community Services

Originator's files:

Meeting date:
 2017/01/10

Subject

Proposed Heritage Designation Mary Fix Property, 25 Pinetree Way (Ward 1)

Recommendation

1. That the property at 25 Pinetree Way, known as the Mary Fix Property, be designated under the Ontario Heritage Act for its design, physical, historical, associative and contextual value and that the appropriate City officials be authorized and directed to take the necessary action to give effect thereto.
2. That if there are objections to the designation, City Council direct the City Clerk to refer the matter to the Conservation Review Board.

Background

Located in the former Town of Port Credit the subject property is significant as the former residence of renowned politician and philanthropist, Mary (McNulty) Fix. Mrs. Fix is notable for becoming Toronto Township's first female politician upon her election, in January 1953, as Deputy-Reeve. Constructed in 1939 by Mary and husband Alphonse, the modest, 1-½ storey Colonial Revival Cape Cod style family home sits prominently at the southwest corner of the Queen Elizabeth Way highway and Hurontario Street, within the namesake Mary Fix Park. After her death in late 1972 and at her direction, the subject property was transferred to the Town of Mississauga for the sum of \$1.00. In 1973, the Town rented the Fix home to a local not-for-profit organization, an arrangement that remains in effect to this day.

In 2003, the subject property was added to the City's Heritage Register, then known as the Heritage Inventory, based on its "...historical significance, architectural uniqueness and prominent siting." (HAC-0001-2003 and GC-0068-2003) Remarkably, both the subject property and former Fix family home have remained fundamentally unaltered over the past 77 years and as such they serve to define, maintain and support the historic character of the area.

Comments

To merit designation under the *Ontario Heritage Act* a property must meet the criteria for determining cultural heritage value or interest, i.e. it must have physical, design, historical, associative, and/or contextual value, per Ontario Regulation 9/06. See Appendix 1, Cultural Heritage Assessment report.

The Mary Fix Property has historical and associative value because it has a direct association with Mary Fix, an accomplished and celebrated politician and philanthropist; it has direct associations with Toronto Township's mid-20th century political institution; and, it yields, or has the potential to yield, information that contributes to an understanding of Toronto Township's mid-20th century community and culture.

The former Mary Fix home has design and physical value as a representative example of a Colonial Revival Cape Cod style building, which, in keeping with the simplicity of Colonial Revival architecture, was constructed as a modestly-embellished, 1-½ storey wood frame building. Physically, the building represents the sociological influences and building practices prevalent in the period between the two world wars. Further, the subject property has clear archaeological potential because of its proximity to Mary Fix Creek; because of its proximity to a known archaeological site; and, because the entire property has not been subjected to recent (post-1960) extensive and intensive ground disturbances.

The Mary Fix Property has contextual value in that it defines, maintains and supports the historic character of the area, which at the time of home's construction, was transitioning from a predominantly agrarian community to a suburban one. The property remains physically, visually and historically linked to its surroundings, as one of the few remaining circa 1930 residential structures. The shape, form, design and massing of the former Fix home makes it easily distinguishable from the nearby, more contemporary, residential structures. The structure's modest form; its location within the surrounding mature woodlot, which makes up part of Mary Fix Park; and, because it is highly-visible from both the Queen Elizabeth Highway right-of-way and Hurontario Street, the property is a local landmark.

Financial Impact

There is no financial impact.

Conclusion

The Mary Fix Property, located at 25 Pinetree Way, meets the criteria for determining cultural heritage value or interest, per Regulation 9/06. As such, the subject property merits designation under the Ontario Heritage Act.

Attachments

Appendix 1: Cultural Heritage Assessment



Paul Mitcham, P. Eng, MBA, Commissioner of Community Services

Prepared by: Elaine Eigl, Heritage Coordinator

Cultural Heritage Assessment



Image courtesy Mississauga Library System

Mary Fix Property 25 Pinetree Way, Mississauga



Prepared by:
Heritage Planning
Community Services

November 2016

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Executive Summary

The Mary Fix Property, located at 25 Pinetree Way, merits designation under the *Ontario Heritage Act*, for its historical, associative, design, physical, and contextual value. The subject property was added to the City's Heritage Register, then known as the Heritage Inventory, in 2003 based on its "...historical significance, architectural uniqueness and prominent siting." (HAC-0001-2003 and GC-0068-2003)

The Mary Fix Property has historical and associative value because it has a direct association with Mary Fix, an accomplished and celebrated politician and philanthropist; it has direct associations with Toronto Township's mid-20th century political institution; and, it yields, or has the potential to yield, information that contributes to an understanding of Toronto Township's mid-20th century community and culture.

The former Mary Fix home has design and physical value as a representative example of a Colonial Revival Cape Cod style building, which, in keeping with the simplicity of Colonial Revival architecture, was constructed as a modestly-embellished, 1-½ storey wood frame building. Physically, the building represents the sociological influences and building practices prevalent in the period between the two world wars.

The Mary Fix Property has contextual value in that it defines, maintains and supports the historic character of the area, which at the time of home's construction, was transitioning from a predominantly agrarian community to a suburban one. The property remains physically, visually and historically linked to its surroundings, as one of the few remaining late 1930s residential structures. The shape, form, design and massing of the former Fix home makes it easily distinguishable from the nearby, more contemporary, residential structures. The structure's modest form; its location within the surrounding mature woodlot, which makes up part of Mary Fix Park; and, because it is highly-visible from both the Queen Elizabeth Highway right-of-way and Hurontario Street, the property is a local landmark.

Location Map

The subject property is centrally located in the south part of Mississauga, and lies immediately south of the Hurontario Street/Queen Elizabeth Way highway interchange; west of Hurontario Street; and, northeast of Pinetree Way. Legally, the property is composed of Part of Lots 7 and 8, Registered Plan B-27, designated as Parts 1 and 2, Plan 43R-32995. The property is part of the namesake “Mary Fix Park”.



Ontario Regulation 9/06

Cultural Heritage Value

In order to merit designation under the *Ontario Heritage Act* a property must have design/physical, historical/associative and/or contextual value. Ontario Regulation 9/06 lays out the specific criteria:

A property may be designated under section 29 of the Act if it meets one or more of the following criteria for determining whether it is of cultural heritage value or interest:

- 1) The property has design value or physical value because it,
 - i) is a rare, unique, representative or early example of a style, type, expression, material or construction method, or
 - ii) displays a high degree of craftsmanship or artistic merit, or
 - iii) demonstrates a high degree of technical or scientific achievement.
- 2) The property has historical value or associative value because it,
 - i) has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community, or
 - ii) yields, or has the potential to yield, information that contributes to an understanding of a community or culture, or
 - iii) demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.
- 3) The property has contextual value because it,
 - i) is important in defining, maintaining or supporting the character of an area, or
 - ii) is physically, functionally, visually or historically linked to its surroundings, or
 - iii) is a landmark. O. Reg. 9/06, s. 1 (2).

Historical and Associative Value

The Mary Fix Property has historical and associative value because it has a direct association with Mary Fix, an accomplished and celebrated politician and philanthropist; it has direct associations with Toronto Township's mid-20th century political institution; and, it yields, or has the potential to yield, information that contributes to an understanding of Toronto Township's mid-20th century community and culture.

Born in Ottawa, Mary Fix (née McNulty) (1896-1972), was educated in Ottawa and Toronto. Upon graduation from Osgoode School of Law in 1918, she became Ottawa's first female lawyer. Ms. McNulty practiced law for just two years leaving in frustration upon realizing that, as a woman, she would never receive important cases. Following her passion for fashion, she became a clothing buyer working for a number of clothing chains including Eaton's.



Mary McNulty, ca. 1925 ¹

In 1931, she married virtuoso pianist Albert Alphonse Fix. In March 1939, she purchased the subject property and together they built their home. Upon her husband's death in 1945, Mrs. Fix opened the Cloverleaf Dress Shop, which operated out of her home. It is believed that the shop was named because of its proximity to the recently opened Queen Elizabeth Way, which was notable as Canada's first inter-city divided highway, and which featured the first cloverleaf interchange in Canada (at Hurontario Street/Highway 10)².



Mary and Albert Fix with their Dachshunds, ca. 1940s ³

¹ *Mary McNulty as a young woman*, ca. 1920 - 1935, Museums of Mississauga, Bradley Collection- BR2009.20.58. Inscribed on the back of the photo, "M. McNulty, T. Eaton Co. 103 R. Lafayette, Paris, France"

² *The Ministry of Transportation 1916-2016: A history*. <http://www.mto.gov.on.ca/english/about/mto-100/> - accessed 2 August 2016

³ *Mary Fix and Albert Fix with two dogs*, ca. 1940s, Museums of Mississauga, Bradley Collection- BR2009.20.14.7

In January 1953, Mrs. Fix became Toronto Township's first female politician when she was elected as Deputy-Reeve. Her decision to enter politics was in response to massive post-World War II tax increases being imposed at the time. Throughout her political career Mrs. Fix held many political positions including the position of Reeve (district official) for the years 1955, 1957, 1958 and 1961, and in 1959 as Peel County's first female Warden.

Mrs. Fix's impact was felt locally and regionally as she was instrumental in guiding post-war growth and development in the township, including the development of the industrial areas of Dixie and Clarkson, and in the development of regional shopping centres such as Dixie Plaza which drew people from Toronto and beyond. Mrs. Fix's dedication to her constituents is notable in that she worked to ensure that development servicing costs were covered by developers and not through further taxation.



Peel Warden J.S. Scott congratulating Toronto Township's first female councillor, Mary Fix. 1953 ⁴

Aside from politics, Mrs. Fix was interested in many aspects of the community. Philanthropically, as a 16-year-old she then Miss McNulty co-founded with a friend the Equal Franchise Association which worked toward achieving the vote for women.⁵ Later in life, and as a Toronto Township resident, Mrs. Fix volunteered for a number of philanthropic organizations including The Victorian Order of Nurses; The Mississauga Library Board; and, as a founding member and the first President of the Toronto Township Historical Foundation, which today is known as Mississauga Heritage Foundation - or more commonly - Heritage Mississauga. Mrs. Fix was environmentally savvy well before being 'green' was in vogue, having fought to save the trees in her own neighbourhood, a place now commemorated as the Mary Fix Park.

⁴ *Peel Warden J.S. Scott congratulating Toronto Township's first female councillor, Mary Fix, 1953.* Museums of Mississauga, Bradley Collection- BR2009.20.62

⁵ *Famous Canadian Women Famous Firsts*, Dawn E. Monroe.
<http://famouscanadianwomen.com/famous%20firsts/lawyers> - Accessed 22 April 2016

Peel County Council, 1953 ⁶Reeve Mary Fix at Avro Canada, 1953 ⁷

Circa 1956, Mrs. Fix and Councillor Robert Harrison championed the retention and restoration of the Lewis Bradley House. Their endeavours, including Mrs. Fix's push to amend the Province's Municipal Act to permit townships to have historical societies, resulted directly in the formation of the Toronto Township Historical Foundation. At the time nothing in Provincial Statutes allowed Township Councils to own real property. With its creation in December 1960, Toronto Township Historical Foundation, as a body separate from Council, was able to purchase and protect the Lewis Bradley house.

Mary Fix, ca. 1950 - 1960 ⁸Mary Fix in front of Mary Fix Park sign, ca. 1970 ⁹

In late 1972, after Mrs. Fix's death, Canada Trust Company, as Executors of her estate, transferred the subject property to the Town of Mississauga for the sum of \$1.00.

⁶ 1953 *Peel County Council*. Museums of Mississauga, Bradley Collection - BR2009.20.26

⁷ *Reeve Mary Fix at Avro Canada*, 1953. Ibid, Bradley Collection - BR2009.20.33

⁸ *Mary Fix*, ca. 1950-1960. Ibid, Bradley Collection - BR2009.20.60

⁹ *Mary Fix outside sign for park dedicated to her*, ca. 1970. Ibid, Bradley Collection - BR2009.20.14.8

Design and Physical Value

The former Mary Fix home has design and physical value as a representative example of a Colonial Revival Cape Cod style building, which, in keeping with the simplicity of Colonial Revival architecture, was constructed as a modestly-embellished, 1-½ storey wood frame building. Physically, the building represents the sociological influences and building practices prevalent in the period between the two world wars.

Post World War I, Canada experienced a shift from predominantly agrarian work to manufacturing jobs, many of which were located in Canada's rapidly growing cities. One result of this demographic shift was a severe housing shortage, to which the market responded by offering relatively inexpensive housing options such as mail-order, or catalogue, homes. After the Great Depression, influential American Architect Royal Barry Wills, who was known as the master of Colonial Revival Cape Cods,¹⁰ offered small house designs which were a modernization of the 17th century Colonial Cape Cod design. Known as Colonial Revival Cape Cods, these buildings were widely sought after for their practical and aesthetic qualities. Wills, who was a peer of Frank Lloyd Wright, focused on designs that emphasized what he termed "scale" - the relationship between parts which resulted in design perfection and charm,¹¹ while satisfying his customers' demands for the modern amenities and latest technology available at the time. After WWII, many returning Veterans were facing their own housing shortage, and Wills' designs provided an appealing and affordable living option for middle-class families. His buildings are found throughout New England and from Canada to Florida.¹²

Built in the years between WWI and WWII, the Fix home is a physical embodiment of the sociological influences and building practices prevalent in the period between the two world wars. The origin of the design of the Fix home isn't known; it may have originated as a mail-order house plan package, or it may have been influenced by Royal Barry Wills. Regardless of its lineage, the building exhibits characteristics found in both mail-order home catalogues, and in Wills' designs.

Colonial Revival Cape Cods:

Colonial Revival Cape Cod homes are similar to their predecessor the Colonial Cape Cod house, a style which originated in 17th century New England. Colonial Cape Cods were very simple buildings which typically featured a substantial central or almost central fireplace. In settling New England, the early English colonists built their homes to suit local geographic and climatic conditions using local, readily available building materials. Typical Cape Cods were small (1,000 to 2,000 square feet) wood frame buildings which were covered in wide clapboard or shingles. Their massing was low and broad, and generally were 1-storey or 1-½ storeys tall. They incorporated low-ceilinged rooms which helped to conserve the heat provided by the large centrally-placed fireplaces. Steep-pitched, cedar-shingled roofs prevented excessive snow accumulation, and functional

¹⁰ *Royal Barry Wills*, Wikipedia, https://en.wikipedia.org/wiki/Royal_Barry_Wills. Accessed 21 July 2016

¹¹ Ibid

¹² Ibid

wooden shutters helped to mitigate stormy New England winds. Gable windows were generally made up of an odd collection of different sizes and shapes; however, six and nine pane windows were the most common throughout the building. Inside, the Colonists adapted the “English hall and parlor house” layout (rectangular, two rooms, one-room deep configuration). The lower floor consisted of a room for daily living activities such as cooking, dining, and gathering; and, a parlour or master bedroom. The smaller second floor, which was accessed by a central staircase located immediately behind the front door, typically led to two bedrooms where children slept.¹³ Cape Cods were simple, sometimes inexpensive, elegantly designed homes, although many built during the Greek Revival period featured an entablature with corner pilasters, pedimented gable ends, and a pilaster-and-lintel entry with sidelights.¹⁴

Like its predecessor, Colonial Revival Cape Cod architecture also originated in New England. Physically the Revivals are similar to the original 17th century Colonial Cape Cod houses with the exception that some revival homes moved the centrally-placed chimney to the side of the house, typically within the living room,¹⁵ and some iterations boasted more ornamentation.

Mary Fix Home:

The former Fix home is a modestly-embellished, three-bay, 1½-storey, rectangular wood frame structure, with distinct 1-storey breezeway and garage sections. It is comprised of four distinct sections, which include the original 1½-storey living area, breezeway, and garage; and, the garage door entryway section which was a later addition. Together, the three original sections are configured in an asymmetrical approximation of the letter “H”. The fourth section of the building, added sometime after the original construction, is a small, sheltered garage door entryway which is appended to the southwest wall of the garage. The entire building is covered in short-plank wood cladding. Made to resemble shingles, the cladding is notable for being unusually long, at approximately half a metre. The foundation is concrete block, overlaid with three courses of brick; the first two courses were laid in common bond and topped by a third Rowlock (or Rowlock) course.

The 1½-storey section of the house comprises the former living area, faces Hurontario Street/Highway 10, and reads as two distinct parts. It is capped by a moderately steep-pitched, side-gabled roof. When viewed from the front façade, the roof line has a ‘broken’ ridge which reflects the differing roof heights of the two parts of the living area. The roof on the south side of the living area sits higher than the roof on the smaller, recessed front section at the north of the living area. At the back of the building, the living area’s roof line is contiguous and doesn’t reflect the break in the front roof line. On the front façade, within the living area’s larger front section, the roof is punctured, slightly off-centre, by the living room’s original brick chimney. The chimney’s off-centre placement reflects one of the defining characteristics of Colonial Revival Capes.

¹³ *Cape Cod (house)*, Wikipedia, Wikipedia.org, [https://en.wikipedia.org/wiki/Cape_Cod_\(house\)](https://en.wikipedia.org/wiki/Cape_Cod_(house)) - Accessed 6 July 2016

¹⁴ *How Can You Recognize an Original Cape Cod Style House?*, Capelinks.com, <http://www.capelinks.com/cape-cod/main/entry/how-can-you-recognise-an-original-cape-cod-style-house/> - Accessed 27 October 2016

¹⁵ *Cape Cod (house)*, Wikipedia, Wikipedia.org, [https://en.wikipedia.org/wiki/Cape_Cod_\(house\)](https://en.wikipedia.org/wiki/Cape_Cod_(house)) - Accessed 6 July 2016



Mary Fix Home, circa 1950s¹⁶

Like the living area, the breezeway and garage sections are capped by the same moderately steep-pitched, side-gabled roof. The roof height of the later garage door entryway section sits lower still than the roofs over the breezeway and garage section's roof.

Living area:

Historically, the original 1½-storey front section of the Fix home contained the living area. This section of the building differs from typical Colonial Revival Cape Cods in that the far northeast corner of the building sits slightly recessed from the rest of this portion of the building. Consequently, when viewed from the front, this section appears to be comprised of two distinct segments, with the smaller recessed portion making up approximately one-third of this section's mass.

Front (northeast) façade:

The larger portion of the living area is arranged asymmetrically with the front door sitting slightly off-centre and very close to the northeast corner of the building. In contrast, the south window is located further away from the southeast corner of the building, relative to the distance between the front door and the northeast corner of the building. The north window sits centrally within the smaller, recessed portion of the living area. Although asymmetric when viewed as component parts, as a whole the two portions of the living area appear balanced and symmetrical.

The living area's original doors and windows remain in situ. When new, the front doorway and all front and side-façade windows were adorned with wooden shutters. However, all shutters have been removed, and two contemporary skylights have been added to the roof over the front façade.

¹⁶ Mary Fix fonds, Region of Peel Archives (RPA)



Contemporary additions, including skylights, metal awning and door hardware

Two original, fifteen-over-fifteen, double-hung, true-divided-light wood windows flank the formal front entryway. In keeping with the simplicity of the overall structure, entry into the building is via an unpretentious wood door, built in the frame-and-panel configuration¹⁷. The only embellishment added was a door knocker. The door knocker and original hardware were removed at some point in the past. Contemporary hardware, mail slot, and a metal kick plate have been added, as well as a metal awning, which affords some protection from the elements.



Front door details
Heritage Planning staff - June 2016¹⁸

Side (northwest) façade:

¹⁷ *Panel doors*, Wikipedia, https://en.wikipedia.org/wiki/Door#Construction_and_components - Accessed 29 September 2016

¹⁸ Unless otherwise noted, all photos were taken by City Heritage Planning Staff, on 6 June 2016

There are three true-divided-light, wood windows within the living area's northwest gable wall. On the upper floor is a single eight-over-eight, double-hung, true-divided-light wood window which is centrally located under the roof's peak. The lower floor contains two matching symmetrically placed, fifteen-over-fifteen, double-hung, true-divided-light wood windows, which are identical to the front windows.



Side, northwest, façade, circa 1939¹⁹

Rear (southwest) façade:

The rear, or southwest, façade of the home includes two exterior doors and two windows. Running from north to south, the first doorway opened onto a covered breezeway which connected the house to the garage. The breezeway door is a plain, wooden, frame-and-panel style door, of which the top third includes a 6-pane (three-over-three) true-divided-light window.



Rear, southwest, façade, circa 1950s²⁰

¹⁹ Mary Fix fonds, Region of Peel Archives (RPA)



Rear façade including the breezeway, circa 1950s ²¹

Between the breezeway door and the second exterior door is a small, 9-pane, casement, true-divided-light wood window. South of this window lies the second exterior door, which leads from the kitchen to the backyard. Like the breezeway door, the kitchen door is also a plain, wooden, frame-and-panel style door. However, the kitchen door is topped by a more elaborate, 20-pane, true-divided-light window which comprises roughly two-thirds of the length of the door. The kitchen door is flanked on either side by two-symmetrical, 4-pane, true-divided-light wooden sidelight windows. Unusual for sidelights, the two windows only run halfway down the length of the door, and are casement and not fixed pane windows.

²⁰ *ibid*

²¹ Mary Fix fonds, Region of Peel Archives (RPA)

Rear façade, circa 1950s ²²

Continuing south, beyond the kitchen door, lays the second larger wood window which is configured in three sections. The largest section is a single-pane, fixed window, which is flanked on both sides by matching 12-pane casement, true-divided-light wood windows. The rear façade's original doors and windows are intact; however, the kitchen door is now protected by a contemporary metal storm door.

Rear façade, circa 1950s ²³

²² Ibid

²³ Mary Fix fonds, Region of Peel Archives (RPA)



Kitchen door with contemporary storm door

Side (southeast) façade:

Originally, there were four true-divided-light windows within the living area's southeast gable wall. On the upper floor, centrally located under the roof's peak, was a single eight-over-eight, double-hung, true-divided-light wood window which matched the window in the northwest gable wall. The lower floor houses three matching, symmetrically placed, fifteen-over-fifteen, double-hung, true-divided-light wood windows; which are identical to the front and northwest gable windows.



Southeast gable end façade, circa 1950s²⁴

²⁴ Mary Fix fonds, Region of Peel Archives (RPA)

The upper floor's eight-over-eight wood window was removed and replaced by a contemporary metal security door which leads to a contemporary metal fire escape.



Southeast gable end façade
Second floor emergency exit



Southeast gable end façade
Second floor emergency exit



Southeast gable end façade
Second floor emergency exit

Internally, the living area fundamentally reflects the typical Colonial Cape Cod “English hall and parlor” floor plan. Rectangular in plan, the front door opens onto the small formal entry foyer, from which the lower floor and the ½-storey upper floor are accessed. Typical of Cape Cod and Colonial Revival Cape Cod architecture, the Fix home includes the requisite central staircase leading to the second floor bedrooms. At the back of the house running the full length of the living area, is a hallway from which the two living rooms are accessible. Atypical of the “English hall and parlor” floor plan located on the opposite side of the living area lays the kitchen and bathroom. The original layout remains intact as do most of the original finishing materials. More information about the internal heritage attributes is outlined in the section entitled Designation Statement - Schedule “B”.

Breezeway:

At the northwest corner of the house, the garage and garage door entryway sections are connected to the living area by a perpendicular, 1-storey, three-bay breezeway. In keeping with the overall simplicity of the house, the breezeway was built with minimal embellishments; its columns were simple squared posts, and the railings were plain boards. The two exceptions to the breezeway’s aesthetic minimalism are the six arched bays, which are indicative of the Colonial Revival Cape Cod style of architecture. Tying the garage to the breezeway, the geometry of the arches is reflected in the garage’s arched, multi-pane, true-divided-light window. At the end of the breezeway, closest to the garage door, the Fixes built a fenced off area which they used as a

dog run for their numerous Dachshunds. The Fixes were avid Dachshund fans who together raised show dachshunds.²⁵ Albert was a founding member of the Dachshund society.

The breezeway was later enclosed and today includes a variety of modern wall materials and window configurations. The upper walls are clad in an engineered wood product, such as particleboard or chipboard. The lower walls are clad in the same atypical, approximately half metre long wood siding as found on the living area and garage sections.



Original exterior Breezeway door, between the living area and the breezeway



Enclosed breezeway detail, northwest façade

²⁵Museums of Mississauga, Bradley Collection – From 'History' attached to slide BR2009.20.14.7, entitled *Mary Fix and Albert Fix with two dogs*.

All six bays incorporate half-moon fixed pane windows, set above contemporary siding. On the northwest façade, two of the three bays include a second contemporary window assembly both of which are configured as one-over-two slider windows. On the southeast façade one of the three bays includes an air conditioning unit within the sided wall. Unlike the five other bays, this bay's siding continues to the top of the concrete foundation wall.



Enclosed breezeway detail, southeast façade

Garage:

The former garage lies to the rear, or southwest corner, of the house, and is a 1-storey, rectangular structure which runs parallel to the living area. It is shorter in plan than the living area, and juts out slightly on the northwest side of the building such that it is partially visible when facing the front façade of the house. Like the living area and breezeway, the garage was constructed upon a concrete block foundation; is a wood frame structure; and, is clad in the same atypical, approximately half metre long wood siding.

The southwest façade of the garage retains the original wooden, double garage doors and the original half-moon, fixed-pane, true-divided-light wood window. The conversion of the garage to an office and meeting room meant that the garage doors have been secured shut, and internally the doors and window are concealed by a wall.



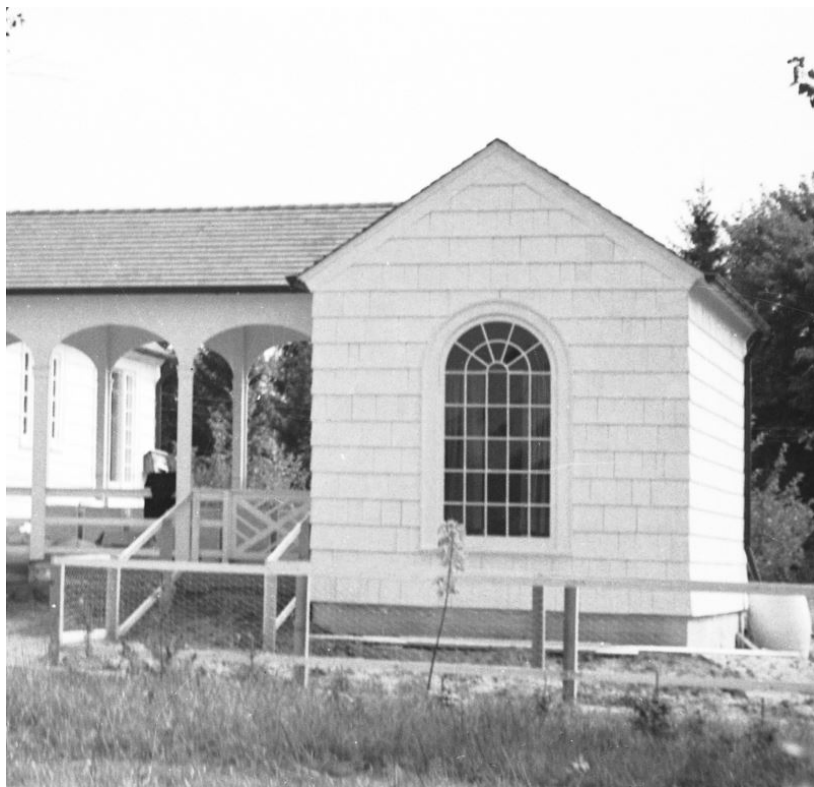
Garage, southeast corner, circa 1950s²⁶



Garage, southeast façade

The northwest façade of the garage retains the original arched, multi-pane, true-divided-light wood window.

²⁶ Mary Fix fonds, Region of Peel Archives (RPA)



Garage, northwest façade, circa 1950s ²⁷

²⁷ Mary Fix fonds, Region of Peel Archives (RPA)



Former garage, northwest façade

Garage door entryway section:

Appended to the southwest wall of the garage is a small, 1-storey, rectangular addition. It was added sometime after the original construction and includes a contemporary entry door and a contemporary two-pane slider window. Like the rest of the building, the entryway is clad in the same atypical, approximately half metre long, wood siding.



Garage and newer garage door entryway
Northwest façade



Garage and newer garage door entryway
Southwest façade



Garage and newer garage door entryway
Southeast façade

Note on Archaeological Potential:

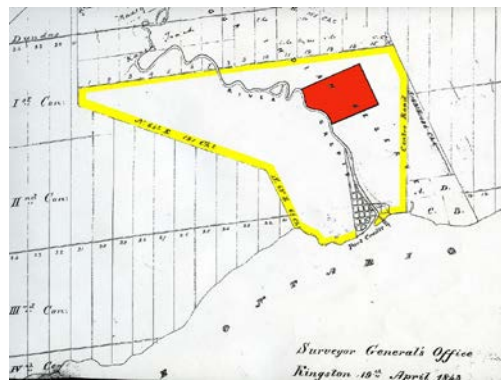
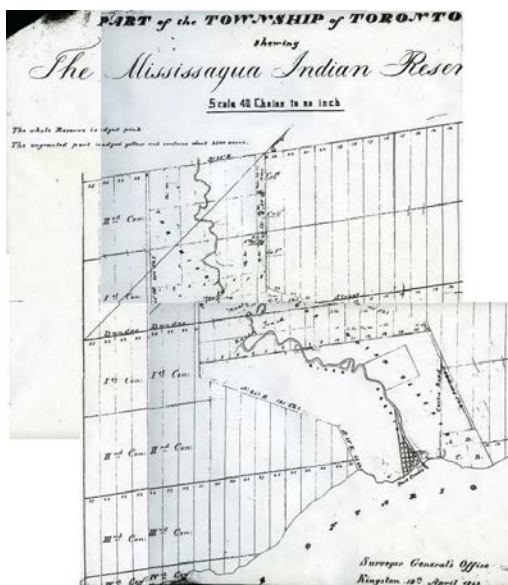
The subject property has clear archaeological potential because of its proximity to Mary Fix Creek; because of its proximity to a known archaeological site; and, because the entire property has not been subjected to recent (post-1960) extensive and intensive ground disturbances.

In Ontario, archaeological resources are protected by, amongst other legislation, the *Planning Act*, The *Environmental Assessment Act*, and the *Ontario Heritage Act*, as such, and in order to identify and conserve the subject property's potential archaeological resources, future planning applications, processes, projects or studies may require the preparation of further technical cultural heritage studies.

Contextual Value

The Mary Fix Property has contextual value in that it defines, maintains and supports the historic character of the area, which at the time of home's construction, was transitioning from a predominantly agrarian community to a suburban one. The property remains physically, visually and historically linked to its surroundings, as one of the few remaining late 1930s residential structures. The shape, form, design and massing of the former Fix home makes it easily distinguishable from the nearby, more contemporary, residential structures. The structure's modest form; its location within the surrounding mature woodlot, which makes up part of Mary Fix Park; and, because it is highly-visible from both the Queen Elizabeth Highway right-of-way and Hurontario Street, the property is a local landmark.

On 2 August 1805, near the mouth of the River Credit, representatives of the British Crown and the indigenous Mississaugas signed Treaty 13A. The treaty saw the native Mississaugas surrender a vast tract of land to the British Crown, which is referred to as the "Mississauga Purchase" or "First Purchase". The Crown acquired over 74,000 acres of land, excluding a one mile strip on each side of the Credit River, which ran from Lake Ontario's waterfront to the base line, which today is known as Eglinton Avenue. This one mile strip of land, known as the Credit Indian Reserve, was surveyed in 1806, named Toronto Township, and opened for settlement. It is known as the "Old Survey".²⁸



"Part of the Township of Toronto shewing the Mississauga Indian Reserve. Surveyor General's Office, 19th April 1843."²⁹

²⁸ History – The First Purchase, Mississauga Heritage Foundation. <http://www.heritagemississauga.com/page/History> - Accessed 29 September 2016

²⁹ The Mississaugas Part 3: Reserve: Searching for the Mississauga of the Credit River: Reserve?, Meaghan FitzGibbon for Mississauga Heritage Foundation

25 Pinetree Way falls within the 1806 boundaries of the Credit Indian Reserve. Historically it formed Part of Lot 1, Range 2, Credit Indian Reserve, and was later identified municipally as 1608 Hurontario Street. The former Fix family home remains in situ.



Historical Atlas of Peel County Ontario, 1877 with Range details included ³⁰

The former Fix property provides historic context to the neighbourhood. Built in 1939 by Mary and husband Alphonse, the building's modest massing, its architectural style, and its early 20th century building materials all serve to define, maintain and support the property's historic residential character while setting it apart from the subsequently built neighbouring homes. The Fixes built their home during a transition period in history when post-war affluence allowed people to build their dream homes. People left farms, towns, and cities for places where they could build their homes on properties with enough green space to enjoy but not so much that they were tied to it for a living. Although the use has changed since the Fixes first built their home, the structure, as one of the few remaining late 1930s residential structures in the area, and its siting on the subject property all serve as physical, visual and historical links to the area's recent past.

Today, the property makes up part of the 6.63 acres (2.68 hectares) namesake "Mary Fix Park" (Park 058). To the south side of the property stands a mature woodlot which frames and focuses attention on the house when it is viewed from the north. The property's original driveway access was from Hurontario Street/Highway 10,³¹ while today access is gained via Pinetree Way. The building remains highly-visible from both the Queen Elizabeth Highway right-of-way and Hurontario Street

³⁰ Credit Indian Reserve overlay information provided by Mississauga Heritage Foundation

³¹ *Addition to the Heritage Inventory 1608 Hurontario Street*, City of Mississauga, January 28, 2003 Corporate Report to the Heritage Advisory Committee.



Circa 1950s image showing original driveway access from 1608 Hurontario Street ³²

The building's modest shape, form and massing; its location within Mary Fix Park; and, its visibility from both Hurontario Street and the Queen Elizabeth highway right-of-way, all serve to make the subject property and building a local landmark.

³² Mary Fix fonds, Region of Peel Archives (RPA)

Conclusion

The Mary Fix Property, at 25 Pinetree Way, which includes the former Fix home, meets the evaluation criteria outlined in 'O. Reg. 9/06' for its historical, associative, design, physical, and contextual value, and as such merits designation under Part IV of the *Ontario Heritage Act*.

Historically and associatively, the subject property is significant as the home of Mary Fix, an accomplished and celebrated politician and philanthropist whose political and personal endeavours changed the shape and direction of the political and cultural landscape of Toronto Township and the Region of Peel.

Physically, the former Fix family home is significant as a representative example of a Colonial Revival Cape Cod style building, which displays many of the design influences attributed to this architectural style. Significantly, the building, both on the interior and the exterior, remains largely intact. Constructed in 1939, the structure and its siting on the remnant of the Fix's property, is a tangible representation of the sociological influences and building practices prevalent in the period between the two world wars.

Contextually, the subject property and former Fix family home defines, maintains and supports the historic character of the area. Together, they are a tangible and representative link to the demographic changes and economic circumstances occurring in Toronto Township between the late 1930 and the early 1970s. Both the subject property and the former Fix home remains physically, visually and historically linked to their surroundings; as part of the namesake Mary Fix Park, and as one of the few remaining late 1930s residential structures in the area. The Mary Fix Property is a local landmark, recognizable for the building's modest form; its location nestled within the mature woodlot that makes up part of the Mary Fix Park; and, for its proximity to and visibility from both the Queen Elizabeth Highway right-of-way and Hurontario Street.

Over its 77 years of existence the former Mary Fix Property and home has remained fundamentally unaltered and as a consequence it helps to define, maintain and support the character of the area. It remains, to this day, physically, functionally, visually and historically linked to its surroundings.

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Addition to the Heritage Inventory 1608 Hurontario Street. City of Mississauga, January 28, 2003
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Designation Statement - Schedule “B”

Description of Property – Mary Fix Property, 25 Pinetree Way

The Mary Fix Property lies immediately south of the Queen Elizabeth Way highway; west of Hurontario Street; and, northeast of Pinetree Way. Legally, the property is composed of Part of Lots 7 and 8, Registered Plan B-27, designated as Parts 1 and 2, Plan 43R-32995. The property is part of the namesake “Mary Fix Park” (Park 058).

The property contains a modestly embellished 1½-storey, rectangular wood frame structure which was constructed as a single family home by and for Mary and Albert Fix. The house connects to the original 1-storey garage via the now enclosed 1-storey breezeway. The structure is capped by side-gabled roofs including the former living area’s roof which is punctured, slightly off-centre, by the original brick chimney. The building’s short-plank wood cladding was made to resemble shingles and is notable for its approximately half metre length. The front façade faces northeast and is laid out in a three-bay configuration, including two original, matching, true-divided-light wood windows which flank the original formal front entryway. The house is set well back on the lot.

Statement of Cultural Heritage Value or Interest

The Mary Fix Property has historical and associative value because it has a direct association with Mary Fix, an accomplished and celebrated politician and philanthropist; it has direct associations with Toronto Township’s mid-20th century political institution; and, it yields, or has the potential to yield, information that contributes to an understanding of Toronto Township’s mid-20th century community and culture.

The former Mary Fix home has design and physical value as a representative example of a Colonial Revival Cape Cod style building, which, in keeping with the simplicity of Colonial Revival architecture, was constructed as a modestly-embellished, 1-½ storey wood frame building. Physically, the building represents the sociological influences and building practices prevalent in the period between the two world wars. Archaeological attributes are a significant element of the cultural heritage resources within and around the Mary Fix Property. Further, there is clear potential for both pre-contact and historical archaeological resources within, and around the property. They shall be conserved.

The Mary Fix Property has contextual value in that it defines, maintains and supports the historic character of the area, which at the time of home’s construction, was transitioning from a predominantly agrarian community to a suburban one. The property remains physically, visually and historically linked to its surroundings, as one of the few remaining late 1930s residential structures. The shape, form, design and massing of the former Fix home make it easily distinguishable from the nearby, more contemporary, residential structures. The structure’s modest form; its location within the surrounding mature woodlot, which makes up part of Mary Fix

Park; and, because it is highly-visible from both the Queen Elizabeth Highway right-of-way and Hurontario Street, the property is a local landmark.

Description of Heritage Attributes

Key heritage attributes of the Mary Fix Property that reflect its historical and associative value, include:

- its direct association with Mary Fix who was Ottawa's first female lawyer
- its direct association with Mary Fix who as a 16-year-old co-founded with a friend the Equal Franchise Association which worked toward achieving the vote for women
- its direct association with Toronto Township's mid-20th century political institution, as the residence of Mary Fix who:
 - was an accomplished and celebrated politician
 - was Toronto Township's first female politician, upon her election in January 1953 when she was elected as Deputy-Reeve
 - amongst other political positions, served as Reeve, and as Peel County's first female Warden
 - impacted and guided local and regional post-war growth and development in the township, including:
 - the development of the industrial areas of Dixie and Clarkson
 - and, in the development of regional shopping centres like Dixie Plaza, which drew people from Toronto and beyond
 - ensured that development servicing costs were covered by developers and not by her constituents through further taxation
- its direct associations with Toronto Township's mid-20th century community and culture, as the residence of Mary Fix who:
 - was an accomplished and celebrated philanthropist
 - volunteered for a number of philanthropic organizations including The Victorian Order of Nurses and The Mississauga Library Board
 - pushed to amend the Province's Municipal Act to permit townships to have historical societies which resulted directly in the formation of the Toronto Township Historical Foundation
 - as a volunteer with the Toronto Township Historical Foundation, was fundamental in championing the retention and restoration of the Lewis Bradley House
 - fought to save the trees in her own neighbourhood, a place now commemorated as the Mary Fix Park
 - after her death, transferred the subject property to the Town of Mississauga for \$1.00

Key heritage attributes of the Mary Fix Property and home that reflect its design and physical value, include:

- the property's known, and potential, pre-contact and historical archaeological resources
- The building's:

- artistic merit as a well-built and aesthetically pleasing building
- materials and construction methods which physically embody the sociological influences and building practices prevalent in the period between the two world wars
- 1 and 1-½ storey massing
- wood frame structure

- four distinct sections, being the original 1-½ storey living area, the 1-storey breezeway, the 1-storey garage, and the subsequently constructed 1-storey garage door entryway section
- four distinct section's shape and form as simple, rectangular boxes, which when considered as a whole creates an asymmetrical, roughly "H" shaped structure
- later garage door entryway section which was constructed in keeping with the shape, form and materials of the original structure, yet remains secondary and complementary to it
- its moderately steep-pitched, side-gabled roof, which:
 - includes a 'broken' ridge roof line over the former 1-½ storey living area and reflects the differing roof heights of the former living area
 - in typical Colonial Revival Cape Cod style is punctured, slightly off-centre, by the living room's original brick chimney
- roof height over the 1-storey breezeway and garage sections, which sits lower than the roof over the former 1-½ storey living area
- roof height over the 1-storey garage entryway section, which sits lower than both the former, 1-½ storey living area and the 1-storey breezeway and garage sections
- front façade which is configured in three-bays
- short-plank wood cladding, that was made to resemble shingles and its notable, approximately half a metre, length
- concrete block foundation, overlaid by three courses of brick; the first two brick courses laid in common bond and the third topped by a Rolock (or Rowlock) course
- former living area, which, atypical of Colonial Revival Cape Cods, appears to be comprised of two distinct segments, including:
 - the larger, southeast portion of the former living area
 - and, the smaller, northeast portion of the former living area
- larger portion of the former living area, which has an asymmetrical front façade, and includes:
 - the formal front entryway, which sits slightly off-centre and very close to the northeast corner of the building
 - the south window, which sits further away from the southeast corner of the building, relative to the distance between the front door and the northeast corner of the building
- smaller portion of the former living area, which:
 - sits slightly recessed from the larger, southeast section
 - makes up approximately one-third of this section
 - and, includes a centrally-placed north window
- former living area, which when viewed as a whole, appears balanced and symmetrical
- former living area's original windows and doors remain in situ and include:
 - the formal front entryway's two, fifteen-over-fifteen, double-hung, true-divided-light wood windows
 - the three side (northwest) façade windows, including a single eight-over-eight, double-hung, true-divided-light wood window, centrally located under the side-gabled roof's peak; and, two symmetrically placed fifteen-over-fifteen, double-hung, true-divided-light wood windows, which are identical to the front windows
 - the three remaining side (southeast) façade windows, which match each other; are symmetrically placed, fifteen-over-fifteen, double-hung, true-divided-light wood windows; and are identical to the front and northwest facade windows
 - the original, rear (southwest) façade, breezeway door, which:

- exited from the Fix house and led, via the covered breezeway to their garage
 - is a plain, wooden, frame-and-panel style door, of which the top third includes a 6-pane (three-over-three) true-divided-light window
- the original, rear (southwest) façade, kitchen door, which:
 - is a plain, wooden, frame-and-panel style door, topped by an elaborate, 20-pane, true-divided-light window, which comprises roughly two-thirds of the length of the door
 - is flanked on either side by two symmetrical, 4-pane, true-divided-light wood sidelight windows, which atypically run only halfway down the length of the door, and are casement and not fixed pane windows.
- the two original, rear (southwest) façade windows, which include:
 - a small 9-pane, casement, true-divided-light wood window, lying between the now enclosed breezeway door and the kitchen door
 - a large wood window assembly, configured in three sections; the largest of which is a single-pane, fixed window, which is flanked on both sides by matching 12-pane casement, true-divided-light wood windows, and lies to the south of the kitchen door
- breezeway, with its:
 - shape, form and massing that which mirror the simple, clean lines and minimal embellishments on the living area and garage
 - 1-storey massing
 - atypically long short-plank wood cladding, as found on the rest of the house, which is notable for being added later at the time the breezeway was enclosed and in keeping with the overall aesthetic of the original construction materials
 - three-bay configuration
 - simple wooden square-post columns
 - six arched bays, which, being reflected in the garage's arched, multi-pane wood window, visually ties the breezeway to the garage; and, act as an exception to the breezeway's otherwise aesthetic minimalism
- garage, with its:
 - shape, form and massing, which mirror the simple, clean lines and minimal embellishments on the living area and breezeway
 - 1-storey massing
 - wood frame structure built upon a concrete block foundation
 - short-plank wood cladding, that was made to resemble shingles and its notable, approximately half a metre, length
 - original arched multi-pane true-divided-light wood window
 - original wooden, double garage doors topped by the original half-moon, fixed-pane, wood window
- the garage door entryway's:
 - shape, form and massing, which mirror the simple, clean lines and minimal embellishments on the living area and breezeway
 - 1-storey massing
 - wood frame structure built upon a concrete block foundation
 - short-plank wood cladding, that was made to resemble shingles and its notable, approximately half a metre, length

Key internal heritage attributes of the Mary Fix Property that reflect its design and physical value, include:

- its typical “English hall and parlor” (rectangular, two rooms, one-room deep) floor plan, which remains intact
- the hallway, toward the back of the house, which provides access to the living area’s two principle rooms as well as to the kitchen and bathroom
- the centrally-located staircase, situated within the small formal entryway foyer leading to the upper floor
- any remaining original plaster walls, including those identified in the foyer closet
- the original wooden mouldings and baseboards
- the original wooden doors
- the original/early door hardware
- the original wooden windows
- the original/early window hardware
- the original wooden floors
- the original wooden stair railing, posts, treads, balusters and newel posts
- the original red brick fireplace
- the original built-in wooden shelving unit, inset into a cavity beside, and flush with the red brick fireplace
- the original wooden fireplace surround and wooden mantelpiece, which encompasses both the red brick fireplace and the built-in wooden shelving unit
- the original red-tile hearth
- the fireplace’s two matching, original/early, electrical, metal wall sconces
- original/early light fixtures
- the kitchen’s original/early solid-board wooden cupboards
- the kitchen’s original/early perforated-board wood cupboards
- the kitchen’s original/early white, hexagonal tile counters
- the kitchen’s original/early white, rectangular tile counter backsplash
- the kitchen’s original/early white and yellow, square tile sink backsplash
- the kitchen’s original/early, inset, white ceramic/porcelain sink
- the kitchen’s original/early, rounded, tile counter edge
- the bathroom’s original/early ceramic/porcelain sink and bathtub
- the bathroom’s original/early hardware
- the basement’s concrete block and brick foundation walls
- the basement’s original three-pane, true-divided-light, casement wood windows and the atypical use of a partial, three-courses brick, supporting wall
- the basement’s original/early one-pane wood window and the atypical use of a partial, three-courses brick, supporting wall
- the basement’s internal, mixed concrete block walls which are capped by a brick course
- the basement’s original/early light fixtures
- the basement stairway’s original/early wood stair, treads and bead board wainscoting

Key heritage attributes of the Mary Fix Property that reflect its contextual value, include:

- its location within the one mile strip of land, known as the Credit Indian Reserve, as created by authority of the Crown, in the 1806 “Old Survey”
- its proximity to the Queen Elizabeth Way, Canada’s first inter-city divided highway
- its proximity to Canada’s first cloverleaf interchange, at Hurontario Street/Highway 10

- the shape and form of the subject property
- the structure's modest form and its location relative to and within the surrounding mature woodlot, which makes up part of the namesake Mary Fix Park
- the building's shape, form, design and mass:
 - defines, maintains and supports the historic character of the area, which at the time of home's construction, was transitioning from a predominantly agrarian community to a suburban one
 - distinguishes it from the nearby, more contemporary, residential buildings
- as one of few remaining late 1930s residential structures
- its visibility from both the Queen Elizabeth Highway right-of-way and Hurontario Street
- it is a local landmark

City of Mississauga

Corporate Report



Date: 2016/12/15

To: Chair and Members of Heritage Advisory Committee

From: Paul Mitcham, P. Eng, MBA, Commissioner of
Community Services

Originator's files:

Meeting date:
2017/01/10

Subject

Request to Alter a Heritage Designated Property: Installation of public art at 4300 Riverwood Park Lane (Ward 6)

Recommendations

1. That, the proposal for a new public art sculpture, concrete foundation slab with integrated steps and new public seating areas, with dimensions as described in the preliminary technical description, as shown in the attachments to the Corporate Report dated December 15, 2016 from the Commissioner of Community Services, be approved for the property at 4300 Riverwood Park Lane, which is designated under Part IV of the Ontario Heritage Act.
2. That, final drawings be submitted to heritage planning prior to issuance of the heritage permit.

Background

Section 33 of the Ontario Heritage Act requires permission from Council in order to make alterations to a Part IV property. The property, known as the Parker Estate, is designated under Part IV of the Ontario Heritage Act, as well as recognized as a Cultural Landscape. The natural landscape is one of the heritage attributes of the property. The property's significance lies in it containing a large Arts and Crafts style estate residence, surrounded by landscaping originally designed by William E. Harries and Alfred V. Hall with A.M. Kruse and surrounded by natural landscape features within a large property.

Staff from the City's Facilities and Property Management Division has submitted a heritage permit application, description and drawings of a design concept to install a new public art piece at 4300 Riverwood Park Lane. The project is known as the Riverwood Environmental Gateway public art project and, as stated in the attached project brief, it "is one component of a series of capital works...under the Canada 150 Community Infrastructure Program funding. The artwork will be installed in June 2017". The art piece was selected in accordance with Corporate Policy and Procedure 05-02-07, via an arm's length Art Selection Committee and took into account public feedback. City of Mississauga Public Art Master Plan lists heritage sites such as the Riverwood Conservancy as priority public art locations for the City. The proposed public art piece, named "Pine Sanctuary" has been selected as a contemporary piece with a thematic

connection to the natural cultural heritage features of the site. See Appendix 1. The selected location for the art piece is near the entrance of the park and will be visible from Burnhamthorpe Road.

The City's Building and Facilities Property Management staff will be coordinating the execution of the work.

Comments

Staff at the City's Building and Facilities Property Management Division has requested permission to install a new Public Art Piece at the Parker Estate. The applicant has submitted an application, drawings depicting concept design drawings, with key dimensions of the proposed piece and explanation of the art works' theme. Refer to the appendix. Sensitive contemporary alterations are appropriate in heritage sites if they are found to be complementary and do not negatively affect the cultural heritage attributes. Heritage Planning finds that the proposed art piece's theme and design concept is sympathetic to the cultural significance of the property as a whole. The sculpture will be located at a significant distance from other existing built heritage attributes on the site, therefore having no physical impact on them.

Financial Impact

There is no financial impact.

Conclusion

The applicant has submitted a proposal and design concept drawings supporting the request to install a new public art piece near the entrance at the Parker Estate. Staff finds that the proposal concept depicted in the appendix of this report is sympathetic to the heritage attributes of the Parker Estate and should be approved, subject to final drawings being submitted to heritage planning prior to the issuance of a heritage permit.

Attachments

Appendix 1: Submitted Design Description and Drawing

Appendix 2: Letter from Credit Valley Conservation



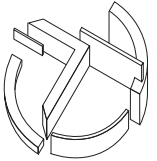
Paul Mitcham, P. Eng, MBA, Commissioner of Community Services

Prepared by: Cecilia Nin Hernandez, Heritage Coordinator

December 2, 2016

Outline of Public Art Installation at Riverwood Conservancy

The City of Mississauga is presently preparing a public art piece to be installed at the entrance of Riverwood Park Lane. See the attached drawings. The art installation, by Marc Fornes, is to be completed by June of 2017. It has been established that a building permit, CVC permit and archaeological assessment is not required for this project.



The Designated Property

The property was originally designated as being historically, architecturally and contextually significant in 2004 under Mississauga By-Law Number 0505. From a contextual perspective, the Bylaw mentions that the "site has been the location of human habitation for hundreds of years, whereby its occupants have always had a respect for the natural landforms and unique qualities between upper table lands and low valley floodplain. The site is noted for its natural heritage features and provides a significant green space within the urban context, while also reflecting on the cultural development of the property over time. It is the careful integration of open space, forest, gardens and built forms that make this property a significant cultural landscape." The Riverwood Conservancy property, once described by Hazel McCallion as "the jewel in Mississauga's crown," consists of four distinct areas; the Bird Terrace, the MacEwan Estate, the Chappell Estate and the Zaichuk property. It sits East of the Credit River, between highway 403 and Burnhamthorpe Road West.

The document also mentions, "Along the north side of Burnhamthorpe Road West is a stone wall and drive entrance which was a defining landscape feature that denoted this property as a private estate. Although the wall and the gates have been relocated and altered over time, they provide a significant cultural landscape on Burnhamthorpe Road West."

The site itself holds a variety of historical, architectural and archeological significance, while also being an up and coming hub for environmental and artistic education and exploration. In 2003, the Visual Arts Mississauga facility was opened at 4170 Riverwood Park Lane. This centre runs a series of programs for people of all ages, classes, workshops, and initiatives to involve schools, communities and seniors in the world of art. This facility is one of many initiatives taken to bring the past and present together on a site dedicated to the environment, education, and growth.

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PRINCIPAL

MARK J. DRIEDGER
B.Arch., Sci., LEED-AP
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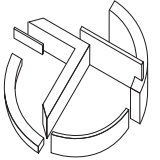
GERARDA (GERI) TINO
B.E.S., B.Arch., OAA
ASSOCIATE

VICTOR LEE
B.Arch., AOCA
ASSOCIATE

MICHAEL W. BILJETINA
B.Arch., MRAIC, AIA, OAA
ASSOCIATE

The Proposed Development - Site

The art piece is proposed to be installed in the upper table lands on the site just to the left or southwest of Riverwood Park Lane. Presently this area of the site consists of asphalt pedestrian paths, site signage and an existing driveway. A grass berm also separates Riverwood Park Lane from the low valley floodplain. The site is specifically zoned to permit the use of the property as a garden Park, Conservation Area, as well as an Art Display. The city of Mississauga has emphasized that the installation of art pieces into public green spaces is a priority that they have been working towards throughout the city.



The entrance to the site, is currently lacking in terms of offering on-lookers insight into what the park has to offer. The signage is minimal, and although closer to Burnhamthorpe Road W there are a few benches, the pedestrian pathways are not distinctly inviting. The installation of a modern art piece at the entrance of the site offers onlookers a glimpse of the diversity and development of Mississauga's culture within, as it will be juxtaposed with the existing heritage stone wall that once announced the entrance to the Estate.

The site was selected because of the possibility of the art piece creating a centralized node physically linking the pedestrian paths while also creating a visual signal from Burnhamthorpe Road. The creation of this node, and the connection of pedestrian pathways will emphasize the paths and designated routes, setting a precedent as pedestrians enter the site in regards to avoiding paths through the natural areas. This was of high importance within the City's Public Garden Ecological Report. The art piece will extend the existing gardens along Burnhamthorpe further into the site indicating to the public the significant public greenspace of the Riverwood Conservancy.

The landscaping elements of the site will consist of a concrete foundation slab with integrated steps and new public seating areas. The existing wall adjacent to Burnhamthorpe will not be affected.

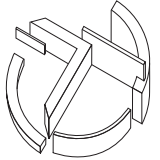
The Proposed Development – The Sculpture

In the City of Mississauga's Public Art Master Plan (PAMP), heritage sites such as Riverwood Conservancy are listed as priority public art locations for the City. In the public survey completed by the City of Mississauga and published in PAMP, one of the curatorial themes itemized as ideal for heritage sites is contemporary art. It is in this vein that the stakeholder team went ahead to find an artist to complete a piece organically integrated into the fabric of the site. The artist selected has defined the sculpture as "Pine Sanctuary". **Please see the following Artist's Statement as well as the attached summary of the project.**

"PINE SANCTUARY"

Whether as a surprise signal of color spotted from the fast pace of a car, or a seemingly otherworldly pine tree noticed while walking at a distance, the first glimpse of the project instills a childlike sense of curiosity. An inviting enclosure at a scale between sculpture and architecture, at once playful and mystical, the temptation to enter is great.

Inside, intrigue is rewarded with a unique experience of space and light, and a deep, quiet, contemplative appreciation. This might translate into wonder about what this fantastical anomaly is, and how it was made, or something more introspective and meditative. The delaminated, double-layered skin provides a moire of colors, as well as shadows and speckled light to catch on the ground. This is a place for spontaneous play as much as it is a sanctuary for one to simply lose their time.



The project's shape and image provoke unique projection and interpretation from anyone, calling to mind references in nature, from coniferous trees to petaled flora to spreading webs. A top central moment peels away and branches into several feet that lightly meet the ground, along the way creating a labyrinth through which one can slip in, out and around. Circling the structure, no facade ever repeats itself. The new, unique angle upon every step forward prolongs the sense of discovery.

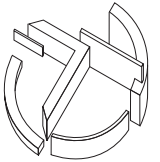
The piece is contemporary in its design and production, but also in its coloration. Greens, blue and yellows plucked from the surroundings are pushed to gradients of abstraction and artificiality, a contemporary update on the natural landscape that forms an iconic and playful signal -- an identity for Riverwood Park."

Summary of Conservation Principles

The intervention proposed will follow the "Standards and Guidelines for the Conservation of Historic Places in Canada." The sculpture will not significantly affect the guidelines for visual relationships, landforms, spatial organization, circulation, ecological features or water features of the Riverwood site. The sculpture will provide the visual link and gateway, drawing in visitors to witness the preserved culturally sensitive site while helping to emphasize the designated pedestrian paths. In addition, the diversity of the property will be highlighted by the installation of the sculpture into the natural landscape.

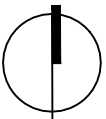
The significant heritage attributes of the property and buildings have been outlined in Mississauga By-Law 0505-2004. The addition of the art piece, the

creation of a node, and the linking of the public pathways will have no negative impact on the site's heritage value. The art piece itself will furthermore integrate the existing public open space with the adjacent forests and gardens. The addition of the sculpture will allow the public to further witness the naturalized rural property within an evolving and changing urban Mississauga.





Riverwood
CONTEXT



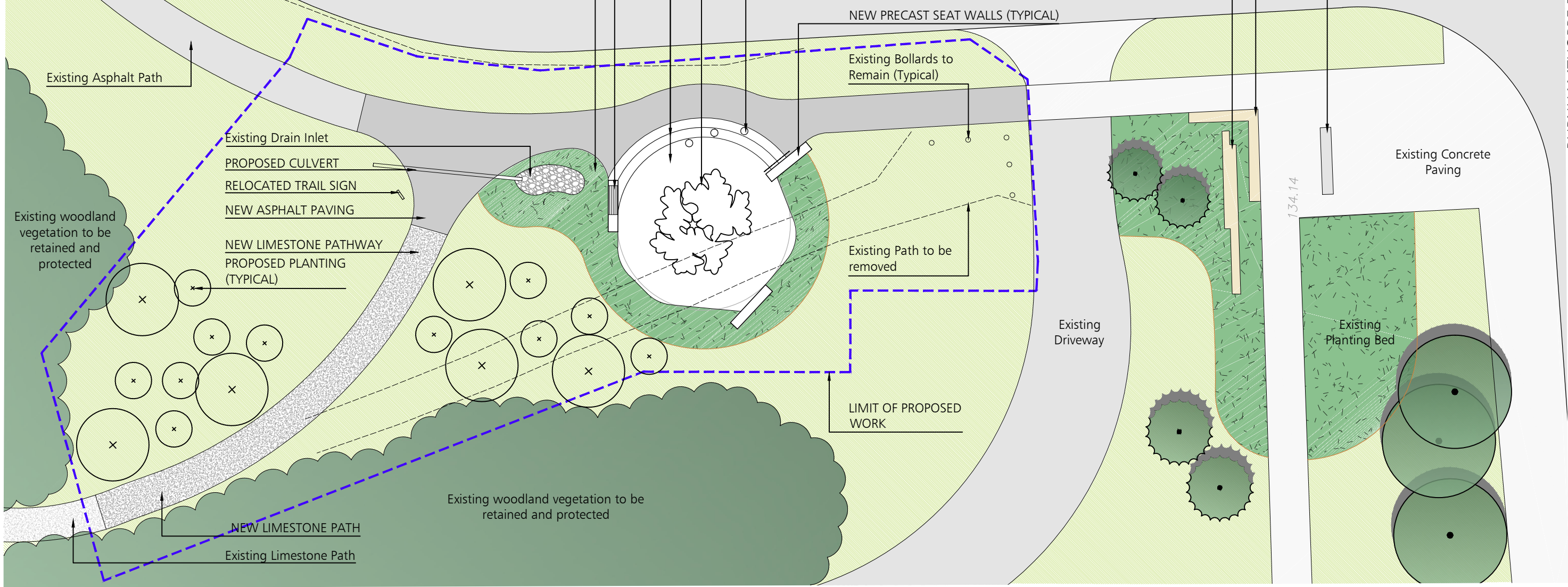
Project No: BTi-1294
Date: Nov 10, 2016
Scale: N.T.S



Landscape Architecture | Site Design
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Brampton Ontario L6Y 5G8
Tel: (905) 453-9398
Fax: (905) 453-9376
email: tba@bakerturner.com



ENTRANCE VIEW FROM BURNHAMTHORPE ROAD



Riverwood
SITE ENTRANCE



Project No: BTi-1294
Date: Nov 21, 2016
Scale: 1:250



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email: tba@bakerturner.com

Project Title

City of Mississauga & Credit Valley Conservation

Riverwood
4300 Riverwood Park Ln
Mississauga, ON

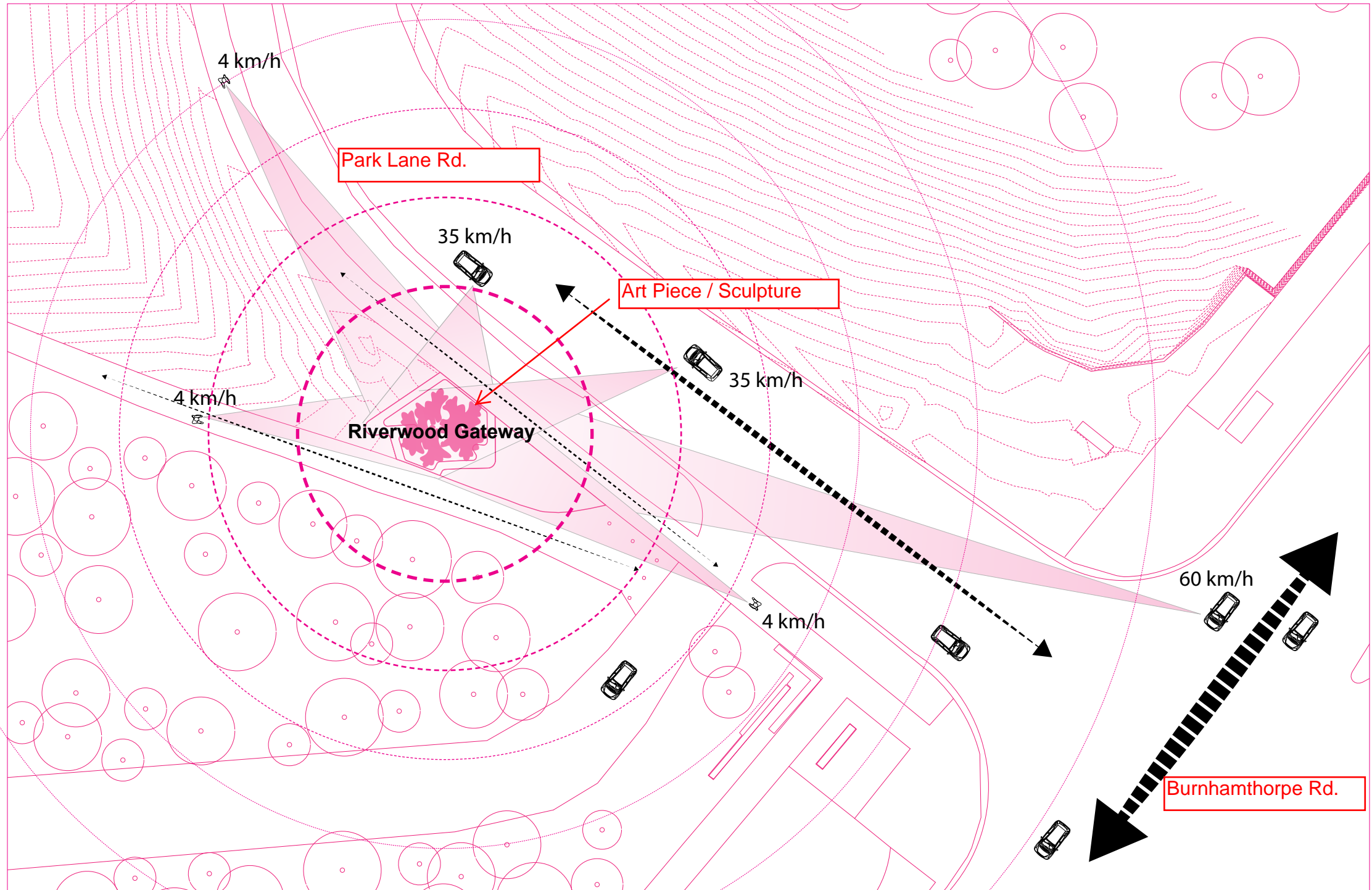
SITE ENTRANCE LANDSCAPE PLAN

Date	Issued
June 2016	
Job Number	Drawn By
BTI-1294	DC, GT
Scale	Checked By
1:200	TB
Sheet Number	File Number
L001	

Pine Sanctuary

Riverwood Environmental Art Gateway
Riverwood Park Lane, Mississauga, Ontario
Public Art Proposal | 2016
MARC FORNES / THEVERYMANY

7.2 - 10

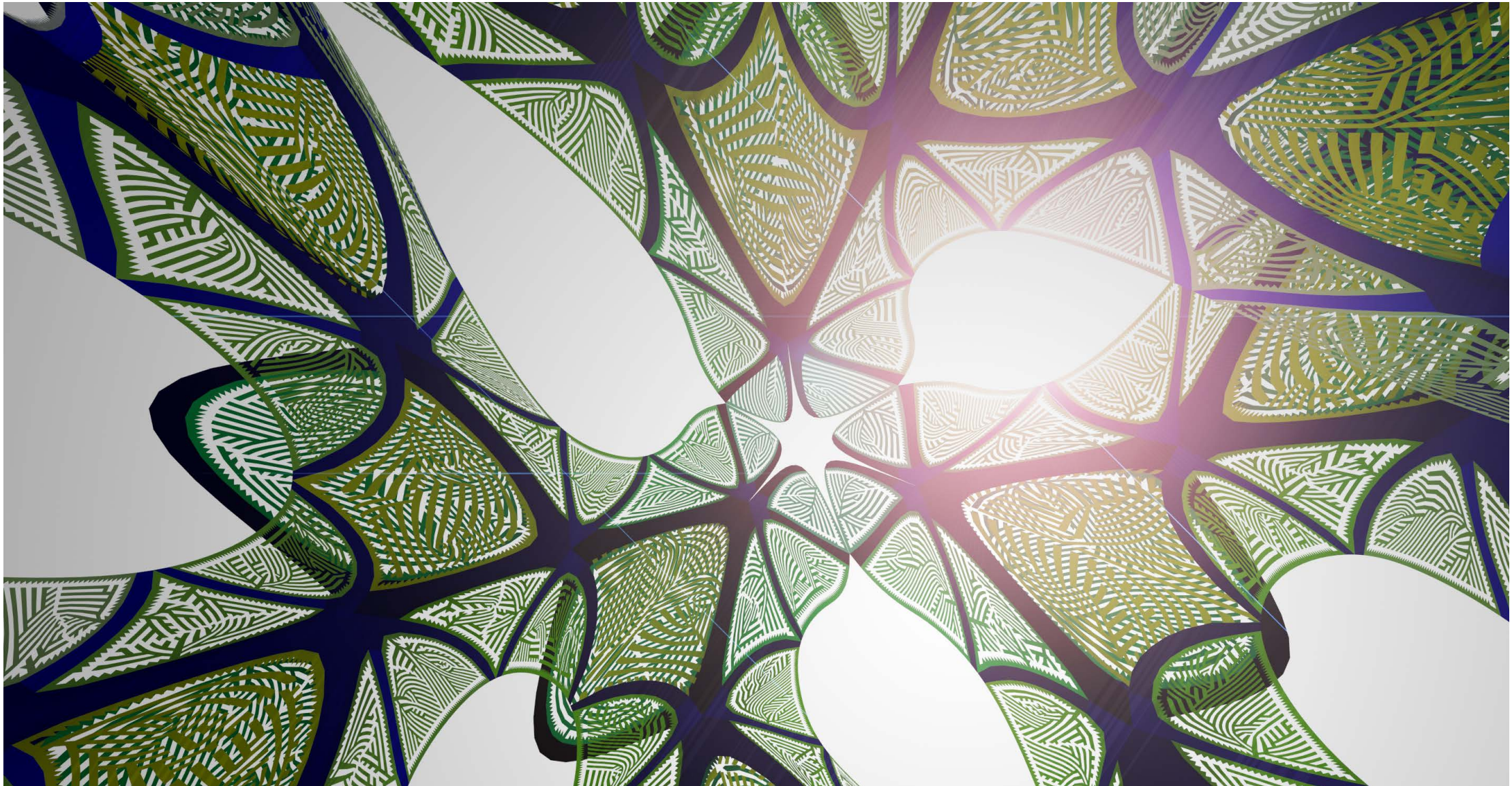


Pine Sanctuary

Riverwood Environmental Art Gateway
Riverwood Park Lane, Mississauga, Ontario
Public Art Proposal | 2016

MARC FORNES / THEVERYMANY

7.2 - 11

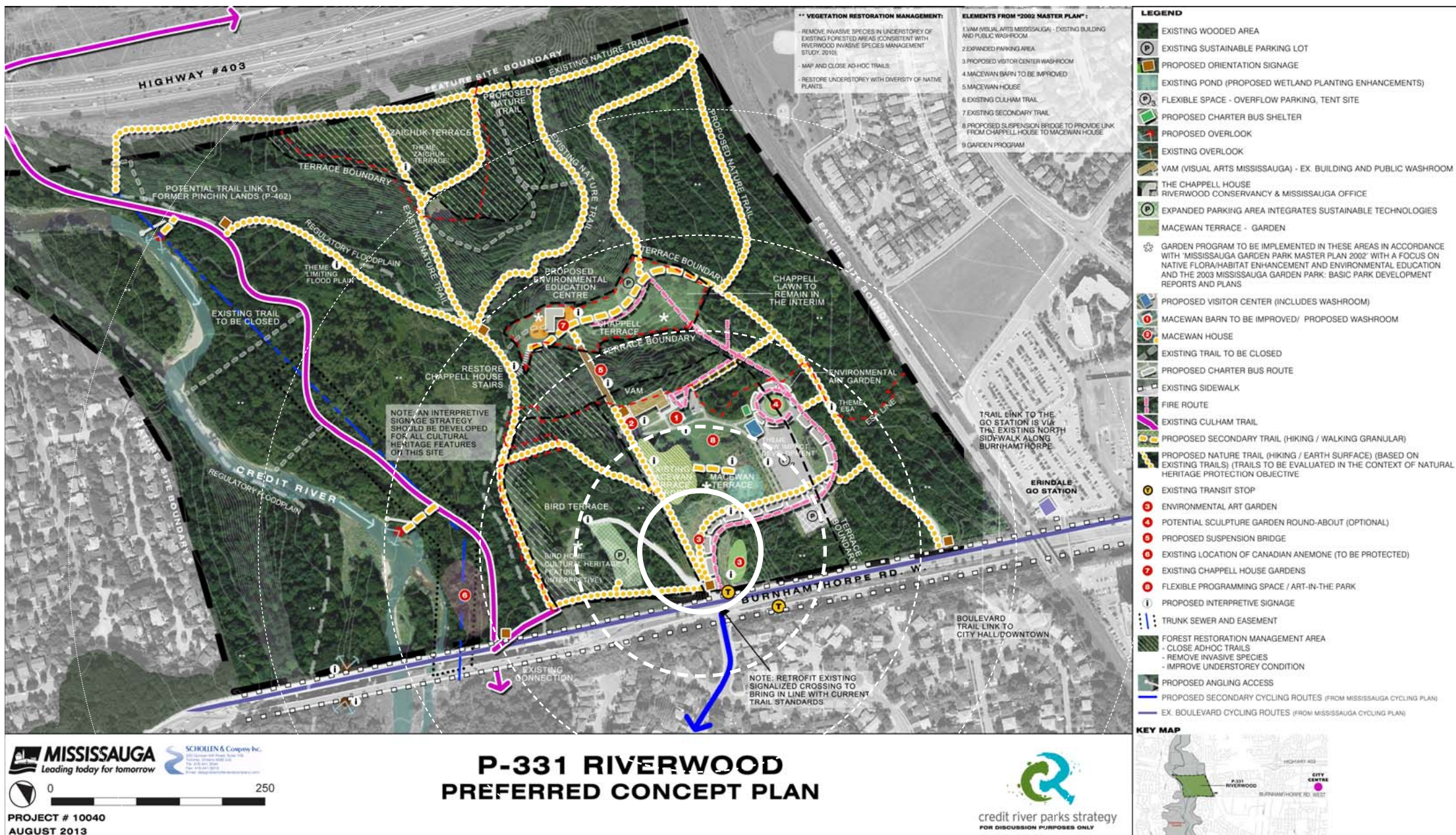


Pine Sanctuary

Riverwood Environmental Art Gateway
Riverwood Park Lane, Mississauga, Ontario
Public Art Proposal | 2016

MARC FORNES / THEVERYMANY

7.2 - 12



Pine Sanctuary

Riverwood Environmental Art Gateway
Riverwood Park Lane, Mississauga, Ontario
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MARC FORNES / THEVERYMANY

7.2 - 13



Gatway...

Pine Sanctuary

Riverwood Environmental Art Gateway
Riverwood Park Lane, Mississauga, Ontario
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MARC FORNES / THEVERYMANY

7.2 - 14



Pine Sanctuary

Riverwood Environmental Art Gateway
Riverwood Park Lane, Mississauga, Ontario
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MARC FORNES / THEVERYMANY

7.2 - 15

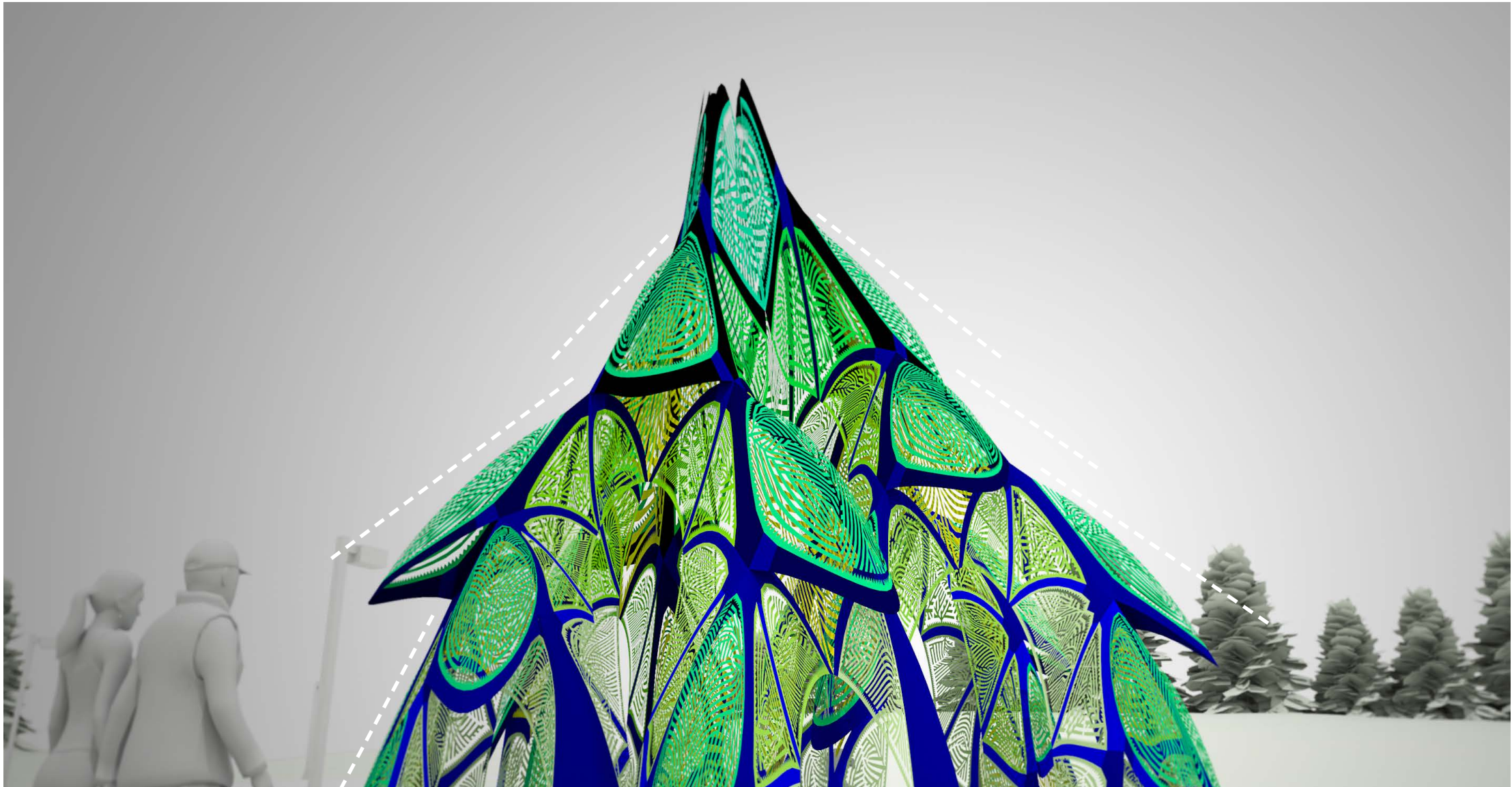


Pine Sanctuary

Riverwood Environmental Art Gateway
Riverwood Park Lane, Mississauga, Ontario
Public Art Proposal | 2016

MARC FORNES / THEVERYMANY

7.2 - 16



Friendly Signal..

..coming from its surroundings?

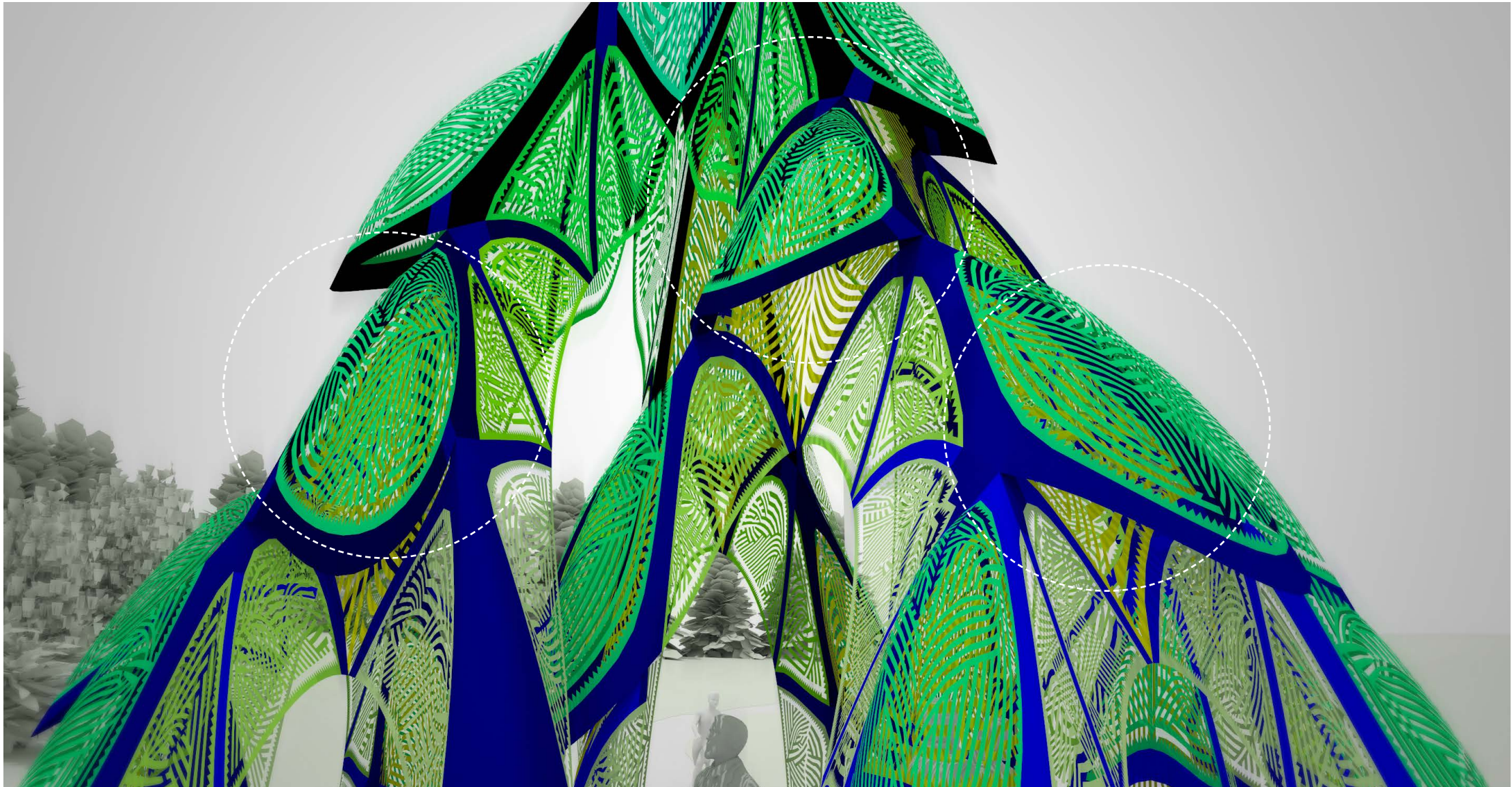
..the geometry of a pine tree?

Pine Sanctuary

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Riverwood Park Lane, Mississauga, Ontario
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MARC FORNES / THEVERYMANY

7.2 - 17



Friendly Signal..

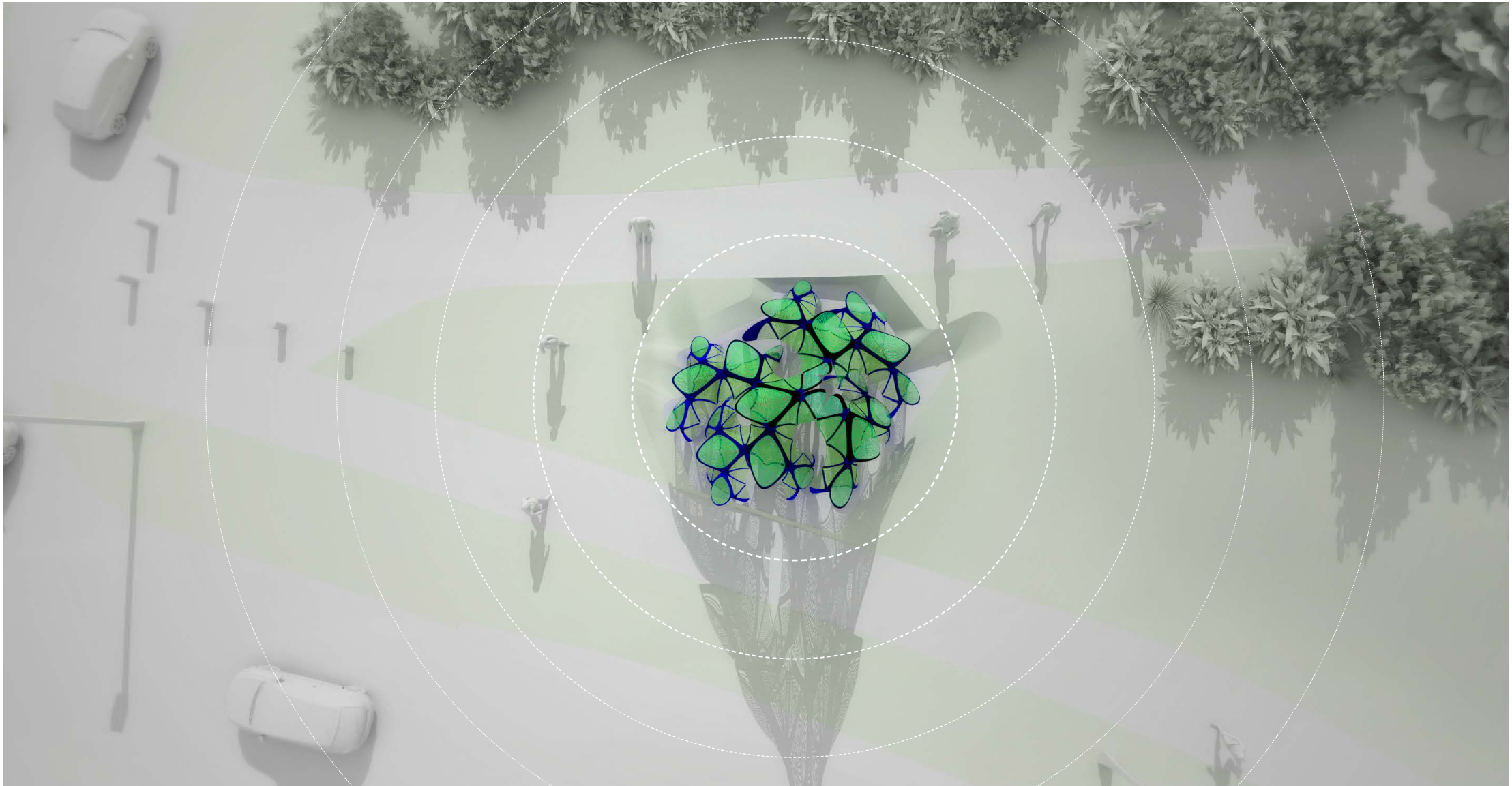
..coming from its surroundings?

..the geometry of a pine tree?

Pine Sanctuary

Riverwood Environmental Art Gateway
Riverwood Park Lane, Mississauga, Ontario
Public Art Proposal | 2016
MARC FORNES / THEVERYMANY

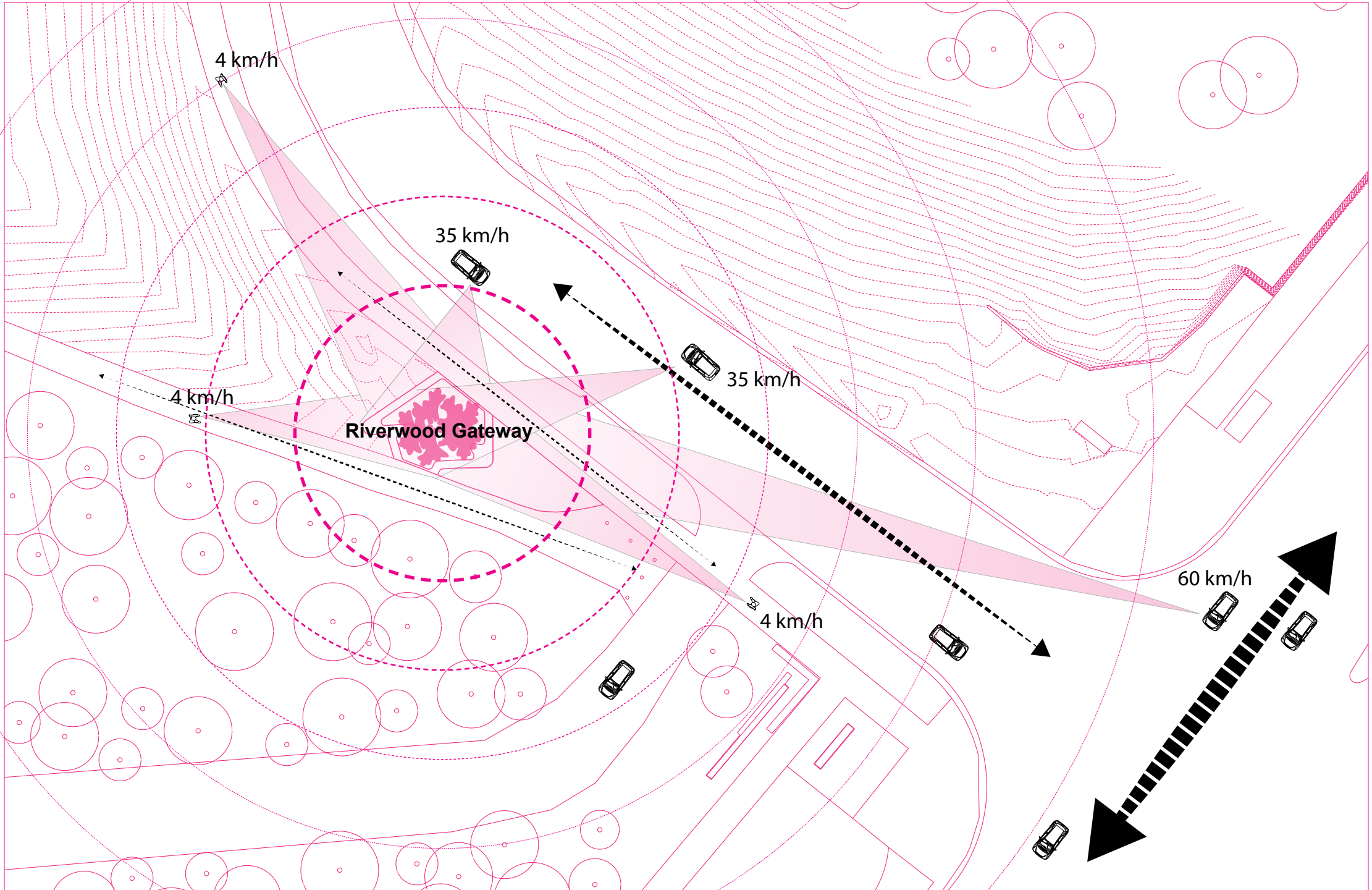
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Pine Sanctuary

Riverwood Environmental Art Gateway
Riverwood Park Lane, Mississauga, Ontario
Public Art Proposal | 2016
MARC FORNES / THEVERYMANY

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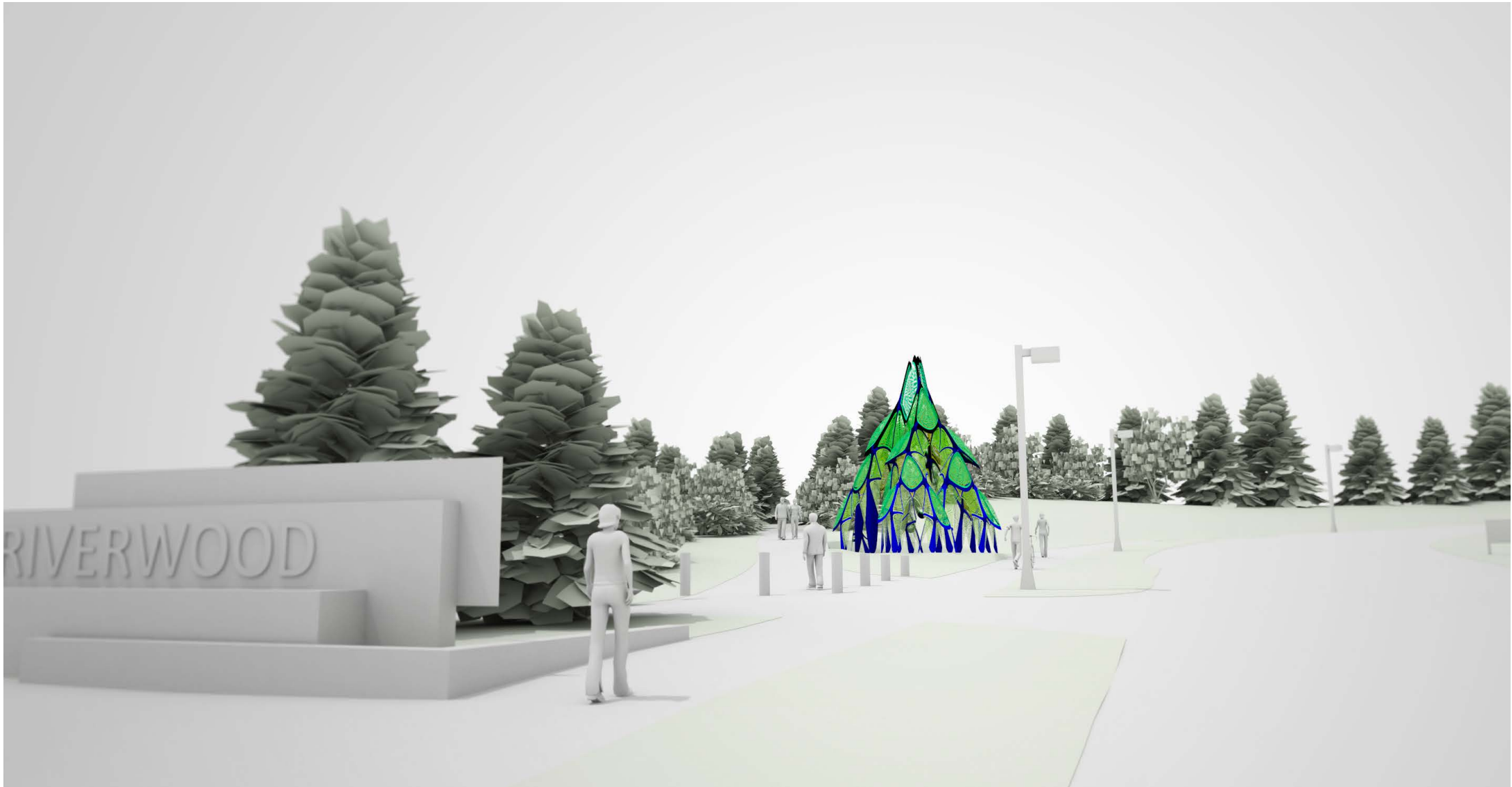


Pine Sanctuary

Riverwood Environmental Art Gateway
Riverwood Park Lane, Mississauga, Ontario
Public Art Proposal | 2016

MARC FORNES / THEVERYMANY

7.2 - 20

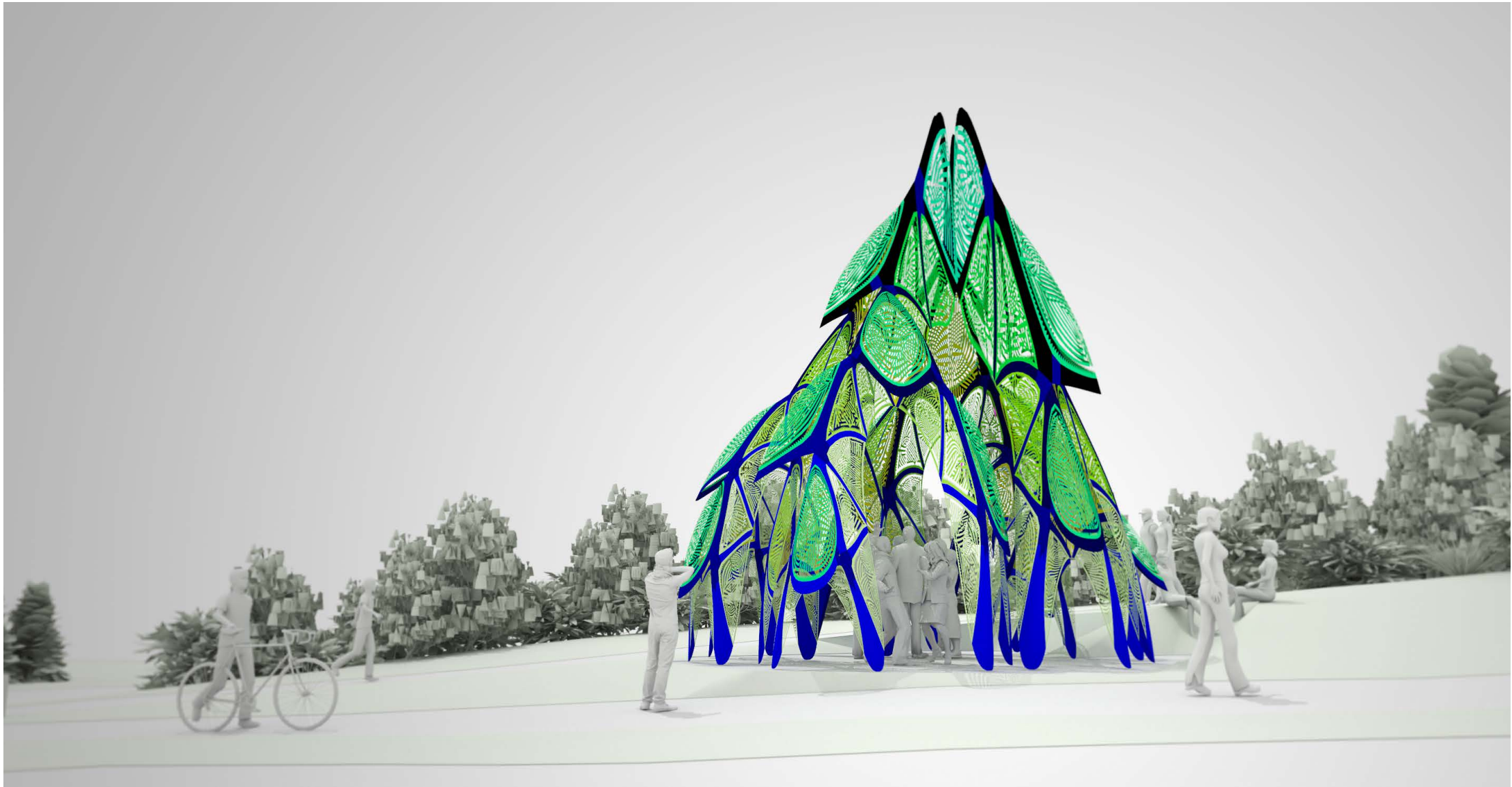


Pine Sanctuary

Riverwood Environmental Art Gateway
Riverwood Park Lane, Mississauga, Ontario
Public Art Proposal | 2016

MARC FORNES / THEVERYMANY

7.2 - 21



Playfull, interactive..

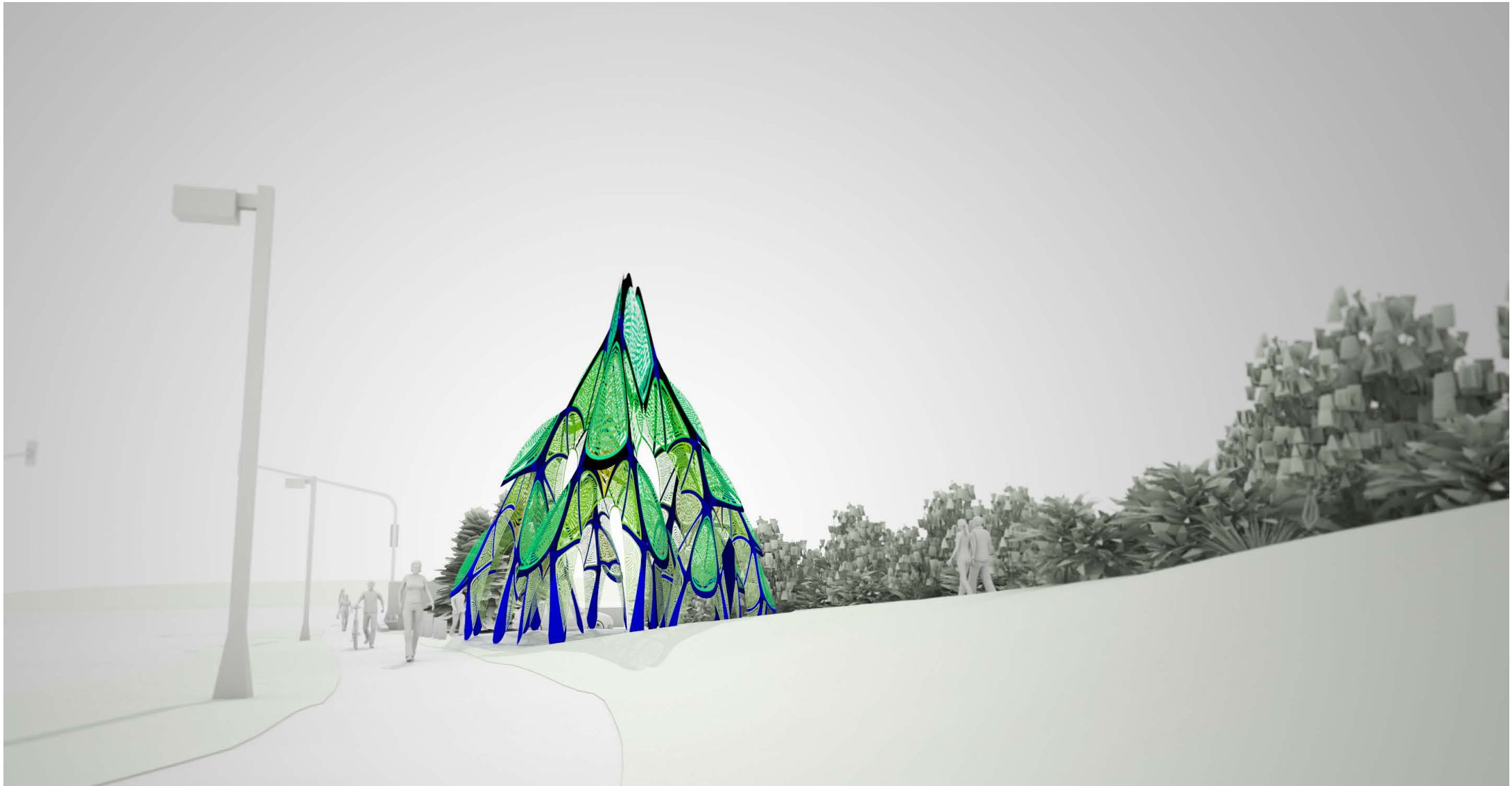
..place of discovery

Pine Sanctuary

Riverwood Environmental Art Gateway
Riverwood Park Lane, Mississauga, Ontario
Public Art Proposal | 2016

MARC FORNES / THEVERYMANY

7.2 - 22

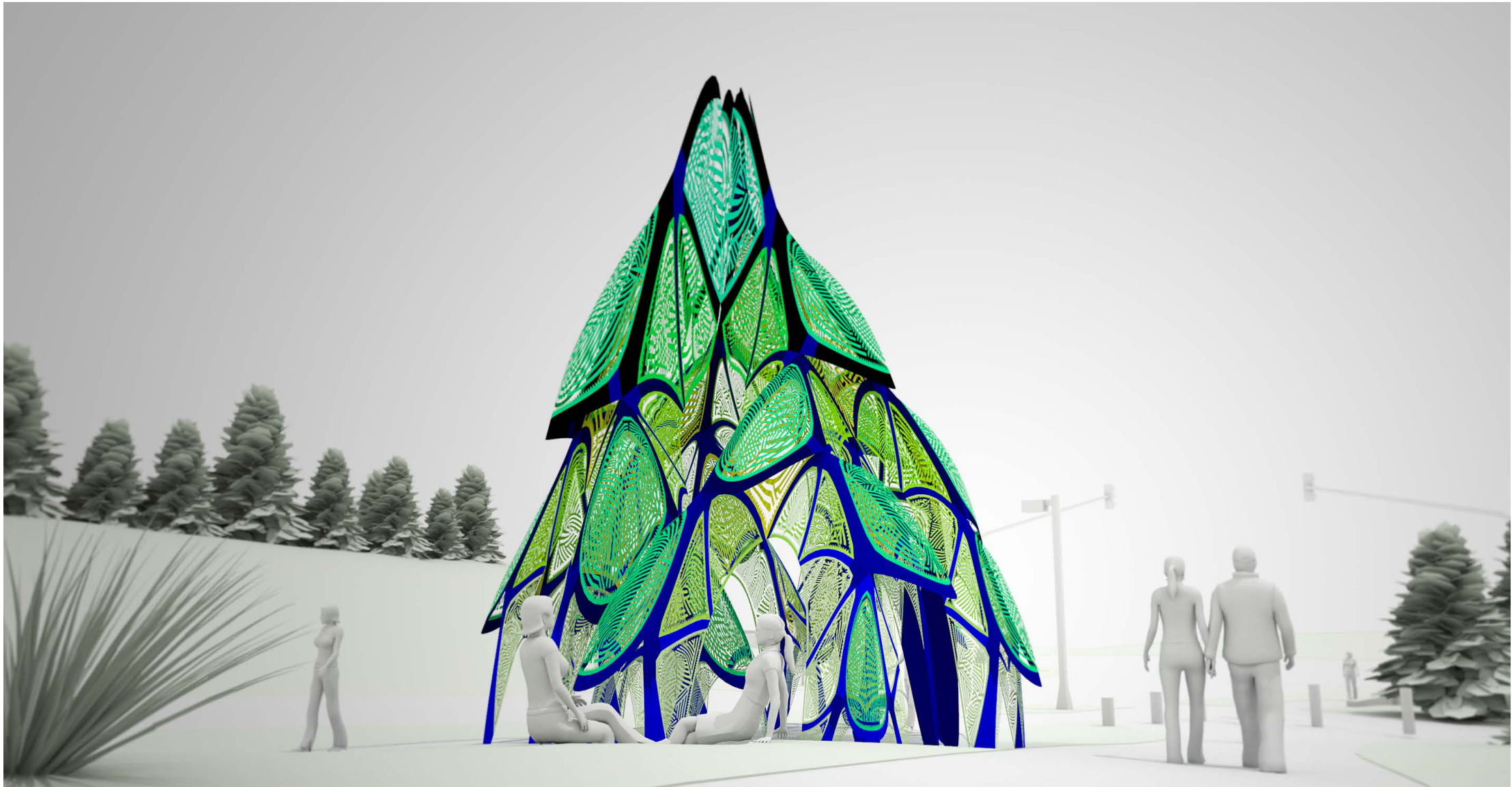


Pine Sanctuary

Riverwood Environmental Art Gateway
Riverwood Park Lane, Mississauga, Ontario
Public Art Proposal | 2016

MARC FORNES / THEVERYMANY

7.2 - 23



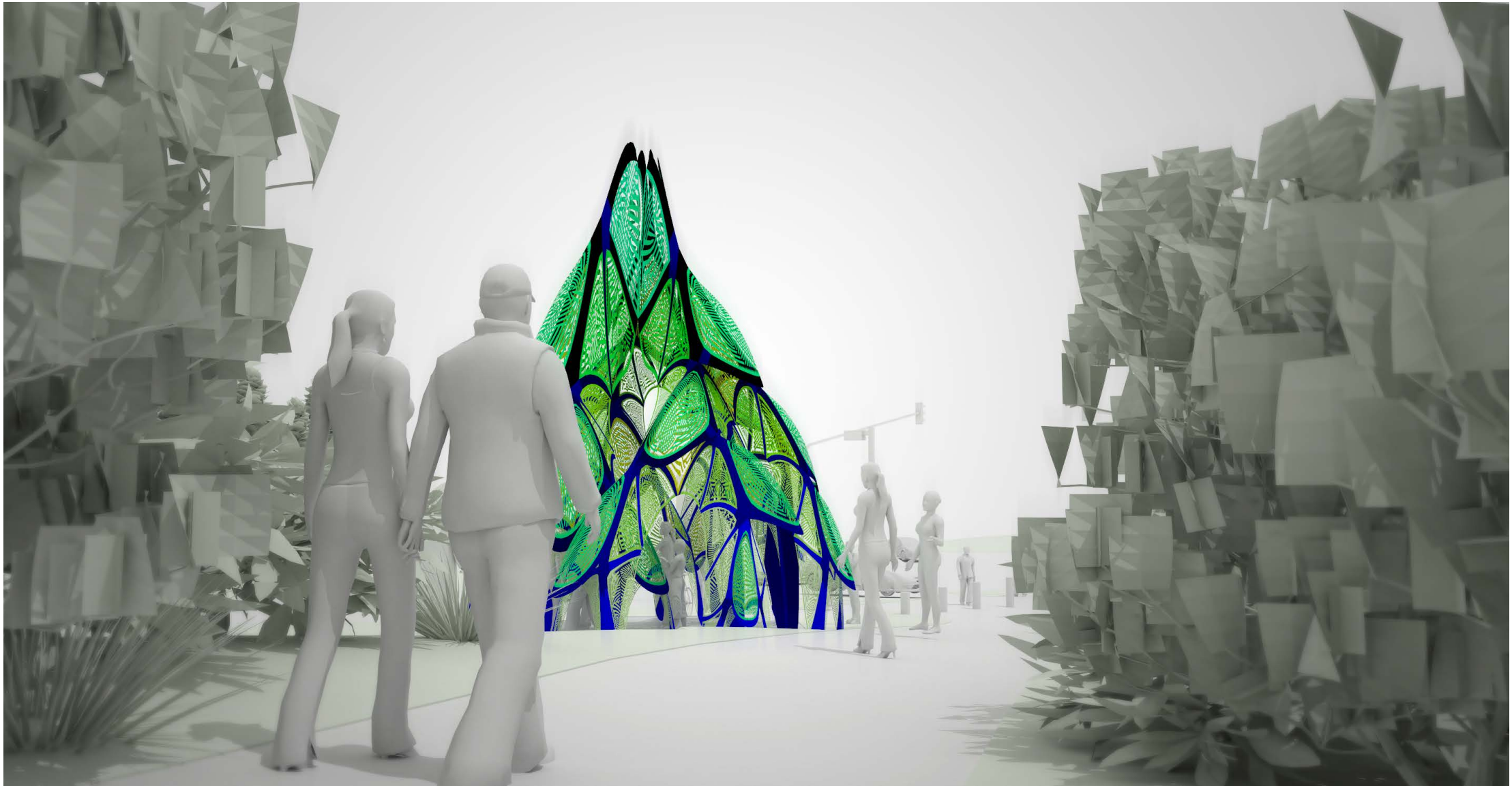
Sunday stroll..

Pine Sanctuary

Riverwood Environmental Art Gateway
Riverwood Park Lane, Mississauga, Ontario
Public Art Proposal | 2016

MARC FORNES / THEVERYMANY

7.2 - 24



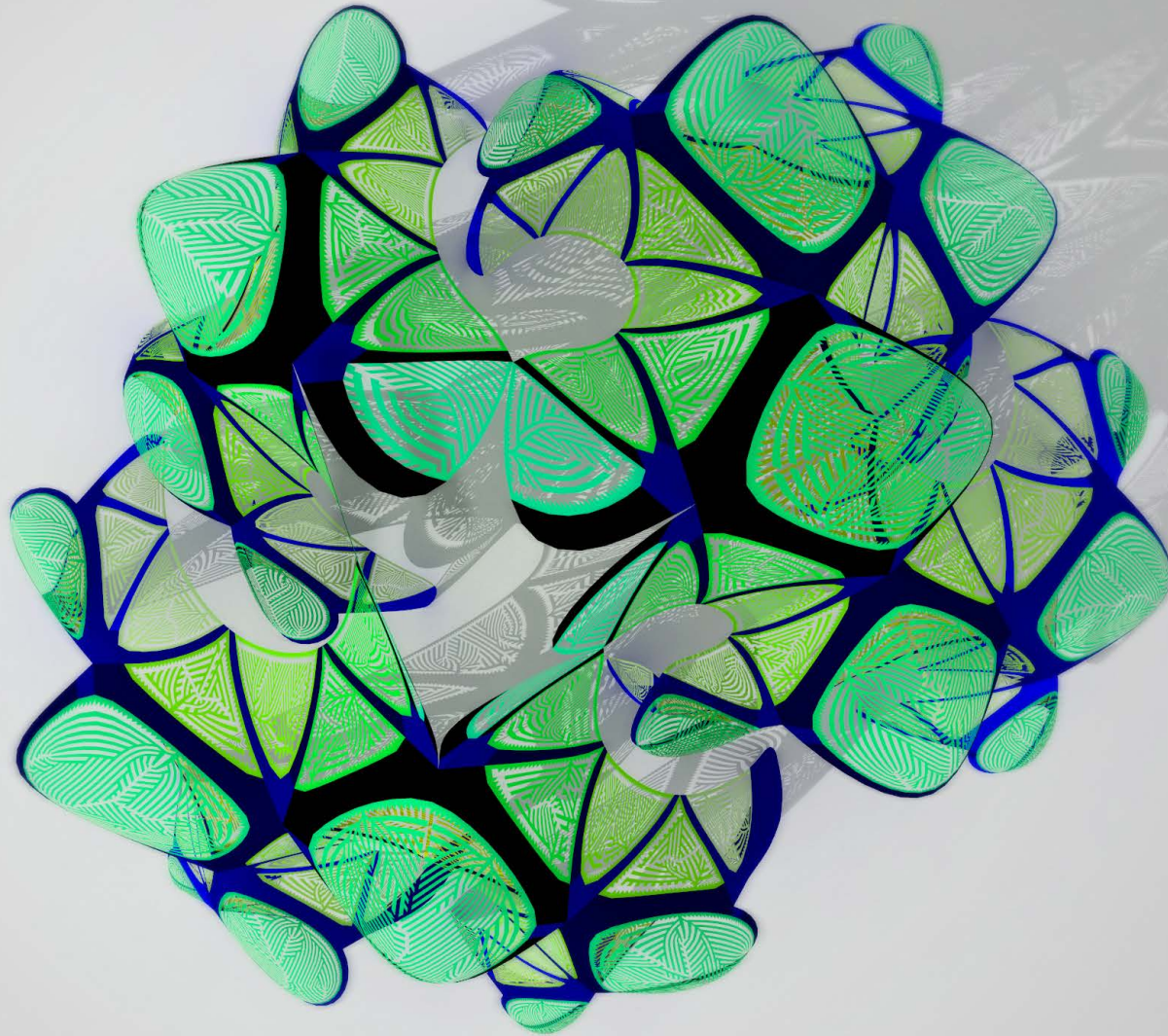
Same object, yet always different...
..depending on speed (walking, cycling, driving,...)
.. based on sun condition (crisp shadow vs. overcast)

Pine Sanctuary

Riverwood Environmental Art Gateway
Riverwood Park Lane, Mississauga, Ontario
Public Art Proposal | 2016

MARC FORNES / THEVERYMANY

7.2 - 25



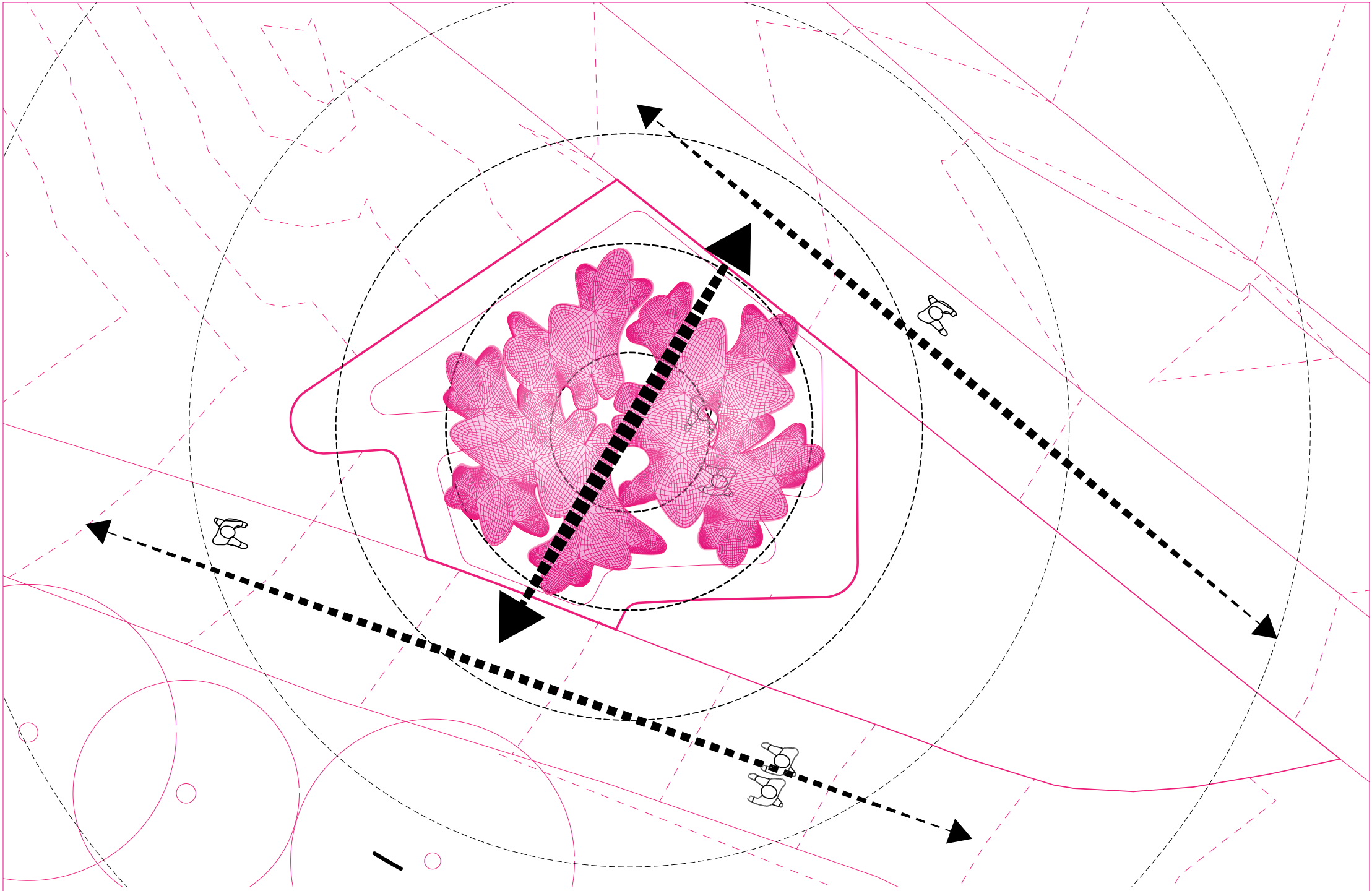
Labyrinthic..

..place of discovery

Pine Sanctuary

Riverwood Environmental Art Gateway
Riverwood Park Lane, Mississauga, Ontario
Public Art Proposal | 2016
MARC FORNES / THEVERYMANY

7.2 - 26

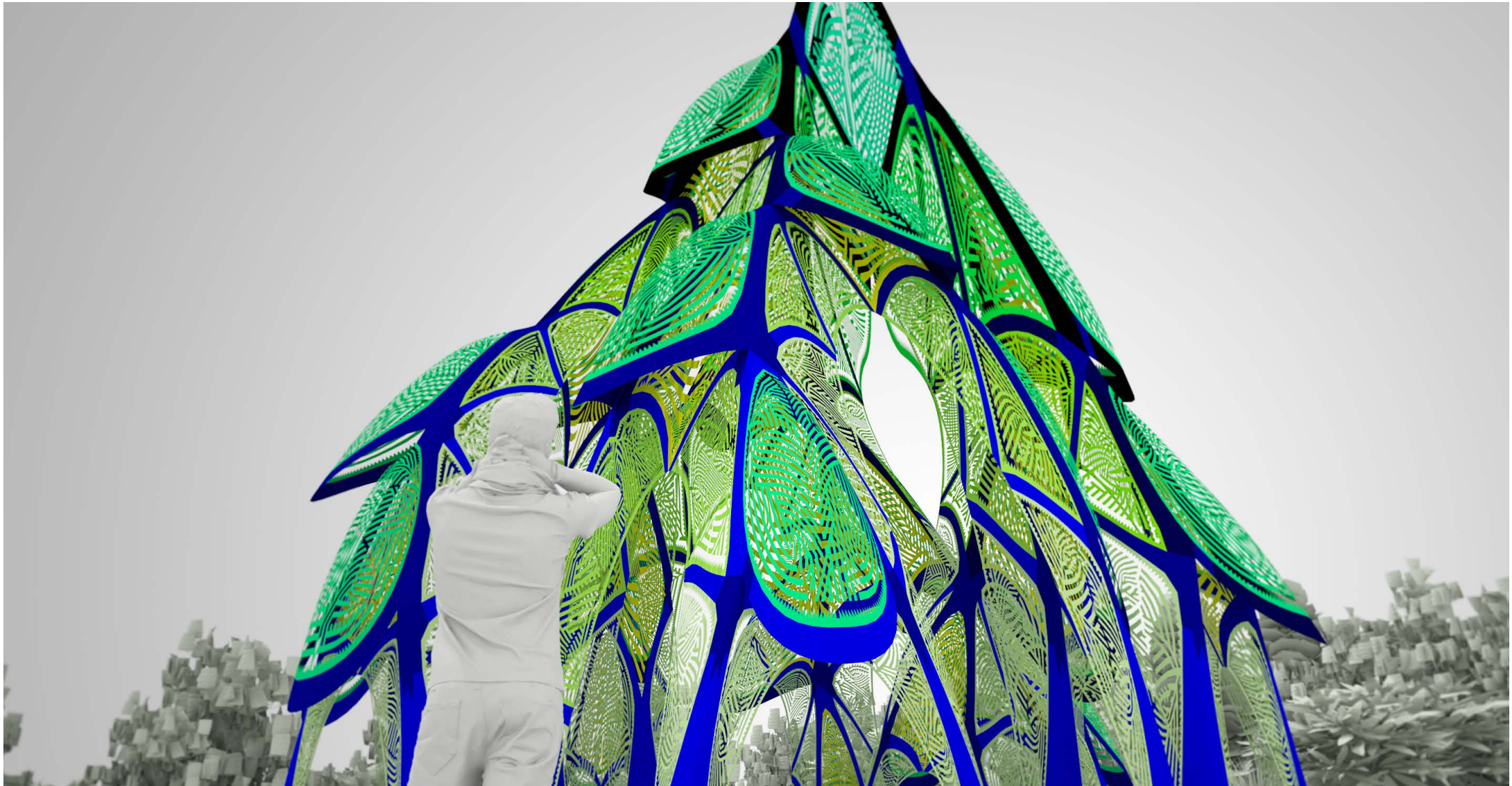


Pine Sanctuary

Riverwood Environmental Art Gateway
Riverwood Park Lane, Mississauga, Ontario
Public Art Proposal | 2016

MARC FORNES / THEVERYMANY

7.2 - 27



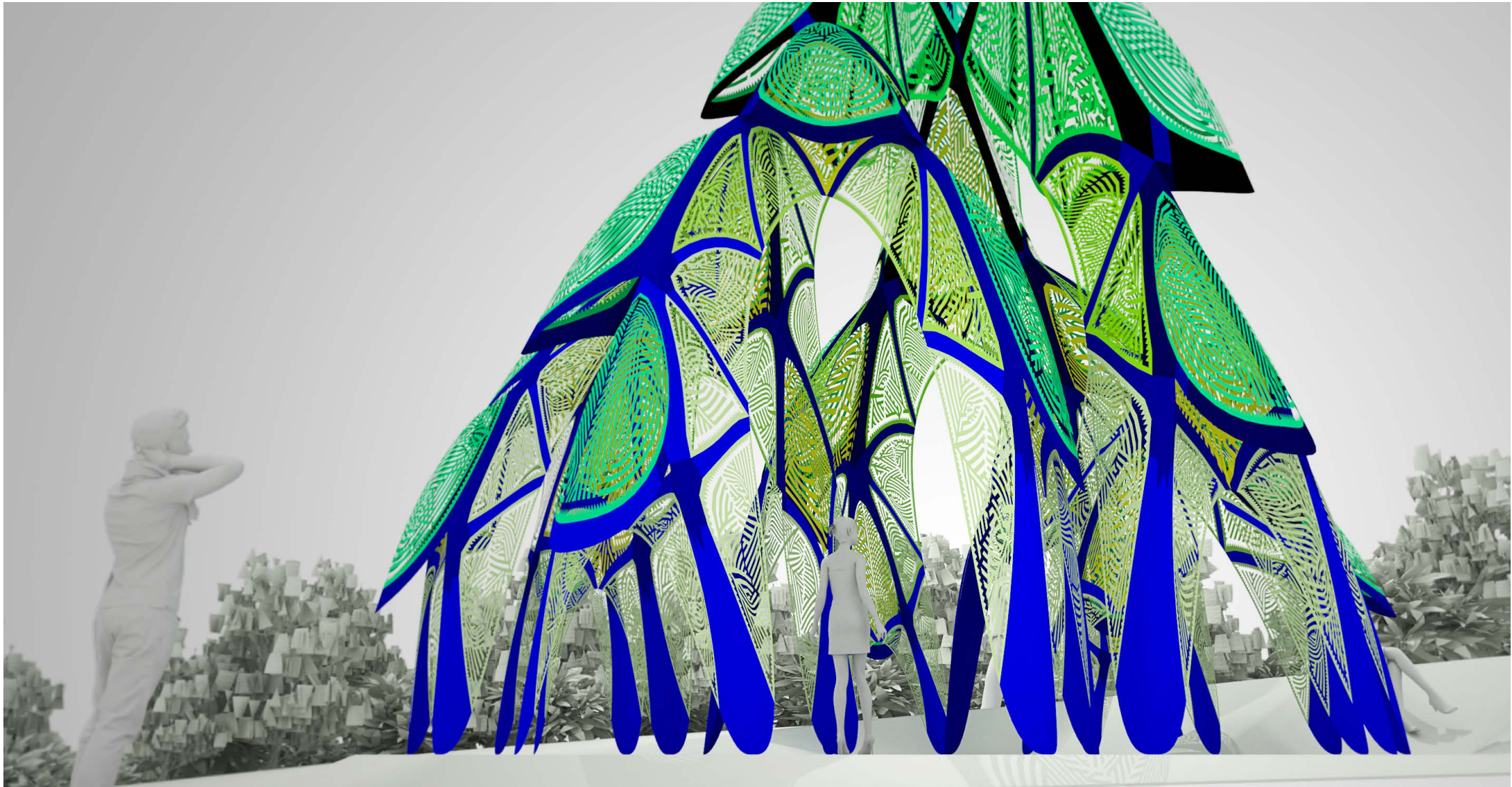
Lose oneself in wander..
..one and yet all sides are different

Pine Sanctuary

Riverwood Environmental Art Gateway
Riverwood Park Lane, Mississauga, Ontario
Public Art Proposal | 2016

MARC FORNES / THEVERYMANY

7.2 - 28



Playfull, interactive..

..place of discovery

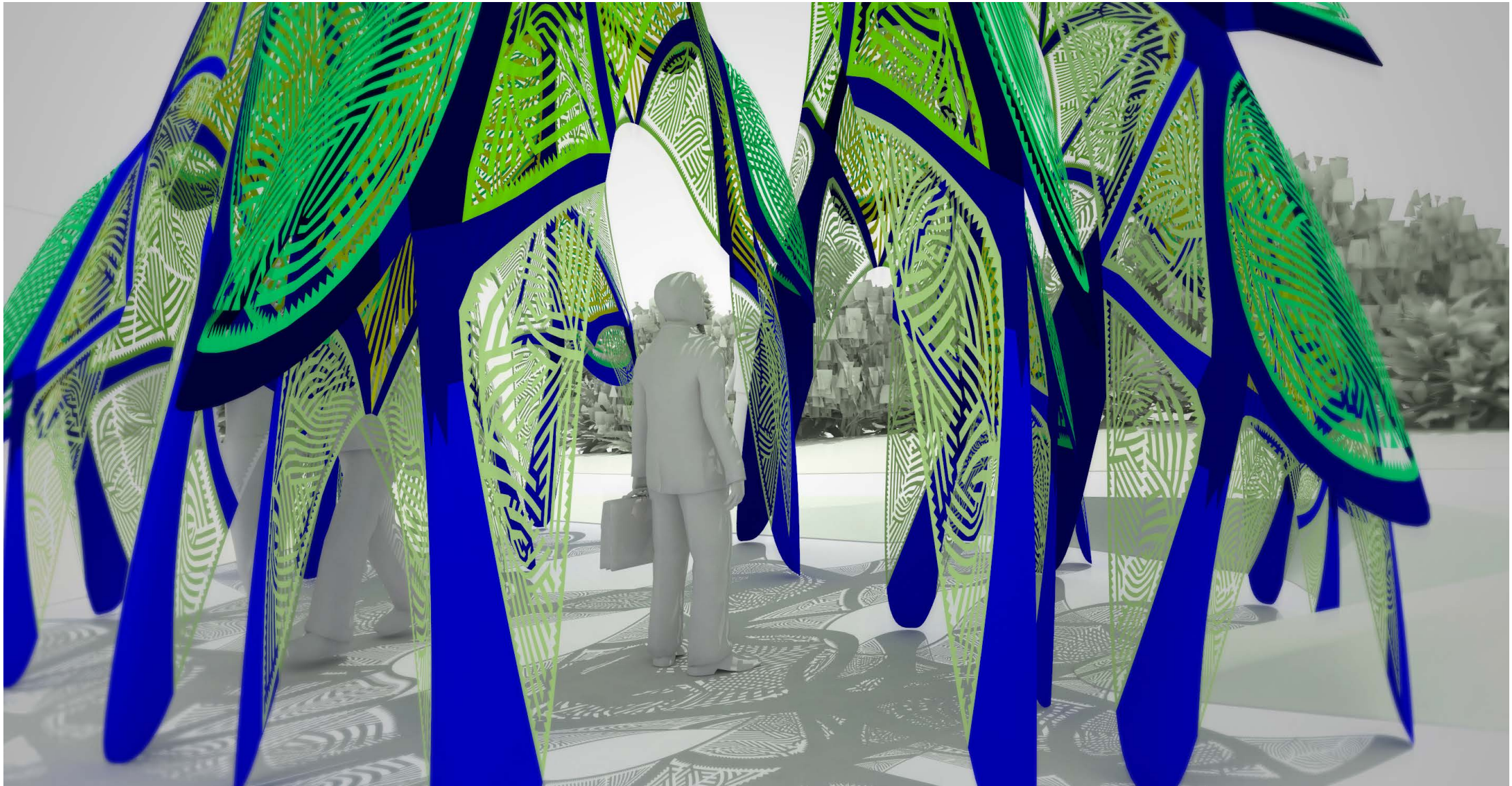
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Pine Sanctuary

Riverwood Environmental Art Gateway
Riverwood Park Lane, Mississauga, Ontario
Public Art Proposal | 2016
MARC FORNES / THEVERYMANY

7.2 - 30



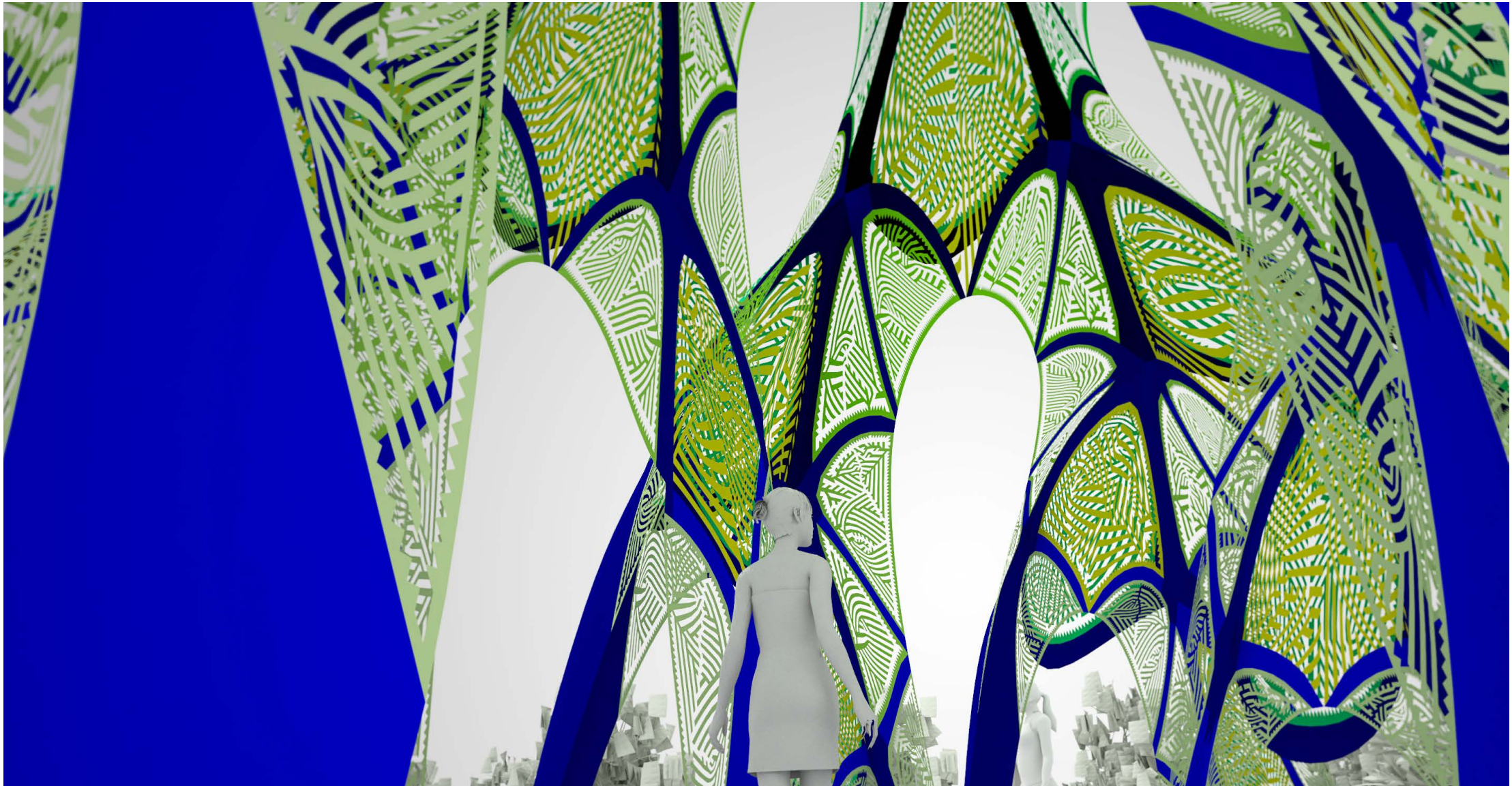
Lightly landed, on many feet..

Pine Sanctuary

Riverwood Environmental Art Gateway
Riverwood Park Lane, Mississauga, Ontario
Public Art Proposal | 2016

MARC FORNES / THEVERYMANY

7.2 - 31

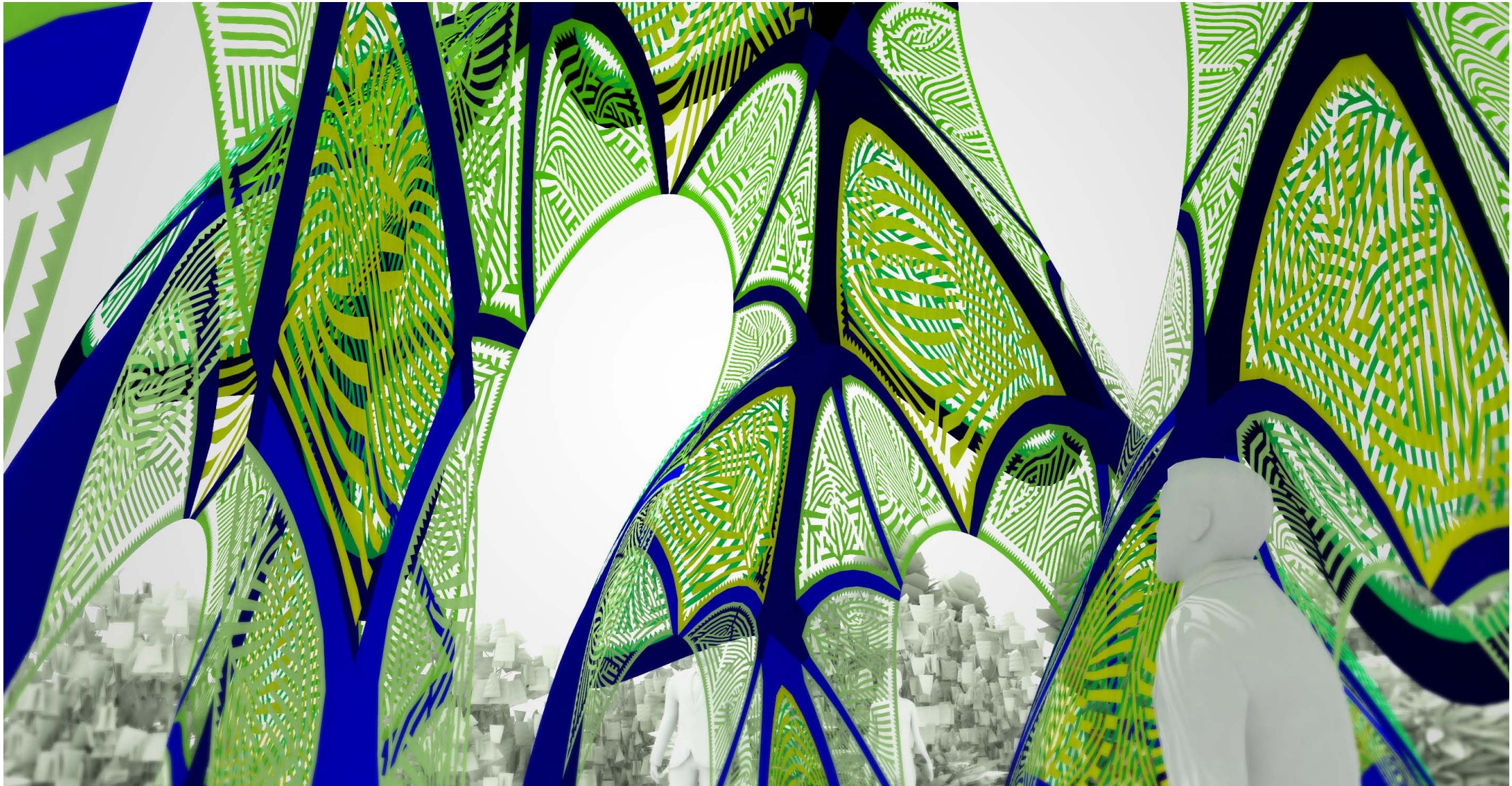


Pine Sanctuary

Riverwood Environmental Art Gateway
Riverwood Park Lane, Mississauga, Ontario
Public Art Proposal | 2016

MARC FORNES / THEVERYMANY

7.2 - 32



Pine Sanctuary

Riverwood Environmental Art Gateway
Riverwood Park Lane, Mississauga, Ontario
Public Art Proposal | 2016

MARC FORNES / THEVERYMANY

7.2 - 33



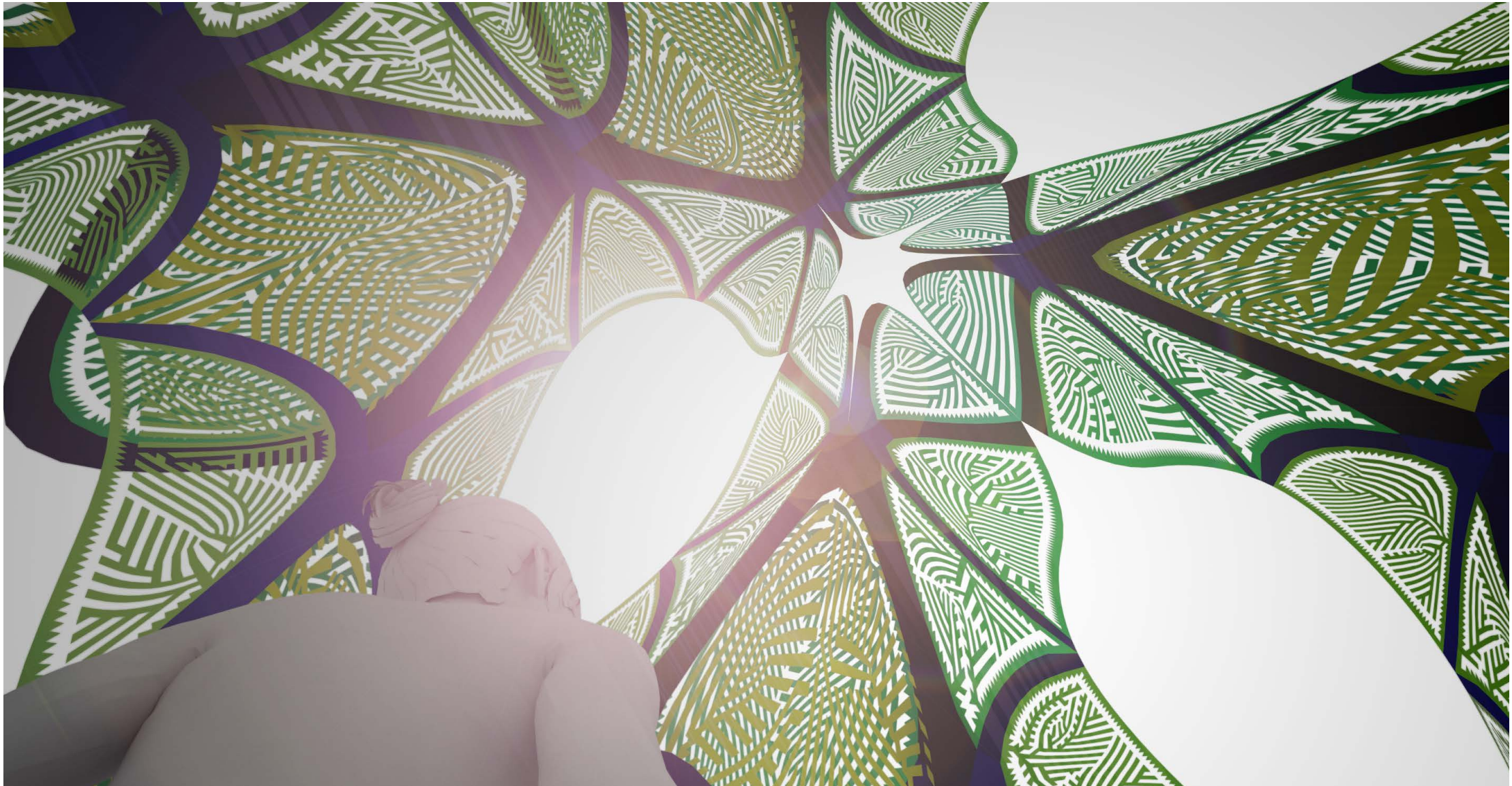
Sanctuary..

Pine Sanctuary

Riverwood Environmental Art Gateway
Riverwood Park Lane, Mississauga, Ontario
Public Art Proposal | 2016

MARC FORNES / THEVERYMANY

7.2 - 34



Pine Sanctuary

Riverwood Environmental Art Gateway
Riverwood Park Lane, Mississauga, Ontario
Public Art Proposal | 2016

MARC FORNES / THEVERYMANY

7.2 - 35

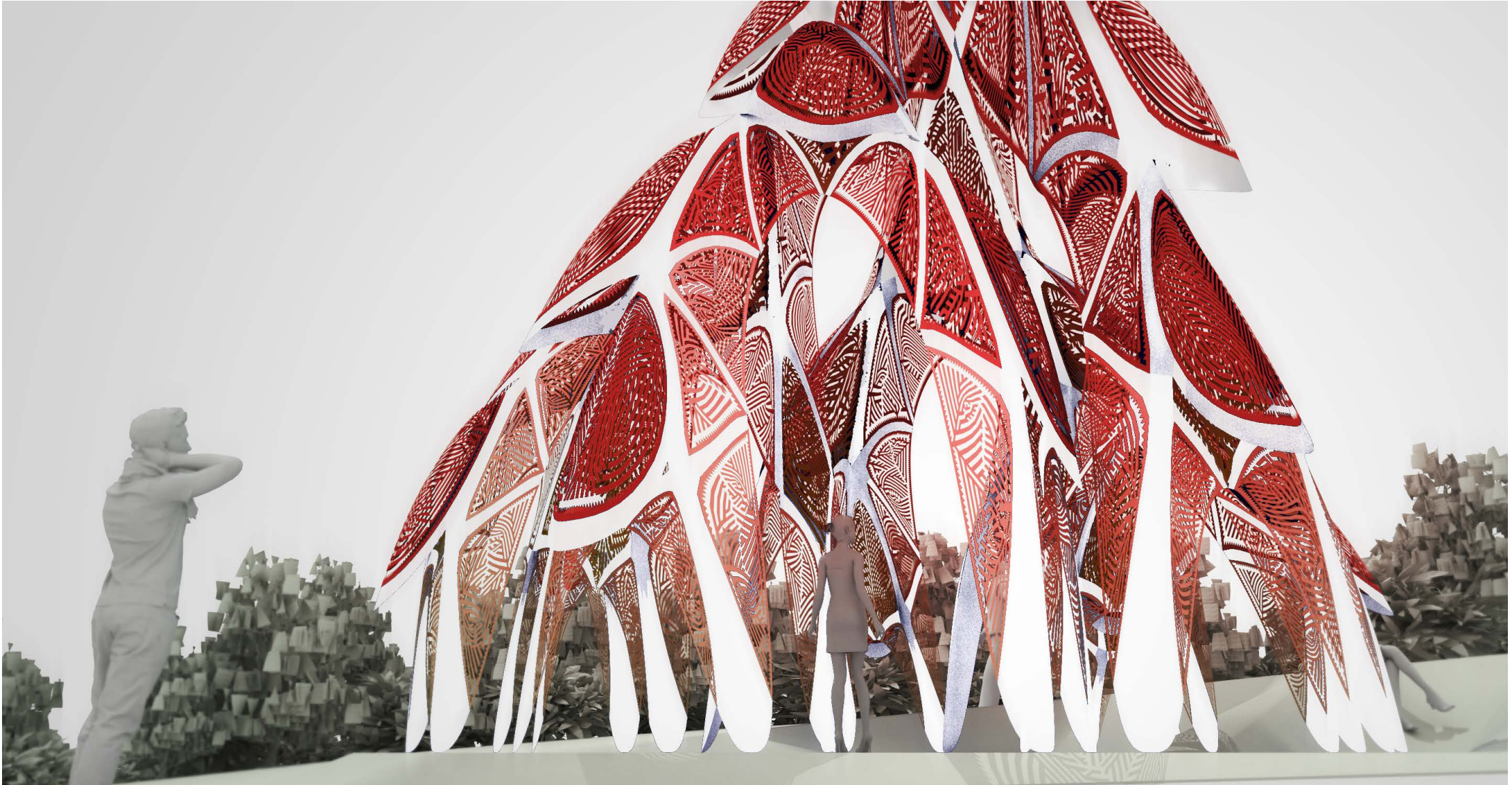


Pine Sanctuary

Riverwood Environmental Art Gateway
Riverwood Park Lane, Mississauga, Ontario
Public Art Proposal | 2016

MARC FORNES / THEVERYMANY

7.2 - 36



Colors and coloration..

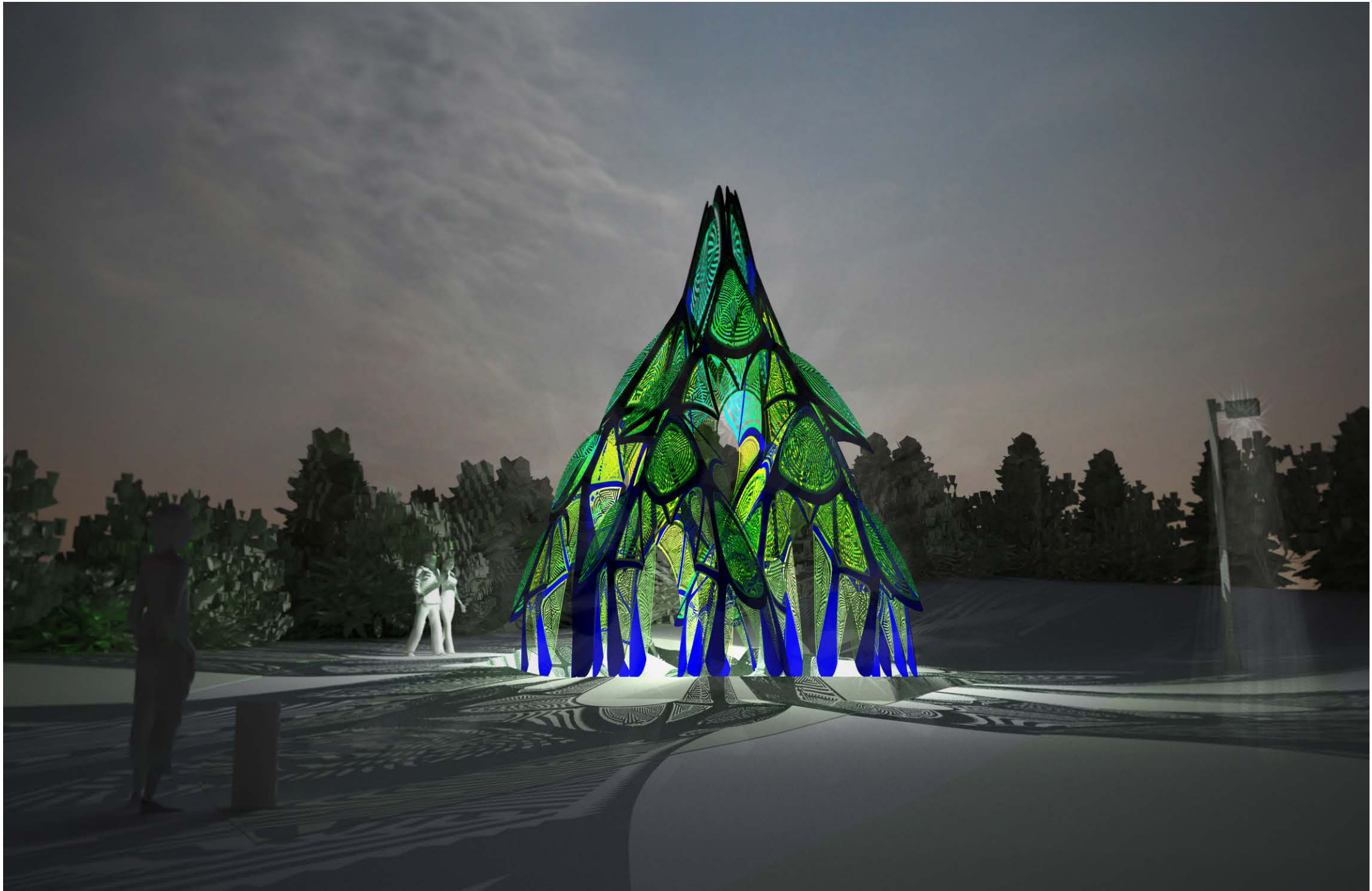
..studies and options will be developed during the Design Development phase,
in concertation with the public art committee

Pine Sanctuary

Riverwood Environmental Art Gateway
Riverwood Park Lane, Mississauga, Ontario
Public Art Proposal | 2016

MARC FORNES / THEVERYMANY

7.2 - 37

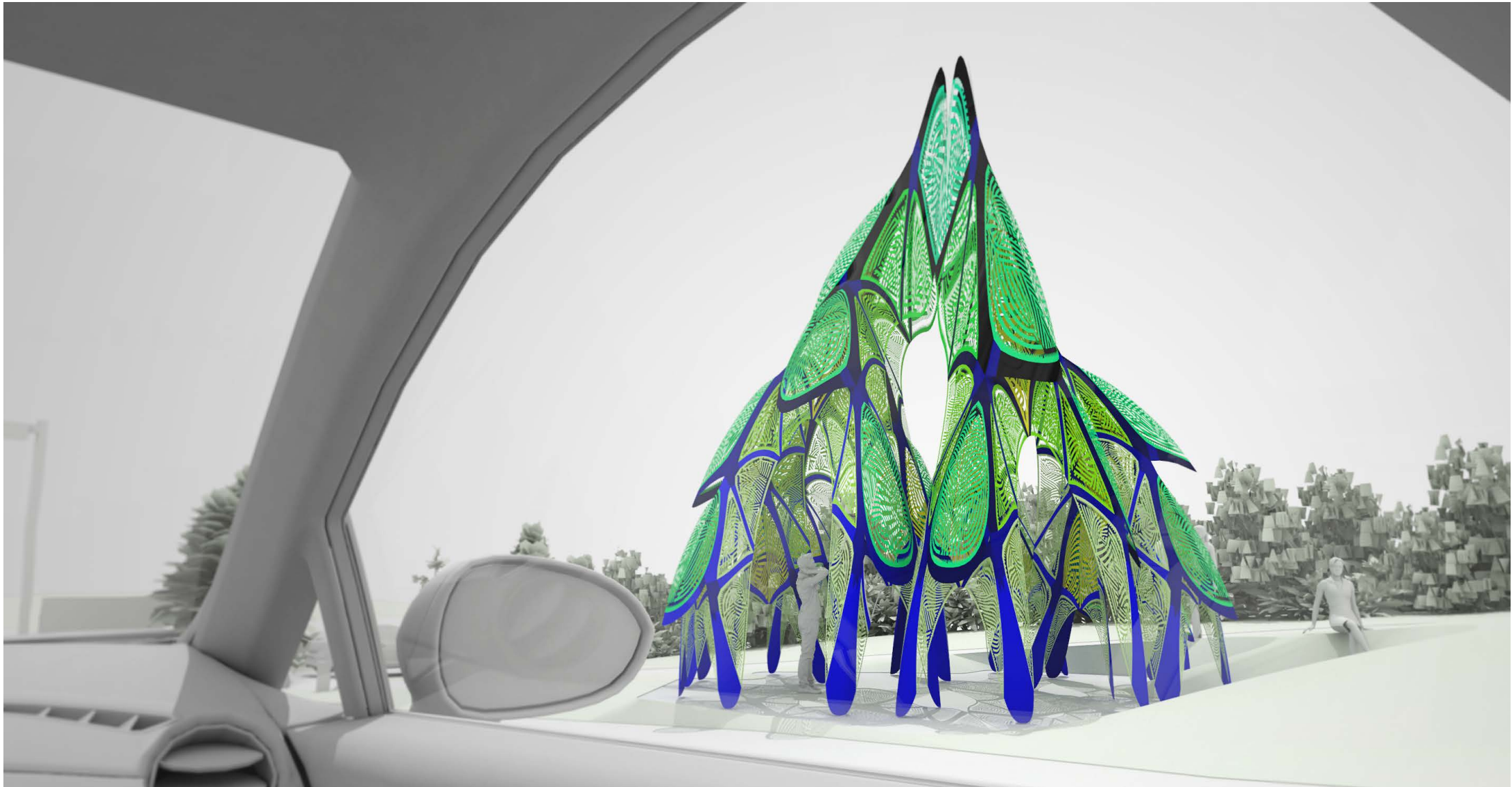


Pine Sanctuary

Riverwood Environmental Art Gateway
Riverwood Park Lane, Mississauga, Ontario
Public Art Proposal | 2016

MARC FORNES / THEVERYMANY

7.2 - 38



Same object, yet always different...
..depending on speed (walking, cycling, driving,...)
.. based on sun condition (crisp shadow vs overcast)

Pine Sanctuary

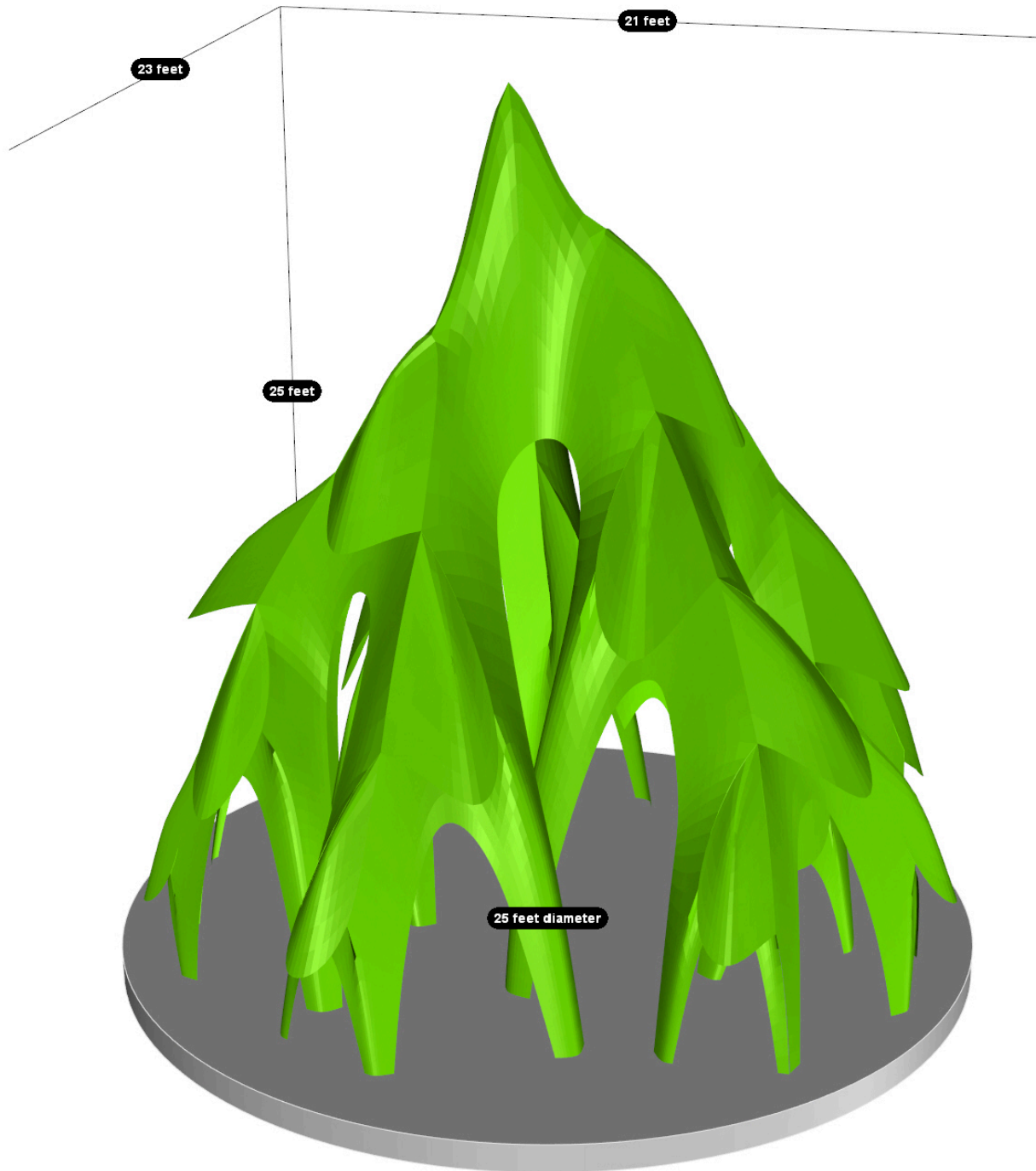
Riverwood Environmental Art Gateway
Riverwood Park Lane, Mississauga, Ontario
Public Art Proposal | 2016

MARC FORNES / THEVERYMANY

7.2 - 39



Same object, yet always different...
..depending on speed (walking, cycling, driving,...)
.. based on sun condition (crisp shadow vs overcast)



Project Brief:

The Riverwood Environmental Art Gateway public art project is one component of a series of capital works to taking place at Riverwood under the Canada 150 Community Infrastructure Program (CIP) funding. The artwork will be installed by June 2017.

The intent of the proposed public artwork is to:

- Announce the entrance to Riverwood and become a landmark within Mississauga;
- Negotiate a harmonious relationship with the site and the surrounding environment;
- Create a strong and recognizable identity as a gateway to the Credit River watershed; and
- Interpret and elevate the genius loci of Riverwood through public art.

The art selection process for Riverwood was conducted in 2 stages. Stage 1 Expression of Interest, which resulted in 9 artists being shortlisted, followed by Stage 2 Request for Proposals. Shortlisted proposals were exhibited online in order to garner feedback from the community. This type of consultation has proven to be a very useful engagement tool for public art projects.

In accordance with Corporate Policy and Procedure 05-02-07-City Acquired Art, an arm's length Art Selection Committee was formed and took community feedback into consideration during the adjudication period. Independent Art Selection Committees maintain transparency, integrity and professionalism in the selection process. The Riverwood Art Selection Committee was composed of the following knowledgeable arts professionals and representatives from the three key stakeholder groups:

1. Jesse de Jager, Credit Valley Conservation (CVC)
2. Mike Giguere, Visual Arts Mississauga (VAM)
3. Charles Brown, The Riverwood Conservancy (TRC)
4. Rod MacDonald, Landscape Architect, Landplan
5. Bonnie Devine, Associate Professor, OCAD, curator, writer, Indigenous Artist

The finalist selected is Marc Fornes/THEVERYMANY with the winning proposal entitled *Pine Sanctuary*. This proposal was also the community and stakeholder favourite, as demonstrated through the feedback obtained. The Committee, community and stakeholders alike appreciated the visual impact that the scale and colour of the proposed artwork will have on Riverwood. They also felt the artwork will become a strong identifiable landmark for the site which will invite new visitors to come and explore the various amenities that the site has to offer.

Stakeholder Feedback:

It should be noted that Credit Valley Conservation has approved the Riverwood Environmental Art Gateway works, as both a landowner for a portion of the Riverwood site and the conservation authority with jurisdiction.

The three key stakeholder groups have been consulted and engaged throughout the art selection process. The project team and the Artist will continue to work with key stakeholders as the project develops.

Heritage Context:

The artwork is to be installed at the entrance to Riverwood. Riverwood has been identified in the Heritage Designation By-Law as a Cultural Landscape: "Along Burnhamthorpe Road West is the stone wall and drive entrance which was a defining landscape feature that separated this property as a private estate. Although the

wall and gates have been altered over time, they provide a significant cultural landscape on Burnhamthorpe Road West”. In direct response to this significant notion, the Artist’s proposed work evokes a unique sense of place and balances the need for a strong visual impact with a site-appropriate approach to design. The artwork will speak to the rich natural and cultural heritage of Riverwood as a uniquely treasured destination in the heart of Mississauga.

It is also important to note that the City of Mississauga Public Art Master Plan (2016) identifies Heritage Sites, such as Riverwood, as a priority zone for public art: “Heritage Sites offer a unique opportunity for public art as there are abundant storytelling and educational components to both. Mississauga is abundant with living heritage, which provides great cultural value and future opportunities for thematic, site-specific public art. Heritage and living heritage are defined more broadly than physical components but include natural and cultural landscapes, cultural experiences, expressions and practice. These sites provide cultural value and a rich opportunity for interpretation through public art.”

Preliminary Technical Description

Materials for Artwork: aluminum sheets (1/8 to 1/2" thick), aluminum rivets, automotive paint, finish semi-gloss.

Anticipated specifications of Artwork*:

Height: 25ft

Width: 21ft

Depth: 23ft

Weight: 2 tonnes

**Final specifications will be detailed in stamped drawings to be submitted by Artist at a later date.*

Anticipated specification for concrete slab:**

Radius of slab: 25ft

Thickness of slab: 8 inches

Anchor method: past stripe(s)/shingle welded to an aluminum plate (approx. 0.5" thick), bolted to the slab with Hilti anchors, chemically bonded.

***Final specifications will be detailed in stamped drawings to be submitted by Contractor at a later date.*

Preliminary Artist Statement

Pine Sanctuary is an iconic signal from afar, and unique experience of space and light from within. A mystical adventure at a scale between sculpture and architecture, the structure creates a space that can happily host activity from spontaneous playful to quiet contemplation. Like its neighbouring coniferous trees, no angle or view ever repeats itself exactly, so every step both inside and out prolongs the sense of discovery. The piece is contemporary in its design and production, but also in its coloration. Greens, blue and yellows inspired by the surroundings are pushed to gradients of abstraction; a contemporary update on the natural landscape that forms an iconic and playful signal – creating a unique identity for Riverwood. This is a place for spontaneous play as much as it is a sanctuary for one to simply lose their time. The artwork will be made from the highest quality materials and will be engineered and fabricated in Canada with Canadian suppliers.



THE CORPORATION OF THE CITY OF MISSISSAUGA

BY-LAW NUMBER *0565-2004*

A by-law to designate the property located at
1461, 1465 and 1475 Burnhamthorpe Road West
as being of historical, architectural and contextual significance

WHEREAS the *Ontario Heritage Act*, R.S.O. 1990, Chapter 0.18, as amended, authorizes the Council of a municipality to enact by-laws to designate real property including all the buildings and structures thereon, to be of architectural value or interest;

AND WHEREAS Notice of Intention to so designate the property located at 1461, 1465 and 1475 Burnhamthorpe Road West, in the City of Mississauga, has been duly published and served, and no notice of objection to such designation has been received by the Clerk of The Corporation of the City of Mississauga;

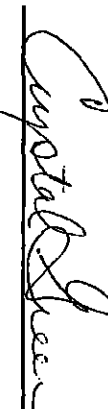
AND WHEREAS the reasons for the said designation are set out as
Schedule 'A' hereto;

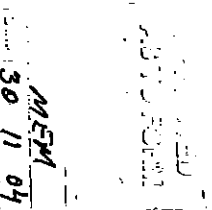
NOW THEREFORE the Council of The Corporation of the City of
Mississauga ENACTS as follows:

1. That the real property located at 1461, 1465 and 1475 Burnhamthorpe Road West, City of Mississauga, and legally described in Schedule 'B' attached hereto, is hereby designated as being of historic value under Part IV of the *Ontario Heritage Act*, R.S.O. 1990, Chapter 0.18, as amended.
2. That the City Clerk is hereby authorized to cause a copy of this by-law to be served upon the owner of the aforesaid property, and upon the Ontario Heritage Foundation and to cause notice of this by-law to be published in a newspaper having general circulation in the City of Mississauga.
3. That Schedules "A" and "B" form an integral part of this by-law.
4. That the City Solicitor is hereby directed to register a copy of this by-law against the property located at 1461, 1465 and 1475 Burnhamthorpe Road West in the proper land registry office.

ENACTED AND PASSED this *15th* day of *December*, 2004.


ACTING MAYOR


CLERK



SCHEDULE "A" TO BY-LAW NO. 0505-2004

STATEMENT OF THE REASONS FOR DESIGNATION

"Riverwood", 1465, 1461 & 1475 Burnhamthorpe Road West
(Also known as the Parker, Chappell, and MacEwan Estates)

The property known as Riverwood, 1447 Burnhamthorpe Road West, has been recommended for heritage designation for reasons of its historical, architectural and contextual significance.

The Reasons for Designation were written in the context of the completed Garden Park Master Plan and the Garden Park Cultural Resource Management Plan.

Historical Background:

The original patent from the crown for Lots 4 and 5, Range 4, went to Peter McDougall in 1833. The adjacent Lot 6 was a patent from the crown to William MacGrath, who owned the property south of Burnhamthorpe Road. The properties changed hands several times until June of 1913, when Lots 4, 5 and 6 were bought by W.R.P. Parker, from Allen Case.

From 1913 onwards the Parkers, who resided in Toronto, gradually rebuilt a stone cottage from what existed of a former stone building on the site. The Parkers then used this cottage, now known as the MacEwan house, as a summer home. In 1919 Mr. Parker hired A.S. Mathers, later of the firm Mathers and Haldenby, to design an elegant Arts-and-Crafts residence on the property. The new home, called "Riverwood," was designed to blend with its impressive natural surroundings, and soon became a centre for entertaining and relaxation. Mr. Parker was a Toronto lawyer and businessman and was politically well-connected, and among many of the celebrated guests to stay at Riverwood was a close family friend, William Lyon Mackenzie.

North of Riverwood was the "upper farm," now known as the Zaichuk property. The farm was then operated by the Plumb family, who assisted the Parkers in managing the estate, and Harry Plumb was also responsible for much of the construction throughout the property, perhaps including supervision of the building of Riverwood itself.

In 1931 Mr. Parker died and, due to the stock market crash of 1929, left his widow with scant financial resources. The house was then rented out to Jim Rattray, who later owned the large Rattray Estate on the shores of Lake Ontario. Mrs. Parker sold off the upper farm to the Zaichuk family and the old stone house to her daughter, Margaret MacEwan. Eventually the financial strain forced Mrs. Parker to sell the main house in 1956 to Hyland and Grace Chappell.

Mr. Chappell, also a lawyer and politician, resided in the house for many years. In 1986 Mrs. Chappell, then a widow, sold the property to the Credit Valley Conservation Authority, in conjunction with the City of Mississauga.

Archaeological studies conducted on the property have also proven the lands to be of native prehistoric significance, dating from the Middle to Late Iroquoian Periods. These components have been removed through archaeological investigations.

Architectural and other Heritage Resources:

The Riverwood property is recognized to be organized into four areas: the Bird terrace, the MacEwan Estate, the Chappell Estate, and the Zaichuk property.

The Bird terrace is located on the floodplain adjacent to the Credit River and immediately north of the Burnhamthorpe Road West Bridge. The name derives from the surname of the last inhabitants on this property. The residence and outbuildings have all been removed, though the oldest foundations of the house, which may date from the mid-nineteenth century, probably remain. The only visible remnants of these former residential structures are the landscape features of a stone retaining wall and terrace at the top of the valley, and a nearby stone wall which runs orthogonal to the valley. It is believed that the Norway Spruce Allé was created to provide a windbreak for the orchard which was planted southeast of the allé on the terrace and up the hill to the MacEwan terrace. A few remnants of the orchard remain.

Along the north side of Burnhamthorpe Road West is the stone wall and drive entrance which was a defining landscape feature that denoted this property as a private estate. Although the wall and gates have been relocated and altered over time, they provide a significant cultural landscape on Burnhamthorpe Road West. It is recognized that portions of this wall may be altered or removed as the park develops.

The MacEwan House is a single-storey, Credit River stone structure, parts of the original portion believed to date from the mid-nineteenth century. It is an elongated "L" in plan, the bottom of the "L" being the rebuilt older portion. As a result of grade differences around the building, much of the cellar portion is fully exposed. This situation is also the reason for a small stone bridge at the east facade, which connects the upper floor to the adjacent grade level. The windows are multi-paned casement units, and the medium-pitched roof has stucco gable ends with mock-Tudor work over the porch. In the earlier portion of the house, the roof (formerly shingled) has a slight bellcast. The house rests not far from the top-of-bank and would have had a dominant view of the river valley when the grounds were clear of trees. An interior feature of particular note is the fireplace in the main room, which was part of the original structure.

Directly to the east of the MacEwan House is the MacEwan Barn. The barn is typical of a small English-style barn and dates from the mid-nineteenth century. The barn is built in two phases, the later addition having a shed roof and poured concrete floor. The roof pitches now have a variety of cladding materials, with the north pitch of the older portion now clad horizontal boards, which presumably replace original wooden shingles.

The main house, named "Riverwood" by the Parker family, was built in 1919 of Credit Valley stone collected on the property. This Arts-and-Crafts style structure was designed by W.S. Mathers (later of Mathers and Haldenby, which company also worked here), who took a holistic view of the property and had walkways, gardens, woodland pool, and patios all designed to integrate into the marvelous landscape. The one-and-a-half storey stone house is designed in a "U" shape, with two wings extending from a dominant central core. The original landscaping adjacent the house was designed by Harries and Hall, Landscape Architects and Engineers (of Toronto and Buffalo), in association with Arthur M. Kruse, and is an important example of their work.

The high, pitched, wood-shingled roof with flanged eaves provides a dominant feature, broken at the front facade by a massive stone chimney with a decorative, hand-carved stone shield indicating the date "1919". This main chimney served the living room and upper storey fireplaces. The house was built for entertaining, which provided for a separate bedroom wing, servants wing, and central dining and reception area.

The main living room has hand-hewn B.C. fir ceiling beams and a large walk-in fireplace built of red brick. Above the mantel is a hand-painted folk-art depiction of the property when it was fully developed, painted by Estelle Kerr about 1935.

The windows are multi-paned casement units and the doors leading onto the rear flagstone patio were formerly multi-paned French doors. On either side of the chimney on the front facade, the roofline is broken by two dormers. These provide light into the only room on the second floor, which also has a large single dormer at the rear of the structure. A second, less dominant internal chimney served the kitchen area, and a third chimney rises from the bedroom wing. From the bedroom wing there are exits to the garden by a north door of the original master bedroom, with its many multi-paned windows, and a second exit onto the rose garden on the east facade of the house.

A full cellar extends throughout the house, and includes a large walk-in safe under the front entrance.

The house and grounds are surrounded by many landscape features. At the front is the courtyard, with circular drive around the central lily pond and with stone wall and trellis to the south. This stone wall forms the wall for the garage, which is set below grade. There are walkways that lead away from the house into the gardens. To the southeast of the garage is an above-ground stone cistern associated with the woodland pool and (lost) fountain. An extant, but unused set of stone steps leads from the house rear lawn down to the river valley. A second stairway leads from the rear yard to the woodland pool, now in poor condition, but once a major garden and landscape feature on the property, fed by the waters of MacEwan Creek. Throughout the entire site are remnants of earlier landscape features such as bridge abutments, old roadways, and numerous fence lines and paths.

SCHEDULE "A" TO BY-LAW NO. 0505-2004Contextual Significance:

The "Riverwood" site, comprised of its four major components, MacEwan House and Barn, Bird Terrace, Chappell Estate, and Zaichuk property, has numerous built and natural heritage resources. The property is bordered on the south by Burnhamthorpe Road West, to the east is the rail line, on the west is the Credit River and to the north, Highway 403. The most significant feature of this property is its relationship to the Credit River corridor and the related creeks that feed into this river. The site has been the location of human habitation for hundreds of years, whereby its occupants have always had a respect for the natural landforms and unique qualities between upper table lands and low valley floodplain. The site is noted for its natural heritage features and provides a significant green space within the urban context, while also reflecting on the cultural development of the property over time. It is the careful integration of open space, forest, gardens and built forms that make this property a significant cultural landscape.

SCHEDULE 'B' TO BY-LAW 0505-2004

Description:

Part of Lots 3, 4, 5, 6 and 7, Range 4 North of Dundas Street
(To be designated under the Ontario Heritage Act)

(Ward 6, City Zone 31, in the vicinity of Burnhamthorpe Road West and
Creditview Road)

In the City of Mississauga, Regional Municipality of Peel, (Geographic Township of Toronto,
County of Peel), Province of Ontario and being composed of:

FIRSTLY:


Part of Lots 4, 5, 6 and 7, Range 4 North of Dundas Street, of the said Township,
designated as Parts 1, 2, 3, 4 and 5 on a plan of survey deposited in the Land
Registry Office for the Registry Division of Peel (No. 43) as Plan 43R-13158
and Parts 2, 3, 4, 5, 6, 7, 8, 9, 10 and 11 on a plan of survey deposited in the said
Registry Office as Plan 43R-9772.

SECONDLY:

Part of Lots 3, 4 and 5, Range 4 North of Dundas Street, of the said Township,
designated as Part 1 on a plan of survey deposited in the said Registry Office as
Plan 43R-19545, Part 1 on a plan of survey deposited in the said Registry Office
as Plan 43R-5061, Part 1 on a plan of survey deposited in the said Registry
Office as Plan 43R-5821, Part 5 on a plan of survey deposited in the said
Registry Office as Plan 43R-9773 and Part 1 on a plan of survey deposited in the
said Registry Office as Plan 43R-5550, save and except Part 3 on a plan of
survey deposited in the said Registry Office as Plan 43R-6228.

THIRDLY:

Part of Lots 5 and 6, Range 4 North of Dundas Street, of the said Township, as
described in Instrument Number RO499454, save and except Parts 1, 2 and 3 on
a plan of survey deposited in the said Registry Office as Plan 43R-6252.


G. T. Stidwill, P. Eng.
Ontario Land Surveyor



December 2, 2016

The Corporation of the City of Mississauga
300 City Centre Drive
Mississauga, Ontario

Attn: Heritage Advisory Committee

RE: Riverwood Gateway Art Project and Chappell House Improvements – Canada 150 Fund

Credit Valley Conservation (CVC) has had the opportunity to participate in early consultation with the City of Mississauga (City) on proposed enhancements to Riverwood, including the installation of a new gateway Art feature and improvements to the Chappell House. CVC staff has reviewed the proposed works, in both capacities as owners of the Riverwood property on which the works are to occur and as a permitting agency under Regulation 160/06 of the *Conservation Authorities Act*, and can offer support in principle upon receipt of a satisfactory design submission.

The City has demonstrated a long-standing commitment to the maintenance and development of Riverwood that respects the site's unique cultural and natural heritage features. These currently proposed improvements represent a welcome addition to the Riverwood property and CVC will continue to work with the City to see their successful implementation.

We note that as the City proceeds with acquisition of permissions and funding, that a permit from CVC for the proposed works is required and can be applied for through the regular process by contacting Ken Thajer (cc'd here).

Sincerely,

A handwritten signature in blue ink, appearing to read 'Jeff Payne', is written over a light blue horizontal line.

Jeff Payne
Director, Corporate Services
905.670.1615 ext. 250
C: 905.452.4302 | jpayne@creditvalleyca.ca

cc: Alana Elvers (City of Mississauga)
Paula Wubbenhorst (City of Mississauga)
Jesse de Jager (CVC)
Ken Thajer (CVC)
Eric Baldin (CVC)

City of Mississauga

Corporate Report



Date: 2016/12/15

To: Chair and Members of Heritage Advisory Committee

From: Paul Mitcham, P. Eng, MBA, Commissioner of
Community Services

Originator's files:

Meeting date:
2017/01/10

Subject

Request to Alter a Heritage Designated Property: Landscaping work at 4300 Riverwood Park Lane (Ward 6)

Recommendation

1. That, the rehabilitation of the circular drive, the adjacent stone path and the pedestrian path along the north of the Parker Estate house, concrete foundation slab with integrated steps and new public seating areas, as shown in the attachments to the Corporate Report dated December 15, 2016 from the Commissioner of Community Services, be approved for the property at 4300 Riverwood Park Lane, which is designated under Part IV of the Ontario Heritage Act.

Background

Section 33 of the Ontario Heritage Act requires permission from Council in order to make alterations to a Part IV property. The property, known as the Parker Estate, is designated under Part IV of the Ontario Heritage Act, as well as recognized as a Cultural Landscape. The natural landscape is one of the heritage attributes of the property. The property's significance lies in it containing a large Arts and Crafts style estate residence, surrounded by landscaping originally designed by William E. Harries and Alfred V. Hall with A.M. Kruse and surrounded by natural landscape features within a large property.

Staff from the City's Facilities and Property Management Division has submitted a heritage permit application, description and drawings of the proposed landscaping rehabilitation at 4300 Riverwood Park Lane. The project is being undertaken in order to repair and meet accessibility standards of the circular driveway, parking spaces, landscape path adjacent to driveway and along the north elevation of the house. See Appendix 1.

The City's Building and Facilities Property Management staff will be coordinating the execution of the work.

Comments

Staff at the City's Building and Facilities Property Management Division has requested permission to rehabilitate the circular driveway paving, adjacent pedestrian landscape path and pedestrian path along the north of the building at the Parker Estate. The applicant has submitted an application, drawings depicting proposal with key dimensions and material notations, and an explanation of the intent of the project. Refer to the appendix. Sensitive contemporary alterations are appropriate in heritage sites if they are found to be complementary and do not negatively affect the cultural heritage attributes. Heritage Planning finds that the proposed landscape rehabilitation work is sympathetic to the cultural significance of the property as a whole, while balancing accessibility needs in accordance with standards.

Financial Impact

There is no financial impact.

Conclusion

The applicant has submitted a proposal and design concept drawings supporting the request to rehabilitate the circular driveway hard surfaces as well as the landscaped pedestrian pathways as described above. Staff finds that the proposal depicted in the appendix of this report is sympathetic to the heritage attributes of the Parker Estate and should be approved.

Attachments

Appendix 1: Submitted Design Description and Drawings



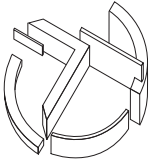
Paul Mitcham, P. Eng, MBA, Commissioner of Community Services

Prepared by: Cecilia Nin Hernandez, Heritage Coordinator

December 2, 2016

Outline of Landscaping Renovations at Chappell House in Riverwood Conservancy

The City of Mississauga is presently preparing to renovate the landscaping at the Chappell house in the Riverwood Conservancy, in order to restore the quality and vitality of the exterior landscaping of the house. See the attached drawings. This will help to ensure that the site remains accessible within the current Mississauga accessibility design standards, while maintaining the historically significant site. The landscaping is to be completed by June of 2017. It has been established that a building permit, and archaeological assessment are not required for this project.



The Designated Property

The Riverwood Conservancy property, once described by Hazel McCallion as "the jewel in Mississauga's crown," consists of four distinct areas; the Bird Terrace, the MacEwan Estate, the Chappell Estate and the Zaichuk property. It sits East of the Credit River, between highway 403 and Burnhamthorpe Road West, and provides "significant green space within the urban context."

The Riverwood property, was originally designated as being historically, architecturally and contextually significant in 2004 under Mississauga By-Law Number 0505. Constructed in 1919, the Chappell Estate (the main house on the property) and surrounding site have been, "the location of human habitation for hundreds of years, whereby its occupants have always had a respect for the natural landforms and unique qualities between upper table lands and low valley floodplain" as mentioned by the By-Law. The treatment of the grounds about the residence, as designed by William E. Harries and Alfred V. Hall, is very simple, and aims to preserve, add to, and make accessible the natural beauty of the surroundings. The Chappell house grounds are arguably the best surviving example of the early work of this long-lived firm.

The By-Law specifically brings to light the importance of the front courtyard, "with circular drive around the central lily pond," which is the focus of this heritage permit. This lily pond with surrounding circular gardens on a flagstone terrace, encompassed by the concentric circular drive, are original features of the site. The walkways leading from the forecourt into the house and gardens are also made of local stones, inviting visitors into the Arts and Crafts style house and out to explore the beautifully natural landscape. Over the years the site has been subject to harsh winters, erosion and deterioration, leading to a lack of accessibility and a need for restorative work.

OAKVILLE OFFICE (MAILING ADDRESS)
211 LAKESHORE ROAD EAST
ONTARIO L6J 1H7 T 905 849 6986

TORONTO OFFICE
360 DUFFERIN STREET, SUITE 103
ONTARIO M6K 1Z8
WWW.ATAARCHITECTSINC.COM

ALEXANDER TEMPORALE
B.Arch., OAA, CAHP, FRAIC
PRINCIPAL

MARK J. DRIEDGER
B.Arch., Sci., LEED-AP
ASSOCIATE

GERARDA (GERI) TINO
B.E.S., B.Arch., OAA
ASSOCIATE

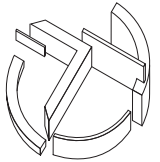
VICTOR LEE
B.Arch., AOCA
ASSOCIATE

MICHAEL W. BILJETINA
B.Arch., MRAIC, AIA, OAA
ASSOCIATE

The Proposed Development - Landscaping

The proposal by the City of Mississauga is to reconstruct the existing geometry of the circular drive, the adjacent path to the North of the circular drive, and the pedestrian path around the North side of the building. The City also requires accessible parking spots to be installed closer to the Chappell House to conform to the City's accessibility mandate.

The circular drive is in need of maintenance and has been affected by years of frost heaving and general wear. The asphalted area will need to be replaced as the existing asphalt cannot be reused. **The existing stone banding around the drive will be revised and replaced. The replacement will be made of natural stone with a concrete foundation to ensure that the intervention is sustainable and durable. The original stone has broken apart and is a safety concern. For longevity and safety, the proposed stone band is different in the base detail and construction method but will look similar to the existing band.** The renovation and restoration of this circular drive will be done while maintaining the existing layout and geometry, ensuring the forecourt remains welcoming and accessible to visitors.



The stone path adjacent to the circular drive is also in need of repair. The individual stones have been loosened by frost and pose a danger to the public. In order to meet accessibility standards, the surface of the stone must be level, firm, stable and of an accessible width. The existing stones will be set in a concrete base to ensure the revised construction is durable. This path not only acts as a secondary access to the residence, but also connects to the existing gravel path around the North Façade of the building, lending to the exterior circulation and access to the gardens.

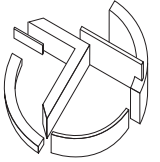
The existing gravel pedestrian path around the North façade of the building is also very narrow and has eroded thus posing a danger to the public. The Mississauga Accessibility Design Standards call for exterior paths to address the full range of individuals that may use them with a minimum width of 1500mm for exterior routes. Due to the fact that the site is existing and designated, the standards are to be employed to the greatest extent possible while maintaining the heritage significance. The path will be recreated using simple limestone screenings, to match the style and period of the house and surrounding site.

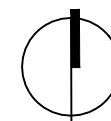
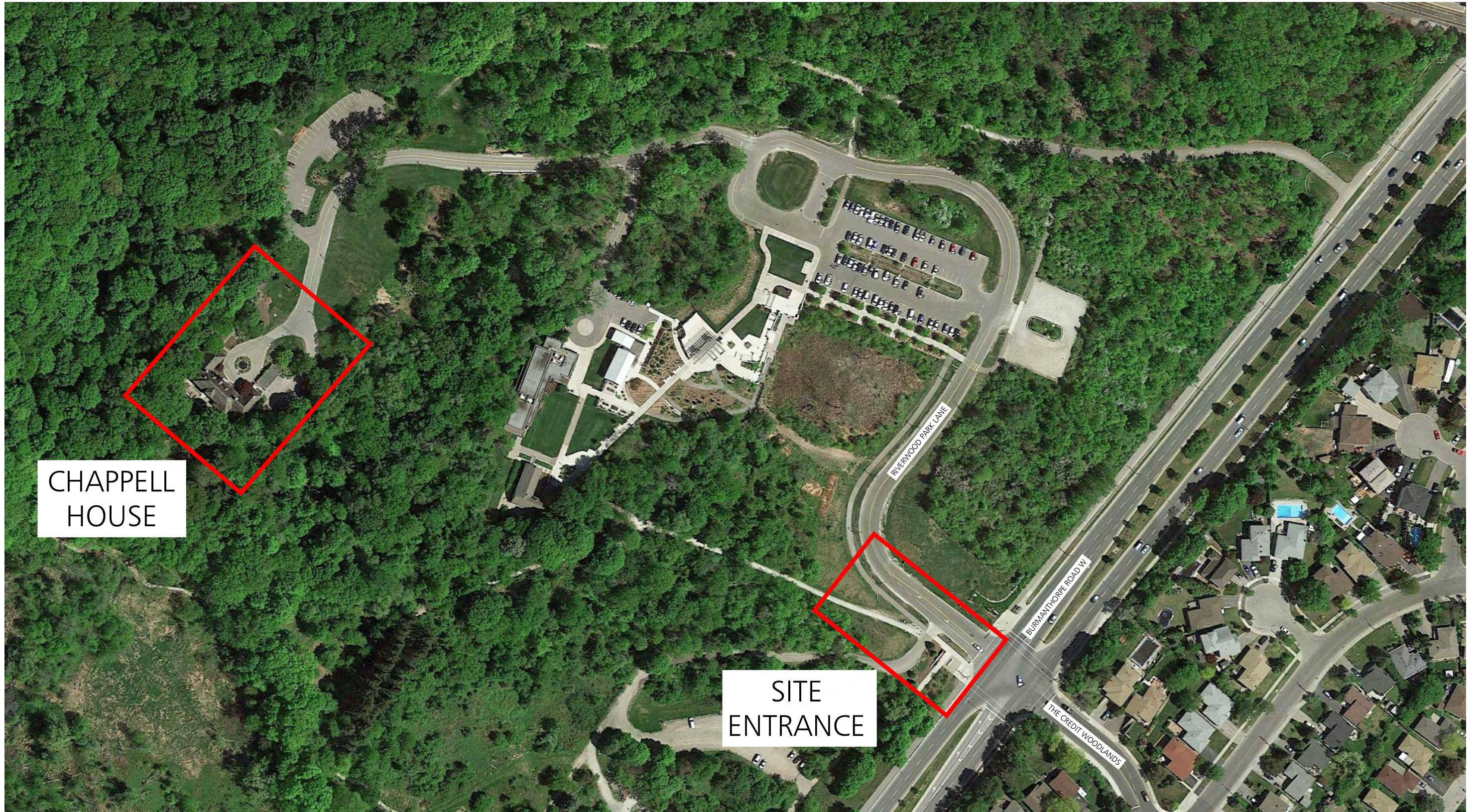
As seen in Mississauga's Cultural Resource Management Plan of the site, it is the City's intention to have the lily pond and periphery restored to be visually identical to the early photographs. At this time the lily pond and concentric garden will remain as is, however the pump and servicing pipes will be relocated while the work on the driveway is underway.

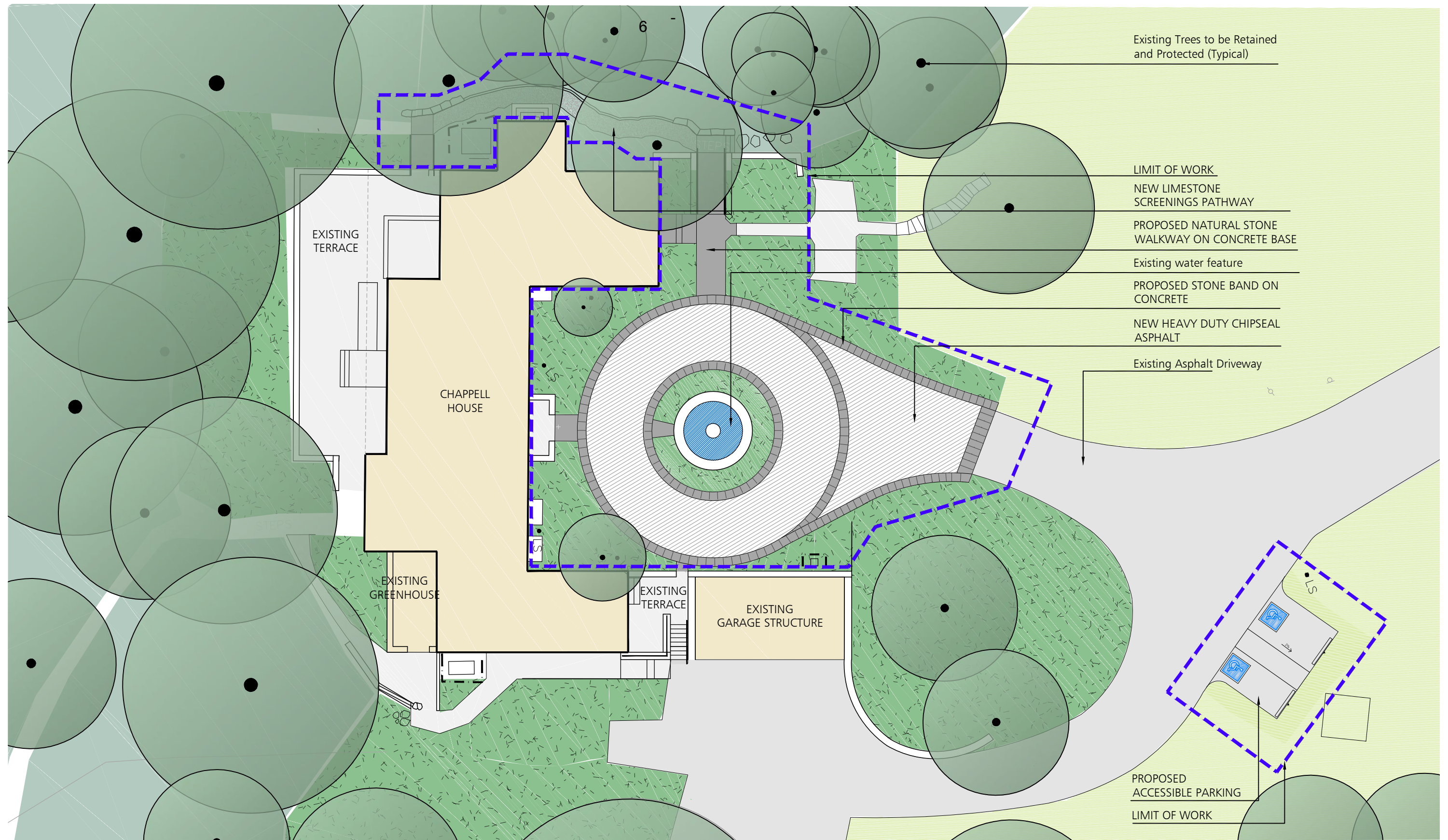
Summary of Conservation Principles

The interventions proposed will follow the "Standards and Guidelines for the Conservation of Historic Places in Canada." The interventions will be reconstructions of the original materials and Standard 10, in the context of Rehabilitation will be used when replacing elements too deteriorated to repair for the stone and path related work. Standard 13 will be used for the asphalt work as it is not feasible to restore the existing asphalt of the circle drive.

The significant heritage attributes of the property and buildings have been outlined in Mississauga By-Law 0505-2004. This landscaping work will rehabilitate these elements and ensure that the heritage property is maintained in a safe and working manner.







Riverwood

CHAPPELL HOUSE



Project No: BTi-1294
 Date: Nov 21, 2016
 Scale: 1:250

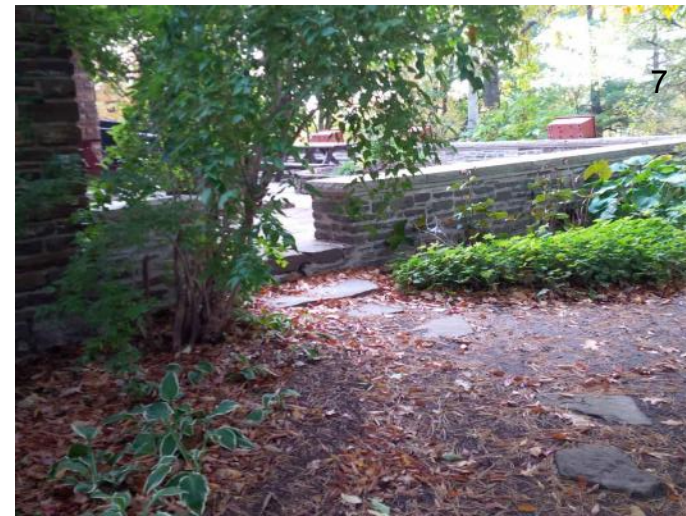


Landscape Architecture | Site Design
 Suite 300
 8501 Mississauga Road
 Brampton Ontario L6Y 5G8

Tel: (905) 453-9398
 Fax: (905) 453-9376
 email: tba@bakerturner.com



⑥ EXISTING STAIRS TO REMAIN



⑦ RAMP TO BE ADDED TO CONNECT PATHWAY TO THE TERRACE



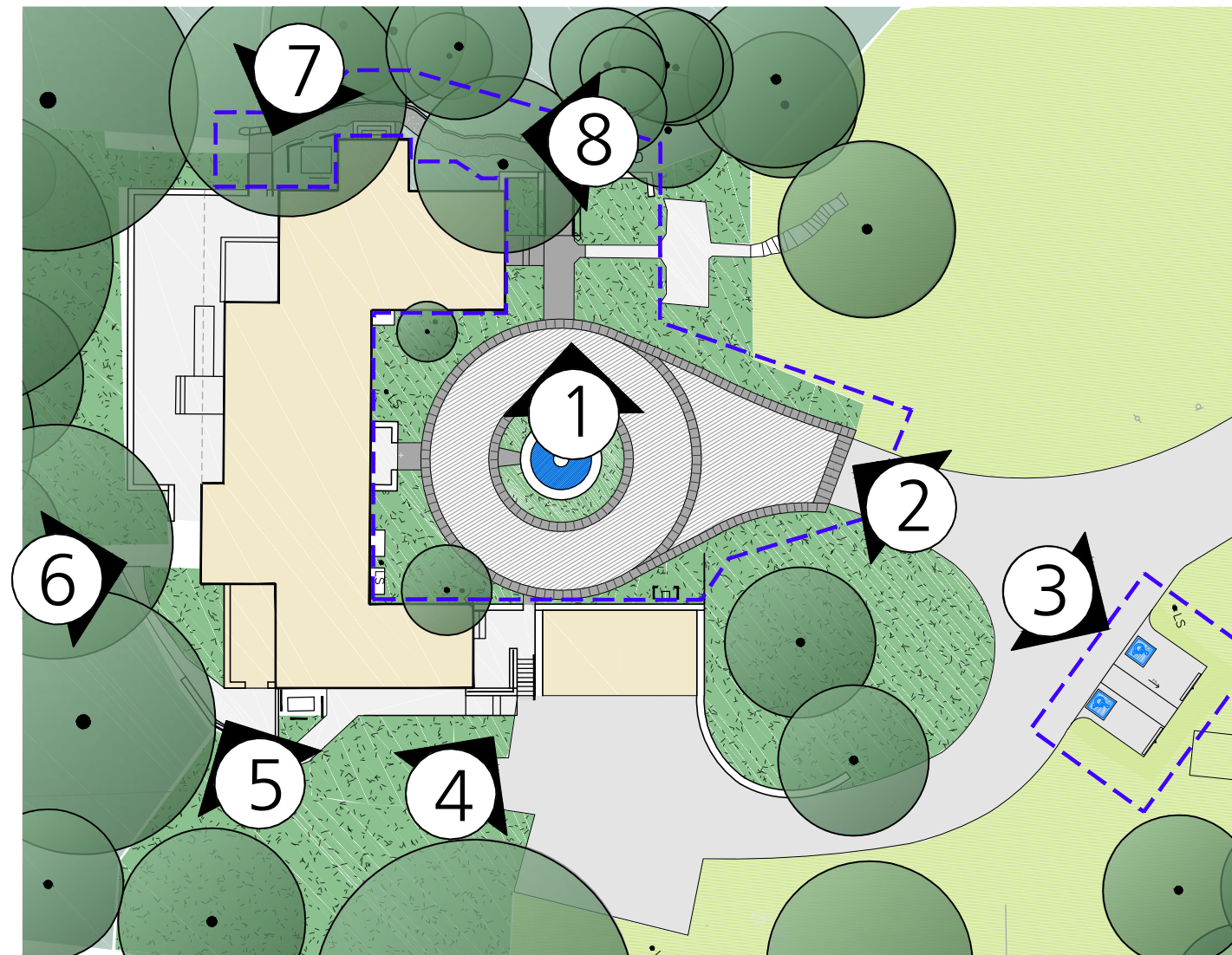
⑧ EXISTING WALKWAY TO BE RE-PAVED WITH LIMESTONE SCREENINGS AND STONE EDGE



① EXISTING PATHWAY TO BE WIDENED AND RE-PAVED WITH NATURAL STONE



⑤ EXISTING PATHWAY TO REMAIN



④ SOUTH ENTRANCE AND GARAGE TO REMAIN AS IS



② ENTRANCE DRIVE CIRCLE TO BE RE-PAVED WITH CHIPSET ASPHALT AND STONE EDGE



③ AREA FOR PROPOSED ACCESSIBLE PARKING. BIKE RACKS TO REMAIN

Riverwood

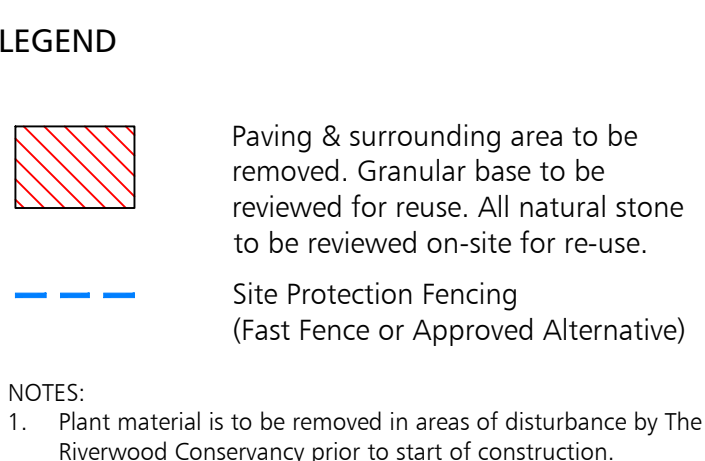
CHAPPELL HOUSE - EXISTING CONDITIONS



Project No: BTi-1294
Date: Nov 21, 2016
Scale: NTS

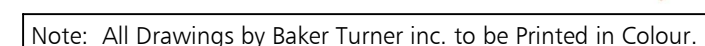


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email: tba@bakerturner.com



NOTES:

1. Plant material is to be removed in areas of disturbance by The Riverwood Conservancy prior to start of construction.



REVISIONS

DATE	DESCRIPTION
2016.12.08	ADDITION DIMENSIONS ADDED
2016.12.01	ISSUED FOR HERITAGE SUBMISSION
2016.09.30	Issued for Pricing

NOTE: Contractor is to check and verify all dimensions and conditions on the project, and is to immediately report any discrepancies to the landscape architect before proceeding with the work.



Londoners Architecture + City Design

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8501 Mississauga Road **Fax: (905) 453-9376**
Brampton Ontario L6Y 5G8 **email: tba@bakerturner.com**

Project Title

City of Mississauga - Credit Valley Conservation

City of Mississauga & Credit Valley Conservation

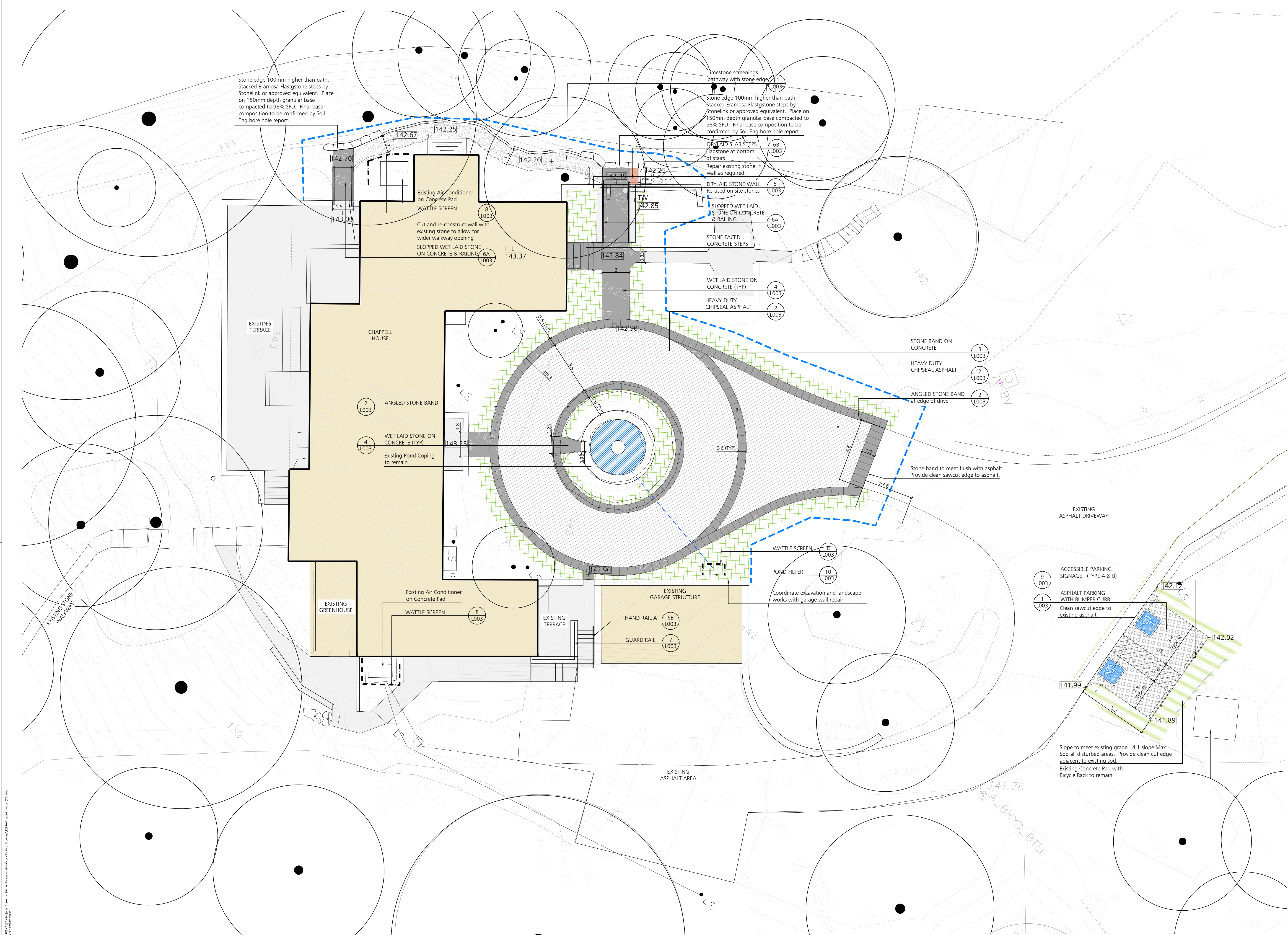
Riverwood

4300 Riverwood Park Ln

Mississauga, ON

Chappell House

DEMOLITION & REMOVALS PLAN	
Date	Issued
June 2016	
Job Number	Drawn By
BTI-1294	DC, GT, NT
Scale	Checked By
1:125	TB
Sheet Number	File Number
1001	



LEGEND

- Existing Trees to Remain
- Wet-Laid Stone on Concrete
- Heavy Duty Chipset Asphalt
- Asphalt Paving
- Dry-Laid Slab
- Fine Grade & Sod
- Re-instate landscape areas. Min 450mm soil depth for planting beds
- Railing
- Pond Filter Pipe in PVC Conduit
- Site Protection Fencing

4 L003
2 L003
1 L003
6B L003
5 L003
6A L003
4 L003
2 L003
3 L003
2 L003
2 L003
8 L003
10 L003
9 L003
1 L003

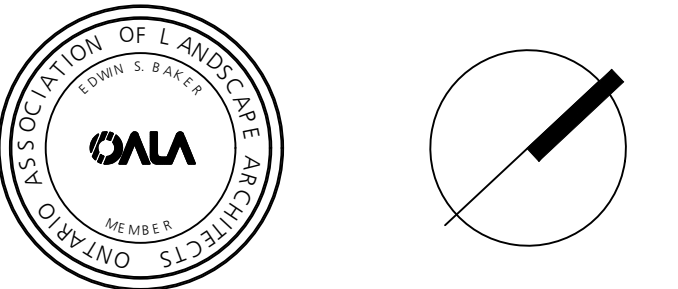
MISSISSAUGA

The Riverwood Conservancy

Note: All Drawings by Baker Turner inc. to be Printed in Colour.

REVISIONS	
2016.12.08	ADDITION DIMENSIONS ADDED
2016.12.01	ISSUED FOR HERITAGE SUBMISSION
2016.11.24	Revised for Pricing
2016.11.23	Issued for Pricing
2016.09.30	Issued for Pricing
DATE	DESCRIPTION

NOTE: Contractor is to check and verify all dimensions and conditions on the project, and is to immediately report any discrepancies to the landscape architect before proceeding with the work.



Landscape Architecture | Site Design

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Fax: (905) 453-9376
email: tba@bakerturner.com

Project Title

City of Mississauga & Credit Valley Conservation Area

Riverwood
4300 Riverwood Park Ln
Mississauga, ON
Chappell House

LANDSCAPE PLAN

Date	Issued
June 2016	
Job Number	Drawn By
BTI-1294	DC, GT, NT
Scale	Checked By
1:125	TB
Sheet Number	File Number
L002	



THE CORPORATION OF THE CITY OF MISSISSAUGA

BY-LAW NUMBER . 0505.2004

A by-law to designate the property located at
1461, 1465 and 1475 Burnhamthorpe Road West
as being of historical, architectural and contextual significance

WHEREAS the *Ontario Heritage Act*, R.S.O. 1990, Chapter 0.18, as amended, authorizes the Council of a municipality to enact by-laws to designate real property including all the buildings and structures thereon, to be of architectural value or interest;

AND WHEREAS Notice of Intention to so designate the property located at 1461, 1465 and 1475 Burnhamthorpe Road West, in the City of Mississauga, has been duly published and served, and no notice of objection to such designation has been received by the Clerk of The Corporation of the City of Mississauga;

AND WHEREAS the reasons for the said designation are set out as Schedule 'A' hereto;

NOW THEREFORE the Council of The Corporation of the City of Mississauga ENACTS as follows:

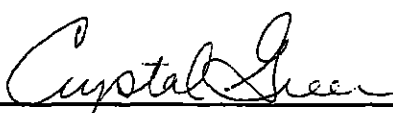
1. That the real property located at 1461, 1465 and 1475 Burnhamthorpe Road West, City of Mississauga, and legally described in Schedule 'B' attached hereto, is hereby designated as being of historic value under Part IV of the *Ontario Heritage Act*, R.S.O. 1990, Chapter 0.18, as amended.
2. That the City Clerk is hereby authorized to cause a copy of this by-law to be served upon the owner of the aforesaid property, and upon the Ontario Heritage Foundation and to cause notice of this by-law to be published in a newspaper having general circulation in the City of Mississauga.
3. That Schedules "A" and "B" form an integral part of this by-law.
4. That the City Solicitor is hereby directed to register a copy of this by-law against the property located at 1461, 1465 and 1475 Burnhamthorpe Road West in the proper land registry office.

ENACTED AND PASSED this 15th day of December, 2004.


ACTING MAYOR

APPROVED
BY FORM

MEM
30 11 04


CLERK

SCHEDULE "A" TO BY-LAW NO. 0505-2004

STATEMENT OF THE REASONS FOR DESIGNATION

"Riverwood", 1465, 1461 & 1475 Burnhamthorpe Road West
(Also known as the Parker, Chappell, and MacEwan Estates)

The property known as Riverwood, 1447 Burnhamthorpe Road West, has been recommended for heritage designation for reasons of its historical, architectural and contextual significance.

The Reasons for Designation were written in the context of the completed Garden Park Master Plan and the Garden Park Cultural Resource Management Plan.

Historical Background:

The original patent from the crown for Lots 4 and 5, Range 4, went to Peter McDougall in 1833. The adjacent Lot 6 was a patent from the crown to William MacGrath, who owned the property south of Burnhamthorpe Road. The properties changed hands several times until June of 1913, when Lots 4, 5 and 6 were bought by W.R.P Parker, from Allen Case.

From 1913 onwards the Parkers, who resided in Toronto, gradually rebuilt a stone cottage from what existed of a former stone building on the site. The Parkers then used this cottage, now known as the MacEwan house, as a summer home. In 1919 Mr. Parker hired A.S. Mathers, later of the firm Mathers and Haldenby, to design an elegant Arts-and-Crafts residence on the property. The new home, called "Riverwood," was designed to blend with its impressive natural surroundings, and soon became a centre for entertaining and relaxation. Mr. Parker was a Toronto lawyer and businessman and was politically well-connected, and among many of the celebrated guests to stay at Riverwood was a close family friend, William Lyon Mackenzie.

North of Riverwood was the "upper farm," now known as the Zaichuk property. The farm was then operated by the Plumb family, who assisted the Parkers in managing the estate, and Harry Plumb was also responsible for much of the construction throughout the property, perhaps including supervision of the building of Riverwood itself.

In 1931 Mr. Parker died and, due to the stock market crash of 1929, left his widow with scant financial resources. The house was then rented out to Jim Rattray, who later owned the large Rattray Estate on the shores of Lake Ontario. Mrs. Parker sold off the upper farm to the Zaichuk family and the old stone house to her daughter, Margaret MacEwan. Eventually the financial strain forced Mrs. Parker to sell the main house in 1956 to Hyliard and Grace Chappell.

Mr. Chappell, also a lawyer and politician, resided in the house for many years. In 1986 Mrs. Chappell, then a widow, sold the property to the Credit Valley Conservation Authority, in conjunction with the City of Mississauga.

Archaeological studies conducted on the property have also proven the lands to be of native prehistoric significance, dating from the Middle to Late Iroquoian Periods. These components have been removed through archaeological investigations.

Architectural and other Heritage Resources:

The Riverwood property is recognized to be organized into four areas: the Bird terrace, the MacEwan Estate, the Chappell Estate, and the Zaichuk property.

The Bird terrace is located on the floodplain adjacent to the Credit River and immediately north of the Burnhamthorpe Road West Bridge. The name derives from the surname of the last inhabitants on this property. The residence and outbuildings have all been removed, though the oldest foundations of the house, which may date from the mid-nineteenth century, probably remain. The only visible remnants of these former residential structures are the landscape features of a stone retaining wall and terrace at the top of the valley, and a nearby stone wall which runs orthogonal to the valley. It is believed that the Norway Spruce Allé was created to provide a windbreak for the orchard which was planted southeast of the allé on the terrace and up the hill to the MacEwan terrace. A few remnants of the orchard remain.

SCHEDULE "A" TO BY-LAW NO. 0505-2004

Along the north side of Burnhamthorpe Road West is the stone wall and drive entrance which was a defining landscape feature that denoted this property as a private estate. Although the wall and gates have been relocated and altered over time, they provide a significant cultural landscape on Burnhamthorpe Road West. It is recognized that portions of this wall may be altered or removed as the park develops.

The MacEwan House is a single-storey, Credit River stone structure, parts of the original portion believed to date from the mid-nineteenth century. It is an elongated "L" in plan, the bottom of the "L" being the rebuilt older portion. As a result of grade differences around the building, much of the cellar portion is fully exposed. This situation is also the reason for a small stone bridge at the east facade, which connects the upper floor to the adjacent grade level. The windows are multi-paned casement units, and the medium-pitched roof has stucco gable ends with mock-Tudor work over the porch. In the earlier portion of the house, the roof (formerly shingled) has a slight bellicast. The house rests not far from the top-of-bank and would have had a dominant view of the river valley when the grounds were clear of trees. An interior feature of particular note is the fireplace in the main room, which was part of the original structure.

Directly to the east of the MacEwan House is the MacEwan Barn. The barn is typical of a small English-style barn and dates from the mid-nineteenth century. The barn is built in two phases, the later addition having a shed roof and poured concrete floor. The roof pitches now have a variety of cladding materials, with the north pitch of the older portion now clad horizontal boards, which presumably replace original wooden shingles.

The main house, named "Riverwood" by the Parker family, was built in 1919 of Credit Valley stone collected on the property. This Arts-and-Crafts style structure was designed by W.S. Mathers (later of Mathers and Haldenby, which company also worked here), who took a holistic view of the property and had walkways, gardens, woodland pool, and patios all designed to integrate into the marvelous landscape. The one-and-a-half storey stone house is designed in a "U" shape, with two wings extending from a dominant central core. The original landscaping adjacent the house was designed by Harries and Hall, Landscape Architects and Engineers (of Toronto and Buffalo), in association with Arthur M. Kruse, and is an important example of their work.

The high, pitched, wood-shingled roof with flanged eaves provides a dominant feature, broken at the front facade by a massive stone chimney with a decorative, hand-carved stone shield indicating the date "1919". This main chimney served the living room and upper storey fireplaces. The house was built for entertaining, which provided for a separate bedroom wing, servants wing, and central dining and reception area.

The main living room has hand-hewn B.C. fir ceiling beams and a large walk-in fireplace built of red brick. Above the mantel is a hand-painted folk-art depiction of the property when it was fully developed, painted by Estelle Kerr about 1935.

The windows are multi-paned casement units and the doors leading onto the rear flagstone patio were formerly multi-paned French doors. On either side of the chimney on the front facade, the roofline is broken by two dormers. These provide light into the only room on the second floor, which also has a large single dormer at the rear of the structure. A second, less dominant internal chimney served the kitchen area, and a third chimney rises from the bedroom wing. From the bedroom wing there are exits to the garden by a north door of the original master bedroom, with its many multi-paned windows, and a second exit onto the rose garden on the east facade of the house.

A full cellar extends throughout the house, and includes a large walk-in safe under the front entrance.

The house and grounds are surrounded by many landscape features. At the front is the courtyard, with circular drive around the central lily pond and with stone wall and trellis to the south. This stone wall forms the wall for the garage, which is set below grade. There are walkways that lead away from the house into the gardens. To the southeast of the garage is an above-ground stone cistern associated with the woodland pool and (lost) fountain. An extant, but unused set of stone steps leads from the house rear lawn down to the river valley. A second stairway leads from the rear yard to the woodland pool, now in poor condition, but once a major garden and landscape feature on the property, fed by the waters of MacEwan Creek. Throughout the entire site are remnants of earlier landscape features such as bridge abutments, old roadways, and numerous fence lines and paths.

SCHEDULE "A" TO BY-LAW NO. 0505-2004Contextual Significance:

The "Riverwood" site, comprised of its four major components, MacEwan House and Barn, Bird Terrace, Chappell Estate, and Zaichuk property, has numerous built and natural heritage resources. The property is bordered on the south by Burnhamthorpe Road West, to the east is the rail line, on the west is the Credit River and to the north, Highway 403. The most significant feature of this property is its relationship to the Credit River corridor and the related creeks that feed into this river. The site has been the location of human habitation for hundreds of years, whereby its occupants have always had a respect for the natural landforms and unique qualities between upper table lands and low valley floodplain. The site is noted for its natural heritage features and provides a significant green space within the urban context, while also reflecting on the cultural development of the property over time. It is the careful integration of open space, forest, gardens and built forms that make this property a significant cultural landscape.

SCHEDULE 'B' TO BY-LAW

0505-2004

Description: Part of Lots 3, 4, 5, 6 and 7, Range 4 North of Dundas Street
(To be designated under the Ontario Heritage Act)

(Ward 6, City Zone 31, in the vicinity of Burnhamthorpe Road West and
Creditview Road)

In the City of Mississauga, Regional Municipality of Peel, (Geographic Township of Toronto,
County of Peel), Province of Ontario and being composed of:

FIRSTLY: Part of Lots 4, 5, 6 and 7, Range 4 North of Dundas Street, of the said Township,
designated as Parts 1, 2, 3, 4 and 5 on a plan of survey deposited in the Land
Registry Office for the Registry Division of Peel (No. 43) as Plan 43R-13158
and Parts 2, 3, 4, 5, 6, 7, 8, 9, 10 and 11 on a plan of survey deposited in the said
Registry Office as Plan 43R-9772.

SECONDLY: Part of Lots 3, 4 and 5, Range 4 North of Dundas Street, of the said Township,
designated as Part 1 on a plan of survey deposited in the said Registry Office as
Plan 43R-19545, Part 1 on a plan of survey deposited in the said Registry Office
as Plan 43R-5061, Part 1 on a plan of survey deposited in the said Registry
Office as Plan 43R-5821, Part 5 on a plan of survey deposited in the said
Registry Office as Plan 43R-9773 and Part 1 on a plan of survey deposited in the
said Registry Office as Plan 43R-5550, save and except Part 3 on a plan of
survey deposited in the said Registry Office as Plan 43R-6228.

THIRDLY: Part of Lots 5 and 6, Range 4 North of Dundas Street, of the said Township, as
described in Instrument Number RO499454, save and except Parts 1, 2 and 3 on
a plan of survey deposited in the said Registry Office as Plan 43R-6252.



G. T. Stidwill, P. Eng.
Ontario Land Surveyor

City of Mississauga

Corporate Report



Date: 2016/12/15

To: Chair and Members of Heritage Advisory Committee

From: Paul Mitcham, P. Eng, MBA, Commissioner of
Community Services

Originator's files:

Meeting date:
2017/01/10

Subject

Request to Demolish a Heritage Listed Property: 1412 Birchwood Heights Drive (Ward 1)

Recommendation

That the property at 1412 Birchwood Heights Drive, which is listed on the City's Heritage Register, is not worthy of heritage designation, and consequently, that the owner's request to demolish proceed through the applicable process.

Background

Section 27.3 of the Ontario Heritage Act states that structures or buildings on property listed on the City's Heritage Register cannot be removed or demolished without at least 60 days' notice to Council. This legislation allows time for Council to review the property's cultural heritage value to determine if the property merits designation.

The owner of the subject property has submitted a heritage permit application to demolish and replace the existing detached dwelling. The subject property is listed on the City's Heritage Register as it forms part of the Mineola Neighbourhood cultural landscape. This cultural landscape is significant due to development of the area at a time when natural elements respected the lot pattern and road system. The area is notable for its rolling topography, its natural drainage and its mature trees. The area is characterized by a balance between the built form and the natural surroundings with a softened transition from landscaped yards to the street edge with no curbs and a variety of quality housing stock.

The landscaping, urban design and conservation authority related aspects will be reviewed as part of the Site Plan review process to ensure the project respects the character of the surrounding community.

Comments

The owner of the subject property has requested permission to demolish the existing structure. The applicant has provided a Heritage Impact Assessment compiled by Megan Hobson. It is

attached as Appendix 1. The consultant has concluded that the house at 1412 Birchwood Heights Drive is not worthy of designation. Staff concurs with this finding.

Financial Impact

There is no financial impact.

Conclusion

The owner of 1412 Birchwood Heights Drive has requested permission to demolish a structure on a property that is listed on the City's Heritage Register. The applicant has submitted a documentation report which provides information which does not support the building's merit for designation under the Ontario Heritage Act.

Attachments

Appendix 1: Heritage Impact Assessment



Paul Mitcham, P. Eng, MBA, Commissioner of Community Services

Prepared by: Cecilia Nin Hernandez, Heritage Coordinator

HERITAGE IMPACT ASSESSMENT



1412 BIRCHWOOD HEIGHTS DRIVE, Mississauga
Mineola Neighbourhood Cultural Heritage Landscape

FINAL REPORT
22 NOV 2016

Megan Hobson, M.A., Dipl. Heritage Conservation

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APPENDIX A: SITE PHOTOS (M. HOBSON)	ATTACHED
APPENDIX B: LAND RECORDS (CHRIS APLIN, REGISTERED TITLE SEARCHER)	ATTACHED
APPENDIX C: DRAWINGS (STEVE HAMELIN ARCHITECTURE)	ATTACHED
APPENDIX D: ARBORIST'S REPORT (D. ANDREW WHITE M. SC. ISA CERTIFIED ARBORIST)	ATTACHED

1.0 BACKGROUND & METHODOLOGY

The subject property is located in the *Mineola Neighbourhood Cultural Landscape*. This report was prepared by heritage consultant Megan Hobson for the property owners of 1412 Birchwood Heights Drive as a requirement for obtaining a demolition permit to remove an existing dwelling and construct a new single-detached house. This report was prepared in accordance with the City of Mississauga's *Terms of Reference for Cultural Landscape Heritage Impact Assessments (2016)*.

A site visit was undertaken by Megan Hobson on September 28, 2016 to assess and document the current condition of the property and its relationship to the neighbourhood. Historical research was carried out including a title search to determine past ownership of the property, and relevant planning policies were reviewed.

2.0 HERITAGE PLANNING CONTEXT

The City of Mississauga adopted a *Cultural Landscape Inventory* in 2005. All of the properties listed on the *Cultural Heritage Inventory* are listed on the *City's Heritage Register*. Under City policy 7.4.1.12, the City of Mississauga seeks to conserve, record and protect its heritage resources and a *Heritage Impact Assessment* is required for any "construction, development, or property alterations that might adversely affect" those resources. The *Heritage Impact Assessment* must be prepared by a qualified heritage consultant and must satisfy the *Terms of Reference for Cultural Landscape Impact Assessments (2016)*.

The subject property is identified in the *Cultural Heritage Inventory* as being part of the *Minneola Neighbourhood Cultural Landscape (L-RES-6)*. The Inventory provides a general description of the character of this neighbourhood and includes a checklist of natural and cultural values associated with it. The degree to which individual properties contribute to this character is not assessed. Due to considerable development pressure and the desirability of these residential neighbourhoods, many of these areas have experienced demolitions and new developments since 2005.

3.0 LOCATION AND SURROUNDINGS

The subject property is located in Mineola, a residential neighbourhood in Mississauga on the east side of the Credit River just north of the CN Railway line.



Location Map: 1412 Birchwood Heights Drive is on the north west corner of Birchwood Heights Drive & Kenollie Avenue

The subject property is a corner lot and is located at the intersection of Birchwood Heights Drive and Kenollie Avenue, on the southwest corner. Birchwood Heights Drive is a short residential street that runs north south from Mineola Road West to Kenollie Avenue and does not open onto any other streets. Kenollie Avenue is a residential street that extends east from Stavebank Road and dead ends two blocks east of the subject property in a residential court. Both streetscapes are characterized by single-detached houses in a variety of building styles predominantly ranging in date of construction from the late 1940s to the present.



Left: Birchwood Heights Drive looking north towards Kenollie Avenue.
Right: Birchwood Heights Drive looking south towards Mineola Road West

Houses in the area typically have large front lawns and there is a heavy tree canopy primarily made up of mature deciduous trees.

Many of the streets are lined with natural clumpings of large trees, predominantly oak and maple. The neighbourhood is characterized by its lack of curbs and sidewalks throughout and some of the streets follow the gentle rise and fall of the natural topography.



Left: Kenollie Avenue looking east. The road is level and terminates in a residential court.
 Right: Kenollie Avenue looking west. The subject property is on a section of Kenollie Avenue that is flat.
 (Further west the road undulates to follow the rise and fall of the natural topography.)

4.0 SITE DESCRIPTION

See Appendix A: Site Photos

Context

The subject property is located in the Mineola Neighbourhood a low density residential neighbourhood in Mississauga. The Mineola Neighbourhood is bounded by the Credit River to the West, Hurontario Street (Hwy. 10) to the east, the CN Railway line to the south and the Queen Elizabeth Way highway to the north.

The subject property is comprised of a level rectangular lot with a 145 ft. frontage on Kenollie Avenue and an 85 ft. frontage on Birchwood Heights Drive that contains a one-storey dwelling located close to the south property line. There is a large grassed area in front of the house and a number of large trees that have been identified in the Arborist Report attached to this report as Appendix D.

There are no curbs or sidewalks on Birchwood Heights Drive or Kenollie Avenue and the topography is flat on this section of both roads.

Exterior

The only structure on the subject property is a one-storey wood frame dwelling with a concrete block foundation and an attached garage. The house is a very modest 3-bedroom bungalow with no distinguishing architectural features. The walls are clad with vinyl siding. It has a low-sloped gable roof and a rectangular footprint that incorporates a 2-car garage at the east end and a small screened entry at the rear. There is a square bay window on the main elevation with a front facing gable above.



Left: View of the main elevation from Kenollie Avenue
 Right: Detail of the front elevation.

The main façade of the house faces Kenollie Avenue but there is no pathway leading from Kenollie Avenue to the front door. The garage is accessible from Birchwood Heights Drive and there is a narrow walkway from the driveway to the front door.



Left: Narrow path from the driveway to the front door.
 Right: Front entrance.

The set back from Kenollie Avenue is substantial creating a very large front yard. There is no rear yard, just a narrow passage between the rear wall of the house and the property line on the south side. The front yard is primarily lawn with some small shrubs and several mature deciduous trees. The lot is level with a shallow drainage ditch along both roadways.



Left: The rear yard is a narrow passage between the rear wall of the house and the south property line.
 Right: The front yard is extensive and is mainly grassed with some mature trees in the north west corner.

The house is not directly accessible from the garage. The garage opens into a screened entry at the rear that is at grade level. There is a small vestibule inside the back door that is at grade. The vestibule is level with the top of the basement stairs and slightly below the level of the ground floor. There is a step up to the ground floor level from the back entrance.



Left: Attached garage with screened entry to the
 Right: Interior of the screened entry.

Interior

The main entrance facing Kenollie Avenue opens directly into a narrow hallway. The east portion of the house contains 3 bedrooms and the main bathroom. The west portion of the house contains an open concept living and dining room and a kitchen .

The living/dining room runs along the front of the house and has a square bay window. There is a fireplace in the living room with a brick surround. The floors are carpeted in the living/dining area. There is linoleum in the kitchen and on the basement stairs. The bedrooms have hardwood flooring and the bathrooms have tiled floors.

Left: Open concept living/dining room. There is a bay window and a brick fireplace in the living room.
 Right: There are three small bedrooms on the ground floor.

The basement contains a finished recreation room and a utility area that contains the laundry and furnace. The unfinished walls in the utility room are concrete block. There is a crawl space under the west portion of the house where the bedrooms are located that is accessible from the utility room.

5.0 HISTORICAL CONTEXT

See Appendix B: Land Records

Historically this area was part of land reserved on either side of the Credit River for the Mississauga Indians. In 1805 the Crown negotiated a large purchase of these lands from the Mississaugas and it was surveyed into 200-acre lots. Lots located in the lower portion of the New Survey (1806) were aligned with the Credit River rather than the shoreline of Lake Ontario so the lot lines are slightly skewed in relation to other lots in Toronto Township.

The subject property is located in **Lot 3, Range 2 of the Credit Indian Reserve (CIR)**. Land records indicate that James Cotton received the patent for Lot 3 of CIR Range 2. James Cotton was the brother of Robert Cotton, an Irish immigrant and prominent early settler. The Cotton brothers owned several hundred acres of land on both sides of the Credit River. Their landholdings, including Lot 3, Range 2 CIR, are recorded on the 1859 Tremaine Map.



1859 Tremaine Map: The names "R & J Cotton" written across Lots 3 & 4 (top centre) as well as on several other parcels. The subject property is located in the northeast portion of Lot 3.

In 1862, approximately 60 acres in the North East part of Lot 3 were granted to Elizabeth Blakely and James Cotton's name is crossed out in the land registry book. Blakely subsequently transferred this land to Jonathan D. Hardy and the Hardy family owned it until 1908. In 1908 the Hardy's sold it to Kenneth Skinner. This approximately 60-acre parcel purchased by Kenneth Skinner included the subject property and a large portion of what is know today as the Minneola Neighbourhood.

Beginning in the 1930s, Kenneth Skinner began to subdivide his farmland to create residential lots. A number of the houses built on these lots were designed and constructed by his sons Victor and Milton Skinner. Streets in the new subdivisions were named after family members such as 'Milton' and 'Victor' and the name 'Kenollie' was a combination of 'Ken' for Kenneth Skinner and 'Ollie' his wife's nickname. Other names reflect the forest-like character and gently undulating topography of the area, such as Birchwood Heights, Glenwood, and Woodland.

1950 Subdivision

The subject property is Lot 9 in a Plan of Subdivision that was surveyed in 1949 and registered by Kenneth Skinner in 1950. This subdivision was comprised of 13 large lots that included:

- 3 lots on the north side of Kenollie Avenue (approx. 100 x 200 ft.)

- 5 lots on the west side of Birchwood Heights (approx. 85 x 145 ft.)
- 5 lots on the east side of Birchwood Heights (approx. 85 x 125 ft.)



1950 Plan of subdivision registered by Kenneth Skinner. The survey is dated 1949 and contains 13 large residential lots. The subject property is Lot 9 and is highlighted in yellow.

The 1952 Fire Insurance Map shows that this subdivision was built piecemeal and that the houses were varied in their layout, orientation and set-backs. With the exception of the house on Lot 5 (which was brick construction with no garage) the houses that had been built by 1952 on Lots 6, 7, 8, 9, 10 & 11 were all 1-1 ½ storey wood frame dwellings with an attached garage. Lots 1-4 on the east side of Birchwood Heights Drive and Lots 12 & 13 on the west side of Birchwood Heights Drive remained undeveloped in 1952.

The dwelling recorded on the 1952 fire insurance map is consistent with the house located on the lot now. This evidence confirms that house on the subject property was therefore built between 1950 and 1952. Alterations to the original structure that were made later include the addition of the bay window and front facing gable on the front elevation and the screened porch on the rear elevation. The fire insurance map also indicates that the front elevation originally had brick cladding but the house is now clad entirely with vinyl siding.

Patrick Delaney owned the subject property from 1951-1954 and then sold it to Cherry & Edward Watson. The Watsons owned the property from 1951-1958 and then sold it to Robert & Marion Rennie in 1958. The Rennies owned the property from 1958-1963 and then sold it to Donald & Bernice Bainton. The Baintons owned the property for 28 years until it was sold to Beverly Macaulay in 1991. Beverly Macaulay owned the property for 25 years until it was sold to the current owner. The house is currently occupied by a tenant who is leasing the property.

Current Context

Today, the 13 lots that correspond to the 1950 subdivision contain houses that are varied in style, materials and date of construction. Most of the lots contain houses that were constructed recently.



Left: 2-storey house on the north side of Kenollie Avenue, opposite and to the west of the subject property.
 Right: 1 ½-storey house on the north side of Kenollie Avenue, opposite the subject property.
 Both of these houses were recently constructed.



1 ½ storey houses on the north side of Kenollie Avenue, opposite and to the east of the subject property. Both of these houses have been significantly altered.



Left: 2-storey house on the south side of Kenollie Avenue that is adjacent to the subject property and is currently under construction.

Right: 1 ½ storey house on the south side of Kenollie Avenue opposite the subject property. This house is the only house that appears on the 1952 Fire Insurance Map that has not been significantly altered.



Left: 2-storey house on the west side of Birchwood Heights drive adjacent to the subject property.

Right: 2-storey house on the west side of the Birchwood Heights Drive.

Both of these houses were constructed recently and are similar in scale to the proposed development.



Left: 2-storey house on the west side of Birchwood Heights Drive probably built in the 1980s
Right: 2-storey house on the west side of Birchwood Heights Drive probably built in the 1980s.

Based on this analysis, it is evident that the road layout and subdivision of residential lots that was established in 1950 survives today, but the original modest housing stock has been significantly altered and enlarged or replaced with larger 2-storey houses in various architectural styles. The properties directly adjacent to the subject property contain new 2-storey residences that are much larger than the small bungalow on this property.

6.0 HERITAGE VALUE

See Appendix A: Site Photos

See Appendix C: Drawings (measured drawings of the existing house)

The subject property is located within the *Mineola Neighbourhood Cultural Landscape*. The attributes associated with the *Mineola Neighbourhood Cultural Landscape* are identified in the *Inventory* as follows:

PROPERTY: 1412 BIRCHWOOD HEIGHTS DRIVE

L-RES-6 Mineola Neighbourhood

Location: Located north of Lakeshore Road bounded by the Credit River on the west side and Hurontario on the east.

Heritage attributes:

LANDSCAPE ENVIRONMENT

- Scenic and visual quality
- Natural Environment
- Landscape Design, Type and Technological Interest

BUILT ENVIRONMENT

- Aesthetic/Visual Quality
- Consistent Scale of Built Features

HISTORICAL ASSOCIATIONS

- Illustrates Style, Trend or Pattern
- Illustrates Important Phase in Mississauga's Social or Physical Development

OTHER

- Significant Ecological Interest

SITE DESCRIPTION

Mineola was developed before it became standard practice to re-grade topsoil into large piles in the early twentieth century, level every nuance of natural topography and engineer the complete storm water drainage system artificially. In Mineola a road system was gently imposed on the natural rolling topography of the Iroquois Plain; homes were nestled into slightly larger lots and natural drainage areas were retained. This provided greater opportunity to save existing trees and because the soils and drainage system were minimally impacted, provided fertile ground for the planting of new vegetation, the natural regeneration of native trees and landscaping of the residential landscapes. What has evolved today is a wonderful neighbourhood with a variety of quality housing stock and a rich stimulating landscape that blends the houses with their natural and manicured surroundings. There are no curbs on the roads which softens the transition

between street and front yards. The roads wind, rise and fall with the natural topography and houses sit often at odd angles to take advantage of slopes and the location of large trees. A gradual infilling has increased the density over the years and care must be taken to ensure that this does not, in the end, ruin the very quality and character that makes this neighbourhood so appealing and attractive. Of the many neighbourhoods in Mississauga, the Mineola neighbourhood stands out as one of the most visually interesting and memorable. As is often the case, when new development is balanced with the protection of the natural environment, a truly livable and sustainable community evolves. Mineola is an excellent example of this type of community.

The chart below identifies ways in which the subject property contributes to the Mineola Neighbourhood Cultural Heritage Landscape as described in the Inventory:

HERITAGE SIGNIFICANCE

CHL INVENTORY	NEIGHBOURHOOD ATTRIBUTES	WAYS IN WHICH 1412 BIRCHWOOD HEIGHTS DRIVE CONTRIBUTES TO NEIGHBOURHOOD CHARACTER
LANDSCAPE ENVIRONMENT		
Scenic & visual quality	<i>What has evolved today is a wonderful neighbourhood with a variety of quality housing stock and a rich stimulating landscape that blends the houses with their natural and manicured surroundings.</i>	The existing bungalow on the subject property does not contribute significantly to the 'quality housing stock' and was not specifically designed or sited to 'blend' with the natural surroundings.
Natural environment	<i>The roads wind, rise and fall with the natural topography and houses sit often at odd angles to take advantage of slopes and the location of large trees.</i>	The subject property is located on a corner lot. There are no slopes, the lot is level and both streetscapes are level in this location. The house is oriented at right angles to the intersection.
	<i>This provided greater opportunity to save existing trees and because the soils and drainage system were minimally impacted, provided fertile ground for the planting of new vegetation, the natural regeneration of native trees and landscaping of the residential landscapes.</i>	There are some mature trees in the north west corner of the property that contribute to the tree canopy on the south side of Kenollie Avenue. There are no large trees on the Birchwood Heights frontage. An Arborist Report is attached as Appendix

		D of this report.
Landscape design, type & technological interest	<i>In Mineola a road system was gently imposed on the natural rolling topography of the Iroquois Plain; homes were nestled into slightly larger lots and natural drainage areas were retained.</i>	The topography in this area is flat. The lot is similar in size to adjacent lots and the existing house is located in the south west corner of the lot. There are drainage ditches along both roadways that water naturally drains into.
	<i>There are no curbs on the roads which softens the transition between street and front yards.</i>	There are no curbs or sidewalks along the road frontages of the subject property.
BUILT ENVIRONMENT		
Aesthetic / visual quality	<i>The roads wind, rise and fall with the natural topography and houses sit often at odd angles to take advantage of slopes and the location of large trees.</i>	Both roads are flat in this location. The house is orientated at right angles to the streets and the lot is level. There are some large trees on the lot but they do not appear to pre-date the construction of the house in the 1950s.
Consistent scale of built features	<i>What has evolved today is a wonderful neighbourhood with a variety of quality housing stock and a rich stimulating landscape that blends the houses with their natural and manicured surroundings.</i>	The subject property does not contribute significantly to this character.
	<i>A gradual infilling has increased the density over the years and care must be taken to ensure that this does not, in the end, ruin the very quality and character that makes this neighbourhood so appealing and attractive.</i>	The original lots have not been subdivided in this area but many of the original houses have been significantly enlarged or have been demolished and replaced with larger homes in a variety of styles. This has occurred on adjacent properties on Birchwood Heights and Kenollie Avenue and on properties directly opposite the subject property on the north side of Kenollie Avenue.

HISTORICAL ASSOCIATIONS		
Illustrates a style, trend or pattern	<i>Mineola was developed before it became standard practice to re-grade topsoil into large piles in the early twentieth century, level every nuance of natural topography and engineer the complete storm water drainage system artificially. In Mineola a road system was gently imposed on the natural rolling topography of the Iroquois Plain; homes were nestled into slightly larger lots and natural drainage areas were retained.</i>	The subject property is a level lot with drainage ditches along both street frontages. It is located at an intersection where the roads are flat.
OTHER		
Significant ecological interest	<i>Mineola is one of three neighbourhoods identified as Residential Woodland in the Natural Areas Survey 2012 Update. This report elaborates on the 'ecological interest' of the Mineola neighbourhood - These are older residential areas, generally with large lots, and almost completely in private ownership. They support trees with a mature, fairly continuous canopy, but the native understory is generally absent or degraded, usually through maintenance of residential lawns and landscaping. However, these areas still serve some functions such as: providing habitat for tolerant canopy birds, both in migration and for breeding; fixing atmospheric carbon; and facilitating groundwater recharge owing to the high proportion of permeable ground cover. With approaches that involve landscaping with native species, the ecological function of these areas would be greatly increased.</i>	The subject property is a large residential lot with a cluster of mature oak and maple trees in the northwest corner of the property.



Aerial View of the subject property; there is a cluster of mature maple & oak trees in the northwest corner.

6.1 EVALUATION ACCORDING TO ONT. REG. 9/06

The subject property contains a single-detached residence that does not have heritage significance and does not warrant individual Designation under Part IV of the Heritage Act. This analysis is based on provincially mandated criteria outlined in Regulation 9/06. The rationale is outlined below:

Compliance with Ontario Heritage Act, Ontario Regulation 9/06: Criteria for Determining Cultural Heritage Value or Interest

According to Subsection 1 (2) of Ontario Regulation 9/06, Criteria for Determining Cultural Heritage Value or Interest, a property may be designated under section 29 of the Act if it meets one or more of the following criteria:

1. The property has design value or physical value because it,
 - i. is a rare, unique, representative or early example of a style, type, expression, material or construction method,
 - ii. displays a high degree of craftsmanship or artistic merit, or
 - iii. demonstrates a high degree of technical or scientific achievement.

The subject property contains a very modest 3-bedroom bungalow that was constructed c. 1951. The property was part of a subdivision including 13 lots (10 on Birchwood Heights Drive & 3 on Kenollie Avenue) that was registered in 1950 by Kenneth Skinner. It is a modified example of a mid-century suburban vernacular dwelling characterized by a one-storey bungalow with an attached garage. It is a simple wood-frame rectangular box with a low pitched gable roof and no distinguishing architectural features and therefore is not rare or unique and is not representative of a style, type, expression, material or construction method that has significant heritage value and does not display

a high degree of craftsmanship or artistic merit and does not demonstrate a high degree of technical achievement.

2. The property has historical value or associative value because it,
 - i. has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community,
 - ii. yields, or has the potential to yield, information that contributes to an understanding of a community or culture, or
 - iii. demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.

The subject property has historical associations with the suburban development of the Mineola Neighbourhood in the post-WWII era, specifically the subdivision of former farmland into residential lots by Kenneth Skinner. Kenneth Skinner, and his two sons Victor and Milton, are persons who have been identified as somewhat responsible for the character of the Mineola Neighbourhood based on their development of many of the lots in the area. This development occurred piece-meal over several decades, ie; 1930s-50s. This association yields some information that contributes to an understanding of the development of Mississauga's residential neighbourhoods but many of these properties have been altered or re-developed. This association is generally conveyed therefore through the street and lot pattern, street names and characteristics of the lots that contribute to the Mineola Neighbourhood Cultural Heritage Landscape such as the natural grading and drainage of the lots and the retention of existing trees. This association is not conveyed through the house that is currently located on the property.

3. The property has contextual value because it,
 - i. is important in defining, maintaining or supporting the character of an area,
 - ii. is physically, functionally, visually or historically linked to its surroundings, or
 - iii. is a landmark.

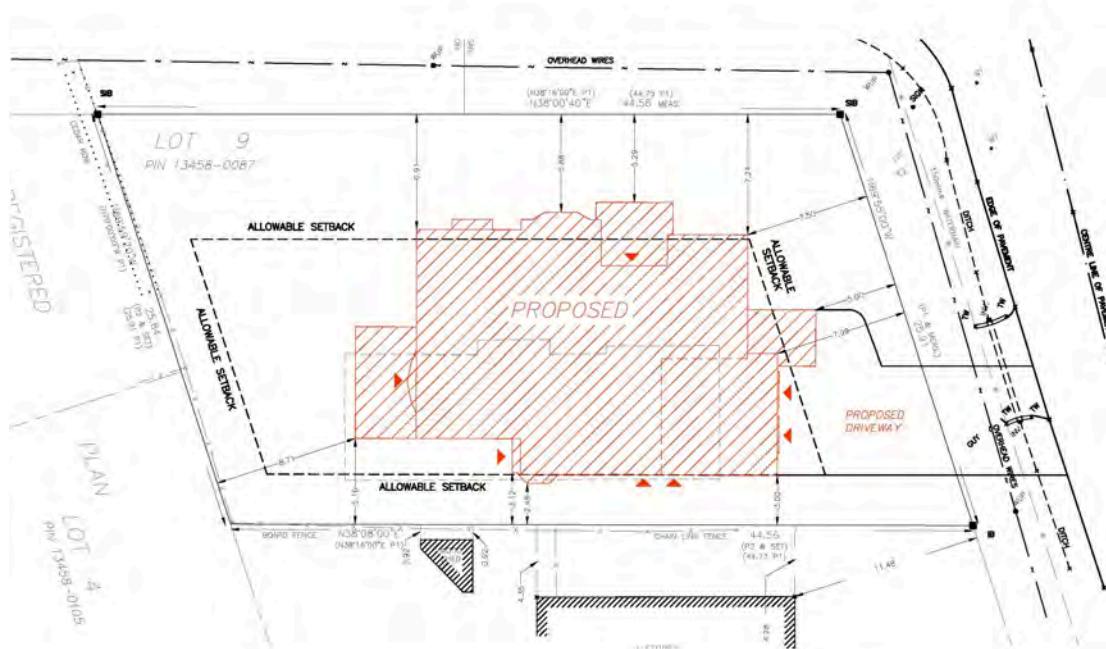
The subject property has contextual value as a part of a subdivision that was laid out in 1950 that is now part of the Mineola Cultural Heritage Landscape. The character of the lot supports the character of the area but the existing house on the property is not important in defining, maintaining or supporting the character of the area. The house located on the property has some physical and historical links to its surrounding because it is contemporary with the original 1950 subdivision that was laid out here by Kenneth Skinner. However, these links have been weakened by later changes to the house including addition of a bay window and gable on the main elevation, addition of a screened porch on the rear elevation, and recladding of the exterior. It is not a landmark building.

In conclusion, the subject property does not meet provincial criteria for individual Designation under Part IV of the Heritage Act.

7.0 DEVELOPMENT PROPOSAL

See Appendix C: Drawings

The present owner plans to demolish the existing c. 1951 bungalow and replace it with a considerably larger 2-storey single-detached home. The new house will have a height of 9.44 m, which is just below the maximum allowable height of 9.5 m. The footprint of the proposed house will be approximately twice the size of the existing house but is comparable with adjacent and nearby houses on comparably sized lots. The lot coverage of the new development will be 30.86%, which is slightly over the 30% lot coverage that is allowed under the current zoning. The front yard will be reduced but will generally be consistent with the 7.5 m minimum setback that is required.



Site Plan: the lot is large enough to accommodate the proposed dwelling within the allowable set-backs from Kenollie Avenue and Birchwood Heights Drive, with the exception of a bay window and portico on the main elevation and a portico on the east side elevation that will require minor variances.

The main and east side elevations have features that extend slightly beyond the allowable setbacks. A minor variance will be required for a bay window and entrance portico that protrude from the main elevation. Similarly, a minor variance will be required for an entrance portico on the east side elevation. These elements give architectural definition to both primary facades, will help to articulate the massing and have a small footprint. The driveway and garage will be in the same location and will use the existing access from Birchwood Heights Drive.

Although the proposed dwelling is much larger than the house that is currently on the lot, it is comparable in scale, materials and eclectic use of neo-historicist stylistic references to other houses that have been built on adjacent and nearby lots in recent years.



Birchwood Heights Drive streetscape; the proposed dwelling (right) is similar in building height, scale and massing to the adjacent dwelling on Birchwood Heights Drive (left).

The main elevation of the proposed house will be oriented towards Kenollie Avenue, which is consistent with the existing dwelling on the lot. The frontage of the proposed house is similar to that of the existing house but it will be closer to the road and therefore more visible.

Currently there are a number of large trees in the northwest corner of the property that will provide adequate buffering along the west portion of the Kenollie Avenue frontage. There are no large trees on the northeast corner of the property so the new house will be highly visible along the east portion of the Kenollie Avenue frontage.

The proposed development will require the removal of 3 existing trees and there will be risk of injury to several other trees on the property. A detailed analysis of these impacts is contained in the Arborist's Report that is attached to this report as **Appendix D**. A summary of those impacts and recommended mitigations measures are provided below in **Sections 8.0 & 9.0**.

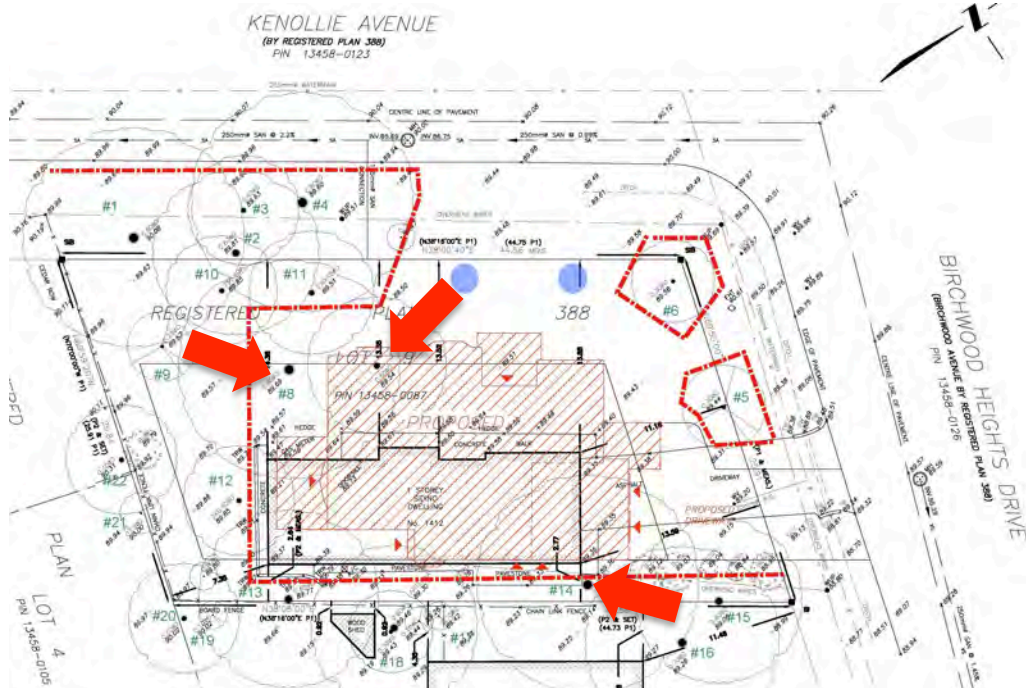


Figure #1 from the Arborist Report attached to this report as Appendix D with red arrows indicating the 3 trees (#7, 8 & 14) that will be removed to allow construction of the new house. The dotted red line indicates where risk of injury to existing trees may occur. The two blue dots indicate where 2 new trees will be planted.

There is a new house being constructed on the adjacent property on Kenollie Avenue that has been successfully buffered by existing trees. A recent development across the street has a large area of paving in front of the house and is very visible from the street. It also has high iron gates. These features are very disruptive to the forest-like character of Kenollie Avenue. The proposed development, although similarly large in scale, does not have extensive paving or high fencing and will not have this sort of negative impact.



Left: New house being constructed on the adjacent lot on Kenollie Avenue is adequately buffered behind existing trees.
Right: Recently constructed house across Kenollie Avenue that has extensive paving in front of the house and high iron gates.

8.0 IMPACTS ON HERITAGE VALUE

Re: Demolition of the Existing Dwelling

The removal of the existing 1-storey house on the subject property will have minor impacts on the 'built environment' associated with the Mineola Cultural Heritage Landscape but, given that this dwelling does not meet criteria for Designation under the Ontario Heritage Act, the removal of this structure will not have a significant impact on heritage values that define the Mineola Cultural Landscape.

As one of the early houses associated with the original 1950 subdivision laid out by Kenneth Skinner, the existing dwelling has some historical and contextual interest.

Mitigation measures to reduce impacts on the built environment are required in the form of documentation.

Re: Proposed Development

The construction of a new 2-storey house, given that this area is characterized by one and two-storey single-detached dwelling in a variety of styles, will contribute to maintaining the 'built character' of the Mineola Cultural Landscape. Based on an analysis of the current housing stock that is adjacent and opposite the subject property, the proposed development is consistent with the scale of the built environment.

The proposed development will have minor impacts on the 'landscape environment' associated with the Mineola Cultural Landscape due to an increase in lot coverage and the removal of 3 existing trees. However, the increase in lot coverage is consistent with the zoning requirements for this area and is comparable to recent developments on adjacent lots and throughout the Mineola neighbourhood.

Mitigation measures to reduce impacts on the landscape environment are required in the form of tree protection of existing trees and planting of new trees on Kenollie Avenue.

9.0 MITIGATION MEASURES

Re: Demolition of the Existing Dwelling

This report includes historical research related to the ownership and evolution of this property and contains photographs, measured drawings and a site plan that shows the topographical and landscape features of the site.

Due to the fact that it has been demonstrated that the existing dwelling does not have significant heritage value, the research and documentation contained in this report are adequate and no further mitigation is recommended.

Re: Proposed Development

In order to conserve the character of the Mineola Neighbourhood Cultural Landscape, it is important that construction of new housing does not significantly alter the following environmental features:

- varied terrain,
- mature tree canopy,
- large front lawns,
- soft green edges of properties along the roadway without curbing or sidewalks.

The following mitigation measures are recommended:

- Retain the natural character of drainage ditches and soft edges along Birchwood Heights Drive & Kenollie Avenue.
- Retain green landscaped areas along Birchwood Heights Drive and Kenollie Avenue.
- Retain the cluster of mature trees in the north west corner of the lot that contribute to the tree canopy along Kenollie Avenue as recommended in the Arborists Report attached to this report as **Appendix D**. Specifically trees # 1, 2, 3, 4, 9, 10 & 11.
- Ensure that tree protection measures are undertaken as recommended in the Arborists Report attached to this report as **Appendix D**.
- Plant additional trees as recommended in the Arborist Report attached to the report as **Appendix D**, Specifically, 2 new oaks on the Kenollie Avenue frontage.

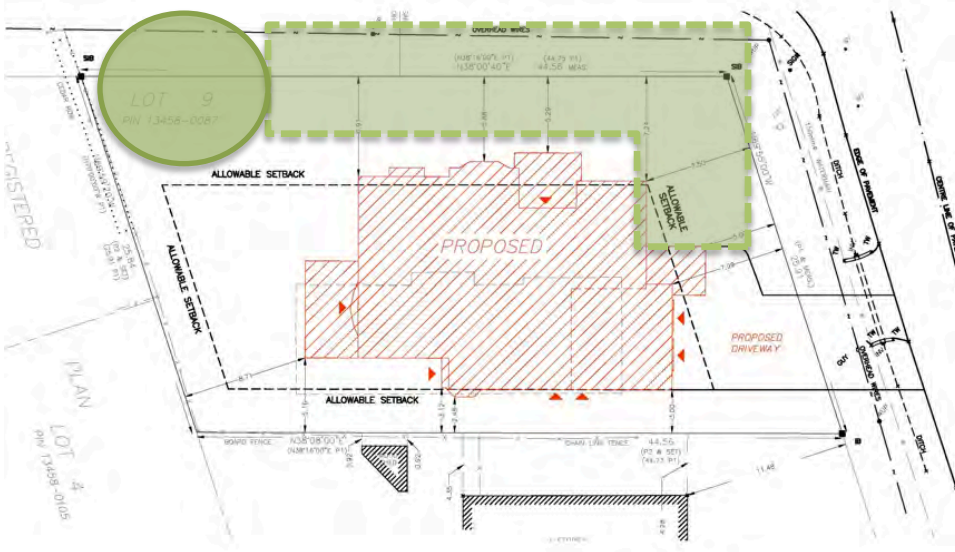


Left: The natural character of the existing drainage ditch and soft edge should be retained.

Right: This character has been preserved on other properties that have been redeveloped.



Left: Retain the cluster of mature trees in the northwest corner of the property on the Kenollie Avenue frontage.
 Right: Plant new trees on the eastern portion of the Kenollie Avenue frontage.



Retain existing mature trees in the northwest corner (left). Plant additional trees and preserve green space along Kenollie Avenue and Birchwood Heights Drive.

The proposed development is consistent with these recommendations and therefore no further mitigation is required.

10.0 CONCLUSIONS & RECOMMENDATIONS

The subject property contains a modest bungalow with no distinguishing architectural features that was constructed c. 1950 and has been subject to later alterations. Based on criteria under the Ontario Heritage Act, it has been demonstrated that this structure has some historical and contextual interest because it was a component of the original 1950 subdivision but it does not have sufficient value to warrant designation as a

significant built heritage resource. The research and documentation contained in this report is sufficient for recording its historical and contextual interest prior to removal.

The proposed development is consistent with the mitigation measures recommended in this report. These measures will reduce the visual impact of the new development on the streetscape and will protect the scenic and visual qualities that define the 'landscape environment' associated with the Mineola Cultural Landscape. The proposed setbacks are in line with adjacent properties and will provide an appropriate landscape buffer to maintain the character of the streetscape. The planting of two new trees on Kenollie Avenue, in a section of the road that is currently devoid of trees, will enhance the tree-lined character of a significant streetscape in the Mineola Cultural Landscape. An existing paved driveway located on Birchwood Heights Drive will be utilized so that the natural green edges along Kenollie Avenue will be preserved and so that there will be no significant increase in paving on the lot.

The proposed development will not have an adverse impact on the Mineola Cultural Landscape and it will have some beneficial impacts in terms of strengthening the forest-like character of Kenollie Avenue and maintaining the consistent scale of the built environment. Redevelopment of this lot will contribute to the ongoing viability of this area as a desirable residential neighbourhood containing single-detached homes on large lots. These features, along with the continued absence of curbing and sidewalks, will contribute to preserving the scenic and visual qualities associated with the Mineola Cultural Landscape.

It is therefore recommended that this application be approved and that tree protection and replacement measures be enforced and monitored during construction.

11.0 QUALIFICATIONS OF THE AUTHOR

The author of this report is a member in good standing of the Canadian Association of Heritage Professionals. Formal education includes a Master of Arts in Architectural History from the University of Toronto and a diploma in Heritage Conservation from the Willowbank School of Restoration Arts. Professional experience includes an internship at the Ontario Heritage Trust, three years as Architectural Historian and Conservation Specialist at Taylor Hazell Architects in Toronto, and 7 years in private practice in Ontario as a heritage consultant. Other relevant experience includes teaching art history at the University of Toronto and McMaster University and teaching Research Methods and Conservation Planning at the Willowbank School for Restoration Arts in Queenston. In addition to numerous heritage reports, the author has published work in academic journals such as the *Journal of the Society of Architectural Historians* and the *Canadian Historical Review*.

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APPENDIX A: Photos

CONTEXT



Figure 1: View from Kenollie Avenue



Figure 2: View from Birchwood Heights Drive. East elevation.

EXTERIOR



Figure 3: Main elevation on Kenollie Avenue (North elevation)



Figure 4: Attached garage



Figure 5: Path to front door.



Figure 6: Front door and bay window on main elevation.



Figure 7: Screened entry adjacent to the garage.



Figure 8: Narrow rear yard on south side.



Figure 9: West side elevation.



Figure 10: Mature trees in the north west corner of the property.

Appendix B: Land Records

ADDRESS: 1412 Birchwood Heights Drive, Mississauga

LEGAL DESCRIPTION: Lot 9, Plan 388 (Pt Lot 3 Credit Indian Reserve 2nd Range, Toronto Township)

INST. NO.	DATE	TYPE	GRANTOR	GRANTEE	LANDS
BOOK A					
		Patent	CROWN	(James COTTON – crossed out) Elizabeth BLAKELY	(ALL – crossed out) 59 ¾ acres
BOOK B					
5948	1862	B & S	CROWN	Elizabeth BLAKELY	NE part Lot 3 - 59 ¾ acres
6149	1887	B & S	Elizabeth (BLAKELY) DIXIE et al	Jonathan D. HARDY	NE part
6150	1887	B & S	Jonathan D. HARDY et ux	James PAYNE	
BOOK C					
13210	1908	Will	James PAYNE	Ellen O'Brien PAYNE & George Washington PAYNE	Part Lot 3
13265	1908	Grant	Ellen O'Brien PAYNE & George Washington PAYNE	Kenneth SKINNER	Part Lot 3 - 59 ¾ acres
388	1950	Plan of Subdivision	Kenneth SKINNER et al		Part Lot 3
69407	1951	Grant	Victor Kenneth SKINNER (Merchant) & Milton Douglas SKINNER (Builder), executors of the Will of Kenneth SKINNER (retired farmer, deceased)	Patrick George DELANY, of the Village of Port Credit (builder) & Dorothy DELANY (wife)	Lot 9 Plan 388
80967	1954	Grant	Patrick George & Dorothy DELANY	Cherry E. WATSON & Edward F. WATSON, Jr.	"
112538	1958	Grant	Cherry E. WATSON & Edward F. WATSON, Jr.	Robert A RENNIE & Marion RENNIE	"
152255	1963	Grant	Robert A RENNIE & Marion RENNIE	Donald P. BAINTON & Bernice M. BAINTON	"
975567	1991	Grant	Bernice Mary BAINTON	Beverly Ruth JOHNSTONE MACAULAY	"
PR 2932304	2016	Transfer	Beverly Ruth JOHNSTONE MACAULAY	Current Owner	"

*Title search performed by Chris Aplin, MCA Paralegal

Indian Reservation LOT No. 1.

2 Range

CONCESSION

on The Credit

CONSIDERATION
OR AMOUNT OF
MORTGAGE

QUANTITY OF
LAND

GRANTEE

GRANTOR

DATE OF
REENTRY

REMARKS

Patent 11 July 1854
13561 D.D. 15 May 1865 1/4 Sec 166
The Crown
Frederick W. Lewis

Bank of Upper Canada All

4 015 1/2

Lot No 2 2 Range

Patent 11 July 1854
13561 D.D. 15 May 1865 1/4 Sec 166
The Crown
Frederick W. Lewis

Bank of Upper Canada All

4 015 1/2

S.W. 1/4 Lot No 3

2 Range

Patent 11 July 1854
13561 D.D. 15 May 1865 1/4 Sec 166
The Crown
Frederick W. Lewis

James Cotton
Bank of Upper Canada

39 1/2 Acre

N.E. 1/4 Lot No 3

2 Range

Patent 11 July 1854
The Crown

39 1/2 Acre
James Cotton

39 1/2 Acre

Lot No 4

2 Range

Patent 11 July 1854
13561 D.D. 15 May 1865 1/4 Sec 166
The Crown
Frederick W. Lewis

James Cotton
Bank of Upper Canada All

4 015 1/2

482

TOWNSHIP OF TORONTO

Book B.

Lot No. 3

In the

SECOND RANGE

C.I.R.

No. of Instrument	Instrument	Its Date	Date of Registration	GRANTOR	GRANTEE	Consideration or Amount of Mortgage	REMARKS
316	B.&S.	27Mar1869	8 Jul1869	John Hector et ux	Samuel Jennings	\$350.00	25 ac. front part.
340	B.&S.	15May1869	6 Sep1869	Bank of Upper Canada	John Crickmore	7000.00	and O.L.
351	B.&S.	12Jul1869	20Sep1869	John Crickmore et ux	Wm. B. Hunter	25000.00	and O.L.
352	B.&S.	20Jul1869	20Sep1869	Wm. B. Hunter et ux	Peel General Mfg. Co.	14000 shares.	and O.L.
1996		1 Sep1876	23Sep1876	Peel General Mfg. Co.	S. S. Lee et al	20000.00	and O.L.
2158		28Nov1876	4 Apr1877	S. S. Lee et al	Canada Life Assce. Co.	5,000.00	SW part. and O.L.
3134		1 Apr1880	24Jul1880	Peel General Mfg. Co.	Canada Life Assce. Co.	6000.00	SW part and O.L.
5677	Release	25Mar1886	14May1886	Canada Life Assce. Co.	Peel General Mfg. Co.	6000.00	SW part and O.L.
5948	B.&S.	12Mar1882	20Jan1887	The Crown	Elizabeth Blakely	836.50	NE part 59 $\frac{1}{2}$ ac.
6149	B.&S.	6 Dec1886	4 Jun1887	Elizabeth Dixie et al	Jonadab D. Hardy	5000.00	NE part (info 6152 - B. M. 157110).
6150	B.&S.	1 May1887	4 Jun1887	Jonadab D. Hardy et ux	James Payne	3400.00	NE part re: timber 16 Apr. 1888
6151	Agreet.	3 Jun1887	4 Jun1887	Jonadab Hardy	James Payne		NE part
6948	B.&S.	1 Oct1888	18Oct1889	Peel General Mfg. Co.	Thos. W. Hector et al	9180.00	Part and O.L.
7011	B.&S.	1 Nov1889	10Dec1889	Thos. W. Hector et al	Robert C. Sinclair	1350.00	Part
7012		15Nov1889	10Dec1889	Robert C. Sinclair	Thos. W. Hector et al	1250.00	Part
7013	B.&S.	9 Dec1889	10Dec1889	Robt. C. Sinclair	Ernest E. Thompson	100.00	Part
7248	B.&S.	10Jul1890	2 Aug1890	Thos. W. Hector et al	Robert Spence	2000.00	10 ac.
7610	B.&S.	15Jun1891	26Jun1891	Thos. W. Hector et al	William Andrew	2000.00	10 ac. and O.L.
7613	B.&S.	20Mar1890	29Jun1891	Ernest E. Thompson	Mary C. Thompson	3000.00	12 ac.
7873	B.&S.	1 Apr1892	16Apr1892	Thos. W. Hector et al	Jas. E. Robinson et al	1035.80	7.9 ac.
8003	B.&S.	2 Apr1892	25Oct1892	Edwin Crickmore et al	Jas. Graham et al	300.00	1 ac.
8004	B.&S.	22Oct1892	25Oct1892	James Graham	Margaret Graham	1.00	1 ac.
8062	B.&S.	13Jan1893	23Jan1893	Jas. E. Robertson et ux	Arthur B. Boswell	200.00	Part. $\frac{1}{2}$ interest in 7 ac.
8231		28Jul1893	8 Aug1893	Edwin Crickmore et al	John Crickmore	1500.00	Part and O.L.
8232		15May1890	8 Aug1893	Thos. W. Hector et al	John Crickmore	750.00	Part
						1225.00	Part and O.L.

pic - description

cont

↓

Lot No. 3

Second Range Concession Credit Reserve.

NO. OF INSTRUMENT	INSTRUMENT	ITS DATE	DATE OF REGISTRATION	GRANTOR	GRANTEE	QUANTITY OF LAND	Consideration or Amount of Mortgage	REMARKS
12092	Grant	24Nov1908	25Nov1908	William Senife widower	Edwin Samuel Munroe	12	\$2000.00	pt lot 3.
13102	Grant	8Jul1908	1Aug1908	Kenneth Skinner etux	Wm. C. Chandos Innes	250.00	250.00	It said party of first part and third part covenants with said party of the Second part that neither he nor they will erect or build on said lands retained by him a Slaughter house or permit of slaughtering animals or any Trade or Business which may be deemed a nuisance.
13210	Will	5Nov1908	14Nov1908	James Payne	Ellen O'Brien Payne & George Washington Payne	50		pt lot 3
13265	Grant	14Nov1908	15Dec1908	George W. Payne & Ellen O'Brien Payne widow	Kenneth Skinner	59 1/2	6000.00	pt
13539	Grant	21Jun1909	26Jul1909	Sir Edwin Mann & Wm. Thomas Paulin Exrs of Robert Spence	John B. Hay	10	1000.00	pt
13723	Grant	23Nov1909	10Dec1909	John B. Hay unmarried	Wm. J. Lind	10	3000.00	pt
13901	W.D.M.	16Apr1910	18Apr1910	Wm. P. Torrance	James Wilson	10.13		Dischd. at lands in 13760
14042	Grant	30Jun1910	4Jul1910	Wm. J. Lind etux	Ruth W. Cork	10	2100.00	and the assumption of payment of two Mortgages for \$1400.00 & \$500.00
14341	Grant	27Feb1911	7Mar1911	Thomas H. Hector etux	George W. Gordon		70	pt
15111	W.	21Jul1912	16Aug1912	Leslie H. Pallett etux	Kenneth Skinner	20	5000.00	pt N.E.pt
15112	Grant	21Jul1912	16Aug1912	Kenneth Skinner etux	Leslie H. Pallett	20	8000.00	pt N.E.pt
15113	Grant	21Jul1912	16Aug1912	Leslie H. Pallett etux	Albert J. Leslie Wm. H. Moore & Leslie H. Pallett	pt 20	10000.00	pt N.E.pt
15116	W.D.M.	25Jul1912	26Aug1912	Mary H. Skinner	Kenneth Skinner	pt		Dischd. at lands in 13266
15117	Grant	25Jul1912	23Aug1912	Kenneth Skinner etux	Sarah A. Lee	pt	2500.00	pt N.E.pt
B*13	Plan	12Dec1912	11Feb1913	Kenneth Skinner	Subdivision			
15425	Grant	6Jan1913	8Feb1913	George W. Gordon etux	Robert Lackey	pt	125.00	pt
E*13	Plan	11Mar1913	16Apr1913	Leslie H. Pallett etal	subdivision of part of lot 3			
15476	W.	16Mar1914	17Mar1914	Robert W. Cork etmar	Horace G. Hay	10	3000.00	pt

DEC 1 1936

Township of Trosslo

is the

[illegible]

[illegible]

Faculty of
Engineering
To: Mr.
Dear Sir,
Before me at
Date: _____

Approved Under Section 25 of
THE PLANNING ACT, 1946
this 20th day of June 1950

W. Güssinger

I CERTIFY that this plan and a
 duplicate of it were presented
 and approved by the Board of Directors
 of the City of Los Angeles on 330 P.M.
 June 22nd 1950
 388

Nira Cation
Dep. Registrar

[illegible]


FIELD NOTES

FIELD NOTES

No. 167
Date: 23rd Nov 1949
Locality: ...
... James ...

[illegible]

Witness - Ernest Galt

Plan of Subdivision of part of
Lot 3 Range 2 Credit Indian Reserve
and parts of Lots 64 to 71 inclusive Plan E'13
Township of Toronto
County of Peel.
Scale - 80' = 1" 



Lines and numbers in dashes
Show boundaries and numbers as lots of
plans E'13, D'21 and 319.

- Shows 1" square iron bar.
- Shows iron pipe

Other lot angles were marked by wooden stakes.

PIC
Pg 12, bK pg.
*recites that
Kenneth
Skinner
was owner
@ death

LOVE WINDS NEW Pt. S. N. S. C. L. A. & P. 44 to 71 Plan A-15.

TOWNSHIP OF TORONTO.

PLAN NO. 300.

NUMBER	DATE	DEED	DATE OF DEED	GRANTOR	GRANTEE	CONSIDERATION	REMARKS
69556	1954	1954	1954	Walter D. Skinner	Walter D. Skinner	100.00	15/3/67
69557	1954	1954	1954	Walter D. Skinner	Walter D. Skinner	100.00	15/3/67
69558	1954	1954	1954	Walter D. Skinner	Walter D. Skinner	100.00	15/3/67
69559	1954	1954	1954	Walter D. Skinner	Walter D. Skinner	100.00	15/3/67
69560	1954	1954	1954	Walter D. Skinner	Walter D. Skinner	100.00	15/3/67
69561	1954	1954	1954	Walter D. Skinner	Walter D. Skinner	100.00	15/3/67
69562	1954	1954	1954	Walter D. Skinner	Walter D. Skinner	100.00	15/3/67
69563	1954	1954	1954	Walter D. Skinner	Walter D. Skinner	100.00	15/3/67
69564	1954	1954	1954	Walter D. Skinner	Walter D. Skinner	100.00	15/3/67
69565	1954	1954	1954	Walter D. Skinner	Walter D. Skinner	100.00	15/3/67
69566	1954	1954	1954	Walter D. Skinner	Walter D. Skinner	100.00	15/3/67
69567	1954	1954	1954	Walter D. Skinner	Walter D. Skinner	100.00	15/3/67
69568	1954	1954	1954	Walter D. Skinner	Walter D. Skinner	100.00	15/3/67
69569	1954	1954	1954	Walter D. Skinner	Walter D. Skinner	100.00	15/3/67
69570	1954	1954	1954	Walter D. Skinner	Walter D. Skinner	100.00	15/3/67
69571	1954	1954	1954	Walter D. Skinner	Walter D. Skinner	100.00	15/3/67
69572	1954	1954	1954	Walter D. Skinner	Walter D. Skinner	100.00	15/3/67
69573	1954	1954	1954	Walter D. Skinner	Walter D. Skinner	100.00	15/3/67
69574	1954	1954	1954	Walter D. Skinner	Walter D. Skinner	100.00	15/3/67
69575	1954	1954	1954	Walter D. Skinner	Walter D. Skinner	100.00	15/3/67
69576	1954	1954	1954	Walter D. Skinner	Walter D. Skinner	100.00	15/3/67
69577	1954	1954	1954	Walter D. Skinner	Walter D. Skinner	100.00	15/3/67
69578	1954	1954	1954	Walter D. Skinner	Walter D. Skinner	100.00	15/3/67
69579	1954	1954	1954	Walter D. Skinner	Walter D. Skinner	100.00	15/3/67
69580	1954	1954	1954	Walter D. Skinner	Walter D. Skinner	100.00	15/3/67
69581	1954	1954	1954	Walter D. Skinner	Walter D. Skinner	100.00	15/3/67
69582	1954	1954	1954	Walter D. Skinner	Walter D. Skinner	100.00	15/3/67
69583	1954	1954	1954	Walter D. Skinner	Walter D. Skinner	100.00	15/3/67
69584	1954	1954	1954	Walter D. Skinner	Walter D. Skinner	100.00	15/3/67
69585	1954	1954	1954	Walter D. Skinner	Walter D. Skinner	100.00	15/3/67
69586	1954	1954	1954	Walter D. Skinner	Walter D. Skinner	100.00	15/3/67
69587	1954	1954	1954	Walter D. Skinner	Walter D. Skinner	100.00	15/3/67
69588	1954	1954	1954	Walter D. Skinner	Walter D. Skinner	100.00	15/3/67
69589	1954	1954	1954	Walter D. Skinner	Walter D. Skinner	100.00	15/3/67
69590	1954	1954	1954	Walter D. Skinner	Walter D. Skinner	100.00	15/3/67
69591	1954	1954	1954	Walter D. Skinner	Walter D. Skinner	100.00	15/3/67
69592	1954	1954	1954	Walter D. Skinner	Walter D. Skinner	100.00	15/3/67
69593	1954	1954	1954	Walter D. Skinner	Walter D. Skinner	100.00	15/3/67
69594	1954	1954	1954	Walter D. Skinner	Walter D. Skinner	100.00	15/3/67
69595	1954	1954	1954	Walter D. Skinner	Walter D. Skinner	100.00	15/3/67
69596	1954	1954	1954	Walter D. Skinner	Walter D. Skinner	100.00	15/3/67
69597	1954	1954	1954	Walter D. Skinner	Walter D. Skinner	100.00	15/3/67
69598	1954	1954	1954	Walter D. Skinner	Walter D. Skinner	100.00	15/3/67
69599	1954	1954	1954	Walter D. Skinner	Walter D. Skinner	100.00	15/3/67
69600	1954	1954	1954	Walter D. Skinner	Walter D. Skinner	100.00	15/3/67

DATE PLAN REGISTERED June 18th, 1973.
OWNERS Kenneth & Milton S. Skinner.

LOTS SUBDIVIDED Pt 3, R. 8, O.I.R. & Pts 64 to 71 Plan E-13,
TOWNSHIP OF TORONTO.

SHEET NO. 1
LOT NO. 2
STREET Bessville Ave. &
Besswood Ave.
PLAN NO. 390.

NUMBER	INSTRUMENT	DATE OF INSTRUMENT	DATE OF REGISTRATION	GRANTOR	GRANTEE	CONSIDERATION	REMARKS
975567	Grant		91 07 02	BAINTON Bernice Mary	JOHNSTONE MACAULAY Beverly Ruth	295,000.00	All
975568	Mort		91 07 02	JOHNSTONE MACAULAY Beverly Ruth	Royal Trust Co. of Canada	120,000.00	All

NOTICE
All Document/Instruments
subsequent to
MAR 18 1997
are recorded in the automated abstract
index set out in Regulation 21(6) of the
REGISTRY ACT

32
MAR 10 1997



Ontario ServiceOntario

LAND
REGISTRY
OFFICE #43

PARCEL REGISTER (ABBREVIATED) FOR PROPERTY IDENTIFIER

13458-0087 (LT)

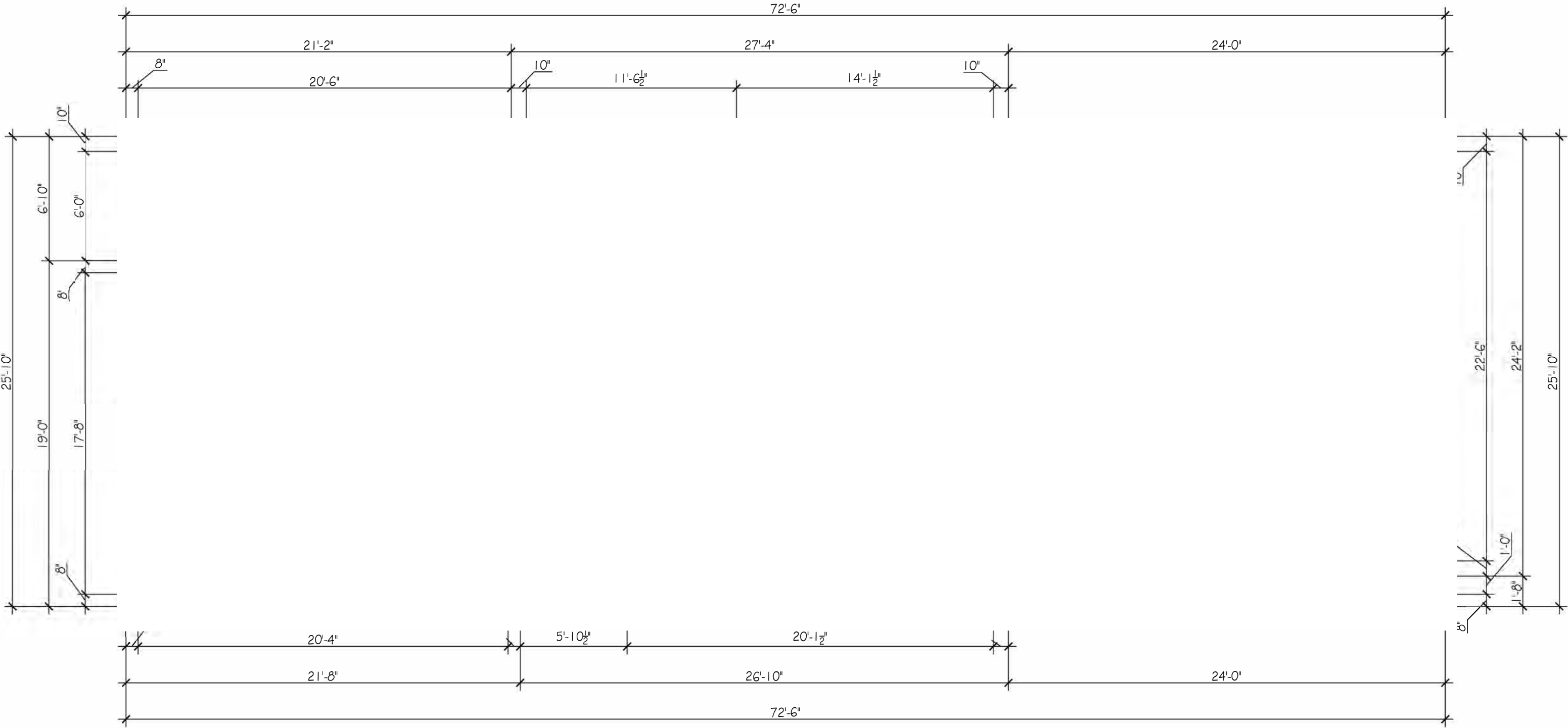
PAGE 2 OF 2
PREPARED FOR CA
ON 2016/09/26 AT 10:39:10

* CERTIFIED IN ACCORDANCE WITH THE LAND TITLES ACT * SUBJECT TO RESERVATIONS IN CROWN GRANT *

REG. NUM.	DATE	INSTRUMENT TYPE	AMOUNT	PARTIES FROM	PARTIES TO	CERT/ CHKD
PR2239293	2012/07/31	CHARGE		*** COMPLETELY DELETED *** JOHNSTONE MACAULAY, BEVERLY RUTH	BANK OF MONTREAL	
PR2257671	2012/08/30	DISCH OF CHARGE		*** COMPLETELY DELETED *** MACAULAY, PETER JOHN		
REMARKS: PR1970030.						
PR2625936	2014/11/03	CHARGE	\$300,000	JOHNSTONE MACAULAY, BEVERLY RUTH	BANK OF MONTREAL	C
PR2661307	2015/01/16	DISCH OF CHARGE		*** COMPLETELY DELETED *** BANK OF MONTREAL		
REMARKS: PR2239293.						
PR2932304	2016/06/17	TRANSFER <i>pic</i>	\$1,302,000	JOHNSTONE MACAULAY, BEVERLY RUTH	<i>RAJ</i>	C
REMARKS: PLANNING ACT STATEMENTS.						
PR2932305	2016/06/17	CHARGE	\$1,041,600	SOHAIL, EIRAJ	THE BANK OF NOVA SCOTIA	C

NOTE: ADJOINING PROPERTIES SHOULD BE INVESTIGATED TO ASCERTAIN DESCRIPTIVE INCONSISTENCIES, IF ANY, WITH DESCRIPTION REPRESENTED FOR THIS PROPERTY.
NOTE: ENSURE THAT YOUR PRINTOUT STATES THE TOTAL NUMBER OF PAGES AND THAT YOU HAVE PICKED THEM ALL UP.

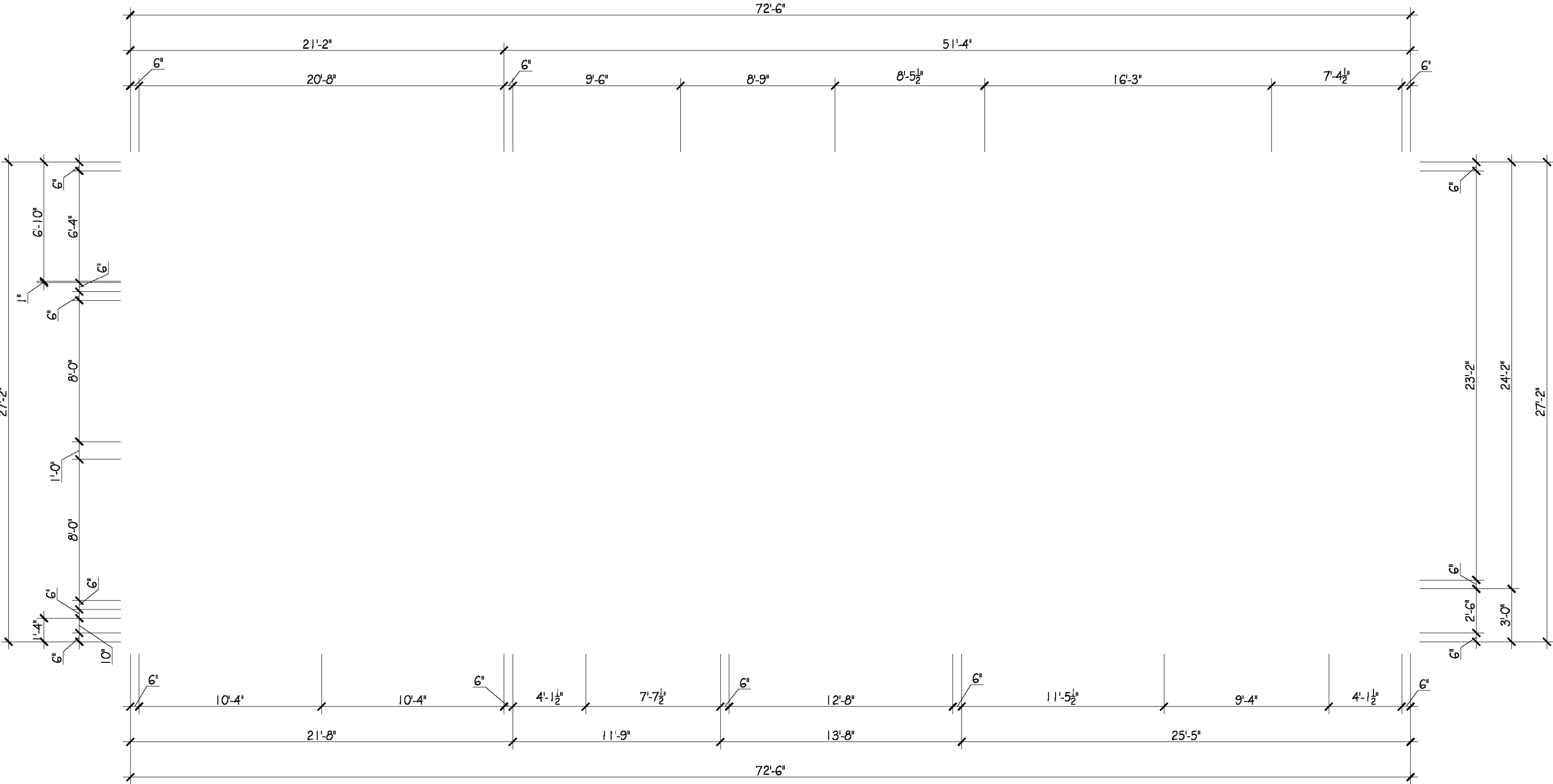
APPENDIX C: DRAWINGS (EXISTING)



STEVE HAMELIN
architecture

EXISTING BASEMENT PLAN

SCALE: 3/16" = 1'-0"



STEVE HAMELIN
architecture

EXISTING MAIN FLOOR PLAN

SCALE: 3/16" = 1'-0"

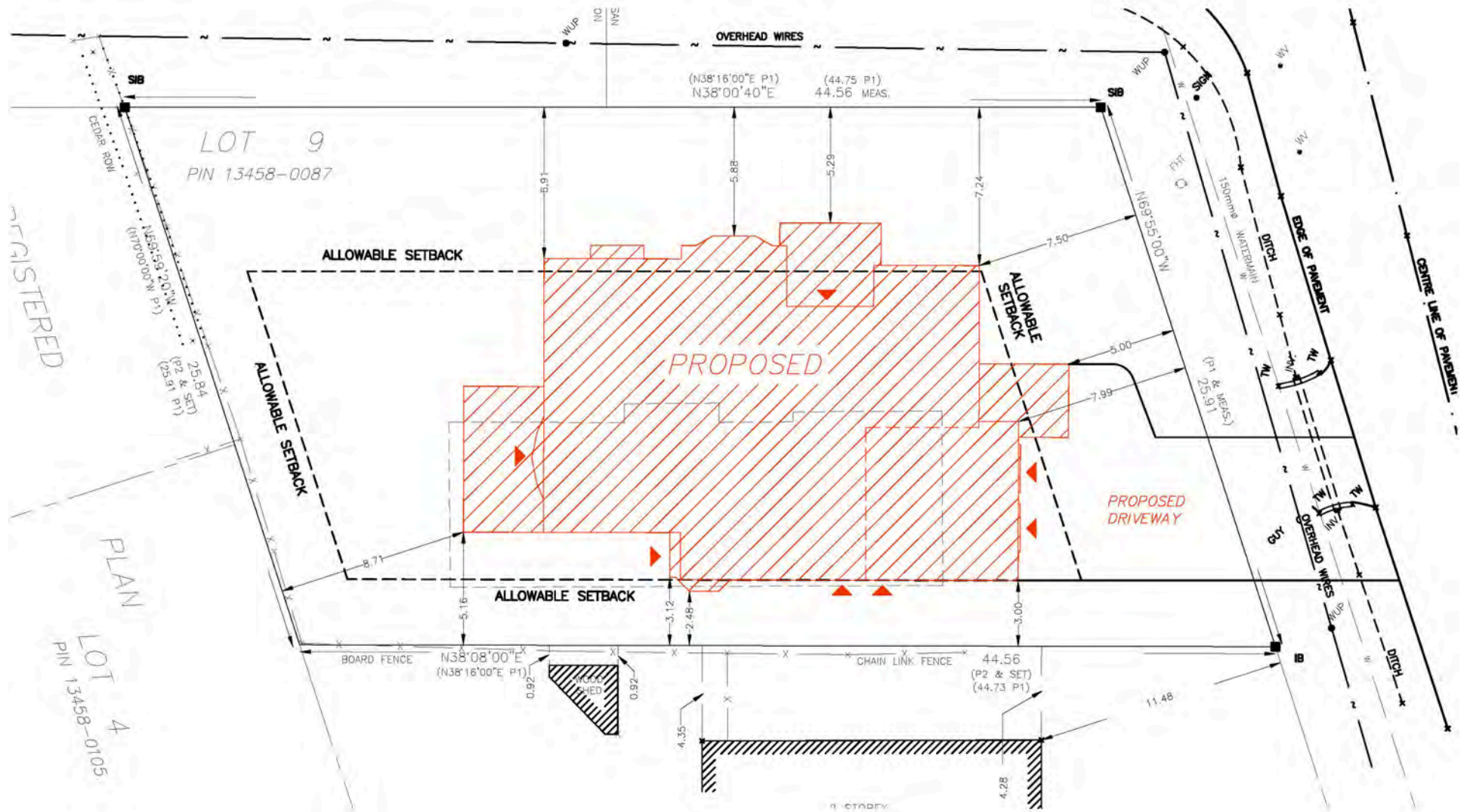


Figure 3: PROPOSED DEVELOPMENT - Site Plan.

APPENDIX C: DRAWINGS (PROPOSED DEVELOPMENT)



QUALIFICATION INFORMATION
THE UNDERSIGNED HAS REVIEWED AND
TAKE RESPONSIBILITY FOR THIS DESIGN AND HAS THE
QUALIFICATIONS AND MEETS THE REQUIREMENTS SET
OUT IN THE C.M.T. BUILDING CODE TO BE A DESIGNER.
REQUIRED UNLESS DESIGN IS EXEMPT UNDER
DIVISION 17, SECTION 3.2 OF THE O.B.C.

STEVEN HAMELIN
HAMELIN ARCH INC.

31977
48935

MUNICIPALITY:	MISSISSAUGA		
PROJECT ADDRESS:	1412 BIRCHWOOD HEIGHTS DRIVE		
DESIGNATED ZONE:	R2-4		
BY LAW #:	BY-LAW 0225-2007		
	SQ.FT.	SQ.M.	%
LOT AREA	11796.91	1095.97	
LOT COVERAGE			
MAXIMUM LOT COVERAGE:	3539.07	328.79	30.00%
PROPOSED LOT COVERAGE:	3640.82	338.24	30.86%
GROSS FLOOR AREA			
MAXIMUM ALLOWABLE	4404.49	409.19	20% +190SM
MAIN FLOOR:	2542.00	236.16	44.33%
SECOND FLOOR:	2158.24	200.51	
GARAGE:	529.64	49.21	
TOTAL PROPOSED GFA:	5229.88	485.87	
COVERED PORCH 1:	173.06	16.08	
COVERED PORCH 2:	133.62	12.41	
COVERED PORCH 3:	262.50	24.39	
COVERED PORCH 4:	0.00	0.00	
COVERED PORCH 5:	0.00	0.00	
BUILDING HEIGHT			
	METERS	FEET	
MAXIMUM BUILDING HEIGHT:	9.50	31.17	
PROPOSED BUILDING HEIGHT:	9.44	30.97	
REQUIRED SETBACKS			
FRONT	7.5 TO BUILDING, 5.9 TO PORCH	24.60 TO BUILDING, 19.36 TO PORCH	
REAR	3.00	9.84	
INTERIOR SIDE YARD	3.00	9.84	
EXTERIOR SIDE YARD	7.5 TO BUILDING, 5.9 TO PORCH	24.60 (19.36)	
PROVIDED SETBACKS			
FRONT	7.5 TO BUILDING, 5.00 TO PORCH	24.60 TO BUILDING, 19.36 TO PORCH	
REAR	8.71	28.58	
INTERIOR SIDE YARD	2.48	8.14	
EXTERIOR SIDE YARD	5.88 TO BUILDING, 5.29 TO PORCH	19.29 TO BUILDING, 17.36 TO PORCH	

Figure 4: PROPOSED DEVELOPMENT - Site statistics.

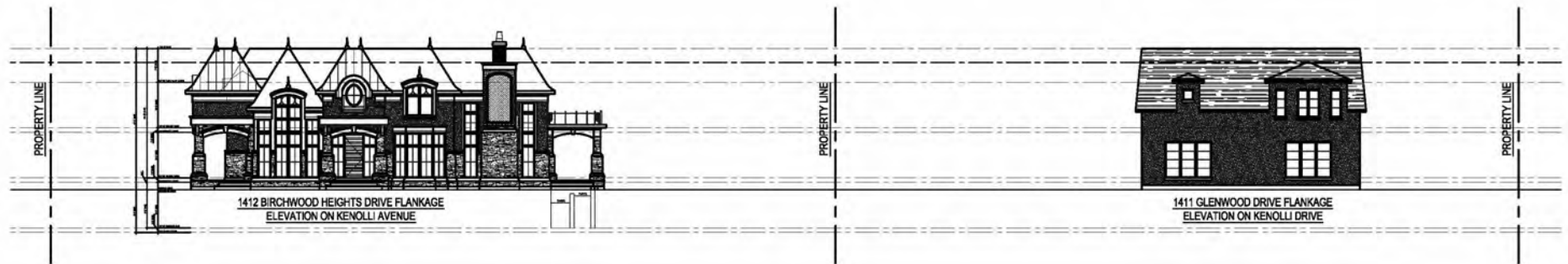


Figure 5: PROPOSED DEVELOPMENT - Kenollie Avenue streetscape.



Figure 6: PROPOSED DEVELOPMENT - Birchwood Heights Drive streetscape.



Figure 7: PROPOSED DEVELOPMENT - Kenollie Avenue elevation



Figure 8: PROPOSED DEVELOPMENT - Birchwood Heights Drive elevation.



Figure 10: PROPOSED DEVELOPMENT - West (side) elevation.

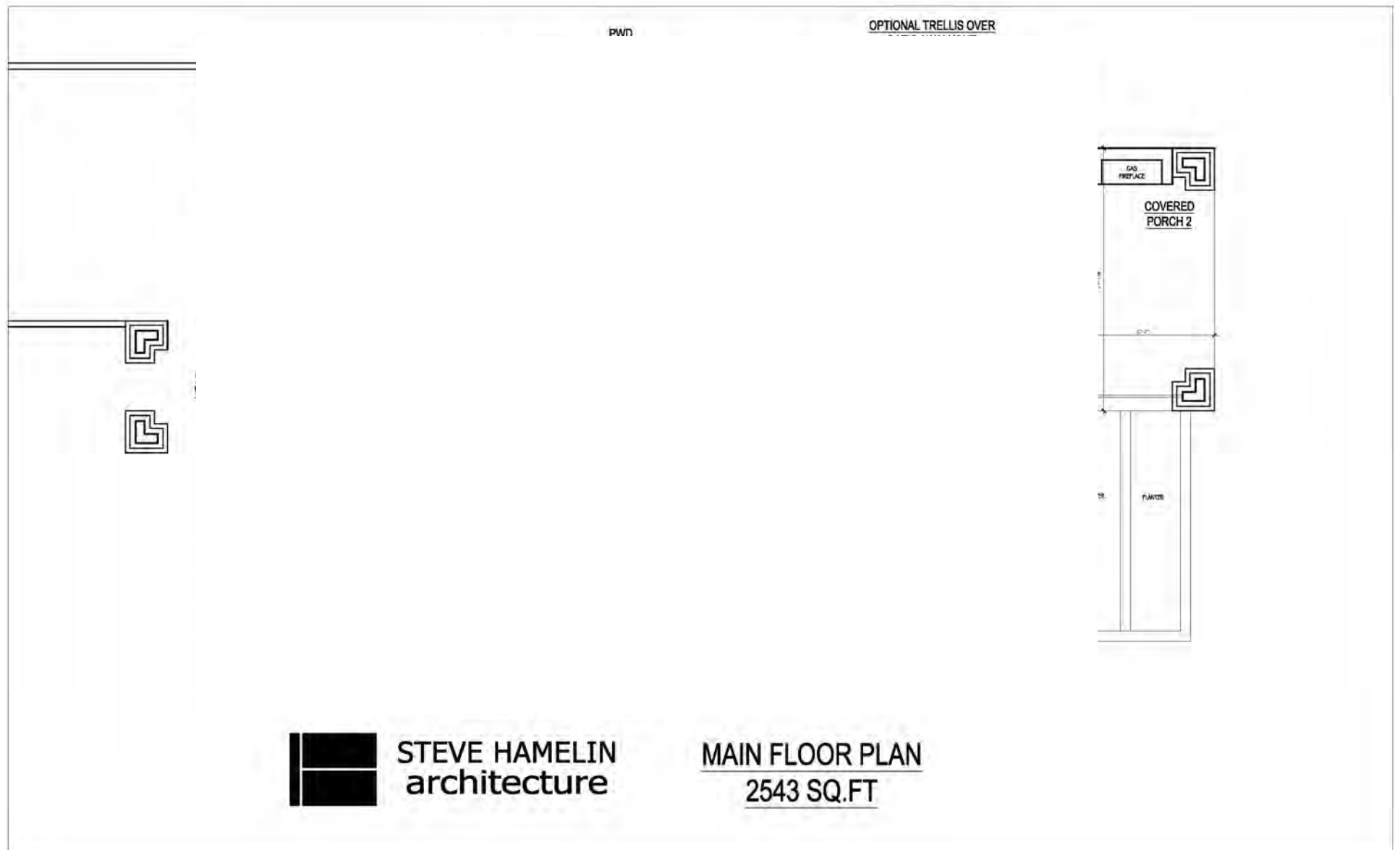


Figure 11: PROPOSED DEVELOPMENT - Ground floor plan.

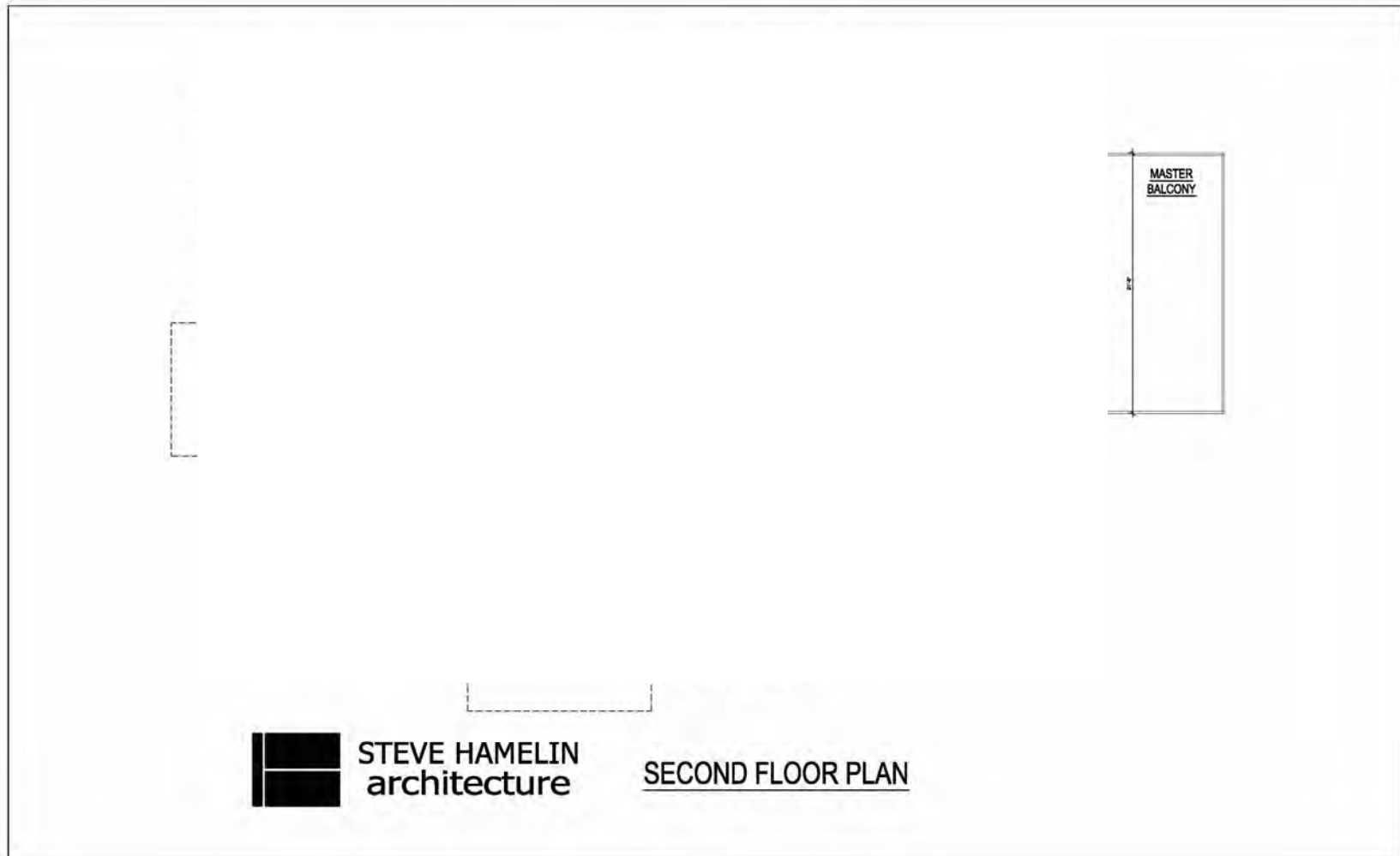


Figure 12: PROPOSED DEVELOPMENT - 2nd floor plan.

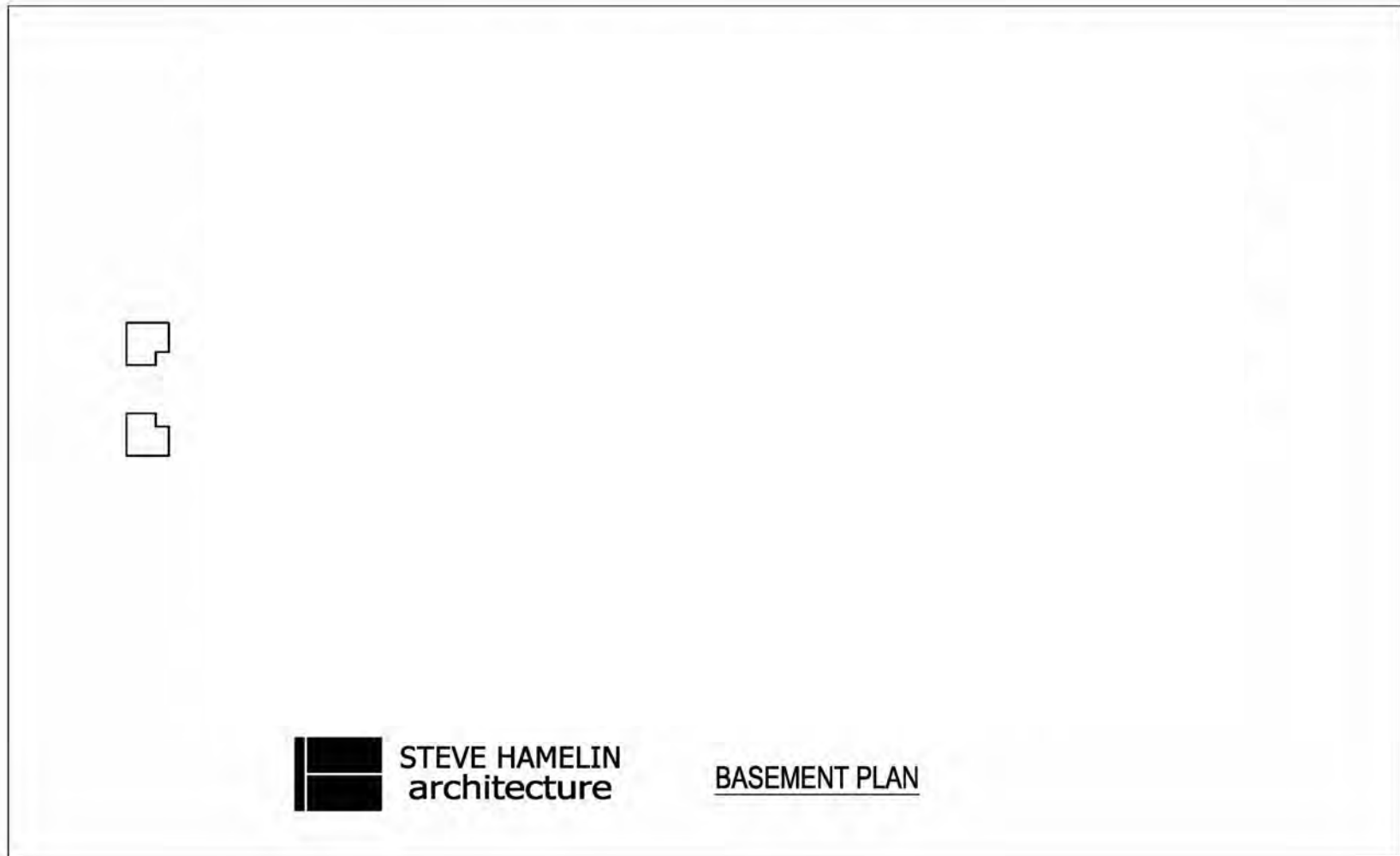
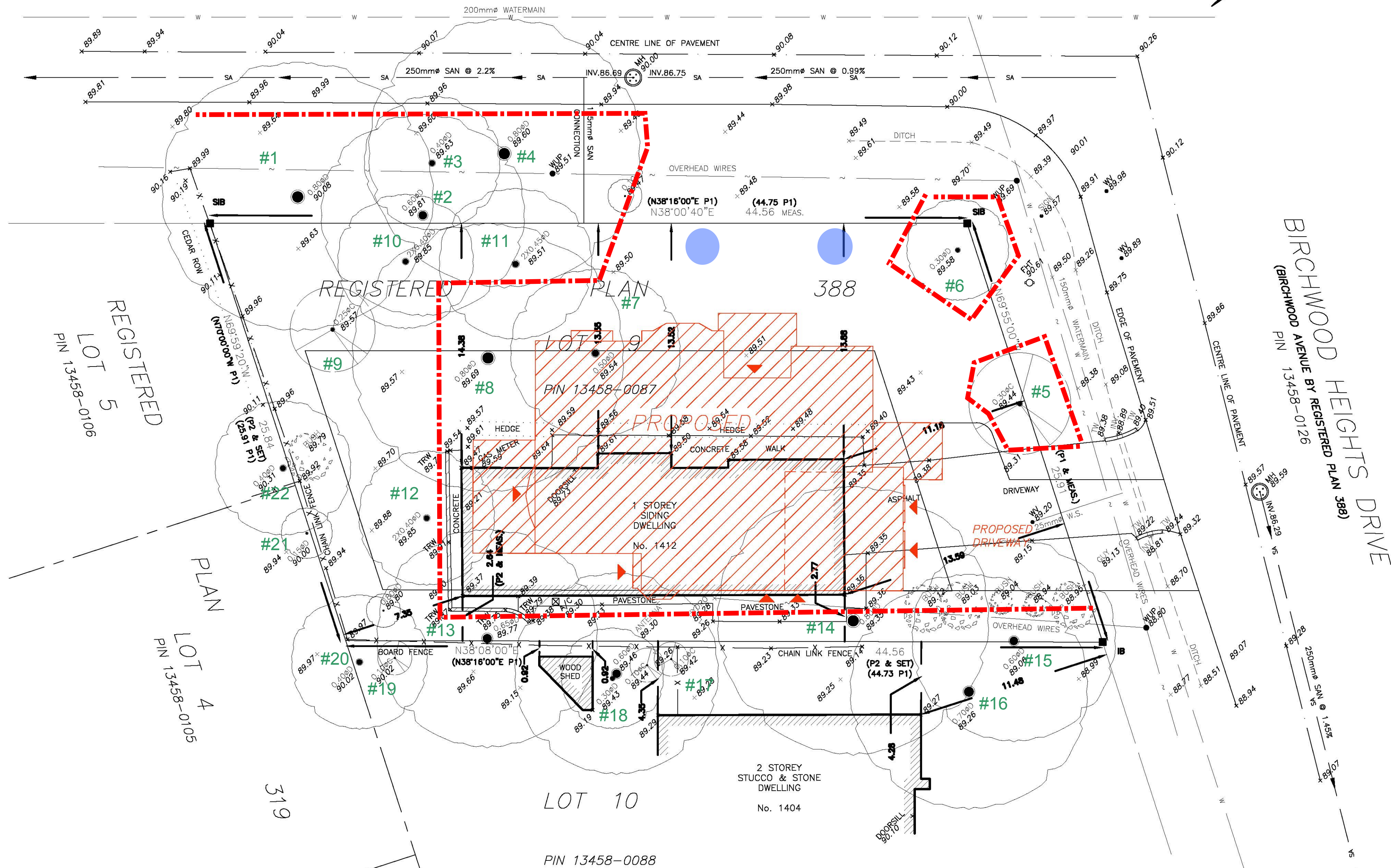


Figure 13: PROPOSED DEVELOPMENT - Basement floor plan.

METRIC

DISTANCES SHOWN ON THIS PLAN ARE
IN METRES AND CAN BE CONVERTED
TO FEET BY DIVIDING BY 0.3048

KENOLLIE AVENUE
(BY REGISTERED PLAN 388)
PIN 13458-0123



PLAN OF SURVEY WITH TOPOGRAPHY OF
LOT 9
REGISTERED PLAN 388
CITY OF MISSISSAUGA
REGIONAL MUNICIPALITY OF PEEL

SCALE 1 : 200



TARASICK McMILLAN KUBICKI LIMITED
ONTARIO LAND SURVEYORS

© COPYRIGHT, 2016

EASEMENTS

SUBJECT TO: THERE ARE NO EASEMENTS REGISTERED ON TITLE

UNDERGROUND SERVICES

THE LOCATION OF UNDERGROUND SERVICES SHOWN ON THIS PLAN IS ONLY APPROXIMATE AND IS FOR PLANNING AND DESIGN PURPOSES ONLY. THIS INFORMATION MUST NOT BE ASSUMED TO BE COMPLETE OR UP-TO-DATE AND AN ON-SITE LOCATE MUST BE ORDERED PRIOR TO ANY EXCAVATION. TARASICK McMILLAN KUBICKI LIMITED ACCEPTS NO RESPONSIBILITY FOR ANY CLAIMS OR LOSSES DUE TO IMPROPER USE OF THIS INFORMATION.

ELEVATION NOTE

ELEVATIONS ARE REFERRED TO CANADIAN GEODETIC VERTICAL DATUM-1928, AND WERE DERIVED FROM CITY OF MISSISSAUGA BENCHMARK No. 307, HAVING A PUBLISHED ELEVATION OF 86.881 metres.

BEARING NOTE

BEARINGS ARE ASTRONOMIC AND ARE REFERRED TO THE SOUTHERLY
LIMIT OF BIRCHWOOD HEIGHTS DRIVE AS SHOWN ON PLAN 388,
HAVING A BEARING OF N69°55'00"W.

LEGEND

■	DENOTES	SURVEY MONUMENT FOUND
□	DENOTES	SURVEY MONUMENT PLANTED
IB	DENOTES	IRON BAR
SIB	DENOTES	STANDARD IRON BAR
SSIB	DENOTES	SHORT STANDARD IRON BAR
TC	DENOTES	TOP OF CURB
BC	DENOTES	BOTTOM OF CURB
CCT	DENOTES	CURB CUT
MH	DENOTES	MANHOLE
CB	DENOTES	CATCH BASIN
TW	DENOTES	TOP OF WALL
TRW	DENOTES	TOP OF RETAINING WALL
WUP	DENOTES	WOOD UTILITY POLE
WV	DENOTES	WATER VALVE
P1	DENOTES	REGISTERED PLAN 388
P2	DENOTES	TARASICK McMILLAN LTD. O.L.S. MAY 27, 1991

• 0.20ØD DENOTES DECIDUOUS TREE WITH TRUNK DIAMETER

 0.200C DENOTES CONIFEROUS TREE WITH TRUNK DIAMETER

TREE CANOPIES ARE DRAWN TO SCALE.

SURVEYOR'S CERTIFICATE

I CERTIFY THAT :

1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM.

2. THE SURVEY WAS COMPLETED ON MAY 4, 2016

MAY 25, 2016

DATE _____

BORYS KUBICKI
ONTARIO LAND SURVEYOR

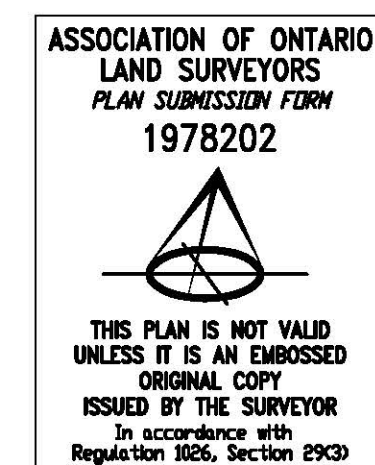
TARASICK McMILLAN KUBICKI LIMITED

ONTARIO LAND SURVEYORS

4181 SLADEVIEW CRESCENT, UNIT 42, MISSISSAUGA, ONTARIO L5L 5R2
TEL: (905) 569-8849 FAX: (905) 569-3160
E-MAIL: office@tmksurveyors.com

DRAWN BY: R.E.

FILE No. 7265-T



Arborist Report

For **1412 Birchwood Heights Drive**
Mississauga, ON (October 27, 2016)



www.DAWhiteTreeCare.com

Tel: 416 431 2453, E-mail: DAWhiteTreeCare@gmail.com

D. Andrew White M. Sc. ISA Certified Arborist ON-0734. 78 Marcella St. Toronto, ON, M1G 1L2.

1. Introduction

The following is an arborist report for the property at 1412 Birchwood Heights Drive, in Mississauga Ontario. The purpose of this report was to ascertain the potential impacts of proposed construction work on the trees on, and near, the subject site. This report was written for *Storybook Tree Service Inc.*

2. Methods

An on-site inspection was made on October 20, 2016. The sizes of individual trees were measured as diameter at breast height (DBH), breast height being 137 cm from ground level. The locations of these trees are indicated on the modified site plan (Fig. 1). From the data collected plant Condition Rating (CR), Location Rating (LR), Species Rating (SR), and minimum Tree Protection Zones (TPZ), were estimated.^{1,2} The Appraised Values (AV) of road allowance trees were calculated according to the Trunk Method.²

3. Discussion

There are plans to build a new house at 1412 Birchwood Heights Drive. Several non-exempt trees would need to be injured or removed, in order to allow for the proposed construction (Table 1, Fig. 1, Photos 1-6).

Road Allowance Trees:

Two road allowance trees could be retained with some risk of injury. The trees would be less than their TPZ radii from the staging area and workspace.

The remaining road allowance trees could be retained without significant risk of injury. The trees would be more than their TPZ radii from the worksite (Table 1, Fig. 1).

Private Trees:

Three privately owned trees over 15 cm would be removed. The trees would be too close to the worksite to be retained without undue risk of injury (Table 1, Fig. 1, Photos 1-5).

Three private trees over 15 cm could be retained, with some risk of injury. The trees would be less than their TPZ radii from the worksite. The root zone infringements would largely be inside the footprint of the existing house (Table 1, Fig. 1, Photos 1-6).

The remaining private trees would be retained with risk of injury. The trees would be more than their TPZ radii from the worksite. One oak tree (#12) near the house has a crown that mostly leans away from the proposed construction. Minimal crown trimming would be necessary to accommodate the upper storey of the new house (Table 1, Fig. 1, Photo 6).

One oak tree on the site is dead. The dead tree should be removed before construction begins on the site (Table 1, Fig. 1, Photo 5).

Neighbours' Trees:

Three trees on neighbouring properties could be retained with some risk of injury. The root zone infringements could cause some root injury. For the most part the excavation would be inside the footprint of the existing driveway and house. Nevertheless, a root inspection would be conducted just prior to the time of the final excavation(s). The root inspection would be used to determine whether additional tree removal applications would be necessary (Table 1, Fig. 1, Photos 3 & 4).

The remaining trees on neighbouring properties would be retained, with little risk of injury (Table 1, Fig. 1).

3.2 Tree Protection:

It is necessary to protect all trees designated for preservation during both demolition and construction. This tree protection can be accomplished by protecting the said trees with *tree protection barriers*. The minimum tree protection zone (TPZ) radius is based on the diameter of the tree ($TPZ \approx 0.06_{m/cm} \times DBH_{cm}$). Tree barriers for road allowance areas would be composed of a 1.2 metres (4 ft) high orange plastic web snow fencing secured on 2"x4" wood frames. Usually, tree protection barriers, not on road allowance, are to be 1.2 metres (4 ft) high, and composed of plywood.^{3,4}

Roadside Barriers:

The road allowance trees would be enclosed in web-fence barriers. The barriers would extend out to the 3.0 to 4.2 metre TPZ radii from the trees, where feasible. Some infringement of the TPZ radii would be necessary to allow for a workspace buffer and staging area (Fig. 1, Table 1).

The neighbouring front yard trees would be protected by web-fence barriers. The barriers would be placed near the margin of the proposed driveway (Fig. 1, Table 1).

Backyard Barriers:

The backyard and neighbouring tree to be retained would be enclosed by a tree protection barrier. The barrier would extend as close to the worksite buffer around the excavation footprint as would be feasible (Fig. 1, Table 1).

3.3 Replacement Trees:

A landscape plan is to be developed for the 1412 Birchwood Heights Drive property. There would be space in the front yard for at least two new trees (Fig. 1). Species appropriate as replacement trees would include:

Red Oak (*Quercus rubra*)
Bur Oak (*Quercus macrocarpa*)

The new trees would be of large calliper nursery grown stock. The trees would be transplanted as according to municipal codes and bylaws.^{4,5}

- (1) Minimum 50 mm calliper (2-inch wide stem) for deciduous trees
- (2) Minimum 1.75-2.5 m height for coniferous trees

Trees would best be transplanted during the spring or autumn. Mid-summer transplanting should be avoided. These trees are to be maintained in good condition. Supplemental watering may be required during the drier periods of the year, especially during the first two or three years after their transplantation.^{4,5}

3.4 Root Inspection:

The consulting arborist would be called to the site for a preliminary root inspection. If requested the Mississauga Urban Forestry would be given 2 to 3 days advance notice of the root inspection. This root inspection should be scheduled just before the commencement of the construction and excavation. Final construction and excavation would occur only after the root inspection evaluation. The root inspection would be necessary for the trees closest to the excavation of the house and driveway (Trees: #12, #15, #16 & #18). The exploratory trenches should be as close to the excavation margins as would be feasible. The trenches *would be* dug close to the proposed excavation margins as would be possible (Fig. 1). To minimise further root injury, the trench would either be dug manually, or with the aid of a hydro-vac device. The exploratory trenches are to be inspected for roots that extend into the excavation zone. Of special concern would be roots over 5 cm width and large framework roots.^{1,2}

If the root injuries incurred by the excavation should prove to be intolerable, a reconsideration of the (1) tree removal plans and/or (2) the construction plans may be necessary. If the root injuries are judged to be acceptable, root pruning and reburial could still be necessary. These remedial measures would ameliorate such root injury as could be incurred during the final excavation and resurfacing work.^{1,2}

4. Conclusions

To allow for the proposed construction of a new house at 1412 Birchwood Heights Drive three (3) trees would need to be removed, and eight (8) private trees would be placed at risk of injury.

Three (3) on-site trees over 15 cm DBH would be removed

Three (3) on-site trees over 15 cm DBH would be at risk of injury.

Three (3) neighbouring trees over 15 cm DBH would be placed at risk of injury.

Two (2) road allowance trees would be placed at risk of injury.

All of the trees to be retained would be protected by barriers during the demolition and construction work on the site.

A root inspection would be required in order to gauge the potential root injuries that could be incurred during the excavation of the driveway and house.

A landscape plan is to be developed for the 1412 Birchwood Heights Drive property. There would be space in the front yard for at least two new trees.

D. Andrew White M. Sc.



October 27, 2016

5. Tree Data

Table #1. Tree number (No.), species, diameter at breast height (DBH), comments, estimated tree appraisal value (AV) , Condition Rating (CR) and Tree Category.

No.	Tree Species	DBH	Comments	TC
#1	White Oak <i>Quercus alba</i>	62 cm	Protect tree over 4.2 m TPZ from worksite CR: 60% ; AV: \$10,000	City tree
#2	Red Oak (<i>Quercus rubra</i>)	56 cm	Injury risk, about ½ m less than 3.6 m TPZ from the workspace buffer CR: 65%; AV: \$9500	City tree
#3	Red Maple <i>Acer rubrum</i>	42 cm	Protect tree more than 3.0 m TPZ from the workspace buffer CR: 65% ; AV: \$5000	City tree
#4	White Oak	71 cm	Injury risk, about 1 m less than 4.8 m TPZ from the workspace buffer CR: 65% ; AV: \$15,000	City tree
#5	White Pin <i>Pinus strobus</i>	27 cm	Protect tree over 1.8 m TPZ from worksite CR: 70% ; AV: \$2,200	City tree
#6	Norway Maple	29 cm	Protect private tree over 1.8 m TPZ from worksite CR: 65%	Private
#7	Red Maple	43 cm	Remove tree in proposed house footprint CR: 55%	Private
#8	White Oak	67 cm	Remove tree too close to worksite CR: 60%	Private
#9	White Spruce <i>Picea glauca</i>	26 cm	Protect private tree over 1.8 m TPZ from worksite CR: 65%	Private

No.	Tree Species	DBH	Comments	TC
#10	White Oak	69 cm	Injury risk, about 1 m less than 4.2 m TPZ from the workspace buffer CR: 55%	Private
#11	Red Maple	38-58 cm	Injury risk, about 1.5 m less than 3.6 m TPZ from the workspace buffer CR: 55%	Private
#12	White Oak	43-56 cm	Injury risk, about 2.0 m less than 3.6 m TPZ from the workspace; most overlap in existing house footprint CR: 55%	Private
#13	White Oak	56 cm	Dead oak tree CR: 0%	Private
#14	Red Maple	74 cm	Remove tree too close to excavation zone CR: 65%	Private
#15	Red Maple	53 cm	Injury risk, tree about 1.5 m less than 3.6 m TPZ from the proposed driveway CR: 60%	Neighbour
#16	Red Oak	68 cm	Injury risk, tree about 1.5 m less than 4.2 m TPZ from the proposed driveway CR: 55%	Neighbour
#17	White Cedar <i>Thuja occidentalis</i>	14 cm	Protect tree over 1.8 min. TPZ from worksite CR: 70%	Neighbour
#18	White Oak	58 cm	Injury risk, tree about ½ m less than 3.6 m TPZ from the proposed footprint CR: 60%	Neighbour
#20	Black Cherry <i>Prunus serotina</i>	31 cm	Protect tree over 2.4 m TPZ from worksite	Neighbour

			& barrier CR: 55%	
#21	Apple Malus sylvestris	14 cm	Protect tree over 1.8 m min. TPZ from worksite & barrier CR: 60%	Neighbour
#22	Black Cherry	34 cm	Protect tree over 2.4 m min. TPZ from worksite & barrier CR: 60%	Neighbour

Figure #1: Arborist's Plan and layout of the 1412 Birchwood Heights Drive property. Trees are numbered (green), tree protection barriers (red) and replacement trees (blue) are indicated.



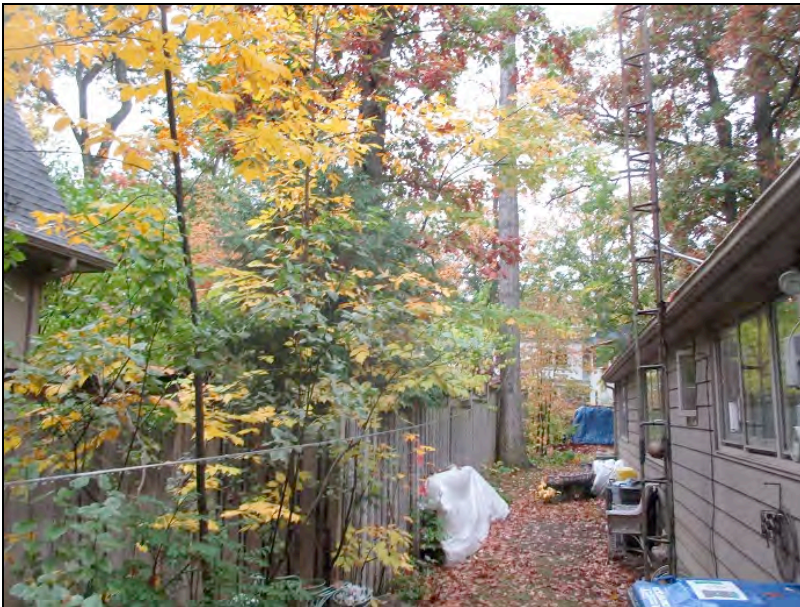
Photograph #1: Front yard trees #1 to 4 on the front yard of the 1412 Birchwood Heights Drive property.



Photograph #2: Front yard trees #5 and #6 on the 1412 Birchwood Heights Drive property.



Photograph #3: Backyard trees on the 1412 Birchwood Heights Drive property.



Photograph #4: Backyard trees on the 1412 Birchwood Heights Drive property.



Photograph #5: Crown of dead backyard tree #13 on the 1412 Birchwood Heights Drive property.



Photograph #6: Backyard trees #12, #21 and #22 on the 1412 Birchwood Heights Drive property.

6. References

- 1- Council of Tree Landscape Appraisers. 2006. Guide for Plant Appraisal. 10th Edition. International Society of Arboriculture.
- 2- International Society of Arboriculture of Ontario. 2000. Ontario Supplement to Guide for Plant Appraisal 9th Edition. Ontario Chapter, International Society of Arboriculture.
- 3- City of Mississauga. 2001. THE TREE PERMIT BY-LAW NUMBER 474-05. Corporation of the City of Mississauga, ON.
- 4- City of Mississauga. 2014. Application to Permit the Injury or Destruction of Trees on Private Property. City of Mississauga Community Services Department.
- 6- MMAH. 2005. Greenbelt Plan No. 208/2005. Feb 28, 2005. Ministry of Municipal Affairs & Housing.

City of Mississauga
Corporate Report



Date: 2016/12/15

To: Chair and Members of Heritage Advisory Committee

From: Paul Mitcham, P. Eng, MBA, Commissioner of
 Community Services

Originator's files:

Meeting date:
 2017/01/10

Subject

Request to Demolish a Heritage Listed Property: 23 Plainsman Road (Ward 11)

Recommendation

That the property at 23 Plainsman Road, which is listed on the City's Heritage Register, is not worthy of heritage designation, and consequently, that the owner's request to demolish proceed through the applicable process.

Background

Section 27.3 of the Ontario Heritage Act states that structures or buildings on property listed on the City's Heritage Register cannot be removed or demolished without at least 60 days' notice to Council. This legislation allows time for Council to review the property's cultural heritage value to determine if the property merits designation.

The owner of the subject property has submitted a heritage permit application to partially demolish the existing detached dwelling. The subject property is listed on the City's Heritage Register as it forms part of the Credit River Corridor cultural landscape. This cultural landscape is significant due to it being a "scenic rare natural landmark in the city". The Credit River is an ecologically, archaeologically and historically significant feature in the City, noted for its importance in the development of Mississauga.

Comments

The owner of the subject property has requested permission to partially demolish the existing structure. The applicant has provided a Heritage Impact Assessment compiled by Studio UA3. It is attached as Appendix 1. The consultant has concluded that the house at 23 Plainsman Road is not worthy of designation. Staff concurs with this finding.

Financial Impact

There is no financial impact.

Conclusion

The owner of 23 Plainsman Road has requested permission to demolish a structure on a property that is listed on the City's Heritage Register. The applicant has submitted a documentation report which provides information which does not support the building's merit for designation under the Ontario Heritage Act.

Attachments

Appendix 1: Heritage Impact Statement



Paul Mitcham, P. Eng, MBA, Commissioner of Community Services

Prepared by: Cecilia Nin Hernandez, Heritage Coordinator

Heritage Impact Statement

**23 Plainsman Road
Mississauga, ON**



Studio *UA*³.

ARCHITECTS

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647.891.6889 www.studioua3.com

29 August 2016

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Appendix A: Arborist Report by ArborFront Consulting, dated 18 August 2016 and revised 25 August 2016, 21 pages.

Appendix B: Tree protection Plan, drawing no. TP-1, by ArborFront Consulting, dated 18 August 2016 and revised 25 August 2016, one sheet.

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1. Introduction:

- 1.1. This Heritage Impact Statement is prepared in response to the City of Mississauga policy 7.4.1.12 that seeks to conserve, record, and protect its heritage resources, and states:

“7.4.1.12: The proponent of any construction, development, or property alteration that might adversely affect a listed or designated cultural heritage resource or which is proposed adjacent to a cultural heritage resource will be required to submit a Heritage Impact Statement prepared to the satisfaction of the City and other appropriate authorities having jurisdiction.”¹

- 1.2. The Property Heritage Detail available on the Property Information portal of the City of Mississauga website cites this property to be listed on the heritage register but not designated. The inventory item is #1, Credit River Corridor:

“The Credit River Corridor is noted as a Cultural Landscape for a variety of reasons. The corridor is a scenic rare natural landmark in the city. The 58 mile river cuts through both the Peel and Iroquois Plains. In some of these areas underlying Paleozoic bedrock of shale and sandstone is exposed. There are also heavily treed and marshy areas. Benches and alluvial terraces provide for a variety of recreational opportunities. The Mississaugas settled on the banks of the river until they were displaced by European settlers. Pioneers established mills on the river in Meadowvale Village, Streetsville and Erindale. Some remain. Thus, the river is not only ecologically significant, it is also an invaluable archaeological site that yields information about our native, pioneer and industrial history, as well as a link to the historic community development along the river corridor.”²

¹ Mississauga Official Plan (14 October 2015), Part Two, Chapter 7 Complete Communities, Article 7.4.1.12.

² www.mississauga.ca, Property Information, Heritage Detail

2. General Requirements:

2.1. Location map ³:



Figure 1: 23 Plainsman Road location map

2.2. Location map detail ⁴:



Figure 2: 23 Plainsman location map detail

³ Google Maps, 11 May 2016, annotated by Studio uA3.

⁴ Google Maps, 11 May 2016, annotated by Studio uA3.

2.3. Location zoning map 10M50W ⁵:

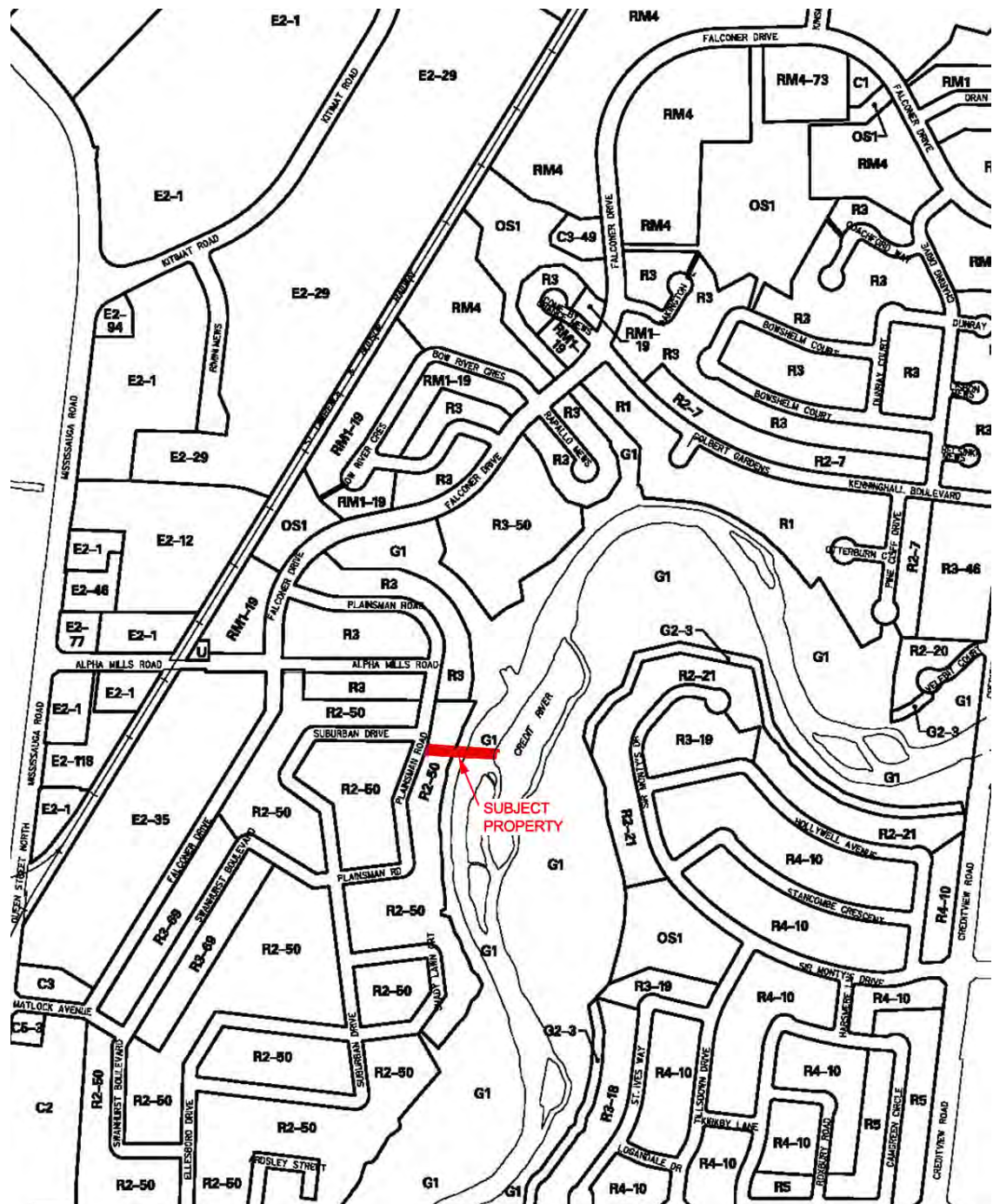


Figure 3: 23 Plainsman Road location zoning map

⁵ www.mississauga.ca, Zoning By-law in Effect, Part 13, Map 10M50W.

2.4. Site plan of existing conditions:

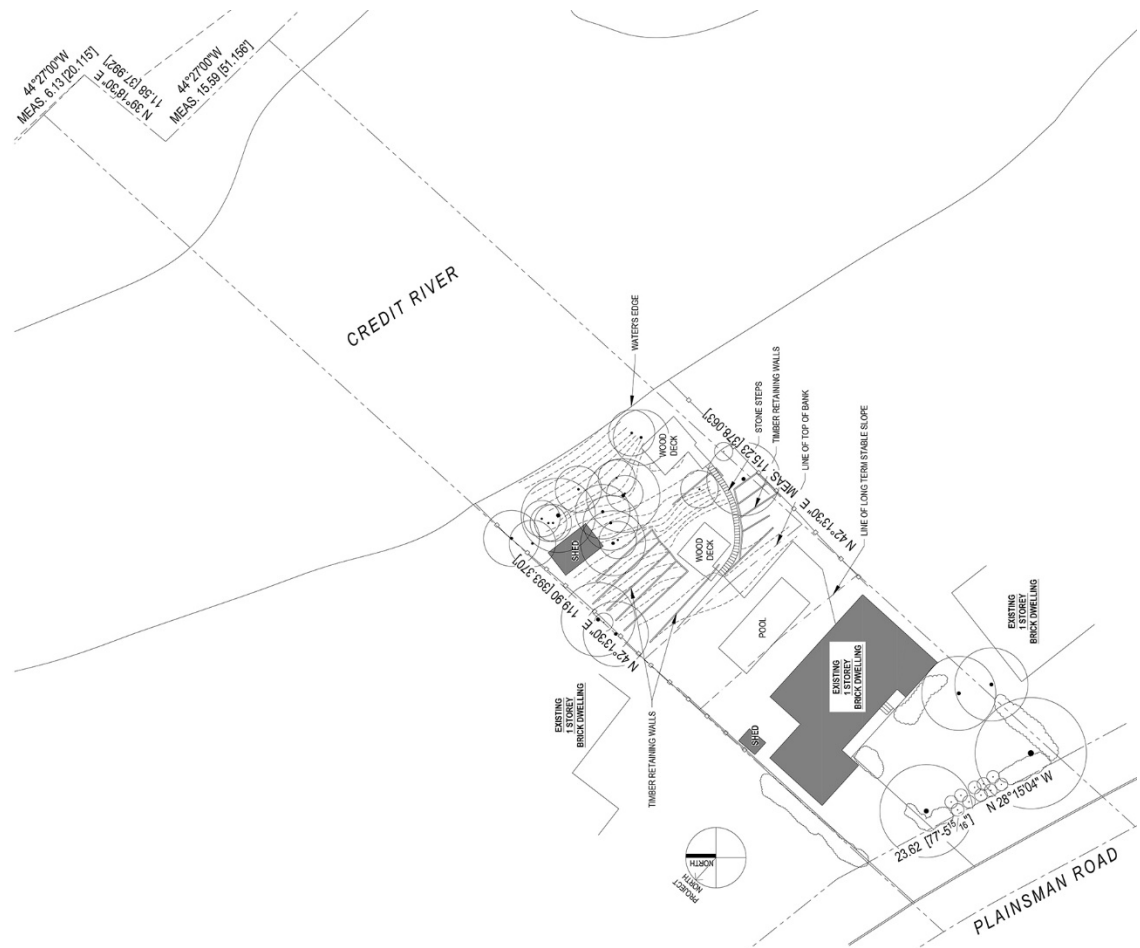


Figure 4: 23 Plainsman Road Site Plan - existing conditions

2.5. Topographical Survey ⁶:

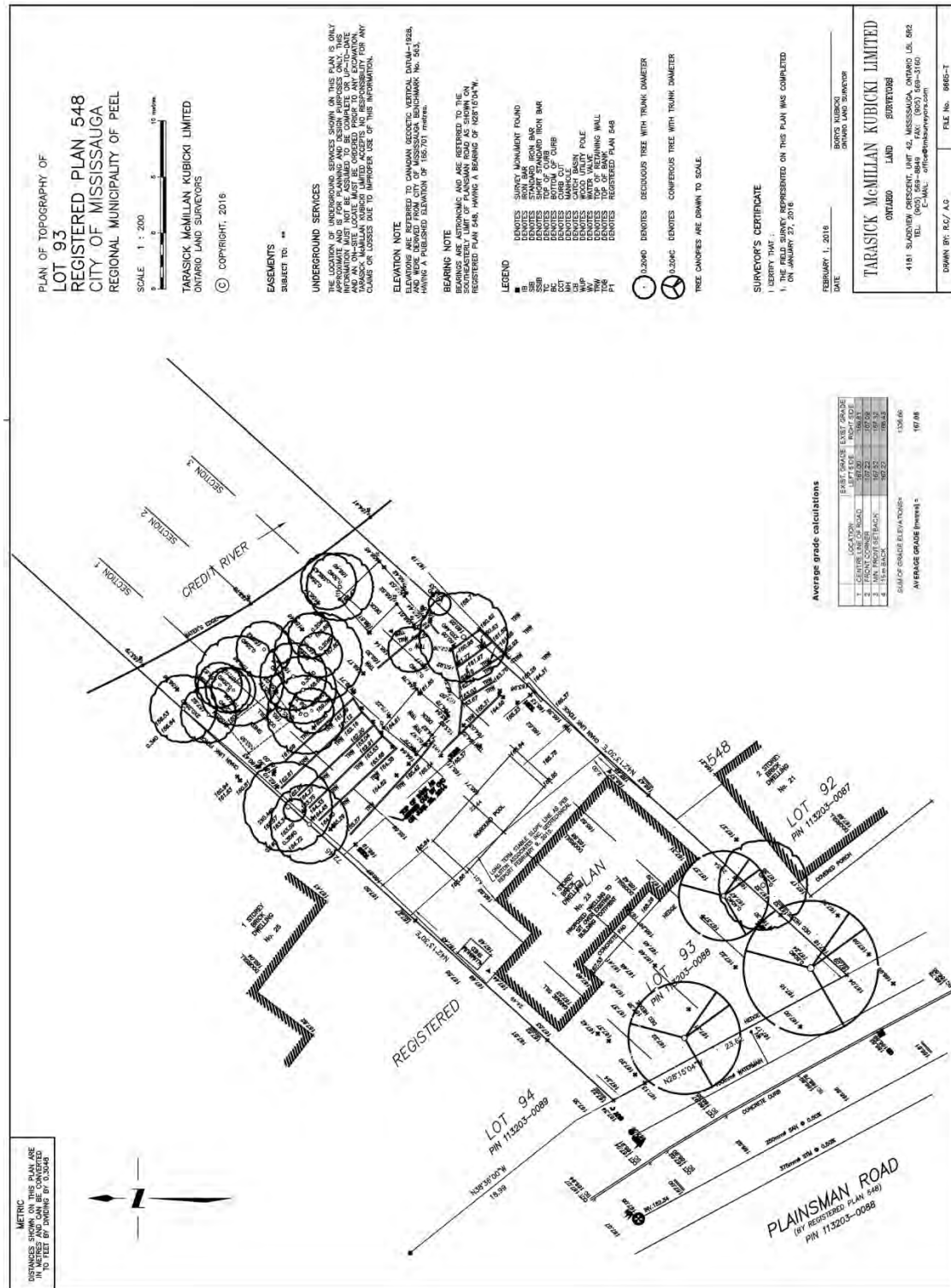
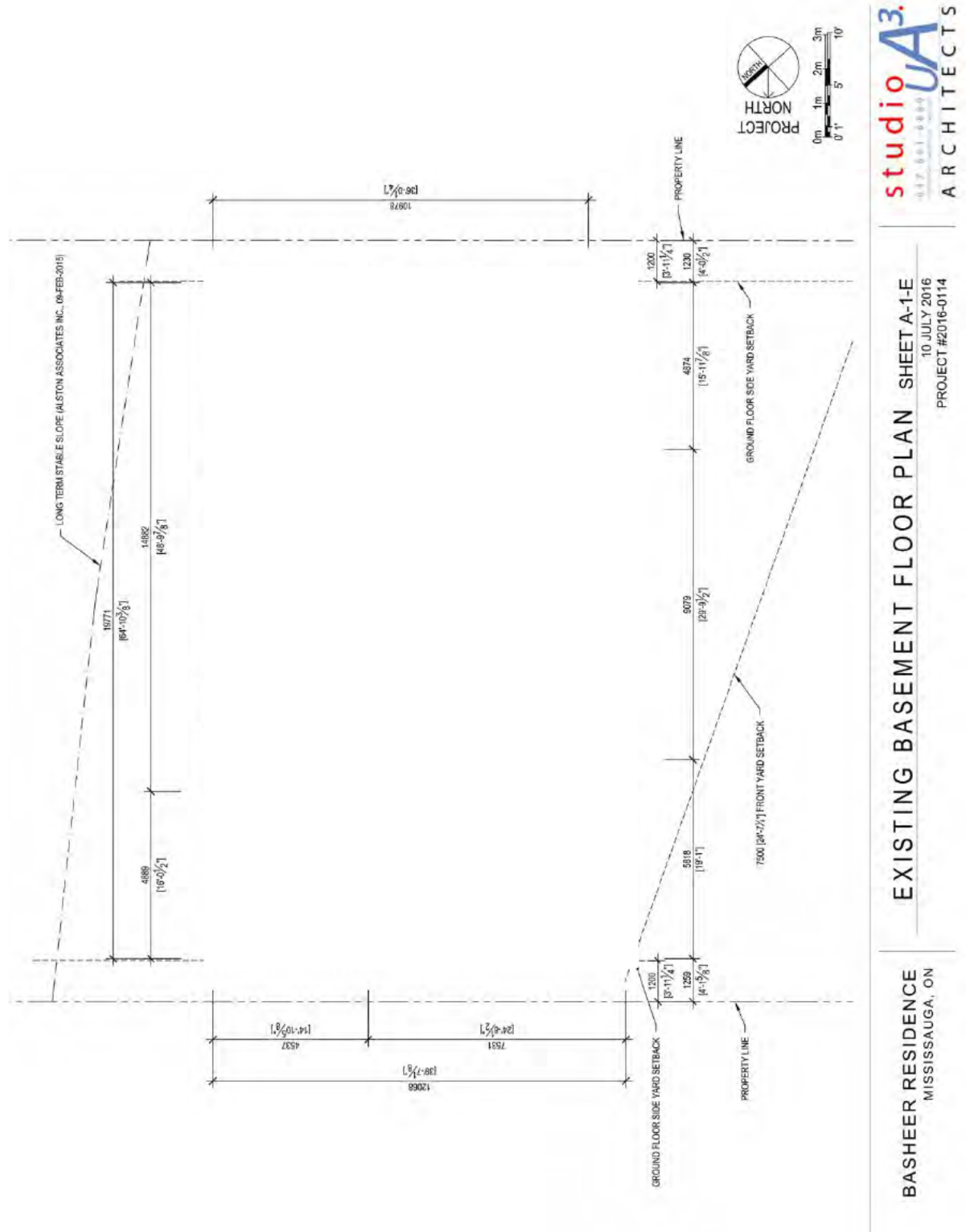


Figure 5: 23 Plainsman Road - topographical survey

⁶ Tarasick McMillan Kubicki Limited, Plan of Topography of Lot 93 Registered Plan 548 City of Mississauga.

2.6. Existing Floor Plans:



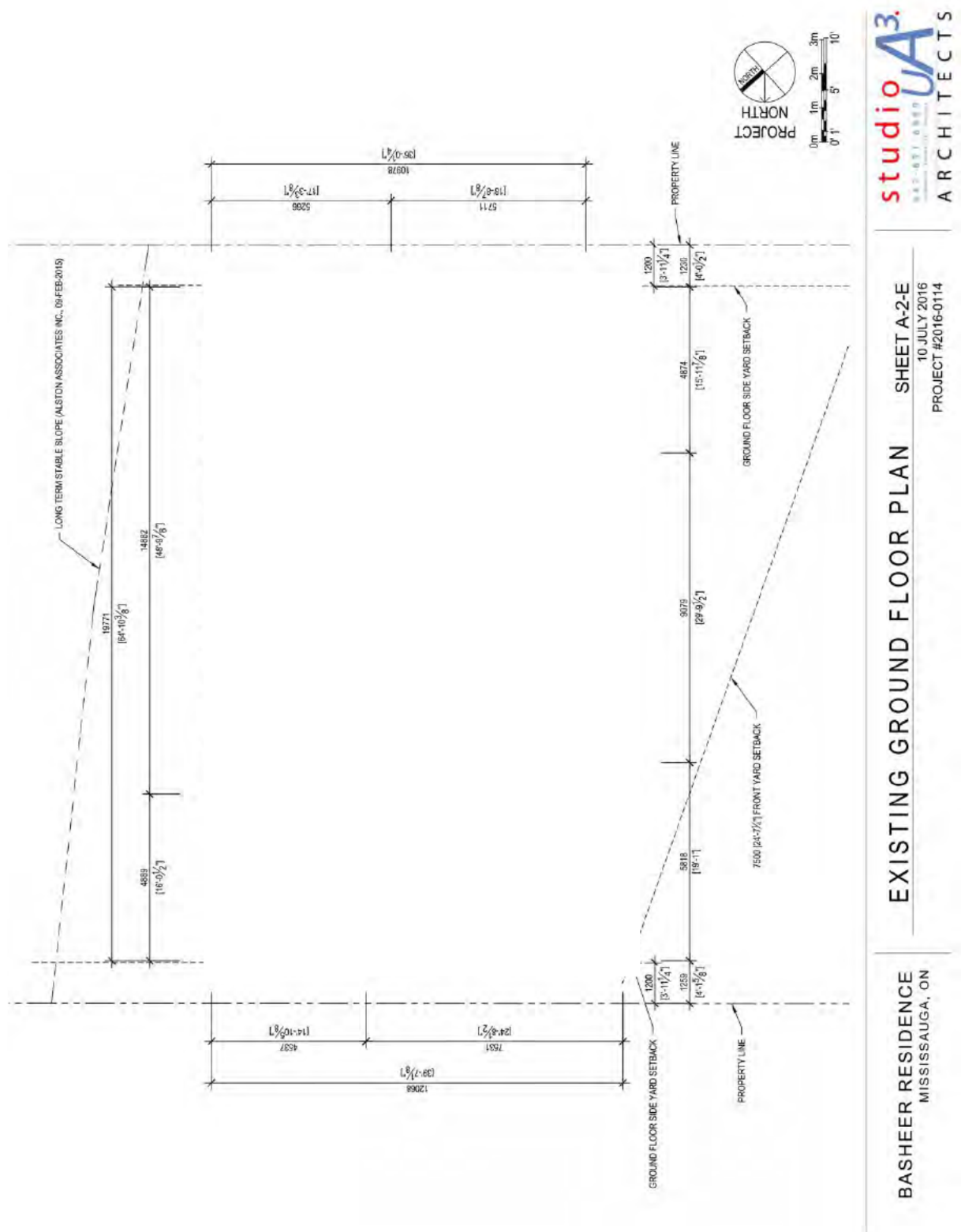


Figure 7: 23 Plainsman Road - Existing Ground Floor Plan



Figure 8: Plainsman Road streetscape map 2016, 23 Plainsman Road is delineated in red.⁷

2.7. Written Inventory - Site: the property lies on the west bank of the Credit River approximately 675 meters north of the Britannia Road West bridge. It is approximately 22¼ meters wide and 115 meters long. The property is well treed, gently sloping from Plainsman Road toward the existing dwelling structure, then dropping to a basement walkout level at the rear of the structure, relatively flat to the line of the top of river bank, and then dropping down to the river's edge at an approximate 50% slope as is typical along this side of the river. The second half of the property lies across the river to the western boundary of Riverrun Park. There is an existing in-ground swimming pool on the plateau at the rear of the dwelling.

There are two mature pine trees on or near the street property line as well as several cedars and miscellaneous hedges forming a dense visual screen of the property from the

⁷ [Mississauga Maps – Interactive Online Mapping Service](#): Part of interactive online map, Plainsman Road

street. The lawn between the tree and hedge screen and the front of the existing dwelling is the site of an existing septic system leach field.

Both side yards are screened from the adjacent properties by dense hedges and trees mostly located on the neighboring properties.

The rear yard is generally open as it is occupied by an in-ground swimming pool surrounded by a concrete paver pool deck. The area is well screened from the south property by dense hedges and mature trees mostly located on the neighboring property. On the north side, the pool deck area is screened from the adjacent property by medium size trees and hedges on elevated ground retained in place by an existing concrete interlock retaining wall system.

The east boundary of the pool deck area is defined by concrete interlock retaining walls approximately along the top of bank line. These walls are in poor condition. From here, the ground drops down to the Credit River. The 50% gradient slope is retained in place by a number of deteriorating timber construction retaining walls. The entire sloped area is well treed by young as well as mature trees. There are two deteriorating wood decks and a garden shed, connected by precast concrete step pathways.

The overview of the site features are captured in the preceding site plan and topographical survey as well as the following Visual Inventory photos.

- 2.8. Written Inventory - Structure: there are three structures on the property: a single family dwelling, a metal storage shed in fair condition, and a wood garden shed in the sloped portion of the property.

The existing dwelling is a brick and concrete block masonry single storey structure with a two-car garage and a finished basement with a walkout to the pool deck located in the rear yard. There are three bedrooms on the main level and one bedroom on the basement level.

The roof of the dwelling, the windows and some of the exterior masonry are in deteriorating condition. In general, the dwelling is of the mid-1960's design inside and out with no noteworthy features.

The overview of the existing dwelling features are captured in the preceding floor plans as well as the following Visual Inventory photos.

- 2.9. Written Inventory - Streetscape: Plainsman Road and the surrounding neighborhood is characterised as a mid-1960's single family dwelling subdivision of mid-size lots with brick single storey bungalows. Today, 50 years later, the neighborhood is undergoing a gradual transformation characterised by dwelling upgrades to modestly contemporary form and finish, yet due to the imposed roof and eave height limits set out in the R2-50 zoning bylaw exception, the renovated homes remain well-scaled to their properties. The neighborhood's maturity is also evident in the full size and maturity of its trees. The sub-urban character of the street and the neighborhood is also evident in the absence of sidewalks.

The overview of the streetscape features are captured in the preceding streetscape map as well as the following Visual Inventory photos.

2.10. Visual Inventory – Site and Structure:



Figure 9: Plainsman Road streetscape - panoramic view – existing conditions, June 2016



Figure 10: Plainsman Road streetscape - existing conditions, June 2016



Figure 11: 23 Plainsman Road - existing conditions, June 2016



Figure 12: 23 Plainsman Road - existing front yard, June 2016



Figure 13: 23 Plainsman Road - existing rear yard, June 2016



Figure 14: 23 Plainsman Road - existing rear yard, June 2016



Figure 15: 23 Plainsman Road - existing retaining wall at top of bank, June 2016



Figure 16: 23 Plainsman Road - existing retaining wall at top of bank, June 2016



Figure 17: 23 Plainsman Road - existing bank slope and retaining walls, June 2016

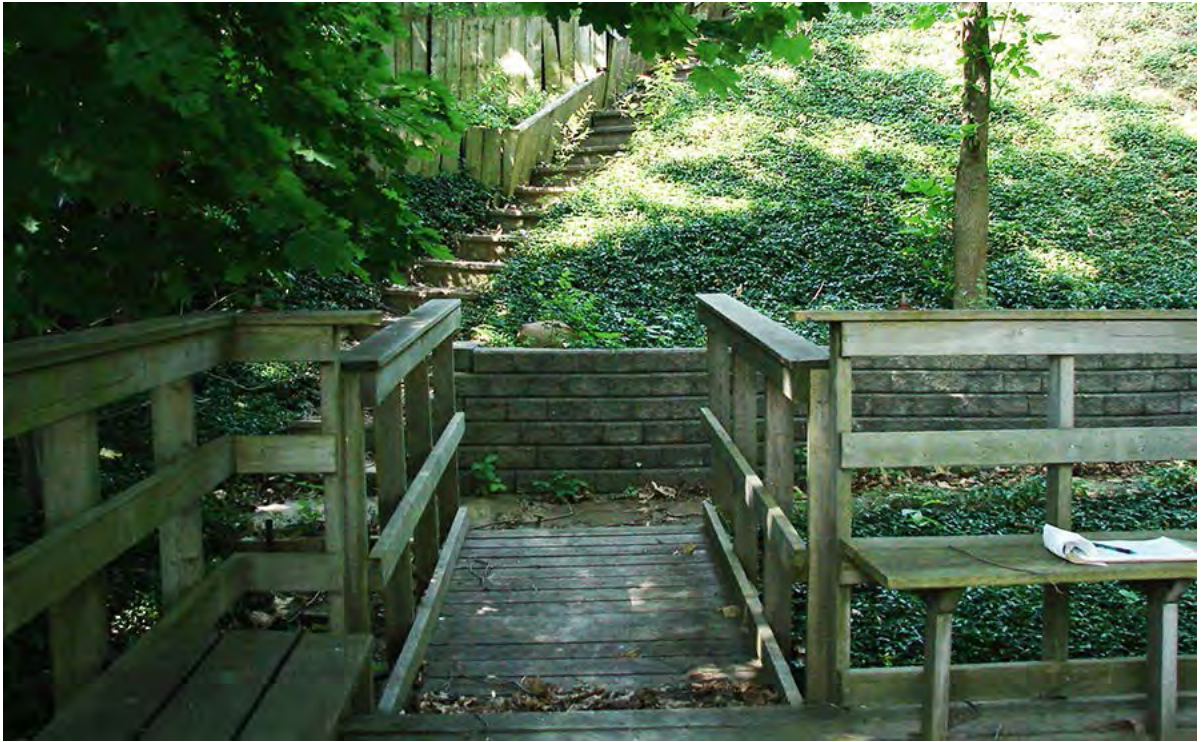


Figure 18: 23 Plainsman Road - existing bank slope and retaining walls, June 2016



Figure 19: 23 Plainsman Road - existing shed, June 2016



Figure 20: 23 Plainsman Road - existing river's edge, June 2016



Figure 21: 23 Plainsman Road - existing river's edge, June 2016



Figure 22: 21 Plainsman Road - existing slope on property to the south, June 2016



Figure 23: 25 Plainsman Road - existing slope on property to the north, June 2016



Figure 24: Credit River Valley - view from Riverrun Park baseball diamond, June 2016



Figure 25: Views along the nature trail on the east bank of Credit River, June 2016



Figure 26: View of 23 Plainsman Road property from the east bank of Credit River, June 2016

2.11. Proposed development:

2.11.1. Property Constraints: The subject property is zoned R2-50, Residential with exception, and G1, Greenbelt, and it is surrounded by properties of the same zoning and land use as shown in *Figure 3, Location Zoning Map*.

2.11.2. The R2 zoning regulations are:

4.2.1.3.1	Minimum lot area, interior lot:	695 m ²
4.2.1.4.1	Minimum lot frontage, interior lot:	18.0 m
4.2.1.5.0	Maximum lot coverage:	30%
4.2.1.6.1	Minimum front yard, interior lot:	9.0 m
4.2.1.6.3	Front garage face, interior lot:	same as front yard
4.2.1.8.1	Minimum interior side yard, interior lot:	1.8 m plus 0.61 m for each additional storey or portion thereof above one storey
4.2.1.9.1	Minimum rear yard, interior lot:	7.5 m
4.2.1.10.0	Maximum height:	10.7 m
4.2.1.12.1	Attached garage:	permitted
4.2.1.12.2	Minimum parking spaces:	per Part 3 and Subsection 4.1.9, 2 per dwelling
4.2.1.12.3	Maximum driveway width:	width of garage door openings plus 2.0 m up to a maximum of 6.0 m
4.2.1.12.4	Minimum landscape soft area in the yard containing the driveway:	40% of the front yard

4.2.1.13.0 *Accessory buildings and structures:* per Subsection 4.1.2

2.11.3. The R2-50 Exception regulations are:

4.2.3.50.1	<i>Maximum lot coverage:</i>	25%
4.2.3.50.2	<i>Maximum gross floor area – infill residential:</i>	150 m ² plus 0.2 times the lot area
4.2.3.50.3	<i>Minimum front yard:</i>	7.5 m
4.2.3.50.4	<i>Minimum interior side yard:</i>	1.2 m plus 0.61 m for each additional storey of portion thereof above one storey
4.2.3.50.5	<i>Minimum setback to front garage face – interior lot:</i>	7.5 m
4.2.3.50.6	<i>Maximum height – highest ridge:</i>	9.0 m
4.2.3.50.7	<i>Maximum height: flat roof:</i>	7.5 m
4.2.3.50.8	<i>Maximum height of eaves: from average grade to lower edge of the eaves:</i>	6.4 m
4.2.3.50.9	<i>Garage projection: maximum projection of the garage beyond the front wall or exterior side wall of the first storey:</i>	2.0 m
4.2.3.50.10	<i>Maximum dwelling unit depth:</i>	20.0 m

2.11.4. The intent is to remove the bulk of the existing dwelling and completely remove the metal shed next to the existing house, and to construct a new two storey single family dwelling with a three-car garage where one of the vehicles will be parked in tandem. The rear and most of the side walls will remain in place, although the window openings will be altered to suit the contemporary design of the structure. The existing septic system will be replaced with a connection to the city sanitary sewers and the footprint of the dwelling will be enlarged in the front to the prescribed 7.5 meter front yard setback. A second storey will be added to complete the form and desired living area. 74% of the available basement area will be finished. The roof and eave heights will not exceed the prescribed limits set out in the applicable zoning bylaw.

Two of the mature trees in the front yard and the cedar and hedge living screen along the street property line will be removed, replaced by groundcover and shrub landscape to transform the property from hermetic to participatory.

In the rear yard immediately behind the new dwelling, the existing swimming pool will be refurbished as will be the paved pool deck area and the masonry retaining walls. The existing tree in the vicinity of the north-east corner of the dwelling will be removed per the arborist's recommendation because it is infected by fungus. It is proposed to construct a new deck attached to the rear façade of the dwelling at the ground floor level.

The remainder of the rear yard down to the water's edge will be refurbished with reconstructed retaining walls and stepped path of the same construction

as the existing. It is proposed to replace the existing decks in this area with new decks of the same construction. Generally, the existing trees will remain with the exception of three trees that will be removed and other trees pruned as recommended by the arborist as outlined in the arborist report submitted herewith.

An overview of the proposed development is captured in the following site plans, floor plans, elevations and altered photos.

- 2.11.5. Established Long Term Stable Slope Line: prior to the sale of the subject property to the current owner, the Lilian Dimitroff Estate secured the services of Tarasick McMillan Kubicki Limited (TMKL), Ontario Land Surveyors, and Alston Associates Incorporated, Consulting Engineers, to survey and subsequently establish, based on a geotechnical investigation and a report that includes sections through the portion of the property under investigation, the location of the Long Term Stable Slope Line on the subject property. Per correspondence dated 16 March 2015 addressed to the Lilian Dimitroff Estate and copied to Alston Associates, the Credit Valley Conservation Authority (CVCA) approved the location of the Long Term Stable Slope Line as it is indicated on the Topographical Survey by TMKL dated 1 February 2016 included herein as *Figure 5*. This correspondence also states that the CVCA would support a development proposal of a second storey addition above the footprint of the existing house on the subject property. The proposed development respects and reflects the CVCA terms of approval.

- 2.11.6. Proposed development statistics:

	<u>Permitted/required</u>	<u>Provided</u>
a. Lot area:	Min. 695 m ²	2564.27 m ²
b. Lot frontage:	Min. 18.0 m	23.62 m
c. Lot coverage:	25.0 %	10.9 %
d. Front yard:	7.5 m	7.5 m
e. Garage face:	7.5 m	7.5 m
f. Side yard, first storey:	Min. 1.200 m	1.234 m
g. Side yard, second storey:	Min. 1.810 m	1.810 m
h. Rear yard:	Min. 7.5 m	87.533 m
i. Attached garage:	yes	yes
j. Garage face setback:	Min. 7.5 m	7.5 m
k. Parking spaces:	Min. 2	2+3 in garage
l. Driveway width:	up to 6.0 m	6.0 m
m. Front yard soft area:	Min. 40 %	57.6 %
n. Accessory structures:	yes	none
o. Gross floor area:	Max. 662.854 m ²	536.69 m ²
p. Highest ridge height:	Max. 9.0 m	9.0 m
q. Flat roof height:	Max. 7.5 m	7.5 m
r. Roof eave height:	Max. 6.4 m	6.4 m
s. Garage projection:	Max. 2.0 m	- 4.736 m
t. Dwelling unit depth:	Max. 20.0 m	17.024 m

2.11.7. Proposed development drawings:

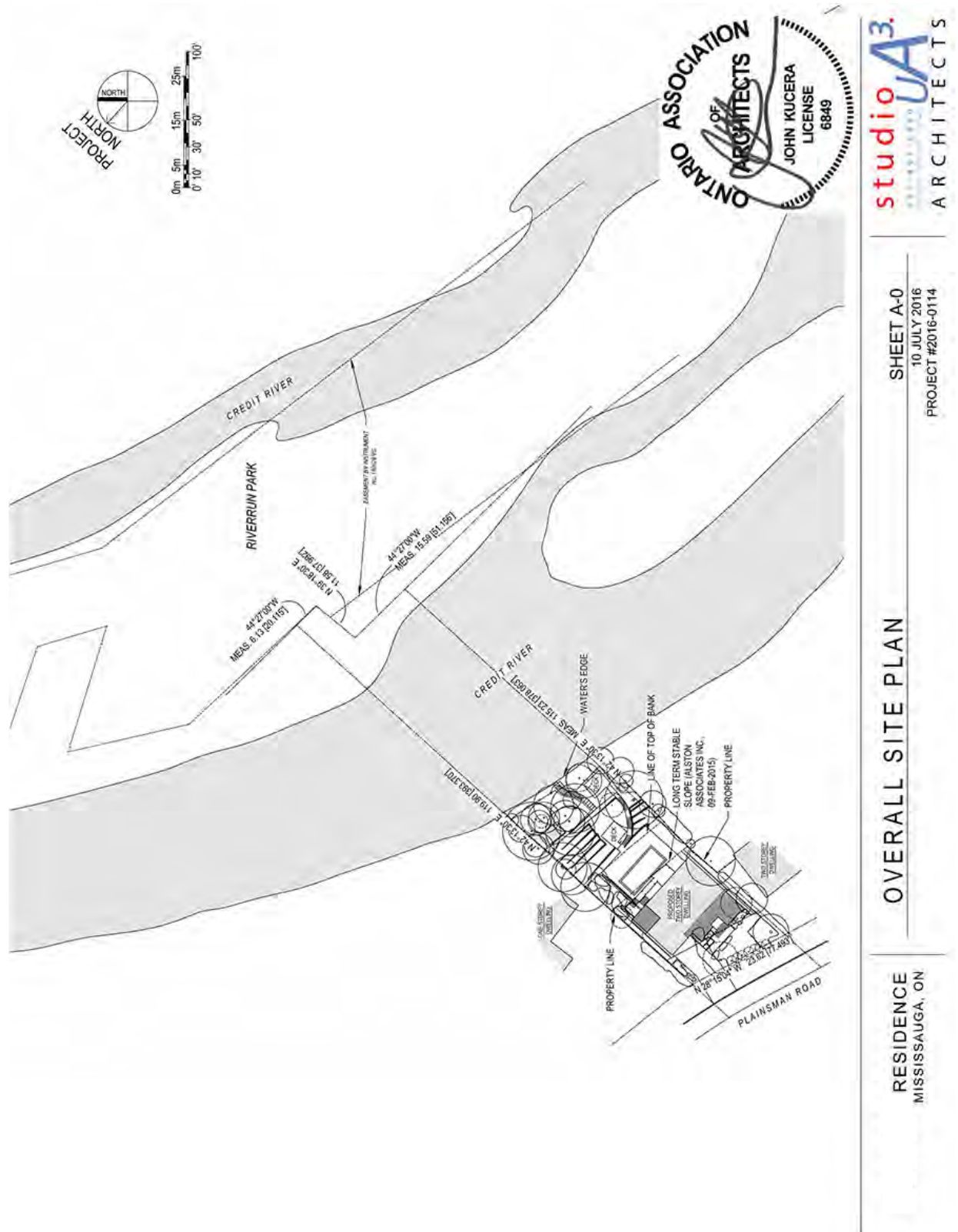


Figure 27: Proposed development - Overall Site Plan



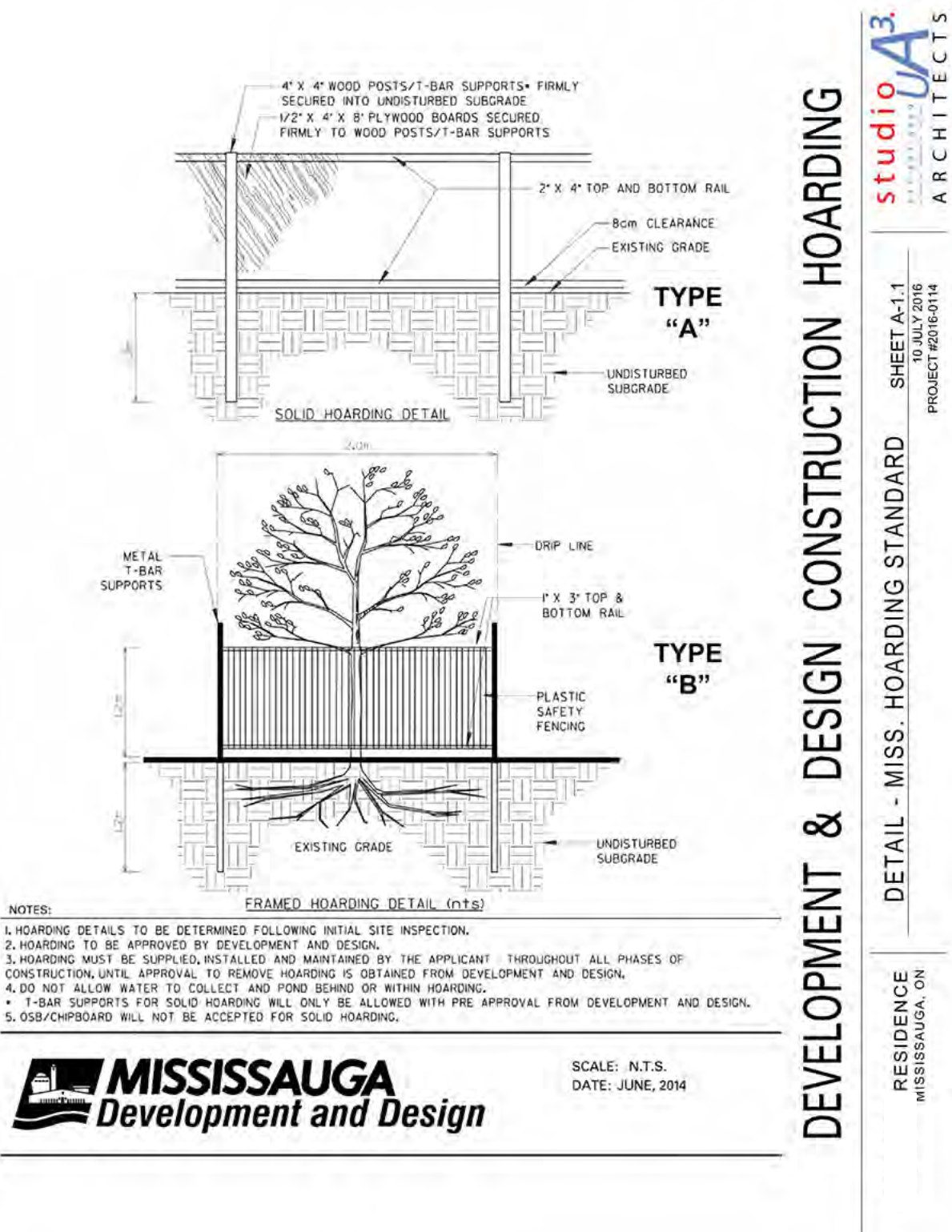
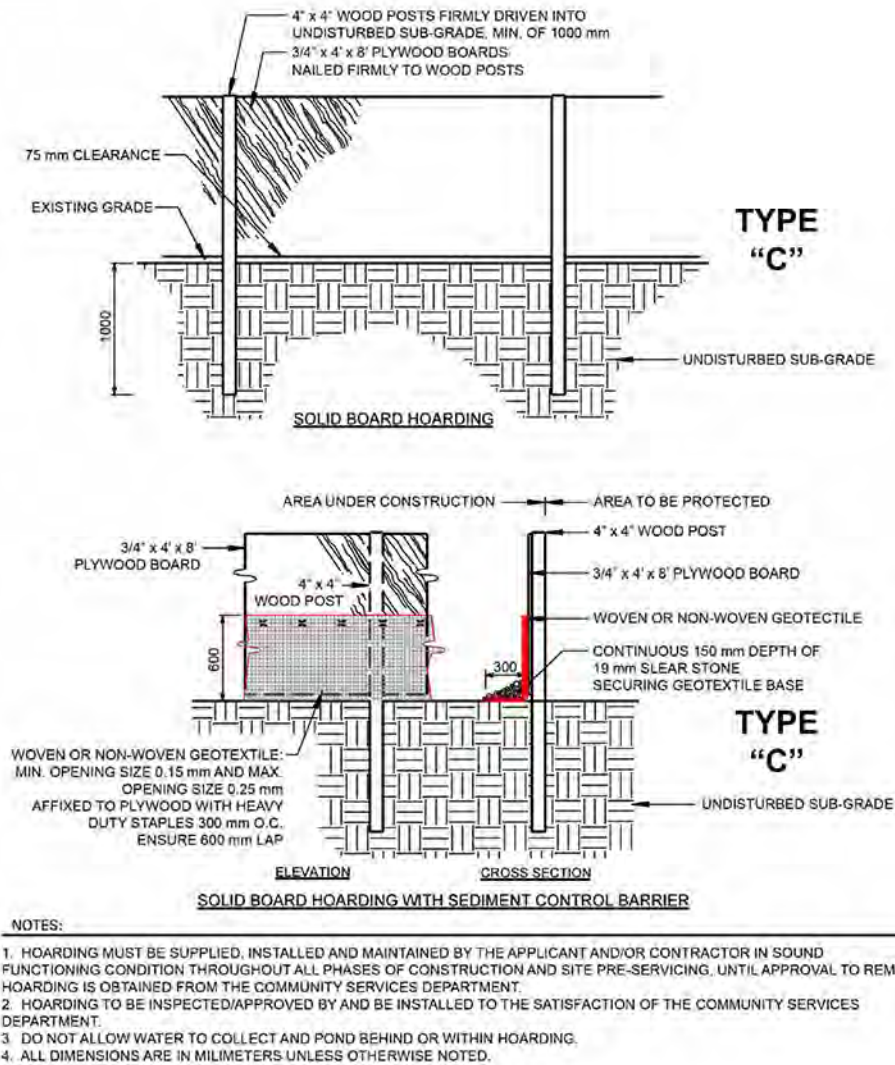


Figure 29: City of Mississauga Standard – tree protection hoarding Types A and B



SCALE: N.T.S.
 DATE: MARCH 2, 2006
 DRAWN BY: P & D
 NUMBER: 02830-2

SOLID BOARD CONSTRUCTION HOARDING

studio uA3.
 ARCHITECTS

DETAIL - MISS. HOARDING STANDARD

SHEET A-1.2
 10 JULY 2016
 PROJECT #2016-0114

RESIDENCE
 MISSISSAUGA, ON

Figure 30: City of Mississauga Standard – tree protection hoarding Types C with sediment control

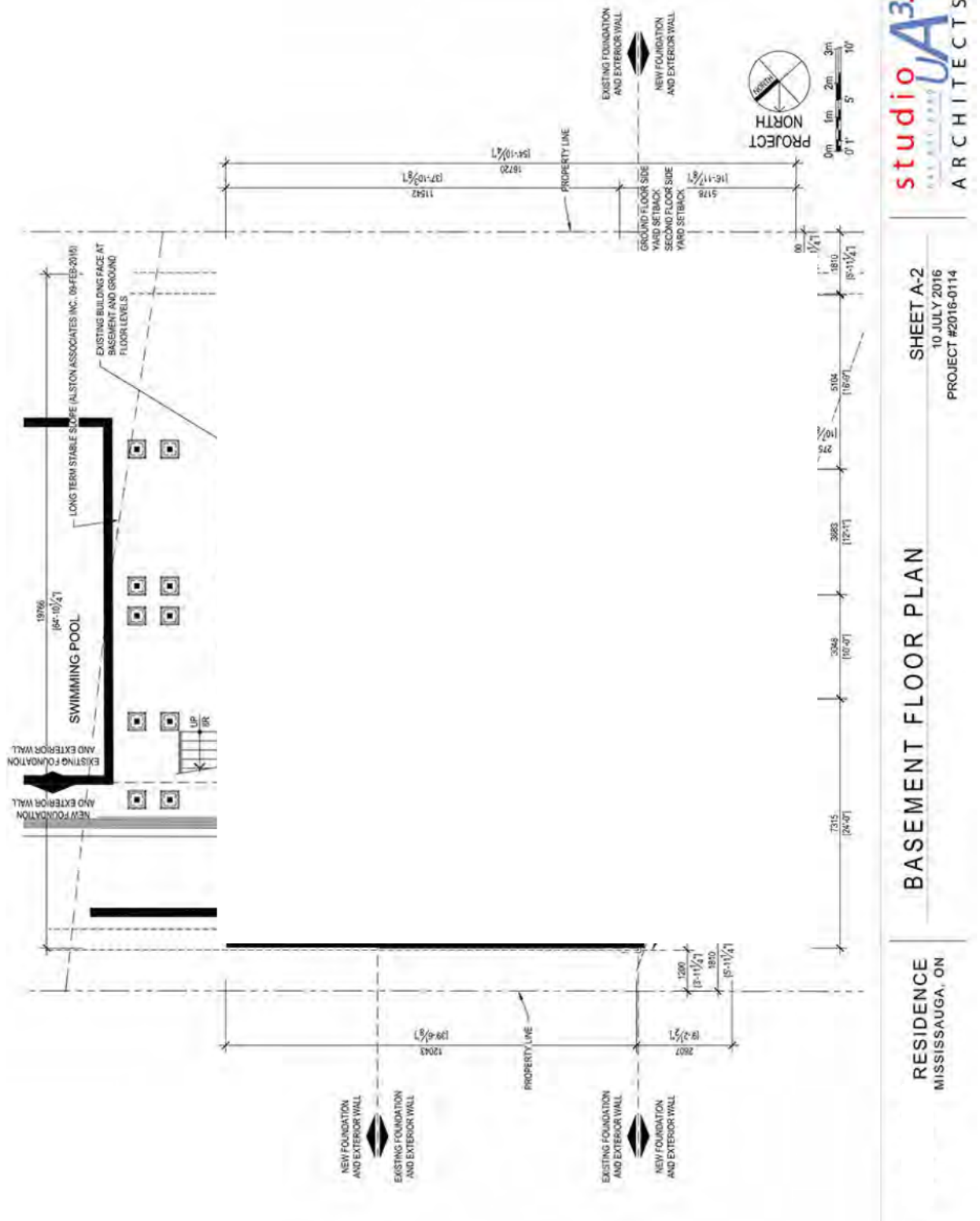
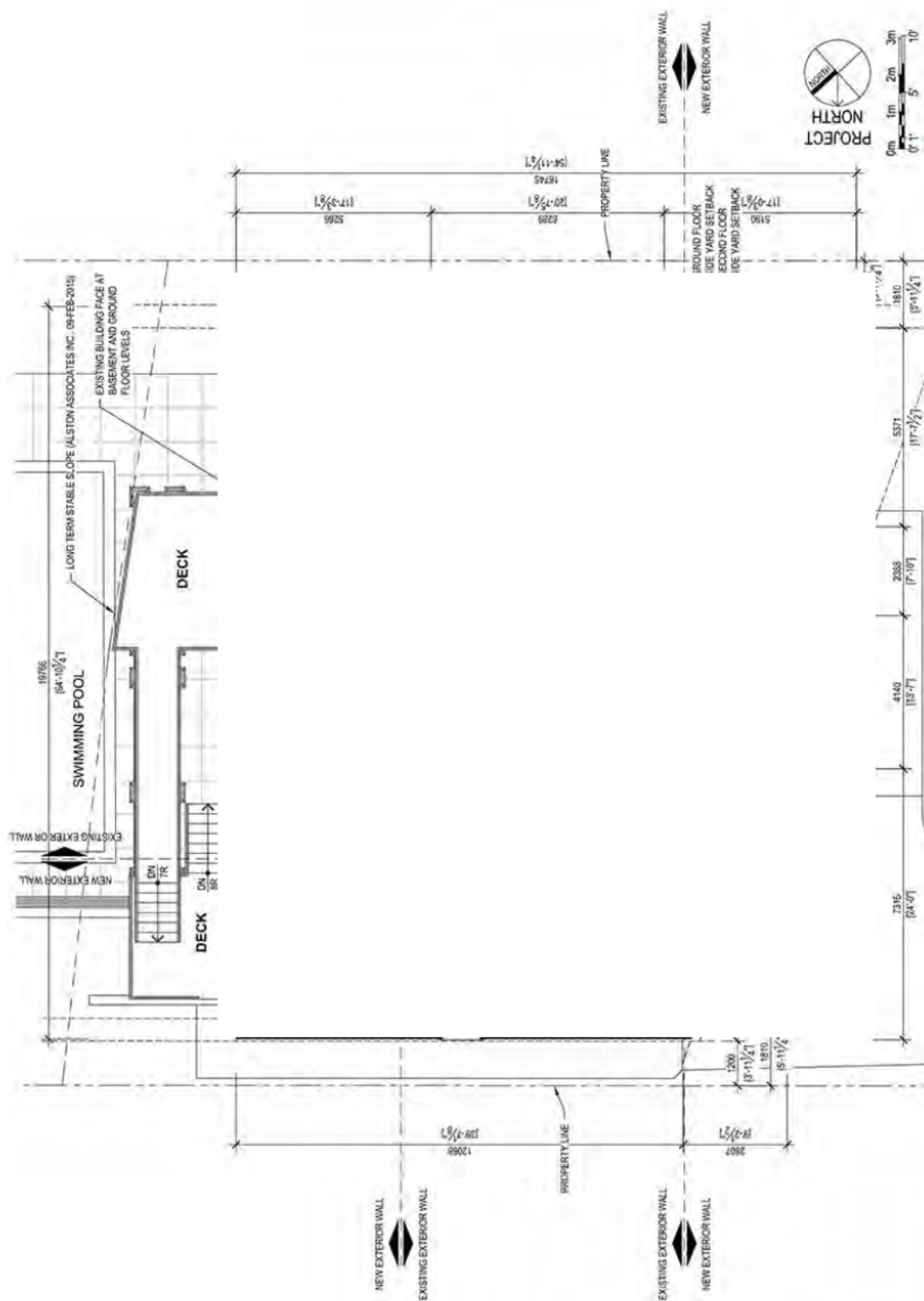


Figure 31: Proposed development - Basement Floor Plan



studio **uA3.**
 ARCHITECTS

SHEET A-3
 10 JULY 2016
 PROJECT #2016-0114

GROUND FLOOR PLAN

RESIDENCE
 MISSISSAUGA, ON

Figure 32: Proposed development - Ground Floor Plan

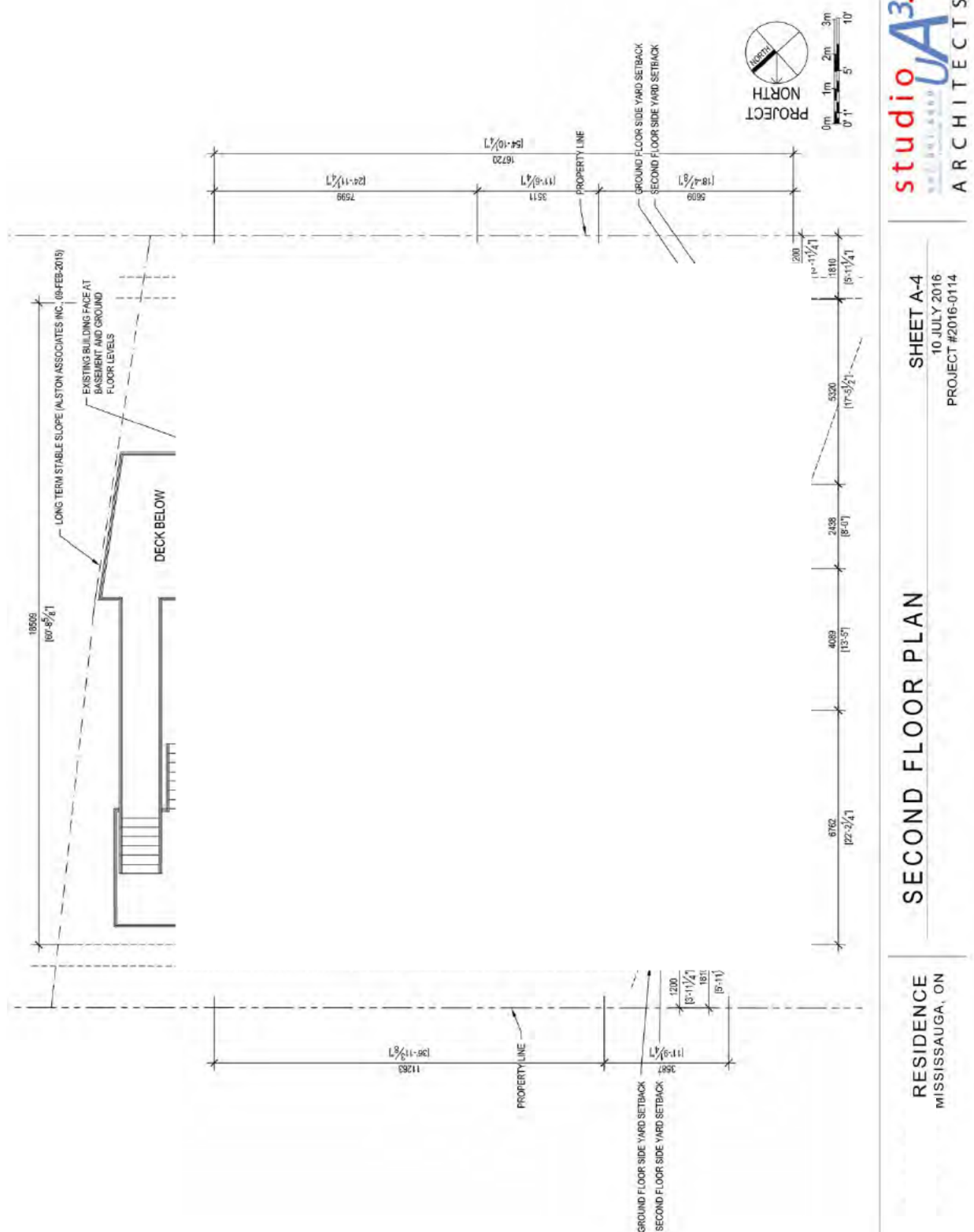


Figure 33: Proposed development - Second Floor Plan

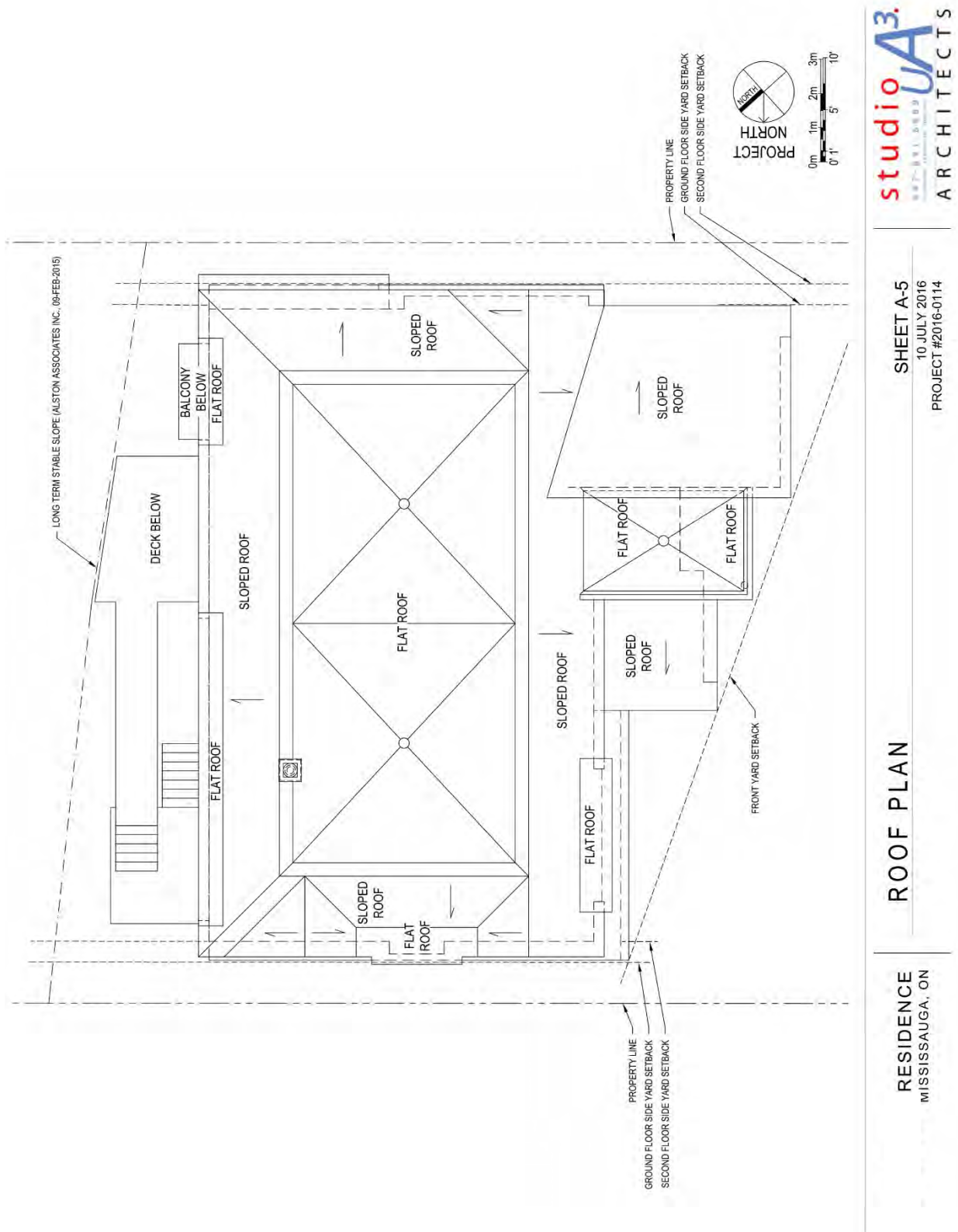


Figure 34: Proposed development - Roof Plan

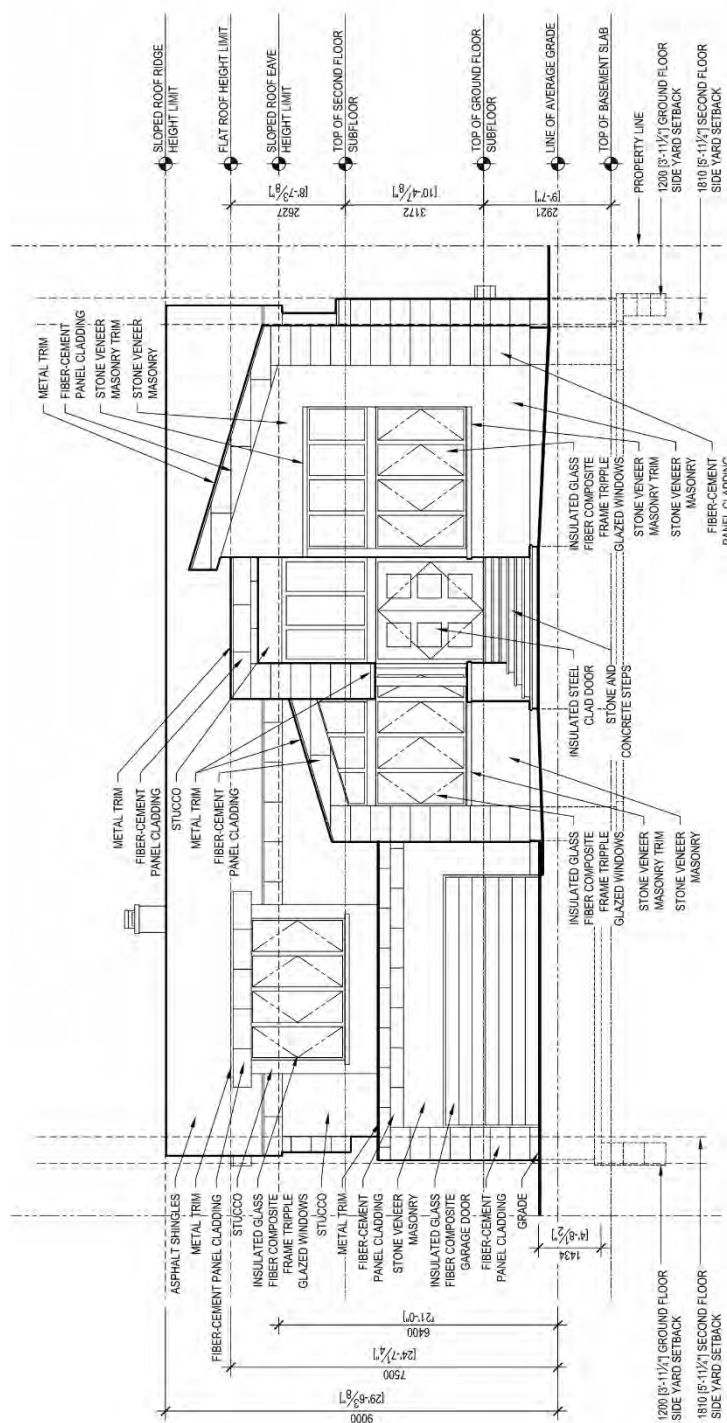
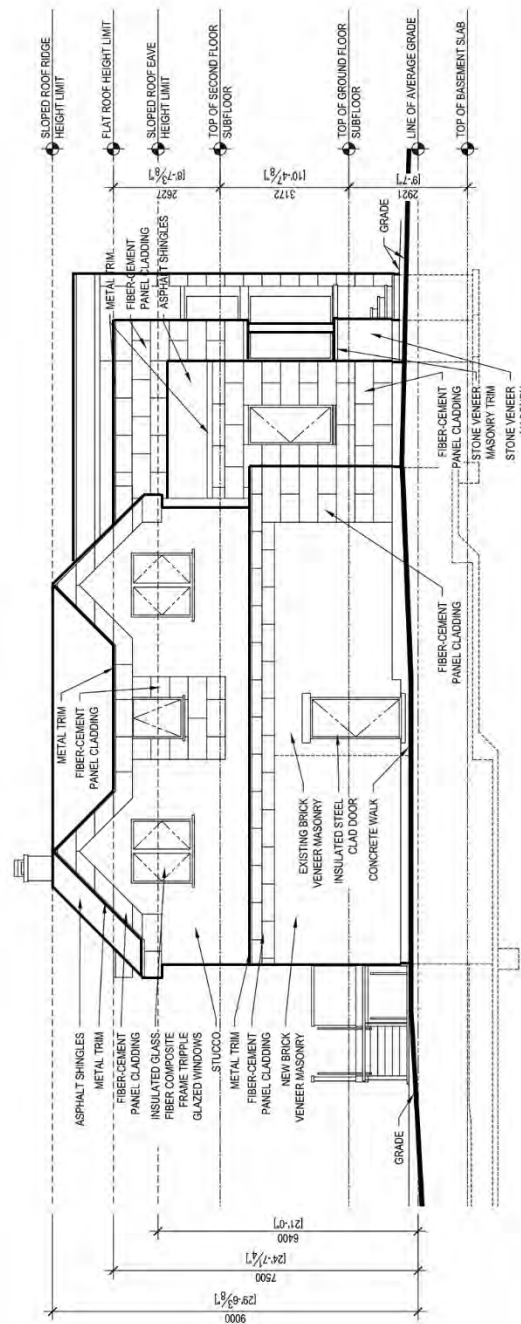


Figure 35: Proposed development - Front Elevation



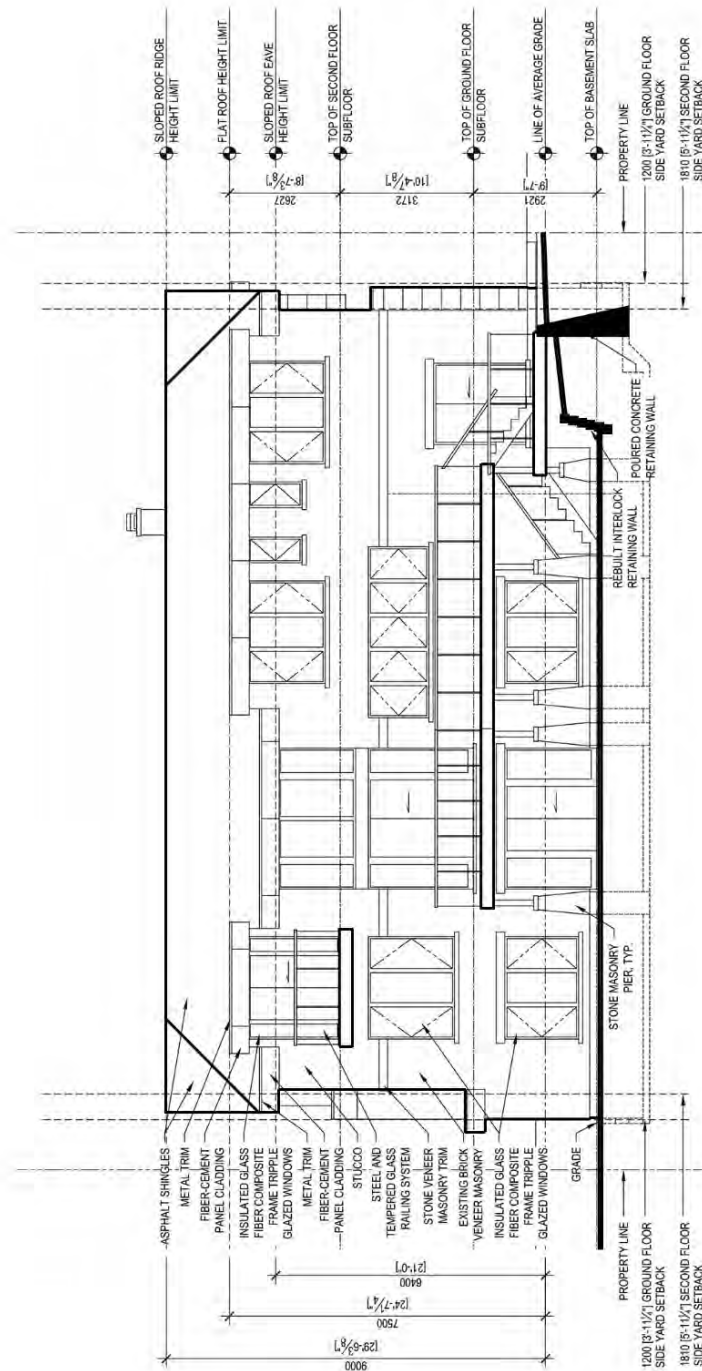
studio uA³.
 ARCHITECTS

SHEET A-7
 10 JULY 2016
 PROJECT #2016-0114

LEFT SIDE (NORTH) ELEVATION

RESIDENCE
 MISSISSAUGA, ON

Figure 36: Proposed development - Left Side Elevation



0m 1m 2m 3m
 0' 1' 5' 10'

studio **uA3.**
 ARCHITECTS

SHEET A-8
 10 JULY 2016
 PROJECT #2016-0114

REAR (EAST) ELEVATION

RESIDENCE
 MISSISSAUGA, ON

Figure 37: Proposed development - Rear Elevation



studio **UA**³.
ARCHITECTS

SHEET A-9
10 JULY 2016
PROJECT #2016-0114

RIGHT SIDE (SOUTH) ELEVATION

RESIDENCE
MISSISSAUGA, ON

Figure 38: Proposed development - Right Side Elevation

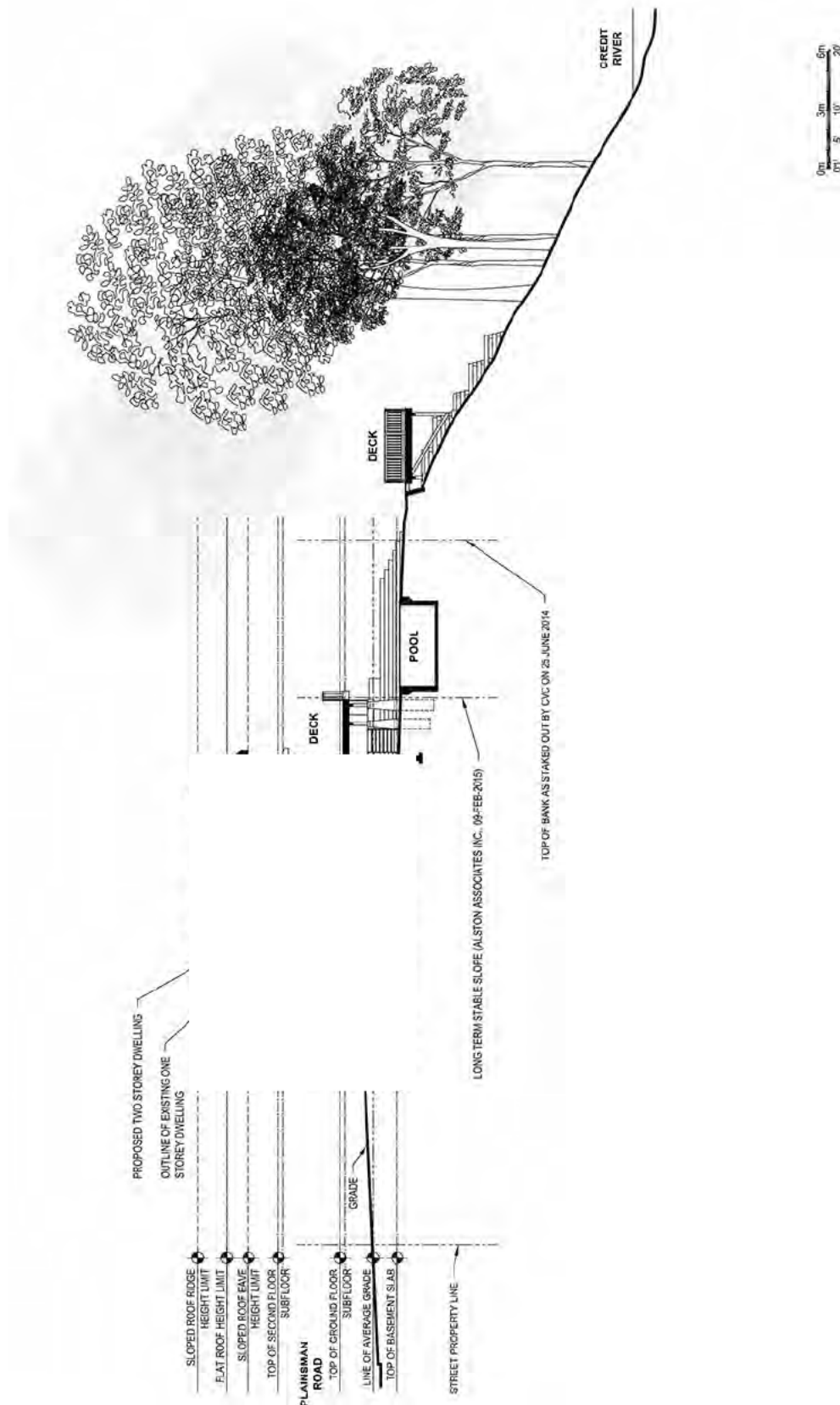


Figure 39: Proposed development - Section

2.11.8. Proposed development visual narrative:



Figure 40: Plainsman Road streetscape - panoramic view – with proposed dwelling



Figure 41: 23 Plainsman Road - proposed dwelling view



Figure 42: View of 23 Plainsman Road property from the east bank of Credit River, with proposed dwelling

3. Addressing the Cultural Landscape or Feature Criteria: the Cultural Landscape Inventory document published by the City of Mississauga Community Services in 2005 identifies the area that the subject property lies within and adjacent to as code L-NA-2, Credit River Corridor, in the Cultural Landscapes section. The property is not within nor adjacent to any codes in the Cultural Landscapes and Landmarks section of the document. Reference maps from this publication are included herein. Copies of pages 70 and 71 of the document set out the applicable criteria for the heritage impact assessment. They are:

3.1. *Landscape Environment:*

- 3.1.1. *Scenic and visual quality:* as illustrated in *Figures 24, 25, 26 and 41*, the river corridor maintains its scenic and visual quality as it passes the Plainsman Road properties on its west bank. The sloping west bank of the subject property is well treed and consistent with the numerous properties to the north and to the south. The proposed development will have a negligible if any impact because the work on the river bank within the subject property will be limited to the refurbishment and replacement in kind of the existing features only, and none of the existing trees will be removed unless specifically recommended to do so by the retained arborist. The proposed dwelling will also have negligible if any impact on this criteria as it will be well screened from view by the existing trees on the river bank slope. On the street side, the proposed development will be in balance with the adjacent properties and the overall streetscape of Plainsman Road: the roof and eave heights of the proposed dwelling are set to the limits prescribed in the applicable zoning bylaw; the present vegetation on the street property line will be reduced to permit visual contact with the proposed structure; proposed planting in the front yard will be limited to native plant groundcover to further facilitate the visual contact with the proposed structure. The subject property spans across the river to the Riverrun Park boundary on its east end. The proposed development will not effect this area in any way.
- 3.1.2. *Natural environment:* likewise, the natural environment is intact in its current form. The proposed development will have a negligible if any impact on this criteria because the work at the top and on the river bank slope within the subject property will be limited to the refurbishment and replacement in kind of the existing features. The proposed changes on the street site of the property will maintain the natural environment utilizing native species planting in a manner to be consistent with that on the adjacent properties and with the Plainsman Road streetscape in general.
- 3.1.3. *Landscape design, type and technological interest:* the current landscape design and type on the street is consistent with the adjacent properties and the Plainsman Road streetscape, and typical for suburban Mississauga in character. The river bank landscape is of natural character and consistent with the landscape on the adjacent properties and the Credit River corridor in this portion of the river course. The proposed development will not alter the character and type of the landscape on the street and the river.

3.2. *Built Environment:*

- 3.2.1. No criteria is listed.

3.3. *Historical Associations:*

- 3.3.1. *Direct association with important person or event:* there is no evidence of any important person or event having direct association with the subject property. Of course, the Credit River is associated with native people's activities that may have been intensified during the early European settlement of the region, facilitating the main trading route from the upper sections of the watershed to the trading post

established on the shore of Lake Ontario, thus being named the Credit River.

H. Rutledge, one of the early settlers in the area at the time already known as Streetsville, was the owner of a track of land that included the subject property. The evidence of the Rutledge ownership is indicated on a copy of the Map of Streetsville dated July 16th 1856 and registered as Plan No. STR-4.

Subsequently the lands were zoned and subdivided whereby the subject property was transferred to Lillian and Peter Dimitroff, and recently to the current owner, none of whom are considered to be persons of historically significant importance.

- 3.3.2. *Illustrates important phase in Mississauga's social or physical development:* the immediate portion of the Credit River Valley does not include any specific important phase in Mississauga's social or physical developments. The early and historically important settlements and physical developments have occurred to the north and further south of the subject property. Here, the river seems to have maintained its natural course from the time before and after the early European settlement to the present. The immediate neighborhood was established in the mid-1960's subdivision development phase typical of the suburban expansion of that time period in Mississauga's history.

3.4. *Other:*

- 3.4.1. *Historical and archeological interest:* the Credit River Valley is rich in history of the indigenous people and the period of settlement throughout the 19th century. Much has been documented and written about the history of this area, material that is concentrated in the Mississauga's historic archive currently housed in the Canadianna Room at the Central Library. The formalized historical accounts are compiled in publications such as Mary Manning's Street: the Man, the Family, the Village, Alan Skeoch's Mississauga, where the River Speaks, and Kathleen Hicks' Streetsville: From Timothy to Hazel. There, we will learn about the late 18 and early 19 century life of the local indigenous peoples, the initial purchase of the lands by the British Crown, Timothy Street's investment in the first land surveys, and the arrival of the first settlers in the area:

"In 1804 the government, to promote settlement in the district known as Peel County, opened a store on the spot where the river emptied into Lake Ontario. Colonel Ingersoll was put in charge, and ... successfully managed the business for years ... The river, along which ... [the Six Nations Indians] had numerous villages, served as a highway for their canoes in summer and in winter when frozen over it was an excellent road for the dog sleighs. ...

*"In 1818 the district was thrown open for settlement, and during that summer James Glendenning located and felled the first tree on the spot where Streetsville now stands. The next year ... Timothy Street ... secured from the government 1,800 acres of land ... saw the possibility of power on the river, and in 1821 built a brush dam, to furnish power for a grist-mill. A sawmill ... [was] added the next year. ... John Barnhart opened a store [Streetsville's first general store, now known as Montreal House] in 1821. Around the grist mill, sawmill and store, business collected and the village was born."*⁸

The Village of Streetsville was incorporated in 1858 with a population of 1,500 people, and became a town in 1962 with a population of 5,000. The Town of Streetsville amalgamated with the Town of Mississauga, Port Credit and portions of

⁸ The Tweedsmuir History of Streetsville, Volume 1, pg. 36

the townships of Toronto Gore and Trafalgar to form the City of Mississauga in 1974. In 2009, the population of Streetsville was recorded to be 47,327 people.

The subject property lies within the northern fringe of the Streetsville community and spans from the top of the western bank of the Credit River well across the stream to the east. When the indigenous people began to trade with the early settlers and Crown interests, the River was used by them in order to reach the Port Credit trading post, by canoe during the warm season and by dog-pulled-sled in the winter months.

There were numerous mills established on the Credit River, in Streetsville and on its south boundary. Just north of the subject property, on then the Deady property where Alpha Mills Road would have intersected and crossed the river, Alpha Mills were built. Today, that site is occupied by the spillway of the Mullet Creek Diversion system.

There are many archeological sites in Mississauga, none in the immediate vicinity of the subject property. The closest sites are located 1.2 km to the south and 0.75 km to the east, well beyond a range where the proposed development would have any impact on them. For reference, see Figure 46, a compilation map of archeological sites in Mississauga.

- 3.4.2. *Outstanding features/interest:* the section of the Credit River that lies within and adjacent to the subject property can be characterized as pastoral with no significantly outstanding features. The east shore of the river is today a public park with a meandering nature trail nestled within the overgrown shrubbery and treed base of the river. The subject property is not visible from this nature trail due to the flora of this area.
- 3.4.3. *Significant ecological interest:* the section of the Credit River that lies within and adjacent to the subject property is a contributor to the local ecology and the ecology of the region. It provides a natural habitat for Mississauga's birds, animals and insects and harbors local native flora. Salmon migrate through this area to the upper reaches of the river every year. Therefore, the proposed development is limited to the west portion of the property and any proposed work within the river bank slope will include silt fences to prevent the contamination of the river bed with eroded soil.
- 3.5. *Arborist's Report:* the section of the Credit River that lies within and adjacent to the subject property is noted for its natural environment. Therefore, an arborist's report is submitted herewith.



⁹ City of Mississauga Community Services: Cultural Landscape Inventory, January 2005, pg. 112



¹⁰ City of Mississauga Community Services: Cultural Landscape Inventory, January 2005, pg. 162



Cultural Landscape Inventory

Credit River Corridor

L-NA-2

Location The River runs north south and transects the City from the Brampton border to the Lake Ontario shoreline.

Heritage or Other Designation None

Landscape Type Natural Area

LANDSCAPE ENVIRONMENT

- ☒ Scenic and Visual Quality
- ☒ Natural Environment
- ☐ Horticultural Interest
- ☒ Landscape Design, Type and Technological Interest

HISTORICAL ASSOCIATION

- ☐ Illustrates Style, Trend or Pattern
- ☒ Direct Association with Important Person or Event
- ☒ Illustrates Important Phase in Mississauga's Social or Physical Development
- ☐ Illustrates Work of Important Designer

BUILT ENVIRONMENT

- ☐ Aesthetic/Visual Quality
- ☐ Consistent Early Environs (pre-World War II)
- ☐ Consistent Scale of Built Features
- ☐ Unique Architectural Features/Buildings
- ☐ Designated Structures

OTHER

- ☒ Historical or Archaeological Interest
- ☒ Outstanding Features/Interest
- ☒ Significant Ecological Interest
- ☐ Landmark Value





Cultural Landscape Inventory

Credit River Corridor

L-NA-2

SITE DESCRIPTION

The Credit River is 58 miles long in total and has a drainage area of 328 square miles. From south of Georgetown to Erindale, the river cuts through the boulder till of the Peel Plain and in some areas exposes the underlying Paleozoic bedrock of shales and sandstones. The River flows through a wide alluvial terrace at Meadowvale where its banks are gentle and tree covered. As it approaches the old Shoreline of glacial Lake Iroquois at Erindale it cuts deeper and deeper into the Peel Plain creating steep valley walls in excess of 75 feet deep. In several locations, such as on the former Bird property north of Burnhamthorpe, intermediate benches were formed as the water levels of the glacial lakes receded. These benches and alluvial terraces provide wonderful natural and recreational settings for trails and other recreational activities. South of the Iroquois shoreline the River cuts through the sands and boulder till of the Iroquois Plain. The last mile of the river is drowned and marshy. The wave action of Lake Ontario continues in its efforts to build a bar across the mouth of the river which is periodically removed by dredging. Despite its size, the River has had significant impact on the settlement of the area. At one time, Erindale had a mill and for a short while a small hydroelectric generating station. At Streetsville, four flour mills operated some of which remain today as modern mills. Two sawmills and a carding mill were built in Meadowvale. The banks of the river continue to be developed for attractive residential neighborhoods, parks and special uses such as the University of Toronto Erindale campus. The river provides the residents of Mississauga with a variety of recreational and educational opportunities. The Credit River Valley is the most significant natural feature remaining in the City of Mississauga. (excerpts from The Physiography of Southern Ontario)



12

¹² City of Mississauga Community Services: Cultural Landscape Inventory, January 2005, pg. 71

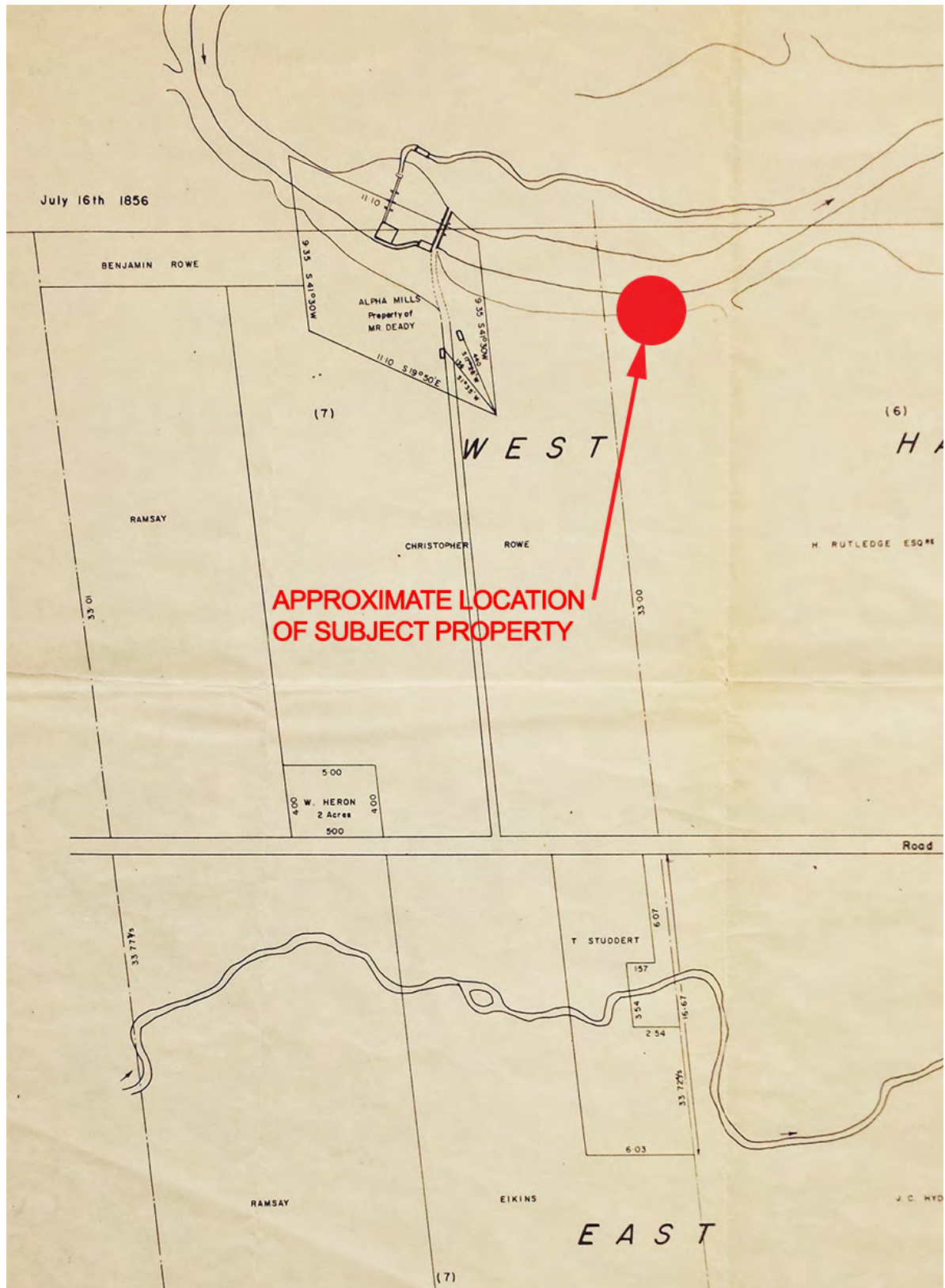


Figure 45: Part of "Map of the Village of Streetsville dated July 16th 1856 and Registered as Plan No. STR-4, annotated by Studio uA3.



Figure 46: Early Streetsville zoning map. annotated by Studio uA3.

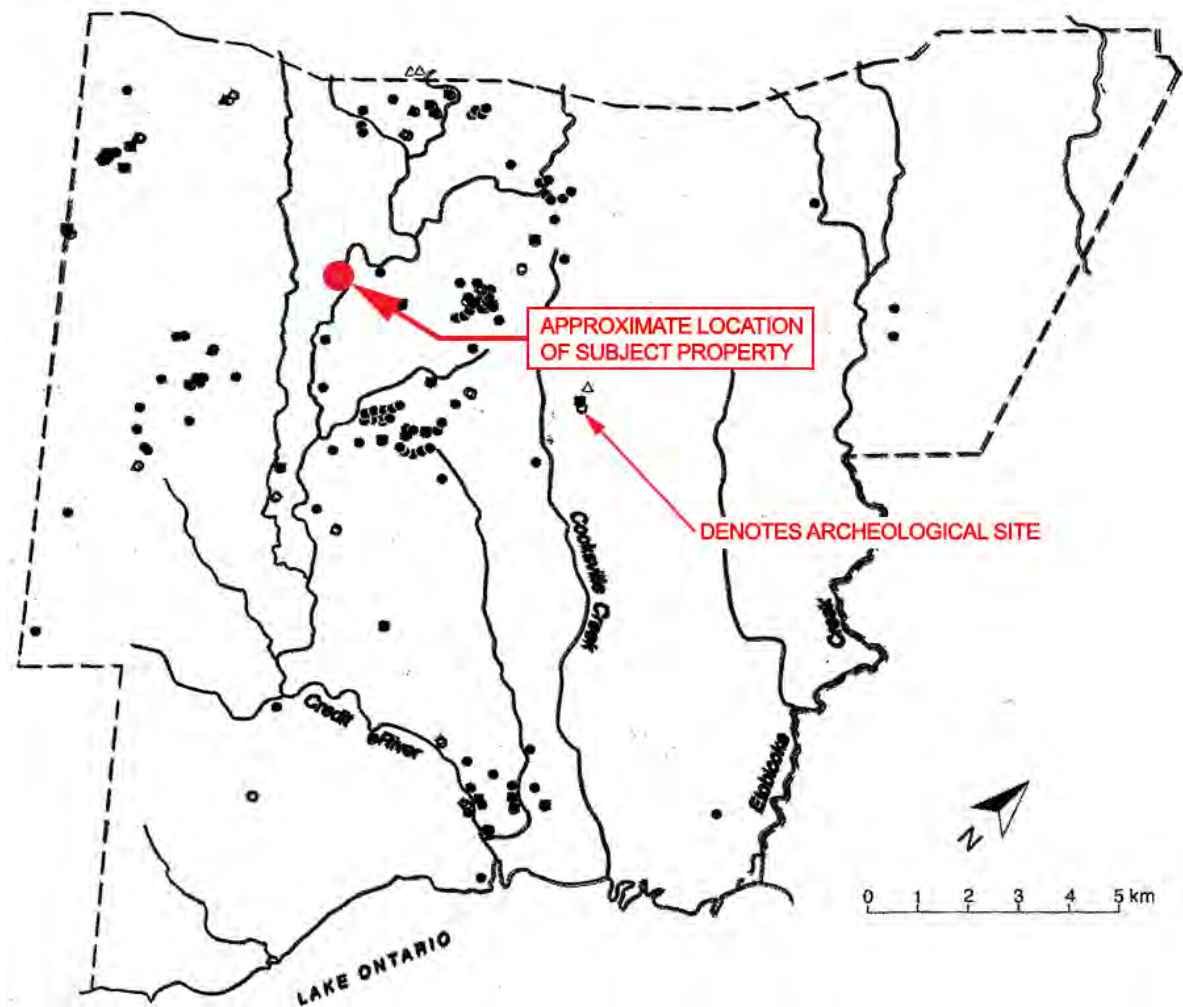


Figure 47: compilation map of pre-contact, archaic and Woodland archeological sites in Mississauga per D.G. Smith, annotated by Studio uA3.¹³

4. Property Information:

4.1. Property History:

1856	Registered Plan STR-4
15-01-1965	ST8936
31-03-2015	PR2692876
31-03-2015	PR2692974

H. Rutledge
 Peter and Lilian Dimitroff
 Lilian Dimitroff estate
 current owner

¹³ David G. Smith: Ten Thousand Years, Aboriginal Heritage in Mississauga, pp. 56, 60, 61 and 66.

Ontario ServiceOntario

LAND REGISTRY OFFICE #43

PARCEL REGISTER (ABBREVIATED) FOR PROPERTY IDENTIFIER

13203-0088 (LT)

PAGE 1 OF 2
PREPARED FOR AL
ON 2016/07/14 AT 12:40:20

* CERTIFIED IN ACCORDANCE WITH THE LAND TITLES ACT * SUBJECT TO RESERVATIONS IN CROWN GRANT *

PROPERTY DESCRIPTION: PT LT 91 PL 548 STRETSVILLE AS IN S78936 : MISSISSAUGA

PROPERTY REMARKS:
ESTATE/QUALIFIER:
PER SIMPLE
LT CONVERSION QUALIFIED
OWNERS' NAMES
BASHEER, NAJAT

RECENTLY:
RE-ENTRY FROM 13203-0525

CAPACITY SHARE
ROWN

PIN CREATION DATE:
1999/03/08

REG. NUM.	DATE	INSTRUMENT TYPE	AMOUNT	PARTIES FROM	PARTIES TO	CERT / CHED
<p>**EFFECTIVE 2000/07/29 THE NOTATION OF THE "BLOCK IMPLEMENTATION DATE" OF 1996/11/19 ON THIS PIN**</p> <p>**WAS REPLACED WITH THE "PIN CREATION DATE" OF 1999/03/08**</p> <p>** PRINTOUT INCLUDES ALL DOCUMENT TYPES AND DELETED INSTRUMENTS SINCE: 1999/03/08 **</p> <p>**SUBJECT, ON FIRST REGISTRATION UNDER THE LAND TITLES ACT, TO:</p> <p>SUBSECTION 44(1) OF THE LAND TITLES ACT, EXCEPT PARAGRAPH 11, PARAGRAPH 14, PROVINCIAL SUCCESSION DUTIES *</p> <p>AND ESCHEATS OR FORFEITURE TO THE CROWN.</p> <p>THE RIGHTS OF ANY PERSON WHO WOULD, BUT FOR THE LAND TITLES ACT, BE ENTITLED TO THE LAND OR ANY PART OF</p> <p>IT THROUGH LENGTH OF ADVERSE POSSESSION, PRESCRIPTION, MISDESCRIPTION OR BOUNDARIES SETTLED BY</p> <p>CONVENTION.</p> <p>ANY LEASE TO WHICH THE SUBSECTION 76(2) OF THE REGISTRY ACT APPLIES.</p> <p>**DATE OF CONVERSION TO LAND TITLES: 1999/03/09 **</p>						
ST8936	1965/01/15	TRANSFER		*** DELETED AGAINST THIS PROPERTY ***	DIMITROFF, PETER DIMITROFF, LILLIAN	C
172057426	2000/03/27	NOTICE		HER MAJESTY THE QUEEN IN RIGHT OF THE DEPARTMENT OF TRANSPORT CANADA		C
PR2692876	2015/03/31	TRANSMISSION-LAND		*** COMPLETELY DELETED *** DIMITROFF, LILLIAN DIMITROFF, PETER	CAMERON, ELLEN DIMITROFF, LILLIAN-ESTATE	C
PR2692574	2015/03/31	TRANS PERSONAL REP	\$900,000			C

NOTE: ADJOINING PROPERTIES SHOULD BE INVESTIGATED TO ASCERTAIN DESCRIPTIVE INCONSISTENCIES, IF ANY, WITH DESCRIPTION REPRESENTED FOR THIS PROPERTY.
NOTE: ENSURE THAT YOUR PRINTOUT STATES THE TOTAL NUMBER OF PAGES AND THAT YOU HAVE PICKED THEM ALL UP.

Figure 48: abbreviated Parcel Register

5. Impact of Development or Site Alteration: the description of the potential negative impacts and assessments of the proposed site alteration are:

- | | | |
|-----|--|--|
| 5.1 | Destruction of any, or part of any, significant heritage attributes or features: | No impact |
| 5.2 | Removal of natural heritage features, including trees: | Minimal, see Arborist Report recommendations |
| 5.3 | Alteration that is not sympathetic, or is incompatible, with the historic fabric and appearance: | No impact |
| 5.4 | Shadows created that alter the appearance of a heritage attribute or change the viability of an associated natural feature, or plantings, such as a garden: | No impact |
| 5.5 | Isolation of a heritage attribute from its surrounding environment, context or a significant relationship: | No impact |
| 5.6 | Direct or indirect obstruction of significant views or vistas within, from, or of built and natural features: | No impact |
| 5.7 | A change in land use where the change in use negates the property's cultural heritage value: | No impact |
| 5.8 | Alterations must be consistent with the retention of the appearance of Streetsville to ensure that the character of this part of Mississauga remains intact: | No impact |

6. Mitigation Measures:

6.1. Alternative development approaches:

- 6.1.1. Alternative approach A: the most environmentally sustainable approach is to do nothing in order to maintain the subject property in a condition that represents the least impact on the cultural heritage resource: the natural environment of the Credit River corridor. The "do nothing" line was crossed long time ago when the subject property was first altered as a part of the land subdivision in the early 1960's. To continue to "do nothing" will perpetuate the state of dereliction of the structures on the property and its economic value.
- 6.1.2. Alternative approach B: to refurbish the existing structures and infrastructure on the subject property will require a significant amount of economic resources spent on gutting the house and upgrading the envelope with insulation, upgrading the plumbing, electrical and HVAC systems, replacing exterior doors and all windows, rebuilding and finishing of the gutted interior, replacing the roof, replacing the septic system with a connection to the sanitary sewer, refurbishing the deteriorating swimming pool, pool deck and retaining walls and decks in the river bank slope. On completion, the result may be satisfactory to meet the lifestyle exceptions of the 1960's rather than the requirements and expectations of a contemporary 2016 lifestyle. The shortfall in meeting the 2016

lifestyle expectations does not justify the commitment of the economic resources that would be required.

- 6.1.3. Alternative approach C: to add a second storey onto a refurbished one storey structure represents similar commitments and results outlined in Alternative B above, with the added expense of structural modifications to the existing structure and foundations. On completion, the result will fall short of the 2016 lifestyle expectations that cannot not justify the commitment of the economic resources that would be required.
- 6.1.4. Alternative approach D: the proposed development includes the strategies put forward in Alternative B above yet resolves the key issue: to meet the 2016 lifestyle expectations as a result of the commitment of the economic resources required to meet the goal. It is proposed to gut the existing structure, upgrade the systems, improve the exterior envelope, and add living areas and contemporary energy efficient exterior envelope where the structure is increased in size and height.
- 6.2. Isolating development and site alteration from the significant built and natural heritage features and vistas: it is not desirable to isolate the proposed development from the surrounding build environment, but rather to fit in and complement it. The proposed development is designed to be within the setback and height limits determined by the city bylaw, including the more stringent height limits of this R2-50 Exception zone. The front yard planting modifications remove the excessive natural screen so that the new development participates in the Plainsman Road streetscape. In the rear, the new development is adequately isolated from the natural heritage vistas by the existing significant forestation of the river bank slope. The stringent height limits are met so that the new development is subordinate to the height of the natural environment.
- 6.3. Design guidelines that harmonize mass, setback, setting and materials: as set out in the zoning bylaw for this R2-50 Exception zone, the overall height of the proposed development is limited below the heights permitted in the R2 zone. The setbacks are also established by the applicable zoning bylaw. The exterior materials of the new development are limited to natural stone, existing face brick, stucco, fiber-cement board cladding and asphalt shingles on the roof, in colors that blend into the natural environment and those used on houses within the neighborhood.
- 6.4. Limiting height and density: the proposed development meets the height limits set out in the zoning bylaw. The R2-50 Exception zone is specifically identified as an infill exception in Article 4.2.3 of the applicable zoning bylaw. The proposed development remains to be a single family dwelling in compliance with the zoning bylaw.
- 6.5. Allowing only compatible infill and additions: the proposed development meets the infill and addition limits set out in the applicable zoning bylaw.
- 6.6. Reversible alterations: the proposed development does not include reversible strategies as they would be absolutely impractical.

7. Qualifications:

Architect John Kucera, OAA, MRAIC

Education:

Master of Architecture (with Honors and AIA Silver Medal for Academic Achievement),
 Rhode Island School of Design, 1996

Bachelor of Arts, Interior Design, Ryerson Polytechnical University, 1987

Diploma, Architectural Technician (with Honors), Humber College of Applied Arts and Technology, 1974

Accreditation and Memberships:

Present:

Licensed Architect, Ontario

NCARB Certified Architect

Member, Ontario Association of Architects (OAA)

Member, Royal Architectural Institute of Canada (RAIC)

Member, Mississauga Board of Trade

Member, Oakville Chamber of Commerce

Member and Immediate Past-president, Streetsville Club, Rotary International

Professional Experience:

2010 – Present Principal, Studio uA3, Mississauga (Streetsville), ON

2009 – 2010 Architect, Ware Malcomb Architects, Vaughan, ON

2007 – 2009 Architect, DiLeonardo International, Warwick, RI, USA

1996 – 2006 Architect, Shepley Bulfinch Richardson and Abbott, Boston, MA, USA

1991 – 1993 Vinick Associates Incorporated, Hartford, CT, USA

1989 – 1991 Frank Nicholson Incorporated, Concord, MA, USA

1986 – 1989 DiLeonardo International, Warwick, RI, USA

1976 – 1986 Principal, John Kucera & Associates, Toronto, ON

Selected Projects with Heritage/Historic Content:

- Historic residence alterations and addition, consulting, Timothy Street House, 41 Mill Street, Streetsville, ON
- Group Home expansion, 361 Queen Street South, Streetsville, ON
- Building and site alterations, conversion of a residential dwelling to a commercial building to house retail and office space, 13 Thomas Street, Streetsville, ON
- Renovation and adaptive reuse, Steam Whistle Brewing Co., Toronto, ON
- Major expansion (7,500 sq. ft.) of residence incorporating an existing designated house in historic village, Bordin Residence, Kleinburg, ON
- Restoration and renovation of a historic building, The Roosevelt Hotel, New York, NY
- Renovation of a historic building, Beekman Towers Hotel, New York, NY
- Restoration and adaptive reuse, 18th century front façade, 12th century rear facade, Ritz-Carlton Hotel, Prague, Czech Republic
- New building in historic district, Ritz-Carlton Hotel, Aspen, CO, currently St. Regis Aspen
- Renovation and adaptive reuse in historic building, Campus Bookstore and Café, Rollins College, Winter Park, FL
- New building in historic context, Cornell Campus Center, Rollins College, Winter Park, FL
- New building in historic context, Science Teaching Laboratories, Agnes Scott College, Decatur (Atlanta), GA

- New Student Commons addition to a historic building, Sterling Library, Yale University, New Haven, CT
 - Renovation and new entrance to a historic building, Sterling Undergraduate Library, Yale University, New Haven, CT
 - Restoration and major expansion in historic precinct of the campus, Higgins Hall Science Laboratories, Boston College, Boston, MA
 - Restoration and adaptive reuse in historic district, Kirshaw Penthouse at the Hampshire House, Beacon Hill, Boston, MA
 - Addition to a historic residence, Roberts Residence, Redbank, NJ
 - Addition to a historic residence, Schilling Residence, Redbank, NJ
 - Renovation in historic building, DYLEX Headoffice, Tip Top Taylors Building, Toronto, ON
 - Renovation in historic building, Intermart - MacLaren Communications, Headoffice, Toronto, ON
 - Renovation of historic building in historic district, Wilson's of Wickford, Wickford, RI
8. Recommendation: does the property meet the criteria for heritage designation under the Ontario Regulation 9/06, Ontario Heritage Act?:
- Ontario Regulation 9/06 states: *"A property may be designated under Section 29 of the Act if it meets one or more of the following criteria for determining whether it is of cultural heritage value or interest:*
- "1. The property has design value or physical value because it is a rare, unique, representative or early example of a style, type, expression, material or construction method, displays a high degree of craftsmanship or artistic merit, or demonstrates a high degree of technical or scientific achievement.*
- "The property has historical value or associative value because it, has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community, yields, or has the potential to yield, information that contributes to an understanding of a community or culture, or demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.*
- "The property has contextual value because it, is important in defining, maintaining or supporting the character of an area, is physically, functionally, visually or historically linked to its surroundings, or is a landmark."¹⁴*
- The subject property, in its current condition, has value in the context of the criteria as it is applicable to the Cultural Landscape Inventory code L-NA-2 of the Credit River valley addressed above.
- "2. If the subject property does not meet the criteria for heritage designation then it must be clearly stated as to why it does not."¹⁵*
- The subject property, in its current condition, has value in the context of the criteria as it is applicable to the Cultural Landscape Inventory code L-NA-2 of the Credit River valley addressed

¹⁴ Ontario Regulation 9/06, Ontario Heritage Act, Section 29

¹⁵ Ibid

above.

“3. Regardless of the failure to meet criteria for heritage designation, does the property warrant conservation as per the definition in the Provincial Policy Statement. Conserved: means the identification, protection, use and/or management of cultural heritage and archaeological resources in such a way that their heritage values, attributes and integrity are retained. This may be addressed through a Conservation Plan or Heritage Impact Assessment.”¹⁶

The subject property, in its current condition, has value in the context of the criteria as it is applicable to the Cultural Landscape Inventory code L-NA-2 of the Credit River valley addressed above, and presented here in this Heritage Impact Statement.

The redevelopment of the subject property will have no negative impacts on the historic character, the scenic qualities, and any other criteria applicable to the Credit River Corridor.

The Credit River Corridor has developed into a diverse community attractive to people looking for larger lots centrally located within Mississauga that can accommodate new custom built homes. The older homes of this area are nearing the end of their life cycle and the market has recognized the need for renewal. The evident trend in this area is the demolition of the older homes and their replacement with larger homes of contemporary design that meet the needs of a changing society.

The existing house at 23 Plainsman Road was built as a raised bungalow with a basement walkout. It has undergone various interior renovations since then to see it significantly modified from the original design. It is our position that the existing house does not have any heritage features or qualities that should be considered for preservation. The replacement of the existing house with a new structure and partially supported on the existing structure will be in keeping with the evolution of the community and at the same time will not impact on the heritage character of the area that resulted in its Significant Cultural Landscape designation.

9. Approval Process: three copies of this Heritage Impact Statement are here submitted to the Heritage staff along with a PDF soft copy, all in 8.5" x 11" format. In addition, same number of copies of the drawings of existing conditions and the proposed development are submitted in 11" x 17" format, for the purpose of legibility, and three copies of the Arborist's Report in 8.5" x 11" format are included for completeness. It is understood that the Heritage staff will ensure that copies are distributed to the Planning and Building Department and relevant staff and stakeholders within the City Corporation. It is further understood that this Heritage Impact Statement will be reviewed by the City staff to determine whether all requirements have been met and will evaluate the presented option. The applicant will be notified of staff's comments and acceptance or rejection of this report.

It is understood that this Heritage Impact Statement, when accepted, will become a part of further processing of a development application under the direction of the Planning and Building Department, and that the recommendations within the final approved version of the Heritage Impact Statement will be incorporated into development related legal agreements between the City and the proponent at the discretion of the municipality. It is assumed that the same terms will apply to the review by the Credit Valley Conservation Authority.

¹⁶ Ontario Regulation 9/06, Ontario Heritage Act, Section 29

10. References:

- 10.1. Culture Division, Community Services Department, City of Mississauga: City of Mississauga Heritage Impact Assessment Terms of Reference, City of Mississauga, 2014.
- 10.2. Culture Division, Community Services Department, City of Mississauga: Cultural Landscape Heritage Impact Assessment (HIA) Terms of Reference, City of Mississauga, 2014.
- 10.3. Mary E. Manning: Street: the Man, the Family, the Village, Streetsville Historical Society, 1983
- 10.4. Pan-Canadian Collaboration: Standards and Guidelines for the Conservation of Historic Places in Canada, Second Edition, www.historicplaces.ca, 2010
- 10.5. HPI Nomination Team at University of Waterloo: Ontario Architecture Style Guide, Heritage Resource Centre, 2009
- 10.6. Ontario Heritage Trust: Eight Guiding Principles in the Conservation of Historic Properties, Ontario Heritage Trust, www.heritagetrust.on.ca, 2012
- 10.7. Ontario Heritage Trust: Conservation Plans for Heritage Properties, Ontario Heritage Trust, www.heritagetrust.on.ca, 2012
- 10.8. Smith, David G., Ten Thousand Years: Aboriginal Heritage in Mississauga. IN Mississauga: The First 10,000 Years, edited by Frank A. Dieterman, pp.55-71. Toronto: Eastend Books. © The Mississauga Heritage Foundation Inc., 2002.
- 10.9. The Tweedsmuir: The Tweedsmuir History of Streetsville, Volume 1.
- 10.10. _: Through a century with Streetsville, 1859-1959, A Souvenir of the Centennial Celebration, 1959
- 10.11. Alan Skeoch: Mississauga, where the River Speaks, _
- 10.12. Kathleen A. Hicks: Streetsville: From Timothy to Hazel, _
- 10.13. _: Village of Streetsville, Souvenir Program, Coronation celebration, 1953
- 10.14. _: Historical Atlas of Peel County, Ontario, Walker & Miles, 1877
- 10.15. _: A Guide to Woodland Plants in the Credit River Watershed, Credit Valley Conservation, _

This Heritage Impact Statement is respectfully submitted by:

Studio uA³.



Architect John Kucera, OAA, MRAIC

jkucera@studioua3.com

647/891-6889

Heritage Impact Statement

**23 Plainsman Road
Mississauga, ON**

APPENDIX 1: Arborist Report

Studio UA³.

ARCHITECTS

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29 August 2016

ARBORIST REPORT

PROPOSED RESIDENTIAL DWELLING FOR 23 PLAINSMAN ROAD, MISSISSAUGA

Prepared For:

**23 Plainsman Road
Mississauga, ON L5N 1C4**

Prepared By:

**Goran Olbina
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(905) 756-4611**

**Project No:
16129**

**Revised August 25, 2016
August 18, 2016**

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1.0 INTRODUCTION

ArborFront Consulting has been retained by _____ to prepare an Arborist Report and Tree Protection Plan for the site located at 23 Plainsman Road.

We have been advised by the project Architect, Mr. John Kucera of studio uA³ Architects that the subject site is to be developed into a new two storey dwelling. The site has an in-ground pool in the backyard that is to be refurbished and a septic system in the front yard that is being removed as part of the proposed construction. In the backyard, the aluminum shed closest to the house will be removed, and the other timber shed on the Credit River bank slope will remain as is. The existing retaining walls, timber decks and stair systems from the top of bank in the backyard down to the edge of the Credit River will all be replaced in kind. The trees involved with this project are regulated under the City of Mississauga's Private Tree Protection By-law No. 0254-2012. The site is also under the regulatory jurisdiction of the Credit Valley Conservation Authority (CVC) as the subject site and proposed construction limits borders the Credit River. No work is proposed in the Credit River bed or on the east side of the river.

The purpose of this report is to inventory and assess the condition of trees involved with the proposed project, and determine if they will be suitable for preservation. The report outlines the tree preservation requirements and mitigation measures for trees to be retained. Trees recommended for removal will also be identified. Recommendations will be given based on tree condition, analysis of the existing site, and review of the proposed site plan made available to us.

2.0 FIELD OBSERVATIONS

The subject property is on the east side of Plainsman Road. It is bounded by existing residential lots to the north and south. The easterly property boundary extends across the Credit River and borders City of Mississauga parkland. See Figure 1, Key Plan.

The site and field observations were made on August 2nd, 2016 by I.S.A. Certified Arborist, Goran Olbina of ArborFront Consulting. There was no construction activity on the site. The site has an existing single family dwelling and paved asphalt driveway. The front yard contains a septic bed, three (3) Austrian pine, shrub hedges including a cedar hedge bordering the west property line and Plainsman Road Right-of-Way.

In the backyard there is an existing hard surface paved area surrounding an in-ground pool, and metal shed at the top of the slope. The sloped area of the backyard contains a series of tiered retaining walls and steps in both timber and precast concrete materials. There are also two timber decks and another timber shed in the sloped area of the backyard. The paved areas, retaining walls, steps, decks, and sheds are all in a varying states of disrepair, rot, and/or failure. There is also a chain link fence bordering the north and south property lines contained mostly in the backyard.

The majority of the trees encountered were located in the backyard of the subject site and along both neighbouring residential property lines to the north and south. There are no City-owned trees in the boulevard adjacent to the subject site.

There were no tree species encountered on site that were listed under the Canadian Species At Risk Act, 2002 or the Ontario Endangered Species Act, S.O. 2007.

The majority of trees were native Ontario tree species. The native species consisted of Red Oak (*Quercus rubra*), White Ash (*Fraxinus americana*), Basswood (*Tilia americana*), and Black Walnut (*Juglans nigra*). The non-native species consisted of Austrian Pine (*Pinus nigra*), Norway Maple (*Acer platanoides*), Shubert Chokecherry (*Prunus virginiana* 'Schubert'), Crab Apple (*Malus spp.*) and Cedar (*Thuja spp.*).

The general condition of most of the trees is fair. There were a few trees having some structural defects. Seven (7) trees encountered within our scope of work can be classified as dead, dying or hazardous.

3.0 METHODOLOGY

A total of thirty-five (35) individual trees and one (1) grouping of trees were inventoried for this report. This inventory includes all trees greater than or equal to 10 cm DBH on the site, within approximately six meters of neighbouring properties and any sized trees on the adjacent City owned boulevard. Private trees less than 10 cm DBH on the subject site, and shrubs were not inventoried, but may have been shown on the accompanying Tree Protection Plan.

The topographical survey plan, dated February 1, 2016 was prepared by Tarasick, McMillan Kubicki Limited, and the Site Plan, dated July 10, 2016 was prepared by Studio uA³ Architects. The information from these plans was used as a base for the preparation of a Tree Protection Plan accompanying this report. Trees #401 to 419 were physically tagged in the field. Tree Group A, and trees #N1 to N16 were not physically tagged in the field. We have added the approximate locations of trees #419, N2, N3, N4, N5, N6, N7, N8, N9, N11, N12 and N16 on the Tree Protection Plan based on field observations.

The trees that were inventoried for this report have been fully assessed documenting tree number, species, ownership, condition (structure & health), and size using standard arboriculture procedures approved by the International Society of Arboriculture (I.S.A.). The caliper (diameter) of each tree was measured at 1.4 metres above existing grade using a caliper tape and recorded in centimetres (cm) as Diameter at Breast Height (DBH).

The other information gathered from field observations to aid in assessing the tree protection and/or preservation measures may have included any of the following, but not restricted to: tree height, crown spread, age, predicted longevity, health, form, proximity to construction activity, elevation of tree base, lowest elevation of crown branches, crown structure if trees are closely spaced, and overall landscape value.

4.0 TREE INVENTORY AND ASSESSMENT

The tree inventory and assessment is provided in chart form (Refer to Appendix A). We understand the City of Mississauga uses the tree's drip line (or canopy diameter) to establish the limits of the tree protection zone. While this standard is followed where possible, the minimum tree protection zone (TPZ) radius based on trunk diameter is also provided for all trees as the drip line distance cannot be achieved in all cases. Trees recommended for removal are based on tree condition, analysis of the existing site conditions, and the proposed construction works. Site photographs are illustrated in Figure 2. Refer to the Tree Protection Plan for specific tree locations and approximate canopy distribution.

A brief explanation of the assessment categories follows:

Tree Number: This number refers to the identification number assigned to the tree and corresponding number on the Tree Protection Plan indicating location of the tree.

Owner: The inventoried trees were placed into one the following categories:

- P Private client owned tree
- N Neighbour (private) owned tree
- SN Shared ownership with neighbour (private)
- M Municipal tree on boulevard
- M1 Municipal / Public tree in park, open space, or naturalized area
- SM Shared ownership with Municipality / Public Agency

Common Name: The common name is provided for each tree. "Snag" is indicated if the tree is unidentifiable due to its dead condition.

Botanical Name: The Latin name or botanical name is provided for each tree. "Snag" is indicated if the tree is unidentifiable due to its dead condition.

DBH: This refers to the Diameter at Breast Height of the tree (in centimetres) and is measured at 1.4 meters above the ground for each tree.

Canopy Diameter: This is an estimated diameter of the tree canopy measured in metres.

TPZ: Tree Protection Zone – These are the minimum distances required to protect a tree to be preserved. TPZ distances (in metres) are to be measured from the outer edge of the tree base towards the drip line and may be limited by an existing paved surface, provided that surface remains intact throughout the site alteration.

Condition: This is an assessment of both the structure and health of the tree.

Structure: This component of condition is an assessment of the roots (visual above ground), trunk, scaffold branches, and canopy of the tree for any defects or

weaknesses. The presence of any fruiting bodies is also considered in this category. This is measured on a scale of dead (D), poor (P), fair (F), good (G).

Health: This component of condition is an assessment of the canopy vigour, and assesses the amount of deadwood and live growth in the crown as compared to a 100% healthy tree. Other considerations in this category are the size, colour, amount of foliage, insects, disease and any pathological concerns. This is measured on a scale of dead (D), poor (P), fair (F), good (G).

Comments: These are specific and relevant comments related to the structure or health of the tree and related field observations.

Recommendation: This is the recommendation whether to protect or remove the tree based on all assessment categories and proposed development information provided.

5.0 RECOMMENDATIONS

The recommendations in this section were determined after review of the condition of the trees, analysis of the existing site conditions, and proposed construction works.

5.1 Trees to be Preserved

The tree preservation and protection measures section of this report provides guidelines and specifications for the protection of trees and the activities that will be unacceptable in tree preservation areas.

All protected trees are to be crown cleaned. Remove any hangers. Prune any dead, broken, or diseased branches, and any interfering branches to the satisfaction of the City of Mississauga and Applicant's on-site Arborist. Also any branches of protected trees that will be interfering with construction access are to be pruned to allow for construction clearance of approximately 2.4m from the ground.

Twenty-six (26) trees are suitable for protection considering the condition, species tolerance to construction impact and the proposed construction works of the subject site. These trees have the following numbers: 402, 404, 406, 408-414, 416-418, N1-N4, N7, and N9-N16. Install 1.2m high solid board tree protection hoarding on private property and to maintain sightlines it is recommended that the tree protection fencing within the City road allowance is 1.2m high plastic orange snow web fencing as shown on the Tree Protection Plan.

From the list of trees to be protected above, there are fourteen (14) trees that may be injured due to the proposed construction works. The injuries should be minor to moderate in nature and mostly related to access within tree drip lines to perform removals, reinstate/replace existing decks, retaining walls, stairs, paving,

and excavations required. The placement of the tree protection fencing is limited for all fourteen (14) trees to allow for construction access and construction works to take place. Where construction access is necessary outside of the established tree hoarding, but still under the drip line of the tree canopies or minimum TPZ distances (whichever is greater), apply a temporary 150mm (6") depth layer of mulch over existing grade. This will mitigate compaction of the soil which is detrimental to the health of trees. After construction is completed the mulch may be removed or redistributed in planting bed areas.

The injuries to these fourteen (14) trees will be to a portion of the root systems within the minimum tree protection zones (TPZ's), or above ground parts of the trees. These trees have the following numbers: 404, 406, 408-413, N1-N2, and N13-N16. An exploratory dig, either by hand, Airspade technology, or low water pressure hydrovac method, must be completed prior to commencing with open face cuts outside of the established TPZ hoarding limits. Note that any excavations by hand, Airspade, or using low water pressure hydrovac outside the established tree hoarding, but still under the drip line of the tree canopies or minimum TPZ distances (whichever is greater) are to be conducted only under the direct supervision of a Certified Arborist (Applicant's on-site Arborist) and City Forestry staff must notified in advance of any such procedures and on the day of the procedures as well so they may attend the site to view roots prior to pruning. After the exploratory digs exposing the intact roots outside the TPZ has occurred, and prior to root pruning, the qualified arborist on site must assess the abundance of larger sized roots (5 cm and larger diameter) and the abundance of smaller roots that need to be pruned to facilitate the construction works. If it is determined by the qualified arborist on site that too many of these larger sized roots (5 cm and larger diameter) or an abundance of smaller roots need to be pruned that will either compromise the structural integrity of the tree or lead to the decline in health of the tree then further discussion between the applicant's arborist and City Forestry staff is required prior to root pruning to determine if the entire tree should be removed or if root pruning can be performed.

All necessary root pruning is to occur outside of the established hoarding limits. These trees are to be root pruned using acceptable arboricultural standards by a qualified arborist or approved tree care professional prior to commencement of excavation or grading works. Do not leave any roots exposed for longer than 4 hours. Refer to the Tree Protection Plan accompanying this report which shows the limits of hoarding which is within a portion of the minimum TPZ's for these trees to allow for the proposed construction works.

The following are specific additional recommendations for certain trees.

Tree #N1, approximately 14% of the minimum required TPZ will be affected by the proposed construction. Conduct an exploratory dig outside the established tree hoarding and conduct root pruning as described above prior to any open face excavation.

Tree #N2, canopy branches overhanging the subject house are to be pruned for clearance to allow for second storey height of new house. The pruning is to be performed by a qualified Arborist using good arboricultural practice.

Tree #404, tree hoarding close to this tree is left open to allow access to the base of this tree as the existing retaining wall is next to it. Apply a temporary 150mm (6") depth layer of mulch under the canopy of this tree where construction access will be necessary as described above. Careful removal and installation of new retaining wall is to be done by hand or hand-held tools, and avoid mechanical injury to the trunk or supporting buttress roots of the tree. Placement of new retaining wall to be in the same general area to avoid grade changes as tree root systems may be damaged or severed. The same precautions are to be taken when replacing the stairs under the canopy of this tree. Materials used for the retaining walls and steps are to be either timber or precast concrete units that do not require deep footings or require extensive excavations to avoid damaging root systems.

For all trees to be protected in the backyard on the subject site and on neighbouring properties for which retaining walls and stairs will be removed and replaced, the same recommendations and precautions will apply as noted for tree #404. During removals of the retaining walls and stairs and associated excavations for the bases of the new structures that are under the drip line canopies of the trees or minimum TPZ distances (whichever is greater) are to be conducted only under the direct supervision of a Certified Arborist (Applicant's on-site Arborist) qualified in assessing root damage and conducting root pruning. This is especially important for when working around trees #404 and #410 as the retaining walls are next to the trunks of the trees.

Tree #406, apply a temporary 150mm (6") depth layer of mulch under the canopy of this tree outside of the established tree hoarding where construction access will be necessary as described above. If the existing concrete footings for the deck must be removed, they are to be done carefully by hand-digging or hand-held tools. New deck footings, if required, are to utilize helical piers instead of poured sono-tube concrete footings. This will limit root damage compared to the usual drilling of holes and ripping or pulling roots out with soil.

Tree #414, a large main stem has snapped and is left hanging but still attached in the canopy approximately 6.5m from the ground. This is a dangerous tree part which is recommended to be pruned to eliminate the potential injury to people. The pruning is to be performed by a qualified Arborist using good arboricultural practice.

The City of Mississauga takes no responsibility for the protection of trees on adjacent properties. The owner of the subject site is to take all reasonable steps to minimize the disturbance to all adjacent tree root zone(s) that are within the subject site.

5.2 Trees to be Removed

There are a total of nine (9) individual trees and one (1) tree grouping recommended for removal because of their condition (dead, dying, or hazardous) or they will be in conflict with the proposed development and associated grading/servicing works. These trees are as follows: private trees #401, 403, 405, 407, 415, 419, Group A, N5, N6, and N8.

The reasons for removal of these trees are further discussed below:

- Tree #401 will have approximately 35% of its root system removed/affected due to excavations required for the removal of the existing septic bed, installation of a new paved walkway, and portion of asphalt driveway to be resurfaced. New services will also be aligned through the front yard of the site. This tree will not survive the construction impacts.
- Tree Group A (7 Cedar hedge) will be necessary to remove to open up the view to the new front entrance of the house as a safety concern – Crime Prevention Through Environmental Design (CPTED). New services will also be aligned through the front yard of the site.
- Tree #403 will be in direct conflict with the new house extension.

The following seven (7) trees can be classified in the category of dead, dying, or hazardous:

- Trees #405, 407, and N8 are all Ash infected with varying degrees of Emerald Ash Borer (EAB) and are dying. These trees should be removed to prevent a dangerous failure and to prevent EAB from spreading to other Ash trees.
- Tree #419 has 90% deadwood, and is infected with black knot fungus. This tree should be removed to prevent a dangerous failure, and it is not viable to maintain.
- Trees #415, N5 and N6 are all 100% dead and should be removed.

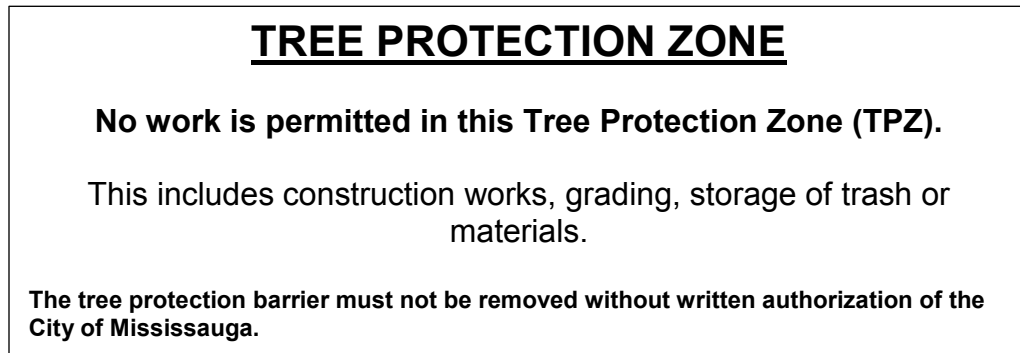
6.0 TREE PRESERVATION AND PROTECTION MEASURES

- The following tree preservation and protection measures will be undertaken to help eliminate and/or significantly reduce construction injury to all trees recommended for protection. All temporary tree protection measures cited for retained trees must comply with the City of Mississauga Development and Design Construction Hoarding Detail (See Appendix B – Tree Protection Details).

6.1 Pre-Construction Phase

- Obtain all necessary authorization from adjacent landowners in writing where applicable prior to commencement of any tree removals, or tree work on any parts of trees that may be shared including, but not limited to roots, canopy, trunk, etc., any removals of existing fencing, or any other construction related activities necessary for the project.
- Prior to construction, the trees to be preserved shall be protected with a tree protection barrier. The barrier shall consist of a 1/2" thick, 8'x4' plywood hoarding secured firmly to wood posts.
- Within a City road allowance when visibility is a consideration, 1.2m (4 ft.) high orange plastic snow fence on 2" x 4" frame should be used.
- If applicable, attach a filter cloth 600mm high to the construction side of the hoarding to act as sediment control. Sediment control fencing per OPSD-219.110, and installed to the satisfaction of the City of Mississauga.
- All supports and bracing used to safely secure the barrier should be located outside the Tree Protection Zone (TPZ). All supports and bracing should minimize damage to roots.
- The fence is to be installed along the edge of the tree protection zones. This hoarding is to remain in place and remain in good condition throughout the entire duration of the project. Dismantling the tree protection barrier prior to approval by the City of Mississauga staff may constitute a contravention to the City of Mississauga By-law or permit issue.
- The applicant shall notify the City of Mississauga to confirm that the tree protection barriers are in place.
- Where some fill or excavated material must be temporarily located near a TPZ, a wooden barrier must be used to ensure no material enters the TPZ.
- Remove any garbage and foreign debris from the tree protection zones.
- For the trees that were recommended for removal and/or crown pruning that are within the TPZ limits, these activities are to be performed by a qualified Arborist prior to the installation of the tree protection zone barriers and prior to the commencement of any construction activities. Install the tree protection zone barrier as per municipal standards at the limits indicated in this report after the tree removal and crown pruning activities are completed.
- Only if required by the City of Mississauga - a **TREE PROTECTION ZONE** sign must be mounted on all sides of a tree protection barrier for the duration of site construction. The sign should be a minimum of 40cm x 60cm and made of

white gator board or equivalent material. The sign must contain the same notes and be similar to the illustration shown below or as directed by the City of Mississauga.



- All contractors should be informed of the tree preservation and protection measures at a pre-construction meeting.

6.2 During Construction Phase

- All areas within the protective hoarding shall remain undisturbed for the duration of construction. There will be no grade changes, dumping, and storage of any materials, structures or equipment within these areas. The tree protection barrier must not be removed without written authorization of the City of Mississauga.
- Minor grading works will be permitted at the edge of the preservation zone as required to correct localized depressions adjacent to the new development. This work to be undertaken under the direct supervision of a Certified Arborist.
- A qualified Arborist will undertake proper root pruning in accordance with acceptable arboriculture practices when and if roots of retained trees are to be exposed, damaged, or severed by construction work. The exposed roots will be backfilled with appropriate material as soon as possible to prevent desiccation. Root pruning prior to excavation will help prevent unnecessary damage to tree roots. The use of Hydrovac or Airspade technology to expose roots is recommended.
- No cables, wire or ropes of any kind shall be wrapped around or installed in trees to be preserved.
- No contaminants will be dumped or flushed in the TPZ areas or where feeder roots of trees exist (generally beyond the TPZ areas).
- Irrigate tree protection zones during drought conditions, June to September to reduce drought stress.

- Inspect the site daily to ensure hoarding is in place and in good condition. Inspect trees to monitor condition.

6.3 Post Construction Phase

- Following the completion of all site works, and after review and approval by the City of Mississauga staff, the protective hoarding may be removed.
- After removal of the protective hoarding, the tree preservation areas shall be inspected by the City of Mississauga staff. Any remaining dead, diseased, or hazardous limbs or trees are to be removed by a qualified Arborist as directed by City of Mississauga staff.
- Inspect trees two times per year, May and September to monitor condition for a minimum of two years.

6.4 Planting / Landscaping

- Any planting or landscaping completed within the tree protection zones, after construction is completed and hoarding has been removed, must not cause damage to any of the trees or their roots. The trees must be protected for the same reasons listed above but without the use of hoarding.
- No grade changes are permitted which include adding and/or removing soil.
- No excavation is permitted within the Tree Protection Zone (TPZ). Only individual holes carefully hand dug for new planting of trees and shrubs will be permitted.
- No heavy equipment can be used within the TPZ so as to prevent soil compaction.

7.0 CONCLUSION

A total of thirty-five (35) individual trees and one (1) grouping of trees were inventoried for this report. All trees are privately owned. Nineteen (19) individual trees #401-419 and one (1) tree Group A are all on the subject property. Sixteen (16) individual trees #N1-N16 are border trees either completely on neighbouring properties, or have shared ownership. There are no City of Mississauga owned trees located on the boulevard adjacent to the subject site.

On the subject property, it will be necessary to remove two (2) individual trees #401, 403, and one (1) tree Group A (7 Cedar hedge) to facilitate the proposed construction works and associated new services. It is also recommended to remove four (4) individual trees #405, 407, 415, and 419 on the subject site as they are classified under the category (dead, dying, or hazardous). For border trees on neighbouring properties, it is recommended to remove

three (3) individual trees #N5, N6, and N8 as they are classified under the category (dead, dying, or hazardous).

Twenty-six (26) trees in total are recommended to be protected and are broken down as follows:

On the subject property, five (5) trees #402, 414, 416, 417, and 418 will retain 100% of the minimum TPZ. For border trees on neighbouring properties or shared ownership trees, seven (7) trees #N3, N4, N7, N9, N10, N11, and N12 will retain 100% of the minimum TPZ.

The remaining fourteen (14) trees may all receive minor to moderate injuries to root systems and/or parts of trees due to the close proximity of construction works to the trees and construction access necessary for the works. On the subject property, eight (8) trees #404, 406, 408, 409, 410, 411, 412, and 413 may be injured. For border trees on neighbouring properties or shared ownership trees, eight (8) trees #N1, N2, N13, N14, N15, and N16 may be injured.

With the above in mind, it is my opinion, that if the above recommendations for tree protection measures are implemented, the affected trees should recover from their injuries and the proposed construction should not adversely affect the long-term health, safety and condition of all trees scheduled for protection.

The inspection of the trees was made using accepted arboriculture practices and is limited to visual examination. There was no climbing, probing, coring, dissection and detailed root examination involving excavation. While reasonable efforts have been made to assess trees in this report, there is no guarantee offered, or implied that these trees or any of their parts may have problems or deficiencies that may arise in the future. Trees are living organisms and their health and vigour change over time and are subject to changes in site and weather conditions. As such trees should be re-assessed periodically.

The determination of ownership of any subject tree(s) is the responsibility of the landowner(s). Any civil or common-law issues, which may exist between property owners with respect to trees, must be resolved by the owner(s). Any recommendations to remove or protect tree(s) does not grant permission to encroach in any manner onto adjacent private properties.

The assessments made in this report are valid at the time of inspection.

Prepared by:

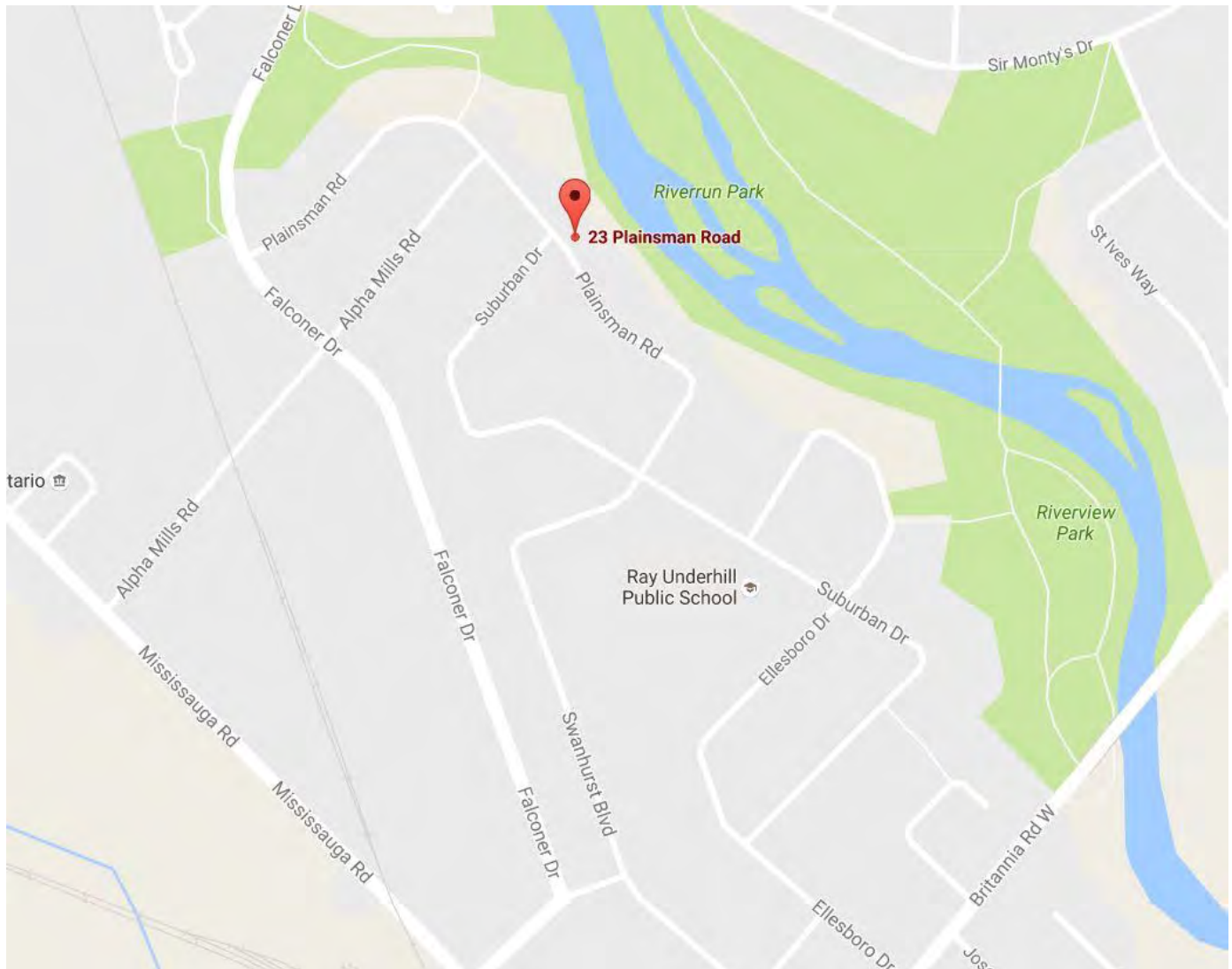
ARBORFRONT CONSULTING



Goran Olbina, OALA, ISA, BHA
ISA Certified Arborist #ON-1249A

Figure 1: Key Plan

North direction is straight up, and the key plan is not to scale.



The location of the site is highlighted with a red point. (Source Google Maps)

Figure 2: Photographs



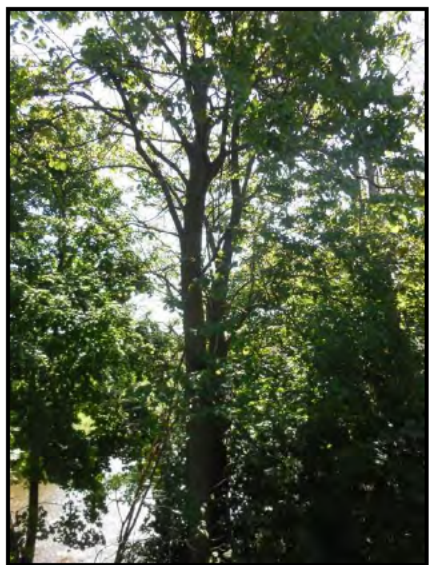
Tree #401



Tree #402



Tree #403



Tree #404



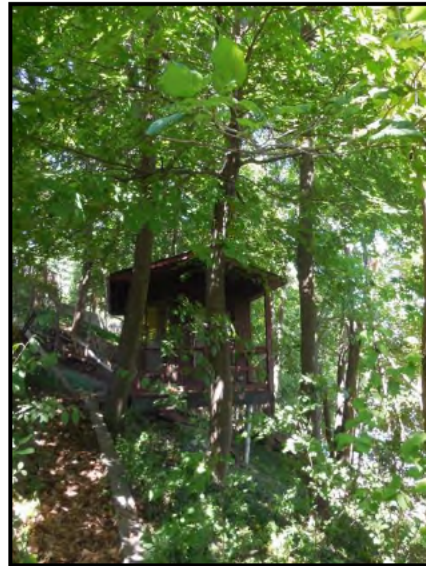
Tree #405



Trees #406-407 (Right to Left)



Trees #408-409 (R-L)



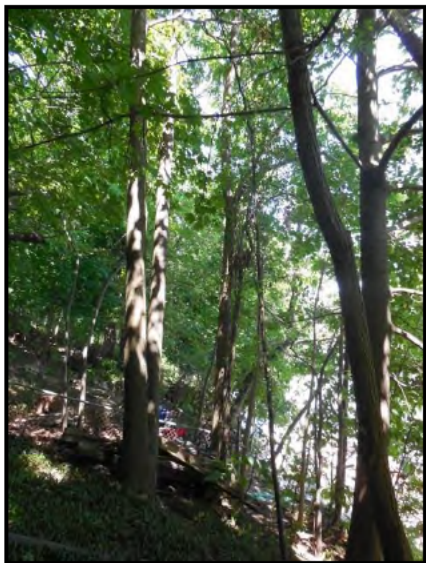
Trees #410-412 (L-R)



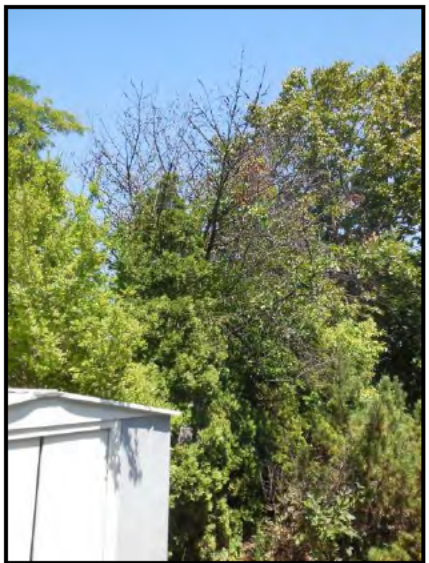
Tree #413



Trees #414-417 (R-L)



Tree #418



Tree #419



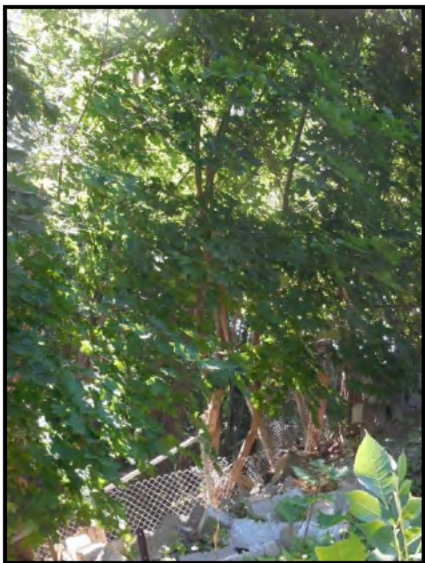
Tree #N1



Tree #N2



Tree #N3



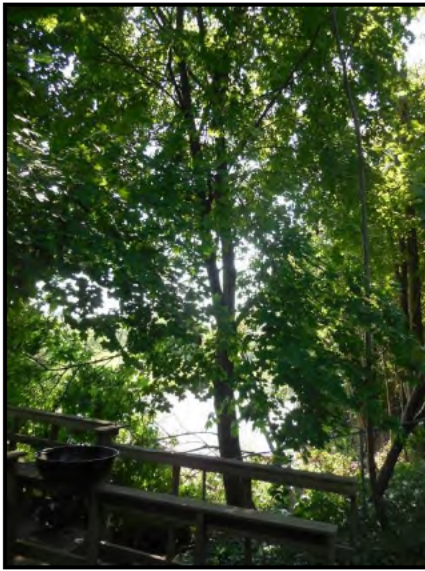
Tree #N4



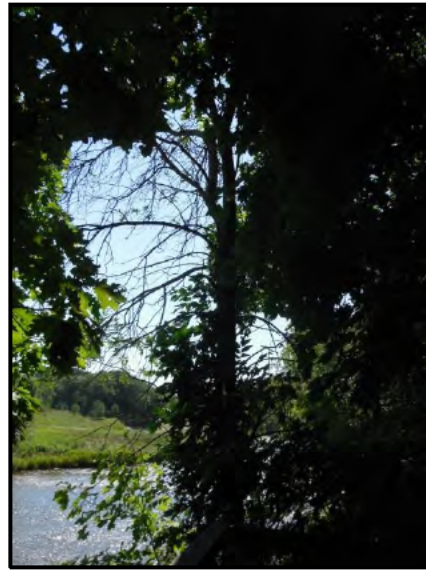
Tree #N5



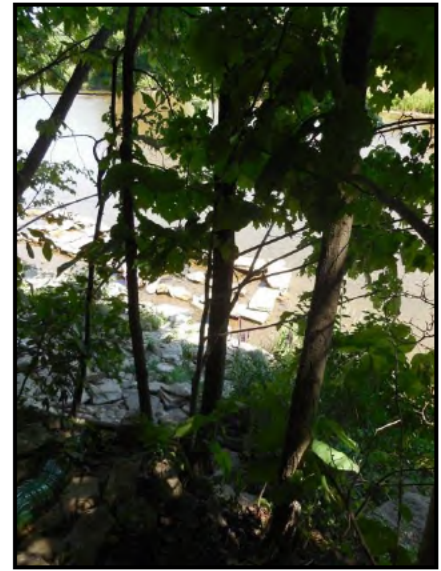
Tree #N6



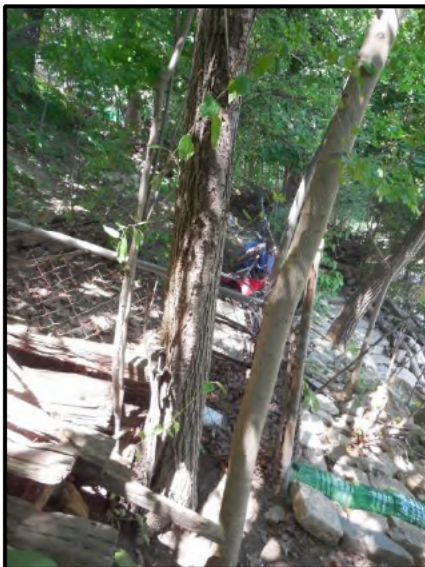
Tree #N7



Tree #N8



Tree #N9



Tree #N10



Trees #N11- N12 (R-L)



Trees #N13- N14 (R-L)



Tree #N15



Tree #N16



Tree Group A

Appendix A: Tree Inventory Chart							Site: 23 Plainsman Road, Mississauga			
Tree No.	Owner	Common Name	Botanical Name	DBH (cm)	Canopy Diameter (m)	Min. TPZ Radius (m)	Condition		Comments	Recommendation
							Structure	Health		
401	P	Austrian Pine	Pinus nigra	44	8	3	F	F-P	diplodia, 30% dead wood (d.w.)	R
402	P	Austrian Pine	Pinus nigra	52	8	3.6	F-P	F	codominant stem included bark union @ 2.1m above grade, diplodia	P
403	P	Austrian Pine	Pinus nigra	44	7	3	F-P	F-P	included bark union @ 2.0m above grade	R
404	P	Basswood	Tilia americana	44, 37	13	9.7	F-P	F	2-stems @ grade, interfering branches	PI
405	P	White Ash	Fraxinus americana	16	5.5	1.9	P	P	infected with EAB, 80% d.w., dying	RX
406	P	Red Oak	Quercus rubra	29	8	3.5	F	F	15% d.w.	PI
407	P	White Ash	Fraxinus americana	26	6	3.1	P	P	infected with EAB, 50% d.w., dying, on side slope of riverbank	RX
408	P	Norway Maple	Acer platanoides	16	4	1.9	F	F		PI
409	P	Basswood	Tilia americana	43, 14, 14	11	8.5	F	F	3-stems @ grade, 20% d.w., interfering branches	PI
410	P	Basswood	Tilia americana	36, 26	11	7.4	F-P	F	2-stems @ grade	PI
411	P	Norway Maple	Acer platanoides	32	7	3.8	F	F	interfering branches	PI
412	P	Basswood	Tilia americana	29	7	3.5	F	F		PI
413	P	Basswood	Tilia americana	23	9	2.8	P	F-P	30° lean over river, large cavity in main stem	PI
414	P	Basswood	Tilia americana	32	7	3.8	F-P	F	large main stem snapped and is hanging & is still attached @ 6.5m above grade	P
415	P	Snag	Snag	15	3		D	D	dead	RX
416	P	Basswood	Tilia americana	17	5	2	F-P	F	decay in main stem	P
417	P	Norway Maple	Acer platanoides	26	7	3.1	F	F	20% d.w., interfering branches	P
418	P	Red Oak	Quercus rubra	27, 20	13	5.6	F	F	2-stem included bark union @ 0.6m above grade, with crack from union to ground	P
419	P	Shubert Chokecherry	Prunus virginiana 'Schubert'	15	5	1.8	F	P	90% d.w., infected with black knot fungus	RX
Group A	P	Cedar	Thuja spp.	≤10	1-2.0	1.2	F	F	multi-stem, 7 in group forming hedge	R
N1	N	Crab Apple	Malus spp.	~34	7	2.4	F	F	3-stem union @ 1.0m, 15% d.w.	PI
N2	N	Black Walnut	Juglans nigra	~28	11	2.4	F	F	codominant stem union @ 1.8 from top of ret. wall, branches overhanging subject	PI
N3	N	Cedar	Thuja spp.	~19	2	2.3	F	F		P
N4	N	Norway Maple	Acer platanoides	~8, 8, 7	3	2.8	P	F	multi-stem	P
N5	N	Snag (Ash)	Snag	~28	6		D	D	dead	RX
N6	N	Snag	Snag	~15	3		D	D	dead, leaning against tree #404	RX
N7	N	Norway Maple	Acer platanoides	~44	6	5.3	F	F		P
N8	N	White Ash	Fraxinus americana	~28	6	5.3	P	P	infected with EAB, 90% d.w., dying	RX
N9	SN	Basswood	Tilia americana	~11	3	1.8	P	F-P	upper canopy lean over river	P
N10	SN	Basswood	Tilia americana	20	6	2.4	F	F		P
N11	N	Norway Maple	Acer platanoides	~20	5	2.4	F	F		P
N12	N	Basswood	Tilia americana	~34	7	4.1	F	F		P
N13	SN	Basswood	Tilia americana	~50, 33	11	10	F	F	2-stems @ grade, 15% d.w.	PI
N14	SN	Norway Maple	Acer platanoides	11	4.5	1.8	F	F	against chain link fence (c.l.f.)	PI
N15	SN	Basswood	Tilia americana	23	9	2.8	F	F	against c.l.f., interfering branches	PI
N16	SN	Basswood	Tilia americana	~49	11	6	F	F		PI

~ denotes estimated size due to inaccessibility on neighbouring properties

Key to Owner Codes

P	Private client owned tree	M	Municipal tree on boulevard
N	Neighbour (private) owned tree	M1	Municipal tree in park, open space or naturalized area
SN	Shared ownership with neighbour (private)	SM	Shared ownership with Municipality

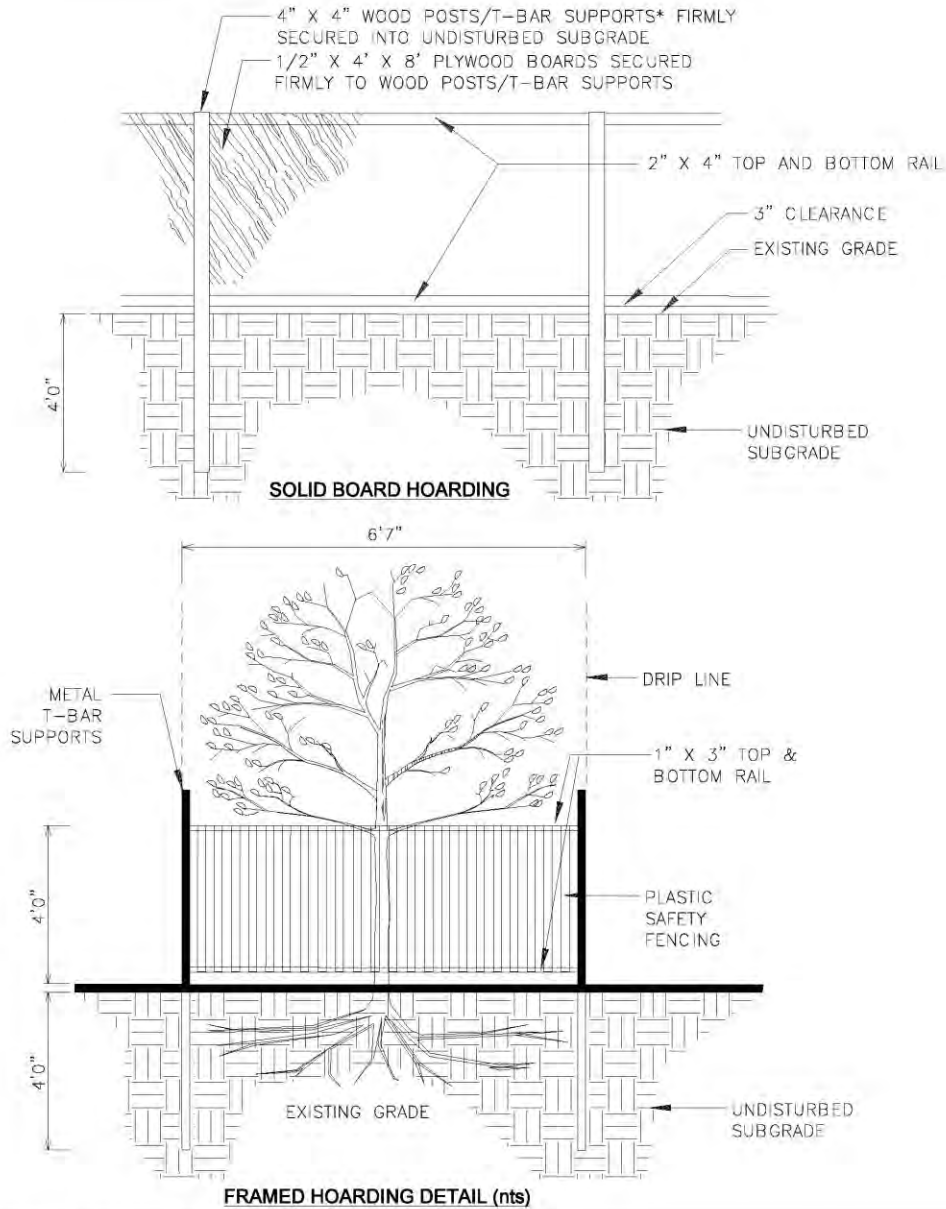
Key to Condition Ratings

Structure and Health ratings are measured on a scale of Good (G), Fair (F), Poor (P), Dead (D)

Key to Recommendation Codes

P	Protect tree - retaining 100% of min. TPZ	R	Remove tree
PI	Protect tree - minor Injury	RX	Remove Dead, Dying or Hazard Tree

Appendix B: Tree Protection Barriers

**NOTES:**

1. HOARDING DETAILS TO BE DETERMINED FOLLOWING INITIAL SITE INSPECTION.
 2. HOARDING TO BE APPROVED BY DEVELOPMENT AND DESIGN.
 3. HOARDING MUST BE SUPPLIED, INSTALLED AND MAINTAINED BY THE APPLICANT THROUGHOUT ALL PHASES OF CONSTRUCTION, UNTIL APPROVAL TO REMOVE HOARDING IS OBTAINED FROM DEVELOPMENT AND DESIGN.
 4. DO NOT ALLOW WATER TO COLLECT AND POND BEHIND OR WITHIN HOARDING.
- * T-BAR SUPPORTS FOR SOLID HOARDING WILL ONLY BE ALLOWED WITH PRE APPROVAL FROM DEVELOPMENT AND DESIGN.

Heritage Impact Statement

**23 Plainsman Road
Mississauga, ON**

APPENDIX 2: Arborist Report: Tree Protection Plan

Studio UA³.

ARCHITECTS

212 Queen Street South, Streetsville, ON, L5M 1L5

647.891.6889 www.studioua3.com

29 August 2016

City of Mississauga
Corporate Report



<p>Date: 2016/12/15</p> <p>To: Chair and Members of Heritage Advisory Committee</p> <p>From: Paul Mitcham, P. Eng, MBA, Commissioner of Community Services</p>	<p>Originator's files:</p> <hr/> <p>Meeting date: January 10, 2017</p>
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Subject

Heritage Advisory Committee and Related Staff Milestones: 2016 Year in Review

Recommendation

That the Corporate Report dated December 15, 2016 from the Commissioner of Community Services, entitled "Heritage Advisory Committee and Related Staff Milestones: 2016 Year in Review," be received for information.

Background

Council established the Heritage Advisory Committee (HAC), then known as the Local Architectural Conservation Advisory Committee, in 1976. The Heritage Advisory Committee advises Council on matters relating to the identification, conservation and preservation of Mississauga's cultural heritage property.

Comments

Over the last year, HAC has achieved the following, which the City recognizes and appreciates of this volunteer committee:

- The major achievement of the year is the adoption of the City's first Heritage Management Strategy. The strategy identifies 31 recommendations that seek to embrace living heritage and embed heritage in the culture of City operations.
- Approximately 30 heritage permit applications were processed in 2016. Twenty two (22) of these were redevelopment applications for properties located in the City's cultural landscapes.
- Eleven grants were approved in 2016; two projects were not completed. As such, the final list of recipients was as follows:

Address	Grant
1033 Barberry Lane	\$10,000
2625 Hammond Road	\$4,707
27 Mill Street	\$9,425
295 Queen Street South	\$5,000
31 Mississauga Road South	\$10,000
41 Bay Street	\$3,000
680 Silvercreek Blvd., Unit 18	\$3,334
7005 Pond Street	\$5,000
913 Sangster Avenue	\$10,000
TOTAL	\$60,466.00

The remaining \$14,534.00 will be transferred to the Arts Reserve.

- The following properties were designated under the *Ontario Heritage Act*: 1130-40 Clarkson Road North; and amendment to 5155 Mississauga Road.

Additional Notable 2016 Staff and Committee Initiatives:

- Heritage Week Social Media Campaign
- Heritage Permit By-law Updated, including five year expiry provision
- UTM Intern Tax Incentive Research Project completed
- Heritage input provided into City facility naming policy
- Meadowvale Village Historic Art Walking Tour (includes brochure update) for Doors Open
- Heritage Planning website has been overhauled, including: new layout, new copy, new images and Heritage Permit 101 info sheets. These are attached as Appendix 1.
- Staff preparation of Project Charter and Request for Proposals for the Old Port Credit Village Heritage Conservation District Review (slated for 2017/18)
- Preparation of corporate reports and preliminary business case research regarding Cultural Landscape Inventory review

In addition to supporting the efforts of the Heritage Advisory Committee, the City's Heritage Planning Staff also supported the following research activities and services:

- Responded to numerous inquiries regarding the 3500+ properties included on the City's Heritage Register. Due to the City's extensive Heritage Register, Heritage Planning staff review over 2800 applications a year and that number does not include informal pre-applications. Heritage Planning staff analyze, evaluate and comment on every Official Plan Amendment, Rezoning and Plan of Subdivision application, as well as Site Plan and Committee of Adjustment applications that pertain to heritage properties. Staff also provide clearances on building permit applications for heritage property wherein a heritage permit is not required.

Heritage Advisory Committee	2016/12/15	3
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- Contributed to City planning policies, visioning studies, strategic and master plans
- Served as team member on multiple City projects with a potential heritage component; includes park/City asset projects, environmental assessments and more
- Worked with by-law enforcement, building inspector and prosecutions staff, when necessary, on contraventions related to heritage properties
- Supported research and presentation materials for responses to provincial court offence charges under the Ontario Heritage Act, Conservation Review Board hearings and Ontario Municipal Board hearings

Strategic Plan

Heritage Planning contributes to several pillars of the Strategic Plan, including “completing our neighbourhoods” and “living green.”

Financial Impact

N/A

Conclusion

In 2016, the Heritage Advisory Committee advised Council on numerous heritage conservation initiatives. Heritage Planning staff recommend that the Corporate Report entitled “Heritage Advisory Committee and Related Staff Milestones: 2016 Year in Review,” be received.

Attachments

Appendix 1: Heritage Planning 101



Paul Mitcham, P. Eng, MBA, Commissioner of Community Services

Prepared by: P. Wubbenhorst, Senior Heritage Coordinator

Heritage Permit Process

To find out if your property is designated, visit www.mississauga.ca/portal/services/property
Enter either your address or roll number and hit **SUBMIT**. Choose the Heritage tab.

CULTURE:
HERITAGE

Property Details	Zoning Information	Building Permits	Development Applications	Committee of Adjustment	Heritage	Map It
PROPERTY HERITAGE DETAILS						
Please contact the Planning and Heritage office at 905-896-5382 for further information.						
Address:		1234 Fake St				
Legal Description:		PLAN A0000 LOT 00				
Roll Number:		00-00-000-000-000000-0000				
Heritage Status						
Status:		THIS IS WHERE YOU FIND OUT!				
Conservation District:						
Bylaw:						
Bylaw Date:						



Not Listed

You don't need a heritage permit and can continue along in your process.

Listed

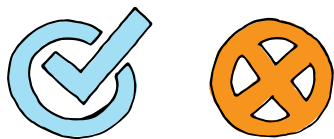
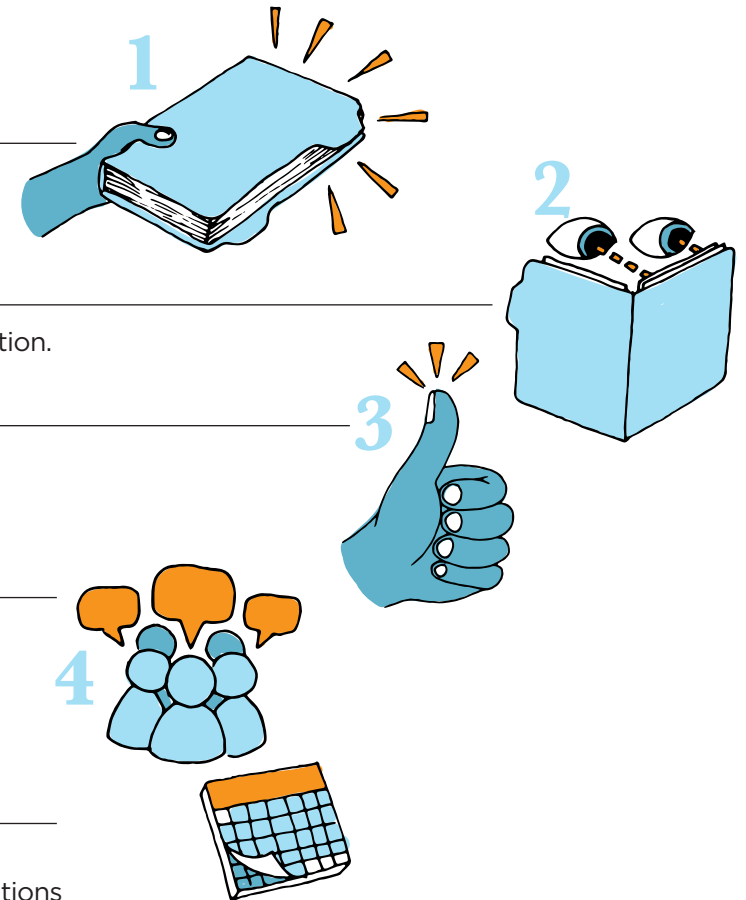
Listed properties are properties believed to be of cultural heritage value or interest that have not been designated under the Ontario Heritage Act. If the owner of a listed property applies for a City building permit and their property is listed on the City's Heritage Register, it will be flagged in the building or development application process. Building permits require review from Heritage Planning. Should the application include demolition, it would require a heritage permit and 60 days notice to Council. The 60 days is legislated by the Province of Ontario to allow time for Council to consider heritage designation.

Designated

Designated properties are protected by a heritage designation by-law on title. If a property is designated under the Ontario Heritage Act, a heritage permit is needed to make any changes to the protected characteristics of the property. Heritage designated properties are eligible for the City's annual matching grant program; this grant helps owners to conserve, repair and/or restore heritage characteristics.

Step by Step Process

Listed Property Demolition	Alteration of Designated Property
SUBMISSIONS Heritage Permit Application (HPA) Heritage Impact Assessment (HIA)	Heritage Permit Application (HPA) Heritage Impact Assessment (HIA) Conservation Plan*
STAFF REVIEW AND FEEDBACK This may take a few rounds of sending back and forth to make sure it is a complete application.	
REPORT DEEMED COMPLETE From this date, there is a 60 day timeline for consideration by the Heritage Advisory Committee (HAC) and Council.	From this date, the City has 90 days to respond.
DELIBERATIONS Heritage Advisory Committee (HAC) Recommendation Council Resolution	Heritage Advisory Committee (HAC) Recommendation Council Resolution
DECISION Heritage Permit (HP) Issued Or, Property protected with Notice of Intention to Designate (NOID)	Director or Council either: Approve, Deny, or Approve with conditions



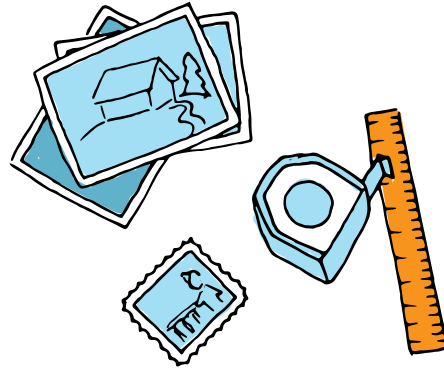
*more info may be required

Heritage Impact Assessment

1 Provides a historical background on the subject property.



2 Documents the physical attributes of the property.



3 Rationalizes how the property will be mitigated through the development process.

Design Proposal

This is a great stage to bring in an experienced heritage architect. Receiving help while planning can save time and money down the line. For a reference list of heritage consultants, including architects, please feel free to contact us at:

heritageplanning@mississauga.ca

Materials
& Method

Rhythm of
Windows

Landscape

Set Back

Footprint

Siting

