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## Heritage Advisory Committee

**Date**

2016/09/13

**Time**

9:30 AM

**Location**

Civic Centre, Council Chamber,  
300 City Centre Drive, Mississauga, Ontario, L5B 3C1 Ontario

**Members**

Councillor George Carlson, Ward 11 (Chair)  
Rick Mateljan, Citizen Member (Vice-Chair)  
Councillor Carolyn Parrish, Ward 5  
Michael Battaglia, Citizen Member  
Elizabeth Bjarnason, Citizen Member  
Robert Cutmore, Citizen Member  
David Dodaro, Citizen Member  
Lindsay Graves, Citizen Member  
James Holmes, Citizen Member  
Cameron McCuaig, Citizen Member  
Paul McGuigan, Citizen Member  
Matthew N. Wilkinson, Citizen Member

**Contact**

Mumtaz Alikhan, Legislative Coordinator, Legislative Services  
905-615-3200 ext. 5425  
[mumtaz.alikhan@mississauga.ca](mailto:mumtaz.alikhan@mississauga.ca)

**NOTE:** To support corporate waste reduction efforts the large  
appendices in this agenda can be viewed at:  
<http://www.mississauga.ca/portal/cityhall/heritageadvisory.ca>

**Find it Online**

<http://www.mississauga.ca/portal/cityhall/heritageadvisory>

1. CALL TO ORDER
2. APPROVAL OF AGENDA
3. DECLARATION OF CONFLICT OF INTEREST
4. MINUTES OF PREVIOUS MEETING
  - 4.1. Approval of Heritage Advisory Committee Minutes - July 12, 2016
5. DEPUTATIONS
6. PUBLIC QUESTION PERIOD – 15 Minute Limit  
*(Persons who wish to address the Heritage Advisory Committee about a matter on the Agenda. Persons addressing the Heritage Advisory Committee with a question should limit preamble to a maximum of two statements sufficient to establish the context for the question. Leave must be granted by the Committee to deal with any matter not on the Agenda.)*
  - 6.1. Public Question Period on Heritage Committee Agenda  
Memorandum dated July 12, 2016 from Mumtaz Alikhan, Legislative Coordinator for information.
7. MATTERS TO BE CONSIDERED
  - 7.1. Request to Demolish a Heritage Listed Property: 2494 Mississauga Road (Ward 8)  
Corporate Report dated August 11, 2016 from the Commissioner of Community Services.

**RECOMMENDATION**

*That the property at 2494 Mississauga Road, which is listed on the City's Heritage Register, is not worthy of heritage designation, and consequently, that the owner's request to demolish proceed through the applicable process.*

- 7.2. Request to Demolish a Heritage Listed Property: 1405 Glenwood Drive (Ward 1)  
Corporate Report dated August 11, 2016 from the Commissioner of Community Services.

**RECOMMENDATION**

*That the property at 1405 Glenwood Drive, which is listed on the City's Heritage Register, is not worthy of heritage designation, and consequently, that the owner's request to demolish proceed through the applicable process.*

- 7.3. Request to Demolish a Heritage Listed Property: 1142 Mona Road (Ward 1)  
Corporate Report dated August 15, 2016 from the Commissioner of Community Services.

**RECOMMENDATION**

*That the property at 1142 Mona Road, which is listed on the City's Heritage Register, is not worthy of heritage designation, and consequently, that the owner's request to demolish proceed through the applicable process.*

- 7.4. Potential Heritage Conservation District – “Clarkson Corners”  
Memorandum dated August 19, 2016 from Paula Wubbenhorst, Senior Heritage Coordinator

- 7.5. Significant Tree Nomination – Miles Lane Tree 1 “Walterhouse” et al.  
Memorandum dated August 19, 2016 from Paula Wubbenhorst, Senior Heritage Coordinator

8. SUBCOMMITTEE UPDATES

- 8.1. Heritage Designation Sub-Committee

- 8.2. Public Awareness Sub-Committee

9. INFORMATION ITEMS

10. OTHER BUSINESS

- 10.1. Lakeshore Connecting Communities Technical Advisory Committee  
Invitation to join Lakeshore Connecting Communities Technical Advisory Committee

11. DATE OF NEXT MEETING - October 11, 2016

12. ADJOURNMENT





# City of Mississauga Minutes



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## Heritage Advisory Committee

### Date

2016/07/12

### Time

9:30 AM

### Location

Civic Centre, Council Chamber,  
300 City Centre Drive, Mississauga, Ontario, L5B 3C1 Ontario

### Members Present

Councillor George Carlson, Ward 11 **(Chair)**  
Elizabeth Bjarnason, Citizen Member  
Robert Cutmore, Citizen Member  
David Dodaro, Citizen Member  
Lindsay Graves, Citizen Member  
James Holmes, Citizen Member  
Cameron McCuaig, Citizen Member  
Matthew N. Wilkinson, Citizen Member

### Members Absent

Councillor Carolyn Parrish, Ward 5  
Rick Mateljan, Citizen Member **(Vice-Chair)**  
Michael Battaglia, Citizen Member  
Paul McGuigan, Citizen Member

### Staff Present

Mark Warrack, Manager, Culture and Heritage Planning  
Paula Wubbenhorst, Senior Heritage Coordinator, Culture Division  
Cecilia Nin Hernandez, Heritage Coordinator, Culture Division  
Mumtaz Alikhan, Legislative Coordinator

### Find it online

<http://www.mississauga.ca/portal/cityhall/heritageadvisory>

1. CALL TO ORDER – 9:30am

2. APPROVAL OF AGENDA

**APPROVED** (M. Wilkinson)

3. DECLARATION OF CONFLICT OF INTEREST – Nil.

4. MINUTES OF PREVIOUS MEETING

4.1. Approval of Minutes of June 14, 2016 Meeting.

**APPROVED** (C. McCuaig)

5. DEPUTATIONS

5.1. Malton Infill Housing Study - Jordan Lee, Planner, Development and Design

Jordan Lee, Development and Design Division, gave a PowerPoint Presentation on the Malton Infill Housing Study. Purpose of the changes and existing houses are to ensure new built form is sensitive to the neighbourhood character. Study is focussed on detached homes and the Zoning changes proposed are to reduce height and lot coverage as well as garage projections.

In response to M. Wilkinson regarding other areas in Malton similar to the Victory Village Neighbourhood such as Old Malton Village, Mr. Lee advised that the City is reviewing zoning provisions of all detached homes in Malton.

The Chair thanked Mr. Lee for his informative presentation.

**RECOMMENDATION**

HAC-0036-2016

That the PowerPoint Presentation from Jordan Lee, Planner, Development and Design Division, with respect to the Malton Infill Housing Study, to the Heritage Advisory Committee on July 12, 2016, be received for information.

**RECEIVED** (C. McCuaig)

6. MATTERS TO BE CONSIDERED

6.1. Request to Alter 1011 Old Derry Road (Ward 11)

Sharon Bubalo, Owner, addressed the Committee stating that they have respected the

Heritage By-laws for their proposal. She then read letters of support from the owners of 7015 Pond Street (Dave and Barb Moir), neighbours who will be most directly affected should the application be approved, and 1020 Old Derry Road (Greg and Margaret Young) directly facing the subject property.

Mr. Gordon McKinnon, a neighbour across from the subject property, addressed the Committee in support of the proposal stating that the proposed armour stone wall would not be visible and does not affect the character of Meadowvale Village.

Mark Warrack, Manager, Heritage Planning, stated the staff recommendation to not support the application is based on the Meadowvale Village Heritage Conservation District By-law (By-law) which looks at a cultural landscape and what constitutes a compromise to the character of an area. In addition, he said that the proposed application also compromises the topography naturally endemic to the neighbourhood which the community had been adamant about preserving when the By-law was developed. Mr. Warrack noted that the privacy fence is not permitted in the By-law. He further requested that the Committee reconsider the role of the Meadowvale Village Heritage District Conservation District Advisory Sub-Committee (Sub-Committee) as its support of the proposal goes against the Meadowvale Village Heritage Conservation District Plan they were instrumental in developing.

Jim Holmes said that the new process is taking a much longer time for dealing with applications than before and that this proposal makes the best of a bad situation. He stated there is erosion onto neighbouring properties, and the proposed retaining wall is an appropriate solution and of modest height not visible to the neighbour adjacent to the subject property. He expressed support for the application. With respect to the Sub-Committee, he stated that this application is proof that it is valuable.

After further discussion, the Committee concluded that the proposed alteration will have no visible impact on the neighbourhood and that the neighbours adjacent to the subject property have expressed no objection. The Committee agreed to approve the application with the proviso that a professional landscape plan be submitted by the Owners detailing native species. The Committee also felt that a review of the Meadowvale Village Heritage Conservation District Plan is needed.

#### **RECOMMENDATION**

HAC-0037-2016

That the request to alter the property at 1011 Old Derry Road to install an in-ground swimming pool and enclosure, including additional built form as described in the Corporate Report dated June 16, 2016 from the Commissioner of Community Services, be approved, subject to a landscape plan being submitted by the Applicant detailing native species.

**APPROVED** (J. Holmes)

#### 6.2. Request to Alter 7004 Second Line West (Ward 11)

Alison Strickland, Strickland Mateljan Design Associates, advised that there are no objections to the suggestions from staff and will work with them to address these.

**RECOMMENDATION**

HAC-0038-2016

That the request to alter the property at 7004 Second Line West be approved with the following conditions:

1. No simulated dividers be employed on the windows.
2. The proposed replacement door be simplified.
3. Any repairs made to the original siding match the original material and dimensions.

**APPROVED** (J. Holmes)

6.3. Request to Alter 7005 Pond Street (Ward 11)

Corporate Report dated June 16, 2016 from the Commissioner of Community Services.

**RECOMMENDATION**

HAC-0039-2016

That the request to alter the property at 7005 Pond Street be approved with the condition that no simulated dividers be employed on the windows.

**APPROVED** (J. Holmes)

6.4. Request to Demolish a Heritage Listed Property, 2222 Doulton Drive (Ward 8)

Corporate Report dated June 16, 2016 from the Commissioner of Community Services.

**RECOMMENDATION**

HAC-0040-2016

1. That the property at 2222 Doulton Drive, which is listed on the City's Heritage Register, is not worthy of heritage designation, and consequently that the owner's request to demolish proceed through the applicable process.
2. That once the new lots are severed, the "retained" lot, which fronts Doulton Drive, be removed from the City's Heritage Register, as it will no longer meet the criteria for inclusion on the Mississauga Road Scenic Route Cultural Landscape.

**APPROVED** (C. McCuaig)

7. SUBCOMMITTEE UPDATES

7.1. Meadowvale Village Heritage Conservation District Advisory Sub-Committee Report - June 7, 2016

Mr. Holmes stressed that an architect member of the Heritage Advisory Committee (HAC) is needed to attend the Sub-Committee meetings to provide professional guidance. Due to the fact that the two members of HAC appointed to the Sub-Committee have been absent, he approached Rick Mateljan, who had indicated his willingness to participate.

#### **RECOMMENDATION**

HAC-0041-2016

1. That the Meadowvale Village Heritage Conservation District Advisory Sub-Committee Report dated June 7, 2016, be approved.
2. That Rick Mateljan, Member of the Heritage Advisory Committee, be appointed to the Meadowvale Village Heritage Conservation District Advisory Sub-Committee to provide professional guidance for the term ending November 2018, be approved.

**APPROVED** (J. Holmes)

#### 7.2. Heritage Designation Sub-Committee

Cameron McCuaig, Chair, advised that meetings have been held with staff and in order to be proactive of staff time, he suggested that staff bring back a report on the cultural landscapes in Mississauga and how to re-evaluate the process of reviewing and delisting the approximately 3000 listed properties on them.

Discussion ensued and the Committee directed staff to prepare a report for a Fall meeting summarizing the current data, the pros and cons of the process of listing/delisting, and maintaining the list, with a focus on the Mineola Neighbourhood.

#### **RECOMMENDATION**

HAC-0042-2016

That staff be directed to prepare a report summarizing the current data on Mississauga's Cultural Landscapes, the pros and cons of the process of listing/delisting, and maintaining of the list, with a focus on the Mineola Neighbourhood.

**APPROVED** (C. McCuaig)

#### 7.3. Public Awareness Sub-Committee – Nil.

#### 8. INFORMATION ITEMS – None.

#### 9. OTHER BUSINESS

- (a) Councillor Carlson spoke to the condition of the property located at 21 Main Street which has been for nearly ten years and needs to be repaired. Staff

advised that they will investigate to see if an order can be placed through Property Standards.

- (b) Mr. Cameron suggested that a preliminary summary about Clarkson Corners may be a useful discussion point with the community and the Ward Councillor for its potential designation as a heritage conservation district.
- (c) Mr. Dodaro requested that Committee Members be diligent in providing a timely response to the Legislative Coordinator with respect to their attendance at HAC meetings for quorum purposes.
- (d) The Committee noted that several City-owned heritage buildings require painting and repairs. Mr. Wilkinson recalled that City staff had prepared a report on maintenance priorities about five years ago after Facilities and Property Management Division conducted a review of City owned heritage buildings.

**RECOMMENDATION**

HAC-0043-2016

That Facilities and Property Management Division be directed to provide to the Heritage Advisory Committee the report on maintenance priorities for City owned heritage buildings prepared approximately five years ago.

**APPROVED** (M. Wilkinson)

10. DATE OF NEXT MEETING - September 13, 2016.

11. ADJOURNMENT – 11:12am

City of Mississauga  
**Memorandum**



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Date: 2016/07/12  
To: Chair and Members of Heritage Advisory Committee  
From: Mumtaz Alikhan x 5425  
Meeting Date: 2016/09/13  
Subject: Public Question Period on Heritage Committee Agenda

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At its meeting on June 20, 2016 the Governance Committee approved recommendation GOV-0009-2016, to include Public Question Period on all Standing Committee and Advisory Committees of Council agendas. This recommendation was subsequently adopted by Council on July 6, 2016.

Public Question Period allows members of the public to ask a question about an item that is on the agenda. Each person will have five (5) minutes to speak and there is a time limit of 15 minutes in total for Public Question Period.

The addition of Public Question Period to the agenda is an opportunity to engage residents and provide them with an opportunity to address Committee Members on items that are of interest to them.

A handwritten signature in black ink, appearing to read 'Mumtaz Alikhan'.

Mumtaz Alikhan  
Legislative Coordinator, Legislative Services  
(905) 615-3200 ext. 5425  
[mumtaz.alikhan@mississauga.ca](mailto:mumtaz.alikhan@mississauga.ca)





City of Mississauga  
**Corporate Report**



Date: 2016/08/11

To: Chair and Members of Heritage Advisory Committee

From: Paul Mitcham, P. Eng, MBA, Commissioner of  
 Community Services

Originator's files:

Meeting date:  
 2016/09/13

## Subject

**Request to Demolish a Heritage Listed Property: 2494 Mississauga Road (Ward 8)**

## Recommendation

That the property at 2494 Mississauga Road, which is listed on the City's Heritage Register, is not worthy of heritage designation, and consequently, that the owner's request to demolish proceed through the applicable process.

## Background

The owner received permission to demolish the existing structure at the subject property in June 2012. (The corresponding report is attached as Appendix 1. Please note the Heritage Impact Assessment is available upon request due to changes in the application of FOI legislation). The redevelopment has not yet occurred. In April 2014, the heritage permit by-law was updated with a year expiry clause. As such, this item is again before the Heritage Advisory Committee. In May 2016 the heritage permit by-law was updated to extend the validity of heritage permits currently issued for a period of 5 years.

A new Heritage Impact Assessment has been provided and is attached as Appendix 2, which also describes the current proposed development on the subject lands. The landscaping, urban design and conservation authority related aspects related to the proposed development will be reviewed as part of the Site Plan review process to ensure the project respects the character of the surrounding community.

## Comments

The property continues to have no cultural heritage value. As such, the demolition should be approved.

## Financial Impact

There is no financial impact.

## Conclusion

The proposal to demolish 2494 Mississauga Road is before the Committee due to an expiry clause in the heritage permit by-law in effect at the time a heritage permit was issued in 2012 to allow for the demolition of the structure on the property. The property does not merit designation under the Ontario Heritage Act. As such, the proposed demolition should be allowed to proceed.

## Attachments

Appendix 1: May 1, 2012 Corporate Report

Appendix 2: Heritage Impact Assessment



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Paul Mitcham, P. Eng, MBA, Commissioner of Community Services

Prepared by: Cecilia Nin Hernandez, Heritage Coordinator



# Corporate Report

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**DATE:** May 1, 2012

**TO:** Chair and Members of the Heritage Advisory Committee  
Meeting Date: May 22, 2012

**FROM:** Paul A. Mitcham, P.Eng, MBA  
Commissioner of Community Services

**SUBJECT:** **Request to Demolish a Heritage Listed Property**  
**2494 Mississauga Road**  
**(Ward 8)**

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**RECOMMENDATION:** That the property at 2494 Mississauga Road, which is listed on the City's Heritage Register, is not worthy of heritage designation, and consequently, that the owner's request to demolish the structure proceed through the applicable process.

**BACKGROUND:** Section 27.3 of the *Ontario Heritage Act* states that structures or buildings on property listed on the City's Heritage Register cannot be removed or demolished without at least 60 days notice to Council. This legislation allows time for Council to review the property's cultural heritage value to determine if the property merits designation.

The owner of the subject property submitted a Site Plan application under file SPI 12/41 W8, to replace the existing single detached dwelling with a new one. The subject property is listed on the City's Heritage Register as it forms part of the Mississauga Road Scenic Route cultural landscape, noted for its historical origins and scenic quality as one of the oldest original roads within Mississauga.

**COMMENTS:** The owner of the subject property requests permission to demolish the existing structure. The Heritage Impact Statement, by David W. Small, is attached as Appendix 1. It is the consultant's conclusion that the house at 2494 Mississauga Road is not worthy of heritage designation. Staff concurs with this opinion.

The landscaping and urban design related issues are being reviewed as part of the Site Plan review process to ensure that the project respects the character of the surrounding community.

**FINANCIAL IMPACT:** There is no financial impact

**CONCLUSION:** The owner of 2494 Mississauga Road has requested permission to demolish a structure on a property that is listed on the City's Heritage Register. The applicant has submitted a documentation report that provides information which does not support the building's merit for designation under the *Ontario Heritage Act*.

**ATTACHMENTS:** Appendix 1: Heritage Impact Statement

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Paul A. Mitcham, P.Eng, MBA  
Commissioner of Community Services

*Prepared By: P. Wubbenhorst, Acting Senior Heritage Coordinator*

# 2494 MISSISSAUGA ROAD

## HERITAGE IMPACT STUDY



JANUARY 2016

**ATA**

**ARCHITECTS INC.**

211 LAKESHORE ROAD EAST  
OAKVILLE ONTARIO L6J 1H7



## TABLE OF CONTENTS



Rear Facade (East)

INTRODUCTION	2
HISTORICAL BACKGROUND	3
LOCATION	5
ZONING	6
ONTARIO HERITAGE ACT	9
HISTORICAL SIGNIFICANCE OF MISSISSAUGA ROAD	10
ARCHITECTURAL SIGNIFICANCE	15
EXTERIOR PHOTOS OF 2494 MISSISSAUGA ROAD	16
INTERIOR PHOTOS OF 2494 MISSISSAUGA ROAD	22
CONTEXTUAL SIGNIFICANCE	28
SUMMARY REGARDING EXISTING STRUCTURE	36
DESIGN DRAWINGS	38
DEVELOPMENT PROPOSAL	46
LANDSCAPE CONTEXT	47
LANDSCAPE DESIGN DRAWING	48
APPENDIX	49

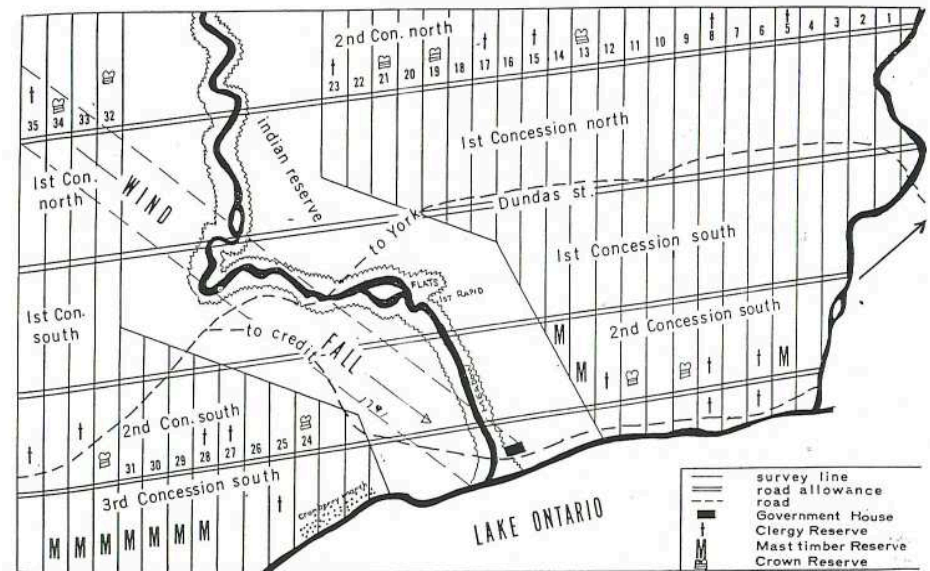
## INTRODUCTION

ATA Architects Inc. was retained to undertake the Heritage Impact Study of the property listed as 2494 Mississauga Road, Mississauga, ON.

ATA Architects Inc. undertook the following process in completing this assessment:

- ATA Architects Inc. visited the site and viewed in detail the existing building on the property. The existing context was documented and a study was undertaken to evaluate the heritage value of 2494 Mississauga Road and to determine whether there is any negative impact to the Mississauga Road Scenic Route as a result of either the demolition of the existing home or by the proposed development.
- A review was undertaken of the historical, contextual and architectural value of the existing home, as well as, the architectural drawings and landscape drawings of the proposed development.
- Elements of Mississauga Road were photographed to create a pictorial context for the existing house and the proposed development.

ATA Architects Inc. has utilized the criterion for determining cultural heritage value as outlined in the Ontario Heritage Act.



Samuel Willmot's Map, 1806 Survey of Toronto Township  
Source: Matthew Wilkinson, Heritage Mississauga

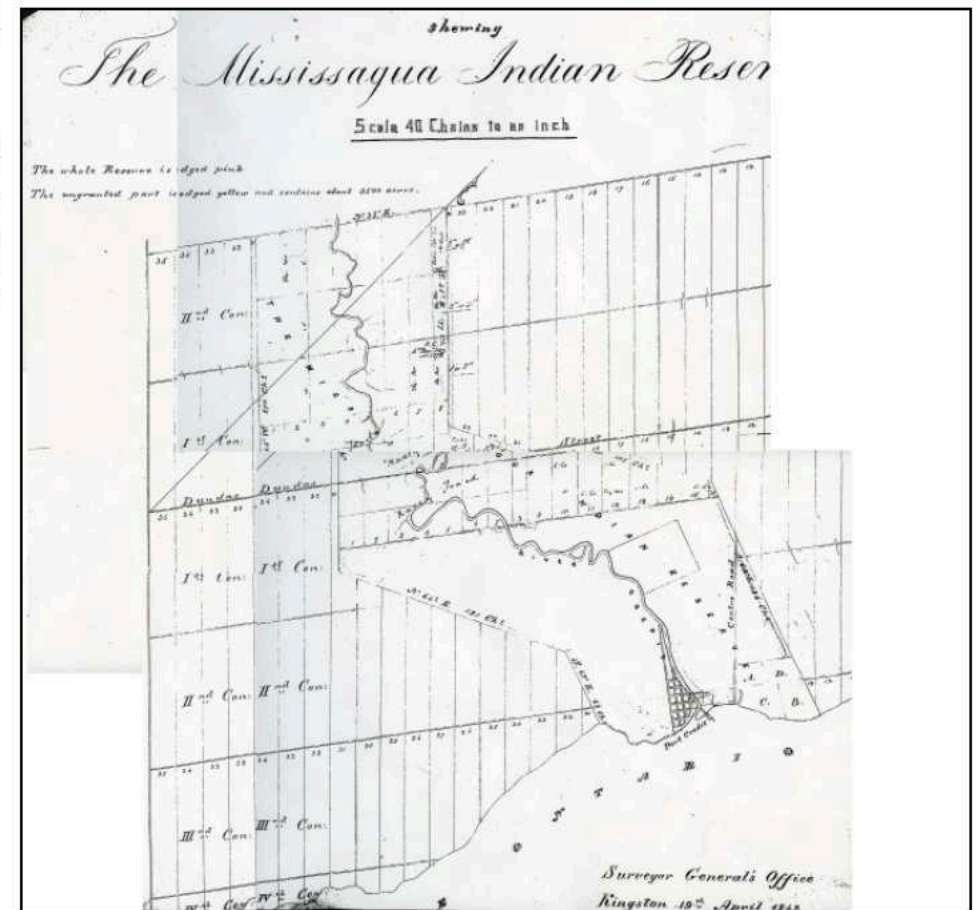


## HISTORICAL BACKGROUND OF MISSISSAUGA ROAD

Today's Mississauga was previously known as the Toronto Township and was divided into three areas. The first, The Old Survey (1806), the second is the New Survey (1819) and the third, is known as the Credit Indian Reserve (1821). The latter comprises all of the land within a 1 mile strip on either side of the Credit River, spanning from South of Lakeshore up to today's Eglinton Avenue.

Mississauga Road is a heritage route that dates back to Toronto Township's early settlers. The road, as well as the river, played an integral role in the development of the City of Mississauga and today several layers of history are still very visible along its route. The portion of Mississauga Road that lies south of Eglinton within the Credit Indian Reserve, was originally created by the early settlers. The road does not conform to the traditional British survey grid and follows the early native trail that meanders along the path of the Credit River.

The Credit Indian Reserve; all the lands 1 mile on either side of the Credit River south of Dundas Street is depicted in the map below. The lands were not part of the British survey.



Credit Indian Reserve Map of 1862  
Source: Matthew Wilkinson, Heritage Mississauga

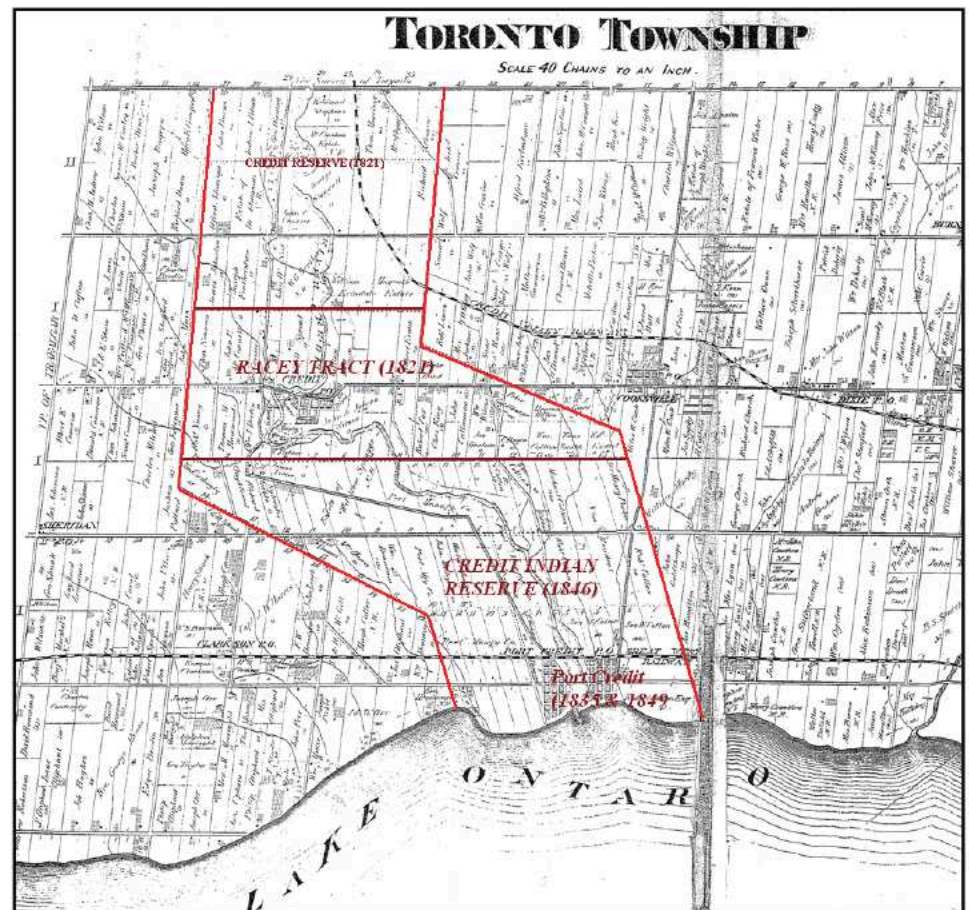


## HISTORICAL BACKGROUND OF MISSISSAUGA ROAD

Mississauga Road begins at the mouth of Lake Ontario at the western boundary of the historic village area of Port Credit. The road follows closely the path of the Credit River and several historic properties lie along this oldest part of Mississauga Road. The road then travels under the Toronto & Hamilton rail line and takes a sharp turn toward the west at the base of The Mississauga Golf and Country Club, which was previously the site of the Credit Indian Village between 1826 and 1847. The road continues to wind northward with many large luxury homes along its path until it reaches Dundas Street, where it meets the historic village of Erindale with St. Peter's Anglican Church high on the hill at the intersection.

North of Dundas Street, Mississauga Road follows more of a straight line as it becomes a part of the established survey. In the historic village of Streetsville, Mississauga Road was originally named the Streetsville Plank Road as it had a wooden planked surface for stagecoaches at one point in history. Today this portion of Mississauga Road is identified as Queen Street, it returns to being called Mississauga Road north of Britannia Road. Mississauga Road then connects to Erin Mills Parkway and continues north with new industrial and financial centres lining its east and west. This blend of streetscape and connection of communities is known as the Mississauga Road Scenic Route and is a part of the Mississauga Cultural Landscape.

Historic Mississauga Road clearly follows closely the path of the Credit River.

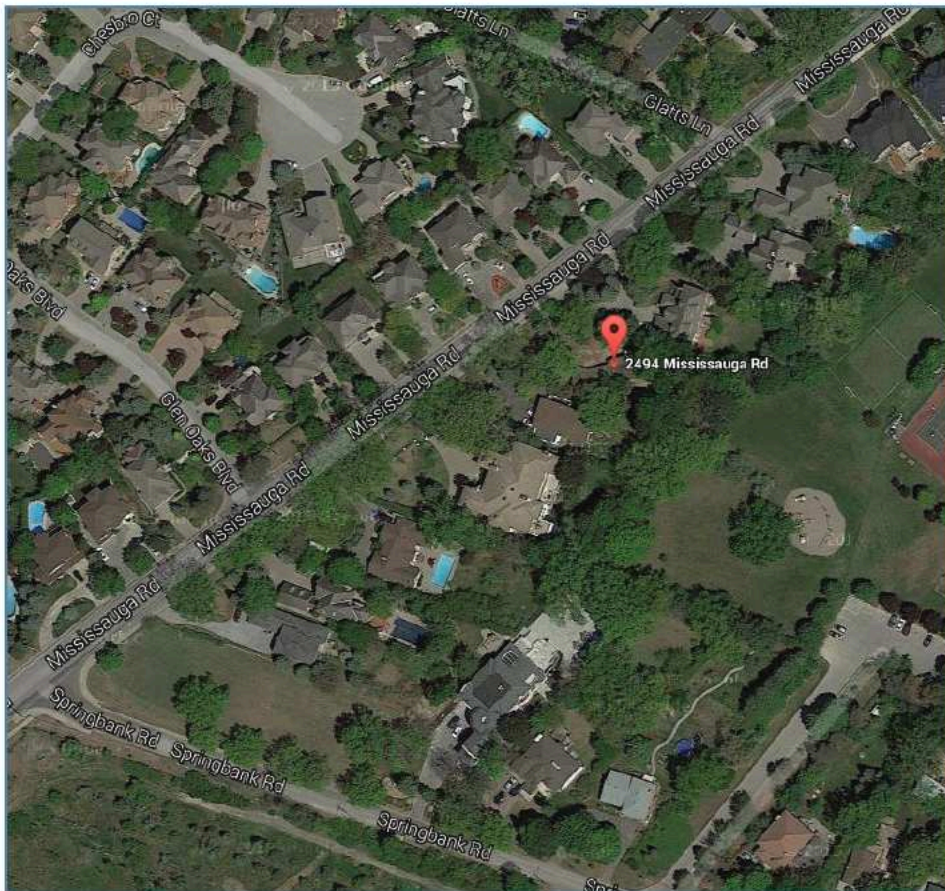


1877 Historical Atlas of Peel County  
Source: Matthew Wilkinson, Heritage Mississauga

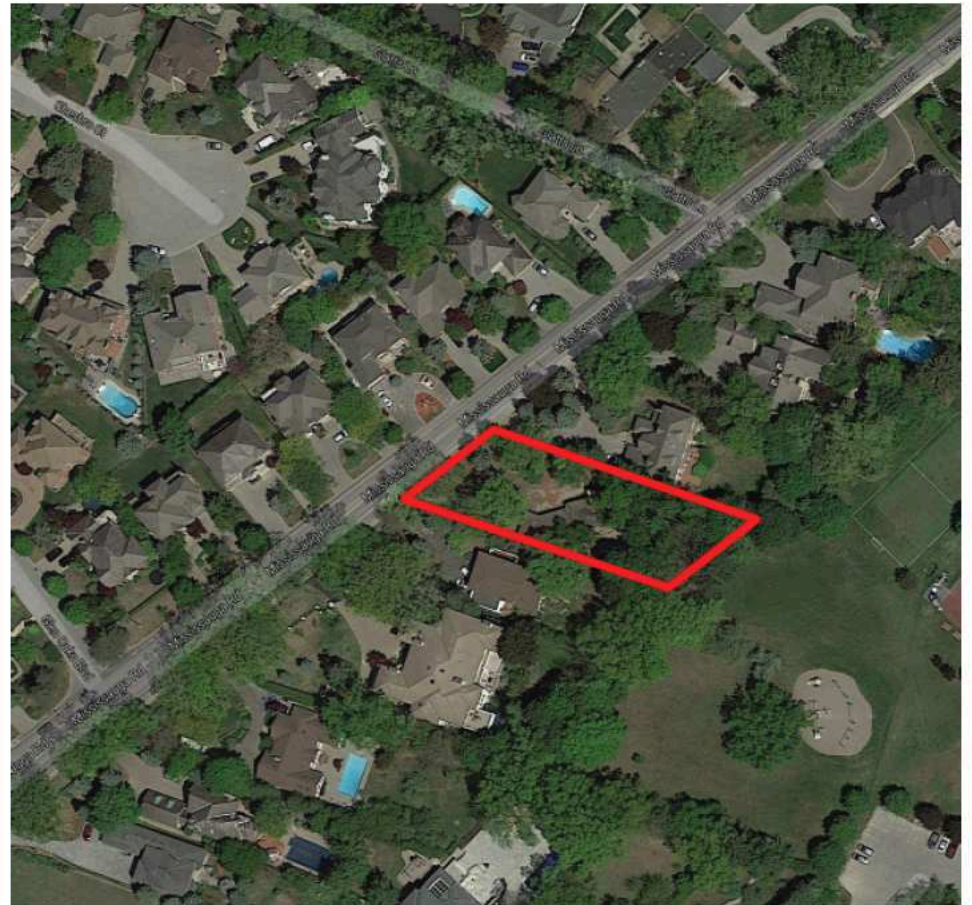


## LOCATION

The property is situated on the eastern side of Mississauga Road, between Glen Oaks Boulevard and Glatts Lane.



Key plan showing location of property  
Source: Google Maps



Aerial View of 2494 Mississauga Road  
Source: Google Maps



The property is zoned R1 by the City of Mississauga. This zoning permits all the uses indicated on the following chart for a R1-R5 zone for detached dwellings.



## ZONING

## Part 4 - Residential Zones

**4.2 R1 to R5 ZONES  
(DETACHED DWELLINGS - TYPICAL LOTS)**
**4.2.1 R1 to R5 Permitted Uses and Zone Regulations**

All buildings and structures shall comply with the provisions contained in Parts 1 to 3 and Section 4.1 of this By-law, and the uses and zone regulations specified within the applicable zone column contained in Table 4.2.1 - R1 to R5 Permitted Uses and Zone Regulations.

**Table 4.2.1 - R1 to R5 Permitted Uses and Zone Regulations**

Column	A	B	C	D	E	F
Line 1.0	ZONES	R1	R2	R3	R4	R5
<b>PERMITTED USES</b>						
2.0	RESIDENTIAL					
2.1	Detached Dwelling	• (1)	• (1)	• (1)	• (1)	• (1)
<b>ZONE REGULATIONS</b>						
3.0	MINIMUM LOT AREA					
3.1	Interior lot	750 m <sup>2</sup>	695 m <sup>2</sup>	550 m <sup>2</sup>	365 m <sup>2</sup>	295 m <sup>2</sup>
3.2	Corner lot	835 m <sup>2</sup>	810 m <sup>2</sup>	720 m <sup>2</sup>	500 m <sup>2</sup>	415 m <sup>2</sup>
4.0	MINIMUM LOT FRONTAGE					
4.1	Interior lot	22.5 m	18.0 m	15.0 m	12.0 m	9.75 m
4.2	Corner lot	22.5 m	21.0 m	19.5 m	16.5 m	13.5 m

Continued

5.0	MAXIMUM LOT COVERAGE	25%	30%	35%	40%	40%
6.0	MINIMUM FRONT YARD					
6.1	Interior lot	9.0 m <sup>(2)(7)</sup>	9.0 m <sup>(2)</sup>	7.5 m <sup>(2)</sup>	6.0 m <sup>(2)</sup>	4.5 m <sup>(2)</sup>
6.2	Corner lot	7.5 m <sup>(2)</sup>	7.5 m <sup>(2)</sup>	6.0 m <sup>(2)</sup>	6.0 m <sup>(2)</sup>	4.5 m <sup>(2)</sup>
6.3	Front garage face - interior lot (0379-2009)	(8)	(8)	(8)	(8)	6.0 m
6.4	Front garage face - corner lot (0379-2009)	(8)	(8)	(8)	(8)	6.0 m
7.0	MINIMUM EXTERIOR SIDE YARD	7.5 m <sup>(2)</sup>	7.5 m <sup>(2)</sup>	6.0 m <sup>(2)</sup>	4.5 m <sup>(2)</sup>	4.5 m <sup>(2)</sup>
7.1	Front garage face (0379-2009)	(9)	(9)	(9)	6.0 m <sup>(2)</sup>	6.0 m <sup>(2)</sup>
8.0	MINIMUM INTERIOR SIDE YARD					
8.1	Interior lot	1.8 m on one side of the lot and 4.2 m on the other side <sup>(2)</sup>	1.8 m + 0.61 m for each additional storey or portion thereof above one (1) storey <sup>(2)</sup>	1.2 m + 0.61 m for each additional storey or portion thereof above one (1) storey <sup>(2)</sup>	1.2 m <sup>(2)</sup>	1.2 m on one side of the lot and 0.61 m on the other side <sup>(2)</sup>

Continued

## ZONING

Column	A	B	C	D	E	F
Line 1.0	ZONES	R1	R2	R3	R4	R5
Table 4.2.1 continued from previous page						
8.2	Corner lot	3 0 m <sup>(2)</sup>	3 0 m <sup>(2)</sup>	1 2 m + 0 61 m for each additional storey above one <sup>(1)</sup> storey <sup>(2)</sup>	1 2 m <sup>(2)</sup>	1 2 m <sup>(2)</sup>
9.0	MINIMUM REAR YARD					
9.1	Interior lot	7 5 m <sup>(2)</sup>	7 5 m <sup>(2)</sup>	7 5 m <sup>(2)</sup>	7 5 m <sup>(2)</sup>	7 5 m <sup>(2)</sup>
9.2	Corner lot	3 0 m <sup>(2)</sup>	3 0 m <sup>(2)</sup>	3 0 m <sup>(2)</sup>	7 5 m <sup>(2)</sup>	7 5 m <sup>(2)</sup>
10.0	MAXIMUM HEIGHT	10 7 m	10 7 m	10 7 m	10 7 m	10 7 m
11.0	ENCROACHMENTS, PROJECTIONS AND SETBACKS					
11.1	Maximum projection of a garage beyond either the main front entrance or beyond the main entry feature where provided	n/a	n/a	n/a	n/a	2 5 m
11.2	Where a main entry feature has been provided, the maximum projection of a garage beyond a main front entrance	n/a	n/a	n/a	n/a	5 0 m
11.3	For a detached dwelling more than one (1) storey in height, where the garage projects beyond the main front entrance, a minimum of 75% of the width of the garage, measured from the inside face of the garage walls, shall be covered by a second storey which may be set back a maximum of 2 5 m from the front garage face	n/a	n/a	n/a	n/a	• •

12.0	ATTACHED GARAGE, PARKING AND DRIVEWAY					
12.1	Attached garage	Permitted <sup>(3)</sup>	Permitted <sup>(3)</sup>	Permitted <sup>(3)</sup>	Permitted <sup>(3)</sup>	Required <sup>(3)</sup>
12.2	Minimum parking spaces	• <sup>(4) (5)</sup>	• <sup>(4) (5)</sup>	• <sup>(4) (5)</sup>	• <sup>(4) (5)</sup>	• <sup>(4) (5)</sup>
12.3	Maximum driveway width (0190-2014)	Width of garage door opening(s) plus 2 0 m up to a maximum of 8 5 m; if no garage door then maximum width of 6 0 m	Width of garage door opening(s) plus 2 0 m up to a maximum of 6 0 m; if no garage door then maximum width of 6 0 m	Width of garage door opening(s) plus 2 0 m up to a maximum of 6 0 m; if no garage door then maximum width of 6 0 m	Width of garage door opening(s) plus 2 0 m up to a maximum of 6 0 m; if no garage door then maximum width of 6 0 m	Width of garage door opening(s) plus 2 0 m up to a maximum of 6 0 m; if no garage door then maximum width of 6 0 m
12.4	Minimum landscaped soft area in the yard containing the driveway (0190-2014)	40% of the front yard and/or exterior side yard	40% of the front yard and/or exterior side yard	40% of the front yard and/or exterior side yard	40% of the front yard and/or exterior side yard	30% of the front yard and/or exterior side yard
13.0	ACCESSORY BUILDINGS AND STRUCTURES	• <sup>(6)</sup>	• <sup>(6)</sup>	• <sup>(6)</sup>	• <sup>(6)</sup>	• <sup>(6)</sup>

- NOTES:
- (1) See also Subsections 4 1 1, 4 1 16 and 4 1 17 of this By-law
  - (2) See also Subsections 4 1 7 and 4 1 8 of this By-law
  - (3) See Subsection 4 1 12 of this By-law
  - (4) See Subsection 4 1 9 of this By-law
  - (5) See Part 3 of this By-law
  - (6) See Subsection 4 1 2 of this By-law
  - (7) Where a lot abuts a lot with an existing front yard of 12 0 m or more, the minimum front yard shall be 12 0 m
  - (8) The setback to the front garage face shall be the same as the front yard (0379-2009)
  - (9) The setback to the front garage face shall be the same as the exterior side yard (0379-2009)

Continued

## ONTARIO HERITAGE ACT

### ONTARIO HERITAGE ACT ONTARIO REGULATION 9/06 CRITERIA FOR DETERMINING CULTURAL HERITAGE VALUE OR INTEREST

#### CRITERIA

1. (1) The criteria set out in subsection (2) are prescribed for the purposes of clause 29 (1) (a) of the Act. O. Reg. 9/06, s.1(1).
- (2) A property may be designated under section 29 of the Act if it meets one or more of the following criteria for determining whether it is of cultural heritage value or interest:
  1. The property has design value or physical value because it,
    - i. is a rare, unique, representative or early example of a style, type, expression, material or construction method,
    - ii. displays a high degree of craftsmanship or artistic merit, or
    - iii. demonstrates a high degree of technical or scientific achievement.
  2. The property has historical value or associative value because it,
    - i. has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community,
    - ii. yields, or has the potential to yield, information that contributes to an understanding of a community or culture, or
    - iii. demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.
  3. The property has contextual value because it,
    - i. is important in defining, maintaining or supporting the character of an area,
    - ii. is physically, functionally, visually or historically linked to its surroundings, or
    - iii. is a landmark. O. Reg. 9/06, s. 1 (2).

#### TRANSITION

2. This Regulation does not apply in respect of a property if notice of intention to designate it was given under subsection 29 (1.1) of the Act on or before January 24, 2006. O. Reg. 9/06, s. 2.

**NOTE:** The designation of properties of heritage value by municipalities in Ontario is based on the above criteria evaluated in the context of that municipality's jurisdiction. Buildings need not be of provincial or national importance to be worthy of designation and preservation.

## HISTORICAL SIGNIFICANCE

The land on which 2494 Mississauga Road was constructed, is situated between Glen Oaks Boulevard and Glatts Lane on Mississauga Road on part of Lot 12, Range 3 of the Credit Indian Reserve. The Credit Indian Reserve lands were surveyed for settlement in 1847 and divided into several parts where the properties that lay within do not follow the typical lot geometries. The property lies north of the Queen Elizabeth Highway and south of Dundas Street and is in the middle of 4 historic settlements, Erindale & Cooksville to the north and Clarkson and Port Credit to the south.

In conducting its research of the property ATA first visited the Peel Land Registry Offices to trace the ownership of the property. Later, when researching the previous ownership ATA found a previous study completed by David W. Small in 2012 on the property. ATA's findings seem to corroborate Mr. Small's which is as follows:

- April 5, 1855 - The Crown to Frederick Chase Capreol
- December 9, 1861 - Frederick Chase Capreol to Henry McGill
- November 19, 1863 - Henry McGill to William McGill
- November 18, 1868 - William McGill to Mary Ann Gable
- February 25, 1907 - Mary Ann Gable to Oliver Gable
- December 31, 1929 - Oliver Gable to George B. McQuarrie
- December 31, 1929 - George B. McQuarrie to Hazel McQuarrie
- October 13, 1943 - Hazel McQuarrie to Jean A Corbett and Arthur O. Corbett
- November 4, 1948 - Jean A Corbett and Arthur O. Corbett to Samuel J Churchill and Elna Churchill
- October 3, 1955 - Samuel J Churchill and Elna Churchill to Roy Miller and Agnes Miller
- May 9, 1959 - Roy Miller and Agnes Miller to Hi Way Construction Company Ltd.
- May 8, 1961 - Hi Way Construction Company Ltd. to Platiam Investments Ltd.
- Nov 20, 1964 - Platiam Investments Ltd. to Charles B. Peck
- August 30, 2011 - Charles B. Peck to Peter Noald Luciani
- [REDACTED]

### History of Permits granted to 2494 Mississauga Road

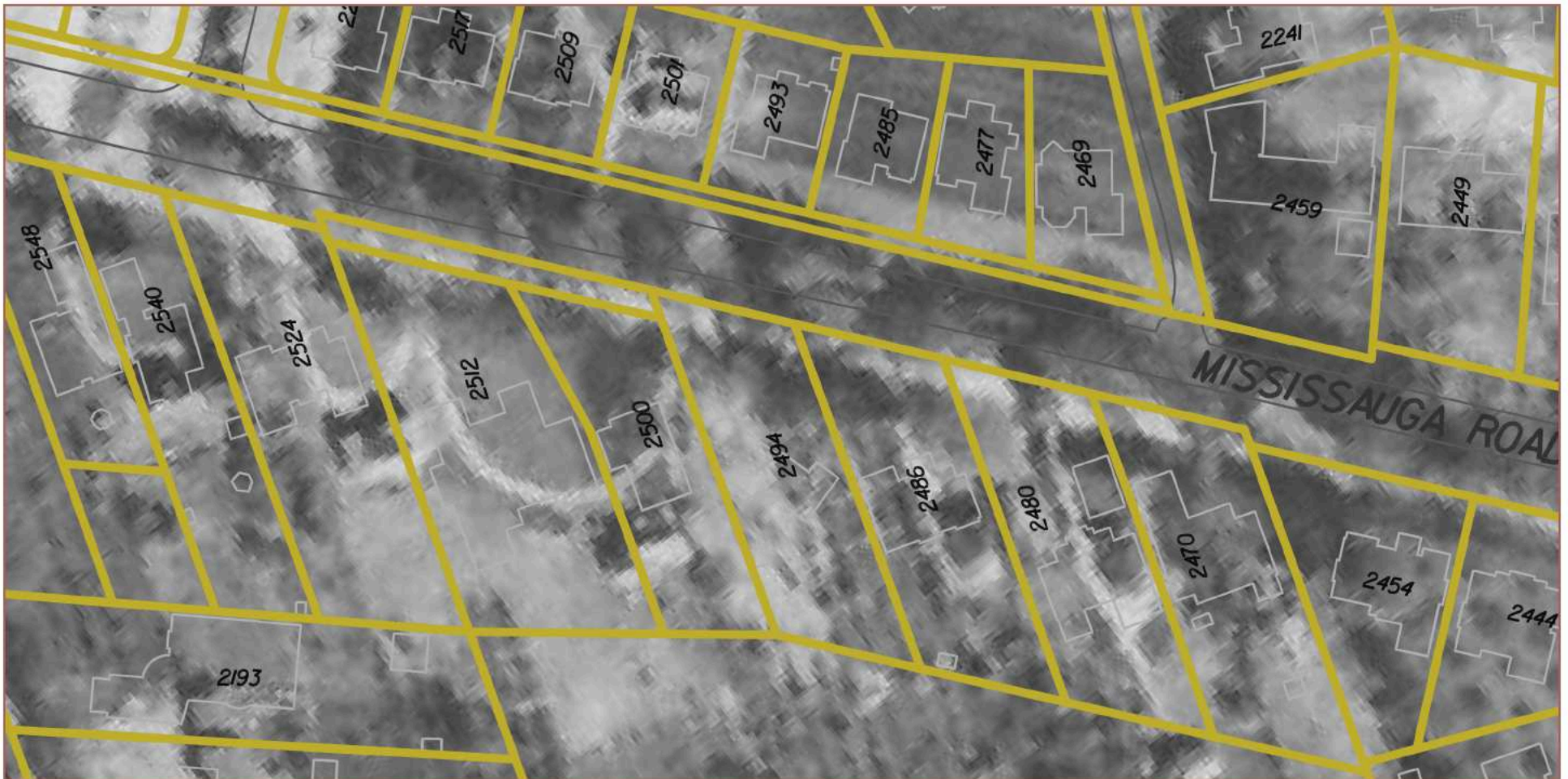
HCC 78 327752	10/26/1978	Alterations-brick veneer to exterior of single family dwelling code: 4804 - Permit #23824
BP 9NEW 12 460	10/16/2012 Cancelled	SFD - custom with finished basement, Demo - existing SFD & shed
HOUSDEMO 12 1784	07/04/2012 Cancelled	Demolition - SFD & aluminum shed
BP 9New 12 460 R1	08/27/2015 Cancelled	Transfer permit #12-460 to new ownership-custom SFD with finished basement, Demo - existing SFD & shed

Review of aerial photographs from the City, while grainy and difficult to read, indicate a possible structure on the site in 1966. Review of the land registry records show the Charles Peck purchasing the property for \$5,250 in 1964 and taking out a mortgage on the property in 1965 for approximately \$16,500. In addition the aerial photos from 1963 and 1954 don't show any indication of a building being present. Based on this information it is reasonable to suggest that the building was constructed by Charles Peck sometime in 1964/65.

It should be noted that based on the previous report by David Small in May 2012, Paul A. Mitcham, the commissioner of community services, made a recommendation that the property was not worthy of designation and that the then owner's request to demolish the property proceed.



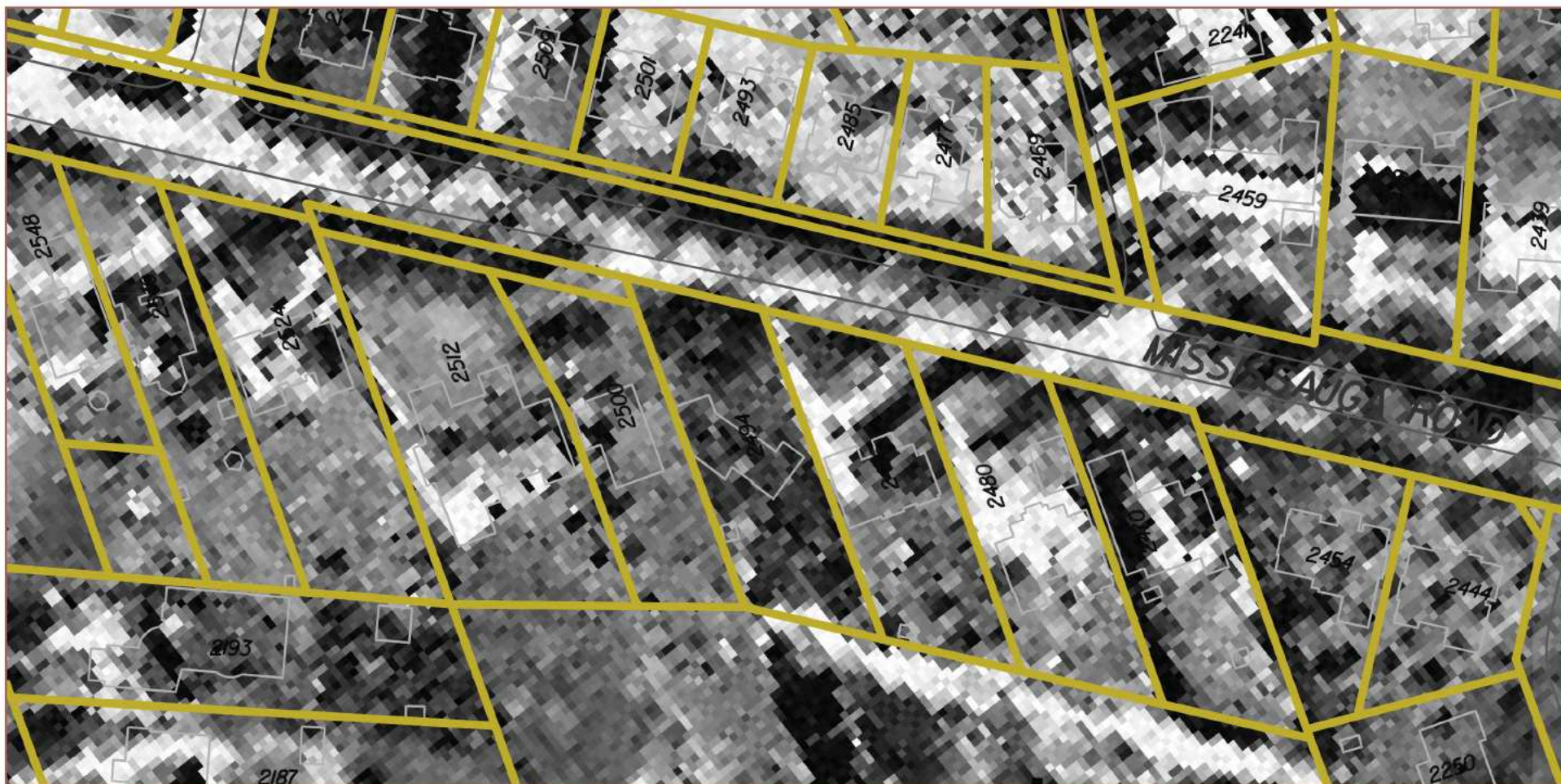
## HISTORICAL SIGNIFICANCE



1954 Aerial Photograph  
Source: <http://www.mississauga.ca/portal/services/maps>



## HISTORICAL SIGNIFICANCE



1963 Aerial Photograph  
Source: <http://www.mississauga.ca/portal/services/maps>

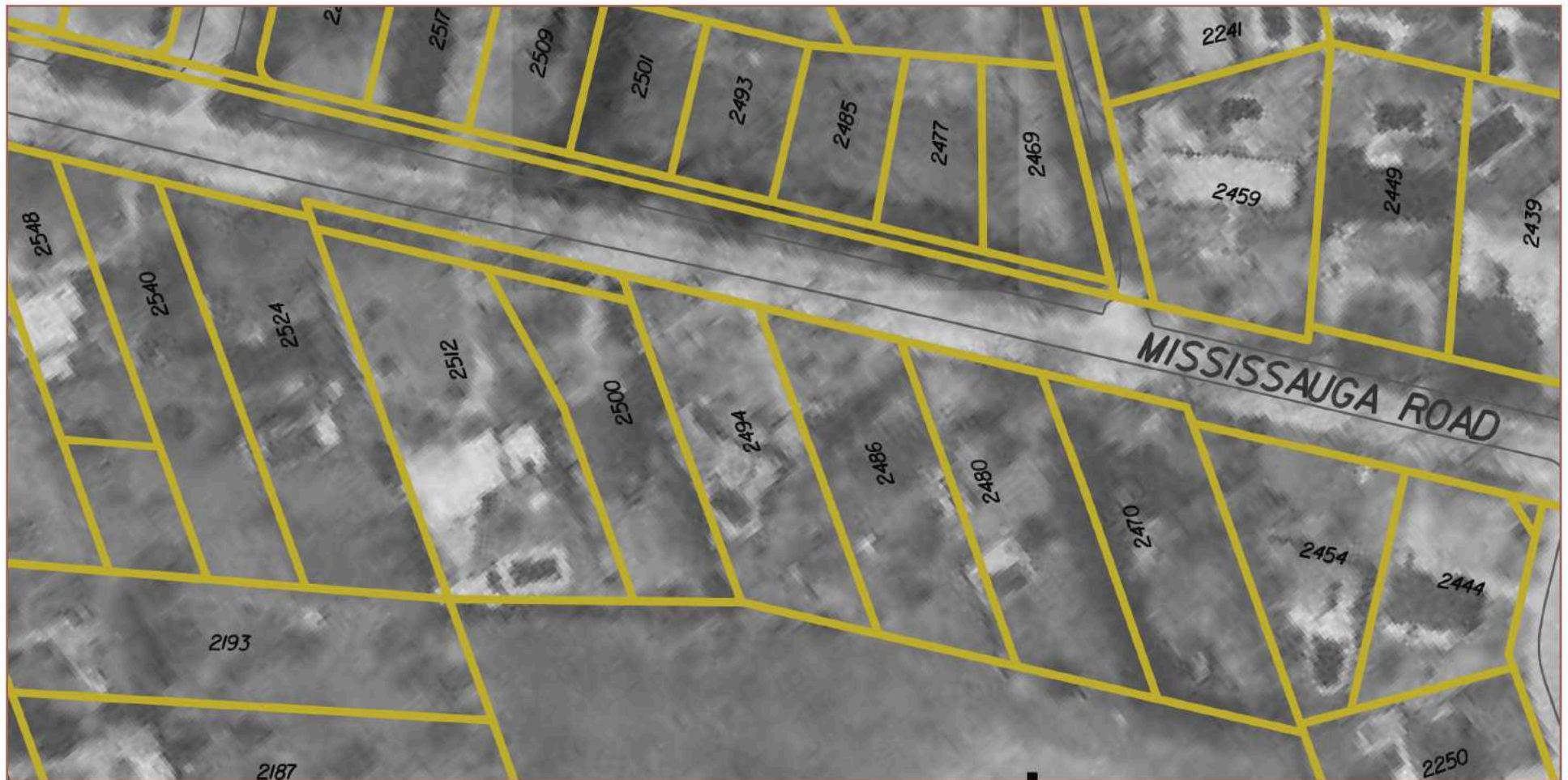


## HISTORICAL SIGNIFICANCE



1966 Aerial Photograph  
Source: <http://www.mississauga.ca/portal/services/maps>

## HISTORICAL SIGNIFICANCE



1978 Aerial Photograph  
Source: <http://www.mississauga.ca/portal/services/maps>



## ARCHITECTURAL SIGNIFICANCE

The existing one storey red brick house was originally constructed in the 1960's and later renovated further in the 1970's. The irregular shaped modern style home is sited diagonally on the site such that the double garage is the main feature closest to the street. The front entrance is modest and somewhat hidden and the current door with diamond pattern glass and cross braced panelling is a traditional replacement. Field stone has been employed to try and provide prominence. A "fin" wall of field stone defines the central living space of the house and links it visually to the front doorway.

The house and grounds are in poor condition. There have been a number of roof leaks. The very modest three-bedroom house appears visually out of scale with neighbouring properties and with the scale and scope of amenities associated with Mississauga Road properties.

The house although modernist in its flat roof design is a pastiche of vernacular materials, detailing and ideas stolen from the period combining red brick and field stone, paneled windows and large sloped windows, brick columns and floating roof forms and an irregular plan with impractical spaces.

The existing house in summary is not a good example of modernist 20th century design nor does it display any craftsmanship or design features worthy of retention.



View of 2494 Mississauga Road from the west



EXTERIOR PHOTOS OF 2494 MISSISSAUGA ROAD

Note: Photos in this section were taken during site visit, December 2015



View from north west.



EXTERIOR PHOTOS OF 2494 MISSISSAUGA ROAD



View along south boundary of the property



Significant staining of the brick from water runoff



EXTERIOR PHOTOS 2494 MISSISSAUGA ROAD



North view of 2494 Mississauga Road.



EXTERIOR PHOTOS 2494 MISSISSAUGA ROAD



Main entrance on the north side of the house.



EXTERIOR PHOTOS OF 2494 MISSISSAUGA ROAD



View from the south east.

EXTERIOR PHOTOS OF 2494 MISSISSAUGA ROAD



Panorama of the backyard.

## 2494 MISSISSAUGA ROAD - HERITAGE IMPACT STUDY

### INTERIOR PHOTOS OF 2494 MISSISSAUGA ROAD

Note: Photos in this section were taken during site visit, December 2015

INTERIOR PHOTOS OF 2494 MISSISSAUGA ROAD



2494 MISSISSAUGA ROAD - HERITAGE IMPACT STUDY

INTERIOR PHOTOS OF 2098 MISSISSAUGA ROAD

INTERIOR PHOTOS OF 2494 MISSISSAUGA ROAD

2494 MISSISSAUGA ROAD - HERITAGE IMPACT STUDY

INTERIOR PHOTOS OF 2494 MISSISSAUGA ROAD

INTERIOR PHOTOS OF 2494 MISSISSAUGA ROAD



## CONTEXTUAL SIGNIFICANCE



View of 2493 Mississauga Road

The neighbouring properties vary dramatically in their architectural style with one unifying feature whereby all the front yards are setback a minimum of 9 meters allowing the continuance of a green belt along the edges of Mississauga Road. There is a general preference for Tudor Revival designs with large sloping roofs, dormers, gables, and a combination of brick, wood and stucco. Mississauga Road continues to be a location for larger high end homes that would be typified by being part of the Mississauga luxury real estate market. Periodically along Mississauga Road, homes have low stone walls along their front property lines that refer to the historical roots of the original Stone Road.

The context and streetscape of the south part of Mississauga Road Scenic Route is predominantly provided by the winding natural curve of road following the path of the Credit River and its heavily treed lot frontages with a mix of some older properties with the newly constructed grand luxury properties. This blend of construction creates at times a discord of the built environment due to the layers of development that continue to occur. The house, in its current state, does not contribute positively to its streetscape.

CONTEXTUAL SIGNIFICANCE



2509 Mississauga Road (left), 2501 Mississauga Road (right)



### CONTEXTUAL SIGNIFICANCE

Note: Photos in this section were taken during site visit, December 2015



2500 Mississauga Road



CONTEXTUAL SIGNIFICANCE



2486 Mississauga Road



CONTEXTUAL SIGNIFICANCE



2512 Mississauga Road



CONTEXTUAL SIGNIFICANCE



2509 Mississauga Road



2517 Mississauga Road



CONTEXTUAL SIGNIFICANCE



2485 Mississauga Road



CONTEXTUAL SIGNIFICANCE



Park behind the property.



## 2494 MISSISSAUGA ROAD - HERITAGE IMPACT STUDY

## SUMMARY REGARDING EXISTING STRUCTURE

## RATING SYSTEM

E - Excellent  
 VG- Very Good  
 G - Good  
 F - Fair  
 L - Low

Municipal Address: 2494 Mississauga Road			Date: Jan 6, 2016			Evaluator: Alexander Temporale B.Arch, O.A.A., F.R.A.I.C., C.A.H.P.		
HISTORICAL VALUE OR ASSOCIATIVE VALUE			Grade			Rationale		
1. Has direct associations with a person, organization, or institution that is significant to a community.	E	VG	G	F	L	There is no record of a person, organization or institution of significance associated with the house.		
2. Has direct associations with an event or activity that is significant to a community.	E	VG	G	F	L	There is no record of the house being used for anything other than residential use.		
3. Has direct associations with a theme or belief that is significant to a community.	E	VG	G	F	L	Related to subdivision growth on and surrounding Mississauga Road in the 60's and 70's, 2494 is not significant to the community.		
4. Yields, or has the potential to yield, information that contributes to an understanding of a community.	E	VG	G	F	L	Due to the late construction date, the architectural style does not provide any information or historic contributions to the understanding of Mississauga Road.		
5. Demonstrates or reflects the work or ideas of an architect, artist, builder, designer, or theorist.	E	VG	G	F	L	No known architect or designer can be linked to 2494 Mississauga Road.		
DESIGN OR PHYSICAL VALUE			Grade			Rationale		
6. Is a rare, unique, representative, or early example of a style, type, expression, material, or construction method.	E	VG	G	F	L	The house was built to resemble a modernist style but falls short of being an important representation of twentieth century modernism.		
7. Displays a high degree of craftsmanship or artistic merit.	E	VG	G	F	L	2494 Mississauga Road displays very basic construction and craftsmanship. It is an attempt to be contemporary that largely failed.		
8. Demonstrates a high degree of technical or scientific achievement.	E	VG	G	F	L	Standard construction except for flat roofs and large overhangs.		
CONTEXTUAL VALUE			Grade			Rationale		
9. Is important in defining, maintaining, or supporting the character of an area.	E	VG	G	F	L	Due to its dark brick, unusual siting and one storey height, the building has minimal visual impact.		
10. Is physically, functionally, visually, or historically linked to its surroundings.	E	VG	G	F	L	2494 Mississauga Road is a simple building lacking the visual impact of the style it references and is more a contrast in scale to the surrounding buildings.		
11. Is a landmark.	E	VG	G	F	L	2494 Mississauga Road is not visually prominent.		

## SUMMARY REGARDING EXISTING STRUCTURE

### CONCLUSIONS

Based on our initial research and assessment, ATA Architects Inc believes that 2494 Mississauga Road is not a historically significant structure and that its design is not unique and does not contribute any significant architectural value to the streetscape or its surrounding context. In summary there will not be a significant negative impact on the Mississauga Road Scenic Route with the loss of the structure at 2494 Mississauga Road.

DESIGN DRAWINGS

PERSPECTIVE FROM MISSISSAUGA ROAD





## SITE PLAN



A100

## DESIGN DRAWINGS

## GROUND FLOOR PLAN

[illegible]

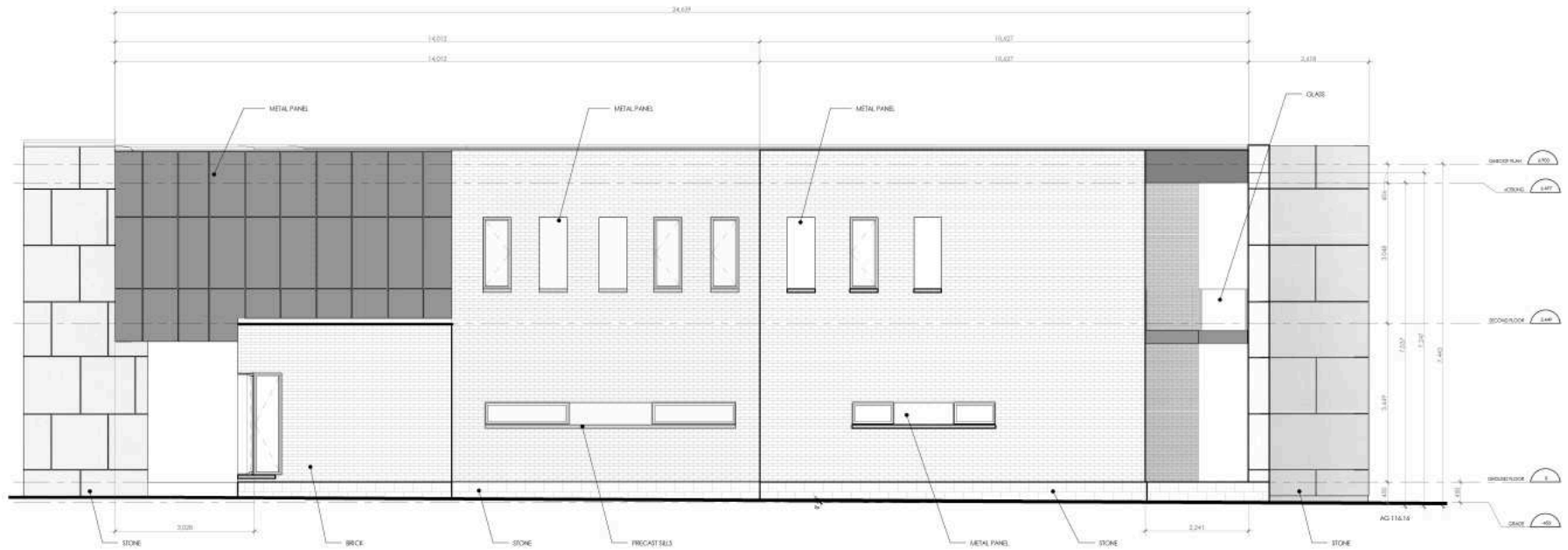


## SECOND FLOOR PLAN



## DESIGN DRAWINGS

NORTH EAST ELEVATION





### SOUTH EAST ELEVATION





### SOUTH WEST ELEVATION



## DEVELOPMENT PROPOSAL

### PROPOSED NEW CONSTRUCTION

The new contemporary home for 2494 Mississauga Road replaces the existing contemporary 1960's residence. The proposed house is more in scale with the adjacent neighbouring properties. The existing home was dominated by the garage which was set closest to the street. The design of the new residence sets the garage back and layers the front facade with a continuous canopy and a broad welcoming porch entrance. In keeping with the scenic drive, the new residence is clad in natural material; brick, stone (granite) and metal (zinc).

The granite clad "fin" walls extend forward to the street and the rear yard. These walls add to the 3 dimensional character and visual interest of the architecture. They also extend the building out into the landscape. The landscape design further utilizes these materials as part of the hard surface treatment and landscape features.

The new residence utilizes a substantial amount of glazing facing the street which adds transparency and enriches the streetscape.

Mississauga Road consists of house styles as noted by the two houses either side of the new residence. The design of the new residence replaces the 1960's modernist style of the existing structure with a new contemporary design. The new home will be lighter in tone with use of contrasting granite and metal to provide texture and visual interest. The landscaping plan and the existing mature trees integrate the house with a layered scenic landscape along Mississauga Road.

## LANDSCAPE CONTEXT

### EXISTING LANDSCAPE

The property is surrounded by numerous trees; 54 trees in total were inventoried in and near the property. Tree species, size, location and condition varying (See \*Arborist Report dated January 2016). A majority of the trees align the properties boundary, framing the property and providing shade. The present house is somewhat screened from the road with some of the coniferous trees located near the front of the property. There is one 80 cm cal White Oak on the City property near to the existing driveway. The double asphalt driveway runs from the road, straight to access the existing garage and a flagstone path hugs the house from the driveway to the front door with a side path to a side door on the north side of the property. The majority of the landscape in the front of the property is lawn and somewhat neglected.

At the back of the property there is an existing swimming pool and patio enclosed with a fence, a small shed but no planting beds. The property backs onto Bruce Reynolds Park.

### IMPACT OF THE PROPOSAL ON EXISTING LANDSCAPE

In accommodating the building of the new proposed home and driveway, 10 Trees will be required removed and 3 trees have also been recommended removed due to health concerns by the Consulting Arborist. The associated paving and existing swimming pool and shed at the back will be removed.

Also the home floor plate and circular driveway will reduce the present area of lawn.

### PROPOSED LANDSCAPE DESIGN

The landscape architecture design for the project was prepared by Judith S. Wright Associates, see L1 attached. The aim of the proposal was to enhance the features of the Architectural design of the house and provide an attractive garden to create vistas views and curb appeal.

A number of areas have been enhanced by the landscape proposal. The new circular asphalt driveway utilizing the space of the existing driveway has been edged with concrete soldier course of pavers. Note: asphalt being a dark colour visually provides for the house a light colour to stand out. Inside the circular driveway, a soft landscape area has been created that will be planted with low mix deciduous and evergreen plants and a straight low 3' wall will be incorporated. This concrete wall will be faced with matching stone to that of part of the house features, thus provided for a connection and extension of the new home into the landscape. The low wall will also divide the

planting bed, providing a buffer to the house from the road and a aesthetically pleasing visual attraction to those departing the front of the house. On the wall facing the road the number of the house will be added.

The circular driveway, a regular incorporation into the properties along Mississauga Road, will allow visitors the ability to pull into the property and allow ease of access in and out of the garage for the owners. A flagstone path from the garaged drive up to the front door allows good access for the homeowner.

By this terrace, low boxwood hedges will provide a simple and elegant border that will also enhance the architecture line features of the new home. By squaring the hedge, a visually pleasing garden space will be created for view from the window to the south of the entrance. As access to that area will be limited grasses will be proposed inside the space. On the outside of the hedged driveway side, shrubs and perennials will be planted to effectively provide an intimate linear space to those approaching from the south entrance side of the driveway.

The grass along the remaining area between driveway and property to road and to the back of the house will be planted with bulbs to provide early colour to the garden.

In the back a new swimming pool will be incorporated square with the house to add to the lines of the architecture of the new property and a cabana will be placed giving a buffer and privacy to those using the swimming pool from the Park. Large native canopy trees will be incorporated in the back garden as part of the replacement compensation package for trees to be removed. The rest of the back area will remain grass.

The new landscape will be aesthetically pleasing and functional in the context of maintaining and enhancing the historic role of Mississauga Road as a scenic drive.





APPENDIX

### Mississauga Road – Glimpses of the Past

By Matthew Wilkinson

Historian

Heritage Mississauga

Meandering along Mississauga Road today, one can catch glimpses into several layers of history; the journey along Mississauga Road is in part a journey through time. The road shares a story that is akin to that of the Credit River – just as the river meanders through Mississauga, Mississauga Road follows the course of the river closely as it traverses our city from Lake Ontario to our Northern border. Both the river and Mississauga Road were once vital lifelines and routes of transportation in the early years of settlement, their quiet and occasionally rural ambience obscuring their importance to early life in what would become the City of Mississauga. But what is the story of Mississauga Road, you might ask? It is a story that has many chapters, or geographic sections as it were, and that can only be touched on in passing with this article.

First, let's start with the route itself; much of Mississauga Road, south of modern Eglinton Avenue, follows an early Native trail that rambled along the course of the Credit River, slightly removed from the floodplains. The route itself deviates from the traditional survey grid favoured by British surveyors, and as such much of its course is a given road – that is, a route that is accepted and traveled but does not, in parts, conform to the survey. This is visually evident from the southern section of the road, south of Eglinton Avenue to Lake Ontario.

North of Eglinton Avenue, Mississauga Road follows the established survey into Streetsville. The road was planked in the 1850s, became a corduroy road in the 1860s, and macadamized and was layered with gravel (referred to as "stone") in the 1890s. When it was first paved, in the 1950s, evidence of the early wooden planks was found under the gravel. Perhaps some of these remnants, or remnants of stump fences, remain buried under the modern road we travel on today.

Along its route, Mississauga Road passes by former inns and stagecoach stops dating to the 1830s and 1840s; large estates dating from the early 1900s; stone walls which hint at a landscape, and a land use, from the past; humble family dwellings and homesteads dating to the early 1850s; a relocated pioneer log house; farming remnants that remind us of our not-to-distant agricultural and fruit growing roots; the site of the former Credit Mission Indian Village; a venerable stone church that overlooks the intersection of the Credit River, Mississauga Road and Dundas Street, an old school and the modern University – all are dotted along the course of Mississauga Road, harkening to several layers of history in a single glance.

Although the date of the official adoption of its modern name is not certain, in the past sections of Mississauga Road carried other names. These names included: Swamp Road, Cedar Swamp Road, Coldspring Road, Spring Road, Springbank Road, Springfield Road, Indian Village Road, Stone Road, Streetsville Plank Road, and the Streetsville Stone Road – likely amongst others. The name of the road as "Mississauga Road" predates the naming of our city.

As you travel along Mississauga Road, one passes through areas that were also once known to locals by other descriptive names: Church Hill, Ross' Hill, Maple Hill, Windy Hollow, Cedar Swamp, Springbank, Sawmill Creek, Garden Farm, Grange Farm, Stonehouse Road, Barbertown Road, Adamson Sideroad and Rogers' Road, amongst others. Some other

early settling families are commemorated in modern street names which intersect with Mississauga Road: Harkiss Road, Featherston Drive and O'Neil Gate, amongst others. Many of these early pioneer families are buried in the two cemeteries behind St. Peter's Anglican Church at the corner of Mississauga Road and Dundas Street West.

As you travel along Mississauga Road today, you are, without a doubt, traveling in the footsteps (and wagon wheels) of those who have come before you – including the Rebel Leader William Lyon Mackenzie who traversed down the course of Mississauga Road when fleeing from authorities following the Rebellion of 1837! Mississauga Road truly is a heritage route!

# Mississauga's long and winding road

## OUR business history

*This is the fourth in a series of articles about the streets, roads and highways that have shaped the development of Mississauga*

Mississauga Road is one of the most scenic routes in this city of the same name. Following closely the course of the Credit River, the road winds its way from Lake Ontario through three of Mississauga's historic communities before continuing northwest into Brampton and Caledon and ending almost at the border of Peel.

Mississauga Road, or parts thereof, probably began as a trail used by the native people traveling from the interior to Lake Ontario. The Mississaugas were hunters and

gatherers and camped at the mouth of the Credit River where they established a village. It was here that they traded furs for goods with first the French and then the English.

In 1805, the British government signed a treaty with the Mississaugas for lands in the southern part of the Mississauga Tract that stretched from the Etobicoke Creek to Burlington Bay and north to the Baseline (Eglinton Avenue). This treaty excludes certain lands including one mile on either side of the river, which was called the Credit Indian Reserve. The surrounding lands were subsequently surveyed for settlement and were quickly taken up for farming.

A second treaty was signed for the remaining land in the Mississauga Tract in 1818. This opened for settlement lands along the Credit River, in the northern part of Toronto Township (Mississauga), and in the rest of the area now comprising the Regions of Peel and Halton.

We begin our journey up Mississauga Road in Port Credit.

Back in the early 1800s, this was part of the Credit Indian Reserve and native people continued to live there even after 1826 when the British government built a village of log homes for them further up the river. On the west bank of the Credit River, in 1834, a town site was surveyed for the village of Port Credit. Its western boundary was Joseph Street, which would later become Mississauga Road in Port Credit.

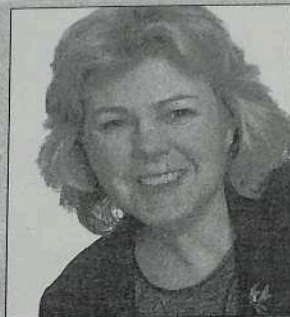
However, the 1877 Historical Atlas of Peel County refers to the route as the "Road from Indian Village" and those traveling from the Lakeshore Road took what is now Front Street North to the crossing at the Toronto & Hamilton Railway.

Today Mississauga Road follows what was Joseph Street, goes through a railway underpass, makes a sharp turn and angles west. This route was also called the Port Credit-Streetsville Road at one time because it connected these two communities.

Beyond the tracks, the road that once ran by farm homesteads is now lined with luxury homes on large lots with wide frontages. After the road dips below the Queen Elizabeth Way (built along the Middle Road in 1937), it veers further west again and passes the Mississauga Golf and Country Club.

GAY  
PEPPIN

## BACKTRACKING



This was the site of the Credit Indian Village from 1826 until 1847 when the Mississaugas relocated to the New Credit Reserve near Brantford. In the 1950s, the Golf Club negotiated to have the route of the road moved south in order to install a practice green.

Further along, the road suddenly makes a sharp right angle turn and heads down into a dell and then twists and turns its way up to Dundas Street. Once called Springfield Road, this stretch borders the "Crook of the Credit", the bend in the river created by the glacial remnants of the barrier beach of former Lake Iroquois.

High on the hill on the northeasterly corner of Mississauga Road and Dundas Street is St. Peter's Anglican Church.

It is the cornerstone of the historic village of Erindale, which was established in the 1820s and at one time was called Springfield.

As you continue up Mississauga Road, you pass the University of Toronto at Mississauga (UTM). The Mississauga Campus, once known as Erindale College, opened in 1967 and is home to the Kanoff Centre for Management and Social Sciences

as well as a number of other business and industry research initiatives.

Mississauga Road crosses Burnhamthorpe Road and once again diverts from its straight course as it snakes its way across the Mullett Creek, a tributary feeding the Credit River, then heads over Highway 403 and passes subdivisions and apple orchards on its way to Eglinton Avenue.

North of the former Baseline, this boulevard is again bordered by beautiful homes including the Barber House Restaurant. This is the former estate mansion of one of the two Barber brothers who together ran a woolen factory, which was the centre of a community called Barbartown.

As you cross the tracks that once belonged to the Credit Valley Railroad, to your right is Kraft Canada Mississauga Mill. Though it has changed names a number of times, this is the oldest industrial site in Mississauga still doing what it did from its beginning in 1835, milling wheat into flour.

In Streetsville, Mississauga Road becomes Queen Street and all along it are the many historic buildings that house businesses, including the Montreal House (1821), the oldest store building in Mississauga, which was originally a trading post and general store.

A little north of Britannia Road, this thoroughfare is once again called Mississauga Road. Here it loses some of its charm as it has changed from a two-lane heritage route to a four-lane highway. Carrying commuters and commodities past commercial and industrial complexes, it next connects to Erin Mills Parkway, climbs a hill, crosses over the Highway 401, and passes the newer industrial, pharmaceutical, financial and corporate centres before heading beyond the city border.

While Mississauga Road has gone through many changes from a trail to a pioneer pathway, a planked road to macadamized surface, and finally a paved highway, and its route and name have varied, it remains a road of historical and commercial importance as it threads its way through the woven tapestry of streets that is our city today.

Gay Peppin is a Mississauga-based freelance writer. She can be reached at [gap@allstream.net](mailto:gap@allstream.net)



*The University of Toronto at Mississauga (UTM) is just one of the many important stops along historic Mississauga Road. Photo Gay Peppin*

OPINION

5) Local Archives - Mississauga - Street names

Mississauga Business Times April 2005





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PARCEL REGISTER (ABBREVIATED) FOR PROPERTY IDENTIFIER

13441-0159 (LT)

PAGE 2 OF 2  
PREPARED FOR JASON TRUELOVE  
ON 2015/12/04 AT 09:53:36

\* CERTIFIED IN ACCORDANCE WITH THE LAND TITLES ACT \* SUBJECT TO RESERVATIONS IN CROWN GRANT \*

REG. NUM.	DATE	INSTRUMENT TYPE	AMOUNT	PARTIES FROM	PARTIES TO	CERT/ CHKD
PR2172500	2012/03/30	TRANSFER REMARKS: PLANNING ACT STATEMENTS		*** COMPLETELY DELETED *** LUCIANI, PETER DONALD	HANNA, MOURAD	
PR2289580	2012/11/01	TRANSFER REMARKS: PLANNING ACT STATEMENTS	\$1,190,000	HANNA, MOURAD	VIRDI, ROSELY	C
PR2760973	2015/08/06	CERTIFICATE REMARKS: TAX AREAS		THE CORPORATION OF THE CITY OF MISSISSAUGA		C

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PARCEL REGISTER (ABBREVIATED) FOR PROPERTY IDENTIFIER

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 PAGE 1 OF 2  
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\* CERTIFIED IN ACCORDANCE WITH THE LAND TITLES ACT \* SUBJECT TO RESERVATIONS IN CROWN GRANT \*

PROPERTY DESCRIPTION: PT LT 12 RANGE 3 CIR TORONTO AS IN R0641585; CITY OF MISSISSAUGA

## PROPERTY REMARKS:

## ESTATE/QUALIFIER:

FEE SIMPLE

LT CONVERSION QUALIFIED

## RECENTLY:

RE-ENTRY FROM 13441-0881

## PIN CREATION DATE:

1999/03/25

## OWNERS' NAMES

VIRDI, ROSELY

## CAPACITY SHARE

CROWN

REG. NUM.	DATE	INSTRUMENT TYPE	AMOUNT	PARTIES FROM	PARTIES TO	CERT/ CHKD
**EFFECTIVE 2000/07/29 THE NOTATION OF THE "BLOCK IMPLEMENTATION DATE" OF 1996/10/21 ON THIS PIN** **WAS REPLACED WITH THE "PIN CREATION DATE" OF 1999/03/25** ** PRINTOUT INCLUDES ALL DOCUMENT TYPES AND DELETED INSTRUMENTS SINCE: 1999/03/25 ** **SUBJECT, ON FIRST REGISTRATION UNDER THE LAND TITLES ACT, TO: ** SUBSECTION 44(1) OF THE LAND TITLES ACT, EXCEPT PARAGRAPH 11, PARAGRAPH 14, PROVINCIAL SUCCESSION DUTIES * ** AND ESCHEATS OR FORFEITURE TO THE CROWN. ** THE RIGHTS OF ANY PERSON WHO WOULD, BUT FOR THE LAND TITLES ACT, BE ENTITLED TO THE LAND OR ANY PART OF ** IT THROUGH LENGTH OF ADVERSE POSSESSION, PRESCRIPTION, MISDESCRIPTION OR BOUNDARIES SETTLED BY ** CONVENTION. ** ANY LEASE TO WHICH THE SUBSECTION 70(2) OF THE REGISTRY ACT APPLIES. **DATE OF CONVERSION TO LAND TITLES: 1999/03/26 ** R0641585 1983/05/10 TRANSFER *** DELETED AGAINST THIS PROPERTY *** PR2064676 2011/08/30 TRANSFER *** COMPLETELY DELETED *** PECK, CHARLES BERTRAND REMARKS: PLANNING ACT STATEMENTS LUCIANI, PETER DONALD						

 NOTE: ADJOINING PROPERTIES SHOULD BE INVESTIGATED TO ASCERTAIN DESCRIPTIVE INCONSISTENCIES, IF ANY, WITH DESCRIPTION REPRESENTED FOR THIS PROPERTY.  
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644802 GRANT	07 06 83	HURLEY, Jean M.	SPRAGGETT, Teresa J. SPRAGGETT, Olga	2.000	Part designated as part 1 and 2 on 43R-10929
644803 MORT	07 06 83	SPRAGGETT, Leonard J.	CANADIAN, Imperial		
Discharged by # 100812		SPRAGGETT, Olga	Bank of Commerce	100,000.00	Part as in no 644802
648017 By Law 367-83	04 07 83	THE Corporation of the City of Mississauga			Pl. comm. 122.58' x 122.58' from a L thence NE 60.57' x SE 55.57' x SE 391.33' x SE 54.63' to point to establish part municipality Hwy. system.
653117 Mob	15 08 83	CHAPMAN John CHAPMAN Marie	Queen's Park Civil Service Credit Union Ltd	21,800.00	part comm. n. of 10' widening plan 797 thence SE 245.38' x SW 105.38' x NW 247.69' x NE 106.86' to pt. (0.001 ac.) Pl. designated as 11 lot, full, 100'
653615 MORT	14 08 83				
43R 10925 Mortgage	13 09 83				
658312 Mort.	26 09 83	Peck, Charles B.	The Toronto Dominion Bank	2.00	Part as in no. 173730
Discharged by # 815101		Asst. Dep. Land Reg.			
668343 Mob	24 12 83	GLAVAN Gordon J.	The Toronto Dominion Bank	133,000.00	part designated as part 4 on 43R 11661
Discharged by # 80554		Asst. Dep. Land Reg.			
672771 Q.C.	17 02 84	The City of Mississauga	SPRAGGETT Leonard J. SPRAGGETT Olga		part. comm. 122.58' thence SE 122.58' x NW 122.58'

Service Ontario Land Registry Records (1878-1888)  
Sheet 9, Lot 12, Range 3 C.I.R  
Source: Land Registry Office #43





Service Ontario Land Registry Records (1878-1888)  
Sheet 2, Lot 12, Range 3 C.I.R  
Source: Land Registry Office #43





## Corporate Report

5 -1

Clerk's Files

Originator's  
Files

Heritage Advisory Committee  
MAY 22 2012

Heritage Advisory Committee

5 -2

- 2 -

May 1, 2012

**COMMENTS:**

The owner of the subject property requests permission to demolish the existing structure. The Heritage Impact Statement, by David W. Small, is attached as Appendix 1. It is the consultant's conclusion that the house at 2494 Mississauga Road is not worthy of heritage designation. Staff concurs with this opinion.

The landscaping and urban design related issues are being reviewed as part of the Site Plan review process to ensure that the project respects the character of the surrounding community.

**FINANCIAL IMPACT:** There is no financial impact

**CONCLUSION:**

The owner of 2494 Mississauga Road has requested permission to demolish a structure on a property that is listed on the City's Heritage Register. The applicant has submitted a documentation report that provides information which does not support the building's merit for designation under the *Ontario Heritage Act*.

**ATTACHMENTS:**

Appendix 1: Heritage Impact Statement

Paul A. Mitcham, P.Eng, MBA  
Commissioner of Community Services

*Prepared By: P. Wubbenhorst, Acting Senior Heritage Coordinator*

**DATE:** May 1, 2012

**TO:** Chair and Members of the Heritage Advisory Committee  
Meeting Date: May 22, 2012

**FROM:** Paul A. Mitcham, P.Eng, MBA  
Commissioner of Community Services

**SUBJECT:** Request to Demolish a Heritage Listed Property  
2494 Mississauga Road  
(Ward 8)

**RECOMMENDATION:** That the property at 2494 Mississauga Road, which is listed on the City's Heritage Register, is not worthy of heritage designation, and consequently, that the owner's request to demolish the structure proceed through the applicable process.

**BACKGROUND:** Section 27.3 of the *Ontario Heritage Act* states that structures or buildings on property listed on the City's Heritage Register cannot be removed or demolished without at least 60 days notice to Council. This legislation allows time for Council to review the property's cultural heritage value to determine if the property merits designation.

The owner of the subject property submitted a Site Plan application under file SPI 12/41 W8, to replace the existing single detached dwelling with a new one. The subject property is listed on the City's Heritage Register as it forms part of the Mississauga Road Scenic Route cultural landscape, noted for its historical origins and scenic quality as one of the oldest original roads within Mississauga.



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The Building Permit page displays a listing of all Building Permits associated with the property. Since properties may contain multiple buildings, you may see different addresses than originally requested in your lookup.

Building permit data is displayed in order of Application Date with the most recent application appearing first in the list below. You can change the sort order by clicking on the App Date or Issue Date link. If you have any questions about the building permit data displayed below, please contact our Building Division at (905) 896-5619.

Property Details	Zoning Information	Building Permits	Development Applications	Committee of Adjustment	Heritage	Map It																								
<p><b>PROPERTY BUILDING PERMITS</b> ■ <a href="#">View Another Property</a></p> <p>Address: 2494 MISSISSAUGA RD Legal Description: LT PT 12 RANGE 3CIR Roll Number: 21-05-060-131-10100-0000</p> <p><a href="#">Print Friendly Page</a></p>																														
<p><b>Building Permits</b></p> <p>4 Permit(s) found Page: 1 of 1</p> <table border="1"> <thead> <tr> <th>■ App Number</th> <th>■ Address</th> <th>■ Scope</th> <th>■ Issue Date</th> </tr> <tr> <th>■ App Date</th> <th>■ Description</th> <th>■ Type Description</th> <th>■ Status</th> </tr> </thead> <tbody> <tr> <td>BP 9NEW 12 460 R1</td> <td>2494 MISSISSAUGA RD</td> <td>TRANSFER</td> <td>2015-08-27</td> </tr> <tr> <td>2015-08-27</td> <td>CANC SEPT 16/2015 - TRANSFER PERMIT #12-460 TO NEW OWNERSHIP - CUSTOM SFD WITH FINISHED BASEMENT, DEMO-EXISTING SFD &amp; SHED</td> <td>DETACHED DWELLING</td> <td>CANCELLED APPLICATION</td> </tr> <tr> <td>HOUSDEMO 12 1784</td> <td>2494 MISSISSAUGA RD</td> <td>DEMOLITION</td> <td>2012-07-04</td> </tr> <tr> <td>2012-06-29</td> <td>CANC OCT 4/2012 - DEMOLITION - SFD &amp; ALUMINIUM SHED</td> <td>DETACHED DWELLING</td> <td>CANCELLED APPLICATION</td> </tr> </tbody> </table>							■ App Number	■ Address	■ Scope	■ Issue Date	■ App Date	■ Description	■ Type Description	■ Status	BP 9NEW 12 460 R1	2494 MISSISSAUGA RD	TRANSFER	2015-08-27	2015-08-27	CANC SEPT 16/2015 - TRANSFER PERMIT #12-460 TO NEW OWNERSHIP - CUSTOM SFD WITH FINISHED BASEMENT, DEMO-EXISTING SFD & SHED	DETACHED DWELLING	CANCELLED APPLICATION	HOUSDEMO 12 1784	2494 MISSISSAUGA RD	DEMOLITION	2012-07-04	2012-06-29	CANC OCT 4/2012 - DEMOLITION - SFD & ALUMINIUM SHED	DETACHED DWELLING	CANCELLED APPLICATION
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BP 9NEW 12 460	2494 MISSISSAUGA RD	NEW BUILDING	2012-10-16
2012-02-24	CANC SEPT 16/2015 - SFD - CUSTOM WITH FINISHED BASEMENT, DEMO-EXISTING SFD & SHED	DETACHED DWELLING	CANCELLED APPLICATION
HC 78 327752	2494 MISSISSAUGA RD		1978-10-26
1978-09-07	ALTERATIONS - BRICK-VENEER TO EXTERIOR OF SINGLE FAMILY DWELLING CODE: 4804 - PERMIT #23824		HISTORY COMMENT PERMIT

4 Permit(s) found Page: 1 of 1

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## 2494 MISSISSAUGA ROAD - HERITAGE IMPACT STUDY

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### PROPERTY DEVELOPMENT APPLICATIONS

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Address: 2494 MISSISSAUGA RD  
Legal Description: LT PT 12 RANGE 3CIR  
Roll Number: 21-05-060-131-10100-0000

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**Development Applications**

3 Application(s) found Page: 1 of 1

■ App Number	■ Location	■ Description	■ App Date	■ Status
■ Type				
HPA 12 39	MINEOLA WEST	Replacement detached dwelling	2012-06-26	APPROVED
HERITAGE PROPERTY PERMIT APP				
TRP 12 26	NORTH OF THE QEW, WEST OF MISSISSAUGA ROAD	TREE REMOVAL PERMISSION	2012-05-15	APPROVED
TREE REMOVAL PERMISSION				
SPI 12 41	NORTH OF THE QEW, WEST OF MISSISSAUGA ROAD	2 storey replacement dwelling	2012-03-01	APPROVED
INFILL SITE PLANS				

3 Application(s) found Page: 1 of 1

Development Application records  
Source: City of Mississauga, Property Information website

## BIBLIOGRAPHY

## REFERENCES:

*"Mississauga Road - Glimpses of the Past"* Matthew Wilkinson, May 2014, The Herald, Issue 33, The Erindale Village Association, <http://sites.google.com/site/erindalevillageassociation>

*"Mississauga's long and winding road"* Gay Peppin, *Mississauga Business Times*, published in April 2005  
Mississauga Central Library, The Canadiana Room

*"Credit Mission - Credit Indian Village"* Meaghan FitzGibbon, Chapter excerpt from *"Journey to the Past: The lost villages of Mississauga"* Heritage Mississauga, published in 2009  
<http://www.heritagemississauga.com/page/Credit-Mission-Credit-Indian-Village>

## RESOURCES:

Land Registry Records,  
Peel Land Registry Office #43

City of Mississauga  
<http://www.mississauga.ca/>

City of Mississauga Heritage Planning  
<http://www.mississauga.ca/portal/discover/heritage>

Heritage Mississauga  
1921 Dundas West Mississauga, ON L5K 1R2  
<http://www.heritagemississauga.com/>

Peel Art Gallery museum & Archives  
<http://www.pama.peelregion.ca/>

The Canadiana Room  
Mississauga Central Library  
301 Burnhamthorpe Road West, Mississauga, ON  
<http://www.mississauga.ca/portal/residents/library>



## ALEXANDER TEMPORALE CV

Alexander Louis Temporale, B.Arch., O.A.A., F.R.A.I.C

### Education

University of Toronto, B.Arch.

### Background

Alexander Temporale has had a long history of involvement in heritage conservation, downtown revitalization, and urban design. As a founding partner of Stark Temporale Architects, Mr. Temporale was involved in a variety of restoration projects and heritage conservation studies, including: the Peel County Courthouse and Jail Feasibility Study, the Brampton Four Corners Study and the Meadowvale Village Heritage District Study. The study led to the creation of the first heritage district in Ontario.

His involvement and interest in history and conservation resulted in a long association with the heritage conservation movement, as a lecturer, resource consultant, and heritage planner. He was a member of the Brampton Local Architectural Conservation Advisory Committee, a director of the Mississauga Heritage Foundation, and chairman of the Mississauga LACAC Committee. As a member of LACAC, Alex Temporale was also a member of the Architectural Review Committee for Meadowvale Village. He is also a former Director of the Columbus Centre, Toronto and Visual Arts Ontario. Mr. Temporale has been a lecturer for the Ontario Historical Society on Urban Revitalization and a consultant to Heritage Canada as part of their "Main Street" program.

In 1982, Alexander Temporale formed his own architectural firm and under his direction the nature and scope of commissions continued to grow with several major urban revitalization studies as well as specialized Heritage Conservation District Studies. His work in this field has led to numerous success stories. The Oakville Urban Design and Streetscape Guidelines was reprinted and used for approximately 20 years. The study of the Alexander Homestead (Halton Region Museum Site) led to the Museum's rehabilitation and a significant increase

in revenue. The Master Plan reorganized the site and its uses, as well as facilitating future growth. During this time, Alex received numerous awards and his contribution to architecture was recognized in 2007 in becoming a Fellow of the Royal Architectural Institute of Canada. Many projects have become community landmarks, received awards or been published. These include Lionhead Golf Clubhouse, Brampton; the Emerald Centre, Mississauga; St. David's Church, Maple; Gutowski Residence, Shelburne; Martin Residence, Mississauga and Stormy Point, Muskoka, to name a few.

Mr. Temporale is recognized at the OMB as an expert in urban design and restoration architecture. He is a member of the advisory committee of Perspectives, a journal published by the Ontario Association of Architects. He is a frequent author on design issues. He has also authored numerous urban design studies and heritage studies for a variety of municipalities i.e. Brantford, Grimsby, Brampton, Flamborough and Burlington. Below are other previous offices held:

### Past Offices

- > Jurist, 2010 Mississauga Urban Design Awards
- > Chairman, Mississauga Local Architectural Conservation Advisory Committee
- > Director, Visual Arts Ontario
- > President, Port Credit Business Association
- > Director, Brampton Heritage Board

#### Heritage Assessment and Urban Design Studies

- > 1187 Burnhamthorpe Road East Heritage Assessment, Oakville
- > 103 Dundas Street Heritage Assessment, Oakville
- > 3060 Seneca Drive Heritage Assessment, Oakville
- > 491 Lakeshore Road (Captain Morden Residence) Heritage Assessment, Oakville
- > 2347 Royal Windsor Drive Heritage Assessment, Oakville
- > 107 Main St. E. Heritage Assessment, Grimsby
- > 74 & 76 Trafalgar Road Heritage Assessment and Urban Design Brief, Oakville
- > 7005 Pond Street Heritage Assessment, Meadowvale
- > 7015 Pond Street (Hill House) Heritage Assessment, Meadowvale
- > 44 and 46 Queen Street South Heritage Assessment, Streetsville
- > 264 Queen Street South (Bowie Medical Hall) Heritage Assessment, Streetsville
- > Fred C. Cook Public School Heritage Assessment, Bradford West Gwillimbury
- > Harris Farm Feasibility Study, City of Mississauga
- > Benares Condition Assessment Report, City of Mississauga
- > Lyon Log Cabin Relocation, Oakville, Ontario
- > 42 Park Avenue Heritage Assessment, Oakville, Ontario
- > The Old Springer House Heritage Assessment, Burlington, Ontario
- > 2625 Hammond Road Heritage Impact Study, Mississauga, Ontario
- > 153 King Street West Heritage Assessment, Dundas, Ontario
- > Brampton Civic Centre Study, Brampton, Ontario
- > 139 Thomas Street Heritage Impact Study, Oakville, Ontario
- > Historic Alderlea Adaptive Reuse and Business Case Study, Brampton, Ontario
- > Trafalgar Terrace Heritage Impact Study, Oakville, Ontario
- > Binbrook Heritage Assessment, Glanbrook, Ontario
- > Fergusson Residence, 380 Mountainbrow Road, Burlington, Ontario, Heritage Assessment
- > Canadian Tire Gas Bar, 1212 Southdown Road, Mississauga, Ontario, Heritage Assessment
- > Donald Smith Residence, 520 Hazelhurst Road, Mississauga, Ontario, Heritage Assessment
- > Hannon Residence, 484 Brant Street, Burlington, Ontario, Heritage Assessment
- > Bodkin Residence, 490 Brant Street, Burlington, Ontario, Heritage Assessment
- > Fuller Residence, 8472 Mississauga Road, Brampton, Ontario, Heritage Assessment
- > 11953 Creditview Road, Chinguacousy Township, Brampton, Ontario Assessment
- > Historic Meadowvale Village Inventory/Heritage Assessment Study (Stark Temporale)
- > Brampton Four Corners Urban Design Study (Stark Temporale)
- > Erindale Village Urban Design Study (Stark Temporale)
- > Oakville Downtown Urban Design and Site Plan Guidelines Study
- > Burlington Downtown, Urban Design and Façade Improvement Study
- > Burlington East Waterfront Study
- > Victoria Park Square Heritage District Study, Brantford
- > Bullock's Corners Heritage Conservation District Study, Town of Flamborough
- > Brant Avenue Heritage Conservation District Study, Brantford
- > Urban Design Guidelines for Infill Development, Town of Oakville
- > 111 Forsythe, OMB Urban Design Consultant, Town of Oakville
- > Trafalgar Village Redevelopment, Urban Design Consultant, Town of Oakville
- > Eagle Ridge (Three Condominium Towers) Development, Urban Design Consultant
- > Trafalgar Market Redevelopment, Urban Design Consultant, Town of Oakville
- > St. Mildred Lightbourne Private School Expansion, Urban Design Consultant, Town of Oakville
- > OPP Academy (Art Deco Heritage Building), Feasibility Study, City of Brampton
- > Kennedy Road, Victorian Farmhouse Study, City of Brampton
- > Chisholm Estate Feasibility Study, City of Brampton
- > Urban Design Guidelines, Hurontario and 403, Housing for Ontario Realty Corporation, Mississauga

- > Urban Design Study Canadian General Tower Site, Oakville
- > Port Credit Storefront Urban Design Study (Townpride)
- > Port Credit Streetlighting Phases I and II, Lakeshore Road
- > Urban Design Study for the Town of Grimsby Downtown Area
- > Clarkson Village Community Improvement Study as a member of the Townpride Consortium
- > Richmond Hill Downtown Study, as a member of the Woods Gordon Consortium
- > Heritage Building, 108 – 116 Sparks Street, Ottawa, Feasibility Study for National Capital Commission
- > Niagara Galleries Project, Niagara-on-the-Lake, Design Concept/Feasibility Study
- > Aurora Library/Public Square Study (Townpride)
- > Oakville Dorval Glen Abbey Study of High Density Residential
- > Halton Regional Museum (Feasibility Study and Master Plan) Phase I construction including conversion of the Alexander Barn to Museum and Exhibits Building to Visitor Centre.

#### Partial List of Heritage Restoration Projects

- > Oakville Radial Railway Station, Contract Drawings, May construction start, Oakville
- > Old Springer House, Addition Design, Burlington
- > 505 Church and Wellesley, Schematic Design, Rehabilitation and Addition, Toronto
- > Adamson House Roof Repair, Mississauga
- > Restoration/Maintenance of 4 City of Mississauga Properties, Adamson Estate, Restoration Benares Historic House, Derry House and Chappell Estate
- > The Old Springer House Renovation and Replacement of Existing Banquet Hall, Burlington, Ontario
- > Historic Bank of Montreal Building, Restoration and Addition, Oakville, Ontario
- > Fergusson House Restoration, Burlington, Ontario
- > Bovaird House Window Restoration, Brampton, Ontario
- > Vickerman Residence Renovations Design, Oakville, Ontario

- > Ontario Agricultural Museum, Master Plan Revisions (Stark Temporale with Prof. Anthony Adamson)
- > Restoration of Lucas Farmhouse and Women's Institute (Stark Temporale with Prof. Anthony Adamson).
- > Backus Conservation Area, Master Plan of Historical Museum (Stark Temporale)
- > Peel County Courthouse & Jail Feasibility Study (Stark Temporale)
- > Port Credit Streetscape Improvements (Stark Temporale)
- > Miller Residence, Stone Farmhouse, Brampton (Stark Temporale)
- > Salkeld Residence, Brick, Late Victorian, Brampton (Stark Temporale)
- > Bridges Residence, Brick, Late Victorian, Brampton (Stark Temporale)
- > Graff Residence, Brick, Late Victorian, Brampton (Stark Temporale)
- > Sheridan Day Care Centre, Late Victorian Farmhouse (Stark Temporale)
- > St. Paul's Church Renovation/Restoration, Brampton (Stark Temporale)
- > McInnis Residence, Second Empire Style Renovation/Addition, Brampton (Stark Temporale)
- > Shore Residence, Main Street, Victorian Addition/Renovation Brampton (Stark Temporale)
- > Watts Residence, Late Victorian, Renovation and Addition, Brampton
- > Faculty Club Renovations and Interiors, Heritage Building, University of Toronto
- > Cawthra Elliot Estate Conference Centre (Feasibility Study; Restoration and Renovations), Mississauga
- > Springbank Centre for the Visual Arts, Renovation Phases I-IV, Mississauga
- > Wilcox Inn Renovations and Restoration, Mississauga
- > Chappel Riverwood Estate, Restoration and Alterations Concepts for residential use
- > Thomas Street Mews, Streetsville, conversion of existing heritage residence to shops
- > Owens-Baylay House, Mississauga, relocation and renovation to designated Century Farmhouse
- > Queen Street Store, Streetsville, exterior restoration and renovations/addition
- > Atchinson Residence, Brick Late Victorian, Brampton
- > Cameron Residence, Design Victorian, Brampton
- > Reid Residence, Victorian Farmhouse, Caledon
- > Stonehaven Farm, restoration of stone heritage building, Ajax





City of Mississauga  
**Corporate Report**



Date: 2016/08/11

Originator's files:

To: Chair and Members of Heritage Advisory Committee

From: Paul Mitcham, P. Eng, MBA, Commissioner of  
 Community Services

Meeting date:  
 2016/09/13

## Subject

**Request to Demolish a Heritage Listed Property: 1405 Glenwood Drive (Ward 1)**

## Recommendation

That the property at 1405 Glenwood Drive, which is listed on the City's Heritage Register, is not worthy of heritage designation, and consequently, that the owner's request to demolish proceed through the applicable process.

## Background

Section 27.3 of the *Ontario Heritage Act* states that structures or buildings on property listed on the City's Heritage Register cannot be removed or demolished without at least 60 days' notice to Council. This legislation allows time for Council to review the property's cultural heritage value to determine if the property merits designation.

The owner of the subject property has submitted a heritage permit application to demolish and replace the existing detached dwelling. The subject property is listed on the City's Heritage Register as it forms part of the Mineola Neighbourhood cultural landscape. This cultural landscape is significant due to development of the area at a time when natural elements determined the lot pattern and road system. The area is notable for its rolling topography, its natural drainage and its mature trees. The area is characterized by a balance between the built form and the natural surroundings with a softened transition from landscaped yards to the street edge with no curbs and a variety of quality housing stock.

The landscaping, urban design and conservation authority related aspects related to the proposed development will be reviewed as part of the Site Plan review process to ensure the project respects the character of the surrounding community.

## Comments

The owner of the subject property has requested permission to demolish the existing structure. The applicant has provided a Heritage Impact Statement compiled by W.E. Oughtred and

Associates Inc. It is attached as Appendix 1. The consultant has concluded that the house at 1405 Glenwood Drive is not worthy of designation. Staff concurs with this finding.

## Financial Impact

There is no financial impact.

## Conclusion

The owner of 1405 Glenwood Drive has requested permission to demolish a structure on a property that is listed on the City's Heritage Register. The applicant has submitted a documentation report which provides information which does not support the building's merit for designation under the *Ontario Heritage Act*.

## Attachments

Appendix 1: Heritage Impact Assessment



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Paul Mitcham, P. Eng, MBA, Commissioner of Community Services

Prepared by: Cecilia Nin Hernandez, Heritage Coordinator





**Heritage Impact Statement**

1405 Glenwood Road  
Mississauga, Ontario

March, 2016

W.E. Oughtred & Associates Inc.  
2140 Winston Park Drive, Suite 28  
Oakville, ON L6H 5V5

## **INTRODUCTION**

It is a requirement for the City of Mississauga to request “Heritage Impact Statements” for proposed demolitions of homes listed within the Cultural Landscape Inventory. This report will review the subject property as a part of Mineola Neighbourhood.

The property owners are planning to construct a new dwelling on the subject property.

As a result of the requirement for the demolition of the existing house on the subject property, this Heritage Impact Statement has been prepared.

## **TABLE OF CONTENTS**

- 1.Context Map**
- 2.Location Map**
- 3.Plan of Survey**
- 4.Official Plan**
- 5.Zoning Map**
- 6.Aerial Photos**
- 7.Significant Cultural Landscape Designation**
- 8.Property History**
- 9.Peel Historical Atlas**
- 10.Existing site conditions**
  - a. Exterior Photos**
  - b. Floor Plans**
  - c. Interior Photos**
- 11.Proposed House**
- 12.Proposed Site Plan**
- 13.Streetscapes**
- 14.Cultural Heritage Landscape Inventory**
- 15.Conclusions**
- 16.Mandatory Recommendations**
- 17.About the Author**
- 18.References**



## 1. Context Map



**Subject Property**

The property is located on the west side of Hurontario Street, south of the Queen Elizabeth Way and north of Mineola Road West.

## 2. Location Map

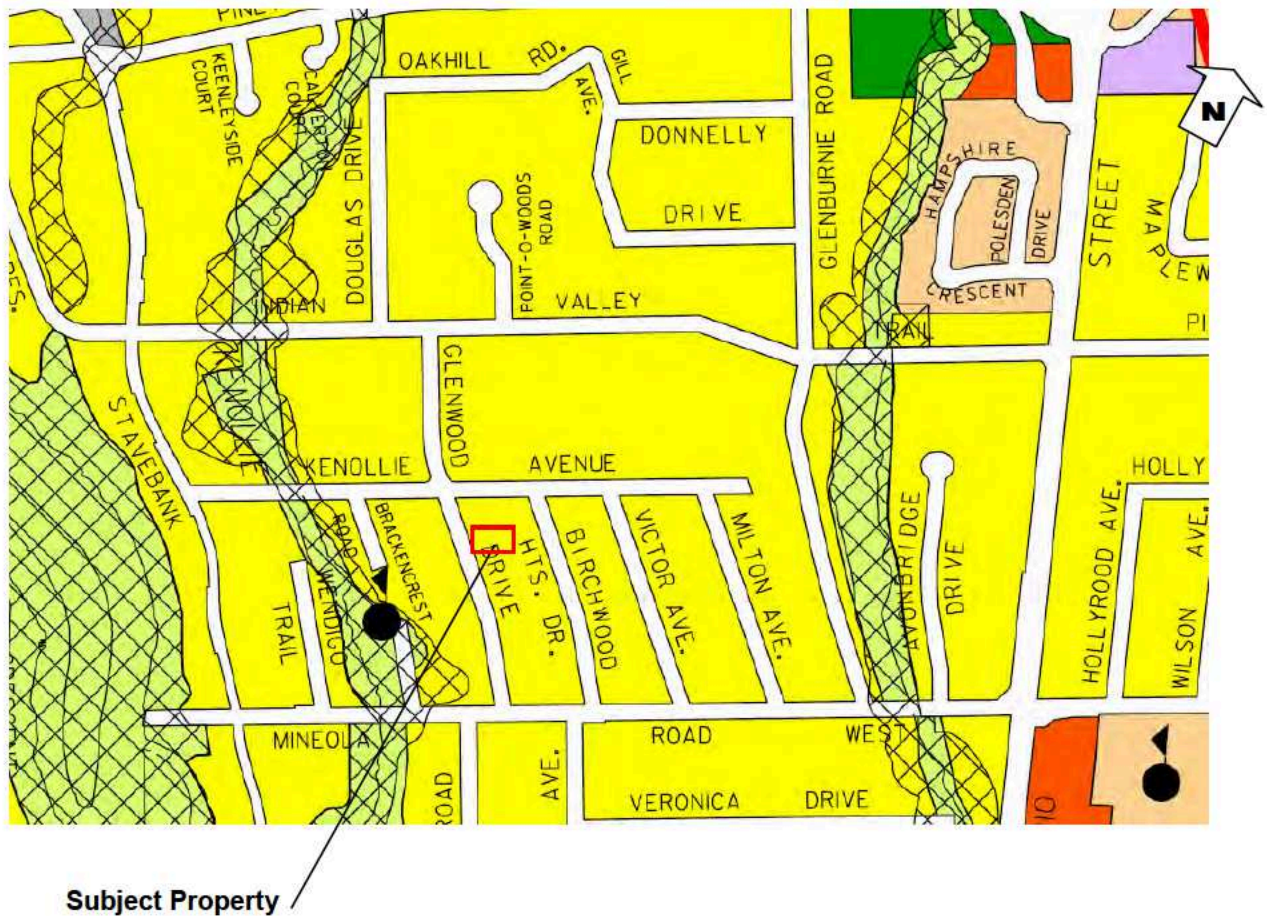


The subject property is located on the east side of Glenwood Drive, west of Hurontario Street and north of Mineola Road West.

[illegible]



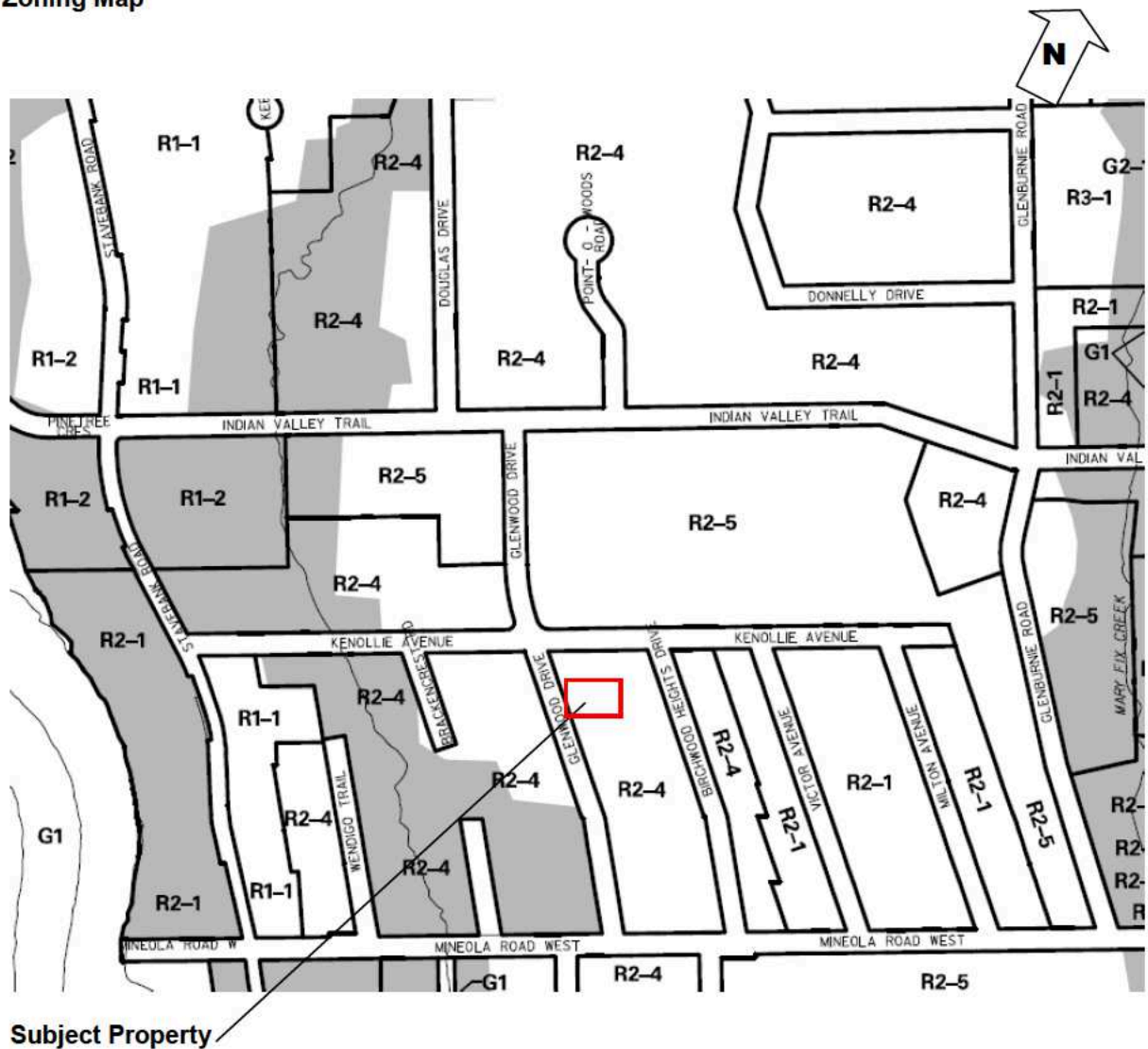
#### 4. Mississauga Plan (Official Plan)



The subject property is designated Residential Low Density 1 in the Mineola District Policies of the Mississauga Plan.

The Residential Low Density 1 policies provide for single detached residential dwellings.

## 5. Zoning Map



The subject property is zoned R2-4 under the City of Mississauga Zoning By-law 225-2007, as amended.

The provisions of the R2-4, zoning permits single detached residential dwellings. The site specific exceptions require a minimum lot frontage of 22.5m and that the infill guidelines be followed.



## 6. Aerial Photos

The aerial photos demonstrate the development of the neighbourhood. The subject property is outlined in red in all of the photos.

### 1954 Aerial Photo



This 1954 photo is difficult to interpret partial development of the surrounding neighbourhood.



### 1999 Aerial Photo



As this 1999 photo illustrates, the neighbourhood surrounding the subject property has been completely developed by this time.

### 2015 Aerial Photo



As this aerial photo above clearly demonstrates, the neighbourhood is well established with a mix of both older homes and new custom built ones. There has been considerable redevelopment of the neighbourhood since 1999 with older homes being replaced by larger, custom built homes.

## **7. Significant Cultural Landscape Designation**

Mineola was developed before it became standard practice to re-grade topsoil into large piles in the early twentieth century, level every nuance of natural topography and engineer the complete stormwater drainage artificially. In Mineola, a road system was gently imposed on the natural rolling topography of the Iroquois Plain; homes were nestled into slightly larger lots and natural drainage areas were retained. This provided greater opportunity to save existing trees and because the soils and drainage system were minimally impacted, provided fertile ground for the planting of new vegetation, the natural regeneration of native trees and landscaping of the residential landscapes. What has evolved today is a wonderful neighbourhood with a variety of quality housing stock and a rich stimulating landscape that blends the houses with their natural and manicured surroundings. There are no curbs on the roads which softens the transition between street and front yards. The roads wind, rise and fall with the natural topography and houses sit often at odd angles to take advantage of slopes and the location of large trees. A gradual infilling has increased the density over the years and care must be taken to ensure that this does not, in the end, ruin the very quality and character that makes this neighbourhood so appealing and attractive. Of the many neighbourhoods in Mississauga, the Mineola neighbourhood stands out as one of the most visually interesting and memorable. As is often the case, when new development is balanced with the protection of the natural environment, a truly livable and sustainable community evolves. Mineola is an excellent example of this type of community.

\*City of Mississauga Cultural Landscape Inventory.



## **8. Property History (Title Chain)**

This chain of title search was provided by Stephen Shaw Conveyancing.

January 1887: The Crown to Elizabeth Dixie  
June 1887: Elizabeth Dixie (Blakely) to Jonadab Hardy  
June 1887: Jonadab Hardy to James Payne  
November 1908: James Payne to Kenneth Skinner  
August 1937: Kenneth Skinner to Milton Skinner  
June 1940 - Plan 319 is Registered  
September 1952: Milton Skinner to William & Jean Fennell  
August 1962: Fennell to Denis & June Scott  
October 2015: [REDACTED]

## 9. Peel Historical Atlas 1877



Approximate location of subject property.

## **10. Existing Site Conditions**

The subject property is an interior lot situated on the east side of Glenwood Drive, just south of Kenollie Drive. It is estimated that the house was built in the early 1950's for the Fennell's when the land transferred to them from Milton Skinner. The detached garage was built in 1972. The existing dwelling is situated well back from the front property line and closer to the northern property line, thus providing the room to the south for the detached garage. The property is well treed and most will be retained with the proposed new construction. The property slopes upwards from the street towards the rear of the property, with the grades changing approximately 1 - 1.5m.



**A). Exterior Photos**



Front Elevation



North elevations







Front and north elevation







South elevation (and rear above)





Garage

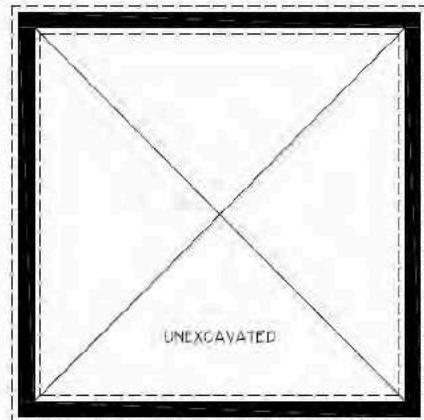


## B) Floor Plans

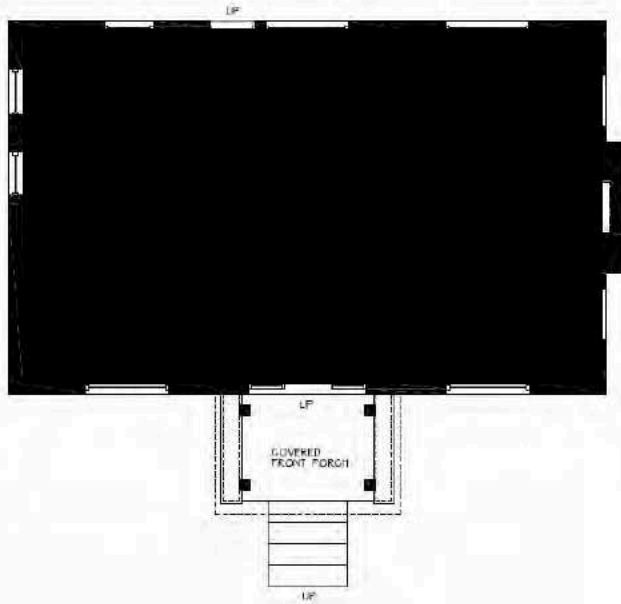
The existing dwelling is a 3 bedroom, 2 bath, storey and a half dwelling. The kitchen is original to the home but both bathrooms have been updated. The detached garage was constructed in 1972 as indicated in the City of Mississauga Building Permit Records.



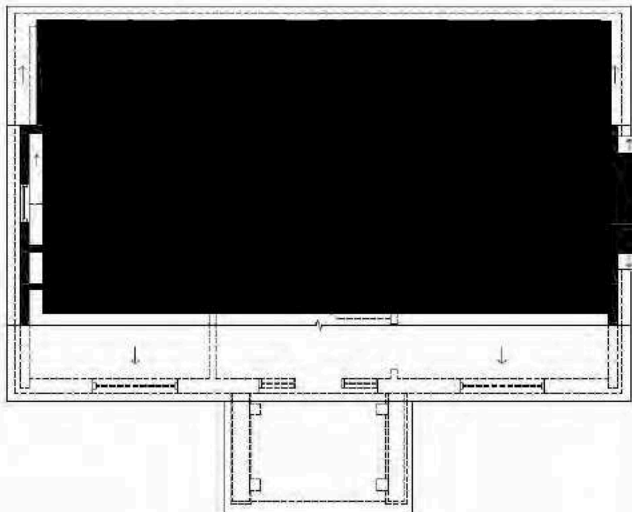
EXISTING  
BASEMENT FLOOR PLAN  
1/8" = 1'-0"



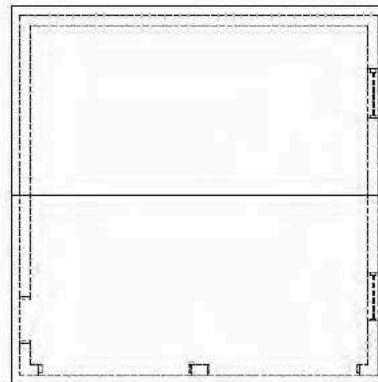




EXISTING  
1st FLOOR PLAN  
1/8" = 1'-0"

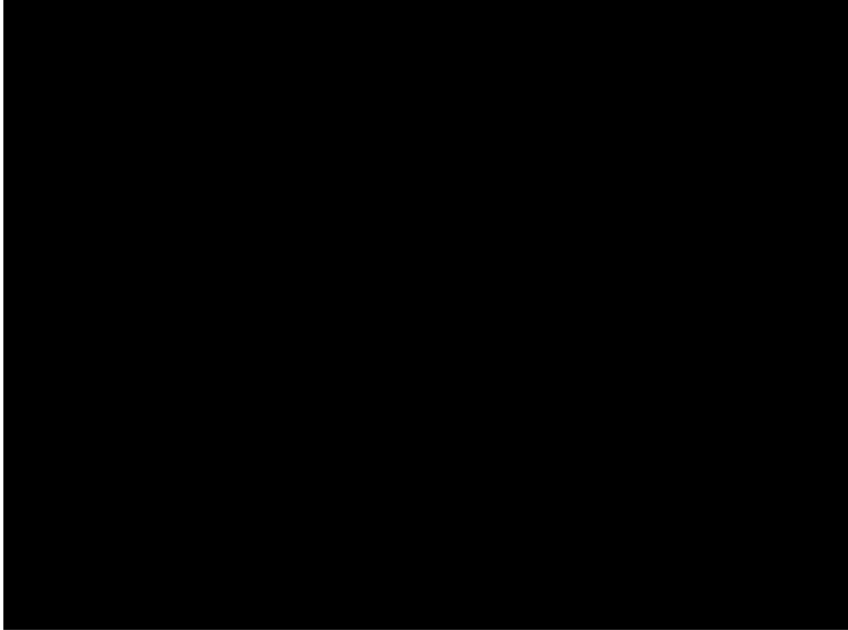


EXISTING  
2nd FLOOR PLAN  
1/8" = 1'-0"

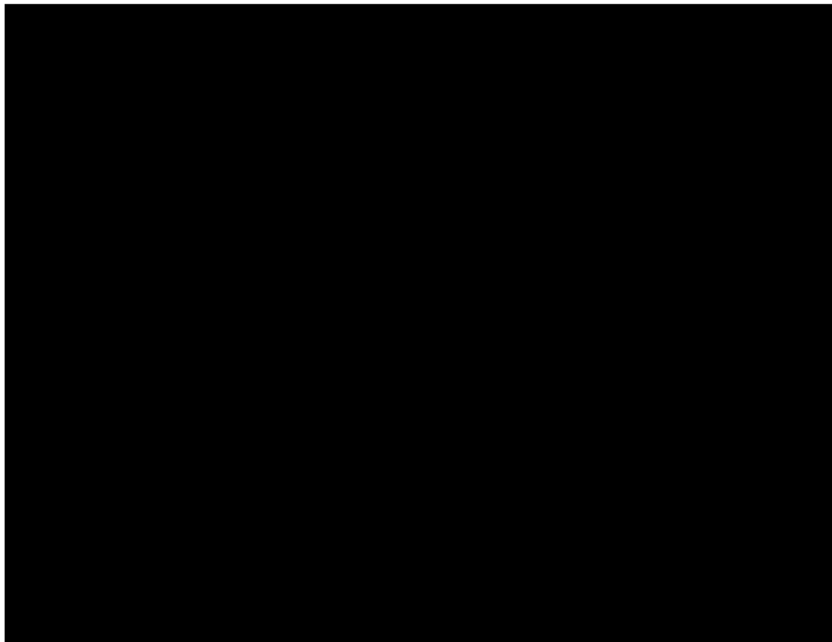


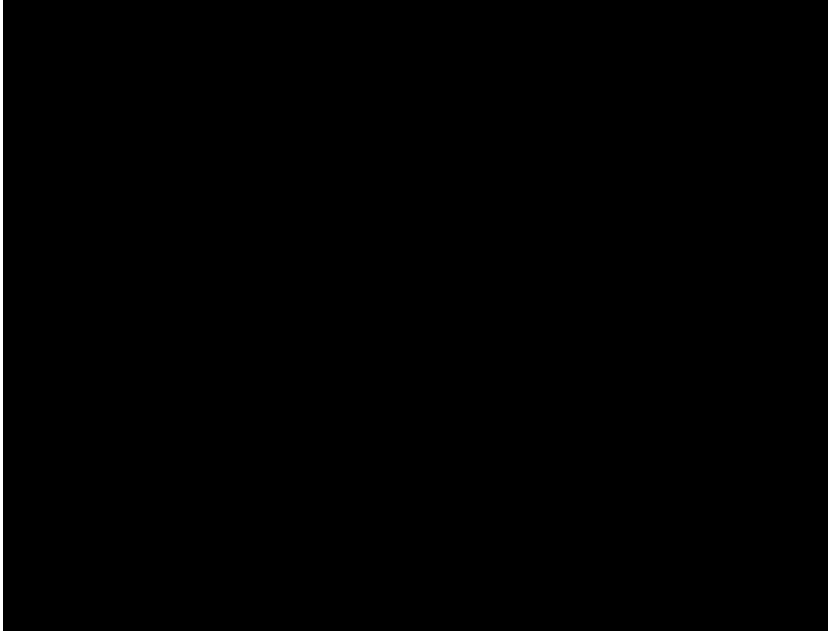


#### Basement

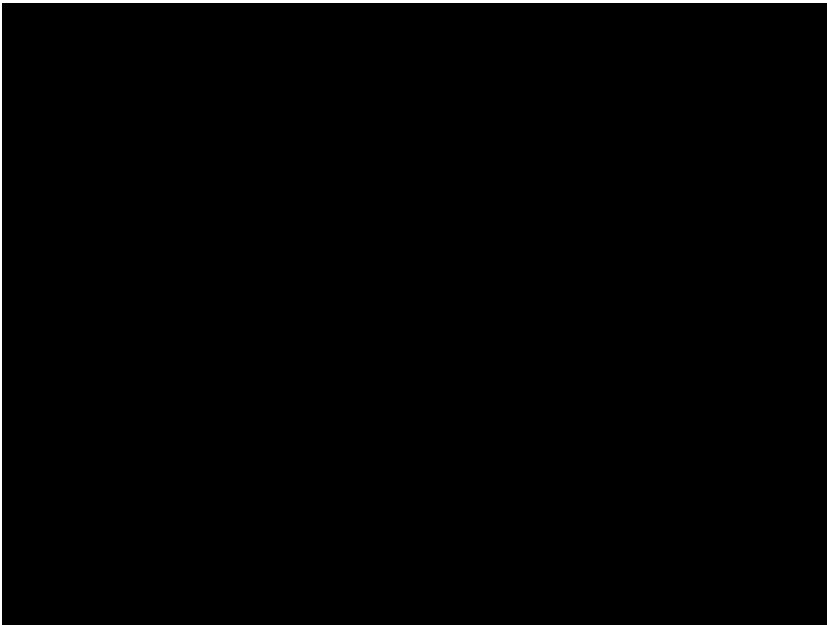


#### Living Room

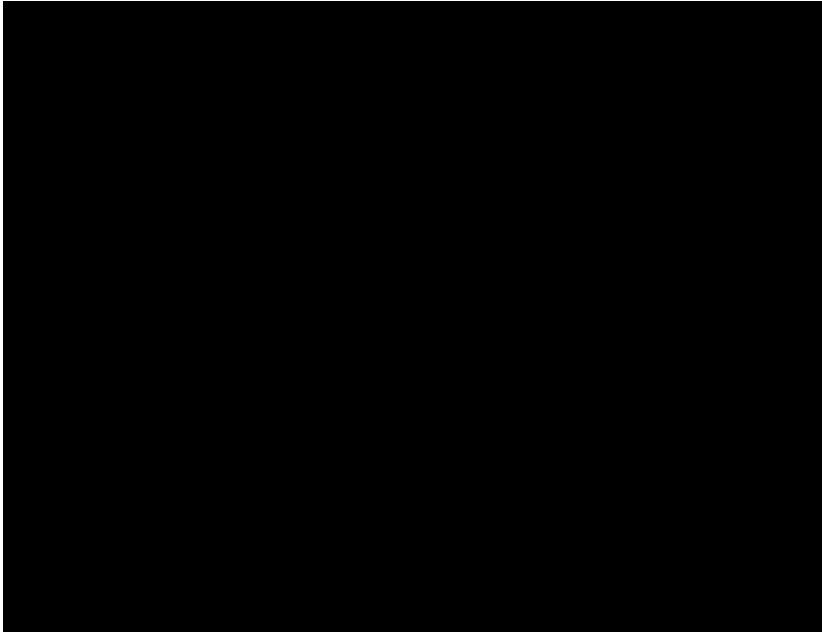




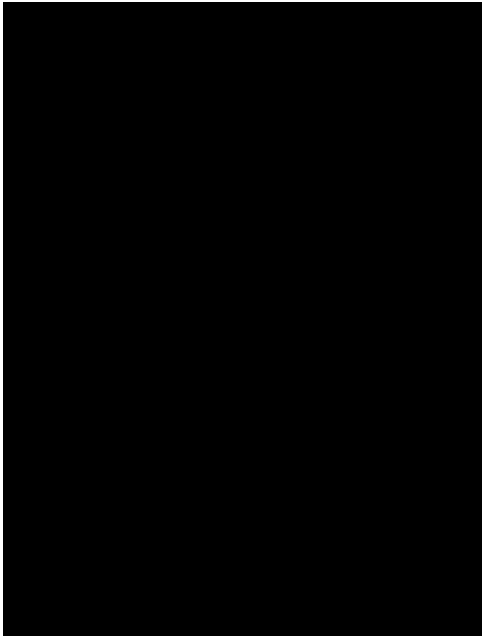
Kitchen

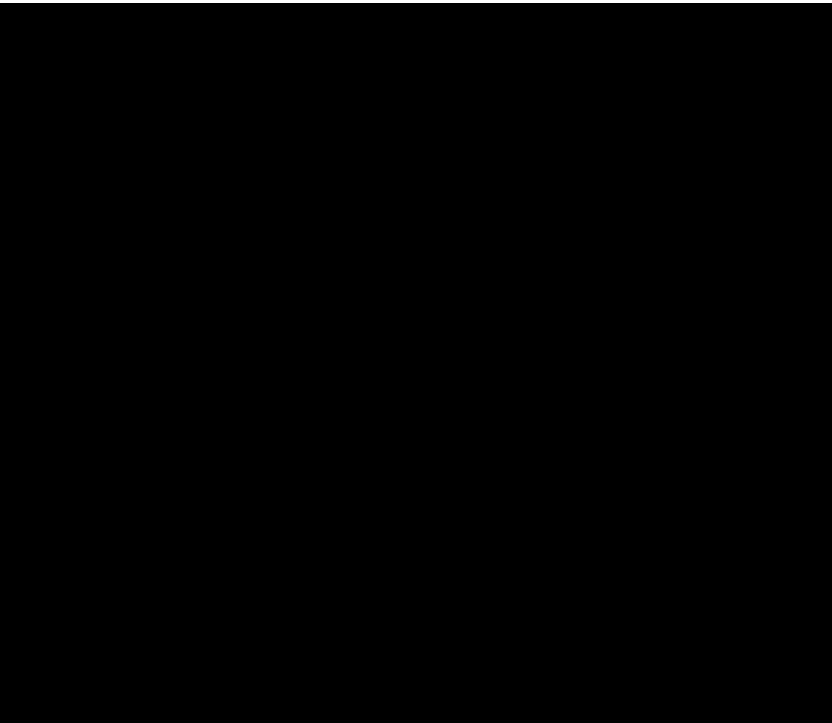
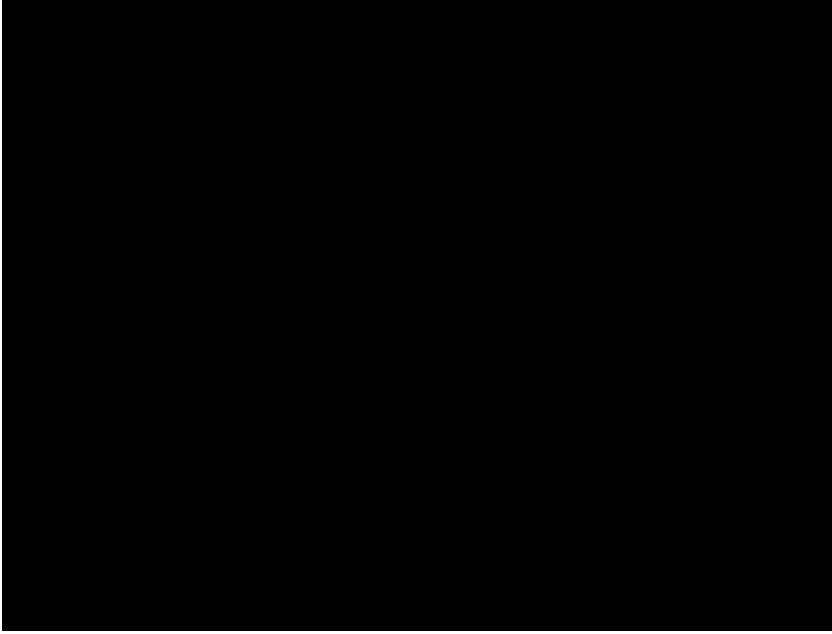


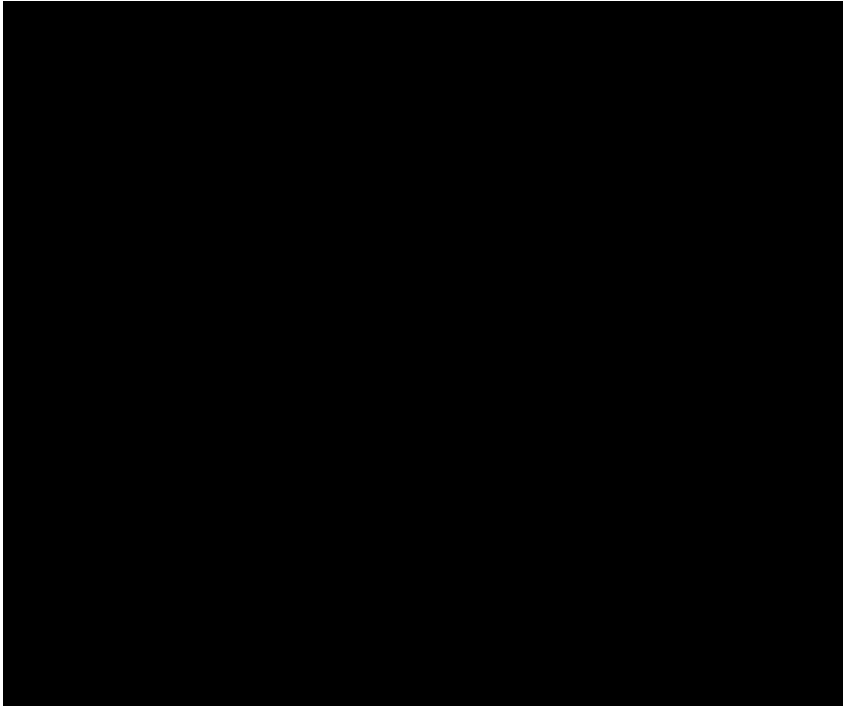
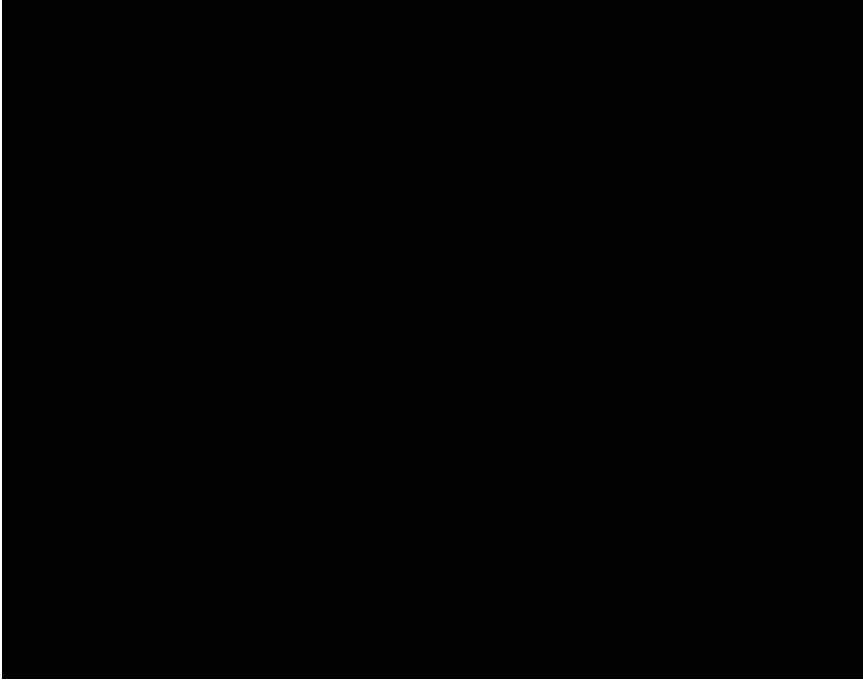




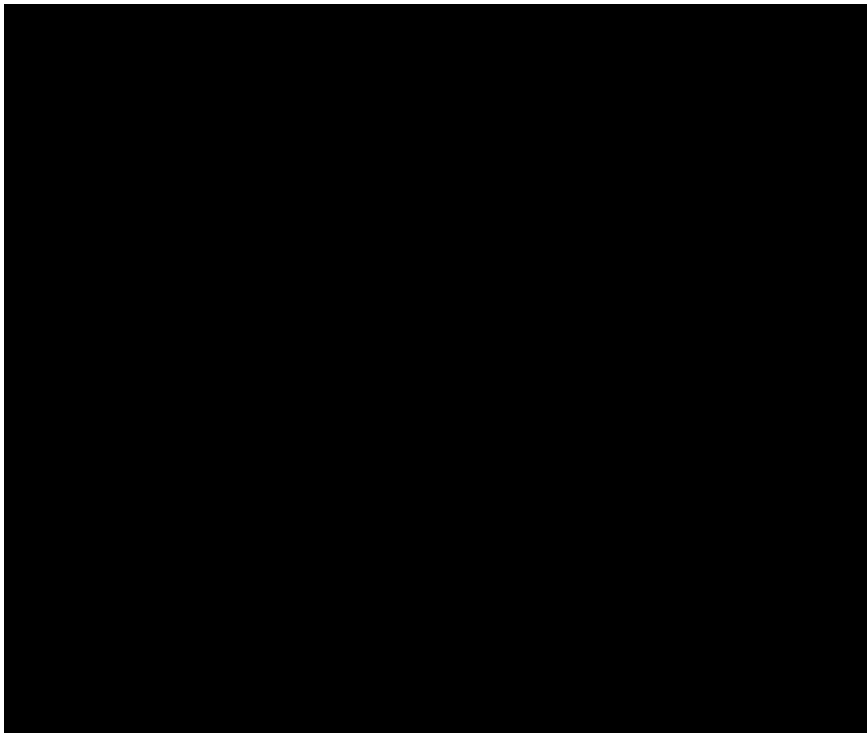
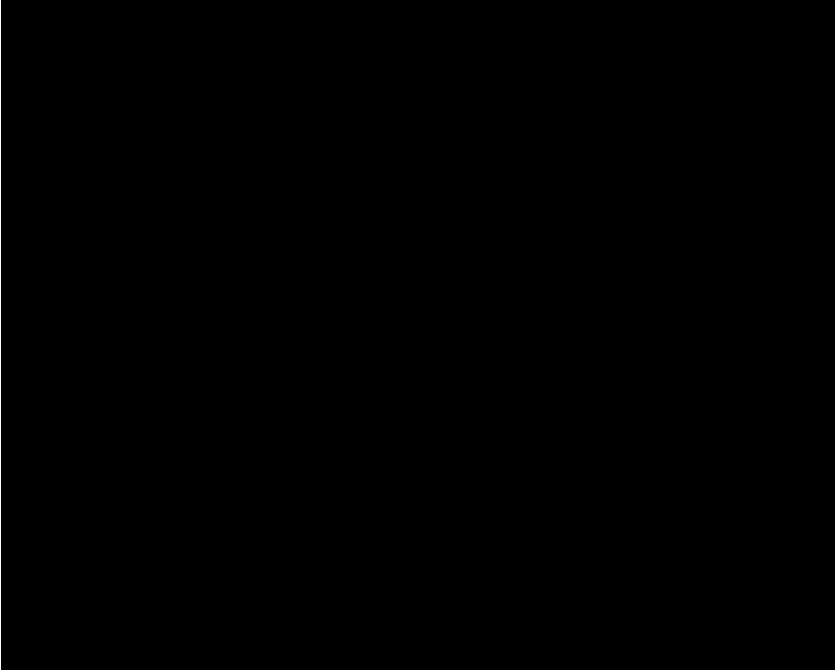
Lower hall and stairs to basement

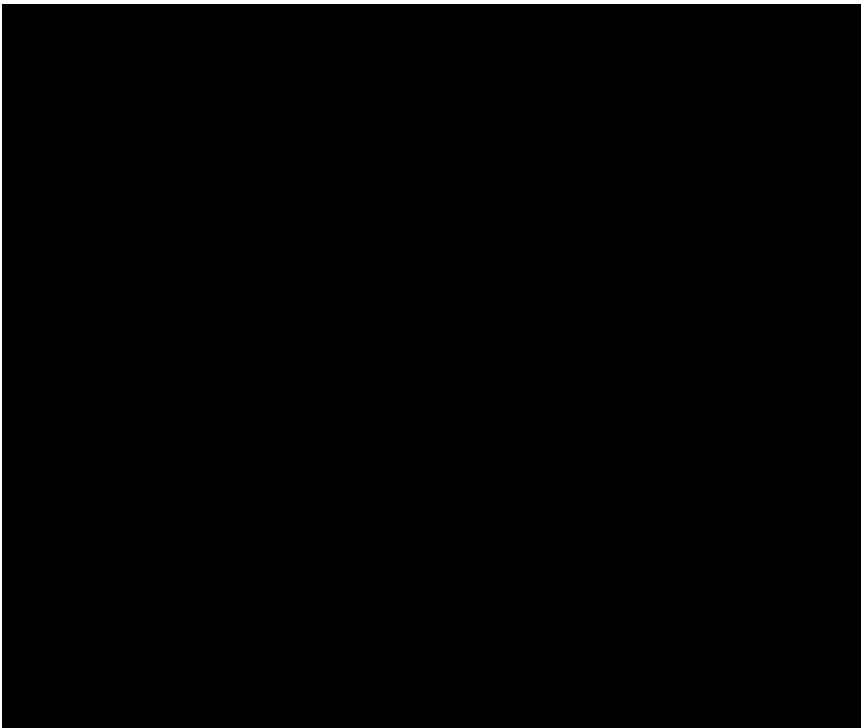
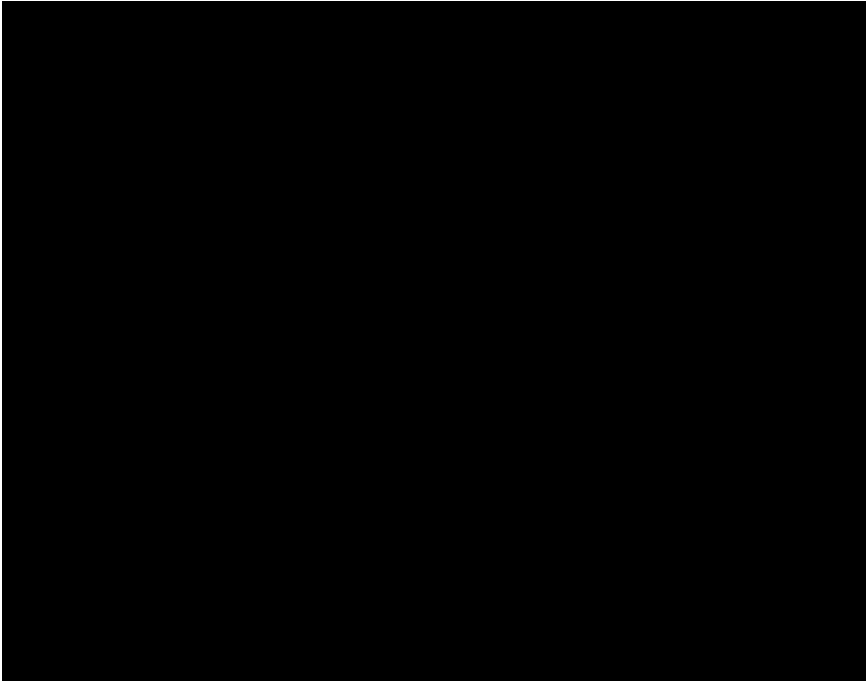


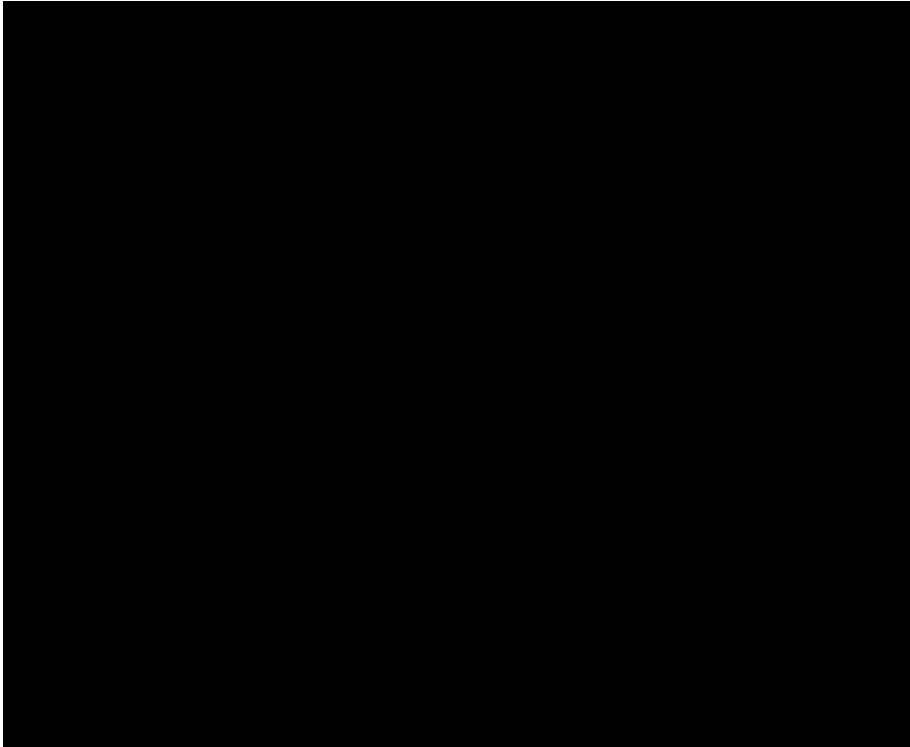
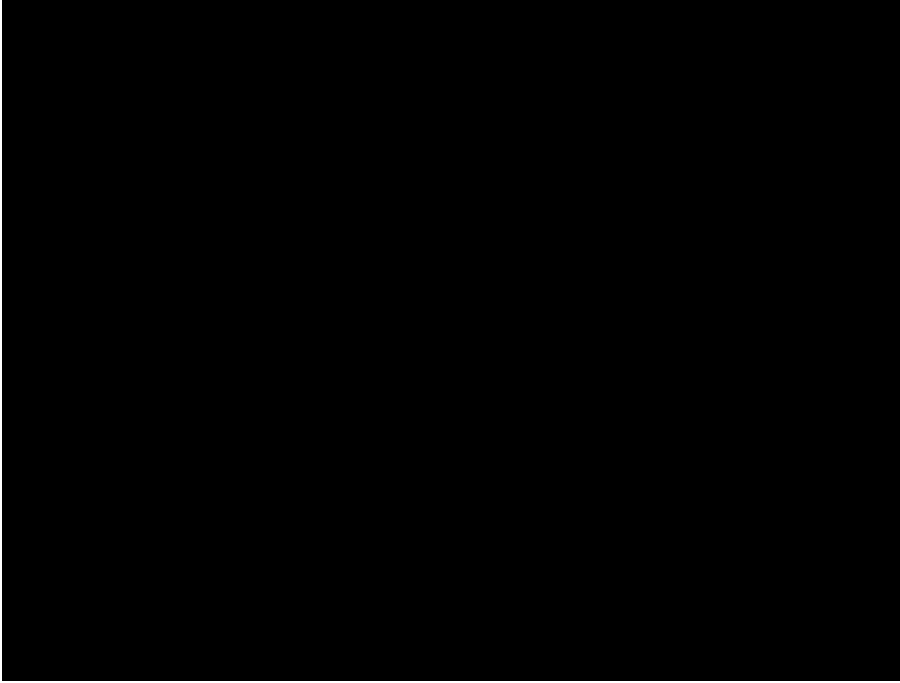


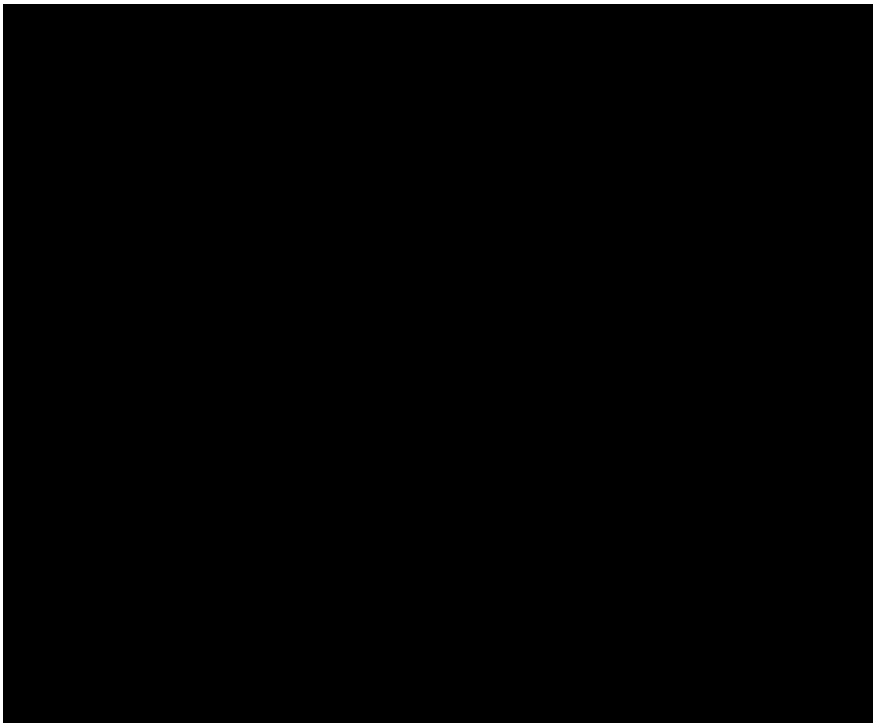
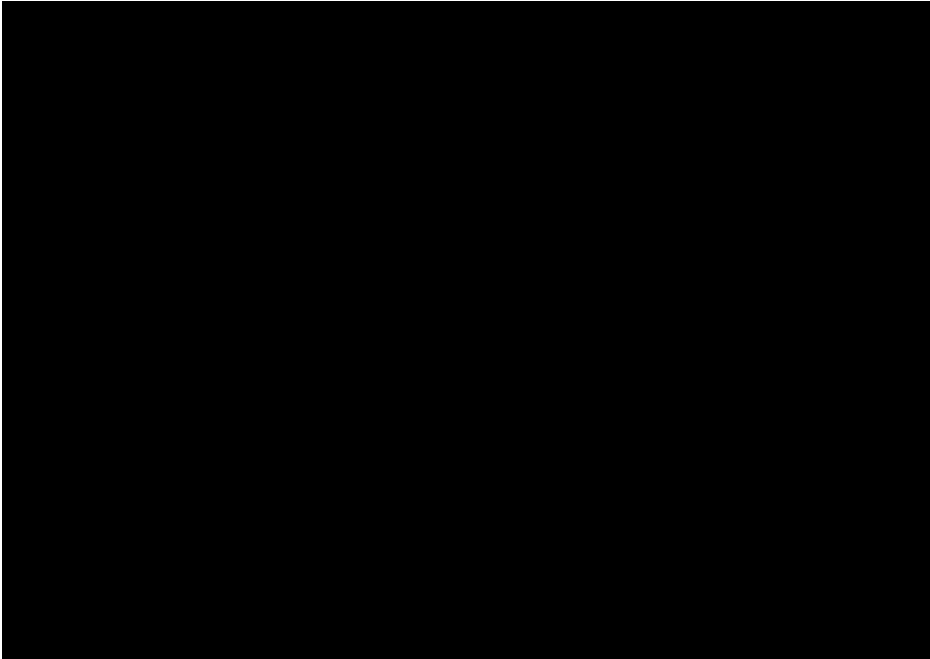




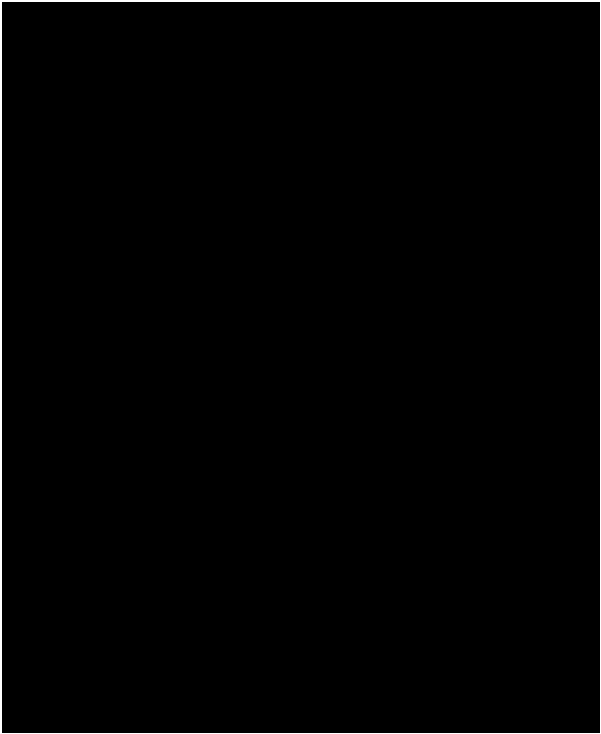
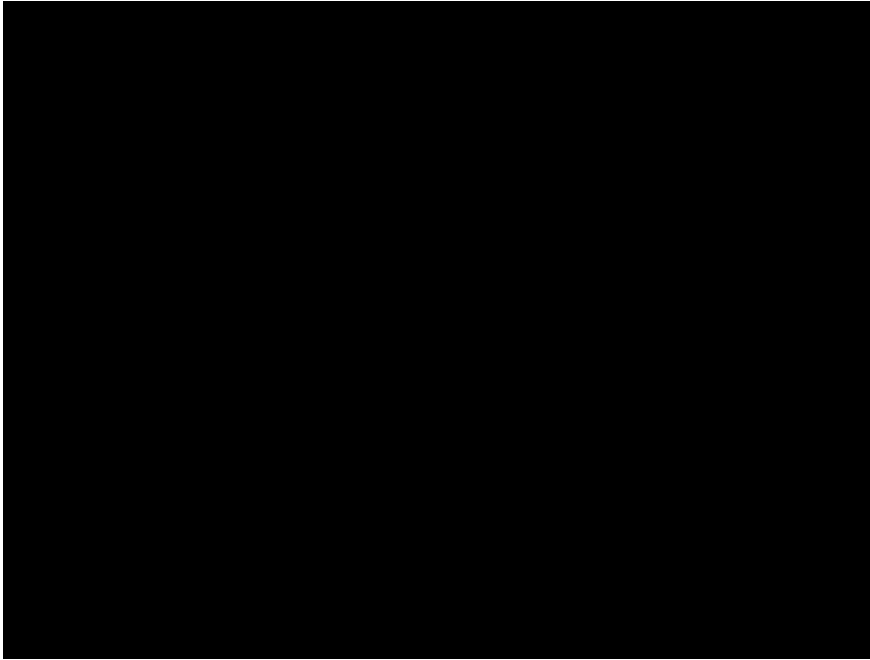








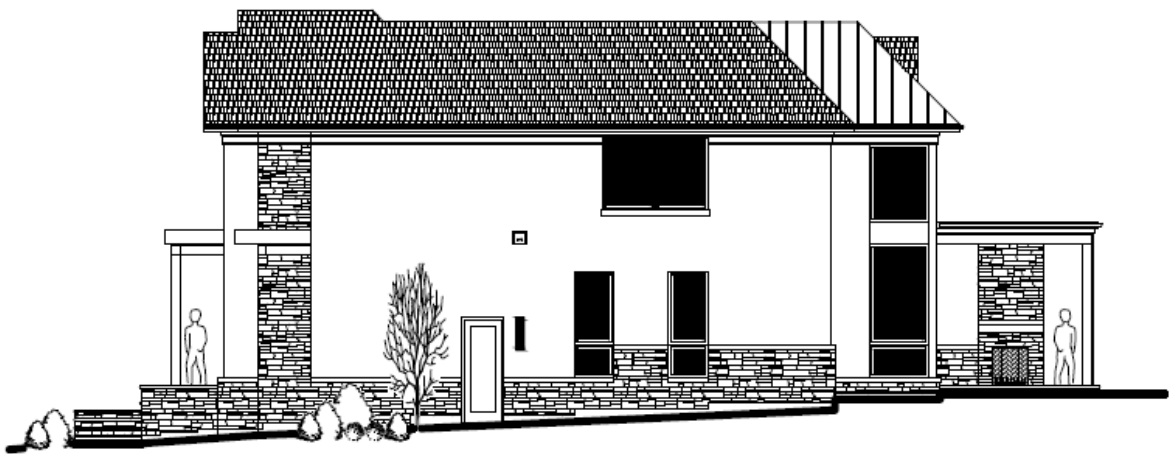




## 11. Proposed House



Front Elevation



South Side Elevation



**North Side Elevation**



**Rear Side Elevation**

Many new homes have been constructed over the past few years. Some with a timeless and traditional appeal. This home has been designed with a modern-traditional flair. The exterior has a traditional shape with some modern elements .

[illegible]



### 13. Streetscape



**Existing** - The existing dwelling faces south. The home to the west is currently under construction, as such the existing streetscape includes the previous home.



**Proposed** - The home at 1411 Glenwood is currently under construction. Further, site plan approval has not been issued, so the proposed appearance of the home is unknown.

#### 14. Cultural Heritage Landscape Inventory

The subject property is located within an area of Mississauga known as Mineola that has the following features identified under the "Cultural Landscape Inventory":

##### Landscape Environment

- Scenic and Visual Quality
- Horticultural Interest
- Landscape Design, Type and technological Interest

##### Historical Association

- Illustrates style, trend or pattern
- Illustrates important phase in Mississauga's Social or physical development

##### Built Environment

- Aesthetic/visual quality
- Consistent Scale of built features

##### Other

- Significant ecological interest

The proposed demolition of the existing house will not have any negative impacts on its status within the cultural landscape.

We offer the following information to expand on each of the areas identified;

##### Landscape Environment

- Scenic and Visual Quality
  - *Properties south of the QEW in the Mineola neighbourhood are very desirable. The neighbourhood is undergoing intense redevelopment. Older, typically smaller homes are being replaced with larger homes. The proposed dwelling is in keeping with the size and scale of the existing newer homes constructed in the neighbourhood.*
- Horticultural Interest
  - *The subject property is well treed and as many mature trees as possible will be retained throughout the redevelopment. On both sides of the property, mature trees and shubbery flank the property line, this will be maintained with the construction of the new home.*
- Landscape Design, Type and technological Interest
  - *The Mineola Neighbourhood was developed in a time when natural elements respected the lot pattern and road system. These elements include rolling topography, natural drainage and mature trees. The proposed home will maintain the generous setbacks required by the City of Mississauga Zoning By-law. Further, many of the mature trees within the property are being retained.*

##### Historical Association

- Illustrates style, trend or pattern
  - *Based on the date of construction of the existing dwelling, there is no associative value with a social or physical development.*

- Illustrates important phase in Mississauga's Social or physical development
  - *We contacted Matthew Wilkinson from Heritage Mississauga with regards to the subject property. There was no information available on the site, perhaps confirming that the property has no value.*

#### **Built Environment**

- Consistent Scale of built features
  - *The Mineola Neighbourhood, south of the QEW, is seeing intense redevelopment. The neighbourhood is characterized by older design styles including, Mid-century Modern and Suburban Style homes including ranch and sidesplits. Peppared in amongst these homes are custom built homes by owners who want to live on large, older lots with mature trees that characterize the neighbourhood.*

#### **Other**

- Significant Ecological Interest
  - *The existing house does not have significant ecological value. It does not reflect a style that was built for diversity or educational interest. Many homes in the neighborhood were mass produced during the 1950's and 1960's. The homes do not reflect the work or ideas of an architect who is significant to the community. The homes were built economically. There is, in our opinion, little significant value in the design. The homes that are different were built by homeowners who wanted to be different and not be a part of a 'cookie cutter neighbourhood'. This is the case with the area today. Custom built homes are replacing the original homes with little architectural merit.*

## **15. Conclusions**

The redevelopment of the subject property will have no negative impacts on the historic character or the scenic qualities of the Mineola Neighbourhood.

The Mineola Neighbourhood is a desirable community for people looking for larger lots, centrally located in Mississauga which can accommodate a new custom built home. The older homes of this area are nearing the end of their life cycle and the market has recognized this area as being a suitable area for renewal. This has been supported with the demolition of the older homes in the area being replaced with larger, more modern homes that meet the needs of a changing society.

The house to be removed at 1405 Glenwood Drive is a non-descript dwelling. It has no architectural merit for preservation.

It is our opinion that the existing house at 1405 Glenwood Drive does not have any heritage features or qualities that should be considered for preservation. The replacement of the existing house with a new structure will be in keeping with the evolution of the community and at the same time will not impact on the heritage character of the area that resulted in the Significant Cultural Landscape designation of the area.



## **16. Mandatory Recommendation**

The subject property does not meet the criteria for heritage designation under Ontario Regulation 9/06 of the Ontario Heritage Act.

Subsection (2) sets out the criteria by which consideration is given in determining whether a property is of cultural heritage value or interest. It is our opinion that the property does not have cultural heritage value or interest as supported by the following points:

1. The properties have limited design or physical value.

The house at 1405 Glenwood Drive is not rare or unique, but rather typical of the post World War II era. The house was built as a storey and a half and is similar to many houses that were being built during this time throughout southern Ontario. Although the home was well constructed, the materials used were of no significance. There was little to no technical or scientific achievement in the construction of the existing house.

2. The existing house does not have historical or associative value. The house is approximately 60 years old and was not constructed with any vision of unique architectural character. The houses were constructed with a utilitarian purpose of providing residential housing that was appropriate to the era of their construction. The homes were built economically and there is, in our opinion, little significant value in the design. The property does not have contextual value.
3. The defining character of the neighbourhood is a mix of housing including homes that are between 30 and 60 years of age that are predominantly clean, simple and modest designs of one and two storey's. The newer homes in the community (5 years old and younger) are larger custom designed homes with more intricate architectural features. Generally speaking, the 30, 40 and 50 year old homes have little aesthetic, heritage or architectural value. As these homes approach the end of their life cycle, the market will force their replacement with larger homes which will include the modern amenities and design features that are demanded and expected by the marketplace today. The proposed removal of the subject houses is part of this renewal.

## **17. About the Author**

William Oughtred of W.E. Oughtred & Associates Inc. is a development and land use consultant who has been practicing in the Mississauga and GTA area for over twenty years. Mr. Oughtred has worked in the land use planning field for over 20 years, specializing in the City of Mississauga. He is well versed in both Planning and Building procedures and the City of Mississauga Zoning By-law and The City of Mississauga Official Plan.

William was born, raised and attended school in Mississauga. He is a lifelong resident and has been very active in the Mississauga community through his other interests and pursuits including volunteering on the Spring Creek Cemetery Board.

William specializes in infill type development projects which typically require attendance before the Committee of Adjustment in connection with Applications for Consent or Minor Variance. His twenty years of experience has afforded him the opportunity to see the City evolve and be at the forefront of evolving trends and patterns in land development in Mississauga. William has been involved in the City of Mississauga's challenge in dealing with the pressures created by the infill housing that has occurred in the south part of Mississauga. His experience in shepherding development applications through the approval process and dealing with the community, City staff and the Members of Council provides an insight into the market for redevelopment that has focused its attention on this community.

Heritage Impact Statements have been completed for the following properties located in Mississauga:

- 276 Arrowhead Road
- 1510 Stavebank Road
- 1267 Mississauga Road
- 2701 Mississauga Road
- 123 Kenollie Avenue
- 1168 Mississauga Road
- 4077 Mississauga Road
- 92 Pinetree Way
- 169 Donnelly Drive
- 1532 Adamson Road

## **19. References**

<http://www.ontarioarchitecture.com/>

<http://www.mississauga.ca>

Matthew Wilkinson, Heritage Mississauga

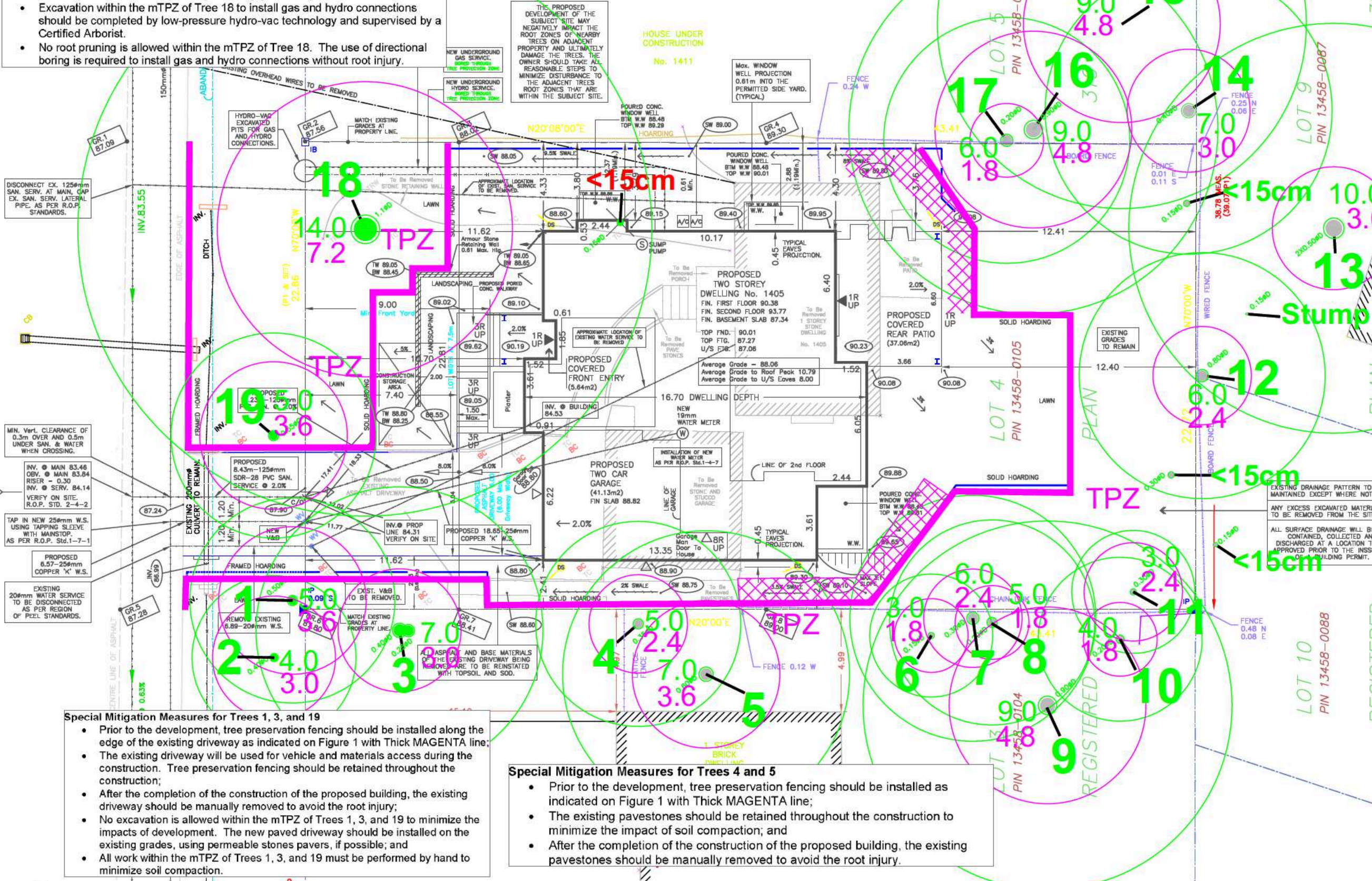
Canadiana Room, Mississauga Central Library

Richard Kossak, New Age Design



Special Mitigation Measures for Tree 18

- Prior to the development, the existing stone retaining wall around Tree 18 should be removed by hand.
- The tree preservation fencing should be installed as indicated on Figure 1 with Thick MAGENTA line;
- Where the construction storage is proposed within the mTPZ of Tree 18, the use of 200 millimetres of coarse wood chips and steel plates on the top are required to minimize soil compaction.
- No excavation or the use of heavy machinery is allowed to install the new stone retaining wall within the mTPZ of Tree 18.
- The existing sanitary service should be retained as abandoned.
- The tree preservation fencing should be retained during the construction. The fence can be removed only during installing gas and hydro connections.
- Excavation within the mTPZ of Tree 18 to install gas and hydro connections should be completed by low-pressure hydro-vac technology and supervised by a Certified Arborist.
- No root pruning is allowed within the mTPZ of Tree 18. The use of directional boring is required to install gas and hydro connections without root injury.



7.2 - 45

Special Mitigation Measures for Trees 7, 16, and 17

- Prior to the development, tree preservation fencing should be installed as indicated on Figure 1 with Thick MAGENTA line;
- The use of 200 millimetres of coarse wood chips is required in the area indicated in Figure 1 with HATCHED Magenta area to mitigate against soil compaction. The use of steel plates on the top of wood chips is also required; and
- Wood chips can be left in place following the proposed development to increase organic matter and aid in compaction mitigation.

LEGEND

Tree Inventory

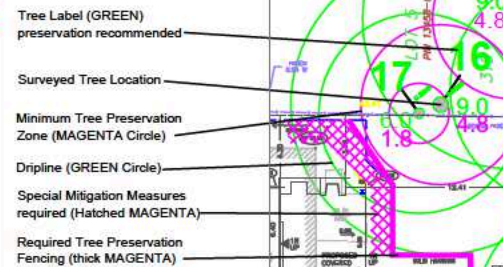
Refer to Table 1 of report dated 24 March 2016. Trees greater than 15cm DBH on and within six metres of the subject property and trees of all sizes within the road right-of-way were included in the inventory.

Tree Removals

The removal of trees is not required to accommodate the proposed development.

Tree Preservation

Preservation of all trees will be possible with appropriate tree protection measures. Trees identified for preservation are indicated with GREEN labels. Tree protection measures will have to be implemented prior to the construction phase (earth works). Minimum tree preservation zones and required tree preservation fencing is indicated in MAGENTA. Refer to Tree Protection Plan Notes for preservation details and Appendix A in the report for tree preservation fence details.



TREE PROTECTION PLAN NOTES

Prior to site disturbance the owner must confirm that no migratory birds are making use of the site for nesting. The owner must ensure that the works are in conformance with the Migratory Bird Convention Act and that no migratory bird nests will be impacted by the proposed work. It is the applicants' responsibility to discuss potential tree injury of trees on shared property lines with their neighbours. Should such trees be injured to the point of instability or death the applicant may be held responsible for removal and such issues would be dealt with in civil court or through negotiation. The applicant would be required to replace such trees to the satisfaction of the City of Mississauga.

**TREE PROTECTION ZONE:** No construction activity including grade changes, surface treatments or excavations of any kind is permitted within the area identified on the Tree Protection Plan or Site Plan as a Tree Protection Zone (TPZ). No root cutting is permitted. No storage of materials or fill is permitted within the TPZ. No movement or storage of vehicles or equipment is permitted within the TPZ. Grade changes are not permitted within established TPZ. The area(s) identified as a TPZ must remain undisturbed at all times.

TREE PROTECTION BARRIERS:

**For City-owned Trees:**  
Tree protection barriers for trees situated on the City road allowance where visibility must be maintained, can be 1.2m (4ft.) high and consist of chain link, or orange plastic web snow fencing on a 2" x 4" wood frame. All supports and bracing used to secure the barrier should be located outside the TPZ. All supports and bracing should minimize damage to roots outside the TPZ. Where some fill or excavation has to be temporarily located near a tree protection barrier, plywood must be used to ensure no material enters the TPZ. If the TPZ needs to be reduced to facilitate construction access, the tree protection barrier must be maintained at a lesser distance and the exposed TPZ protected with plywood and wood chips. This must first be approved by the City of Mississauga.

**For trees on private property situated on or adjacent to construction sites:**  
Tree protection barriers must be installed around trees to be protected using plywood clad hoarding or an equivalent approved by the City of Mississauga. All supports and bracing to safely secure the barrier should be outside the TPZ. All such supports and bracing should minimize damage to roots outside the TPZ.

General Note:

Prior to the commencement of any site activity the tree protection barriers specified on this plan must be installed and written notice provided to the City of Mississauga. Established tree protection zones must not be used as construction access, storage or staging areas. The tree protection barriers must remain in effective condition until all site activities including landscaping are complete. Written notice must be provided to the City of Mississauga prior to the removal of the tree protection barriers.

ARBORICULTURAL WORK:

Any roots or branches which extend beyond the TPZ indicated on this plan which require pruning, must be pruned by a qualified Arborist or other tree professional as approved by the City of Mississauga. All pruning of tree roots and branches must be in accordance with good arboricultural standards. Roots located outside the TPZ that have received approval from the City of Mississauga to be pruned must first be exposed by hand digging or by using a low pressure hydro vac method. This will allow a proper pruning cut and minimize tearing of the roots. The Arborist/professional retained to carry out crown or root pruning must contact the City of Mississauga no less than 48 hours prior to conducting any specified work.

No.	Issue/Revisions	Date	By
1	Report Submission	24 Mar '16	KH

Base Data: Tarasick McMillan Kubicki Limited. (topo)

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Client  
**New Age Design**  
2601 Matheson Boulevard East, Unit 4  
Mississauga, Ontario L4W 5A8

Property  
**1405 Glenwood Drive**  
Mississauga, Ontario

Existing Conditions, Proposed Site Plan  
**Tree Inventory and Preservation Plan**

Project	P1200	Figure	1
Date	24 March 2016		
Scale	1:200		



**Tree Inventory and Preservation Plan Report  
1405 Glenwood Drive  
Mississauga, Ontario**

prepared for

**New Age Design  
2601 Matheson Boulevard East, Unit 4  
Mississauga, Ontario  
L4W 5A8**

prepared by



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24 March 2016

KUNTZ FORESTRY CONSULTING INC Project P1200

## Introduction

Kuntz Forestry Consulting Inc. was retained by New Age Design to complete a Tree Inventory and Preservation Plan in support of a development application for a property located at 1405 Glenwood Drive in Mississauga, Ontario. The subject property is located on the north side of Glenwood Drive and the east side of Mineola Road West, within a residential area.

The work plan for this study included the following:

- Prepare inventory of the tree resources over 15cm on and within six metres of the subject property and trees of all sizes within the road right-of-way;
- Evaluate potential tree saving opportunities based on proposed development plans; and
- Document the findings in a Tree Inventory and Preservation Plan Report.

Tree resources were assessed utilizing the following parameters:

**Tree #** - number assigned to tree that corresponds to Figure 1.

**Species** - common and botanical names provided in the inventory table.

**DBH** - diameter (centimetres) at breast height, measured at 1.4 m above the ground.

**Condition** - condition of tree considering trunk integrity, crown structure and crown vigour. Condition ratings include poor (P), fair (F) and good (G).

**Comments** - additional relevant detail.

The results of the evaluation are provided below.

## Methodology

Trees measuring over 15cm DBH on and within six metres of the subject property and trees of all sizes within the road right-of-way were included in the tree inventory. Trees were located by a topographic survey provided for the subject property. The City of Mississauga requires dripline as the minimum Tree Protection Zones. Dripline of each tree was measured in field. Trees included in the inventory were numbered 1-19. Tree locations are shown on Figure 1. See Table 1 for the results of the tree inventory.

## Existing Site Conditions

The subject area is currently occupied by a one-storey stone dwelling, garage, and asphalt driveway. Tree resources exist in the form of landscape trees. Refer to Figure 1 for the existing site conditions.

## Individual Tree Resources

A tree inventory was conducted on 8 February 2016. The inventory documented 19 trees on and within six metres of the subject property. Refer to Table 1 for the full tree inventory and Figure 1 for the locations of trees reported in the tree inventory.

Tree resources were comprised of Silver Maple (*Acer saccharinum*), Horsechestnut (*Aesculus hippocastanum*), Norway Spruce (*Picea abies*), White Spruce (*Picea glauca*),

White Pine (*Pinus strobus*), Black Cherry (*Prunus serotina*), White Oak (*Quercus alba*), and Red Oak (*Quercus rubra*).

## Proposed Development

The proposed development includes demolition of the existing buildings and construction of two-storey residential dwelling with garage and covered rear patio. The replacement of the existing asphalt driveway is also proposed. Refer to Figure 1 for the proposed site plan.

## Discussion

The following sections provide a discussion and analysis of tree impacts and tree preservation relative to the proposed development and existing conditions.

### *Development Impacts/Tree Removal*

The removal of trees is not required to accommodate the proposed development.

The proposed development will require encroachment within the dripline of Trees 1, 3, 4, 5, 7, 16, 17, 18, and 19 and may impact the trees. Mitigation measures are proposed to minimize the impacts of the trees as detailed below. Tree protection measures including special mitigation measures have to be implemented as described below.

### *Tree Preservation*

Preservation of all trees will be possible with the use of appropriate tree protection measures as indicated on Figure 1 with GREEN tree labels. Tree protection measures will have to be implemented prior to development to ensure tree resources designated for retention are not impacted. Refer to Figure 1 for the location of required tree preservation fencing and general Tree Protection Plan Notes, and Appendix A for tree preservation fence detail.

The City of Mississauga requires that the driplines of trees identified for preservation be protected, however this is not possible due to spacing constraints on the property and it would result in the removal of trees. The minimum Tree Preservation Zones (mTPZ's) as utilized by most surrounding municipalities as shown on Figure 1 can be protected and should be sufficient to protect the trees through construction. Any roots and branches that extend beyond the limit of encroachment into the dripline should be pruned by a Certified Arborist, in accordance with Good Arboricultural Standards.

### Trees 1, 3, and 19

Minor encroachment into the driplines of Trees 1, 3, and 19, (Norway Spruce, Silver Maple, and White Pine, respectively) is required to replace the asphalt driveway. The proposed driveway will be narrower than the existing driveway. Given that trees should have minimal roots under the existing asphalt driveway, long-term impacts are not anticipated for the trees. The following mitigation measures must be implemented to ensure Trees 1, 3, and 19 will respond well to the impacts of the development.

- Prior to the development, tree preservation fencing should be installed along the edge of the existing driveway as indicated on Figure 1 with Thick MAGENTA line;

- The existing driveway will be used for vehicle and materials access during the construction. Tree preservation fencing should be retained throughout the construction;
- After the completion of the construction of the proposed building, the existing driveway should be manually removed to avoid the root injury;
- No excavation is allowed within the mTPZ of Trees 1, 3, and 19 to minimize the impacts of development. The new paved driveway should be installed on the existing grades, using permeable stones pavers, if possible; and
- All work within the mTPZ of Trees 1, 3, and 19 must be performed by hand to minimize soil compaction.

Trees 4 and 5

Minor encroachment into the driplines of Trees 4 and 5, Horsechestnut and White Oak, respectively, will be required for the removal of the existing pavestones and for materials and equipment access. Given that the existing pavestones will provide a protection against soil compaction, long-term adverse effects are not anticipated for the trees. The following mitigation measures must be implemented to ensure Trees 4 and 5 will be respond well to the impacts of the development.

- Prior to the development, tree preservation fencing should be installed as indicated on Figure 1 with Thick MAGENTA line;
- The existing pavestones should be retained throughout the construction to minimize the impact of soil compaction; and
- After the completion of the construction of the proposed building, the existing pavestones should be manually removed to avoid the root injury.

Trees 7, 16, and 17

Minor encroachment into the driplines of Trees 7, 16, and 17, White Oak and Red Oak respectively, will be required to for materials and equipment access and for replacement of covered patio. Given that encroachment is limited to a small area and no excavation is required within their mTPZ, long-term adverse effects are not anticipated for the trees. The following mitigation measures must be implemented to ensure Trees 7, 16, and 17 will respond well to the impacts of the development.

- Prior to the development, tree preservation fencing should be installed as indicated on Figure 1 with Thick MAGENTA line;
- The use of 200 millimetres of coarse wood chips is required in the area indicated in Figure 1 with HATCHED Magenta area to mitigate against soil compaction. The use of steel plates on the top of wood chips is also required; and
- Wood chips can be left in place following the proposed development to increase organic matter and aid in compaction mitigation.

Tree 18

Moderate encroachment into the mTPZ of Tree 18, Red Oak with approximately 120cm DBH, will be required to accommodate the proposed development. Given that excavation is limited to a small area, long-term adverse effects are not anticipated for the tree. The following mitigation measures must be implemented to ensure Tree 18 will respond well to the impacts of the development.

- Prior to the development, the existing stone retaining wall around Tree 18 should be removed by hand.



- The tree preservation fencing should be installed as indicated on Figure 1 with Thick MAGENTA line;
- Where the construction storage is proposed within the mTPZ of Tree 18, the use of 200 millimeters of coarse wood chips and steel plates on the top are required to minimize soil compaction.
- No excavation or the use of heavy machinery is allowed to install the new stone retaining wall within the mTPZ of Tree 18.
- The existing sanitary service should be remained as abandoned.
- The tree preservation fencing should be retained during the construction. The fence can be removed only during installing gas and hydro connections.
- Excavation within the mTPZ of Tree 18 to install gas and hydro connections should be completed by low-pressure hydro-vac technology and supervised by a Certified Arborist.
- No root pruning is allowed within the mTPZ of Tree 18. The use of directional boring is required to install gas and hydro connections without root injury.

## Summary and Recommendations

Kuntz Forestry Consulting Inc. was retained by New Age Design to provide a Tree Inventory and Preservation Plan in support of a development application for the property at 1405 Glenwood Drive in Mississauga, Ontario. A tree inventory was conducted and reviewed in the context of the proposed development plan.

The findings of the study indicate a total of 19 trees on and within six metres of the subject property. All trees can be saved providing appropriate tree protection measures are installed prior to demolition. The following recommendations are suggested to minimize impacts to trees identified for preservation. Refer to Figure 1 for additional tree preservation notes and Appendix A for the preservation fence detail.

- Tree protection barriers and fencing should be erected at distances as prescribed on Figure 1.
- Tree protection measures will have to be implemented prior to construction to ensure the trees identified for preservation are not impacted by the development.
- Encroachment will be required within the dripline of Trees 1, 3, 4, 5, 7, 16, 17, 18, and 19 to accommodate the proposed development. Special mitigation measures must be implemented to minimize the impacts of the development on those trees as described above.
- Branches and roots that extend past prescribed tree protection zones that require pruning must be pruned by a qualified Arborist or other tree professional. All pruning of tree roots and branches must be in accordance with good arboricultural standards.
- Site visits, pre, during and post construction are recommended by either a certified consulting arborist (I.S.A.) or registered professional forester (R.P.F.) to ensure proper utilization of tree protection barriers. Trees should also be inspected for damage incurred during construction to ensure appropriate pruning or other measures are implemented.

Respectfully Submitted

**Kuntz Forestry Consulting Inc.**

Kaho Hayashi

Kaho Hayashi, B.Sc., M.Sc.F.  
Associate, Forest Ecologist

Peter Kuntz

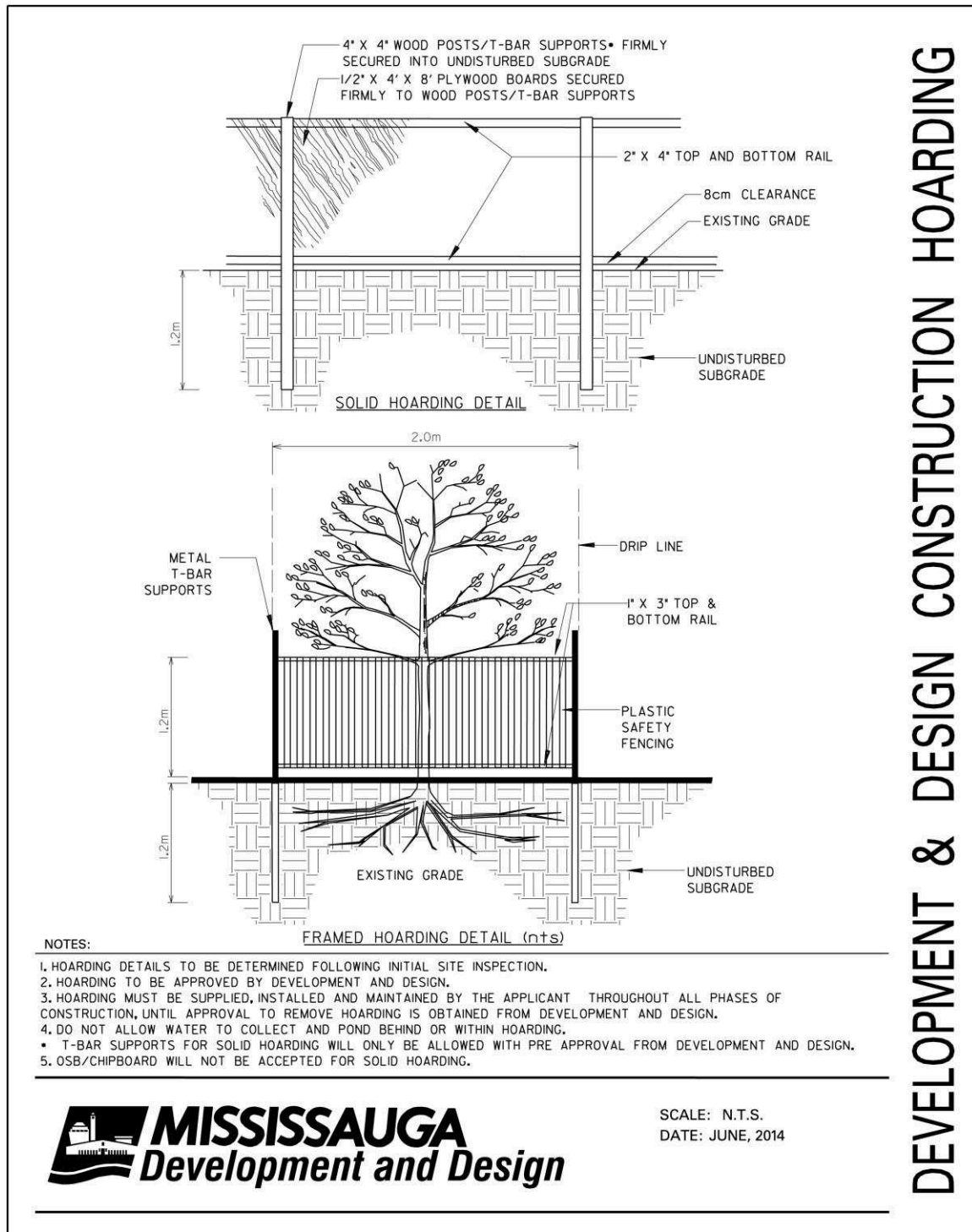
Peter Kuntz, H.B.Sc.F., R.P.F.  
Consulting Professional Forester

Table 1. Tree Inventory

Location: 1405 Glenwood Drive, Mississauga			Date: 8 February 2016							Surveyors: KH			
Tree#	Common Name	Scientific Name	DBH	TI	CS	CV	CDB	DL	mTPZ	Comments	Ownership		
1	Norway Spruce	<i>Picea abies</i>	51	G	F	G		5	3.6	Asymmetrical crown n (M)	City		
2	Norway Spruce	<i>Picea abies</i>	41	G	F/G	G		4	3	Asymmetrical crown n (L)	City		
3	Silver Maple	<i>Acer saccharinum</i>	44, 22	F	F/G	F/G		7	3	Union at 1m with included bark (M), smaller stem has lost leader at 8m	Neighbour		
4	Horsechestnut	<i>Aesculus hippocastanum</i>	39.5	F	G	F/G		5	2.4	Crook (M), asymmetrical crown n (L)	Neighbour		
5	White Oak	<i>Quercus alba</i>	58	G	G	F		7	3.6	Epicormic branches (L)	Neighbour		
6	White Spruce	<i>Picea glauca</i>	~15	G	G	G		3	1.8		Neighbour		
7	White Oak	<i>Quercus alba</i>	~35	P/F	F/G	F		6	2.4	Lean (M) to south, co-dominance at 2m, crook (L), stem wound (M) at base	Neighbour		
8	Red Oak	<i>Quercus rubra</i>	~18	F/G	F/G	F		5	1.8	Epicormic branches (M), crook (L)	Neighbour		
9	Red Oak	<i>Quercus rubra</i>	~75	G	G	G		9	4.8		Neighbour		
10	Silver Maple	<i>Acer saccharinum</i>	~23	F	G	F		4	1.8	Exposed roots (M), stem wounds (L)	Neighbour		
11	Red Oak	<i>Quercus rubra</i>	30	F/G	F/G	F		3	2.4	Crook (L), pruning wounds (L)	Private		
12	Black Cherry	<i>Prunus serotina</i>	~35	F/G	G	F/G		6	2.4	Crook (L), pruning wounds (L), epicormic branches (L)	Neighbour		
13	White Oak	<i>Quercus alba</i>	~40, 40	F	G	F/G		10	3	Co-dominance at 0.8m with included bark (M)	Neighbour		
14	Black Cherry	<i>Prunus serotina</i>	~45	F/G	G	F/G		7	3	Crook (L), epicormic branches (L)	Neighbour		
15	White Oak	<i>Quercus alba</i>	~75	F	G	G		9	4.8	Co-dominance at 1.8m	Neighbour		
16	White Oak	<i>Quercus alba</i>	~75	F	F	F		9	4.8	Bow (M) to south, grape vine competition (L), broken branches (L)	Neighbour		
17	Red Oak	<i>Quercus rubra</i>	18, 10	F	G	F		6	1.8	Union at 1.2m, bow (L), asymmetrical crown n (M)	Neighbour		
18	Red Oak	<i>Quercus rubra</i>	~120	G	G	F/G		14	7.2	Asymmetrical crown n (L)	Private		
19	White Pine	<i>Pinus strobus</i>	55	F/G	G	F/G		5	3.6	Crook (L)	City		

Codes		
DBH	Diameter at Breast Height	(cm)
TI	Trunk Integrity	(G, F, P)
CS	Crown Structure	(G, F, P)
CV	Crown Vigor	(G, F, P)
CDB	Crown dieback	%
DL	Dripline	(m)
mTPZ	minimum Tree Protection Zone	(m)
Owner	Private, neighbour, city	
P = poor, F = fair, G = good, ~ = estimate, (VL) = very light, (L) = light, (M) = moderate, (H) = heavy		

## Appendix A. Tree Preservation Fence Details



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City of Mississauga  
**Corporate Report**



Date: 2016/08/15

To: Chair and Members of Heritage Advisory Committee

From: Paul Mitcham, P. Eng, MBA, Commissioner of  
 Community Services

Originator's files:

Meeting date:  
 2016/09/13

## Subject

**Request to Demolish a Heritage Listed Property: 1142 Mona Road (Ward 1)**

## Recommendation

That the property at 1142 Mona Road, which is listed on the City's Heritage Register, is not worthy of heritage designation, and consequently, that the owner's request to demolish proceed through the applicable process.

## Background

Section 27.3 of the *Ontario Heritage Act* states that structures or buildings on property listed on the City's Heritage Register cannot be removed or demolished without at least 60 days' notice to Council. This legislation allows time for Council to review the property's cultural heritage value to determine if the property merits designation.

The owner of the subject property has submitted a heritage permit application to demolish and replace the existing detached dwelling. The subject property is listed on the City's Heritage Register as it forms part of the Mineola Neighbourhood cultural landscape. This cultural landscape is significant due to development of the area at a time when natural elements determined the lot pattern and road system. The area is notable for its rolling topography, its natural drainage and its mature trees. The area is characterized by a balance between the built form and the natural surroundings with a softened transition from landscaped yards to the street edge with no curbs and a variety of quality housing stock.

The landscaping, urban design and conservation authority related aspects will be reviewed as part of the Site Plan review process to ensure the project respects the character of the surrounding community.

## Comments

The owner of the subject property has requested permission to demolish the existing structure. The applicant has provided a Heritage Impact Statement compiled by CHC Limited. It is

attached as Appendix 1. The consultant has concluded that the house at 1142 Mona Road is not worthy of designation. Staff concurs with this finding.

## Financial Impact

There is no financial impact.

## Conclusion

The owner of 1142 Mona Road has requested permission to demolish a structure on a property that is listed on the City's Heritage Register. The applicant has submitted a documentation report which provides information which does not support the building's merit for designation under the *Ontario Heritage Act*.

## Attachments

Appendix 1: Heritage Impact Assessment



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Paul Mitcham, P. Eng, MBA, Commissioner of Community Services

Prepared by: Cecilia Nin Hernandez, Heritage Coordinator

## **Cultural Landscape Heritage Impact Assessment**

**1142 Mona Road  
Mineola West Neighbourhood  
Mississauga**



prepared by

**CHC Limited**

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January 29, 2016

amended July 26, 2016

pages 17 & 18 revised August 3, 2016



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**Table of Contents**


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1.0	BACKGROUND - CULTURAL LANDSCAPE HERITAGE IMPACT ASSESSMENT (HIA) . . . .	1
2.0	THE CULTURAL LANDSCAPE HERITAGE IMPACT ASSESSMENT . . . . .	2
2.1	Property information . . . . .	2
2.2	Addressing the Cultural Landscape criteria . . . . .	25
2.3	Addressing the Mineola District Policies of the <i>Mississauga Plan</i> . . . . .	26
2.4	Proposed alterations . . . . .	26
2.5	Impact of development or site alteration . . . . .	34
2.6	Mitigating measures . . . . .	35
3.0	RECOMMENDATION . . . . .	36
	REFERENCES . . . . .	38
Appendix 1	<i>Mineola District Policies of Mississauga Plan</i> 2010 April	
Appendix 2	CHAIN of TITLE, PIN 13460-0021 - 1245 Mona Road, Mississauga, ON	
Appendix 3	Property Heritage Information, 1142 Mona Road, City of Mississauga	
Appendix 4	Cultural Landscape Inventory: Mineola Neighbourhood	
Appendix 5	Indenture between F. J. Moore Construction Company Limited and Arthur F. Wagland	
Appendix 6	Qualifications of the author	

all photographs by Owen R. Scott of CHC Limited, January 6, 2016 and July 14, 2016 unless otherwise noted

## 1.0 BACKGROUND - CULTURAL LANDSCAPE HERITAGE IMPACT ASSESSMENT (HIA)

This Heritage Impact Assessment (HIA) follows the *City of Mississauga Cultural Heritage Landscape Heritage Impact Assessment Terms of Reference*, October 2014 and was prepared in response to a request from the current property owner of 1142 Mona Road.

The property at 1142 Mona Road in the Mineola Neighbourhood in Mississauga is listed on the City's Heritage Register because it forms part of the Mineola Neighbourhood Cultural Landscape. It is not designated under Part IV or Part V of the *Ontario Heritage Act*<sup>1</sup>.

Figure 1 illustrates the location of the property and the Cultural Landscape in Mississauga.



Figure 1

The Mineola Neighbourhood Cultural Landscape and 1142 Mona Road

<http://www.mississauga.ca/portal/services/maps>

Figure 2 shows the location of the property within the cultural landscape.

<sup>1</sup> City of Mississauga heritage files - <http://www.mississauga.ca/portal/services/property>, accessed January 19, 2016





Figure 2

1142 Mona Road - 2015 <http://www.mississauga.ca/portal/services/maps>

## 2.0 THE CULTURAL LANDSCAPE HERITAGE IMPACT ASSESSMENT

### 2.1 Property information

*The villages of Toronto Township amalgamated to become the Town of Mississauga in 1968, excluding the Towns of Port Credit and Streetsville. In 1974, Mississauga incorporated as a City, this time including Port Credit and Streetsville.<sup>2</sup>*

*From the late 17th century to the early 19<sup>th</sup> century, the Credit River Valley was the exclusive domain of the Mississauga's, a band of the Ojibway. They were nomadic hunters and fishers who travelled the entire length of the Credit River from Lake Ontario to Georgian Bay. In 1805, they relinquished most of their holdings to the British Government, with the exception of a strip of land one mile on each side of the Credit River - the Credit Indian Reserve, which now comprises part of Mineola, as we know it today (Figure 3). As settlement occurred, the Mississaugas sold most of the Credit Indian Reserve to the Crown in 1820.*

*The Mississauga retained only two hundred acres on the east side of the Credit River. The 'two hundred acres' was never surrendered and became a land claim in the 1980s, for which the Mississauga received twelve or thirteen million dollars. In the early 1820s, both the government and the Mississauga themselves, believed they would soon be extinct. In late 1825, the Government agreed to build the Mississaugas a village near the Credit River; it became known as the Credit Mission. As early as 1840, the Mississauga decided to leave the Credit River. In 1847, the Mississauga of the Credit River left for the Six Nations Reserve and established the New Credit Reserve in Hagersville.*

<sup>2</sup> <http://www.heritagemississauga.com/history.htm>, accessed January 19, 2016



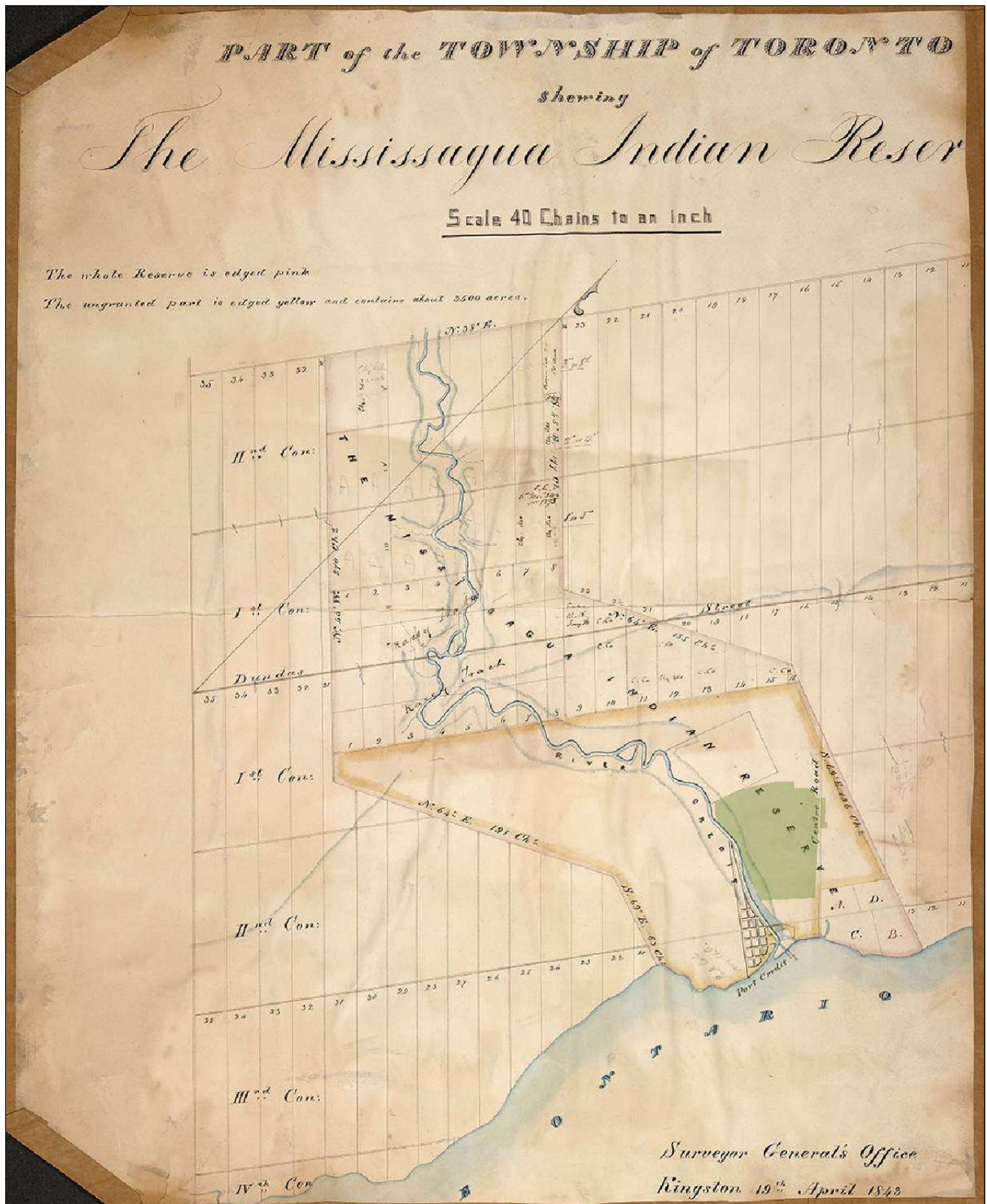


Figure 3

*Part of the Township of Toronto shewing The Mississauga Indian Reserve*  
 Surveyor General's Office, Kingston, 18<sup>th</sup> April 1843  
 - present-day Mineola Neighbourhood Cultural Landscape superimposed in green



*Following deforestation, the lands in Mineola were used for agriculture up to the 1930's. Growth pressures of Port Credit, together with construction of the Queen Elizabeth Way, including Canada's first "clover leaf" interchange at Hurontario Street, provided the impetus for development.*

*Consequently, Mineola underwent suburban residential development on several parcels of land throughout the 1940's and 50's, and by 1950 newer homes along with older farmhouses lined Hurontario Street almost continuously from Port Credit to Cooksville. Since that time, infill Mineola development has continued to take place, abetted by the widening of Hurontario Street, and the introduction of GO train service in 1967.<sup>3</sup>*

*Mineola was developed before it became standard practice to regrade top soil into large piles in the early twentieth century, level every nuance of natural topography and engineer the complete stormwater drainage system artificially. In Mineola a road system was gently imposed on the natural rolling topography of the Iroquois Plain; homes were nestled into slightly larger lots and natural drainage areas were retained. This provided greater opportunity to save existing trees and because the soils and drainage system were minimally impacted, provided fertile ground for the planting of new vegetation, the natural regeneration of native trees and landscaping of the residential landscapes. What has evolved today is a wonderful neighbourhood with a variety of quality housing stock and a rich stimulating landscape that blends the houses with their natural and manicured surroundings. There are no curbs on the roads which softens the transition between street and front yards. The roads wind, rise and fall with the natural topography and houses sit often at odd angles to take advantage of slopes and the location of large trees. A gradual infilling has increased the density over the years and care must be taken to ensure that this does not, in the end, ruin the very quality and character that makes this neighbourhood so appealing and attractive. Of the many neighbourhoods in Mississauga, the Mineola neighbourhood stands out as one of the most visually interesting and memorable. As is often the case, when new development is balanced with the protection of the natural environment, a truly livable and sustainable community evolves. Mineola is an excellent example of this type of community.<sup>4</sup>*

Figure 5 is a 1954 airphoto of the area surrounding 1142 Mona Road, indicating that much development had taken place. In the western portion, many mature trees had been conserved in the development, while in the east the only trees are fence rows retained from the former farm fields.

Figure 4 is an enlargement from Figure 5 showing that the house is in place, but grading is still in progress at 1142 Mona Road. The house and its immediate neighbours to the north are in the same situation.

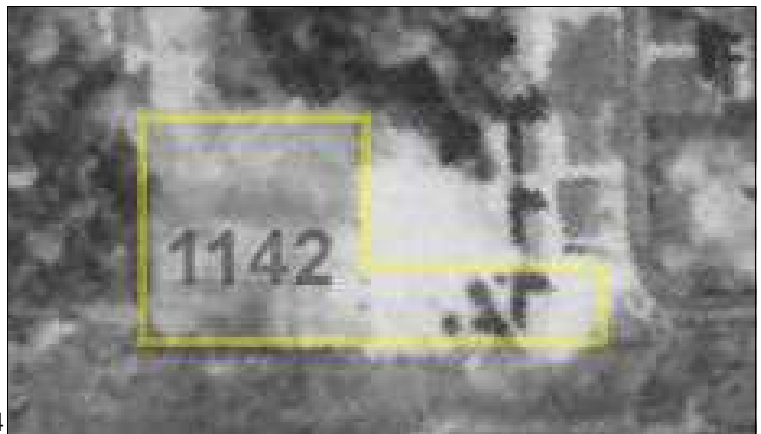


Figure 4 - 1142 Mona Road, 1954

<sup>3</sup> 1996 Census Profile, Statistics Canada, *Mineola*, Mississauga Planning & Building, [http://www5.mississauga.ca/research\\_catalogue/B-28\\_mineola1.PDF](http://www5.mississauga.ca/research_catalogue/B-28_mineola1.PDF) accessed January 19, 2016

<sup>4</sup> *Cultural Landscape Inventory*, City of Mississauga, The Landplan Collaborative Ltd., January 2005



Figure 5 Mona Road area of Mineola neighbourhood - 1954 <http://www.mississauga.ca/portal/services/maps>



Figure 6 Mona Road area of Mineola neighbourhood - 1966 <http://www.mississauga.ca/portal/services/maps>

A dozen years later (Figure 6), the easterly portion of the development shows numerous trees, many of which have matured and are in place today. The rear of 1142 remains a disturbed area.



By 1999 (Figure 7), a change in the neighbourhood character was beginning to occur as a number of homes were either demolished and replaced with larger homes, or small homes were enlarged (Figure 7). The area remains heavily treed; roadways remain as originally constructed. The rear of 1142 is a meadow with no trees.

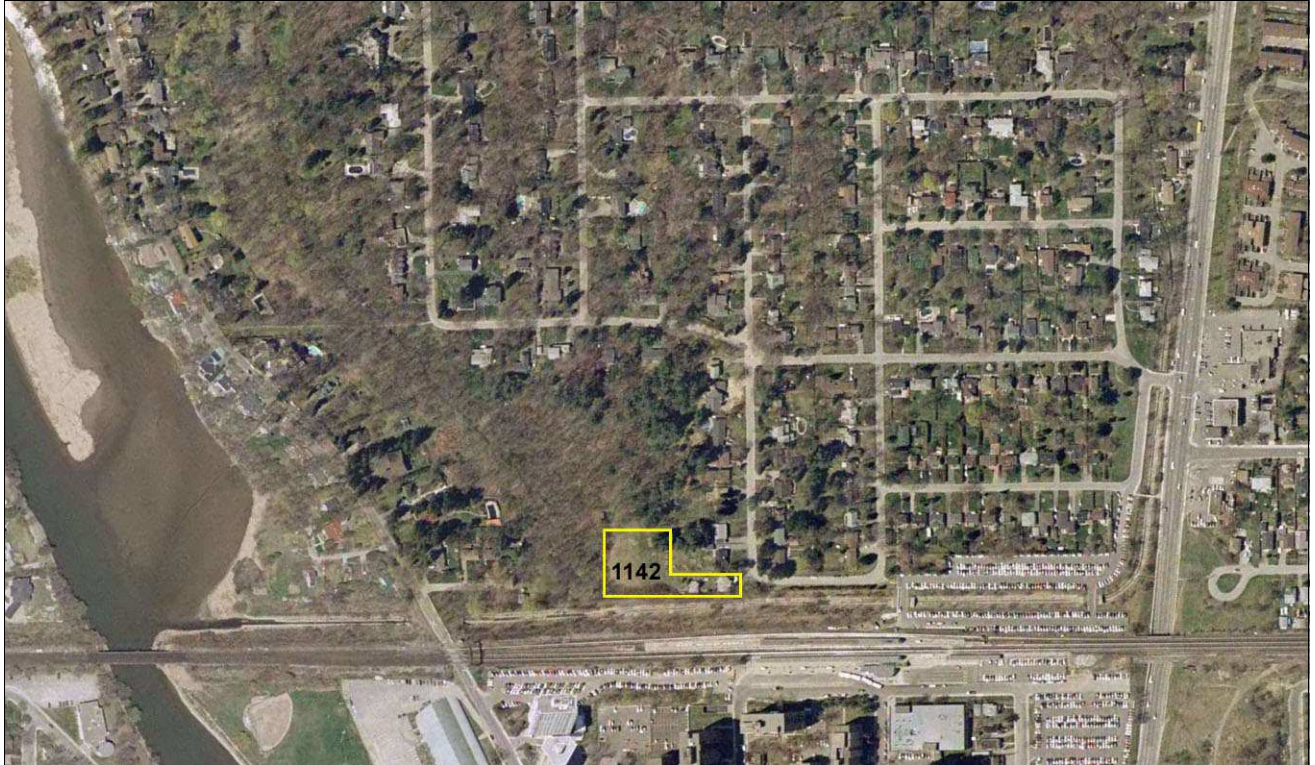


Figure 7 Mona Road area of Mineola neighbourhood - 1999 <http://www.mississauga.ca/portal/services/maps>



Figure 8 Mona Road area of Mineola neighbourhood - 2015 <http://www.mississauga.ca/portal/services/maps>

Little obvious change has occurred between 1999 and 2015 (Figure 8); more homes have been replaced with larger



homes. In the past fifteen years more “tear downs” have occurred, some more successful than others in maintaining the Mineola Neighbourhood character. Where replacements or enlargements were kept to a lower profile, mature trees retained, and larger structures screened by vegetation, the neighbourhood character remains intact. A topographic site plan and air photo illustrate the existing condition at 1142 Mona Road (Figures 9 & 10).

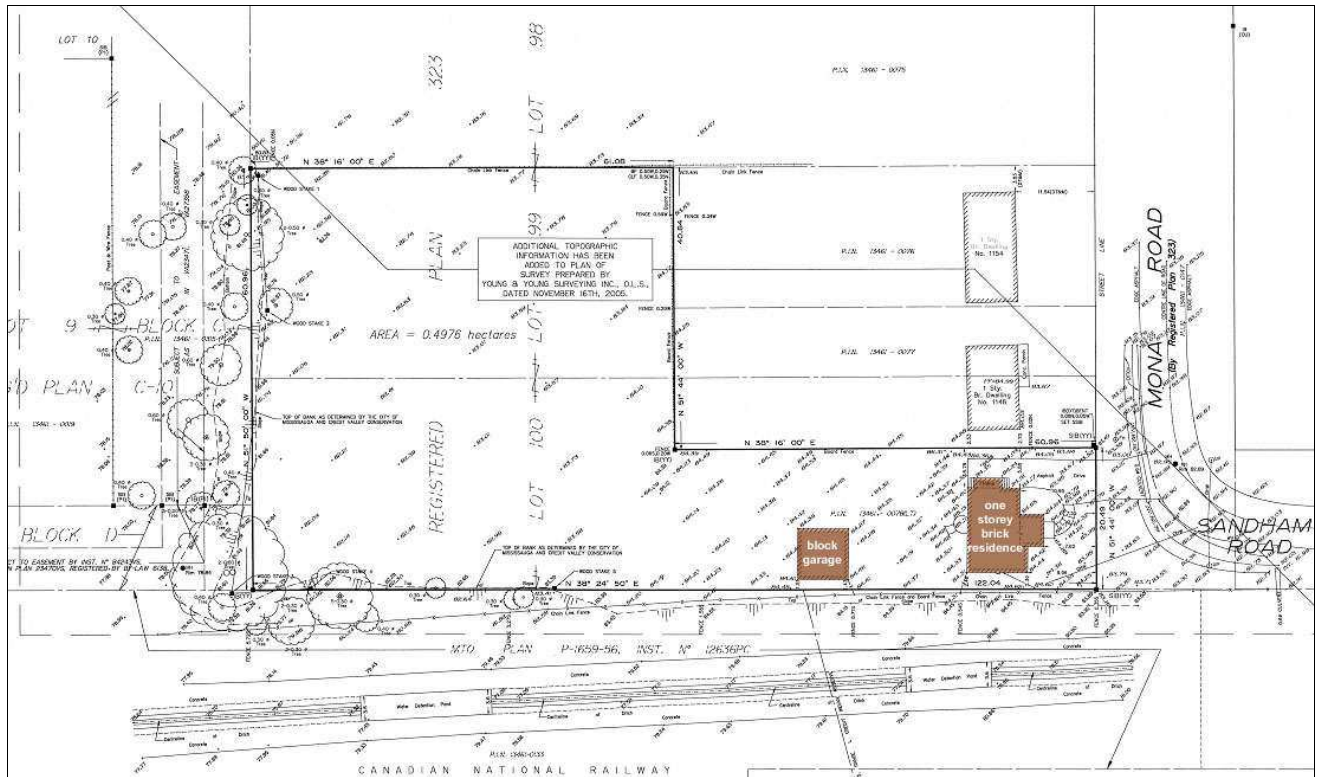


Figure 9

topographic survey - Land Survey Group, 9 September 2015

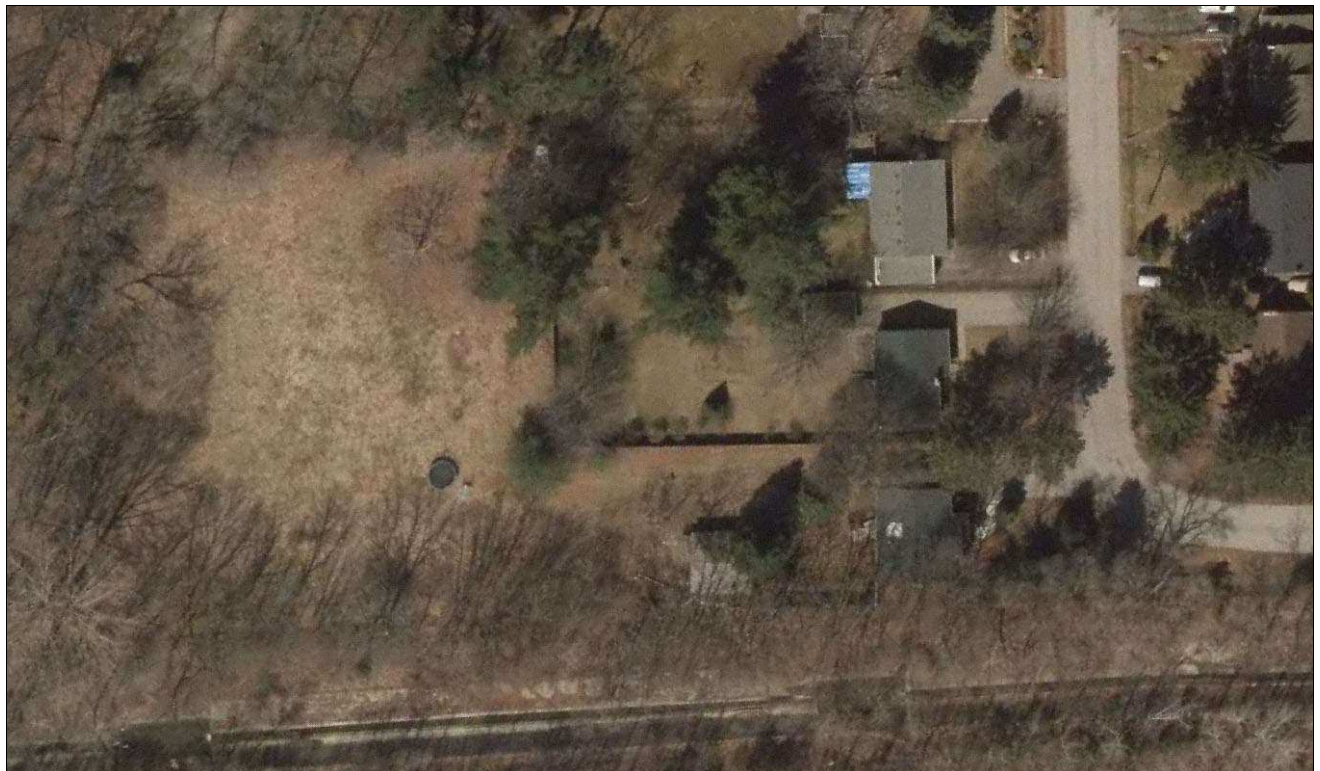


Figure 10

1142 Mona Road - 2015 <http://www.mississauga.ca/portal/services/maps>



The property at 1142 Mona Road comprised of Part of Lot 99 and Part of Lot 100 in a 106 lot subdivision plan from 1943 on land sold by Cyril E. Cotton, farmer to F. J. Moore Construction Company Limited for \$20,000. (Figure 11) Cyril E. Cotton was the grandson of Robert Cotton and grand nephew of James Cotton who came with their family to Canada in 1837 from County Roscommon, Ireland, and purchased, from 1854 to 1856 several parcels of land in the southern half of Toronto Township, particularly in the Port Credit area. Robert Cotton's home at 1234 River Road remained in the Cotton family until it was sold by Cyril in 1943, the same year the Mineola lands were sold. Robert Cotton's purchase of land in 1856 included Lots 1, 2 and 3 in Range 1 of the Credit Indian Reserve. James's purchases, in 1854, included Lots 3 through 8. The 1943 plan of subdivision (Figure 11) is comprised of parts of Lots 2 through 5. In addition to their farms in Toronto Township, the Cottons ran stores, the post office, the Port Credit Harbour Company, a wharf and storehouse, and customs collection in the nearby village of Port Credit. Robert Cotton was also active in local government, serving as reeve of Toronto Township from 1872 to 1879 and warden of Peel County in 1873-74. Robert's son, James William Cotton, next owned the properties.<sup>5</sup> James William's sons, Cyril Ernest Cotton and Dixie Cox Cotton, took ownership in the early twentieth century. Dixie Cox Cotton practised as an architect in Toronto and later Port Credit.

Cyril Cotton sold Parts of Lots 2, 3, 4 & 5 to Moore Construction in 1943 for \$20,000. In May 1953, Moore Construction sold vacant Lots 97, 99 and 100 to Arthur F. Wagland for \$1,500 subject to numerous conditions (see Appendix 5). Wagland, in turn, sold Lots 99 and 100 the next month to Alex Mikulich for \$3,500. In December of 1953, Mikulich sold the front 67' of Lot 99, retaining the current flag lot pattern of 1142 Mona Road. The house at 1142 was likely built circa 1954 for Alex Mikulich. After his death in 1982, the property was transferred to Leonard Joseph Mikulich, who sold it in 1985 to Vera Doubkove-Vadura for \$107,000. In 2002 the property was sold to Anna Lechnowsky for \$437,000. Lechnowsky sold to Salvatore and Olga Galati in 2005 for \$670,000. In 2015, the Galatis sold the property to the current owners for \$1,000,000.

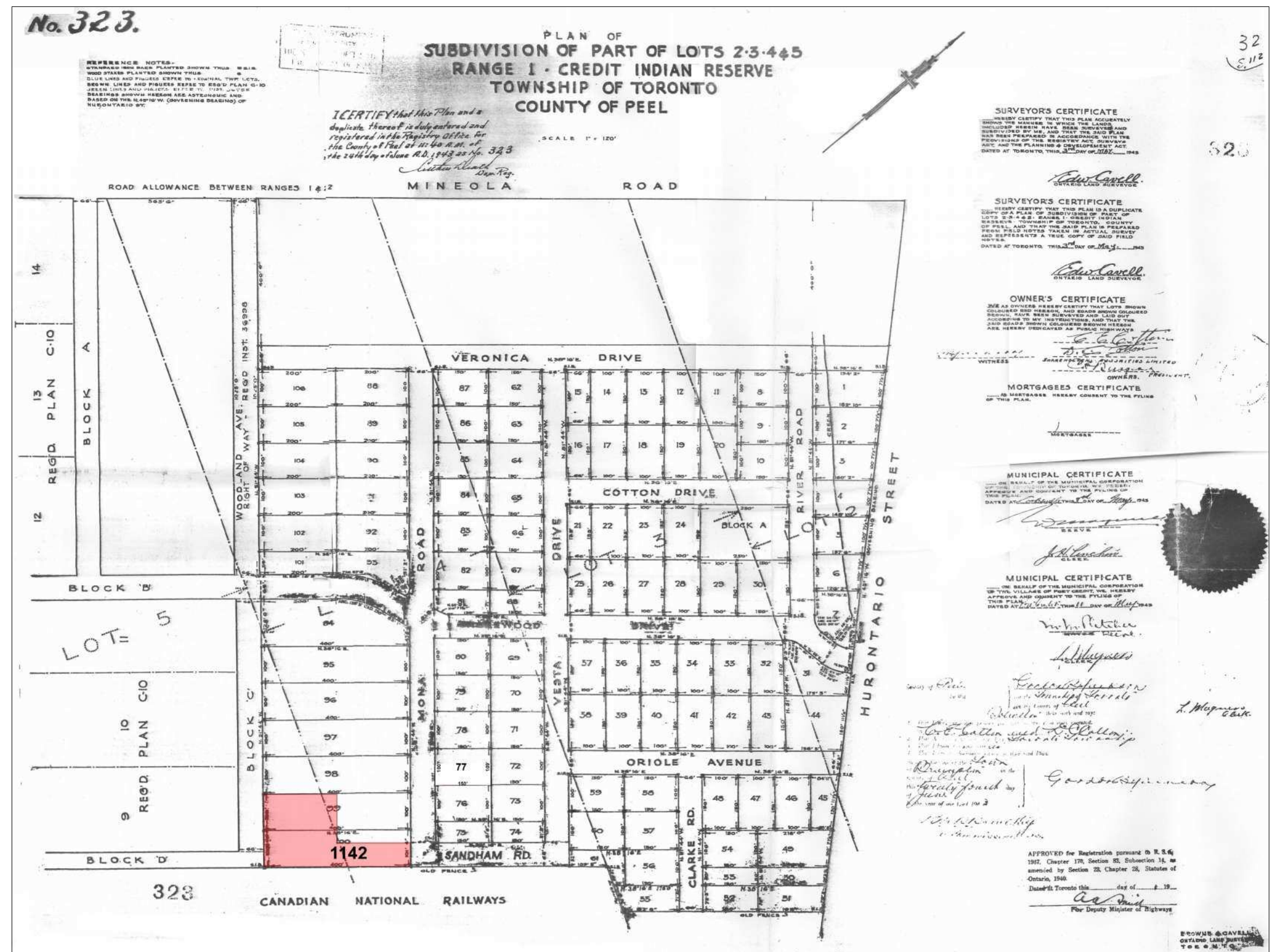


Figure 11

Plan of Subdivision of Part of Lots 2, 3, 4 &amp; 5, Range 1 - Credit Indian Reserve, Township of Toronto, County of Peel - Brown &amp; Cavell, Ontario Land Surveyors, Toronto

<sup>5</sup> J. H. Pope, "Southern Half Toronto Township," *Illustrated Historical Atlas of the County of Peel, Ont.* (Toronto: Walker & Miles, 1877), p. 24.



Neither the original homeowner, nor any of the subsequent residents appears to have been of historical significance to the community. Census data, Archives of Ontario, Library and Archives Canada, Mississauga Business Directories, Canadian Cemetery Records, and the Mississauga Public Library were searched for information on these families and businesses.

The house at 1142 Mona Road is a single-storey, grey brick (painted white), +/- 1,000 square foot, raised bungalow with a concrete block foundation (Figures 12 - 15 and 23). A later enclosed front porch addition projects from the front centre. A raised, covered side porch leads to the living / dining room (Figure 16). Sliding glass doors and enlarged windows on both the main floor and basement levels are found at the rear (Figures 17 - 21).

The house was built *circa* 1954 for Alex Mikulich who lived in the house until his death in 1982.

This house has been much modified from the original. The front and side porches were added *circa* 1987 - 1991; the interior was completely gutted and rearranged about the same time. All windows were altered, enlarged, and/or replaced. Nothing of the original interior remains (Figures 24 -30).



Figure 12

front elevation - 1142 Mona Road

The house contributes to the cultural heritage value of the Mineola Neighbourhood cultural landscape by being in scale with its early surroundings, retaining the mature landscape that helps to characterize the neighbourhood. There are only a few of the original bungalows left on Mona Road, most having been replaced in the last ten years or so by larger homes, although the mature landscape has survived and the original character is largely intact in this block.





Figure 13

rear elevation



Figure 14

northwest corner - covered side porch





Figure 15

south facade



Figure 16

north elevation - covered porch with cantilevered balustrade





Figure 17 left front casement windows



Figure 18 right front casement window



Figure 19 rear living room / dining room window



Figure 20 bathroom window

Every window in the house has been replaced or added (Figures 17 - 21). Original soffits have been covered with aluminum (Figure 22).



Figure 22

replacement aluminum soffits



Figure 23

concrete block foundation









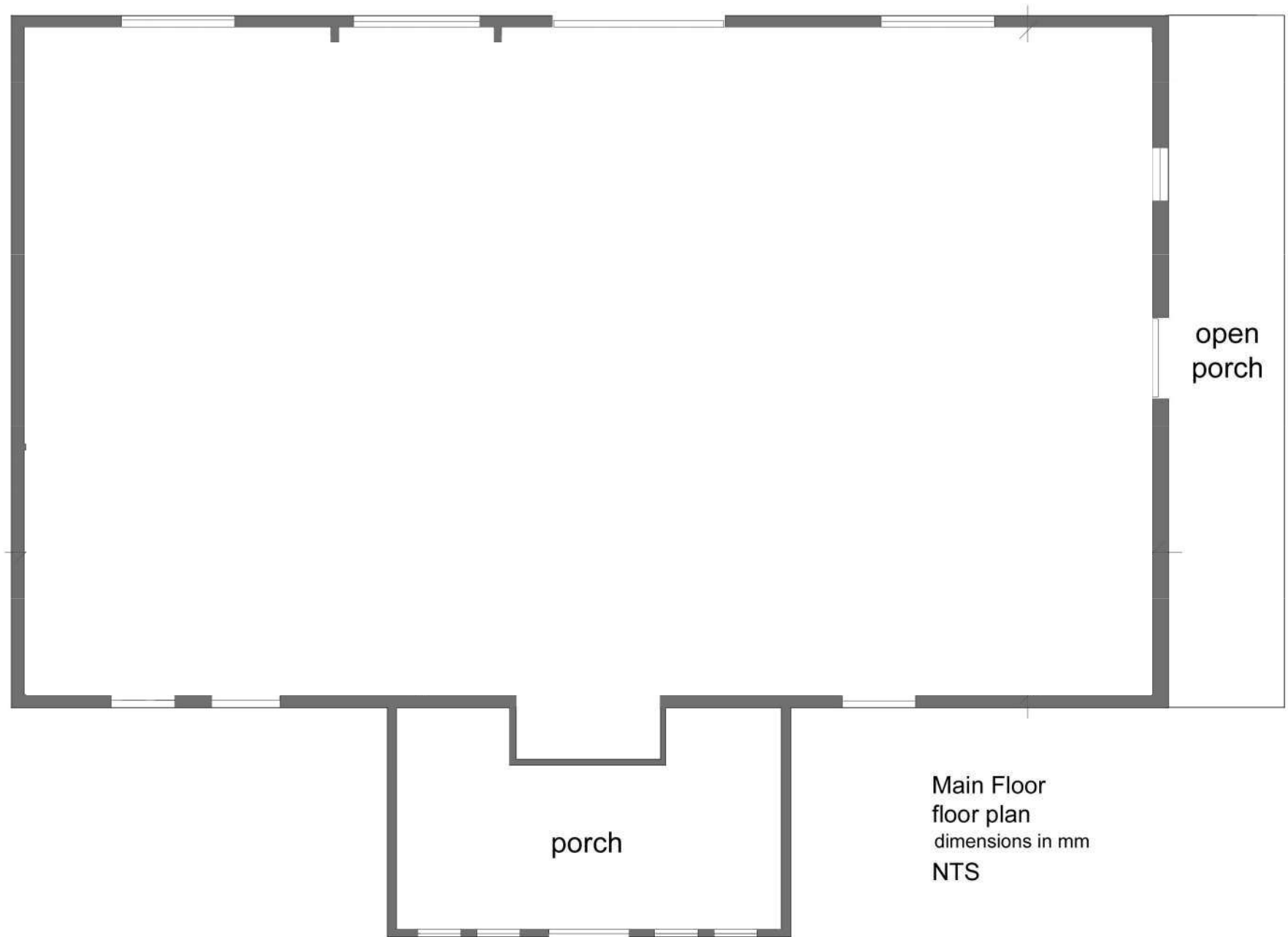


Figure 31

main floor plan

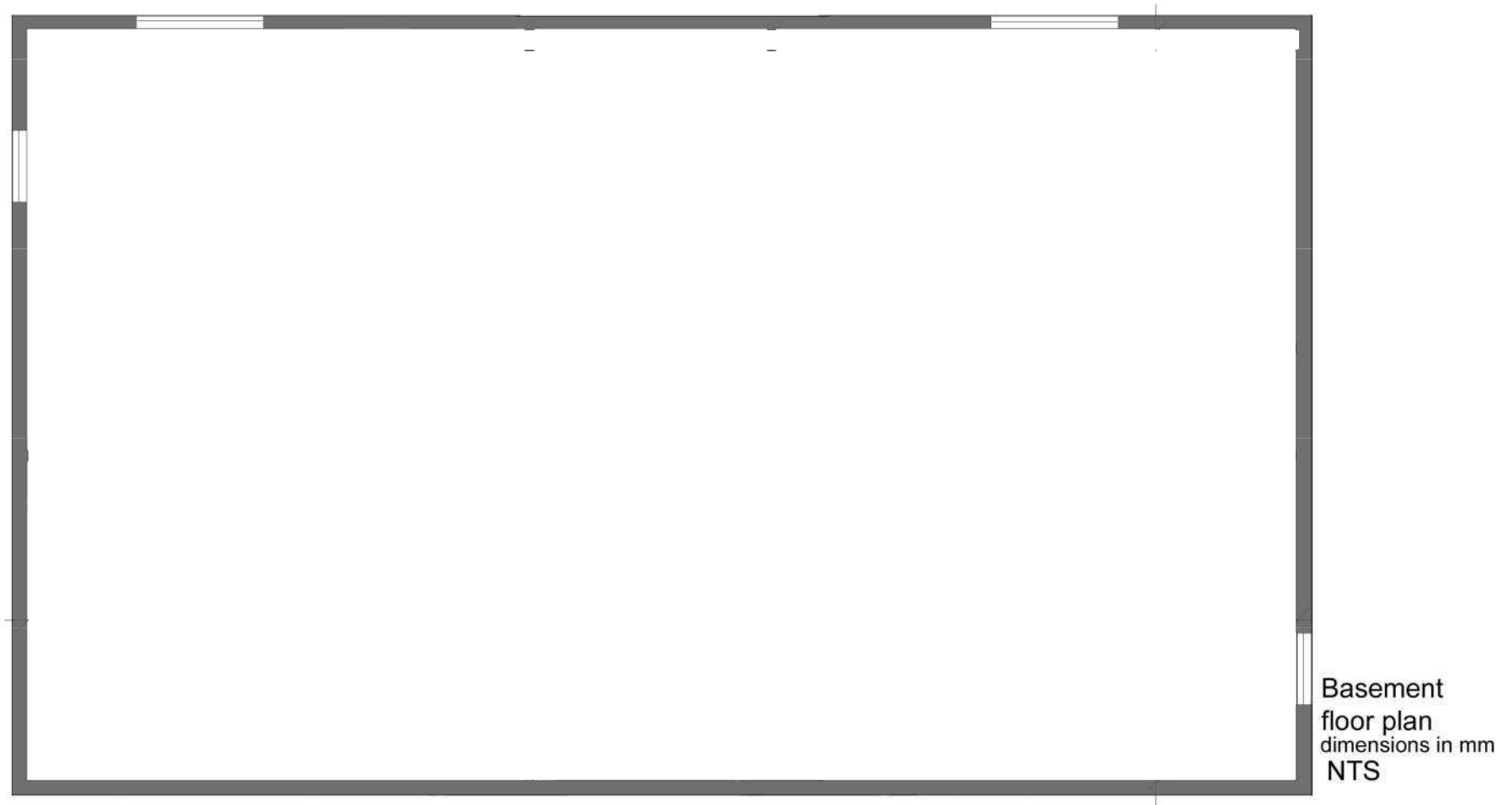


Figure 32

basement floor plan

The house meets none of the criteria of *OHA Regulation 9/06* for significance. The cultural heritage resource in question is the Mineola Neighbourhood Cultural Landscape.



Figure 33

concrete block garage

A concrete block, cottage roofed, 2-car detached garage is located behind the house (Figure 33). It does not appear on the 1954 airphoto, but is on the 1963 photo; therefore, it was built between 1954 and 1963. The rear of Lots 99 and 100 have not been built upon, nor treed since the plan of subdivision in 1943. The following views from that space are keyed to Figure 34. It is apparent from the photos that the only views to/from the rear of these lots is to the south and across the railway tracks. Vegetation, even in winter, obscures all others.

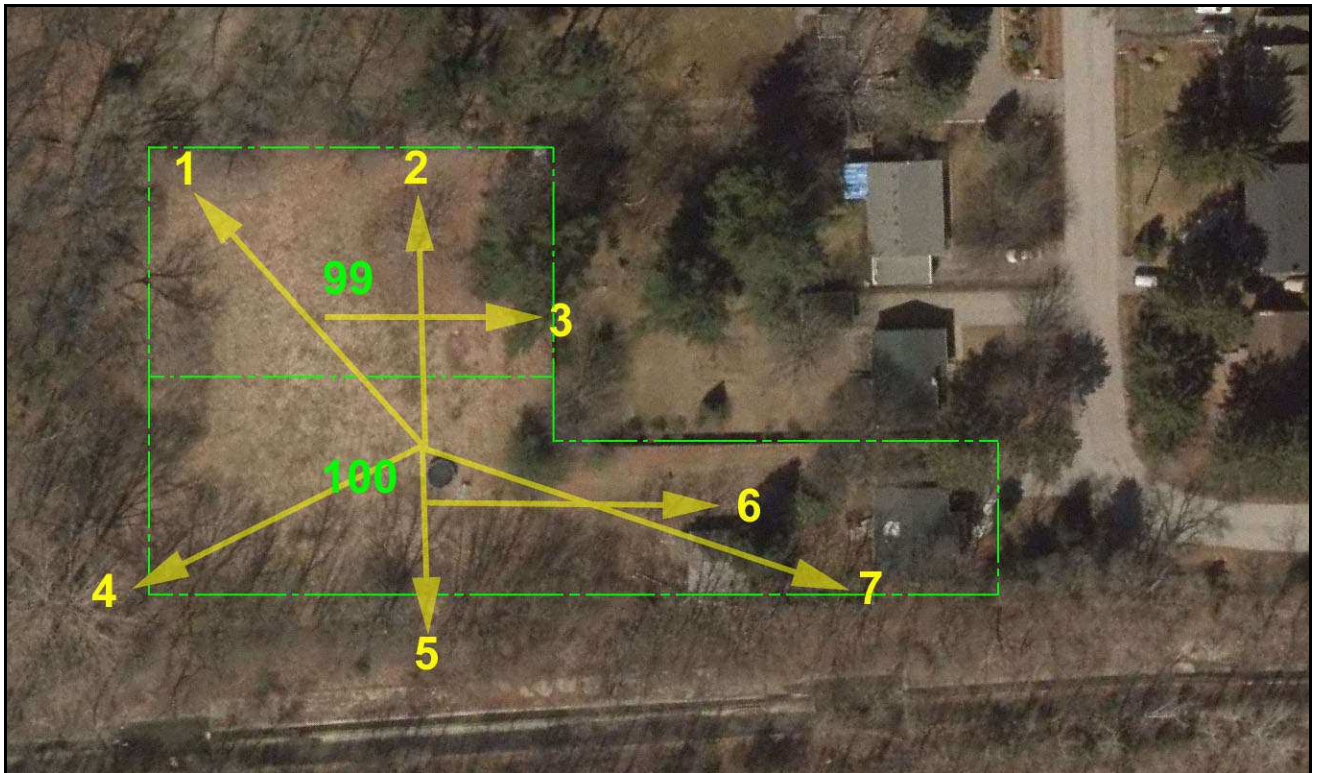


Figure 34

views from rear of Lots 99 &amp; 100





Figure 35

View 1 - looking northwest



Figure 36

View 2 - looking north





Figure 37

View 3 - looking east from Lot 99



Figure 38

View 4 - looking southwest





Figure 39

View 5 - looking south



Figure 40

View 6 - looking east to rear of garage and house





Figure 41

View 7 - looking southeast across railway tracks

The Mineola Neighbourhood cultural landscape character is partially captured in the following photographs (Figures 42 & 43). Narrow pavements, ditches without curbs and gutters, an abundance of mature trees, slightly rolling topography, and large lots (typically 100' frontages with 150' & 200' depths) are prevalent throughout. Small bungalows and 1½ storey homes that were built in the 1940s and 1950s are still evident, although many have been enlarged or replaced by more generous-sized homes.



Figure 42

looking north on Mona Road from 1142 Mona Road at Sandham Road





Figure 43

looking east from 1142 Mona Road on Sandham Road at Mona Road

Figure 44 is a series of stitched together photographs taken from the east side with a 50mm lens as it renders perspective closely matching that of the human eye. Figure 44 is what one can see of the subject property in summer from the public right-of-way (virtually nothing). The property is screened by houses, garages, vegetation, and fences as well being over the crest of a hill.



Figure 44

left to right - 1142, 1148, 1154 Mona Road, rear flag portion of subject property not visible from public view

## 2.2 Addressing the Cultural Landscape criteria<sup>6</sup>

Cultural Heritage Landscape Inventory Heritage Impact Assessments must demonstrate how the proposed development will conserve the criteria that render it a cultural heritage landscape and / or feature. Each cultural heritage landscape and feature includes a checklist of criteria. The checked criteria for the Mineola Neighbourhood Cultural Heritage Landscape are:

### LANDSCAPE ENVIRONMENT

- ☒ Scenic and Visual Quality
- ☒ Natural Environment
- ☒ Landscape Design, Type and Technological Interest

### HISTORICAL ASSOCIATION

- ☒ Illustrates Style, Trend or Pattern
- ☒ Illustrates Important Phase in Mississauga's Social or Physical Development

### BUILT ENVIRONMENT

- ☒ Aesthetic/Visual Quality
- ☒ Consistent Scale of Built Features

### OTHER

- ☒ Significant Ecological Interest

<sup>6</sup> *Cultural Landscape Inventory, City of Mississauga, The Landplan Collaborative Ltd., January 2005*  
[http://www5.mississauga.ca/pdfs/Cultural\\_Landscape\\_Inventory\\_Jan05.pdf](http://www5.mississauga.ca/pdfs/Cultural_Landscape_Inventory_Jan05.pdf), accessed January 22, 2016

To conserve the “landscape environment”, “historical association”, “built environment qualities” and “significant ecological interest” criteria, the proposed alteration must be consistent with the retention of the appearance of the Mineola Neighbourhood to ensure that the character of this part of Mississauga remains intact. The Neighbourhood retains numerous buildings of a consistent scale in a unique scenic natural and cultural environment and it is important that this appearance and character be retained. There has been a movement in the past ten years to demolish and replace the bungalows and storey and a half original homes with larger homes, some of which are less complementary to that character, while others fit nicely.

### 2.3 Addressing the Mineola District Policies of the *Mississauga Plan* <sup>7</sup>

The Mississauga Plan contains urban design policies specific to the Mineola Neighbourhood. These policies (see Appendix 1) are designed to preserve the character of the neighbourhood and include provision for the protection of vegetation and drainage systems; the preservation of building setbacks and ditches along the roadside; a de-emphasis on building heights with preference given to single and two storey dwellings; architectural character and detailing to reduce the mass of larger homes; *etc.*

### 2.4 Proposed alterations

1142 Mona Road is unusual in that it is a flag lot. Lot 100 is 400 feet (122 m) deep and attached to the north is 200 feet (61 m) of the rear of Lot 99. Other lots on the west side of Mona Road in this block are also 400 feet deep; however, they are heavily treed unlike 1142 which is nearly treeless. The total area of the subject property is 1.23 acres (0.496 ha). The majority of this large lot is not visible from the neighbourhood (Figure 44), providing an opportunity to develop the rear portion without any visual impact on the Mineola Neighbourhood Cultural Landscape, except from the air. A site plan and elevations of the proposed townhouse development are found in Figures 45 through 49. The proposed Site Plan (Figure 45) shows the 3-storey townhouses at the rear of Lots 99 and 100, more than 200 feet distant from the front property line and accessed by a drive along the south property line adjacent the railway. Between the townhouses and the street is a proposed single family home with its end gable facing the street and its garage at the rear (Figures 50 - 53). The overall proposal does not comply with the Zoning By-law and requirements, requiring amendments.

	permitted	proposed
lot coverage	35%	35.3%
gross floor area (GFA)	1,185.2 m <sup>2</sup>	3,658.7 m <sup>2</sup>
maximum height - eaves	6.4 m	8.48 m
maximum height - highest ridge	9.0 m	12.84 m
total side yard setbacks	5.53 m	5.85 m

The proposed front yard setback is slightly less than its neighbour to the north. Grading respects the existing trees and established drainage patterns. Existing mature trees worthy of preservation have been conserved and incorporated in the site and landscape concept plan (Figures 45 and 46). An arborist report has been prepared by Beacon Environmental and is submitted under separate cover.

<sup>7</sup> Mineola District Policies of Mississauga Plan 2010 April



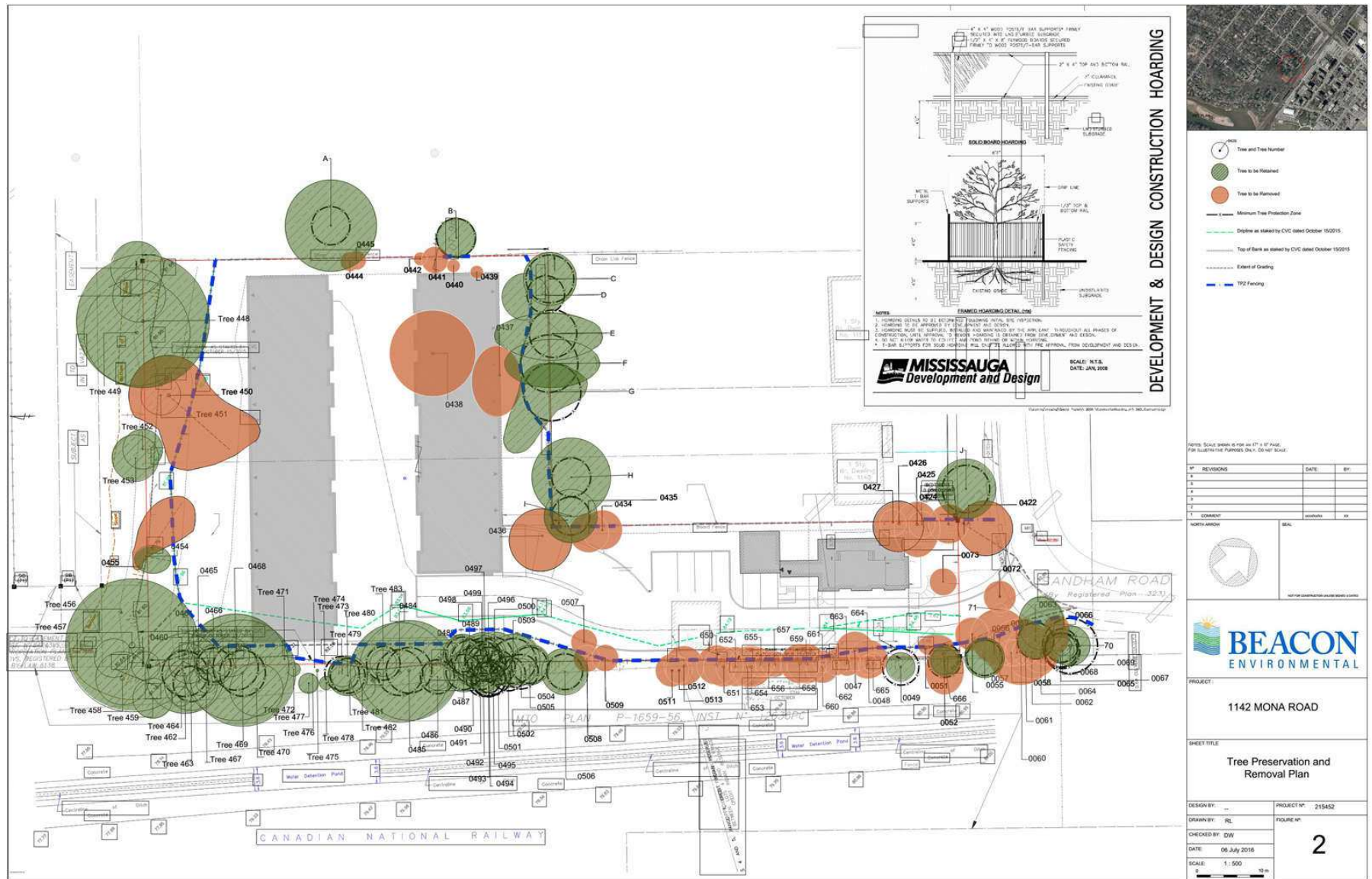


Figure 45

Tree Preservation and Removal Plan - after: *Beacon Environmental*, July 6, 2016

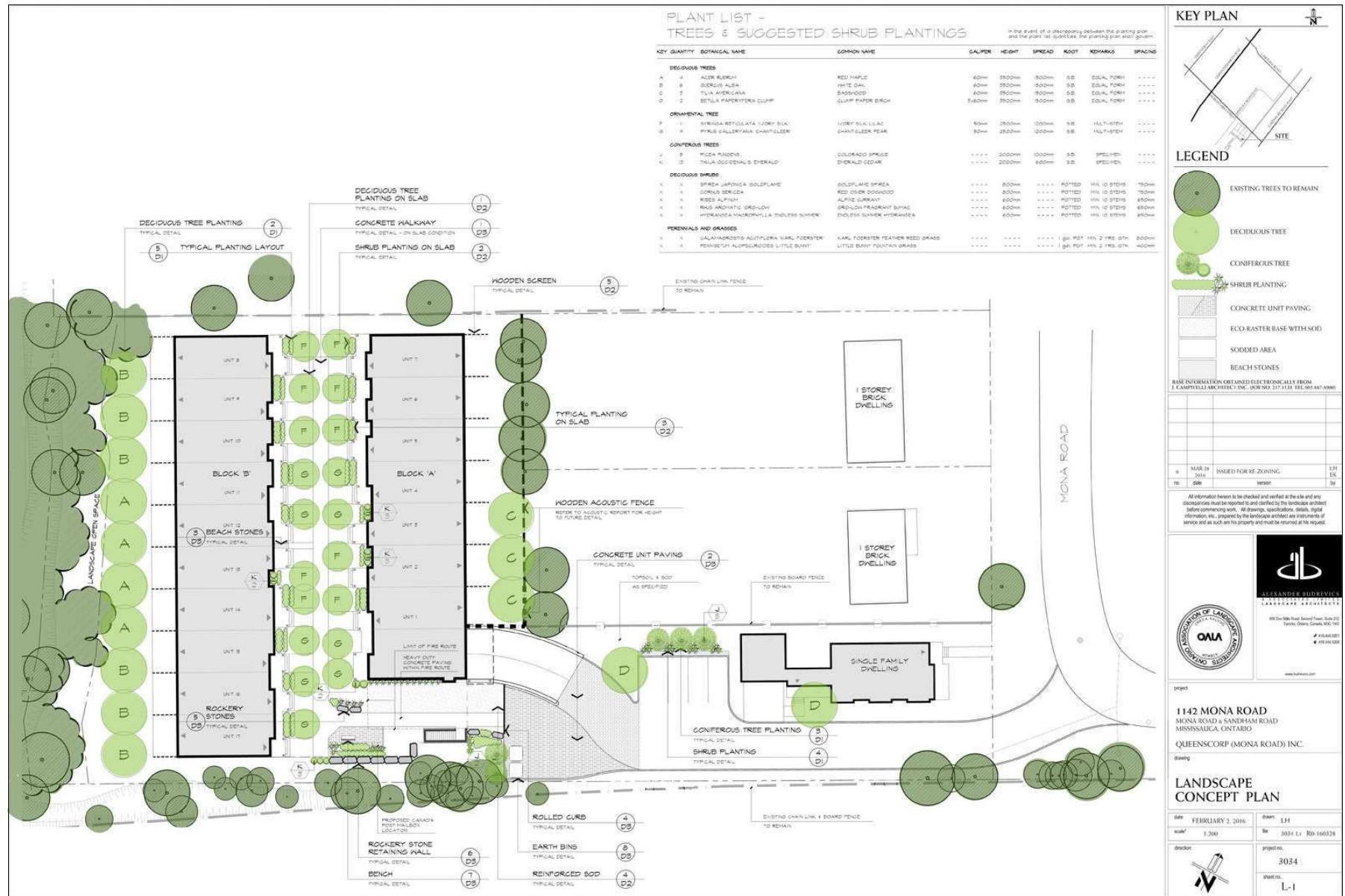




Figure 47

Townhouse elevations - *The Hicks Partnership Inc.*, 21 January 2016





Figure 48

Townhouse elevations - *The Hicks Partnership Inc.*, 21 January 2016



Figure 49

Townhouse end elevations - *The Hicks Partnership Inc.*, 21 January 2016

The proposed single family residence which replaces the existing bungalow, is a 2½-storey building with its end facing the street to accommodate access to the townhouse development at the rear. The front door faces the street and although the new residence is substantially larger than the existing, its appearance from the street is of a much smaller structure. Figures 50 - 53 are elevations of the proposed new residence.



Figure 50 front (street) elevation - proposed residence  
*The Hicks Partnership Inc., 21 January 2016*

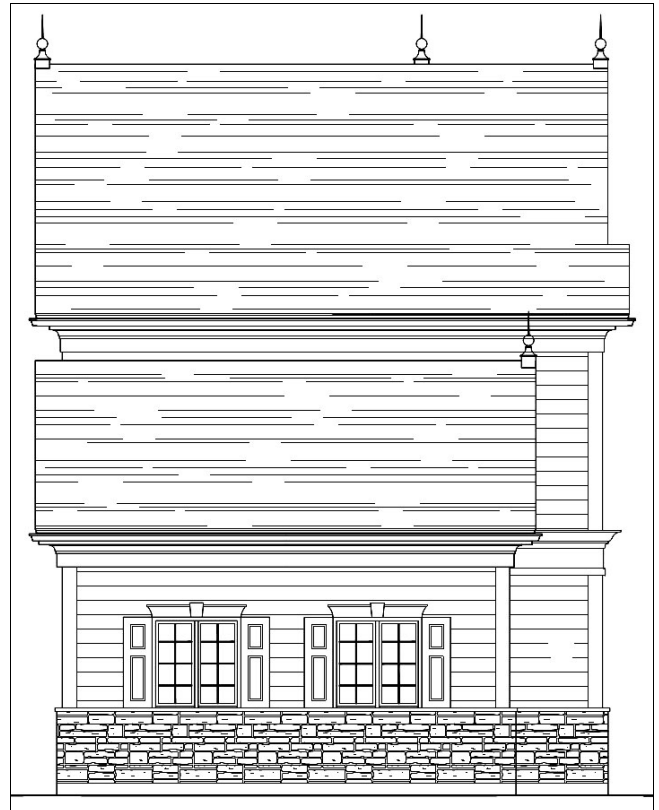


Figure 51 rear (west) elevation - proposed residence  
*The Hicks Partnership Inc., 21 January 2016*



Figure 52 south elevation - proposed residence - *The Hicks Partnership Inc., 21 January 2016*



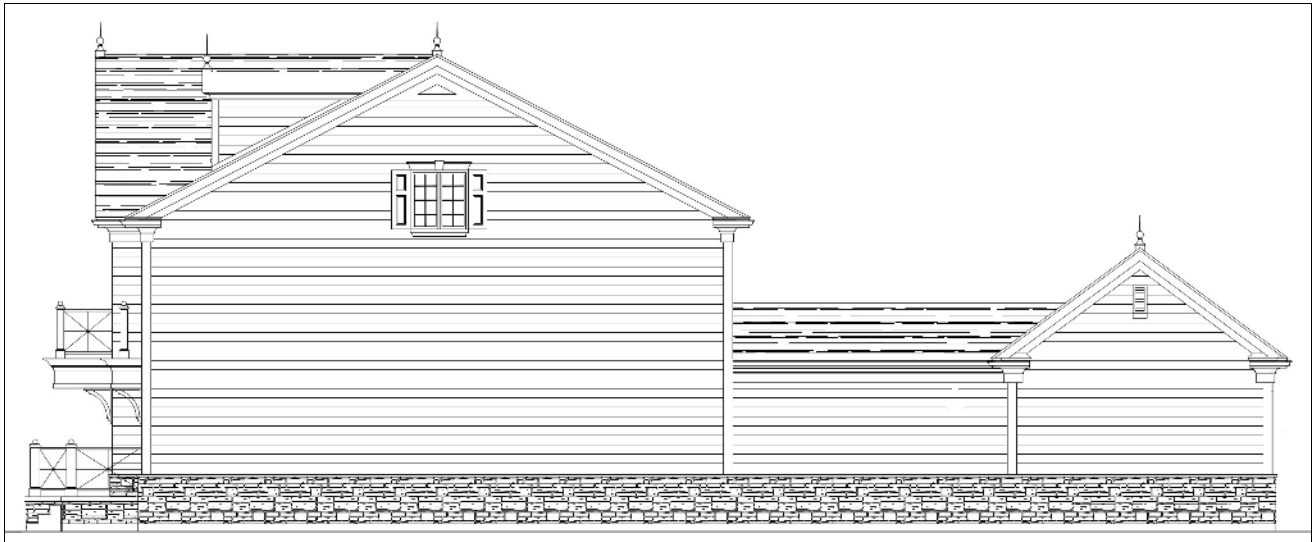


Figure 53 north elevation - proposed residence - *The Hicks Partnership Inc.*, 21 January 2016

From a landscape perspective, the Mona Road streetscape will be little altered. The existing mature vegetation will be retained. What can be seen of the development from the street is superimposed on a photograph of the streetscape (Figure 54). The proposed development at the rear of Lots 99 and 100 is barely visible from the street in this early spring illustration where the deciduous trees are bare. Judiciously placed street trees (not shown) would further obscure views of the rear development.



Figure 54 streetscape view of proposed development from Mona Road

Further description as to how the proposed redevelopment affects the streetscape can be found in paragraph 2.5 - *Impact of development or site alteration*.

## 2.5 Impact of development or site alteration

Potential negative impacts and an assessment of the proposed site alteration development follows.

<i>Potential Negative Impact</i>	<i>Assessment</i>
<ul style="list-style-type: none"> <li>• Destruction of any, or part of any, significant heritage attributes or features</li> <li>• Removal of natural heritage features, including trees</li> <li>• Alteration that is not sympathetic, or is incompatible, with the historic fabric and appearance</li> <li>• Shadows created that alter the appearance of a heritage attribute or change the viability of an associated natural feature, or plantings, such as a garden</li> <li>• Isolation of a heritage attribute from its surrounding environment, context or a significant relationship</li> <li>• Direct or indirect obstruction of significant views or vistas within, from, or of built and natural features</li> <li>• A change in land use where the change in use negates the property's cultural heritage value</li> <li>• Land disturbances such as change in grade that alter soils, and drainage patterns that adversely affect cultural heritage resources</li> </ul>	<p>no impact</p> <p>minimal impact</p> <p>no impact</p> <p>no impact</p> <p>no impact</p> <p>no impact</p> <p>no impact</p> <p>no impact</p>
<i>Design / Character Criteria</i>	<i>Assessment</i>
<b>Addressing the Cultural Landscape Criteria</b>	
<ul style="list-style-type: none"> <li>• Alteration must be consistent with the retention of the appearance of the Mineola Neighbourhood to ensure that the character of this part of Mississauga remains intact</li> </ul>	<p>2½ storey house is located in a similar location to the existing, although the footprint is larger</p> <ul style="list-style-type: none"> <li>- setbacks are slightly altered</li> <li>- front yard setback consistent with neighbours</li> <li>- mature vegetation is retained</li> <li>- minimal impact</li> </ul>
<b>Addressing the Mineola District Policies of the <i>Mississauga Plan</i></b>	
<ul style="list-style-type: none"> <li>• Preserve and enhance the generous front, rear and side yard setbacks</li> </ul>	<p>setback increased on south side, decreased on north and front - minimal impact</p>

*Design / Character Criteria*

- Ensure that existing grades and drainage conditions are preserved
- Encourage new housing to fit the scale and character of the surrounding area, and take advantage of the features of a particular site, *i.e.* topography, contours, mature vegetation
- Garages should be recessed or located behind the main face of the house. Alternatively, garages should be located in the rear of the property.
- Ensure that new development has minimal impact on its adjacent neighbours with respect to overshadowing and overlook
- Encourage buildings to be 1-2 storeys in height. The design of the building should de-emphasize the height of the house and be designed as a composition of small architectural elements, *i.e.* projecting dormers and bay windows
- Large accessory structures will be discouraged, and any accessory structures will be located in side and rear yards only
- House designs which fit with the scale and character of the local area, and take advantage of the particular site are encouraged. The use of standard, repeat designs is strongly discouraged
- Building mass, side yards and rear yards should respect and relate to those of adjacent lots

*Assessment*

existing grades and drainage patterns preserved - no impact

new house is of similar scale and character of neighbouring newer houses

- townhouse development is not characteristic of Mineola Neighbourhood; however, it is internal and not visible from the neighbourhood
- preserves the topography and mature vegetation
- minimal impact

garage is behind front facade at rear - no impact

no overshadowing or overlook, north side of new residence has one opening, existing mature trees shadow adjacent residence - minimal impact

2½ storey house composed of smaller architectural elements - adheres to policy

no accessory structures - no impact

custom-designed house - adheres to policy

townhouse development not addressed in policies

The impact of the proposed development / site alteration adheres to the District Policies Guidelines with the exception of the townhouse development proposal which is not addressed in the Guidelines. The proposed development satisfies the Cultural Landscape Criteria.

**2.6 Mitigating measures**

The mature landscape plantings of the streetscape should be preserved to the greatest extent possible and



new street tree plantings provided to reinforce the character of the streetscape. The new driveway to the rear development should be designed to appear like a driveway to the new residence.

### 3.0 RECOMMENDATION

Section 2 of the *Planning Act* indicates that City of Mississauga Council shall have regard to matters of Provincial interest such as the conservation of features of significant architectural, cultural, historical, archaeological or scientific interest. In addition, Section 3 of the *Planning Act* requires that decisions of Council shall be consistent with the *Provincial Policy Statement* (PPS). Policy 2.6.1 of the PPS requires that significant built heritage resources and significant cultural heritage landscapes shall be conserved.<sup>8</sup>

The PPS defines “built heritage resource” as a building, structure, monument, installation or any manufactured remnant that **contributes to a property’s cultural heritage value or interest as identified by a community**, including an Aboriginal community. Built heritage resources are generally located on property that has been designated under Parts IV or V of the *Ontario Heritage Act*, or included on local, provincial and/or federal registers. The term “significant” means resources **valued for the important contribution they make to our understanding of the history of a place, an event, or a people**. “Conserved” means the **identification, protection, use and/or management of cultural heritage and archaeological resources in such a way that their heritage values, attributes and integrity are retained under the *Ontario Heritage Act***. This may be achieved by the implementation of recommendations set out in a conservation plan, archaeological assessment, and/or heritage impact assessment.

The property does not contain a built heritage resource that has cultural value and interest per the criteria for heritage designation under the *Ontario Regulation 9/06* of the *Ontario Heritage Act*.

The terms of reference require the consultant to provide a recommendation as to whether the subject property is worthy of heritage designation in accordance with the heritage designation criteria per *Regulation 9/06, Ontario Heritage Act*. Should the consultant not support heritage designation then it must be clearly stated as to why the subject property does not meet the criteria as stated in *Regulation 9/06*. The following questions should be answered in the final recommendation of the report:

1. Does the property meet the criteria for heritage designation under the *Ontario Regulation 9/06, Ontario Heritage Act*?

*Ontario Regulation 9/06* states: A property may be designated under section 29 of the Act if it meets one or more of the following criteria for determining whether it is of cultural heritage value or interest:

1. The property has design value or physical value because it,
  - is a rare, unique, representative or early example of a style, type, expression, material or construction method,
  - displays a high degree of craftsmanship or artistic merit, or
  - demonstrates a high degree of technical or scientific achievement.
- The property has historical value or associative value because it,
  - has direct associations with a theme, event, belief, person, activity, organization or institution that

<sup>8</sup> *Provincial Policy Statement (PPS, 2014) Cultural Heritage and Archaeology Policies 2.6, InfoSheet #5, Heritage Impact Assessments and Conservation Plans, Winter 2006*

- is significant to a community,*
  - ☐ *yields, or has the potential to yield, information that contributes to an understanding of a community or culture, or*
  - ☐ *demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.*
- *The property has contextual value because it,*
  - ☐ *is important in defining, maintaining or supporting the character of an area,*
  - ☐ *is physically, functionally, visually or historically linked to its surroundings, or*
  - ☐ *is a landmark.*

The property does not meet the criteria for heritage designation under the Ontario Regulation 9/06, *Ontario Heritage Act*.

2. *If the subject property does not meet the criteria for heritage designation then it must be clearly stated as to why it does not.*

The building is not rare, nor unique, nor a representative or early example of a style, type, expression, material and construction method; it does not display a high degree of craftsmanship; and it does not demonstrate a high degree of technical or scientific achievement.

The building has no direct association with a theme, event, belief, person, activity, organization or institution that is significant to a community. The building does not yield, nor has the potential to yield, information that contributes to an understanding of a community or culture. It does not demonstrate or reflect the work or ideas of an architect, artist, builder, designer or theorist who is significant to the community.

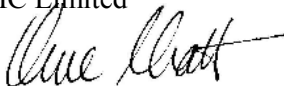
It is of a form, mass and scale of many of the original residences in the Mineola neighbourhood, but is not important in defining, maintaining or supporting the character of the Mineola Neighbourhood Cultural Landscape.

3. *Regardless of the failure to meet criteria for heritage designation, does the property warrant conservation as per the definition in the Provincial Policy Statement. Conserved: means the identification, protection, use and/or management of cultural heritage and archaeological resources in such a way that their heritage values, attributes and integrity are retained. This may be addressed through a conservation plan or heritage impact assessment.*

The building does not warrant conservation; however, the essence of the landscape of the property, which is comprised of both natural regeneration of native trees and landscaping, is worthy of conservation. That is not to say that every tree and shrub should be retained, but the style of the landscape, especially the streetscape, typical of the original subdivision, should be conserved.

This Cultural Landscape Heritage Impact Assessment is respectfully submitted by:

CHC Limited



per: Owen R. Scott, OALA, FCSLA, CAHP

## REFERENCES

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- Alexander Budrevics & Associates Limited, *Landscape Concept Plan*, February 2, 2016
- City of Mississauga property files - <http://www.mississauga.ca/portal/services/property>
- City of Mississauga map files <http://www.mississauga.ca/portal/services/maps>
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- Mineola District Policies of Mississauga Plan* 2010 April  
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- Ontario Ministry of Municipal Affairs and Housing, *Provincial Policy Statement (PPS, 2014)*
- Ontario Ministry of Tourism Culture & Sport, *Cultural Heritage and Archaeology Policies 2.6, InfoSheet #5, Heritage Impact Assessments and Conservation Plans*, Winter 2006
- Regulation 9/06, Ontario Heritage Act R.S.O. 1990*
- Surveyor General's Office, *Part of the Township of Toronto shewing The Mississagua Indian Reserve*, Kingston, 18<sup>th</sup> April 1843



**4.24.2 Development Concept**

The Mineola District is generally a stable, established Residential District which has, in many parts, evolved into a unique area which is characterized by low density housing on large, spacious and often heavily treed lots. The focus of these policies is on preserving the low density, low intensity character of existing neighbourhoods, and identifying areas for appropriate development. Infill development on detached dwelling lots will be required to recognise and enhance the scale and character of existing residential areas by having regard to the natural vegetation, lot frontages and areas, building height, coverage, mass, setbacks, privacy and overview. While these policies designate sites for limited redevelopment and intensification where it is deemed appropriate, new development will be compatible with the existing residential area.

**4.24.3 Urban Design Policies****4.24.3.1 Infill Housing**

For development of all detached dwellings on lands identified in the Site Plan Control By-law, the following will apply:

- a. preserve and enhance the generous front, rear and side yard setbacks;
- b. ensure that existing grades and drainage conditions are preserved;
- c. encourage new housing to fit the scale and character of the surrounding area, and take advantage of the features of a particular site, *i.e.* topography, contours, mature vegetation;
- d. garages should be recessed or located behind the main face of the house. Alternatively, garages should be located in the rear of the property;
- e. ensure that new development has minimal impact on its adjacent neighbours with respect to overshadowing and overlook;
- f. encourage buildings to be one to two (1-2) storeys in height. The design of the building should de-emphasize the height of the house and be designed as a composition of small architectural elements, *i.e.* projecting dormers and bay windows;
- g. reduce the hard surface areas in the front yard;
- h. existing trees, large groupings or areas of vegetation and landscape features such as retaining walls, fences, hedgerows, *etc.* should be preserved and enhanced, along with the maintenance of topographic features and drainage systems;
- i. large accessory structures will be discouraged, and any accessory structures will be located in side and rear yards only;
- j. house designs which fit with the scale and character of the local area, and take advantage of the particular site are encouraged. The use of standard, repeat designs is strongly discouraged;
- k. the building mass, side yards and rear yards should respect and relate to those of adjacent lots.

**4.24.3.2 Streetscape**

- a. On lands adjacent to Hurontario Street, the existing mature vegetation, well landscaped appearance and generous setbacks will be maintained to reflect area character. As Hurontario Street is a gateway to the District, as well as Port Credit, consideration should be given to: additional tree planting, a sodded boulevard, a bicycle route and a right-of-way design that is sympathetic to the character of the area.
- b. On Mineola Road East and West, consideration should be given to additional tree planting.
- c. Open ditch road cross-sections should be maintained, as they contribute to the character of the area.

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<sup>1</sup> *Mineola District Policies of Mississauga Plan 2010 April*

## Appendix 2

**CHAIN of TITLE****PIN 13461-0078 – 1142 MONA ROAD, MISSISSAUGA**

no.	instrument	registration date	lot	plan/acres	from	to	sale price
13861	Patent	11 July 1854	4 & 5	Range 1	The Crown	James S. Cotton	
					James S. Cotton	James William Cotton	
					James William Cotton	Cyril Cotton	
4300	Grant	24 June 1943	2, 3, 4, 5	Plan 323	Cyril Cotton	F. J. Moore Construction Co, Ltd.	\$20,000
74281	Grant	25 May 1953	97, 99 & 100	2.75	F. J. Moore Construction Co, Ltd.	Arthur F. Wagland	\$1,500
77064	Grant	8 October 1953	99 & 100	1.84	Arthur F. Wagland	Alex Mikulich	\$3,500
The house at 1142 was likely built <i>circa</i> 1954 for Alex Mikulich who lived in the house until his death in 1983.							
78563	Grant	21 December 1953	Part Lot 99	0.46	Alex Mikulich	Jack J. & Mary I. Purser	
80983	Grant	14 May 1954	Part Lot 100	0.156	Alex Mikulich	Anselmo Severia	\$13,000
630058	Grant	17 January 1983	Part Lots 99 & 100	1.23	Estate of Alex Mikulich	Leonard J. Mikulich	
RO712879	Transfer	1 May 1985	Part Lots 99 & 100	1.23	Leonard J. Mikulich	Vera Doubkova-Vadura	\$107,000
PR267053	Transfer	26 June 2005	Part Lots 99 & 100	1.23	Vera Doubkova-Vadura	Anna Lechnowsky	\$437,000
PR973959	Transfer	30 Nov 2005	Part Lots 99 & 100	1.23	Anna Lechnowsky	Salvatore & Olga Galati	\$670,000
PR2840146	Transfer	16 December 2015	Part Lots 99 & 100	1.23	Salvatore & Olga Galati	current owner	\$1,000,000

## Appendix 2

## CHAIN of TITLE

PIN 13461-0078 – 1142 MONA ROAD, MISSISSAUGA



Property Index Map - 1142 Mona Road

Service Ontario



## Appendix 3

**Property Heritage Information, 1142 Mona Road, City of Mississauga<sup>1</sup>****Property Information**

All recognized heritage properties are listed on the City's Heritage Register. Some of these properties are designated under the Ontario Heritage Act. For more information visit [Heritage Planning](#).

Property Details	Zoning Information	Building Permits	Development Applications	Committee of Adjustment	<b>Heritage</b>	Map It
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**PROPERTY HERITAGE DETAIL****Property Heritage Detail**

Address: 1142 MONA RD

Type:

Style:

Area:

Reason: CULTURAL LANDSCAPE

**Images****History**

The Mineola Neighbourhood has been identified as a significant cultural landscape due to the development of this area in a time when natural elements respected the lot pattern and road system. These elements include rolling topography, natural drainage and mature trees. The roads wind, rise and fall with the natural topography. There are no curbs. This softens the transition from landscaped yards to the street edge. What has evolved is a neighbourhood with a variety of quality housing stock and a rich stimulating landscape that blends houses with their natural and manicured surroundings. The balance of built form and natural surroundings on generally larger lots has given this neighbourhood a distinct character within Mississauga.

<sup>1</sup> City of Mississauga Property Information, City web site, accessed January 22, 2016



## Cultural Landscape Inventory

### Mineola Neighbourhood

**L-RES-6**

**Heritage or Other Designation** None

**Location** Located north of Lakeshore Road bounded by the Credit River on the west and Hurontario on the east

**Landscape Type** Residential (Neighbourhood)

#### LANDSCAPE ENVIRONMENT

- ☒ Scenic and Visual Quality
- ☒ Natural Environment
- ☐ Horticultural Interest
- ☒ Landscape Design, Type and Technological Interest

#### HISTORICAL ASSOCIATION

- ☒ Illustrates Style, Trend or Pattern
- ☐ Direct Association with Important Person or Event
- ☒ Illustrates Important Phase in Mississauga's Social or Physical Development
- ☐ Illustrates Work of Important Designer

#### BUILT ENVIRONMENT

- ☒ Aesthetic/Visual Quality
- ☐ Consistent Early Environs (pre-World War II)
- ☒ Consistent Scale of Built Features
- ☐ Unique Architectural Features/Buildings
- ☐ Designated Structures

#### OTHER

- ☐ Historical or Archaeological Interest
- ☐ Outstanding Features/Interest
- ☒ Significant Ecological Interest
- ☐ Landmark Value

<sup>1</sup> *Cultural Landscape Inventory, City of Mississauga, The Landplan Collaborative Ltd., January 2005*



## Cultural Landscape Inventory



### Mineola Neighbourhood

**L-RES-6**

#### SITE DESCRIPTION

Mineola was developed before it became standard practice to regrade top soil into large piles in the early twentieth century, level every nuance of natural topography and engineer the complete stormwater drainage system artificially. In Mineola a road system was gently imposed on the natural rolling topography of the Iroquois Plain; homes were nestled into slightly larger lots and natural drainage areas were retained. This provided greater opportunity to save existing trees and because the soils and drainage system were minimally impacted, provided fertile ground for the planting of new vegetation, the natural regeneration of native trees and landscaping of the residential landscapes. What has evolved today is a wonderful neighbourhood with a variety of quality housing stock and a rich stimulating landscape that blends the houses with their natural and manicured surroundings. There are no curbs on the roads which softens the transition between street and front yards. The roads wind, rise and fall with the natural topography and houses sit often at odd angles to take advantage of slopes and the location of large trees. A gradual infilling has increased the density over the years and care must be taken to ensure that this does not, in the end, ruin the very quality and character that makes this neighbourhood so appealing and attractive. Of the many neighbourhoods in Mississauga, the Mineola neighbourhood stands out as one of the most visually interesting and memorable. As is often the case, when new development is balanced with the protection of the natural environment, a truly livable and sustainable community evolves. Mineola is an excellent example of this type of community.

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<sup>2</sup> *Ibid*



Appendix 4  
Cultural Landscape Inventory, Mineola Neighbourhood <sup>3</sup>



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<sup>3</sup> *Ibid*

The “building and other restrictions” outlined in this indenture are unusual for the time. They are conditions imposed by the seller to limit the size, materials, uses, *etc.* that are permitted.

These conditions went beyond municipal zoning by-laws and unknowingly anticipated the policies that now protect the Mineola Neighbourhood Cultural Landscape.

THIS INDENTURE made in duplicate this Twenty-fourth day of April, One thousand nine hundred and fifty-three.  
IN PURSUANCE OF THE SHORT FORMS OF CONVEYANCES ACT.

B E T W E E N:

F. J. MOORE CONSTRUCTION COMPANY LIMITED  
hereinafter called the "Grantor"

OF THE FIRST PART

-and-

ARTHUR F. WAGLAND, of the Village of Port Credit in the County of Peel, Accountant, hereinafter called the "Grantee"

OF THE SECOND PART

WITNESSETH that in consideration of One thousand five hundred (\$1,500.00) dollars of lawful money of Canada now paid by the said Grantee to the said Grantor, the receipt whereof is hereby by it acknowledged, it, the said Grantor DOTH GRANT unto the said Grantee in fee simple:

ALL AND SINGULAR that certain parcel or tract of land and premises, situate, lying and being in the Township of Toronto, in the County of Peel and being composed of Lots Numbers 97.99 and 100, according to registered Plan Number 323 for the said Township.

TO HAVE AND TO HOLD unto the said Grantee, his heirs and assigns to and for his and their sole and only use forever SUBJECT NEVERTHELESS to the reservations, limitations, provisos and conditions expressed in the original grant thereof from the Crown.

AND SUBJECT to the building and other restrictions and conditions following and it is hereby declared and agreed that the said restrictions and conditions shall continue in force for a period of thirty years from the first day of May, A.D. 1943.

1. The external walls of each of all buildings to be erected on the within described land shall be constructed of stone, brick or cement, and must contain a minimum of 16,000 cubic feet exclusive of garage.
2. The said lands or any building erected thereon shall not at any time be used for the purpose of any manufacture or as a place of public resort, dance hall, hotel, or as a school, hospital or other charitable institution, nor shall anything be done on the said lands which may be or become an annoyance or nuisance to the neighbourhood.



3. No excavations shall be made on any of the said lot except for the purpose of building on said lot, and at the time when the person holding said lot is commencing such building operations, and no sand or earth shall be removed from any of the said lots except as part of such excavations.
4. No signs, bill boards or advertising matter of any kind shall be placed upon said property without the consent of the Vendor in writing.
5. That for and during the period of ten years ending on the thirty-first day of December, 1953, the lands herein described shall not be used as a service station for gasoline, oils or other petroleum products, or automobile tires or batteries, nor shall any gasoline, oils or other petroleum products or automobile tires or batteries be sold thereon without the consent in writing of the Vendor.
6. The covenants in respect to the above restrictions shall extend and bind and may be taken by the respective heirs, executors, administrators, successors and assigns of the parties hereto.
7. One house to every ~~one hundred~~ foot lot.
8. The only out-buildings to be allowed on each lot is garage accommodation. Must be built of material to be approved by the Vendors.
9. No part of any such building or any verandah, porch, steps garage or any other properties thereof or therefrom shall be nearer than twenty feet from the street line.
10. No fence or other obstruction shall be erected on any of the said lots other than a fence, the height of which shall not exceed three feet.
11. No building waste or other material of any kind shall be dumped or stored on the said lands except clean earth for the purpose of levelling in connection with the erection of the buildings thereon.
12. The vendor may agree to any amendment of these restrictions and without limiting the generality of the foregoing, may consent to the use of a material other than stone, brick or stucco over masonry blocks for external walls.
13. The Grantee covenants and agrees to consent to the construction of sewers, watermains and the placing of electric and telephone poles on the said lands.
14. The only property or lots on this subdivision known as Peel Gardens that may be used for businesses will be on the Centre Road known as lots 45, 49, 50 and 51 on this Plan.
15. No trees or shrubs shall be cut down or taken down by the purchaser until the lot is fully paid for.
16. The Grantee covenants and agrees to complete to the finished roof any house on said property within one year from date of starting construction.
17. The Grantee covenants and agrees not to occupy any portion of house or garage under construction on said property as living quarters until it has been completed.
18. The Grantee hereby covenants and agrees to submit to the Grantor for its approval plans showing the floor space and elevations for the dwelling and garage to be erected, drawn to scale.

THE said Grantor COVENANTS with the said Grantee that it has the right to convey the said lands to the said Grantee notwithstanding any act of the said Grantor.

- 3 -

AND that the said Grantee shall have quiet possession of the said lands free from all encumbrances.

AND the said Grantor COVENANTS with the said Grantee that it will execute such further assurances of the said lands as may be requisite.

AND the said Grantor COVENANTS with the said Grantee that it has done no act to encumber the said lands.

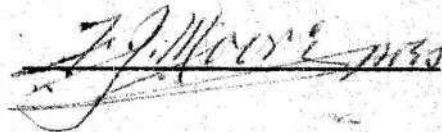
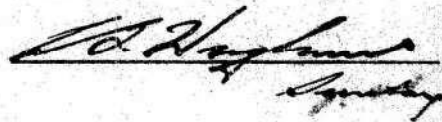
AND the said Grantor RELEASES to the said Grantee ALL its CLAIMS upon the said lands.

IN WITNESS WHEREOF the said Grantor hereto has hereunto affixed its Corporate Seal by the hands of the proper officers in that behalf duly authorized.

SIGNED, SEALED and DELIVERED )

In the presence of :



**Qualifications of the Author****R E S U M E****OWEN R. SCOTT, OALA, FCSLA, CAHP****Education:**

Master of Landscape Architecture (MLA) University of Michigan, 1967

Bachelor of Science in Agriculture (Landscape Horticulture), (BSA) University of Guelph, 1965

**Professional Experience:**

1965 - present President, CHC Limited, Guelph, ON  
 1977 - present President, The Landplan Collaborative Ltd., Guelph, ON  
 1977 - 1985 Director, The Pacific Landplan Collaborative Ltd., Vancouver and Nanaimo, BC  
 1975 - 1981 Editor and Publisher, *Landscape Architecture Canada*, Ariss, ON  
 1969 - 1981 Associate Professor, School of Landscape Architecture, University of Guelph  
 1975 - 1979 Director and Founding Principal, Ecological Services for Planning Limited, Guelph, ON  
 1964 - 1969 Landscape Architect, Project Planning Associates Limited, Toronto, ON

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**Historical Research, Heritage Landscape Planning and Restoration Experience and Expertise****Current Professional and Professional Heritage Associations Affiliations:**

Member: Alliance for Historic Landscape Preservation (AHLP) - 1978 -  
 Member: Canadian Association of Heritage Professionals (CAHP) - 1987 -  
 Member: Ontario Association of Landscape Architects (OALA) - 1968 - (Emeritus 2016)  
 Member: Canadian Society of Landscape Architects (FCSLA) - 1969 - (Fellow 1977)

**Community and Professional Society Service (Heritage):**

Director: Canadian Association of Heritage Professionals (CAHP), 2002 - 2003  
 Member: Advisory Board, Architectural Conservancy of Ontario, 1980 - 2002  
 Member: City of Guelph Local Architectural Conservation Advisory Committee (LACAC), 1987 - 2000 (Chair 1988 - 1990)  
 Member: Advisory Council, Centre for Canadian Historical Horticultural Studies, 1985 - 1988

**Personal and Professional Honours and Awards (Heritage):**

National Award	2016	Canadian Society of Landscape Architects (CSLA), City of Kitchener Cultural Heritage Landscapes
Mike Wagner Award	2013	Heritage Award - Breithaupt Block, Kitchener, ON
People's Choice Award	2012	Brampton Urban Design Awards, Peel Art Gallery, Museum and Archives, Brampton, ON
Award of Excellence	2012	Brampton Urban Design Awards, Peel Art Gallery, Museum and Archives, Brampton, ON
National Award	2009	Heritage Canada Foundation National Achievement, Alton Mill, Alton, ON
Award of Merit	2009	Canadian Association of Heritage Professionals Awards, Alton Mill, Alton, ON
Award	2007	Excellence in Urban Design Awards, Heritage, Old Quebec Street, City of Guelph, ON
Award	2001	Ontario Heritage Foundation Certificate of Achievement
Award	1998	Province of Ontario, Volunteer Award (10 year award)
Award	1994	Province of Ontario, Volunteer Award (5 year award)
Regional Merit	1990	CSLA Awards, Britannia School Farm Master Plan
National Honour	1990	CSLA Awards, Confederation Boulevard, Ottawa
Citation	1989	City of Mississauga Urban Design Awards, Britannia School Farm Master Plan
Honour Award	1987	<i>Canadian Architect</i> , Langdon Hall Landscape Restoration, Cambridge, ON
Citation	1986	<i>Progressive Architecture</i> , The Ceremonial Routes (Confederation Boulevard), Ottawa,
National Citation	1985	CSLA Awards, Tipperary Creek Heritage Conservation Area Master Plan, Saskatoon, SK
National Merit	1984	CSLA Awards, St. James Park Victorian Garden, Toronto, ON
Award	1982	Ontario Ministry of Municipal Affairs Ontario Renews Awards, Millside, Guelph, ON



## Appendix 6

**Qualifications of the Author****Selected Heritage Publications:**

- Scott, Owen R., The Southern Ontario "Grid", *ACORN* Vol XXVI-3, Summer 2001. *The Journal of the Architectural Conservancy of Ontario*.
- Scott, Owen R. *19th Century Gardens for the 20<sup>th</sup> and 21<sup>st</sup> Centuries*. Proceedings of "Conserving Ontario's Landscapes" conference of the ACO, (April 1997). Architectural Conservancy of Ontario Inc., Toronto, 1998.
- Scott, Owen R. *Landscapes of Memories, A Guide for Conserving Historic Cemeteries*. (19 of 30 chapters) compiled and edited by Tamara Anson-Cartright, Ontario Ministry of Citizenship, Culture and Recreation, 1997.
- Scott, Owen R. Cemeteries: A Historical Perspective, *Newsletter, The Memorial Society of Guelph*, September 1993.
- Scott, Owen R. The Sound of the Double-bladed Axe, *Guelph and its Spring Festival*. edited by Gloria Dent and Leonard Conolly, The Edward Johnson Music Foundation, Guelph, 1992. 2 pp.
- Scott, Owen R. Woolwich Street Corridor, Guelph, *ACORN* Vol XVI-2, Fall 1991. Newsletter of the Architectural Conservancy of Ontario Inc. (ACO)
- Scott, Owen R. guest editor, *ACORN*, Vol. XIV-2, Summer 1989. Cultural Landscape Issue, Newsletter of the ACO.
- Scott, Owen R. Heritage Conservation Education, Heritage Landscape Conservation, *Momentum 1989*, Icomos Canada, Ottawa, p.31.
- Scott, Owen R. Cultivars, pavers and the historic landscape, *Historic Sites Supplies Handbook*. Ontario Museum Association, Toronto, 1989. 9 pp.
- Scott, Owen R. Landscape preservation - What is it? *Newsletter, American Society of Landscape Architects - Ontario Chapter*, vol. 4 no.3, 1987.
- Scott, Owen R. Tipperary Creek Conservation Area, Wanuskewin Heritage Park. *Landscape Architectural Review*, May 1986. pp. 5-9.
- Scott, Owen R. Victorian Landscape Gardening. Ontario Bicentennial History Conference, McMaster University, 1984.
- Scott, Owen R. Canada West Landscapes. *Fifth Annual Proceedings Niagara Peninsula History Conference (1983)*. 1983. 22 pp.
- Scott, Owen R. Utilizing History to Establish Cultural and Physical Identity in the Rural Landscape. *Landscape Planning*, Elsevier Scientific Press, Amsterdam, 1979. Vol. 6, No. 2, pp. 179-203.
- Scott, Owen R. Changing Rural Landscape in Southern Ontario. *Third Annual Proceedings Agricultural History of Ontario Seminar (1978)*. June 1979. 20 pp.
- Scott, Owen R., P. Grimwood, M. Watson. George Laing - Landscape Gardener, Hamilton, Canada West 1808-1871. *Bulletin, The Association for Preservation Technology*, Vol. IX, No. 3, 1977, 13 pp. (also published in *Landscape Architecture Canada*, Vol. 4, No. 1, 1978).
- Scott, Owen R. The Evaluation of the Upper Canadian Landscape. Department of Landscape Architecture, University of Manitoba. 1978. (Colour videotape).

Following is a **representative listing of some of the many heritage consultations undertaken by Owen R. Scott** in his capacity as a landscape architect with Project Planning Associates Ltd., as principal of Owen R. Scott & Associates Limited, as principal of The Landplan Collaborative Ltd., and principal of CHC Limited.

**Heritage Master Plans and Landscape Plans**

- Alton Mill Landscape, Caledon, ON
- Black Creek Pioneer Village Master Plan, Toronto, ON
- Britannia School Farm Master Plan, Peel Board of Education/Mississauga, ON
- Confederation Boulevard (Sussex Drive) Urban Design, Site Plans, NCC/Ottawa, ON
- Doon Heritage Crossroads Master Plan and Site Plans, Region of Waterloo/Kitchener, ON
- Downtown Guelph Private Realm Improvements Manual, City of Guelph, ON
- Downtown Guelph Public Realm Plan, City of Guelph, ON
- Dundurn Castle Landscape Restoration Feasibility Study, City of Hamilton, ON
- Elam Martin Heritage Farmstead Master Plan, City of Waterloo, ON
- Exhibition Park Master Plan, City of Guelph, ON
- George Brown House Landscape Restoration, Toronto, ON
- *Grand River Corridor Conservation Plan*, GRCA/Regional Municipality of Waterloo, ON
- Greenwood Cemetery Master Plan, Owen Sound, ON
- Hamilton Unified Family Courthouse Landscape Restoration Plan, Hamilton, ON
- John Galt Park, City of Guelph, ON
- Judy LaMarsh Memorial Park Master Plan, NCC/Ottawa, ON

## Appendix 6

**Qualifications of the Author**

- Langdon Hall Gardens Restoration and Site Plans, Cambridge, ON
- London Psychiatric Hospital Cultural Heritage Stewardship Plan, London, ON
- McKay / Varley House Landscape Restoration Plan, Markham (Unionville), ON
- Museum of Natural Science/Magnet School 59/ Landscape Restoration and Site Plans, City of Buffalo, NY
- Muskoka Pioneer Village Master Plan, MNR/Huntsville, ON
- Peel Heritage Centre Adaptive Re-use, Landscape Design, Brampton, ON
- Phyllis Rawlinson Park Master Plan (winning design competition), Town of Richmond Hill, ON
- Prime Ministerial Precinct and Rideau Hall Master Plan, NCC/Ottawa, ON
- Queen/Picton Streets Streetscape Plans, Town of Niagara-on-the-Lake, ON
- Regional Heritage Centre Feasibility Study and Site Selection, Region of Waterloo, ON
- Rockway Gardens Master Plan, Kitchener Horticultural Society/City of Kitchener, ON
- St. George's Square, City of Guelph, ON
- St. James Cemetery Master Plan, Toronto, ON
- St. James Park Victorian Garden, City of Toronto, ON
- Tipperary Creek (Wanuskewin) Heritage Conservation Area Master Plan, Meewasin Valley Authority, Saskatoon, SK
- Whitehern Landscape Restoration Plan, Hamilton, ON
- Woodside National Historic Park Landscape Restoration, Parks Canada, Kitchener, ON

Cultural Heritage Evaluation Reports (CHER), Cultural Heritage Inventories and Cultural Heritage Landscape Evaluations

- Adams Bridge (Structure S20) Cultural Heritage Evaluation Report
- Belfountain Area Heritage Inventory for Environmental Assessment, Peel Region, ON
- Bridge #20 Cultural Heritage Evaluation Report, Blandford-Blenheim Township, ON
- Bridge #25 Cultural Heritage Evaluation Report, Blandford-Blenheim Township, ON
- Chappell Estate / Riverside / Mississauga Public Garden Heritage Inventory, Mississauga, ON
- Cruickston Park Farm & Cruickston Hall - Cultural Heritage Resources Study, Cambridge, ON
- Doon Valley Golf Course - Cultural Heritage and Archaeological Resources Inventory, Kitchener/Cambridge, ON
- Government of Ontario Light Rail Transit (GO-ALRT) Route Selection, Cultural and Natural Resources Inventory for Environmental Assessment, Hamilton/Burlington, ON
- Hancock Woodlands Cultural Heritage Assessment, City of Mississauga, ON
- Hespeler West Secondary Plan - Heritage Resources Assessment, City of Cambridge, ON
- Highway 400 to 404 Link Cultural Heritage Inventory for Environmental Assessment, Bradford, ON
- Highway 401 to 407 Links Cultural Heritage Inventory for Environmental Assessment, Pickering/Ajax/Whitby/Bowmanville, ON
- Homer Watson House Cultural Heritage Evaluation Report, Kitchener, ON
- Irvine Street (Watt) Bridge Cultural Heritage Evaluation Report, Township of Centre Wellington, ON
- Lakewood Golf Course Cultural Landscape Assessment, Tecumseh, ON
- Landfill Site Selection, Cultural Heritage Inventory for Environmental Assessment, Region of Halton, ON
- Niska Road Cultural Heritage Landscape Addendum, City of Guelph, ON
- 154 Ontario Street, Historical - Associative Evaluation, Guelph, ON
- 35 Sheldon Avenue North, Cultural Heritage Evaluation Report, Kitchener, ON
- Silvercreek (LaFarge Lands) Cultural Landscape Assessment, Guelph, ON
- South Kitchener Transportation Study, Heritage Resources Assessment, Region of Waterloo, ON
- 53 Surrey Street East and 41, 43, 45 Wyndham Street South Cultural Heritage Evaluation Guelph, ON
- Swift Current CPR Station Gardens condition report and feasibility study for rehabilitation/reuse, Swift Current, SK
- University of Guelph, McNaughton Farm House, Cultural Heritage Resource Assessment, Puslinch Township, ON
- University of Guelph, Trent Institute Cultural Heritage Resource Assessment, Guelph, ON
- University of Guelph, 1 and 10 Trent Lane Cultural Heritage Resource Assessments, Guelph, ON
- Uno Park Road Bridge, Cultural Heritage Evaluation Report, Harley Township, ON
- 2007 Victoria Road South Heritage Evaluation, Guelph, ON
- Waterloo Valleylands Study, Heritage and Recreational Resources mapping and policies, Region of Waterloo

Heritage Impact Assessments (HIA), Heritage Impact Statements (HIS), Cultural Heritage Resource Impact Assessments (CHRIA) and Cultural Landscape Heritage Impact Statements

- Adams Bridge (Structure S20) Heritage Impact Assessment, Southgate Township, ON
- 33 Arkell Road Heritage Impact Assessment, Guelph, ON

## Appendix 6

**Qualifications of the Author**

- 86 Arthur Street, Heritage Impact Assessment, Guelph, ON
- Barra Castle Heritage Impact Assessment, Kitchener, ON
- Biltmore Hat Factory Heritage Impact Assessment, Guelph, ON
- 140 Blue Heron Ridge Heritage Impact Assessment, Cambridge, ON
- 25 Breithaupt Street Heritage Impact Assessment, Kitchener, ON
- 51 Breithaupt Street Heritage Impact Assessment, Kitchener, ON
- Bridge #20 Heritage Impact Assessment, Blandford-Blenheim Township, ON
- Bridge #25 Heritage Impact Assessment, Blandford-Blenheim Township, ON
- 215 Broadway Street Heritage Impact Statement, Mississauga, ON
- Cambridge Retirement Complex on the former Tiger Brand Lands, Heritage Impact Assessment, Cambridge, ON
- 27-31 Cambridge Street, Heritage Impact Assessment, Cambridge, ON
- 3075 Cawthra Road Heritage Impact Statement, Mississauga, ON
- 58 Church Street Heritage Impact Assessment, Churchville Heritage Conservation District, Brampton, ON
- City Centre Heritage Impact Assessment, Kitchener, ON
- 175 Cityview Drive Heritage Impact Assessment, Guelph, ON
- 12724 Coleraine Drive Cultural Heritage Impact Statement, Caledon (Bolton), ON
- 12880 Coleraine Drive Cultural Heritage Impact Statement, Caledon (Bolton), ON
- Cordingly House Heritage Impact Statement, Mississauga, ON
- 264 Crawley Road Heritage Impact Assessment (farmstead, house & barn), Guelph, ON
- 31-43 David Street (25 Joseph Street) Heritage Impact Assessment, Kitchener, ON
- 35 David Street (Phase II) Heritage Impact Assessment, Kitchener, ON
- 24, 26, 28 and 32 Dundas Street East Heritage Impact Statement, Mississauga, (Cooksville), ON
- 1261 Dundas Street South Heritage Impact Assessment, Cambridge, ON
- 172 - 178 Elizabeth Street Heritage Impact Assessment, Guelph, ON
- 19 Esandar Drive, Heritage Impact Assessment, Toronto, ON
- 14 Forbes Avenue Heritage Impact Assessment, Guelph, ON
- 42 Front Street South Heritage Impact Assessment, Mississauga, ON
- Grey Silo Golf Course/Elam Martin Farmstead Heritage Impact Assessment, City of Waterloo, ON
- GRCA Lands, 748 Zeller Drive Heritage Impact Assessment Addendum, Kitchener, ON
- Hancock Woodlands Heritage Impact Statement, City of Mississauga, ON
- 132 Hart's Lane, Hart Farm Heritage Impact Assessment, Guelph, ON
- 9675, 9687, 9697 Keele Street Heritage Impact Assessment, City of Vaughan (Maple) ON
- 13165 Keele Street Cultural Heritage Resource Impact Assessment, King Township (King City), ON
- 151 King Street North Heritage Impact Assessment, Waterloo, ON
- Kip Co. Lands Developments Ltd. Cultural Heritage Resource Impact Assessment - Woodbridge Heritage Conservation District, City of Vaughan (Woodbridge) ON
- 117 Liverpool Street Heritage Impact Assessment, Guelph, ON
- 30 - 40 Margaret Avenue Heritage Impact Assessment, Kitchener, ON
- 19 - 37 Mill Street Scoped Heritage Impact Assessment, Kitchener, ON
- 2610, 2620 and 2630 Mississauga Road, Cultural Landscape Heritage Impact Statement, Mississauga, ON
- 4067 Mississauga Road, Cultural Landscape Heritage Impact Statement, Mississauga, ON
- 1142 Mona Road, Heritage Impact Assessment, Mississauga, ON
- 1245 Mona Road, Heritage Impact Statement, Mississauga, ON
- 15 Mont Street, Heritage Impact Assessment, Guelph, ON
- Proposed Region of Waterloo Multimodal Hub at 16 Victoria Street North, 50 & 60 Victoria Street North, and 520 & 510 King Street West, Heritage Study and Heritage Impact Assessment, Kitchener, ON
- 6671 Ninth Line Heritage Impact Statement, Cordingley House Restoration & Renovation, Mississauga, ON
- 324 Old Huron Road Heritage Impact Assessment, Kitchener, ON
- 40 Queen Street South Heritage Impact Statement, Mississauga, (Streetsville), ON
- Rockway Holdings Limited Lands north of Fairway Road Extension Heritage Impact Assessment, Kitchener, ON
- 259 St. Andrew Street East Cultural Heritage Assessment, Fergus, ON
- 10431 The Gore Road Heritage Impact Assessment, Brampton, ON
- Thorny-Brae Heritage Impact Statement, Mississauga, ON
- 7 Town Crier Lane, Heritage Impact Assessment, Markham, ON
- University of Guelph, 3 - 7 Gordon Street Houses, Heritage Impact Assessment, Guelph, ON



## Appendix 6

**Qualifications of the Author**

- University of Guelph, Harrison House, Heritage Impact Assessment, Guelph, ON
- Uno Park Road Bridge, Heritage Impact Assessment, Harley Township, ON
- Victoria Park Proposed Washroom Cultural Heritage Impact Assessment, Kitchener, ON
- 927 Victoria Road South (barn) Heritage Impact Assessment, Guelph, ON
- 26 - 32 Water Street North Heritage Impact Assessment, Cambridge (Galt), ON
- Winzen Developments Heritage Impact Assessment, Cambridge, ON
- 35 Wright Street Cultural Heritage Resource Impact Assessment, Richmond Hill, ON
- 1123 York Road Heritage Impact Assessment, Guelph, ON

Heritage Conservation Plans

- 51 Breithaupt Street Heritage Conservation Plan, Kitchener, ON
- Hamilton Psychiatric Hospital Conservation Plan, for Infrastructure Ontario, Hamilton, ON
- Harrop Barn Heritage Conservation Plan, Milton, ON
- 324 Old Huron Road Conservation Plan, Kitchener, ON
- 264 Woolwich Street Heritage Conservation Plan, Guelph, ON

Heritage Conservation District Studies and Plans

- Downtown Whitby Heritage Conservation District Study and Plan, Town of Whitby, ON
- MacGregor/Albert Heritage Conservation District Study and Plan, City of Waterloo, ON
- Queen Street East Heritage Conservation District Study, Toronto, ON
- University of Toronto & Queen's Park Heritage Conservation District Study, City of Toronto, ON

Cultural Heritage Landscape Inventories/Studies

- Cultural Heritage Landscape Study, City of Kitchener, ON
- Cultural Heritage Landscape Inventory, City of Mississauga, ON

Peer Reviews

- Acton Quarry Cultural Heritage Landscape & Built Heritage Study & Assessment Peer Review, Acton, ON
- Belvedere Terrace - Peer Review, Assessment of Proposals for Heritage Property, Parry Sound, ON
- Heritage Square Heritage Impact Assessment Peer Review for Township of Centre Wellington (Fergus), ON
- Little Folks Heritage Impact Assessment Peer Review for Township of Centre Wellington (Elora), ON

Expert Witness Experience

- 255 Geddes Street, Elora, ON, heritage opinion evidence - Ontario Superior Court of Justice, 2010
- Roselawn Centre Conservation Review Board Hearing, Port Colborne, ON, 1993
- Wilson Farmhouse Conservation Review Board Hearing, Guelph, ON, 2014
- Aurora South Landowners Ontario Municipal Board Hearing, Aurora, ON, 2000
- Ballycroy Golf Course Ontario Municipal Board Hearing, Palgrave, ON, 2002
- Diamond Property Ontario Municipal Board Hearing, Aurora, ON, 1998
- Doon Valley Golf Course Ontario Municipal Board Hearing, Cambridge, ON, 2002
- Downey Trail Ontario Municipal Board Hearing, Guelph, ON, 2010
- Harbour View Investments Ontario Municipal Board Hearing, Town of Caledon, ON, 1998
- Maple Grove Community Ontario Municipal Board Hearing, North York, ON, 2002
- Maryvale Crescent Ontario Municipal Board Hearing, Richmond Hill, ON, 2003
- Oelbaum Ontario Municipal Board Hearing, Eramosa Township, ON, 1988
- OPA 129 Ontario Municipal Board Hearing, Richmond Hill, ON, 1996
- LaFarge Lands Ontario Municipal Board Mediation, Guelph, ON, 2007
- Halton Landfill, Joint Environmental Assessment Act and Environmental Protection Act Board Hearing, 1994





July 6, 2016

BEL 215452

Mr. Ed Warankie  
 Vice President of Land Development  
 Queenscorp Group  
 2 Queen Elizabeth Blvd.  
 Toronto, ON M8Z 1L8

**Re: Arborist Report for 1142 Mona Road, Mississauga**

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Dear Mr. Warankie:

Beacon Environmental Limited (Beacon) was retained to complete a Tree Inventory and Preservation Plan (TIPP) for the property located at 1142 Mona Road in the City of Mississauga. The subject property is proposed for re-development and the TIPP is required for the development application.

This purpose of this report is to:

- a) Identify trees on and immediately adjacent to the subject property;
- b) Assess the health and condition of the trees;
- c) Rate the preservation potential of trees; and
- d) Assess impacts to trees based on the proposed development plan and make recommendation for tree protection or removal

## Methods

An inventory and assessment of all trees on the subject property, as well as trees on adjoining properties (where accessible) within 6.0 m of the property line, was completed by an ISA Certified Arborist on November 4, 2015 and May 10, 2016. The dripline of trees bordering the Kenollie Creek valleylands and Mary Fix Creek corridor adjacent to the property were previously staked by Credit Valley Conservation (CVC) staff on October 15, 2015. It should be noted that the staked and surveyed dripline in the vicinity of the existing residence no longer reflects the current dripline as a Norway Maple tree was removed from this area in accordance with the City of Mississauga private tree by-law. As a consequence, Beacon has illustrated a revised dripline in this location as is shown in **Figure 1**.

All trees measuring  $\geq 10$  cm in diameter at breast height (DBH, measured 1.4 m above grade) were identified and assessed. For each tree, information was recorded on species, trunk diameter (DBH), crown reserve (m), health and condition as described below. Individual trees were marked with numbered aluminum forestry tags. Trees occurring on adjoining private properties were not tagged, but were assessed by making observations from the subject property. Trees were subsequently surveyed by a registered OLS and illustrated on a topographic survey.

The condition of each tree was assessed in terms of overall health and structural integrity based on indicators such as live buds, dead wood, decay, structural defects, and presence of disease. Each tree was assigned a condition rating of good, fair, poor, or dead, based on the following criteria:

- **Poor** – Severe dieback, significant lean, missing leader, major defects, significant decay and/or disease presence
- **Fair** – Moderate dieback and/or lean, limb defects, multiple stems, moderate foliage damage from stress
- **Good** – Healthy vigorous growth, minor visible defects or damage
- **Dead** – No live growth

Individual trees located on or immediately adjacent to the subject property were assigned a preservation potential rating of high, medium, or low was based on their potential for integration into an urbanized environment. In assigning a preservation potential ratings to trees, the following attributes were considered:

- Tree size/age
- Tree condition – health and structural integrity
- Species tolerance to development/disturbance
- Indigenous species vs. non-Indigenous species with invasive tendencies
- Species growth rates
- Species susceptibility to known pests

## Findings

### Tree Inventory

A total of 137 trees were inventoried on or adjacent to the subject property (**Figure 1**). A copy of the complete inventory and assessment is included in **Appendix A**.

Dominant species identified include Norway Maple, Green Ash, Siberian Elm, Black Walnut, Poplar, Manitoba Maple, Tree-of-Heaven, White Pine, Austrian Pine, and Sassafras. Tree diameters ranged from 10 cm to 109 cm DBH, with a median DBH of 22 cm. Of the 137 trees that were inventoried, 19 were determined to be in poor or fair-poor condition, 100 were assessed as fair or good, and 18 are dead.

A single Butternut (*Juglans cinerea*) was identified on the subject property; however, based on its central location in the yard, it was most likely planted. In Ontario, Butternut is considered an endangered species and is protected under the Endangered Species Act (2007); however, planted specimens and hybrids are exempt for the habitat protection provisions under the Act.

### Preservation Potential Rating

Trees were assigned a preservation potential rating of high, medium, low as illustrated in **Figure 2**.

The preservation potential ratings included in this report are intended to identify potential tree preservation opportunities that can be considered during the design process for the proposed future re-development. The ratings are provided for information purposes only and should not be interpreted as a preservation requirement or recommendation.

### **Description of Proposed Development**

The proposed development consists of 17 traditional row townhouse units with a single level of underground parking, as well as a detached dwelling that fronts onto Mona Road. Access to the property for all of the dwellings will be in the form of a common element condominium road.

Water supply to the proposed development will be achieved by connecting to an existing 150 mm watermain along Mona Road.

A sanitary sewer connection for the townhouse development is proposed through a property line manhole at the south-west corner of the site, which will tie into an existing sanitary manhole located in the Kenollie Creek valley just southwest of the property. A 200 mm diameter sanitary sewer will connect from the existing manhole to the proposed property line manhole, through a proposed sanitary easement. A service connection for the proposed detached house is proposed through a 125 mm diameter sewer to the existing municipal sanitary sewer on Mona Road.

### **Impact Assessment**

#### Tree Removals

Twenty-four trees are proposed for removal from the subject property to accommodate the proposed development and grading, of which only seven are considered to be large canopy trees (DBH  $\geq 30$  cm and crown diameter  $\geq 6$  m). The majority of trees to be removed are younger, early successional trees such as poplar and mulberry.

Four trees are proposed for removal from the Mona Road right-of-way to accommodate the proposed development, two of which are mature canopy trees (DBH  $\geq 30$  cm and crown diameter  $\geq 6$  m). Eight additional trees are recommended for removal from the right-of-way due to poor condition.

Nineteen trees are proposed for removal from the top of the embankment adjacent Mary Fix Creek to accommodate the grading for the proposed access road. All of the trees are invasive, non-native trees (18 Tree-of-Heaven and one Norway Maple). Four dead Ash trees are also recommended for removal from the slope. In addition, two Manitoba Maples (invasive, non-native) are proposed for removal along the slope adjacent to Kenollie Creek. Both trees are rooted along the valley slope but have fallen over onto the tableland. The trees are in poor condition and require removal to accommodate the proposed development and servicing.



Tree removals should be conducted outside the breeding season for birds. The federal *Migratory Birds Convention Act* protects the nests, eggs, and young of most bird species from harassment, harm, or destruction. The breeding bird season in southern Ontario is generally from mid-April to late-July; hence the clearing of vegetation should take place outside of these dates (i.e. between August and March). For any proposed clearing of vegetation within the breeding bird season an ecologist should undertake detailed nest searches immediately prior (within two days) to site alteration to ensure that no active nests are present.

No trees are to be harmed or removed on adjacent properties (public or private) without the consent of the owner(s). Neighbouring landowners should be consulted prior to removing any tree located on or in close proximity to the property line. Removal of public trees located within the Mona Road right-of-way and along the Mary Fix and Kenollie Creek valleys will require approval from the City of Mississauga.

### Tree Protection

There are a number of trees located within or immediately adjacent to the subject property that will be preserved and integrated into the future re-development.

Tree health and structural integrity can be compromised by grade changes, soil compaction, root cutting, and mechanical damage to trunks and branches resulting from the operation of construction equipment.

Trees to be retained shall be protected through the establishment of a tree protection zone (TPZ). Standard TPZ is generally established at the dripline of the tree crown. In situations where it is may not be feasible to implement a standard TPZ, it is possible that a lesser TPZ could be established that could also provide sufficient protection, but allow for tighter integration with the development. TPZ's that are less than the standard generally require additional arboricultural measures to be applied to trees (i.e. root/branch pruning, soil protection, etc). It is however recommended that such TPZ's be no less than the minimum TPZ values specified in **Table 1**. The minimum TPZ's provided in **Table 1**, while not explicitly recognized by the City of Mississauga, are accepted in other area municipalities, including the City of Toronto, City of Burlington, and Town of Richmond Hill.

**Table 1. Minimum Tree Protection Zones**

Trunk Diameter (DBH)	Minimum Protection Distances <sup>1</sup>
< 10 cm	1.8 m
10 – 40 cm	2.4 m
41 – 50 cm	3.0 m
51 – 60 cm	3.6 m
61 – 70 cm	4.2 m
71 – 80 cm	4.8 m
81 – 90 cm	5.4 m

Trunk Diameter (DBH)	Minimum Protection Distances <sup>1</sup>
91 – 100 cm	6.0 m
> 100 cm	6 cm protection for each 1 cm diameter

<sup>1</sup> to be measured from the outside edge of the base of the tree

The minimum TPZ for trees to protected are illustrated in **Figure 2**.

The TPZ should be demarcated with tree protection hoarding consisting of 1.2 m orange plastic fencing framed with solid top and bottom rail, or 1.2 m plywood (see **Figure 2** for fence location and detail). Fencing should be installed before any construction or site alteration takes place.

No grading, soil disturbance, or surface treatments shall occur within the TPZ and no equipment or materials shall be stored inside the TPZ.

In addition to the establishment of the TPZ, the following specifications are recommended to ensure the health and survival of any retained trees:

- Before the beginning of work, the contractor and qualified arborist, should meet on site to review work procedures, access routes, storage areas and the TPZ or other tree protection measures.
- Where underground utilities are to be installed, the route shall be outside any TPZ, or tunnelling or boring methods should be used for installation.
- Some tree roots may extend beyond the tree protection zone. Any root damage occurring during construction should be cut cleanly with a hand saw or pruning shears.
- Any injury to a tree during construction should be evaluated by a qualified arborist.
- Any pruning of trees for construction clearance shall be performed by a qualified arborist.

Should you have any questions, please do not hesitate to contact the undersigned.

Report prepared by:  
**Beacon Environmental**



Dan Westerhof, B.Sc, MES  
 Terrestrial Ecologist, Certified Arborist (ON-1536A)

Report reviewed by:  
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Ken Ursic, B.Sc, M.Sc.  
 Principal, Senior Ecologist

### Appendix A. Tree Inventory and Evaluation

Tree No.	Species	Common Name	DBH (cm)	Crown diameter (m)	Condition	Comments	Preservation Potential	Recommendation
47	<i>Ailanthus altissima</i>	Tree of Heaven	21	6	Fair	asymmetric, heavy on west side	Medium	Remove
48	<i>Ailanthus altissima</i>	Tree of Heaven	21	6	Fair	codominant, crowded	Medium	Protect
49	<i>Ulmus pumila</i>	Siberian Elm	35	4	Poor	lean, trunk bent/bowed to the east	Low	Protect
51	<i>Ulmus pumila</i>	Siberian Elm	28	5	Fair	bend in upper trunk, asymmetric crown	Medium	Remove
52	<i>Ulmus pumila</i>	Siberian Elm	60	7	Poor	closed seam/crack, lean east, open wound at base, sweep in upper trunk, poor form, old open branch stub	Low	Remove
54	<i>Picea</i> sp.	Spruce	23	5	Fair	sparse foliage on east side	Medium	Remove
55	<i>Tilia</i> sp.	Linden	21,18	6	Fair-Good		High	Protect
56	<i>Ulmus pumila</i>	Siberian Elm	17	4	Dead		Low	Remove
57	<i>Ulmus pumila</i>	Siberian Elm	39	10	Fair	bend in trunk, irregular crown with arching branches	Medium	Remove
58	<i>Ulmus pumila</i>	Siberian Elm	25	4	Dead		Low	Remove (condition)
59	<i>Ulmus pumila</i>	Siberian Elm	20	4	Dead		Low	Remove (condition)
60	<i>Ulmus pumila</i>	Siberian Elm	36	10	Poor	one large dead leader, main leader arching east, poor form	Low	Remove (condition)
61	<i>Ulmus pumila</i>	Siberian Elm	22	4	Poor	nearly dead	Low	Remove (condition)
62	<i>Ulmus pumila</i>	Siberian Elm	30	8	Fair-Poor	bend in upper trunk, irregular/asymmetric crown	Low	Remove (condition)
63	<i>Pinus resinosa</i>	Red Pine	34	7	Fair	asymmetric crown, heavier branching on west side	Low	Protect
64	<i>Ulmus pumila</i>	Siberian Elm	41	6	Poor	poor form, irregular crown	Low	Remove (condition)
65	<i>Ulmus pumila</i>	Siberian Elm	15	4	Poor	one dead leader, poor form	Low	Remove (condition)
66	<i>Ulmus pumila</i>	Siberian Elm	21,16	6	Fair-Poor	one dead leader, asymmetric crown arching west	Low	Remove (condition)
67	<i>Acer platanoides</i>	Norway Maple	11,10	4	Fair	good vigour, uneven crown	Low	Protect
68	<i>Ulmus pumila</i>	Siberian Elm	28	5	Fair-Poor	codominant, irregular crown, one leader arching east	Low	Remove (condition)
69	<i>Ulmus pumila</i>	Siberian Elm	50,24	6	Fair-Poor	Branch dieback, large dead branch	Low	Remove (condition)
70	<i>Ulmus pumila</i>	Siberian Elm	11		Fair		Medium	Protect
71	<i>Picea</i> sp.	Spruce	8	2	Good		Medium	Remove
72	<i>Pinus strobus</i>	White Pine	18	5	Good		High	Remove
73	<i>Picea</i> sp.	Spruce	12,11	4	Good		Medium	Remove
422	<i>Pinus nigra</i>	Austrian Pine	50	7	Fair-Good	Crown-raised, minor branch dieback	Medium	Remove
423	<i>Pinus nigra</i>	Austrian Pine	35	6	Fair	uneven bent crown due to crowding, crown raised, improper prune cuts	Medium	Remove
424	<i>Ulmus pumila</i>	Siberian Elm	11	4	Fair-Good		Low	Remove
425	<i>Pinus nigra</i>	Austrian Pine	38	7	Fair	asymmetric crown due to crowding	Medium	Remove
426	<i>Pinus nigra</i>	Austrian Pine	48	8	Good	minor branch dieback	High	Remove
427	<i>Tilia cordata</i>	Little-leaf Linden	13	4	Good		Medium	Remove
434	<i>Morus alba</i>	White Mulberry	13,7,8,6	6	Fair		Low	Remove
435	<i>Pinus strobus</i>	White Pine	11	3	Good		Medium	Remove
436	<i>Pinus strobus</i>	White Pine	38	8	Good		High	Remove

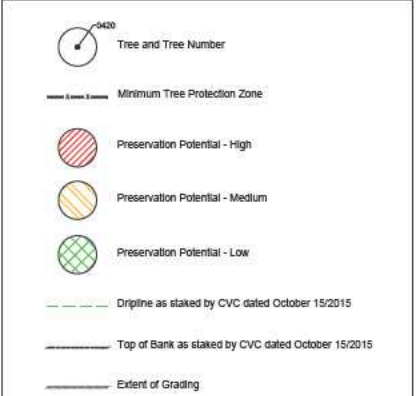
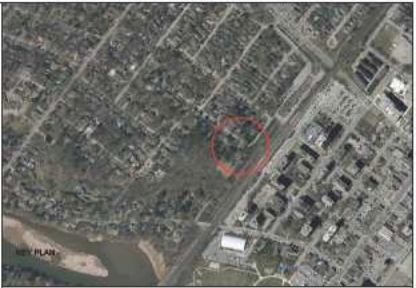
Tree No.	Species	Common Name	DBH (cm)	Crown diameter (m)	Condition	Comments	Preservation Potential	Recommendation
437	<i>Morus alba</i>	White Mulberry	37	7	Fair	uneven crown due to crowding	Medium	Remove
438	<i>Juglans cinerea</i>	Butternut	38	14	Good	long closed seam/crack along entire length of the trunk; large full crown	High	Remove
439	<i>Populus grandidentata</i>	Large-toothed Aspen	10.5	2	Good		Low	Remove
440	<i>Populus grandidentata</i>	Large-toothed Aspen	10,8	2	Fair		Low	Remove
441	<i>Populus grandidentata</i>	Large-toothed Aspen	20	4	Fair	Slight lean, old closed wound with gall/cauliflower growth, uneven crown	Medium	Remove
442	<i>Populus grandidentata</i>	Large-toothed Aspen	10	2	Fair	slight lean, uneven	Low	Remove
443	<i>Populus grandidentata</i>	Large-toothed Aspen	13	3	Fair	lean, bend in trunk several dead branches	Medium	Remove
444	<i>Morus alba</i>	White Mulberry	10	3	Fair-Poor	fence embedded in fence, uneven bent crown, crowded	Low	Remove
445	<i>Morus alba</i>	White Mulberry	11	3	Fair	vine in crown, leaning	Low	Remove
446	<i>Fraxinus pennsylvanica</i>	Green Ash	50	8	Dead	In valley	Low	Protect
447	<i>Fraxinus pennsylvanica</i>	Green Ash	34	8	Dead	In valley	Low	Protect
448	<i>Salix</i> sp.	Willow	66	20	Fair-Good	several broken branches, arching lower branches	Medium	Protect
449	<i>Salix</i> sp.	Willow	60	16	Fair	large lower branch broken/hanging, lean south	Medium	Protect
450	<i>Acer negundo</i>	Manitoba Maple	50,43	12	Poor	smaller trunk arched over with branches touching the ground, severe lean north, several fungal bodies on lower trunk and branches, two large broken branches, cavity at base.		Remove
451	<i>Acer platanoides</i>	Norway Maple	21	6	Good		Medium	Protect
452	<i>Acer platanoides</i>	Norway Maple	17	6	Fair	lean east	Medium	Protect
453	<i>Acer platanoides</i>	Norway Maple	20	7	Fair-Good		Medium	Protect
454	<i>Prunus serotina</i>	Black Cherry	19	6	Good		High	Protect
455	<i>Acer negundo</i>	Manitoba Maple	45	14	Poor	large open wound, completely bent over, extending north over top of bank	Low	Remove
456	<i>Acer negundo</i>	Manitoba Maple	30	10	Poor	severe lean, epicormic branches	Low	Protect
457	<i>Populus deltoides</i>	Eastern Cottonwood	107,109	20	Fair	codominant trunks with included bark, damage to base with large area of decay on south side, cavity at base on north side, patch of missing bark, several broken branches	Medium	Protect
458	<i>Populus deltoides</i>	Eastern Cottonwood	50	8	Poor	poor form, crowded, lean south, uneven crown	Low	Protect
459	<i>Fraxinus pennsylvanica</i>	Green Ash	30	6	Dead		Low	Protect
460	<i>Juglans nigra</i>	Black Walnut	11	4	Fair-Poor	crowded, uneven crown, over topped by adjacent trees	Low	Protect
461	<i>Juglans nigra</i>	Black Walnut	16	6	Fair	asymmetric crown, crowded	Medium	Protect
462	<i>Salix</i> sp.	Willow	32/30	12	Fair	one large dead branch, codominant leaders, lean	Medium	Protect
463	<i>Acer platanoides</i>	Norway Maple	26	8	Good		Medium	Protect
464	<i>Fraxinus pennsylvanica</i>	Green Ash	28/36	8	Dead		Low	Protect
465	<i>Acer platanoides</i>	Norway Maple	12	4	Fair	crowded, uneven crown	Low	Protect
466	<i>Juglans nigra</i>	Black Walnut	16	6	Fair	uneven, crowded, heavy on north side	Medium	Protect
467	<i>Acer negundo</i>	Manitoba Maple	14	3	Poor	poor form, top dead, nearly dead	Low	Protect



Tree No.	Species	Common Name	DBH (cm)	Crown diameter (m)	Condition	Comments	Preservation Potential	Recommendation
468	<i>Salix</i> sp.	Willow	35,24	16	Fair-Good		Medium	Protect
469	<i>Salix</i> sp.	Willow	28,36	16	Fair	heavy lean north	Medium	Protect
470	<i>Juglans nigra</i>	Black Walnut	42	8	Fair-Good	Fair form	High	Protect
471	<i>Fraxinus pennsylvanica</i>	Green Ash	27	6	Dead		Low	Protect
472	<i>Fraxinus pennsylvanica</i>	Green Ash	16	2	Dead		Low	Protect
473	<i>Fraxinus pennsylvanica</i>	Green Ash	17	4	Dead		Low	Protect
474	<i>Fraxinus pennsylvanica</i>	Green Ash	14	4	Dead		Low	Protect
475	<i>Fraxinus pennsylvanica</i>	Green Ash	36	9	Dead		Low	Protect
476	<i>Fraxinus pennsylvanica</i>	Green Ash	20	3	Poor		Low	Protect
477	<i>Fraxinus pennsylvanica</i>	Green Ash	14	3	Dead		Low	Protect
478	<i>Fraxinus pennsylvanica</i>	Green Ash	13	2	Dead		Low	Protect
479	<i>Fraxinus pennsylvanica</i>	Green Ash	14/14	4	Dead		Low	Protect
480	<i>Fraxinus pennsylvanica</i>	Green Ash	22	6	Dead		Low	Protect
481	<i>Fraxinus pennsylvanica</i>	Green Ash	14	3	Dead		Low	Protect
482	<i>Fraxinus pennsylvanica</i>	Green Ash	17	4	Dead		Low	Protect
483	<i>Acer platanoides</i>	Norway Maple	10,6,6	4	Fair-Good		Low	Protect
484	<i>Juglans nigra</i>	Black Walnut	46	15	Good	asymmetric crown due to crowding	High	Protect
485	<i>Juglans nigra</i>	Black Walnut	44	15	Good	asymmetric crown due to crowding	High	Protect
486	<i>Sassafras albidum</i>	Sassafras	16	4	Fair-Good	lean east	High	Protect
487	<i>Sassafras albidum</i>	Sassafras	18,17	6	Fair	lean east	High	Protect
488	<i>Sassafras albidum</i>	Sassafras	23	6	Fair	lean west	High	Protect
489	<i>Sassafras albidum</i>	Sassafras	26,24	6	Fair-Good		High	Protect
490	<i>Sassafras albidum</i>	Sassafras	23,22	6	Good		High	Protect
491	<i>Sassafras albidum</i>	Sassafras	20	4	Fair	significant lean east	High	Protect
492	<i>Sassafras albidum</i>	Sassafras	14	4	Poor	significant lean east, damage to base, leaning on fence	Low	Protect
493	<i>Sassafras albidum</i>	Sassafras	18	4	Fair-Poor	leaning east against fence	Low	Protect
494	<i>Sassafras albidum</i>	Sassafras	17	4	Fair-Good	slight lean	High	Protect
495	<i>Sassafras albidum</i>	Sassafras	22	5	Fair-Good	asymmetric crown	High	Protect
496	<i>Sassafras albidum</i>	Sassafras	20	5	Good		High	Protect
497	<i>Sassafras albidum</i>	Sassafras	24	6	Fair-Good		High	Protect
498	<i>Acer platanoides</i>	Norway Maple	21	7	Good		Medium	Protect
499	<i>Sassafras albidum</i>	Sassafras	28	7	Good	codominant leaders	High	Protect
500	<i>Sassafras albidum</i>	Sassafras	28	7	Fair-Good	codominant leaders, asymmetric crown	High	Protect
501	<i>Sassafras albidum</i>	Sassafras	18	4	Fair	lean east	High	Protect
502	<i>Sassafras albidum</i>	Sassafras	18	4	Fair-Good		High	Protect
503	<i>Sassafras albidum</i>	Sassafras	20,21,20,18	8	Fair-Good		High	Protect
504	<i>Sassafras albidum</i>	Sassafras	20	4	Fair		High	Protect
505	<i>Ailanthus altissima</i>	Tree of Heaven	33	6	Fair-Good		Medium	Protect

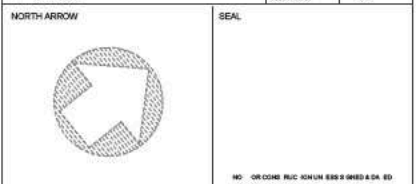
Tree No.	Species	Common Name	DBH (cm)	Crown diameter (m)	Condition	Comments	Preservation Potential	Recommendation
506	<i>Acer platanoides</i>	Norway Maple	29	7	Fair	fence and fence rail embedded in trunk	Medium	Protect
507	<i>Populus tremuloides</i>	Trembling Aspen	11	4	Fair-Good	asymmetric	Low	Remove
508	<i>Populus tremuloides</i>	Trembling Aspen	11	4	Fair-Good		Low	Remove
509	<i>Ailanthus altissima</i>	Tree of Heaven	13	4	Fair	asymmetric	Low	Remove
511	<i>Ailanthus altissima</i>	Tree of Heaven	25	5	Fair	asymmetric, crowded	Medium	Remove
512	<i>Ailanthus altissima</i>	Tree of Heaven	23	4	Fair	asymmetric, crowded	Medium	Remove
513	<i>Ailanthus altissima</i>	Tree of Heaven	24	6	Fair	asymmetric, heavy on west side (overhanging shed)	Medium	Remove
650	<i>Ailanthus altissima</i>	Tree of Heaven	15/22	6	Fair	Uneven, one-sided crown	Medium	Remove
651	<i>Ailanthus altissima</i>	Tree of Heaven	22	6	Fair	Uneven, one-sided crown - branches arching over	Medium	Remove
652	<i>Acer platanoides</i>	Norway Maple	26	6	Fair	Uneven, one-sided crown - arching over	Medium	Remove
653	<i>Ailanthus altissima</i>	Tree of Heaven	26/23	6	Fair	Asymmetric crown, crowded	Medium	Remove
654	<i>Ailanthus altissima</i>	Tree of Heaven	24	6	Fair-Good		Medium	Remove
655	<i>Ailanthus altissima</i>	Tree of Heaven	11,9	4	Fair	Uneven, one-sided crown - branches arching over	Low	Remove
656	<i>Ailanthus altissima</i>	Tree of Heaven	16	4	Fair	Uneven, one-sided crown - branches arching over	Medium	Remove
657	<i>Ailanthus altissima</i>	Tree of Heaven	14	4	Fair	Uneven, one-sided crown - branches arching over	Medium	Remove
658	<i>Ailanthus altissima</i>	Tree of Heaven	24/21	6	Fair	Uneven, arching branches	Medium	Remove
659	<i>Ailanthus altissima</i>	Tree of Heaven	28	6	Fair	Uneven, one-sided crown - branches arching over	Medium	Remove
660	<i>Ailanthus altissima</i>	Tree of Heaven	21/16	5	Fair	Uneven, one-sided crown - branches arching over	Medium	Remove
661	<i>Ailanthus altissima</i>	Tree of Heaven	15	3	Fair-Poor	Small crown	Medium	Remove
662	<i>Ailanthus altissima</i>	Tree of Heaven	22	4	Fair		Medium	Remove
663	<i>Ailanthus altissima</i>	Tree of Heaven	16	4	Fair		Medium	Remove
664	<i>Ailanthus altissima</i>	Tree of Heaven	19	3	Fair		Medium	Remove
665	<i>Ailanthus altissima</i>	Tree of Heaven	16	3	Fair		Medium	Remove
666	<i>Tilia sp.</i>	Linden	17	4	Fair		Medium	Protect
A	<i>Acer rubrum</i>	Red Maple	35	7	Fair-Good		High	Protect
B	<i>Populus grandidentata</i>	Large-toothed Aspen	25/30	6	Good		High	Protect
C	<i>Prunus serotina</i>	Black Cherry	48	8	Fair	3 codominant leaders with included bark, large dead branch	High	Protect
D	<i>Acer rubrum</i>	Red Maple	30	14	Fair	lean west	High	Protect
E	<i>Pinus strobus</i>	White Pine	45	10	Fair-Good	slight bend in upper trunk, compressed crown due to crowding	High	Protect
F	<i>Pinus strobus</i>	White Pine	60	14	Fair-Good	Asymmetric crown	High	Protect
G	<i>Pinus strobus</i>	White Pine	60	10	Fair	asymmetric crown, heavier branching on south side	High	Protect
H	<i>Acer platanoides</i>	Norway Maple	40	12	Good		High	Protect
I	<i>Acer rubrum</i>	Red Maple	35	8	Good		High	Protect
J	<i>Acer platanoides</i>	Norway Maple	45	9	Good		High	Protect





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1	COMMENT	xxxx/xx/xx	xx

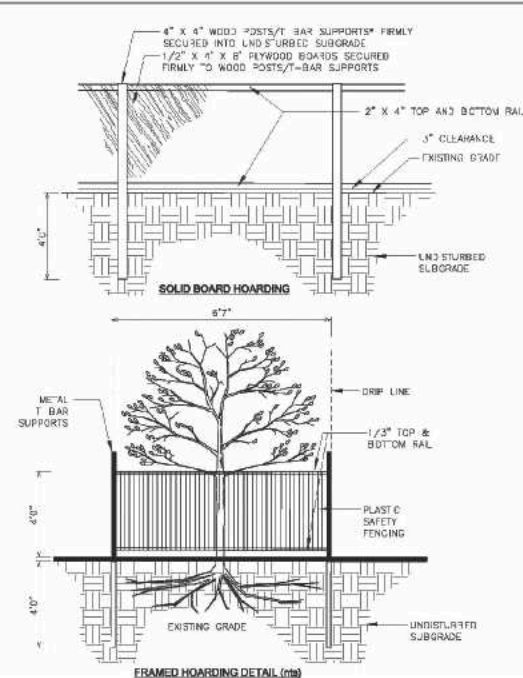
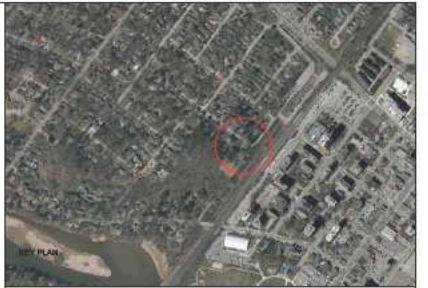


PROJECT  
**1142 MONA ROAD**

SHEET TITLE  
**Tree Inventory**

DESIGN BY	PROJECT NO.	215452
DRAWN BY RL	FIGURE NO.	1
CHECKED BY DW		
DATE		06 July 2016
SCALE		1 : 500
		0 10 m





**NOTES:**









1. HOARDING DETAILS TO BE DETERMINED FOLLOWING INITIAL SITE INSPECTION.
2. HOARDING TO BE APPROVED BY DEVELOPMENT AND DESIGN.
3. HOARDING MUST BE SUPPLIED, INSTALLED AND MAINTAINED BY THE APPLICANT THROUGHOUT ALL PHASES OF CONSTRUCTION, UNTIL APPROVAL TO REMOVE HOARDING IS OBTAINED FROM DEVELOPMENT AND DESIGN.
4. DO NOT ALLOW WATER TO COLLECT AND POOL BEHIND OR WITHIN HOARDING.
5. T-BAR SUPPORTS FOR SOLID HOARDING WILL ONLY BE ALLOWED WITH PRE-APPROVAL FROM DEVELOPMENT AND DESIGN.



**MISSISSAUGA**  
*Development and Design*

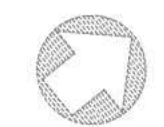
SCALE: N.T.S.  
DATE: JAN, 2006

## DEVELOPMENT & DESIGN CONSTRUCTION HOARDING

- 
-  Tree and Tree Number  
 Tree to be Retained  
 Tree to be Removed  
 Minimum Tree Protection Zone  
 Drip-line as staked by CVC dated October 15/2015  
 Top of Bank as staked by CVC dated October 15/2015  
 Extent of Grading  
 TPZ Fencing

NOTES: SCALE SHOWN IS FOR AN 17" X 11" PAGE.  
FOR ILLUSTRATIVE PURPOSES ONLY. DO NOT SCALE.

Nº	REVISIONS	DATE	BY
6			
5			
3			
2			
1	COMMENT	xxxxxx/xx/xx	xx



NO OR OTHER NUMBERS ASSIGNED &amp; CHECKED



PROJECT
---------

1142 MONA ROAD

SHEET TITLE

## Tree Preservation and Removal Plan

DESIGN BY	..	PROJECT N°	215452
DRAWN BY	RL	FIGURE N°	2
CHECKED BY	DW		
DATE	06 July 2016		
SCALE	1 : 500		
	0 10 m		





City of Mississauga  
**Memorandum**



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Date: 2016/08/19  
To: Chair and Members of Heritage Advisory Committee  
From: P. Wubbenhorst, Senior Heritage Coordinator  
Meeting Date: 2016/09/13  
Subject: Potential Heritage Conservation District

---

As per the request from the Heritage Advisory Committee, please find attached the heritage register reports for properties that, at a very preliminary overview, share a story at “Clarksons Corners.” A location map is also attached.

Currently the properties located at 1109, 1115-25, 1130-40, 1141-61 and 1160 Clarkson Road North are listed on the City’s Heritage Register. (1130-40 Clarkson Road North is protected with a notice of intent to designate.) Each property has been noted for its particular cultural heritage value.

Together these properties share a time span from the 19<sup>th</sup> century to circa 1936. Clustered around the rail station (demolished), the subject properties formed the nucleus of the hamlet known as Clarksons Corners. The commercial structures have a minimal setback, which relates them directly to the roadway whereas most of the residential properties in the area have a more generous setback, distinguishing residential from commercial.

The Heritage Designation Subcommittee is encouraged to engage the community to garner support to bring this project forward.

**Attachments**

Appendix 1: Location Map

Appendix 2: Heritage Register Reports

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Prepared by: P. Wubbenhorst, Senior Heritage Coordinator



Location Map:  
1109, 1115–1125, 1130–1140,  
1141 & 1160  
CLARKSON ROAD NORTH



MISSISSAUGA

Produced by T&W, Geomatics

JULY 2016



MAX ID: 12274 Legal Description: CON 2 SDS PT LOT 28

Address: 1109 CLARKSON RD N

Owner Information:

Heritage Status: LISTED ON THE HERITAGE REGISTER BUT NOT DESIGNATED

Heritage Bylaw: Date:

Conservation Dist:

Designation Statement:

### Heritage Inventory Details

Property Description: MERCHANT BANK/AULD BUTCHER SHOP

Inv. #	Yr. of Construction	Decade	Demolished?	Yr. of Demolition	Arch.Boneyard
237		1900	No		No

Type: COMMERCIAL

Area: CLARKSON

Reason: ARCHITECTURAL

Style: VERNACULAR

**History:** This is a one and one half storey structure that today acts as a residence, but was once used for commercial purposes.

The Merchant Bank of Canada was Clarkson's first bank. It opened November 23, 1913 as a substation, and became a full-time branch on May 1, 1914, under the first manager, H. L. Read. The Merchant Bank was later absorbed into the Bank of Montreal in 1922. The bank closed in 1938. The building was purchased by Doug Auld in 1947 and became Auld's Butcher Shop and later Doug Auld & Son Butchers. It has been billed as the oldest-family run business in Mississauga.

During WWII Doug Auld was a member of the Royal Canadian Engineers, the 8th Field Squadron.

Architectural features include aluminum siding on the exterior, a gable roof with asphalt shingles, an asymmetrical west facing two bay facade, as well as modern plate windows on the first storey and double hung sash one over one windows on the second storey. Other features include window awnings, an exterior north chimney, a one storey east facing extension at the rear of the building. There is an aluminum shed located on the property.

Property Description: MERCHANT BANK/AULD BUTCHER SHOP





MAX ID: 12275

Legal Description: CON 2 SDS PT LOT 28

Address: 1115 CLARKSON RD N  
1117 CLARKSON RD N  
1119 CLARKSON RD N  
1123 CLARKSON RD N  
1125 CLARKSON RD N

Owner Information:

Heritage Status: LISTED ON THE HERITAGE REGISTER BUT NOT DESIGNATED

Heritage Bylaw: Date:

Conservation Dist:

Designation Statement:

### Heritage Inventory Details

Property Description: ALEX DURIE STORE

Inv. #	Yr. of Construction	Decade	Demolished?	Yr. of Demolition	Arch.Boneyard
236		1910	No		No

Type: RESIDENTIAL

Area: CLARKSON

Reason: ARCHITECTURAL

Style: GEORGIAN REVIVAL

**History:** Alex Durie established his store here in 1908. It housed Clarkson's first library on the second floor. The structure became a basket factory in 1932 and apartments in 1941. This is a two and one half storey stucco sided structure. Architectural details include a hipped roof with asphalt shingles, an asymmetrical four bay west facing facade, double hung sash windows four over one, three over one, five over one. A one storey south addition and a gable west dormer are part of the building.





MAX ID: 12349 Legal Description: PLAN G13 PT LOT 67

Address: 1130 CLARKSON RD N  
1132 CLARKSON RD N  
1134 CLARKSON RD N  
1140 CLARKSON RD N

Owner Information:

Heritage Status: PROTECTED BY PUBLICATION OF A NOTICE OF INTENT TO DESIGNATE

Heritage Bylaw: Date:

Conservation Dist:

Designation Statement:

## Heritage Inventory Details

Property Description: WILLIAM CLARKSON HOUSE

Inv. #	Yr. of Construction	Decade	Demolished?	Yr. of Demolition	Arch.Boneyard
233	1865	1870	No		No

Type: RESIDENTIAL

Area: CLARKSON

Reason: ARCHITECTURAL/HISTORICAL

Style: VERNACULAR - GOTHIC

**History:** This is a one and one half storey structure constructed on a stone foundation and sided with asbestos. There is a gable roof with asphalt shingles and an asymmetrical three bay facade on the east. The windows are double hung sash one over one, with some modern plate glass. There is an exterior north brick chimney and a rear one storey addition to the west. There is a south bay window and an open front porch. This is one of the few remaining original buildings of Clarkson's Corners. Built by William Clarkson, son of Warren.





## Property Description: WILLIAM CLARKSON HOUSE



## Property Description: CLARKSON GENERAL STORE

Inv. #	Yr. of Construction	Decade	Demolished?	Yr. of Demolition	Arch.Boneyard
234	1835	1830	No		No

Type: RESIDENTIAL

Area: CLARKSON

Reason: ARCHITECTURAL/HISTORICAL

Style: COMMERCIAL

**History:** This is a two and one half storey commercial structure, with aluminum siding and a brick pattern pressed in on the north side. Architectural features include a gable roof with asphalt shingles, an asymmetrical six bay facade that faces east. The windows are modern plate glass on the first storey and double hung sash one over one on the second storey. The east facade has aluminum and wood siding and an arched gable window, while the south facade has asbestos siding. This is one of the few remaining structures of the original Clarkson Corners. Warren Clarkson Store built 1835. Post Office installed in 1875. Edith Clarkson took over in 1901 and added second storey.





MAX ID: 12277

Legal Description: CON 2 SDS PT LOT 28

Address: 1141 CLARKSON RD N  
1161 CLARKSON RD N

Owner Information:

Heritage Status: LISTED ON THE HERITAGE REGISTER BUT NOT DESIGNATED

Heritage Bylaw: Date:

Conservation Dist:

Designation Statement:

### Heritage Inventory Details

Property Description: CLARKSON PAISLEY HOUSE

Inv. #	Yr. of Construction	Decade	Demolished?	Yr. of Demolition	Arch.Boneyard
235	1936	1930	No		No

Type: RESIDENTIAL

Area: CLARKSON

Reason: ARCHITECTURAL

Style: VERNACULAR

**History:** A small portion of this house is presumed to have been built by Henry Clarkson. In 1936 Walter Edwin Paisley commissioned a major alteration and expansion. His architect was Eric W. Hounsom, known for the Art Deco University Theatre on Bloor Street, Toronto. Paisley was Toronto Township Ward 2 Councillor in 1953 and 1954.

It is a two and a half storey structure that is today used as a commercial building. Architectural detailing includes stucco siding, a gable roof with asphalt shingles, a three bay west facing asymmetrical facade, double hung sash windows six over nine, six over one and six over six. The windows are fixed with twelve panes and a three pane transom. Other building features include an enclosed porch on the west, round top dormers, a round gable window, an exterior chimney on the north side of the structure and one modern plate glass window on the west side of the building. There is a two door detached garage located on the property.





MAX ID: 12347

Legal Description: PLAN G13 LOT 1

Address:

1160 CLARKSON RD N

Owner Information:

Heritage Status: LISTED ON THE HERITAGE REGISTER BUT NOT DESIGNATED

Heritage Bylaw:

Date:

Conservation Dist:

Designation Statement:

### Heritage Inventory Details

Property Description: EDITH CLARKSON HOUSE

Inv. #	Yr. of Construction	Decade	Demolished?	Yr. of Demolition	Arch.Boneyard
227		1910	No		No

Type: RESIDENTIAL

Area: CLARKSON

Reason: ARCHITECTURAL

Style: QUEEN ANNE

**History:** This two and one half storey structure is constructed of brick with stone facing on the east elevation. There is a hipped roof with gable dormers, squared palladian windows and fibreglass shingles. On the north, there is a three bay facade and the windows are double hung one over one. There is an enclosed side porch. The front facade is covered in angel stone and there is a detached garage located on the property.







City of Mississauga  
**Memorandum**




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Date: 2016/08/19

To: Chair and Members of Heritage Advisory Committee

From: P. Wubbenhorst, Senior Heritage Coordinator

Meeting Date: 2016/09/13

Subject: Significant Tree Nomination – Miles Lane Tree 1 “Walterhouse” et al.

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In June, the Heritage Advisory Committee made the following recommendations, regarding a *Significant Tree Nomination* by a private citizen, subsequently adopted by Council:

HAC-0035-2016

1. That the document entitled Significant Tree Nomination – Miles Lane Tree 1 “Walterhouse” et al. be received for information.
2. That staff be directed to look into the feasibility of preserving the apple trees on the property located on Mills Lane Concession 1, Lot 14 NDS.

The citizen proposal document entitled *Significant Tree Nomination – Miles Lane Tree 1 “Walterhouse” et al* was drafted as a nomination for the City of Mississauga’s *Significant Tree Program* wherein distinctive City trees are showcased online. A criterion of the program is that the tree(s) be City owned. Parks & Forestry reviewed the nomination; however, the Division is not able to include the subject trees in its *Significant Tree Program* because they do not reside on City property.

The citizen report suggests that the trees were “planted circa 1890-1900 – perhaps even earlier.” Consultation by Parks & Forestry staff with specialists in the field suggests that these trees are at the end of their life. The average life expectancy of apple trees is approximately 100 years.

Under the terms and regulations of the *Ontario Heritage Act*, real property may be designated for its cultural heritage value. Staff do not find sufficient information through documented research to warrant the feasibility of seeking a heritage designation for the subject lands. In order to designate specific trees on a property, it must be demonstrated that the trees have a direct cultural heritage contribution and value. It is staff’s opinion that a much more robust case would be required in order to proceed with a heritage designation proposal.

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Prepared by: P. Wubbenhorst, Senior Heritage Coordinator



**From:** [Mark Vandersluis](#)  
**To:** [Mumtaz Alikhan](#)  
**Subject:** Lakeshore Connecting Communities - Technical Advisory Committee  
**Date:** 2016/08/26 9:35:02 AM  
**Attachments:** [20160509\\_Lakeshore Rd TMP Notice of Study Commencement\\_Rev1-legal.pdf](#)  
[image001.png](#)

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Hi Mumtaz,

Further to our conversation last week, please find below an invitation for the Heritage Advisory Committee to join our technical advisory committee.

*To the Heritage Advisory Committee,*

*We are in the process of setting up a Technical Advisory Committee (TAC) for our Lakeshore Connecting Communities project which was introduced to you at the beginning of summer. I've reattached our study notice which provides some information on the project - more information can be found on the project website at [www.connectlakeshore.ca](http://www.connectlakeshore.ca). The purpose of the project is to support all transportation modes (including walking, cycling, transit, trucks and automobiles), connect people to places and move goods to market.*

*We are planning our first round of public consultations for later this fall (November) and wanted to get together a TAC to meet in October (tentatively thinking October 6) to review some of the work completed to date.*

*I wanted to inquire with you to see if the Heritage Advisory Committee would like to have an individual included on the TAC to provide comments on key project milestones.*

*Thank you,*

*Mark VanderSluis*



**Mark VanderSluis**

Project Leader, Transportation Planning

T 905-615-3200 ext.4160

[mark.vandersluis@mississauga.ca](mailto:mark.vandersluis@mississauga.ca)

[City of Mississauga](#)

Please consider the environment before printing.



Lakeshore  
Connecting  
Communities

10.1 - 2

# NOTICE OF STUDY COMMENCEMENT

## The Study

The City of Mississauga has initiated a Transportation Master Plan (TMP) and Implementation Strategy for Lakeshore Road between Southdown Road and the east City limit and Royal Windsor Drive between Southdown Road and the west City limit. The purpose of the TMP is to support all transportation modes (including walking, cycling, transit and automobiles), connect people to places, and move goods to market. The study will also evaluate rapid transit alternatives east of Hurontario Street as well as extending rapid transit into the Port Credit area.

## Contact Us

### Mark VanderSluis

Project Leader, Transportation Planning  
City of Mississauga  
201 City Centre Drive, 8<sup>th</sup> Floor  
Mississauga, Ontario L5B 2T4  
Telephone: 905-615-3200 ext. 4160  
Email: [connect.lakeshore@mississauga.ca](mailto:connect.lakeshore@mississauga.ca)

### Tyrone Gan, P.Eng.

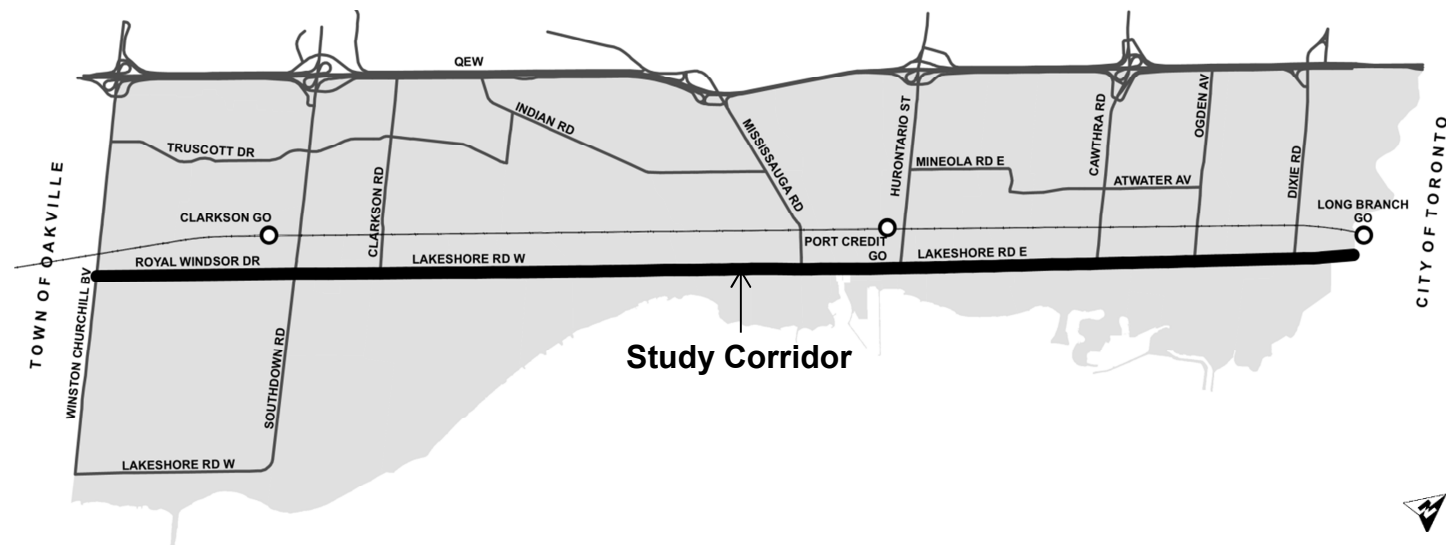
Consultant Project Manager  
HDR Corporation  
100 York Boulevard, Suite 300  
Richmond Hill, Ontario L4B 1J8  
Telephone: 289-695-4622

## The Process

This Study will follow the master planning process described in the Municipal Engineers Association Municipal Class Environmental Assessment (October 2000, as amended in 2007, 2011, and 2015). The project will involve multi-modal transportation planning, urban design, and land use planning. The Master Plan process will satisfy Phases I (Identify Problem and Opportunity) and II (Identify and Evaluate Alternative Solutions to the Problem or Opportunity) of the Municipal Class EA process.

## Consultation

A key component of the study will be consultation with stakeholders, residents, regulatory agencies and the general public. Anyone with an interest in this study has the opportunity to get involved and provide input. Three rounds of Public Information Centres (PIC) will be held during the study to present findings and receive public input. A notice providing the time and location of the PIC will be published in local newspapers and posted on the study website.



For more information or to be added to the study mailing list, please visit

<http://www.connectlakeshore.ca>