
Heritage Advisory Committee

Date

2016/07/12

Time

9:30 AM

Location

Civic Centre, Council Chamber,
300 City Centre Drive, Mississauga, Ontario, L5B 3C1 Ontario

Members

Councillor George Carlson, Ward 11 (Chair)
Rick Mateljan, Citizen Member (Vice-Chair)
Councillor Carolyn Parrish, Ward 5
Michael Battaglia, Citizen Member
Elizabeth Bjarnason, Citizen Member
Robert Cutmore, Citizen Member
David Dodaro, Citizen Member
Lindsay Graves, Citizen Member
James Holmes, Citizen Member
Cameron McCuaig, Citizen Member
Paul McGuigan, Citizen Member
Matthew N. Wilkinson, Citizen Member

Contact

Mumtaz Alikhan, Legislative Coordinator, Legislative Services
905-615-3200 ext. 5425
mumtaz.alikhan@mississauga.ca

NOTE: To support corporate waste reduction efforts the large
appendices in this agenda can be viewed at:
<http://www.mississauga.ca/portal/cityhall/heritageadvisory.ca>

Find it Online

<http://www.mississauga.ca/portal/cityhall/heritageadvisory>

1. CALL TO ORDER
2. APPROVAL OF AGENDA
3. DECLARATION OF CONFLICT OF INTEREST
4. MINUTES OF PREVIOUS MEETING
 - 4.1. Approval of Minutes of June 14, 2016 Meeting
5. DEPUTATIONS
 - 5.1. Malton Infill Housing Study - Jordan Lee, Planner, Development and Design
6. MATTERS TO BE CONSIDERED
 - 6.1. Request to Alter 1011 Old Derry Road (Ward 11)

RECOMMENDATION

1. *That the request to alter the property at 1011 Old Derry Road, as described in the Corporate Report dated June 16, 2016 from the Commissioner of Community Services, be denied.*
2. *That should the above recommendation be upheld, but the applicant wish to proceed with the fence application only, the request for board on board (privacy) fencing along the west side (Pond Street facing) of the rear yard be denied.*

- 6.2. Request to Alter 7004 Second Line West (Ward 11)

RECOMMENDATION

That the request to alter the property at 7004 Second Line West be approved with the following conditions:

1. *No simulated dividers be employed on the windows*
2. *The proposed replacement door be simplified*
3. *Any repairs made to the original siding match the original material and dimensions*

- 6.3. Request to Alter 7005 Pond Street (Ward 11)

RECOMMENDATION

That the request to alter the property at 7005 Pond Street be approved with the condition that no simulated dividers be employed on the windows.

6.4. Request to Demolish a Heritage Listed Property at 2222 Doulton Drive (Ward 8)

RECOMMENDATION

1. *That the property at 2222 Doulton Drive, which is listed on the City's Heritage Register, is not worthy of heritage designation, and consequently, that the owner's request to demolish proceed through the applicable process.*
2. *That once the new lots are severed, the "retained" lot, which fronts Doulton Drive, be removed from the City's Heritage Register, as it will no longer meet the criteria for inclusion on the Mississauga Road Scenic Route Cultural Landscape.*

7. SUBCOMMITTEE UPDATES

7.1. Meadowvale Village Heritage Conservation District Advisory Sub-Committee Report - June 7, 2016

RECOMMENDATION

That the Meadowvale Village Heritage Conservation District Advisory Sub-Committee Report dated June 7, 2016, be approved.

7.2. Heritage Designation Sub-Committee Update

7.3. Public Awareness Sub-Committee Update

8. INFORMATION ITEMS

9. OTHER BUSINESS

10. DATE OF NEXT MEETING - September 13, 2016, Council Chambers, City Hall

11. ADJOURNMENT

City of Mississauga
Minutes



Heritage Advisory Committee

Date

2016/06/14

Time

9:30 AM

Location

Civic Centre, Council Chamber,
300 City Centre Drive, Mississauga, Ontario, L5B 3C1

Members Present

Councillor George Carlson, Ward 11 **(Chair)**
Councillor Carolyn Parrish, Ward 5
Elizabeth Bjarnason, Citizen Member
Robert Cutmore, Citizen Member
Lindsay Graves, Citizen Member
James Holmes, Citizen Member
Cameron McCuaig, Citizen Member
Matthew N. Wilkinson, Citizen Member
Michael Battaglia, Citizen Member
Paul McGuigan, Citizen Member

Members Absent

Rick Mateljan, Citizen Member **(Vice-Chair)**
David Dodaro, Citizen Member

Staff Present

Mark Warrack, Manager, Culture and Heritage Planning
Paula Wubbenhorst, Senior Heritage Coordinator, Culture Division
Cecilia Nin Hernandez, Heritage Coordinator, Culture Division
Angie Melo, Legislative Coordinator

Find it online

<http://www.mississauga.ca/portal/cityhall/heritageadvisory>

1. CALL TO ORDER – 9:33 a.m.
2. APPROVAL OF AGENDA
APPROVED (R. Cutmore)
3. DECLARATION OF CONFLICT OF INTEREST - Nil
4. MINUTES OF PREVIOUS MEETING
- 4.1. Approval of Minutes of May 10, 2016 Meeting
APPROVED (M. Wilkinson)
5. DEPUTATIONS - Nil
6. MATTERS TO BE CONSIDERED
- 6.1. Request to Alter a Heritage Designated Property, Crozier Farmhouse, 4265 Perivale Road (Ward 6)

M. Wilkinson sought clarification on the proposed design with respect to the placement of the garage on the property as it bisects that orientation to its original right of way. Mr. Wilkinson asked staff if there was a way to orient the garage slightly further back and in the same angle of the house as it fronts on so that it does not detract from the orientation to the original right angle to Creditview Road.

Paula Wubbenhorst, Senior Heritage Coordinator, responded that the garage is as far back as it can be. If the garage was anywhere else on the property, it would obstruct the view to the house, which is from Beacon Lane, not from Perivale Road. Ms. Wubbenhorst advised that the owner was not present and could not be consulted as to what, if any, impact the design of the driveway would have. She said that she will forward M. Wilkinson's suggestion to the owner.

RECOMMENDATION

HAC-0027-2016

That the request to alter the property at 4265 Perivale Road, as described in the report from the Commissioner of Community Services, dated May 19, 2016, be approved.

APPROVED (P. Wilkinson)

- 6.2. Request to Demolish a Heritage Listed Property: 891 Longfellow Avenue (Ward 2)

Matthew Wilkinson advised that a resident contacted him to advise that the former owner of the property had buried the shell of a streetcar to create the base of a terrace. Mr. Wilkinson advised that he has no verification of this information other than the resident who has been a neighbour for 60+ years. Mr. Wilkinson would like to pass on this information from a construction perspective.

RECOMMENDATION

HAC-0028-2016

That the property at 891 Longfellow Avenue, which is listed on the City's Heritage Register, is not worthy of heritage designation, and consequently, that the owner's request to demolish proceed through the applicable process.

APPROVED (J. Holmes)

6.3. Request to Demolish a Structure within a Heritage Listed Property: 3359 Mississauga Road (Ward 8)

HAC-0029-2016

That the North Building on the property at 3359 Mississauga Road, which is listed on the City's Heritage Register, is not worthy of heritage designation, and consequently, that the owner's request to demolish proceed through the applicable process.

APPROVED (M. Battaglia)

6.4. Request to Demolish Heritage Listed Properties, 6, 10 and 12 Queen Street South (Ward 11)

Councillor Carlson commented that the design is appropriate to scale and size for the neighbourhood.

RECOMMENDATION

HAC-0030-2016

That the properties at 6, 10 and 12 Queen Street South, which are listed on the City's Heritage Register, are not worthy of heritage designation, and consequently, that the owner's request to demolish proceed through the applicable process.

APPROVED (J. Holmes)

6.5. Adaptive Re-Use of Designated Property: 271 Queen Street South Preliminary Proposal

Memorandum from Cecilia Nin Hernandez, Heritage Coordinator, dated May 20, 2016 for information.

Cecilia Nin Hernandez advised that at this time, the proposal is being presented as an information item. Ms. Hernandez further advised that staff are in discussion with the owner and applicant on a development application. She said that the proposal requires site plan approval and will be brought back to the Committee for a decision. Ms. Nin Hernandez introduced Megan Hobson, Heritage Consultant.

Megan Hobson, Heritage Consultant, advised that she has been involved in this project since 2010, and is working with the new owner of the property. Ms. Hobson further advised that this is a preliminary report for the purpose of keeping the community informed, and that they will be making a further presentation at a Fall 2016 Heritage Advisory Committee meeting.

Ms. Hobson provided a PowerPoint presentation which highlighted the previous use, the current condition, and the proposed plans for the property, known as the Odd Fellows' Hall.

Councillor Carlson inquired about the removal of the levels of paint on the property, to which Ms. Hobson advised that approximately ten years ago, based on Heritage recommended paint analysis, it was determined that it could not be removed. She noted however, that advances have been made in the ways that paint can be removed without damage to the building. Ms. Hobson stated that it is important that the Heritage Advisory Committee support the removal of the paint, and possibly provide grant money to assist with the process. Councillor Carlson responded that the approval of a grant would require Council approval to cover this cost.

The Committee commented as follows:

- Security at the property;
- The possibility of a grant be explored;
- The approval of a grant would require Council approval;
- Explore what other municipalities are doing to support such projects financially;
- Need to have professionals inspect the interior construction materials for fire safety;

Ms. Hobson advised that a sign would be useful for the community to watch out for the property. She emphasized the need to quickly deal with the structural stability of the property as it would be a concern for the community if the current owner walks away from the project.

Mark Warrack, Manager, Culture and Heritage Planning, requested that Ms. Hobson give consideration for signage and lighting in the conservation plan.

RECOMMENDATION

HAC-0031-2016

1. That the Memorandum from Cecilia Nin Hernandez, Heritage Coordinator, dated May 20, 2016 entitled "Adaptive Re-Use of Designated Property: 271 Queen Street South, Preliminary Proposal", be received for information.
2. That the PowerPoint Presentation from Megan Hobson, Consultant, with respect to Adaptive Re-Use of Designated Property: 271 Queen Street South, Preliminary Proposal, be received for information.

APPROVED (Councillor C. Parish)

6.6 Heritage Impact Assessment for property adjacent to designated Property: 701 and 805 Winston Churchill Boulevard

Cecilia Nin Hernandez provided an overview of the Heritage Impact Assessment.

RECOMMENDATION

HAC-0032-2016

That the Memorandum from Cecilia Nin Hernandez, Heritage Coordinator, dated May 20, 2016 entitled "Heritage Impact Assessment for property adjacent to designated Property: 701 and 805 Winston Churchill Boulevard", be received for information.

APPROVED (M. Wilkinson)

7. SUBCOMMITTEE UPDATES

7.1 Heritage Designation Subcommittee

Cameron McCuaig advised that the Heritage Designation Subcommittee will be meeting with staff on June 16, 2016 and the purpose of the meeting is to review the heritage management strategy and the associated workplan, and to discuss in more detail the role of the Advisory Committee in supporting the strategy and the workplan. An update will be provided to the Committee at a later meeting.

Robert Cutmore, advised that the Owners of the former Wilcox Innkeepers Building is looking to sell the property soon and is in favour of having a specific heritage designation on the house. He noted that this property has great significance in Port Credit and requires attention. Robert Cutmore and Cameron McCuaig will follow up on this matter and report back to the Committee.

RECOMMENDATION

HAC-0033-2016

That the Heritage Designation Subcommittee verbal update provided by Cameron McCuaig, Citizen Member, be received for information.

APPROVED (M. Wilkinson)7.2 Public Awareness Subcommittee

Matthew Wilkinson advised that the Public Awareness Subcommittee will be meeting to discuss ideas for a publication and will provide more information at the next Heritage Advisory Committee meeting.

8 INFORMATION ITEMS

8.1 Facility Naming and Dedications Policy

Memorandum from Paula Wubbenhorst, Senior Heritage Coordinator, dated May 20, 2016.

RECOMMENDATION

HAC-0034-2016

That the Memorandum dated May 20, 2016 from Paula. Wubbenhorst, Senior Heritage Coordinator entitled "*Facility Naming and Dedications Policy (Information*

Item)" be received for information.

APPROVED (Councillor C. Parish)

8.2 Significant Tree Nomination – Miles Lane Tree 1 by Ursula Keuper-Bennett, Mississauga Watch for information

Councillor Parish inquired if the 5 or 6 old apple trees will be torn down, and if so, if there is anything that can be done to preserve them. Ms. Wubbenhorst advised that she is not certain if the trees are at risk and said that the application was submitted to the Forestry Department as part of the Significant Trees Program. She said however, that these trees must be on City owned property to be eligible to be added to the Significant Trees inventory. Councillor Parish directed staff to look into this matter further and report back. Ms. Wubbenhorst advised that the trees would have to meet the criteria in order to designate them.

Mr. Wilkinson noted that an apple orchard naturally deteriorates within a span of approximately 70 to 90 years and in his opinion these trees have reached the end of their life span, and it may be too late to preserve them.

RECOMMENDATION

HAC-0035-2016

1. That the document entitled "Significant Tree Nomination – Miles Lane Tree 1 "Waterhouse" et al, be received for information.
2. That staff be directed to look into the feasibility of preserving the apple trees on the property located on Miles Lane Concession 1, Lot 14 NDS.

APPROVED (M. Wilkinson)

9. OTHER BUSINESS

- (a) Cameron McCuaig, spoke to an item on the March 30th Council Agenda regarding the approval for an Environment Assessment of 2 active transportation crossings at the Credit River and the QEW for pedestrians and cyclists. Mr. McCuaig fully supports this initiative. Mr. McCuaig further noted that in his view, this represents a heritage opportunity as if this bridge is built it will overlook a vista that was critically important in the history of the City. Mr. McCuaig noted that staff involved in this initiative may already be considering a heritage designation, but if not that consideration be given to do so. Mr. Warrack advised that staff are aware of the heritage elements.
- (b) Mr. Holmes advised that he had a discussion with Mumtaz Alikhan, Legislative Coordinator, regarding the difficulty in getting an architect to attend the Meadowvale Village Heritage Conservation District Advisory Sub-Committee meetings. He said that it is important to ensure that an architect member of the Heritage Advisory Committee attend these meetings. Staff were requested to

pursue this matter further.

10. DATE OF NEXT MEETING – July 12, 2016, Council Chamber, Civic Centre
11. ADJOURNMENT – 10:48 P.M.

DRAFT

City of Mississauga
Corporate Report



Date: 2016/06/16

To: Chair and Members of Heritage Advisory Committee

From: Paul Mitcham, P. Eng, MBA, Commissioner of
 Community Services

Originator's files:

Meeting date:
 2016/07/12

Subject

Request to Alter 1011 Old Derry Road (Ward 11)

Recommendation

1. That the request to alter the property at 1011 Old Derry Road, as described below, be denied.
2. That should the above recommendation be upheld, but the applicant wish to proceed with the fence application only, the request for board on board (privacy) fencing along the west side (Pond Street facing) of the rear yard be denied.

Report Highlights

- The owner of the subject property requests permission to install an in-ground swimming pool and enclosure in the Meadowvale Village Heritage Conservation District
- The proposal includes additional built form, including decks and a large armour stone retaining wall that will alter the existing topography
- The proposal does not comply with the 2014 Meadowvale Village Heritage Conservation District Plan

Background

The subject property is designated under the *Ontario Heritage Act* as it forms part of the Meadowvale Village Heritage Conservation District (HCD). The owner proposes to install an in-ground swimming pool and make grade changes in order to accommodate it.

The applicant submitted a separate fence application for the pool enclosure. The application is for a board on board (privacy) fence on the north and west sides of the rear yard. Because the fence application does not meet the criteria for non-substantive alterations (it does not fully comply with the HCD plan), it is included here for review as part of the heritage permit application.

Present Status

The Meadowvale Village Heritage Conservation District Advisory Subcommittee recommended approval of the application on June 7, 2016.

Comments

Pools and changes to lot grade constitute substantive alterations in the 2014 Meadowvale Village Heritage Conservation District Plan. Additionally, fences that do not comply with the plan are subject to the substantive review process. As such, a heritage permit is required.

Photographs of the property, two site plans, one marked "Permit" (metric), the other marked "Layout 2" (imperial), as well as three section drawings, the applicant's notes, material samples and a fence detail are attached as appendices 1 thru 7 respectively. A location map, showing the contours of the property, is attached as Appendix 8. This map illustrates that the property's rear yard drops down at least two metres (6.56 feet).

A vinyl lined steel walled in-ground pool is proposed to the rear of the existing shared detached garage. A new patio and decking are also proposed to provide access from the driveway and residence. An additional patio is proposed at grade level in the northwest corner. An armour stone retaining wall is proposed to support the installation of the pool and raised western deck, which provides access to the pool steps.

The proposed wall is at its largest on the west (Pond Street) side where it measures six feet high (1.8 metres) by twenty-three feet wide (7 metres). The boulders "will vary in dimension and size but will average about 20x20x20 inches" (50.8 x 50.8 x 50.8 cm). The alteration in topography is significant and greatly changes the relationship of the subject property to neighbouring properties.

Plantings are proposed for privacy and to mitigate the appearance of the armour stone wall. Additionally, a six foot (1.8 metre) wood board on board fence is proposed on the north and west sides of the property. The chain link fence on the east side would remain, according to the site plan drawings; (the section drawing suggests a different "proposed fence" on the east side).

The HCD Plan outlines a number of criteria upon which to evaluate a heritage permit application. These include the following:

- a) Impact to individual heritage property attributes;
- b) Impact to the HCD's form, scale, density and character;
- c) Impact to the immediate streetscapes;
- d) Impact to abutting properties;
- e) Visibility from the public realm;
- f) Degree of change to existing lot grade; and
- g) Quality of proposal, including but not limited to:
 - Compliance to Design Guidelines

- Compliance to applicable City by-laws
- Retention, restoration and reuse of original materials

Each of these criteria are examined below.

Criteria	Evaluation
Impact to individual heritage property attributes	The house at the subject property is one of the two modern brick houses built in 1989/1990 side by side on Old Derry Road. The subject property's statement of significance relates to the built form of the house, garage, shared drive and open space within the lot. As such, the proposal has an impact on the property's open space. The construction of the pool, deck and armour stone wall would greatly reduce the open space on the property.
Impact to the HCD's form, scale, density and character	<p>The HCD Plan's "Heritage Conservation Context" (Part 2) provides the reference point for these criteria of consideration. This section notes that: Open vegetation areas, lack of density in built form, low volume lot coverage, traditional late nineteenth century landscaping and soft, naturalized landscaping characterize the district.</p> <p>Additionally, heritage attributes of note include:</p> <ul style="list-style-type: none"> • A consistency of building types, modest in architectural detail, vernacular style and size, reflecting the nineteenth century development of a milling village. • Later twentieth century residential styles that are compatible with the district character from a scale, materiality and massing perspective. <p>With its extensive built form and hardscaping, the proposal does not comply with the plan's Heritage Character Statement. Additionally, the built form proposed – the armour stone wall – is not vernacular, nor is it compatible with the scale, materiality and massing of landscape features within the district character.</p>
Impact to the immediate streetscapes	Because the property drops significantly to the rear and due to the existence of the residence and garage, the proposal would not be visible from Old Derry Road. Currently the rear yard is visible from Pond Street. The guidelines permit privacy fencing when not visible from the public realm. If compliant fencing is installed (to be discussed below), the proposal would be visible from Pond Street.
Impact to abutting properties	The proposal would be visible to the abutting properties. With the significant grade changes, the pool would sit above the northern and western fence lines, creating an overlook situation on abutting properties.
Visibility from the	As mentioned previously, the proposal would be visible from Pond Street.

public realm	
Degree of change to existing lot grade	The change in lot grade to accommodate the proposal is 1.8 metres (6 feet) at its highest point. Fill, decks and retaining walls are proposed to mitigate the grade changes. The significant topographical alteration is not supported in the HCD Plan.
Compliance to Design Guidelines	<p>Relevant guidelines from the Meadowvale Village Heritage Conservation District Plan include:</p> <p>Fences (4.2.1.13) Fencing, in keeping with traditional fencing styles within the Village, when required for safety and security, will be permitted where the following conditions are satisfied:</p> <ul style="list-style-type: none"> • Sited within the boundary of the private property • Constructed of fence materials which currently exist within the Village • Complies with City by-laws <p>Privacy fencing will be permitted in areas where it cannot be viewed from the public realm.</p> <p>Landscaping and Planting (4.2.1.14)</p> <ul style="list-style-type: none"> • The replacement of mature trees is encouraged • The use of native species known to the area is encouraged • Retaining walls deemed necessary to preserve natural features are permitted • The retention of existing open space is encouraged <p>Topography (4.2.4.6) Existing topography, natural drainage, mature vegetation and large diameter trees should be retained.</p> <p>The proposed fence is required for safety due to the fact that it is a pool enclosure. It is proposed to be “pressure treated” or cedar. To comply with the guidelines, the fence on the west side, which is visible from the public realm, should be picket style, rather than board on board, with openings at the maximum allowable under the pool enclosure by-law. An iron fence is another “traditional fencing style” option that could be designed to meet both the HCD plan and the pool enclosure by-law.</p> <p>A replacement – somewhat wider – garage is proposed on the property that lies between the subject property and Pond Street. However, it appears that a narrow view corridor would remain. The Plan’s statement of cultural heritage value or interest states: “The narrow side streets retain</p>

	<p>an open character with views and vistas both to and from residential properties, void of privacy fencing, united by large open yards of green space and mature trees.”</p> <p>When asked about the number of trees that are at risk, the applicant’s agent stated that “The existing trees are meant to be replaced with healthier native plants.” He also states that “all plants will be chosen to be in line with the Heritage style of the neighbourhood.”</p> <p>The proposed retaining wall is for the purposes of supporting a pool installation rather than natural features. The proposal also represents a loss of existing open space. The proposal requires changes to the topography and natural drainage and several trees would be lost.</p>
Compliance to applicable City by-laws	The application is being vetted through the proper pool permit procedures to ensure it complies with applicable City by-laws.
Retention, restoration and reuse of original materials	There is no retention, restoration or reuse of original materials.

Overall, the main concern is the armour stone retaining wall. It is not compatible with the character of the neighbourhood and greatly alters the existing topography. While plantings and fencing may minimize the appearance at some point in time, it will take time for plantings to have the desired camouflaging effect. Additionally, plantings and fencing are easily reversed. They may be removed by a future owner, exposing the large wall. A sense of stewardship should prevail in consideration of the long term negative impact of this proposal on the HCD.

For all of the above stated reasons, Heritage Planning staff recommend that the proposed changes not be approved.

Financial Impact

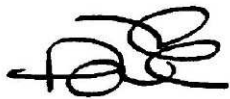
Not applicable.

Conclusion

The City is in receipt of an application to install a swimming pool at a property that is designated under Part V of the *Ontario Heritage Act* as it forms part of the Meadowvale Village Heritage Conservation District. Due to a steep drop in the property’s grade, a large armour stone retaining wall is proposed to support the proposed installation. This wall in particular is not compatible with the district character, nor does it comply with the guidelines. As such, the application should be denied.

Attachments

- Appendix 1: Property photos provided by applicant
- Appendix 2: "Permit" Site Plan
- Appendix 3: "Layout 2" Site Plan
- Appendix 4: Section drawings
- Appendix 5: Applicant Notes
- Appendix 6: Material Samples
- Appendix 7: Fence Detail
- Appendix 8: City map showing contours



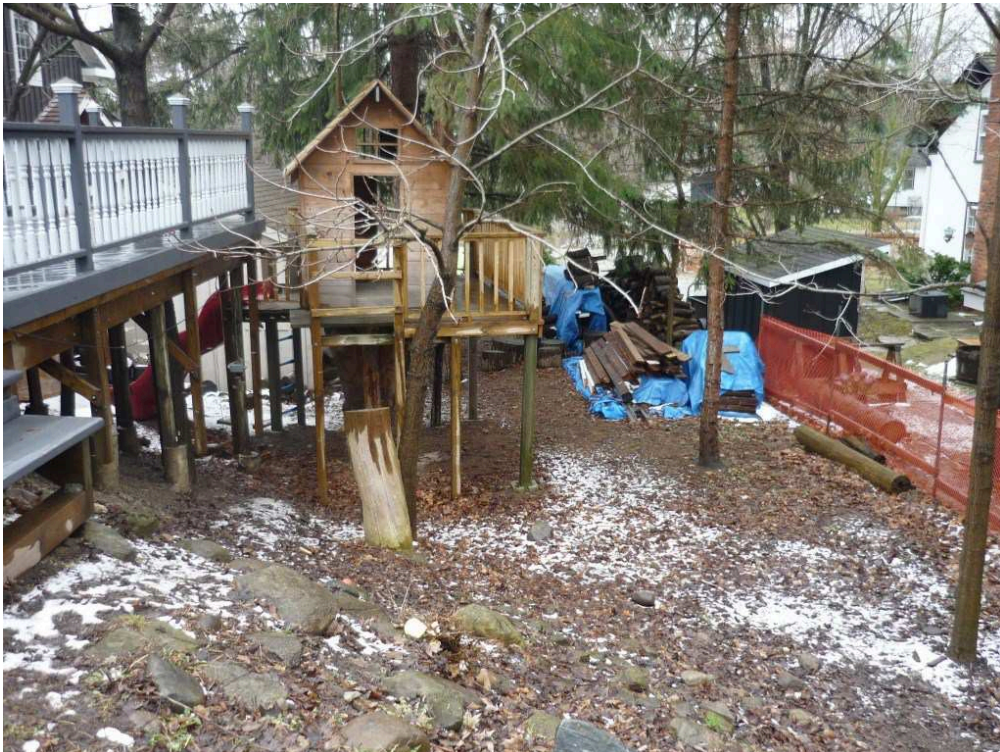
Paul Mitcham, P. Eng, MBA, Commissioner of Community Services

Prepared by: P. Wubbenhorst, Senior Heritage Coordinator

6.1 - 7
Appendix 1



6.1 - 8
Appendix 1

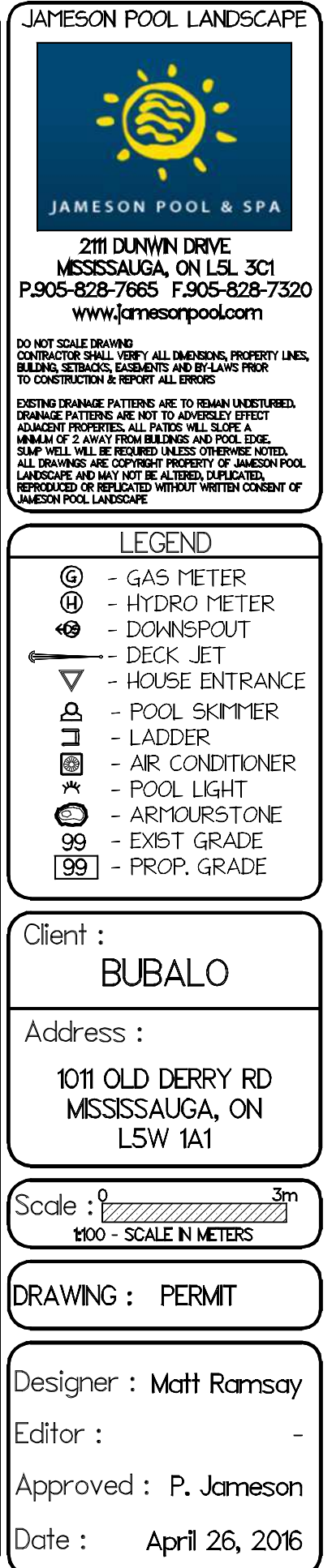


6.1 - 9
Appendix 1



6.1 - 10
Appendix 1





GRADES TO REMAIN UNCHANGED AT PROPERTY LINES
SLOPES AND DRAINAGE TO REMAIN AS UNCHANGED AS POSSIBLE
DECORATIVE PLANTING TO CONTINUE AROUND PROPERTY

JAMESON POOL LANDSCAPE



2111 DUNWIN DRIVE
MISSISSAUGA, ON L5L 3C1
P.905-828-7665 F.905-828-7320
www.jamesonpool.com

DO NOT SCALE DRAWING
CONTRACTOR SHALL VERIFY ALL DIMENSIONS, PROPERTY LINES,
BUILDING, SETBACKS, EASEMENTS AND BY-LAWS PRIOR
TO CONSTRUCTION & REPORT ALL ERRORS

EXISTING DRAINAGE PATTERNS ARE TO REMAIN UNDISTURBED.
DRAINAGE PATTERNS ARE NOT TO ADVERSELY EFFECT
ADJACENT PROPERTIES. ALL PATIOS WILL SLOPE A
MINIMUM OF 2 AWAY FROM BUILDINGS AND POOL EDGE.
SUMP WELL WILL BE REQUIRED UNLESS OTHERWISE NOTED.
ALL DRAWINGS ARE COPYRIGHT PROPERTY OF JAMESON POOL
LANDSCAPE AND MAY NOT BE ALTERED, DUPLICATED,
REPRODUCED OR REPLICATED WITHOUT WRITTEN CONSENT OF
JAMESON POOL LANDSCAPE

LEGEND

- ⓐ - GAS METER
- ⓗ - HYDRO METER
- Ⓢ - DOWNSPOUT
- - DECK JET
- ▽ - HOUSE ENTRANCE
- Ⓜ - POOL SKIMMER
- Ⓛ - LADDER
- Ⓢ - AIR CONDITIONER
- ☀ - POOL LIGHT
- Ⓢ - ARMOURSTONE
- 99 - EXIST. GRADE
- 99 - PROP. GRADE

Client :

BUBALO

Address :

1011 OLD DERRY RD
MISSISSAUGA, ON
L5W 1A1

Scale : 0 5 10
1/8" = 1'-0" - SCALE IN FEET

DRAWING : LAYOUT 2

Designer : Matt Ramsay

Editor : -

Approved : P. Jameson

Date : April 20, 2016

GRADES TO REMAIN UNCHANGED AT PROPERTY LINES
SLOPES AND DRAINAGE TO REMAIN AS UNCHANGED AS POSSIBLE
DECORATIVE PLANTING TO CONTINUE AROUND PROPERTY
TO PREFER NATIVE SPECIES

6.1 12
DECORATIVE PLANTING
AROUND PROPERTY
TO USE NATIVE SPECIES

TOP OF RETAINING WALL SET @72"
GRADES TO REMAIN UNCHANGED
WITHIN 2' OF THE PROPERTY LINE
DRAINAGE PATTERN TO REMAIN UNCHANGED

LOWER PATIO AREA
SET @ EXIST. GRADE
PERMACON MONDRIAN 50

DECORATIVE PLANTING AROUND
PROPERTY LINE
NATIVE SPECIES

TOP OF RETAINING WALL SET @72"
GRADES TO REMAIN UNCHANGED
WITHIN 2' OF THE PROPERTY LINE
DRAINAGE PATTERN TO REMAIN UNCHANGED

TOP OF RETAINING WALL SET @24"
GRADES TO REMAIN UNCHANGED
WITHIN 2' OF THE PROPERTY LINE
DRAINAGE PATTERN TO REMAIN UNCHANGED

WOODEN DECK
FOR THE LOUNGERS

WOODEN STAIRS TO LOWER LEVEL
TO BE REVIEWED FOR BEST FIT

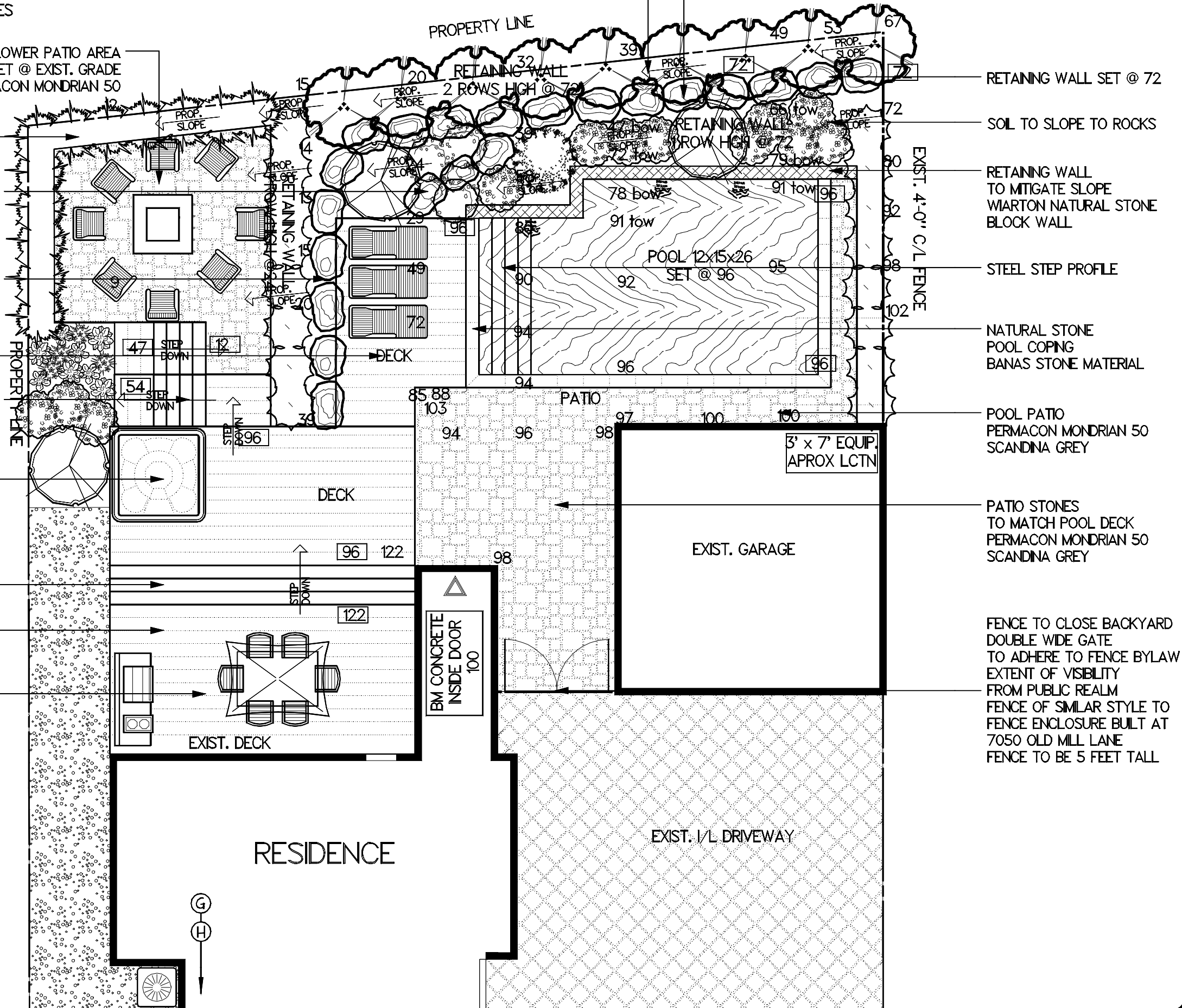
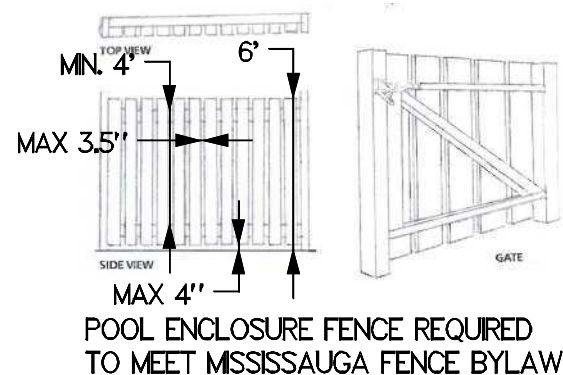
RELOCATED HOT TUB

TRANSITION STEP
TO LOWER PATIO

EXISTING DECK HEIGHT

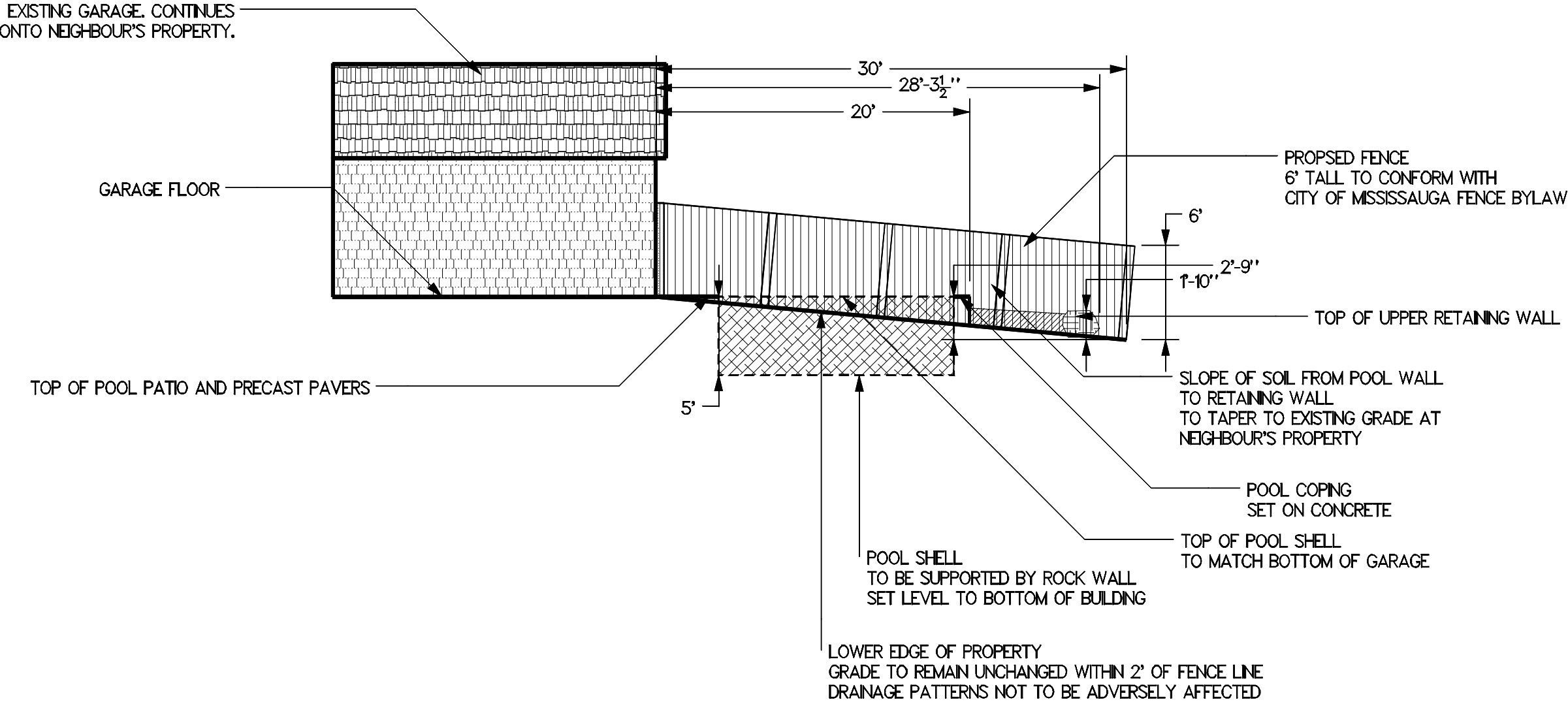
KITCHEN AND DINING AREA

FENCE DETAIL



VIEW FROM 1009 OLD DERRY RD

ALL POOL AND WALL COMPONENTS
TO BE HIDDEN BY FENCE AND DECORATIVE PLANTING
NO DESIGN COMPONENTS TO BE WITHIN 2' OF THE PROPERTY LINE
DRAINAGE PATTERNS NOT TO BE ADVERSELY AFFECTED



JAMESON POOL LANDSCAPE



JAMESON POOL & SPA

2111 DUNWIN DRIVE
MISSISSAUGA, ON L5L 3C1
P.905-828-7665 F.905-828-7320
www.jamesonpool.com

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DRAINAGE PATTERNS ARE NOT TO ADVERSELY EFFECT
ADJACENT PROPERTIES. ALL PATIOS WILL SLOPE A
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LEGEND

- ⓐ - GAS METER
- ⓗ - HYDRO METER
- Ⓢ - DOWNSPOUT
- Ⓣ - DECK JET
- ▽ - HOUSE ENTRANCE
- Ⓟ - POOL SKIMMER
- Ⓛ - LADDER
- Ⓢ - AIR CONDITIONER
- Ⓢ - POOL LIGHT
- Ⓢ - ARMOURSTONE
- 99 - EXIST GRADE
- 99 - PROP. GRADE

Client :
BUBALO

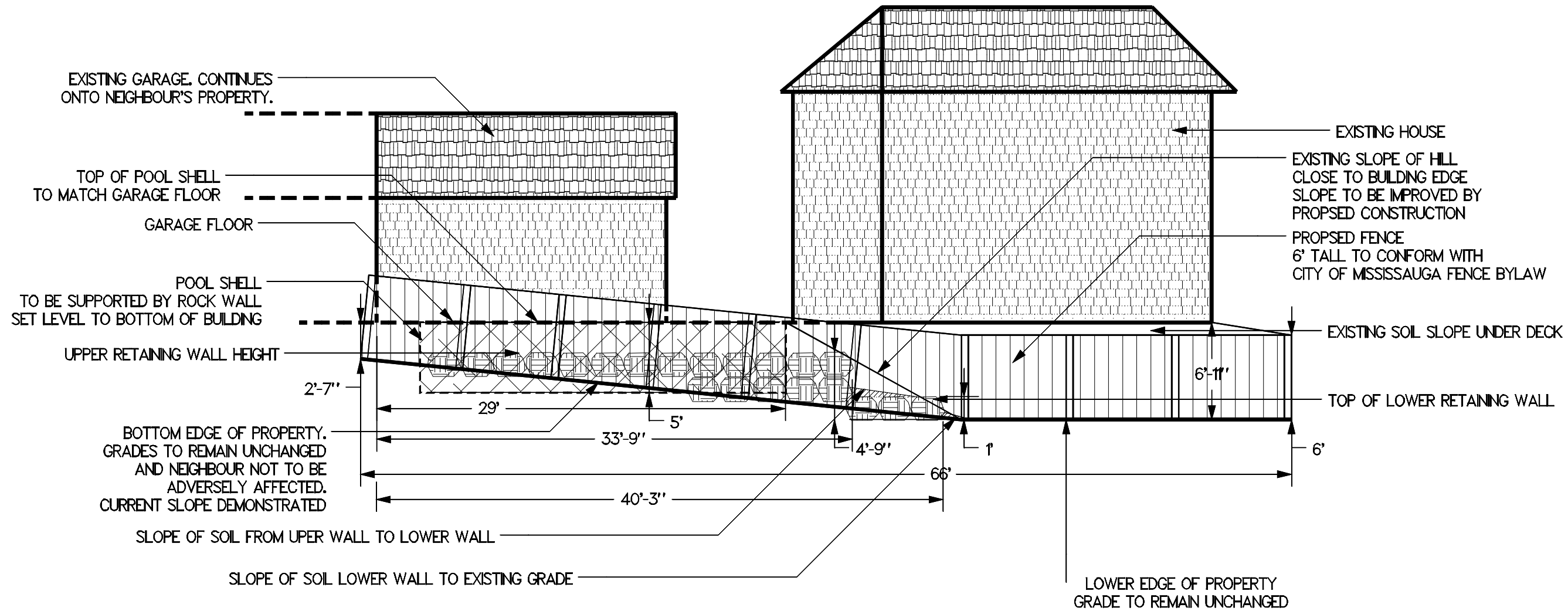
Address :
1011 OLD DERRY RD
MISSISSAUGA, ON
L5W 1A1

Scale : 0 5 10
1/8" = 1'-0" - SCALE IN FEET

DRAWING : SECTION

Designer : Matt Ramsay
Editor : -
Approved : P. Jameson
Date : April 20, 2016

VIEW FROM 7015 POND ST
 ALL POOL AND WALL COMPONENTS
 TO BE HIDDEN BY FENCE AND DECORATIVE PLANTING
 NO DESIGN COMPONENTS TO BE WITHIN 2' OF THE PROPERTY LINE
 DRAINAGE PATTERNS NOT TO BE ADVERSELY AFFECTED



POND ST ----->



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Scale : 0 5 10
 1/8" = 1'-0" - SCALE IN FEET

DRAWING : SECTION

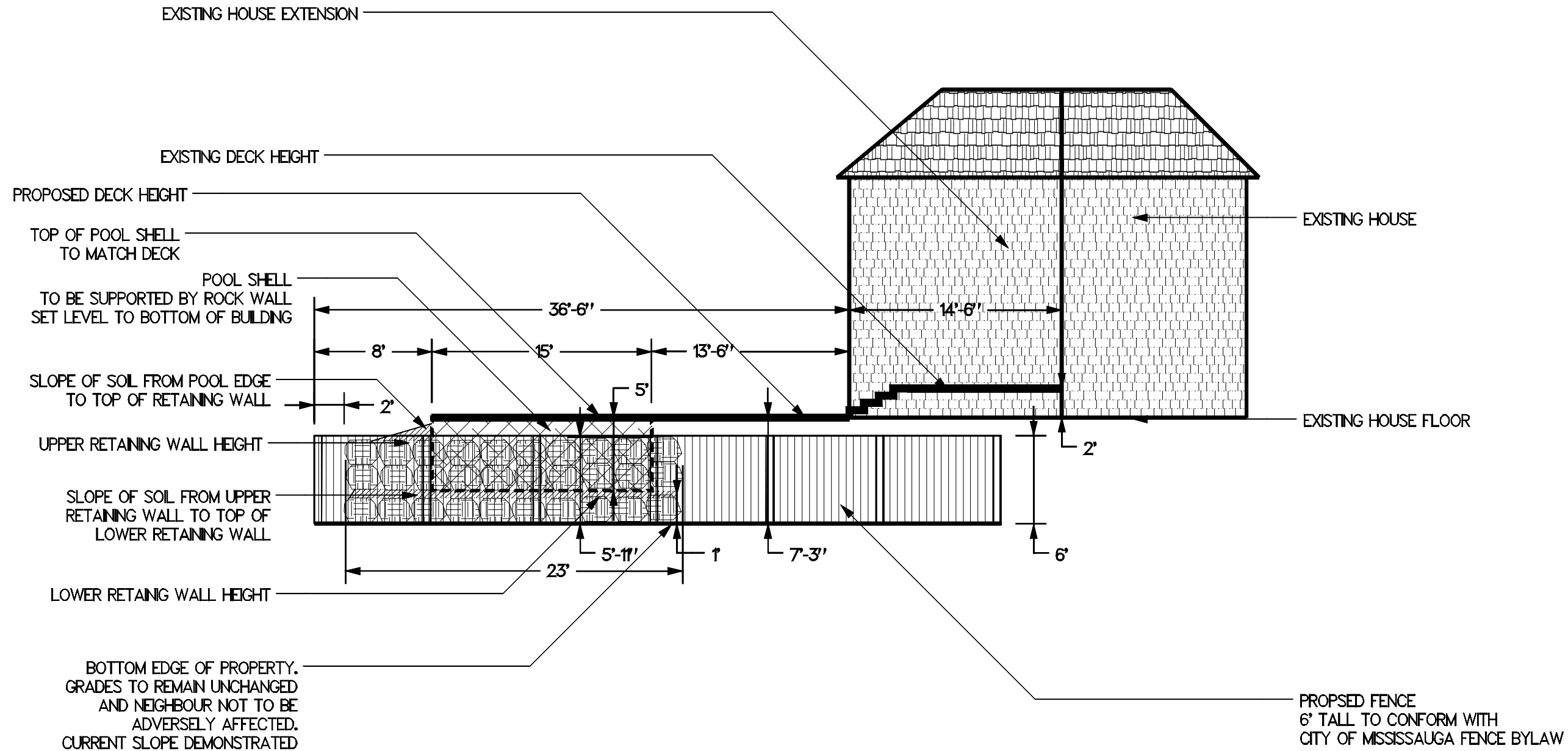
Designer : Matt Ramsay

Editor : -

Approved : P. Jameson

Date : April 20, 2016

VIEW FROM 7005 POND ST
 ALL POOL AND WALL COMPONENTS
 TO BE HIDDEN BY FENCE AND DECORATIVE PLANTING
 NO DESIGN COMPONENTS TO BE WITHIN 2' OF THE PROPERTY LINE
 DRAINAGE PATTERNS NOT TO BE ADVERSELY AFFECTED



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- Ⓒ - DOWNSPOUT
- Ⓓ - DECK JET
- Ⓔ - HOUSE ENTRANCE
- Ⓕ - POOL SKIMMER
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Client :
 BUBALO

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Scale : 0 5 10
 1/8" = 1'-0" - SCALE IN FEET

DRAWING : SECTION

Designer : Matt Ramsay

Editor : -

Approved : P. Jameson

Date : April 20, 2016

1011 Old Derry Rd – Potential views from the public realm.

View from Old Derry Rd.

The majority of the view of the backyard from the street at 1011 Old Derry Rd will be blocked by the two existing buildings (the house and the garage). The small view corridor that exists will be blocked by a wood fence and gate that meets the City of Mississauga Fence Bylaw for Pool Enclosures. All of the proposed pool and Landscaping will be taking place below the height of the existing garage floor.

View from Pond St.

The existing narrow view corridor that is seen from Pond St will soon be blocked by the proposed 2 storey garage structure currently under construction (and approved by the city of Mississauga) at 7006 Pond St. Additionally, a 6' fence will be built to be in accordance with the City of Mississauga Fence Bylaw for Pool Enclosures. Behind this proposed fence will be privacy planting to further obscure the view. All plants will be chosen to be in line with the Heritage style of the neighbourhood.

View from 7015 Pond St.

(See attached Section drawing)

The final view to be impacted is the View from 7015 Pond St looking toward Old Derry Rd. The majority of the construction will take place below the 6' fence that is required by the City of Mississauga Fence Bylaw for Pool Enclosures. Any construction (namely the pool) that does take place higher than the fence height will be further obscured by the privacy planting that will be chosen to be in line with the Heritage style of the neighbourhood.

A Brief Note on Materials.

The materials for the project have been chosen to keep as close to the heritage bylaw as possible while still adhering to the full functional requirements that the site demands. Armour stone has been chosen as it is a natural product that is commonly found in the area, but it also provides the structural stability that cannot be found in many other walls (these less stable walls include many precast walls as well as dry stacked flagstone and rubble walls)



“Rock Wall”

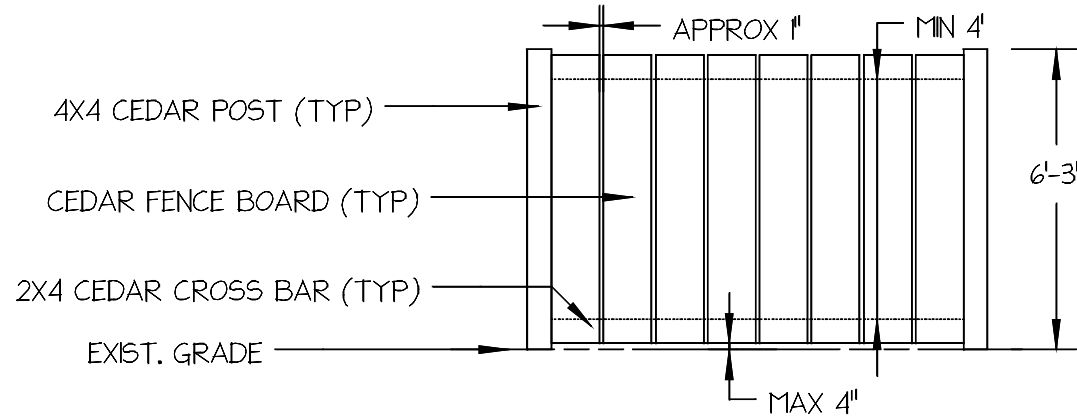


“Warton Natural Stone Block Wall”

BUBALO FENCE

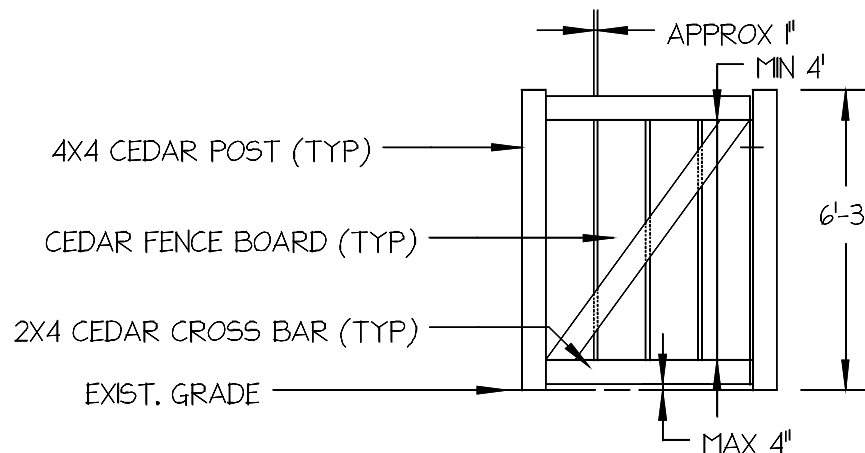
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Appendix 7



FENCE SECTION

AS PER CITY OF MISSISSAUGA BYLAW
 BOTTOM OF FENCE MAX 4" ABOVE GRADE
 MIN 4' BETWEEN CROSS BARS
 APPROX 1" SPACING BETWEEN FENCE BOARDS
 TO CREATE A PRIVACY FENCE AT BACK OF
 PROPERTY OUTSIDE PUBLIC REALM



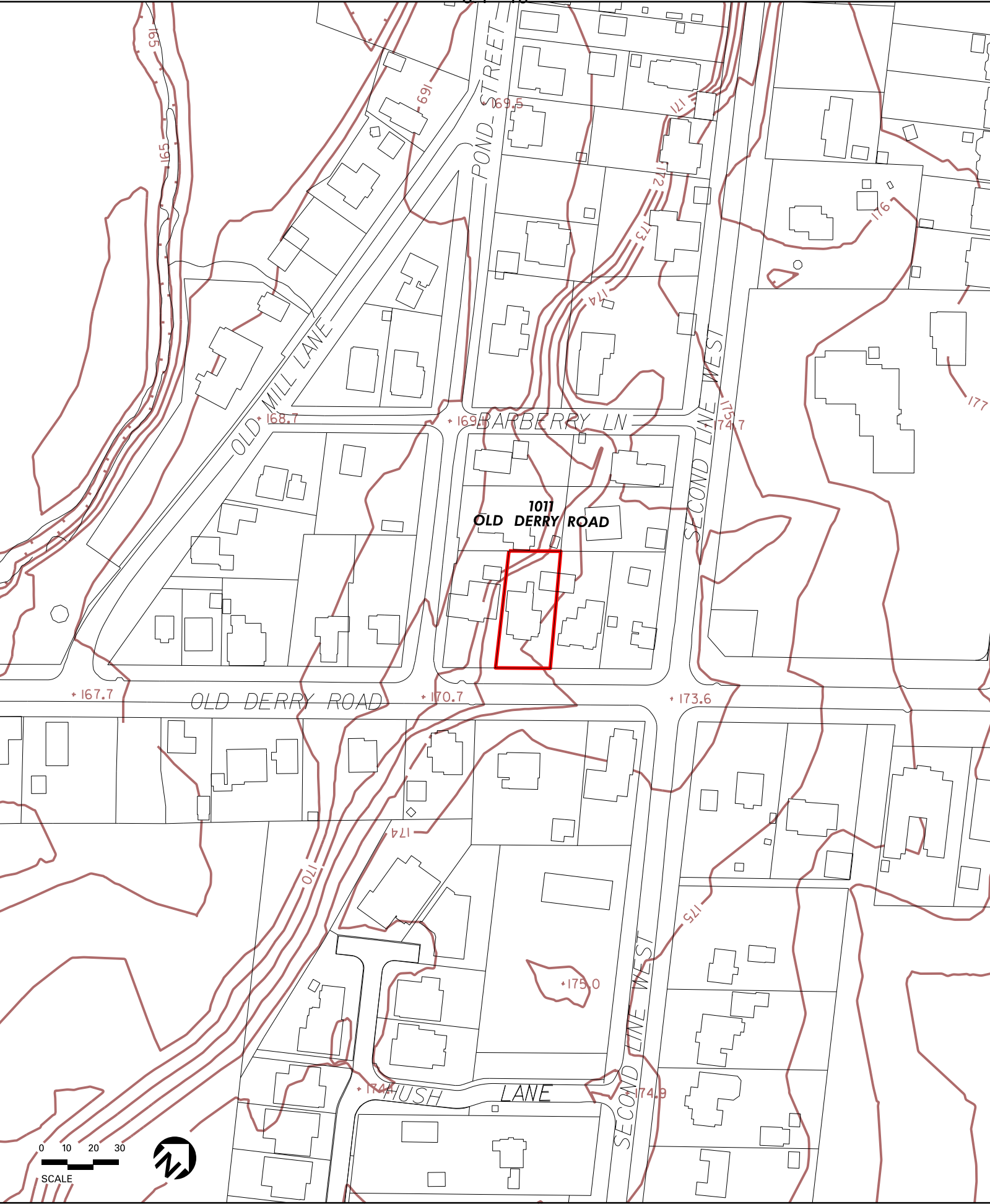
GATE SECTION

AS PER CITY OF MISSISSAUGA BYLAW
 POOL ENCLOSURE BYLAWS
 GATE MUST BE SELF CLOSING
 MUST BE SELF LATCHING
 MUST BE LOCKABLE

AS PER CITY OF MISSISSAUGA BYLAW
 BOTTOM OF GATE MAX 4" ABOVE GRADE
 CROSS BARS TO BE INSIDE THE ENCLOSURE
 APPROX 1" SPACING BETWEEN FENCE BOARDS
 TO CREATE A PRIVACY FENCE AT BACK OF
 PROPERTY OUTSIDE PUBLIC REALM



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City of Mississauga

Corporate Report



Date: 2016/06/16

To: Chair and Members of Heritage Advisory Committee

From: Paul Mitcham, P. Eng, MBA, Commissioner of
Community Services

Originator's files:

Meeting date:
2016/07/12

Subject

Request to Alter 7004 Second Line West (Ward 11)

Recommendation

That the request to alter the property at 7004 Second Line West be approved with the following conditions:

- No simulated dividers be employed on the windows
- The proposed replacement door be simplified
- Any repairs made to the original siding match the original material and dimensions

Report Highlights

- The owner of the subject property has applied to add a substantial addition to the existing one and a half storey dwelling
- The proposal complies with the 2003 Meadowvale Village Heritage Conservation District Guidelines, to which it is subject
- As such, the proposal should be approved with some minor conditions

Background

The subject property is designated under the *Ontario Heritage Act* as it forms part of the Meadowvale Village Heritage Conservation District (HCD). This 19th century structure is one of the original plank-on-plank constructions found within the village. The owner began the site plan application process in 2013 (SP 13/122) for a two storey addition to the existing one and a half storey dwelling. The corresponding heritage permit application is now complete. The drawings are included in the Heritage Impact Study (HIS), by Strickland Mateljan Design + Architecture, attached as Appendix 1. Site plan drawings and an additional streetscape drawing are attached as appendices 2 and 3 respectively.

The former Meadowvale Village Heritage Conservation District Review Committee reviewed preliminary plans in 2013. The Committee recommended "approval in principle" with final approval "to be determined after review of the site plan working drawings, which should indicate all exterior materials and window sizes." Some minor changes have ensued since that time.

Because the owner submitted the site plan application before the 2014 Meadowvale Village Heritage Conservation District Plan took effect, the proposal is being evaluated against the 2003 Meadowvale Village Heritage Conservation District Guidelines.

Present Status

The Meadowvale Village Heritage Conservation District Advisory Committee endorsed the staff recommendation on June 7, 2016.

Comments

The proposal is a two storey addition at the northwest of the existing dwelling. While two storeys in height, the dip in the natural topography would make it appear lower. A more recent addition to the existing board on board dwelling would be removed. The proposed addition would be largely clad in rough-cast stucco with some elements clad in new horizontal siding. The siding on the existing dwelling would remain but the newer non-sympathetic windows and casings would be replaced with new units detailed to look more appropriate for the age of the building.

The 2003 Meadowvale Village HCD guidelines for alterations and additions are listed below, with the staff evaluation alongside.

Guideline	Evaluation
1. Preserve and use existing buildings	The original board and board one and a half storey dwelling would be retained. Windows and casings would be replaced, as would the front door. None appear to be original. As per the guidelines, "replacement elements should be similar to examples used historically in the village."
2. Buildings should not be moved to accommodate new additions or uses	The existing dwelling is not proposed for relocation.
3. Alterations should not make the structure appear to be older than it is	Any alterations to the existing dwelling are proposed to be appropriate for the time period of the existing dwelling.
4. Additions should take into account and respect the form, use, and setting of the original structure	Although large, the addition is proposed to the rear of the existing dwelling, taking advantage of the dip in the topography. The form and use – residential – are complementary.
5. Locate additions so that no alteration is made to the front facade	As above, the addition is proposed at the rear. Alterations to the front façade are limited to new windows in the existing openings.
6. Maintain the original roof shape and orientation	The roof would be asphalt, as permitted in the guidelines. The shape and orientation would not change.
7. Dormers may be added to increase headroom	N/A

8. Skylights and solar panels should not face street	N/A
9. Maintain original front porches and verandas	N/A. An elevated flagstone landing is proposed to replace the deteriorated front stoop, which the City considers an encroachment.
10. Maintain primary entrance in original location	No additional doors are proposed for the front façade. The proposed replacement door should be further simplified to be more consistent with the period of the existing dwelling.
11. Side and rear doors should be simple and unornamented	The doors proposed for the north and west elevations of the addition are simple and appear secondary from the primary entrance on the original dwelling.
12. Maintain original window pattern and proportions	The window proportions would be altered to restore the proportions typical of the age of the dwelling.
13. Repair and retain original windows	No original windows exist. The windows would be replaced with double hung windows. Simulated divided lites are proposed. As per the guidelines, “simulated dividers [...] should not be used.”
14. Maintain original exterior cladding.	The existing siding will remain. Every effort should be made to retain and conserve original wood construction. As per the guidelines, “repairs to wood siding should match the original dimensions and orientation.”
15. Centralized heating and cooling units, such as heat pumps, should not be visible from the street.	No such units are shown in the drawings.
16. Garages must be detached structures and should be located to the side or rear of the house	No garage is proposed. Note: There is an existing outbuilding of heritage value on the property. No alterations are proposed for this building.
17. Minimize the impact of on-site parking.	The parking pad is minimal and located to the side.
18. Walks and driveways should be constructed so they do not damage tree roots.	Permeable paving is proposed for the driveway. Walks are not shown.
19. Retain mature trees.	It appears that the trees are mostly at the site’s perimeter; i.e. the proposal would have little impact.
20. Fences demarking property lines should be retained.	The fence is not original, in poor condition and encroaches on City property. As such, it will be removed.

The proposal meets the 2003 design guidelines. However, three conditions are proposed as follows:

- No simulated dividers be employed on the windows
- The proposed replacement door be simplified
- Any repairs made to the original siding match the original material and dimensions

Staff recommend that “one over one” pattern windows be employed on the addition and “two over two” pattern, with true divided lites, be employed on the original dwelling.

Financial Impact

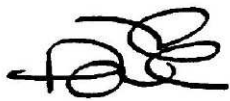
Not applicable.

Conclusion

The City is in receipt of an application for an addition to the subject heritage designated property. The proposal meets the applicable guidelines, as long as the conditions outlined in this memorandum are carried out. As such, conditional approval should be granted.

Attachments

- Appendix 1: Heritage Impact Study
- Appendix 2: Site Plan drawing, including detail
- Appendix 3: North streetscape drawing



Paul Mitcham, P. Eng, MBA, Commissioner of Community Services

Prepared by: P. Wubbenhorst, Senior Heritage Coordinator

~~JULY, 2015~~
(revised March, 2016)
(revised May, 2016)

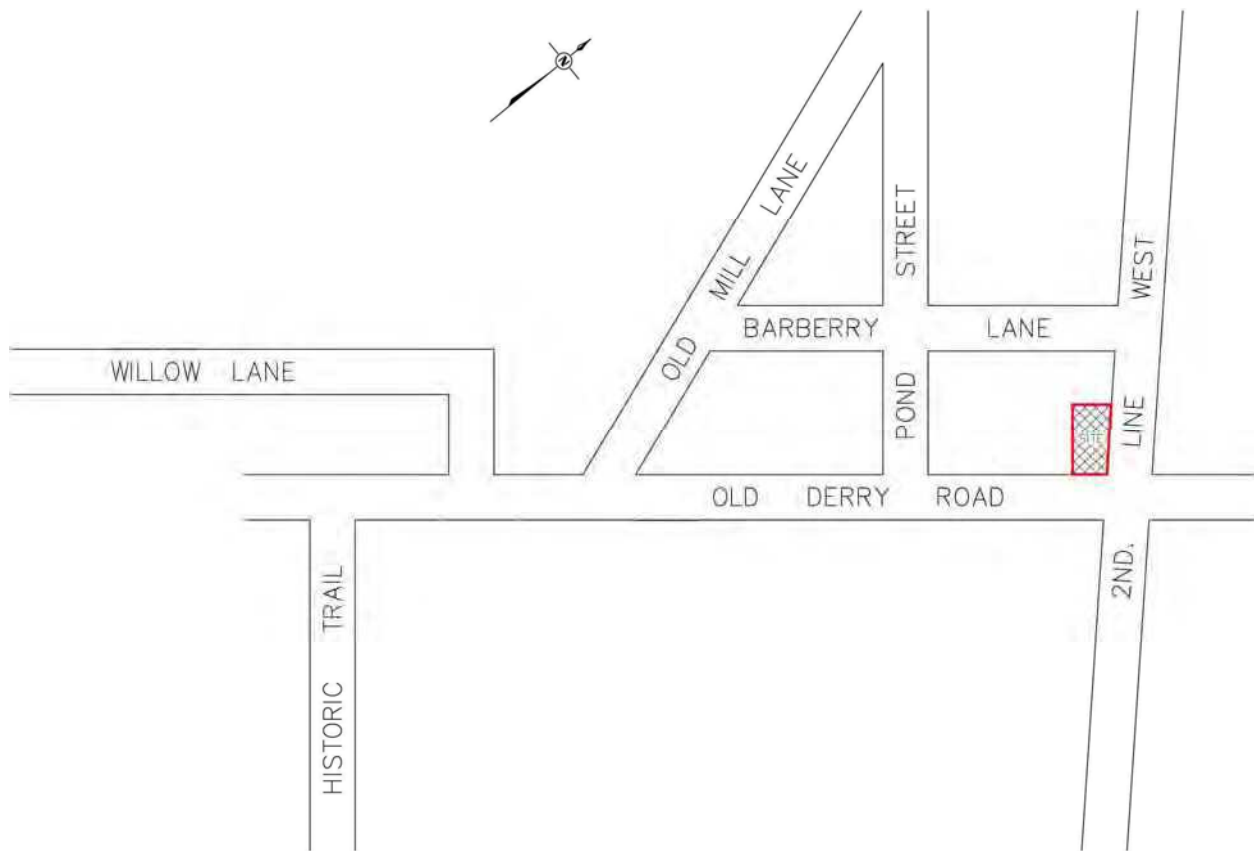
HERITAGE IMPACT STUDY
IMPACT OF PROPOSED RENOVATION
7004 SECOND LINE W., MISSISSAUGA



Overview:

This report is prepared to address the proposed re-development of the property at 7004 Second Line W., Mississauga, ON.

Rick Mateljan of Strickland Mateljan Design Associates Ltd. was engaged by the property owner to design a sympathetic addition to this presently un-inhabited property and to complete a Heritage Impact Study to assess the impact of this intervention.

Key map:**Meadowvale Village - Overview:**

Meadowvale Village was first settled in 1819 when 26 United Empire Loyalist families emigrated from New York State and took advantage of government land grants in this area. The land was at that time covered by pine forest but the settlers quickly understood the agricultural promise of the land and the community prospered. By the 1850's there were several mills, two hotels, a wagon shop, foundry and a school.¹

¹ A Heritage Tour – Meadowvale Village (Heritage Mississauga)(pamphlet)

The village retained its character and many of its original buildings through the 20th century. In 1980, in the face of a proposal to widen Derry Rd. West, demolish some original buildings and irreparably change the character of the community, local residents succeeded in having this designated Ontario's first Heritage Conservation District.

Site History:

7004 Second Line W. is part of the original Lot 11, Concession 3, west of Hurontario Street that was created by the Second Purchase of Land from the Mississauga First Nation in 1818 and surveyed by Timothy Street and Richard Bristol. Lot 11 is a 200 acre parcel that is bounded by modern day Second Line West and Creditview Rd. (previously Third Line West) to the east and west, and Old Derry Rd. to the south. The northern boundary is no longer recognizable but it is approximately half-way between Old Derry Rd. and Highway 407.





The history of Meadowvale Village begins with an original group of 26 families that settled this area under the leadership of United Empire Loyalist John Beatty. Beatty, born in Ireland but living in New York City, in 1817 petitioned the Lieutenant-Governor of Upper Canada for a grant of land for himself and his community. His efforts were successful and in 1818 5,000 acres in Toronto Township were set aside “for the reception of about 150 families . . . in the rear of Toronto Township”².

Beatty’s group left New York by caravan on May 1, 1819. They reached Toronto (then York) on May 28th and stayed for a while until their land grants were approved and then they headed west to what was known at the time as Toronto Township. Beatty’s grant was all of Lots 11 and 12, Concession 3, West of Hurontario Street. This comprised about 400 acres and consisted of the area now bounded by Old Derry Rd., Second Line West, Creditview Rd. and Highway 407.

The law at the time required that within 18 months of taking a claim of land the recipient had to erect a dwelling on the property, clear and fence 5 acres of land and clear the roadway in front of the property. The land was covered with white pine forest and the soil was suitable for agriculture and the early farmers were successful. The situation changed, however, with the arrival in the community in 1845 of Francis Silverthorne. Also of United Empire Loyalist stock, Silverthorne set about to create a lumber and

² Surveyor-General Thomas Rideout to Lieutenant-Governor Peregrine Maitland, quoted in Hicks, Kathleen, Meadowvale: Mills to Millennium, Chapter 3

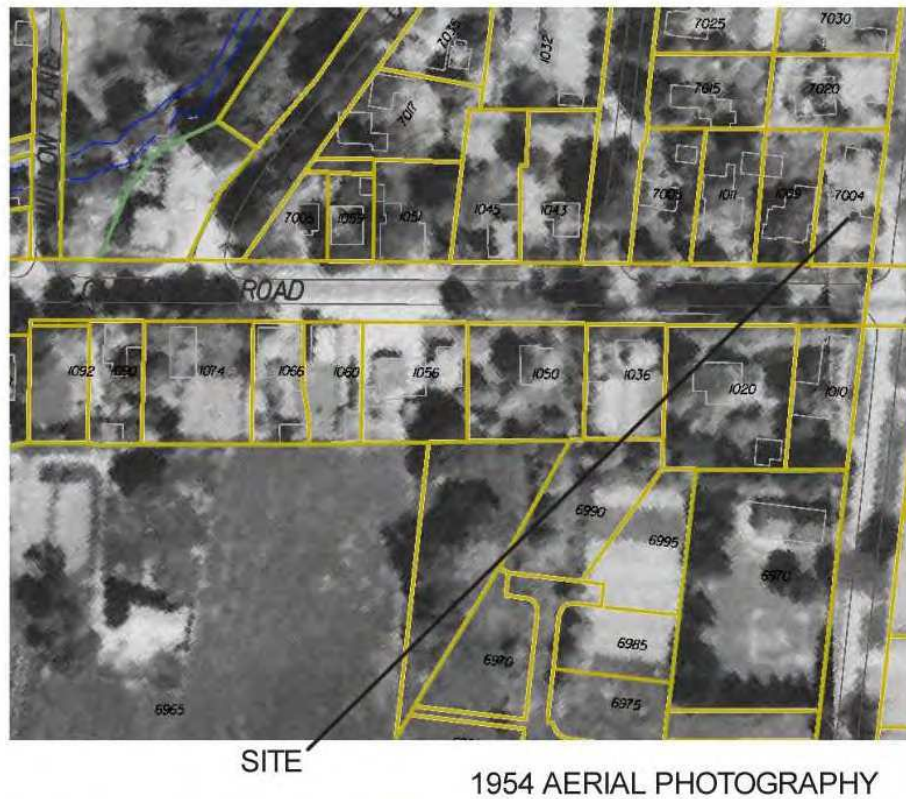
grist mill operation using power from the Credit River. By 1845 he had the mill in operation. It was known as Meadowvale Mills³.

Silverthorne continued to increase his land holdings locally and built houses for his workers and a store and by 1856 the beginning of a community was sufficiently established that he had surveyor Arthur Bristow draw a plan for a village that he wanted to create. The Bristow Plan of 1856 laid out what is now known as the Village of Meadowvale. The present 7004 Second Line West was Lot 1.



SILVERTHORN'S PLAN OF MEADOWVALE - 1856

³ Hicks, xvii



The community began to establish itself quickly and photographs from the early 20th century show a relatively dense development of 1 & 2-storey wood frame buildings located close to the streetline of Derry Rd. W.



⁴ Meadowvale – Mills to Millennium p. 60

lowest point about 1.5m below this. There are two buildings located on the site – a single family home and a small, wood-frame barn structure. Both are in poor condition. The subject property has not been inhabited since 2011.

There are some trees located around the perimeter of the site but it is otherwise unremarkable.



Air Photo showing site outlined in red



South-East view of existing building

Architectural Assessment of Existing Building:

North-West view of existing building



Existing Kitchen - Living Room beyond



Existing Basement - note original stone wall at right, later underpinning at left

General:

The existing building is a 1 ½ storey gable roof dwelling approximately 18'6" x 24'6". There is a one-storey rear entry and bathroom element approximately 10' x 12'6" and a large covered porch. There is an older stone foundation that has been underpinned at some point in the past. The underpinning appears to have been successful and the foundation appears to be solid. The basement is dry. There is no apparent foundation below the rear addition. The main house consists of a kitchen and living room at the main floor level and two bedrooms and bathroom at the second floor level. The finishing and overall condition of the building above grade is deteriorated and it is not in habitable condition.

There is some lateral deformation of the west (rear wall) visible from the outside of the building and some sagging of the main roof ridge. These will have to be investigated and remedied during construction.

The original house was constructed of board-on-board construction. This was an archaic method of building virtually unknown in Ontario except in the Meadowvale area wherein walls were created by stacking rough-sawn boards with overlapping joints at the corners and then applying a plaster finish on the interior and stucco finish on the exterior to create a finished wall. Only a small number of these houses remain in Meadowvale and those so constructed are particularly protected under the Conservation District Plan. This likely means that the house was originally stucco clad on the exterior and the present siding was added later.



Stacked plank construction viewed from the inside. Note crossed boards at the inside corner. This wall appears to never have been clad in plaster as was the usual practice

Siding:

The building is clad in horizontal wood siding. The wood siding is mis-matched on different elevations of the building. This is not uncommon on buildings of this vintage, especially those that are vernacular in character. The majority of the siding is horizontal ship-lap with some horizontal clapboard on the west elevation. The ship-lap appears generally in better condition and is probably the newer. Clearly the profiles were selected to appear similar in scale and appearance. The siding is generally in fair condition. It has obviously been painted and re-painted on several occasions and some areas will require repair or local replacement. Generally it is still serviceable, however.



Corner detail showing differential siding materials. Material at left is horizontal clapboard with 4" exposure. Material at right is 8" shiplap with center dado detail to make it appear as 4" widths. Corner boards are all later replacements.



Weathered and deteriorated clapboard siding

Rear Addition and Porches:

There is a rear one-storey enclosed element and a covered porch on the west elevation of the home. The enclosed portion functions as a small entry vestibule and bathroom. It is not original to the home as witnessed by the fact that deteriorated siding material is the wall covering on the east wall of the

vestibule and bathroom (the deterioration would suggest that this was built some time after the main house construction). The wall framing is typical studs as opposed to the stacked plank elsewhere. There is no foundation but a haphazard arrangement of wood posts bearing directly on the earth. It has been unsympathetically altered by the inclusion of an unsympathetic new window and trim arrangement on the south elevation. The appearance of the framing materials and the weathering of the exterior siding exposed on the interior would indicate a probable early 20th century construction, although this cannot be verified. The covered porch is a much later (likely a late 20th century addition) with a translucent plastic roof. There is minimal architectural or heritage value in either of these structures.



South-west oblique view showing rear addition. Note lack of foundation at addition.



West elevation of rear addition and later covered porch. Note deformation of upper roof/rear wall on main building.



South elevation of rear addition showing newer windows, haphazard, poorly detailed trims, deteriorated siding.



North elevation of rear addition. Note later translucent roof above porch



Rear addition under floor framing. House stone foundation is beyond. Note agglomeration of old and new posts, extensive deterioration, lack of insulation, haphazard construction



Interior view from vestibule toward front door. Note newer drywall on north wall of vestibule, older siding material on west wall of vestibule, stacked plank construction visible in living room beyond



Bathroom interior showing older siding material as wall finish. Note patched siding material at upper left

Windows and trims:

The windows are a mix of later wood and vinyl double hung, casement and horizontal sliders. None of the windows are original to the home. Most appear to be late 20th century or newer.

Along with the loss of the original windows there has been a complete loss of the original window trims. The casings appear to have been replaced with a built-up agglomeration of trimwork that varies around the house but generally consists of a flat architrave-type casing built out over the presumed original casing (the original casings may be beneath the new ones but their condition is unknown). Within this built out casing is a second flat casing surrounding the window unit. The built-out casing protrudes

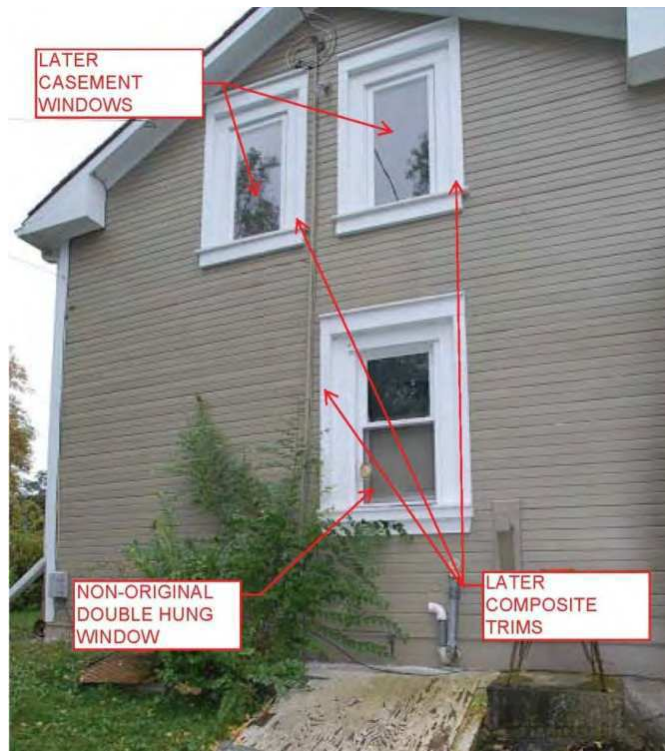
unnaturally from the face of the siding. The depth of the built-out trim varies from less than an inch to as much as 4" at the front door. The purpose of the build-out is unclear – it may cover deteriorated parts of the original trim, it may have been a mechanism to allow newer windows to be installed in openings that they did not fit or it may have been an awkward attempt to embellish the windows. The loss of the original windows and trimwork was a significant loss to the heritage value of the building. The replacement window trims are oversized, of awkward and inappropriate detail and clearly not original to the house. The replacement windows are mis-matched, smaller than the original and often of awkward proportion, lacking in detail and unsympathetic to the building.



Front elevation comparing images from 1980's and present day showing non-original windows and trims



South elevation showing non-original windows and trims



North elevation showing non-original windows and trims

19th century practice on buildings of this type was that trims such as casings and sill were installed on a window prior to the exterior siding being installed. The siding was then cut and fitted to the trims. This allowed for better water penetration detailing and a more appropriate appearance, where the outer surface of the trims protruded just barely beyond the siding. The trimwork was also usually quite simple, with just a single board at the top and sides of the window and a slightly projecting sill at the bottom. The situation here is quite different with the trims boxed out heavily and obviously placed on top of the siding. Placing trims on top of siding is a 20th century practice made commonplace by newer vinyl siding systems, but it is not a correct historic detail.



Typical 19th Century wood sash with simple flat casing, sill and head trim. Note lack of built up or composite elements and wood siding obviously fitted around window (example only - not from this project)



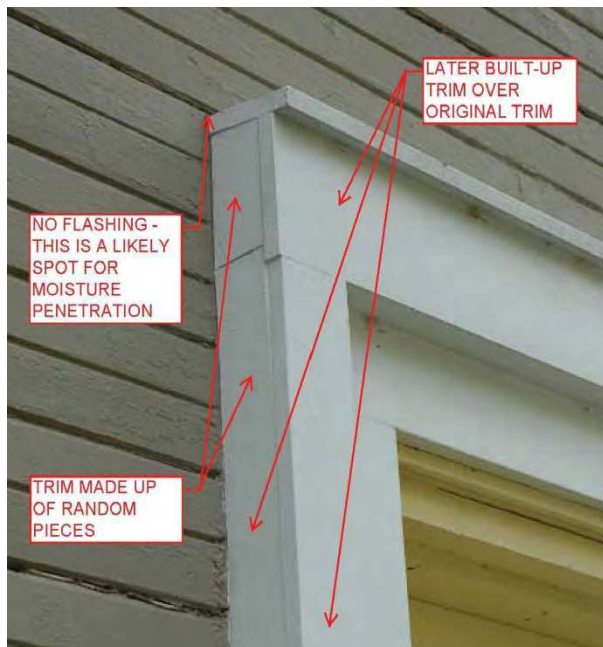
Typical 19th Century flat casing and siding detail showing correct minimal projection of casing beyond siding (example only - not from this project)



Detail of window on south elevation showing built out trims, poor detailing and workmanship



Detail of trims on south elevation showing composite trims, poor detailing and workmanship



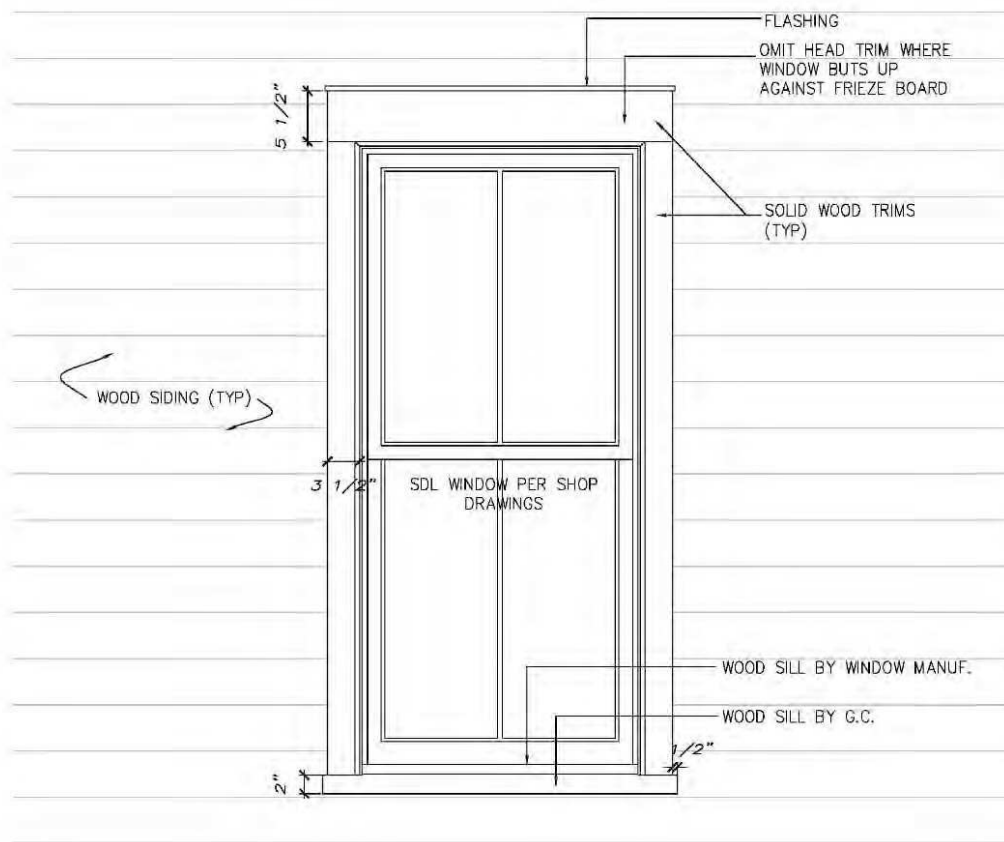
Detail of trims at front door showing composite trims, poor detailing and workmanship. The siding should lap over the trim at the top and be flashed. This is a very bad detail that will encourage moisture penetration into the building.



Detail of window on south elevation showing modern components, built out trims

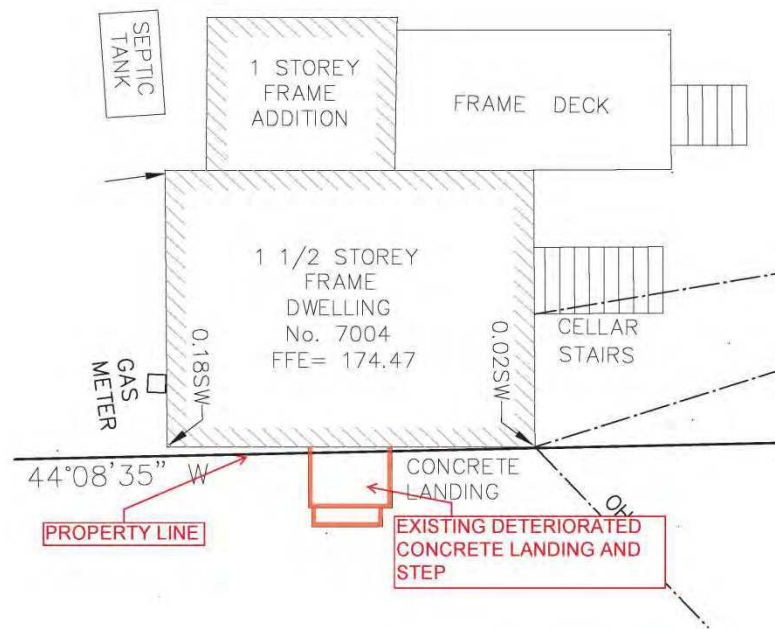
Window recommendation:

All of the windows on the existing building are inappropriate recent replacements and should be removed. The associated trims are also recent, poorly constructed and detailed and do not reflect typical 19th century methods or appearance. Their lack of flashing or proper installation to prevent water penetration is highly problematic. These should also be removed. In their place new double hung windows, either painted wood or vinyl with the appearance of painted wood should be installed. New trims, either painted wood or maintenance-free material painted to look like wood, should be installed as per the following detail.



Detail of proposed windows and trims – will replicate traditional 19th century detailing

Front landing and step:



Detail from existing survey showing encroachment of front landing and step onto City property

The front wall of 7004 Second Line West is located virtually on the Second Line West property line with the result that an existing concrete front landing and step are located entirely on City of Mississauga property. This has not been an issue up until this point but because the renovation of this building is the subject of a Site Plan application, the City has asked that the encroachment be removed, subject to a consideration of its heritage value.



Present condition of encroaching front concrete landing and step

The concrete landing is approx. 4' x 6'. It appears to have been poured in place flat on the ground. There is no foundation. It is quite significantly deteriorated and uneven and would be impossible to repair without being broken up and re-built. The step is similar although may have been poured in a form and then placed on the ground. Poured landings and steps such as this became popular in the mid-20th century. It is definitely not original to the home. The landing and steps are unusual in that the step heights associated with them are very small. From grade to the step and from the step to the landing is about a 5" rise and from the landing to the finished floor level varies from a 2" to 5" rise. Typical rises in these situations would be about 7".

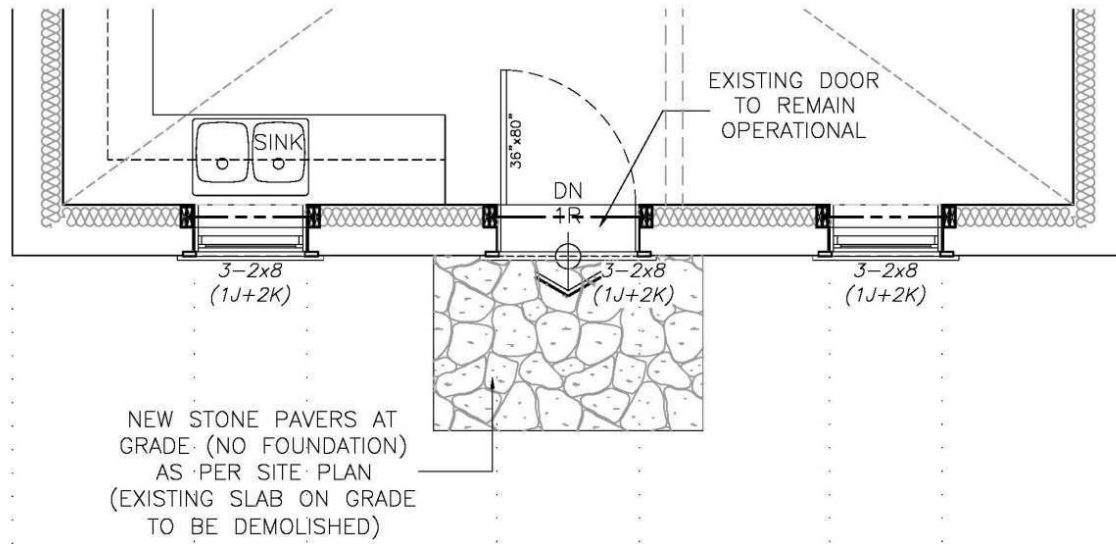


1990 front elevation showing landing with canopy (since demolished)

Available photos from the 1980's and 1990's show the porch in place with a wooden canopy supported by square corner posts. The canopy was an unusual detail with a kind of picket fence appearance to the upper structure. It was almost certainly not original to the home. It was of awkward appearance and proportions and was not a benefit to the appearance of the heritage building. It has since been demolished and no trace of it remains with the exception of the concrete slab and step.

The slab has no heritage value as an artifact but it does have some importance in that it identifies the original front door of the building and as such it is appropriate that some memory of it remain. The present design proposes that the slab be demolished and the existing grade at the front door increased slightly to allow one step from the grade to the front door. The amount of this increase would be very minimal. Presently the grade differential is between 7" and 10". It would have to be levelled out to give a consistent differential of 7". A flagstone landing could then be laid on the ground in approximately the same shape and size as the present concrete landing. The new landing would serve the same purpose as the existing and would preserve the heritage value of the existing by identifying the front door but because it would be flagstones set on the ground and not a permanent structure it would not be

considered an encroachment by the City. This seems a reasonable and appropriate compromise, especially given that the present landing is not original to the home and because of its poor condition would need to be demolished and re-built in any scenario.



Detail from construction drawings showing proposed front landing

Front Door:

The existing front door to the home is older but likely not original to the home. It appears to have been sourced from elsewhere and the frame and trim modified to fit. Its integrity and appearance has also been compromised by a large rectangular glazed opening that has roughly been cut into it and inappropriately trimmed.



Front door from exterior. Note deterioration at bottom of door and sill. Note inappropriate opening cut for window and associated trimwork

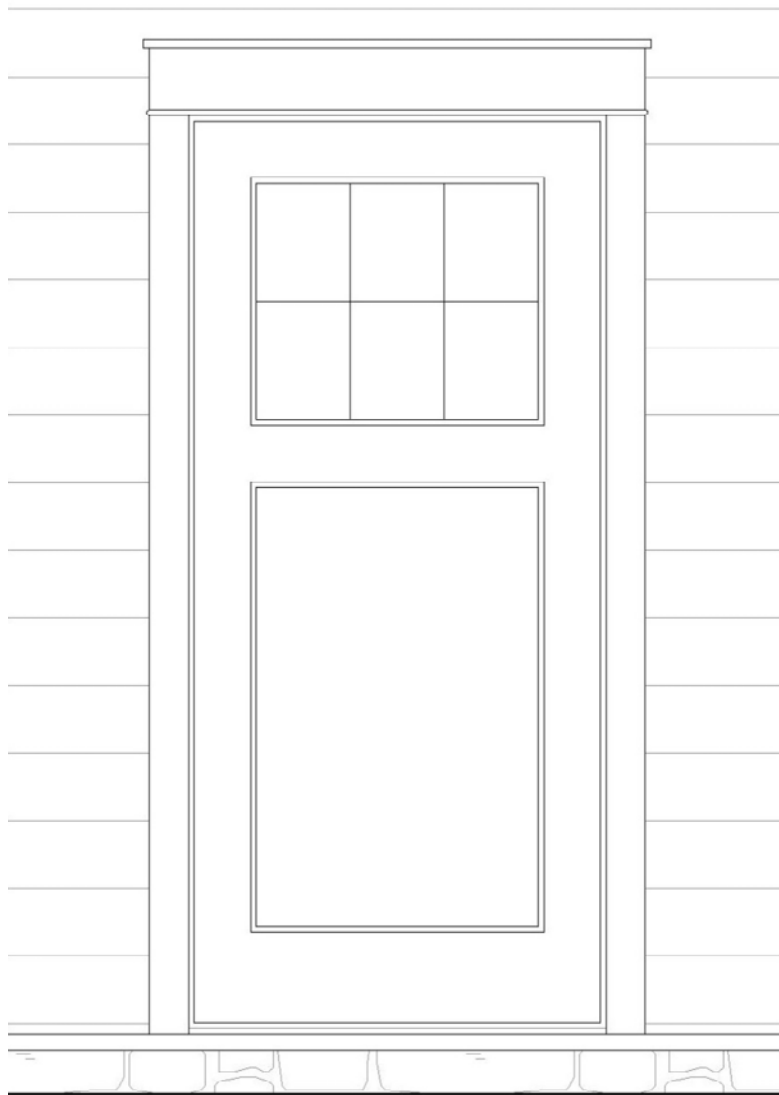


Detail at front door jamb. Note layers of built-up trimwork, deterioration of door



Front door from interior. Note general deterioration. Stacked plank construction can clearly be seen here

The existing front door is very likely not original, unattractive and not in good condition. There would be insignificant heritage value in its retention. It's replacement with a new wood door (and associated jamb) as shown in the detail below be appropriate.



Proposed painted wood front door

Fencing and Landscaping:

There is an existing white painted wood picket type fence on the east and south side of the property. Along the east side this fence is entirely on City property. As part of the site plan process the City has asked that this encroachment be removed.

The fence is in poor condition. It is very haphazard in nature (the fence sections in some cases are attached to the posts by twisted wire only). It was clearly not designed for any significant length of use.

The fence is also fairly new as evidenced by available Google Street View images. An image from 2009 reveals a cedar split-rail type fence and a decorative wood arbor near the entrance of the building. Both

are obviously in poor condition at the time of that image and both had disappeared by the time of the present owner's purchase in 2011.



Deteriorated fencing along east and south side of property. Orange snow fence is tree protection hoarding. All of this fencing is on City property



Detail of existing fence condition along east side of house



Google Street View image from 2009 showing cedar split rail fence along east side of property. This was apparently removed by the previous owner

The request by the City to remove this fencing is reasonable in this instance. Fencing, especially low picket fencing, is an appropriate way to define the limits of a property in a semi-rural context such as this and there are many similar examples in the village. If sufficient space were available between the front wall of the building and the street it would be advisable to replace the fencing. In this case, however, because the space is very limited the effect of the fence is to exaggerate the closeness of the existing building to the street. Typically a fence such as this would be located much closer to the street line than it would be to the house. In this case, because the distance between the edge of the street and the fence and that between the fence and the house is roughly the same it creates an awkward proportion and exaggerates the closeness of the building to the street. The various historic images available show that the type and extent of fencing around this property has changed multiple times and the fencing as it exists now is a relatively new element. The removal of this fence will not be a loss to the heritage value of the building.

The landscaping surrounding this house is very simple and should remain so. The property will be sodded and as much as possible of the natural contours be allowed to remain. There should be some minimal wild-flower type planting at the edge of the building but nothing more. Manicured or overly developed landscape is not characteristic in Meadowvale Village and should be avoided.

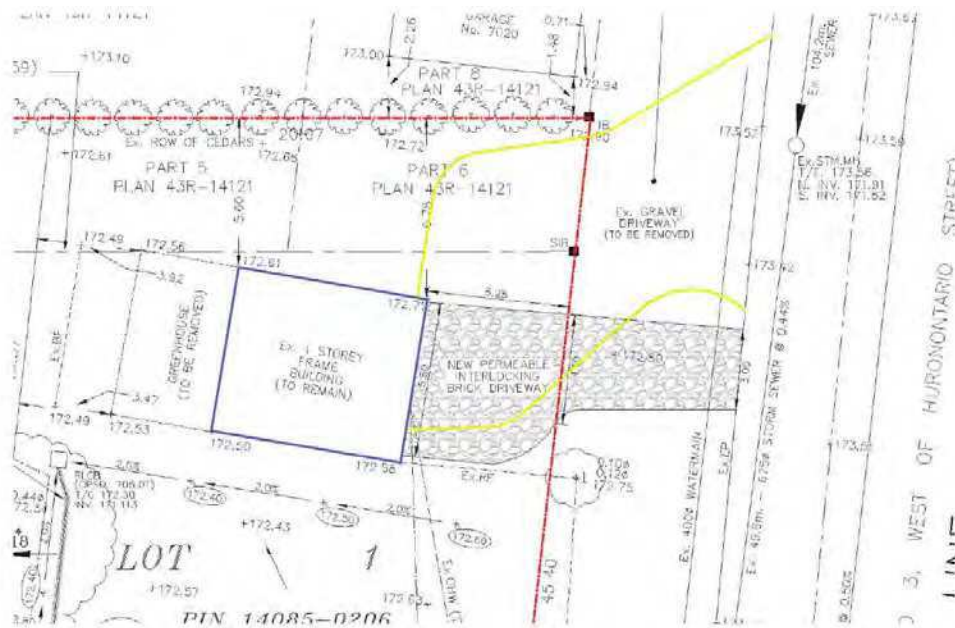
Driveway:

At the north-east corner of the site, accessed from Second Line West, there is a semi-developed area that was used as a parking area by the former owners. It is highly irregular in shape. There is some evidence of gravel having been placed there at one time but mainly it is just compacted earth without defined boundaries.



Existing gravel/dirt driveway from the south. In foreground is the gravel shoulder of Second Line W. Driveway is an undefined extension of this shoulder

The proposal is to create a driveway and parking area more suited to the area. It will be much smaller than the existing with defined borders. The hard surface will be constructed with permeable paving materials. The area not paved will be re-instated with sod.



Proposed changes to driveway arrangement. Existing driveway is shown in yellow although given its undefined nature this is approximate. Existing "barn" accessory building is shown in blue. Property line is red. Proposed permeable pavers shown in gray hatch



Typical permeable paver arrangement and appearance

Barn Accessory Building:

There is a 1 ½ storey gambrel roof “barn” type accessory building presently on the property. It is approx. 6.2m wide x 7.1m long, so about the size of a typical two car detached garage.

An accessory building has been present on this site and in this location for a long time. One is shown on the Bristow survey of 1856 although it is unlikely that this could be the same structure.

The existing building appears to have been constructed without a foundation. There is a concrete slab on grade on the interior and on the east elevation a set of outside stairs to access an unfinished loft area above the main floor. The main floor is insulated and there is a wood stove to provide heat. It is reported within the community to have functioned as a kind of antique shop operated by the former owner at some time in the past. City of Mississauga records indicate no applications for any improvement/heating of this structure or any commercial use, so all of this was evidently done without permits or municipal approval.

On the west elevation of the barn there is a later greenhouse constructed of metal pipe frame with clear plastic cladding.



Image from the City of Mississauga Historic Images Database showing the "barn" accessory building at right. The accessory building at left is no longer in place. Note the absence of the stairs to the loft presently at the front of the building or of the framed greenhouse at the rear. Note also the lack of fencing around the property. The blue box recycling bin in the foreground would date this photo to the mid-1980's or later



East and north barn elevations. Note metal chimney from wood stove within and stairs to second floor loft. These stairs and landing are in poor condition and missing handrails and guards. They are unsafe and should be removed



Barn south elevation. Note inappropriate newer windows, general lack of maintenance



Barn west elevation. Later greenhouse structure in foreground. Note that trims and siding have not been painted here as they have on more visible east and south elevations



Greenhouse structure in poor repair

The barn building is in moderate to poor condition. The stairs to the loft are in very poor condition, a relatively new addition (as witnessed by their absence in the mid-1980's photo) and are unsafe and should be removed. The greenhouse on the west elevation is a home-made structure of pipe, wood and sheet plastic, was similarly absent in the mid-1980's and should be removed. Both are in danger of collapse from deterioration.

The remainder of the building will require some significant maintenance in the form of painting and general clean-up to maintain its serviceability. The roof is new and the building appears to be generally water-tight. With periodic maintenance it can likely continue to serve as an accessory building for some time.

It may be desirable at some point to consider converting this building to a residential garage. The size and location on the property would make this a reasonable option. This would then require a structural assessment of the building and a further application to the City of Mississauga. It would be reasonable at that time to look at the existing inappropriate windows on the building, etc. At the present time there is no desire to make any modifications to this building beyond that required for safety and ordinary maintenance, however.

Site Context:

The site is located at the north-west corner of Old Derry Rd. W. and Second Line W. This is a prominent location in the Village because it marks the beginning of the Conservation District when approaching from the east. To the south of the site, across Old Derry Rd. W., is the former Methodist Church, now the Korean United Church. This is a small but handsome polychromatic brick building with pilasters, arches and significant detailing on the elevation. Built in 1862 it remains in very good condition and

little changed from the original.⁵ To the north of the subject site is 7020 Second Line West, a 1 ½ storey frame dwelling oriented to the south and with a side exposure to Second Line West. This building originally fronted onto the now closed First Street. It has a large setback to Second Line West and because of this and significant foliage in front of the building it contributes little to the streetscape. Further north is 7030 Second Line W. This is a significant building very similar in form and orientation to the street as 7004 Second Line W. 7030 Second Line W. was built approximately 1840 and is also of stacked plank construction. It is highly likely that these homes were built together.

To the west of the subject site are two newer polychromatic brick dwellings at 1009 and 1011 Old Derry Rd. These were constructed in 1989 in a kind of faux heritage style. Their size, massing and detailing is very much not sympathetic with the present District Plan or Zoning by-law. They likely would not be able to be constructed now. They are not that significant to the subject site given that they face in different directions and are somewhat buffered by trees and shrubbery along the west boundary.

Analysis:



The City of Mississauga Heritage Register statement of Architectural Significance for 7004 Second Line W. records as follows:

⁵ Meadowvale Village HCD Property Inventory p. 36

This is a one and one half storey residence featuring shiplap siding, a credit valley stone foundation and an externally bracketed brick chimney (note: this chimney has been removed). The structure has a gable roof with asphalt shingling (note: the roof shingles are wood) and an east symmetrical three bay facade. The windows are modern one over one, while the originals were one over one and consistent with those seen on the second storey (note: the second storey windows are no longer original). There is a modest, one storey west side extension to the building having a shed roof and an enclosed entrance/patio. There are dentils over the rear door (note: these dentils have been removed) and having a covered entrance with geometric decorative woodwork (note: this no longer exists). On the south facade there are single windows, one on the ground floor with another directly above. There is a gambrel shaped outbuilding with a tar paper roof (note: the roof is now asphalt shingle) and board and batten siding located on the property, its location is significant to the former laneway that once ran behind this property from Second Line West to Pond Street. This structure is believed to be like many in the Village made of stacked plank on plank construction. The scale, size and form reflect the historic value of this structure and open space around it as a landmark feature upon entering the Village and HCD. Heritage Attributes: The size, shape, form and materials of the modest stacked plank house. Its original materials, size, shape, form and style. The location of the house on the property with shallow set-backs and clear visibility to the street on the south, east and north facades. The open green yard to the south, west and north of the building. The original one-and-a-half storey outbuilding and its location and relationship to the house finished in board and batten on the ground level. Statement of Significance: The property at 7004 Second Line West has historical significance as it is associated with the development of the Village from the mid nineteenth century. The residential structure has architectural significance in that it is representative of the stacked plank construction technique, a modest structure in its shape, form, size and materials. The outbuilding has significance in that it is one of the last remaining outbuildings in the Village and is representative of this type of architecture in its shape, form, size, materials and relationship to the residence and streetscape. The house has contextual significance in that it is in its original location, highly visible from the intersection of Second Line West and Old Derry Road, an entry feature into the Village and significant contribution to the streetscape.

The Meadowvale Village HCD Property Inventory (2014) further notes:

This structure is shown on the Bristow Survey of 1856 and is, therefore, one of the oldest properties in the Village. This property has changed little over the years, retaining its original shape, size and form and is an important link to the modest residences that defined Meadowvale Village during its industrial growth period of the mid nineteenth century.

The modest one-and-a-half storey structure is made of stacked plank construction, with horizontal narrow wood siding and gable ends and cornice returns (note: these returns appear to have been removed or covered). The building rests on a field stone foundation. The original windows retain their aperture but the windows have been replaced. The front façade onto Second Line West has three bays, with only two windows, one over the other, on the south façade. The north façade has three windows, two on the upper floor and a single window to the right side on the lower level. The roof is finished in wood shingles. At the rear is a small one storey frame addition that provides an entryway into the rear of the structure.

The house is situated on the corner of the lot with a shallow set-back to Old Derry Road and Second Line West. This allows for clear visibility of the house as it serves as an entryway into the Village from the east approach. On the northwest corner of the property is an original one and-a-half storey outbuilding with a gambrel roof. The date is unknown but it remains as one of very few remaining outbuildings in the Village. The building is clad on the ground level with board and batten.

Heritage Attributes:

- The size, shape, form, massing and materials of the modest stacked plank house

- *Its original materials, size, shape, form and style*
- *The location of the house on the property with shallow set-backs and clear visibility to the street on the south, east and north façades*
- *The open green yard to the south, west and north of the building*
- *The original one-and-a-half storey outbuilding and its location and relationship to the house finished in board and batten on the ground level*

Statement of Significance:

The property at 7004 Second Line West has historic association with the development of the Village from the mid nineteenth century. The residential structure has architectural significance in that it is representative of the stacked plank construction technique, a modest structure in its shape, form, massing, size and materials. The outbuilding has significance in that it is one of the last remaining outbuildings in the Village and is representative of this type of architecture in its shape, form, size, materials and relationship to the residence and streetscape. The house has contextual significance in that it is in its original location, highly visible from the intersection of Second Line West and Old Derry Road, an entry feature into the Village and significant contribution to the streetscape.

The predominant cultural heritage value of this site is then:

- the size and scale of the building
- the location and prominence of the building at the corner
- the open yards around the building
- the stacked plank construction
- the extant original materials

Proposal:

The proposal is for a major 2-storey addition to be constructed to the north and west of the existing heritage building. The existing one-storey rear addition will be removed and a new one-storey element created in approximately the same location to serve as a bridge between the new and existing elements of the building. The existing building will remain largely as is. The existing siding will remain but the newer, non-sympathetic windows and casings will be removed and replaced with new units detailed to look more appropriate for the age of the building. The addition takes advantage of the slope of the site and while it is two stories in nature will be lower by 12" than the existing building. By locating the addition to the west and north it has been designed to not dominate the heritage building while viewing the site from its most prominent view-scape – the intersection of Old Derry Rd. and Second Line W. The addition is proposed to be largely clad in rough-cast stucco with some elements clad in siding. This will help to visually differentiate the addition from the heritage building.

The most important massing elements of the heritage building – the symmetrical front elevation with center door and flanking windows, the simple gable roof form, etc., all remain intact in this proposal.

The roofs of the addition have been designed to minimize building height and to create a simplicity of form when viewed from the street.

Windows are wood frame in appearance with simulated divided lites in 2-over-2 configuration. This is a correct configuration given the age of the building. Trims and porch details are painted wood or weather-proof material painted to give the appearance of wood..

The architecture and detailing of the building is generally simple and derives from the vernacular of the Village while not intending to mimic or replicate.

The proposal meets the applicable zoning by-law with the exception of a small variance required for Gross Floor Area. This variance has been successfully obtained through the Committee of Adjustment.

The proposal meets the intent of the Conservation Principles and Design Guidelines for the Meadowvale Village Heritage Conservation District (2003), as regards massing, materials, detailing and general design principles.

The proposal has received extensive review and consultation through the local Conservation Review Committee and has their support.

Summary Statement and Conservation Recommendations:

The proposed renovated dwelling at 7004 Second Line W. is appropriately designed for its site and meets the intent of all applicable laws, policies and requirements associated with its design. During the construction process as much of the existing topography and tree canopy should be retained as possible.

Mandatory Recommendation:

The property must be evaluated under the criteria for designation under Ontario Regulation 9/06, *Ontario Heritage Act*. This is the part of the Act that allows designation of individual designations (Part IV designations). The criteria area:

1. The property has design value or physical value because it,
 - i. is a rare, unique, representative or early example of a style, type, expression, material or construction method.
 - ii. displays a high degree of craftsmanship or artistic merit, or
 - iii. demonstrates a high degree of technical or scientific achievement.

Analysis: The property is important as one of the older homes in the Village and because of the stacked plank construction. Much of the original building fabric (including windows) has been lost or has deteriorated to the point of requiring replacement, however.

2. The property has historical value or associative value because it,
 - i. has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to the community,
 - ii. yields, or has the potential to yield, information that contributes to an understanding of a community or culture, or
 - iii. demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.

Analysis: The property has limited associations with the original founding of the Village but no more so than any of the other buildings of similar age. There is no evidence that any person of significant importance is associated with the building.

3. The property has contextual value because it,
 - i. is important in defining, maintaining or supporting the character of an area,

- ii. is physically, functionally, visually or historically linked to its surroundings, or
- iii. is a landmark.

Analysis: The property is located on an important corner within the Village and is something of a market when approaching the village from the East, although not in a way that it could be considered a landmark.

Conclusion:

The property at 7004 Second Line W. has limited architectural, contextual and historical value.

Provincial Policy Statement:

Under the Provincial Policy Statement,

“Conserved: means the identification, protection, use and/or management of cultural heritage and archaeological resources in such a way that their heritage values, attributes and integrity are retained.”

Analysis:

Under this definition, the vacant property at 7004 Second Line W. does not warrant conservation.

Bibliography:

Hicks, Kathleen A., Meadowvale: Mills to Millineum,
 A Heritage Tour – Meadowvale Village (Heritage Mississauga)(pamphlet)(undated)
 Heritage Mississauga Images database
 City of Mississauga – Historic Images Database
 City of Mississauga – Building Department records
 Directory of the County of Peel 1873-1874
 Websites: as noted

Appendices:

- commentary on Meadowvale Village Heritage Conservation District Plan 2014
- proposed building elevations
- existing building plans
- proposed streetscape

Meadowvale Village Heritage Conservation District Plan 2014:

The proposal to renovate and create an addition to 7004 Second Line W. was first developed in 2011 and this application has been ongoing since that time. In 2014 a new Conservation District Plan came into force with some different and more fully developed criteria. Following is an examination of this proposal against the criteria found in section 4.2.3 of that Plan:

4.2.3.1 Scale

- *Width to length ratio of principle structure or additions should be consistent with designs found within the Village*

This is a difficult concept to consider here. The intent of this section was to prevent buildings and additions that were awkward or unusual in shape. The first difficulty in interpreting this section is that the City building department considers the front of a corner lot to be the side with the shortest property line facing a street. In this case the front of the property for zoning purposes is Old Derry Rd., notwithstanding that the building address and principal elevation is Second Line W. This means that the idea of what is “width” vs “length” is open to some interpretation.

The existing building has approximate dimensions of 18' x 24', or a width to length ratio of 0.75. The proposed addition, which is designed to appear as a separate element from the existing building, has approximate dimensions of 30' x 52' or a width to length ratio of 0.58. These ratios are not dissimilar and consistent with other residential buildings in the community.

4.2.3.2 Location

- *Exterior additions should be located at the rear, or on an inconspicuous side of the building, limited in size and scale to complement the existing building and neighbouring properties*

The addition to this building, despite being larger than the existing building, has been designed to appear well behind the existing when viewed from all normal viewing angles, especially the most critical viewpoint east of the site on Old Derry Rd. The existing natural grading on the site has been used to allow the addition to be less prominent by locating it on a lower part of the site. The existing building will continue to be prominent from all angles.

- *Outbuildings, including garages and greenhouses, should be detached and located at the rear, or on an inconspicuous side of the building, and be limited in size and scale to complement the main structure and neighbouring properties*

The existing outbuilding will be maintained and conserved with only minimal changes to remove newer, deteriorated and unsafe elements. The existing location of the outbuilding is important to the cultural history of this site.

- *Additions at the rear should always be slightly lower than the existing roof line and stepped in at the sides in order not to overpower or dominate the existing building and the view from the street. Additions so constructed will also tend to be more compatible with adjoining properties*
- *Additions are best set back as deeply as possible from the existing front wall plane in order to be unobtrusive to the streetscape and differentiate the addition from the older structure*
- *The existing building shall maintain a dominant street presence with opportunities for landscaping in the addition's setback area*

The proposed addition is lower than the existing building by 1'0" and the points at which it connects to the main building are recessed behind the main building. Despite being larger than the main building the existing building will remain prominent and distinct. Along the principal Derry Rd. elevation the addition is set back 7.6m from the front wall of the existing building. This will give ample opportunity for differentiation and landscaping opportunities.

- *A primary pedestrian and accessible access from the street shall be encouraged*

The existing means of access and front door location from Old Derry Rd will be maintained

- *Corner properties should have an equal proportion of architectural details, such as traditional windows and doors, on both street fronting façades*

All elevations of the existing have been designed to be equal as regards architectural detailing, windows, etc. There is no "front" and "back" of the addition.

4.2.3.3 Roofline

- *The style and pitch of an existing roofline will be retained*
- *New roof dormers should be located at the side or rear rather than the principal façades, and their size, shape and form should be similar to any original dormer(s) to the structure or within the Village*

The existing roofline will be retained. No new dormers are proposed in the existing roof.

4.2.3.4 Roofing • *Roofing materials should be of a style traditionally found within the Village, including wood shingles, metal and asphalt shingles*

Asphalt shingle roofing is proposed.

4.2.3.5 Windows

- *Windows important to the architectural character of the building, or in view of the public realm, will be retained and not blocked or removed as part of an addition*
- *New window design will be compatible with the original in terms of proportions, rhythm and scale*
- *Modern materials may be used, however, they should have the visual appearance of traditional materials*
- *The style of new windows on an addition should be consistent with the windows of the original structure in form, size and alignment, unless they cannot be viewed from the public realm*
- *Windows should be vertically oriented with a minimum width to height ratio of 1:1 ¾*

The windows in the existing building are all newer replacements. Most appear to be of approximately original size and proportion. The proposed windows are all simple double-hung in 2/2 configuration in a style that would have been appropriate to the original construction. All are vertical in orientation with ratios in excess of 1:1 ¾. These will be thermal units in wood or vinyl painted to appear as wood.

4.2.3.6 Doors

- *Doors on an addition should be of a traditional design which is typical to that style of building*
- *Modern materials may be used, however, they should have the visual appearance of traditional materials*

The front door is in poor condition, likely not original to the home and will be replaced with a new wood unit of appropriate design to character of the building. Other doors will be wood or

modern material painted to appear as wood and will also be appropriate to the character of the building.

4.2.3.7 Cladding

- *Cladding should be of a traditional design that is typical to the style of building*
- *Cladding materials on an addition should be different from the existing building*
- *Modern materials may be used, however, they should have the visual appearance of traditional materials.*

The existing building cladding is in serviceable condition and will be retained. The addition will be clad in stucco with some siding elements to reduce the mass of the addition. The distinction between the new and existing elements of the building will be obvious. The new siding will be pre-finished wood or cement board painted to appear as wood.

4.2.3.8 Trim

- *The removal of original trim on an existing structure should be minimal when constructing an addition*
- *Modern materials may be used, however, they should have the visual appearance of traditional materials.*

There appears to be no original trim on the building. The visible trim is all newer and generally poorly applied and detailed. There may be some original trim beneath some of the later material but this will not be known until construction commences. Any original trim that is found to be in good condition will be conserved. Generally the trim will be replaced with newer painted wood. The detailing of this trim will be very simple and appropriate for the era of the building's original construction.

4.2.3.9 Shutters

- *Shutters added to an addition should be of a design which is typical to the style of the original building and to the Village*
- *Modern materials may be used, however, they should have the visual appearance of traditional materials.*

There are no shutters on the existing building and none are proposed on the addition.

4.2.3.10 Stairs, Verandahs, Porches and Balconies

- *The replacement (whole or partial) of existing porches, verandahs, stairs or balconies should be discouraged except in the case of substantial deterioration, in which case the replacement should be designed and constructed in the original style*
- *New railings and staircases should be constructed in a design that is consistent with the style of the building and in the Village*

The existing front porch is a poured concrete slab that is in poor condition and not original to the house. Photos from the mid 1980's through the present show that it once had an elaborate roof and columns as well as several different varieties of handrails. All were clearly non-original, home-made and of poor quality. This porch is on City property and through the site plan process they have asked to have it removed. Our proposal is to remove the deteriorated slab and to replace it with a simple stone pathway which will have the same effect of identifying the front door but doing so without creating an encroachment onto City property.

There are new steps and a landing proposed on the east elevation behind the rear wall of the existing house. These will be simple wooden steps and a handrail with square wooden pickets. This is consistent with the design of the house and the village.

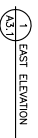
4.2.3.11 Scale

- *The design of an addition which does not alter the structure's original orientation and main entrance will be permitted*
- *The design should be of an appropriate scale to the existing structure and kept to areas away from the main façades*
- *Additions are to be complementary in design, scale, mass and form, but distinguishable from the original building*
- *Additions should allow for the retention of as much of the original structure as possible*

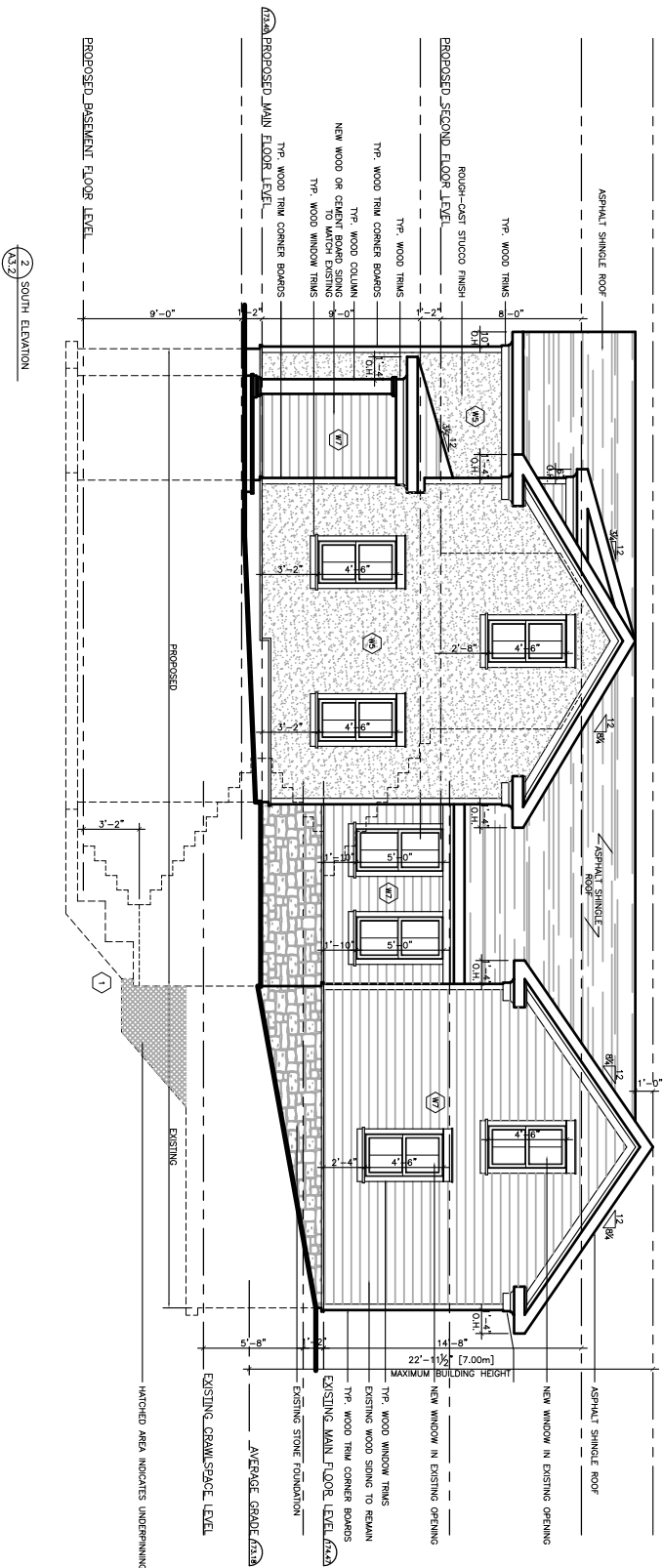
The proposed addition does not alter the original orientation and main entrance of the existing building. The addition is larger than the original building because it would hard to be otherwise – the existing building is only 450 sq. ft. on the main floor with a partial second floor. The massing of the addition is designed to limit its appearance and preserve the primacy of the original building in the most critical views.

An existing rear addition to the building will be removed and re-built as part of this proposal but this structure is not original to the building and in very poor condition.

The proposed addition is highly distinguishable from the existing building and the amount of material loss from the existing building is minimal because of the addition.

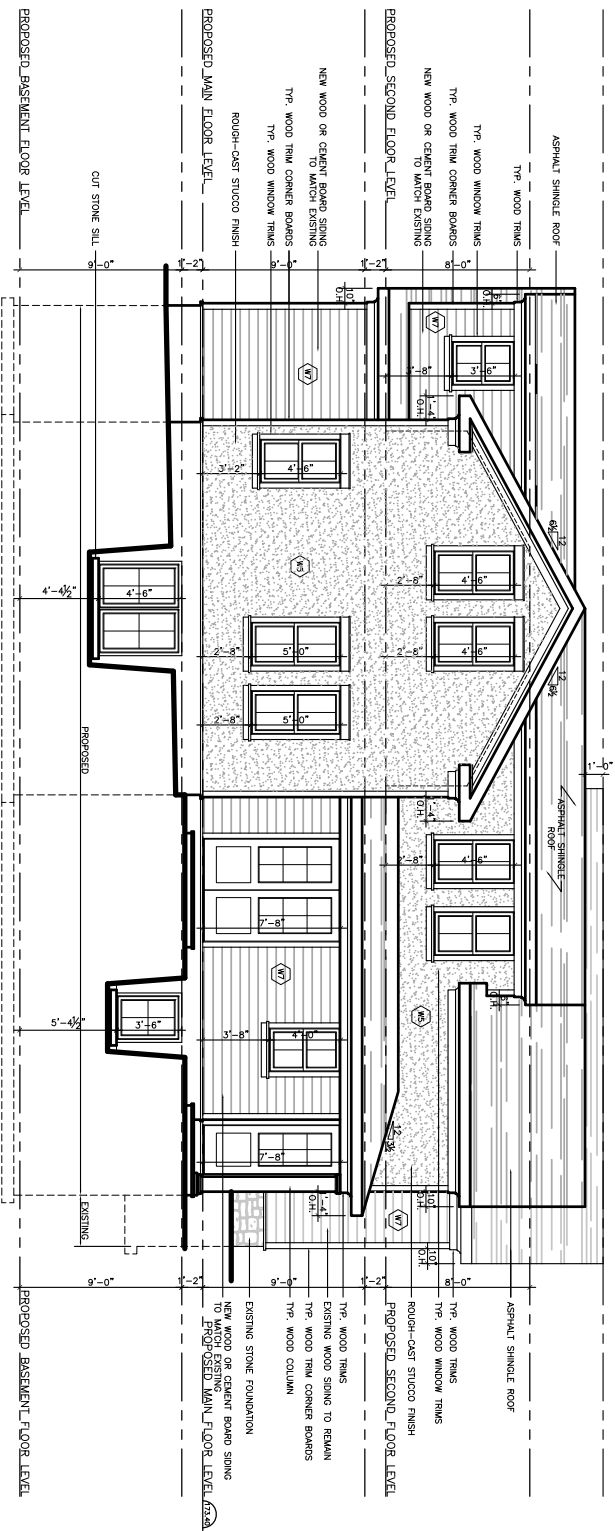


CHUNG RESIDENCE
FRONT ELEVATION $\frac{3}{32}$ " - 1'0"
7004 SECOND LINE WEST, MISSISSAUGA
MARCH 15, 2016





2 NORTH ELEVATION



1 WEST ELEVATION



6.2 - 57



Strickland
Mateljan
Design + Architecture

CHUNG RESIDENCE
PROPOSED STREETSCAPE N.T.S.
7004 SECOND LINE WEST, MISSISSAUGA
MARCH 15, 2016

RICK MATELJAN Lic. Tech. OAA
79 Wilson St., Oakville, ON
(t) 416 315 4567 (e) rick.mateljan@smda.ca

curriculum vitae

Education:

- | | |
|-----------|--|
| 1978-1983 | Trinity College, University of Toronto <ul style="list-style-type: none">• B. A. (4 year) (Specialist English, Specialist History) |
| 1994-1995 | Ryerson Polytechnic University <ul style="list-style-type: none">• detailing of residential and institutional buildings, OBC, technical and presentation drawing |
| 1997-2006 | Royal Architectural Institute of Canada Syllabus Program <ul style="list-style-type: none">• program of study leading to a professional degree in architecture |
-

Employment:

- | | |
|----------------|--|
| 2010 - Present | Strickland Mateljan Design Associates (Partner) <ul style="list-style-type: none">• architectural design business specializing in custom residential and small commercial projects, land development, adaptive re-use, heritage conservation• share equal responsibility for management, business development, marketing and project delivery• specialist responsibilities in municipal approvals, heritage approvals• Ontario Licensed Designer (Small Buildings)• Ontario Association of Architects licence with terms, conditions and limitations |
| 2001 - 2010 | Gren Weis Architect and Associates, Designer and Project Manager <ul style="list-style-type: none">• design, design development, conceptual, working and presentation drawings, project co-ordination, site review, liaison with authorities having jurisdiction• extensive client, consultant and building site involvement• extensive experience in multi-disciplinary team environments• specialist at Committee of Adjustment and Municipal Approvals• specialist at renovation and conservation of Heritage buildings, infill developments in Heritage communities• specialist on issues of Heritage Approvals• specialist at processing and representation at Site Plan and re-zoning approvals• corporate communication, advertising and photography |
-

Recent professional development:

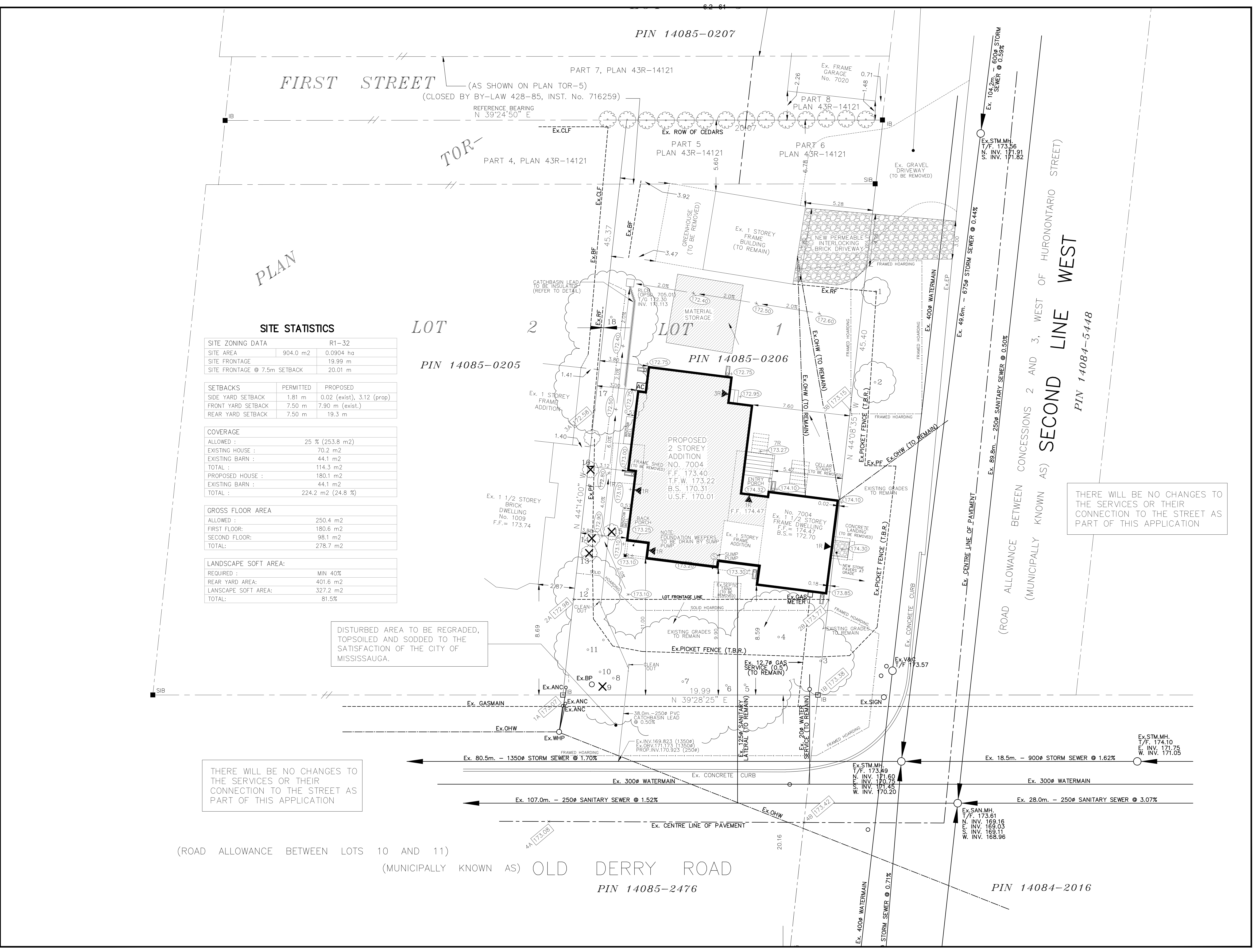
2011	OAA – Admission Course
2010	Georgian College – “Small Buildings”
2010	Successfully completed Ministry of Municipal Affairs and Housing “Small Buildings” and “Designer Legal” examinations
2010	Successfully completed OACETT professional practice exam
2008	Qualified to give testimony before the Ontario Municipal Board
2007	OAA – Heritage Conservation in Practice
2006	RAIC – Standards and Guidelines for the Conservation of Historic Places in Canada

Activities:

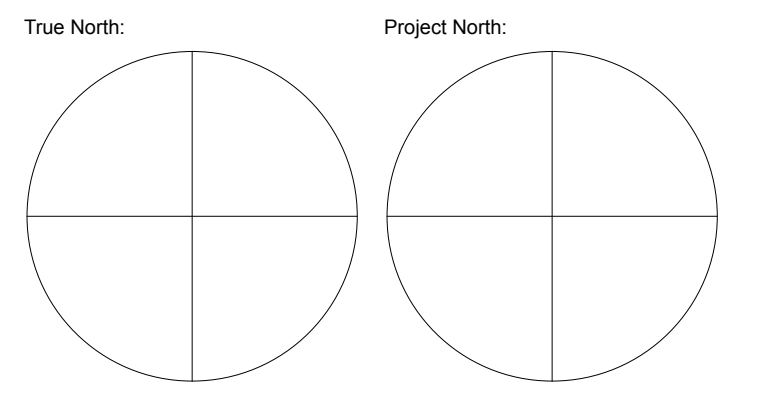
2012-present	Member, Board of Directors, OAAAS
2011-present	Member, Editorial Committee, OAA Perspectives magazine
2008-present	Member, Board of Directors of Oakville Galleries (President 2011-2013)
2007-present	Member, Mississauga Heritage Advisory Committee and member of the Heritage Award jury
1995-2001	Member, Oakville Local Architectural Conservation Advisory Committee and Oakville Heritage Review Committee (Chair from 1998)
2001-2004	Alternate Member, Oakville Committee of Adjustment (appointed but never called to serve)

Memberships:

Ontario Association of Architects



SITE STATISTICS		
SITE ZONING DATA		
SITE AREA	904.0 m2	R1-32
SITE FRONTAGE	19.99 m	
SITE FRONTAGE @ 7.5m SETBACK	20.01 m	
SETBACKS		
SIDE YARD SETBACK	1.81 m	PERMITTED: 0.02 (exist.), 3.12 (prop.)
FRONT YARD SETBACK	7.50 m	PROPOSED: 7.90 m (exist.)
REAR YARD SETBACK	7.50 m	PROPOSED: 19.3 m
COVERAGE		
ALLOWED :	25 % (253.8 m2)	
EXISTING HOUSE :	70.2 m2	
EXISTING BARN :	44.1 m2	
TOTAL :	114.3 m2	
PROPOSED HOUSE :	180.1 m2	
EXISTING BARN :	44.1 m2	
TOTAL :	224.2 m2 (24.8 %)	
GROSS FLOOR AREA		
ALLOWED :	250.4 m2	
FIRST FLOOR:	180.6 m2	
SECOND FLOOR:	98.1 m2	
TOTAL:	278.7 m2	
LANDSCAPE SOFT AREA:		
REQUIRED :	MIN 40%	
REAR YARD AREA:	401.6 m2	
LANDSCAPE SOFT AREA:	327.2 m2	
TOTAL:	81.5%	



Key Plan:
SPI 13/122 W11

Agent: Mr. Rick Mateljan
© Strickland/Mateljan Design Associates LTD.
Phone (Cell): 416-315-4567

Owner: Mr. Ken Chung
7004 Second Line West
Mississauga, Ontario
L5W 1A1

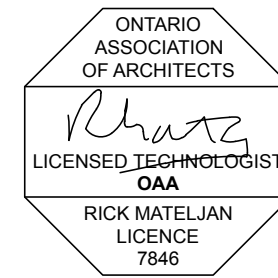
16	Oct 9/15	Building Permit Resubmission	A.B.
15	Aug 7/15	Building Permit Submission	A.B.
14	July 28/15	HVAC Added	A.B.
13	July 10/15	Site Plan Resubmission	A.B.
12	Feb 3/15	Site Plan Resubmission	A.B.
11	Dec 9/14	Site Plan Resubmission	A.B.
10	Mar 5/14	Site Plan Resubmission	A.B.
9	May 9/13	Front Windows and Porch	R.M.
8	Apr 20/13	Minor Revisions	R.M.
7	Apr 12/13	Minor Revisions	R.M.
6	Feb 26/13	Site Plan Re-Application	R.M.
5	Feb 24/13	Revised Design	R.M.
4	Oct 28/12	Revised Concept	R.M.
3	Sept 7/12	Minor Revisions	R.M.
2	Sept 4/12	Minor Revisions	R.M.
1	Aug 15/12	Revised Concept	R.M.

**Strickland
Mateljan**
Design + Architecture

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Oakville ON L6K 3G4
Tel: 905 842 2848
smda.ca


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Designer:



Licensed Technico-Draftsman
OAA
Rick Mateljan
Licence 7846

Engineer:



Project:
Chung Residence

7004 Second Line West
Mississauga, Ontario

Sheet Title:
Site Plan

Design By:	Drawn By:	Approved By:
R.M.	A.B.	R.M.
Scale:	Date:	Project No:
1:125	Oct. 2014	11.43

Drawing No:
SP1



City of Mississauga

Corporate Report



Date: 2016/06/16

To: Chair and Members of Heritage Advisory Committee

From: Paul Mitcham, P. Eng, MBA, Commissioner of
Community Services

Originator's files:

Meeting date:
2016/07/12

Subject

Request to Alter 7005 Pond Street (Ward 11)

Recommendation

That the request to alter the property at 7005 Pond Street be approved with the condition that no simulated dividers be employed on the windows.

Background

The subject property is designated under the *Ontario Heritage Act* as it forms part of the Meadowvale Village Heritage Conservation District (HCD). The City granted the owner a heritage permit for several changes to the property in September 2014. Heritage permits issued under by-law 77-14 expire after one year. As such, the property owner requires a renewed heritage permit for work that has yet to be completed. This includes the installation of an outdoor cooker and a replacement garage (The request for the additional chimney has been rescinded).

Present Status

The Meadowvale Village Heritage Conservation District Advisory Subcommittee endorsed the staff recommendation on June 7, 2016.

Comments

The original Heritage Advisory Committee Corporate Report on the subject is available as item 3 here:

http://www7.mississauga.ca/documents/agendas/committees/heritage/2014/HAC_Agenda_2014_09_09.pdf. The site plan and elevation drawings are attached as Appendix 1. Because the application was associated with a site plan that predated the 2014 Meadowvale Village Heritage Conservation District Plan, staff evaluated the heritage permit application against the 2003 Meadowvale Village Design Guidelines.

The 2014 report finds that: "The plans for the new garage have the structure located to the rear and set back from the original façade. Its massing is significantly smaller than the original house

and is complimentary in style and building materials.” It also considers the cooking fire a “permissive alteration.”

There has been no change to the proposal. However, additional elevations have been provided since the permit was evaluated in 2014. The drawings do not indicate the detail of the window configuration. As per the 2003 Meadowvale Village Design Guidelines, “simulated dividers [...] should not be used.”

Overall, the proposal remains “complimentary.” As such, the renewed heritage permit should be approved.

Financial Impact

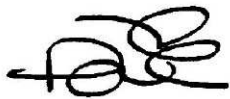
Not applicable.

Conclusion

The City is in receipt of an application to renew a heritage permit for an outdoor cooker and a replacement garage. As the City previously approved the proposal, the heritage permit should be renewed as long as the windows are in compliance with the applicable guidelines.

Attachments

Appendix 1: Site plan and elevation drawings



Paul Mitcham, P. Eng, MBA, Commissioner of Community Services

Prepared by: P. Wubbenhorst, Senior Heritage Coordinator

SITE PLAN GENERAL NOTES:

1. ALL GRADES TO BE WITHIN 33% MAX. SLOPE AT PROPERTY LINE AND WITHIN THE SITE.
2. THE CONTRACTOR (BUILDER) TO CHECK AND VERIFY LOCATION AND ELEVATION OF EXISTING UTILITIES (CONNECTIONS) PRIOR TO CONSTRUCTION.
3. ALL DISTURBED AREAS WITHIN EXISTING ROADS AND BOULEVARDS TO BE RECONSTRUCTED TO THE SATISFACTION OF THE CITY OF MISSISSAUGA WORKS DEPARTMENT.
4. ROOF DOWN SPOUTS TO SPILL ONTO GROUND VIA SPLASH PADS.
5. I HEREBY CERTIFY THAT THIS DRAWING CONFORMS IN ALL RESPECTS TO THE SITE DEVELOPMENT PLANS AS APPROVED BY THE CITY OF MISSISSAUGA UNDER FILE NUMBER SPM 14 / 105 W11

SIGNATURE OF HOMEOWNER:

6. THE CITY OF MISSISSAUGA REQUIRES THAT ALL WORKING DRAWINGS SUBMITTED TO THE BUILDING DIVISION PLANNING AND BUILDING DEPT. AS PART OF AN APPLICATION FOR THE ISSUANCE OF A BUILDING PERMIT SHALL BE CERTIFIED BY THE ARCHITECT OR ENGINEER AS BEING IN CONFORMITY WITH THE SITE DEVELOPMENT PLANS AS APPROVED BY THE CITY OF MISSISSAUGA.

7. THE STRUCTURAL DESIGN OF ANY RETAINING WALL OVER 600 mm. IN HEIGHT OR ANY RETAINING WALL LOCATED ON A PROPERTY LINE IS TO BE SHOWN ON THE SITE GRADING PLAN FOR THIS PROJECT AND IS TO BE APPROVED BY THE CONSULTING ENGINEER FOR THE PROJECT.

8. THE OWNER IS RESPONSIBLE FOR ENSURING THAT THE TREE PROTECTION HOARDING IS MAINTAINED THROUGHOUT ALL PHASES OF DEMOLITION AND CONSTRUCTION IN THE LOCATION AND CONDITION AS APPROVED BY THE PLANNING AND DEVELOPMENT DEPARTMENT. NO MATERIALS (CONSTRUCTION MATERIALS, SOIL, ETC.) MAY BE STOCKPILED WITHIN THE AREA OF HOARDING. FAILURE TO MAINTAIN THE HOARDING AS ORIGINALLY APPROVED, OR THE STORAGE OF MATERIALS WITHIN THE HOARDING WILL BE CAUSE FOR THE TREE PRESERVATION LETTER OF CREDIT TO BE HELD FOR 2 (TWO) YEARS FOLLOWING COMPLETION OF SITE WORKS.

SIGNATURE OF HOMEOWNER:

9. SEDIMENT CONTROLS AS PER CITY STANDARD ARE TO BE IMPLEMENTED DURING CONSTRUCTION.

10. ALL DAMAGED LANDSCAPE AREAS ARE TO BE REINSTATED WITH TOPSOIL AND SOD PRIOR TO THE RELEASE OF SECURITIES.

11. ANY EXCESS EXCAVATED MATERIAL IS TO BE REMOVED FROM THE SITE.

12. EXISTING DRAINAGE PATTERN IS TO BE MAINTAINED. EXCEPT WHERE NOTED.

13. THE PORTIONS OF THE DRIVEWAY WITHIN THE MUNICIPAL BOULEVARD WILL BE PAVED BY THE APPLICANT.

14. AT THE ENTRANCES TO THE SITE, THE MUNICIPAL CURB WILL BE CONTINUOUS THROUGH THE DRIVEWAY AND A CURB DEPRESSION WILL BE PROVIDED FOR EACH ENTRANCE.

15. THE TOPS OF ANY CURBS BORDERING THE DRIVEWAYS WITHIN THE MUNICIPAL BOULEVARD WILL BE FLUSH WITH THE MUNICIPAL ROAD CURB.

16. NO CONSTRUCTION ACCESS WILL BE PERMITTED FROM THE ADJOINING PARK/GREENBELT.

17. ALL EXTERIOR LIGHTING WILL BE DIRECTED ONTO THE SITE AND WILL NOT INFRINGE UPON THE ADJACENT PROPERTIES.

18. IF A WELL IS DISCOVERED, IT WILL BE DECOMMISSIONED BY A LICENSED WELL CONTRACTOR OR TECHNICIAN IN ACCORDANCE WITH THE ONTARIO WATER RESOURCES ACT REGULATION 903 (FORMERLY 612/84) AND ANY OTHER APPLICABLE REGULATIONS AND GUIDELINES.

19. IF A SEPTIC SYSTEM IS DISCOVERED, IT WILL BE DECOMMISSIONED AND REMOVED ACCORDING TO ALL APPLICABLE GUIDELINES AND REGULATIONS.

20. THE HOARDING MUST BE INSPECTED PRIOR TO REMOVAL OF ANY TREE PROTECTION HOARDING FROM THE SITE.

21. ALL DISTURBED DRIVEWAY AREAS ARE TO BE RE-ASPHALTED PRIOR TO SECURITIES RELEASE.

22. PRIOR TO ANY CONSTRUCTION TAKING PLACE, HOARDING ADJACENT TO EXISTING PROPERTIES TO PROTECT FROM CONSTRUCTION ACTIVITIES AND ALL REQUIRED HOARDING IN ACCORDANCE WITH THE ONTARIO OCCUPATIONAL HEALTH AND SAFETY ACT AND REGULATIONS FOR CONSTRUCTION PROJECTS MUST BE ERCTED AND THEN MAINTAINED THROUGHOUT ALL PHASES OF CONSTRUCTION.

23. THE APPLICANT WILL BE RESPONSIBLE FOR THE COST OF ANY RELOCATIONS NECESSITATED BY THE SITE PLAN.

1 GENERAL NOTES

A1-2 SCALE: DNS

HOARDING GENERAL NOTES:

HOARDING IS TEMPORARY FENCING FOR THE DURATION OF CONSTRUCTION ACTIVITY TO BE CONSTRUCTED AROUND THE DRIP LINE OF SIGNIFICANT EXISTING TREES TO BE PRESERVED AND/OR WHERE SITE CONDITIONS ARE CONSTRAINED ADJACENT TREE PRESERVATION AREAS

1. HOARDING DETAILS TO BE DETERMINED FOLLOWING INITIAL SITE INSPECTION.
2. HOARDING TO BE APPROVED BY DEVELOPMENT & DESIGN
3. HOARDING MUST BE SUPPLIED, INSTALLED & MAINTAINED BY THE APPLICANT THROUGHOUT ALL PHASES OF CONSTRUCTION, UNTIL APPROVAL TO REMOVE HOARDING IS OBTAINED FROM DEVELOPMENT & DESIGN.
4. DO NOT ALLOW WATER TO COLLECT & POND BEHIND OR WITHIN HOARDING.
5. OSB/CHIPBOARD WILL NOT BE ACCEPTED FOR SOLID HOARDING

A SOLID WOOD HOARDING

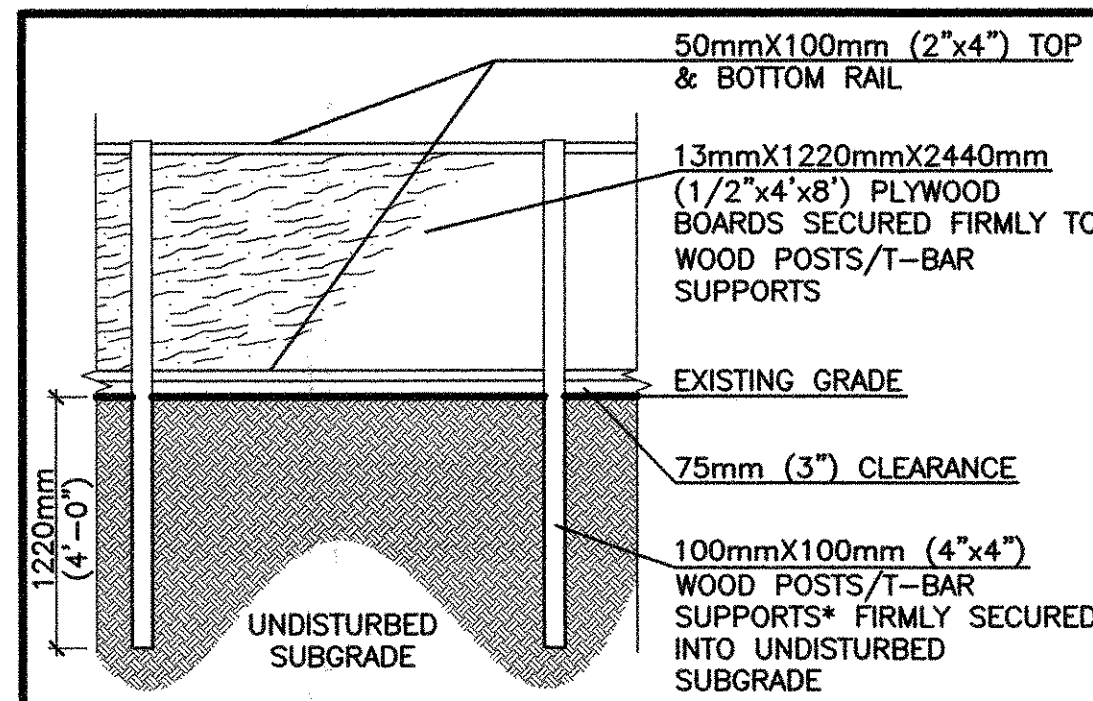
SOLID WOOD HOARDING IS DEFINED AS: A SOLID WOOD STRUCTURE/FENCE, GENERALLY OF PLYWOOD, WITH A MINIMUM HEIGHT OF 1220mm (4'-0") SUPPORTED BY 100mmX100mm (4"x4") WOOD POST/IRON "T" STAKES AT 2010mm (6'-7") ON CENTER AND SUPPORTED WITH A WOODEN FRAME OF 2"x4" TOP AND BOTTOM RAIL.

B FRAMED HOARDING

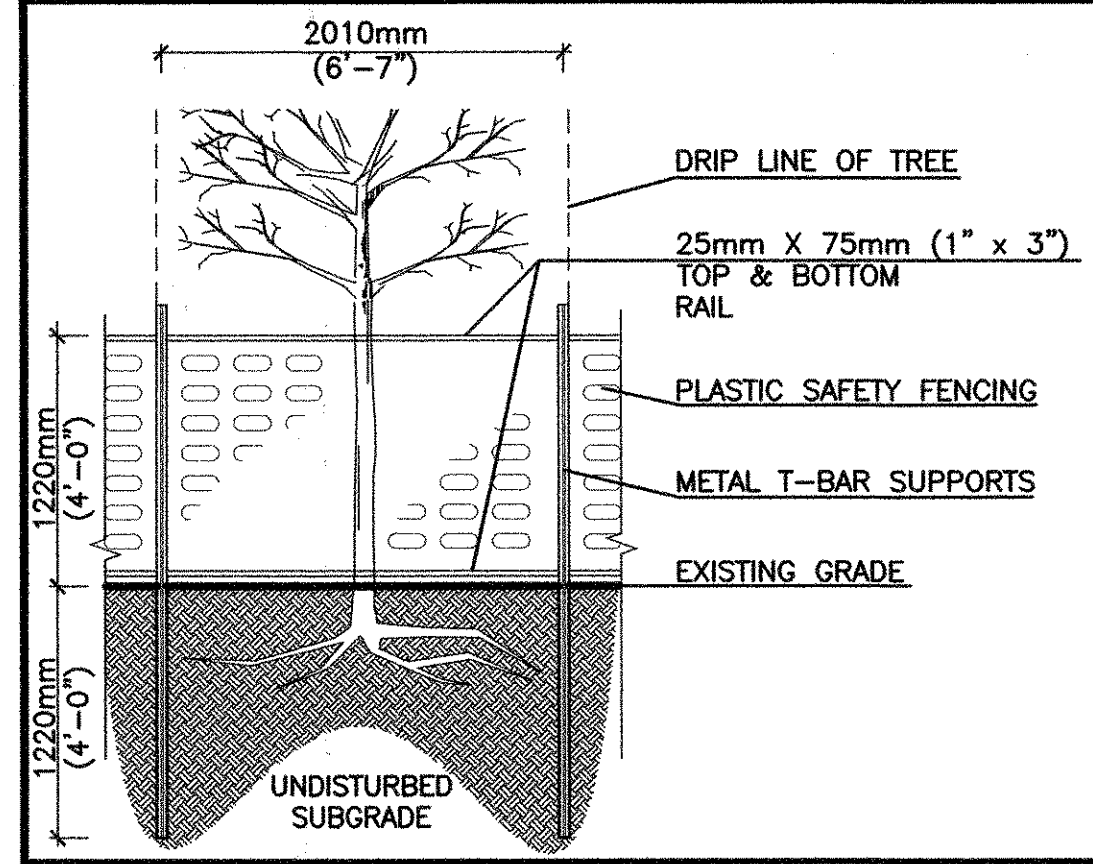
FRAMED HOARDING IS DEFINED AS: PLASTIC SAFETY (OR WOOD SLAT) FENCING SUPPORTED BY IRON "T" STAKES AT 2010mm (6'-7") ON CENTER AND SUPPORTED WITH A WOODEN FRAME OF 25mmX75mm (1"x3") SLATS ACROSS THE TOP AND BOTTOM RAIL.

2 HOARDING GENERAL NOTES

A1-2 SCALE: DNS



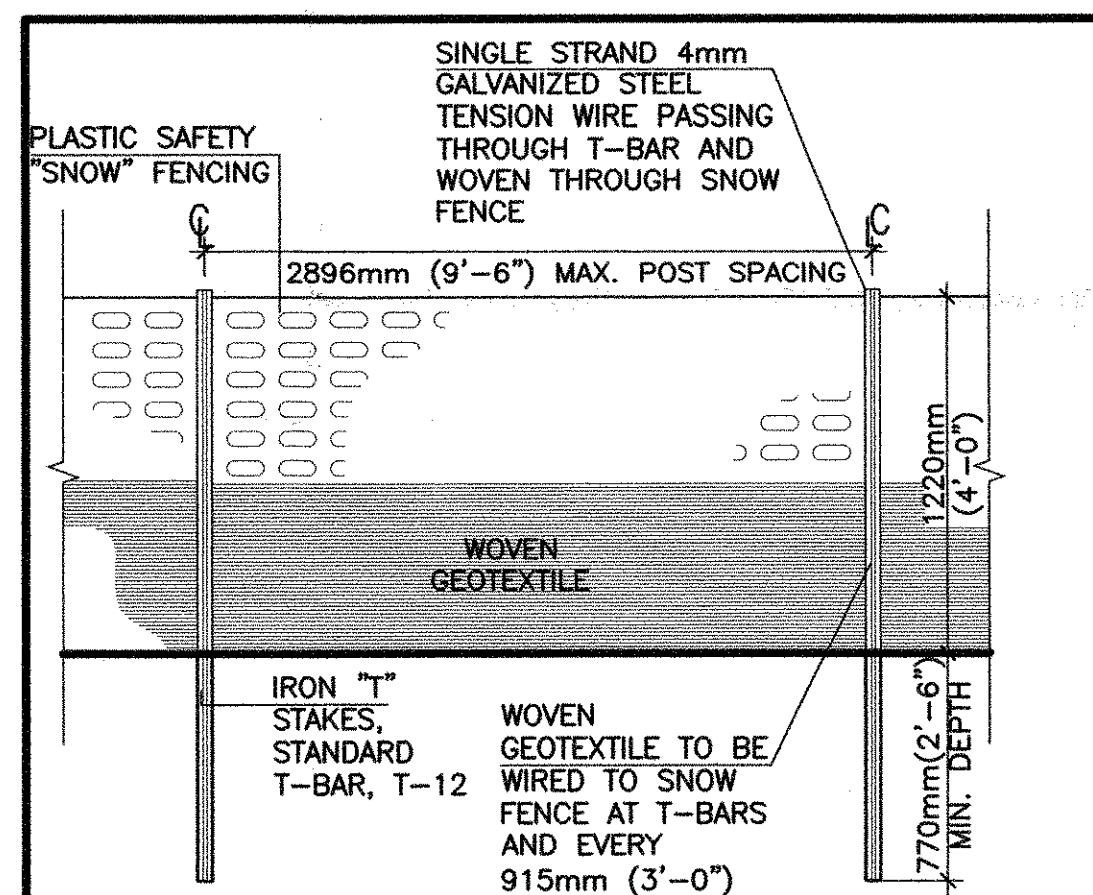
A SOLID WOOD HOARDING



B FRAMED HOARDING

3 HOARDING DETAILS

A1-2 SCALE: DNS



D SEDIMENT CONTROL HOARDING

4 HOARDING - SEDIMENT CONTROL

A1-2 SCALE: DNS

EROSION & SEDIMENT CONTROL NOTES:

1. ALL SNOW FENCING AND SEDIMENT CONTROL FENCING TO BE ERCTED PRIOR TO COMMENCEMENT OF ANY GRADING OPERATIONS (CITY STANDARD 2940.01)
2. ALL CATCHBASINS WITHIN LANDSCAPED AREAS TO HAVE SEDIMENT BARRIER, (CITY STANDARD 2930.03) ERCTED IMMEDIATELY AFTER C/B INSTALLATION. SEDIMENT BARRIER TO BE MAINTAINED ON A REGULAR BASIS UNTIL NO LONGER REQUIRED.
3. ALL ROADSIDE CATCHBASINS TO HAVE SEDIMENT PROTECTION (CITY STANDARD 2930.04) INSTALLED IMMEDIATELY AFTER C/B INSTALLATION. SEDIMENT PROTECTION TO BE MAINTAINED ON A REGULAR BASIS OR TO THE SATISFACTION OF THE CITY OF MISSISSAUGA.
4. CONSTRUCTION SEQUENCE:
 - INITIAL SEDIMENT CONTROL INSTALLATION =
 - SITE GRADING OPERATIONS =
 - UNDERGROUND SERVING OPERATIONS =
 - BUILDING CONSTRUCTION =
 - FINAL GRADING/SODDING OPERATION =

THIS CONTROL PLAN IS PREPARED FOR SUBMISSION TO THE CITY OF MISSISSAUGA IN CONJUNCTION WITH AN APPLICATION FOR EROSION & SEDIMENT CONTROL PERMIT NO. _____ UNDER THE EROSION AND SEDIMENT CONTROL BY-LAW NO. 512-91, AS AMENDED.

NOTES:

- a. "ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE REGULARLY INSPECTED AND MAINTAINED, AS REQUIRED, TO THE SATISFACTION OF THE CITY OF MISSISSAUGA."
- b. "IF CONSTRUCTION IS INTERRUPTED AND/OR INACTIVITY EXCEEDS 30 DAYS, THEN ALL DISTURBED AREAS SHALL BE STABILIZED BY VEGETATION."

5 SEDIMENT CONTROL NOTES

A1-2 SCALE: DNS

LEGAL DESCRIPTION

LOT 4 AND

PART OF FIRST STREET

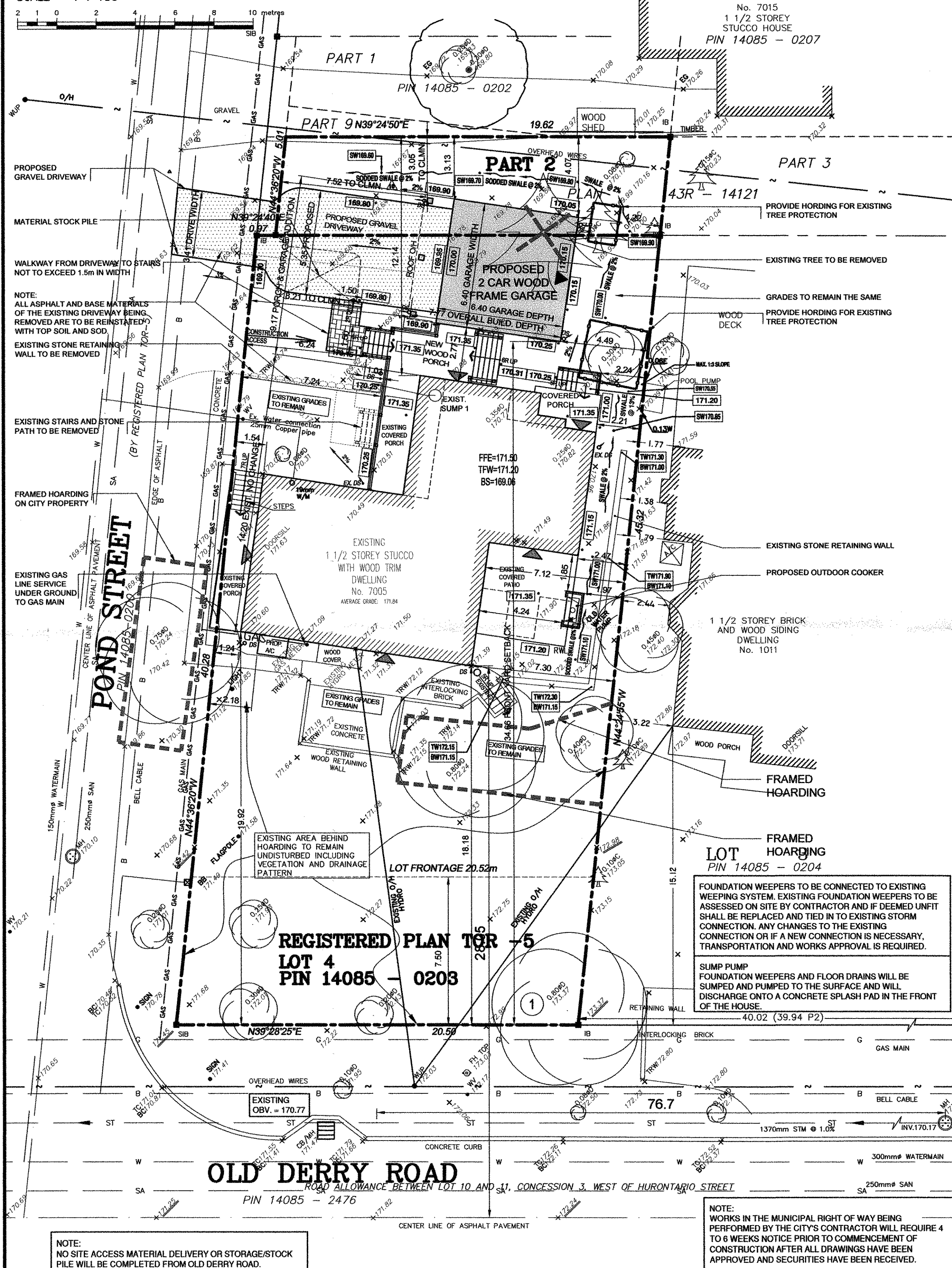
(CLOSED BY BY-LAW 428-85, INST. R0716259)

REGISTERED PLAN TOR-5

CITY OF MISSISSAUGA

REGIONAL MUNICIPALITY OF PEEL

SCALE 1 : 150



BENCHMARK NOTE:

ELEVATIONS ARE REFERRED TO CANADIAN GEODETIC VERTICAL DATUM-1928, AND WERE DERIVED FROM CITY OF MISSISSAUGA BENCHMARK NO. 241, HAVING A PUBLISHED ELEVATION OF 174.317 metres.

LOCATED ON POND STREET NO. 7005 ON NORTH EAST SIDE OF POND STREET, 20 METRES NORTH WEST OF OLD DERRY ROAD. ESTABLISHED BY TOWNSHIP OF MISSISSAUGA.

BEARINGS ARE ASTRONOMIC AND ARE REFERRED TO THE SOUTHEASTERLY LIMIT OF LOT 4 AS SHOWN ON PLAN 43R-14121 HAVING A BEARING OF N39°28'25"E.

6 SITE PLAN

A1-2 SCALE: 1:150

METRIC

DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

7005 POND STREET ESTABLISHED GRADE

LENGTH NO.	BEGIN ELEV.	END ELEV.	LENGTH	EL.1+EL.2 X L
1	169.90	169.90	6.40	1087.36
2	169.90	170.05	6.40	1087.84
3	170.05	170.25	6.40	1088.96
4	170.25	169.90	6.40	1088.48
TOTAL			25.60	4352.64
EG - EST. GRADE =				170.03

OWNER: Kerrigan, Boeykens 7005 Pond Street Mississauga, ON L5W 1A1 416-716-3499		ARCHITECT: THE HICKS PARTNERSHIP INC. 345 LAKESHORE ROAD EAST, SUITE 400 OAKVILLE, ONTARIO L6J 1J5 ATTENTION: WILLIAM R. HICKS PH: 905-339-1212 EXT. 222	
APPLICANT: THE HICKS PARTNERSHIP INC. ATTENTION: Cynthia Gibson PH: 905-339-1212 EXT. 233 FX: 905-339-1214			
SITE STATISTICS			
ADDRESS:		7005 Pond Street MISSISSAUGA, ONTARIO L5W 1A1	
LEGAL DESCRIPTION:		Lot 4, Reg Plan Tor 5	
ZONING:		R1-32	
	%	MT-INC	MT-PER-VAL
LOT AREA:		920.98	9,913.35
LOT COVERAGE:			
PERMITTED (35% of lot area)	25.00%	230.25	2,478.34
LOT FRONTAGE (shorter side = Old Derry rd.)		20.52	67.32
PROPOSED COVERAGE:			
EXISTING HOUSE		207.47	2,233
GARAGE EXISTING		0.00	-
GARAGE DEMOLITION		0.00	-
GARAGE ADDITION		40.96	441
GARAGE TOTAL		40.96	441
PROPOSED TOTAL COVERAGE	26.97%	248.43	2674
HOUSE FLOOR AREAS:			
GROUND FLOOR		156.75	1,687
COVERED PORCH		50.74	546
SECOND FLOOR		158.63	1,707
TOTAL FLOOR AREA:		366.13	3941
EXTERIOR SIDE YARD TO DWELLING		PROPOSED	PERMITTED
TO PORCH		1.24	7.5 "A"247/13
INTERIOR SIDE YARD TO DWELLING		2.24	3.00 "A"247/13
MAXIMUM HEIGHT TO HIGHEST RIDGE:		7.00	22'-11 1/2"
PERMITTED		To match existing	
PROPOSED			
FLAT ROOF PERMITTED AS PER "A"247/13			
TOTAL SIDE YARD SETBACK CALCULATIONS:			
TWO-STORY REQUIRED		=	5.54 18.18
27% of 20.52 (Frontage as per definition)			
PROPOSED:			
1.24m (Left Side) +1.97m (Right Side)		=	3.21 10.53
Notes: Projections are allowed up to 24" into side yards. However they cannot have floor area - they can be window seats only.			

8 SITE STATISTICS

A1-2 SCALE: DNS

SITE PLAN GENERAL NOTES:

1. ALL SURFACE DRAINAGE WILL BE SELF CONTAINED, COLLECTED AND DISCHARGED AT A LOCATION TO BE APPROVED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT.
2. AT THE ENTRANCES TO THE SITE, THE MUNICIPAL CURB AND SIDEWALK WILL BE CONTINUOUS THROUGH THE DRIVEWAY AND A CURB DEPRESSION WILL BE PROVIDED FOR EACH ENTRANCE.
3. ALL PROPOSED CURBING WITHIN THE MUNICIPAL BOULEVARD AREA FOR THE SITE IS TO SUIT AS FOLLOWS:
 - A) FOR ALL SINGLE FAMILY RESIDENTIAL PROPERTIES INCLUDING ON STREET TOWNHOUSES, ALL CURBING IS TO STOP AT THE PROPERTY LIMIT OR THE BACK OF THE MUNICIPAL SIDEWALK, WHICHEVER IS APPLICABLE, OR,
 - B) FOR ALL OTHER PROPOSALS INCLUDING INDUSTRIAL, COMMERCIAL AND CONDOMINIUM DEVELOPMENTS, ALL ENTRANCES TO THE SITE ARE TO BE IN ACCORDANCE WITH P.S.D. 350.010.
4. THE APPLICANT WILL BE REQUIRED TO CONTACT ALL UTILITY COMPANIES TO OBTAIN ALL REQUIRED LOCATES PRIOR TO THE INSTALLATION OF HOARDING WITHIN THE MUNICIPAL RIGHT OF WAY.
5. WORKS IN THE MUNICIPAL RIGHT-OF-WAY BEING PERFORMED BY THE CITY'S CONTRACTOR WILL REQUIRE 4 TO 6 WEEKS NOTICE PRIOR TO COMMENCEMENT OF CONSTRUCTION AFTER ALL DRAWINGS HAVE BEEN APPROVED AND SECURITIES HAVE BEEN RECEIVED.
7. THE APPLICANT WILL BE REQUIRED TO CONTACT ALL UTILITY COMPANIES TO OBTAIN ALL REQUIRED LOCATES PRIOR TO THE INSTALLATION OF HOARDING WITHIN THE MUNICIPAL RIGHT OF WAY.
8. THE APPLICANT WILL BE RESPONSIBLE FOR THE COST OF ANY UTILITY RELOCATIONS NECESSITATED BY THE SITE PLAN.
9. ALL INTERNAL CURBS ARE TO BE STANDARD 2 STAGE CURB AND GUTTER AS PER O.P.S.D. 600.070.

CERTIFICATION FOR PROPOSED GRADING

I HAVE REVIEWED THE PLANS FOR THE CONSTRUCTION OF A HOUSE LOCATED AT 7005 POND STREET AND HAVE PREPARED THIS PLAN IN COMPLIANCE WITH THE PROVISIONS OF THE PROPOSED GRADING AS SHOWN WILL PRODUCE ACCURATE DRAINAGE PATTERNS OF MUNICIPAL SERVICES WITHOUT ANY DETRIMENTAL EFFECT TO THE DRAINAGE PATTERNS OR ADJACENT PROPERTIES.

DATE: MARCH 11, 2016

FILE NO. 6073

TARASICK MCGILLAN KUBICKI LIMITED

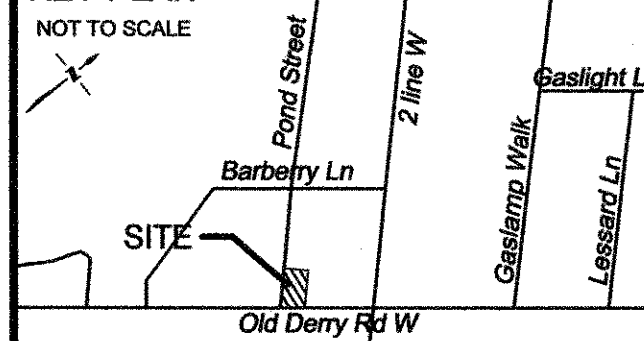
ONTARIO LAND SURVEYORS
4181 SLADWICK CRESCENT, UNIT 42 TEL: (905) 569-8849
MISSISSAUGA, ON L5L 5R2 FAX: (905) 569-3160
OFFICE@TMKSURVEYORS.COM

9 GRADING CERTIFICATE

A1-2 SCALE: DNS

Drawings must NOT be scaled. Contractor must check and verify all dimensions, specifications and drawings on site and report any discrepancies to the architect prior to proceeding with any of the work.

KEY PLAN



SITE LEGEND:

PROPERTY LINE	
EXISTING GRADE	
FINISHED GRADE	
FINISHED FLOOR ELEVATION	
FINISHED BASEMENT ELEVATION	
FINISHED DECK ELEVATION	
MAIN ENTRANCE	
SECONDARY ENTRANCE	
PROPOSED ADDITION AREA	
TREE HOARDING	
EXISTING TREE TO REMAIN	
EXISTING TREE TO BE REMOVED	

12	08.03.16	SPA RESUBMISSION
11	14.07.15	REVISED AS PER SPA COMMENTS
10	21.07.14	ISSUED FOR PERMIT REVISION
9	15.01.14	ISSUED FOR PERMIT REVISION
8	15.01.14	ISSUED FOR PERMIT
7	15.01.14	FINAL SPA SUBMISSION
6	22.11.13	ISSUED FOR SITE PLAN APPROVAL
5	18.11.13	REVISED AS PER SPA COMMENTS
4	12.09.13	REVISED AS PER SPA COMMENTS
3	29.07.13	REVISED AS PER SPA COMMENTS
2	10.07.13	REVISED AS PER SPA COMMENTS
1	16.04.13	ISSUED FOR SITE PLAN APPROVAL

REF. DATE: DESCRIPTION:

REVISIONS / ISSUANCE:

hicks partners
DISTINCTIVE ARCHITECTURE

THE HICKS PARTNERSHIP INC.
288 ROBINSON STREET, SUITE 200 OAKVILLE, ON CAN L6J 1G7
WWW.HICKSPARTNERSHIP.CA

CLIENT:

KERRIGAN-BOEYKENS
RESIDENCE

ADDRESS: 7005 POND STREET
CITY: MISSISSAUGA, ON

DRAWING TITLE:

SITE PLAN

SPM 14/105 W11

DRAWN: CR

DATE: 21.07.14

JOB NUMBER:

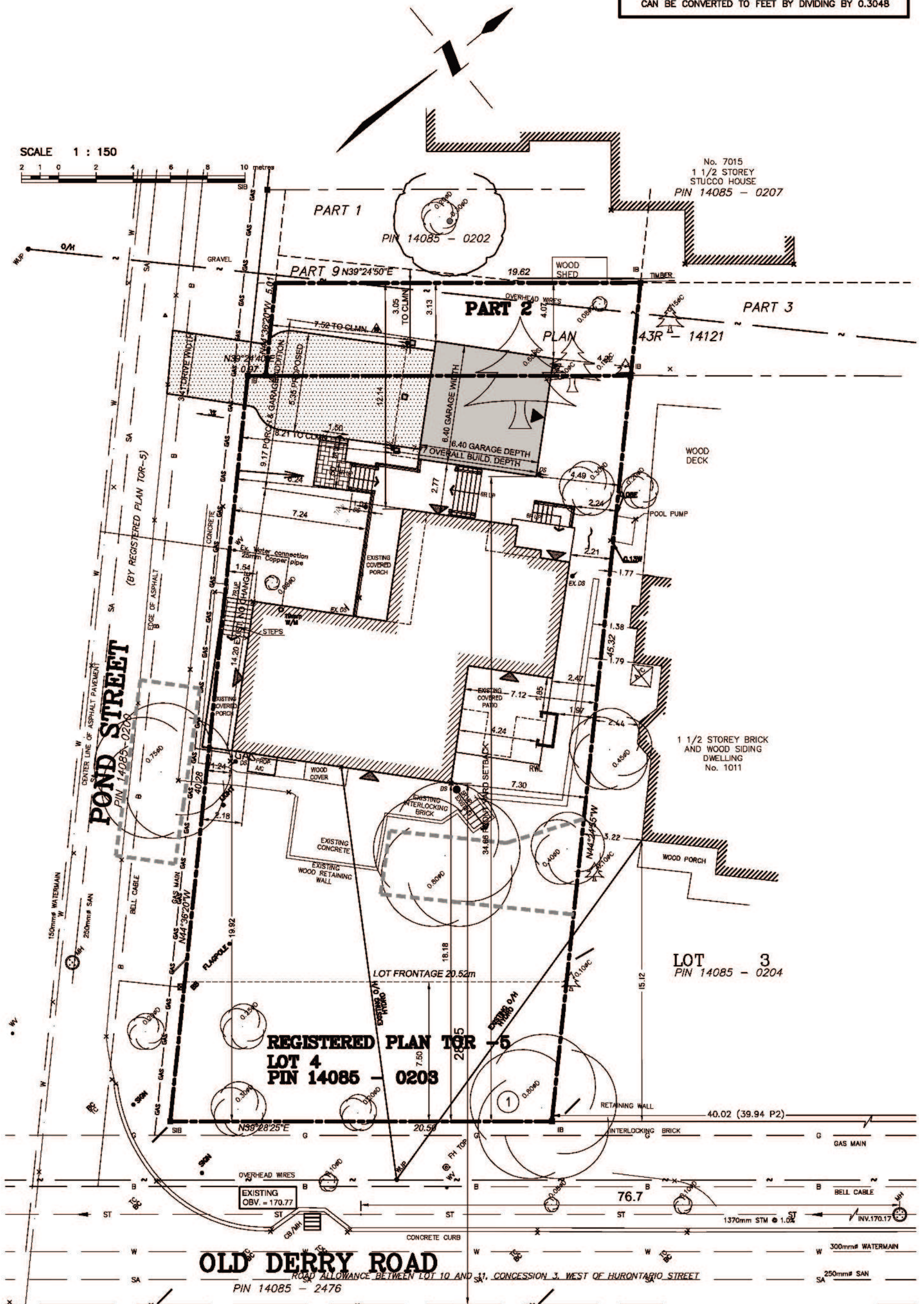
1845-11

SCALE: 1:150

SHEET NUMBER:

A1-2

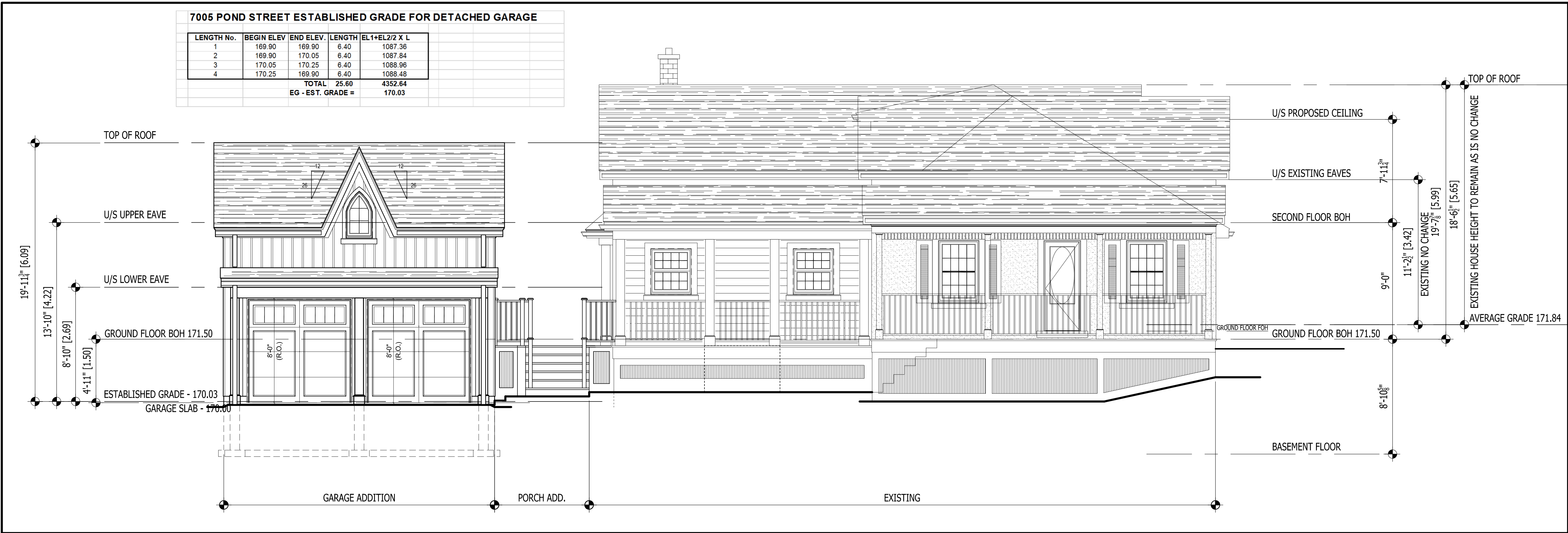
DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND
CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048





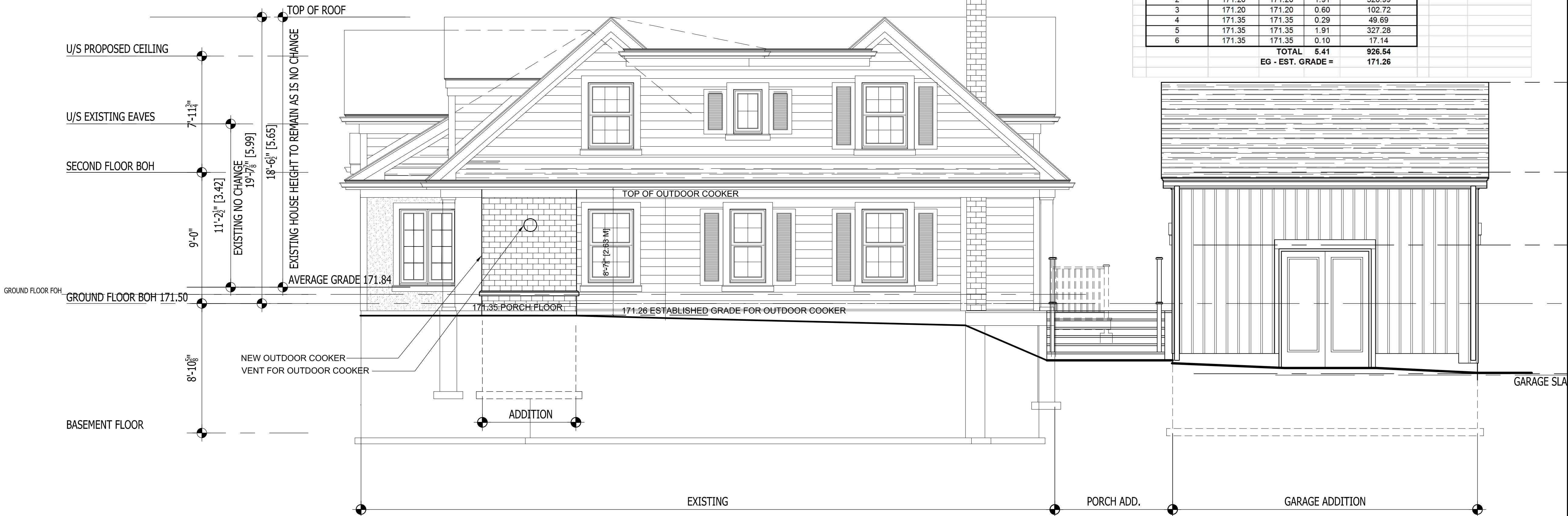
Drawings must NOT be scaled. Contractor must check and verify all dimensions, specifications and drawings on site and report any discrepancies to the architect prior to proceeding with any of the work.

7005 POND STREET ESTABLISHED GRADE FOR DETACHED GARAGE				
LENGTH No.	BEGIN ELEV	END ELEV	LENGTH	EL1+EL2/2 X L
1	169.90	169.90	6.40	1087.36
2	169.90	170.05	6.40	1087.84
3	170.05	170.25	6.40	1088.96
4	170.25	169.90	6.40	1088.48
TOTAL			25.60	4352.64
EG - EST. GRADE =				170.03



1 WEST ELEVATION
A4.1 SCALE: 1/4"=1'-0"

ESTABLISHED GRADE CALCULATION FOR OUTDOOR COOKER				
LENGTH No.	BEGIN ELEV	END ELEV	LENGTH	EL1+EL2/2 X L
1	171.20	171.20	0.60	102.72
2	171.20	171.20	1.91	326.99
3	171.20	171.20	0.60	102.72
4	171.35	171.35	0.29	49.69
5	171.35	171.35	1.91	327.28
6	171.35	171.35	0.10	17.14
TOTAL			5.41	926.54
EG - EST. GRADE =				171.26



2 EAST ELEVATION
A4.1 SCALE: 1/4"=1'-0"

1 22.03.16 ISSUED FOR SITE PLAN APPROVAL

REF. DATE: DESCRIPTION:
REVISIONS / ISSUANCE:



hicks partners
DISTINCTIVE ARCHITECTURE

THE HICKS PARTNERSHIP INC.
255 ROBINSON STREET, SUITE 200 DOWNTOWN ONTARIO, CANADA M5T 1B7
WWW.HICKSPARTNERS.CA T.905.339.1212

CLIENT:
**KERRIGAN-BOEYKENS
DETACHED GARAGE**

ADDRESS: 7005 POND STREET
CITY: MISSISSAUGA, ONT

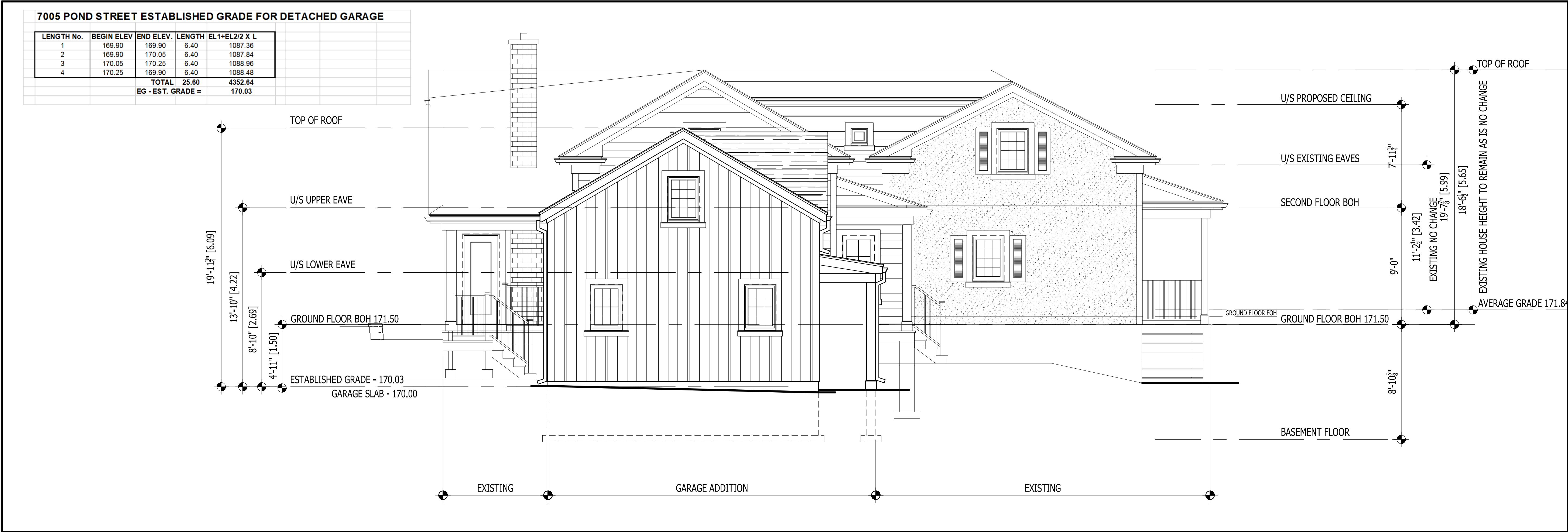
DRAWING TITLE:
**WEST ELEVATION
EAST ELEVATION**

DRAWN: C.R.

DATE: 06.09.12 SCALE: 1/4"=1'-0"

JOB NUMBER: SHEET NUMBER:

1845-11 **A4.1**



1 NORTH ELEVATION

A4.2 SCALE: 1/4"=1'-0"



2 SOUTH ELEVATION

A4.2 SCALE: 1/4"=1'-0"



Drawings must NOT be scaled. Contractor must check and verify all dimensions, specifications and drawings on site and report any discrepancies to the architect prior to proceeding with any of the work.

1 22.03.16 ISSUED FOR SITE PLAN APPROVAL
REF. DATE: DESCRIPTION:
REVISIONS / ISSUANCE:



THE HICKS PARTNERSHIP INC.
255 ROBINSON STREET, SUITE 200 ONTARIO, CANADA M5T 1S7
WWW.HICKSPARTNERS.CA T.905.339.1212

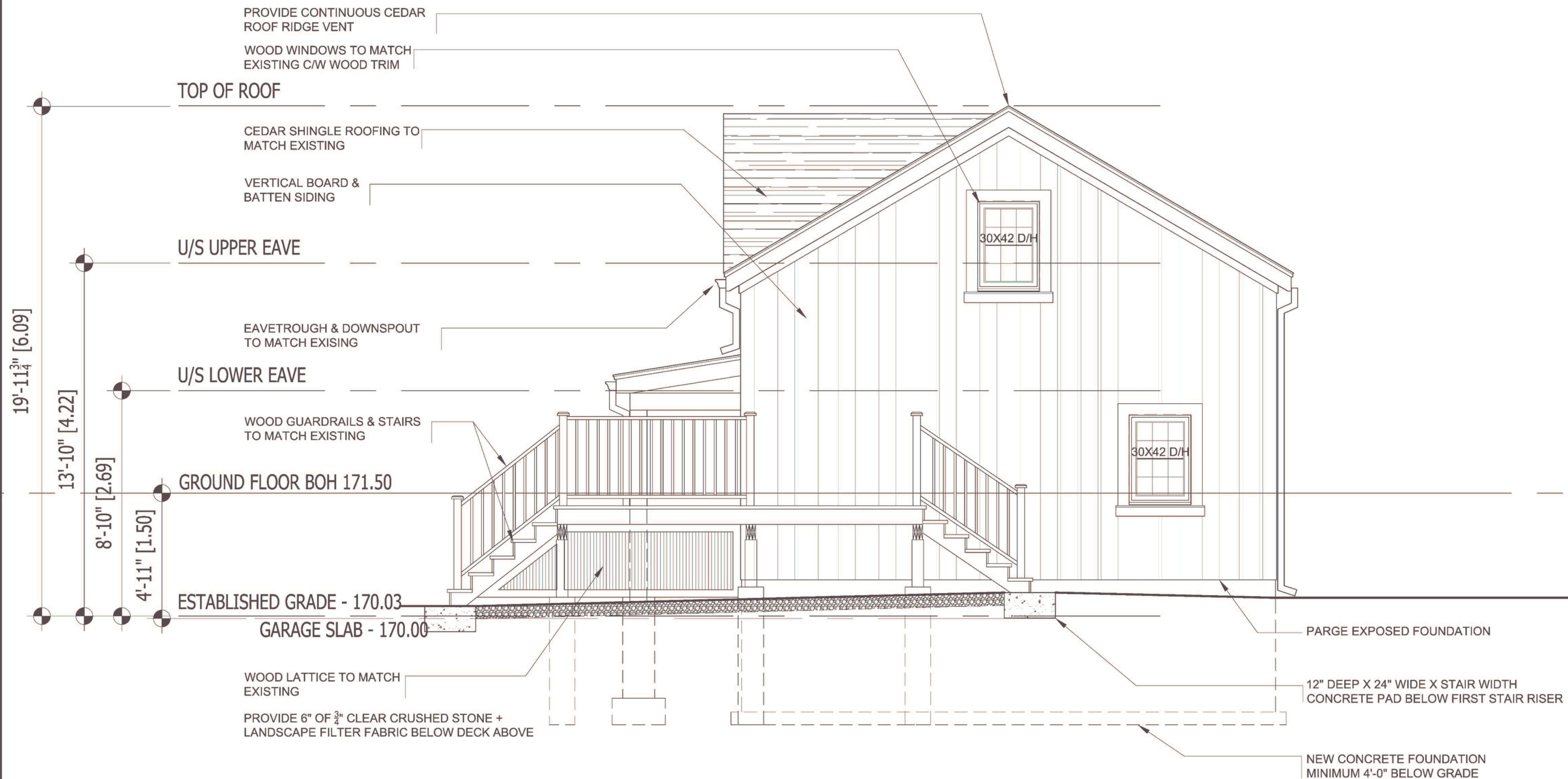
CLIENT:
**KERRIGAN-BOEYKENS
DETACHED GARAGE**

ADDRESS: 7005 POND STREET
CITY: MISSISSAUGA, ONT

DRAWING TITLE:
**NORTH ELEVATION
SOUTH ELEVATION**

DRAWN: V.R.P.
DATE: 06.09.12 SCALE: 1/4"=1'-0"
JOB NUMBER: SHEET NUMBER:
1845-11 A4.2

7005 Pond Street
Garage South Elevation
1/2"=1'-0"
May 25, 2016



City of Mississauga

Corporate Report



Date: 2016/06/16

To: Chair and Members of Heritage Advisory Committee

From: Paul Mitcham, P. Eng, MBA, Commissioner of
Community Services

Originator's files:

Meeting date:
2016/07/12

Subject

**Request to Demolish a Heritage Listed Property
2222 Doulton Drive (Ward 8)**

Recommendation

1. That the property at 2222 Doulton Drive, which is listed on the City's Heritage Register, is not worthy of heritage designation, and consequently, that the owner's request to demolish proceed through the applicable process.
2. That once the new lots are severed, the "retained" lot, which fronts Doulton Drive, be removed from the City's Heritage Register, as it will no longer meet the criteria for inclusion on the Mississauga Road Scenic Route Cultural Landscape.

Background

Section 27.3 of the *Ontario Heritage Act* states that structures or buildings on property listed on the City's Heritage Register cannot be removed or demolished without at least 60 days' notice to Council. This legislation allows time for Council to review the property's cultural heritage value to determine if the property merits designation.

The owner of the subject property has applied to replace the existing single detached dwelling with a new one. The subject property is listed on the City's Heritage Register as it forms part of the Mississauga Road Scenic Route Cultural Landscape, noted for its historical origins and scenic quality as one of the oldest original roads within the City of Mississauga. However, it should be noted that the Committee of Adjustment has conditionally approved an application to subdivide the lot. Once the severance is complete, the subject "retained" lot will no longer front Mississauga Road.

Comments

The property owner requests permission to demolish the existing structure. The Heritage Impact Statement, by W.E. Oughtred & Associates Inc., is attached as Appendix 1. It is the consultant's conclusion that the house at 2222 Doulton Drive is not worthy of heritage designation. Staff concurs with this opinion.

Because the subject "retained" lot will no longer front Mississauga Road, once the severance is complete, it should be removed from the City's Heritage Register as it will no longer form part of the Mississauga Road Scenic Route Cultural Landscape.

Financial Impact

There is no financial impact.

Conclusion

The owner of 2222 Doulton Drive has requested permission to demolish a structure on a property listed on the City's Heritage Register. The applicant has submitted a documentation report which provides information which does not support the building's merit for designation under the *Ontario Heritage Act*.

The Committee of Adjustment has approved a conditional severance of the property, which would result in the subject "retained" lot having frontage only on Doulton Drive, not Mississauga Road. As such, once the severance is complete, the subject "retained" lot should be removed from the City's Heritage Register as it will no longer form part of the Mississauga Road Scenic Route Cultural Landscape.

Attachments

Appendix 1: Heritage Impact Statement



Paul Mitcham, P. Eng, MBA, Commissioner of Community Services

Prepared by: P. Wubbenhorst, Senior Heritage Coordinator



Heritage Impact Statement

2222 Doulton Drive
Mississauga, Ontario

April, 2016

W.E. Oughtred & Associates Inc.
2140 Winston Park Drive, Suite 28
Oakville, ON L6H 5V5

INTRODUCTION

It is a requirement for the City of Mississauga to request "Heritage Impact Statements" for proposed demolitions of homes listed within the Cultural Landscape Inventory. This report will review the subject property as a part of the Mississauga Road Scenic Route.

The property has been severed into 3 lots, one fronting onto Mississauga Road and two onto Doulton Drive. This report will review the relationship between the new house proposed on the retained lot (see attached severance sketch) and the Mississauga Road Scenic Route Study. (Addendums will be provided, if necessary, when the other 2 parcels are developed).

As a result of the requirement for the demolition of the existing house on the subject property, this Heritage Impact Statement has been prepared.

TABLE OF CONTENTS

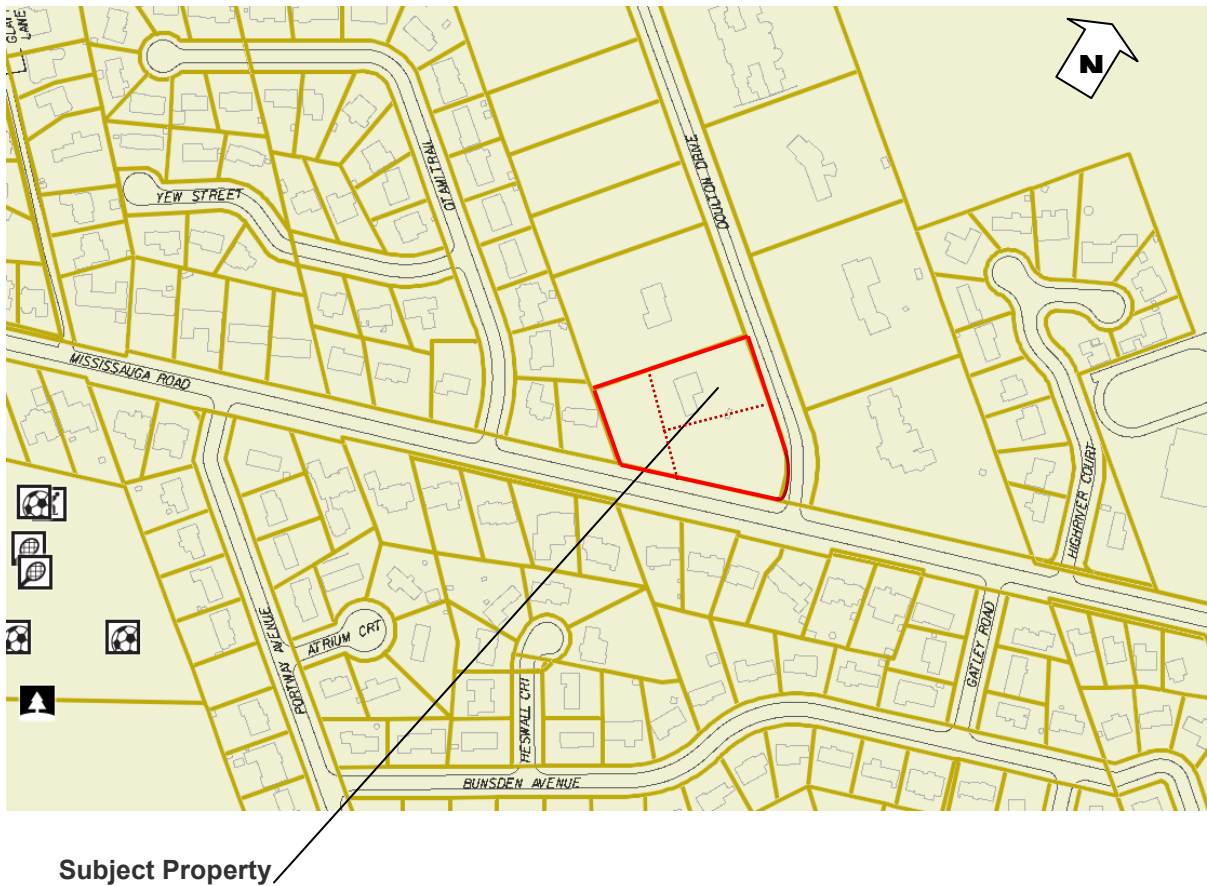
- 1.Context Map**
- 2.Location Map**
- 3.Plan of Survey**
- 4.Draft Reference Plan**
- 5.Official Plan**
- 6.Zoning Map**
- 7.Aerial Photos**
- 8.Significant Cultural Landscape Designation**
- 9.Property History**
- 10.Peel Historical Atlas**
- 11.Existing site conditions**
 - a. Exterior Photos**
 - b. Floor Plans**
 - c. Interior Photos**
- 12.Proposed House**
- 13.Proposed Site Plan**
- 14.Cultural Heritage Landscape Inventory**
- 15.Conclusions**
- 16.Mandatory Recommendations**
- 17.About the Author**
- 18.References**

1. Context Map



The property is located on the northwest corner of Doulton Drive and Mississauga Road. It is located north of the Queen Elizabeth Way and east of Erin Mills Parkway.

2. Location Map



The subject property is located on the west side of Doulton Drive, at the northwest corner of Doulton Drive and Mississauga Road. An application to the Committee of Adjustment, Provisional Consent Files B 62 & 63/15 approved the severance of the lot. The dashed lines approximate the new lot lines.

[illegible]

[illegible]

5. Mississauga Plan (Official Plan)

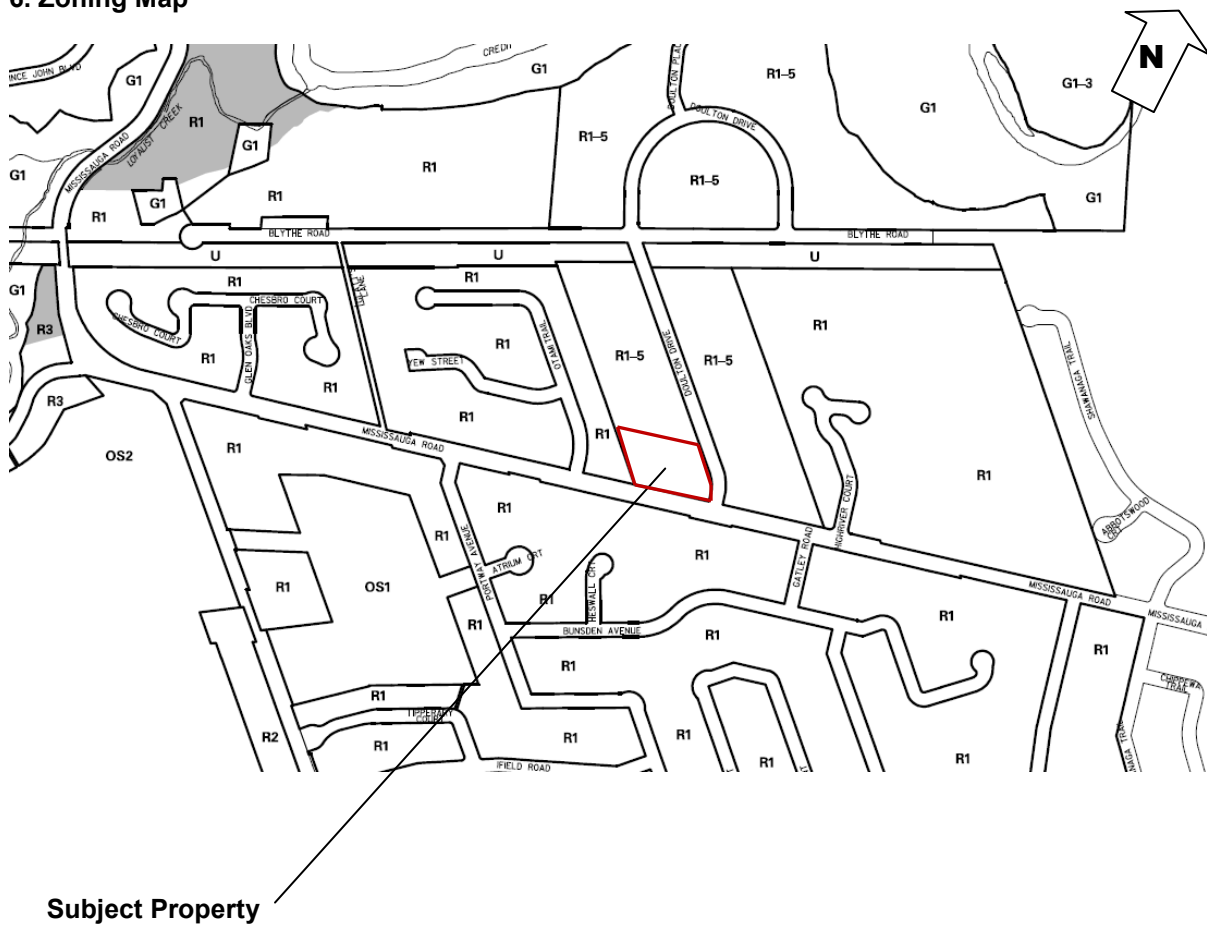


Subject Property

The subject property is designated Residential Low Density 1 in the Erindale District Policies of the Mississauga Plan.

The Residential Low Density 1 policies provide for single family detached residential dwellings.

6. Zoning Map



The subject property is zoned R1-5 under the City of Mississauga Zoning By-law 225-2007, as amended.

The provisions of the R1-5, zoning permits single family detached residential dwellings. The site specific exceptions require minimum lot frontage and areas and that the infill guidelines be followed.

7. Aerial Photos

The aerial photos demonstrate the development of the neighbourhood. The subject property is outlined in red in all of the photos.

1954 Aerial Photo



This 1954 photo indicates that most of the land was farmland (fruit orchards), with one house at the northeast corner of Doulton Drive and Mississauga Road.

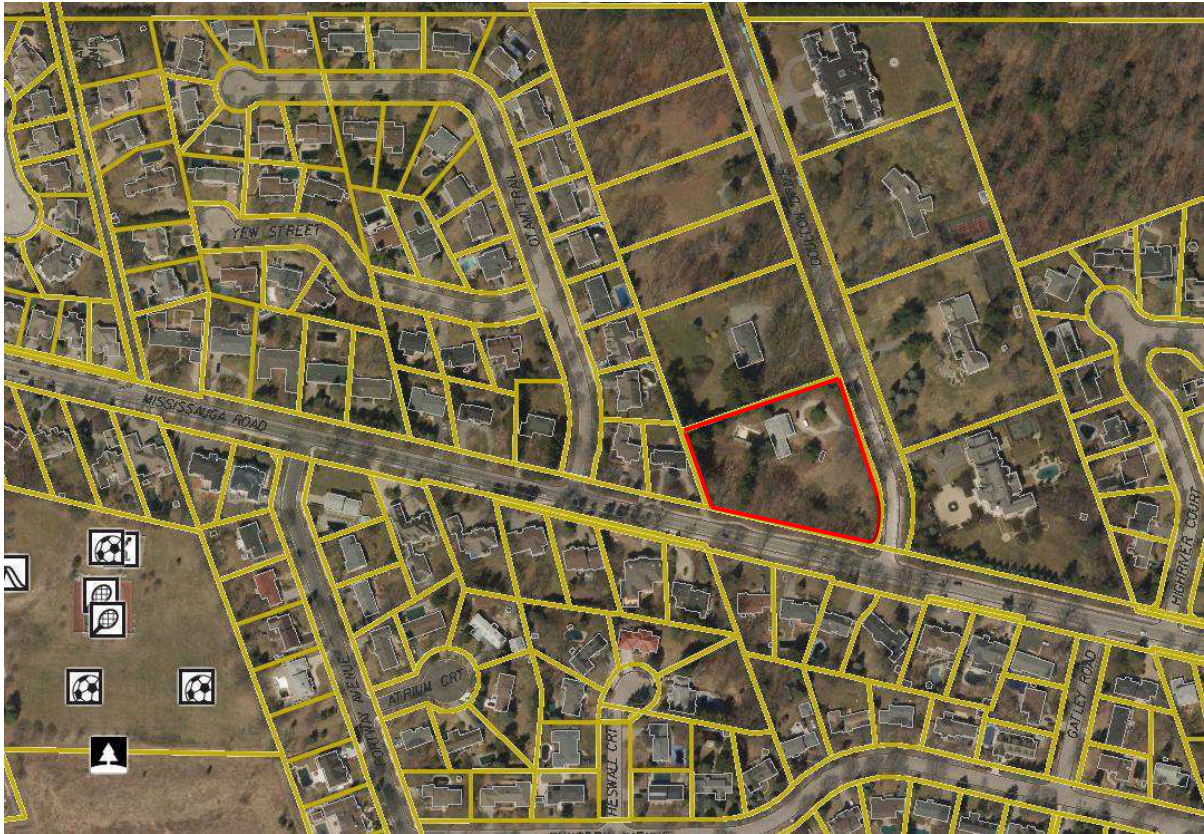
W.E. Oughtred & Associates Inc.

1977 Aerial Photo



This photo demonstrates the development of the area. A few lots are vacant however, no farmland remains.

2015 Aerial Photo



The area is completely developed. Some homes have even reached the end of their livability and have been replaced with newer, larger custom homes (the properties across the street on Doulton Drive).

8. Significant Cultural Landscape Designation

Mississauga Road is recognized as a Cultural Landscape, as it is one of the City's oldest and most picturesque thoroughfares. Its alignment varies from being part of the normal road grid in the north to a curvilinear alignment in the south, following the top of bank of the Credit River. The scenic quality of the road is notable because it traverses a variety of topography and varying land use, from old established residential neighbourhoods to new industrial and commercial areas. From Streetsville south the boulevards and adjacent landscapes are home to some of the oldest and most spectacular trees in the City. The road also includes some of the city's most interesting architecture and landscape features, including low stone walls. The road's pioneer history and its function as a link between Mississauga's early communities, makes it an important part of the City's heritage.

*City of Mississauga Cultural Landscape Inventory.

9. Property History (Title Chain)

This chain of title search was provided by Steven Shaw Conveyancing.

May 1856: Crown to Christopher Robinson

January 1871: Christopher Robinson to James Teeter

April 1887: James Teeter to John Urquhart

December 1944: John Urquhart Estate to Howard Parsons

Plan 331 is registered

October 1946: Howard Parsons to Everette and Benjamin Smith

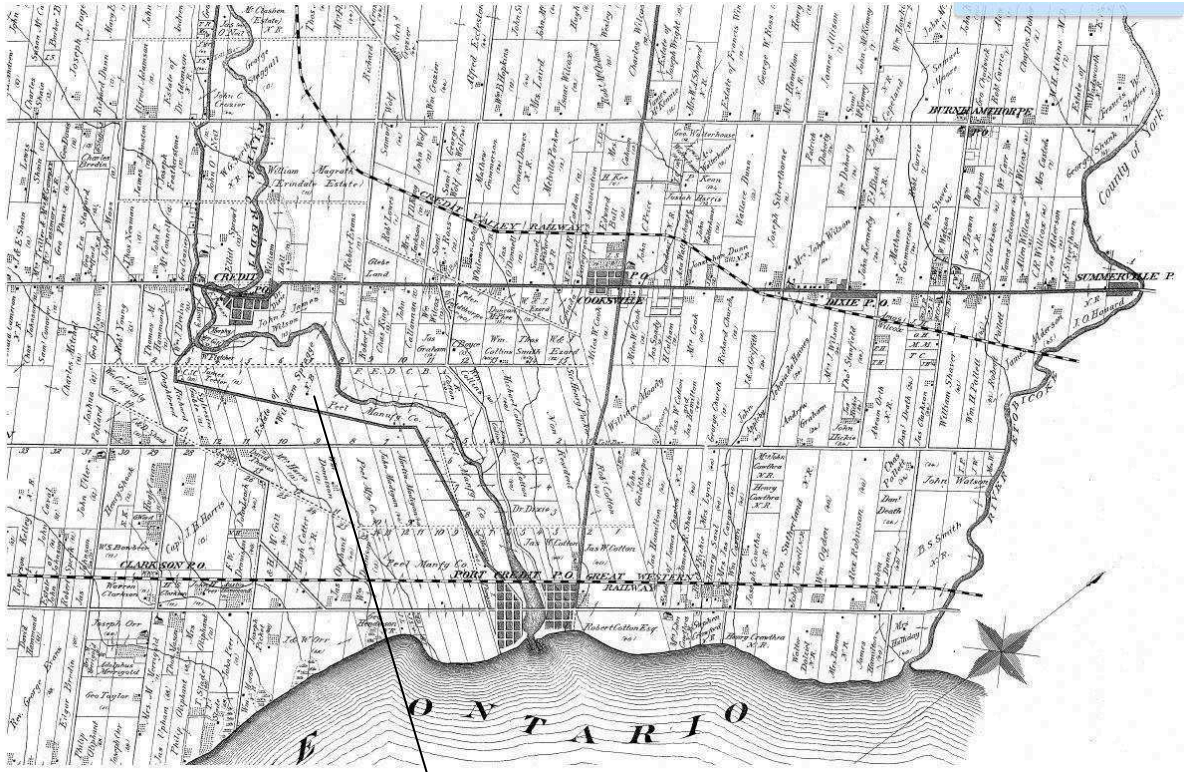
October 1953: Everette and Benjamin Smith to Cathryne & Gordon Armstrong

April 1958: Cathryne & Gordon Armstrong to John Wardrop and John Hunter

May 1958: John Wardrop and John Hunter to Robert Hurley

March 2016: Estate of Robert Hurley to MF

10. Peel Historical Atlas 1877



Approximate location of subject property.

11. Existing Site Conditions

The existing property has an area of 2.14ac (8,650 m²) containing a single family detached dwelling. The home was built in 1957 by the property owner, Robert Hurley. It was designed by him as well. In speaking with his family, they advised that the property was purchased in 1957 at a cost of \$13,000; although it had sold the previous day for \$9,000. Mr. Hurley offered the new owner \$9,900 for the lot (a 10% ROI in that day was rare) but he insisted on the higher price. The home was built for a cost of approximately \$35,000 (according to son Sean Hurley). A pool was installed in 1961 along with the planting of many trees. The Hurleys raised 6 children in the home. Robert Hurley passed away in 2009. His wife, Peggy Anne, moved to a seniors resident when she was no longer able to live at home. We have included the death notice for Robert Hurley (below).

HURLEY, Robert Patrick James - June 21st, 1922 - May 16th, 2009 With the deepest respect for a life well lived, we sadly announce Bob's passing at age 86. He will be fondly remembered and dearly missed by his wife of 50 years, Peggy Anne and his 6 children, Michael, Maureen, Patrick, Peter, Anne-Marie (Andrew Doman), Sean (Mónica Ferrer), and grandchildren Timothy (Alecia Henderson), Kristiana, Emily, Matthew, Robert, Maria, Sara, Grace, and great-grandchildren Kenzie and Chloe. We were blessed to have had him to teach, love, guide and help us through all of life's experiences. He was a wonderful husband, father, Papa, and a great friend to all that had the good fortune of meeting him. We thank God for his presence in all our lives. His spirit will live on in all of us. His last words were: "Jesus, I trust in You". Friends may call at the Turner & Porter Neweduk-Erin Mills Chapel, 1981 Dundas St. W., Mississauga, east of Erin Mills Pkwy., on Wednesday and Thursday from 2-4 and 6-8 p.m. Funeral Mass will be held at St. Mary Star of the Sea Church, 11 Peter St. S., Mississauga, on Friday, May 22, 2009 at 10 a.m. Interment Mount Hope Cemetery. Thank you for your prayers. In lieu of flowers, we request that donations be made to www.campaignlifecoalition.com www.shepherdstrust.org or www.covenanthouse.org "Jesus, I trust in You"

The lot is relatively flat and well drained. The property is well treed. The property will be severed into three (3) lots, pending clearance of the Conditions of Provisional Consent for Committee of Adjustment Files B 62 & 63/15. One property will front onto Mississauga Road, the other two onto Doulton Drive.

A). Exterior Photos



Front Elevation (east)





North elevation, above. South elevation, below.





West elevation.



12. Proposed House



Front Elevation



North Elevation

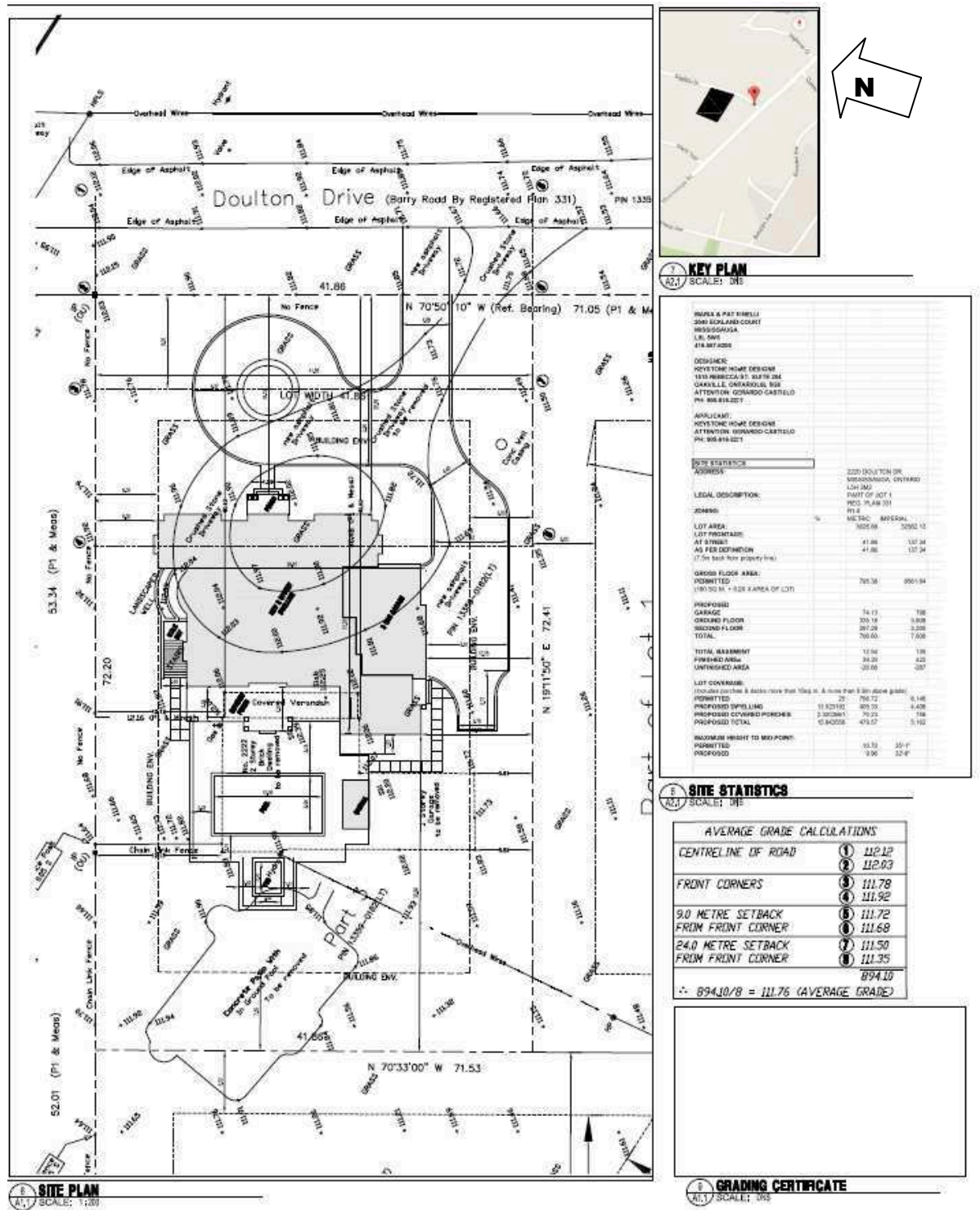


East Elevation



West Elevation

13. Proposed Site Plan



14. Cultural Heritage Landscape Inventory

The subject property is located within an area of Mississauga known as the Mississauga Road Scenic Route that has the following features identified under the "Cultural Landscape Inventory":

Landscape Environment

- Scenic and Visual Quality
- Horticultural Interest
- Landscape Design, Type and technological Interest

Historical Association

- Illustrates style, trend or pattern
- Illustrates important phase in Mississauga's Social or physical development

Built Environment

- Consistent Scale of built features

Other

- Historical or Archaeological Interest

The proposed demolition of the existing house will not have any negative impacts on its status within the cultural landscape.

We offer the following information to expand on each of the areas identified;

Landscape Environment

- Scenic and Visual Quality
 - *This property is located in a highly desirable area on Mississauga Road, south of Dundas Street West. The scenic value of Mississauga Road characterized by the vegetation, road type, residential character and heritage quality will not be impacted with the construction of the proposed new home. The home is to be constructed on the retained parcel, fronting onto Doulton Drive, will not be visible or impact the scenic or visual quality of Mississauga Road*
- Horticultural Interest
 - *The subject property is well treed and as many mature trees as possible will be retained throughout the redevelopment. An arborist report is attached. Further, at this time, no dwellings have been proposed for the severed lots, as such, we cannot comment on the trees to be removed or retained along Mississauga Road.*
- Landscape Design, Type and technological Interest
 - *Mississauga Road can be traced back to the 1800's; a transportation route established along portions of the Credit River from Streetsville, through Erindale to Port Credit. The removal and construction of a new dwelling on the retained parcel will have no impact on the landscape design of the scenic route.*

Built Environment

- Consistent Scale of built features
 - *This section of Mississauga Road permits single family detached dwellings. This section of Mississauga Road has consistently sized lots and homes.*

Historical Association

- Illustrates style, trend or pattern
 - *Based on the date of construction of the existing dwelling, there is no associative value with a social or physical development.*
- Illustrates important phase in Mississauga's Social or physical development
 - *We contacted Matthew Wilkinson from Heritage Mississauga with regards to the subject property. There was no information available on the site or the owner who built it. Further we spoke with the family who had no additional information to provide.*

Other

- Significant Ecological Interest
 - *The existing house does not have significant ecological value. It does not reflect a style that was built for diversity or educational interest.*

15. Conclusions

The redevelopment of the subject property will have no negative impacts on the historic character or the scenic qualities of Mississauga Road. Mature trees will remain and the homes will be built in keeping with existing homes in the neighbourhood.

16. Mandatory Recommendation

The subject property does not meet the criteria for heritage designation under Ontario Regulation 9/06 of the Ontario Heritage Act.

Subsection (2) sets out the criteria by which consideration is given in determining whether a property is of cultural heritage value or interest. It is our opinion that the property does not have cultural heritage value or interest as supported by the following points:

1. The property has design value or physical value because it,
 - i) is a rare, unique, representative or early example of a style, type, expression, material or construction method.
 - ii) displays a high degree of craftsmanship or artistic merit, or
 - iii) demonstrates a high degree of technical or scientific achievement.

The home was built by Robert Hurley as his family home. While it was well constructed, it does not represent a rare or early example of a style, type or construction method. The home was simply constructed lacking a high degree of craftsmanship or artistic merit. As an example, baseboards and moldings are simple and unadorned.

2. The property has historical value or associative value because it,
 - i) has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to the community,
 - ii) yields, or has the potential to yield, information that contributes to an understanding of a community or culture, or
 - iii) demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community

The property has no known associations and nor does it contribute to an understanding of the community or culture. Heritage Mississauga was consulted and the owner and builder of the home was unknown to them.

3. The property has contextual value because it,
 - i) is important in defining, maintaining or supporting the character of an area,
 - ii) is physically, functionally, visually or historically linked to its surrounding, or
 - iii) is a landmark.

The original parcel is part of the Mississauga Scenic Route as it abuts onto Mississauga Road. However, due to the severance of the property, this home will no longer directly contribute to the streetscape of Mississauga Road. As such, it has no contextual value.

1. *Does the property meet the criteria for heritage designation under Ontario Regulation 9/06, Ontario Heritage Act:*

The property itself has been listed on the heritage register under the Mississauga Scenic Road Route Cultural Feature, however, the existing dwelling has not been designated. The existing house does not meet the criteria set out in Regulation 9/06, Ontario Heritage Act

2. *If the subject property does not meet the criteria for heritage designation then it must be clearly stated as to why it does not.*

The existing home is not known to represent significance related to theme, event, belief, person, activity, organization or institution in the community. The current property and home do not hold any intrinsic value that makes it rare, unique, or representative of an early style, type, expression, or material or construction method. It is not known to possess any characteristics that contribute to an enhanced understanding of the community or local culture. It is also not known to represent the work of any architect, artist, builder, designer or theorist in the community. There is no link to its physical, functional, visual or historic surroundings.

3. *Regardless of the failure to meet criteria for heritage designation, does the property warrant conservation as per the definition in the Provincial Policy Statement?*

The proposed development proposes conservation of the cultural landscape of the property but not of the existing dwelling. As stated above the existing dwelling does not warrant conservation as per Ontario Regulation 9/06, Ontario Heritage Act or the Provincial Policy Statement.

17. About the Author

William Oughtred of W.E. Oughtred & Associates Inc. is a development and land use consultant who has been practicing in the Mississauga and GTA area for over twenty years. Mr. Oughtred has worked in the land use planning field for over 20 years, specializing in the City of Mississauga. He is well versed in both Planning and Building procedures and the City of Mississauga Zoning By-law and The City of Mississauga Official Plan.

William was born, raised and attended school in Mississauga. He is a lifelong resident and has been very active in the Mississauga community through his other interests and pursuits including volunteering on the Spring Creek Cemetery Board.

William specializes in infill type development projects which typically require attendance before the Committee of Adjustment in connection with Applications for Consent or Minor Variance. His twenty years of experience has afforded him the opportunity to see the City evolve and be at the forefront of evolving trends and patterns in land development in Mississauga. William has been involved in the City of Mississauga's challenge in dealing with the pressures created by the infill housing that has occurred in the south part of Mississauga. His experience in shepherding development applications through the approval process and dealing with the community, City staff and the Members of Council provides an insight into the market for redevelopment that has focused its attention on this community.

Heritage Impact Statements have been completed for the following properties located in Mississauga:

- 276 Arrowhead Road
- 1510 Stavebank Road
- 1267 Mississauga Road
- 2701 Mississauga Road
- 123 Kenollie Avenue
- 1168 Mississauga Road
- 4077 Mississauga Road
- 92 Pinetree Way
- 169 Donnelly Drive
- 1532 Adamson Road
- 1405 Glenwood Drive
- 1445 Glenburnie Road

18. References

<http://www.ontarioarchitecture.com/>

<http://www.mississauga.ca>

Matthew Wilkinson, Heritage Mississauga

Canadiana Room, Mississauga Central Library

PAMA, Peel Archives

Mississauga Road Scenic Study, 1997

Meadowvale Heritage Conservation District Advisory Sub-Committee

Date

June 7, 2016

Time

1:30 p.m.

Location

Meadowvale Village Hall, 6970 Second Line West, Mississauga

Members

Jim Holmes, Citizen Member
Brian Carmody, Citizen Member
Gord MacKinnon, Citizen Member
John McAskin, Citizen Member
David Moir, Citizen Member
Colleen Newmarch, Citizen Member
Greg Young, Citizen Member

Members Absent

Janet Clewes, Citizen Member
David Dodaro, HAC Representative
Paul McGuigan, HAC Representative
Terry Wilson, Citizen Member

Staff Present

Mark Warrack, Manager, Culture and Heritage Planning
Paula Wubbenhorst, Senior Heritage Coordinator, Culture Division
Cecilia Nin Hernandez, Heritage Coordinator, Culture Division
Mumtaz Alikhan, Legislative Coordinator, Legislative Services Division

Find it online

<http://www.mississauga.ca/portal/cityhall/heritageadvisory>

CALL TO ORDER – 1:30pm

APPROVAL OF AGENDA

APPROVED (G. Young)

DECLARATIONS OF CONFLICT OF INTEREST - Nil

APPROVAL OF PREVIOUS MINUTES

Approval of Minutes of January 5, 2016

APPROVED (B. Carmody)

DEPUTATIONS - Nil

MATTERS TO BE CONSIDERED

1. Request to Alter 7004 Second Line West

Paula Wubbenhorst, Senior Heritage Coordinator, reviewed the Application.

In response to concerns with the state of the vacant lot requiring a clean-up, Rick Mateljan, Architect, Strickland Mateljan, advised that the Applicant is anxious to proceed with the alternation. Ms. Wubbenhorst confirmed that this item will be on the agenda of the Heritage Advisory Committee scheduled to meet on July 12, 2016.

RECOMMENDATION

MVHCDA-0006/2016

That the request to alter the property at 7004 Second Line West be approved with the following conditions:

1. No simulated dividers be employed on the windows.
2. The proposed replacement door be simplified.
3. Any repairs made to the original siding match the original material and dimensions.

APPROVED (C. March)

2. Request to Alter 7005 Pond Street

Ms. Wubbenhorst reviewed the Application. She stated that there are two trees to the rear wall which will probably need to be removed. She suggested that flexibility be permitted to allow the garage to be moved forward to save these trees. David Moir objected to this as his house will already be overpowered by the garage which will be taller than his heritage home. He said the two trees behind were not worth saving. Ms.

Wubbenhorst confirmed that tree removal will be subject to the Private Tree Protection By-law.

RECOMMENDATION

MVHCDA-0007/2016

That the request to alter the property at 7005 Pond Street be approved with the following condition:

1. No simulated dividers be employed on the windows.

APPROVED (D. Moir)

3. **Request to Alter 1011 Old Derry Road**

Ms. Wubbenhorst reviewed the Application.

Jim Holmes, Chair, advised that several members visited the site just before the commencement of this meeting to review the request.

Matt Ramsay, Jameson Pool, noted that there is no alternative in the backyard without some presence of a retaining wall in order to allow a swimming pool. He said an armour stone wall provides stability and will not be visible to backyards in the neighbourhood.

Sharon and Adrian Bubalo, Owners, stated that they wished to make the space usable for their family's enjoyment. Ms. Bubalo noted that the armour stone wall will be more cost effective. Mr. Bubalo stated that they have gone above and beyond to meet the City's guidelines and should not be punished for going through the process.

The Committee considered the request and felt that an armour stone wall will be a safer and functional option which will stand the test of time. The Committee felt that due to the proposed wall's invisibility to adjacent neighbours, it does not have a negative impact from a heritage perspective and that the Application be approved. Mr. Moir also noted that the proposed wall will prevent erosion washing onto his property.

RECOMMENDATION

MVHCDA-0008/2016

That the Meadowvale Village Heritage Conservation District Advisory Sub-Committee recommends the request to alter the property at 1011 Old Derry Road, be approved.

APPROVED (G. Young)

OTHER BUSINESS

1. Colleen Newmarch expressed concern about the appropriateness of the stone surface driveway at the Silverthorn property instead of gravel. Mark Warrack, Manager, Culture and Heritage Planning, advised that it is permitted if the stone surface is considered permeable.

2. Mr. Young said that he was prepared to pay for a fence behind the Community Centre. Ms. Cecilia Nin Hernandez, Heritage Coordinator, advised that if it is a privacy fence and is visible to the neighbourhood, a heritage permit is required.

DATE OF NEXT MEETING - Tuesday, August 9, 2016 at 1:30 a.m., Meadowvale Village Hall, 6970 Second Line West if required.

ADJOURNMENT – 2:25 p.m.