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## Heritage Advisory Committee

**Date**

2016/05/10

**Time**

9:30 AM

**Location**

Civic Centre, Council Chamber,  
300 City Centre Drive, Mississauga, Ontario, L5B 3C1 Ontario

**Members**

Councillor George Carlson, Ward 11 (Chair)  
Rick Mateljan, Citizen Member (Vice-Chair)  
Councillor Carolyn Parrish, Ward 5  
Michael Battaglia, Citizen Member  
Elizabeth Bjarnason, Citizen Member  
Robert Cutmore, Citizen Member  
David Dodaro, Citizen Member  
Lindsay Graves, Citizen Member  
James Holmes, Citizen Member  
Cameron McCuaig, Citizen Member  
Paul McGuigan, Citizen Member  
Matthew N. Wilkinson, Citizen Member

**Contact**

Mumtaz Alikhan, Legislative Coordinator, Legislative Services  
905-615-3200 ext. 5425  
[mumtaz.alikhan@mississauga.ca](mailto:mumtaz.alikhan@mississauga.ca)

**NOTE:** To support corporate waste reduction efforts the large appendices in this agenda can be viewed at:  
<http://www.mississauga.ca/portal/cityhall/heritageadvisory.ca>

**Find it Online**

<http://www.mississauga.ca/portal/cityhall/heritageadvisory>

1. CALL TO ORDER
2. APPROVAL OF AGENDA
3. DECLARATION OF CONFLICT OF INTEREST
4. MINUTES OF PREVIOUS MEETING
  - 4.1. Approval of Minutes of April 12, 2016 Meeting
5. DEPUTATIONS
  - 5.1. Inspiration Port Credit – 1 Port Street East – Update For Information  
Ruth Marland, Strategic Leader, Strategic Community Initiatives, Planning and Building Department
6. MATTERS TO BE CONSIDERED
  - 6.1. 2016 Designated Heritage Property Grants

**RECOMMENDATION**

That the Heritage Property Grant Program requests be approved as outlined in the report from the Commissioner of Community Services, dated April 15, 2016

- 6.2. Request to Demolish a Heritage Listed Property: 1293 Woodland Avenue (Ward 1)

**RECOMMENDATION**

That the property at 1293 Woodland Avenue, which is listed on the City's Heritage Register, is not worthy of heritage designation, and consequently, that the owner's request to demolish proceed through the applicable process.

- 6.3. Heritage Permit By-law Revision

**RECOMMENDATION**

1. That a revised heritage permit by-law be adopted, as outlined in this Corporate Report from the Commissioner of Community Services (dated April 14, 2016), in order to simplify the heritage permit application process and to delegate authority to staff to accept applications and provide consent on certain alterations of properties according to the *Ontario Heritage Act* (the "Act"), as amended.
2. That the existing heritage permit by-law 77-2014 be repealed.

7. SUBCOMMITTEE UPDATES

7.1. Heritage Designation Sub-Committee Draft Terms of Reference and Priorities

7.2. Public Awareness Sub-Committee

8. INFORMATION ITEMS

8.1. New Construction on Listed Property: 46 Queen Street South  
Memorandum dated April 14, 2016 from Cecilia Nin Hernandez, Heritage Coordinator, for information.

8.2. Wartime Housing  
Memorandum dated April 14, 2016 from Cecilia Nin Hernandez, Heritage Coordinator, for information.

9. OTHER BUSINESS

10. DATE OF NEXT MEETING – June 14, 2016

11. ADJOURNMENT

City of Mississauga  
**Minutes**



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## Heritage Advisory Committee

**Date**

2016/04/12

**Time**

9:30 AM

**Location**

Civic Centre, Council Chamber,  
300 City Centre Drive, Mississauga, Ontario, L5B 3C1 Ontario

**Members Present**

Councillor George Carlson, Ward 11 **(Chair)**  
Rick Mateljan, Citizen Member **(Vice-Chair)**  
Councillor Carolyn Parrish, Ward 5  
Elizabeth Bjarnason, Citizen Member  
Robert Cutmore, Citizen Member  
David Dodaro, Citizen Member  
Lindsay Graves, Citizen Member  
James Holmes, Citizen Member  
Cameron McCuaig, Citizen Member  
Matthew N. Wilkinson, Citizen Member

**Members Absent**

Michael Battaglia, Citizen Member  
Paul McGuigan, Citizen Member

**Staff Present**

Mark Warrack, Manager, Culture and Heritage Planning  
Cecilia Nin Hernandez, Heritage Coordinator, Culture Division  
Mumtaz Alikhan, Legislative Coordinator

**Find it online**

<http://www.mississauga.ca/portal/cityhall/heritageadvisory>

1. CALL TO ORDER – 9:34 am
2. APPROVAL OF AGENDA  
**APPROVED** (Councillor C. Parrish)
3. DECLARATION OF CONFLICT OF INTEREST - Nil
4. MINUTES OF PREVIOUS MEETING
- 4.1. Approval of Minutes of February 9, 2016  
**APPROVED** (M. Wilkinson)
5. DEPUTATIONS - Nil
6. MATTERS TO BE CONSIDERED
- 6.1. Museums and Heritage Planning Strategic Plan (Plan)

Mark Warrack, Manager, Culture and Heritage Planning, spoke to the Final Report. He stated that the recommendations are based on a considerable amount of consultation as well as research and background material. The next steps are to seek Council approval and the necessary resources for implementation.

The Committee raised the following issues:

- Financial priorities are buried in the Report;
- Status quo until the funding is approved in 2017;
- Animate cultural landscapes;
- Lack of proactive efforts to pursue additional designations and heritage districts;
- Cultural map needs to be developed further

Mr. Warrack advised that once the budget and business planning process has been completed and the funds allocated, work on the Thematic Heritage Outline of Mississauga (THOM) can commence which will set the priorities for all City heritage initiatives such as identifying opportunities for additional designations, heritage conservation districts, cultural landscapes and listed property rationalisation. With respect to the Cultural Map, Mr. Warrack advised that it is used as a planning tool to identify cultural resources throughout the City and adding cultural landscapes is possible but will crowd the map. Mr. Warrack further stated that the Committee will continue to deal with legislated matters such as demolitions.

The committee thanked staff for the comprehensive report and their work that went into Strategic Plan.

### **RECOMMENDATION**

HAC-0011-2016

That the Heritage Advisory Committee endorses the Museums and Heritage Strategic Plan Final Report entitled “Heritage Management Strategy”, prepared by TCI Management Consultants, dated March 2016, attached as Appendix 1 to the Corporate Report dated March 17, 2016 from the Commissioner of Community Services, and further that staff report to General Committee.

**APPROVED** (M. Wilkinson)6.2. Proposed Heritage Designation, 1130-40 Clarkson Road North (Ward 2)

Mr. Dodaro commented that this designation has been long time coming and commended staff for their efforts in moving forward with the designation.

**RECOMMENDATION**

HAC-0012-2016

1. That the property at 1130-40 Clarkson Road North be designated under the *Ontario Heritage Act* for its physical/design, historical/associative and contextual value and that the appropriate City officials be authorized and directed to take the necessary action to give effect thereto.
2. That, if there are objections to the designation, City Council direct the City Clerk to refer the matter to the Conservation Review Board.

**APPROVED** (D. Dodaro)6.3. Request to alter a Heritage Designated Property within a Heritage Conservation District: 1074 Old Derry Road (Ward 11)**RECOMMENDATION**

HAC-0013-2016

That the proposed driveway width remedial work as shown in Appendix 1 of the Corporate Report dated March 17, 2016 from the Commissioner of Community Services, be approved for the property at 1074 Old Derry Road.

**APPROVED** (J. Holmes)6.4. Request to Demolish a Detached Garage Structure within a Heritage Listed Property - 20 Ben Machree Drive (Ward 1)

Cecilia Nin Hernandez, Heritage Coordinator, advised that this request applies to the garage structure only of a listed property.

**RECOMMENDATION**

HAC-0014-2016

That the garage structure at 20 Ben Machree Drive, which is listed on the City's Heritage Register, is not worthy of heritage designation, and consequently, that the owner's request to demolish the garage structure proceed through the applicable process.

**APPROVED** (R. Cutmore)6.5. Request to Demolish a Heritage Listed Property: 3020 Victory Crescent (Ward 5)

Councillor Parrish noted that Malton has undergone a cultural and planning review and a proposal to designate the Village of Malton a **Community Improvement District**. She noted that Kitchener and St. Mary have maintained the characters of areas similar to Victory Village and requested staff to bring their plans to the next meeting. Mr. Warrack

agreed to do so and also suggested that the Committee would find it interesting to watch a short documentary on war time housing. Councillor Parrish said that she would like a policy on heritage infill, particularly for the Victory Village area.

Councillor Parrish expressed concern at the lack of site plan control in the area and particularly for the preservation of the healthy maple trees. She amended the recommendation with an addition of a proviso that City trees on the property be preserved.

**RECOMMENDATION**

HAC-0015-2016

That the property at 3020 Victory Crescent, which is listed on the City's Heritage Register, is not worthy of heritage designation, and consequently, that the owner's request to demolish proceed through the applicable process, with the proviso that the City trees on the property be preserved.

**APPROVED** (Councillor C. Parrish)

6.6. **Name Change of Holcim Waterfront Estate (Ward 2)**

Councillor Parrish was pleased to see that the Estate will be named "The Harding Estate" and the proposal also recommends that the house be named "Bell-Gairdner House".

**RECOMMENDATION**

HAC-0016-2016

That the Corporate Report dated March 23, 2016 from the Commissioner of Community Services entitled "Name Change of Holcim Waterfront Estate", be received for information.

**RECEIVED** (Councillor C. Parrish)

6.7. **Heritage Impact Assessment, 1538 Adamson Street**

M. Wilkinson commented that a textural difference with the wall that connects the garage to the house using different cladding would serve to break up the massing. Mr. Warrack agreed to approach the owner on this matter.

**RECOMMENDATION**

HAC-0017-2016

That the memorandum from Paula Wubbenhorst, Senior Heritage Coordinator, dated March 15, 2016, with respect to the Heritage Impact Assessment for the property located at 1538 Adamson Street, be received for information.

**RECEIVED** (M. Wilkinson)

6.8. **2016 Ontario Heritage Conference - May 12-14**

Ms. Alikhan advised that details of the conference had been sent by email to Committee Members and Mr. Wilkinson had indicated an interest in attending, hence the request

for funding. However, due to a personal conflict, Mr. Wilkinson will not be able to attend.

Councillor Parrish was interested in attending the Ontario Heritage Conference and requested Ms. Alikhan to resend the details to her.

### **RECOMMENDATION**

HAC-0018-2016

That the memorandum from Mumtaz Alikhan, dated March 28, 2016, with respect to the 2016 Ontario Heritage Conference to be held on May 12-14 in Stratford-St. Marys, Ontario, be received for information.

### **RECEIVED** (M. Wilkinson)

## 7. SUBCOMMITTEE UPDATES

### 7.1. Public Awareness Subcommittee - Nil

### 7.2. Heritage Designation Subcommittee

Mr. McCuaig questioned the need for the continuance of this Subcommittee given the Strategic Plan approved earlier. The original intent of the Subcommittee was to identify proactive opportunities. Councillor Carlson stated that notwithstanding the Strategic Plan, designations will continue to be a responsibility of the Heritage Advisory Committee. Mr. Warrack agreed, and advised that there are a number of priorities already being considered. Mr. McCuaig will liaise with Heritage staff regarding a list of potential designations in 2016.

## 8. INFORMATION ITEMS – Nil.

## 9. OTHER BUSINESS

Councillor Carlson suggested that an inventory of properties that have been delisted be made available online as structures of heritage interest to the public. He noted that these properties do not lose their heritage value despite the delisting.

Discussion ensued with respect to the delisting of listed properties because owners are placed in a very challenging situation in terms of unnecessary delays and costs when selling, as well as for the potential buyers, because of the heritage conditions on these properties. There should also be a moratorium on the amount of time a property stays on the list, and that this list be reviewed frequently. Mr. Warrack confirmed that other municipalities maintain an inventory of properties of public interest on their websites separate from one of listed and designated properties. He stated that a review of the current inventory will follow the THOM exercise. He further noted that most of the approximately 3,000 properties are tied into cultural landscapes and approximately 1,000 of those are tied to the Credit River. He said the THOM exercise will provide criteria to determine a streamlined delisting process as the current one is complicated. Mr. Mateljan agreed that the process to determine what merits delisting and what does not is complicated. Mr. McCuaig suggested placing of a plaque on such properties



showing their heritage value might be an option.

Mr. Wilkinson advised of an independent Jane's Walk in Malton organized by Robert Ruggeiro and requested staff to provide details of the Walk to Committee Members by email.

10. DATE OF NEXT MEETING - May 10, 2016

11. ADJOURNMENT – 10:58 am

DRAFT

# City of Mississauga

## Memorandum



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**To:** Chair and Members of the Heritage Advisory Committee  
Meeting Date: May 10, 2016

**From:** Ruth Marland, Strategic Leader, Strategic Community Initiatives, Planning and Building Department

**Date:** May 2, 2016

**Subject:** Inspiration Port Credit – 1 Port Street East – Update For Information

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We would like to provide you with an update on the City's Inspiration Port Credit project for your information.

The City's Inspiration Port Credit project has been exploring opportunities on the Mississauga waterfront at 1 Port Street East, owned by Canada Lands Company. The City is putting together plans blending the needs and interests of the community, the landowner and the City.

With certain key technical studies now completed for 1 Port Street East, we are proceeding with the development of a Master Plan for the site.

1 Port Street East is included in Mississauga's Cultural Landscape Inventory, and is listed on the City's Heritage Register. Staff is developing a Master Plan to guide the revitalization of the site by the future proponent for a mixed use waterfront community where the marine and cultural histories of the site come together. The Master Plan acknowledges the cultural heritage importance of the site; the historic marina function is preserved as a critical focus of the site, as are the panoramic views and connections to the Ridgeway and Lake Ontario.

On December 3 and 4, 2015, Inspiration Port Credit hosted a two-day workshop to confirm design parameters and develop a preliminary design concept for the site. This emerging concept was refined and further articulated into a draft master plan, which was presented to the community on February 4, 2016. The next step is to take the master plan forward to the Planning and Development Committee for consideration for approval.

cc. Susan Burt, Director, Strategic Community Initiatives

# City of Mississauga

## Corporate Report



Date: 2016/04/15

To: Chair and Members of Heritage Advisory Committee

From: Paul Mitcham, P. Eng, MBA, Commissioner of  
Community Services

Originator's files:

Meeting date:  
2016/05/10

## Subject

**2016 Designated Heritage Property Grants**

## Recommendation

That the Heritage Property Grant Program requests be approved as outlined in the report from the Commissioner of Community Services, dated April 15, 2016

## Background

In May 2007 Council adopted By-law 0184-2007, as amended February 25, 2009, to provide grants to owners of heritage designated properties. The program assists heritage designated property owners with financial assistance from a minimum of \$500 to a maximum of \$5,000 in matching funds for conservation projects, and up to \$10,000 for structural projects. Properties must be designated under the *Ontario Heritage Act*, and the work proposed must be a restoration or reconstruction of original architectural elements.

### *The Assessment Panel & Process*

In support of the Designated Heritage Property Grant process, an assessment panel is established, by the Heritage Advisory Committee, comprising three assessors. The assessors for the term ending November 30, 2018 are; Matthew Wilkinson, Rick Mateljan and David Dodaro. The Committee member assessment panel met on April 1, 2016 to provide their recommendations for grant recipients. The City is fortunate to have such a high quality, knowledgeable group of volunteers. Staff is sincerely grateful to the assessors for their time and commitment.

## Comments

In accordance with procedural guidelines, the Heritage Property Grant Review Subcommittee, appointed by the Heritage Advisory Committee, reviewed the applications to ensure they are complete and meet all of the program's criteria.

Eligible projects include:

- Conservation of existing architectural elements;
- Reconstruction of existing architectural elements that need repair;
- Restoration of architectural elements which have been lost but can be replicated based on documentary evidence; and
- Repair and restoration of building elements required for structural soundness.

Fourteen applications were submitted by the advertised deadline of March 24, 2016. One application was withdrawn from the program. The total amount of funding request for the remaining projects was \$98,057, against a budget of \$75,000. A summary of the recommended grant awards based on the 2016 budget is attached as Appendix 1.

Successful grant applicants will be notified of these results with any conditions, including whether the work proposed requires a heritage permit. Work must be complete by October 28, 2016, and property owners must ensure they do not owe any outstanding taxes, monies to the City, or have any by-law deficiencies, so final inspections can be made by staff shortly thereafter. Invoices are due by November 28, 2016. Grant funds are not provided until all of these conditions have been met to the satisfaction of the City. Unspent funding is forfeited by the grant recipient.

## Financial Impact

This report recommends a total allocation of \$75,000 against the budget of \$75,000 available in cost centre 21134 for the Designated Heritage Property Grant program.

## Conclusion

A total of eleven Designated Heritage Property Grant applications are recommended for approval in the 2016 Heritage Property Grant Program. This allows the city to assist successful applicants in the conservation and preservation of Mississauga's built heritage resources

## Attachments

Appendix 1: 2016 Summary of Designated Heritage Property Grants



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Paul Mitcham, P. Eng, MBA, Commissioner of Community Services

Prepared by: Andrew Douglas, Grants Officer

| <i>Number</i> | <i>Address</i>                | <i>Applicant</i>       | <i>Project</i>                                                            | <i>Max. Grant Amount</i>  |
|---------------|-------------------------------|------------------------|---------------------------------------------------------------------------|---------------------------|
| 1             | 1033 Barberry Lane            | Marshall & Janice King | Replacement of Cedar Roof.                                                | 10000                     |
| 2             | 1234 Old River Road           | Robin Plumb            | Conservation of 12 windows.                                               | 5000                      |
| 3             | 2625 Hammond Road             | Qureshi Latiq          | Repair and replacement of wood on soffits/fascia and wood around windows. | 4957                      |
| 4             | 27 Mill Street                | James Robertson        | Foundation Repair                                                         | 9750                      |
| 5             | 295 Queen Street South        | Ray Gaule              | Conservation of 14 basement windows                                       | 5000                      |
| 6             | 31 Mississauga Road South     | Besmira Alikaj         | Reinforcing the existing main floor framing.                              | 10000                     |
| 7             | 41 Bay Street                 | Trevor Crawford        | Replacing aluminum siding on the west side of the house with wood siding. | 3000                      |
| 8             | 47 Queen Street South         | Anthony Monardo        | Masonry and brick structural repair                                       | 8943                      |
| 9             | 680 Silvercreek Blvd. Unit 18 | Alex Garcia            | Painting all wood siding, doors frame and window frames.                  | 3350                      |
| 10            | 7005 Pond Street              | Martin Boeykens        | Repainting of all exterior wood windows, trim, Facia and columns          | 5000                      |
| 11            | 913 Sangster Avenue           | Debbie Daymond         | Waterproofing of the north and west walls                                 | 10000                     |
|               |                               |                        |                                                                           | <b>Total \$ 75,000.00</b> |

City of Mississauga  
**Corporate Report**



Date: 2016/04/12

To: Chair and Members of Heritage Advisory Committee

From: Paul Mitcham, P. Eng, MBA, Commissioner of  
 Community Services

Originator's files:

Meeting date:  
 2016/05/10

## Subject

**Request to Demolish a Heritage Listed Property: 1293 Woodland Avenue (Ward 1)**

## Recommendation

That the property at 1293 Woodland Avenue, which is listed on the City's Heritage Register, is not worthy of heritage designation, and consequently, that the owner's request to demolish proceed through the applicable process.

## Background

The owner received permission to demolish the existing structure at the subject property in January 2014. (The corresponding report is attached as Appendix 1. Please note the Heritage Impact Assessment is available upon request due to changes in the application of FOI legislation). The redevelopment has not yet occurred. In April 2014, the heritage permit by-law was updated with a year expiry clause. As such, this item is again before the Heritage Advisory Committee.

## Comments

The property continues to have no cultural heritage value. As such, the demolition should be approved.

## Financial Impact

There is no financial impact.

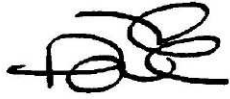
## Conclusion

The proposal to demolish 1293 Woodland Avenue is before the Committee due to a new expiry clause in the heritage permit by-law. The property does not merit designation under the Ontario Heritage Act. As such, the proposed demolition should be allowed to proceed.

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## Attachments

Appendix 1: January 21, 2014 Corporate Report



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Paul Mitcham, P. Eng, MBA, Commissioner of Community Services

Prepared by: Cecilia Nin Hernandez, Heritage Coordinator



# Corporate Report

Clerk's Files

Originator's  
Files

Heritage Advisory Committee

**January 21 2014**

Appendix 1

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**DATE:** November 25, 2013

**TO:** Chair and Members of the Heritage Advisory Committee  
Meeting Date: January 21, 2014

**FROM:** Paul A. Mitcham, P.Eng, MBA  
Commissioner of Community Service

**SUBJECT:** **Request to Demolish a Heritage Listed Property**  
**1293 Woodland Avenue (Ward 1)**

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**RECOMMENDATION:** That the property at 1293 Woodland Avenue, which is listed on the City's Heritage Register, is not worthy of heritage designation, and consequently, that the owner's request to demolish the structure proceed through the applicable process.

**BACKGROUND:** The subject property was Listed on the City's Heritage Register in 2005 as part of the Mineola West Neighbourhood Cultural Landscape, noted for its historical origins as one of Mississauga's first planned subdivisions and its natural landscape heritage.

The original Crown Grant for this property was awarded to Robert Cotton, an Irish immigrant, in 1837. This Land Grant comprised all the properties now found within the Mineola West Neighbourhood Cultural Landscape. Cotton had a general store in Port Credit, shipped wholesale goods to Toronto and was Post Master General in the southern section of Toronto Township. The subject property eventually transferred to subsequent generations of the Cotton family until a Plan of Subdivision was registered of Mineola West in 1943 when the last generation of Cottons sold their properties. Since the early turn of the twentieth century, this land has been subdivided several times. The current structure on the subject property was



constructed in approximately 1955 by Kermit and Maude Allard. It is a modest one storey ranch style house, which was a common architectural design found in Canada from 1955-1975. The structure itself has undergone many alterations over the years including the addition of stone veneer facing and an attached garage.

**COMMENTS:**

Section 27.3 of the *Ontario Heritage Act* states that structures or buildings on property listed on the City's Heritage Register cannot be removed or demolished without at least 60 days notice to Council. This legislation allows time for Council to review the property's cultural heritage value to determine if the property merits designation. The applicant has provided a Heritage Impact Statement compiled by David Small Designs. (Appendix 1). It is the consultant's conclusion that the house at 1293 Woodland Avenue is not worthy of heritage designation under Regulation 9/06 of the Ontario Heritage Act. Heritage staff has reviewed these findings of the Heritage Impact Statement and concurs with this opinion. In addition, an Arborist's Report was also submitted for this property (Appendix 2).

The property owner has submitted a Site Plan application SPI 13/018, for the purpose of removing an existing single detached dwelling and replacing it with new construction of a single detached dwelling. Pursuant to Section 27.5 of the Ontario Heritage Act, the plans listed in the Heritage Impact Statement outline a post-modernist designed home, which is keeping with the character of the overall building stock in the neighbourhood. The cultural heritage attributes of Mineola West's open green space and soft shoulders are being retained and the natural rolling topography and landscaping are being minimally impacted through the Site Plan process.

**FINANCIAL IMPACT:** There is no financial impact.

**CONCLUSION:**

The owner of 1293 Woodland Avenue has requested permission to demolish a structure on a property that is listed within a Cultural Landscape on the City's Heritage Register. The subject property is not worthy of designation and the request for demolition should, therefore, be recommended for approval.

**ATTACHMENTS:**

Appendix 1: Heritage Impact Statement from CHC Ltd.

Appendix 2: Arborist's Report by Welwyn Consulting



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Paul A. Mitcham, P.Eng, MBA  
Commissioner of Community Service

*Prepared By: Laura Waldie, Heritage Coordinator*

City of Mississauga  
**Corporate Report**



Date: 2016/04/14

To: Chair and Members of Heritage Advisory Committee

From: Paul Mitcham, P. Eng, MBA, Commissioner of  
 Community Services

Originator's files:

Meeting date:  
 2016/05/10

## Subject

**Heritage Permit By-law Revision**

## Recommendation

1. That a revised heritage permit by-law be adopted, as outlined in this Corporate Report from the Commissioner of Community Services (dated April 14, 2016), in order to simplify the heritage permit application process and to delegate authority to staff to accept applications and provide consent on certain alterations of properties according to the *Ontario Heritage Act* (the "Act"), as amended.
2. That the existing heritage permit by-law 77-2014 be repealed.

## Background

The *Ontario Heritage Act* provides the authority to municipal governments to protect and conserve heritage properties under the rules and regulations of the Act. Alterations to a heritage designated property must follow the process outlined in the Act, which requires that a designated property owner seek a heritage permit from the local municipal Council.

Under the *Ontario Heritage Act*, section 33(15) and 42(16), respectively, Council may delegate its authority to consent to alterations of properties designated under Part IV and Part V of the Act. However, Heritage Advisory Committee consultation is still required unless noted otherwise for minor changes in heritage conservation districts.

The heritage permit by-law has been subject to updates in the intervening years, including, most recently, in 2014 to address changes to the Meadowvale Village Heritage Conservation District Plan (the "2014 by-law").

## Comments

A revised by-law is now proposed. Changes have been made to address the following matters:

- Restructuring the by-law to simplify the process and minimize duplication of the materials that may be required for an application.
- Revising the delegation of authority clause to clarify that the Director (including his or her designate) of the Culture Division is delegated the authority by Council to grant consents to certain alterations of properties after consulting the Heritage Advisory Committee.
- Reaffirming that Council approval is still required for certain applications including without limitation, a refusal of an alteration application, a decision as to the erection, demolition or removal of structure or building application, and a decision of repealing all, or part of an existing designation by-law.
- Extending the expiry date of a heritage permit from one year to five years.

The City added a one year expiry date for a heritage permit in the 2014 by-law. However, corresponding Planning applications can take much longer than a single year (Planning and Building staff have advised that site plan applications can take three years or longer). The one year expiry date has created unnecessary paperwork (for renewals) for both staff and applicants. Therefore, staff proposes that the expiry date to be extended to five years in the revised by-law, in order to better align with the length of the site plan application process.

## Financial Impact

There is no financial impact.

## Conclusion

The heritage permit by-law required several changes as outlined in the Comments section of this report. The changes have been incorporated into the attached by-law, which is provided for adoption.

## Attachments

Appendix: Revised Heritage Permit By-law



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Paul Mitcham, P. Eng, MBA, Commissioner of Community Services

Prepared by: P. Wubbenhorst, Senior Heritage Coordinator

## Appendix 1

A By-law of The Corporation of the City of  
Mississauga to create a single application process  
to obtain Heritage Permits for heritage properties  
designated under Part IV, or located in Heritage  
Conservation Districts designated under Part V  
of the *Ontario Heritage Act*

WHEREAS section 11(3)5 of the *Municipal Act, 2001*, S.O. 2001, c. 25, as amended, provides that a municipality may pass By-laws within the following sphere of jurisdiction: culture, parks, recreation and heritage;

AND WHEREAS section 23.1 of the *Municipal Act, 2001* provides that section 11 of the *Municipal Act, 2001* authorize a municipality to delegate its powers under the *Municipal Act, 2001* or any Act, subject to certain limitations;

AND WHEREAS section 227 of the *Municipal Act, 2001* provides that it is the role of officers and employees of the municipality to implement Council decisions and establish practices and procedures to implement those decisions;

AND WHEREAS approval from the Council of The Corporation of the City of Mississauga is required for the alteration or demolition of properties designated under Part IV of the *Ontario Heritage Act*, R.S.O. 1990, c. O.18, as amended (the "Act") and for properties located in heritage conservation districts designated under Part V of the Act;

AND WHEREAS sections 33 (15) and 42 (16) of the Act, respectively, provide that Council may delegate its authority to consent to alterations of properties designated under Part IV of the Act and to alterations of properties located in a Heritage Conservation District designated under Part V of the Act;

AND WHEREAS the Council of The Corporation of the City of Mississauga wishes to create a single permit system whereby landowners may obtain necessary approvals for the alteration, erection, demolition, or removal of properties designated under Part IV of the Act or located in Heritage Conservation Districts designated under Part V of the Act and for requests for the repealing of designating By-laws made under Part IV of the Act;

AND WHEREAS pursuant to sections 33(15) and 42(16) of the Act, the Council of The Corporation of the City of Mississauga consulted with its Heritage Advisory Committee;

NOW THEREFORE the Council of The Corporation of the City of Mississauga ENACTS as follows:

#### **SHORT TITLE**

1. This By-law may be referred to as the "Heritage By-law".

#### **DEFINITIONS**

2. For the purposes of this By-law:
  - (1) "Act" means the *Ontario Heritage Act*, R.S.O. 1990, c. O.18, as amended;
  - (2) "alter" means to change in any manner and includes to restore, renovate, repair, erect or disturb; and "alteration" and "altering" have corresponding meanings;

- (3) "City" means The Corporation of the City of Mississauga;
- (4) "Clearance Certificate" means a certificate issued by the City in a form approved by the Director which states that alterations proposed by an Owner are not prohibited by the City;
- (5) "Council" means the elected Council of The Corporation of the City of Mississauga;
- (6) "Designated Property" means a Property that is designated as a heritage property under Part IV of the Act;
- (7) "Director" means the City's Director, Culture Division, and includes his/her designate;
- (8) "Heritage Advisory Committee" or "HAC" means, the advisory committee of Council which makes recommendations to Council on matters relating to proposed and Registered and Designated properties within Mississauga, Ontario, their identification, research, recording and interpretation, including cultural landscapes and natural heritage;
- (9) "Heritage Conservation District" means a heritage conservation district designated under Part V of the Act;
- (10) "Heritage Conservation District Plan" means a plan adopted by Council to provide direction on the preservation of the heritage character defining elements of a Heritage Conservation District;
- (11) "Heritage Consultant" means a person who prepares heritage impact assessments with qualifications as set out in the Mississauga Heritage Impact Assessment Terms of Reference or as otherwise required by the City;
- (12) "Heritage Permit" means a permit issued by the Director pursuant to this By-law allowing an Owner to take certain actions with regards to such Owner's Property as stated thereon;
- (13) "Heritage Register" means a register of Properties situated in Mississauga, Ontario that is of cultural heritage value or interest maintained pursuant to Part IV of the Act;
- (14) "Owner" means the person registered on title in the proper land registry office as owner of the property;
- (15) "Property" means real property and includes all buildings, structures and heritage landscapes thereon;
- (16) "Registered Property" means a Property that is listed on the Heritage Register.

#### **DELEGATION OF AUTHORITY**

3. Council delegates to the Director all of Council's powers to do the following:
  - (1) **Alterations Approvals:** after consulting with HAC, grant consents and approvals for alterations to
    - (a) Designated Properties; or
    - (b) Properties located in Heritage Conservation Districts;including the power to grant such consents and approvals subject to terms and conditions as determined by the Director in his/her discretion;
  - (2) **Request Information:** request from an Owner any information as may be required to review an application by the Owner under this Bylaw;

- (3) **Permits/Practices/Procedures:** issue and administer Heritage Permits in accordance with this By-law and establish any practices and procedures necessary to issue and administer Heritage Permits in accordance with this By-law;
- (4) Prescribe all forms necessary to implement this By-law.
- 4. **Council Approval Required:** For greater clarity, the Director does not have the authority to do the following, but the Director shall, after consulting HAC, refer the following to Council:
  - (1) **Refuse Any Alteration Application under Part IV or Part V of the Act:** In circumstances where the Director, would refuse an application, he/she shall so report to Council who has all decision-making power in relation to that application;
  - (2) **Decision regarding Demolition/Removal Application under Part IV of the Act:** The approval or refusal of an application to demolish or remove a building or structure on the Registered Property or Designated Property;
  - (3) **Decision regarding Erection/Demolition/Removal Application for Property located in a Heritage Conservation District:** The approval or refusal of an application to erect, demolish or remove a building or structure on the Property located in a Heritage Conservation District.
  - (4) **Repeal Designation By-law:** repeal all, or a portion of a designating By-law for a Designated Property.
- 5. The Director shall issue a Heritage Permit to an Owner of a Property whose application under this Bylaw has been approved, subject to any conditions including but not limited to the conditions under section 6 of this By-law and/or any Ontario Municipal Board or court order.
- 6. **Conditions for Permits:** All Heritage Permits under this By-law shall be subject to the following conditions:
  - (1) All applications, documents, reports and plans and other information form part of the heritage permit.
  - (2) All work shall be carried out in accordance with the plans, specifications, reports, documents and any other information that form the basis upon which a permit is issued.
  - (3) Any material change to the plans, specifications, report, documents or other information that form the basis upon which a permit is issued shall require a further application.
  - (4) The permit holder shall advise the City's Heritage Planning staff upon completion of the work that is subject to the Heritage Permit.
  - (5) The permit holder shall allow City staff to inspect the work done under the heritage permit.
  - (6) Such other terms and conditions as the Director deems necessary to maintain the heritage character of the property.
  - (7) Such other terms and conditions as may be required by Council and/or the Ontario Municipal Board.
  - (8) All Heritage Permits issued pursuant to this By-law shall expire five (5) years from the date of the Heritage Permit.

**PERMITS APPLICATIONS**

7. **Alteration Application General:** An Owner wishing to alter a Designated Property, or a Property located in a Heritage Conservation District shall submit an application for a Heritage Permit in writing to the Director in a form prescribed by the Director and shall supply the following information to the satisfaction of the Director if so requested:
  - (1) The name, address, telephone number, fax number and e-mail address of the Owner or the Owner's authorized representative;
  - (2) A site plan drawing and Survey showing the location of the proposed work on the Property;
  - (3) A statement of the proposed scope of work;
  - (4) Architectural, engineering and landscape design drawings of the proposed work showing materials, dimensions and extent of the work;
  - (5) Written specifications for the proposed work;
  - (6) Materials, samples and specifications of the proposed work;
  - (7) Photographs showing the existing building or landscape condition;
  - (8) Documentation pertaining to the proposal, including archival photographs, pictures or plans of similarly styled buildings in the community;
  - (9) A signed statement by the Owner authorizing the application;
  - (10) A heritage impact assessment prepared by qualified architect licensed to practice in the Province of Ontario or a Heritage Consultant;
  - (11) A heritage conservation plan prepared by a qualified architect and/or engineer licensed to practice in the Province of Ontario or heritage consultant specializing in the subject heritage resource; and
  - (12) All other information relating to the application as required by the Director.
  
8. **Demolition/Removal Application:** if an Owner wishing to demolish or remove a building or structure on a Registered Property or Designated Property, or if an Owner wishing to erect, demolish, or remove a building or structure on a property located in a Heritage Conservation District, the owner shall submit an application for a Heritage Permit in writing to the Director in a form prescribed by the Director and shall supply the following information to the satisfaction of the Director if so requested:
  - (1) The name, address, telephone number, fax number and e-mail address of the Owner or the Owner's authorized representative;
  - (2) A site plan drawing or survey showing the location of the proposed demolition or removal;
  - (3) Photographs showing the existing building condition including all elevations;
  - (4) A building condition assessment of the building or structure proposed to be demolished or removed;
  - (5) A signed statement by the Owner authorizing the application;
  - (6) A heritage impact assessment prepared by qualified architect licensed to practice in the Province of Ontario or a Heritage Consultant; and



- (7) All other information relating to the application as required by the Director.
- 9. **Repeal By-Law:** Any Owner wishing to apply for a repeal of all or a portion of a designating By-law under Part IV of the Act shall submit an application in writing to the Director and shall supply all information as requested by the Director, who shall then refer the matter to HAC and Council.

#### **OLD PORT CREDIT HERITAGE CONSERVATION DISTRICT**

- 10. **Alteration Application:** An Owner wishing to alter a Property located in the Old Port Credit Heritage Conservation District shall submit an application in accordance with the requirements of section 7 of this By-law.
- 11. **Heritage Permit not Required:** Notwithstanding Section 10 of this By-law, an Owner of Property located in the Old Port Credit Heritage Conservation District does not need to obtain a Heritage Permit for the following alterations to the external portions of a building or structure located on such Owner's Property:
  - (1) The exterior painting of non-masonry surfaces, replacement of eavestroughs and downspouts, installation of exterior lights, including installation of removable storm windows and doors, caulking and weatherproofing;
  - (2) The repair or replacement of existing features, including roofs, dormers, cresting, cupolas, cornices, brackets, columns, balustrades, entrances, sidewalks, windows, foundations, and decorative wood, metal, stone or terra cotta, provided that the same type of materials are used;
  - (3) The erection of small accessory buildings under ten metres squared;
  - (4) The erection of fences;
  - (5) The installation of mechanical and/or electrical equipment not visible from the street;
  - (6) Replacement of steps and sidewalks;
  - (7) All interior work, except structural interventions.
  - (8) An alteration that is not visible from a street.
  - (9) Minor alterations as are described in the Old Port Credit Heritage Conservation District Plan.
  - (10) For buildings and structures identified as "complementary" or "other" buildings as per the Old Port Credit Village Heritage Conservation District Plan:
    - (a) alterations to the roofline, including demolition or erection of dormers;
    - (b) new and/or alterations to door and/or window openings requiring structural alteration and which may include their surrounds;
    - (c) installation of new replacement windows;
    - (d) installation of skylights;
    - (e) demolition or erection of chimneys;
    - (f) removal or addition of architectural detail, such as brackets, bargeboard, finials, brick, terra cotta decorations;
    - (g) masonry cleaning, masonry repointing or masonry painting;

- (h) installation or replacement of exterior cladding;
- (i) installation of new roof material different from existing; and
- (j) installation of mechanical and/or electrical equipment not visible from the street.

#### **MEADOWVALE VILLAGE HERITAGE CONSERVATION DISTRICT**

12. **Alteration Application:** An Owner wishing to perform substantive alterations to a Property located in the Meadowvale Village Heritage Conservation District shall submit an application in accordance with the requirements of section 7 of this By-law.
13. **Substantive Alterations:** Substantive alterations have the same meaning as such term in the Meadowvale Village Heritage Conservation District Plan, which shall include, but not limited to the following:
  - (1) increases to Gross Floor Area of the primary residence;
  - (2) increases to the primary residence's building height, width and depth;
  - (3) changes to primary residence's foundation structure;
  - (4) changes to the primary residence's roof structure;
  - (5) additions of a sunroom, solarium, porch and/or verandah to a primary residence;
  - (6) new windows, dormers, or doors where they did not originally exist on the primary residence;
  - (7) enlarged window or door openings of the primary residence;
  - (8) removal of an existing and/or replacement of a new primary residence;
  - (9) addition of/to an accessory building, including pre-fabricated buildings, occupying an area greater than 10 square metres (108 square feet)
  - (10) reconfigured lot boundary;
  - (11) changes to lot grade, excavation and the placement of fill which alter a property's landform and natural vegetative characteristics;
  - (12) increases to driveway width, new and/or relocation of the property's access and egress;
  - (13) installation of pools and water features; and
  - (14) any other alteration which a Heritage Permit is required under the Meadowvale Village Heritage Conservation District Plan.
14. **Clearance Certificate Required:** Notwithstanding Section 12 of this By-law, an Owner of property in the Meadowvale Village Heritage Conservation District does not need to obtain a Heritage Permit for the following non-substantive alterations which do not significantly alter the appearance of the Property, provided that, such Owner has obtained a Clearance Certificate from the City. Clearance Certificates may be issued at the discretion of the Director. Installing, renovating, repairing and/or replacing the following will be deemed as a non-substantive alteration:
  - (1) roofing materials
  - (2) Chimneys

- (3) Exterior Cladding
  - (4) Skylights
  - (5) Solar Panels
  - (6) Windows and Storm Windows
  - (7) Shutters
  - (8) Doors
  - (9) Architectural Details
  - (10) Existing Porches and Verandahs
  - (11) Existing Outbuildings
  - (12) Driveways
  - (13) Fences
  - (14) Landscaping and Planting
  - (15) Wheelchair ramps
  - (16) Mechanical and Utilities
  - (17) Public works within the Village, including but not limited to:
    - (a) Public roads and right of ways
    - (b) Parkland
    - (c) Signage
    - (d) Structures
15. Notwithstanding anything to the contrary, sections 10-14 of this By-law do not apply to a Designated Property but located in a Heritage Conservation District. Permits Applications for Designated Properties located in a Heritage Conservation District are governed by section 7, section 8 and section 9 of this By-law.

**ENFORCEMENT:**

16. Every Person who contravenes any provision of this By-law is guilty of an offence.
17. A municipal By-law enforcement officer acting under this By-law may enter and inspect all buildings, structures or parts thereof that are subject to this By-law at any reasonable time for the purposes of determining whether there is compliance with this By-law.

**VALIDITY**

18. If a court of competent jurisdiction declares any provision, or any part of a provision, of the By-law to be invalid, or to be of no force and effect, it is the intention of the Council in enacting this By-law, that each and every other provision of this By-law authorized by law, be applied and enforced in accordance with its terms to the extent possible according to law.

**GENERAL**

19. In this By-law, unless the context otherwise requires, words imparting the singular number shall include the plural, and words imparting the masculine gender shall include the feminine, and further, the converse of the foregoing also applies where the context so requires.

**REPEAL**

20. By-law No. 0077-2014 shall be repealed on the date this By-law is enacted.

ENACTED AND PASSED this       day of       , 2016.

|                                                         |      |  |  |
|---------------------------------------------------------|------|--|--|
| APPROVED<br>AS TO FORM<br>City Solicitor<br>MISSISSAUGA |      |  |  |
|                                                         |      |  |  |
| Date                                                    | 2016 |  |  |

\_\_\_\_\_  
MAYOR

\_\_\_\_\_  
CLERK

**From:** [Cameron McCuaig](#)  
**To:** [Mumtaz Alikhan](#)  
**Subject:** HAC Subcommittee  
**Date:** 2016/05/02 12:43:36 PM  
**Attachments:** [Heritage Designation Sub Committee Priorities.docx](#)  
[Heritage Designation Subcommittee - Draft 2015 Terms of Reference.doc](#)

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**Background:**

- Heritage priorities were collected from all HAC members in the Summer of 2015 (and shared with consultants)
- Heritage Designation Subcommittee had an initial meeting in Fall 2015 updating terms of reference and priority list
- The draft information was sent to staff and consultants in November 2015
- Action/discussion on this was delayed given consultant process
- In interim, staff prepared a plan that is available to HAC upon request
- The consultants plan is not clear on proactive efforts for designation, nor comments on the previously provided materials
- In last HAC meeting, there was interest to maintain the subcommittee

**For discussion:**

- Are the proposed draft terms of reference and priorities supported by HAC?
- If so, does HAC want to direct/recommend staff to pursue any of the priorities as noted?
- Should the staff work plan be part of future HAC meetings so members have a better understanding of status and upcoming efforts?

As a fyi, the subcommittee welcomed a recent request from staff to support a designation (Mary Fix property) that is in development.

## **2011 - Draft**

### **Heritage Designation Subcommittee Of the Mississauga Heritage Advisory Committee**

#### ***Draft Terms of Reference***

##### **Subcommittee Members:**

*Richard Collins*  
*David Dodaro (Chair)*  
*Cameron McQuaig*  
*Rick Mateljan*  
*Matthew Wilkinson*

##### **Role of the Heritage Designation Subcommittee:**

- To assist the Planning & Heritage Section and the Heritage Coordinator staff at the City of Mississauga in regards to property research, documentation and evaluation pertaining to establishing merit for properties in regards Heritage Designation as outlined in the criteria for Designation under the terms of the *Ontario Heritage Act*;
- At least one subcommittee member will attend General Committee and Council Meetings where Heritage Designation matters are on the agenda, and be prepared to speak on behalf of HAC in support of Designation if required;
- Liaison with Heritage Mississauga and citizens of Mississauga regarding individual heritage properties, receive public recommendations, and make recommendations to the Heritage Advisory Committee pertaining to Heritage Designation and Listing on the City of Mississauga's Heritage Register;
- Members of the Subcommittee will be prepared to speak at HAC meetings in reference to applications made regarding Heritage Designated and/or Listed properties; if at all possible, members of the subcommittee visit the subject property and/or review relevant material prior to the HAC meeting where a subject property will be discussed;
- And to attend and support City Staff at Conservation Review Board hearings.

##### **Meeting schedule:**

- Meetings to be scheduled as required, minimum 6 times per year;
- Reports to be submitted to Heritage Coordinator's Office for inclusion in the next Heritage Advisory Committee agenda following a meeting of the subcommittee.

**Ongoing Projects:**

- The Heritage Designation Subcommittee will assist Heritage Staff with research upon Staff request, and make recommendations to Heritage Staff relating to neighbourhood and cultural landscape areas that contain significant heritage characteristics worthy of further study and documentation;
- The Heritage Designation Subcommittee will assist Heritage Staff with research upon Staff request, and make recommendations to Heritage Staff relating to potential additions to the Heritage Register, including Listings and Designations under the terms of the *Ontario Heritage Act*;
- The Heritage Designation Subcommittee will revisit older listings and designations and seek to strengthen file reports by undertaking additional research and documentation (\*not reopening individual designations or listings, but rather seeking to add material to existing documentation) as required and/or requested by Staff;
- The Heritage Designation Subcommittee will liaison with Heritage Mississauga, student researchers, and volunteers on the above listed points.

**Heritage Designation Subcommittee Membership:**

- Minimum three (3) subcommittee members;
- Subcommittee membership will be derived from appointed Citizen Members, and Mississauga Citizens can also join the Heritage Designation Subcommittee on approval of existing members of the Subcommittee;
- Subcommittee members can come from outside of membership of the Heritage Advisory Committee;
- The Chair of the Subcommittee must be an appointed Citizen Member of the Heritage Advisory Committee;
- Only subcommittee members who are also appointed citizen members of the Heritage Advisory Committee can comment on, and vote on, Heritage Advisory Committee resolutions and recommendations at the meetings of the Heritage Advisory Committee;

*This draft Terms of Reference for the Heritage Designation Subcommittee will be finalized at a future meeting of the Heritage Advisory Committee following the strategic planning session for Heritage Advisory Committee.*

**DRAFT Heritage Designation Priorities**

- 1- Designate Streetsville as a conservation district: 10 (note: a high level estimate of \$250K has been discussed for this project)
- 2- Designate Clarkson Corners: 10 (note: a proposed designation of three properties, supported by Councillor Ras, is underway with staff report sent to owner. A proposed broader mini-conservation district has been raised with Councillor Ras, with interest level to pursue TBD)
- 3- Designate Absolute Towers: 8 (note: if pursued, this would be the first condo project. The complications of a condo designation are TBD)
- 4- Designate Mary Fix house: 6 (note: donated by Mary Fix to City of Mississauga, and currently used by a non-profit organization)
- 5- Focus on industrial heritage: 5 (note: McArthur Mills in Streetsville is an example for consideration. Rick may have other ideas with specific addresses TBD)
- 6- First ever designation to recognize First Nations: 5 (note: next step was to consult with First Nations to assess ideas like: mouth of Credit, Credit River Valley, enhanced profile at golf course)
- 7- Designate all historic villages as conservation districts: 4 (Note: We should rank highest priority to lowest)
- 8- Modify Mineloa West and East from cultural landscapes to more specific nodes: 4 (note: also consider a by-law change)
- 9- Conduct market research: 3 (perhaps culture division can be approached to provide assistance).
- 10-De-list up to 3,000 listed properties: 3
- 11-Erindale Dam: 1 (Already listed. Conservation work needed. Plaques in progress)
- 12-Designate civic centre: 1 (council did not support in the past) (note: although low in the priority list, it would be a sign of leadership to pursue this further)

Note: Given many other City fees are in place, a new fee for Heritage evaluation should be considered, as this fee could fund staff effort for reactive efforts, while allowing other staff to fund/support proactive measures.



City of Mississauga  
**Memorandum**



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Date: 2016/04/14  
To: Chair and Members of Heritage Advisory Committee  
From: Cecilia Nin Hernandez, Heritage Coordinator, Culture Division  
Meeting Date: 2016/05/10  
Subject: New Construction on Listed Property: 46 Queen Street South

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This memorandum and its attachments are presented for HAC's information only.

The subject property is listed under Section 27 of the Ontario Heritage Act as part of the Streetsville Village Core and Mississauga Road Scenic Route Cultural Landscapes.

The subject property presently is a vacant lot. Two previously standing structures were approved for demolition in 2013. At that time a full Heritage Impact Assessment was considered as part of the report to the Heritage Advisory Committee, however no proposal for new construction was brought forward by the applicant in 2013. Presently, a Site Plan application has been submitted to the City. As part of the requirements for the Site Plan application, an addendum to the Heritage Impact Assessment describing the proposal for new construction was submitted. See Appendix 1. The report provided by the Planning consultant to the owner includes coloured renderings of the proposed building.

**Attachments**

Appendix 1: Heritage Impact Assessment

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Prepared by: Cecilia Nin Hernandez, Heritage Coordinator



**Heritage Impact Assessment**

46 Queen Street  
Mississauga, Ontario

February, 2016

## **INTRODUCTION**

It is a requirement for the City of Mississauga to request "Heritage Impact Assessments" to determine the impacts to known and potential heritage resources within a defined area proposed for future development. In this case, it is the development of the vacant land at 44-46 Queen Street South. This report will review the subject property in relation to the Mississauga Road Scenic Route and the contextual value of the proposed development in the Village of Streetsville.

The property owners are proposing to construct a new three storey office and medical office building on the subject property.

Ownership of the building has changed since the original Heritage Report was prepared in February 2013 by ATA Architects. The ATA Report provided justification for the demolition of the existing structures. At the time the report was written, no development had been proposed.

W.E. Oughtred & Associates Inc. is retained by the property owner to obtain municipal approvals from the City of Mississauga. Further, the owner has chosen C.Y.Lee Architect Inc. to design the proposed building.

## **TABLE OF CONTENTS**

- 1. Proposed Site Plan**
- 2. Proposed Elevations**
- 3. Streetscapes**
- 4. Cultural Heritage Landscape Inventory**
- 5. Impact of development or site alteration**
- 6. Mitigation Measures**
- 7. Conclusions**
- 8. About the Author**
- 9. References**

[illegible]

W.E. Oughtred & Associates Inc.

## 2. Proposed Elevations



Side (North) Elevation



East (Front) Side Elevation





**West (Rear) Side Elevation**



**Side (South) Side Elevation**

### 3. Streetscapes



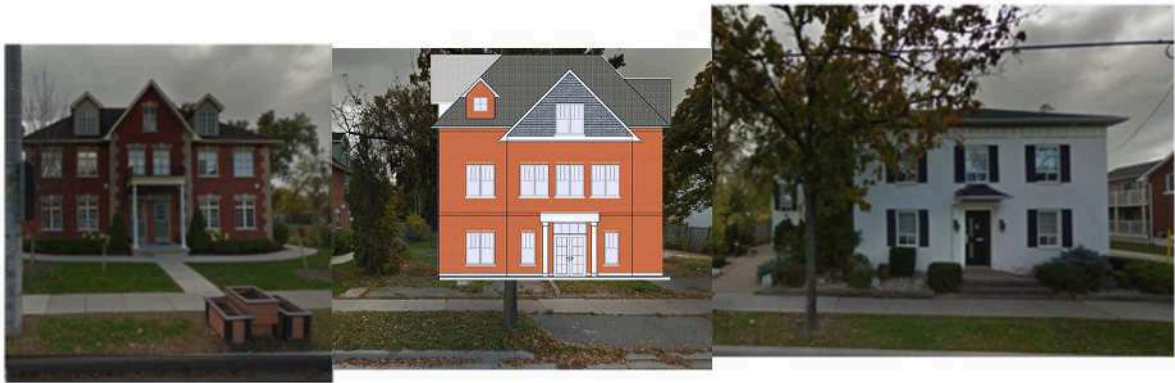
Streetscape of Queen Street South showing the buildings neighbouring 46 and 44 Queen Street South.

Pre-demolition streetscape (from HIS prepared by ATA Architects, February 2013)



Google Image (October 2015) vacant lot

### Streetscape – Proposed



52

44-46  
Queen Street

42



#### 4. Cultural Heritage Landscape Inventory

The subject property is located within the Mississauga Road Scenic Route and the following features are identified under the "Cultural Landscape Inventory":

##### Landscape Environment

- Scenic and Visual Quality
- Horticultural Interest
- Landscape Design, Type & Technological Interest

##### Historical Association

- Illustrates a Style, Trend or Pattern
- Illustrates A phase of Social or Physical Development

##### Built Environment

- Consistent Scale of built features

##### Other

- Historical or Archaeological Interest

The demolition of the house did not have any negative impacts on its status within the cultural landscape. The HIS prepared by ATA Architects concluded that *□their (the two buildings) removal from the streetscape will not negatively impact the adjacent properties but in fact shall remove two building out of scale and character to the neighboring properties□*

## 5. Impact of development or site alteration

Potential impacts and an assessment of the proposed development in relation to the cultural heritage is outlined below.

### **Destruction of any, or part of any, significant heritage attributes or features**

- From the City of Mississauga Website: *Mississauga Road is recognized as a Cultural Landscape, as it is one of the City's oldest and most picturesque thoroughfares. Its alignment varies from being part of the normal road grid in the north to a curvilinear alignment in the south, following the top of bank of the Credit River. The scenic quality of the road is notable because it traverses a variety of topography and varying land use, from old established residential neighbourhoods to new industrial and commercial areas. From Streetsville south the boulevards and adjacent landscapes are home to some of the oldest and most spectacular trees in the City. The road also includes some of the city's most interesting architecture and landscape features, including low stone walls. The road's pioneer history and its function as a link between Mississauga's early communities, makes it an important part of the City's heritage. STREETSVILLE CORE VILLAGE CORE CULTURAL LANDSCAPE: The main core of the community retains the distinct scale and character of a rural farming town. New developments continue to respect the scale of shop fronts along the main portion of Queen Street South, and the residential character of large lots with mature trees is typified in the south end transitional approach to the Village. The north end of the Village is also characterized with a residential and commercial mix found in many small towns throughout Ontario. Care should be taken to ensure that the appearance of Streetsville, including extant churches, cemeteries, public buildings and open spaces, is retained in the face of future development pressures to ensure that the character of this part of Mississauga remains intact.* The property is currently vacant. The design of the proposed three storey building was done with great consideration of the adjacent properties; and with input from the City of Mississauga Heritage Department, thus ensuring the existing character of the area is maintained

### **Removal of natural heritage features, including trees**

- Two small trees at the northeast property of the corner will be removed. Once developed, the property will be landscaped with the addition of small shrubs and perennials to enhance the street appearance.

### **Alteration that is not sympathetic, or is incompatible, with the historic fabric and appearance**

- The property previously contained two buildings that actually detracted from the streetscape as they were so out of character with the adjacent dwellings. The proposed three storey building is situated on the northern fringe of the village of Streetsville, away from the majority of designated and historical properties. However, the design is compatible with the adjacent properties.

### **Shadows created that alter the appearance of a heritage attribute or change the viability of an associated natural feature, or plantings, such as a garden**

- Shadows from the proposed building will not negatively impact adjacent properties, the public realm or public and private open space.

### **Isolation of a heritage attribute from its surrounding environment, context or a significant relationship**

- The character of the neighbourhood will be maintained with the construction of the new dwelling.

**Direct or indirect obstruction of significant views or vistas within, from, or of built and natural features**

- The proposed construction will not obstruct views or vistas.

**A change in land use where the change in use negates the property's cultural heritage value**

- The property is zoned C4-39, which permits mixed use commercial and residential uses. There is no negative impact.

**Land disturbances such as change in grade that alter soils, and drainage patterns that adversely affect cultural heritage resources**

- The existing grading and drainage will remain relatively the same. Grading will be done at the rear of the property in the parking area to ensure that drainage is self-contained.
- All stormwater will be managed on-site through the use of permeable pavement and bioswales.

## 6. Mitigation Measures

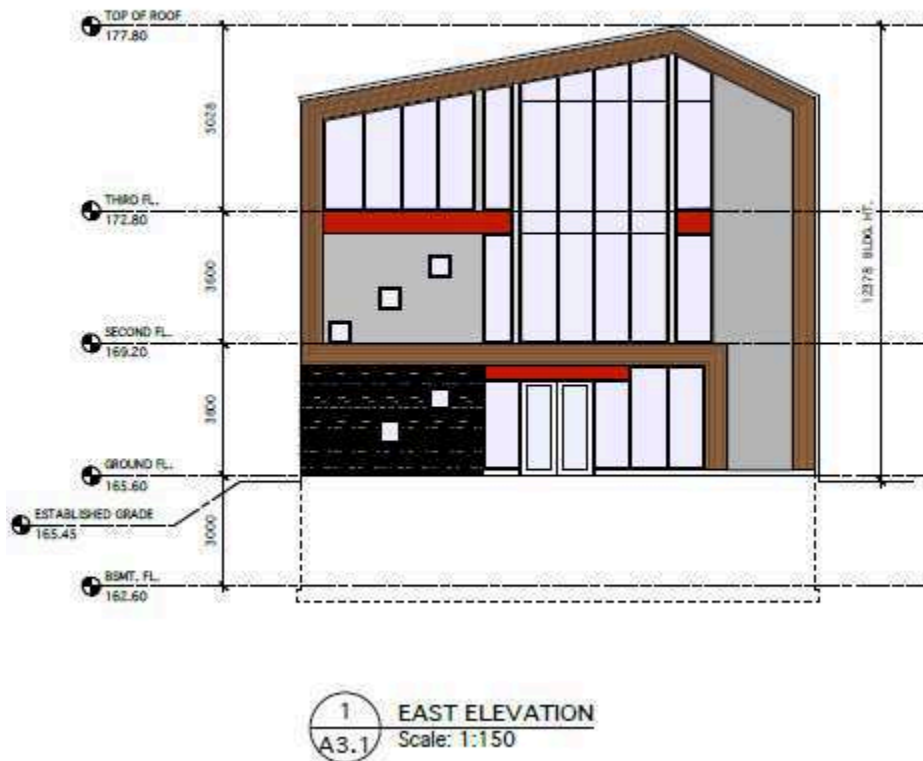
The proposed building has been designed respecting the parameters of the adjacent properties, the Village of Streetsville as well as the City of Mississauga Zoning By-law and Official Plan.

The proposed design is influenced and inspired by both Georgian and Edwardian architecture which can be seen throughout Streetsville. Consideration has been given to the height, massing, setbacks and materials of adjacent properties so that the proposed dwelling fits naturally into the streetscape. The proposed front elevation has a residential style to match the property to the south.

Input from Cultural Planning, City of Mississauga, have provided the final design (see elevations in Section 2) for the proposed building. The initial proposal has been modified many times including the following changes:

- Many of the window size and styles have been modified.
- The roof soffit line was lowered in keeping with the adjacent buildings roof lines.
- The gable roof at the front facade was lowered.
- Cedar shingles are proposed for the gable roof portion on the front facade.
- Flat architectural brick for the window lintels.
- Stone sill

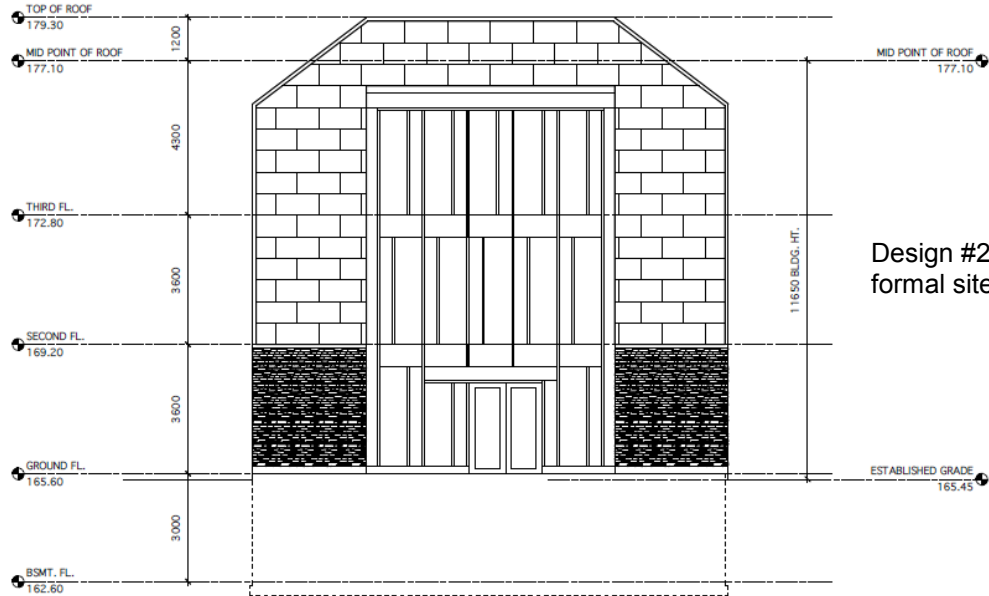
Discussions with C.Y. Lee Architect provided the progression of the design including the architectural changes requested by City Staff. The initial proposal (below) submitted for the site plan pre-consultation meeting with City staff.



Design #1 (March)

Addendum  
46 Queen Street South, Mississauga, Ontario  
pg. 12

The elevation below was part of the formal submission after the pre-consultation meeting with Planning Staff (Lawrence Franklin and John Sakala). Both designs (#1 and 2) were deemed to be unacceptable and not suitable as they were too modern and out of context with the adjacent properties.



Design #2 (July - submitted with formal site plan application)

4 EAST ELEVATION  
A3.1 Scale: 1:100

A meeting was held with the Ward Councillor in the summer of 2015 and the subsequent elevation was put forth for consideration.



Design #3

4 EAST ELEVATION  
A3.1 Scale: 1:100



Design #4

The massing and the layout of the building was influenced by the City of Mississauga Zoning By-law requirements, which included landscaping, driveway widths and building setbacks. Also included in the design decisions were the useable rental space requirements of the client.

The initial design (Design #3) was reviewed with the Ward Councillor and City of Mississauga staff who requested a more heritage-looking building in keeping with the adjacent properties. As a result of these consultations, the front elevation above (Design #4) was prepared and submitted for review.

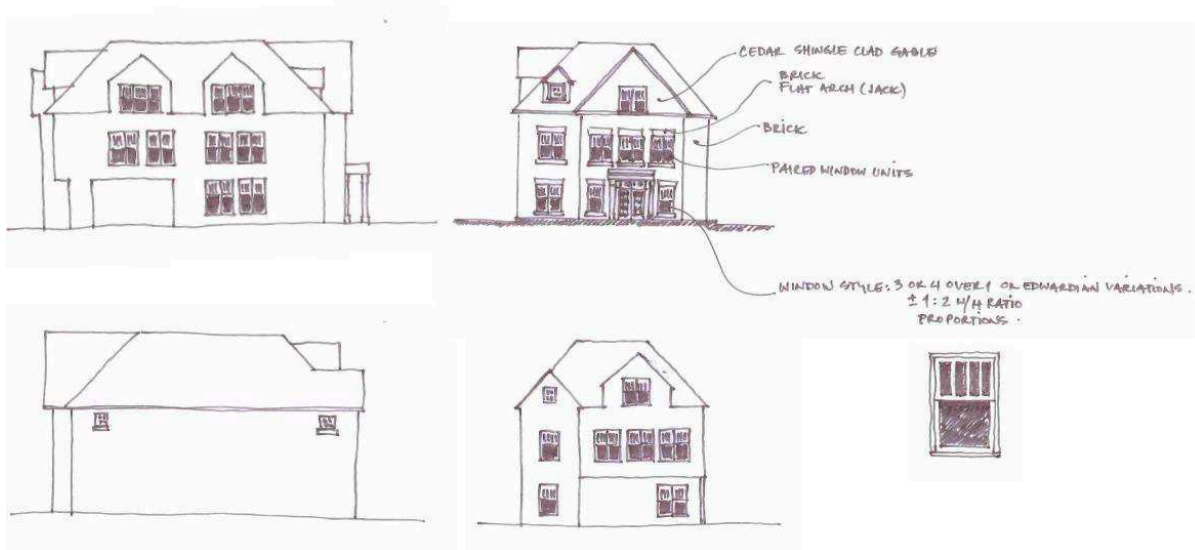
Revisions included a sloped roof, punched windows with precast concrete sills, window muntins on the exterior side, a precast concrete sill between the main and second floor, precast Quoins and a classical canopy. Further revisions included the lowering of the roof line to have a consistent streetscape on Queen Street; a brick soldier course on the windows as well as a soldier course band between the main and second floor was added; the classical canopy was revised with better proportions and the window locations and proportions were revised as well.

Design #5 was created resulting from a meeting in December 2015 with Heritage and Urban Design.



Design #5 (January)

Attached is a sketch provided by Cecilia Nin Hernandez, Heritage Coordinator, City of Mississauga, with regards to her suggestions for the dwelling. Recommendations included a brick flat arch, window revisions with different proportions and locations having an Edwardian Style with 3 over 1; cedar shingles on the front gabled roof, the main gable roof lowered and an additional brick soldier course band just below the roof line.



The current front elevation proposal (Design #6) is a reflection of all of the design changes and incorporation of comments from City departments.



Design #6 (Current)

## **7. Conclusions**

The redevelopment of the subject property will have no negative impacts on the historic character or the scenic qualities of the Mississauga Road Scenic Route or the Historic Village of Streetsville. The streetscape will become more vibrant, but the underlying character of the neighbourhood remains the same. The addition of this building will not have any adverse effects on the character of Mississauga Road or Streetsville.



## 8. About the Author

William Oughtred of W.E. Oughtred & Associates Inc. is a development and land use consultant who has been practicing in the Mississauga and GTA area for over twenty-five years. Mr. Oughtred has worked in the land use planning field for over 20 years, specializing in the City of Mississauga. He is well versed in both Planning and Building procedures and the City of Mississauga Zoning By-law and The City of Mississauga Official Plan.

William was born, raised and attended school in Mississauga. He is a lifelong resident and has been very active in the Mississauga community through his other interests and pursuits including volunteering on the Spring Creek Cemetery Board.

William specializes in infill type development projects which typically require attendance before the Committee of Adjustment in connection with Applications for Consent or Minor Variance. His twenty-five years of experience has afforded him the opportunity to see the City evolve and be at the forefront of evolving trends and patterns in land development in Mississauga. William has been involved in the City of Mississauga's challenge in dealing with the pressures created by the infill housing that has occurred in the south part of Mississauga. His experience in shepherding development applications through the approval process and dealing with the community, City staff and the Members of Council provides an insight into the market for redevelopment that has focused its attention on this community.

Heritage Impact Statements have been completed for the following properties located in Mississauga:

- 1532 Adamson Street
- 1445 Glenburnie Road
- 1320 Minaki Road
- 169 Donnelly Drive
- 276 Arrowhead Road
- 1510 Stavebank Road
- 1267 Mississauga Road
- 2701 Mississauga Road
- 123 Kenollie Avenue
- 1168 Mississauga Road
- 4077 Mississauga Road
- 92 Pinetree Way

## **9. References**

<http://www.mississauga.ca>

Heritage Report, ATA Architects, February 2013

Google Maps

C.Y. Lee Architect

City of Mississauga  
**Memorandum**



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Date: 2016/04/14  
To: Chair and Members of Heritage Advisory Committee  
From: Cecilia Nin Hernandez, Heritage Coordinator, Culture Division  
Meeting Date: 2016/05/10  
Subject: Wartime Housing

---

This memorandum and its attachments are presented for HAC's information only.

At the April 12, 2016 HAC requested that staff provide a copy of Kitchener's St. Mary's Heritage Conservation District Plan for the Committee's information. Please refer to Appendix 1.

Also for the Committee's information is the following url address to view the National Film Board's War time housing documentary film.

[www.nfb.ca/film/wartime\\_housing](http://www.nfb.ca/film/wartime_housing).

**Attachments**

Appendix 1: St. Mary's HCD Plan

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Prepared by: Cecilia Nin Hernandez, Heritage Coordinator, Culture Division

# St. Mary's Heritage Conservation District Plan

## Guidelines for conservation and change

Prepared For:  
The Corporation of the City of Kitchener

Final Report  
August 2001

### Prepared by:

- Archaeological Services Inc.  
Built Heritage, Cultural Landscape and Planning Section
- Wendy Shearer Landscape Architect Limited
- L. Alan Grinham Architect Inc.
- Unterman McPhail Associates  
Heritage Resource Management Consultants

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#### GLOSSARY OF TERMS

Sample Alteration/Demolition Application Form

## **PART 1: THE ST. MARYS HERITAGE CONSERVATION DISTRICT: GUIDELINES FOR CONSERVATION AND CHANGE**

### **1.1 Introduction**

The St. Mary's Heritage Conservation District Plan follows on from the St. Mary's Heritage Conservation District Heritage Assessment Report that described the heritage characteristics of this immediate post-war community in the City of Kitchener. The report also provided a rationale for the boundary of the proposed district.

change in the district as a whole including public works undertaken by municipal government or other public agencies.

It must be remembered that these are "guidelines". They are intended to provide an objective minimum level of appropriateness for physical change over the coming years. The overall intent is to conserve and maintain the original building form with particular emphasis on protecting the front or publicly viewed facades. The guidelines are not prescriptive in determining specific design solutions for each building or lot. Importantly, the guidelines steer away from attempting to dictate matters of "architectural taste" which is often subjective in nature.

The purpose of this document *St. Mary's Heritage Conservation District: Guidelines for conservation and change* is to provide guidance in the care and protection of the heritage character of the St. Mary's Heritage Conservation District.

The Guidelines comprise five parts. Part 1 provides a brief description of the heritage character of the St. Mary's District and a short statement of conservation principles. Part 2 contains design guidelines for alterations and additions to existing buildings. Part 3 contains conservation guidance on heritage fabric and features. Part 4 provides landscape conservation guidelines aimed at both private and public property owners. Part 5 describes planning and administrative guidelines for

### **1.2 Summary character of the St. Mary's Heritage Conservation District**

Within the City of Kitchener the heritage environment of the St. Mary's neighbourhood represents an important and formative aspect of post World War II construction, planning and development. In many respects what would later become fairly commonplace features in the new evolving Canadian suburban landscape were at their initiation a departure from the traditional grid of roads and lotting patterns. A number of heritage attributes distinguish the St. Mary's district and are summarized as follows:

### **Historical Associations**

The historical growth of the St. Mary's neighbourhood is the result of the development of two major plans of subdivision that were developed by Wartime Housing Limited (later to be taken over by Central Mortgage and Housing Corporation) and Housing Enterprises of Canada, Limited. Both companies had their origins in the Federal government's direct response to the World War II housing crisis, specifically the profound shortage of dwellings resulting from a construction freeze due to the war effort. The partnership of the public and private housing sectors (providing funds) together with municipal government (providing land) and local contractors resulted in an innovative, administrative response to providing low-cost rental housing at a time of considerable need. These developments constituted an important form of development and planning, that had not been seen before in the City of Kitchener

### **Design and Architecture**

Both the Housing Enterprises of Canada, Limited, and Wartime Housing Limited have individual yet complementary design features. Amongst the Housing Enterprises of Canada house types there are four principal or basic designs with numerous subtypes. The Wartime Housing Limited is distinguished by two principal house types.

Both the Housing Enterprises of Canada and Wartime Housing Limited subdivisions are, for the most part, single family dwellings. Common design features noted in the two subdivisions include predominantly one storey or one and-a-half storey structures, primarily square or rectangular in plan with side gable roofs without front dormers, asphalt shingle roofing, a variety of centre, off-centre and side hall plans, and simple window types.

Characteristic design features and construction materials in Housing Enterprises of Canada subdivision include:

- hip roofs on one storey houses;
- little or no eaves;
- concrete and concrete block wall;
- decorative quoins (corners) on concrete block houses;
- distinctive fenestration (window) placement;
- examples of decorative rock-faced concrete block foundation walls;
- panelled front doors with upper divided lights;
- a variety of single, multi-pane and double hung and picture window sash; and
- duplexes (notably on Lorne Crescent)

Design features associated with the Wartime Housing Limited subdivision include:

- a simplistic but distinctive and compact form;

- one and-a-half storey houses with steep gable roofs;
- little or no eaves;
- a lack of exterior detailing;
- a side or centred front entrance accentuated by a small open entrance porch with trellis-like supports or two squared posts, steps.
- porch roof is an extension of the main roofline; and,
- window sashes in traditional multi-paned, single picture, three part picture or two over two horizontal style.

#### ***Landscape character***

The landscape character of the St. Mary's neighbourhood comprises a rich and varied legacy of generous public open spaces and equally substantial tree plantings. The landscape character of the neighbourhood enhances the existing post-War built form consisting of smaller houses with front lawns with specimen shade trees and small scale foundation planting. Parks consists of wide canopied shade trees in well maintained turf open spaces. Parkland, walkways, individual street trees, as well as mature canopies are a considerable physical asset and community amenity.

### **1.3 Conservation intent**

The conservation intent within the St. Mary's Heritage Conservation District is to maintain the existing stock of Veteran housing. It is recognized that the heritage building stock is in various states of repair and maintenance. It is not the intent of the St. Mary's Heritage Conservation District to force property owners to restore their property. The guidelines are intended to assist in the conservation of the building form within the district.

On the contrary the St. Mary's Heritage Conservation District seeks to ensure that when change is considered heritage buildings and their defining features and/or materials are ***protected*** as part of that process.

The streetscape and landscape features that distinguish the St. Mary's Heritage Conservation District are also of importance. It is the intent, as with the building stock, to ensure that grass boulevards, street trees, hedgerows, front yard plantings and many mature boundary plantings such as trees and hedges are conserved and managed.

Retention of grass boulevards and new plantings where mature trees need replacement are priorities for publicly owned areas.



#### 1.4 St. Mary's Heritage Conservation District: Conservation Principles

It is anticipated that change within the *St. Mary's Heritage Conservation District* will be guided for the most part by advice contained in Parts 2 and 3. Inevitably situations may arise in future years that have not been anticipated at the time of the preparation of this document. Accordingly, it is useful to provide the following principles of conservation and change to assist in setting the tone and context for the future of the *St. Mary's Heritage Conservation District*. They should always be consulted if the more detailed guidelines do not appear to specifically address an issue or problem. Essentially, they are the "default" mechanism.

The designation of the *St. Mary's Heritage Conservation District* seeks to ensure the wise care and management of the heritage character of the area. Physical change and development are to be managed in a way that the component buildings, streets and open spaces are either **protected** or **enhanced**.

1. **Land use and development**  
The existing low density, low profile, single detached residential environment within the *St. Mary's Heritage Conservation District* will be maintained and encouraged. Other forms of residential development and new uses will be discouraged.

#### 2. **Heritage buildings**

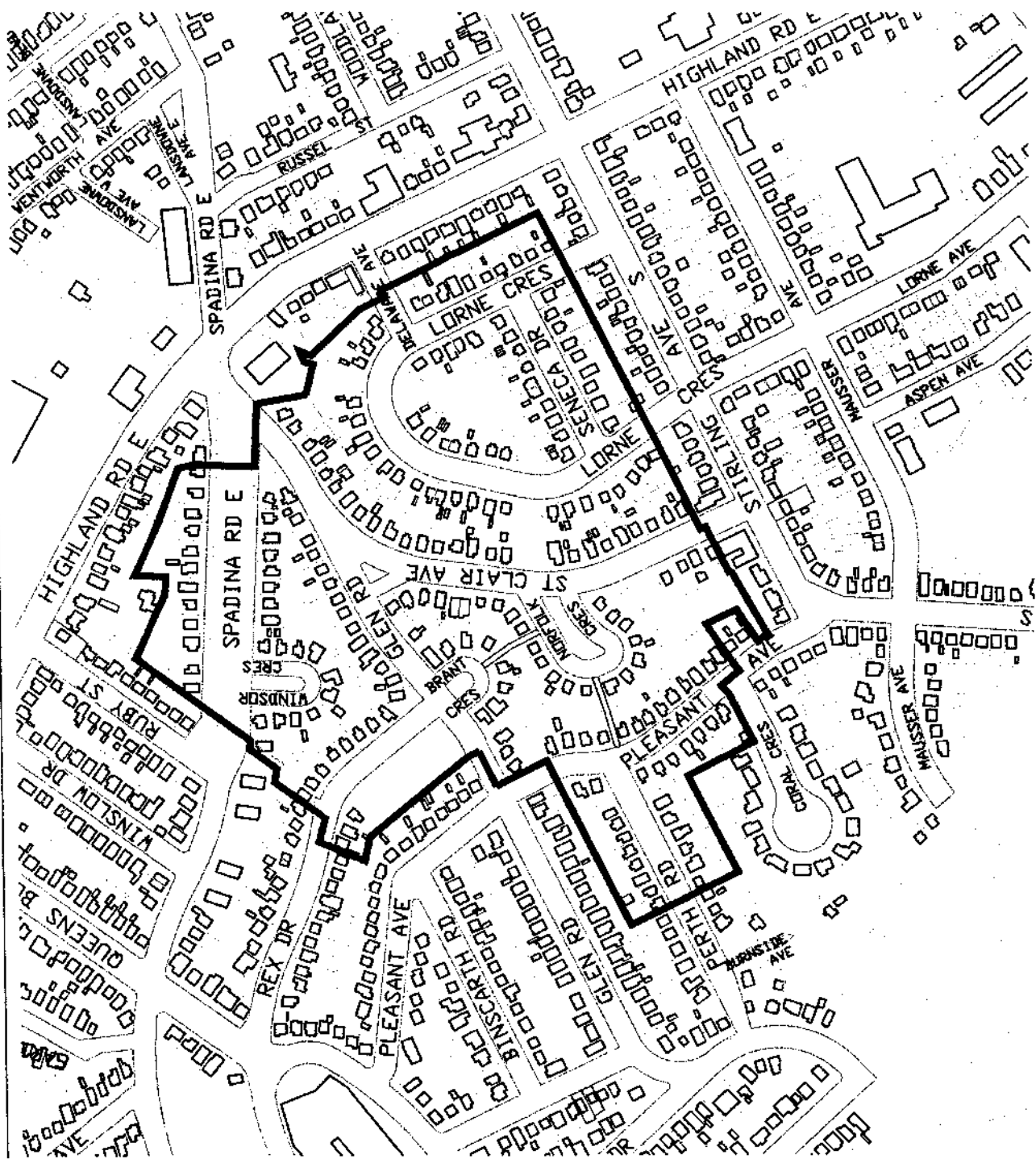
The existing residential building stock of Veteran housing is considered to be of heritage interest. Individual property owners will be encouraged to maintain and repair individual heritage buildings. City Council and staff will provide guidance on funding sources and appropriate conservation practices as requested. Demolition of heritage structures will be actively and vigorously discouraged.

#### 3. **Landscape character**

In addition to principles 1 and 2 the landscape character of the *St. Mary's Heritage Conservation District* will be protected and enhanced by maintaining and managing individual street tree species, tree lines and grass boulevards and protecting public spaces from unsympathetic change and uses.

#### 4. **New development, construction and public works**

All new development, construction and any public works will be encouraged only where it is clearly demonstrated that such changes will have both no adverse effects upon the heritage attributes of the district and will positively contribute to the character of the area.



## **PART 2: ST. MARYS HERITAGE CONSERVATION DISTRICT: DESIGN GUIDELINES FOR ALTERATIONS, NEW ADDITIONS AND MINOR NEW CONSTRUCTION**

### **2.1 Introduction**

The *St. Mary's Heritage Conservation District* comprises a similar mix of building forms and functions. As in many heritage districts throughout Ontario, residents and property owners of the St. Mary's district are encouraged to work with existing buildings rather than demolishing and constructing new structures. While not prohibited by the Ontario Heritage Act the demolition of existing heritage structures and the creation of new buildings will be actively discouraged within the *St. Mary's Heritage Conservation District*.

Guidelines for the conservation of heritage buildings are contained in **Part 3** Guidelines for new construction as additions to heritage buildings are contained in the following subsections and described in the accompanying case studies.

### **2.2 Additions to buildings and sites**

While alterations are usually undertaken to improve comfort levels in an existing house (more light or heat for example), additions are usually undertaken to provide needed living space, such as additional bedrooms for growing families, separate kitchens, and so on. Accordingly the following guidelines provide advice on how best to fit desired space into an existing heritage structure.

#### **2.2.1 Location**

- Exterior additions, including garages, balconies and greenhouses are encouraged to be located at the rear or on an inconspicuous side of the building, limited in size and scale to complement the existing building and neighbouring properties. Additions at the rear should always be slightly lower than the existing roof ridge line and stepped in at the sides in order not to overpower or dominate the existing heritage buildings and the view from the street. Additions so constructed will also tend to be more neighbourly with adjoining property owners.
- Multi-storey exterior additions are best set back as deeply as possible from the existing front wall plane in order to be unobtrusive in the streetscape and differentiate the addition from the older structure.

- Additions to structures with symmetrical facades should avoid creating asymmetrical arrangements (imbalance) in building form.

#### 2.2.2 Design

- New additions are best designed in a manner that distinguishes between old and new; and that avoids duplicating the exact style of the existing Veteran buildings or imitating a particular historical style or period of architecture.

- Contemporary design for additions is appropriate when such additions do not destroy significant architectural, historical or cultural material and when the design is compatible with mass, ratio of solids to voids, colour, material and character of the property, neighbourhood or environment.

- New additions should be designed in such a manner that wherever possible the essential form and integrity of the existing building would be unimpaired if the addition were removed in the future.

- Additions are encouraged to be located at the rear or on an inconspicuous side of the building,

limited in size and scale to complement the existing building and neighbouring properties. Keep the height and bulk of the new addition smaller than the existing building.

- Attempts to add to the height or roof of an existing heritage building should be avoided as changes to the roofline alter the character of a building significantly. Dormers should be located at the side or rear rather than on principal facades.
- Many of the existing houses have crawl spaces and property owners may wish to add a basement to their existing house. It is preferable that the overall height of the new foundation above grade not exceed those houses in the neighbourhood which already have full basements (maximum height 900 mm).

#### 2.3 New lots and new construction

The creation of new lots and new single detached building construction **will be discouraged** within the St. Mary's Heritage Conservation District.

## 2.4 New Construction

New infill building construction is discouraged within the St. Mary's Heritage Conservation District. The following guidelines are to be used only in the rare event of an unexpected removal of a building.

Construction on newly created lots or vacant lots will be required to be compatible with the character of adjoining properties and the streetscape.

New construction should also appear to be "new" and not pretend to be historical or old simply by copying historic details that are inappropriate in contemporary construction such as shutters and multi-paned sash windows.

Additions should be sensitive to the character and scale of adjacent buildings (especially heritage property) in size and height.

### 2.4.1. *Design considerations in new residential design*

General factors governing visual relationships between an infill building, its neighbours and the streetscape should be reviewed carefully and used as the basis for new construction including consideration of: building height, width, setbacks, roof shape, number of bays and materials. Specific guidance is described below:

#### **Height:**

The majority of buildings within the residential area are one-and-a-half storeys or less. Accordingly to maintain this profile new buildings should be no higher than one-and-a-half storeys, particularly if there are high basement and foundation walls. Required living space should be provided in a building mass that extends rearwards in depth on the lot rather than upwards in height.

#### **Width:**

New dwellings or building additions should be designed in a manner that provide living space in a building mass that extends rearwards in depth on the lot rather than in horizontal width across the lot. "L" plans may be used where appropriate.

#### **Setback:**

Existing residences have a variety of setbacks and vary from street to street. Accordingly, in streetscapes of similar building setbacks new construction should match existing.

Where adjacent buildings are staggered from one another the new intervening building facade should be:

- located so that it does not extend beyond the front facade of the forward-most building, or

- located so that it does not sit behind the front facade of the rearward building.

***Proportion and massing:***

New infill should be developed with horizontally rectangular to square proportioned facades with two or three bays comprising an entranceway and one or two window bays. Facades with a vertically rectangular emphasis should be avoided.

***Roofs:***

Roof types encouraged in new construction are side gable, hipped. Asphalt shingles are appropriate for new construction. Concrete, wood, clay, tile, slate, metal or composite materials are discouraged.

Roof vents, skylights, satellite dishes, solar panels, metal chimneys and flues, other venting devices and roof features are best located to the rear of new buildings.

Dormers should be encouraged at the rear. Their placement should attempt to reflect the pattern and position of existing windows and doors below, as well as use similar roof forms as the main building.

Heights of existing and adjacent roof lines and profiles should be maintained.

***Materials:***

The majority of buildings in the St. Mary's Heritage Conservation District are of frame construction with a variety of cladding or siding materials. Cladding materials include asbestos siding, wood, and board-and-batten especially on rear additions. Synthetic materials such as metal or vinyl siding have also been used, either in whole or in part, to patch or cover former block or brick veneer structure which make up the balance of the buildings.

Wall materials for use in new construction are encouraged to be wood cladding (either as clapboard or shingles). Limited use or small areas of synthetic cladding may be permitted on secondary facades or when used with traditional materials on principal facades. Use of concrete or synthetic masonry units or brick while unlikely, could be used.

***Windows:***

A range of window and entrance types is evident in the existing architectural style represented in the Heritage Conservation District. The overall appearance of building facades is more wall surface (solids) than

windows (voids). Generally window openings are vertical and rectangular. The windows are arranged in a variety of ways, either individually, pairs, groups or composing a bay. New window designs that generally reflect vertical and rectangular dimensions are encouraged. On facades that face the street, windows should maintain proportions of neighbouring properties. Large, full-length or picture windows are best avoided.

**Entrances:** Entrances are usually an important element of the principal elevation, frequently highlighted with architectural detailing such as door surrounds and porches and recessed or projected from the wall face for emphasis. Accordingly, fullsize double doors and large amounts of glazing in entranceways should be avoided.

**Garages and ancillary structures:** Garages and ancillary structures are best located behind the main facade and should be located in traditional areas for these functions, usually towards the rear of the lot. Garages, in particular, should not form part of the front facade of the main building. New garages and parking spaces should be located in unobtrusive areas, normally to the rear and side yards.

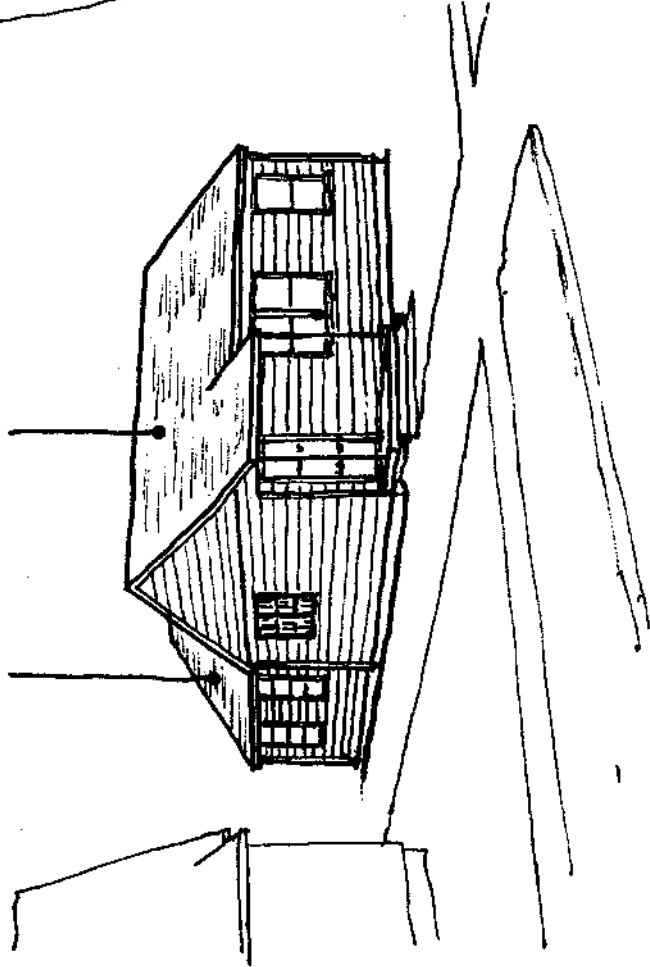
L. Alan Grinham Architect Inc.

## 2.5 Case Studies

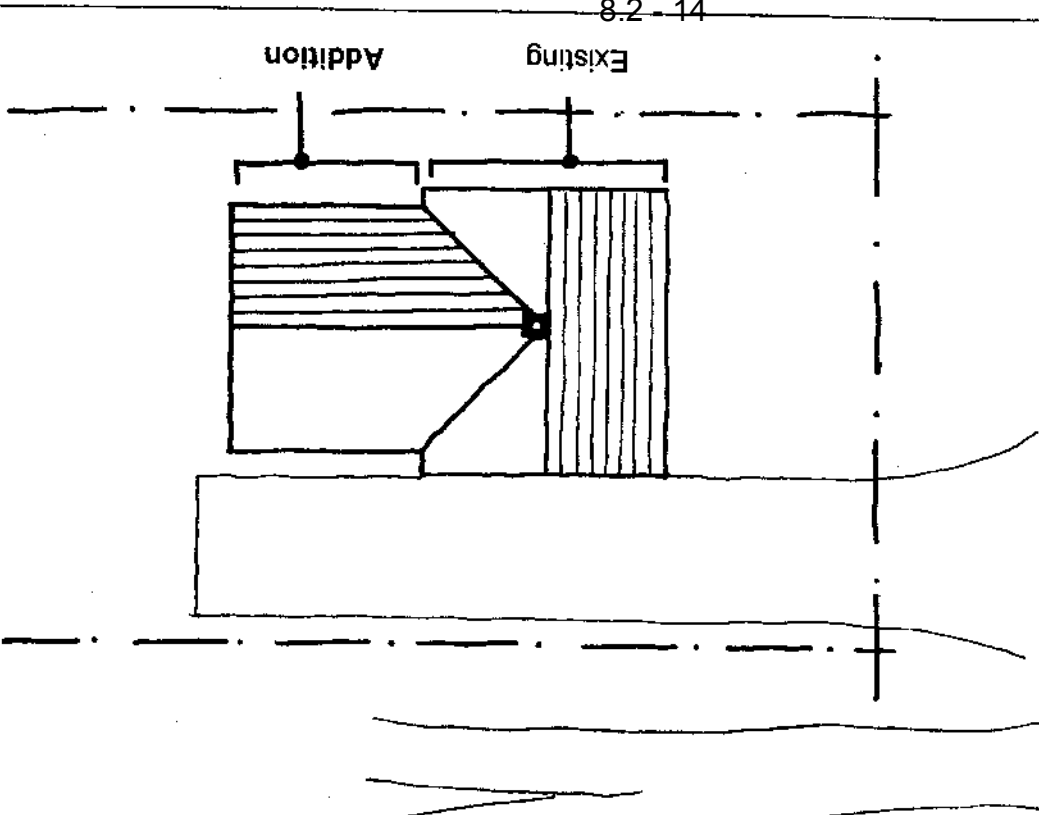
The following Case Study sketches are intended to illustrate ways in which the most common principles of the Guidelines for Alterations, New Additions and Minor New Construction might be interpreted and applied in practice. The house forms depicted represent a cross-section of the four principal house types and sub-types developed for the H.E.C. housing program, and two principal house types of the W.H.L. program, in a variety of cladding and basic structural combinations. The studies further reflect the three common house lot configurations on both the straight and curvilinear street plans.

**Case Study:**  
1 Storey - Single  
Frame & Clapboard  
Side Gable Roof

Addition Existing



Addition Existing



Existing Floor Area: 480 sq.ft.  
Addition: 1 storey, rear gable roof  
20 ft. W x 16 ft. D  
Addition Floor Area: 320 sq.ft.  
Floor Area Increase: 67 %



Case Study:  
1 Storey Single  
Concrete Block  
Hip Roof

Existing

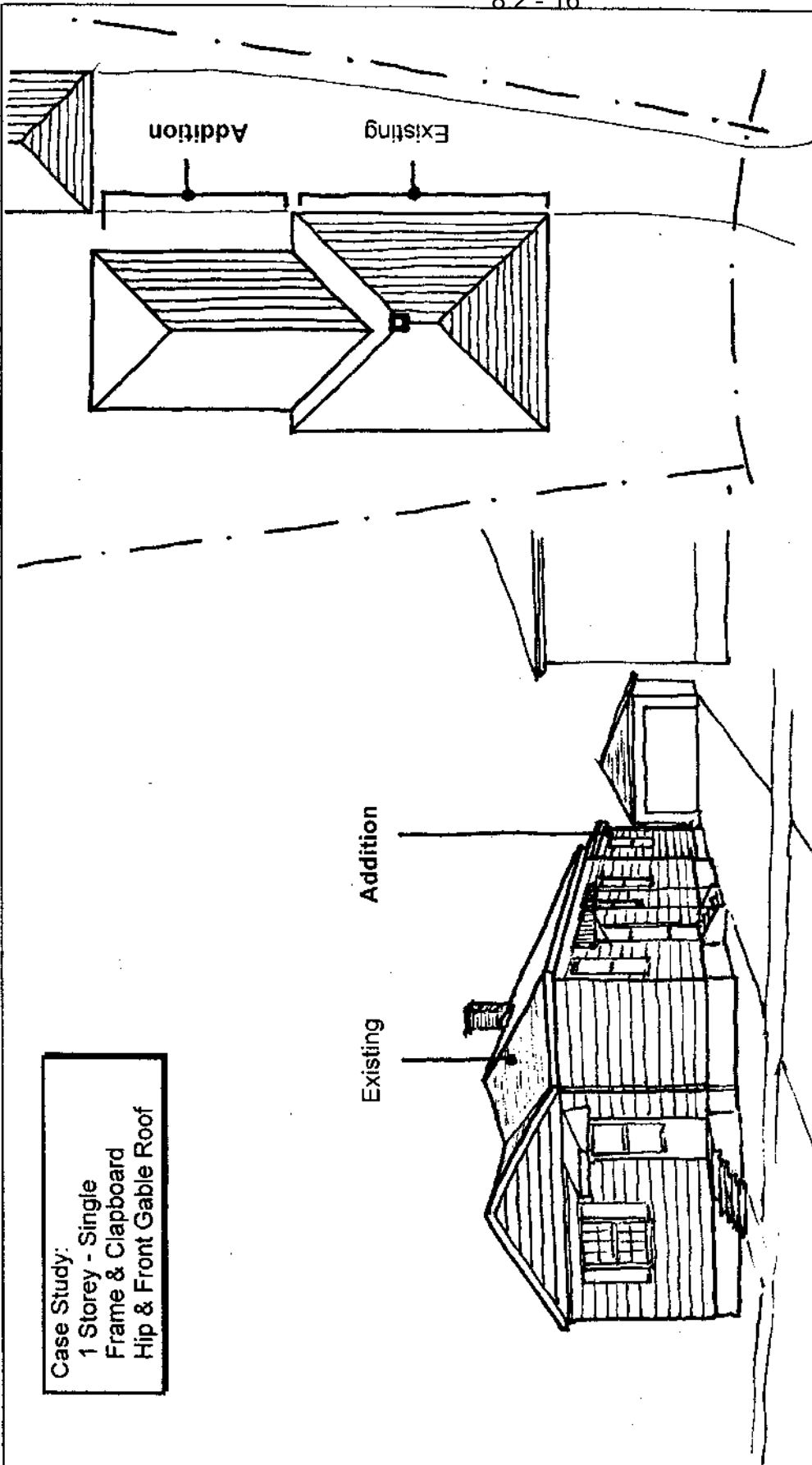
Addition

Addition

Existing

|                      |                                           |
|----------------------|-------------------------------------------|
| Existing Floor Area: | 570 sq.ft.                                |
| Addition:            | 1 storey, hip roof<br>20 ft. W x 16 ft. D |
| Addition Floor Area: | 320 sq.ft.                                |
| Floor Area Increase: | 56 %                                      |

**Case Study:**  
1 Storey - Single  
Frame & Clapboard  
Hip & Front Gable Roof

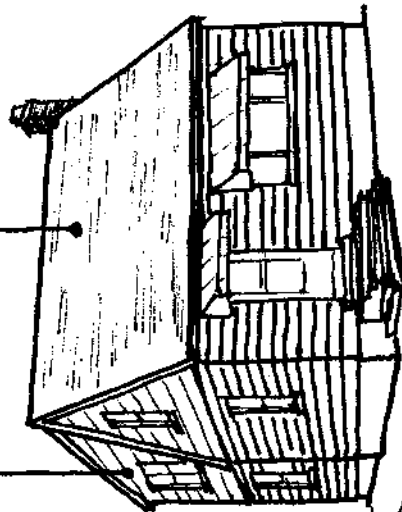


Existing Floor Area: 570 sq.ft.  
Addition: 1 storey, hip roof  
16 ft. W x 20 ft. D  
Addition Floor Area: 320 sq.ft.  
Floor Area Increase: 56 %

**Case Study:**  
1 - ½ Storey - Single  
Concrete Block  
Side Gable Roof

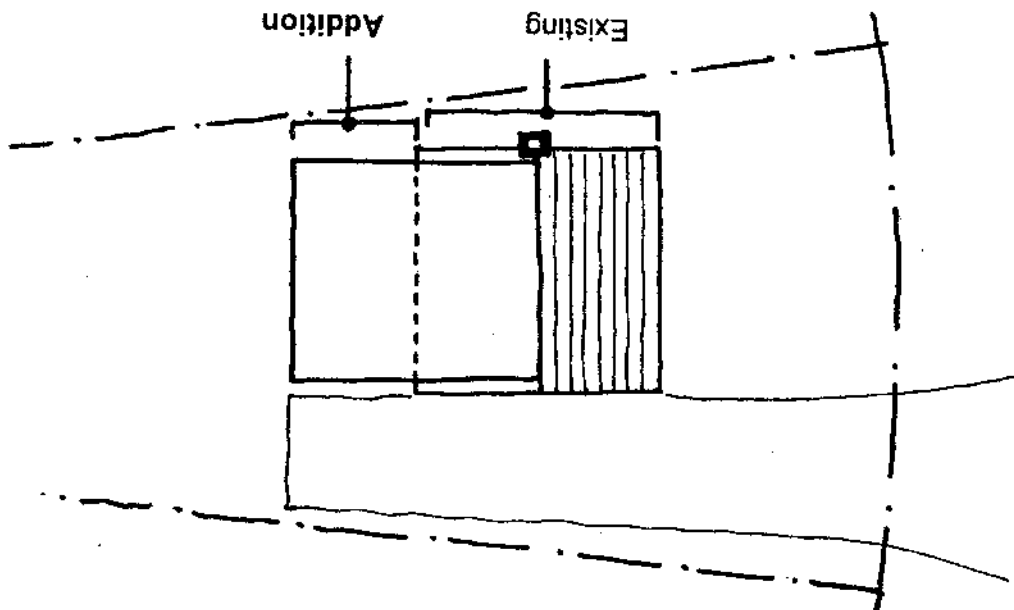
**Addition**

**Existing**



**Addition**

**Existing**

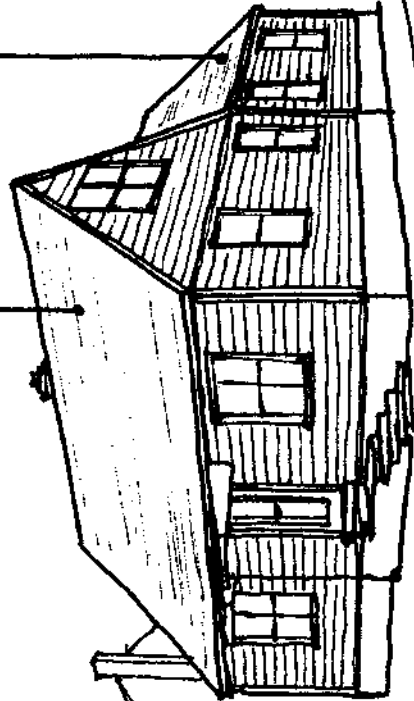


|                      |                                                   |
|----------------------|---------------------------------------------------|
| Existing Floor Area: | 700 sq. ft.                                       |
| Addition:            | 2 storey, shed dormer roof<br>19 ft. W x 10 ft. D |
| Addition Floor Area: | 430 sq. ft.                                       |
| Floor Area Increase: | 61 %                                              |

**Case Study:**  
1 - 1/2 Storey - Single  
Frame & Clapboard  
Side Gable Roof

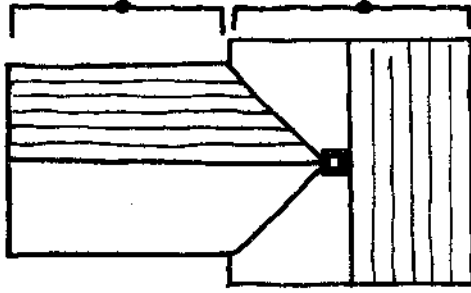
Existing

Addition



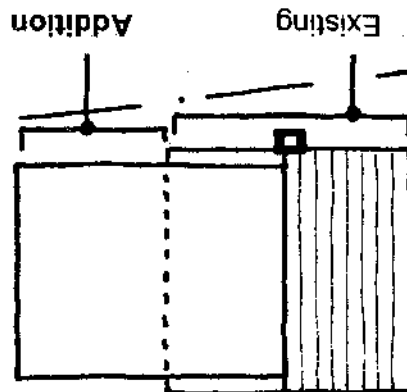
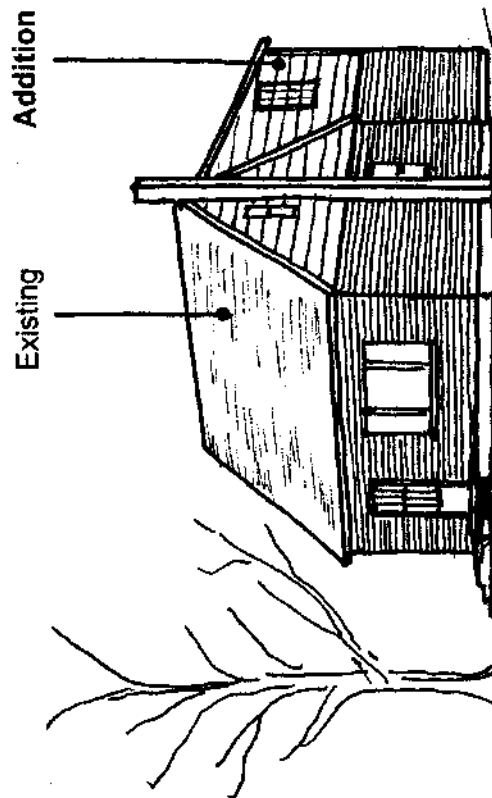
Addition

Existing



Existing Floor Area: 700 sq. ft.  
Addition: 1 - 1/2 storey, rear gable roof  
16 ft. W x 18 ft. D  
Addition Floor Area: 460 sq. ft.  
Floor Area Increase: 65 %

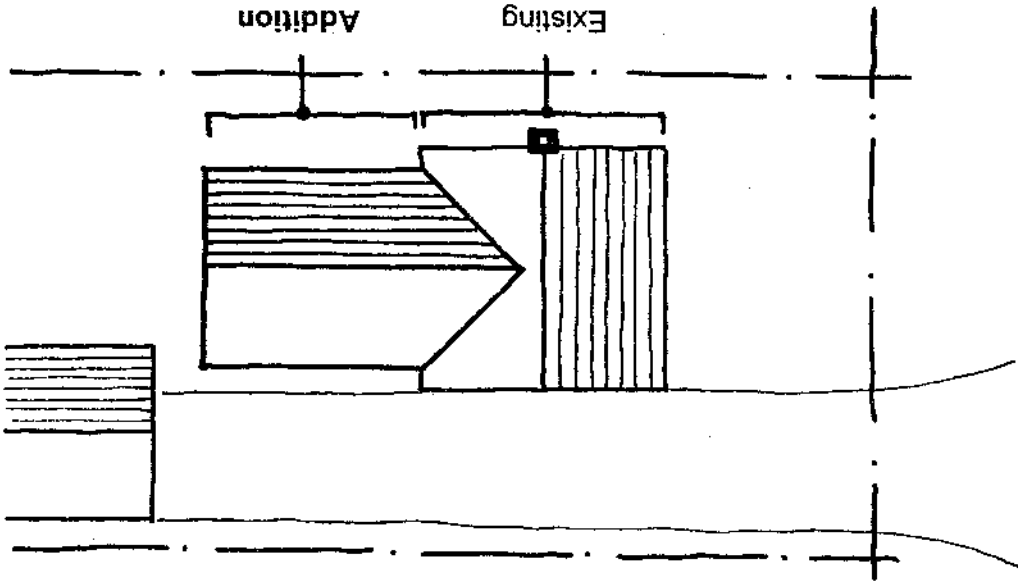
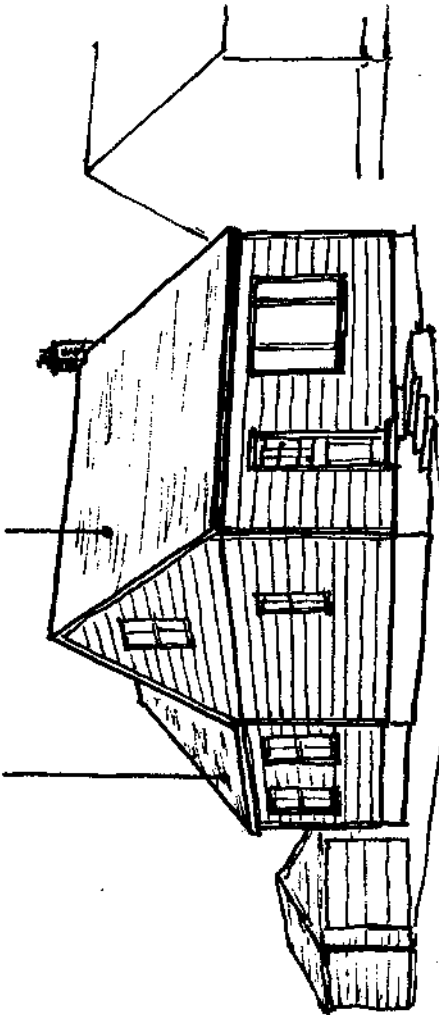
**Case Study:**  
1 - ½ Storey - Single  
Brick Veneer  
Side Gable Roof



Existing Floor Area: 700 sq. ft.  
Addition: 2 storey, shed dormer roof  
18 ft. W x 12 ft. D  
Addition Floor Area: 480 sq. ft.  
Floor Area Increase: 68 %

**Case Study:**  
1 - 1/2 Storey - Single  
Frame & Clapboard  
Side Gable Roof

Addition Existing

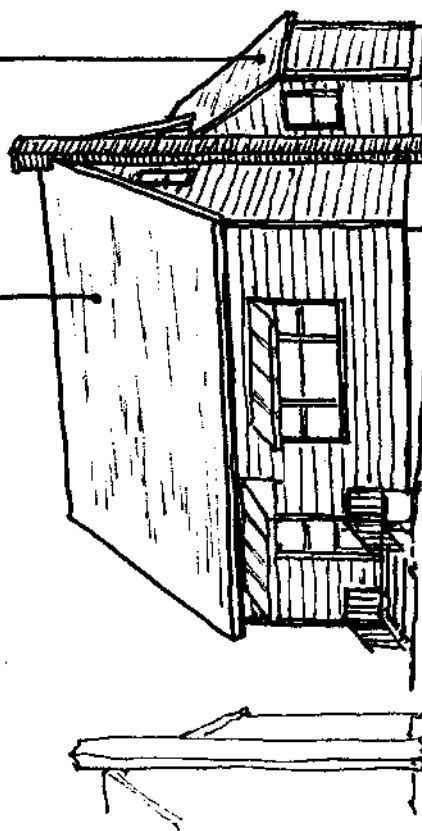


Existing Floor Area: 700 sq. ft.  
Addition: 1 - 1/2 storey, rear gable roof  
18 ft. W x 18 ft. D  
Addition Floor Area: 530 sq. ft.  
Floor Area Increase: 75 %

Case Study:  
1 - 1/2 Storey - Single  
Frame & Clapboard  
Side Gable Roof

Existing

Addition



Addition

Existing

Existing Floor Area: 570 sq. ft.

Addition: 1 - 1/2 storey, rear gable roof

20 ft. W x 12 ft. D

Addition Floor Area: 410 sq. ft.

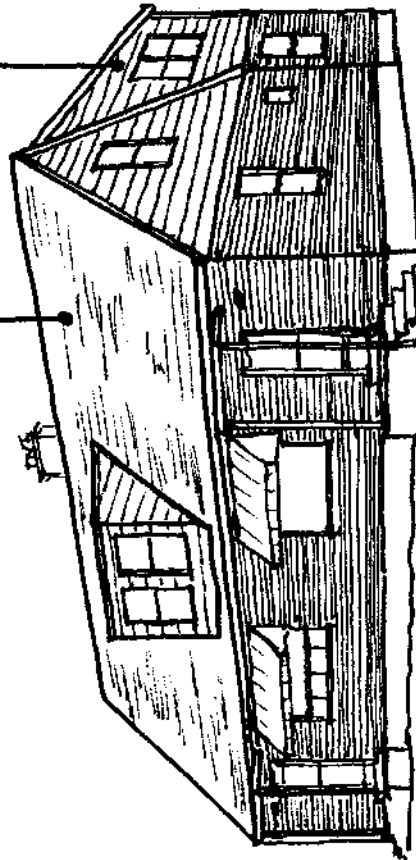
Floor Area Increase: 58 %

**Case Study:**

1 - 1/2 Storey - Semi  
Brick Veneer  
Side Gable Roof

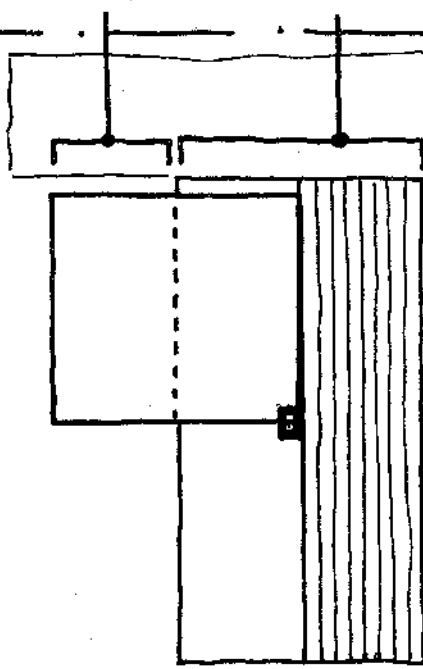
Existing

Addition



Addition

Existing



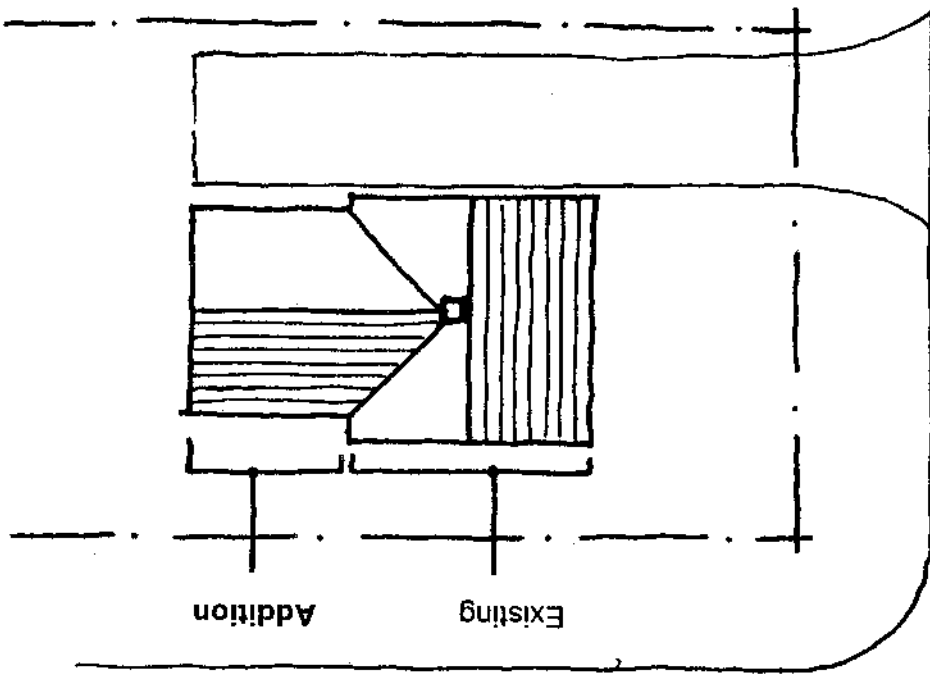
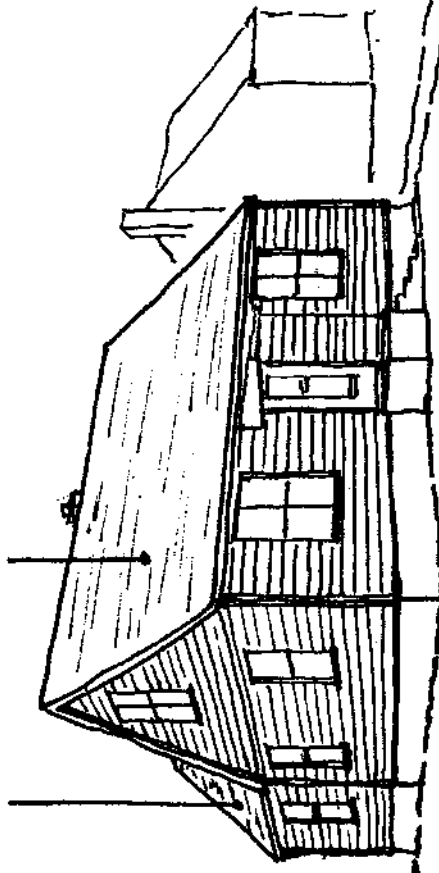
Existing Floor Area: 700 sq. ft. (each unit)  
Addition: 2 storey, shed dormer roof  
19 ft. W x 10 ft. D  
Addition Floor Area: 430 sq. ft.  
Floor Area Increase: 61 %



**Case Study:**  
1 - ½ Storey - Single  
Frame & Clapboard  
Side Gable Roof  
Corner Lot

Addition

Existing



Addition

Existing

Existing Floor Area: 700 sq. ft.  
Addition:  
1 - ½ storey, rear gable roof  
18 ft. W x 16 ft. D  
Addition Floor Area: 470 sq. ft.  
Floor Area Increase: 67 %

## **PART 3: CONSERVATION OF BUILDING MATERIALS**

### **3.1 Introduction**

In the **Heritage Assessment Report** for the St. Mary's Heritage Conservation District, section 2.7 *Summary of Building Integrity* clearly discusses the change that has occurred to building fabric in the district. The section states:

*The majority of the houses in both the HEC and WHL subdivisions have undergone numerous alterations resulting in a wide range of building integrity from moderate changes to severely modified. The most common alterations include re-siding, window sash and front door replacement and changes to window openings, alterations to the original front porch and new front porches. Only a few of the many houses built with concrete block are not covered with new siding. Many of the houses have metal window and door awnings, although whether or not they are original to the construction of the house is unknown. Awnings were a design option at the time houses were built.*

*... There are a few examples of dormers being added to the front elevation. For the most part, the overall height, scale and form of the houses have been retained so the subdivisions are visually distinguishable in the landscape as Veteran's or Victory Housing.*

On the basis of this knowledge, the following guidance provides assistance in the care, conservation and restoration of the existing built fabric of the St. Mary's Heritage Conservation District. If a property owner is inclined to restore or simply care properly for a building, the following information is available to assist the residents of the district. Also supplied is general information on building maintenance for those property owners who simply want to reduce the potential for costly repairs and extend the life of existing building fabrics.

The format of the section comprises descriptive guidelines and sample case studies to assist homeowners and the municipality. In the St. Mary's area, as in many other communities synthetic siding has been used to cover original cladding. This material while providing many maintenance free years may require replacement based on the degree of deterioration or age. These guidelines also provide guidance on how to restore former architectural wall claddings.

### **3.2 Conservation Practice**

#### **3.2.1 Conservation Practice Guidelines**

This section provides advice and guidance on conservation practice and its application to heritage buildings. It should be used in conjunction with Part 2 of the St. Mary's Heritage Conservation District Plan and in the consideration of District permit applications.

#### **3.2.2 Building Conservation**

Maintaining buildings in good physical condition and ensuring viable and satisfactory uses are the cornerstones of conserving older heritage structures as well as more recently constructed properties.

The deterioration of building elements or materials is a natural phenomenon. It can be slowed down significantly by sound repair and maintenance or considerably accelerated by inadequate attention to such factors as water damage, paint failure differential settlement and so on. The process of **conservation**, which is the remedial measures necessary to prevent decay, must be used to promote the longevity of building materials.

***Sound maintenance practice is the single most important technique in the promotion of good conservation.***

***Repair and maintenance is the minimum conservation action required within the St. Mary's district.***

***Importantly, repair and maintenance are the most effective actions required to maintain a building since it***

***often insures against harmful and irreparable damage and costly major repairs.***

Generally, the conservation issues within the district relate principally to: the continuing maintenance, repair and restoration of building fabric; appropriate alterations and additions to existing heritage structures; and new construction.

For the purposes of this district plan and its use in the consideration of change and development within the St. Mary's district a number of terms are defined to aid the reader. These terms are drawn, in shortened form, from the Ontario Heritage Foundation's Manual of Principles and Practice for Architectural Conservation, *Well Preserved*, (Mark Fram, 1988) and are described as follows:

#### **Conservation:**

An umbrella term that encompasses a broad range of activities aimed at preventing decay by wisely using heritage resources and purposely intervening to remove or obviate threats to those resources.

#### **Preservation:**

Preservation involves stopping, as permanently as possible, those processes contributing to the deterioration of a building or site and making essential repairs to keep it in its existing state.

### **Restoration:**

Restoration is the recovery of the forms and details of a property as it appeared at a particular time by removing work of intervening periods and, where necessary, replacing or reproducing missing elements.

### **Reconstruction:**

Reconstruction involves the re-creation of a vanished building or feature on its original site based on evidence from historical documents.

The following sections offer general guidelines on the maintenance, repair and restoration of heritage buildings within the district. The approach developed will allow and encourage property owners to choose the level of care which best suits their financial resources and their perceived ideas for the proper care of their property within this area of special architectural, historical and landscape significance.

## **3.3 Foundations**

Sound and watertight building foundations are essential to the continued longevity of the district's structures. The early discovery of problems can normally be corrected inexpensively and efficiently. If problems are allowed to persist untreated, significant damage such as excessive settlement may occur.

**Inspection and Maintenance:** The importance of the regular inspection of basement and foundation walls cannot be over emphasized. Regular inspections should be completed at different times of the year and during different weather conditions. Using a flashlight look for signs of moisture, cracks, deflection of structural members, bulging, buckling, and crumbling mortar, wood in direct contact with soil and settlement. Settlement may take years to occur and normally does take place during the first years of the structure's life. Often older buildings that have settled reach equilibrium. However, changes in ground water levels, excessive spring runoff, earth movements, new tree plantings positioned too close to a structure and disconnected downspouts can result in further sub-surface destabilization of the structure and foundation. Basement renovations, which may entail underpinning to gain extra ceiling height, new additions and the construction of new buildings on adjacent properties, may also contribute to settlement.

Regular maintenance practices should ensure proper ventilation and structural integrity. Foundations and basements are particularly vulnerable to the lack of proper ventilation, which may contribute to fungal growth. Undetected growth can also cause stress through weakening sill plates or joist ends, which are fitted into masonry pockets. This may affect the integrity of the basement foundation and the above structural framework.

Termites and other insect infestations are another concern that should be monitored and corrected.

Not all small cracks or fissures in a foundation are serious trouble. The cracks can be monitored using simple measuring devices and photographs over time to provide information on the degree of movement.

**Repairs:** Repairs to foundation problems should be undertaken only after consultation with a professional engineer, building consultant or architect who has a knowledge of heritage buildings systems. Make repairs where possible using traditional building practices. This may for example mean not insulating interior basement walls to modern design standards. Make sure proper exterior drainage is in place and direct water away from the building. Grading the ground slope away from the building may complete this. Install drainage tiling if necessary to control excessive moisture. When excavating, remember there may be archaeological concerns that can occur. Excavate in short sections, repair and backfill. If deteriorated sills exist, the property owner may consider pouring a new shallow footing or reinstating a new sill. Use the opportunity when excavating or waterproofing to install exterior wall insulation rather than interior insulation.

**Mortars and pointing:** Generally the guidelines for masonry restoration should be applied to any exposed external foundation walls whether they are brick or concrete block. Areas exposed to extreme environmental weather conditions at the lower foundation walling may require a slightly stronger masonry mortar to prevent accelerated deterioration. Refrain from pointing exterior foundation walls with cementitious materials as a method of waterproofing. If additions or alterations are being considered it is worth examining methods of construction which spread the load uniformly onto an existing foundation wall or footing. Consolidation of a masonry wall may entail grouting. Seek expert advice and a qualified contractor to undertake the project. Use low sodium grouting mixtures to prevent efflorescence to brick or concrete block.

### 3.4 Structural Systems

Structural systems include the framework, walls and floors in buildings and often vary in size, shape and design. Techniques employed by different builders and designers and the local availability of building materials contribute to the variant construction methods and materials found in the district. Most buildings in Ontario are constructed with a wooden structural frame and a light cladding.

The most common form of brick construction throughout the twentieth century is brick veneer over a wooden frame. Brick veneer allowed for larger openings and accommodated the more complex plans. Concrete block faced structures are considered a twentieth century construction method.

**Inspection and Maintenance:** The type of construction used in the building should be determined before any repairs are carried out. This knowledge allows for the development of proper strategies for maintenance, repair and restoration. Knowledge of the construction method is also useful when designing additions and alterations.

Inspect and record structural stability problems. Note cracking, deflection, and fungal or insect attack; stabilize weakened structural members and systems with a method that can be repaired and reversed if necessary. The

existing structure system may also be supplemented when damaged or inadequate. Replacement wooden structural members should be replaced with the same or similar wood species, the same dimensions and structural capacity where possible.

In solid masonry structures the joist pockets and wood/masonry connections should be examined for deterioration and fungal growth due to moisture and lack of proper ventilation.

**Repairs:** Major repairs to the structural soundness of a building should be completed before work is undertaken on exterior cladding, or when new additions or alterations are being considered. Consideration should also be given to supplementing the existing structural system when it is damaged or inadequate.

#### **Exterior Wall Cladding**

The buildings of the St. Mary's Heritage Conservation District originally comprised clapboard sided buildings over a wood frame, brick veneer over frame or concrete block.

#### **Concrete Block**

The hollow concrete block is a twentieth century building material produced from a mixture of Portland cement and aggregates. The most common size is the standardized

8-by-8-by-16 inch units, usually with two or three cores. The block ends are either flat or flanged. Lightweight aggregates were introduced in the 1930s and 1940s. Rockfaced block with a rough-cut surface that looked like quarried stone was extremely popular on exterior foundation walls. They were also used for exterior walls and as accenting pieces such as quoins and sills. The cracking of blocks is usually linked to shrinkage of the concrete or movement in the blocks or water. Spalling may be a result of problems in the mix, water penetration and/or mechanical damage. Efflorescence or the accumulation of salts on the block surface is generally caused by water. Concrete blocks can also suffer from an accumulating of staining and dirt.

**Inspection and Maintenance:** Walls should be examined for cracks, brick spalling, stains, leaks, mortar erosion, local distress, leaning or bowing, efflorescence and loose or falling building fabric. Prioritize the work, which must be considered for repair and future maintenance, and take appropriate action.

In St. Mary's District a noticeable masonry problem is poor water drainage from downspouts. The repair of faulty downspouts assists in the preservation of sound masonry by saving it from the problems of winter freeze-thaw cycles. Guiding water away from the building is critical in preventing the saturation of masonry, which may result in the more serious problem of rising damp. The regular maintenance of brick cladding will help

preserve the building fabric and maintain the weather tightness of the structure.

### Concrete Block

1. Conduct a visual survey of the building identifying and noting location of patterns of cracking, spalling, water movement and other signs of deterioration.
2. Water movement through a wall results in efflorescence while water entering from the ground level results in rising damp. Deficiencies in drainage and flashing may be the cause of localized staining. A visual inspection during a rainfall can reveal patterns of water penetration, particularly for unpainted blocks.
3. Repoint joints, occasionally recoat block surfaces where paint and clear sealants have been used, repair flashings and drainage systems to limit efflorescence.
4. The mortar used in repointing should match as closely as possible the historic mortar and be compatible with the block.
5. Unpainted concrete block may be cleaned with low-pressure water (400 psi or less) and a mild non-ionic detergent. Severe soiling may require chemicals or detergents in liquid or poultice form. Selection of the cleaner should be based on trial cleaning samples.

6. Test samples should be used to determine if painted concrete blocks can be cleaned without damage or removal of the paint.
7. Locate the source of movement before repairing cracks. Cracks along joints would be repointed. Hairline cracks may be repaired by the application of a surface coating that will repel water penetration. Wider cracks should be cut out 1/2 inch wide at the surface and undercut 1/2 to 3/4 inches wide at the back and 1/2 inch deep, cleaned, free of dust and dry, before repairing. Surfaces of the crack should be dampened before applying mortar.
8. A patch mix similar in colour and mix may repair areas of spalled original block.
9. Replacement block should match as closely as possible the original colour, shape, surface finish and texture of the original block.

## Brick masonry

**Repairs and Replacement:** Masonry repairs to localized areas should match the original as closely as possible in size, colour, texture, surface treatment and strength for reasons of appearance and durability. With brick and concrete block it is critical that original mortar be examined for texture, colour, type of jointing and composition. New mortar should match the qualities of the original mortar as closely as possible.

Replacement brick should also be selected by its similarities to the type, unit size, colour, texture and composition of the original brick. Salvage brick can be used in areas where exposure to excessive weathering is not likely to occur. It is important to evaluate the strength and durability of "old" bricks when considering them for re-use. Do not employ the use of softer interior bricks for exterior masonry repairs. Concrete block should also be chosen for similar reasons of durability and compatibility.

**Restoration:** Major restoration work on masonry should follow the guidelines developed in the *Annotated Master Specification for the Cleaning and Repair of Historic Masonry*, available from the Ontario Ministry of Tourism, Culture and Recreation, Toronto. This guide provides an excellent source of information on the subject of masonry conservation and repair and is available at the Province of Ontario bookstore in Toronto.

**Masonry Cleaning:** The cleaning of masonry can be considered useful in the prevention of deterioration and the restoration of original appearance. The "good as new" appearance predicted by contractors usually means too aggressive an approach to cleaning is being recommended. Skilled operators experienced in cleaning heritage buildings should carry out all masonry cleaning operations during a frost-free period. Test patches should be completed on inconspicuous areas before any work is undertaken. Be wary of sandblasting in any circumstances and remember caustic chemicals used improperly can be harmful to the building and the environment.



**Mortars and Repointing:** Many mid- twenty first century masonry structures were built using more elastic mortars with a high lime and low cement content. Modern mortar is generally harder. Its use can be harmful for older buildings when employed with soft or friable masonry materials. A general rule with masonry repointing is to make sure the mortar is weaker than the surrounding masonry. It is easier and cheaper to repoint masonry walling rather than replace historic masonry units.

Repointing is required when it is badly deteriorated or when water penetration is a problem. Do not repoint old mortar sections in good condition. Always clean out deteriorated mortar with a hand chisel back to sound surfaces rather than using power chisels. The composition of the new mortar must match the qualities of the old in strength, colour and texture. Avoid the use of plasticizers or colourants.

Acceptable brick joints include: the flush; the semi-recessed; the rodded or thumb joint; and the regular struck joint. Unacceptable joints include: the tucked joint; tuck beaded joint; ribbon; and buttered joint.

### **Wood Siding**

Horizontal siding types in the district include clapboard with a tongue and groove or bevel application.

**Inspection and Maintenance:** Wood cladding should be inspected regularly and frequently for insect infestation and moisture penetration. Signs of deterioration include blistering and peeling paint. Areas particularly vulnerable to deterioration are corners and near eaves, downspouts and ground level. Structural stability should also be inspected.

**Repairs and Restoration:** Wood siding should be repaired wherever possible. Small cosmetic repairs or "dutchmen" should be carried out in wood or a combination of wood and glue. New replacement wooden siding should match the original in form, style, dimension, profile and method of installation. Cornerboards should match the original in dimension and profile. The use of real board lumber - not waferboard - as a base should be encouraged. Selection of a skilled craftsperson to complete the installation of the materials is always recommended.

### **Synthetic Siding**

- Wooden siding as well as brick or concrete block structures are often reclad in modern synthetic siding rather than renewing the original building material. In the case of a heritage building this can lead to changes to the exterior appearance of the structure.

Synthetic siding alters the visual texture of the building and the architectural scale of a house by altering size and spacing of the original wooden siding or covering of concrete block and associated decorative detailing. Its application generally means the removal of decorative and other trim such as cornerboards, and window and door trim on frame structures. Decorative detailing such as lintels, door surrounds and quoins are normally covered over on masonry buildings as well. Synthetic siding is often nailed directly to the original building fabric or to additional furring strips on top of the original walling material. This may damage the original material. The inability of synthetic sidings to bend often leads to vertical placement in problem areas, spoiling the original design and symmetry of a historic building.

**Repair:** The application of synthetic siding also affects the general maintenance and repair of district buildings by contributing to moisture problems if applied over a building that requires repair prior to siding. It also prevents the inspection of the underlying building fabric. Synthetic siding tends to be prone to denting. It is not maintenance free and its insulation value is not high. Its use should not be encouraged

### 3.5 Roofing

Asphalt shingle is the preferred roofing in the St. Mary's district. Respect the original roof configuration, roofing materials and any architectural details such as dormers.

New roof features, i.e. skylights, vent stacks, chimneys, dormer windows should be located away from view of the front of the building or the public right-of-way.

**Inspection and Maintenance:** Assess the roof condition annually. Inspect for broken, loose or missing shingles, corroded, broken or loose fasteners or seams; and, the condition of the ridge flashing. Examine the substructure and the roof sheathing in the attic space for signs of structural stress, moisture and proper ventilation to prevent moisture, condensation and water penetration and insect infestation. Remove moss and remedy wet conditions if possible.

Rainwater gutters should be regularly cleaned to prevent backup and ice dams. Inspect all flashing for signs of fatigue and erosion and for corrosion failure due to atmospheric or galvanic action. Flashings around the chimney and dormers are often vulnerable to deterioration. Remove affected metal and replace in kind. When a sealant has failed due to expansion, age or improper application, clean all surfaces and replace the sealants as directed. A leaking roof should be protected until it can be repaired.

**Repairs and Replacement:** Repairs should be made before considering entire roof replacement. All repairs, even small patch repairs, should be carried out in a conscientious manner and match the original material. Substitute materials that do not convey the visual

appearance of the surviving parts of the roof or that are physically or chemically incompatible with the original roofing are not recommended. Bituminous patches should not be used since they are a temporary remedy and cannot be removed without replacing the roofing material below.

The selection of a modern or alternative roofing material should respect the colour, dimensions and texture as well as take into consideration the visual impact of the original roof on the streetscape. Asphalt shingle roofing should be replaced with basic colours such as red, green or black.

Place new vents or other new roof elements such as skylights in discreet locations, making sure that they are properly flashed and sealed.

**Restoration:** Colour, texture and dimensional qualities should respect the original roofing material. Buy the best quality shingles available, free from defects.

**Chimneys:** Chimneys are masonry roof features, which should be examined for stability and soundness annually. This includes making sure the flue liner is operating effectively and that the chimney cap is secure. The chimney flashing often fails in this area and may cause roofing material decay. Masonry chimneys should be repaired with the same method and approach discussed in section 3.4. Decorative chimney pots or covers should be maintained through repair or replacement in style, profile and dimension where possible. Chimneys must not

be simplified in rebuilding if original work or later extant work includes special detailing.

Unused chimneys should be capped with a metal cover and maintained. Often they provide a balance for the structure upon which they sit and complement an existing chimney. When rebuilding a former chimney that has been removed, consult older photographic images of the area before designing an appropriate chimney.

### 3.6 Windows and Entrances

Windows and entrances are important character-defining features. Both windows and entrances often exhibit a form of simple craftsmanship. Window elements include: frames, sash, muntins, glazing sills, heads, hood mouldings, jambs and mouldings, exterior shutters, etc. Entrance elements include: doors, rain roofs, small porches with steps, etc. The residences in St. Mary's Heritage Conservation District exhibit a variety of window and entrance treatments.

**Inspection and Maintenance:** The inspection and assessment of these features for deterioration are important. Windows should be made weathertight. The overall condition of the window and entrance elements should be regularly evaluated to determine whether repair is necessary. Maintain operable windows in working order. Repair any broken glass and repair any deteriorated or missing glazing putty.

Entrances often exhibit well executed, good craftsmanship. The retention of these entrances is desirable and worthy of restoration through proper conservation techniques.

### 3.7 Exterior Paint

**Inspection and Maintenance:** Painting is the most common form of maintenance and decoration work completed by property owners. The renewal of painted exterior surfaces on an eight to fifteen year period is a generally accepted practice, contingent upon local environmental conditions.

**Repairs:** Paint renewal should be considered only after a thorough inspection of the surface. Look for signs of mechanical wear, cracking, scaling, peeling, blistering, loss of gloss, soiling, chalking or mildew. Prepare surfaces properly when repainting. Realize that new paints will bond poorly to old paints if sanding, scraping and the use of a good primer coat do not prepare the surfaces. Since paint adheres poorly to burnt wood, it is not advisable to use a blow torch for removal. Always take precautions when removing toxic lead based paints.

Choose a colour scheme that is sympathetic to the structure and its design elements as well as the neighbourhood. Original paint colours may be exposed when removing old paint from historic buildings making it possible to match these earlier colours. Attention should

**Repairs and Replacement:** Retention and proper repair of original window frames, sash, glass and door panelling are highly recommended. Badly decayed areas in an otherwise sound window or door should be repaired using compatible filler materials or appropriate joinery detailing. Retain existing glazing where possible and save door and window hardware during repairs. Never enlarge window or door openings or make them smaller since this has a negative effect on the heritage character of the building. The one exception is when an original size of the door or window opening is being restored.

Replacement wooden windows or doors should be completed in kind. Aluminum, coated metal or vinyl units are not recommended as replacements. A replacement window or door should match the original in style, shape, placement and be based on the use of historic photographs when available to meet the above criteria. Inappropriate doors and detailing should not be used. Double glazed wood window replacements may be considered for rear or side facades that are not visible to public view or to replace synthetic windows.

**Restoration:** When restoring a building to its original appearance, new replacement sash should maintain the muntin profile and dimensions of the original window. Try to make double hung windows work properly. Storm windows and doors are also heritage features and should be used when appropriate.

be paid to how door and window trim will be treated. Generally, the colour schemes employed in the district were simple. White, green and dark brown were often used for wartime housing with dark green as a common colour for trim.

#### **Restoration:**

When restoring period colour schemes make matches with dry samples. Remember not to confuse a prime coat with finish colours.

### **3.8 Energy Conservation**

Most energy conservation measures for buildings have been developed for new construction. This poses a problem for the owners of older residential buildings since older heritage structures can be adversely affected by some of the measures or products used in the search for a better, more energy efficient structure. A booklet published by the Ontario Ministry of Culture and Communications, *Heritage Energy Conservation Guidelines*, provides useful information on how to respect an older building's architectural merits while upgrading the energy of efficiency and comfort of the structure.

Good energy conservation principles can be practiced in older buildings successfully when an appropriate approach is taken. First, the owner of a heritage building must accept their building will never be as energy efficient

as a new structure. Second, it is important to understand the inherent energy conservation measures built into our older buildings and make use of them where they exist. Third, consider energy conservation measures, which have less impact on the heritage features yet, raise the comfort level, i.e. air sealing, weatherstripping and caulking, attic and basement insulation and proper heating plant operation.

One building element often considered for improved energy conservation efficiency is the window. Original wood windows should not be replaced with double glazed metal or metal clad wood windows. The payback period is often lengthy and cheap metal windows seldom contain the proper thermal breaks. Making older windows function properly through repair, such as proper repainting, frame and trim caulking, weatherstripping and proper painting is considered preferable to replacement. The same considerations apply to original wooden doors and entrances. When replacing windows and doors choose good quality wood products. Try to avoid vinyl-clad windows as replacement units.

The issue of installing double glazed wood windows is often raised as an option when major window repairs are required. Double glazed windows have a different visual reflective value and tend to appear blank in daylight conditions. The muntins in double glazed, multi-pane windows are also always thicker. Modern high quality

St. Mary's Heritage Conservation District:  
Guidelines for conservation and change

single glazed units are well sealed and can be made twice  
as effective with the use of the original storm windows.

### 3.9 Case Studies

#### 3.9.1 RESIDENCE (FRAME, ONE-A-HALF STORIES)

1. Replace roofing with similar style asphalt shingles.
2. Original siding should be inspected for cracking or loose fasteners. Split clapboard siding should be replaced with the same wood material in the same profile and dimension. Keeping the material painted and sealed will add to more maintenance free years of service. Proper cleaning and preparation of surfaces are key to the success of paint adhering to wood surfaces.
3. Decorative woodwork around door and window frames or fascia boards should be inspected for deterioration. Replacement woodwork should be of the same profile and dimension. Missing wood elements may require some study of similar properties. Woodwork should be primed and painted to seal the surfaces.
4. Check for deterioration periodically to prevent deterioration of wood elements.  
Enclosing or the removal of an existing porch is not recommended.
5. Windows are major design elements. The care of existing original windows will require patience and skill. Original glass often has imperfections that add character to the glass. From time to time the reputting of the window is recommended when cracks or missing sections are evident. Wooden storm windows provide good insulation value and should be considered in lieu of windows made

from synthetic or metal materials. New wood windows are another option if double glazing is required. Keep the foundation and perimeter plantings away from the face of the buildings and elements such as porches to limit excess moisture from harming architectural features. Make sure rainwater leaders are directed away from the base of the buildings. The chimney cap on this building was typical for veteran housing built in Southern Ontario and is a defining architectural feature. Efforts to retain these features are worthwhile.

8.2 - 37



St. Mary's Heritage Conservation District:  
Guidelines for conservation and change

**3.9.2 RESIDENCE (CONCRETE BLOCK)**

1. Downspouts from the roof eavestroughs should be directed away from the base of the building to protect the foundation from potential settlement.

2. Original windows are important character defining architectural features. Original multiplane glass often has imperfections that add character to the glass. From time to time, the reputing of the windows is recommended when cracks or missing sections are evident. Wooden storm windows provide good insulation value and should be considered. New wood windows are another option if double glazing is required.

3. There are a number of concrete block buildings in the district. Concrete block is considered a durable exterior masonry cladding. Repoint the mortar joints where water penetration is a problem. Fix any water problem first before repointing. The repointing should match the original joint profile, texture and mortar mixture if possible. Small cracks can be repaired with a fine surface coating to prevent water penetration. Deep cracks should be cut out and filled with new mortar.

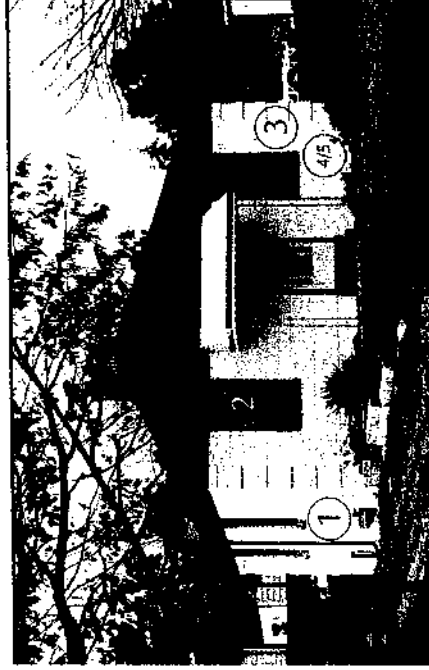
4. Replacing concrete block units that are not a standard size may prove difficult. Preservation of existing units is important.

5. Cleaning concrete block depends on the condition of the material and finish of the material. Soiling

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August 2001

should be removed by the gentlest methods such as low pressure water cleaning combined with a mild non-ionic detergent in warm weather. Abrasive sandblasting or high pressure water or chemical cleaning are not recommended





### 3.9.3 RESIDENCE (BRICK)

1. Replace roofing with similar style asphalt shingles. Where dormers exist make sure the flashing is secure.
2. The small profile chimney on this building was typical for veteran housing built in Southern Ontario. Efforts to retain these features are worthwhile.
3. Original windows are important character defining architectural features. Original multiplane glass windows add character to a residence. From time to time, the reputting of the windows is recommended when cracks or missing sections are evident. Wooden storm windows provide good insulation value and should be considered. New wood windows are another option if double-glazing is required.
4. Replacing brick units that are not a standard size may prove difficult. The preservation of existing units is important. To prolong the life of brick masonry make sure the mortar joints are in good repair. Missing or deteriorated mortar joints should be repaired with mortar of a similar strength. It should match in colour, profile and aggregate mix.
5. Cleaning brick masonry depends on the condition and degree of soiling. Soiling should be removed by the gentlest methods such as low pressure water cleaning combined with a mild non-ionic

detergent in warm weather. Abrasive sandblasting or high pressure water or chemical cleaning are not recommended

6. Downspouts from the roof eavestroughs should be directed away from the base of the building to protect the foundation from potential settlement.
7. Keep the foundation and perimeter plantings away from the face of the buildings and elements such as porches to limit excess moisture from harming architectural features.



## 4.0 LANDSCAPE CONSERVATION GUIDELINES

### 4.1 Introduction

The *St. Mary's Heritage Conservation District* has a very distinctive landscape character, rich in vegetation and open space. This character complements the small and simple housing forms of the proposed Heritage Conservation District, creating a distinctive, comfortable and inviting residential neighbourhood.

Several character defining and significant landscape features and amenities exist within the proposed Heritage Conservation District and have been described more fully in the *St. Mary's Heritage Assessment Report*. These include:

- Parks and open space
- Street trees
- Framed view lines
- Grass boulevards and sidewalks

The responsibility for the important landscape features within the proposed Heritage Conservation District, is shared between the public realm and the private property owner.

The following conservation guidelines are intended to guide decision making by public and private property owners. The guidelines are based on an understanding of

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the importance of **maintaining and enhancing** the significant existing landscape features within the *St. Mary's Heritage Conservation District*.

### 4.2 Summary of Existing Conditions

The *St. Mary's Neighbourhood Heritage Conservation District* is a very homogenous residential area with few, if any, land uses other than residential. Within its boundaries is a considerable amount of open space in the form of parkland, traffic islands, central boulevards, wide grass boulevards and a remarkably diverse variety of mature and full canopied street trees. Refer to the *Landscape Analysis, Appendix 1 of the Heritage Assessment Report* for a complete profile of the landscape features within the proposed Conservation District. Coniferous and deciduous specimen trees, hedges, shrub and perennial borders and lawns can be found primarily in the front yards. In some instances, residential landscaping efforts have extended to the boulevards where street trees are encircled by decorative borders, perennials and/or colourful annual plant materials.

#### **4.2.1 Landscape Structures**

Front yards in the proposed Conservation District are open to the street, most having no fence or hedge between the sidewalk or street and the lawn of the private residential front yard. Fences are more commonly used to delineate side and rear-yards. These fences are primarily chain link or decorative painted wood fences. A variety of fence designs can be found, from very open to solid, high privacy fences. In some cases, hedges are used or in combination with a fence.

In some areas, changes in grade between front yards and the sidewalk necessitate low retaining walls. These walls are approximately 45cm to 60cm (eighteen inches to two feet in height) at properties located on Norfolk Crescent as well as on the southern ends of Pleasant Avenue and St. Clair Avenue. These retaining walls can be found to be made of various types of timber ties, mortared brick and precast concrete units.

#### **4.2.2 Boulevards**

A boulevard is the space between the edge of the roadway and the sidewalk. Boulevards within the proposed Heritage Conservation District are consistently grassed, appearing to be in a healthy condition (although in some locations dry) at the time of inventory.

In the eastern portion of the neighbourhood, sidewalks occur on at least one side of each street if not both. Some streets, such as St. Clair Avenue, have concrete curbing, while Spadina, Glen Road (East) and others have only an asphalt gutter. The western portion of the study area, Binscarth, Glen Road (West) and Perth Road are consistently without curbs. Minor asphalt patching of the gutter has been completed throughout the study area, and the asphalt surface of Perth Road was noted to be particularly in poor condition.

#### **4.2.3 Sidewalks**

Concrete sidewalks exist throughout the proposed Conservation District and range in width from one to one and a half metres wide. For the most part the concrete sidewalks are in a reasonable and useable condition. Several residents reported regular spring flooding of sidewalks and gutters. All streets have a minimum of one side possessing a sidewalk and most streets in the Heritage Conservation District have sidewalks on both sides.

#### **4.2.4 Building Setbacks**

The setbacks of the houses vary, ranging from as shallow as five metres to as deep as twelve metres (sixteen to forty feet). The setbacks tend to be fairly consistent by block, throughout the Heritage Conservation District.

#### 4.2.5 Utilities

The most visible utility in the study area is the overhead power lines. Most are strung between wooden poles set in the boulevards, some requiring guying. Many mature trees show signs of harsh pruning to avoid conflicts with the power lines. In some areas, these overhead wires cross the streets multiple times.

#### 4.2.6 Parking

Driveways are generally single car width. Many are shared between two residences and become wider as they pass beyond the property line. Typical materials are concrete, asphalt or natural coloured aggregate. Most driveways will accommodate 2 cars, parked one behind the other and many terminate in a detached single garage. Some homes have been modified to include a open car port to house one of the cars parked in the driveway.

Daytime street parking is utilized throughout the district although not heavily, allowing the trees to dominate views along roadways. Street parking regulations vary from street to street and along streets without curbs, vehicles parking along roadsides were noted to frequently encroach on the grassed boulevards.

#### 4.2.7 Roadways

The streets within the proposed Heritage Conservation District are predominantly quiet local streets, receiving light to moderate use. Pleasant Avenue, Glen Road, St. Clair Avenue and Spadina Road appear to receive the most traffic.

The streets appear visually narrow due to the large overhead canopy of the trees, with the exception of the intersection of St. Clair Avenue and Glen Road. This location appears particularly spacious as the traffic island is planted with young trees, which have not grown sufficiently to create the canopied character found elsewhere in the proposed Conservation District.

Concrete curbing is not consistent throughout the proposed Heritage Conservation District. St. Clair Avenue, Glen Road (inconsistently), Norfolk Crescent, Lorne Crescent and Seneca Drive are all curbed, the other streets in the proposed Heritage Conservation District possessing grassed boulevards that gently meet asphalt gutters at the edge of the roadway.

#### 4.2.8 Viewsheds

Views are generally contained by the tree canopies which determine whether the view will be wide (Norfolk Crescent) or narrow (Lorne Crescent). Curves in the roadways often terminate views originating from the end

or midpoint of streets. The views are long along less curvilinear streets (Spadina and Glen Roads) originating at one end of the street and terminating at the opposite end.

### 4.3 Landscape Conservation Guidelines

The following guidelines focus on different areas of responsibility:

- existing built private properties
- public realm responsibilities including streets, parkland, walkways between streets and boulevards

The guidelines are based primarily on the analysis of the character defining features of the existing landscape.

The landscape within the St. Mary's Heritage Conservation District although made up of a variety of components creates a cohesive visual quality that unifies this distinctive area. Ensuring the perpetuity of the unique, forested character of this neighbourhood will be dependent on fostering the fine balance between the repetition and the scale of the homes and trees. It is important that the landscape components described previously be retained and managed in a way that continues to link all component features. It is also equally important that where new landscape elements are to be added to the St. Mary's environment that they should be incorporated in a

manner that enhances and complements the existing landscape character.

#### 4.3.1 Guidelines for private properties

- Property owners are encouraged to retain and preserve existing shrubs, foundation plantings, hedging, ornamental fencing and retaining walls along the sideyards and frontages.
- New trees and shrubs added to front yards should be selected from the species of trees already found in the neighbourhood (except Norway Maple and Manitoba Maple-Acer platanoides and Acer negundo, which are not suitable for replanting):

##### Shrubs

|                    |                                                                        |
|--------------------|------------------------------------------------------------------------|
| Forsythia spp.     | Forsythia                                                              |
| Hydrangea spp.     | white flowering varieties such as 'Annabelle', 'Peegee' and 'Snowhill' |
| Spiraea prunifolia | Bridalwreath spirea                                                    |
| Syringa vulgaris   | common lilac                                                           |
| Viburnum spp.      | Viburnum                                                               |
| Ribes alpinum      | Alpine currant                                                         |
| Caragana           | Pea shrub                                                              |

St. Mary's Heritage Conservation District:  
Guidelines for conservation and change

**Trees**

|                                 |                                            |
|---------------------------------|--------------------------------------------|
| Acer saccharum                  | sugar maple                                |
| Acer rubrum                     | Red Maple                                  |
| Acer saccharinum                | Silver maple (including cutleaf varieties) |
| Catalpa speciosa                | Northern Catalpa                           |
| Fraxinus americana              | White Ash                                  |
| Juglans nigra                   | Black Walnut                               |
| Malus spp.                      | Flowering Crabapple                        |
| Picea abies                     | Norway Spruce                              |
| Picea pungens 'Glauca'          | Blue Colorado Spruce                       |
| Prunus virginiana 'Schubert'    | Schubert Chokecherry                       |
| Sorbus aucuparia                | European Mountain Ash                      |
| Syringa reticulata 'Ivory Silk' | Ivory Silk Lilac                           |
| Thuja occidentalis              | White Cedar                                |
| Tilia americana                 | Basswood                                   |
| Tilia cordata                   | Little Leaf Linden                         |
| Ulmus pumila                    | Siberian Elm                               |

- Garages and sideyard parking should be retained and ideally set back from the front line of the houses.
- Where possible, historic photos should be used to guide the re-establishment of landscape features such as fences, gates, and arbours. Appropriate hedge species include yew, cedar, privet, alpine currant, and lilac.
- Driveways should be narrowed at the boulevard and should ideally be separated from the adjacent lot driveway by a green space to reduce the visual impact of the hard surface crossing the boulevard.

#### 4.3.2 Guidelines for public realm initiatives

The municipality is responsible for the public works within the road right of way and for the open space parkland within the *St. Mary's Heritage Conservation Conservation District*. The planting and maintenance of the street trees makes a significant contribution to the heritage landscape character of the proposed Conservation District, particularly in the residential and commercial areas.

The majority of street trees are mature, wide canopy deciduous trees - primarily Silver maple, Red oak, Sugar maple, Horse chestnut, Catalpa, Ash, and Mountain ash. These species have green foliage in the summer with colourful reds, yellows, and golds in the fall season. More

recent additions to the street tree collection include red leaved Crimson King maple, Norway maple and flowering Crab apples. These species even when mature will not duplicate the size or character of the existing streetscape and should not be planted in the boulevard.

Therefore, it is recommended that:

- As street trees mature they should be replanted and where possible the new trees should be large canopied, green foliage deciduous trees. No further planting of Norway 'Crimson King' (or other variety of Norway) maple or flowering crabapples is recommended. Elms would be a good choice for street or central boulevard tree, in keeping with the existing character of the neighbourhood, and some of the newer, Dutch Elm Disease-resistant varieties may prove suitable in future.

The following trees are presently suitable as street trees in the Heritage Conservation District, especially for the wide central boulevard planting locations:

|                                               |                                            |
|-----------------------------------------------|--------------------------------------------|
| Acer saccharinum                              | Silver maple (including cutleaf varieties) |
| Acer saccharum                                | Sugar maple                                |
| Aesculus hippocastanum                        | Horse chestnut                             |
| Carpinus caroliniana                          | Ironwood                                   |
| Catalpa speciosa                              | Northern Catalpa                           |
| Fraxinus americana                            | White Ash                                  |
| Fraxinus pennsylvanica                        | Green ash                                  |
| Ginkgo biloba                                 | Ginkgo (male only)                         |
| Gleditsia triacanthos var. inermis            | Honey locust                               |
| Gleditsia triacanthos var. inermis 'Sunburst' | Sunburst honey locust                      |
| Juglans nigra                                 | Black Walnut                               |
| Prunus virginiana 'Schubert'                  | Schubert Chokecherry                       |
| Sorbus aucuparia                              | European Mountain Ash                      |

## Trees

- Existing trees should be monitored on a regular basis to ensure that they remain healthy. Pruning of dieback, fertilization and pesticide treatments should be undertaken as required to preserve the existing trees.
- Undertakings such as road widenings and installation of new underground services or overhead utilities should be assessed prior to the start of construction to determine if they will negatively affect the existing street trees.
- Changes to driveway entrances and parking areas on private property should be carefully planned to ensure that compaction of the street tree root system does not occur. Generally, an area around the base of the trees equal in diameter to the crown of the tree should remain undisturbed to protect the long term health and survival of the tree.
- New sidewalks should be constructed to match the width of the existing walks.
- Boulevard parking, excessive curb cuts and paving of public boulevards by adjacent private property owners should be avoided in order to retain and preserve the grassed boulevards.



## LANDSCAPE CONSERVATION GUIDELINES



The existing full canopied trees and the wide grass boulevards should be preserved to maintain the framed view along the street.



New large canopy street trees should be added where missing.

## LANDSCAPE CONSERVATION GUIDELINES



The passive parkland should be maintained with its mix of open turf areas and specimen shade trees.



The open space and parkland is a significant part of the neighbourhood. These areas should be retained to continue to provide a neighbourhood level of active recreation facilities.

## LANDSCAPE CONSERVATION GUIDELINES



The wide landscaped medians and island are a unique feature which should be retained and missing trees should be replanted with species similar to the existing trees.



Large canopy, green leafed trees characterize the vegetation found on the landscaped medians and boulevards.

## LANDSCAPE CONSERVATION GUIDELINES



New trees should be selected from the list of species traditionally found in the District.



The variety of trees in the District includes deciduous and coniferous trees on both private and public property. Continuation of this diversity is encouraged.

## LANDSCAPE CONSERVATION GUIDELINES



The width and curvilinear alignment of the street system should be retained.



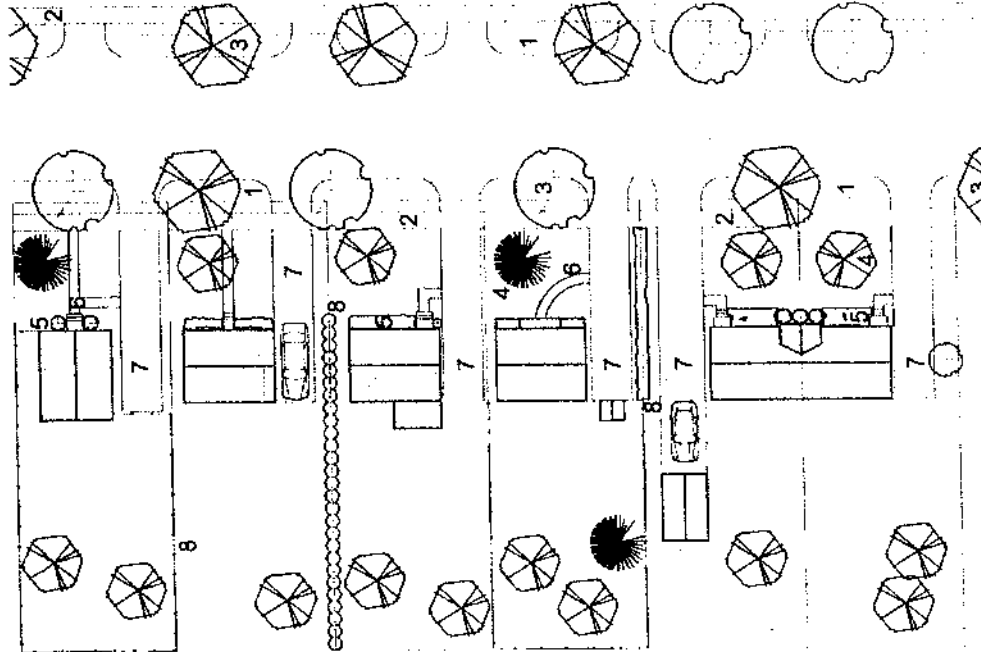
The grass boulevard, large canopy street trees and wooden hydro poles should be retained throughout the district and restored if impacted by upgrading of infrastructure.

## LANDSCAPE CONSERVATION GUIDELINES

### Illustrated suggested components of private residential landscape conservation

#### KEY:

- 1 Grass boulevard
- 2 Concrete sidewalk
- 3 Municipal street tree (see suggested list, Part 4)
- 4 Small tree/large shrub in front yard (see suggested list, Part 4)
- 5 Simple shrub/perennial foundation planting
- 6 Front entrance walkway, usually concrete
- 7 Single lane driveway
- 8 Hedge or fence to delineate shared property lines



## PART 5: PLANNING AND IMPLEMENTATION

### 5.2 Provincial Policy Statement provisions

One of the purposes of the *Planning Act* is: "to integrate matters of provincial interest in provincial and municipal planning decisions". [Subsection 1.1(c)]. Section 2(d) of the *Planning Act* provides an explicit and direct concern with:

"the conservation of features of significant architectural, cultural, historical, archaeological or scientific interest;"

This provides the context not only for discrete planning of activities detailed in the Act but also for the foundation of policy statements issued under section 3 of the Act. A Provincial Policy Statement approved on May 22, 1996 and revised in February 1997 indicates in Part IV. *Implementation/Interpretation* that:

1. The Provincial Policy Statement came into effect on the date of proclamation of Bill 20, and applies to all applications submitted after that date. Planning authorities "shall have regard to" the policy statement in making decisions on all applications submitted on or after the proclamation date, and to all applications which were commenced on or after March 28, 1995 and in respect of which no decision had been made on the date of proclamation...

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### 5.1 Background

The successful maintenance and protection of a designated heritage conservation district relies in part on ensuring that local planning policies and initiatives support or provide a suitable framework for realistic conservation measures anticipated in the implementation of a heritage conservation district. Many "heritage issues" are usually planning issues that often have profound impacts on valued heritage features.

The Official Plan and Zoning By-law are generally supportive of, or complementary to, the protection and conservation of the overall character of the district and its heritage attributes. Accordingly no major changes are recommended.

In order to refine and direct the conservation and development of the *St. Mary's Heritage Conservation District* a number of matters are identified which require minor changes or modifications to existing zoning provisions and planning policies. These are addressed in the following sections. Additionally this section also makes a number of recommendations about future options for initiating complementary measures for protecting the character of the *St. Mary's Heritage Conservation District*.

Archaeological Services Inc.  
Built Heritage, Cultural Landscape and Planning Section

2. These policies are to be applied in dealing with planning matters. Official Plans will integrate all applicable provincial policies and apply appropriate land use designations and policies. Since the policies focus on end results, the official plan is the most important vehicle for the implementation of the Policy Statement.

Those policies of particular relevance for the conservation of heritage features are contained in Section 2, Resources, wherein subsection 2.5, *Cultural Heritage and Archaeological Resources*, makes the following provisions:

#### 5.2.1 Significant built heritage resources and cultural heritage landscapes will be conserved.

A number of definitions that have specific meanings for use in a policy context accompany the policy statement. These definitions include "Built heritage resources", and "cultural heritage landscapes".

"Built heritage resources": means one or more buildings, structures, monuments, installations or remains associated with architectural, cultural, social, political, economic, or military history, and identified as being important to a community.

"Cultural heritage landscape": means a defined geographical area of heritage significance which has been

modified by human activities. Such an area is valued by a community, and is of significance to the understanding of the history of a people or place.

In addition, "Significant" is defined and is assigned a specific meaning according to the subject matter or policy context in which it is used, such as wetlands or ecologically important areas. Cultural heritage landscapes and built heritage resources are considered an "other matter", and the following definition of "significant" applies: *in regard to other matters, important in terms of amount, content, representation or effect.*

Accordingly, all planning actions, initiatives and decisions must now be consistent with the conservation of heritage features, regardless of whether an area is designated as a district or not. Clearly the designation of a heritage conservation district and the adoption of policies, guidelines and other measures is a proactive initiative. It constitutes a consistent, sensitive and coherent means of corporate municipal management of valued heritage features. The *St. Mary's Heritage Conservation District* has a variety of historical associations, architectural attributes and landscape qualities. This area warrants formal recognition as a significant **cultural heritage landscape**, regardless of provisions under the *Ontario Heritage Act*. (See summary description in Section 1.2).

Accordingly the following recommendation is made:



### **Recommendation 1**

It is recommended that the City of Kitchener formally recognize the *St. Mary's Heritage Conservation District*, specifically the proposed heritage conservation district as a significant cultural heritage landscape for planning purposes within the municipality.

### **5.3 Land use**

Zoning Maps 89 and 90 zone the heritage conservation district into two residential zones: Residential Four Zone (R-4) and Residential Five Zone (R-5). The R-5 zone is more permissive than R-4 allowing lodging houses and multiple dwellings.

To consistently safeguard the character of the *St. Mary's Heritage Conservation District* it may be beneficial to zone the entire *St. Mary's Heritage Conservation District* as Residential Four Zone (R-4). Accordingly, the following recommendation is made:

### **Recommendation 2**

It is recommended that the City of Kitchener consider amending the zoning of *St. Mary's Heritage Conservation District* to reflect its existing built heritage and residential character as Residential Four Zone (R-4).

### **5.4 Height**

It has been noted in the Heritage Assessment Report that the majority of dwellings in the *St. Mary's Heritage Conservation District* are predominantly one to one-and-a-half storeys in height. Accordingly, the overall character of *St. Mary's Heritage Conservation District* is one of low profile development.

In all zones, the maximum permitted building height is 10.5 meters (approximately 34 feet or three stories in building height). This appears excessive in relation to the existing character of development. The permitted building height in the zoning provisions has the potential to create tall buildings, such as the construction of a flat-roofed, three-storey building, that would be out of keeping with many of the smaller dwellings.

### **Recommendation 3**

It is recommended that in order to assist in the implementation of the City's Official Plan policies and in the application of the *St. Mary's Heritage Conservation District* heritage guidelines that consideration be given by Heritage Kitchener, City Planning staff and City Council to amending provisions of the Zoning By-law within the *St. Mary's Heritage Conservation District* to permit a maximum building height of 8.0 meters (approximately 2 stories in building height) in all zones. This should be

complemented by allowing variances to side yard and rear yard set backs to permit development.

## 5.5 Protecting trees

The St. Mary's Heritage Conservation District is graced by a number of trees in a variety of configurations on private and public property. Many contribute to the scenic and visual interest of the area with tree-lined sidewalks, pathways and front yards. District designation under Part V of the *Ontario Heritage Act* does not extend protection to these important landscape features. Provisions in the *Municipal Act*, however, do provide for the conservation and protection of trees within the road right-of-way. Section 312(4) of the Act states that:

The council of every municipality may pass by-laws...  
(c) for preserving trees;  
(d) for prohibiting the injuring or destroying of trees;

Section 223.2(1) of the *Municipal Act* also provides that the council of a municipality, having a population exceeding 10,000 may pass by-laws for: (a) prohibiting or regulating the injuring of trees or any class of trees specified in the by-law in any defined area or on any class of land; (b) requiring that a permit be obtained for the injuring or destruction of trees specified in the by-law and prescribing fees for the permit; and (c) prescribing circumstances under which a permit be issued.

The City of Kitchener has a by-law pursuant to the *Municipal Act* that authorizes the regulation and planting of trees, as well as their preservation and protection on the public road right-of-way. Given the importance of these features in the landscape of the St. Mary's Heritage Conservation District, continued protection should be extended to these important natural features.

The municipality, or any person, utility company or public authority contemplating actions that would affect street trees, namely tree removal, pruning and tree planting, should not only comply with the by-law but also consider the policies of the St. Mary's Heritage Conservation District guidelines

## Recommendation 4

It is recommended that Heritage Kitchener may wish to advise the City on the appropriateness of adopting a comprehensive tree by-law for *all* lands within the St. Mary's Heritage Conservation District.

## 5.6 Implementation measures

Aside from the preparation and adoption of a heritage conservation district guidelines and heritage planning initiatives, successful implementation of district conservation also relies on a variety of complementary initiatives. Key amongst these are the enthusiasm and

cooperation of individual property owners in protecting and maintaining the heritage building stock of the district.

The availability of limited funding through grants or loans may also provide additional incentives and impetus to sensitive and respectful conservation. The guidelines contained in previous sections are also important in acquainting owners with some of the issues inherent in conservation practice as well as providing advice on how best to protect the special character of the area.

The following describes those actions and procedures that will also assist in implementing the district guidelines over the coming years. It should be noted that situations or occasions may occur where it may be prudent to review the effectiveness of a particular procedure or requirement. Appropriate action should be taken to address these issues as they arise and amend procedures accordingly.

### 5.6.1 Permit approvals

Under section 42 of the Ontario Heritage Act a permit is required for the erection, demolition, removal or external alteration of a building or structure within the designated district. Only Council is authorized to make decisions respecting such permits.

The Act defines the term "alter" as meaning: "to change in any manner and includes to restore, renovate, repair or disturb and "alteration" has a corresponding meaning."

While permits for a new building or structure are clear, the requirement for a permit for an alteration to an existing building is less clear. For the purposes of these guidelines, alterations or changes for which Section 42 permits are required are those alterations that would materially or substantially affect the character or external appearance of a building, most notably on *those facades or sides of buildings that are prominent from the road, street or other public view.*

***Items of routine maintenance do not require  
a permit.***

A guide to those physical alterations, additions and conservation work that generally require a permit are described in the previous guidelines on alteration and additions and in Table 1.

Applications for alterations are required under the *Ontario Heritage Act* to be submitted to municipal council and considered within ninety days of submission. Council may approve; approve with conditions; or deny the requested permit. Appeals to the Ontario Municipal Board by an applicant may be registered within thirty days.

Demolition of a property cannot be refused by municipal council but may be delayed for up to 270 days and until the applicant has obtained a building permit to erect a new building.

The following describes the City's heritage district permit application process:

- Inquiry to the Heritage Planner to confirm whether the proposed work requires a heritage district permit.

- If the proposed work requires a permit, the owner shall complete a Designated Heritage Property Alteration/Demolition Application Form and submit it to the Heritage Planner.
- Heritage Kitchener considers the application. The owner is encouraged to attend the meeting.
- Owner is informed of the Heritage Kitchener recommendations.
- City Council considers the Heritage Kitchener recommendations.
- Owner may appeal the Council decision to the Ontario Municipal Board.

The Heritage Planner for the City of Kitchener is available to assist applicants so that the application may be processed as quickly and as efficiently as possible. A copy of the Designated Heritage Property Alteration/Demolition Application Form is located at the end of these guidelines.

In order to provide for an expeditious review of changes within the district, property owners should consult with Heritage Kitchener and City staff informally and at the earliest opportunity. Guidance on sympathetic alterations and favourable conservation initiatives will be found in the guidelines provided in these district guidelines. Some alterations and additions will require a building permit under the *Building Code Act*. Building permits will be

processed through the Building Department but circulated for comments and approval by Heritage Planning staff.

All district permits affecting the external appearance of a building required within the conservation district will be processed through the City Planning Department. (No fee will be charged.) The city has an established permit application process and no changes are recommended.

#### ***5.6.2 Planning and development applications***

In some instances building or district permits within or adjacent to the district may be preceded by applications for a planning approval pursuant to the *Planning Act*, e.g., severances, minor variances, etc. These may have the potential to affect the character of the district. It is important that appropriate heritage planning input be gained at the earliest opportunity, prior to any approvals that may compromise consideration of a district permit, later in the process.

#### ***Recommendation 5***

It is recommended that where any application or proposal for one of the following is located within, partially within or adjacent to the designated district:

- a variance or a consent;
- zoning amendment;
- road widening;

- any public works and improvements by a municipal authority or local utility.

that the municipal heritage planner and Heritage Kitchener will be consulted and provide advice on the appropriateness of the application given the intent of the municipal Official Plan, Zoning by-law and specifically the *St. Mary's Heritage Conservation District Guidelines*.

#### ***5.6.3 Monitoring the Guidelines***

The District Guidelines are not static. They will be monitored by the Heritage Kitchener and staff to ensure that the stated objectives are being achieved. If the heritage district experiences extensive loss of historic features under the provision of the conservation guidelines, the guidelines may be amended by by-law only after consultation with and amendment circulation to affected property owners. Minor administrative and housekeeping changes to the Guidelines may be implemented by resolution of City Council.

#### ***5.7 Traffic management***

One of the issues raised by several residents at public meetings was the concern about excessive traffic volumes and the perceived high rate of speed through the neighbourhood. It is beyond the scope of these

guidelines to examine and propose detailed traffic management schemes for the heritage conservation district, particularly as they may affect traffic patterns beyond the boundaries of the district. Observations can be made with respect to traffic calming measures that the community wish to pursue in the future as part of a broader initiative.

Traffic calming is the way in which traffic can be slowed through residential areas. Calming may be achieved either by traditional traffic management schemes or by the placement of physical features or objects into the paved road right-of-way.

Traditional traffic management calming schemes involve the posting of reduced speeds or other signage provisions. For effective management these often require regular policing measures to ensure enforcement.

The placement of physical features, (such as ramps and speed bumps) into the roadway is an alternative to signage or active policing measures and is designed to achieve speed reduction by slowing traffic with object or barrier placement. Ramps, for instance, placed across the road provide not only for prominent pedestrian crossing but also act as substantial speed bumps thus slowing vehicles. Sidewalks may also be extended laterally into the right-of-way to provide narrowing of the pavement or restricted "gateways" into a neighbourhood. Restrictive

narrowing is claimed to slow traffic by altering the perception of actual speed. Many of these physical obstructions, however, are perceived either as nuisances by local users of the streets or cumbersome features that impede snow removal and ploughing in winter months. As well, many of the traditional traffic calming devices may affect the historic streetscape and their design and placement must be carefully considered within the heritage conservation district.

The thrust of these guidelines is aimed at managing change of the heritage building stock and valued elements of the public realm landscape. Any traffic calming measures or new traffic management scheme must be planned within the larger context of travel patterns in the community and must be considered more a component of traditional neighbourhood or local planning that heritage planning.

#### **Recommendation 6**

It is recommended that the City of Kitchener and Heritage Kitchener initiate further detailed study of traffic calming measures within the St. Mary's heritage conservation district and surrounding area.

August 2001

TABLE 1: TYPES OF EXTERIOR ADDITIONS AND ALTERATIONS PERMITTED OR REQUIRING A MUNICIPAL PERMIT

| EXTERIOR ALTERATIONS AND ADDITIONS                                                                                        | PERMITTED IN<br>HERITAGE DISTRICT | BUILDING PERMIT<br>REQUIRED | HERITAGE DISTRICT<br>PERMIT REQUIRED |
|---------------------------------------------------------------------------------------------------------------------------|-----------------------------------|-----------------------------|--------------------------------------|
| Interior alterations                                                                                                      | Yes                               | Yes if structural           | No                                   |
| Continuing maintenance or small repairs that do not significantly affect external appearance such as soffit replacement   | Yes                               | No                          | No                                   |
| Installing storm windows and doors<br>weather stripping or concealed insulation<br>eaves trough or down spout replacement | Yes                               | No                          | No                                   |
| Painting except for exterior masonry such as previously unpainted stone or brick.                                         | Yes                               | No                          | No                                   |
| Painting of doors, windows, trim or architectural detailing                                                               | Yes                               | No                          | No                                   |
| Painting of painted stucco or wood siding                                                                                 | Yes                               | No                          | No                                   |
| Installation of number and name signage on residences                                                                     | Yes                               | No                          | No                                   |
| Installation of porch lighting or other security lighting                                                                 | Yes                               | No                          | No                                   |
| Installation of eavestroughs                                                                                              | Yes                               | No                          | No                                   |
| Installation of downspouts                                                                                                | Yes                               | No                          | No                                   |

\* With respect to any alteration that does not require a heritage permit but may result in a noticeable change the applicant/owner should consult the technical and design advice in the district guidelines as well as consult with City staff and Heritage Kitchener.

TABLE 1 (CONTINUED)  
EXT. OR ALTERATIONS AND ADDITIONS

|                                                                                                                                                                                       | MITTED IN<br>HERITAGE DISTRICT | BUILDING PERMIT<br>REQUIRED | HERITAGE DISTRICT<br>PERMIT REQUIRED |
|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------|-----------------------------|--------------------------------------|
| Installation of storm windows or doors                                                                                                                                                | Yes                            | No                          | No                                   |
| Installation of replacement windows or doors in existing openings                                                                                                                     | Yes                            | No                          | No                                   |
| Installation of seasonal, temporary canopies and awnings of canvas material                                                                                                           | Yes                            | No                          | No                                   |
| Installation of replacement stairs or steps                                                                                                                                           | Yes                            | Yes                         | No                                   |
| Installation of decks at rear of buildings not on corner lots<br>Building Permit required if over 2' high and roofed                                                                  | Yes                            | No<br>Yes                   | No                                   |
| Other similar minor alterations or changes that do not require a building permit                                                                                                      | Yes                            | No                          | No                                   |
| Installation of satellite dishes                                                                                                                                                      | Yes                            | No                          | No*                                  |
| Installation of fixed canopies and awnings of canvas aluminum and like material<br>*No Building Permit required if wall support only<br>*Building Permit required if Column supported | Yes                            | *                           | No*                                  |
| Installation of synthetic siding on existing structures without aluminum siding                                                                                                       | Yes                            | No                          | No                                   |
| Application of stucco on existing non-stuccoed structures                                                                                                                             | Yes                            | No                          | No*                                  |
| Application of any masonry veneers to existing structures                                                                                                                             | Yes                            | Yes                         | No*                                  |

\* With respect to any alteration that does not require a heritage permit but may result in a noticeable change the applicant/owner should consult the technical and design advice in the district guidelines as well as consult with City staff and Heritage Kitchener



TABLE 1 (CONTINUED)  
EXTERIOR ALTERATIONS AND ADDITIONS

|                                                                               | PERMITTED IN<br>HERITAGE DISTRICT | BUILDING PERMIT<br>REQUIRED | HERITAGE DISTRICT<br>PERMIT REQUIRED |
|-------------------------------------------------------------------------------|-----------------------------------|-----------------------------|--------------------------------------|
| Removal of chimneys                                                           | Yes *                             | No                          | No                                   |
| Painting any previously unpainted masonry structure (brick or<br>or concrete) | Yes                               | No                          | No*                                  |
| Construct a new, principal building                                           | See Section 2.4                   | Yes                         | Yes                                  |
| Construction of a garage or a carport                                         | Yes                               | Yes                         | Yes                                  |
| Construct an addition to an existing heritage building                        | Yes                               | Yes                         | Yes                                  |
| Relocate a building                                                           | See Guidelines                    | Yes                         | Yes                                  |
| Demolition of entire buildings and structures                                 | See Section 2.3                   | Yes                         | Yes                                  |

\* With respect to any alteration that does not require a heritage permit but may result in a noticeable change the applicant/owner should consult the technical and design advice in the district guidelines as well as consult with City staff and Heritage Kitchener.

TABLE 1 (CONTINUED)  
EXTERIOR ALTERATIONS AND ADDITIONS

|                                                                                                                                                                                                          | PERMITTED IN<br>HERITAGE DISTRICT | BUILDING PERMIT<br>REQUIRED | HERITAGE DISTRICT<br>PERMIT REQUIRED |
|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------|-----------------------------|--------------------------------------|
| Make alterations to an existing building which significantly affects the external appearance of a building such as changing existing roofing material, installing large canopies or other large features | See Guidelines                    | Yes if structural           | Yes                                  |
| Demolishing portions of an existing building that significantly affects the external appearance of a building such as removing porches or substantial chimneys                                           | "                                 | Yes if structural           | Yes                                  |
| Installation of new doors cut into existing walls                                                                                                                                                        | "                                 | Yes if structural           | Yes                                  |
| Installation of new windows cut into existing walls                                                                                                                                                      | "                                 | Yes if structural           | Yes                                  |
| Installation of new dormers                                                                                                                                                                              | "                                 | Yes if structural           | Yes                                  |
| Construction of storage sheds                                                                                                                                                                            | "                                 | Yes if over 108sq. ft       | Yes                                  |

\* With respect to any alteration that does not require a heritage permit but may result in a noticeable change the applicant/owner should consult the technical and design advice in the district guidelines as well as consult with City staff and Heritage Kitchenier.

## St. Mary's Heritage Conservation District Study

### **Glossary of Terms**

|                 |                                                                                        |
|-----------------|----------------------------------------------------------------------------------------|
| balustrade-     | a low parapet, a row of balusters with rail used on a terrace or balcony.              |
| bay-            | a subdivision of a facade                                                              |
| battered joint- | a joint that recedes from the bottom to the top or mortar placed on end of brick.      |
| cladding-       | the finish covering of an exterior wall of a frame building.                           |
| dormer-         | a small roof and wall projection in a sloping roof to accommodate a window.            |
| efflorescence-  | an encrustation of soluble salts, commonly white, deposited on the surface of masonry. |
| flush joint-    | any joint finished flush to the surface.                                               |
| gable-          | the enclosing lines of a sloping roof.                                                 |
| glazing-        | the glass surface of a window opening.                                                 |
| head-           | top of a window.                                                                       |
| hipped roof-    | roof sloped on all four sides.                                                         |

Wendy Shearer Landscape Architect Limited

August 2001

|                       |                                                                                                        |
|-----------------------|--------------------------------------------------------------------------------------------------------|
| hood molding-         | the projecting molding or arch over a door or window whether inside or outside.                        |
| infill-               | construction of new building within an already built up neighbourhood.                                 |
| jamb-                 | a vertical member at either side of a doorframe, window frame or door lining.                          |
| label-                | a projecting molding by the sides and over the top of an opening.                                      |
| molding-              | a decorative band or strip of material used in cornices and as a trim around window and door openings. |
| muntin-               | small slender bars holding panes in a window or door.                                                  |
| parapet-              | low wall along the edge of a roof.                                                                     |
| parging-              | in masonry construction a coat of cement mortar on rough masonry or basement walls.                    |
| pilaster-             | vertical, rectangular member projecting slightly from a wall.                                          |
| quoin-                | a projecting corner stone at the angle of a building, often a decorative masonry unit.                 |
| regular struck joint- | a horizontal masonry joint in which the mortar is sloped inward and downward from the upper edge.      |
| repoint-              | the removal of existing mortar from joints and replacement with new mortar.                            |
| ribbon joint-         | a horizontal masonry joint with a small ribbon like appearance.                                        |

- rodded joint- a horizontal masonry joint produced by taking a small rod and striking the surface to produce a concave joint.
- sash- any framework of a window; may be moveable or fixed.
- semi-recessed joint- a horizontal masonry joint where the mortar is pressed back 6 mm from the face of the wall.
- setback- required distance established by a zoning by-law from property line to face of building foundation.
- sill- the bottom horizontal framing member connecting the wall studs to the foundation.
- spalling- the flaking of brickwork due to frost, chemical action or movement of the building structure.
- thumbbed joint- a narrow concave horizontal mortar joint.
- tucked joint- a mortar joint which is cleaned out and then filled with fine mortar projecting out slightly.
- vestibule- small entry room or interior space at entrance to building.

**CITY OF KITCHENER**  
**Designated Heritage Property**  
**Alteration/Demolition Application**

**Nature of Application**

Exterior ☐ Interior ☐ Demolition ☐

New Construction ☐ Alteration ☐ Relocation ☐

**Subject Property**

Municipal Address: \_\_\_\_\_

Legal Description: Plan \_\_\_\_\_ Lot \_\_\_\_\_ Assessment Roll No. \_\_\_\_\_

Building Type: Residential ☐ Commercial ☐ Industrial ☐

Institutional ☐ Other \_\_\_\_\_

**Owner**

Name: \_\_\_\_\_

Address: \_\_\_\_\_

Telephone: (Home) \_\_\_\_\_ (Work) \_\_\_\_\_

**Agent (if applicable)**

Name: \_\_\_\_\_ Telephone: \_\_\_\_\_

Address: \_\_\_\_\_

**Builder(s)/Contractor(s)**

1. Name: \_\_\_\_\_ Telephone: \_\_\_\_\_

Address: \_\_\_\_\_

2. Name: \_\_\_\_\_ Telephone: \_\_\_\_\_

Address: \_\_\_\_\_

## **Proposal Outline**

8.2 - 69

Please provide a written description of the project proposal including any conservation methods you plan to use (i.e. cleaning of brick). Provide such detail as materials to be used, measurements, paint colours, decorative details, whether any original building fabric is to be removed or replaced, etc. Use additional pages as required. Scale drawings showing the full scope of work, including specifications and the elevation(s) to which the work is being done, may be required. Enclose additional drawings, photos and/or other material necessary for a complete understanding of the proposed work. Please include any available historic photographs, which will be returned.

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Expected Start Date: \_\_\_\_\_ Expected Completion Date: \_\_\_\_\_  
(Day/Month/Year) (Day/Month/Year)

Have you made a Building Permit Application for this work? ☐

## **Declaration**

The undersigned acknowledges that all of the statements contained in documents filed in support of this application shall be deemed part of this application for all purposes.

The undersigned acknowledges that Council of the City of Kitchener shall determine whether the information submitted in this application is sufficient.

The undersigned agrees that the proposed work shall be done in accordance with this application and understands that the approval of this application under the Ontario Heritage Act shall not be a waiver of any of the provisions of any by-law of the City of Kitchener or the requirements of the Building Code Act.

The undersigned acknowledges that in the event this application is approved, any departure from the conditions imposed by the Council of the City of Kitchener or from the plans or specifications approved by the Council of the City of Kitchener is prohibited and could result in a fine being imposed as provided for under the Ontario Heritage Act.

I, the undersigned, (PRINT) \_\_\_\_\_, declare that the statements contained in this application are true.

Owner's Signature: \_\_\_\_\_ Date: \_\_\_\_\_

## **Appeal Process**

Where City Council consents to this application upon certain terms and conditions or refuses this application or for Part V designated properties fails to make a decision within 90 days of receipt of this application, the owner may, within 30 days after receipt of the notice of the Council's decision, appeal the decision of Council to 1) the Conservation Review Board, for properties designated under Part IV of the Ontario Heritage Act; or 2) the Ontario Municipal Board, for properties designated under Part V of the Ontario Heritage Act.

Note that the appeal process described above does not apply when an application requesting demolition or removal of a designated property is refused by Council. Where an application to demolish or remove a building or structure designated under either Part IV or Part V of the Ontario Heritage Act is refused by Council, or where Council fails to make a decision within 90 days after receipt of the application or within such extended time as may be agreed upon, following the expiry of a period of 180 day from the date of refusal by Council to issue a permit, from the expiry of the 90 day application period, or the expiry of the extended period agreed upon, the applicant may proceed to demolish or remove the building or structure subject to any other applicable Act, by-law or regulation.

|                                                                             |
|-----------------------------------------------------------------------------|
| Heritage Kitchener Meeting Date(s): _____<br>Decision/Notes: _____<br>_____ |
|-----------------------------------------------------------------------------|