
Meadowvale Heritage Conservation District Advisory Sub-Committee

Date

June 7, 2016

Time

1:30 p.m.

Location

Meadowvale Village Hall, 6970 Second Line West, Mississauga

Members

Jim Holmes, Citizen Member
Brian Carmody, Citizen Member
Janet Clewes, Citizen Member
Gord MacKinnon, Citizen Member
John McAskin, Citizen Member
David Moir, Citizen Member
Colleen Newmarch, Citizen Member
Terry Wilson, Citizen Member
Greg Young, Citizen Member
David Dodaro, HAC Representative
Paul McGuigan, HAC Representative

Contact

Mumtaz Alikhan, Legislative Coordinator, Legislative Services
905-615-3200 ext. 5425/ Fax 905-615-4181 / Email mumtaz.alikhan@mississauga.ca

NOTE: To support corporate waste reduction efforts large appendices in agenda will not be printed. The appendices can be viewed at:
<http://www.mississauga.ca/portal/cityhall/heritageadvisory.ca>.

Find it online

<http://www.mississauga.ca/portal/cityhall/heritageadvisory>

CALL TO ORDER

APPROVAL OF AGENDA

DECLARATIONS OF CONFLICT OF INTEREST

APPROVAL OF PREVIOUS MINUTES

Approval of Minutes of January 5, 2016 Meeting

DEPUTATIONS - Nil

MATTERS TO BE CONSIDERED

1. Request to Alter 7004 Second Line West
Memorandum dated May 27, 2016 from Paula Wubbenhorst, Senior Heritage Coordinator, Culture Division. (*Note: Appendix 1 available online*)

Recommendation

That the request to alter the property at 7004 Second Line West be approved with the following conditions:

- No simulated dividers be employed on the windows
- The proposed replacement door be simplified
- Any repairs made to the original siding match the original material and dimensions

2. Request to Alter 7005 Pond Street
Memorandum dated May 24, 2016 from Paula Wubbenhorst, Senior Heritage Coordinator, Culture Division.

Recommendation

That the request to alter the property at 7005 Pond Street be approved with the following condition:

- No simulated dividers be employed on the windows

3. Request to Alter 1011 Old Derry Road

Recommendation

That the request to alter the property at 1011 Old Derry Road, as described below, be denied.

OTHER BUSINESS

DATE OF NEXT MEETING

Tuesday, August 9, 2016 at 1:30 p.m., Meadowvale Village Hall, 6970 Second Line West, if required.

ADJOURNMENT

Meadowvale Heritage Conservation District Advisory Sub-Committee

Date

January 5, 2016

Time

1:30 p.m.

Location

Meadowvale Village Hall, 6970 Second Line West, Mississauga

Members

Jim Holmes, Citizen Member
Brian Carmody, Citizen Member
Gord MacKinnon, Citizen Member
John McAskin, Citizen Member
David Moir, Citizen Member
Colleen Newmarch, Citizen Member
Terry Wilson, Citizen Member
Greg Young, Citizen Member

In Attendance

George Carlson, Councillor Ward 11 – *ex-officio*

Members Absent

Janet Clewes, Citizen Member
David Dodaro, HAC Representative
Paul McGuigan, HAC Representative

Staff Present

Paula Wubbenhorst, Senior Heritage Coordinator, Culture Division
Cecilia Nin Hernandez, Heritage Coordinator, Culture Division
Mumtaz Alikhan, Legislative Coordinator, Legislative Services Division

Find it online

<http://www.mississauga.ca/portal/cityhall/heritageadvisory>

CALL TO ORDER – 1:30pm

Mumtaz Alikhan, Legislative Coordinator, Office of the City Clerk, called the meeting to order.

1. Appointment of Chair

Ms. Alikhan called for nominations for the position of Chair of the Meadowvale Heritage Conservation District Advisory Sub-Committee (Sub-Committee) for the period ending November 2018.

T. Wilson nominated Jim Holmes for the role of Chair, seconded by Brian Carmody.

RECOMMENDATION

0001/2016

That Jim Holmes be appointed Chair of the Meadowvale Heritage Conservation District Advisory Sub-Committee for the period ending November 2018, or until a successor is appointed.

Approved (T. Wilson)

2. Appointment of Vice-Chair

Ms. Alikhan called for nominations for the position of Vice-Chair of the Meadowvale Heritage Conservation District Advisory Sub-Committee (Sub-Committee) for the period ending November 2018.

B. Carmody nominated T. Wilson for the role of Vice-Chair of the Sub-Committee, seconded by Colleen Newmarch.

RECOMMENDATION

0002/2016

That Terry Wilson be appointed Vice Chair of the Meadowvale Heritage Conservation District Advisory Sub-Committee for the period ending November 2018, or until a successor is appointed.

Approved (B. Carmody)

APPROVAL OF AGENDA

Approved (C. Newmarch)

DECLARATIONS OF CONFLICT OF INTEREST - Nil

APPROVAL OF PREVIOUS MINUTES - Nil

DEPUTATIONS - Nil

MATTERS TO BE CONSIDERED

1. Approval of Terms of Reference

RECOMMENDATION

0003/2016

That the Meadowvale Heritage Conservation District Advisory Sub-Committee Terms of Reference be approved as presented.

Approved (G. Young)

2. Revised Request to Alter 1059 Old Derry Road

Memorandum dated December 16, 2015 from Paula Wubbenhorst, Senior Heritage Coordinator, Culture Division.

Ms. Wubbenhorst, Senior Heritage Coordinator, and Mr. Lew D'Souza, Owner, reviewed the revised request to alter the property located at 1059 Old Derry Road. It was noted that there would be a partial demolition but the exterior elevations will be identical to those presented to the Heritage Advisory Committee in 2015.

RECOMMENDATION

0004/2016

That the Revised Request to Alter 1059 Old Derry Road, as presented in the Memorandum dated December 16, 2015 from Paula Wubbenhorst, Senior Heritage Coordinator, Culture Division, be approved.

Approved (G. MacKinnon)

OTHER BUSINESS

1. 7025 Pond St. - Revised Garage Construction and Relocation

R. Mateljan, Strickland Mateljan Design Associates, reviewed the need for the relocation of the garage on the property located at 7025 Pond Street. The Sub-Committee did not object to the proposed relocation.

RECOMMENDATION

0005/2016

That the Meadowvale Village Heritage Conservation District Advisory Sub-Committee had no objection to the proposed garage relocation at 7025 Pond Street and that this matter be referred to staff for review and be reported directly to the Heritage Advisory Committee.

Approved (C. Newmarch)

DATE OF NEXT MEETING - Tuesday, January 26, 2016 at 1:30 a.m., Meadowvale Village Hall, 6970 Second Line West if required.

ADJOURNMENT – 2:05 p.m.

City of Mississauga

Memorandum



To: Chair and Members of the Meadowvale Village Heritage Conservation District Subcommittee

From: Paula Wubbenhorst, Senior Heritage Coordinator

Date: May 27, 2016

Subject: Request to Alter 7004 Second Line West

Meeting Date: June 7, 2016

Recommendation:

That the request to alter the property at 7004 Second Line West be approved with the following conditions:

- No simulated dividers be employed on the windows
- The proposed replacement door be simplified
- Any repairs made to the original siding match the original material and dimensions

Memorandum Highlights:

- The owner of the subject property has applied to add a substantial addition to the existing one and a half storey dwelling
- The proposal complies with the 2003 Meadowvale Village Heritage Conservation District Guidelines, to which it is subject
- As such, the proposal should be approved with some minor conditions

Background:

The subject property is designated under the *Ontario Heritage Act* as it forms part of the Meadowvale Village Heritage Conservation District (HCD). This 19th century structure is one of the original plank-on-plank constructions found within the village. The owner began the site plan application process in 2013 (SP 13/122) for a two storey addition to the existing one and a half storey dwelling. The corresponding heritage permit application is now complete. The drawings are included in the Heritage Impact Study (HIS), by Strickland Mateljan Design + Architecture, attached as Appendix 1. Site plan drawings and an additional streetscape drawing are attached as appendices 2 and 3 respectively.

The former Meadowvale Village Heritage Conservation District Review Committee reviewed preliminary plans in 2013. The Committee recommended “approval in principle” with final approval “to be determined after review of the site plan working drawings, which should indicate all exterior materials and window sizes.” Some minor changes have ensued since that time.

Because the owner submitted the site plan application before the 2014 Meadowvale Village Heritage Conservation District Plan took effect, the proposal is being evaluated against the 2003 Meadowvale Village Heritage Conservation District Guidelines.

Comments:

The proposal is a two storey addition at the northwest of the existing dwelling. While two storeys in height, the dip in the natural topography would make it appear lower. A more recent addition to the existing board on board dwelling would be removed. The proposed addition would be largely clad in rough-cast stucco with some elements clad in new

horizontal siding. The siding on the existing dwelling would remain but the newer non-sympathetic windows and casings would be replaced with new units detailed to look more appropriate for the age of the building.

The 2003 Meadowvale Village HCD guidelines for alterations and additions are listed below, with the staff evaluation alongside.

Guideline	Evaluation
1. Preserve and use existing buildings	The original board and board one and a half storey dwelling would be retained. Windows and casings would be replaced, as would the front door. None appear to be original. As per the guidelines, "replacement elements should be similar to examples used historically in the village."
2. Buildings should not be moved to accommodate new additions or uses	The existing dwelling is not proposed for relocation.
3. Alterations should not make the structure appear to be older than it is	Any alterations to the existing dwelling are proposed to be appropriate for the time period of the existing dwelling.
4. Additions should take into account and respect the form, use, and setting of the original structure	Although large, the addition is proposed to the rear of the existing dwelling, taking advantage of the dip in the topography. The form and use - residential - are complementary.
5. Locate additions so that no alteration is made to the front facade	As above, the addition is proposed at the rear. Alterations to the front façade are limited to new windows in the existing openings.
6. Maintain the original roof shape and orientation	The roof would be asphalt, as permitted in the guidelines. The shape and orientation would not change.
7. Dormers may be added to increase headroom	N/A
8. Skylights and solar panels should not face street	N/A
9. Maintain original front porches and verandas	N/A. An elevated flagstone landing is proposed to replace the deteriorated front stoop, which the City considers an encroachment.
10. Maintain primary entrance in original location	No additional doors are proposed for the front façade. The proposed replacement door should be further simplified to be more consistent with the period of the existing dwelling.
11. Side and rear doors should be simple and unornamented	The doors proposed for the north and west elevations of the addition are simple and appear secondary from the primary entrance on the original dwelling.
12. Maintain original window pattern and proportions	The window proportions would be altered to restore the proportions typical of the age of the dwelling.
13. Repair and retain original windows	No original windows exist. The windows would be replaced with double hung windows. Simulated divided lites are proposed. As per the guidelines, "simulated dividers [...] should not be used."

14. Maintain original exterior cladding.	The existing siding will remain. Every effort should be made to retain and conserve original wood construction. As per the guidelines, "repairs to wood siding should match the original dimensions and orientation."
15. Centralized heating and cooling units, such as heat pumps, should not be visible from the street.	No such units are shown in the drawings.
16. Garages must be detached structures and should be located to the side or rear of the house	No garage is proposed. Note: There is an existing outbuilding of heritage value on the property. No alterations are proposed for this building.
17. Minimize the impact of on-site parking.	The parking pad is minimal and located to the side.
18. Walks and driveways should be constructed so they do not damage tree roots.	Permeable paving is proposed for the driveway. Walks are not shown.
19. Retain mature trees.	It appears that the trees are mostly at the site's perimeter; i.e. the proposal would have little impact.
20. Fences demarking property lines should be retained.	The fence is not original, in poor condition and encroaches on City property. As such, it will be removed.

The proposal meets the 2003 design guidelines. However, three conditions are proposed that are consistent with both the 2003 guidelines and the 2014 plan. They are as follows:

- No simulated dividers be employed on the windows
- The proposed replacement door be simplified
- Any repairs made to the original siding match the original material and dimensions

Conclusion:

The City is in receipt of an application for an addition to the subject heritage designated property. The proposal meets the applicable guidelines, as long as the conditions outlined in this memorandum are carried out. As such, conditional approval should be granted.

Appendices:

- Appendix 1: Heritage Impact Study
Appendix 2: Site Plan drawing, including detail
Appendix 3: North streetscape drawing

P. Wubbenhorst
Senior Heritage Coordinator
Culture Division

~~JULY, 2015~~
(revised March, 2016)
(revised May, 2016)

HERITAGE IMPACT STUDY
IMPACT OF PROPOSED RENOVATION
7004 SECOND LINE W., MISSISSAUGA

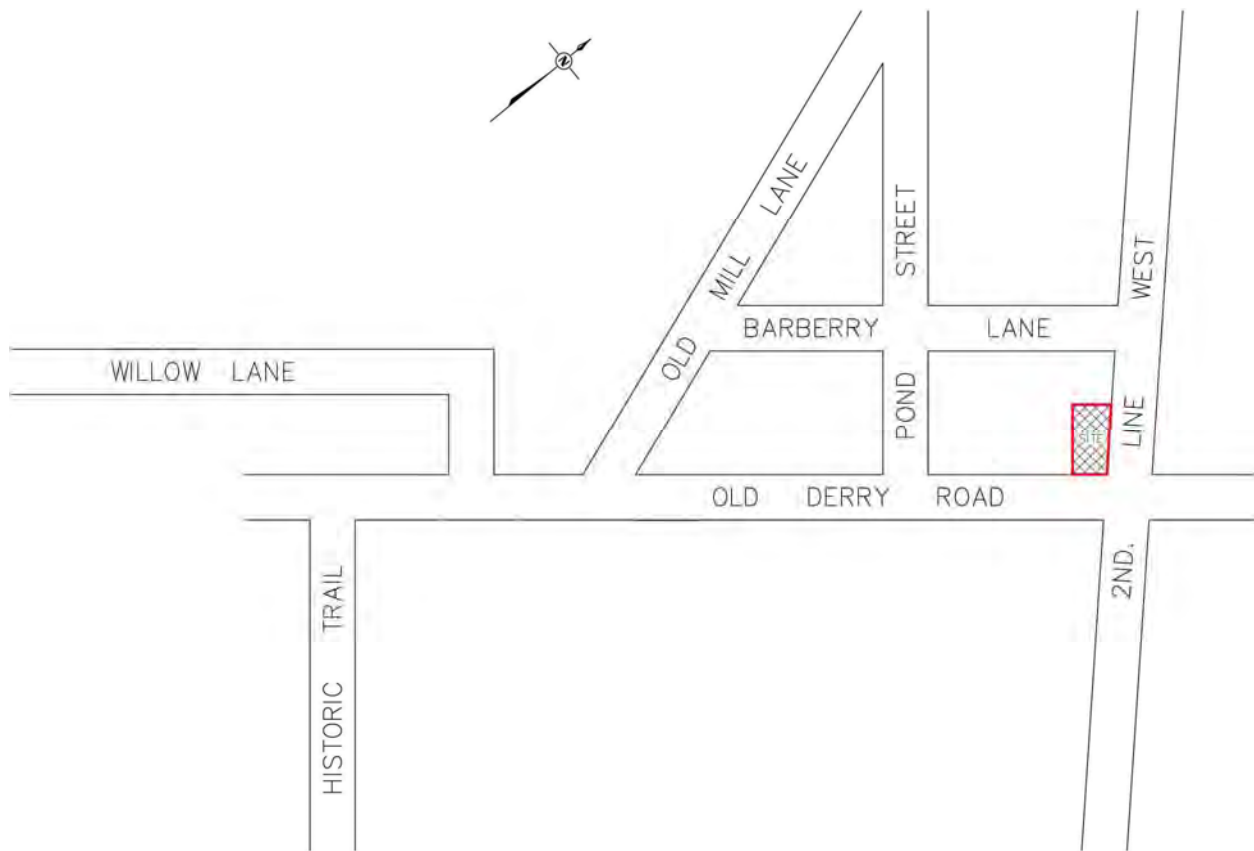


Overview:

This report is prepared to address the proposed re-development of the property at 7004 Second Line W., Mississauga, ON.

Rick Mateljan of Strickland Mateljan Design Associates Ltd. was engaged by the property owner to design a sympathetic addition to this presently un-inhabited property and to complete a Heritage Impact Study to assess the impact of this intervention.

Key map:



Meadowvale Village - Overview:

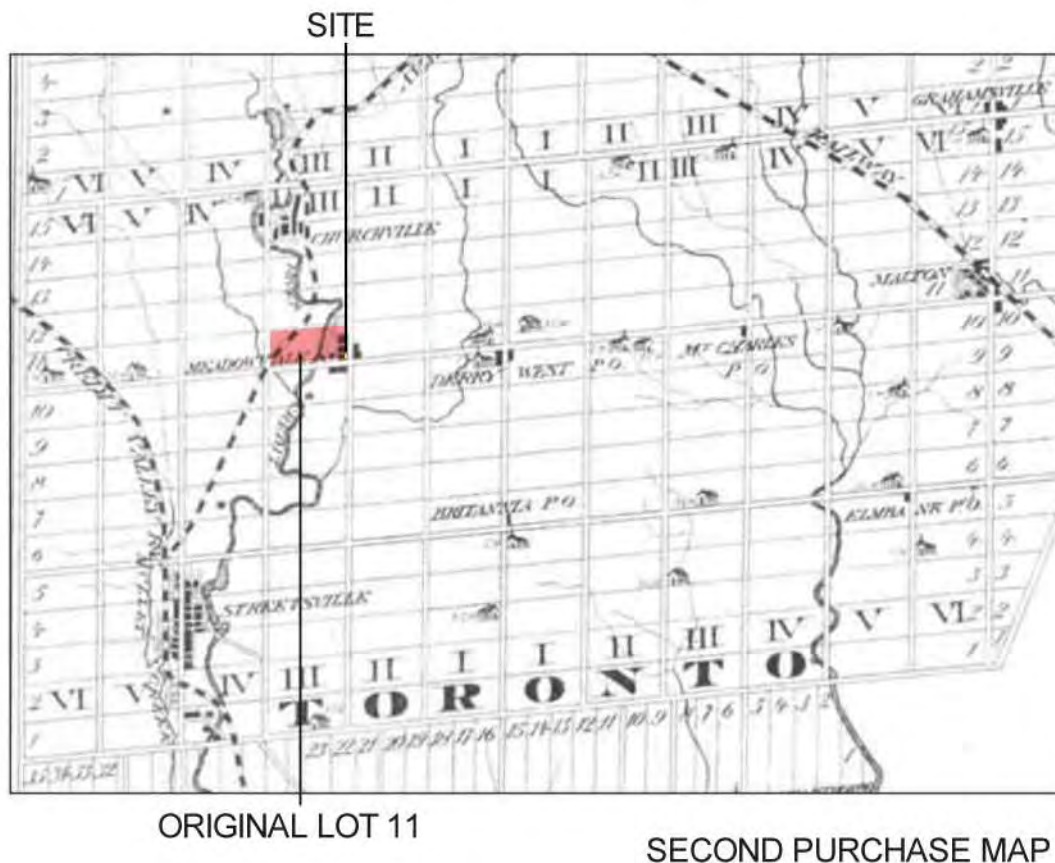
Meadowvale Village was first settled in 1819 when 26 United Empire Loyalist families emigrated from New York State and took advantage of government land grants in this area. The land was at that time covered by pine forest but the settlers quickly understood the agricultural promise of the land and the community prospered. By the 1850's there were several mills, two hotels, a wagon shop, foundry and a school.¹

¹ A Heritage Tour – Meadowvale Village (Heritage Mississauga)(pamphlet)

The village retained its character and many of its original buildings through the 20th century. In 1980, in the face of a proposal to widen Derry Rd. West, demolish some original buildings and irreparably change the character of the community, local residents succeeded in having this designated Ontario's first Heritage Conservation District.

Site History:

7004 Second Line W. is part of the original Lot 11, Concession 3, west of Hurontario Street that was created by the Second Purchase of Land from the Mississauga First Nation in 1818 and surveyed by Timothy Street and Richard Bristol. Lot 11 is a 200 acre parcel that is bounded by modern day Second Line West and Creditview Rd. (previously Third Line West) to the east and west, and Old Derry Rd. to the south. The northern boundary is no longer recognizable but it is approximately half-way between Old Derry Rd. and Highway 407.





The history of Meadowvale Village begins with an original group of 26 families that settled this area under the leadership of United Empire Loyalist John Beatty. Beatty, born in Ireland but living in New York City, in 1817 petitioned the Lieutenant-Governor of Upper Canada for a grant of land for himself and his community. His efforts were successful and in 1818 5,000 acres in Toronto Township were set aside “for the reception of about 150 families . . . in the rear of Toronto Township”².

Beatty’s group left New York by caravan on May 1, 1819. They reached Toronto (then York) on May 28th and stayed for a while until their land grants were approved and then they headed west to what was known at the time as Toronto Township. Beatty’s grant was all of Lots 11 and 12, Concession 3, West of Hurontario Street. This comprised about 400 acres and consisted of the area now bounded by Old Derry Rd., Second Line West, Creditview Rd. and Highway 407.

The law at the time required that within 18 months of taking a claim of land the recipient had to erect a dwelling on the property, clear and fence 5 acres of land and clear the roadway in front of the property. The land was covered with white pine forest and the soil was suitable for agriculture and the early farmers were successful. The situation changed, however, with the arrival in the community in 1845 of Francis Silverthorne. Also of United Empire Loyalist stock, Silverthorne set about to create a lumber and

² Surveyor-General Thomas Rideout to Lieutenant-Governor Peregrine Maitland, quoted in Hicks, Kathleen, Meadowvale: Mills to Millennium, Chapter 3

grist mill operation using power from the Credit River. By 1845 he had the mill in operation. It was known as Meadowvale Mills³.

Silverthorne continued to increase his land holdings locally and built houses for his workers and a store and by 1856 the beginning of a community was sufficiently established that he had surveyor Arthur Bristow draw a plan for a village that he wanted to create. The Bristow Plan of 1856 laid out what is now known as the Village of Meadowvale. The present 7004 Second Line West was Lot 1.



SILVERTHORN'S PLAN OF MEADOWVALE - 1856

³ Hicks, xvii

lowest point about 1.5m below this. There are two buildings located on the site – a single family home and a small, wood-frame barn structure. Both are in poor condition. The subject property has not been inhabited since 2011.

There are some trees located around the perimeter of the site but it is otherwise unremarkable.



Air Photo showing site outlined in red



South-East view of existing building

Architectural Assessment of Existing Building:



North-West view of existing building



Existing Kitchen - Living Room beyond



Existing Basement - note original stone wall at right, later underpinning at left

General:

The existing building is a 1 ½ storey gable roof dwelling approximately 18'6" x 24'6". There is a one-storey rear entry and bathroom element approximately 10' x 12'6" and a large covered porch. There is an older stone foundation that has been underpinned at some point in the past. The underpinning appears to have been successful and the foundation appears to be solid. The basement is dry. There is no apparent foundation below the rear addition. The main house consists of a kitchen and living room at the main floor level and two bedrooms and bathroom at the second floor level. The finishing and overall condition of the building above grade is deteriorated and it is not in habitable condition.

There is some lateral deformation of the west (rear wall) visible from the outside of the building and some sagging of the main roof ridge. These will have to be investigated and remedied during construction.

The original house was constructed of board-on-board construction. This was an archaic method of building virtually unknown in Ontario except in the Meadowvale area wherein walls were created by stacking rough-sawn boards with overlapping joints at the corners and then applying a plaster finish on the interior and stucco finish on the exterior to create a finished wall. Only a small number of these houses remain in Meadowvale and those so constructed are particularly protected under the Conservation District Plan. This likely means that the house was originally stucco clad on the exterior and the present siding was added later.



Stacked plank construction viewed from the inside. Note crossed boards at the inside corner. This wall appears to never have been clad in plaster as was the usual practice

Siding:

The building is clad in horizontal wood siding. The wood siding is mis-matched on different elevations of the building. This is not uncommon on buildings of this vintage, especially those that are vernacular in character. The majority of the siding is horizontal ship-lap with some horizontal clapboard on the west elevation. The ship-lap appears generally in better condition and is probably the newer. Clearly the profiles were selected to appear similar in scale and appearance. The siding is generally in fair condition. It has obviously been painted and re-painted on several occasions and some areas will require repair or local replacement. Generally it is still serviceable, however.



Corner detail showing differential siding materials. Material at left is horizontal clapboard with 4" exposure. Material at right is 8" shiplap with center dado detail to make it appear as 4" widths. Corner boards are all later replacements.



Weathered and deteriorated clapboard siding

Rear Addition and Porches:

There is a rear one-storey enclosed element and a covered porch on the west elevation of the home. The enclosed portion functions as a small entry vestibule and bathroom. It is not original to the home as witnessed by the fact that deteriorated siding material is the wall covering on the east wall of the

vestibule and bathroom (the deterioration would suggest that this was built some time after the main house construction). The wall framing is typical studs as opposed to the stacked plank elsewhere. There is no foundation but a haphazard arrangement of wood posts bearing directly on the earth. It has been unsympathetically altered by the inclusion of an unsympathetic new window and trim arrangement on the south elevation. The appearance of the framing materials and the weathering of the exterior siding exposed on the interior would indicate a probable early 20th century construction, although this cannot be verified. The covered porch is a much later (likely a late 20th century addition) with a translucent plastic roof. There is minimal architectural or heritage value in either of these structures.



South-west oblique view showing rear addition. Note lack of foundation at addition.



West elevation of rear addition and later covered porch. Note deformation of upper roof/rear wall on main building.



South elevation of rear addition showing newer windows, haphazard, poorly detailed trims, deteriorated siding.



North elevation of rear addition. Note later translucent roof above porch



Rear addition under floor framing. House stone foundation is beyond. Note agglomeration of old and new posts, extensive deterioration, lack of insulation, haphazard construction



Interior view from vestibule toward front door. Note newer drywall on north wall of vestibule, older siding material on west wall of vestibule, stacked plank construction visible in living room beyond



Bathroom interior showing older siding material as wall finish. Note patched siding material at upper left

Windows and trims:

The windows are a mix of later wood and vinyl double hung, casement and horizontal sliders. None of the windows are original to the home. Most appear to be late 20th century or newer.

Along with the loss of the original windows there has been a complete loss of the original window trims. The casings appear to have been replaced with a built-up agglomeration of trimwork that varies around the house but generally consists of a flat architrave-type casing built out over the presumed original casing (the original casings may be beneath the new ones but their condition is unknown). Within this built out casing is a second flat casing surrounding the window unit. The built-out casing protrudes

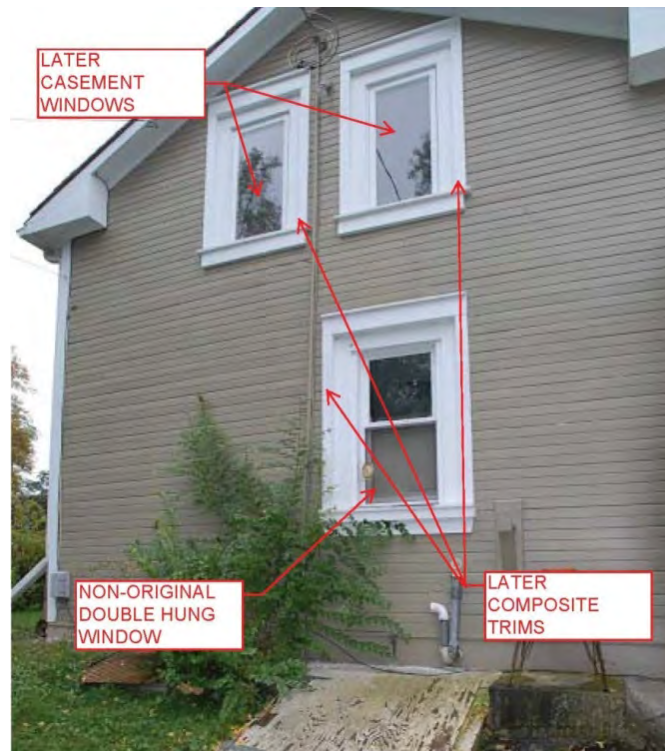
unnaturally from the face of the siding. The depth of the built-out trim varies from less than an inch to as much as 4" at the front door. The purpose of the build-out is unclear – it may cover deteriorated parts of the original trim, it may have been a mechanism to allow newer windows to be installed in openings that they did not fit or it may have been an awkward attempt to embellish the windows. The loss of the original windows and trimwork was a significant loss to the heritage value of the building. The replacement window trims are oversized, of awkward and inappropriate detail and clearly not original to the house. The replacement windows are mis-matched, smaller than the original and often of awkward proportion, lacking in detail and unsympathetic to the building.



Front elevation comparing images from 1980's and present day showing non-original windows and trims



South elevation showing non-original windows and trims



North elevation showing non-original windows and trims

19th century practice on buildings of this type was that trims such as casings and sill were installed on a window prior to the exterior siding being installed. The siding was then cut and fitted to the trims. This allowed for better water penetration detailing and a more appropriate appearance, where the outer surface of the trims protruded just barely beyond the siding. The trimwork was also usually quite simple, with just a single board at the top and sides of the window and a slightly projecting sill at the bottom. The situation here is quite different with the trims boxed out heavily and obviously placed on top of the siding. Placing trims on top of siding is a 20th century practice made commonplace by newer vinyl siding systems, but it is not a correct historic detail.



Typical 19th Century wood sash with simple flat casing, sill and head trim. Note lack of built up or composite elements and wood siding obviously fitted around window (example only - not from this project)



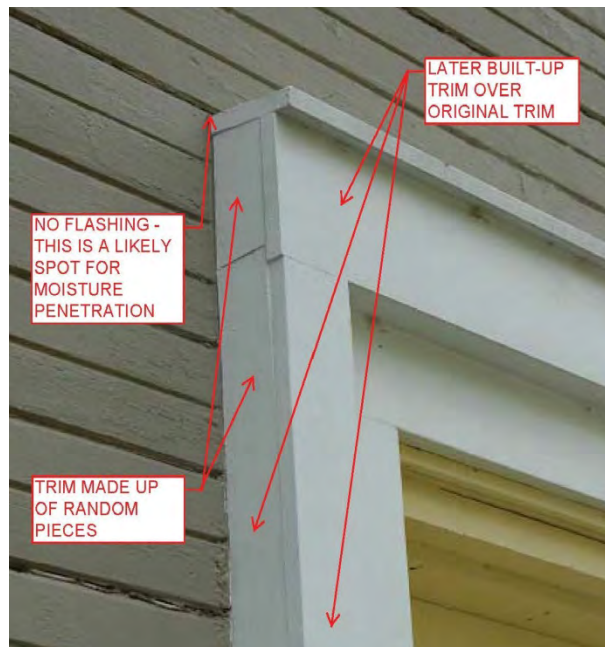
Typical 19th Century flat casing and siding detail showing correct minimal projection of casing beyond siding (example only - not from this project)



Detail of window on south elevation showing built out trims, poor detailing and workmanship



Detail of trims on south elevation showing composite trims, poor detailing and workmanship



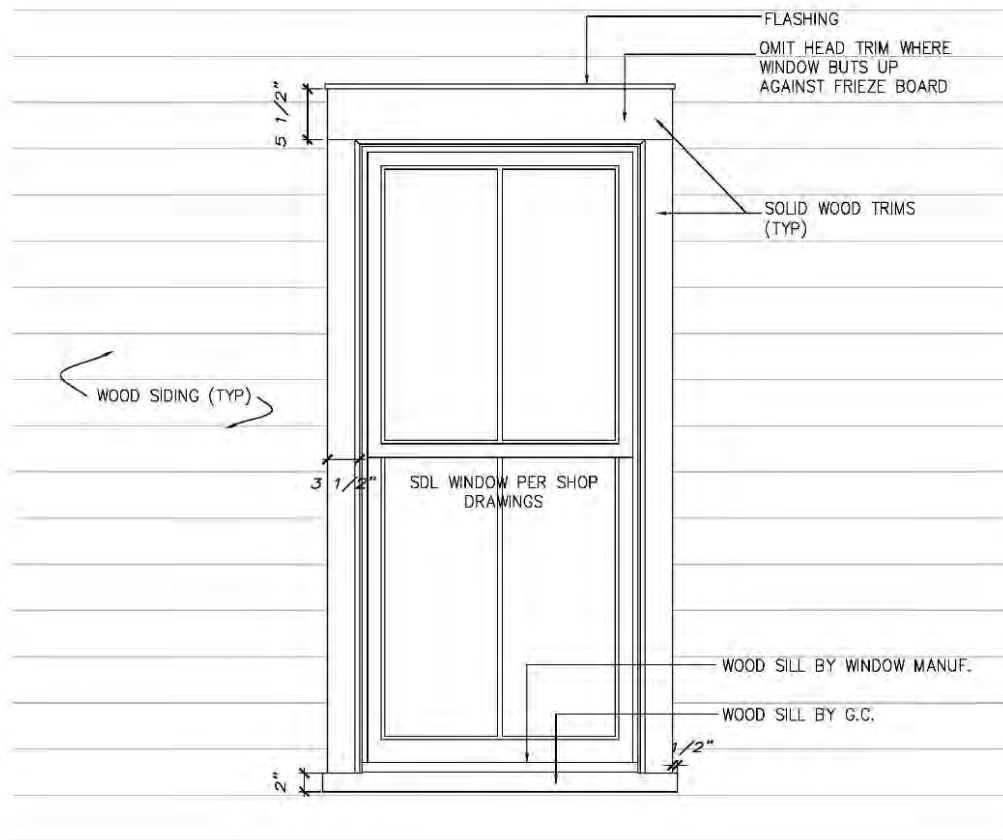
Detail of trims at front door showing composite trims, poor detailing and workmanship. The siding should lap over the trim at the top and be flashed. This is a very bad detail that will encourage moisture penetration into the building.



Detail of window on south elevation showing modern components, built out trims

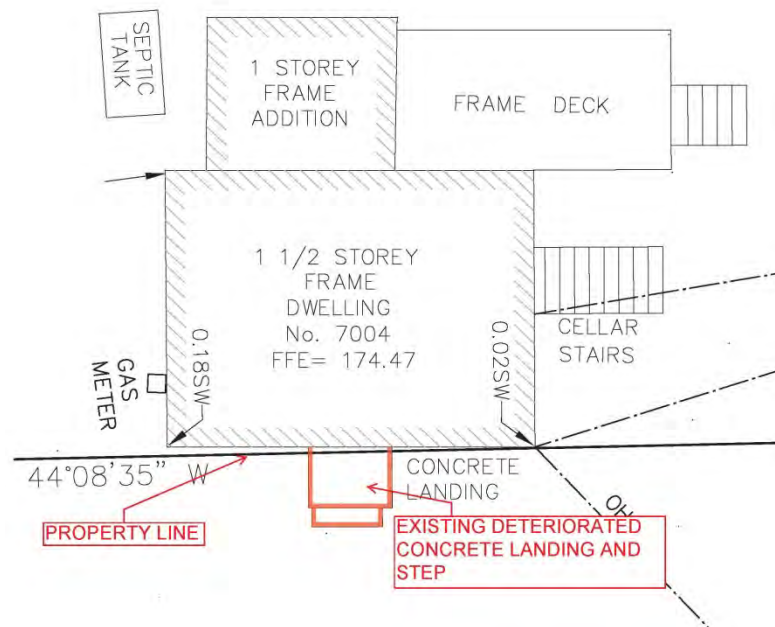
Window recommendation:

All of the windows on the existing building are inappropriate recent replacements and should be removed. The associated trims are also recent, poorly constructed and detailed and do not reflect typical 19th century methods or appearance. Their lack of flashing or proper installation to prevent water penetration is highly problematic. These should also be removed. In their place new double hung windows, either painted wood or vinyl with the appearance of painted wood should be installed. New trims, either painted wood or maintenance-free material painted to look like wood, should be installed as per the following detail.



Detail of proposed windows and trims – will replicate traditional 19th century detailing

Front landing and step:



Detail from existing survey showing encroachment of front landing and step onto City property

The front wall of 7004 Second Line West is located virtually on the Second Line West property line with the result that an existing concrete front landing and step are located entirely on City of Mississauga property. This has not been an issue up until this point but because the renovation of this building is the subject of a Site Plan application, the City has asked that the encroachment be removed, subject to a consideration of its heritage value.



Present condition of encroaching front concrete landing and step

The concrete landing is approx. 4' x 6'. It appears to have been poured in place flat on the ground. There is no foundation. It is quite significantly deteriorated and uneven and would be impossible to repair without being broken up and re-built. The step is similar although may have been poured in a form and then placed on the ground. Poured landings and steps such as this became popular in the mid-20th century. It is definitely not original to the home. The landing and steps are unusual in that the step heights associated with them are very small. From grade to the step and from the step to the landing is about a 5" rise and from the landing to the finished floor level varies from a 2" to 5" rise. Typical rises in these situations would be about 7".

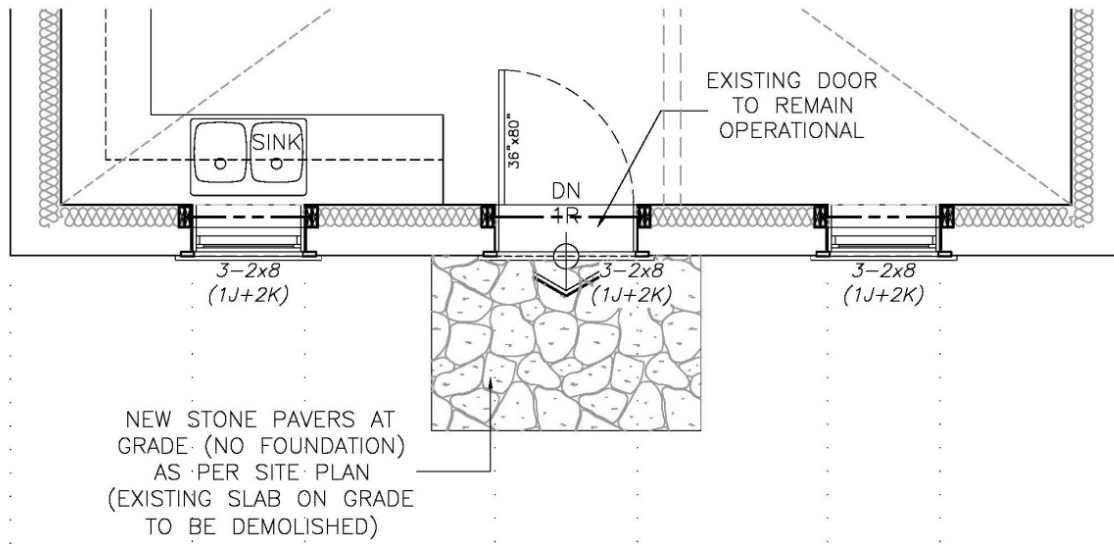


1990 front elevation showing landing with canopy (since demolished)

Available photos from the 1980's and 1990's show the porch in place with a wooden canopy supported by square corner posts. The canopy was an unusual detail with a kind of picket fence appearance to the upper structure. It was almost certainly not original to the home. It was of awkward appearance and proportions and was not a benefit to the appearance of the heritage building. It has since been demolished and no trace of it remains with the exception of the concrete slab and step.

The slab has no heritage value as an artifact but it does have some importance in that it identifies the original front door of the building and as such it is appropriate that some memory of it remain. The present design proposes that the slab be demolished and the existing grade at the front door increased slightly to allow one step from the grade to the front door. The amount of this increase would be very minimal. Presently the grade differential is between 7" and 10". It would have to be levelled out to give a consistent differential of 7". A flagstone landing could then be laid on the ground in approximately the same shape and size as the present concrete landing. The new landing would serve the same purpose as the existing and would preserve the heritage value of the existing by identifying the front door but because it would be flagstones set on the ground and not a permanent structure it would not be

considered an encroachment by the City. This seems a reasonable and appropriate compromise, especially given that the present landing is not original to the home and because of its poor condition would need to be demolished and re-built in any scenario.



Detail from construction drawings showing proposed front landing

Front Door:

The existing front door to the home is older but likely not original to the home. It appears to have been sourced from elsewhere and the frame and trim modified to fit. Its integrity and appearance has also been compromised by a large rectangular glazed opening that has roughly been cut into it and inappropriately trimmed.



Front door from exterior. Note deterioration at bottom of door and sill. Note inappropriate opening cut for window and associated trimwork

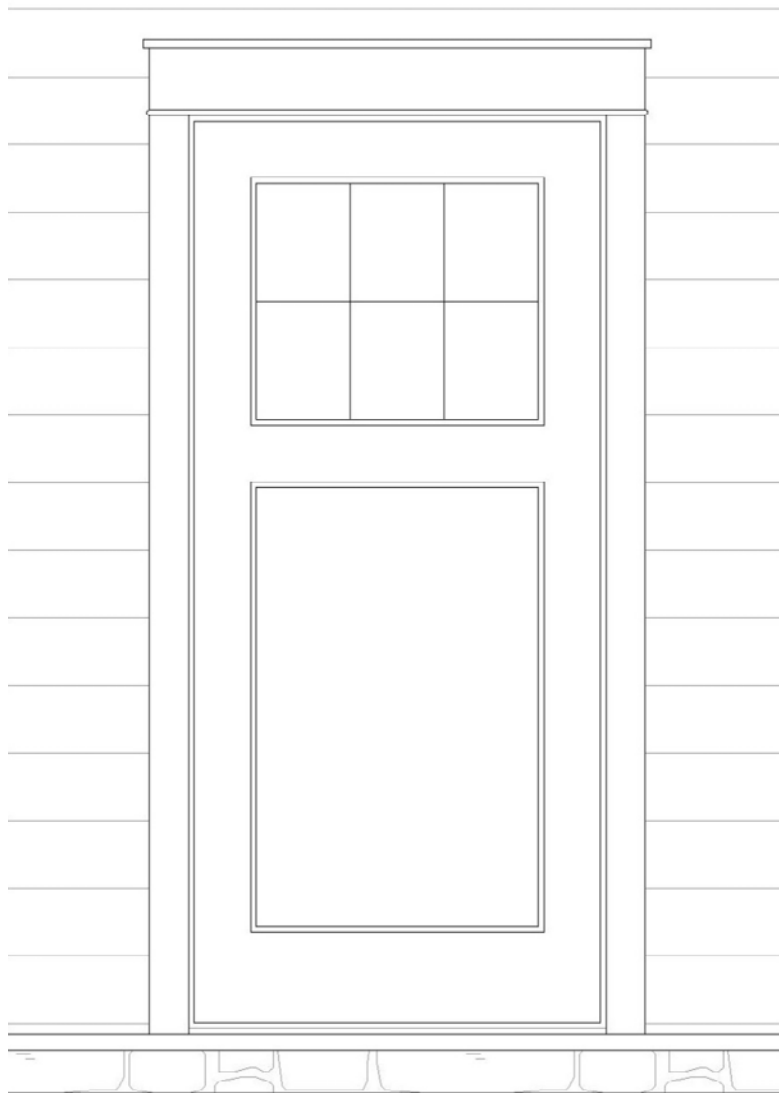


Detail at front door jamb. Note layers of built-up trimwork, deterioration of door



Front door from interior. Note general deterioration. Stacked plank construction can clearly be seen here

The existing front door is very likely not original, unattractive and not in good condition. There would be insignificant heritage value in its retention. It's replacement with a new wood door (and associated jamb) as shown in the detail below be appropriate.



Proposed painted wood front door

Fencing and Landscaping:

There is an existing white painted wood picket type fence on the east and south side of the property. Along the east side this fence is entirely on City property. As part of the site plan process the City has asked that this encroachment be removed.

The fence is in poor condition. It is very haphazard in nature (the fence sections in some cases are attached to the posts by twisted wire only). It was clearly not designed for any significant length of use.

The fence is also fairly new as evidenced by available Google Street View images. An image from 2009 reveals a cedar split-rail type fence and a decorative wood arbor near the entrance of the building. Both

are obviously in poor condition at the time of that image and both had disappeared by the time of the present owner's purchase in 2011.



Deteriorated fencing along east and south side of property. Orange snow fence is tree protection hoarding. All of this fencing is on City property



Detail of existing fence condition along east side of house



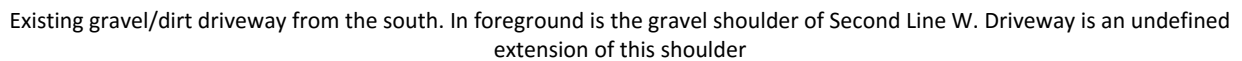
Google Street View image from 2009 showing cedar split rail fence along east side of property. This was apparently removed by the previous owner

The request by the City to remove this fencing is reasonable in this instance. Fencing, especially low picket fencing, is an appropriate way to define the limits of a property in a semi-rural context such as this and there are many similar examples in the village. If sufficient space were available between the front wall of the building and the street it would be advisable to replace the fencing. In this case, however, because the space is very limited the effect of the fence is to exaggerate the closeness of the existing building to the street. Typically a fence such as this would be located much closer to the street line than it would be to the house. In this case, because the distance between the edge of the street and the fence and that between the fence and the house is roughly the same it creates an awkward proportion and exaggerates the closeness of the building to the street. The various historic images available show that the type and extent of fencing around this property has changed multiple times and the fencing as it exists now is a relatively new element. The removal of this fence will not be a loss to the heritage value of the building.

The landscaping surrounding this house is very simple and should remain so. The property will be sodded and as much as possible of the natural contours be allowed to remain. There should be some minimal wild-flower type planting at the edge of the building but nothing more. Manicured or overly developed landscape is not characteristic in Meadowvale Village and should be avoided.

Driveway:

At the north-east corner of the site, accessed from Second Line West, there is a semi-developed area that was used as a parking area by the former owners. It is highly irregular in shape. There is some evidence of gravel having been placed there at one time but mainly it is just compacted earth without defined boundaries.



This site plan illustrates the proposed changes to the driveway system on Lot 1, located at the intersection of Huronontario Street and West of Huronontario Street. The lot is identified by PIN 14085-0206.

Key Features and Annotations:

- Proposed Driveway Alterations:** A yellow line indicates the new driveway alignment, which includes a "NEW PERMEABLE INTERLOCKING BRICK DRIVEWAY" section. An existing gravel driveway is marked as "TO BE REMOVED".
- Structures:** The plan shows an "EX. GREENHOUSE (TO BE REMOVED)" and an "EX. 1 STOREY FRAME BUILDING (TO REMAIN)".
- Boundaries and Easements:** The lot is bounded by Huronontario Street to the north and west, and West of Huronontario Street to the east. A 40' easement is shown along the eastern boundary.
- Elevations and Dimensions:** Numerous spot elevations are provided throughout the plan, such as 172.94, 172.72, 172.56, 172.49, 172.53, 172.43, 172.57, 172.50, 172.60, 172.58, 172.55, 172.52, 172.51, 172.50, 172.49, 172.48, 172.47, 172.46, 172.45, 172.44, 172.43, 172.42, 172.41, 172.40, 172.39, 172.38, 172.37, 172.36, 172.35, 172.34, 172.33, 172.32, 172.31, 172.30, 172.29, 172.28, 172.27, 172.26, 172.25, 172.24, 172.23, 172.22, 172.21, 172.20, 172.19, 172.18, 172.17, 172.16, 172.15, 172.14, 172.13, 172.12, 172.11, 172.10, 172.09, 172.08, 172.07, 172.06, 172.05, 172.04, 172.03, 172.02, 172.01, 172.00, 171.99, 171.98, 171.97, 171.96, 171.95, 171.94, 171.93, 171.92, 171.91, 171.90, 171.89, 171.88, 171.87, 171.86, 171.85, 171.84, 171.83, 171.82, 171.81, 171.80, 171.79, 171.78, 171.77, 171.76, 171.75, 171.74, 171.73, 171.72, 171.71, 171.70, 171.69, 171.68, 171.67, 171.66, 171.65, 171.64, 171.63, 171.62, 171.61, 171.60, 171.59, 171.58, 171.57, 171.56, 171.55, 171.54, 171.53, 171.52, 171.51, 171.50, 171.49, 171.48, 171.47, 171.46, 171.45, 171.44, 171.43, 171.42, 171.41, 171.40, 171.39, 171.38, 171.37, 171.36, 171.35, 171.34, 171.33, 171.32, 171.31, 171.30, 171.29, 171.28, 171.27, 171.26, 171.25, 171.24, 171.23, 171.22, 171.21, 171.20, 171.19, 171.18, 171.17, 171.16, 171.15, 171.14, 171.13, 171.12, 171.11, 171.10, 171.09, 171.08, 171.07, 171.06, 171.05, 171.04, 171.03, 171.02, 171.01, 171.00, 170.99, 170.98, 170.97, 170.96, 170.95, 170.94, 170.93, 170.92, 170.91, 170.90, 170.89, 170.88, 170.87, 170.86, 170.85, 170.84, 170.83, 170.82, 170.81, 170.80, 170.79, 170.78, 170.77, 170.76, 170.75, 170.74, 170.73, 170.72, 170.71, 170.70, 170.69, 170.68, 170.67, 170.66, 170.65, 170.64, 170.63, 170.62, 170.61, 170.60, 170.59, 170.58, 170.57, 170.56, 170.55, 170.54, 170.53, 170.52, 170.51, 170.50, 170.49, 170.48, 170.47, 170.46, 170.45, 170.44, 170.43, 170.42, 170.41, 170.40, 170.39, 170.38, 170.37, 170.36, 170.35, 170.34, 170.33, 170.32, 170.31, 170.30, 170.29, 170.28, 170.27, 170.26, 170.25, 170.24, 170.23, 170.22, 170.21, 170.20, 170.19, 170.18, 170.17, 170.16, 170.15, 170.14, 170.13, 170.12, 170.11, 170.10, 170.09, 170.08, 170.07, 170.06, 170.05, 170.04, 170.03, 170.02, 170.01, 170.00, 169.99, 169.98, 169.97, 169.96, 169.95, 169.94, 169.93, 169.92, 169.91, 169.90, 169.89, 169.88, 169.87, 169.86, 169.85, 169.84, 169.83, 169.82, 169.81, 169.80, 169.79, 169.78, 169.77, 169.76, 169.75, 169.74, 169.73, 169.72, 169.71, 169.70, 169.69, 169.68, 169.67, 169.66, 169.65, 169.64, 169.63, 169.62, 169.61, 169.60, 169.59, 169.58, 169.57, 169.56, 169.55, 169.54, 169.53, 169.52, 169.51, 169.50, 169.49, 169.48, 169.47, 169.46, 169.45, 169.44, 169.43, 169.42, 169.41, 169.40, 169.39, 169.38, 169.37, 169.36, 169.35, 169.34, 169.33, 169.32, 169.31, 169.30, 169.29, 169.28, 169.27, 169.26, 169.25, 169.24, 169.23, 169.22, 169.21, 169.20, 169.19, 169.18, 169.17, 169.16, 169.15, 169.14, 169.13, 169.12, 169.11, 169.10, 169.09, 169.08, 169.07, 169.06, 169.05, 169.04, 169.03, 169.02, 169.01, 169.00, 168.99, 168.98, 168.97, 168.96, 168.95, 168.94, 168.93, 168.92, 168.91, 168.90, 168.89, 168.88, 168.87, 168.86, 168.85, 168.84, 168.83, 168.82, 168.81, 168.80, 168.79, 168.78, 168.77, 168.76, 168.75, 168.74, 168.73, 168.72, 168.71, 168.70, 168.69, 168.68, 168.67, 168.66, 168.65, 168.64, 168.63, 168.62, 168.61, 168.60, 168.59, 168.58, 168.57, 168.56, 168.55, 168.54, 168.53, 168.52, 168.51, 168.50, 168.49, 168.48, 168.47, 168.46, 168.45, 168.44, 168.43, 168.42, 168.41, 168.40, 168.39, 168.38, 168.37, 168.36, 168.35, 168.34, 168.33, 168.32, 168.31, 168.30, 168.29, 168.28, 168.27, 168.26, 168.25, 168.24, 168.23, 168.22, 168.21, 168.20, 168.19, 168.18, 168.17, 168.16, 168.15, 168.14, 168.13, 168.12, 168.11, 168.10, 168.09, 168.08, 168.07, 168.06, 168.05, 168.04, 168.03, 168.02, 168.01, 168.00, 167.99, 167.98, 167.97, 167.96, 167.95, 167.94, 167.93, 167.92, 167.91, 167.90, 167.89,

Proposed changes to driveway arrangement. Existing driveway is shown in yellow although given its undefined nature this is approximate. Existing "barn" accessory building is shown in blue. Property line is red. Proposed permeable pavers shown in gray hatch



Typical permeable paver arrangement and appearance

Barn Accessory Building:

There is a 1 ½ storey gambrel roof “barn” type accessory building presently on the property. It is approx. 6.2m wide x 7.1m long, so about the size of a typical two car detached garage.

An accessory building has been present on this site and in this location for a long time. One is shown on the Bristow survey of 1856 although it is unlikely that this could be the same structure.

The existing building appears to have been constructed without a foundation. There is a concrete slab on grade on the interior and on the east elevation a set of outside stairs to access an unfinished loft area above the main floor. The main floor is insulated and there is a wood stove to provide heat. It is reported within the community to have functioned as a kind of antique shop operated by the former owner at some time in the past. City of Mississauga records indicate no applications for any improvement/heating of this structure or any commercial use, so all of this was evidently done without permits or municipal approval.

On the west elevation of the barn there is a later greenhouse constructed of metal pipe frame with clear plastic cladding.



Image from the City of Mississauga Historic Images Database showing the "barn" accessory building at right. The accessory building at left is no longer in place. Note the absence of the stairs to the loft presently at the front of the building or of the framed greenhouse at the rear. Note also the lack of fencing around the property. The blue box recycling bin in the foreground would date this photo to the mid-1980's or later



East and north barn elevations. Note metal chimney from wood stove within and stairs to second floor loft. These stairs and landing are in poor condition and missing handrails and guards. They are unsafe and should be removed



Barn south elevation. Note inappropriate newer windows, general lack of maintenance



Barn west elevation. Later greenhouse structure in foreground. Note that trims and siding have not been painted here as they have on more visible east and south elevations



Greenhouse structure in poor repair

The barn building is in moderate to poor condition. The stairs to the loft are in very poor condition, a relatively new addition (as witnessed by their absence in the mid-1980's photo) and are unsafe and should be removed. The greenhouse on the west elevation is a home-made structure of pipe, wood and sheet plastic, was similarly absent in the mid-1980's and should be removed. Both are in danger of collapse from deterioration.

The remainder of the building will require some significant maintenance in the form of painting and general clean-up to maintain its serviceability. The roof is new and the building appears to be generally water-tight. With periodic maintenance it can likely continue to serve as an accessory building for some time.

It may be desirable at some point to consider converting this building to a residential garage. The size and location on the property would make this a reasonable option. This would then require a structural assessment of the building and a further application to the City of Mississauga. It would be reasonable at that time to look at the existing inappropriate windows on the building, etc. At the present time there is no desire to make any modifications to this building beyond that required for safety and ordinary maintenance, however.

Site Context:

The site is located at the north-west corner of Old Derry Rd. W. and Second Line W. This is a prominent location in the Village because it marks the beginning of the Conservation District when approaching from the east. To the south of the site, across Old Derry Rd. W., is the former Methodist Church, now the Korean United Church. This is a small but handsome polychromatic brick building with pilasters, arches and significant detailing on the elevation. Built in 1862 it remains in very good condition and

little changed from the original.⁵ To the north of the subject site is 7020 Second Line West, a 1 ½ storey frame dwelling oriented to the south and with a side exposure to Second Line West. This building originally fronted onto the now closed First Street. It has a large setback to Second Line West and because of this and significant foliage in front of the building it contributes little to the streetscape. Further north is 7030 Second Line W. This is a significant building very similar in form and orientation to the street as 7004 Second Line W. 7030 Second Line W. was built approximately 1840 and is also of stacked plank construction. It is highly likely that these homes were built together.

To the west of the subject site are two newer polychromatic brick dwellings at 1009 and 1011 Old Derry Rd. These were constructed in 1989 in a kind of faux heritage style. Their size, massing and detailing is very much not sympathetic with the present District Plan or Zoning by-law. They likely would not be able to be constructed now. They are not that significant to the subject site given that they face in different directions and are somewhat buffered by trees and shrubbery along the west boundary.

Analysis:



The City of Mississauga Heritage Register statement of Architectural Significance for 7004 Second Line W. records as follows:

⁵ Meadowvale Village HCD Property Inventory p. 36

This is a one and one half storey residence featuring shiplap siding, a credit valley stone foundation and an externally bracketed brick chimney (note: this chimney has been removed). The structure has a gable roof with asphalt shingling (note: the roof shingles are wood) and an east symmetrical three bay facade. The windows are modern one over one, while the originals were one over one and consistent with those seen on the second storey (note: the second storey windows are no longer original). There is a modest, one storey west side extension to the building having a shed roof and an enclosed entrance/patio. There are dentils over the rear door (note: these dentils have been removed) and having a covered entrance with geometric decorative woodwork (note: this no longer exists). On the south facade there are single windows, one on the ground floor with another directly above. There is a gambrel shaped outbuilding with a tar paper roof (note: the roof is now asphalt shingle) and board and batten siding located on the property, its location is significant to the former laneway that once ran behind this property from Second Line West to Pond Street. This structure is believed to be like many in the Village made of stacked plank on plank construction. The scale, size and form reflect the historic value of this structure and open space around it as a landmark feature upon entering the Village and HCD. Heritage Attributes: The size, shape, form and materials of the modest stacked plank house. Its original materials, size, shape, form and style. The location of the house on the property with shallow set-backs and clear visibility to the street on the south, east and north facades. The open green yard to the south, west and north of the building. The original one-and-a-half storey outbuilding and its location and relationship to the house finished in board and batten on the ground level. Statement of Significance: The property at 7004 Second Line West has historical significance as it is associated with the development of the Village from the mid nineteenth century. The residential structure has architectural significance in that it is representative of the stacked plank construction technique, a modest structure in its shape, form, size and materials. The outbuilding has significance in that it is one of the last remaining outbuildings in the Village and is representative of this type of architecture in its shape, form, size, materials and relationship to the residence and streetscape. The house has contextual significance in that it is in its original location, highly visible from the intersection of Second Line West and Old Derry Road, an entry feature into the Village and significant contribution to the streetscape.

The Meadowvale Village HCD Property Inventory (2014) further notes:

This structure is shown on the Bristow Survey of 1856 and is, therefore, one of the oldest properties in the Village. This property has changed little over the years, retaining its original shape, size and form and is an important link to the modest residences that defined Meadowvale Village during its industrial growth period of the mid nineteenth century.

The modest one-and-a-half storey structure is made of stacked plank construction, with horizontal narrow wood siding and gable ends and cornice returns (note: these returns appear to have been removed or covered). The building rests on a field stone foundation. The original windows retain their aperture but the windows have been replaced. The front façade onto Second Line West has three bays, with only two windows, one over the other, on the south façade. The north façade has three windows, two on the upper floor and a single window to the right side on the lower level. The roof is finished in wood shingles. At the rear is a small one storey frame addition that provides an entryway into the rear of the structure.

The house is situated on the corner of the lot with a shallow set-back to Old Derry Road and Second Line West. This allows for clear visibility of the house as it serves as an entryway into the Village from the east approach. On the northwest corner of the property is an original one and-a-half storey outbuilding with a gambrel roof. The date is unknown but it remains as one of very few remaining outbuildings in the Village. The building is clad on the ground level with board and batten.

Heritage Attributes:

- The size, shape, form, massing and materials of the modest stacked plank house

- *Its original materials, size, shape, form and style*
- *The location of the house on the property with shallow set-backs and clear visibility to the street on the south, east and north façades*
- *The open green yard to the south, west and north of the building*
- *The original one-and-a-half storey outbuilding and its location and relationship to the house finished in board and batten on the ground level*

Statement of Significance:

The property at 7004 Second Line West has historic association with the development of the Village from the mid nineteenth century. The residential structure has architectural significance in that it is representative of the stacked plank construction technique, a modest structure in its shape, form, massing, size and materials. The outbuilding has significance in that it is one of the last remaining outbuildings in the Village and is representative of this type of architecture in its shape, form, size, materials and relationship to the residence and streetscape. The house has contextual significance in that it is in its original location, highly visible from the intersection of Second Line West and Old Derry Road, an entry feature into the Village and significant contribution to the streetscape.

The predominant cultural heritage value of this site is then:

- the size and scale of the building
- the location and prominence of the building at the corner
- the open yards around the building
- the stacked plank construction
- the extant original materials

Proposal:

The proposal is for a major 2-storey addition to be constructed to the north and west of the existing heritage building. The existing one-storey rear addition will be removed and a new one-storey element created in approximately the same location to serve as a bridge between the new and existing elements of the building. The existing building will remain largely as is. The existing siding will remain but the newer, non-sympathetic windows and casings will be removed and replaced with new units detailed to look more appropriate for the age of the building. The addition takes advantage of the slope of the site and while it is two stories in nature will be lower by 12" than the existing building. By locating the addition to the west and north it has been designed to not dominate the heritage building while viewing the site from its most prominent view-scape – the intersection of Old Derry Rd. and Second Line W. The addition is proposed to be largely clad in rough-cast stucco with some elements clad in siding. This will help to visually differentiate the addition from the heritage building.

The most important massing elements of the heritage building – the symmetrical front elevation with center door and flanking windows, the simple gable roof form, etc., all remain intact in this proposal.

The roofs of the addition have been designed to minimize building height and to create a simplicity of form when viewed from the street.

Windows are wood frame in appearance with simulated divided lites in 2-over-2 configuration. This is a correct configuration given the age of the building. Trims and porch details are painted wood or weather-proof material painted to give the appearance of wood..

The architecture and detailing of the building is generally simple and derives from the vernacular of the Village while not intending to mimic or replicate.

The proposal meets the applicable zoning by-law with the exception of a small variance required for Gross Floor Area. This variance has been successfully obtained through the Committee of Adjustment.

The proposal meets the intent of the Conservation Principles and Design Guidelines for the Meadowvale Village Heritage Conservation District (2003), as regards massing, materials, detailing and general design principles.

The proposal has received extensive review and consultation through the local Conservation Review Committee and has their support.

Summary Statement and Conservation Recommendations:

The proposed renovated dwelling at 7004 Second Line W. is appropriately designed for its site and meets the intent of all applicable laws, policies and requirements associated with its design. During the construction process as much of the existing topography and tree canopy should be retained as possible.

Mandatory Recommendation:

The property must be evaluated under the criteria for designation under Ontario Regulation 9/06, *Ontario Heritage Act*. This is the part of the Act that allows designation of individual designations (Part IV designations). The criteria area:

1. The property has design value or physical value because it,
 - i. is a rare, unique, representative or early example of a style, type, expression, material or construction method.
 - ii. displays a high degree of craftsmanship or artistic merit, or
 - iii. demonstrates a high degree of technical or scientific achievement.

Analysis: The property is important as one of the older homes in the Village and because of the stacked plank construction. Much of the original building fabric (including windows) has been lost or has deteriorated to the point of requiring replacement, however.

2. The property has historical value or associative value because it,
 - i. has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to the community,
 - ii. yields, or has the potential to yield, information that contributes to an understanding of a community or culture, or
 - iii. demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.

Analysis: The property has limited associations with the original founding of the Village but no more so than any of the other buildings of similar age. There is no evidence that any person of significant importance is associated with the building.

3. The property has contextual value because it,
 - i. is important in defining, maintaining or supporting the character of an area,

- ii. is physically, functionally, visually or historically linked to its surroundings, or
- iii. is a landmark.

Analysis: The property is located on an important corner within the Village and is something of a market when approaching the village from the East, although not in a way that it could be considered a landmark.

Conclusion:

The property at 7004 Second Line W. has limited architectural, contextual and historical value.

Provincial Policy Statement:

Under the Provincial Policy Statement,

“Conserved: means the identification, protection, use and/or management of cultural heritage and archaeological resources in such a way that their heritage values, attributes and integrity are retained.”

Analysis:

Under this definition, the vacant property at 7004 Second Line W. does not warrant conservation.

Bibliography:

Hicks, Kathleen A., Meadowvale: Mills to Millineum,
 A Heritage Tour – Meadowvale Village (Heritage Mississauga)(pamphlet)(undated)
 Heritage Mississauga Images database
 City of Mississauga – Historic Images Database
 City of Mississauga – Building Department records
 Directory of the County of Peel 1873-1874
 Websites: as noted

Appendices:

- commentary on Meadowvale Village Heritage Conservation District Plan 2014
- proposed building elevations
- existing building plans
- proposed streetscape

Meadowvale Village Heritage Conservation District Plan 2014:

The proposal to renovate and create an addition to 7004 Second Line W. was first developed in 2011 and this application has been ongoing since that time. In 2014 a new Conservation District Plan came into force with some different and more fully developed criteria. Following is an examination of this proposal against the criteria found in section 4.2.3 of that Plan:

4.2.3.1 Scale

- *Width to length ratio of principle structure or additions should be consistent with designs found within the Village*

This is a difficult concept to consider here. The intent of this section was to prevent buildings and additions that were awkward or unusual in shape. The first difficulty in interpreting this section is that the City building department considers the front of a corner lot to be the side with the shortest property line facing a street. In this case the front of the property for zoning purposes is Old Derry Rd., notwithstanding that the building address and principal elevation is Second Line W. This means that the idea of what is “width” vs “length” is open to some interpretation.

The existing building has approximate dimensions of 18' x 24', or a width to length ratio of 0.75. The proposed addition, which is designed to appear as a separate element from the existing building, has approximate dimensions of 30' x 52' or a width to length ratio of 0.58. These ratios are not dissimilar and consistent with other residential buildings in the community.

4.2.3.2 Location

- *Exterior additions should be located at the rear, or on an inconspicuous side of the building, limited in size and scale to complement the existing building and neighbouring properties*

The addition to this building, despite being larger than the existing building, has been designed to appear well behind the existing when viewed from all normal viewing angles, especially the most critical viewpoint east of the site on Old Derry Rd. The existing natural grading on the site has been used to allow the addition to be less prominent by locating it on a lower part of the site. The existing building will continue to be prominent from all angles.

- *Outbuildings, including garages and greenhouses, should be detached and located at the rear, or on an inconspicuous side of the building, and be limited in size and scale to complement the main structure and neighbouring properties*

The existing outbuilding will be maintained and conserved with only minimal changes to remove newer, deteriorated and unsafe elements. The existing location of the outbuilding is important to the cultural history of this site.

- *Additions at the rear should always be slightly lower than the existing roof line and stepped in at the sides in order not to overpower or dominate the existing building and the view from the street. Additions so constructed will also tend to be more compatible with adjoining properties*
- *Additions are best set back as deeply as possible from the existing front wall plane in order to be unobtrusive to the streetscape and differentiate the addition from the older structure*
- *The existing building shall maintain a dominant street presence with opportunities for landscaping in the addition's setback area*

The proposed addition is lower than the existing building by 1'0" and the points at which it connects to the main building are recessed behind the main building. Despite being larger than the main building the existing building will remain prominent and distinct. Along the principal Derry Rd. elevation the addition is set back 7.6m from the front wall of the existing building. This will give ample opportunity for differentiation and landscaping opportunities.

- *A primary pedestrian and accessible access from the street shall be encouraged*

The existing means of access and front door location from Old Derry Rd will be maintained

- *Corner properties should have an equal proportion of architectural details, such as traditional windows and doors, on both street fronting façades*

All elevations of the existing have been designed to be equal as regards architectural detailing, windows, etc. There is no "front" and "back" of the addition.

4.2.3.3 Roofline

- *The style and pitch of an existing roofline will be retained*
- *New roof dormers should be located at the side or rear rather than the principal façades, and their size, shape and form should be similar to any original dormer(s) to the structure or within the Village*

The existing roofline will be retained. No new dormers are proposed in the existing roof.

4.2.3.4 Roofing • *Roofing materials should be of a style traditionally found within the Village, including wood shingles, metal and asphalt shingles*

Asphalt shingle roofing is proposed.

4.2.3.5 Windows

- *Windows important to the architectural character of the building, or in view of the public realm, will be retained and not blocked or removed as part of an addition*
- *New window design will be compatible with the original in terms of proportions, rhythm and scale*
- *Modern materials may be used, however, they should have the visual appearance of traditional materials*
- *The style of new windows on an addition should be consistent with the windows of the original structure in form, size and alignment, unless they cannot be viewed from the public realm*
- *Windows should be vertically oriented with a minimum width to height ratio of 1:1 ¾*

The windows in the existing building are all newer replacements. Most appear to be of approximately original size and proportion. The proposed windows are all simple double-hung in 2/2 configuration in a style that would have been appropriate to the original construction. All are vertical in orientation with ratios in excess of 1:1 ¾. These will be thermal units in wood or vinyl painted to appear as wood.

4.2.3.6 Doors

- *Doors on an addition should be of a traditional design which is typical to that style of building*
- *Modern materials may be used, however, they should have the visual appearance of traditional materials*

The front door is in poor condition, likely not original to the home and will be replaced with a new wood unit of appropriate design to character of the building. Other doors will be wood or

modern material painted to appear as wood and will also be appropriate to the character of the building.

4.2.3.7 Cladding

- *Cladding should be of a traditional design that is typical to the style of building*
- *Cladding materials on an addition should be different from the existing building*
- *Modern materials may be used, however, they should have the visual appearance of traditional materials.*

The existing building cladding is in serviceable condition and will be retained. The addition will be clad in stucco with some siding elements to reduce the mass of the addition. The distinction between the new and existing elements of the building will be obvious. The new siding will be pre-finished wood or cement board painted to appear as wood.

4.2.3.8 Trim

- *The removal of original trim on an existing structure should be minimal when constructing an addition*
- *Modern materials may be used, however, they should have the visual appearance of traditional materials.*

There appears to be no original trim on the building. The visible trim is all newer and generally poorly applied and detailed. There may be some original trim beneath some of the later material but this will not be known until construction commences. Any original trim that is found to be in good condition will be conserved. Generally the trim will be replaced with newer painted wood. The detailing of this trim will be very simple and appropriate for the era of the building's original construction.

4.2.3.9 Shutters

- *Shutters added to an addition should be of a design which is typical to the style of the original building and to the Village*
- *Modern materials may be used, however, they should have the visual appearance of traditional materials.*

There are no shutters on the existing building and none are proposed on the addition.

4.2.3.10 Stairs, Verandahs, Porches and Balconies

- *The replacement (whole or partial) of existing porches, verandahs, stairs or balconies should be discouraged except in the case of substantial deterioration, in which case the replacement should be designed and constructed in the original style*
- *New railings and staircases should be constructed in a design that is consistent with the style of the building and in the Village*

The existing front porch is a poured concrete slab that is in poor condition and not original to the house. Photos from the mid 1980's through the present show that it once had an elaborate roof and columns as well as several different varieties of handrails. All were clearly non-original, home-made and of poor quality. This porch is on City property and through the site plan process they have asked to have it removed. Our proposal is to remove the deteriorated slab and to replace it with a simple stone pathway which will have the same effect of identifying the front door but doing so without creating an encroachment onto City property.

There are new steps and a landing proposed on the east elevation behind the rear wall of the existing house. These will be simple wooden steps and a handrail with square wooden pickets. This is consistent with the design of the house and the village.

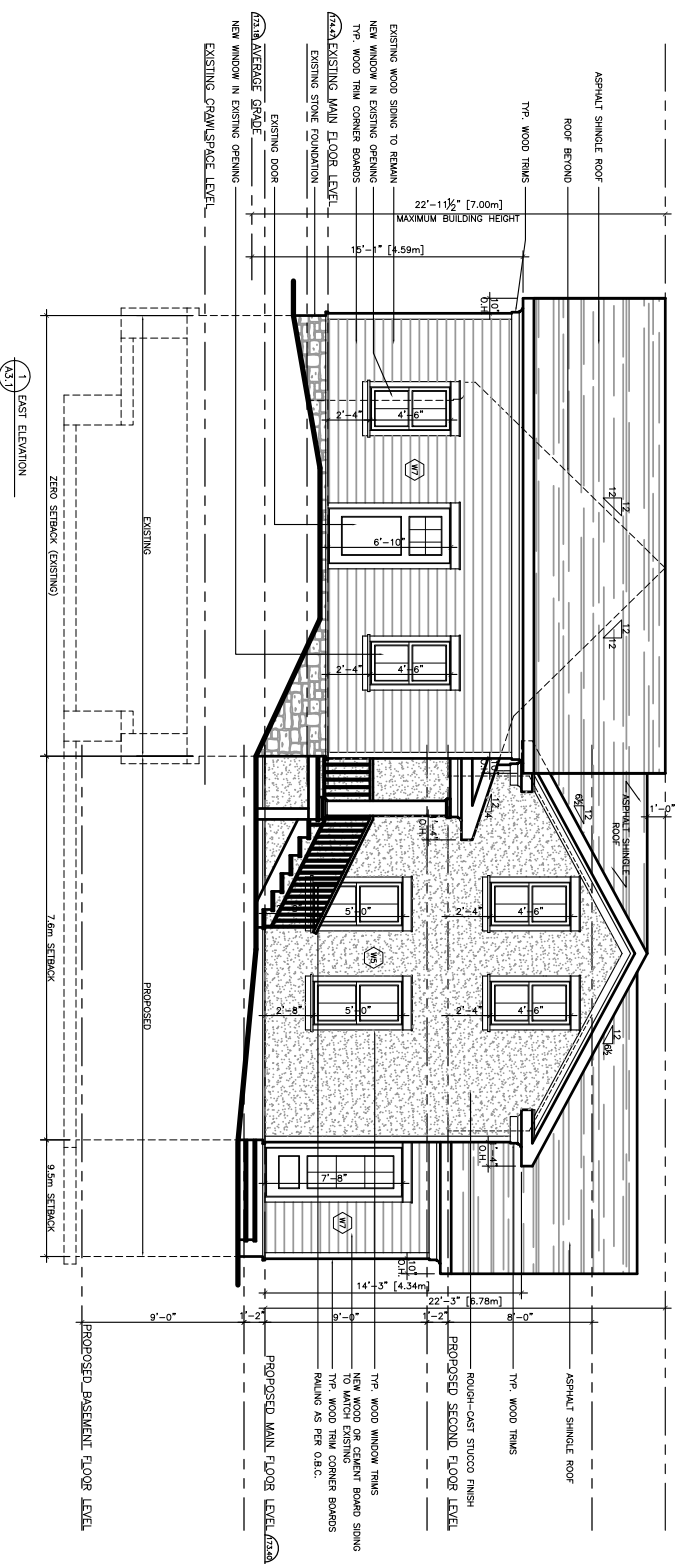
4.2.3.11 Scale

- *The design of an addition which does not alter the structure's original orientation and main entrance will be permitted*
- *The design should be of an appropriate scale to the existing structure and kept to areas away from the main façades*
- *Additions are to be complementary in design, scale, mass and form, but distinguishable from the original building*
- *Additions should allow for the retention of as much of the original structure as possible*

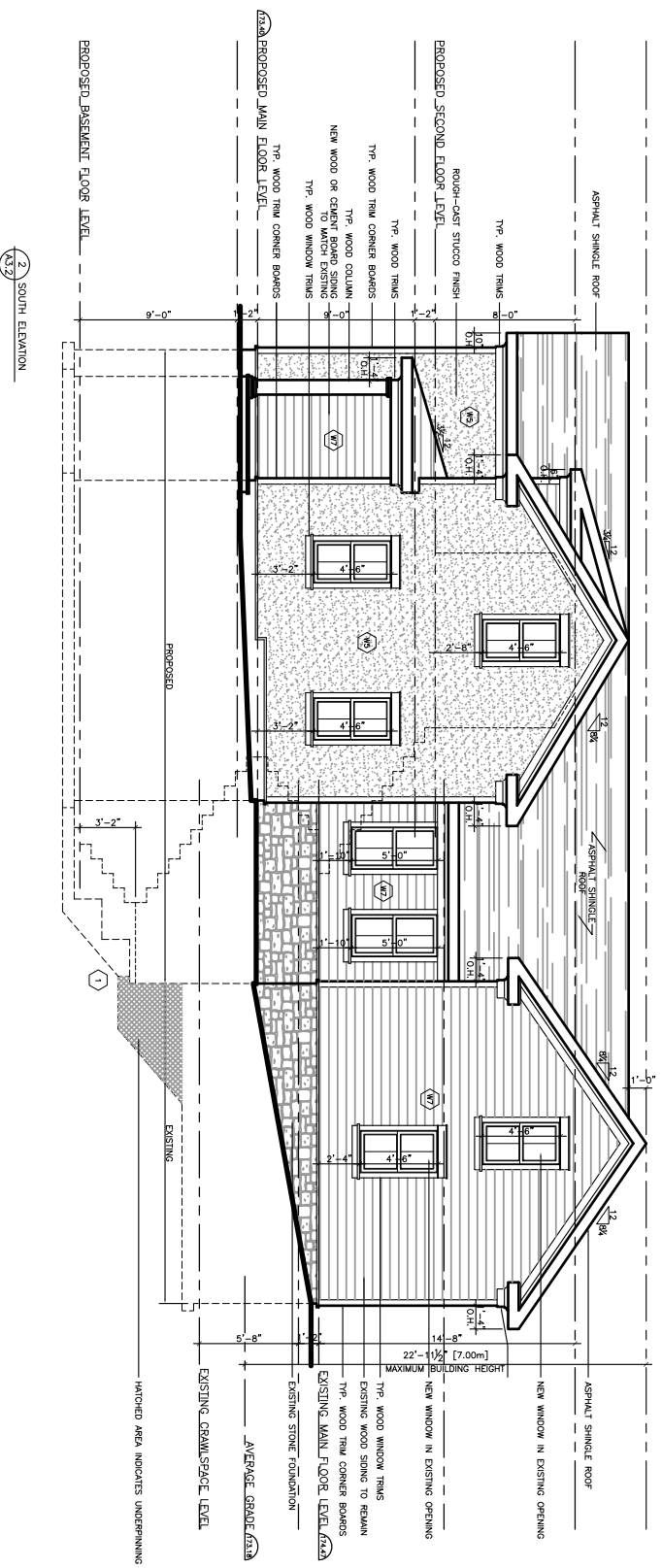
The proposed addition does not alter the original orientation and main entrance of the existing building. The addition is larger than the original building because it would hard to be otherwise – the existing building is only 450 sq. ft. on the main floor with a partial second floor. The massing of the addition is designed to limit its appearance and preserve the primacy of the original building in the most critical views.

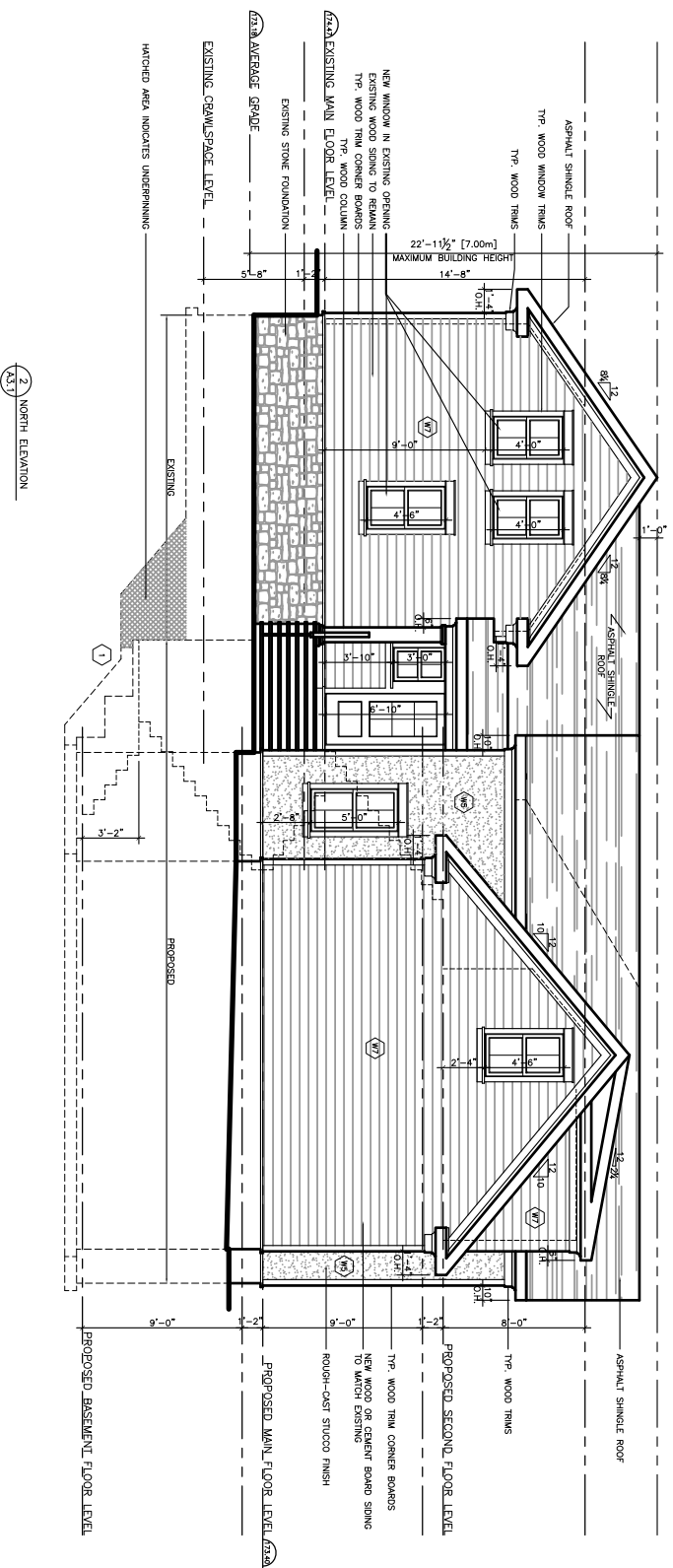
An existing rear addition to the building will be removed and re-built as part of this proposal but this structure is not original to the building and in very poor condition.

The proposed addition is highly distinguishable from the existing building and the amount of material loss from the existing building is minimal because of the addition.



CHUNG RESIDENCE
FRONT ELEVATION $\frac{3}{32}$ " - 1'0"
7004 SECOND LINE WEST, MISSISSAUGA
MARCH 15, 2016





2 NORTH ELEVATION





1 - 56



Strickland
Mateljan
Design + Architecture

CHUNG RESIDENCE
PROPOSED STREETSCAPE N.T.S.
7004 SECOND LINE WEST, MISSISSAUGA
MARCH 15, 2016

RICK MATELJAN Lic. Tech. OAA
 79 Wilson St., Oakville, ON
 (t) 416 315 4567 (e) rick.mateljan@smda.ca

curriculum vitae

Education:

- | | |
|-----------|--|
| 1978-1983 | Trinity College, University of Toronto <ul style="list-style-type: none"> • B. A. (4 year) (Specialist English, Specialist History) |
| 1994-1995 | Ryerson Polytechnic University <ul style="list-style-type: none"> • detailing of residential and institutional buildings, OBC, technical and presentation drawing |
| 1997-2006 | Royal Architectural Institute of Canada Syllabus Program <ul style="list-style-type: none"> • program of study leading to a professional degree in architecture |
-

Employment:

- | | |
|----------------|---|
| 2010 - Present | Strickland Mateljan Design Associates (Partner) <ul style="list-style-type: none"> • architectural design business specializing in custom residential and small commercial projects, land development, adaptive re-use, heritage conservation • share equal responsibility for management, business development, marketing and project delivery • specialist responsibilities in municipal approvals, heritage approvals • Ontario Licensed Designer (Small Buildings) • Ontario Association of Architects licence with terms, conditions and limitations |
| 2001 - 2010 | Gren Weis Architect and Associates, Designer and Project Manager <ul style="list-style-type: none"> • design, design development, conceptual, working and presentation drawings, project co-ordination, site review, liaison with authorities having jurisdiction • extensive client, consultant and building site involvement • extensive experience in multi-disciplinary team environments • specialist at Committee of Adjustment and Municipal Approvals • specialist at renovation and conservation of Heritage buildings, infill developments in Heritage communities • specialist on issues of Heritage Approvals • specialist at processing and representation at Site Plan and re-zoning approvals • corporate communication, advertising and photography |
-

Recent professional development:

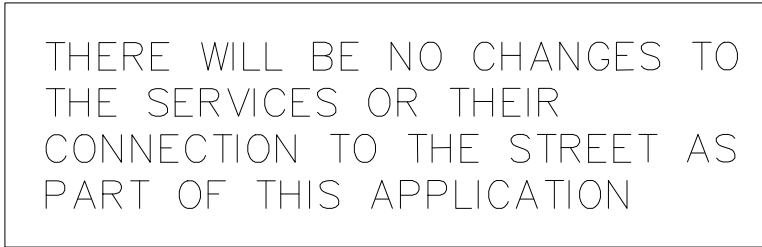
2011	OAA – Admission Course
2010	Georgian College – “Small Buildings”
2010	Successfully completed Ministry of Municipal Affairs and Housing “Small Buildings” and “Designer Legal” examinations
2010	Successfully completed OACETT professional practice exam
2008	Qualified to give testimony before the Ontario Municipal Board
2007	OAA – Heritage Conservation in Practice
2006	RAIC – Standards and Guidelines for the Conservation of Historic Places in Canada

Activities:

2012-present	Member, Board of Directors, OAAAS
2011-present	Member, Editorial Committee, OAA Perspectives magazine
2008-present	Member, Board of Directors of Oakville Galleries (President 2011-2013)
2007-present	Member, Mississauga Heritage Advisory Committee and member of the Heritage Award jury
1995-2001	Member, Oakville Local Architectural Conservation Advisory Committee and Oakville Heritage Review Committee (Chair from 1998)
2001-2004	Alternate Member, Oakville Committee of Adjustment (appointed but never called to serve)

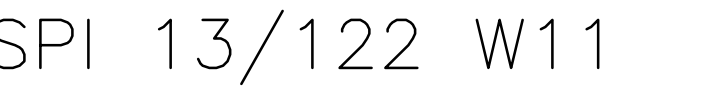
Memberships:

Ontario Association of Architects



PIN 14085-2476

PIN 14084-2016



Agent: Mr. Rick Mateljan
@ Strickland/Mateljan Design Associates
LTD.
Phone (Cell): 416-315-4567

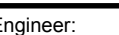
Owner: Mr. Ken Chung
7004 Second Line West
Mississauga, Ontario
L5W 1A1

No.	Date	Issued/Revision	By:
-----	------	-----------------	-----



79 Wilson Street, Suite 301
Oakville ON L6K 3G4
Tel: 905 842 2848
smda.ca

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Project:

Chung Residence

7004 Second Line West
Mississauga, Ontario

Sheet Title:

Site Plan

Drawing No:

SP1



City of Mississauga

Memorandum



To: Chair and Members of the Meadowvale Village Heritage Conservation District Subcommittee

From: Paula Wubbenhorst, Senior Heritage Coordinator

Date: May 24, 2016

Subject: Request to Alter 7005 Pond Street

Meeting Date: June 7, 2016

Recommendation:

That the request to alter the property at 7005 Pond Street be approved with the following condition:

- No simulated dividers be employed on the windows

Memorandum Highlights:

- The owner of the subject property requests a renewed heritage permit for an outdoor cooker and a replacement garage
- As the substance of the application is consistent with that originally approved in 2014, the proposal should be approved

Background:

The subject property is designated under the *Ontario Heritage Act* as it forms part of the Meadowvale Village Heritage Conservation District (HCD). The City granted the owner a heritage permit for several changes to the property in September 2014. Heritage permits issued under by-law 77-14 expire after one year. As such, the property owner requires a renewed heritage permit for work that has yet to be completed. This includes the installation of an outdoor cooker and a replacement garage. (The request for the additional chimney has been rescinded.)

Comments:

The original Heritage Advisory Committee Corporate Report on the subject is available as item 3 here:

http://www7.mississauga.ca/documents/agendas/committees/heritage/2014/HAC_Agenda_2014_09_09.pdf. The site plan and elevation drawings are attached as Appendix 1. Because

the application was associated with a site plan that predated the 2014 Meadowvale Village Heritage Conservation District Plan, staff evaluated the heritage permit application against the 2003 Meadowvale Village Design Guidelines.

The 2014 report finds that: "The plans for the new garage have the structure located to the rear and set back from the original façade. Its massing is significantly smaller than the original house and is complimentary in style and building materials." It also considers the cooking fire a "permissive alteration."

There has been no change to the proposal. However, additional elevations have been provided since the permit was evaluated in 2014. The drawings do not indicate the detail of the window configuration. As per the 2003 Meadowvale Village Design Guidelines, "simulated dividers [...] should not be used."

Overall, the proposal remains “complimentary.” As such, the renewed heritage permit should be approved.

Conclusion:

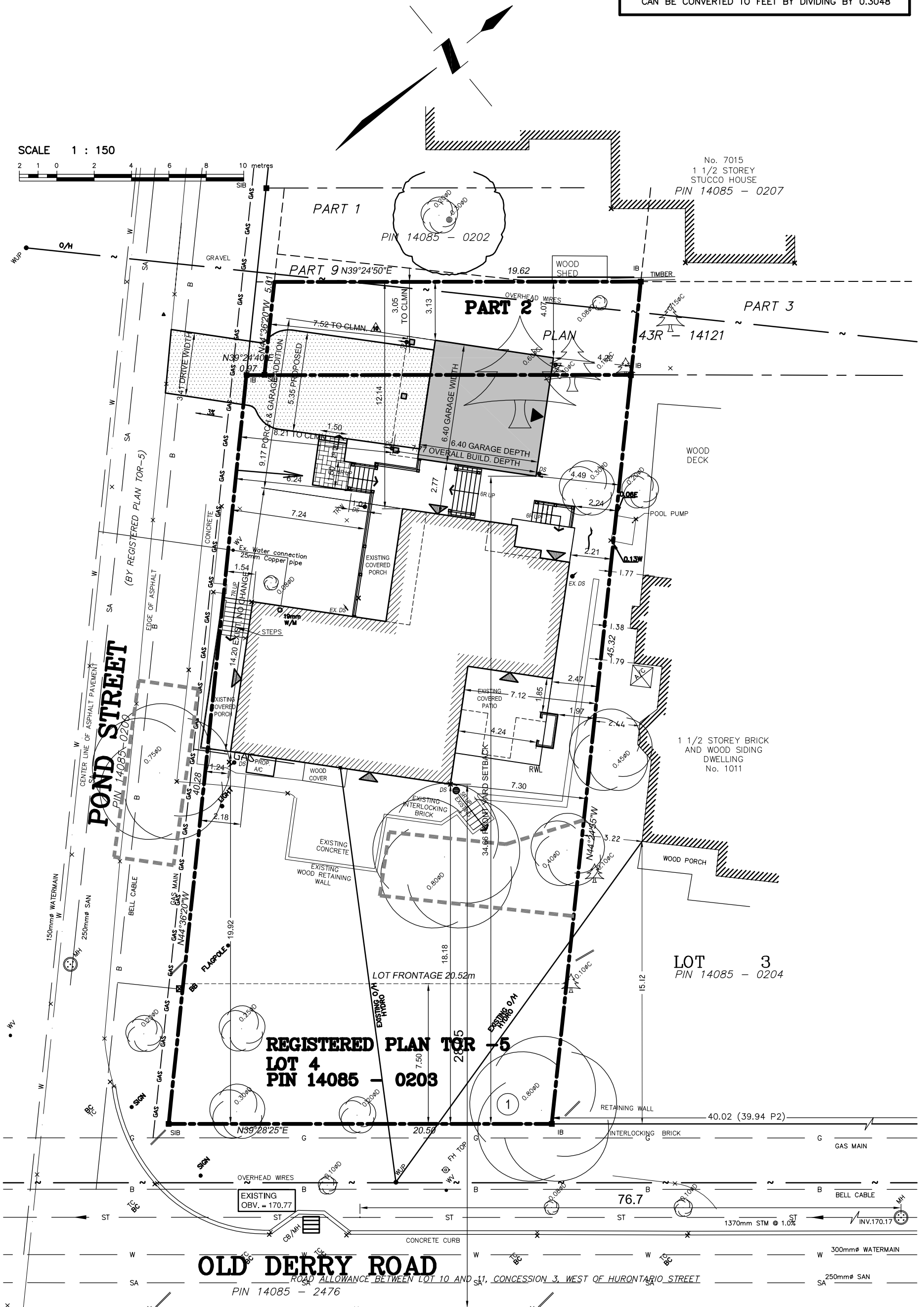
The City is in receipt of an application to renew a heritage permit for an outdoor cooker and a replacement garage. As the City previously approved the proposal, the heritage permit should be renewed as long as the windows are in compliance with the applicable guidelines.

Appendices:

Appendix 1: Site Plan and Elevation Drawings

P. Wubbenhorst
Senior Heritage Coordinator
Culture Division

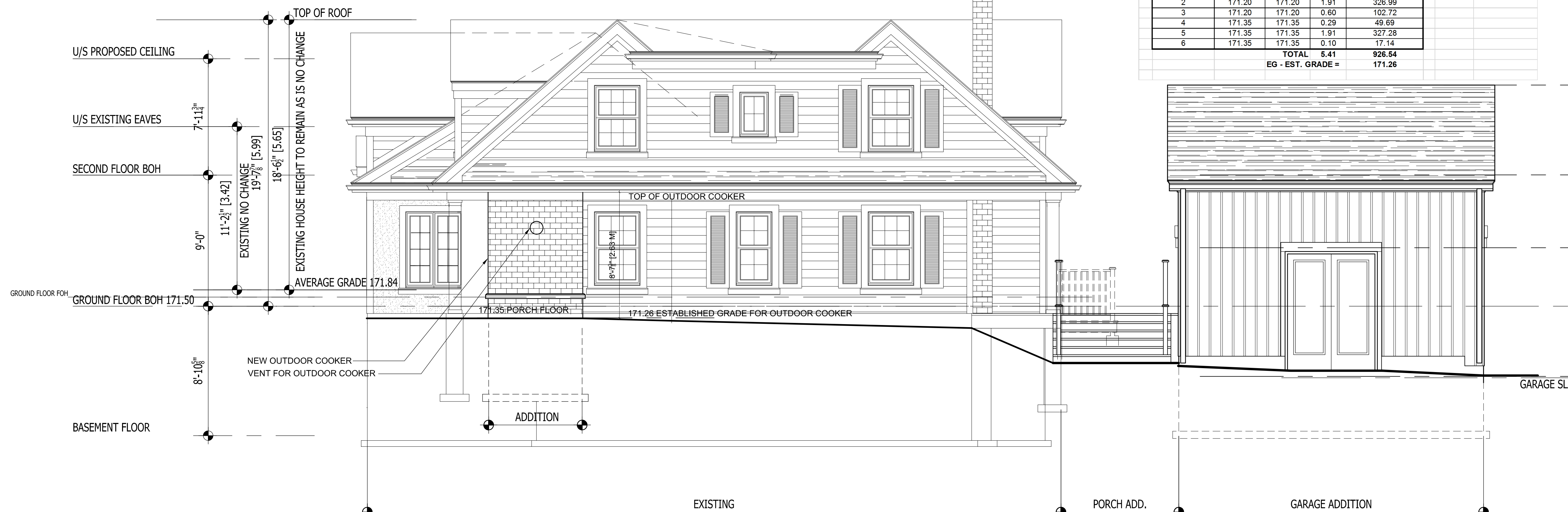
DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND
CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048



Drawings must NOT be scaled. Contractor must check and verify all dimensions, specifications and drawings on site and report any discrepancies to the architect prior to proceeding with any of the work.

7005 POND STREET ESTABLISHED GRADE FOR DETACHED GARAGE

LENGTH No.	BEGIN ELEV	END ELEV	LENGTH	EL1+EL2/2 X L
1	169.90	169.90	6.40	1087.36
2	169.90	170.05	6.40	1087.84
3	170.05	170.25	6.40	1088.96
4	170.25	169.90	6.40	1088.48
TOTAL			25.60	4352.64
EG - EST. GRADE =				170.03


1 WEST ELEVATION
 SCALE: 1/4"=1'-0"

ESTABLISHED GRADE CALCULATION FOR OUTDOOR COOKER

LENGTH No.	BEGIN ELEV	END ELEV	LENGTH	EL1+EL2/2 X L
1	171.20	171.20	0.60	102.72
2	171.20	171.20	1.91	326.99
3	171.20	171.20	0.60	102.72
4	171.35	171.35	0.29	49.69
5	171.35	171.35	1.91	327.28
6	171.35	171.35	0.10	17.14
TOTAL			5.41	926.54
EG - EST. GRADE =				171.26

2 EAST ELEVATION
 SCALE: 1/4"=1'-0"

1 22.03.16 ISSUED FOR SITE PLAN APPROVAL

REF. DATE: DESCRIPTION:

REVISIONS / ISSUANCE:



hicks partners
DISTINCTIVE ARCHITECTURE

THE HICKS PARTNERSHIP INC.
255 ROBINSON STREET, SUITE 200 DOWNTOWN, ONTARIO, CANADA M5T 1G7
WWW.HICKSPARTNERS.CA T.905.339.1212

CLIENT:
**KERRIGAN-BOEYKENS
DETACHED GARAGE**

ADDRESS: 7005 POND STREET
CITY: MISSISSAUGA, ONT

DRAWING TITLE:
**WEST ELEVATION
EAST ELEVATION**

DRAWN: C.R.

DATE: 06.09.12

JOB NUMBER:

SCALE: 1/4"=1'-0"

SHEET NUMBER:

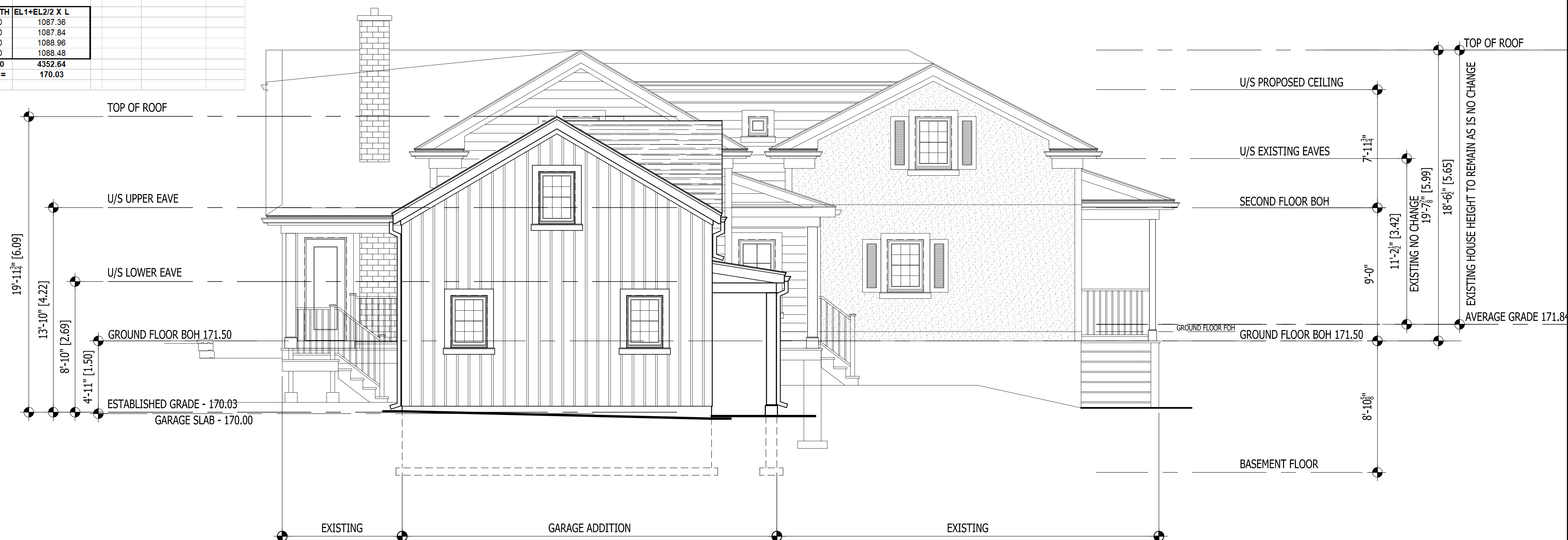
1845-11

A4.1

Drawings must NOT be scaled. Contractor must check and verify all dimensions, specifications and drawings on site and report any discrepancies to the architect prior to proceeding with any of the work.

7005 POND STREET ESTABLISHED GRADE FOR DETACHED GARAGE

LENGTH No.	BEGIN ELEV	END ELEV.	LENGTH	EL1+EL2/2 X L
1	169.90	169.90	6.40	1087.36
2	169.90	170.05	6.40	1087.84
3	170.05	170.25	6.40	1088.96
4	170.25	169.90	6.40	1088.48
TOTAL			25.60	4352.64
EG - EST. GRADE =				170.03



1 NORTH ELEVATION

A4.2 SCALE: 1/4"=1'-0"

ESTABLISHED GRADE CALCULATION FOR OUTDOOR COOKER

LENGTH No.	BEGIN ELEV	END ELEV.	LENGTH	EL1+EL2/2 X L
1	171.20	171.20	0.60	102.72
2	171.20	171.20	1.91	326.99
3	171.20	171.20	0.60	102.72
4	171.35	171.35	0.29	49.69
5	171.35	171.35	1.91	327.28
6	171.35	171.35	0.10	17.14
TOTAL			5.41	926.54
EG - EST. GRADE =				171.26



EAST ELEVATION CALCULATIONS:
AREA OF EBF: 892.2 SQFT
LIMITING DISTANCE: 28.05 M
PERMITTED GLAZED AREA: N/A SQFT
PROPOSED GLAZED AREA: 112.6 SQFT

2 SOUTH ELEVATION

A4.2 SCALE: 1/4"=1'-0"

1 22.03.16 ISSUED FOR SITE PLAN APPROVAL

REF. DATE: DESCRIPTION:

REVISIONS / ISSUANCE:

hicks partners
DISTINCTIVE ARCHITECTURE

THE HICKS PARTNERSHIP INC.
255 ROBINSON STREET, SUITE 200 DOWNTOWN ONTARIO, CANADA M5T 1B7
WWW.HICKSPARTNERS.CA T.905.339.1212

CLIENT:
**KERRIGAN-BOEYKENS
DETACHED GARAGE**

ADDRESS: 7005 POND STREET
CITY: MISSISSAUGA, ONT

DRAWING TITLE:
**NORTH ELEVATION
SOUTH ELEVATION**

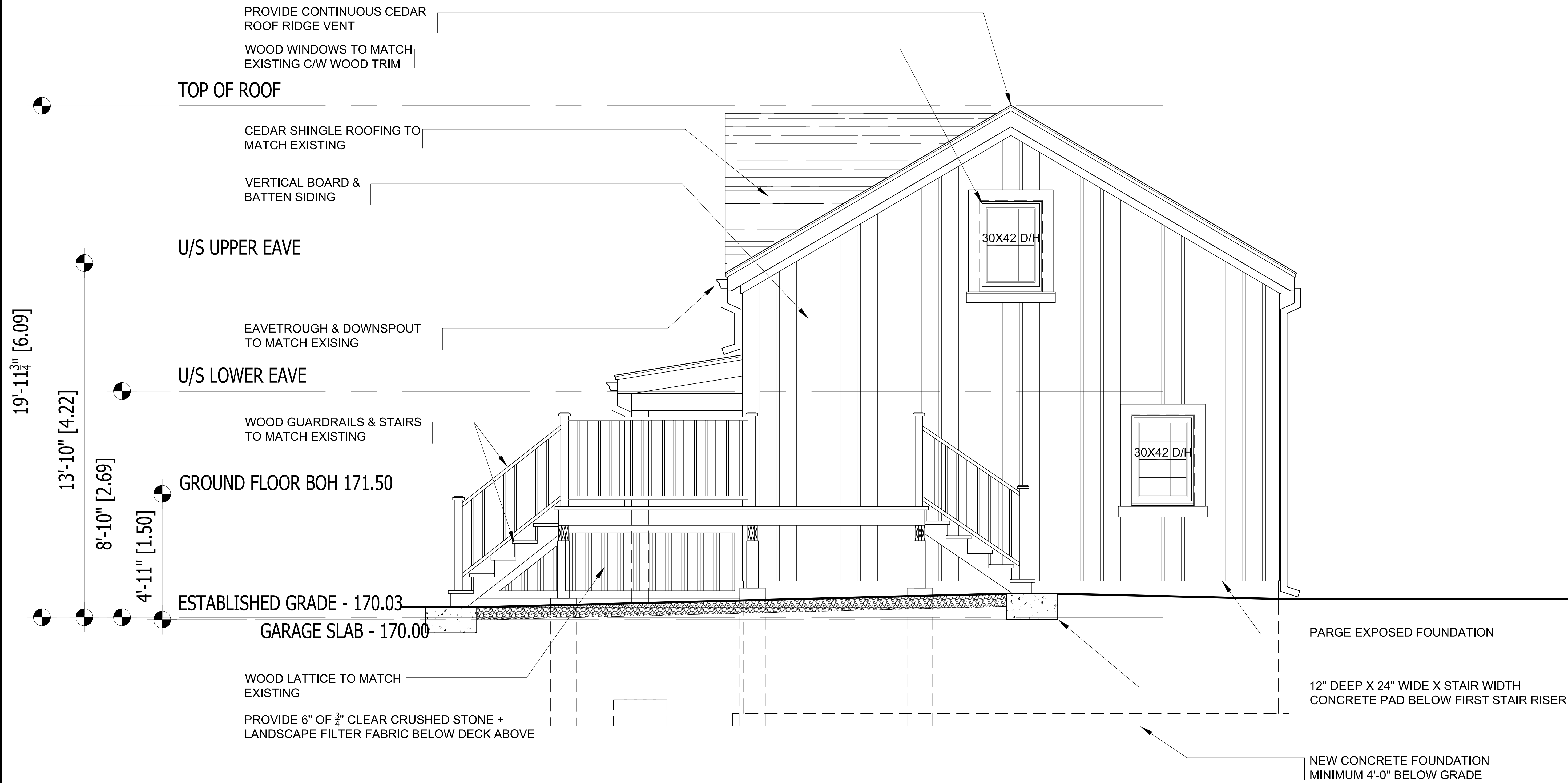
DRAWN: V.R.P.

DATE: 06.09.12 SCALE: 1/4"=1'-0"

JOB NUMBER: SHEET NUMBER:

1845-11 **A4.2**

7005 Pond Street
Garage South Elevation
1/2"=1'-0"
May 25, 2016



City of Mississauga

Memorandum



To: Chair and Members of the Meadowvale Village Heritage Conservation District Subcommittee

From: Paula Wubbenhorst, Senior Heritage Coordinator

Date: May 24, 2016

Subject: Request to Alter 1011 Old Derry Road

Meeting Date: June 7, 2016

Recommendation:

That the request to alter the property at 1011 Old Derry Road, as described below, be denied.

Memorandum Highlights:

- The owner of the subject property requests permission to install an in-ground swimming pool in the Meadowvale Village Heritage Conservation District
- The proposal includes additional built form, including decks and a large armour stone retaining wall, which do not meet the HCD Plan policies and guidelines

Background:

The subject property is designated under the *Ontario Heritage Act* as it forms part of the Meadowvale Village Heritage Conservation District (HCD). The owner proposes to install an in-ground swimming pool and make grade changes in order to accommodate it.

Comments:

Pools and changes to lot grade constitute substantive alterations in the 2014 Meadowvale Village Heritage Conservation District Plan. As such, a heritage permit is required.

Photographs of the property, two site plans, one marked "Permit" (metric), the other marked "Layout 2" (imperial), as well as three section drawings, the applicant's notes, and material samples, are attached as appendices 1 thru 6 respectively. A location map, showing the contours of the property, is attached as Appendix 7. This map illustrates that the property's rear yard drops down at least two metres.

A vinyl lined steel walled in-ground pool is proposed to the rear of the existing shared detached garage. A new patio and decking are also proposed to provide access from the driveway and residence. An additional patio is proposed at grade level in the northwest corner. The change in lot grade to accommodate the pool proper is about half a metre. An armour stone retaining wall is proposed to support the pool and raised western deck, which provides access to the pool steps.

The proposed wall is at its largest on the west (Pond Street) side where it measures six feet high by twenty-three feet wide. The boulders "will vary in dimension and size but will average about 20x20x20 inches."

Plantings are proposed for privacy and to mitigate the appearance of the armour stone wall. Additionally, a six foot wood fence is proposed on the north and west sides of the property. The chain link fence on the east side would remain.

The HCD Plan outlines a number of criteria upon which to evaluate a heritage permit application. These include the following:

- a) Impact to individual heritage property attributes;
- b) Impact to the HCD's form, scale, density and character;
- c) Impact to the immediate streetscapes;
- d) Impact to abutting properties;
- e) Visibility from the public realm;
- f) Degree of change to existing lot grade; and
- g) Quality of proposal, including but not limited to:
 - Compliance to Design Guidelines
 - Compliance to applicable City by-laws
 - Retention, restoration and reuse of original materials

Each of these criteria will be examined below.

Criteria	Evaluation
Impact to individual heritage property attributes	The house at the subject property is one of the two modern brick houses built in 1989/1990 side by side on Old Derry Road. The subject property's statement of significance relates to the built form of the house, garage, shared drive and open space within the lot. As such, the proposal has an impact on the property's open space. The construction of the pool, deck and armour stone wall would greatly reduce the open space on the property.
Impact to the HCD's form, scale, density and character	<p>The HCD Plan's "Heritage Conservation Context" (Part 2) provides the reference point for these criteria of consideration. This section notes that: Open vegetation areas, lack of density in built form, low volume lot coverage, traditional late nineteenth century landscaping and soft, naturalized landscaping characterize the district.</p> <p>Additionally, heritage attributes of note include:</p> <ul style="list-style-type: none"> • A consistency of building types, modest in architectural detail, vernacular style and size, reflecting the nineteenth century development of a milling village. • Later twentieth century residential styles that are compatible with the district character from a scale, materiality and massing perspective. <p>With its extensive built form and hardscaping, the proposal does not comply with the plan's Heritage Character Statement. Additionally, the built form proposed – the armour stone wall – is not vernacular, nor is it compatible with the scale, materiality and massing of landscape features within the district character.</p>
Impact to the	Because the property drops significantly to the rear and due to the

immediate streetscapes	existence of the residence and garage, the proposal would be not be visible from Old Derry Road. Currently the rear yard is visible from Pond Street. The guidelines permit privacy fencing when not visible from the public realm. If fencing is installed, the proposal would be visible from Pond Street.
Impact to abutting properties	The proposal would be visible to the abutting properties. With the significant land drop, the pool would sit above the northern and western fence lines, creating an overlook situation on abutting properties.
Visibility from the public realm	As mentioned previously, the proposal would be visible from Pond Street.
Degree of change to existing lot grade	As mentioned previously, the change in lot grade to accommodate the pool proper is about half a metre. Fill, decks and retaining walls are proposed to mitigate the drop. The topographical alteration is not supported in the HCD Plan.
Compliance to Design Guidelines	<p>Relevant guidelines from the Meadowvale Village Heritage Conservation District Plan include:</p> <p>Fences (4.2.1.13) Fencing, in keeping with traditional fencing styles within the Village, when required for safety and security, will be permitted where the following conditions are satisfied:</p> <ul style="list-style-type: none"> • Sited within the boundary of the private property • Constructed of fence materials which currently exist within the Village • Complies with City by-laws <p>Privacy fencing will be permitted in areas where it cannot be viewed from the public realm.</p> <p>Landscaping and Planting (4.2.1.14)</p> <ul style="list-style-type: none"> • The replacement of mature trees is encouraged • The use of native species known to the area is encouraged • Retaining walls deemed necessary to preserve natural features are permitted • The retention of existing open space is encouraged <p>Topography (4.2.4.6) Existing topography, natural drainage, mature vegetation and large diameter trees should be retained.</p> <p>The proposed fence is required for safety due to the fact that it is a pool enclosure. It is proposed to be “pressure treated” or cedar. To comply with the guidelines, the fence on the west side, which is visible from the public realm, should be picket style, rather than board on board, with openings at the maximum allowable under the pool enclosure by-law.</p>

	<p>When asked about the number of trees that are at risk, the applicant's agent stated that "The existing trees are meant to be replaced with healthier native plants." He also states that "all plants will be chosen to be in line with the Heritage style of the neighbourhood."</p> <p>The proposed retaining wall is for the purposes of supporting a pool rather than natural features. The proposal also represents a loss of existing open space. The proposal requires changes to the topography and natural drainage and several trees would be lost.</p>
Compliance to applicable City by-laws	The application is being vetted through the proper pool permit procedures to ensure it complies with applicable City by-laws.
Retention, restoration and reuse of original materials	There is no retention, restoration or reuse of original materials.

Overall, the main concern is the armour stone retaining wall. It is not compatible with the character of the neighbourhood. While plantings and fencing may minimize the appearance at some point in time, it will take time for plantings to have the desired camouflaging effect. Additionally, plantings and fencing are easily reversed. They may be removed by a future owner, exposing the large wall.

For all of the above stated reasons, Heritage Planning staff recommend that the proposed changes not be approved.

Conclusion:

The City is in receipt of an application to install a swimming pool at a property that is designated under Part V of the *Ontario Heritage Act* as it forms part of the Meadowvale Village Heritage Conservation District. Due to a steep drop in the property's grade, a large armour stone retaining wall is proposed to support the proposed installation. This wall in particular is not compatible with the district character, nor does it comply with the guidelines. As such, the application should be denied.

Appendices:

- Appendix 1: Property photos provided by applicant
- Appendix 2: "Permit" Site Plan
- Appendix 3: "Layout 2" Site Plan
- Appendix 4: Section drawings
- Appendix 5: Applicant Notes
- Appendix 6: Material Samples
- Appendix 7: City map showing contours

P .Wubbenhorst
Senior Heritage Coordinator
Culture Division

3 - 5
Appendix 1



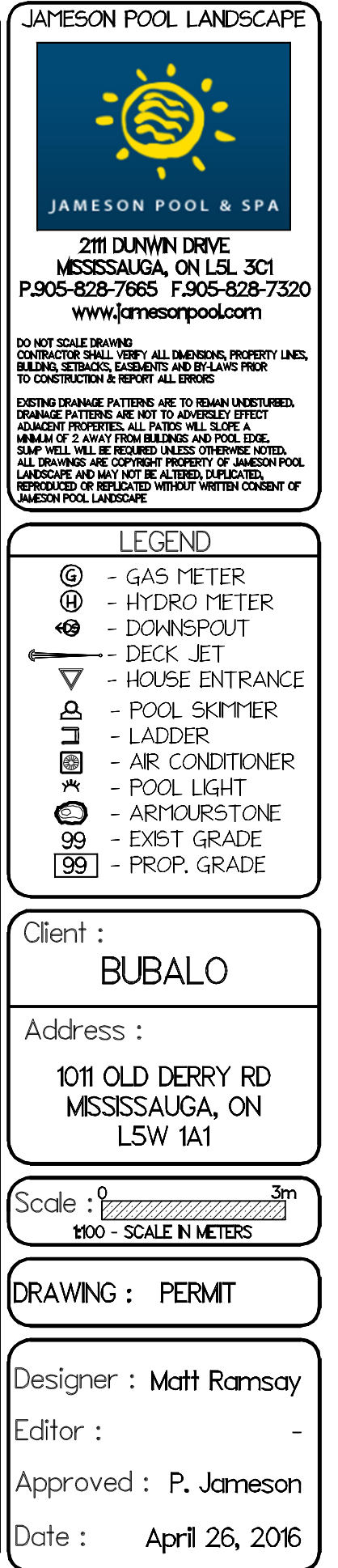
3 - 6
Appendix 1



3 - 7
Appendix 1







JAMESON POOL LANDSCAPE



2111 DUNWIN DRIVE
MISSISSAUGA, ON L5L 3C1
P.905-828-7665 F.905-828-7320
www.jamesonpool.com

DO NOT SCALE DRAWING
CONTRACTOR SHALL VERIFY ALL DIMENSIONS, PROPERTY LINES,
BUILDING, SETBACKS, EASEMENTS AND BY-LAWS PRIOR
TO CONSTRUCTION & REPORT ALL ERRORS

EXISTING DRAINAGE PATTERNS ARE TO REMAIN UNDISTURBED.
DRAINAGE PATTERNS ARE NOT TO ADVERSELY EFFECT
ADJACENT PROPERTIES. ALL PATIOS WILL SLOPE A
MINIMUM OF 2 AWAY FROM BUILDINGS AND POOL EDGE.
SUMP WELL WILL BE REQUIRED UNLESS OTHERWISE NOTED.
ALL DRAWINGS ARE COPYRIGHT PROPERTY OF JAMESON POOL
LANDSCAPE AND MAY NOT BE ALTERED, DUPLICATED,
REPRODUCED OR REPLICATED WITHOUT WRITTEN CONSENT OF
JAMESON POOL LANDSCAPE

LEGEND

- ⓐ - GAS METER
- ⓗ - HYDRO METER
- Ⓢ - DOWNSPOUT
- - DECK JET
- ▽ - HOUSE ENTRANCE
- Ⓜ - POOL SKIMMER
- Ⓛ - LADDER
- Ⓢ - AIR CONDITIONER
- ☀ - POOL LIGHT
- Ⓢ - ARMOURSTONE
- 99 - EXIST. GRADE
- 99 - PROP. GRADE

Client :

BUBALO

Address :

1011 OLD DERRY RD
MISSISSAUGA, ON
L5W 1A1

Scale : 0 5 10
1/8" = 1'-0" - SCALE IN FEET

DRAWING : LAYOUT 2

Designer : Matt Ramsay

Editor : -

Approved : P. Jameson

Date : April 20, 2016

GRADES TO REMAIN UNCHANGED AT PROPERTY LINES
SLOPES AND DRAINAGE TO REMAIN AS UNCHANGED AS POSSIBLE
DECORATIVE PLANTING TO CONTINUE AROUND PROPERTY
TO PREFER NATIVE SPECIES

3 - 10
DECORATIVE PLANTING
AROUND PROPERTY
TO USE NATIVE SPECIES

TOP OF RETAINING WALL SET @72"
GRADES TO REMAIN UNCHANGED
WITHIN 2' OF THE PROPERTY LINE
DRAINAGE PATTERN TO REMAIN UNCHANGED

LOWER PATIO AREA
SET @ EXIST. GRADE
PERMACON MONDRIAN 50

DECORATIVE PLANTING AROUND
PROPERTY LINE
NATIVE SPECIES

TOP OF RETAINING WALL SET @72"
GRADES TO REMAIN UNCHANGED
WITHIN 2' OF THE PROPERTY LINE
DRAINAGE PATTERN TO REMAIN UNCHANGED

TOP OF RETAINING WALL SET @24"
GRADES TO REMAIN UNCHANGED
WITHIN 2' OF THE PROPERTY LINE
DRAINAGE PATTERN TO REMAIN UNCHANGED

WOODEN DECK
FOR THE LOUNGERS

WOODEN STAIRS TO LOWER LEVEL
TO BE REVIEWED FOR BEST FIT

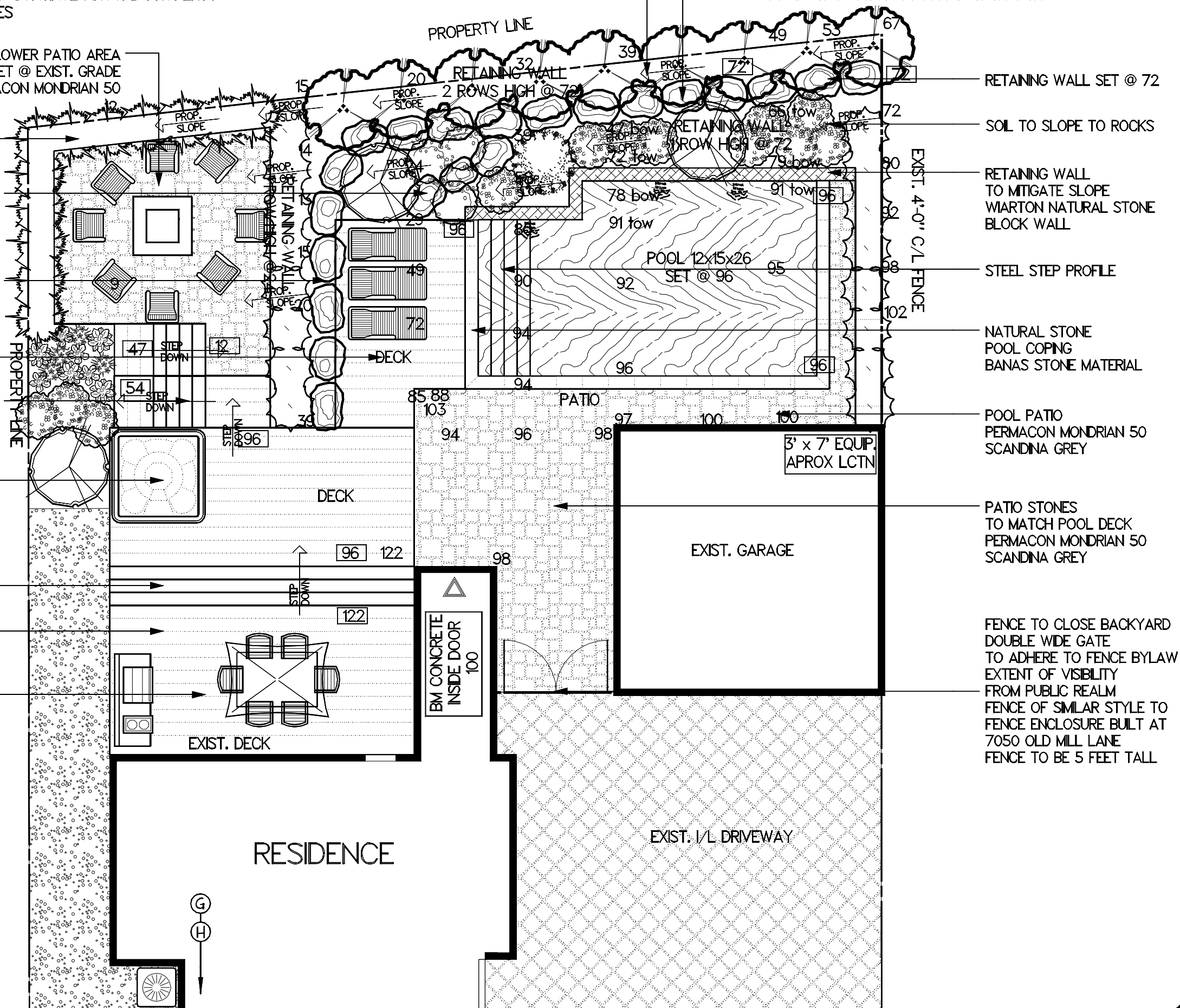
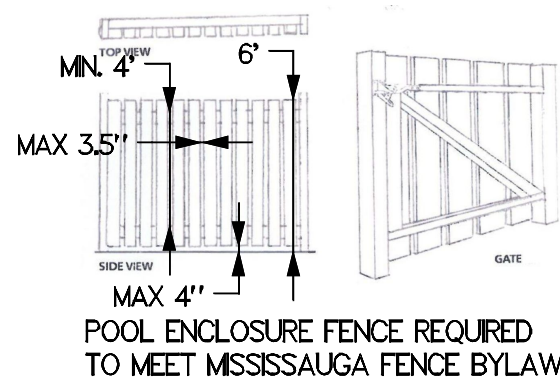
RELOCATED HOT TUB

TRANSITION STEP
TO LOWER PATIO

EXISTING DECK HEIGHT

KITCHEN AND DINING AREA

FENCE DETAIL



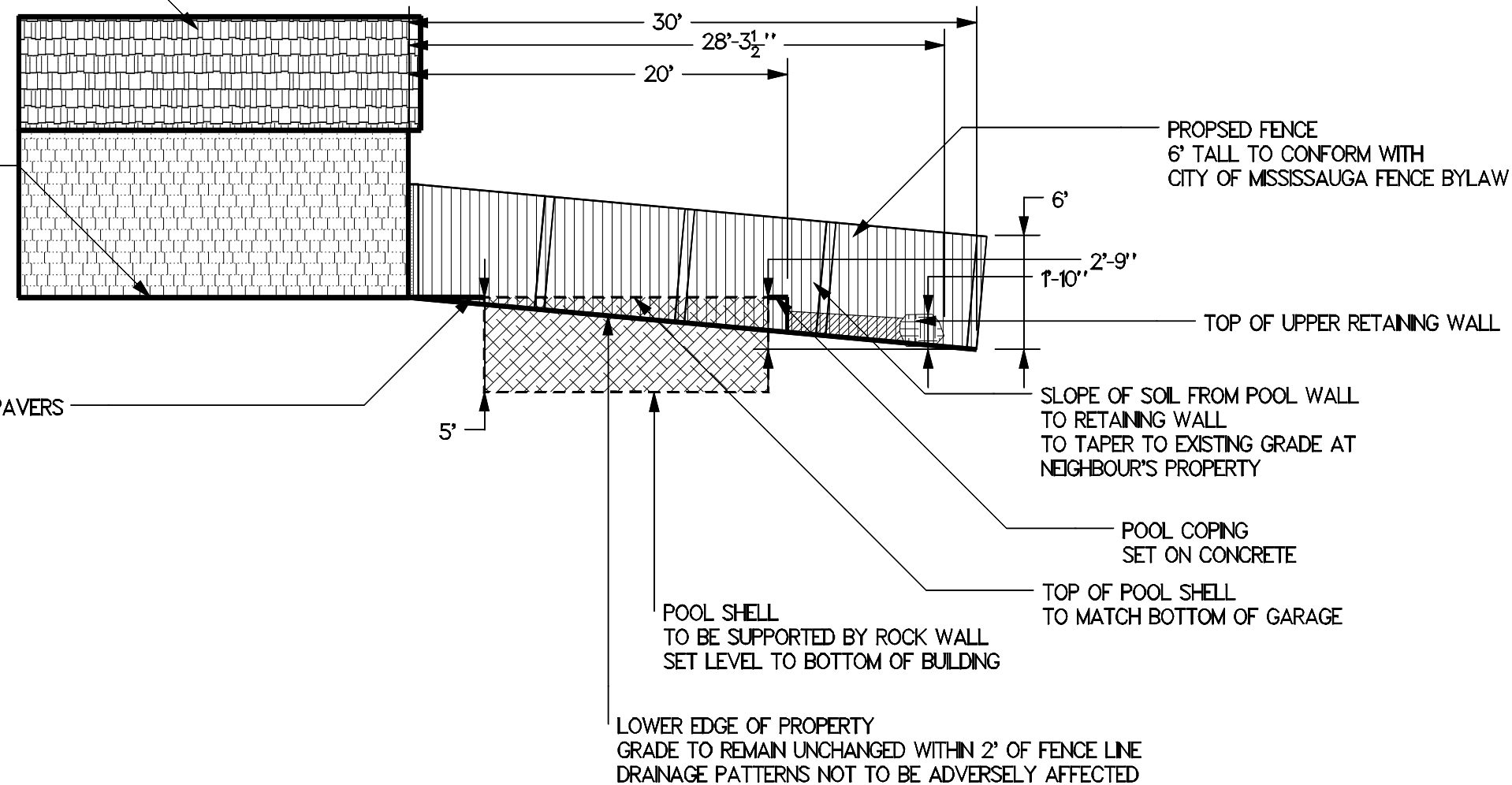
VIEW FROM 1009 OLD DERRY RD

ALL POOL AND WALL COMPONENTS
TO BE HIDDEN BY FENCE AND DECORATIVE PLANTING
NO DESIGN COMPONENTS TO BE WITHIN 2' OF THE PROPERTY LINE
DRAINAGE PATTERNS NOT TO BE ADVERSELY AFFECTED

EXISTING GARAGE. CONTINUES
ONTO NEIGHBOUR'S PROPERTY.

GARAGE FLOOR

TOP OF POOL PATIO AND PRECAST PAVERS



JAMESON POOL LANDSCAPE



2111 DUNWIN DRIVE
MISSISSAUGA, ON L5L 3C1
P.905-828-7665 F.905-828-7320
www.jamesonpool.com

DO NOT SCALE DRAWING
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TO CONSTRUCTION & REPORT ALL ERRORS

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DRAINAGE PATTERNS ARE NOT TO ADVERSELY AFFECT
ADJACENT PROPERTIES. ALL PATIOS WILL SLOPE A
MINIMUM OF 2' AWAY FROM BUILDINGS AND POOL EDGE.
SUMP WELL WILL BE REQUIRED UNLESS OTHERWISE NOTED.
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JAMESON POOL LANDSCAPE

LEGEND

- ⓐ - GAS METER
- ⓑ - HYDRO METER
- Ⓒ - DOWNSPOUT
- Ⓓ - DECK JET
- Ⓔ - HOUSE ENTRANCE
- Ⓕ - POOL SKIMMER
- Ⓖ - LADDER
- Ⓗ - AIR CONDITIONER
- Ⓘ - POOL LIGHT
- Ⓚ - ARMOURSTONE
- 99 - EXIST GRADE
- 99 - PROP. GRADE

Client :

BUBALO

Address :

1011 OLD DERRY RD
MISSISSAUGA, ON
L5W 1A1

Scale : 0 5 10
1/8" = 1'-0" - SCALE IN FEET

DRAWING : SECTION

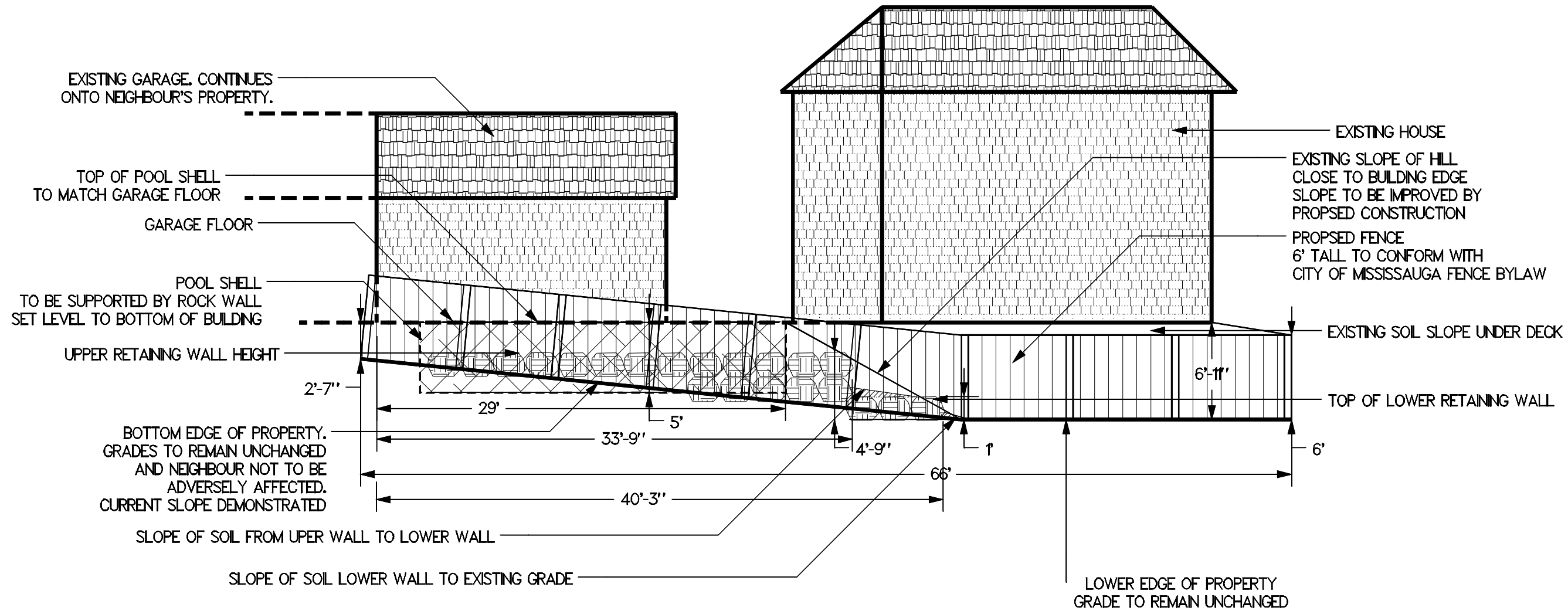
Designer : Matt Ramsay

Editor : -

Approved : P. Jameson

Date : April 20, 2016

VIEW FROM 7015 POND ST
 ALL POOL AND WALL COMPONENTS
 TO BE HIDDEN BY FENCE AND DECORATIVE PLANTING
 NO DESIGN COMPONENTS TO BE WITHIN 2' OF THE PROPERTY LINE
 DRAINAGE PATTERNS NOT TO BE ADVERSELY AFFECTED



JAMESON POOL LANDSCAPE



2111 DUNWIN DRIVE
 MISSISSAUGA, ON L5L 3C1
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- Ⓚ - ARMOURSTONE
- 99 - EXIST GRADE
- 99 - PROP. GRADE

Client :

BUBALO

Address :

1011 OLD DERRY RD
 MISSISSAUGA, ON
 L5W 1A1

Scale : 0 5 10
 1/8" = 1'-0" - SCALE IN FEET

DRAWING : SECTION

Designer : Matt Ramsay

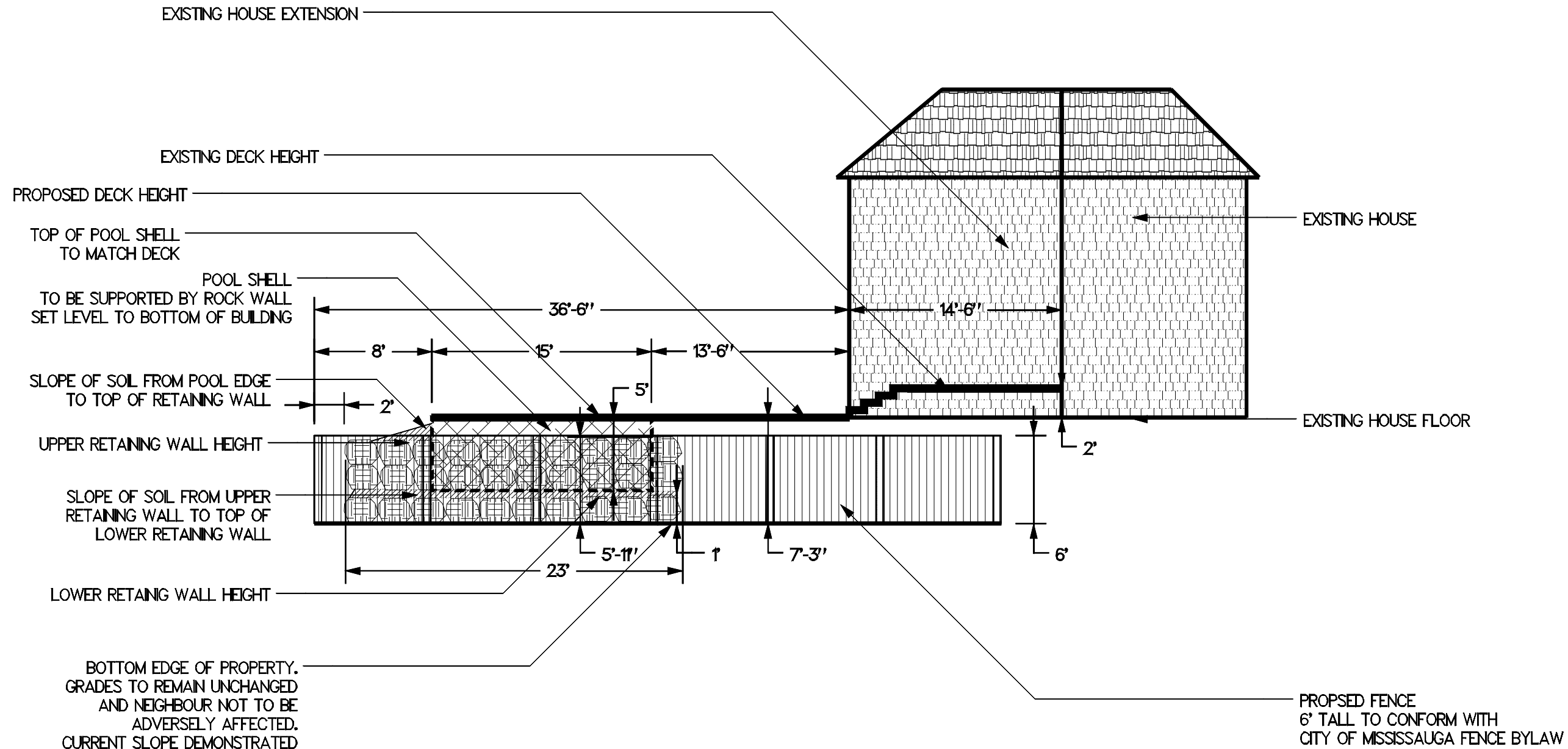
Editor : -

Approved : P. Jameson

Date : April 20, 2016

VIEW FROM 7005 POND ST
 ALL POOL AND WALL COMPONENTS
 TO BE HIDDEN BY FENCE AND DECORATIVE PLANTING
 NO DESIGN COMPONENTS TO BE WITHIN 2' OF THE PROPERTY LINE
 DRAINAGE PATTERNS NOT TO BE ADVERSELY AFFECTED

Appendix 4-3

**JAMESON POOL LANDSCAPE**

2111 DUNWIN DRIVE
 MISSISSAUGA, ON L5L 3C1
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 JAMESON POOL LANDSCAPE

LEGEND

- ⓐ - GAS METER
- ⓗ - HYDRO METER
- Ⓢ - DOWNSPOUT
- Ⓣ - DECK JET
- ▽ - HOUSE ENTRANCE
- Ⓟ - POOL SKIMMER
- Ⓛ - LADDER
- Ⓢ - AIR CONDITIONER
- Ⓢ - POOL LIGHT
- Ⓢ - ARMOURSTONE
- 99 - EXIST GRADE
- 99 - PROP. GRADE

Client :

BUBALO

Address :

1011 OLD DERRY RD
 MISSISSAUGA, ON
 L5W 1A1

Scale : 0 5 10
 1/8" = 1'-0" - SCALE IN FEET

DRAWING : SECTION

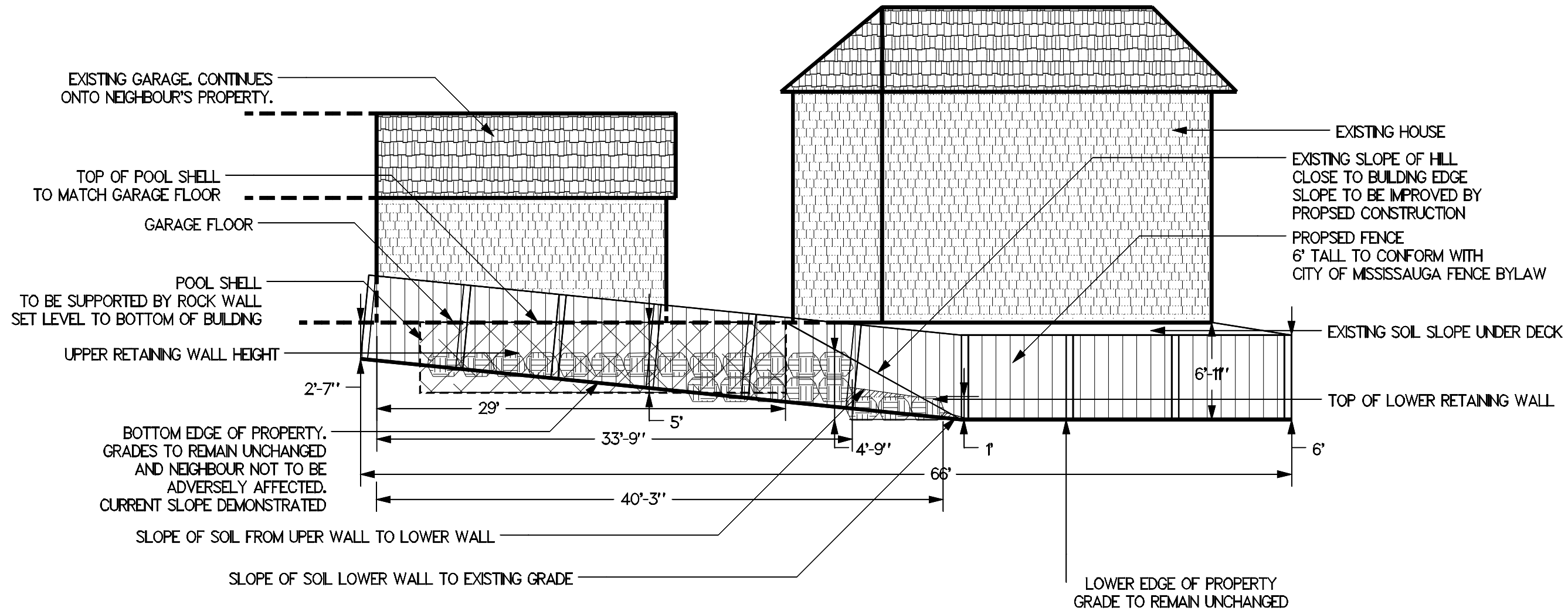
Designer : Matt Ramsay

Editor : -

Approved : P. Jameson

Date : April 20, 2016

VIEW FROM 7015 POND ST
 ALL POOL AND WALL COMPONENTS
 TO BE HIDDEN BY FENCE AND DECORATIVE PLANTING
 NO DESIGN COMPONENTS TO BE WITHIN 2' OF THE PROPERTY LINE
 DRAINAGE PATTERNS NOT TO BE ADVERSELY AFFECTED



JAMESON POOL LANDSCAPE



2111 DUNWIN DRIVE
 MISSISSAUGA, ON L5L 3C1
 P.905-828-7665 F.905-828-7320
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- 99 - EXIST GRADE
- 99 - PROP. GRADE

Client :

BUBALO

Address :

1011 OLD DERRY RD
 MISSISSAUGA, ON
 L5W 1A1

Scale : 0 5 10
 1/8" = 1'-0" - SCALE IN FEET

DRAWING : SECTION

Designer : Matt Ramsay

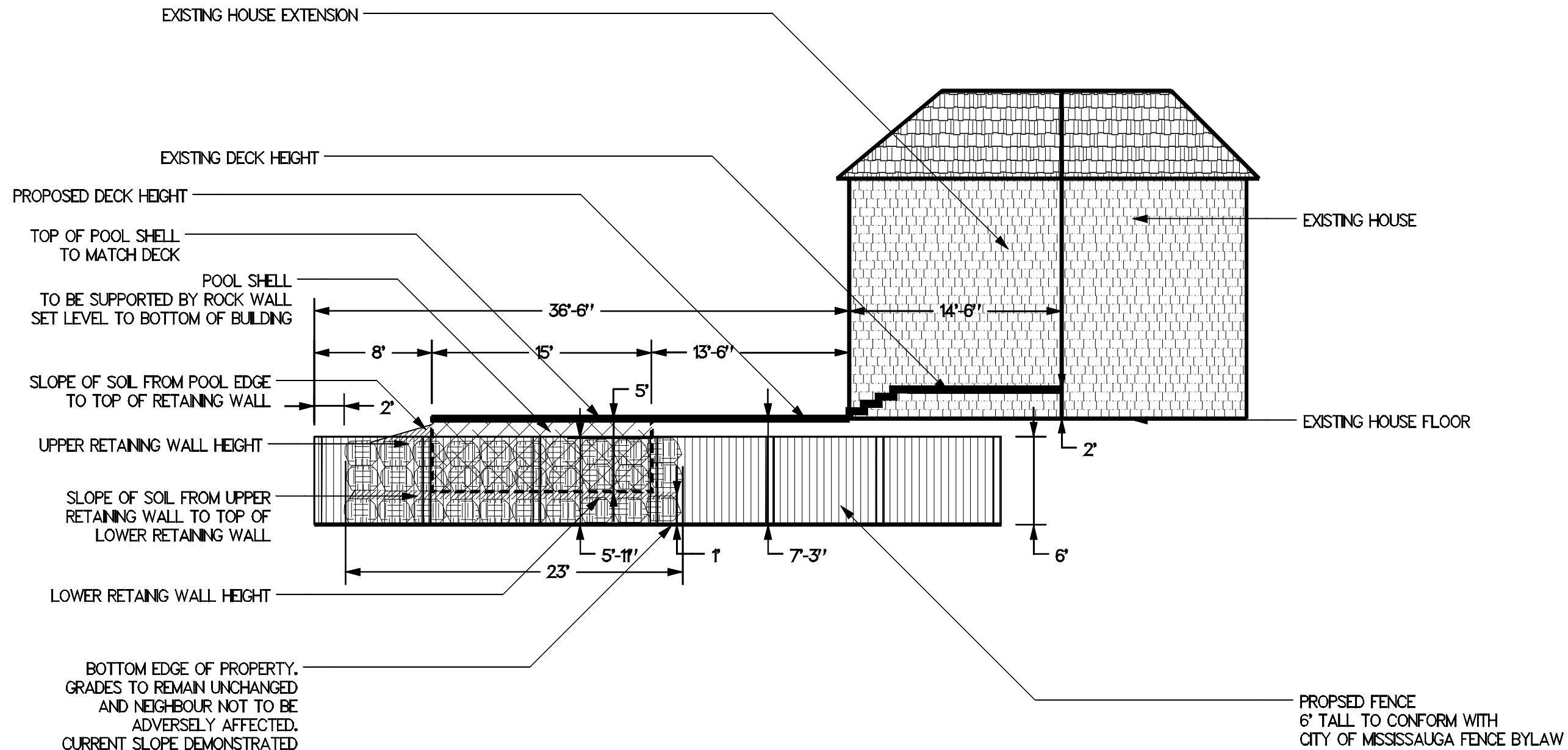
Editor : -

Approved : P. Jameson

Date : April 20, 2016

VIEW FROM 7005 POND ST
 ALL POOL AND WALL COMPONENTS
 TO BE HIDDEN BY FENCE AND DECORATIVE PLANTING
 NO DESIGN COMPONENTS TO BE WITHIN 2' OF THE PROPERTY LINE
 DRAINAGE PATTERNS NOT TO BE ADVERSELY AFFECTED

Appendix 5-2



JAMESON POOL LANDSCAPE



2111 DUNWIN DRIVE
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Client :

BUBALO

Address :

1011 OLD DERRY RD
 MISSISSAUGA, ON
 L5W 1A1

Scale : 0 5 10
 1/8" = 1'-0" - SCALE IN FEET

DRAWING : SECTION

Designer : Matt Ramsay

Editor : -

Approved : P. Jameson

Date : April 20, 2016



“Rock Wall”



“Warton Natural Stone Block Wall”

