

City of Mississauga

# Additional Agenda



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## General Committee

### Date

January 30, 2019

### Time

9:00 A.M.

### Location

Council Chamber

2<sup>nd</sup> Floor

300 City Centre Drive

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## REMOVAL OF CORPORATE REPORT

- 8.7 Speed Limit Review – Windwood Drive between Glen Erin Drive and Erin Mills Parkway (Ward 9)

Please Note: Item 8.7 is removed from the agenda and will be considered at the February 13, 2019 General Committee meeting.

## ADDITIONAL CORPORATE REPORT

8. 22 INFORMATION STATUS REPORT AND REMOVAL OF "H" HOLDING SYMBOL FROM ZONING BY-LAW 0225-2007 (WARD 7)  
Application to remove the "H" holding symbol to permit two 61 storey apartments, two park blocks and two new streets  
3980 Confederation Parkway, southwest corner of Burnhamthorpe Road West and Confederation Parkway  
Owner: Rogers Telecommunications Limited

Please note: Due to the cancellation of Planning and Development Committee on January 28, 2019 and the urgency of this matter, this report is being added to the General Committee agenda.

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# City of Mississauga

## Corporate Report



Date: January 30, 2019

To: Chair and Members of General Committee

From: Andrew Whittemore, M.U.R.P., Commissioner of  
Planning and Building

Originator's file:  
H-OZ 17/002 W7

Meeting Date:  
2019/01/30

### Subject

#### **INFORMATION STATUS REPORT AND REMOVAL OF "H" HOLDING SYMBOL FROM ZONING BY-LAW 0225-2007 (WARD 7)**

Application to remove the "H" holding symbol to permit two 61 storey apartments, two park blocks and two new streets

3980 Confederation Parkway, southwest corner of Burnhamthorpe Road West and Confederation Parkway

Owner: Rogers Telecommunications Limited

File: H-OZ 17/002 W7

### Recommendation

That the report dated January 8, 2019, from the Commissioner of Planning and Building outlining the details of the proposed development and recommending approval of the removal of the "H" holding symbol application, under File H-OZ 17/002 W7, Rogers Telecommunications Limited, 3980 Confederation Parkway, be received for information, and that the Planning and Building Department be authorized to prepare the by-law for Council's passage.

### Background

On July 2, 2008, City Council adopted PDC Recommendation PDC-0053-2008 which requires that prior to approval of an application to remove the "H" holding symbol for all lands located within the downtown, the Planning and Building Department prepare an Information Status Report for consideration by Planning and Development Committee and Council, outlining the details of the development proposal.

Typically the Information Status Report is prepared in advance of the report to seek permission to prepare the by-law to lift the "H" holding symbol, however, due to time constraints and in an effort to not delay construction, the two reports were combined.

The purpose of this report is to seek permission to lift the "H" holding symbol to allow for the first phase of the project known as M-City to proceed. Appendix 1 provides detailed information on the area context, proposed development and planning regulations.

Upon removal of the "H" holding symbol the lands are to be developed for two 61 storey condominium towers above mixed use podiums, two public park blocks, and two new public streets (Soho Avenue and Quartz Road). Site Plan applications are currently under review for the two condominium developments under Files SP 17-50 W7 and SP 17-162 W7. The details of the road design and dedication of park blocks will be covered within the required Development Agreement prior to the by-law to lift the "H" holding symbol.

## Comments

Section 36 of the *Planning Act* provides the legislative framework for the removal of the "H" holding symbol and allows municipalities to amend a by-law to remove the "H" holding symbol. A formal public meeting is not required; however notice of Council's intention to pass the amending by-law must be given to all land owners within 120 m (400 ft.) to which the proposed amending by-law would apply. Notice was given to all affected land owners by pre-paid first class mail.

Aerial Photo of 3980 Confederation Parkway





Applicant's rendering of the two new 61 storey mixed use buildings



The conditions for removing the "H" holding symbol will be fulfilled as follows:

1. The owner will execute and enter into a Development Agreement, satisfactory to The Corporation of the City of Mississauga, addressing and agreeing to, amongst other things, the installation or placement of all required municipal works, municipal walkways, land dedications and the provision of required securities.

This agreement must be complete and approved by Council prior to Council's approval of the By-law to remove the "H" holding symbol.

It is anticipated that the Development Agreement will be finalized and brought to Council in February, and then the By-law may follow to remove the "H" holding symbol. The development agreement will address the installation of the streetscape surrounding each block (sidewalks, street trees, unit paving, benches, waste receptacles, street lighting), the dedication and construction of two new roads (Soho Avenue and Quartz Road), the dedication of two new park blocks, along with provision of securities to ensure the required works are completed.

## Financial Impact

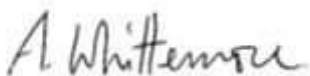
All fees paid by developers are strictly governed by legislation, regulation and City by-laws. Fees are required to be paid prior to application approval, except where otherwise may be prescribed. These include those due to the City of Mississauga as well as any other external agency.

## Conclusion

The conditions to remove the "H" holding symbol are anticipated to be fulfilled through the approval of the Development Agreement. The "H" holding symbol can be removed once the Development Agreement has been approved.

## Attachments

Appendix 1: Detailed Information




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Andrew Whitemore, M.U.R.P., Commissioner of Planning and Building

Prepared by: Jonathan Famme, Development Planner

## Detailed Information

**Owner: Rogers Telecommunications Limited**

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## 1. Site Context

The property is located within the Downtown Core, south of Burnhamthorpe Road West and west of Confederation Parkway. The area contains a mix of high density residential apartments and mixed use buildings. The site is currently vacant.

Aerial Photo of 3980 Confederation Parkway



Property Size and Use	
Frontages:	
Burnhamthorpe Road West	167 m (548 ft.)
Confederation Parkway	150 m (492 ft.)
Webb Drive	234 m (768 ft.)
Gross Lot Area:	2.83 ha (6.99 ac.)
Existing Uses:	vacant

The surrounding land uses are:

- North: Mixed use buildings (36-48 storeys) containing apartments, restaurants, medical, and fitness uses, sales centre, YMCA to the northeast, and townhomes and detached dwellings to the northwest
- East: 10 storey office building with ground floor retail including bank, dentist and restaurant
- South: 23 storey apartment building, John “Bud” Cleary Park
- West: Vacant lands, 28 storey mixed use building and 48 storey apartment building

Image of existing conditions facing southwest





## **2. Neighbourhood Context**

Based on the 2011 census, the existing population of the Downtown Core character area is 23,075 with a population density of 90.60 people/ha. With a median age of 34 (compared to the City's median age of 39), 74.52% of the population within the Downtown Core is of working age (compared to the city's working age population of 70.53%). The population percentage identified as children in the Downtown Core is 15.04%, lower than the city average (18.05%). Finally, 10.42% of the population in this Character Area is categorized as seniors while the senior population for the city is 11.42%. Therefore, the overall population for the Downtown Core is slightly younger than the population of the entire city. By 2031 and 2041, the population for this character area is forecasted to be 61,200, and 70,500, respectively. On average, the total number of persons within a household in this area is 2, with 97.96% of the population living in apartments with five storeys or higher (significantly greater than the City's 25.07% average for this dwelling type).

### **Other Development Applications**

The City is currently processing a site plan application for a 34 and 25 storey tower with ground floor commercial uses at 4055 and 4085 Parkside Village Drive (northwest of Burnhamthorpe Road West and Confederation Parkway), and a 43 storey condominium and 19 storey Peel Housing rental apartment with ground floor commercial uses at 360 City Centre Drive (northeast corner of City Centre Drive and Confederation Parkway).

### **Community Services and Infrastructure**

This application will construct two new public roads and extend the required underground services to serve the M-City development. Quartz Road will run from Burnhamthorpe Road West to Webb Drive along the westerly limits of Phase 1 and Soho Avenue will run midblock from Confederation Parkway in a westerly direction. In addition, two new public park blocks on the west side of the proposed Quartz Road will be provided to serve the community and link Zonta Meadows Park and linear park system to the north with John "Bud" Cleary Park to the south.

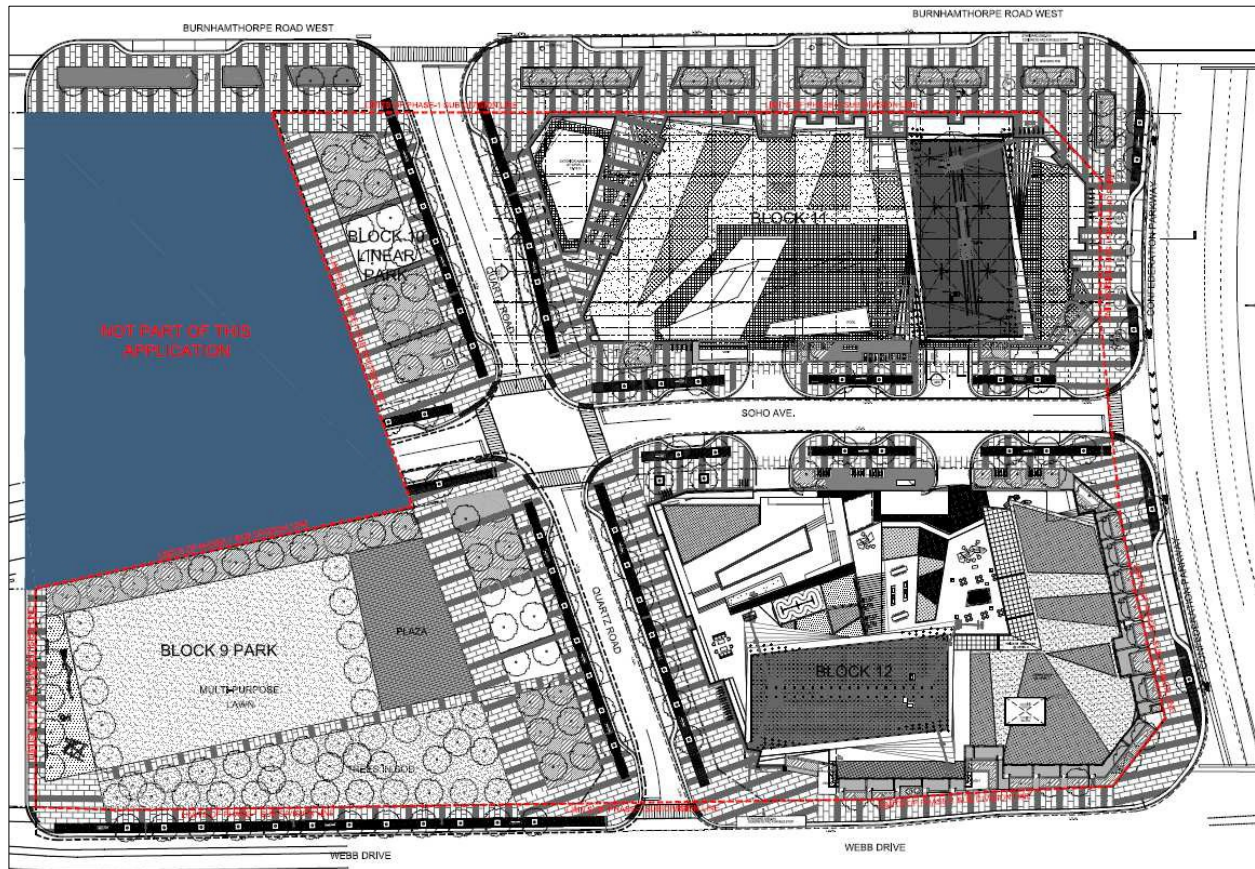
### 3. Project Details

The applications are to permit two new 61 storey apartment buildings with 1,576 units and 3,563 m<sup>2</sup> (38,352 sq.ft.) of retail with two new public roads and two new park blocks.

Development Proposal		
Applications submitted:	Received: March 13, 2017 Amended: July 19, 2018	
Developer/ Owner:	Rogers Telecommunications Limited	
Applicant:	Urban Capital	
Number of units:	783 (M1) 793 (M2) 1,576 (TOTAL)	
Retail Gross Floor Area:	2,554 m <sup>2</sup> (27,491 ft <sup>2</sup> ) (M1) 1,009 m <sup>2</sup> (10,861 ft <sup>2</sup> ) (M2) 3,563 m <sup>2</sup> (38,352 ft <sup>2</sup> ) (TOTAL)	
Total Gross Floor Area:	58,937 m <sup>2</sup> (634,392 ft <sup>2</sup> ) (M1) 59,402 m <sup>2</sup> (639,400 ft <sup>2</sup> ) (M2) 118,339 m <sup>2</sup> (1,273,790 ft <sup>2</sup> ) (TOTAL)	
Height:	61 storeys (M1) 61 storeys (M2)	
Floor Space Index:	9.34 (M1) 8.51 (M2)	
Amenity Area:	934 m <sup>2</sup> (10,053 ft <sup>2</sup> ) - Interior (M1) 1,676 m <sup>2</sup> (18,040 ft <sup>2</sup> ) - Exterior (M1) 1,066 m <sup>2</sup> (11,474 ft <sup>2</sup> ) -Interior (M2) 2,517 m <sup>2</sup> (27,093 ft <sup>2</sup> ) - Exterior (M2) 2,000 m <sup>2</sup> (21,528 ft <sup>2</sup> ) -Interior (TOTAL) 4,193 m <sup>2</sup> (45,133 ft <sup>2</sup> ) - Exterior (TOTAL) 6,193 m <sup>2</sup> (66,661 ft <sup>2</sup> ) (TOTAL)	
Anticipated Population:	3,451* *Average household sizes for all units (by type) based on the 2016 Census	
Parking:	Required	Proposed
resident spaces (M1)	783	789
visitor spaces/retail (M1)	117	117 (plus 2 car share)
Total (M1)	900	908
resident spaces (M2)	793	793
visitor spaces/retail (M2)	119	119
Total (M2)	912	912
Total resident spaces	1576	1582
Total visitor spaces/retail	236	238
Total (M1 & M2)	1812	1820
Green Initiatives:	<ul style="list-style-type: none"> <li>Storm water vault room in P1 garage, green roof, electric vehicle charging station, car share parking spaces and bird friendly glass</li> </ul>	

## Concept Plan and Elevations

### Concept Plan



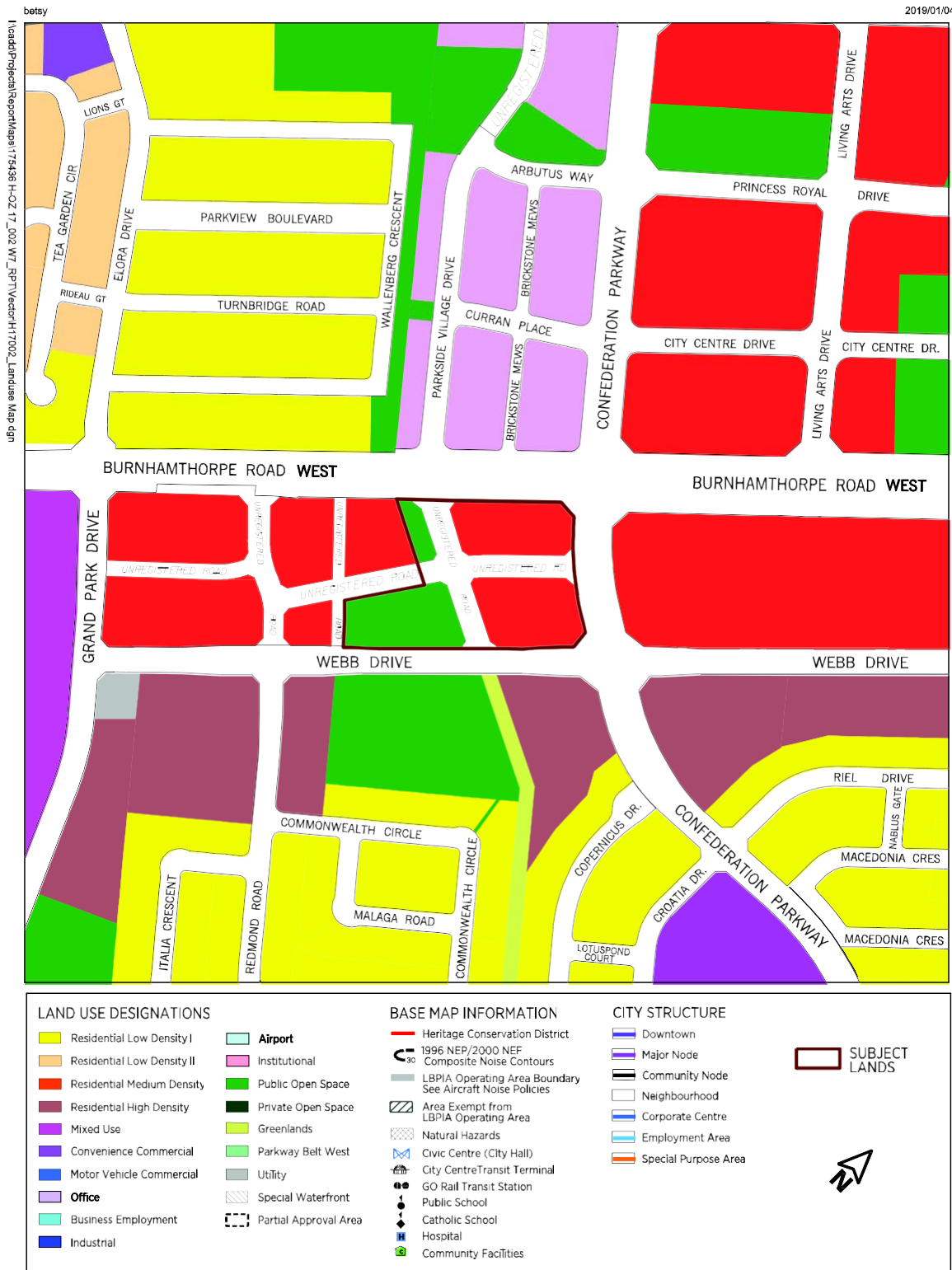


Applicant's rendering of the two new 61 storey mixed use buildings

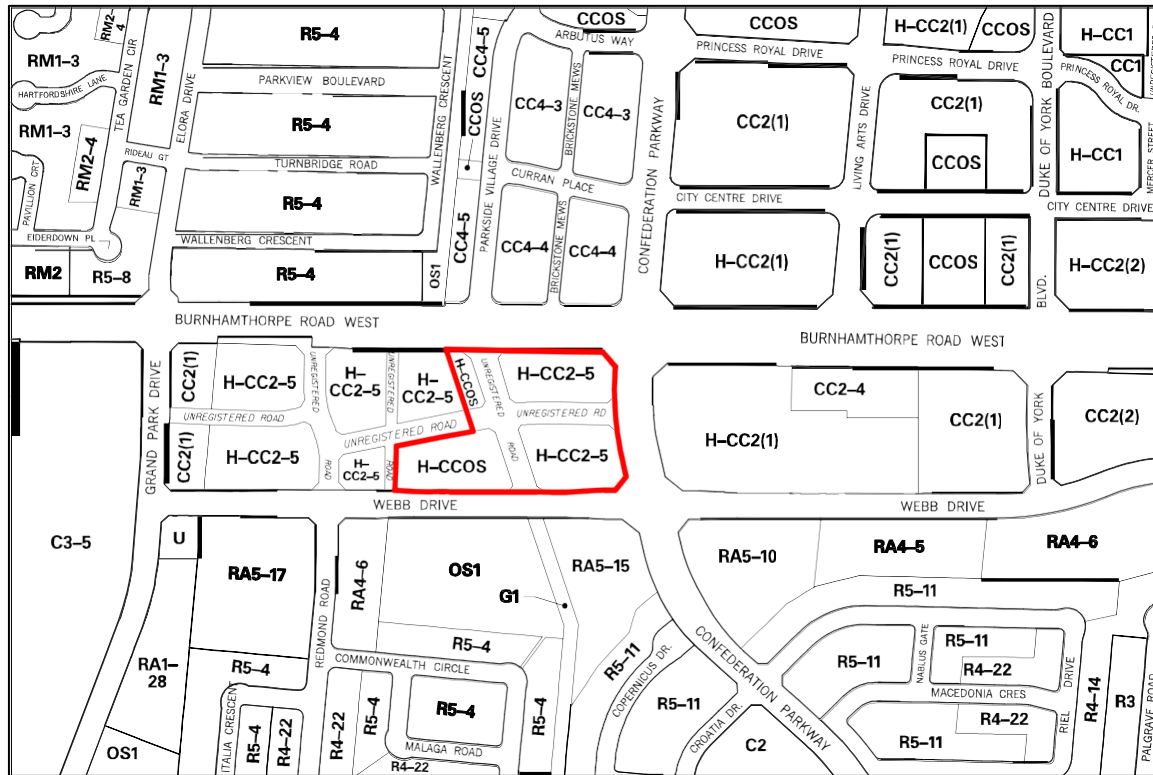




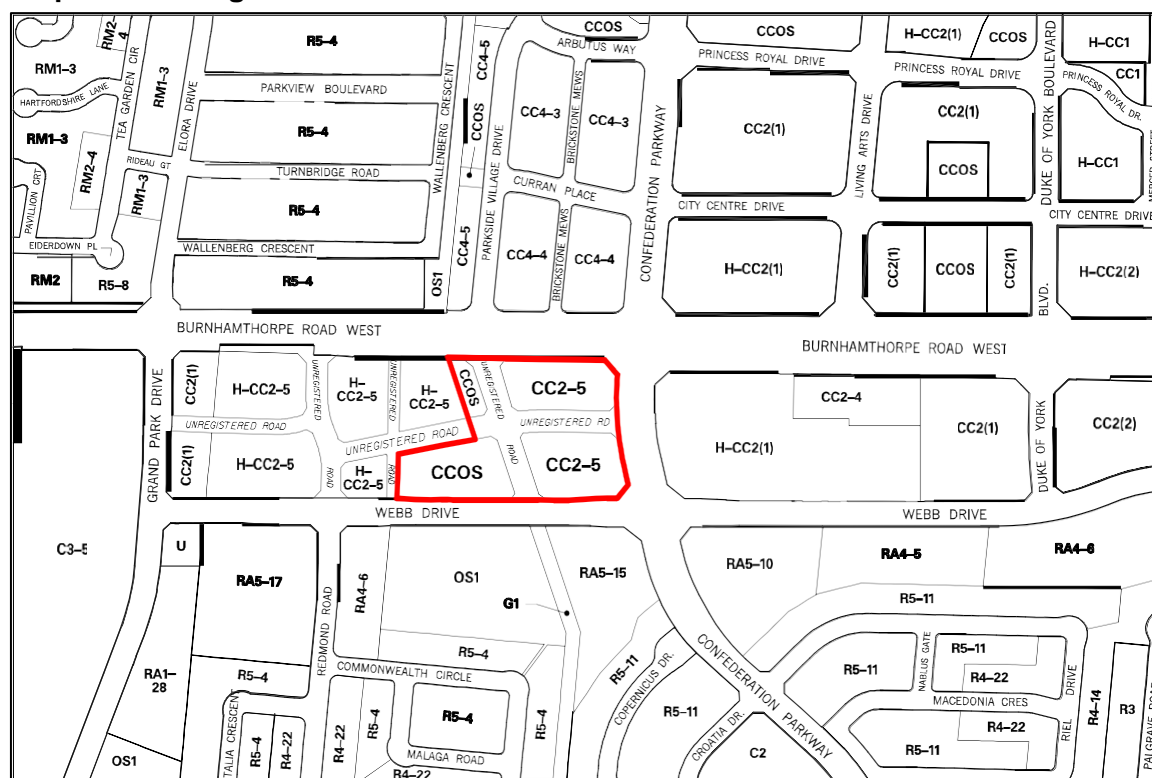
#### 4. Land Use Policies and Regulations Excerpt of Downtown Core Land Use



## Existing Zoning and General Context



## Proposed Zoning and General Context



## Existing and Proposed Mississauga Official Plan Designation for the Subject Site

### Existing Designation

**Downtown Mixed Use** which permits all forms of high density residential development, offices, retail commercial uses, civic and cultural facilities, hotel and conference facilities, restaurants, entertainment facilities, community infrastructure and parkland.

**Public Open Space** which permits community infrastructure and parkland.

(Note: There is no change to the Official Plan or designations)

### Existing and Proposed Zoning

#### Existing Zoning

**H-CC2-5** (City Centre Mixed Use) which restricts development until an executed servicing and development agreement is entered into for all required municipal works including streetscape and provision of parkland, along with all securities. Once the “H” holding symbol is lifted CC2-5 permits apartment dwellings, long-term care dwellings, and retirement dwellings, offices, medical offices, restaurants and retail commercial uses.

**H-CCOS** (City Centre Open Space) which restricts development until an executed servicing and development agreement is entered into for all required municipal works including streetscape and provision of parkland, along with all securities. Once the “H” holding symbol is lifted CCOS permits active and passive recreational uses.

**Proposed Zoning**

**CC2-5** (City Centre Mixed Use) which permits apartment dwellings, long-term care dwellings, and retirement dwellings, offices, medical offices, restaurants and retail commercial uses.

**CCOS** (City Centre Open Space) which permits active and passive recreational uses.



