

**LEGEND OF EXISTING FEATURES**

- SITE BOUNDARY
- EXISTING CONTOURS
- Ex. 300mm<sup>Ø</sup> SAN
- Ex. 200mm<sup>Ø</sup> WTM
- Ex. 375mm<sup>Ø</sup> STM
- Ex. Drop Curb
- EXISTING CURB
- EXISTING BUILDING
- EXISTING FENCE
- EXISTING RETAINING WALL
- EXISTING RIP RAP
- EXISTING DOWNSPOUT
- EXISTING BOLLARD
- EXISTING MAN DOOR
- EX. FLOW CONTROL ROOF DRAIN
- EMBANKMENT (SLOPE AS NOTED)
- MH 14.6m-200mm<sup>Ø</sup> SAN @ 1.5%
- MH 21.3m-300mm<sup>Ø</sup> STM @ 1.3%
- HYD. SET
- 200mm<sup>Ø</sup> WTM

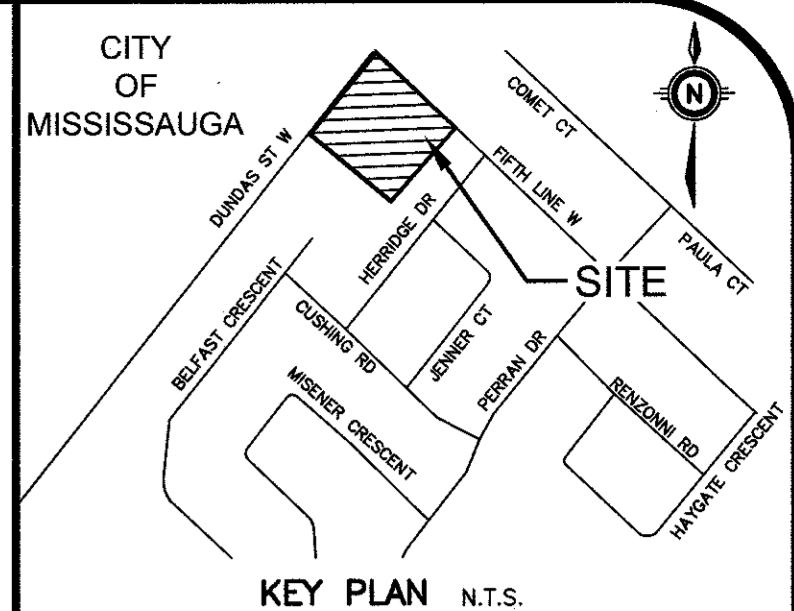
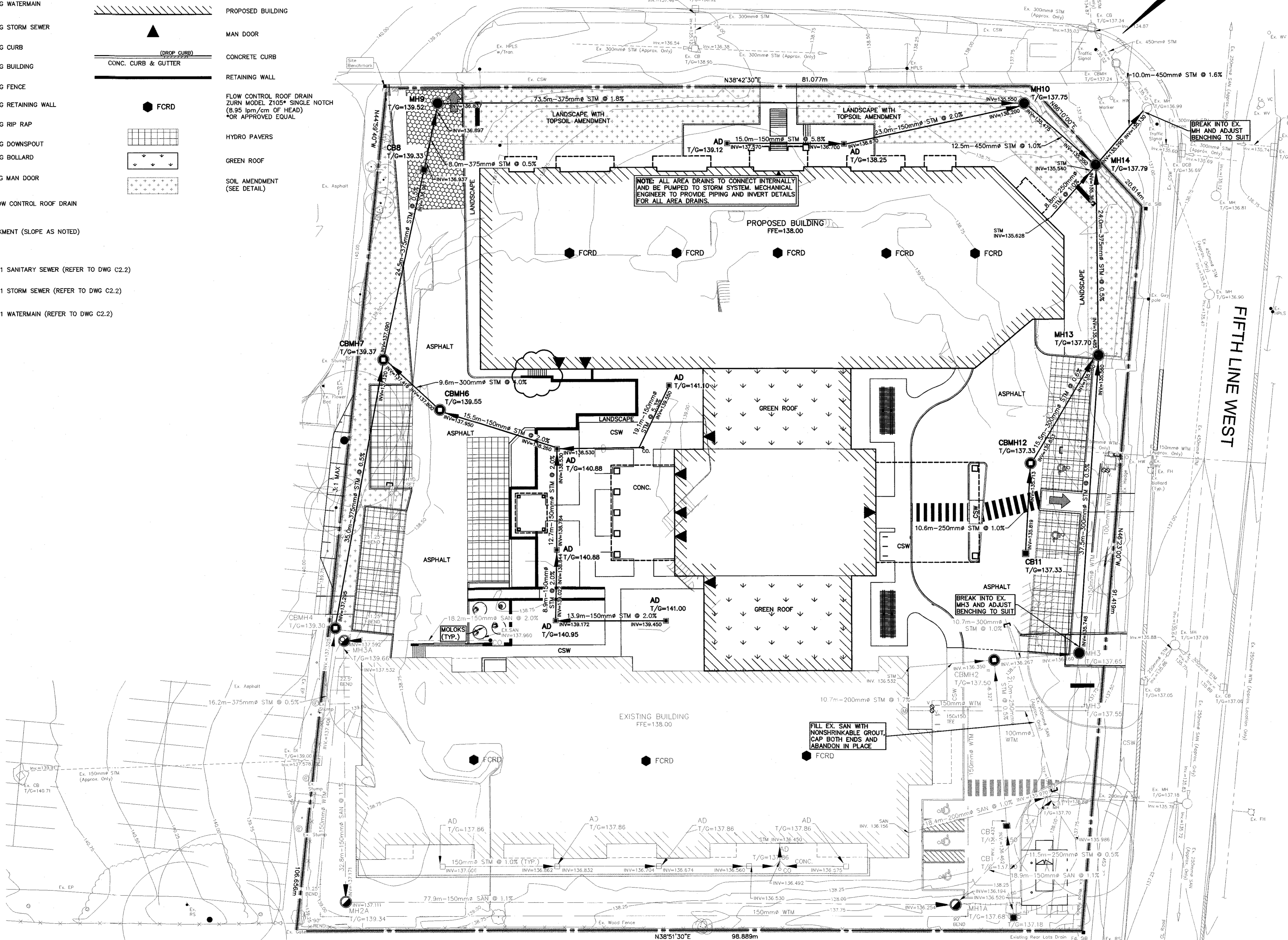
**LEGEND OF PROPOSED FEATURES**

- EMBANKMENT (SLOPE AS NOTED)
- STORM SEWER
- SHALLOW PIPE INSULATION (SEE DETAIL)
- PROPOSED BUILDING
- MAN DOOR
- CONCRETE CURB
- RETAINING WALL
- FLOW CONTROL ROOF DRAIN ZURN MODEL Z105<sup>+</sup> SINGLE NOTCH (8.95 lpm/cm OF HEAD) \*OR APPROVED EQUAL
- HYDRO PAVERS
- GREEN ROOF
- SOIL AMENDMENT (SEE DETAIL)
- FCRD
- FCRD
- FCRD

- PHASE 1 SANITARY SEWER (REFER TO DWG C2.2)
- PHASE 1 STORM SEWER (REFER TO DWG C2.2)
- PHASE 1 WATERMAIN (REFER TO DWG C2.2)

NOTE: CONTRACTOR TO VERIFY LOCATION, DEPTH AND SIZES OF EXISTING ONSITE AND MUNICIPAL SERVICES PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES.

**DUNDAS STREET WEST**



**NOTE TO CONTRACTOR :**  
DO NOT SCALE DRAWINGS.  
CONTRACTORS MUST CHECK AND VERIFY ALL DIMENSIONS AND REPORT ANY DISCREPANCIES TO THE ENGINEER BEFORE PROCEEDING WITH THE WORK.  
ALL DRAWINGS REMAIN THE PROPERTY OF THE ENGINEER AND SHALL NOT BE REPRODUCED OR REUSED WITHOUT THE ENGINEER'S WRITTEN PERMISSION.  
THE OWNER/ARCHITECT/CONTRACTOR IS ADVISED THAT M.T.E. CONSULTANTS INC. CANNOT CERTIFY ANY COMPONENT OF THE SITE WORKS NOT INSPECTED DURING CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO NOTIFY M.T.E. CONSULTANTS INC. PRIOR TO COMMENCEMENT OF CONSTRUCTION TO ARRANGE FOR INSPECTION.

**GEODETIIC BM** ELEV. = 108.293m  
ELEVATIONS ARE REFERRED TO THE CITY OF MISSISSAUGA BM #50 LOCATED ON WEST FACE AT THE NORTH CORNER OF A SPONSOR'S ARTS CENTER #3507 ON EAST SIDE OF MISSISSAUGA RD. #198m NORTH OF DUNDAS ST. W, HAVING A PUBLISHED ELEVATION OF 108.293m.

**SITE BENCHMARK** ELEV. = 139.852m  
SIB LOCATED NORTH WEST CORNER OF SITE, BY ENTRANCE OFF OF DUNDAS STREET WEST.

**NOTE:**  
1. THIS PLAN IS PART OF A SET OF PLANS WHICH COMPRISE OF THE FOLLOWING: C1.2, C3.1, C3.2 AND C3.3.

6.			
5.	ISSUED FOR APPROVAL	LXS	APR/04/19
4.	ISSUED FOR APPROVAL	LXS	JUN/26/18
3.	Revised per New Site Plan	LXS	JUN/06/18
2.	REVISED PER REGION OF PEEL COMMENTS	LXS	SEP/28/17
1.	ISSUED FOR APPROVAL	LXS	JAN/16/17
No.	REVISION	BY	DATE



Site Development Division  
Ph. (519)743-6500 www.mte85.com



CLIENT  
**SIFTON PROPERTIES LIMITED**  
195 DUFFERIN AVENUE LONDON

PROJECT  
**ERINVIEW REDEVELOPMENT**  
2132 DUNDAS STREET WEST MISSISSAUGA

**DRAWING**

**SITE SERVICING PLAN**

Project Manager	L.SANFORD	Project No.	40602-100
Design By	AXM/MMJ	Checked By	LEI/RCK
Drawn By	PXL/JRS	Checked By	AXM
Surveyed By	CWT	Drawing No.	<b>C3.2</b>
Date	Sep.19/16	Scale	1:250
Sheet	3 of 4		