



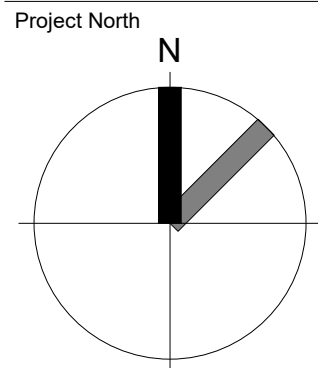
1 Context Plan
1 : 1000

1444
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1444-1458 CAWTHRA ROAD
MISSISSAUGA, ON

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1	Issue to Consultants	2018.09.12
2	Issue for OPI/RZ	2018.09.28



Project No: 16071

Scale: As indicated

Date: 2017/04/05

Drawn by: RVW

Drawing Title

Cover Page

A000

1444-1458
CAWTHRA

KFA ARCHITECTS + PLANNERS

Development Statistics

Site Area (a)			
m ²	sq.ft	ha	acre
5062.0	54488.7	0.51	1.25
		Units/Ha	Units/Acre
		32	13

General Development Statistics Table	
Total Number of Units	16.0
Average Unit Size Construction Area (m ²)	252.5
Average Unit Size Construction Area (SF)	2718
Gross Construction Area (m ²)	4040.0

Zoning By-law 0225-2007	
FSI*	0.72
FSI**	0.63
Total GFA (m ²): Residential ZBL Definition*	3642
Total GFA (m ²): Infill Residential ZBL Definition**	3210

*Calculated including basement but excluding garage
**Calculated excluding Basement but including garage

Official Planning Designation: Residential Low Density II
Zoning By-law 0225-2007: R3-1

Site Area Breakdown Table (m2)	Area	
Paving	1214	23.98% of total site area
Soft Landscaping Area	2259.0	44.63% of total site area
Hard Landscape Area	232.0	4.58% of total site area
Building Area (Combined Largest Footprints)	1357.0	26.81% of total site area

Building Heights & Setbacks (m)					
Block A	Height:	9.50	Detached Lot 1	Height:	9.00
	North	4.50		North	2.44
	East	12.02		East	6.16
	South	7.89		South	2.40
Property Line setback:	West	0.90	Property Line setback:	West	8.37
Block B	Height:	9.50	Detached Lot 1	Height:	9.00
	North	7.50		North	2.40
	East	13.70		East	6.16
	South	4.50		South	2.40
Property Line setback:	West	0.90	Property Line setback:	West	8.37
Block C	Height:	9.50	Detached Lot 1	Height:	9.00
	North	4.50		North	2.40
	East	0.90		East	6.16
	South	7.87		South	2.40
Property Line setback:	West	1.44	Property Line setback:	West	8.37
Block D	Height:	9.50	Detached Lot 1	Height:	9.00
	North	7.50		North	2.40
	East	0.90		East	6.16
	South	4.50		South	2.40
Property Line setback:	West	1.87	Property Line setback:	West	8.37

Note: Building height measured from established grade.

Residential Area Calculations by Block and Lot Number	Gross Construction Area (m2)	Garage	Basement	Gross Floor Area (m2)*	Gross Floor Area (m2)**	Unit Mix Breakdown							
						1	1+Den	2	2+Den	3	3+Den	4	4+Den
Detached Homes													
Lot 1	341.0	38.0	89.0	303.0	252.0								1
Lot 2	341.0	38.0	89.0	303.0	252.0								1
Lot 3	341.0	38.0	89.0	303.0	252.0								1
Lot 4	341.0	38.0	89.0	303.0	252.0								1
Block A													
Lot 14 Unit Type 1	224.0	20.0	40.0	204.0	184.0				1				
Lot 15 Unit Type 1	219.0	19.0	39.0	200.0	180.0				1				
Lot 16 Unit Type 2	224.0	23.0	39.0	201.0	185.0				1				
Block A Totals	667	62	118	605	549	0	0	0	3	0	0	0	0
Block B													
Lot 8 Unit Type 1	224.0	20.0	40.0	204.0	184.0				1				
Lot 9 Unit Type 1	219.0	19.0	39.0	200.0	180.0				1				
Lot 10 Unit Type 2	224.0	23.0	39.0	201.0	185.0				1				
Block B Totals	667	62	118	605	549	0	0	0	3	0	0	0	0
Block C													
Lot 11 Unit Type 1	225.0	21.0	40.0	204.0	185.0				1				
Lot 12 Unit Type 1	221.0	20.0	39.0	201.0	182.0				1				
Lot 13 Unit Type 1	225.0	20.0	40.0	205.0	185.0				1				
Block C Totals	671	61	119	610	552	0	0	0	3	0	0	0	0
Block D													
Lot 5 Unit Type 1	225.0	21.0	40.0	204.0	185.0				1				
Lot 6 Unit Type 1	221.0	20.0	39.0	201.0	182.0				1				
Lot 7 Unit Type 1	225.0	20.0	40.0	205.0	185.0				1				
Block D Totals	671	61	119	610	552	0	0	0	3	0	0	0	0
Combined Total													
4040.0 398.0 830.0 3642.0 3210.0 0.0 0.0 0.0 12.0 0.0 0.0 0.0 4.0													

Sheet List

Sheet Number	Sheet Name
A000	Cover Page
A001	Site Plan
A002	Concept Plan
A003	Typical Site Details
A100	Basement
A101	Level 1
A102	Level 2
A103	Level 3
A104	Roof Plan
A200	Block A/B Elevations
A201	Block C/D Elevations
A202	Detached Dwelling Elevations

Area Schedule (Gross Building) By...

RVT Link:	Name	Area
-----------	------	------

Block A	Garage	23 m²
Block A	Type 2	197 m²
Block A	Garage	19 m²
Block A	Type 1	200 m²
Block A	Garage	20 m²
Block A	Type 1	204 m²
Block A: 15		663 m²

Block B	Garage	23 m²
Block B	Type 2	197 m²
Block B	Garage	19 m²
Block B	Type 1	200 m²
Block B	Garage	20 m²
Block B	Type 1	204 m²
Block B: 15		663 m²

Block C	Garage	20 m²
Block C	Type 1	205 m²
Block C	Garage	20 m²
Block C	Type 1	200 m²
Block C	Garage	21 m²
Block C	Type 1	205 m²
Block C: 15		671 m²

Block D	Garage	20 m²
Block D	Type 1	205 m²
Block D	Garage	20 m²
Block D	Type 1	200 m²
Block D	Garage	21 m²
Block D	Type 1	205 m²
Block D: 15		671 m²

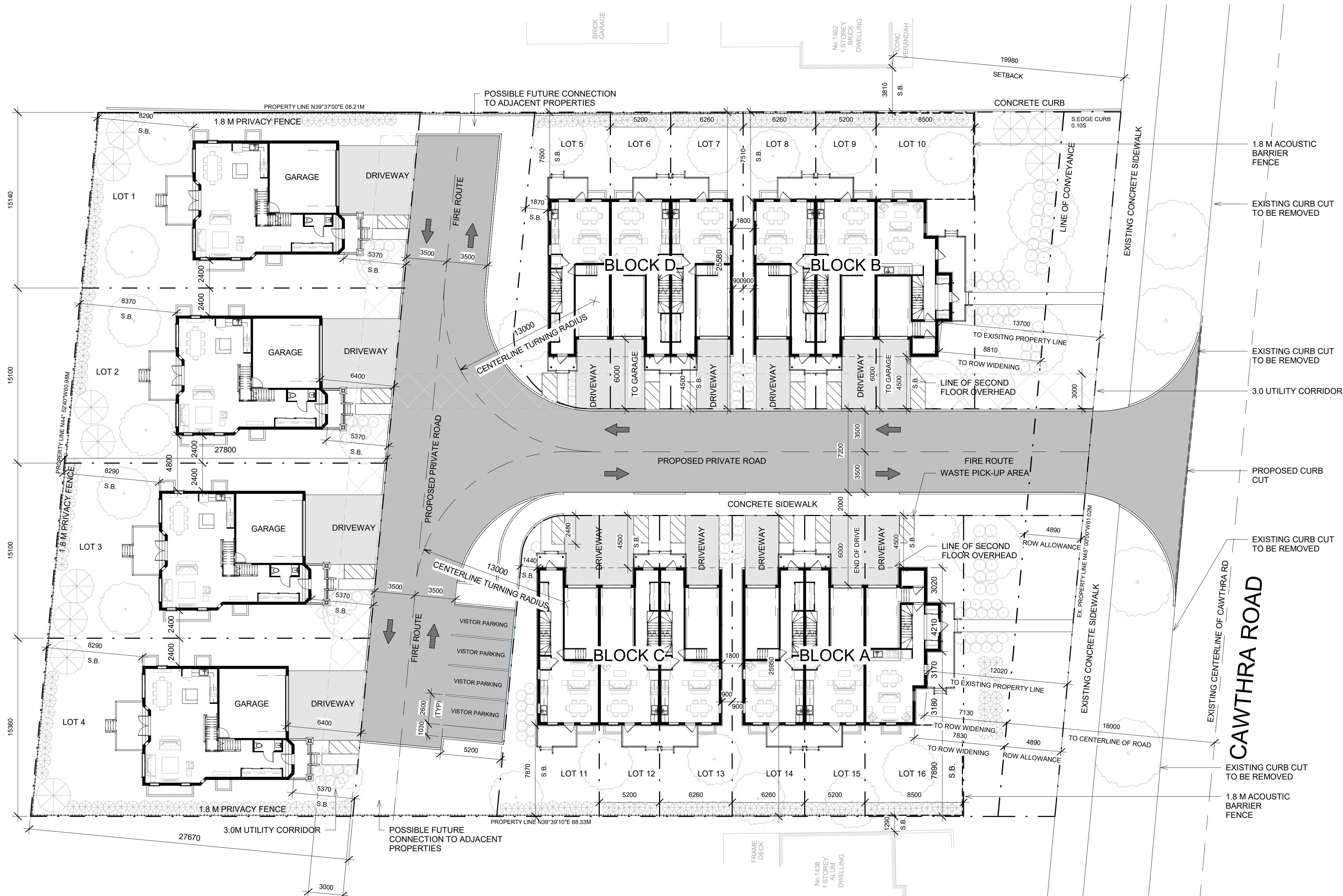
Detached 1	Basement	89 m²
Detached 1	Level 1	88 m²
Detached 1	Level 2	126 m²
Detached 1	Garage	38 m²
Detached 1: 4		341 m²

Detached 2	Basement	89 m²
Detached 2	Level 1	88 m²
Detached 2	Level 2	126 m²
Detached 2	Garage	38 m²
Detached 2: 4		341 m²

Detached 3	Basement	89 m²
Detached 3	Level 1	88 m²
Detached 3	Level 2	126 m²
Detached 3	Garage	38 m²
Detached 3: 4		341 m²

Detached 4	Basement	89 m²
Detached 4	Level 1	88 m²
Detached 4	Level 2	126 m²
Detached 4	Garage	38 m²
Detached 4: 4		341 m²

Area Schedule Total		
		4032 m²



NOTES:

- THIS SITE HAS BEEN PREPARED IN ACCORDANCE WITH THE CITY OF MISSISSAUGA ZONING BYLAW NO. 604 FOR STORM WATER MANAGEMENT, SITE SERVICING AND GRADING INFORMATION REFER TO DRAWINGS PREPARED BY LITHOS GROUP INC. 150 BERMONDSEY ROAD UNIT #200 TORONTO ON, M4A 1Y1
- FOR LANDSCAPE INFORMATION, REFER TO DRAWINGS PREPARED BY JOHN RUSSO LANDSCAPE ARCHITECT SURVEY CREDIT
- INFORMATION TAKEN FROM PLAN OF PART OF LOTS 188, 189, 190 & 191 REGISTERED PLAN B-19, CITY OF MISSISSAUGA PREPARED BY: TOM A. SENKUS ONTARIO LAND SURVEYOR, 40 BURROWS AVENUE TORONTO (ISLINGTON), ON M9B 4W7
- ANY GRADE ELEVATIONS ARE SHOWN FOR REFERENCE ONLY. REFER TO GRADING AND SITE SERVICING PLAN FOR GRADING AND U/G SERVICES
- ALL SITE AREA LIGHTING TO BE DIRECTED DOWNWARD AND DEFLECTED AWAY FROM ADJACENT LOTS ROADS AND STREETS
- ALL CURBING AND DRIVEWAY ENTRANCES TO BE DESIGNED IN ACCORDANCE WITH THE CITY'S MATERIALS STANDARDS AND SPECIFICATIONS MANUAL
- GUARD RAILS IN ACCORDANCE TO THE OBC 2012 SHALL BE PROVIDED WHENEVER GRADE DEFERENCE EXCEEDS 800MM DETAILS TO BE SUBMITTED AND BUILDING PERMIT STAGE
- BOULEVARD TO BE REINSTITATED IN ACCORDANCE WITH CITY STANDARDS AND TO THE SATISFACTION OF THE CHIEF ENGINEER, EXECUTIVE DIRECTOR OF ENGINEERING AND CONSTRUCTION SERVICES
- EXISTING WATER SERVICE TO BE DISCONNECTED BY THE CITY OF MISSISSAUGA
- SNOW WILL BE REMOVED OFF SITE

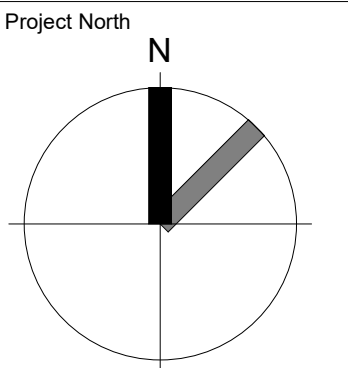
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BE ADVISED THAT SHOULD ANY PARTY INCLUDING THE APPLICANT OR ANY SUBSEQUENT OWNER, APPLY FOR MORE THAN ONE CONDOMINIUM CORPORATION ENCOMPASSING ANY OR ALL OF THIS DEVELOPMENT OR MAKE AN APPLICATION THAT RESULTS IN A LAND DIVISION, STAFF MAY REQUIRE LEGAL ASSURANCES, INCLUDING BUT NOT LIMITED TO EASEMENTS WITH RESPECT TO THE APPROVED SERVICES, SUCH ASSURANCES WILL BE DETERMINED AT THE TIME OF THE APPLICATION FOR CONDOMINIUM APPROVAL.

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1	Issue to Consultants	2018.09.12
2	Issue for OPRZ	2018.09.28



Project No: 16071

Scale: As indicated

Date: 2017/04/05

Drawn by: R.V.W.

Drawing Title

Site Plan

Drawing
Number

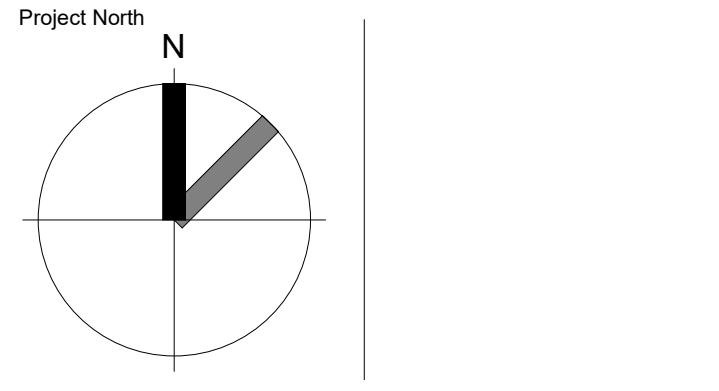
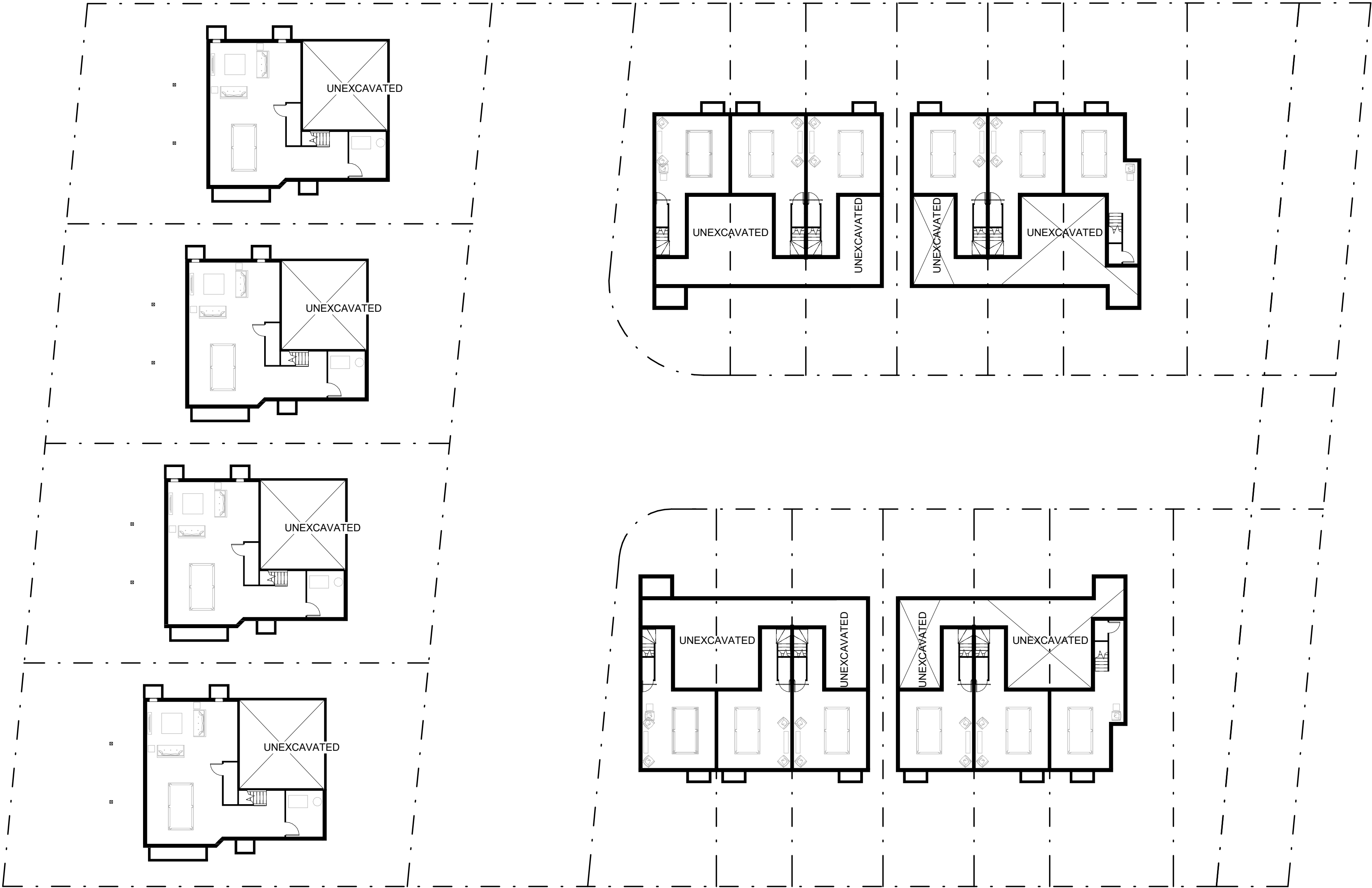
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1	Issue to Consultants	2018.09.12
2	Issue for OPI/RZ	2018.09.28



Project No:	16071
Scale:	1 : 200
Date:	2017/04/05
Drawn by:	RVW

Drawing Title

Basement

Drawing Number

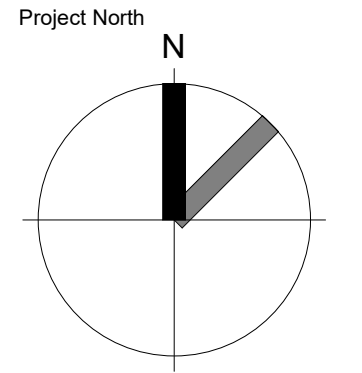
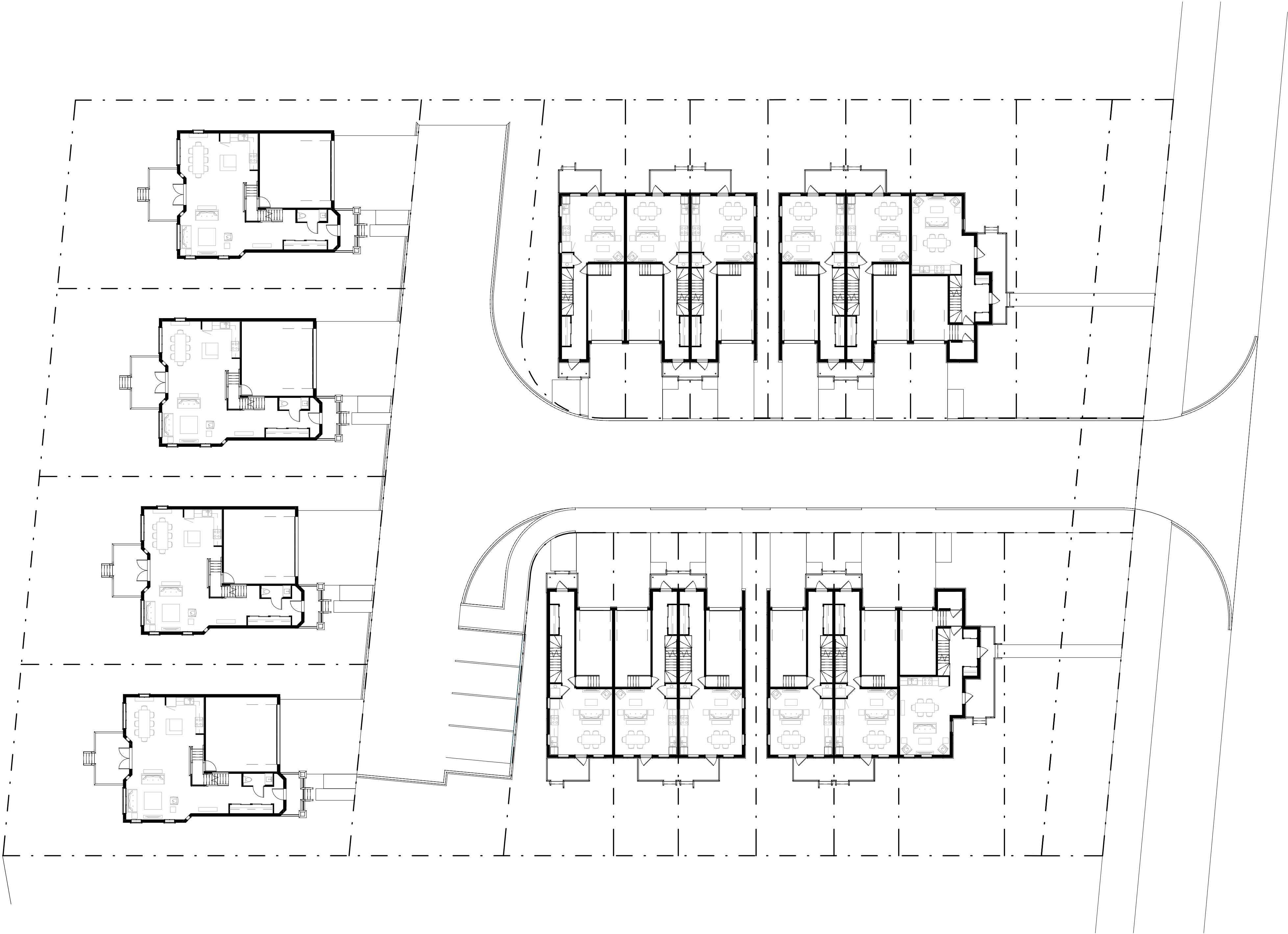
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Project No: 16071

Scale: 1 : 200

Date: 2017/04/05

Drawn by: Author

Drawing Title

Level 1

Drawing
Number

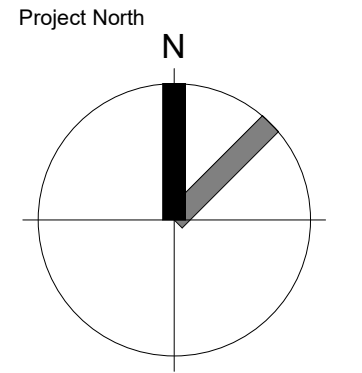
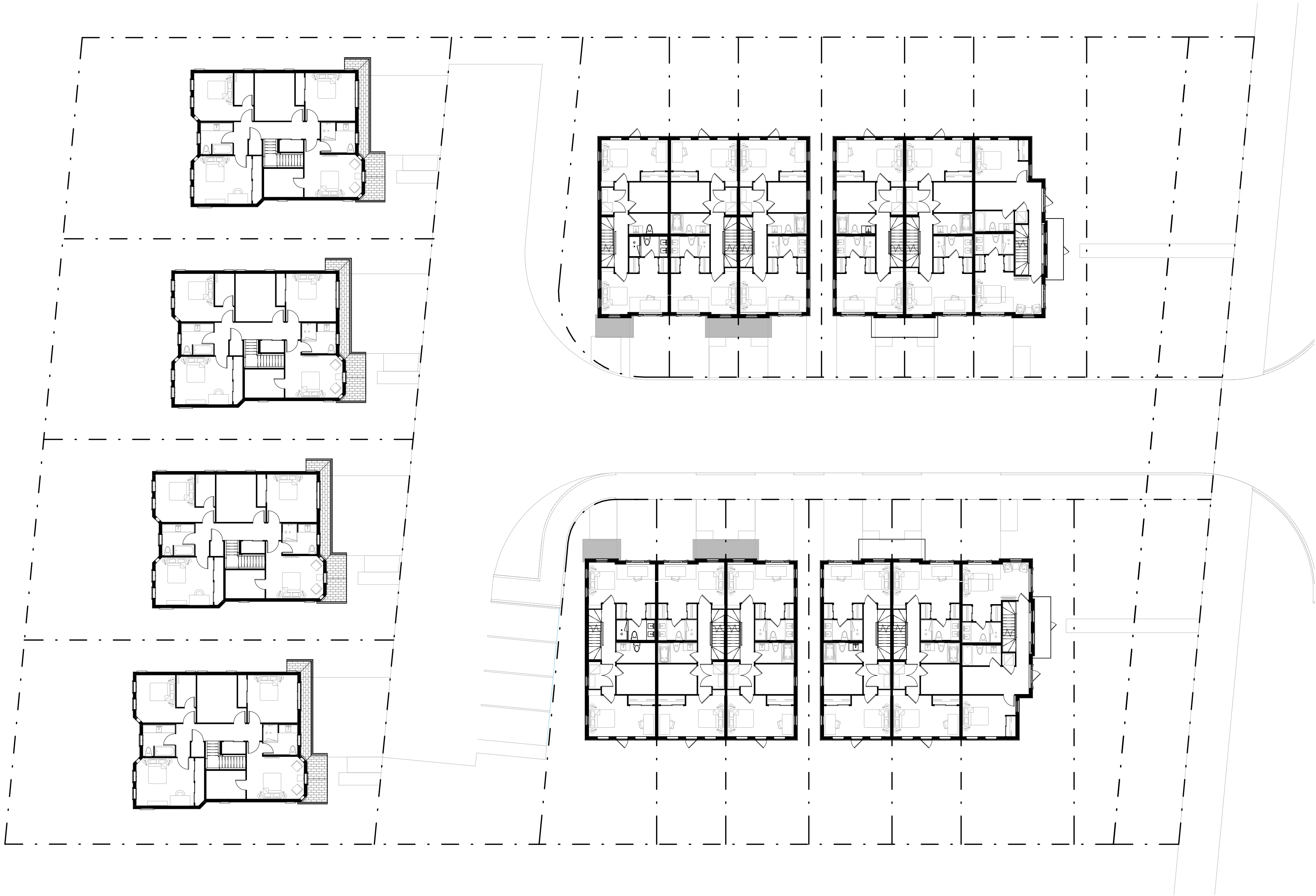
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Project No: 16071

Scale: 1 : 200

Date: 2017/04/05

Drawn by: Author

Drawing Title

Level 2

Drawing
Number

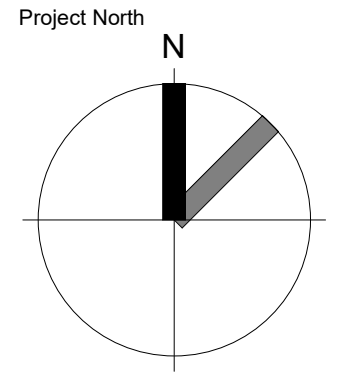
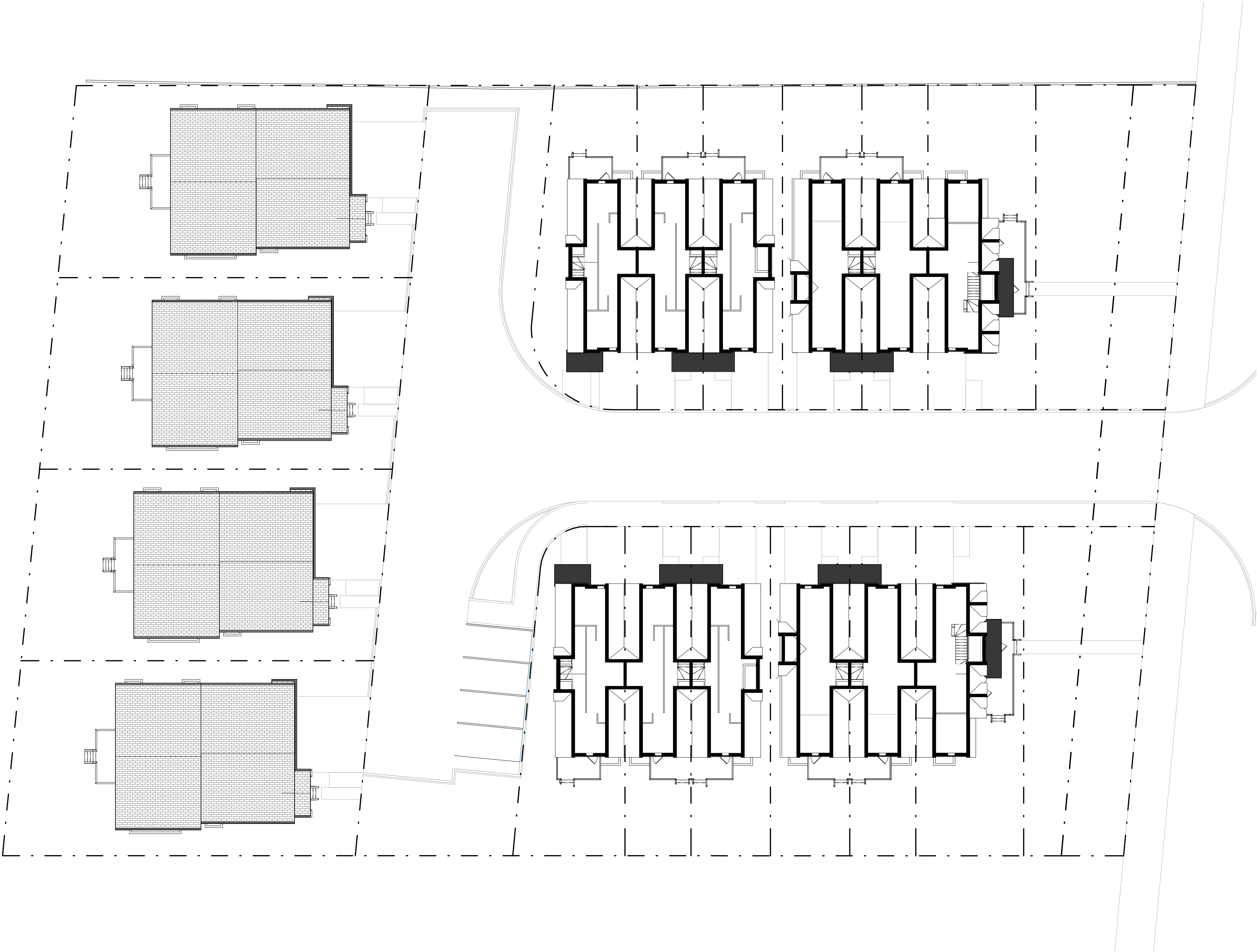
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2	Issue for OPIRZ	2018.09.28



Project No: 16071

Scale: 1 : 200

Date: 2017/04/05

Drawn by: Author

Drawing Title

Level 3

Drawing
Number

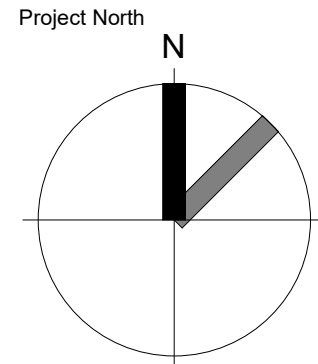
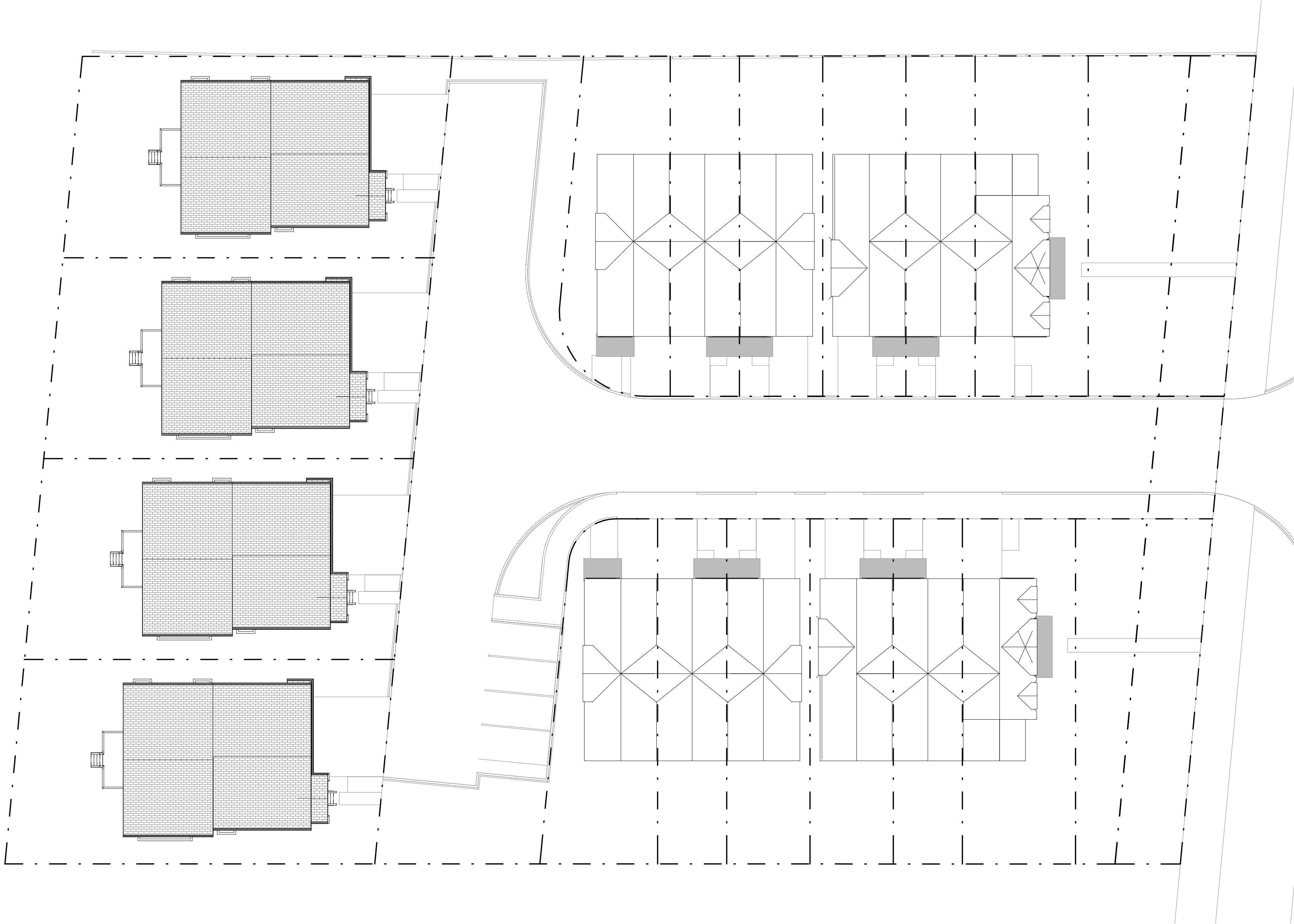
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Project No: 16071

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Date: 2017/04/05

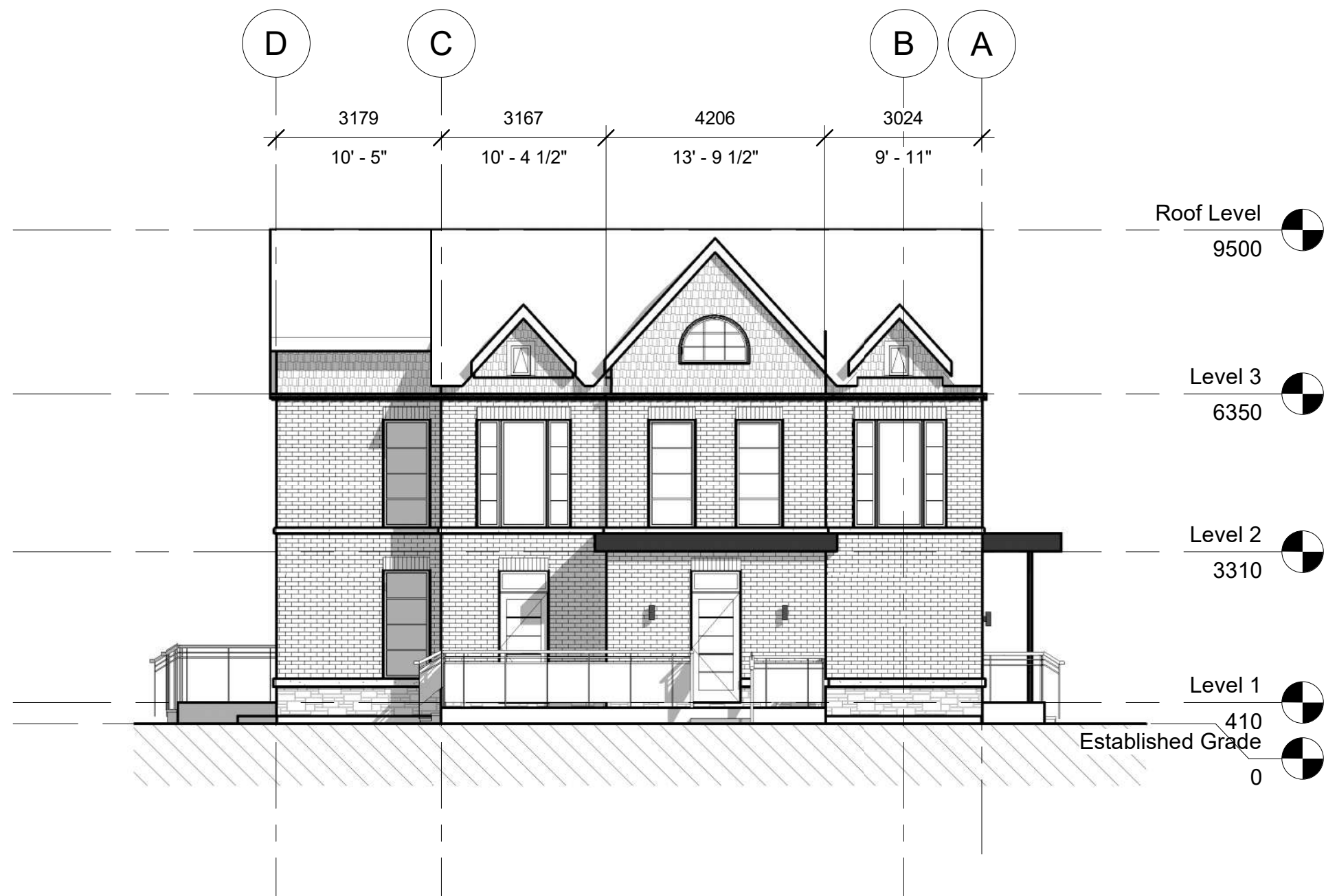
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Drawing Title

Roof Plan

Drawing
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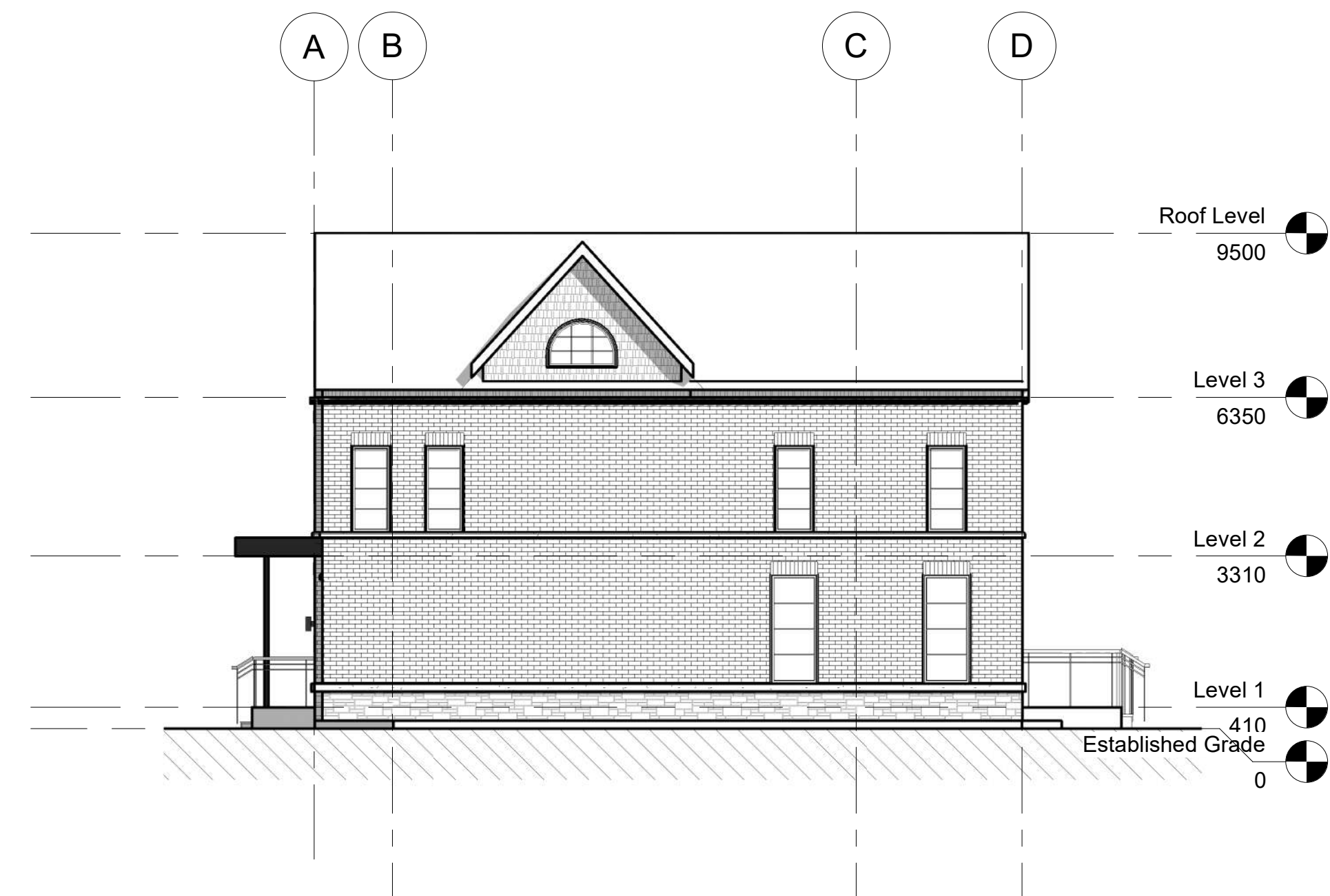
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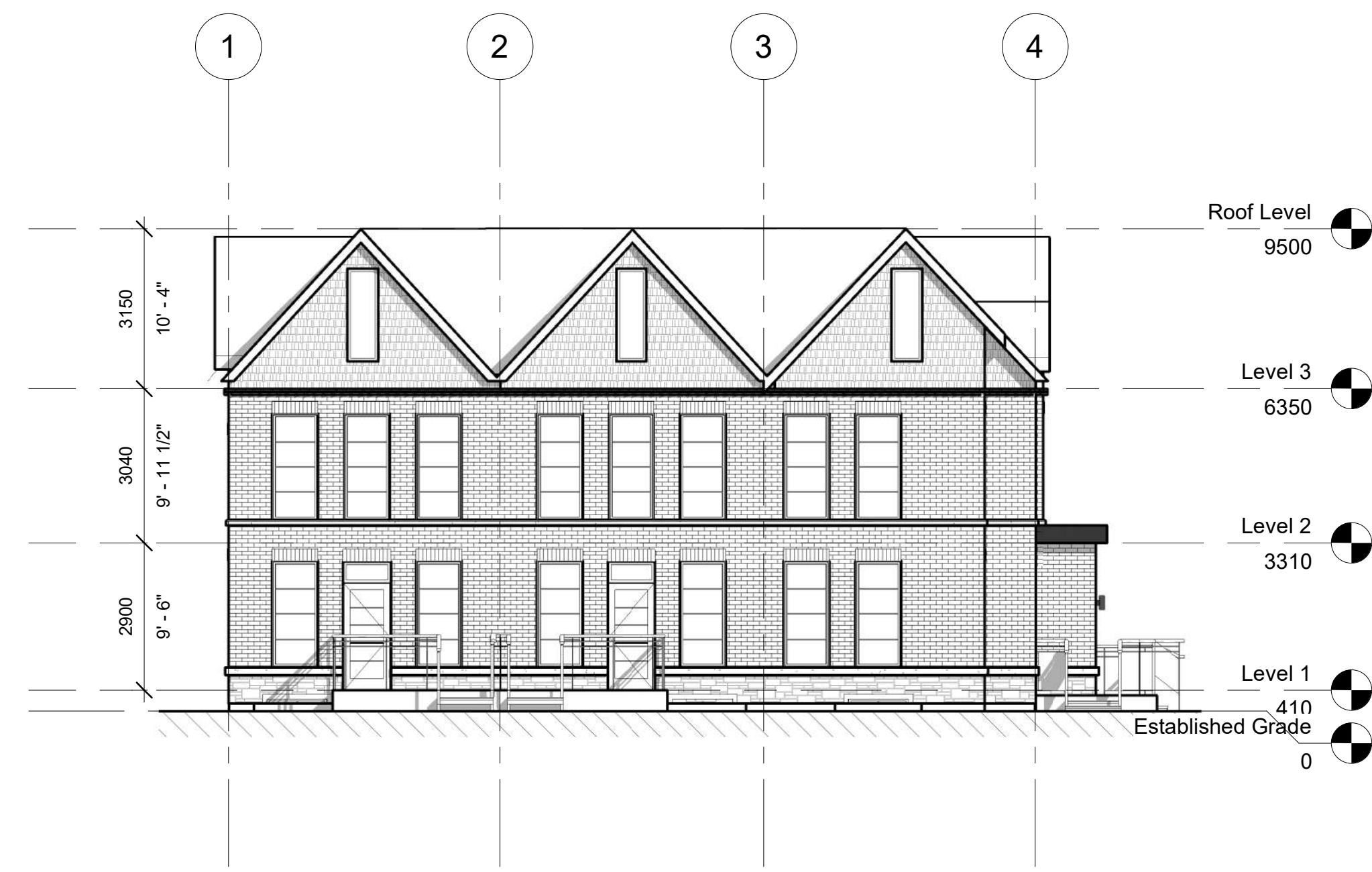
3 BLOCK A EAST ELEVATION (BLOCK B EAST ELEVATION MIRRORED)
1 : 100



1 BLOCK A NORTH ELEVATION (BLOCK B SOUTH ELEVATION SIMILAR)
1 : 100



4 BLOCK A WEST ELEVATION (BLOCK B WEST ELEVATION MIRRORED)
1 : 100



2 BLOCK A SOUTH ELEVATION (BLOCK B NORTH ELEVATION SIMILAR)
1 : 100

NOTE: BUILDING HEIGHT MEASURED FROM ESTABLISHED GRADE

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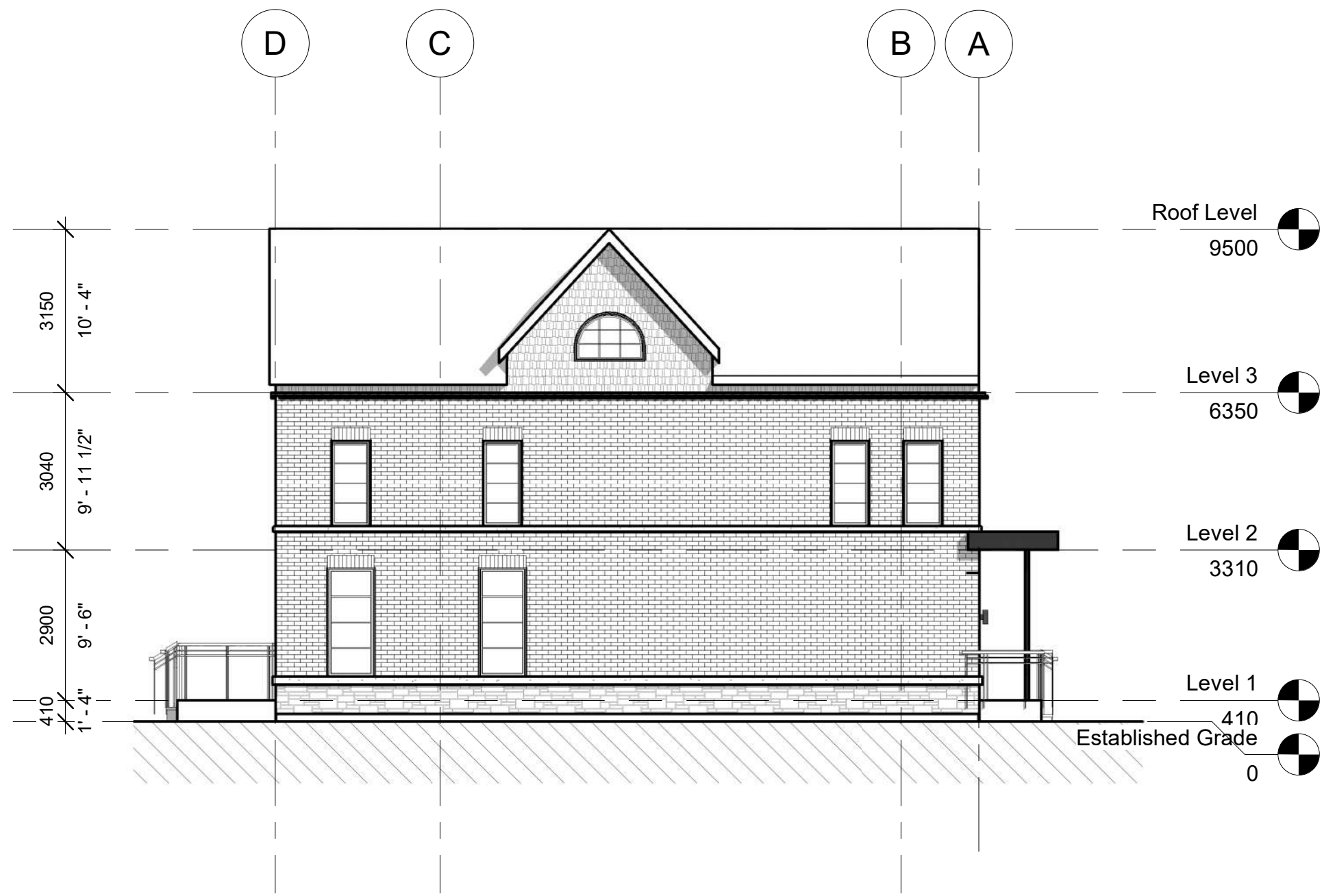
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Date:	Issue Date
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Drawing Title	

Block A/B Elevations

Drawing
Number

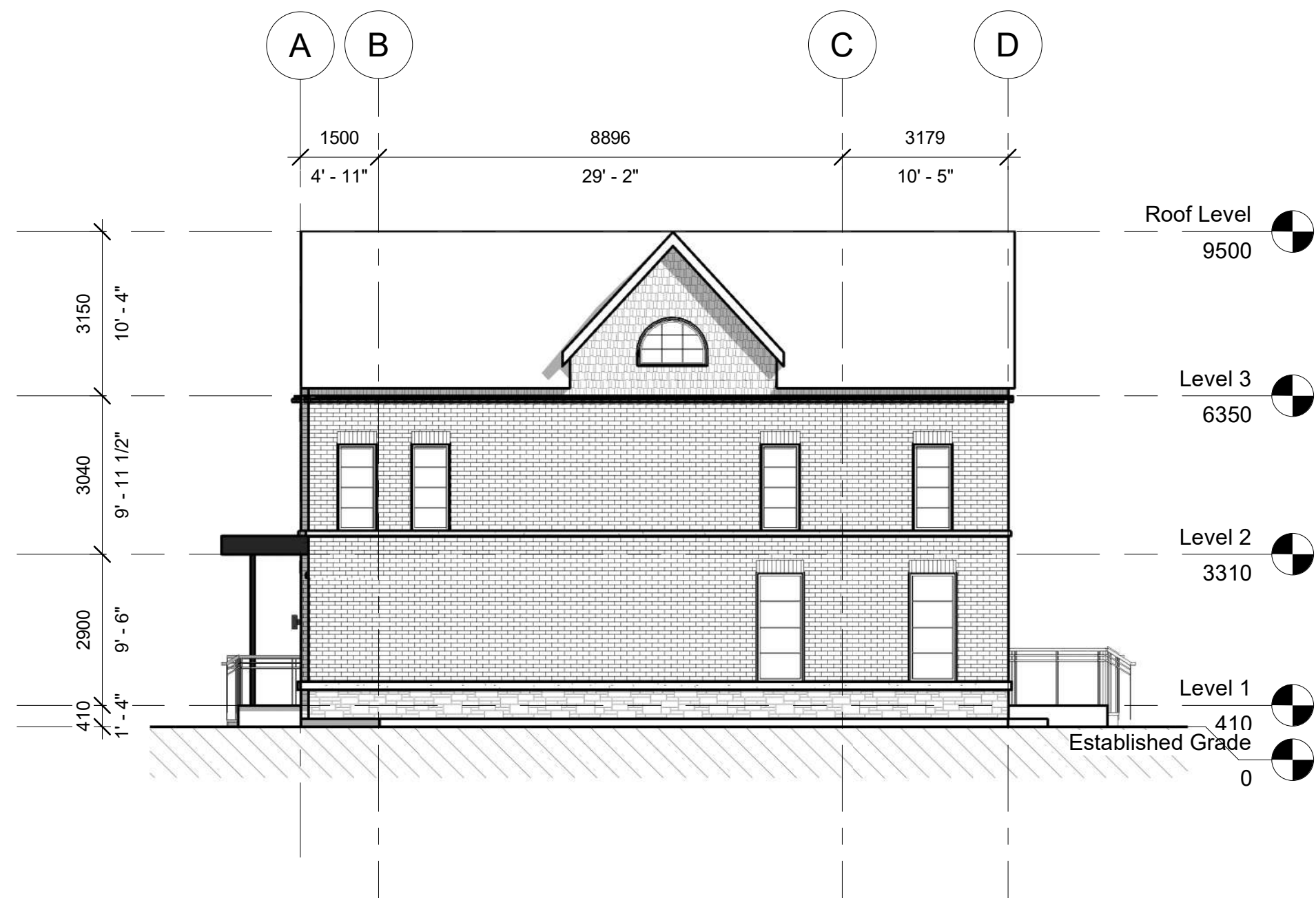
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3 BLOCK C EAST ELEVATION (BLOCK D EAST ELEVATION MIRRORED)
1 : 100



1 BLOCK C NORTH ELEVATION (BLOCK D SOUTH ELEVATION SIMILAR)
1 : 100



4 BLOCK C WEST ELEVATION (BLOCK D WEST ELEVATION MIRRORED)
1 : 100



2 BLOCK C SOUTH ELEVATION (BLOCK D NORTH ELEVATION SIMILAR)
1 : 100

NOTE: BUILDING HEIGHT MEASURED FROM ESTABLISHED GRADE

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1	Issue to Consultants	2018.09.12
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Project No: 16071

Scale: 1 : 100

Date: 2018.01.01

Drawn by: RVW

Drawing Title

Block C/D Elevations

Drawing
Number

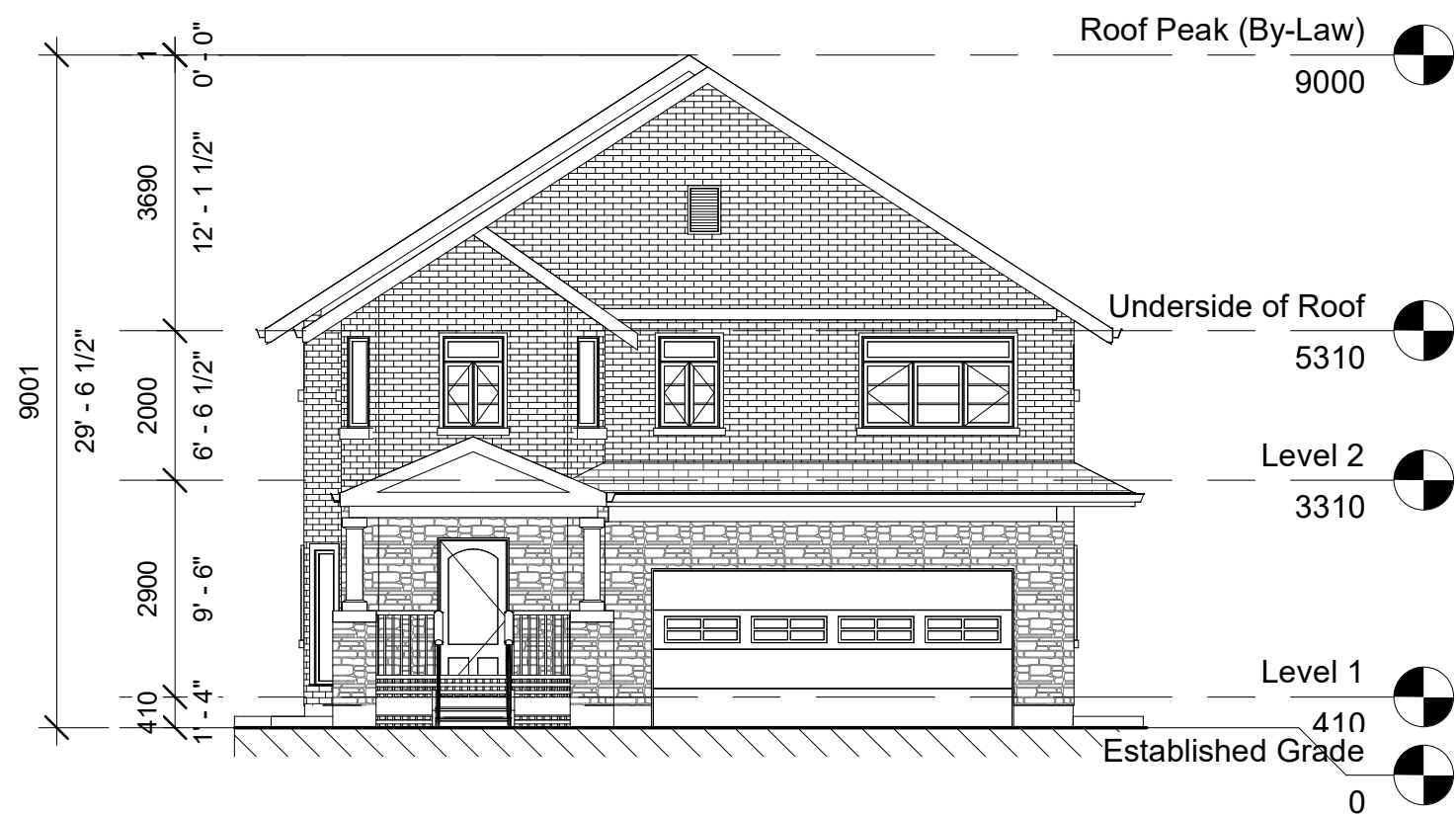
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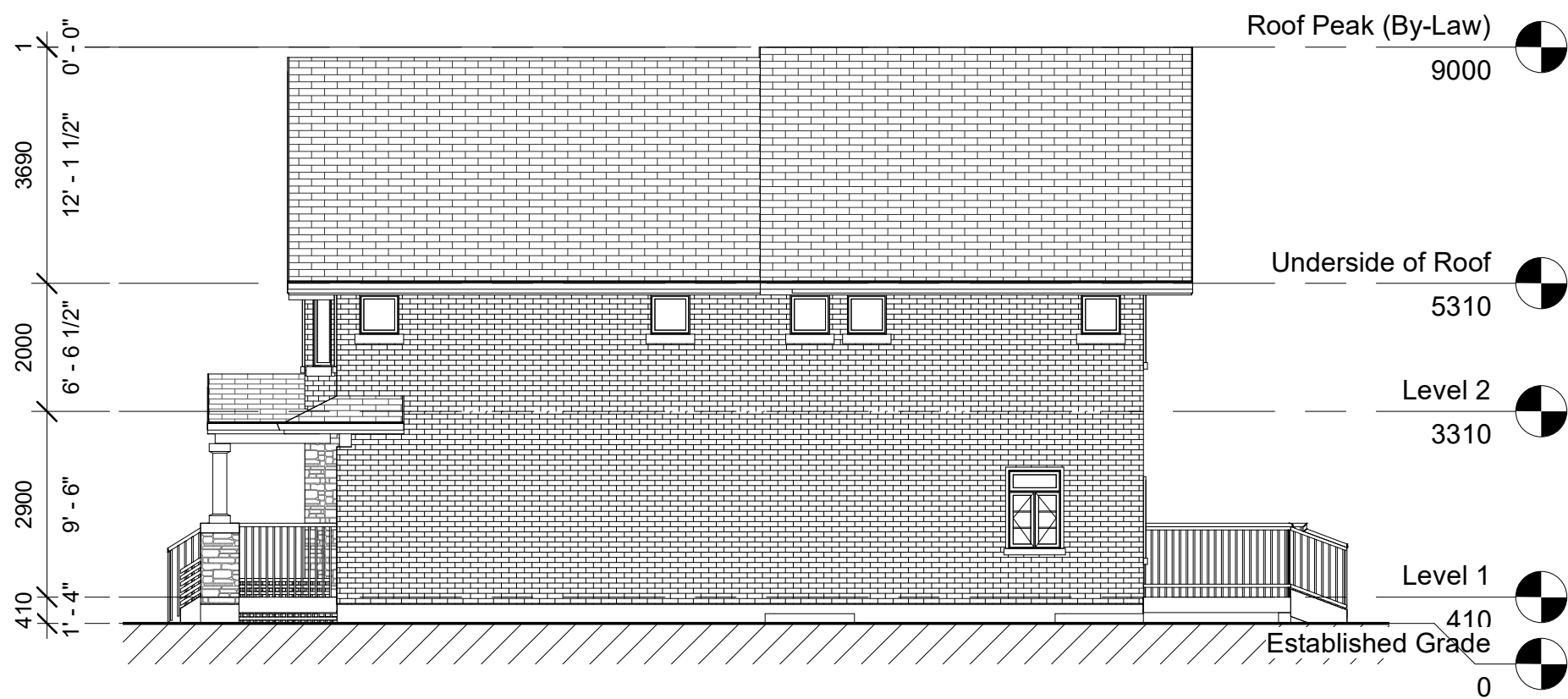
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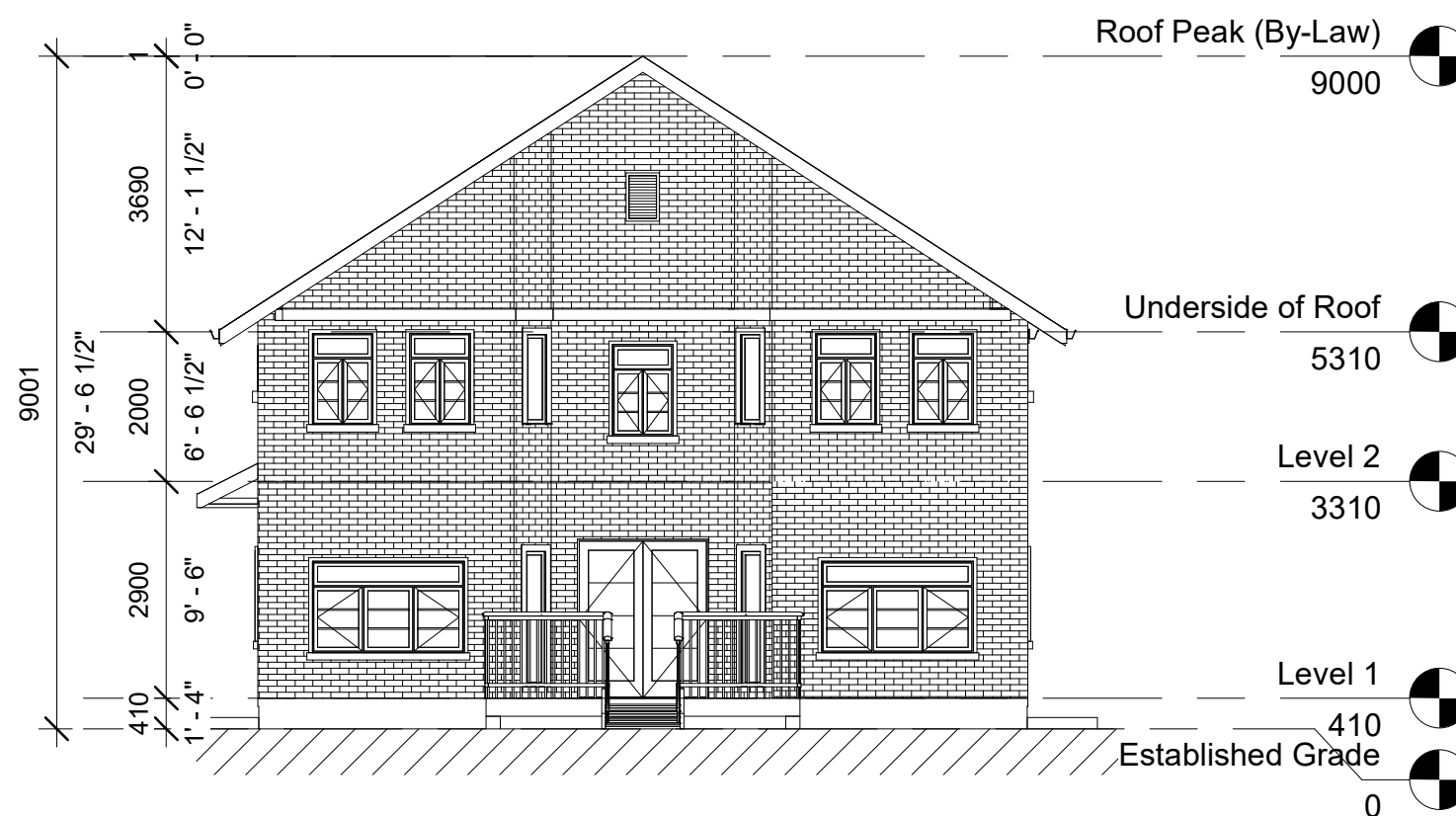
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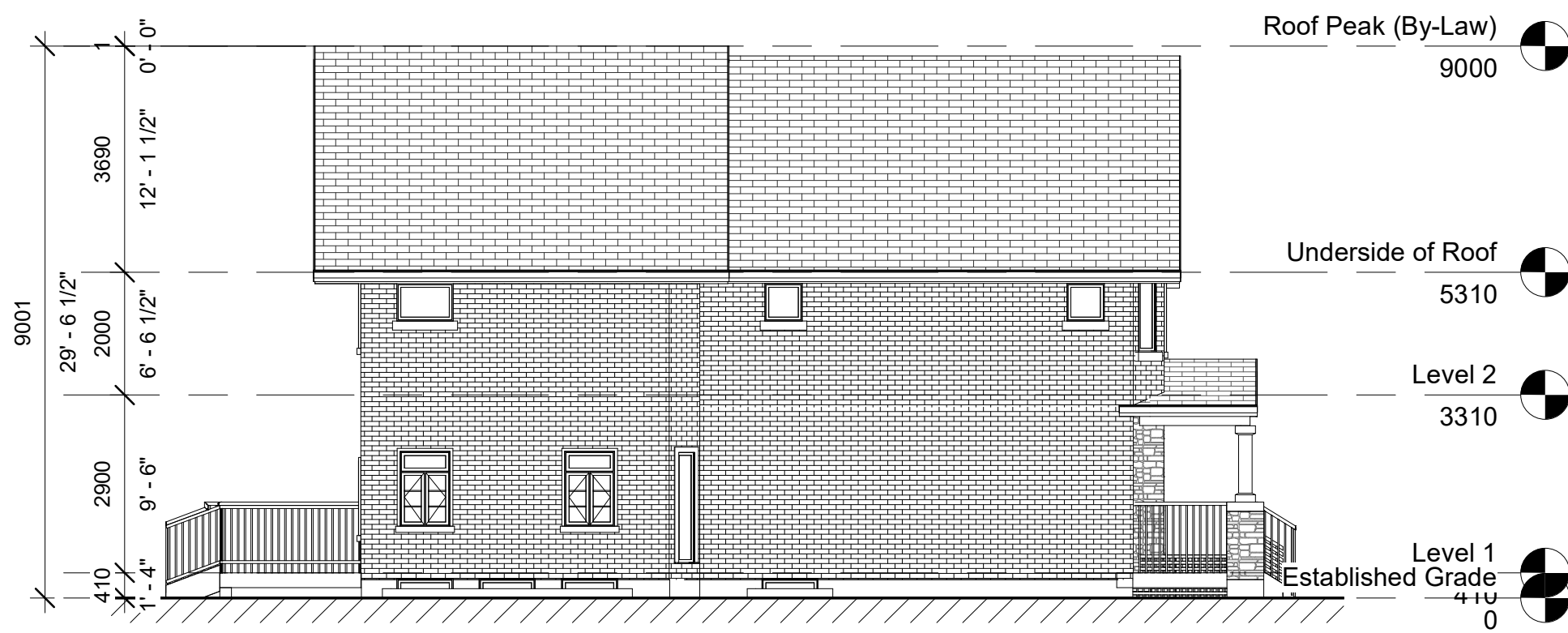
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1 NORTH ELEVATION
1 : 100



4 WEST ELEVATION
1 : 100



2 SOUTH ELEVATION
1 : 100



Project No:	16071
Scale:	1 : 100
Date:	Issue Date
Drawn by:	RVW

Drawing Title
DETACHED DWELLING
ELEVATIONS

Drawing
Number

A203

NOTE: BUILDING HEIGHT MEASURED FROM ESTABLISHED GRADE