THE ADJACENT PROPERTIES.

TRANSPORT CANADA'S RESTRICTION.

SIGNED BY PROPERTY OWNER

NECESSITATED BY THE SITE PLAN.

SIGNED BY PROPERTY OWNER

AN WALLEY IN

MISSISSAUGA
Development and Design

curb ramp at mid-block crossing

accessible parking sign requirement

International Symbol of Access -One in Each Accessible Parking

EXISTING GRADE

SIGN INSTALLED AT THE APPLICANT'S EXPENSE, IN ACCORDANCE WITH THE DESIGN SPECIFICATIONS OF SCHEDULE 2 & 3 OF BY-LAW 10-2016.

06.25.15

architect will review Shop Drawings submitted by the Contractor for design

All work to be carried out in conformance with the Code and bylaws of the authorities having jurisdiction.

notes:

6. issued for client review

5. issued for client review

3. issued for client review

2. issued for client review

revisions:

1. pre-submission meeting

4. pre-submission meeting

electrical:

structural:

landscape:

site services:

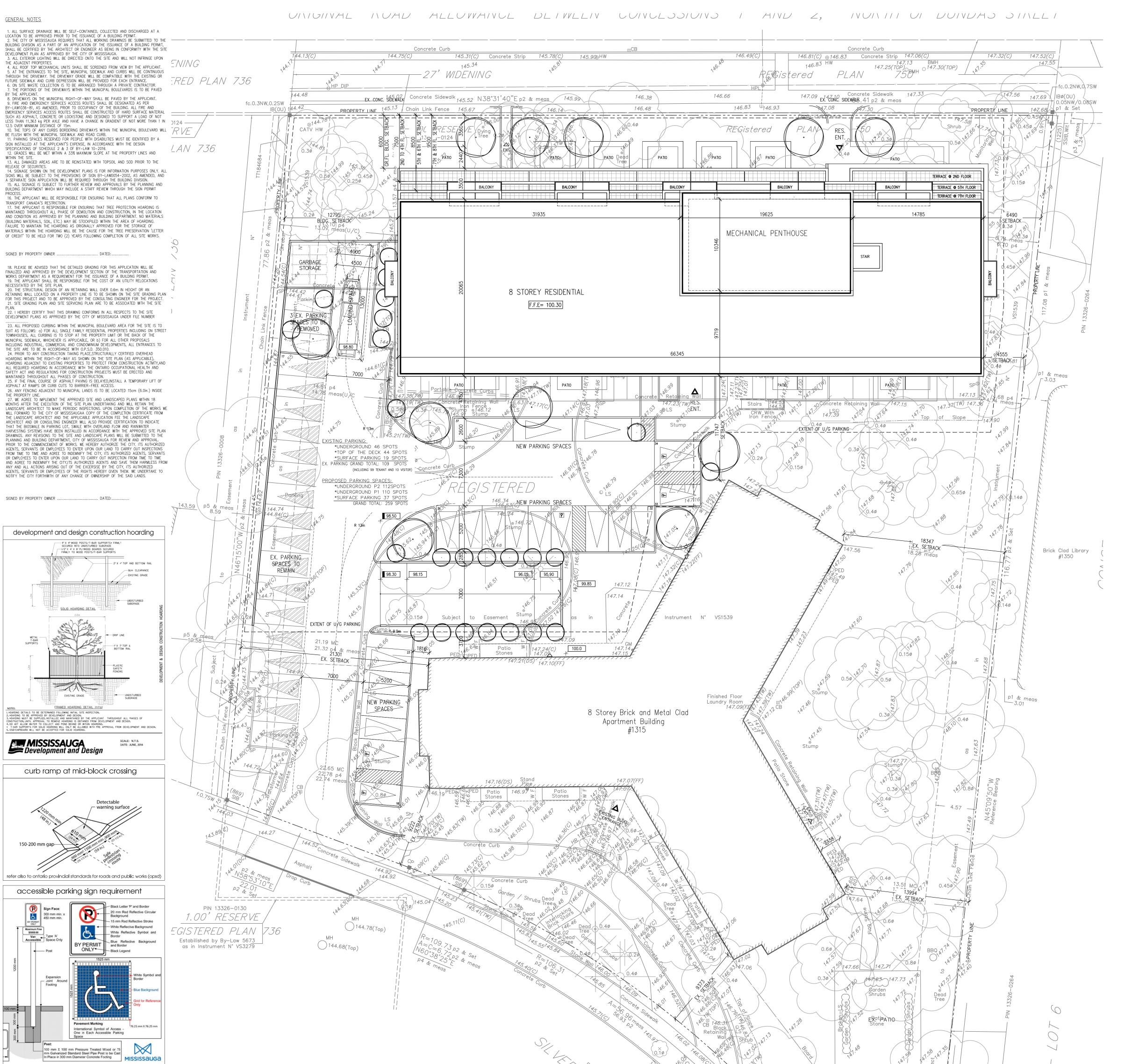
1315 SILVER SPEAR RD.

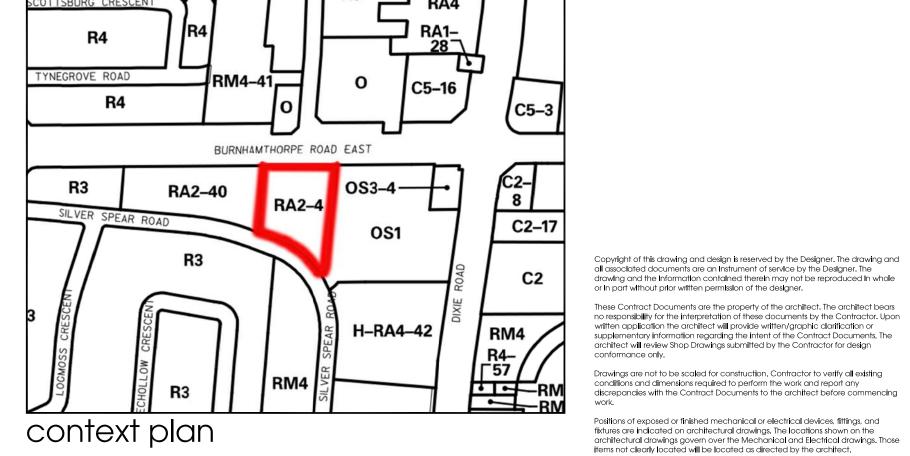
mississauga, ontario

site plan, statistics & general notes

November 06.2017

1:200 14-40





. zon	NING:				R	A2-4	May 11 -201	
	E AREA:				8404 m2	90,460 ft2		
. EXIS	STING BUILDING							
	GFA				8,091 m2	87,091 ft2		
	GROUND FLOOR AREA				1,134 m2	12,206 ft2		
	DENSITY				0.96 FSI (GF	A / SA)		
	BUILDING COVERAGE				13.49 %			
	UNITS				93			
	EXISTING UNIT TYPE	BA	1B	1B+D	2B	3B	TOTAL	
		0	9	0	77	7	93	
	PARKING				109			
	AMENITY SPACE (INDOOR)				69.64 m2	750 ft2		
	AMENITY SPACE (LANDSCAPED)	1000m2	TREED AREA +	HARDSCAPED	1,350 m2	14,531 ft2		
	LANDSCAPE OPEN AREA				3289.2 m2	35,405 ft2		
				TOTAL	4,639.20 m2	49,936 ft2		57.3
I. PRO	PPOSED BUILDING:			TOTAL	4,639.20 m2	49,936 ft2		57.39
I. PRO	DPOSED BUILDING:			TOTAL	4,639.20 m2 10,577.4 m2	49,936 ft2 113,855 ft2		57.39
I. PRO	1			TOTAL	,	,		57.39
I. PRO	GFA			TOTAL	10,577.4 m2	113,855 ft2 16,629 ft2		57.39
I. PRO	GFA GROUND FLOOR AREA			TOTAL	10,577.4 m2 1,544.9 m2	113,855 ft2 16,629 ft2		57.39
I. PRO	GFA GROUND FLOOR AREA DENSITY			TOTAL	10,577.4 m2 1,544.9 m2 1.26 FSI (GFA	113,855 ft2 16,629 ft2		57.33
I. PRO	GFA GROUND FLOOR AREA DENSITY BUILDING COVERAGE	BA	18	TOTAL	10,577.4 m2 1,544.9 m2 1.26 FSI (GFA 18.55 %	113,855 ft2 16,629 ft2	TOTAL	57.3
I. PRO	GFA GROUND FLOOR AREA DENSITY BUILDING COVERAGE UNITS	BA 1	18 113		10,577.4 m2 1,544.9 m2 1.26 FSI (GF, 18.55 %	113,855 ft2 16,629 ft2 A / SA)	TOTAL 159	57.39
I. PRO	GFA GROUND FLOOR AREA DENSITY BUILDING COVERAGE UNITS			1B+D	10,577.4 m2 1,544.9 m2 1.26 FSI (GF, 18.55 % 159 2B	113,855 ft2 16,629 ft2 A / SA)		57.39
I. PRO	GFA GROUND FLOOR AREA DENSITY BUILDING COVERAGE UNITS PROPOSED UNIT TYPE			1B+D	10,577.4 m2 1,544.9 m2 1.26 FSI (GF, 18.55 % 159 2B 39	113,855 ft2 16,629 ft2 A / SA)		57.39
I. PRO	GFA GROUND FLOOR AREA DENSITY BUILDING COVERAGE UNITS PROPOSED UNIT TYPE PARKING -ADDITIONAL		113	1B+D	10,577.4 m2 1,544.9 m2 1.26 FSI (GF, 18.55 % 159 2B 39	113,855 ft2 16,629 ft2 A / SA) 3B 6		57.39
i. PRO	GFA GROUND FLOOR AREA DENSITY BUILDING COVERAGE UNITS PROPOSED UNIT TYPE PARKING -ADDITIONAL AMENITY SPACE (INDOOR) AMENITY SPACE (LANDSCAPED)		113	1B+D 0	10,577.4 m2 1,544.9 m2 1.26 FSI (GF. 18.55 % 159 2B 39 149 146.1 m2	113,855 ft2 16,629 ft2 A / SA) 3B 6		57.35
	GFA GROUND FLOOR AREA DENSITY BUILDING COVERAGE UNITS PROPOSED UNIT TYPE PARKING -ADDITIONAL AMENITY SPACE (INDOOR) AMENITY SPACE (LANDSCAPED)		113	1B+D 0	10,577.4 m2 1,544.9 m2 1.26 FSI (GF. 18.55 % 159 2B 39 149 146.1 m2	113,855 ft2 16,629 ft2 A / SA) 3B 6		57.3
	GFA GROUND FLOOR AREA DENSITY BUILDING COVERAGE UNITS PROPOSED UNIT TYPE PARKING -ADDITIONAL AMENITY SPACE (INDOOR) AMENITY SPACE (LANDSCAPED) TAL:		113	1B+D 0	10,577.4 m2 1,544.9 m2 1.26 FSI (GF, 18.55 % 159 2B 39 149 146.1 m2 m2	113,855 ft2 16,629 ft2 A / SA) 3B 6 1,572 ft2 ft2		57.3
	GFA GROUND FLOOR AREA DENSITY BUILDING COVERAGE UNITS PROPOSED UNIT TYPE PARKING -ADDITIONAL AMENITY SPACE (INDOOR) AMENITY SPACE (LANDSCAPED) TAL: TOTAL GFA TOTAL GROUND FLOOR AREA		113 SOFT+H	1B+D O ARD SCAPED	10,577.4 m2 1,544.9 m2 1.26 FSI (GF, 18.55 % 159 2B 39 149 146.1 m2 m2	113,855 ft2 16,629 ft2 A / SA) 3B 6 1,572 ft2 ft2 200,945 ft2		57.39

TOTAL LANDSCAPED AREA			SOFT+HARD SCAPED				D	m2	ft2			
6.HEIGHT:	PERMITTED :		8 STOREYS (26.0m)			PROPOSED:		8 STOREYS (26.0 m)				
7.PARKING :	REQUIRED :						PROPOSED (1.02 SPA		UNIT AND	INCLUDIN	G VISITOR PARKI	ing)
							252	Х	1.025	=	259	
		1.00 1.18		1 BACHELOR = 1 BEDROOM =	1 144			GROUI	ND (SURFACE)	37		
	RES.	1.36 1.5	/	2 BEDROOM = 3 BEDROOM =	158 20				P1 LEVEL P2 LEVEL	110 111		
	VIS.	0.2	/	UNIT =	50				FZ LEVEL	111		
	TOTAL =				372		TOTAL PRO	VIDE)	258		
8.LOCKERS:	P1					0				0		
9.BICYCLE:	GROUND FLOO	R				0 0				0		
10.AMENITY:	REQUIRED	:					PROPOSED	:	146.09	m2	1,572 ft2	
11 LOADING SPA	ONE TYPE	5 - 4m x	, 12n	n x 6 1 H (SH	A DED BY	FYISTING	illi Dine)					

11.LOADING SPACES:	ONE TYPE G - 4m x 13m x 6.1 H. (SHARED BY EXISTING BU	ILDING)

TOTAL BUILDING COVERAGE

TOTAL PARKING

LEVEL		т	OTAL FL	AREA(TFA)		GROSS FL. AREA(GFA)				LEASABLE FL . AREA (LSA)				
						DEDUCTIO	NS : PARKI	NG + ELEV. +	STAIRS					
	P2	3,776.1	m2	40,646.0	ft2	0	m2	0.0	ft2	0.0	m2	0.0	ft2	
	P1	3,949.0	m2	42,507.1	ft2	0	m2	0.0	ft2	0.0	m2	0.0	ft2	
	GRD	1,544.9	m2	16,629.0	ft2	1,509	m2	16,246.9	ft2	1,209.4	m2	13,017.8	ft2	
	2ND TO 4TH	4,132.4	m2	44,481.2	ft2	4,026	m2	43,335.8	ft2	3,783.5	m2	40,724.7	ft2	
	5TH AND 6TH	2,652.1	m2	28,546.5	ft2	2,581	m2	27,782.9	ft2	2,419.6	m2	26,044.5	ft2	
						-		l						

7TH AND 8TH 2,531.8 m2 27,252.5 ft2 2,461 m2 26,488.9 ft2 2,299.4 m2 24,750.5

GRAND TOTAL	18,586.4	m2	200,062.3	ft2	10,577	m2	113,854.5	ft2	9,711.9	m2	104,537.5	1
13.EFFICIENCY (NSA)	/TCA)		•				•				89.4	2%
14.UNIT SUMMARY												
					UN	IT TYPE						
FLOOR	ВА		1B		1B+D		2B		3B		TOTAL	
GRD	1		11		0		5		0		17	
	_		20		_		40					
2ND TO 4TH	0		36		0		18		6		60	

3.EF	FICIENCI (NSA) I	CA)					05.42/0
4.UI	NIT SUMMARY						
				UN	IT TYPE		
	FLOOR	ВА	1B	1B+D	2B	3B	TOTAL
	GRD	1	11	0	5	0	17
	2ND TO 4TH	0	36	0	18	6	60
	5TH AND 6TH	0	34	0	8	0	42
	7TH TO 8TH	0	32	0	8	0	40
	TOTAL	1	113	0	39	6	159
	IOIAL	0.6%	71.1%	0.0%	24.5%	4%	100%

Drawings are not to be scaled for construction. Contractor to verify all existing conditions and dimensions required to perform the work and report any discrepancies with the Contract Documents to the architect before commencing

Positions of exposed or finished mechanical or electrical devices, fittings, and fixtures are indicated on architectural drawings. The locations shown on the architectural drawings govern over the Mechanical and Electrical drawings. Those Items not clearly located will be located as directed by the architect.

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notes:

revisions:

7. issued for rezoning

6. issued for client review

5. issued for client review

4. pre-submission meeting

1. pre-submission meeting

3. issued for client review2. issued for client review

planning: john d. rogers and associates inc.

structural:

<u>P2 FL.</u>

3607.37 m2 38830.68 ft2

FLOOR AREA

SALEABLE FLOOR AREA

electrical:

mechanical:
landscape:

site services;

project: 1315 SILVER SPEAR RD.

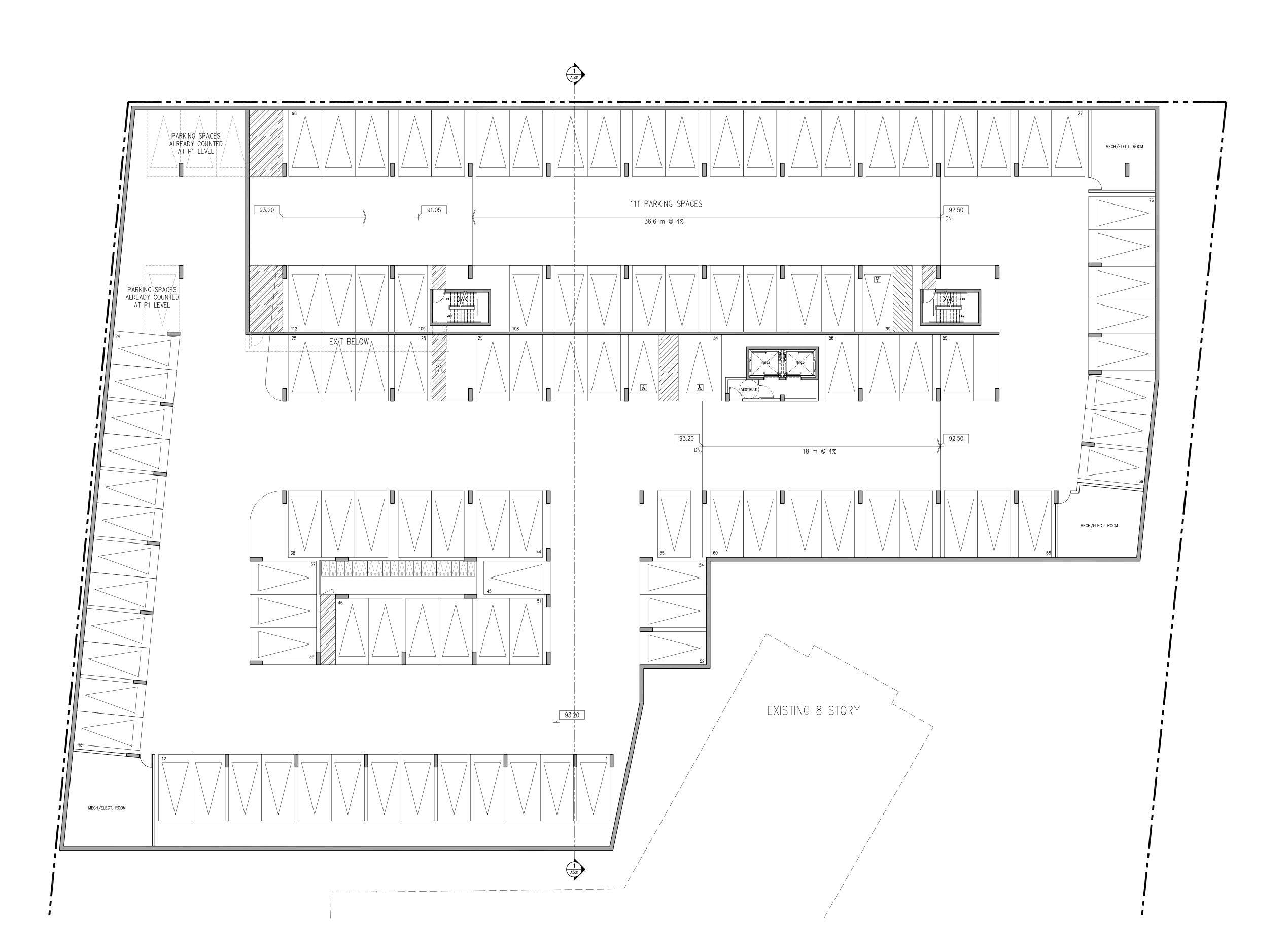
mississauga, ontario

p2 plan

November 13.2017

1:150 14-40

drawing nur



7. issued for rezoning

6. issued for client review

5. issued for client review

4. pre-submission meeting

1. pre-submission meeting

revisions:

morteza rasekhi

3. issued for client review2. issued for client review

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notes:

planning: john d. rogers and associates inc.

structural:

electrical:
mechanical:

landscape:

site services:

project: 1315 SILVER SPEAR RD.

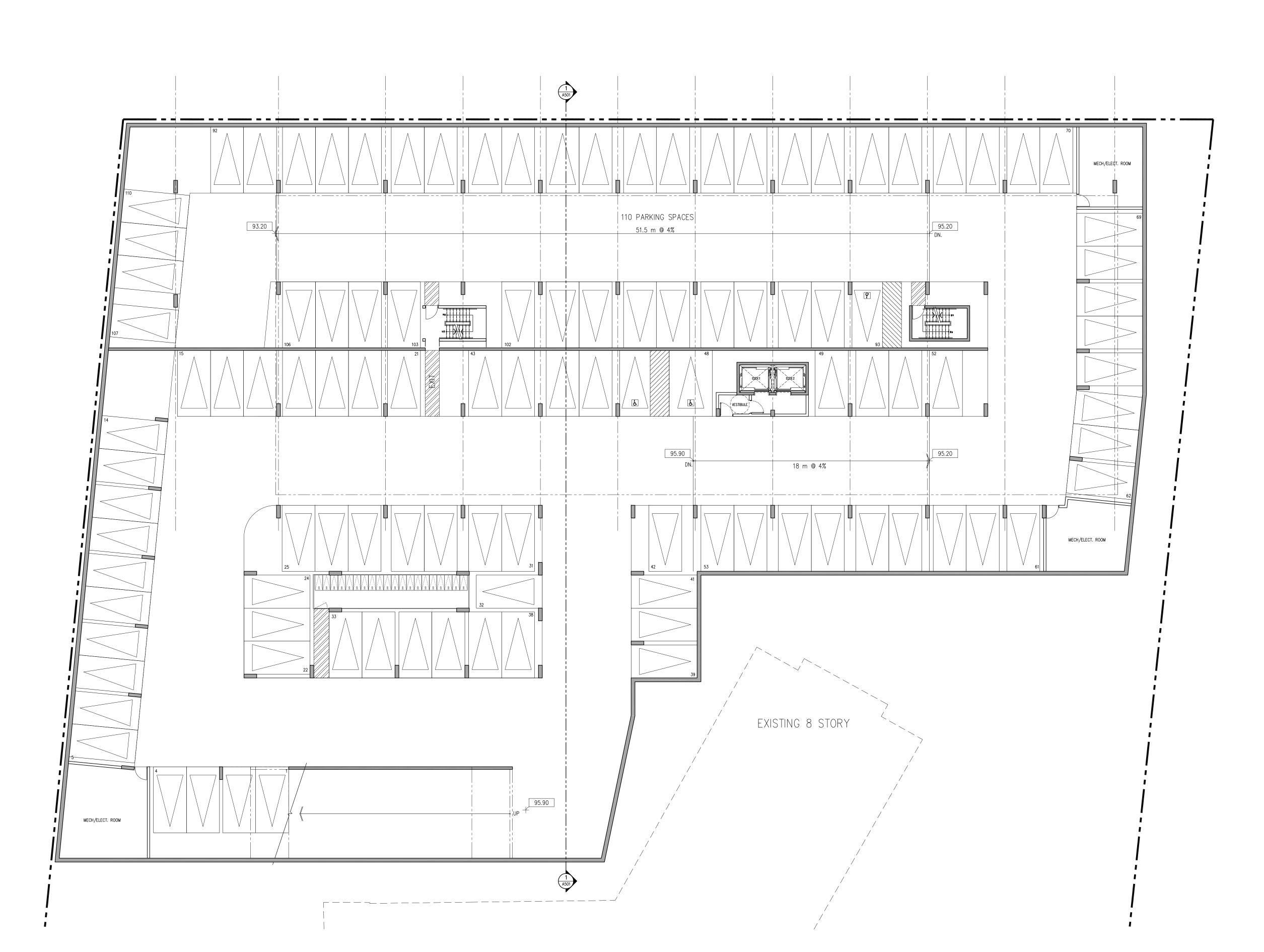
mississauga, ontario

p1 plan

November 13.2017

1:150 14-40

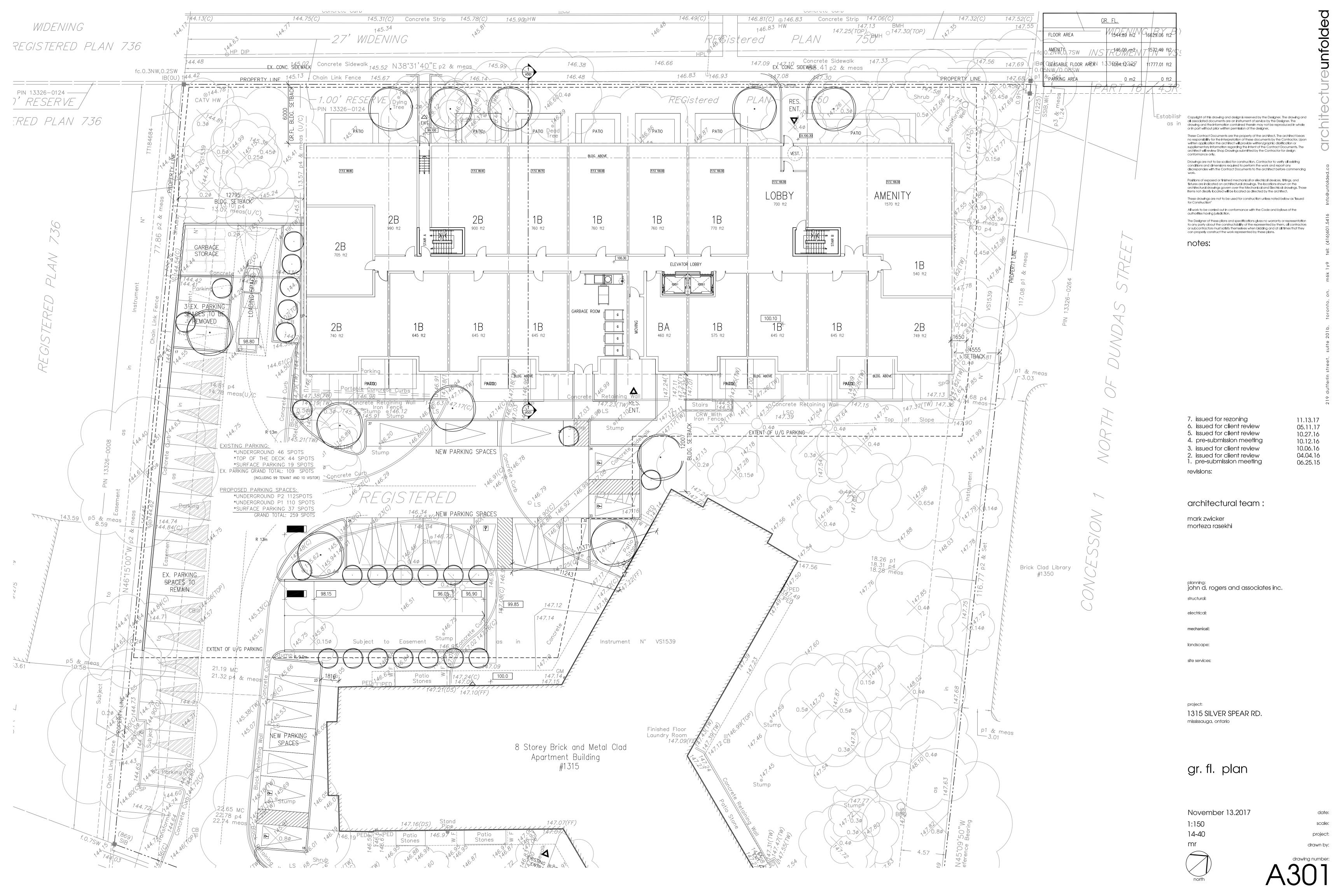




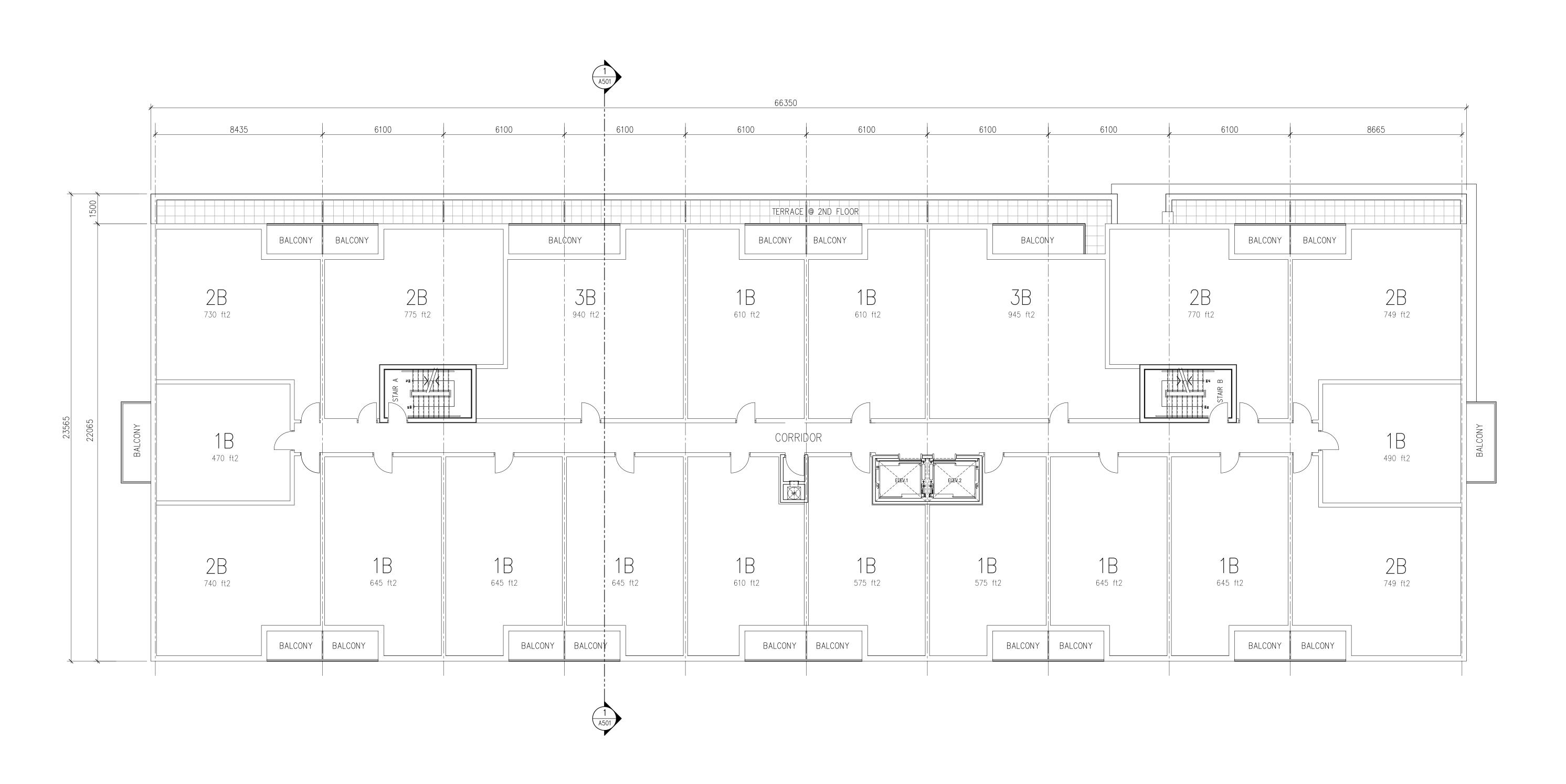
 P1 FL.

 FLOOR AREA
 3949.04 m2
 42508.47 ft2

 SALEABLE FLOOR AREA
 0
 0



FLOOR AREA



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notes:

issued for rezoning 6. issued for client review 5. issued for client review 4. pre-submission meeting 3. issued for client review 2. issued for client review 1. pre-submission meeting revisions:

11.13.17 05.11.17

10.27.16

10.12.16

10.06.16

04.04.16

06.25.15

architectural team:

mark zwicker morteza rasekhi

planning: john d. rogers and associates inc.

electrical:

mechanical:

structural:

landscape:

site services:

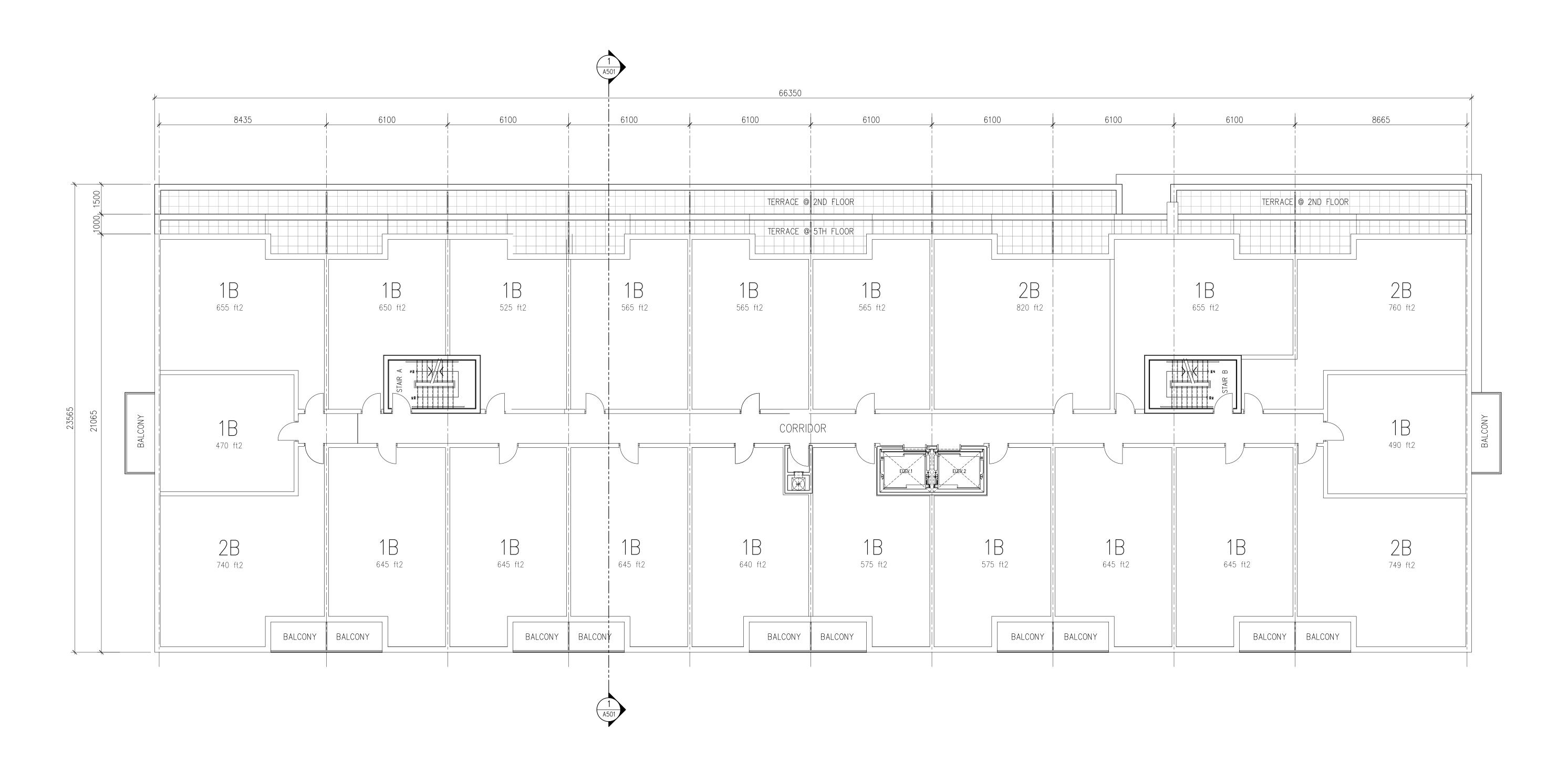
project 1315 SILVER SPEAR RD. mississauga, ontario

2nd - 4th fl. plan

November 13.2017 1:100

14-40 mr





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ectureunfolded

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notes:

issued for rezoning 6. issued for client review 5. issued for client review 4. pre-submission meeting 3. issued for client review 2. issued for client review 1. pre-submission meeting revisions:

11.13.17 05.11.17

10.27.16

10.12.16

10.06.16

04.04.16

06.25.15

architectural team:

mark zwicker morteza rasekhi

planning: john d. rogers and associates inc.

structural:

electrical: mechanical:

landscape:

site services:

project 1315 SILVER SPEAR RD.

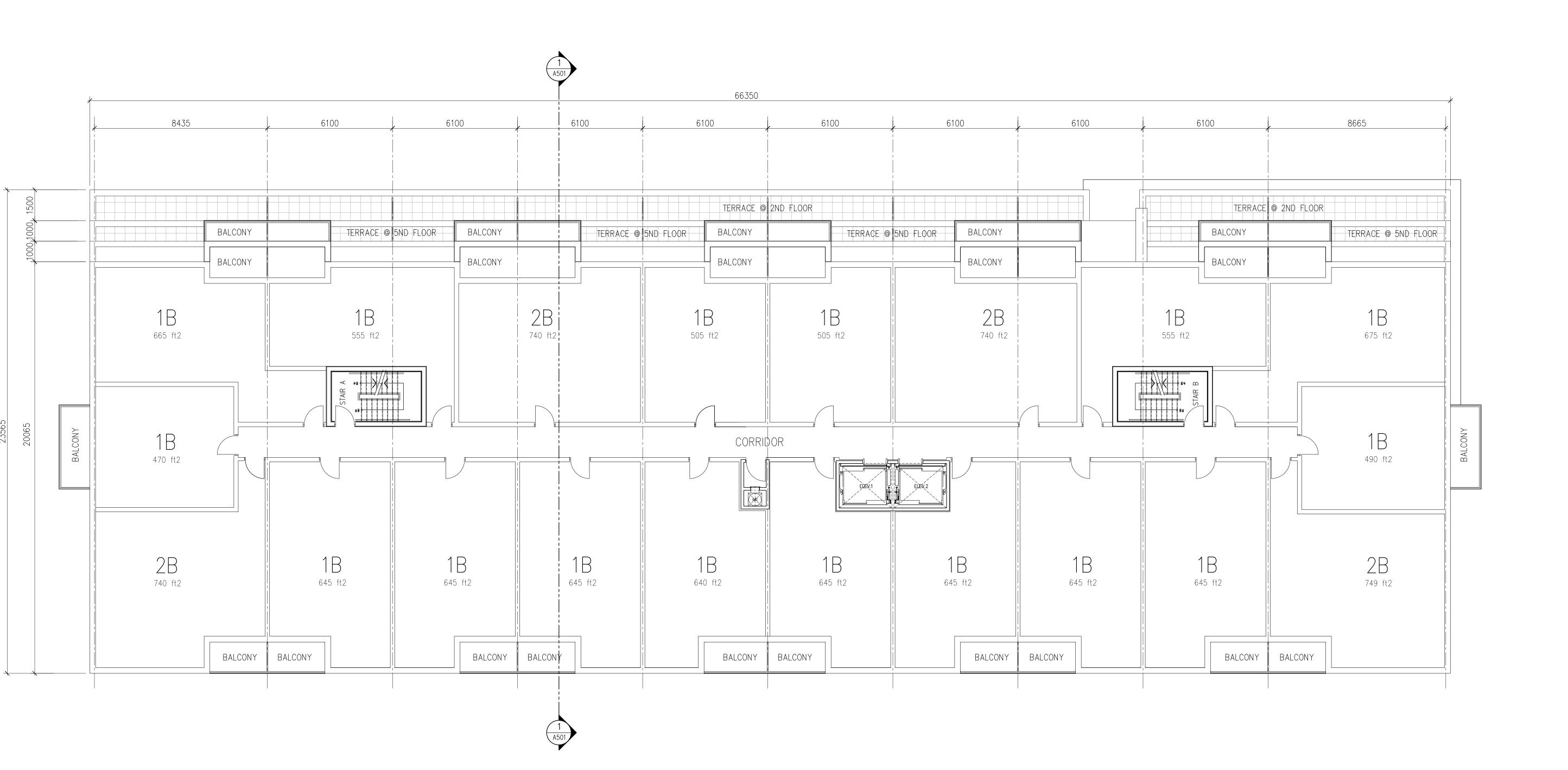
mississauga, ontario

5th and 6th fl. plan

November 13.2017

1:100 14-40

mr



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Positions of exposed or finished mechanical or electrical devices, fittings, and

ectureunfolded

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notes:

issued for rezoning
 issued for client review
 issued for client review
 pre-submission meeting
 issued for client review
 issued for client review
 pre-submission meeting

revisions:

11.13.17

05.11.17 10.27.16

10.12.16

10.06.16

04.04.16

06.25.15

architectural team:

mark zwicker morteza rasekhi

planning: john d. rogers and associates inc.

electrical:

mechanical:

structural:

landscape:

site services:

project: 1315 SILVER SPEAR RD.

mississauga, ontario

7th and 8th fl. plan

November 13.2017

1:100 14-40 mr pr draw drawing nu



11.13.17 05.11.17

10.27.16

or in part without prior written permission of the designer.

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notes:

architectural team:

mark zwicker morteza rasekhi

issued for rezoning

6. issued for client review 5. issued for client review

planning: john d. rogers and associates inc. structura**l**:

electrical:

mechanical: landscape:

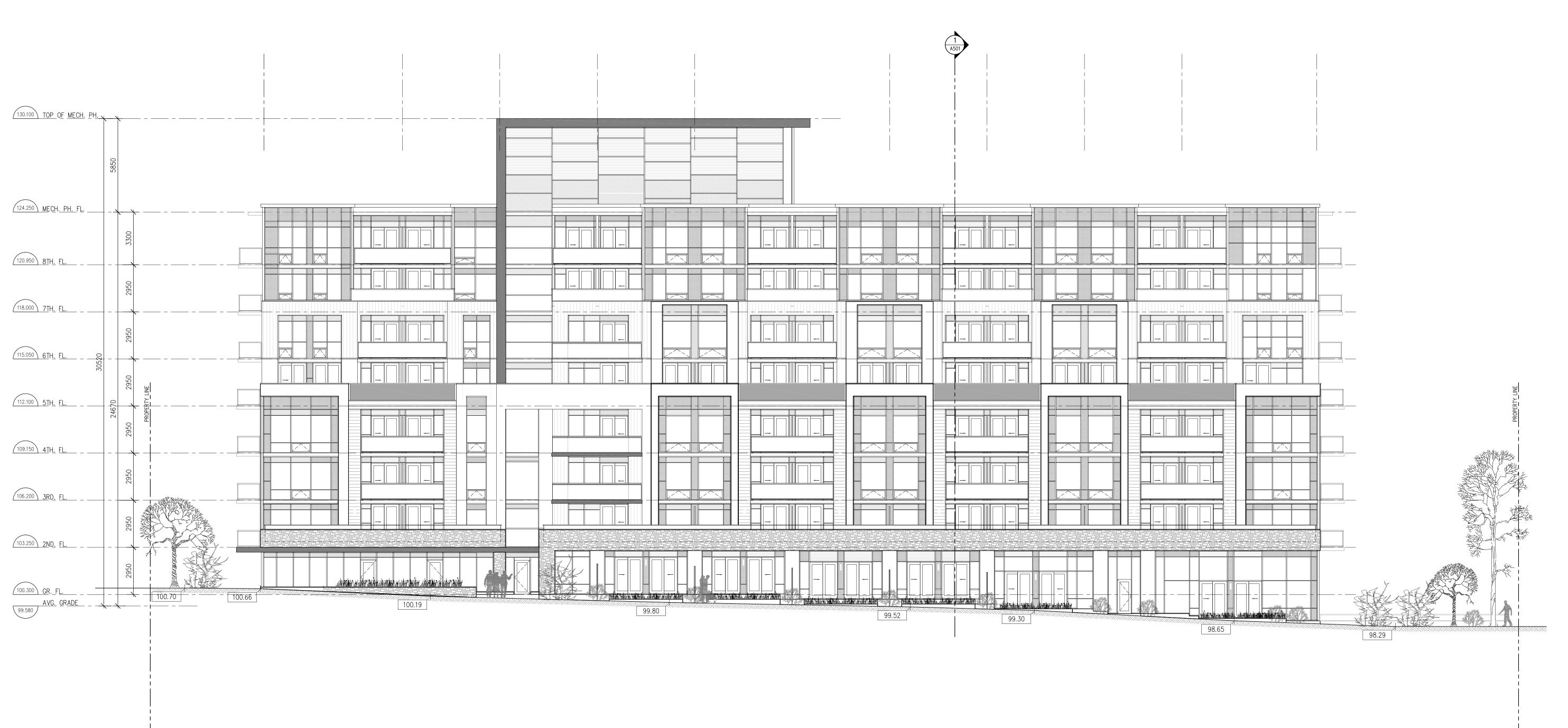
site services:

1315 SILVER SPEAR RD. mississauga, ontario

north elevation

November 13.2017 1:125

14-40 mr



11.13.17 6. issued for client review 05.11.17 5. issued for client review 10.27.16 4. pre-submission meeting 10.12.16 10.06.16 3. Issued for client review 04.04.16 2. issued for client review 06.25.15 1. pre-submission meeting

mark zwicker morteza rasekhi

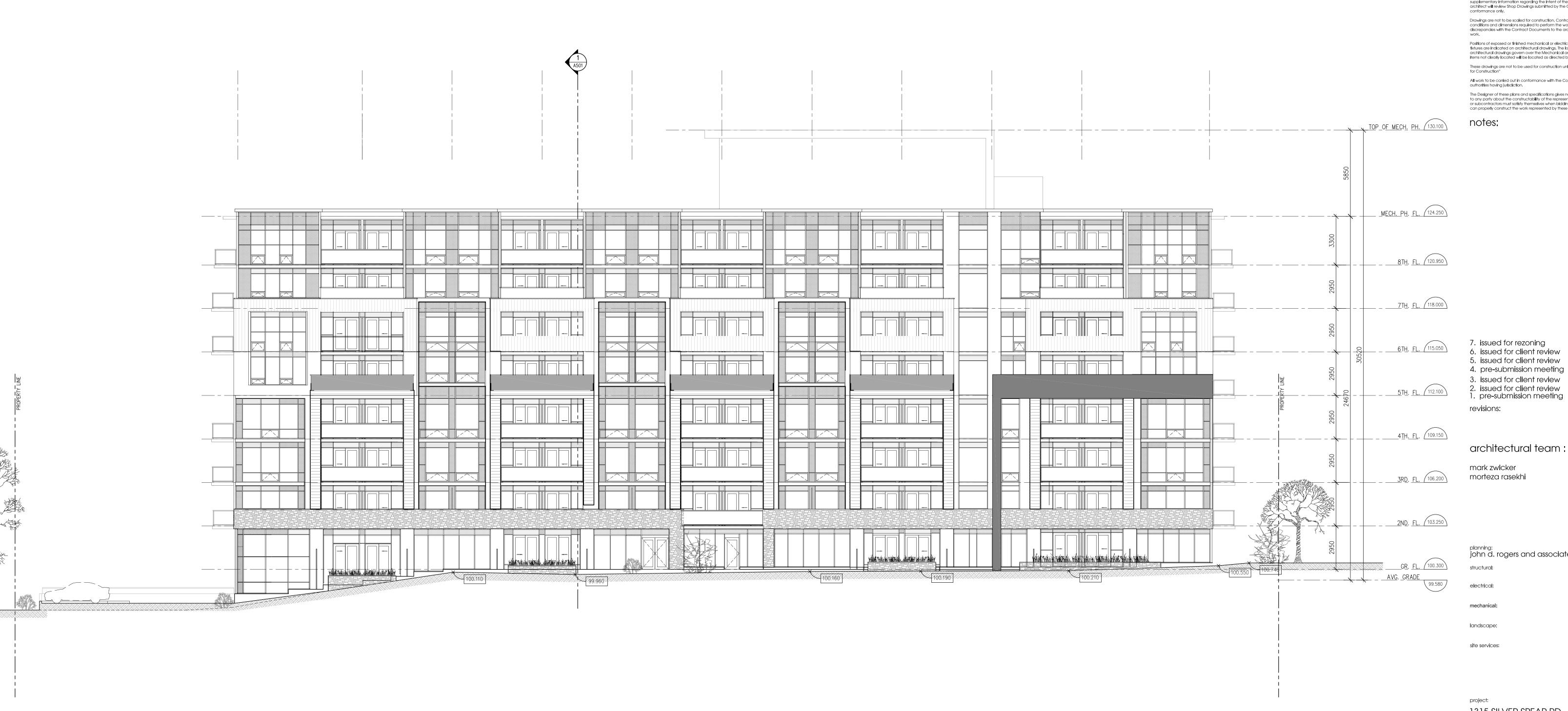
planning: john d. rogers and associates inc.

1315 SILVER SPEAR RD. mississauga, ontario

south elevation

November 13.2017 1:125

14-40 mr



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notes:

mark zwicker morteza rasekhi

revisions:

issued for rezoning

6. issued for client review 5. issued for client review

4. pre-submission meeting

3. issued for client review

2. issued for client review

pre-submission meeting

planning: john d. rogers and associates inc.

structura**l**:

electrical:

landscape:

mr

site services:

mechanical:

1315 SILVER SPEAR RD. mississauga, ontario

east elevation

November 13.2017 1:125 14-40





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revisions:

notes:

architectural team:

mark zwicker morteza rasekhi

planning: john d. rogers and associates inc.

structural:

electrical:

landscape:

mechanical:

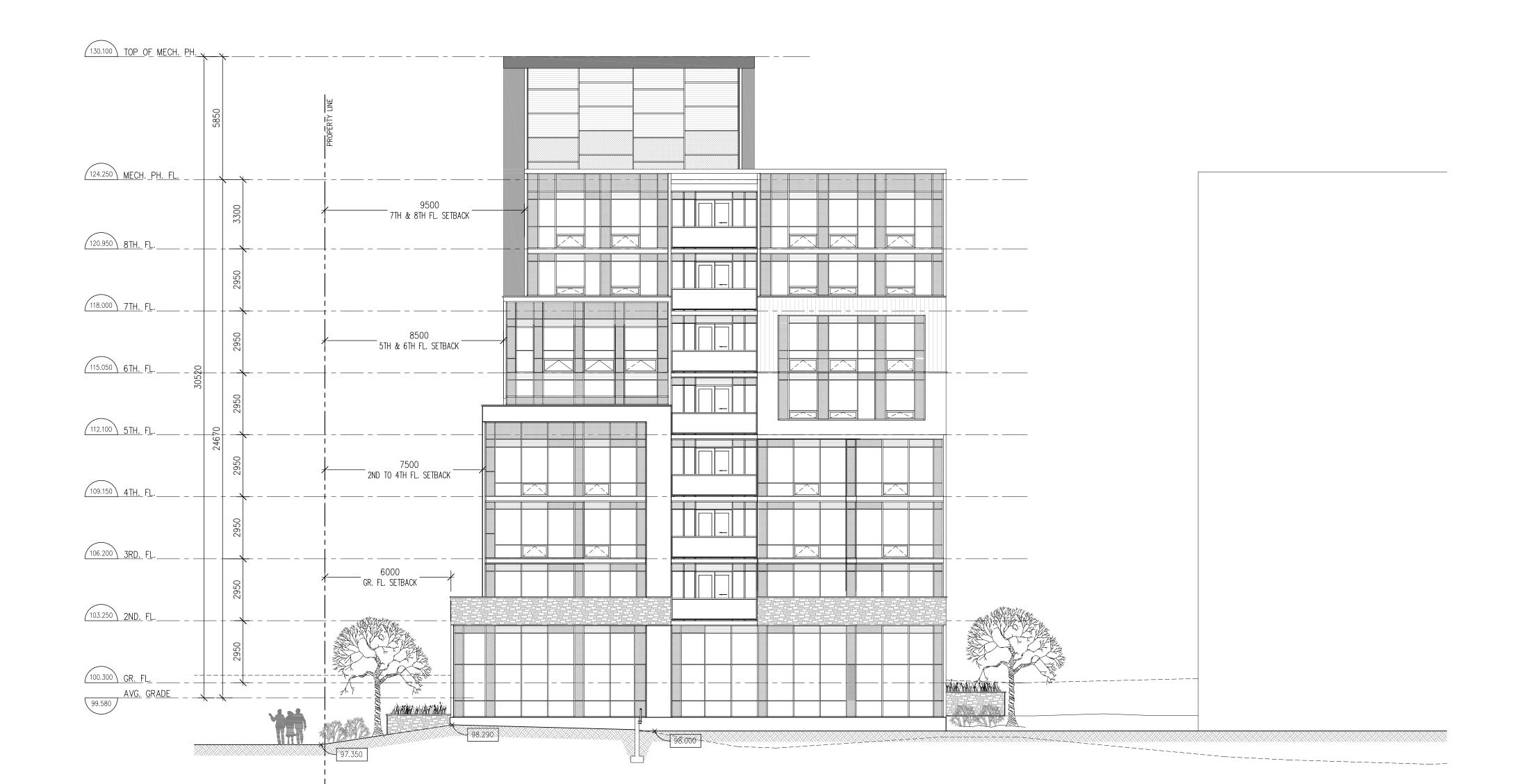
site services:

1315 SILVER SPEAR RD. mississauga, ontario

west elevation

November 13.2017

1:125 14-40 mr



architectural team:

mark zwicker morteza rasekhi

planning: john d. rogers and associates inc.

landscape:

site services:

project: 1315 SILVER SPEAR RD. mississauga, ontario

perspective view south-west

November 13.2017 1:125 14-40 mr



architectural team:

7. issued for rezoning

mark zwicker morteza rasekhi

revisions:

notes:

planning: john d. rogers and associates inc. structural:

electrical:

landscape:

site services:

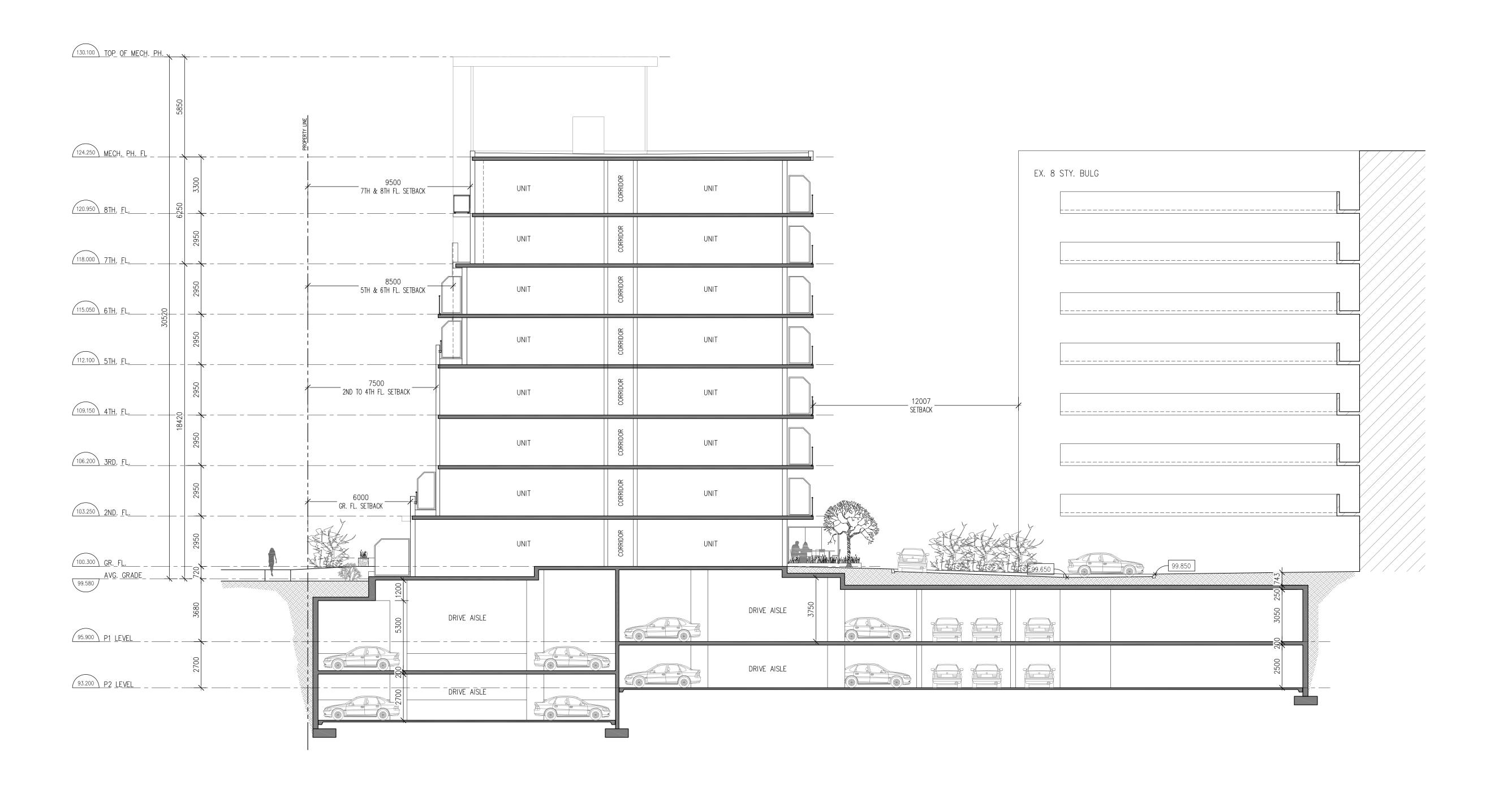
mechanical:

project 1315 SILVER SPEAR RD. mississauga, ontario

section

November 13.2017 1:125 14-40 mr









architectural team:

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notes:

mark zwicker morteza rasekhi

revisions:

7. issued for rezoning 6. issued for client review 5. issued for client review 4. pre-submission meeting 3. Issued for client review 2. issued for client review 1. pre-submission meeting



landscape:

site services:

1315 SILVER SPEAR RD. mississauga, ontario

November 13.2017

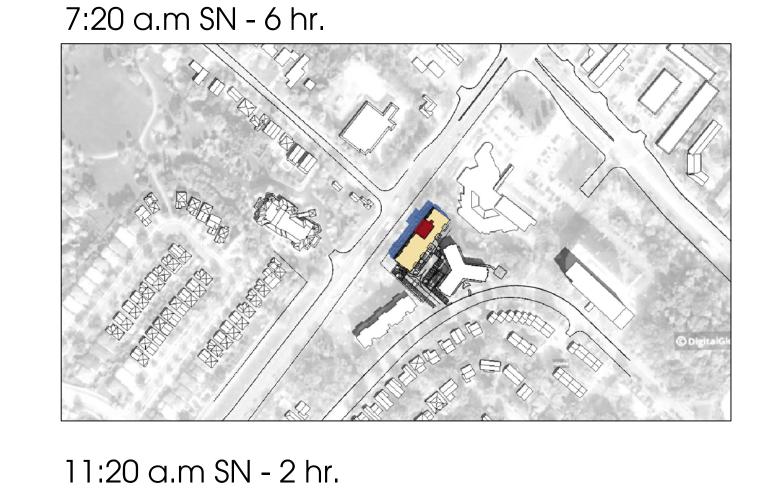






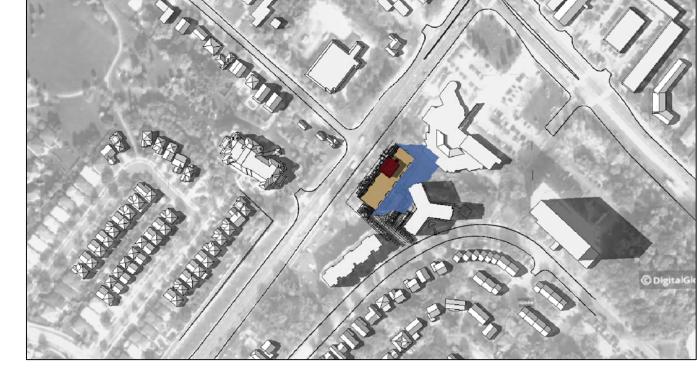
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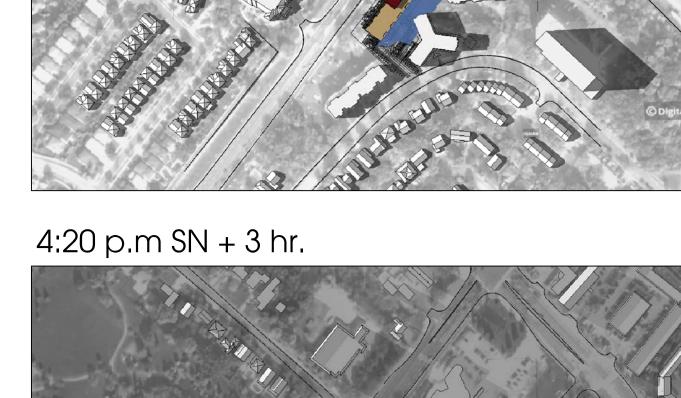
6:20 p.m SN + 5 hr.



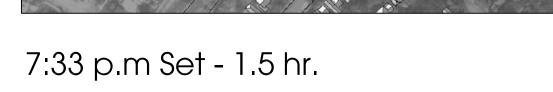


8:20 a.m SN - 5 hr.

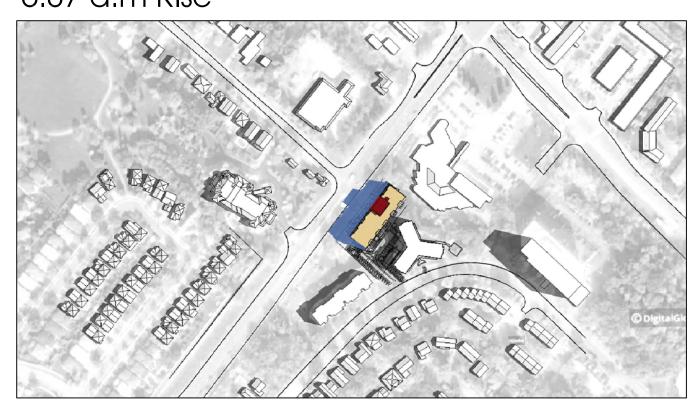




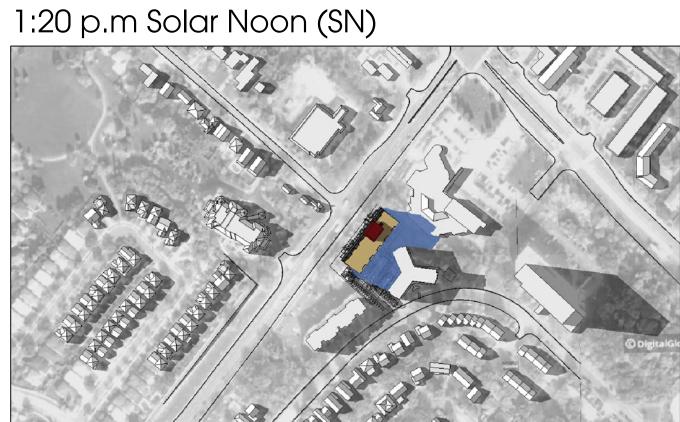


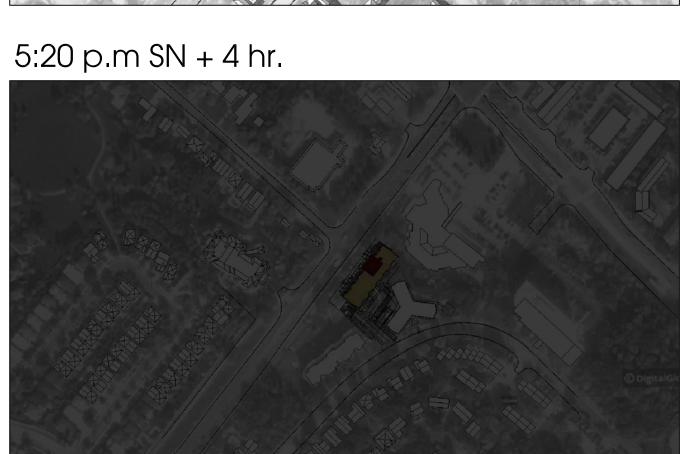




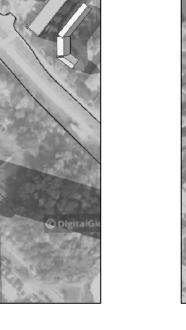


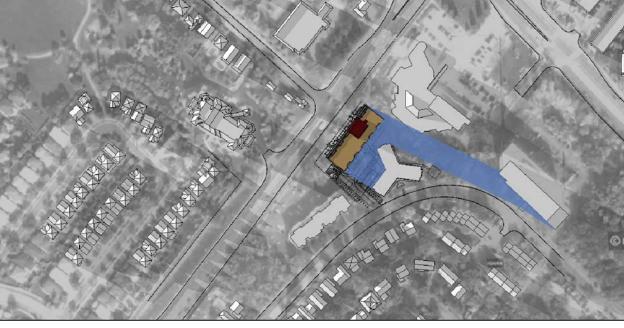












7:20 p.m SN + 6 hr.

3:20 p.m SN + 2 hr.

shadow study June 21

n.t.s 14-40 mr

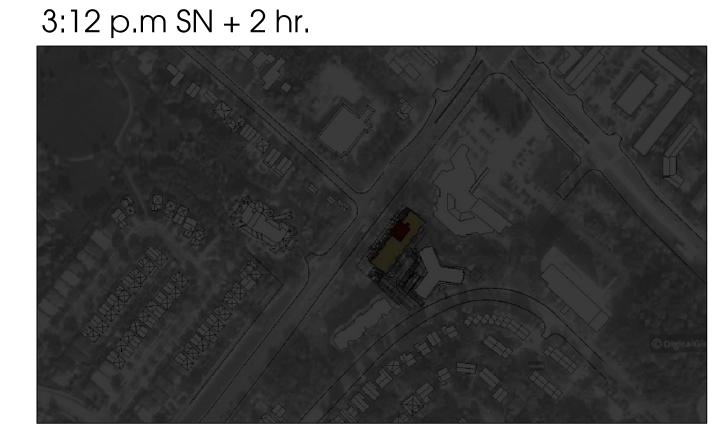


7:05 a.m Rise

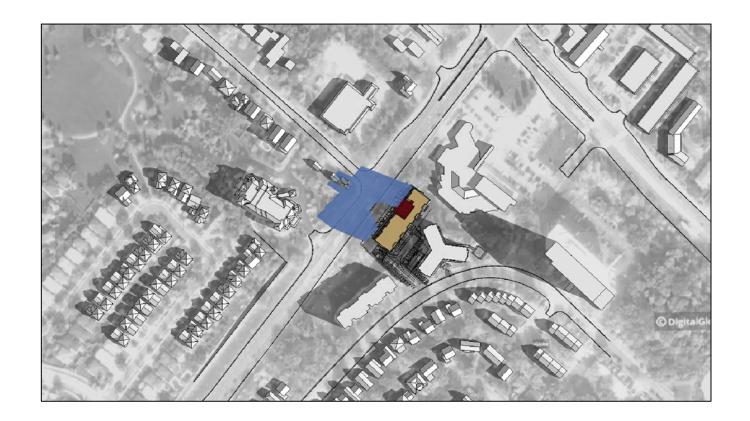


11:12 a.m SN - 2 hr.





7:18 p.m Set



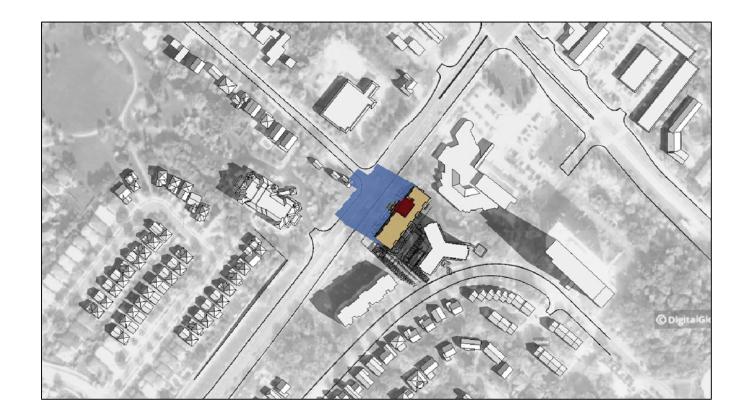
8:35 a.m Rise + 1.5 hr.



12:12 p.m SN - 1 hr.



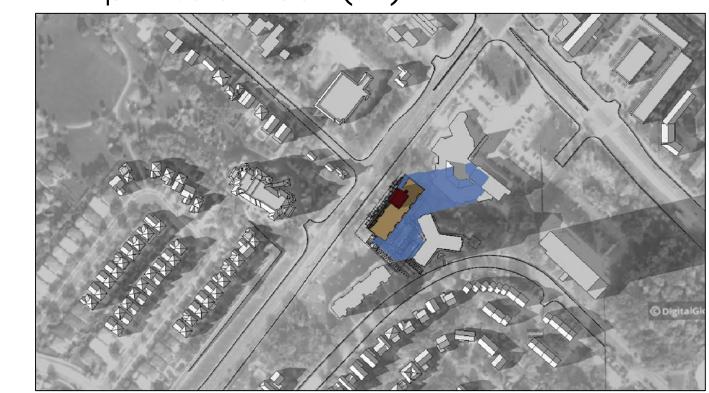
4:12 p.m SN + 3 hr.



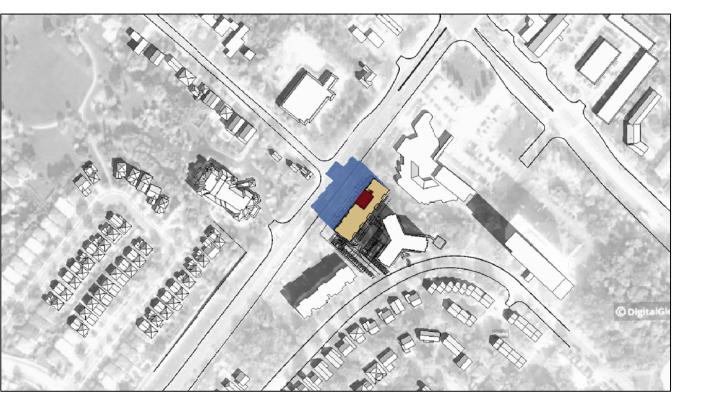
9:12 a.m SN - 4 hr.



1:12 p.m Solar Noon (SN)



5:12 p.m SN + 4 hr.



10:12 a.m SN - 3 hr.



2:12 p.m SN - 1hr.



5:48 p.m Set - 1.5 hr.

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Positions of exposed or finished mechanical or electrical devices, fittings, and fixtures are indicated on architectural drawings. The locations shown on the architectural drawings govern over the Mechanical and Electrical drawings. Those items not clearly located will be located as directed by the architect.

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7. issued for rezoning 6. issued for client review 5. issued for client review 4. pre-submission meeting 3. Issued for client review 2. issued for client review pre-submission meeting revisions:

architectural team:

mark zwicker morteza rasekhi

planning: john d. rogers and associates inc. structura**l**:

electrical:

landscape:

mechanical:

site services:

1315 SILVER SPEAR RD. mississauga, ontario

shadow study September

November 13.2017 n.t.s 14-40 mr





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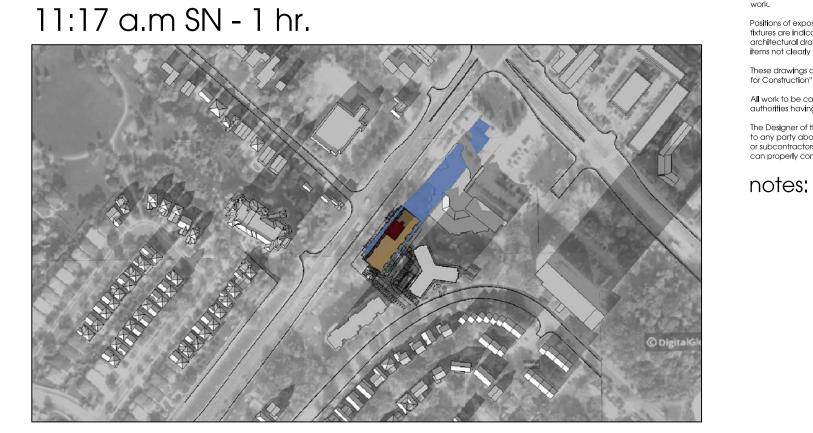
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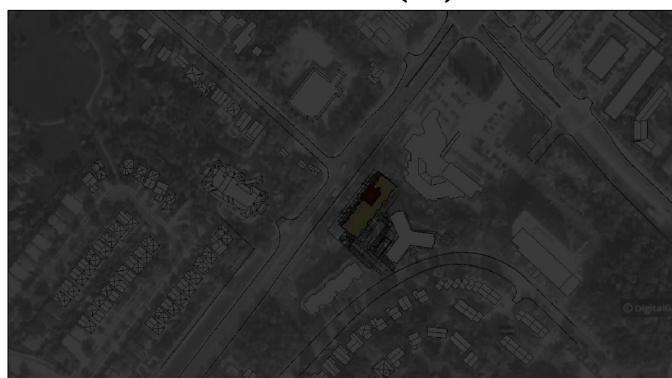


9:19 a.m Rise + 1.5 hr.





12:17 a.m SN - Solar Noon (SN)



1:17 p.m SN + 1 hr.

2:17 p.m SN + 2 hr.

10:17 a.m SN - 2 hr.

3:15 p.m SN - 1.5 hr.

7. issued for rezoning 11.13.17 05.11.17 6. issued for client review5. issued for client review 10.27.16 4. pre-submission meeting 10.12.16 10.06.16 04.04.16 06.25.15 3. issued for client review 2. issued for client review1. pre-submission meeting revisions:

architectural team:

mark zwicker morteza rasekhi

planning: john d. rogers and associates inc.

structural:

electrical:

mechanical:

landscape:

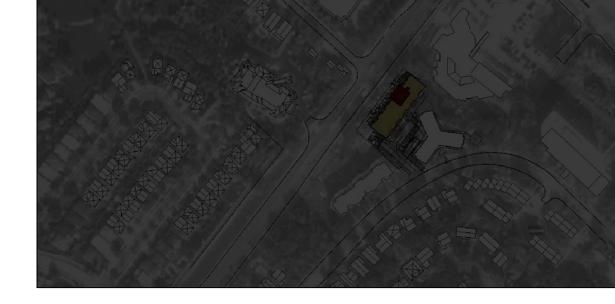
site services:

1315 SILVER SPEAR RD.

mississauga, ontario

shadow study December

November 13.2017 1:125 14-40 mr



16:45 p.m SET

7:49 a.m Rise