

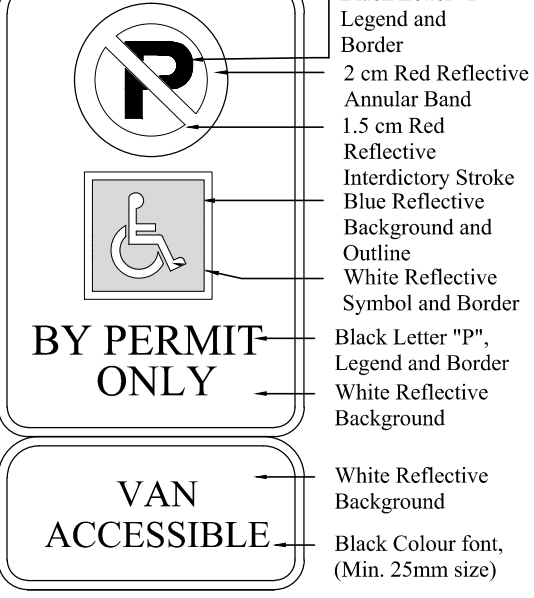
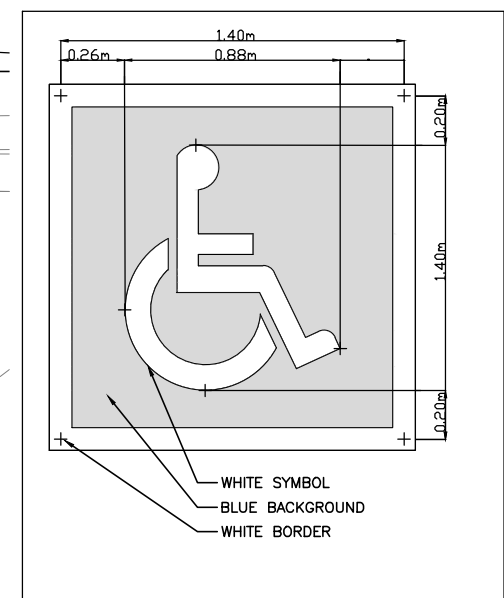


SITE STATISTICS - FOR TOTAL SITE	
GROSS SITE AREA	12659.20 m ² 3.128 Ac 1.266 Ha
MTO(EXPROPRIATED LAND),	-1180.02m ² 0.292 Ac 0.118 Ha
3m (REGION WIDENING)	-374.05m ² 0.092 Ac 0.037 Ha
16m EASEMENT	-296.87m ² 0.073 Ac 0.029 Ha
NET SITE AREA (including common element condominium single lots 1-18 & freehold single lots 19-26)	10808.26 m ² 2.671 Ac 1.081 Ha
TOTAL PROPOSED GFA (including common element condominium single lots 1-18 & freehold single lots 19-26)	6396.38 m ²
TOTAL DENSITY	26 UNITS/1.081 HA = 24.05 UPH 26 UNITS/2.671 AC = 9.734 UPA
FLOOR SPACE INDEX(FSI)	Gross floor area = 6396.38 Gross site area = 10808.27 = 0.592

SITE STATISTICS - COMMON ELEMENT CONDOMINIUM (LOTS 1-18)	
ZONING : R--XX	
NET SITE AREA (LOTS 1-18)	8523.96 m ² 2.106 Ac 0.852 Ha
BUILDING COVERAGE (including Porch)	1916.49 m ² 22.48%
LANDSCAPED OPEN SPACE (including tot lot)	3582.87 m ² 42.03%
ROADS, DRIVEWAYS, PARKING (including Sidewalks)	3024.60 m ² 35.49%
CONDO ROAD AREA (Excluding Driveway, sidewalks & visitor parking)	1920.28 m ²
TOT LOT AREA	235.59 m ²
PARKING	REQUIRED PROVIDED
REQUIRED PARKING @ 2 SPACES PER UNIT (18 LOTS)	36
RESIDENT PARKING PROVIDED	
1 PER LOT ON DRIVEWAY FOR LOTS 5-11,18	08
1 PER LOT IN ATTACHED GARAGE FOR LOTS 5-11,18	08
2 PER LOT ON DRIVEWAY FOR LOTS 1-4,12-17	20
2 PER LOT IN ATTACHED GARAGE FOR LOTS 1-4,12-17	20
VISITOR PARKING	
VISITOR PARKING REQUIRED 18 LOTS X 0.25/LOT	05
VISITOR PARKING PROVIDED (INCLUDED 1 REQUIRED TYPE A ACCESSIBLE PARKING)	07
TOTAL	41 63

LOT#	LOT AREA (m ²)	BUILDING COVERAGE (m ²)	GFA (m ²) (Proposed) Maximum	FRONTAGE AT 7.5 (m)	BUILDING HEIGHT Maximum (m)
1	428.98	140.63	315.87	13.16	10.20
2	304.27	124.26	288.00	10.85	10.20
3	293.68	116.11	269.42	10.85	10.20
4	284.05	108.00	246.19	10.94	10.20
5	286.35	98.24	236.90	11.95	10.20
6	249.87	98.24	236.90	10.15	10.20
7	249.87	98.24	236.90	10.15	10.20
8	322.75	98.24	236.90	15.42	10.20
9	354.34	98.49	236.90	15.03	10.20
10	271.80	109.24	264.77	10.28	10.20
11	320.29	109.24	264.77	11.23	10.20
12	310.04	114.21	255.48	13.01	10.20
13	276.00	99.80	232.26	12.00	10.20
14	276.00	99.80	232.26	12.00	10.20
15	276.00	99.80	232.26	12.00	10.20
16	276.00	99.80	232.26	12.00	10.20
17	276.00	99.80	232.26	12.00	10.20
18	346.40	104.35	241.55	18.32	10.20

ROAD WIDTH	7.00 m
CL ROAD RADIUS	13 m
DENSITY	18 UNITS 0.852 HA = 21.127 UPHa
TOTAL GFA (Maximum) :	4491.85 m ²
FLOOR SPACE INDEX (FSI)	Gross floor area = 4491.85 Gross site area = 8523.96 = 0.527



SIGNED CONDOMINIUM DECLARATION FOR TOWNHOUSE RESIDENTIAL DEVELOPMENT AS FOLLOWS:

DOMINION OF CANADA PROVINCE OF ONTARIO REGIONAL MUNICIPALITY OF PEEI TO WIT:

MAKE OATH AND SAY AS FOLLOWS:

1. I AM THE PRESIDENT OF WHICH IS THE OWNER AND BUILDER OF SINGLE FAMILY RESIDENTIAL BUILDINGS ON PROPERTY DESCRIBED ABOVE.
2. THAT THE SAID TOWNHOUSE RESIDENTIAL BUILDINGS ARE BEING BUILT TO BE SOLD AS TOWNHOUSE FREEHOLD CONDOMINIUM UNITS.
3. THE CITY OF MISSISSAUGA DOES NOT REQUIRE OFF SITE SNOW REMOVAL, HOWEVER, IN THE CASE OF HEAVY SNOW FALLS, THE LIMITED SNOW STORAGE SPACE AVAILABLE ON THE PROPERTY MAY MAKE IT NECESSARY TO TRUCK SNOW OFF THE SITE AND THE COST OF SAME WILL BE INCLUDED IN THE COMMON EXPENSE FEES.
AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF I MAKE IT UNDER OATH.

DECLARED BEFORE ME AT THE

IN THE MUNICIPALITY OF

THIS DAY OF

200

A COMMISSIONER ETC.

SITE STATISTICS - FREEHOLD LOTS FRONTING ON PRIMATE ROAD (LOTS 19-26)

ZONING : R--XX	
NET SITE AREA (LOTS 19-26)	2284.30 m ² 0.564 Ac 0.228 Ha
BUILDING COVERAGE (including Porch)	823.40 m ² 36.05%
LANDSCAPED OPEN SPACE	1170.50 m ² 51.24%
ROADS, DRIVEWAYS, PARKING (including Sidewalks)	290.40 m ² 12.71%

LOT #	LOT AREA (m ²)	BUILDING COVERAGE (m ²)	GFA (m ²) (Proposed) Maximum	BUILDING HEIGHT Maximum (m)
19	314.32	101.12	232.26	10.20
20	276.00	99.80	232.26	10.20
21	276.00	99.80	232.26	10.20
22	276.00	99.80	232.26	10.20
23	276.00	99.80	232.26	10.20
24	276.00	99.80	232.26	10.20
25	276.00	99.80	232.26	10.20
26	313.98	123.48	278.71	10.20

LOT #	FRONTAGE AT 7.5 (m)	LANDSCAPE OPEN SPACE(m ²)	FRONT LANDSCAPED AREA (m ²)
19	15.85	176.90	40.82
20	12.00	139.90	23.92
21	12.00	139.90	23.92
22	12.00	139.90	23.92
23	12.00	139.90	23.92
24	12.00	139.90	23.92
25	12.00	139.90	23.92
26	13.00	154.22	26.84

DENSITY	8 UNITS 0.228 HA = 35.09 UPHa
TOTAL GFA (Maximum) :	1904.53 m ²
FLOOR SPACE INDEX (FSI)	Gross floor area = 1904.53 Gross site area = 2284.30 = 0.834

NOTE:
The lot frontage, lot area, and lot coverage as currently shown are not certified.

The lot frontage, lot area calculations will be certified by an accredited Ontario Land Surveyor at the time of creating the parcels of land through the registration of a reference plan when the Condominium application is processed.

NOTE:
The building coverage, landscape open space & front landscaped area as currently shown are not certified.
The building coverage, landscape open space & front landscaped area are subject to change as per the actual grading & building footprint.

NOTE:
The fire access route will be designed to support a load of not more than 11,363kg per axle and have a change in gradient of not more than 1 in 12.5 over a minimum distance of 10m. The fire route will be designated as per Bylaw 1036-81 as amended.

NOTE:
Where possible building design & site design have been implemented to conserve energy & water. Wherever possible buildings have been designed, oriented and landscaped to minimize interior heat loss and to capture & retain solar heat energy in winter & to minimize solar heat penetration in summer.

NOTE:
Works in the municipal right-of-way being performed by the City's contractor will require 4 to 6 weeks notice prior to commencement of construction after all drawings have been approved and securities have been received.

NOTE:
The City of Mississauga does not require off site snow removal, however in the case of heavy snowfalls, the limited snow storage space available on the property may make it necessary to truck snow off the site and the cost of same will be included in the common expenses fees.

NOTE:
Satisfactory arrangements are to be made with the Transportation & Works Department for the erection and maintenance of hoarding adjacent to all existing residential properties throughout all phases of construction.

NOTE:
All proposed curbing at the entrances to the site to stop at the property line or at the municipal sidewalk.

NOTE:
Satisfactory arrangements are to be made with the Transportation & Works Departments for the erection & maintenance of hoarding adjacent to all existing residential properties throughout all phases of construction.

NOTE:
The applicant will erect and maintain snow fencing adjacent to all existing residential properties throughout all phases of construction.

NOTE:
Walkways, ramps, curb cuts must be provided and conform to the Ontario Building Code 1997-Section 3.8 Barrier-Free Design.

NOTE:
All surface drainage will be self contained, collected and discharged at a location to be approved prior to the issuance of a building permit.

NOTE:
The portion of the driveway within the municipal boulevard will be paved by the applicant.

NOTE:
At the entrances to the site the municipal sidewalk will be continuous through the driveway.

NOTE:
All internal curbing shall be OPSD 600.070, standard two stage curb and gutter.

NOTE:
Driveways to be asphalt. Paths from driveways to entry to be concrete paving min. 0.80m wide.

NOTE:
The Acoustical Consultant shall certify that the buildings and air conditioning condenser units are in compliance with the acoustical analysis prepared for the particular building.

NOTE:
i) "I hereby certify that this drawing conforms in all respects to the site development plans as approved by the City of Mississauga under file number _____

ii) "The City of Mississauga requires that all working drawings submitted to the Building Division as part of an application for the issuance of a building permit shall be certified by the architect or engineer as being in conformity with the site development plans as approved by the City of Mississauga."

iii) "All exterior lighting will be directed onto the site and will not hit things upon the adjacent properties."

iv) "All roof top mechanical units shall be screened from view by the applicant."

v) "Parking space(s) reserved for people with disabilities must be identified by a sign, installed at the applicant's expense, in accordance with the design specifications of Schedule 2 & 3 of By-law 001-2009."

vi) "The applicant will be responsible for ensuring the all plans conform to Transport Canada's restrictions."

vii) "Grades will be met within a 3.3% maximum slope at the property lines and within the site."

viii) "All damaged areas are to be reinstated with topsoil and seed prior to release of securities."

ix) "Signage shown on the site development plans is for information purposes only."

x) "All signs will be subject to the provisions of Sign By-law 0054-2002, as amended and a separate sign application will be required through the Building Division."

xi) "Any fencing adjacent to municipal lots is to be located 15cm(6.00) inside the property line."

xii) Only "shielded" lighting fixtures are permitted for all development, except for detached and semi-detached dwellings within 60 m (196.8 ft.) of a residentially zoned property and must conform to the Engineer Certified Lighting Plan.

xiii) The Engineer Certified Lighting Plan must be signed by the consulting Engineer.

xiv) The Owner covenants and agrees to construct and install "shielded" lighting fixtures on the subject lands, in conformity with the Site Plan and Engineer Certified Lighting Plan to the satisfaction of the City of Mississauga.

xv) The applicant will be responsible for ensuring the all plans conform to Transport Canada's restrictions."

xvi) Where parking is to be located in landscape areas on top of an underground parking structure, it is the responsibility of the applicant to arrange the coordination of the design of the underground parking structure with the Landscape Architect and the Consulting Engineer. Underground parking structures with landscaping are to be capable of supporting the following loads:

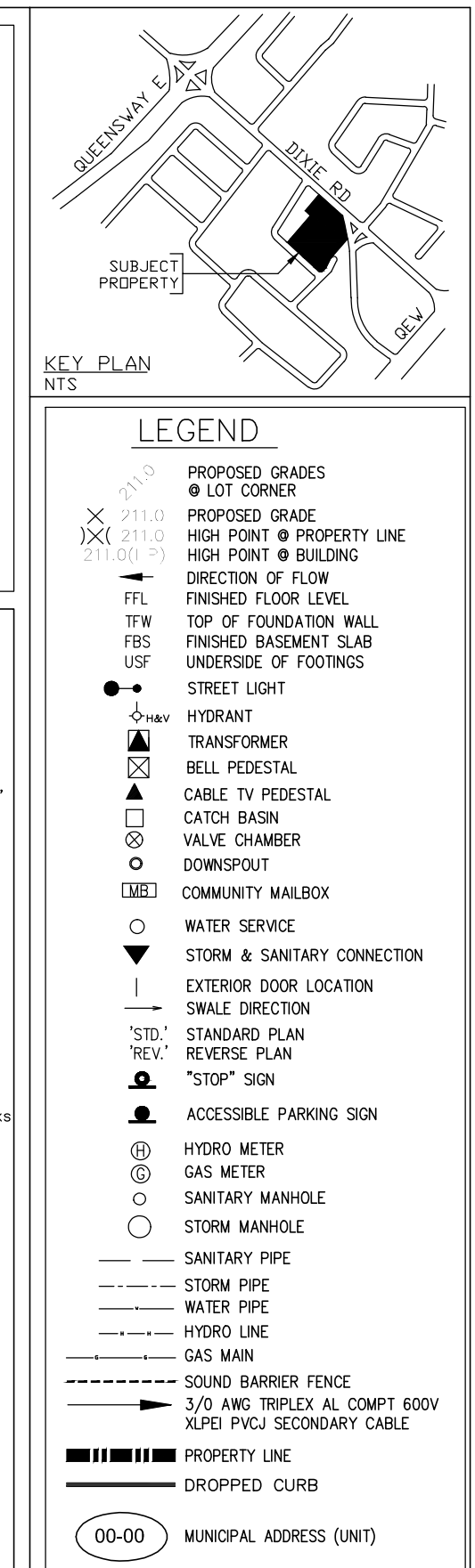
xvii) "Prefabricated sheet drain system" with a compressive strength of 1003 Kpa plus 40 cm topsoil for sod
15 cm of drainage gravel plus 60 cm topsoil for shrubs
15 cm of drainage gravel plus 90 cm topsoil for trees
OR
"Prefabricated sheet drain system" with a compressive strength of 1003 Kpa plus 60 cm topsoil for shrubs
"Prefabricated sheet drain system" with a compressive strength of 1003 Kpa plus 60 cm topsoil for trees
* Terradrain 900 or approved equal

xviii) The structural design of any retaining wall over 0.6m in height or any retaining wall located on a property line is to be shown on the Site Grading Plan for this project and is to be approved by Consulting Engineer for the project.

xix) Continuous 15 cm high barrier type poured concrete curbing will be provided between all asphalt and landscaped area throughout the site.

xx) Tree Protection Note:
The applicant is responsible for ensuring that tree protection hoarding is maintained throughout all phases of demolition and construction in the location and condition as approved by the Planning & Building Department. No materials (building materials, soil, etc.) may be stockpiled within the area of hoarding. Failure to maintain the hoarding as originally approved or the storage of materials within the hoarding will be cause for the Letter of Credit to be held for two (2) years following completion of all site works.

Owner's Signature: _____
Date: _____



Legend
PROPOSED GRADES
PROPOSED GRADE
HIGH POINT OF PROPERTY LINE
HIGH POINT OF BUILDING
DIRECTION OF FLOW
FINISHED FLOOR LEVEL
TOP OF FOUNDATION WALL
FINISHED BASEMENT SLAB
UNDERSIDE OF FOOTINGS
STREET LIGHT
HYDRANT
TRANSFORMER
BELL PEDESTAL
CABLE TV PEDESTAL
CATCH BASIN
VALVE CHAMBER
DOWNSPOUT
COMMUNITY MAILBOX
WATER SERVICE
STORM & SANITARY CONNECTION
EXTERIOR DOOR LOCATION
SWALE DIRECTION
STANDARD PLAN
REVERSE PLAN
"STOP" SIGN
ACCESSIBLE PARKING SIGN
HYDRO METER
GAS METER
SANITARY MANHOLE
SANITARY PIPE
STORM PIPE
WATER PIPE
HYDRO LINE
GAS MAIN
SOUND BARRIER FENCE
3/0 AND TRIPLEX AL COBRT BODY
ALPES PVCJ SECONDARY CABLE
PROPERTY LINE
DROPPED CURB
MUNICIPAL ADDRESS (UNIT)

Revisions

Drawn	SP
Date	04/25/17
Checked	
Approved	
Printed	01.08.18
CAD File	161353-SP9.DWG

The Architect has not been retained to carry out general review of the work and assumes no responsibility for the failure of the contractor or sub-contractors to comply with the Contract Documents with the Contract Documents.

Single pages of documents are not to be read independently of all pages of the Contract Documents.

The contractor shall verify all dimensions on the Contract Documents. Any discrepancies prior to the commencement of the work.

Under no circumstances shall the Contractor or sub-contractors proceed in uncertainty. Do not scale drawings.

**lananor
beresford
& pattison
architects**

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SP

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**WEALTHY PLACE
PROPOSED COMMON ELEMENT
CONDOMINIUM SINGLE-
DETACHED DEVELOPMENT
(LOTS 1-18)
& FREEHOLD SINGLE- DETACHED
DEVELOPMENT (LOTS 19-26)**

**CITY OF MISSISSAUGA,
ONTARIO**

Sheet Title SITE PLAN
Scales 1:300
Sheet Number 16-1353-SP1