

SIGNED CONDOMINIUM DECLARATIONS FOR MULTIPLE FAMILY RESIDENTIAL DEVELOPMENTS

DOMINION OF CANADA PROVINCE OF ONTARIO REGIONAL MUNICIPALITY OF PEEL TO WIT: 650 ATWATER AVENUE LTD.

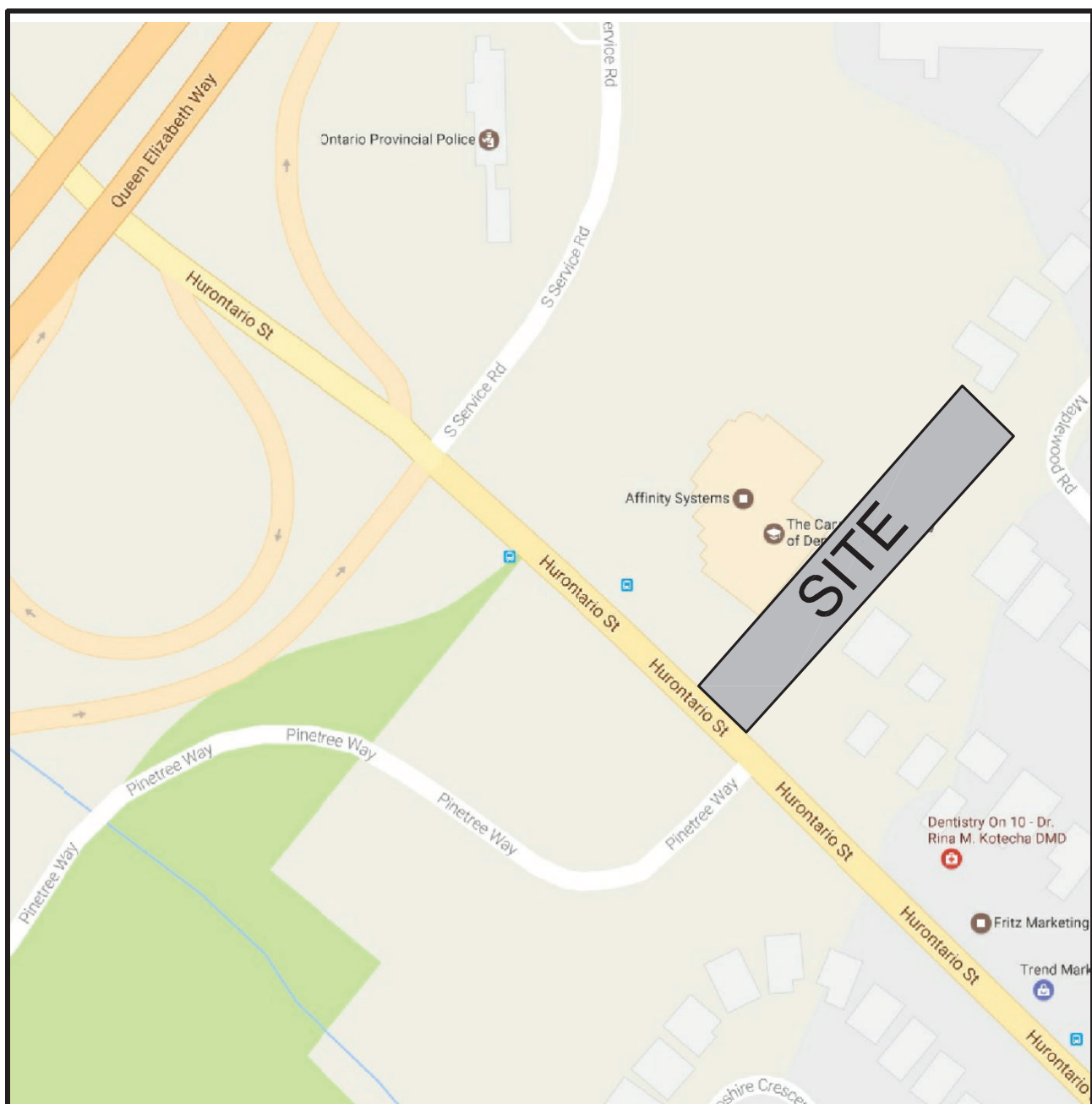
MAKE OATH AND SAY AS FOLLOWS:

I, I AM THE PRESIDENT OF SIERRA BUILDING GROUP, WHICH IS THE OWNER AND BUILDER OF 3 STOREY CONDOMINIUM BUILDING ON PROPERTY DESCRIBED ABOVE.

2. THAT THE SAID MULTIPLE RESIDENTIAL BUILDING IS BEING BUILT TO BE SOLD AS CONDOMINIUM APARTMENTS.

AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF I MAKE IT UNDER OATH.

DECLARED BEFORE ME AT THIS IN THE MUNICIPALITY OF THIS DAY OF 20, A COMMISSIONER ETC.



Curb and Sidewalk Details 7

Certification 5

Key Plan 3

KIRKOR architects + planners	
1575 Hurontario Street, Mississauga, Ontario	
Name of Project: Residential Townhouse Development - Building 'B'	
Location: 1575 Hurontario Street, Mississauga, Ontario	
Ontario's 2006 Building Code	
Data Matrix Part 3 & 9	
OBC Reference	
References are to Division B unless noted	
[A] See Division A or [C] See Division C	
1	Project Description: <input checked="" type="checkbox"/> New <input type="checkbox"/> Part 11 <input type="checkbox"/> Part 3 <input checked="" type="checkbox"/> Part 9
2	Major Occupancy: <input checked="" type="checkbox"/> Group C <input type="checkbox"/> Change of Use <input type="checkbox"/> Alteration
3	Building Area (m <sup>2</sup> ): Existing N/A New 592.00 m <sup>2</sup> Total 592.00 m <sup>2</sup> 1.4.1.2 [A] 1.4.1.2 [A]
4	Gross Area (m <sup>2</sup> ): Existing N/A New 2500 m <sup>2</sup> Total 2500 m <sup>2</sup> 1.4.1.2 [A] 1.4.1.2 [A]
5	Number of Storeys: Above grade: 3 Below grade: 1 1.4.1.2 [A] 1.4.1.2 [A]
6	Number of Streets Fire Fighter Access: 1 Street 3.2.2.38-83 9.10.2
7	Building Classification Group: C-Part 9 3.2.2.38-83 9.10.2
8	Sprinkler System Proposed: <input type="checkbox"/> Building classification <input type="checkbox"/> Selected compartments <input type="checkbox"/> Selected floor areas (underground parking garage only) 3.2.1.5 3.2.2.37 <input type="checkbox"/> Basement <input type="checkbox"/> In lieu of roof rating. <input checked="" type="checkbox"/> Not required
9	Standpipe required: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No 3.2.9 N/A
10	Fire Alarm required: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No 3.2.4 9.10.18
11	Water Service Supply is Adequate: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No 3.2.5.7 N/A
12	High Building: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No 3.2.6 N/A
13	Construction Restrictions: <input type="checkbox"/> Combustible permitted <input type="checkbox"/> Non-combustible required <input checked="" type="checkbox"/> Both 3.2.2.38-83 9.10.6
14	Actual Construction: <input type="checkbox"/> Combustible <input type="checkbox"/> Non-combustible <input checked="" type="checkbox"/> Both 3.2.1.1 (3) 9.10.4.1
15	Occupant load based on: <input type="checkbox"/> m <sup>2</sup> /person <input checked="" type="checkbox"/> design of building 3.1.1.7 9.9.1.3
16	Barrier-free Design: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No (Optional) 3.8 9.5.2
17	Hazardous Substances: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No 3.3.1.2 & 3.3.1.9 9.10.13 (4)

OBC-Matrix Building B 8

KIRKOR architects + planners	
1575 Hurontario Street, Mississauga, Ontario	
Name of Project: Residential Townhouse Development - Building 'A'	
Location: 1575 Hurontario Street, Mississauga, Ontario	
Ontario's 2006 Building Code	
Data Matrix Part 3 & 9	
OBC Reference	
References are to Division B unless noted	
[A] See Division A or [C] See Division C	
1	Project Description: <input checked="" type="checkbox"/> New <input type="checkbox"/> Part 11 <input type="checkbox"/> Part 3 <input checked="" type="checkbox"/> Part 9
2	Major Occupancy: <input checked="" type="checkbox"/> Group C <input type="checkbox"/> Change of Use <input type="checkbox"/> Alteration
3	Building Area (m <sup>2</sup> ): Existing N/A New 676.00 m <sup>2</sup> Total 676.00 m <sup>2</sup> 1.4.1.2 [A] 1.4.1.2 [A]
4	Gross Area (m <sup>2</sup> ): Existing N/A New 2800 m <sup>2</sup> Total 2800 m <sup>2</sup> 1.4.1.2 [A] 1.4.1.2 [A]
5	Number of Storeys: Above grade: 3 Below grade: 1 1.4.1.2 [A] 1.4.1.2 [A]
6	Number of Streets Fire Fighter Access: 1 Street 3.2.2.10 & 3.2.5 9.10.20
7	Building Classification Group: C-Part 9 3.2.2.38-83 9.10.2
8	Sprinkler System Proposed: <input type="checkbox"/> Building classification <input type="checkbox"/> Selected compartments <input type="checkbox"/> Selected floor areas (underground parking garage only) 3.2.1.5 3.2.2.37 <input type="checkbox"/> Basement <input type="checkbox"/> In lieu of roof rating. <input checked="" type="checkbox"/> Not required
9	Standpipe required: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No 3.2.9 N/A
10	Fire Alarm required: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No 3.2.4 9.10.18
11	Water Service Supply is Adequate: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No 3.2.5.7 N/A
12	High Building: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No 3.2.6 N/A
13	Construction Restrictions: <input type="checkbox"/> Combustible permitted <input type="checkbox"/> Non-combustible required <input checked="" type="checkbox"/> Both 3.2.2.38-83 9.10.6
14	Actual Construction: <input type="checkbox"/> Combustible <input type="checkbox"/> Non-combustible <input checked="" type="checkbox"/> Both 3.2.1.1 (3) 9.10.4.1
15	Occupant load based on: <input type="checkbox"/> m <sup>2</sup> /person <input checked="" type="checkbox"/> design of building 3.1.1.7 9.9.1.3
16	Barrier-free Design: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No (Optional) 3.8 9.5.2
17	Hazardous Substances: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No 3.3.1.2 & 3.3.1.9 9.10.13 (4)

OBC-Matrix Building A 6

ADDITIONAL NOTES:

1. Owner/Architect: Name: [Redacted] Address: [Redacted] Phone Number: [Redacted] Fax Number: [Redacted] E-mail Address: [Redacted] Project Name: [Redacted] Site Address: [Redacted] City: [Redacted] Province: [Redacted] Country: [Redacted] Date: [Redacted]

2. City of Mississauga Site Plan Application: [Redacted] File Number: [Redacted] Date: [Redacted]

3. Survey Information: [Redacted]

4. All fire access routes shall be constructed of hard surface materials and shall be maintained in good condition at all times.

5. All exterior lighting shall be directed away from the site and shall not be directed at adjacent properties.

6. All exterior lighting shall be directed away from the site and shall not be directed at adjacent properties.

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17. All exterior lighting shall be directed away from the site and shall not be directed at adjacent properties.

18. The top of any curbs, drainage ditches, or other structures shall be maintained at or below the existing grade.

19. All parking spaces shall be constructed of hard surface materials and shall be maintained in good condition at all times.

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31. The applicant will be responsible for ensuring that all plans conform to the Ontario Building Code.

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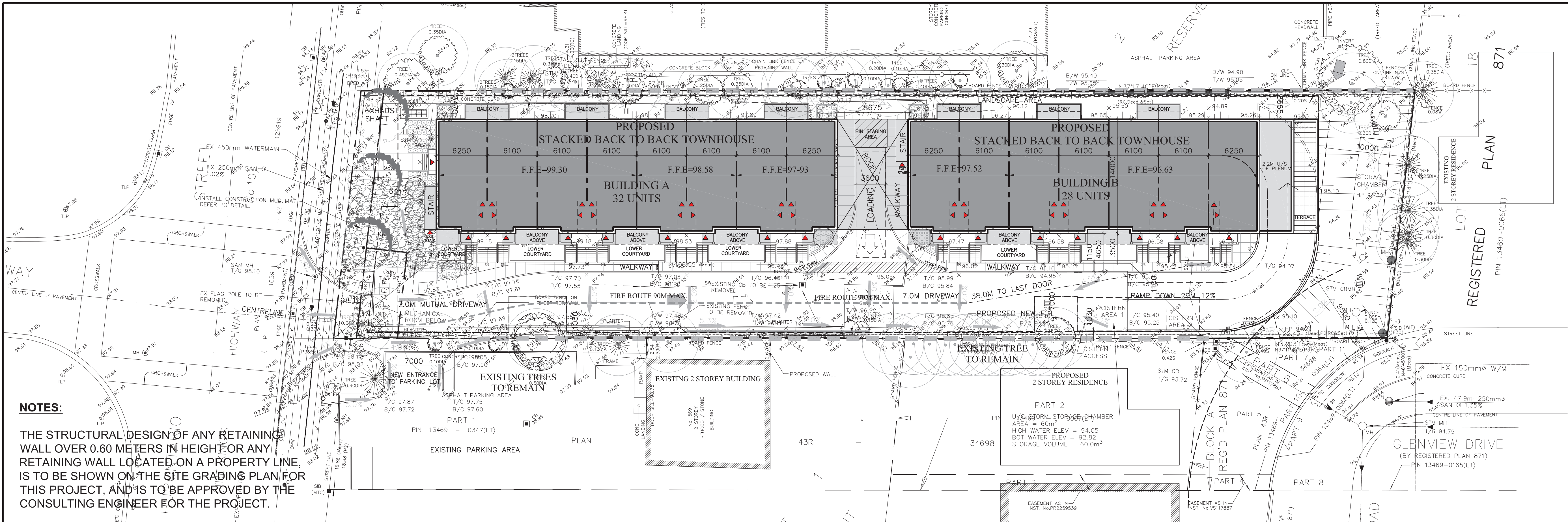
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Standard Mississauga Notes 2



Site Plan 4

Site Statistics 1

1575 HURONTARIO STREET	
Mississauga, Ontario	
Proposed Residential Development	
Project Statistics	
December 15, 2017	
Project No. 17-004	
1.0 Site Area	
Site Area	8,809 sq.m. 88.7
Net Site Area	0.8461 8,421.24
2.0 GFA	
2.1 Proposed GFA	
Building	
Lower Level	878.00 8.78
Ground Floor	640.00 6.40
Second Floor	676.00 6.76
Third Floor	676.00 6.76
Roof Enclosure	222.00 2.22
Total Proposed GFA	2,892.00 28.92
2.2 Proposed GFA	
Building	
Lower Level	878.00 8.78
Ground Floor	640.00 6.40
Second Floor	676.00 6.76
Third Floor	676.00 6.76
Roof Enclosure	222.00 2.22
Total Proposed GFA	2,892.00 28.92
3.0 Units	
Units	
Lower Level	878.00 8.78
Ground Floor	640.00 6.40
Second Floor	676.00 6.76
Third Floor	676.00 6.76
Roof Enclosure	222.00 2.22
Total Units	80
4.0 Parking	
Parking	
Residential	
Lower Level	878.00 8.78
Ground Floor	640.00 6.40
Second Floor	676.00 6.76
Third Floor	676.00 6.76
Roof Enclosure	222.00 2.22
Total Parking	74
5.0 Landscaping	
Landscaping	
Lower Level	878.00 8.78
Ground Floor	640.00 6.40
Second Floor	676.00 6.76
Third Floor	676.00 6.76
Roof Enclosure	222.00 2.22
Total Landscaping	1,241.00 12.41
6.0 Amenity Area	
Amenity Area	
Lower Level	878.00 8.78
Ground Floor	640.00 6.40
Second Floor	676.00 6.76
Third Floor	676.00 6.76
Roof Enclosure	222.00 2.22
Total Amenity Area	1,241.00 12.41
7.0 Building Height	
Building Height	
Lower Level	878.00 8.78
Ground Floor	640.00 6.40
Second Floor	676.00 6.76
Third Floor	676.00 6.76
Roof Enclosure	222.00 2.22
Total Building Height	12.41
8.0 Provided	
Provided	
Lower Level	878.00 8.78
Ground Floor	640.00 6.40
Second Floor	676.00 6.76
Third Floor	676.00 6.76
Roof Enclosure	222.00 2.22
Total Provided	10,471.00 104.71

Contractor Must Check And Verify All Dimensions On The Job.

Do Not Scale The Drawings.

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This Drawing Is Not To Be Used For Construction Until Signed By The Architect.

Date:

KIRKOR ASSOCIATES ARCHITECTS + PLANNERS

20 De Boers Drive, Toronto, Suite #400  
Ontario, M3J 0H1  
T(416) 665-6060, F(416) 665-1234, www.kirkorarchitects.com

No Revision Date

Context Plan  
Site Plan  
Project Statistics  
DRAWING PHASE 12  
DREAM MAKER  
PROPOSED  
TOWNHOUSE  
RESIDENTIAL DEVELOPMENT

1575 HURONTARIO, MISSISSAUGA, ONTARIO.

Scale

IL Drawn by  
S.M. Checked by  
17.094 File No.  
Dec. 15, 2017 Plot Date

RZ-01