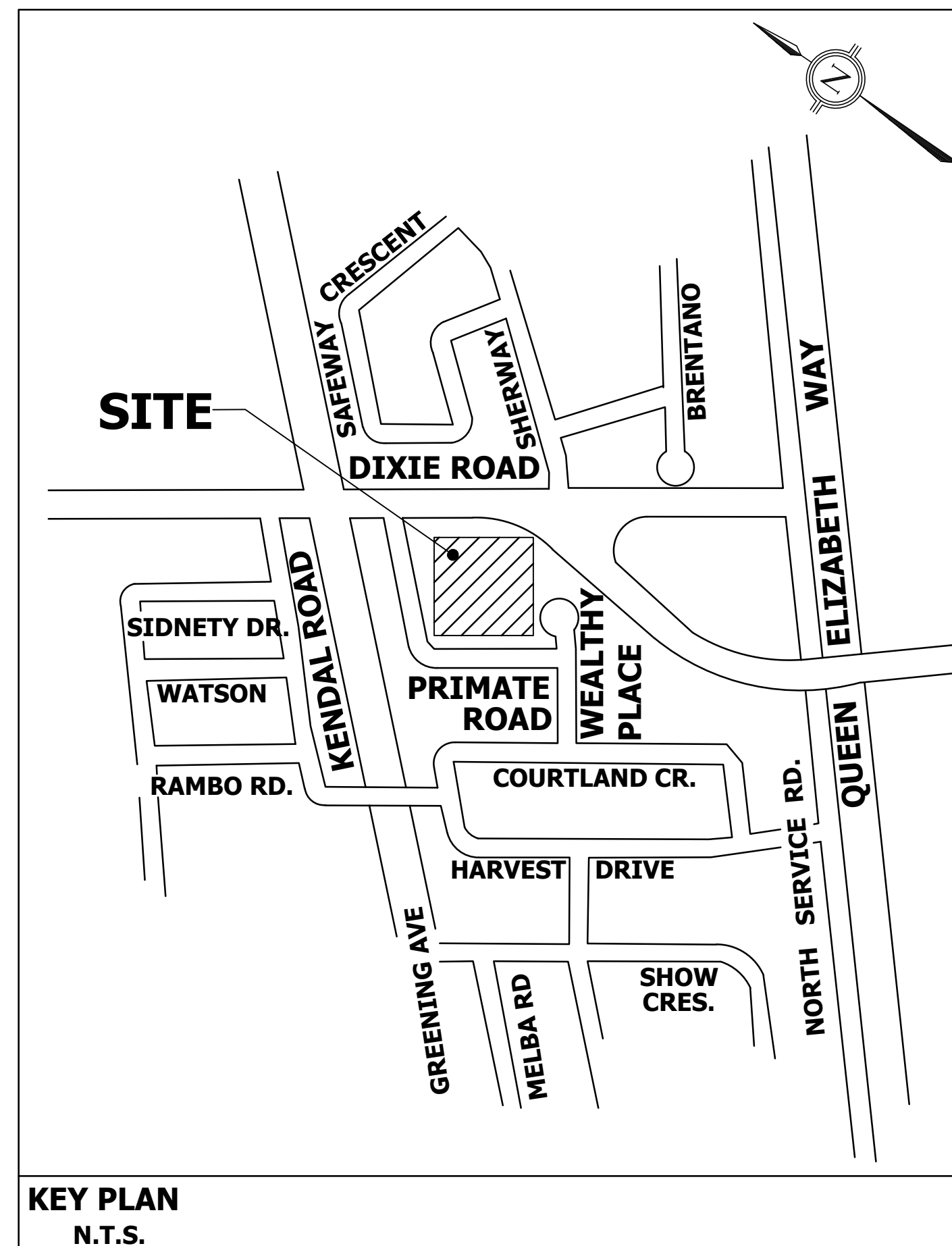


CITY PARK (DIXIE) INC.
2103-2119 PRIMATE ROAD, 1351 & 1357
WEALTHY PLACE, 2116& 2112 DIXIE ROAD
DARC 17-192



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CITY OF MISSISSAUGA
ENGINEERING DEPARTMENT
THE REGION OF PEEL



REGION OF PEEL STANDARD NOTES

GENERAL NOTES

1. STANDARD DRAWINGS OF THE CITY OF MISSISSAUGA, CONSTITUTE PART OF THE PLANS OF THE CONTRACT
2. INFORMATION REGARDING ANY EXISTING SERVICES AND/OR UTILITIES SHOWN IN THIS SET OF PLANS IS FURNISHED AS THE BEST AVAILABLE INFORMATION. THE CONTRACTOR SHALL INTERPRET THIS INFORMATION AS HE SEES FIT WITH THE UNDERSTANDING THAT THE OWNER AND CITY DISCLAIMS ALL RESPONSIBILITY FOR ITS ACCURACY AND/OR SUFFICIENCY.
3. ALL DIMENSIONS AND ELEVATIONS SHALL BE CHECKED AND VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO ANY CONSTRUCTION AND HE SHALL REPORT ANY DISCREPANCIES IMMEDIATELY TO THE ENGINEER. (DETAILS ARE NOT TO BE SCALED FROM THE DRAWING)
4. THE NOTES ON THIS SHEET APPLY TO ALL WORKS UNDER THIS CONTRACT UNLESS OTHERWISE NOTED ON PLAN/PROFILE AND/OR DETAIL DRAWINGS.
5. ALL AREAS DISTURBED OUTSIDE THE PLAN BY THE CONTRACTOR DURING THE CONSTRUCTION OF THE WORKS SHOWN HEREON SHALL BE RESTORED TO ORIGINAL CONDITION OR BETTER. ALL GRASS AND VEGETATION COVERED AREAS SHALL BE RESTORED BY PLACING 150MM OF APPROVED TOP SOIL AND SOD TO THE SATISFACTION OF THE CITY, UNLESS OTHERWISE NOTED.
6. STREET LIGHTS SHALL BE LOCATED IN POSITIONS AS PER APPROVED LOCATION.
7. APPROVED FILL MATERIAL TO BE COMPACTED TO A DRY DENSITY OF NOT LESS THAN 95% OF THE STANDARD PROCTOR DENSITY. AFTER COMPACTION SOIL DENSITY TESTS SHALL BE CONDUCTED TO ENSURE ADEQUATE COMPACTION AND STABILITY OF THE FILL AND TEST RESULTS SHALL BE SUBMITTED TO THE CITY.
8. THE SUPERVISION OF PLACEMENT AND COMPACTION AND CERTIFICATION OF ALL ENGINEERED FILL AREAS SHALL BE THE RESPONSIBILITY OF THE GEOTECHNICAL ENGINEER FOR THE PROJECT.
9. ALL CONSTRUCTION WORK TO BE CARRIED OUT IN ACCORDANCE WITH THE REQUIREMENTS OF THE OCCUPATIONAL HEALTH AND SAFETY ACT AND REGULATIONS FOR CONSTRUCTION PROJECTS.
10. ALL CONSTRUCTION SIGNING MUST CONFORM TO THE M.T.C. MANUAL "UNIFORM TRAFFIC CONTROL DEVICES" LATEST EDITION.
11. REFERENCE TO STANDARD DRAWINGS SHALL MEAN THE STANDARD DRAWINGS OF THE CORPORATION OF THE CITY OF MISSISSAUGA AND UNLESS NOTED OTHERWISE THESE SHALL BE THE REVISION IN EFFECT AS OF THE DATE OF THE CITY'S APPROVAL OF THE CONSTRUCTION DRAWINGS.

STORM

1. ALL LOCATIONS & ELEVATIONS OF EXISTING UTILITIES SHOWN ON PLAN OR PROFILE ARE FOR REFERENCE PURPOSES ONLY. THE CONTRACTOR SHALL SATISFY HIMSELF AS TO ACTUAL LOCATION & DEPTH AND SHALL BE LIABLE FOR DAMAGES.
2. MANHOLES TO BE CONSTRUCTED AS PER OPSD 701.010.
3. ALL PIPE BEDDING TO BE CLASS 'B' AS PER MTA STD 2112.080.
4. ALL CONCRETE PIPE TO CONFORM TO CSA SPECIFICATION A-2571 OR A-2572 FOR LARGER THAN 450mm DIA.
5. CATCHBASIN TO BE 600mm SQ. PRECAST CONCRETE UNITS AS PER AS PER OPSD 705.010 UNLESS OTHERWISE NOTED.
6. REAR LOT CACHBASIN TO BE CONSTRUCTED AS PER CITY STD 2851070.
7. ALL PROPOSED DRIVEWAY CULVERTS ARE TO BE CONSTRUCTED WITH PRECAST HEADWALL.

ROADS

1. ALL EXISTING UTILITIES SHOWN ON PLAN ARE FOR REFERENCE PURPOSES ONLY THE CONTRACTOR SHALL SATISFY HIMSELF AS TO ACTUAL LOCATION AND DEPTH, AND SHALL BE LIABLE FOR ALL DAMAGES.
2. ALL EXISTING MANHOLE TOPS, VALVE CHAMBERS, GAS BREATHERS ETC. TO BE ADJUSTED TO FINISHED GRADE.
3. THE CITY WILL ARRANGE FOR THE RELOCATION OF ANY CONFLICTING H.E.P.C. POLES OR GUY WIRES.
4. CONNECTIONS WHICH ARE TO BE ABANDONED SHALL BE PLUGGED WITH CONCRETE.
5. UNLESS OTHERWISE NOTED THE CONTRACTOR SHALL REMOVE ALL CSP'S AFFECTED BY THE CONSTRUCTION AND DISPOSE OF SAME AT DUMP SITE.
6. ALL INTERNAL CURBS TO BE CONSTRUCTED AS PER OPSD 600.070 or 600.10.
7. CONCRETE SIDEWALK TO BE CONSTRUCTED IN ACCORDANCE WITH CITY STD. 2240.01 & 2240.04.
8. PAVEMENT DESIGN (INTERNAL ROAD AND PARKING)

- 250mm COMPACTED DEPTH OF GRANULAR 'B'
- 200mm COMPACTED DEPTH OF GRANULAR 'A'
- 65mm COMPACTED DEPTH OF HL8 ASPHALT (BASE COURSE)
- 40mm COMPACTED DEPTH OF HL3 ASPHALT (TOP COURSE)

9. PAVEMENT STRUCTURE FOR INDIVIDUAL DRIVEWAY

- 150mm COMPACTED DEPTH OF GRANULAR 'A'
- 50mm COMPACTED DEPTH OF HL8 ASPHALT (BASE COURSE)
- 25mm COMPACTED DEPTH OF HL3 ASPHALT (TOP COURSE)

10. COMPACTION OF GRANULAR MATERIAL TO BE 98% STANDARD PROCTOR DENSITY, TO THE SATISFACTION OF THE GEOTECHNICAL ENGINEER.

SANITARY SEWERS

1. ALL SANITARY SEWER BEDDING AS PER STD. 2-3-1.
2. MAINLINE SANITARY SEWER PIPE SIZE SHALL BE MINIMUM 250mm IN DIAMETER INSTALLED AT THE APPROVED DESIGN GRADE. PIPE CLASS AND APPURTENANCES AS PER REGION'S SPECIFICATIONS.
3. ALL SEWERS CONSTRUCTED WITH GRADES 0.5% OR LESS SHALL BE APPROVED BY THE ENGINEER AND THE AGENCY PROJECT MANAGER OR DESIGNATE AND BE INSTALLED WITH LASER AND CHECKED PRIOR TO BACKFILL.
4. MINIMUM SANITARY SEWER PIPE SLOPE FOR LAST LEG SHALL BE 1% AND DESIRABLE SLOPE 2%.
5. ALL MANHOLES SHALL BE AS PER REGION STD. DWG. 2-1-1 AND 2-1-2 WITH BENCHING AS PER STD 2-1-4.
6. FRAME AND COVERS SHALL BE AS PER REGION STD. DWG. 2-2-2 AND 2-2-3.
7. MANHOLE STEPS SHALL BE AS PER REGION STD. DWG. 2-2-4.
8. MANHOLES DEEPER THAN 5.0m MUST BE EQUIPPED WITH SAFETY PLATFORMS, AS PER STD 2-2-1
9. SANITARY SERVICE LATERALS SHALL BE MINIMUM 125mm DIAMETER.
- a. SANITARY SERVICE SHALL BE LOWER THAN AND TO THE RIGHT OF THE STORM SERVICE AT THE PROPERTY LINE WHEN FACING THE LOT FROM THE STREET.
- b. CONNECTIONS TO SEWERS SHALL BE MADE WITH MANUFACTURED TEES OR WYES WHERE APPLICABLE AND SHALL BE COLOUR CODED AS NON-WHITE, AS PER STD. DWG. 2-4-1, 2-4-2, AND 2-4-4.

WATERMAINS

1. THE REGION OF PEEL SHALL CONDUCT THE OPERATION OF EXISTING VALVES AND HYDRANTS IF REQUIRED.
2. CONTRACTOR MUST USE BATTER BOARD OR ROD-AND-LEVEL METHOD FOR WATERMAIN INSTALLATION.
3. ALL WATERMAINS SHALL HAVE 1.70m MINIMUM COVER FOR URBAN ROAD DESIGN AND 2.1m MINIMUM COVER FOR RURAL ROAD DESIGN.
4. ALL WATERMAINS SHALL MAINTAIN A MINIMUM 1.5m CLEARANCE FROM ALL MANHOLES AND CATCH BASINS, WHERE APPLICABLE.
5. FOR WATERMAINS CROSSING OVER OR UNDER SEWERS A MINIMUM 0.5m VERTICAL CLEARANCE SHALL BE PROVIDED.
6. FOR WATERMAIN CROSSING A SANITARY SEWER, WATERMAIN JOINTS ARE TO BE OFFSET A MINIMUM OF 2.5m HORIZONTALLY FROM THE CENTERLINE OF THE SANITARY SEWER.
7. WATERMAIN BEDDING SHOULD BE AS PER BE AS PER STD. 1-5-1.
8. WATERMAINS TO BE INSTALLED TO GRADES AS SHOWN ON APPROVED PLANS, COPY OF GRADE SHEET MUST BE SUPPLIED TO THE REGION OF PEEL INSPECTOR PRIOR TO COMMENCEMENT OF WORK.
9. ANY JOINT DEFLECTION SHALL BE 50% OF MANUFACTURER'S SPECIFICATIONS. PIPE BARREL DEFLECTION IS PROHIBITED.
10. FIRE HYDRANTS SHALL BE INSTALLED AS PER REGION STD. DWG. 1-6-1 OR 1-6-2 WITH FLANGE SET BETWEEN 50mm AND 150mm ABOVE FINISHED GRADE.
11. ALL HYDRANTS SHALL HAVE 1.2m MINIMUM HORIZONTAL CLEARANCE FROM ALL OTHER UTILITIES AND STRUCTURES MEASURED FROM THE NEAREST POINT OF THE STRUCTURE.
12. MECHANICAL RESTRAINERS ARE REQUIRED FOR ALL FITTINGS, VALVES, DEAD ENDS, CAPS AND HYDRANTS ON ALL PVC WATERMAINS; MINIMUM RESTRAINED PIPE LENGTH AS PER REGION'S STANDARD.
13. STAINLESS STEEL NUTS AND BOLTS ARE TO BE USED ON ALL METALLIC FITTINGS AND JOINT RESTRAINTS
14. ALL METALLIC VALVES, FITTINGS, THROUGH WALL METAL PIPING AND JOINT RESTRAINTS TO BE C/W DENSO PASTE, OR APPROVED EQUAL APPLIED TO MANUFACTURER'S RECOMMENDATIONS.
15. WHERE PLASTIC PIPE IS USED, INSTALL A 12 GAUGE TWU STRANDED COPPER, LIGHT COLOURED, PLASTIC COATED TRACER WIRE ATTACHED TO THE PIPE WITH APPROVED WIRE SPLICE. THE WIRE SHOULD BE BROUGHT TO THE SURFACE AT EACH SERVICE & VALVE BOX AND HYDRANT VALVES.
16. 50mm DIAMETER WATERMAIN SHALL BE TYPE K SOFT COPPER. WATERMAIN INSTALLATION IN CUL-DE-SACS AS PER REGION STD. DWG. 1-7-4.
17. A PHYSICAL SEPARATION MUST BE MAINTAINED AT ALL CONNECTION POINTS OF NEW WATERMAIN TO THE EXISTING SYSTEM UNTIL BACTERIOLOGICAL TESTS HAVE PASSED, AS PER STD. DWG 1-7-7 AND 1-7-8.
18. PROVISION FOR FLUSHING OF NEW WATERMAINS PRIOR TO TESTING MUST BE PROVIDED WITH AT LEAST 50mm OUTLET ON WATERMAINS SMALLER THAN 300mm IN DIAMETER, AND MINIMUM 100mm OUTLET ON WATERMAINS 300mm AND LARGER. COPPER WATERMAINS ARE TO HAVE FLUSHING POINTS AT THE END, THE SAME SIZE AS THE WATERMAIN, AS PER STD. DWG. 1-7-7 AND 1-7-8.
19. ALL SERVICE CONNECTIONS TO PVC PIPES ARE TO BE MADE USING APPROVED WIDE BAND SERVICE SADDLE. DIRECT TAPPING IS NOT ALLOWED.
20. ALL WATER SERVICES SHALL BE MINIMUM 25mm DIA NOMINAL COPPER PIPE SIZE OR 32mm DIA POLYETHYLENE PIPE. IN GENERAL, NON METALLIC SERVICES SHALL BE ONE SIZE LARGER THAN THE NOMINAL COPPER PIPE SIZE AS PER LATEST APPROVED REGIONAL PRODUCT LIST AND SIZES C/W TRACER WIRE.
21. THE MINIMUM LATERAL DISTANCE BETWEEN WATER SERVICES AND OTHER UTILITIES SHALL BE 1.2m.
22. ALL RESIDENTIAL WATER SERVICE BOXES/CURB STOPS SHALL BE INSTALLED WITHIN SODDED AREAS WITH MINIMUM DISTANCE OF 1.0 METRES FROM THE EDGE OF THE DRIVEWAY, BE FLUSH WITH GRADE AND ACCESSIBLE AT ALL TIME.
23. VALVE AND BOXES SHALL BE CAST IRON SLIDING TYPE, COMPLETED WITH VALVE GUIDE PLATES AND INSTALLED AS PER REGION STD. 1-3-8. MAINLINE VALVES TO BE RESTRAINED AS PER REGION STD. 1-3-3A. VALVES SHALL OPEN TO THE LEFT (COUNTER-CLOCKWISE)
24. ALL WATER SERVICES BOXES SHOULD BE "LEAD FREE" AS PER REGION'S MATERIAL SPECIFICATIONS.
25. THE REGION WILL COMPLETE THE NECESSARY WATER TESTING (PRESSURE TEST, FLUSHING, CHLORINATION AND SAMPLING). CONTRACTOR MAY PROCEED WITH HIS OWN PRESSURE TEST AND FLUSHING PRIOR TO REGION'S TESTING.

WATERMAIN IN FILL AREA

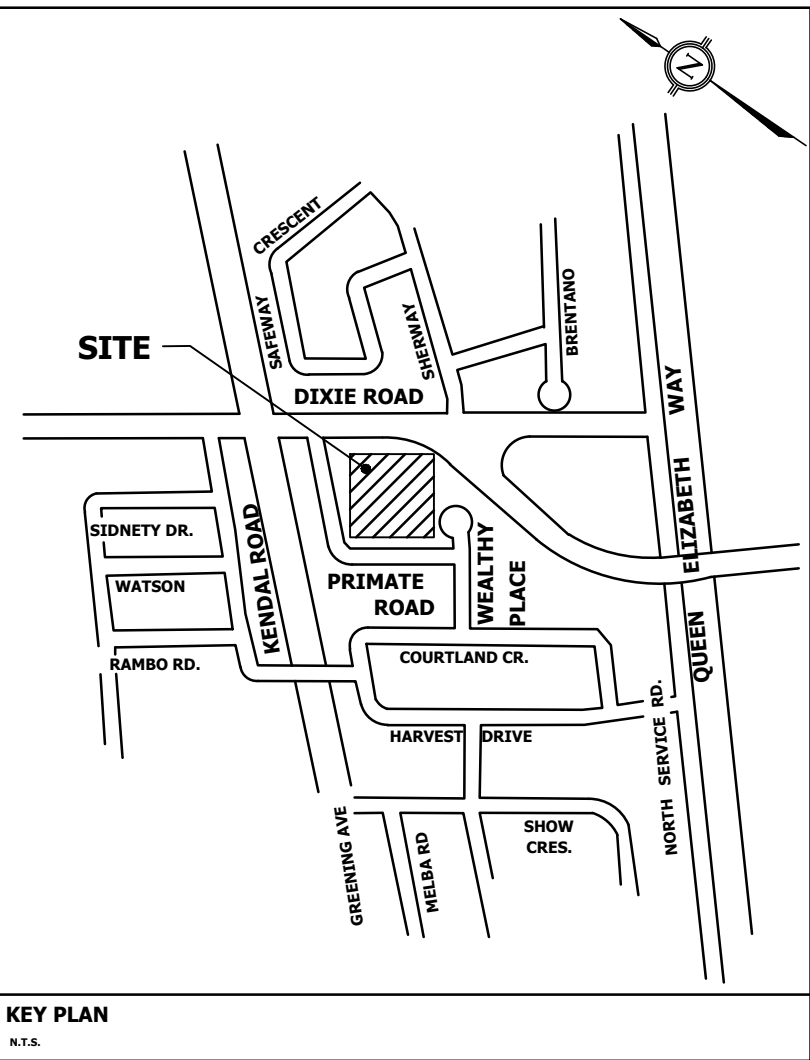
1. NO WATERMAIN TO BE LAID ON FILL UNTIL THE FIELD DENSITY TEST REPORTS HAVE BEEN SUBMITTED TO AND APPROVED BY THE REGION OF PEEL OR THE CONSULTING ENGINEER.
2. PIPE JOINTS DEFLECTIONS ARE NOT ALLOWED IN FILL AREA.
3. JOINTS SHALL BE MECHANICALLY RESTRAINED THE WHOLE LENGTH.
4. ALL HYDRANTS, TEE BRANCH VALVES AND HORIZONTAL BENDS ARE TO BE MECHANICALLY RESTRAINED WITH TIE RODS.
5. IN EXISTING MUNICIPAL RIGHT-OF-WAY OR EASEMENT, FILL TO BE PLACED TO 600mm MINIMUM ABOVE THE OVERT OF THE WATERMAIN AND TO 300mm EITHER SIDE, COMPACTED TO MINIMUM 100% STANDARD PROCTOR DENSITY IN 300mm LIFTS; AND THEREAFTER, FOR EVERY 300mm LIFT ALONG THE CENTERLINE, AND 1.5m TO EITHER SIDE, OF WATERMAIN AT MAXIMUM INTERVAL OF 30.0m. TEST RESULTS MUST BE SUBMITTED TO AND APPROVED BY THE CONSULTANT OR AGENCY.

REGIONAL ROAD

1. CONSTRUCTION AND DETOUR SIGNAGE MUST CONFORM TO "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES" AND LATEST REVISION OF THE ONTARIO MINISTRY OF TRANSPORTATION "TRAFFIC CONTROL MANUAL FOR ROADWAY WORK OPERATIONS".
2. ALL TEMPORARY SIGNAGE AND TRAFFIC CONTROL MEASURES SHALL BE IN ACCORDANCE WITH REQUIREMENTS OF ONTARIO TRAFFIC MANUAL, BOOK 7 "TEMPORARY CONDITIONS" AND OPS SPECIFICATIONS AND STANDARD DRAWINGS.
3. PAVEMENT MARKINGS MUST BE IN ACCORDANCE WITH THE ONTARIO TRAFFIC MANUAL, BOOK 11 "PAVEMENT HAZARD AND DELINEATION MARKINGS".
4. THE CONTRACTOR SHALL NOTIFY IN ADVANCE, AS REQUIRED, THE APPROPRIATE AUTHORITY HAVING JURISDICTION FOR THE ROAD PRIOR TO COMMENCING ANY WORK AND SHALL ACQUIRE AND SATISFY THE REQUIREMENTS OF APPROPRIATE PERMITS (FEES, INSPECTIONS, SIGNAGE, TRAFFIC, MAINTENANCE, DIVERSION, ETC...)
5. REGIONAL ROAD CLOSURE IS NOT PERMITTED AT ANY TIME UNLESS APPROVAL FROM REGIONAL COUNCIL WAS OBTAINED FOR THE WORKS, WHERE A MINIMUM TWO MONTH LEAD TIME IS REQUIRED, AS PER REGIONAL POLICY W30-12.
6. WORK OPERATIONS THAT REQUIRE DIVERTING TRAFFIC TO ONE LANE ARE SUBJECT TO TIME RESTRICTIONS AND /OR NIGHT TIME OPERATIONS AS SPECIFIED IN ROAD OCCUPANCY PERMIT. THROUGH LANES MUST BE MINIMUM 3.5m, UNLESS OTHERWISE APPROVED.
7. FOR TEMPORARY DELINEATION OF TRAFFIC IN OPPOSITE DIRECTIONS A YELLOW CENTRE LINE ON PAVEMENT MUST PAINTED. TRAFFIC CONTROL BARRELS (CONES) ARE NOT PERMITTED FOR THIS

USE ON REGIONAL ROADS

8. NEW JERSEY BARRIERS (NJB) WITH CRASH ATTENUATION DEVICES MUST BE USED ON LONG TERM PROJECTS AS OPPOSED TO TRAFFIC CONTROL DELINEATORS (BARRELS).
9. ACCESS TO EXISTING ENTRANCES AND SIDE STREETS, INCLUDING PEDESTRIAN ACCESS, SHALL BE MAINTAINED. ACCESS REQUIREMENTS MUST COMPLY WITH REGION OF PEEL CONTROLLED ACCESS BY-LAW.
10. LOCATION OF EXISTING UTILITIES TO BE ESTABLISHED BY THE CONTRACTOR. ALL EXISTING UTILITY ELEVATIONS (SANITARY AND WATERMAIN) INCLUDING CENTRE LINE OF THE ROAD ELEVATIONS HAVE TO BE VERIFIED BY CONTRACTOR PRIOR TO COMMENCING ANY WORK ON SITE. ANY DISCREPANCIES SHALL BE REPORTED TO THE REGION IMMEDIATELY.
11. THE CONTRACTOR(S) SHALL BE SOLELY RESPONSIBLE FOR LOCATING, SUPPORTING AND PROTECTING ALL UNDERGROUND AND OVERHEAD UTILITIES AND STRUCTURES EXISTING AT THE TIME OF CONSTRUCTION IN THE AREA OF HIS WORK, WHETHER SHOWN ON THE PLANS OR NOT, AND FOR ALL REPAIRS AND CONSEQUENCES RESULTING FROM DAMAGE TO SAME.
12. THE CONTRACTOR(S) SHALL BE SOLELY RESPONSIBLE TO GIVE 72 HOURS WRITTEN NOTICE TO UTILITY AUTHORITY PRIOR TO CROSSING SUCH UTILITIES FOR THE PURPOSE OF INSPECTION. THIS INSPECTION WILL BE FOR THE DURATION OF CONSTRUCTION WITH THE CONTRACTOR RESPONSIBLE FOR ALL COSTS ARISING FROM SUCH INSPECTIONS.
13. ALL ROAD BASE SHALL BE AS PER REGION OF PEEL STD. DWG. 5-1-1 AND 5-1-2.
14. ASPHALT PRESERVATIVE SEALER SUCH AS RE-CLIMATE OR APPROVED EQUIVALENT SHALL BE APPLIED AFTER THE ONE-YEAR MAINTENANCE PERIOD FOR THE TOP COURSE ASPHALT.
15. ALL EXISTING PAVEMENTS, CURBS, SIDEWALKS AND BOULEVARDS, AND OTHER AREAS DISTURBED BY THE WORK, TO BE REINSTATED EQUAL TO EXISTING AND TO THE SATISFACTION OF APPLICABLE AUTHORITY HAVING JURISDICTION OVER THE ROAD ALLOWANCE. EXISTING PAVEMENT AND CURBS TO BE SAW- CUT TO PROVIDE A SMOOTH JOINT.



PLAN OF SURVEY SHOWING TOPOGRAPHY OF LOTS 26, 27, 28, 29, 30 AND 31 AND PART OF LOT 18 REGISTERED PLAN 473 AND PART OF LOT 6, CONCESSION 1 SOUTH OF DUNDAS STREET (GEOGRAPHIC TOWNSHIP OF TORONTO) CITY OF MISSISSAUGA REGIONAL MUNICIPALITY OF PEEL

BENCHMARK NOTE

ELEVATIONS SHOWN HEREON ARE REFERRED TO THE CITY OF MISSISSAUGA BENCHMARK No. 351 HAVING AN ELEVATION OF 108.675 METRES LOCATED ON THE EAST FACE AT THE MAIN ENTRANCE OF APPLEWOOD PUBLIC SCHOOL ON THE WEST SIDE OF HARVEST DRIVE, 30.5 METRES SOUTH OF KENDALL ROAD.

4.	CITY COMMENTS FROM APRIL 26, 2019	AUG. 08/2019	M.E.H.
3.	CITY COMMENTS FROM DECEMBER 10, 2018	MARCH 06/2019	M.E.H.
2.	CITY COMMENTS FROM AUGUST 8, 2018	OCT.16/2018	M.E.H.
1.	FIRST SUBMISSION	JAN 09/2018	S.Ng.
REVISION BLOCK		DATE	APPR. BY

CITY PARK (DIXIE) INC.

2103-2119 PRIMATE ROAD, 1351 & 1357
WEALTHY PLACE, 2116& 2112 DIXIE ROAD



APPROVED AS TO FORM IN RELIANCE UPON THE PROFESSIONAL SKILL AND ABILITY OF CONDELAND ENGINEERING LIMITED AS TO DESIGN AND SPECIFICATION

DIRECTOR OF DEVELOPMENT/TRANSPORTATION ENGINEERING
DATE: _____

CONDELAND

CONSULTING ENGINEERS & PROJECT MANAGERS

350 Creditstone Road, Unit 200
Concord, Ontario L4K 3Z2

P: (905) 695-2096
F: (905) 695-2099



GENERAL NOTES

DESIGNED BY: S.N./J.K.	DATE: AUGUST 2019	CHECKED BY: M.E.H.
DRAWN BY: G.M.	DRAWING NO.	
SCALES N.T.S.	17-017 - 01	CITY FILE DARC 17-192

A) PLANNING AND BUILDING DEPARTMENT

I) "I HEREBY CERTIFY THAT THIS DRAWING CONFORMS IN ALL RESPECTS TO THE SITE DEVELOPMENT PLANS AS APPROVED BY THE CITY OF MISSISSAUGA UNDER FILE NUMBER

II) "THE CITY OF MISSISSAUGA REQUIRES THAT ALL WORKING DRAWINGS SUBMITTED TO THE BUILDING DIVISION AS PART OF AN APPLICATION FOR THE ISSUANCE OF A BUILDING PERMIT SHALL BE CERTIFIED BY THE ARCHITECT OF ENGINEER AS BEING IN CONFORMITY WITH THE SITE DEVELOPMENT PLAN AS APPROVED BY THE CITY OF MISSISSAUGA."

III) "GRADES WILL BE MET WITHIN A 33% MAXIMUM SLOPE AT THE PROPERTY LINES AND

IV) "THE STRUCTURAL DESIGN OF ANY RETAINING WALL OVER 0.60M IN HEIGHT OR ANY RETAINING WALL LOCATED ON A PROPERTY LINE IS TO BE SHOWN ON THE SITE GRADING PLAN FOR THIS PROJECT AND IS TO BE APPROVED BY THE CONSULTING ENGINEER FOR THE PROJECT."

CONSTRUCTION & RESTORATION WORKS FOR MUNICIPAL R.O.W.s.
PRIMATE ROAD, WEALTHY PLACE AND DIXIE ROAD

1. PROPOSED STORM, SANITARY, AND WATER CONNECTIONS WITHIN EXISTING MUNICIPAL R.O.W.s ARE TO BE BACKFILLED WITH UNSHRINKABLE FILL UP TO BASE OF EXISTING ROAD GRANULAR. EXISTING ROAD GRANULAR AND ASPHALT TO BE MATCHED WITH MINIMUM THICKNESS IN ACCORDANCE WITH CITY STANDARD 2220.03.

2. TRENCH CONSTRUCTION / RESTORATION SHALL BE IN ACCORDANCE WITH CITY STANDARDS 2220.03, 2220.031, AND 2220.032.

3. BOULEVARD AREAS SHALL BE RESTORED TO EXISTING CONDITIONS OR BETTER WITH MIN 150mm THICK TOPSOIL +No.1 NURSERY SOD.

CATCH BASIN DATA

NAME	TOP ELEVATION
CB1	109.67
CB2	109.70
CB3	109.20
CB4	109.06
CB5	109.31
CB6	109.31
DCB1	108.83
DCB2	108.83

NOTE:
PROPOSED WATERMAIN DEPTH SHALL BE THE STANDARD 1.70m BELOW CENTERLINE OF ROADWAY EXCEPT AT CROSSING LOCATIONS WHERE DEPTH IS SPECIFIED

NOTE:
EXISTING CULVERTS TO BE REMOVED

NOTE:
ALL STORM SEWERS 675mm DIA. AND GREATER TO HAVE 450mm DIA. REDUCER INSTALLED AT MH AS PER DETAIL DWG 17-017-09

SANITARY MANHOLE DATA

SANMH#	PARAMETRES	TOP ELEVATION	IN INVERT	OUT INVERT
EX.SANMH	(1200mm Dia) OPSD 701.010	108.81	N.105.18	EX. S.105.08
SANMH1A	(1200mm Dia) OPSD 701.010	108.95	NW.105.503	SE.105.428
SANMH2A	(1200mm Dia) OPSD 701.010	109.04	W.105.887 NW.105.872	S.105.822
SANMH3A	(1200mm Dia) OPSD 701.010	109.13	W.106.131	E.106.047
SANMH4A	(1200mm Dia) OPSD 701.010	109.50	N.106.762	E.106.672
SANMH5A	(1200mm Dia) OPSD 701.010	110.26		S.107.342
SANMH6A	(1200mm Dia) OPSD 701.010	109.09	N.106.151	SE.106.044
SANMH7A	(1200mm Dia) OPSD 701.010	109.22		S.106.453

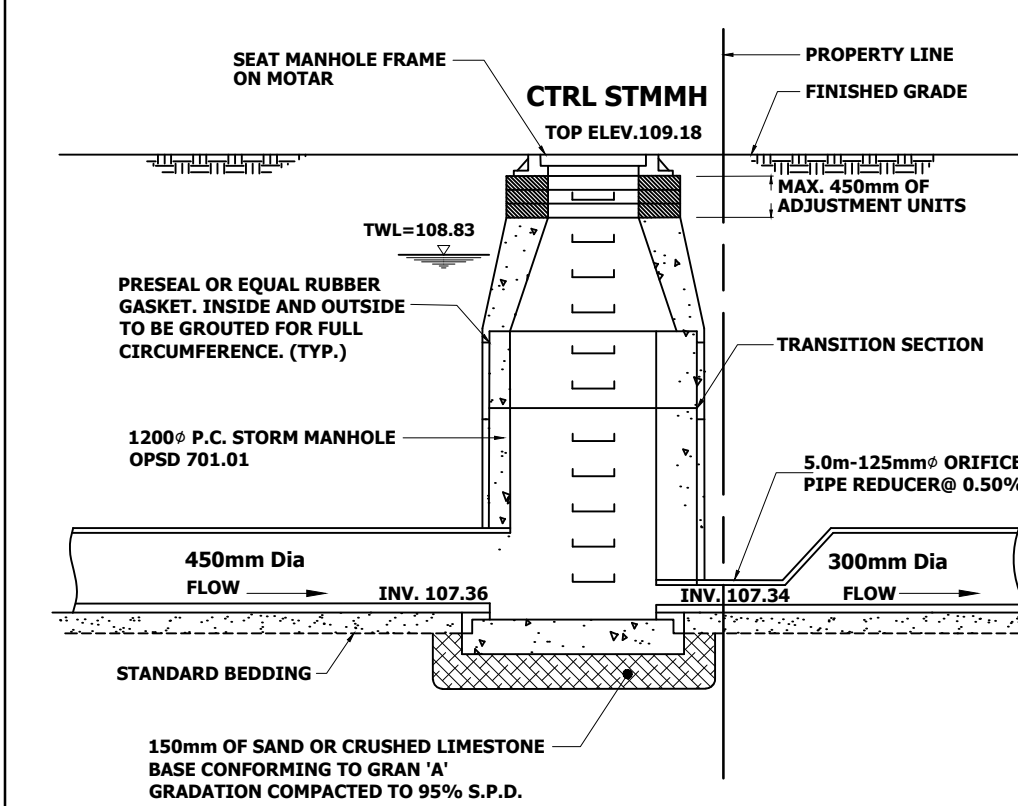
STORM MANHOLE DATA

STMMH#	PARAMETRES	TOP ELEVATION	IN INVERT	OUT INVERT
STMMH1	(1200mm Dia) OPSD 701.010	110.26		S.107.757
STMMH2	(1200mm Dia) OPSD 701.010	109.55	N107.617 W.108.000	E.107.617
STMMH3	(1200mm Dia) OPSD 701.010	109.16	W.107.493	E.107.493
STMMH4	(1200mm Dia) OPSD 701.010	108.91		NW.107.492
STMMH5	(1200mm Dia) OPSD 701.010	109.24	NW.107.521	S.107.521
STMMH6	(1200mm Dia) OPSD 701.010	109.13	N.107.471	SE.107.471
STMMH7	(1200mm Dia) OPSD 701.010	109.80	SE.108.050	SW.108.110
STMMH8	(1200mm Dia) OPSD 701.010	109.02	W.107.404	E.107.070 NE.107.404
STMMH9	(1200mm Dia) OPSD 701.010	109.95		SE.107.653
STMMH10	(1200mm Dia) OPSD 701.010	110.01		SE.107.658
STMMH11	PRECAST RECT. (3000x1800)	109.38	NW.107.546	SE.107.546
CTRLMH	(1200mm Dia) OPSD 701.010	109.18	SE.107.360	NE.107.340
CDSMH		109.00	N.107.450 W.107.450 S.107.450	E.107.411

NOTE:
FOR MODEL CDS20_20m
SEE DETAIL DWG 17-021-09

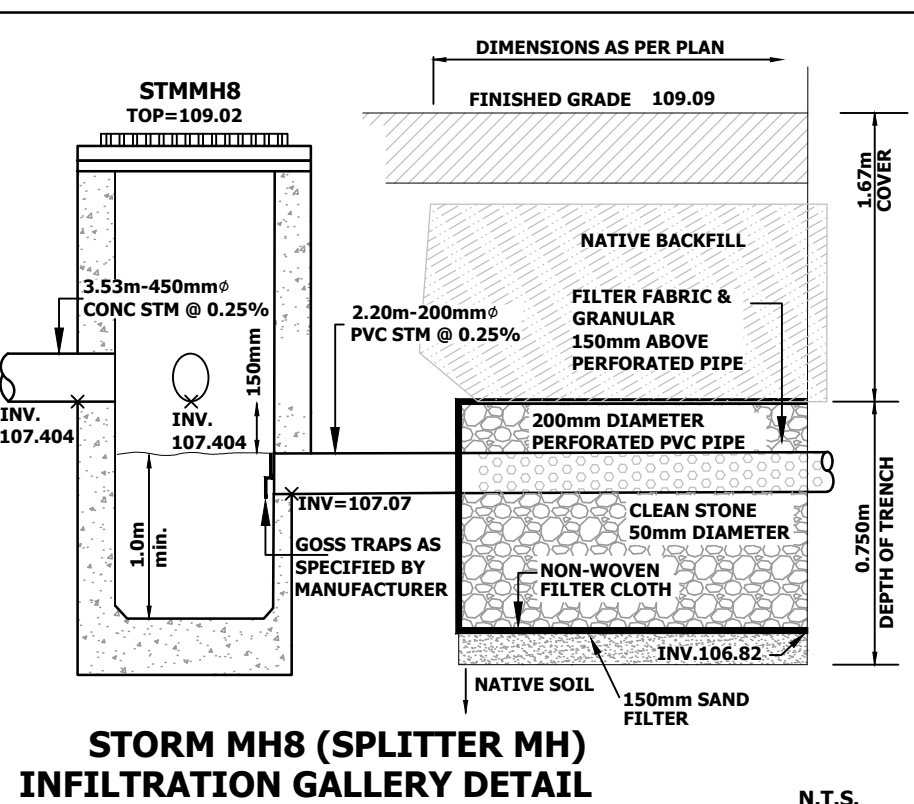
No	BOTTOM OF PIPE	OBVERT	CLEARANCE(m)
1	STM INV 107.32	SAN OBV 106.15	1.17
2	STM INV 107.35	WM OBV 106.85	0.50
3	WM INV 107.20	SAN OBV 106.25	0.95
4	STM INV 107.96	WM OBV 107.46	0.50

ORIFICE TUBE TO BE INSTALLED AS PER THIS
DETAIL ON THE UPSTREAM OF CTRL STMMH



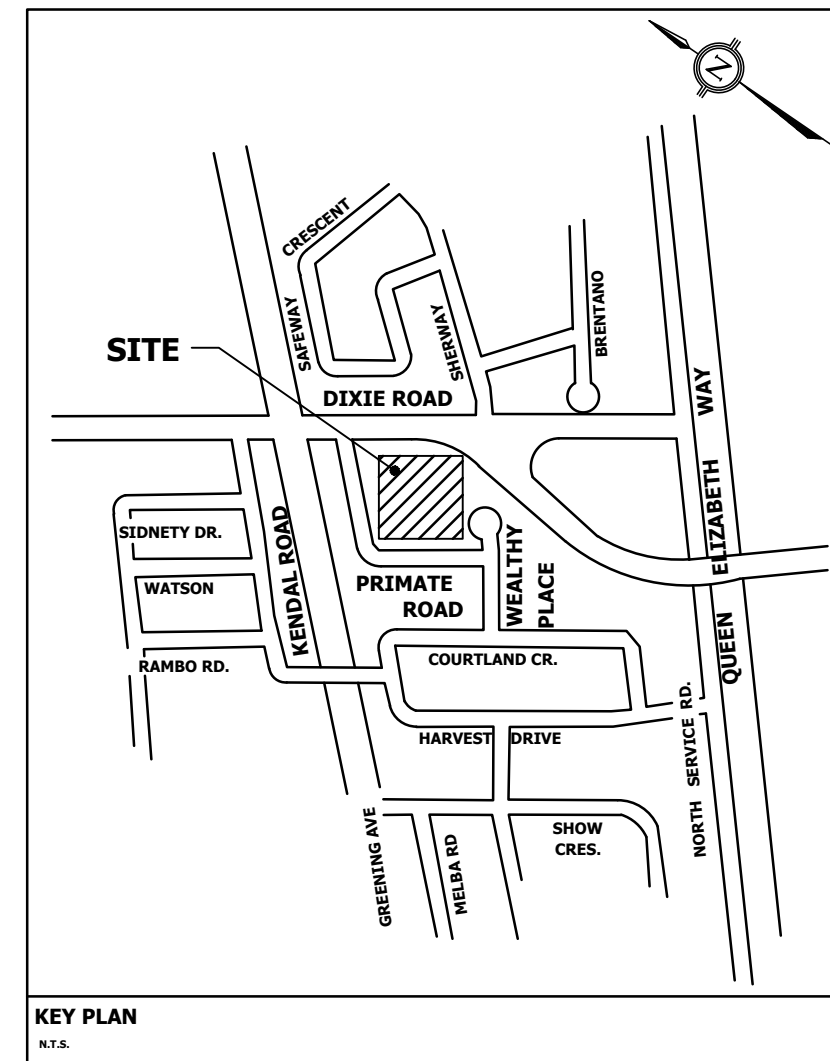
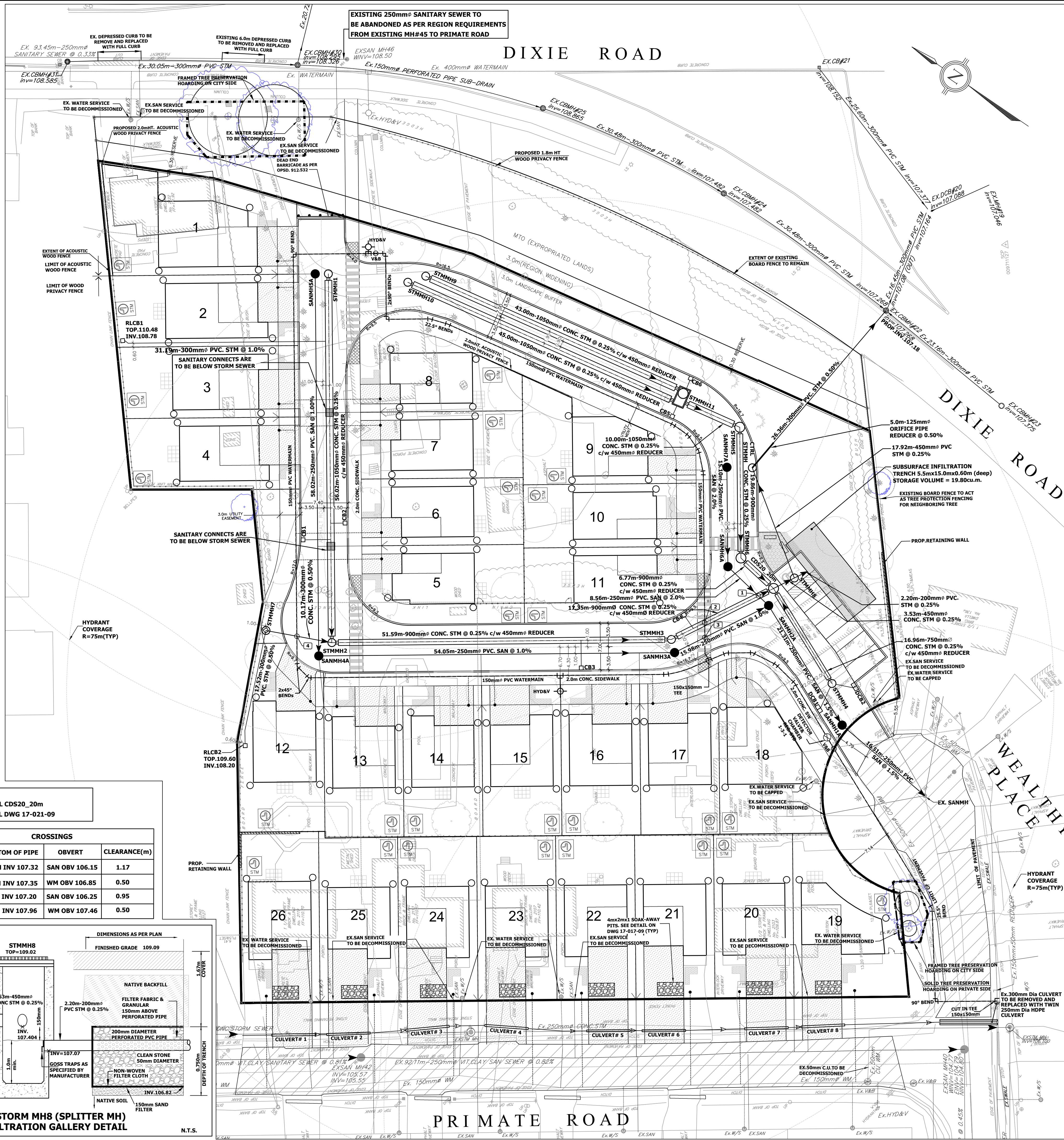
ORIFICE TUBE DETAIL FOR CONTROL MH

N.T.S.



STORM MH8 (SPLITTER MH)
INFILTRATION GALLERY DETAIL

N.T.S.



PLAN OF SURVEY SHOWING TOPOGRAPHY OF LOTS 26, 27, 28, 29, 30 AND 31 AND PART OF LOT 18
REGISTERED PLAN 473 AND PART OF LOT 6, CONCESSION 1 SOUTH OF DUNDAS STREET
(GEOGRAPHIC TOWNSHIP OF TORONTO)
CITY OF MISSISSAUGA REGIONAL MUNICIPALITY OF PEEL

LEGEND

VC	VALVE AND CHAMBER	EXISTING CULVERT
VB	VALVE AND BOX	PROPOSED CULVERT
EXISTING MANHOLE		150mm ^Ø PVC WATERMAIN
PROPOSED STM MANHOLE		PROPOSED WATERMAIN
PROPOSED SAN MANHOLE		PROPOSED SAN SERVICE
PROPOSED CATCHBASIN		PROPOSED 19mm WATER SERVICE AND CURB STOP
PROPOSED FIRE HYDRANT		PROPOSED DITCH
SUMP PUMP DISCHARGE TO SURFACE		EXISTING DITCH
LIMIT OF BOUNDARY		PROPOSED CENTERLINE/STA
HYD.	HYDRANT 75m RADIUS COVERAGE CONFIRMATION	LOT LINE
COMMUNITY MAIL BOX		TACTILE SURFACE
SOLID TREE PROTECTION HOARDING		RETAINING WALL
FRAMED TREE PROTECTION HOARDING		CROSSING DATA SEE DETAIL THIS PAGE
		PROPOSED SOAKAWAY PIT
		PROPOSED RAINFALL BARREL

BENCHMARK NOTE
ELEVATIONS SHOWN HEREON ARE REFERRED TO THE CITY OF MISSISSAUGA BENCHMARK No. 351 HAVING AN ELEVATION OF 108.675 METRES LOCATED ON THE EASERFACE AT THE MAIN ENTRANCE OF APPLEWOOD PUBLIC SCHOOL ON THE WEST SIDE OF HARKNESS DRIVE, 30.5 METRES SOUTH OF KENDALL ROAD.

4.	CITY COMMENTS FROM APRIL 26, 2019	AUG. 08/2019	M.E.H.
3.	CITY COMMENTS FROM DECEMBER 10, 2018	MARCH 06/2019	M.E.H.
2.	CITY COMMENTS FROM AUGUST 8, 2018	OCT.16/2018	M.E.H.
1.	FIRST SUBMISSION	JAN.09/2018	S.Ng.
REVISION	BLOCK	DATE	APPR. BY

CITY PARK (DIXIE) INC.

2103-2119 PRIMATE ROAD, 1351 & 1357
WEALTHY PLACE, 2116& 2112 DIXIE ROAD



APPROVED AS TO FORM IN RELIANCE UPON THE PROFESSIONAL SKILL AND ABILITY OF CONDELAND ENGINEERING LIMITED AS TO DESIGN AND SPECIFICATION

DIRECTOR OF DEVELOPMENT/
TRANSPORTATION ENGINEERING
DATE:

CONDELAND

CONSULTING ENGINEERS & PROJECT MANAGERS
350 Creditstone Road, Unit 200
Concord, Ontario L4K 3Z2

P: (905) 695-2096
F: (905) 695-2099



SERVICING PLAN

DESIGNED BY:	S.N./J.K.	DATE:	AUGUST 2019	CHECKED BY:	M.E.H.
DRAWN BY:	G.M.	DRAWING NO.			
SCALES					
	HOR 1:300		17-017 - 02		CITY FILE
					DARC 17-192

1. ALL SURFACE DRAINAGE WILL BE SELF CONTAINED, COLLECTED AND DISCHARGED AT A LOCATION TO BE APPROVED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT.
2. THE PORTIONS OF THE DRIVEWAY WITHIN THE MUNICIPAL BOULEVARD WILL BE PAVED BY THE APPLICANT.
3. ALL EXCESS EXCAVATED MATERIAL WILL BE REMOVED FROM THE SITE
4. THE EXISTING DRAINAGE PATTERN WILL BE MAINTAINED

A) PLANNING AND BUILDING DEPARTMENT

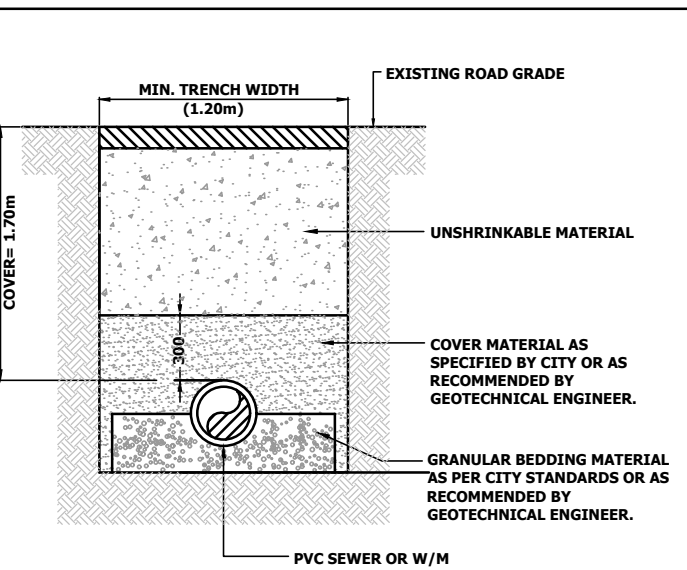
- I) "I HEREBY CERTIFY THAT THIS DRAWING CONFORMS IN ALL RESPECTS TO THE SITE DEVELOPMENT PLANS AS APPROVED BY THE CITY OF MISSISSAUGA UNDER FILE NUMBER _____"
- II) "THE CITY OF MISSISSAUGA REQUIRES THAT ALL WORKING DRAWINGS SUBMITTED TO THE BUILDING DIVISION AS PART OF AN APPLICATION FOR THE ISSUANCE OF A BUILDING PERMIT SHALL BE CERTIFIED BY THE ARCHITECT OF ENGINEER AS BEING IN CONFORMITY WITH THE SITE DEVELOPMENT PLAN AS APPROVED BY THE CITY OF MISSISSAUGA."
- III) "GRADES WILL BE MET WITHIN A 33% MAXIMUM SLOPE AT THE PROPERTY LINES AND
- IV) "THE STRUCTURAL DESIGN OF ANY RETAINING WALL OVER 0.60M IN HEIGHT OR ANY RETAINING WALL LOCATED ON A PROPERTY LINE IS TO BE SHOWN ON THE SITE GRADING PLAN FOR THIS PROJECT AND IS TO BE APPROVED BY THE CONSULTING ENGINEER FOR THE PROJECT."

CONSTRUCTION & RESTORATION WORKS FOR MUNICIPAL R.O.W.s. PRIMATE ROAD AND WEALTHY PLACE

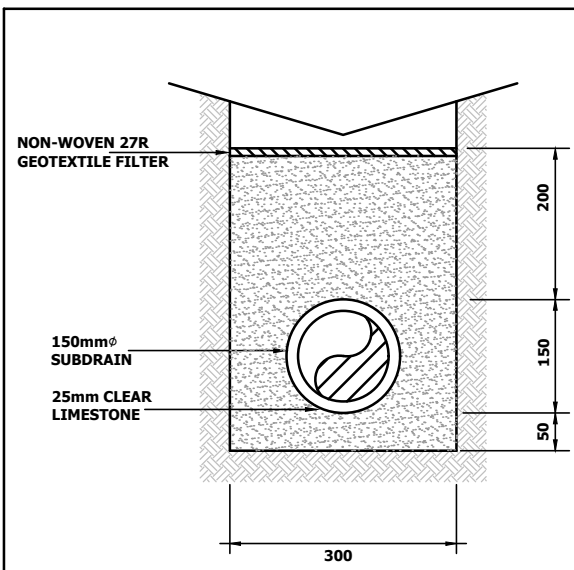
1. PROPOSED STORM, SANITARY, AND WATER BUILDING CONNECTIONS WITHIN EXISTING MUNICIPAL R.O.W.s ARE TO BE BACKFILLED WITH UNSHRINKABLE FILL UP TO BASE OF EXISTING ROAD GRANULAR. EXISTING ROAD GRANULAR AND ASPHALT TO BE MATCHED WITH MINIMUM THICKNESSES IN ACCORDANCE WITH CITY STANDARD 2220.03.
2. TRENCH CONSTRUCTION / RESTORATION SHALL BE IN ACCORDANCE WITH CITY STANDARDS 2220.03, 2220.031, AND 2220.032.
3. BOULEVARD AREAS SHALL BE RESTORED TO EXISTING CONDITIONS OR BETTER.

GRIND AND PAVE 40mm
HL3 ASPHALT OVERLAY
FOLLOWING SERVICING WORKS

ALL PROPOSED DRIVEWAY CULVERTS ARE TO
BE CONSTRUCTED WITH PRECAST HEADWALL

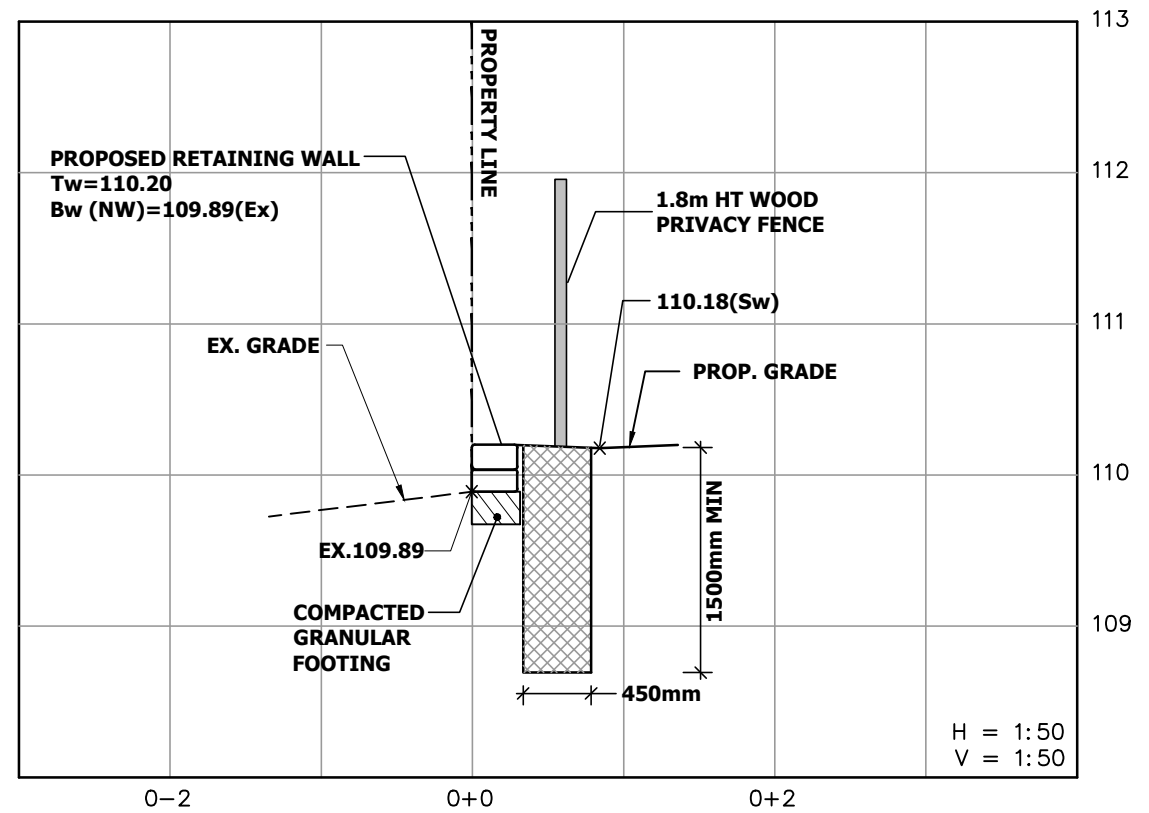


TYPICAL TRENCH BOX CROSS-SECTION OF
PROPOSED SEWER OR WATERMAIN
IN EXISTING ROADS
(N.T.S.)

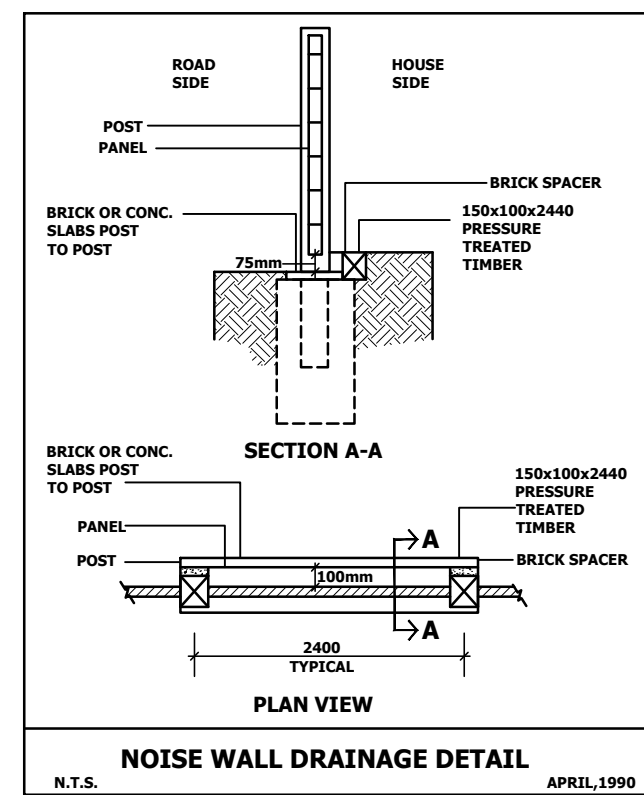
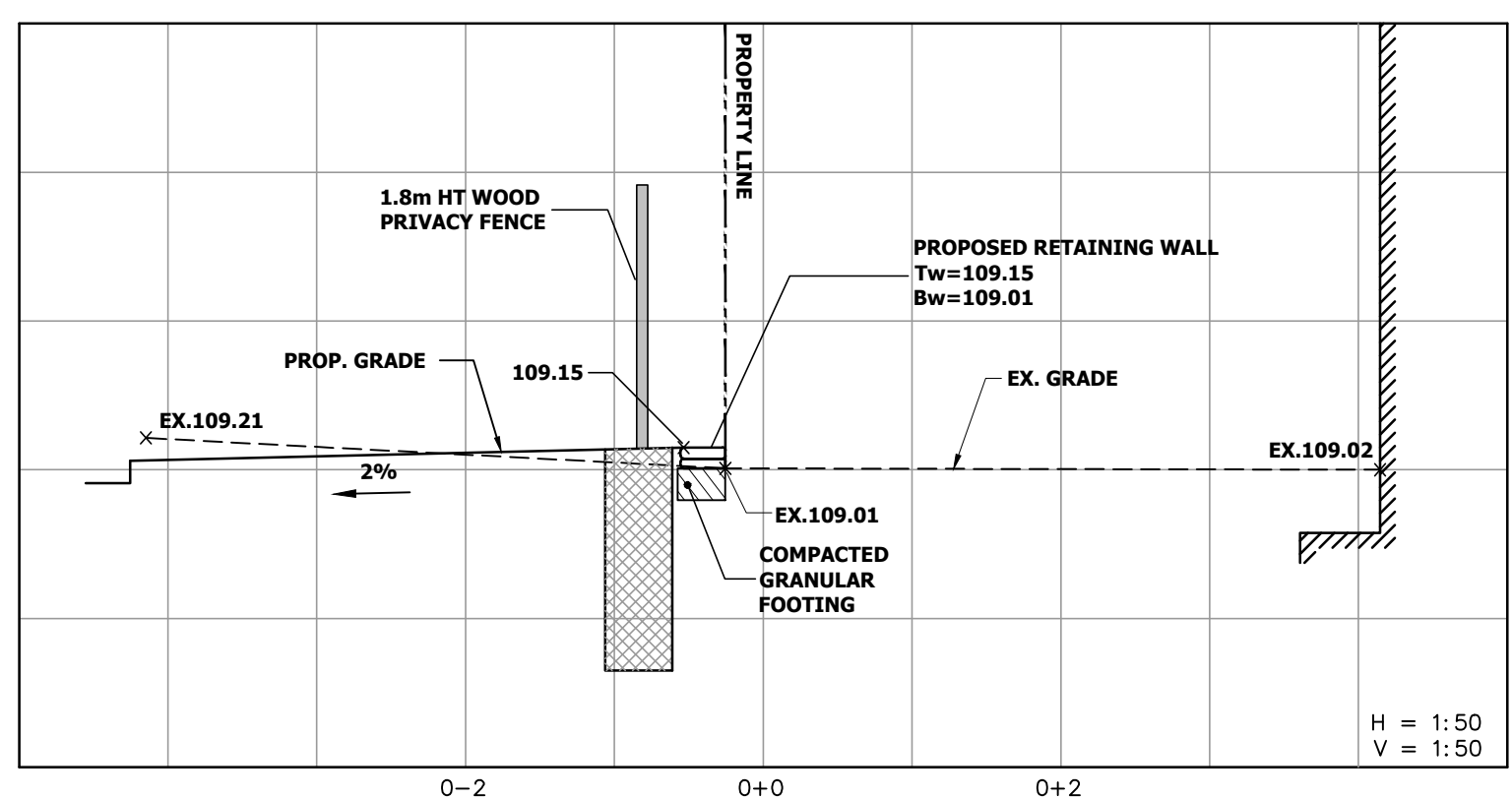


SWALE DETAIL WITH SUBDRAIN
(N.T.S.)

CROSS-SECTION A-A



CROSS-SECTION B-B

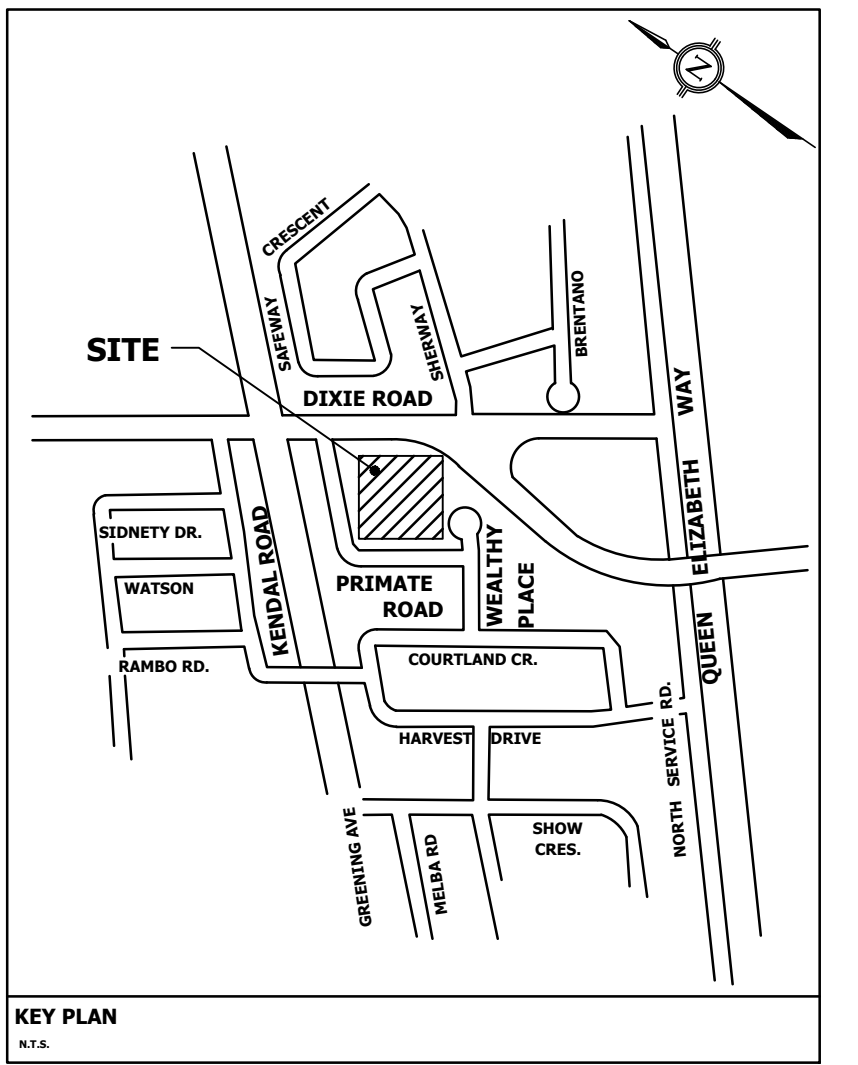


NOISE WALL DRAINAGE DETAIL
(N.T.S.)



PROPOSED CULVERT TABLE				
LOT No	SIZE	LENGTH	W INV	E INV
LOT 26	300mm ϕ	6.6m	108.97	108.90
LOT 25	300mm ϕ	6.6m	108.89	108.81
LOT 24	300mm ϕ	6.6m	108.73	108.66
LOT 23	300mm ϕ	6.6m	108.59	108.52
LOT 22	300mm ϕ	6.6m	108.44	108.39
LOT 21	300mm ϕ	6.6m	108.33	108.27
LOT 20	300mm ϕ	6.6m	108.20	108.15
LOT 19	300mm ϕ	6.6m	108.13	108.10

NOTE:
EXISTING CULVERTS TO BE REMOVED



PLAN OF SURVEY SHOWING TOPOGRAPHY OF LOTS 26, 27, 28, 29, 30 AND 31 AND PART OF LOT 18 REGISTERED PLAN 473 AND PART OF LOT 6, CONCESSION 1 SOUTH OF DUNDAS STREET (GEOGRAPHIC TOWNSHIP OF TORONTO) CITY OF MISSISSAUGA REGIONAL MUNICIPALITY OF PEEL

LEGEND

- EXISTING MANHOLE
- PROPOSED STM MANHOLE
- PROPOSED SAN MANHOLE
- PROPOSED CATCHBASIN
- PROPOSED FIRE HYDRANT
- LIMIT OF BOUNDARY
- PROPOSED CHAIN LINK FENCE
- PROPOSED WOOD ACOUSTIC FENCE
- RETAINING WALL
- 3:1 SLOPE
- PROPOSED ELEVATION
- EXISTING ELEVATION
- PROPOSED DRAINAGE ARROW
- EXISTING DRAINAGE PATTERN
- EMERGENCY OVER LAND FLOW ROUTE
- SWALE
- SOLID TREE PROTECTION HOARDING
- FRAMED TREE PROTECTION HOARDING
- PROPOSED SOAKAWAY PIT

BENCHMARK NOTE

ELEVATIONS SHOWN HEREON ARE REFERRED TO THE CITY OF MISSISSAUGA BENCHMARK No. 351 HAVING AN ELEVATION OF 108.675 METRES LOCATED ON THE EAST FACE AT THE MAIN ENTRANCE OF APPLEWOOD PUBLIC SCHOOL ON THE WEST SIDE OF HARVEST DRIVE, 30.5 METRES SOUTH OF KENDALL ROAD.

4.	CITY COMMENTS FROM APRIL 26, 2019	AUG. 08/2019	M.E.H.
3.	CITY COMMENTS FROM DECEMBER 10, 2018	MARCH 06/2019	M.E.H.
2.	CITY COMMENTS FROM AUGUST 8, 2018	OCT.16/2018	M.E.H.
1.	FIRST SUBMISSION	JAN.09.18	S.Ng.
REVISION BLOCK		DATE	APPR. BY

CITY PARK (DIXIE) INC.

2103-2119 PRIMATE ROAD, 1351 & 1357
WEALTHY PLACE, 2116& 2112 DIXIE ROAD



APPROVED AS TO FORM IN RELIANCE UPON THE PROFESSIONAL SKILL AND ABILITY OF CONDELAND ENGINEERING LIMITED AS TO DESIGN AND SPECIFICATION

DIRECTOR OF DEVELOPMENT/
TRANSPORTATION ENGINEERING
DATE:

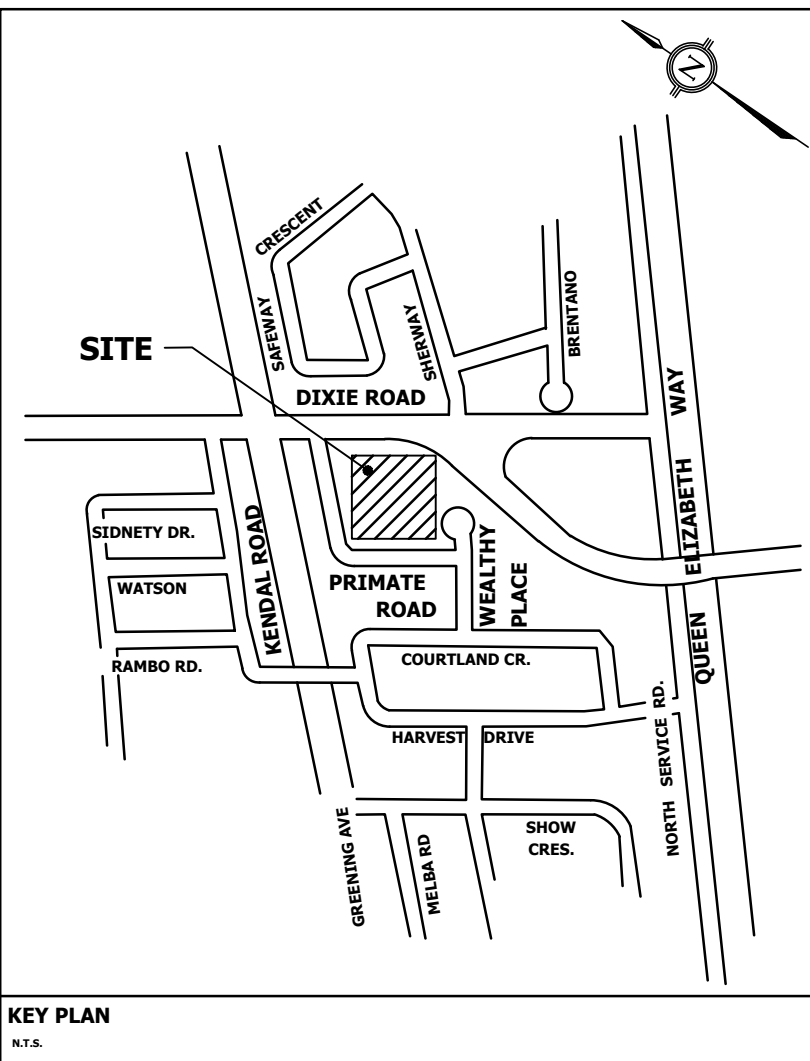
CONDELAND

CONSULTING ENGINEERS & PROJECT MANAGERS
350 Creditstone Road, Unit 200
Concord, Ontario L4K 3Z2
P: (905) 695-2096
F: (905) 695-2099



GRADING PLAN

DESIGNED BY:	S.N./J.K.	DATE:	AUGUST 2019	CHECKED BY:	M.E.H.
DRAWN BY:	G.M.	DRAWING NO.			
SCALES				CITY FILE	
	HOR 1:300		17-017-03		DARC 17-192



PLAN OF SURVEY SHOWING TOPOGRAPHY OF LOTS 26, 27, 28, 29, 30 AND 31 AND PART OF LOT 18 REGISTERED PLAN 473 AND PART OF LOT 6, CONCESSION 1 SOUTH OF DUNDAS STREET (GEOGRAPHIC TOWNSHIP OF TORONTO) CITY OF MISSISSAUGA REGIONAL MUNICIPALITY OF PEEI

LEGEND

- EXISTING MANHOLE
- PROPOSED SAN MANHOLE
- SANITARY DRAINAGE AREA
- AREA IN ha
- POPULATION 50 PERSON/ha

BENCHMARK NOTE
ELEVATIONS SHOWN HEREON ARE REFERRED TO THE CITY OF MISSISSAUGA BENCHMARK No. 351 HAVING AN ELEVATION OF 108.575 METRES LOCATED ON THE EAST FACE AT THE MAIN ENTRANCE OF APPLEWOOD PUBLIC SCHOOL ON THE WEST SIDE OF HARVEST DRIVE, 30.5 METRES SOUTH OF KENDALL ROAD.

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2.	CITY COMMENTS FROM AUGUST 8, 2018	OCT.16/2018	M.E.H.
1.	FIRST SUBMISSION	JAN.09/2018	S.Ng.
REVISION BLOCK		DATE	APPR. BY

CITY PARK (DIXIE) INC.
2103-2119 PRIMATE ROAD, 1351 & 1357 WEALTHY PLACE, 2116& 2112 DIXIE ROAD



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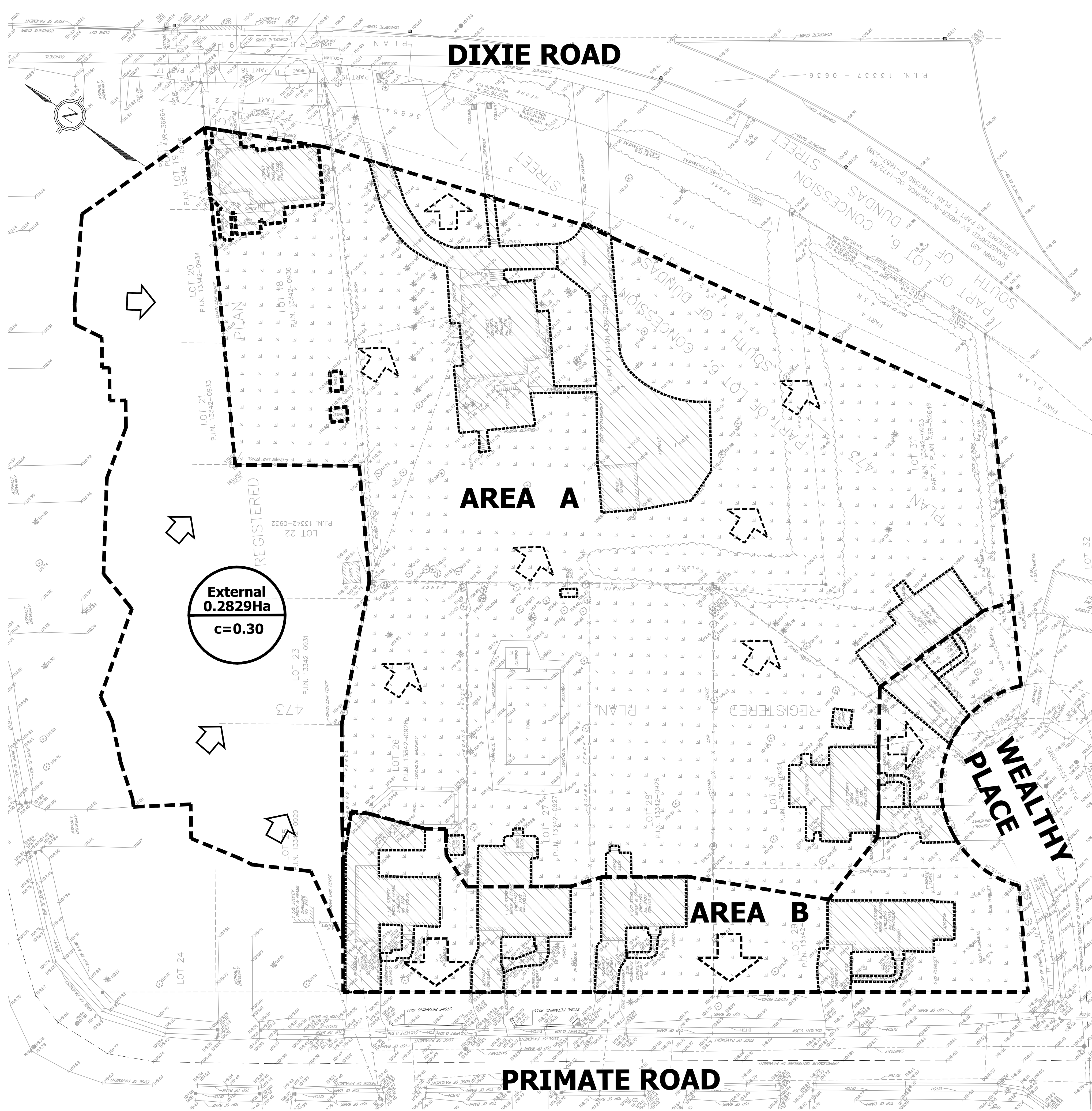
DIRECTOR OF DEVELOPMENT/TRANSPORTATION ENGINEERING
DATE:

CONDELAND
CONSULTING ENGINEERS & PROJECT MANAGERS
350 Creditstone Road, Unit 200 P: (905) 695-2096
Concord, Ontario L4K 3Z2 F: (905) 695-2099



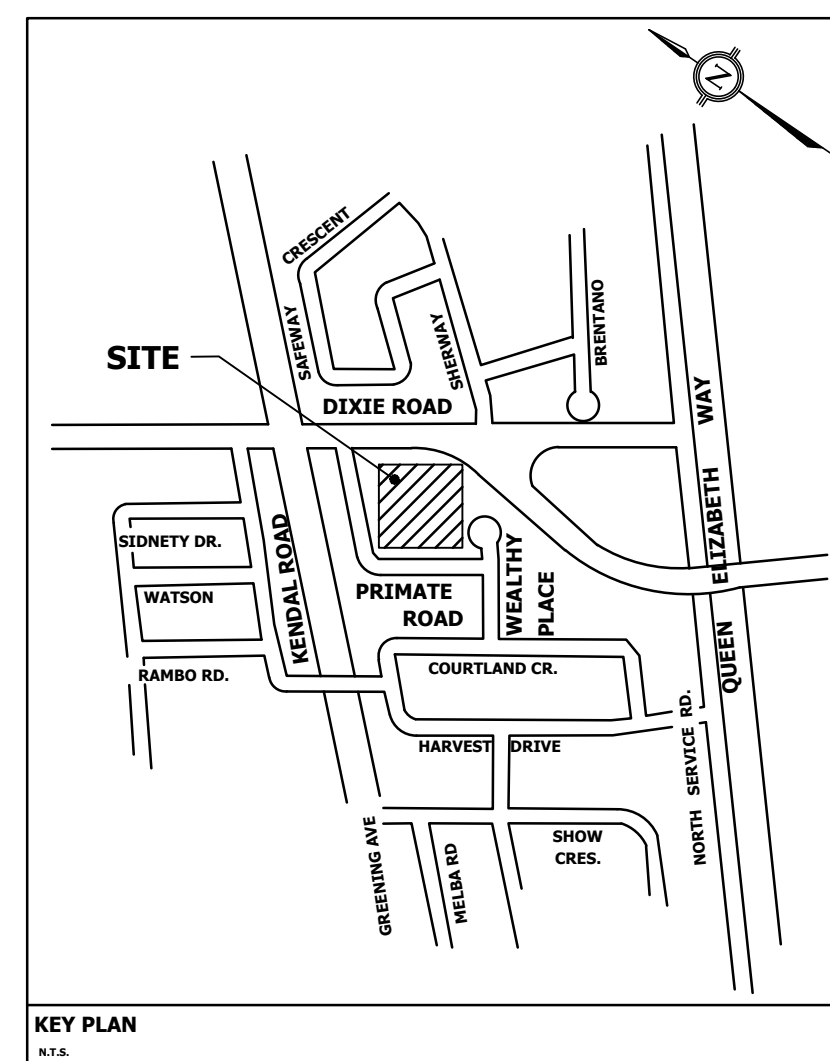
SANITARY TRIBUTARY PLAN

DESIGNED BY:	S.N./J.K.	DATE:	AUGUST 2019	CHECKED BY:	M.E.H.
DRAWN BY:	G.M.	DRAWING NO.			
SCALES					CITY FILE
	HOR 1:300		17-017 - 04		DARC 17-192



PRE DEVELOPMENT DRAINAGE SUMMARY		
AREA A (TO DIXIE ROAD)		
	COEFF	AREA Ha
SOFT	0.25	0.7461
HARD	0.90	0.1425
EXTERNAL	0.30	0.2829
TOTAL	0.34	1.1715

AREA B (TO WEALTHY PLACE AND PRIMATE ROAD)		
	COEFF	AREA Ha
SOFT	0.25	0.1423
HARD	0.90	0.0842
TOTAL	0.49	0.2265



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LEGEND



BENCHMARK NOTE			
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1.	FIRST SUBMISSION	JAN.09/2018	S.Ng.
REVISION BLOCK		DATE	APPR. BY

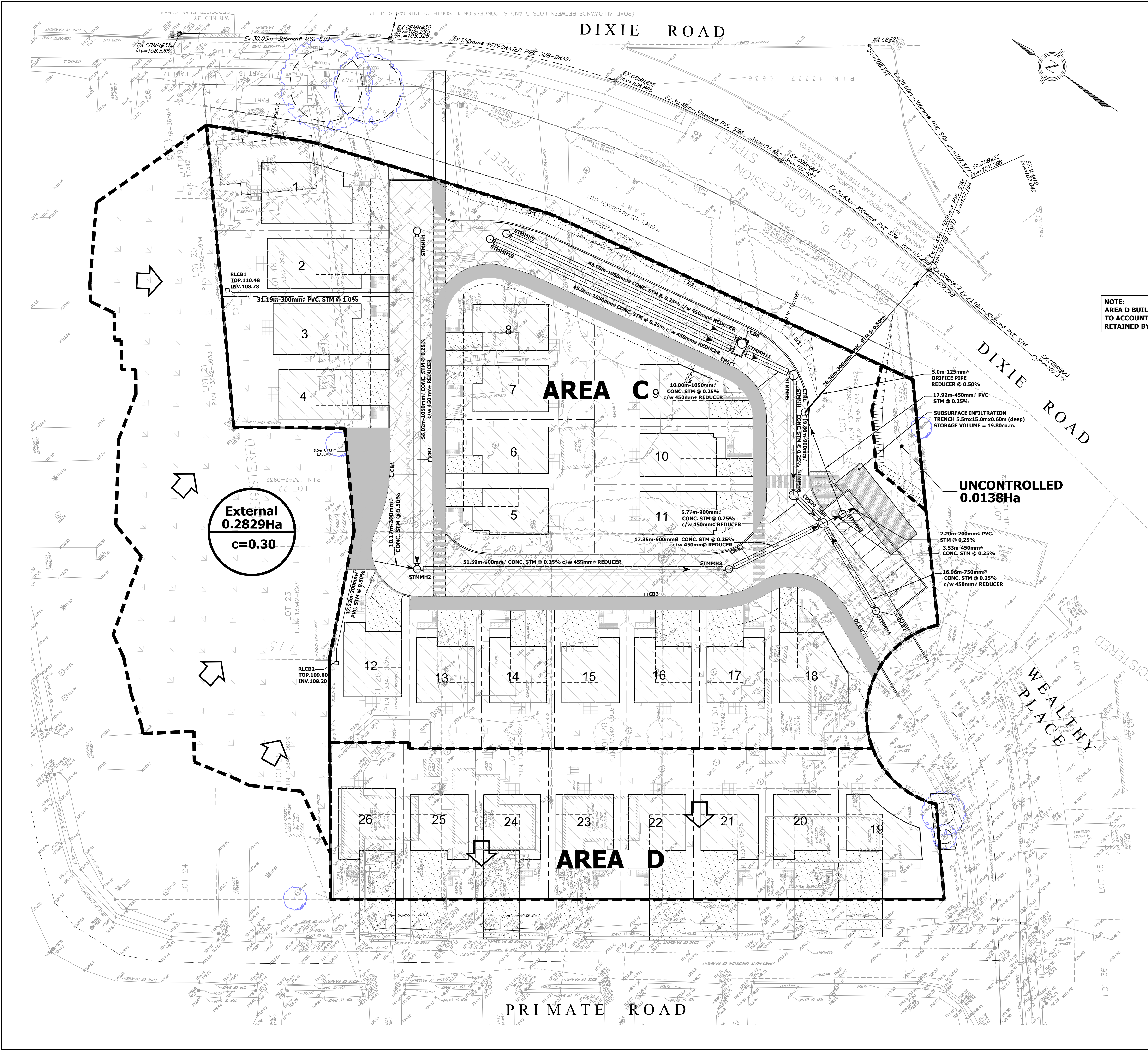
CITY PARK (DIXIE) INC.
2103-2119 PRIMATE ROAD, 1351 & 1357 WEALTHY PLACE, 2116& 2112 DIXIE ROAD

APPROVED AS TO FORM IN RELIANCE UPON THE PROFESSIONAL SKILL AND ABILITY OF CONDELAND ENGINEERING LIMITED AS TO DESIGN AND SPECIFICATION

DIRECTOR OF DEVELOPMENT/TRANSPORTATION ENGINEERING
DATE: _____

CONDELAND
CONSULTING ENGINEERS & PROJECT MANAGERS
350 Creditstone Road, Unit 200 P: (905) 695-2096
Concord, Ontario L4K 3Z2 F: (905) 695-2099

PRE DEVELOPMENT STORM TRIBUTARY PLAN		
DESIGNED BY: S.N./J.K.	DATE: AUGUST 2019	CHECKED BY: M.E.H.
DRAWN BY: G.M.	DRAWING NO. 17-017 - 05	CITY FILE DARC 17-192
SCALES HOR 1:300		

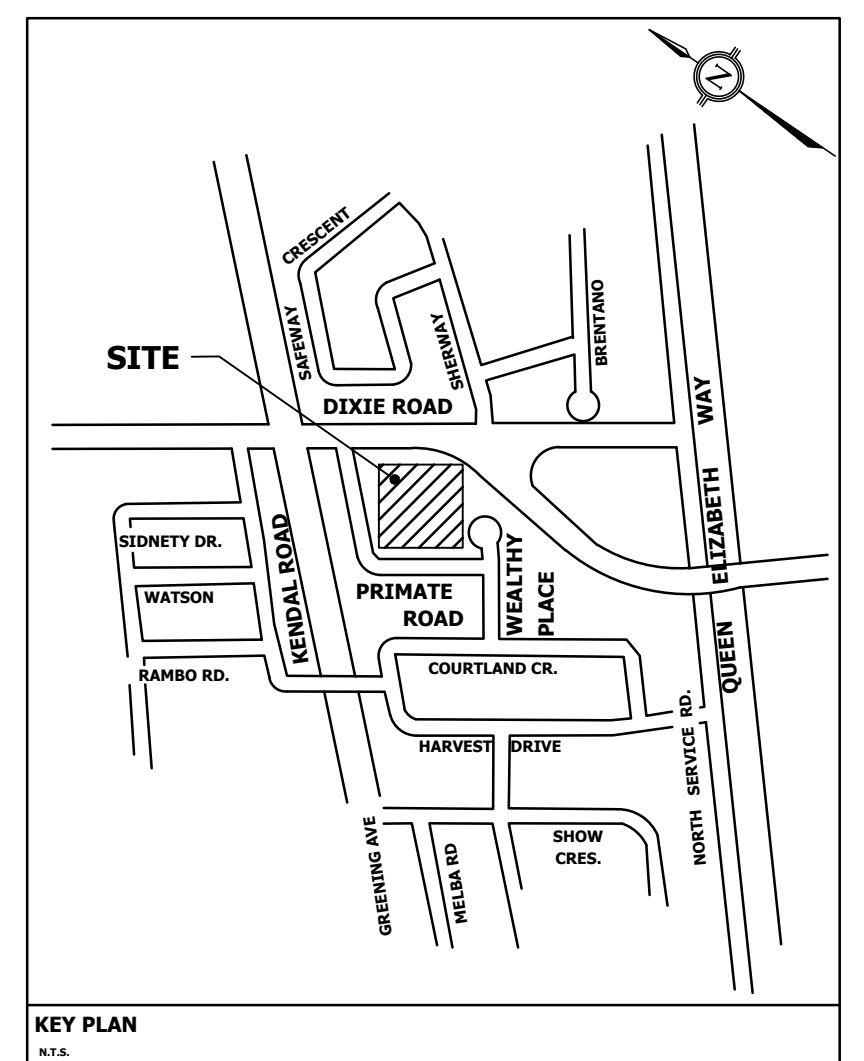


POST DEVELOPMENT DRAINAGE SUMMARY

AREA C (TO DIXIE ROAD)		
	COEFF	AREA
BLDG	0.90	0.1814
LA	0.25	0.3864
DW	0.90	0.0528
ROAD	0.90	0.2033
SW	0.90	0.0317
EXTERNAL	0.30	0.2829
UNCONTROLLED	0.25	0.0138
TOTAL	0.52	1.1523

AREA D (TO WEALTHY PLACE AND PRIMATE ROAD)		
	COEFF	AREA
BLDG	0.90	0.0763
LA	0.25	0.1308
DW	0.90	0.0386
TOTAL	0.55	0.2457

NOTE: AREA D BUILDING AREAS REDUCED TO 0.0374 Ha TO ACCOUNT FOR ROOF AREA DRAINAGE RETAINED BY SOAKAWAY PITS.



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LEGEND

EXISTING MANHOLE

PROPOSED STM MANHOLE

PROPOSED CATCHBASIN

LIMIT OF BOUNDARY

DENOTES BUILDING AREA

DENOTES LANDSCAPING AREA

DENOTES DRIVEWAY AREA

DENOTES ROAD AREA

DENOTES SIDEWALK AREA

EXISTING CULVERT

PROPOSED CULVERT

STORM DRAINAGE AREA

AREA IN ha

COEFFICIENT

BENCHMARK NOTE

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1.	FIRST SUBMISSION	JAN.09/2018	S.Ng.
REVISION BLOCK		DATE	APPR. BY

CITY PARK (DIXIE) INC.

2103-2119 PRIMATE ROAD, 1351 & 1357 WEALTHY PLACE, 2116& 2112 DIXIE ROAD

APPROVED AS TO FORM IN RELIANCE UPON THE PROFESSIONAL SKILL AND ABILITY OF CONDELAND ENGINEERING LIMITED AS TO DESIGN AND SPECIFICATION

DIRECTOR OF DEVELOPMENT/TRANSPORTATION ENGINEERING
DATE: _____

CONDELAND

CONSULTING ENGINEERS & PROJECT MANAGERS

350 Creditstone Road, Unit 200
Concord, Ontario L4K 3Z2

P: (905) 695-2096
F: (905) 695-2099

STORM TRIBUTARY PLAN

DESIGNED BY: S.N./J.K.	DATE: AUGUST 2019	CHECKED BY: M.E.H.
DRAWN BY: G.M.	DRAWING NO. 17-017 - 06	CITY FILE DARC 17-192
SCALES HOR 1:300		

EROSION AND SEDIMENT CONTROL NOTES:

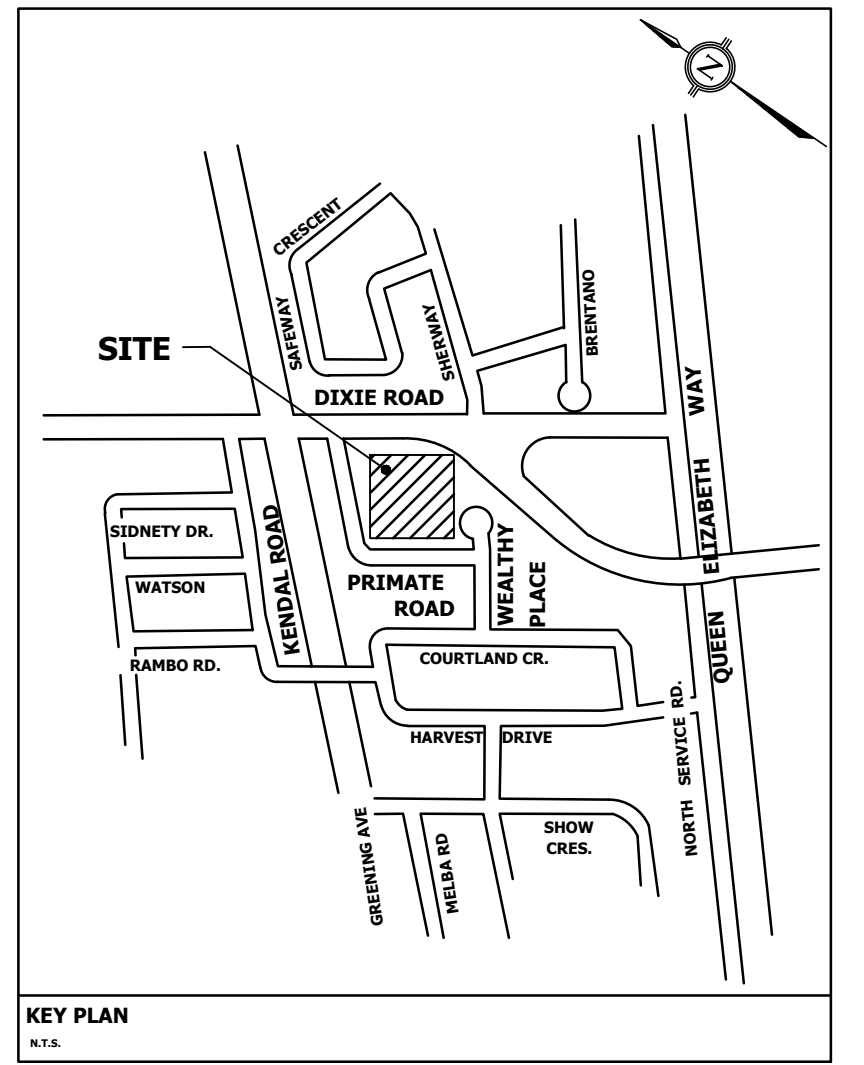
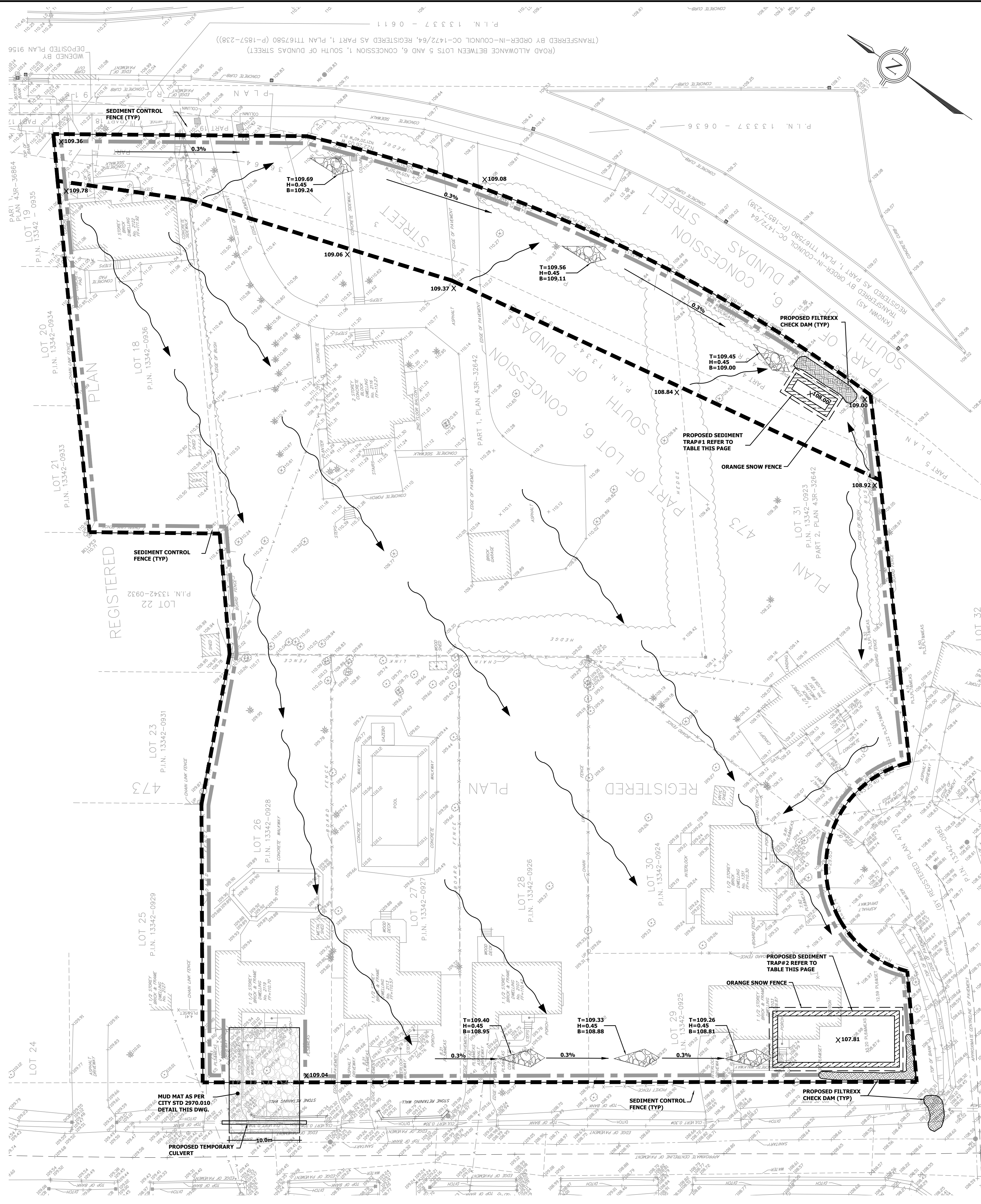
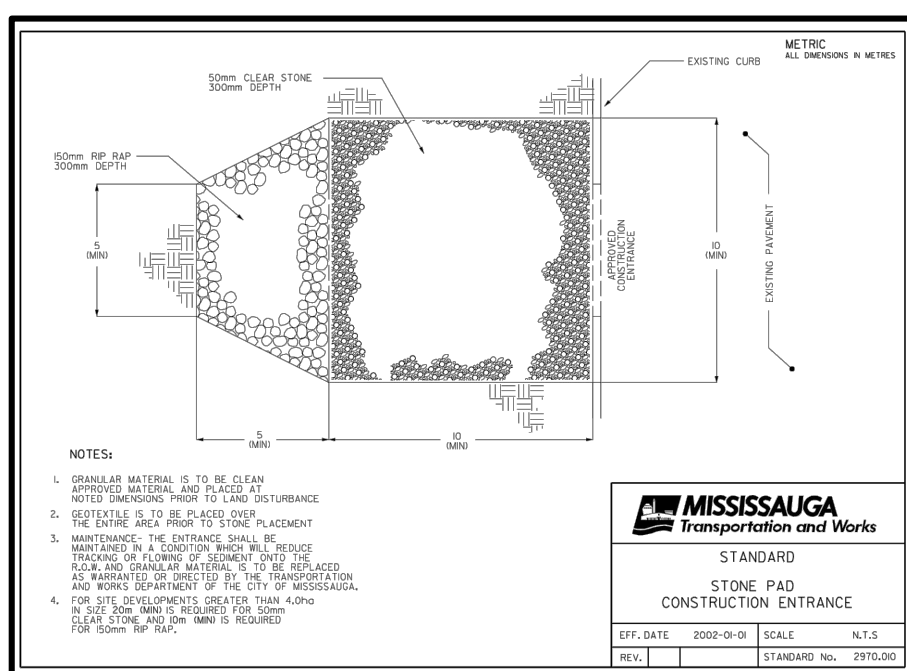
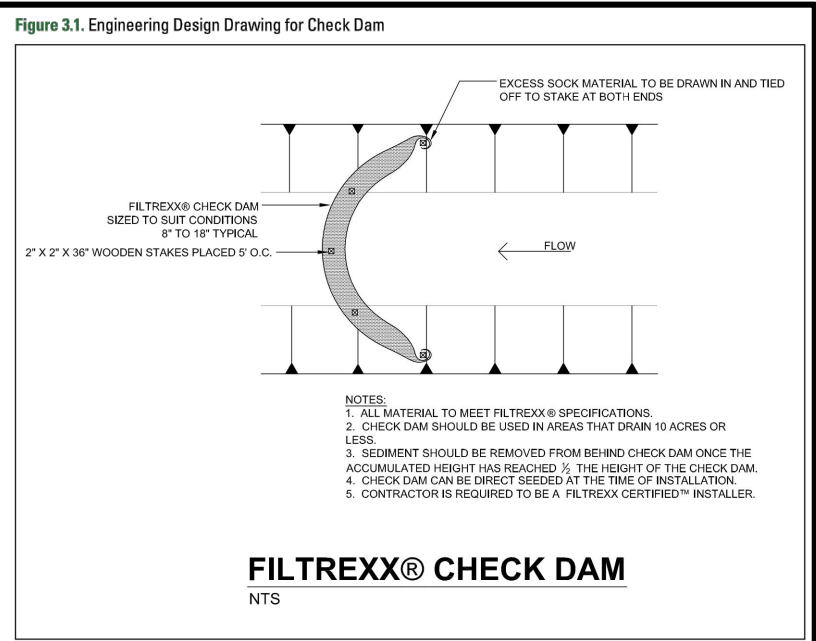
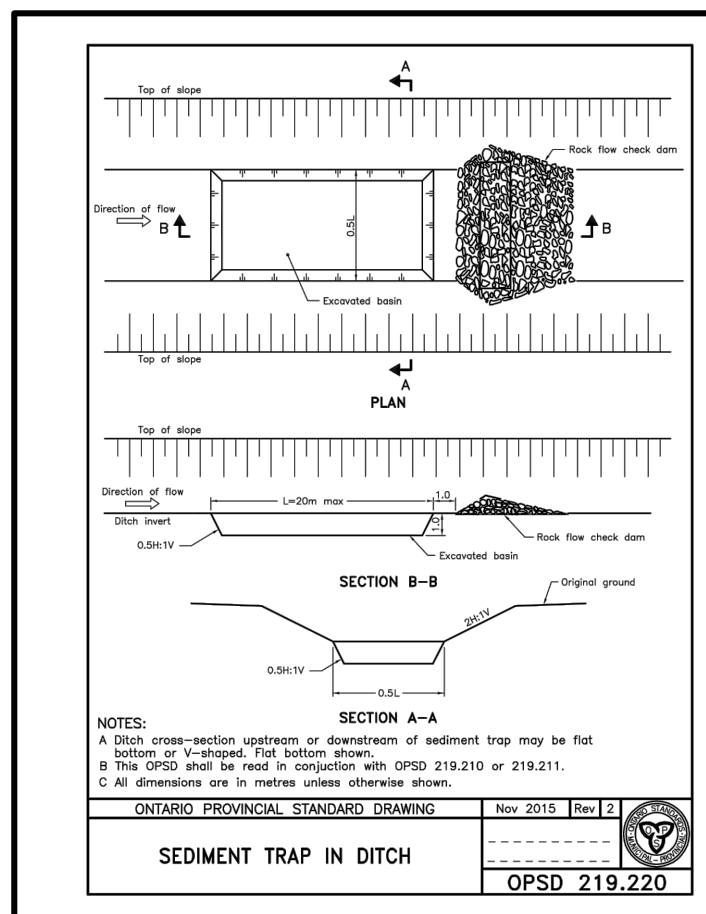
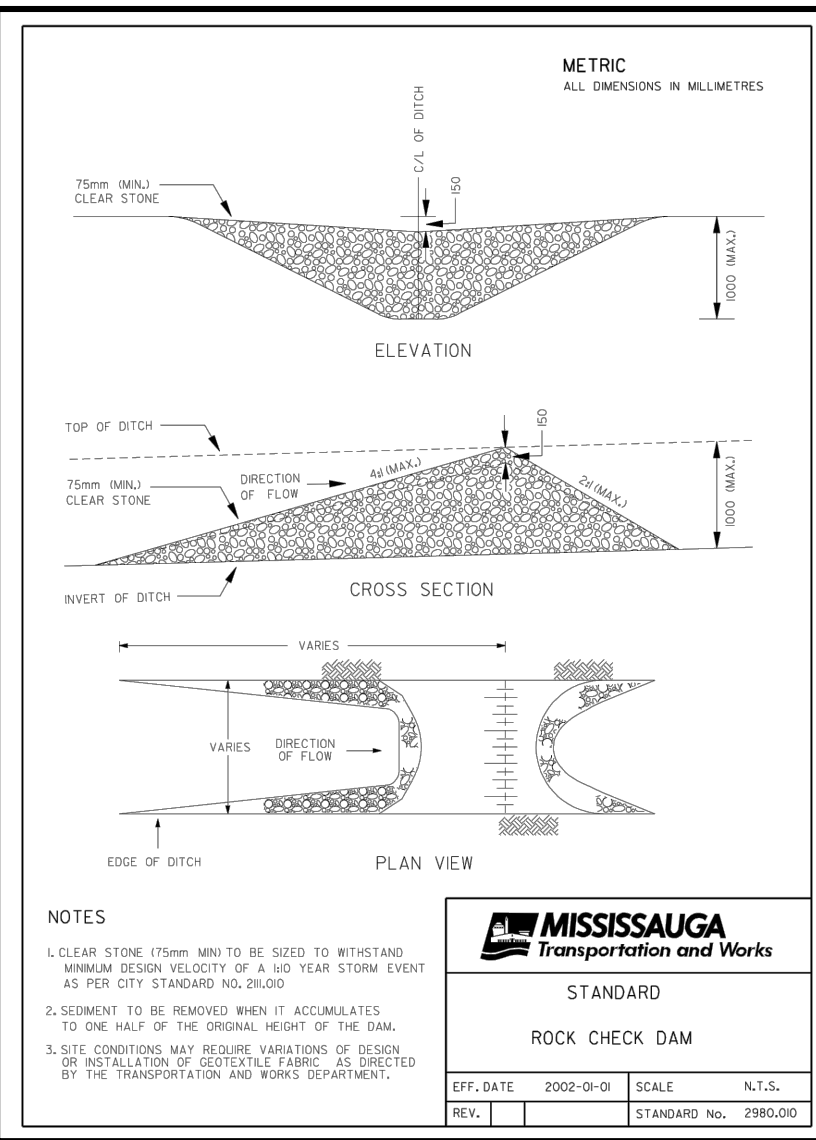
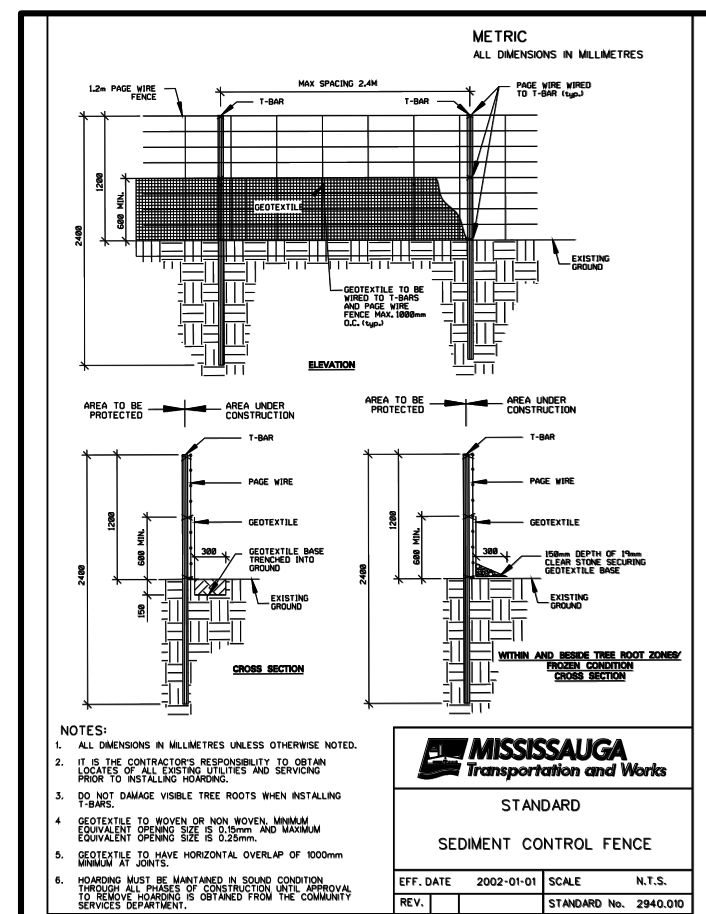
1. ALL SNOW FENCING AND SEDIMENT CONTROL FENCING TO BE ERECTED AROUND PERIMETER OF DISTURBED AREA PRIOR COMMENCEMENT OF ANY GRADING OPERATIONS (AS PER CITY STD. 2940.01)
2. ALL CATCHBASINS WITHIN LANDSCAPE AREAS TO HAVE SEDIMENT BARRIER, CITY STANDARD 2930.03 ERRECTED IMMEDIATELY AFTER C/B INSTALLATION. SEDIMENT BARRIER TO BE MAINTAINED ON A REGULAR BASIS UNTIL NO LONGER REQUIRED.
3. ALL ROADSIDE CATCHBASINS TO HAVE SEDIMENT PROTECTION AS PER CITY STD.2930.04 INSTALLED IMMEDIATELY AFTER C/B INSTALLATION. SEDIMENT PROTECTION TO BE MAINTAINED ON A REGULAR BASIS UNTIL NO LONGER REQUIRED.
4. CONSTRUCTION SEQUENCE SEDIMENT CONTROLS:
SITE GRADINGS:
UNDERGROUND SERVICING:
BLDG. CONSTRUCTION:
FINAL GRADING/SODDING:
THIS CONTROL PLANS IS PREPARED FOR SUBMISSION TO THE CITY OF MISSISSAUGA IN CONJUNCTION WITH AN APPLICATION FOR EROSION & SEDIMENT CONTROL PERMIT No. UNDER THE EROSION AND SEDIMENT CONTROL BY-LAW No. 512-91, AS AMENDED IF SITE CONSTRUCTION IS INTERRUPTED AND/OR INACTIVITY EXCEEDS 30DAYS ALL STOPPED AND/OR BARE AREAS WILL BE STABILIZED BY SEEDING.

EXCAVATED SEDIMENTATION TRAP CALCULATION (125 cu.m/ha)

TRAP ID	TRIB AREA (ha)	VOLUME REQUIRED (cu.m)	LENGTH (m)	WIDTH (m)	DEPTH (m)	VOLUME PROVIDED (cu.m)
1.	0.15	18.86	7	3	1	21
2.	1.14	142.5	18	8	1	144

IF AN EXISTING SEPTIC SYSTEM IS ON THE PROPERTY, IT MUST BE DECOMMISSIONED AND REMOVED ACCORDING TO ALL APPLICABLE GUIDELINES AND REGULATIONS.

IF A WELL IS DISCOVERED ON THE PROPERTY, IT MUST BE DECOMMISSIONED BY A LICENSED WELL CONTRACTOR OR TECHNICIAN IN ACCORDANCE WITH THE ONTARIO WATER RESOURCES ACT REGULATION 903 (formerly 612/84) AND ANY OTHER APPLICABLE REGULATIONS AND GUIDELINES.



PLAN OF SURVEY SHOWING TOPOGRAPHY OF LOTS 26, 27, 28, 29, 30 AND 31 AND PART OF LOT 18 REGISTERED PLAN 473 AND PART OF LOT 6, CONCESSION 1 SOUTH OF DUNDAS STREET (GEOGRAPHIC TOWNSHIP OF TORONTO) CITY OF MISSISSAUGA REGIONAL MUNICIPALITY OF PEEL

LEGEND

- SEDIMENT CONTROL FENCE
- ROCK CHECK DAM
- INTERCEPTION SWALE
- DENOTES SHEET FLOW
- DENOTES FILTERREXX CHECK DAM
- DENOTES SEDIMENTATION TRAP

BENCHMARK NOTE

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1.	FIRST SUBMISSION	JAN.09/2018	S.Ng.

REVISION BLOCK	DATE	APPR. BY
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CITY PARK (DIXIE) INC.

2103-2119 PRIMATE ROAD, 1351 & 1357 WEALTHY PLACE, 2116& 2112 DIXIE ROAD



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DIRECTOR OF DEVELOPMENT/TRANSPORTATION ENGINEERING
DATE:

CONDELAND

CONSULTING ENGINEERS & PROJECT MANAGERS
350 Creditstone Road, Unit 200
Concord, Ontario L4K 3Z2
P: (905) 695-2096
F: (905) 695-2099



EROSION AND SEDIMENT CONTROL PLAN PHASE I

DESIGNED BY: S.N./J.K.	DATE: AUGUST 2019	CHECKED BY: M.E.H.
DRAWN BY: G.M.	DRAWING NO.	
SCALES		CITY FILE
HOR 1:300	17-017 - 07	DARC 17-192

EROSION AND SEDIMENT CONTROL NOTES:

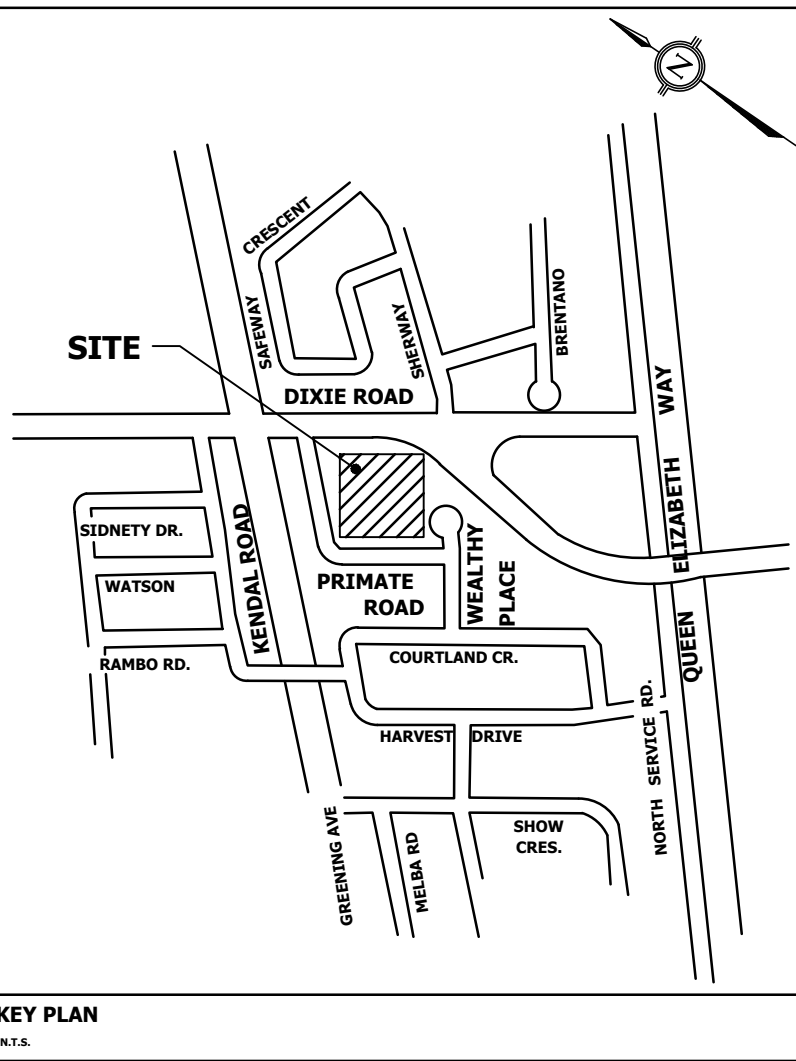
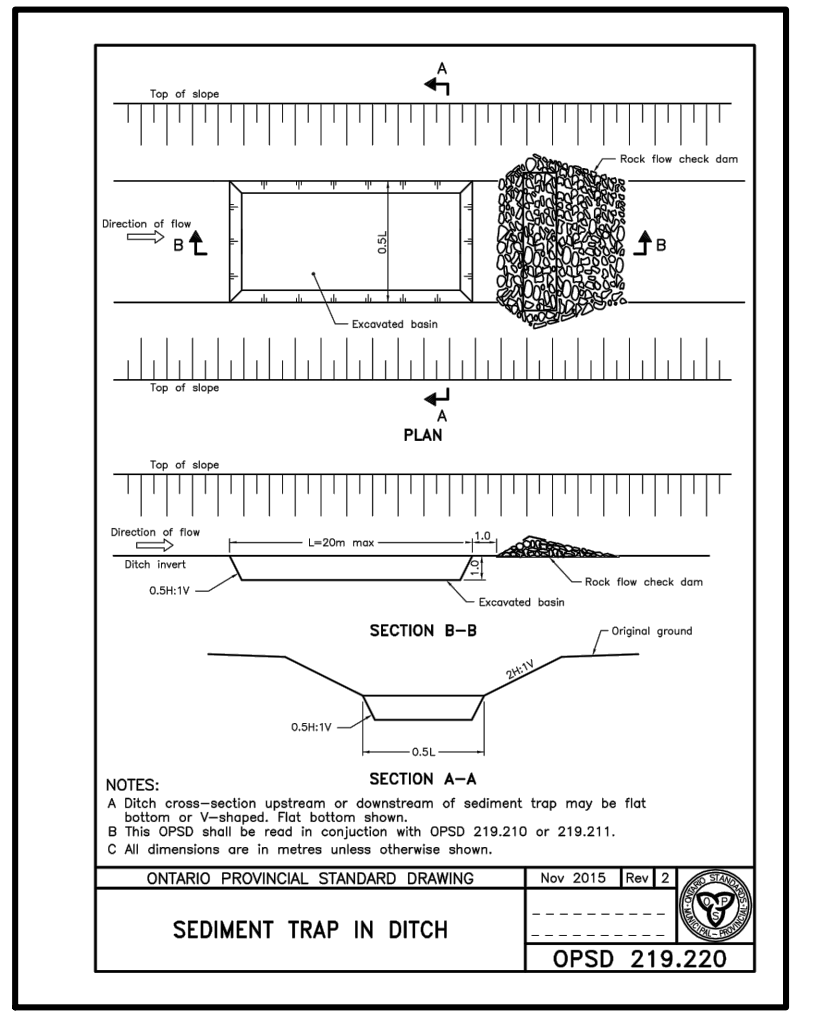
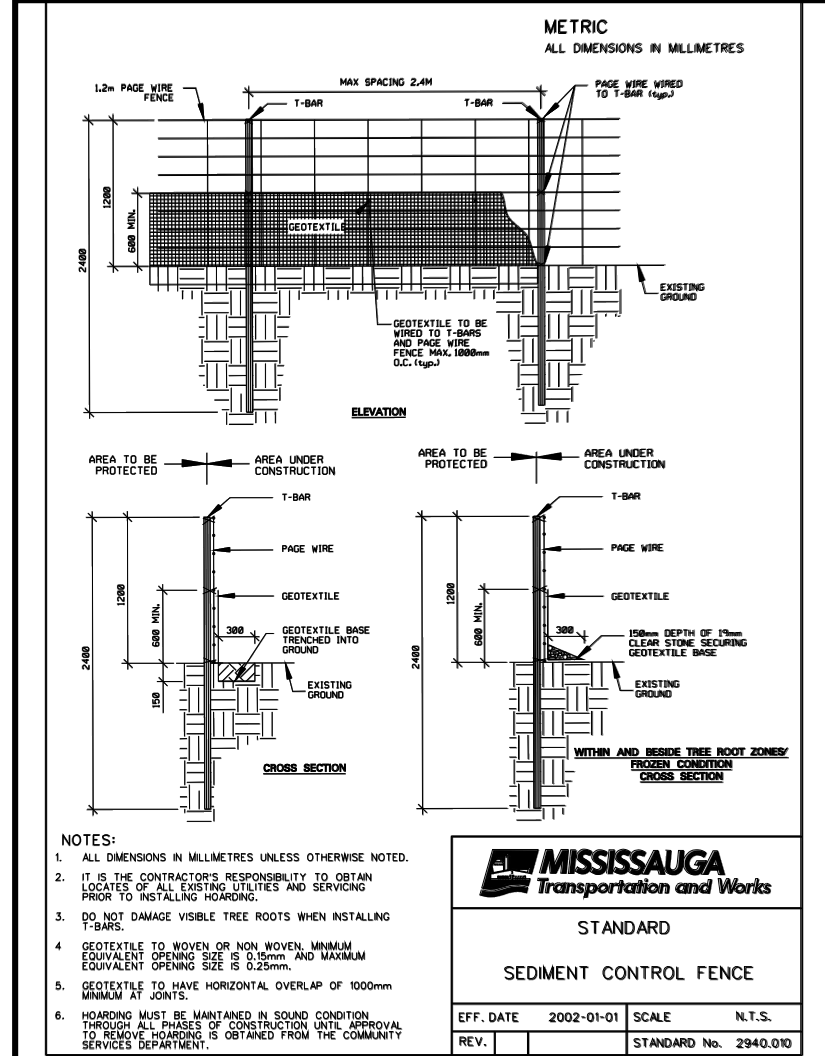
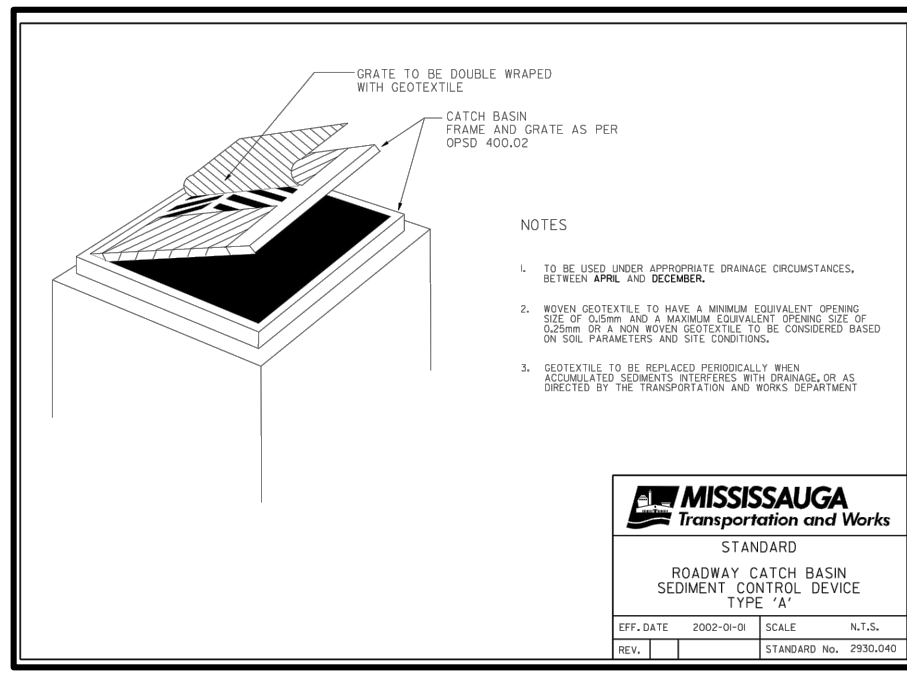
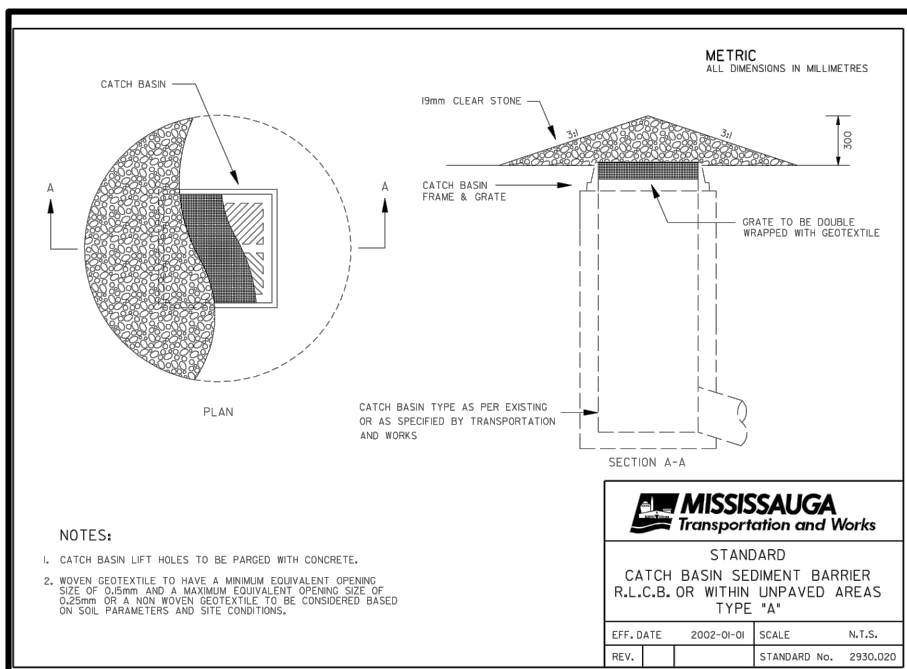
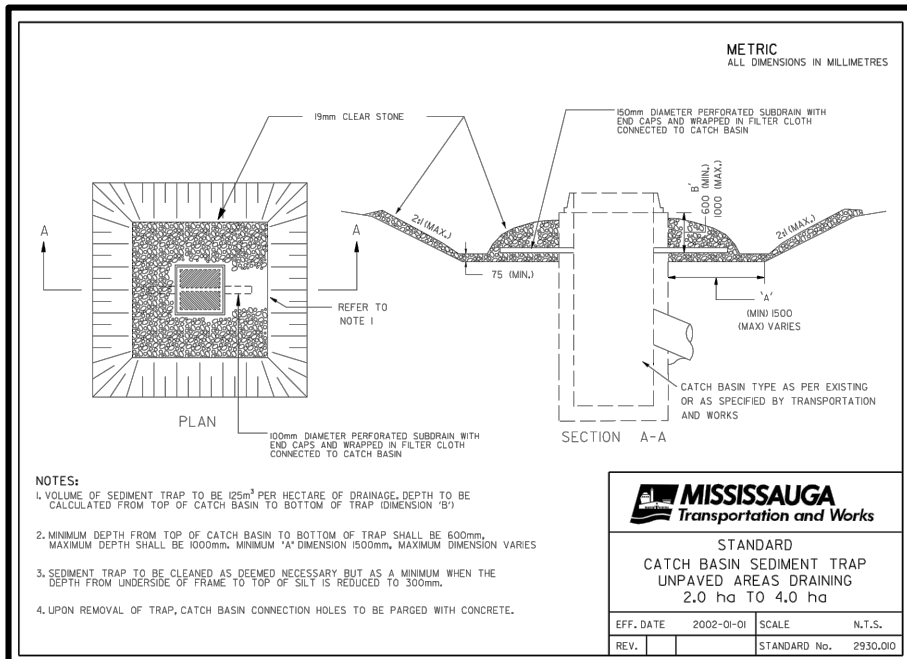
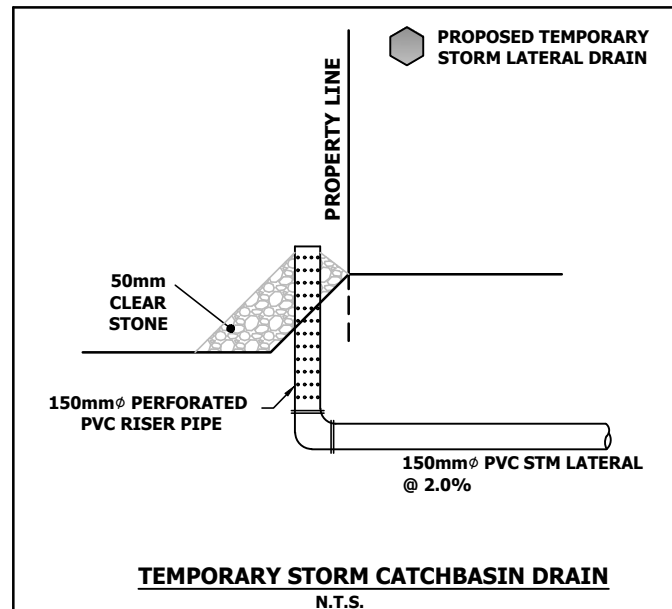
- ALL SNOW FENCING AND SEDIMENT CONTROL FENCING TO BE ERECTED AROUND PERIMETER OF DISTURBED AREA PRIOR COMMENCEMENT OF ANY GRADING OPERATIONS (AS PER CITY STD. 2940.01)
- ALL CATCHBASINS WITHIN LANDSCAPE AREAS TO HAVE SEDIMENT BARRIER, CITY STANDARD 2930.03 ERECTED IMMEDIATELY AFTER C/B INSTALLATION. SEDIMENT BARRIER TO BE MAINTAINED ON A REGULAR BASIS UNTIL NO LONGER REQUIRED.
- ALL ROADSIDE CATCHBASINS TO HAVE SEDIMENT PROTECTION AS PER CITY STD. 2930.04 INSTALLED IMMEDIATELY AFTER C/B INSTALLATION. SEDIMENT PROTECTION TO BE MAINTAINED ON A REGULAR BASIS UNTIL NO LONGER REQUIRED.
- CONSTRUCTION SEQUENCE
SEDIMENT CONTROLS:
SITE GRADINGS:
UNDERGROUND SERVICING:
BLDG. CONSTRUCTION:
FINAL GRADING/SODDING:
THIS CONTROL PLANS IS PREPARED FOR SUBMISSION TO THE CITY OF MISSISSAUGA IN CONJUNCTION WITH AN APPLICATION FOR EROSION & SEDIMENT CONTROL PERMIT NO. _____, UNDER THE EROSION AND SEDIMENT CONTROL BY-LAW NO. 512-91, AS AMENDED IF SITE CONSTRUCTION IS INTERRUPTED AND/OR INACTIVITY EXCEEDS 30 DAYS ALL STOPPED AND/OR BARE AREAS WILL BE STABILIZED BY SEEDING.

EXCAVATED SEDIMENTATION TRAP CALCULATION (125 cu.m/ha)

TRAP ID	TRIB AREA (ha)	VOLUME REQUIRED (cu.m)	LENGTH (m)	WIDTH (m)	DEPTH (m)	VOLUME PROVIDED (cu.m)
1.	0.15	18.86	7	3	1	21

IF AN EXISTING SEPTIC SYSTEM IS ON THE PROPERTY, IT MUST BE DECOMMISSIONED AND REMOVED ACCORDING TO ALL APPLICABLE GUIDELINES AND REGULATIONS.

IF A WELL IS DISCOVERED ON THE PROPERTY, IT MUST BE DECOMMISSIONED BY A LICENSED WELL CONTRACTOR OR TECHNICIAN IN ACCORDANCE WITH THE ONTARIO WATER RESOURCES ACT REGULATION 903 (formerly 612/84) AND ANY OTHER APPLICABLE REGULATIONS AND GUIDELINES.



PLAN OF SURVEY SHOWING TOPOGRAPHY OF LOTS 26, 27, 28, 29, 30 AND 31 AND PART OF LOT 18 REGISTERED PLAN 473 AND PART OF LOT 6, CONCESSION 1 SOUTH OF DUNDAS STREET (GEOGRAPHIC TOWNSHIP OF TORONTO) CITY OF MISSISSAUGA REGIONAL MUNICIPALITY OF PEEL

LEGEND

- SEDIMENT CONTROL FENCE
- INTERCEPTION SWALE
- DENOTES SEDIMENTATION TRAP
- DENOTES SILT PROTECTION FOR STREET C/B'S
- DENOTES LATERAL DRAIN

BENCHMARK NOTE

ELEVATIONS SHOWN HEREON ARE REFERRED TO THE CITY OF MISSISSAUGA BENCHMARK No. 351 HAVING AN ELEVATION OF 108.675 METRES LOCATED ON THE EAST FACE AT THE MAIN ENTRANCE OF APPLEWOOD PUBLIC SCHOOL ON THE WEST SIDE OF HARVEST DRIVE, 30.5 METRES SOUTH OF KENDALL ROAD.

4.	CITY COMMENTS FROM APRIL 26, 2019	AUG. 08/2019	M.E.H.
3.	CITY COMMENTS FROM DECEMBER 10, 2018	MARCH 06/2019	M.E.H.
2.	CITY COMMENTS FROM AUGUST 8, 2018	OCT.16/2018	M.E.H.
1.	FIRST SUBMISSION	JAN.09/2018	S.Ng.
REVISION	BLOCK	DATE	APPR. BY

CITY PARK (DIXIE) INC.

2103-2119 PRIMATE ROAD, 1351 & 1357 WEALTHY PLACE, 2116& 2112 DIXIE ROAD



APPROVED AS TO FORM IN RELIANCE UPON THE PROFESSIONAL SKILL AND ABILITY OF CONDELAND ENGINEERING LIMITED AS TO DESIGN AND SPECIFICATION

DIRECTOR OF DEVELOPMENT/TRANSPORTATION ENGINEERING
DATE:

CONDELAND

CONSULTING ENGINEERS & PROJECT MANAGERS

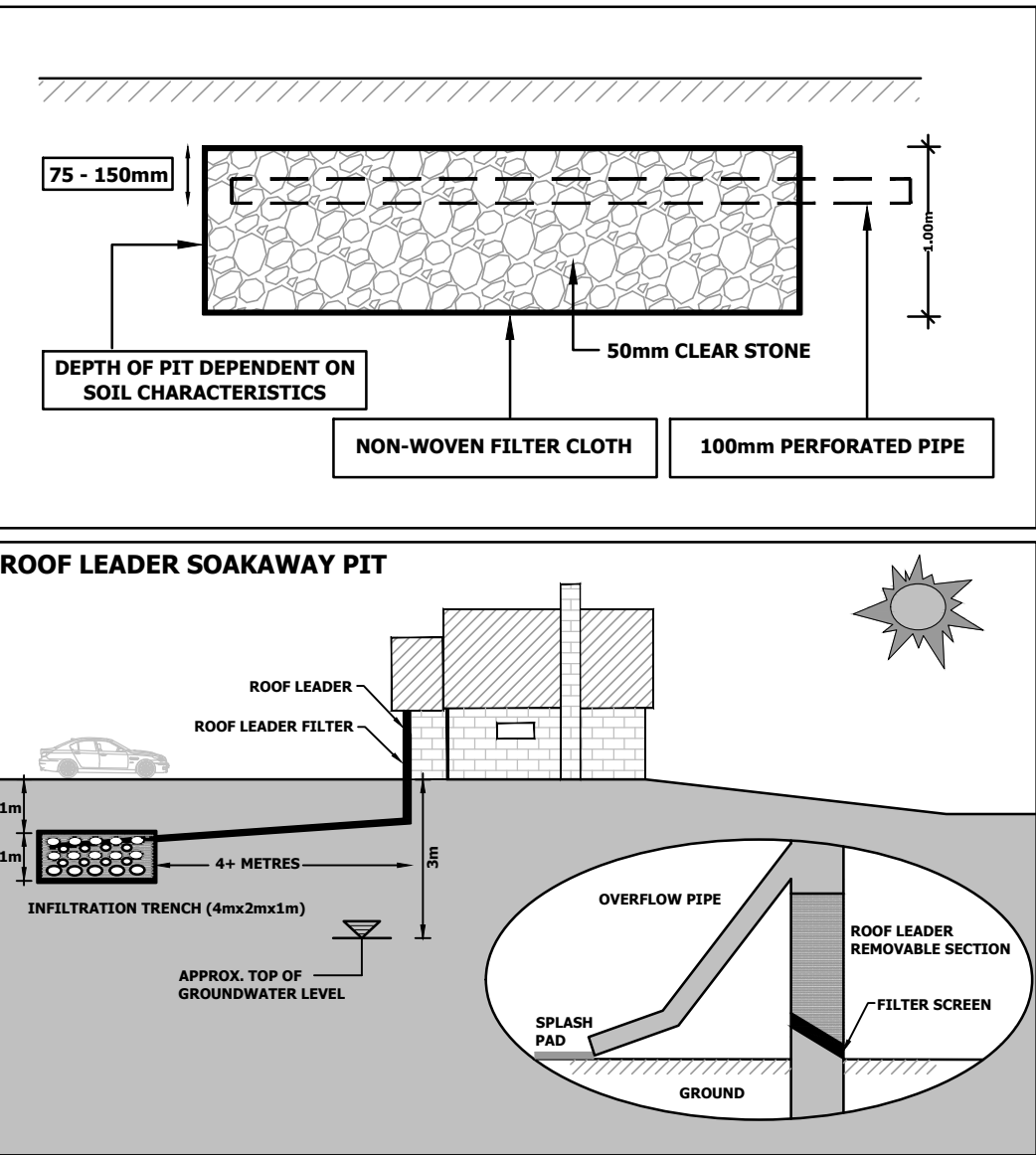
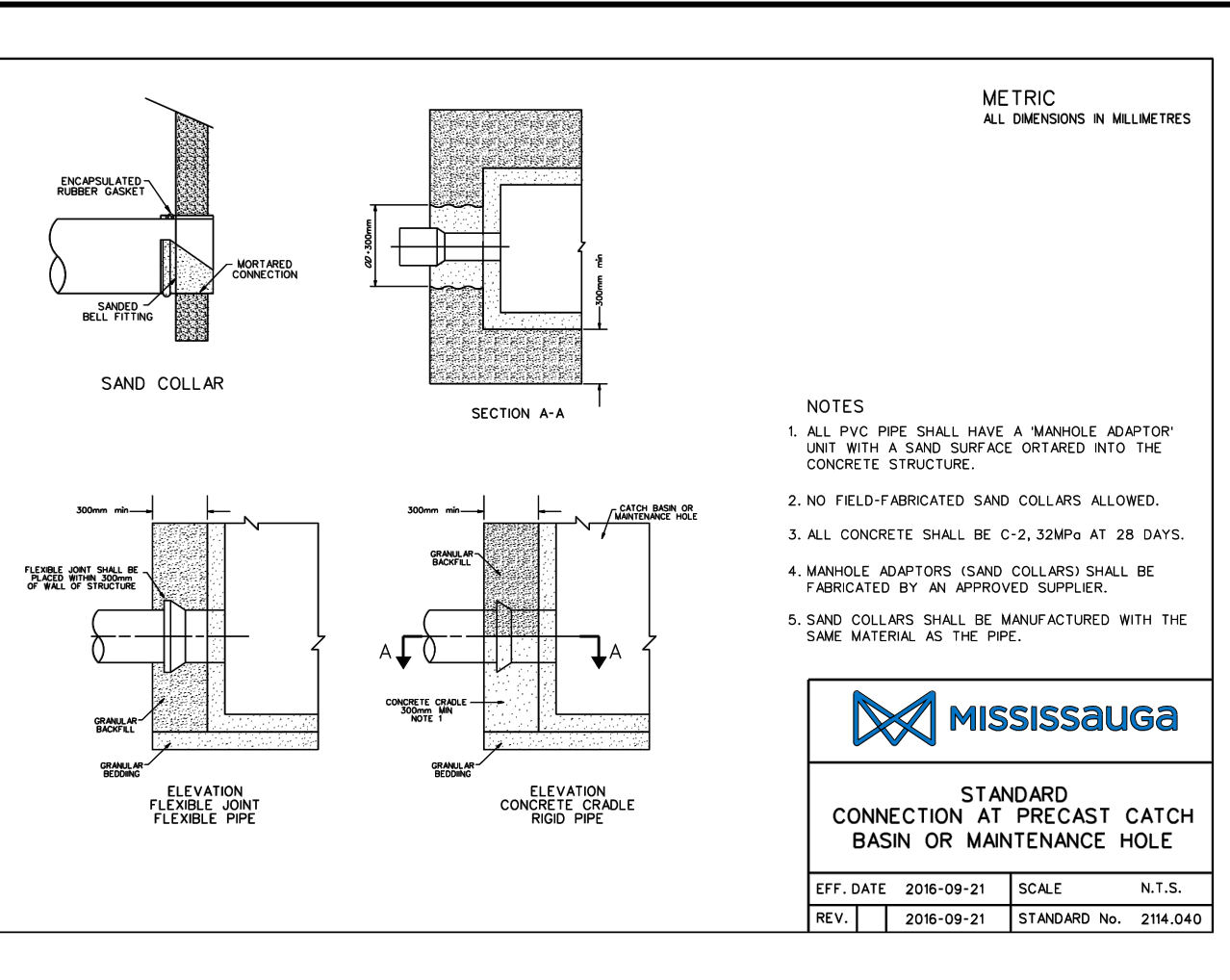
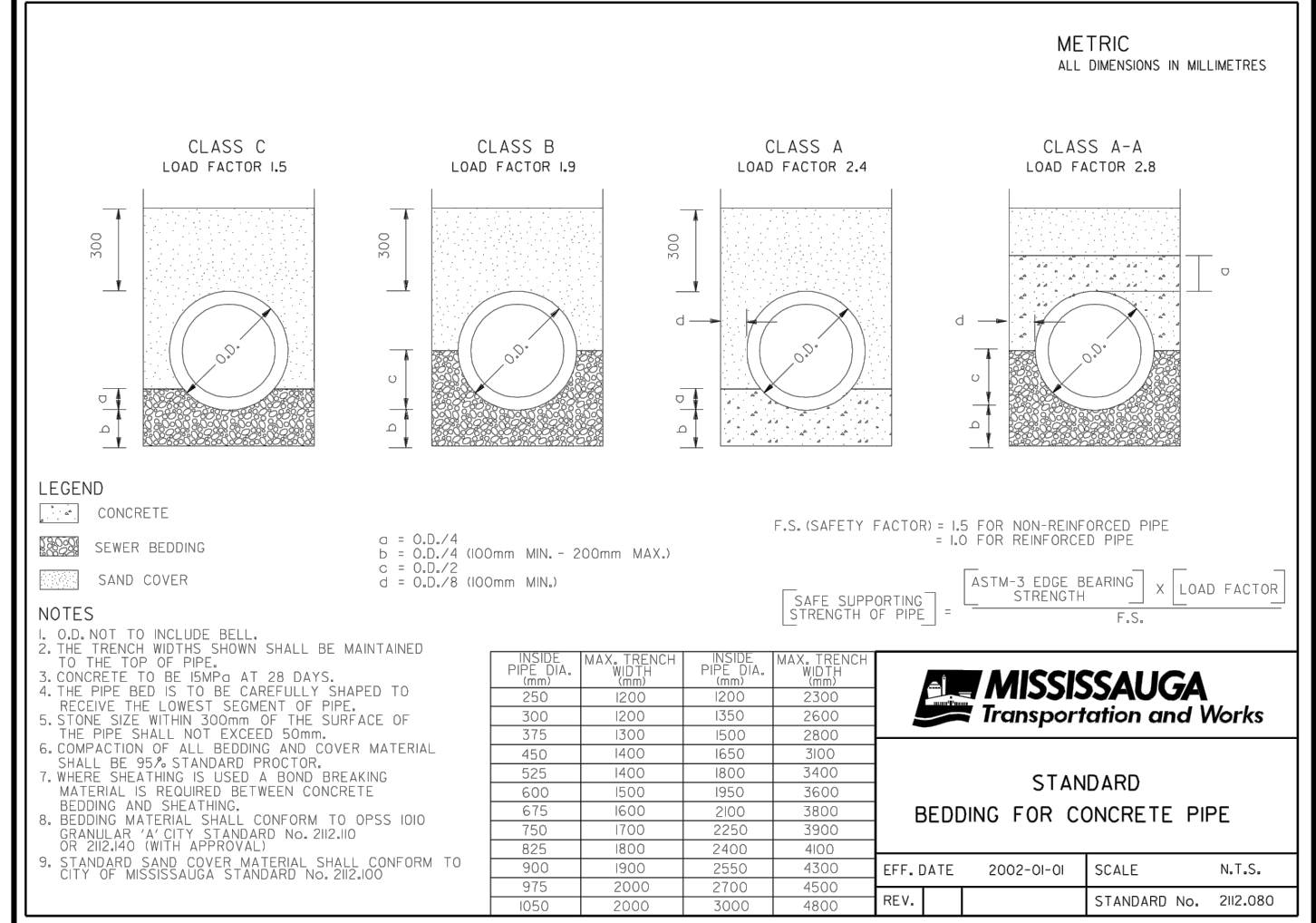
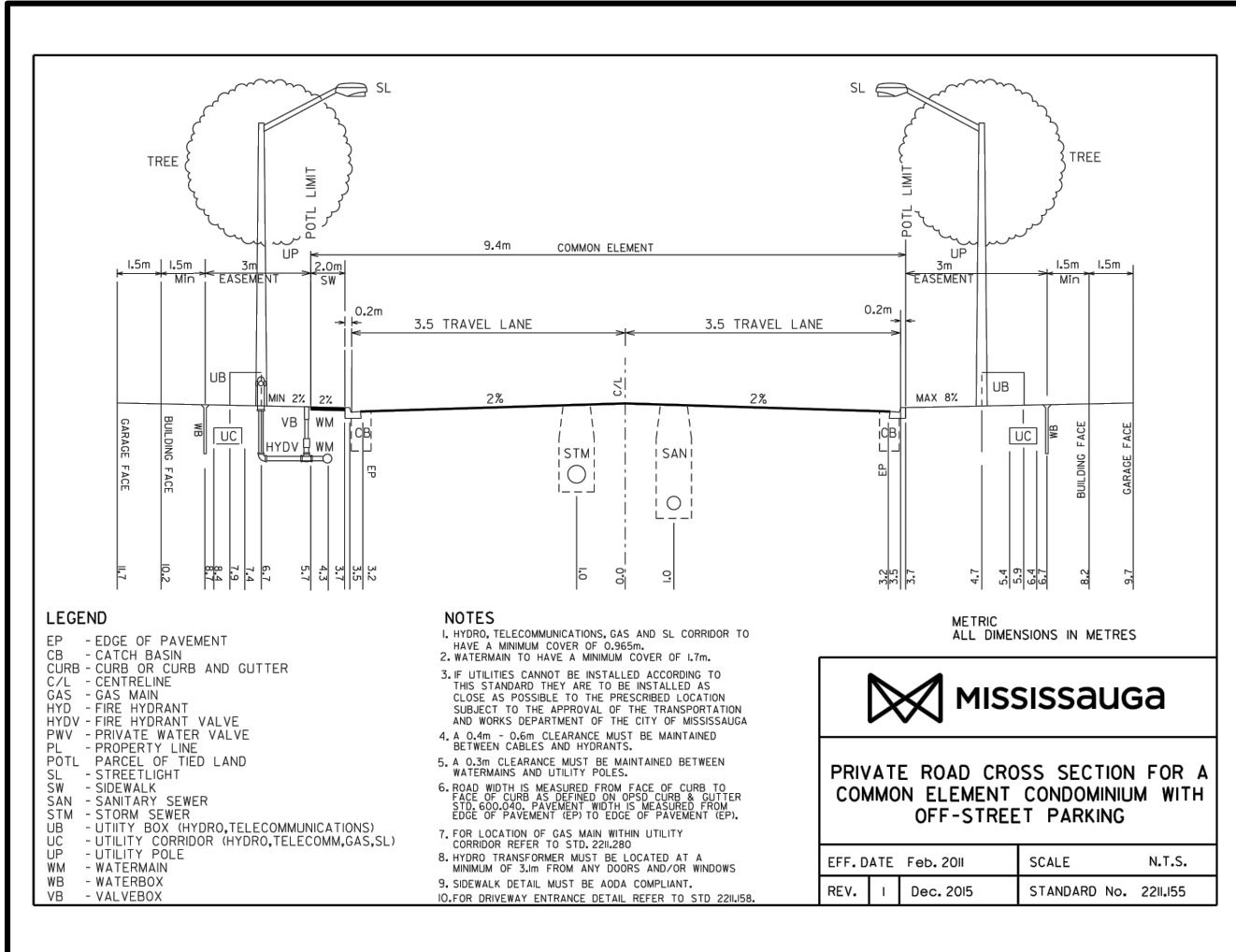
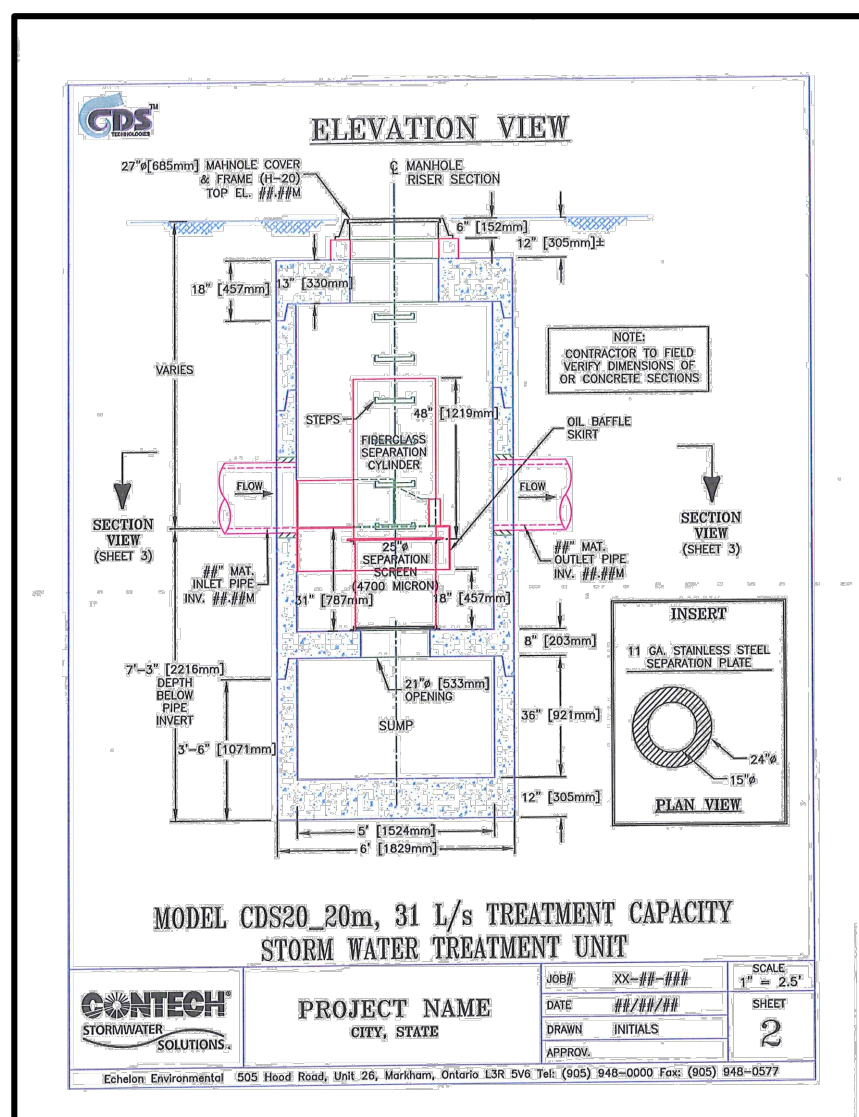
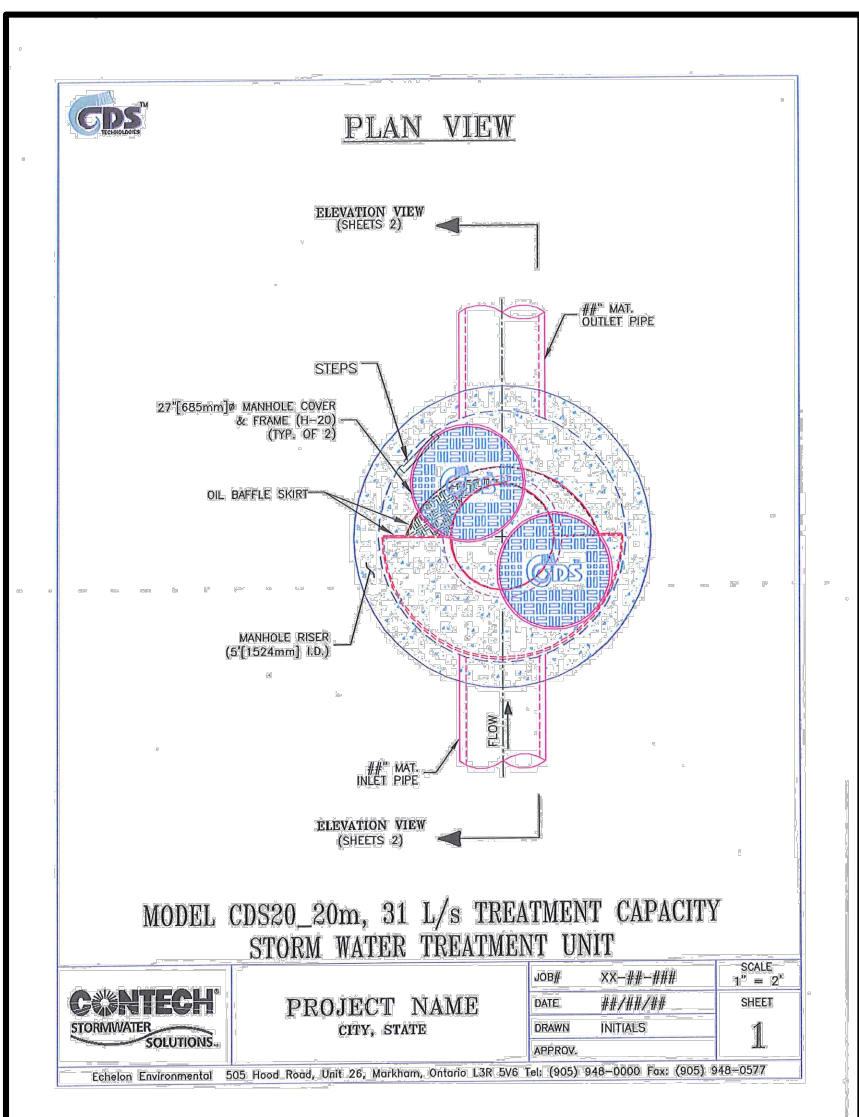
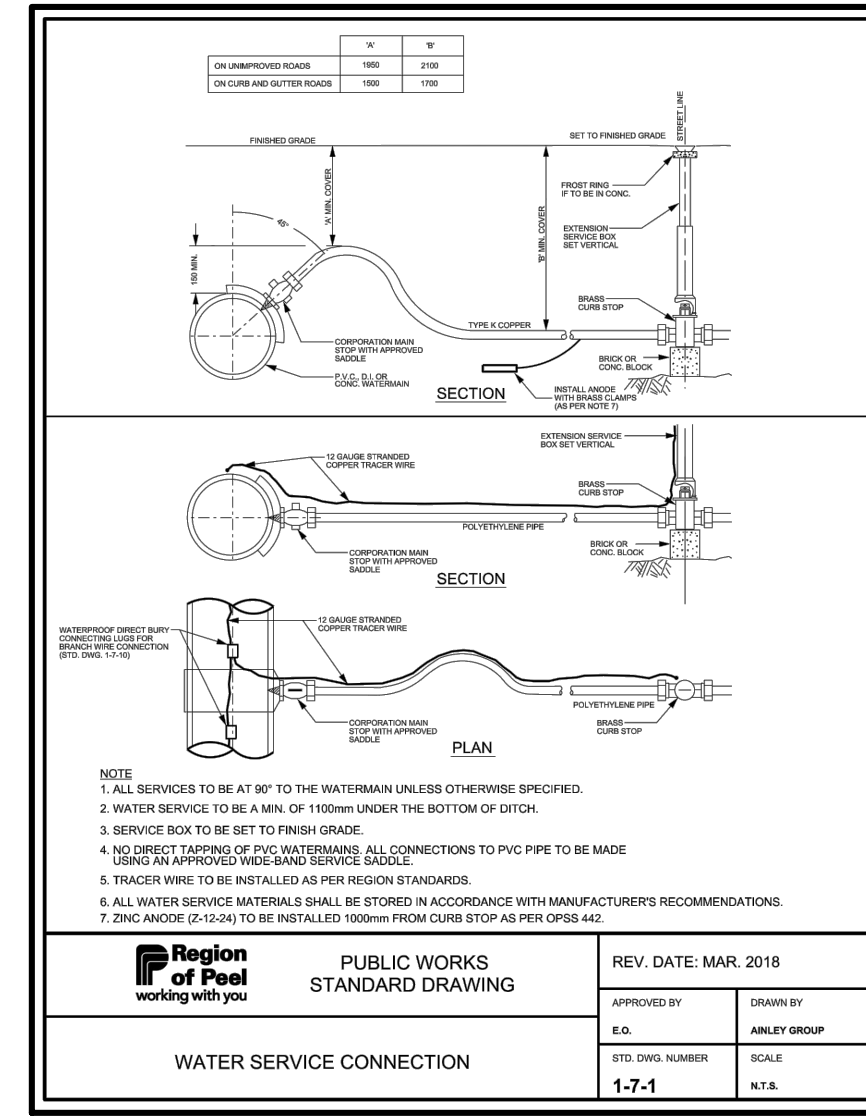
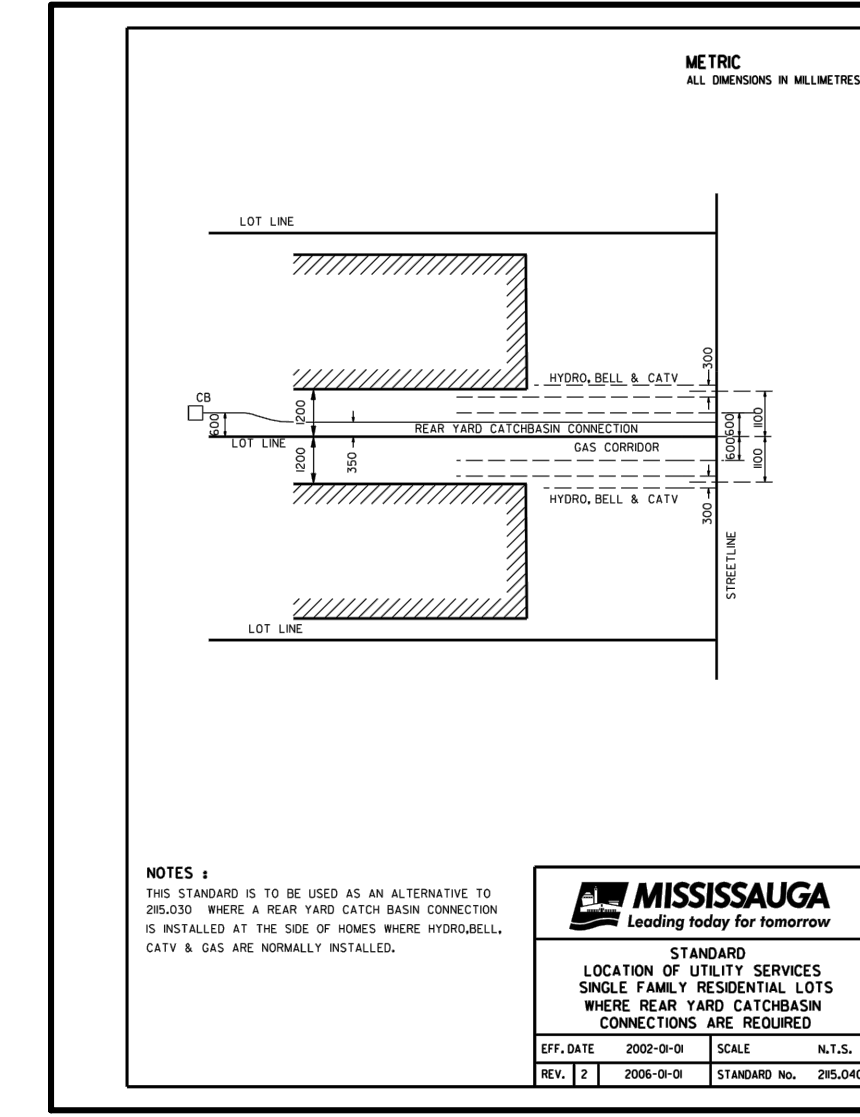
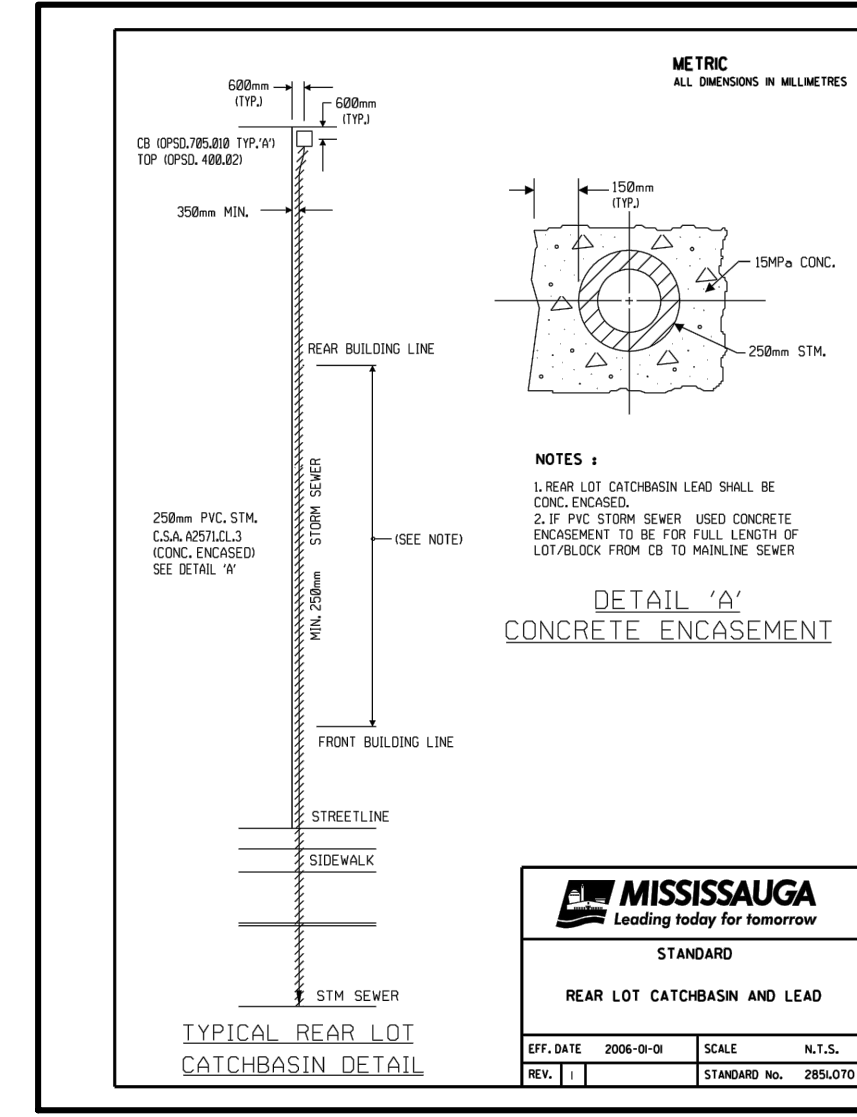
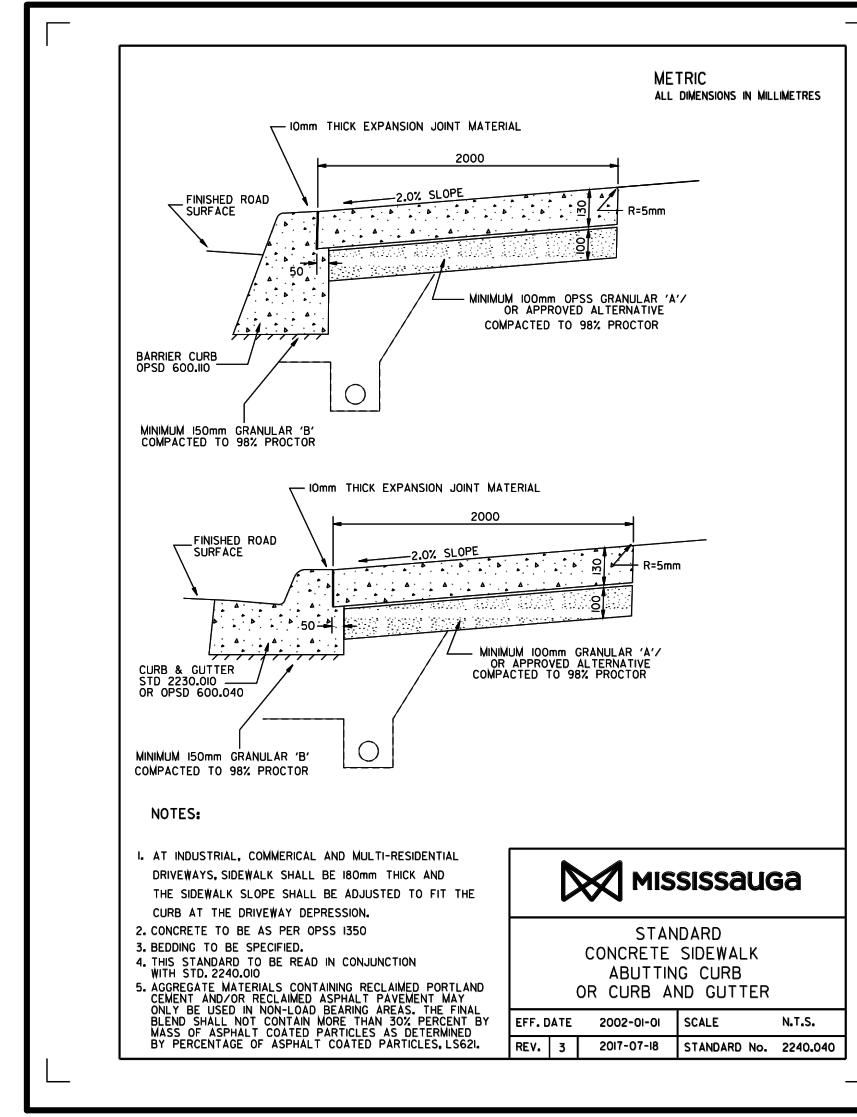
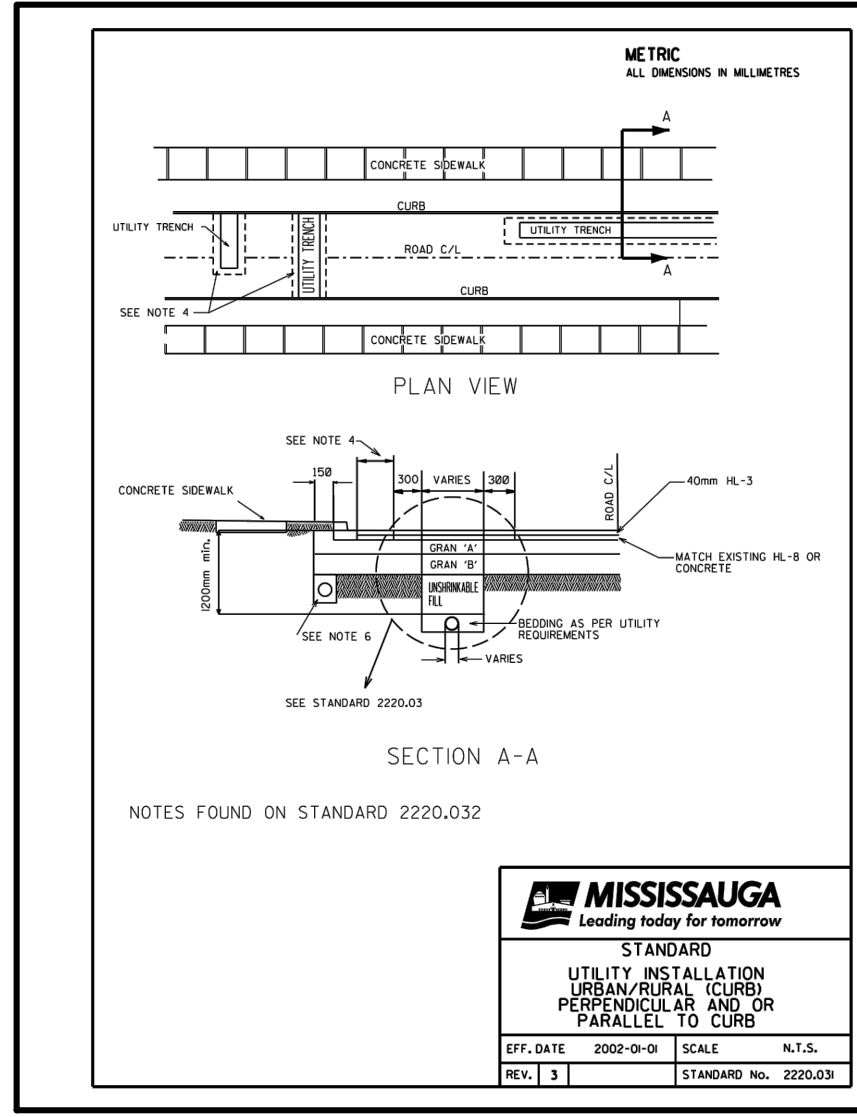
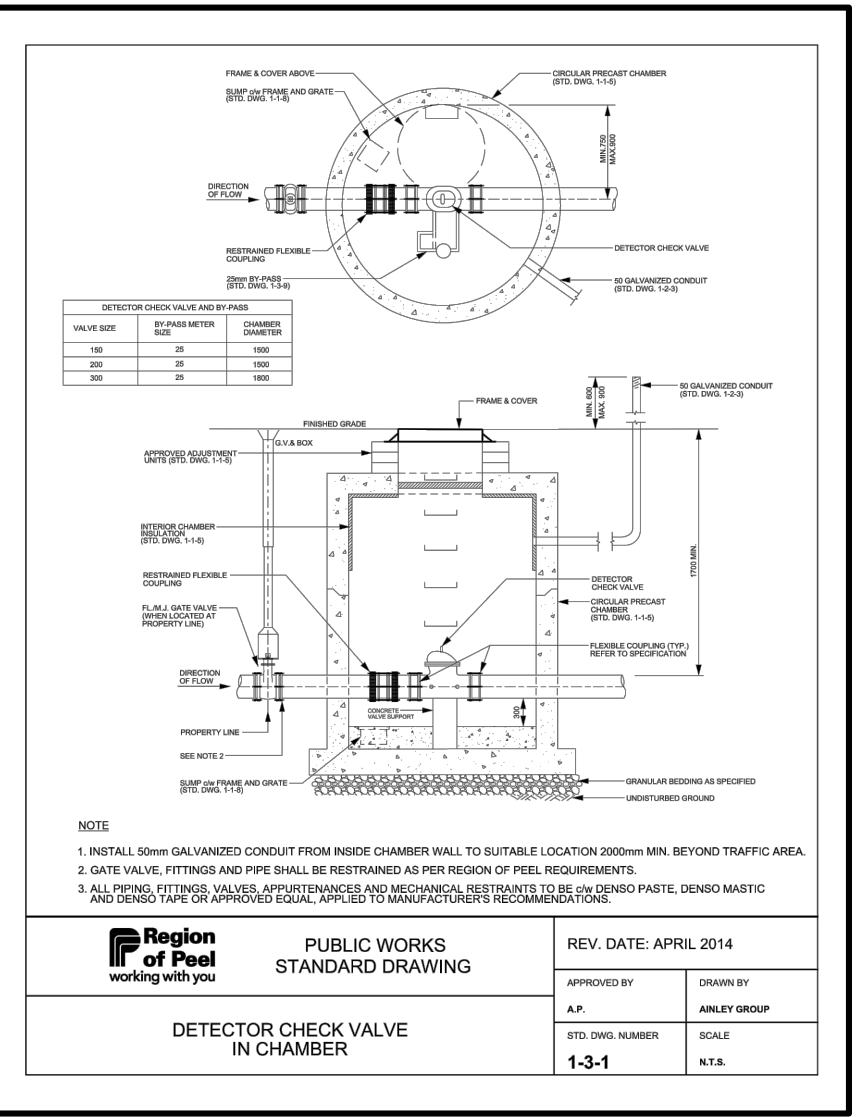
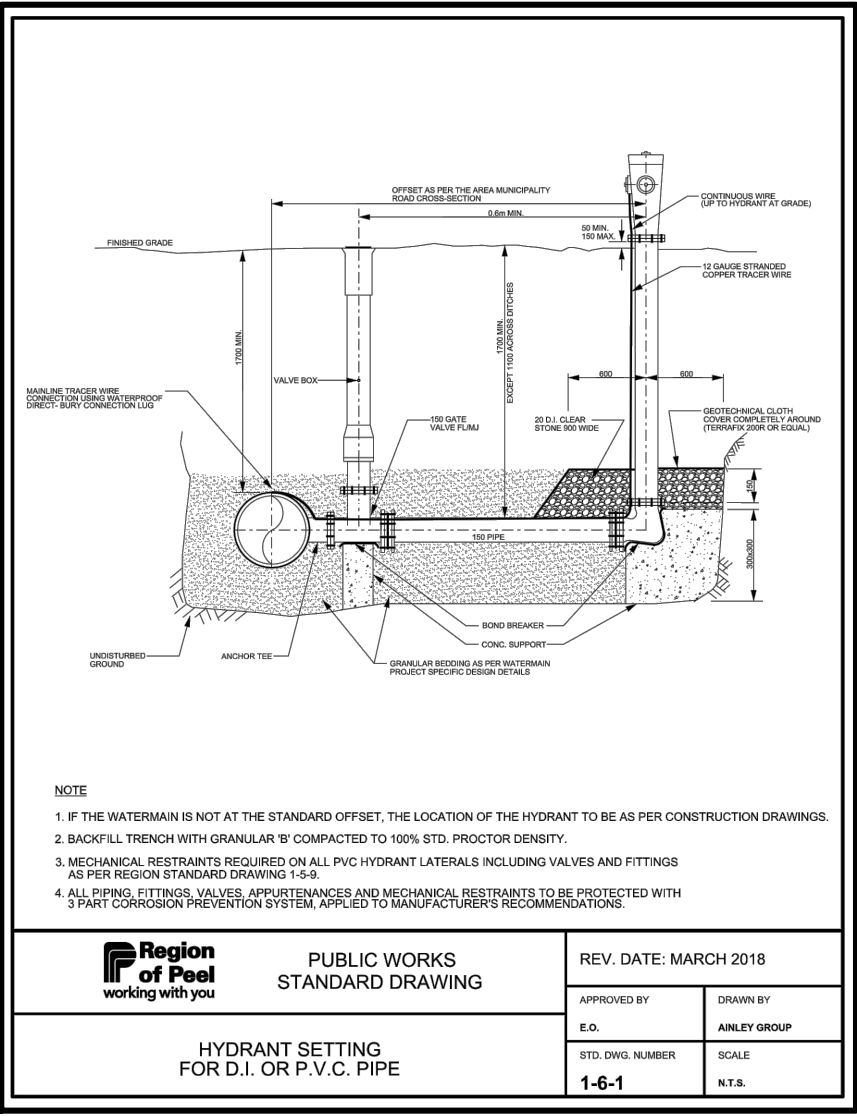
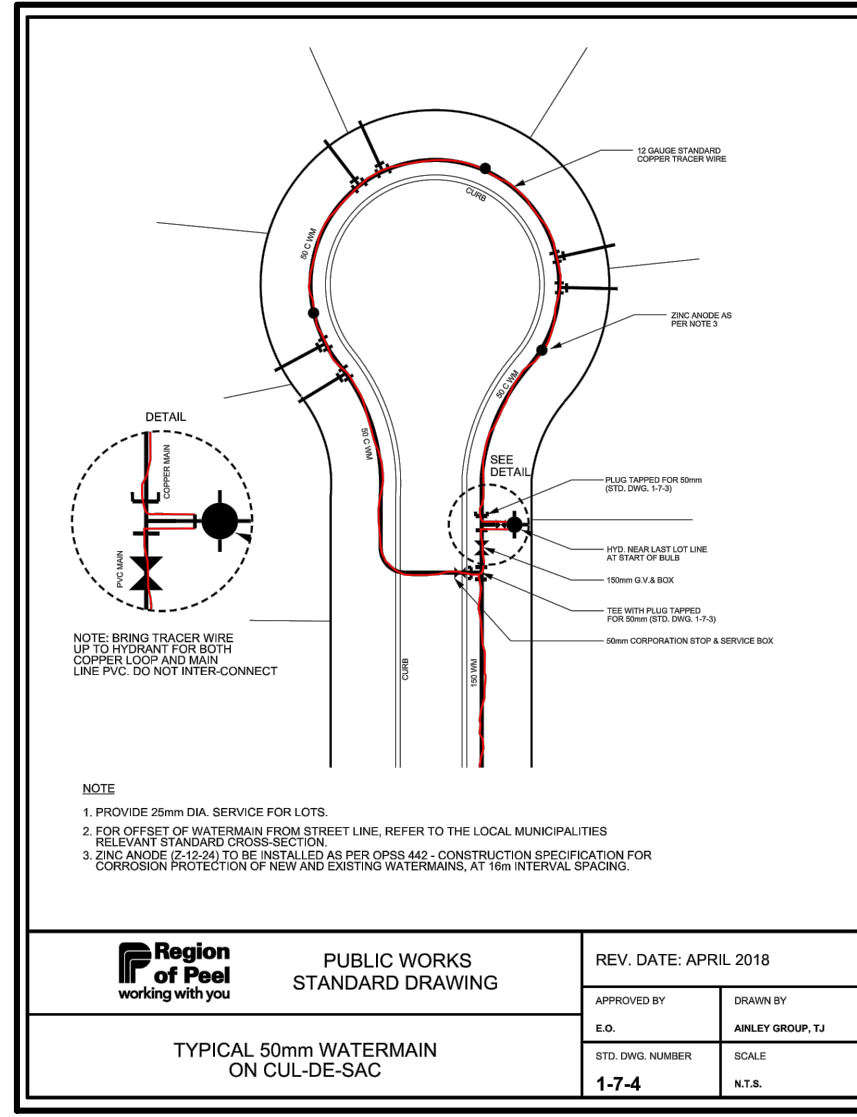
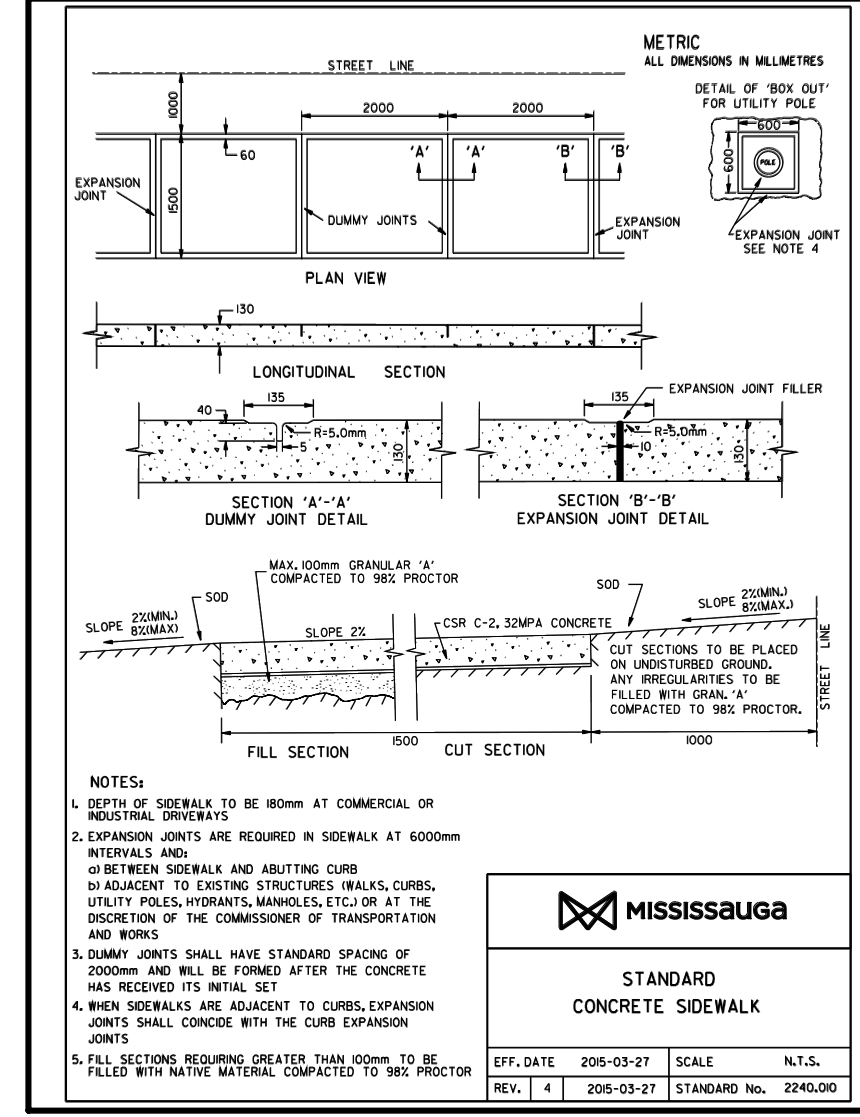
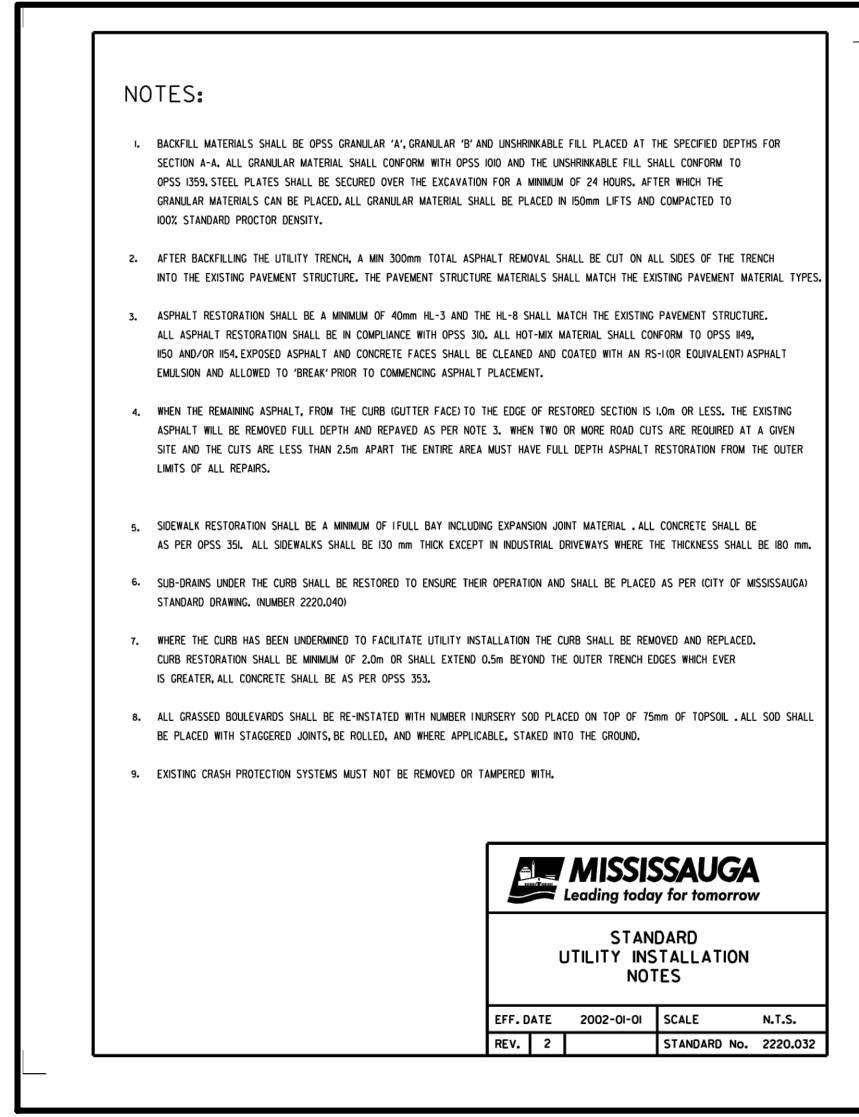
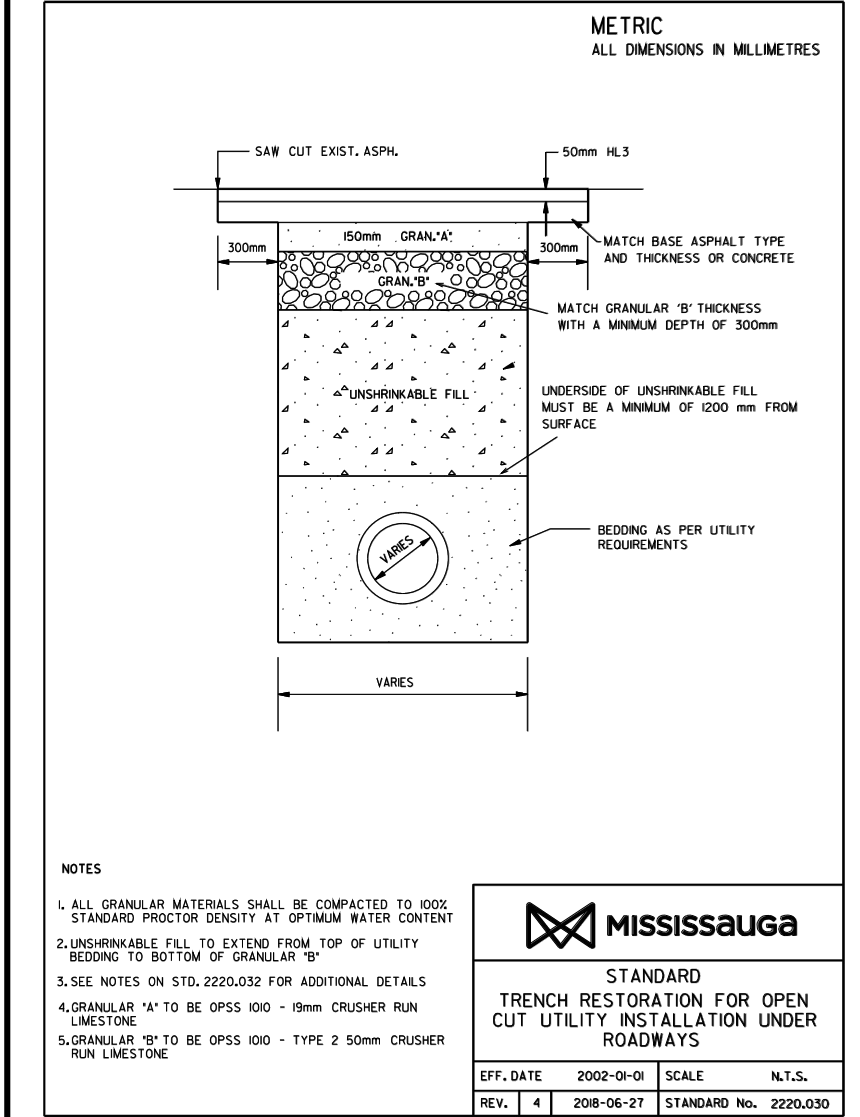
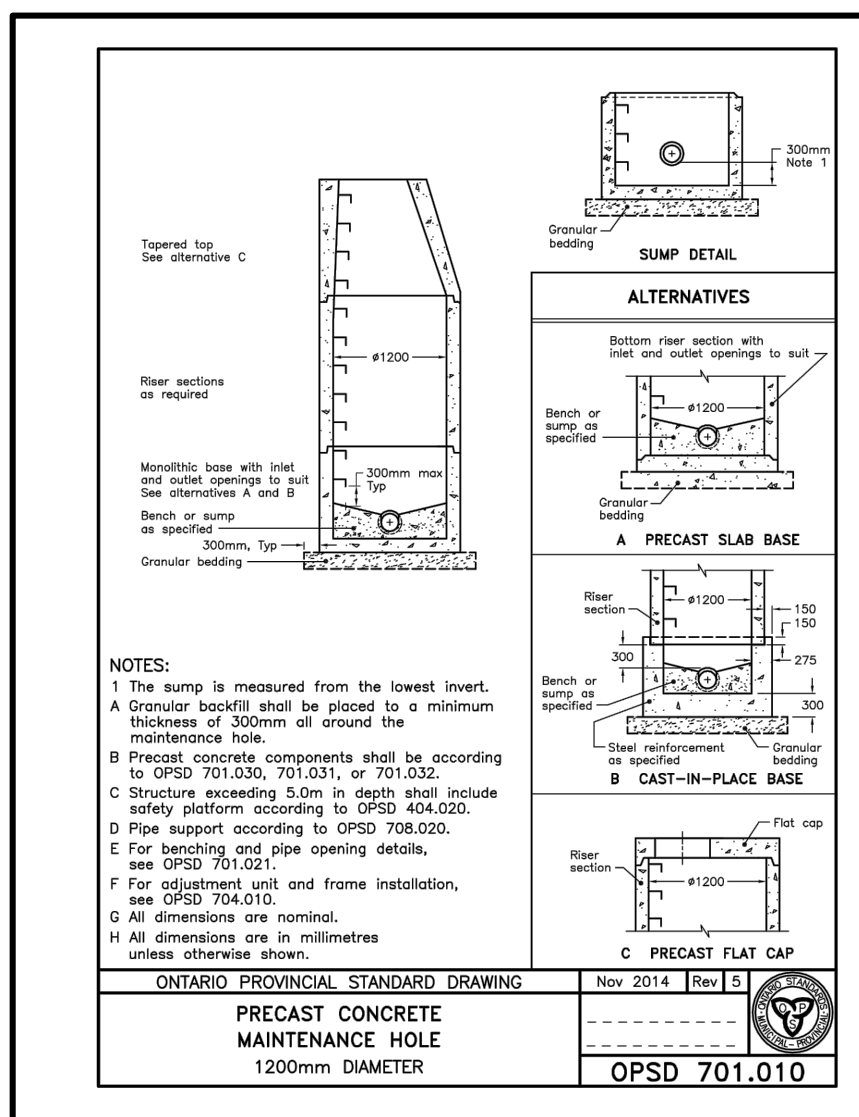
350 Creditstone Road, Unit 200
Concord, Ontario L4K 3Z2

P: (905) 695-2096
F: (905) 695-2099



EROSION AND SEDIMENT CONTROL PLAN PHASE II

DESIGNED BY: S.N./J.K.	DATE: AUGUST 2019	CHECKED BY: M.E.H.
DRAWN BY: G.M.	DRAWING NO. 17-017 - 08	CITY FILE DARC 17-192
SCALES: HOR 1:300		



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CITY STANDARDS AND DETAILS

DESIGNED BY: S.N./J.K. **DATE:** AUGUST 2019 **CHECKED BY:** M.E.H.

DRAWN BY: G.M. **DRAWING NO.** **CITY FILE**

SCALES **17-017 - 09** **DARC 17-192**

