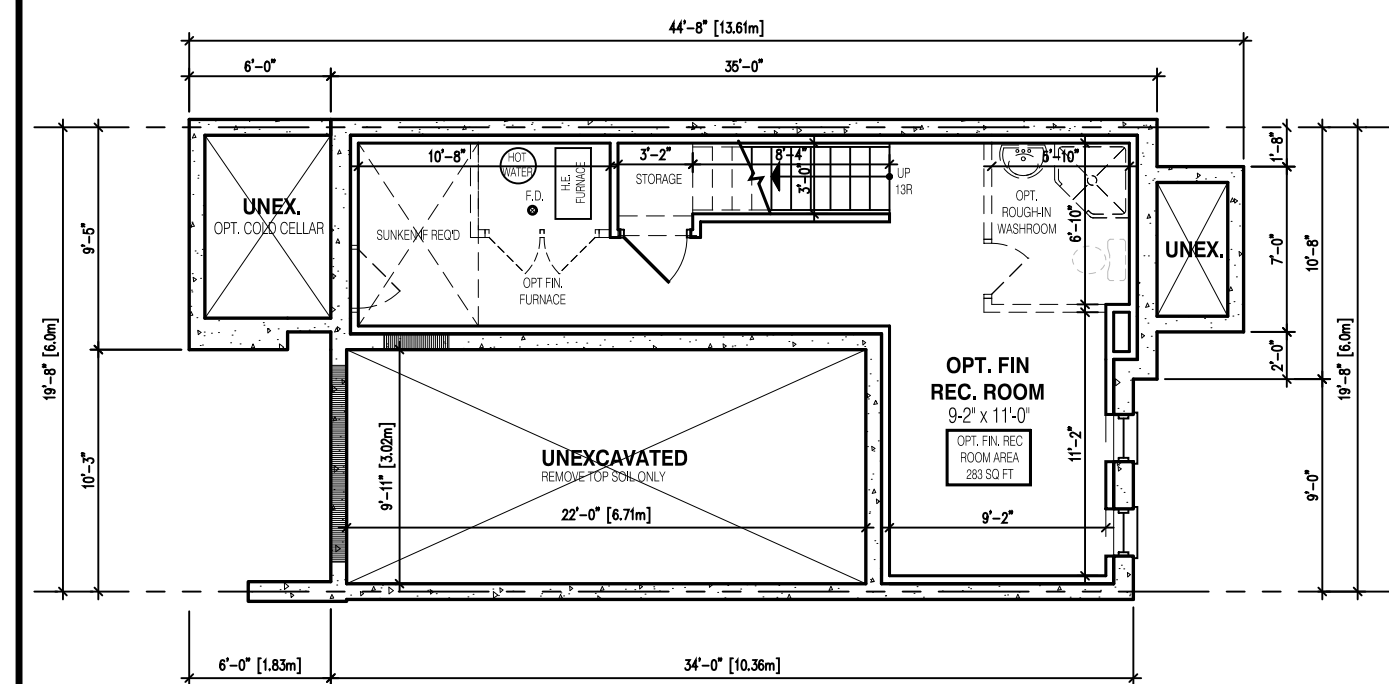
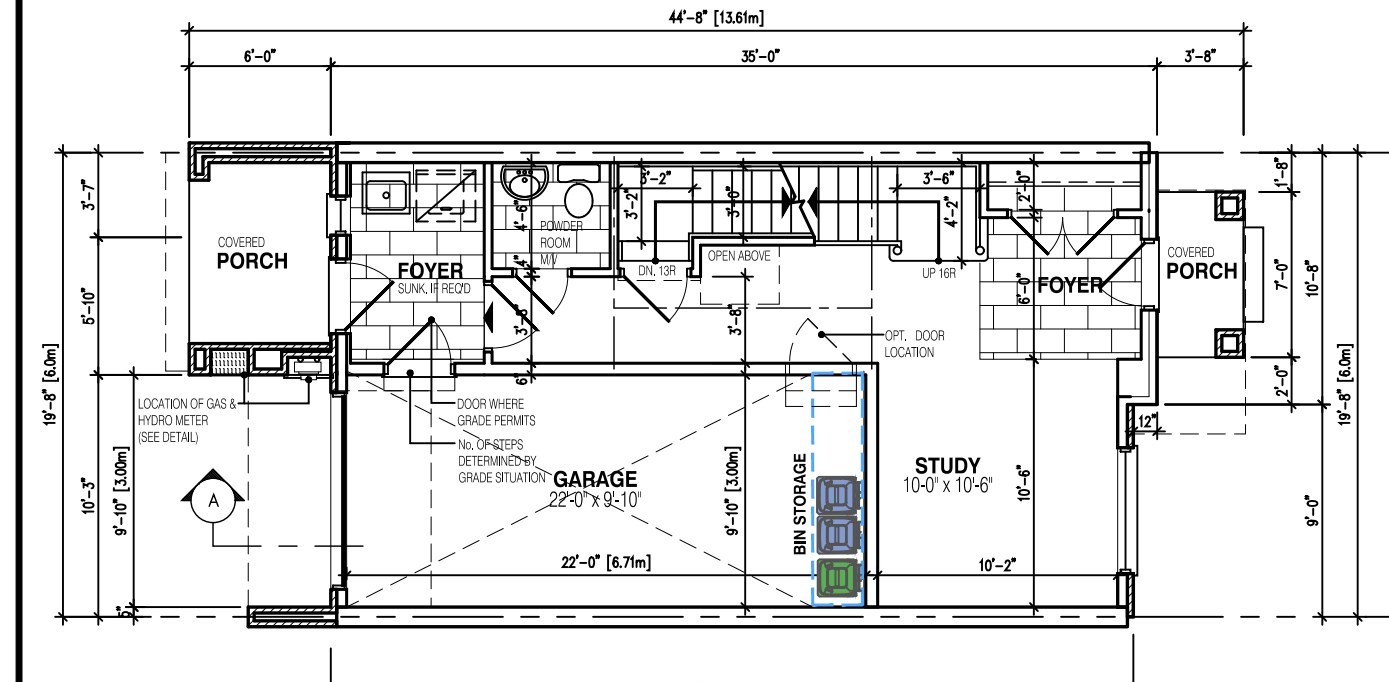


TOWNHOUSE INTERIOR LOT (TH-1)

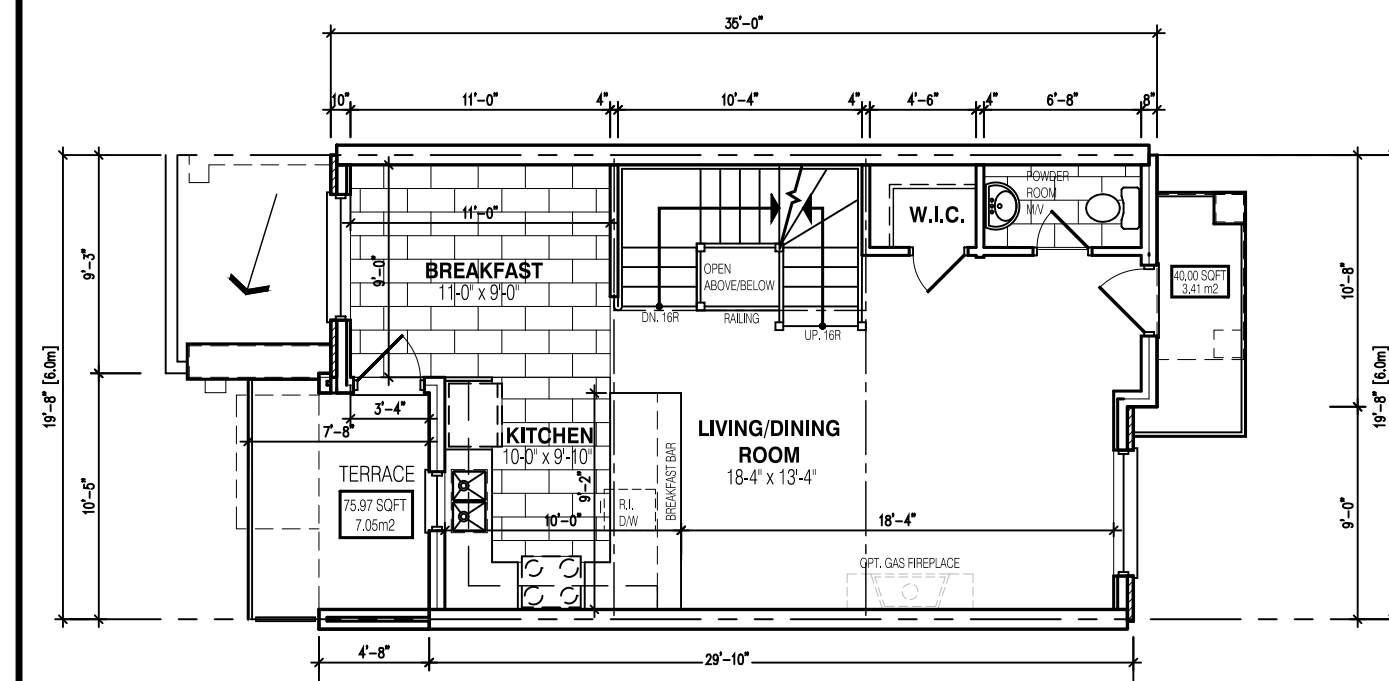
6.0m 3 STOREY STREET FACING TOWNHOUSE



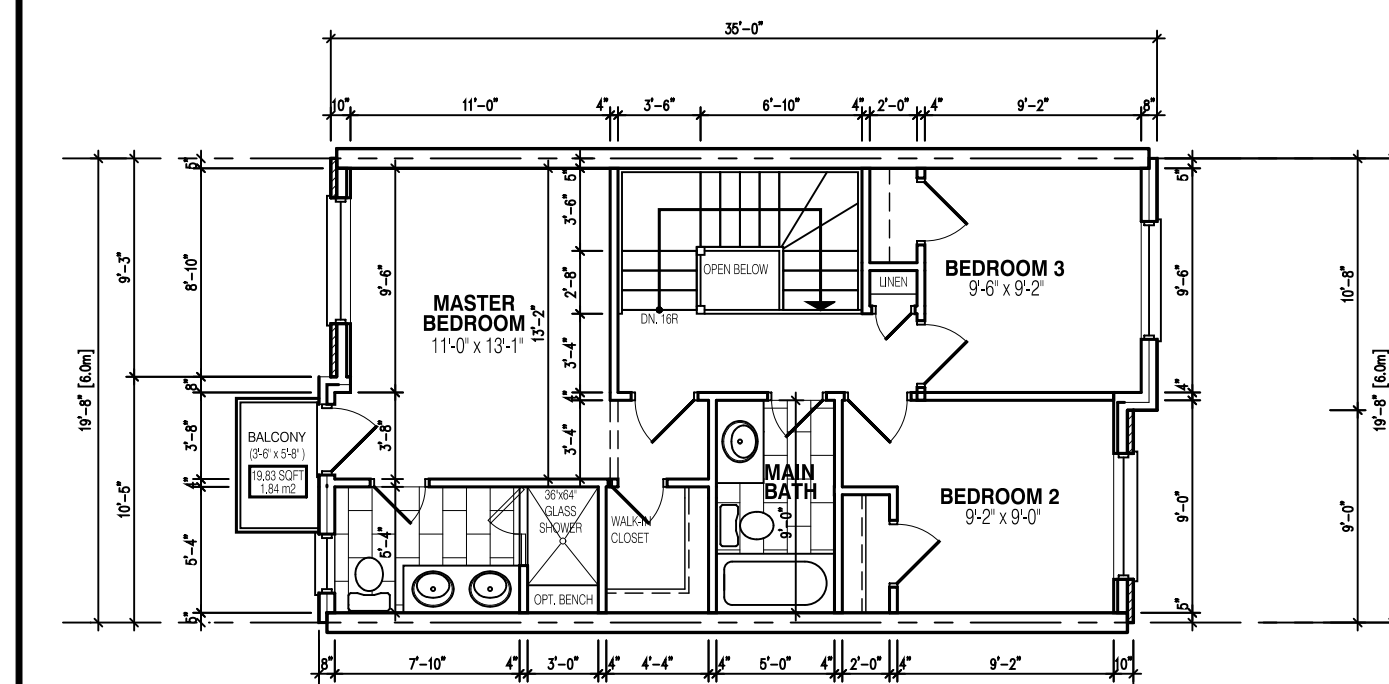
BASEMENT PLAN



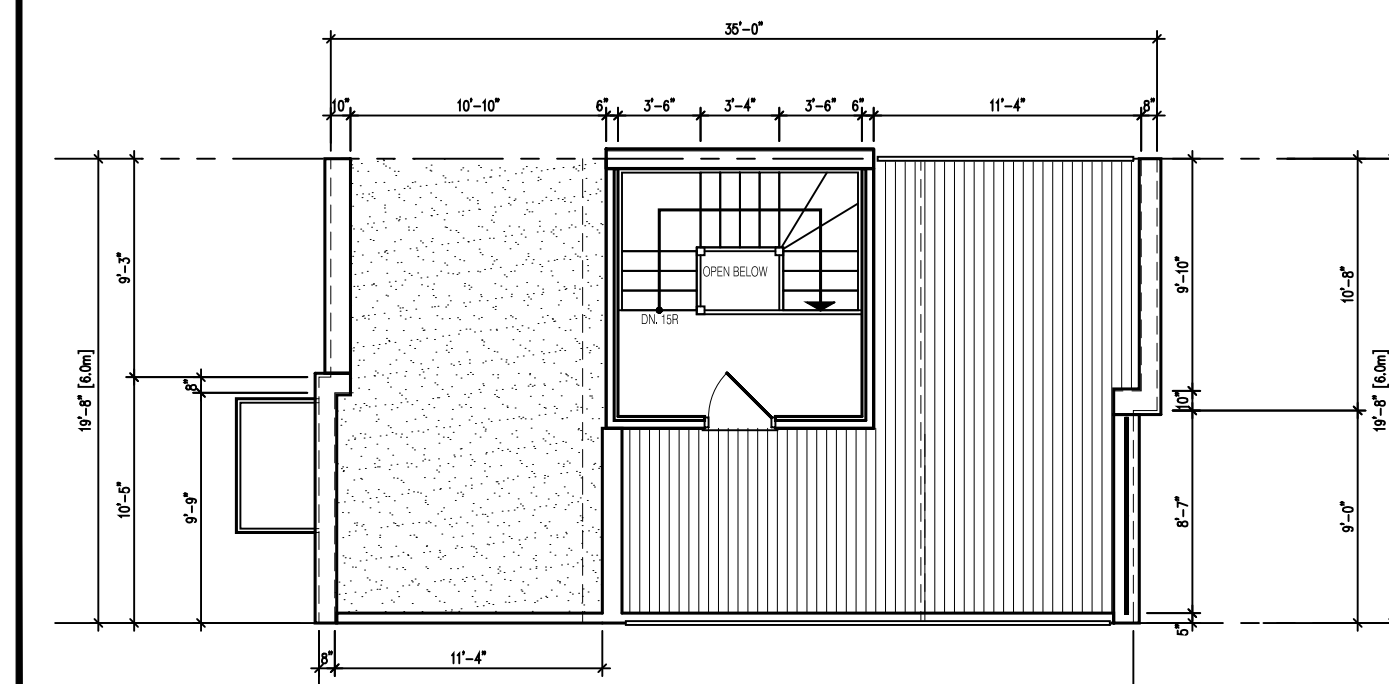
MAIN FLOOR PLAN



SECOND FLOOR PLAN



THIRD FLOOR PLAN



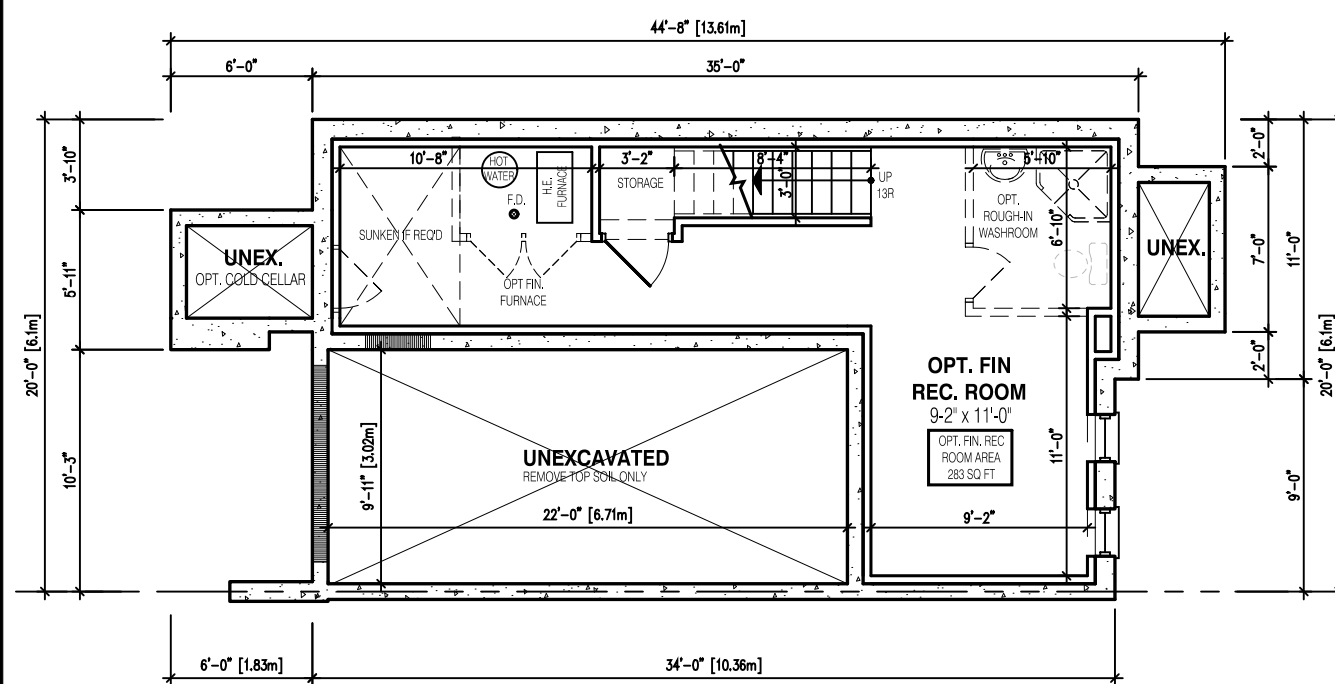
OPT. ROOF TOP TERRACE PLAN

AREA CALCULATIONS TH-1	
FINISHED BASEMENT AREA	= 0 SQ. FT.
GROUND FLOOR AREA	= 446.9 SQ. FT.
SECOND FLOOR AREA	= 639.4 SQ. FT.
THIRD FLOOR AREA	= 684.5 SQ. FT.
TOTAL FLOOR AREA	= 1770.80 SQ. FT.
ADD ALL OPEN AREAS	= 16.70 SQ. FT.
ADD FIN. BASEMENT AREA	= 0 SQ. FT.
GROSS FLOOR AREA	= 1787.50 SQ. FT.
	= 166.06 m ²
GROUND FLOOR COVERAGE	= 443.3 SQ. FT.
GARAGE COVERAGE / AREA	= 232.3 SQ. FT.
PORCH COVERAGE / AREA	= 82.2 SQ. FT.
COVERAGE W/O PORCH	= 675.60 SQ. FT.
	= 62.77 m ²
COVERAGE W/ PORCH	= 757.80 SQ. FT.
	= 70.40 m ²

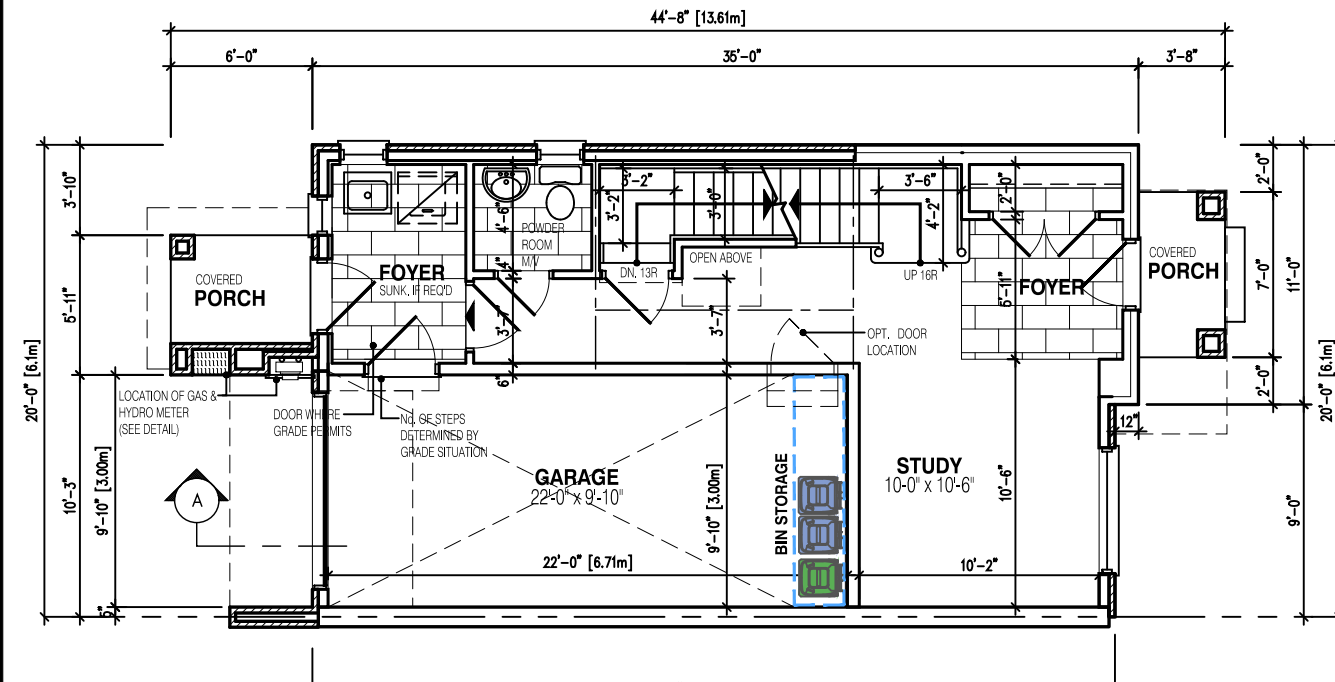
AREA CALCULATIONS TH-1 (W/ ROOF TOP TERRACE)	
FINISHED BASEMENT AREA	= 0 SQ. FT.
GROUND FLOOR AREA	= 446.9 SQ. FT.
SECOND FLOOR AREA	= 639.4 SQ. FT.
THIRD FLOOR AREA	= 684.5 SQ. FT.
TERRACE FLOOR AREA	= 119 SQ. FT.
TOTAL FLOOR AREA	= 1889.80 SQ. FT.
ADD ALL OPEN AREAS	= 25 SQ. FT.
ADD FIN. BASEMENT AREA	= 279.6 SQ. FT.
GROSS FLOOR AREA	= 2194.40 SQ. FT.
	= 203.87 m ²
GROUND FLOOR COVERAGE	= 443.3 SQ. FT.
GARAGE COVERAGE / AREA	= 232.3 SQ. FT.
PORCH COVERAGE / AREA	= 82.2 SQ. FT.
COVERAGE W/O PORCH	= 675.60 SQ. FT.
	= 62.77 m ²
COVERAGE W/ PORCH	= 757.80 SQ. FT.
	= 70.40 m ²

TOWNHOUSE END LOT (TH-2)

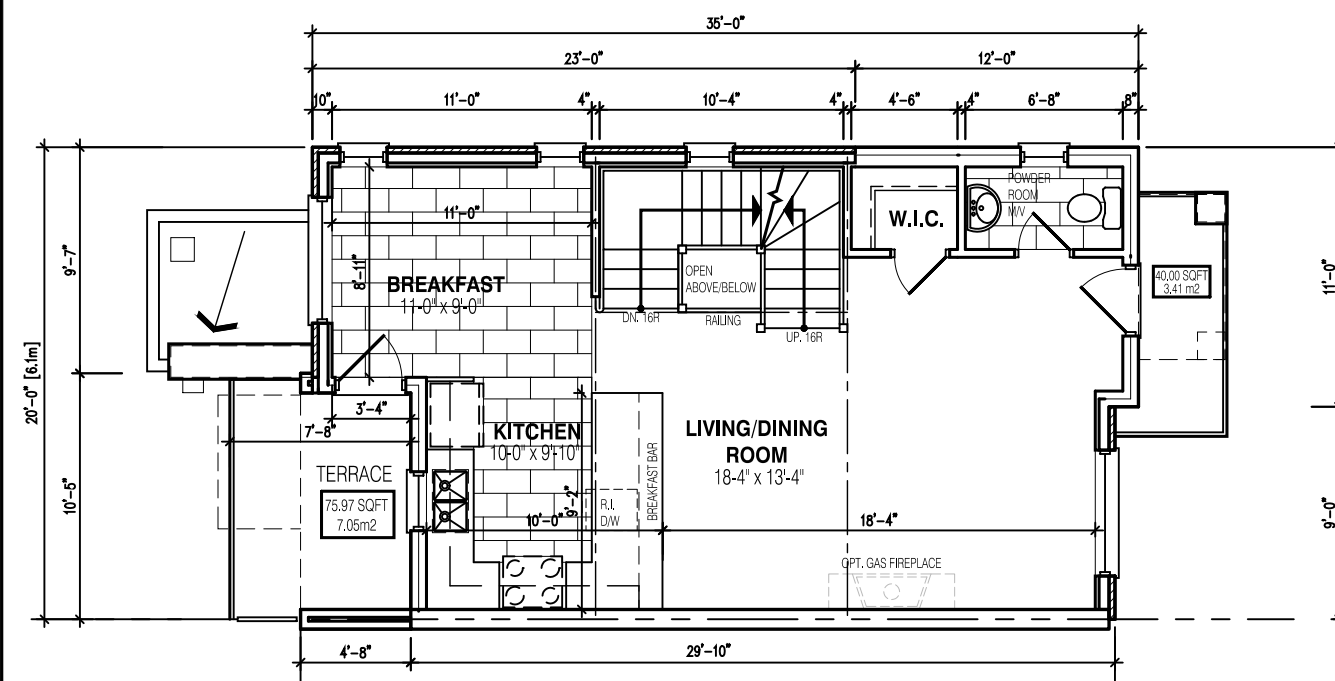
6.0m 3 STOREY STREET FACING TOWNHOUSE



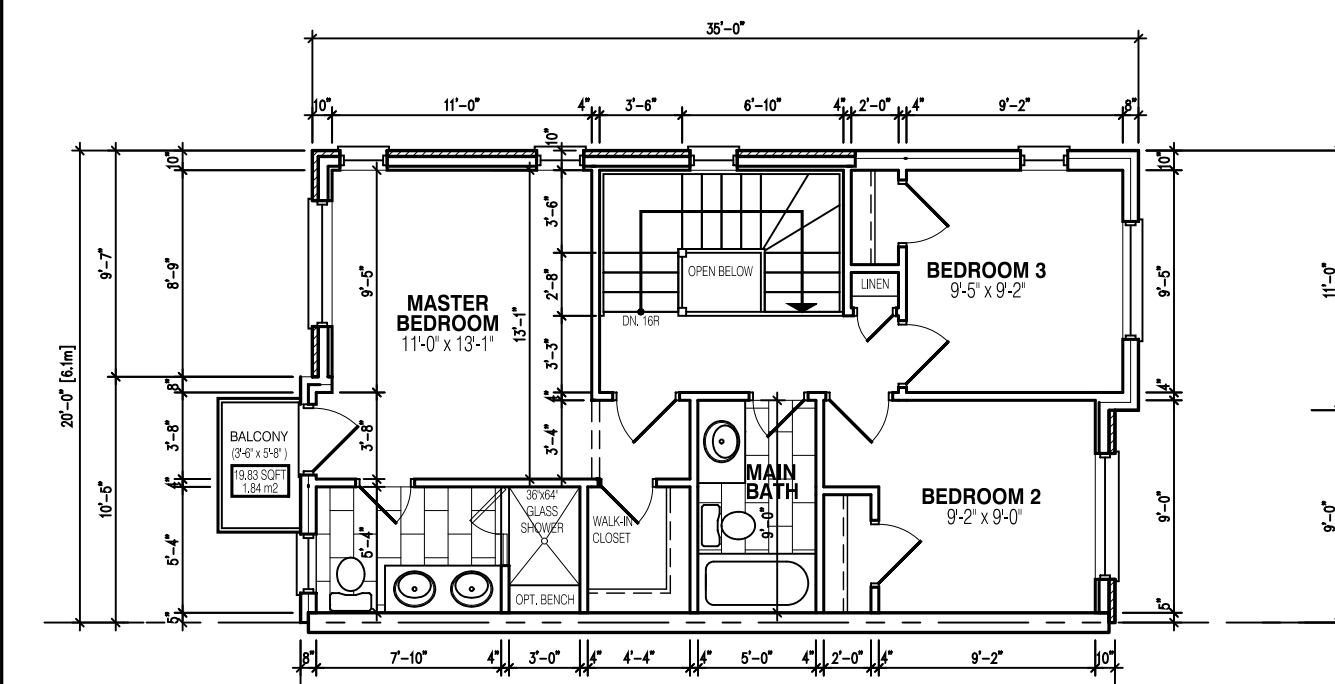
BASEMENT PLAN



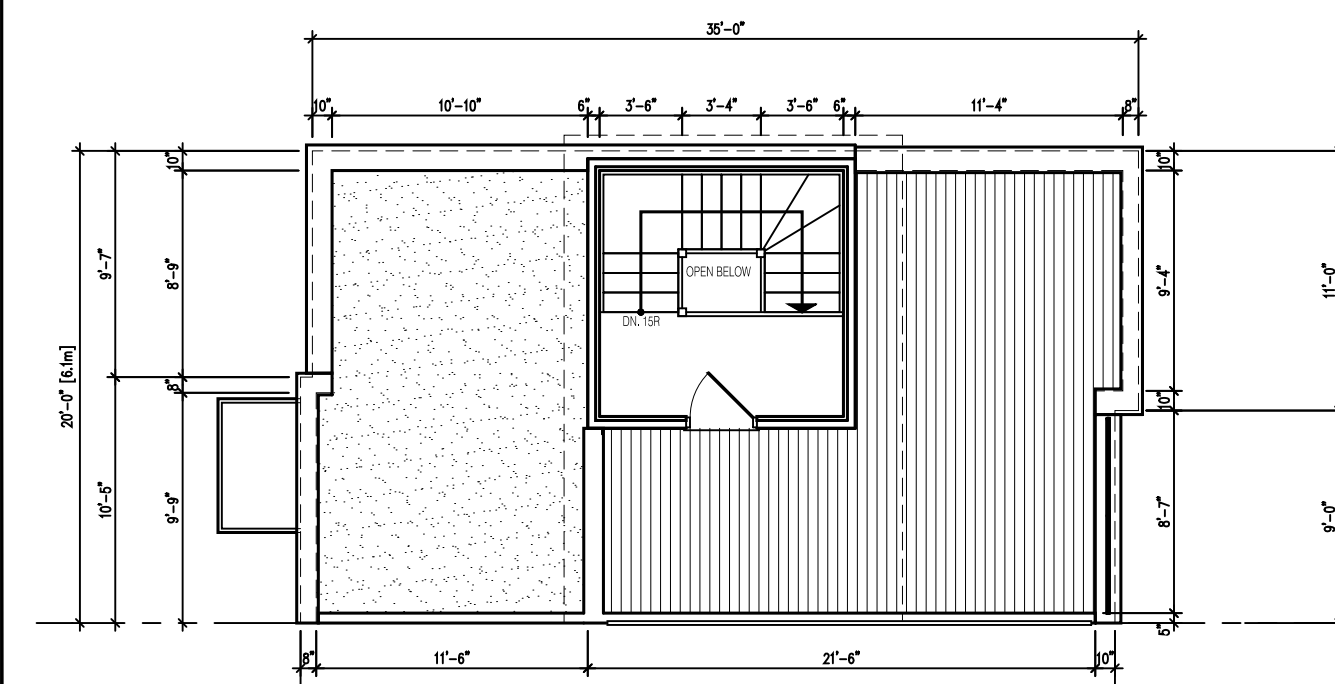
MAIN FLOOR PLAN



SECOND FLOOR PLAN



THIRD FLOOR PLAN



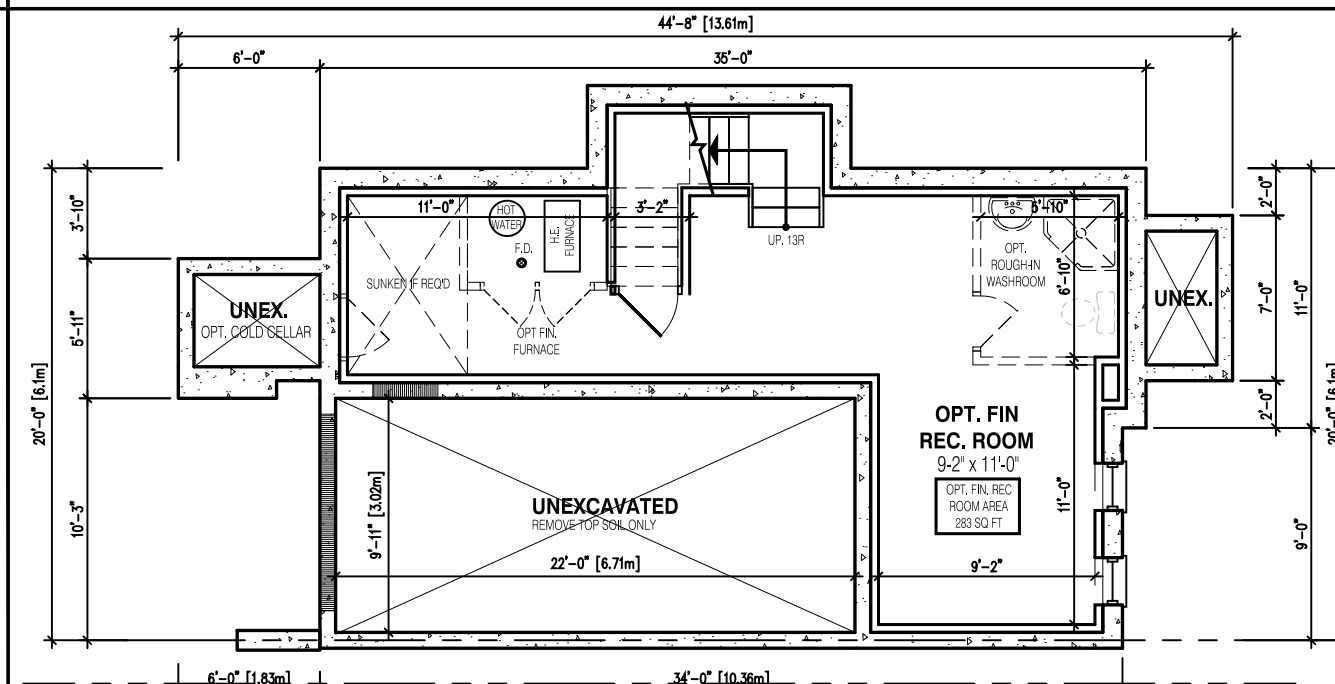
OPT. ROOF TOP TERRACE PLAN

AREA CALCULATIONS TH-2	
FINISHED BASEMENT AREA	= 0 SQ. FT.
GROUND FLOOR AREA	= 458.7 SQ. FT.
SECOND FLOOR AREA	= 651 SQ. FT.
THIRD FLOOR AREA	= 696.2 SQ. FT.
TOTAL FLOOR AREA	= 1805.90 SQ. FT.
ADD ALL OPEN AREAS	= 16.70 SQ. FT.
ADD FIN. BASEMENT AREA	= 274.8 SQ. FT.
GROSS FLOOR AREA	= 2097.40 SQ. FT.
	= 194.85 m ²
GROUND FLOOR COVERAGE	= 454.9 SQ. FT.
GARAGE COVERAGE / AREA	= 236 SQ. FT.
PORCH COVERAGE / AREA	= 61.1 SQ. FT.
COVERAGE W/O PORCH	= 690.90 SQ. FT.
	= 64.19 m ²
COVERAGE W/ PORCH	= 752.00 SQ. FT.
	= 69.86 m ²

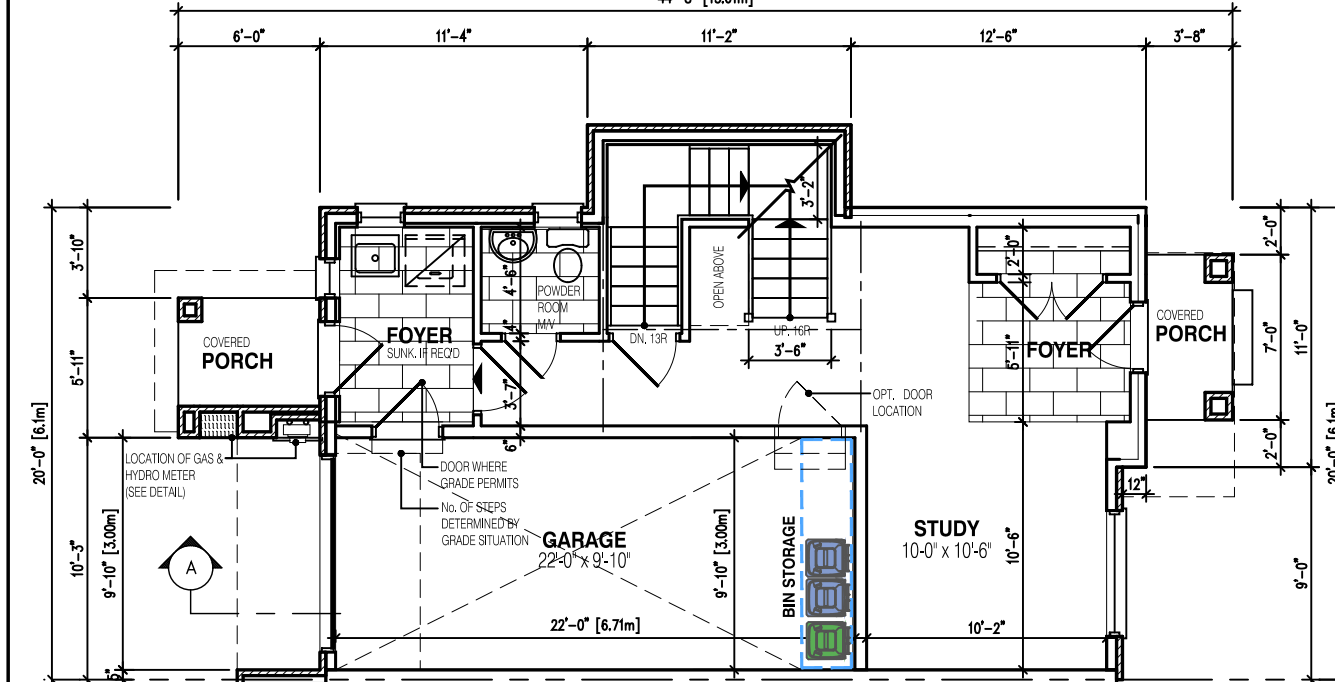
AREA CALCULATIONS TH-2 (W/ ROOF TOP TERRACE)	
FINISHED BASEMENT AREA	= 0 SQ. FT.
GROUND FLOOR AREA	= 458.7 SQ. FT.
SECOND FLOOR AREA	= 651 SQ. FT.
THIRD FLOOR AREA	= 696.2 SQ. FT.
TERRACE FLOOR AREA	= 119 SQ. FT.
TOTAL FLOOR AREA	= 1924.90 SQ. FT.
ADD ALL OPEN AREAS	= 16.70 SQ. FT.
ADD FIN. BASEMENT AREA	= 274.8 SQ. FT.
GROSS FLOOR AREA	= 2216.40 SQ. FT.
	= 205.91 m ²
GROUND FLOOR COVERAGE	= 454.9 SQ. FT.
GARAGE COVERAGE / AREA	= 232.3 SQ. FT.
PORCH COVERAGE / AREA	= 61.1 SQ. FT.
COVERAGE W/O PORCH	= 687.20 SQ. FT.
	= 63.84 m ²
COVERAGE W/ PORCH	= 748.30 SQ. FT.
	= 69.52 m ²

TOWNHOUSE CORNER LOT (TH-3)

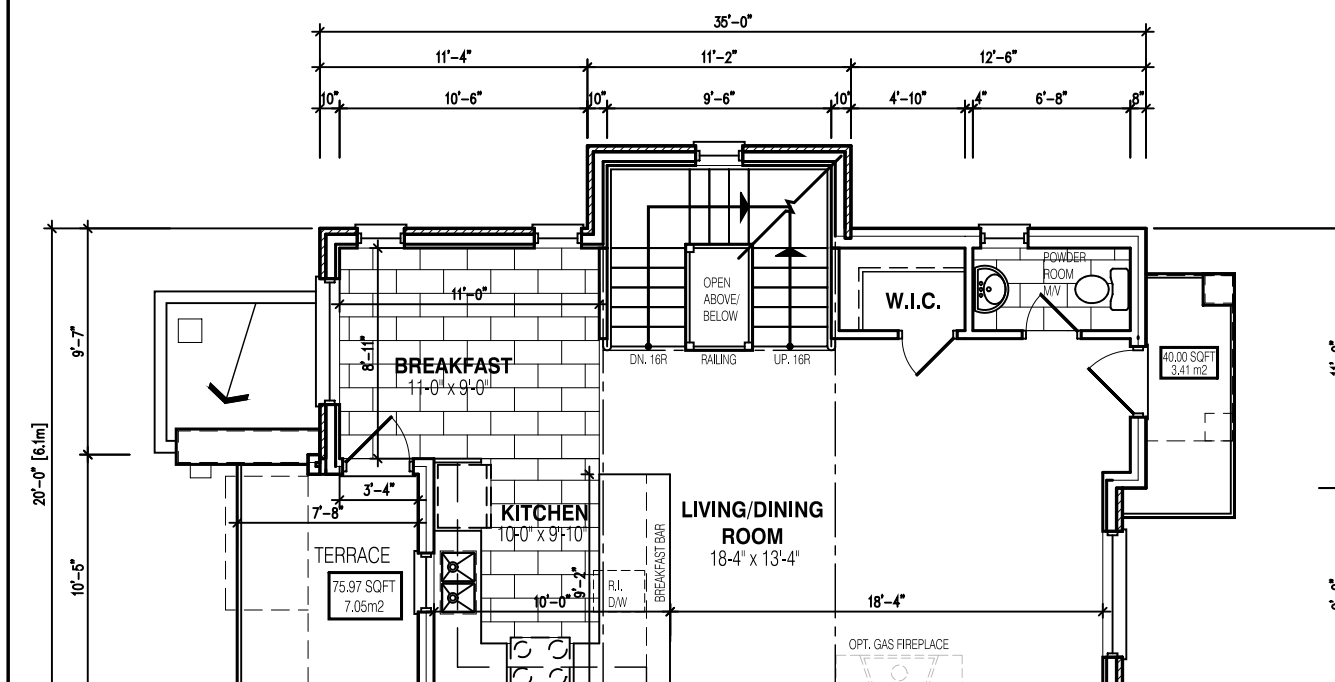
6.0m 3 STOREY STREET FACING TOWNHOUSE



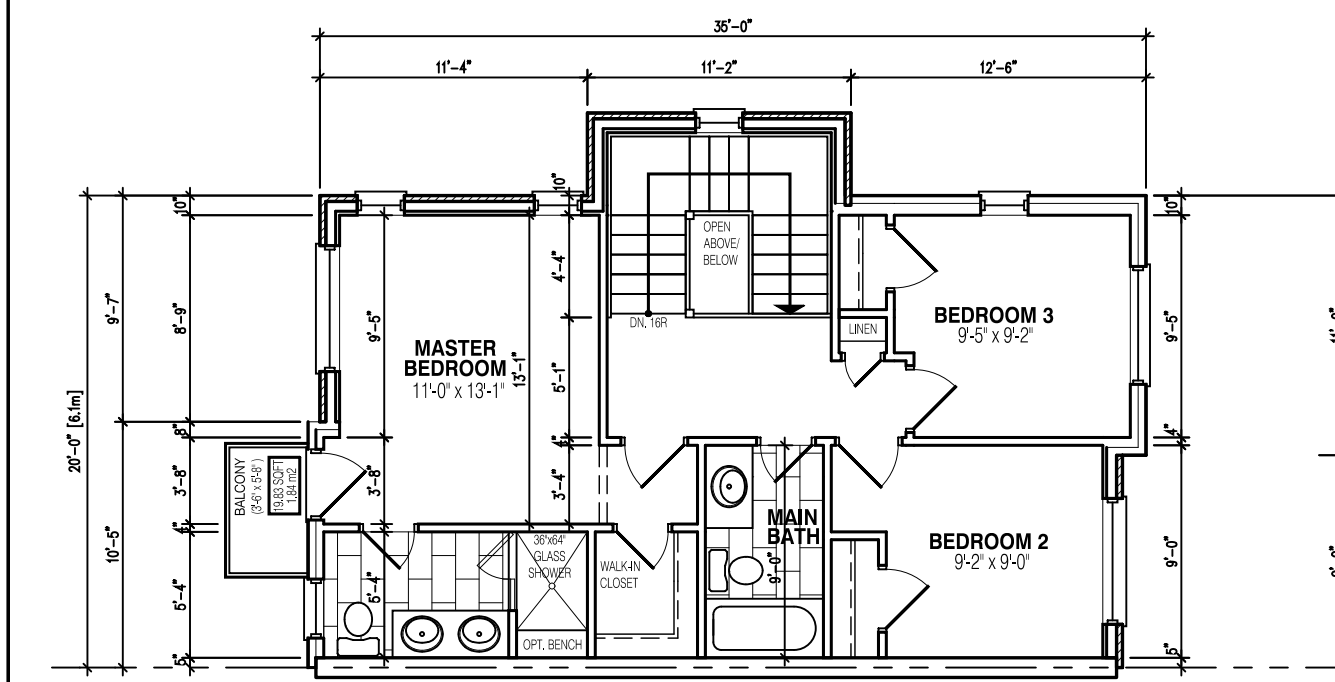
BASEMENT PLAN



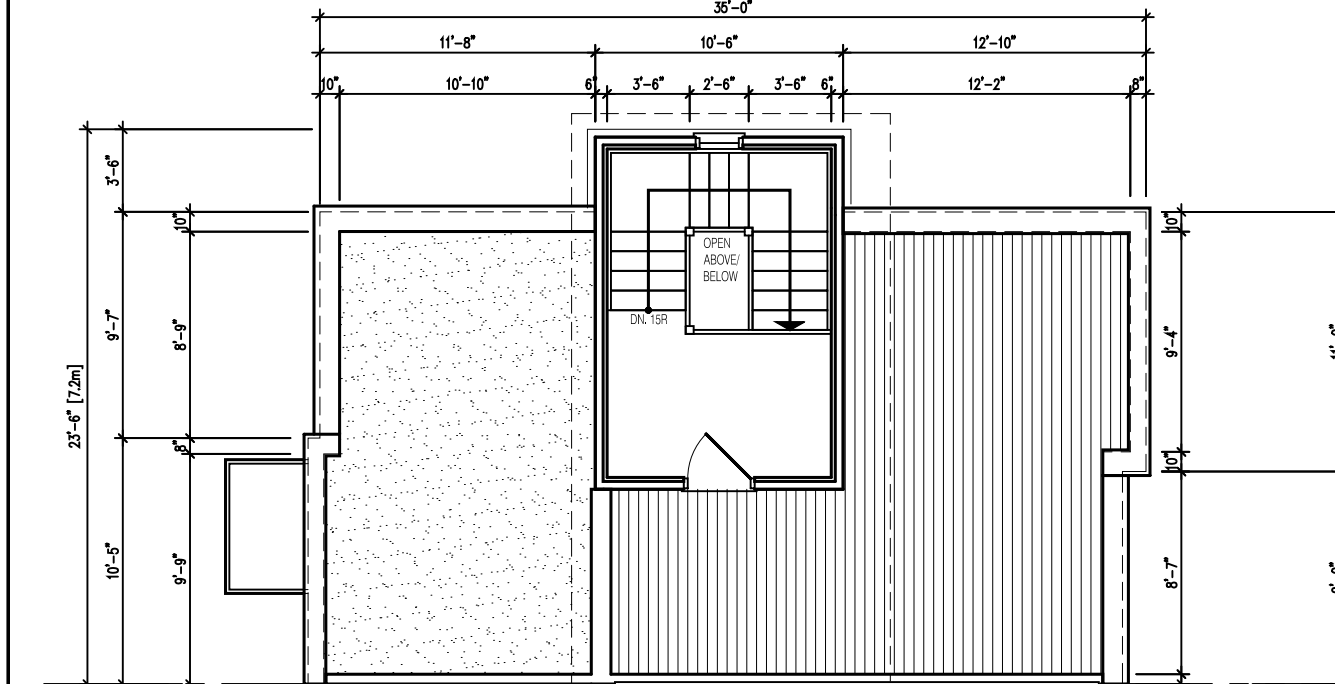
MAIN FLOOR PLAN



SECOND FLOOR PLAN



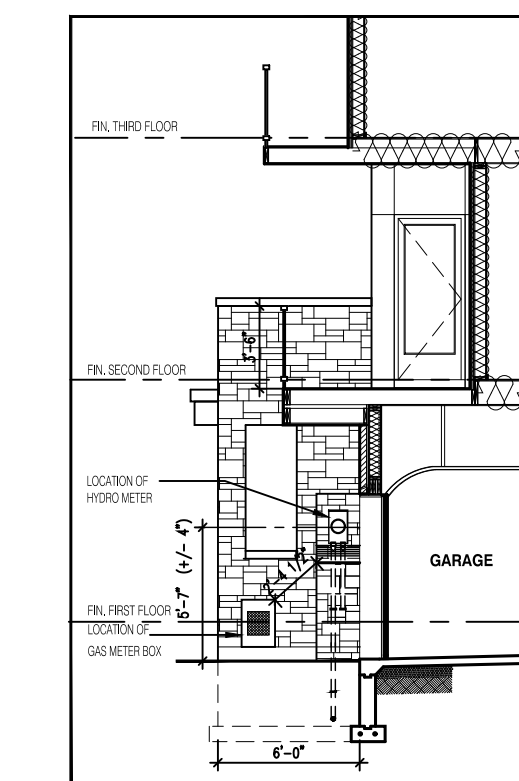
THIRD FLOOR PLAN



OPT. ROOF TOP TERRACE PLAN

AREA CALCULATIONS TH-3	
FINISHED BASEMENT AREA	= 0 SQ. FT.
GROUND FLOOR AREA	= 497.8 SQ. FT.
SECOND FLOOR AREA	= 690.1 SQ. FT.
THIRD FLOOR AREA	= 735.29 SQ. FT.
TOTAL FLOOR AREA	= 1923.19 SQ. FT.
ADD ALL OPEN AREAS	= 20.87 SQ. FT.
ADD FIN. BASEMENT AREA	= 301.1 SQ. FT.
GROSS FLOOR AREA	= 2245.16 SQ. FT.
	= 208.58 m ²
GROUND FLOOR COVERAGE	= 454.9 SQ. FT.
GARAGE COVERAGE / AREA	= 236.1 SQ. FT.
PORCH COVERAGE / AREA	= 61.1 SQ. FT.
COVERAGE W/O PORCH	= 691.00 SQ. FT.
	= 64.20 m ²
COVERAGE W/ PORCH	= 752.10 SQ. FT.
	= 69.87 m ²

AREA CALCULATIONS TH-3 (W/ ROOF TOP TERRACE)	
FINISHED BASEMENT AREA	= 0 SQ. FT.
GROUND FLOOR AREA	= 497.8 SQ. FT.
SECOND FLOOR AREA	= 690.1 SQ. FT.
THIRD FLOOR AREA	= 735.29 SQ. FT.
TERRACE FLOOR AREA	= 147 SQ. FT.
TOTAL FLOOR AREA	= 2070.19 SQ. FT.
ADD ALL OPEN AREAS	= 31.31 SQ. FT.
ADD FIN. BASEMENT AREA	= 301.1 SQ. FT.
GROSS FLOOR AREA	= 2402.60 SQ. FT.
	= 223.21 m ²
GROUND FLOOR COVERAGE	= 454.9 SQ. FT.
GARAGE COVERAGE / AREA	= 232.3 SQ. FT.
PORCH COVERAGE / AREA	= 61.1 SQ. FT.
COVERAGE W/O PORCH	= 687.20 SQ. FT.
	= 63.84 m ²
COVERAGE W/ PORCH	= 748.30 SQ. FT.
	= 69.52 m ²



SECTION A

3 STOREY TOWNS

PRELIMINARY
NOT TO BE USED FOR CONSTRUCTION

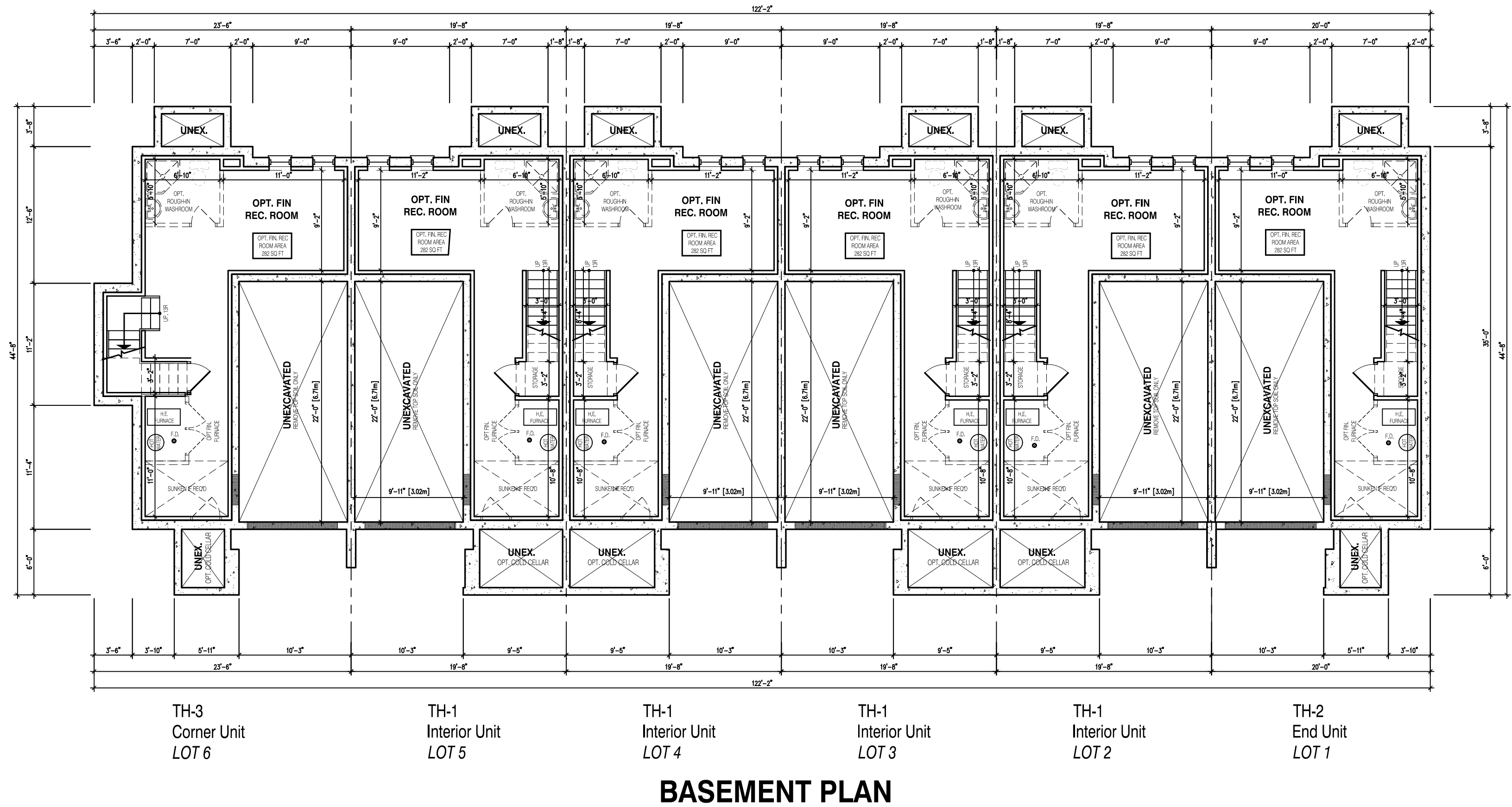
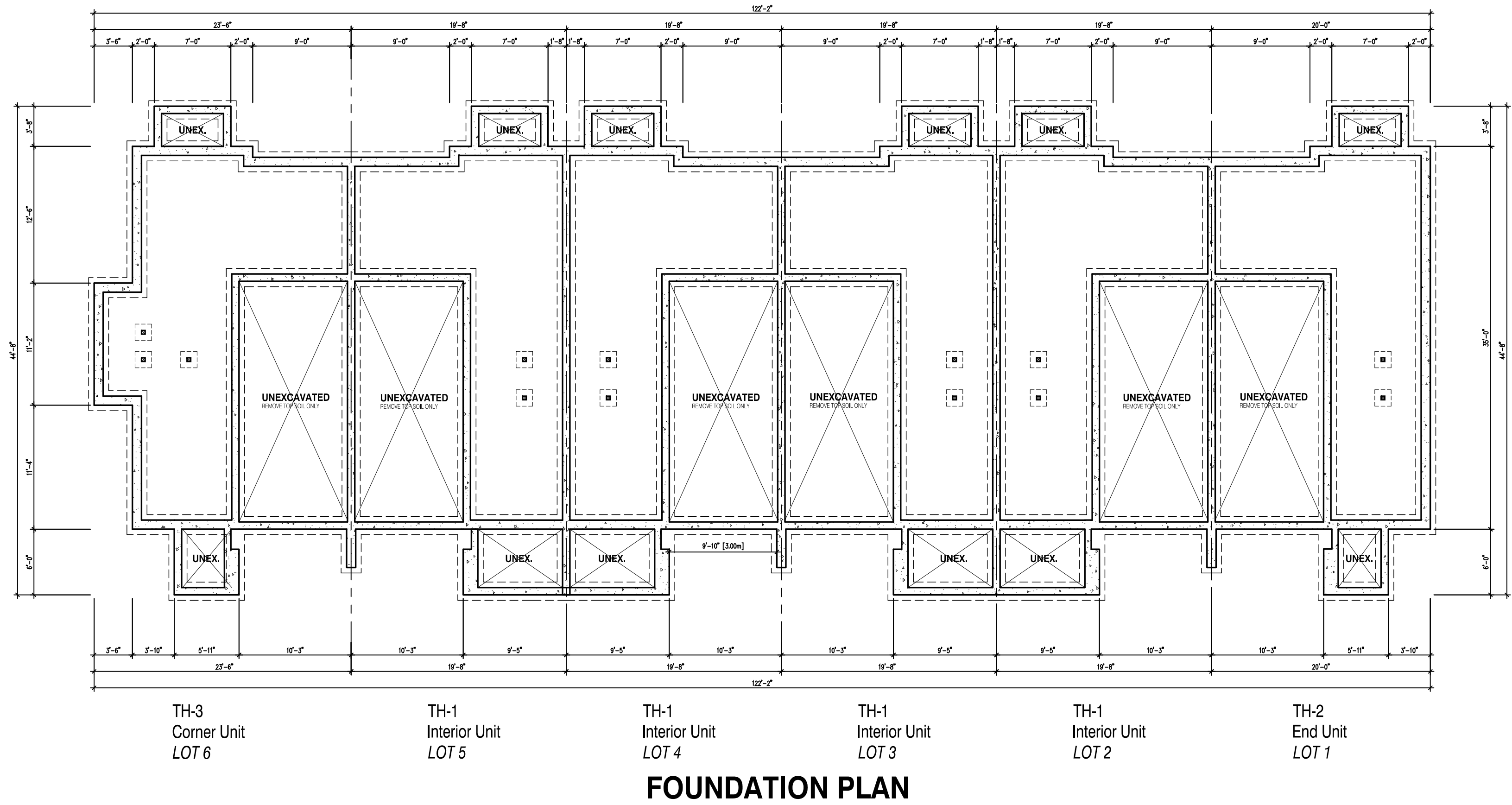
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NO. 16, 2017 ISSUED TO CLIENT FOR PRELIMINARY SUBMISSION	
DATE:	WORK DESCRIPTION:

jardin
DESIGN GROUP INC.
64 JARDIN DR. SUITE 3A
VAUGHAN, ONT. L4K 3G3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

FLOOR PLANS
WESTON CONSULTING
7170 GORE ROAD (MISSISSAUGA)

BILD
SCALE: 1/8" = 1'-0"
17-18 A-02

GOREWAY DRIVE & ETUDE DRIVE
MISSISSAUGA
6.0m 3 STOREY STREET FACING TOWNHOUSE

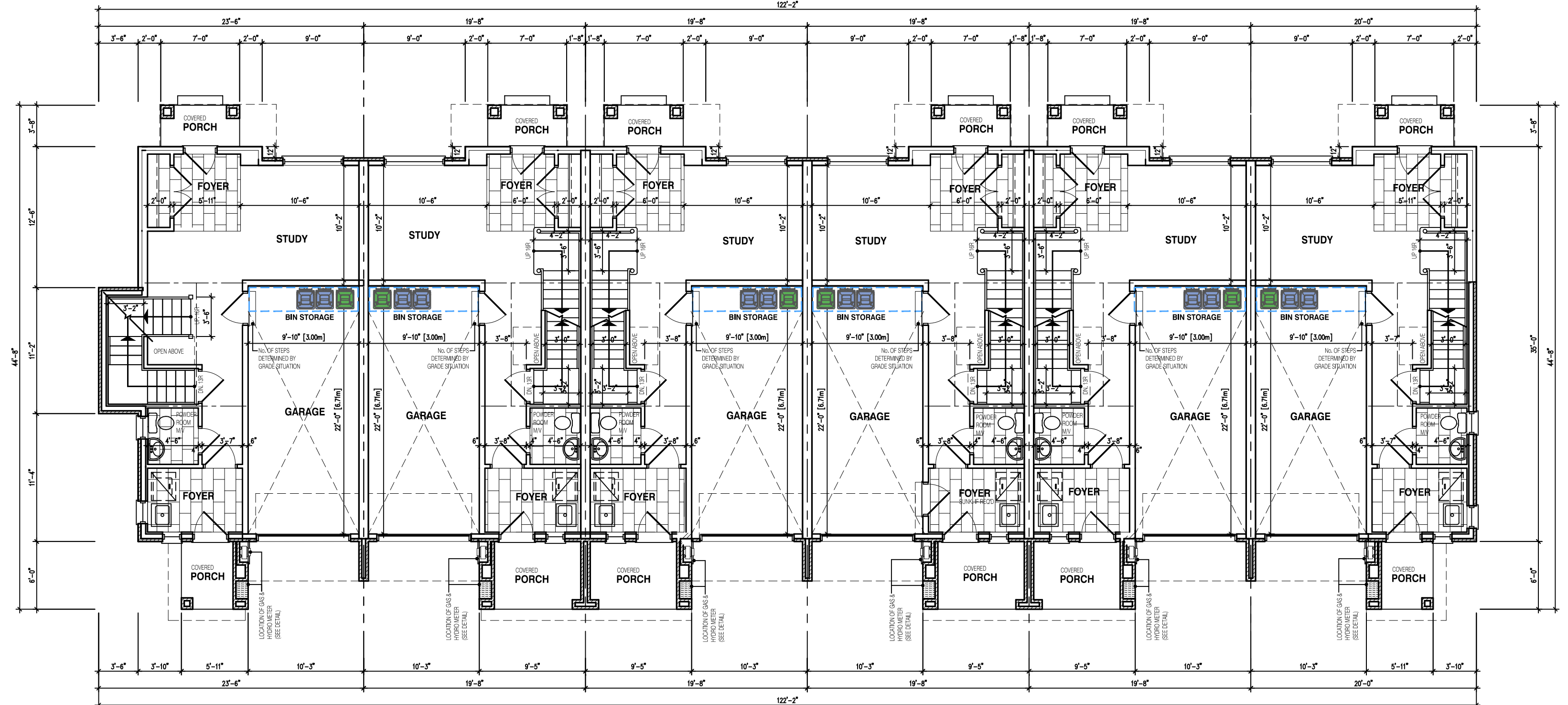


THE CONTRACTOR SHALL VERIFY AND CORRECT ALL DIMENSIONS AND CONDITIONS BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.
JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF PLANS. STRUCTURAL AND MECHANICAL CONSULTANTS SHALL BE RESPONSIBLE FOR THE ACCURACY OF THEIR RESPECTIVE DISCIPLINES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE CONSTRUCTION.

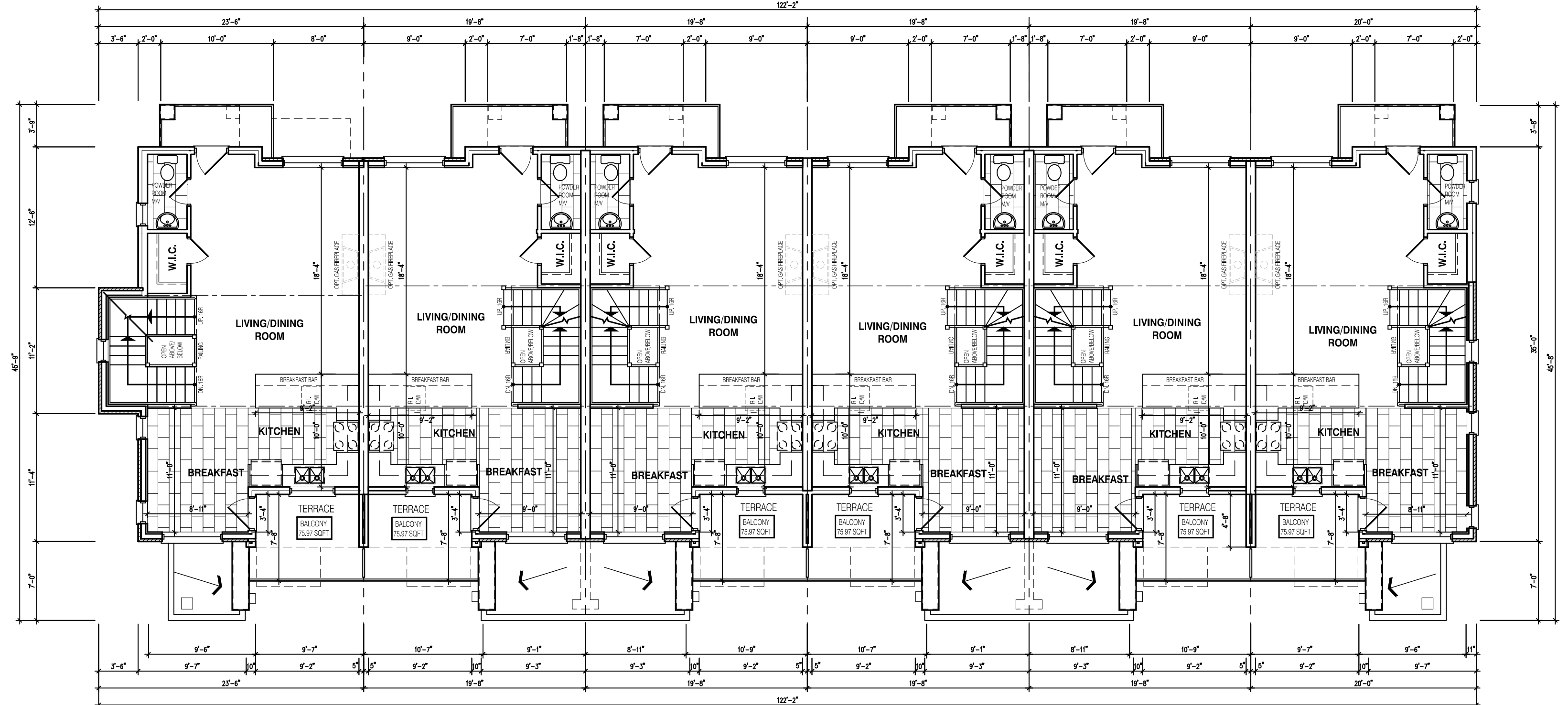
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NO. 16, 2017	ISSUED TO CLIENT FOR PRELIMINARY SUBMISSION
DATE:	WORK DESCRIPTION:

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN, ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

GOREWAY DRIVE & ETUDE DRIVE
MISSISSAUGA
6.0m 3 STOREY STREET FACING TOWNHOUSE



FIRST FLOOR PLAN



SECOND FLOOR PLAN

BLOCK 1

PRELIMINARY

NOT TO BE USED FOR CONSTRUCTION

THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS OF THE SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.

JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF PLANS, STRUCTURAL OR MECHANICAL CALCULATIONS OR ANY OTHER ENGINEERING OR CONSULTING SERVICES PROVIDED TO THE CLIENT. THE CLIENT SHALL BE RESPONSIBLE FOR THE ACCURACY OF ALL INFORMATION PROVIDED TO JARDIN DESIGN GROUP INC. AND FOR THE ACCURACY OF ALL INFORMATION PROVIDED TO THE CLIENT.

JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CONDUCT A GENERAL REVIEW OF THE ARCHITECTURAL AND MECHANICAL DRAWINGS FOR THE PURPOSE OF THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF ALL INFORMATION PROVIDED TO THE CLIENT.

JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CONDUCT A GENERAL REVIEW OF THE ARCHITECTURAL AND MECHANICAL DRAWINGS FOR THE PURPOSE OF THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF ALL INFORMATION PROVIDED TO THE CLIENT.

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DATE:	ISSUED TO CLIENT FOR REVIEW FOR PRELIMINARY
DATE:	WORK DESCRIPTION:

jardin

DESIGN GROUP INC.

64 JARDIN DR. SUITE 3A

VAUGHAN ONT. L4K 3G3

TEL: 905 660-3377 FAX: 905 660-3713

EMAIL: info@jardindesign.ca

MAIN & 2ND FLOOR PLAN

WESTON CONSULTING

7170 GORE ROAD (MISSISSAUGA)

BILD

TYPE

T

AREA

SCALE

1/8" = 1'-0"

FIG. NO.

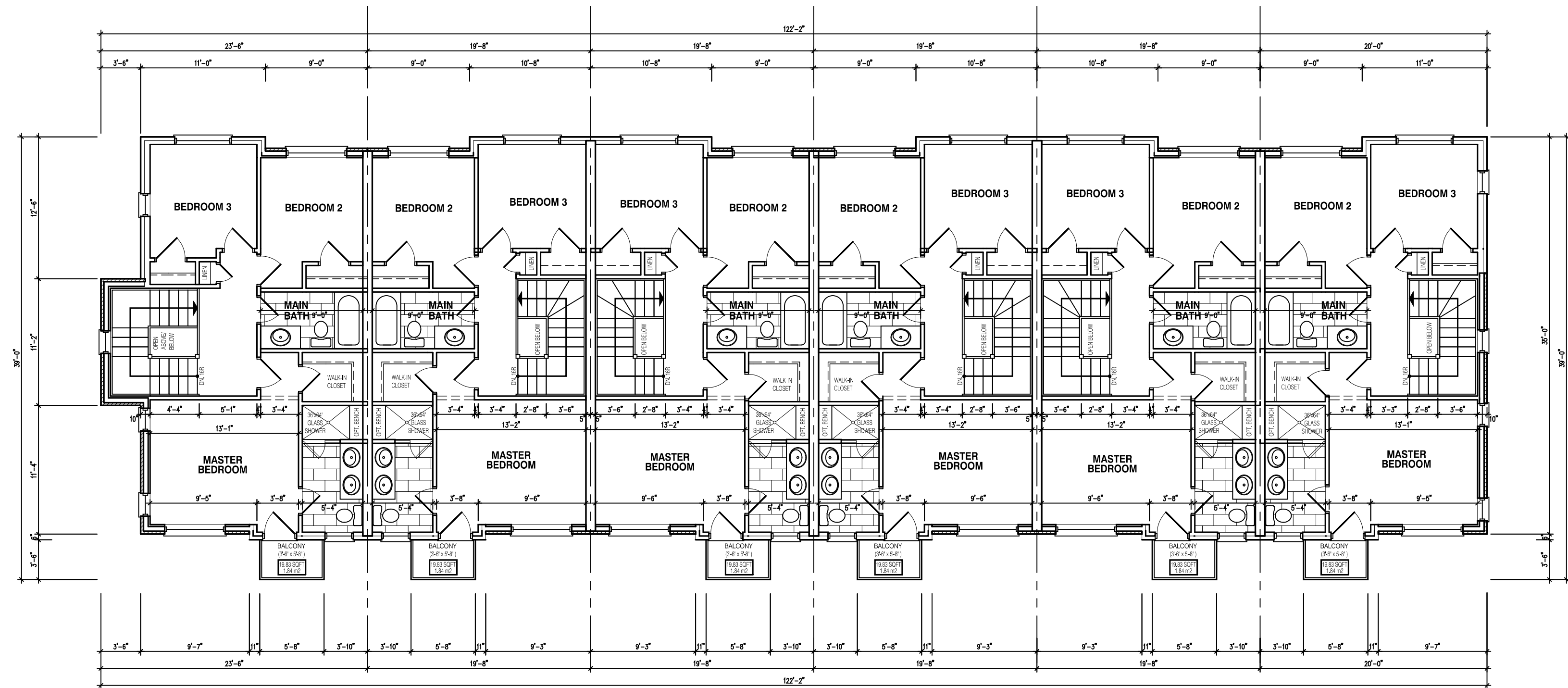
17-18

DWG. NO.

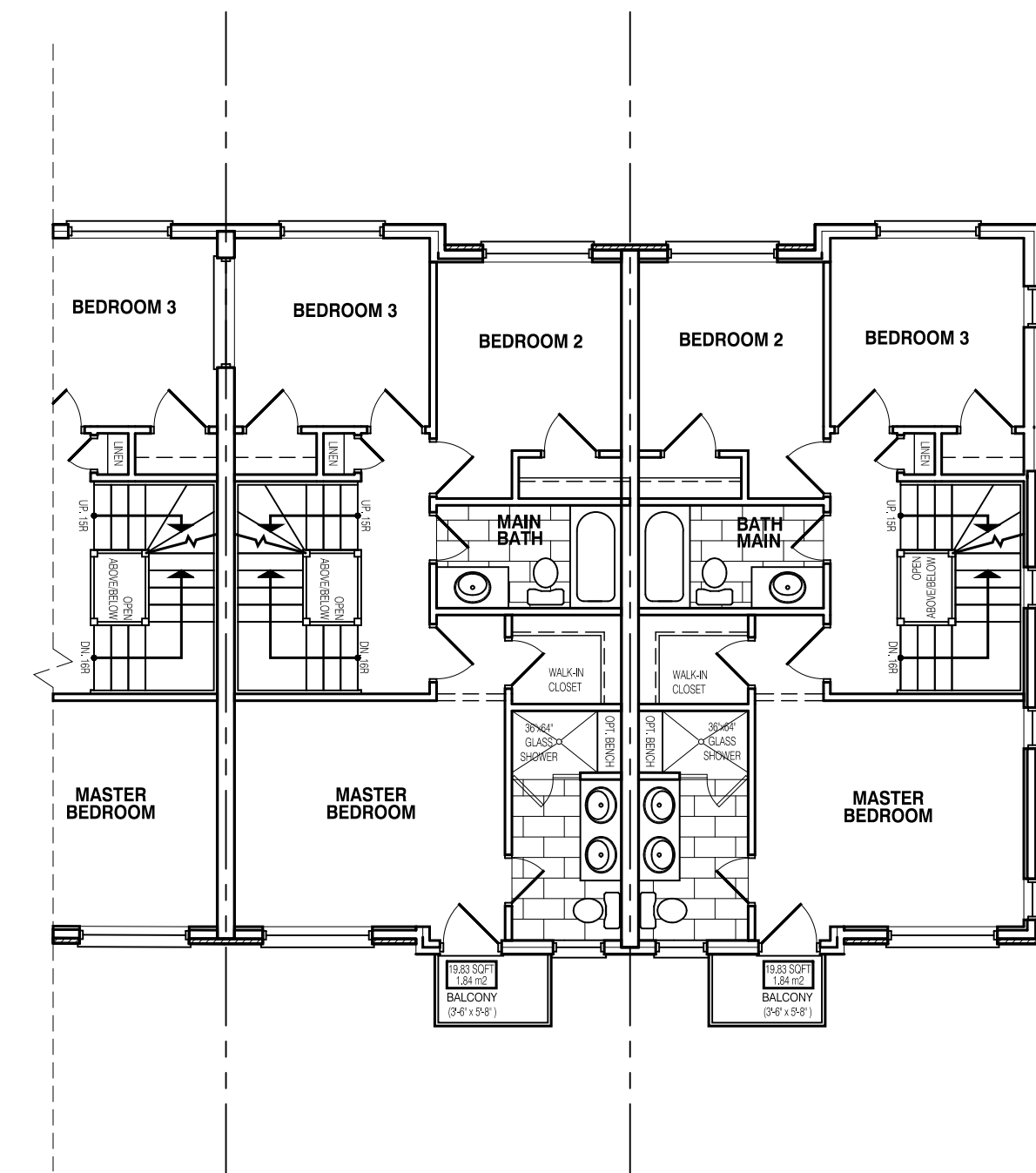
2

GOREWAY DRIVE & ETUDE DRIVE
MISSISSAUGA
6.0m 3 STOREY STREET FACING TOWNHOUSE

BLOCK 1
PRELIMINARY
NOT TO BE USED FOR CONSTRUCTION

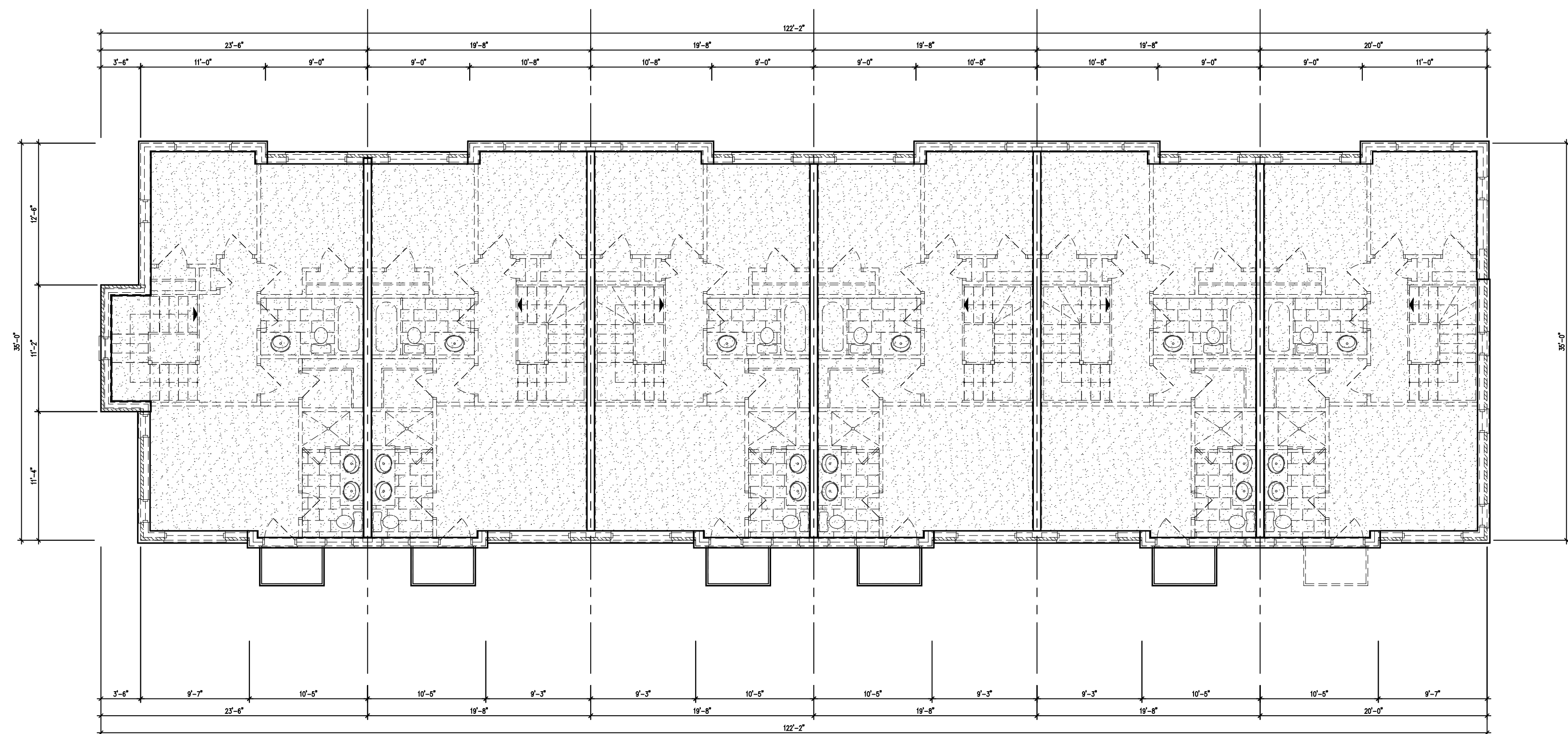


TH-3 Corner Unit LOT 6
TH-1 Interior Unit LOT 5
TH-1 Interior Unit LOT 4
TH-1 Interior Unit LOT 3
TH-1 Interior Unit LOT 2
TH-2 End Unit LOT 1



TH-1 Interior Unit LOT 3
TH-1 Interior Unit LOT 2
TH-2 End Unit LOT 1

OPT. 3RD FLOOR - TO TERRACE



TH-3 Corner Unit LOT 6
TH-1 Interior Unit LOT 5
TH-1 Interior Unit LOT 4
TH-1 Interior Unit LOT 3
TH-1 Interior Unit LOT 2
TH-2 End Unit LOT 1

THE CONTRACTOR SHALL VERIFY AND REMAIN RESPONSIBLE FOR THE ACCURACY OF ALL INFORMATION PROVIDED BY THE CLIENT. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.
JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF PLANS, SPECIFICATIONS, OR INFORMATION PROVIDED BY THE CLIENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF ALL INFORMATION PROVIDED BY THE CLIENT.
ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF MISSISSAUGA ZONING BY-LAW AND THE MISSISSAUGA BUILDING DEPARTMENT REGULATIONS.
JARDIN DESIGN GROUP INC. HAS NOT BEEN REVIEWED TO CARRY OUT A GENERAL REVIEW OF THE ACCURACY OF THE INFORMATION PROVIDED BY THE CLIENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF ALL INFORMATION PROVIDED BY THE CLIENT.
THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF ALL INFORMATION PROVIDED BY THE CLIENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF ALL INFORMATION PROVIDED BY THE CLIENT.

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10/16/2017

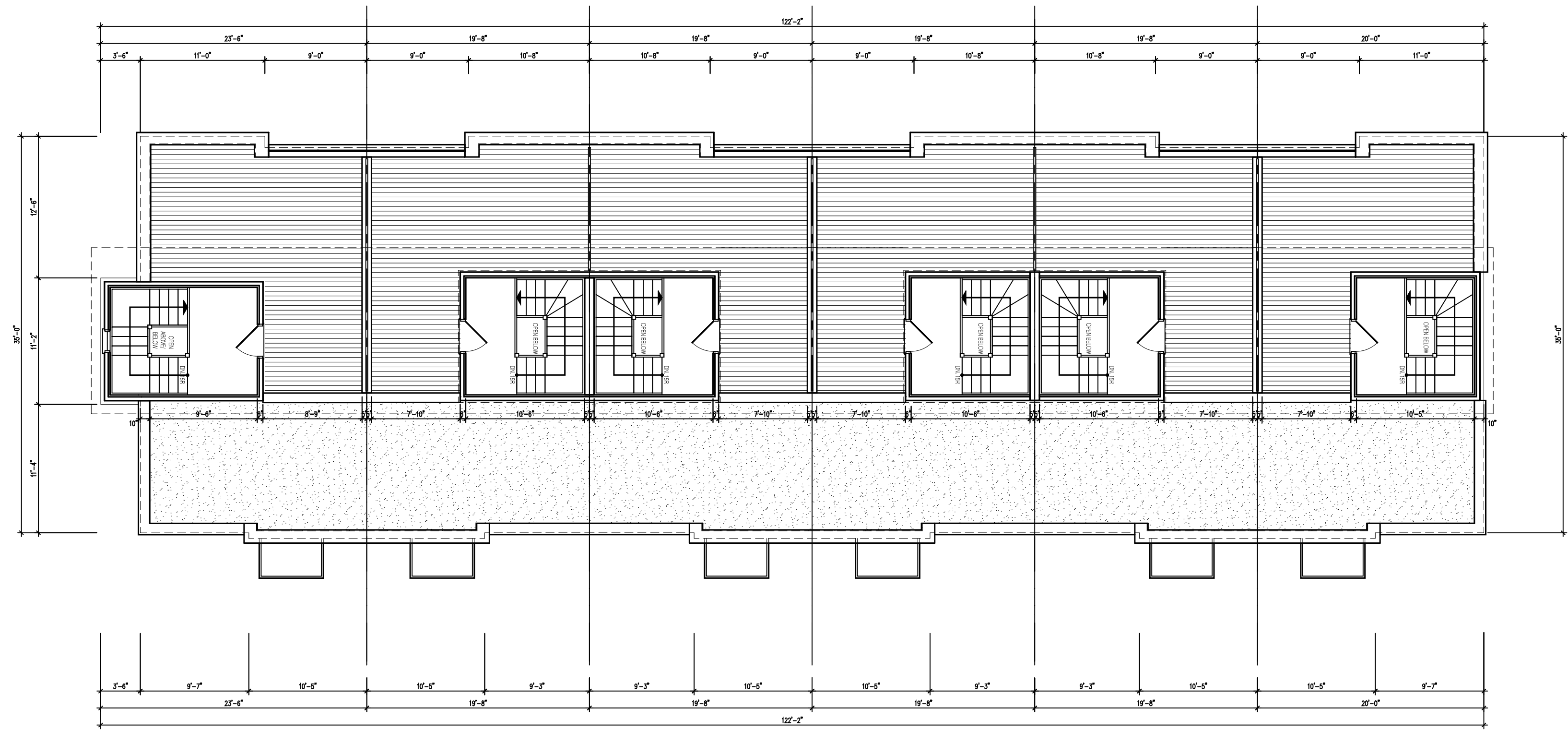
10/16/2017

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10/16/2017

GOREWAY DRIVE & ETUDE DRIVE
MISSISSAUGA
6.0m 3 STOREY STREET FACING TOWNHOUSE



TH-3
Corner Unit
LOT 6

TH-1
Interior Unit
LOT 5

TH-1
Interior Unit
LOT 4

TH-1
Interior Unit
LOT 3

TH-1
Interior Unit
LOT 2

TH-2
End Unit
LOT 1

ROOF TOP TERRACE



TH-3
Corner Unit
LOT 6

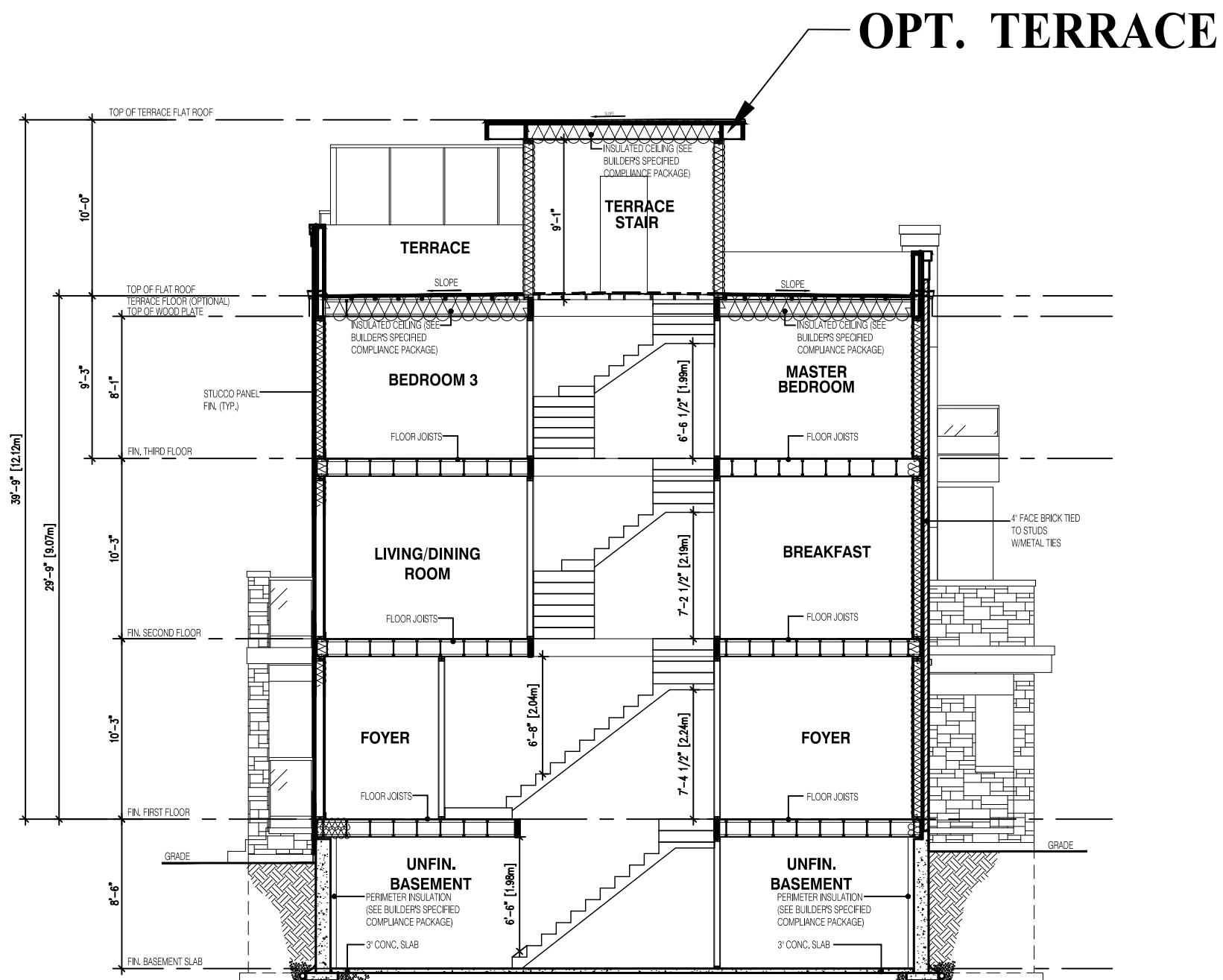
TH-1
Interior Unit
LOT 5

TH-1
Interior Unit
LOT 4

TH-1
Interior Unit
LOT 3

TH-1
Interior Unit
LOT 2

TH-2
End Unit
LOT 1



SECTION A-A

ALL CONTRACTORS SHALL VERIFY AND VERIFY ALL DIMENSIONS AND CONSIDERATIONS BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.
JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF DIMENSIONS, STRUCTURAL OR MECHANICAL INFORMATION PROVIDED IN THIS DOCUMENT OR FOR CONSTRUCTION OF THE SAME. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND CONSIDERATIONS BEFORE PROCEEDING WITH CONSTRUCTION.
ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE APPROVED ENGINEERING DRAWINGS AND SPECIFICATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND CONSIDERATIONS BEFORE PROCEEDING WITH CONSTRUCTION.

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NO. 16, 2017
DATE: 10/16/2017
SUBJECT: SUBMITTAL FOR PERMITS
WORK DESCRIPTION:

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN, ONT. L4K 3G3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

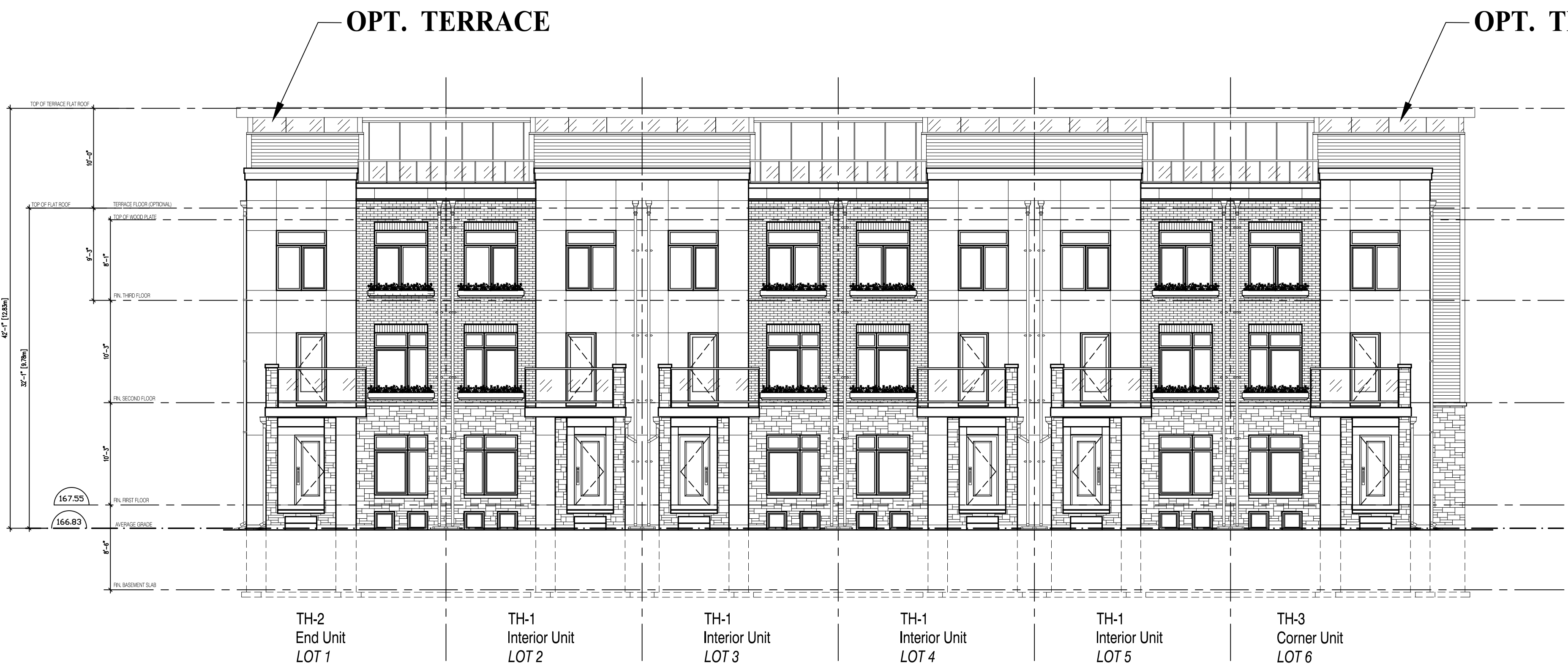
TERRACE FLOOR & ROOF PLAN

WESTON CONSULTING
7170 GORE ROAD (MISSISSAUGA)

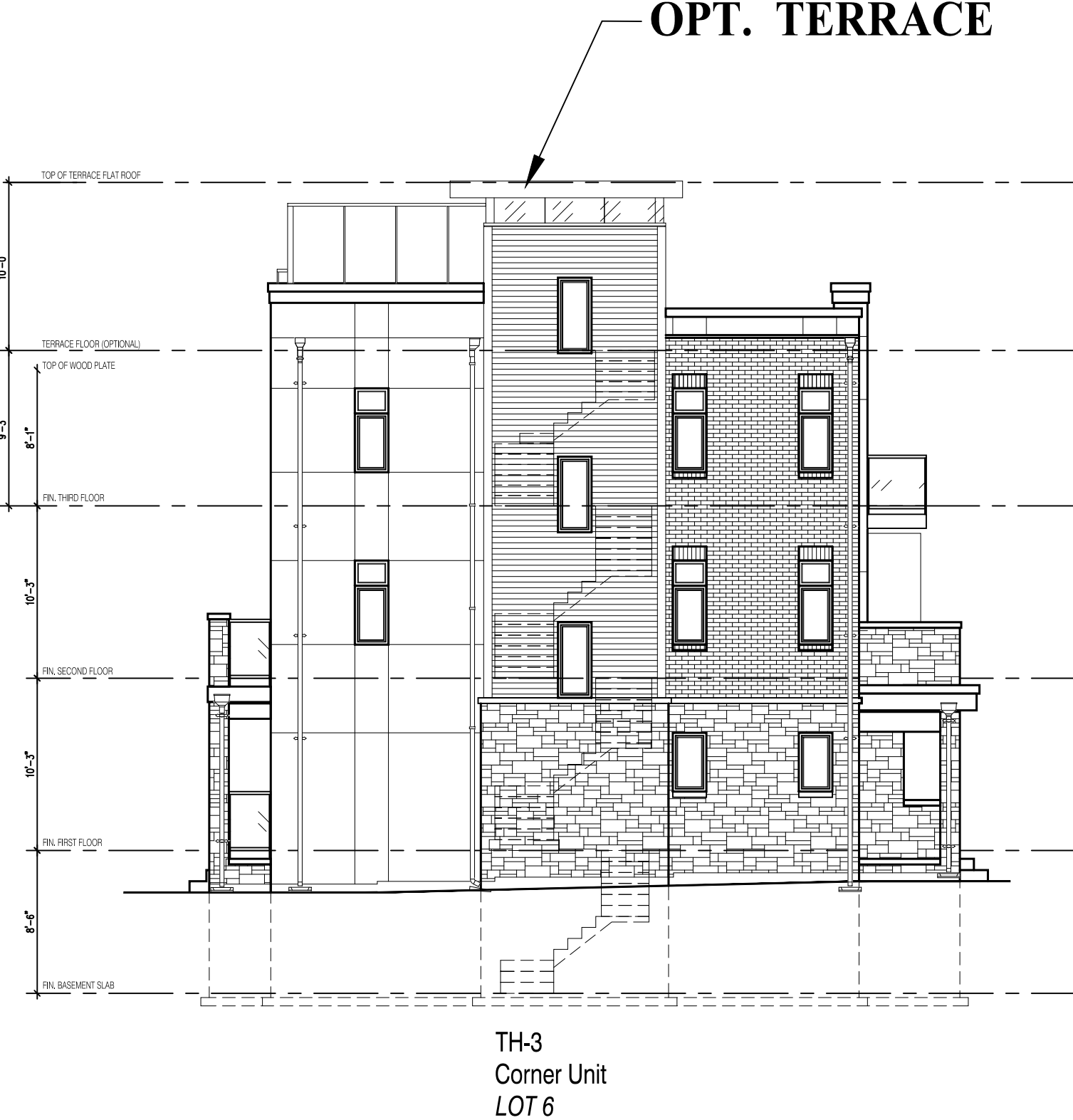
GOREWAY DRIVE & ETUDE DRIVE
MISSISSAUGA
6.0m 3 STOREY STREET FACING TOWNHOUSE

BLOCK 1

PRELIMINARY
NOT TO BE USED FOR CONSTRUCTION



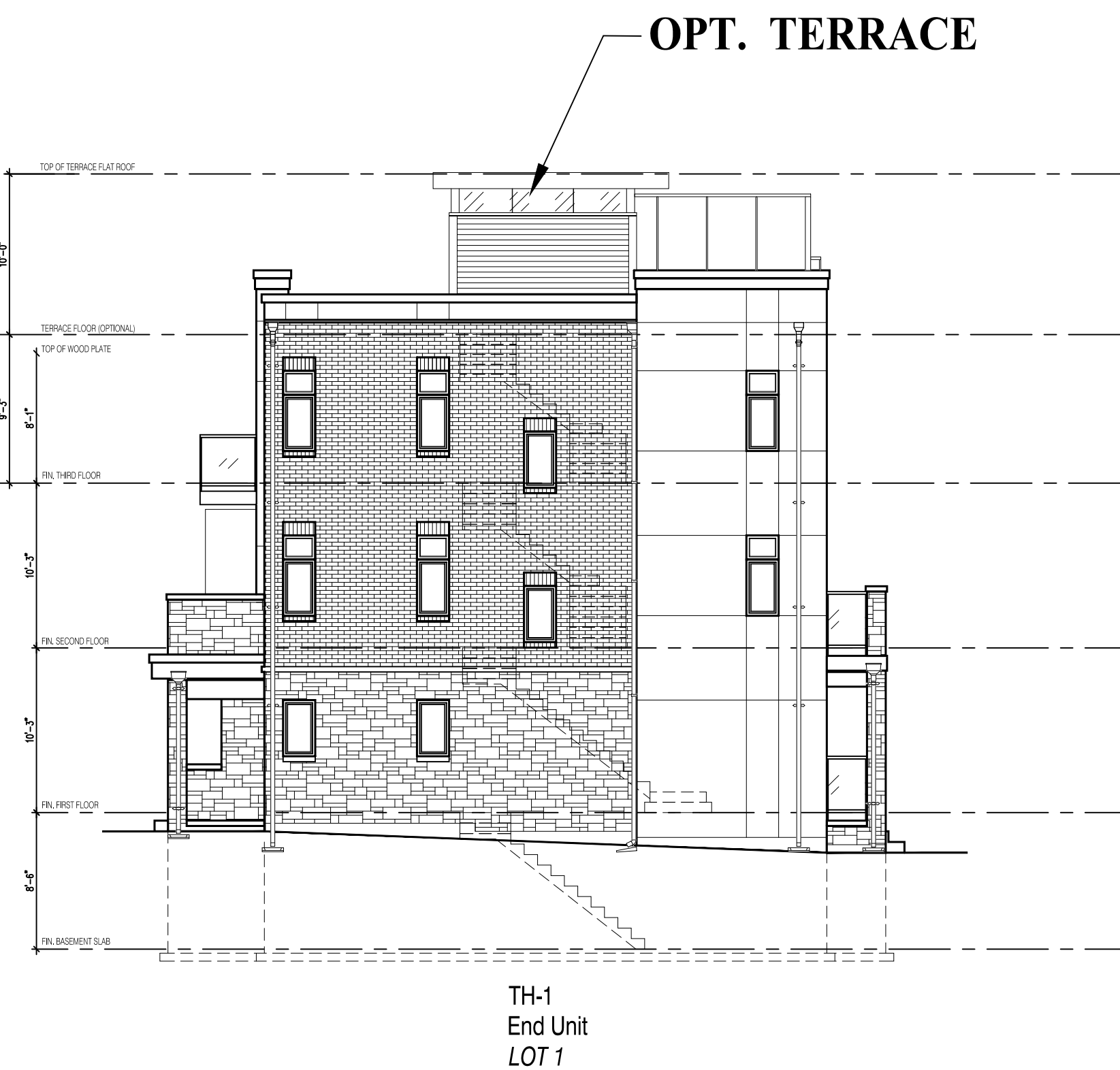
FRONT ELEVATION A
BLOCK 1



SIDE ELEVATION A
BLOCK 1



REAR ELEVATION A
BLOCK 1



SIDE ELEVATION A
BLOCK 1

THE CONTRACTOR SHALL VERIFY AND CORRECT ALL DIMENSIONS AND CONDITIONS BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.
JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF PLUMING, STRUCTURAL, OR MECHANICAL INFORMATION SHOWN ON THESE DRAWINGS UNLESS JARDIN DESIGN GROUP INC. HAS BEEN ADVISED BY THE CLIENT OF SUCH INFORMATION BEFORE PROCEEDING WITH WORK.
ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF MISSISSAUGA'S ZONING BY-LAW AND THE MISSISSAUGA BUILDING BY-LAW.
JARDIN DESIGN GROUP INC. HAS NOT BEEN REVIEWED TO CORRECT OR GENERAL REVIEW OF THE ACCURACY OF THE INFORMATION SHOWN ON THESE DRAWINGS UNLESS JARDIN DESIGN GROUP INC. HAS BEEN ADVISED BY THE CLIENT OF SUCH INFORMATION BEFORE PROCEEDING WITH WORK.
THE CONTRACTOR SHALL VERIFY AND CORRECT ALL DIMENSIONS AND CONDITIONS BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.

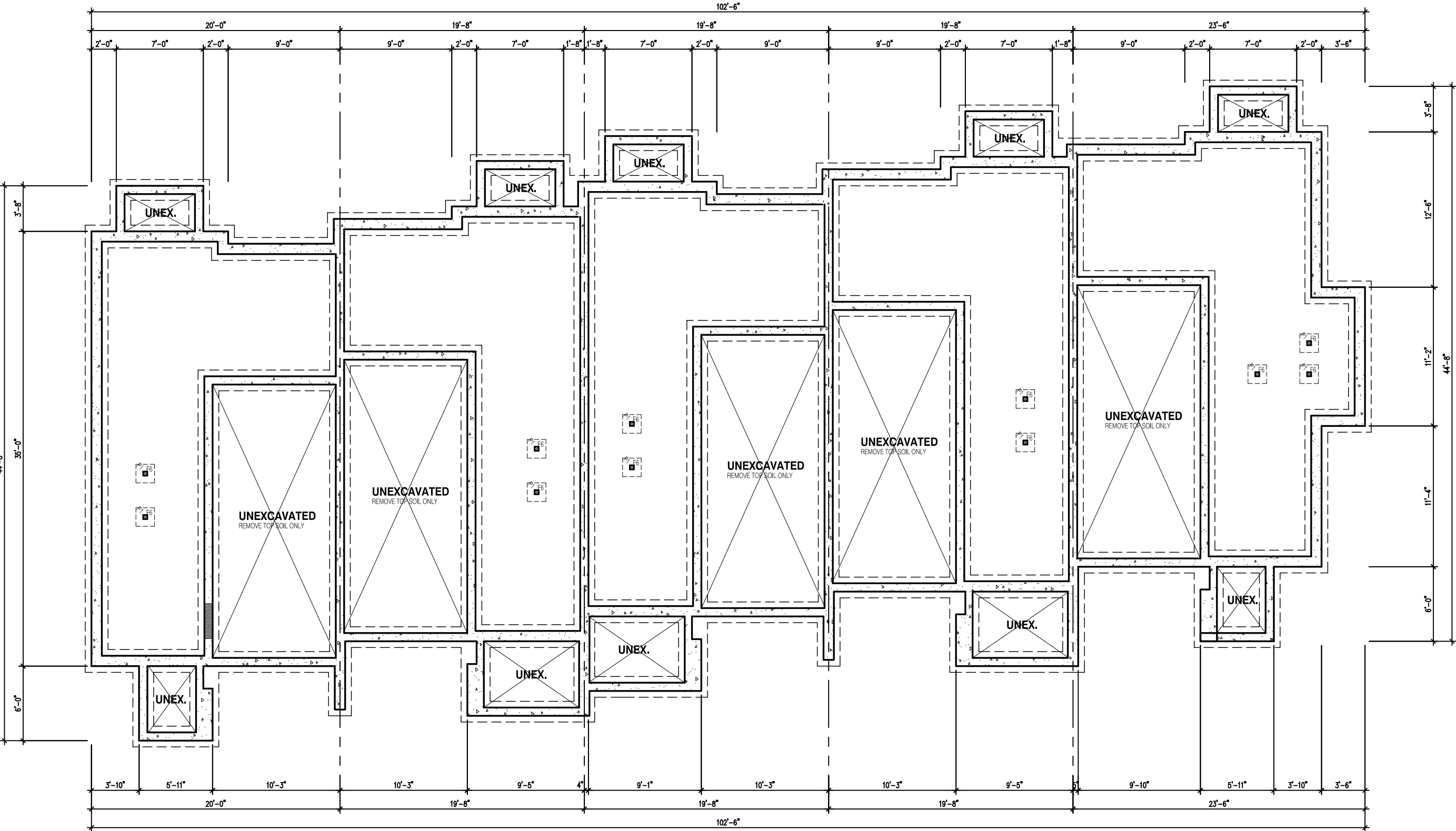
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NO. 16.3071 ISSUED FOR PERMIT SUBMISSION
DATE: WORK DESCRIPTION:
jardin
DESIGN GROUP INC.
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3G3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

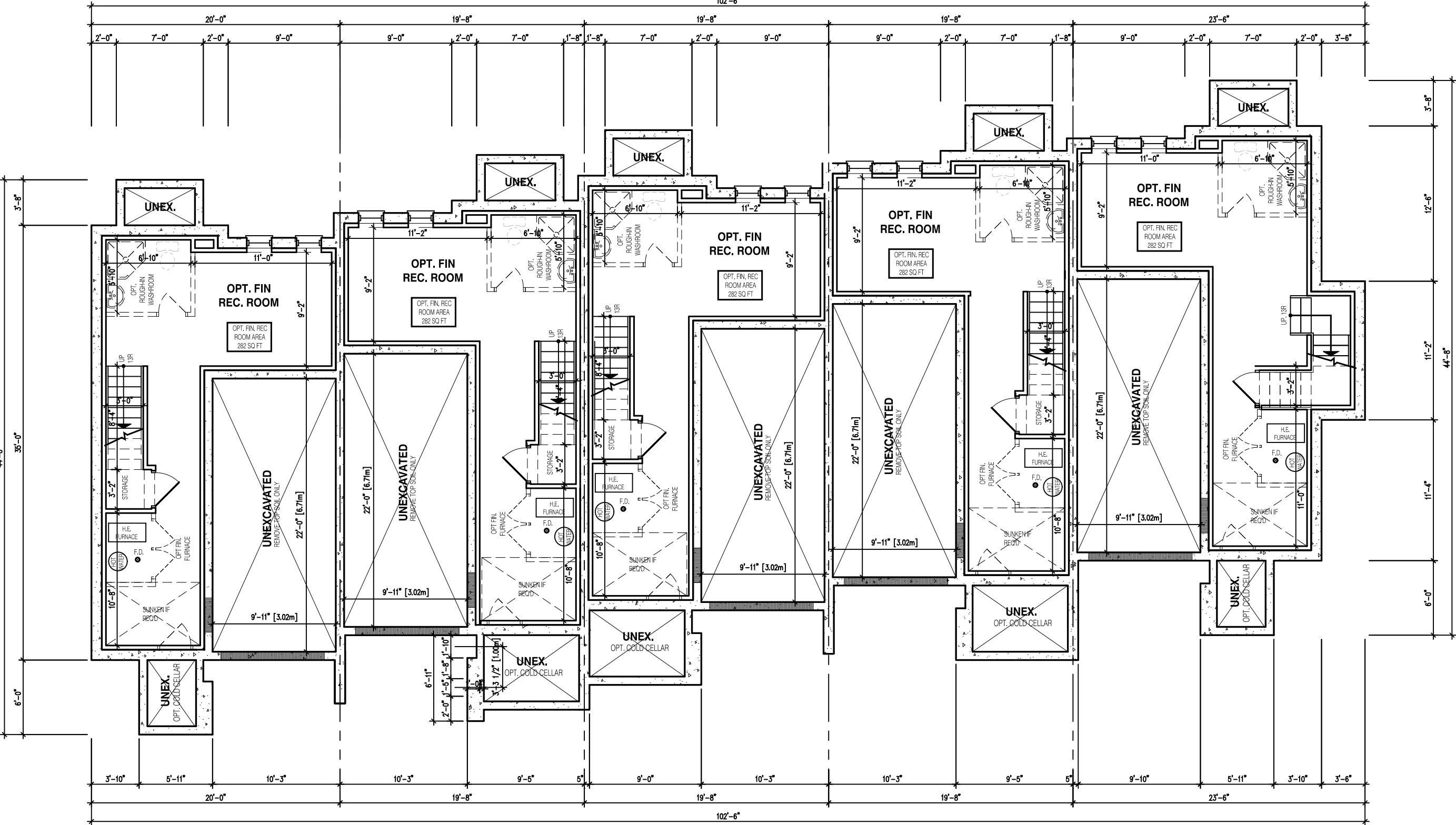
SIDE ELEVATIONS	
WESTON CONSULTING 7170 GORE ROAD (MISSISSAUGA)	
TYPE	AREA
T	----
SCALE	1/8" = 1'-0"
PROJECT NO.	DWG. NO.
17-18	5

GOREWAY DRIVE & ETUDE DRIVE
MISSISSAUGA
6.0m 3 STOREY STREET FACING TOWNHOUSE

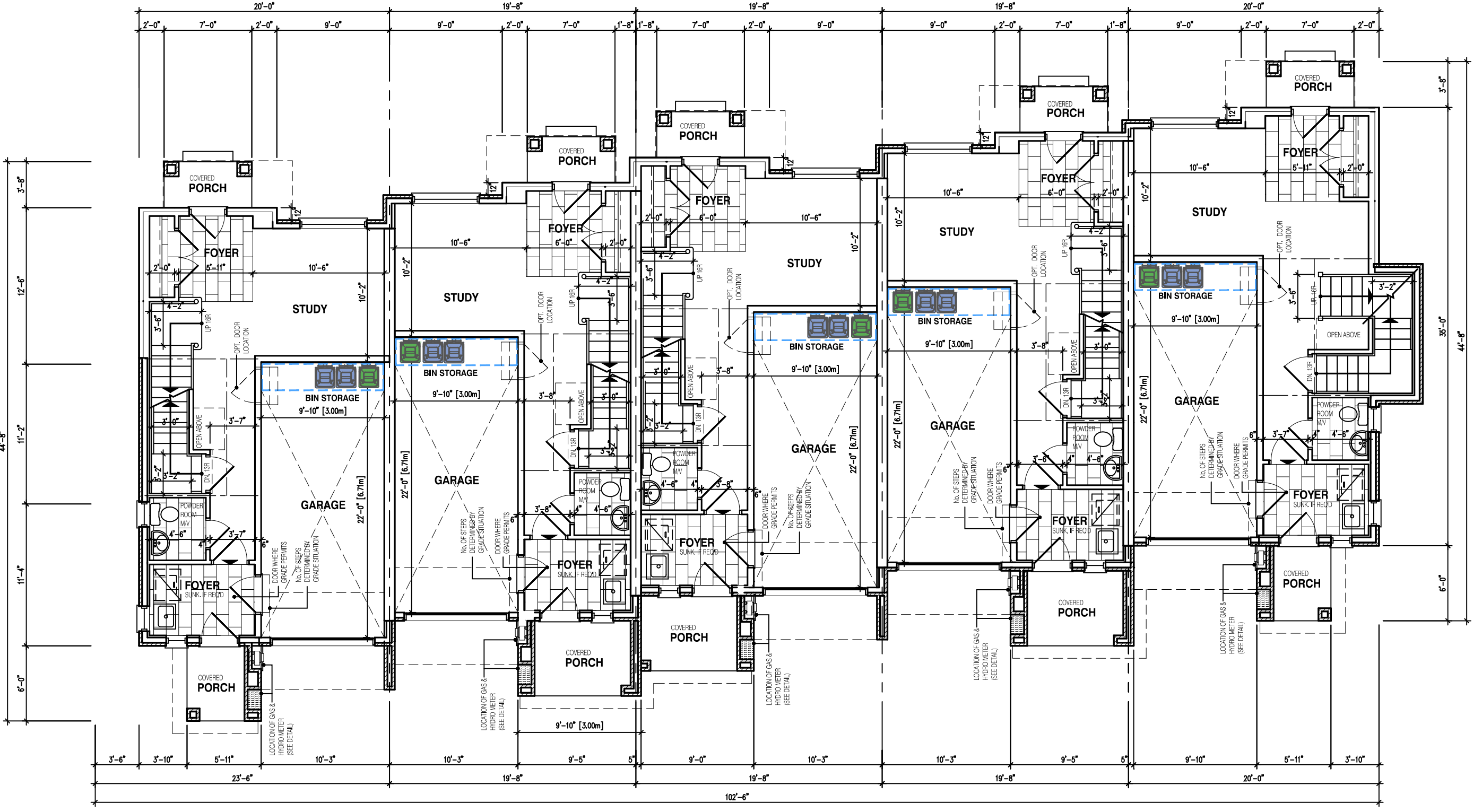
BLOCK 2
PRELIMINARY
NOT TO BE USED FOR CONSTRUCTION



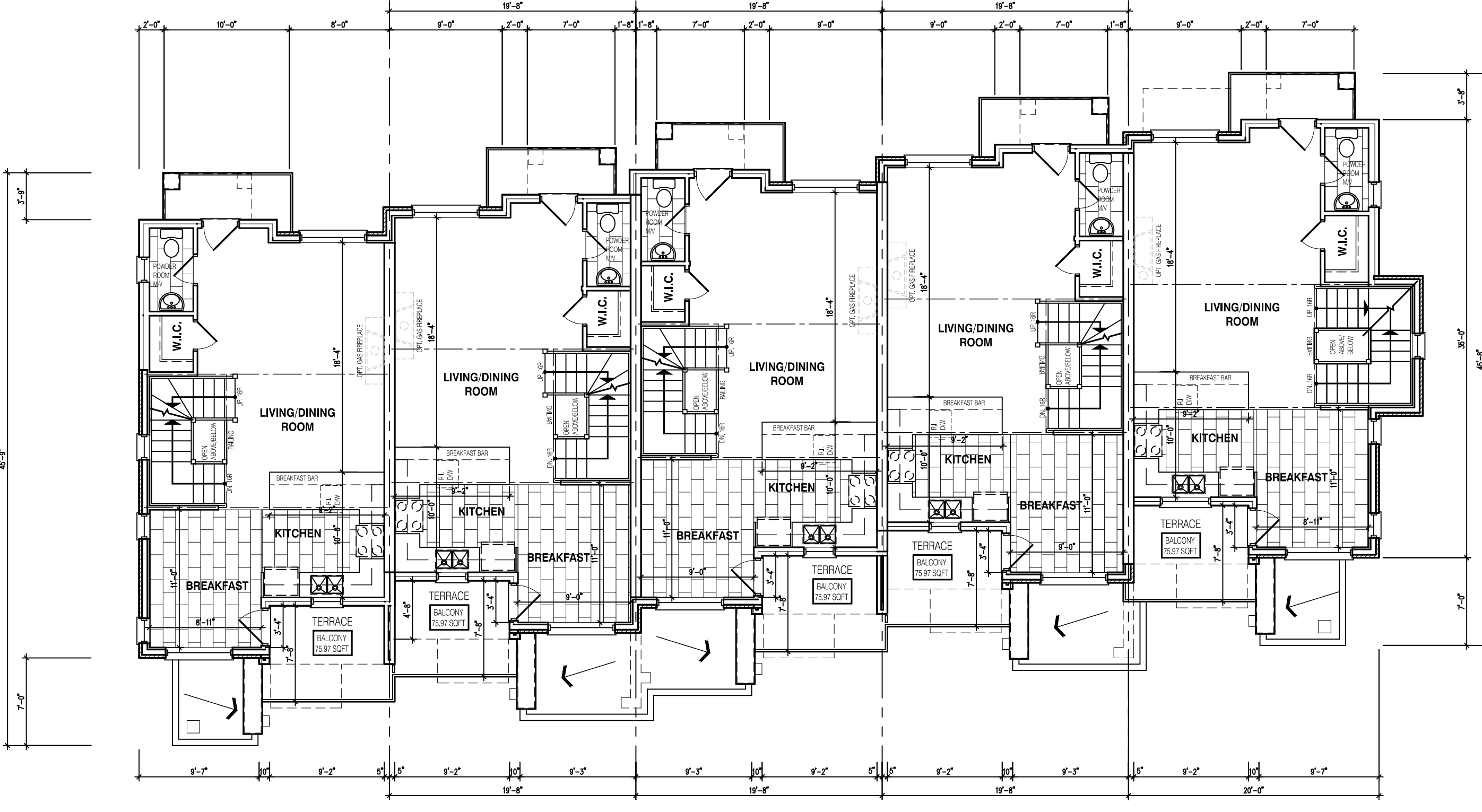
FOUNDATION PLAN



BASEMENT PLAN



FIRST FLOOR PLAN



SECOND FLOOR PLAN

THE CONTRACTOR SHALL VERIFY AND CORRECT ALL DIMENSIONS AND CONDITIONS BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.
JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF PLANS, SPECIFICATIONS, OR DIMENSIONS EXCEPT FOR THE WORK PROVIDED BY JARDIN DESIGN GROUP INC. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND CONDITIONS BEFORE PROCEEDING WITH CONSTRUCTION.
JARDIN DESIGN GROUP INC. HAS NOT BEEN REVIEWED TO CORRECT OR GENERAL REVIEW OF THE PLANS AND SPECIFICATIONS BY ANY OTHER PARTY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND CONDITIONS BEFORE PROCEEDING WITH CONSTRUCTION.
THE DIMENSIONS AND CONDITIONS OF THE WORK PROVIDED BY JARDIN DESIGN GROUP INC. SHALL BE THE BASIS FOR THE CONTRACTOR'S WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND CONDITIONS BEFORE PROCEEDING WITH CONSTRUCTION.

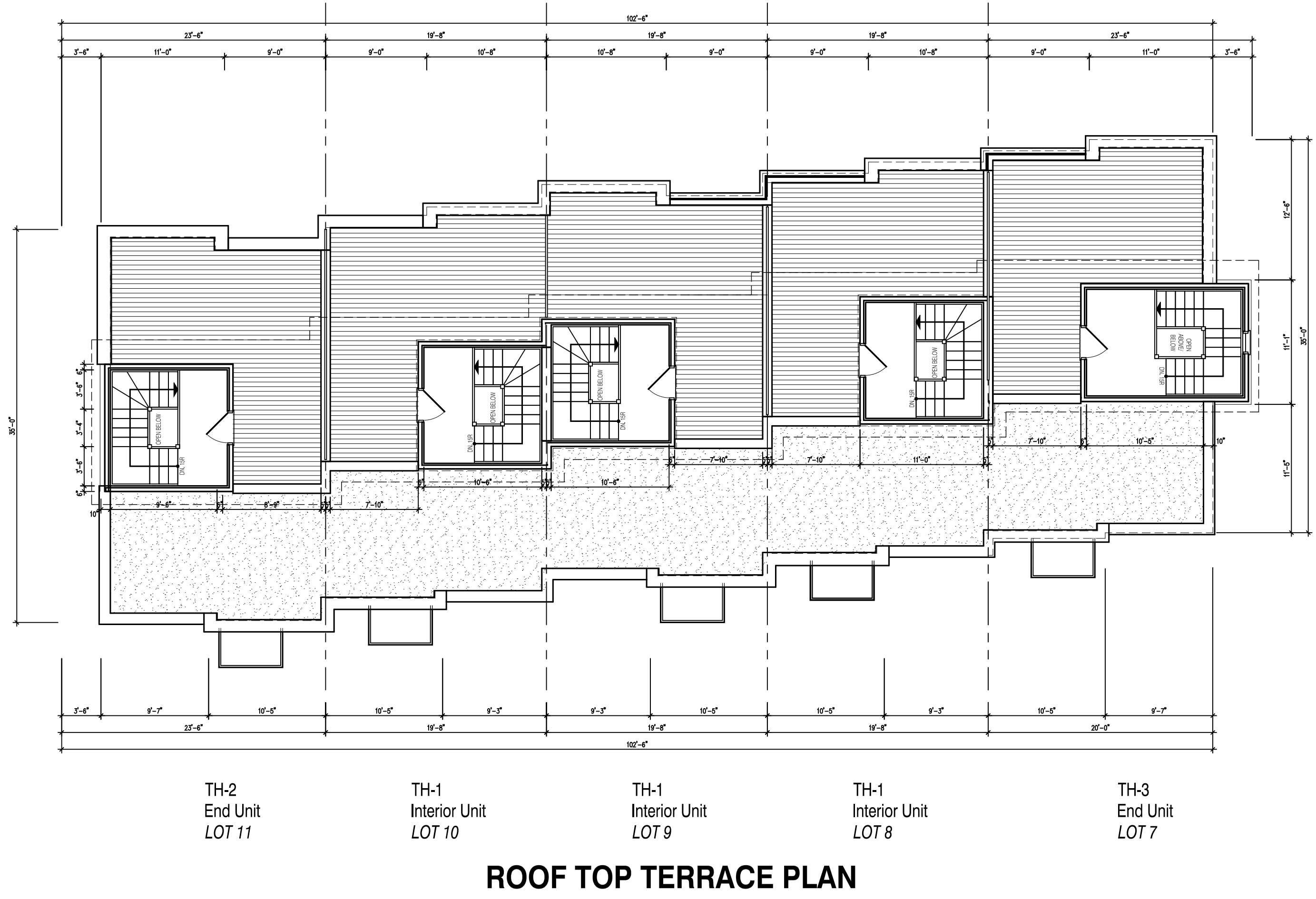
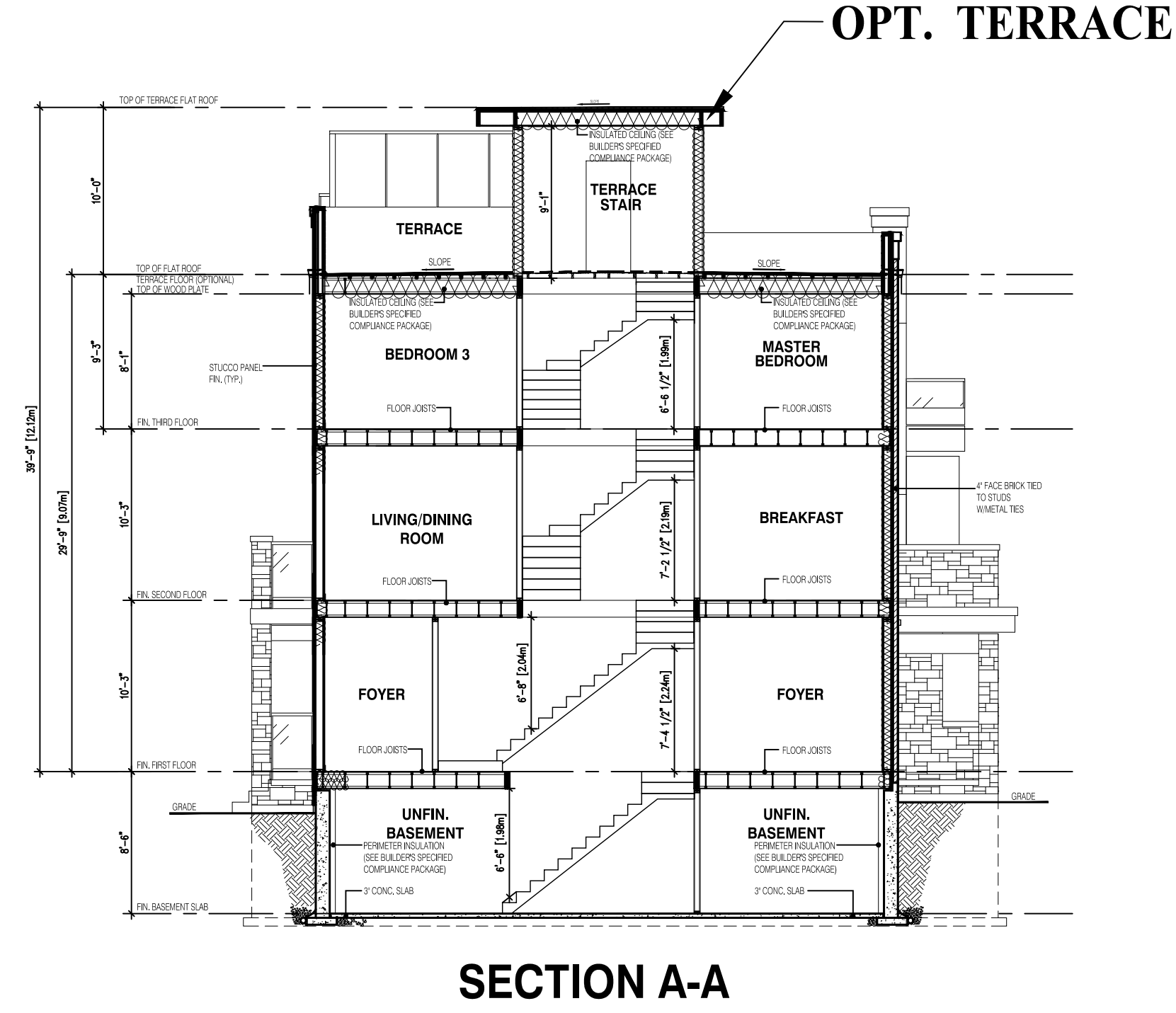
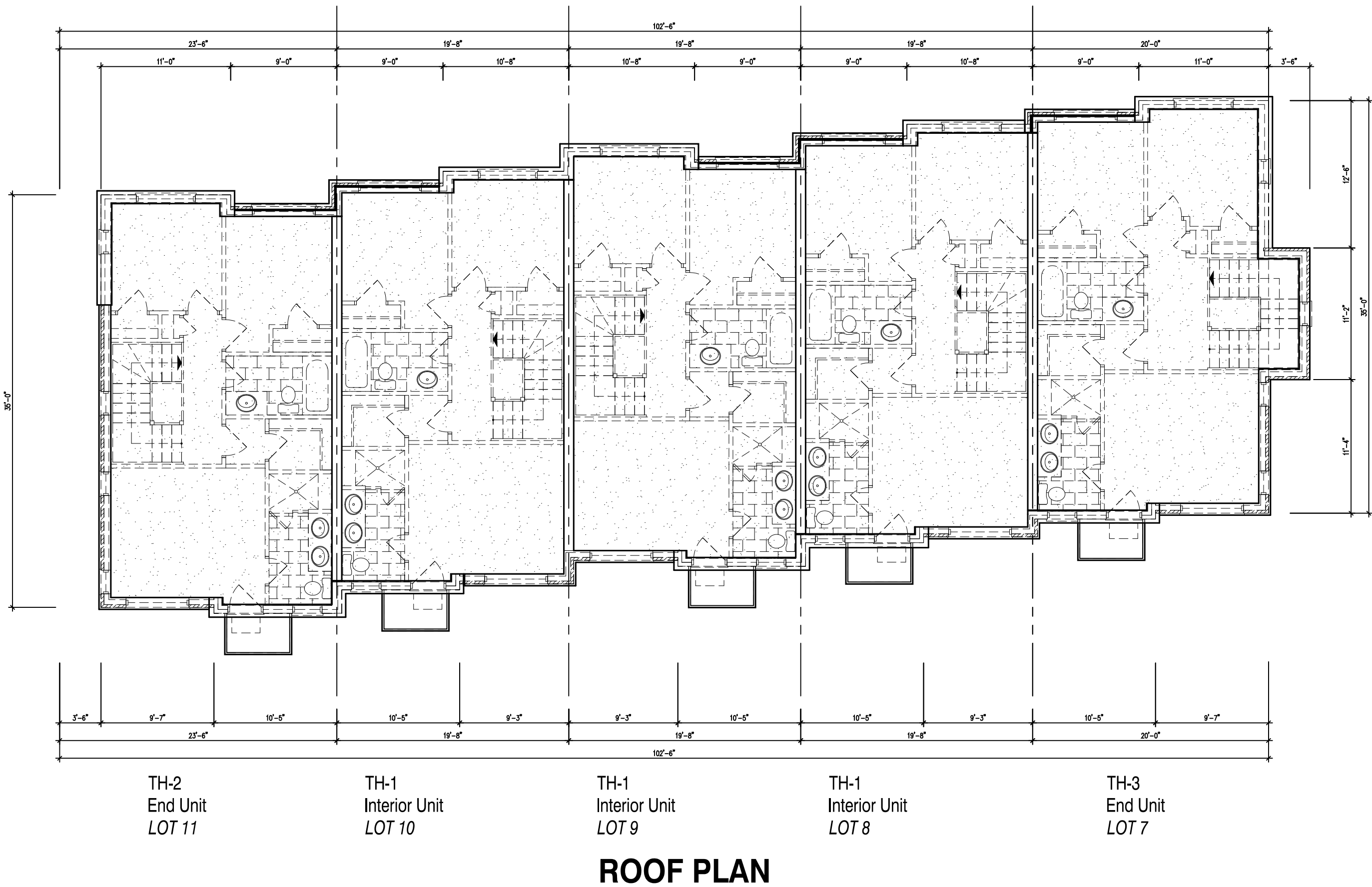
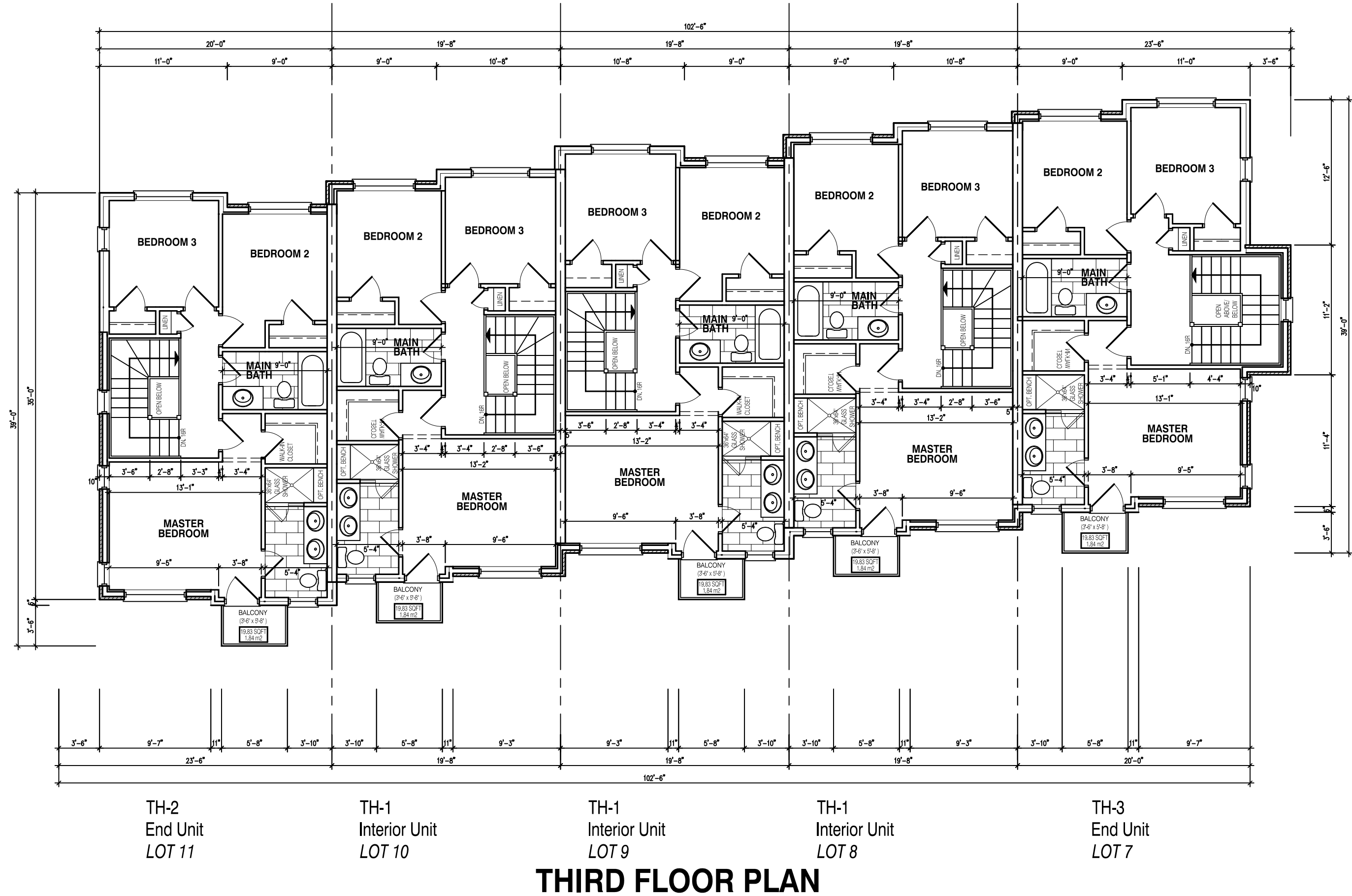
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DATE:	NOV. 16, 2017
ISSUED TO:	CLIENT FOR PRELIMINARY REVIEW
WORK DESCRIPTION:	

jardin
DESIGN GROUP INC.
64 JARDIN DR. SUITE 3A
VAUGHAN, ONT. L4K 3G3
TEL: 905-660-3377 FAX: 905-660-3713
EMAIL: info@jardindesign.ca

FOUNDATION & BSMT. PLAN
WESTON CONSULTING
7170 GORE ROAD (MISSISSAUGA)

BILD
SCALE: 1/8" = 1'-0"
17-18 1

GOREWAY DRIVE & ETUDE DRIVE
MISSISSAUGA
6.0m 3 STOREY STREET FACING TOWNHOUSE



ALL CONTRACTORS SHALL VERIFY AND VERIFY ALL DIMENSIONS AND CONSIDERATIONS BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.

JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF PLANS, STRUCTURAL OR MECHANICAL CALCULATIONS OR THE CONSTRUCTION OF THE CONSTRUCTION DOCUMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONSTRUCTION OF THE CONSTRUCTION DOCUMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONSTRUCTION OF THE CONSTRUCTION DOCUMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONSTRUCTION OF THE CONSTRUCTION DOCUMENTS.

NO. 16.3071 ISSUED TO CLIENT FOR PRELIMINARY SUBMISSION
DATE: WORK DESCRIPTION:

jardin
DESIGN GROUP INC.
64 JARDIN DR. SUITE 3A
VAUGHAN, ONT. L4K 3G3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

MAIN & 2ND FLOOR PLAN
WESTON CONSULTING
7170 GORE ROAD (MISSISSAUGA)

REV	DATE	BY	CHKD
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SCALE: 1/8" = 1'-0"

FIG. NO. 17-18

DWG. NO. 2

—OPT. TERRACE



—OPT. TERRACE



—OPT. TERRACE



— OPT. TERRACE



THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES MUST BE REPORTED TO JARON DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.

JARON DESIGN GROUP INC IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION DETAILS PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. REFERS TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK.

AS CONSTRUCTED-INHERITS MUST BE VERIFIED PRIOR TO POURING FOOTINGS.

JARON DESIGN GROUP INC HAS NOT BEEN RETAINED TO CARRY OUT GENERAL REVIEW OF THE WORKS AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

THIS DRAWING IS AN INSTRUMENT OF SERVICE, IS PROVIDED BY AND IS THE PROPERTY OF JARON DESIGN GROUP INC. IT IS TO REMAIN THE SOLE PROPERTY OF JARON DESIGN GROUP INC.

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1	NOV. 15, 2017	ISSUED TO CLIENT FOR REVIEW FOR SPA SUBMISSION

DATE: _____ WORK DESCRIPTION: _____

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3711
EMAIL: info@jardindesign.ca

SIDE ELEVATIONS

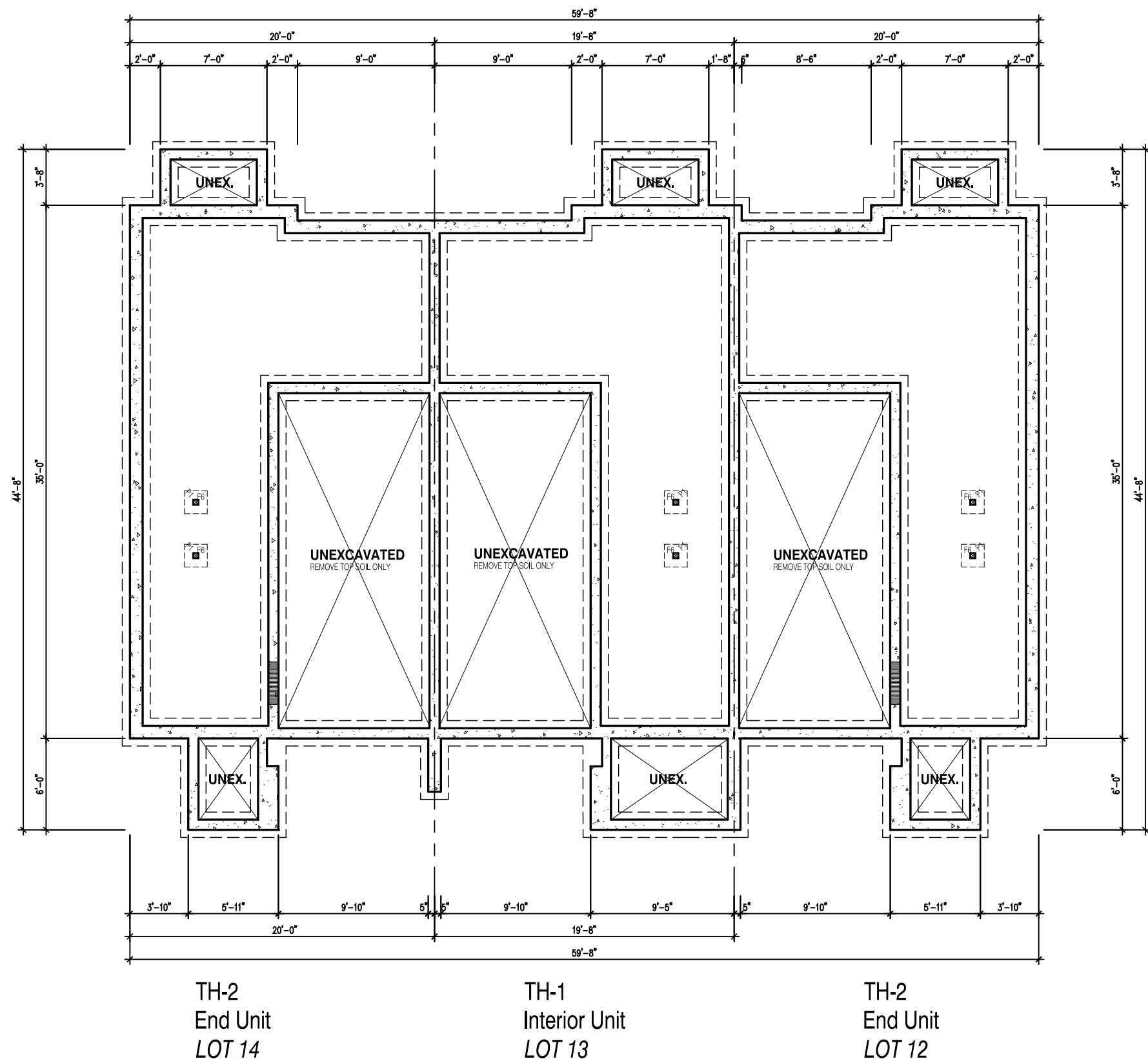
WESTON CONSULTING
7170 GORE ROAD (MISSISSAUGA)



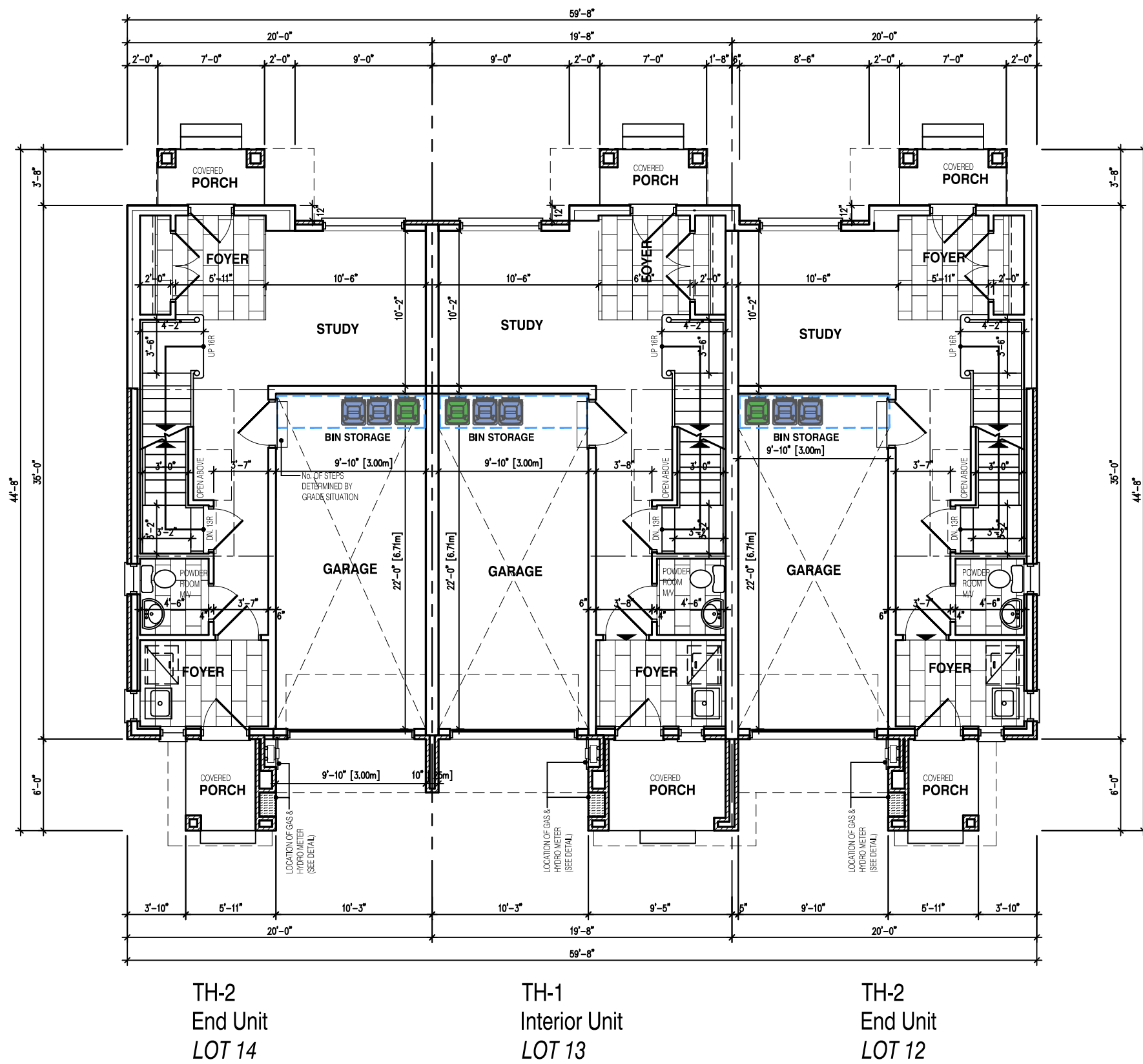
T	
SCALE: $1/8" = 1'$	
PROJ. No. 17-18	DWG.

GOREWAY DRIVE & ETUDE DRIVE
MISSISSAUGA
6.0m 3 STOREY STREET FACING TOWNHOUSE

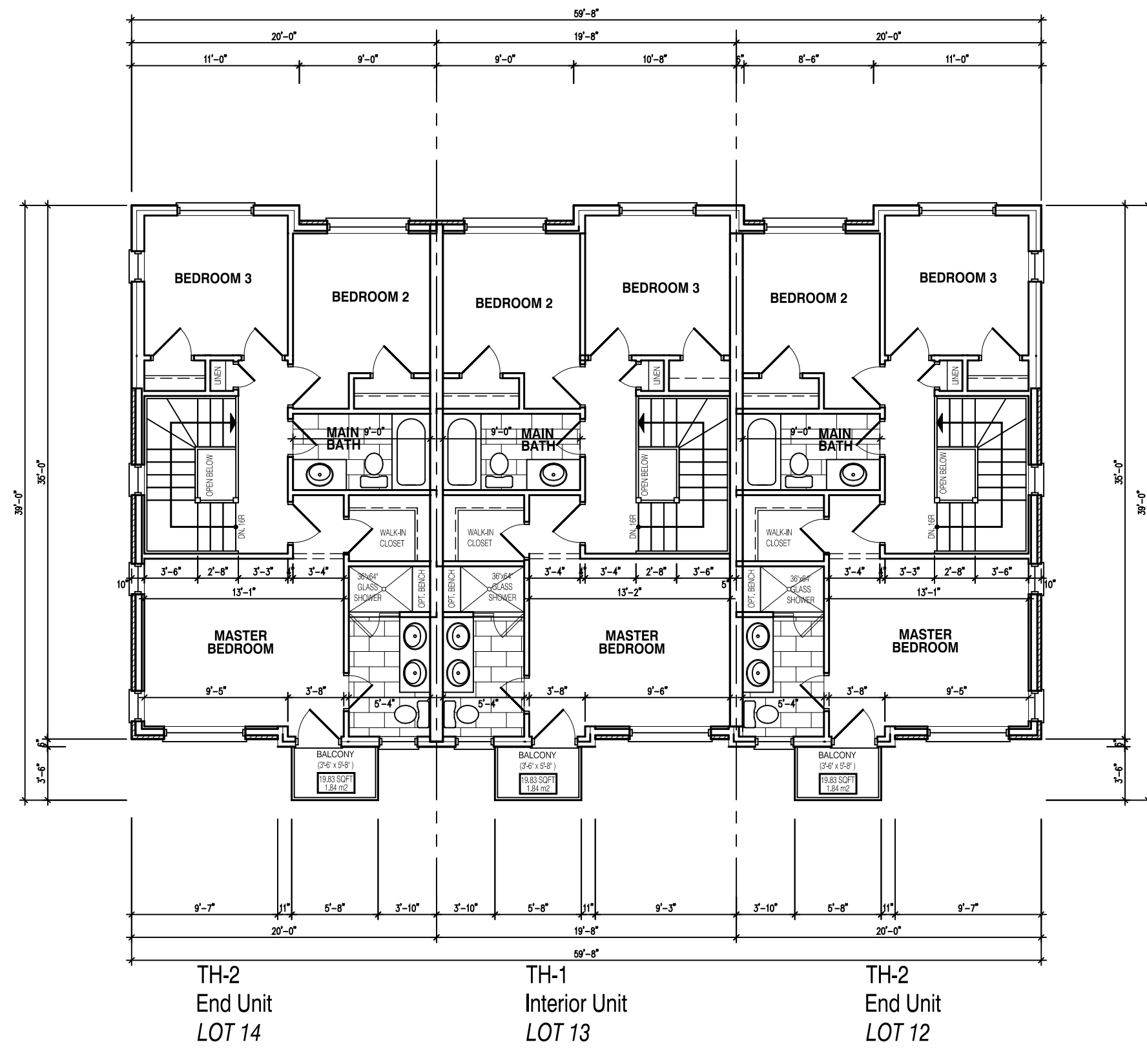
BLOCK 3
PRELIMINARY
NOT TO BE USED FOR CONSTRUCTION



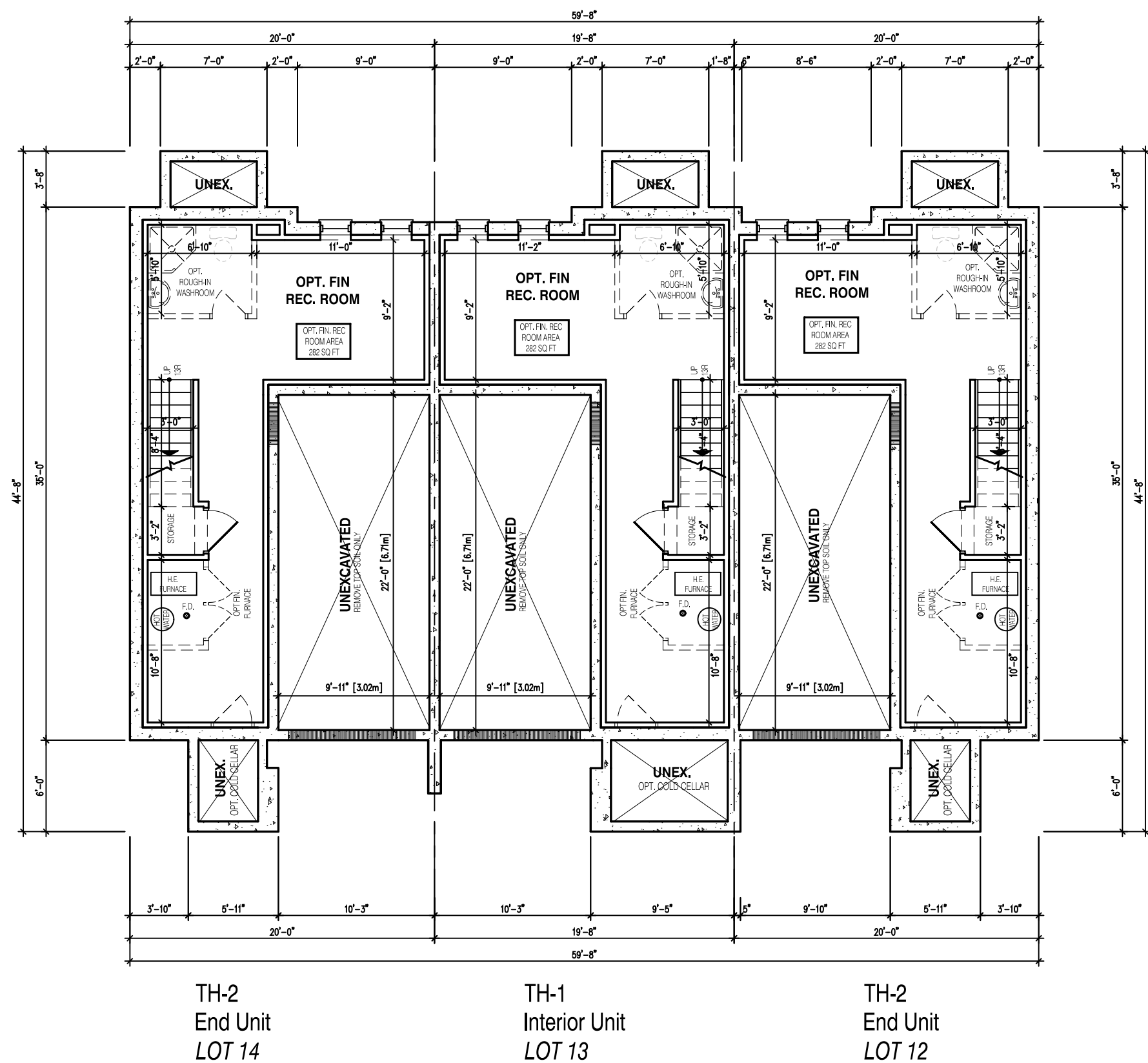
FOUNDATION PLAN



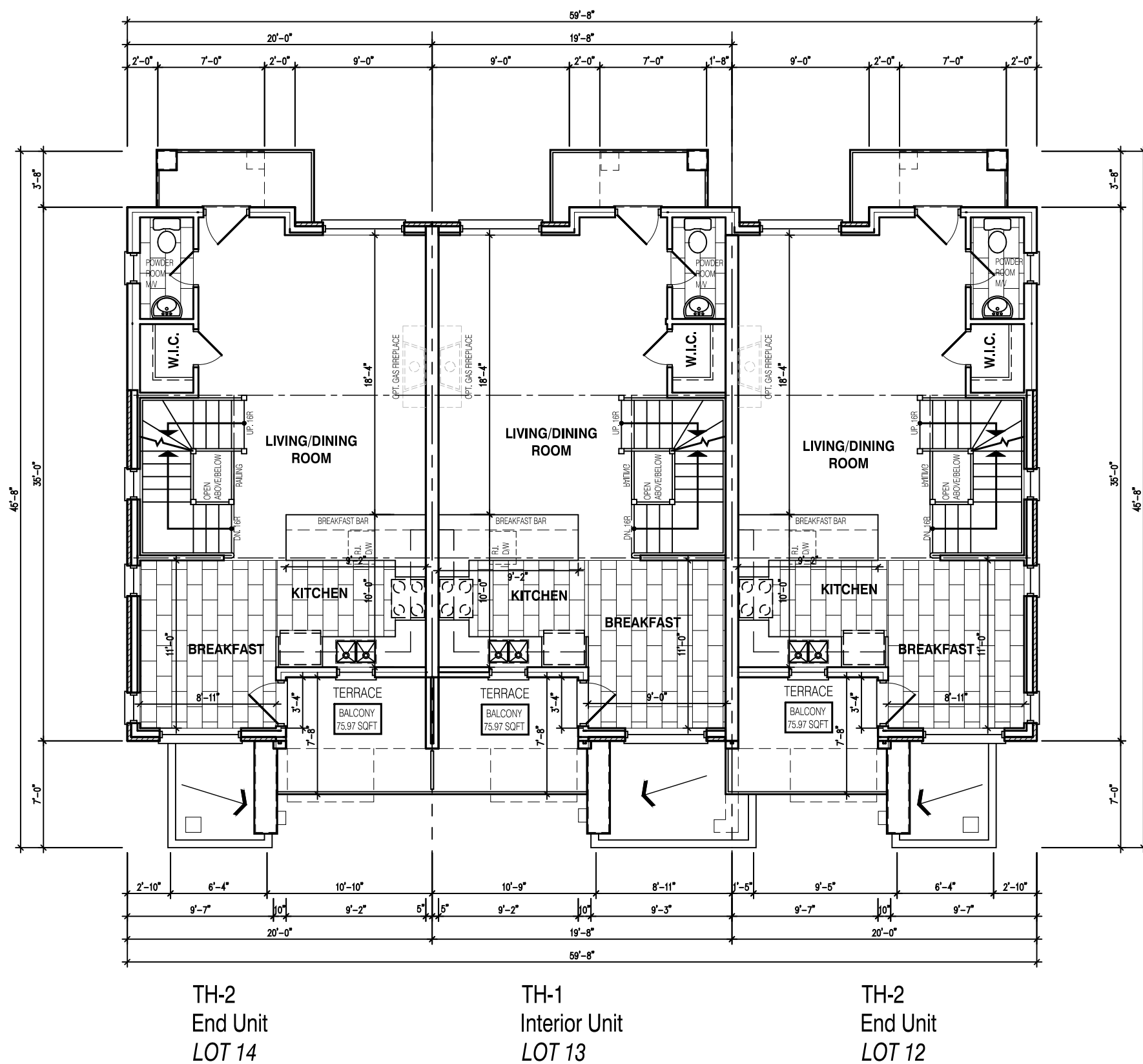
FIRST FLOOR PLAN



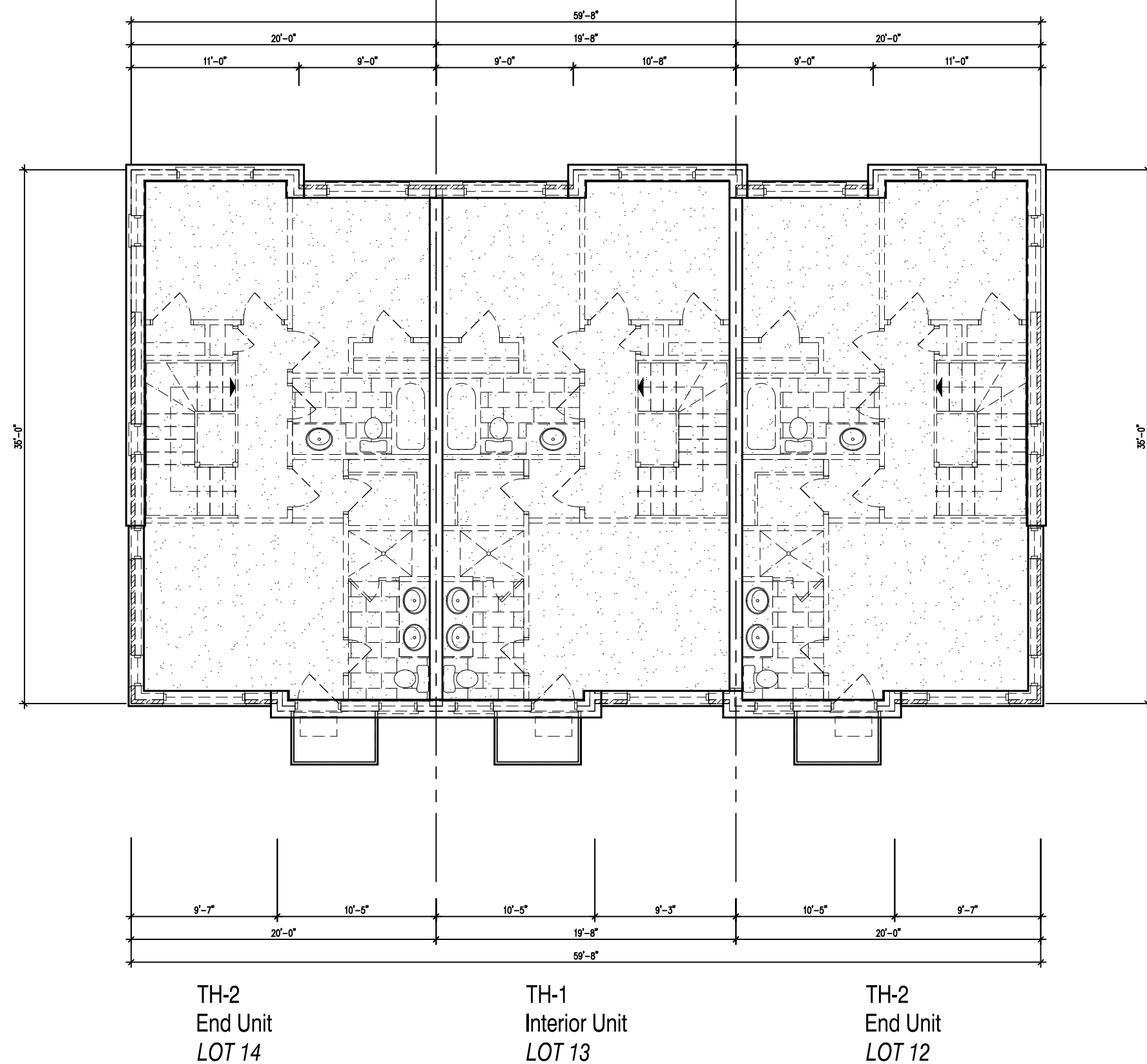
THIRD FLOOR PLAN



BASEMENT PLAN



SECOND FLOOR PLAN



ROOF PLAN

ALL CONTRACTORS SHALL VERIFY AND VERIFY ALL DIMENSIONS AND CONDITIONS BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.
JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF PLANS. STRUCTURAL AND MECHANICAL REQUIREMENTS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF PLANS. STRUCTURAL AND MECHANICAL REQUIREMENTS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE APPROPRIATE ENGINEERING AND ARCHITECTURAL STANDARDS AND SHALL BE SUBJECT TO THE APPROPRIATE ENGINEERING AND ARCHITECTURAL STANDARDS AND SHALL BE SUBJECT TO THE APPROPRIATE ENGINEERING AND ARCHITECTURAL STANDARDS.

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DATE:	NOV 16, 2017
DESIGNED BY:	DESIGNED BY: JARDIN DESIGN GROUP INC.
DRAWN BY:	DRAWN BY: JARDIN DESIGN GROUP INC.
CHECKED BY:	CHECKED BY: JARDIN DESIGN GROUP INC.
DATE:	NOV 16, 2017
DESIGNED BY:	DESIGNED BY: JARDIN DESIGN GROUP INC.
DRAWN BY:	DRAWN BY: JARDIN DESIGN GROUP INC.
CHECKED BY:	CHECKED BY: JARDIN DESIGN GROUP INC.

jardin
DESIGN GROUP INC.
64 JARDIN DR. SUITE 3A
VAUGHAN, ONT. L4K 3G3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

BLOCK FLOOR PLANS

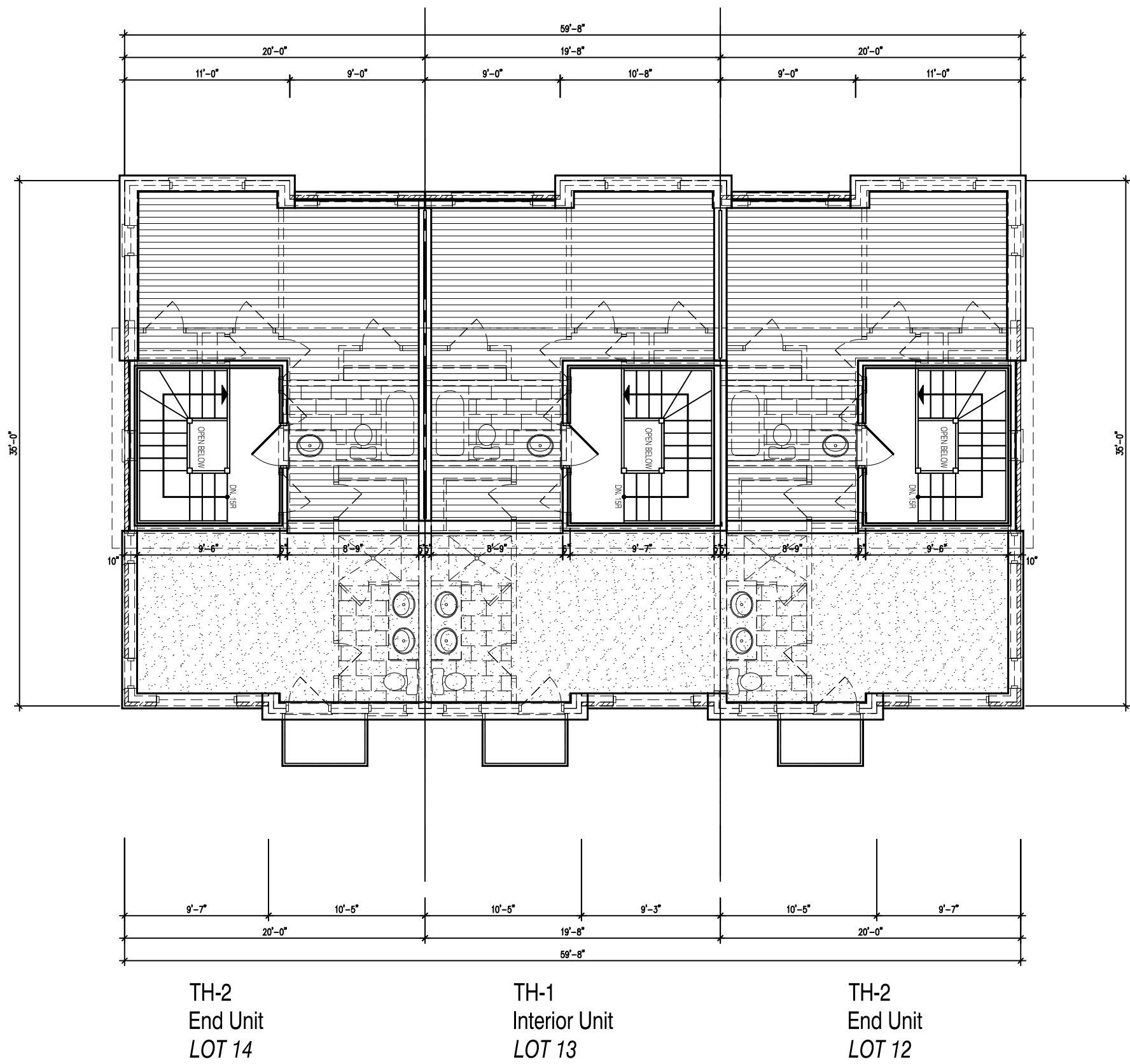
WESTON CONSULTING
7170 GORE ROAD (MISSISSAUGA)

SCALE: 1/8" = 1'-0"
17-18 1

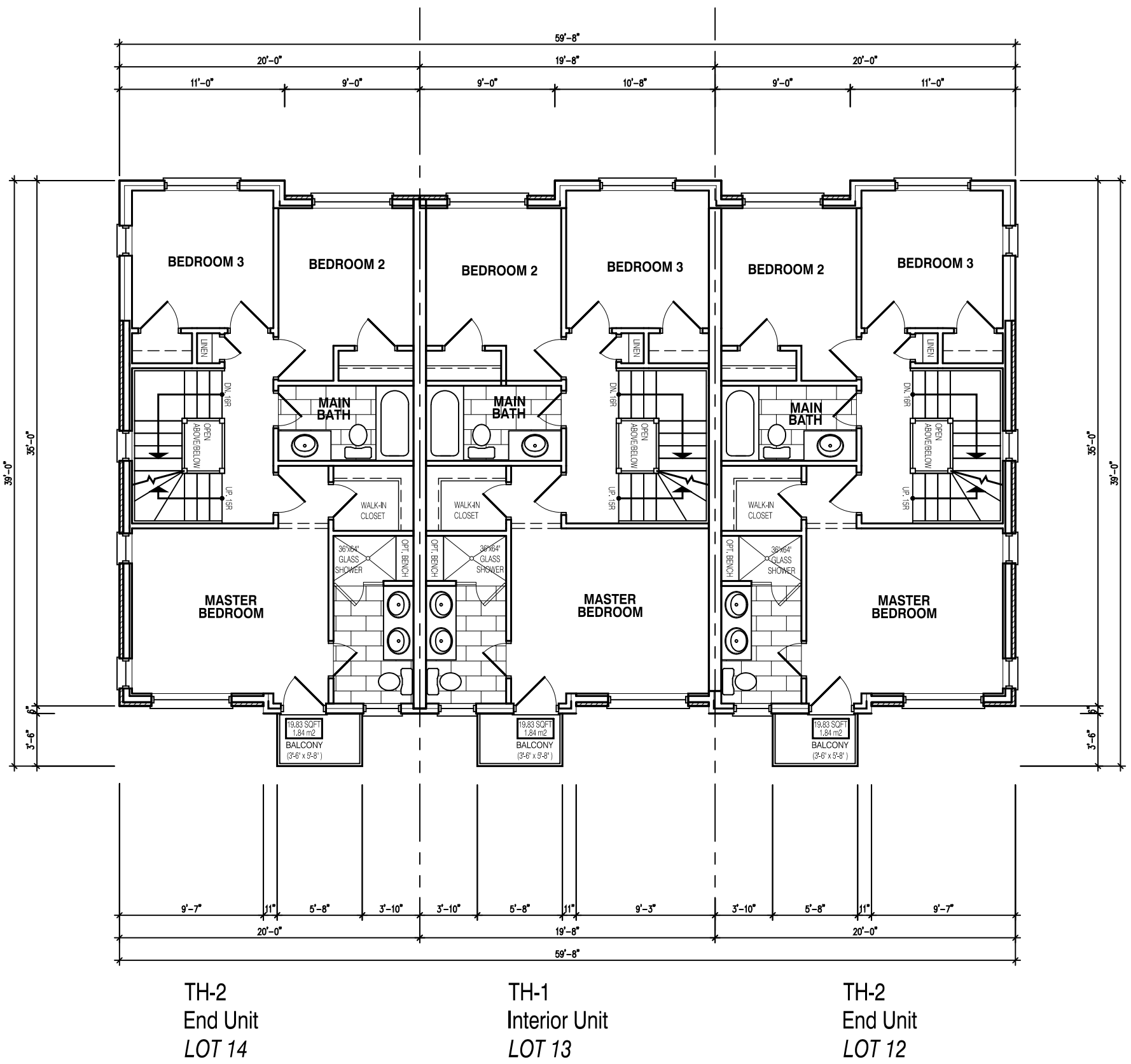
GOREWAY DRIVE & ETUDE DRIVE
MISSISSAUGA
6.0m 3 STOREY STREET FACING TOWNHOUSE

BLOCK 3

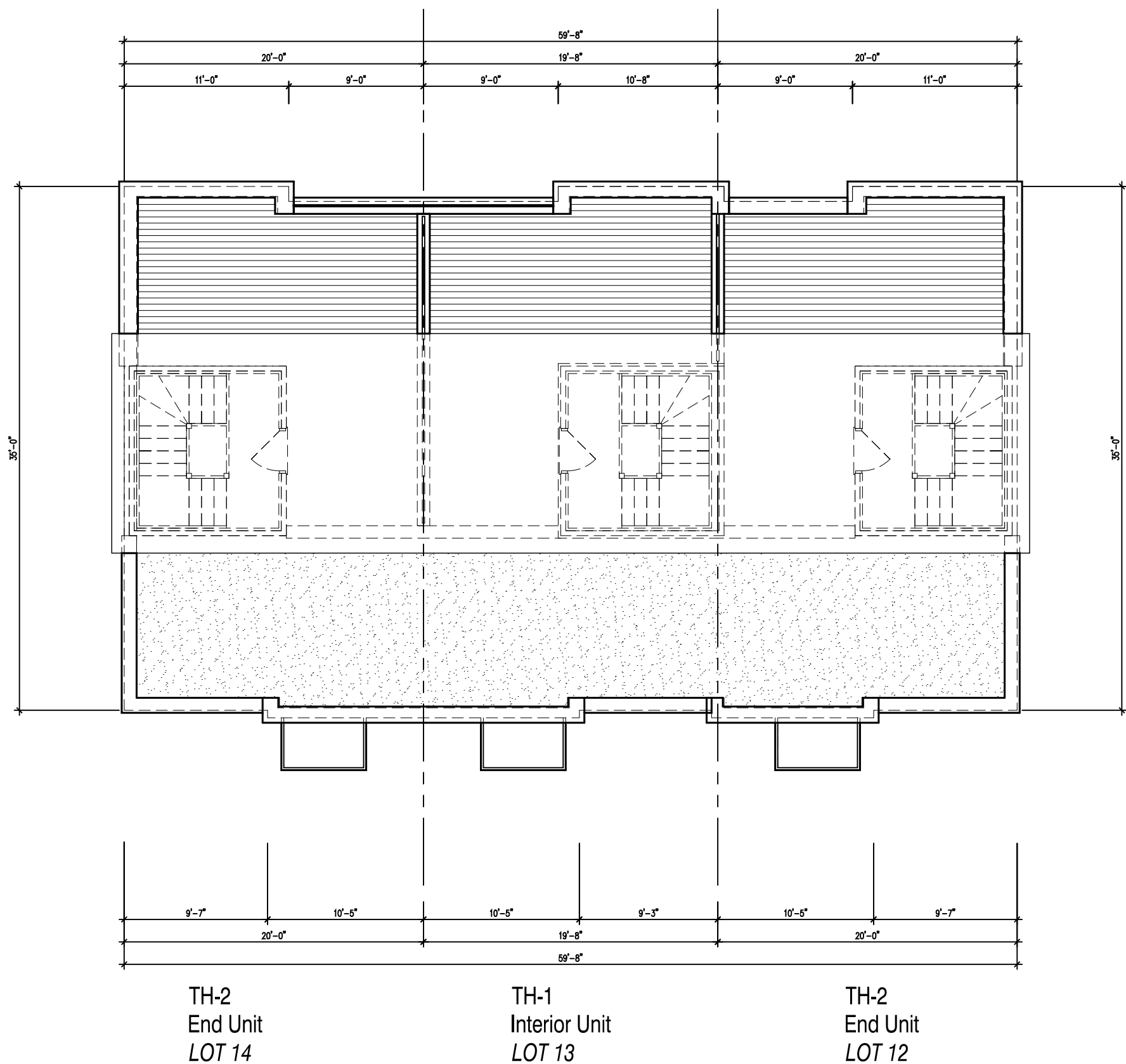
PRELIMINARY
NOT TO BE USED FOR CONSTRUCTION



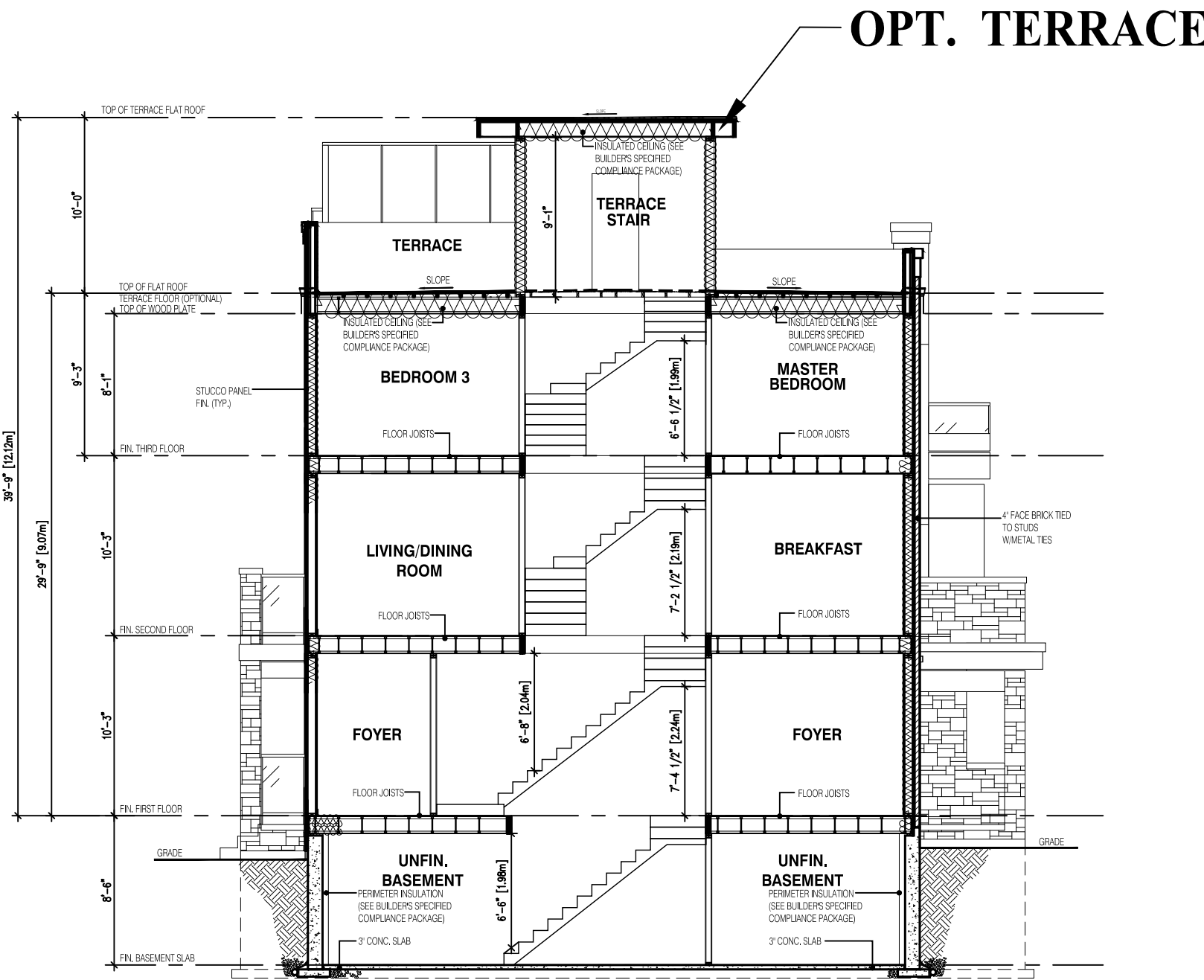
OPT. ROOF TOP TERRACE PLAN



THIRD FLOOR PLAN
FOR OPT. TERRACE



ROOF PLAN
FOR OPT. TERRACE



THE CONTRACTOR SHALL VERIFY AND CORRECT ALL DIMENSIONS AND CONDITIONS BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.
JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF PLANS, STRUCTURAL OR MECHANICAL INFORMATION OR THE DIMENSIONS OF WORK. CONTRACTORS SHALL BE RESPONSIBLE TO THE ISSUING OF A BUILDING PERMIT. PRIOR TO THE APPROPRIATE ENGINEERING AND CONSTRUCTION MUST BE OBTAINED PRIOR TO COMMENCEMENT OF WORK.
JARDIN DESIGN GROUP INC. HAS NOT BEEN REVIEWED TO CORRECT OR GENERAL REVIEW OF THE ACCURACY OF INFORMATION FOR THE PURPOSES OF THE CONTRACT DOCUMENTS.
THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE CONTRACT DOCUMENTS.
THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE CONTRACT DOCUMENTS.

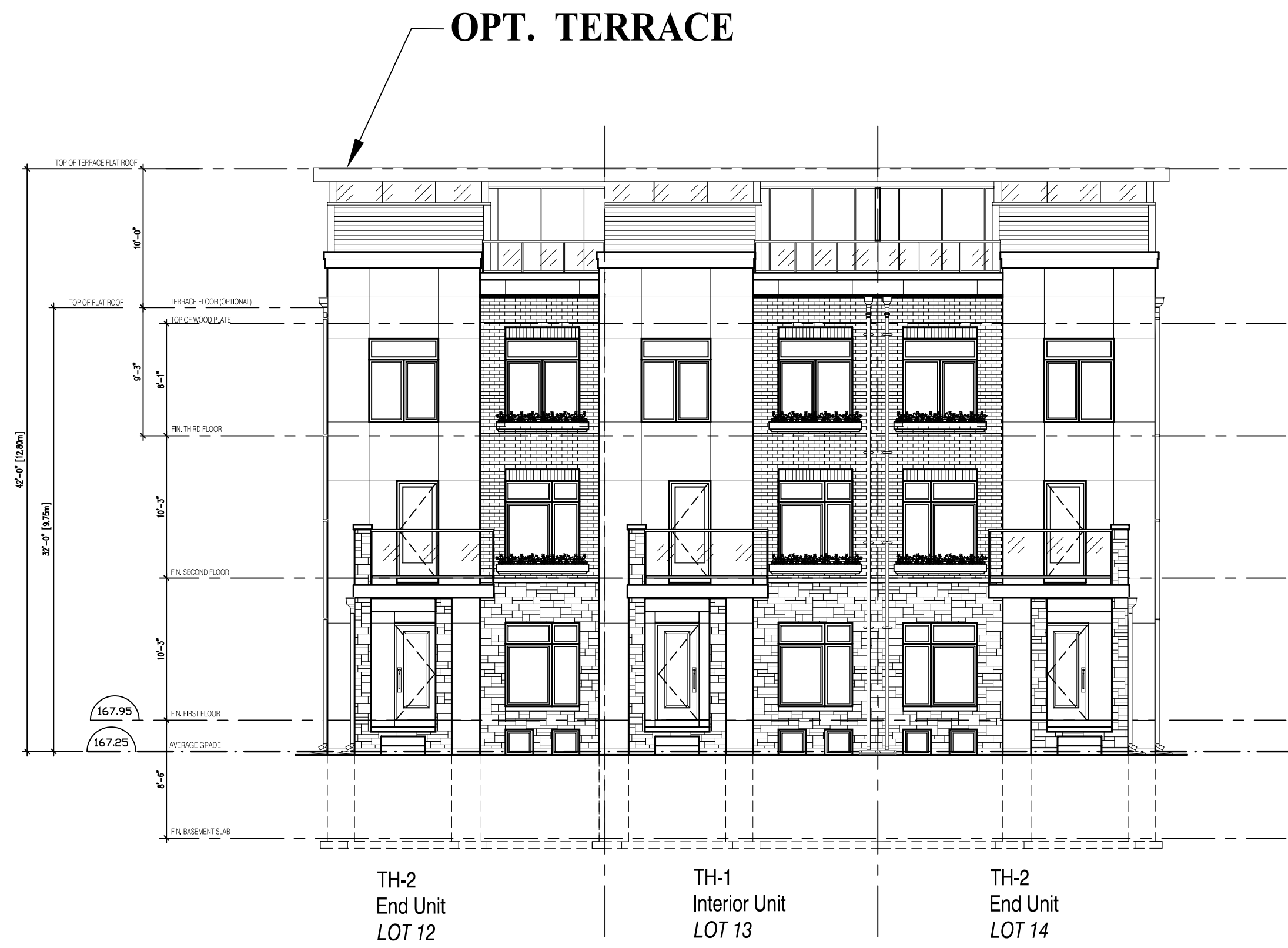
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NO. 15, 2017	ISSUED TO CLIENT FOR REVIEW AND SUBMISSION
DATE:	WORK DESCRIPTION:

jardin
DESIGN GROUP INC.
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

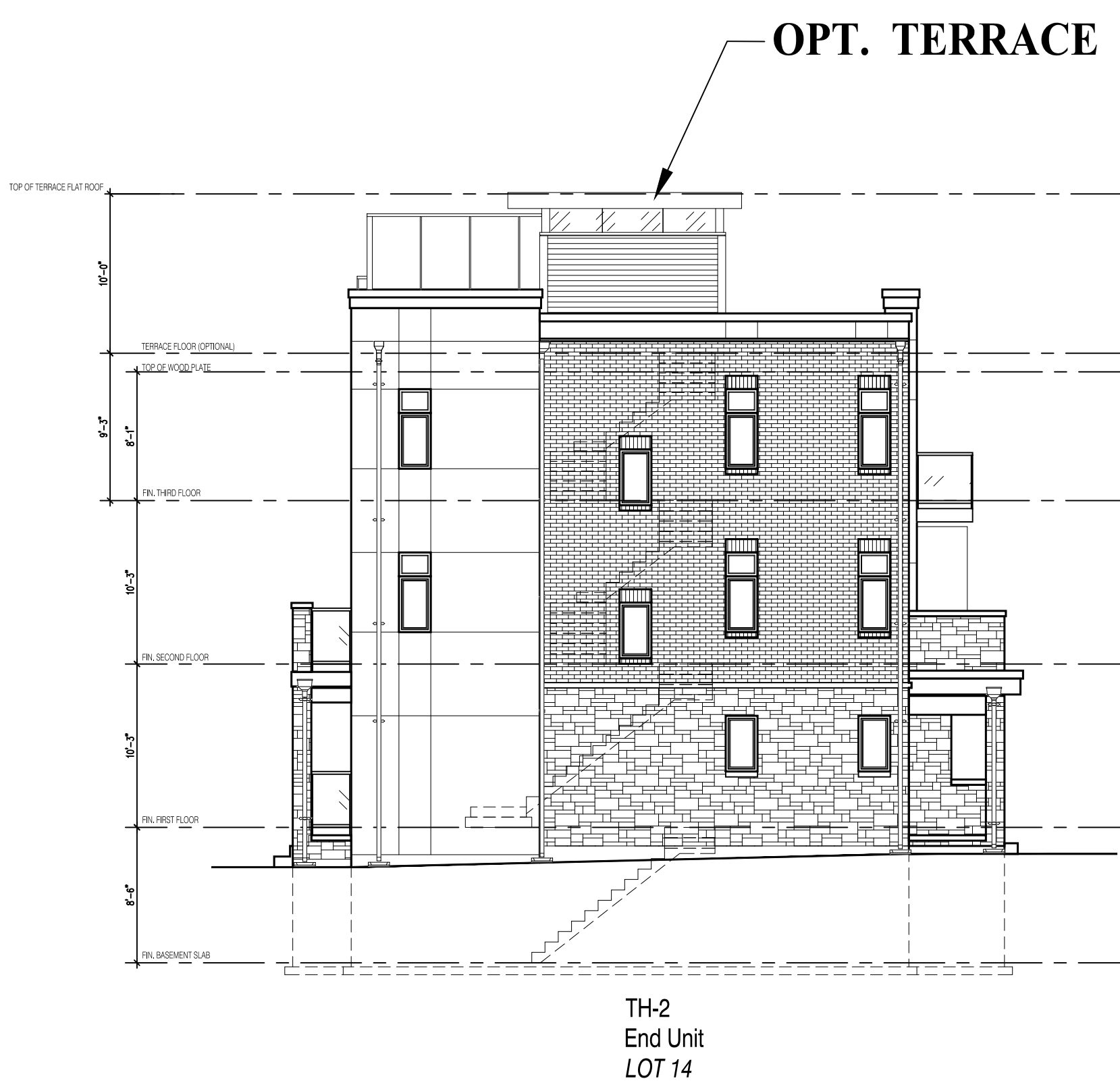
OPT. ROOF TOP PLANS
WESTON CONSULTING
7170 GORE ROAD (MISSISSAUGA)

BILD
SCALE: 1/8" = 1'-0"
17-18 2

GOREWAY DRIVE & ETUDE DRIVE
MISSISSAUGA
6.0m 3 STOREY STREET FACING TOWNHOUSE



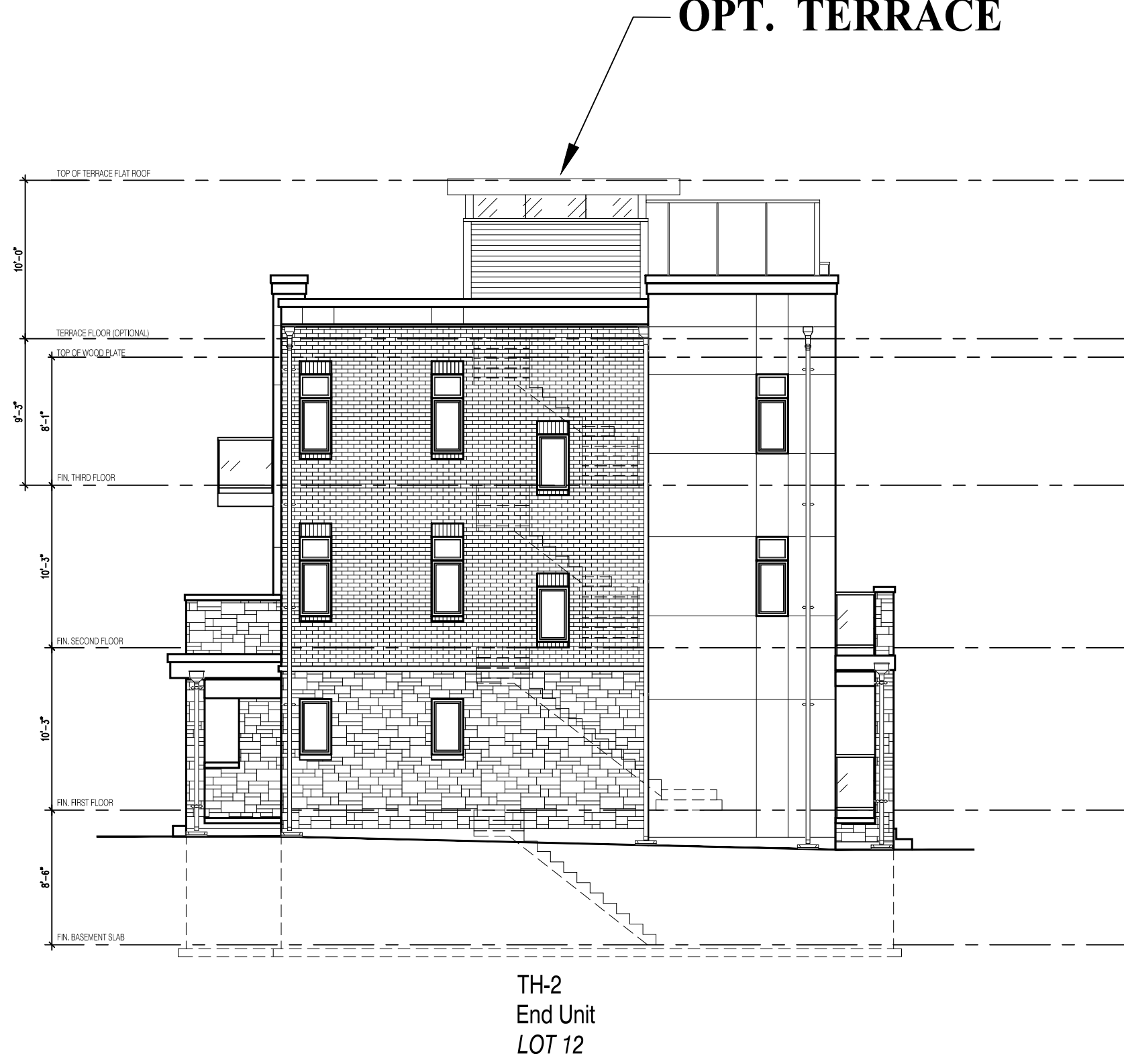
FRONT ELEVATION A
BLOCK 3



SIDE ELEVATION A
BLOCK 3



REAR ELEVATION A
BLOCK 3



SIDE ELEVATION A
BLOCK 3

THE CONTRACTOR SHALL VERIFY AND CORRECT ALL DIMENSIONS AND CONDITIONS OF THE SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.
JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF PLANS, SPECIFICATIONS, OR DIMENSIONS OR CONDITIONS OF THE SITE. THE CONTRACTOR SHALL VERIFY AND CORRECT ALL DIMENSIONS AND CONDITIONS OF THE SITE BEFORE PROCEEDING WITH CONSTRUCTION.
JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CONDUCT A GENERAL REVIEW OF THE CONTRACT DOCUMENTS FOR THE PURPOSES OF THE CONTRACT. THE CONTRACTOR SHALL VERIFY AND CORRECT ALL DIMENSIONS AND CONDITIONS OF THE SITE BEFORE PROCEEDING WITH CONSTRUCTION.
THE CONTRACTOR SHALL VERIFY AND CORRECT ALL DIMENSIONS AND CONDITIONS OF THE SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.

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NO. 16.3011 ISSUED TO CLIENT FOR PRELIMINARY SUBMISSION
DATE: WORK DESCRIPTION:
jardin
DESIGN GROUP INC.
64 JARDIN DR. SUITE 3A
VAUGHAN, ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca