

THE CORPORATION OF THE CITY OF MISSISSAUGA

BY-LAW NUMMBER.....

A by-law to amend By-law Number 0225-2007

WHEREAS pursuant to sections 34, 36 and 37 of the Planning Act, R.S.O. 1990, c.P.13, as amended, the council of a local municipality may, respectively, pass a zoning by-law, impose a holding provision and require a public benefits contribution;

NOW THEREFORE the council of The Corporation of the City of Mississauga ENACTS as follows:

1. By-law Number 0225-2007, as amended, being a City of Mississauga Zoning By-law, is amended by adding the following Exception Table:

4.13.3.xx	Exception: RM8-xx	Map #15	By-law:
In a RM8-xx zone the permitted uses and applicable regulations shall be as specified for a RM8 zone except that the following regulations shall apply:			
Regulations			
<i>Detailed Zoning Regulations to be determined to permit the proposed development and built form.</i>			
4.13.3.xx.1			
4.13.3.xx.2 Maximum floor space index			1.6
4.13.3.xx.3 Maximum height: flat roof			15.0 m and 4 storeys

2. Map Number 15 of Schedule "B" to By-law Number 0225-2007, as amended, being a City of Mississauga Zoning By-law, is amended by changing thereon from "R3" to "**RM8-xx**", the zoning of Part of Block A of Registered Plan E-23, South of Dundas Street, in the City of Mississauga, PROVIDED HOWEVER THAT the "RM6-19" shall only apply to the lands which are shown on the attached Schedule "**A**", which is deemed to be an integral part of this By-law, outline in the heaviest broken line with the "**RM8-xx**" zoning indicated thereon.
3. This By-law shall not come into force until Mississauga Official Plan Amendment Number **xx** is in full force and effect.

ENACTED and PASSED this _____ day of _____ 2018.

MAYOR

CLERK

APPENDIX "A" TO BY-LAW NUMBER _____

Explanation of the Purpose and Effect of the By-law

The purpose of this By-law is to permit the development of the subject lands for back to back stacked townhouses.

This By-law amends the zoning of the property outlined on the attached Schedule "A" from "R3" (Residential Detached) to "RM8-xx" (Back to Back Stacked Townhouses).

"R3" permits detached dwelling.

"RM8-xx" zone will permit back to back stacked townhouses with a maximum floor space index of 1.6 and a maximum height of 15 metres. There are also exceptions for setbacks, encroachments, parking and required amenity area.

Location of Lands Affected

West side of Argyle Road, south of Dundas Street, in the City of Mississauga, as shown on the attached Map designated as Schedule "A".

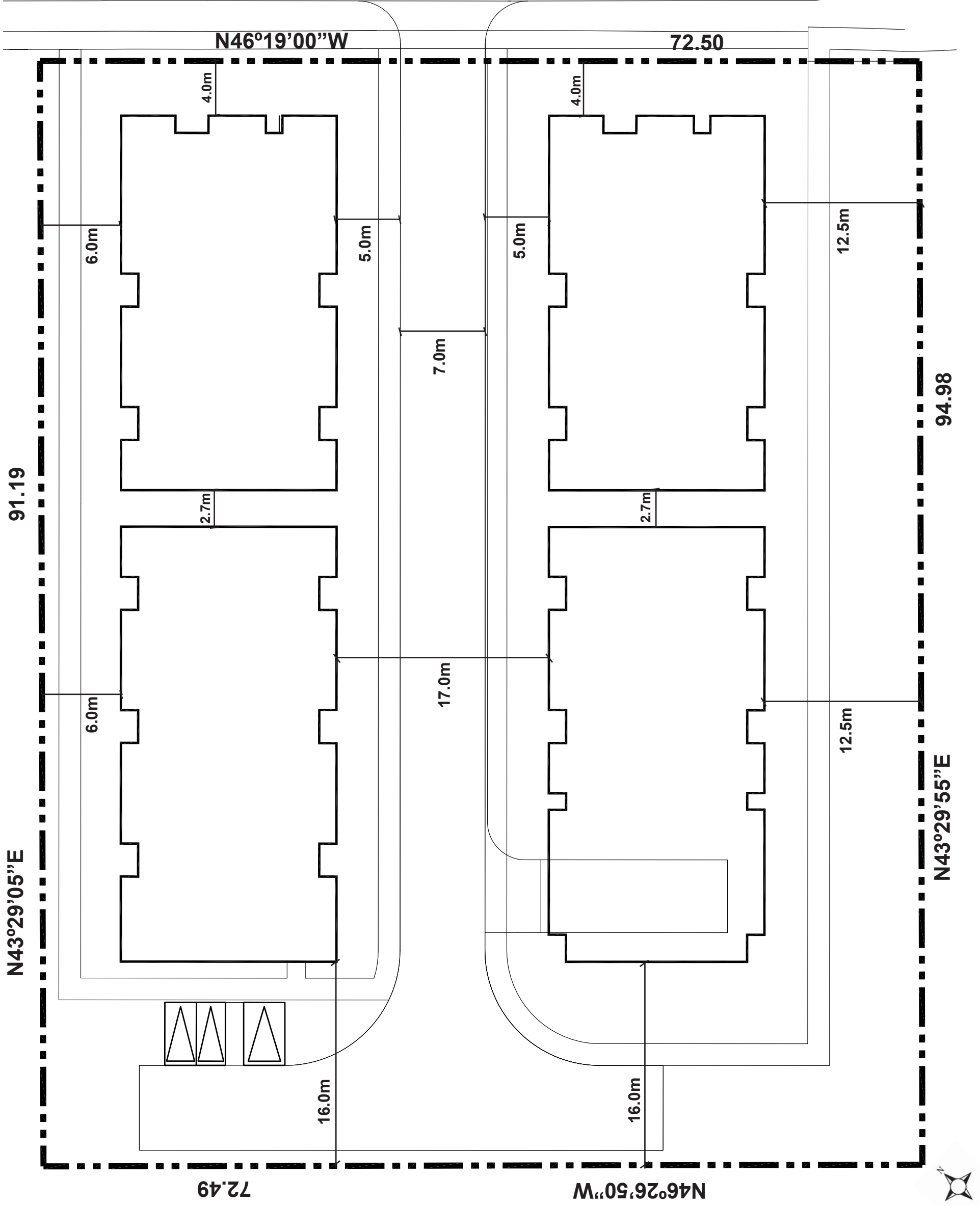
Further information regarding this By-law may be obtained from _____ of the City Planning and Building Department at _____.

DRAFT

Schedule A RM8-xx

2512-2532 Argyle Road

Argyle Road



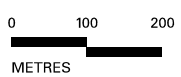
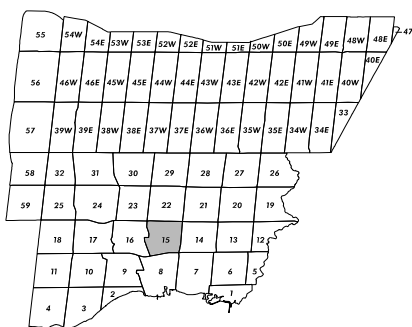
Zoning By-law Amendment ?? Schedule B

2512-2532 Argyle Road, Mississauga



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Greenlands Overlay
 Zoning Notation Example:
 R4-12 = R4-Exception 12

Zoning Map 15
 Schedule "B" To
 By-law No. 0225-2007
 Revised: 2017 July 31