

THE CORPORATION OF THE CITY OF MISSISSAUGA

BY-LAW NUMBER XXX-2019

A by-law to amend By-law Number 0225-2007, as amended.

WHEREAS pursuant to section 34 and 36 of the *Planning Act*, R.S.O. 1990, c.P.13, as amended, the Council of a local municipality may pass a zoning by-law;

NOW THEREFORE, the Council of the Corporation of the City of Mississauga ENACTS as follows:

- 1 The lands subject to this By-law consist of Part of Lot 1, Concession 1, City of Mississauga, as shown in hatching on Schedule “A” attached hereto, and that Schedule “A” forms part of this By-law
- 2 By-law Number 0225-2007, as amended, being a City of Mississauga Zoning By-law, is amended by deleting Exception Table 4.15.6.42 and substituting the following therefor:

4.15.6.42	Exception: RA5-42	Map #37E	By-law: XXX-2019
In a RA5-42 zone the permitted uses and applicable regulations shall be as specified for a RA5 zone except that the following uses/regulations shall apply:			
Additional Permitted Uses			
4.15.6.42.1	(1) Office (2) Medical Office – Restricted (3) Retail Store (4) Financial Institution (5) Restaurant (6) Take-out Restaurant (7) Personal Service Establishment (8) Veterinary Clinic		
Regulations			
4.15.6.42.2	The provisions of Lines 1.0 and 3.0 contained in Table 2.1.2.1.1, Subsection 2.1.14, Subsection 4.1.15 and Lines 13.6, 15.4, 15.5 and 15.6 contained in Table 4.15.1 of this By-law shall not apply		
4.15.6.42.3	For the purposes of this By-law, all lands zoned RA5-42 shall be considered one (1) lot		
4.15.6.42.4	Maximum number of dwelling units on all lands zoned RA5-42	1 734	
4.15.6.42.5	The uses contained in Sentence 4.15.6.42.1 shall only be located within a building, structure or part thereof, used for an apartment, long-term care building, retirement building or any combination thereof		

4.15.6.42	Exception: RA5-42	Map #37E	By-law: XXX-2019															
4.15.6.42.6	Minimum total gross floor area – non-residential used for uses identified in Sentence 4.15.6.42.1, in Areas ‘A1’ and ‘A2’ identified on Schedule RA5-42 of this Exception shall comply with the following: <table><tr><td>Area</td><td>Minimum Gross Floor Area – Non-Residential</td></tr><tr><td>A1</td><td>0 m²</td></tr><tr><td>A2</td><td>8 000 m²</td></tr></table>			Area	Minimum Gross Floor Area – Non-Residential	A1	0 m ²	A2	8 000 m ²									
Area	Minimum Gross Floor Area – Non-Residential																	
A1	0 m ²																	
A2	8 000 m ²																	
4.15.6.42.7	Maximum total gross floor area – non-residential used for uses contained in Sentence 4.15.6.42.1, on all lands zoned RA5-42	15 000 m ²																
4.15.6.42.8	Office and medical office – restricted shall not be permitted above the fifth storey																	
4.15.6.42.9	Retail store, financial institution, restaurant, take-out restaurant, and personal service establishment shall not be permitted above the second storey																	
4.15.6.42.10	Indoor amenity areas accessory to an apartment, long-term care building or retirement building, shall not be permitted on the first storey within 10.0m of the lot lines for the portions of Area ‘A2’ abutting Watergarden Drive and Hurontario Street identified on Schedule RA5-42 of this Exception																	
4.15.6.42.11	Minimum floor space index – apartment zone on all lands zoned RA5-42	2.9																
4.15.6.42.12	Maximum floor space index – apartment zone on all lands zoned RA5-42	8.65																
4.15.6.42.13	Minimum and maximum building height and height of a podium of all buildings and structures in Areas ‘A1’ and ‘A2’ identified in Schedule RA5-42 of this Exception shall comply with the following: <table><tr><td>Area</td><td>Minimum Building Height</td><td>Maximum Building Height</td><td>Minimum Height of Podium</td><td>Maximum Height of Podium</td></tr><tr><td>A1</td><td>10 storeys</td><td>26 storeys</td><td>2 storeys</td><td>6 storeys</td></tr><tr><td>A2</td><td>20 storeys</td><td>50 storeys</td><td>1 storeys</td><td>10 storeys</td></tr></table>			Area	Minimum Building Height	Maximum Building Height	Minimum Height of Podium	Maximum Height of Podium	A1	10 storeys	26 storeys	2 storeys	6 storeys	A2	20 storeys	50 storeys	1 storeys	10 storeys
Area	Minimum Building Height	Maximum Building Height	Minimum Height of Podium	Maximum Height of Podium														
A1	10 storeys	26 storeys	2 storeys	6 storeys														
A2	20 storeys	50 storeys	1 storeys	10 storeys														
4.15.6.42.14	Minimum setback from a parking structure completely below finished grade to a street line	0.0 m																
4.15.6.42.15	At the ground floor only, a building shall be located at the build-to-line identified on Schedule RA5-42 of this Exception																	
4.15.6.42.16	Notwithstanding the provisions of Sentence 4.15.6.42.15, a maximum of 76% of the length of a streetwall may be set back beyond the build-to-line identified on Schedule RA5-42 of this Exception, up to a maximum of 7.5 m																	

4.15.6.42	Exception: RA5-42	Map #37E	By-law: XXX-2019
4.15.6.42.17	Notwithstanding the provisions of Sentences 4.15.6.42.15 and 4.15.6.42.16, a maximum of 15% of the length of a streetwall may be set back beyond the build-to-line identified on Schedule RA5-43 of this Exception		
4.15.6.42.18	An at-grade driveway, aisle, parking area or loading space shall not be permitted between a wall of a building, structure or part thereof, and the lot line abutting a street		
4.15.6.42.19	Minimum number of resident parking spaces per one-bedroom and two-bedroom condominium apartment dwelling unit	0.69	
4.15.6.42.20	Minimum number of resident parking spaces per three-bedroom condominium apartment dwelling unit	0.69	
4.15.6.42.21	Minimum number of visitor parking spaces per condominium apartment dwelling unit	0.15	
4.15.6.42.22	<p>For the visitor component, a shared parking arrangement may be used for the calculation of required visitor/non-residential parking in accordance with the following:</p> <p>the greater of</p> <p>0.15 visitor spaces per unit</p> <p>or</p> <p>Parking required for all non-residential uses, except restaurant and take-out restaurant</p> <p>Restaurant and take-out restaurant shall not be included in the above shared parking arrangement and shall be provided in accordance with applicable regulations contained in Table 3.1.2.2 of this By-law</p>		
4.15.6.42.23	Minimum number of parking spaces per 100 m ² gross floor area – non-residential for office, medical office – restricted, retail store, financial institution, and personal service establishment	4.3	
4.15.6.42.24	Minimum landscaped area	25% of lot area	
4.15.6.42.25	Main front entrances shall face a street		
4.15.6.42.26	Minimum above grade separation between buildings for that portion of the building above six (6) storeys except as identified on Schedule RA5-42 of this Exception	28.0 m	
4.15.6.42.27	Notwithstanding the location and setbacks of the tower component of the development as identified on Schedule RA5-42 of this Exception, the maximum projection of a balcony from the exterior wall of a tower	2.5 m	
4.15.6.42.28	Maximum projection of a canopy from the exterior building wall of a podium	3.0 m	

4.15.6.42	Exception: RA5-42	Map #37E	By-law: XXX-2019
4.15.6.42.29	Maximum projection of architectural elements, fins and cornices 2.5 m from the exterior building wall		
4.15.6.42.30	"Podium" means the base of a building, structure or part thereof located at or above established grade, that projects from the building		
4.15.6.42.31	"Height of a Podium" means the vertical distance between the established grade and the highest point of the roof surface of the podium		
4.15.6.42.32	All site development plans shall comply with Schedule RA5-42 of this Exception		
4.15.6.42.33	Height for a building, structure or part thereof, shall be exclusive of mechanical or architectural components such as mechanical equipment, mechanical penthouses, elevator machine rooms, stairwell enclosures, telecommunication equipment, parapets, turrets, cupolas, stairs and stair enclosures located on the roof, provided that the maximum height of the top of such components is no higher than 19.0 m above the height limit otherwise applicable.		
Holding Provision			
The holding symbol H is to be removed from the whole or any parts of the lands zoned H-RA5-42.			

- 3 The lands subject to this By-law consist of Part of Lot 1, Concession 1, City of Mississauga, as shown in hatching on Schedule "B" attached hereto, and that Schedule "B" forms part of this By-law
- 4 Map Number 37E of Schedule "C" to By-law Number 0225-2007, as amended, being a City of Mississauga Zoning By-law, is amended to remove the holding symbol H from the whole part of the lands zoned H-RA5-42, and to include different area labels as shown in Schedule "C"
- 5 By-law Number 0225-2007, as amended, being a City of Mississauga Zoning By-law, is amended by deleting Exception Table 4.15.6.43 and substituting the following therefor:

4.15.6.43	Exception: RA5-43	Map #37E	By-law: XXX-2018
In a RA5-43 zone the permitted uses and applicable regulations shall be as specified for a RA5 zone except that the following uses/regulations shall apply:			
Additional Permitted Uses			

4.15.6.43	Exception: RA5-43	Map #37E	By-law: XXX-2018						
4.15.6.43.1	(1) Retail Store (2) Restaurant (3) Take-out Restaurant (4) Personal Service Establishment (5) Financial Institution (6) Medical Office – Restricted (7) Office (8) Veterinary Clinic								
Regulations									
4.15.6.43.2	The provisions of Lines 1.0 and 3.0 of Table 2.1.2.1.1 contained in Article 2.1.2.1, Subsection 2.1.14, Subsection 4.1.15 and Lines 12.1 to 12.4, 13.6, 15.5 and 15.5 contained in Table 4.15.1 of this By-law shall not apply								
4.15.6.43.3	For the purposes of this By-law, all lands zoned RA5-43 shall be considered one (1) lot								
4.15.6.43.4	The uses contained in Sentence 4.15.6.43.1 shall only be permitted within a building, structure or part thereof, used for an apartment, long-term care building, retirement building, or any combination thereof								
4.15.6.43.5	Minimum gross floor area – non-residential used for uses identified in Sentence 4.15.6.43.1 in Areas ‘A1’ and ‘A2’ identified on Schedule RA5-43 of this Exception shall comply with the following: <table><tr><td>Area</td><td>Minimum Gross Floor Area – Non-Residential</td></tr><tr><td>A1</td><td>230 m²</td></tr><tr><td>A2</td><td>2 000 m²</td></tr></table>			Area	Minimum Gross Floor Area – Non-Residential	A1	230 m²	A2	2 000 m²
Area	Minimum Gross Floor Area – Non-Residential								
A1	230 m²								
A2	2 000 m²								
4.15.6.43.6	Maximum total gross floor area – non-residential used for uses contained in Sentence 4.15.6.43.1, on all lands zoned RA5-43	10 200 m²							
4.15.6.43.7	Uses contained in Sentence 4.15.6.43.1 shall not be permitted above the third storey								
4.15.6.43.8	Apartment, long-term care and retirement dwelling units shall not be permitted on the first storey of buildings located within Area ‘A2’ identified on Schedule RA5-43 of this Exception								
4.15.6.43.9	Indoor amenity areas accessory to an apartment, long-term care building or retirement building, shall not be permitted on the first storey of building located within 10.0m of the lot line abutting Hurontario Street identified on Schedule RA5-43 of this Exception								
4.15.6.43.10	Minimum floor space index – apartment zone on all lands zoned RA5-43	2.9							
4.15.6.43.11	Maximum floor space index – apartment zone on all lands zoned RA5-43	6.58							

4.15.6.43	Exception: RA5-43	Map #37E	By-law: XXX-2018		
4.15.6.43.12	Maximum number of dwelling units on all lands zoned RA5-43		1 220		
4.15.6.43.13	Minimum and maximum building height and height of a podium of all buildings and structures in Areas ‘A1’ and ‘A2’ identified on Schedule RA5-43 of this Exception shall comply with the following:				
	Area	Minimum Building Height	Maximum Building Height	Minimum Height of Podium	Maximum Height of Podium
	A1	5 storeys	34 storeys	1 storeys	4 storeys
	A2	10 storeys	45 storeys	3 storeys	6 storeys
4.15.6.43.14	Minimum setback to a walkway unless otherwise identified on Schedule RA5-43 of this Exception		3.0 m		
4.15.6.43.15	Minimum setback to a private road identified on Schedule RA5-43 of this Exception		3.0 m		
4.15.6.43.16	Minimum setback from a parking structure completely below finished grade to a street line		0.0 m		
4.15.6.43.17	A building shall be located at the build-to-line in each of Areas ‘A1’ and ‘A2’ identified on Schedule RA5-43 of this Exception				
4.15.6.43.18	Notwithstanding the provisions of Sentence 4.15.6.43.17, a maximum of 37% of the length of a streetwall may be set back beyond the build-to-line identified on Schedule RA5-43 of this Exception, up to a maximum of 7.5 m				
4.15.6.43.19	Notwithstanding the provisions of Sentences 4.15.6.43.17 and 4.15.6.43.18, a maximum of 6% of the length of a streetwall may be set back beyond the build-to-line identified on Schedule RA5-43 of this Exception				
4.15.6.43.20	Maximum encroachment into a required yard of a balcony or canopy located above the first storey, sunroom, window, chimney, pilaster, cornice, balustrade or roof eaves into a required yard		2.5 m		
4.15.6.43.21	Maximum projection of a balcony or canopy located above the first storey measured from the outermost face or faces of the building from which the balcony projects		2.5 m		
4.15.6.43.22	Maximum projection of a canopy from the exterior building wall extending beyond limits of the property line into the City Right-Of-Way, measured perpendicular to the property line		2.5 m		
4.15.6.43.23	An at-grade driveway, aisle, parking area or loading space shall not be permitted between a wall of a building, structure or part thereof, and the lot line abutting a street				
4.15.6.43.24	No internal road or driveway access shall be permitted to Salishan Circle				

4.15.6.43	Exception: RA5-43	Map #37E	By-law: XXX-2018
4.15.6.43.25	Minimum number of resident parking spaces per one-bedroom and two-bedroom condominium apartment dwelling units	0.69	
4.15.6.43.26	Minimum number of resident parking spaces per three-bedroom condominium apartment dwelling unit	0.69	
4.15.6.43.27	Minimum number of visitor parking spaces per condominium apartment dwelling unit	0.15	
4.15.6.43.28	<p>For the visitor component, a shared parking arrangement may be used for the calculation of required visitor/non-residential parking in accordance with the following:</p> <p>the greater of 0.15 visitor spaces per unit</p> <p>or</p> <p>Parking required for all non-residential uses, except restaurant and take-out restaurant</p> <p>Restaurant and take-out restaurant shall not be included in the above shared parking arrangement and shall be provided in accordance with applicable regulations contained in Table 3.1.2.2 of this By-law</p>		
4.15.6.43.29	Minimum number of parking spaces per 100 m ² gross floor area – non-residential for uses identified in Sentence 4.15.6.43.1, except Clauses 4.15.6.43.1(2) and 4.15.6.43.1(3)	4.3	
4.15.6.43.30	Minimum landscaped area	25% of lot area	
4.15.6.43.31	Main front entrance of buildings within Areas 'A1' and 'A2' identified on Schedule RA5-43 of this Exception, shall face a street		
4.15.6.43.32	Minimum above grade separation between buildings for that portion of the building above ten (10) storeys	26.5 m	
4.15.6.43.33	"Podium" means the base of a building or structure located at or above established grade, that projects from the building		
4.15.6.43.34	"Height of a Podium" means the vertical distance between the established grade and the highest point of the roof surface of the podium		
4.15.6.43.35	"Vertical Depth" means the distance between the finished grade level of the lands measured to the top of the roof membrane of a below grade parking structure		
4.15.6.43.36	All site development plans shall comply with Schedule RA5-43 of this Exception		

4.15.6.43	Exception: RA5-43	Map #37E	By-law: XXX-2018
4.15.6.43.37	Height for a building, structure or part thereof, shall be exclusive of mechanical or architectural components such as mechanical equipment, mechanical penthouses, elevator machine rooms, stairwell enclosures, telecommunication equipment, parapets, turrets, cupolas, stairs and stair enclosures located on the roof, provided that the maximum height of the top of such components is no higher than 11.0 m above the height limit otherwise applicable.		
Holding Provision			
<p>The holding symbol H is to be removed from the whole or any parts of the lands zoned H-RA5-43 by further amendment to Map 37E of Schedule B contained in Part 13 of this By-law, as amended, upon satisfaction of the following requirements:</p> <p>1) A satisfactory agreement is in place with the City of Mississauga for a \$375,000 public art contribution to be provided for Area ‘A2’ identified on Schedule RA5-43 of this Exception.</p>			


- 6 Map Number 37E of Schedule "C" to By law Number 0225 2007, as amended, being a City of Mississauga Zoning By law, is amended by changing thereon from "RA5 43" to "H RA5 43", the zoning of Part of Lot 1, Concession 1, West of Hurontario Street, in the City of Mississauga, PROVIDED HOWEVER THAT the "H RA5 43" zoning shall only apply to the lands which are shown on the attached Schedule "A", which is deemed to be an integral part of this By law, outlined in the heaviest broken line with the "H RA5 43" zoning indicated thereon.
- 7 This By-law shall not come into force until Mississauga Official Plan Amendment Number XX is in full force and effect.

ENACTED and PASSED this _____ day of _____ 2019.


MAYOR

CLERK

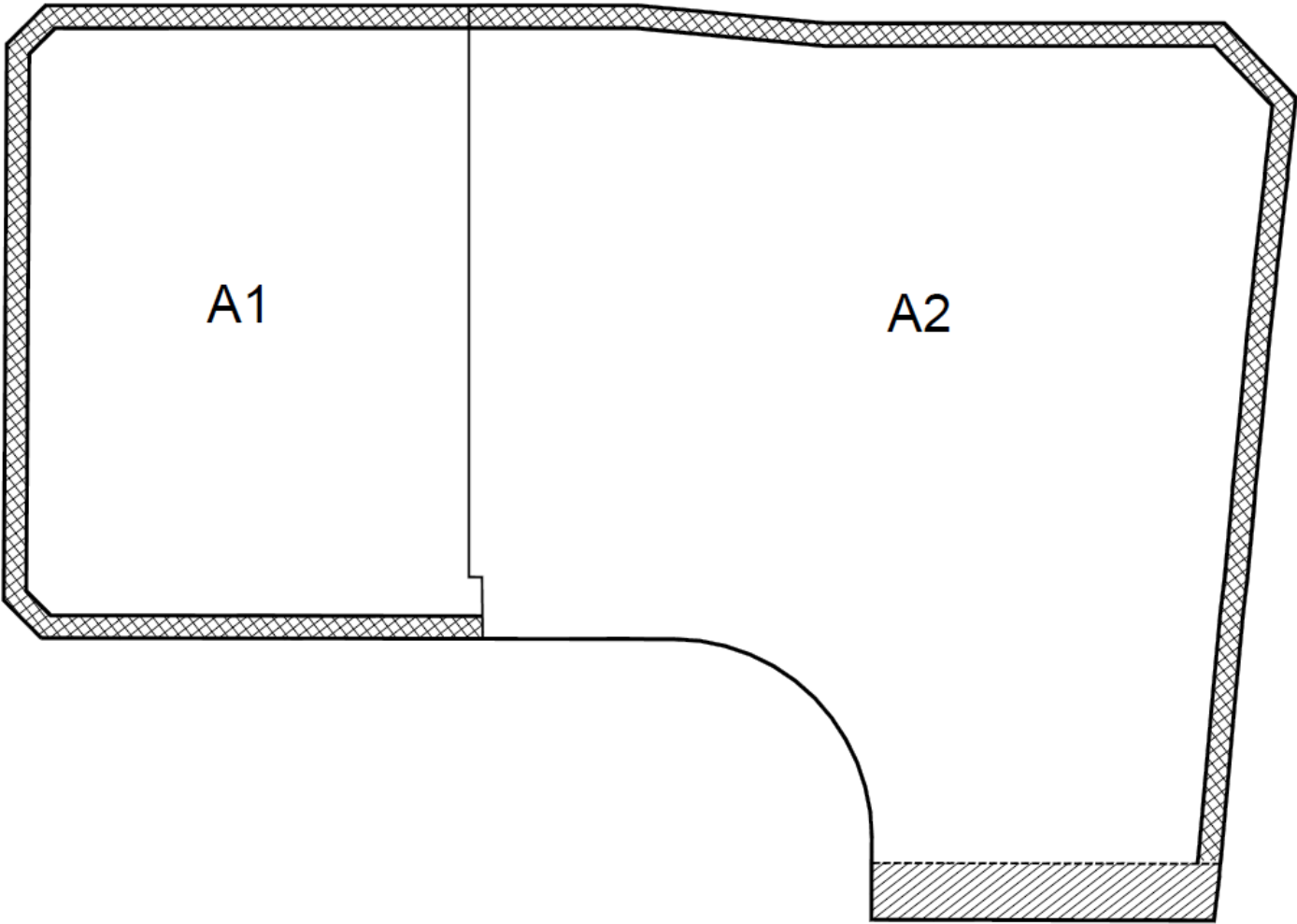
SCHEDULE "A" (EXCEPTION SCHEDULE RA5-42 ZONE)



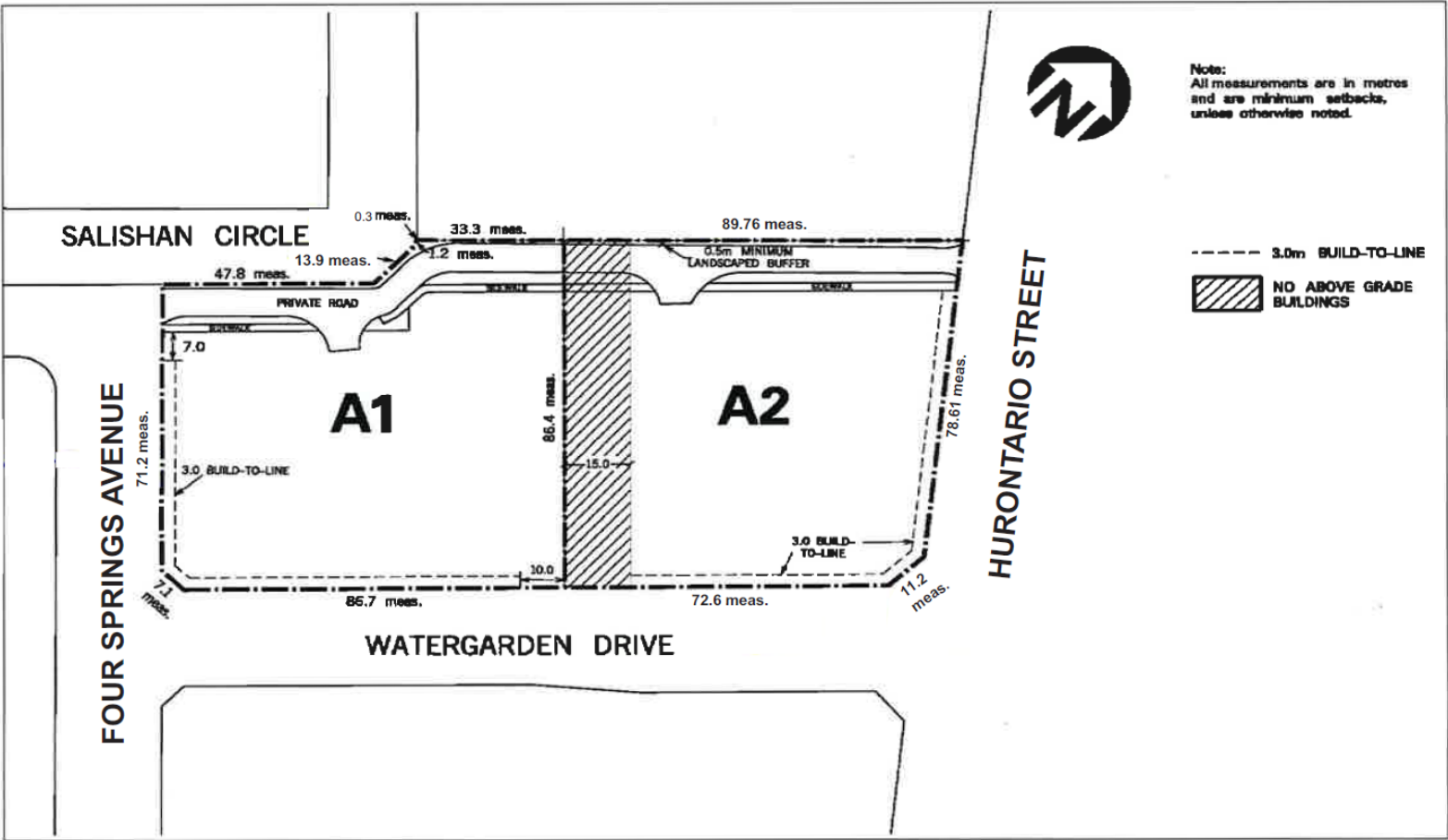
3.0m Build-to-Line



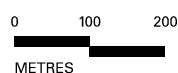
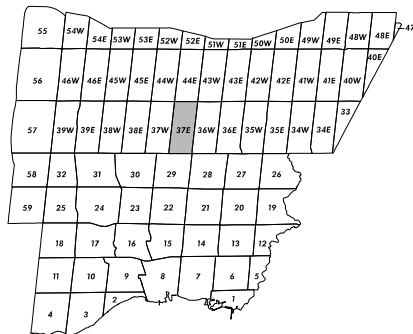
7.5m Walkway



SCHEDULE "B" (EXCEPTION SCHEDULE RA5-43 ZONE)



44E

**36W**

Zoning Notation Example:
R4-12 = R4-Exception 12

**Zoning
Map 37E**
Schedule "B" To
By-law No. 0225-2007
Revised: 2018 XXXXXXXX XX

APPENDIX “A” TO BY-LAW NUMBER XXX-2019

Explanation of the Purpose and Effect of the By-law

The purpose of this By-law is to permit site intensification of the property known as Part of Lot 1, Concession 1, West of Hurontario Street, City of Mississauga, Regional Municipality of Peel.

This By-law amends the zoning of the property outlines on the attached Schedule “A” from “H-RA5-42” to “RA5-42” and from “H-RA5-43” to “RA5-43”.

This By-law revises Exception Table 4.15.6.42 (RA5-42) and Exception Table 4.15.6.43 (RA5-43) of Zoning By-law 0225-2007 to allow for greater intensification.

The “RA5-42” zone in By-law 0225-2007 permits a maximum of 1,121 dwelling units, a maximum building height of 37-storeys and a maximum Floor Space Index (FSI) of 7.11. The applicable regulations of the RA5-42 zone are amended, as part of this By-law, to permit a maximum of 1,734 dwelling units, a maximum building height of 50-storeys and a maximum site density of 8.65 FSI.

The “RA5-43” zone in By-law 0225-2007 permits a maximum of 748 dwelling units, a maximum building height of 25-storeys and a maximum density of 5.19 FSI. The applicable regulations of the RA5-43 zone are amended, as part of this By-law, to permit a maximum of 1,220 dwelling units, a maximum building height of 45-storeys and a maximum site density of 6.60 FSI.

Location of the Lands Affected

The lands affected by this Amendment are located within the northwest quadrant of Hurontario Street and Eglinton Avenue West in the City of Mississauga, as shown on the attached Map designated as Schedule “A”.