

By-law No. XXXX-2018

To amend Zoning By-law Number 0225-2007, as amended, of the City of Mississauga with respect to the lands municipally known in the year 2018 as 7211 & 7233 Airport Road.

WHEREAS authority is given to the Council of a municipality by Section 34 of the *Planning Act*, R.S.O. 1990, c.P. 13, as amended, to pass Zoning By-laws; and

WHEREAS Council of the City of Mississauga has provided adequate information to the public and has held at least one public meeting in accordance with the *Planning Act*;

NOW THEREFORE the Council of The Corporation of the City of Mississauga ENACTS as follows:

1. Schedule 'B' of By-law Number 0225-2007, as amended, is hereby further amended by revising Map No. 48W in accordance with Schedule "1" attached to and forming part of this By-law
2. By-law Number 0225-2007, as amended, is hereby further amended by adding the following Exception Table at the end of Part 4.12.2:

6.2.5	Exception C4	Map # XX	By-law: XXXX-2018
In a C4 zone the permitted uses and applicable regulations shall be as specified for a C4 zone except that the following uses/regulations shall apply:			
Regulations			
Table 6.2.1	C4 Mainstreet Commercial Regulations		
	(1) maximum front yard setback		9.5 m
	(2) maximum height		19.0 m / 5 storeys
	(3) notwithstanding table 6.2.1., commercial uses shall be permitted within first storey of an apartment dwelling		

3. By-law Number 0225-2007, as amended, being a City of Mississauga Zoning By-law, is amended by adding Schedule C4-XX attached hereto
4. Notwithstanding any existing or future severance, partition, or division of part of the lands, the provisions of this By-law shall continue to apply to the lands which are shown on the attached Schedule "1" outlined in the heaviest broken line with the "RA2-XX" zoning indicated thereon.

ENACTED and PASSED this _____ day
of _____ 2018

MAYOR

CLERK

APPENDIX "A" TO BY-LAW NUMBER _____

Explanation of the Purpose and Effect of the By-law

To permit a 5 storey Apartment Dwelling with 119 units and 119 square metres of commercial plans.

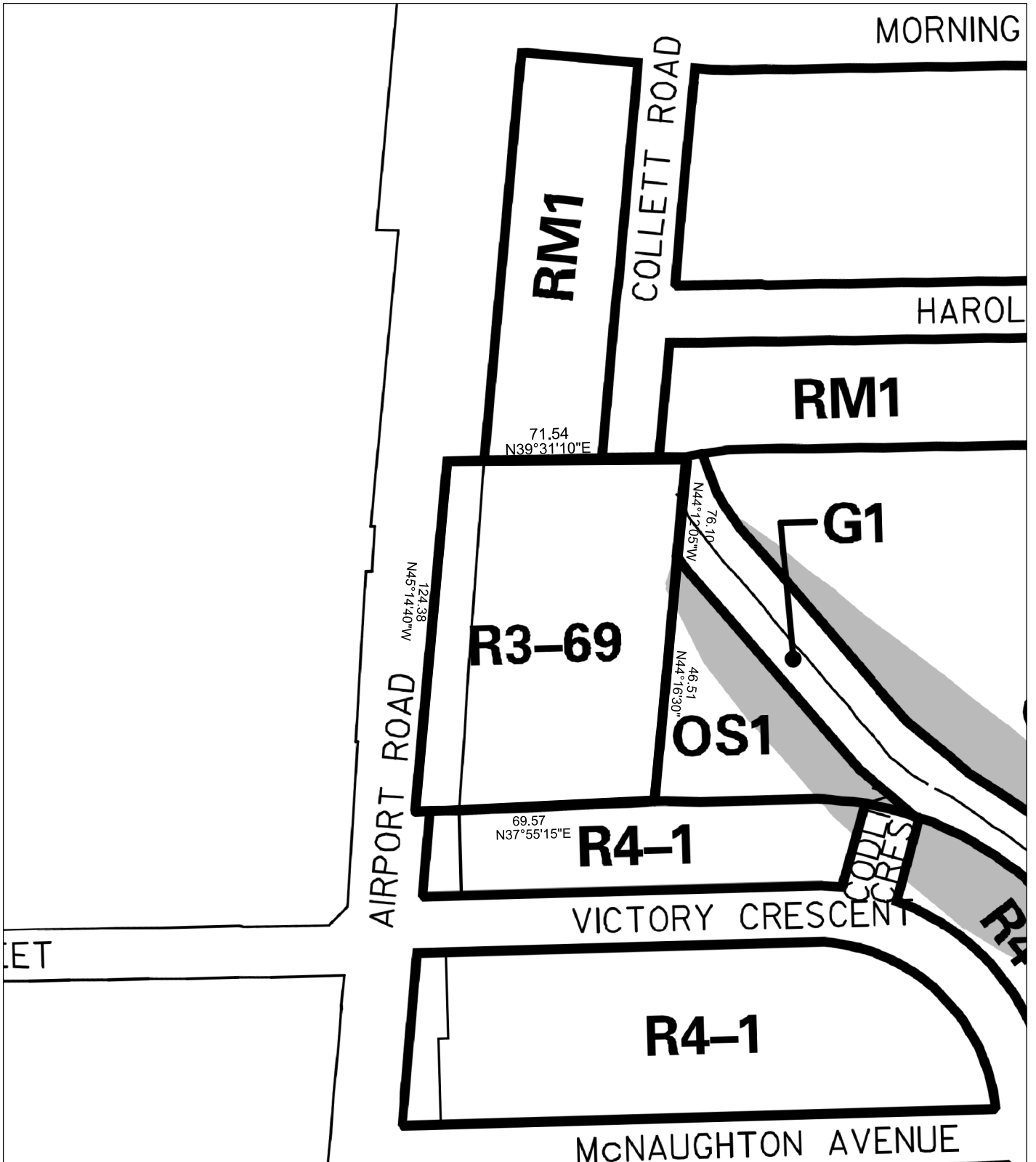
This By-law amends the zoning of the property outlined on the attached Schedule "A" from "(R3)" to "(Exemption C4-XX, OS1 and G1).

"(Exemption C4-XX)" permits an Apartment Dwelling with a maximum of 289 dwelling units and 158 square metres of commercial space and a maximum height of 29-storeys.

Location of Lands Affected

Municipally known as 86-90 Dundas Street East, in the City of Mississauga, as shown on the attached Map designated as Schedule "A".

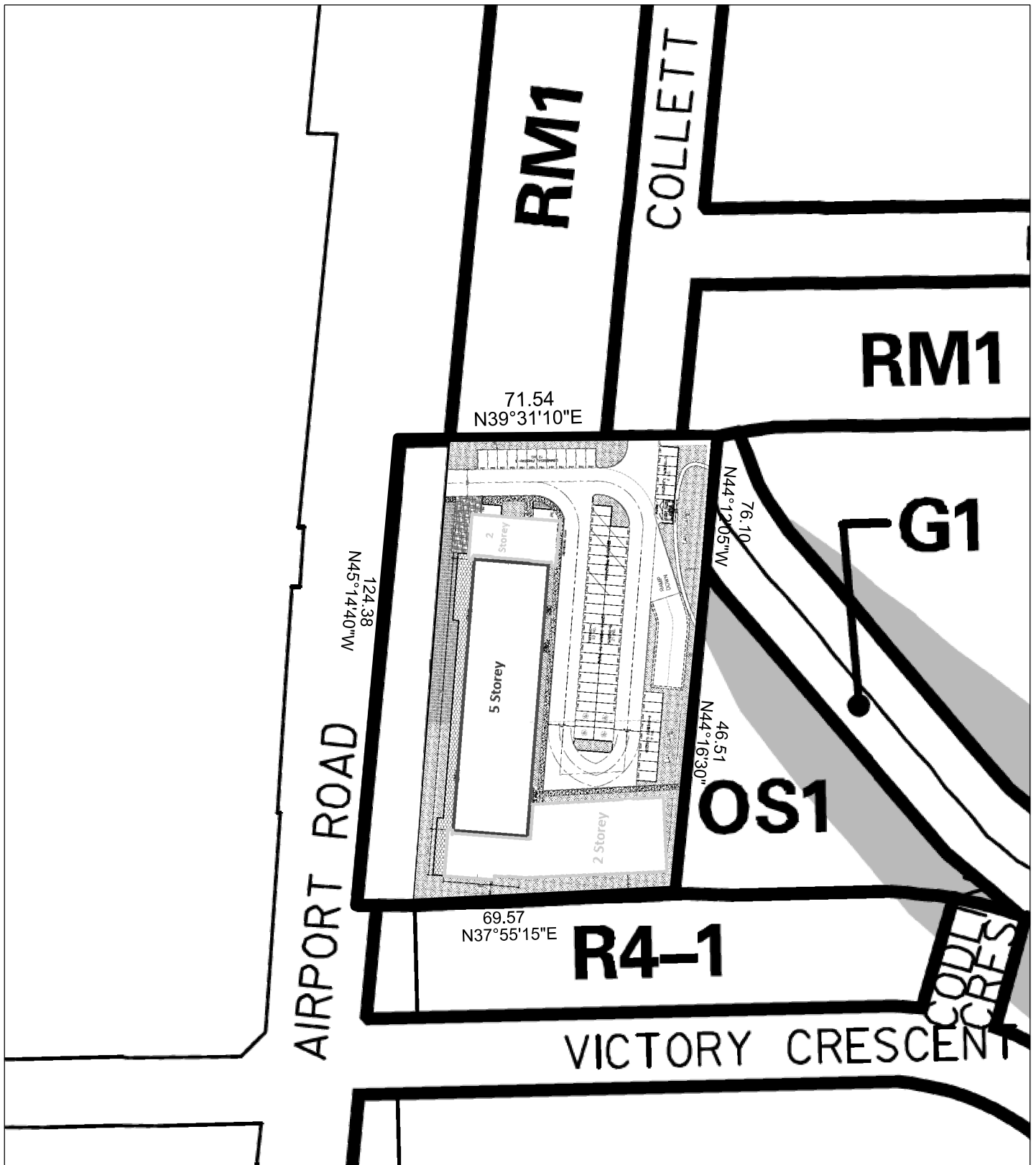
Further information regarding this By-law may be obtained from _____ of the City Planning and Building Department at 905-615-3200 extension _____.



Not to Scale

PART OF LOTS 99 AND 100
REGISTERED PLAN 323

THIS IS SCHEDULE "1" TO ZONING
BY-LAW AMENDMENT XX



Not to Scale

PART OF LOTS 99 AND 100
REGISTERED PLAN 323

THIS IS SCHEDULE "2" TO ZONING
BY-LAW AMENDMENT XX