

**Appendix II - Draft Zoning
By-law Amendment**

**Application to Amend the Official
Plan and Zoning By-law**

**151516 Canada Inc.
60 Bristol Road East
Part of Block 179, Registered Plan
43M-782, City of Mississauga**

April 2019

A by-law to amend By-law Number 0225-2007, as amended.

WHEREAS pursuant to sections 34, 36 and 37 of the *Planning Act*, R.S.O. 1990, c.P.13, as amended, the council of a local municipality may, respectively, pass a zoning by-law, impose a holding provision and require a public benefits contribution;

NOW THEREFORE the Council of The Corporation of the City of Mississauga ENACTS as follows:

1. By-law Number 0225-2007, as amended, being a City of Mississauga Zoning By-law, is amended by adding the following Exception Table:

6.2.5.XX	Exception: C4-XX	Map #36W	By-law:
In a C4-XX zone the permitted uses and applicable regulations shall be as specified for a C4 zone except that the following uses/regulations shall apply:			
Additional Permitted Uses			
6.2.5.XX.1	(1)	Outdoor garden centre accessory to a retail store	
Regulations			
6.2.5.XX.2	The provisions of Sentence 3.1.1.2.1 and Line 15.0 contained in Table 6.2.1 of this By law shall not apply		
6.2.5.XX.3	Maximum front yard		6.0 m
6.2.5.XX.4	Maximum exterior side yard		6.0 m
6.2.5.XX.5	Maximum height		92.0 m and 25 storeys
6.2.5.XX.6	Minimum Height Requirement - Hurontario Street Corridor		One (1) storey
6.2.5.XX.7	Minimum depth of a landscaped buffer measured from the lot line of a Commercial Zone that abuts another Commercial Zone		0.0 m

6.2.5.XX	Exception: C4-XX	Map #36W	By-law:
6.2.5.XX.8	Minimum number of resident parking spaces per condominium dwelling unit		1.0
6.2.5.XX.9	Minimum number of visitor parking spaces per condominium dwelling unit		0.15
6.2.5.XX.10	Required number of parking spaces for non-residential uses		0.0
6.2.5.XX.11	Notwithstanding Sentence 3.1.1.2.1 of By-law 0225-2007, parking spaces for non-residential uses are permitted on the adjacent lands zoned C2-15		

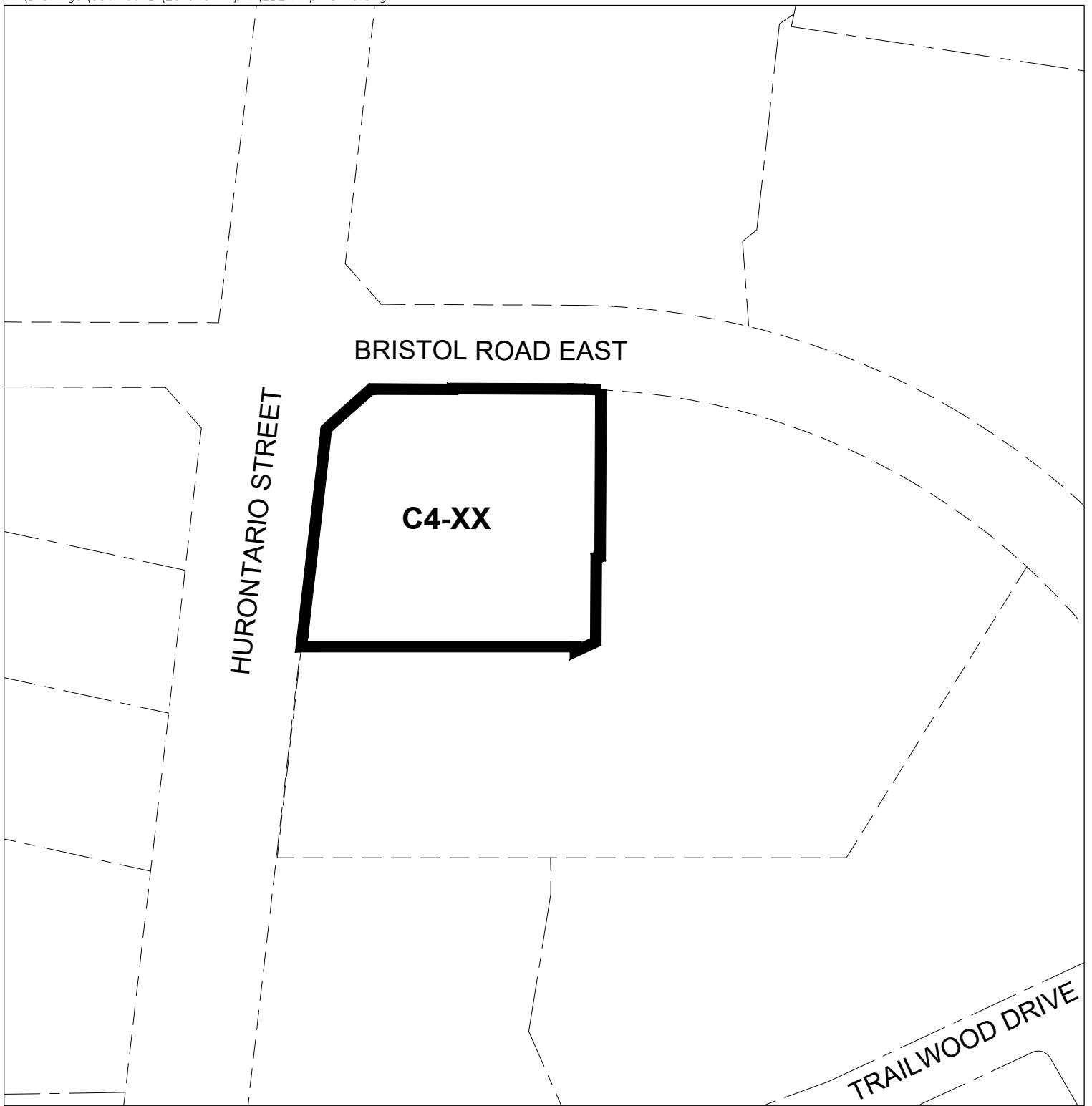
2. Map Number 36W of Schedule "B" to By-law Number 0225-2007, as amended, being a City of Mississauga Zoning By-law, is amended by changing thereon from "C2-15" to "C4-XX", the zoning of Part of Block 179, Registered Plan 43M-782, in the City of Mississauga, PROVIDED HOWEVER THAT the "C4-XX" zoning shall only apply to the lands which are shown on the attached Schedule "A", which is deemed to be an integral part of this By-law, outlined in the heaviest broken line with the "C4-XX" zoning indicated thereon.

3. This By-law shall not come into force until Mississauga Official Plan Amendment Number XX is in full force and effect.

ENACTED and PASSED this _____ day of _____ 2019.

MAYOR

CLERK



BLOCK 179, REGISTERED PLAN 43M-782,
EAST OF HURONTARIO STREET,
CITY OF MISSISSAUGA
REGIONAL MUNICIPALITY OF PEEL

THIS IS SCHEDULE "A" TO
BY-LAW _____
PASSED BY COUNCIL

APPENDIX "A" TO BY-LAW NUMBER _____

Explanation of the Purpose and Effect of the By-law

The purpose of this By-law is to permit one 25-storey and one 16-storey apartment building with grade related commercial uses.

This By-law amends the zoning of the property outlined on the attached Schedule "A" from "C2-15" (Neighbourhood Commercial – Exception 15) to "C4-XX" (Mainstreet Commercial - Exception).

"C2-15" permits a variety of commercial, service, office, and entertainment/recreation uses, as well as an outdoor garden centre accessory to a retail store.

The "C4-XX" zone will permit apartments with grade related commercial uses.

Location of Lands Affected

Southeast corner of Hurontario Street and Bristol Road East in the City of Mississauga, as shown on the attached Map designated as Schedule "A".

Further information regarding this By-law may be obtained from XX of the City Planning and Building Department at 905-615-3200 ext. XXXX.