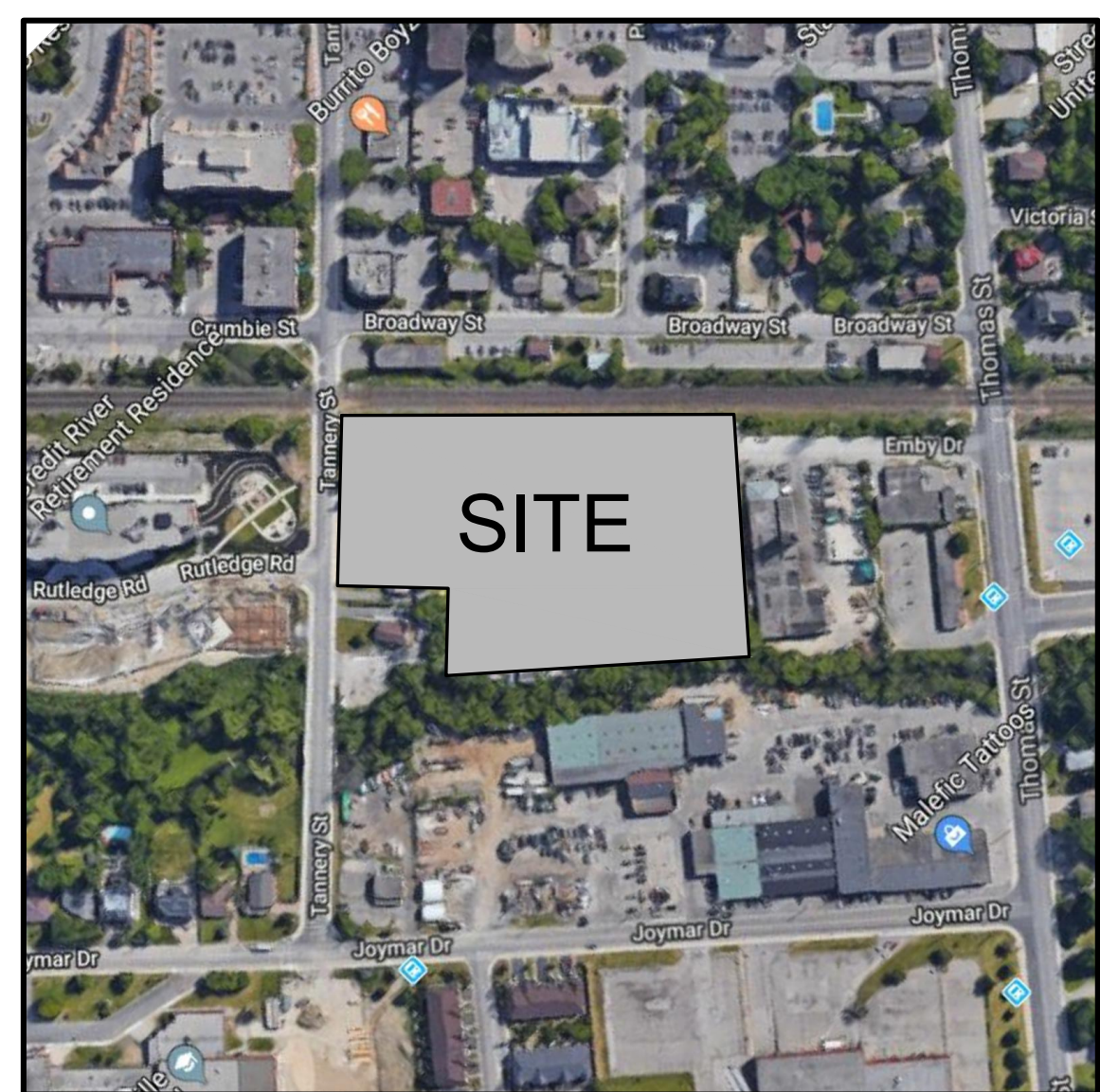
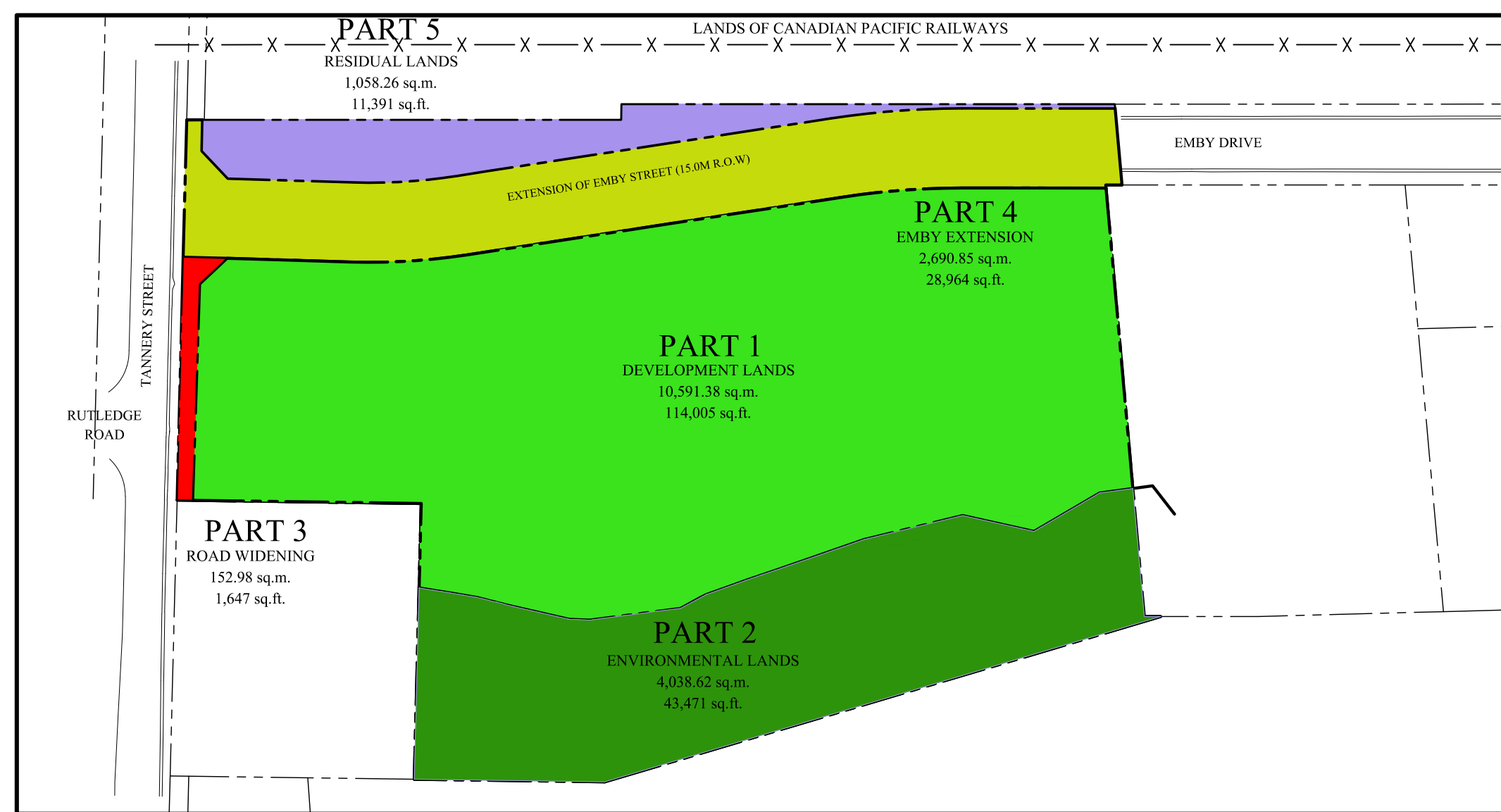




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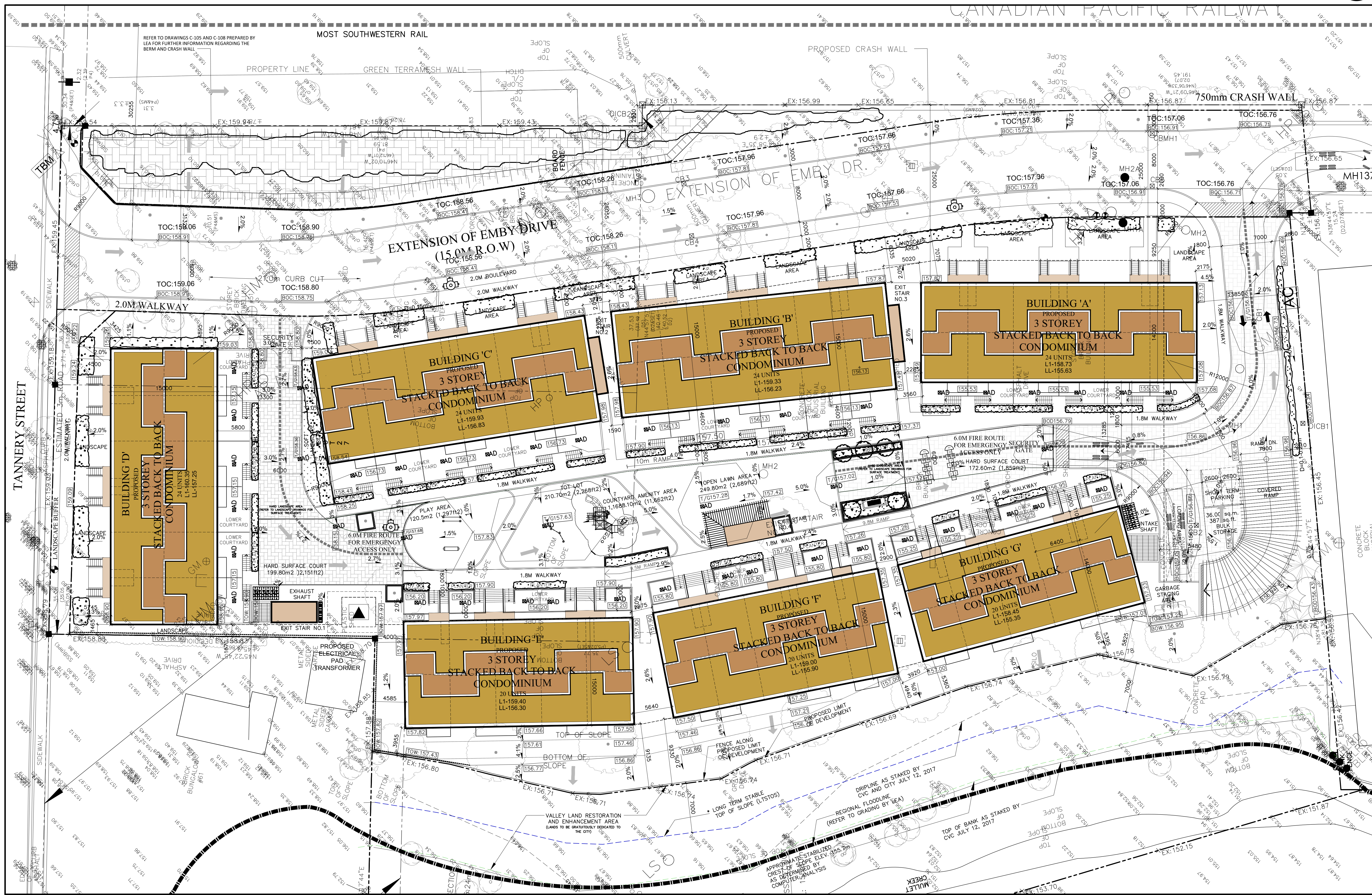
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1	As per City Comments	JUNE 24, 2019



WASTE MANAGEMENT NOTES:

UNCOMPACTED RECYCLING WASTE WILL BE BROUGHT TO THE LOADING BAY FROM THE WASTE STORAGE ROOM LOCATED IN THE P1 PARKING GARAGE BY A BIN PULLER / TRACTOR ON GARBAGE DAY FOR PICKUP.

BINS:
G: GARBAGE R: RECYCLING

WASTE STORAGE ROOM REQUIREMENTS

UNCOMPACTED WASTE CALCULATIONS

Proposed units:	156
G : 18 units / bin:	156 / 18 = 9 bins
R : 45 units / bin:	156 / 45 = 4 bins
Total Waste Storage Room Area:	83.89M2

Bulky Items Storage Area: 10m²

Waste Management Notes

	acres	sq. ft.	sq. ft.
Part 1 - Development Land	2,877.1	10,634.90	116,639
Part 2 - Environmental Land	0.980	3,802.30	42,963
Part 3 - Road Widening	2,027.6	152.30	1,900
Part 4 - Empty Road Extension	5,113.0	2,676.30	22,340
Part 5 - Residual Land	5,255.0	1,032.30	11,100
Net Site Area	4.42	17,084.80	192,699.41

GROSS FLOOR AREA (GFA) OF TOWNHOUSES					
2.1 Proposed GFA - Townhouse - Block B,C,D					
	number of blocks	sq.m	sq.m	sq ft	
Lower Level	3	x	567.28	1,201.58	16,351
Level 1	3	x	545.00	1,826.40	17,486
Level 2	3	x	578.00	1,728.00	18,510
Level 3	3	x	578.00	1,728.00	18,600
Roof Top enclosure	3	x	100.00	541.96	5,834
Total			2,368.28	7,324.96	79,681

2.1 Proposed GFA - Townhouse - Block B & F			
	number of blocks	sq.m	sq.ft
Lower Level	2	x	
Level 1	2	x	
Level 2	2	x	
Level 3	2	x	
Roof Top Enclosure	2	x	
Total Townhouse GFA			4,668.20

2.4 Proposed GFA - Townhouse - Block A					
	number of blocks		sq.m	sq.m	sq.m
Lower Level	1	X	531.36	531.36	5,720
Level 1	1	X	451.20	451.20	4,857
Level 2	1	X	568.22	568.22	6,030
Level 3	1	X	501.80	501.80	5,388
Roof Top Enclosure	1	X	458.20	458.20	4,821
Total Townhouse GFA			2,519.88		27,826

2.4 Proposed GPA - Townhouse - Block G			
	number of blocks	sq-m	sq-ft
Lower Level	1	442.80	4,768
Level 1	1	378.00	4,047
Level 2	1	408.88	4,370
Level 3	1	417.50	4,494
Roof Top Enclosure	1	141.00	1,516
Total Townhouse GPA		1,684.15	18,095

	sq. ft.	sq. ft.
Building B, C, & D	7,324.96	76,641
Building E & F	4,068.20	43,801
Building A	2,212.98	23,630
Building G	1,844.15	19,450
Grand Total	15,449.89	166,312

2f Proposed GFA - Underground Parking Garage

	sq. ft.	sq. ft.
--	---------	---------

Underground Parking Garage		7,827.90	\$2,889.
Total GPA - Underground Parking Garage		7,827.90	\$4,899
2.1 Proposed PSI (Part 1 Only)			
Total GPA		Side Area (Part 1)	PSI
15,869.88		= 10,834.00 sq ft	1.46
0 UNIT COUNT			
		No. of Units	

Building A	24
Building B	24
Building C	24
Building D	24
Building E	20
Building F	20
Building G	20
Total Unit Count	196

PARKING			
4) Parking Required			
	No. of Units	Parking Ratio	Parking Spaces
Residential	156	1:20	200
Residential - Visitor	156	1:20	31
Parking Required			234
4) Parking Provided			
			Parking Spaces
Residential			200
Residential - Visitor			34

Total Parking Provided			233
4.3 Accessible Parking Required			
	Percentage	Parking Spaces	
Nonresident Accessible Parking	292	4%	8.08
Visitor Accessible Parking	31	4%	7.24
Accessible Parking Required			15
4.4 Accessible Parking Provided			
			Parking Spaces
Accessible Parking			15

Total Accessible Parking Provided		13
0 AMENITY		
5.1 Outdoor Amenity Required		
	Site Area	sq. ft. sq. ft.
Outdoor Amenity - 12% x Site Area (Part 1)	10,834.20	1,003.40 11,962
Total Outdoor Amenity Required		1,003.40 11,962
5.2 Outdoor Amenity Provided		

Corrigues Courtyard Amenity Area	14 in.	60 ft
Phibbs Assembly (Staircase, Balcony and Patio)	1,766.50	12,235
	2,028.76	20,836
Total Outdoor Amenity Provided	2,196.80	34,611

5) Corrigues Courtyard Amenity Area Breakdown - (Mile)		
	sq m	sq ft
Hard Surface Court	372.4	4,006
Tot Lot Area	230.7	2,486
Play Area	120.5	1,297
Open Lawn Area	249.8	2,689

COVERAGE			
	Coverage Area (sq. ft.)	Site Area (sq. ft.)	Percentage
Building Coverage Area	3,969.00	10,834.00	33.0%
Landscaping Area (includes Fire Route or Part and/or Sub Total)	7,195.00	10,834.00	66.1%
Total Coverage Area			99.06%

RECYCLE PARKING	
Recycle Parking Required	

	No. of Units	Parking Ratio	Parking Spaces
Residential	156	0.60	62
Residential - Visitor	156	0.15	19
Multiple Parking Required			78
Bicycle Parking Provided			
			Parking Spaces
Residential - All PI Level			62
Residential Visitor - Surface			15
Total Bicycle Parking Provided			78

2	Re-Issue for Re-zoning	JUNE 24, 2019
1	OPA / ZBA	MAY 31, 2019
No.	ISSUED	DATE

Site Plan
Statistics & Context Plan

File No. OZ 18-12

Project:

NYX CAPITAL

Townhouse
Residential
Development

TANNERY TOWNHOMES
MISSISSAUGA, ONTARIO

AS NOTED

Drawn by:

T S

Checked by:

S.M. _____ File No.: _____

17-145

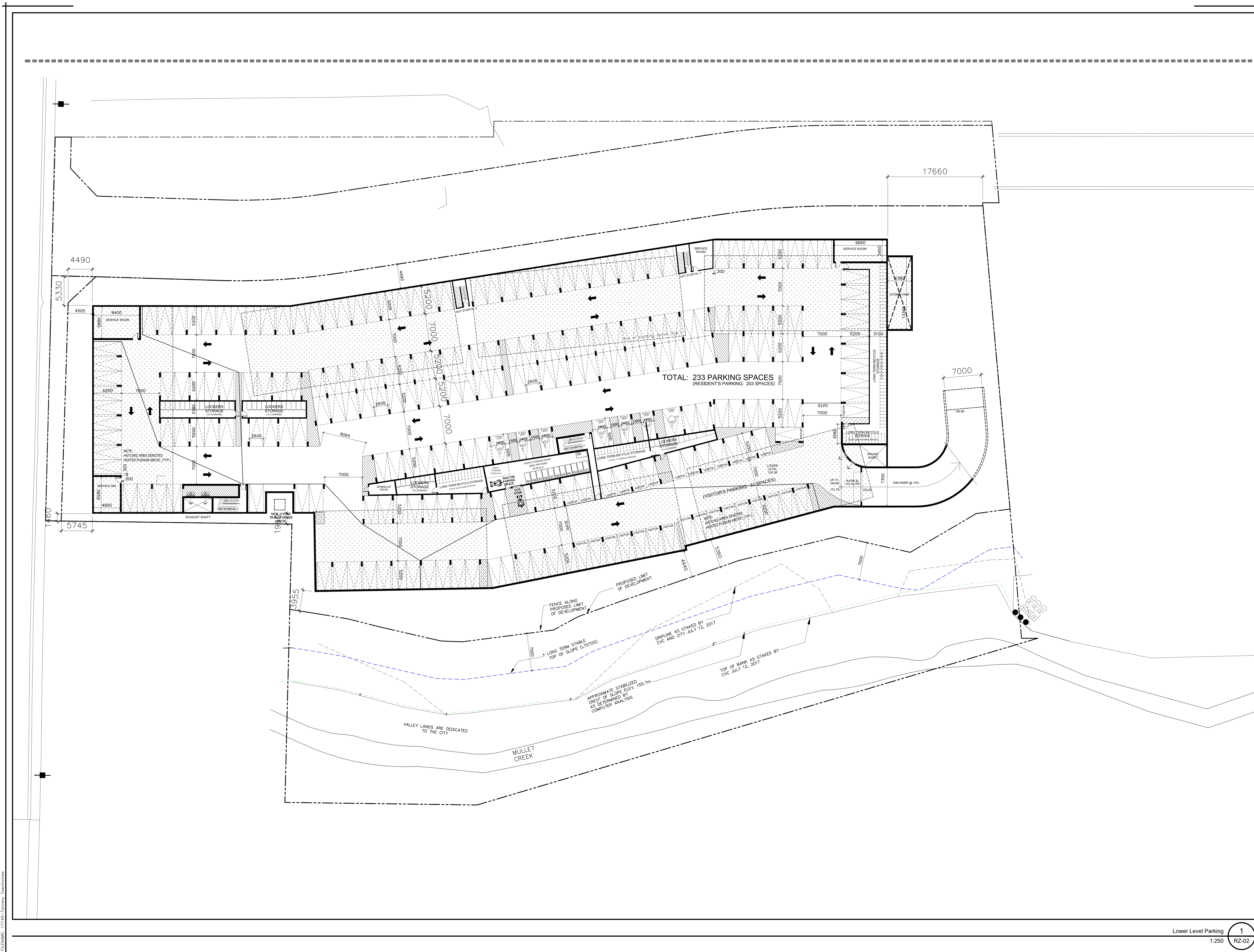
Print Date:

June 24, 2019

B7 01

RZ-01

FILENAME: 17145 - Tannery Townhomes



Lower Level Parking
1:250

1
RZ-02

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No.	ISSUED	DATE

Drawing Title:

**Lower Level
Parking**

File No. OZ 18-12
Project:

NYX CAPITAL
Proposed

**Townhouse
Residential
Development**

TANNERY TOWNHOMES
MISSISSAUGA, ONTARIO

Scale:

AS NOTED

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T.S.

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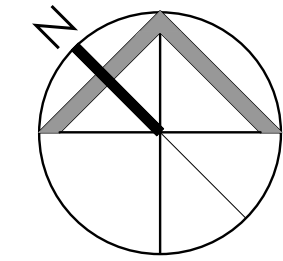
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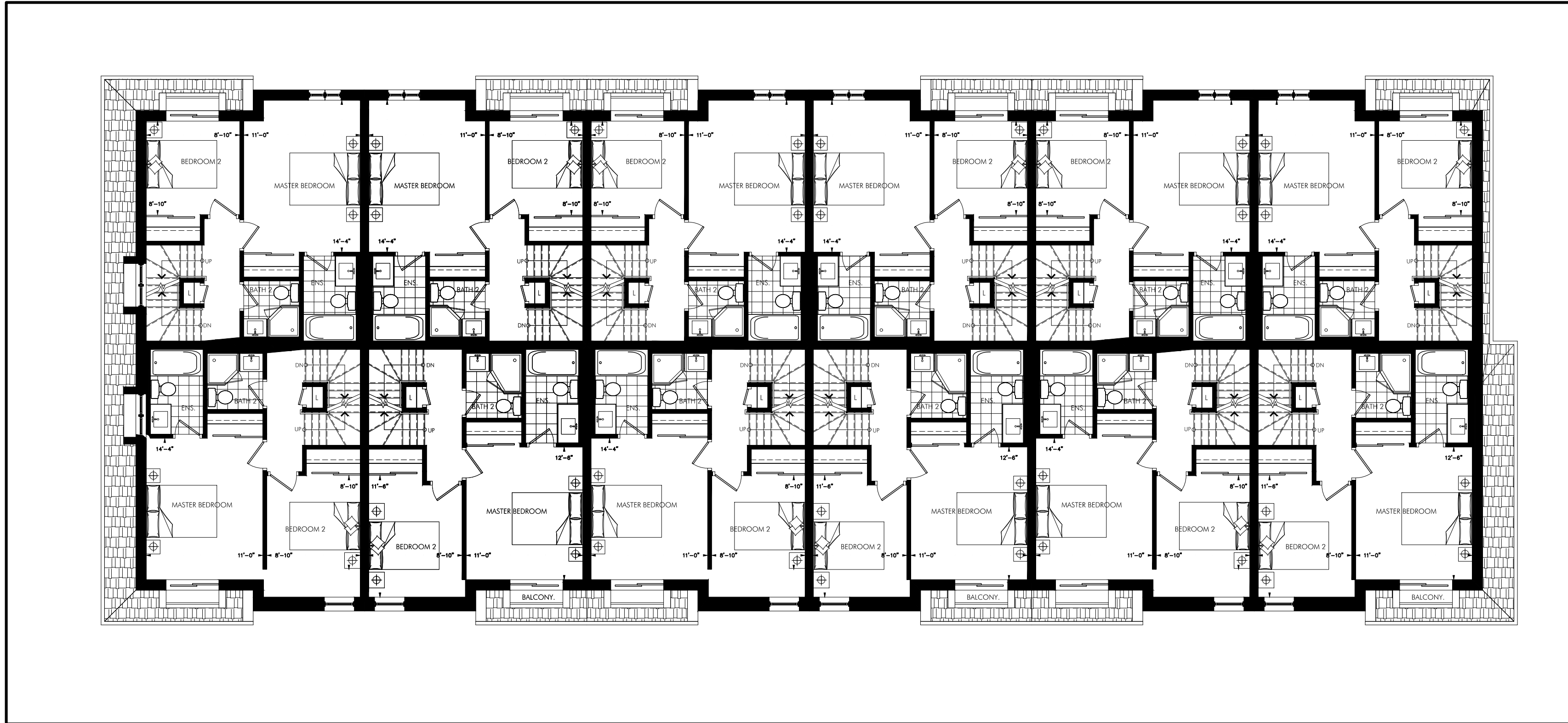
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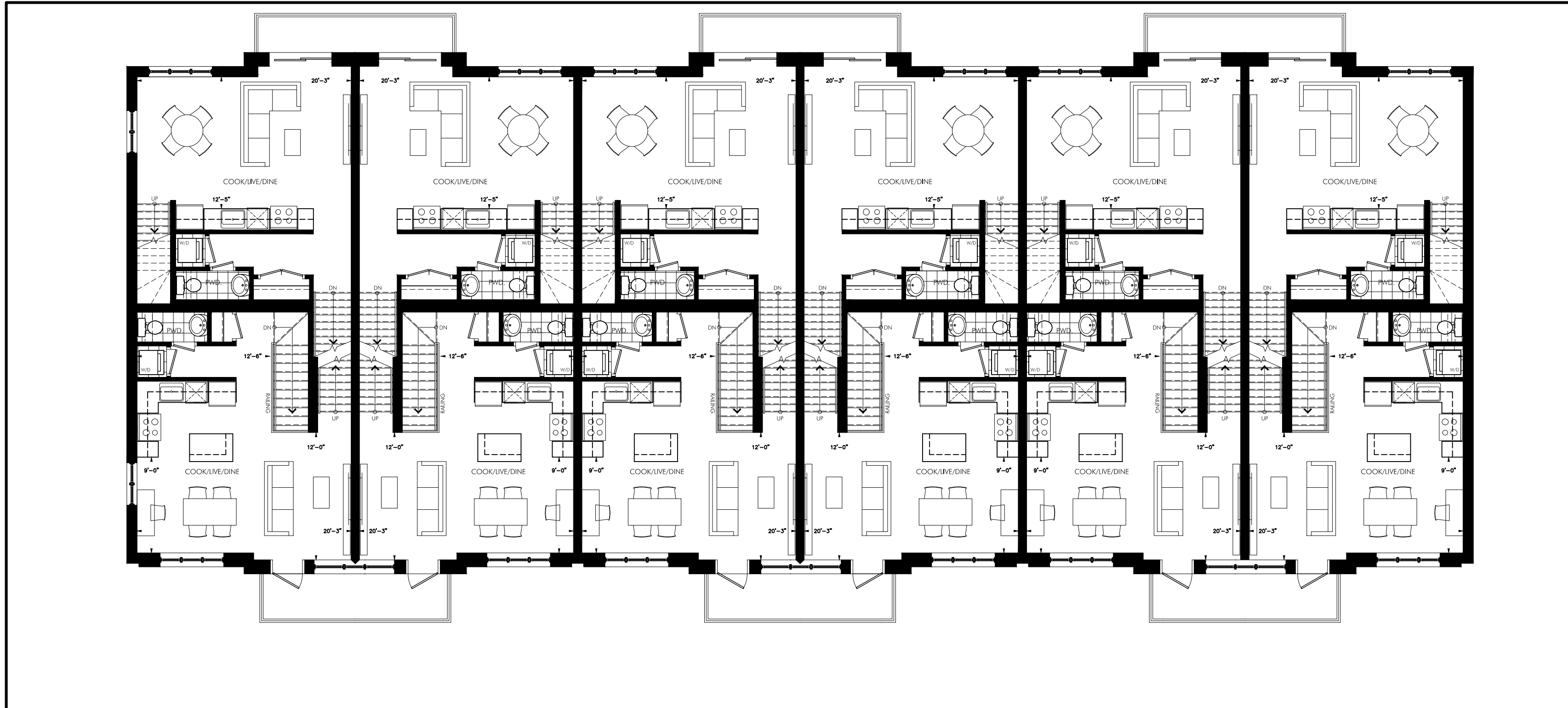
RZ-02



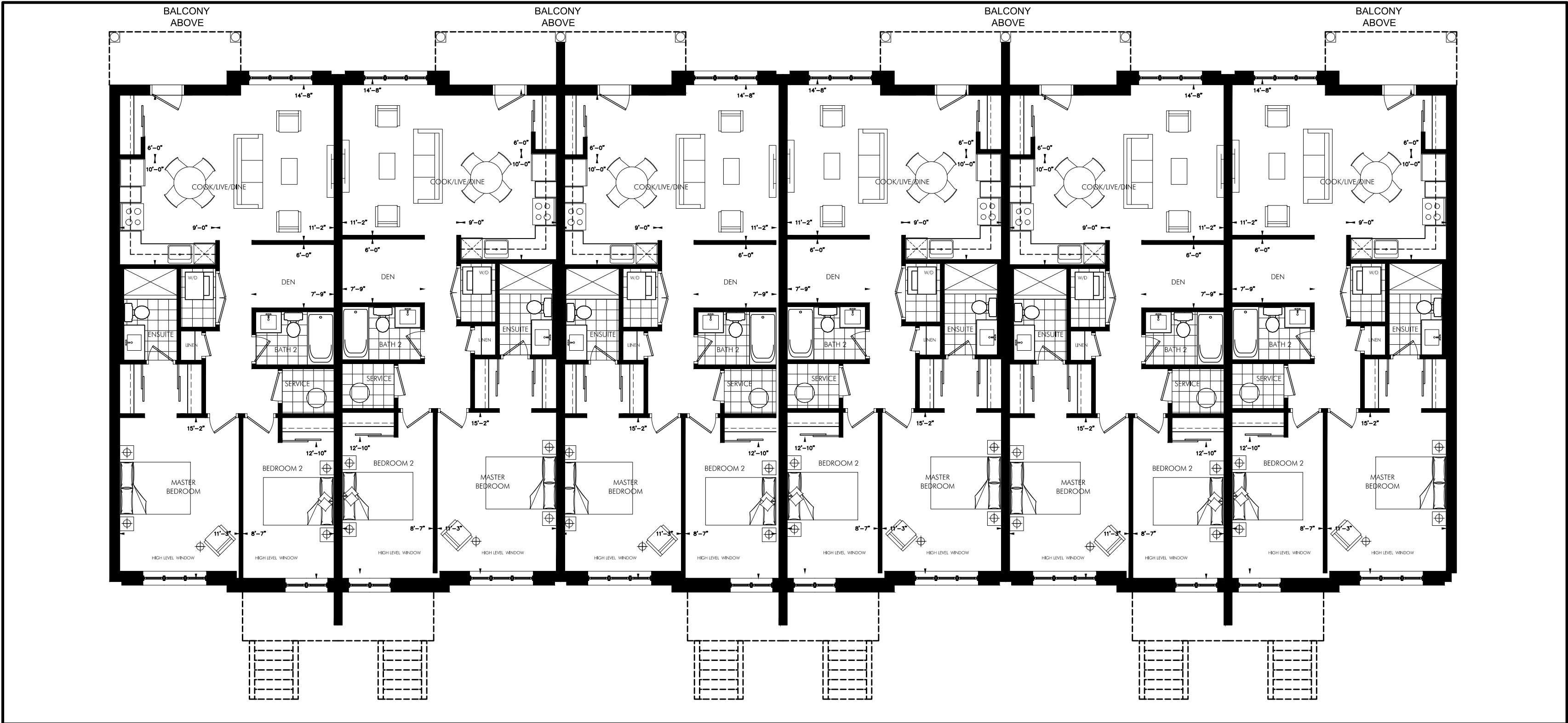
FILENAME: 17145-Tannery Townhomes



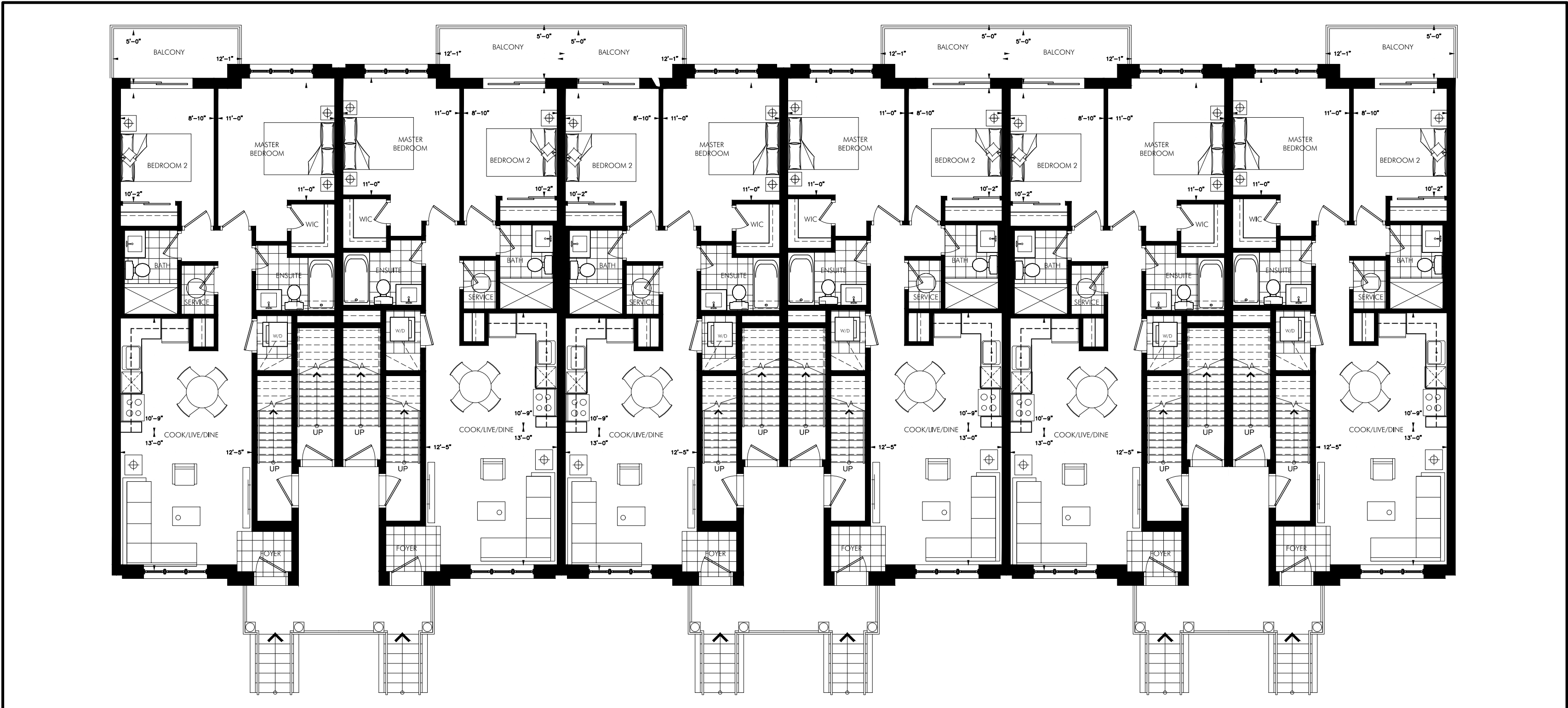
Level 3
1:100
4
RZ-03



Level 2
1:100
3
RZ-03



Lower Level
1:100
2
RZ-03



Level 1
1:100
1
RZ-03

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Drawing Title:

Typical Floor Plan

File No. OZ 18-12
Project:

NYX CAPITAL
Proposed

Townhouse
Residential
Development
TANNERY TOWNHOMES
MISSISSAUGA, ONTARIO

Scale:

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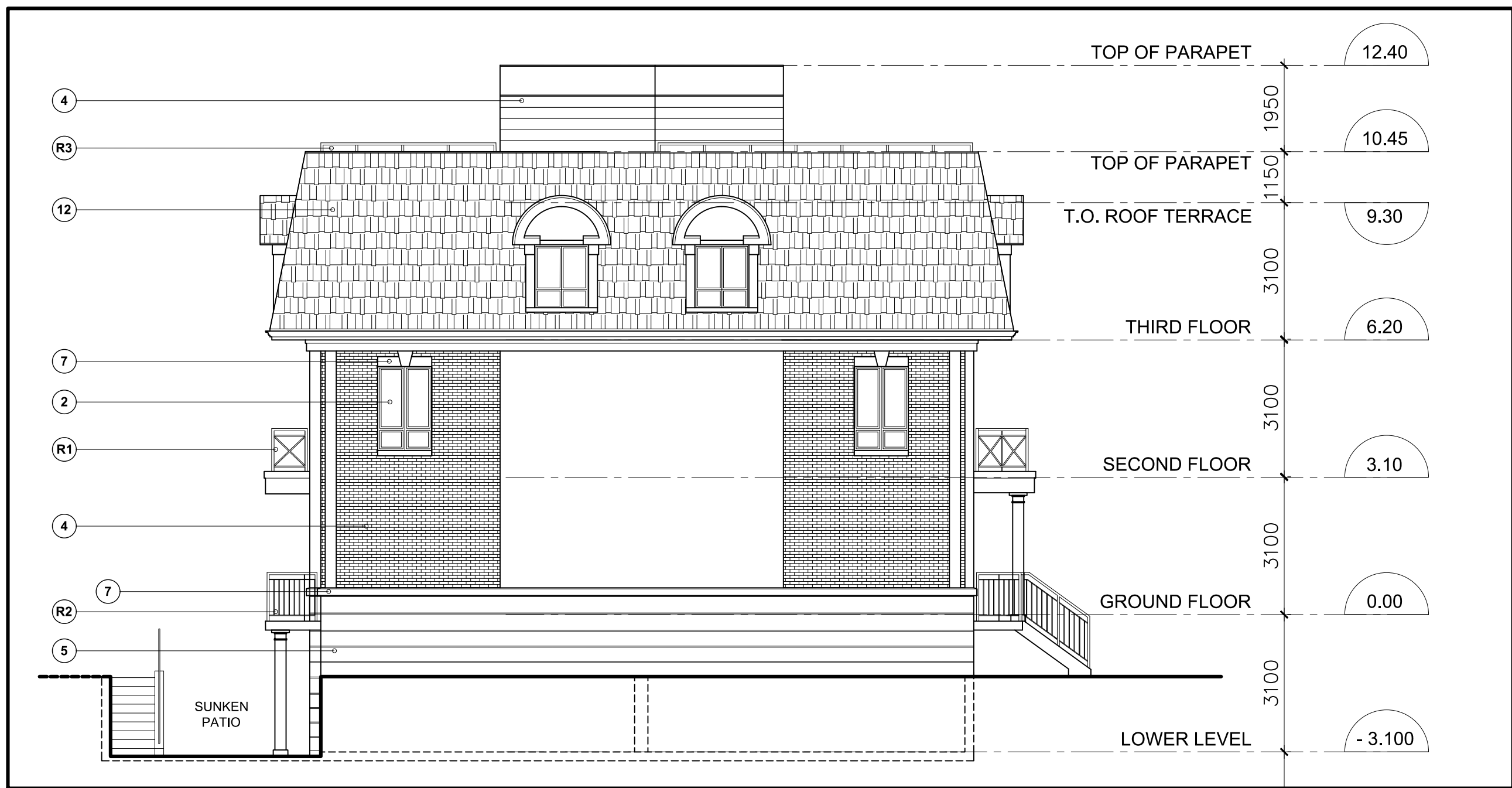
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	1	MASONRY - BRICK VENEER	
		COLOUR	: XXX
		MANUFACTURER	: XXX
		SIZE/STYLE	: XXX
	2	VINYL CASEMENT WINDOW	
		COLOUR	: XXX
		MANUFACTURER	: XXX
		SIZE/STYLE	: XXX
	3	E.I.F.S. (STUCCO)	
		COLOUR	: XXX
		MANUFACTURER	: XXX
		SIZE/STYLE	: XXX
	4	E.I.F.S. (STUCCO) WITH REVEAL	
		COLOUR	: XXX
		MANUFACTURER	: XXX
		SIZE/STYLE	: XXX
	5	STONE	
		COLOUR	: XXX
		MANUFACTURER	: XXX
		SIZE/STYLE	: XXX
	6	PRECAST CAP	
		COLOUR	: XXX
		MANUFACTURER	: XXX
		SIZE/STYLE	: XXX
	7	PRECAST HEADER AND SILL	
		COLOUR	: XXX
		MANUFACTURER	: XXX
		STYLE	: XXX
	8	ENTRY DOOR	
		COLOUR	: XXX
		MANUFACTURER	: XXX
		SIZE/STYLE	: XXX
	9	BALCONY DOOR	
		COLOUR	: XXX
		MANUFACTURER	: XXX
		STYLE	: XXX
	10	ROOFTOP TERRACE DOOR	
		EXT. COLOUR	: XXX
		INT. COLOUR	: XXX
		MANUFACTURER	: XXX
	11	SLIDING BALCONY DOOR	
		COLOUR	: XXX
		MANUFACTURER	: XXX
		STYLE	: XXX
	12	ROOF SHINGLES	
		COLOUR	: XXX
		MANUFACTURER	: XXX
		STYLE	: XXX

R1	DECORATIVE METAL RAIL
	GLASS : XXX
	COLOUR : XXX
	METAL : XXX
	REFER TO DETAIL : XXX
R2	PICKET GUARDRAIL
	GLASS : XXX
	COLOUR : XXX
	METAL : XXX
	REFER TO DETAIL : XXX
R3	PARAPET GUARDRAIL
	GLASS : XXX
	COLOUR : XXX
	METAL : XXX
	REFER TO DETAIL : XXX

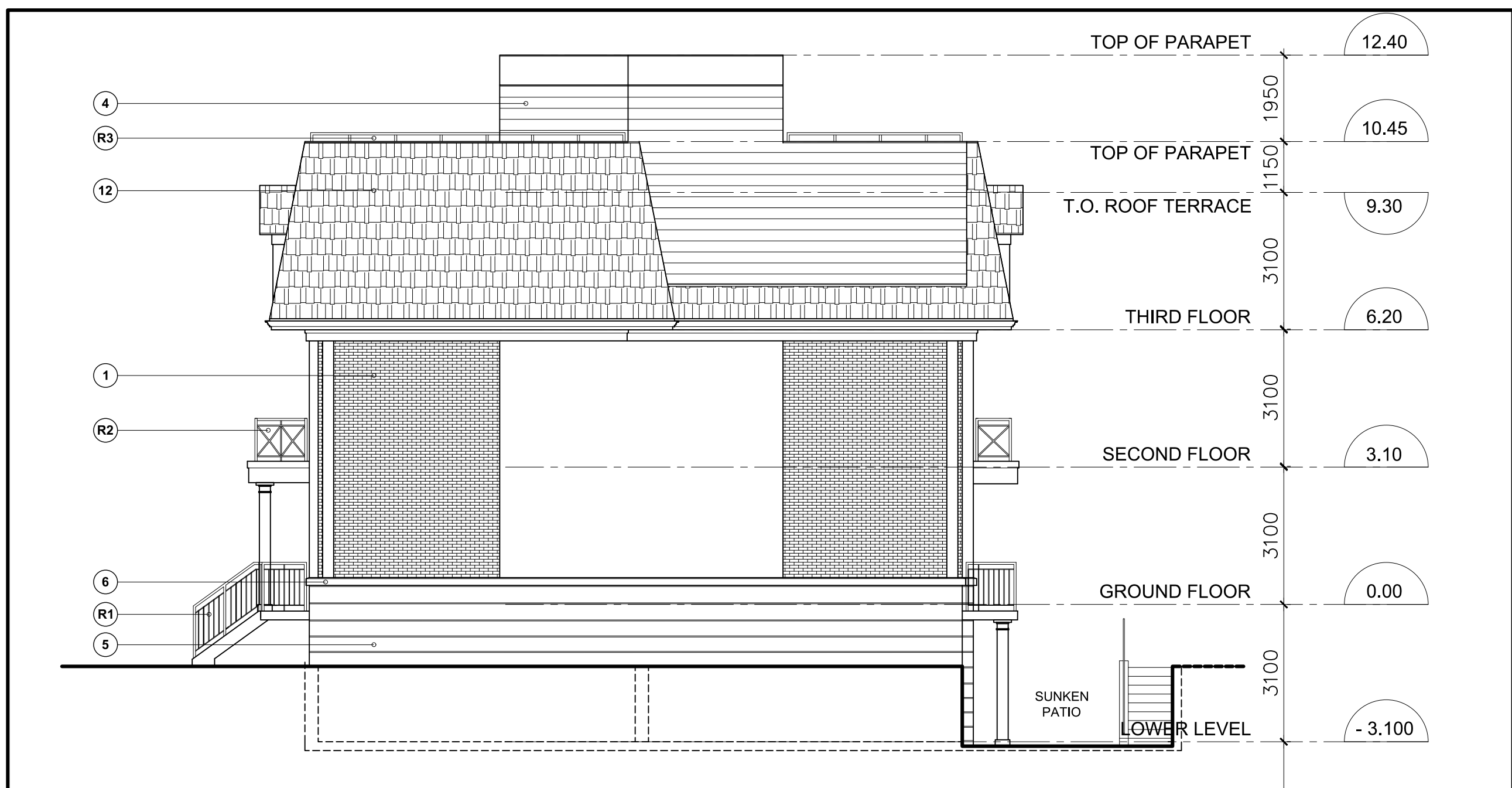
Material List 5
NTS RZ-04



East Elevation 4
1:100 RZ-04



North Elevation 2
1:100 RZ-04



West Elevation 3
1:100 RZ-04



South Elevation 1
1:100 RZ-04

2	Re-issue for Re-zoning	JUNE 24, 2019
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Building 'A' Elevations

File No. OZ 18-12

Project:

NYX CAPITAL
Proposed

Townhouse Residential Development

TANNERY TOWNHOMES
MISSISSAUGA, ONTARIO

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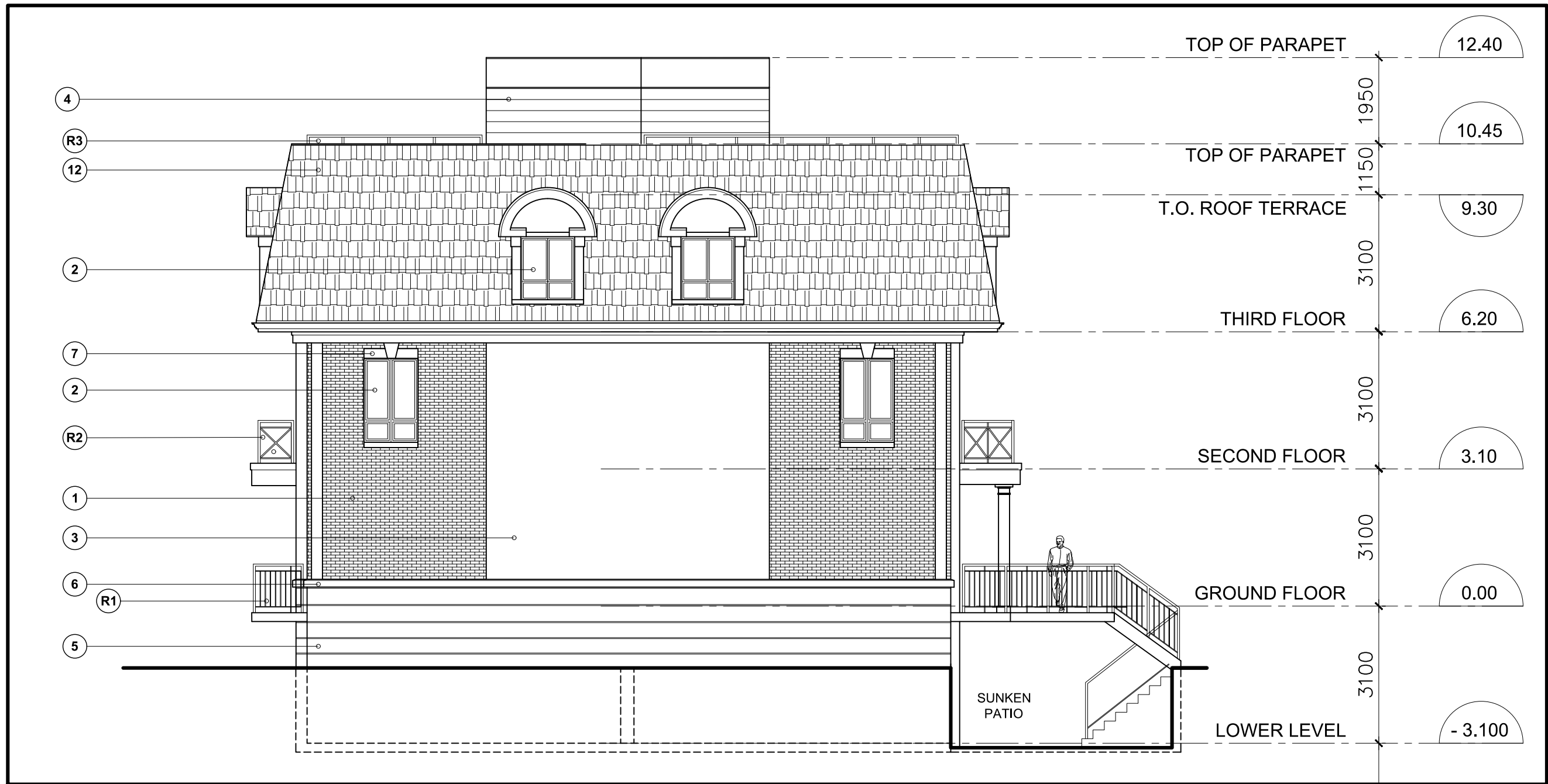


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	1	MASONRY - BRICK VENEER COLOUR : XXX MANUFACTURER : XXX SIZE/STYLE : XXX MORTAR : XXX		R1	DECORATIVE METAL RAIL GLASS : XXX COLOUR : XXX METAL : XXX COLOUR : XXX REFER TO DETAIL : XXX
	2	VINYL CASEMENT WINDOW COLOUR : XXX MANUFACTURER : XXX SIZE/STYLE : XXX		R2	PICKET GUARDRAIL GLASS : XXX COLOUR : XXX METAL : XXX COLOUR : XXX REFER TO DETAIL : XXX
	3	E.I.F.S. (STUCCO) COLOUR : XXX MANUFACTURER : XXX SIZE/STYLE : XXX MORTAR : XXX		R3	PARAPET GUARDRAIL GLASS : XXX COLOUR : XXX METAL : XXX COLOUR : XXX REFER TO DETAIL : XXX
	4	E.I.F.S. (STUCCO) WITH REVEAL COLOUR : XXX MANUFACTURER : XXX SIZE/STYLE : XXX MORTAR : XXX			
	5	STONE COLOUR : XXX MANUFACTURER : XXX SIZE/STYLE : XXX MORTAR : XXX			
	6	PRECAST CAP COLOUR : XXX MANUFACTURER : XXX SIZE/STYLE : XXX MORTAR : XXX			
	7	PRECAST HEADER AND SILL COLOUR : XXX MANUFACTURER : XXX STYLE : XXX			
	8	ENTRY DOOR COLOUR : XXX MANUFACTURER : XXX SIZE/STYLE : XXX MORTAR : XXX			
	9	BALCONY DOOR COLOUR : XXX MANUFACTURER : XXX			
	10	ROOFTOP TERRACE DOOR EXT. COLOUR : XXX INT. COLOUR : XXX MANUFACTURER : XXX METAL PANEL : XXX			
	11	SLIDING BALCONY DOOR COLOUR : XXX MANUFACTURER : XXX STYLE : XXX			
	12	ROOF SHINGLES COLOUR : XXX MANUFACTURER : XXX STYLE : XXX			

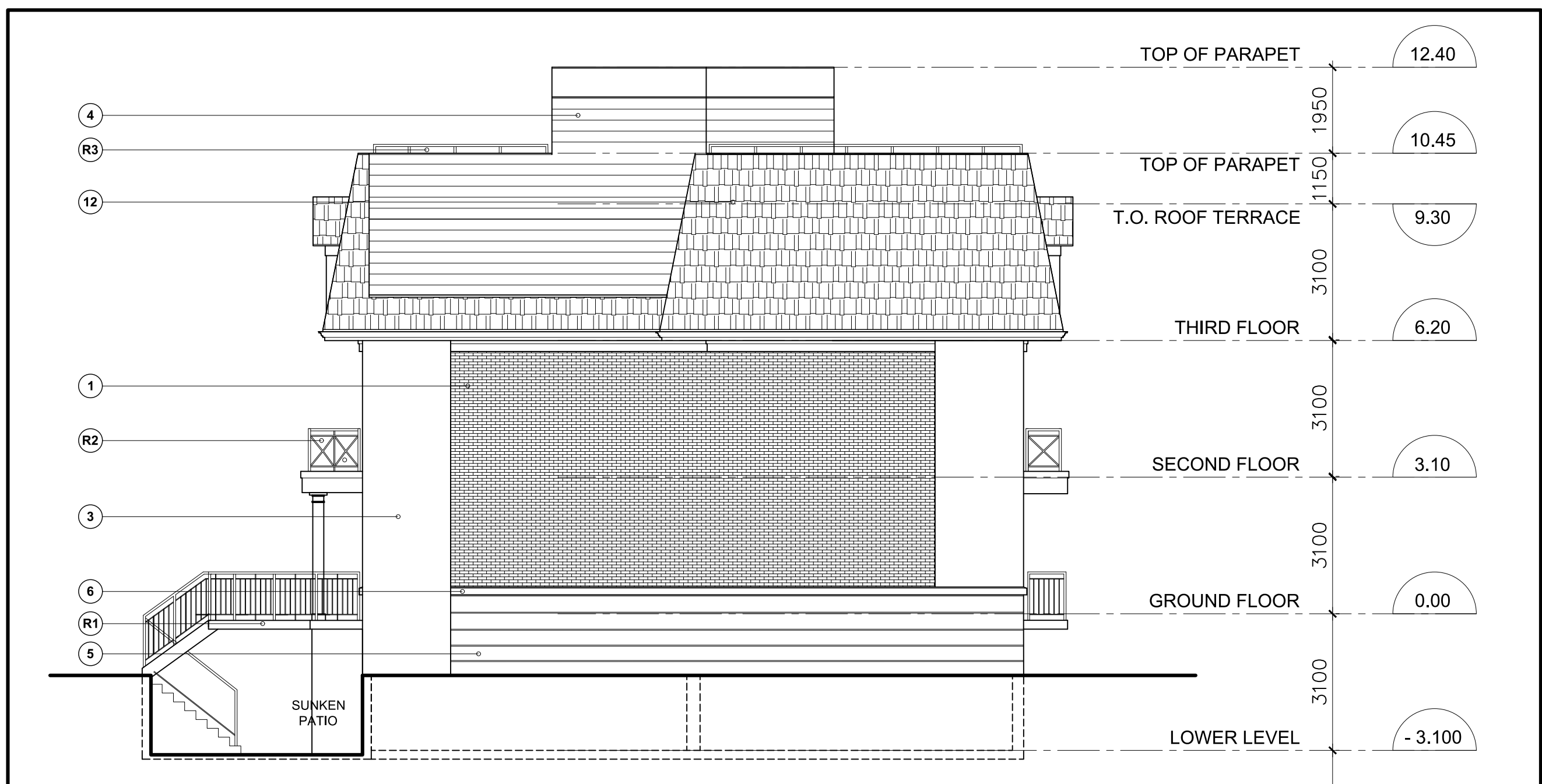
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NTS RZ-05



East Elevation 4
1:100 RZ-05



North Elevation 2
1:100 RZ-05



West Elevation 3
1:100 RZ-05



South Elevation 1
1:100 RZ-05

2	Re-issue for Re-zoning	JUNE 24, 2019
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Drawing Title:

Building 'G' Elevations

File No. OZ 18-12

Project:

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Townhouse Residential Development

TANNERY TOWNHOMES
MISSISSAUGA, ONTARIO

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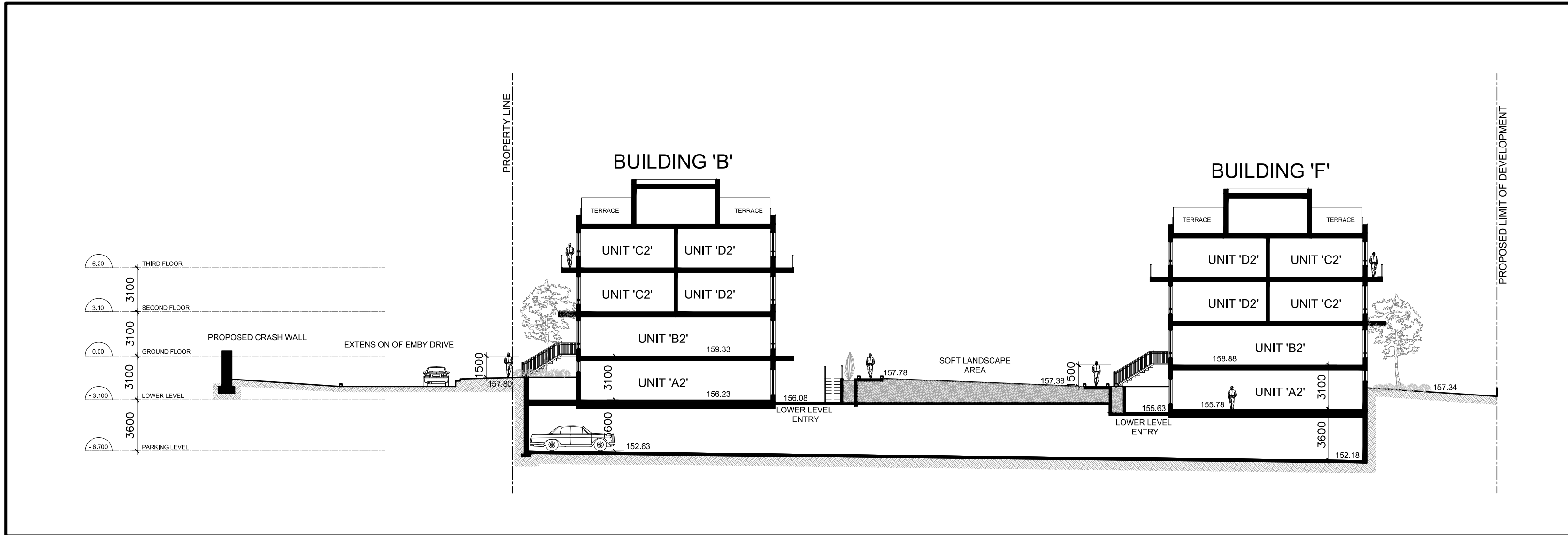
June 24, 2019

RZ-05

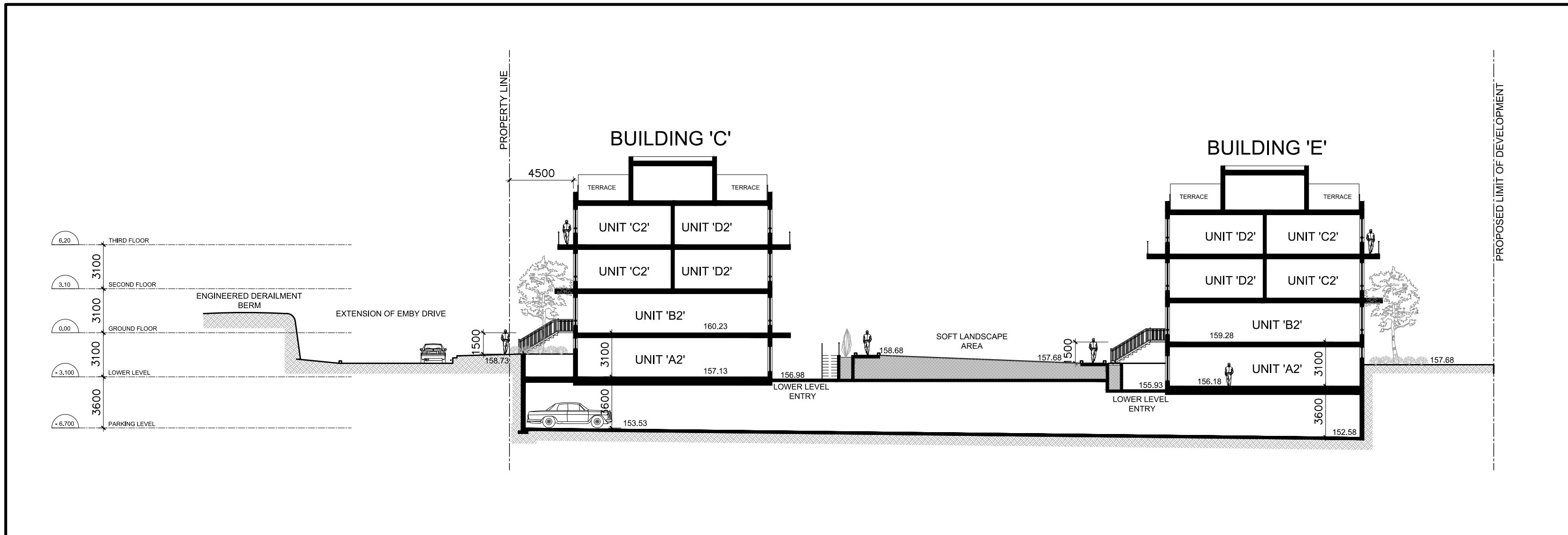


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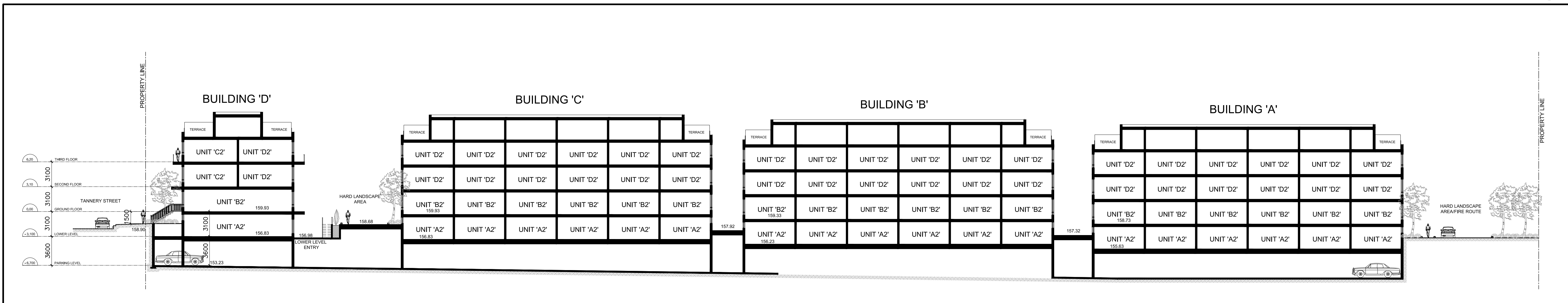
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Building B-F Section
1:250



Building C-E Section
1:250



Building A-D Section
1:250

2	Re-issue for Re-zoning	JUNE 24, 2019
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Drawing Title:

Building Sections

File No. OZ 18-12
Project:

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RZ-06