Quadrangle

Quadrangle Architects Limited
901 King Street West, Suite 701Toronto, ON M5V 3H5
t 416 598 1240 www.quadrangle.ca

600-620 Lolita Gardens

Mississauga, ON

for
Hanseatic Holdings Limited

Project No. 17035
Date July 5, 2019
Issued for Rezoning Application

ARCHITECTURAL DRAWINGS

A000.S Cover Page

A100 Site Statistics
A101 Site Plan
A151 Underground Parking Level P4
A152 Underground Parking Level P2 - P3
A153 Underground Parking Level P1

A201 Ground Floor Plan
A202 Plan of Floor 2
A203 Plan of Typical Floor 3-5
A204 Plan of Floor 6
A205 Plan of Typical Floor 7-21
A206 Plan of Typical Floor 22-25
A207 Roof Plan

A401 North Elevation
A402 East and West Elevations
A403 South Elevation

A451 North-South Section
A452 East-West Section

	Floor	GBA/Typ. Floor (sm)	No. Typ. Floors	GBA Gross Building Area (no exclusions) sm	sf	0225-2007 GFA Exempt (sm)	By-Law 0225-2007 / RA5-3 GFA (Res) sm	sf	Dwelling Unit Breakdown: Bach <45sm	1 Bdrm	2 Bdrm small	2 Bdrm large	3 Bdrm	Total Suites	Notes:
EXISTING TOWER	600 Lolita Gardens		17	17,799.0	191,593.1	674.0	17,125.0	184,338.0	1	38	130	0	16	185	
	Ground Floor	*1,047*					*853*	*9,181.9*							
	Per Floor 2-17	*1,047*					*1,017*	*10,947.3*							
	620 Lolita Gardens		21	22,331.0	240,376.7	1,558.0	20,773.0	223,606.0		41	162	0	20	223	**Approximate GBA and GFA of the existing building
	Ground Floor	*1,491*					*553*	*5,952.6*							
	Per Floor 2-21	*1,042*					*1,011*	*10,882.7*							
	Parking Garage P1		1	9,916.0	106,738.4	9,133.0	783.0	8,428.4							
	TOTAL			**50,046.0** **			**38,681.0** **							**408**	
NEW PODIUM / TOWER	Mech Penthouse		1	320.0		320.0	0.0								
	Per Floor 22-25	*733*				*49.0*	*684.0*		*0*	*3*	*2*	*3*	*1*	*9*	
	Total Typical 22-25		4	2,932.0	31,560.8	196.0	2,736.0	29,451.0	0	12	8	12	4	36	
	Per Floor 7-21	*941*				*49.0*	*892.0*		*0*	*4*	*3*	*4*	*1*	*12*	
	Total Typical 7-21		15	14,115.0	151,937.6	735.0	13,380.0	144,025.8	0	60	45	60	15	180	
	Floor 6		1	861.0	9,268.0	49.0	812.0	8,740.6	1	4	4	3	0	12	
	Per Floor 3-5	*1,063*				*49.0*	*1,014.0*		*0*	*2*	*0*	*1*	*8*	*11*	
	Total Typical 3-5		3	3,189.0	34,327.2	147.0	3,042.0	32,744.9	0	6	0	3	24	33	
	Floor 2		1	1,097.0	11,808.4	158.0	939.0	10,107.6	0	2	0	0	8	10	
	Ground		1	1,057.0	11,377.8	430.0	627.0	6,749.2	0	0	0	0	0	0	
BELOW GRADE	P1		1	4,774.0	51,387.3	4,599.0	175.0	1,883.7							
	P2		1	4,774.0	51,387.3	4,599.0	175.0	1,883.7							
	P3		1	4,774.0	51,387.3	4,599.0	175.0	1,883.7							
	P4		1	4,774.0	51,387.3	4,599.0	175.0	1883.7							
TOTAL PROPOSED							22,236.0								
					Indoor Amenity Deduction		321.0								
			25	**42,667.0**			**21,915.0**		1	84	57	78	51	**271**	
									0.4%	31.0%	21.0%	28.8%	18.8%	100%	

Total Units Existing and Proposed **679**

GFA USE Breakdown

Total Proposed RESIDENTIAL **21,915** sm
Total Existing RESIDENTIAL **38,681** sm

Area Totals & FSI

Total Combined Existing and New Gross Floor Area **60,596.0**
Total Proposed Floor Space Index (FSI) **2.31**

PROJECT STATISTICS SUMMARY

Municipal Address:	600 and 620 Lolita Gardens
Lot Area in sm	26,285.54
Zoning Bylaw 0225-2007	
Established Grade: (Along lot lines adjacent to Lolita Gardens)	127.05
Building Height (Storeys): (excl. Mech Penthouse)	25
Building Height above Established Grade: (excl. Mech Penthouse)	73.8m
	(sm)
Proposed Residential GFA	21,915.00
Existing Residential GFA	38,681.00
Total Combined Existing and Proposed Residential GFA	60,596.00
Existing Floor Space Index (FSI)	1.47
Combined Existing and Proposed Floor Space Index (FSI)	2.31
Number of Existing Dwelling Units	408
Number of Proposed Dwelling Units	271
Total Number of Dwelling Units	679
	(sm)
Existing Landscaped Area	13,359.54
Proposed Landscaped Area	14,079.54
Total Residential Indoor Amenity Space Provided	321.00
Total Residential Outdoor Amenity Space Provided (Required + Replaced)	2,021.00
Combined Existing and Proposed Vehicle Parking Spaces Provided	902
Proposed Bicycle Parking Spaces Provided	68
Indoor Waste Collection Points Provided	1

The STATS below are based on requirements as per the Mississauga Zoning By-Law 0225-2007 / RA5-3

VEHICULAR PARKING

Existing Parking

Level	EXISTING Resident	Visitor	TOTAL
Surface	193	56	249
P1	303	0	303
TOTAL EXISTING			552

Parking Space Location

Level	PROPOSED Resident	Visitor	EXISTING TO REMAIN Resident	Visitor	TOTAL
Surface	0	0	0	119	119
P1	133	0	240	0	373
P2	136	0	N/A	N/A	136
P3	136	0	N/A	N/A	136
P4	138	0	N/A	N/A	138
Accessible Parking	*13				
*(Included in Surface, P1, P2, P3 and P4)					
TOTAL PROPOSED	543	0	240	119	902

Refer to the parking ratios proposed in the current TIS prepared by WSP

AMENITY SPACE

Amenity Area		Required	Provided
Existing Outdoor Amenity		N/A	319.00 sm
Existing Indoor Amenity		N/A	414.00 sm
TOTAL Indoor & Outdoor Amenity EXISTING			733.00 sm
Indoor & Outdoor Amenity *	min.5.6sm / dwelling unit	1,517.60 sm	*Outdoor* 1,738.00 sm *Indoor* 321.00 sm
TOTAL Indoor & Outdoor Amenity EXISTING + PROPOSED		1,836.60 sm	2792.00 sm

*Required by Mississauga Zoning By-Law 0225-2007: The greater of 5.6 m2 per dwelling unit or 10% of the site area. A minimum percentage of 50% of the total required amenity area must be provided in one contiguous area and a minimum amenity area of 55.0 m² must be provided outside at grade.

BICYCLE PARKING

Bicycle Parking	Required	Provided
Residential - Proposed Bicycle Spaces		
Long Term	N/A	0
Short Term	N/A	68
TOTAL (for proposed Residential Units)	N/A	68
Residential - Existing Bicycle Spaces		
Existing Provided on Surface Level		11
Residential - Existing Bicycle Spaces to be Relocated		
Provided on Surface Level		61
TOTAL		72

REVISION RECORD

ISSUE RECORD

Quadrangle

Quadrangle Architects Limited
901 King Street West, Suite 701 Toronto, ON M5V 3H5
t 416 598 1240 www.quadrangle.ca

600-620 Lolita Gardens

Mississauga, ON

for
Hanseatic Holdings Limited

17035 As indicated VH HT
PROJECT SCALE DRAWN REVIEWED

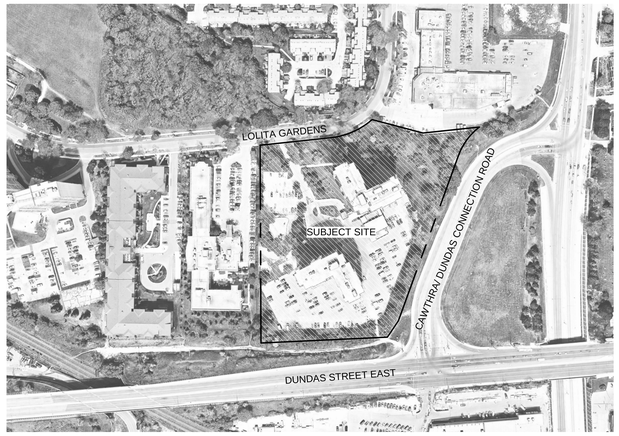
Site Statistics

A100

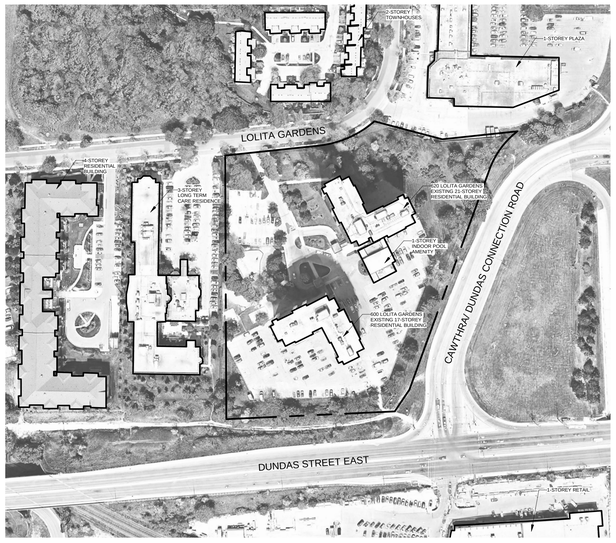
Note: This drawing is the property of the Architect and may not be reproduced or used without the expressed consent of the Architect. The Contractor is responsible
for checking and verifying all levels and dimensions and shall report all discrepancies to the Architect and obtain clarification prior to commencing work.

C:\Revit Projects\QAL_AR_17035_600 & 620 Lolita Gardens_R2017_vhoang.rvt

2019-07-12 1:45:10 PM



1 A101 Context Plan
SCALE: NTS



2 A101 Key Plan
SCALE: 1:1500

ELEVATION NOTE

ELEVATIONS ARE GEODETIC AND ARE DERIVED FROM THE CITY OF MISSISSAUGA BENCHMARK No. 94.

LOCATION :

ON THE EAST FACE OF THE EAST PARAPET WALL OF THE EAST STEPS OF THE ST. JOHN THE BAPTIST ANGELICAN CHURCH ON THE NORTH SIDE OF DUNDAS ST. EAST (HIGHWAY NO. 5), 200' EAST OF CAWTHRA ROAD.

ELEVATION:

PUBLISHED ELEVATION = 126.861 metres.

INTEGRATION NOTE

OBSERVED REFERENCE POINTS (ORPs) DERIVED FROM GPS OBSERVATIONS USING THE SMARTNET NETWORK, AND ARE REFERRED TO UTM ZONE 17, CENTRAL MERIDIAN 81°00' WEST LONGITUDE, NAD 83 (CSRS) (2010).

COORDINATES ARE TO AN URBAN ACCURACY AS PER SEC. 14 (2) OF ONT. REG. 216/10

POINT ID	NORTHING	EASTING
ORP Ⓐ	4827708.58	612866.03
ORP Ⓑ	4827845.64	612799.35
ORP Ⓒ	4827813.60	612724.75
ORP Ⓓ	4827728.36	612673.15

COORDINATES CANNOT, IN THEMSELVES, BE USED TO RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN

DISTANCES ARE GROUND AND CAN BE CONVERTED TO GRID BY MULTIPLYING BY THE COMBINED SCALE FACTOR OF 0.999743

METRIC

DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

LEGEND

■	DENOTES	SURVEY MONUMENT FOUND
●	"	SURVEY MONUMENT PLANTED
WIT	"	WITNESS MONUMENT
SIB	"	STANDARD IRON BAR
SSIB	"	SHORT STANDARD IRON BAR
IB	"	IRON BAR
CC	"	CUT CROSS
N,S,E,W	"	NORTH, SOUTH, EAST, WEST
OU	"	ORIGIN UNKNOWN
1370	"	VLADIMIR KRCMAR LIMITED, O.L.S.
RP	"	REGISTERED PLAN 903
P1	"	SURVEYED PLAN BY McCONNELL, MAUGHAN LIMITED, O.L.S. — DATED JULY 7, 1983
P2	"	PLAN 43R-27235

MH	=	MANHOLE
ICV	=	IRRIGATION CONTROL VALVE
WMH	=	WATER MANHOLE
HMH	=	HYDRO MANHOLE
BB	=	BELL BOX
CB	=	CATCH BASIN
FH	=	FIRE HYDRANT
WV	=	WATER VALVE
GV	=	GAS VALVE
HW	=	HAND WELL
CHP	=	CONCRETE HYDRO POLE
WHP	=	WOODEN HYDRO POLE
CLS	=	CONCRETE LIGHT STANDARD
MLS	=	METAL LIGHT STANDARD
ATS	=	AUTOMATIC TRAFFIC SIGNAL
B	=	BOLLARD
HB	=	HYDRO BOX
O/H	=	OVERHEAD
	=	DECIDUOUS TREE
	=	CONIFEROUS TREE
	=	CONCRETE
	=	BRICK
	=	PATIO STONE
	=	GRAVEL
	=	METAL

SURVEYOR'S CERTIFICATE

I CERTIFY THAT :

1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM.
2. THE SURVEY WAS COMPLETED ON AUGUST 29, 2018.

DATE : _____ _____ _____

D. A. WILTON
ONTARIO LAND SURVEYOR

SPEIGHT, VAN NOSTRAND & GIBSON LIMITED
ONTARIO LAND SURVEYORS
750 OAKDALE ROAD, Units 65 & 66
TORONTO, ONTARIO M3N 2Z4
TEL. 416 749-5WNG(7864) FAX 416 749-7866
E-MAIL: toronto@svng.on.ca

DRAWN :	F.P.B./M.D./E.D.	FILE NAME :	A1800236.DWG
CHECKED :	D. A. W.	PLOT SCALE :	MET.1=0.40
JOB No. :	180-0236	PLOTTED :	SEPT. 5, 2018
REF. No. :	3-903 PEEL	UPDATED :	

3 A101 Legend (Topographic) & Survey Information
SCALE: NTS

4 A101 SITE PLAN
SCALE: 1:300

PROPERTY LINE
LINE OF UNDER GROUND GARAGE BELOW
PRIMARY BUILDING ENTRANCE
SECONDARY ENTRANCE
EXIT
VEHICLE / LOADING ENTRANCE / EXIT
FIRE HYDRANT
SIAMESE CONNECTION
MANHOLE COVER
AREA DRAIN
CATCH BASIN
EXISTING LIGHT
SPOT ELEVATION REFERENCE
F.F.E. FINISH FLOOR ELEVATION
EXISTING TO REMAIN
PLANTING
SOD
LOCKSTONE PAVING
GRAVEL
ELEVATION REFERENCE
BUILDING SECTION REFERENCE
EXISTING BUILDINGS

REVISION RECORD

ISSUE RECORD

Quadrangle

Quadrangle Architects Limited
901 King Street West, Suite 701 Toronto, ON M5V 3H5
t 416 598 1240 www.quadrangle.ca

600-620 Lolita Gardens

Mississauga, ON

for
Hanseatic Holdings Limited

PROJECT	SCALE	DRAWN	REVIEWED
17035	As indicated	VH	HT

Site Plan

A101

Note: This drawing is the property of the Architect and may not be reproduced or used without the expressed consent of the Architect. The Contractor is responsible
for checking and verifying all levels and dimensions and shall report all discrepancies to the Architect and obtain clarification prior to commencing work.

C:\Revit Projects\AQAL_AR_ZBA_17035_600 & 620 Lolita Gardens_R2017_vhomlig.rvt

2019-07-25 8:44:19 AM

1 A151 Underground Parking Level P4

PARKING NOTES:

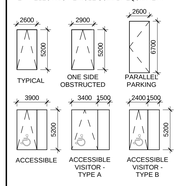
1. MINIMUM PARKING SPACE SIZES (UNLESS OTHERWISE NOTED):

   - 2600mm WIDE X 5200mm LONG (NO SIDES OBSTRUCTED)
   - 2900mm WIDE X 5200mm LONG (ONE SIDE OBSTRUCTED)
   - 3200mm WIDE X 5200mm LONG (TWO SIDES OBSTRUCTED)

2. MAINTAIN MININUM DRIVE AISLE WIDTH OF 7000mm UNLESS OTHERWISE NOTED
3. MAINTAIN MINIMUM HEADROOM CLEARANCE OF 2100mm THROUGHOUT.

PARKING LEGEND:

(#) PARKING SPACE
R = RESIDENT PARKING
V = VISITOR PARKING
E = EXISTING PARKING
L = LEV PARKING
EV = ELECTRIC VEHICLE SUPPLY EQUIPMENT



EXISTING TO REMAIN

PEDESTRIAN AISLES

REVISION RECORD

ISSUE RECORD

Quadrangle

Quadrangle Architects Limited
901 King Street West, Suite 701 Toronto, ON M5V 3H5
t 416 598 1240 www.quadrangle.ca

600-620 Lolita Gardens

Mississauga, ON

for
Hanseatic Holdings Limited

17035	1:200	VH	HT
PROJECT	SCALE	DRAWN	REVIEWED

Underground Parking Level P4

A151

Note: This drawing is the property of the Architect and may not be reproduced or used without the expressed consent of the Architect. The Contractor is responsible
for checking and verifying all levels and dimensions and shall report all discrepancies to the Architect and obtain clarification prior to commencing work.

C:\Revit Projects\QAL_AR_17035_600 & 620 Lolita Gardens_R2017_vhorrig.rvt

2019-04-24 2:14:33 PM

1 A152 Underground Parking Level P2 - P3

PARKING NOTES:

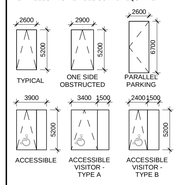
1. MINIMUM PARKING SPACE SIZES (UNLESS OTHERWISE NOTED):

   - 2600mm WIDE X 5200mm LONG (NO SIDES OBSTRUCTED)
   - 2900mm WIDE X 5200mm LONG (ONE SIDE OBSTRUCTED)
   - 3200mm WIDE X 5200mm LONG (TWO SIDES OBSTRUCTED)

2. MAINTAIN MININUM DRIVE AISLE WIDTH OF 7000mm UNLESS OTHERWISE NOTED
3. MAINTAIN MINIMUM HEADROOM CLEARANCE OF 2100mm THROUGHOUT.

PARKING LEGEND:

(#) PARKING SPACE
R = RESIDENT PARKING
V = VISITOR PARKING
E = EXISTING PARKING
L = LEV PARKING
EV = ELECTRIC VEHICLE SUPPLY EQUIPMENT



EXISTING TO REMAIN

PEDESTRIAN AISLES

REVISION RECORD

ISSUE RECORD

Quadrangle

Quadrangle Architects Limited
901 King Street West, Suite 701 Toronto, ON M5V 3H5
t 416 598 1240 www.quadrangle.ca

600-620 Lolita Gardens

Mississauga, ON

for
Hanseatic Holdings Limited

17035	1:200	VH	HT
PROJECT	SCALE	DRAWN	REVIEWED

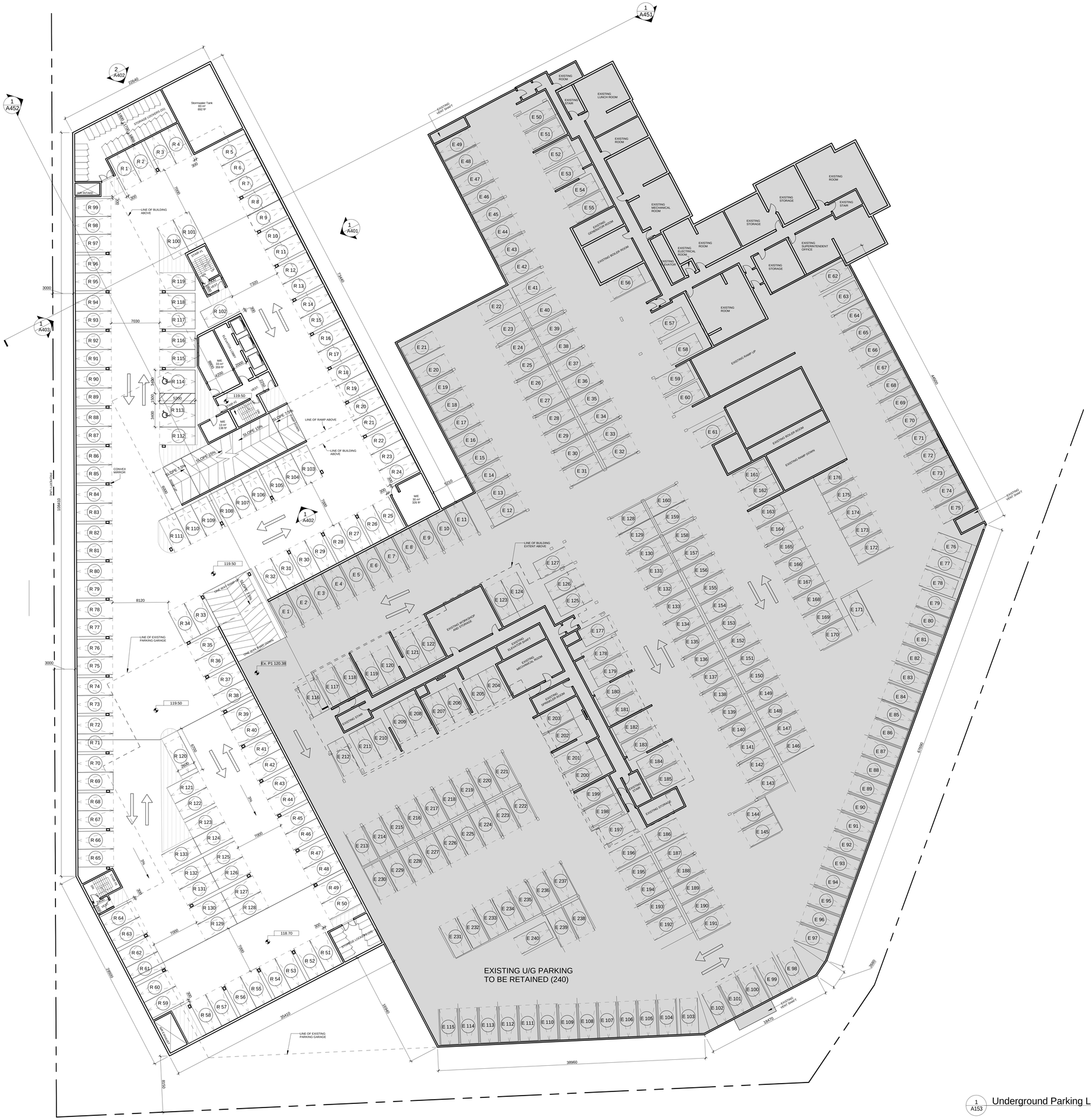
Underground Parking Level P2 - P3

A152

Note: This drawing is the property of the Architect and may not be reproduced or used without the expressed consent of the Architect. The Contractor is responsible for checking and verifying all levels and dimensions and shall report all discrepancies to the Architect and obtain clarification prior to commencing work.

C:\Revit Projects\QAL_AR_17035_600 & 620 Lolita Gardens_R2017_vhomig.rvt

2019-04-24 2:14:45 PM



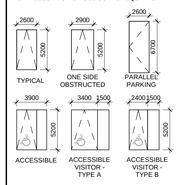
1 A153 Underground Parking Level P1

PARKING NOTES:

1. MINIMUM PARKING SPACE SIZES (UNLESS OTHERWISE NOTED):
   - 2600mm WIDE X 5200mm LONG (NO SIDES OBSTRUCTED)
   - 2900mm WIDE X 5200mm LONG (ONE SIDE OBSTRUCTED)
   - 3200mm WIDE X 5200mm LONG (TWO SIDES OBSTRUCTED)
2. MAINTAIN MININUM DRIVE AISLE WIDTH OF 7000mm UNLESS OTHERWISE NOTED
3. MAINTAIN MINIMUM HEADROOM CLEARANCE OF 2100mm THROUGHOUT.

PARKING LEGEND:

(#) PARKING SPACE
R = RESIDENT PARKING
V = VISITOR PARKING
E = EXISTING PARKING
L = LEV PARKING
EV = ELECTRIC VEHICLE SUPPLY EQUIPMENT



EXISTING TO REMAIN

PEDESTRIAN AISLES

REVISION RECORD

ISSUE RECORD

Quadrangle

Quadrangle Architects Limited
901 King Street West, Suite 701 Toronto, ON M5V 3H5
t 416 598 1240 www.quadrangle.ca

600-620 Lolita Gardens

Mississauga, ON

for
Hanseatic Holdings Limited

17035	1:200	VH	HT
PROJECT	SCALE	DRAWN	REVIEWED

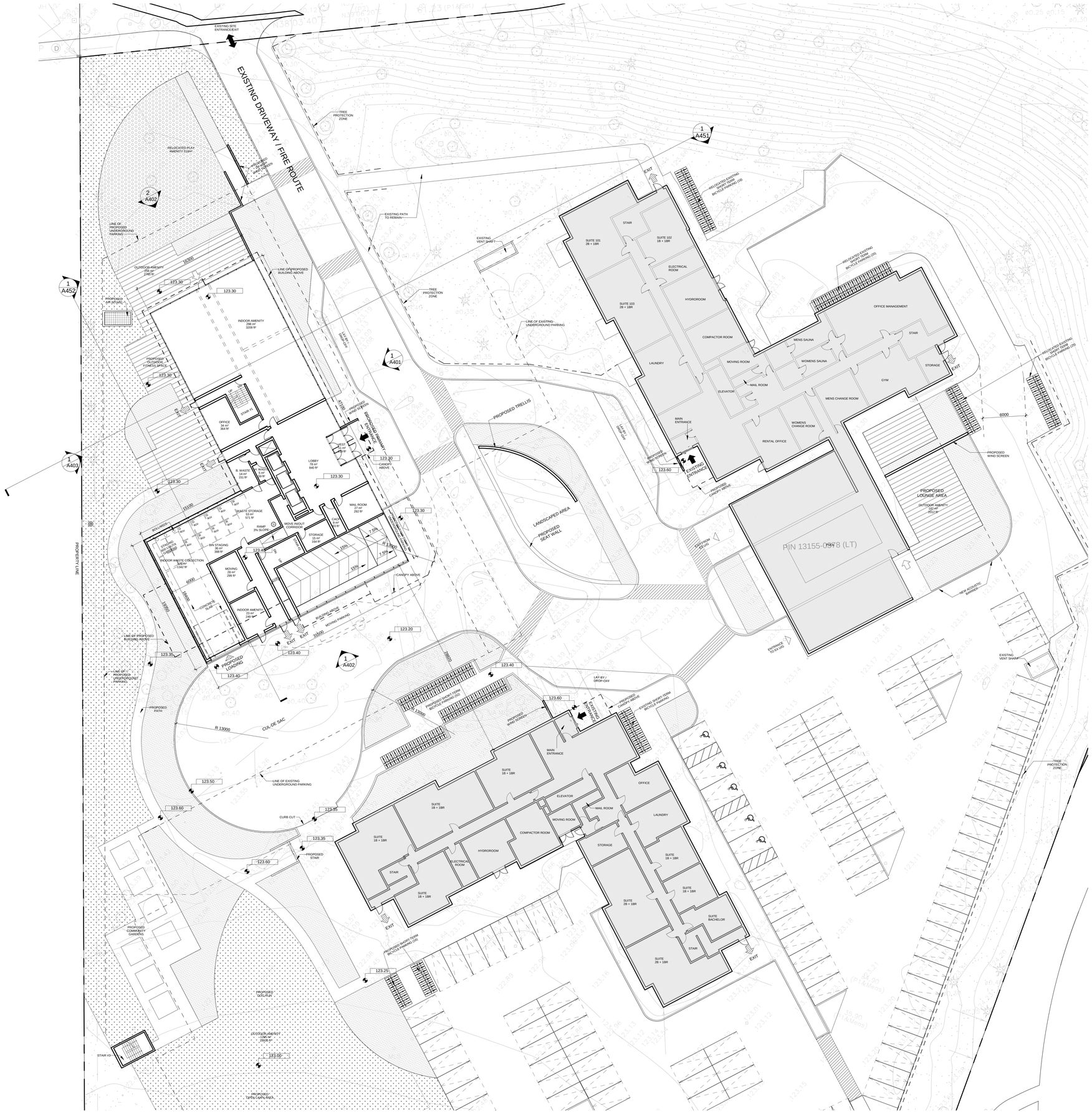
Underground Parking Level P1

A153

Note: This drawing is the property of the Architect and may not be reproduced or used without the expressed consent of the Architect. The Contractor is responsible
for checking and verifying all levels and dimensions and shall report all discrepancies to the Architect and obtain clarification prior to commencing work.

C:\Revit Projects\QAL_AR_17035_600 & 620 Lolita Gardens_R2017_vhornig.rvt

2019-04-24 2:14:53 PM



1 A201 GROUND FLOOR

PROPERTY LINE
LINE OF UNDER GROUND GARBAGE BELOW
PRIMARY BUILDING ENTRANCE
SECONDARY ENTRANCE
EXIT
VEHICLE / LOADING ENTRANCE / EXIT
FIRE HYDRANT
SIAMESE CONNECTION
MANHOLE COVER
AREA DRAIN
CATCH BASIN
EXISTING LIGHT
SPOT ELEVATION REFERENCE
F.F.E. FINISH FLOOR ELEVATION
EXISTING TO REMAIN
PLANTING
SOD
LOCKSTONE PAVING
GRAVEL
1 A400 ELEVATION REFERENCE
1 A450 BUILDING SECTION REFERENCE
EXISTING BUILDINGS

REVISION RECORD

ISSUE RECORD

Quadrangle

Quadrangle Architects Limited
901 King Street West, Suite 701 Toronto, ON M5V 3H5
t 416 598 1240 www.quadrangle.ca

600-620 Lolita Gardens

Mississauga, ON

for
Hanseatic Holdings Limited

17035	1:200	VH	HT
PROJECT	SCALE	DRAWN	REVIEWED

Ground Floor Plan

A201

Note: This drawing is the property of the Architect and may not be reproduced or used without the expressed consent of the Architect. The Contractor is responsible
for checking and verifying all levels and dimensions and shall report all discrepancies to the Architect and obtain clarification prior to commencing work.

2019-07-25 8:45:49 AM

C:\Revit Projects\QAL_AR_20A_17035_600 & 620 Lolita Gardens_R2017_shomig.rvt

1 A202 Plan of Floor 2

ELEVATION REFERENCE

BUILDING SECTION REFERENCE

EXISTING BUILDINGS

REVISION RECORD

ISSUE RECORD

Quadrangle

Quadrangle Architects Limited
901 King Street West, Suite 701 Toronto, ON M5V 3H5
t 416 598 1240 www.quadrangle.ca

600-620 Lolita Gardens

Mississauga, ON

for
Hanseatic Holdings Limited

17035	1:200	VH	HT
PROJECT	SCALE	DRAWN	REVIEWED

Plan of Floor 2

A202

Note: This drawing is the property of the Architect and may not be reproduced or used without the expressed consent of the Architect. The Contractor is responsible
for checking and verifying all levels and dimensions and shall report all discrepancies to the Architect and obtain clarification prior to commencing work.

C:\Revit Projects\QAL_AR_17035_600 & 620 Lolita Gardens_R2017_vhuang.rvt

2019-06-17 4:44:15 PM

1 A203 Plan of Typical Floor 3-5

1 A400 ELEVATION REFERENCE

1 A450 BUILDING SECTION REFERENCE

EXISTING

REVISION RECORD

ISSUE RECORD

Quadrangle

Quadrangle Architects Limited
901 King Street West, Suite 701 Toronto, ON M5V 3H5
t 416 598 1240 www.quadrangle.ca

600-620 Lolita Gardens

Mississauga, ON

for
Hanseatic Holdings Limited

17035	1:200	VH	HT
PROJECT	SCALE	DRAWN	REVIEWED

Plan of Typical Floor 3-5

A203

Note: This drawing is the property of the Architect and may not be reproduced or used without the expressed consent of the Architect. The Contractor is responsible
for checking and verifying all levels and dimensions and shall report all discrepancies to the Architect and obtain clarification prior to commencing work.

C:\Revit Projects\QAL_AR_17035_600 & 620 Lolita Gardens_R2017_vhornig.rvt

2019-04-24 2:15:07 PM

Suite 2, 2B +1BR
62 m²
672 ft²
Suite 3, 2B +1BR
61 m²
657 ft²
Suite 12, 1B +1BR
48 m²
520 ft²
Suite 4,Bachelor
41 m²
445 ft²
Suite 5, 1B +1BR
52 m²
558 ft²
Suite 11, 1B +1BR
57 m²
612 ft²
Garbage Chute
Suite 10, 2B +1BR
67 m²
720 ft²
Suite 6, 2B +2BR
74 m²
795 ft²
Suite 7, 2B +2BR
80 m²
861 ft²
Suite 8, 1B +1BR
50 m²
538 ft²
Suite 9, 2B +2BR
80 m²
862 ft²
BALCONY
TERRACE
Elevator
Stair
Suite 2B + 1BR
Suite 1B + 1BR
Suite 2B + 2BR
Suite 3B + 2BR
Suite 1B + 1BR
Suite 2B + 1BR
Suite 2B + 2BR
Suite 2B + 1BR
Suite 1B + 1BR
Suite 2B + 1BR
Suite 2B + 2BR
Suite 2B + 1BR
Suite 2B + 2BR
Suite 2B + 1BR
Suite 2B + 1BR
Suite 2B + 1BR
Suite 2B + 1BR
Suite 2B + 1BR
Suite 2B + 1BR
Suite 2B + 2

Suite 2, 3B +2BR
92 m²
991 ft²
Suite 1, 2B +1BR
68 m²
731 ft²
Suite 3, 2B +2BR
79 m²
855 ft²
Suite 12, 2B +1BR
65 m²
700 ft²
Suite 4, 1B +1BR
47 m²
505 ft²
Suite 5, 1B +1BR
52 m²
558 ft²
Suite 11, 1B +1BR
55 m²
591 ft²
Garbage Chute
Suite 10, 2B +1BR
66 m²
712 ft²
Suite 6, 2B +2BR
74 m²
795 ft²
Suite 7, 2B +2BR
80 m²
860 ft²
Suite 8, 1B +1BR
50 m²
538 ft²
Suite 9, 2B +2BR
81 m²
867 ft²
BALCONY
TERRACE BELOW @ 6TH FLOOR
STAIRS
ELEVATOR
Elev
Stair
Suite 2B + 1BR
Suite 2B + 2BR
Suite 1B + 1BR
Suite 3B + 2BR
Suite 2B + 1BR
Suite 1B + 1BR
Suite 2B + 2BR
Suite 2B + 1BR
Suite 1B + 1BR
Suite 2B + 2BR
Suite 2B + 1BR
Suite 2B + 2BR
Suite 2B + 1BR
Suite 2B + 2BR
Suite 2

1 A206 Plan of Typical Floor 22-25

1 A400 ELEVATION REFERENCE

1 A450 BUILDING SECTION REFERENCE

EXISTING

REVISION RECORD

ISSUE RECORD

Quadrangle

Quadrangle Architects Limited
901 King Street West, Suite 701 Toronto, ON M5V 3H5
t 416 598 1240 www.quadrangle.ca

600-620 Lolita Gardens

Mississauga, ON

for
Hanseatic Holdings Limited

17035	1:200	VH	HT
PROJECT	SCALE	DRAWN	REVIEWED

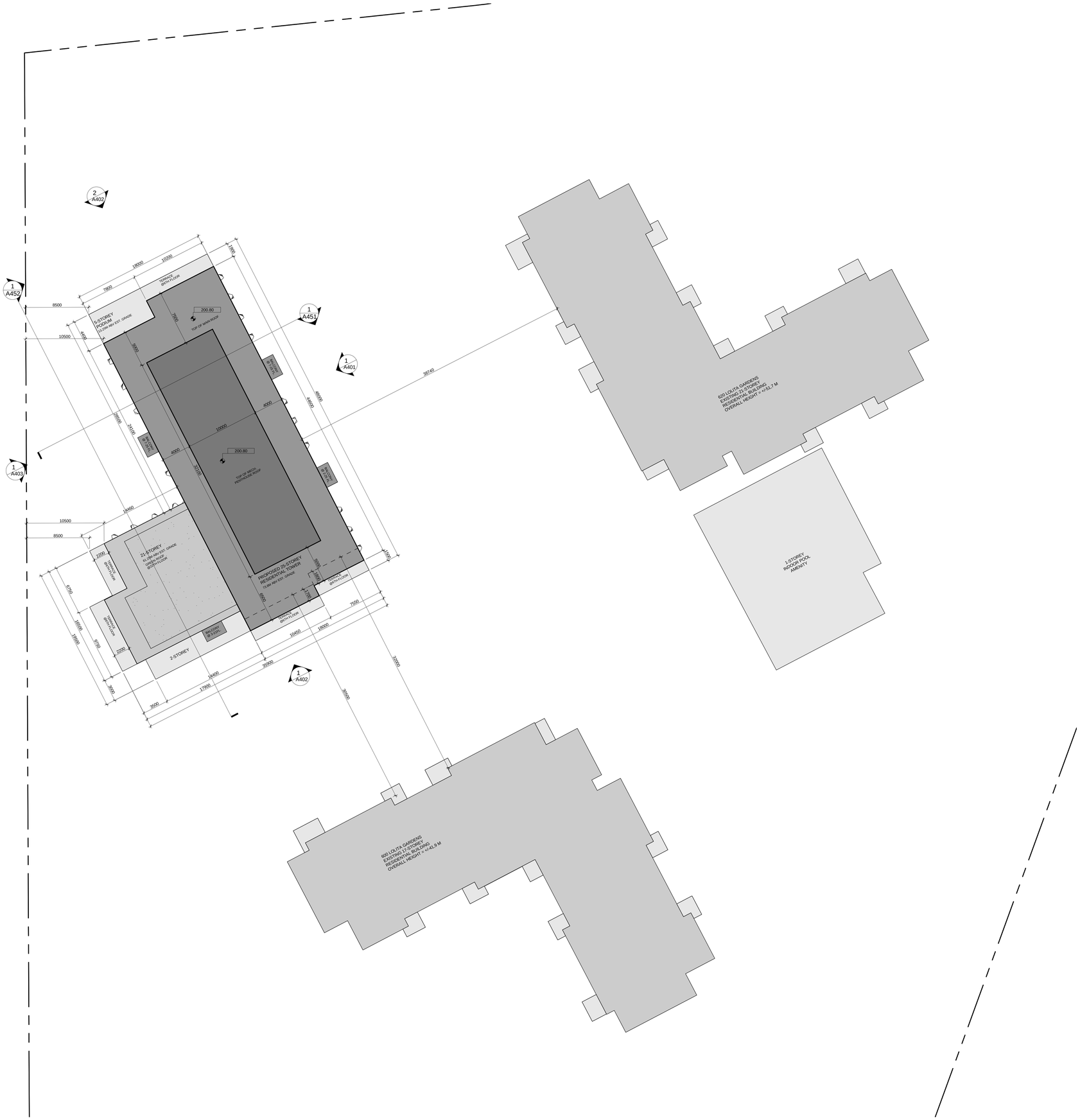
Plan of Typical Floor 22-25

A206

Note: This drawing is the property of the Architect and may not be reproduced or used without the expressed consent of the Architect. The Contractor is responsible
for checking and verifying all levels and dimensions and shall report all discrepancies to the Architect and obtain clarification prior to commencing work.

C:\Revit Projects\QAL_AR_17035_600 & 620 Lolita Gardens_R2017_vhormig.rvt

2019-04-24 2:15:12 PM



1 A207 Roof Plan

1 A400 ELEVATION REFERENCE

1 A450 BUILDING SECTION REFERENCE

EXISTING

REVISION RECORD

ISSUE RECORD

Quadrangle

Quadrangle Architects Limited
901 King Street West, Suite 701 Toronto, ON M5V 3H5
t 416 598 1240 www.quadrangle.ca

600-620 Lolita Gardens

Mississauga, ON

for
Hanseatic Holdings Limited

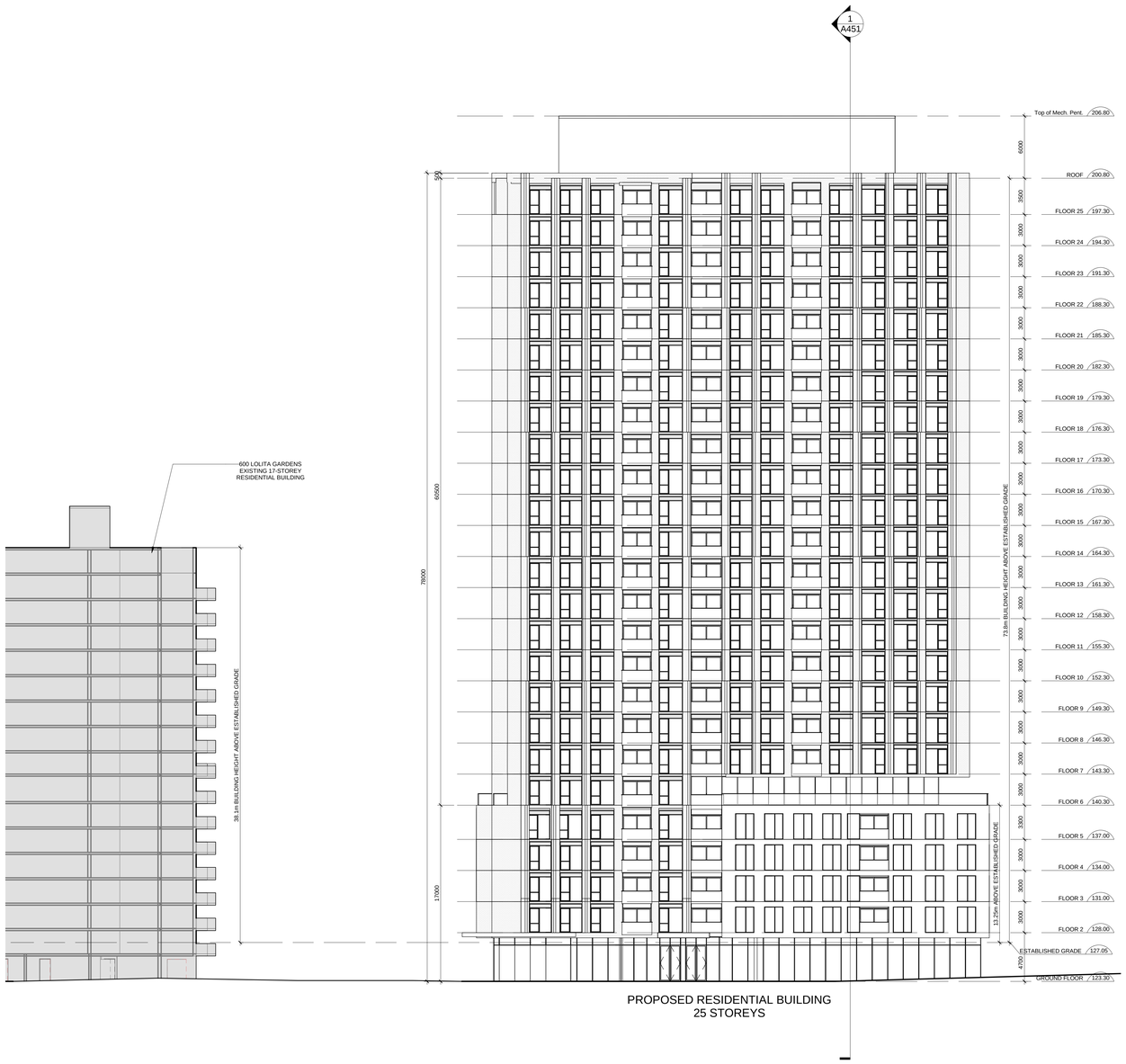
17035	1:200	VH	HT
PROJECT	SCALE	DRAWN	REVIEWED

Roof Plan

A207

Note: This drawing is the property of the Architect and may not be reproduced or used without the expressed consent of the Architect. The Contractor is responsible
for checking and verifying all levels and dimensions and shall report all discrepancies to the Architect and obtain clarification prior to commencing work.

C:\Revit Projects\QAL_AR_17035_600 & 620 Lolita Gardens_R2017_vhorrig.rvt
2019-04-24 2:15:22 PM



1
A401
Elevation North

REVISION RECORD

ISSUE RECORD

Quadrangle

Quadrangle Architects Limited
901 King Street West, Suite 701 Toronto, ON M5V 3H5
t 416 598 1240 www.quadrangle.ca

600-620 Lolita Gardens

Mississauga, ON

for
Hanseatic Holdings Limited

17035	1 : 200	VH	HT
PROJECT	SCALE	DRAWN	REVIEWED

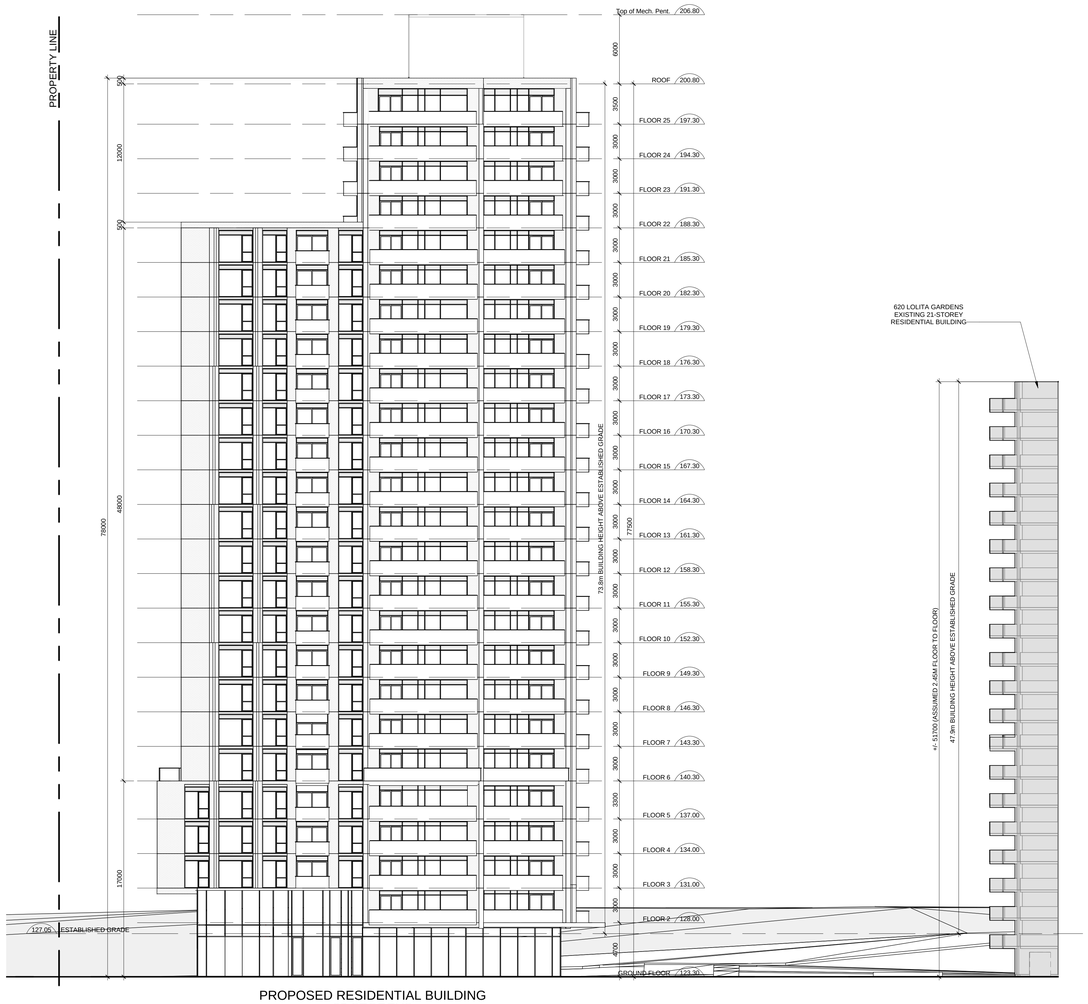
North Elevation

A401

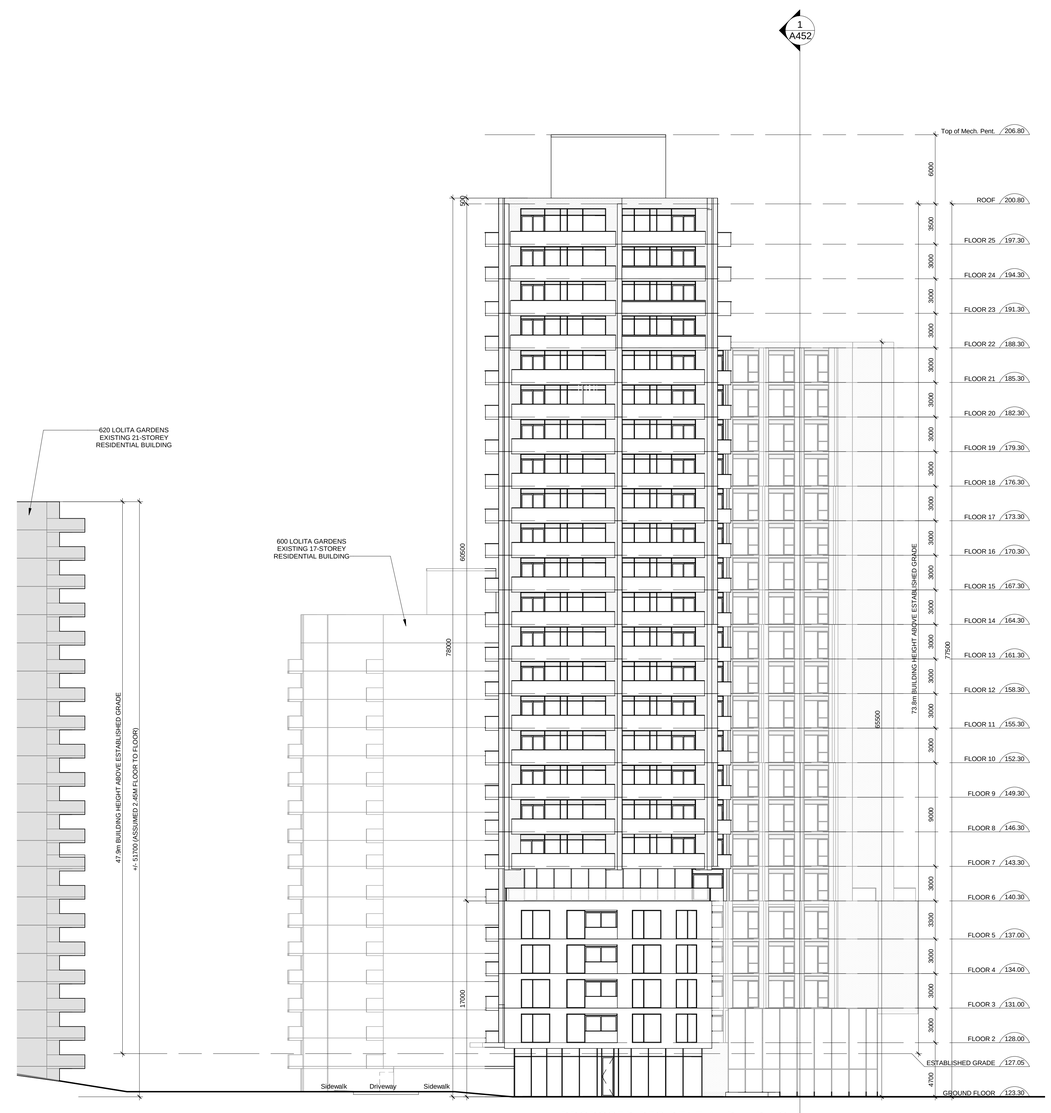
Note: This drawing is the property of the Architect and may not be reproduced or used without the expressed consent of the Architect. The Contractor is responsible
for checking and verifying all levels and dimensions and shall report all discrepancies to the Architect and obtain clarification prior to commencing work.

C:\Revit Projects\QAL_AR_17035_600 & 620 Lolita Gardens_R2017_vhornig.rvt

2019-04-24 2:15:30 PM



1 A402 Elevation East



2 A402 Elevation West

REVISION RECORD

ISSUE RECORD

Quadrangle

Quadrangle Architects Limited
901 King Street West, Suite 701 Toronto, ON M5V 3H5
t 416 598 1240 www.quadrangle.ca

600-620 Lolita Gardens

Mississauga, ON

for
Hanseatic Holdings Limited

17035	1 : 200	VH	HT
PROJECT	SCALE	DRAWN	REVIEWED

East and West Elevations

A402

Note: This drawing is the property of the Architect and may not be reproduced or used without the expressed consent of the Architect. The Contractor is responsible
for checking and verifying all levels and dimensions and shall report all discrepancies to the Architect and obtain clarification prior to commencing work.

C:\Revit Projects\QAL_AR_17035_600 & 620 Lolita Gardens_R2017_vhoming.rvt
2019-04-24 2:15:42 PM

PROPOSED RESIDENTIAL BUILDING
25 STOREYS

1
A403
Elevation South

REVISION RECORD

ISSUE RECORD

Quadrangle

Quadrangle Architects Limited
901 King Street West, Suite 701 Toronto, ON M5V 3H5
t 416 598 1240 www.quadrangle.ca

600-620 Lolita Gardens

Mississauga, ON

for
Hanseatic Holdings Limited

17035	1 : 200	VH	HT
PROJECT	SCALE	DRAWN	REVIEWED

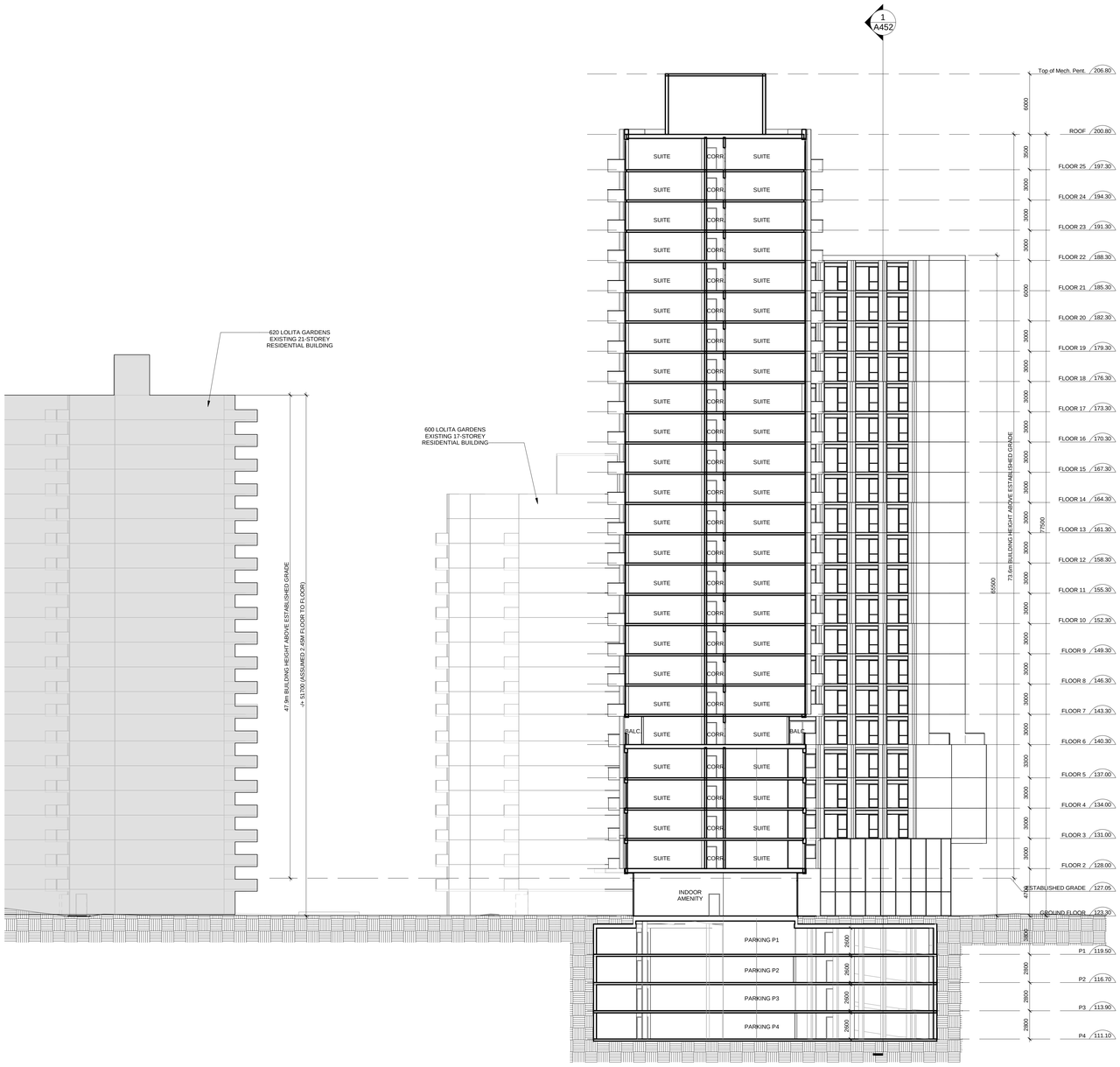
South Elevation

A403

Note: This drawing is the property of the Architect and may not be reproduced or used without the expressed consent of the Architect. The Contractor is responsible
for checking and verifying all levels and dimensions and shall report all discrepancies to the Architect and obtain clarification prior to commencing work.

C:\Revit Projects\QAL_AR_17035_600 & 620 Lolita Gardens_R2017_Vhomig.rvt

2019-04-24 2:15:51 PM



PROPOSED RESIDENTIAL BUILDING
25 STOREYS

1
A451
North-South Section

REVISION RECORD

ISSUE RECORD

Quadrangle

Quadrangle Architects Limited
901 King Street West, Suite 701 Toronto, ON M5V 3H5
t 416 598 1240 www.quadrangle.ca

600-620 Lolita Gardens

Mississauga, ON

for
Hanseatic Holdings Limited

17035	1 : 200	VH	HT
PROJECT	SCALE	DRAWN	REVIEWED

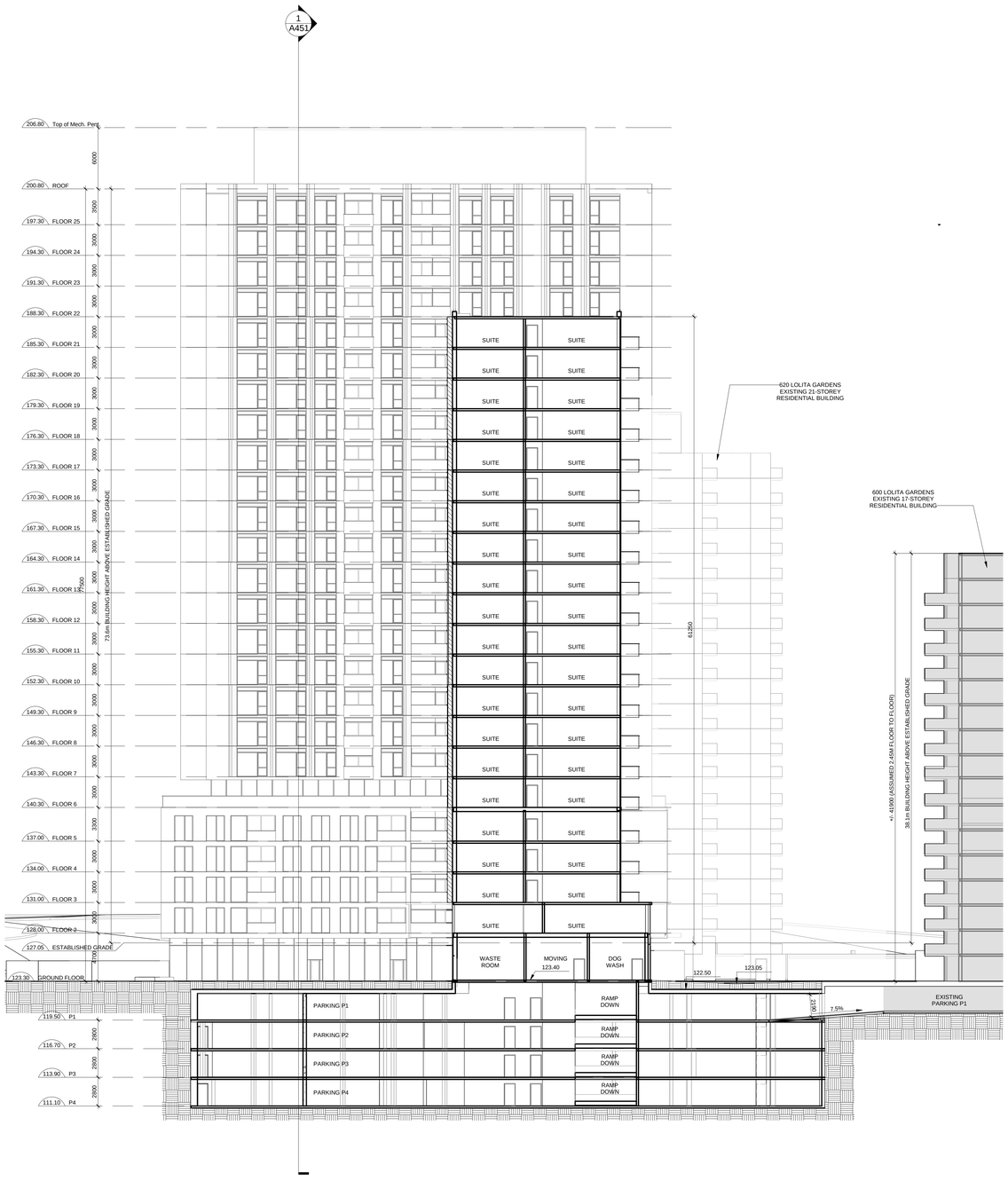
North-South Section

A451

Note: This drawing is the property of the Architect and may not be reproduced or used without the expressed consent of the Architect. The Contractor is responsible
for checking and verifying all levels and dimensions and shall report all discrepancies to the Architect and obtain clarification prior to commencing work.

C:\Revit Projects\QAL_AR_17035_600 & 620 Lolita Gardens_R2017_Khamlgin.rvt

2019-04-24 2:15:56 PM


1
A451
206.80 Top of Mech. Penj.
200.80 ROOF
197.30 FLOOR 25
194.30 FLOOR 24
191.30 FLOOR 23
188.30 FLOOR 22
185.30 FLOOR 21
182.30 FLOOR 20
179.30 FLOOR 19
176.30 FLOOR 18
173.30 FLOOR 17
170.30 FLOOR 16
167.30 FLOOR 15
164.30 FLOOR 14
161.30 FLOOR 13
158.30 FLOOR 12
155.30 FLOOR 11
152.30 FLOOR 10
149.30 FLOOR 9
146.30 FLOOR 8
143.30 FLOOR 7
140.30 FLOOR 6
137.00 FLOOR 5
134.00 FLOOR 4
131.00 FLOOR 3
128.00 FLOOR 2
127.05 ESTABLISHED GRADE
123.30 GROUND FLOOR
119.50 P1
116.70 P2
113.90 P3
111.10 P4
6000
3500
3000
3000
3000