4.2 RL AND RS ZONES (DETACHED DWELLINGS AND SEMI-DETACHED TYPICAL LOTS)

4.2.1 RL and RS Permitted Uses and Zone Regulations (0048-2025)

All **buildings** and **structures** shall comply with the provisions contained in Parts 1 to 3 and Section 4.1 of this By-law, and the **uses** and zone regulations specified within the applicable zone column contained in Table 4.2.1 - RL and RS Permitted Uses and Zone Regulations.

Table 4.2.1 - RL and RS Permitted Uses and Zone Regulations

(0379-2009), (0190-2014), (0181-2018/LPAT Order 2019 February 15), (0111-2019/LPAT Order 2021 March 09), (0018-2021), (0182-2024), (0048-2025)

Colu	nn A	В	C
Line 1.0	ZONES	RL Residential Large Lot	RS Residential Small Lot
2.0	RESIDENTIAL		
2.1	Detached Dwelling	√ (1)(7)	√ (1)(7)
2.2	Semi-Detached	√ (1)	√ (1)
3.0	MINIMUM LOT AREA		
3.1	Interior lot	Detached Dwelling : 550 m ²	Detached Dwelling : 285 m ²
		Semi-Detached : 340 m ²	Semi-Detached: 200 m ²
3.2	Corner lot	Detached Dwelling : 720 m ²	Detached Dwelling : 370 m ²
		Semi-Detached: 400 m ²	Semi-Detached: 280 m ²
4.0	MINIMUM LOT FRONTAGE		
4.1	Interior lot	Detached Dwelling : 15.0 m	Detached Dwelling : 9.75 m
		Semi-Detached: 9.0 m	Semi-Detached: 6.8 m
4.2	Corner lot	Detached Dwelling : 19.5 m	Detached Dwelling : 12.0 m
		Semi-Detached: 12.0 m	Semi-Detached: 9.8 m
5.0	MAXIMUM LOT COVERAGE	35%	Detached Dwelling: 40%
			Semi-Detached: 45%
6.0	MINIMUM FRONT YARD		
6.1	Interior lot	Detached Dwelling : 7.5 m ⁽²⁾	Detached Dwelling : 3.5 m ⁽²⁾
		Semi-Detached: 6.0 m ⁽²⁾	Semi-Detached: 4.5 m ⁽²⁾
6.2	Corner lot	Detached Dwelling : 6.0 m ⁽²⁾	Detached Dwelling: 3.5 m ⁽²⁾
		Semi-Detached: 6.0 m ⁽²⁾	Semi-Detached: 4.5 m ⁽²⁾

Table 4.2.1 continued on next page

Colur	nn A	В	С
Line 1.0	ZONES	RL Residential Large Lot	RS Residential Small Lot
Table	4.2.1 continued from previous page		
6.3	Garage face	Equal to the front yard	Detached Dwelling: 5.8 m
			Semi-Detached: 6.0 m
7.0	MINIMUM EXTERIOR SIDE YARD	6.0 m ⁽²⁾	3.5 m ⁽²⁾
7.1	Garage face	Equal to the exterior side yard	Detached Dwelling : 5.8 m
			Semi-Detached: 6.0 m
8.0	MINIMUM INTERIOR SIDE YARD		
8.1	Interior lot - Unattached side	Detached Dwelling: 1.2 m ⁽²⁾	Detached Dwelling: 1.2 m on one side of the lot and 0.61 m on the other side (2)
		Semi-Detached: 1.8 m ⁽²⁾	Semi-Detached : 1.2 m ⁽²⁾
8.2	Interior lot - Attached side	$0.0~\mathrm{m}^{~(2)}$	0.0 m ⁽²⁾
8.3	Corner lot	Detached Dwelling: 1.2 m ⁽²⁾	Detached Dwelling: 0.61 m ⁽²⁾
9.0	MINIMUM REAR YARD		
9.1	Interior lot	7.5 m ⁽²⁾	Detached Dwelling : 7.0 m ⁽²⁾
			Semi-Detached : 7.5 m ⁽²⁾
9.2	Corner lot	Detached Dwelling : 3.0 m ⁽²⁾	Detached Dwelling : 7.0 m ⁽²⁾
		Semi-Detached: 7.5 m (2)	Semi-Detached: 7.5 m ⁽²⁾
10.0	MAXIMUM HEIGHT - HIGHEST RIDGE sloped roof	10.7 m	10.7 m
11.0	MAXIMUM HEIGHT: flat roof	7.5 m	7.5 m
12.0	ATTACHED GARAGE, PARKING AND DRIVEWAY		
12.1	Attached garage	Permitted (3)	Permitted (3)
12.2	Minimum parking spaces	√ (4)(5)	√ (4)(5)
12.3	Maximum driveway width	√ (4)	√ (4)
12.4	Minimum landscaped soft area in the yard containing the driveway	Detached Dwelling: 40% of the front yard or exterior side yard	Detached Dwelling: 30% of the front yard or exterior side yard
		Semi-Detached: n/a	Semi-Detached: n/a

Table 4.2.1 continued on next page

Column A		В	С
Line 1.0	ZONES	RL Residential Large Lot	RS Residential Small Lot
Table	4.2.1 continued from previous page		
13.0	ACCESSORY BUILDINGS AND STRUCTURES	√ (6)	√ (6)
14.0	MAXIMUM DWELLING UNIT DEPTH	20.0 m	20.0 m

NOTES:

- See also Subsections 4.1.1 and 4.1.17 of this By-law.
 See also Subsections 4.1.7 and 4.1.8 of this By-law.
- (3) See Subsection 4.1.12 of this By-law.
 (4) See Subsection 4.1.9 of this By-law.
 (5) See Part 3 of this By-law.

- (6) See Subsection 4.1.2 of this By-law.
 (7) See also Subsection 4.1.16 of this By-law.

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4.2.2 Residential Large Lot Exception Zones (0048-2025)

Refer to Article 1.1.2.3 - Exception Zones and Exception Zone Schedules

In addition to the **uses** and regulations contained in Subsection 4.2.1 - RL and RS Permitted Uses and Zone Regulations, the regulations contained in Table 4.2.2 - Residential Large Lot Infill Exception Regulations shall apply where specified by a RL Exception Zone.

Table 4.2.2 - Residential Large Lot Infill Exception Regulations (0325-2008), (0308-2011), (0048-2025)

Colui	nn A	В
Line		
1.0	MINIMUM INTERIOR SIDE YARD	
1.1	Interior lot - detached dwelling - with a lot frontage less than 18.0 m	1.2 m
1.2	Interior lot - detached dwelling - with a lot frontage equal to or greater than 18.0 m	1.8 m
2.0	MINIMUM COMBINED WIDTH OF SIDE YARDS	
2.1	One storey dwelling	20% of the lot frontage
2.2	Dwelling with more than one storey	27% of the lot frontage
3.0	MAXIMUM GROSS FLOOR AREA - INFILL RESIDENTIAL	Detached Dwelling: 190 m ² plus 0.20 times the lot area
		Semi-Detached: 150 m ² plus 0.20 times the lot area
4.0	GARAGE PROJECTION:	
	maximum projection of the garage beyond the front wall or exterior side wall of the first storey	2.5 m

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4.2.2.1	Exception: RL-1	Map # 02, 07, 08	By-law: 0226-2022, 0048-2025		
	In a RL-1 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:				
Regulation					
4.2.2.1.1	The regulations contained is shall apply	n Subsection 4.2.2 of this By-l	aw		

4.2.2.2	Exception: RL-2	Map # 02, 03, 07, 08, 09	By-law: 0048-2025	
	In a RL-2 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
4.2.2.2.1 The regulations contained in Subsection 4.2.2 of this By-law shall apply				
4.2.2.2.2	deleted			

4.2.2.3	Exception: RL-3	Map # 08	By-law: 0048-2025		
	In a RL-3 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:				
Regulation					
4.2.2.3.1	4.2.2.3.1 The regulations contained in Subsection 4.2.2 of this By-law shall apply				
4.2.2.3.2	2.2.3.2 deleted				
4.2.2.3.3	deleted				

4.2.2.4	Exception: RL-4	Map # 02, 03, 08, 09, 10	By-law: OLT Order 2021 August 10/ 2021 November 09, 0048-2025		
	In a RL-4 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:				
Regulation					
4.2.2.4.1	The regulations contained in shall apply	n Subsection 4.2.2 of this By-	-law		

4.2.2.5	Exception: RL-5	Map # 09	By-law: 0048-2025		
that the followi	In a RL-5 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:				
4.2.2.5.1	4.2.2.5.1 The regulations contained in Subsection 4.2.2 of this By-law shall apply				
4.2.2.5.2	deleted				

4.2.2.6	Exception: RL-6	Map # 02, 03, 07, 08, 09, 10	By-law: 0225-2017, LPAT Order 2020 June 01, 0048-2025	
	the permitted uses and appling uses /regulations shall app		pecified for a RL zone except	
Regulation				
4.2.2.6.1	4.2.2.6.1 The regulations contained in Subsection 4.2.2 of this By-law shall apply			
4.2.2.6.2	deleted			

4.2.2.7	Exception: RL-7	Map # 02, 03, 07, 08, 09, 10 By-law: 0247-2016, 0131-2024, 0048-2025		
	owing uses/regulations sha	applicable regulations shall be as specified for a RL zone except l apply:		
4.2.2.7.1 The regulations contained in Subsection 4.2.2 of this By-law shall apply				
4.2.2.7.2	deleted			

4.2.2.8	Exception: RL-8	Map # 07	By-law: 0048-2025	
	In a RL-8 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Regulations	Regulations			
4.2.2.8.1	2.8.1 The regulations contained in Subsection 4.2.2 of this By-law shall apply			
4.2.2.8.2	4.2.2.8.2 The regulations of Line 4.1 contained in Table 4.2.1 of this By-law shall not apply			
4.2.2.8.3	Access to all lots shall be vi	ia a common frontage on		

4.2.2.9	Exception: RL-9	Map # 03, 07, 08, 09, 10	By-law: 0131-2019, OLT Order 2021 August 10/ 2021 November 09, 0068-2022, 0048-2025			
	In a RL-9 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:					
Regulation						
4.2.2.9.1	The regulations contained in Subsection 4.2.2 of this By-law shall apply					

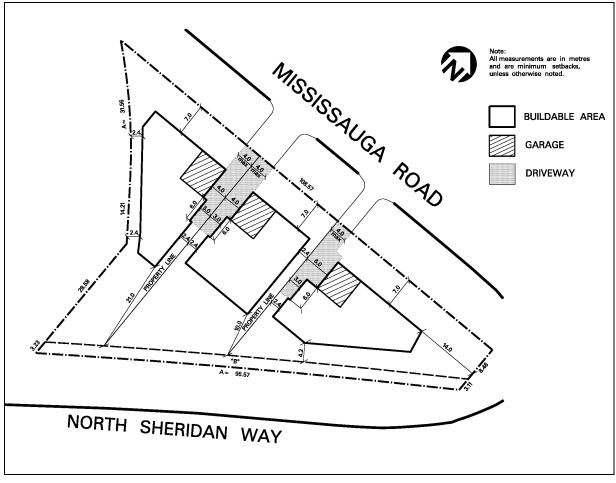
4.2.2.10	Exception: RL-10	Map # 03, 07, 08, 10	By-law: 0048-2025				
	In a RL-10 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:						
Regulation	Regulation						
4.2.2.10.1	4.2.2.10.1 The regulations contained in Subsection 4.2.2 of this By-law shall apply						
4.2.2.10.2	deleted						

4.2.2.11	Exception: RL-11	Map # 03, 07, 08, 10	By-law: 0048-2025			
In a RL-11 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:						
Regulation						
4.2.2.11.1	4.2.2.11.1 The regulations contained in Subsection 4.2.2 of this By-law shall apply					
4.2.2.11.2	deleted					

4.2.2.12	Exception: RL-12	Map # 09	By-law: 0048-2025				
	In a RL-12 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:						
Regulations							
4.2.2.12.1	The regulations contained in Subsection 4.2.2 of this By-law shall apply						
4.2.2.12.2	A detached dwelling shall comply with the RL zone regulations contained in Subsection 4.2.1 of this By-law except that:						
	(1) minimum lot ar	ea - interior lot	420 m^2				
	(2) minimum lot area - corner lot 585 m ²						
	(3) minimum lot fr e	ontage - interior lot	14.0 m				
	(4) minimum lot fr e	ontage - corner lot	18.0 m				

4.2.2.13	Exception: RL-13	Map #	By-law: deleted by LPAT Order 2019 August 20, 0048-2025

4.2.2.14	Exception: RL-14	Map # 16	By-law: 0181-2016, 0208-2022, 0048-2025					
	In a RL-14 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:							
Regulations								
4.2.2.14.1	deleted							
4.2.2.14.2	deleted							
4.2.2.14.3	deleted							
4.2.2.14.4	deleted							
4.2.2.14.5	The lot line abutting Missis the front lot line	sauga Road shall be	deemed to be					
4.2.2.14.6	deleted							
4.2.2.14.7	deleted							
4.2.2.14.8	Driveways and parking areas shall be constructed of a pervious material							
4.2.2.14.9	Accessory buildings and st be located outside the build in the rear yard							
4.2.2.14.10	All site development plans shall comply with Schedule RL-14 of this Exception							



Schedule RL-14 Map 16

Part 4 - Residential Zones

4.2.2.15	Exception: RL-15	Map # 10	By-law: 0048-2025			
	In a RL-15 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:					
Regulations	Regulations					
4.2.2.15.1	deleted					
4.2.2.15.2 <i>deleted</i>						
4.2.2.15.3	Minimum setback from Cla	rkson Road North	18.0 m			

4.2.2.16	Exception: RL-16	Map # 17	By-law: 0379-2009, 0048-2025				
	In a RL-16 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:						
Regulations							
4.2.2.16.1	The provisions contained in By-law shall not apply	Subsection 4.1.16 and 4.1.17	of this				
4.2.2.16.2	deleted						
4.2.2.16.3	deleted						
4.2.2.16.4	deleted						
4.2.2.16.5	deleted						
4.2.2.16.6	deleted						
4.2.2.16.7	deleted						
4.2.2.16.8	Tennis courts or any like recreational facilities shall not be permitted in the front yard						

4.2.2.17	Exception: RL-17	Map #	By-law: deleted by 0048-2025

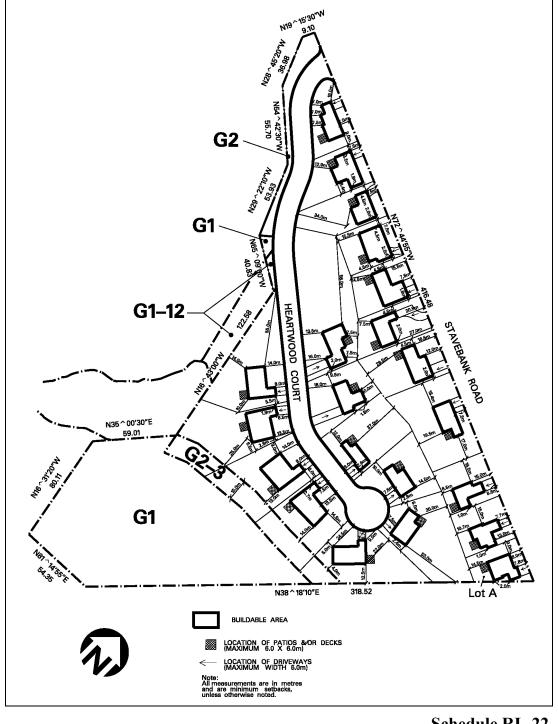
4.2.2.18	Exception: RL-18	Map #	By-law: deleted by 0048-2025

4.2.2.19	Exception: RL-19	Map # 24	By-law: 0048-2025				
	In a RL-19 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:						
Regulations							
4.2.2.19.1	deleted						
4.2.2.19.2	deleted						
4.2.2.19.3	deleted						
4.2.2.19.4	deleted						
4.2.2.19.5	deleted						
4.2.2.19.6	Minimum number of parki	ng spaces per dwelling unit	2				
4.2.2.19.7	Maximum projection of a g entrance	arage beyond the main front	0.0 m				
4.2.2.19.8	Maximum garage width: measured from the inside fa	ace of the garage side walls	5.5 m				
4.2.2.19.9	Maximum driveway width	per lot	5.5 m				

4.2.2.20	Excep	tion: RL-20	Map # 31	By-law: 0308-2011, 0048-2025			
	In a RL-20 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:						
Regulations							
4.2.2.20.1	deleted	d					
4.2.2.20.2	A detached dwelling shall comply with the RL zone regulations contained in Subsection 4.2.1 of this By-law except that:						
	(1)	minimum front yar	d	6.5 m			
	(2)	minimum exterior s	side yard	4.5 m			
	(3)		the rear lot line , where lands 4-3 or G2-4(12) zone	29.0 m			

4.2.2.21	Exception: RL-21	Map #	By-law: <i>deleted by 0048-2025</i>

4.2.2.22	Exception: RL-22	Map # 15	By-law: 0325-2008, 0208-2022, 0048-2025				
that the following	In a RL-22 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:						
Regulations							
4.2.2.22.1	deleted						
4.2.2.22.2	deleted						
4.2.2.22.3	deleted						
4.2.2.22.4	4.2.2.24 The areas outside the buildable areas and driveway locations identified on Schedule RL-22 of this Exception are tree preservation areas and shall only be used for conservation purposes and no buildings or structures , swimming pools , tennis courts or any like recreational facilities shall be permitted outside the buildable areas , except for fences along the lot lines , patios and/or decks						
4.2.2.22.5	All site development plans of this Exception	shall comply with Schedule R	L-22				



Schedule RL-22 Map 15

Revised: 2025 April 30

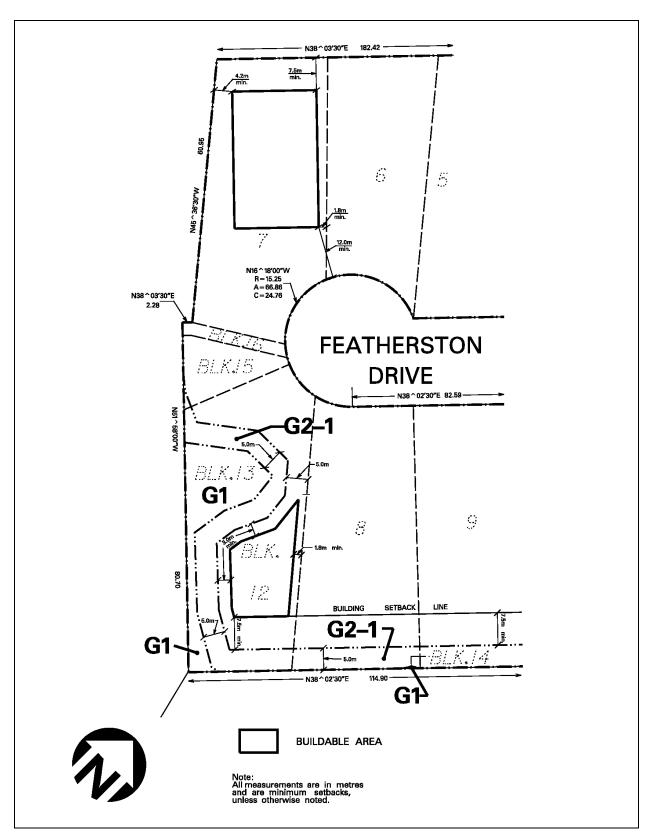
4.2.2.23	Exception: RL-23	Map # 31	By-law: 0308-2011, 0048-2025				
	In a RL-23 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:						
Regulations							
4.2.2.23.1	deleted						
4.2.2.23.2	A detached dwelling shall comply with the RL zone regulations contained in Subsection 4.2.1 of this By-law except that:						
	(1) minimum front yard 6.5 m						
4.2.2.23.3	deleted						
4.2.2.23.4	Minimum setback to the rear lot line 30.0 m						
4.2.2.23.5	Notwithstanding Sentence 4.2.2.23.4, minimum setback to the rear lot line of all accessory buildings and structures and swimming pools						

4.2.2.24	Exception: RL-24	Map # 38W	By-law: 0048-2025				
	In a RL-24 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:						
Regulations							
4.2.2.24.1	Maximum lot coverage - do one storey	etached dwelling not exceeding	ng 40%				
4.2.2.24.2	deleted						
4.2.2.24.3	deleted						
4.2.2.24.4	deleted						
4.2.2.24.5	Minimum rear yard		30.0 m				
4.2.2.24.6	Minimum setback to the rea and structures and swimm	ar lot line of all accessory buing pools	ildings 15.0 m				

4.2.2.25	Exception: RL-25	Map # 39E	By-law: 0048-2025				
	In a RL-25 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:						
Regulation							
4.2.2.25.1	Maximum lot coverage - de one storey	etached dwelling not exceeding	ng 40%				
4.2.2.25.2	deleted						
4.2.2.25.3	deleted						
4.2.2.25.4	deleted						

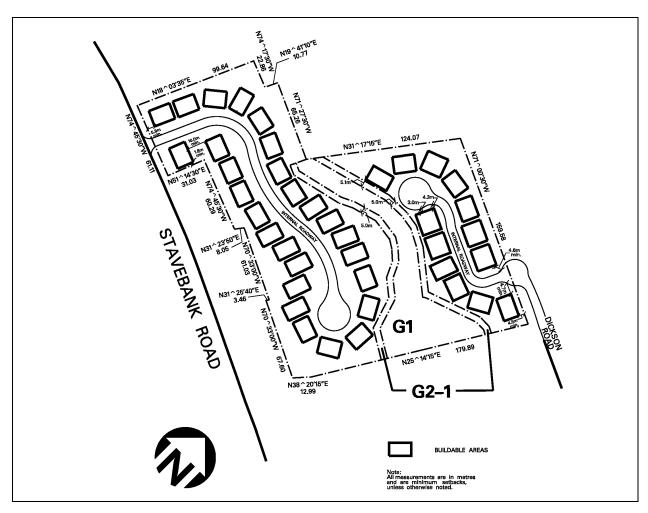
4.2.2.26	Excep	tion: RL-26	Map # 56	By-law: 0048-2025				
that the following	In a RL-26 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:							
Additional Per	rmitted	Use						
4.2.2.26.1	(1)	Veterinary Clinic						
Regulations								
4.2.2.26.2			mply with the RL zone regular1 of this By-law except that:	tions				
	(1)	•	landscaped buffer measured Britannia Road West	1 from 4.5 m				
	(2)	thereof, where dome livestock, are given grooming or care by	means a building , structure of esticated animals, excluding medical and/or surgical treatment a veterinarian licensed by the lindoor overnight boarding of mitted.	nent,				

4.2.2.27	Exception: RL-27	Map # 24	By-law: 0048-2025
4.2.2.21	Exception, RL-27	Map # 24	By-1aw. 0046-2023
	e the permitted uses and app ng uses /regulations shall app		specified for a RL zone except
Regulations			
4.2.2.27.1	Minimum lot area - interio	or lot	1200 m^2
4.2.2.27.2	Minimum lot frontage - int	terior lot	22.8 m
4.2.2.27.3	Maximum lot coverage		285 m^2
4.2.2.27.4	Minimum front yard - inte	rior lot	12.0 m
4.2.2.27.5	Minimum interior side yar	rd - interior lot	4.2 m on one side and 1.8 m + 0.61 m for each additional storey or portion thereof above one storey on the other side
4.2.2.27.6	Minimum rear yard - inter	ior lot that abuts an RL zone	7.5 m
4.2.2.27.7	Minimum rear yard - all of	ther interior lots	12.5 m
4.2.2.27.8	Maximum height - highest sloped roof	ridge:	9.5 m
4.2.2.27.9	All site development plans this Exception	shall comply with Schedule R	L-27 of



Schedule RL-27 Map 24

4.2.2.28	Exception: RL-28	Map # 15	Order 201	181-2018/LPAT 9 February 15, 2, 0048-2025
	ne the permitted uses and apping uses /regulations shall app		all be as specified for	or a RL zone except
Regulations				
4.2.2.28.1	Maximum number of dwell	ling units on all lands	zoned RL-28	40
4.2.2.28.2	Minimum landscaped area	1		45% of lot area
4.2.2.28.3	Maximum gross floor area	- residential per deta	ached dwelling	445 m^2
4.2.2.28.4	Minimum setback to a conc	dominium road		4.5 m
4.2.2.28.5	Minimum setback of a gara	age face to a condomi	nium road	6.0 m
4.2.2.28.6	Minimum distance between	buildings		3.0 m
4.2.2.28.7	Minimum setback of all bu or lands zoned G1	ildings and structure	s to any lot line	7.5 m
4.2.2.28.8	Maximum height - highest sloped roof	ridge:		11.5 m
4.2.2.28.9	deleted			
4.2.2.28.10	Height of all buildings and established grade	l structures shall be n	neasured from	
4.2.2.28.11	Maximum projection of a p buildable area identified o provided that the minimum structure shall be 3.0 m	n Schedule RL-28 of t	his Exception,	2.5 m
4.2.2.28.12	Maximum projection of a b foundation or chimney outs Schedule RL-28 of this Exc distance between any build	side the buildable are ception, provided that	a identified on the minimum	1.5 m
4.2.2.28.13	Minimum number of parki	ng spaces per dwellin	g unit	4
4.2.2.28.14	All site development plans of this Exception	shall comply with Sch	edule RL-28	



Schedule RL-28 Map 15

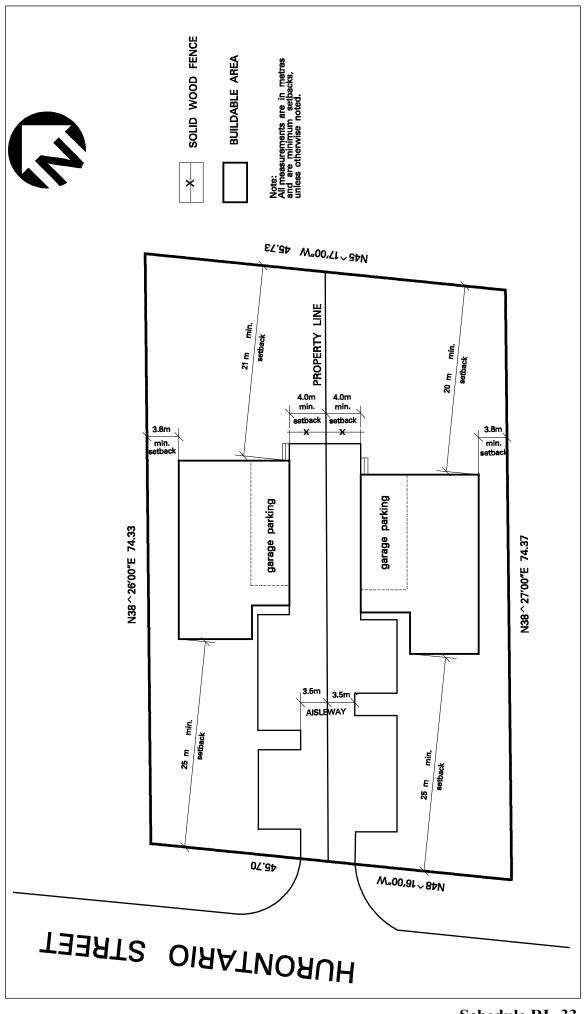
4.2.2.29	Exception: RL-29	Map # 07	By-law: 0054-2009, 0171-2015/OMB Order 2016 April 04, 0193-2016/ OMB Order 2017 May 30, 0048-2025		
In a RL-29 zor uses/regulation		shall be as specified for a RL	zone except that the following		
Permitted Use	es				
4.2.2.29.1	Lands zoned RL-29 shall or	aly be used for the following:			
	 Detached Dwelling Semi-Detached or Office or Office with one dwe Outdoor swimming office with one dwe 	elling unit pool accessory to an office or	r an		
Regulations					
4.2.2.29.2	deleted				
4.2.2.29.3	Maximum gross floor area	- non-residential	383 m^2		
4.2.2.29.4	Maximum driveway width one dwelling unit	for an office or an office with	13.0 m		
4.2.2.29.5	Minimum depth of a landso Street	caped buffer adjacent to Huro	ontario 7.5 m		
4.2.2.29.6	deleted				
4.2.2.29.7	deleted				
4.2.2.29.8	deleted				
4.2.2.29.9	deleted				
4.2.2.29.10	Maximum number of accessory buildings and structures for an office or an office with one dwelling unit				
4.2.2.29.11	Maximum number of tandem parking spaces 4				
4.2.2.29.12	An aisle adjacent to tandem parking spaces shall not be required				
4.2.2.29.13	Parking areas may be consmaterial	structed of a permeable type o	f		
4.2.2.29.14		I permitted in Clause 4.2.2.29 with the provisions contained 4.1.2 of this By-law			

4.2.2.30	Exception: RL-30	Map # 07	By-law: 0171-2015/OMB Order 2016 April 04, 0212-2015, 0193-2016/ OMB Order 2017 May 30, 0048-2025			
In a RL-30 zon uses /regulation		ns shall be as specified fo	or a RL zone except that the following			
Permitted Use	s					
4.2.2.30.1	Lands zoned RL-30 shall	l only be used for the following	lowing:			
	 (1) Detached Dwelli (2) Semi-Detached of (3) Office (4) Medical Office - 	or				
Regulation						
4.2.2.30.2	Maximum total gross flo	or area - non-residenti	al 130 m ²			
4.2.2.30.3	deleted					
4.2.2.30.4	deleted					
4.2.2.30.5	deleted					
4.2.2.30.6	deleted					
4.2.2.30.7	deleted					

4.2.2.31	Excep	tion: RL-31	Map # 07	By-law: 0171-2015/OMB Order 2016 April 04, 0193-2016/OMB Order 2017 May 30, 0048-2025	
In a RL-31 zon			shall be as specified for a RL z	zone except that the following	
Permitted Use	es				
4.2.2.31.1	Lands	zoned RL-31 shall or	nly be used for the following:		
	 (1) Detached Dwelling or (2) Semi-Detached or (3) Dental Laboratory or (4) Office and/or Medical Office - Restricted 				
Regulations					
4.2.2.31.2	delete	\overline{d}			
4.2.2.31.3	delete	\overline{d}			
4.2.2.31.4	delete	\overline{d}			
4.2.2.31.5	delete	\overline{d}			
4.2.2.31.6	delete	d			
4.2.2.31.7	A dental laboratory, office and a medical office - restricted shall comply with the RL zone regulations contained in Subsection 4.2.1 of this By-law except that:				
	(1)	minimum lot fronta	ge - interior lot	20.0 m	
	(2)	maximum total gros	s floor area - non-residentia	$1 80 \text{ m}^2$	
	(3)		spaces per 100 m ² gross floor d for a dental laboratory	area - 3.2	

4.2.2.32	Exception: RL-32	Map # 07	By-law: 0048-2025				
	In a RL-32 zone the applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:						
Permitted Uses	S						
4.2.2.32.1	Lands zoned RL-32 shall or	nly be used for the following:					
	 (1) Office (2) Medical Office - Restricted 						
Regulations							
4.2.2.32.2	Minimum lot frontage - interior lot 30.0 m						
4.2.2.32.3	Maximum total gross floor area - non-residential 585 m ²						

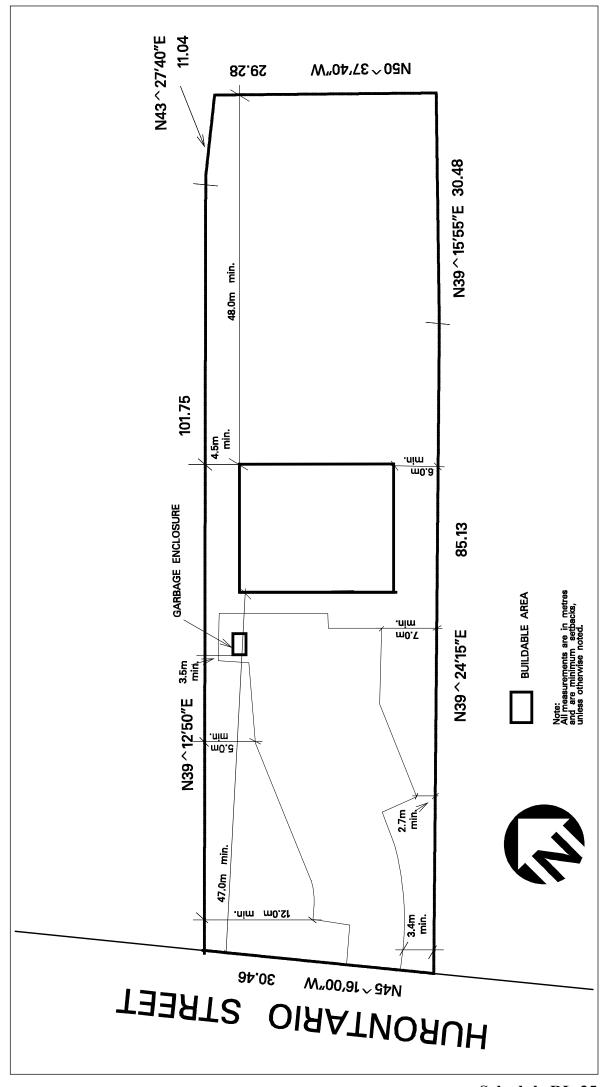
4.2.2.33	Exception: RL-33	Map # 07	By-law: 0048-2025				
	In a RL-33 zone the applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:						
Permitted Use	es						
4.2.2.33.1	Lands zoned RL-33 shall or	nly be used for the following:					
	(1) Office (2) Medical Office - Restricted						
Regulations							
4.2.2.33.2	Maximum gross floor area	- non-residential	418 m^2				
4.2.2.33.3	An office and medical office below average grade	ce - restricted shall not be per	mitted				
4.2.2.33.4	Minimum number of parki restricted	ng spaces for a medical office	The greater of 5.0 spaces per practitioner, or 6.5 spaces per 100 m ² gross floor area - non-residential				
4.2.2.33.5	No outdoor storage shall b	pe permitted					
4.2.2.33.6	All site development plans this Exception	shall comply with Schedule R	L-33 of				



Schedule RL-33 Map 07

4.2.2.34	Exception: RL-34	Map # 15	By-law: 0048-2025				
	In a RL-34 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:						
Regulations							
4.2.2.34.1	The regulations of Line 4.1 By-law shall not apply	contained in Table 4.2.1 of th	is				
4.2.2.34.2	Minimum setback of all bu it G1-12 zones	ildings and structures to G1 a	and 10.0 m				
4.2.2.34.3	Access shall be permitted fr	rom lands zoned G1-12					

4.2.2.35	Exception: RL-35	•	By-law: 0208-2022, 0048-2025		
In a RL-35 zon uses/regulation		shall be as specified for a RL zo	one except that the following		
Permitted Use	S				
4.2.2.35.1	Lands zoned RL-35 shall of	only be used for the following:			
	(1) Office(2) Medical Office - R	estricted			
Use Not Perm	itted				
4.2.2.35.2	(1) Office and/or medi more than 23 park	cal office - restricted that requiring spaces	res		
Regulations					
4.2.2.35.3	Minimum landscaped are	a	65% of lot area		
4.2.2.35.4	Maximum gross floor are	a - non-residential	552 m ²		
4.2.2.35.5	shall be restricted to the fo (1) climate control, ele distribution, mecha operation or mainte (2) areas of stairwells, (3) collection or storag generated within th (4) storage incidental t (5) lunch rooms, loung needs of occupants	ctrical, energy generation and nical equipment related to the enance of the building ; washrooms or elevators; e of disposable or recyclable was e building ; o permitted uses in the building ; es or washrooms for the persona of the building .	ste		
4.2.2.35.6	Maximum height - highes sloped roof	t ridge:	11.6 m		
4.2.2.35.7	Maximum encroachment of a porch outside the buildable area identified on Schedule RL-35 of this Exception, into the required front yard 1.7 m				
4.2.2.35.8	Maximum encroachment of an uncovered ramp for handicapped access outside the buildable area identified on Schedule RL-35 of this Exception into the required northerly interior side yard				
4.2.2.35.9	Maximum number of parking spaces 23				
4.2.2.35.10	All site development plans of this Exception	shall comply with Schedule RL	-35		



Schedule RL-35 Map 07

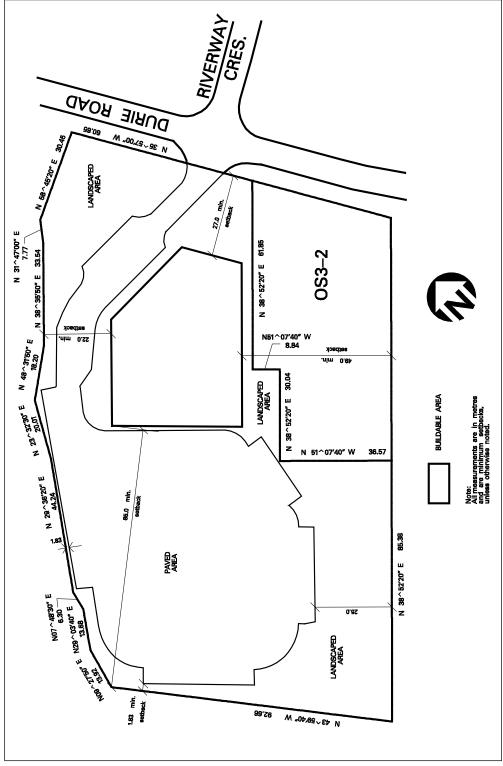
4.2.2.36	Exception: RL-36	Map #	By-law: deleted by 0048-2025

4.2.2.37	Exception: RL-37	Map # 38E	By-law: 0048-2025		
In a RL-37 zon uses/regulation		shall be as specified for a RL z	zone except that the following		
Permitted Use	s				
4.2.2.37.1	Lands zoned RL-37 shall or	nly be used for the following:			
	 (1) Place of Religious Assembly (2) Accessory uses to a place of religious assembly 				
Regulations					
4.2.2.37.2	The regulations of Line 2.2 By-law shall not apply	contained in Table 2.1.9.3 of	this		
4.2.2.37.3	Minimum interior side yar	d - interior lot	12.0 m		
4.2.2.37.4	Maximum height		13.5 m		
4.2.2.37.5	include administrative offic	of religious assembly shall on es associated with a place of care and a private community			

4.2.2.38	Exception: RL-38	Map # 38W	By-law: 0048-2025				
	In a RL-38 zone the applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:						
Permitted Uses	s						
4.2.2.38.1	Lands zoned RL-38 shall or	nly be used for the following:					
	 (1) Place of Religious A (2) Accessory uses to a 	Assembly place of religious assembly					
Regulations							
4.2.2.38.2	Maximum gross floor area	- non-residential	1 430 m ²				
4.2.2.38.3	Minimum front yard - inte	rior lot	27.0 m				
4.2.2.38.4	Minimum interior side yar	d - interior lot	49.0 m on one side and 22.0 m on the other side				
4.2.2.38.5	Minimum rear yard - inter	rior lot	85.0 m				
4.2.2.38.6	Maximum height including	any steeple or spire	12.2 m				
4.2.2.38.7	Minimum number of parki	ng spaces	198				

Exception RL-38 continued on next page

4.2.2.38	Exception: RL-38	Map # 38W	By-law: 0048-2025		
Exception RL	-38 continued from previous	page			
4.2.2.38.8	A basement shall not be perr	mitted under the nave or parish	ı hall		
4.2.2.38.9	Maximum seating within the nave, based on a seat width of 690 persons 0.51 m per person and 0.914 m between the back of each seat and the back of the seat immediately behind it				
4.2.2.38.10	The interior wall separating the nave and the parish hall shall be of solid block construction, with no doorway, windows or openings of any kind				
4.2.2.38.11	Accessory uses to a place of religious assembly shall only include a parish hall, rectory and office, but shall not include a day care				
4.2.2.38.12	All site development plans shall comply with Schedule RL-38 of this Exception				



Schedule RL-38 Map 38W

4.2.2.39	Except	tion: RL-39	Map # 37E	By-law: 0048-2025		
In a RL-39 zon uses/regulation			shall be as specified for a	RL zone except that the following		
Permitted Use	es					
4.2.2.39.1	Lands	zoned RL-39 shall or	nly be used for the follow	ing:		
	(1) (2) (3)	Detached Dwelling or Semi-Detached or Medical Office - Restricted				
Regulations						
4.2.2.39.2		dical office - restricted shall comply with the RL zone ations contained in Subsection 4.2.1 of this By-law except				
	(1)		of physicians, dentists, dealth professionals permi			
	(2)	minimum lot front	age	60.0 m		
	(3)	minimum front yard 20.0 m				
	(4)	minimum interior	side yard	13.0 m		
	(5)	minimum parking	spaces per professional/p	ractitioner 5		

4.2.2.40	Exception: RL-40	Map # 44W, 45E, 52W, 53E	By-law: 0308-2011, 0192-2014, 0181-2018/LPAT Order 2019 February 15, 0048-2025		
	ne the permitted uses and appring uses /regulations shall app		specified for a RL zone except		
Regulations					
4.2.2.40.1	The regulations of Sentence apply	e 3.1.1.7.1 of this By-law shall	not		
4.2.2.40.2	deleted				
4.2.2.40.3	Minimum combined width	of side yards :			
	(1) one storey detached	d dwelling	20% of the lot frontage		
	(2) two storey detached	d dwelling	27% of the lot frontage		
4.2.2.40.4	A flat roof shall not be per	mitted			
4.2.2.40.5	Maximum height - highest ridge: 7.5 m sloped roof				
4.2.2.40.6	Maximum gross floor area	$160 \text{ m}^2 \text{ plus}$ 0.10 times the lot area			
4.2.2.40.7	An attached garage shall not be permitted				
4.2.2.40.8	Maximum floor area of a detached garage 50 m ²				
4.2.2.40.9	Maximum projection of the garage beyond any portion exterior side wall	0.0 m			
4.2.2.40.10	Maximum driveway width		3.0 m		

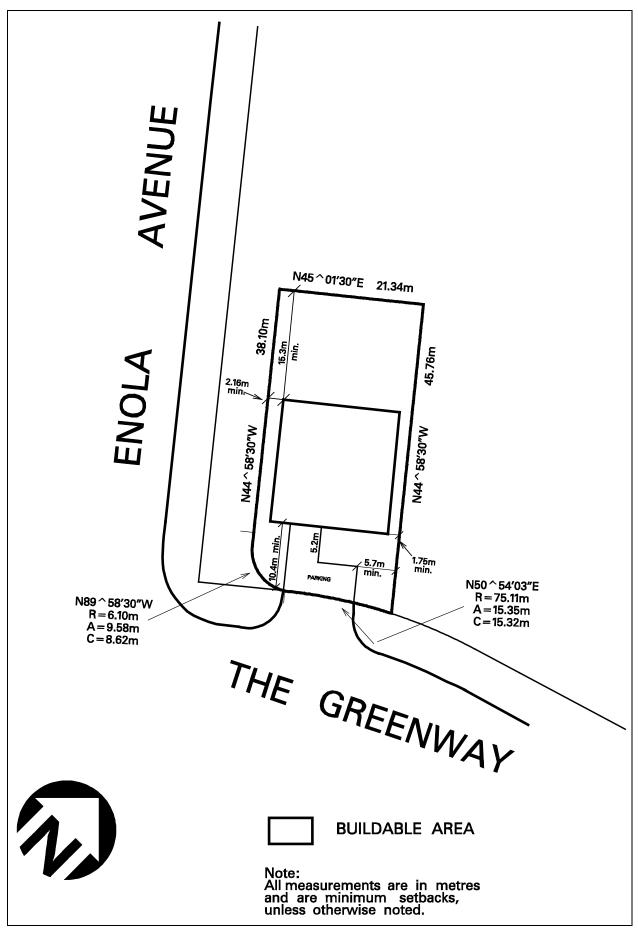
4.2.2.41	Exception: RL-41	Map # 03	By-law: 0048-2025				
	In a RL-41 zone the applicable regulations shall be as specified for a RL zone except that the following uses/regulations shall apply:						
Permitted Use	s						
4.2.2.41.1	Lands zoned RL-41 shall only be used for the following:						
	 Detached Dwelling Semi-Detached or Office Medical Office - Re 						

4.2.2.42	Excep	tion: RL-42	Map # 38W	By-law: 0048-202	0174-2017, 25
In a RL-42 zon uses/regulation	•		shall be as specified for a R	L zone excep	ot that the following
Permitted Use					
4.2.2.42.1	Lands	zoned RL-42 shall or	nly be used for the following	ng:	
	(1)	Long-Term Care l	Building		
Regulations					
4.2.2.42.2		long-term care building shall comply with the RA1 zone gulations contained in Subsection 4.15.1 of this By-law except at:			
	(1)	the provisions contains shall apply	ined in Article 4.1.15.1 of t	his By-law	
	(2)	maximum lot covera	age		30%
	(3)	minimum landscape	ed area		30% of the lot area
	(4)	minimum front yard	d		7.5 m
	(5)	minimum exterior s	ide yard		7.5 m
	(6)	(6) minimum interior side yard 6.0 m			
	(7)	minimum rear yard			7.5 m
	(8)	maximum height - h sloped roof	nighest ridge:		12.2 m

4.2.2.43	Excep	tion: RL-43	Map # 03	By-law: 0308-2011, 0174-2017, 0048-2025			
	In a RL-43 zone the applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:						
Permitted Use							
4.2.2.43.1	Lands	zoned RL-43 shall or	nly be used for the following:				
	(1)	Retirement Buildin	g				
Regulations							
4.2.2.43.2		tions contained in Su	ll comply with the RA1 zone bsection 4.15.1 of this By-law				
	(1)	the provisions conta shall apply	ined in Article 4.1.15.1 of this	By-law			
	(2)	maximum height		10.7 m and 3 storeys			

4.2.2.44	Exception: RL-44	1ap # 07	By-law: 0048-2025					
	ne the applicable regulations sha ns shall apply:	all be as specified for a RL zo	ne except that the following					
Permitted Us	Permitted Uses							
4.2.2.44.1	Lands zoned RL-44 shall only be used for the following:							
	(1) Office (2) Medical Office - Res	tricted						
Regulations								
4.2.2.44.2	Maximum number of physicism practitioners or health profession		1					
4.2.2.44.3	Maximum lot coverage		25%					
4.2.2.44.4	Minimum landscaped area		40% of the lot area					
4.2.2.44.5	Maximum total gross floor an	rea - non-residential	420 m^2					
4.2.2.44.6	Maximum gross floor area - office - restricted	Maximum gross floor area - non-residential used for a medical 138 m ² office - restricted						
4.2.2.44.7	distribution, mechanical operation or maintenary (2) areas of stairwells, was (3) collection or storage of generated within the b (4) storage incidental to perform the storage of the storage incidental to perform the storage incidental to per	cal, energy generation and all equipment related to the nee of the building ; shrooms or elevators; f disposable or recyclable was uilding ; ermitted uses in the building ; or fitness rooms for the person						
4.2.2.44.8	Maximum height - highest ri sloped roof	dge:	10.7 m					
4.2.2.44.9	Maximum height: 7 flat roof							
4.2.2.44.10	Minimum required parking spaces per 100 m ² gross floor 4.3 area - non- residential used for a dental office							
4.2.2.44.11	Maximum number of parking	14						
4.2.2.44.12	Maximum number of tandem parking spaces 4							
4.2.2.44.13	Maximum encroachment of an uncovered ramp for handicapped access into required yards as follows:							
	(1) northerly side yard		1.0 m					
	(2) front yard		8.0 m					

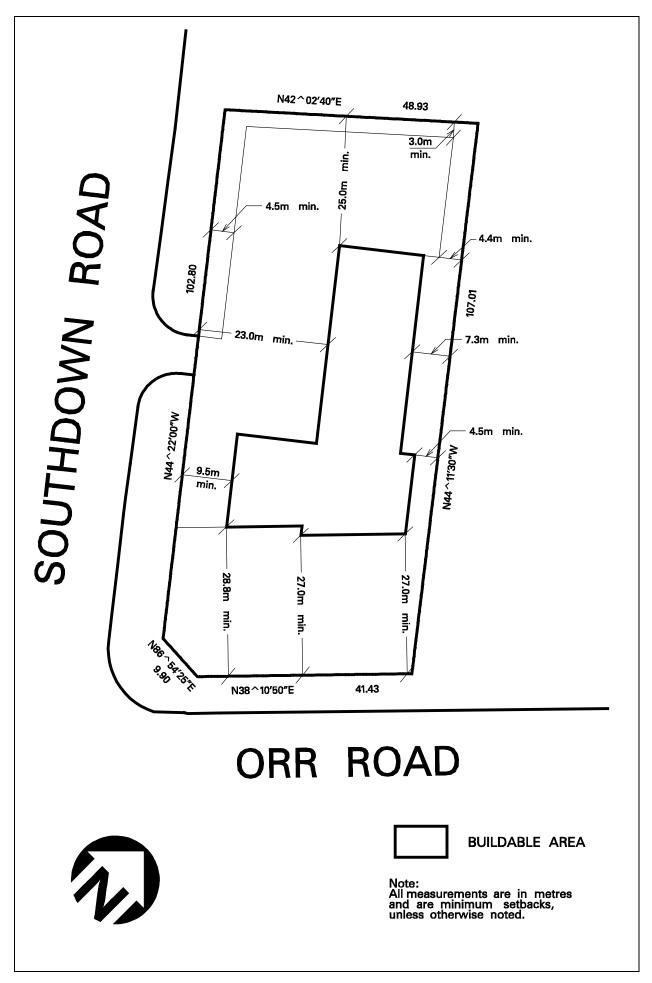
4.2.2.45	Except	ion: RL-45	Map # 07	By-law: 0171-2015/OMB Order 2016 April 04, 0193-2016/OMB Order 2017 May 30, 0174-2017, 0048-2025	
		rmitted uses and app regulations shall app		specified for a RL zone except	
Additional Per	rmitted	Use			
4.2.2.45.1	(1)	Retirement Buildin	g		
Regulations					
4.2.2.45.2	Maxim sloped		ridge of a detached dwelling	g: 9.5 m	
4.2.2.45.3	Maxim	num height of a deta	ched dwelling:	7.5 m	
4.2.2.45.4	Maximum height of eaves of a detached dwelling : 6.4 m from average grade to lower edge of eaves				
4.2.2.45.5	Maxim	Maximum dwelling unit depth 20.0 m			
4.2.2.45.6	A retirement building shall comply with the RL zone regulations contained in Subsection 4.2.1 of this By-law except that:				
	(1)	maximum gross flo	oor area - apartment zone	417 m^2	
	(2)	maximum number	of retirement dwelling units	14	
	(3)	maximum height - sloped roof	highest ridge:	10.7 m	
	(4)	minimum number o	of resident parking spaces pe ng unit	r 0.15	
	(5)	minimum number o	of visitor parking spaces per ng unit	0.15	
	(6)	maximum number	of tandem parking spaces	3	
	(7)	all site developmen Schedule RL-45 of	t plans shall comply with this Exception		



Schedule RL-45 Map 07

4.2.2.46	Exception: RL-46	Map # 11	By-law: 0174-2017, 0092-2021, 0048-2025			
In a RL-46 zone the applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:						
Permitted Use						
4.2.2.46.1	Lands zoned RL-46 shall only be used for the following:					
	(1) Long-Term Care Building					
Regulation	Regulation					
4.2.2.46.2	A long-term care building shall comply with the RA1 zone regulations contained in Subsection 4.15.1 of this By-law except that:					
	(1) the provisions cont By-law shall apply	ained in Article 4.1.15.1 of thi	S			

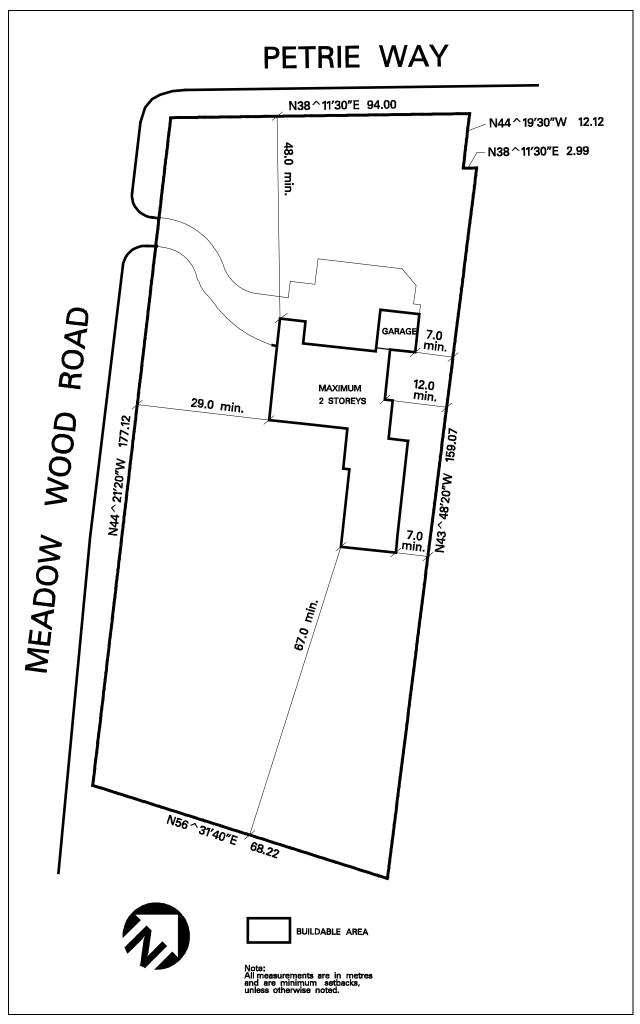
4.2.2.47	Excep	tion: RL-47	Map # 03	By-law: 0174 0048-2025	1-2017,	
In a RL-47 zon uses /regulation			shall be as specified for a RL z	zone except the	at the following	
Permitted Use	s					
4.2.2.47.1	Lands	Lands zoned RL-47 shall only be used for the following:				
	(1) (2)					
Regulations						
4.2.2.47.2	A supportive housing dwelling and office accessory to a supportive housing dwelling shall comply with the RA1 zone regulations contained in Subsection 4.15.1 of this By-law except that:					
	(1)	maximum number o	f bedrooms		14	
(2) maximum total gross floor area - apartment zone and 2 gross floor area - non-residential				2 100 m ²		
	(3)	maximum gross floo	or area - non-residential of o	ffice	560 m^2	
	(4)	maximum height			10.7 m	
	(5)	minimum number of	f parking spaces		38	
	(6)	thereof which is lice Province under the S Violence Initiative, a	g Dwelling" means a building nsed, approved or supervised Supportive Housing Program: approved under the <i>Ministry of ial Services Act</i> , R.S.O. 1990,	by the Family f		
	(7)	all site development Schedule RL-47 of t	plans shall comply with his Exception			



Schedule RL-47 Map 03

4.2.2.48	Excep	otion: RL-48	Map # 52W	By-law: 01				
				0112-2019	0, 0048-2025			
In a RL-48 zor uses/regulation			shall be as specified for a RL a	zone except	that the following			
Permitted Use	e							
4.2.2.48.1	Lands	s zoned RL-48 shall o	zoned RL-48 shall only be used for the following:					
	(1)	Long-Term Care E	Building					
Regulations								
4.2.2.48.2	regula	ong-term care building shall comply with the RA1 zone ulations contained in Subsection 4.15.1 of this By-law eept that:						
	(1)	the provisions conta shall apply	ined in Article 4.1.15.1 of this	s By-law				
	(2)	maximum number o	of beds		140			
	(3)	maximum lot cover	age		22%			
	(4)	minimum landscap	ed area		55% of lot area			
	(5)	maximum gross flo	or area - apartment zone		$4\ 181\ m^2$			
	(6)	minimum front yar	d - corner lot		26.0 m			
	(7)	minimum exterior s	side yard		30.0 m			
	(8)	minimum interior s	minimum interior side yard - corner lot					
	(9)	minimum rear yard	l - corner lot		7.5 m			
	(10)	maximum height			2 storeys			
	(11)	minimum number o	f parking spaces per bed		0.34			
	(12)	minimum setback or	f a parking area to the street		7.5 m			
	(13)	minimum setback or	f a parking area to any other	lot line	1.5 m			
	(14)		f a parking area to a wall of a not have a window or any other table room		1.5 m			
	(15)	minimum setback or dwelling	f parking to any other wall of a	a	6.0 m			
(16) a maximum of one gazebo is permitted accessory to a long-term care dwelling				to a				
	(17)	maximum area of a	gazebo		49 m^2			
	(18)	minimum setback or	f a gazebo to any lot line		8.0 m			
	(19)	maximum height of	a gazebo		6.5 m			
4.2.2.48.3	"Gaze	"Gazebo" means an unenclosed structure with a roof						

4.2.2.49	Excep	otion: RL-49	Map # 03	By-law: 0048-	-2025	
In a RL-49 zone the applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:						
Permitted Use	!					
4.2.2.49.1	Lands	Lands zoned RL-49 shall only be used for the following:				
	(1)	Supportive Housing	Dwelling			
Regulations						
4.2.2.49.2	A supportive housing dwelling shall comply with the RL zone regulations contained in Subsection 4.2.1 of this By-law except that:					
	(1)	dwelling units used	f self-contained apartment to accommodate a maximum children requiring specialized		8	
	(2)	maximum total gros dwelling unit for sta	s floor area used for an apart aff and an office	ment	580 m ²	
	(3)	minimum number of	f parking spaces required		10	
	(4)	thereof which is lice Province under the S Violence Initiative,	g Dwelling" means a building ensed, approved or supervised Supportive Housing Program: approved under the <i>Ministry of ial Services Act</i> , R.S.O. 1990,	by the Family		
	(5)	all site development Schedule RL-49 of t	plans shall comply with his Exception			



Schedule RL-49 Map 03

4.2.2.50	Exception: RL-50	Map # 38E	By-law: 0190-2014, 0048-2025			
	In a RL-50 zone the applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:					
Permitted Use	Permitted Uses					
4.2.2.50.1	4.2.2.50.1 Lands zoned RL-50 shall only be used for the following:					
	 (1) Detached Dwelling (2) Semi-Detached or (3) Medical Office - Ro 					

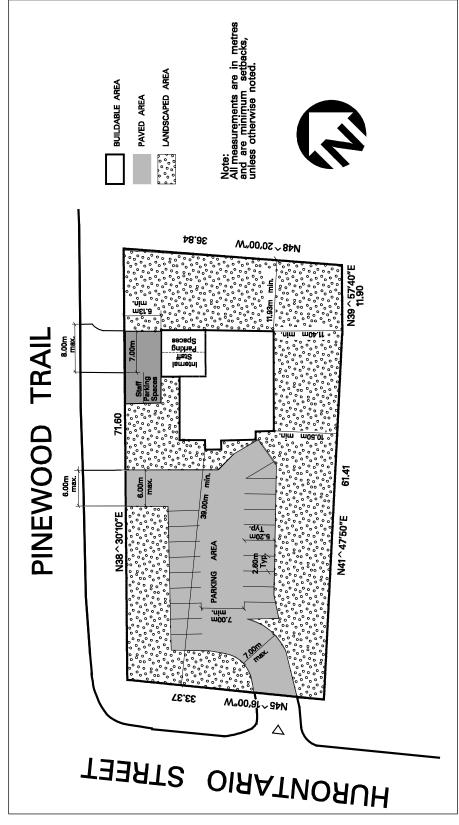
4.2.2.51	Exception: RL-51	Map # 38W	By-law: 0171-2015/ OMB Order 2016 April 04, 0193-2016/OMB Order 2017 May 30, 0048-2025			
	In a RL-51 zone the applicable regulations shall be as specified for a RL zone except that the following uses/regulations shall apply: Permitted Uses					
4.2.2.51.1 Lands zoned RL-51 shall only be used for the following: (1) Detached Dwelling or (2) Semi-Detached or						
	(3) Private Club					

4.2.2.52	Exception: RL-52	Map #	By-law: deleted by 0048-2025

4.2.2.53	Excep	otion: RL-53	Map # 07	By-law: 02 0048-2025	08-2022,
In a RL-53 zo uses/regulatio			shall be as specified for a R	L zone except t	hat the following
Permitted Us	ses				
4.2.2.53.1			nly be used for the following	ng:	
	(1) (2)	Office Medical Office - Ro	estricted		
Use Not Pern	nitted				
4.2.2.53.2	(1)	Office and/or medic more than 23 parking	cal office - restricted that r ng spaces	equires	
Regulations					
4.2.2.53.3	RL zo		ce - restricted shall comply ned in Subsection 4.2.1 of t		
	(1)		of physicians, dentists, drualth professionals permitte time		5
	(2)	maximum gross floo	or area		350 m^2
	(3)	maximum lot cover	age		13%
	(4)	minimum landscape	minimum landscaped area		50% of lot area
	(5)	the use of any part of established grade s			
		personal nee (2) storage incid building;	s, lounges or fitness rooms to eds of occupants of the buil dental to permitted uses in t	ding;	
		ventilation, (5) communicat	equipment related to heatin and air conditioning of the tion devices, the electrical of ccessory equipment;	building;	
		(6) storage of d	isposable or recyclable was ithin the building .	te	
	(6)	maximum height - l sloped roof	highest ridge:		7.5 m
	(7)		n of a porch outside the tified on Schedule RL-53 o	of	1.8 m
	(8)	maximum number o	maximum number of parking spaces		23
	(9)	Exception for clients	entified on Schedule RL-53 s and visitors shall have ful restricted access to Huronta	l access to	
	(10)	of this Exception that	aces identified on Schedule at have access from the east ood Trail shall be reserved	terly	
	(11)		persons may project outside identified on Schedule RL-		

Exception RL-53 continued on next page

4.2.2.53	Excep	otion: RL-53	Map # 07	By-law: 0208 0048-2025	8-2022,
Exception RI	53 con	ntinued from previou	is page		
4.2.2.53.3 (continued)	(12)	minimum aisle widt the garage	h for the two parking spaces	in	6.13 m
	(13)	"Gross Floor Area" means the sum of the areas of each storey measured between the exterior of the faces of the exterior walls excluding the garage and any part of the building located below established grade			
	(14)	all site development plans shall comply with Schedule RL-53 of this Exception			



Schedule RL-53 Map 07

4.2.2.54	Exception: RL-54	Map # 56	By-law: deleted by 0389-2009, 0146-2012, 0048-2025				
	In a RL-54 zone the applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:						
Permitted Use	Permitted Uses						
4.2.2.54.1	4.2.2.54.1 Lands zoned RL-54 shall only be used for the following:						
	(1) The existing heritag(2) The existing heritag	C					

4.2.2.55	Exception: RL-55	Map #	By-law: 0174-2017, deleted by 0230-2024, 0048-2025

4.2.2.56	Exception: RL-56	Map # 53E	By-law: 0180-2021, 0048-2025		
	In a RL-56 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply: Regulations				
4.2.2.56.1	4.2.2.56.1 The regulations of Sentence 3.1.1.7.1 contained in Article 3.1.1.7 of this By-law shall not apply				
4.2.2.56.2	deleted				

4.2.2.57	Exception: RL-57	Map #	By-law: 0192-2014, deleted by 0048-2025

4.2.2.58	Exception: RL-58	Map #	By-law: 0171-2015/ OMB Order 2016 April 04, 0193-2016/OMB Order 2017 May 30, deleted by 0048-2025

4.2.2.59	Exception: RL-59	Map #	By-law: OMB Order 2015 August 11, deleted by 0048-2025

4.2.2.60	Exception: RL-60	Map # 39E, 45W	By-law: 0325-2008, 0181-2018/LPAT Order 2019 February 15, 0048-2025			
In a RL-60 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply: Regulation						
4.2.2.60.1	deleted					
4.2.2.60.2	deleted					
4.2.2.60.3	Minimum setback to garag	e face - interior lot	7.5 m			

4.2.2.61	Exception: RL-61	Map # 38W, 39E	By-law: 0048-2025		
In a RL-61 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:					
Regulations					
4.2.2.61.1	Maximum lot coverage - detached dwelling not exceeding one storey 40%				
4.2.2.61.2	deleted				
4.2.2.61.3	deleted				
4.2.2.61.4	deleted				

4.2.2.62	Exception: RL-62	Map # 38W, 39E	By-law: 0048-2025		
In a RL-62 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:					
Regulations	Regulations				
4.2.2.62.1	Maximum lot coverage - detached dwelling not exceeding one storey 40%				
4.2.2.62.2	deleted				
4.2.2.62.3	deleted				
4.2.2.62.4	Minimum number of parki	ng spaces per lot	6		

4.2.2.63	Exception: RL-63	Map # 44W, 45E	By-law: 0308-2011, 0048-2025		
	In a RL-63 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:				
Regulations					
4.2.2.63.1	deleted				
4.2.2.63.2	A flat roof shall not be permitted				
4.2.2.63.3	deleted				
4.2.2.63.4	Maximum projection of the garage beyond any portion of the front wall or exterior side wall of the first storey				

4.2.2.64	Exception: RL-64	Map # 31	By-law: 0308-2011, 0048-2025	
In a RL-64 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:				
Regulations				
4.2.2.64.1	deleted			
4.2.2.64.2	Minimum front yard		6.5 m	
4.2.2.64.3	deleted			
4.2.2.64.4	Minimum setback to the res G2-3 zone	ar lot line where lands abut a	30.0 m	
4.2.2.64.5	•	4.2.2.64.4, minimum setback or ructures and swimming pools out a G2-3 zone		

4.2.2.65	Exception: RL-65	Map # 31	By-law: 0325-2008, 0048-2025		
	In a RL-65 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:				
Regulation					
4.2.2.65.1	Minimum setback of all buildings and structures and swimming pools to the rear lot line where lands abut a G1 zone		7.6 m G1 zone		

4.2.2.66	Exception: RL-66	Map # 24	By-law: 0048-2025	
In a RL-66 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:				
Regulations				
4.2.2.66.1	deleted			
4.2.3.66.2	deleted			
4.2.3.66.3	deleted			
4.2.2.66.4	deleted			
4.2.2.66.5	Minimum rear yard where	lands abut a PB1 zone	11.5 m	
4.2.2.66.6	Minimum setback of a swin where lands abut a PB1 zon	nming pool to the rear lot lin e	e 5.5 m	

4.2.2.67	Exception: RL-67	Map # 24	By-law: 0048-2025		
	In a RL-67 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:				
Regulation	Regulation				
4.2.2.67.1	deleted				
4.2.2.67.2	Minimum front yard		6.0 m		
4.2.2.67.3	deleted				

4.2.2.68	Exception: RL-68	Map # 31	By-law: 0048-2025		
	In a RL-68 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:				
Regulations	Regulations				
4.2.2.68.1	deleted				
4.2.2.68.2	deleted				
4.2.2.68.3	deleted				
4.2.2.68.4	Minimum rear yard - inter	rior lot	3.0 m		
4.2.2.68.5	Every lot shall have a circu	lar driveway			

4.2.2.69	Exception: RL-69	Map # 38W	By-law: 0379-2009, 0181-2018/LPAT Order 2019 February 15, 0048-2025			
that the following	In a RL-69 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:					
Regulations						
4.2.2.69.1	deleted					
4.2.2.69.2	Maximum lot coverage		40%			
4.2.2.69.3	Minimum front yard		4.5 m			
4.2.2.69.4	deleted					
4.2.2.69.5	Minimum setback of a deta to all lands zoned G2-3	ched dwelling and semi-deta	ched 15.0 m			
4.2.2.69.6	Minimum setback to garage	e face	6.0 m			

4.2.2.70	Exception: RL-70	Map # 38W	By-law: 0048-2025	
In a RL-70 zone the permitted uses and applicable regulations shall be as specified for a RL zone except hat the following uses /regulations shall apply:				
Regulation				
4.2.2.70.1	Maximum lot coverage		40%	
4.2.2.70.2	deleted			

4.2.2.71	Exception: RL-71	Map # 38W	By-law: 0048-2025		
	In a RL-71 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:				
Regulation					
4.2.2.71.1	deleted				
4.2.2.71.2	deleted				
4.2.2.71.3	Minimum setback of a deta all lands zoned G2-3	ched dwelling and semi-deta	ched to 15.0 m		

4.2.2.72	Exception: RL-72	Map # 24	By-law: 0048-2025			
In a RL-72 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:						
Regulations	Regulations					
4.2.2.72.1	Minimum lot frontage - int	terior lot	5.0 m			
4.2.2.72.2	2.2 Minimum setback of all buildings and structures and swimming pools to all lands zoned PB1		3.0 m			

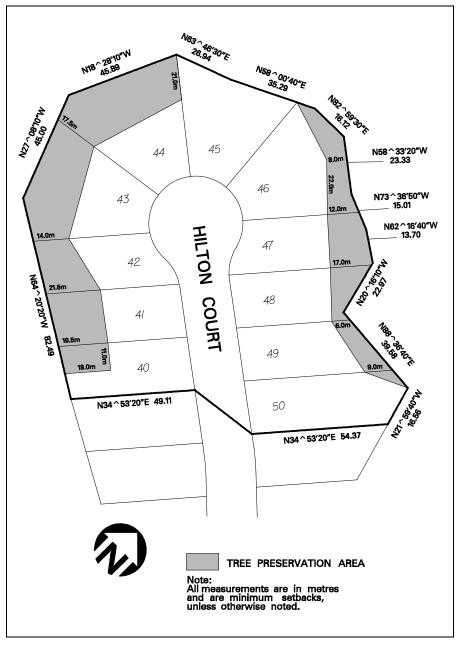
4.2.2.73	Exception: RL-73	Map # 45W	By-law: 0048-2025		
In a RL-73 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:					
Regulation					
4.2.2.73.1	deleted				
4.2.2.73.2	deleted				
4.2.2.73.3	Minimum setback of all bui	C	15.0 m		

4.2.2.74	Exception: RL-74	Map # 45W	By-law: 0048-2025		
In a RL-74 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:					
Regulations					
4.2.2.74.1	Minimum front yard		6.5 m		
4.2.2.74.2	deleted				
4.2.2.74.3	Minimum setback of a deta all lands zoned G2-3	ched dwelling and semi-deta	ched to 15.0 m		
4.2.2.74.4	Minimum setback of a deta all lands zoned G1	ched dwelling and semi-deta	ched to 17.5 m		

4.2.2.75	Exception: RL-75	Map #	By-law: deleted by 0048-2025
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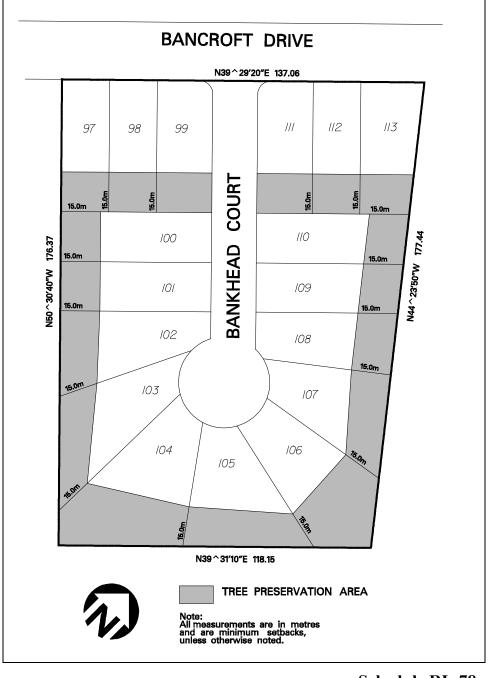
4.2.2.76	Exception: RL-76	Map # 24	By-law: 0048-2025				
	In a RL-76 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:						
Regulations							
4.2.2.76.1	A detached dwelling shall comply with the RL zone regulations contained in Subsection 4.2.1 of this By-law except that:						
	(1) minimum lot area -	corner lot	700 m^2				
4.2.2.76.2	deleted						
4.2.2.76.3	deleted						
4.2.2.76.4	Minimum setback of all acc swimming pools to all land	essory buildings and structus zoned PB1	res and 3.0 m				

4.2.2.77	Exception: RL-77	Map # 39E	By-law: 0048-2025				
	In a RL-77 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:						
Regulations							
4.2.2.77.1	Maximum lot coverage - do one storey	etached dwelling not exceedi	ng 40%				
4.2.2.77.2	deleted						
4.2.2.77.3	deleted	deleted					
4.2.2.77.4	deleted						
4.2.2.77.5	The areas identified on Schedule RL-77 of this Exception as a tree preservation area, shall only be used for conservation purposes, and no buildings or structures , swimming pools , tennis courts or any like recreational facilities, except for fences along the lot lines , shall be permitted						
4.2.2.77.6	•	ed - interior lot that includes a ea, measured from the limit of					
4.2.2.77.7		nat includes a tree preservation the tree preservation area and					



Schedule RL-77 Map 39E

4.2.2.78	Exception: RL-78	Map # 45E	By-law: 0048-2025				
	In a RL-78 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:						
Regulations							
4.2.2.78.1	deleted						
4.2.2.78.2	deleted						
4.2.2.78.3	deleted						
4.2.2.78.4	The areas identified on Schedule RL-78 of this Exception as a tree preservation area, shall only be used for conservation purposes, and no buildings or structures , swimming pools , tennis courts or any like recreational facilities, except for fences along the lot lines , shall be permitted						
4.2.2.78.5		ed - interior lot that includes a ea, measured from the limit of					
4.2.2.78.6	•	nat includes a tree preservation the tree preservation area and					



Schedule RL-78 Map 45E

4.2.2.79	Exception: RL-79	Map # 45E	By-law: 0048-2025			
In a RL-79 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:						
Regulations	Regulations					
4.2.2.79.1	deleted					
4.2.2.79.2	Minimum setback of a dwe	lling to all lands zoned G2-4(9) 15.0 m			
4.2.2.79.3	Minimum setback of all acc swimming pools to all land	cessory buildings and structus zoned G1	res and 9.0 m			

4.2.2.80	Exception: RL-80	Map # 45E	By-law: 0048-2025		
In a RL-80 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:					
Regulations					
4.2.2.80.1	deleted				
4.2.2.80.2	Minimum setback of a dwe	lling to all lands zoned G2-3	15.0 m		
4.2.2.80.3	Minimum setback of all acc swimming pools to all land	cessory buildings and structu s zoned G1	res and 15.0 m		

4.2.2.81	Exception: RL-81	Map # 24	By-law: 0048-2025		
In a RL-81 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:					
Regulation					
4.2.2.81.1	deleted				
4.2.2.81.2	deleted				
4.2.2.81.3	deleted				
4.2.2.81.4	Minimum rear yard where	lands abut a G2-1 zone	8.5 m		

4.2.2.82	Exception: RL-82	Map # 08, 09	By-law: 0308-2011, 0181-2018/LPAT Order 2019 February 15, 0048-2025
	e the permitted uses and appliing uses /regulations shall apply		specified for a RL zone except
Regulations			
4.2.2.82.1	deleted		
4.2.2.82.2	A detached dwelling shall contained in Subsection 4.2.1		ılations
	(1) minimum lot area - c	orner lot	700 m^2
4.2.2.82.3	deleted		
4.2.2.82.4	deleted		
4.2.2.82.5	Maximum lot coverage, excluded balcony, or breezeway	luding the area of a porch or	35%
4.2.2.82.6	Maximum gross floor area -	residential	$190 \text{ m}^2 \text{ plus}$ 0.33 times the lot area
4.2.2.82.7	Minimum front yard		6.0 m
4.2.2.82.8	Minimum exterior side yard	I	4.5 m
4.2.2.82.9	deleted		
4.2.2.82.10	deleted		
4.2.2.82.11	Minimum setback to a sight to	triangle	1.5 m
4.2.2.82.12	deleted		
4.2.2.82.13	deleted		
4.2.2.82.14	deleted		
4.2.2.82.15	Maximum encroachment of a exterior side yard	a porch or balcony into the re	required 2.0 m
4.2.2.82.16	Maximum encroachment of velements, with or without a forto, chimneys , media niches, J	oundation, such as, but not lin	
	(1) into the required fron	t, rear or exterior side yard	1.0 m
	(2) into the required inter	rior side yard	0.6 m
4.2.2.82.17	Minimum setback to a garag	ge face	6.0 m
4.2.2.82.18	Maximum encroachment of a required front yard	a side wall of a garage into th	he 1.5 m
4.2.2.82.19	Maximum projection of a gar of the first floor front wall or detached dwelling		n 0.0 m
4.2.2.82.20	Maximum projection of a gar of the first floor front wall or detached dwelling, where a	r exterior side wall of a	
4.2.2.82.21	Maximum garage width: measured from the inside fac	e of the garage side walls	8.0 m

Exception RL-82 continued on next page

4.2.2.82	Exce	ption: RL-82	Map # 08, 09	By-law: 0308-2011, 0181-2018/LPAT Order 2019 February 15, 0048-2025
Exception R	L- 82 co i	ntinued from previous	page	
4.2.2.82.22	with		y be permitted in a rear yard of 19.5 m which do not abut land allowing:	
	(1)		le yard on the side of the here the driveway is located	3.0 m
	(2)	(2) minimum interior side yard on the side of the detached dwelling where the mutual driveway is located, where garages on two adjoining lots are located in their respective rear yards and accessed by a mutual driveway crossing the front lot line		
	(3)	(3) the garage may be attached to the detached dwelling by a breezeway which shall not be considered a component of the dwelling for the purposes of determining building setbacks		
	(4)	minimum exterior sic	de yard	3.0 m
	(5)	maximum garage wid measured from the ins	dth: side face of each of the garag e	8.5 m
	(6)	maximum garage dep measured from the ga rear garage wall	oth: arage face to the inside face of	7.5 m
	(7)	1	garage roof shall have a ratio orizontal run of at least one in the	
	(8)	maximum garage hei sloped roof - excludin ornamental features	ight - highest ridge: ng skylights, cupolas, or other	6.6 m
	(9)	maximum height of earth from established grade	aves: de to lower edge of the eaves	4.5 m
	(10)	maximum floor area		113 m ²
4.2.2.82.23		mum setback of all buil ming pools to a G1 zor	dings and structures, decks a	and 3.0 m

4.2.2.83	Exception: RL-83	Map # 08, 09	By-law: 0308-2011, 0181-2018/LPAT Order 2019 February 15, 0048-2025				
	In a RL-83 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:						
Regulations							
4.2.2.83.1	deleted						
4.2.2.83.2	deleted						
4.2.2.83.3	deleted						
4.2.2.83.4	deleted						
4.2.2.83.5	Maximum lot coverage exc balcony, or breezeway	cluding the area of a porch or	35%				
4.2.2.83.6	Maximum gross floor area	- residential	$190 \text{ m}^2 \text{ plus}$ 0.33 times the lot area				

Exception RL-83 continued on next page

4.2.2.83	Exception: RL-83	Map # 08, 09	By-law: 03 0181-2018 2019 Febr 0048-2025	3/LPAT Order uary 15,
Exception R	L-83 continued from previo	ous page		
4.2.2.83.7	Minimum front yard			6.0 m
4.2.2.83.8	Minimum exterior side y	ard		4.5 m
4.2.2.83.9	deleted			
4.2.2.83.10	deleted			
4.2.2.83.11	Minimum setback to a sig	ht triangle		1.5 m
4.2.2.83.12	Maximum height - highe a G1 or G2-2 zone: sloped roof	st ridge on lots which ab	out or contain	10.8 m
4.2.2.83.13	deleted			
4.2.2.83.14	deleted			
4.2.2.83.15	Maximum height of eaves G2-2 zone: from average grade to lo		ontain a G1 or	7.7 m
4.2.2.83.16	deleted			
4.2.2.83.17	Maximum encroachment exterior side yard	of a porch or balcony in	to the required	2.0 m
4.2.2.83.18	Maximum encroachment elements, with or without to, chimneys , media niche	a foundation, such as, bu		
	(1) into the required f	ront, rear or exterior sid	le yard	1.0 m
	(2) into the required in	nterior side yard		0.6 m
4.2.2.83.19	Minimum setback of a ga	rage face to the street lin	ne	6.0 m
4.2.2.83.20	Maximum encroachment required front yard	of a side wall of a garag	e into the	1.5 m
4.2.2.83.21	Maximum projection of a garage face beyond any portion of the first floor front wall or exterior side wall of a detached dwelling			0.0 m
4.2.2.83.22	Maximum setback of the wall of a detached dwellimain entry feature is pro	ing from the garage face		2.5 m
4.2.2.83.23	Maximum garage width: from the inside face of the	e garage side walls		8.0 m
4.2.2.83.24	A detached garage shall of which do not abut lands z			
	• •	side yard on the side of e driveway is located	the detached	3.0 m
	dwelling where the garages on two ad	side yard on the side of e mutual driveway is loc ljoining lots are located in rds and accessed by a mu lot line	rated, where n their	2.4 m
	a breezeway which	e attached to the detached h shall not be considered the purposes of determin	a component	

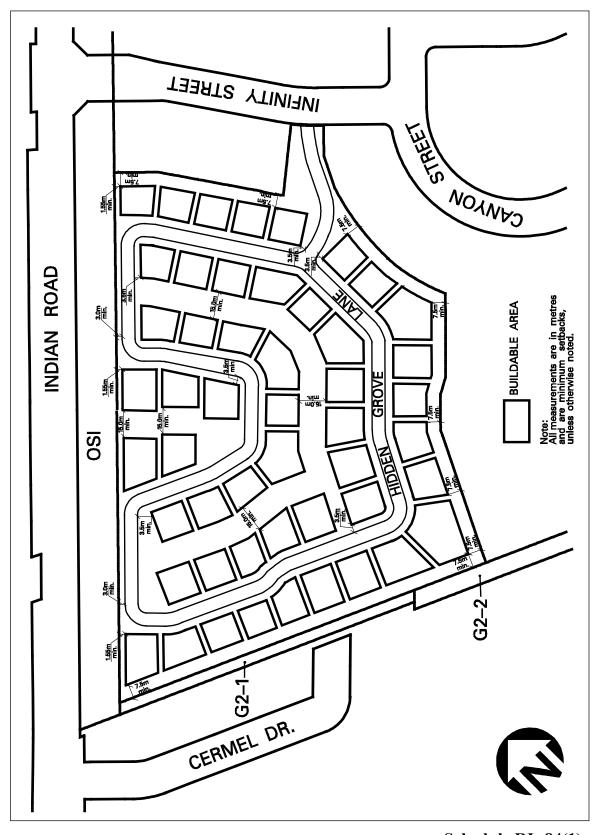
Exception RL-83 continued on next page

4.2.2.83	Excep	otion: RL-83	Map # 08, 09	By-law: 0308-2011, 0181-2018/LPAT Order 2019 February 15, 0048-2025
Exception RI	83 con	ntinued from previous	page	
4.2.2.83.24 (continued)	(4)	minimum exterior sid	le yard	3.0 m
	(5)	maximum garage wide measured from the ins	hth: side face of the garage side wa	11.0 m
	(6)	may be increased to 1	of the garage side was 3.2 m, if the garage width in a minimum of 3.0 m from the	
	(7)	maximum garage dep measured from the ga rear garage wall	oth: rage face to the inside face of	7.5 m
	(8)		arage roof shall have a ratio of izontal run of at least one in the	
	(9)	maximum height - his sloped roof - excludir ornamental features	ghest ridge: ng skylights, cupolas, or other	6.6 m
	(10)	maximum height of eaves: 4.5 m from established grade to lower edge of the eaves		
	(11)	maximum gross floor	area	113 m^2
4.2.2.83.25		num setback of all buil e ming pools to a G2 zon	dings or structures, decks and	d 3.0 m

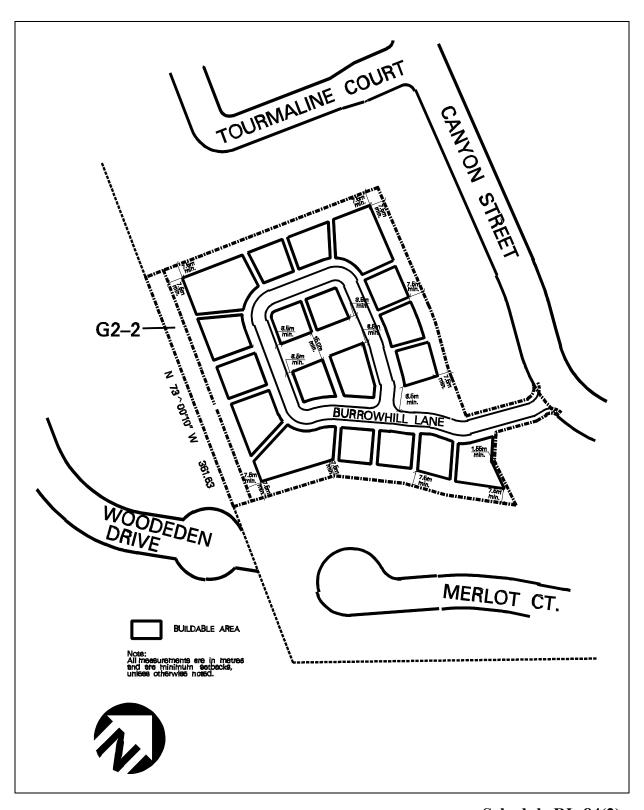
4.2.2.84	Exception: RL-84(1) and RL-84(2)	Map # 08, 09	By-law: 030 0181-2018/ 2019 Februa 0208-2022,	LPAT Order ary 15,
` ′	and RL-84(2) zone the permitept that the following uses /re	tted uses and applicable regulagulations shall apply:	ations shall b	e as specified for
Regulations				
4.2.2.84.1	Maximum number of dwelling units on all lands zoned RL-84(1) 69 and RL-84(2)			
4.2.2.84.2	Maximum gross floor area	- residential per detached dy	welling	400 m^2
4.2.2.84.3	Maximum gross floor area - residential , permitted on the second floor of a detached dwelling			60.3 m^2
4.2.2.84.4	Minimum setback to a condominium road			4.5 m
4.2.2.84.5	Minimum detached dwellin	ng separation		3.1 m
4.2.2.84.6	Maximum height - highest ridge on lots which abut or contain a G2-1 or G2-2 zone: sloped roof			10.3 m
4.2.2.84.7	Maximum height - highest ridge on all other lots: sloped roof			9.0 m
4.2.2.84.8	deleted			7.5 m

Exception RL-84(1) and RL-84(2) continued on next page

4.2.2.84	Exception: RL-84(1) and RL-84(2)	Map # 08, 09	By-law: 0308-2011, 0181-2018/LPAT Order 2019 February 15, 0208-2022, 0048-2025
Exception Rl	-84(1) and RL-84(2) continue	ed from previous page	
4.2.2.84.9	Maximum height of eaves on G2-1 or G2-2 zone: from established grade to lo		5.8 m
4.2.2.84.10	Maximum height of eaves on from established grade to lo		4.5 m
4.2.2.84.11	Height of all buildings and s established grade	structures shall be measured t	rom
4.2.2.84.12	Maximum projection of a por	rch or balcony:	
		nd RL-84(2) of this Exception of a detached dwelling , which	
	` '	nd RL-84(2) of this Exception f a detached dwelling not	2.0 m
4.2.2.84.13		low and architectural elements as, but not limited to, chimn e orbels:	
	(1) outside the buildable Schedules RL-84(1) a abutting a side wall of	nd RL-84(2) of this Exception	0.6 m
	* /	nd RL-84(2) of this Exception of a detached dwelling , which	
		nd RL-84(2) of this Exception f a detached dwelling not	1.0 m
	(4) outside the buildable Schedules RL-84(1) a abutting a rear wall of	nd RL-84(2) of this Exception	1.0 m
4.2.2.84.14	A detached garage shall not l	be permitted	
4.2.2.84.15	Minimum setback to garage	face from a condominium ro	ad 5.5 m
4.2.2.84.16	Maximum projection of a garage face beyond any portion of the first floor front wall or exterior side wall of a detached dwelling		
4.2.2.84.17	Maximum setback of the first floor front wall or exterior side wall of a detached dwelling from the garage face, where a main entry feature is provided 2.5 m		
4.2.2.84.18	Maximum garage width: measured from the inside face	e of the garage side walls	8.0 m
4.2.2.84.19	All site development plans sh Schedules RL-84(1) and RL-		

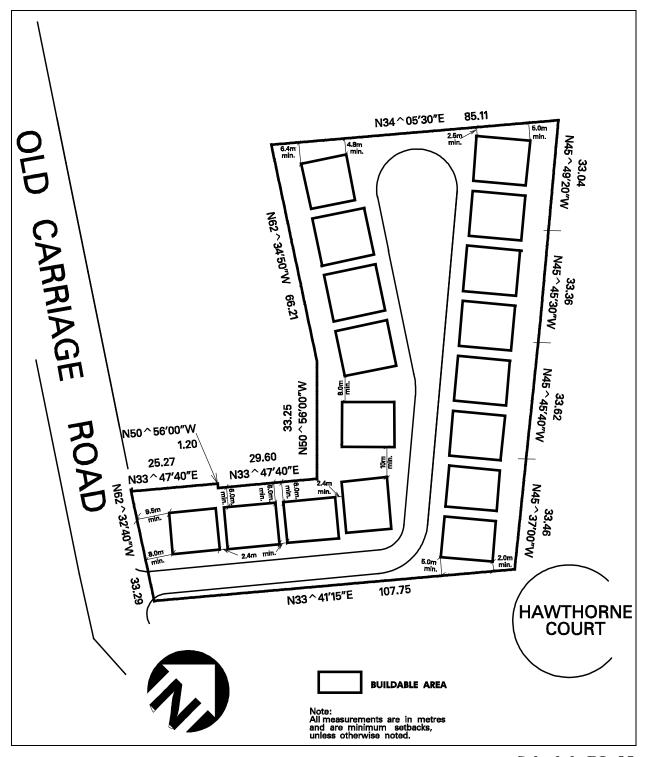


Schedule RL-84(1) Maps 08 and 09



Schedule RL-84(2) Map 09

4.2.2.85	Exception: RL-85	Map # 16	Order 2019	81-2018/LPAT February 15, , 0048-2025
	one the permitted uses and app ving uses /regulations shall app		shall be as specified fo	r a RL zone except
Regulations				
4.2.2.85.1	Maximum number of dwel	ling units on all lan	ds zoned RL-85	17
4.2.2.85.2	Maximum gross floor area	a - residential per d	etached dwelling	275 m^2
4.2.2.85.3	Maximum gross floor area second storey of a detache		nitted on the	75 m ²
4.2.2.85.4	Minimum setback to a cone	dominium road		4.5 m
4.2.2.85.5	Minimum setback to any lo	ot line		7.5 m
4.2.2.85.6	Minimum detached dwelli	ng separation		3.0 m
4.2.2.85.7	Maximum height - highest sloped roof	ridge:		8.0 m
4.2.2.85.8	Maximum height: flat roof			4.5 m
4.2.2.85.9	Height of all buildings and established grade	d structures shall be	e measured from	
4.2.2.85.10	Maximum projection of a pridentified on Schedule RL-			2.0 m
4.2.2.85.11	Maximum projection of a didentified on Schedule RL-wall of a detached dwellin	85 of this Exception		3.8 m
4.2.2.85.12	Maximum projection of wire or without a foundation, surpilasters, corbels, and awnitidentified on Schedule RL-	ch as, but not limite ngs outside the buil	d to, chimneys, dable area	0.6 m
4.2.2.85.13	Minimum setback to garag	e face from a cond	ominium road	6.0 m
4.2.2.85.14	Minimum number of park i	ing spaces per dwel	ling unit	4
4.2.2.85.15	All site development plans this Exception	shall comply with S	schedule RL-85 of	



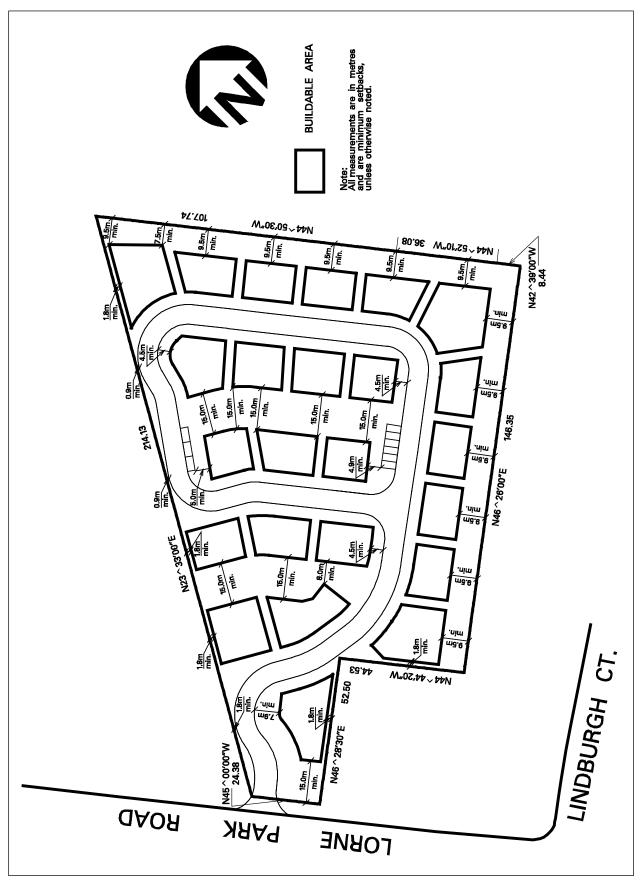
Schedule RL-85 Map 16

4.2.2.86	Exception: RL-86	Map # 31	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0208-2022, 0048-2025
	ne the permitted uses and applic ring uses /regulations shall apply		specified for a RL zone except
Regulations			
4.2.2.86.1	Maximum number of dwelling	g units on all lands zoned R	L-86 14
4.2.2.86.2	Maximum coverage of a detac buildable area identified on S		288 m ² eption
4.2.2.86.3	Maximum gross floor area -	residential per detached dy	welling 372 m ²
4.2.2.86.4	Minimum setback to a condor	minium road	4.5 m
4.2.2.86.5	Minimum detached dwelling	separation	3.0 m
4.2.2.86.6	Minimum setback between a of Setback Line identified on Sch		
4.2.2.86.7	Minimum setback between a C Stability Line identified on Sc		
4.2.2.86.8	Minimum setback from a gara	age face to a condominium	road 6.0 m
4.2.2.86.9	Maximum height - highest ric sloped roof	dge:	9.5 m
4.2.2.86.10	Height of all buildings and st established grade	t ructures shall be measured	from
4.2.2.86.11	Minimum number of parking	spaces per dwelling unit	4
4.2.2.86.12	Minimum number of visitor p	10	
4.2.2.86.13	Maximum driveway width		8.5 m
4.2.2.86.14	All site development plans shathis Exception	all comply with Schedule R	L-86 of
Holding Prov	vision		
	The holding symbol H is to be part of the lands zoned H-RL-Map 31 of Schedule B contain amended, upon satisfaction of	86 by further amendment to ned in Part 13 of this By-law	y, as
	Mississauga Planning a additional visitor parki abutting Folkway Driv		r ds
	Mississauga Planning a Community Services E Mullett Creek watershe the north and south of	ade to the satisfaction of the and Building Department an Department for a pathway in ed to allow for pedestrian litthe site with the applicant to onstruction, including all as	nd the the the nkage to bear
	(3) that the applicant has fi the City, including the	fulfilled all other requirement lease agreement, and requirement concerned with the	



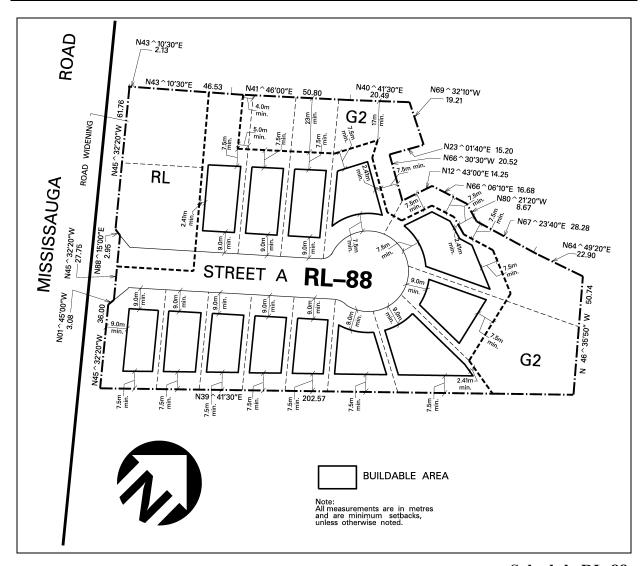
Schedule RL-86 Map 31

4.2.2.87	Exception: RL-87	Map # 09	By-law: 0181-2 Order 2019 Feb 0208-2022, 004	ruary 15,		
	In a RL-87 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:					
Regulations						
4.2.2.87.1	Maximum number of dwell	ing units on all lands zoned R	L-87	24		
4.2.2.87.2		tached dwelling within each n Schedule RL-87 of this Exce	eption	195 m ²		
4.2.2.87.3	Maximum gross floor area	- residential per detached dy	welling	260 m ²		
4.2.2.87.4	Maximum gross floor area - residential , permitted on the second storey of a detached dwelling			65 m ²		
4.2.2.87.5	Minimum setback to a cond	lominium road		4.5 m		
4.2.2.87.6	Minimum detached dwellin	ng separation		3.6 m		
4.2.2.87.7	Minimum setback from a ga	arage face to a condominium	road	6.0 m		
4.2.2.87.8	Maximum height - highest sloped roof	ridge:		7.5 m		
4.2.2.87.9	Height of all buildings and established grade	structures shall be measured	from			
4.2.2.87.10	Minimum number of parki	ng spaces per dwelling unit		4		
4.2.2.87.11	Maximum driveway width			8.5 m		
4.2.2.87.12	Minimum number of visitor	parking spaces		9		
4.2.2.87.13	All site development plans of this Exception	shall comply with Schedule R	L-87			



Schedule RL-87 Map 09

4.2.2.88	Exception: RL-88	Map # 24	By-law: 0208-2022, 0048-2025			
	In a RL-88 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:					
Regulations						
4.2.2.88.1	deleted					
4.2.2.88.2	deleted					
4.2.2.88.3	deleted					
4.2.2.88.4	Accessory buildings and strear yard	ructures shall only be located	l in a			
4.2.2.88.5	Porches and decks shall be located in the buildable area identified on Schedule RL-88 of this Exception					
4.2.2.88.6	All site development plans of this Exception	shall comply with Schedule R	L-88			



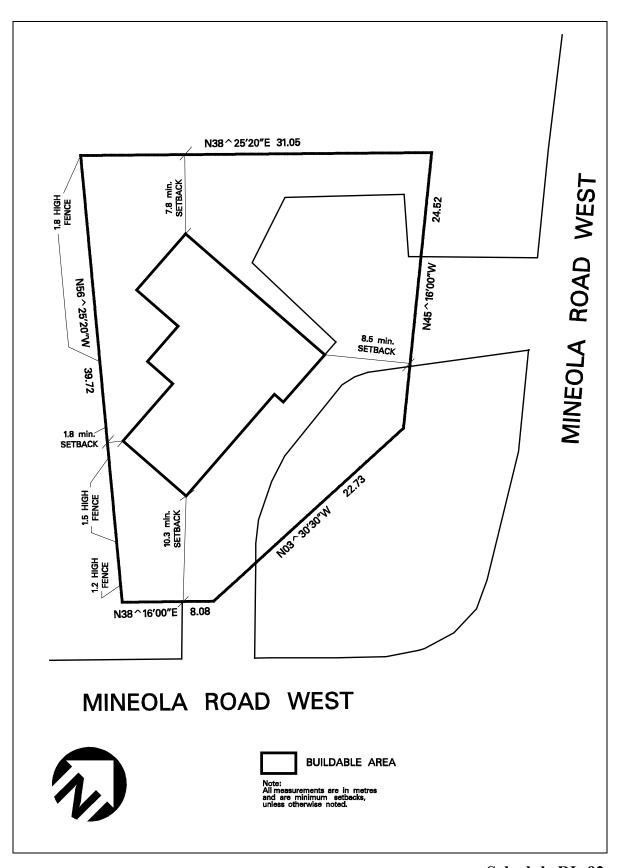
Schedule RL-88 Map 24

4.2.2.89	Exception: RL-89	Map # 31	By-law: 0048-2025				
	In a RL-89 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:						
Regulations							
4.2.2.89.1	deleted						
4.2.2.89.2	A detached dwelling shall comply with the RL zone regulations contained in Subsection 4.2.1 of this By-law except that:						
	(1) minimum lot a	rea - corner lot	700 m^2				
	(2) maximum lot of	coverage	43%				
	(3) minimum fron	nt yard	6.5 m				
	(4) minimum exte	rior side yard	4.5 m				
4.2.2.89.3	deleted						
4.2.2.89.4	deleted						

4.2.2.90	Exception: RL-90	Map # 31	By-law: 0048-2025		
In a RL-90 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:					
Regulations					
4.2.2.90.1	Minimum interior side yar	d - detached dwelling	2.4 m		
4.2.2.90.2	Minimum interior side yar	d - attached garage	1.8 m		
4.2.2.90.3	deleted				
4.2.2.90.4	Minimum setback of all but swimming pools to the rea	C	16.0 m		

4.2.2.91	Exception: RL-91	Map # 08	By-law: 0193-2016/ OMB Order 2017 May 30, 0048-2025
In a RL-91 zon uses /regulation		shall be as specified for a RL z	zone except that the following
Permitted Use	s		
4.2.2.91.1	Lands zoned RL-91 shall or	nly be used for the following:	
	 (1) Detached Dwelling (2) Semi-Detached or (3) Office (4) Medical Office - Re 		
Regulations			
4.2.2.91.2	deleted		
4.2.2.91.3	deleted		
4.2.2.91.4	deleted		
4.2.2.91.5	deleted		
4.2.2.91.6	deleted		
4.2.2.91.7		ce - restricted shall comply we ned in Subsection 4.2.1 of this	
	(1) minimum lot fronta	ge - interior lot	22.5 m
	(2) maximum gross floo	or area - non-residential	131 m ²

4.2.2.92	Exception: RL-92	Map # 08	By-law: 0048-2025		
In a RL-92 zone uses/regulation	11	shall be as specified for a RL z	cone except that the following		
Permitted Uses	S				
4.2.2.92.1	Lands zoned RL-92 shall or	nly be used for the following:			
	 (1) Detached Dwelling (2) Semi-Detached or (3) Office (4) Medical Office - Ro 				
Regulations					
4.2.2.92.2	An office and medical office - restricted shall comply with the RL zone regulations contained in Subsection 4.2.1 of this By-law except that:				
	(1) maximum gross floo	or area - non-residential	195 m^2		
	(2) all site development Schedule RL-92 of t	plans shall comply with this Exception			



Schedule RL-92 Map 08

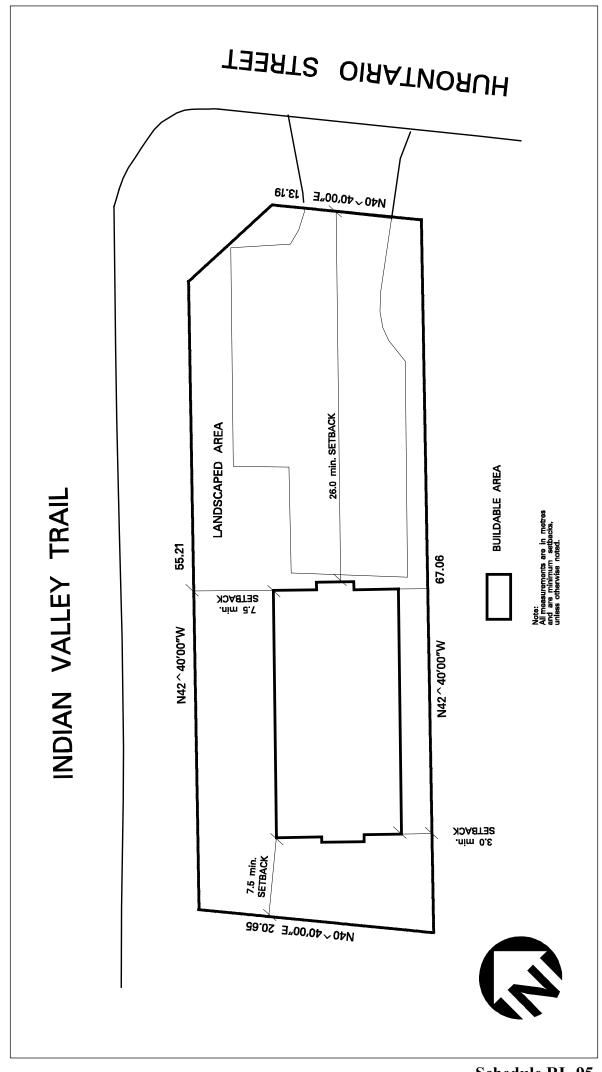
4.2.2.93	Exception: RL-93	Map # 08	By-law: 0193-2016/ OMB Order 2017 May 30, 0048-2025		
In a RL-93 zon uses/regulation		shall be as specified for a RL z	zone except that the following		
Permitted Use	S				
4.2.2.93.1	Lands zoned RL-93 shall o	nly be used for the following:			
	 (1) Detached Dwelling or (2) Semi-Detached or (3) Office (4) Medical Office - Restricted 				
Regulations					
4.2.2.93.2	deleted				
4.2.2.93.3	deleted				
4.2.2.93.4	deleted				
4.2.2.93.5	deleted				
4.2.2.93.6	deleted				
4.2.2.93.7	An office and medical office - restricted shall comply with the RL zone regulations contained in Subsection 4.2.1 of this By-law except that:				
	(1) minimum lot front a	nge - interior lot	30.0 m		
	(2) maximum gross flo	or area - non-residential	465 m^2		
	(3) maximum number of tandem parking sp	of parking spaces that may be acces	2		

4.2.2.94	Exception: RL-94	Map # 08	By-law: 0193-2016/ OMB Order 2017 May 30, 0048-2025		
uses/regulation	s shall apply:	ions shall be as specified	for a RL zone except that the following		
Permitted Use	S				
4.2.2.94.1	Lands zoned RL-94 sh	nall only be used for the fo	ollowing:		
	 (1) Detached Dwe (2) Semi-Detached (3) Office (4) Medical Office 	d or			
Regulations					
4.2.2.94.2	deleted				
4.2.2.94.3	deleted				
4.2.2.94.4	deleted				
4.2.2.94.5	deleted				
4.2.2.94.6	deleted				

Exception RL-94 continued on next page

4.2.2.94	Excep	tion: RL-94	Map # 08	By-law: 0193-2016/ OMB Order 2017 May 30, 0048-2025
Exception RL	-94 con	tinued from previous	page	
4.2.2.94.7	RL zo	office and medical office -restricted shall comply with the zone regulations contained in Subsection 4.2.1 of this By-law cept that:		
	(1)	minimum lot frontage - interior lot 30.0 m		
	(2)	maximum gross floor area - non-residential		225 m^2
	(3)	maximum number of parking spaces that may be tandem parking spaces		2
	(4)	minimum aisle width		4.0 m

4.2.2.95	Exception	n: RL-95	Map # 08	By-law: 0193-2016/ OMB Order 2017 May 30, 0048-2025		
In a RL-95 zo uses/regulation			shall be as specified for a R	L zone except that the following		
Permitted Us	ses					
4.2.2.95.1	Lands zo	oned RL-95 shall or	nly be used for the following	g:		
	 (1) Detached Dwelling or (2) Semi-Detached or (3) Office (4) Medical Office - Restricted 					
Regulations						
4.2.2.95.2	deleted	deleted				
4.2.2.95.3	deleted	deleted				
4.2.2.95.4	deleted	deleted				
4.2.2.95.5	deleted					
4.2.2.95.6	deleted					
4.2.2.95.7	An office and medical office - restricted shall comply with the RL zone regulations contained in Subsection 4.2.1 of this By-law except that:					
	(1) m	ninimum lot front a	ge - corner lot	20.0 m		
	(2) m	aximum gross flo	or area - non-residential	420 m^2		
		naximum number o nndem parking sp	f parking spaces that may aces	be 4		
		ll site development chedule RL-95 of t	plans shall comply with this Exception			



Schedule RL-95 Map 08

4.2.2.96	Exception: RL-96	Map # 08	By-law: 0193-2016/ OMB Order 2017 May 30, 0048-2025		
In a RL-96 zone uses/regulation		shall be as specified for a RL z	zone except that the following		
Permitted Use	s				
4.2.2.96.1	Lands zoned RL-96 shall or	nly be used for the following:			
	 (1) Detached Dwelling (2) Semi-Detached or (3) Office (4) Medical Office - Re 				
Regulations					
4.2.2.96.2	deleted				
4.2.2.96.3	deleted				
4.2.2.96.4	deleted				
4.2.2.96.5	deleted				
4.2.2.96.6	deleted				
4.2.2.96.7	An office and medical office - restricted shall comply with the RL zone regulations contained in Subsection 4.2.1 of this By-law except that:				
	(1) minimum lot fronta	ge - interior lot	30.0 m		
	(2) maximum gross floo	or area - non-residential	180 m^2		

4.2.2.97	Exception: RL-97	Map # 08	By-law: 0193-2016/ OMB Order 2017 May 30, 0048-2025		
In a RL-97 zon uses /regulation		shall be as specified for a RL	zone except that the following		
Permitted Use	s				
4.2.2.97.1	Lands zoned RL-97 shall on	nly be used for the following:			
	 (1) Detached Dwelling or (2) Semi-Detached or (3) Office (4) Medical Office - Restricted 				
Regulations					
4.2.2.97.2	deleted				
4.2.2.97.3	deleted				
4.2.2.97.4	deleted				
4.2.2.97.5	deleted				
4.2.2.97.6	deleted				
4.2.2.97.7	An office and medical office - restricted shall comply with the RL zone regulations contained in Subsection 4.2.1 of this By-law except that:				
	(1) minimum lot fronta	ge - interior lot	30.0 m		
	(2) maximum total gros	s floor area - non-residentia	420 m^2		
	(3) minimum rear yard restricted	for an office and medical of	fice - 12.0 m		

4.2.2.98	Exception: RL-98	Map # 44W	By-law: 0048-2025			
In a RL-98 zone the applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:						
Permitted Use	es					
4.2.2.98.1	Lands zoned RL-98 shall o	nly be used for the follow	ing:			
	 Detached Dwelling or Semi-Detached or Restaurant Office Medical Office - Restricted Day Care 					
Regulations						
4.2.2.98.2	2.98.2 A restaurant, office, medical office - restricted and day care shall comply with the RL zone regulations contained in Subsection 4.2.1 of this By-law except that:					
	 a restaurant, office and medical office - restricted shall be contained within the existing detached dwelling, being the Brown-Vooro house, and its existing accessory structure a day care shall only be permitted within the existing detached dwelling, being the Brown-Vooro house notwithstanding Clauses 4.2.2.98.2(1) and (2) of this Exception, the gross floor area - non-residential existing at the time of passing of this By-law may be increased by a maximum of 3 m² 					
4.2.2.98.3	Play equipment accessory to a day care may be located in a front yard					

4.2.2.99	Excep	otion: RL-99	Map # 08	By-law: 0193-2016/ OMB Order 2018 February 15, 0048-2025
In a RL-99 zon uses/regulation			shall be as specified for a RL	zone except that the following
Permitted Use	es			
4.2.2.99.1	Lands	s zoned RL-99 shall or	aly be used for the following:	
	(1) (2) (3) (4)	Detached Dwelling or Semi-Detached or Office Medical Office - Restricted		
Regulations				
4.2.2.99.2	RL zo	office and medical office - restricted shall comply with the zone regulations contained in Subsection 4.2.1 of this By-law ept that:		
	(1)	maximum gross floo	or area - non-residential	$200~\mathrm{m}^2$
	(2)	minimum front yard	d - interior lot	7.0 m
	(3)	minimum interior s	ide yard - interior lot	2.5 m
	(4)	minimum rear yard	- interior lot	61.8 m
	(5)		f parking spaces per 100 m ² on-residential used for an of	

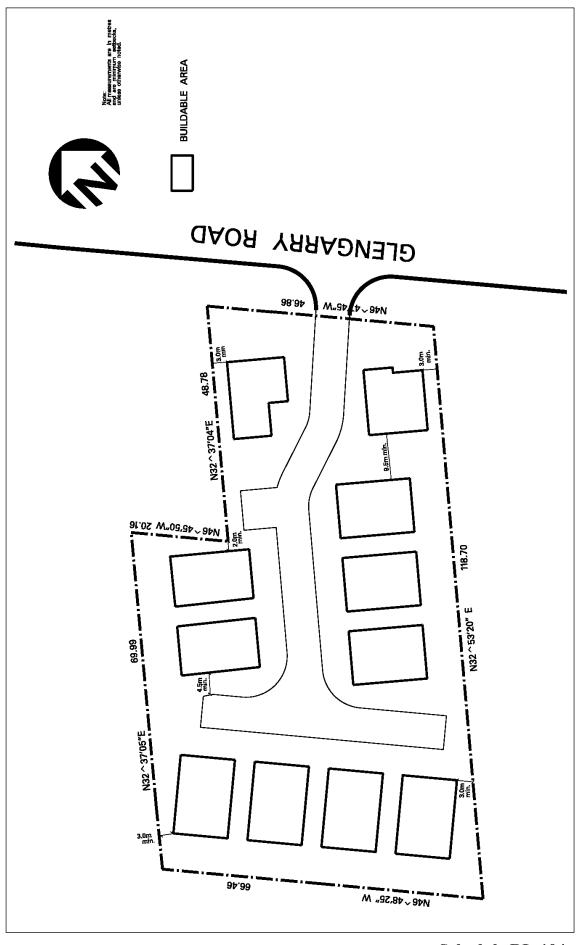
4.2.2.100	Excep	otion: RL-100	Map # 08	By-law: 0048-2025
In a RL-100 z uses /regulation			s shall be as specified for a RL	zone except that the following
Permitted Us	ses			
4.2.2.100.1	Lands	s zoned RL-100 shall	only be used for the following	;
	(1) (2) (3) (4) (5)	Office in a detached	a detached dwelling	ıg
Regulations				
4.2.2.100.2	comb with t	ination thereof within	a detached dwelling shall cons contained in Subsection 4.2	mply
	(1)		office, medical office - restri ereof, shall be contained within lwelling	
	(2)	minimum lot fronta	ige - interior lot	30.0 m
	(3)	maximum total gros	ss floor area	460 m^2
	(4)	_	or area - non-residential used ffice, medical office - restrict preof	
	(5)	minimum front yar	d - interior lot	9.0 m
	(6)	minimum interior s	ide yard - interior lot	3.5 m
	(7)	minimum rear yard	l - interior lot	7.5 m
	(8)	maximum height - l sloped roof	highest ridge:	9.5 m
	(9)	maximum height: flat roof		7.5 m
	(10)	maximum height of from average grade	eaves:	6.4 m
	(11)	parking shall only b	e permitted in the front yard	
	(12)	minimum setback or	f the parking to the front lot li	4.5 m
	(13)	maximum number o	of parking spaces	10

4.2.2.101	Exception: RL-101	Map # 31	By-law: 0048-2025			
	In a RL-101 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:					
Regulations						
4.2.2.101.1	deleted					
4.2.2.101.2	deleted					
4.2.2.101.3	Minimum lot frontage - int	t erior lot that abuts a G1 zone	17.0 m			
4.2.2.101.4	Minimum lot frontage - co	rner lot that abuts a G1 zone	20.0 m			
4.2.2.101.5	deleted					
4.2.2.101.6	deleted					
4.2.2.101.7	deleted					

4.2.2.102	Exception: RL-102	Map # 25	By-law: 0048-2025			
In a RL-102 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:						
4.2.2.102.1	4.2.2.102.1 The regulations of Line 4.1 contained in Table 4.2.1 of this By-law shall not apply					
4.2.2.102.2	Access to all lots shall be vi	ia a common frontage on				

			Г
4.2.2.103	Exception: RL-103	Map # 38W, 39E, 45W	By-law: 0380-2009/OMB Order 2010 September 13, 0308-2011, 0181-2018/LPAT Order 2019 February 15, 0048-2025
	one the permitted uses and ap following uses /regulations s		as specified for a RL zone
Regulations			
4.2.2.103.1	deleted		
4.2.2.103.2	Maximum gross floor area	a - infill residential	150 m ² plus 0.2 times the lot area
4.2.2.103.3	deleted		
4.2.2.103.4	deleted		
4.2.2.103.5	deleted		
4.2.2.103.6	deleted		
4.2.2.103.7	deleted		
4.2.2.103.8	deleted		
4.2.2.103.9	Garage projection: maximum projection of the exterior side wall of the fi	garage beyond the front warst storey	2.0 m
4.2.2.103.10	deleted		

4.2.2.104	Exception: RL-104	Map # 16	By-law: 0206-20 0181-2018/LPAT 2019 February 1: 0208-2022, 0048	Γ Order 5,					
	In a RL-104 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:								
Regulations									
4.2.2.104.1	Maximum number of dwell	ing units on all lands zoned R	L-104	11					
4.2.2.104.2	Maximum gross floor area	- residential per detached de	welling 2	297 m^2					
4.2.2.104.3	Minimum interior side yar Schedule RL-104 of this Ex	d unless otherwise identified acception	on	7.5 m					
4.2.2.104.4	Minimum setback of a deta condominium road or side on Schedule RL-104 of this		3.3 m						
4.2.2.104.5	Minimum setback from a ga	arage face to a condominium	road	6.0 m					
4.2.2.104.6	Minimum detached dwelling identified on Schedule RL-		4.0 m						
4.2.2.104.7	Maximum projection of a p buildable area identified o		1.8 m						
4.2.2.104.8	Maximum projection of a d identified on Schedule RL-	eck outside the buildable are	a	1.8 m					
4.2.2.104.9	Maximum projection of an awning, window projection, chimney , pilaster or corbel outside the buildable area identified on Schedule RL-104 of this Exception			0.6 m					
4.2.2.104.10	Height of all buildings and established grade	structures shall be measured	from						
4.2.2.104.11	All site development plans of this Exception	shall comply with Schedule R	L-104						



Schedule RL-104 Map 16

4.2.2.105	Exception: RL-105	Map # 08	By-law: 0166-2015, 0111-2019/LPAT Order 2021 March 09, 0048-2025		
In a RL-105 zo uses/regulation		shall be as specified for a RL	zone except that the following		
Permitted Use	S				
4.2.2.105.1	Lands zoned RL-105 shall of	only be used for the following	;:		
	 (1) Detached Dwelling or (2) Semi-Detached or (3) Office with one dwelling unit 				
Use Not Perm	itted				
4.2.2.105.2	(1) deleted				
Regulations					
4.2.2.105.3	deleted				
4.2.2.105.4	Maximum gross floor area	ſ	467 m^2		
4.2.2.105.5	Maximum gross floor area - non-residential 365 m ²				
4.2.2.105.6	deleted				
4.2.2.105.7	Minimum depth of a landso lot line that is a street line	caped buffer measured from	a 7.5 m		

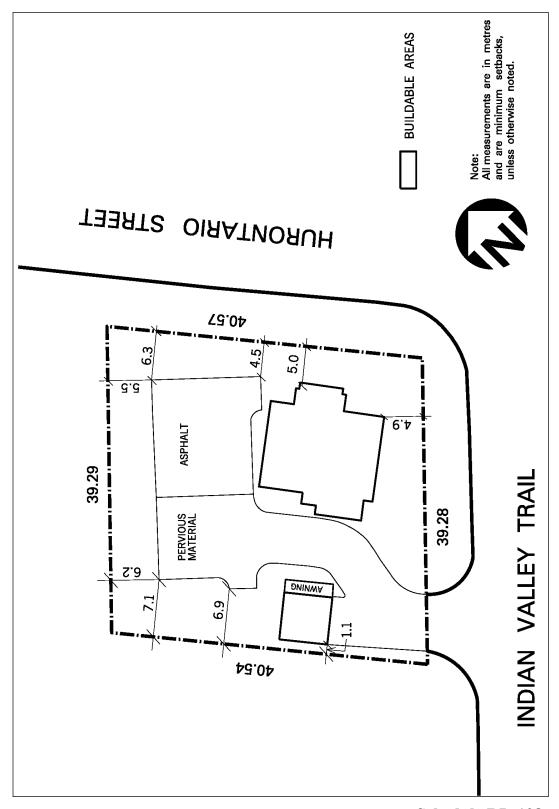
4.2.2.106	Exception: RL-106	Map # 44W	By-law: 0199-2010, 0308-2011, 0048-2025				
	In a RL-106 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:						
Regulation							
4.2.2.106.1	deleted						
4.2.2.106.2	deleted						
4.2.2.106.3	deleted						
4.2.2.106.4	Maximum projection of the front wall or exterior side	garage beyond any portion or wall of the first storey	f the 0.0 m				

4.2.2.107	Exception: RL-107	Map # 39E	By-law: 0380-2009/OMB Order 2010 October 13, 0308-2011, 0181-2018/LPAT Order 2019 February 15, 0048-2025			
except that the	In a RL-107 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:					
Regulations	1-1-4-1					
4.2.2.107.1	deleted					
4.2.2.107.2	Maximum gross floor area	- infill residential	190 m ² plus 0.2 times the lot area			
4.2.2.107.3	deleted					
4.2.2.107.4	deleted					

Exception RL-107 continued on next page

4.2.2.107	Exception: RL-107	Map # 39E	By-law: 0380-2009/OMB Order 2010 October 13, 0308-2011, 0181-2018/LPAT Order 2019 February 15, 0048-2025		
Exception RL-	-107 continued from previou	s page			
4.2.2.107.5	Minimum setback to garage face - interior lot 7.5				
4.2.2.107.6	deleted				
4.2.2.107.7	deleted				
4.2.2.107.8	deleted				
4.2.2.107.9	Garage projection: maximum projection of the garage beyond the front wall or exterior side wall of the first storey 2.0 m				
4.2.2.107.10	deleted				

4.2.2.108	Exception: RL-108	Map # 08	By-law: OMB Order 2014 March 18, 0193-2016/ OMB Order 2017 May 30, 0048-2025			
In a RL-108 zo uses /regulation		ons shall be as specified for	a RL zone except that the following			
Permitted Use	2					
4.2.2.108.1	Lands zoned RL-108 sha	all only be used for the follo	owing:			
	 Detached Dwelling or Semi-Detached or Office with one dwelling unit or Medical office - restricted with one dwelling unit 					
Regulations						
4.2.2.108.2	deleted					
4.2.2.108.3	Minimum centre line set	back from Hurontario Stree	et 19.0 m			
4.2.2.108.4	deleted					
4.2.2.108.5	deleted					
4.2.2.108.6	deleted					
4.2.2.108.7	deleted					
4.2.2.108.8	An office and medical office - restricted shall comply with the RL zone regulations contained in Subsection 4.2.1 of this By-law except that:					
	(1) maximum gross t	floor area - non-residentia	175 m^2			
	(2) maximum lot cov	verage	15%			
	(3) maximum number tandem parking	er of parking spaces that m spaces	ay be 2			
4.2.2.108.9	All site development pla of this Exception	All site development plans shall comply with Schedule RL-108				



Schedule RL-108 Map 08

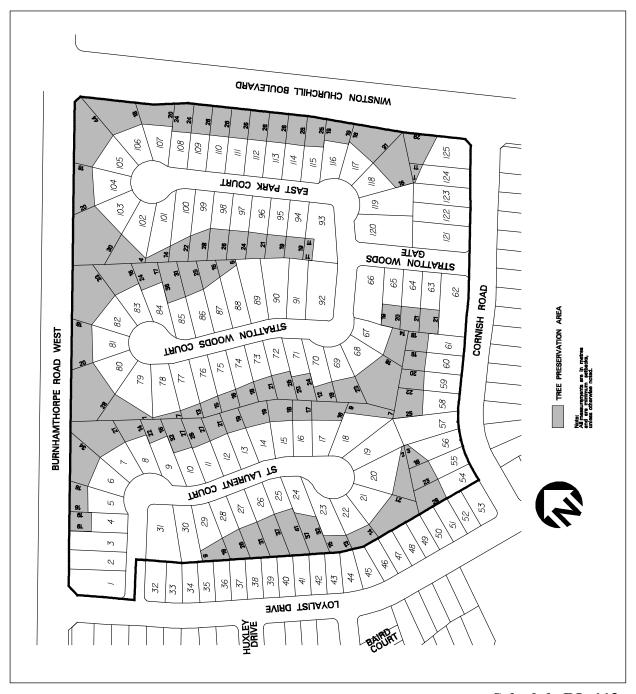
4.2.2.109	Exception: RL-109	Map #	By-law: deleted by 0048-2025

4.2.2.110	Excep	otion: RL-110	Map # 49E	By-law: 0379-2009, 0181-2018/LPAT Order 2019 February 15, 0048-2025			
	In a RL-110 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:						
Regulations							
4.2.2.110.1		<u> </u>	comply with the RL zone regu.1 of this By-law except that:	ılations			
	(1)	minimum lot area	minimum lot area 425 m ²				
	(2)	minimum lot fronta	ge	14.0 m			
	(3)	minimum front yar	d - interior lot	6.0 m			
	(4)	minimum interior s	ide yard	0.95 m			
	(5)	minimum exterior s	ide yard	3.5 m			
	(6)	minimum exterior s	ide yard abutting Scarboro St	creet 4.5 m			
	(7)	minimum setback to	garage face	6.0 m			

4.2.2.111	Excep	tion: RL-111	Map # 32	By-law: 0048-2025			
	In a RL-111 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:						
Regulations							
4.2.2.111.1	A detached dwelling shall comply with the RL zone regulations contained in Subsection 4.2.1 of this By-law except that:						
	(1)	minimum lot area -	interior lot	440 m^2			
	(2)	minimum lot fronta	ge - interior lot	6.0 m			
	(3)	minimum front yard	d	1.5 m			

4.2.2.112	Exce	ption: RL-112	Map # 46W		81-2018/LPAT February 15,		
	In a RL-112 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:						
Regulations							
4.2.2.112.1		regulations of Lines 3.0 By-law shall not apply	0 to 14.0 contained in Tab	le 4.2.1 of			
4.2.2.112.2		<u> </u>	comply with the RL zone 2.1 of this By-law except the	•			
	(1)	maximum number o lands zoned RL-112	f dwelling units per hecta	are on all	19.8		
	(2)	minimum setback to	a condominium road		4.5 m		
	(3)	minimum distance b	etween buildings		3.0 m		
	(4)	minimum setback of lot line	minimum setback of all buildings and structures to any 7.5 m lot line				
	(5)	minimum setback of a garage face to a 6.0 m condominium road			6.0 m		
	(6)	deleted					
	(7)	height of all buildir from established gr	ngs and structures shall be	e measured			

4.2.2.113	Exception: RL-113	Map # 59	By-law: 0048-2025				
	In a RL-113 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:						
Regulations							
4.2.2.113.1		comply with the RL zone regulation.1 of this By-law except that:	ılations				
	(1) minimum interior s i	ide yard	1.5 m				
4.2.2.113.2	Minimum rear yard measured from the limit of the tree 7.5 m preservation area for a lot that includes a tree preservation area, identified on Schedule RL-113 of this Exception						
4.2.2.113.3	preservation area for a lot th	a detached dwelling and the hat includes or abuts a tree on Schedule RL-113 of this	tree 3.0 m				
4.2.2.113.4	tree preservation area, shall purposes, and no buildings	edule RL-113 of this Exception only be used for conservation or structures , swimming poo reational facilities, except for permitted	o ls ,				



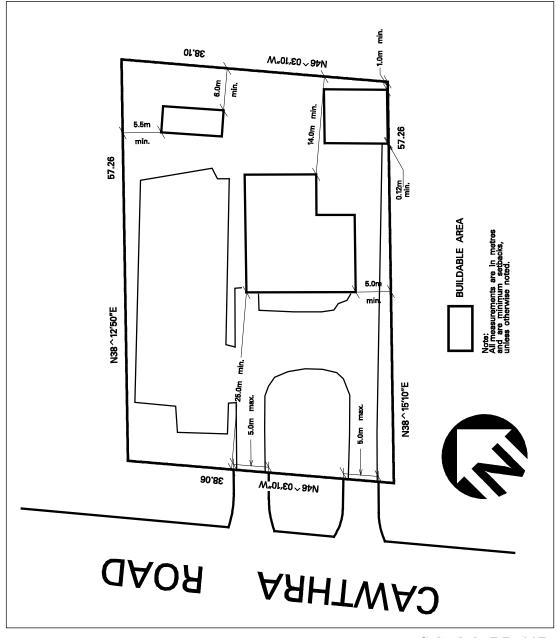
Schedule RL-113 Map 59

4.2.2.114	Except	ion: RL-114	Map # 38W	By-law: 0048-2025		
In a RL-114 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:						
Regulations						
4.2.2.114.1	4.2.2.114.1 A detached dwelling shall comply with the RL zone regulations contained in Subsection 4.2.1 of this By-law except that:					
	(1)	minimum lot area		500 m^2		
	(2)	maximum lot cover	rage	45%		

4.2.2.115	Exception: RL-115	Map # 10	By-law: 0048-2025		
In a RL-115 zo uses/regulation	11	shall be as specified for a R	L zone except that the following		
Permitted Use	2				
4.2.2.115.1	Lands zoned RL-115 shall of	only be used for the following	g:		
	(1) A private swimming club and accessory uses such as swimming and wading pools, meeting and changing rooms and washroom facilities				
Regulations					
4.2.2.115.2	Minimum front yard		13.5 m		
4.2.2.115.3	Minimum interior side yar	·d	2.4 m		
4.2.2.115.4	Minimum rear yard		12.0 m		
4.2.2.115.5	Maximum lot coverage		20%		
4.2.2.115.6	Maximum height		10.7 m		
4.2.2.115.7	Minimum number of parki swimming pool area	ng spaces per 10 m ² of	1		
4.2.2.115.8	Minimum setback from a p	arking space to an interior l	lot line 1.5 m		

4.2.2.116	Exception: RL-116	Map # 08	By-law: 0171-2015/ OMB Order 2016 April 04, 0193-2016/OMB Order 2017 May 30, 0048-2025			
	In a RL-116 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:					
Regulations						
4.2.2.116.1	A detached dwelling shall comply with the RL zone regulations contained in Subsection 4.2.1 of this By-law except that:					
	(1) minimum lot area		535 m^2			
	(2) minimum lot fronta	ge - corner lot	15.0 m			
4.2.2.116.2	Minimum front yard - inte	erior lot	6.0 m			
4.2.2.116.3	deleted					
4.2.2.116.4	deleted					
4.2.2.116.5	deleted					
4.2.2.116.6	deleted					

4.2.2.117	Excep	tion: RL-117	Map # 20	By-law: 0048-202	25		
	In a RL-117 zone the applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:						
4.2.2.117.1		zonad DI 117 shall d	anly he used for the fellowin	.a.			
4.2.2.11/.1	Lanus	Zoneu KL-11/ Shan (only be used for the following	18.			
	(1)	Detached Dwelling	or				
	(2) (3)	Semi-Detached or Medical Office - Re	estricted				
Dogulations	(3)	Wiculcai Office - Re	Stricted				
Regulations							
4.2.2.117.2			ed shall comply with the RL bsection 4.2.1 of this By-law				
	(1)	maximum gross floo medical office - res	or area - non-residential us tricted	ed for a 4.	33 m^2		
	(2)		f physicians, dentists, drug alth professionals permitted		3		
	(3)	minimum number of	f parking spaces		15		
	(4)	all site development Schedule RL-117 of	plans shall comply with this Exception				



Schedule RL-117 Map 20

Revised: 2025 April 30

4.2.2.118	Exception: RL-118	Map # 30	By-law: 0048-2025		
In a RL-118 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:					
Regulation					
4.2.2.118.1	deleted				
4.2.2.118.2	deleted				
4.2.2.118.3 A detached dwelling shall comply with the RL zone regulations contained in Subsection 4.2.1 of this By-law except that:					
	(1) minimum rear yard		1.7 m		

4.2.2.119	Exce	ption: RL-119	Map # 22, 24, 38W, 44W, 45E	By-law: 0048-2025			
	In a RL-119 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:						
Regulations							
4.2.2.119.1	4.2.2.119.1 A detached dwelling shall comply with the RL zone regulations contained in Subsection 4.2.1 of this By-law except that:						
	(1)	minimum lot area -	interior lot	450 m^2			
	(2)	minimum lot area -	minimum lot area - corner lot				
	(3)	minimum lot fronta	ge - interior lot	14.0 m			
	(4)	minimum lot fronta	ge - corner lot	18.0 m			
	(5)	minimum front yar	d - interior lot	6.0 m			
	(6)	minimum interior s	ide yard - interior lot	1.2 m			
	(7)	a lot that adjoins a o	ide yard - interior lot, for the one storey garage or a wall of no windows or doors into a				
	(8)	minimum combined	width of side yards	1.81 m			
4.2.2.119.2	Mini	mum exterior side yaı	rd	4.5 m			

4.2.2.120	Exception: RL-120	Map # 11	By-law: 0048-2025			
In a RL-120 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:						
Regulations	Regulations					
4.2.2.120.1 The provisions contained in Subsection 4.1.17 of this By-law shall not apply						
4.2.2.120.2	2.120.2 Access shall only be permitted from Thetford Court					

4.2.2.121	Excep	otion: RL-121	Map # 31, 37E	0171-201 2016 Apr	0379-2009, 5/OMB Order il 04, 0181-2018/ der 2019 February 15, 5		
	In a RL-121 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:						
Regulations							
4.2.2.121.1		<u> </u>	l comply with the RL zone re 2.1 of this By-law except tha	•			
	(1)	minimum lot area	- interior lot		480 m^2		
	(2)	minimum lot area	- corner lot		585 m^2		
	(3)	minimum lot front	age - corner lot		18.0 m		
	(4)	maximum lot cove	rage		45%		
	(5)	minimum front ya	rd - interior lot		6.0 m		
	(6)	minimum interior	side yard - interior lot		1.2 m on one side and 0.61 m on the other side		
	(7)	minimum interior	side yard - corner lot		1.2 m		
	(8)	minimum exterior	side yard		4.5 m		
	(9)	minimum exterior Cawthra Road	minimum exterior side yard - lots abutting Cawthra Road		7.5 m		
	(10)	minimum rear yar	rd - corner lot		7.5 m		
	(11)	minimum setback t	to a railway right-of-way		22.0 m		
	(12)	minimum setback t	to garage face		6.0 m		

4.2.2.122	Exception	on: RL-122	Map # 45W	By-law: 0048-2025		
In a RL-122 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:						
Regulations						
4.2.2.122.1	4.2.2.122.1 A detached dwelling shall comply with the RL zone regulations contained in Subsection 4.2.1 of this By-law except that:					
	(1)	minimum front y a	ard	6.5 m		
	(2)	minimum rear ya	rd	30.0 m		

4.2.2.123	Exception: RL-123	Map # 45W	By-law: 0048-2025			
In a RL-123 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:						
Regulations	Regulations					
4.2.2.123.1	4.2.2.123.1 A detached dwelling shall comply with the RL zone regulations contained in Subsection 4.2.1 of this By-law except that:					
	(1) minimum front yar	d	6.5 m			
	(2) minimum rear yard	- lots abutting a G1 zone	17.5 m			

4.2.2.124	Exception: RL-124	Map # 32, 39E	By-law: 0048-2025				
	In a RL-124 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:						
Regulation	Regulation						
4.2.2.124.1	4.2.2.124.1 A detached dwelling shall comply with the RL zone regulations contained in Subsection 4.2.1 of this By-law except that:						
	(1) minimum lot area -	interior lot	460 m^2				

4.2.2.125	Excep	otion: RL-125	Map # 38W	By-law: 0379-2009, 0181-2018/LPAT Order 2019 February 15, 0048-2025		
	In a RL-125 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:					
Regulations						
4.2.2.125.1		tached dwelling shall comply with the RL zone regulations ined in Subsection 4.2.1 of this By-law except that:				
	(1)	maximum lot covers	age	40%		
	(2)	minimum front yar	d	4.5 m		
	(3)	minimum interior s	ide yard	1.2 m		
	(4)	minimum setback to	garage face	6.0 m		

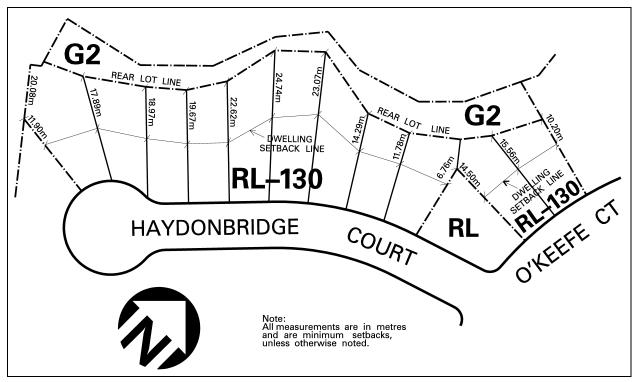
4.2.2.126	Exception: RL-126	Map # 38W	By-law: 0048-2025				
	In a RL-126 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:						
Regulation	Regulation						
4.2.2.126.1 A detached dwelling shall comply with the RL zone regulations contained in Subsection 4.2.1 of this By-law except that:							
	(1) maximum lot covera	age	40%				

4.2.2.127	Exception: RL-127	Map # 17, 30, 38W	By-law: 0048-2025			
In a RL-127 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:						
Regulations						
4.2.2.127.1	4.2.2.127.1 A detached dwelling shall comply with the RL zone regulations contained in Subsection 4.2.1 of this By-law except that:					
	(1) maximum lot cover	age	40%			
	(2) minimum interior s	ide yard - interior lot	1.2 m			

4.2.2.128	Ехсер	ption: RL-128	Map # 30, 37W, 38E, 38W, 39W	By-law: 0181-2018/LPAT Order 2019 February 15, 0048-2025			
	In a RL-128 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:						
Regulations							
4.2.2.128.1		A detached dwelling shall comply with the RL zone regulations contained in Subsection 4.2.1 of this By-law except that:					
	(1)	minimum lot area -	minimum lot area - interior lot 560 m ²				
	(2)	minimum lot area -	minimum lot area - corner lot 700 m ²				
	(3)	minimum lot fronta	ge - interior lot	14.0 m			
	(4)	minimum lot fronta	ge - corner lot	18.5 m			
	(5)	maximum lot cover	age	40%			
	(6)	minimum front yar	d - interior lot	9.0 m			
	(7)	minimum interior s	ide yard - interior lot	1.2 m			
	(8)	minimum setback to	garage face	12.0 m			

4.2.2.129	Exception: RL-129	Map # 45E	By-law: 0048-2025				
	In a RL-129 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:						
Regulations							
4.2.2.129.1	Minimum setback of a dwel	lling to all lands zoned G2-3	15.0 m				
4.2.2.129.2 Minimum setback of all accessory buildings and structures and swimming pools to all lands zoned G1							

4.2.2.130	Exception: RL-130	Map # 45E	By-law: 0048-2025			
In a RL-130 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:						
4.2.2.130.1	Minimum setback of a dwel	lling to all lands zoned G2	the dwelling setback line identified on Schedule RL-130 of this Exception			



Schedule RL-130 Map 45E

4.2.2.131	Excep	otion: RL-131	Map # 30	By-law: 0379-2009, 0181-2018/LPAT Order 2019 February 15, 0048-202;
		permitted uses and aping uses /regulations si		be as specified for a RL zone
Regulations				
4.2.2.131.1		S	comply with the RL zone1 of this By-law except the	<u> </u>
	(1)	minimum lot area -	interior lot	540 m^2
	(2)	minimum lot area -	corner lot	680 m^2
	(3)	minimum lot fronta	ge - corner lot	19.0 m
	(4)	maximum lot cover	age	40%
	(5)	minimum front yar	d	4.5 m
	(6)	minimum interior s	ide yard	1.2 m
	(7)	minimum exterior s	ide yard	4.5 m
	(8)	minimum rear yard	l - corner lot	7.5 m
	(9)	minimum setback to	a sight triangle	0.0 m
	(10)	deleted		
	(11)		ment of a porch or a balco ard or exterior side yard	v
	(12)	a detached garage s	hall not be permitted	
	(13)	minimum setback to	garage face	6.0 m

4.2.2.132	Exception: RL-132	Map # 24	By-law: 0048-2025				
In a RL-132 zone the applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:							
Permitted Use	es						
4.2.2.132.1	4.2.2.132.1 Lands zoned RL-132 shall only be used for the following:						
	(1) Detached Dwellin	S					
	(2) Semi-Detached or(3) Office	•					

4.2.2.133	Excep	otion: RL-133	Map # 37W	By-law: 0137-2013, 0181-2018/LPAT Order 2019 February 15, 0048-2025			
	In a RL-133 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:						
Regulations							
4.2.2.133.1	A detached dwelling shall comply with the RL zone regulations contained in Subsection 4.2.1 of this By-law except that:						
	(1)	minimum lot area -	minimum lot area - interior lot 500 m ²				
	(2)	minimum lot area - corner lot 600 m ²					
	(3)	minimum lot frontage - interior lot 14.0 m					
	(4)	minimum lot fronta	ge - corner lot	17.0 m			
	(5)	minimum front yard - interior lot 9.0 m					
	(6)	deleted					
	(7)	minimum setback t	o garage face	12.0 m			

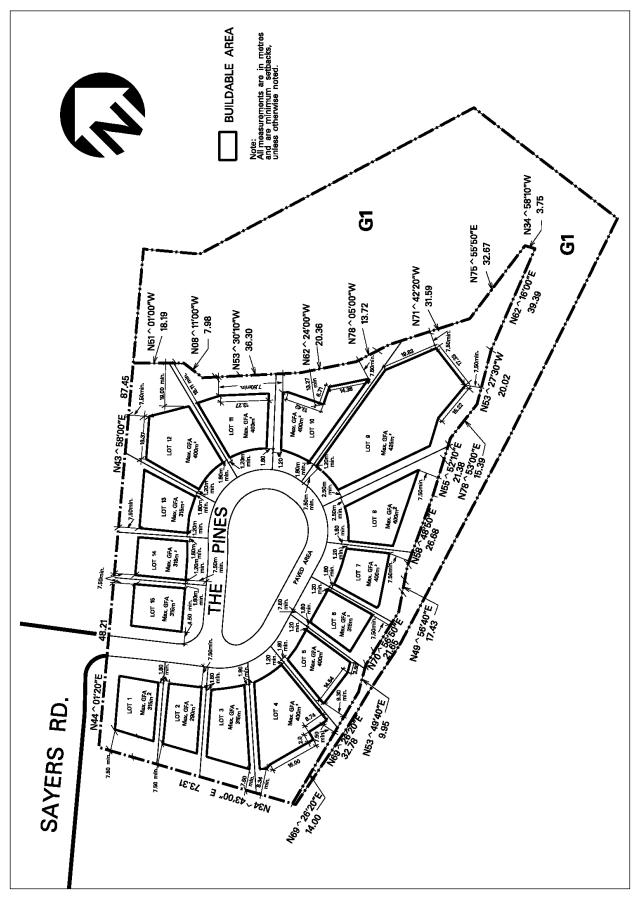
4.2.2.134	Exception: RL-134	Map #	By-law: deleted by 0048-2025

4.2.2.135	Exception: RL-135	Map # 45E	By-law: 0048-2025			
In a RL-135 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:						
Regulations						
4.2.2.135.1	Maximum gross floor area	- infill residential	190 m ² plus 0.20 times the lot area			
4.2.2.135.2	Minimum setback to all land	ds zoned G1	3.0 m			

4.2.2.136	Excep	otion: RL-136	Map # 36W	By-law: 0181-2018/LPAT Order 2019 February 15, 0048-2025			
	In a RL-136 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:						
Regulations							
4.2.2.136.1		0	ached dwelling shall comply with the RL zone regulations ned in Subsection 4.2.1 of this By-law except that:				
	(1)	minimum lot area -	minimum lot area - interior lot 525 m ²				
	(2)	minimum lot area -	corner lot	660 m^2			
	(3)	minimum lot fronta	ge - interior lot	14.0 m			
	(4)	minimum lot fronta	minimum lot frontage - corner lot 18.5				
	(5)	deleted					
	(6)	deleted	deleted				
	(7)	minimum setback to	garage face	10.4 m			

4.2.2.137	Ехсер	tion: RL-137	Map # 38W	By-law: 0048-2025	
	In a RL-137 zone the applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:				
Permitted Use	s				
4.2.2.137.1	Lands	zoned RL-137 shall	only be used for the following	;	
	(1) (2) (3)	Detached Dwelling Semi-Detached or Veterinary Clinic	or		
Regulations					
4.2.2.137.2		terinary clinic shall comply with the RL zone regulations ined in Subsection 4.2.1 of this By-law except that:			
	(1)	maximum number o	f veterinarians permitted to pr	ractise 1	
	(2)	maximum gross floo	or area - non-residential	340 m^2	
	(3)	minimum front yar	d - corner lot	3.4 m	
	(4)	minimum exterior s	ide yard	75.0 m	
	(5)	minimum interior s	ide yard - corner lot	2.8 m	
	(6)	minimum rear yard	- corner lot	2.5 m	
	(7)	outdoor storage sha	all not be permitted		
	(8)	v	use and all related activities shithin the existing building	nall be	

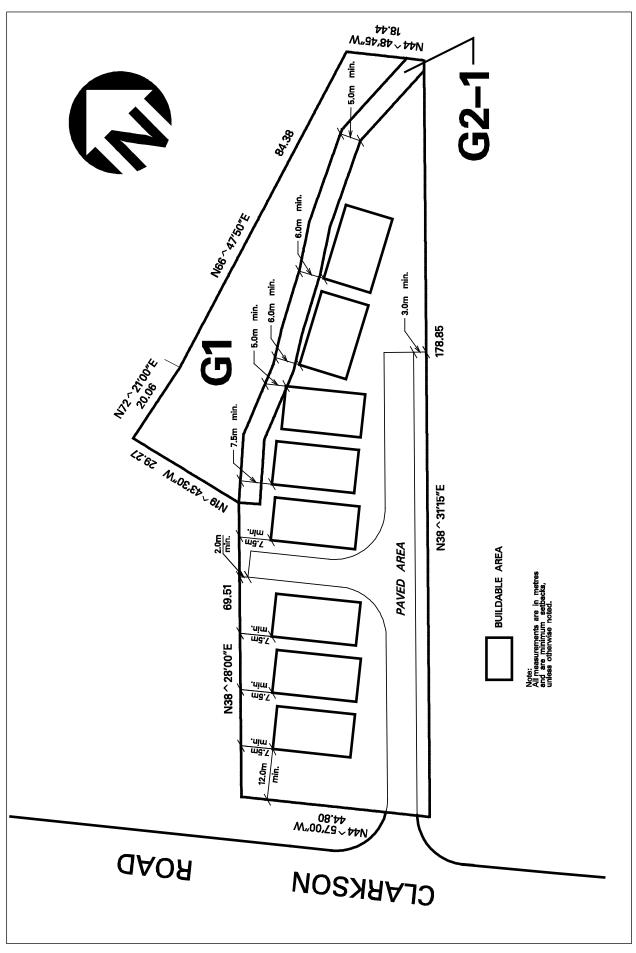
4.2.2.138	Excep	otion: RL-138	Map # 10	By-law: 0048-	2025	
		permitted uses and aping uses /regulations sl	plicable regulations shal	l be as specified for a	ı RL zone	
Regulations						
4.2.2.138.1	4.2.2.138.1 A detached dwelling shall comply with the RL zone regulations contained in Subsection 4.2.1 of this By-law except that:					
	(1)	minimum lot area			523 m^2	
	(2)	minimum lot fronta	ge		14.5 m	
	(3)	deleted				
	(4)	C	maximum gross floor area - infill residential identified on Schedule RL-138 of this Exception			
	(5)	minimum front yar	minimum front yard 7.5 m			
	(6)	minimum exterior s	minimum exterior side yard			
	(7)	minimum rear yard	l		7.5 m	
	(8)	private road or priva	ge shall be located closer the lane than the first floor on Lots 1, 2, 3, 5 and 15 on Exception	or walls of the		
	(9)	maximum height - h sloped roof	nighest ridge:		9.0 m	
	(10)	maximum height: flat roof			7.5 m	
	(11)	minimum number of	f parking spaces per dw	elling unit	4	
	(12)	maximum driveway	width		6.0 m	
	(13)	all site development Schedule RL-138 of	plans shall comply with this Exception			



Schedule RL-138 Map 10

4.2.2.139	Excep	tion: RL-139	Map # 36E	By-law: 0379-2009, 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RL-139 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:				
Regulations				
4.2.2.139.1	A detached dwelling shall comply with the RL zone regulations contained in Subsection 4.2.1 of this By-law except that:			
	(1)	minimum lot area - interior lot 470 m ²		
	(2)	minimum lot area - corner lot 600 m ²		
	(3)	deleted		
	(4)	minimum front yard	d	4.5 m
	(5)	deleted		
	(6)	minimum exterior s	ide yard	4.5 m
	(7)	minimum setback to	garage face	6.0 m

4.2.2.140	Excep	tion: RL-140	Map # 10		0181-2018/LPAT 19 February 15, 25
		permitted uses and ap ing uses /regulations sl	plicable regulations shall be a hall apply:	s specified	l for a RL zone
Regulations					
4.2.2.140.1	4.2.2.140.1 A detached dwelling shall comply with the RL zone regulations contained in Subsection 4.2.1 of this By-law except that:				
	(1)	the regulations conta shall not apply	ained in Article 3.1.1.8 of this	By-law	
	(2)	maximum number o zoned RL-140	maximum number of detached dwellings on all lands 8 zoned RL-140		
	(3)	minimum landscape	minimum landscaped area		
	(4)	minimum setback to	a condominium road		4.5 m
	(5)	minimum setback to condominium road			5.2 m
	(6)	minimum separation	between detached dwellings	S	3.0 m
	(7)	maximum height			7.5 m
	(8)	height of all buildings and structures shall be measured from established grade			
	(9)	maximum driveway	width		8.5 m
	(10)	minimum number of	f parking spaces per dwelling	g unit	4
	(11)	all site development Schedule RL-140 of	plans shall comply with this Exception		



Schedule RL-140 Map 10

4.2.2.141	Ехсер	tion: RL-141	Map # 30	By-law: 0184-2008, 0181-2018/LPAT Order 2019 February 15, 0048-2025		
	In a RL-141 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:					
Regulations						
4.2.2.141.1		_	comply with the RL zone regulation.1 of this By-law except that:	ılations		
	(1)	minimum lot area -	interior lot	480 m^2		
	(2)	maximum lot covera	maximum lot coverage			
	(3)	minimum front yard	minimum front yard - interior lot			
	(4)	minimum interior si	minimum interior side yard - interior lot			
	(5)	minimum interior si	ide yard - corner lot	1.2 m		
	(6)	minimum setback to	garage face - interior lot	6.0 m		
	(7)	minimum setback to	a sight triangle	0.0 m		
	(8)	maximum height		11.0 m		
	(9)	maximum encroachment of a porch or a balcony into the required front yard or exterior side yard		into the 2.0 m		
	(10)	maximum area of a balcony on top of an attached garage		garage 12 m ²		
	(11)	a detached garage sl	hall not be permitted			

4.2.2.142	Exception: RL-142	Map # 46W, 54W	By-law: 0048-2025			
In a RL-142 zone the applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:						
Permitted Use	Permitted Use					
4.2.2.142.1 Lands zoned RL-142 shall only be used for the following:						
	(1) Day Care					

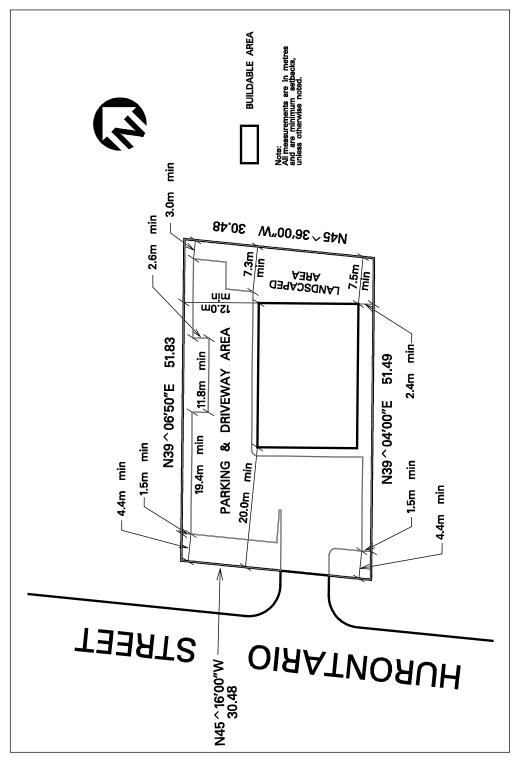
4.2.2.143	Exception: RL-143	Map # 11	By-law: 0048-2025			
In a RL-143 zone the applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:						
Permitted Use						
4.2.2.143.1	4.2.2.143.1 Lands zoned RL-143 shall only be used for the following:					
(1) Medical Office - Restricted						
Regulation						
4.2.2.143.2	Maximum number of physi practitioners or health pro	cians, dentists, drugless ofessionals permitted to practi	2 se			

4.2.2.144	Exception: RL-144	Map # 11	By-law: 0048-2025
In a RL-144 zo uses/regulation		s shall be as specified for a RL	zone except that the following
Permitted Use	S		
4.2.2.144.1	Lands zoned RL-144 shall of	only be used for the following	:
Regulations	 (1) Detached Dwelling (2) Semi-Detached or (3) Medical office - res 	or stricted in a detached dwellin	ıg
4.2.2.144.2	Maximum gross floor area medical office - restricted	- non-residential used for a	100 m ²
4.2.2.144.3	Maximum number of physi practitioners or health pro	icians, dentists, drugless ofessionals permitted to practi	se 1
4.2.2.144.4	A medical office - restricte first storey	ed shall only be located in the	

4.2.2.145	Ехсер	tion: RL-145	Map # 07	By-law: 0208-2022, 0048-2025
In a RL-145 zo. uses/regulation			shall be as specified for a RL	zone except that the following
Permitted Use	s			
4.2.2.145.1	Lands	zoned RL-145 shall o	only be used for the following	:
	(1) (2) (3) (4)	Detached Dwelling Semi-Detached or Office Medical Office - Re		
Uses Not Perm	nitted			
4.2.2.145.2	(1)	(1) Office and/or medical office - restricted that requires more than 14 parking spaces		
Regulations				
4.2.2.145.3	Detac	hed Dwelling:		
	(1)	the regulations conta By-law shall apply	nined in Subsection 4.2.2 of th	is
	(2)	deleted		
	(3)	maximum height: flat roof		9.0 m

Exception RL-145 continued on next page

4.2.2.145	Excep	tion: RL-145	Map # 07	By-law: 0208-2022, 0048-2025
Exception RL-	-145 co	ntinued from previou	s page	
4.2.2.145.4		ne regulations containe	- restricted shall comply with a din Subsection 4.2.1 of this E	
	(1)	maximum gross floor	area - non-residential	420 m^2
	(2)	shall only be used for (1) climate control, distribution, me operation or ma (2) areas of stairwe (3) collection or sto waste generated (4) storage incident or (5) lunch rooms, lo	ng located below average grathe following: , electrical, energy generation echanical equipment related to intenance of the building; ells, washrooms or elevators; orage of disposable or recyclal within the building; tal to permitted uses in the buildings or fitness rooms for the of occupants of the building.	and the ole ilding;
	(3)	maximum height - his sloped roof		10.0 m
	(4)	maximum height: flat roof		9.0 m
	(5)		parking spaces per 100 m ² n-residential used for a plastic	3.2
	(6)		ent of an awning outside the fied on Schedule RL-145 of th puired front yard	4.5 m
	(7)	buildable area identi	ent of an awning outside the fied on Schedule RL-145 of the other therly required interior side y	
	(8)	restricted containing	c" means a medical office - the office of a maximum of on h which plastic, reconstructive edures are undertaken	
	(9)	maximum number of	parking spaces	14
	(10)	all site development p Schedule RL-145 of the	lans shall comply with his Exception	



Schedule RL-145 Map 07

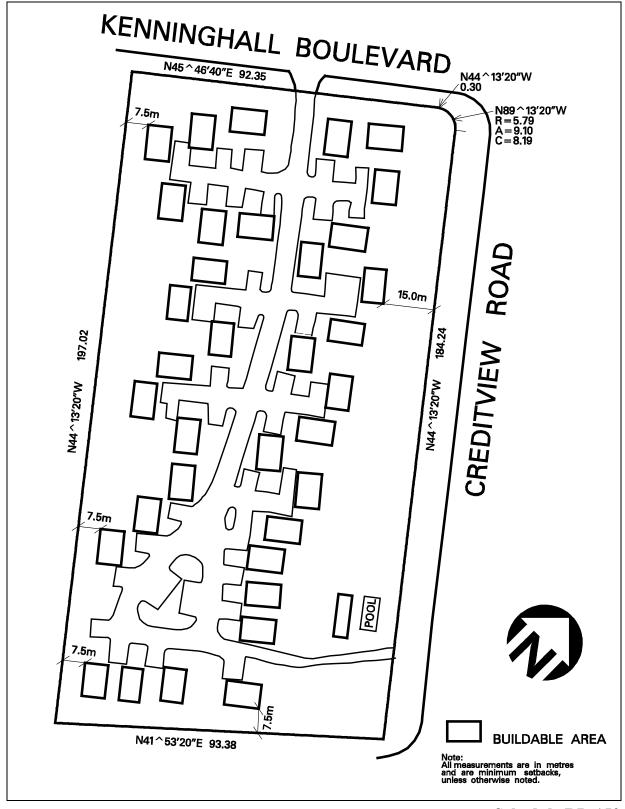
4.2.2.146	Exception: RL-146	Map # 15	By-law: 0048-2025	
In a RL-146 zo uses/regulation	11	shall be as specified for a RL	zone except that the following	
Permitted Use	es			
4.2.2.146.1	Lands zoned RL-146 shall	only be used for the following	:	
	 (1) Detached Dwelling or (2) Semi-Detached or (3) Office (4) Medical Office - Restricted 			
Regulation				
4.2.2.146.2		ce - restricted shall comply we ned in Subsection 4.2.1 of this		
	(1) maximum gross flo	or area - non-residential	125 m^2	

	[
4.2.2.147	Exception: RL-147	Map # 07	By-law: 0171-2015/ OMB Order 2016 April 04, 0193-2016/OMB Order 2017 May 30, 0048-2025			
In a RL-147 zo uses/regulation		shall be as specified for a RL	zone except that the following			
Permitted Use	s					
4.2.2.147.1	Lands zoned RL-147 shall of	only be used for the following:				
	 (1) Detached Dwelling (2) Semi-Detached or (3) Office (4) Medical Office - Re 					
	(4) Medical Office - Re	estricted				
Regulations						
4.2.2.147.2	deleted					
4.2.2.147.3	deleted					
4.2.2.147.4	deleted					
4.2.2.147.5	deleted					
4.2.2.147.6	deleted					
4.2.2.147.7		An office and medical office - restricted shall comply with the LL zone regulations contained in Subsection 4.2.1 of this By-law xcept that:				
	(1) maximum gross floo	or area - non-residential	190 m ²			

4.2.2.148	Excep	otion: RL-148	Map # 15	By-law: 0048-2025			
	In a RL-148 zone the applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:						
Permitted Us	es						
4.2.2.148.1	Lands	s zoned RL-148 shall	only be used for the followin	g:			
	(1) (2) (3)	Detached Dwelling or Semi-Detached or Medical Office - Restricted					
Regulations							
4.2.2.148.2	A medical office - restricted shall comply with the RL zone regulations contained in Subsection 4.2.1 of this By-law except that:						
	(1)	maximum gross flo medical office - res	or area - non-residential us tricted	ed for a 130 m^2			
	(2)	minimum front yar	d - interior lot	0.0 m			
	(3)	minimum westerly i	interior side yard	0.61 m			
	(4)		of physicians, dentists, drug alth professionals permitted				
	(5)	minimum number o	f parking spaces	8			

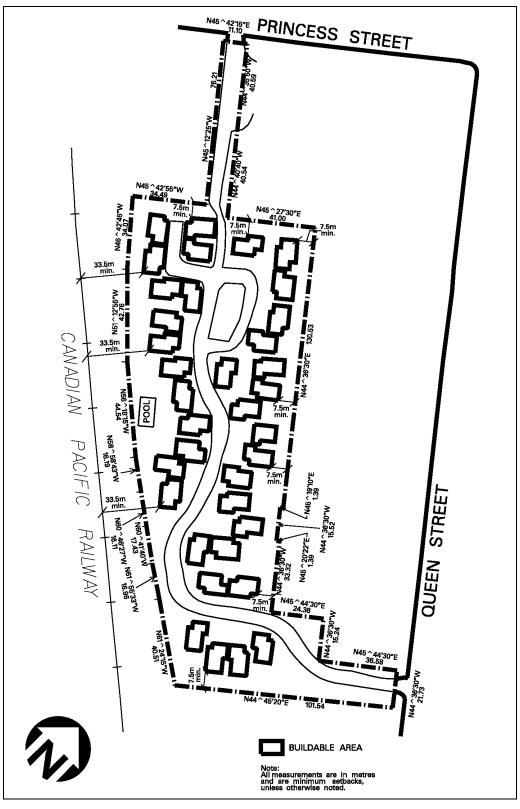
4.2.2.149	Exception: RL-149	Map # 07	By-law: 0171-2015/ OMB Order 2016 April 04, 0193-2016/OMB Order 2017 May 30, 0048-2025	
In a RL-149 zo uses/regulation		shall be as specified for a RL	zone except that the following	
Permitted Use	es			
4.2.2.149.1	Lands zoned RL-149 shall of	only be used for the following:		
	 Detached Dwelling or Semi-Detached or Office Medical Office - Restricted 			
Regulations				
4.2.2.149.2	deleted			
4.2.2.149.3	deleted			
4.2.2.149.4	deleted			
4.2.2.149.5	deleted			
4.2.2.149.6	An office and medical office - restricted shall comply with the RL zone regulations contained in Subsection 4.2.1 of this By-law except that:			
	(1) maximum gross flo	or area - non-residential	210 m^2	
	(2) minimum rear yar	d	12.0 m	

4.2.2.150	Exception: RL-150	Map # 45W	By-law: 0048-2025				
	In a RL-150 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:						
Regulations							
4.2.2.150.1	4.2.2.150.1 Maximum number of detached dwellings 35						
4.2.2.150.2 Height of all buildings and structures shall be measured from established grade							
4.2.2.150.3	4.2.2.150.3 All site development plans shall comply with Schedule RL-150 of this Exception						



Schedule RL-150 Map 45W

4.2.2.151	Exception: RL-151	Map # 39E	By-law: 0048-2025			
In a RL-151 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:						
Regulations						
4.2.2.151.1	Maximum number of detached dwellings 36					
4.2.2.151.2	Minimum separation distance between detached dwellings 3.6 m					
4.2.2.151.3	Minimum separation distance between garages 1.2 m					
4.2.2.151.4 Height of all buildings and structures shall be measured from established grade						
4.2.2.151.5	All site development plans softhis Exception	shall comply with Schedule R	L-151			

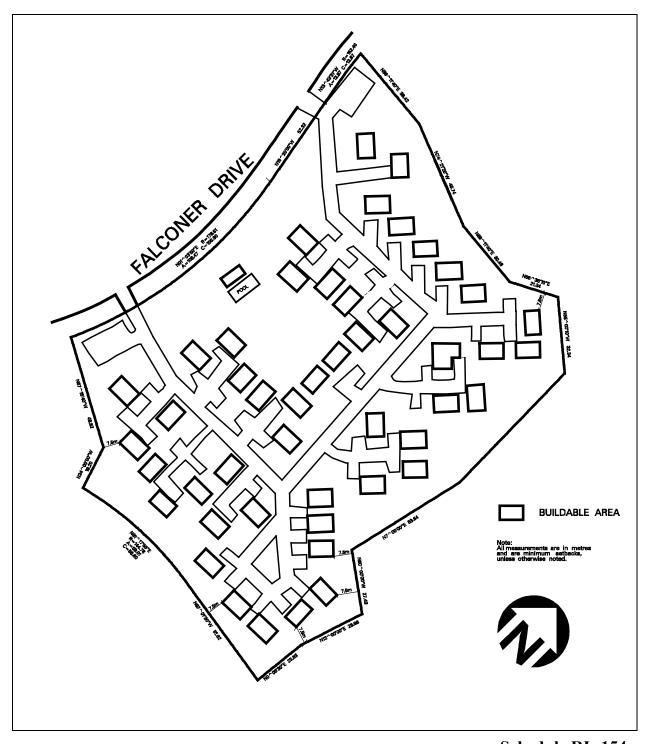


Schedule RL-151 Map 39E

4.2.2.152	Excep	otion: RL-152		Sy-law: 0308-2011, 171-2015/OMB Order 016 April 04, 0193-2016/ OMB Order 2017 May 30, 111-2019/LPAT Order 021 March 09, 0048-2025
In a RL-152 z uses/regulatio			shall be as specified for a RL zo	one except that the following
Permitted Us	es			
4.2.2.152.1	Lands	s zoned RL-152 shall	only be used for the following:	
	(1) (2) (3) (4)	Detached Dwelling Semi-Detached or Service Establishm Office		
Regulations				
4.2.2.152.2	delete	ed		
4.2.2.152.3	delete	ed		
4.2.2.152.4	delete	ed		
4.2.2.152.5	delete	ed		
4.2.2.152.6	RL zo		nd/or office shall comply with the ned in Subsection 4.2.1 of this B	
	(1)	maximum gross floo zoned RL-152	or area - non-residential on all	lands 350 m^2
	(2)		or area - non-residential used fent on all lands zoned RL-152	or a 200 m ²
	(3)	a service establishm ground floor	nent shall only be permitted on t	he
	(4)	minimum lot fronta Baldwin Road	ge for lands fronting onto	12.0 m
	(5)	minimum landscape	ed area	30% of the lot area
	(6)	maximum height		10.7 m and 2 storeys
	(7)		landscaped buffer required alone Stanfield Road lot frontage	ong 4.5 m

4.2.2.153	Exception: RL-153	Map # 15	By-law: 0181-2018/LPAT Order 2019 February 15, 0048-2025				
	In a RL-153 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:						
Regulations							
4.2.2.153.1	A detached dwelling shall comply with the RL zone regulations contained in Subsection 4.2.1 of this By-law except that:						
	(1) minimum lot area - interior lot 515 m ²						
	(2) minimum lot frontage - interior lot 14.7 m						
4.2.2.153.2	Maximum projection of a garage beyond either the main front entrance or beyond the main entry feature where provided						
4.2.2.153.3	Where a main entry feature has been provided, the maximum projection of a garage beyond a main front entrance 5.0 m						
4.2.2.153.4	For a detached dwelling more than one storey in height , where the garage projects beyond the main front entrance , the garage shall be covered by a second storey which may be set back a maximum of 2.5 m from the garage face						

4.2.2.154	Exception: RL-154	Map # 45W	By-law: 0048-2025				
In a RL-154 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:							
Regulations							
4.2.2.154.1	Maximum number of detac	hed dwellings	48				
4.2.2.154.2	Height of all buildings and established grade	structures shall be measured	l from				
4.2.2.154.3	All site development plans of this Exception	shall comply with Schedule R	L-154				



Schedule RL-154 Map 45W

4.2.2.155	Excep	tion: RL-155	Map # 08	_	181-2018/LPAT 9 February 15,
		permitted uses and aping uses /regulations sl	plicable regulations shall be as hall apply:	specified	for a RL zone
Regulations					
4.2.2.155.1		ached dwelling shall comply with the RL zone regulations ned in Subsection 4.2.1 of this By-law except that:			
	(1)	minimum lot area -	interior lot		375 m^2
	(2)	minimum lot area -	corner lot		425 m^2
	(3)	minimum lot fronta	ge - interior lot		13.5 m
	(4)	minimum lot fronta	ge - corner lot		15.5 m
	(5)		age of all buildings and struct f a porch or balcony	tures	50%
	(6)	maximum gross floo	or area - infill residential	(190 m ² plus 0.33 times the lot area
	(7)	minimum front yan	rd - corner lot		4.5 m
	(8)	minimum exterior	side yard		3.5 m
	(9)	deleted			
	(10)	minimum interior	side yard - interior lot		.2 m on one side and .4 m on the other side
	(11)	minimum rear yard			6.5 m to first storey
	(12)	minimum rear yard	l	a	0.6 m to detached or ttached garage and econd storey
	(13)	minimum setback to	a sight triangle		0.0 m
	(14)	deleted			
	(15)	deleted			
	(16)	deleted			
	(17)	maximum encroachi required exterior sic	ment of a porch or balcony indde yard	to the	2.0 m
	(18)	architectural elemen	ment of window projections and ts, with or without a foundation, chimneys, media niches, pila	n, such	
		(1) into the requi	red front yard		1.0 m
		(2) into the requi	red interior or exterior side y	ard	0.6 m
	(19)	_	a street with a width of 18.0 med to be the front lot line	n or	
	(20)		vehicles or driveways shall b t of a front or exterior side ya		
	(21)	setback to garage fa	nce from the rear lot line	o a	ess than 1.0 m; or between 1.8 m and 2.0 m; or greater than 4.5 m
	(22)	minimum number of	f parking spaces per lot		2
	(23)	rear lot line, an uno	ce is set back less than 1.0 m for abstructed area measuring 2.6 m ded between the garage and or	n by	
	(24)	maximum garage w measured from the in	ridth: nside face of the garage side v	valls	11.0 m

4.2.2.156	Excep	tion: RL-156	Map # 08, 09	0308-20	0379-2009, 011, 0181-2018/LPAT 019 February 15, 025
		permitted uses and aping uses /regulations s	pplicable regulations shall be as hall apply:	s specifie	ed for a RL zone
Regulations					
4.2.2.156.1			comply with the RL zone regulation. I of this By-law except that:	lations	
	(1)	minimum lot area -	interior lot		500 m^2
	(2)	minimum lot area -	corner lot		600 m^2
	(3)	minimum lot fronta	ge - corner lot		18.0 m
	(4)		age of all buildings and struct f a porch or balcony	tures,	40%
	(5)	maximum gross floo	or area - infill residential		190 m ² plus 0.33 times the lot area
	(6)	minimum front yar	d - corner lot		6.0 m
	(7)	minimum exterior s	side yard		4.5 m
	(8)	minimum interior s	ide yard		1.5 m
	(9)	minimum rear yard	l - corner lot		7.5 m
	(10)	minimum setback to	a sight triangle		1.5 m
	(11)	deleted			
	(12)	deleted			
	(13)	deleted			
	(14)	maximum encroach required exterior sid	ment of a porch or balcony int de yard	to the	2.0 m
	(15)	architectural elemen	ment of window projections an ats, with or without a foundation o, chimneys , media niches, pila	n, such	
		(1) into the requir	red front, rear or exterior side	e yard	1.0 m
		(2) into the requi	red interior side yard		0.6 m
	(16)	maximum encroacht the required front y	ment of a side wall of a garage ard	e into	1.5 m
	(17)		n of a garage face beyond any nt wall or exterior side wall or		0.0 m
	(18)	of the first floor from	n of a garage face beyond any nt wall or exterior side wall of where a main entry feature is	fa	2.5 m
	(19)	a detached garage s	hall not be permitted		
	(20)	maximum garage w of the garage side w	width: measured from the inside walls	e face	8.0 m
	(21)	minimum setback to	garage face		6.0 m

4.2.2.157	Exception: RL-157		By-law: 0379-2009, 0308-2011, 0181-2018/LPAT Order 2019 February 15, 0048-2025		
	ne the permitted uses and ap following uses /regulations s	oplicable regulations shall be as hall apply:	specified for a RL zone		
Regulations					
4.2.2.157.1	A detached dwelling shall comply with the RL zone regulations contained in Subsection 4.2.1 of this By-law except that:				
	(1) minimum lot area -	interior lot	500 m^2		
	(2) minimum lot area -	corner lot	600 m^2		
	(3) minimum lot front a	nge - corner lot	18.0 m		
		age of all buildings and struct f a porch or balcony	ures, 40%		
	(5) maximum gross flo	or area - infill residential	190 m ² plus 0.33 times the lot area		
	(6) deleted				
	(7) minimum exterior s	side yard	4.5 m		
	(8) deleted				
	(9) deleted				
4.2.2.157.2	Minimum setback to a sigh	1.5 m			
4.2.2.157.3	deleted				
4.2.2.157.4	deleted				
4.2.2.157.5	deleted				
4.2.2.157.6	Maximum encroachment or exterior side yard	f a porch or balcony into the re	equired 2.0 m		
4.2.2.157.7		f window projections and archifornia foundation, such as, but not lines, pilasters and corbels:			
	(1) into the required fro	ont, rear or exterior side yard	1.0 m		
	(2) into the required int	erior side yard	0.6 m		
4.2.2.157.8	Maximum encroachment or required front yard	f a side wall of a garage into th	e 1.5 m		
4.2.2.157.9	Maximum projection of a g of the first floor front wall detached dwelling	garage face beyond any portion or exterior side wall of a	0.0 m		
4.2.2.157.10	the first floor front wall or	garage face beyond any portion exterior side wall of a a main entry feature is provide			
4.2.2.157.11	A detached garage shall no	ot be permitted			
4.2.2.157.12	Maximum garage width: measured from the inside face of the garage side walls				
4.2.2.157.13	Minimum setback to garag		6.0 m		

4.2.2.158	Excep	otion: RL-158	Map # 14	By-law: 0048-2025				
In a RL-158 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:								
Regulation								
4.2.2.158.1	The provisions contained in Subsection 2.1.24 of this By-law shall apply							
Holding Prov	ision							
	The holding symbol H is to be removed from the whole or any part of the lands zoned H-RL-158 by further amendment to Map 14 of Schedule B contained in Part 13 of this By-law, as amended, upon satisfaction of the following requirements:							
(1) a letter from a Registered Professional Engineer in the Province of Ontario certifying that the building meets the requirements for flood proofing to the satisfaction of the City and Credit Valley Conservation;								
	(2)	confirmation in wri	ting from Credit Valley Cons he site has been provided.	servation				

4.2.2.159	Exception: RL-159	Map # 20	By-law: 0048-2025				
	In a RL-159 zone the applicable regulations shall be as specified for a RL zone except that the following uses/regulations shall apply:						
Permitted Use							
4.2.2.159.1	Lands zoned RL-159 shall of	only be used for the following	:				
	(1) Day Care						
Regulation							
4.2.2.159.2	Minimum number of parki	ng spaces	22				

4.2.2.160	Exception: RL-160	Map # 08	By-law: 0171-2015/ OMB Order 2016 April 04, 0193-2016/OMB Order 2017 May 30, 0048-2025		
In a RL-160 zo uses /regulation	11	shall be as specified for a RL	zone except that the following		
Permitted Use	s				
4.2.2.160.1	Lands zoned RL-160 shall of	only be used for the following:	:		
	 (1) Detached Dwelling (2) Semi-Detached or (3) Office (4) Medical Office - Re 				
Regulations					
4.2.2.160.2	deleted				
4.2.2.160.3	deleted				
4.2.2.160.4	deleted				
4.2.2.160.5	deleted				
4.2.2.160.6	An office and medical office - restricted shall comply with the RL zone regulations contained in Subsection 4.2.1 of this By-law except that:				
	(1) minimum lot front	age - interior lot	22.5 m		
	(2) maximum gross flo	oor area - non-residential	355 m^2		

4.2.2.161	Exception: RL-161	Map # 48W	By-law: 0048-2025				
	In a RL-161 zone the applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:						
Permitted Use	s						
4.2.2.161.1	Lands zoned RL-161 shall of	only be used for the following	:				
	 (1) A Place of Religiou (2) A funeral preparation religious assembly 	s Assembly n room accessory to a place o	f				
Regulations							
4.2.2.161.2	The regulations of Articles shall not apply	2.1.9.3 and 2.1.13.1 of this By	v-law				
4.2.2.161.3	Maximum gross floor area	r	$1 600 \text{ m}^2$				
4.2.2.161.4	Maximum gross floor area - non-residential of the worship area						
4.2.2.161.5	Maximum gross floor area rooms	- non-residential of the mult	i-use 183 m ²				
4.2.2.161.6	Minimum side yard		6.0 m				
4.2.2.161.7	Maximum height		12.5 m				
4.2.2.161.8	Maximum height : spire, ornamental dome, cup	pola, minaret or other like feat	25.0 m				
4.2.2.161.9	place of religious assembly used as a place of conduct of	any room or rooms located with that are used or intended to be of social, recreational and charemed accessory to such a room	oe itable				

4.2.2.162	Excep	otion: RL-162	Map # 20	By-law: (0048-2025		
	In a RL-162 zone the applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:						
Permitted Use	es						
4.2.2.162.1	Lands	s zoned RL-162 shall o	only be used for the following	ng:			
	 Detached Dwelling or Semi-Detached or Showroom for the retail display of windows and doors and accessory office 						
Regulations							
4.2.2.162.2	A showroom for the retail display of windows and doors and accessory office shall comply with the RL zone regulations contained in Subsection 4.2.1 of this By-law except that:						
	(1)	maximum gross floor area - non-residential used for a showroom for the retail display of windows and doors and accessory office					
	(2) minimum landscaped area 50% of the lot area						
	(3)	(3) maximum lot coverage 15%					
	(4)	minimum setback of parking areas to the	Fall buildings, structures a e rear lot line	nd	9.0 m		

4.2.2.163	Excep	otion: RL-163	Map # 06	By-law: 0048-2025		
In a RL-163 zone the applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:						
Permitted Use	es.					
4.2.2.163.1	Lands zoned RL-163 shall only be used for the following:					
	(1)	Detached Dwelling	or			
	(2)	Semi-Detached or				
	(3)	Private Club				

4.2.2.164	Exception: RL-164	Map # 19	By-law: 0048-2025
In a RL-164 zo uses/regulation		shall be as specified for a RI	zone except that the following
Permitted Use	es		
4.2.2.164.1	Lands zoned RL-164 shall of	only be used for the following	y;
	passing of this By-la	legally existing on the date or nw ry clinic within the existing	f
Regulations			
4.2.2.164.2		Ill be the principal private resi erinarian must not be an occas	
4.2.2.164.3	Maximum gross floor area veterinary clinic	- non-residential used for a	150 m^2
4.2.2.164.4	Outdoor storage shall not	be permitted	
4.2.2.164.5	A veterinary clinic and all wholly within the existing of	related activities shall be con detached dwelling	ducted

4.2.2.165	Exception: RL-165	Map # 25	By-law: 0048-2025			
In a RL-165 zone the applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:						
Permitted Uses	S					
4.2.2.165.1	Lands zoned RL-165 shall only be used for the following:					
	 (1) Detached Dwelling (2) Semi-Detached or (3) Garden Centre 					
Regulation						
4.2.2.165.2	Minimum lot area - garder	ı centre	0.3 ha			

4.2.2.166	Excep	tion: RL-166	Map # 56	By-law: <i>deleted by 0131-2019</i> , 0232-2024, 0048-2025			
	In a RL-166 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:						
Regulations							
4.2.2.166.1	delete	d					
4.2.2.166.2	delete	d					
4.2.2.166.3	delete	d					
4.2.2.166.4			comply with the RL zone reg	ulations			
	(1)	maximum lot covers	age	50%			
	(2)	minimum exterior s	side yard	3.0 m			
	(3)	maximum height		11.0 m			
	(4)	deleted					
4.2.2.166.5	deleted						
4.2.2.166.6	deleted						
4.2.2.166.7	deleted						
4.2.2.166.8	Minim	num rear yard - inte i	rior lot	6.0 m			

4.2.2.167	Exception: RL-167	Map # 15	By-law: 0174-2015, 0048-2025				
	In a RL-167 zone the applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:						
Permitted Use							
4.2.2.167.1	Lands zoned RL-167 shall only be used for the following:						
	(1) Detached Dwelling or						
	(2) Semi-Detached						
Regulation							
4.2.2.167.2	Minimum lot frontage 13.0 m						
4.2.2.167.3	deleted						
4.2.2.167.4	deleted						

4.2.2.168	Exception: RL-168	Map # 39E	By-law: 0048-2025				
	In a RL-168 zone the applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:						
Permitted Use	es .						
4.2.2.168.1	(1) Detached Dwelling (2) Semi-Detached or (3) Dental Office	only be used for the following or	:				
Regulation							
4.2.2.168.2	A dental office shall comply with the RL zone regulations contained in Subsection 4.2.1 of this By-law except that:						
	(1) maximum lot covera	age	14%				

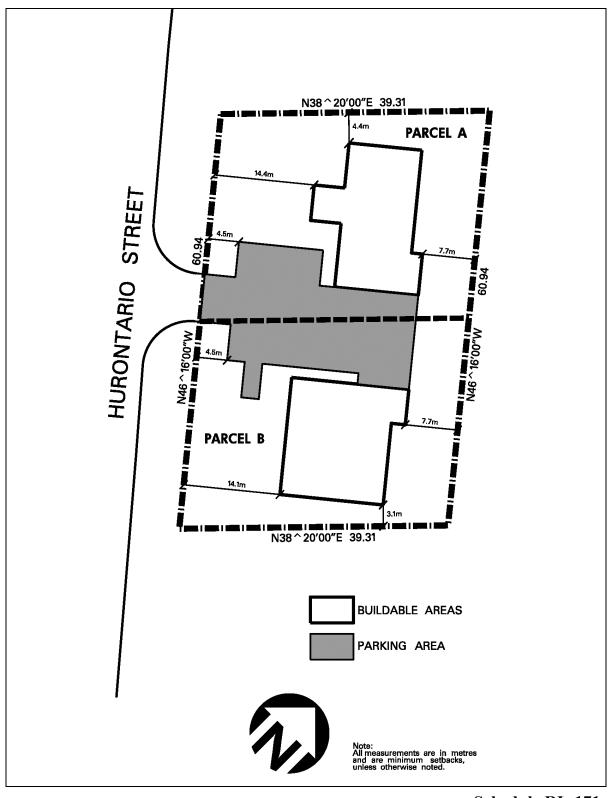
4.2.2.169	Excep	otion: RL-169	Map # 07	By-law: 0019-2008, 0048-2025
		permitted uses and ap ing uses /regulations s	plicable regulations shall be as hall apply:	s specified for a RL zone
Permitted Us	es			
4.2.2.169.1	(1) (2) (3) (4)	Detached Dwelling Semi-Detached or Office Medical Office - Ro		
Uses Not Peri	mitted			
4.2.2.169.2	(1)	Office and/or medic more than thirteen p	cal office - restricted that requarking spaces	uires
Regulations				
4.2.2.169.3	Detac	hed Dwelling:		
	(1)	the regulations conta By-law shall apply	ained in Subsection 4.2.2 of th	iis
	(2)	minimum interior s	ide yard	4.27 m on one side of the lot and 0.31 m on the other side
	(3)	minimum combined detached dwelling	width of side yards - one stor	rey 4.58 m
	(4)	maximum dwelling	unit depth	22.0 m
4.2.2.169.4		ne regulations contain	ce - restricted shall comply we ned in Subsection 4.2.1 of this	
	(1)	the regulations conta By-law shall apply	ained in Subsection 4.2.2 of th	nis
	(2)		f physicians, dentists, drugle alth professionals permitted t	
	(3)	maximum total gros	s floor area - non-residential	$1 230 \text{ m}^2$
	(4)	maximum gross floo medical office - res	or area - non-residential used tricted	d for a 170 m ²
	(5)	minimum interior s	ide yard	4.27 m on one side of the lot and 0.31 m on the other side
	(6)	minimum combined building	width of side yards - one stor	rey 4.58 m
	(7)	maximum building	depth	22.0 m
	(8)	maximum number o	f parking spaces	13
	(9)	maximum number o	f tandem parking spaces	6
	(10)	minimum aisle widt	<u>h</u>	4.24 m

4.2.2.170	Excep	otion: RL-170	Map # 15	By-law: 0112-2008, 0048-2025
In a RL-170 zo uses/regulation			hall be as specified for a RL zo	one except that the following
Permitted Use	es			
4.2.2.170.1	Lands	s zoned RL-170 shall on	ly be used for the following:	
	(1) (2) (3)	Detached Dwelling or Semi-Detached or Office		
Regulations				
4.2.2.170.2		fice shall comply with the ection 4.2.1 of this By-la	he RL zone regulations contain we except that:	ned in
	(1)	the provisions contained shall not apply	ed in Article 3.1.3.1 of this By	-law
	(2)		elated activities shall be conducted dwelling legally existing this By-law	
	(3)	maximum number of p	persons employed on the site	2
	(4)	minimum landscaped	area	40% of the lot area
	(5)	minimum number of p	arking spaces	4

4.2.2.171	Exception: RL-171	Map # 07	By-law: 0079-2010, 0111-2019/LPAT Order 2021 March 09, 0048-2025	
In a RL-171 zo uses/regulation	11	ons shall be as specified for	a RL zone except that the following	
Permitted Use	e			
4.2.2.171.1	Lands zoned RL-171 sha	all only be used for the follo	owing:	
	(1) Office			
Use Not Perm	itted			
4.2.2.171.2	(1) deleted			
Regulations				
4.2.2.171.3		for Parcel 'A' and Parcel 'B' on Schedule RL-171 of this		
4.2.2.171.4	Maximum gross floor area - non-residential in Parcel 'A' identified on Schedule RL-171 of this Exception			
4.2.2.171.5	Maximum gross floor area - non-residential in Parcel 'B' identified on Schedule RL-171 of this Exception			
4.2.2.171.6	Minimum number of pararea - non-residential in Schedule RL-171 of this	oss floor 2.2		
4.2.2.171.7	Tandem parking space on Schedule RL-171 of t	s are permitted in Parcel 'B'	identified	
4.2.2.171.8		ndem parking spaces pern schedule RL-171 of this Exc		

Exception RL-171 continued on next page

4.2.2.171	Exception: RL-171	Map # 07	By-law: 0079-2010, 0111-2019/LPAT Order 2021 March 09, 0048-2025
Exception RL-	-171 continued from previou	s page	
4.2.2.171.9	Parking areas may be constructed of a permeable type of material		
4.2.2.171.10	Parcel 'A' and Parcel 'B' identified on Schedule RL-171 of this Exception may share driveways and aisles		
4.2.2.171.11	All site development plans shall comply with Schedule RL-171 of this Exception		



Schedule RL-171 Map 07

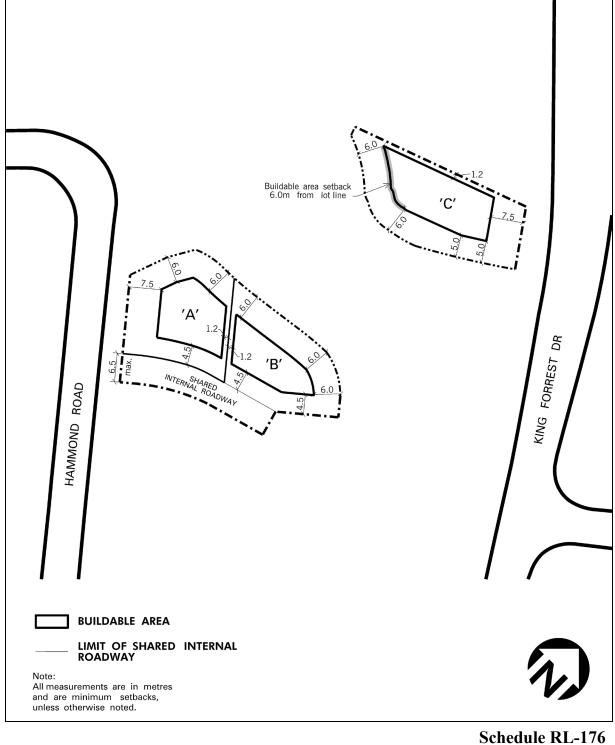
4.2.2.172	Excep	otion: RL-172	Map # 10	By-law: 0084-2009, 0111-2019/LPAT Order 2021 March 09, 0048-2025
		permitted uses and ap ing uses /regulations sl	plicable regulations shall be a	as specified for a RL zone
Additional Pe	rmitte	d Use		
4.2.2.172.1	(1)	Office		
Use Not Perm	itted			
4.2.2.172.2	(1)	deleted		
Regulations				
4.2.2.172.3		rovisions of Line 3.4 ow shall not apply	contained in Table 2.1.9.4 of	this
4.2.2.172.4		egulations of Line 12. w shall not apply	3 contained in Table 4.2.1 of	this
4.2.2.172.5		egulations contained in apply except that:	n Subsection 4.2.2 of this By-	law
	(1)	structure having me	width of side yards for a bu ore than one storey - interior ge equal to or greater than 18.0	lots lot frontage
4.2.2.172.6	Maxii	num gross floor area	- non-residential	320 m^2
4.2.2.172.7	Maxii	num amount of park i	ing area	64% of the front yard
4.2.2.172.8		num setback of a parl ng a Residential Zone	king area to an interior side	lot line 3.5 m

4.2.2.173	Exception: RL-173	Map # 38W, 39E, 45W	By-law: 0380-2009/ OMB Order 2010 September 13, 0308-2011, 0048-2025			
	In a RL-173 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:					
Regulations						
4.2.2.173.1	4.2.2.173.1 A detached dwelling shall comply with the RL zone regulations contained in Subsection 4.2.1 of this By-law except that:					
	(1) deleted					
	(2) maximum gross floo	or area - infill residential	150 m ² plus 0.2 times the lot area			
4.2.2.173.2	deleted					
4.2.2.173.3	deleted					
4.2.2.173.4	deleted					
4.2.2.173.5	Garage projection:					
	maximum projection of the exterior side wall of the fin	garage beyond the front wallest storey	l or 2.0 m			
4.2.2.173.6	deleted					

4.2.2.174	Excep	tion: RL-174	Map # 37W	By-law: 0024-2011, 0181-2018/LPAT Order 2019 February 15, 0048-2025
		permitted uses and ap ing uses /regulations sl	plicable regulations shall be as hall apply:	s specified for a RL zone
Regulations				
4.2.2.174.1		<u> </u>	comply with the RL zone regulation. I of this By-law except that:	ılations
	(1)	minimum lot area -	interior lot	435 m
	(2)	minimum lot area -	corner lot	550 m^2
	(3)	minimum lot fronta	ge - interior lot	14.0 m
	(4)	minimum lot fronta	ge - corner lot	17.0 m
	(5)	maximum lot covers	age	40%
	(6)	minimum front yar	d	9.0 m
	(7)	minimum setback to	garage face	12.0 m
	(8)	minimum exterior s	side yard	4.5 m
	(9)	deleted		
	(10)	deleted		
	(11)	minimum rear yard	I	7.0 m
	(12)	at and accessible fro first storey of the de	ment of a porch or a deck , loc om the first storey or below th welling, inclusive of stairs, int or exterior side yard	e
	(13)		ll be permitted on a lot with a than or equal to 14.0 m	

4.2.2.175	Excep	tion: RL-175	Map # 39E	By-law: 0014-2012, 0048-2025
In a RL-175 zo: uses/regulation			shall be as specified for a RL	zone except that the following
Permitted Uses	s			
4.2.2.175.1	Lands	zoned RL-175 shall o	only be used for the following	:
D. Lat	(1) (2) (3) (4)	Detached Dwelling Office Semi-Detached and Office		
Regulations				
4.2.2.175.2		_	comply with the RL zone regulation. 1 of this By-law except that:	ılations
	(1)	minimum front yard	d	4.2 m
	(2)	minimum interior s	ide yard	1.6 m
4.2.2.175.3	Parkin	g for an office shall c	only be permitted in the rear y	ard

4.2.2.176	Exception: RL-176	Map # 17	By-law: OLT Order 2023 January 03, 0048-2025			
	In a RL-176 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:					
Regulations						
4.2.2.176.1	4.2.2.176.1 The provisions contained in Subsection 4.1.8 of this By-law shall not apply					
4.2.2.176.2	A detached dwelling shall comply with the RL zone regulations contained in Subsection 4.2.1 of this By-law except that:					
	(1) maximum lot area -	· Lot 'A'	555 m^2			
	(2) maximum lot area - Lot 'B' 730 m ²					
	(3) maximum lot area - Lot 'C' 675 m ²					
4.2.2.176.3	Minimum setback from a garage face to a shared internal roadway identified on Schedule RL-176 of this Exception					
4.2.2.176.4						



Schedule RL-176 Map 17

4.2.2.177	Excep	otion: RL-177	Map # 39E	By-law: 0139-2014, 0048-2025
In a RL-177 zo uses/regulation			shall be as specified for a RL	zone except that the following
Permitted Use	es			
4.2.2.177.1	Lands	s zoned RL-177 shall	only be used for the following	:
	(1) (2) (3) (4)	Detached Dwelling Semi-Detached or Office or Office with one dwe		
Regulations				
4.2.2.177.2	Minin	num parking space w	ridth	2.45 m
4.2.2.177.3		fice shall comply with ection 4.2.1 of this By-	n the RL zone regulations conf- law except that:	tained in
	(1)	maximum gross floo	or area - non-residential	138.5 m^2
	(2)	maximum number o	f tandem parking spaces	3
	(3)	minimum depth of a Queen Street South	landscaped buffer abutting	7.5 m
	(4)	minimum aisle widt	h	6.0 m

4.2.2.178	Excep	tion: RL-178	Map # 38W	By-law: 0246-2014, 0048-2025		
		permitted uses and ap ng uses /regulations sl	plicable regulations shall be a nall apply:	s specified for a RL zone		
Regulations						
4.2.2.178.1	78.1 An office of a physician, dentist, drugless practitioner or health professional shall comply with the RL zone regulations contained in Subsection 4.2.1 of this By-law except that:					
	(1)	•	the provisions contained in Articles 4.1.17.2 and 4.1.17.8 of this By-law shall not apply			
	(2)	one resident physician, dentist, drugless practitioner or health professional, one non-resident physician, dentist, drugless practitioner or health professional and three employees shall be permitted				
	(3)	maximum gross floo	or area - non-residential	136 m^2		
	(4)	minimum rear yard		6.7 m		
	(5)	minimum aisle widt	h	6.0 m		
	(6)	minimum landscape and the front lot line	ed buffer between a parking	space 2.8 m		
	(7)	minimum number of gross floor area - no	parking spaces per 100 m ² on-residential	5.8		
	(8)	required number of	parking spaces for residential	use 2		
	(9)		ersons with disabilities shall be hinto the required front yard			

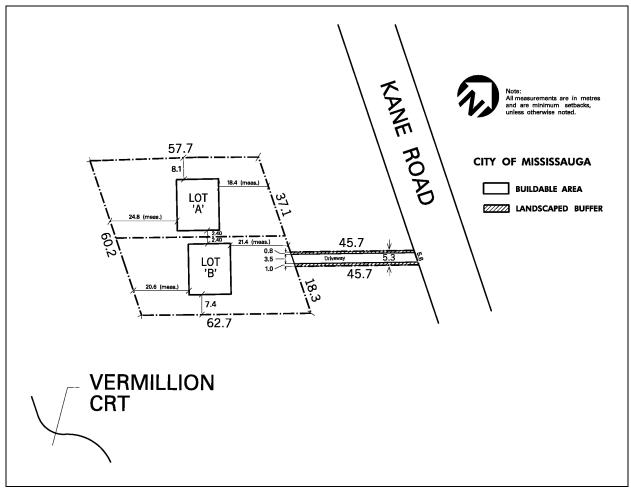
4.2.2.179	Exception: RL-179	Map #	By-law: 0171-2015/ OMB Order 2016 April 04, 0193-2016/OMB Order 2017 May 30/2018 January 10, 0198-2019, 0183-2021, OLT Order 2021 October 14, 0007-2022, 0162-2022, deleted by 0048-2025

4.2.2.180	Ехсер	otion: RL-180	Map # 07	By-law: 0171-2015/ OMB Order 2016 April 04, 0193-2016/OMB Order 2017 May 30, 0181-2018/ LPAT Order 2019 February 15, 0048-2025
		permitted uses and ing uses /regulation		shall be as specified for a RL zone
Regulations				
4.2.2.180.1			nall comply with the RL 4.2.1 of this By-law exc	
	(1)	minimum lot are	ea - interior lot	480 m^2
	(2)	minimum lot are	ea - corner lot	585 m^2
	(3)	minimum lot fro	ntage - corner lot	18.0 m
	(4)	maximum lot co	verage	45%
	(5)	minimum front	yard - interior lot	6.0 m
	(6)	minimum exteri c	or side yard	4.5 m
	(7)	minimum exterio Cawthra Road	or side yard - lots abutt	ing 7.5 m
	(8)	minimum setbacl	k to garage face	6.0 m
	(9)	minimum interi o	or side yard - interior l	ot 1.2 m on one side and 0.61 m on the other side
	(10)	minimum interio	or side yard - corner lo	t 1.2 m
	(11)	minimum rear y	ard - corner lot	7.5 m
	(12)	minimum setbacl	k to a railway right-of-w	yay 22.0 m
	(13)	maximum height sloped roof	t - highest ridge:	9.5 m
	(14)	maximum height flat roof	t:	7.5 m
	(15)	maximum height from average gr	of eaves: ade to lower edge of eaver	6.4 m
	(16)	maximum dwelli	ing unit depth	20.0 m

Part 4 - Residential Zones

4.2.2.181	Exception: RL-181	Map #	By-law: 0193-2016/OMB Order 2018 January 10, deleted by 0048-2025
	_		
1.2.2.182	Exception: RL-182	Map #	By-law: 0193-2016/OMB Order 2018 January 10, deleted by 0048-2025
4.2.2.183	Exception: RL-183	Map #	By-law: 0193-2016/OMB Order 2018 January 10, deleted by 0048-2025

4.2.2.184	Excep	tion: RL-184	Map # 08	By-law: LPAT 2019 August 20 0048-2025	
		permitted uses and ap ing uses /regulations sl	plicable regulations shall be a	as specified for a	RL zone
Regulations					
4.2.2.184.1	A detached dwelling shall comply with the RL zone regulations contained in Subsection 4.2.1 of this By-law except that:				
	(1)	the regulations contained in Subsection 4.2.2 of this By-law shall apply			
	(2)	the regulations of Line 4.0 contained in Table 4.2.2 and Line 14.0 contained in Table 4.2.1 of this By-law and shall not apply			
	(3)	the provisions conta shall not apply to Lo	ined in Article 2.1.3.1 of this of 'A'	By-law	
	(4)	minimum lot fronta	ge - interior lot for Lot 'B'		5.5 m
	(5)	minimum setback of to a rear lot line	faccessory buildings and str	uctures	7.5 m
	(6)	are permitted outside Schedule RL-184 of	s and structures and swimmi e the buildable area identifie this Exception, but shall only ard, and shall not include a	ed on	
	(7)		easterly property line paralle deemed to be the front lot lin		
	(8)	all site development Schedule RL-184 of	plans shall comply with this Exception		



Schedule RL-184 Map 08

4.2.2.185	Excep	tion: RL-185	Map # 45E	By-law: 0048-2025		
In a RL-185 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:						
Regulations						
4.2.2.185.1		A detached dwelling shall comply with the RL zone regulations contained in Subsection 4.2.1 of this By-law except that:				
	(1)	minimum lot area -	corner lot	660 m^2		
	(2)	minimum lot fronta	ge - corner lot	18.8 m		
	(3)	deleted				
	(4)	deleted				
	(5)		ment of a porch into the require ide yards - corner lot	red 4.0 m		

4.2.2.186	0111-20 2021 M		By-law: 0174-2017, 0111-2019/LPAT Order 2021 March 09, 0180-2021, 0048-2025		
	one the permitted uses and applications sl	plicable regulations shall be a	s specified for a RL zone		
Additional Per	rmitted Uses				
4.2.2.186.1	permitted provided that they	following uses shall also be y are carried on within the exi an addition to the existing he			
	(1) Art Gallery (2) Financial Institution (3) Office (4) Community centre or private community centre (5) Library (6) Medical Office - Restricted (7) Overnight Accommodation (8) Service Establishment (9) Private Club (10) Private School (11) Commercial School (12) Restaurant				
Regulations	(13) Apartment				
4.2.2.186.2		Article 2.1.2.1 and the regulationed in Article 3.1.1.7 of this			
4.2.2.186.3	Minimum lot area - corner	·lot	1.37 ha		
4.2.2.186.4	Maximum gross floor area		1 500 m ²		
4.2.2.186.5	Accessory buildings and structures shall be permitted in the exterior side yard				
4.2.2.186.6	* *	eption, a commercial school ance school, a martial arts sch			
4.2.2.186.7	"Gross Floor Area" means the aggregate of the areas of each storey above established grade, measured between the exterior faces of the exterior walls, but shall not include a garage used for the parking of motor vehicles				

4.2.2.187	Exception: RL-187	Map # 45E	By-law: 0048-2025			
In a RL-187 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:						
Regulations						
4.2.2.187.1	A detached dwelling shall comply with the RL zone regulations contained in Subsection 4.2.1 of this By-law except that:					
	(1) minimum lot frontage - interior lot 8.5 m					
4.2.2.187.2	Minimum setback of all buildings and structures to the southerly interior side lot line 3.0 m					
4.2.2.187.3	Minimum setback of all builot lines	ildings and structures to all o	ther 5.0 m			

4.2.2.188	Exception: RL-188	Map # 52W	By-law: 0048-2025				
	In a RL-188 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:						
Regulations							
4.2.2.188.1	deleted						
4.2.2.188.2	Minimum front yard - interior lot 6.0 m						
4.2.2.188.3	deleted						
4.2.2.188.4	Maximum encroachment of front yard - interior lot	a porch into the required	5.5 m				
4.2.2.188.5	Maximum encroachment of front yard - corner lot	a porch into the required	4.0 m				
4.2.2.188.6	Maximum encroachment of exterior side yard	a porch into the required	4.0 m				

4.2.2.189	Exception: RL-189	Map # 52W	By-law: 0308-2011, 0048-2025		
	one the permitted uses and ap		shall be as specified for a RL zone		
Regulations					
4.2.2.189.1	deleted				
4.2.2.189.2	deleted				
4.2.2.189.3	Minimum front yard - inte	Minimum front yard - interior lot 6.0 m			
4.2.2.189.4	deleted	deleted			
4.2.2.189.5	deleted				
4.2.2.189.6	Maximum encroachment of front yard - interior lot	f a porch into the rec	guired 5.5 m		
4.2.2.189.7	Maximum encroachment of front yard - corner lot	f a porch into the rec	uired 4.0 m		
4.2.2.189.8	Maximum encroachment of exterior side yard	f a porch into the rec	uired 4.0 m		
4.2.2.189.9	Maximum projection of the front wall or exterior side		•		

4.2.2.190	Excep	otion: RL-190	Map # 57	By-law: 0174-2017, 0181-2018/LPAT Or 2019 February 15, 00	
		permitted uses and ap ing uses /regulations s		l be as specified for a RL zo	one
Regulations					
4.2.2.190.1		ached dwelling shall ined in Subsection 4.2	comply with the RS zon 2.1 of this By-law	e regulations	
4.2.2.190.2	Semi-	-Detached:			
	(1)	the regulations of La By-law shall not app	ine 5.0 contained in Table	e 4.2.1 of this	
	(2)	minimum lot area -	interior lot	220 1	m^2
	(3)	minimum lot area -	corner lot	252 1	m^2
	(4)	minimum lot fronta	nge - interior lot	8.5 1	m
	(5)	minimum lot fronta	nge - corner lot	9.75	m
	(6)	minimum front yar adjacent the front le	ed - lots with a municipal ot line	sidewalk 4.5 1	m
	(7)	minimum front yard - lots without a municipal sidewalk adjacent the front lot line			m
	(8)		side yard - lots with a m ne exterior side lot line	unicipal 4.5 i	m
	(9)		side yard - lots without and exterior side lot line	a municipal 3.5 i	m
	(10)	minimum exterior s a right-of-way widtl	side yard - lots abutting h less than 17.0 m	a street with 1.8 i	m
	(11)	minimum setback to	garage face	5.8 1	m
	(12)	minimum interior s	side yard - unattached si	de 1.2 1	m
	(13)	minimum rear yard	I where lot abuts a lot w I of 7.5 m	ith a 6.0 i	m
	(14)	minimum rear yard the subject lot may	ot to the rear of the subject of 7.0 m, the minimum be reduced to 6.0 m for a the rear wall of the sem	rear yard of maximum of	
	(15)	minimum rear yard	I where lands abut a pipe	eline 14.5	m
	(16)	minimum rear yard	where lands abut a C1	zone 7.5 1	m
	(17)	minimum rear yard	l - all other lots	7.0 1	m
	(18)	maximum encroach required front or ex	ment of a porch or balco terior side yard	ony into 2.0 i	m
	(19)	minimum setback to	a sight triangle	0.0	m
	(20)		n of a garage beyond eit ce or beyond the main er		m
	(21)		r feature has been provided the feature for the feature has been provided the feature has been p		m

Exception RL-190 continued on next page

4.2.2.190	Excep	otion: RL-190	Map # 57	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025
Exception RI	L-190 co	ontinued from previou	is page	
4.2.2.190.2 (continued)	(22)	for a semi-detached where the garage proentrance, the garage which may be set bac garage face	jects beyond the m shall be covered by	ain front y a second storey
	(23)	maximum driveway	width - interior lot	4.3 m
	(24)	maximum driveway width - corner lot 4.7 m		4.7 m
	(25)	maximum garage width: measured from the inside face of the garage side walls		¥ 1.9 ===
	(26)	detached garage shal	l not be permitted	

4.2.2.191	Exception: RL-191	Map # 23, 30	By-law: 0174-2017, 0048-2025			
In a RL-191 zone the applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:						
Permitted Use						
4.2.2.191.1	.2.191.1 Lands zoned RL-191 shall only be used for the following:					
(1) Semi-Detached						
Regulation						
4.2.2.191.2	Minimum lot area - interio	or lot	305 m^2			

4.2.2.192	Excep	otion: RL-192	Map # 26, 29, 30	By-law: 0379-2009, 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025
		permitted uses and ap ing uses /regulations sl	plicable regulations shall be as hall apply:	s specified for a RL zone
Regulations				
4.2.2.192.1	Detac	ched Dwelling:		
	(1)	minimum lot area -	interior lot	275 m^2
	(2)	minimum lot fronta	ge - interior lot	9.0 m
	(3)	maximum driveway	width	6.0 m
	(4)	minimum front yar	d	4.5 m
	(5)	minimum exterior s	side yard	4.5 m
	(6)	minimum setback to	garage face	6.0 m
4.2.2.192.2	Semi-	Detached:		
	(1)	minimum lot area -	interior lot	275 m^2
	(2)	minimum lot area -	corner lot	350 m^2
	(3)	minimum front yar	d	4.5 m
	(4)	minimum exterior s	side yard	4.5 m
	(5)	minimum setback to	garage face	6.0 m

4.2.2.193	Excep	ption: RL-193	Map # 30	By-law: 0379-2009, 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025	
		permitted uses and apring uses /regulations s		l be as specified for a RL zone	
Regulations					
4.2.2.193.1	Deta	ched Dwelling:			
	(1)	minimum lot area -	interior lot	370 m^2	
	(2)	minimum lot area -	corner lot	460 m^2	
	(3)	minimum lot fronta	minimum lot frontage - interior lot		
	(4)	minimum lot fronta	ige - corner lot	15.0 m	
	(5)	minimum rear yard	l where lands abut an OS	51 zone 6.0 m	
	(6)	minimum front yar	d	4.5 m	
	(7)	minimum exterior s	side yard	4.5 m	
	(8)	minimum setback to	garage face	6.0 m	
4.2.2.193.2	Semi	-Detached:			
	(1)	minimum lot area -	interior lot	277 m^2	
	(2)	minimum lot area -	corner lot	325 m^2	
	(3)	minimum front yar	d	4.5 m	
	(4)	minimum exterior s	side yard	4.5 m	
	(5)	minimum rear yard	l where lands abut an OS	51 zone 6.0 m	
	(6)	minimum setback to	garage face	6.0 m	

4.2.2.194	Excep	otion: RL-194	Map # 56	By-law: 0379-2009, 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025	
	In a RL-194 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:				
Regulations					
4.2.2.194.1	Detac	ehed Dwelling:			
	(1)	minimum lot fronta	ge - interior lot	9.0 m	
	(2)	maximum gross floo	or area - residential	0.6 times the lot area	
	(3)	maximum driveway width		6.0 m	
	(4)	minimum front yar	d	4.5 m	
	(5)	minimum exterior s	side yard	4.5 m	
	(6)	minimum setback to	garage face	6.0 m	
4.2.2.194.2	Semi-	Detached:			
	(1)	maximum gross floo	or area - residential	0.7 times the lot area	
	(2)	minimum front yar	d	4.5 m	
	(3)	minimum exterior s	side yard	4.5 m	
	(4)	minimum interior s	ide yard	0.9 m	
	(5)	minimum setback to	garage face	6.0 m	

4.2.2.195	Excep	tion: RL-195	Map # 27	By-law: 0379-2009, 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025		
	In a RL-195 zone the applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:					
Permitted Use						
4.2.2.195.1	Lands	zoned RL-195 shall	only be used for the following:			
	(1)	Semi-Detached				
Regulations						
4.2.2.195.2	Semi-	Detached:				
	(1)	deleted				
	(2)	minimum exterior s	ide yard	4.5 m		
	(3)	minimum interior si interior lot	ide yard unattached side -	1.2 m		
	(4)	interior lot, for that storey garage or a v	ide yard unattached side - part of a lot that adjoins a one vall of a main building contain s into a habitable room			
	(5)	minimum rear yard Dixie Road	where lands abut a PB1 zone	or 13.5 m		
	(6)	minimum setback to	garage face	6.0 m		

4.2.2.196	Excep	tion: RL-196	Map # 31	By-law: 0174-2017, 0048-2025		
	In a RL-196 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:					
Additional Per	rmitted	Use				
4.2.2.196.1	(1)	Linked Dwelling				
Regulations						
4.2.2.196.2	Detac	hed Dwelling:				
	(1)	minimum lot fronta	ge - interior lot	9.0 m		
	(2)	minimum lot fronta	ge - corner lot	12.0 m		
	(3)	deleted				
	(4)	minimum landscape	ed area	25% of the lot area		
	(5)	deleted				
	(6)	deleted				
	(7)	deleted				
	(8)	maximum driveway	width	6.0 m		
4.2.2.196.3	CO MICHIGAN CONTRACTOR					

4.2.2.197	Excep	tion: RL-197	Map # 57	0174-20	: 0325-2008, 017, 0181-2018/LPAT 019 February 15, 025		
		permitted uses and ap ng uses /regulations sl	plicable regulations shall be as hall apply:	s specific	ed for a RL zone		
Regulations	Regulations						
4.2.2.197.1			comply with the RS zone regulation.1 of this By-law except that:	ılations			
	(1)		f a detached dwelling to all la ocated east of Longford Drive	nds	13.0 m		
	(2)		f a detached dwelling to all la ocated west of Longford Drive ws Boulevard		11.0 m		
4.2.2.197.2	Semi-	Detached:					
	(1)	the regulations of Li By-law shall not app	ne 5.0 contained in Table 4.2.	1 of this			
	(2)	minimum lot area -	interior lot		220 m^2		
	(3)	minimum lot area -	corner lot		300 m^2		
	(4)	minimum lot fronta	ge - interior lot		8.7 m		
	(5)	minimum lot fronta	ge - corner lot		10.2 m		
	(6)	maximum gross floo	or area- residential		0.75 times the lot area		
	(7)	minimum front yar adjacent the front lo	d - lots without a municipal side time	dewalk	3.5 m		
	(8)	minimum front yar	d - all other lots		4.5 m		
	(9)		side yard - lots without a mun e exterior side lot line	icipal	3.5 m		
	(10)		side yard - lots adjacent to a st width of less than 17.0 m	treet	1.8 m		
	(11)	minimum exterior s	ide yard - all other lots		4.5 m		
	(12)	minimum interior s	ide yard - unattached side		1.2 m		
	(13)	minimum rear yard	l - where lot abuts a lot with a l of 7.5 m		6.0 m		
	(14)	minimum rear yard the subject lot may b	ot to the rear of the subject lot l of 7.0 m, the minimum rear be reduced to 6.0 m for a maxi the rear wall of the semi-deta	yard of mum of			
	(15)	minimum rear yard	l - all other lots		7.0 m		
	(16)		f a semi-detached to all lands east of Longford Drive	zoned	13.0 m		
	(17)		f a semi-detached to all lands west of Longford Drive	zoned	11.0 m		
	(18)	minimum setback to	garage face		5.8 m		
	(19)	minimum setback to	a sight triangle		0.0 m		
	(20)	maximum encroachi required front or ex	ment of a porch or balcony in terior side yard	to	2.0 m		
	(21)		n of a garage beyond either the eyond the main entry feature		2.5 m		

Exception RL-197 continued from previous page

4.2.2.197	Except	tion: RL-197	Map # 57	By-law: 0325-2008, 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025
Exception R	L-197 co	ontinued from previ	ous page	
4.2.2.197.2 (continued)	(22)		y feature has been provided, ection of a garage beyond a ce	5.0 m
	(23)	where the garage p entrance, the gara	d more than one storey in heiprojects beyond the main from ge shall be covered by a second be set back a maximum of 2.5 ce	t ad
	(24)	maximum drivewa	y width - interior lot	4.3 m
	(25)	maximum drivewa	y width - corner lot	4.7 m
	(26)	maximum garage we measured from the	width: inside face of the garage side	3.8 m walls
	(27)	detached garage sh	all not be permitted	

4.2.2.198	Exce	ption: RL-198	Map # 37W	By-law: 0174-2017, 0048-2025		
	In a RL-198 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:					
Additional P	ermitte	d Use				
4.2.2.198.1	(1)	Linked Dwelling				
Regulations						
4.2.2.198.2	2.2.198.2 A linked dwelling and semi-detached shall comply with the RL zone regulations for a semi-detached contained in Subsection 4.2.1 of this By-law except that:					
	(1)	minimum lot area -	- interior lot	305 r	n^2	
	(2)	minimum lot area -	- corner lot	390 r	n^2	
	(3)	maximum lot cover	rage	40%	, D	
	(4)	minimum front yan	rd	6.0 r	n	

4.2.2.199	Exception: RL-199	Map # 25	By-law: 0048-2025		
In a RL-199 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:					
Regulation					
4.2.2.199.1	Minimum elevation of all o	penings in any building or str	ucture 167.95 m above sea level		
4.2.2.199.2	deleted				

4.2.2.200	Exception: RL-200	Map # 20	By-law: 0048-2025				
In a RL-200 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:							
Regulations	Regulations						
4.2.2.200.1 The regulations of Line 4.1 contained in Table 4.2.1 of this By-law shall not apply							
4.2.2.200.2	00.2 Frontage to the lots shall be provided by mutual right-of-way						

4.2.2.201	Excep	otion: RL-201	Map # 09	By-law: 0379-2009, 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025	
In a RL-201 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:					
Additional Per	rmitted	l Use			
4.2.2.201.1	(1)	Linked Dwelling			
Regulations					
4.2.2.201.2	4.2.2.201.2 A linked dwelling and semi-detached shall comply with the RL zone regulations for a semi-detached contained in Subsection 4.2.1 of this By-law except that:				
	(1)	minimum front yar	d	4.5 m	
	(2)	minimum interior s attached side	ide yard to the attached ga	rage - 0.0 m	
	(3)	minimum setback to	garage face	6.0 m	

4.2.2.202	Exception: RL-202	Map # 55	By-law: 0174-2017, 0048-2025	
In a RL-202 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:				
Regulations				
4.2.2.202.1	Minimum setback of detached dwelling and semi-detached to all lands zoned G1			
4.2.2.202.2	Minimum interior side yard - unattached side 0.9 m			
4.2.2.202.3	Semi-Detached:			
	(1) minimum lot area	295 m^2		
	(2) minimum lot front	age - interior lot	8.5 m	

4.2.2.203	Exception: RL-203	Map # 28, 57, 58	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025				
	In a RL-203 zone the applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:						
Permitted Uses							
4.2.2.203.1	Lands zoned RL-203 shall	only be used for the following	;				
		ompliance with the provisions e 2.1.9.1 of this By-law					
Regulations							
4.2.2.203.2	The regulations of Line 5.0 By-law shall not apply	contained in Table 4.2.1 of th	iis				
4.2.2.203.3	Minimum lot area - interio	or lot	220 m^2				
4.2.2.203.4	Minimum lot area - corner	· lot	252 m^2				
4.2.2.203.5	Minimum lot frontage - in	terior lot	8.5 m				
4.2.2.203.6	Minimum lot frontage - co	rner lot	9.75 m				
4.2.2.203.7	Minimum front yard - lots the front lot line	with a municipal sidewalk ad	jacent 4.5 m				
4.2.2.203.8	Minimum front yard - lots adjacent the front lot line	without a municipal sidewalk	3.5 m				
4.2.2.203.9	Minimum exterior side ya adjacent the exterior side l	rd - lots with a municipal side ot line	ewalk 4.5 m				
4.2.2.203.10	Minimum exterior side ya adjacent the exterior side l	rd - lots without a municipal sot line	sidewalk 3.5 m				
4.2.2.203.11	Minimum exterior side yan right-of-way width less than	rd - lots abutting a street with n 17.0 m	1.8 m				
4.2.2.203.12	Minimum interior side yar	d - unattached side	1.2 m				
4.2.2.203.13	Minimum rear yard where rear yard of 7.5 m	lot abuts a lot with a minimu	m 6.0 m				
4.2.2.203.14	minimum rear yard of 7.0	me rear of the subject lot has a m, the minimum rear yard of to 6.0 m for a maximum of 50 f the semi-detached					
4.2.2.203.15	Minimum rear yard where	lands abut a pipeline easemen	nt 14.5 m				
4.2.2.203.16	Minimum rear yard where	lands abut a C1 zone	7.5 m				
4.2.2.203.17	Minimum rear yard - all o	ther lots	7.0 m				
4.2.2.203.18	Minimum setback to garag	e face	5.8 m				
4.2.2.203.19	Minimum setback to all lan	ds zoned PB1	18.5 m				
4.2.2.203.20	Minimum setback to a sigh	t triangle	0.0 m				
4.2.2.203.21	Maximum encroachment of front or exterior side yard	a porch or balcony into requ	nired 2.0 m				
4.2.2.203.22		arage beyond either the main in entry feature where provide					
4.2.2.203.23	Where a main entry featur projection of a garage beyon	e has been provided, the max and a main front entrance	imum 5.0 m				
4.2.2.203.24	garage projects beyond the	than one storey in height , wh main front entrance , the ga ld d storey which may be set bac e garage face	rage				

Exception RL-203 continued on next page

4.2.2.203	Exception: RL-203	Map # 28, 57, 58	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025
Exception RL	-203 continued from previo	ous page	
4.2.2.203.25	Maximum driveway width	- interior lot	4.3 m
4.2.2.203.26	Maximum driveway width	4.7 m	
4.2.2.203.27	Maximum garage width: measured from the inside fa	ace of the garage side walls	3.8 m
4.2.2.203.28	Detached garage shall not	be permitted	

4.2.2.204	Excep	otion: RL-204	Map # 38E	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025		
		permitted uses and ap	plicable regulations shall be as hall apply:	s specified for a RL zone		
Regulations						
4.2.2.204.1		ached dwelling shall comply with the RS zone regulations ned in Subsection 4.2.1 of this By-law except that:				
	(1)	minimum lot area -	corner lot	365 m^2		
	(2)	minimum lot fronta	ge - corner lot	14.0 m		
	(3)	minimum setback to	garage face	7.0 m		
	(4)	minimum setback of	f a porch to a sight triangle	1.5 m		
	(5)	maximum driveway	width	5.5 m		
	(6)	maximum garage w measured from the i	vidth: nside face of the garage side v	5.7 m		
	(7)	detached garage sha	all not be permitted			
4.2.2.204.2	Semi-	-Detached:				
	(1)	the regulations of Li By-law shall not app	ine 5.0 contained in Table 4.2.	of this		
	(2)	minimum lot area -	interior lot	225 m^2		
	(3)	minimum lot area -	corner lot	265 m^2		
	(4)	minimum lot fronta	ge - interior lot	8.7 m		
	(5)	minimum lot fronta	ge - corner lot	10.2 m		
	(6)	maximum gross floo	or area - residential	0.75 times the lot area		
	(7)	minimum front yar	d	3.6 m		
	(8)	minimum exterior s	side yard	3.6 m		
	(9)	minimum setback to	garage face	7.0 m		
	(10)	minimum interior s	ide yard - unattached side	1.2 m		
	(11)	minimum rear yard	I	7.0 m		
	(12)	maximum encroacher required front or ex	ment of a porch or balcony in terior side yard	2.0 m		
	(13)	1 0	n of a garage beyond either the e or beyond the main entry fe			
	(14)		feature has been provided, etion of a garage beyond a	5.0 m		

Exception RL-204 continued on next page

4.2.2.204	Excep	otion: RL-204	Map # 38E	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025
Exception RI	205 co	ontinued from previ	ous page	
4.2.2.204.2 (continued)	(15)	where the garage p entrance, the gara	d more than one storey projects beyond the main ge shall be covered by a pe set back a maximum ce	n front second
	(16)	maximum drivewa	y width	3.8 m
	(17)	maximum garage we measured from the	width: inside face of the garag	3.8 m e side walls
	(18)	detached garage sh	all not be permitted	

4.2.2.205	Excep	tion: RL-205	Map # 21	By-law: 0174-2017, 0048-2025	
	In a RL-205 zone the applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:				
Permitted Use	!				
4.2.2.205.1	Lands	zoned RL-205 shall o	only be used for the following	:	
	(1)	Semi-Detached			
Regulations					
4.2.2.205.2	Semi-	Detached:			
	(1)	minimum lot area -	interior lot	300 m^2	
	(2)	deleted			
	(3)	minimum interior s	ide yard - unattached side	0.9 m	

4.2.2.206	Excep	otion: RL-206	Map # 44W, 45E	By-law: 0379-2009, 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025	
	In a RL-206 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:				
Regulations					
4.2.2.206.1		9	comply with the RS zone 2.1 of this By-law except	•	
	(1)	is 5.0 m or less, mea exterior walls or from	maximum lot coverage - where the width of the garage is 5.0 m or less, measured from the outside of opposite exterior walls or from the outside of an exterior wall to the midpoint of an interior wall		
	(2)	maximum projection main front entranc	n of a garage beyond the	7.0 m	
4.2.2.206.2	Semi	-Detached:			
	(1)	minimum lot area -	interior lot	225 m^2	
	(2)	minimum lot area -	corner lot	300 m^2	
	(3)	minimum front yar	d	4.5 m	

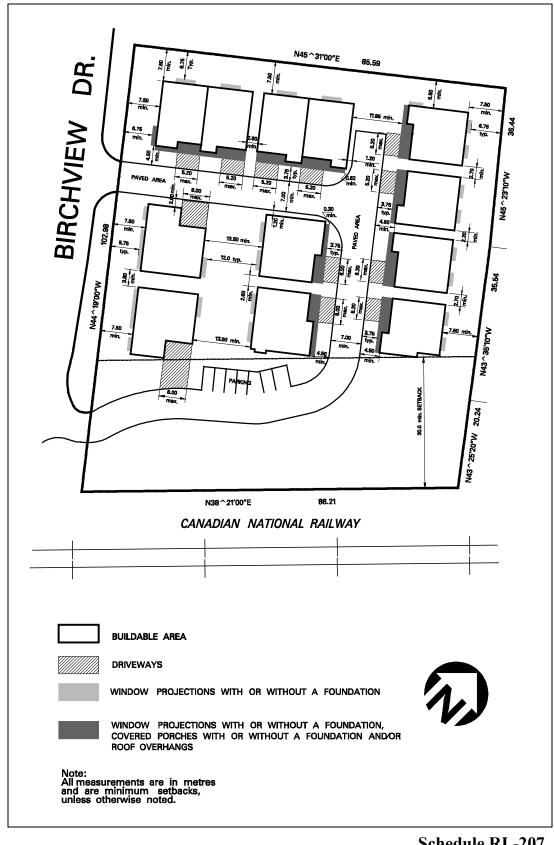
Exception RL-206 continued on next page

4.2.2.206	Ехсер	otion: RL-206	Map # 44W, 45E	By-law: 0379- 0174-2017, 01 Order 2019 Fe 0048-2025	81-2018/LPAT
Exception RI	L-206 cc	ontinued from previ	ous page		
4.2.2.206.2 (continued)	(4)	minimum exterior	side yard		4.5 m
	(5)	minimum interior	side yard - unattached side		0.9 m
	(6)	maximum lot cove	rage:		
		beyond the r	rage does not project more that main entry feature or 2.5 m be ont entrance or a habitable rocey or	yond	45%
		measured from walls or from	idth of the garage is 5.0 m or lead the outside of opposite externance of the outside of an exterior walk an interior wall or	rior	45%
		(3) all other lots	1		40%
	(7)	maximum projection main front entran	on of a garage beyond the		7.0 m
	(8)	where the garage pentrance, the gara	ed more than one storey in heigh projects beyond the main front ge shall be covered by a second be set back a maximum of 2.5 1 ce	1	
	(9)	maximum porch as	rea in a front yard - interior l o	ot	12 m ²
	(10)	maximum total por yards - corner lot	rch area in front and exterior s	side	20 m^2
	(11)		thes in front and exterior side from the calculation of lot cover		
	(12)		gs and structures shall not be lor exterior side yard	ocated	
	(13)	minimum setback t	to garage face		6.0 m

4.2.2.207	Exception: RL-207	Map # 09	By-law: 0181-20 Order 2019 Febr 0048-2025	
In a RL-207 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:				
Regulations				
4.2.2.207.1	The regulations of Line 5.0 contained in Table 4.2.1 of this By-law shall not apply			
4.2.2.207.2	Maximum number of detacl	ned dwelling units		8
4.2.2.207.3	Maximum number of semi-detached dwelling units 4			
4.2.2.207.4	Minimum setback to garage face from a condominium road 6.0 m			6.0 m
4.2.2.207.5	deleted			
4.2.2.207.6	deleted			

Exception RL-207 continued on next page

4.2.2.207	Exception: RL-207	Map # 09	By-law: 0181-2018/LPAT Order 2019 February 15, 0048-2025
Exception RL	-207 continued from previou	s page	
4.2.2.207.7	Height of all buildings and structures shall be measured from established grade		
4.2.2.207.8	Maximum number of storeys 2		
4.2.2.207.9	Minimum number of parking spaces per dwelling unit 2		
4.2.2.207.10	Minimum number of visitor parking spaces 7		
4.2.2.207.11	All site development plans shall comply with Schedule RL-207 of this Exception		



Schedule RL-207 Map 09

4.2.2.208	Exception: RL-208	Map # 39E, 45W	By-law: 0048-2025		
In a RL-208 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:					
Regulation					
4.2.2.208.1	A detached dwelling shall contained in Subsection 4.2	comply with the RL zone regul. 1 of this By-law	ılations		

4.2.2.209	Exception: RL-209	Map # 16, 27	By-law: 0174-2017, 0048-2025
	ne the permitted uses and ap following uses /regulations si	plicable regulations shall be as hall apply:	s specified for a RL zone
Additional Per	mitted Use		
4.2.2.209.1	(1) Linked Dwelling		
Regulation			
4.2.2.209.2 A linked dwelling shall comply with the RL zone regulations for a semi-detached contained in Subsection 4.2.1 of this By-law			

4.2.2.210	Excep	tion: RL-210	Map # 30	By-law: 0379-2009, 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025
		permitted uses and ap	plicable regulations shall be as hall apply:	s specified for a RL zone
Additional Per	mitted	Use		
4.2.2.210.1	(1)	Linked Dwelling		
Regulations				
4.2.2.210.2	Detac	hed Dwelling:		
	(1)	minimum lot area -	interior lot	275 m^2
	(2)	minimum lot fronta	ge	9.0 m
	(3)	maximum driveway	width	6.0 m
	(4)	minimum front yar	d	4.5 m
	(5)	minimum exterior s	side yard	4.5 m
	(6)	minimum setback to	garage face	6.0 m
4.2.2.210.3	Semi-	Detached:		
	(1)	minimum lot area -	interior lot	275 m^2
	(2)	minimum lot area -	corner lot	350 m^2
	(3)	minimum front yar	d	4.5 m
	(4)	minimum exterior s	side yard	4.5 m
	(5)	minimum setback to	garage face	6.0 m

Exception RL-210 continued on next page

4.2.2.210	Excep	otion: RL-210	Map # 30	By-law: 0379-2009, 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025
Exception RL	-210 c	ontinued from previou	s page	
4.2.2.210.4	a sem	inked dwelling shall comply with the RL zone regulations for emi-detached contained in Subsection 4.2.1 of this By-law ept that:		
	(1)	minimum lot area - ii	nterior lot	275 m^2
	(2)	minimum lot area - c	orner lot	350 m^2
	(3)	minimum front yard		4.5 m
	(4)	minimum exterior sic	de yard	4.5 m
	(5)	minimum setback to g	garage face	6.0 m

4.2.2.211	Ехсер	otion: RL-211	Map # 21	By-law: 0325-2008, 0055-2009, 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RL-211 z			s shall be as specified for a R	L zone except that the following
Permitted Us	se			
4.2.2.211.1	Lands	s zoned RL-211 shall	only be used for the followin	g:
	(1)	Double Duplex Dwe	elling	
Regulations		•		
4.2.2.211.2	regula		shall comply with the RM7 z bsection 4.13.1 of this By-lar	
	(1)	•	rticle 4.1.9.3 and Lines 12.2 1.13.1 of this By-law shall no	
	(2)	maximum number o zoned RL-211	4	
	(3)	maximum lot cover	age	30% of the lot area
	(4)	maximum gross floo	or area	400 m^2
	(5)	minimum area used	for tenant facilities	166 m^2
	(6)	minimum landscape	ed area	40% of the lot area
	(7)	minimum front yar	d	15.0 m
	(8)	minimum interior s	ide yard	1.7 m
	(9)	minimum rear yard	I	11.0 m
	(10)	maximum height: highest ridge of a sl	loped roof	10.7 m
	(11)	minimum number of dwelling unit	f resident parking spaces pe	r 1.36
	(12)	minimum number or dwelling unit	f visitor parking spaces per	0.20

Exception RL-211 continued on next page

4.2.2.211	Excep	otion: RL-211	Map # 21	By-law: 0325-2008, 0055-2009, 0181-2018/LPAT Order 2019 February 15, 0048-2025					
Exception RI	Exception RL-211 from previous page								
4.2.2.211.2 (continued)	(13)	no dwelling units , or below grade	no dwelling units , or portions thereof, shall be located below grade						
	(14)	the centre line of joint	the area used for tenant facilities shall be measured from the centre line of joint interior partitions and from the exterior of outside walls of the building or structure						
	(15)	"Double Duplex Dwelling" means a building that is divided horizontally and vertically into four separate dwelling units , each with an entrance that is either independent or through a common vestibule							
	(16)	"Tenant Facilities" means any part of a building or structure used for furnace rooms, laundry rooms, garbage storage rooms or general storage rooms							
	(17)	"Gross Floor Area" means the aggregate of the areas of each storey above or below established grade measured between the exterior faces of the exterior wall of the building or structure at the level of each storey exclusive of any part of the building or structure used for tenant facilities, stairs or garbage storage							
	(18)	minimum lot frontage 18.0 m							
	(19)	maximum area of a de	eck above an attached garag	ge 10 m ²					
	(20)	maximum driveway width Lesser of 8.5 m of 50% of lot front							
	(21)	minimum aisle width		6.0 m					

4.2.2.212	Ехсер	tion: RL-212	Map # 57	By-law: 0325-2008, 0174-2017, 0181-2018/LPA' Order 2019 February 15, 0048-2025					
	In a RL-212 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:								
Regulations									
4.2.2.212.1	A detached dwelling shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:								
	(1)	minimum setback of a detached dwelling to all lands 211.0 m zoned U-3 on lots located east of Longford Drive							
	(2)	maximum garage width: 6.1 m measured from the inside face of the garage side walls							
4.2.2.212.2	Semi-	Semi-Detached:							
	(1)	the regulations of Line 5.0 contained in Table 4.2.1 of this By-law shall not apply							
	(2)	minimum lot area - interior lot 220 m ²							
	(3)	minimum lot area - corner lot 300 m ²							
	(4)	minimum lot frontage - interior lot 8.7 m							
	(5)	minimum lot fronta	minimum lot frontage - corner lot 10.2 m						

Exception RL-212 continued on next page

4.2.2.212	Ехсер	otion: RL-212	Map # 57	0174-20	0325-2008, 17, 0181-2018/LPAT 019 February 15, 25
Exception R	L-212 co	ontinued from previou	s page		
4.2.2.212.2 (continued)	(6)	maximum gross floor	r area- residential		0.75 times the lot area
	(7)	minimum front yard adjacent the front lot	- lots without a municipal s line	idewalk	3.5 m
	(8)	minimum front yard	- all other lots		4.5 m
	(9)		de yard - lots without a munexterior side lot line	nicipal	3.5 m
	(10)		de yard - lots adjacent to a strict of less than 17.0 m	street	1.8 m
	(11)	minimum exterior si	de yard - all other lots		4.5 m
	(12)	minimum interior sic	le yard - unattached side		1.2 m
	(13)	minimum rear yard minimum rear yard	where lot abuts a lot with a of 7.5 m	a	6.0 m
	(14)	minimum rear yard of the subject lot may be	t to the rear of the subject lo of 7.0 m, the minimum rear e reduced to 6.0 m for a max he rear wall of the semi-det	yard of simum of	
	(15)	minimum rear yard	- all other lots		7.0 m
	(16)		a semi-detached to all lands rated east of Longford Drive		11.0 m
	(17)	minimum setback to	garage face		5.8 m
	(18)	minimum setback to a	a sight triangle		0.0 m
	(19)	maximum encroachm required front yard	ent of a porch or balcony in	nto	2.0 m
	(20)	maximum encroachm required exterior side	ent of a porch or balcony in eyard	nto	2.0 m
	(21)		of a garage beyond either the or beyond the main entry f		2.5 m
	(22)		Ceature has been provided, to of a garage beyond a	he	5.0 m
	(23)	where the garage pro entrance, the garage	more than one storey in hei giects beyond the main fron shall be covered by a secon set back a maximum of 2.5	t id	
	(24)	maximum driveway	width - interior lot		4.3 m
	(25)	maximum driveway	width - corner lot		4.7 m
	(26)	maximum garage wide measured from the ins	dth: side face of the garage side	walls	3.8 m
	(27)	detached garage shal	l not be permitted		

4.2.2.213	Excep	otion: RL-213	Map # 57	By-law: 0455-2007, 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025		
		permitted uses and aping uses /regulations s	oplicable regulations shall be a hall apply:	s specified for a RL zone		
Regulations						
4.2.2.213.1		detached dwelling shall comply with the RS zone regulations ntained in Subsection 4.2.1 of this By-law except that:				
	(1)	minimum lot area -	interior lot	275 m^2		
	(2)	minimum lot fronta	nge - interior lot	9.75 m		
	(3)	minimum lot fronta	nge - corner lot	13.0 m		
	(4)	maximum driveway	y width	6.5 m		
	(5)	maximum garage w measured from the i	vidth: inside face of the garage side	5.5 m walls		
	(6)	minimum setback of Boulevard	f a lot to Winston Churchill	108.0 m		
	(7)	on top of an attache	aximum area of 10 m ² is permind garage provided that the bal re than 1.0 m beyond the gara	lcony		
4.2.2.213.2	Semi-	-Detached:				
	(1)	the regulations of L By-law shall not app	ine 5.0 contained in Table 4.2.	1 of this		
	(2)	minimum lot area -	interior lot	220 m^2		
	(3)	minimum lot area -	corner lot	252 m^2		
	(4)	minimum lot fronta	nge - interior lot	8.5 m		
	(5)	minimum lot fronta	nge - corner lot	9.75 m		
	(6)	minimum front yar adjacent the front le	d - lots with a municipal side of line	valk 4.5 m		
	(7)	minimum front yar adjacent the front le	rd - lots without a municipal si ot line	dewalk 3.5 m		
	(8)		side yard - lots with a municip ne exterior side lot line	oal 4.5 m		
	(9)		side yard - lots without a mun ne exterior side lot line	icipal 3.5 m		
	(10)	minimum setback to	garage face	5.8 m		
	(11)	minimum interior s	side yard - unattached side	1.2 m		
	(12)	minimum rear yard	l	7.0 m		
	(13)	maximum encroach required front or ex	ment of a porch or balcony in terior side yard	2.0 m		
	(14)	minimum setback to	a sight triangle	0.0 m		
	(15)		n of a garage beyond either the or beyond the main entry f or			
	(16)		r feature has been provided, the n of a garage beyond a main to			

Exception RL-213 continued on next page

4.2.2.213	Exception: RL-213		Map # 57	By-law: 0455-2007, 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025
Exception RI	-213 co	ontinued from previou	s page	
4.2.2.213.2 (continued)	(17)	for a semi-detached more than one storey in height , where the garage projects beyond the main front entrance , a minimum of 75% of the width of the garage , measured from the inside face of the garage walls, shall be covered by a second storey which may be set back a maximum of 2.5 m from the garage face		
	(18)	maximum driveway width - interior lot 4.3 m		
	(19)	maximum driveway v	width - corner lot	4.7 m
	(20)	maximum garage width: measured from the inside face of the garage side walls		
	(21)	attached garage is required		
	(22)	detached garage shall not be permitted		
	(23)	top of an attached gar	imum area of 10 m ² is perm rage provided that the balco 1.0 m beyond the garage fa	ony does

4.2.2.214	Exception: RL-214		Map # 57	By-law: 0117-2014, 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025	
		permitted uses and ap ng uses /regulations sl	plicable regulations shall be a hall apply:	s specified for a RL zone	
Regulations					
4.2.2.214.1		ached dwelling shall ned in Subsection 4.2	comply with the RS zone regulation.1 of this By-law	lations	
4.2.2.214.2	Semi-	Detached:			
	(1)	the provisions of Line 5.0 contained in Table 4.2.1 of this By-law shall not apply			
	(2)	minimum lot area -	interior lot	190 m ²	
	(3)	minimum lot area -	corner lot	252 m ²	
	(4)	minimum lot fronta	ge - interior lot	7.5 m	
	(5)	minimum lot fronta	ge - corner lot	9.5 m	
	(6)	minimum front yard adjacent the front lo	d - lots without a municipal si ot line	dewalk 3.5 m	
	(7)	minimum front yardadjacent the exterior	d - lots without a municipal si r side lot line	dewalk 3.5 m	
	(8)	minimum setback to	the garage face	5.8 m	
	(9)	minimum exterior s	side yard - lots abutting a stre	et 1.8 m	
	(10)	minimum interior s	ide yard - unattached side	1.2 m	
	(11)	minimum rear yard	I	6.0 m	
	(12)	maximum encroachi required front or ex	ment of a porch or balcony in terior side yard	to 2.0 m	

Exception RL-214 continued on next page

4.2.2.214	Exception: RL-214		Map # 57	By-law: 0117-2014, 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025	
Exception R	L-214 co	ontinued from previou	is page		
4.2.2.214.2 (continued)	(13)	maximum projection main front entrance where provided			
	(14)	where a main entry f the maximum project main front entrance	5.0 m		
	(15)	for a semi-detached where the garage proentrance, the garage storey which may be the garage face	nt nd		
	(16)	maximum driveway width - interior lot 4.5			
	(17)	maximum driveway	5.0 m		
	(18)	maximum garage wi o	3.8 m		
	(19)	detached garage shal	l not be permitted		

4.2.2.215	Exception: RL-215	Map #	By-law: 0171-2015/ OMB Order 2016 April 04, 0193-2016/OMB Order 2017 May 30, deleted by 0048-2025

4.2.2.216	Excep	tion: RL-216	Map # 48E, 48W	By-law: 0225-2016, 0174-2017, 0048-2025				
	In a RL-216 zone the applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:							
Permitted Use	Permitted Uses							
4.2.2.216.1	4.2.2.216.1 Lands zoned RL-216 shall only be used for the following:							
	(1) Detached dwelling in compliance with the RS-61 zone regulations							
	(2)	Semi-Detached						