

4.2RL AND RS ZONES
(DETACHED DWELLINGS AND SEMI-DETACHED -
TYPICAL LOTS)

4.2.1RL and RS Permitted Uses and Zone Regulations
(0048-2025)

All **buildings** and **structures** shall comply with the provisions contained in Parts 1 to 3 and Section 4.1 of this By-law, and the **uses** and zone regulations specified within the applicable zone column contained in Table 4.2.1 - RL and RS Permitted Uses and Zone Regulations.

Table 4.2.1 - RL and RS Permitted Uses and Zone Regulations
(0379-2009), (0190-2014), (0181-2018/LPAT Order 2019 February 15), (0111-2019/LPAT Order 2021 March 09), (0018-2021), (0182-2024), (0048-2025)

Column A		B	C
Line 1.0	ZONES	RL Residential Large Lot	RS Residential Small Lot
2.0	RESIDENTIAL		
2.1	Detached Dwelling	✓ ⁽¹⁾⁽⁷⁾	✓ ⁽¹⁾⁽⁷⁾
2.2	Semi-Detached	✓ ⁽¹⁾	✓ ⁽¹⁾
3.0	MINIMUM LOT AREA		
3.1	Interior lot	Detached Dwelling: 550 m ²	Detached Dwelling: 285 m ²
		Semi-Detached: 340 m ²	Semi-Detached: 200 m ²
3.2	Corner lot	Detached Dwelling: 720 m ²	Detached Dwelling: 370 m ²
		Semi-Detached: 400 m ²	Semi-Detached: 280 m ²
4.0	MINIMUM LOT FRONTAGE		
4.1	Interior lot	Detached Dwelling: 15.0 m	Detached Dwelling: 9.75 m
		Semi-Detached: 9.0 m	Semi-Detached: 6.8 m
4.2	Corner lot	Detached Dwelling: 19.5 m	Detached Dwelling: 12.0 m
		Semi-Detached: 12.0 m	Semi-Detached: 9.8 m
5.0	MAXIMUM LOT COVERAGE	35%	Detached Dwelling: 40%
			Semi-Detached: 45%
6.0	MINIMUM FRONT YARD		
6.1	Interior lot	Detached Dwelling: 7.5 m ⁽²⁾	Detached Dwelling: 3.5 m ⁽²⁾
		Semi-Detached: 6.0 m ⁽²⁾	Semi-Detached: 4.5 m ⁽²⁾
6.2	Corner lot	Detached Dwelling: 6.0 m ⁽²⁾	Detached Dwelling: 3.5 m ⁽²⁾
		Semi-Detached: 6.0 m ⁽²⁾	Semi-Detached: 4.5 m ⁽²⁾

Table 4.2.1 continued on next page

Column A		B	C
Line 1.0	ZONES	RL Residential Large Lot	RS Residential Small Lot
Table 4.2.1 continued from previous page			
6.3	Garage face	Equal to the front yard	Detached Dwelling: 5.8 m
			Semi-Detached: 6.0 m
7.0	MINIMUM EXTERIOR SIDE YARD	6.0 m ⁽²⁾	3.5 m ⁽²⁾
7.1	Garage face	Equal to the exterior side yard	Detached Dwelling: 5.8 m
			Semi-Detached: 6.0 m
8.0	MINIMUM INTERIOR SIDE YARD		
8.1	Interior lot - Unattached side	Detached Dwelling: 1.2 m ⁽²⁾	Detached Dwelling: 1.2 m on one side of the lot and 0.61 m on the other side ⁽²⁾
		Semi-Detached: 1.8 m ⁽²⁾	Semi-Detached: 1.2 m ⁽²⁾
8.2	Interior lot - Attached side	0.0 m ⁽²⁾	0.0 m ⁽²⁾
8.3	Corner lot	Detached Dwelling: 1.2 m ⁽²⁾	Detached Dwelling: 0.61 m ⁽²⁾
9.0	MINIMUM REAR YARD		
9.1	Interior lot	7.5 m ⁽²⁾	Detached Dwelling: 7.0 m ⁽²⁾
			Semi-Detached: 7.5 m ⁽²⁾
9.2	Corner lot	Detached Dwelling: 3.0 m ⁽²⁾	Detached Dwelling: 7.0 m ⁽²⁾
		Semi-Detached: 7.5 m ⁽²⁾	Semi-Detached: 7.5 m ⁽²⁾
10.0	MAXIMUM HEIGHT - HIGHEST RIDGE sloped roof	10.7 m	10.7 m
11.0	MAXIMUM HEIGHT: flat roof	7.5 m	7.5 m
12.0	ATTACHED GARAGE, PARKING AND DRIVEWAY		
12.1	Attached garage	Permitted ⁽³⁾	Permitted ⁽³⁾
12.2	Minimum parking spaces	✓ ⁽⁴⁾⁽⁵⁾	✓ ⁽⁴⁾⁽⁵⁾
12.3	Maximum driveway width	✓ ⁽⁴⁾	✓ ⁽⁴⁾
12.4	Minimum landscaped soft area in the yard containing the driveway	Detached Dwelling: 40% of the front yard or exterior side yard	Detached Dwelling: 30% of the front yard or exterior side yard
		Semi-Detached: n/a	Semi-Detached: n/a

Table 4.2.1 continued on next page

Column A		B	C
Line 1.0	ZONES	RL Residential Large Lot	RS Residential Small Lot
Table 4.2.1 continued from previous page			
13.0	ACCESSORY BUILDINGS AND STRUCTURES	✓ ⁽⁶⁾	✓ ⁽⁶⁾
14.0	MAXIMUM DWELLING UNIT DEPTH	20.0 m	20.0 m

- NOTES:**
- (1) See also Subsections 4.1.1 and 4.1.17 of this By-law.
 - (2) See also Subsections 4.1.7 and 4.1.8 of this By-law.
 - (3) See Subsection 4.1.12 of this By-law.
 - (4) See Subsection 4.1.9 of this By-law.
 - (5) See Part 3 of this By-law.
 - (6) See Subsection 4.1.2 of this By-law.
 - (7) See also Subsection 4.1.16 of this By-law.

4.2.2

Residential Large Lot Exception Zones
(0048-2025)

Refer to Article 1.1.2.3 - Exception Zones and Exception Zone Schedules

In addition to the **uses** and regulations contained in Subsection 4.2.1 - RL and RS Permitted Uses and Zone Regulations, the regulations contained in Table 4.2.2 - Residential Large Lot Infill Exception Regulations shall apply where specified by a RL Exception Zone.

Table 4.2.2 - Residential Large Lot Infill Exception Regulations
(0325-2008), (0308-2011), (0048-2025)

Column A		B
Line		
1.0	MINIMUM INTERIOR SIDE YARD	
1.1	Interior lot - detached dwelling - with a lot frontage less than 18.0 m	1.2 m
1.2	Interior lot - detached dwelling - with a lot frontage equal to or greater than 18.0 m	1.8 m
2.0	MINIMUM COMBINED WIDTH OF SIDE YARDS	
2.1	One storey dwelling	20% of the lot frontage
2.2	Dwelling with more than one storey	27% of the lot frontage
3.0	MAXIMUM GROSS FLOOR AREA - INFILL RESIDENTIAL	Detached Dwelling: 190 m ² plus 0.20 times the lot area
		Semi-Detached: 150 m ² plus 0.20 times the lot area
4.0	GARAGE PROJECTION: maximum projection of the garage beyond the front wall or exterior side wall of the first storey	2.5 m

Part 4 - Residential Zones

4.2.2.1	Exception: RL-1	Map # 02, 07, 08	By-law: 0226-2022, 0048-2025
In a RL-1 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Regulation			
4.2.2.1.1	The regulations contained in Subsection 4.2.2 of this By-law shall apply		

4.2.2.2	Exception: RL-2	Map # 02, 03, 07, 08, 09	By-law: 0048-2025
In a RL-2 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Regulation			
4.2.2.2.1	The regulations contained in Subsection 4.2.2 of this By-law shall apply		
4.2.2.2.2	<i>deleted</i>		

4.2.2.3	Exception: RL-3	Map # 08	By-law: 0048-2025
In a RL-3 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Regulation			
4.2.2.3.1	The regulations contained in Subsection 4.2.2 of this By-law shall apply		
4.2.2.3.2	<i>deleted</i>		
4.2.2.3.3	<i>deleted</i>		

4.2.2.4	Exception: RL-4	Map # 02, 03, 08, 09, 10	By-law: OLT Order 2021 August 10/ 2021 November 09, 0048-2025
In a RL-4 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Regulation			
4.2.2.4.1	The regulations contained in Subsection 4.2.2 of this By-law shall apply		

4.2.2.5	Exception: RL-5	Map # 09	By-law: 0048-2025
In a RL-5 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Regulation			
4.2.2.5.1	The regulations contained in Subsection 4.2.2 of this By-law shall apply		
4.2.2.5.2	<i>deleted</i>		

4.2.2.6	Exception: RL-6	Map # 02, 03, 07, 08, 09, 10	By-law: 0225-2017, LPAT Order 2020 June 01, 0048-2025
In a RL-6 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Regulation			
4.2.2.6.1	The regulations contained in Subsection 4.2.2 of this By-law shall apply		
4.2.2.6.2	<i>deleted</i>		

4.2.2.7	Exception: RL-7	Map # 02, 03, 07, 08, 09, 10	By-law: 0247-2016, 0131-2024, 0048-2025
In a RL-7 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Regulations			
4.2.2.7.1	The regulations contained in Subsection 4.2.2 of this By-law shall apply		
4.2.2.7.2	<i>deleted</i>		

4.2.2.8	Exception: RL-8	Map # 07	By-law: 0048-2025
In a RL-8 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Regulations			
4.2.2.8.1	The regulations contained in Subsection 4.2.2 of this By-law shall apply		
4.2.2.8.2	The regulations of Line 4.1 contained in Table 4.2.1 of this By-law shall not apply		
4.2.2.8.3	Access to all lots shall be via a common frontage on Carmen Drive		

4.2.2.9	Exception: RL-9	Map # 03, 07, 08, 09, 10	By-law: 0131-2019, OLT Order 2021 August 10/ 2021 November 09, 0068-2022, 0048-2025
In a RL-9 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Regulation			
4.2.2.9.1	The regulations contained in Subsection 4.2.2 of this By-law shall apply		

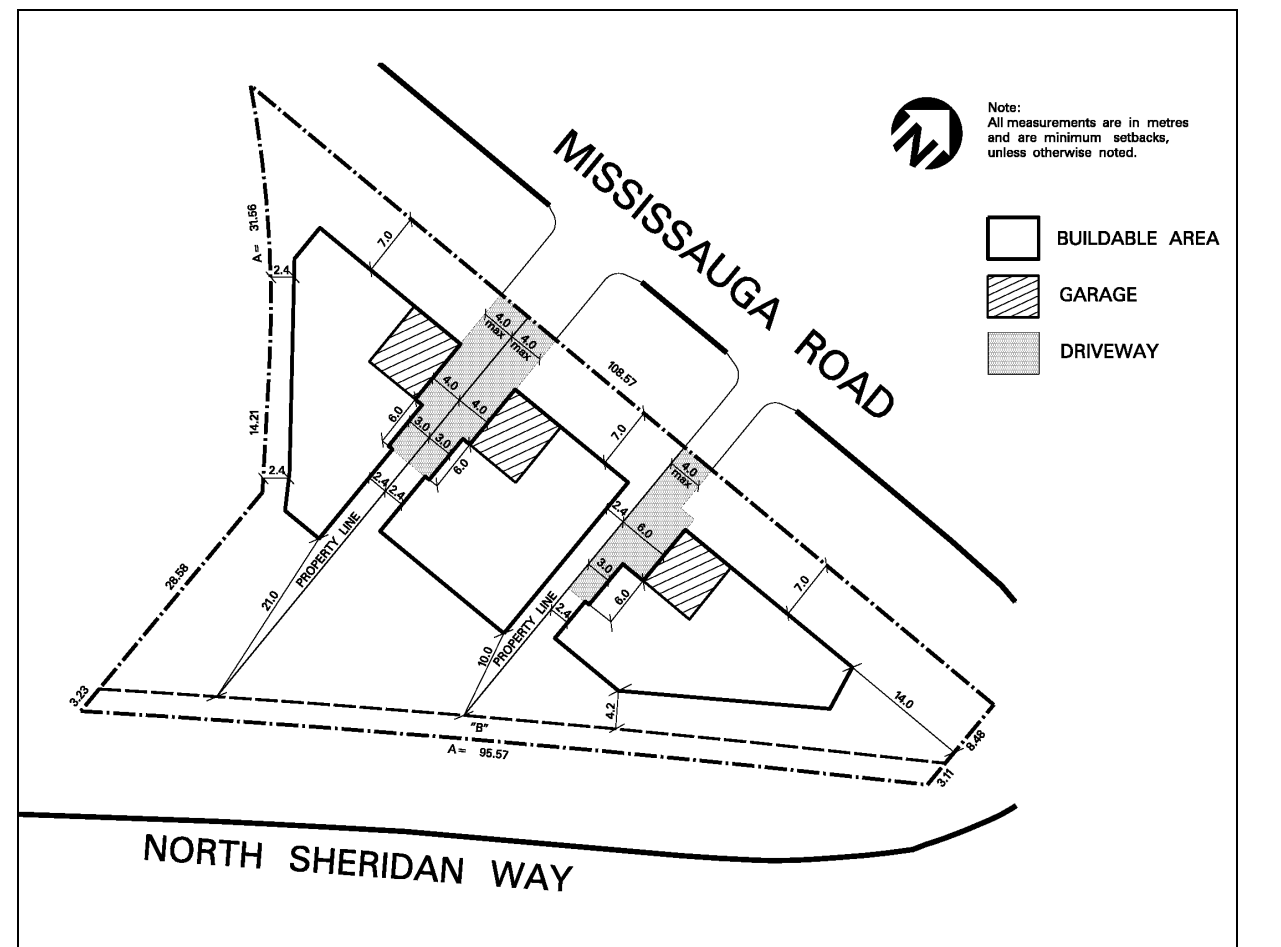
4.2.2.10	Exception: RL-10	Map # 03, 07, 08, 10	By-law: 0048-2025
In a RL-10 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Regulation			
4.2.2.10.1	The regulations contained in Subsection 4.2.2 of this By-law shall apply		
4.2.2.10.2	<i>deleted</i>		

4.2.2.11	Exception: RL-11	Map # 03, 07, 08, 10	By-law: 0048-2025
In a RL-11 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Regulation			
4.2.2.11.1	The regulations contained in Subsection 4.2.2 of this By-law shall apply		
4.2.2.11.2	<i>deleted</i>		

4.2.2.12	Exception: RL-12	Map # 09	By-law: 0048-2025
In a RL-12 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Regulations			
4.2.2.12.1	The regulations contained in Subsection 4.2.2 of this By-law shall apply		
4.2.2.12.2	A detached dwelling shall comply with the RL zone regulations contained in Subsection 4.2.1 of this By-law except that: <div><div>(1) minimum lot area - interior lot</div><div>(2) minimum lot area - corner lot</div><div>(3) minimum lot frontage - interior lot</div><div>(4) minimum lot frontage - corner lot</div></div>		

4.2.2.13	Exception: RL-13	Map #	By-law: <i>deleted by LPAT Order 2019 August 20, 0048-2025</i>

4.2.2.14	Exception: RL-14	Map # 16	By-law: 0181-2016, 0208-2022, 0048-2025
<p>In a RL-14 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses/regulations shall apply:</p>			
Regulations			
4.2.2.14.1	<i>deleted</i>		
4.2.2.14.2	<i>deleted</i>		
4.2.2.14.3	<i>deleted</i>		
4.2.2.14.4	<i>deleted</i>		
4.2.2.14.5	The lot line abutting Mississauga Road shall be deemed to be the front lot line		
4.2.2.14.6	<i>deleted</i>		
4.2.2.14.7	<i>deleted</i>		
4.2.2.14.8	Driveways and parking areas shall be constructed of a pervious material		
4.2.2.14.9	Accessory buildings and structures and swimming pools may be located outside the buildable area and shall only be located in the rear yard		
4.2.2.14.10	All site development plans shall comply with Schedule RL-14 of this Exception		



Schedule RL-14
Map 16

4.2.2.15	Exception: RL-15	Map # 10	By-law: 0048-2025
In a RL-15 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Regulations			
4.2.2.15.1	<i>deleted</i>		
4.2.2.15.2	<i>deleted</i>		
4.2.2.15.3	Minimum setback from Clarkson Road North		18.0 m

4.2.2.16	Exception: RL-16	Map # 17	By-law: 0379-2009, 0048-2025
In a RL-16 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Regulations			
4.2.2.16.1	The provisions contained in Subsection 4.1.16 and 4.1.17 of this By-law shall not apply		
4.2.2.16.2	<i>deleted</i>		
4.2.2.16.3	<i>deleted</i>		
4.2.2.16.4	<i>deleted</i>		
4.2.2.16.5	<i>deleted</i>		
4.2.2.16.6	<i>deleted</i>		
4.2.2.16.7	<i>deleted</i>		
4.2.2.16.8	Tennis courts or any like recreational facilities shall not be permitted in the front yard		

4.2.2.17	Exception: RL-17	Map #	By-law: <i>deleted by 0048-2025</i>

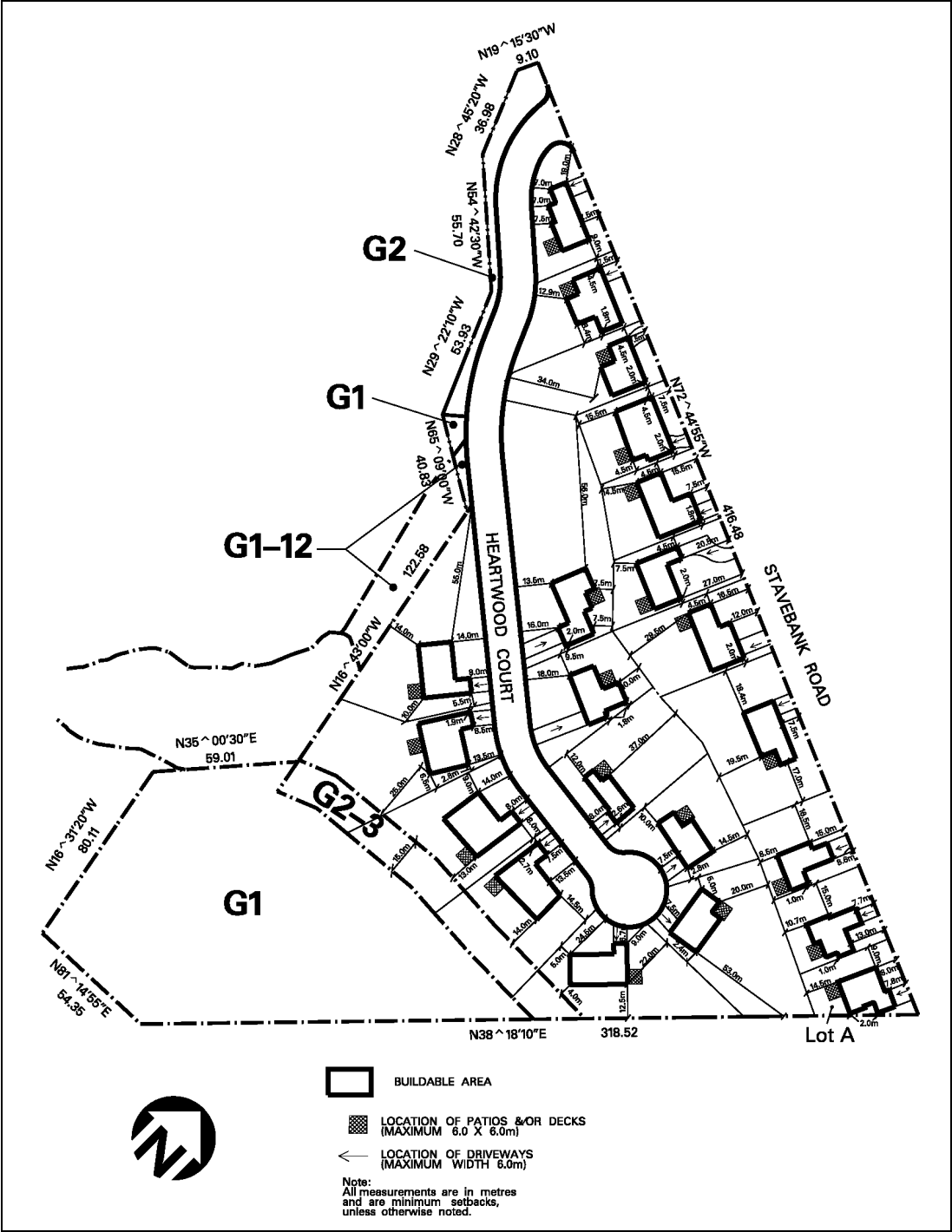
4.2.2.18	Exception: RL-18	Map #	By-law: <i>deleted by 0048-2025</i>

4.2.2.19	Exception: RL-19	Map # 24	By-law: 0048-2025
In a RL-19 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Regulations			
4.2.2.19.1	<i>deleted</i>		
4.2.2.19.2	<i>deleted</i>		
4.2.2.19.3	<i>deleted</i>		
4.2.2.19.4	<i>deleted</i>		
4.2.2.19.5	<i>deleted</i>		
4.2.2.19.6	Minimum number of parking spaces per dwelling unit	2	
4.2.2.19.7	Maximum projection of a garage beyond the main front entrance	0.0 m	
4.2.2.19.8	Maximum garage width: measured from the inside face of the garage side walls	5.5 m	
4.2.2.19.9	Maximum driveway width per lot	5.5 m	

4.2.2.20	Exception: RL-20	Map # 31	By-law: 0308-2011, 0048-2025
In a RL-20 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Regulations			
4.2.2.20.1	<i>deleted</i>		
4.2.2.20.2	A detached dwelling shall comply with the RL zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1) minimum front yard	6.5 m	
	(2) minimum exterior side yard	4.5 m	
	(3) minimum setback to the rear lot line , where lands contain or abut a G2-3 or G2-4(12) zone	29.0 m	

4.2.2.21	Exception: RL-21	Map #	By-law: <i>deleted by 0048-2025</i>

4.2.2.22	Exception: RL-22	Map # 15	By-law: 0325-2008, 0208-2022, 0048-2025
In a RL-22 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses/regulations shall apply:			
Regulations			
4.2.2.22.1	<i>deleted</i>		
4.2.2.22.2	<i>deleted</i>		
4.2.2.22.3	<i>deleted</i>		
4.2.2.22.4	The areas outside the buildable areas and driveway locations identified on Schedule RL-22 of this Exception are tree preservation areas and shall only be used for conservation purposes and no buildings or structures , swimming pools , tennis courts or any like recreational facilities shall be permitted outside the buildable areas , except for fences along the lot lines , patios and/or decks		
4.2.2.22.5	All site development plans shall comply with Schedule RL-22 of this Exception		



Schedule RL-22
Map 15

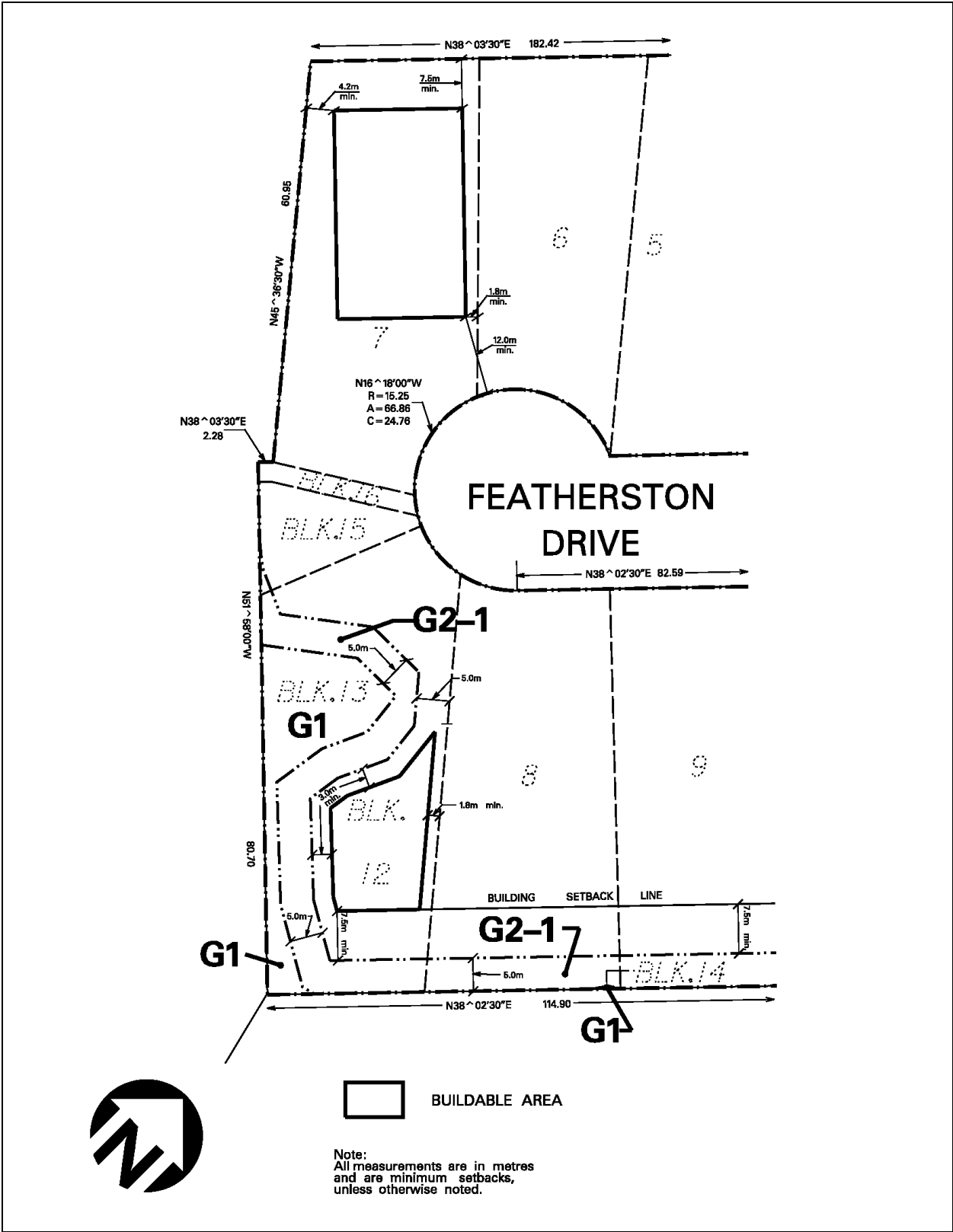
4.2.2.23	Exception: RL-23	Map # 31	By-law: 0308-2011, 0048-2025
In a RL-23 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Regulations			
4.2.2.23.1	<i>deleted</i>		
4.2.2.23.2	A detached dwelling shall comply with the RL zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1) minimum front yard	6.5 m	
4.2.2.23.3	<i>deleted</i>		
4.2.2.23.4	Minimum setback to the rear lot line		30.0 m
4.2.2.23.5	Notwithstanding Sentence 4.2.2.23.4, minimum setback to the rear lot line of all accessory buildings and structures and swimming pools		15.0 m

4.2.2.24	Exception: RL-24	Map # 38W	By-law: 0048-2025
In a RL-24 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Regulations			
4.2.2.24.1	Maximum lot coverage - detached dwelling not exceeding one storey		40%
4.2.2.24.2	<i>deleted</i>		
4.2.2.24.3	<i>deleted</i>		
4.2.2.24.4	<i>deleted</i>		
4.2.2.24.5	Minimum rear yard		30.0 m
4.2.2.24.6	Minimum setback to the rear lot line of all accessory buildings and structures and swimming pools		15.0 m

4.2.2.25	Exception: RL-25	Map # 39E	By-law: 0048-2025
In a RL-25 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Regulation			
4.2.2.25.1	Maximum lot coverage - detached dwelling not exceeding one storey		40%
4.2.2.25.2	deleted		
4.2.2.25.3	deleted		
4.2.2.25.4	deleted		

4.2.2.26	Exception: RL-26	Map # 56	By-law: 0048-2025
In a RL-26 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses/regulations shall apply:			
Additional Permitted Use			
4.2.2.26.1	(1)	Veterinary Clinic	
Regulations			
4.2.2.26.2	A veterinary clinic shall comply with the RL zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1)	minimum depth of a landscaped buffer measured from the lot line abutting Britannia Road West	4.5 m
	(2)	"Veterinary Clinic" means a building, structure or part thereof, where domesticated animals, excluding livestock, are given medical and/or surgical treatment, grooming or care by a veterinarian licensed by the Province of Ontario. Indoor overnight boarding of animals shall be permitted.	

4.2.2.27	Exception: RL-27	Map # 24	By-law: 0048-2025
In a RL-27 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses/regulations shall apply:			
Regulations			
4.2.2.27.1	Minimum lot area - interior lot		1200 m ²
4.2.2.27.2	Minimum lot frontage - interior lot		22.8 m
4.2.2.27.3	Maximum lot coverage		285 m ²
4.2.2.27.4	Minimum front yard - interior lot		12.0 m
4.2.2.27.5	Minimum interior side yard - interior lot		4.2 m on one side and 1.8 m + 0.61 m for each additional storey or portion thereof above one storey on the other side
4.2.2.27.6	Minimum rear yard - interior lot that abuts an RL zone		7.5 m
4.2.2.27.7	Minimum rear yard - all other interior lots		12.5 m
4.2.2.27.8	Maximum height - highest ridge: sloped roof		9.5 m
4.2.2.27.9	All site development plans shall comply with Schedule RL-27 of this Exception		



Schedule RL-27
Map 24

4.2.2.28	Exception: RL-28	Map # 15	By-law: 0181-2018/LPAT Order 2019 February 15, 0208-2022, 0048-2025
In a RL-28 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses/regulations shall apply:			
Regulations			
4.2.2.28.1	Maximum number of dwelling units on all lands zoned RL-28		40
4.2.2.28.2	Minimum landscaped area		45% of lot area
4.2.2.28.3	Maximum gross floor area - residential per detached dwelling		445 m ²
4.2.2.28.4	Minimum setback to a condominium road		4.5 m
4.2.2.28.5	Minimum setback of a garage face to a condominium road		6.0 m
4.2.2.28.6	Minimum distance between buildings		3.0 m
4.2.2.28.7	Minimum setback of all buildings and structures to any lot line or lands zoned G1		7.5 m
4.2.2.28.8	Maximum height - highest ridge: sloped roof		11.5 m
4.2.2.28.9	<i>deleted</i>		
4.2.2.28.10	Height of all buildings and structures shall be measured from established grade		
4.2.2.28.11	Maximum projection of a porch or deck outside the buildable area identified on Schedule RL-28 of this Exception, provided that the minimum distance between any building or structure shall be 3.0 m		2.5 m
4.2.2.28.12	Maximum projection of a bay window, with or without a foundation or chimney outside the buildable area identified on Schedule RL-28 of this Exception, provided that the minimum distance between any buildings or structures shall be 3.0 m		1.5 m
4.2.2.28.13	Minimum number of parking spaces per dwelling unit		4
4.2.2.28.14	All site development plans shall comply with Schedule RL-28 of this Exception		

Revised: 2025 April 30

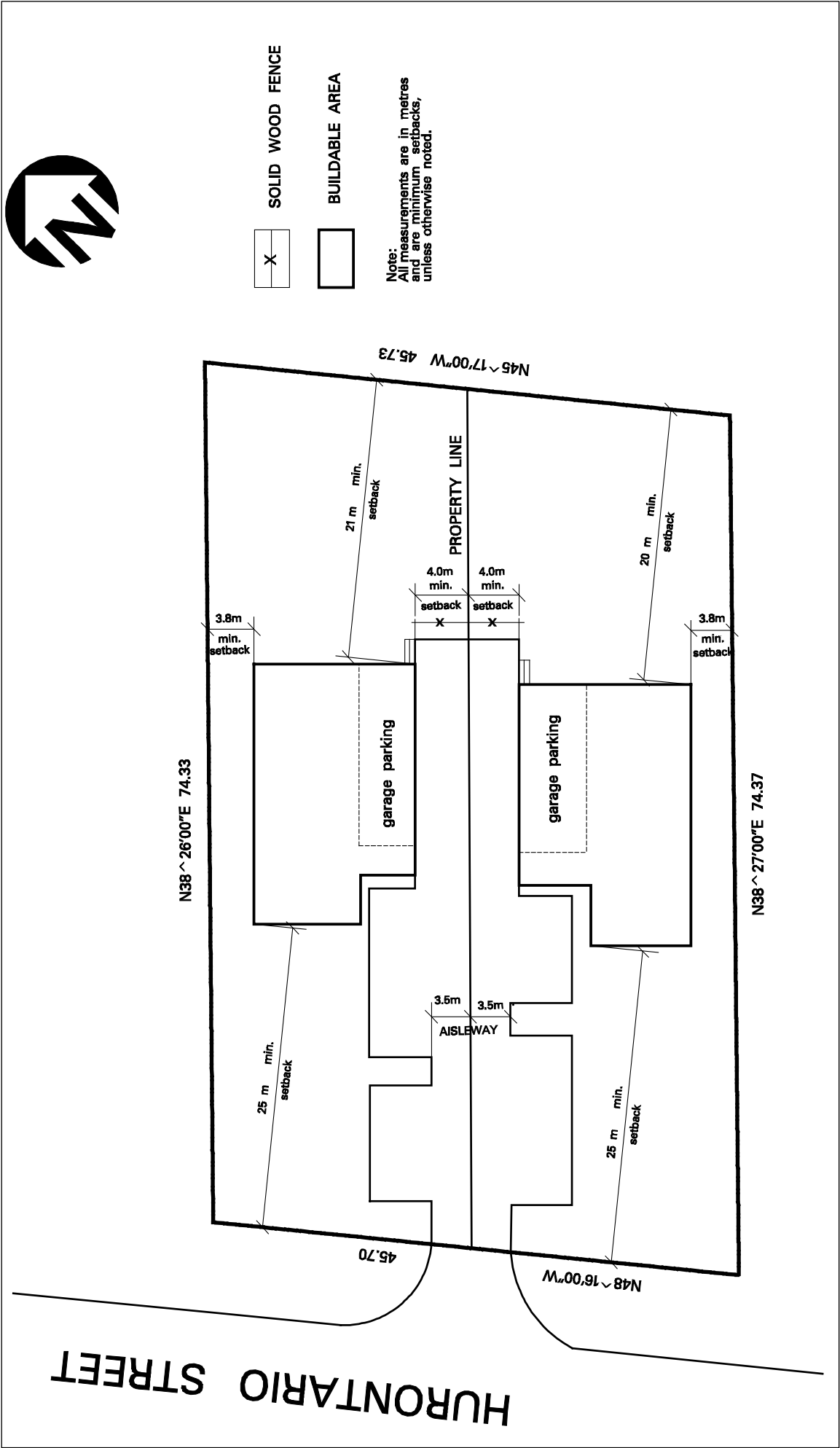
4.2.2.29	Exception: RL-29	Map # 07	By-law: 0054-2009, 0171-2015/OMB Order 2016 April 04, 0193-2016/ OMB Order 2017 May 30, 0048-2025
In a RL-29 zone the applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Permitted Uses			
4.2.2.29.1	Lands zoned RL-29 shall only be used for the following: (1) Detached Dwelling or (2) Semi-Detached or (3) Office or (4) Office with one dwelling unit (5) Outdoor swimming pool accessory to an office or an office with one dwelling unit		
Regulations			
4.2.2.29.2	<i>deleted</i>		
4.2.2.29.3	Maximum gross floor area - non-residential	383 m ²	
4.2.2.29.4	Maximum driveway width for an office or an office with one dwelling unit	13.0 m	
4.2.2.29.5	Minimum depth of a landscaped buffer adjacent to Hurontario Street	7.5 m	
4.2.2.29.6	<i>deleted</i>		
4.2.2.29.7	<i>deleted</i>		
4.2.2.29.8	<i>deleted</i>		
4.2.2.29.9	<i>deleted</i>		
4.2.2.29.10	Maximum number of accessory buildings and structures for an office or an office with one dwelling unit	2	
4.2.2.29.11	Maximum number of tandem parking spaces	4	
4.2.2.29.12	An aisle adjacent to tandem parking spaces shall not be required		
4.2.2.29.13	Parking areas may be constructed of a permeable type of material		
4.2.2.29.14	An outdoor swimming pool permitted in Clause 4.2.2.29.1(5) of this Exception shall comply with the provisions contained in Sentences 4.1.4.1.1 and 4.1.4.1.2 of this By-law		

4.2.2.30	Exception: RL-30	Map # 07	By-law: 0171-2015/OMB Order 2016 April 04, 0212-2015, 0193-2016/ OMB Order 2017 May 30, 0048-2025
In a RL-30 zone the applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Permitted Uses			
4.2.2.30.1	Lands zoned RL-30 shall only be used for the following:		
	(1) Detached Dwelling or		
	(2) Semi-Detached or		
	(3) Office		
	(4) Medical Office - Restricted		
Regulation			
4.2.2.30.2	Maximum total gross floor area - non-residential	130 m ²	
4.2.2.30.3	<i>deleted</i>		
4.2.2.30.4	<i>deleted</i>		
4.2.2.30.5	<i>deleted</i>		
4.2.2.30.6	<i>deleted</i>		
4.2.2.30.7	<i>deleted</i>		

4.2.2.31	Exception: RL-31	Map # 07	By-law: 0171-2015/OMB Order 2016 April 04, 0193-2016/OMB Order 2017 May 30, 0048-2025
In a RL-31 zone the applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Permitted Uses			
4.2.2.31.1	Lands zoned RL-31 shall only be used for the following:		
	(1) Detached Dwelling or		
	(2) Semi-Detached or		
	(3) Dental Laboratory or		
	(4) Office and/or Medical Office - Restricted		
Regulations			
4.2.2.31.2	<i>deleted</i>		
4.2.2.31.3	<i>deleted</i>		
4.2.2.31.4	<i>deleted</i>		
4.2.2.31.5	<i>deleted</i>		
4.2.2.31.6	<i>deleted</i>		
4.2.2.31.7	A dental laboratory, office and a medical office - restricted shall comply with the RL zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1)	minimum lot frontage - interior lot	20.0 m
	(2)	maximum total gross floor area - non-residential	80 m ²
	(3)	minimum parking spaces per 100 m ² gross floor area - non-residential used for a dental laboratory	3.2

4.2.2.32	Exception: RL-32	Map # 07	By-law: 0048-2025
In a RL-32 zone the applicable regulations shall be as specified for a RL zone except that the following uses/regulations shall apply:			
Permitted Uses			
4.2.2.32.1	Lands zoned RL-32 shall only be used for the following:		
	(1) Office		
	(2) Medical Office - Restricted		
Regulations			
4.2.2.32.2	Minimum lot frontage - interior lot		30.0 m
4.2.2.32.3	Maximum total gross floor area - non-residential		585 m ²

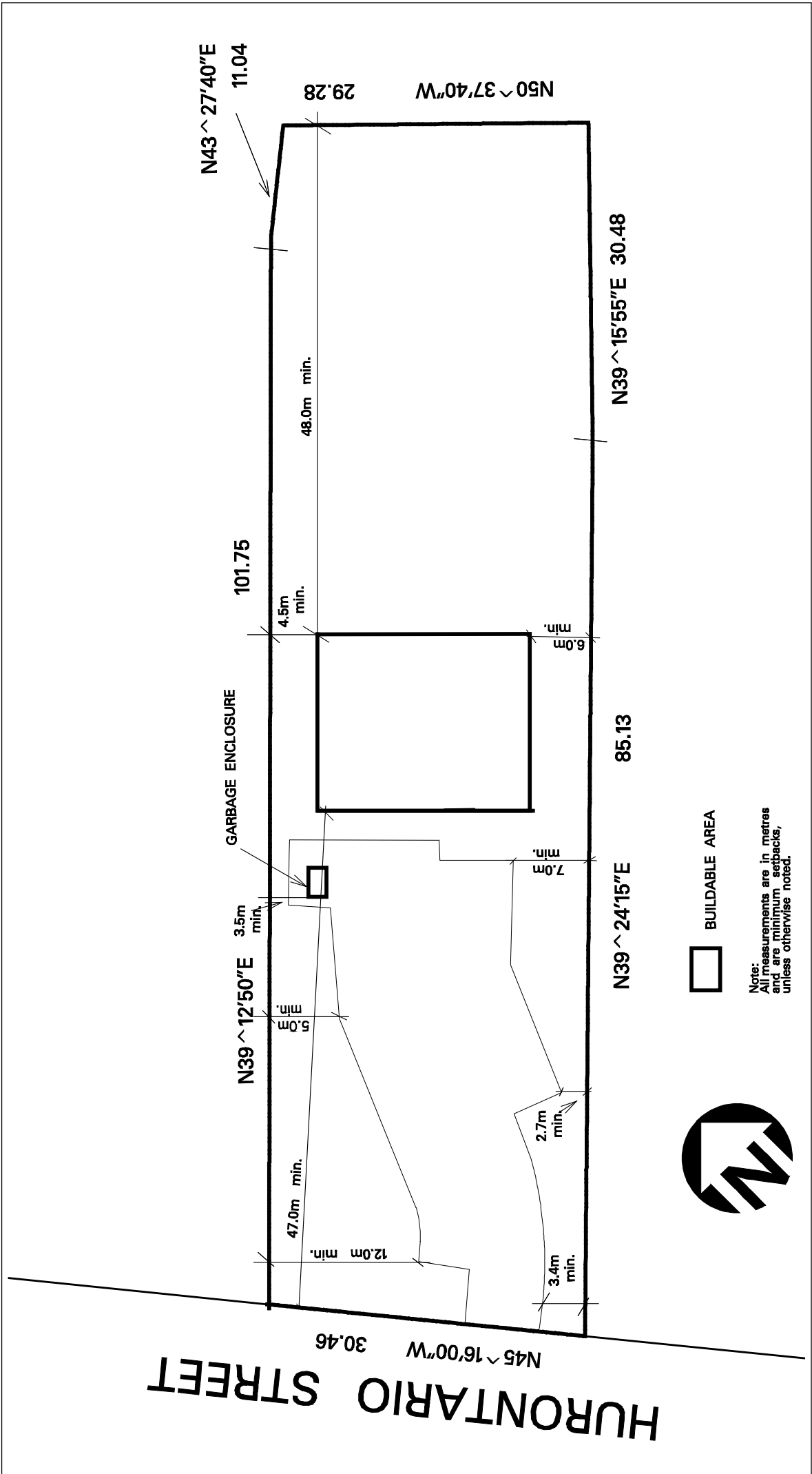
4.2.2.33	Exception: RL-33	Map # 07	By-law: 0048-2025
In a RL-33 zone the applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Permitted Uses			
4.2.2.33.1	Lands zoned RL-33 shall only be used for the following:		
	(1) Office		
	(2) Medical Office - Restricted		
Regulations			
4.2.2.33.2	Maximum gross floor area - non-residential		418 m ²
4.2.2.33.3	An office and medical office - restricted shall not be permitted below average grade		
4.2.2.33.4	Minimum number of parking spaces for a medical office - restricted		The greater of 5.0 spaces per practitioner, or 6.5 spaces per 100 m ² gross floor area - non-residential
4.2.2.33.5	No outdoor storage shall be permitted		
4.2.2.33.6	All site development plans shall comply with Schedule RL-33 of this Exception		



Schedule RL-33
Map 07

4.2.2.34	Exception: RL-34	Map # 15	By-law: 0048-2025
In a RL-34 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses/regulations shall apply:			
Regulations			
4.2.2.34.1	The regulations of Line 4.1 contained in Table 4.2.1 of this By-law shall not apply		
4.2.2.34.2	Minimum setback of all buildings and structures to G1 and G1-12 zones		10.0 m
4.2.2.34.3	Access shall be permitted from lands zoned G1-12		

4.2.2.35	Exception: RL-35	Map # 07	By-law: 0208-2022, 0048-2025
In a RL-35 zone the applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Permitted Uses			
4.2.2.35.1	Lands zoned RL-35 shall only be used for the following:		
	(1) Office (2) Medical Office - Restricted		
Use Not Permitted			
4.2.2.35.2	(1) Office and/or medical office - restricted that requires more than 23 parking spaces		
Regulations			
4.2.2.35.3	Minimum landscaped area	65% of lot area	
4.2.2.35.4	Maximum gross floor area - non-residential	552 m ²	
4.2.2.35.5	The use of any part of the building below established grade shall be restricted to the following:		
	(1) climate control, electrical, energy generation and distribution, mechanical equipment related to the operation or maintenance of the building ; (2) areas of stairwells, washrooms or elevators; (3) collection or storage of disposable or recyclable waste generated within the building ; (4) storage incidental to permitted uses in the building ; (5) lunch rooms, lounges or washrooms for the personal needs of occupants of the building .		
4.2.2.35.6	Maximum height - highest ridge: sloped roof	11.6 m	
4.2.2.35.7	Maximum encroachment of a porch outside the buildable area identified on Schedule RL-35 of this Exception, into the required front yard	1.7 m	
4.2.2.35.8	Maximum encroachment of an uncovered ramp for handicapped access outside the buildable area identified on Schedule RL-35 of this Exception into the required northerly interior side yard	3.0 m	
4.2.2.35.9	Maximum number of parking spaces	23	
4.2.2.35.10	All site development plans shall comply with Schedule RL-35 of this Exception		



Schedule RL-35
Map 07

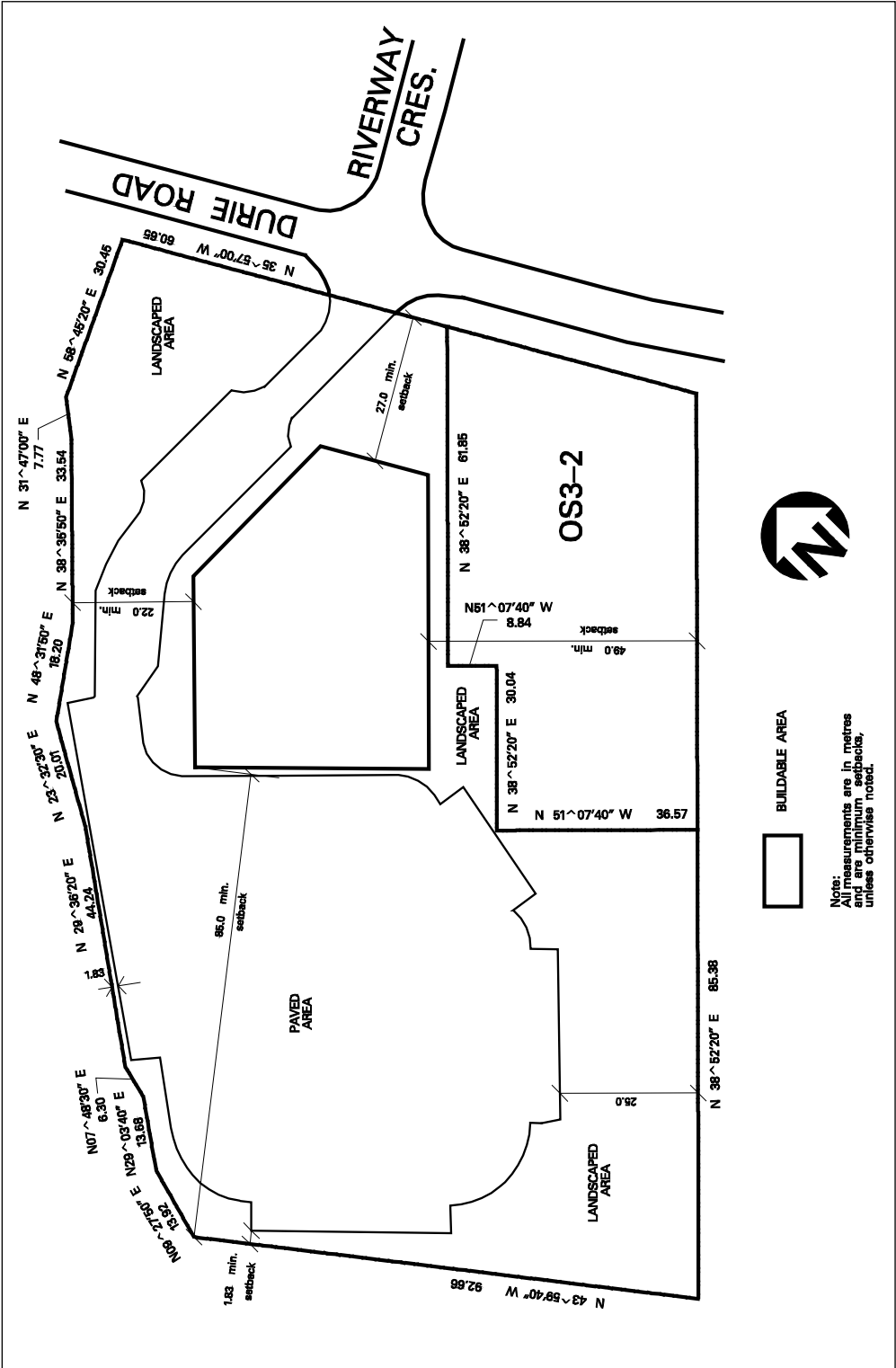
4.2.2.36	Exception: RL-36	Map #	By-law: <i>deleted by 0048-2025</i>

4.2.2.37	Exception: RL-37	Map # 38E	By-law: 0048-2025
In a RL-37 zone the applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Permitted Uses			
4.2.2.37.1	Lands zoned RL-37 shall only be used for the following: (1) Place of Religious Assembly (2) Accessory uses to a place of religious assembly		
Regulations			
4.2.2.37.2	The regulations of Line 2.2 contained in Table 2.1.9.3 of this By-law shall not apply		
4.2.2.37.3	Minimum interior side yard - interior lot	12.0 m	
4.2.2.37.4	Maximum height	13.5 m	
4.2.2.37.5	Accessory uses to a place of religious assembly shall only include administrative offices associated with a place of religious assembly , a day care and a private community centre		

4.2.2.38	Exception: RL-38	Map # 38W	By-law: 0048-2025
In a RL-38 zone the applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Permitted Uses			
4.2.2.38.1	Lands zoned RL-38 shall only be used for the following:		
	(1) Place of Religious Assembly (2) Accessory uses to a place of religious assembly		
Regulations			
4.2.2.38.2	Maximum gross floor area - non-residential	1 430 m ²	
4.2.2.38.3	Minimum front yard - interior lot	27.0 m	
4.2.2.38.4	Minimum interior side yard - interior lot	49.0 m on one side and 22.0 m on the other side	
4.2.2.38.5	Minimum rear yard - interior lot	85.0 m	
4.2.2.38.6	Maximum height including any steeple or spire	12.2 m	
4.2.2.38.7	Minimum number of parking spaces	198	

Exception RL-38 continued on next page

4.2.2.38	Exception: RL-38	Map # 38W	By-law: 0048-2025
Exception RL-38 continued from previous page			
4.2.2.38.8	A basement shall not be permitted under the nave or parish hall		
4.2.2.38.9	Maximum seating within the nave, based on a seat width of 0.51 m per person and 0.914 m between the back of each seat and the back of the seat immediately behind it	690 persons	
4.2.2.38.10	The interior wall separating the nave and the parish hall shall be of solid block construction, with no doorway, windows or openings of any kind		
4.2.2.38.11	Accessory uses to a place of religious assembly shall only include a parish hall, rectory and office , but shall not include a day care		
4.2.2.38.12	All site development plans shall comply with Schedule RL-38 of this Exception		



Schedule RL-38
Map 38W

4.2.2.39	Exception: RL-39	Map # 37E	By-law: 0048-2025
In a RL-39 zone the applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Permitted Uses			
4.2.2.39.1	Lands zoned RL-39 shall only be used for the following:		
	(1)	Detached Dwelling or	
	(2)	Semi-Detached or	
	(3)	Medical Office - Restricted	
Regulations			
4.2.2.39.2	A medical office - restricted shall comply with the RL zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1)	maximum number of physicians, dentists, drugless practitioners or health professionals permitted to practise	2
	(2)	minimum lot frontage	60.0 m
	(3)	minimum front yard	20.0 m
	(4)	minimum interior side yard	13.0 m
	(5)	minimum parking spaces per professional/practitioner	5

4.2.2.40	Exception: RL-40	Map # 44W, 45E, 52W, 53E	By-law: 0308-2011, 0192-2014, 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RL-40 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Regulations			
4.2.2.40.1	The regulations of Sentence 3.1.1.7.1 of this By-law shall not apply		
4.2.2.40.2	<i>deleted</i>		
4.2.2.40.3	Minimum combined width of side yards :		
	(1)	one storey detached dwelling	20% of the lot frontage
	(2)	two storey detached dwelling	27% of the lot frontage
4.2.2.40.4	A flat roof shall not be permitted		
4.2.2.40.5	Maximum height - highest ridge: sloped roof		7.5 m
4.2.2.40.6	Maximum gross floor area - infill residential		160 m ² plus 0.10 times the lot area
4.2.2.40.7	An attached garage shall not be permitted		
4.2.2.40.8	Maximum floor area of a detached garage		50 m ²
4.2.2.40.9	Maximum projection of the garage face of a detached garage beyond any portion of the first floor front wall or exterior side wall		0.0 m
4.2.2.40.10	Maximum driveway width		3.0 m

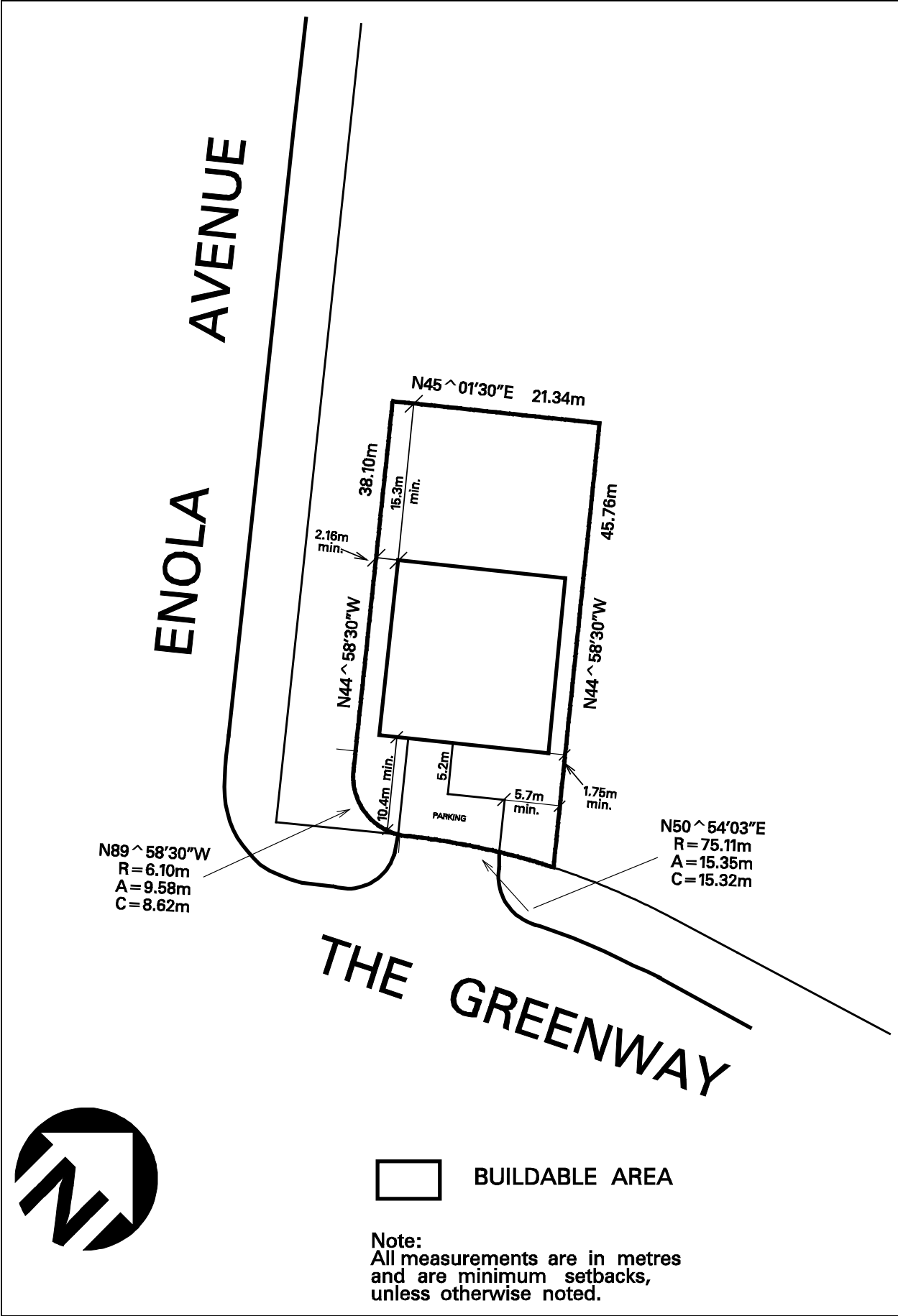
4.2.2.41	Exception: RL-41	Map # 03	By-law: 0048-2025
In a RL-41 zone the applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Permitted Uses			
4.2.2.41.1	Lands zoned RL-41 shall only be used for the following:		
	(1)	Detached Dwelling or	
	(2)	Semi-Detached or	
	(3)	Office	
	(4)	Medical Office - Restricted	

4.2.2.42	Exception: RL-42	Map # 38W	By-law: 0174-2017, 0048-2025
In a RL-42 zone the applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Permitted Use			
4.2.2.42.1	Lands zoned RL-42 shall only be used for the following:		
	(1)	Long-Term Care Building	
Regulations			
4.2.2.42.2	A long-term care building shall comply with the RA1 zone regulations contained in Subsection 4.15.1 of this By-law except that:		
	(1)	the provisions contained in Article 4.1.15.1 of this By-law shall apply	
	(2)	maximum lot coverage	30%
	(3)	minimum landscaped area	30% of the lot area
	(4)	minimum front yard	7.5 m
	(5)	minimum exterior side yard	7.5 m
	(6)	minimum interior side yard	6.0 m
	(7)	minimum rear yard	7.5 m
	(8)	maximum height - highest ridge: sloped roof	12.2 m

4.2.2.43	Exception: RL-43	Map # 03	By-law: 0308-2011, 0174-2017, 0048-2025
In a RL-43 zone the applicable regulations shall be as specified for a RL zone except that the following uses/regulations shall apply:			
Permitted Use			
4.2.2.43.1	Lands zoned RL-43 shall only be used for the following:		
	(1) Retirement Building		
Regulations			
4.2.2.43.2	A retirement building shall comply with the RA1 zone regulations contained in Subsection 4.15.1 of this By-law except that:		
	(1) the provisions contained in Article 4.1.15.1 of this By-law shall apply		
	(2) maximum height	10.7 m and 3 storeys	

4.2.2.44	Exception: RL-44	Map # 07	By-law: 0048-2025
In a RL-44 zone the applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Permitted Uses			
4.2.2.44.1	Lands zoned RL-44 shall only be used for the following:		
	(1)	Office	
	(2)	Medical Office - Restricted	
Regulations			
4.2.2.44.2	Maximum number of physicians, dentists, drugless practitioners or health professionals permitted to practise		1
4.2.2.44.3	Maximum lot coverage		25%
4.2.2.44.4	Minimum landscaped area		40% of the lot area
4.2.2.44.5	Maximum total gross floor area - non-residential		420 m ²
4.2.2.44.6	Maximum gross floor area - non-residential used for a medical office - restricted		138 m ²
4.2.2.44.7	The use of any part of the building below grade shall be restricted to the following:		
	(1)	climate control, electrical, energy generation and distribution, mechanical equipment related to the operation or maintenance of the building ;	
	(2)	areas of stairwells, washrooms or elevators;	
	(3)	collection or storage of disposable or recyclable waste generated within the building ;	
	(4)	storage incidental to permitted uses in the building ;	
	(5)	lunch rooms, lounges or fitness rooms for the personal needs of occupants of the building .	
4.2.2.44.8	Maximum height - highest ridge: sloped roof		10.7 m
4.2.2.44.9	Maximum height: flat roof		7.5 m
4.2.2.44.10	Minimum required parking spaces per 100 m ² gross floor area - non- residential used for a dental office		4.3
4.2.2.44.11	Maximum number of parking spaces		14
4.2.2.44.12	Maximum number of tandem parking spaces		4
4.2.2.44.13	Maximum encroachment of an uncovered ramp for handicapped access into required yards as follows:		
	(1)	northerly side yard	1.0 m
	(2)	front yard	8.0 m

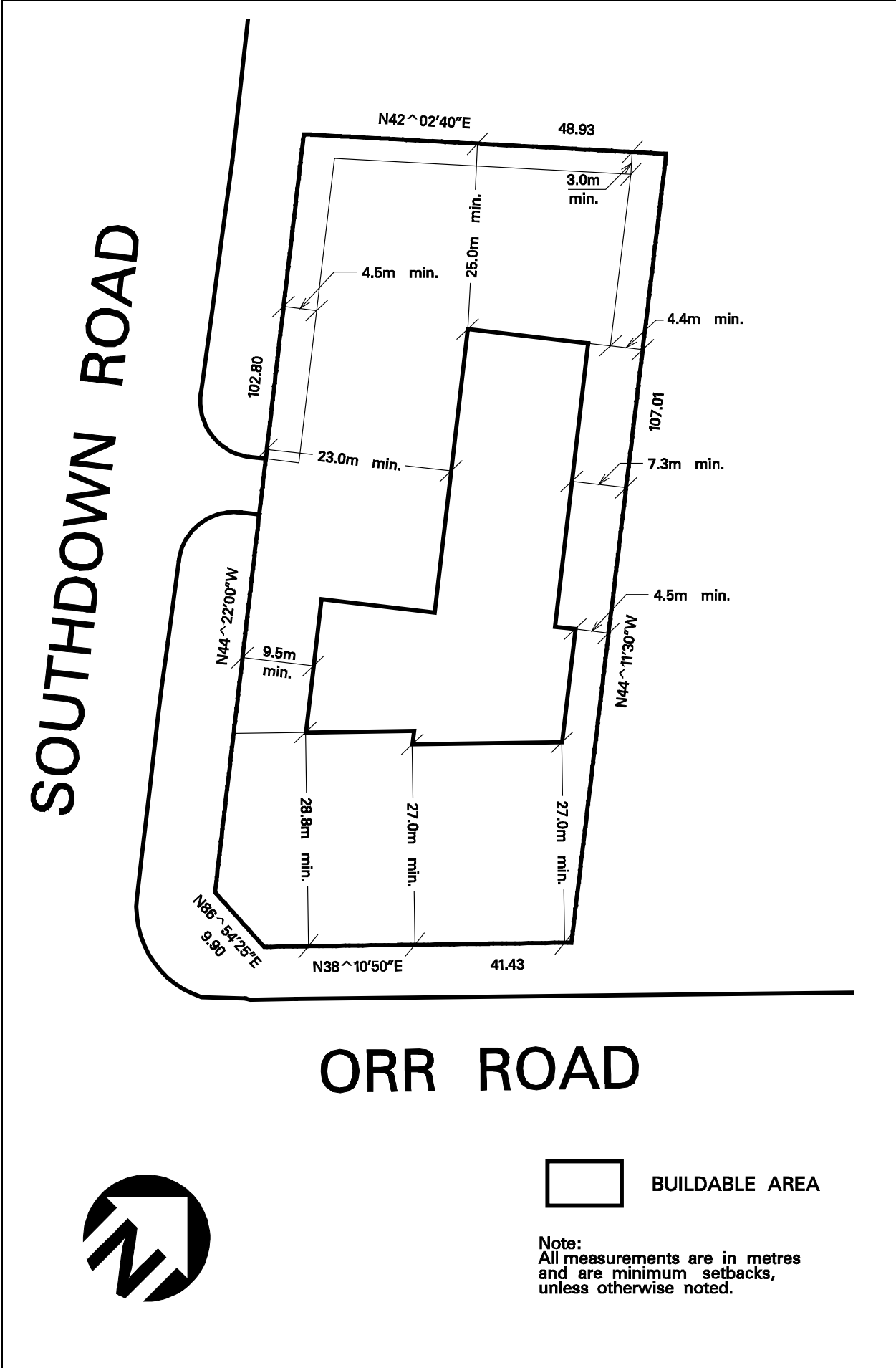
4.2.2.45	Exception: RL-45	Map # 07	By-law: 0171-2015/OMB Order 2016 April 04, 0193-2016/OMB Order 2017 May 30, 0174-2017, 0048-2025
In a RL-45 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses/regulations shall apply:			
Additional Permitted Use			
4.2.2.45.1	(1)	Retirement Building	
Regulations			
4.2.2.45.2	Maximum height - highest ridge of a detached dwelling: sloped roof		9.5 m
4.2.2.45.3	Maximum height of a detached dwelling: flat roof		7.5 m
4.2.2.45.4	Maximum height of eaves of a detached dwelling: from average grade to lower edge of eaves		6.4 m
4.2.2.45.5	Maximum dwelling unit depth		20.0 m
4.2.2.45.6	A retirement building shall comply with the RL zone regulations contained in Subsection 4.2.1 of this By-law except that: (1) maximum gross floor area - apartment zone 417 m ² (2) maximum number of retirement dwelling units 14 (3) maximum height - highest ridge: sloped roof 10.7 m (4) minimum number of resident parking spaces per retirement dwelling unit 0.15 (5) minimum number of visitor parking spaces per retirement dwelling unit 0.15 (6) maximum number of tandem parking spaces 3 (7) all site development plans shall comply with Schedule RL-45 of this Exception		



Schedule RL-45
Map 07

4.2.2.46	Exception: RL-46	Map # 11	By-law: 0174-2017, 0092-2021, 0048-2025
In a RL-46 zone the applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Permitted Use			
4.2.2.46.1	Lands zoned RL-46 shall only be used for the following:		
	(1) Long-Term Care Building		
Regulation			
4.2.2.46.2	A long-term care building shall comply with the RA1 zone regulations contained in Subsection 4.15.1 of this By-law except that:		
	(1) the provisions contained in Article 4.1.15.1 of this By-law shall apply		

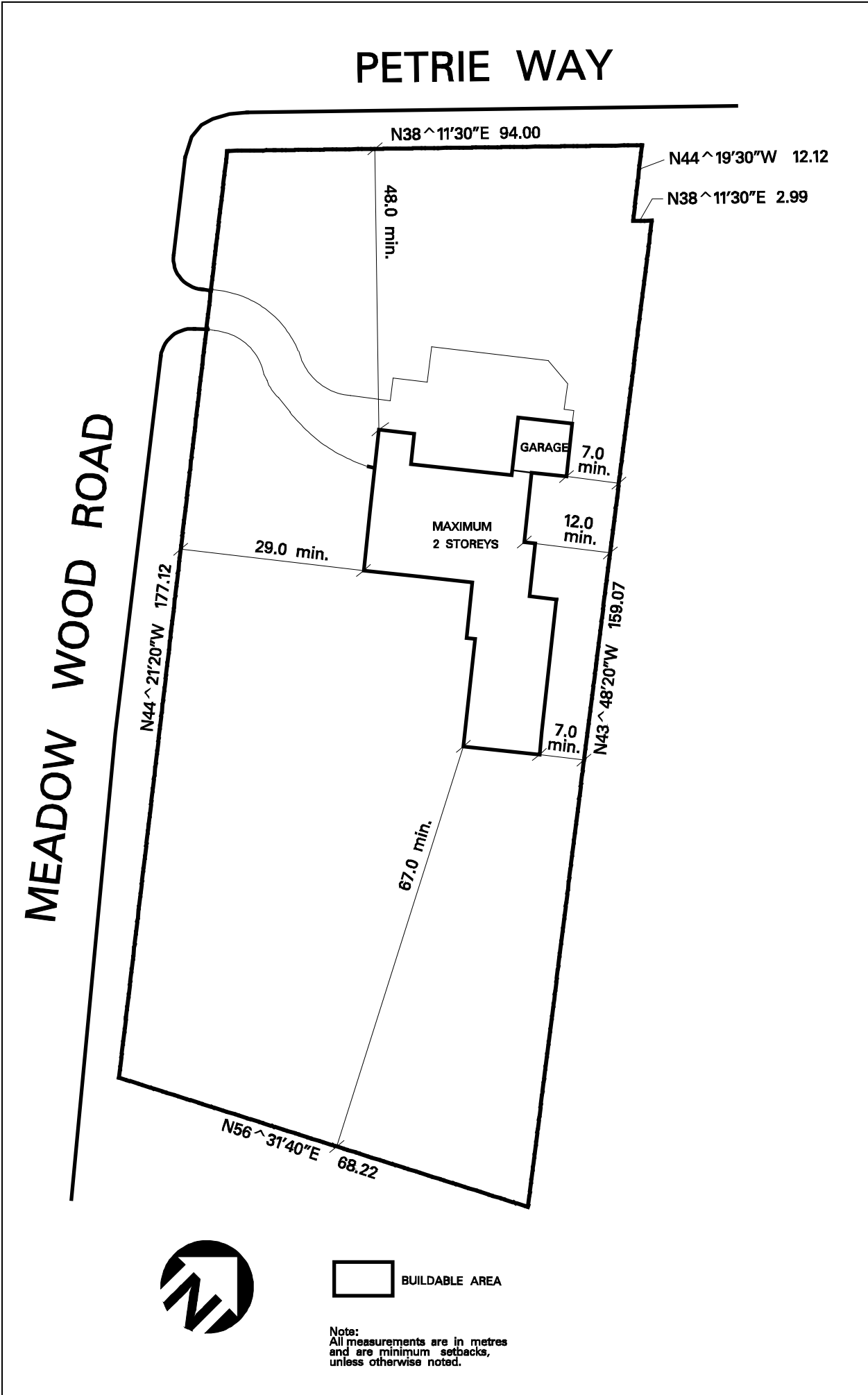
4.2.2.47	Exception: RL-47	Map # 03	By-law: 0174-2017, 0048-2025
In a RL-47 zone the applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Permitted Uses			
4.2.2.47.1	Lands zoned RL-47 shall only be used for the following:		
	(1) Supportive Housing Dwelling		
	(2) Office accessory to a supportive housing dwelling		
Regulations			
4.2.2.47.2	A supportive housing dwelling and office accessory to a supportive housing dwelling shall comply with the RA1 zone regulations contained in Subsection 4.15.1 of this By-law except that:		
	(1)	maximum number of bedrooms	14
	(2)	maximum total gross floor area - apartment zone and gross floor area - non-residential	2 100 m ²
	(3)	maximum gross floor area - non-residential of office	560 m ²
	(4)	maximum height	10.7 m
	(5)	minimum number of parking spaces	38
	(6)	"Supportive Housing Dwelling" means a building or part thereof which is licensed, approved or supervised by the Province under the Supportive Housing Program: Family Violence Initiative, approved under the <i>Ministry of Community and Social Services Act</i> , R.S.O. 1990, c.M.20, and its regulations	
	(7)	all site development plans shall comply with Schedule RL-47 of this Exception	



Schedule RL-47
Map 03

4.2.2.48	Exception: RL-48	Map # 52W	By-law: 0174-2017, 0112-2019, 0048-2025
In a RL-48 zone the applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Permitted Use			
4.2.2.48.1	Lands zoned RL-48 shall only be used for the following:		
	(1) Long-Term Care Building		
Regulations			
4.2.2.48.2	A long-term care building shall comply with the RA1 zone regulations contained in Subsection 4.15.1 of this By-law except that:		
	(1) the provisions contained in Article 4.1.15.1 of this By-law shall apply		
	(2) maximum number of beds		140
	(3) maximum lot coverage		22%
	(4) minimum landscaped area		55% of lot area
	(5) maximum gross floor area - apartment zone		4 181 m ²
	(6) minimum front yard - corner lot		26.0 m
	(7) minimum exterior side yard		30.0 m
	(8) minimum interior side yard - corner lot		7.5 m
	(9) minimum rear yard - corner lot		7.5 m
	(10) maximum height		2 storeys
	(11) minimum number of parking spaces per bed		0.34
	(12) minimum setback of a parking area to the street		7.5 m
	(13) minimum setback of a parking area to any other lot line		1.5 m
	(14) minimum setback of a parking area to a wall of a dwelling that does not have a window or any other opening into a habitable room		1.5 m
	(15) minimum setback of parking to any other wall of a dwelling		6.0 m
	(16) a maximum of one gazebo is permitted accessory to a long-term care dwelling		
	(17) maximum area of a gazebo		49 m ²
	(18) minimum setback of a gazebo to any lot line		8.0 m
	(19) maximum height of a gazebo		6.5 m
4.2.2.48.3	"Gazebo" means an unenclosed structure with a roof		

4.2.2.49	Exception: RL-49	Map # 03	By-law: 0048-2025
In a RL-49 zone the applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Permitted Use			
4.2.2.49.1	Lands zoned RL-49 shall only be used for the following:		
	(1) Supportive Housing Dwelling		
Regulations			
4.2.2.49.2	A supportive housing dwelling shall comply with the RL zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1)	maximum number of self-contained apartment dwelling units used to accommodate a maximum of eight adults and 16 children requiring specialized or group care	8
	(2)	maximum total gross floor area used for an apartment dwelling unit for staff and an office	580 m ²
	(3)	minimum number of parking spaces required	10
	(4)	"Supportive Housing Dwelling" means a building or part thereof which is licensed, approved or supervised by the Province under the Supportive Housing Program: Family Violence Initiative, approved under the <i>Ministry of Community and Social Services Act</i> , R.S.O. 1990, c.M.20, and its regulations	
	(5)	all site development plans shall comply with Schedule RL-49 of this Exception	



Schedule RL-49
Map 03

4.2.2.50	Exception: RL-50	Map # 38E	By-law: 0190-2014, 0048-2025
In a RL-50 zone the applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Permitted Uses			
4.2.2.50.1	Lands zoned RL-50 shall only be used for the following:		
	(1) Detached Dwelling or		
	(2) Semi-Detached or		
	(3) Medical Office - Restricted		

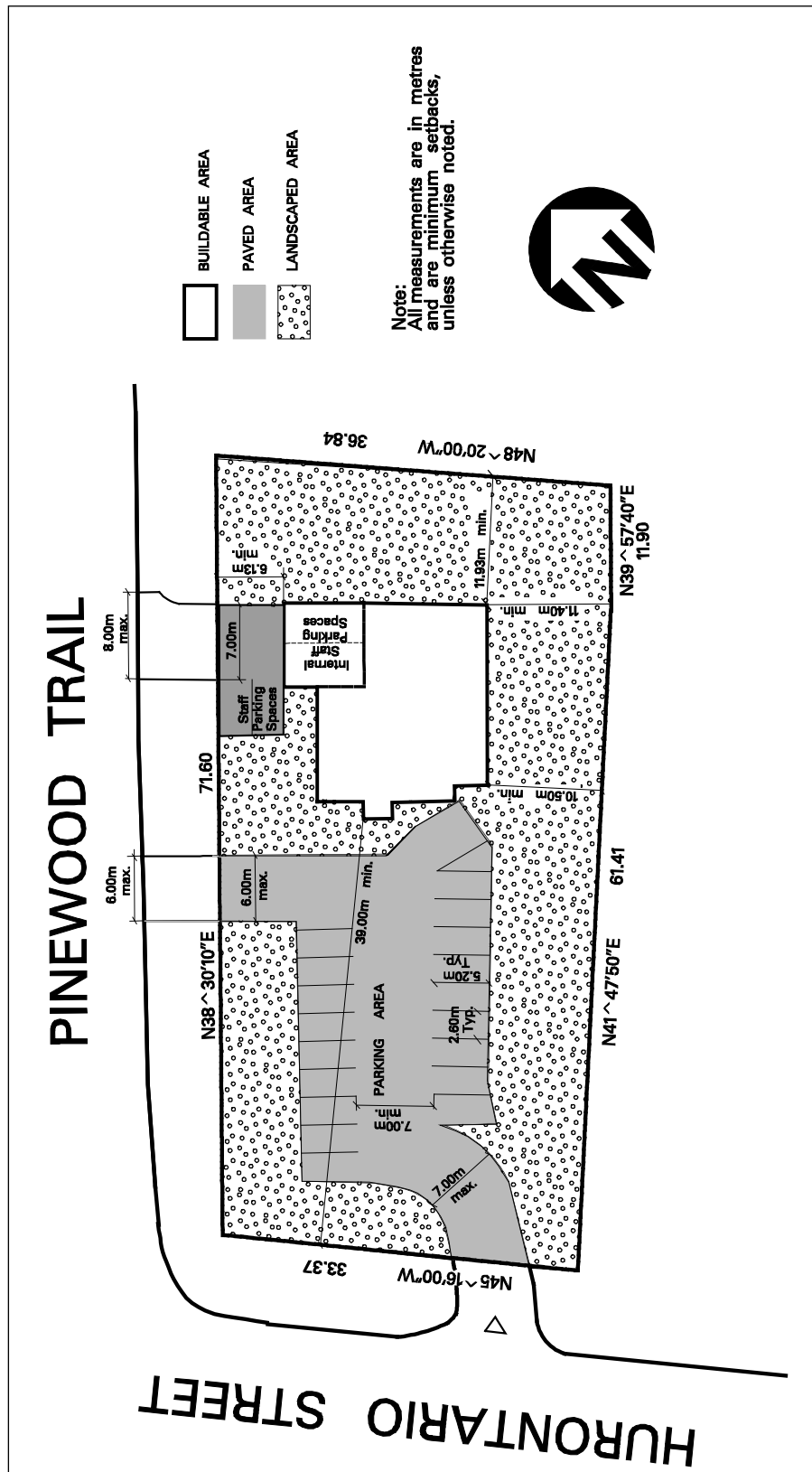
4.2.2.51	Exception: RL-51	Map # 38W	By-law: 0171-2015/ OMB Order 2016 April 04, 0193-2016/OMB Order 2017 May 30, 0048-2025
In a RL-51 zone the applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Permitted Uses			
4.2.2.51.1	Lands zoned RL-51 shall only be used for the following:		
	(1) Detached Dwelling or		
	(2) Semi-Detached or		
	(3) Private Club		

4.2.2.52	Exception: RL-52	Map #	By-law: <i>deleted by 0048-2025</i>

4.2.2.53	Exception: RL-53	Map # 07	By-law: 0208-2022, 0048-2025
In a RL-53 zone the applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Permitted Uses			
4.2.2.53.1	Lands zoned RL-53 shall only be used for the following:		
	(1)	Office	
	(2)	Medical Office - Restricted	
Use Not Permitted			
4.2.2.53.2	(1)	Office and/or medical office - restricted that requires more than 23 parking spaces	
Regulations			
4.2.2.53.3	An office and medical office - restricted shall comply with the RL zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1)	maximum number of physicians, dentists, drugless practitioners or health professionals permitted to practice at any one time	5
	(2)	maximum gross floor area	350 m ²
	(3)	maximum lot coverage	13%
	(4)	minimum landscaped area	50% of lot area
	(5)	the use of any part of the building below established grade shall be restricted to the following:	
	(1)	lunch rooms, lounges or fitness rooms for the personal needs of occupants of the building ;	
	(2)	storage incidental to permitted uses in the building ;	
	(3)	stairwells;	
	(4)	mechanical equipment related to heating, ventilation, and air conditioning of the building ;	
	(5)	communication devices, the electrical distribution panel, and accessory equipment;	
	(6)	storage of disposable or recyclable waste generated within the building .	
	(6)	maximum height - highest ridge: sloped roof	7.5 m
	(7)	maximum projection of a porch outside the buildable area identified on Schedule RL-53 of this Exception	1.8 m
	(8)	maximum number of parking spaces	23
	(9)	the parking area identified on Schedule RL-53 of this Exception for clients and visitors shall have full access to Pinewood Trail and restricted access to Hurontario Street	
	(10)	the four parking spaces identified on Schedule RL-53 of this Exception that have access from the easterly driveway on Pinewood Trail shall be reserved for use by staff only	
	(11)	a ramp for disabled persons may project outside the buildable area identified on Schedule RL-53 of this Exception	

Exception RL-53 continued on next page

4.2.2.53	Exception: RL-53	Map # 07	By-law: 0208-2022, 0048-2025
Exception RL-53 continued from previous page			
4.2.2.53.3 (continued)	(12)	minimum aisle width for the two parking spaces in the garage	6.13 m
	(13)	"Gross Floor Area" means the sum of the areas of each storey measured between the exterior of the faces of the exterior walls excluding the garage and any part of the building located below established grade	
	(14)	all site development plans shall comply with Schedule RL-53 of this Exception	



Schedule RL-53
Map 07

4.2.2.54	Exception: RL-54	Map # 56	By-law: <i>deleted by 0389-2009, 0146-2012, 0048-2025</i>
In a RL-54 zone the applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Permitted Uses			
4.2.2.54.1	Lands zoned RL-54 shall only be used for the following:		
	(1)	The existing heritage dwelling	
	(2)	The existing heritage outbuilding	

4.2.2.55	Exception: RL-55	Map #	By-law: 0174-2017, <i>deleted by 0230-2024, 0048-2025</i>

4.2.2.56	Exception: RL-56	Map # 53E	By-law: 0180-2021, 0048-2025
In a RL-56 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Regulations			
4.2.2.56.1	The regulations of Sentence 3.1.1.7.1 contained in Article 3.1.1.7 of this By-law shall not apply		
4.2.2.56.2	<i>deleted</i>		

4.2.2.57	Exception: RL-57	Map #	By-law: 0192-2014, <i>deleted by 0048-2025</i>

4.2.2.58	Exception: RL-58	Map #	By-law: 0171-2015/ OMB Order 2016 April 04, 0193-2016/OMB Order 2017 May 30, <i>deleted by</i> <i>0048-2025</i>

4.2.2.59	Exception: RL-59	Map #	By-law: OMB Order 2015 August 11, <i>deleted by</i> <i>0048-2025</i>

4.2.2.60	Exception: RL-60	Map # 39E, 45W	By-law: 0325-2008, 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RL-60 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Regulation			
4.2.2.60.1	<i>deleted</i>		
4.2.2.60.2	<i>deleted</i>		
4.2.2.60.3	Minimum setback to garage face - interior lot		7.5 m

4.2.2.61	Exception: RL-61	Map # 38W, 39E	By-law: 0048-2025
In a RL-61 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Regulations			
4.2.2.61.1	Maximum lot coverage - detached dwelling not exceeding one storey		40%
4.2.2.61.2	<i>deleted</i>		
4.2.2.61.3	<i>deleted</i>		
4.2.2.61.4	<i>deleted</i>		

4.2.2.62	Exception: RL-62	Map # 38W, 39E	By-law: 0048-2025
In a RL-62 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Regulations			
4.2.2.62.1	Maximum lot coverage - detached dwelling not exceeding one storey		40%
4.2.2.62.2	<i>deleted</i>		
4.2.2.62.3	<i>deleted</i>		
4.2.2.62.4	Minimum number of parking spaces per lot		6

4.2.2.63	Exception: RL-63	Map # 44W, 45E	By-law: 0308-2011, 0048-2025
In a RL-63 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Regulations			
4.2.2.63.1	<i>deleted</i>		
4.2.2.63.2	A flat roof shall not be permitted		
4.2.2.63.3	<i>deleted</i>		
4.2.2.63.4	Maximum projection of the garage beyond any portion of the front wall or exterior side wall of the first storey		0.0 m

4.2.2.64	Exception: RL-64	Map # 31	By-law: 0308-2011, 0048-2025
In a RL-64 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Regulations			
4.2.2.64.1	<i>deleted</i>		
4.2.2.64.2	Minimum front yard		6.5 m
4.2.2.64.3	<i>deleted</i>		
4.2.2.64.4	Minimum setback to the rear lot line where lands abut a G2-3 zone		30.0 m
4.2.2.64.5	Notwithstanding Sentence 4.2.2.64.4, minimum setback of all accessory buildings and structures and swimming pools to the rear lot line where lands abut a G2-3 zone		15.0 m

4.2.2.65	Exception: RL-65	Map # 31	By-law: 0325-2008, 0048-2025
In a RL-65 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Regulation			
4.2.2.65.1	Minimum setback of all buildings and structures and swimming pools to the rear lot line where lands abut a G1 zone		7.6 m

4.2.2.66	Exception: RL-66	Map # 24	By-law: 0048-2025
In a RL-66 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Regulations			
4.2.2.66.1	<i>deleted</i>		
4.2.3.66.2	<i>deleted</i>		
4.2.3.66.3	<i>deleted</i>		
4.2.2.66.4	<i>deleted</i>		
4.2.2.66.5	Minimum rear yard where lands abut a PB1 zone		11.5 m
4.2.2.66.6	Minimum setback of a swimming pool to the rear lot line where lands abut a PB1 zone		5.5 m

4.2.2.67	Exception: RL-67	Map # 24	By-law: 0048-2025
In a RL-67 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Regulation			
4.2.2.67.1	<i>deleted</i>		
4.2.2.67.2	Minimum front yard		6.0 m
4.2.2.67.3	<i>deleted</i>		

4.2.2.68	Exception: RL-68	Map # 31	By-law: 0048-2025
In a RL-68 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Regulations			
4.2.2.68.1	<i>deleted</i>		
4.2.2.68.2	<i>deleted</i>		
4.2.2.68.3	<i>deleted</i>		
4.2.2.68.4	Minimum rear yard - interior lot		3.0 m
4.2.2.68.5	Every lot shall have a circular driveway		

4.2.2.69	Exception: RL-69	Map # 38W	By-law: 0379-2009, 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RL-69 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Regulations			
4.2.2.69.1	<i>deleted</i>		
4.2.2.69.2	Maximum lot coverage	40%	
4.2.2.69.3	Minimum front yard	4.5 m	
4.2.2.69.4	<i>deleted</i>		
4.2.2.69.5	Minimum setback of a detached dwelling and semi-detached to all lands zoned G2-3	15.0 m	
4.2.2.69.6	Minimum setback to garage face	6.0 m	

4.2.2.70	Exception: RL-70	Map # 38W	By-law: 0048-2025
In a RL-70 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Regulation			
4.2.2.70.1	Maximum lot coverage		40%
4.2.2.70.2	deleted		

4.2.2.71	Exception: RL-71	Map # 38W	By-law: 0048-2025
In a RL-71 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Regulation			
4.2.2.71.1	<i>deleted</i>		
4.2.2.71.2	<i>deleted</i>		
4.2.2.71.3	Minimum setback of a detached dwelling and semi-detached to all lands zoned G2-3	15.0 m	

4.2.2.72	Exception: RL-72	Map # 24	By-law: 0048-2025
In a RL-72 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Regulations			
4.2.2.72.1	Minimum lot frontage - interior lot	5.0 m	
4.2.2.72.2	Minimum setback of all buildings and structures and swimming pools to all lands zoned PB1	3.0 m	

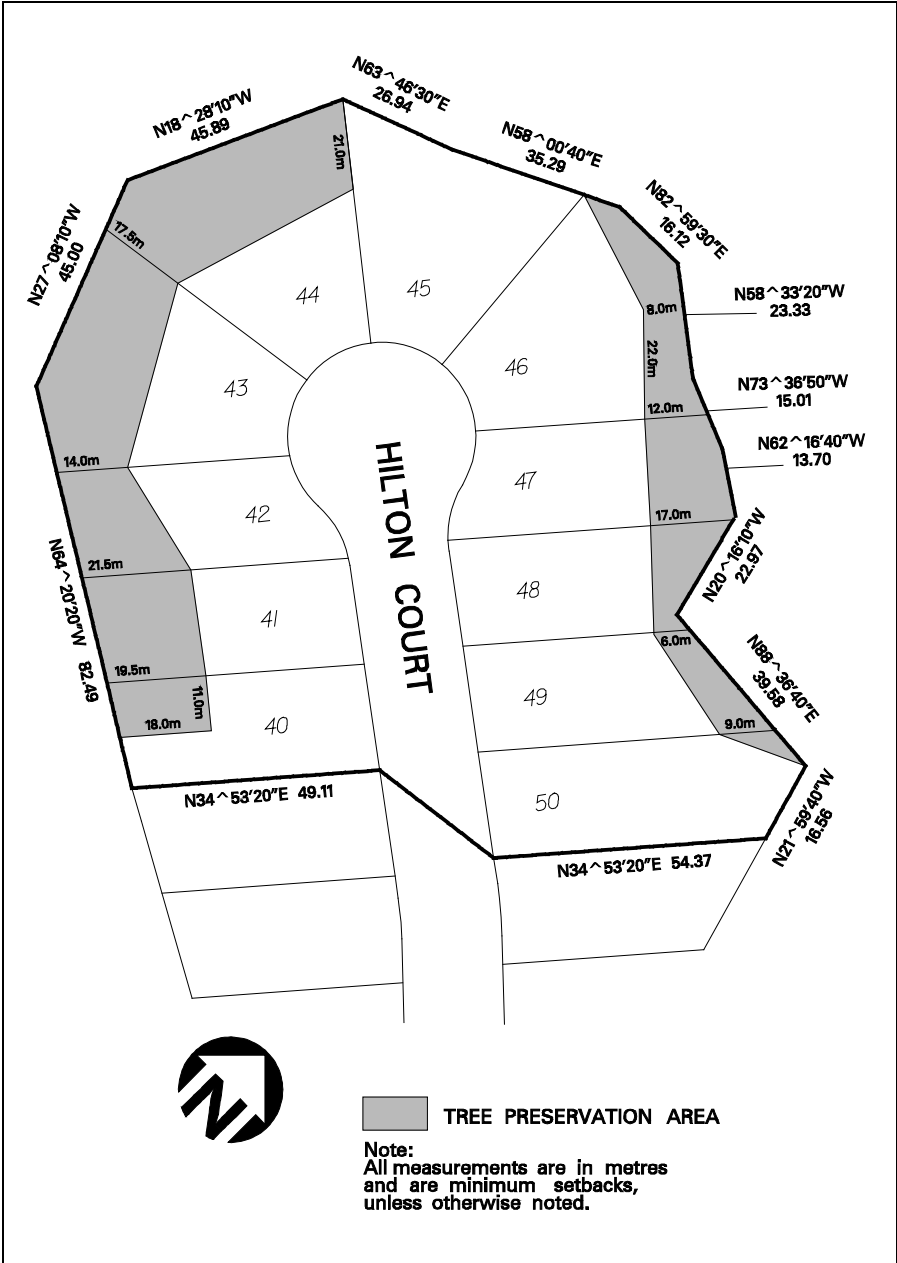
4.2.2.73	Exception: RL-73	Map # 45W	By-law: 0048-2025
In a RL-73 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Regulation			
4.2.2.73.1	<i>deleted</i>		
4.2.2.73.2	<i>deleted</i>		
4.2.2.73.3	Minimum setback of all buildings and structures and swimming pools to all lands zoned G1		15.0 m

4.2.2.74	Exception: RL-74	Map # 45W	By-law: 0048-2025
In a RL-74 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Regulations			
4.2.2.74.1	Minimum front yard		6.5 m
4.2.2.74.2	<i>deleted</i>		
4.2.2.74.3	Minimum setback of a detached dwelling and semi-detached to all lands zoned G2-3		15.0 m
4.2.2.74.4	Minimum setback of a detached dwelling and semi-detached to all lands zoned G1		17.5 m

4.2.2.75	Exception: RL-75	Map #	By-law: <i>deleted by 0048-2025</i>

4.2.2.76	Exception: RL-76	Map # 24	By-law: 0048-2025
In a RL-76 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Regulations			
4.2.2.76.1	A detached dwelling shall comply with the RL zone regulations contained in Subsection 4.2.1 of this By-law except that: (1) minimum lot area - corner lot		
			700 m ²
4.2.2.76.2	<i>deleted</i>		
4.2.2.76.3	<i>deleted</i>		
4.2.2.76.4	Minimum setback of all accessory buildings and structures and swimming pools to all lands zoned PB1		3.0 m

4.2.2.77	Exception: RL-77	Map # 39E	By-law: 0048-2025
In a RL-77 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses/regulations shall apply:			
Regulations			
4.2.2.77.1	Maximum lot coverage - detached dwelling not exceeding one storey	40%	
4.2.2.77.2	<i>deleted</i>		
4.2.2.77.3	<i>deleted</i>		
4.2.2.77.4	<i>deleted</i>		
4.2.2.77.5	The areas identified on Schedule RL-77 of this Exception as a tree preservation area, shall only be used for conservation purposes, and no buildings or structures , swimming pools , tennis courts or any like recreational facilities, except for fences along the lot lines , shall be permitted		
4.2.2.77.6	Minimum interior side yard - interior lot that includes and/or abuts a tree preservation area, measured from the limit of the tree preservation area	3.0 m	
4.2.2.77.7	Minimum rear yard - lot that includes a tree preservation area, measured from the limit of the tree preservation area and not from the rear lot line	7.5 m	



Schedule RL-77
Map 39E

4.2.2.79	Exception: RL-79	Map # 45E	By-law: 0048-2025
In a RL-79 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Regulations			
4.2.2.79.1	<i>deleted</i>		
4.2.2.79.2	Minimum setback of a dwelling to all lands zoned G2-4(9)	15.0 m	
4.2.2.79.3	Minimum setback of all accessory buildings and structures and swimming pools to all lands zoned G1	9.0 m	

4.2.2.80	Exception: RL-80	Map # 45E	By-law: 0048-2025
In a RL-80 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Regulations			
4.2.2.80.1	<i>deleted</i>		
4.2.2.80.2	Minimum setback of a dwelling to all lands zoned G2-3	15.0 m	
4.2.2.80.3	Minimum setback of all accessory buildings and structures and swimming pools to all lands zoned G1	15.0 m	

4.2.2.81	Exception: RL-81	Map # 24	By-law: 0048-2025
In a RL-81 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Regulation			
4.2.2.81.1	<i>deleted</i>		
4.2.2.81.2	<i>deleted</i>		
4.2.2.81.3	<i>deleted</i>		
4.2.2.81.4	Minimum rear yard where lands abut a G2-1 zone	8.5 m	

4.2.2.82	Exception: RL-82	Map # 08, 09	By-law: 0308-2011, 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RL-82 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses/regulations shall apply:			
Regulations			
4.2.2.82.1	<i>deleted</i>		
4.2.2.82.2	A detached dwelling shall comply with the RL zone regulations contained in Subsection 4.2.1 of this By-law except that: (1) minimum lot area - corner lot 700 m²		
4.2.2.82.3	<i>deleted</i>		
4.2.2.82.4	<i>deleted</i>		
4.2.2.82.5	Maximum lot coverage , excluding the area of a porch or balcony , or breezeway 35%		
4.2.2.82.6	Maximum gross floor area - residential 190 m² plus 0.33 times the lot area		
4.2.2.82.7	Minimum front yard 6.0 m		
4.2.2.82.8	Minimum exterior side yard 4.5 m		
4.2.2.82.9	<i>deleted</i>		
4.2.2.82.10	<i>deleted</i>		
4.2.2.82.11	Minimum setback to a sight triangle 1.5 m		
4.2.2.82.12	<i>deleted</i>		
4.2.2.82.13	<i>deleted</i>		
4.2.2.82.14	<i>deleted</i>		
4.2.2.82.15	Maximum encroachment of a porch or balcony into the required exterior side yard 2.0 m		
4.2.2.82.16	Maximum encroachment of window projections and architectural elements, with or without a foundation, such as, but not limited to, chimneys , media niches, pilasters and corbels: (1) into the required front, rear or exterior side yard 1.0 m (2) into the required interior side yard 0.6 m		
4.2.2.82.17	Minimum setback to a garage face 6.0 m		
4.2.2.82.18	Maximum encroachment of a side wall of a garage into the required front yard 1.5 m		
4.2.2.82.19	Maximum projection of a garage face beyond any portion of the first floor front wall or exterior side wall of a detached dwelling 0.0 m		
4.2.2.82.20	Maximum projection of a garage face beyond any portion of the first floor front wall or exterior side wall of a detached dwelling , where a main entry feature is provided 2.5 m		
4.2.2.82.21	Maximum garage width: measured from the inside face of the garage side walls 8.0 m		

Exception RL-82 continued on next page

4.2.2.82	Exception: RL-82	Map # 08, 09	By-law: 0308-2011, 0181-2018/LPAT Order 2019 February 15, 0048-2025
Exception RL-82 continued from previous page			
4.2.2.82.22	A detached garage shall only be permitted in a rear yard on lots with a minimum frontage of 19.5 m which do not abut lands zoned G2-2, subject to the following:		
(1)	minimum interior side yard on the side of the detached dwelling where the driveway is located	3.0 m	
(2)	minimum interior side yard on the side of the detached dwelling where the mutual driveway is located, where garages on two adjoining lots are located in their respective rear yards and accessed by a mutual driveway crossing the front lot line	2.4 m	
(3)	the garage may be attached to the detached dwelling by a breezeway which shall not be considered a component of the dwelling for the purposes of determining building setbacks		
(4)	minimum exterior side yard	3.0 m	
(5)	maximum garage width: measured from the inside face of each of the garage walls	8.5 m	
(6)	maximum garage depth: measured from the garage face to the inside face of the rear garage wall	7.5 m	
(7)	minimum slope of a garage roof shall have a ratio of the vertical rise to the horizontal run of at least one in three		
(8)	maximum garage height - highest ridge: sloped roof - excluding skylights, cupolas, or other ornamental features	6.6 m	
(9)	maximum height of eaves: from established grade to lower edge of the eaves	4.5 m	
(10)	maximum floor area	113 m ²	
4.2.2.82.23	Minimum setback of all buildings and structures, decks and swimming pools to a G1 zone	3.0 m	

4.2.2.83	Exception: RL-83	Map # 08, 09	By-law: 0308-2011, 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RL-83 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses/regulations shall apply:			
Regulations			
4.2.2.83.1	<i>deleted</i>		
4.2.2.83.2	<i>deleted</i>		
4.2.2.83.3	<i>deleted</i>		
4.2.2.83.4	<i>deleted</i>		
4.2.2.83.5	Maximum lot coverage excluding the area of a porch or balcony, or breezeway	35%	
4.2.2.83.6	Maximum gross floor area - residential	190 m ² plus 0.33 times the lot area	

Exception RL-83 continued on next page

4.2.2.83	Exception: RL-83	Map # 08, 09	By-law: 0308-2011, 0181-2018/LPAT Order 2019 February 15, 0048-2025
Exception RL-83 continued from previous page			
4.2.2.83.7	Minimum front yard	6.0 m	
4.2.2.83.8	Minimum exterior side yard	4.5 m	
4.2.2.83.9	<i>deleted</i>		
4.2.2.83.10	<i>deleted</i>		
4.2.2.83.11	Minimum setback to a sight triangle	1.5 m	
4.2.2.83.12	Maximum height - highest ridge on lots which abut or contain a G1 or G2-2 zone: sloped roof	10.8 m	
4.2.2.83.13	<i>deleted</i>		
4.2.2.83.14	<i>deleted</i>		
4.2.2.83.15	Maximum height of eaves on lots which abut or contain a G1 or G2-2 zone: from average grade to lower edge of the eaves	7.7 m	
4.2.2.83.16	<i>deleted</i>		
4.2.2.83.17	Maximum encroachment of a porch or balcony into the required exterior side yard	2.0 m	
4.2.2.83.18	Maximum encroachment of window projections and architectural elements, with or without a foundation, such as, but not limited to, chimneys , media niches, pilasters and corbels: (1) into the required front, rear or exterior side yard (2) into the required interior side yard	1.0 m 0.6 m	
4.2.2.83.19	Minimum setback of a garage face to the street line	6.0 m	
4.2.2.83.20	Maximum encroachment of a side wall of a garage into the required front yard	1.5 m	
4.2.2.83.21	Maximum projection of a garage face beyond any portion of the first floor front wall or exterior side wall of a detached dwelling	0.0 m	
4.2.2.83.22	Maximum setback of the first floor front wall or exterior side wall of a detached dwelling from the garage face , where a main entry feature is provided	2.5 m	
4.2.2.83.23	Maximum garage width: from the inside face of the garage side walls	8.0 m	
4.2.2.83.24	A detached garage shall only be permitted in a rear yard on lots which do not abut lands zoned G2-2, subject to the following: (1) minimum interior side yard on the side of the detached dwelling where the driveway is located (2) minimum interior side yard on the side of the detached dwelling where the mutual driveway is located, where garages on two adjoining lots are located in their respective rear yards and accessed by a mutual driveway crossing the front lot line (3) the garage may be attached to the detached dwelling by a breezeway which shall not be considered a component of the dwelling for the purposes of determining building setbacks	3.0 m 2.4 m	

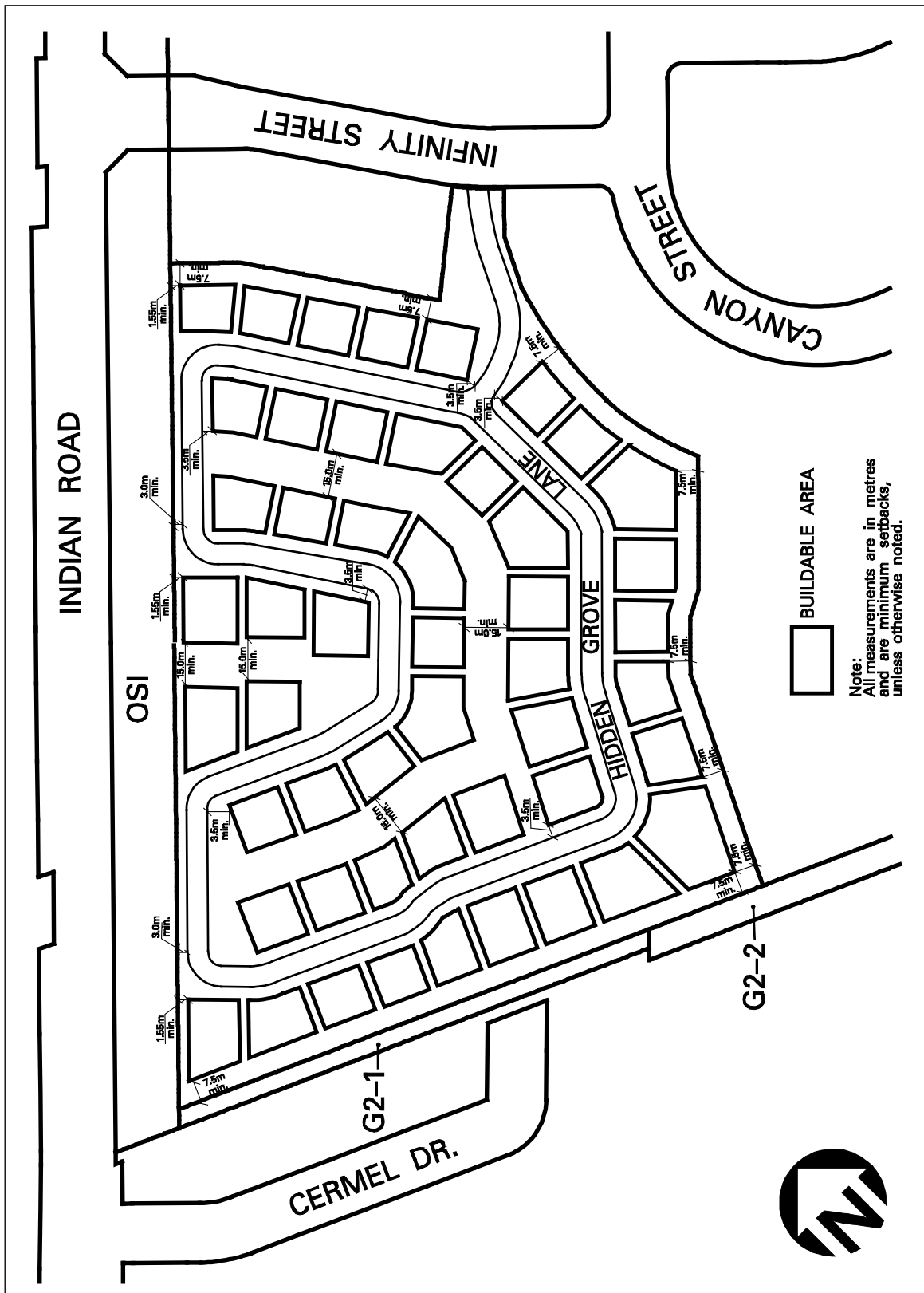
Exception RL-83 continued on next page

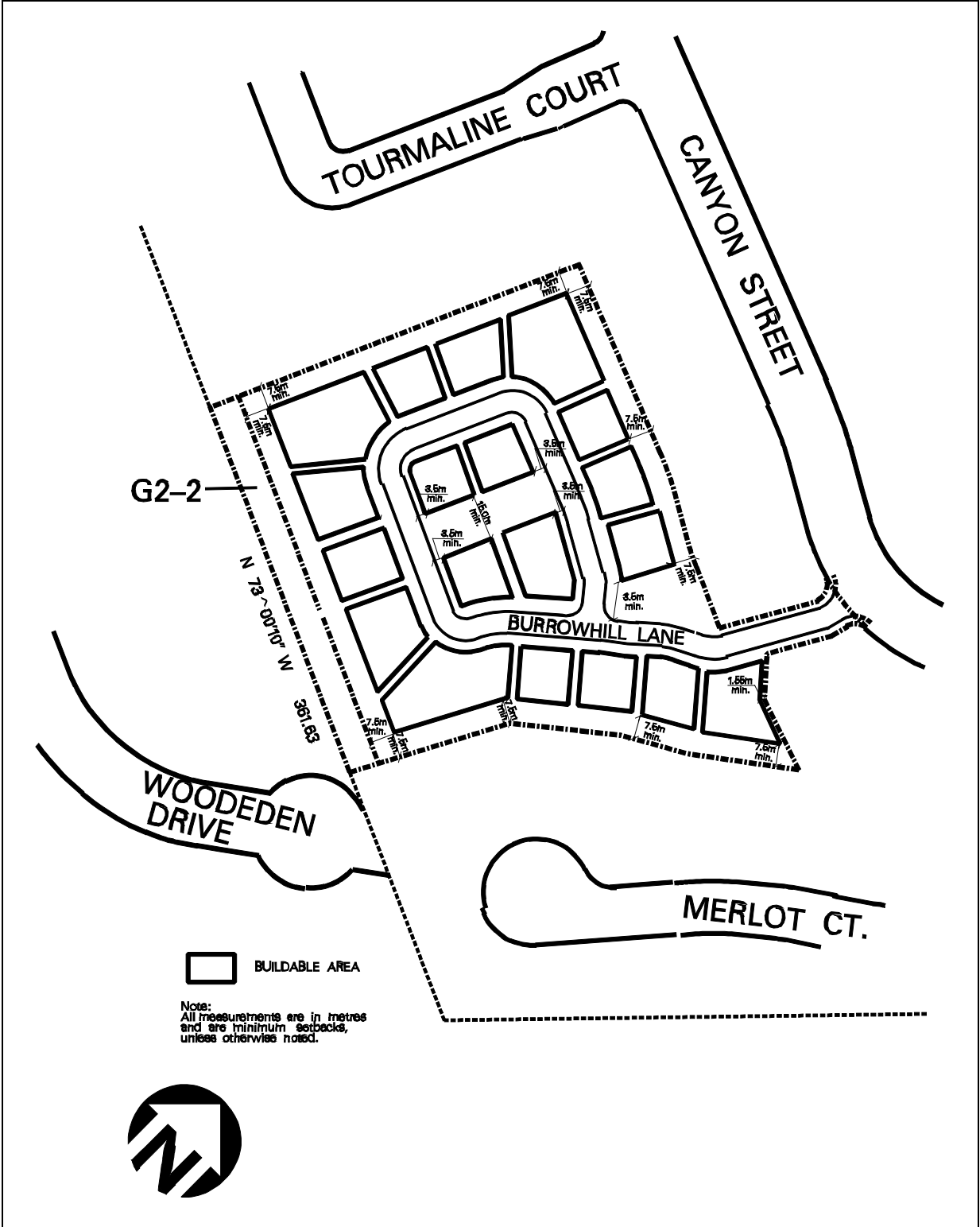
4.2.2.83	Exception: RL-83	Map # 08, 09	By-law: 0308-2011, 0181-2018/LPAT Order 2019 February 15, 0048-2025
Exception RL-83 continued from previous page			
4.2.2.83.24 (continued)	(4)	minimum exterior side yard	3.0 m
	(5)	maximum garage width: measured from the inside face of the garage side walls	11.0 m
	(6)	maximum garage width: measured from the inside face of the garage side walls, may be increased to 13.2 m, if the garage width in excess of 11.0 m is set back a minimum of 3.0 m from the garage face	
	(7)	maximum garage depth: measured from the garage face to the inside face of the rear garage wall	7.5 m
	(8)	minimum slope of a garage roof shall have a ratio of the vertical rise to the horizontal run of at least one in three	
	(9)	maximum height - highest ridge: sloped roof - excluding skylights, cupolas, or other ornamental features	6.6 m
	(10)	maximum height of eaves: from established grade to lower edge of the eaves	4.5 m
	(11)	maximum gross floor area	113 m ²
4.2.2.83.25	Minimum setback of all buildings or structures, decks and swimming pools to a G2 zone		3.0 m

4.2.2.84	Exception: RL-84(1) and RL-84(2)	Map # 08, 09	By-law: 0308-2011, 0181-2018/LPAT Order 2019 February 15, 0208-2022, 0048-2025
In a RL-84(1) and RL-84(2) zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses/regulations shall apply:			
Regulations			
4.2.2.84.1	Maximum number of dwelling units on all lands zoned RL-84(1) and RL-84(2)		69
4.2.2.84.2	Maximum gross floor area - residential per detached dwelling		400 m ²
4.2.2.84.3	Maximum gross floor area - residential , permitted on the second floor of a detached dwelling		60.3 m ²
4.2.2.84.4	Minimum setback to a condominium road		4.5 m
4.2.2.84.5	Minimum detached dwelling separation		3.1 m
4.2.2.84.6	Maximum height - highest ridge on lots which abut or contain a G2-1 or G2-2 zone: sloped roof		10.3 m
4.2.2.84.7	Maximum height - highest ridge on all other lots: sloped roof		9.0 m
4.2.2.84.8	<i>deleted</i>		7.5 m

Exception RL-84(1) and RL-84(2) continued on next page

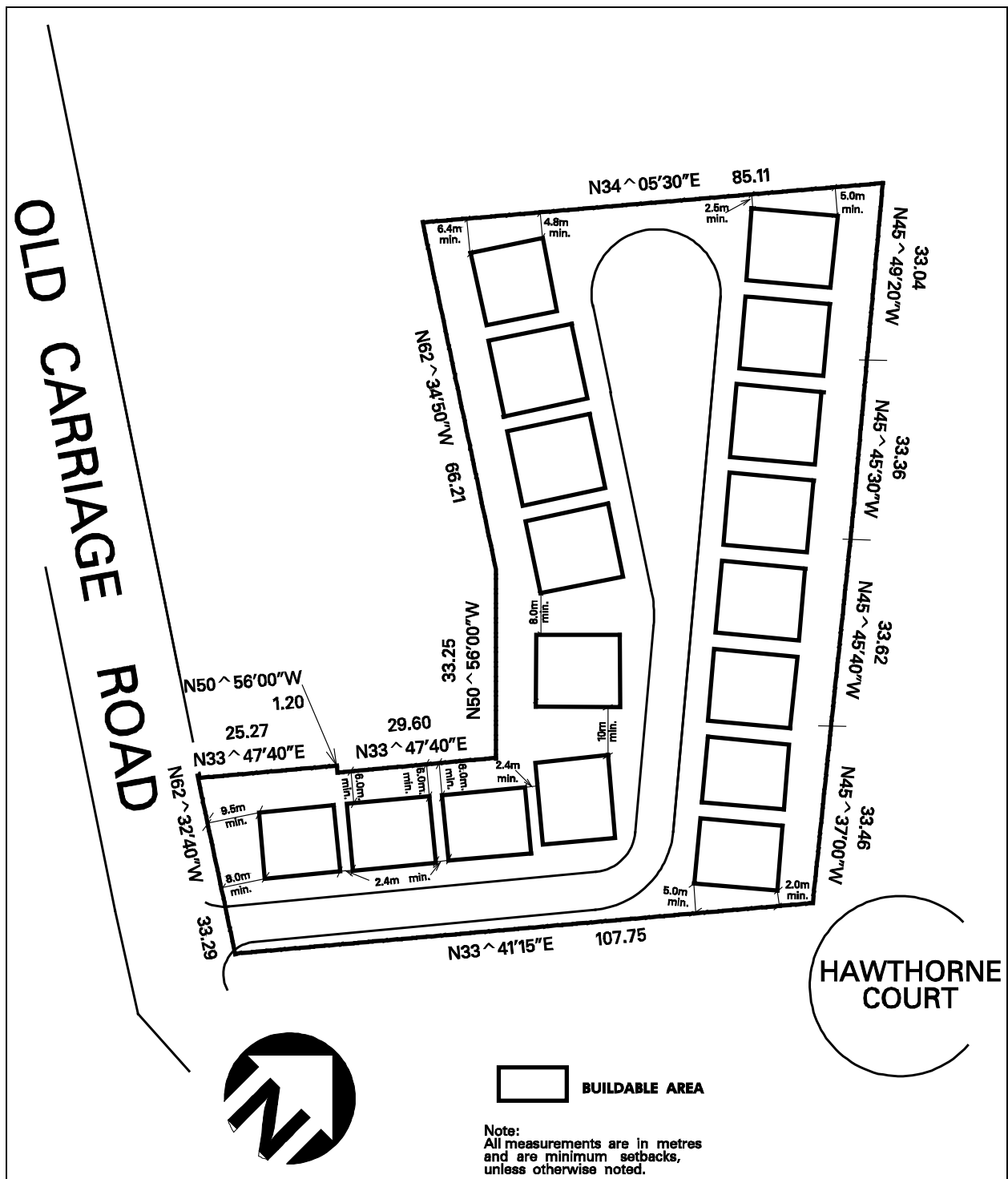
4.2.2.84	Exception: RL-84(1) and RL-84(2)	Map # 08, 09	By-law: 0308-2011, 0181-2018/LPAT Order 2019 February 15, 0208-2022, 0048-2025
Exception RL-84(1) and RL-84(2) continued from previous page			
4.2.2.84.9	Maximum height of eaves on lots which abut or contain a G2-1 or G2-2 zone: from established grade to lower edge of the eaves		5.8 m
4.2.2.84.10	Maximum height of eaves on all other lots : from established grade to lower edge of the lowest eave		4.5 m
4.2.2.84.11	Height of all buildings and structures shall be measured from established grade		
4.2.2.84.12	Maximum projection of a porch or balcony :		
	(1) outside the buildable area identified on Schedules RL-84(1) and RL-84(2) of this Exception abutting a front wall of a detached dwelling , which includes a garage face		0.3 m
	(2) outside the buildable area identified on Schedules RL-84(1) and RL-84(2) of this Exception abutting a side wall of a detached dwelling not containing a garage face , which faces a condominium road		2.0 m
4.2.2.84.13	Maximum projection of window and architectural elements, with or without a foundation, such as, but not limited to, chimneys , media niches, pilasters and corbels:		
	(1) outside the buildable area identified on Schedules RL-84(1) and RL-84(2) of this Exception abutting a side wall of a detached dwelling		0.6 m
	(2) outside the buildable area identified on Schedules RL-84(1) and RL-84(2) of this Exception abutting a front wall of a detached dwelling , which includes a garage face		1.0 m
	(3) outside the buildable area identified on Schedules RL-84(1) and RL-84(2) of this Exception abutting a side wall of a detached dwelling not containing a garage face , which faces a condominium road		1.0 m
	(4) outside the buildable area identified on Schedules RL-84(1) and RL-84(2) of this Exception abutting a rear wall of a detached dwelling		1.0 m
4.2.2.84.14	A detached garage shall not be permitted		
4.2.2.84.15	Minimum setback to garage face from a condominium road		5.5 m
4.2.2.84.16	Maximum projection of a garage face beyond any portion of the first floor front wall or exterior side wall of a detached dwelling		0.0 m
4.2.2.84.17	Maximum setback of the first floor front wall or exterior side wall of a detached dwelling from the garage face , where a main entry feature is provided		2.5 m
4.2.2.84.18	Maximum garage width: measured from the inside face of the garage side walls		8.0 m
4.2.2.84.19	All site development plans shall comply with Schedules RL-84(1) and RL-84(2) of this Exception		





Schedule RL-84(2)
Map 09

4.2.2.85	Exception: RL-85	Map # 16	By-law: 0181-2018/LPAT Order 2019 February 15, 0208-2022, 0048-2025
In a RL-85 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses/regulations shall apply:			
Regulations			
4.2.2.85.1	Maximum number of dwelling units on all lands zoned RL-85		17
4.2.2.85.2	Maximum gross floor area - residential per detached dwelling		275 m ²
4.2.2.85.3	Maximum gross floor area - residential , permitted on the second storey of a detached dwelling		75 m ²
4.2.2.85.4	Minimum setback to a condominium road		4.5 m
4.2.2.85.5	Minimum setback to any lot line		7.5 m
4.2.2.85.6	Minimum detached dwelling separation		3.0 m
4.2.2.85.7	Maximum height - highest ridge: sloped roof		8.0 m
4.2.2.85.8	Maximum height: flat roof		4.5 m
4.2.2.85.9	Height of all buildings and structures shall be measured from established grade		
4.2.2.85.10	Maximum projection of a porch outside the buildable area identified on Schedule RL-85 of this Exception		2.0 m
4.2.2.85.11	Maximum projection of a deck , outside the buildable area identified on Schedule RL-85 of this Exception, abutting the rear wall of a detached dwelling		3.8 m
4.2.2.85.12	Maximum projection of window and architectural elements, with or without a foundation, such as, but not limited to, chimneys , pilasters, corbels, and awnings outside the buildable area identified on Schedule RL-85 of this Exception		0.6 m
4.2.2.85.13	Minimum setback to garage face from a condominium road		6.0 m
4.2.2.85.14	Minimum number of parking spaces per dwelling unit		4
4.2.2.85.15	All site development plans shall comply with Schedule RL-85 of this Exception		



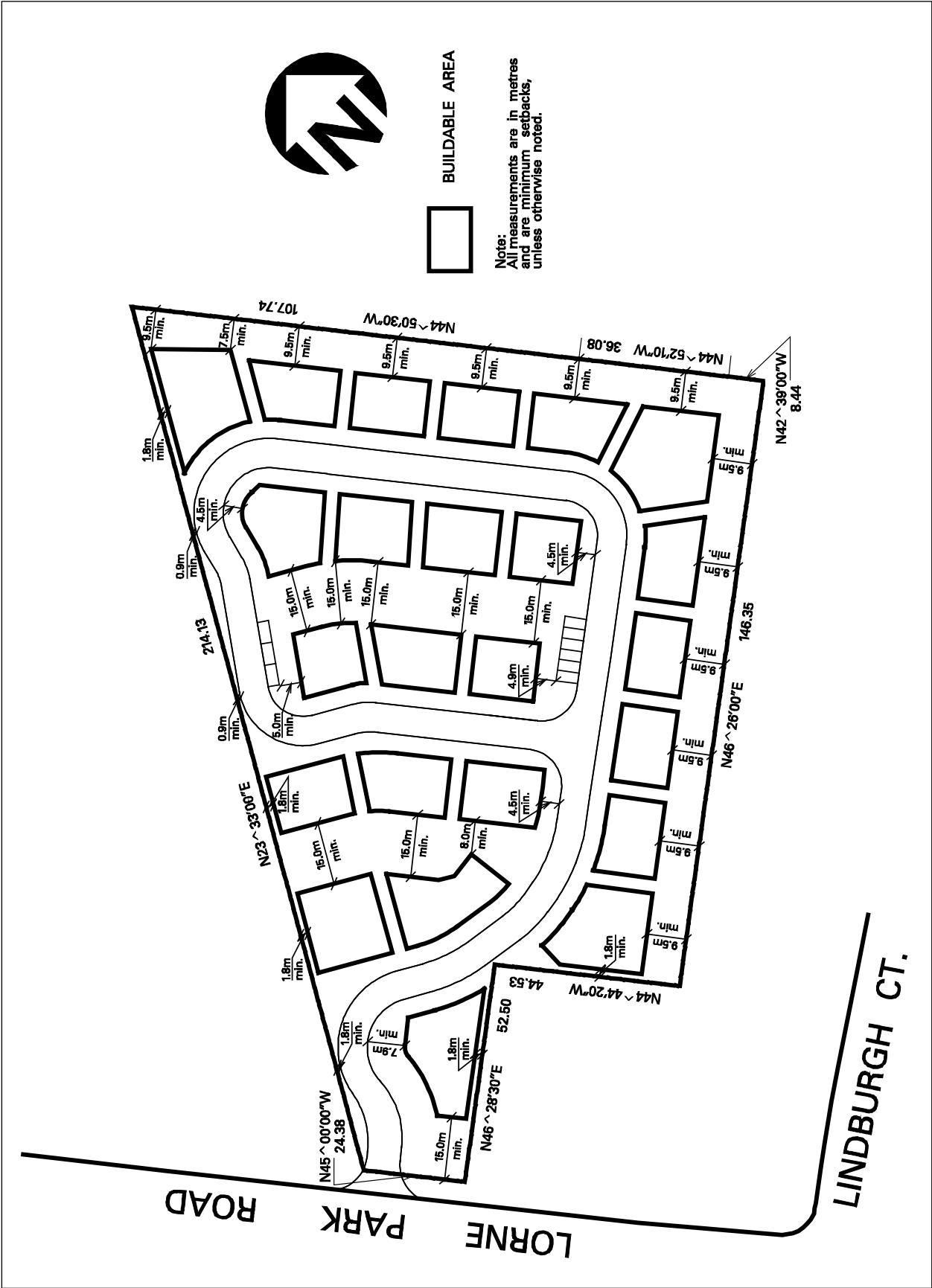
Schedule RL-85
Map 16

4.2.2.86	Exception: RL-86	Map # 31	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0208-2022, 0048-2025
In a RL-86 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Regulations			
4.2.2.86.1	Maximum number of dwelling units on all lands zoned RL-86	14	
4.2.2.86.2	Maximum coverage of a detached dwelling within each buildable area identified on Schedule RL-86 of this Exception	288 m ²	
4.2.2.86.3	Maximum gross floor area - residential per detached dwelling	372 m ²	
4.2.2.86.4	Minimum setback to a condominium road	4.5 m	
4.2.2.86.5	Minimum detached dwelling separation	3.0 m	
4.2.2.86.6	Minimum setback between a detached dwelling and the CVC Setback Line identified on Schedule RL-86 of this Exception	2.5 m	
4.2.2.86.7	Minimum setback between a detached dwelling and the Slope Stability Line identified on Schedule RL-86 of this Exception	7.5 m	
4.2.2.86.8	Minimum setback from a garage face to a condominium road	6.0 m	
4.2.2.86.9	Maximum height - highest ridge: sloped roof	9.5 m	
4.2.2.86.10	Height of all buildings and structures shall be measured from established grade		
4.2.2.86.11	Minimum number of parking spaces per dwelling unit	4	
4.2.2.86.12	Minimum number of visitor parking spaces	10	
4.2.2.86.13	Maximum driveway width	8.5 m	
4.2.2.86.14	All site development plans shall comply with Schedule RL-86 of this Exception		
Holding Provision			
<p>The holding symbol H is to be removed from the whole or any part of the lands zoned H-RL-86 by further amendment to Map 31 of Schedule B contained in Part 13 of this By-law, as amended, upon satisfaction of the following requirements:</p> <p>(1) arrangements being made to the satisfaction of the City of Mississauga Planning and Building Department for additional visitor parking on the west block of lands abutting Folkway Drive;</p> <p>(2) arrangements being made to the satisfaction of the City of Mississauga Planning and Building Department and the Community Services Department for a pathway in the Mullett Creek watershed to allow for pedestrian linkage to the north and south of the site with the applicant to bear the responsibility for construction, including all associated costs thereof;</p> <p>(3) that the applicant has fulfilled all other requirements of the City, including the lease agreement, and requirements of any other official agency concerned with the development.</p>			



Schedule RL-86
Map 31

4.2.2.87	Exception: RL-87	Map # 09	By-law: 0181-2018/LPAT Order 2019 February 15, 0208-2022, 0048-2025
In a RL-87 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses/regulations shall apply:			
Regulations			
4.2.2.87.1	Maximum number of dwelling units on all lands zoned RL-87	24	
4.2.2.87.2	Maximum coverage of a detached dwelling within each buildable area identified on Schedule RL-87 of this Exception	195 m ²	
4.2.2.87.3	Maximum gross floor area - residential per detached dwelling	260 m ²	
4.2.2.87.4	Maximum gross floor area - residential , permitted on the second storey of a detached dwelling	65 m ²	
4.2.2.87.5	Minimum setback to a condominium road	4.5 m	
4.2.2.87.6	Minimum detached dwelling separation	3.6 m	
4.2.2.87.7	Minimum setback from a garage face to a condominium road	6.0 m	
4.2.2.87.8	Maximum height - highest ridge: sloped roof	7.5 m	
4.2.2.87.9	Height of all buildings and structures shall be measured from established grade		
4.2.2.87.10	Minimum number of parking spaces per dwelling unit	4	
4.2.2.87.11	Maximum driveway width	8.5 m	
4.2.2.87.12	Minimum number of visitor parking spaces	9	
4.2.2.87.13	All site development plans shall comply with Schedule RL-87 of this Exception		



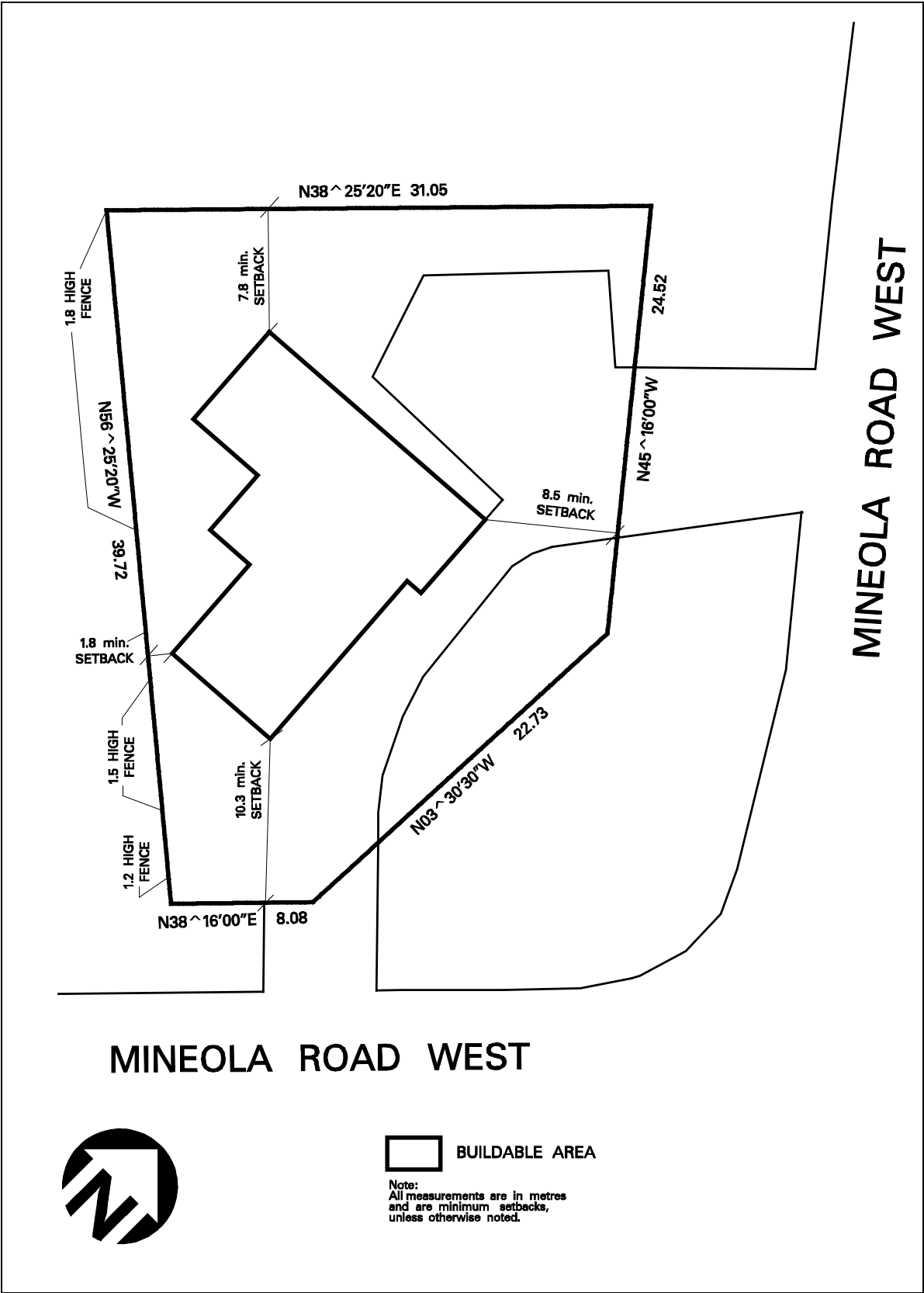
Schedule RL-87
Map 09

4.2.2.89	Exception: RL-89	Map # 31	By-law: 0048-2025
In a RL-89 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Regulations			
4.2.2.89.1	<i>deleted</i>		
4.2.2.89.2	A detached dwelling shall comply with the RL zone regulations contained in Subsection 4.2.1 of this By-law except that: <div><div>(1) minimum lot area - corner lot<div>700 m²</div></div><div><div>(2) maximum lot coverage<div>43%</div></div><div><div>(3) minimum front yard<div>6.5 m</div></div><div><div>(4) minimum exterior side yard<div>4.5 m</div></div></div></div></div></div>		
4.2.2.89.3	<i>deleted</i>		
4.2.2.89.4	<i>deleted</i>		

4.2.2.90	Exception: RL-90	Map # 31	By-law: 0048-2025
In a RL-90 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Regulations			
4.2.2.90.1	Minimum interior side yard - detached dwelling		2.4 m
4.2.2.90.2	Minimum interior side yard - attached garage		1.8 m
4.2.2.90.3	<i>deleted</i>		
4.2.2.90.4	Minimum setback of all buildings and structures and swimming pools to the rear lot line		16.0 m

4.2.2.91	Exception: RL-91	Map # 08	By-law: 0193-2016/ OMB Order 2017 May 30, 0048-2025
In a RL-91 zone the applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Permitted Uses			
4.2.2.91.1	Lands zoned RL-91 shall only be used for the following:		
	(1) Detached Dwelling or		
	(2) Semi-Detached or		
	(3) Office		
	(4) Medical Office - Restricted		
Regulations			
4.2.2.91.2	<i>deleted</i>		
4.2.2.91.3	<i>deleted</i>		
4.2.2.91.4	<i>deleted</i>		
4.2.2.91.5	<i>deleted</i>		
4.2.2.91.6	<i>deleted</i>		
4.2.2.91.7	An office and medical office - restricted shall comply with the RL zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1)	minimum lot frontage - interior lot	22.5 m
	(2)	maximum gross floor area - non-residential	131 m ²

4.2.2.92	Exception: RL-92	Map # 08	By-law: 0048-2025
In a RL-92 zone the applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Permitted Uses			
4.2.2.92.1	Lands zoned RL-92 shall only be used for the following:		
	(1)	Detached Dwelling or	
	(2)	Semi-Detached or	
	(3)	Office	
	(4)	Medical Office - Restricted	
Regulations			
4.2.2.92.2	An office and medical office - restricted shall comply with the RL zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1)	maximum gross floor area - non-residential	195 m ²
	(2)	all site development plans shall comply with Schedule RL-92 of this Exception	



Schedule RL-92
Map 08

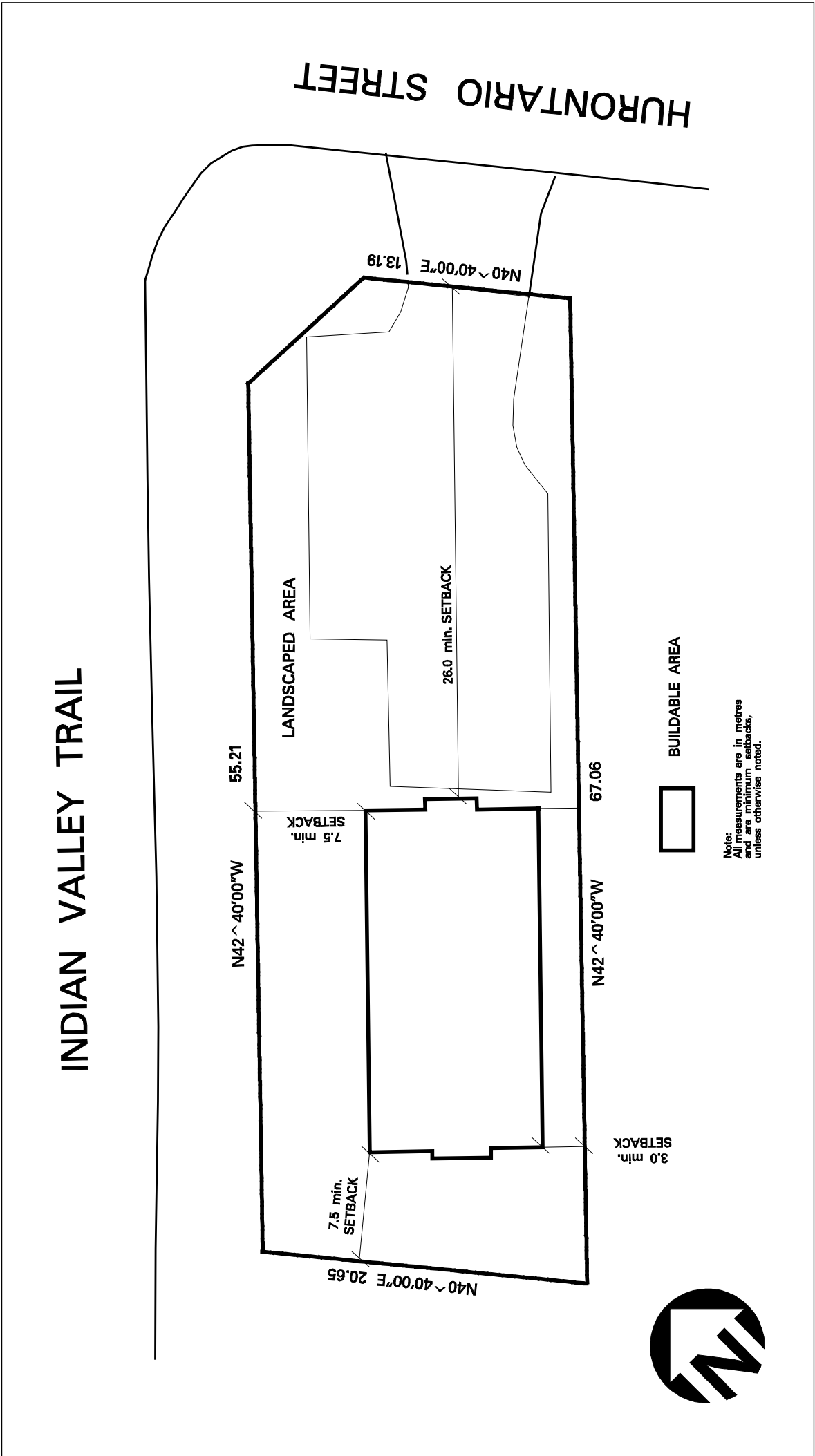
4.2.2.93	Exception: RL-93	Map # 08	By-law: 0193-2016/ OMB Order 2017 May 30, 0048-2025
In a RL-93 zone the applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Permitted Uses			
4.2.2.93.1	Lands zoned RL-93 shall only be used for the following:		
	(1)	Detached Dwelling or	
	(2)	Semi-Detached or	
	(3)	Office	
	(4)	Medical Office - Restricted	
Regulations			
4.2.2.93.2	<i>deleted</i>		
4.2.2.93.3	<i>deleted</i>		
4.2.2.93.4	<i>deleted</i>		
4.2.2.93.5	<i>deleted</i>		
4.2.2.93.6	<i>deleted</i>		
4.2.2.93.7	An office and medical office - restricted shall comply with the RL zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1)	minimum lot frontage - interior lot	30.0 m
	(2)	maximum gross floor area - non-residential	465 m ²
	(3)	maximum number of parking spaces that may be tandem parking spaces	2

4.2.2.94	Exception: RL-94	Map # 08	By-law: 0193-2016/ OMB Order 2017 May 30, 0048-2025
In a RL-94 zone the applicable regulations shall be as specified for a RL zone except that the following uses/regulations shall apply:			
Permitted Uses			
4.2.2.94.1	Lands zoned RL-94 shall only be used for the following:		
	(1) Detached Dwelling or		
	(2) Semi-Detached or		
	(3) Office		
	(4) Medical Office - Restricted		
Regulations			
4.2.2.94.2	<i>deleted</i>		
4.2.2.94.3	<i>deleted</i>		
4.2.2.94.4	<i>deleted</i>		
4.2.2.94.5	<i>deleted</i>		
4.2.2.94.6	<i>deleted</i>		

Exception RL-94 continued on next page

4.2.2.94	Exception: RL-94	Map # 08	By-law: 0193-2016/ OMB Order 2017 May 30, 0048-2025
Exception RL-94 continued from previous page			
4.2.2.94.7	An office and medical office -restricted shall comply with the RL zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1)	minimum lot frontage - interior lot	30.0 m
	(2)	maximum gross floor area - non-residential	225 m ²
	(3)	maximum number of parking spaces that may be tandem parking spaces	2
	(4)	minimum aisle width	4.0 m

4.2.2.95	Exception: RL-95	Map # 08	By-law: 0193-2016/ OMB Order 2017 May 30, 0048-2025
In a RL-95 zone the applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Permitted Uses			
4.2.2.95.1	Lands zoned RL-95 shall only be used for the following:		
	(1)	Detached Dwelling or	
	(2)	Semi-Detached or	
	(3)	Office	
	(4)	Medical Office - Restricted	
Regulations			
4.2.2.95.2	<i>deleted</i>		
4.2.2.95.3	<i>deleted</i>		
4.2.2.95.4	<i>deleted</i>		
4.2.2.95.5	<i>deleted</i>		
4.2.2.95.6	<i>deleted</i>		
4.2.2.95.7	An office and medical office - restricted shall comply with the RL zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1)	minimum lot frontage - corner lot	20.0 m
	(2)	maximum gross floor area - non-residential	420 m ²
	(3)	maximum number of parking spaces that may be tandem parking spaces	4
	(4)	all site development plans shall comply with Schedule RL-95 of this Exception	



Schedule RL-95
Map 08

4.2.2.96	Exception: RL-96	Map # 08	By-law: 0193-2016/ OMB Order 2017 May 30, 0048-2025
In a RL-96 zone the applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Permitted Uses			
4.2.2.96.1	Lands zoned RL-96 shall only be used for the following:		
	(1) Detached Dwelling or		
	(2) Semi-Detached or		
	(3) Office		
	(4) Medical Office - Restricted		
Regulations			
4.2.2.96.2	deleted		
4.2.2.96.3	deleted		
4.2.2.96.4	deleted		
4.2.2.96.5	deleted		
4.2.2.96.6	deleted		
4.2.2.96.7	An office and medical office - restricted shall comply with the RL zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1) minimum lot frontage - interior lot	30.0 m	
	(2) maximum gross floor area - non-residential	180 m ²	

4.2.2.97	Exception: RL-97	Map # 08	By-law: 0193-2016/ OMB Order 2017 May 30, 0048-2025
In a RL-97 zone the applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Permitted Uses			
4.2.2.97.1	Lands zoned RL-97 shall only be used for the following:		
	(1) Detached Dwelling or		
	(2) Semi-Detached or		
	(3) Office		
	(4) Medical Office - Restricted		
Regulations			
4.2.2.97.2	deleted		
4.2.2.97.3	deleted		
4.2.2.97.4	deleted		
4.2.2.97.5	deleted		
4.2.2.97.6	deleted		
4.2.2.97.7	An office and medical office - restricted shall comply with the RL zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1)	minimum lot frontage - interior lot	30.0 m
	(2)	maximum total gross floor area - non-residential	420 m ²
	(3)	minimum rear yard for an office and medical office - restricted	12.0 m

4.2.2.98	Exception: RL-98	Map # 44W	By-law: 0048-2025
In a RL-98 zone the applicable regulations shall be as specified for a RL zone except that the following uses/regulations shall apply:			
Permitted Uses			
4.2.2.98.1	Lands zoned RL-98 shall only be used for the following:		
	<ul style="list-style-type: none"> (1) Detached Dwelling or (2) Semi-Detached or (3) Restaurant (4) Office (5) Medical Office - Restricted (6) Day Care 		
Regulations			
4.2.2.98.2	<p>A restaurant, office, medical office - restricted and day care shall comply with the RL zone regulations contained in Subsection 4.2.1 of this By-law except that:</p> <ul style="list-style-type: none"> (1) a restaurant, office and medical office - restricted shall be contained within the existing detached dwelling, being the Brown-Vooro house, and its existing accessory structure (2) a day care shall only be permitted within the existing detached dwelling, being the Brown-Vooro house (3) notwithstanding Clauses 4.2.2.98.2(1) and (2) of this Exception, the gross floor area - non-residential existing at the time of passing of this By-law may be increased by a maximum of 3 m² 		
4.2.2.98.3	Play equipment accessory to a day care may be located in a front yard		

4.2.2.99	Exception: RL-99	Map # 08	By-law: 0193-2016/ OMB Order 2018 February 15, 0048-2025
In a RL-99 zone the applicable regulations shall be as specified for a RL zone except that the following uses/regulations shall apply:			
Permitted Uses			
4.2.2.99.1	Lands zoned RL-99 shall only be used for the following:		
	(1) Detached Dwelling or (2) Semi-Detached or (3) Office (4) Medical Office - Restricted		
Regulations			
4.2.2.99.2	An office and medical office - restricted shall comply with the RL zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1) maximum gross floor area - non-residential	200 m ²	
	(2) minimum front yard - interior lot	7.0 m	
	(3) minimum interior side yard - interior lot	2.5 m	
	(4) minimum rear yard - interior lot	61.8 m	
	(5) minimum number of parking spaces per 100 m ² of gross floor area - non-residential used for an office	4	

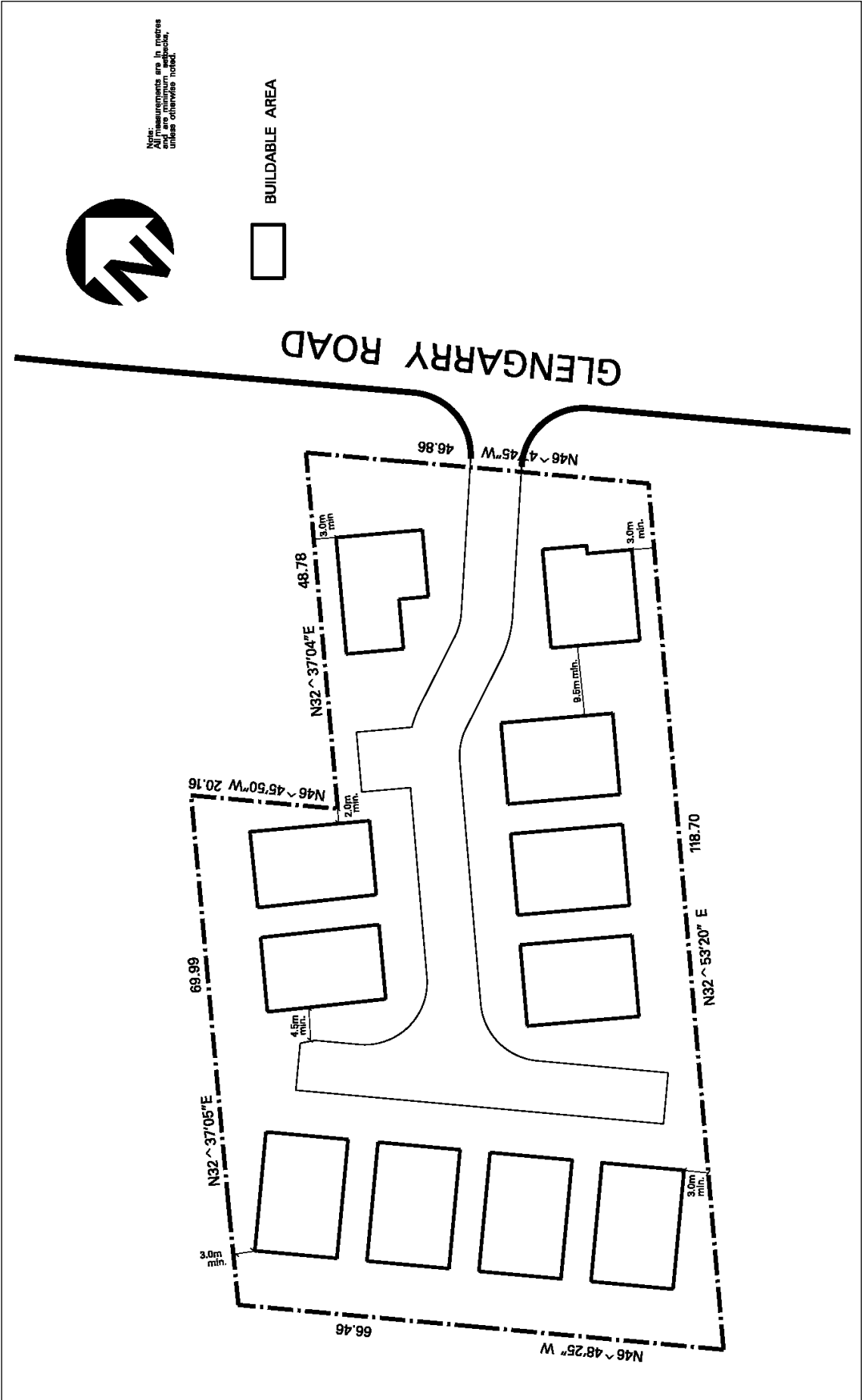
4.2.2.100	Exception: RL-100	Map # 08	By-law: 0048-2025
In a RL-100 zone the applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Permitted Uses			
4.2.2.100.1	Lands zoned RL-100 shall only be used for the following:		
	(1) Detached Dwelling or (2) Semi-Detached or (3) Veterinary clinic in a detached dwelling (4) Office in a detached dwelling (5) Medical office - restricted in a detached dwelling		
Regulations			
4.2.2.100.2	A veterinary clinic, office, medical office - restricted or any combination thereof within a detached dwelling shall comply with the RL zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1) a veterinary clinic, office, medical office - restricted or any combination thereof, shall be contained within the existing detached dwelling		
	(2) minimum lot frontage - interior lot	30.0 m	
	(3) maximum total gross floor area	460 m ²	
	(4) maximum gross floor area - non-residential used for a veterinary clinic, office, medical office - restricted or any combination thereof	250 m ²	
	(5) minimum front yard - interior lot	9.0 m	
	(6) minimum interior side yard - interior lot	3.5 m	
	(7) minimum rear yard - interior lot	7.5 m	
	(8) maximum height - highest ridge: sloped roof	9.5 m	
	(9) maximum height: flat roof	7.5 m	
	(10) maximum height of eaves: from average grade to lower edge of the eaves	6.4 m	
	(11) parking shall only be permitted in the front yard		
	(12) minimum setback of the parking to the front lot line	4.5 m	
	(13) maximum number of parking spaces	10	

4.2.2.101	Exception: RL-101	Map # 31	By-law: 0048-2025
In a RL-101 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Regulations			
4.2.2.101.1	<i>deleted</i>		
4.2.2.101.2	<i>deleted</i>		
4.2.2.101.3	Minimum lot frontage - interior lot that abuts a G1 zone		17.0 m
4.2.2.101.4	Minimum lot frontage - corner lot that abuts a G1 zone		20.0 m
4.2.2.101.5	<i>deleted</i>		
4.2.2.101.6	<i>deleted</i>		
4.2.2.101.7	<i>deleted</i>		

4.2.2.102	Exception: RL-102	Map # 25	By-law: 0048-2025
In a RL-102 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Regulations			
4.2.2.102.1	The regulations of Line 4.1 contained in Table 4.2.1 of this By-law shall not apply		
4.2.2.102.2	Access to all lots shall be via a common frontage on Council Ring Road		

4.2.2.103	Exception: RL-103	Map # 38W, 39E, 45W	By-law: 0380-2009/OMB Order 2010 September 13, 0308-2011, 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RL-103 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Regulations			
4.2.2.103.1	<i>deleted</i>		
4.2.2.103.2	Maximum gross floor area - infill residential		150 m ² plus 0.2 times the lot area
4.2.2.103.3	<i>deleted</i>		
4.2.2.103.4	<i>deleted</i>		
4.2.2.103.5	<i>deleted</i>		
4.2.2.103.6	<i>deleted</i>		
4.2.2.103.7	<i>deleted</i>		
4.2.2.103.8	<i>deleted</i>		
4.2.2.103.9	Garage projection: maximum projection of the garage beyond the front wall or exterior side wall of the first storey		2.0 m
4.2.2.103.10	<i>deleted</i>		

4.2.2.104	Exception: RL-104	Map # 16	By-law: 0206-2008, 0181-2018/LPAT Order 2019 February 15, 0208-2022, 0048-2025
In a RL-104 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Regulations			
4.2.2.104.1	Maximum number of dwelling units on all lands zoned RL-104		11
4.2.2.104.2	Maximum gross floor area - residential per detached dwelling		297 m ²
4.2.2.104.3	Minimum interior side yard unless otherwise identified on Schedule RL-104 of this Exception		7.5 m
4.2.2.104.4	Minimum setback of a detached dwelling to a condominium road or sidewalk unless otherwise identified on Schedule RL-104 of this Exception		3.3 m
4.2.2.104.5	Minimum setback from a garage face to a condominium road		6.0 m
4.2.2.104.6	Minimum detached dwelling separation unless otherwise identified on Schedule RL-104 of this Exception		4.0 m
4.2.2.104.7	Maximum projection of a porch , inclusive of stairs, outside the buildable area identified on Schedule RL-104 of this Exception		1.8 m
4.2.2.104.8	Maximum projection of a deck outside the buildable area identified on Schedule RL-104 of this Exception		1.8 m
4.2.2.104.9	Maximum projection of an awning, window projection, chimney , pilaster or corbel outside the buildable area identified on Schedule RL-104 of this Exception		0.6 m
4.2.2.104.10	Height of all buildings and structures shall be measured from established grade		
4.2.2.104.11	All site development plans shall comply with Schedule RL-104 of this Exception		



Schedule RL-104
Map 16

4.2.2.105	Exception: RL-105	Map # 08	By-law: 0166-2015, 0111-2019/LPAT Order 2021 March 09, 0048-2025
In a RL-105 zone the applicable regulations shall be as specified for a RL zone except that the following uses/regulations shall apply:			
Permitted Uses			
4.2.2.105.1	Lands zoned RL-105 shall only be used for the following:		
	(1) Detached Dwelling or (2) Semi-Detached or (3) Office with one dwelling unit		
Use Not Permitted			
4.2.2.105.2	(1) <i>deleted</i>		
Regulations			
4.2.2.105.3	<i>deleted</i>		
4.2.2.105.4	Maximum gross floor area	467 m ²	
4.2.2.105.5	Maximum gross floor area - non-residential	365 m ²	
4.2.2.105.6	<i>deleted</i>		
4.2.2.105.7	Minimum depth of a landscaped buffer measured from a lot line that is a street line	7.5 m	

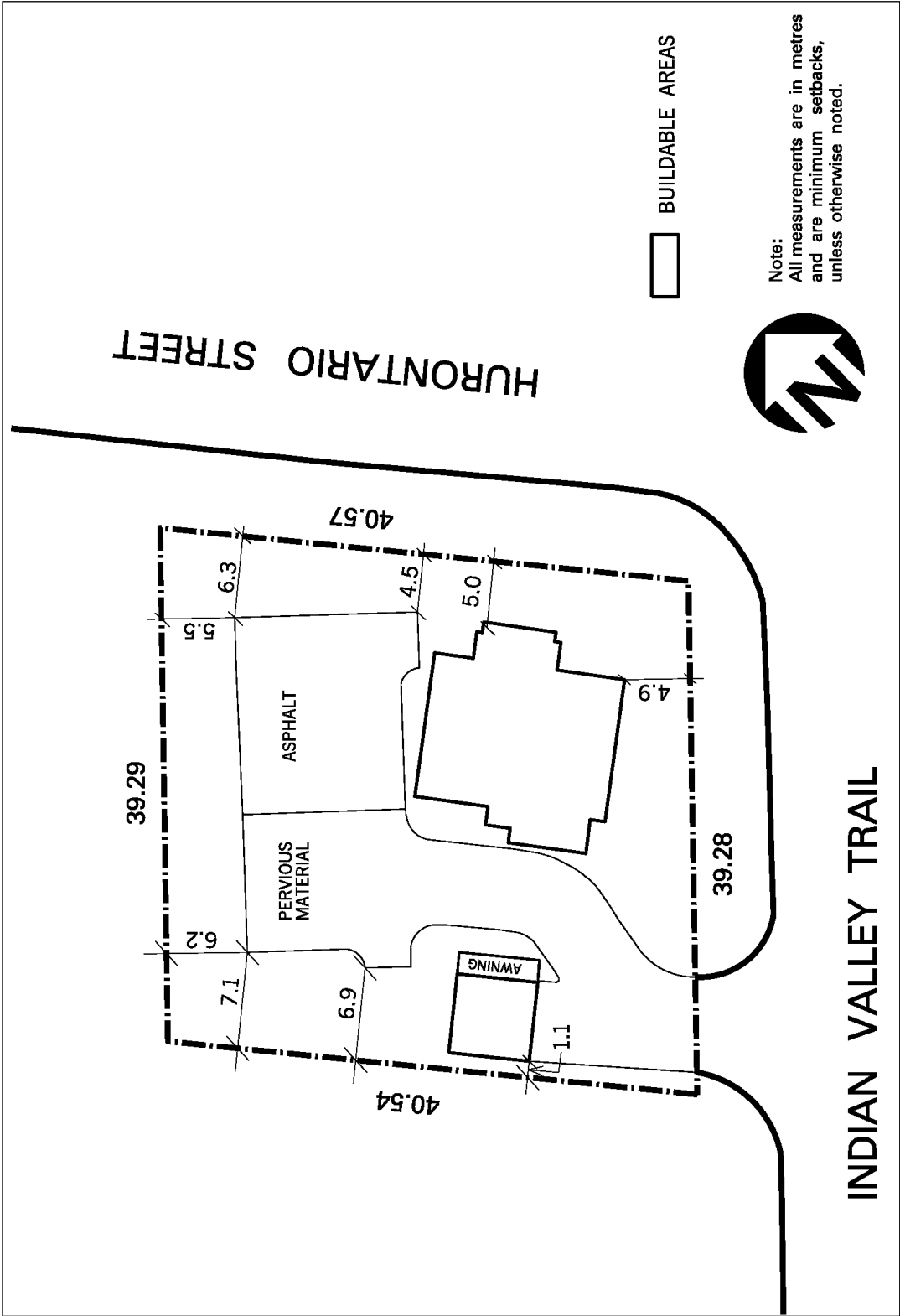
4.2.2.106	Exception: RL-106	Map # 44W	By-law: 0199-2010, 0308-2011, 0048-2025
In a RL-106 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses/regulations shall apply:			
Regulation			
4.2.2.106.1	<i>deleted</i>		
4.2.2.106.2	<i>deleted</i>		
4.2.2.106.3	<i>deleted</i>		
4.2.2.106.4	Maximum projection of the garage beyond any portion of the front wall or exterior side wall of the first storey	0.0 m	

4.2.2.107	Exception: RL-107	Map # 39E	By-law: 0380-2009/OMB Order 2010 October 13, 0308-2011, 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RL-107 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses/regulations shall apply:			
Regulations			
4.2.2.107.1	<i>deleted</i>		
4.2.2.107.2	Maximum gross floor area - infill residential	190 m ² plus 0.2 times the lot area	
4.2.2.107.3	<i>deleted</i>		
4.2.2.107.4	<i>deleted</i>		

Exception RL-107 continued on next page

4.2.2.107	Exception: RL-107	Map # 39E	By-law: 0380-2009/OMB Order 2010 October 13, 0308-2011, 0181-2018/LPAT Order 2019 February 15, 0048-2025
Exception RL-107 continued from previous page			
4.2.2.107.5	Minimum setback to garage face - interior lot		7.5 m
4.2.2.107.6	<i>deleted</i>		
4.2.2.107.7	<i>deleted</i>		
4.2.2.107.8	<i>deleted</i>		
4.2.2.107.9	Garage projection: maximum projection of the garage beyond the front wall or exterior side wall of the first storey		2.0 m
4.2.2.107.10	<i>deleted</i>		

4.2.2.108	Exception: RL-108	Map # 08	By-law: OMB Order 2014 March 18, 0193-2016/ OMB Order 2017 May 30, 0048-2025
In a RL-108 zone the applicable regulations shall be as specified for a RL zone except that the following uses/regulations shall apply:			
Permitted Use			
4.2.2.108.1	Lands zoned RL-108 shall only be used for the following: (1) Detached Dwelling or (2) Semi-Detached or (3) Office with one dwelling unit or (4) Medical office - restricted with one dwelling unit		
Regulations			
4.2.2.108.2	<i>deleted</i>		
4.2.2.108.3	Minimum centre line setback from Hurontario Street		19.0 m
4.2.2.108.4	<i>deleted</i>		
4.2.2.108.5	<i>deleted</i>		
4.2.2.108.6	<i>deleted</i>		
4.2.2.108.7	<i>deleted</i>		
4.2.2.108.8	An office and medical office - restricted shall comply with the RL zone regulations contained in Subsection 4.2.1 of this By-law except that: (1) maximum gross floor area - non-residential (2) maximum lot coverage (3) maximum number of parking spaces that may be tandem parking spaces		175 m ² 15% 2
4.2.2.108.9	All site development plans shall comply with Schedule RL-108 of this Exception		



Schedule RL-108
Map 08

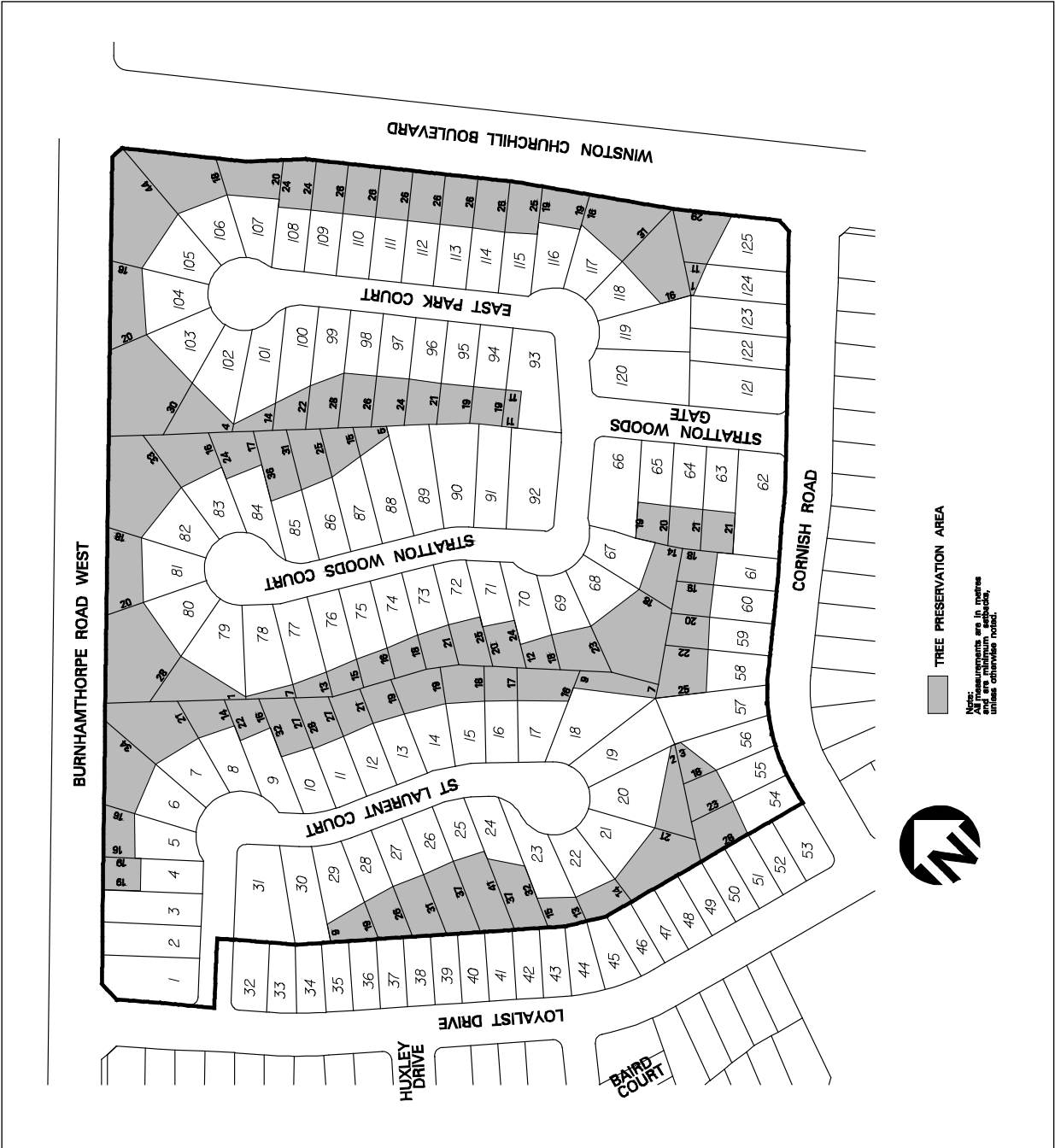
4.2.2.109	Exception: RL-109	Map #	By-law: <i>deleted by 0048-2025</i>

4.2.2.110	Exception: RL-110	Map # 49E	By-law: 0379-2009, 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RL-110 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Regulations			
4.2.2.110.1	A detached dwelling shall comply with the RL zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1)	minimum lot area	425 m ²
	(2)	minimum lot frontage	14.0 m
	(3)	minimum front yard - interior lot	6.0 m
	(4)	minimum interior side yard	0.95 m
	(5)	minimum exterior side yard	3.5 m
	(6)	minimum exterior side yard abutting Scarboro Street	4.5 m
	(7)	minimum setback to garage face	6.0 m

4.2.2.111	Exception: RL-111	Map # 32	By-law: 0048-2025
In a RL-111 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Regulations			
4.2.2.111.1	A detached dwelling shall comply with the RL zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1)	minimum lot area - interior lot	440 m ²
	(2)	minimum lot frontage - interior lot	6.0 m
	(3)	minimum front yard	1.5 m

4.2.2.112	Exception: RL-112	Map # 46W	By-law: 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RL-112 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Regulations			
4.2.2.112.1	The regulations of Lines 3.0 to 14.0 contained in Table 4.2.1 of this By-law shall not apply		
4.2.2.112.2	A detached dwelling shall comply with the RL zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1)	maximum number of dwelling units per hectare on all lands zoned RL-112	19.8
	(2)	minimum setback to a condominium road	4.5 m
	(3)	minimum distance between buildings	3.0 m
	(4)	minimum setback of all buildings and structures to any lot line	7.5 m
	(5)	minimum setback of a garage face to a condominium road	6.0 m
	(6)	<i>deleted</i>	
	(7)	height of all buildings and structures shall be measured from established grade	

4.2.2.113	Exception: RL-113	Map # 59	By-law: 0048-2025
<p>In a RL-113 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses/regulations shall apply:</p>			
Regulations			
4.2.2.113.1	<p>A detached dwelling shall comply with the RL zone regulations contained in Subsection 4.2.1 of this By-law except that:</p> <p>(1) minimum interior side yard</p>		1.5 m
4.2.2.113.2	<p>Minimum rear yard measured from the limit of the tree preservation area for a lot that includes a tree preservation area, identified on Schedule RL-113 of this Exception</p>		7.5 m
4.2.2.113.3	<p>Minimum setback between a detached dwelling and the tree preservation area for a lot that includes or abuts a tree preservation area, identified on Schedule RL-113 of this Exception</p>		3.0 m
4.2.2.113.4	<p>The areas identified on Schedule RL-113 of this Exception as a tree preservation area, shall only be used for conservation purposes, and no buildings or structures, swimming pools, tennis courts or any like recreational facilities, except for fences along the lot lines, shall be permitted</p>		



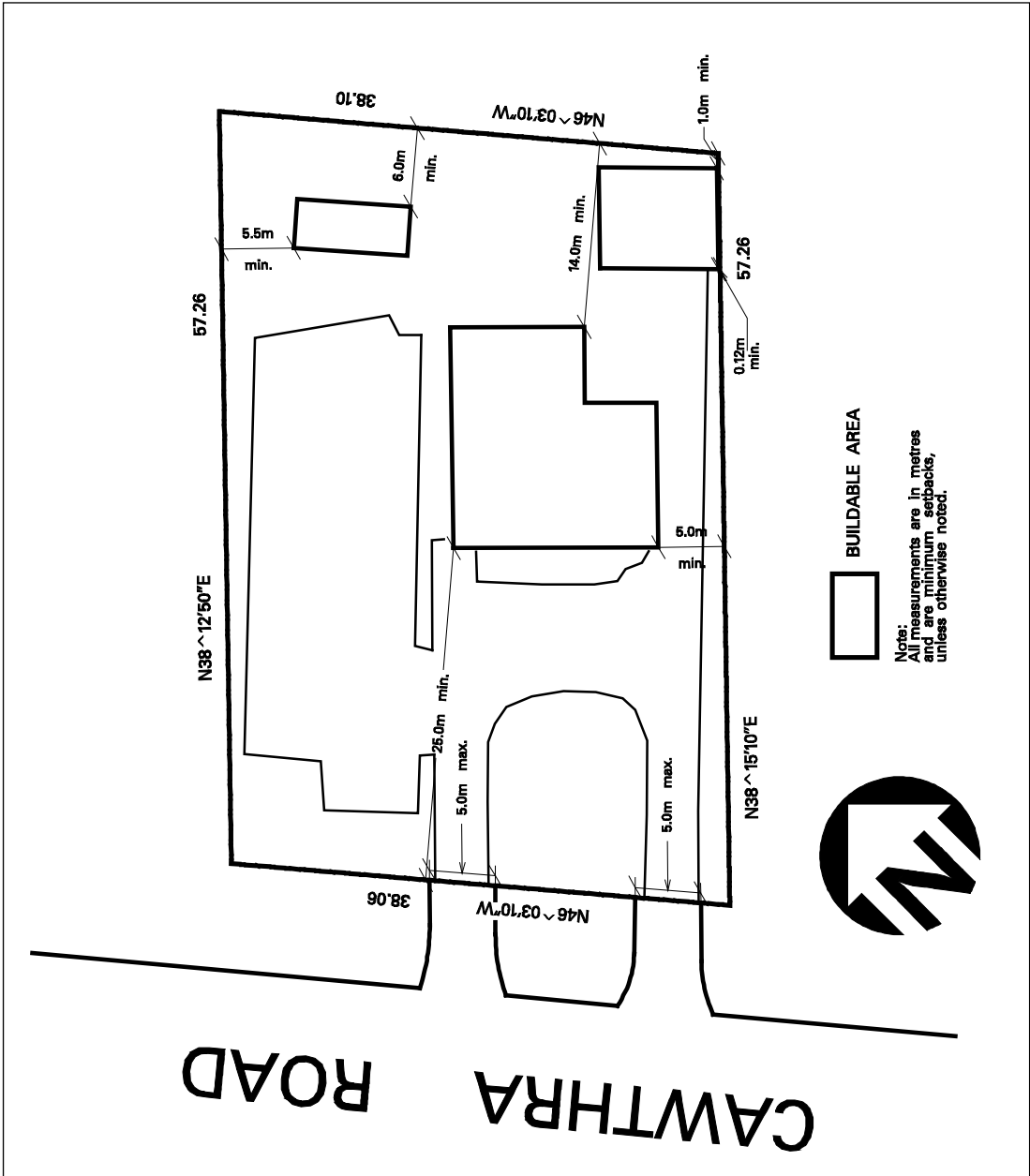
Schedule RL-113
Map 59

4.2.2.114	Exception: RL-114	Map # 38W	By-law: 0048-2025
In a RL-114 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Regulations			
4.2.2.114.1	A detached dwelling shall comply with the RL zone regulations contained in Subsection 4.2.1 of this By-law except that:		
(1)	minimum lot area	500 m ²	
(2)	maximum lot coverage	45%	

4.2.2.115	Exception: RL-115	Map # 10	By-law: 0048-2025
In a RL-115 zone the applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Permitted Use			
4.2.2.115.1	Lands zoned RL-115 shall only be used for the following:		
	(1) A private swimming club and accessory uses such as swimming and wading pools, meeting and changing rooms and washroom facilities		
Regulations			
4.2.2.115.2	Minimum front yard		13.5 m
4.2.2.115.3	Minimum interior side yard		2.4 m
4.2.2.115.4	Minimum rear yard		12.0 m
4.2.2.115.5	Maximum lot coverage		20%
4.2.2.115.6	Maximum height		10.7 m
4.2.2.115.7	Minimum number of parking spaces per 10 m ² of swimming pool area		1
4.2.2.115.8	Minimum setback from a parking space to an interior lot line		1.5 m

4.2.2.116	Exception: RL-116	Map # 08	By-law: 0171-2015/ OMB Order 2016 April 04, 0193-2016/OMB Order 2017 May 30, 0048-2025
In a RL-116 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Regulations			
4.2.2.116.1	A detached dwelling shall comply with the RL zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1)	minimum lot area	535 m ²
	(2)	minimum lot frontage - corner lot	15.0 m
4.2.2.116.2	Minimum front yard - interior lot		6.0 m
4.2.2.116.3	<i>deleted</i>		
4.2.2.116.4	<i>deleted</i>		
4.2.2.116.5	<i>deleted</i>		
4.2.2.116.6	<i>deleted</i>		

4.2.2.117	Exception: RL-117	Map # 20	By-law: 0048-2025
In a RL-117 zone the applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Permitted Uses			
4.2.2.117.1	Lands zoned RL-117 shall only be used for the following:		
	(1) Detached Dwelling or (2) Semi-Detached or (3) Medical Office - Restricted		
Regulations			
4.2.2.117.2	A medical office - restricted shall comply with the RL zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1) maximum gross floor area - non-residential used for a medical office - restricted	433 m ²	
	(2) maximum number of physicians, dentists, drugless practitioners or health professionals permitted to practise	3	
	(3) minimum number of parking spaces	15	
	(4) all site development plans shall comply with Schedule RL-117 of this Exception		



Schedule RL-117
Map 20

4.2.2.118	Exception: RL-118	Map # 30	By-law: 0048-2025
In a RL-118 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Regulation			
4.2.2.118.1	<i>deleted</i>		
4.2.2.118.2	<i>deleted</i>		
4.2.2.118.3	A detached dwelling shall comply with the RL zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1) minimum rear yard	1.7 m	

4.2.2.119	Exception: RL-119	Map # 22, 24, 38W, 44W, 45E	By-law: 0048-2025
In a RL-119 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Regulations			
4.2.2.119.1	A detached dwelling shall comply with the RL zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1) minimum lot area - interior lot	450 m ²	
	(2) minimum lot area - corner lot	550 m ²	
	(3) minimum lot frontage - interior lot	14.0 m	
	(4) minimum lot frontage - corner lot	18.0 m	
	(5) minimum front yard - interior lot	6.0 m	
	(6) minimum interior side yard - interior lot	1.2 m	
	(7) minimum interior side yard - interior lot , for that part of a lot that adjoins a one storey garage or a wall of a main building containing no windows or doors into a habitable room	0.61 m	
	(8) minimum combined width of side yards	1.81 m	
4.2.2.119.2	Minimum exterior side yard		4.5 m

4.2.2.120	Exception: RL-120	Map # 11	By-law: 0048-2025
In a RL-120 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Regulations			
4.2.2.120.1	The provisions contained in Subsection 4.1.17 of this By-law shall not apply		
4.2.2.120.2	Access shall only be permitted from Thetford Court		

4.2.2.121	Exception: RL-121	Map # 31, 37E	By-law: 0379-2009, 0171-2015/OMB Order 2016 April 04, 0181-2018/ LPAT Order 2019 February 15, 0048-2025
In a RL-121 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Regulations			
4.2.2.121.1	A detached dwelling shall comply with the RL zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1)	minimum lot area - interior lot	480 m ²
	(2)	minimum lot area - corner lot	585 m ²
	(3)	minimum lot frontage - corner lot	18.0 m
	(4)	maximum lot coverage	45%
	(5)	minimum front yard - interior lot	6.0 m
	(6)	minimum interior side yard - interior lot	1.2 m on one side and 0.61 m on the other side
	(7)	minimum interior side yard - corner lot	1.2 m
	(8)	minimum exterior side yard	4.5 m
	(9)	minimum exterior side yard - lots abutting Cawthra Road	7.5 m
	(10)	minimum rear yard - corner lot	7.5 m
	(11)	minimum setback to a railway right-of-way	22.0 m
	(12)	minimum setback to garage face	6.0 m

4.2.2.122	Exception: RL-122	Map # 45W	By-law: 0048-2025
In a RL-122 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Regulations			
4.2.2.122.1	A detached dwelling shall comply with the RL zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1)	minimum front yard	6.5 m
	(2)	minimum rear yard	30.0 m

4.2.2.123	Exception: RL-123	Map # 45W	By-law: 0048-2025
In a RL-123 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Regulations			
4.2.2.123.1	A detached dwelling shall comply with the RL zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1)	minimum front yard	6.5 m
	(2)	minimum rear yard - lots abutting a G1 zone	17.5 m

4.2.2.124	Exception: RL-124	Map # 32, 39E	By-law: 0048-2025
In a RL-124 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses/regulations shall apply:			
Regulation			
4.2.2.124.1	A detached dwelling shall comply with the RL zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1)	minimum lot area - interior lot	460 m ²

4.2.2.125	Exception: RL-125	Map # 38W	By-law: 0379-2009, 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RL-125 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses/regulations shall apply:			
Regulations			
4.2.2.125.1	A detached dwelling shall comply with the RL zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1)	maximum lot coverage	40%
	(2)	minimum front yard	4.5 m
	(3)	minimum interior side yard	1.2 m
	(4)	minimum setback to garage face	6.0 m

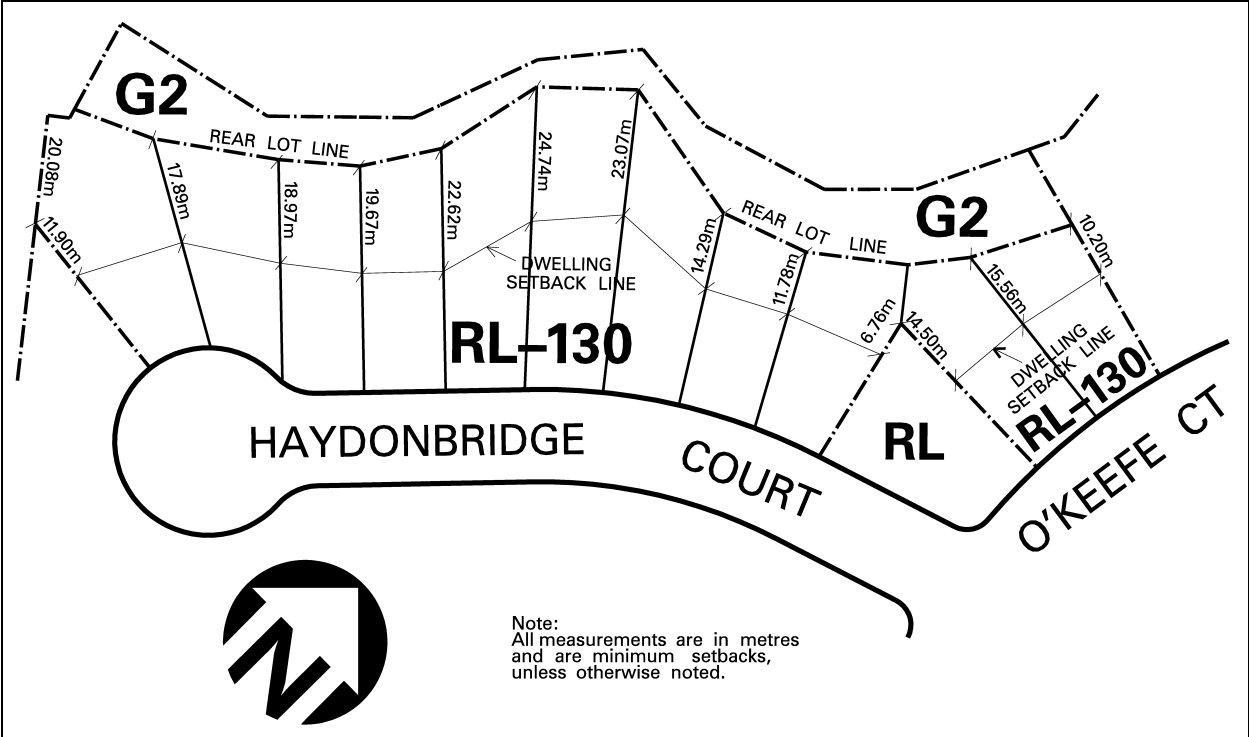
4.2.2.126	Exception: RL-126	Map # 38W	By-law: 0048-2025
In a RL-126 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses/regulations shall apply:			
Regulation			
4.2.2.126.1	A detached dwelling shall comply with the RL zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1)	maximum lot coverage	40%

4.2.2.127	Exception: RL-127	Map # 17, 30, 38W	By-law: 0048-2025
In a RL-127 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses/regulations shall apply:			
Regulations			
4.2.2.127.1	A detached dwelling shall comply with the RL zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1)	maximum lot coverage	40%
	(2)	minimum interior side yard - interior lot	1.2 m

4.2.2.128	Exception: RL-128	Map # 30, 37W, 38E, 38W, 39W	By-law: 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RL-128 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Regulations			
4.2.2.128.1	A detached dwelling shall comply with the RL zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1) minimum lot area - interior lot	560 m ²	
	(2) minimum lot area - corner lot	700 m ²	
	(3) minimum lot frontage - interior lot	14.0 m	
	(4) minimum lot frontage - corner lot	18.5 m	
	(5) maximum lot coverage	40%	
	(6) minimum front yard - interior lot	9.0 m	
	(7) minimum interior side yard - interior lot	1.2 m	
	(8) minimum setback to garage face	12.0 m	

4.2.2.129	Exception: RL-129	Map # 45E	By-law: 0048-2025
In a RL-129 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Regulations			
4.2.2.129.1	Minimum setback of a dwelling to all lands zoned G2-3		15.0 m
4.2.2.129.2	Minimum setback of all accessory buildings and structures and swimming pools to all lands zoned G1		15.0 m

4.2.2.130	Exception: RL-130	Map # 45E	By-law: 0048-2025
In a RL-130 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Regulation			
4.2.2.130.1	Minimum setback of a dwelling to all lands zoned G2	the dwelling setback line identified on Schedule RL-130 of this Exception	



Schedule RL-130
Map 45E

4.2.2.131	Exception: RL-131	Map # 30	By-law: 0379-2009, 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RL-131 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Regulations			
4.2.2.131.1	A detached dwelling shall comply with the RL zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1)	minimum lot area - interior lot	540 m ²
	(2)	minimum lot area - corner lot	680 m ²
	(3)	minimum lot frontage - corner lot	19.0 m
	(4)	maximum lot coverage	40%
	(5)	minimum front yard	4.5 m
	(6)	minimum interior side yard	1.2 m
	(7)	minimum exterior side yard	4.5 m
	(8)	minimum rear yard - corner lot	7.5 m
	(9)	minimum setback to a sight triangle	0.0 m
	(10)	<i>deleted</i>	
	(11)	maximum encroachment of a porch or a balcony into the required front yard or exterior side yard	2.0 m
	(12)	a detached garage shall not be permitted	
	(13)	minimum setback to garage face	6.0 m

4.2.2.132	Exception: RL-132	Map # 24	By-law: 0048-2025
In a RL-132 zone the applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Permitted Uses			
4.2.2.132.1	Lands zoned RL-132 shall only be used for the following:		
	(1)	Detached Dwelling or	
	(2)	Semi-Detached or	
	(3)	Office	

4.2.2.133	Exception: RL-133	Map # 37W	By-law: 0137-2013, 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RL-133 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Regulations			
4.2.2.133.1	A detached dwelling shall comply with the RL zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1)	minimum lot area - interior lot	500 m ²
	(2)	minimum lot area - corner lot	600 m ²
	(3)	minimum lot frontage - interior lot	14.0 m
	(4)	minimum lot frontage - corner lot	17.0 m
	(5)	minimum front yard - interior lot	9.0 m
	(6)	<i>deleted</i>	
	(7)	minimum setback to garage face	12.0 m

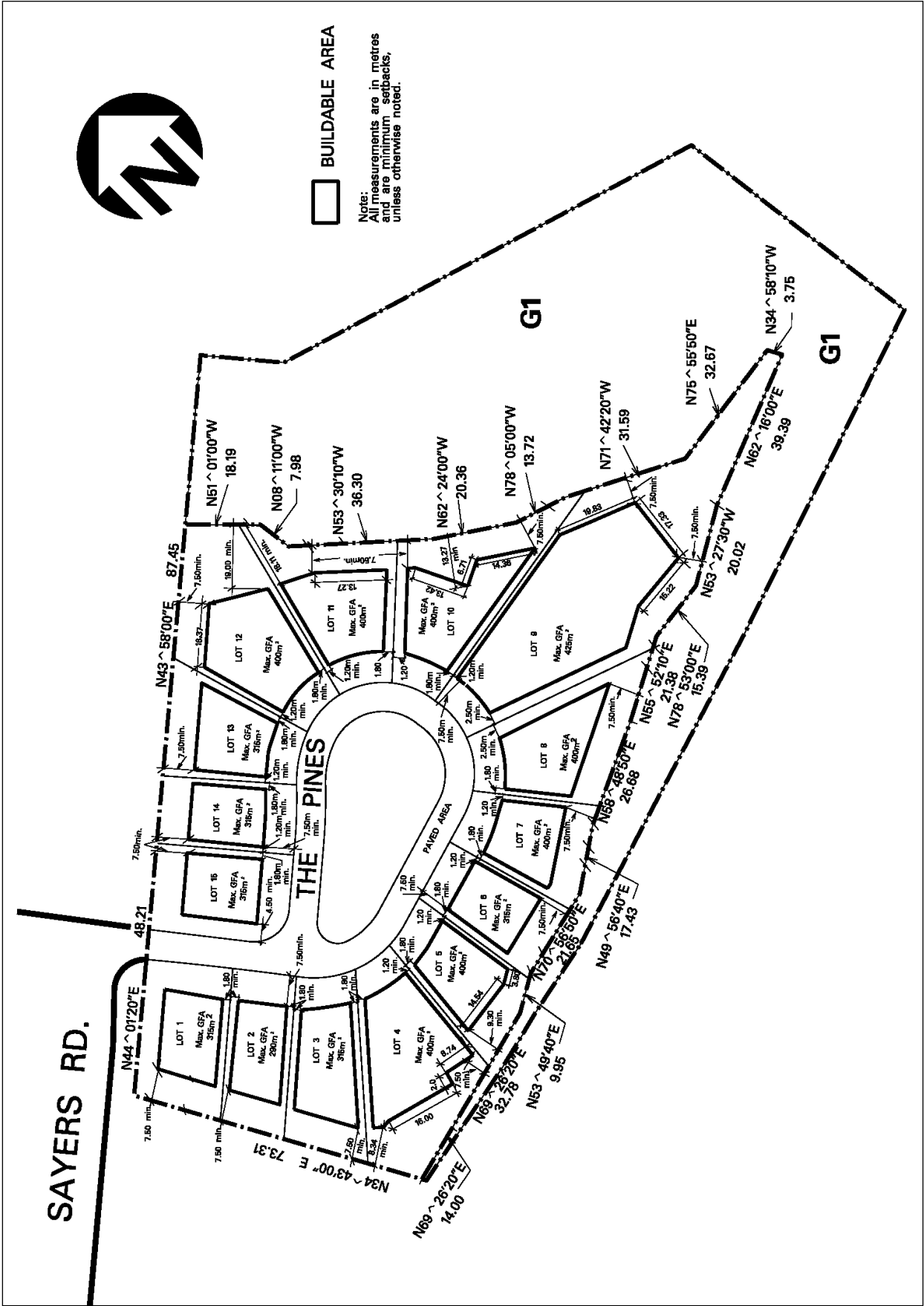
4.2.2.134	Exception: RL-134	Map #	By-law: <i>deleted by 0048-2025</i>

4.2.2.135	Exception: RL-135	Map # 45E	By-law: 0048-2025
In a RL-135 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Regulations			
4.2.2.135.1	Maximum gross floor area - infill residential		190 m ² plus 0.20 times the lot area
4.2.2.135.2	Minimum setback to all lands zoned G1		3.0 m

4.2.2.136	Exception: RL-136	Map # 36W	By-law: 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RL-136 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Regulations			
4.2.2.136.1	A detached dwelling shall comply with the RL zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1)	minimum lot area - interior lot	525 m ²
	(2)	minimum lot area - corner lot	660 m ²
	(3)	minimum lot frontage - interior lot	14.0 m
	(4)	minimum lot frontage - corner lot	18.5 m
	(5)	<i>deleted</i>	
	(6)	<i>deleted</i>	
	(7)	minimum setback to garage face	10.4 m

4.2.2.137	Exception: RL-137	Map # 38W	By-law: 0048-2025
In a RL-137 zone the applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Permitted Uses			
4.2.2.137.1	Lands zoned RL-137 shall only be used for the following:		
	(1)	Detached Dwelling or	
	(2)	Semi-Detached or	
	(3)	Veterinary Clinic	
Regulations			
4.2.2.137.2	A veterinary clinic shall comply with the RL zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1)	maximum number of veterinarians permitted to practise	1
	(2)	maximum gross floor area - non-residential	340 m ²
	(3)	minimum front yard - corner lot	3.4 m
	(4)	minimum exterior side yard	75.0 m
	(5)	minimum interior side yard - corner lot	2.8 m
	(6)	minimum rear yard - corner lot	2.5 m
	(7)	outdoor storage shall not be permitted	
	(8)	a veterinary clinic use and all related activities shall be conducted wholly within the existing building	

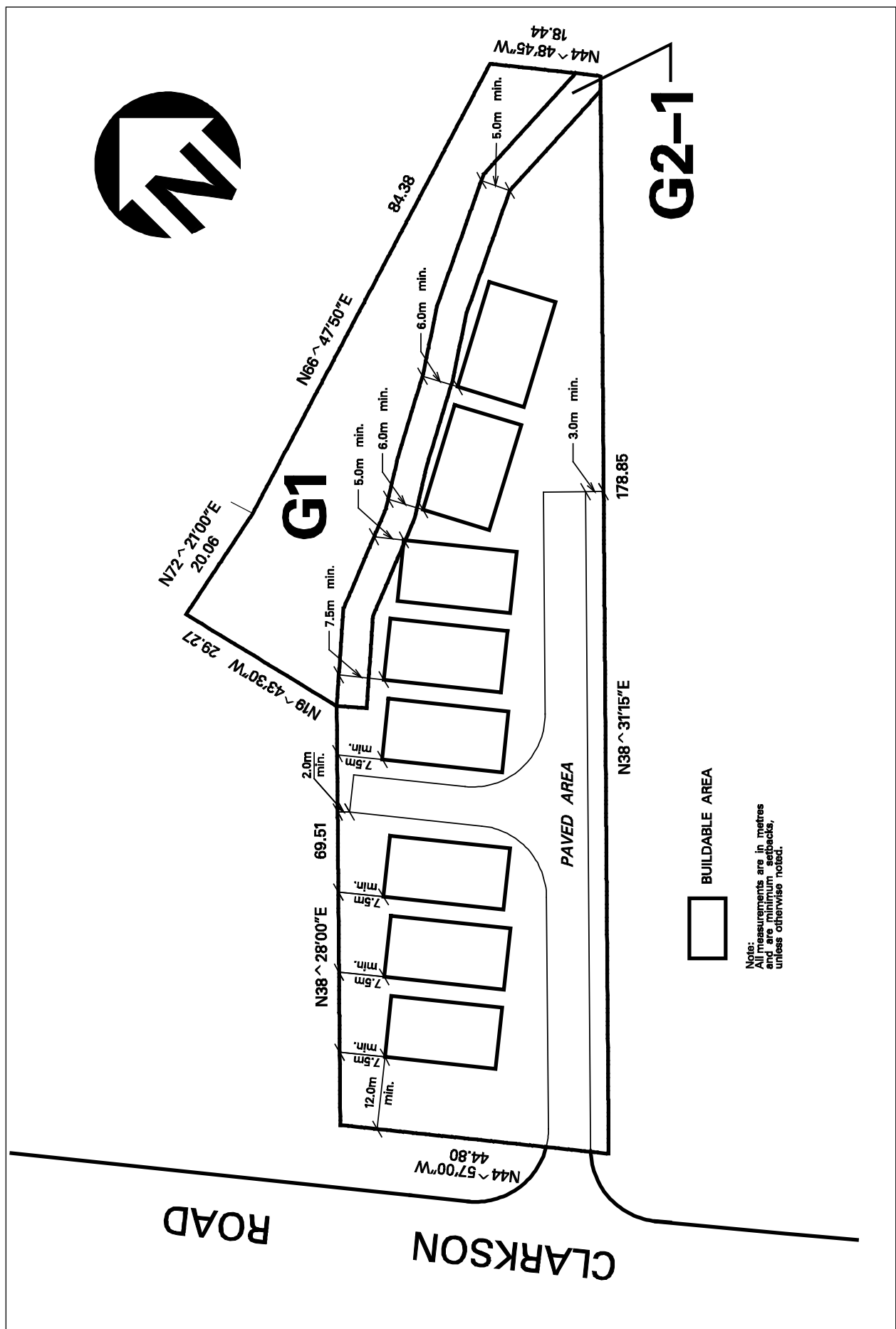
4.2.2.138	Exception: RL-138	Map # 10	By-law: 0048-2025
In a RL-138 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Regulations			
4.2.2.138.1	A detached dwelling shall comply with the RL zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1)	minimum lot area	523 m ²
	(2)	minimum lot frontage	14.5 m
	(3)	<i>deleted</i>	
	(4)	maximum gross floor area - infill residential identified on Schedule RL-138 of this Exception	
	(5)	minimum front yard	7.5 m
	(6)	minimum exterior side yard	5.0 m
	(7)	minimum rear yard	7.5 m
	(8)	no part of any garage shall be located closer to a street , private road or private lane than the first floor walls of the detached dwellings on Lots 1, 2, 3, 5 and 15 identified on Schedule RL-138 of this Exception	
	(9)	maximum height - highest ridge: sloped roof	9.0 m
	(10)	maximum height: flat roof	7.5 m
	(11)	minimum number of parking spaces per dwelling unit	4
	(12)	maximum driveway width	6.0 m
	(13)	all site development plans shall comply with Schedule RL-138 of this Exception	



Schedule RL-138
Map 10

4.2.2.139	Exception: RL-139	Map # 36E	By-law: 0379-2009, 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RL-139 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Regulations			
4.2.2.139.1	A detached dwelling shall comply with the RL zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1)	minimum lot area - interior lot	470 m ²
	(2)	minimum lot area - corner lot	600 m ²
	(3)	<i>deleted</i>	
	(4)	minimum front yard	4.5 m
	(5)	<i>deleted</i>	
	(6)	minimum exterior side yard	4.5 m
	(7)	minimum setback to garage face	6.0 m

4.2.2.140	Exception: RL-140	Map # 10	By-law: 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RL-140 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Regulations			
4.2.2.140.1	A detached dwelling shall comply with the RL zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1)	the regulations contained in Article 3.1.1.8 of this By-law shall not apply	
	(2)	maximum number of detached dwellings on all lands zoned RL-140	8
	(3)	minimum landscaped area	50% of the lot area
	(4)	minimum setback to a condominium road	4.5 m
	(5)	minimum setback to garage face from a condominium road	5.2 m
	(6)	minimum separation between detached dwellings	3.0 m
	(7)	maximum height	7.5 m
	(8)	height of all buildings and structures shall be measured from established grade	
	(9)	maximum driveway width	8.5 m
	(10)	minimum number of parking spaces per dwelling unit	4
	(11)	all site development plans shall comply with Schedule RL-140 of this Exception	



Schedule RL-140
Map 10

4.2.2.141	Exception: RL-141	Map # 30	By-law: 0184-2008, 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RL-141 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Regulations			
4.2.2.141.1	A detached dwelling shall comply with the RL zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1)	minimum lot area - interior lot	480 m ²
	(2)	maximum lot coverage	45%
	(3)	minimum front yard - interior lot	4.5 m
	(4)	minimum interior side yard - interior lot	1.2 m
	(5)	minimum interior side yard - corner lot	1.2 m
	(6)	minimum setback to garage face - interior lot	6.0 m
	(7)	minimum setback to a sight triangle	0.0 m
	(8)	maximum height	11.0 m
	(9)	maximum encroachment of a porch or a balcony into the required front yard or exterior side yard	2.0 m
	(10)	maximum area of a balcony on top of an attached garage	12 m ²
	(11)	a detached garage shall not be permitted	

4.2.2.142	Exception: RL-142	Map # 46W, 54W	By-law: 0048-2025
In a RL-142 zone the applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Permitted Use			
4.2.2.142.1	Lands zoned RL-142 shall only be used for the following:		
	(1)	Day Care	

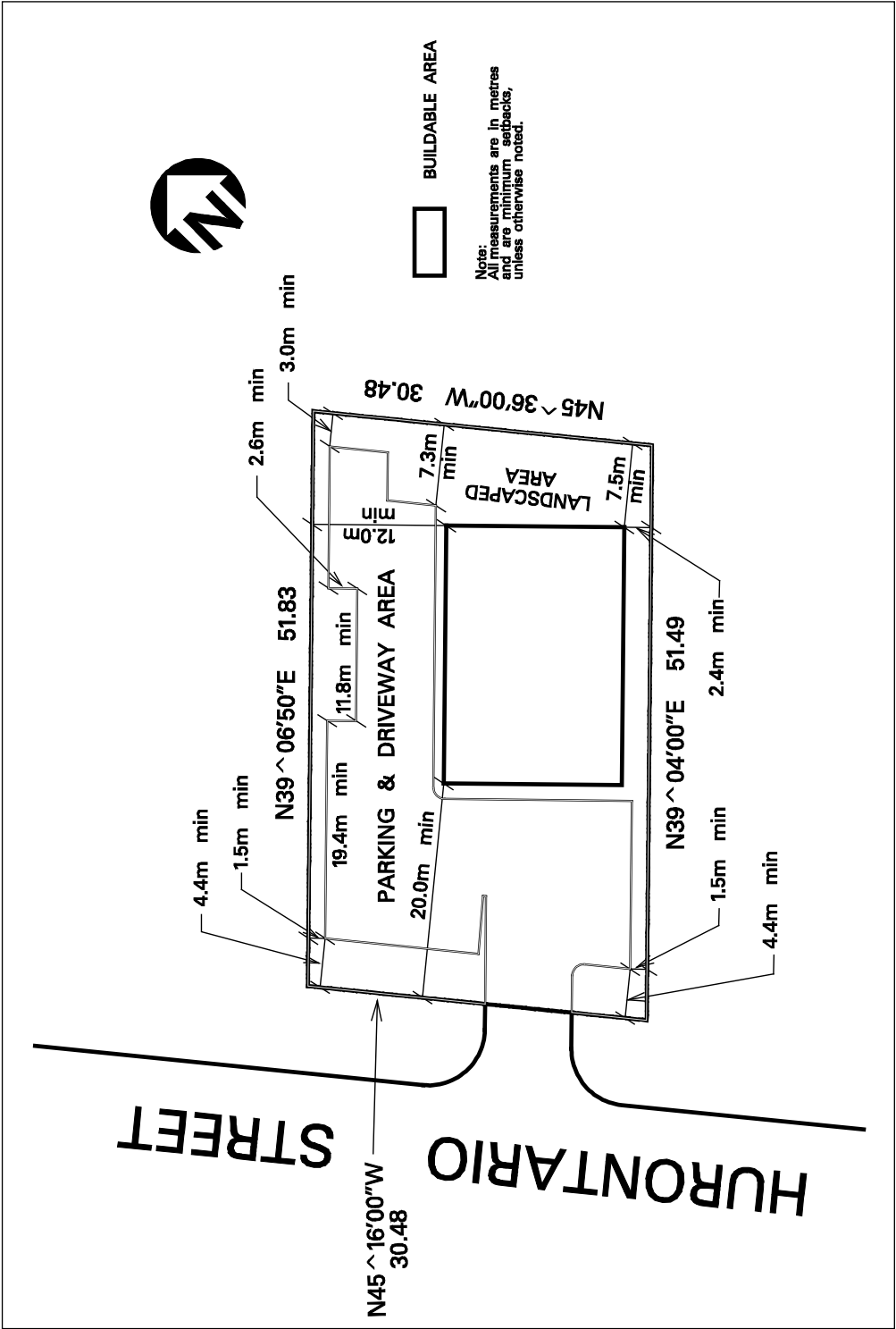
4.2.2.143	Exception: RL-143	Map # 11	By-law: 0048-2025
In a RL-143 zone the applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Permitted Use			
4.2.2.143.1	Lands zoned RL-143 shall only be used for the following:		
	(1)	Medical Office - Restricted	
Regulation			
4.2.2.143.2	Maximum number of physicians, dentists, drugless practitioners or health professionals permitted to practise		2

4.2.2.144	Exception: RL-144	Map # 11	By-law: 0048-2025
In a RL-144 zone the applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Permitted Uses			
4.2.2.144.1	Lands zoned RL-144 shall only be used for the following: (1) Detached Dwelling or (2) Semi-Detached or (3) Medical office - restricted in a detached dwelling		
Regulations			
4.2.2.144.2	Maximum gross floor area - non-residential used for a medical office - restricted	100 m ²	
4.2.2.144.3	Maximum number of physicians, dentists, drugless practitioners or health professionals permitted to practise	1	
4.2.2.144.4	A medical office - restricted shall only be located in the first storey		

4.2.2.145	Exception: RL-145	Map # 07	By-law: 0208-2022, 0048-2025
In a RL-145 zone the applicable regulations shall be as specified for a RL zone except that the following uses/regulations shall apply:			
Permitted Uses			
4.2.2.145.1	Lands zoned RL-145 shall only be used for the following:		
	(1)	Detached Dwelling or	
	(2)	Semi-Detached or	
	(3)	Office	
	(4)	Medical Office - Restricted	
Uses Not Permitted			
4.2.2.145.2	(1)	Office and/or medical office - restricted that requires more than 14 parking spaces	
Regulations			
4.2.2.145.3	Detached Dwelling:		
	(1)	the regulations contained in Subsection 4.2.2 of this By-law shall apply	
	(2)	deleted	
	(3)	maximum height:	9.0 m
		flat roof	

Exception RL-145 continued on next page

4.2.2.145	Exception: RL-145	Map # 07	By-law: 0208-2022, 0048-2025
Exception RL-145 continued from previous page			
4.2.2.145.4	An office and medical office - restricted shall comply with the RL zone regulations contained in Subsection 4.2.1 of this By-law except that:		
(1)	maximum gross floor area - non-residential	420 m ²	
(2)	that part of the building located below average grade shall only be used for the following:		
(1)	climate control, electrical, energy generation and distribution, mechanical equipment related to the operation or maintenance of the building ;		
(2)	areas of stairwells, washrooms or elevators;		
(3)	collection or storage of disposable or recyclable waste generated within the building ;		
(4)	storage incidental to permitted uses in the building ;		
	or		
(5)	lunch rooms, lounges or fitness rooms for the personal needs of occupants of the building .		
(3)	maximum height - highest ridge: sloped roof	10.0 m	
(4)	maximum height: flat roof	9.0 m	
(5)	minimum number of parking spaces per 100 m ² gross floor area - non-residential used for a plastic surgery clinic	3.2	
(6)	maximum encroachment of an awning outside the buildable area identified on Schedule RL-145 of this Exception into the required front yard	4.5 m	
(7)	maximum encroachment of an awning outside the buildable area identified on Schedule RL-145 of this Exception into the northerly required interior side yard	2.0 m	
(8)	"Plastic Surgery Clinic" means a medical office - restricted containing the office of a maximum of one medical practitioner in which plastic, reconstructive and/or cosmetic procedures are undertaken		
(9)	maximum number of parking spaces	14	
(10)	all site development plans shall comply with Schedule RL-145 of this Exception		



Schedule RL-145
Map 07

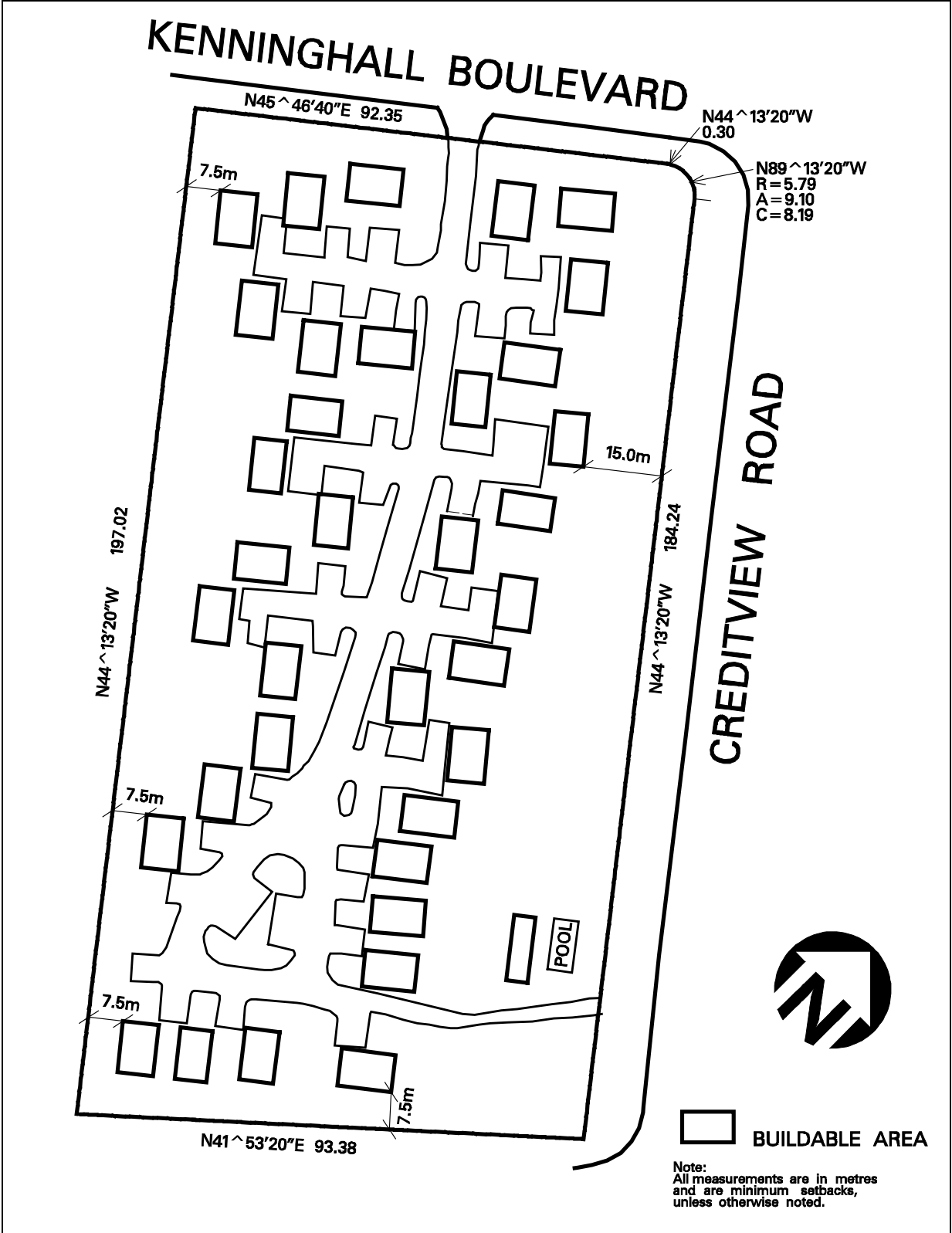
4.2.2.146	Exception: RL-146	Map # 15	By-law: 0048-2025
In a RL-146 zone the applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Permitted Uses			
4.2.2.146.1	Lands zoned RL-146 shall only be used for the following:		
	(1) Detached Dwelling or		
	(2) Semi-Detached or		
	(3) Office		
	(4) Medical Office - Restricted		
Regulation			
4.2.2.146.2	An office and medical office - restricted shall comply with the RL zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1)	maximum gross floor area - non-residential	125 m ²

4.2.2.147	Exception: RL-147	Map # 07	By-law: 0171-2015/ OMB Order 2016 April 04, 0193-2016/OMB Order 2017 May 30, 0048-2025
In a RL-147 zone the applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Permitted Uses			
4.2.2.147.1	Lands zoned RL-147 shall only be used for the following:		
	(1) Detached Dwelling or		
	(2) Semi-Detached or		
	(3) Office		
	(4) Medical Office - Restricted		
Regulations			
4.2.2.147.2	<i>deleted</i>		
4.2.2.147.3	<i>deleted</i>		
4.2.2.147.4	<i>deleted</i>		
4.2.2.147.5	<i>deleted</i>		
4.2.2.147.6	<i>deleted</i>		
4.2.2.147.7	An office and medical office - restricted shall comply with the RL zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1)	maximum gross floor area - non-residential	190 m ²

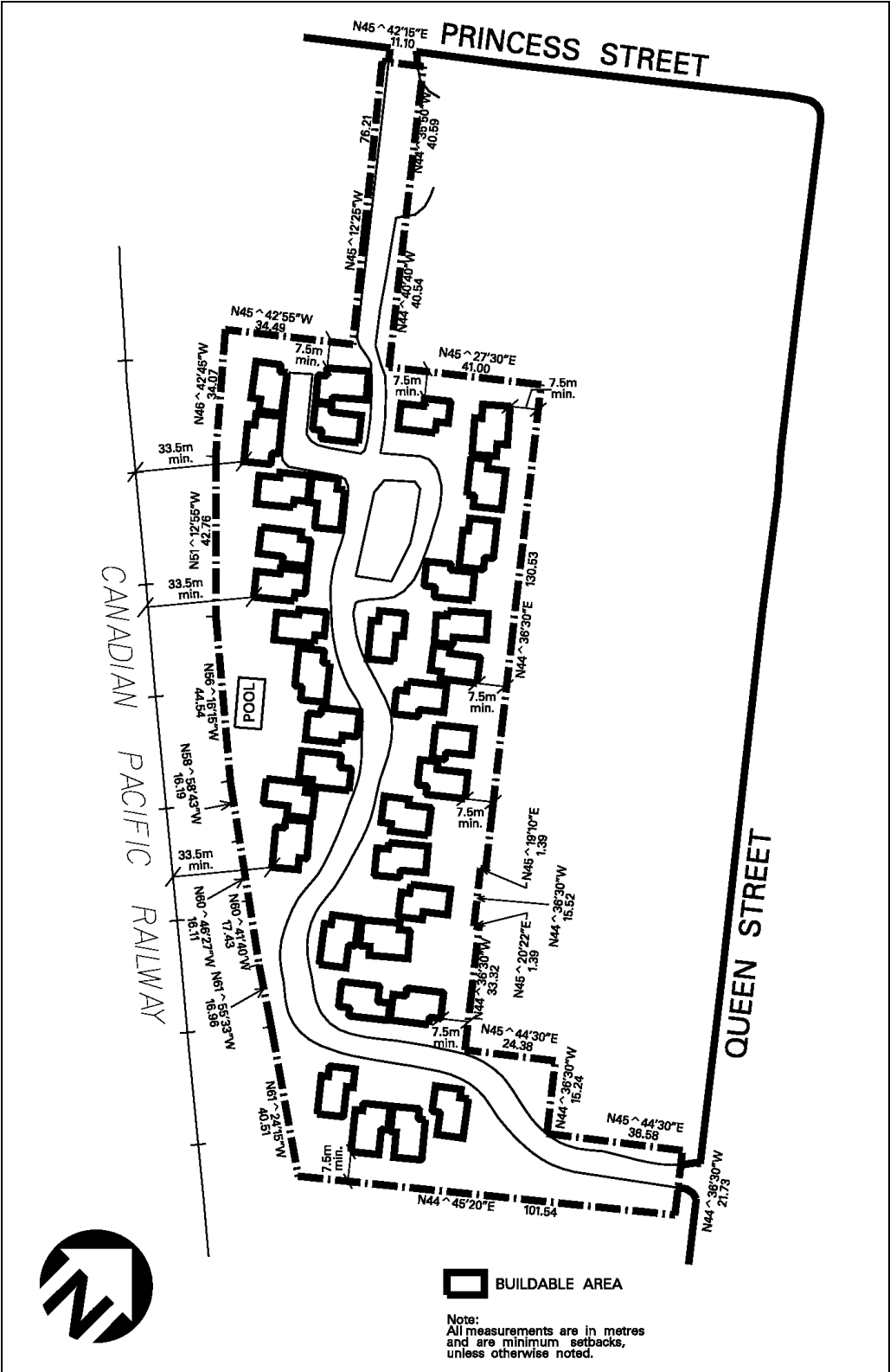
4.2.2.148	Exception: RL-148	Map # 15	By-law: 0048-2025
In a RL-148 zone the applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Permitted Uses			
4.2.2.148.1	Lands zoned RL-148 shall only be used for the following:		
	(1) Detached Dwelling or		
	(2) Semi-Detached or		
	(3) Medical Office - Restricted		
Regulations			
4.2.2.148.2	A medical office - restricted shall comply with the RL zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1)	maximum gross floor area - non-residential used for a medical office - restricted	130 m ²
	(2)	minimum front yard - interior lot	0.0 m
	(3)	minimum westerly interior side yard	0.61 m
	(4)	maximum number of physicians, dentists, drugless practitioners or health professionals permitted to practise	2
	(5)	minimum number of parking spaces	8

4.2.2.149	Exception: RL-149	Map # 07	By-law: 0171-2015/ OMB Order 2016 April 04, 0193-2016/OMB Order 2017 May 30, 0048-2025
In a RL-149 zone the applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Permitted Uses			
4.2.2.149.1	Lands zoned RL-149 shall only be used for the following:		
	(1)	Detached Dwelling or	
	(2)	Semi-Detached or	
	(3)	Office	
	(4)	Medical Office - Restricted	
Regulations			
4.2.2.149.2	<i>deleted</i>		
4.2.2.149.3	<i>deleted</i>		
4.2.2.149.4	<i>deleted</i>		
4.2.2.149.5	<i>deleted</i>		
4.2.2.149.6	An office and medical office - restricted shall comply with the RL zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1)	maximum gross floor area - non-residential	210 m ²
	(2)	minimum rear yard	12.0 m

4.2.2.150	Exception: RL-150	Map # 45W	By-law: 0048-2025
In a RL-150 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Regulations			
4.2.2.150.1	Maximum number of detached dwellings		35
4.2.2.150.2	Height of all buildings and structures shall be measured from established grade		
4.2.2.150.3	All site development plans shall comply with Schedule RL-150 of this Exception		



4.2.2.151	Exception: RL-151	Map # 39E	By-law: 0048-2025
In a RL-151 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses/regulations shall apply:			
Regulations			
4.2.2.151.1	Maximum number of detached dwellings		36
4.2.2.151.2	Minimum separation distance between detached dwellings		3.6 m
4.2.2.151.3	Minimum separation distance between garages		1.2 m
4.2.2.151.4	Height of all buildings and structures shall be measured from established grade		
4.2.2.151.5	All site development plans shall comply with Schedule RL-151 of this Exception		

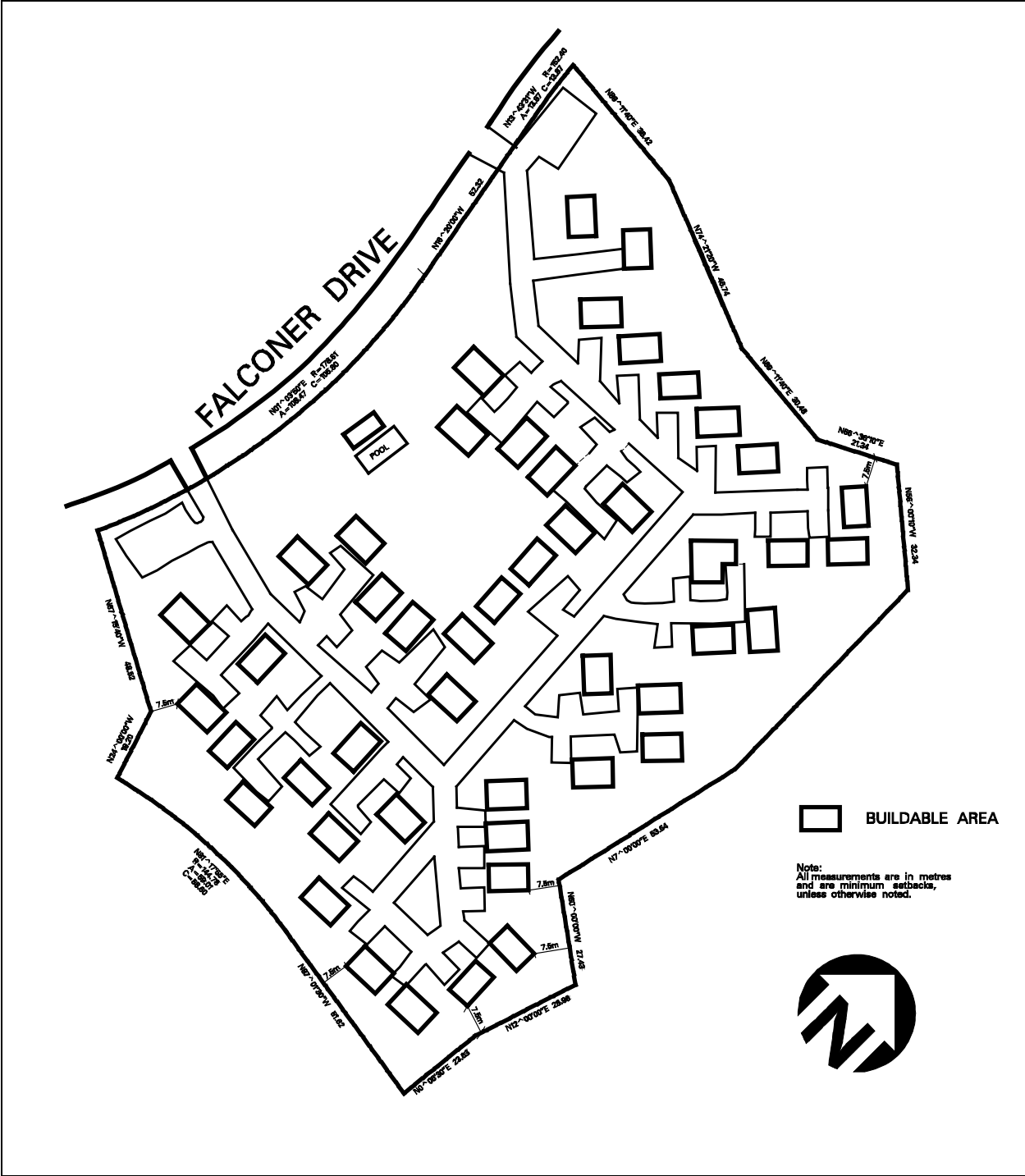


Schedule RL-151
Map 39E

4.2.2.152	Exception: RL-152	Map # 13	By-law: 0308-2011, 0171-2015/OMB Order 2016 April 04, 0193-2016/ OMB Order 2017 May 30, 0111-2019/LPAT Order 2021 March 09, 0048-2025
In a RL-152 zone the applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Permitted Uses			
4.2.2.152.1	Lands zoned RL-152 shall only be used for the following:		
	(1) Detached Dwelling or (2) Semi-Detached or (3) Service Establishment (4) Office		
Regulations			
4.2.2.152.2	deleted		
4.2.2.152.3	deleted		
4.2.2.152.4	deleted		
4.2.2.152.5	deleted		
4.2.2.152.6	A service establishment and/or office shall comply with the RL zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1)	maximum gross floor area - non-residential on all lands zoned RL-152	350 m ²
	(2)	maximum gross floor area - non-residential used for a service establishment on all lands zoned RL-152	200 m ²
	(3)	a service establishment shall only be permitted on the ground floor	
	(4)	minimum lot frontage for lands fronting onto Baldwin Road	12.0 m
	(5)	minimum landscaped area	30% of the lot area
	(6)	maximum height	10.7 m and 2 storeys
	(7)	minimum depth of a landscaped buffer required along the entire length of the Stanfield Road lot frontage	4.5 m

4.2.2.153	Exception: RL-153	Map # 15	By-law: 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RL-153 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Regulations			
4.2.2.153.1	A detached dwelling shall comply with the RL zone regulations contained in Subsection 4.2.1 of this By-law except that: <div><div>(1)</div><div>minimum lot area - interior lot</div><div>515 m²</div><div>(2)</div><div>minimum lot frontage - interior lot</div><div>14.7 m</div></div>		
4.2.2.153.2	Maximum projection of a garage beyond either the main front entrance or beyond the main entry feature where provided		2.5 m
4.2.2.153.3	Where a main entry feature has been provided, the maximum projection of a garage beyond a main front entrance		5.0 m
4.2.2.153.4	For a detached dwelling more than one storey in height , where the garage projects beyond the main front entrance , the garage shall be covered by a second storey which may be set back a maximum of 2.5 m from the garage face		

4.2.2.154	Exception: RL-154	Map # 45W	By-law: 0048-2025
In a RL-154 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Regulations			
4.2.2.154.1	Maximum number of detached dwellings		48
4.2.2.154.2	Height of all buildings and structures shall be measured from established grade		
4.2.2.154.3	All site development plans shall comply with Schedule RL-154 of this Exception		



Schedule RL-154
Map 45W

4.2.2.155	Exception: RL-155	Map # 08	By-law: 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RL-155 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Regulations			
4.2.2.155.1	A detached dwelling shall comply with the RL zone regulations contained in Subsection 4.2.1 of this By-law except that:		
(1)	minimum lot area - interior lot	375 m ²	
(2)	minimum lot area - corner lot	425 m ²	
(3)	minimum lot frontage - interior lot	13.5 m	
(4)	minimum lot frontage - corner lot	15.5 m	
(5)	maximum lot coverage of all buildings and structures excluding the area of a porch or balcony	50%	
(6)	maximum gross floor area - infill residential	190 m ² plus 0.33 times the lot area	
(7)	minimum front yard - corner lot	4.5 m	
(8)	minimum exterior side yard	3.5 m	
(9)	<i>deleted</i>		
(10)	minimum interior side yard - interior lot	1.2 m on one side and 2.4 m on the other side	
(11)	minimum rear yard	6.5 m to first storey	
(12)	minimum rear yard	0.6 m to detached or attached garage and second storey	
(13)	minimum setback to a sight triangle	0.0 m	
(14)	<i>deleted</i>		
(15)	<i>deleted</i>		
(16)	<i>deleted</i>		
(17)	maximum encroachment of a porch or balcony into the required exterior side yard	2.0 m	
(18)	maximum encroachment of window projections and architectural elements, with or without a foundation, such as, but not limited to, chimneys , media niches, pilasters and corbels:		
(1)	into the required front yard	1.0 m	
(2)	into the required interior or exterior side yard	0.6 m	
(19)	the lot line abutting a street with a width of 18.0 m or greater shall be deemed to be the front lot line		
(20)	no parking of motor vehicles or driveways shall be permitted in any part of a front or exterior side yard		
(21)	setback to garage face from the rear lot line	less than 1.0 m; or between 1.8 m and 2.0 m; or greater than 4.5 m	
(22)	minimum number of parking spaces per lot	2	
(23)	where the garage face is set back less than 1.0 m from the rear lot line , an unobstructed area measuring 2.6 m by 5.2 m shall be provided between the garage and one side lot line		
(24)	maximum garage width: measured from the inside face of the garage side walls	11.0 m	

4.2.2.156	Exception: RL-156	Map # 08, 09	By-law: 0379-2009, 0308-2011, 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RL-156 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses/regulations shall apply:			
Regulations			
4.2.2.156.1	A detached dwelling shall comply with the RL zone regulations contained in Subsection 4.2.1 of this By-law except that:		
(1)	minimum lot area - interior lot	500 m ²	
(2)	minimum lot area - corner lot	600 m ²	
(3)	minimum lot frontage - corner lot	18.0 m	
(4)	maximum lot coverage of all buildings and structures , excluding the area of a porch or balcony	40%	
(5)	maximum gross floor area - infill residential	190 m ² plus 0.33 times the lot area	
(6)	minimum front yard - corner lot	6.0 m	
(7)	minimum exterior side yard	4.5 m	
(8)	minimum interior side yard	1.5 m	
(9)	minimum rear yard - corner lot	7.5 m	
(10)	minimum setback to a sight triangle	1.5 m	
(11)	<i>deleted</i>		
(12)	<i>deleted</i>		
(13)	<i>deleted</i>		
(14)	maximum encroachment of a porch or balcony into the required exterior side yard	2.0 m	
(15)	maximum encroachment of window projections and architectural elements, with or without a foundation, such as, but not limited to, chimneys , media niches, pilasters and corbels:		
(1)	into the required front, rear or exterior side yard	1.0 m	
(2)	into the required interior side yard	0.6 m	
(16)	maximum encroachment of a side wall of a garage into the required front yard	1.5 m	
(17)	maximum projection of a garage face beyond any portion of the first floor front wall or exterior side wall of a detached dwelling	0.0 m	
(18)	maximum projection of a garage face beyond any portion of the first floor front wall or exterior side wall of a detached dwelling , where a main entry feature is provided	2.5 m	
(19)	a detached garage shall not be permitted		
(20)	maximum garage width: measured from the inside face of the garage side walls	8.0 m	
(21)	minimum setback to garage face	6.0 m	

4.2.2.157	Exception: RL-157	Map # 09	By-law: 0379-2009, 0308-2011, 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RL-157 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses/regulations shall apply:			
Regulations			
4.2.2.157.1	A detached dwelling shall comply with the RL zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1) minimum lot area - interior lot	500 m ²	
	(2) minimum lot area - corner lot	600 m ²	
	(3) minimum lot frontage - corner lot	18.0 m	
	(4) maximum lot coverage of all buildings and structures , excluding the area of a porch or balcony	40%	
	(5) maximum gross floor area - infill residential	190 m ² plus 0.33 times the lot area	
	(6) <i>deleted</i>		
	(7) minimum exterior side yard	4.5 m	
	(8) <i>deleted</i>		
	(9) <i>deleted</i>		
4.2.2.157.2	Minimum setback to a sight triangle	1.5 m	
4.2.2.157.3	<i>deleted</i>		
4.2.2.157.4	<i>deleted</i>		
4.2.2.157.5	<i>deleted</i>		
4.2.2.157.6	Maximum encroachment of a porch or balcony into the required exterior side yard	2.0 m	
4.2.2.157.7	Maximum encroachment of window projections and architectural elements, with or without a foundation, such as, but not limited to, chimneys , media niches, pilasters and corbels:		
	(1) into the required front, rear or exterior side yard	1.0 m	
	(2) into the required interior side yard	0.6 m	
4.2.2.157.8	Maximum encroachment of a side wall of a garage into the required front yard	1.5 m	
4.2.2.157.9	Maximum projection of a garage face beyond any portion of the first floor front wall or exterior side wall of a detached dwelling	0.0 m	
4.2.2.157.10	Maximum projection of a garage face beyond any portion of the first floor front wall or exterior side wall of a detached dwelling where a main entry feature is provided	2.5 m	
4.2.2.157.11	A detached garage shall not be permitted		
4.2.2.157.12	Maximum garage width: measured from the inside face of the garage side walls	8.0 m	
4.2.2.157.13	Minimum setback to garage face	6.0 m	

4.2.2.158	Exception: RL-158	Map # 14	By-law: 0048-2025
In a RL-158 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Regulation			
4.2.2.158.1	The provisions contained in Subsection 2.1.24 of this By-law shall apply		
Holding Provision			
The holding symbol H is to be removed from the whole or any part of the lands zoned H-RL-158 by further amendment to Map 14 of Schedule B contained in Part 13 of this By-law, as amended, upon satisfaction of the following requirements:			
(1) a letter from a Registered Professional Engineer in the Province of Ontario certifying that the building meets the requirements for flood proofing to the satisfaction of the City and Credit Valley Conservation;			
(2) confirmation in writing from Credit Valley Conservation that safe access to the site has been provided.			

4.2.2.159	Exception: RL-159	Map # 20	By-law: 0048-2025
In a RL-159 zone the applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Permitted Use			
4.2.2.159.1	Lands zoned RL-159 shall only be used for the following:		
	(1) Day Care		
Regulation			
4.2.2.159.2	Minimum number of parking spaces		22

4.2.2.162	Exception: RL-162	Map # 20	By-law: 0048-2025
In a RL-162 zone the applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Permitted Uses			
4.2.2.162.1	Lands zoned RL-162 shall only be used for the following:		
	(1) Detached Dwelling or (2) Semi-Detached or (3) Showroom for the retail display of windows and doors and accessory office		
Regulations			
4.2.2.162.2	A showroom for the retail display of windows and doors and accessory office shall comply with the RL zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1)	maximum gross floor area - non-residential used for a showroom for the retail display of windows and doors and accessory office	150 m ²
	(2)	minimum landscaped area	50% of the lot area
	(3)	maximum lot coverage	15%
	(4)	minimum setback of all buildings, structures and parking areas to the rear lot line	9.0 m

4.2.2.163	Exception: RL-163	Map # 06	By-law: 0048-2025
In a RL-163 zone the applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Permitted Uses			
4.2.2.163.1	Lands zoned RL-163 shall only be used for the following:		
	(1) Detached Dwelling or (2) Semi-Detached or (3) Private Club		

4.2.2.164	Exception: RL-164	Map # 19	By-law: 0048-2025
In a RL-164 zone the applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Permitted Uses			
4.2.2.164.1	Lands zoned RL-164 shall only be used for the following: (1) Detached dwelling legally existing on the date of passing of this By-law (2) Accessory veterinary clinic within the existing detached dwelling		
Regulations			
4.2.2.164.2	The detached dwelling shall be the principal private residence of the veterinarian and the veterinarian must not be an occasional or casual resident thereof		
4.2.2.164.3	Maximum gross floor area - non-residential used for a veterinary clinic	150 m ²	
4.2.2.164.4	Outdoor storage shall not be permitted		
4.2.2.164.5	A veterinary clinic and all related activities shall be conducted wholly within the existing detached dwelling		

4.2.2.165	Exception: RL-165	Map # 25	By-law: 0048-2025
In a RL-165 zone the applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Permitted Uses			
4.2.2.165.1	Lands zoned RL-165 shall only be used for the following: <div><div>(1) Detached Dwelling</div><div>(2) Semi-Detached or</div><div>(3) Garden Centre</div></div>		
Regulation			
4.2.2.165.2	Minimum lot area - garden centre		0.3 ha

4.2.2.166	Exception: RL-166	Map # 56	By-law: <i>deleted by 0131-2019, 0232-2024, 0048-2025</i>
In a RL-166 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Regulations			
4.2.2.166.1	<i>deleted</i>		
4.2.2.166.2	<i>deleted</i>		
4.2.2.166.3	<i>deleted</i>		
4.2.2.166.4	A detached dwelling shall comply with the RL zone regulations contained in Subsection 4.2.1 of this By-law except that: <div><div>(1)maximum lot coverage50%</div><div>(2)minimum exterior side yard3.0 m</div><div>(3)maximum height11.0 m</div><div>(4)<i>deleted</i></div></div>		
4.2.2.166.5	<i>deleted</i>		
4.2.2.166.6	<i>deleted</i>		
4.2.2.166.7	<i>deleted</i>		
4.2.2.166.8	Minimum rear yard - interior lot		6.0 m

4.2.2.167	Exception: RL-167	Map # 15	By-law: 0174-2015, 0048-2025
In a RL-167 zone the applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Permitted Use			
4.2.2.167.1	Lands zoned RL-167 shall only be used for the following:		
	(1) Detached Dwelling or		
	(2) Semi-Detached		
Regulation			
4.2.2.167.2	Minimum lot frontage		13.0 m
4.2.2.167.3	<i>deleted</i>		
4.2.2.167.4	<i>deleted</i>		

4.2.2.168	Exception: RL-168	Map # 39E	By-law: 0048-2025
In a RL-168 zone the applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Permitted Uses			
4.2.2.168.1	Lands zoned RL-168 shall only be used for the following:		
	(1) Detached Dwelling or		
	(2) Semi-Detached or		
	(3) Dental Office		
Regulation			
4.2.2.168.2	A dental office shall comply with the RL zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1) maximum lot coverage	14%	

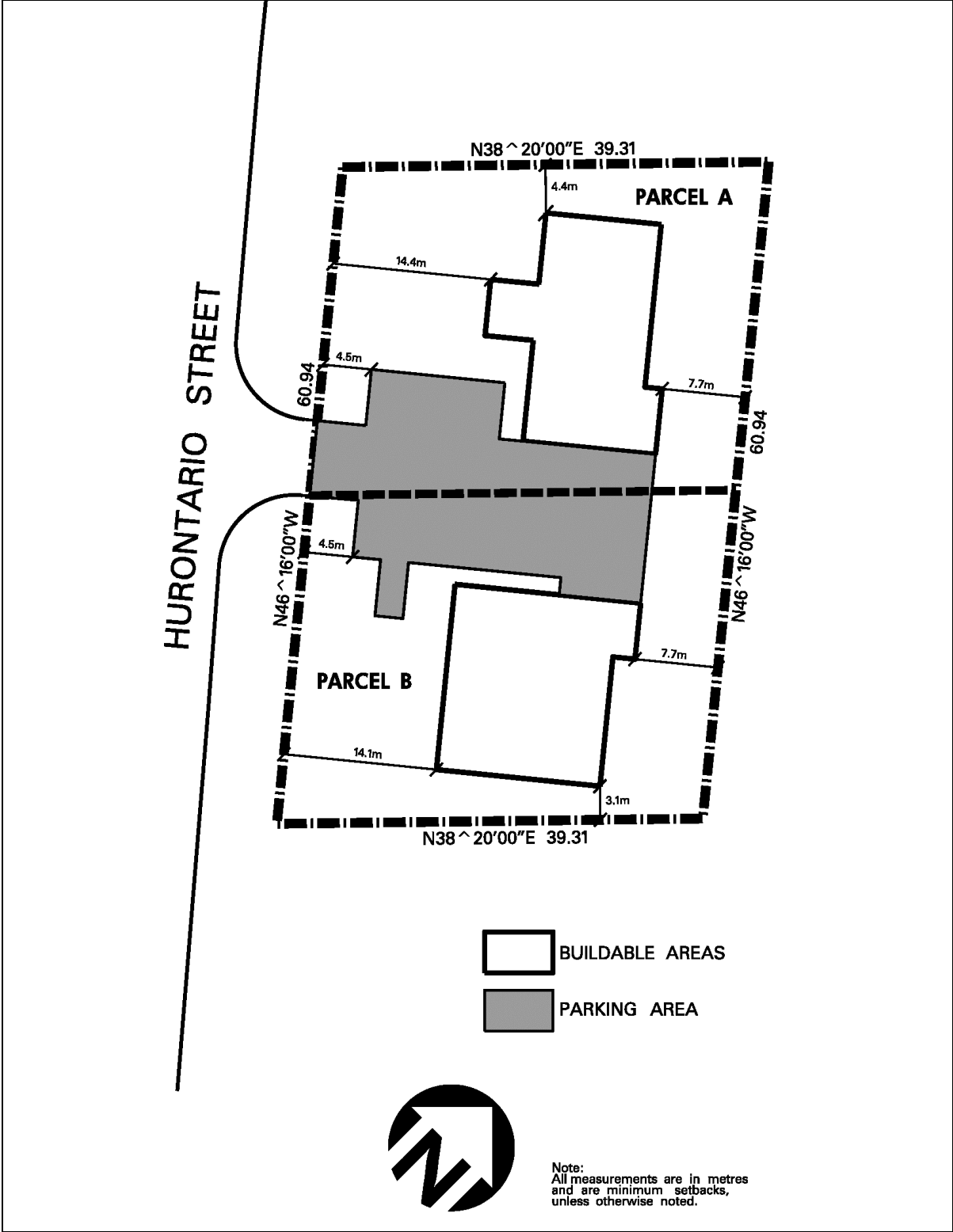
4.2.2.169	Exception: RL-169	Map # 07	By-law: 0019-2008, 0048-2025
In a RL-169 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses/regulations shall apply:			
Permitted Uses			
4.2.2.169.1	(1) Detached Dwelling or (2) Semi-Detached or (3) Office (4) Medical Office - Restricted		
Uses Not Permitted			
4.2.2.169.2	(1) Office and/or medical office - restricted that requires more than thirteen parking spaces		
Regulations			
4.2.2.169.3	Detached Dwelling: (1) the regulations contained in Subsection 4.2.2 of this By-law shall apply (2) minimum interior side yard (3) minimum combined width of side yards - one storey detached dwelling (4) maximum dwelling unit depth		4.27 m on one side of the lot and 0.31 m on the other side 4.58 m 22.0 m
4.2.2.169.4	An office and medical office - restricted shall comply with the RL zone regulations contained in Subsection 4.2.1 of this By-law except that: (1) the regulations contained in Subsection 4.2.2 of this By-law shall apply (2) maximum number of physicians, dentists, drugless practitioners, or health professionals permitted to practise at one time (3) maximum total gross floor area - non-residential (4) maximum gross floor area - non-residential used for a medical office - restricted (5) minimum interior side yard (6) minimum combined width of side yards - one storey building (7) maximum building depth (8) maximum number of parking spaces (9) maximum number of tandem parking spaces (10) minimum aisle width		1 230 m ² 170 m ² 4.27 m on one side of the lot and 0.31 m on the other side 4.58 m 22.0 m 13 6 4.24 m

4.2.2.170	Exception: RL-170	Map # 15	By-law: 0112-2008, 0048-2025
In a RL-170 zone the applicable regulations shall be as specified for a RL zone except that the following uses/regulations shall apply:			
Permitted Uses			
4.2.2.170.1	Lands zoned RL-170 shall only be used for the following:		
	(1) Detached Dwelling or (2) Semi-Detached or (3) Office		
Regulations			
4.2.2.170.2	An office shall comply with the RL zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1) the provisions contained in Article 3.1.3.1 of this By-law shall not apply		
	(2) the office use and all related activities shall be conducted wholly within the detached dwelling legally existing on the date of passing of this By-law		
	(3) maximum number of persons employed on the site	2	
	(4) minimum landscaped area	40% of the lot area	
	(5) minimum number of parking spaces	4	

4.2.2.171	Exception: RL-171	Map # 07	By-law: 0079-2010, 0111-2019/LPAT Order 2021 March 09, 0048-2025
In a RL-171 zone the applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Permitted Use			
4.2.2.171.1	Lands zoned RL-171 shall only be used for the following:		
	(1) Office		
Use Not Permitted			
4.2.2.171.2	(1) <i>deleted</i>		
Regulations			
4.2.2.171.3	Maximum lot coverage for Parcel 'A' and Parcel 'B', respectively, identified on Schedule RL-171 of this Exception		25% of the parcel area
4.2.2.171.4	Maximum gross floor area - non-residential in Parcel 'A' identified on Schedule RL-171 of this Exception		315 m ²
4.2.2.171.5	Maximum gross floor area - non-residential in Parcel 'B' identified on Schedule RL-171 of this Exception		350 m ²
4.2.2.171.6	Minimum number of parking spaces per 100 m ² gross floor area - non-residential in Parcel 'A' identified on Schedule RL-171 of this Exception		2.2
4.2.2.171.7	Tandem parking spaces are permitted in Parcel 'B' identified on Schedule RL-171 of this Exception		
4.2.2.171.8	Maximum number of tandem parking spaces permitted in Parcel 'B' identified on Schedule RL-171 of this Exception		6

Exception RL-171 continued on next page

4.2.2.171	Exception: RL-171	Map # 07	By-law: 0079-2010, 0111-2019/LPAT Order 2021 March 09, 0048-2025
Exception RL-171 continued from previous page			
4.2.2.171.9	Parking areas may be constructed of a permeable type of material		
4.2.2.171.10	Parcel 'A' and Parcel 'B' identified on Schedule RL-171 of this Exception may share driveways and aisles		
4.2.2.171.11	All site development plans shall comply with Schedule RL-171 of this Exception		



Schedule RL-171
Map 07

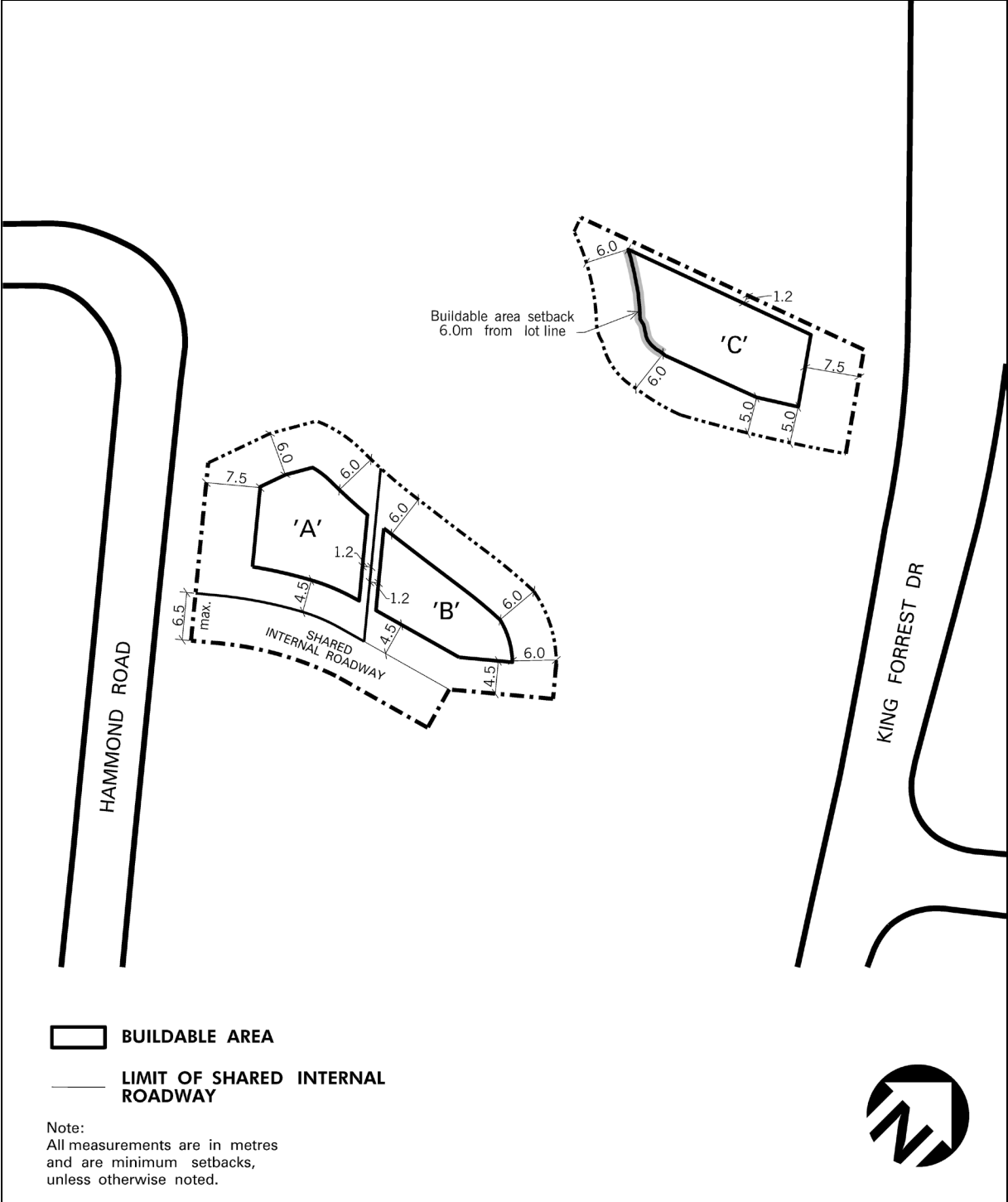
4.2.2.172	Exception: RL-172	Map # 10	By-law: 0084-2009, 0111-2019/LPAT Order 2021 March 09, 0048-2025
In a RL-172 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Additional Permitted Use			
4.2.2.172.1	(1)	Office	
Use Not Permitted			
4.2.2.172.2	(1)	<i>deleted</i>	
Regulations			
4.2.2.172.3	The provisions of Line 3.4 contained in Table 2.1.9.4 of this By-law shall not apply		
4.2.2.172.4	The regulations of Line 12.3 contained in Table 4.2.1 of this By-law shall not apply		
4.2.2.172.5	The regulations contained in Subsection 4.2.2 of this By-law shall apply except that:		
	(1)	minimum combined width of side yards for a building or structure having more than one storey - interior lots having a lot frontage equal to or greater than 18.0 m	20% of the lot frontage
4.2.2.172.6	Maximum gross floor area - non-residential		320 m ²
4.2.2.172.7	Maximum amount of parking area		64% of the front yard
4.2.2.172.8	Minimum setback of a parking area to an interior side lot line abutting a Residential Zone		3.5 m

4.2.2.173	Exception: RL-173	Map # 38W, 39E, 45W	By-law: 0380-2009/ OMB Order 2010 September 13, 0308-2011, 0048-2025
In a RL-173 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Regulations			
4.2.2.173.1	A detached dwelling shall comply with the RL zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1)	<i>deleted</i>	
	(2)	maximum gross floor area - infill residential	150 m ² plus 0.2 times the lot area
4.2.2.173.2	<i>deleted</i>		
4.2.2.173.3	<i>deleted</i>		
4.2.2.173.4	<i>deleted</i>		
4.2.2.173.5	Garage projection: maximum projection of the garage beyond the front wall or exterior side wall of the first storey		2.0 m
4.2.2.173.6	<i>deleted</i>		

4.2.2.174	Exception: RL-174	Map # 37W	By-law: 0024-2011, 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RL-174 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses/regulations shall apply:			
Regulations			
4.2.2.174.1	A detached dwelling shall comply with the RL zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1)	minimum lot area - interior lot	435 m
	(2)	minimum lot area - corner lot	550 m ²
	(3)	minimum lot frontage - interior lot	14.0 m
	(4)	minimum lot frontage - corner lot	17.0 m
	(5)	maximum lot coverage	40%
	(6)	minimum front yard	9.0 m
	(7)	minimum setback to garage face	12.0 m
	(8)	minimum exterior side yard	4.5 m
	(9)	<i>deleted</i>	
	(10)	<i>deleted</i>	
	(11)	minimum rear yard	7.0 m
	(12)	maximum encroachment of a porch or a deck , located at and accessible from the first storey or below the first storey of the dwelling, inclusive of stairs, into a required front and/or exterior side yard	2.0 m
	(13)	a hammerhead shall be permitted on a lot with a lot frontage greater than or equal to 14.0 m	

4.2.2.175	Exception: RL-175	Map # 39E	By-law: 0014-2012, 0048-2025
In a RL-175 zone the applicable regulations shall be as specified for a RL zone except that the following uses/regulations shall apply:			
Permitted Uses			
4.2.2.175.1	Lands zoned RL-175 shall only be used for the following:		
	(1)	Detached Dwelling and/or	
	(2)	Office	
	(3)	Semi-Detached and/or	
	(4)	Office	
Regulations			
4.2.2.175.2	A detached dwelling shall comply with the RL zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1)	minimum front yard	4.2 m
	(2)	minimum interior side yard	1.6 m
4.2.2.175.3	Parking for an office shall only be permitted in the rear yard		

4.2.2.176	Exception: RL-176	Map # 17	By-law: OLT Order 2023 January 03, 0048-2025
In a RL-176 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Regulations			
4.2.2.176.1	The provisions contained in Subsection 4.1.8 of this By-law shall not apply		
4.2.2.176.2	A detached dwelling shall comply with the RL zone regulations contained in Subsection 4.2.1 of this By-law except that: (1) maximum lot area - Lot 'A'		



Schedule RL-176
Map 17

4.2.2.177	Exception: RL-177	Map # 39E	By-law: 0139-2014, 0048-2025
In a RL-177 zone the applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Permitted Uses			
4.2.2.177.1	Lands zoned RL-177 shall only be used for the following:		
	(1) Detached Dwelling or (2) Semi-Detached or (3) Office or (4) Office with one dwelling unit		
Regulations			
4.2.2.177.2	Minimum parking space width		2.45 m
4.2.2.177.3	An office shall comply with the RL zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1)	maximum gross floor area - non-residential	138.5 m ²
	(2)	maximum number of tandem parking spaces	3
	(3)	minimum depth of a landscaped buffer abutting Queen Street South	7.5 m
	(4)	minimum aisle width	6.0 m

4.2.2.178	Exception: RL-178	Map # 38W	By-law: 0246-2014, 0048-2025
In a RL-178 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Regulations			
4.2.2.178.1	An office of a physician, dentist, drugless practitioner or health professional shall comply with the RL zone regulations contained in Subsection 4.2.1 of this By-law except that: <div><div>(1) the provisions contained in Articles 4.1.17.2 and 4.1.17.8 of this By-law shall not apply</div><div>(2) one resident physician, dentist, drugless practitioner or health professional, one non-resident physician, dentist, drugless practitioner or health professional and three employees shall be permitted</div><div>(3) maximum gross floor area - non-residential136 m²</div><div>(4) minimum rear yard6.7 m</div><div>(5) minimum aisle width6.0 m</div><div>(6) minimum landscaped buffer between a parking space and the front lot line2.8 m</div><div>(7) minimum number of parking spaces per 100 m² gross floor area - non-residential5.8</div><div>(8) required number of parking spaces for residential use2</div><div>(9) an access ramp for persons with disabilities shall be permitted to encroach into the required front yard</div></div>		

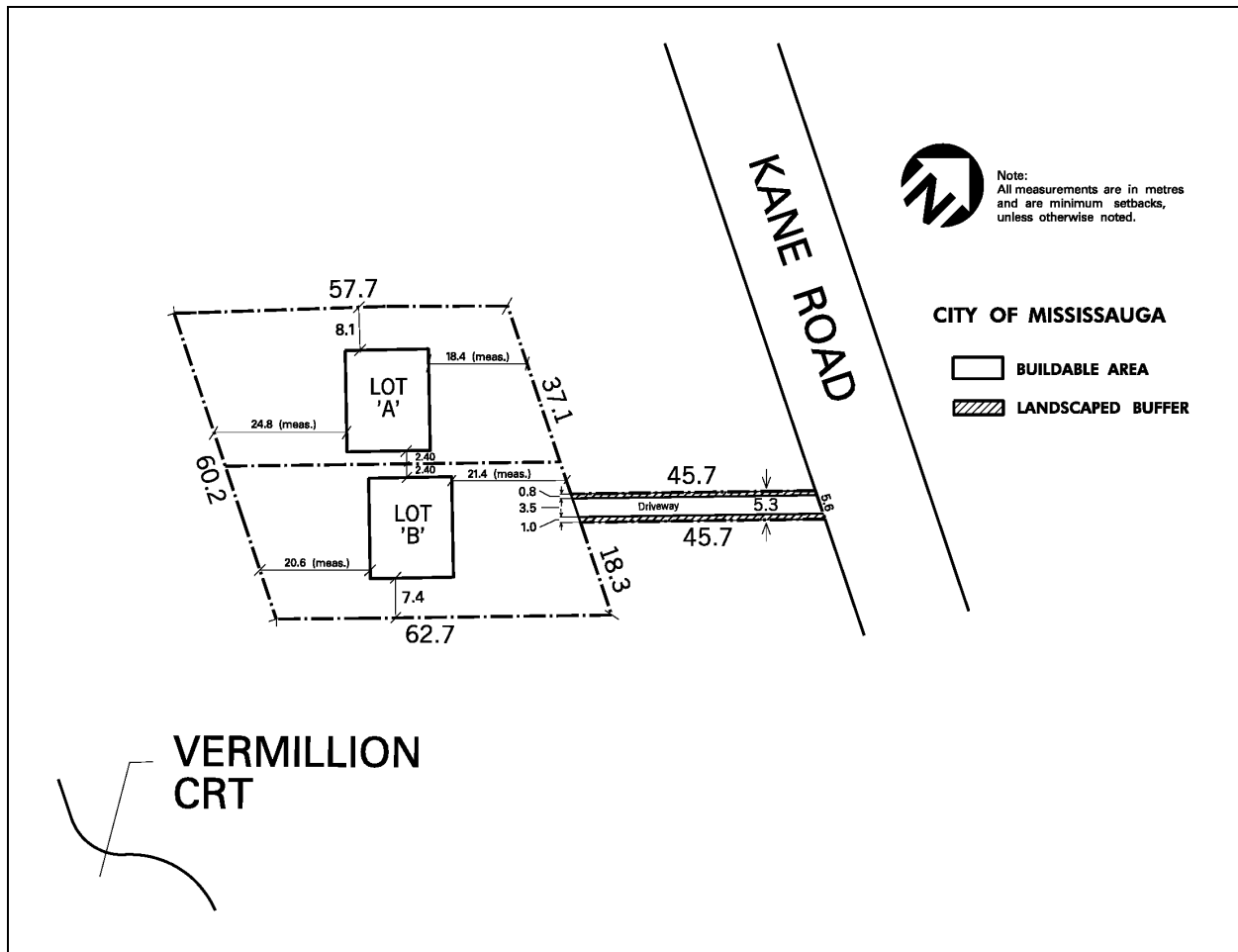
4.2.2.179	Exception: RL-179	Map #	By-law: 0171-2015/ OMB Order 2016 April 04, 0193-2016/OMB Order 2017 May 30/2018 January 10, 0198-2019, 0183-2021, OLT Order 2021 October 14, 0007-2022, 0162-2022, <i>deleted by 0048-2025</i>

4.2.2.180	Exception: RL-180	Map # 07	By-law: 0171-2015/ OMB Order 2016 April 04, 0193-2016/OMB Order 2017 May 30, 0181-2018/ LPAT Order 2019 February 15, 0048-2025
In a RL-180 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Regulations			
4.2.2.180.1	A detached dwelling shall comply with the RL zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1)	minimum lot area - interior lot	480 m ²
	(2)	minimum lot area - corner lot	585 m ²
	(3)	minimum lot frontage - corner lot	18.0 m
	(4)	maximum lot coverage	45%
	(5)	minimum front yard - interior lot	6.0 m
	(6)	minimum exterior side yard	4.5 m
	(7)	minimum exterior side yard - lots abutting Cawthra Road	7.5 m
	(8)	minimum setback to garage face	6.0 m
	(9)	minimum interior side yard - interior lot	1.2 m on one side and 0.61 m on the other side
	(10)	minimum interior side yard - corner lot	1.2 m
	(11)	minimum rear yard - corner lot	7.5 m
	(12)	minimum setback to a railway right-of-way	22.0 m
	(13)	maximum height - highest ridge: sloped roof	9.5 m
	(14)	maximum height: flat roof	7.5 m
	(15)	maximum height of eaves: from average grade to lower edge of eaves	6.4 m
	(16)	maximum dwelling unit depth	20.0 m

4.2.2.181	Exception: RL-181	Map #	By-law: 0193-2016/OMB Order 2018 January 10, <i>deleted by 0048-2025</i>

4.2.2.182	Exception: RL-182	Map #	By-law: 0193-2016/OMB Order 2018 January 10, <i>deleted by 0048-2025</i>

4.2.2.183	Exception: RL-183	Map #	By-law: 0193-2016/OMB Order 2018 January 10, <i>deleted by 0048-2025</i>



Schedule RL-184

Map 08

4.2.2.185	Exception: RL-185	Map # 45E	By-law: 0048-2025
In a RL-185 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Regulations			
4.2.2.185.1	A detached dwelling shall comply with the RL zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1)	minimum lot area - corner lot	660 m ²
	(2)	minimum lot frontage - corner lot	18.8 m
	(3)	<i>deleted</i>	
	(4)	<i>deleted</i>	
	(5)	maximum encroachment of a porch into the required front and exterior side yards - corner lot	4.0 m

4.2.2.186	Exception: RL-186	Map # 52W	By-law: 0174-2017, 0111-2019/LPAT Order 2021 March 09, 0180-2021, 0048-2025
In a RL-186 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Additional Permitted Uses			
4.2.2.186.1	On lands zoned RL-186 the following uses shall also be permitted provided that they are carried on within the existing heritage building or within an addition to the existing heritage building :		
	(1)	Art Gallery	
	(2)	Financial Institution	
	(3)	Office	
	(4)	Community centre or private community centre	
	(5)	Library	
	(6)	Medical Office - Restricted	
	(7)	Overnight Accommodation	
	(8)	Service Establishment	
	(9)	Private Club	
	(10)	Private School	
	(11)	Commercial School	
	(12)	Restaurant	
	(13)	Apartment	
Regulations			
4.2.2.186.2	The provisions contained in Article 2.1.2.1 and the regulations of Sentence 3.1.1.7.1 contained in Article 3.1.1.7 of this By-law shall not apply		
4.2.2.186.3	Minimum lot area - corner lot		1.37 ha
4.2.2.186.4	Maximum gross floor area		1 500 m ²
4.2.2.186.5	Accessory buildings and structures shall be permitted in the exterior side yard		
4.2.2.186.6	For the purpose of this Exception, a commercial school shall include a music school, a dance school, a martial arts school and tutoring		
4.2.2.186.7	"Gross Floor Area" means the aggregate of the areas of each storey above established grade , measured between the exterior faces of the exterior walls, but shall not include a garage used for the parking of motor vehicles		

4.2.2.187	Exception: RL-187	Map # 45E	By-law: 0048-2025
In a RL-187 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses/regulations shall apply:			
Regulations			
4.2.2.187.1	A detached dwelling shall comply with the RL zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1) minimum lot frontage - interior lot	8.5 m	
4.2.2.187.2	Minimum setback of all buildings and structures to the southerly interior side lot line		3.0 m
4.2.2.187.3	Minimum setback of all buildings and structures to all other lot lines		5.0 m

4.2.2.188	Exception: RL-188	Map # 52W	By-law: 0048-2025
In a RL-188 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses/regulations shall apply:			
Regulations			
4.2.2.188.1	<i>deleted</i>		
4.2.2.188.2	Minimum front yard - interior lot		6.0 m
4.2.2.188.3	<i>deleted</i>		
4.2.2.188.4	Maximum encroachment of a porch into the required front yard - interior lot		5.5 m
4.2.2.188.5	Maximum encroachment of a porch into the required front yard - corner lot		4.0 m
4.2.2.188.6	Maximum encroachment of a porch into the required exterior side yard		4.0 m

4.2.2.189	Exception: RL-189	Map # 52W	By-law: 0308-2011, 0048-2025
In a RL-189 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses/regulations shall apply:			
Regulations			
4.2.2.189.1	<i>deleted</i>		
4.2.2.189.2	<i>deleted</i>		
4.2.2.189.3	Minimum front yard - interior lot		6.0 m
4.2.2.189.4	<i>deleted</i>		
4.2.2.189.5	<i>deleted</i>		
4.2.2.189.6	Maximum encroachment of a porch into the required front yard - interior lot		5.5 m
4.2.2.189.7	Maximum encroachment of a porch into the required front yard - corner lot		4.0 m
4.2.2.189.8	Maximum encroachment of a porch into the required exterior side yard		4.0 m
4.2.2.189.9	Maximum projection of the garage beyond any portion of the front wall or exterior side wall of the first storey		0.0 m

4.2.2.190	Exception: RL-190	Map # 57	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RL-190 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Regulations			
4.2.2.190.1	A detached dwelling shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law		
4.2.2.190.2	Semi-Detached: <div><div><div>(1)</div><div>the regulations of Line 5.0 contained in Table 4.2.1 of this By-law shall not apply</div><div></div></div><div><div>(2)</div><div>minimum lot area - interior lot</div><div>220 m²</div></div><div><div>(3)</div><div>minimum lot area - corner lot</div><div>252 m²</div></div><div><div>(4)</div><div>minimum lot frontage - interior lot</div><div>8.5 m</div></div><div><div>(5)</div><div>minimum lot frontage - corner lot</div><div>9.75 m</div></div><div><div>(6)</div><div>minimum front yard - lots with a municipal sidewalk adjacent the front lot line</div><div>4.5 m</div></div><div><div>(7)</div><div>minimum front yard - lots without a municipal sidewalk adjacent the front lot line</div><div>3.5 m</div></div><div><div>(8)</div><div>minimum exterior side yard - lots with a municipal sidewalk adjacent the exterior side lot line</div><div>4.5 m</div></div><div><div>(9)</div><div>minimum exterior side yard - lots without a municipal sidewalk adjacent the exterior side lot line</div><div>3.5 m</div></div><div><div>(10)</div><div>minimum exterior side yard - lots abutting a street with a right-of-way width less than 17.0 m</div><div>1.8 m</div></div><div><div>(11)</div><div>minimum setback to garage face</div><div>5.8 m</div></div><div><div>(12)</div><div>minimum interior side yard - unattached side</div><div>1.2 m</div></div><div><div>(13)</div><div>minimum rear yard where lot abuts a lot with a minimum rear yard of 7.5 m</div><div>6.0 m</div></div><div><div>(14)</div><div>where the abutting lot to the rear of the subject lot has a minimum rear yard of 7.0 m, the minimum rear yard of the subject lot may be reduced to 6.0 m for a maximum of 50% of the width of the rear wall of the semi-detached</div><div></div></div><div><div>(15)</div><div>minimum rear yard where lands abut a pipeline easement</div><div>14.5 m</div></div><div><div>(16)</div><div>minimum rear yard where lands abut a C1 zone</div><div>7.5 m</div></div><div><div>(17)</div><div>minimum rear yard - all other lots</div><div>7.0 m</div></div><div><div>(18)</div><div>maximum encroachment of a porch or balcony into required front or exterior side yard</div><div>2.0 m</div></div><div><div>(19)</div><div>minimum setback to a sight triangle</div><div>0.0 m</div></div><div><div>(20)</div><div>maximum projection of a garage beyond either the main front entrance or beyond the main entry feature where provided</div><div>2.5 m</div></div><div><div>(21)</div><div>where a main entry feature has been provided, the maximum projection of a garage beyond a main front entrance</div><div>5.0 m</div></div></div>		

Exception RL-190 continued on next page

4.2.2.190	Exception: RL-190	Map # 57	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025
Exception RL-190 continued from previous page			
4.2.2.190.2 (continued)	(22)	for a semi-detached more than one storey in height , where the garage projects beyond the main front entrance , the garage shall be covered by a second storey which may be set back a maximum of 2.5 m from the garage face	
	(23)	maximum driveway width - interior lot	4.3 m
	(24)	maximum driveway width - corner lot	4.7 m
	(25)	maximum garage width: measured from the inside face of the garage side walls	3.8 m
	(26)	detached garage shall not be permitted	

4.2.2.191	Exception: RL-191	Map # 23, 30	By-law: 0174-2017, 0048-2025
In a RL-191 zone the applicable regulations shall be as specified for a RL zone except that the following uses/regulations shall apply:			
Permitted Use			
4.2.2.191.1	Lands zoned RL-191 shall only be used for the following:		
	(1) Semi-Detached		
Regulation			
4.2.2.191.2	Minimum lot area - interior lot		305 m ²

4.2.2.192	Exception: RL-192	Map # 26, 29, 30	By-law: 0379-2009, 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RL-192 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses/regulations shall apply:			
Regulations			
4.2.2.192.1	Detached Dwelling:		
	(1)	minimum lot area - interior lot	275 m ²
	(2)	minimum lot frontage - interior lot	9.0 m
	(3)	maximum driveway width	6.0 m
	(4)	minimum front yard	4.5 m
	(5)	minimum exterior side yard	4.5 m
	(6)	minimum setback to garage face	6.0 m
4.2.2.192.2	Semi-Detached:		
	(1)	minimum lot area - interior lot	275 m ²
	(2)	minimum lot area - corner lot	350 m ²
	(3)	minimum front yard	4.5 m
	(4)	minimum exterior side yard	4.5 m
	(5)	minimum setback to garage face	6.0 m

4.2.2.193	Exception: RL-193	Map # 30	By-law: 0379-2009, 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RL-193 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses/regulations shall apply:			
Regulations			
4.2.2.193.1	Detached Dwelling:		
	(1)	minimum lot area - interior lot	370 m ²
	(2)	minimum lot area - corner lot	460 m ²
	(3)	minimum lot frontage - interior lot	12.0 m
	(4)	minimum lot frontage - corner lot	15.0 m
	(5)	minimum rear yard where lands abut an OS1 zone	6.0 m
	(6)	minimum front yard	4.5 m
	(7)	minimum exterior side yard	4.5 m
	(8)	minimum setback to garage face	6.0 m
4.2.2.193.2	Semi-Detached:		
	(1)	minimum lot area - interior lot	277 m ²
	(2)	minimum lot area - corner lot	325 m ²
	(3)	minimum front yard	4.5 m
	(4)	minimum exterior side yard	4.5 m
	(5)	minimum rear yard where lands abut an OS1 zone	6.0 m
	(6)	minimum setback to garage face	6.0 m

4.2.2.194	Exception: RL-194	Map # 56	By-law: 0379-2009, 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RL-194 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses/regulations shall apply:			
Regulations			
4.2.2.194.1	Detached Dwelling:		
	(1)	minimum lot frontage - interior lot	9.0 m
	(2)	maximum gross floor area - residential	0.6 times the lot area
	(3)	maximum driveway width	6.0 m
	(4)	minimum front yard	4.5 m
	(5)	minimum exterior side yard	4.5 m
	(6)	minimum setback to garage face	6.0 m
4.2.2.194.2	Semi-Detached:		
	(1)	maximum gross floor area - residential	0.7 times the lot area
	(2)	minimum front yard	4.5 m
	(3)	minimum exterior side yard	4.5 m
	(4)	minimum interior side yard	0.9 m
	(5)	minimum setback to garage face	6.0 m

4.2.2.195	Exception: RL-195	Map # 27	By-law: 0379-2009, 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RL-195 zone the applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Permitted Use			
4.2.2.195.1 Lands zoned RL-195 shall only be used for the following:			
(1) Semi-Detached			
Regulations			
4.2.2.195.2 Semi-Detached:			
(1) <i>deleted</i>			
(2) minimum exterior side yard 4.5 m			
(3) minimum interior side yard unattached side - interior lot 1.2 m			
(4) minimum interior side yard unattached side - interior lot , for that part of a lot that adjoins a one storey garage or a wall of a main building containing no windows or doors into a habitable room 0.9 m			
(5) minimum rear yard where lands abut a PB1 zone or Dixie Road 13.5 m			
(6) minimum setback to garage face 6.0 m			

4.2.2.196	Exception: RL-196	Map # 31	By-law: 0174-2017, 0048-2025
In a RL-196 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Additional Permitted Use			
4.2.2.196.1 (1) Linked Dwelling			
Regulations			
4.2.2.196.2 Detached Dwelling:			
(1) minimum lot frontage - interior lot 9.0 m			
(2) minimum lot frontage - corner lot 12.0 m			
(3) <i>deleted</i>			
(4) minimum landscaped area 25% of the lot area			
(5) <i>deleted</i>			
(6) <i>deleted</i>			
(7) <i>deleted</i>			
(8) maximum driveway width 6.0 m			
4.2.2.196.3 A linked dwelling shall comply with the RL zone regulations for a semi-detached contained in Subsection 4.2.1 of this By-law			

4.2.2.197	Exception: RL-197	Map # 57	By-law: 0325-2008, 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RL-197 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses/regulations shall apply:			
Regulations			
4.2.2.197.1	A detached dwelling shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1)	minimum setback of a detached dwelling to all lands zoned U-3 on lots located east of Longford Drive	13.0 m
	(2)	minimum setback of a detached dwelling to all lands zoned U-3 on lots located west of Longford Drive or east of Churchill Meadows Boulevard	11.0 m
4.2.2.197.2	Semi-Detached:		
	(1)	the regulations of Line 5.0 contained in Table 4.2.1 of this By-law shall not apply	
	(2)	minimum lot area - interior lot	220 m ²
	(3)	minimum lot area - corner lot	300 m ²
	(4)	minimum lot frontage - interior lot	8.7 m
	(5)	minimum lot frontage - corner lot	10.2 m
	(6)	maximum gross floor area- residential	0.75 times the lot area
	(7)	minimum front yard - lots without a municipal sidewalk adjacent the front lot line	3.5 m
	(8)	minimum front yard - all other lots	4.5 m
	(9)	minimum exterior side yard - lots without a municipal sidewalk adjacent the exterior side lot line	3.5 m
	(10)	minimum exterior side yard - lots adjacent to a street with a right-of-way width of less than 17.0 m	1.8 m
	(11)	minimum exterior side yard - all other lots	4.5 m
	(12)	minimum interior side yard - unattached side	1.2 m
	(13)	minimum rear yard - where lot abuts a lot with a minimum rear yard of 7.5 m	6.0 m
	(14)	where the abutting lot to the rear of the subject lot has a minimum rear yard of 7.0 m, the minimum rear yard of the subject lot may be reduced to 6.0 m for a maximum of 50% of the width of the rear wall of the semi-detached	
	(15)	minimum rear yard - all other lots	7.0 m
	(16)	minimum setback of a semi-detached to all lands zoned U-3 on lots located east of Longford Drive	13.0 m
	(17)	minimum setback of a semi-detached to all lands zoned U-3 on lots located west of Longford Drive	11.0 m
	(18)	minimum setback to garage face	5.8 m
	(19)	minimum setback to a sight triangle	0.0 m
	(20)	maximum encroachment of a porch or balcony into required front or exterior side yard	2.0 m
	(21)	maximum projection of a garage beyond either the main front entrance or beyond the main entry feature where provided	2.5 m

Exception RL-197 continued from previous page

4.2.2.197	Exception: RL-197	Map # 57	By-law: 0325-2008, 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025
Exception RL-197 continued from previous page			
4.2.2.197.2 (continued)	(22)	where a main entry feature has been provided, the maximum projection of a garage beyond a main front entrance	5.0 m
	(23)	for a semi-detached more than one storey in height , where the garage projects beyond the main front entrance , the garage shall be covered by a second storey which may be set back a maximum of 2.5 m from the garage face	
	(24)	maximum driveway width - interior lot	4.3 m
	(25)	maximum driveway width - corner lot	4.7 m
	(26)	maximum garage width: measured from the inside face of the garage side walls	3.8 m
	(27)	detached garage shall not be permitted	

4.2.2.198	Exception: RL-198	Map # 37W	By-law: 0174-2017, 0048-2025
In a RL-198 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses/regulations shall apply:			
Additional Permitted Use			
4.2.2.198.1	(1)	Linked Dwelling	
Regulations			
4.2.2.198.2	A linked dwelling and semi-detached shall comply with the RL zone regulations for a semi-detached contained in Subsection 4.2.1 of this By-law except that:		
	(1)	minimum lot area - interior lot	305 m ²
	(2)	minimum lot area - corner lot	390 m ²
	(3)	maximum lot coverage	40%
	(4)	minimum front yard	6.0 m

4.2.2.199	Exception: RL-199	Map # 25	By-law: 0048-2025
In a RL-199 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses/regulations shall apply:			
Regulation			
4.2.2.199.1	Minimum elevation of all openings in any building or structure		167.95 m above sea level
4.2.2.199.2	<i>deleted</i>		

4.2.2.200	Exception: RL-200	Map # 20	By-law: 0048-2025
In a RL-200 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Regulations			
4.2.2.200.1	The regulations of Line 4.1 contained in Table 4.2.1 of this By-law shall not apply		
4.2.2.200.2	Frontage to the lots shall be provided by mutual right-of-way		

4.2.2.201	Exception: RL-201	Map # 09	By-law: 0379-2009, 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RL-201 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Additional Permitted Use			
4.2.2.201.1	(1)	Linked Dwelling	
Regulations			
4.2.2.201.2	A linked dwelling and semi-detached shall comply with the RL zone regulations for a semi-detached contained in Subsection 4.2.1 of this By-law except that:		
	(1)	minimum front yard	4.5 m
	(2)	minimum interior side yard to the attached garage - attached side	0.0 m
	(3)	minimum setback to garage face	6.0 m

4.2.2.202	Exception: RL-202	Map # 55	By-law: 0174-2017, 0048-2025
In a RL-202 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Regulations			
4.2.2.202.1	Minimum setback of detached dwelling and semi-detached to all lands zoned G1		7.6 m
4.2.2.202.2	Minimum interior side yard - unattached side		0.9 m
4.2.2.202.3	Semi-Detached:		
	(1)	minimum lot area - interior lot	295 m ²
	(2)	minimum lot frontage - interior lot	8.5 m

4.2.2.203	Exception: RL-203	Map # 28, 57, 58	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RL-203 zone the applicable regulations shall be as specified for a RL zone except that the following uses/regulations shall apply:			
Permitted Uses			
4.2.2.203.1	Lands zoned RL-203 shall only be used for the following: (1) Semi-Detached (2) Public school in compliance with the provisions contained in Article 2.1.9.1 of this By-law		
Regulations			
4.2.2.203.2	The regulations of Line 5.0 contained in Table 4.2.1 of this By-law shall not apply		
4.2.2.203.3	Minimum lot area - interior lot	220 m ²	
4.2.2.203.4	Minimum lot area - corner lot	252 m ²	
4.2.2.203.5	Minimum lot frontage - interior lot	8.5 m	
4.2.2.203.6	Minimum lot frontage - corner lot	9.75 m	
4.2.2.203.7	Minimum front yard - lots with a municipal sidewalk adjacent the front lot line	4.5 m	
4.2.2.203.8	Minimum front yard - lots without a municipal sidewalk adjacent the front lot line	3.5 m	
4.2.2.203.9	Minimum exterior side yard - lots with a municipal sidewalk adjacent the exterior side lot line	4.5 m	
4.2.2.203.10	Minimum exterior side yard - lots without a municipal sidewalk adjacent the exterior side lot line	3.5 m	
4.2.2.203.11	Minimum exterior side yard - lots abutting a street with a right-of-way width less than 17.0 m	1.8 m	
4.2.2.203.12	Minimum interior side yard - unattached side	1.2 m	
4.2.2.203.13	Minimum rear yard where lot abuts a lot with a minimum rear yard of 7.5 m	6.0 m	
4.2.2.203.14	Where the abutting lot to the rear of the subject lot has a minimum rear yard of 7.0 m, the minimum rear yard of the subject lot may be reduced to 6.0 m for a maximum of 50% of the width of the rear wall of the semi-detached		
4.2.2.203.15	Minimum rear yard where lands abut a pipeline easement	14.5 m	
4.2.2.203.16	Minimum rear yard where lands abut a C1 zone	7.5 m	
4.2.2.203.17	Minimum rear yard - all other lots	7.0 m	
4.2.2.203.18	Minimum setback to garage face	5.8 m	
4.2.2.203.19	Minimum setback to all lands zoned PB1	18.5 m	
4.2.2.203.20	Minimum setback to a sight triangle	0.0 m	
4.2.2.203.21	Maximum encroachment of a porch or balcony into required front or exterior side yard	2.0 m	
4.2.2.203.22	Maximum projection of a garage beyond either the main front entrance or beyond the main entry feature where provided	2.5 m	
4.2.2.203.23	Where a main entry feature has been provided, the maximum projection of a garage beyond a main front entrance	5.0 m	
4.2.2.203.24	For a semi-detached more than one storey in height , where the garage projects beyond the main front entrance , the garage shall be covered by a second storey which may be set back a maximum of 2.5 m from the garage face		

Exception RL-203 continued on next page

4.2.2.203	Exception: RL-203	Map # 28, 57, 58	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025
Exception RL-203 continued from previous page			
4.2.2.203.25	Maximum driveway width - interior lot		4.3 m
4.2.2.203.26	Maximum driveway width - corner lot		4.7 m
4.2.2.203.27	Maximum garage width: measured from the inside face of the garage side walls		3.8 m
4.2.2.203.28	Detached garage shall not be permitted		

4.2.2.204	Exception: RL-204	Map # 38E	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RL-204 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses/regulations shall apply:			
Regulations			
4.2.2.204.1	A detached dwelling shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1)	minimum lot area - corner lot	365 m ²
	(2)	minimum lot frontage - corner lot	14.0 m
	(3)	minimum setback to garage face	7.0 m
	(4)	minimum setback of a porch to a sight triangle	1.5 m
	(5)	maximum driveway width	5.5 m
	(6)	maximum garage width: measured from the inside face of the garage side walls	5.7 m
	(7)	detached garage shall not be permitted	
4.2.2.204.2	Semi-Detached:		
	(1)	the regulations of Line 5.0 contained in Table 4.2.1 of this By-law shall not apply	
	(2)	minimum lot area - interior lot	225 m ²
	(3)	minimum lot area - corner lot	265 m ²
	(4)	minimum lot frontage - interior lot	8.7 m
	(5)	minimum lot frontage - corner lot	10.2 m
	(6)	maximum gross floor area - residential	0.75 times the lot area
	(7)	minimum front yard	3.6 m
	(8)	minimum exterior side yard	3.6 m
	(9)	minimum setback to garage face	7.0 m
	(10)	minimum interior side yard - unattached side	1.2 m
	(11)	minimum rear yard	7.0 m
	(12)	maximum encroachment of a porch or balcony into required front or exterior side yard	2.0 m
	(13)	maximum projection of a garage beyond either the main front entrance or beyond the main entry feature where provided	2.5 m
	(14)	where a main entry feature has been provided, the maximum projection of a garage beyond a main front entrance	5.0 m

Exception RL-204 continued on next page

4.2.2.204	Exception: RL-204	Map # 38E	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025
Exception RL-205 continued from previous page			
4.2.2.204.2 (continued)	(15)	for a semi-detached more than one storey in height , where the garage projects beyond the main front entrance , the garage shall be covered by a second storey which may be set back a maximum of 2.5 m from the garage face	
	(16)	maximum driveway width	3.8 m
	(17)	maximum garage width: measured from the inside face of the garage side walls	3.8 m
	(18)	detached garage shall not be permitted	

4.2.2.205	Exception: RL-205	Map # 21	By-law: 0174-2017, 0048-2025
In a RL-205 zone the applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Permitted Use			
4.2.2.205.1	Lands zoned RL-205 shall only be used for the following:		
	(1)	Semi-Detached	
Regulations			
4.2.2.205.2	Semi-Detached:		
	(1)	minimum lot area - interior lot	300 m ²
	(2)	deleted	
	(3)	minimum interior side yard - unattached side	0.9 m

4.2.2.206	Exception: RL-206	Map # 44W, 45E	By-law: 0379-2009, 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RL-206 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses/regulations shall apply:			
Regulations			
4.2.2.206.1	A detached dwelling shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1)	maximum lot coverage - where the width of the garage is 5.0 m or less, measured from the outside of opposite exterior walls or from the outside of an exterior wall to the midpoint of an interior wall	45%
	(2)	maximum projection of a garage beyond the main front entrance	7.0 m
4.2.2.206.2	Semi-Detached:		
	(1)	minimum lot area - interior lot	225 m ²
	(2)	minimum lot area - corner lot	300 m ²
	(3)	minimum front yard	4.5 m

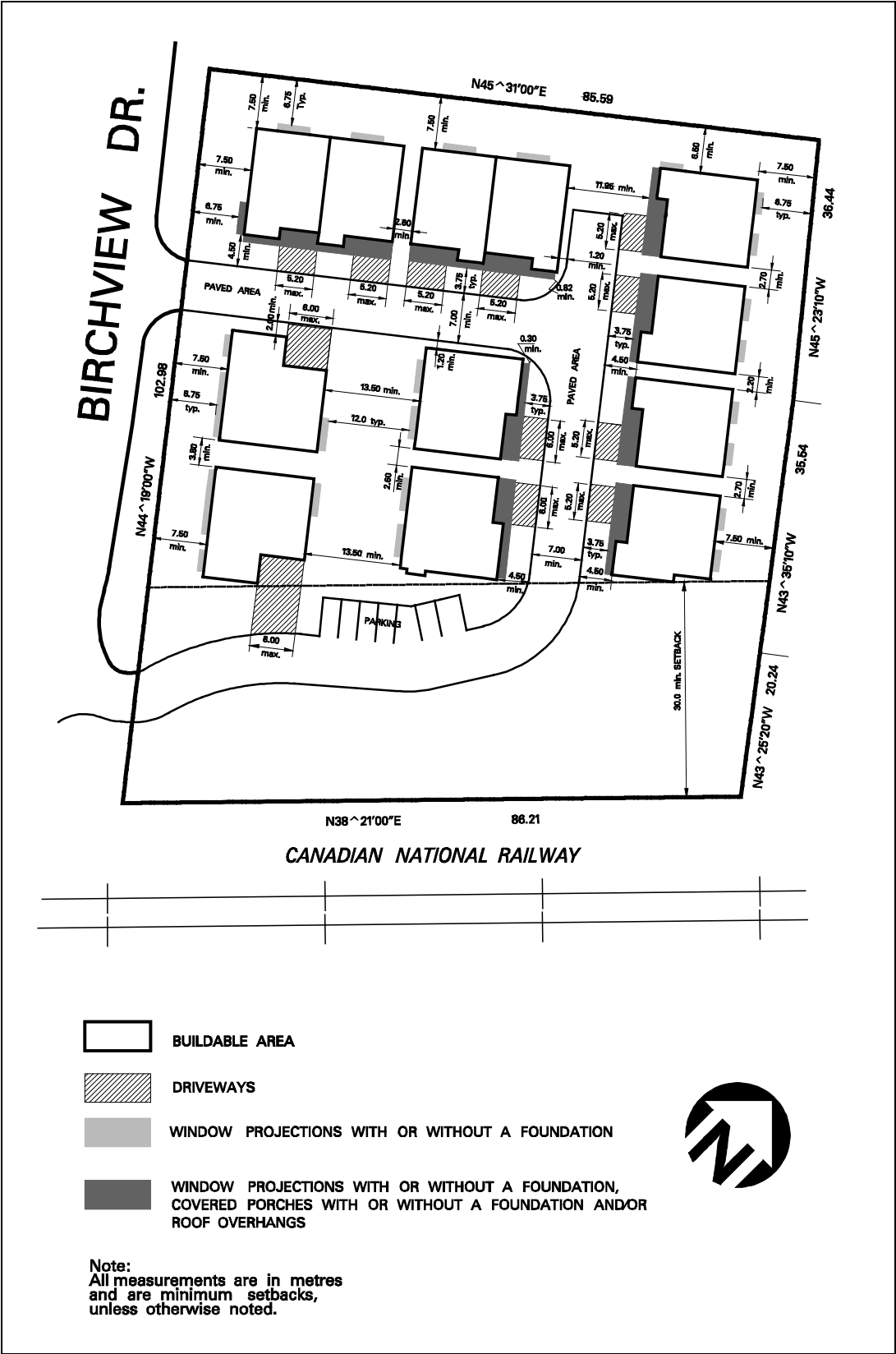
Exception RL-206 continued on next page

4.2.2.206	Exception: RL-206	Map # 44W, 45E	By-law: 0379-2009, 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025
Exception RL-206 continued from previous page			
4.2.2.206.2 (continued)	(4)	minimum exterior side yard	4.5 m
	(5)	minimum interior side yard - unattached side	0.9 m
	(6)	maximum lot coverage:	
	(1)	where the garage does not project more than 1.0 m beyond the main entry feature or 2.5 m beyond the main front entrance or a habitable room on the first storey or	45%
	(2)	where the width of the garage is 5.0 m or less, measured from the outside of opposite exterior walls or from the outside of an exterior wall to the midpoint of an interior wall or	45%
	(3)	all other lots	40%
	(7)	maximum projection of a garage beyond the main front entrance	7.0 m
	(8)	for a semi-detached more than one storey in height, where the garage projects beyond the main front entrance, the garage shall be covered by a second storey which may be set back a maximum of 2.5 m from the garage face	
	(9)	maximum porch area in a front yard - interior lot	12 m ²
	(10)	maximum total porch area in front and exterior side yards - corner lot	20 m ²
	(11)	the area of all porches in front and exterior side yards shall be excluded from the calculation of lot coverage	
	(12)	accessory buildings and structures shall not be located in the front yard or exterior side yard	
	(13)	minimum setback to garage face	6.0 m

4.2.2.207	Exception: RL-207	Map # 09	By-law: 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RL-207 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses/regulations shall apply:			
Regulations			
4.2.2.207.1	The regulations of Line 5.0 contained in Table 4.2.1 of this By-law shall not apply		
4.2.2.207.2	Maximum number of detached dwelling units		8
4.2.2.207.3	Maximum number of semi-detached dwelling units		4
4.2.2.207.4	Minimum setback to garage face from a condominium road		6.0 m
4.2.2.207.5	deleted		
4.2.2.207.6	deleted		

Exception RL-207 continued on next page

4.2.2.207	Exception: RL-207	Map # 09	By-law: 0181-2018/LPAT Order 2019 February 15, 0048-2025
Exception RL-207 continued from previous page			
4.2.2.207.7	Height of all buildings and structures shall be measured from established grade		
4.2.2.207.8	Maximum number of storeys	2	
4.2.2.207.9	Minimum number of parking spaces per dwelling unit	2	
4.2.2.207.10	Minimum number of visitor parking spaces	7	
4.2.2.207.11	All site development plans shall comply with Schedule RL-207 of this Exception		



Schedule RL-207
Map 09

4.2.2.208	Exception: RL-208	Map # 39E, 45W	By-law: 0048-2025
In a RL-208 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Regulation			
4.2.2.208.1	A detached dwelling shall comply with the RL zone regulations contained in Subsection 4.2.1 of this By-law		

4.2.2.209	Exception: RL-209	Map # 16, 27	By-law: 0174-2017, 0048-2025
In a RL-209 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Additional Permitted Use			
4.2.2.209.1	(1)	Linked Dwelling	
Regulation			
4.2.2.209.2	A linked dwelling shall comply with the RL zone regulations for a semi-detached contained in Subsection 4.2.1 of this By-law		

4.2.2.210	Exception: RL-210	Map # 30	By-law: 0379-2009, 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RL-210 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Additional Permitted Use			
4.2.2.210.1	(1)	Linked Dwelling	
Regulations			
4.2.2.210.2	Detached Dwelling:		
	(1)	minimum lot area - interior lot	275 m ²
	(2)	minimum lot frontage	9.0 m
	(3)	maximum driveway width	6.0 m
	(4)	minimum front yard	4.5 m
	(5)	minimum exterior side yard	4.5 m
	(6)	minimum setback to garage face	6.0 m
4.2.2.210.3	Semi-Detached:		
	(1)	minimum lot area - interior lot	275 m ²
	(2)	minimum lot area - corner lot	350 m ²
	(3)	minimum front yard	4.5 m
	(4)	minimum exterior side yard	4.5 m
	(5)	minimum setback to garage face	6.0 m

Exception RL-210 continued on next page

4.2.2.210	Exception: RL-210	Map # 30	By-law: 0379-2009, 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025
Exception RL-210 continued from previous page			
4.2.2.210.4	A linked dwelling shall comply with the RL zone regulations for a semi-detached contained in Subsection 4.2.1 of this By-law except that:		
	(1)	minimum lot area - interior lot	275 m ²
	(2)	minimum lot area - corner lot	350 m ²
	(3)	minimum front yard	4.5 m
	(4)	minimum exterior side yard	4.5 m
	(5)	minimum setback to garage face	6.0 m

4.2.2.211	Exception: RL-211	Map # 21	By-law: 0325-2008, 0055-2009, 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RL-211 zone the applicable regulations shall be as specified for a RL zone except that the following uses/regulations shall apply:			
Permitted Use			
4.2.2.211.1	Lands zoned RL-211 shall only be used for the following:		
	(1) Double Duplex Dwelling		
Regulations			
4.2.2.211.2	A double duplex dwelling shall comply with the RM7 zone regulations contained in Subsection 4.13.1 of this By-law, except that:		
	(1) the regulations of Article 4.1.9.3 and Lines 12.2 and 13.5 contained in Table 4.13.1 of this By-law shall not apply		
	(2)	maximum number of dwelling units on all lands zoned RL-211	4
	(3)	maximum lot coverage	30% of the lot area
	(4)	maximum gross floor area	400 m ²
	(5)	minimum area used for tenant facilities	166 m ²
	(6)	minimum landscaped area	40% of the lot area
	(7)	minimum front yard	15.0 m
	(8)	minimum interior side yard	1.7 m
	(9)	minimum rear yard	11.0 m
	(10)	maximum height: highest ridge of a sloped roof	10.7 m
	(11)	minimum number of resident parking spaces per dwelling unit	1.36
	(12)	minimum number of visitor parking spaces per dwelling unit	0.20

Exception RL-211 continued on next page

4.2.2.211	Exception: RL-211	Map # 21	By-law: 0325-2008, 0055-2009, 0181-2018/LPAT Order 2019 February 15, 0048-2025
Exception RL-211 from previous page			
4.2.2.211.2 (continued)	(13)	no dwelling units , or portions thereof, shall be located below grade	
	(14)	the area used for tenant facilities shall be measured from the centre line of joint interior partitions and from the exterior of outside walls of the building or structure	
	(15)	"Double Duplex Dwelling" means a building that is divided horizontally and vertically into four separate dwelling units , each with an entrance that is either independent or through a common vestibule	
	(16)	"Tenant Facilities" means any part of a building or structure used for furnace rooms, laundry rooms, garbage storage rooms or general storage rooms	
	(17)	"Gross Floor Area" means the aggregate of the areas of each storey above or below established grade measured between the exterior faces of the exterior wall of the building or structure at the level of each storey exclusive of any part of the building or structure used for tenant facilities, stairs or garbage storage	
	(18)	minimum lot frontage	18.0 m
	(19)	maximum area of a deck above an attached garage	10 m ²
	(20)	maximum driveway width	Lesser of 8.5 m or 50% of lot frontage
	(21)	minimum aisle width	6.0 m

4.2.2.212	Exception: RL-212	Map # 57	By-law: 0325-2008, 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RL-212 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses/regulations shall apply:			
Regulations			
4.2.2.212.1	A detached dwelling shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1)	minimum setback of a detached dwelling to all lands zoned U-3 on lots located east of Longford Drive	11.0 m
	(2)	maximum garage width: measured from the inside face of the garage side walls	6.1 m
4.2.2.212.2	Semi-Detached:		
	(1)	the regulations of Line 5.0 contained in Table 4.2.1 of this By-law shall not apply	
	(2)	minimum lot area - interior lot	220 m ²
	(3)	minimum lot area - corner lot	300 m ²
	(4)	minimum lot frontage - interior lot	8.7 m
	(5)	minimum lot frontage - corner lot	10.2 m

Exception RL-212 continued on next page

4.2.2.212	Exception: RL-212	Map # 57	By-law: 0325-2008, 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025
Exception RL-212 continued from previous page			
4.2.2.212.2 (continued)	(6)	maximum gross floor area- residential	0.75 times the lot area
	(7)	minimum front yard - lots without a municipal sidewalk adjacent the front lot line	3.5 m
	(8)	minimum front yard - all other lots	4.5 m
	(9)	minimum exterior side yard - lots without a municipal sidewalk adjacent the exterior side lot line	3.5 m
	(10)	minimum exterior side yard - lots adjacent to a street with a right-of-way width of less than 17.0 m	1.8 m
	(11)	minimum exterior side yard - all other lots	4.5 m
	(12)	minimum interior side yard - unattached side	1.2 m
	(13)	minimum rear yard - where lot abuts a lot with a minimum rear yard of 7.5 m	6.0 m
	(14)	where the abutting lot to the rear of the subject lot has a minimum rear yard of 7.0 m, the minimum rear yard of the subject lot may be reduced to 6.0 m for a maximum of 50% of the width of the rear wall of the semi-detached	
	(15)	minimum rear yard - all other lots	7.0 m
	(16)	minimum setback of a semi-detached to all lands zoned U-3 on lots located east of Longford Drive	11.0 m
	(17)	minimum setback to garage face	5.8 m
	(18)	minimum setback to a sight triangle	0.0 m
	(19)	maximum encroachment of a porch or balcony into required front yard	2.0 m
	(20)	maximum encroachment of a porch or balcony into required exterior side yard	2.0 m
	(21)	maximum projection of a garage beyond either the main front entrance or beyond the main entry feature where provided	2.5 m
	(22)	where a main entry feature has been provided, the maximum projection of a garage beyond a main front entrance	5.0 m
	(23)	for a semi-detached more than one storey in height , where the garage projects beyond the main front entrance , the garage shall be covered by a second storey which may be set back a maximum of 2.5 m from the garage face	
	(24)	maximum driveway width - interior lot	4.3 m
	(25)	maximum driveway width - corner lot	4.7 m
	(26)	maximum garage width: measured from the inside face of the garage side walls	3.8 m
	(27)	detached garage shall not be permitted	

4.2.2.213	Exception: RL-213	Map # 57	By-law: 0455-2007, 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RL-213 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses/regulations shall apply:			
Regulations			
4.2.2.213.1	A detached dwelling shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that: <div><div>(1)</div><div>minimum lot area - interior lot</div><div>275 m²</div></div> <div><div>(2)</div><div>minimum lot frontage - interior lot</div><div>9.75 m</div></div> <div><div>(3)</div><div>minimum lot frontage - corner lot</div><div>13.0 m</div></div> <div><div>(4)</div><div>maximum driveway width</div><div>6.5 m</div></div> <div><div>(5)</div><div>maximum garage width: measured from the inside face of the garage side walls</div><div>5.5 m</div></div> <div><div>(6)</div><div>minimum setback of a lot to Winston Churchill Boulevard</div><div>108.0 m</div></div> <div><div>(7)</div><div>a balcony with a maximum area of 10 m² is permitted on top of an attached garage provided that the balcony does not project more than 1.0 m beyond the garage face</div></div>		
4.2.2.213.2	Semi-Detached: <div><div>(1)</div><div>the regulations of Line 5.0 contained in Table 4.2.1 of this By-law shall not apply</div></div> <div><div>(2)</div><div>minimum lot area - interior lot</div><div>220 m²</div></div> <div><div>(3)</div><div>minimum lot area - corner lot</div><div>252 m²</div></div> <div><div>(4)</div><div>minimum lot frontage - interior lot</div><div>8.5 m</div></div> <div><div>(5)</div><div>minimum lot frontage - corner lot</div><div>9.75 m</div></div> <div><div>(6)</div><div>minimum front yard - lots with a municipal sidewalk adjacent the front lot line</div><div>4.5 m</div></div> <div><div>(7)</div><div>minimum front yard - lots without a municipal sidewalk adjacent the front lot line</div><div>3.5 m</div></div> <div><div>(8)</div><div>minimum exterior side yard - lots with a municipal sidewalk adjacent the exterior side lot line</div><div>4.5 m</div></div> <div><div>(9)</div><div>minimum exterior side yard - lots without a municipal sidewalk adjacent the exterior side lot line</div><div>3.5 m</div></div> <div><div>(10)</div><div>minimum setback to garage face</div><div>5.8 m</div></div> <div><div>(11)</div><div>minimum interior side yard - unattached side</div><div>1.2 m</div></div> <div><div>(12)</div><div>minimum rear yard</div><div>7.0 m</div></div> <div><div>(13)</div><div>maximum encroachment of a porch or balcony into required front or exterior side yard</div><div>2.0 m</div></div> <div><div>(14)</div><div>minimum setback to a sight triangle</div><div>0.0 m</div></div> <div><div>(15)</div><div>maximum projection of a garage beyond either the main front entrance or beyond the main entry feature where provided</div><div>2.5 m</div></div> <div><div>(16)</div><div>where a main entry feature has been provided, the maximum projection of a garage beyond a main front entrance</div><div>5.0 m</div></div>		

Exception RL-213 continued on next page

4.2.2.213	Exception: RL-213	Map # 57	By-law: 0455-2007, 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025
Exception RL-213 continued from previous page			
4.2.2.213.2 (continued)	(17) for a semi-detached more than one storey in height , where the garage projects beyond the main front entrance , a minimum of 75% of the width of the garage , measured from the inside face of the garage walls, shall be covered by a second storey which may be set back a maximum of 2.5 m from the garage face		
	(18)	maximum driveway width - interior lot	4.3 m
	(19)	maximum driveway width - corner lot	4.7 m
	(20)	maximum garage width: measured from the inside face of the garage side walls	3.8 m
	(21)	attached garage is required	
	(22)	detached garage shall not be permitted	
	(23)	a balcony with a maximum area of 10 m ² is permitted on top of an attached garage provided that the balcony does not project more than 1.0 m beyond the garage face	

4.2.2.214	Exception: RL-214	Map # 57	By-law: 0117-2014, 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RL-214 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Regulations			
4.2.2.214.1	A detached dwelling shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law		
4.2.2.214.2	Semi-Detached: (1) the provisions of Line 5.0 contained in Table 4.2.1 of this By-law shall not apply (2) minimum lot area - interior lot 190 m ² (3) minimum lot area - corner lot 252 m ² (4) minimum lot frontage - interior lot 7.5 m (5) minimum lot frontage - corner lot 9.5 m (6) minimum front yard - lots without a municipal sidewalk adjacent the front lot line 3.5 m (7) minimum front yard - lots without a municipal sidewalk adjacent the exterior side lot line 3.5 m (8) minimum setback to the garage face 5.8 m (9) minimum exterior side yard - lots abutting a street 1.8 m (10) minimum interior side yard - unattached side 1.2 m (11) minimum rear yard 6.0 m (12) maximum encroachment of a porch or balcony into required front or exterior side yard 2.0 m		

Exception RL-214 continued on next page

4.2.2.214	Exception: RL-214	Map # 57	By-law: 0117-2014, 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025
Exception RL-214 continued from previous page			
4.2.2.214.2 (continued)	(13)	maximum projection of a garage beyond either the main front entrance or beyond the main entry feature where provided	2.5 m
	(14)	where a main entry feature has been provided, the maximum projection of a garage beyond a main front entrance	5.0 m
	(15)	for a semi-detached more than one storey in height , where the garage projects beyond the main front entrance , the garage shall be covered by a second storey which may be set back a maximum of 2.5 m from the garage face	
	(16)	maximum driveway width - interior lot	4.5 m
	(17)	maximum driveway width - corner lot	5.0 m
	(18)	maximum garage width : measured from the inside face of the garage side walls	3.8 m
	(19)	detached garage shall not be permitted	

4.2.2.215	Exception: RL-215	Map #	By-law: 0171-2015/ OMB Order 2016 April 04, 0193-2016/OMB Order 2017 May 30, <i>deleted by</i> 0048-2025

4.2.2.216	Exception: RL-216	Map # 48E, 48W	By-law: 0225-2016, 0174-2017, 0048-2025
In a RL-216 zone the applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Permitted Uses			
4.2.2.216.1	Lands zoned RL-216 shall only be used for the following:		
	(1)	Detached dwelling in compliance with the RS-61 zone regulations	
	(2)	Semi-Detached	

