

4.7R16 ZONE  
(DETACHED DWELLINGS ON A CEC - ROAD)

4.7.1R16 Permitted Uses and Zone Regulations

All **buildings** and **structures** shall comply with the provisions contained in Parts 1 to 3 and Section 4.1 of this By-law, and the **uses** and zone regulations specified within the applicable zone column contained in Table 4.7.1 - R16 Permitted Uses and Zone Regulations.

**Table 4.7.1 - R16 Permitted Use and Zone Regulations**  
(0325-2008), (0379-2009), (0297-2013), (0190-2014), (0144-2016), (0181-2018/LPAT Order 2019 February 15), (0018-2021), (0182-2024)

Column A		B
Line 1.0	ZONES	R16
PERMITTED USES		
2.0	RESIDENTIAL	
2.1	Detached dwelling on a CEC - road	✓
ZONE REGULATIONS		
3.0	MINIMUM LOT AREA	
3.1	Interior lot	550 m <sup>2</sup>
3.2	CEC - corner lot	720 m <sup>2</sup>
4.0	MINIMUM LOT FRONTAGE	
4.1	Interior lot	15.0 m
4.2	CEC - corner lot	19.5 m
5.0	MAXIMUM LOT COVERAGE	35%
6.0	MINIMUM FRONT YARD	
6.1	Interior lot/CEC - corner lot	7.5 m <sup>(2)</sup>
6.2	Minimum setback from a garage face to a street, CEC - road or CEC - sidewalk	7.5 m
7.0	MINIMUM EXTERIOR SIDE YARD	
7.1	Lot with an exterior side lot line abutting a street	6.0 m <sup>(2)</sup>
7.2	Lot with an exterior side lot line abutting a CEC - road	6.0 m <sup>(2)</sup>
7.3	Lot with an exterior side lot line abutting a CEC - sidewalk	3.3 m <sup>(2)</sup>
7.4	Minimum setback from a garage face to a street, CEC - road or CEC - sidewalk	6.0 m
8.0	MINIMUM INTERIOR SIDE YARD	
8.1	Interior lot/corner lot	1.2 m plus 0.61 m for each additional storey or portion thereof above one storey <sup>(2)</sup>
8.2	Where interior side lot line is the rear lot line of abutting parcel	2.5 m <sup>(2)</sup>
9.0	MINIMUM REAR YARD	
9.1	Interior lot/CEC - corner lot	7.5 m <sup>(2)</sup>
10.0	MAXIMUM HEIGHT	10.7 m

Table 4.7.1 continued on next page

Column A		B
Line 1.0	ZONES	R16
Table 4.7.1 continued from previous page		
11.0	ENCROACHMENTS, PROJECTIONS AND SETBACKS	
11.1	Maximum encroachment of a <b>porch</b> or <b>deck</b> inclusive of stairs located at and accessible from the <b>first storey</b> or below the <b>first storey</b> into the required <b>front</b> and <b>exterior side yards</b>	1.5 m <sup>(2)</sup>
11.2	Maximum encroachment of an awning, window, <b>chimney</b> , pilaster or corbel, window well, and stairs with a maximum of three risers, into the required <b>front</b> and <b>exterior side yards</b>	0.6 m <sup>(2)</sup>
11.3	Maximum encroachment of a <b>porch</b> or <b>deck</b> inclusive of stairs located at and accessible from the <b>first storey</b> or below the <b>first storey</b> , or awning into the required <b>rear yard</b>	5.0 m <sup>(2)</sup>
11.4	Maximum encroachment of a <b>balcony</b> , window, <b>chimney</b> , pilaster or corbel, window well, and stairs with a maximum of three risers, into the required <b>rear yard</b>	1.0 m <sup>(2)</sup>
11.5	Minimum setback of a <b>detached dwelling</b> to a CEC - visitor <b>parking space</b>	3.3 m
11.6	Minimum setback of a <b>detached dwelling</b> to a CEC - <b>amenity area</b>	1.5 m
12.0	ATTACHED GARAGE, PARKING AND DRIVEWAY	
12.1	Attached <b>garage</b>	Permitted <sup>(3)</sup>
12.2	<i>deleted by 0379-2009</i>	
12.3	Minimum <b>parking spaces</b>	✓ <sup>(4)</sup>
12.4	Minimum visitor <b>parking spaces</b>	✓ <sup>(4)(5)</sup>
12.5	Maximum <b>driveway</b> width	✓ <sup>(6)</sup>
13.0	CEC - ROAD, AISLES AND SIDEWALKS	
13.1	Minimum width of a CEC - <b>road</b>	7.0 m <sup>(7)</sup>
13.2	Minimum width of a CEC - <b>road</b> with an abutting parallel common visitor <b>parking space</b>	6.0 m <sup>(7)</sup>
13.3	CEC - <b>roads</b> and <b>aisles</b> are permitted to be shared with abutting lands with the same R16 Base Zone and/or R16 Exception Zone	✓
13.4	Minimum width of a sidewalk	2.0 m
14.0	ACCESSORY BUILDINGS AND STRUCTURES	✓ <sup>(8)</sup>

- NOTES:
- (1)

*deleted by 0018-2021.*
- (2)

See also Subsections 4.1.7 and 4.1.8 of this By-law.
- (3)

See Subsection 4.1.12 of this By-law.
- (4)

See Part 3 of this By-law.
- (5)

See Article 4.1.14.1 of this By-law.
- (6)

See Subsection 4.1.9 of this By-law.
- (7)

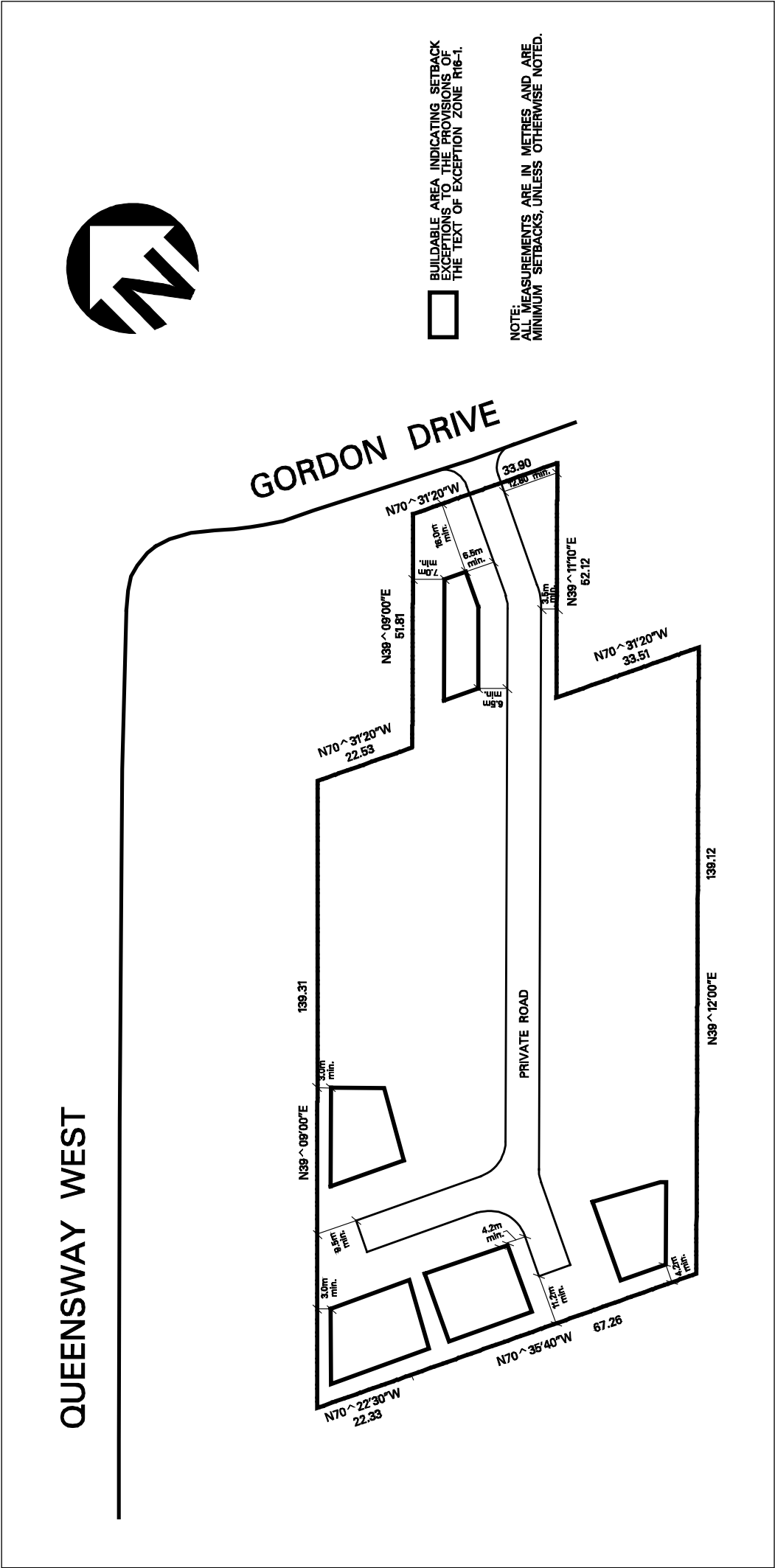
See also Article 4.1.14.2 of this By-law.
- (8)

See Subsection 4.1.2 of this By-law.

4.7.2R16 Exception Zones

Refer to Article 1.1.2.3 - Exception Zones and Exception Zone Schedules

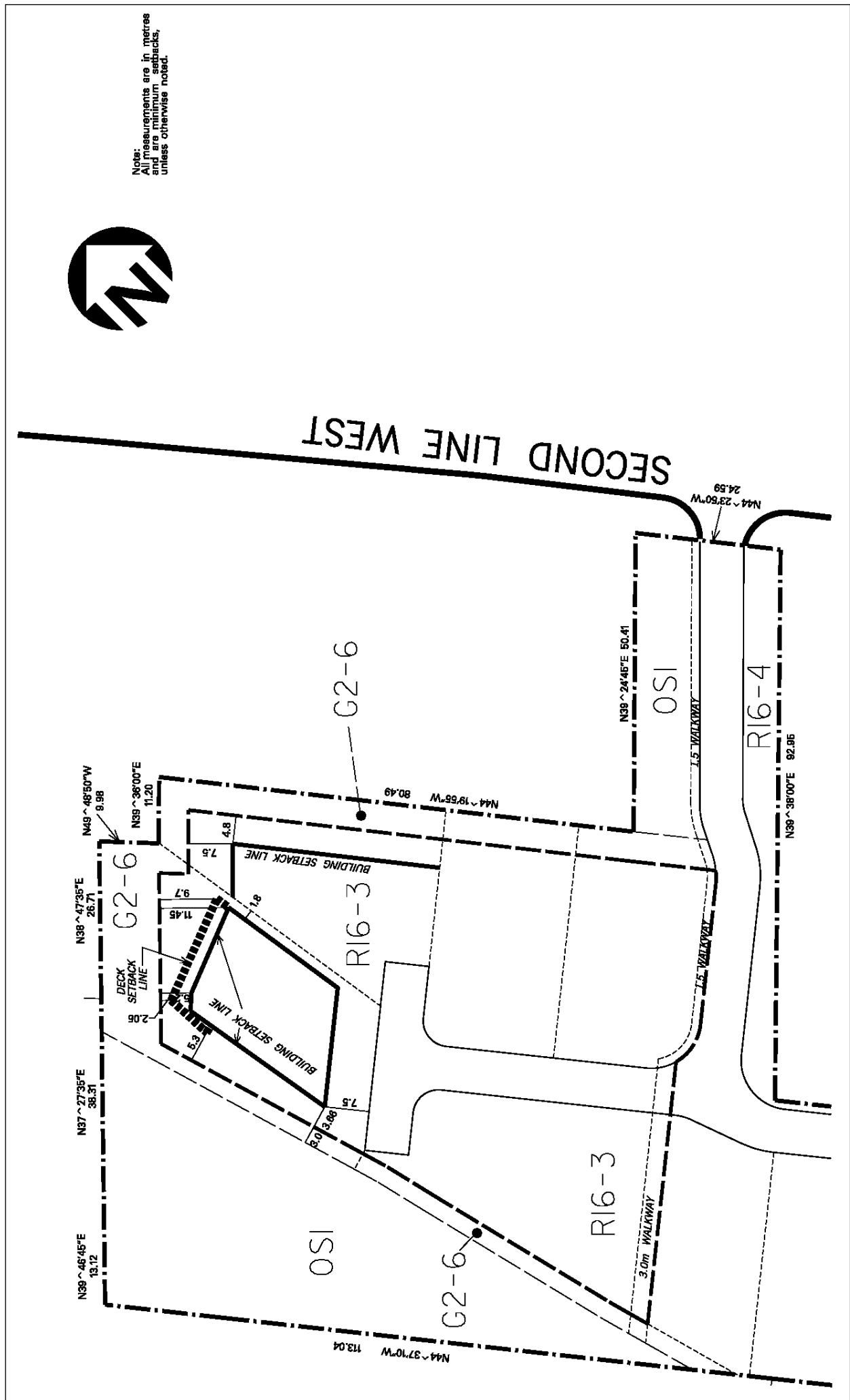
4.7.2.1	Exception: R16-1	Map # 15	By-law: 0379-2009
In a R16-1 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R16 zone except that the following <b>uses</b> /regulations shall apply:			
<b>Regulations</b>			
4.7.2.1.1	Maximum number of <b>dwelling units</b> on all lands zoned R16-1		14
4.7.2.1.2	Minimum <b>lot area</b>		750 m <sup>2</sup>
4.7.2.1.3	Minimum <b>lot frontage - interior lot</b>		22.5 m
4.7.2.1.4	Minimum <b>exterior side yard</b>		7.5 m
4.7.2.1.5	Minimum <b>interior side yard</b>		1.8 m
4.7.2.1.6	Trailer and recreational vehicle parking shall not be permitted in a <b>common element</b>		
4.7.2.1.7	An attached <b>garage</b> shall be provided on each <b>lot</b>		
4.7.2.1.8	All site development plans shall comply with Schedule R16-1 of this Exception		



Schedule R16-1  
Map 15

4.7.2.2	Exception: R16-2	Map # 44W	By-law: 0253-2011, 0181-2018/LPAT Order 2019 February 15
In a R16-2 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R16 zone except that the following <b>uses</b> /regulations shall apply:			
<b>Regulations</b>			
4.7.2.2.1	The provisions contained in Article 4.1.9.5 and the regulations of Line 7.0 contained in Table 4.1.8.1 of this By-law shall not apply		
4.7.2.2.2	Maximum number of <b>dwelling units</b> on all lands zoned R16-2	7	
4.7.2.2.3	Minimum <b>lot area - interior lot</b>	450 m <sup>2</sup>	
4.7.2.2.4	Minimum <b>lot area - corner lot</b>	2 000 m <sup>2</sup>	
4.7.2.2.5	Minimum <b>lot frontage</b> of a <b>lot</b> with a <b>lot area</b> greater than 1 200 m <sup>2</sup> and less than 1 300 m <sup>2</sup>	8.1 m	
4.7.2.2.6	Minimum <b>front yard</b>	4.5 m	
4.7.2.2.7	Notwithstanding Sentence 4.7.2.2.6 of this Exception, the minimum <b>front yard</b> for an <b>existing detached dwelling</b> on a <b>corner lot</b>	2.4 m	
4.7.2.2.8	Notwithstanding Sentence 4.7.2.2.6 of this Exception, the minimum <b>front yard</b> on a <b>lot</b> with a <b>lot area</b> greater than 1 200 m <sup>2</sup> and less than 1 300 m <sup>2</sup>	19.0 m	
4.7.2.2.9	Minimum <b>rear yard - corner lot</b>	7.0 m	
4.7.2.2.10	Minimum setback from a <b>garage face</b> to a <b>CEC - road</b> or <b>CEC - sidewalk</b>	6.0 m	
4.7.2.2.11	Minimum <b>parking spaces</b> per <b>dwelling unit</b>	3	
4.7.2.2.12	Minimum visitor <b>parking spaces</b> per <b>dwelling unit</b>	0.0	
4.7.2.2.13	"Front Lot Line - Corner Lot" means the <b>lot line</b> that divides the <b>lot</b> from the <b>CEC - road</b>		

4.7.2.3	Exception: R16-3	Map # 45E	By-law: 0395-2009
In a R16-3 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R16 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.7.2.3.1	Minimum <b>lot area</b>	860 m <sup>2</sup>	
4.7.2.3.2	Minimum <b>lot frontage</b>	22.5 m	
4.7.2.3.3	Maximum <b>lot coverage</b>	30%	
4.7.2.3.4	Minimum <b>interior side yard - interior lot</b>	1.8 m on one side of the <b>lot</b> and 4.2 m on the other side	
4.7.2.3.5	Minimum <b>parking spaces</b> per unit	3	
4.7.2.3.6	Minimum visitor <b>parking spaces</b> per unit	0	
4.7.2.3.7	All site development plans shall comply with Schedule R16-3 of this Exception		



**Schedule R16-3**  
Map 45E

4.7.2.4	Exception: R16-4	Map # 45E	By-law: 0395-2009, 0048-2025
In a R16-4 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R16 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.7.2.4.1	Minimum <b>lot area - interior lot</b>		680 m <sup>2</sup>
4.7.2.4.2	Minimum <b>lot frontage - interior lot</b>		18.0 m
4.7.2.4.3	Minimum <b>interior side yard - interior lot</b> abutting a RL-63 zone		3.0 m
4.7.2.4.4	Minimum <b>parking spaces</b> per unit		3
4.7.2.4.5	Minimum visitor <b>parking spaces</b> per unit		0

4.7.2.5	Exception: R16-5	Map # 14	By-law: 0077-2011, 0181-2018/LPAT Order 2019 February 15
In a R16-5 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R16 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.7.2.5.1	The regulations of Lines 11.1, 11.2, 11.3 and 11.4 in Table 4.7.1 contained in Subsection 4.7.1 of this By-law shall apply		
4.7.2.5.2	Maximum number of <b>dwelling units</b> on all lands zoned R16-5		10
4.7.2.5.3	Minimum <b>lot area - corner lot</b>		680 m <sup>2</sup>
4.7.2.5.4	Minimum <b>lot frontage - corner lot</b>		18.5 m
4.7.2.5.5	Maximum <b>height - highest ridge: sloped roof</b>		9.5 m
4.7.2.5.6	Maximum <b>height: flat roof</b>		7.5 m
4.7.2.5.7	Maximum <b>height</b> of eaves: from <b>average grade</b> to lower edge of the eaves		7.5 m
4.7.2.5.8	Minimum setback from a <b>garage face</b> to a <b>street, CEC - road</b> or CEC - sidewalk for Lots 1 and 5 to 8 identified on Schedule R16-5 of this Exception:		
	(1)	minimum setback to <b>garage face</b> - Lot 1	6.0 m
	(2)	minimum setback to <b>garage face</b> - Lots 5 to 8	6.5 m
4.7.2.5.9	The <b>main front entrance</b> of a <b>dwelling unit</b> located on Lots 1 and 2 identified on Schedule R16-5 of this Exception, shall face Camilla Road		
4.7.2.5.10	All site development plans shall comply with Schedule R16-5 of this Exception		

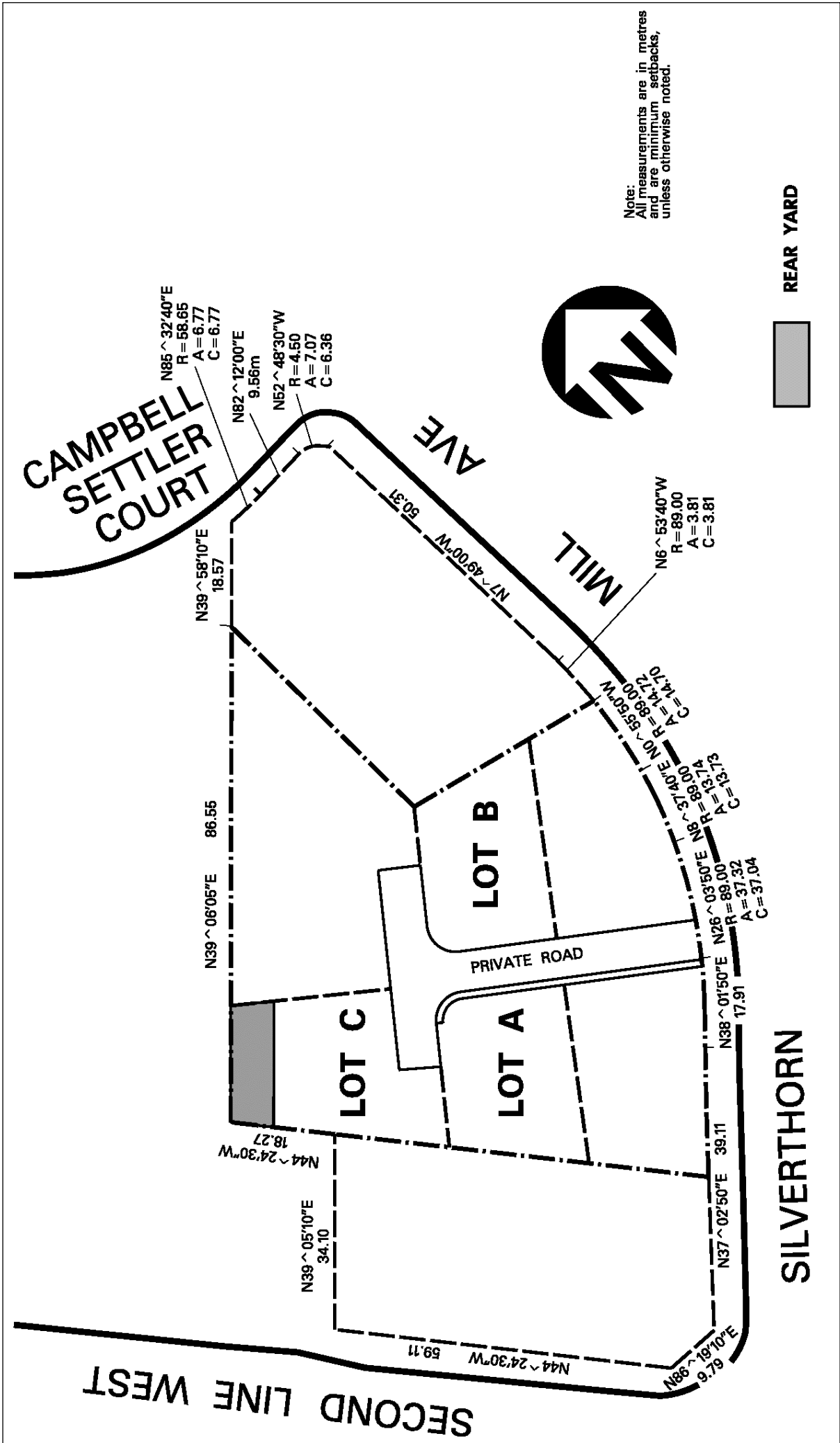
Page 4.7.2 ~ 6



4.7.2.6	Exception: R16-6	Map # 13	By-law: 0079-2011, <i>deleted by 0076-2017, 0198-2019, 0208-2022</i>
In a R16-6 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R16 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.7.2.6.1	The provisions contained in Subsection 2.1.14 of this By-law shall not apply		
4.7.2.6.2	Maximum number of <b>dwelling units</b> on all lands zoned R16-6	18	
4.7.2.6.3	Minimum <b>lot area - interior lot</b>	245 m <sup>2</sup>	
4.7.2.6.4	Minimum <b>lot area - CEC - corner lot</b>	285 m <sup>2</sup>	
4.7.2.6.5	Minimum <b>lot frontage - interior lot</b>	9.0 m	
4.7.2.6.6	Minimum <b>lot frontage - CEC - corner lot</b>	11.0 m	
4.7.2.6.7	Maximum <b>lot coverage</b>	41%	
4.7.2.6.8	Minimum <b>front yard</b>	4.5 m	
4.7.2.6.9	Minimum setback from a <b>garage face</b> to a <b>street, CEC - road</b> or CEC - sidewalk	6.0 m	
4.7.2.6.10	Minimum <b>interior side yard - interior lot/corner lot</b>	1.2 m	
4.7.2.6.11	Maximum <b>height - highest ridge: sloped roof</b>	11.2 m	
4.7.2.6.12	Maximum <b>dwelling unit depth</b>	16.0 m	
4.7.2.6.13	Maximum projection of a <b>porch</b> outside the <b>buildable area</b> identified on Schedule R16-6 of this Exception	1.5 m	
4.7.2.6.14	Maximum projection of an awning, <b>chimney</b> , pilaster or corbel, window well, and stairs with a maximum of three risers, into the required <b>front</b> and <b>exterior side yards</b> of the dwelling, outside the <b>buildable area</b> identified on Schedule R16-6 of this Exception	0.6 m	
4.7.2.6.15	Maximum projection of a <b>balcony</b> , window, <b>chimney</b> , pilaster or corbel, window well, and stairs with a maximum of three risers, into the required <b>rear yard</b> of the dwelling, outside the <b>buildable area</b> identified on Schedule R16-6 of this Exception	1.0 m	
4.7.2.6.16	Maximum <b>driveway</b> width where accessing a single car <b>garage</b>	3.0 m	
4.7.2.6.17	Maximum <b>driveway</b> width where accessing a double car <b>garage</b>	6.0 m	
4.7.2.6.18	All site development plans shall comply with Schedule R16-6 of this Exception		

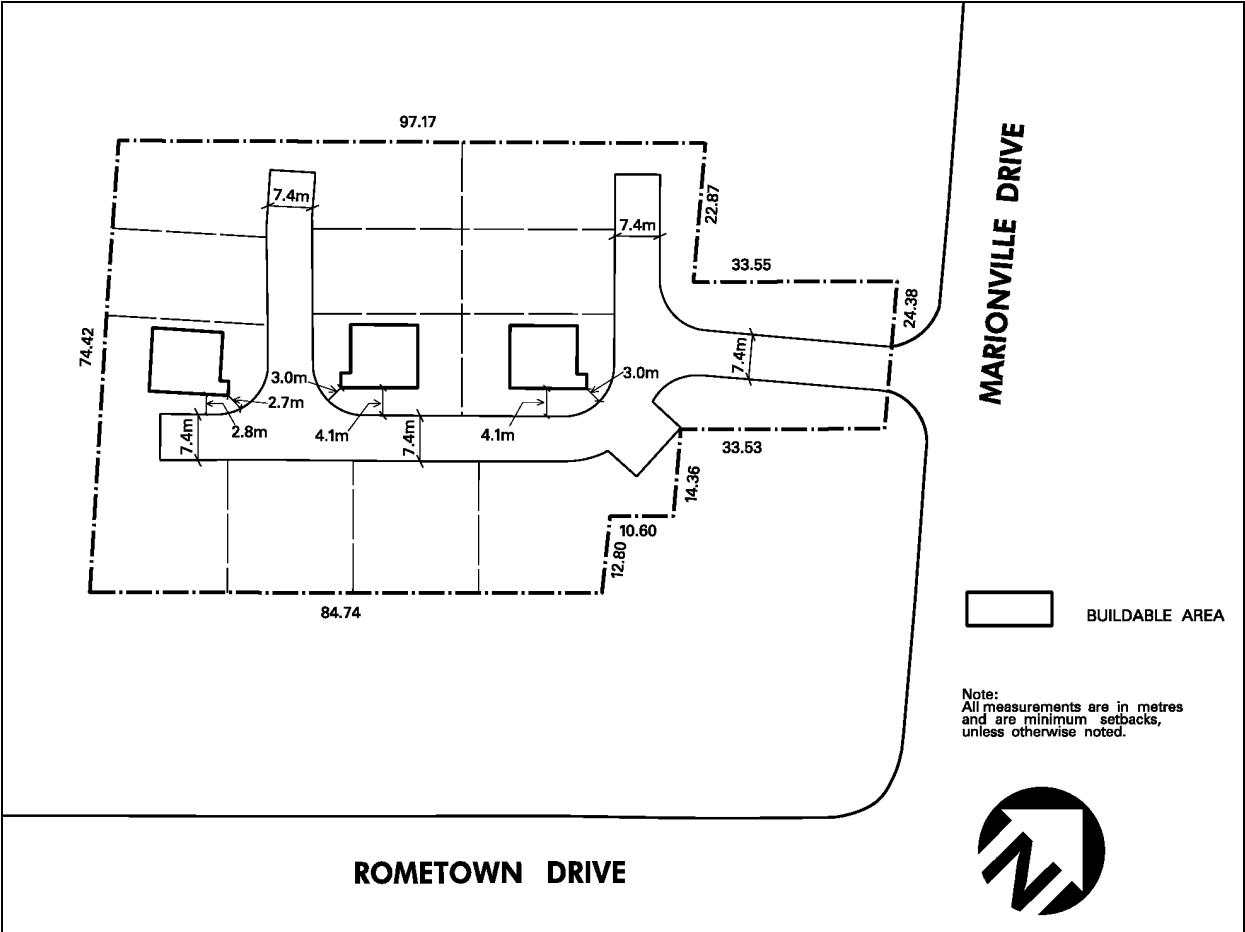


4.7.2.7	Exception: R16-7	Map # 44W	By-law: 0199-2010, 0181-2018/LPAT Order 2019 February 15
In a R16-7 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R16 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.7.2.7.1	Minimum <b>lot area - interior lot</b>		660 m <sup>2</sup>
4.7.2.7.2	Minimum <b>lot area - corner lot</b>		750 m <sup>2</sup>
4.7.2.7.3	Minimum <b>lot area</b> of Lots A and B identified on Schedule R16-7 of this Exception		660 m <sup>2</sup>
4.7.2.7.4	Minimum <b>lot frontage - interior lot</b>		18.0 m
4.7.2.7.5	Minimum <b>lot frontage - corner lot</b>		21.0 m
4.7.2.7.6	Maximum <b>lot coverage</b>		30%
4.7.2.7.7	Minimum <b>front yard - interior lot</b>		6.0 m
4.7.2.7.8	Minimum <b>front yard - corner lot</b>		6.0 m
4.7.2.7.9	Minimum <b>exterior side yard</b> abutting a <b>street</b> or a <b>CEC - road</b>		4.5 m
4.7.2.7.10	Minimum <b>parking spaces</b> per unit		3
4.7.2.7.11	Minimum visitor <b>parking spaces</b> per unit		0
4.7.2.7.12	The <b>rear yard</b> for Lot C identified on Schedule R16-7 of this Exception, shall be as identified on Schedule R16-7 of this Exception		



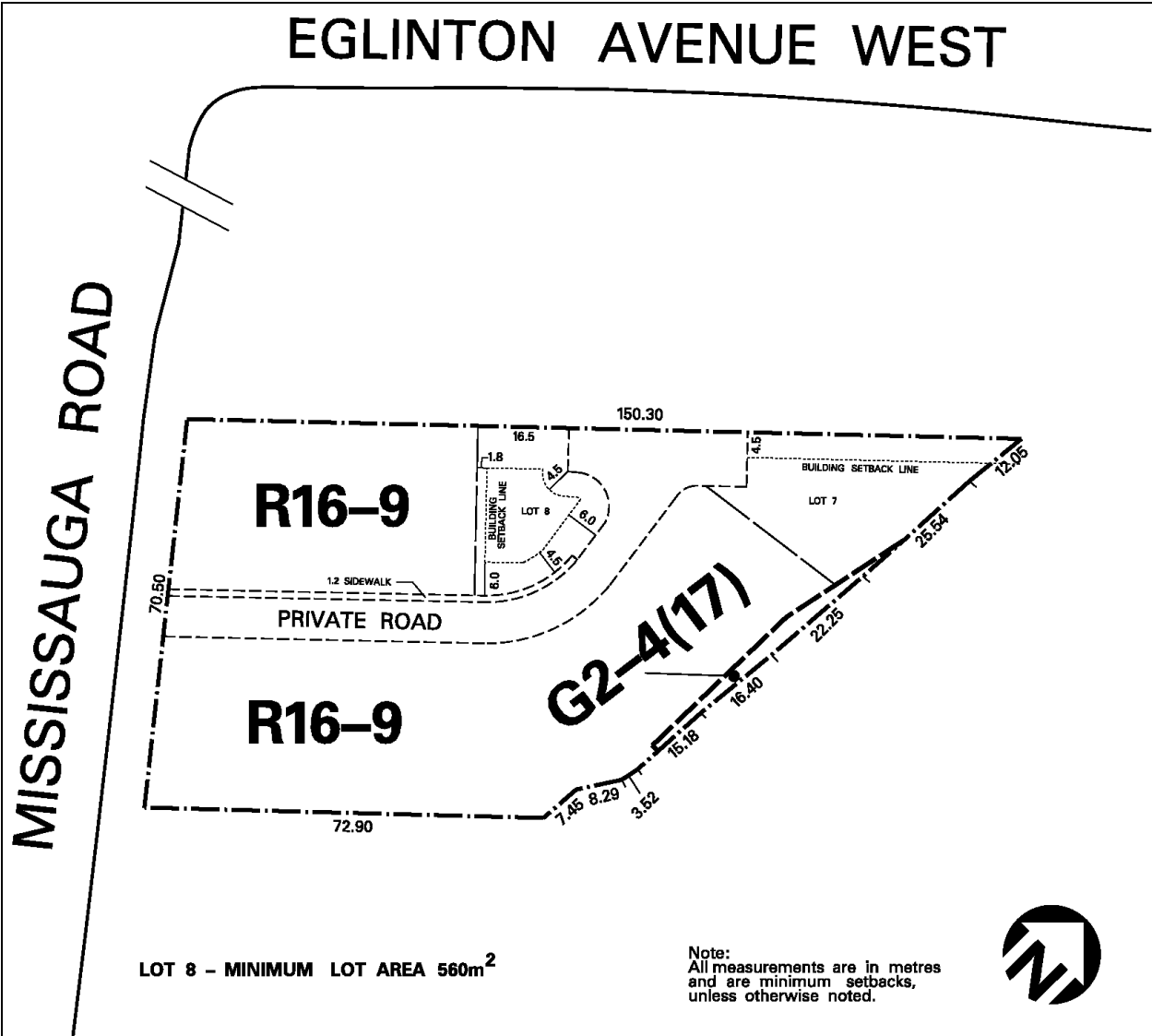
Schedule R16-7  
Map 44W

4.7.2.8	Exception: R16-8	Map # 05	By-law: 0064-2013, 0181-2018/LPAT Order 2019 February 15
In a R16-8 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R16 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.7.2.8.1	Minimum <b>lot area - interior lot</b>		345 m <sup>2</sup>
4.7.2.8.2	Minimum <b>lot area - corner lot</b>		397 m <sup>2</sup>
4.7.2.8.3	Minimum <b>lot frontage - interior lot</b>		14.0 m
4.7.2.8.4	Minimum <b>lot frontage - corner lot</b>		16.3 m
4.7.2.8.5	Minimum <b>front yard - interior lot/corner lot</b> , unless otherwise identified on Schedule R16-8 of this Exception		4.5 m
4.7.2.8.6	Minimum setback from a <b>garage face to a CEC - road</b>		6.0 m
4.7.2.8.7	Minimum <b>exterior side yard</b> , unless otherwise identified on Schedule R16-8 of this Exception		4.5 m
4.7.2.8.8	Minimum <b>interior side yard - interior lot/corner lot</b>		1.8 m
4.7.2.8.9	All site development plans shall comply with Schedule R16-8 of this Exception		



Schedule R16-8  
Map 05

4.7.2.9	Exception: R16-9	Map # 31	By-law: 0191-2012, 0212-2015, 0181-2018/LPAT Order 2019 February 15
In a R16-9 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R16 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.7.2.9.1	The provisions contained in Article 1.1.4.1, Lines 2.0, 4.0 and 6.0 contained in Table 4.1.8.1 and Line 1.0 contained in Table 4.1.12.1 of this By-law shall not apply		
4.7.2.9.2	Maximum number of <b>dwelling units</b> on all lands zoned R16-9	11	
4.7.2.9.3	Minimum <b>lot area - interior lot</b>	475 m <sup>2</sup>	
4.7.2.9.4	Minimum <b>lot area - corner lot</b> unless otherwise identified on Schedule R16-9 of this Exception	670 m <sup>2</sup>	
4.7.2.9.5	Minimum <b>lot frontage - corner lot</b>	22.0 m	
4.7.2.9.6	Maximum <b>lot coverage</b>	45%	
4.7.2.9.7	Minimum <b>front yard</b>	6.0 m	
4.7.2.9.8	Minimum setback from a <b>garage face</b> to a <b>CEC - road</b> or CEC - sidewalk	6.0 m	
4.7.2.9.9	Minimum <b>interior side yard - interior lot</b>	1.8 m	
4.7.2.9.10	Minimum <b>exterior side yard</b> abutting a <b>street</b>	7.5 m	
4.7.2.9.11	Minimum number of <b>parking spaces</b> per <b>dwelling unit</b>	3	
4.7.2.9.12	Maximum number of <b>dwelling units</b> with two attached <b>garages</b>	5	
4.7.2.9.13	Maximum <b>driveway</b> width for each <b>driveway</b> on a <b>lot</b> with two attached <b>garages</b>	3.5 m	
4.7.2.9.14	Minimum setback from the inside wall of an outdoor <b>swimming pool</b> to all lands zoned G1 or G2-4(17)	1.5 m	
4.7.2.9.15	All site development plans shall comply with Schedule R16-9 of this Exception		



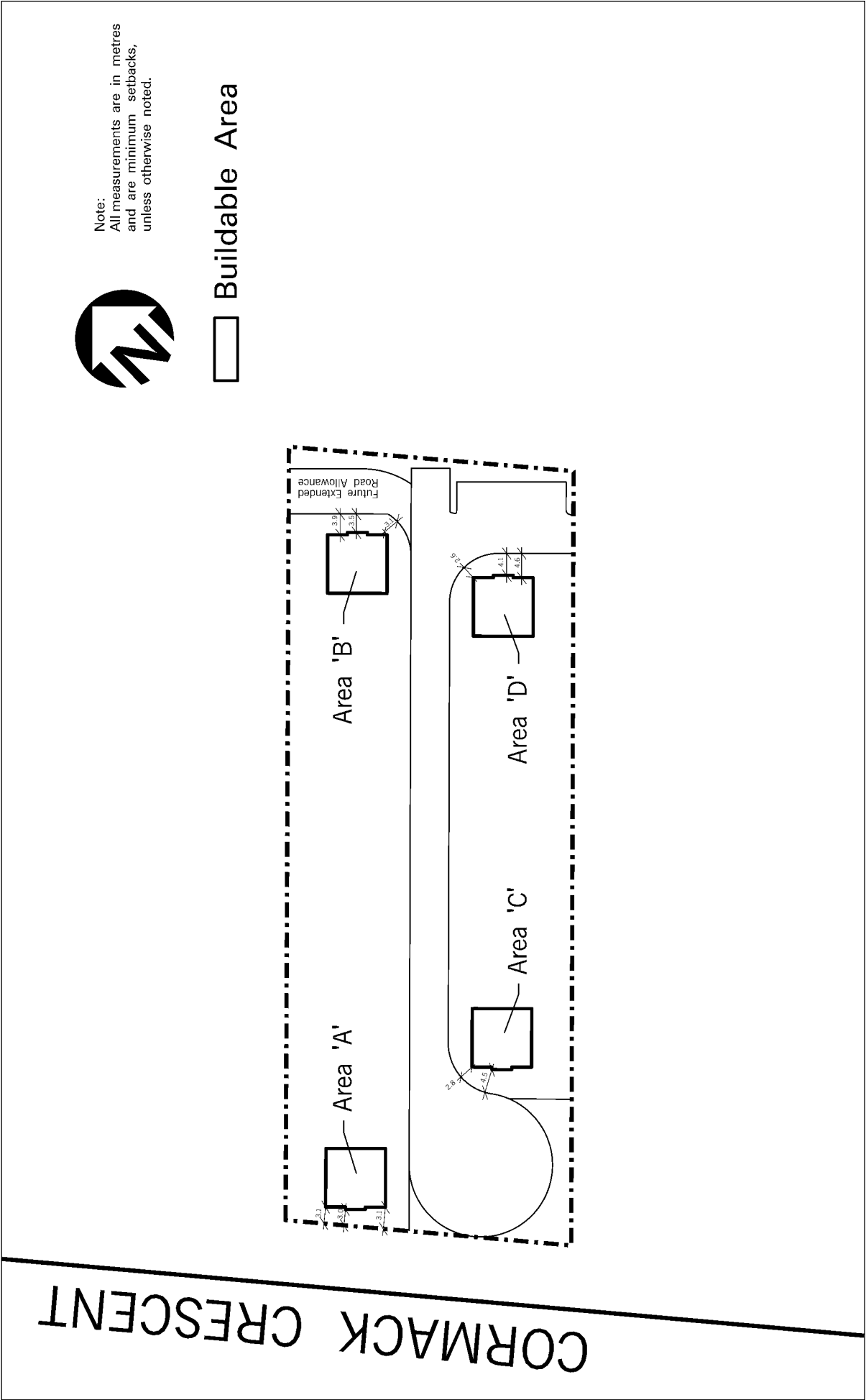
Schedule R16-9  
Map 31

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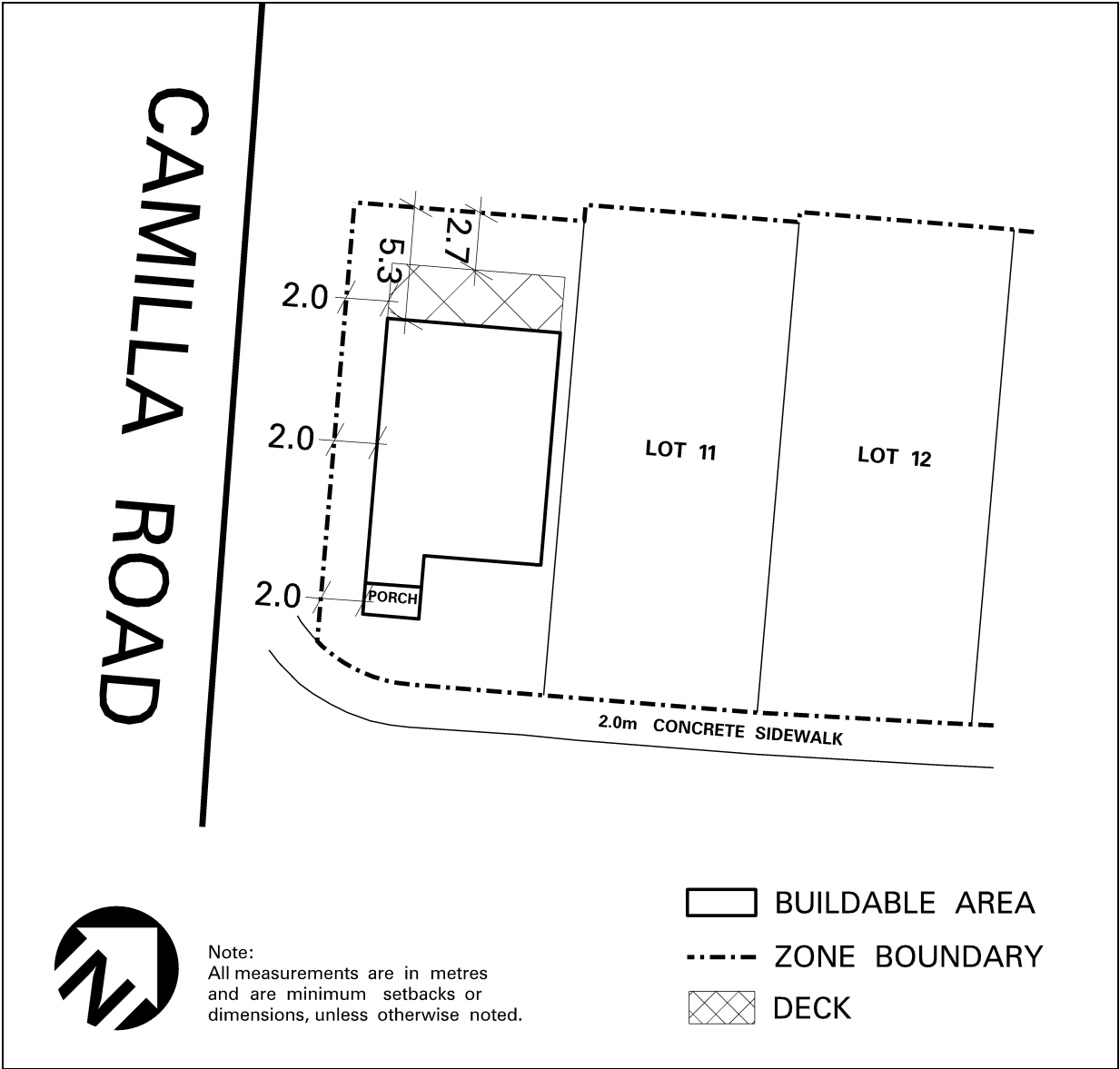


4.7.2.11	Exception: R16-11	Map # 05	By-law: 0162-2022, 0208-2022
In a R16-11 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R16 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.7.2.11.1	Minimum <b>lot area - interior lot</b>		250 m <sup>2</sup>
4.7.2.11.2	Minimum <b>lot area - CEC - corner lot</b>		275 m <sup>2</sup>
4.7.2.11.3	Minimum <b>lot frontage - interior lot</b>		11.0 m
4.7.2.11.4	Minimum <b>lot frontage - CEC - corner lot</b>		12.0 m
4.7.2.11.5	Maximum <b>lot coverage</b>		45%
4.7.2.11.6	Minimum <b>front yard</b>		4.5 m
4.7.2.11.7	Minimum setback from a <b>garage face</b> to a <b>street, CEC - road</b> or CEC - sidewalk		6.0 m
4.7.2.11.8	Minimum <b>exterior side yard - lot</b> with an <b>exterior side lot line</b> abutting a <b>CEC - road</b>		4.5 m
4.7.2.11.9	Minimum <b>interior side yard</b>		1.2 m on one side of the <b>lot</b> and 0.6 m on the other side
4.7.2.11.10	Maximum <b>height</b>		11.2 m
4.7.2.11.11	Maximum encroachment of a <b>balcony</b> into the required <b>rear yard</b>		1.5 m
4.7.2.11.12	Notwithstanding Sentence 1.1.2.3.2 of this By-law, only development located within Areas 'A', 'B', 'C', and 'D' identified on Schedule R16-11 of this Exception shall be subject to the <b>buildable area</b>		



Schedule R16-11  
Map 05

4.7.2.12	Exception: R16-12	Map # 14	By-law: OLT Order 2023 March 07
In a R16-12 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R16 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.7.2.12.1	The regulations contained in Table 3.1.3.1 of this By-law shall not apply		
4.7.2.12.2	Minimum <b>lot area - interior lot</b>	230 m <sup>2</sup>	
4.7.2.12.3	Minimum <b>lot area - CEC - corner lot</b>	239 m <sup>2</sup>	
4.7.2.12.4	Minimum <b>lot frontage</b>	10.0 m	
4.7.2.12.5	Maximum <b>lot coverage</b>	46%	
4.7.2.12.6	Minimum <b>front yard - interior lot/CEC - corner lot</b>	4.5 m	
4.7.2.12.7	Minimum <b>front yard</b> setback from a <b>garage face</b> to a <b>street, CEC - road</b> or CEC - sidewalk	6.0 m	
4.7.2.12.8	Minimum <b>exterior side yard - lot</b> with an <b>exterior side lot line</b> abutting a <b>CEC - road</b>	3.0 m	
4.7.2.12.9	Minimum <b>interior side yard - interior lot</b>	1.2 m on one side, 0.61 m on the other side	
4.7.2.12.10	Minimum <b>interior side yard - corner lot</b>	0.65 m	
4.7.2.12.11	Minimum <b>interior side yard</b> where <b>interior side lot line</b> is the <b>rear lot line</b> of abutting parcel	3.0 m	
4.7.2.12.12	Minimum <b>rear yard - interior lot/CEC - corner lot</b>	6.0 m	
4.7.2.12.13	Maximum <b>height</b>	11.0 m	
4.7.2.12.14	Maximum encroachment of a <b>porch</b> or <b>deck</b> , inclusive of stairs, located at and accessible from the <b>first storey</b> or below the <b>first storey</b> of the dwelling into the required <b>rear yard</b>	3.5 m	
4.7.2.12.15	Minimum setback of a <b>detached dwelling</b> to a CEC - visitor <b>parking space</b>	1.7 m	
4.7.2.12.16	Maximum <b>driveway</b> width	5.2 m	
4.7.2.12.17	All site development plans shall comply with Schedule R16-12 of this Exception		



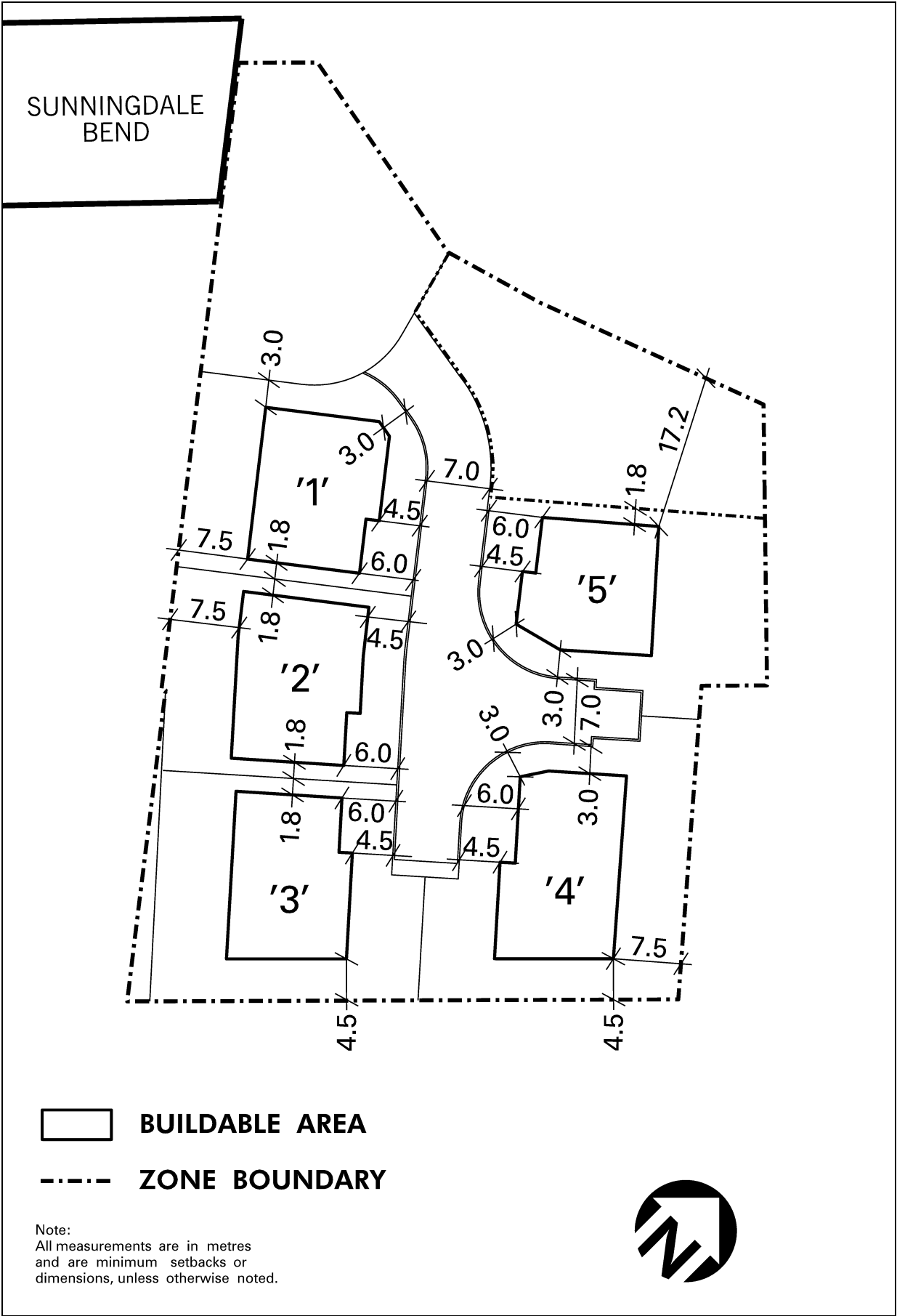
**Schedule R16-12**  
Map 14

4.7.2.13	Exception: R16-13	Map #	By-law:

4.7.2.14	Exception: R16-14	Map # 03	By-law: 0131-2024
In a R16-14 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R16 zone except that the following <b>uses</b> /regulations shall apply:			
<b>Regulations</b>			
4.7.2.14.1	The provisions contained in Article 4.1.5.6 and the regulations of Lines 11.5 and 11.6 contained in Table 4.7.1 of this By-law shall not apply		
4.7.2.14.2	Minimum <b>lot area - interior lot</b>	450 m <sup>2</sup>	
4.7.2.14.3	Maximum <b>lot coverage</b>	45%	
4.7.2.14.4	Lots '4' and '5' identified on Schedule R16-14 of this Exception shall be considered <b>interior lots</b>		
4.7.2.14.5	Maximum <b>height - highest ridge: sloped roof</b>	9.5 m	
4.7.2.14.6	Maximum <b>height: flat roof</b>	7.7 m	
4.7.2.14.7	Notwithstanding Sentence 4.7.2.14.13 of this Exception, maximum encroachment of a <b>porch</b> or <b>deck</b> inclusive of stairs located at and accessible from the <b>first storey</b> or below the <b>first storey</b> into the required <b>front</b> and <b>exterior side yards</b>	1.5 m	
4.7.2.14.8	Notwithstanding Sentence 4.7.2.14.13 of this Exception, maximum encroachment of an awning, window, <b>chimney</b> , pilaster or corbel, window well, and stairs with a maximum of three risers, into the required <b>front</b> and <b>exterior side yards</b>	0.6 m	
4.7.2.14.9	Notwithstanding Sentence 4.7.2.14.13 of this Exception, maximum encroachment of a <b>porch</b> or <b>deck</b> inclusive of stairs located at and accessible from the <b>first storey</b> or below the <b>first storey</b> , or awning into the required <b>rear yard</b>	5.0 m	
4.7.2.14.10	Notwithstanding Sentence 4.7.2.14.13 of this Exception, maximum encroachment of a <b>balcony</b> , window, <b>chimney</b> , pilaster or corbel, window well and stairs with a maximum of three risers, into the required <b>rear yard</b>	1.0 m	
4.7.2.14.11	Minimum number of <b>parking spaces</b> per <b>dwelling unit</b>	3	
4.7.2.14.12	Notwithstanding Sentence 4.7.2.14.13 of this Exception, <b>accessory buildings</b> and <b>structures</b> are permitted and shall comply with the regulations contained in Subsection 4.1.2 of this By-law		

Exception R16-14 continued on next page

4.7.2.14	Exception: R16-14	Map # 03	By-law: 0131-2024
Exception R16-14 continued from previous page			
4.7.2.14.13	All site development plans shall comply with Schedule R16-14 of this Exception		
Holding Provision			
<p>The holding symbol H is to be removed from the whole or any part of the lands zoned H-R16-14 by further amendment to Map 03 of Schedule B contained in Part 13 of this By-law, as amended, upon satisfaction of the following requirements:</p> <ol style="list-style-type: none"><li>(1) delivery of an executed Development Agreement in a form and on terms satisfactory to The Corporation of the City of Mississauga ("City");</li><li>(2) submission of Low Impact Development (LID) details to the satisfaction of the City and Credit Valley Conservation ("CVC");</li><li>(3) receipt of a revised grading plan and section drawings to the satisfaction of the City and CVC;</li><li>(4) receipt of a revised servicing plan to the satisfaction of the City and CVC;</li><li>(5) submission of landscape plans and a tree inventory plan to the satisfaction of the City;</li><li>(6) submission of a buffer planting, restoration and compensation plan to the satisfaction of the City and CVC;</li><li>(7) submission of a Phase Two Environmental Site Assessment and reliance letter to the satisfaction of the City's Transportation and Works Department;</li><li>(8) submission of a signed and certified letter by a qualified professional regarding the suitability of fill materials located on-site and that land to be dedicated to the City is environmentally suitable for the proposed use to the satisfaction of the City's Transportation and Works Department;</li><li>(9) receipt of an Environmental Compliance Approval for the proposed municipal stormwater works;</li><li>(10) receipt of a survey prepared by an Ontario Land Surveyor to the satisfaction of the City's Transportation and Works Department;</li><li>(11) submission of a Draft Reference Plan illustrating the lands to be dedicated to the satisfaction of the City;</li><li>(12) the dedication of lands zoned G2 into public ownership to the satisfaction of the City.</li></ol>			



Schedule R16-14  
Map 03

4.7.2.15	Exception: R16-15	Map # 22	By-law: 0218-2024
In a R16-15 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R16 zone except that the following <b>uses</b> /regulations shall apply:			
<b>Regulations</b>			
4.7.2.15.1	Minimum <b>lot area - interior lot</b>	350 m <sup>2</sup>	
4.7.2.15.2	Minimum <b>lot frontage - interior lot</b>	10.0 m	
4.7.2.15.3	Maximum <b>lot coverage</b>	40%	
4.7.2.15.4	Minimum <b>interior side yard</b>	1.2 m on one side of the <b>lot</b> and 0.6 m on the other side	
4.7.2.15.5	Minimum <b>accessible parking spaces</b>	0	
4.7.2.15.6	Minimum visitor <b>parking spaces</b>	0	
4.7.2.15.7	Maximum <b>driveway</b> width	6.0 m	
<b>Holding Provision</b>			
<p>The holding symbol H is to be removed from the whole or any part of the lands zoned H-R16-15 by further amendment to Map 22 of Schedule B contained in Part 13 of this By-law, as amended, upon satisfaction of the following requirements:</p> <p>(1) completion of a turnaround facility on the adjacent lands located at 130 Fairview Road West, along with an extension to the <b>CEC - road</b> as required, to the satisfaction of the City of Mississauga ("City");</p> <p>(2) conveyance of a public access easement, permitting access on the adjacent lands located at 130 Fairview Road West for the turnaround facility, and the extension of the <b>CEC - road</b> as required, to the satisfaction of the City.</p>			