

4.5R12 TO R14 ZONES
(DETACHED DWELLINGS - MODULAR LOTS)

4.5.1R12 to R14 Permitted Uses and Zone Regulations

All **buildings** and **structures** shall comply with the provisions contained in Parts 1 to 3 and Section 4.1 of this By-law, and the **uses** and zone regulations specified within the applicable zone column contained in Table 4.5.1 - R12 to R14 Permitted Uses and Zone Regulations and in compliance with Figure 4.5.1 - Diagrammatic Illustration for R12 to R14 Zones.

Table 4.5.1 - R12 to R14 Permitted Uses and Zone Regulations
(0325-2008), (0208-2022), (0182-2024)

Column A			B	C	D
Line 1.0	ZONES		R12	R13	R14
PERMITTED USES					
2.0	RESIDENTIAL				
2.1	Detached Dwelling		✓ ⁽¹⁾	✓ ⁽¹⁾	✓ ⁽¹⁾
ZONE REGULATIONS					
3.0	MINIMUM MODULAR LOT AREA				
3.1	Lot Type Illustrated on Figure 4.5.1 of this By-law	LOT TYPE A	580 m ²	450 m ²	365 m ²
3.2		LOT TYPE B	555 m ²	425 m ²	335 m ²
3.3		LOT TYPE C	590 m ²	450 m ²	355 m ²
4.0	MINIMUM SF (STREET FRONTAGE)				
4.1	Lot Type Illustrated on Figure 4.5.1 of this By-law	LOT TYPE A	16.0 m	13.0 m	11.0 m ⁽⁹⁾
4.2		LOT TYPE B	24.0 m	22.0 m	19.0 m ⁽⁹⁾
4.3		LOT TYPE C	14.5 m	14.5 m	14.5 m
5.0	MINIMUM ½ MODULE AREA		1 930 m ²	1 480 m ²	1 180 m ²
6.0	MAXIMUM LOT COVERAGE		32%	35%	35%
7.0	MINIMUM LOT DIMENSIONS				
7.1	Dimensions A to I are Graphically Illustrated on Figure 4.5.1 of this By-law	A	0.4 m	0.4 m	0.4 m
7.2		B	1.0 m	1.0 m	1.0 m
7.3		C	3.0 m	2.5 m	2.0 m
7.4		D	1.5 m	1.0 m	1.0 m
7.5		E	2.5 m ⁽²⁾⁽³⁾	2.0 m ⁽²⁾⁽³⁾	1.5 m ⁽²⁾⁽³⁾
7.6		F	2.0 m ⁽³⁾	2.0 m ⁽³⁾	1.5 m ⁽³⁾
7.7		G	3.0 m	2.0 m	1.0 m
7.8		H	12.4 m	11.6 m	9.2 m
7.9		I	7.2 m	6.2 m	5.6 m
8.0	MAXIMUM LOT DIMENSIONS				
8.1	Dimensions J and K are Graphically Illustrated on Figure 4.5.1 of this By-law	J	5.2 m	2.5 m	1.5 m
8.2		K	3.0 m	2.4 m	4.6 m
9.0	MINIMUM LANDSCAPED AREA				
9.1	Areas 1, 2, 3, 4 and 4a are Graphically Illustrated on Figure 4.5.1 of this By-law	AREA 1	9%	10%	11%
9.2		AREAS 2, 3	25% ⁽⁵⁾	25% ⁽⁵⁾	25% ⁽⁵⁾
		AREAS 4, 4a	25% ⁽⁴⁾⁽⁵⁾	25% ⁽⁴⁾⁽⁵⁾	25% ⁽⁴⁾⁽⁵⁾

Table 4.5.1 continued on next page

Column A		B	C	D
Line 1.0	ZONES	R12	R13	R14
Table 4.5.1 continued from previous page				
10.0	MAXIMUM HEIGHT	10.7 m	10.7 m	10.7 m
11.0	ENCROACHMENTS, PROJECTIONS AND SETBACKS			
11.1	Maximum projection of bay windows, greenhouse windows and porches outside the building area	0.45 m	0.45 m	0.45 m
12.0	ATTACHED GARAGE, PARKING AND DRIVEWAY			
12.1	Attached garage	Required ⁽⁶⁾	Required ⁽⁶⁾	Required ⁽⁶⁾
12.2	Minimum parking spaces	✓ ⁽⁷⁾⁽⁸⁾	✓ ⁽⁷⁾⁽⁸⁾	✓ ⁽⁷⁾⁽⁸⁾
12.3	Minimum parking spaces within a garage	2	2	2
12.4	Maximum driveway width	✓ ⁽⁷⁾	✓ ⁽⁷⁾	✓ ⁽⁷⁾
13.0	ACCESSORY BUILDINGS AND STRUCTURES			
13.1	Maximum gross floor area of an accessory structure shall not exceed 10% of the lot area and must be located in the buildable area identified on Figure 4.5.1 of this By-law and only to the rear of the dwelling and/or garage	✓	✓	✓
13.2	Accessory buildings and structures with a gross floor area of 10 m² or less and a height of 4.6 m or less may be located outside the buildable area identified on Figure 4.5.1 of this By-law provided that they are located to the rear of the dwelling and/or garage and not closer than 1.0 m from a lot line	✓	✓	✓

- NOTES:
- (1)

See Subsections 4.1.1, 4.1.16 and 4.1.17 of this By-law.

(2)

Where E is measured from a street line other than Tenth Line West, the minimum dimension shall be increased by 2.0 m.

(3)

Where E and F are measured from the street line of Tenth Line West, minimum dimensions shall be increased by 6.0 m and 5.0 m, respectively.

(4)

The lesser of Area 4 or Area 4a shall be a minimum of 40% of the minimum landscaped area.

(5)

"Minimum Landscaped Area" means open, unobstructed space, suitable for the growth and maintenance of grass, flowers, bushes and other landscaping, and may contain fences, trellises, patios, patio decks, swimming pool facilities, play equipment and an accessory building or structure not exceeding 10 m².

(6)

See Subsection 4.1.12 of this By-law.

(7)

See Subsection 4.1.9 of this By-law.

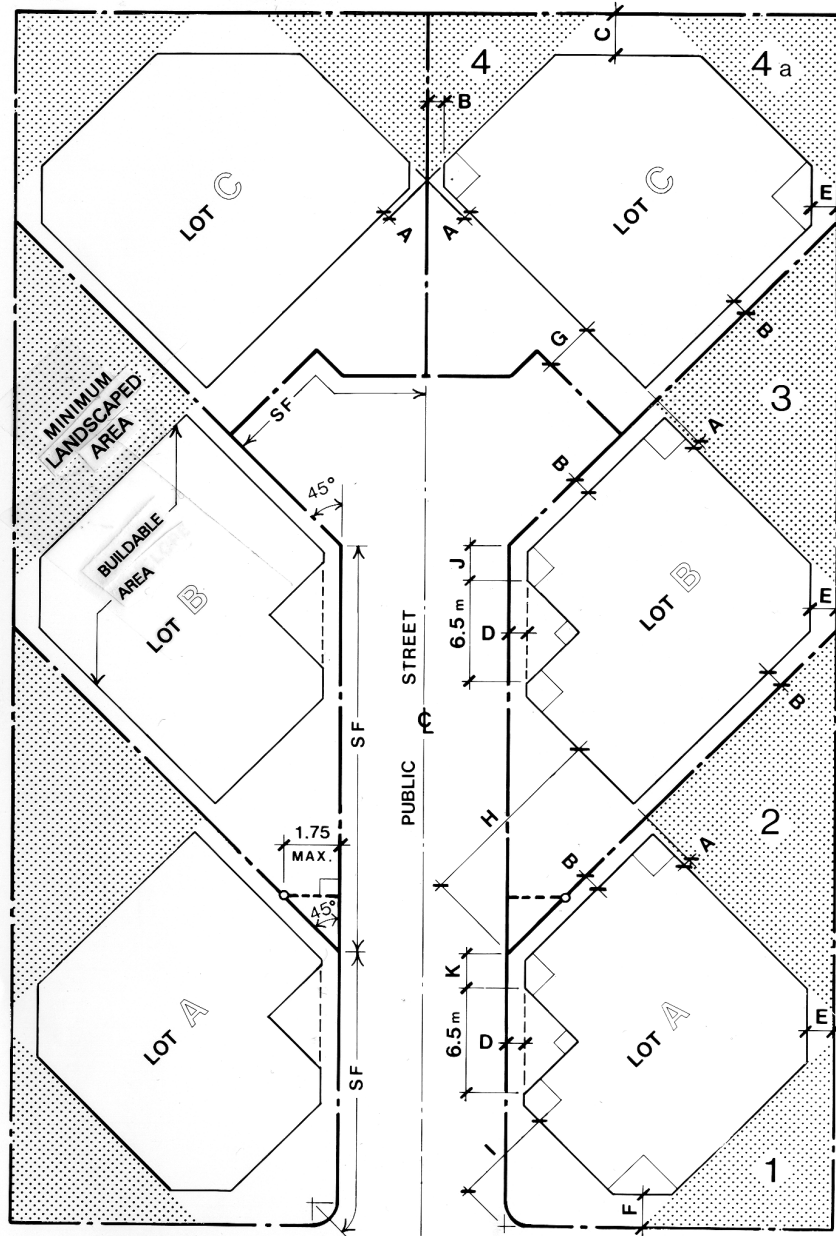
(8)

See Part 3 of this By-law.

(9)

A portion of the side lot line between LOT A and LOT B in an R14 zone may be established perpendicular to the street line, provided that portion does not exceed a dimension of 1.75 m measured from the said street line, and the 45° angle is maintained for the remainder of the side lot line.

Figure 4.5.1 - Diagrammatic Illustration for R12 to R14 Zones



- NOTES:**
- (1) Site development standards applicable to **lots** on both sides of the **street** and its centreline projection.
 - (2) SF indicates **street** frontage.
 - (3) Minimum **street** frontage shall be measured along **street line** as shown.
 - (4) LOT A **street** frontage includes $\frac{1}{2}$ of corner arc.
 - (5) **Landscaped area** shaded 1, 2, 3, 4 and 4a shall be provided outside of a **buildable area**.

4.5.2 R12 Exception Zones

Refer to Article 1.1.2.3 - Exception Zones and Exception Zone Schedules

4.5.2.1	Exception: R12-1	Map # 56	By-law:
In a R12-1 zone the permitted uses and applicable regulations shall be as specified for a R12 zone except that the following uses /regulations shall apply:			
Regulation			
4.5.2.1.1	Minimum setback of a detached dwelling to all lands zoned U-3		15.0 m

4.5.2.2	Exception: R12-2	Map # 56	By-law:
In a R12-2 zone the permitted uses and applicable regulations shall be as specified for a R12 zone except that the following uses /regulations shall apply:			
Regulation			
4.5.2.2.1	Minimum setback of a detached dwelling to gas line transmission easement located within the abutting G1 zone		15.0 m

4.5.2.3	Exception: R12-3	Map # 56	By-law: 0048-2025
In a R12-3 zone the permitted uses and applicable regulations shall be as specified for a R12 zone except that the following uses /regulations shall apply:			
Additional Permitted Use			
4.5.2.3.1	(1)	Place of Religious Assembly	
Regulation			
4.5.2.3.2	A place of religious assembly shall comply with the RL zone regulations contained in Subsection 4.2.1 of this By-law		

4.5.3R13 Exception Zones

Refer to Article 1.1.2.3 - Exception Zones and Exception Zone Schedules

4.5.3.1	Exception: R13-1	Map # 56	By-law:
In a R13-1 zone the permitted uses and applicable regulations shall be as specified for a R13 zone except that the following uses /regulations shall apply:			
Regulation			
4.5.3.1.1	Minimum landscaped area 2 for each modular Lot A, identified on Figure 4.5.1 of this By-law		21%

4.5.3.2	Exception: R13-2	Map # 56	By-law:
In a R13-2 zone the permitted uses and applicable regulations shall be as specified for a R13 zone except that the following uses /regulations shall apply:			
Regulation			
4.5.3.2.1	Minimum setback to Tenth Line West		4.5 m

4.5.3.3	Exception: R13-3	Map # 56	By-law:
In a R13-3 zone the permitted uses and applicable regulations shall be as specified for a R13 zone except that the following uses /regulations shall apply:			
Regulation			
4.5.3.3.1	Minimum setback of a detached dwelling to all lands zoned U-3		15.0 m

4.5.4R14 Exception Zones

Refer to Article 1.1.2.3 - Exception Zones and Exception Zone Schedules

4.5.4.1	Exception: R14-1	Map # 56	By-law:
In a R14-1 zone the permitted uses and applicable regulations shall be as specified for a R14 zone except that the following uses /regulations shall apply:			
Regulation			
4.5.4.1.1	Minimum landscaped area 2 for each modular Lot A, identified on Figure 4.5.1 of this By-law		21%

