4.2.3

Residential Small Lot Exception Zones (0325-2008), (0308-2011), (0190-2014), (0048-2025)

Refer to Article 1.1.2.3 - Exception Zones and Exception Zone Schedules

4.2.3.1	Exception: RS-1	Map # 48W	By-law: 0225-2016, 0181-2018/LPAT Order 2019 February 15, 0048-2025
	e the permitted uses and ap ying uses /regulations shall a		all be as specified for a RS zone except
Regulations			
4.2.3.1.1	deleted		
4.2.3.1.2	deleted		
4.2.3.1.3	deleted		
4.2.3.1.4	A detached dwelling sha contained in Subsection	1 2	C
	(1) minimum interio	r side yard	1.2 m + 0.61 m for each additional storey , or portion thereof, above one storey
4.2.3.1.5	deleted		
4.2.3.1.6	deleted		
4.2.3.1.7	deleted		
4.2.3.1.8	deleted		
4.2.3.1.9	Maximum gross floor ar	ea - infill residential	100 m ² plus 0.2 times the lot area
4.2.3.1.10	Garage projection: maximum projection of t exterior side wall of the		2.0 m Front wall or
4.2.3.1.11	deleted		

4.2.3.2 E	Exception: RS-2	Map #	By-law: 0379-2009, 0181-2018/LPAT Order 2019 February 15, <i>deleted by</i> 0048-2025

4.2.3.3	Exception: RS-3	Map # 26, 55	By-law: 0379-2009 0181-2018/LPAT 0 2019 February 15,	Order			
	In a RS-3 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:						
Regulations							
4.2.3.3.1	deleted						
4.2.3.3.2	deleted						
4.2.3.3.3	Minimum interior side yar	d - interior lot	1.2	2 m			
4.2.3.3.4	that adjoins a one storey ga	rd - interior lot, for that part o rage or a wall of a main build loors into a habitable room		1 m			
4.2.3.3.5	deleted						
4.2.3.3.6	deleted						

4.2.3.4	Exception: RS-4	Map # 47, 48E	By-law: 0379-2009, 0181-2018/LPAT Order 2019 February 15, 0048-2025
	owing uses/regulations sha		be as specified for a RS zone except
4.2.3.4.1	deleted		
4.2.3.4.2	deleted		
4.2.3.4.3	Maximum gross floor	area - residential	0.6 times the lot area
4.2.3.4.4	deleted		
4.2.3.4.5	deleted		

4.2.3.5	Exception: RS-5	Map # 27	By-law: 0048-2025				
	In a RS-5 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:						
Regulations							
4.2.3.5.1	Minimum interior side yar	d - interior lot	1.2 m				
4.2.3.5.2	that adjoins a one storey ga	rd - interior lot, for that part rage or a wall of a main buil loors into a habitable room					
4.2.3.5.3	deleted						
4.2.3.5.4	Minimum rear yard where	lands abut a PB1 zone	13.5 m				

4.2.3.6	Exception: RS-6	Map # 21	By-law: 0048-2025				
	In a RS-6 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:						
Regulations							
4.2.3.6.1	deleted						
4.2.3.6.2	deleted						
4.2.3.6.3	Minimum interior side yar	d - interior lot	1.2 m				
4.2.3.6.4		d - interior lot, for that part o rage or a wall of a main build oors into a habitable room					
4.2.3.6.5	deleted						
4.2.3.6.6	deleted						

4.2.3.7	Exception: RS-7	Map # 28	By-law: 0379-2009, 0181-2018/LPAT Order 2019 February 15, 0048-2025				
	In a RS-7 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:						
Regulations							
4.2.3.7.1	deleted						
4.2.3.7.2	deleted						
4.2.3.7.3	deleted						
4.2.3.7.4	Minimum interior side yar	d - interior lot	1.2 m				
4.2.3.7.5	that adjoins a one storey ga	rd - interior lot, for that part of rage or a wall of a main build loors into a habitable room					
4.2.3.7.6	deleted						
4.2.3.7.7	0	comply with the RS zone regulation.1 of this By-law except that:	ılations				
	(1) minimum interior s i	ide yard - corner lot	7.5 m				
	(2) minimum rear yard	- corner lot	1.2 m				
4.2.3.7.8	deleted						

4.2.3.8	Exception: RS-8	Map # 28	By-law: 0379-2009, 0181-2018/LPAT Order 2019 February 15, 0048-2025				
	In a RS-8 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:						
Regulations							
4.2.3.8.1	deleted						
4.2.3.8.2	deleted						
4.2.3.8.3	contained in Subsection 4.2	comply with the RS zone regu1 of this By-law except that:	ılations				
	(1) minimum rear yard		1.2 m				
4.2.3.8.4	The lot line abutting Wilconfront lot line	x Road shall be deemed to be	the				
4.2.3.8.5	deleted						

4.2.3.9	Exception: RS-9	Map #	By-law: 0379-2009, 0181-2018/LPAT Order 2019 February 15, <i>deleted by</i> 0048-2025

4.2.3.10	Exception: RS-10	Map # 24	By-law: 0048-2025
	e the permitted uses and apping uses /regulations shall app	•	specified for a RS zone except
Regulation			
4.2.3.10.1	deleted		
4.2.3.10.2	deleted		
4.2.3.10.3	Minimum gross floor area	- residential	148 m^2

4.2.3.11	Exception: RS-11	Map #	By-law: 0379-2009, 0181-2018/LPAT Order 2019 February 15, <i>deleted by</i> 0048-2025

4.2.3.12	Exception: RS-12	Map # 10, 31	By-law: 0048-2025		
In a RS-12 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:					
Regulations					
4.2.3.12.1	Minimum interior side yar swimming pools where lan	rd of all buildings and structuds abut a G1 and/or B zone	res and 3.0 m		
4.2.3.12.2	Minimum setback of a swin lands abut a G1 zone	nming pool to the rear lot lin	e where 3.0 m		

4.2.3.13	Exception: RS-13	Map #	By-law: 0379-2009, 0181-2018/LPAT Order 2019 February 15, <i>deleted by</i> 0048-2025

4.2.3.14	Exception: RS-14	Map # 26, 28, 29, 36W	By-law: 0379-2009, 0181-2018/LPAT Order 2019 February 15, 0048-2025			
	In a RS-14 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:					
Regulations						
4.2.3.14.1	deleted					
4.2.3.14.2	deleted					
4.2.3.14.3	deleted					
4.2.3.14.4	Maximum lot coverage		45%			
4.2.3.14.5	deleted					
4.2.3.14.6	deleted					
4.2.3.14.7	Maximum gross floor area	a - residential	0.6 times the lot area			
4.2.3.14.8	deleted					

4.2.3.15	Exception: RS-15	Map # 10, 38W	By-law: 0048-2025			
	In a RS-15 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:					
Regulation						
4.2.3.15.1	4.2.3.15.1 <i>deleted</i>					
4.2.3.15.2	Maximum gross floor area	- residential	0.6 times the lot area			

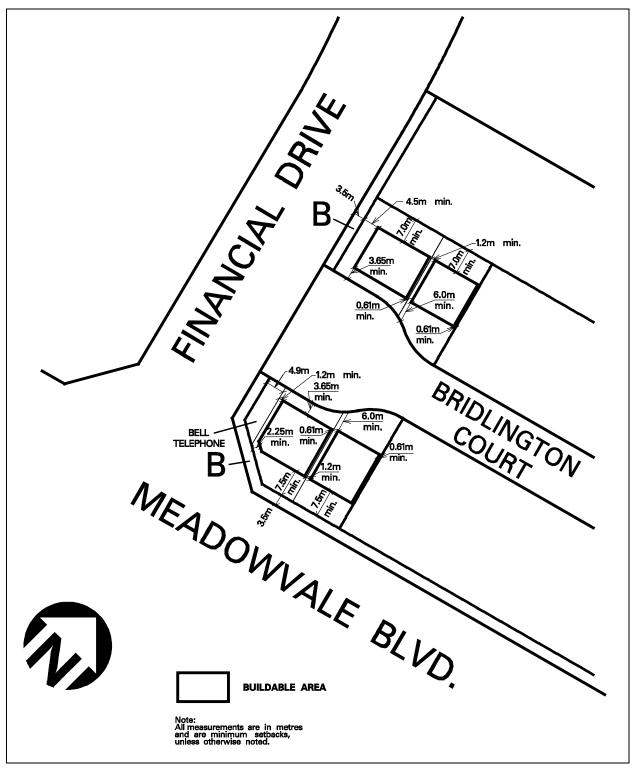
4.2.3.16	Exception: RS-16	Map # 36W, 37E	By-law: 0048-2025		
In a RS-16 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:					
Regulations	Regulations				
4.2.3.16.1	deleted				
4.2.3.16.2	deleted				
4.2.3.16.3	Maximum lot coverage		45%		
4.2.3.16.4	Maximum gross floor area	- residential	0.6 times the lot area		

4.2.3.17	Exception: RS-17	Map # 31	By-law: 0048-2025		
In a RS-17 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:					
Regulation					
4.2.3.17.1	Minimum setback of a deta right-of-way	ched dwelling to a railway	22.0 m		

4.2.3.18	Exception: RS-18	Map # 37W, 38W	By-law: 0048-2025			
	In a RS-18 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:					
Regulation	Regulation					
4.2.3.18.1	deleted					
4.2.3.18.2	deleted					
4.2.3.18.3	Maximum lot coverage		45%			

4.2.3.19	Exception: RS-19	Map # 22, 27, 29, 37E, 37W, 38E, 38W	By-law: 0379-2009, 0181-2018/LPAT Order 2019 February 15, 0048-2025			
	In a RS-19 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:					
Regulations						
4.2.3.19.1	deleted					
4.2.3.19.2	deleted					
4.2.3.19.3	deleted					
4.2.3.19.4	Maximum lot coverage		45%			
4.2.3.19.5	deleted					
4.2.3.19.6	deleted					
4.2.3.19.7	deleted					

4.2.3.20	Exception: RS-20	Map # 53W	By-law: 0048-2025		
	In a RS-20 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:				
Regulations					
4.2.3.20.1	deleted				
4.2.3.20.2	deleted				
4.2.3.20.3	deleted				
4.2.3.20.4	Maximum lot coverage		45%		
4.2.3.20.5	Maximum encroachment of exterior side yards	a porch into the required from	nt and 1.8 m		
4.2.3.20.6	All site development plans s this Exception	shall comply with Schedule R	S-20 of		



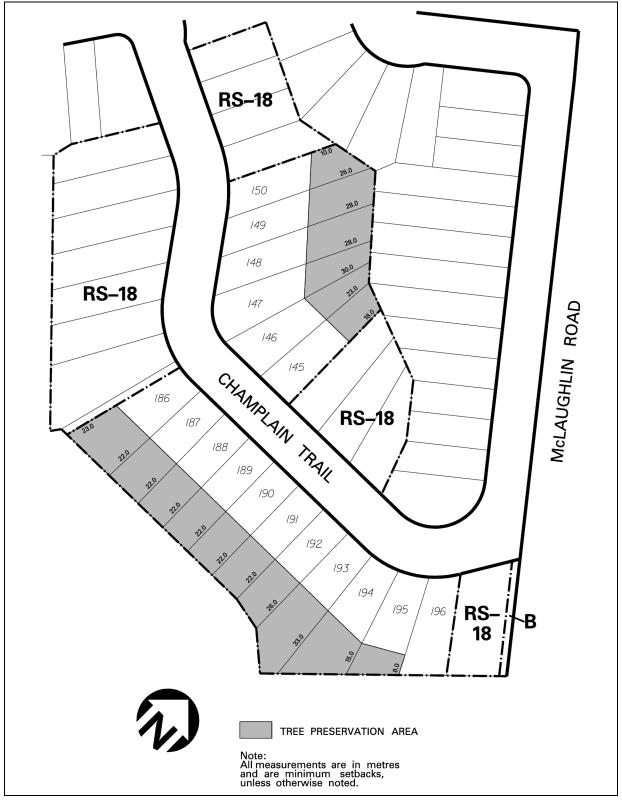
Schedule RS-20 Map 53W

4.2.3.21	Exception: RS-21	Map # 22, 30, 36W, 37E, 37W	By-law: 0379-2009, 0265-2016, 0181-2018/LPAT Order 2019 February 15, 0048-2025
	ne the permitted uses and app ving uses /regulations shall app	•	specified for a RS zone except
Regulations			
4.2.3.21.1	deleted		
4.2.3.21.2	deleted		
4.2.3.21.3	deleted		
4.2.3.21.4	deleted		
4.2.3.21.5	Maximum lot coverage		45%
4.2.3.21.6	deleted		
4.2.3.21.7	deleted		
4.2.3.21.8	Minimum setback of a deta garage , to a railway right-o	ached dwelling, excluding attached welling, excluding attached	ached 30.0 m
4.2.3.21.9	deleted		

4.2.3.22	Exception: RS-22	Map #	By-law: 0379-2009, 0181-2018/LPAT Order 2019 February 15, <i>deleted by</i> 0048-2025

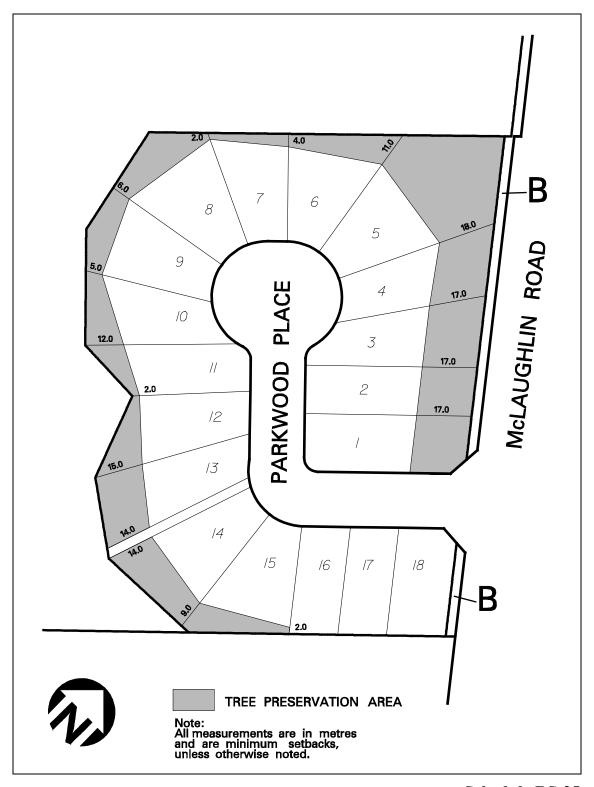
4.2.3.23	Exception: RS-23	Map #	By-law: deleted by 0048-2025

4.2.3.24	Exception: RS-24	Map # 37W	By-law: 0048-2025		
In a RS-24 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:					
Regulation	Regulation				
4.2.3.24.1	The areas identified on Schedule RS-24 of this Exception as a tree preservation area, shall only be used for conservation purposes, and no buildings or structures , swimming pools , tennis courts or any like recreational facilities, except for fences along the lot lines , shall be permitted				



Schedule RS-24 Map 37W

4.2.3.25	Exception: RS-25	Map # 37W	By-law: 0048-2025	
In a RS-25 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:				
Regulations				
4.2.3.25.1	The areas identified on Schedule RS-25 of this Exception as a tree preservation area, shall only be used for conservation purposes, and no buildings or structures , swimming pools , tennis courts or any like recreational facilities, except for fences along the lot lines , shall be permitted			
4.2.3.25.2		ildings and structures to the to on Schedule RS-25 of this Ex		



Schedule RS-25 Map 37W

4.2.3.26	Exception: RS-26	Map # 54W	By-law: 0048-2025			
	In a RS-26 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:					
Regulations	Regulations					
4.2.3.26.1	Minimum rear yard - when	re rear lot line abuts a B zone	19.0 m			
4.2.3.26.2	Minimum setback of all buildings and structures and in-ground swimming pools to all lands zoned U-3		ground 16.0 m			

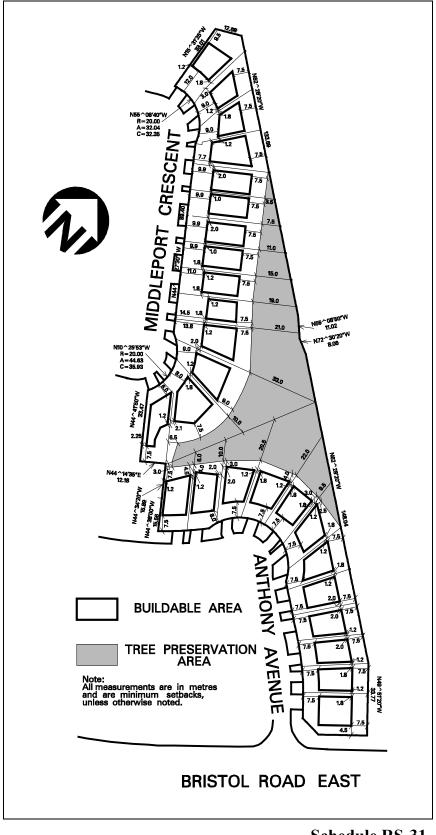
4.2.3.27	Exception: RS-27	Map # 37W, 54W	By-law: 0048-2025			
	In a RS-27 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:					
Regulation	Regulation					
4.2.3.27.1	deleted					
4.2.3.27.2	Minimum setback of all but swimming pools to all land	ildings and structures and inserved u-3	ground 13.0 m			

4.2.3.28	Exception: RS-28	Map # 10	By-law: 0048-2025	
In a RS-28 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply: Regulations				
4.2.3.28.1		ll buildings and structu side lot line abutting a G		
4.2.3.28.2	Minimum rear yard - where rear lot line abuts a B zone		s a B zone 16.5 m	

4.2.3.29	Exception: RS-29	Map # 56	By-law: 0048-2025	
In a RS-29 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:				
Regulation				
4.2.3.29.1		ildings and structures to a ga- ted within the abutting G1 and		

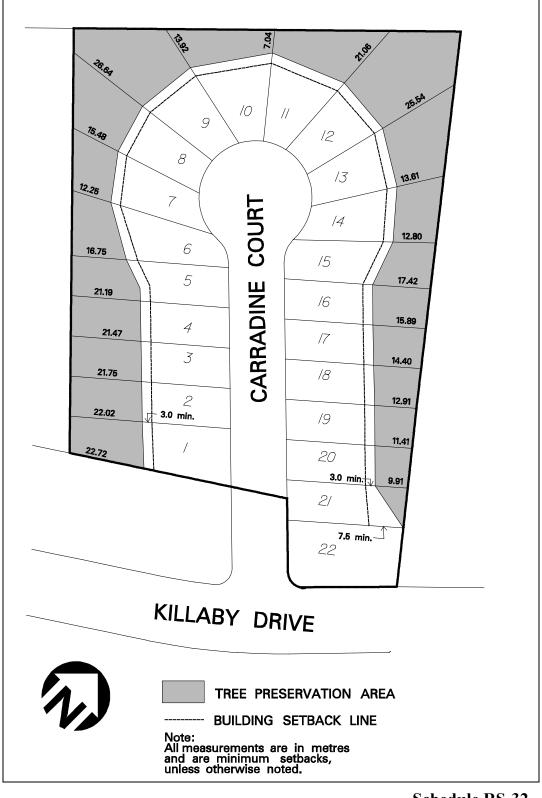
4.2.3.30	Exception: RS-30	Map # 36W	By-law: 0048-2025		
In a RS-30 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:					
Regulation	Regulation				
4.2.3.30.1	deleted				
4.2.3.30.2	Minimum interior side yar side yard that adjoins an att	rd - interior lot, for that part of tached garage	f the 0.9 m		

4.2.3.31	Exception: RS-31	Map # 36W	By-law: 0048-2025		
	In a RS-31 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:				
Regulations					
4.2.3.31.1	The areas identified on Schedule RS-31 of this Exception as a tree preservation area, shall only be used for conservation purposes, and no buildings or structures , swimming pools , tennis courts or any like recreational facilities, except for fences along the lot lines , shall be permitted				
4.2.3.31.2	All site development plans shall comply with Schedule RS-31 of this Exception				



Schedule RS-31 Map 36W

4.2.3.32	Exception: RS-32	Map # 45E	By-law: 0048-2025	
In a RS-32 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:				
Regulation				
4.2.3.32.1	deleted			
4.2.3.32.2	The areas identified on Schedule RS-32 of this Exception as a tree preservation area, shall only be used for conservation purposes, and no buildings or structures , swimming pools , tennis courts or any like recreational facilities, except for fences along the lot lines , shall be permitted			



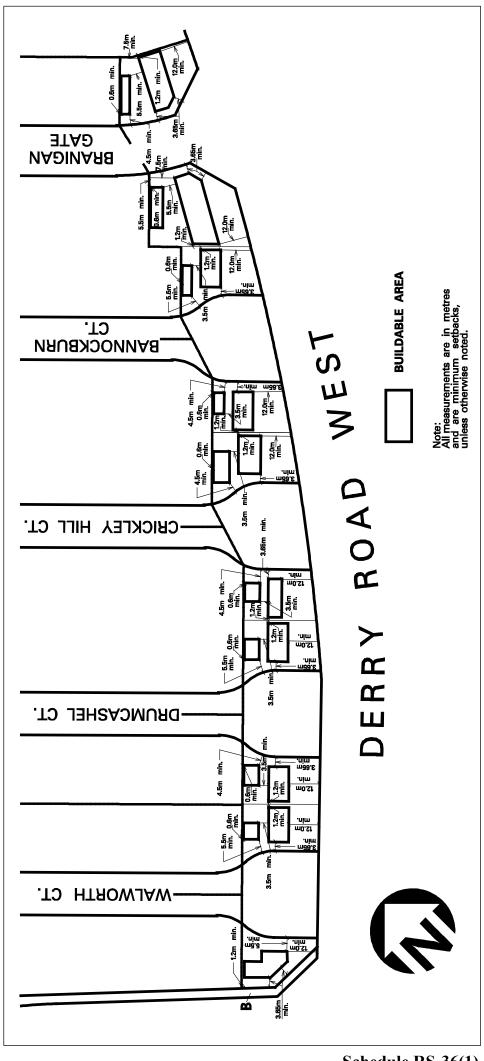
Schedule RS-32 Map 45E

4.2.3.33	Exception: RS-33	Map # 56	By-law: 0379-2009, 0181-2018/LPAT Order 2019 February 15, 0048-2025		
	In a RS-33 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:				
Regulation					
4.2.3.33.1	deleted				
4.2.3.33.2	deleted				
4.2.3.33.3	Minimum encroachment of	a porch into a required front	yard 0.5 m		
4.2.3.33.4	deleted				
4.2.3.33.5	deleted				

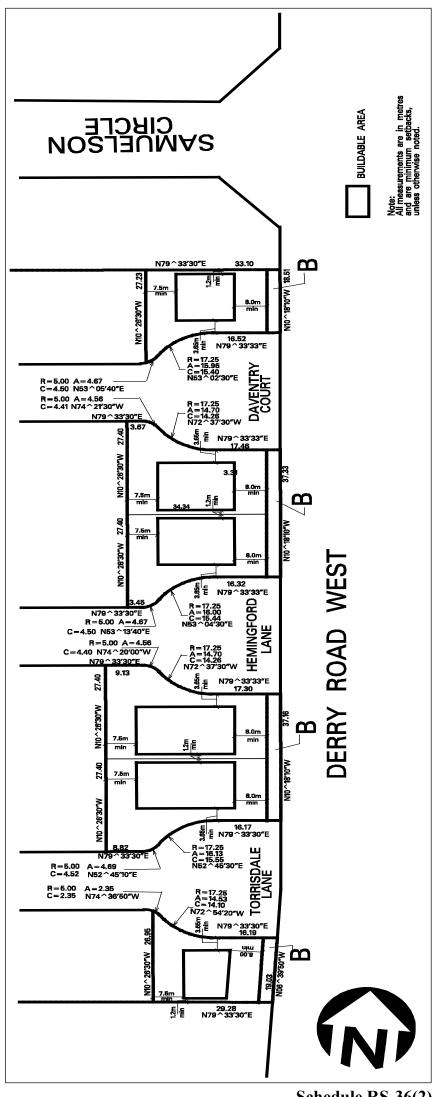
4.2.3.34	Exception: RS-34	Map # 53E, 53W	By-law: 0181-2018/LPAT Order 2019 February 15, 0048-2025	
	ne the permitted uses and appying uses /regulations shall app		s specified for a RS zone except	
Regulations				
4.2.3.34.1	deleted			
4.2.3.34.2	deleted			
4.2.3.34.3	deleted			
4.2.3.34.4	Maximum lot coverage	Maximum lot coverage		
4.2.3.34.5	deleted			
4.2.3.34.6	deleted			
4.2.3.34.7	deleted			
4.2.3.34.8	Maximum encroachment of exterior side yards	f a porch into the required fr	ont and 1.8 m	
4.2.3.34.9	The area of all porches in f excluded from the calculation	ront and exterior side yards	s shall be	
4.2.3.34.10		comply with the RS zone reg		
	(1) minimum setback to	garage face	4.5 m	

4.2.3.35	Exception: RS-35	Map # 53E, 53W	By-law: 0181-2018/LPAT Order 2019 February 15, 0048-2025				
	n a RS-35 zone the permitted uses and applicable regulations shall be as specified for a RS zone except hat the following uses /regulations shall apply:						
Regulations							
4.2.3.35.1	deleted						
4.2.3.35.2	deleted						
4.2.3.35.3	deleted						
4.2.3.35.4	Maximum lot coverage	45%					
4.2.3.35.5	deleted						
4.2.3.35.6	deleted						
4.2.3.35.7	deleted						
4.2.3.35.8	Maximum encroachment of exterior side yards	a porch into the required fro	nt and 1.8 m				
4.2.3.35.9	The area of all porches in front and exterior side yards shall be excluded from the calculation of lot coverage						
4.2.3.35.10		comply with the RS zone regu.1 of this By-law except that:	ılations				
	(1) minimum setback to	garage face	5.5 m				

4.2.3.36	Exception: RS-36(1) and RS-36(2)	Map # 53E, 53W	By-law: 0048-2025			
	In a RS-36(1) and RS-36(2) zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:					
Regulations						
4.2.3.36.1	deleted					
4.2.3.36.2	deleted					
4.2.3.36.3	deleted					
4.2.3.36.4	Maximum lot coverage		45%			
4.2.3.36.5	Maximum encroachment of exterior side yards	a porch into the required fro	nt and 1.8 m			
4.2.3.36.6	The area of all porches in front and exterior side yards shall be excluded from the calculation of lot coverage					
4.2.3.36.7	All site development plans shall comply with Schedules RS-36(1) and RS-36(2) of this Exception					

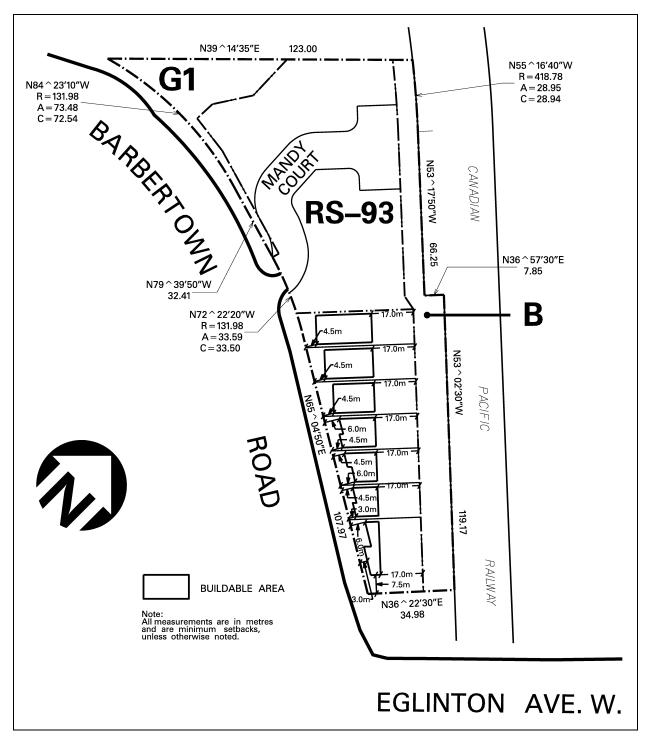


Schedule RS-36(1) Map 53W



Schedule RS-36(2) Map 53E

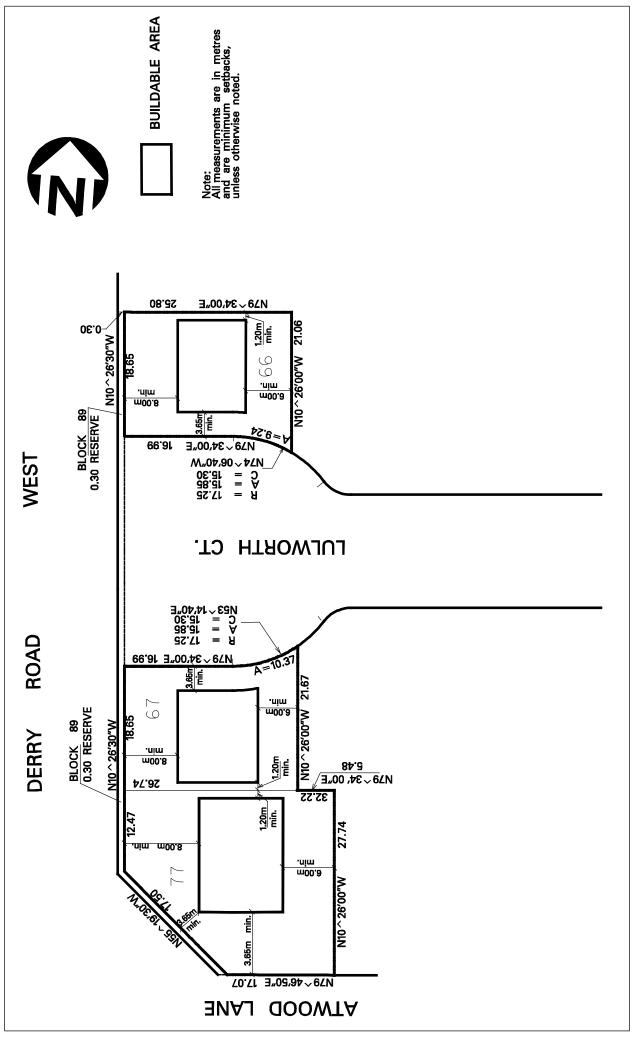
4.2.3.37	Exception: RS-37	Map # 38W	By-law: 0048-2025				
	In a RS-37 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:						
Regulation							
4.2.3.37.1	4.2.3.37.1 <i>deleted</i>						
4.2.3.37.2	All site development plans sof this Exception	shall comply with Schedule R	S-37				



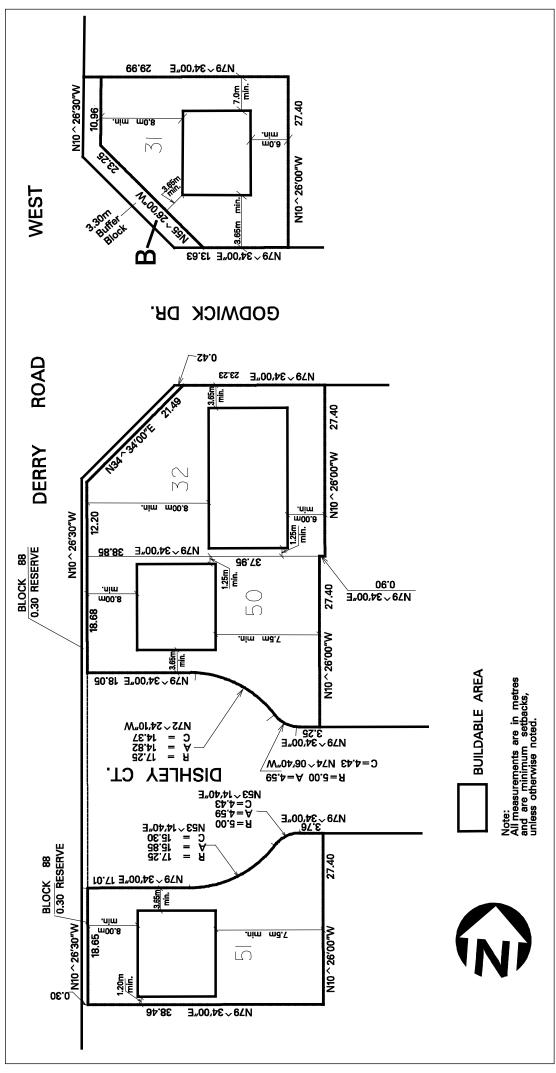
Schedule RS-37 Map 38W

4.2.3.38	Exception: RS-38	Map # 18	By-law: 0048-2025				
	In a RS-38 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:						
Regulation	Regulation						
4.2.3.38.1	deleted						
4.2.3.38.2	Minimum setback of a deta all lands zoned G1	ched dwelling or semi-detacl	ned to 8.5 m				

4.2.3.39	Exception: RS-39(1) and RS-39(2)	Map # 53E	By-law: 0181-2018/LPAT Order 2019 February 15, 0048-2025				
	In a RS-39(1) and RS-39(2) zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:						
Regulations	S						
4.2.3.39.1	Minimum lot coverage		45%				
4.2.3.39.2	A detached dwelling shal contained in Subsection 4.						
	(1) minimum setback	to garage face	5.5 m				
4.2.3.39.3	All site development plans Schedules RS-39(1) and R		ption				

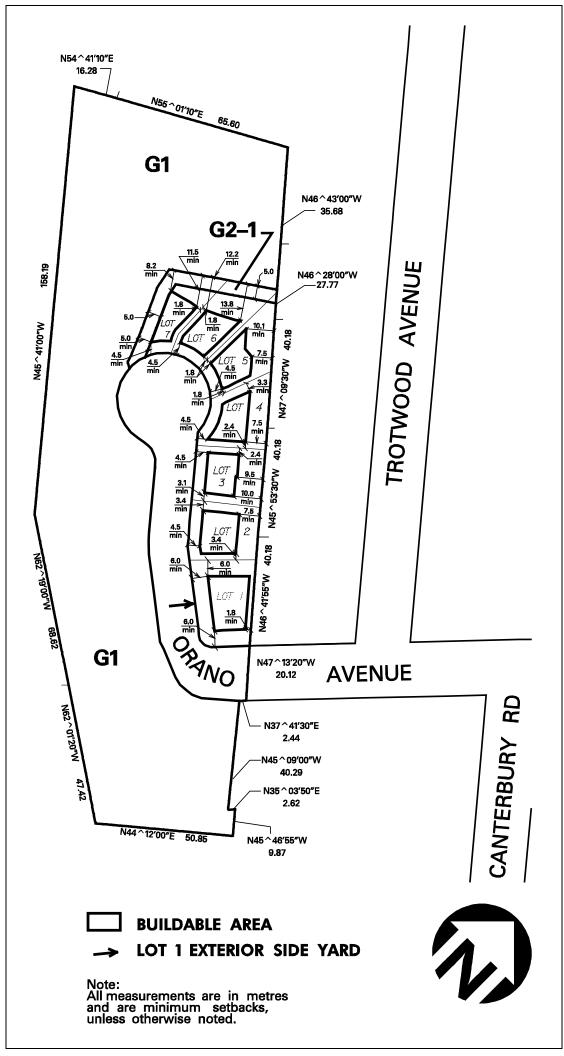


Schedule RS-39(1) Map 53E



Schedule RS-39(2) Map 53E

4.2.3.40	Exception: RS-40	Map # 07	By-law: 0308-2011, 0181-2018/LPAT Order 2019 February 15, 0048-2025					
	In a RS-40 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:							
Regulations								
4.2.3.40.1	deleted							
4.2.3.40.2	deleted							
4.2.3.40.3	Maximum gross floor area	- residential	$190 \text{ m}^2 \text{ plus}$ 0.2 times the lot area					
4.2.3.40.4	deleted							
4.2.3.40.5	deleted							
4.2.3.40.6	deleted							
4.2.3.40.7	deleted							
4.2.3.40.8	Maximum projection of a g of the first floor front wall detached dwelling	arage face beyond any portion or exterior side wall of a	on 0.0 m					
4.2.3.40.9	Maximum garage width: measured from the inside fa	ace of the garage side walls	50% of the width of the front wall of the detached dwelling					
4.2.3.40.10	Sentence 4.2.3.40.9 of this 1	of the detached dwelling in Exception shall be the total wof the dwelling that face the st						
4.2.3.40.11		shall only be permitted through ad on Schedule RS-40 of this	gh the					
4.2.3.40.12	All site development plans this Exception	shall comply with Schedule R	S-40 of					



Schedule RS-40 Map 07

4.2.3.41	Exception: RS-41	Map # 30	By-law: 0379-2009, 0181-2018/LPAT Order 2019 February 15, 0048-2025				
that the following	In a RS-41 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:						
Regulations							
4.2.3.41.1	deleted						
4.2.3.41.2	deleted						
4.2.3.41.3	Minimum setback of all buildings and structures to all lands 20.0 m						
4.2.3.41.4	Minimum setback of all buildings and structures to a 0.0 m sight triangle						
4.2.3.41.5	deleted						
4.2.3.41.6	Maximum encroachment of front or exterior side yard	a porch or balcony into the r	equired 2.0 m				
4.2.3.41.7	A detached garage shall no	t be permitted					
4.2.3.41.8	deleted						

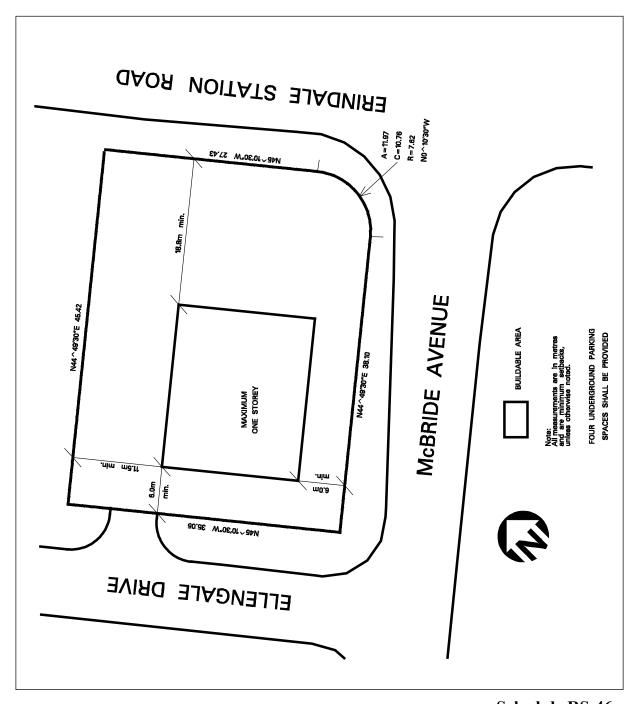
4.2.3.42	Exception: RS-42	Map # 55	By-law: 0181-2018/LPAT Order 2019 February 15, 0048-2025			
	one the permitted uses and wing uses /regulations sha		all be as specified for a RS zone except			
Regulations						
4.2.3.42.1	deleted					
4.2.3.42.2	deleted	deleted				
4.2.3.42.3	deleted					
4.2.3.42.4	_	shall comply with the RS z n 4.2.1 of this By-law exc	_			
	(1) maximum lot c	overage	48%			
	(2) minimum setba	ck to garage face	4.0 m			
4.2.3.42.5	Maximum garage width: 6.0 m measured from the inside face of the garage side walls					
4.2.3.42.6	Maximum driveway v	Maximum driveway width 6.0 m				

4.2.3.43	Exception: RS-43	Map # 55	By-law: 0181-2018/LPAT Order 2019 February 15, 0048-2025				
	In a RS-43 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:						
Regulations							
4.2.3.43.1	deleted						
4.2.3.43.2	deleted						
4.2.3.43.3	deleted 4.0 m						
4.2.3.43.4	_	comply with the RS zone regu. 1 of this By-law except that:	ılations				
	(1) maximum lot covera	age	48%				
	(2) minimum setback to	garage face	5.0 m				
4.2.3.43.5	Maximum garage width: 6.0 m measured from the inside face of the garage side walls						
4.2.3.43.6	Maximum driveway width 6.0 m						

4.2.3.44	Exception: RS-44	Map # 13	By-law: 0048-2025		
In a RS-44 zon uses/regulation		shall be as specified for a RS z	zone except that the following		
Permitted Use	S				
4.2.3.44.1	Lands zoned RS-44 shall or	nly be used for the following:			
	 Detached Dwelling or Semi-Detached or Medical Office - Restricted 				
Regulation					
4.2.3.44.2	4.2.3.44.2 A medical office - restricted shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:				
(1) maximum number of physicians , dentists , drugless practitioners or health professionals permitted to practise					

4.2.3.45	Exception: RS-45	Map # 20	By-law: 0048-2025						
	In a RS-45 zone the applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:								
Permitted Use	S								
4.2.3.45.1	Lands zoned RS-45 shall o	nly be used for the following:							
	 Detached Dwelling or Semi-Detached or Medical office - restricted in a detached dwelling 								
Regulations									
4.2.3.45.2	4.2.3.45.2 A medical office - restricted shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:								
	(1) maximum number of physicians, dentists, drugless 4 practitioners or health professionals permitted to practise 4								

4.2.3.46	Exception: RS-	.46 Map # 23	By-law: 0048-2025
	one the applicable	regulations shall be as speci	fied for a RS zone except that the following
Permitted U	ses		
4.2.3.46.1	Lands zoned R	S-46 shall only be used for t	the following:
Regulations	(2) Semi-D (3) Medica	ed Dwelling or etached or I Office - Restricted	
4.2.3.46.2	A medical offi	ce - restricted shall comply trained in Subsection 4.2.1 o	
	` '	um number of physicians, d tioners or health profession e	
	. ,	development plans shall con ale RS-46 of this Exception	mply with



Schedule RS-46 Map 23

4.2.3.47	Exception: RS-47 Map #		By-law: deleted by 0048-2025	

4.2.3.48	Excep	otion: RS-48	Map # 55		79-2009, LPAT Order ary 15, 0048-2025		
	In a RS-48 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:						
Additional Per	rmitted	d Use					
4.2.3.48.1	(1)	Linked Dwelling					
Regulations							
4.2.3.48.2		<u> </u>	mply with the RS zone regulat1 of this By-law except that:	ions			
	(1)	minimum lot fronta	ge - corner lot		15.0 m		
	(2)	minimum front yar	d		4.5 m		
	(3)	minimum interior s	ide yard - interior lot		1.2 m		
	(4) minimum interior side yard - interior lot, for that part of a lot that adjoins a one storey garage or a wall of a main building containing no windows or doors into a habitable room			0.61 m			
	(5)	minimum setback to	garage face		6.0 m		

4.2.3.49	Exception: RS-49	Map # 38W	By-law: 0379-2009, 0181-2018/LPAT Order 2019 February 15, 0048-2025
	zone the permitted uses and owing uses /regulations shall		nall be as specified for a RS zone except
Regulation			
4.2.3.49.1	deleted		
4.2.3.49.2	deleted		
4.2.3.49.3	deleted		
4.2.3.49.4	deleted		
4.2.3.49.5	deleted		
4.2.3.49.6	deleted		
4.2.3.49.7	deleted		
4.2.3.49.8		shall comply with the RS n 4.2.1 of this By-law exc	
	(1) minimum rear	yard	6.0 m
4.2.3.49.9	deleted		

4.2.3.50	Exception: RS-50	Map # 19	By-law: 0379-2009, 0048-2025		
In a RS-50 zoo uses/regulation		shall be as specified	I for a RS zone except that the following		
Permitted Use	es				
4.2.3.50.1	Lands zoned RS-50 shall or	nly be used for the f	following:		
	(1) Mobile home or land lease community home or any combination thereof, with accessory administrative facilities				
Regulations					
4.2.3.50.2	Maximum number of mobile homes and/or land lease community homes on all lands zoned RS-50				
4.2.3.50.3	Access shall be permitted from lands zoned C3-23 and RA2-18				
4.2.3.50.4	Minimum number of parking spaces per mobile home or land lease community home				
4.2.3.50.5	"Administrative Facilities" means any building or structure that is accessory to the operation of mobile homes and land lease community homes				
4.2.3.50.6	"Land Lease Community Home" means a detached dwelling that is a permanent structure where the owner of the dwelling leases the land used or intended for use as the site for the dwelling, but does not include a mobile home				
4.2.3.50.7	"Mobile Home" means a de be made mobile, and constr permanent residence for on include a travel trailer or ter	ructed or manufacture or more persons, b	ared to provide a but does not		

4.2.3.51	Exception: RS-51	Map #	By-law: deleted by 0048-2025

4.2.3.52	Exception: RS-52	Map #	By-law: deleted by 0048-2025

4.2.3.53	Exception: RS-53	Map # 39E	By-law: 0379-2009, 0181-2018/LPAT Order 2019 February 15, 0048-2025			
	In a RS-53 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:					
Regulations						
4.2.3.53.1	deleted					
4.2.3.53.2	deleted					
4.2.3.53.3	deleted					
4.2.3.53.4	Maximum lot coverage		45%			
4.2.3.53.5	deleted					
4.2.3.53.6	deleted					
4.2.3.53.7	Maximum driveway width		6.0 m			
4.2.3.53.8	Each detached dwelling sh	all have an attached garage				
4.2.3.53.9	deleted					

4.2.3.54	Exception: RS-54	Map # 31	By-law: 0325-2008, 0048-2025			
	In a RS-54 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:					
Regulations						
4.2.3.54.1	deleted					
4.2.3.54.2	deleted					
4.2.3.54.3	deleted					
4.2.3.54.4	Minimum interior side yar swimming pools where lan	ed of all buildings and struct uds abut a G1 zone	ares and 3.0 m			
4.2.3.54.5	Minimum setback of a swi n lands abut a G1 zone	nming pool to the rear lot lin	e where 3.0 m			

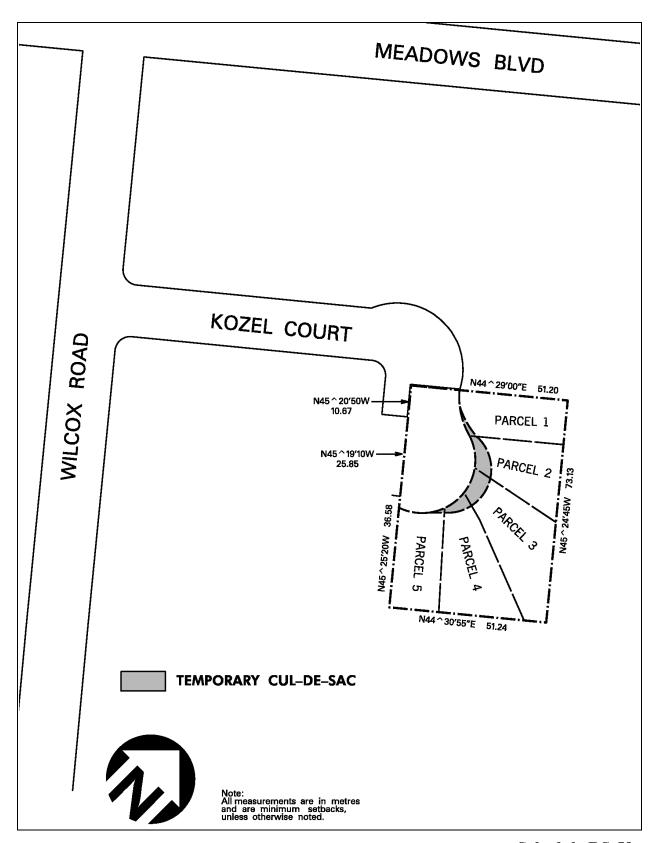
4.2.3.55	Exception: RS-55	Map # 32	By-law: 0048-2025		
In a RS-55 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:					
Regulation					
4.2.3.55.1 A detached dwelling shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:					
	(1) minimum front yard	d	1.5 m		

4.2.3.56	Exception: RS-56	Map # 20	By-law: 0325-2008, 0048-2025			
	In a RS-56 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:					
Regulation	Regulation					
4.2.3.56.1	deleted					
4.2.3.56.2 A detached dwelling shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:						
	(1) minimum interior si	ide yard - interior lot	0.61 m			

4.2.3.57	Exception: RS-57	Map # 19	By-law: OMB Order 2008 March 27, 0196-2010, 0144-2016, 0048-2025	
	ne the permitted uses and a ving uses /regulations shall a		as specified for a RS zone except	
Regulations				
4.2.3.57.1	The regulations of Lines this By-law shall not app	6.3 and 7.1 contained in Table	e 4.2.1 of	
4.2.3.57.2	deleted			
4.2.3.57.3	A detached dwelling shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:			
	(1) minimum lot area	a - corner lot	325 m^2	
	(2) minimum exterio	r side yard	1.2 m	
4.2.3.57.4	deleted			
4.2.3.57.5	deleted			
4.2.3.57.6	deleted			
4.2.3.57.7	Maximum projection of a porch , deck or a balcony , exceeding 0.61 m in height above grade at any point, from the rear wall of a dwelling			
4.2.3.57.8	Maximum area of a porch , deck or a balcony , excluding stairs, identified in Sentence 4.2.3.57.7 of this Exception			
4.2.3.57.9	Article 4.1.5.2 and/or Article 4.1.5.7 of this By-law shall apply to a porch or deck 0.61 m or less in height above grade at any point			
4.2.3.57.10	Article 4.1.5.10 of this B rear yard	y-law shall not apply to a balo	cony in the	

4.2.3.58	Exception: RS-58	Map # 30	By-law: 0184-2008, 0379-2009, 0181-2018/LPAT Order 2019 February 15, 0048-2025
	zone the permitted uses and owing uses /regulations shall		shall be as specified for a RS zone except
Regulations	\$		
4.2.3.58.1	deleted		
4.2.3.58.2	deleted		
4.2.3.58.3	deleted		
4.2.3.58.4	Maximum lot coverag	e	45%
4.2.3.58.5	deleted		
4.2.3.58.6	deleted		
4.2.3.58.7	deleted		
4.2.3.58.8	deleted		
4.2.3.58.9	deleted		
4.2.3.58.10	Minimum setback to a	sight triangle	0.0 m
4.2.3.58.11	deleted		
4.2.3.58.12	Maximum encroachme required front yard or	ent of a porch or a balco exterior side yard	ny into the 2.0 m
4.2.3.58.13	Maximum area of a ba	lcony on top of an attacl	ned garage 12 m ²
4.2.3.58.14	A detached garage sha	all not be permitted	
4.2.3.58.15	deleted		

4.2.3.59	Exception: RS-59	Map # 28	By-law: 0218-2009, 0048-2025		
	In a RS-59 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:				
4.2.3.59.1 Each lot , comprised of a parcel and a portion of the temporary cul-de-sac identified on Schedule RS-59 of this Exception, shall be considered a lot for the purposes of this By-law					

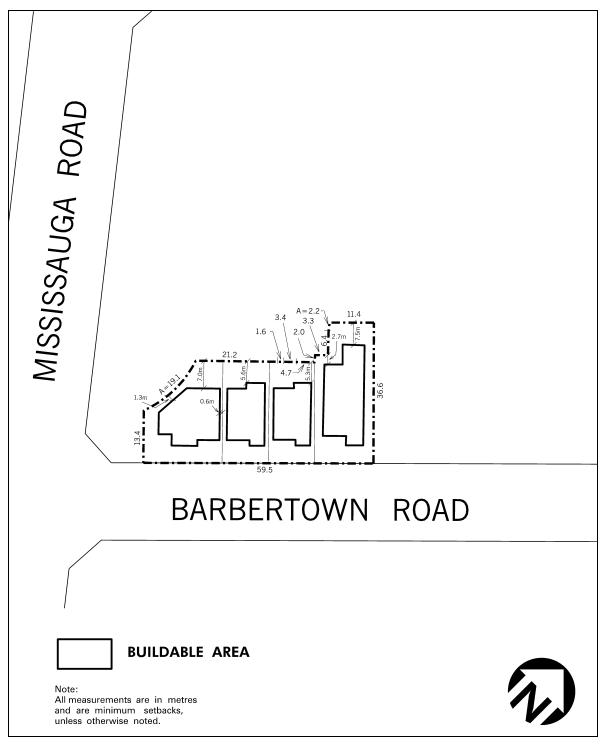


Schedule RS-59 Map 28

4.2.3.60	Exception: RS-60	Map #	By-law: 0048-2025

		Γ	-		
4.2.3.61	Exception: RS-61	Map # 48E, 48W	By-law: 0225-2016, 0048-2025		
	ne the permitted uses and appring uses /regulations shall app	licable regulations shall be as soly:	specified for a RS zone except		
Regulations	Regulations				
4.2.3.61.1	deleted				
4.2.3.61.2	Minimum interior side yar	rd	1.2 m + 0.61 m for each additional storey or portion thereof above one storey		
4.2.3.61.3	deleted				
4.2.3.61.4	deleted				
4.2.3.61.5	deleted				
4.2.3.61.6	Maximum gross floor area - infill residential		150 m ² plus 0.2 times the lot area		
4.2.3.61.7	Garage projection:				
	maximum projection of the exterior side wall of the fin	garage beyond the front wall rst storey	or 2.0 m		
4.2.3.61.8	deleted				

4.2.3.62	Exception: RS-62	Map # 38W	By-law: LPAT Order 2019 February 08, 0128-2020, 0048-2025		
In a RS-62 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:					
Regulations					
4.2.3.62.1	deleted				
4.2.3.62.2	deleted				
4.2.3.62.3	A detached dwelling shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:				
	(1) maximum lot cover :	age	47%		
4.2.3.62.4	deleted				
4.2.3.62.5	All site development plans shall comply with Schedule RS-62 of this Exception				



Schedule RS-62 Map 38W

4.2.3.63	Exception: RS-63	Map # 13	By-law: 01 0048-2025	98-2019,
	ne the permitted uses and ving uses /regulations shall		nall be as specified for	r a RS zone except
Regulations				
4.2.3.63.1	Maximum number of dwelling units on all lands zoned RS-63 8			
4.2.3.63.2	deleted			
4.2.3.63.3 A detached dwelling shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:				
	(1) minimum lot ar	ea - corner lot		345 m^2
	(2) minimum exteri	or side yard		3.0 m
4.2.3.63.4	The lot line abutting Primate Road shall be deemed to be the front lot line			
4.2.3.63.5	deleted			
4.2.3.63.6	deleted			
4.2.3.63.7	deleted			
4.2.3.63.8	deleted			
4.2.3.63.9	Maximum encroachment of a porch , inclusive of stairs into the required front yard 1.5 m			

4.2.3.64	Exception: RS-64	Map # 15	By-law: 0132-2019, 0048-2025		
In a RS-64 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:					
Regulation					
4.2.3.64.1	deleted				
4.2.3.64.2	A detached dwelling shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:				
	(1) maximum lot co	overage	43%		

4.2.3.65	Excep	tion: RS-65	Map # 56	By-law 0048-2	: 0232-2024, 025	
		ermitted uses and apples/regulations shall app	licable regulations shall be	as specified	d for a RS zone except	
Regulations						
4.2.3.65.1	delete	d				
4.2.3.65.2	A detached dwelling shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:					
	(1)	deleted				
	(2)	minimum lot fronta	ge - corner lot		13.5 m	
	(3)	maximum lot covera	age		50%	
	(4)	deleted				
	(5)	deleted				
	(6)	minimum landscape the driveway	ed soft area in the yard con	ntaining	34% of the front yard and/or exterior side yard	
4.2.3.65.3	delete	d				
4.2.3.65.4	delete	deleted				
4.2.3.65.5	delete	d				

4.2.3.66	Exception: RS-66	Map # 22	By-law: 004	18-2025		
In a RS-66 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply: Regulations						
4.2.3.66.1	3					
4.2.3.66.2	Minimum setback of a hab	itable room to a railway rig	ht-of-way	20.0 m		

4.2.3.67	Exception: RS-67	Map #	By-law: deleted by 0048-2025

4.2.3.68	Exception: RS-68	Map # 22, 29, 36W, 37E, 37W, 38W, 39E, 56	By-law: 0048-2025			
that the follo	In a RS-68 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:					
Regulation						
4.2.3.68.1 A detached dwelling shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:						
	(1) maximum lot o	coverage	45%			

4.2.3.69	Exception: RS-69	Map # 30, 37W, 38E, 39E, 39W, 45E, 54W, 55, 56	By-law: 0048-2025				
	In a RS-69 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:						
Regulations							
4.2.3.69.1	deleted						
4.2.3.69.2	deleted						
4.2.3.69.3	deleted						
4.2.3.69.4	deleted						
4.2.3.69.5	A detached dwelling shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:						
	(1) minimum interior si	ide yard - interior lot	1.2 m				

4.2.3.70	Exception	on: RS-70	Map # 46W	By-law: 0048-2025		
	In a RS-70 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:					
Additional Per	mitted U	J se				
4.2.3.70.1	(1)	Linked Dwelling				
Regulation						
4.2.3.70.2		_	mply with the RS zone regulat .1 of this By-law except that:	ions		
	(1)	minimum lot front	age - interior lot	9.0 m		

4.2.3.71	Exception: RS-71	Map #	By-law: deleted by 0048-2025

4.2.3.72	Excep	otion: RS-72	Map # 18, 22, 25, 26, 29, 30, 55	By-law: 0048-2025		
	In a RS-72 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:					
Regulations						
4.2.3.72.1	A detached dwelling shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:					
	(1)	minimum lot area -	interior lot	275 m^2		
	(2)	minimum lot fronta	ge - interior lot	9.0 m		
	(3)	maximum gross floo	or area - residential	0.6 times the lot area		

4.2.3.73	Exception: RS-73	Map # 30	By-law: 0181-2018/LPAT Order 2019 February 15, 0048-2025				
that the follow	In a RS-73 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:						
Regulations							
4.2.3.73.1	C	l comply with the RS zone reg 2.1 of this By-law except that					
	(1) maximum gross fl o	oor area - residential	0.6 times the lot area				
4.2.3.73.2	Minimum interior side ya side lot line of a townhou	ard - where the side lot line is se	also the 1.2 m				

4.2.3.74	Exception: RS-74	Map # 22, 37E, 37W	By-law: 0048-2025		
In a RS-74 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:					
Regulations					
4.2.3.74.1	A detached dwelling shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:				
	(1) minimum lot area -	interior lot	275 m^2		
	(2) maximum lot cover :	age	45%		
4.2.3.74.2	deleted				

4.2.3.75	Exception: RS-75	Map # 22, 38E	By-law: 0048-2025		
In a RS-75 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:					
Regulations					
4.2.3.75.1	deleted				
4.2.3.75.2	Maximum lot coverage		45%		
4.2.3.75.3	Minimum exterior side yar Parkway or Central Parkwa	rd - lots abutting Confederation y West	on 6.0 m		

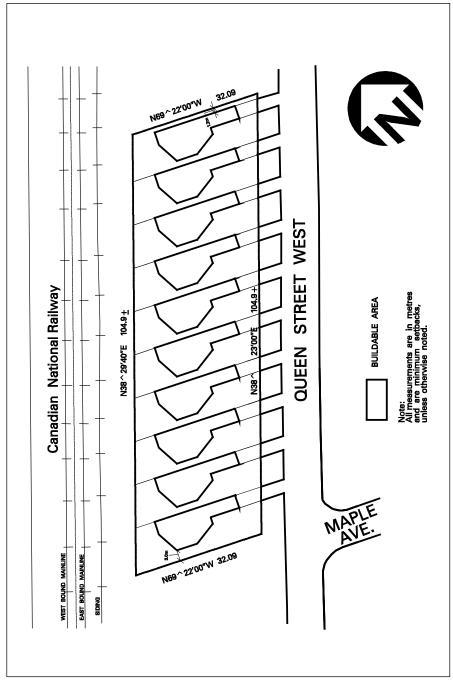
4.2.3.76	Exception: RS-76	Map # 27	By-law: 0048-2025
	e the permitted uses and appling uses /regulations shall app		specified for a RS zone except
Regulation			
4.2.3.76.1	deleted		
4.2.3.76.2	S	comply with the RS zone regulation.1 of this By-law except that:	ılations
	(1) minimum lot fronta	ge	9.0 m

4.2.3.77	Exception: RS-77	Map # 54W	By-law: 0048-2025			
	In a RS-77 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:					
Regulations						
4.2.3.77.1	Minimum rear yard where	lands abut a B zone	19.0 m			
4.2.3.77.2	Minimum setback of all bu swimming pools to all land	13.0 m				

4.2.3.78	Exception: RS-78	Map #	By-law: deleted by 0048-2025
_			

4.2.3.79	Exception: RS-79 Map # 55 By-l		By-law: 0048-2025		
In a RS-79 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:					
Regulation					
4.2.3.79.1 Minimum rear yard where lands abut a B zone 15.0 m					

4.2.3.80	Excep	otion: RS-80	Map # 08	By-law: 0048-2025	
		ermitted uses and apples/regulations shall app		specified for a RS zone except	
Regulations					
4.2.3.80.1	delete	d			
4.2.3.80.2	delete	d			
4.2.3.80.3	deleted				
4.2.3.80.4	A detached dwelling shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:				
	(1)		ide yard - interior lot, unless on Schedule RS-80 of this Ex		
	(2)	a lot that adjoins an	ide yard - interior lot, for the attached garage, unless other ale RS-80 of this Exception	•	
	(3)	minimum rear yard		3.75 m	
4.2.3.80.5		e development plans a	shall comply with Schedule R	S-80 of	



Schedule RS-80 Map 08

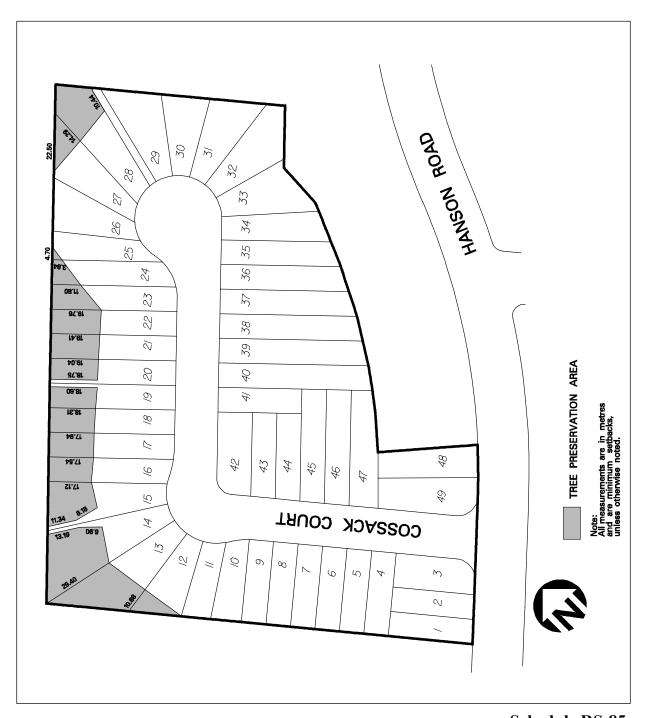
4.2.3.81	Exce	otion: RS-81	Map # 56	By-law: 0048-2025		
In a RS-81 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:						
Regulations						
4.2.3.81.1		A detached dwelling shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:				
	(1)	minimum lot fronta	ge - interior lot	4.5 m		
	(2)	minimum setback of Britannia Road Wes	f a detached dwelling to t	13.5 m		

4.2.3.82	Exception: RS-82	Map # 36W	By-law: 0048-2025			
	In a RS-82 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:					
Regulation						
4.2.3.82.1	Minimum rear yard where	lands abut an E2-1 zone	15.0 m			

4.2.3.83	Except	tion: RS-83	Map # 56	By-law: 0048-2025		
In a RS-83 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:						
Regulations						
4.2.3.83.1		_	comply with the RS zone regular.1 of this By-law except that:	ılations		
	(1)	minimum lot area -	interior lot	260 m^2		
	(2)	minimum lot area -	corner lot	305 m^2		
	(3)	maximum encroachr front and exterior s	ment of a porch , into the requide yards	ired 1.8 m		
	(4) the area of all porches in front and exterior side yards shall be excluded from the calculation of lot coverage					
4.2.3.83.2	deleted	d				
4.2.3.83.3	deleted	deleted				
4.2.3.83.4	deleted					
4.2.3.83.5	deleted	deleted				
4.2.3.83.6	deleted	d				

4.2.3.84	Exception: RS-84	Map # 10, 26, 37W, 46W	By-law: 0048-2025		
In a RS-84 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:					
Regulations					
4.2.3.84.1	A detached dwelling shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:				
	(1) minimum lot fronta	ge - interior lot	9.0 m		
	(2) minimum interior si	ide yard - interior lot	1.2 m on one side and 0.45 m on the other side		
4.2.3.84.2	deleted				

4.2.3.85	Exception: RS-85	Map # 22	By-law: 0048-2025		
In a RS-85 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:					
Regulations					
4.2.3.85.1	tree preservation area, shall purposes, and no buildings	edule RS-85 of this Exception only be used for conservation or structures , swimming poo reational facilities, except for permitted	ols,		
4.2.3.85.2		ched dwelling or semi-detacl fied on Schedule RS-85 of thi			



Schedule RS-85 Map 22

4.2.3.86	Excep	tion: RS-86	Map # 53W	By-law: 0181-2018/L Order 2019 February 0048-2025		
	In a RS-86 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:					
Regulations						
4.2.3.86.1	A detached dwelling shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:					
	(1)	maximum lot covera	age	45%		
	(2)	minimum setback to	garage face	4.5 m	ı	
	(3)	maximum encroachment of a porch into the required 1.8 m front or exterior side yard			1	
	(4)	the area of all porches in front and exterior side yards shall be excluded from the calculation of lot coverage				
4.2.3.86.2	delete	d				
4.2.3.86.3	delete	d				

4.2.3.87	Excep	otion: RS-87	Map # 53W	By-law: 0183 Order 2019 I 0048-2025	1-2018/LPAT February 15,	
	In a RS-87 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:					
Regulations						
4.2.3.87.1		A detached dwelling shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:				
	(1)	maximum lot covers	age		45%	
	(2)	minimum setback to	garage face		5.5 m	
	(3)	maximum encroachi front or exterior sic	ment of a porch into the requi le yard	red	1.8 m	
	(4)	_	es in front and exterior side om the calculation of lot cove	•		
4.2.3.87.2	deleted					
4.2.3.87.3	delete	ed				

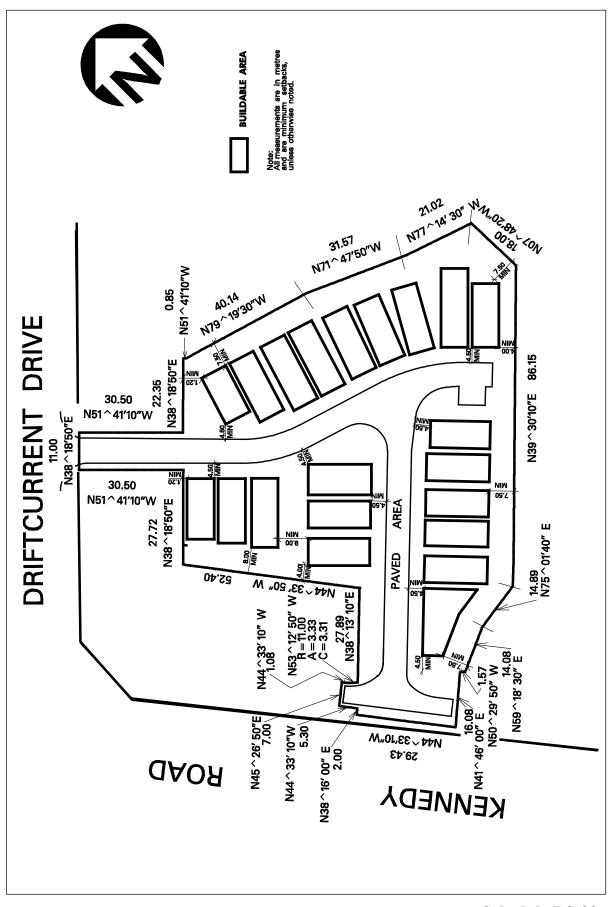
4.2.3.88	Exception: RS-88	Map # 27	By-law: 0048-2025		
In a RS-88 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:					
Regulations					
4.2.3.88.1	A detached dwelling shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:				
	(1) minimum lot frontage - interior lot 9.2 m				
	(2) minimum interior s	ide yard	1.2 m		
	(3) maximum driveway	width	3.8 m		
4.2.3.88.2	deleted				

4.2.3.89	Exception: RS-89	Map # 53W	By-law: 0048-2025		
	In a RS-89 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:				
Regulations					
4.2.3.89.1	A detached dwelling shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:				
	(1) maximum lot cover :	(1) maximum lot coverage 45%			
	(2) maximum encroachi front or exterior sic	ment of a porch , into the requi le yard	ired 1.8 m		
4.2.3.89.2	.2.3.89.2 deleted				

4.2.3.90	Excep	otion: RS-90	Map # 22	-	181-2018/LPAT 9 February 15,	
	In a RS-90 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:					
Regulations						
4.2.3.90.1		_	comply with the RS zone re .1 of this By-law except tha	•		
	(1)	minimum lot area -	interior lot		260 m^2	
	(2)	minimum lot area -	corner lot		335 m^2	
	(3)	maximum lot covers	age		45%	
	(4)	minimum front yar	d		3.0 m	
	(5)	minimum setback to	garage face		7.0 m	
	(6)	maximum driveway	width		3.8 m	
	(7)	maximum encroachi front yard	ment of a porch , into the re-	quired	0.65 m	
	(8)	maximum encroachi required exterior sic	ment of a bay window into the yard	the	0.5 m	
	(9)	the area of all porch from the calculation	es in the front yard shall b of lot coverage	e excluded		
4.2.3.90.2	delete	deleted				
4.2.3.90.3	delete	deleted				
4.2.3.90.4	delete	ed				
4.2.3.90.5	delete	ed				

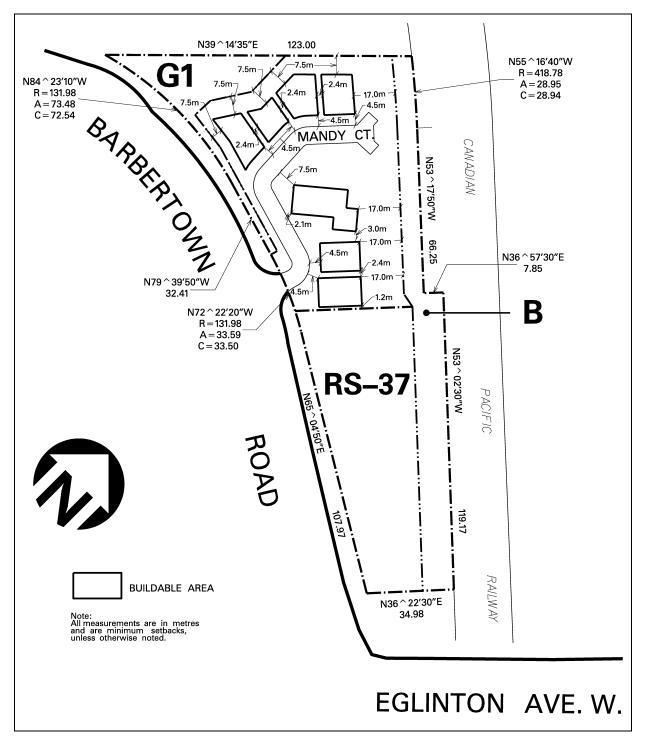
4.2.3.91	Exception: RS-91	Map # 55	By-law: 0181-2018/LPAT Order 2019 February 15, 0048-2025			
	In a RS-91 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:					
Regulations						
4.2.3.91.1	A detached dwelling shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:					
	(1) minimum lot area -	interior lot	280 m^2			
	(2) minimum setback to	garage face	7.0 m			
4.2.3.91.2	deleted					
4.2.3.91.3	deleted					
4.2.3.91.4	deleted					

4.2.3.92	Exception: RS-92	Map # 36E	By-law: 020 0048-2025	08-2022,		
	In a RS-92 zone the permitted uses and applicable regulations shall be as specified for a RS zone excet that the following uses /regulations shall apply:					
Regulations						
4.2.3.92.1	.1 Maximum number of dwelling units on all lands zoned RS-92			21		
4.2.3.92.2	Minimum landscaped area	r		55% of lot area		
4.2.3.92.3	Minimum separation between	en detached dwellings		1.2 m		
4.2.3.92.4	4.2.3.92.4 Height of all buildings and structures shall be measured from established grade					
4.2.3.92.5	.5 Bay windows are permitted to project beyond the rear wall of a detached dwelling outside the buildable area identified on Schedule RS-92 of this Exception					
4.2.3.92.6	Minimum number of parking spaces per dwelling unit			3		
4.2.3.92.7	.2.3.92.7 All site development plans shall comply with Schedule RS-92 of this Exception					



Schedule RS-92 Map 36E

4.2.3.93	Excep	tion: RS-93	Map # 38W	By-law: 0048-2025		
In a RS-93 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:						
Regulations						
4.2.3.93.1	A detached dwelling shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:					
	(1)) height of all buildings and structures shall be measured from established grade				
	(2)	all site development plans shall comply with Schedule RS-93 of this Exception				



Schedule RS-93 Map 38W

4.2.3.94	Exception: RS-94	Map # 55	By-law: 0048-2025			
	In a RS-94 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:					
Regulations						
4.2.3.94.1	deleted					
4.2.3.94.2	deleted					
4.2.3.94.3	_	comply with the RS zone regulation.1 of this By-law except that:	ılations			
		ment of a porch and/or deck , nto a required rear yard	2.5 m			
	(-)	ment of windows and other s, with or without a foundation	0.6 m n, into a			

4.2.3.95	Exception: RS-95	Map # 55	By-law: 0181-2018/LPAT Order 2019 February 15, 0048-2025	
In a RS-95 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:				
Regulations				
4.2.3.95.1	A detached dwelling shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:			
	(1) maximum lot cover	age	45%	
	(2) minimum setback to	garage face	4.0 m	
	(3) maximum garage w measured from the i	vidth: nside face of the garage side v	6.0 m walls	
4.2.3.95.2	deleted			

4.2.3.96	Except	tion: RS-96	Map # 55	By-law: 0181-20 Order 2019 Febr 0048-2025	
In a RS-96 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:					
Regulations					
4.2.3.96.1	.3.96.1 A detached dwelling shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:				
	(1)	maximum lot covera	age		45%
	(2)	minimum setback to	garage face		5.0 m
	(3)	minimum setback of Tenth Line West	a detached dwelling to		4.5 m
	(4)	maximum garage width: 6.0 m measured from the inside face of the garage side walls			
4.2.3.96.2	deleted	d			

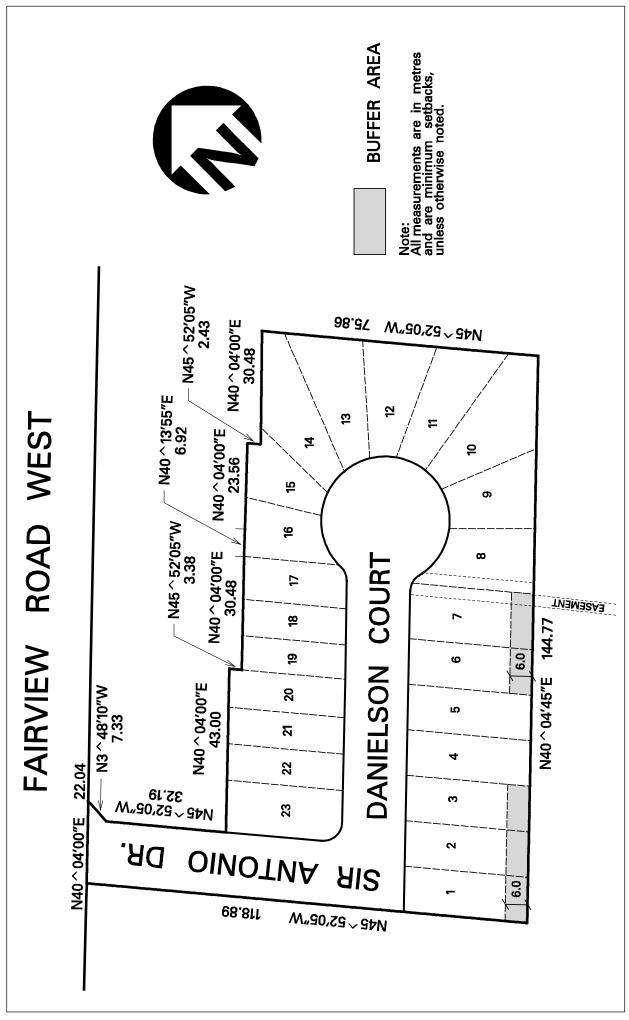
4.2.3.97	Exception: RS-97	Map # 55	By-law: 0181-2018/LPAT Order 2019 February 15, 0048-2025			
	In a RS-97 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:					
Regulations						
4.2.3.97.1	deleted					
4.2.3.97.2	deleted					
4.2.3.97.3	deleted					
4.2.3.97.4	_	comply with the RS zone regulation. I of this By-law except that:	lations			
	(1) maximum lot cover	age	45%			
	(2) minimum setback to	garage face	4.5 m			
	(3) maximum garage w measured from the is	vidth: nside face of the garage side v	6.0 m			
4.2.3.97.5	deleted					
4.2.3.97.6	deleted					

4.2.3.98	Exception: RS-98	Map # 09	By-law: 0048-2025			
	In a RS-98 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:					
Regulations						
4.2.3.98.1	S	comply with the RS zone reg	ulations			
	(1) minimum lot area -	interior lot	225 m^2			
	(2) minimum lot fronta	ge - interior lot	7.5 m			
	(3) maximum gross flo	or area – residential	0.6 times the lot area			
4.2.3.98.2	deleted					
4.2.3.98.3	deleted					
4.2.3.98.4	deleted					
4.2.3.98.5	deleted					

4.2.3.99	Exception: RS-99	Map # 30	By-law: 0048-2025		
In a RS-99 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:					
Additional Per	mitted Use				
4.2.3.99.1	(1) Linked Dwelling				
Regulation					
4.2.3.99.2	A linked dwelling shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law				

4.2.3.100	Excep	otion: RS-100	Map # 03	By-law: 0048-2025
		permitted uses and ap ing uses /regulations si		shall be as specified for a RS zone
Additional Po	ermitted	d Use		
4.2.3.100.1	(1)	Linked Dwelling		
Regulations				
4.2.3.100.2	.100.2 A detached dwelling shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:			
	(1)	minimum lot area -	interior lot	275 m^2
	(2)	minimum lot fronta	ige - interior lot	9.0 m
	(3)	maximum gross floo	or area – residential	0.6 times the lot area
4.2.3.100.3		ked dwelling shall coined in Subsection 4.2	1 0	
	(1)	minimum lot area -	interior lot	275 m^2
	(2)	minimum lot fronta	ige - interior lot	9.0 m
	(3)	maximum gross floo	or area - residential	0.6 times the lot area

4.2.3.101	Ехсер	tion: RS-101	Map # 22	By-law: 0048-2025	
		permitted uses and ap ng uses /regulations sl	plicable regulations shall be hall apply:	e as specified for a RS zone	
Regulations					
4.2.3.101.1			comply with the RS zone re .1 of this By-law except tha		
	(1)	(1) minimum lot area - interior lot 270 m^2			
	(2)		ge - interior lots containing chedule RS-101 of this Exce		
	(3)		f a detached dwelling or buffer area identified on this Exception	6.0 m	
4.2.3.101.2					



Schedule RS-101 Map 22

4.2.3.102	Exce	ption: RS-102	Map # 56		leted by 0137-2013, 0048-2025	
		permitted uses and ap ving uses /regulations s	plicable regulations sha hall apply:	ll be as specified fo	or a RS zone	
Regulations						
4.2.3.102.1	delet	ed				
4.2.3.102.2		A detached dwelling shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:				
	(1)	maximum lot cover	age		48%	
	(2)	minimum rear yard	minimum rear yard - interior lot			
	(3)	maximum encroachment of a porch , exclusive of stairs, into the required front yard			2.0 m	
	(4)	minimum setback of	f stairs from the front lo	t line	1.3 m	
	(5)	maximum driveway width where the lot frontage is less than 11.0 m			3.5 m	
	(6)	the area of all porch calculation of lot co	nes shall be excluded fro verage	m the		
4.2.3.102.3	Minimum interior side yard where a lot abuts lands zoned B 3.1 m				3.1 m	
4.2.3.102.4	3.0 n	Maximum encroachment of a building projection not more than 3.0 m wide, consisting of a minimum of 50% windows, into a required interior side yard where a lot abuts lands zoned B				

4.2.3.103	Ехсер	tion: RS-103	Map # 39E	By-law: 0181-2 Order 2019 Fel 0048-2025	
		permitted uses and apping uses /regulations sl	plicable regulations shall be as	s specified for a	RS zone
Regulations					
4.2.3.103.1	delete	d			
4.2.3.103.2	Minim	num front yard			7.5 m
4.2.3.103.3	A detached dwelling shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:				
	(1)	minimum rear yard			3.5 m
	(2)	minimum setback to	garage face		4.5 m
	(3)	maximum encroachr into a required rear	ment of a porch , inclusive of s yard	stairs,	2.0 m
	(4)	each detached dwel	ling shall have a garage		
	(5)	a detached garage sl	hall be permitted in the front	yard	
	(6)	maximum floor area of a garage			51 m^2
	(7)	maximum height of	a detached garage		7.3 m
	(8)	the lot line abutting the rear lot line	Thomas Street shall be deeme	d to be	

4.2.3.104	Exception: RS-104	Map # 06	By-law: 0048-2025		
In a RS-104 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:					
Regulation					
4.2.3.104.1	4.2.3.104.1 A detached dwelling shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:				
	(1) minimum setback of northerly rear lot li	f a detached dwelling to the m	nost 5.0 m		

4.2.3.105	Excep	tion: RS-105	Map # 29	By-law: 0048-2	2025
In a RS-105 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:					
Regulations					
4.2.3.105.1	A detached dwelling shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:				
	(1)	maximum lot covera	age		45%
	(2)		ment of a porch or balcony in ior or exterior side yard	to a	2.0 m
	(3)	maximum driveway	width		6.0 m
	(4)	maximum garage width: maximum garage width: 5.5 m measured from the inside face of the garage side walls			

4.2.3.106	Excep	otion: RS-106	Map # 29	By-law: 0048-2025		
In a RS-106 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:						
Regulations						
4.2.3.106.1		O	comply with the RS zone reg .1 of this By-law except that:	·		
	(1)	minimum lot area -	interior lot	275 m^2		
	(2)	minimum lot area -	corner lot	365 m^2		
	(3)	maximum lot covera	age	45%		
	(4)		ment of a porch or balcony i rior or exterior side yard	nto a 2.0 m		
	(5)	maximum driveway	width	6.0 m		
	(6)	maximum garage w measured from the in	idth: nside face of the garage side	5.5 m walls		

4.2.3.107	Excep	tion: RS-107	Map # 06	By-law: 0181-2018/LPAT Order 2019 February 15, 0048-2025		
In a RS-107 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:						
Regulations						
4.2.3.107.1	deleted					
4.2.3.107.2	A detached dwelling shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:					
	(1)	maximum lot covera	age	42%		
	(2)		overed porch in a front yard alculation of lot coverage	shall be		
4.2.3.107.4	deleted					
4.2.3.107.5	Minimum interior side yard - interior lot with a side lot line abutting a condominium road on abutting lands zoned RM4-56					

4.2.3.108	Exception: RS-108	Map # 29	By-law: 0286-2008, 0181-2018/LPAT Order 2019 February 15, 0048-2025		
In a RS-108 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:					
Regulations					
4.2.3.108.1	The provisions contained in Subsection 2.1.14 of this By-law shall not apply				
4.2.3.108.2	e e e e e e e e e e e e e e e e e e e	comply with the RS zone regulation. 1 of this By-law except that:	ılations		
	(1) maximum lot cover	age	45%		
	(2) minimum setback to	garage face	7.0 m		
	(3) minimum setback to Eglinton Avenue West 7.5 m				
	(4) maximum area of a l	balcony on top of an attached	garage 12 m ²		
4.2.3.108.3	deleted				

4.2.3.109	Exce	ption: RS-109	Map # 15	By-law: 0389-2009, 0188-2010, 0048-20	25	
		permitted uses and aping uses /regulations sl		all be as specified for a RS zo	one	
Regulations						
4.2.3.109.1	delete	ed				
4.2.3.109.2	delete	ed				
4.2.3.109.3	A detached dwelling shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:					
	(1)	maximum lot cover	age	49.5	%	
	(2)	(2) maximum encroachment of a porch or a deck , located at and accessible from the first storey or below the first storey of the dwelling, inclusive of stairs, into a required front yard			m	
	(3)	maximum encroachi rear yard	ment of a balcony into	a required 2.5	m	
4.2.3.109.4	deleted					
4.2.3.109.5	Minii	Minimum interior side yard abutting a RL zone 3.0 m				
4.2.3.109.6	delete	ed				

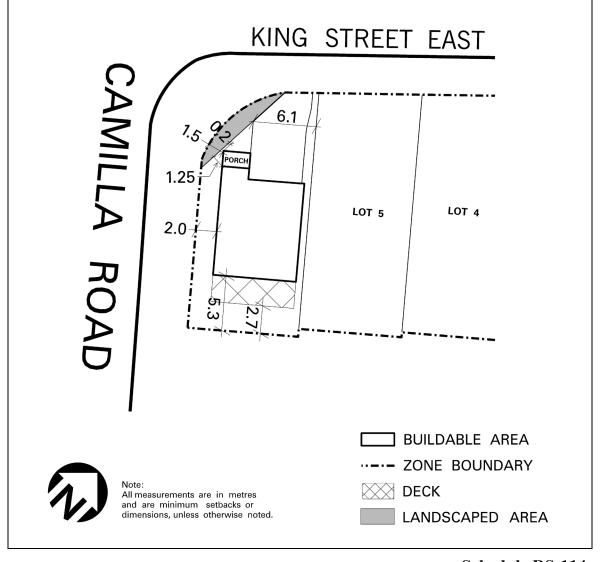
4.2.3.110	Excep	otion: RS-110	Map # 37W	By-law: 0024-2011, 0181-2018/LPAT Order 2019 February 15, 0048-2025		
		permitted uses and ap ing uses /regulations sl	plicable regulations shall be a hall apply:	as specified for a RS zone		
Regulations						
4.2.3.110.1	delete	ed				
4.2.3.110.2	delete	ed				
4.2.3.110.3	delete	ed				
4.2.3.110.4	delete	deleted				
4.2.3.110.5			comply with the RS zone reg			
	(1)	maximum lot covers	age	45%		
	(2)	minimum setback to	garage face	7.0 m		
	(3) maximum encroachment of a porch or a deck , located at and accessible from the first storey or below the first storey of the dwelling, inclusive of stairs, into a required front and/or exterior side yard					
4.2.3.110.6	delete	deleted				
4.2.3.110.7	delete	deleted				

4.2.3.111	Exception: RS-111	Map # 06	By-law: OMB Order 2011 September 29, 0048-2025			
	In a RS-111 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:					
4.2.3.111.1	S	comply with the RS zone regulation.1 of this By-law except that:	ılations			
	(1) minimum interior si	ide yard - interior lot	1.2 m on one side of the lot and 0.35 m on the other side			

4.2.3.112	Exception: RS-112	Map # 06	By-law: 0148-2015, 0048-2025			
In a RS-112 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:						
Regulation						
4.2.3.112.1	deleted					
4.2.3.112.2	Minimum interior side yar lands zoned RL	d where a lot abuts a side lot	line of 2.0 m			
4.2.3.112.3	deleted					

4.2.3.113	Excep	tion: RS-113	Map # 20	By-law: LPAT (2019 March 26, 0048-2025	
		permitted uses and apping uses /regulations sl	plicable regulations shall be a nall apply:	s specified for a I	RS zone
Regulations					
4.2.3.113.1		tached dwelling shall comply with the RS zone regulations ined in Subsection 4.2.1 of this By-law except that:			
	(1)	minimum interior si	ide yard		1.0 m
	(2)	minimum rear yard			6.0 m
	(3)	maximum encroachr a front yard	ment of a porch, deck or balc	eony into	1.8 m
	(4)	maximum encroachr	ment of a balcony into a rear	yard	1.7 m

4.2.3.114	Excep	otion: RS-114	Map # 14		OLT Order rch 07, 0048-2025
		permitted uses and apping uses /regulations sl		nall be as specified	l for a RS zone
Regulations					
4.2.3.114.1		tached dwelling shall ined in Subsection 4.2	1 2	_	
	(1)	minimum lot area -	interior lot		229 m^2
	(2)	minimum lot area -	corner lot		228 m^2
	(3)	minimum lot fronta	minimum lot frontage		
	(4)	maximum lot covera	age		45%
	(5)	minimum rear yard			6.0 m
	(6)	stairs, located at and	ment of a porch or de accessible from the f ey of the dwelling into	irst storey or	1.5 m
	(7)	stairs, located at and	ment of a porch or de accessible from the f ey of the dwelling into	irst storey or	3.5 m
	(8)	all site development Schedule RS-114 of	plans shall comply w this Exception	ith	
4.2.3.114.2	delete	ed			
4.2.3.114.3	delete	ed			



Schedule RS-114 Map 14

4.2.3.115	Exception: RS-115	Map # 56	By-law: 0232-2024, 0048-2025			
	In a RS-115 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:					
Regulations						
4.2.3.115.1	Minimum lot area - corner	· lot - semi-detached	340 m^2			
4.2.3.115.2	deleted					
4.2.3.115.3	deleted					
4.2.3.115.4	deleted					
4.2.3.115.5	deleted					
4.2.3.115.6	Maximum lot coverage - se	emi-detached	50%			
4.2.3.115.7	Minimum exterior side yar	rd - semi-detached	3.0 m			
4.2.3.115.8	Minimum rear yard - inter	rior lot/corner lot - semi-deta	ached 6.0 m			
4.2.3.115.9	Maximum height - semi-de	etached	11.0 m			

4.2.3.116	Exception: RS-116	Map # 22	By-law: 0218-2024, 0048-2025		
In a RS-116 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:					
Regulations					
4.2.3.116.1	Minimum lot area - corner	320 m^2			
4.2.3.116.2	Minimum lot frontage - co	9.4 m			
4.2.3.116.3 Minimum exterior side yard - corner lot with an exterior side lot line abutting CEC - road			or 1.5 m		
4.2.3.116.4	Minimum setback of a detached dwelling to a sight triangle				
4.2.3.116.5	Minimum setback of a porc	ch to a sight triangle	0.8 m		

4.2.3.117	Exception: RS-117	Map # 57, 58	By-law: 0048-2025			
	In a RS-117 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:					
Regulations						
4.2.3.117.1	deleted					
4.2.3.117.2	deleted					
4.2.3.117.3	deleted					
4.2.3.117.4	deleted					
4.2.3.117.5	deleted					
4.2.3.117.6	Minimum setback of a deta all lands zoned U-3	ched dwelling or semi-detacl	hed to 16.0 m			
4.2.3.117.7	Maximum driveway width		Lesser of 6.1 m or 50% of the lot frontage			
4.2.3.117.8	Maximum garage width: measured from the inside fa	ce of the garage side walls	Lesser of 6.1 m or 50% of the lot frontage			

4.2.3.118	Exception: RS-118	Map # 28	By-law: 0181-2018 Order 2019 Februar 0048-2025				
	In a RS-118 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:						
Regulations							
4.2.3.118.1	The regulations of Lines 9.1 and 9.2 contained in Table 4.2.1 of this By-law shall not apply						
4.2.3.118.2	deleted						
4.2.3.118.3	deleted						
4.2.3.118.4	deleted						
4.2.3.118.5	deleted						
4.2.3.118.6	deleted						
4.2.3.118.7	Minimum setback of a deta	ched dwelling to all lands zor	ned PB1 18.	5 m			
4.2.3.118.8	Maximum driveway width		6.0) m			
4.2.3.118.9	Maximum garage width: measured from the inside fa	ce of the garage side walls	6.0) m			

4.2.3.119	Exception: RS-119	Map # 57	By-law: 0048-2025			
	In a RS-119 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:					
Regulations						
4.2.3.119.1	deleted					
4.2.3.119.2	deleted					
4.2.3.119.3	deleted					
4.2.3.119.4	deleted					
4.2.3.119.5	deleted					
4.2.3.119.6	Minimum setback of a deta all lands zoned U-3	ched dwelling or semi-detacl	hed to 14.0 m			
4.2.3.119.7	Maximum driveway width		Lesser of 6.1 m or 50% of the lot frontage			
4.2.3.119.8	Maximum garage width: measured from the inside fa	ace of the garage side walls	Lesser of 6.1 m or 50% of the lot frontage			

4.2.3.120	Exception: RS-120	Map # 57	By-law: 0048-2025
	one the permitted uses and appendix following uses /regulations sl	plicable regulations shall be as	s specified for a RS zone
Regulations			
4.2.3.120.1	deleted		
4.2.3.120.2	deleted		
4.2.3.120.3	deleted		
4.2.3.120.4	deleted		
4.2.3.120.5	deleted		
4.2.3.120.6	Minimum setback of a deta all lands zoned U-3	ched dwelling or semi-detacl	hed to 14.0 m
4.2.3.120.7	Maximum driveway width		Lesser of 6.1 m or 50% of the lot frontage
4.2.3.120.8	Maximum garage width: measured from the inside fa	ace of the garage side walls	Lesser of 6.1 m or 50% of the lot frontage

4.2.3.121	Exception: RS-121	Map # 57	By-law: 0048-2025			
	In a RS-121 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:					
Regulations						
4.2.3.121.1	deleted					
4.2.3.121.2	deleted					
4.2.3.121.3	deleted					
4.2.3.121.4	deleted					
4.2.3.121.5	deleted					
4.2.3.121.6	Minimum setback of a deta all lands zoned U-3	ched dwelling or semi-detach	ned to 12.7 m			
4.2.3.121.7	Maximum driveway width		Lesser of 6.1 m or 50% of the lot frontage			
4.2.3.121.8	Maximum garage width: measured from the inside fa	ace of the garage side walls	Lesser of 6.1 m or 50% of the lot frontage			

4.2.3.122	Exception: RS-122	Map # 57	By-law: 0048-2025
	one the permitted uses and ap	pplicable regulations shall be as a	specified for a RS zone
Regulations			
4.2.3.122.1	deleted		
4.2.3.122.2	deleted		
4.2.3.122.3	deleted		
4.2.3.122.4	deleted		
4.2.3.122.5	deleted		
4.2.3.122.6	Minimum setback of a deta all lands zoned U-3	ached dwelling or semi-detache	ed to 12.7 m
4.2.3.122.7	Maximum driveway width		Lesser of 6.1 m or 50% of the lot frontage
4.2.3.122.8	Maximum garage width: measured from the inside fa	ace of the garage side walls	Lesser of 6.1 m or 50% of the lot frontage

4.2.3.123	Exception: RS-123	Map # 57	By-law: 0048-2025			
	In a RS-123 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:					
Regulations						
4.2.3.123.1	deleted					
4.2.3.123.2	deleted					
4.2.3.123.3	deleted					
4.2.3.123.4	deleted					
4.2.3.123.5	deleted					
4.2.3.123.6	Minimum setback of a deta all lands zoned U-3	ched dwelling or semi-detach	ned to 14.9 m			
4.2.3.123.7	Maximum driveway width		Lesser of 6.1 m or 50% of the lot frontage			
4.2.3.123.8	Maximum garage width: measured from the inside fa	ce of the garage side walls	Lesser of 6.1 m or 50% of the lot frontage			

4.2.3.124	Exception: RS-124	Map # 57	By-law: 0048-2025
	one the permitted uses and ap following uses /regulations sl	plicable regulations shall be as a	specified for a RS zone
Regulations			
4.2.3.124.1	deleted		
4.2.3.124.2	deleted		
4.2.3.124.3	deleted		
4.2.3.124.4	deleted		
4.2.3.124.5	deleted		
4.2.3.124.6	Minimum setback of a deta all lands zoned U-3	ched dwelling or semi-detache	ed to 13.6 m
4.2.3.124.7	Maximum driveway width		Lesser of 6.1 m or 50% of the lot frontage
4.2.3.124.8	Maximum garage width: measured from the inside fa	ace of the garage side walls	Lesser of 6.1 m or 50% of the lot frontage

4.2.3.125	Exception: RS-125	Map # 57	By-law: 0048-2025
	ne the permitted uses and appropriate following uses /regulations sl	plicable regulations shall be as	s specified for a RS zone
Regulations			
4.2.3.125.1	deleted		
4.2.3.125.2	deleted		
4.2.3.125.3	deleted		
4.2.3.125.4	deleted		
4.2.3.125.5	deleted		
4.2.3.125.6	Minimum setback of a deta all lands zoned U-3	ched dwelling or semi-detacl	hed to 16.0 m
4.2.3.125.7	Maximum driveway width		Lesser of 6.1 m or 50% of the lot frontage
4.2.3.125.8	Maximum garage width: measured from the inside fa	ice of the garage side walls	Lesser of 6.1 m or 50% of the lot frontage

4.2.3.126	Exception: RS-126	Map # 57	By-law: 0048-2025			
	In a RS-126 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:					
Regulation						
4.2.3.126.1	A.2.3.126.1 A detached dwelling shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:					
	(1) minimum rear yard		6.86 m			

4.2.3.127	Exception: RS-127	Map # 57	By-law: 0048-2025
	ne the permitted uses and app following uses /regulations sl	plicable regulations shall be as hall apply:	s specified for a RS zone
Regulations			
4.2.3.127.1	deleted		
4.2.3.127.2	deleted		
4.2.3.127.3	deleted		
4.2.3.127.4	deleted		
4.2.3.127.5	0	comply with the RS zone regulation. I of this By-law except that:	lations
	(1) minimum rear yard		6.3 m
4.2.3.127.6	Minimum setback of a deta all lands zoned U-3	ched dwelling or semi-detacl	ned to 14.0 m
4.2.3.127.7	Maximum driveway width		Lesser of 6.1 m or 50% of the lot frontage
4.2.3.127.8	Maximum garage width: measured from the inside fa	ce of the garage side walls	Lesser of 6.1 m or 50% of the lot frontage

4.2.3.128	Exception: RS-128	Map # 57	By-law: 0048-2025					
	In a RS-128 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:							
Regulations								
4.2.3.128.1	deleted							
4.2.3.128.2	deleted							
4.2.3.128.3	deleted							
4.2.3.128.4	deleted							
4.2.3.128.5	0	comply with the RS zone regulation.1 of this By-law except that:	ılations					
	(1) minimum rear yard		6.01 m					
4.2.3.128.6	Minimum setback of a deta all lands zoned U-3	ched dwelling or semi-detacl	hed to 14.0 m					
4.2.3.128.7	Maximum driveway width		Lesser of 6.1 m or 50% of the lot frontage					
4.2.3.128.8	Maximum garage width: measured from the inside fa	ce of the garage side walls	Lesser of 6.1 m or 50% of the lot frontage					

4.2.3.129	Exception: RS-129	Map # 57	By-law: 0048-2025
	ne the permitted uses and appoint following uses /regulations sl	plicable regulations shall be as	s specified for a RS zone
Regulations			
4.2.3.129.1	deleted		
4.2.3.129.2	deleted		
4.2.3.129.3	deleted		
4.2.3.129.4	deleted		
4.2.3.129.5		comply with the RS zone regulation.1 of this By-law except that:	ılations
	(1) minimum rear yard	I	5.77 m
4.2.3.129.6	Minimum setback of a deta all lands zoned U-3	ched dwelling or semi-detacl	hed to 14.0 m
4.2.3.129.7	Maximum driveway width		Lesser of 6.1 m or 50% of the lot frontage
4.2.3.129.8	Maximum garage width: measured from the inside fa	ace of the garage side walls	Lesser of 6.1 m or 50% of the lot frontage

4.2.3.130	Exception: RS-130	Map # 57	By-law: 0048-2025					
	In a RS-130 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:							
Regulations								
4.2.3.130.1	deleted							
4.2.3.130.2	deleted							
4.2.3.130.3	deleted							
4.2.3.130.4	deleted							
4.2.3.130.5	A detached dwelling shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:							
	(1) minimum rear yard		6.22 m					
4.2.3.130.6	Minimum setback of a deta all lands zoned U-3	ched dwelling or semi-detacl	hed to 14.0 m					
4.2.3.130.7	Maximum driveway width		Lesser of 6.1 m or 50% of the lot frontage					
4.2.3.130.8	Maximum garage width: measured from the inside fa	ce of the garage side walls	Lesser of 6.1 m or 50% of the lot frontage					

4.2.3.131	Exception: RS-131	Map # 57	By-law: 0048-2025
	ne the permitted uses and appropriate following uses /regulations sl	plicable regulations shall be as	s specified for a RS zone
Regulations			
4.2.3.131.1	deleted		
4.2.3.131.2	deleted		
4.2.3.131.3	deleted		
4.2.3.131.4	deleted		
4.2.3.131.5		comply with the RS zone regulation.1 of this By-law except that:	lations
	(1) minimum rear yard		6.73 m
4.2.3.131.6	Minimum setback of a deta all lands zoned U-3	ched dwelling or semi-detacl	ned to 14.0 m
4.2.3.131.7	Maximum driveway width		Lesser of 6.1 m or 50% of the lot frontage
4.2.3.131.8	Maximum garage width: measured from the inside fa	ace of the garage side walls	Lesser of 6.1 m or 50% of the lot frontage

4.2.3.132	Exception: RS-132	Map # 57	By-law: 0048-2025
	ne the permitted uses and appelled following uses /regulations sl	plicable regulations shall be as	s specified for a RS zone
Regulations			
4.2.3.132.1	deleted		
4.2.3.132.2	deleted		
4.2.3.132.3	deleted		
4.2.3.132.4	deleted		
4.2.3.132.5		comply with the RS zone regulation.1 of this By-law except that:	llations
	(1) minimum rear yard		6.57 m
4.2.3.132.6	Minimum setback of a deta all lands zoned U-3	ched dwelling or semi-detacl	hed to 14.0 m
4.2.3.132.7	Maximum driveway width		Lesser of 6.1 m or 50% of the lot frontage
4.2.3.132.8	Maximum garage width: measured from the inside fa	ace of the garage side walls	Lesser of 6.1 m or 50% of the lot frontage

4.2.3.133	Exception: RS-133	Map # 30	By-law: 0184-2008, 0181-2018/LPAT Order 2019 February 15, 0048-2025	
	one the permitted uses and ap following uses /regulations	oplicable regulations shall be shall apply:	as specified for a RS zone	
Regulations				
4.2.3.133.1	deleted			
4.2.3.133.2	deleted			
4.2.3.133.3	deleted			
4.2.3.133.4	deleted			
4.2.3.133.5	deleted			
4.2.3.133.6		comply with the RS zone re 2.1 of this By-law except tha		
	(1) minimum rear yar	d - interior lot	6.0 m	
	(2) minimum rear yar	d - corner lot	6.0 m	
4.2.3.133.7	deleted			
4.2.3.133.8	Maximum driveway width Lesser of 8.5 m or 50% of lot fronta			
4.2.3.133.9	Maximum width of an atta measured from the inside f	0 0	Lesser of 6.3 m or 50% of lot frontage	
4.2.3.133.10	Maximum area of a balcony on top of an attached garage 12 m ²			

4.2.3.134	Except	tion: RS-134	Map # 57	By-law: 007 0048-2025	77-2012,
		permitted uses and apping uses /regulations sl	plicable regulations shall be a	s specified fo	r a RS zone
Additional Per	mitted	Use			
4.2.3.134.1	(1)	A detached dwellin	g with one second unit		
Regulations					
4.2.3.134.2	deleted	d			
4.2.3.134.3	deleted	d			
4.2.3.134.4		num rear yard - inten ned dwelling	rior lot for a one storey		6.0 m
4.2.3.134.5	Maxin	num driveway width			46.5% of the lot frontage
4.2.3.134.6		num garage width: red from the inside fa	ace of the garage side walls		46.5% of the lot frontage
4.2.3.134.7	Minim lot line		from the front and exterior s	ide	1.0 m
4.2.3.134.8		ached dwelling with a lowing:	a second unit shall also comp	ly with	
	(1)	the provisions conta this By-law shall no	ined in Articles 4.1.1.1 and 4. t apply	1.1.3 of	
	(2)	Article 4.1.5.8 of thi retaining walls, to fa grade at any point, o	provisions contained in as By-law, stairs, stairwells or acilitate an entrance located be to facilitate a direct entrance be permitted to encroach into	e only to	
	(3)	minimum gross floo	or area - residential of a seco	nd unit	32.5 m^2
	(4)	not more than one po	edestrian entrance to a detach a street	ed	
	(5)	an entrance to a second attached garage	and unit shall not be located w	ithin an	
	(6)		quired number of parking spa g, one additional parking spa ond unit		
	(7)	a lot with a second u	unit shall have one and not mo	ore than	
	(8)	within a detached d	s a self-contained dwelling u welling with its own kitchen, s)/sleeping area and entrance.		

4.2.3.135	Exception: RS-135	Map # 57	By-law: 0048-2025				
	In a RS-135 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:						
Regulation							
4.2.3.135.1	Maximum garage width:						
	measured from the inside fa with lot frontage of 12.5 m	ce of the garage side walls - l or greater	ots Lesser of 6.1 m or 45% of the lot frontage				

4.2.3.136	Exception: RS-136	Map # 44W	By-law: 0048-2025		
In a RS-136 zo	ne the permitted uses and app	plicable regulations shall be as	s specified for a RS zone		
	following uses /regulations sl	· C	1		
Regulations					
4.2.3.136.1	deleted				
4.2.3.136.2	A detached dwelling shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:				
	(1) minimum lot area -	interior lot	280 m^2		
4.2.3.136.3	deleted				
4.2.3.136.4	Maximum driveway width		3.8 m		
4.2.3.136.5	Maximum garage width: measured from the inside fa	ace of the garage side walls	3.8 m		

4.2.3.137	Exception: RS-137	Map # 28	By-law: 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RS-137 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:			
Regulations			
4.2.3.137.1	deleted		
4.2.3.137.2	A detached dwelling shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1) minimum lot area - interior lot		280 m^2
	(2) minimum lot area - corner lot		335 m^2
4.2.3.137.3	deleted		
4.2.3.137.4	deleted		
4.2.3.137.5	deleted		
4.2.3.137.6	Minimum setback of a detached dwelling or semi-detached to all lands zoned PB1		
4.2.3.137.7	Maximum driveway width	4.3 m	
4.2.3.137.8	Maximum driveway width - corner lot 4.7 m		
4.2.3.137.9	Maximum garage width: 3.8 m measured from the inside face of the garage side walls		3.8 m

4.2.3.138	Exception: RS-138	Map # 28	By-law: 0181-2018/LPAT Order 2019 February 15, 0048-2025	
	In a RS-138 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:			
Regulations				
4.2.3.138.1	deleted			
4.2.3.138.2	A detached dwelling shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:			
	(1) minimum lot area -	interior lot	280 m^2	
	(2) minimum lot area -	corner lot	335 m^2	
4.2.3.138.3	deleted			
4.2.3.138.4	deleted			
4.2.3.138.5	deleted			
4.2.3.138.6	Minimum setback of a detached dwelling or semi-detached to all lands zoned PB1		hed to 18.5 m	
4.2.3.138.7	Maximum driveway width - interior lot		4.3 m	
4.2.3.138.8	Maximum driveway width - corner lot		4.7 m	
4.2.3.138.9	Maximum garage width: 3.8 m measured from the inside face of the garage side walls		3.8 m	

4.2.3.139	Exception: RS-139	Map # 57	By-law: 0449-2007, 0048-2025
In a RS-139 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:			
Regulations			
4.2.3.139.1	deleted		
4.2.3.139.2	deleted		
4.2.3.139.3	deleted		
4.2.3.139.4	deleted		
4.2.3.139.5	deleted		
4.2.3.139.6	Maximum driveway width		6.5 m
4.2.3.139.7	Maximum garage width: measured from the inside fa	ace of the garage side walls	5.5 m

4.2.3.140	Exception: RS-140	Map # 57, 58	By-law: 0048-2025	
	In a RS-140 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:			
Regulations	Regulations			
4.2.3.140.1	4.2.3.140.1 A detached dwelling shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:			
	(1) minimum lot area -	interior lot	275 m^2	
4.2.3.140.2	deleted			
4.2.3.140.3	deleted			
4.2.3.140.4	deleted			
4.2.3.140.5	Minimum setback of a detached dwelling or semi-detached to all lands zoned U-3			
4.2.3.140.6	deleted			
4.2.3.140.7	Maximum driveway width 6.5 m			
4.2.3.140.8	Maximum garage width: measured from the inside fa	ce of the garage side walls	5.5 m	

4.2.3.141	Exception: RS-141	Map # 56	By-law: 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RS-141 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:			
Regulations			
4.2.3.141.1	deleted		
4.2.3.141.2	A detached dwelling shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1) minimum lot area - corner lot 365 m ²		
4.2.3.141.3	deleted		
4.2.3.141.4	deleted		
4.2.3.141.5	deleted		
4.2.3.141.6	Maximum driveway width 6.0 m		
4.2.3.141.7	Maximum garage width: 5.7 m measured from the inside face of the garage side walls		
4.2.3.141.8	Minimum number of parki	ng spaces	3

4.2.3.142	Exception: RS-142	Map # 56	By-law: 0048-2025			
	one the permitted uses and ape following uses /regulations	oplicable regulations shall be as shall apply:	specified for a RS zone			
Regulations						
4.2.3.142.1	deleted					
4.2.3.142.2	A detached dwelling shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:					
	(1) minimum lot area	- corner lot	365 m^2			
4.2.3.142.3	deleted	deleted				
4.2.3.142.4	deleted					
4.2.3.142.5	Minimum interior side yard where side lot line abuts a G1 zone 3.0 m					
4.2.3.142.6	Maximum driveway width	1	6.0 m			
4.2.3.142.7	Maximum garage width: 5.7 m measured from the inside face of the garage side walls					
4.2.3.142.8	Minimum number of park	ing spaces	3			

4.2.3.143	Exception: RS-143	Map # 38E	By-law: 0181-2018/LPAT Order 2019 February 15, 0048-2025			
	In a RS-143 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:					
Regulations						
4.2.3.143.1	deleted					
4.2.3.143.2	A detached dwelling shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:					
	(1) maximum lot coverage 47%					
	(2) minimum lot area - corner lot 365 m ²					
4.2.3.143.3	deleted					
4.2.3.143.4	deleted					
4.2.3.143.5	deleted					
4.2.3.143.6	deleted					
4.2.3.143.7	Maximum driveway width 5.5 m					
4.2.3.143.8	Maximum garage width: 5.7 m measured from the inside face of the garage side walls					

4.2.3.144	Exception: RS-144	Map # 38E	By-law: 0181-2018/LPAT Order 2019 February 15, 0048-2025			
	In a RS-144 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:					
Regulations						
4.2.3.144.1	deleted					
4.2.3.144.2	Maximum lot coverage		45%			
4.2.3.144.3	deleted					
4.2.3.144.4	deleted					
4.2.3.144.5	deleted					
4.2.3.144.6	deleted					
4.2.3.144.7	deleted					
4.2.3.144.8	deleted					
4.2.3.144.9	deleted					
4.2.3.144.10	deleted					
4.2.3.144.11	Maximum driveway width		6.0 m			
4.2.3.144.12	Maximum garage width: measured from the inside fa	ice of the garage side walls	6.0 m			

4.2.3.145	Exception: RS-145	Map # 30	By-law: 0181-2018/LPAT Order 2019 February 15, 0048-2025			
	In a RS-145 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:					
Regulations						
4.2.3.145.1	deleted					
4.2.3.145.2	deleted					
4.2.3.145.3	deleted	deleted				
4.2.3.145.4	deleted					
4.2.3.145.5	deleted					
4.2.3.145.6	deleted					
4.2.3.145.7	deleted	deleted				
4.2.3.145.8	deleted					
4.2.3.145.9	Maximum driveway width		5.5 m			
4.2.3.145.10	Maximum garage width: measured from the inside fa	ace of the garage side walls	5.5 m			

4.2.3.146	Exception: RS-146	Map # 30	By-law: 0181-2018/LPAT Order 2019 February 15, 0048-2025			
	In a RS-146 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:					
Regulations						
4.2.3.146.1	deleted					
4.2.3.146.2	deleted					
4.2.3.146.3	deleted					
4.2.3.146.4	deleted					
4.2.3.146.5	deleted					
4.2.3.146.6	deleted					
4.2.3.146.7	deleted					
4.2.3.146.8	deleted					
4.2.3.146.9	Maximum driveway width		6.5 m			
4.2.3.146.10	Maximum garage width: measured from the inside fa	ce of the garage side walls	5.5 m			

4.2.3.147	Exception: RS-147	Map # 57	By-law: 0181-2018/LPAT Order 2019 February 15, 0048-2025			
	In a RS-147 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:					
Regulations						
4.2.3.147.1	A detached dwelling shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:					
	(1) minimum lot area -	interior lot	275 m^2			
	(2) minimum setback to	garage face	4.0 m			
4.2.3.147.2	deleted					
4.2.3.147.3	deleted					
4.2.3.147.4	deleted					
4.2.3.147.5	deleted					
4.2.3.147.6	Maximum driveway width 6.5 m					
4.2.3.147.7	Maximum garage width: 5.5 m measured from the inside face of the garage side walls					

4.2.3.148	Exception: RS-148	Map # 57	By-law: 0048-2025			
	In a RS-148 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:					
Regulations						
4.2.3.148.1	The regulations of Lines 9. this By-law shall not apply	1 and 9.2 contained in Table 4	.2.1 of			
4.2.3.148.2	9	comply with the RS zone regree.1 of this By-law except that:	ılations			
	(1) minimum lot area	- interior lot	275 m^2			
4.2.3.148.3	deleted					
4.2.3.148.4	deleted					
4.2.3.148.5	deleted					
4.2.3.148.6	Minimum setback of a deta	iched garage to a rear lot line	0.5 m			
4.2.3.148.7	Minimum distance between a detached garage and a detached 6.0 m dwelling on the same lot					
4.2.3.148.8	Minimum setback of a deta to a side lot line	iched garage located in a rear	yard 0.85 m on one side and			
			0.0 m on the other side			
4.2.3.148.9	Maximum driveway width	l .	6.5 m			
4.2.3.148.10	Maximum garage width: measured from the inside fa	ace of the garage side walls	5.5 m			
4.2.3.148.11	The lot line abutting a stre shall be deemed to be the f	et with a width of 17.0 m or g	reater			
4.2.3.148.12	A detached garage in the r	ear yard shall be provided				

4.2.3.149	Exception: RS-149	Map # 58	By-law: 0048-2025			
	In a RS-149 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:					
Regulations						
4.2.3.149.1	deleted					
4.2.3.149.2	deleted					
4.2.3.149.3	deleted	deleted				
4.2.3.149.4	deleted					
4.2.3.149.5	deleted					
4.2.3.149.6	Minimum setback of a deta all lands zoned U-3	ched dwelling or semi-detac	hed to 16.0 m			
4.2.3.149.7	Maximum driveway width		6.5 m			
4.2.3.149.8	Maximum garage width: measured from the inside fa	ace of the garage side walls	5.5 m			

4.2.3.150	Exception: RS-150	Map # 44W	By-law: 0048-2025
L DG 150	at to t		:
	ne the permitted uses and approperties and appr	plicable regulations shall be as nall apply:	s specified for a RS zone
Regulations			
4.2.3.150.1	deleted		
4.2.3.150.2	deleted		
4.2.3.150.3	deleted		
4.2.3.150.4	deleted		
4.2.3.150.5	deleted		
4.2.3.150.6	Maximum driveway width		5.5 m
4.2.3.150.7	Maximum garage width: measured from the inside fa	ce of the garage side walls	5.5 m

4.2.3.151	Exception: RS-151	Map # 57	By-law: 0325-2008, 0048-2025			
	In a RS-151 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:					
Regulations						
4.2.3.151.1	deleted					
4.2.3.151.2	deleted					
4.2.3.151.3	deleted					
4.2.3.151.4	deleted					
4.2.3.151.5	deleted					
4.2.3.151.6	Minimum setback of a deta all lands zoned U-3	ched dwelling or semi-detac	hed to 14.9 m			
4.2.3.151.7	Maximum driveway width		6.5 m			
4.2.3.151.8	Minimum garage width: measured from the inside fa	ace of the garage side walls	5.5 m			

4.2.3.152	Exception: RS-152	Map # 57	By-law: 0048-2025			
	In a RS-152 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:					
Regulations						
4.2.3.152.1	deleted					
4.2.3.152.2	deleted					
4.2.3.152.3	deleted					
4.2.3.152.4	deleted					
4.2.3.152.5	deleted					
4.2.3.152.6	Minimum setback of a deta all lands zoned U-3	ched dwelling or semi-detac	hed to 13.2 m			
4.2.3.152.7	Minimum driveway width		6.5 m			
4.2.3.152.8	Minimum garage width: measured from the inside fa	ace of the garage side walls	5.5 m			

4.2.3.153	Exception: RS-153	Map # 57	By-law: 0048-2025			
	In a RS-153 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:					
Regulations						
4.2.3.153.1	deleted					
4.2.3.153.2	deleted					
4.2.3.153.3	deleted					
4.2.3.153.4	deleted					
4.2.3.153.5	C	comply with the RS zone regulation.1 of this By-law except that:	ılations			
	(1) minimum rear yard		4.9 m			
4.2.3.153.6	Maximum driveway width		6.5 m			
4.2.3.153.7	Maximum garage width: measured from the inside fa	ce of the garage side walls	5.5 m			

4.2.3.154	Exception: RS-154	Map # 57	By-law: 0048-2025
	ne the permitted uses and app following uses /regulations sl	plicable regulations shall be as	s specified for a RS zone
Regulations			
4.2.3.154.1	deleted		
4.2.3.154.2	deleted		
4.2.3.154.3	deleted		
4.2.3.154.4	deleted		
4.2.3.154.5	- C	comply with the RS zone regu .1 of this By-law except that:	lations
	(1) minimum rear yard		6.18 m
4.2.3.154.6	Maximum driveway width		6.5 m
4.2.3.154.7	Maximum garage width: measured from the inside fa	ce of the garage side walls	5.5 m

4.2.3.155	Exception: RS-155	Map # 57	By-law: 0048-2025			
In a RS-155 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:						
Regulations	Regulations					
4.2.3.155.1	deleted					
4.2.3.155.2	deleted					
4.2.3.155.3	deleted					
4.2.3.155.4	deleted					
4.2.3.155.5	deleted					
4.2.3.155.6	Maximum driveway width		6.5 m			
4.2.3.155.7	Maximum garage width: measured from the inside fa	ce of the garage side walls	5.5 m			

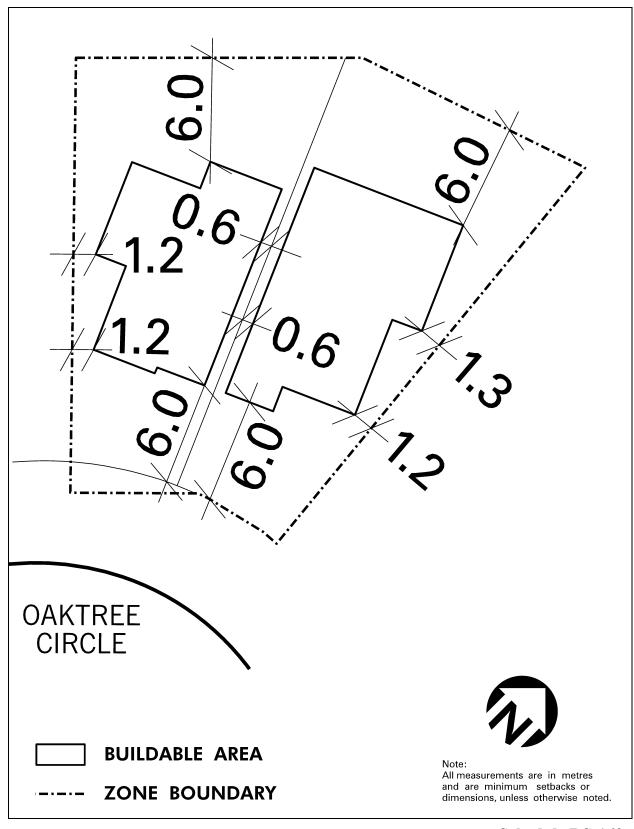
4.2.3.156	Exception: RS-156	Map # 57	By-law: 0048-2025		
	ne the permitted uses and appropriate following uses /regulations sl	plicable regulations shall be as	s specified for a RS zone		
Regulations					
4.2.3.156.1	deleted				
4.2.3.156.2	deleted				
4.2.3.156.3	deleted				
4.2.3.156.4	deleted				
4.2.3.156.5		comply with the RS zone regulation.1 of this By-law except that:	ılations		
	(1) minimum rear yard		6.4 m		
4.2.3.156.6	Maximum driveway width		6.5 m		
4.2.3.156.7	Maximum garage width: measured from the inside fa	ace of the garage side walls	5.5 m		

4.2.3.157	Exception: RS-157	Map # 57	By-law: 0048-2025		
In a RS-157 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:					
Regulations					
4.2.3.157.1	deleted				
4.2.3.157.2	deleted				
4.2.3.157.3	deleted				
4.2.3.157.4	4.2.3.157.4 <i>deleted</i>				
4.2.3.157.5	deleted				
4.2.3.157.6	Maximum driveway width		6.5 m		
4.2.3.157.7	Maximum garage width: measured from the inside fa	ce of the garage side walls	5.5 m		

4.2.3.158	Exception: RS-158	Map # 57	By-law: 0055-2012, 0067-2014, 0048-2025		
In a RS-158 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:					
Regulations	Regulations				
4.2.3.158.1	deleted				
4.2.3.158.2	Minimum rear yard where the rear lot line abuts an 8.0 m public lane 6.0 m				
4.2.3.158.3 Maximum garage width: measured from the inside face of the garage side walls			5.7 m		
4.2.3.158.4	Minimum setback of stairs lot lines	from the front and exterior si	de 1.0 m		

4.2.3.159	Excep	tion: RS-159	Map # 56	By-law: (0048-202	0114-2015, 25
		permitted uses and ap ng uses /regulations s	plicable regulations shall b hall apply:	e as specified	for a RS zone
Regulations					
4.2.3.159.1			comply with the RS zone in a complex with the result with the RS zone in a complex with the result with th		
	(1)	minimum lot area -	interior lot		279 m^2
	(2)	minimum interior s a B zone	ide yard where a side lot	line abuts	2.0 m
	(3)	minimum rear yard	I where a lot abuts a B zon	e	6.5 m
	(4)		om average grade to lowe outs lands zoned RS-142	er edge of	6.0 m
4.2.3.159.2	delete	d			
4.2.3.159.3	delete	d			
4.2.3.159.4	delete	d			
4.2.3.159.5		num gross floor area uts lands zoned RS-14	a - residential of third stor 42	ey where a	88 m ²
4.2.3.159.6	Maxin	num driveway width			5.4 m
4.2.3.159.7		num garage width: red from the inside fa	ace of the garage side wall	s	6.0 m

4.2.3.160	Ехсер	otion: RS-160	Map 44E	By-law: 01 0048-2025	
		permitted uses and a ing uses /regulations		shall be as specified f	or a RS zone
Regulations					
4.2.3.160.1			ll comply with the RS .2.1 of this By-law ex		
	(1)	minimum lot area	- interior lot		215 m^2
	(2)	minimum lot front	tage - interior lot		9.1 m
4.2.3.160.2		te development plans s Exception	s shall comply with S	chedule RS-160	
Holding Pro	vision				
	part o Map	of the lands zoned H- 44E of Schedule B co	to be removed from the RS-160 by further an contained in Part 13 of an of the following reconstruction.	nendment to f this By-law, as	
	(1)	Municipal and Reg	cuted Development A gional Infrastructure S satisfactory to The C a ("City");	Schedules in a	
	(2)	required land dedic including part bloc	raft Reference Plan illoations, conveyances, k numbers, to the sat n of Peel ("Region");	and easements isfaction of the	
	(3)	gratuitous dedication 50.5 m right-of-wa	on of lands to achieve by of Regional Road 5 0.3 m reserve, to the	e the ultimate 5 (Derry Road	
	(4)	submission of a rev Stormwater Manag	vised Functional Serv gement Report to the ctation and Works De	satisfaction of	
	(5)	submission of a res	vised Traffic Impact S City's Transportation cipal Parking Section	and Works	
	(6)	submission of a de	tailed engineering su orks impacting Derry	bmission for the	
	(7)	submission of revi	sed Grading and Serv City's Transportation		
	(8)	submission of a re-	vised Noise Feasibilit City's Planning and E		
	(9)	submission of a re- Environmental Site By-law Acknowled for environmental	vised Phase One and e Assessment, Storm dgment and related do compliance to the sat on and Works Depart	Sewer Use ocuments required cisfaction of the	
	(10)	Preservation Plan,	vised Tree Inventory/ and Arborist Report ting and Building Dep	to the satisfaction	



Schedule RS-160 Map 44E

4.2.3.161	Exception: RS-161	RS-161 Map # 44W By-law: 0048-2025			
In a RS-161 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:					
Regulation					
4.2.3.161.1	Minimum rear yard abuttin	ng the G2-1 zone	15.0 m		

4.2.3.162	Exception: RS-162	Map # 52E	By-law: 0048-2025		
In a RS-162 zo uses/regulation	11	s shall be as specified for a RS	zone except that the following		
Permitted Use	•				
4.2.3.162.1	Lands zoned RS-162 shall of	only be used for the following	:		
	(1) A place of religious	s assembly and support facility	ies		
Regulations					
4.2.3.162.2	The provisions contained in of this By-law shall not app	n Article 2.1.9.3 and Subsectionally	n 4.2.1		
4.2.3.162.3	Minimum front yard - inte	erior lot	56.0 m		
4.2.3.162.4	Minimum interior side yar	rd - interior lot	23.0 m		
4.2.3.162.5	Minimum setback of all buildings and structures and parking to all lands zoned G2-1				
4.2.3.162.6	Maximum height		22.0 m		
4.2.3.162.7	Maximum height : spire		30.0 m		
4.2.3.162.8	thereof used for administrat	a building or structure or partive offices, private school and to the place of religious asse	d a		

4.2.3.163	Exception: RS-163	Map # 44W	By-law: 0048-2025			
	ne the permitted uses and app following uses /regulations sl	plicable regulations shall be as	s specified for a RS zone			
Regulations	Regulations					
4.2.3.163.1	deleted					
4.2.3.163.2	deleted					
4.2.3.163.3	deleted					
4.2.3.163.4	deleted					
4.2.3.163.5	deleted					
4.2.3.163.6	9	comply with the RS zone regulation.1 of this By-law except that:	llations			
	(1) minimum rear yard	- corner lot	3.0 m			

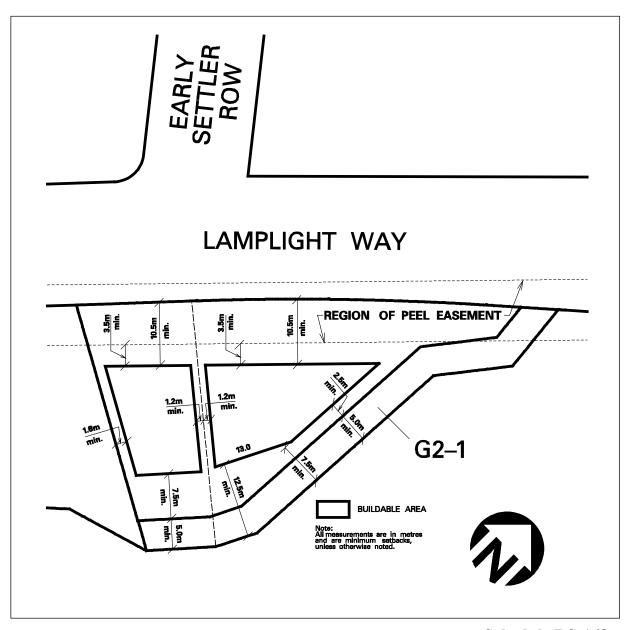
4.2.3.164	Excep	tion: RS-164	Map # 44W, 45E, 52E, 52W	By-law: 0379-2 0048-2025	2009,
	-	permitted uses and apping uses /regulations sl	plicable regulations shall be as	s specified for a	RS zone
Regulations					
4.2.3.164.1	delete	d			
4.2.3.164.2	Maxin	num lot coverage:			
	(1)	1) where the garage does not project more than 1.0 m beyond the main entry feature ; or			45%
	(2)		oes not project more than 2.5 ront entrance or a habitable r		45%
	(3)	from the outside of	the garage is 5.0 m or less, me opposite exterior walls or from or wall to the midpoint of an in	n the	45%
4.2.3.164.3	Maxin entrai		arage beyond the main front		7.0 m

4.2.3.165	Ехсер	otion: RS-165	Map # 52W	By-law: 0048-20	0379-2009, 25
		permitted uses and a ing uses /regulations	applicable regulations s shall apply:	shall be as specifie	d for a RS zone
Regulations					
4.2.3.165.1	delete	ed			
4.2.3.165.2	delete	ed			
4.2.3.165.3	Maxi	mum lot coverage:			
	(1)	where the garage beyond the main	does not project more entry feature; or	than 1.0 m	45%
	(2)	0 0	does not project more front entrance or a har		45%
	(3)	from the outside of	of the garage is 5.0 m of opposite exterior wall rior wall to the midpoint	ls or from the	45%
4.2.3.165.4			ll comply with the RS .2.1 of this By-law exc		
	(1)	minimum exterior	side yard		3.0 m
4.2.3.165.5		mum projection of a front entrance	garage beyond the		7.0 m

4.2.3.166	Excep	otion: RS-166	Map # 44W	By-law: 0379-2009, 0048-2025		
	In a RS-166 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:					
Regulations						
4.2.3.166.1	delete	ed				
4.2.3.166.2	Maxi	mum lot coverage:				
	(1)	1) where the garage does not project more than 1.0 m beyond the main entry feature ; or				
	(2) where the garage does not project more than 2.5 m beyond the main front entrance or a habitable room on the first storey ; or					
	(3) where the width of the garage is 5.0 m or less, measured from the outside of opposite exterior walls or from the outside of an exterior wall to the midpoint of an interior wall.			n the		
4.2.3.166.3	deleted					
4.2.3.166.4	Maximum projection of a garage beyond the 7.0 m main front entrance					

4.2.3.167	Exception: RS-167	Map # 06, 22	By-law: 0048-2025		
In a RS-167 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:					
Regulations					
4.2.3.167.1	Minimum lot area - interio	or lot	275 m^2		
4.2.3.167.2	deleted				
4.2.3.167.3	deleted				

4.2.3.168	Except	tion: RS-168	Map # 45E	By-law: 03 0048-2025	79-2009,
		permitted uses and ap		shall be as specified for	or a RS zone
Regulations					
4.2.3.168.1	deleted	l			
4.2.3.168.2	Maxim	num lot coverage:			
	(1)	where the garage does not project more than 1.0 m beyond the main entry feature ; or		45%	
	(2)	beyond the main fr	where the garage does not project more than 2.5 m beyond the main front entrance or a habitable room on the first storey ; or		
	(3)	from the outside of	the garage is 5.0 m of opposite exterior was or wall to the midpoint	lls or from the	45%
4.2.3.168.3		num projection of a g Front entrance	arage beyond the		7.0 m
4.2.3.168.4	All site development plans shall comply with Schedule RS-168 of this Exception				



Schedule RS-168 Map 45E

4.2.3.169	Exception: RS-169	Map # 52E	By-law: 0048-2025		
In a RS-169 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:					
Regulations					
4.2.3.169.1	Minimum westerly interior side yard - interior lot 4.5 m				
4.2.3.169.2	Minimum easterly interior side yard - interior lot 7.5 m				
4.2.3.169.3	4.2.3.169.3 A detached dwelling shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:				
	(1) minimum rear yard - interior lot 1.2 m				
	(2) maximum rear yard	l - interior lot	2.4 m		

4.2.3.170	Excep	otion: RS-170	Map # 52E	By-law: 0379-2009, 0048-2025		
	In a RS-170 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:					
Regulations						
4.2.3.170.1	delete	ed				
4.2.3.170.2	Maxii	mum lot coverage:				
	(1)	where the garage do beyond the main en	m 45%			
	(2)	0 0	pes not project more than 2.5 report entrance or a habitable re			
	(3) where the width of the garage is 5.0 m or less, measured from the outside of opposite exterior walls or from the outside of an exterior wall to the midpoint of an interior wall.			n the		
4.2.3.170.3		mum projection of a g front entrance	arage beyond the	7.5 m		

4.2.3.171	Exce	ption: RS-171	Map # 52E	By-law: 0379-2009, 0048-2025	
	In a RS-171 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:				
Regulations					
4.2.3.171.1	delete	гd			
4.2.3.171.2	delete	ed			
4.2.3.171.3	Maxi	mum lot coverage:			
	(1)	(1) where the garage does not project more than 1.0 m beyond the main entry feature ; or			
	(2) where the garage does not project more than 2.5 m beyond the main front entrance or a habitable room on the first storey ; or				
	(3) where the width of the garage is 5.0 m or less, measured from the outside of opposite exterior walls or from the outside of an exterior wall to the midpoint of an interior wall.			n the	
4.2.3.171.4				7.0 m	

4.2.3.172			By-law: 0379-2009, 0048-2025	
	one the permitted uses are following uses /regulation		shall be as specified for a RS zone	
Regulations				
4.2.3.172.1	deleted			
4.2.3.172.2	Maximum lot coverag	ge:		
	` '	(1) where the garage does not project more than 1.0 m beyond the main entry feature ; or		
	(2) where the garage does not project more than 2.5 m beyond the main front entrance or a habitable room on the first storey ; or			
	from the outsid	h of the garage is 5.0 m o e of opposite exterior wal sterior wall to the midpoin	ls or from the	
4.2.3.172.3	Minimum setback of a detached dwelling or semi-detached to all lands zoned G2-1			
4.2.3.172.4	Maximum projection of a garage beyond the 7.0 m main front entrance			

4.2.3.173	Exception: RS-173	Map #44W	By-law: OLT Order 2022 July 25, 0048-2025		
In a RS-173 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:					
Regulations					
4.2.3.173.1	deleted				
4.2.3.173.2	A detached dwelling shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:				
	(1) maximum lot coverage 48%				
	(2) minimum setback to	garage face - interior lot	5.3 m		
4.2.3.173.3	deleted				

4.2.3.174	Exception: RS-174	Map # 44W, 52E, 52W	By-law: 0379-2009, 0048-2025			
	In a RS-174 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:					
Regulations						
4.2.3.174.1	deleted					
4.2.3.174.2	Maximum lot coverage:					
	,	where the garage does not project more than 1.0 m beyond the main entry feature ; or				
	(2) where the garage does not project more than 2.5 m beyond the main front entrance or a habitable room on the first storey ; or					
	(3) where the width of the garage is 5.0 m or less, measured from the outside of opposite exterior walls or from the outside of an exterior wall to the midpoint of an interior wall.					
4.2.3.174.3	Maximum projection of a garage beyond the 7.0 m main front entrance					

4.2.3.175	Exception: RS-175	Map # 52W	By-law: 0048-2025
	ne the permitted uses and appoint following uses /regulations sl	plicable regulations shall be as	s specified for a RS zone
Regulations			
4.2.3.175.1	deleted		
4.2.3.175.2	deleted		
4.2.3.175.3	<u>U</u>	comply with the RS zone regular.1 of this By-law except that:	ılations
	(1) minimum exterior s	ide yard	3.0 m
4.2.3.175.4		detached dwelling , up to a - residential of 8 m ² , shall be he required rear yard to with	

4.2.3.176	Exception: RS-176	Map # 52W	By-law: 0048-2025		
	ne the permitted uses and appropriate following uses /regulations sl		e as specified for a RS zone		
Regulations					
4.2.3.176.1	deleted				
4.2.3.176.2	deleted				
4.2.3.176.3	A detached dwelling shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:				
	(1) minimum exterior side yard 3.0 m				
4.2.3.176.4	A one storey portion of the detached dwelling , up to a maximum gross floor area - residential of 8.0 m ² , shall be permitted to encroach into the required rear yard to within 6.0 m of the rear lot line				
4.2.3.176.5	The lot line abutting a street with a width of 20.0 m or greater shall be deemed to be the front lot line				
4.2.3.176.6	3.176.6 A garage shall only be located in a rear yard				
4.2.3.176.7	Maximum garage width: measured from the outside of outside of the exterior wall other side				

4.2.3.177	Excep	tion: RS-177	Map # 52E	By-law: 0379-2009, 0048-2025	
		permitted uses and aping uses /regulations sl	plicable regulations shall be a hall apply:	s specified for a RS zone	
Regulations					
4.2.3.177.1	deleted	d			
4.2.3.177.2	Maxin	num lot coverage:			
	(1)	(1) where the garage does not project more than 1.0 m beyond the main entry feature ; or 45%			
	(2)	(2) where the garage does not project more than 2.5 m beyond the main front entrance or a habitable room on the first storey ; or			
	(3) where the width of the garage is 5.0 m or less, measured from the outside of opposite exterior walls or from the outside of an exterior wall to the midpoint of an interior wall.				
4.2.3.177.3	deleted	d			
4.2.3.177.4	deleted				
4.2.3.177.5	deleted				
4.2.3.177.6	deleted	\overline{l}			
4.2.3.177.7	Maximum projection of a garage beyond the 7.0 m main front entrance				

4.2.3.178	Excep	otion: RS-178	Map # 52E	By-law: 0379-2009, 0048-2025				
	In a RS-178 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:							
Regulations								
4.2.3.178.1	delete	rd						
4.2.3.178.2	Maxii	mum lot coverage:						
	(1)	where the garage do beyond the main en	nes not project more than 1.0 netry feature; or	m 45%				
	(2) where the garage does not project more than 2.5 m beyond the main front entrance or a habitable room on the first storey ; or							
	(3) where the width of the garage is 6.0 m or less, measured from the outside of opposite exterior walls or from the outside of an exterior wall to the midpoint of an interior wall.			n the				
4.2.3.178.3		mum projection of a gar	arage beyond the	7.5 m				

4.2.3.179	Exce	ption: RS-179	Map # 44W	By-law: 0379-2009, 0181-2018/LPAT Order 2019 February 15, 0048-2025		
		permitted uses and ap	plicable regulations shall be a	as specified for a RS zone		
Regulations						
4.2.3.179.1	delete	гd				
4.2.3.179.2	Maxi	mum lot coverage:				
	(1)	where the garage do beyond the main en	pes not project more than 1.0 try feature ; or	m 45%		
	(2) where the garage does not project more than 2.5 m beyond the main front entrance or a habitable room on the first storey ; or					
	(3)		garage width measured from rage side walls is 5.0 m.	m the 45%		
4.2.3.179.3	Minii	mum interior side yar	d - interior lot	1.2 m		
4.2.3.179.4	delete	ed				
4.2.3.179.5	Minii	Minimum setback to a sight triangle 0.0 m				
4.2.3.179.6		Maximum projection of a garage beyond the main front entrance 7.0 m				
4.2.3.179.7	A det	A detached garage shall not be permitted				
4.2.3.179.8	Maxi	mum driveway width		5.0 m		

4.2.3.180	Exception: RS-180	Map # 52W	By-law: 0379-2009, 0048-2025				
In a RS-180 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:							
Regulations							
4.2.3.180.1	deleted						
4.2.3.180.2	Maximum lot coverage:						
	(1) where the garage of beyond the main of	does not project more than 1.0 rentry feature; or	m 45%				
		does not project more than 2.5 r ront entrance or a habitable r					
		m garage width measured from garage side walls is 5.0 m.	the 45%				
4.2.3.180.3	deleted						
4.2.3.180.4	deleted						
4.2.3.180.5	deleted						
4.2.3.180.6	deleted						
4.2.3.180.7	Maximum encroachment of a porch and/or a balcony , up to a maximum floor area of 18 m ² , into the required front yard - interior lot						
4.2.3.180.8	Maximum encroachment of a porch and/or balcony , up to a maximum floor area of 25 m ² , into the required front and exterior side yard - corner lot						
4.2.3.180.9	The floor area of a porch or balcony , up to a maximum of 18 m ² on an interior lot and a maximum of 25 m ² on a corner lot shall be excluded from the calculation of lot coverage						
4.2.3.180.10	Maximum encroachment of a window projection with or without a foundation, bay window, box window, chimney , media niche, pilaster or corbel into a required yard						
4.2.3.180.11	Maximum projection of a main front entrance	garage beyond the	7.0 m				

4.2.3.181	Excep	otion: RS-181	Map # 52W	By-law: 0181-2018/LPAT Order 2019 February 15, 0048-2025				
	In a RS-181 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:							
Regulations								
4.2.3.181.1	delete	ed						
4.2.3.181.2	delete	ed						
4.2.3.181.3	delete	ed .						
4.2.3.181.4	delete	ed .						
4.2.3.181.5	delete	ed .						
4.2.3.181.6		S	comply with the RS zone regulation.1 of this By-law except that:	ılations				
	(1)	minimum exterior s	ide yard	3.0 m				
	(2)	minimum setback to	garage face	5.2 m				
4.2.3.181.7	Maxir	num encroachment of	a porch into the required fro	nt yard 2.5 m				
4.2.3.181.8	On an interior lot , where a one storey detached or attached garage is located in the rear or interior side yard and where no part of the garage is located closer than 15.0 m to the front lot line :							
	(1)		² of the gross floor area of the uded from the calculation of					
	one interior side yard shall be a minimum width of 3.0 m and the other interior side yard may be reduced by 0.6 m, except that the attached garage may encroach a maximum of 2.4 m into the 3.0 m interior side yard							
	(3) minimum front yard of the detached dwelling may be reduced to 3.5 m							
	(4)	the first storey of the	² gross floor area - residentia e detached dwelling may pro nto the required rear yard					

4.2.3.182	Exce	ption: RS-182	Map # 52E	By-law: 0379-2009, 0048-2025				
	In a RS-182 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:							
Regulations								
4.2.3.182.1	delet	ed						
4.2.3.182.2	Maxi	mum lot coverage:						
	(1)	where the garage do	pes not project more than 1.0 try feature ; or) m 45%				
	(2)	(2) where the garage does not project more than 2.5 m beyond the main front entrance or a habitable room on the first storey ; or						
	(3)	from the outside of	the garage is 5.0 m or less, nopposite exterior walls or from the midpoint of an	om the				
4.2.3.182.3	delet	ed						
4.2.3.182.4	delet	deleted						
4.2.3.182.5	delet	deleted						
4.2.3.182.6	delet	deleted						
4.2.3.182.7		mum projection of a g	garage beyond the	7.0 m				

4.2.3.183	Exception: RS-183	Map #	By-law: 0048-2025

Exception: RS-184	Map #	By-law: 0048-2025
		-
	Exception: RS-184	Exception: RS-184 Map #

4.2.3.185	Exception: RS-185	Map # 08	By-law: 0308-2011, 0181-2018/LPAT Order 2019 February 15, 0048-2025		
	one the permitted uses and applications slowing uses /regulations slowing the slowing uses are slower than the slower than	plicable regulations shall be as hall apply:	s specified for a RS zone		
Regulations					
4.2.3.185.1	The regulations of Line 5.0 By-law shall not apply	contained in Table 4.2.1 of the	is		
4.2.3.185.2	Maximum gross floor area	- infill residential	169 m ² plus 0.20 times the lot area to a maximum of 305 m ²		
4.2.3.185.3	Minimum landscaped area	ı	40% of the lot area		
4.2.3.185.4	deleted				
4.2.3.185.5		comply with the RS zone regulation.1 of this By-law except that:	lations		
	(1) minimum interior a	nd exterior side yards	3.0 m on one side of the lot and 1.2 m on the other side		
	(2) deleted				
4.2.3.185.6	deleted				
4.2.3.185.7	deleted				
4.2.3.185.8	Flat roofs and mansard roo	fs shall not be permitted			
4.2.3.185.9	Maximum encroachment of front, exterior and interior	a covered porch into a requir r side yard	ed 1.8 m but not closer than 0.2 m to a lot line		
4.2.3.185.10	Minimum setback of a gara detached dwelling	age face behind the front wall	of a 3.0 m		
4.2.3.185.11	Maximum gross floor area	of a detached garage	30 m^2		
4.2.3.185.12		erior wall containing the door access point into the detached	which		
4.2.3.185.13	the <i>Ontario Heritage Act</i> shreconstruction, alteration ar	Tumber 0272-2004 made pursuall not apply so as to require and/or enlargement of any build sterior faces or the exterior wastructure	ny l ing or		

4.2.3.186	Exception: RS-186	Map # 02, 08	By-law: <i>deleted by 0359-2009</i> , 0059-2016, 0048-2025					
	In a RS-186 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:							
Regulations								
4.2.3.186.1	deleted							
4.2.3.186.2	deleted							
4.2.3.186.3 Garage projection: maximum projection of a garage beyond the front wall or exterior side wall of the second storey								
4.2.3.186.4	deleted							

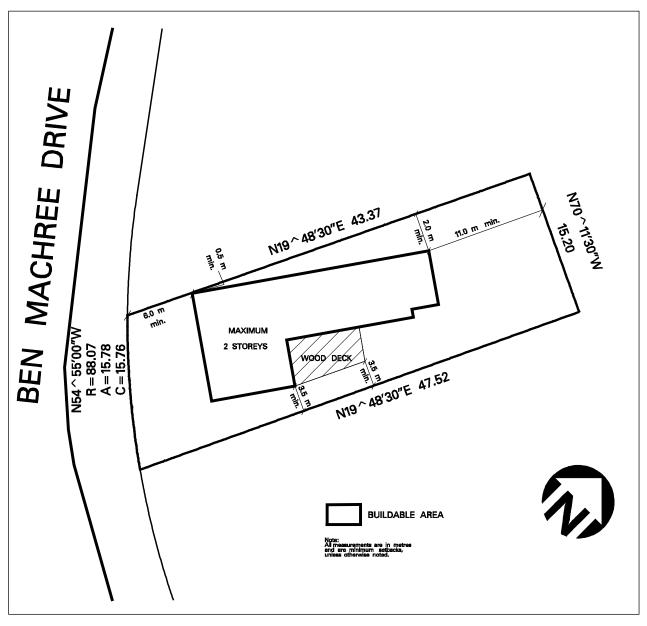
4.2.3.187	Excep	otion: RS-187	Map # 08	0174-20	: 0308-2011, 017, 0181-2018/LPAT 019 February 15, 025				
	In a RS-187 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:								
Additional Pe	rmitted	l Use							
4.2.3.187.1	(1)	Duplex							
Regulations									
4.2.3.187.2			luplex shall comply with the bsection 4.2.1 of this By-law						
	(1)	the regulations of Li By-law shall not app	ine 5.0 contained in Table 4.2 ply	.1 of this					
	(2)	maximum gross floo	or area - infill residential		169 m ² plus 0.20 times the lot area to a maximum of 305 m ²				
	(3)	minimum landscap	ed area		40% of the lot area				
	(4)	deleted							
	(5)	minimum interior a	nd exterior side yards		3.0 m on one side of the lot and 1.2 m on the other side				
	(6)	deleted							
	(7)	deleted							
	(8)	flat roofs and mans	ard roofs shall not be permitte	ed					
	(9)		ment of a covered porch into rior and interior side yard	a	1.8 m but not closer than 0.2 m to a lot line				
	(10)	minimum setback of a detached dwell	f a garage face behind the fro ling	nt wall	3.0 m				
	(11)	maximum gross floo	or area of a detached garage		30 m^2				
	(12)		the exterior wall containing to the primary access point into						
	(13)	pursuant to the <i>Onto</i> to require any recon enlargement of any	r-law Number 0272-2004 mac urio Heritage Act shall not app struction, alteration and/or building or structure to repli exterior wall features of the b	oly so as					

4.2.3.188	Exception: RS-188	Map # 08	By-law: 0048-2025				
In a RS-188 zone the applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:							
Permitted Uses	S						
4.2.3.188.1	Lands zoned RS-188 shall of	only be used for the following:					
	 (1) Detached Dwelling (2) Semi-Detached or (3) Private Club 	or					

4.2.3.189	Exception: RS-189	Map # 08	By-law: 0308-2011, 0181-2018/LPAT Order 2019 February 15, 0111-2019/LPAT Order 2021 March 09, 0048-2025
	ne the permitted uses and ap following uses /regulations sl	plicable regulations shall be as hall apply:	specified for a RS zone
Additional Per	rmitted Uses		
4.2.3.189.1	` ,		•
Regulations			
4.2.3.189.2	The regulations of Line 5.0 By-law shall not apply	contained in Table 4.2.1 of thi	S
4.2.3.189.3	Maximum gross floor area	169 m ² plus 0.20 times the lot area to a maximum of 305 m ²	
4.2.3.189.4	Minimum landscaped area	1	40% of the lot area
4.2.3.189.5	Minimum front yard		5.0 m
4.2.3.189.6	Minimum interior and exte	erior side yards	3.0 m on one side of the lot and 1.2 m on the other side
4.2.3.189.7	Maximum height - highest sloped roof	ridge:	9.0 m and 2 storeys
4.2.3.189.8	Maximum height of eaves: from average grade to low	er edge of the eaves	6.8 m
4.2.3.189.9	Flat roofs and mansard roo	fs shall not be permitted	
4.2.3.189.10	Maximum encroachment of front, exterior and interior	f a covered porch into a requirer side yard	ed 1.8 m but not closer than 0.2 m to a lot line
4.2.3.189.11	Minimum setback of a gara detached dwelling	of a 3.0 m	
4.2.3.189.12	Maximum gross floor area	of a detached garage	30 m^2
4.2.3.189.13	"Front Wall" means the ext which is designed as the pri detached dwelling	erior wall containing the door imary access point into the	
4.2.3.189.14	the <i>Ontario Heritage Act</i> shreconstruction, alteration ar	Jumber 0272-2004 made pursunall not apply so as to require and/or enlargement of any build exterior faces or the exterior wastructure	ny ing or

4.2.3.190	Exception: RS-190	Map # 08	By-law: 0059-2016, 0174-2017, 0048-2025			
	one the permitted uses and appropriate following uses /regulations sl	plicable regulations shall be a hall apply:	s specified for a RS zone			
Additional Pe	rmitted Uses					
4.2.3.190.1	4.2.3.190.1 (1) Duplex legally existing on the date of passing of this By-law; or (2) Triplex legally existing on the date of passing of this By-law					
Regulations						
4.2.3.190.2	deleted					
4.2.3.190.3	deleted					
4.2.3.190.4	Garage projection: maximum projection of a garage exterior side wall of the second	arage beyond the front wall c	0.0 m			
4.2.3.190.5	deleted	·				

4.2.3.191	Exception: RS-191			By-law: 0308-2011, 0059-2016, 0174-2017, 0208-2022, 0048-2025	
In a RS-191 zo uses/regulation			shall be as specified for a RS z	zone exc	ept that the following
Permitted Use	es				
4.2.3.191.1	Lands	s zoned RS-191 shall o	only be used for the following:		
	(1) (2) (3)	Detached Dwelling: Semi-Detached or Triplex	or		
Regulations					
4.2.3.191.2	_	Dlex shall comply with osection 4.13.1 of this	the RM7 zone regulations con By-law except that:	ntained	
	(1)	maximum gross floo	or area - residential		280 m^2
	(2)	minimum landscape	ed area		24% of the lot area
	(3)	no floor level of any below average grad	habitable room may be locate	ed	
	(4)	maximum height			9.2 m and 2 storeys
	(5)	outside the buildabl	maximum projection of a porch and external stairs outside the buildable area identified on Schedule RS-191 of this Exception into the required front yard		
	(6)	minimum aisle widt	h		5.0 m
	(7)	all site development Schedule RS-191 of	plans shall comply with this Exception		
4.2.3.191.3			comply with the RS zone regul .1 of this By-law except that:		
	(1)	deleted			
	(2)	deleted			
	(3)				
	(4)	deleted			



Schedule RS-191 Map 08

4.2.3.192	Exception: RS-192	Map # 07	By-law: 0203-2013/OMB Order 2014 March 26, 0190-2014, 0048-2025
	ne the permitted uses and appoint following uses /regulations sl	plicable regulations shall be as	s specified for a RS zone
Regulations			
4.2.3.192.1	deleted		
4.2.3.192.2	deleted		
4.2.3.192.3	deleted		
4.2.3.192.4	Garage projection: maximum projection of a garage exterior side wall of the se	arage beyond the front wall o	0.0 m
4.2.3.192.5	deleted		

4.2.3.193	Exception: RS-193	Map # 07	By-law: 0203-2013/OMB Order 2014 March 26, 0190-2014, 0048-2025
	ne the permitted uses and ap following uses /regulations sl	plicable regulations shall be as	s specified for a RS zone
Regulation			
4.2.3.193.1	deleted		
4.2.3.193.2	deleted		
4.2.3.193.3	deleted		
4.2.3.193.4	deleted		
4.2.3.193.5	deleted		
4.2.3.193.6	deleted		
4.2.3.193.7	Garage projection: maximum projection of a greaterior side wall of the se	arage beyond the front wall c	0.0 m

4.2.3.194	Exception: RS-194	Map #	By-law: deleted by 0048-2025

4.2.3.195	Excep	tion: RS-195	Map # 21, 26, 27, 28, 30, 55, 56	By-law: 0048-2025
	_	permitted uses and apping uses /regulations sl	plicable regulations shall be as	s specified for a RS zone
Regulations				
4.2.3.195.1	Detac	hed Dwelling:		
	(1)	minimum lot area -	interior lot	275 m^2
	(2)	minimum lot fronta	ge - interior lot	9.0 m
	(3)	maximum gross floo	or area - residential	0.6 times the lot area

4.2.3.196	Exception: RS-196	By-law: 0174-2017, 0048-2025				
In a RS-196 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:						
Regulations	Regulations					
4.2.3.196.1	Minimum setback to all lan	15.0 m				
4.2.3.196.2	Minimum setback of detact to Thomas Street, Winston Erin Centre Boulevard	ned 7.5 m				
4.2.3.196.3	Minimum setback to Derry	13.5 m				
4.2.3.196.4	Maximum encroachment of a porch into the Winston Churchill Boulevard and Erin Centre Boulevard setbacks					

4.2.3.197	Exception: RS-197	Map # 20, 26, 29, 30, 46W, 55	By-law: 0174-2017, 0048-2025		
	one the permitted uses and ap following uses /regulations s	pplicable regulations shall be as hall apply:	s specified for a RS zone		
Additional Pe	rmitted Use				
4.2.3.197.1	(1) Linked Dwelling				
Regulation					
4.2.3.197.2	4.2.3.197.2 A linked dwelling shall comply with the RS zone regulations for a semi-detached contained in Subsection 4.2.1 of this By-law				

4.2.3.198	Exception: RS-198	By-law: 0048-2025				
In a RS-198 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:						
Regulations						
4.2.3.198.1	Minimum exterior side yar Bristol Road East	rd - all corner lots abutting	4.5 m			
4.2.3.198.2	Minimum exterior side yar	d - all other corner lots	3.0 m			

4.2.3.199	Exce	ption: F	RS-199	Map # 44W		174-2017, 3/LPAT Order uary 15, 0048-2025
			ted uses and ap	plicable regulations shal hall apply:	l be as specified t	for a RS zone
Regulations						
4.2.3.199.1	delete	ed				
4.2.3.199.2	Semi	-Detac	hed:			
	(1)	maxi	mum lot cover	age:		
		(1)	beyond the m	rage does not project mo nain entry feature or 2.5 nt entrance or a habital ey or	m beyond	45%
		(2)		Ith of the garage is 3.8 rm the inside face of the g		45%
		(3)	all other lots			40%
	(2)	wher entra which	e the garage prance, the garag	I more than one storey in rojects beyond the main ge shall be covered by a sack a maximum of 2.5 m	front second storey	
	(3)	minii	mum setback to	garage face		7.0 m
	(4)	minii	mum setback to	a sight triangle		0.0 m
	(5)	maxi	mum drivewa y	y width		3.8 m
	(6)	maxi	mum porch are	ea in a front yard - inte	rior lot	12 m^2
	(7)		mum total por es - corner lot	ch area in front and exte	erior side	20 m^2
	(8)		_	nes in front and exterior om the calculation of lot	•	
	(9)	a det	ached garage i	s not permitted		

4.2.3.200	Excep	Exception: RS-200		Map # 44W		74-2017, /LPAT Order nary 15, 0048-2025
			ted uses and ap	plicable regulations shall hall apply:	be as specified for	or a RS zone
Regulations						
4.2.3.200.1			_	comply with the RS zone 2.1 of this By-law	regulations	
4.2.3.200.2	Semi	-Detac	hed:			
	(1)	maxi	mum lot cover	age:		
		(1)	(1) where the garage does not project more than 1.0 m beyond the main entry feature or 2.5 m beyond the main front entrance or a habitable room on the first storey or			45%
		(2)		Ith of the garage is 3.8 mm the inside face of the ga		45%
		(3)	all other lots			40%
	(2)	wher entra whic	re the garage prance, the garag	lling more than one store rojects beyond the main fige shall be covered by a seack a maximum of 2.5 m to	ront econd storey	
	(3)	mini	mum setback to	a sight triangle		0.0 m
	(4)	maxi	mum driveway	y width		3.8 m
	(5)	maxi	mum porch are	ea in a front yard - inter i	ior lot	12 m^2
	(6)		mum total por es - corner lot	ch area in front and exter	ior side	20 m^2
	(7)		_	nes in front and exterior of the calculation of lot of	•	
	(8)	a det	ached garage is	s not permitted		

4.2.3.201	Excep	tion: RS-201	Map # 39E	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025
except that the		permitted uses and aping uses /regulations si	plicable regulations shall be a hall apply:	s specified for a RS zone
Regulations				
4.2.3.201.1	Semi-	Detached:		
	(1)	minimum lot area -	corner lot	240 m^2
	(2)	deleted		
	(3)	deleted		
	(4)	deleted		
	(5)	minimum exterior s	side yard	3.0 m
	(6)	minimum rear yard	I	6.0 m
	(7)	deleted		

4.2.3.202	Exception: RS-202	Map #	By-law: 0181-2018/LPAT Order 2019 February 15, deleted by 0048-2025

4.2.3.203	Exception: RS-203	Map # 22	By-law: 0174-2017, 0048-2025			
	In a RS-203 zone the applicable regulations shall be as specified for a RS zone except that the following uses/regulations shall apply:					
Permitted Use						
4.2.3.203.1	Lands zoned RS-203 shall only be used for the following:					
	(1) Semi-Detached					
Regulations						
4.2.3.203.2	deleted					
4.2.3.203.3	The area of all porches in front and exterior side yards shall be excluded from the calculation of lot coverage					

4.2.3.204	Exception: RS-204	Map # 22	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025				
	In a RS-204 zone the applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:						
Permitted Use							
4.2.3.204.1	Lands zoned RS-204 shall of	only be used for the following:					
	(1) Semi-Detached						
Regulations							
4.2.3.204.2	deleted						
4.2.3.204.3	Maximum driveway width		3.8 m				
4.2.3.204.4	The area of all porches in f be excluded from the calcul	ront and exterior side yards lation of lot coverage	shall				
4.2.3.204.5	deleted						

4.2.3.205	Exception: RS-205	Map # 10	By-law: 0174-2017, 0048-2025			
	In a RS-205 zone the applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:					
Permitted Use						
4.2.3.205.1	Lands zoned RS-205 shall only be used for the following:					
	(1) Semi-Detached					
Regulations	Regulations					
4.2.3.205.2	deleted					
4.2.3.205.3	deleted					
4.2.3.205.4	Maximum driveway width		3.8 m			

4.2.3.206	Exception: RS-206	Map # 53E, 53W	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RS-206 zo. uses/regulation		shall be as specified for a RS	zone except that the following
Permitted Use			
4.2.3.206.1	Lands zoned RS-206 shall o	only be used for the following:	:
	(1) Semi-Detached		
Regulations			
4.2.3.206.2	deleted		
4.2.3.206.3	deleted		
4.2.3.206.4	deleted		
4.2.3.206.5	deleted		
4.2.3.206.6	Minimum front yard		3.65 m
4.2.3.206.7	deleted		
4.2.3.206.8	Minimum setback to garag	e face	4.5 m

4.2.3.207	Exception: RS-207	Map # 53E, 53W	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RS-207 zo. uses/regulation		shall be as specified for a RS	zone except that the following
Permitted Use			
4.2.3.207.1	Lands zoned RS-207 shall of	only be used for the following:	
	(1) Semi-Detached		
Regulations			
4.2.3.207.2	deleted		
4.2.3.207.3	deleted		
4.2.3.207.4	deleted		
4.2.3.207.5	deleted		
4.2.3.207.6	Minimum front yard		3.65 m
4.2.3.207.7	deleted		
4.2.3.207.8	Minimum setback to garag	e face	5.5 m

4.2.3.208	Exception: RS-208	Map # 53E	By-law: 0174-2017, 0048-2025			
	In a RS-208 zone the applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:					
Permitted Use						
4.2.3.208.1	Lands zoned RS-208 shall only be used for the following:					
	(1) Semi-Detached					
Regulations						
4.2.3.208.2	Minimum exterior side yai	rd	2.45 m			
4.2.3.208.3	*	schment of a bay window and bundation, into an exterior sid	0.5 m le yard			

4.2.3.209	Except	tion: RS-209	Map # 37W	By-law: 0174-2017, 0048-2025			
	In a RS-209 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:						
Regulation							
4.2.3.209.1	Semi-l	-Detached:					
	(1)	deleted					
	(2)	deleted					
	(3)	deleted					
	(4)	deleted					
	(5)	minimum exterior	side yard	3.0 m			

4.2.3.210	Exception: RS-210	Map # 38E	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025		
In a RS-210 zo uses/regulation		shall be as specified for a RS	zone except that the following		
Permitted Use	;				
4.2.3.210.1	Lands zoned RS-210 shall o	only be used for the following	:		
	(1) Semi-Detached				
Regulations					
4.2.3.210.2	deleted				
4.2.3.210.3	Minimum lot area - corner lot 260 m ²				
4.2.3.210.4	Minimum lot frontage - interior lot 6.1 m				
4.2.3.210.5	Minimum lot frontage - corner lot 8.2 m				
4.2.3.210.6	deleted				
4.2.3.210.7	Minimum exterior side yard 3.0 m				
4.2.3.210.8	deleted				
4.2.3.210.9	The areas of all porches in be excluded from the calcul	front and exterior side yards ation of lot coverage	shall		
4.2.3.210.10	Maximum driveway width - interior lot 3.8 m				
4.2.3.210.11	Maximum driveway width	- corner lot	5.0 m		

4.2.3.211	Exception: RS-211	Map # 57, 58	By-law: 0449-2007, 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025		
In a RS-211 zo uses/regulation	11	shall be as specified for a RS	zone except that the following		
Permitted Use	9				
4.2.3.211.1	Lands zoned RS-211 shall of	only be used for the following:	:		
	(1) Semi-Detached				
Regulations					
4.2.3.211.2	The regulations of Line 5.0 By-law shall not apply	contained in Table 4.2.1 of th	is		
4.2.3.211.3	deleted				
4.2.3.211.4	deleted				
4.2.3.211.5	deleted				
4.2.3.211.6	deleted	deleted			
4.2.3.211.7	Minimum front yard - lots adjacent the front lot line	without a municipal sidewalk	3.5 m		
4.2.3.211.8	Minimum exterior side yar adjacent the exterior side le	rd - lots without a municipal s ot line	idewalk 3.5 m		
4.2.3.211.9	Minimum exterior side yard - lots abutting a street with a right-of-way width less than 17.0 m				
4.2.3.211.10	Minimum setback to garage face 5.8 m				
4.2.3.211.11	deleted				

Exception RS-211 continued on next page

4.2.3.211	Exception: RS-211	Map # 57, 58	By-law: 0449 0174-2017, 0 Order 2019 F 0048-2025	181-2018/LPAT
Exception RS	3-211 continued from previous	us page		
4.2.3.211.12	Minimum setback to a sight	t triangle		0.0 m
4.2.3.211.13	Maximum encroachment of front or exterior side yard		quired	2.0 m
4.2.3.211.14	Maximum projection of a garage beyond either the main front entrance or beyond the main entry feature where provided			2.5 m
4.2.3.211.15	Where a main entry feature has been provided, the maximum projection of a garage beyond a main front entrance			5.0 m
4.2.3.211.16 For a semi-detached more than one storey in height, where the garage projects beyond the main front entrance, the garage shall be covered by a second storey which may be set back a maximum of 2.5 m from the garage face				
4.2.3.211.17	Maximum driveway width - interior lot			4.3 m
4.2.3.211.18	Maximum driveway width - corner lot			4.7 m
4.2.3.211.19	Maximum garage width: measured from the inside face of the garage side walls			3.8 m
4.2.3.211.20	Detached garage shall not be permitted			

4.2.3.212	Exception: RS-212	Map # 57	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025		
In a RS-212 zon uses/regulation		shall be as specified for a RS	zone except that the following		
Permitted Use	s				
4.2.3.212.1	Lands zoned RS-212 shall of	only be used for the following:			
		mpliance with the provisions 2.1.9.1 of this By-law			
Regulations					
4.2.3.212.2	The regulations of Line 5.0 contained in Table 4.2.1 of this By-law shall not apply				
4.2.3.212.3	Minimum front yard - lots without a municipal sidewalk 3.5 m adjacent the front lot line				
4.2.3.212.4	Minimum exterior side yard - lots without a municipal sidewalk adjacent the exterior side lot line 3.5 m				
4.2.3.212.5	Minimum exterior side yard - lots abutting a street with a right- of-way width less than 17.0 m				
4.2.3.212.6	Minimum exterior side yard with a 0.3 m reserve along the 4.2 m exterior side lot line				
4.2.3.212.7	Minimum setback to garag	e face	5.8 m		
4.2.3.212.8	Minimum setback to a sight triangle 0.0 m				
4.2.3.212.9	Maximum encroachment of a porch or balcony into required 2.0 m front and exterior side yard				
4.2.3.212.10		arage beyond either the main in entry feature where provide			

Exception RS-212 continued on next page

4.2.3.212	Exception: RS-212	Map # 57	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025		
Exception RS-	212 continued from previou	ıs page			
4.2.3.212.11	Where a main entry feature has been provided, the maximum 5.0 m projection of a garage beyond a main front entrance				
4.2.3.212.12	For a semi-detached more than one storey in height , where the garage projects beyond the main front entrance , the garage shall be covered by a second storey which may be set back a maximum of 2.5 m from the garage face				
4.2.3.212.13	Maximum driveway width - interior lot 4.3 m				
4.2.3.212.14	Maximum driveway width - corner lot 4.7 m				
4.2.3.212.15	Maximum garage width: 3.8 m measured from the inside face of the garage side walls				
4.2.3.212.16	Detached garage shall not b	e permitted			

4.2.3.213	Exception: RS-213	Map # 36W	By-law: 0174-2017, 0048-2025			
	In a RS-213 zone the applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:					
Permitted Use)					
4.2.3.213.1	Lands zoned RS-213 shall of	only used for the following:				
	(1) Semi-Detached					
Regulations						
4.2.3.213.2	deleted					
4.2.3.213.3	Minimum lot frontage - corner lot 9.5 m					
4.2.3.213.4	deleted					
4.2.3.213.5	Minimum exterior side yai	rd	2.9 m			

4.2.3.214	Excep	otion: RS-214	Map # 44W	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025			
	In a RS-214 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:						
Regulations							
4.2.3.214.1		A detached dwelling shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law, except that:					
	(1)	maximum projection of a garage beyond the 7.0 m main front entrance					
4.2.3.214.2	Semi-Detached:						
	(1)	deleted					
	(2)	deleted					
	(3)	deleted					

Exception RS-214 continued on next page

4.2.3.214	Ехсер	otion: RS-214	Map # 44W	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025
Exception RS	5-214 co	ontinued from previous	s page	
4.2.3.214.2 (continued)	(4)	where the garage pro- entrance, the garage	more than one storey in heigh jects beyond the main front shall be covered by a second set back a maximum of 2.5 m	
	(5)	maximum projection of main front entrance	of a garage beyond the	7.0 m
	(6)	maximum porch area	in a front yard - interior lot	12 m^2
	(7)	maximum total porch yards - corner lot	area in front and exterior sid	$de 20 \text{ m}^2$
	(8)	_	s in front and exterior side yant the calculation of lot covera	
	(9)	accessory buildings a in the front yard or e	and structures shall not be loc xterior side yard	cated

4.2.3.215	Exception: RS-215	Map # 56	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025				
	In a RS-215 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:						
Regulations							
4.2.3.215.1	deleted						
4.2.3.215.2	Minimum parking spaces per dwelling unit 3						
4.2.3.215.3	Detached Dwelling :						
	(1) maximum garage width: 5.7 m measured from the inside face of the garage side walls						
4.2.3.215.4	Semi-Detached:						
	(1) chimney , chimney breast, porch , central air conditioning unit or heat pump are not permitted to encroach within the required interior or exterior side yards						

4.2.3.216	Exception: RS-216	Map # 38E	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0143-2021, 0048-2025		
In a RS-216 zo uses/regulation		shall be as specified for a RS	zone except that the following		
Permitted Use					
4.2.3.216.1	Lands zoned RS-216 shall o	only be used for the following:			
	(1) Semi-Detached				
Regulations					
4.2.3.216.2	The regulations of Line 5.0 contained in Table 4.2.1 of this By-law shall not apply				
4.2.3.216.3	deleted				
4.2.3.216.4	Minimum setback to a sight	t triangle	0.0 m		
4.2.3.216.5	Maximum encroachment of a porch or balcony into minimum 2.0 m required front or exterior side yard				
4.2.3.216.6	Maximum projection of a garage beyond either the main front entrance or beyond the main entry feature where provided				
4.2.3.216.7	Maximum setback of the main front entrance from the garage face where a main entry feature is provided 5.0 m				
4.2.3.216.8	Maximum driveway width	3.8 m			
4.2.3.216.9	Maximum garage width: measured from the inside face of the garage side walls 3.8 m				
4.2.3.216.10	Detached garage shall not b	pe permitted			

4.2.3.217	Ехсер	otion: RS-217	Map # 55	0181-201	0174-2017, 8/LPAT Order oruary 15, 0048-2025
		permitted uses and aping uses /regulations sl	plicable regulations shall be a hall apply:	s specified	for a RS zone
Regulations					
4.2.3.217.1	delete	ed			
4.2.3.217.2		mum encroachment of tairs into the required	f a porch or deck including la rear yard	ndings	2.5 m
4.2.3.217.3	Detac	ched Dwelling:			
	(1)	minimum lot area -	interior lot		270 m^2
	(2)	deleted			
	(3)	maximum driveway	width		5.6 m
	(4)	maximum garage w measured from the i	ridth: nside face of the garage side v	walls	5.6 m
4.2.3.217.4	Semi-	-Detached:			
	(1)	the regulations of Li By-law shall not app	ne 5.0 contained in Table 4.2.	1 of this	
	(2)	maximum gross floo	or area - residential	(0.75 times the lot area
	(3)	maximum driveway	width		3.8 m
	(4)	maximum garage w measured from the i	ridth: nside face of the garage side v	walls	3.8 m

4.2.3.218	Excep	tion: RS-218	Map # 55	By-law: 0174-2017, 0048-2025			
	In a RS-218 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:						
Regulations							
4.2.3.218.1	Semi-Detached:						
	(1) the regulations of Line 5.0 contained in Table 4.2.1 of this By-law shall not apply						
	(2)	maximum gross floo	or area - residential	0.75 times the lot area			
	(3)		ment of porch or deck including the required rear yard	ng 2.5 m			

4.2.3.219	Exception: RS-219	Map # 37W	By-law: 0048-2025				
	In a RS-219 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:						
Regulation							
4.2.3.219.1	Detached Dwelling :						
	(1) maximum lot covers	age	45%				

4.2.3.220	Exception: RS-220	Map # 57	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-202		
	one the applicable regulatins shall apply:	ions shall be as specified	l for a RS zone except that the following		
Permitted Us	e				
4.2.3.220.1	Lands zoned RS-220 sh	all only be used for the	following:		
	(1) Semi-Detached				
Regulations					
4.2.3.220.2	The regulations of Line 5.0 contained in Table 4.2.1 of this By-law shall not apply				
4.2.3.220.3	Minimum front yard - lots without a municipal sidewalk 3.5 m adjacent the front lot line				
4.2.3.220.4	Minimum exterior side adjacent the exterior side		nunicipal sidewalk 3.5 m		
4.2.3.220.5	Minimum exterior side the exterior side lot lin		n reserve along 4.2 m		
4.2.3.220.6	Minimum setback to ga	4.0 m			
4.2.3.220.7	Minimum setback to a s	0.0 m			
4.2.3.220.8	Maximum encroachmen front and exterior side		into the required 2.0 m		
4.2.3.220.9	Maximum projection of entrance or beyond the				

Exception RS-220 continued on next page

4.2.3.220	Exception: RS-220	Map # 57	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025		
Exception RS-	220 continued from previous	s page			
4.2.3.220.10	Where a main entry feature projection of a garage beyon	has been provided, the maxim d a main front entrance	num 5.0 m		
4.2.3.220.11	For a semi-detached more than one storey in height , where the garage projects beyond the main front entrance , the garage shall be covered by a second storey which may be set back a maximum of 2.5 m from the garage face				
4.2.3.220.12	Maximum driveway width - interior lot 4.3 m				
4.2.3.220.13	Maximum driveway width - corner lot 4.7 m				
4.2.3.220.14	Maximum garage width: measured from the inside face of the garage side walls				
4.2.3.220.15	Detached garage shall not be	permitted			

4.2.3.221	Exception: RS-221	Map # 55	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025			
	In a RS-221 zone the applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:					
Permitted Use						
4.2.3.221.1	Lands zoned RS-221 shall of	only be used for the following:				
	(1) Semi-Detached					
Regulations						
4.2.3.221.2	Minimum setback of a sem	i-detached to the garage face	5.0 m			
4.2.3.221.3	Minimum setback of a semi-detached to Tenth Line West 4.5 m					
4.2.3.221.4	Maximum driveway width 5.2 m					
4.2.3.221.5	Maximum garage width: measured from the inside fa	ace of the garage side walls	5.2 m			

4.2.3.222	Ехсер	otion: RS-222	Map # 38E	By-law: 0174-201 0181-2018/LPAT 2019 February 15 0048-2025	Order	
		permitted uses and ap ing uses /regulations s	plicable regulations shall be a hall apply:	s specified for a RS	S zone	
Regulations						
4.2.3.222.1			ched dwelling shall comply with the RS zone regulations and in Subsection 4.2.1 of this By-law except that:			
	(1)	deleted				
	(2)	deleted				
	(3)	deleted				
	(4)	deleted				
	(5)	deleted				
	(6)	deleted				
	(7)	deleted				
	(8)	deleted				
	(9)	minimum setback o	f a porch to a sight triangle	1	.5 m	
	(10)	maximum driveway	y width	5	5.7 m	
	(11)	maximum garage w measured from the i	vidth: nside face of the garage side v		5.7 m	
4.2.3.222.2	Semi-	-Detached:				
	(1)	the regulations of La By-law shall not app	ine 5.0 contained in Table 4.2.	1 of this		
	(2)	maximum gross flo	or area - residential	0.75 time	es the lot area	
	(3)	1 0	n of a garage beyond either the or beyond the main entry fo		2.5 m	
	(4)		feature has been provided, ction of a garage beyond a	5	5.0 m	
	(5)	where the garage prentrance, the garage	I more than one storey in heigrojects beyond the main front ge shall be covered by a second ack a maximum of 2.5 m from	l storey		
	(6)	maximum encroach required front or ex	ment of a porch or balcony in terior side yard	to 2	2.0 m	
	(7)	maximum driveway	y width	3	.8 m	
	(8)	maximum garage w measured from the	vidth: inside face of the garage side		5.8 m	
	(9)	detached garage sha	all not be permitted			

4.2.3.223	Exception: RS-223	Map # 58	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RS-223 zo uses/regulation		s shall be as specified for a RS	S zone except that the following
Permitted Us	e		
4.2.3.223.1	Lands zoned RS-223 shall	only be used for the following	g:
	(1) Semi-Detached		
Regulations			
4.2.3.223.2	The regulations of Line 5.0 By-law shall not apply	contained in Table 4.2.1 of the	his
4.2.3.223.3	deleted		
4.2.3.223.4	deleted		
4.2.3.223.5	deleted		
4.2.3.223.6	deleted		
4.2.3.223.7	deleted		
4.2.3.223.8	deleted		
4.2.3.223.9	Minimum exterior side yaright-of-way width less that	rd - lots abutting a street wit n 17.0 m	h a 1.8 m
4.2.3.223.10	Minimum setback to garag	ge face	5.8 m
4.2.3.223.11	Minimum interior side yai	rd - unattached side	1.2 m
4.2.3.223.12	Minimum setback to a sigh	t triangle	0.0 m
4.2.3.223.13	Minimum setback of a sem	i-detached to all lands zoned	1 U-3 11.0 m
4.2.3.223.14	Maximum encroachment or front or exterior side yard	f a porch or balcony into req l	uired 2.0 m
4.2.3.223.15		garage beyond either the main nin entry feature where prov	
4.2.3.223.16	Where a main entry feature projection of a garage beyon	re has been provided, the man	ximum 5.0 m
4.2.3.223.17	garage projects beyond the	than one storey in height, when main front entrance, the gard storey which may be set bate garage face	arage
4.2.3.223.18	Maximum driveway width 3.8 m		
4.2.3.223.19	Maximum garage width: measured from the inside fa	ace of the garage side walls	3.8 m
4.2.3.223.20	Detached garage shall not	be permitted	

4.2.3.224	Exception: RS-224	Map # 22	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025	
In a RS-224 zor uses/regulation		shall be as specified for a RS	zone except that the following	
Permitted Use				
4.2.3.224.1	Lands zoned RS-224 shall of	only be used for the following:		
	(1) Semi-Detached			
Regulations				
4.2.3.224.2	The area of all porches in f excluded from the calculation	ront and exterior side yards on of lot coverage	shall be	
4.2.3.224.3	deleted			
4.2.3.224.4	deleted			
4.2.3.224.5	Maximum driveway width		5.6 m	

4.2.3.225	Excep	tion: RS-225	Map # 44E, 52E	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025
		permitted uses and aping uses /regulations sl	plicable regulations shall be a hall apply:	s specified for a RS zone
Regulations				
4.2.3.225.1		ached dwelling shall ned in Subsection 4.2	comply with the RS zone regulation.1 of this By-law	ılations
4.2.3.225.2	Semi-	Detached:		
	(1)	project more than 1.	age - where the garage does n 0 m beyond the main entry fo main front entrance - interi	eature
	(2)	deleted		
	(3)		n of a garage beyond either the or beyond the main entry fo terior lot	
	(4)	•	feature has been provided, the of a garage beyond a main to lot	
	(5)	where the garage prentrance, the garage	I more than one storey in heig rojects beyond the main front ge shall be covered by a second ack a maximum of 2.5 m from or lot	d storey
	(6)	maximum porch are	ea in a front yard - interior l o	ot 12 m ²
	(7)	maximum total porc yards - corner lot	ch area in front and exterior s	side 20 m ²
	(8)	_	nes in front and exterior side om the calculation of lot cover	•
	(9)	accessory buildings in the front yard or	s and structures shall not be le exterior side yard	ocated

4.2.3.226	Exce	ption: RS-226	Map # 44W, 45E, 52E, 52W	By-law: 0325-2008, 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025
		permitted uses and apring uses /regulations s	oplicable regulations shall be shall apply:	as specified for a RS zone
Regulations				
4.2.3.226.1			comply with the RS zone reg 2.1 of this By-law except that	
	(1)	5.0 m or less, measu	rage - where the width of the ared from the outside of opportunity of the exterior nterior wall	site
	(2)	garage beyond the entry feature, when 1.0 m or the project	rage - where the projection of main front entrance or the reprovided, is less than or equion of a garage beyond the ness than or equal to 2.5 m	nain ual to
	(3)	maximum projectio main front entrand	n of a garage beyond the	7.5 m
4.2.3.226.2	Semi	-Detached:		
	(1)	deleted		
	(2)	maximum projectio main front entrand	7.5 m	
	(3)	where the garage prentrance, the garage	d more than one storey in he rojects beyond the main from ge shall be covered by a second ack a maximum of 2.5 m from	nd storey
	(4)	maximum porch area in a front yard - interior lot		lot
	(5)	maximum total por yards - corner lot	side 20 m ²	
	(6)	the area of all porches in front and exterior side yards shall be excluded from the calculation of lot coverage		
	(7)		s and structures shall not be exterior side yard	located

4.2.3.227	Exception: RS-227	Map # 27	By-law: 0174-2017, 0048-2025			
	In a RS-227 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:					
Additional Per	mitted Use					
4.2.3.227.1	(1) Linked Dwelling					
Regulations						
4.2.3.227.2	Minimum front yard		7.5 m			
4.2.3.227.3 A linked dwelling shall comply with the RS zone regulations for a semi-detached contained in Subsection 4.2.1 of this By-law except that:						
	(1) minimum front yan	rd	7.5 m			

4.2.3.228	Exception: RS-228	Map # 27	By-law: 0174-2017, 0048-2025			
	In a RS-228 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:					
Additional Per	mitted Use					
4.2.3.228.1	(1) Linked Dwelling					
Regulations						
4.2.3.228.2	deleted					
4.2.3.228.3	3.3 deleted					
4.2.3.228.4	A linked dwelling shall comply with the RS zone regulations for a semi-detached contained in Subsection 4.2.1 of this By-law except that:					
	(1) minimum front yai	rd	7.5 m			

4.2.3.229	Excep	otion: RS-229	Map # 44W	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025		
In a RS-229 zo uses/regulation			s shall be as specified for a RS	zone except that the following		
Permitted Use	9					
4.2.3.229.1	Lands	s zoned RS-229 shall	only be used for the following	:		
	(1)	Semi-Detached				
Regulations						
4.2.3.229.2	(1)	project more than 1.	age - where the garage does r 0 m beyond the main entry for main front entrance or a the first storey or			
	(2)	from the outside of	the garage is 3.5 m or less, me opposite exterior walls or from or wall to the midpoint of an ir	n the		
	(3)	all other lots		40%		
4.2.3.229.3		Maximum projection of a garage beyond the main front 7.5 m entrance				
4.2.3.229.4	For a semi-detached more than one storey in height , where the garage projects beyond the main front entrance , the garage shall be covered by a second storey which may be set back a maximum of 2.5 m from the garage face					
4.2.3.229.5	Maximum porch area in a front yard - interior lot			12 m^2		
4.2.3.229.6	Maximum total porch area in front and exterior side yards - 20 m ² corner lot					
4.2.3.229.7	The area of all porches in front and exterior side yards shall be excluded from the calculation of lot coverage					
4.2.3.229.8		ssory buildings and so yard or exterior side	tructures shall not be located yard	in the		

4.2.3.230	Exception: RS-230	Map # 36W	By-law: 0174-2017, 0048-2025			
	In a RS-230 zone the applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:					
Permitted Use	:					
4.2.3.230.1	Lands zoned RS-230 shall of	only be used for the following:				
	(1) Semi-Detached					
Regulations						
4.2.3.230.2	The regulations of Line 5.0 By-law shall not apply	contained in Table 4.2.1 of th	is			
4.2.3.230.3	deleted					
4.2.3.230.4	Minimum rear yard - lot the and/or a berm	nat contains a noise attenuation	n wall 6.0 m			

4.2.3.231	Exception: RS-231	Map # 57	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025	
In a RS-231 zo uses/regulation	11	shall be as specified for a RS	S zone except that the following	
Permitted Us	e			
4.2.3.231.1	Lands zoned RS-231 shall of	only be used for the following	ż:	
	(1) Semi-Detached			
Regulations				
4.2.3.231.2	The regulations of Line 5.0 By-law shall not apply	contained in Table 4.2.1 of the	nis	
4.2.3.231.3	deleted			
4.2.3.231.4	deleted			
4.2.3.231.5	deleted			
4.2.3.231.6	deleted			
4.2.3.231.7	Minimum front yard - lots adjacent the front lot line	without a municipal sidewall	k 3.5 m	
4.2.3.231.8	deleted			
4.2.3.231.9	Minimum exterior side yar right-of-way width less than	rd - lots abutting a street with n 17.0 m	h a 1.8 m	
4.2.3.231.10	Minimum setback to garag	e face	5.8 m	
4.2.3.231.11	deleted			
4.2.3.231.12	Minimum setback to a sigh	t triangle	0.0 m	
4.2.3.231.13	Minimum setback of a sem	i-detached to all lands zoned	U-3 13.2 m	
4.2.3.231.14	Maximum encroachment of front and exterior side yar	f a porch or balcony into req	uired 2.0 m	
4.2.3.231.15	Maximum projection of a garage beyond either the main front entrance or beyond the main entry feature where provided			

Exception RS-231 continued on next page

4.2.3.231	Exception: RS-231	Map # 57	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025	
Exception RS	-231 continued from previous	s page		
4.2.3.231.16	Where a main entry feature projection of a garage beyon	has been provided, the maximed a main front entrance	num 5.0 m	
4.2.3.231.17	For a semi-detached more than one storey in height , where the garage projects beyond the main front entrance , the garage shall be covered by a second storey which may be set back a maximum of 2.5 m from the garage face			
4.2.3.231.18	Maximum driveway width -	4.3 m		
4.2.3.231.19	Maximum driveway width -	4.7 m		
4.2.3.231.20	Maximum garage width: measured from the inside face of the garage side walls			
4.2.3.231.21	Detached garage shall not be	permitted		

4.2.3.232	Exception: RS-232		By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025		
	one the applicable regulation ns shall apply:	s shall be as specified for a RS z	one except that the following		
Permitted Us	e				
4.2.3.232.1	Lands zoned RS-232 shall	only be used for the following:			
	(1) Semi-Detached				
Regulations					
4.2.3.232.2	The regulations of Line 5. By-law shall not apply	0 contained in Table 4.2.1 of this			
4.2.3.232.3	deleted				
4.2.3.232.4	deleted				
4.2.3.232.5	deleted				
4.2.3.232.6	deleted				
4.2.3.232.7	Minimum front yard - lot adjacent the front lot line	s without a municipal sidewalk	3.5 m		
4.2.3.232.8	deleted				
4.2.3.232.9	Minimum exterior side y aright-of-way width less tha	ard - lots abutting a street with a an 17.0 m	1.8 m		
4.2.3.232.10	Minimum setback to gara	ge face	5.8 m		
4.2.3.232.11	deleted				
4.2.3.232.12	Minimum setback to a sight triangle 0.0 m				
4.2.3.232.13	Minimum setback of a semi-detached to all lands zoned U-3 14.9 m				
4.2.3.232.14	Maximum encroachment of a porch or balcony into required 2.0 m front and exterior side yard				
4.2.3.232.15		garage beyond either the main f ain entry feature where provide			

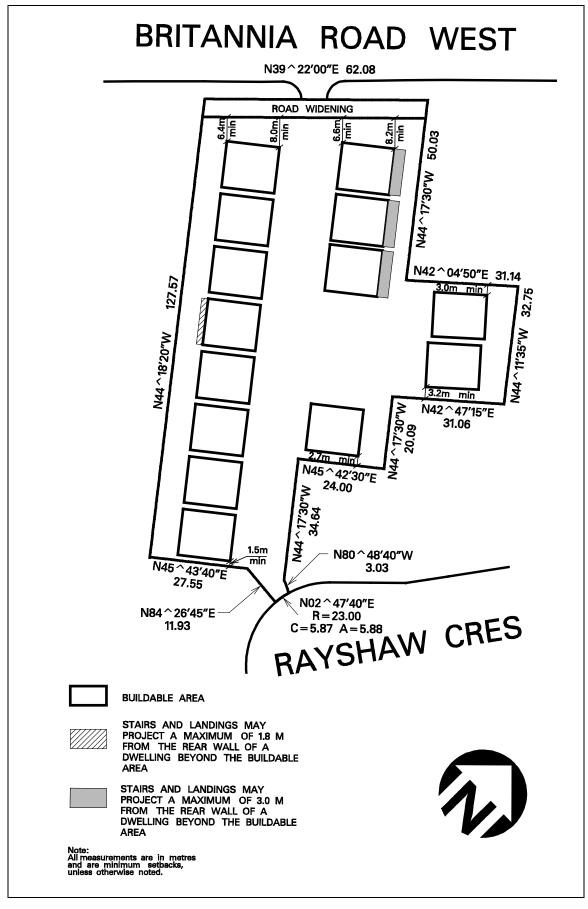
Exception RS-232 continued on next page

4.2.3.232	Exception: RS-232	Map # 57	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025		
Exception RS	-232 continued from previous	s page			
4.2.3.232.16	Where a main entry feature has been provided, the maximum 5.0 m projection of a garage beyond a main front entrance				
4.2.3.232.17	For a semi-detached more than one storey in height , where the garage projects beyond the main front entrance , the garage shall be covered by a second storey which may be set back a maximum of 2.5 m from the garage face				
4.2.3.232.18	Maximum driveway width - interior lot 4.3 m				
4.2.3.232.19	Maximum driveway width - corner lot 4.7 m				
4.2.3.232.20	Maximum garage width: measured from the inside face of the garage side walls				
4.2.3.232.21	Detached garage shall not be	e permitted			

4.2.3.233	Exception: RS-233	Map # 57	By-law: 0174 0181-2018/L 2019 Februar	
	one the applicable regulation ons shall apply:	s shall be as specified for a	RS zone except th	nat the following
Permitted Us	se			
4.2.3.233.1	Lands zoned RS-233 shall	only be used for the follow	ing:	
	(1) Semi-Detached			
Regulations				
4.2.3.233.2	The regulations of Line 5.0 By-law shall not apply	contained in Table 4.2.1 o	f this	
4.2.3.233.3	Minimum front yard - lot adjacent the front lot line	s without a municipal sidew	valk	3.5 m
4.2.3.233.4	deleted			
4.2.3.233.5	deleted			
4.2.3.233.6	Minimum exterior side ya along the exterior side lot	rd - corner lots with a 0.3 line	m reserve	4.2 m
4.2.3.233.7	Minimum setback to garag	ge face		5.8 m
4.2.3.233.8	Minimum setback to a sigh	nt triangle		0.0 m
4.2.3.233.9	Maximum encroachment o front and exterior side ya	f a porch or balcony into a	ı required	2.0 m
4.2.3.233.10	1 5	garage beyond either the main entry feature where pro		2.5 m
4.2.3.233.11		re has been provided, the nond a main front entrance		5.0 m
4.2.3.233.12	garage projects beyond the	than one storey in height, e main front entrance, the nd storey which may be set ne garage face	garage	
4.2.3.233.13	Maximum garage width: measured from the inside f	ace of the garage side wall	S	3.8 m
4.2.3.233.14	Detached garage shall not	be permitted		

4.2.3.234	Exception: RS-234	Map #	By-law: 0024-2011, deleted by 0137-2013, 0171-2015/OMB Order 2016 April 04, 0193-2016/OMB Order 2017 May 30, 0007-2022, deleted by 0048-2025

4.2.3.235	Exception: RS-235	Map # 39E	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0208-2022, 0048-2025	
	one the applicable regulations shall apply:	ns shall be as specified for a	RS zone except that the follow	wing
Permitted Us	e			
4.2.3.235.1	Lands zoned RS-235 shal (1) Semi-Detached	l only be used for the follow	ving:	
Regulations	()			
4.2.3.235.2	The regulations of Line 5 By-law shall not apply	.0 contained in Table 4.2.1	of this	
4.2.3.235.3	Maximum number of sent zoned RS-235	on all lands 28		
4.2.3.235.4	Minimum landscaped ar	ea	40% of the lot a	rea
4.2.3.235.5	Maximum height - highe sloped roof	11.0 m		
4.2.3.235.6	Minimum setback to the condominium road	Front wall of a semi-detache	ed from a 4.5 m	
4.2.3.235.7	Minimum setback to the lot line	rear wall of a semi-detache	d from a 7.5 m	
4.2.3.235.8	Minimum separation bety	veen semi-detached	1.8 m	
4.2.3.235.9	Minimum setback to gara	nge face from a condomini	um road 6.0 m	
4.2.3.235.10	Maximum projection of s of a dwelling outside the Schedule RS-235 of this			
4.2.3.235.11	Minimum number of com	s per 0.32		
4.2.3.235.12	All site development plan of this Exception	s shall comply with Schedu	le RS-235	



Schedule RS-235 Map 39E

4.2.3.236	Exception: RS-236	Map # 29	By-law: 0174-2017, 0048-2025				
	In a RS-236 zone the applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:						
Permitted Use	,						
4.2.3.236.1	Lands zoned RS-236 shall o	only be used for the following	:				
	(1) Semi-Detached						
Regulations							
4.2.3.236.2	deleted						
4.2.3.236.3	deleted						
4.2.3.236.4	deleted						
4.2.3.236.5	deleted						
4.2.3.236.6	Minimum setback to a sight	t triangle	0.0 m				
4.2.3.236.7	Minimum setback of a semi	i-detached to all lands zoned	PB1 17.15 m				
4.2.3.236.8	Maximum encroachment of a porch or balcony into a required 2.0 m front and exterior side yard						
4.2.3.236.9	Maximum driveway width 3.8 m						
4.2.3.236.10	Maximum garage width: 3.8 m measured from the inside face of the garage side walls						
4.2.3.236.11	Each dwelling shall have an attached garage						
4.2.3.236.12	Detached garage shall not b	pe permitted					

4.2.3.237	Exception: RS-237	Map # 20		7, 0181-2018/LPAT 9 February 15,			
	In a RS-237 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:						
Permitted Use							
4.2.3.237.1	Lands zoned RS-237 shall o	only be used for the following:					
	(1) Semi-Detached						
Regulations							
4.2.3.237.2	The provisions contained in shall not apply	Subsection 2.1.14 of this By-	law				
4.2.3.237.3	Maximum lot coverage - where the garage does not project more than 1.0 m beyond the main entry feature or 2.5 m beyond the main front entrance - interior lot						
4.2.3.237.4	Maximum lot coverage - al	l other lots		40%			
4.2.3.237.5	deleted						
4.2.3.237.6	Minimum interior side yard - unattached side			0.9 m			
4.2.3.237.7	Maximum height			9.0 m and 2 storeys			
4.2.3.237.8	1 5	arage beyond either the main in entry feature where provid		2.5 m			

Exception RS-237 continued on next page

4.2.3.237	Exception: RS-237	Map # 20	By-law: 0308-2011, 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025			
Exception RS	Exception RS-237 continued from previous page					
4.2.3.237.9	Where a main entry feature has been provided, the maximum 4.0 m projection of a garage beyond a main front entrance - interior lot					
4.2.3.237.10	For a semi-detached more than one storey in height , where the garage projects beyond the main front entrance , the garage shall be covered by a second storey which may be set back a maximum of 2.5 m from the garage face - interior lot					
4.2.3.237.11	Maximum porch area in a front yard - interior lot 12 m ²					
4.2.3.237.12	Maximum total porch area in front and exterior side yards - 20 m ² corner lot					
4.2.3.237.13	The area of all porches in front and exterior side yards shall be excluded from the calculation of lot coverage					
4.2.3.237.14	Accessory buildings and structures shall not be located in the front yard or exterior side yard					

4.2.3.238	Exception: RS-238	Map # 20	By-law: 0308-2011, 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025		
	one the permitted uses and ap	plicable regulations shall be as hall apply:	s specified for a RS zone		
Permitted Us	e				
4.2.3.238.1		only be used for the following:			
Dogulations	(1) Semi-Detached				
Regulations 4.2.3.238.2	The provisions contained in shall not apply	Subsection 2.1.14 of this By-	law		
4.2.3.238.3	Maximum lot coverage - where the garage does not project more than 1.0 m beyond the main entry feature or 2.5 m beyond the main front entrance - interior lot				
4.2.3.238.4	Maximum lot coverage - al	ll other lots	40%		
4.2.3.238.5	deleted				
4.2.3.238.6	Minimum interior side yar	Minimum interior side yard - unattached side			
4.2.3.238.7	Maximum height		9.0 m and 2 storeys		
4.2.3.238.8	Maximum projection of a g entrance or beyond the ma interior lot				
4.2.3.238.9	Where a main entry feature projection of a garage beyon interior lot	mum 4.0 m			
4.2.3.238.10	garage projects beyond the	than one storey in height, who main front entrance, the gar d storey which may be set bac e garage face - interior lot	rage		

Exception RS-238 continued on next page

4.2.3.238	Exception: RS-238	Map # 20	By-law: 0308-2 0174-2017, 018 Order 2019 Feb 0048-2025	31-2018/LPAT	
Exception RS-238 continued from previous page					
4.2.3.238.11	Maximum porch area in a front yard - interior lot 12 m ²			12 m ²	
4.2.3.238.12	Maximum total porch area in front and exterior side yards - 20 m ² corner lot			20 m ²	
4.2.3.238.13	The area of all porches in front and exterior side yards shall be excluded from the calculation of lot coverage				
4.2.3.238.14	Accessory buildings and structures shall not be located in the front yard or exterior side yard				

4.2.3.239	Exception: RS-239	Map # 20	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025		
	one the permitted uses and ap e following uses /regulations s	plicable regulations shall be a hall apply:	s specified for a RS zone		
Permitted Use	e				
4.2.3.239.1	Lands zoned RS-239 shall	only be used for the following	:		
	(1) Semi-Detached				
Regulations					
4.2.3.239.2	The provisions contained in shall not apply	n Subsection 2.1.14 of this By-	-law		
4.2.3.239.3	Maximum lot coverage - where the garage does not project more than 1.0 m beyond the main entry feature or 2.5 m beyond the main front entrance - interior lot				
4.2.3.239.4	Maximum lot coverage - a	ll other lots	40%		
4.2.3.239.5	Minimum interior side yai	0.9 m			
4.2.3.239.6	Maximum projection of a garage beyond either the main front entrance or beyond the main entry feature where provided - interior lot				
4.2.3.239.7	Where a main entry feature has been provided, the maximum projection of a garage beyond a main front entrance - interior lot				
4.2.3.239.8	garage projects beyond the shall be covered by a secon	than one storey in height, who main front entrance, the gaid storey which may be set bade garage face - interior lot	rage		
4.2.3.239.9	Maximum porch area in a	front yard - interior lot	12 m ²		
4.2.3.239.10	Maximum total porch area corner lot	rds - 20 m ²			
4.2.3.239.11	The area of all porches in f be excluded from the calculation	front and exterior side yards lation of lot coverage	shall		
4.2.3.239.12	Accessory buildings and st front yard or exterior side	tructures shall not be located e yard	in the		

4.2.3.240	Excep	tion: RS-240	Map # 19	By-law: 0212-2015, 0174-2017, 0048-2025		
In a RS-240 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:						
Regulations						
4.2.3.240.1	Semi-	Detached:				
	(1)	minimum lot area -	interior lot	191 m ²		
	(2)	the front lot line sha lot line abutting land	all be deemed to be the easterl ds zoned OS2	у		

4.2.3.241	Exception: RS-241	Map # 30	By-law: 0184-2008, 0174-2017, 0048-2025	
	one the applicable regulations ns shall apply:	shall be as specified for a	RS zone except that the following	
Permitted Us	e			
4.2.3.241.1	Lands zoned RS-241 shall of	only be used for the followi	ng:	
	(1) Semi-Detached			
Regulations				
4.2.3.241.2	deleted			
4.2.3.241.3	Minimum lot area - corner lot 250 m ²			
4.2.3.241.4	Minimum lot frontage - corner lot 8.2 m			
4.2.3.241.5	Maximum lot coverage		50%	
4.2.3.241.6	deleted			
4.2.3.241.7	Minimum interior side yar	d - unattached side	1.2 m	
4.2.3.241.8	Maximum encroachment of required front yard or exte		the 2.0 m	
4.2.3.241.9	Maximum height		11.0 m	
4.2.3.241.10	Maximum driveway width 3.8 m			
4.2.3.241.11	Minimum setback to a sight triangle 0.0 m			
4.2.3.241.12	Maximum area of a balcony on top of an attached garage 6 m ²			
4.2.3.241.13	A detached garage shall no	t be permitted		

4.2.3.242	Exception: RS-242	Map # 30	By-law: 0184-2008, 0174-2017, 0048-2025			
	In a RS-242 zone the applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:					
Permitted Use	:					
4.2.3.242.1	Lands zoned RS-242 shall o	only be used for the following:	:			
	(1) Semi-Detached					
Regulations						
4.2.3.242.2	deleted					
4.2.3.242.3	Minimum lot area - corner	lot	250 m^2			
4.2.3.242.4	deleted					
4.2.3.242.5	deleted					
4.2.3.242.6	Maximum lot coverage		50%			
4.2.3.242.7	deleted					
4.2.3.242.8	Minimum interior side yar	d - unattached side	1.2 m			
4.2.3.242.9	Minimum rear yard		6.0 m			
4.2.3.242.10	Maximum encroachment of required front yard or exte	a porch or a balcony into the rior side yard	e 2.0 m			
4.2.3.242.11	Maximum height		11.0 m			
4.2.3.242.12	Maximum driveway width		50% of lot frontage			
4.2.3.242.13	Minimum setback to a sight	t triangle	0.0 m			
4.2.3.242.14	Maximum area of a balcony on top of an attached garage 6 m ²					
4.2.3.242.15	A detached garage shall no	t be permitted				

4.2.3.243	Excep	tion: RS-243	Map # 29	By-law: 0286-2008, 0379-2009, 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025	
except that the	In a RS-243 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:				
Regulations					
4.2.3.243.1	Detac	hed Dwelling:			
	(1)	the regulations of Subsection 2.1.14 of this By-law shall not apply			
	(2)	maximum lot coverage 45%			
	(3)	minimum setback to	garage face	7.0 m	
	(4)	deleted			
	(5)	minimum setback to Eglinton Avenue West 7.5 m			
	(6)	minimum setback to Confederation Parkway 6.0 m			
	(7)	maximum area of a	balcony on top of an attached	garage 12 m ²	

Exception RS-243 continued on next page

4.2.3.243	Ехсер	otion: RS-243	Map # 29	By-law: 0286-20 0379-2009, 017- 0181-2018/LPA 2019 February 1	4-2017, T Order
Exception RS-	-243 co	ntinued from previou	us page		
4.2.3.243.2	Semi-	Detached:			
	(1)	the regulations of Su not apply	bsection 2.1.14 of this By-lav	w shall	
	(2)	maximum lot coverage 48%			48%
	(3)	minimum setback to garage face 7.0 m		7.0 m	
	(4)	minimum interior side yard - unattached side 1.2 m		1.2 m	
	(5)	minimum rear yard 7.0 m		7.0 m	
	(6)	minimum setback to Eglinton Avenue West 7.5 m		7.5 m	
	(7)	minimum setback to Confederation Parkway 6.0 m		6.0 m	
	(8)	maximum area of a l	palcony on top of an attached	l garage	12 m ²

4.2.3.244	Exception: RS-244	Map # 37W	By-law: 0024-2011, 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025		
	In a RS-244 zone the applicable regulations shall be as specified for a RS zone except that the following uses/regulations shall apply:				
Permitted Use	,				
4.2.3.244.1	Lands zoned RS-244 shall of	only be used for the following:	:		
	(1) Semi-Detached				
Regulations					
4.2.3.244.2	deleted				
4.2.3.244.3	deleted				
4.2.3.244.4	deleted				
4.2.3.244.5	Maximum lot coverage		50%		
4.2.3.244.6	Minimum setback to garag	e face	7.0 m		
4.2.3.244.7	Minimum rear yard 7.0 m				
4.2.3.244.8	accessible from the first sto	f a porch or a deck , located at orey or below the first storey s, into a required front and/or			

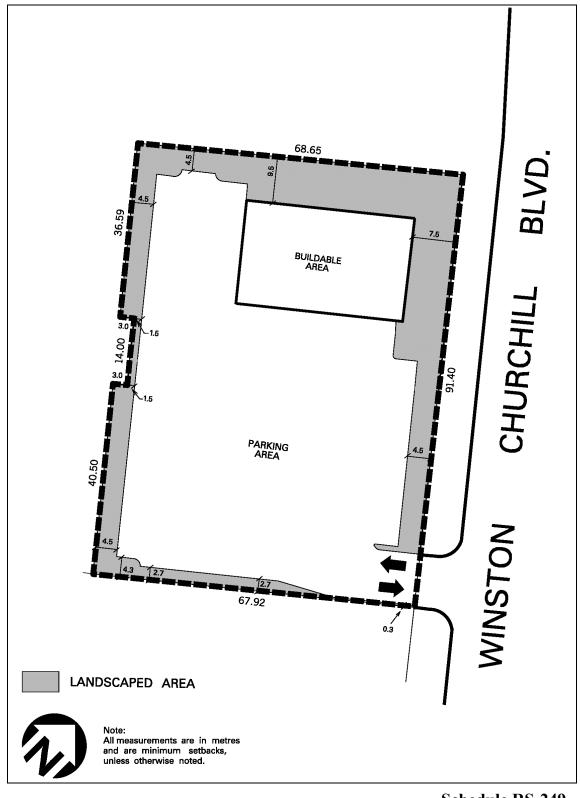
4.2.3.245	Exception: RS-245	Map # 37W	By-law: 0024-2011, 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RS-245 zo uses/regulation		shall be as specified for a RS	zone except that the following
Permitted Use	2		
4.2.3.245.1	Lands zoned RS-245 shall (1) Semi-Detached	only be used for the following	
Regulations			
4.2.3.245.2	deleted		
4.2.3.245.3	Minimum lot area - corner	·lot	260 m^2
4.2.3.245.4	Maximum lot coverage		50%
4.2.3.245.5	Minimum setback to garag	e face	7.0 m
4.2.3.245.6	Minimum rear yard		7.0 m
4.2.3.245.7	accessible from the first sto	Fa porch or a deck, located at orey or below the first storey, into a required front and/or	

4.2.3.246	Exception: RS-246	Map # 56	By-law: 0146-2012, 0174-2017, 0048-2025		
	In a RS-246 zone the applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:				
Permitted Use					
4.2.3.246.1	Lands zoned RS-246 shall o	only be used for the following:			
	(1) Semi-Detached				
Regulations					
4.2.3.246.2	.2.3.246.2 The provisions contained in Subsection 2.1.14 of this By-law shall not apply				
4.2.3.246.3	4.2.3.246.3 The lot line abutting Ninth Line shall be deemed to be the front lot line				
4.2.3.246.4	Minimum lot frontage - interior lot 6.7 m				
4.2.3.246.5	Minimum rear yard 6.0 m				
4.2.3.246.6	Detached garage Required				
4.2.3.246.7	Minimum setback of a sem	i-detached to a detached gara	ge 5.7 m		

4.2.3.247	Exception: RS-247	Map # 57	By-law: 0055-2012, 0174-2017, 0181-2018/LPA Order 2019 February 15, 0048-2025
In a RS-247 zo uses/regulation		s shall be as specified for	or a RS zone except that the following
Permitted Use	e		
4.2.3.247.1	Lands zoned RS-247 shall of	only be used for the fol	lowing:
	(1) Semi-Detached		
Regulations			
4.2.3.247.2	Minimum lot area - interio	or lot	193 m ²
4.2.3.247.3	Minimum lot area - corner	r lot	252 m ²
4.2.3.247.4	deleted		
4.2.3.247.5	Maximum lot coverage		55%
4.2.3.247.6	Minimum front yard - lots adjacent the front lot line	s without a municipal si	dewalk 3.5 m
4.2.3.247.7	deleted		
4.2.3.247.8	Minimum interior side yaı	1.2 m	
4.2.3.247.9	Minimum rear yard where public lane	an 8.0 m 6.0 m	
4.2.3.247.10	Minimum rear yard - all o	7.0 m	
4.2.3.247.11	Minimum setback to garag	5.8 m	
4.2.3.247.12	Maximum driveway width	4.3 m	
4.2.3.247.13	Maximum driveway width	4.7 m	
4.2.3.247.14	Maximum garage width: measured from the inside face of the garage side walls 3.8 m		
4.2.3.247.15	Maximum encroachment of front and exterior side yar		to the required 2.0 m
4.2.3.247.16	Minimum setback of stairs lot lines	from the front and exte	erior side 1.0 m
4.2.3.247.17	Maximum projection of a g entrance or beyond the ma		
4.2.3.247.18	Where a main entry featur projection of a garage beyon		
4.2.3.247.19	For a semi-detached more garage projects beyond the 75% of the width of the gar the garage walls, shall be compared be set back a maximum of 2000.	main front entrance, rage measured from the covered by a second sto	a minimum of e inside face of rey which may
4.2.3.247.20	Maximum area of a balcon	rage 10 m ²	
4.2.3.247.21	Maximum projection of a b	ned garage 1.0 m	
4.2.3.247.22	Minimum setback to a sigh	0.0 m	

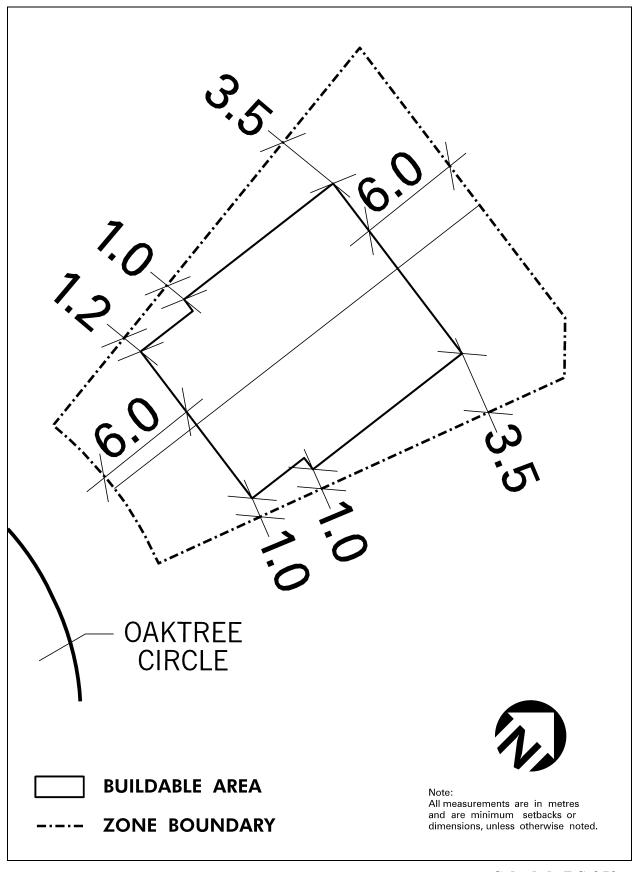
4.2.3.248	Exception: RS-248	Map # 57	By-law: 0055-2012, 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025		
	In a RS-248 zone the applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:				
Permitted Use	2				
4.2.3.248.1	Lands zoned RS-248 shall of	only be used for the following	:		
	(1) Semi-Detached				
Regulations					
4.2.3.248.2	deleted				
4.2.3.248.3	deleted				
4.2.3.248.4	Minimum lot area - corner	· lot	224 m ²		
4.2.3.248.5	deleted				
4.2.3.248.6	Minimum lot frontage - co	rner lot	7.6 m		
4.2.3.248.7	Maximum lot coverage		55%		
4.2.3.248.8	Minimum front yard - lots adjacent the front lot line	without a municipal sidewalk	3.5 m		
4.2.3.248.9	deleted				
4.2.3.248.10	Detached garage shall be required and shall only be permitted in the rear yard				
4.2.3.248.11	Minimum setback of a detached garage to interior side lot line unattached side - interior lot 0.8 m				
4.2.3.248.12	Minimum setback of a detached garage to interior side lot line attached side - interior lot 0.0 m				
4.2.3.248.13	Minimum rear yard where the rear lot line abuts an 8.0 m public lane 6.0 m				
4.2.3.248.14	Minimum rear yard - all o	ther lots	7.0 m		
4.2.3.248.15	Minimum setback to garag	e face	5.8 m		
4.2.3.248.16	Minimum setback of a deta	ched garage to a rear lot line	e 0.5 m		
4.2.3.248.17	Maximum driveway width		6.5 m		
4.2.3.248.18	Maximum garage width: 5.7 m measured from the inside face of the garage side walls				
4.2.3.248.19	Minimum setback of a detached garage to the semi-detached on the same lot 6.0 m				
4.2.3.248.20	Maximum encroachment of front and exterior side yar	f a porch or balcony into the d	required 2.0 m		
4.2.3.248.21	Minimum setback of stairs from the front and exterior side 1.0 m lot lines				
4.2.3.248.22	Minimum setback to a sight triangle 0.0 m				
4.2.3.248.23	The lot line abutting Tenth front lot line	Line West shall be deemed to	be the		

4.2.3.249	Excep	tion: RS-249	Map # 56	By-law: 0032-2017, 0048-2025	
In a RS-249 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:					
Regulations					
4.2.3.249.1	A place of religious assembly shall comply with the regulations contained in Article 2.1.9.3 of this By-law except that:				
	(1)	maximum gross floor area - non-residential 1 140 m ²			
	(2)	maximum worship area 325 m ²			
	(3)	all site development plans for a place of religious assembly shall comply with Schedule RS-249 of this Exception			



Schedule RS-249 Map 56

4 2 2 250	E	4: BS 250	Man # 44E	Dr. 1 0105 2024	
4.2.3.250	Ехсер	tion: RS-250	Map # 44E	By-law: 0105-2024, 0048-2025	
		permitted uses and ap ng uses /regulations s	plicable regulations shall be hall apply:	as specified for a RS zone	
Regulations					
4.2.3.250.1	Minim	num lot area - interi o	or lot	190 m ²	
4.2.3.250.2			ect outside the buildable are 250 of this Exception	ea	
4.2.3.250.3	porch		4.2.3.250.4 of this Exception with the provisions contain law		
4.2.3.250.4		e development plans Exception	shall comply with Schedule	RS-250	
Holding Provi	ision				
	part of Map 4	the lands zoned H-R 4E of Schedule B con	be removed from the whole SS-250 by further amendmentained in Part 13 of this By of the following requirement	at to -law, as	
	(1)(2)(3)	Municipal and Region form and on terms so City of Mississauga submission of a Dra required land dedication including part block City and the Region	ft Reference Plan illustrating ations, conveyances, and eas numbers, to the satisfaction of Peel ("Region");	s in a on of the g the ements of the	
	(4) (5)	gratuitous dedication of lands to achieve the ultimate 50.5 m right-of-way of Regional Road 5 (Derry Road West), as well as a 0.3 m reserve, to the satisfaction of the Region; submission of a revised Functional Servicing and Stormwater Management Report to the satisfaction of the City's Transportation and Works Department and the Region; submission of a revised Traffic Impact Study (TIS) to the			
	(6)(7)	Department, Munici submission of a deta road and access wor satisfaction of the R submission of revise	ity's Transportation and Wo ipal Parking Section, and the illed engineering submission iks impacting Derry Road Wegion; ed Grading and Servicing Plaity's Transportation and Wo	e Region; a for the lest, to the lans to the	
	(8)	Planning and Buildi submission of a revi satisfaction of the C Department;	ng Departments; sed Noise Feasibility Study ity's Planning and Building	to the	
	(9)	Environmental Site By-law Acknowledge for environmental concepts Transportation submission of a review Preservation Plan, a	sed Phase One and Phase To Assessment, Storm Sewer Ugment and related document compliance to the satisfaction in and Works Department; sed Tree Inventory/Survey, and Arborist Report to the satisfaction and Building Department.	Tse s required of the Tree tisfaction	



Schedule RS-250 Map 44E

4.2.3.251	Excep	otion: RS-251	Map # 48W	By-law: 0132-2017, 0048-2025		
	In a RS-251 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:					
Regulation						
4.2.3.251.1	Maxi	mum number of semi-	detached dwelling units	26		
Holding Prov	ision					
	The holding symbol H is to be removed from the whole or any part of the lands zoned H-RS-251 by further amendment to Map 48W of Schedule B contained in Part 13 of this By-law, as amended, upon satisfaction of the following requirements:					
	(1) submission of a complete Record of Site Condition (RSC) and final Environmental Report satisfactory to the City confirming satisfactory environmental remediation of the lands;					
	(2) delivery of an executed agreement for community benefits pursuant to section 37 of the <i>Planning Act</i> , as amended, in a form and on terms satisfactory to the City.					

4.2.3.252	Exception: RS-252	Map # 15	By-law: 0084-2021, 0048-2025		
In a RS-252 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply: Regulation					
4.2.3.252.1	4.2.3.252.1 A semi-detached shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:				
	(1) minimum lot fro	ontage - corner lot	9.0 m		

4.2.3.253	Exception: RS-253	Map # 44W	By-law: 0009-2022, 0048-2025			
In a RS-253 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:						
Regulation						
4.2.3.253.1	Maximum lot coverage		48%			

4.2.3.254	Exception: RS-254	Map #	By-law: 0048-2025