

4.2.3

Residential Small Lot Exception Zones  
(0325-2008), (0308-2011), (0190-2014), (0048-2025)

Refer to Article 1.1.2.3 - Exception Zones and Exception Zone Schedules

4.2.3.1	Exception: RS-1	Map # 48W	By-law: 0225-2016, 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RS-1 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RS zone except that the following <b>uses</b> /regulations shall apply:			
<b>Regulations</b>			
4.2.3.1.1	<i>deleted</i>		
4.2.3.1.2	<i>deleted</i>		
4.2.3.1.3	<i>deleted</i>		
4.2.3.1.4	A <b>detached dwelling</b> shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:  (1)     minimum <b>interior side yard</b>		
			1.2 m + 0.61 m for each additional <b>storey</b> , or portion thereof, above one <b>storey</b>
4.2.3.1.5	<i>deleted</i>		
4.2.3.1.6	<i>deleted</i>		
4.2.3.1.7	<i>deleted</i>		
4.2.3.1.8	<i>deleted</i>		
4.2.3.1.9	Maximum <b>gross floor area - infill residential</b>		100 m <sup>2</sup> plus 0.2 times the <b>lot area</b>
4.2.3.1.10	<b>Garage</b> projection: maximum projection of the <b>garage</b> beyond the <b>front wall</b> or <b>exterior side wall</b> of the <b>first storey</b>		2.0 m
4.2.3.1.11	<i>deleted</i>		

4.2.3.2	Exception: RS-2	Map #	By-law: 0379-2009, 0181-2018/LPAT Order 2019 February 15, <i>deleted by</i> <i>0048-2025</i>

4.2.3.3	Exception: RS-3	Map # 26, 55	By-law: 0379-2009, 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RS-3 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RS zone except that the following <b>uses</b> /regulations shall apply:			
<b>Regulations</b>			
4.2.3.3.1	<i>deleted</i>		
4.2.3.3.2	<i>deleted</i>		
4.2.3.3.3	Minimum <b>interior side yard - interior lot</b>		1.2 m
4.2.3.3.4	Minimum <b>interior side yard - interior lot</b> , for that part of a <b>lot</b> that adjoins a one <b>storey garage</b> or a wall of a main <b>building</b> containing no windows or doors into a <b>habitable room</b>		0.61 m
4.2.3.3.5	<i>deleted</i>		
4.2.3.3.6	<i>deleted</i>		

4.2.3.4	Exception: RS-4	Map # 47, 48E	By-law: 0379-2009, 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RS-4 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RS zone except that the following <b>uses</b> /regulations shall apply:			
<b>Regulations</b>			
4.2.3.4.1	<i>deleted</i>		
4.2.3.4.2	<i>deleted</i>		
4.2.3.4.3	Maximum <b>gross floor area - residential</b>		0.6 times the <b>lot area</b>
4.2.3.4.4	<i>deleted</i>		
4.2.3.4.5	<i>deleted</i>		

4.2.3.5	Exception: RS-5	Map # 27	By-law: 0048-2025
In a RS-5 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RS zone except that the following <b>uses</b> /regulations shall apply:			
<b>Regulations</b>			
4.2.3.5.1	Minimum <b>interior side yard - interior lot</b>		1.2 m
4.2.3.5.2	Minimum <b>interior side yard - interior lot</b> , for that part of a <b>lot</b> that adjoins a one <b>storey garage</b> or a wall of a main <b>building</b> containing no windows or doors into a <b>habitable room</b>		0.61 m
4.2.3.5.3	<i>deleted</i>		
4.2.3.5.4	Minimum <b>rear yard</b> where lands abut a PB1 zone		13.5 m

4.2.3.6	Exception: RS-6	Map # 21	By-law: 0048-2025
In a RS-6 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RS zone except that the following <b>uses</b> /regulations shall apply:			
<b>Regulations</b>			
4.2.3.6.1	<i>deleted</i>		
4.2.3.6.2	<i>deleted</i>		
4.2.3.6.3	Minimum <b>interior side yard - interior lot</b>		1.2 m
4.2.3.6.4	Minimum <b>interior side yard - interior lot</b> , for that part of a <b>lot</b> that adjoins a one <b>storey garage</b> or a wall of a main <b>building</b> containing no windows or doors into a <b>habitable room</b>		0.61 m
4.2.3.6.5	<i>deleted</i>		
4.2.3.6.6	<i>deleted</i>		

4.2.3.7	Exception: RS-7	Map # 28	By-law: 0379-2009, 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RS-7 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RS zone except that the following <b>uses</b> /regulations shall apply:			
<b>Regulations</b>			
4.2.3.7.1	<i>deleted</i>		
4.2.3.7.2	<i>deleted</i>		
4.2.3.7.3	<i>deleted</i>		
4.2.3.7.4	Minimum <b>interior side yard - interior lot</b>		1.2 m
4.2.3.7.5	Minimum <b>interior side yard - interior lot</b> , for that part of a <b>lot</b> that adjoins a one <b>storey garage</b> or a wall of a main <b>building</b> containing no windows or doors into a <b>habitable room</b>		0.61 m
4.2.3.7.6	<i>deleted</i>		
4.2.3.7.7	A <b>detached dwelling</b> shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1)	minimum <b>interior side yard - corner lot</b>	7.5 m
	(2)	minimum <b>rear yard - corner lot</b>	1.2 m
4.2.3.7.8	<i>deleted</i>		

4.2.3.8	Exception: RS-8	Map # 28	By-law: 0379-2009, 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RS-8 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RS zone except that the following <b>uses</b> /regulations shall apply:			
<b>Regulations</b>			
4.2.3.8.1	<i>deleted</i>		
4.2.3.8.2	<i>deleted</i>		
4.2.3.8.3	A <b>detached dwelling</b> shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:  (1) <b>minimum rear yard</b> <span style="float:right">1.2 m</span>		
4.2.3.8.4	The <b>lot line</b> abutting Wilcox Road shall be deemed to be the <b>front lot line</b>		
4.2.3.8.5	<i>deleted</i>		

4.2.3.9	Exception: RS-9	Map #	By-law: 0379-2009, 0181-2018/LPAT Order 2019 February 15, <i>deleted by</i> <i>0048-2025</i>

4.2.3.10	Exception: RS-10	Map # 24	By-law: 0048-2025
In a RS-10 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RS zone except that the following <b>uses</b> /regulations shall apply:			
<b>Regulation</b>			
4.2.3.10.1	<i>deleted</i>		
4.2.3.10.2	<i>deleted</i>		
4.2.3.10.3	Minimum <b>gross floor area - residential</b> <span style="float:right">148 m<sup>2</sup></span>		

4.2.3.11	Exception: RS-11	Map #	By-law: 0379-2009, 0181-2018/LPAT Order 2019 February 15, <i>deleted by</i> <i>0048-2025</i>

4.2.3.12	Exception: RS-12	Map # 10, 31	By-law: 0048-2025
In a RS-12 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RS zone except that the following <b>uses</b> /regulations shall apply:			
<b>Regulations</b>			
4.2.3.12.1	Minimum <b>interior side yard</b> of all <b>buildings</b> and <b>structures</b> and <b>swimming pools</b> where lands abut a G1 and/or B zone		3.0 m
4.2.3.12.2	Minimum setback of a <b>swimming pool</b> to the <b>rear lot line</b> where lands abut a G1 zone		3.0 m

4.2.3.13	Exception: RS-13	Map #	By-law: 0379-2009, 0181-2018/LPAT Order 2019 February 15, <i>deleted by 0048-2025</i>

4.2.3.14	Exception: RS-14	Map # 26, 28, 29, 36W	By-law: 0379-2009, 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RS-14 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RS zone except that the following <b>uses</b> /regulations shall apply:			
<b>Regulations</b>			
4.2.3.14.1	<i>deleted</i>		
4.2.3.14.2	<i>deleted</i>		
4.2.3.14.3	<i>deleted</i>		
4.2.3.14.4	Maximum <b>lot coverage</b>		45%
4.2.3.14.5	<i>deleted</i>		
4.2.3.14.6	<i>deleted</i>		
4.2.3.14.7	Maximum <b>gross floor area - residential</b>		0.6 times the <b>lot area</b>
4.2.3.14.8	<i>deleted</i>		

4.2.3.15	Exception: RS-15	Map # 10, 38W	By-law: 0048-2025
In a RS-15 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RS zone except that the following <b>uses</b> /regulations shall apply:			
<b>Regulation</b>			
4.2.3.15.1	<i>deleted</i>		
4.2.3.15.2	Maximum <b>gross floor area - residential</b>		0.6 times the <b>lot area</b>

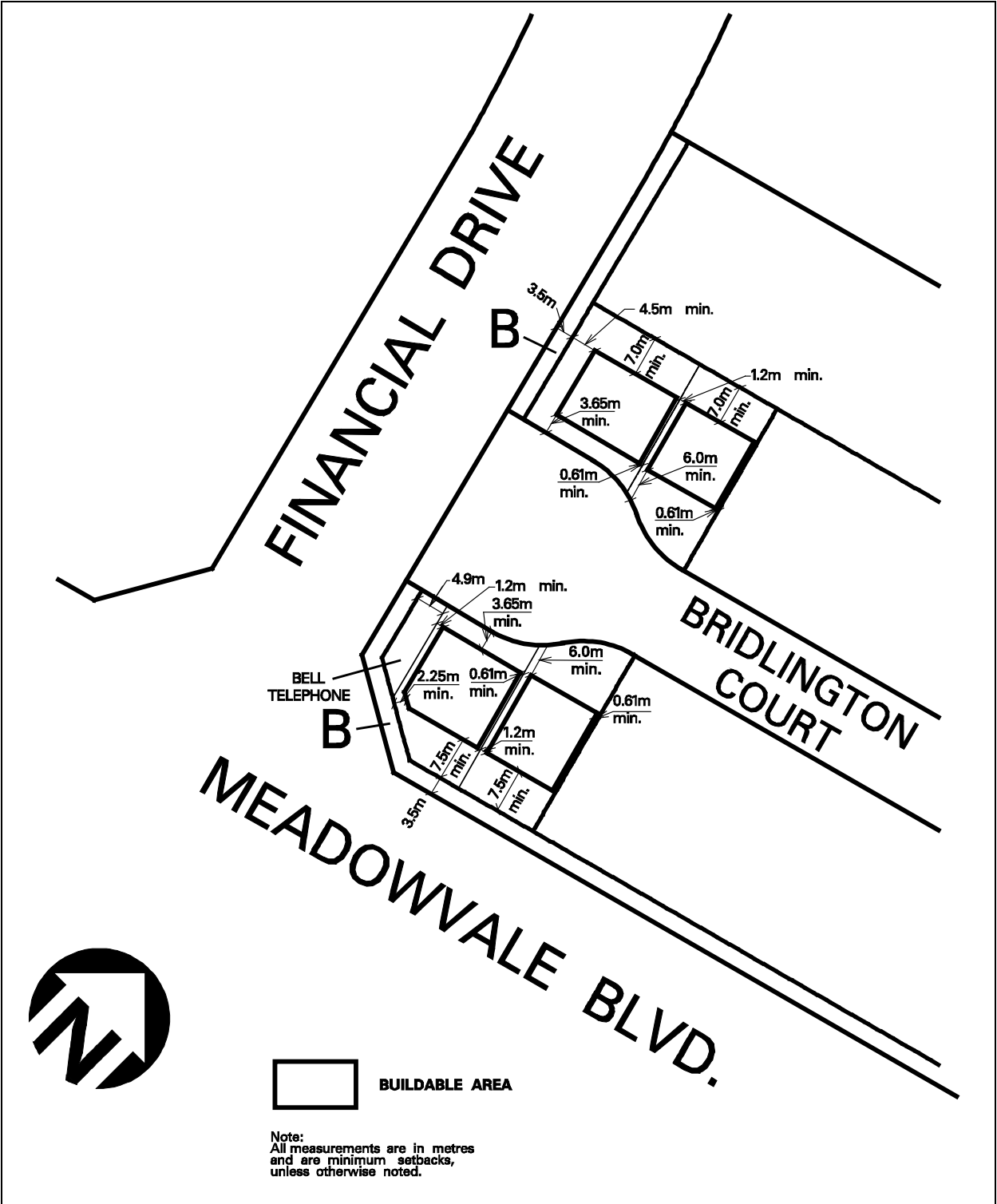
4.2.3.16	Exception: RS-16	Map # 36W, 37E	By-law: 0048-2025
In a RS-16 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RS zone except that the following <b>uses</b> /regulations shall apply:			
<b>Regulations</b>			
4.2.3.16.1	<i>deleted</i>		
4.2.3.16.2	<i>deleted</i>		
4.2.3.16.3	Maximum <b>lot coverage</b>	45%	
4.2.3.16.4	Maximum <b>gross floor area - residential</b>	0.6 times the <b>lot area</b>	

4.2.3.17	Exception: RS-17	Map # 31	By-law: 0048-2025
In a RS-17 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RS zone except that the following <b>uses</b> /regulations shall apply:			
<b>Regulation</b>			
4.2.3.17.1	Minimum setback of a <b>detached dwelling</b> to a railway right-of-way	22.0 m	

4.2.3.18	Exception: RS-18	Map # 37W, 38W	By-law: 0048-2025
In a RS-18 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RS zone except that the following <b>uses</b> /regulations shall apply:			
<b>Regulation</b>			
4.2.3.18.1	<i>deleted</i>		
4.2.3.18.2	<i>deleted</i>		
4.2.3.18.3	Maximum <b>lot coverage</b>	45%	

4.2.3.19	Exception: RS-19	Map # 22, 27, 29, 37E, 37W, 38E, 38W	By-law: 0379-2009, 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RS-19 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RS zone except that the following <b>uses</b> /regulations shall apply:			
<b>Regulations</b>			
4.2.3.19.1	<i>deleted</i>		
4.2.3.19.2	<i>deleted</i>		
4.2.3.19.3	<i>deleted</i>		
4.2.3.19.4	Maximum <b>lot coverage</b>	45%	
4.2.3.19.5	<i>deleted</i>		
4.2.3.19.6	<i>deleted</i>		
4.2.3.19.7	<i>deleted</i>		

4.2.3.20	Exception: RS-20	Map # 53W	By-law: 0048-2025
In a RS-20 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RS zone except that the following <b>uses</b> /regulations shall apply:			
<b>Regulations</b>			
4.2.3.20.1	<i>deleted</i>		
4.2.3.20.2	<i>deleted</i>		
4.2.3.20.3	<i>deleted</i>		
4.2.3.20.4	Maximum <b>lot coverage</b>		45%
4.2.3.20.5	Maximum encroachment of a <b>porch</b> into the required <b>front</b> and <b>exterior side yards</b>		1.8 m
4.2.3.20.6	All site development plans shall comply with Schedule RS-20 of this Exception		



Schedule RS-20  
Map 53W

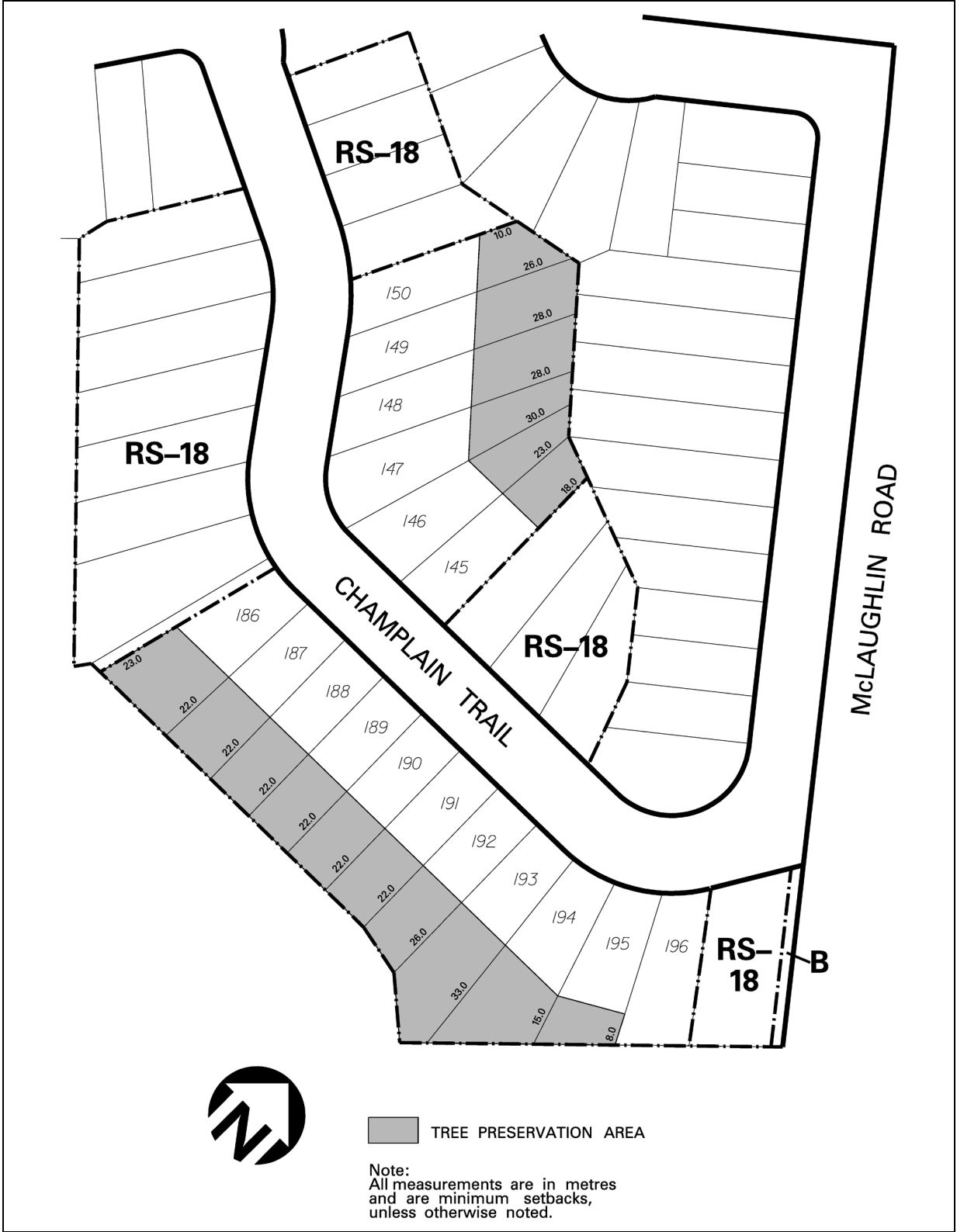
4.2.3.21	Exception: RS-21	Map # 22, 30, 36W, 37E, 37W	By-law: 0379-2009, 0265-2016, 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RS-21 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RS zone except that the following <b>uses</b> /regulations shall apply:			
<b>Regulations</b>			
4.2.3.21.1	<i>deleted</i>		
4.2.3.21.2	<i>deleted</i>		
4.2.3.21.3	<i>deleted</i>		
4.2.3.21.4	<i>deleted</i>		
4.2.3.21.5	Maximum <b>lot coverage</b>		45%
4.2.3.21.6	<i>deleted</i>		
4.2.3.21.7	<i>deleted</i>		
4.2.3.21.8	Minimum setback of a <b>detached dwelling</b> , excluding attached <b>garage</b> , to a railway right-of-way		30.0 m
4.2.3.21.9	<i>deleted</i>		

4.2.3.22	Exception: RS-22	Map #	By-law: 0379-2009, 0181-2018/LPAT Order 2019 February 15, <i>deleted by 0048-2025</i>

4.2.3.23	Exception: RS-23	Map #	By-law: <i>deleted by 0048-2025</i>

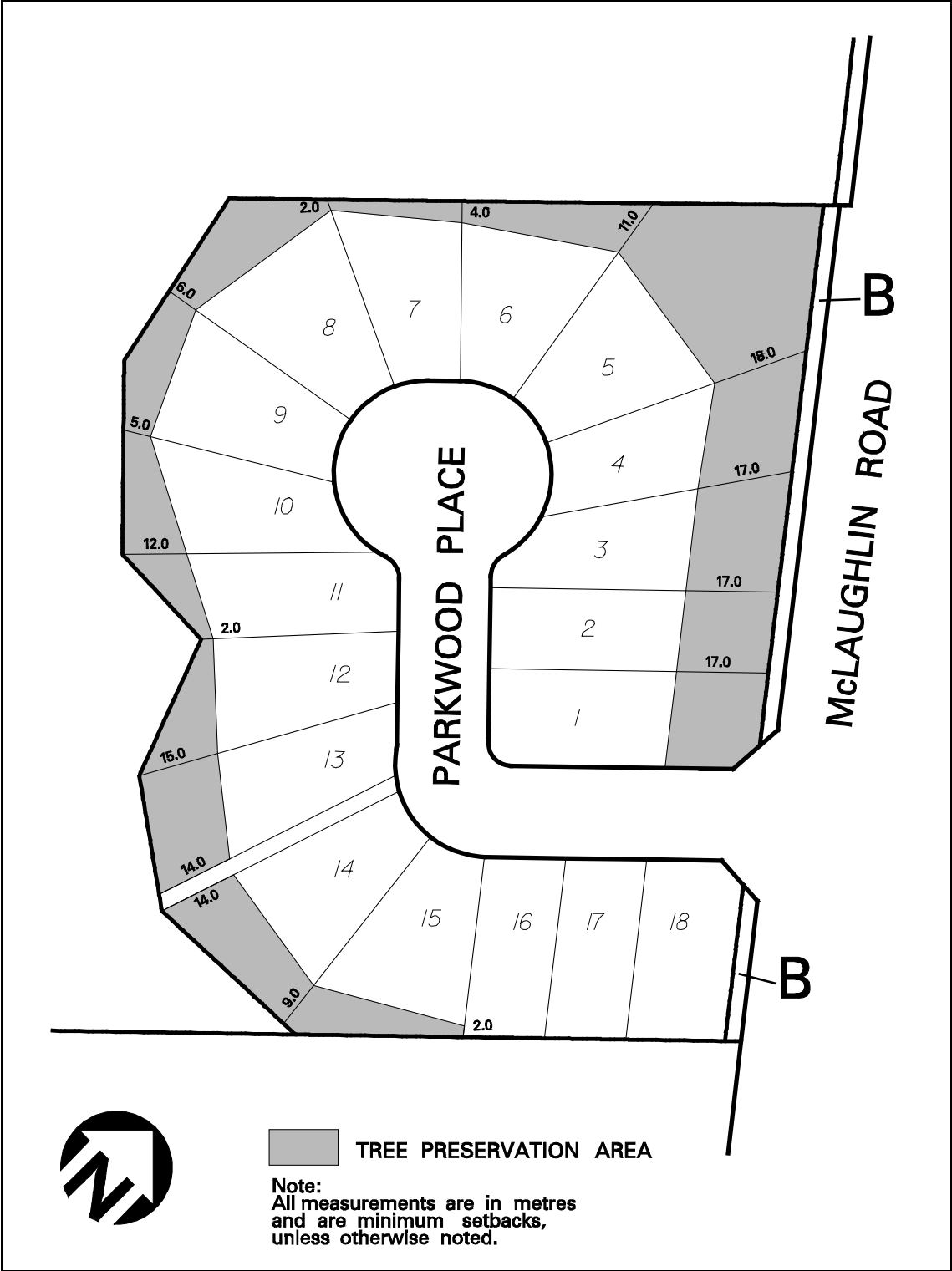


4.2.3.24	Exception: RS-24	Map # 37W	By-law: 0048-2025
In a RS-24 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RS zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulation</b>			
4.2.3.24.1	The areas identified on Schedule RS-24 of this Exception as a tree preservation area, shall only be used for conservation purposes, and no <b>buildings or structures, swimming pools, tennis courts</b> or any like recreational facilities, except for fences along the <b>lot lines</b> , shall be permitted		



Schedule RS-24  
Map 37W

4.2.3.25	Exception: RS-25	Map # 37W	By-law: 0048-2025
In a RS-25 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RS zone except that the following <b>uses</b> /regulations shall apply:			
<b>Regulations</b>			
4.2.3.25.1	The areas identified on Schedule RS-25 of this Exception as a tree preservation area, shall only be used for conservation purposes, and no <b>buildings</b> or <b>structures</b> , <b>swimming pools</b> , tennis courts or any like recreational facilities, except for fences along the <b>lot lines</b> , shall be permitted		
4.2.3.25.2	Minimum setback of all <b>buildings</b> and <b>structures</b> to the tree preservation area identified on Schedule RS-25 of this Exception	7.0 m	



Schedule RS-25  
Map 37W

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Part 4 - Residential Zones

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4.2.3.26	Exception: RS-26	Map # 54W	By-law: 0048-2025
In a RS-26 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RS zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.2.3.26.1	Minimum <b>rear yard</b> - where <b>rear lot line</b> abuts a B zone		19.0 m
4.2.3.26.2	Minimum setback of all <b>buildings</b> and <b>structures</b> and in-ground <b>swimming pools</b> to all lands zoned U-3		16.0 m

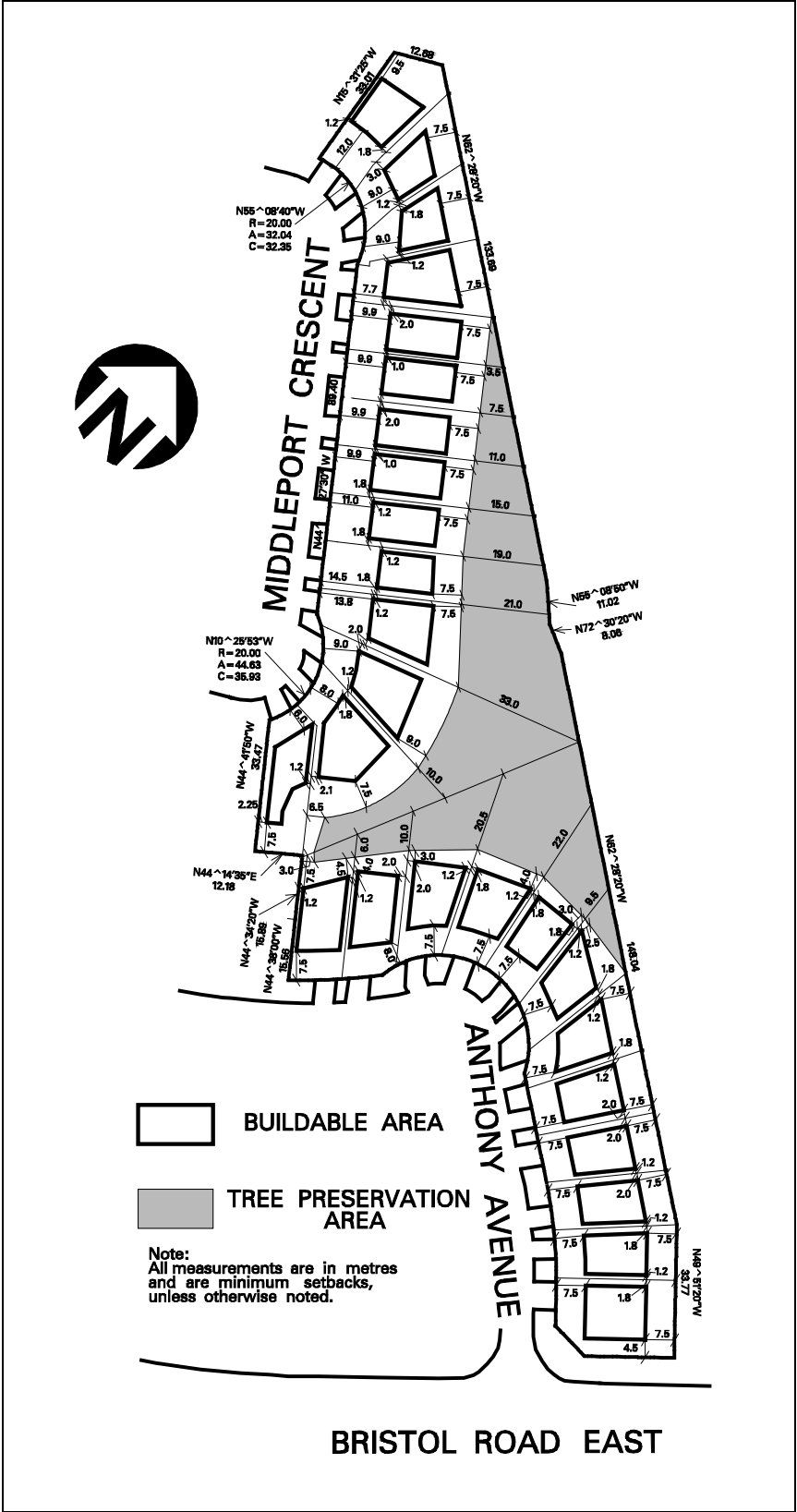
4.2.3.27	Exception: RS-27	Map # 37W, 54W	By-law: 0048-2025
In a RS-27 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RS zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulation</b>			
4.2.3.27.1	<i>deleted</i>		
4.2.3.27.2	Minimum setback of all <b>buildings</b> and <b>structures</b> and in-ground <b>swimming pools</b> to all lands zoned U-3		13.0 m

4.2.3.28	Exception: RS-28	Map # 10	By-law: 0048-2025
In a RS-28 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RS zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.2.3.28.1	Minimum setback of all <b>buildings</b> and <b>structures</b> and <b>swimming pools</b> to a side <b>lot line</b> abutting a G1 zone		4.5 m
4.2.3.28.2	Minimum <b>rear yard</b> - where <b>rear lot line</b> abuts a B zone		16.5 m

4.2.3.29	Exception: RS-29	Map # 56	By-law: 0048-2025
In a RS-29 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RS zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulation</b>			
4.2.3.29.1	Minimum setback of all <b>buildings</b> and <b>structures</b> to a gas line transmission easement located within the abutting G1 and U-3 zones		15.0 m

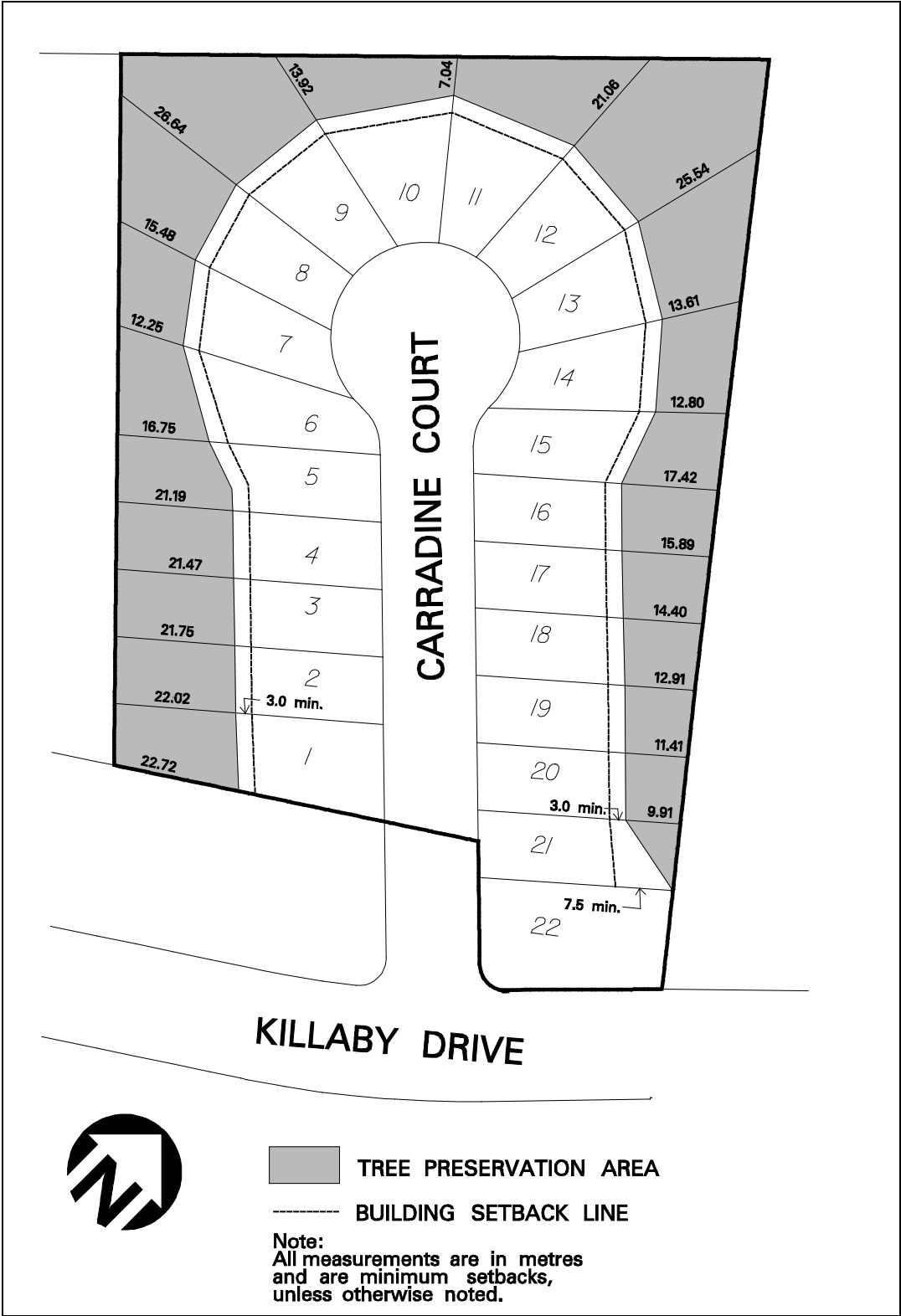
4.2.3.30	Exception: RS-30	Map # 36W	By-law: 0048-2025
In a RS-30 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RS zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulation</b>			
4.2.3.30.1	<i>deleted</i>		
4.2.3.30.2	Minimum <b>interior side yard</b> - <b>interior lot</b> , for that part of the side <b>yard</b> that adjoins an attached <b>garage</b>		0.9 m

4.2.3.31	Exception: RS-31	Map # 36W	By-law: 0048-2025
In a RS-31 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RS zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.2.3.31.1	The areas identified on Schedule RS-31 of this Exception as a tree preservation area, shall only be used for conservation purposes, and no <b>buildings or structures, swimming pools, tennis courts</b> or any like recreational facilities, except for fences along the <b>lot lines</b> , shall be permitted		
4.2.3.31.2	All site development plans shall comply with Schedule RS-31 of this Exception		



Schedule RS-31  
Map 36W

4.2.3.32	Exception: RS-32	Map # 45E	By-law: 0048-2025
In a RS-32 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RS zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulation</b>			
4.2.3.32.1	<i>deleted</i>		
4.2.3.32.2	The areas identified on Schedule RS-32 of this Exception as a tree preservation area, shall only be used for conservation purposes, and no <b>buildings</b> or <b>structures</b> , <b>swimming pools</b> , tennis courts or any like recreational facilities, except for fences along the <b>lot lines</b> , shall be permitted		



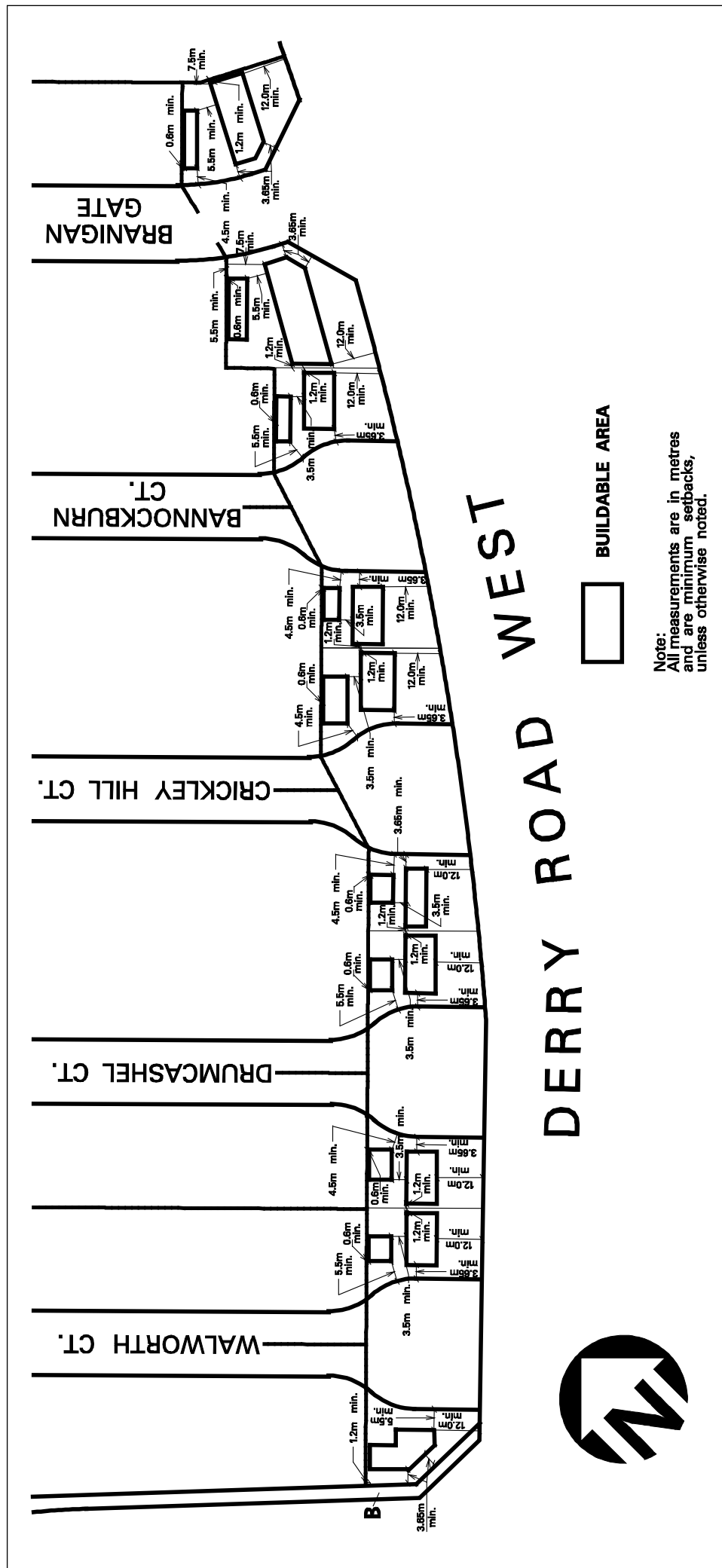
Schedule RS-32  
Map 45E

4.2.3.33	Exception: RS-33	Map # 56	By-law: 0379-2009, 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RS-33 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RS zone except that the following <b>uses</b> /regulations shall apply:			
<b>Regulation</b>			
4.2.3.33.1	<i>deleted</i>		
4.2.3.33.2	<i>deleted</i>		
4.2.3.33.3	Minimum encroachment of a <b>porch</b> into a required <b>front yard</b>		0.5 m
4.2.3.33.4	<i>deleted</i>		
4.2.3.33.5	<i>deleted</i>		

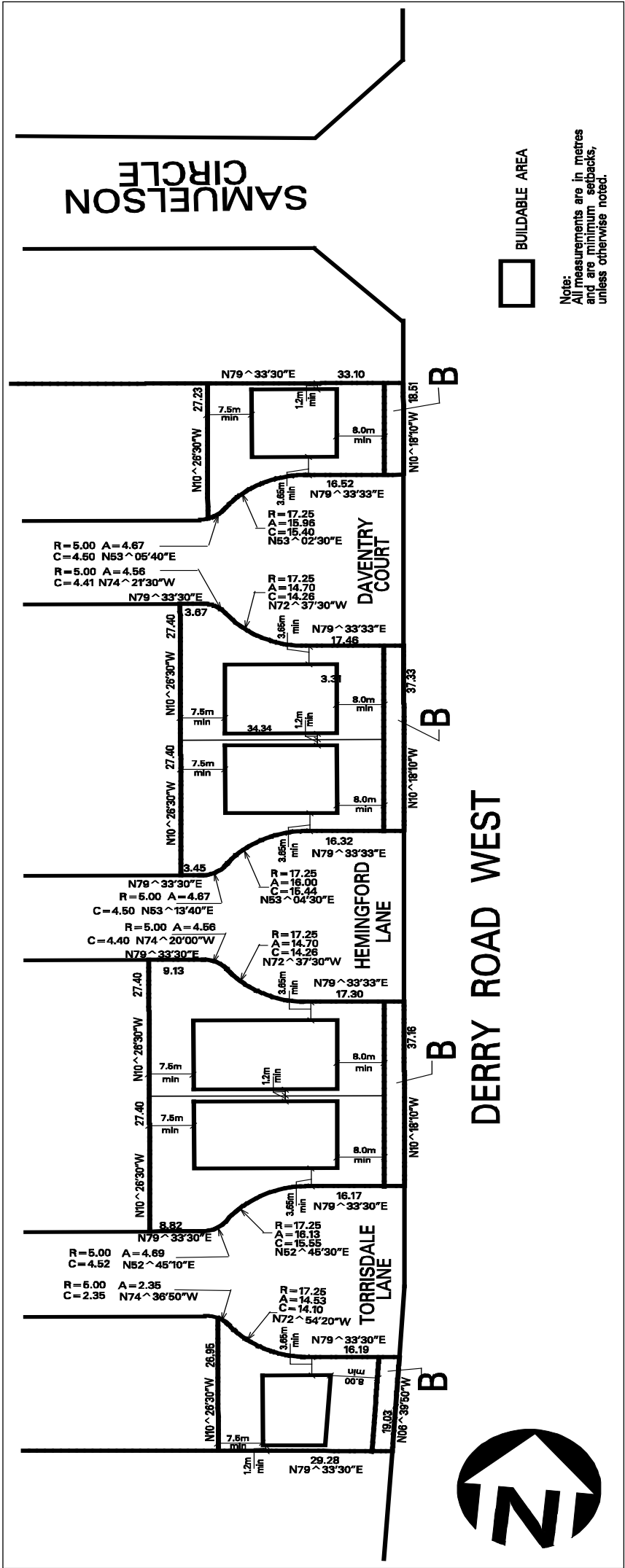
4.2.3.34	Exception: RS-34	Map # 53E, 53W	By-law: 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RS-34 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RS zone except that the following <b>uses</b> /regulations shall apply:			
<b>Regulations</b>			
4.2.3.34.1	<i>deleted</i>		
4.2.3.34.2	<i>deleted</i>		
4.2.3.34.3	<i>deleted</i>		
4.2.3.34.4	Maximum <b>lot coverage</b>	45%	
4.2.3.34.5	<i>deleted</i>		
4.2.3.34.6	<i>deleted</i>		
4.2.3.34.7	<i>deleted</i>		
4.2.3.34.8	Maximum encroachment of a <b>porch</b> into the required <b>front</b> and <b>exterior side yards</b>	1.8 m	
4.2.3.34.9	The area of all <b>porches</b> in <b>front</b> and <b>exterior side yards</b> shall be excluded from the calculation of <b>lot coverage</b>		
4.2.3.34.10	A <b>detached dwelling</b> shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:  (1)     minimum setback to <b>garage face</b>		
		4.5 m	

4.2.3.35	Exception: RS-35	Map # 53E, 53W	By-law: 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RS-35 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RS zone except that the following <b>uses</b> /regulations shall apply:			
<b>Regulations</b>			
4.2.3.35.1	<i>deleted</i>		
4.2.3.35.2	<i>deleted</i>		
4.2.3.35.3	<i>deleted</i>		
4.2.3.35.4	Maximum <b>lot coverage</b>	45%	
4.2.3.35.5	<i>deleted</i>		
4.2.3.35.6	<i>deleted</i>		
4.2.3.35.7	<i>deleted</i>		
4.2.3.35.8	Maximum encroachment of a <b>porch</b> into the required <b>front</b> and <b>exterior side yards</b>	1.8 m	
4.2.3.35.9	The area of all <b>porches</b> in <b>front</b> and <b>exterior side yards</b> shall be excluded from the calculation of <b>lot coverage</b>		
4.2.3.35.10	A <b>detached dwelling</b> shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1) minimum setback to <b>garage face</b>	5.5 m	

4.2.3.36	Exception: RS-36(1) and RS-36(2)	Map # 53E, 53W	By-law: 0048-2025
In a RS-36(1) and RS-36(2) zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RS zone except that the following <b>uses</b> /regulations shall apply:			
<b>Regulations</b>			
4.2.3.36.1	<i>deleted</i>		
4.2.3.36.2	<i>deleted</i>		
4.2.3.36.3	<i>deleted</i>		
4.2.3.36.4	Maximum <b>lot coverage</b>		45%
4.2.3.36.5	Maximum encroachment of a <b>porch</b> into the required <b>front</b> and <b>exterior side yards</b>		1.8 m
4.2.3.36.6	The area of all <b>porches</b> in <b>front</b> and <b>exterior side yards</b> shall be excluded from the calculation of <b>lot coverage</b>		
4.2.3.36.7	All site development plans shall comply with Schedules RS-36(1) and RS-36(2) of this Exception		

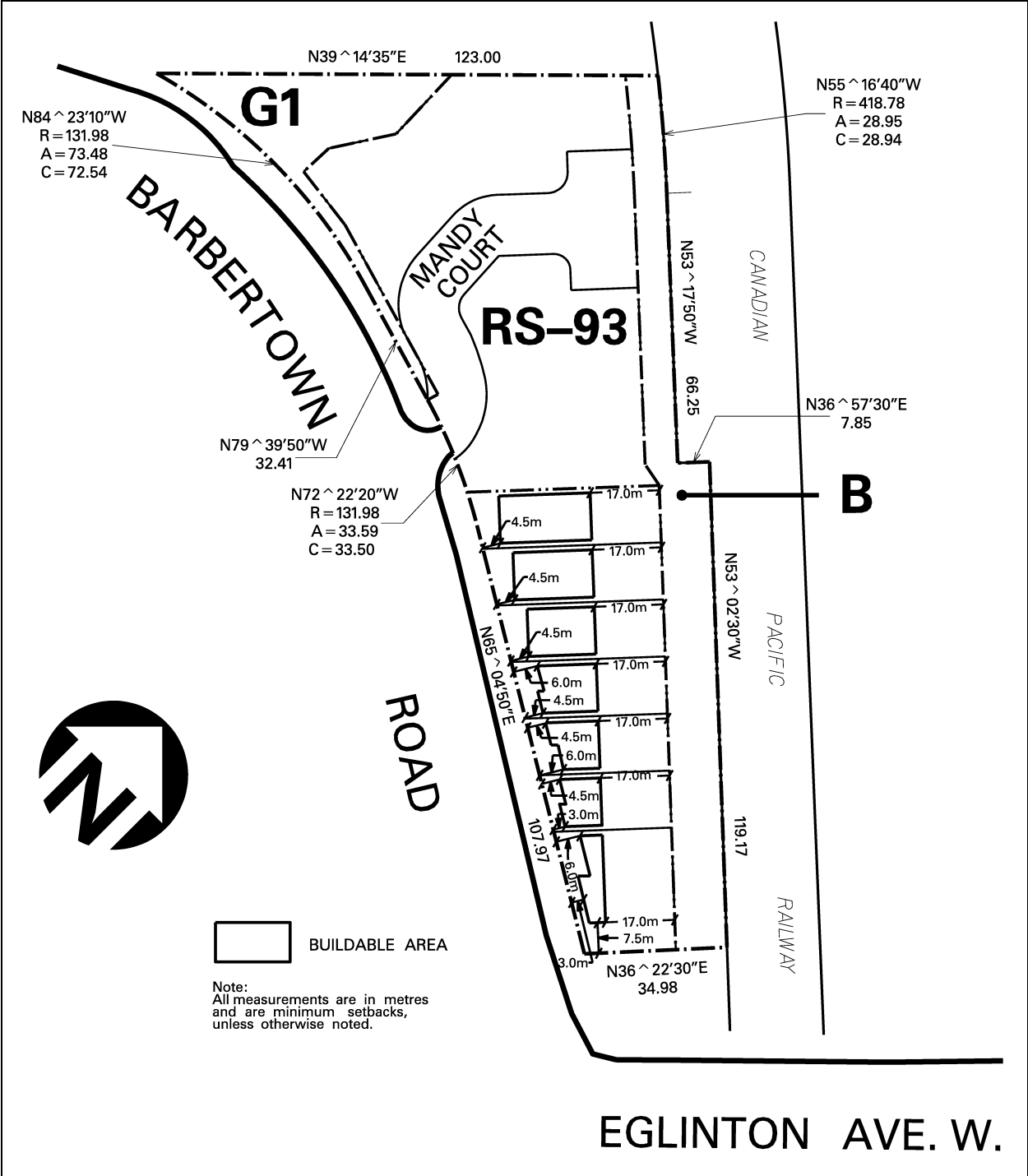






Schedule RS-36(2)  
Map 53E

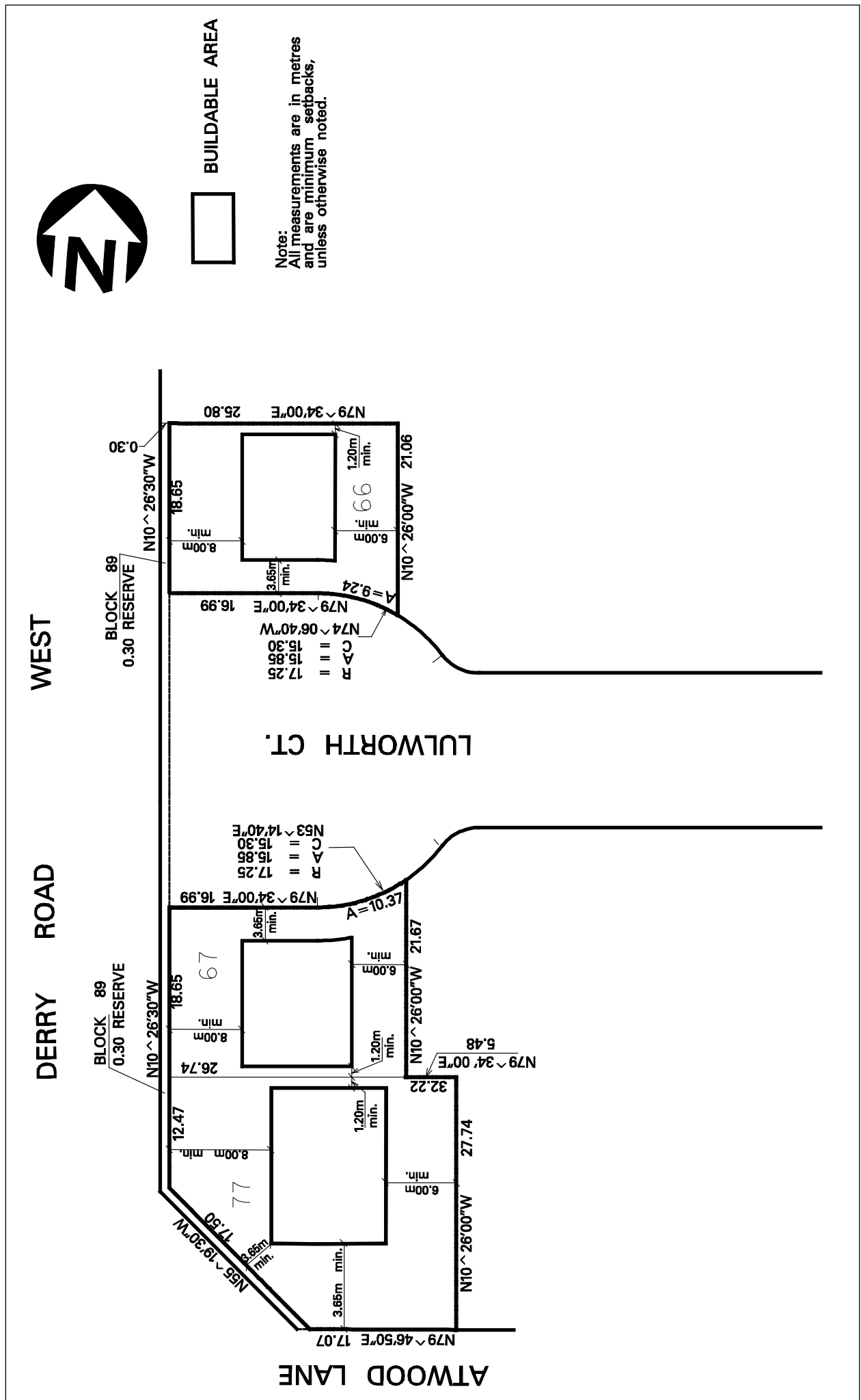
4.2.3.37	Exception: RS-37	Map # 38W	By-law: 0048-2025
In a RS-37 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RS zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulation</b>			
4.2.3.37.1	<i>deleted</i>		
4.2.3.37.2	All site development plans shall comply with Schedule RS-37 of this Exception		

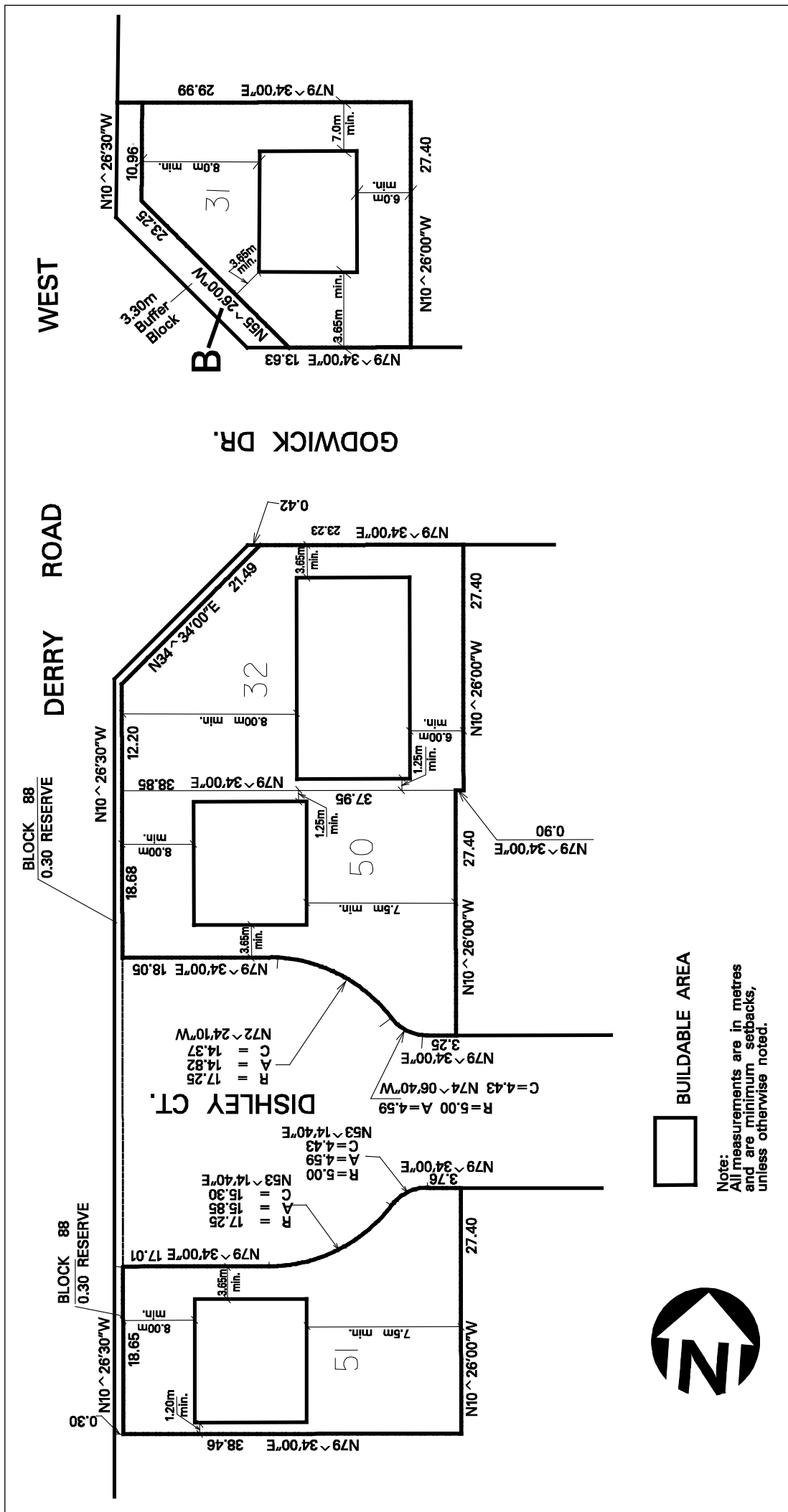


Schedule RS-37  
Map 38W

4.2.3.38	Exception: RS-38	Map # 18	By-law: 0048-2025
In a RS-38 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RS zone except that the following <b>uses</b> /regulations shall apply:			
<b>Regulation</b>			
4.2.3.38.1	<i>deleted</i>		
4.2.3.38.2	Minimum setback of a <b>detached dwelling</b> or <b>semi-detached</b> to all lands zoned G1		8.5 m

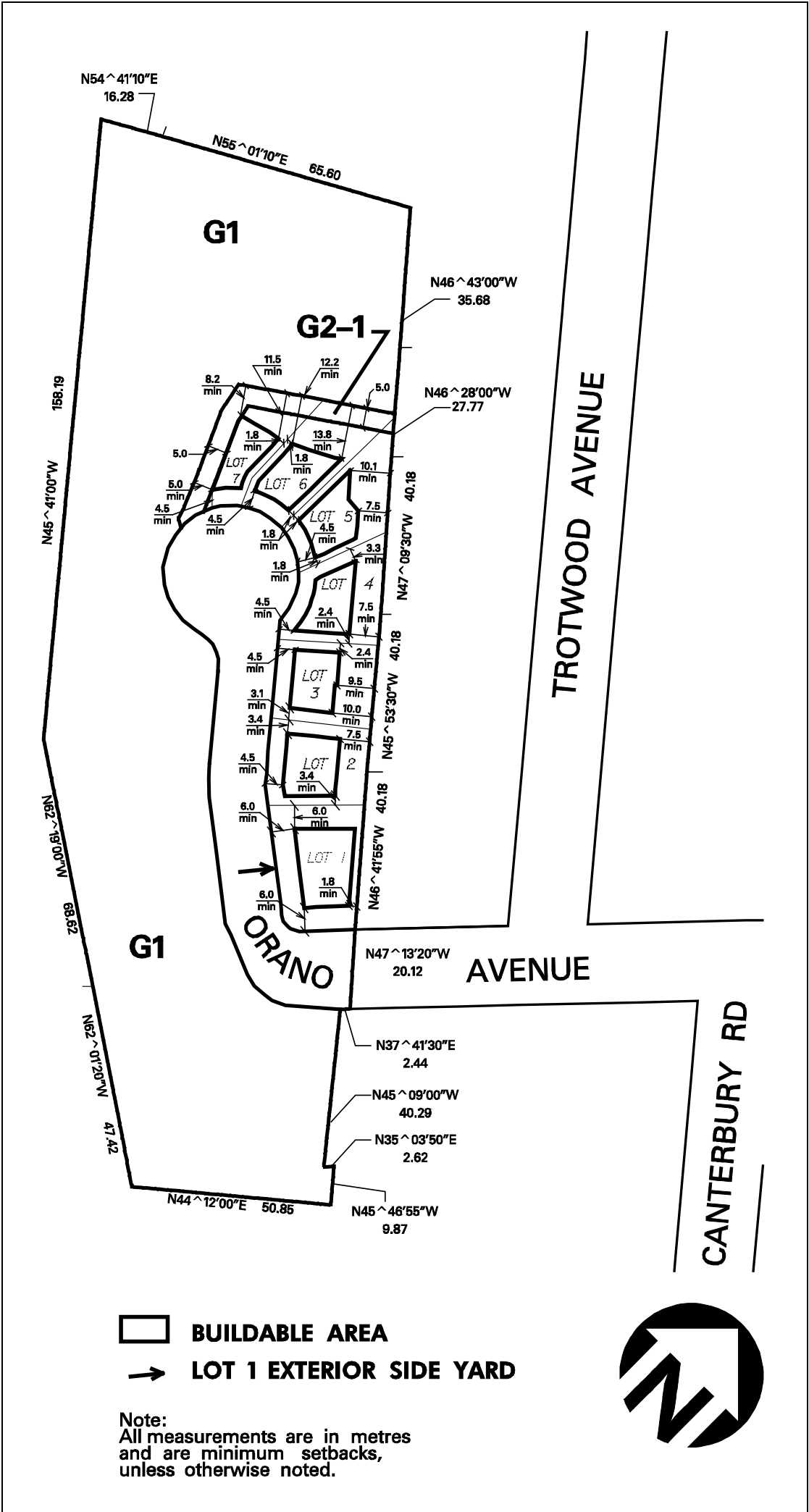
4.2.3.39	Exception: RS-39(1) and RS-39(2)	Map # 53E	By-law: 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RS-39(1) and RS-39(2) zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RS zone except that the following <b>uses</b> /regulations shall apply:			
<b>Regulations</b>			
4.2.3.39.1	Minimum <b>lot coverage</b>		45%
4.2.3.39.2	A <b>detached dwelling</b> shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:  (1)      minimum setback to <b>garage face</b>		
			5.5 m
4.2.3.39.3	All site development plans shall comply with Schedules RS-39(1) and RS-39(2) of this Exception		





**Schedule RS-39(2)**  
Map 53E

4.2.3.40	Exception: RS-40	Map # 07	By-law: 0308-2011, 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RS-40 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RS zone except that the following <b>uses</b> /regulations shall apply:			
<b>Regulations</b>			
4.2.3.40.1	<i>deleted</i>		
4.2.3.40.2	<i>deleted</i>		
4.2.3.40.3	Maximum <b>gross floor area - residential</b>		190 m <sup>2</sup> plus 0.2 times the <b>lot area</b>
4.2.3.40.4	<i>deleted</i>		
4.2.3.40.5	<i>deleted</i>		
4.2.3.40.6	<i>deleted</i>		
4.2.3.40.7	<i>deleted</i>		
4.2.3.40.8	Maximum projection of a <b>garage face</b> beyond any portion of the first floor <b>front wall</b> or <b>exterior side wall</b> of a <b>detached dwelling</b>		0.0 m
4.2.3.40.9	Maximum <b>garage</b> width: measured from the inside face of the <b>garage</b> side walls		50% of the width of the <b>front wall</b> of the <b>detached dwelling</b>
4.2.3.40.10	The width of the <b>front wall</b> of the <b>detached dwelling</b> in Sentence 4.2.3.40.9 of this Exception shall be the total width of the parts of the <b>front wall</b> of the dwelling that face the <b>street</b>		
4.2.3.40.11	Vehicular access for Lot 1, shall only be permitted through the <b>exterior side yard</b> identified on Schedule RS-40 of this Exception		
4.2.3.40.12	All site development plans shall comply with Schedule RS-40 of this Exception		



Schedule RS-40  
Map 07

4.2.3.41	Exception: RS-41	Map # 30	By-law: 0379-2009, 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RS-41 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RS zone except that the following <b>uses</b> /regulations shall apply:			
<b>Regulations</b>			
4.2.3.41.1	<i>deleted</i>		
4.2.3.41.2	<i>deleted</i>		
4.2.3.41.3	Minimum setback of all <b>buildings</b> and <b>structures</b> to all lands zoned PB1	10.0 m	
4.2.3.41.4	Minimum setback of all <b>buildings</b> and <b>structures</b> to a <b>sight triangle</b>	0.0 m	
4.2.3.41.5	<i>deleted</i>		
4.2.3.41.6	Maximum encroachment of a <b>porch</b> or <b>balcony</b> into the required <b>front</b> or <b>exterior side yard</b>	2.0 m	
4.2.3.41.7	A detached <b>garage</b> shall not be permitted		
4.2.3.41.8	<i>deleted</i>		

4.2.3.42	Exception: RS-42	Map # 55	By-law: 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RS-42 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RS zone except that the following <b>uses</b> /regulations shall apply:			
<b>Regulations</b>			
4.2.3.42.1	<i>deleted</i>		
4.2.3.42.2	<i>deleted</i>		
4.2.3.42.3	<i>deleted</i>		
4.2.3.42.4	A <b>detached dwelling</b> shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1) maximum <b>lot coverage</b>	48%	
	(2) minimum setback to <b>garage face</b>	4.0 m	
4.2.3.42.5	Maximum <b>garage</b> width: measured from the inside face of the <b>garage</b> side walls	6.0 m	
4.2.3.42.6	Maximum <b>driveway</b> width	6.0 m	



4.2.3.43	Exception: RS-43	Map # 55	By-law: 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RS-43 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RS zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.2.3.43.1	<i>deleted</i>		
4.2.3.43.2	<i>deleted</i>		
4.2.3.43.3	<i>deleted</i>		4.0 m
4.2.3.43.4	A <b>detached dwelling</b> shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:		
(1)	maximum <b>lot coverage</b>	48%	
(2)	minimum setback to <b>garage face</b>	5.0 m	
4.2.3.43.5	Maximum <b>garage</b> width: measured from the inside face of the <b>garage</b> side walls		6.0 m
4.2.3.43.6	Maximum <b>driveway</b> width		6.0 m

4.2.3.44	Exception: RS-44	Map # 13	By-law: 0048-2025
In a RS-44 zone the applicable regulations shall be as specified for a RS zone except that the following <b>uses</b> /regulations shall apply:			
<b>Permitted Uses</b>			
4.2.3.44.1	Lands zoned RS-44 shall only be used for the following:		
	<ul style="list-style-type: none"> <li>(1) <b>Detached Dwelling</b> or</li> <li>(2) <b>Semi-Detached</b> or</li> <li>(3) <b>Medical Office - Restricted</b></li> </ul>		
<b>Regulation</b>			
4.2.3.44.2	A <b>medical office - restricted</b> shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	<ul style="list-style-type: none"> <li>(1) maximum number of <b>physicians, dentists, drugless practitioners</b> or <b>health professionals</b> permitted to practise</li> </ul>		4

4.2.3.45	Exception: RS-45	Map # 20	By-law: 0048-2025
In a RS-45 zone the applicable regulations shall be as specified for a RS zone except that the following <b>uses</b> /regulations shall apply:			
<b>Permitted Uses</b>			
4.2.3.45.1	Lands zoned RS-45 shall only be used for the following:		
	(1) <b>Detached Dwelling</b> or (2) <b>Semi-Detached</b> or (3) <b>Medical office - restricted</b> in a <b>detached dwelling</b>		
<b>Regulations</b>			
4.2.3.45.2	A <b>medical office - restricted</b> shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1)	maximum number of <b>physicians, dentists, drugless practitioners</b> or <b>health professionals</b> permitted to practise	4

4.2.3.46	Exception: RS-46	Map # 23	By-law: 0048-2025
In a RS-46 zone the applicable regulations shall be as specified for a RS zone except that the following <b>uses</b> /regulations shall apply:			
<b>Permitted Uses</b>			
4.2.3.46.1	Lands zoned RS-46 shall only be used for the following:		
	(1) <b>Detached Dwelling</b> or (2) <b>Semi-Detached</b> or (3) <b>Medical Office - Restricted</b>		
<b>Regulations</b>			
4.2.3.46.2	A <b>medical office - restricted</b> shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1)	maximum number of <b>physicians, dentists, drugless practitioners</b> or <b>health professionals</b> permitted to practise	4
	(2)	all site development plans shall comply with Schedule RS-46 of this Exception	



Schedule RS-46  
Map 23

4.2.3.47	Exception: RS-47	Map #	By-law: <i>deleted by 0048-2025</i>

4.2.3.48	Exception: RS-48	Map # 55	By-law: 0379-2009, 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RS-48 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RS zone except that the following <b>uses</b> /regulations shall apply:			
Additional Permitted Use			
4.2.3.48.1	(1)	Linked Dwelling	
Regulations			
4.2.3.48.2	A <b>linked dwelling</b> shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1)	minimum <b>lot frontage - corner lot</b>	15.0 m
	(2)	minimum <b>front yard</b>	4.5 m
	(3)	minimum <b>interior side yard - interior lot</b>	1.2 m
	(4)	minimum <b>interior side yard - interior lot</b> , for that part of a <b>lot</b> that adjoins a one <b>storey garage</b> or a wall of a main <b>building</b> containing no windows or doors into a <b>habitable room</b>	0.61 m
	(5)	minimum setback to <b>garage face</b>	6.0 m

4.2.3.49	Exception: RS-49	Map # 38W	By-law: 0379-2009, 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RS-49 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RS zone except that the following <b>uses</b> /regulations shall apply:			
<b>Regulation</b>			
4.2.3.49.1	<i>deleted</i>		
4.2.3.49.2	<i>deleted</i>		
4.2.3.49.3	<i>deleted</i>		
4.2.3.49.4	<i>deleted</i>		
4.2.3.49.5	<i>deleted</i>		
4.2.3.49.6	<i>deleted</i>		
4.2.3.49.7	<i>deleted</i>		
4.2.3.49.8	A <b>detached dwelling</b> shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1)	minimum <b>rear yard</b>	6.0 m
4.2.3.49.9	<i>deleted</i>		

4.2.3.50	Exception: RS-50	Map # 19	By-law: 0379-2009, 0048-2025
In a RS-50 zone the applicable regulations shall be as specified for a RS zone except that the following <b>uses</b> /regulations shall apply:			
<b>Permitted Uses</b>			
4.2.3.50.1	Lands zoned RS-50 shall only be used for the following:  (1) Mobile home or land lease community home or any combination thereof, with accessory administrative facilities		
<b>Regulations</b>			
4.2.3.50.2	Maximum number of mobile homes and/or land lease community homes on all lands zoned RS-50		239
4.2.3.50.3	Access shall be permitted from lands zoned C3-23 and RA2-18		
4.2.3.50.4	Minimum number of <b>parking spaces</b> per mobile home or land lease community home		1.0
4.2.3.50.5	"Administrative Facilities" means any <b>building</b> or <b>structure</b> that is accessory to the operation of mobile homes and land lease community homes		
4.2.3.50.6	"Land Lease Community Home" means a <b>detached dwelling</b> that is a permanent <b>structure</b> where the owner of the dwelling leases the land used or intended for use as the site for the dwelling, but does not include a mobile home		
4.2.3.50.7	"Mobile Home" means a <b>detached dwelling</b> that is designed to be made mobile, and constructed or manufactured to provide a permanent residence for one or more persons, but does not include a travel trailer or tent trailer or trailer otherwise designed		

4.2.3.51	Exception: RS-51	Map #	By-law: <i>deleted by 0048-2025</i>

4.2.3.52	Exception: RS-52	Map #	By-law: <i>deleted by 0048-2025</i>

4.2.3.53	Exception: RS-53	Map # 39E	By-law: 0379-2009, 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RS-53 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RS zone except that the following <b>uses</b> /regulations shall apply:			
<b>Regulations</b>			
4.2.3.53.1	<i>deleted</i>		
4.2.3.53.2	<i>deleted</i>		
4.2.3.53.3	<i>deleted</i>		
4.2.3.53.4	Maximum <b>lot coverage</b>	45%	
4.2.3.53.5	<i>deleted</i>		
4.2.3.53.6	<i>deleted</i>		
4.2.3.53.7	Maximum <b>driveway</b> width	6.0 m	
4.2.3.53.8	Each <b>detached dwelling</b> shall have an attached <b>garage</b>		
4.2.3.53.9	<i>deleted</i>		

4.2.3.54	Exception: RS-54	Map # 31	By-law: 0325-2008, 0048-2025
In a RS-54 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RS zone except that the following <b>uses</b> /regulations shall apply:			
<b>Regulations</b>			
4.2.3.54.1	<i>deleted</i>		
4.2.3.54.2	<i>deleted</i>		
4.2.3.54.3	<i>deleted</i>		
4.2.3.54.4	Minimum <b>interior side yard</b> of all <b>buildings</b> and <b>structures</b> and <b>swimming pools</b> where lands abut a G1 zone	3.0 m	
4.2.3.54.5	Minimum setback of a <b>swimming pool</b> to the <b>rear lot line</b> where lands abut a G1 zone	3.0 m	

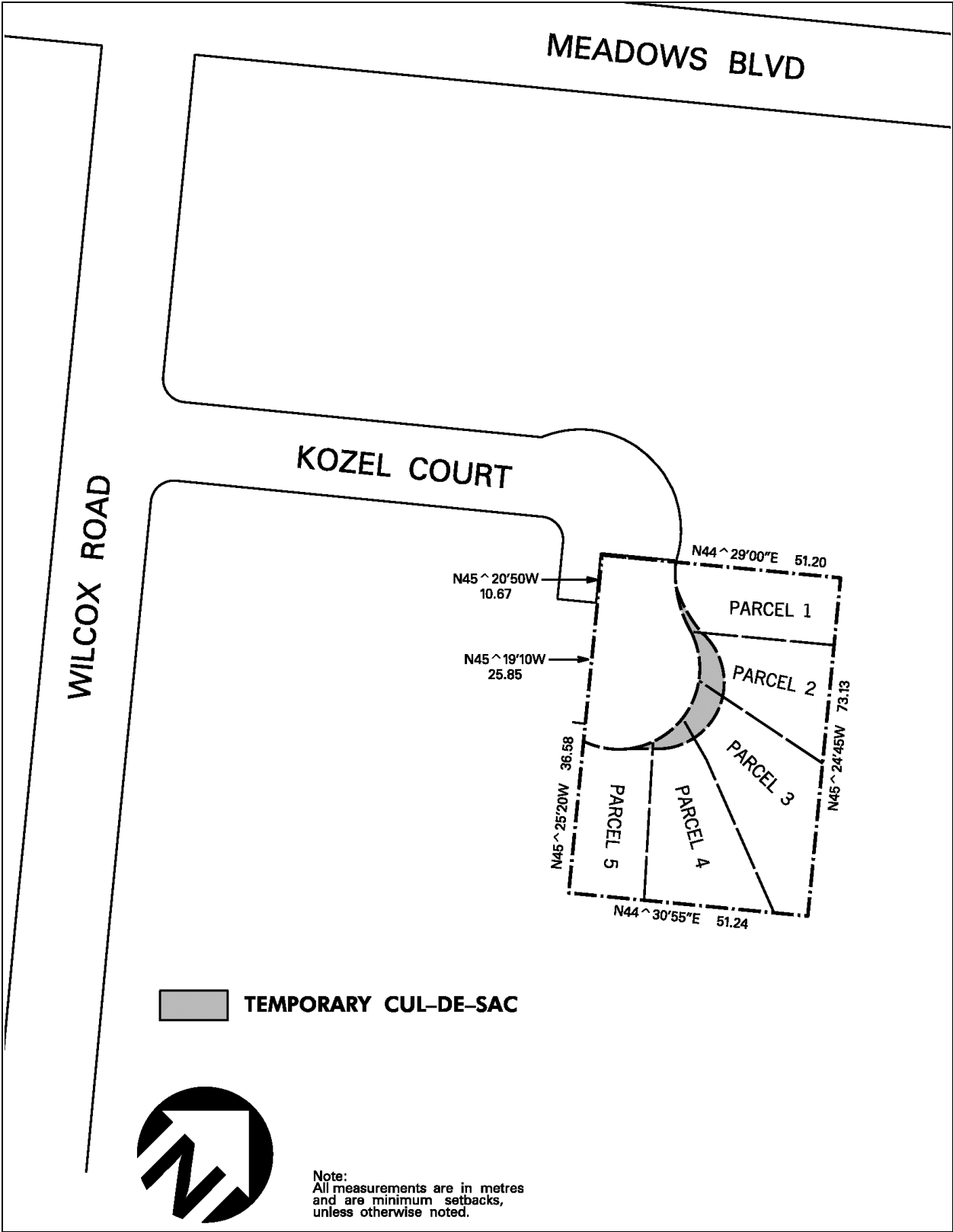
4.2.3.55	Exception: RS-55	Map # 32	By-law: 0048-2025
In a RS-55 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RS zone except that the following <b>uses</b> /regulations shall apply:			
<b>Regulation</b>			
4.2.3.55.1	A <b>detached dwelling</b> shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:  (1) <b>minimum front yard</b>		
		1.5 m	



4.2.3.58	Exception: RS-58	Map # 30	By-law: 0184-2008, 0379-2009, 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RS-58 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RS zone except that the following <b>uses</b> /regulations shall apply:			
<b>Regulations</b>			
4.2.3.58.1	<i>deleted</i>		
4.2.3.58.2	<i>deleted</i>		
4.2.3.58.3	<i>deleted</i>		
4.2.3.58.4	Maximum <b>lot coverage</b>		45%
4.2.3.58.5	<i>deleted</i>		
4.2.3.58.6	<i>deleted</i>		
4.2.3.58.7	<i>deleted</i>		
4.2.3.58.8	<i>deleted</i>		
4.2.3.58.9	<i>deleted</i>		
4.2.3.58.10	Minimum setback to a <b>sight triangle</b>		0.0 m
4.2.3.58.11	<i>deleted</i>		
4.2.3.58.12	Maximum encroachment of a <b>porch</b> or a <b>balcony</b> into the required <b>front yard</b> or <b>exterior side yard</b>		2.0 m
4.2.3.58.13	Maximum area of a <b>balcony</b> on top of an attached <b>garage</b>		12 m <sup>2</sup>
4.2.3.58.14	A detached <b>garage</b> shall not be permitted		
4.2.3.58.15	<i>deleted</i>		

4.2.3.59	Exception: RS-59	Map # 28	By-law: 0218-2009, 0048-2025
In a RS-59 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RS zone except that the following <b>uses</b> /regulations shall apply:			
<b>Regulation</b>			
4.2.3.59.1	Each <b>lot</b> , comprised of a parcel and a portion of the temporary cul-de-sac identified on Schedule RS-59 of this Exception, shall be considered a <b>lot</b> for the purposes of this By-law		



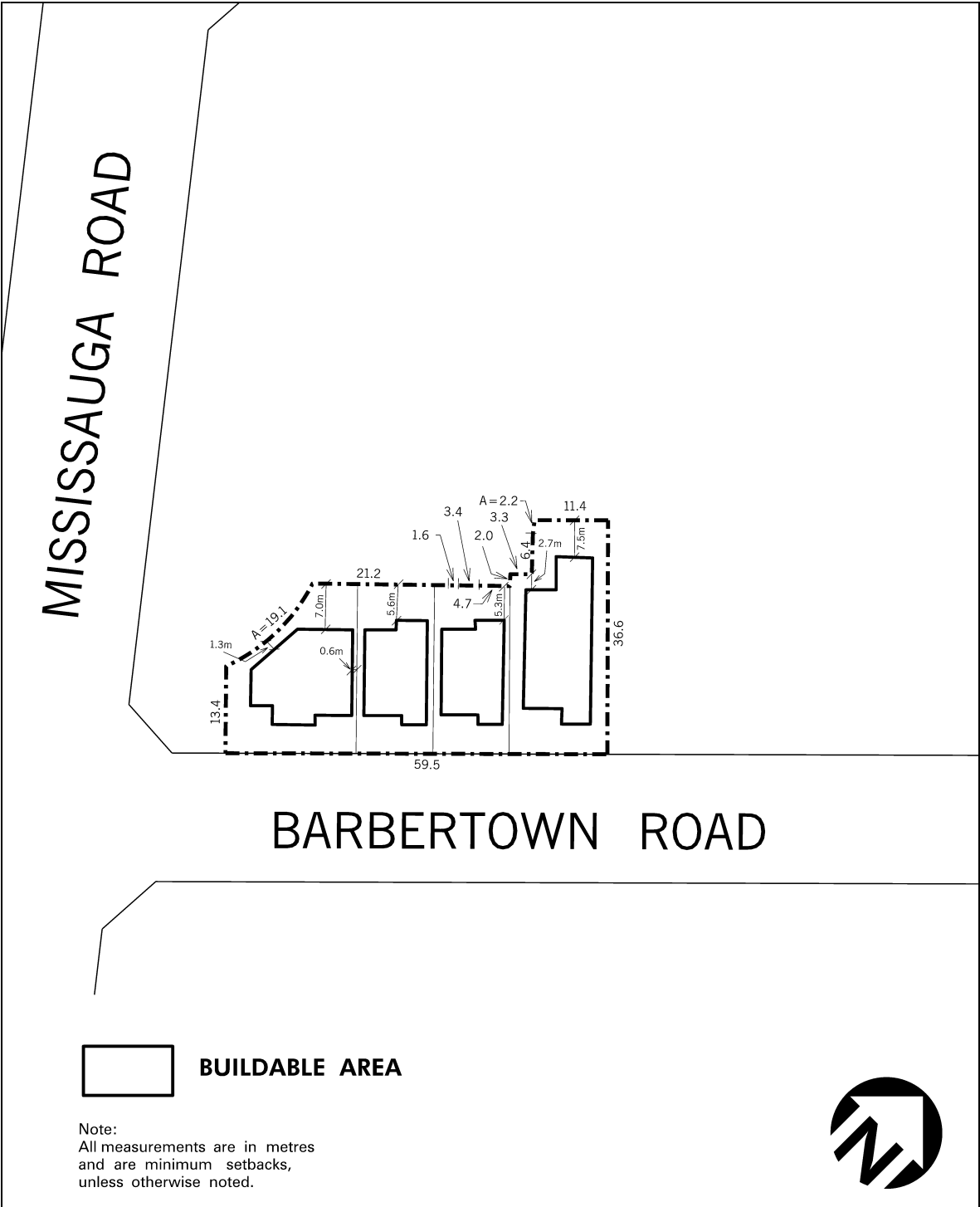


Schedule RS-59  
Map 28

4.2.3.60	Exception: RS-60	Map #	By-law: 0048-2025

4.2.3.61	Exception: RS-61	Map # 48E, 48W	By-law: 0225-2016, 0048-2025
In a RS-61 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RS zone except that the following <b>uses</b> /regulations shall apply:			
Regulations			
4.2.3.61.1	deleted		
4.2.3.61.2	Minimum <b>interior side yard</b>	1.2 m + 0.61 m for each additional <b>storey</b> or portion thereof above one <b>storey</b>	
4.2.3.61.3	deleted		
4.2.3.61.4	deleted		
4.2.3.61.5	deleted		
4.2.3.61.6	Maximum <b>gross floor area - infill residential</b>	150 m <sup>2</sup> plus 0.2 times the <b>lot area</b>	
4.2.3.61.7	<b>Garage</b> projection: maximum projection of the <b>garage</b> beyond the <b>front wall</b> or <b>exterior side wall</b> of the <b>first storey</b>	2.0 m	
4.2.3.61.8	deleted		

4.2.3.62	Exception: RS-62	Map # 38W	By-law: LPAT Order 2019 February 08, 0128-2020, 0048-2025
In a RS-62 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RS zone except that the following <b>uses</b> /regulations shall apply:			
<b>Regulations</b>			
4.2.3.62.1	<i>deleted</i>		
4.2.3.62.2	<i>deleted</i>		
4.2.3.62.3	A <b>detached dwelling</b> shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:  (1) <b>maximum lot coverage</b>		
4.2.3.62.4	<i>deleted</i>		
4.2.3.62.5	All site development plans shall comply with Schedule RS-62 of this Exception		



Schedule RS-62  
Map 38W

4.2.3.63	Exception: RS-63	Map # 13	By-law: 0198-2019, 0048-2025
In a RS-63 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RS zone except that the following <b>uses</b> /regulations shall apply:			
<b>Regulations</b>			
4.2.3.63.1	Maximum number of <b>dwelling units</b> on all lands zoned RS-63		8
4.2.3.63.2	<i>deleted</i>		
4.2.3.63.3	A <b>detached dwelling</b> shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1)    minimum <b>lot area - corner lot</b>		345 m <sup>2</sup>
	(2)    minimum <b>exterior side yard</b>		3.0 m
4.2.3.63.4	The <b>lot line</b> abutting Primate Road shall be deemed to be the <b>front lot line</b>		
4.2.3.63.5	<i>deleted</i>		
4.2.3.63.6	<i>deleted</i>		
4.2.3.63.7	<i>deleted</i>		
4.2.3.63.8	<i>deleted</i>		
4.2.3.63.9	Maximum encroachment of a <b>porch</b> , inclusive of stairs into the required <b>front yard</b>		1.5 m

4.2.3.64	Exception: RS-64	Map # 15	By-law: 0132-2019, 0048-2025
In a RS-64 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RS zone except that the following <b>uses</b> /regulations shall apply:			
<b>Regulation</b>			
4.2.3.64.1	<i>deleted</i>		
4.2.3.64.2	A <b>detached dwelling</b> shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1) maximum <b>lot coverage</b>	43%	

4.2.3.65	Exception: RS-65	Map # 56	By-law: 0232-2024, 0048-2025
In a RS-65 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RS zone except that the following <b>uses</b> /regulations shall apply:			
<b>Regulations</b>			
4.2.3.65.1	<i>deleted</i>		
4.2.3.65.2	A <b>detached dwelling</b> shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:  (1) <i>deleted</i> (2) minimum <b>lot frontage - corner lot</b> 13.5 m (3) maximum <b>lot coverage</b> 50% (4) <i>deleted</i> (5) <i>deleted</i> (6) minimum <b>landscaped soft area</b> in the <b>yard</b> containing the <b>driveway</b> 34% of the <b>front yard</b> and/or <b>exterior side yard</b>		
4.2.3.65.3	<i>deleted</i>		
4.2.3.65.4	<i>deleted</i>		
4.2.3.65.5	<i>deleted</i>		

4.2.3.66	Exception: RS-66	Map # 22	By-law: 0048-2025
In a RS-66 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RS zone except that the following <b>uses</b> /regulations shall apply:			
<b>Regulations</b>			
4.2.3.66.1	The provisions contained in Subsection 4.1.7 of this By-law shall not apply		
4.2.3.66.2	Minimum setback of a <b>habitable room</b> to a railway right-of-way		20.0 m

4.2.3.67	Exception: RS-67	Map #	By-law: <i>deleted by 0048-2025</i>

4.2.3.68	Exception: RS-68	Map # 22, 29, 36W, 37E, 37W, 38W, 39E, 56	By-law: 0048-2025
In a RS-68 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RS zone except that the following <b>uses</b> /regulations shall apply:			
<b>Regulation</b>			
4.2.3.68.1	A <b>detached dwelling</b> shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:  (1) maximum <b>lot coverage</b> 45%		

4.2.3.69	Exception: RS-69	Map # 30, 37W, 38E, 39E, 39W, 45E, 54W, 55, 56	By-law: 0048-2025
In a RS-69 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RS zone except that the following <b>uses</b> /regulations shall apply:			
<b>Regulations</b>			
4.2.3.69.1	<i>deleted</i>		
4.2.3.69.2	<i>deleted</i>		
4.2.3.69.3	<i>deleted</i>		
4.2.3.69.4	<i>deleted</i>		
4.2.3.69.5	A <b>detached dwelling</b> shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1) minimum <b>interior side yard - interior lot</b>	1.2 m	

4.2.3.70	Exception: RS-70	Map # 46W	By-law: 0048-2025
In a RS-70 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RS zone except that the following <b>uses</b> /regulations shall apply:			
Additional Permitted Use			
4.2.3.70.1	(1)	Linked Dwelling	
Regulation			
4.2.3.70.2	A <b>linked dwelling</b> shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1)	minimum <b>lot frontage - interior lot</b>	9.0 m

4.2.3.71	Exception: RS-71	Map #	By-law: <i>deleted by 0048-2025</i>

4.2.3.72	Exception: RS-72	Map # 18, 22, 25, 26, 29, 30, 55	By-law: 0048-2025
In a RS-72 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RS zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.2.3.72.1	A <b>detached dwelling</b> shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:		
(1)	minimum <b>lot area - interior lot</b>	275 m <sup>2</sup>	
(2)	minimum <b>lot frontage - interior lot</b>	9.0 m	
(3)	maximum <b>gross floor area - residential</b>	0.6 times the <b>lot area</b>	

4.2.3.73	Exception: RS-73	Map # 30	By-law: 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RS-73 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RS zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.2.3.73.1	A <b>detached dwelling</b> shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:		
(1)	maximum <b>gross floor area - residential</b>	0.6 times the <b>lot area</b>	
4.2.3.73.2	Minimum <b>interior side yard</b> - where the side <b>lot line</b> is also the side <b>lot line</b> of a <b>townhouse</b>		1.2 m

4.2.3.74	Exception: RS-74	Map # 22, 37E, 37W	By-law: 0048-2025
In a RS-74 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RS zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.2.3.74.1	A <b>detached dwelling</b> shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1) minimum <b>lot area - interior lot</b>	275 m <sup>2</sup>	
	(2) maximum <b>lot coverage</b>	45%	
4.2.3.74.2	<i>deleted</i>		

4.2.3.75	Exception: RS-75	Map # 22, 38E	By-law: 0048-2025
In a RS-75 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RS zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.2.3.75.1	<i>deleted</i>		
4.2.3.75.2	Maximum <b>lot coverage</b>		45%
4.2.3.75.3	Minimum <b>exterior side yard</b> - <b>lots</b> abutting Confederation Parkway or Central Parkway West		6.0 m

4.2.3.76	Exception: RS-76	Map # 27	By-law: 0048-2025
In a RS-76 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RS zone except that the following <b>uses</b> /regulations shall apply:			
<b>Regulation</b>			
4.2.3.76.1	<i>deleted</i>		
4.2.3.76.2	A <b>detached dwelling</b> shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:  (1) <b>minimum lot frontage</b> <span style="float:right">9.0 m</span>		

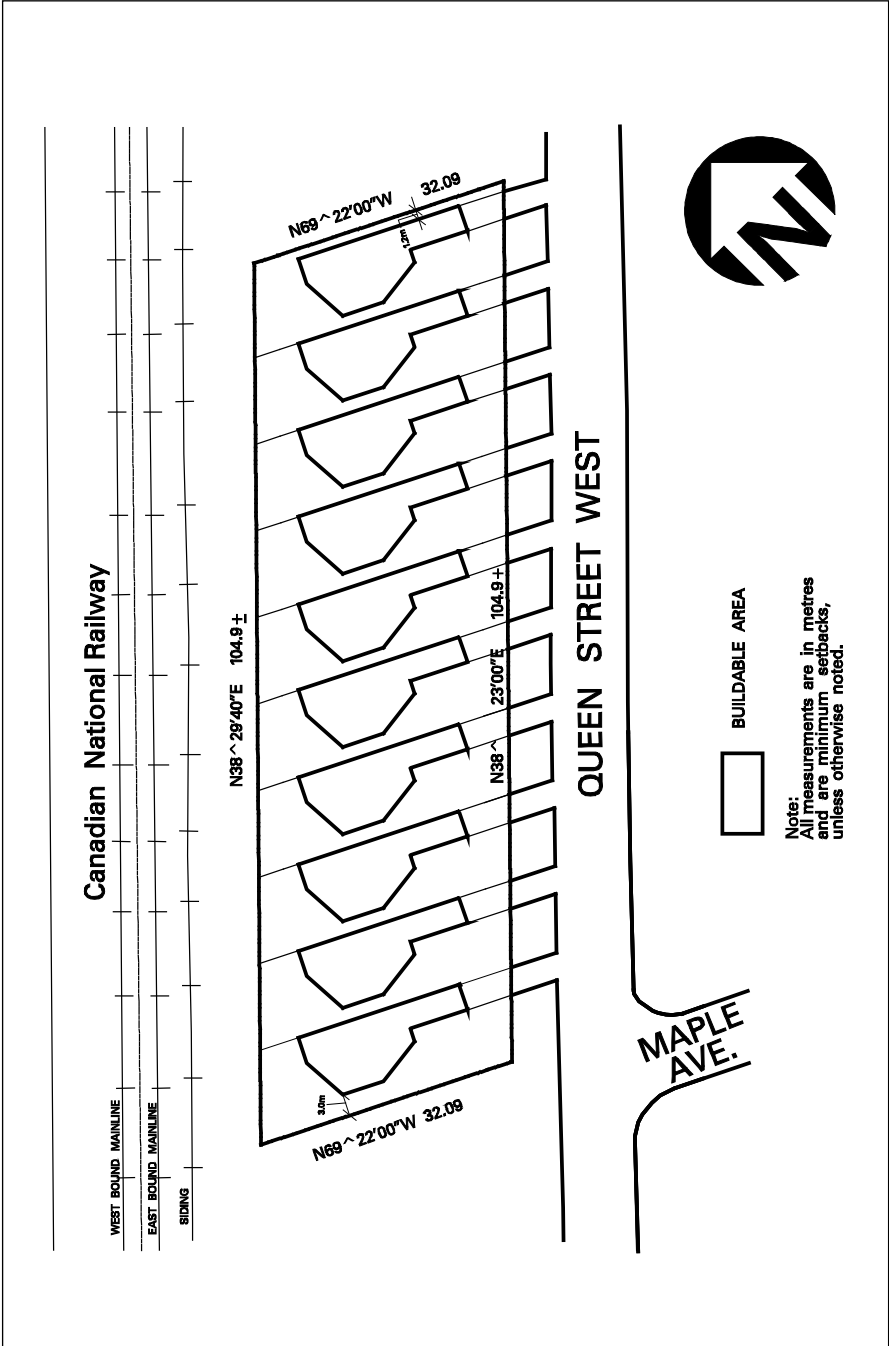
4.2.3.77	Exception: RS-77	Map # 54W	By-law: 0048-2025
In a RS-77 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RS zone except that the following <b>uses</b> /regulations shall apply:			
<b>Regulations</b>			
4.2.3.77.1	Minimum <b>rear yard</b> where lands abut a B zone		19.0 m
4.2.3.77.2	Minimum setback of all <b>buildings</b> and <b>structures</b> and <b>swimming pools</b> to all lands zoned U-3		13.0 m

4.2.3.78	Exception: RS-78	Map #	By-law: <i>deleted by 0048-2025</i>

4.2.3.79	Exception: RS-79	Map # 55	By-law: 0048-2025
In a RS-79 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RS zone except that the following <b>uses</b> /regulations shall apply:			
<b>Regulation</b>			
4.2.3.79.1	Minimum <b>rear yard</b> where lands abut a B zone		15.0 m



4.2.3.80	Exception: RS-80	Map # 08	By-law: 0048-2025
In a RS-80 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RS zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.2.3.80.1	<i>deleted</i>		
4.2.3.80.2	<i>deleted</i>		
4.2.3.80.3	<i>deleted</i>		
4.2.3.80.4	A <b>detached dwelling</b> shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that: <div><div><div>(1)</div><div>minimum <b>interior side yard - interior lot</b>, unless otherwise identified on Schedule RS-80 of this Exception</div><div>1.8 m</div></div><div><div>(2)</div><div>minimum <b>interior side yard - interior lot</b>, for that part of a <b>lot</b> that adjoins an attached <b>garage</b>, unless otherwise identified on Schedule RS-80 of this Exception</div><div>0.0 m</div></div><div><div>(3)</div><div>minimum <b>rear yard</b></div><div>3.75 m</div></div></div>		
4.2.3.80.5	All site development plans shall comply with Schedule RS-80 of this Exception		



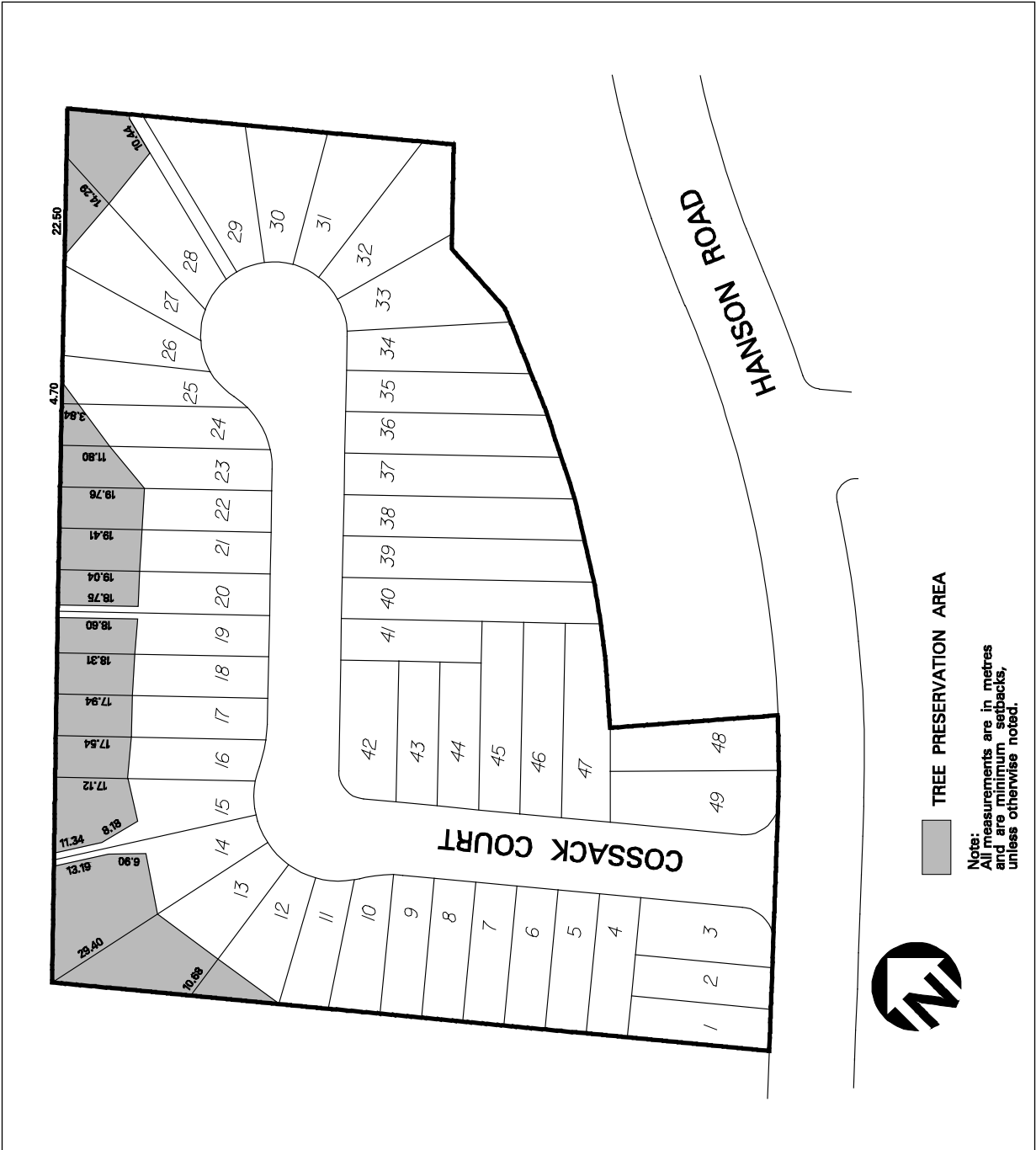
Schedule RS-80  
Map 08

4.2.3.81	Exception: RS-81	Map # 56	By-law: 0048-2025
In a RS-81 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RS zone except that the following <b>uses</b> /regulations shall apply:			
<b>Regulations</b>			
4.2.3.81.1	A <b>detached dwelling</b> shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1) minimum <b>lot frontage - interior lot</b>	4.5 m	
	(2) minimum setback of a <b>detached dwelling</b> to Britannia Road West	13.5 m	

4.2.3.82	Exception: RS-82	Map # 36W	By-law: 0048-2025
In a RS-82 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RS zone except that the following <b>uses</b> /regulations shall apply:			
<b>Regulation</b>			
4.2.3.82.1	Minimum <b>rear yard</b> where lands abut an E2-1 zone		15.0 m

4.2.3.83	Exception: RS-83	Map # 56	By-law: 0048-2025
In a RS-83 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RS zone except that the following <b>uses</b> /regulations shall apply:			
<b>Regulations</b>			
4.2.3.83.1	A <b>detached dwelling</b> shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1)	minimum <b>lot area - interior lot</b>	260 m <sup>2</sup>
	(2)	minimum <b>lot area - corner lot</b>	305 m <sup>2</sup>
	(3)	maximum encroachment of a <b>porch</b> , into the required <b>front</b> and <b>exterior side yards</b>	1.8 m
	(4)	the area of all <b>porches</b> in <b>front</b> and <b>exterior side yards</b> shall be excluded from the calculation of <b>lot coverage</b>	
4.2.3.83.2	<i>deleted</i>		
4.2.3.83.3	<i>deleted</i>		
4.2.3.83.4	<i>deleted</i>		
4.2.3.83.5	<i>deleted</i>		
4.2.3.83.6	<i>deleted</i>		





Schedule RS-85  
Map 22

4.2.3.86	Exception: RS-86	Map # 53W	By-law: 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RS-86 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RS zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.2.3.86.1	A <b>detached dwelling</b> shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:  (1)     maximum <b>lot coverage</b> 45%  (2)     minimum setback to <b>garage face</b> 4.5 m  (3)     maximum encroachment of a <b>porch</b> into the required <b>front</b> or <b>exterior side yard</b> 1.8 m  (4)     the area of all <b>porches</b> in <b>front</b> and <b>exterior side yards</b> shall be excluded from the calculation of <b>lot coverage</b>		
4.2.3.86.2	<i>deleted</i>		
4.2.3.86.3	<i>deleted</i>		

4.2.3.87	Exception: RS-87	Map # 53W	By-law: 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RS-87 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RS zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.2.3.87.1	A <b>detached dwelling</b> shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:  (1)     maximum <b>lot coverage</b> 45%  (2)     minimum setback to <b>garage face</b> 5.5 m  (3)     maximum encroachment of a <b>porch</b> into the required <b>front</b> or <b>exterior side yard</b> 1.8 m  (4)     the area of all <b>porches</b> in <b>front</b> and <b>exterior side yards</b> shall be excluded from the calculation of <b>lot coverage</b>		
4.2.3.87.2	<i>deleted</i>		
4.2.3.87.3	<i>deleted</i>		

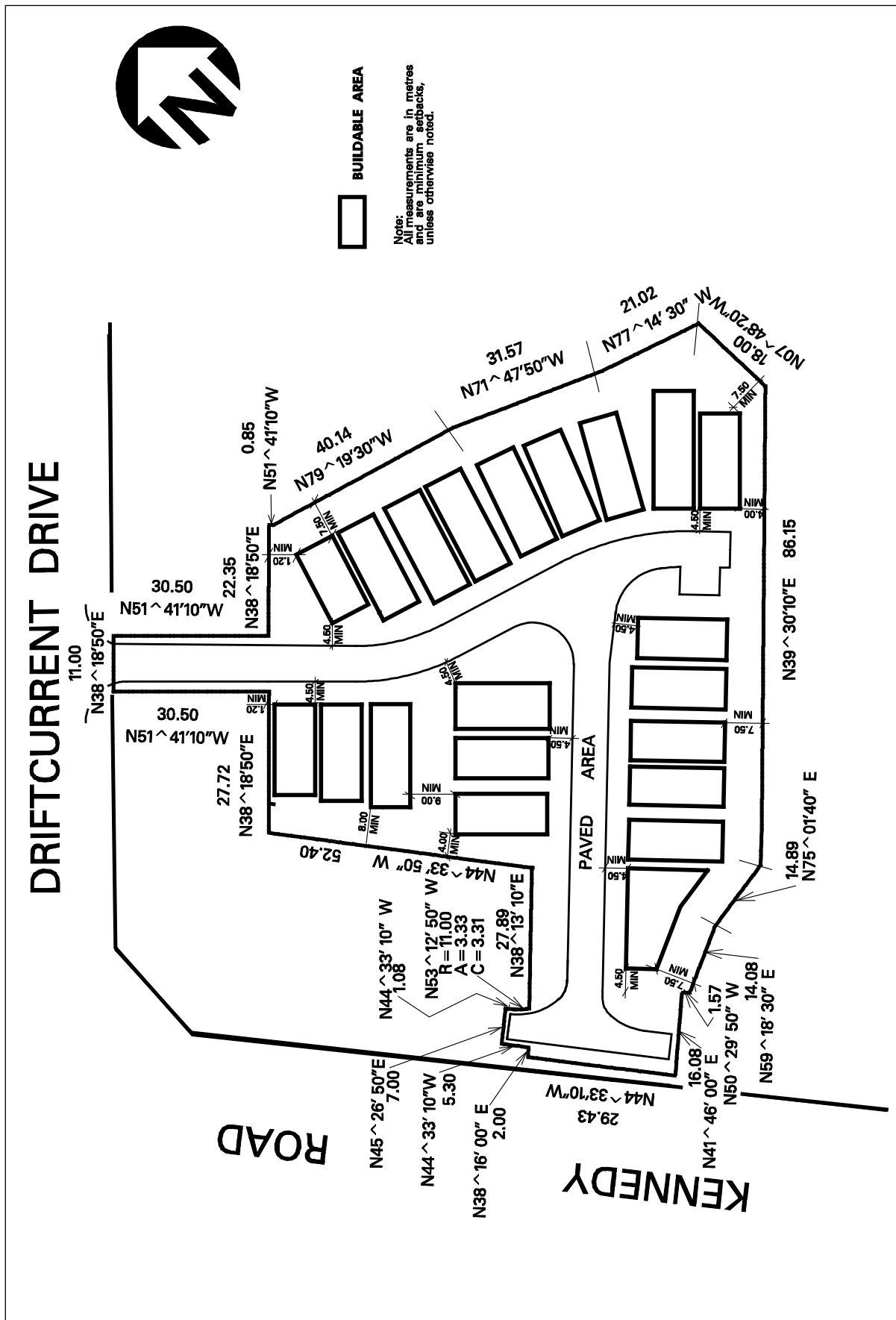
4.2.3.88	Exception: RS-88	Map # 27	By-law: 0048-2025
In a RS-88 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RS zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.2.3.88.1	A <b>detached dwelling</b> shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1)	minimum <b>lot frontage - interior lot</b>	9.2 m
	(2)	minimum <b>interior side yard</b>	1.2 m
	(3)	maximum <b>driveway</b> width	3.8 m
4.2.3.88.2	<i>deleted</i>		

4.2.3.89	Exception: RS-89	Map # 53W	By-law: 0048-2025
In a RS-89 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RS zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.2.3.89.1	A <b>detached dwelling</b> shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1)	maximum <b>lot coverage</b>	45%
	(2)	maximum encroachment of a <b>porch</b> , into the required <b>front</b> or <b>exterior side yard</b>	1.8 m
4.2.3.89.2	<i>deleted</i>		

4.2.3.90	Exception: RS-90	Map # 22	By-law: 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RS-90 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RS zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.2.3.90.1	A <b>detached dwelling</b> shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1)	minimum <b>lot area - interior lot</b>	260 m <sup>2</sup>
	(2)	minimum <b>lot area - corner lot</b>	335 m <sup>2</sup>
	(3)	maximum <b>lot coverage</b>	45%
	(4)	minimum <b>front yard</b>	3.0 m
	(5)	minimum setback to <b>garage face</b>	7.0 m
	(6)	maximum <b>driveway</b> width	3.8 m
	(7)	maximum encroachment of a <b>porch</b> , into the required <b>front yard</b>	0.65 m
	(8)	maximum encroachment of a bay window into the required <b>exterior side yard</b>	0.5 m
	(9)	the area of all <b>porches</b> in the <b>front yard</b> shall be excluded from the calculation of <b>lot coverage</b>	
4.2.3.90.2	<i>deleted</i>		
4.2.3.90.3	<i>deleted</i>		
4.2.3.90.4	<i>deleted</i>		
4.2.3.90.5	<i>deleted</i>		

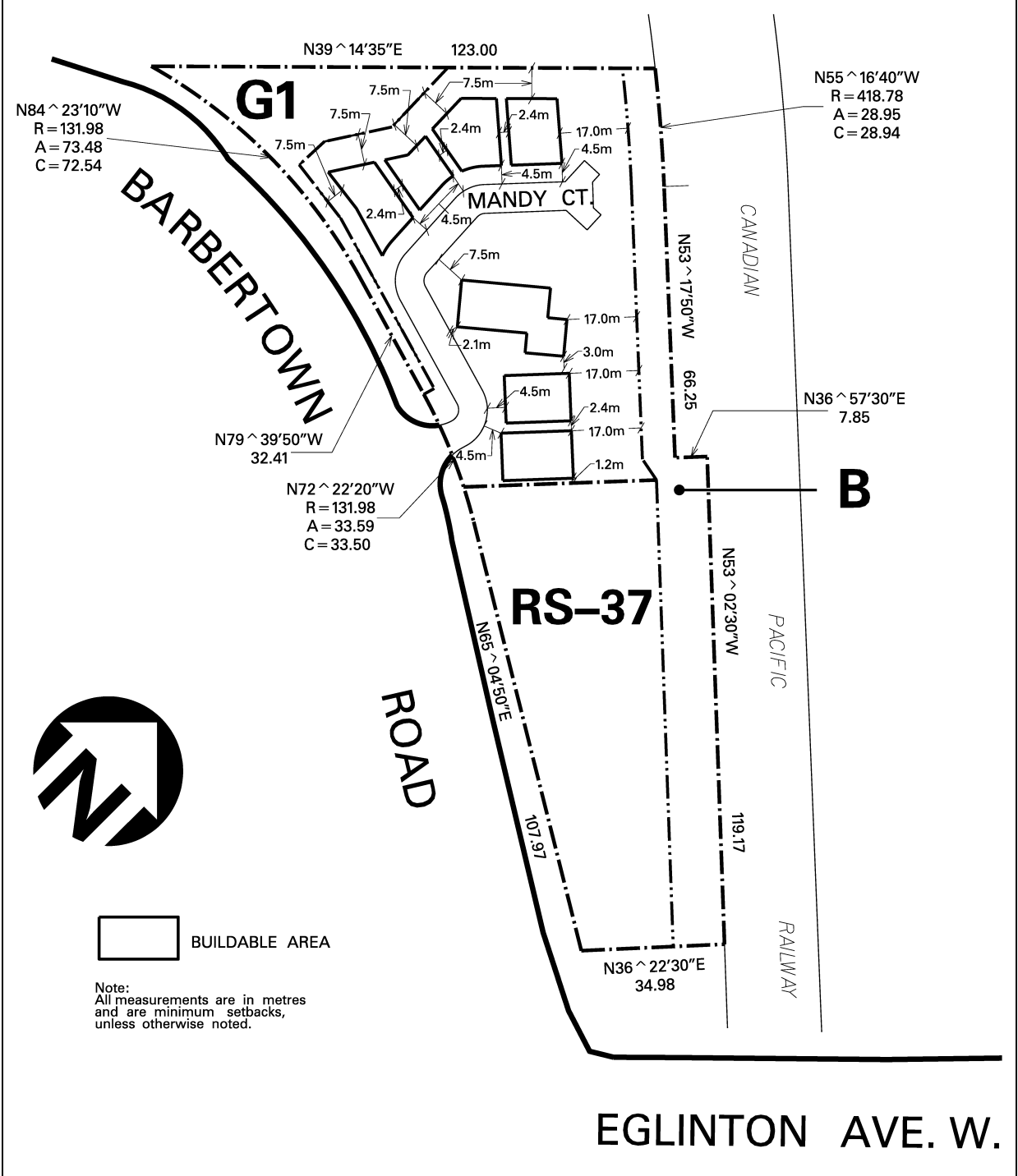
4.2.3.91	Exception: RS-91	Map # 55	By-law: 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RS-91 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RS zone except that the following <b>uses</b> /regulations shall apply:			
<b>Regulations</b>			
4.2.3.91.1	A <b>detached dwelling</b> shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1)	minimum <b>lot area - interior lot</b>	280 m <sup>2</sup>
	(2)	minimum setback to <b>garage face</b>	7.0 m
4.2.3.91.2	<i>deleted</i>		
4.2.3.91.3	<i>deleted</i>		
4.2.3.91.4	<i>deleted</i>		

4.2.3.92	Exception: RS-92	Map # 36E	By-law: 0208-2022, 0048-2025
In a RS-92 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RS zone except that the following <b>uses</b> /regulations shall apply:			
<b>Regulations</b>			
4.2.3.92.1	Maximum number of <b>dwelling units</b> on all lands zoned RS-92		21
4.2.3.92.2	Minimum <b>landscaped area</b>		55% of <b>lot area</b>
4.2.3.92.3	Minimum separation between <b>detached dwellings</b>		1.2 m
4.2.3.92.4	<b>Height</b> of all <b>buildings</b> and <b>structures</b> shall be measured from <b>established grade</b>		
4.2.3.92.5	Bay windows are permitted to project beyond the rear wall of a <b>detached dwelling</b> outside the <b>buildable area</b> identified on Schedule RS-92 of this Exception		
4.2.3.92.6	Minimum number of <b>parking spaces</b> per <b>dwelling unit</b>		3
4.2.3.92.7	All site development plans shall comply with Schedule RS-92 of this Exception		





4.2.3.93	Exception: RS-93	Map # 38W	By-law: 0048-2025
In a RS-93 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RS zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.2.3.93.1	A <b>detached dwelling</b> shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that: <div><div>(1)</div><div><b>height</b> of all <b>buildings</b> and <b>structures</b> shall be measured from <b>established grade</b></div><div>(2)</div><div>all site development plans shall comply with Schedule RS-93 of this Exception</div></div>		



Schedule RS-93  
Map 38W



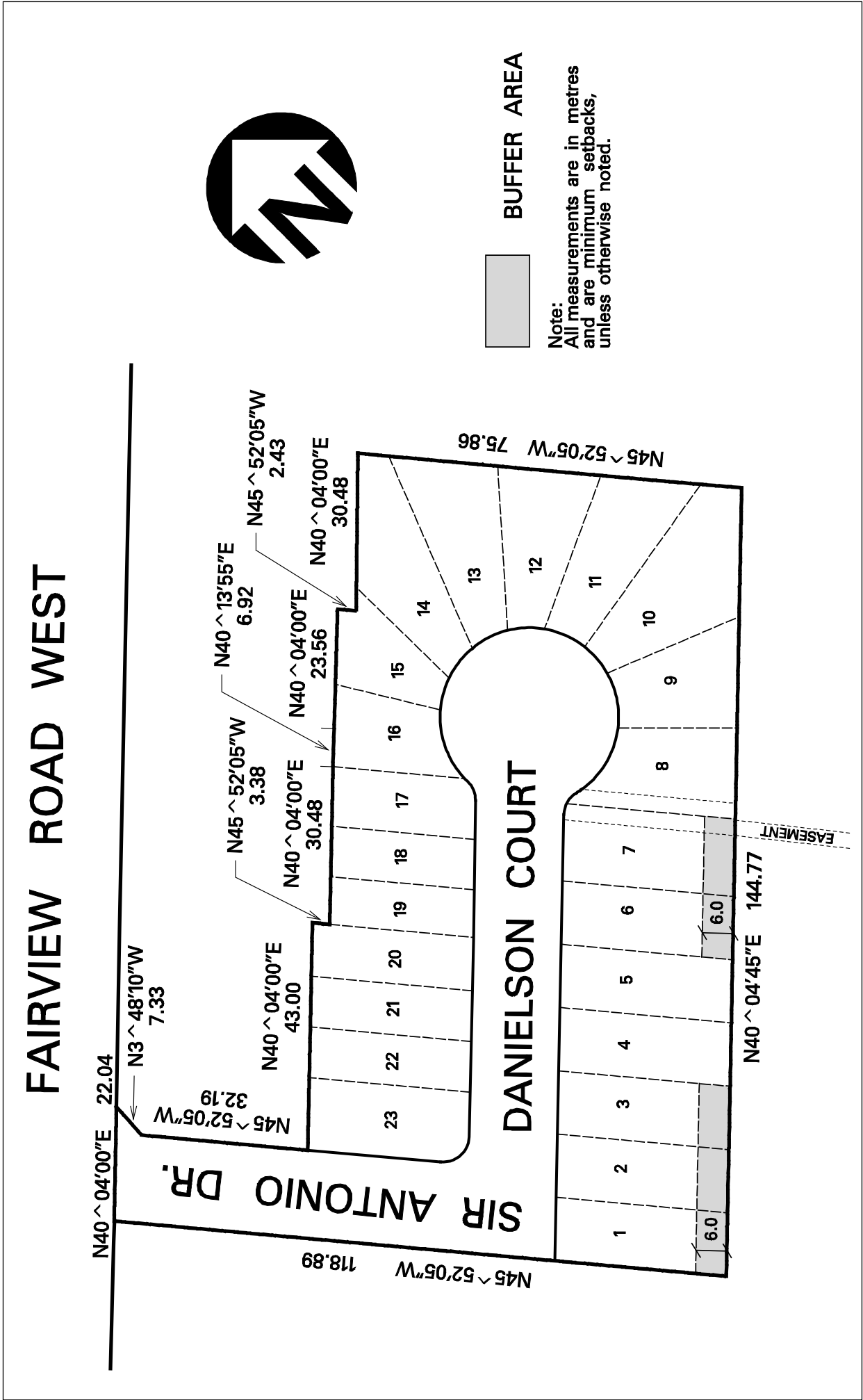
4.2.3.97	Exception: RS-97	Map # 55	By-law: 0181-2018/LPAT Order 2019 February 15, 0048-2025									
In a RS-97 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RS zone except that the following <b>uses</b> /regulations shall apply:												
<b>Regulations</b>												
4.2.3.97.1	<i>deleted</i>											
4.2.3.97.2	<i>deleted</i>											
4.2.3.97.3	<i>deleted</i>											
4.2.3.97.4	A <b>detached dwelling</b> shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:  <table><tr><td>(1)</td><td>maximum <b>lot coverage</b></td><td>45%</td></tr><tr><td>(2)</td><td>minimum setback to <b>garage face</b></td><td>4.5 m</td></tr><tr><td>(3)</td><td>maximum <b>garage</b> width: measured from the inside face of the <b>garage</b> side walls</td><td>6.0 m</td></tr></table>			(1)	maximum <b>lot coverage</b>	45%	(2)	minimum setback to <b>garage face</b>	4.5 m	(3)	maximum <b>garage</b> width: measured from the inside face of the <b>garage</b> side walls	6.0 m
(1)	maximum <b>lot coverage</b>	45%										
(2)	minimum setback to <b>garage face</b>	4.5 m										
(3)	maximum <b>garage</b> width: measured from the inside face of the <b>garage</b> side walls	6.0 m										
4.2.3.97.5	<i>deleted</i>											
4.2.3.97.6	<i>deleted</i>											

4.2.3.98	Exception: RS-98	Map # 09	By-law: 0048-2025
In a RS-98 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RS zone except that the following <b>uses</b> /regulations shall apply:			
<b>Regulations</b>			
4.2.3.98.1	A <b>detached dwelling</b> shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1)	minimum <b>lot area - interior lot</b>	225 m <sup>2</sup>
	(2)	minimum <b>lot frontage - interior lot</b>	7.5 m
	(3)	maximum <b>gross floor area – residential</b>	0.6 times the <b>lot area</b>
4.2.3.98.2	<i>deleted</i>		
4.2.3.98.3	<i>deleted</i>		
4.2.3.98.4	<i>deleted</i>		
4.2.3.98.5	<i>deleted</i>		

4.2.3.99	Exception: RS-99	Map # 30	By-law: 0048-2025
<p>In a RS-99 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RS zone except that the following <b>uses</b>/regulations shall apply:</p>			
<b>Additional Permitted Use</b>			
4.2.3.99.1	(1)	<b>Linked Dwelling</b>	
<b>Regulation</b>			
4.2.3.99.2	A <b>linked dwelling</b> shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law		

4.2.3.100	Exception: RS-100	Map # 03	By-law: 0048-2025
In a RS-100 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RS zone except that the following <b>uses/regulations</b> shall apply:			
Additional Permitted Use			
4.2.3.100.1	(1)	Linked Dwelling	
Regulations			
4.2.3.100.2	A <b>detached dwelling</b> shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1)	minimum <b>lot area - interior lot</b>	275 m <sup>2</sup>
	(2)	minimum <b>lot frontage - interior lot</b>	9.0 m
	(3)	maximum <b>gross floor area – residential</b>	0.6 times the <b>lot area</b>
4.2.3.100.3	A <b>linked dwelling</b> shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1)	minimum <b>lot area - interior lot</b>	275 m <sup>2</sup>
	(2)	minimum <b>lot frontage - interior lot</b>	9.0 m
	(3)	maximum <b>gross floor area - residential</b>	0.6 times the <b>lot area</b>

4.2.3.101	Exception: RS-101	Map # 22	By-law: 0048-2025
In a RS-101 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RS zone except that the following <b>uses/regulations</b> shall apply:			
Regulations			
4.2.3.101.1	A <b>detached dwelling</b> shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1)	minimum <b>lot area - interior lot</b>	270 m <sup>2</sup>
	(2)	minimum <b>lot frontage - interior lots</b> containing a buffer area identified on Schedule RS-101 of this Exception	12.2 m
	(3)	minimum setback of a <b>detached dwelling</b> or <b>semi-detached</b> to a buffer area identified on Schedule RS-101 of this Exception	6.0 m
4.2.3.101.2	No <b>buildings</b> or <b>structures, swimming pools</b> , tennis courts or any like recreational facilities, except for fences along the <b>lot lines</b> , shall be permitted within the buffer area identified on Schedule RS-101 of this Exception		



Schedule RS-101  
Map 22

4.2.3.102	Exception: RS-102	Map # 56	By-law: <i>deleted by 0137-2013, 0229-2014, 0048-2025</i>
In a RS-102 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RS zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.2.3.102.1	<i>deleted</i>		
4.2.3.102.2	A <b>detached dwelling</b> shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that: <div><div>(1)</div><div>maximum <b>lot coverage</b></div><div>48%</div></div> <div><div>(2)</div><div>minimum <b>rear yard - interior lot</b></div><div>6.5 m</div></div> <div><div>(3)</div><div>maximum encroachment of a <b>porch</b>, exclusive of stairs, into the required <b>front yard</b></div><div>2.0 m</div></div> <div><div>(4)</div><div>minimum setback of stairs from the <b>front lot line</b></div><div>1.3 m</div></div> <div><div>(5)</div><div>maximum <b>driveway</b> width where the <b>lot frontage</b> is less than 11.0 m</div><div>3.5 m</div></div> <div><div>(6)</div><div>the area of all <b>porches</b> shall be excluded from the calculation of <b>lot coverage</b></div></div>		
4.2.3.102.3	Minimum <b>interior side yard</b> where a <b>lot</b> abuts lands zoned B	3.1 m	
4.2.3.102.4	Maximum encroachment of a <b>building</b> projection not more than 3.0 m wide, consisting of a minimum of 50% windows, into a required <b>interior side yard</b> where a <b>lot</b> abuts lands zoned B	0.61 m	

4.2.3.103	Exception: RS-103	Map # 39E	By-law: 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RS-103 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RS zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.2.3.103.1	<i>deleted</i>		
4.2.3.103.2	Minimum <b>front yard</b>	7.5 m	
4.2.3.103.3	A <b>detached dwelling</b> shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1) minimum <b>rear yard</b>	3.5 m	
	(2) minimum setback to <b>garage face</b>	4.5 m	
	(3) maximum encroachment of a <b>porch</b> , inclusive of stairs, into a required <b>rear yard</b>	2.0 m	
	(4) each <b>detached dwelling</b> shall have a <b>garage</b>		
	(5) a detached <b>garage</b> shall be permitted in the <b>front yard</b>		
	(6) maximum <b>floor area</b> of a <b>garage</b>	51 m <sup>2</sup>	
	(7) maximum <b>height</b> of a detached <b>garage</b>	7.3 m	
	(8) the <b>lot line</b> abutting Thomas Street shall be deemed to be the <b>rear lot line</b>		

4.2.3.104	Exception: RS-104	Map # 06	By-law: 0048-2025
In a RS-104 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RS zone except that the following <b>uses</b> /regulations shall apply:			
<b>Regulation</b>			
4.2.3.104.1	A <b>detached dwelling</b> shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1)	minimum setback of a <b>detached dwelling</b> to the most northerly <b>rear lot line</b>	5.0 m

4.2.3.105	Exception: RS-105	Map # 29	By-law: 0048-2025
In a RS-105 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RS zone except that the following <b>uses</b> /regulations shall apply:			
<b>Regulations</b>			
4.2.3.105.1	A <b>detached dwelling</b> shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1)	maximum <b>lot coverage</b>	45%
	(2)	maximum encroachment of a <b>porch</b> or <b>balcony</b> into a required <b>front, interior</b> or <b>exterior side yard</b>	2.0 m
	(3)	maximum <b>driveway</b> width	6.0 m
	(4)	maximum <b>garage</b> width: measured from the inside face of the <b>garage</b> side walls	5.5 m

4.2.3.106	Exception: RS-106	Map # 29	By-law: 0048-2025
In a RS-106 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RS zone except that the following <b>uses</b> /regulations shall apply:			
<b>Regulations</b>			
4.2.3.106.1	A <b>detached dwelling</b> shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1)	minimum <b>lot area - interior lot</b>	275 m <sup>2</sup>
	(2)	minimum <b>lot area - corner lot</b>	365 m <sup>2</sup>
	(3)	maximum <b>lot coverage</b>	45%
	(4)	maximum encroachment of a <b>porch</b> or <b>balcony</b> into a required <b>front, interior</b> or <b>exterior side yard</b>	2.0 m
	(5)	maximum <b>driveway</b> width	6.0 m
	(6)	maximum <b>garage</b> width: measured from the inside face of the <b>garage</b> side walls	5.5 m





4.2.3.109	Exception: RS-109	Map # 15	By-law: 0389-2009, 0188-2010, 0048-2025									
In a RS-109 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RS zone except that the following <b>uses</b> /regulations shall apply:												
<b>Regulations</b>												
4.2.3.109.1	<i>deleted</i>											
4.2.3.109.2	<i>deleted</i>											
4.2.3.109.3	A <b>detached dwelling</b> shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:  <table><tr><td>(1)</td><td>maximum <b>lot coverage</b></td><td>49.5%</td></tr><tr><td>(2)</td><td>maximum encroachment of a <b>porch</b> or a <b>deck</b>, located at and accessible from the <b>first storey</b> or below the <b>first storey</b> of the dwelling, inclusive of stairs, into a required <b>front yard</b></td><td>2.0 m</td></tr><tr><td>(3)</td><td>maximum encroachment of a <b>balcony</b> into a required <b>rear yard</b></td><td>2.5 m</td></tr></table>			(1)	maximum <b>lot coverage</b>	49.5%	(2)	maximum encroachment of a <b>porch</b> or a <b>deck</b> , located at and accessible from the <b>first storey</b> or below the <b>first storey</b> of the dwelling, inclusive of stairs, into a required <b>front yard</b>	2.0 m	(3)	maximum encroachment of a <b>balcony</b> into a required <b>rear yard</b>	2.5 m
(1)	maximum <b>lot coverage</b>	49.5%										
(2)	maximum encroachment of a <b>porch</b> or a <b>deck</b> , located at and accessible from the <b>first storey</b> or below the <b>first storey</b> of the dwelling, inclusive of stairs, into a required <b>front yard</b>	2.0 m										
(3)	maximum encroachment of a <b>balcony</b> into a required <b>rear yard</b>	2.5 m										
4.2.3.109.4	<i>deleted</i>											
4.2.3.109.5	Minimum <b>interior side yard</b> abutting a RL zone		3.0 m									
4.2.3.109.6	<i>deleted</i>											

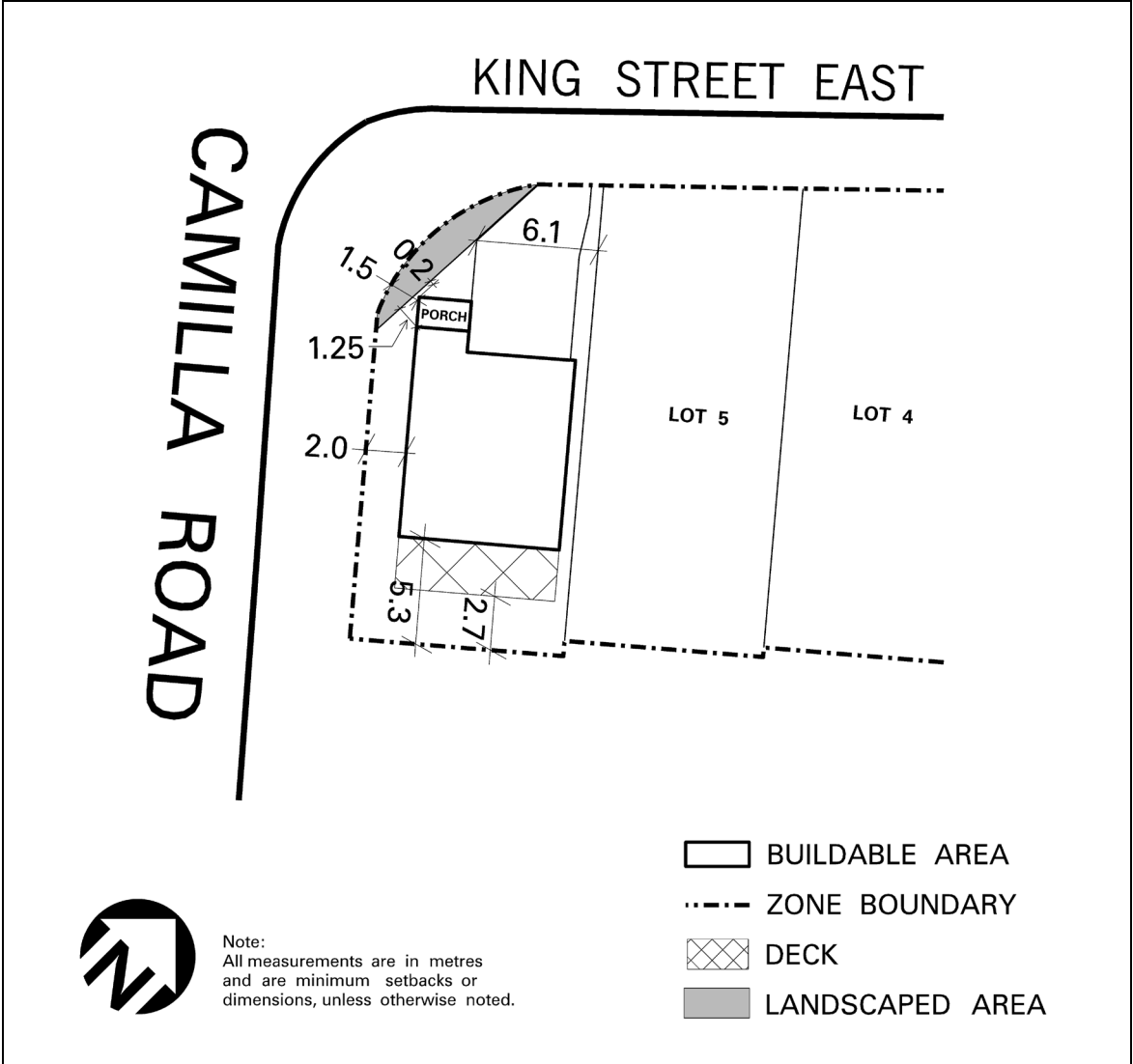
4.2.3.110	Exception: RS-110	Map # 37W	By-law: 0024-2011, 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RS-110 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RS zone except that the following <b>uses</b> /regulations shall apply:			
<b>Regulations</b>			
4.2.3.110.1	<i>deleted</i>		
4.2.3.110.2	<i>deleted</i>		
4.2.3.110.3	<i>deleted</i>		
4.2.3.110.4	<i>deleted</i>		
4.2.3.110.5	A <b>detached dwelling</b> shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:  (1)     maximum <b>lot coverage</b>		

4.2.3.111	Exception: RS-111	Map # 06	By-law: OMB Order 2011 September 29, 0048-2025
In a RS-111 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RS zone except that the following <b>uses</b> /regulations shall apply:			
<b>Regulation</b>			
4.2.3.111.1	A <b>detached dwelling</b> shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1) minimum <b>interior side yard - interior lot</b>	1.2 m on one side of the <b>lot</b> and 0.35 m on the other side	

4.2.3.112	Exception: RS-112	Map # 06	By-law: 0148-2015, 0048-2025
In a RS-112 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RS zone except that the following <b>uses</b> /regulations shall apply:			
<b>Regulation</b>			
4.2.3.112.1	<i>deleted</i>		
4.2.3.112.2	Minimum <b>interior side yard</b> where a <b>lot</b> abuts a side <b>lot line</b> of lands zoned RL		2.0 m
4.2.3.112.3	<i>deleted</i>		

4.2.3.113	Exception: RS-113	Map # 20	By-law: LPAT Order 2019 March 26, 0048-2021, 0048-2025
In a RS-113 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RS zone except that the following <b>uses</b> /regulations shall apply:			
<b>Regulations</b>			
4.2.3.113.1	A <b>detached dwelling</b> shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1) minimum <b>interior side yard</b>	1.0 m	
	(2) minimum <b>rear yard</b>	6.0 m	
	(3) maximum encroachment of a <b>porch, deck</b> or <b>balcony</b> into a <b>front yard</b>	1.8 m	
	(4) maximum encroachment of a <b>balcony</b> into a <b>rear yard</b>	1.7 m	

4.2.3.114	Exception: RS-114	Map # 14	By-law: OLT Order 2023 March 07, 0048-2025																								
In a RS-114 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RS zone except that the following <b>uses</b> /regulations shall apply:																											
Regulations																											
4.2.3.114.1	A <b>detached dwelling</b> shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:  <table><tr><td>(1)</td><td>minimum <b>lot area - interior lot</b></td><td>229 m<sup>2</sup></td></tr><tr><td>(2)</td><td>minimum <b>lot area - corner lot</b></td><td>228 m<sup>2</sup></td></tr><tr><td>(3)</td><td>minimum <b>lot frontage</b></td><td>10.0 m</td></tr><tr><td>(4)</td><td>maximum <b>lot coverage</b></td><td>45%</td></tr><tr><td>(5)</td><td>minimum <b>rear yard</b></td><td>6.0 m</td></tr><tr><td>(6)</td><td>maximum encroachment of a <b>porch</b> or <b>deck</b>, inclusive of stairs, located at and accessible from the <b>first storey</b> or below the <b>first storey</b> of the dwelling into the required <b>front yard</b></td><td>1.5 m</td></tr><tr><td>(7)</td><td>maximum encroachment of a <b>porch</b> or <b>deck</b>, inclusive of stairs, located at and accessible from the <b>first storey</b> or below the <b>first storey</b> of the dwelling into the required <b>rear yard</b></td><td>3.5 m</td></tr><tr><td>(8)</td><td colspan="2">all site development plans shall comply with Schedule RS-114 of this Exception</td></tr></table>			(1)	minimum <b>lot area - interior lot</b>	229 m <sup>2</sup>	(2)	minimum <b>lot area - corner lot</b>	228 m <sup>2</sup>	(3)	minimum <b>lot frontage</b>	10.0 m	(4)	maximum <b>lot coverage</b>	45%	(5)	minimum <b>rear yard</b>	6.0 m	(6)	maximum encroachment of a <b>porch</b> or <b>deck</b> , inclusive of stairs, located at and accessible from the <b>first storey</b> or below the <b>first storey</b> of the dwelling into the required <b>front yard</b>	1.5 m	(7)	maximum encroachment of a <b>porch</b> or <b>deck</b> , inclusive of stairs, located at and accessible from the <b>first storey</b> or below the <b>first storey</b> of the dwelling into the required <b>rear yard</b>	3.5 m	(8)	all site development plans shall comply with Schedule RS-114 of this Exception	
(1)	minimum <b>lot area - interior lot</b>	229 m <sup>2</sup>																									
(2)	minimum <b>lot area - corner lot</b>	228 m <sup>2</sup>																									
(3)	minimum <b>lot frontage</b>	10.0 m																									
(4)	maximum <b>lot coverage</b>	45%																									
(5)	minimum <b>rear yard</b>	6.0 m																									
(6)	maximum encroachment of a <b>porch</b> or <b>deck</b> , inclusive of stairs, located at and accessible from the <b>first storey</b> or below the <b>first storey</b> of the dwelling into the required <b>front yard</b>	1.5 m																									
(7)	maximum encroachment of a <b>porch</b> or <b>deck</b> , inclusive of stairs, located at and accessible from the <b>first storey</b> or below the <b>first storey</b> of the dwelling into the required <b>rear yard</b>	3.5 m																									
(8)	all site development plans shall comply with Schedule RS-114 of this Exception																										
4.2.3.114.2	deleted																										
4.2.3.114.3	deleted																										



Schedule RS-114  
Map 14

4.2.3.115	Exception: RS-115	Map # 56	By-law: 0232-2024, 0048-2025
In a RS-115 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RS zone except that the following <b>uses</b> /regulations shall apply:			
<b>Regulations</b>			
4.2.3.115.1	Minimum <b>lot area - corner lot - semi-detached</b>		340 m <sup>2</sup>
4.2.3.115.2	<i>deleted</i>		
4.2.3.115.3	<i>deleted</i>		
4.2.3.115.4	<i>deleted</i>		
4.2.3.115.5	<i>deleted</i>		
4.2.3.115.6	Maximum <b>lot coverage - semi-detached</b>		50%
4.2.3.115.7	Minimum <b>exterior side yard - semi-detached</b>		3.0 m
4.2.3.115.8	Minimum <b>rear yard - interior lot/corner lot - semi-detached</b>		6.0 m
4.2.3.115.9	Maximum <b>height - semi-detached</b>		11.0 m

4.2.3.116	Exception: RS-116	Map # 22	By-law: 0218-2024, 0048-2025
In a RS-116 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RS zone except that the following <b>uses</b> /regulations shall apply:			
<b>Regulations</b>			
4.2.3.116.1	Minimum <b>lot area - corner lot</b> that abuts a <b>CEC - road</b>		320 m <sup>2</sup>
4.2.3.116.2	Minimum <b>lot frontage - corner lot</b> that abuts a <b>CEC - road</b>		9.4 m
4.2.3.116.3	Minimum <b>exterior side yard - corner lot</b> with an <b>exterior side lot line</b> abutting <b>CEC - road</b>		1.5 m
4.2.3.116.4	Minimum setback of a <b>detached dwelling</b> to a <b>sight triangle</b>		1.8 m
4.2.3.116.5	Minimum setback of a <b>porch</b> to a <b>sight triangle</b>		0.8 m

4.2.3.117	Exception: RS-117	Map # 57, 58	By-law: 0048-2025
In a RS-117 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RS zone except that the following <b>uses</b> /regulations shall apply:			
<b>Regulations</b>			
4.2.3.117.1	<i>deleted</i>		
4.2.3.117.2	<i>deleted</i>		
4.2.3.117.3	<i>deleted</i>		
4.2.3.117.4	<i>deleted</i>		
4.2.3.117.5	<i>deleted</i>		
4.2.3.117.6	Minimum setback of a <b>detached dwelling</b> or <b>semi-detached</b> to all lands zoned U-3		16.0 m
4.2.3.117.7	Maximum <b>driveway</b> width		Lesser of 6.1 m or 50% of the <b>lot frontage</b>
4.2.3.117.8	Maximum <b>garage</b> width: measured from the inside face of the <b>garage</b> side walls		Lesser of 6.1 m or 50% of the <b>lot frontage</b>

4.2.3.118	Exception: RS-118	Map # 28	By-law: 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RS-118 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RS zone except that the following <b>uses</b> /regulations shall apply:			
<b>Regulations</b>			
4.2.3.118.1	The regulations of Lines 9.1 and 9.2 contained in Table 4.2.1 of this By-law shall not apply		
4.2.3.118.2	<i>deleted</i>		
4.2.3.118.3	<i>deleted</i>		
4.2.3.118.4	<i>deleted</i>		
4.2.3.118.5	<i>deleted</i>		
4.2.3.118.6	<i>deleted</i>		
4.2.3.118.7	Minimum setback of a <b>detached dwelling</b> to all lands zoned PB1		18.5 m
4.2.3.118.8	Maximum <b>driveway</b> width		6.0 m
4.2.3.118.9	Maximum <b>garage</b> width: measured from the inside face of the <b>garage</b> side walls		6.0 m

4.2.3.119	Exception: RS-119	Map # 57	By-law: 0048-2025
In a RS-119 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RS zone except that the following <b>uses</b> /regulations shall apply:			
<b>Regulations</b>			
4.2.3.119.1	<i>deleted</i>		
4.2.3.119.2	<i>deleted</i>		
4.2.3.119.3	<i>deleted</i>		
4.2.3.119.4	<i>deleted</i>		
4.2.3.119.5	<i>deleted</i>		
4.2.3.119.6	Minimum setback of a <b>detached dwelling</b> or <b>semi-detached</b> to all lands zoned U-3	14.0 m	
4.2.3.119.7	Maximum <b>driveway</b> width	Lesser of 6.1 m or 50% of the <b>lot frontage</b>	
4.2.3.119.8	Maximum <b>garage</b> width: measured from the inside face of the <b>garage</b> side walls	Lesser of 6.1 m or 50% of the <b>lot frontage</b>	

4.2.3.120	Exception: RS-120	Map # 57	By-law: 0048-2025
In a RS-120 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RS zone except that the following <b>uses</b> /regulations shall apply:			
<b>Regulations</b>			
4.2.3.120.1	<i>deleted</i>		
4.2.3.120.2	<i>deleted</i>		
4.2.3.120.3	<i>deleted</i>		
4.2.3.120.4	<i>deleted</i>		
4.2.3.120.5	<i>deleted</i>		
4.2.3.120.6	Minimum setback of a <b>detached dwelling</b> or <b>semi-detached</b> to all lands zoned U-3	14.0 m	
4.2.3.120.7	Maximum <b>driveway</b> width	Lesser of 6.1 m or 50% of the <b>lot frontage</b>	
4.2.3.120.8	Maximum <b>garage</b> width: measured from the inside face of the <b>garage</b> side walls	Lesser of 6.1 m or 50% of the <b>lot frontage</b>	

4.2.3.121	Exception: RS-121	Map # 57	By-law: 0048-2025
In a RS-121 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RS zone except that the following <b>uses</b> /regulations shall apply:			
<b>Regulations</b>			
4.2.3.121.1	<i>deleted</i>		
4.2.3.121.2	<i>deleted</i>		
4.2.3.121.3	<i>deleted</i>		
4.2.3.121.4	<i>deleted</i>		
4.2.3.121.5	<i>deleted</i>		
4.2.3.121.6	Minimum setback of a <b>detached dwelling</b> or <b>semi-detached</b> to all lands zoned U-3		12.7 m
4.2.3.121.7	Maximum <b>driveway</b> width		Lesser of 6.1 m or 50% of the <b>lot frontage</b>
4.2.3.121.8	Maximum <b>garage</b> width: measured from the inside face of the <b>garage</b> side walls		Lesser of 6.1 m or 50% of the <b>lot frontage</b>

4.2.3.122	Exception: RS-122	Map # 57	By-law: 0048-2025
In a RS-122 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RS zone except that the following <b>uses</b> /regulations shall apply:			
<b>Regulations</b>			
4.2.3.122.1	<i>deleted</i>		
4.2.3.122.2	<i>deleted</i>		
4.2.3.122.3	<i>deleted</i>		
4.2.3.122.4	<i>deleted</i>		
4.2.3.122.5	<i>deleted</i>		
4.2.3.122.6	Minimum setback of a <b>detached dwelling</b> or <b>semi-detached</b> to all lands zoned U-3		12.7 m
4.2.3.122.7	Maximum <b>driveway</b> width		Lesser of 6.1 m or 50% of the <b>lot frontage</b>
4.2.3.122.8	Maximum <b>garage</b> width: measured from the inside face of the <b>garage</b> side walls		Lesser of 6.1 m or 50% of the <b>lot frontage</b>

4.2.3.123	Exception: RS-123	Map # 57	By-law: 0048-2025
In a RS-123 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RS zone except that the following <b>uses</b> /regulations shall apply:			
<b>Regulations</b>			
4.2.3.123.1	<i>deleted</i>		
4.2.3.123.2	<i>deleted</i>		
4.2.3.123.3	<i>deleted</i>		
4.2.3.123.4	<i>deleted</i>		
4.2.3.123.5	<i>deleted</i>		
4.2.3.123.6	Minimum setback of a <b>detached dwelling</b> or <b>semi-detached</b> to all lands zoned U-3		14.9 m
4.2.3.123.7	Maximum <b>driveway</b> width		Lesser of 6.1 m or 50% of the <b>lot frontage</b>
4.2.3.123.8	Maximum <b>garage</b> width: measured from the inside face of the <b>garage</b> side walls		Lesser of 6.1 m or 50% of the <b>lot frontage</b>

4.2.3.124	Exception: RS-124	Map # 57	By-law: 0048-2025
In a RS-124 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RS zone except that the following <b>uses</b> /regulations shall apply:			
<b>Regulations</b>			
4.2.3.124.1	<i>deleted</i>		
4.2.3.124.2	<i>deleted</i>		
4.2.3.124.3	<i>deleted</i>		
4.2.3.124.4	<i>deleted</i>		
4.2.3.124.5	<i>deleted</i>		
4.2.3.124.6	Minimum setback of a <b>detached dwelling</b> or <b>semi-detached</b> to all lands zoned U-3		13.6 m
4.2.3.124.7	Maximum <b>driveway</b> width		Lesser of 6.1 m or 50% of the <b>lot frontage</b>
4.2.3.124.8	Maximum <b>garage</b> width: measured from the inside face of the <b>garage</b> side walls		Lesser of 6.1 m or 50% of the <b>lot frontage</b>



4.2.3.125	Exception: RS-125	Map # 57	By-law: 0048-2025
In a RS-125 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RS zone except that the following <b>uses</b> /regulations shall apply:			
<b>Regulations</b>			
4.2.3.125.1	<i>deleted</i>		
4.2.3.125.2	<i>deleted</i>		
4.2.3.125.3	<i>deleted</i>		
4.2.3.125.4	<i>deleted</i>		
4.2.3.125.5	<i>deleted</i>		
4.2.3.125.6	Minimum setback of a <b>detached dwelling</b> or <b>semi-detached</b> to all lands zoned U-3		16.0 m
4.2.3.125.7	Maximum <b>driveway</b> width		Lesser of 6.1 m or 50% of the <b>lot frontage</b>
4.2.3.125.8	Maximum <b>garage</b> width: measured from the inside face of the <b>garage</b> side walls		Lesser of 6.1 m or 50% of the <b>lot frontage</b>

4.2.3.126	Exception: RS-126	Map # 57	By-law: 0048-2025
In a RS-126 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RS zone except that the following <b>uses</b> /regulations shall apply:			
<b>Regulation</b>			
4.2.3.126.1	A <b>detached dwelling</b> shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1) minimum <b>rear yard</b>	6.86 m	

4.2.3.127	Exception: RS-127	Map # 57	By-law: 0048-2025
In a RS-127 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RS zone except that the following <b>uses</b> /regulations shall apply:			
<b>Regulations</b>			
4.2.3.127.1	<i>deleted</i>		
4.2.3.127.2	<i>deleted</i>		
4.2.3.127.3	<i>deleted</i>		
4.2.3.127.4	<i>deleted</i>		
4.2.3.127.5	A <b>detached dwelling</b> shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1) minimum <b>rear yard</b>	6.3 m	
4.2.3.127.6	Minimum setback of a <b>detached dwelling</b> or <b>semi-detached</b> to all lands zoned U-3		14.0 m
4.2.3.127.7	Maximum <b>driveway</b> width		Lesser of 6.1 m or 50% of the <b>lot frontage</b>
4.2.3.127.8	Maximum <b>garage</b> width: measured from the inside face of the <b>garage</b> side walls		Lesser of 6.1 m or 50% of the <b>lot frontage</b>

4.2.3.128	Exception: RS-128	Map # 57	By-law: 0048-2025
In a RS-128 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RS zone except that the following <b>uses</b> /regulations shall apply:			
<b>Regulations</b>			
4.2.3.128.1	<i>deleted</i>		
4.2.3.128.2	<i>deleted</i>		
4.2.3.128.3	<i>deleted</i>		
4.2.3.128.4	<i>deleted</i>		
4.2.3.128.5	A <b>detached dwelling</b> shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1) minimum <b>rear yard</b>	6.01 m	
4.2.3.128.6	Minimum setback of a <b>detached dwelling</b> or <b>semi-detached</b> to all lands zoned U-3	14.0 m	
4.2.3.128.7	Maximum <b>driveway</b> width	Lesser of 6.1 m or 50% of the <b>lot frontage</b>	
4.2.3.128.8	Maximum <b>garage</b> width: measured from the inside face of the <b>garage</b> side walls	Lesser of 6.1 m or 50% of the <b>lot frontage</b>	

4.2.3.129	Exception: RS-129	Map # 57	By-law: 0048-2025
In a RS-129 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RS zone except that the following <b>uses</b> /regulations shall apply:			
<b>Regulations</b>			
4.2.3.129.1	<i>deleted</i>		
4.2.3.129.2	<i>deleted</i>		
4.2.3.129.3	<i>deleted</i>		
4.2.3.129.4	<i>deleted</i>		
4.2.3.129.5	A <b>detached dwelling</b> shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1) minimum <b>rear yard</b>	5.77 m	
4.2.3.129.6	Minimum setback of a <b>detached dwelling</b> or <b>semi-detached</b> to all lands zoned U-3	14.0 m	
4.2.3.129.7	Maximum <b>driveway</b> width	Lesser of 6.1 m or 50% of the <b>lot frontage</b>	
4.2.3.129.8	Maximum <b>garage</b> width: measured from the inside face of the <b>garage</b> side walls	Lesser of 6.1 m or 50% of the <b>lot frontage</b>	

4.2.3.130	Exception: RS-130	Map # 57	By-law: 0048-2025
In a RS-130 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RS zone except that the following <b>uses</b> /regulations shall apply:			
<b>Regulations</b>			
4.2.3.130.1	<i>deleted</i>		
4.2.3.130.2	<i>deleted</i>		
4.2.3.130.3	<i>deleted</i>		
4.2.3.130.4	<i>deleted</i>		
4.2.3.130.5	A <b>detached dwelling</b> shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1) minimum <b>rear yard</b>	6.22 m	
4.2.3.130.6	Minimum setback of a <b>detached dwelling</b> or <b>semi-detached</b> to all lands zoned U-3	14.0 m	
4.2.3.130.7	Maximum <b>driveway</b> width	Lesser of 6.1 m or 50% of the <b>lot frontage</b>	
4.2.3.130.8	Maximum <b>garage</b> width: measured from the inside face of the <b>garage</b> side walls	Lesser of 6.1 m or 50% of the <b>lot frontage</b>	

4.2.3.131	Exception: RS-131	Map # 57	By-law: 0048-2025
In a RS-131 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RS zone except that the following <b>uses</b> /regulations shall apply:			
<b>Regulations</b>			
4.2.3.131.1	<i>deleted</i>		
4.2.3.131.2	<i>deleted</i>		
4.2.3.131.3	<i>deleted</i>		
4.2.3.131.4	<i>deleted</i>		
4.2.3.131.5	A <b>detached dwelling</b> shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1) minimum <b>rear yard</b>	6.73 m	
4.2.3.131.6	Minimum setback of a <b>detached dwelling</b> or <b>semi-detached</b> to all lands zoned U-3	14.0 m	
4.2.3.131.7	Maximum <b>driveway</b> width	Lesser of 6.1 m or 50% of the <b>lot frontage</b>	
4.2.3.131.8	Maximum <b>garage</b> width: measured from the inside face of the <b>garage</b> side walls	Lesser of 6.1 m or 50% of the <b>lot frontage</b>	

4.2.3.132	Exception: RS-132	Map # 57	By-law: 0048-2025
In a RS-132 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RS zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.2.3.132.1	<i>deleted</i>		
4.2.3.132.2	<i>deleted</i>		
4.2.3.132.3	<i>deleted</i>		
4.2.3.132.4	<i>deleted</i>		
4.2.3.132.5	A <b>detached dwelling</b> shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1) minimum <b>rear yard</b>	6.57 m	
4.2.3.132.6	Minimum setback of a <b>detached dwelling</b> or <b>semi-detached</b> to all lands zoned U-3		14.0 m
4.2.3.132.7	Maximum <b>driveway</b> width		Lesser of 6.1 m or 50% of the <b>lot frontage</b>
4.2.3.132.8	Maximum <b>garage</b> width: measured from the inside face of the <b>garage</b> side walls		Lesser of 6.1 m or 50% of the <b>lot frontage</b>

4.2.3.133	Exception: RS-133	Map # 30	By-law: 0184-2008, 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RS-133 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RS zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.2.3.133.1	<i>deleted</i>		
4.2.3.133.2	<i>deleted</i>		
4.2.3.133.3	<i>deleted</i>		
4.2.3.133.4	<i>deleted</i>		
4.2.3.133.5	<i>deleted</i>		
4.2.3.133.6	A <b>detached dwelling</b> shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:  (1)     minimum <b>rear yard - interior lot</b>		

4.2.3.134	Exception: RS-134	Map # 57	By-law: 0077-2012, 0048-2025
In a RS-134 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RS zone except that the following <b>uses/regulations</b> shall apply:			
Additional Permitted Use			
4.2.3.134.1	(1) A <b>detached dwelling</b> with one second unit		
Regulations			
4.2.3.134.2	deleted		
4.2.3.134.3	deleted		
4.2.3.134.4	Minimum <b>rear yard - interior lot</b> for a one <b>storey detached dwelling</b>		6.0 m
4.2.3.134.5	Maximum <b>driveway</b> width		46.5% of the <b>lot frontage</b>
4.2.3.134.6	Maximum <b>garage</b> width: measured from the inside face of the <b>garage</b> side walls		46.5% of the <b>lot frontage</b>
4.2.3.134.7	Minimum setback of stairs from the <b>front</b> and <b>exterior side lot lines</b>		1.0 m
4.2.3.134.8	A <b>detached dwelling</b> with a second unit shall also comply with the following:  (1) the provisions contained in Articles 4.1.1.1 and 4.1.1.3 of this By-law shall not apply  (2) notwithstanding the provisions contained in Article 4.1.5.8 of this By-law, stairs, stairwells or retaining walls, to facilitate an entrance located below grade at any point, or to facilitate a direct entrance only to the <b>basement</b> , shall be permitted to encroach into the required <b>rear yard</b>  (3) minimum <b>gross floor area - residential</b> of a second unit 32.5 m <sup>2</sup>  (4) not more than one pedestrian entrance to a <b>detached dwelling</b> shall face a <b>street</b>  (5) an entrance to a second unit shall not be located within an attached <b>garage</b>  (6) in addition to the required number of <b>parking spaces</b> for a <b>detached dwelling</b> , one additional <b>parking space</b> shall be required for a second unit  (7) a <b>lot</b> with a second unit shall have one and not more than one <b>driveway</b>  (8) "Second Unit" means a self-contained <b>dwelling unit</b> within a <b>detached dwelling</b> with its own kitchen, sanitary facilities, bedroom(s)/sleeping area and entrance.		

4.2.3.135	Exception: RS-135	Map # 57	By-law: 0048-2025
In a RS-135 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RS zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulation</b>			
4.2.3.135.1	Maximum <b>garage</b> width:  measured from the inside face of the <b>garage</b> side walls - <b>lots</b> with <b>lot frontage</b> of 12.5 m or greater		Lesser of 6.1 m or 45% of the <b>lot frontage</b>

4.2.3.136	Exception: RS-136	Map # 44W	By-law: 0048-2025
In a RS-136 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RS zone except that the following <b>uses</b> /regulations shall apply:			
<b>Regulations</b>			
4.2.3.136.1	<i>deleted</i>		
4.2.3.136.2	A <b>detached dwelling</b> shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1) minimum <b>lot area - interior lot</b>	280 m <sup>2</sup>	
4.2.3.136.3	<i>deleted</i>		
4.2.3.136.4	Maximum <b>driveway</b> width	3.8 m	
4.2.3.136.5	Maximum <b>garage</b> width: measured from the inside face of the <b>garage</b> side walls	3.8 m	

4.2.3.137	Exception: RS-137	Map # 28	By-law: 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RS-137 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RS zone except that the following <b>uses</b> /regulations shall apply:			
<b>Regulations</b>			
4.2.3.137.1	<i>deleted</i>		
4.2.3.137.2	A <b>detached dwelling</b> shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1) minimum <b>lot area - interior lot</b>	280 m <sup>2</sup>	
	(2) minimum <b>lot area - corner lot</b>	335 m <sup>2</sup>	
4.2.3.137.3	<i>deleted</i>		
4.2.3.137.4	<i>deleted</i>		
4.2.3.137.5	<i>deleted</i>		
4.2.3.137.6	Minimum setback of a <b>detached dwelling</b> or <b>semi-detached</b> to all lands zoned PB1	18.5 m	
4.2.3.137.7	Maximum <b>driveway</b> width - <b>interior lot</b>	4.3 m	
4.2.3.137.8	Maximum <b>driveway</b> width - <b>corner lot</b>	4.7 m	
4.2.3.137.9	Maximum <b>garage</b> width: measured from the inside face of the <b>garage</b> side walls	3.8 m	

4.2.3.138	Exception: RS-138	Map # 28	By-law: 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RS-138 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RS zone except that the following <b>uses</b> /regulations shall apply:			
<b>Regulations</b>			
4.2.3.138.1	<i>deleted</i>		
4.2.3.138.2	A <b>detached dwelling</b> shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1) minimum <b>lot area - interior lot</b>	280 m <sup>2</sup>	
	(2) minimum <b>lot area - corner lot</b>	335 m <sup>2</sup>	
4.2.3.138.3	<i>deleted</i>		
4.2.3.138.4	<i>deleted</i>		
4.2.3.138.5	<i>deleted</i>		
4.2.3.138.6	Minimum setback of a <b>detached dwelling</b> or <b>semi-detached</b> to all lands zoned PB1	18.5 m	
4.2.3.138.7	Maximum <b>driveway</b> width - <b>interior lot</b>	4.3 m	
4.2.3.138.8	Maximum <b>driveway</b> width - <b>corner lot</b>	4.7 m	
4.2.3.138.9	Maximum <b>garage</b> width: measured from the inside face of the <b>garage</b> side walls	3.8 m	

4.2.3.139	Exception: RS-139	Map # 57	By-law: 0449-2007, 0048-2025
In a RS-139 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RS zone except that the following <b>uses</b> /regulations shall apply:			
<b>Regulations</b>			
4.2.3.139.1	<i>deleted</i>		
4.2.3.139.2	<i>deleted</i>		
4.2.3.139.3	<i>deleted</i>		
4.2.3.139.4	<i>deleted</i>		
4.2.3.139.5	<i>deleted</i>		
4.2.3.139.6	Maximum <b>driveway</b> width	6.5 m	
4.2.3.139.7	Maximum <b>garage</b> width: measured from the inside face of the <b>garage</b> side walls	5.5 m	

4.2.3.140	Exception: RS-140	Map # 57, 58	By-law: 0048-2025
In a RS-140 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RS zone except that the following <b>uses</b> /regulations shall apply:			
<b>Regulations</b>			
4.2.3.140.1	A <b>detached dwelling</b> shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1) minimum <b>lot area - interior lot</b>		275 m <sup>2</sup>
4.2.3.140.2	<i>deleted</i>		
4.2.3.140.3	<i>deleted</i>		
4.2.3.140.4	<i>deleted</i>		
4.2.3.140.5	Minimum setback of a <b>detached dwelling</b> or <b>semi-detached</b> to all lands zoned U-3		11.0 m
4.2.3.140.6	<i>deleted</i>		
4.2.3.140.7	Maximum <b>driveway</b> width		6.5 m
4.2.3.140.8	Maximum <b>garage</b> width: measured from the inside face of the <b>garage</b> side walls		5.5 m

4.2.3.141	Exception: RS-141	Map # 56	By-law: 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RS-141 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RS zone except that the following <b>uses</b> /regulations shall apply:			
<b>Regulations</b>			
4.2.3.141.1	<i>deleted</i>		
4.2.3.141.2	A <b>detached dwelling</b> shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1) minimum <b>lot area - corner lot</b>		365 m <sup>2</sup>
4.2.3.141.3	<i>deleted</i>		
4.2.3.141.4	<i>deleted</i>		
4.2.3.141.5	<i>deleted</i>		
4.2.3.141.6	Maximum <b>driveway</b> width		6.0 m
4.2.3.141.7	Maximum <b>garage</b> width: measured from the inside face of the <b>garage</b> side walls		5.7 m
4.2.3.141.8	Minimum number of <b>parking spaces</b>		3



4.2.3.142	Exception: RS-142	Map # 56	By-law: 0048-2025
In a RS-142 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RS zone except that the following <b>uses</b> /regulations shall apply:			
<b>Regulations</b>			
4.2.3.142.1	<i>deleted</i>		
4.2.3.142.2	A <b>detached dwelling</b> shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1) minimum <b>lot area - corner lot</b>	365 m <sup>2</sup>	
4.2.3.142.3	<i>deleted</i>		
4.2.3.142.4	<i>deleted</i>		
4.2.3.142.5	Minimum <b>interior side yard</b> where side <b>lot line</b> abuts a G1 zone	3.0 m	
4.2.3.142.6	Maximum <b>driveway</b> width	6.0 m	
4.2.3.142.7	Maximum <b>garage</b> width: measured from the inside face of the <b>garage</b> side walls	5.7 m	
4.2.3.142.8	Minimum number of <b>parking spaces</b>	3	

4.2.3.143	Exception: RS-143	Map # 38E	By-law: 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RS-143 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RS zone except that the following <b>uses</b> /regulations shall apply:			
<b>Regulations</b>			
4.2.3.143.1	<i>deleted</i>		
4.2.3.143.2	A <b>detached dwelling</b> shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1) maximum <b>lot coverage</b>	47%	
	(2) minimum <b>lot area - corner lot</b>	365 m <sup>2</sup>	
4.2.3.143.3	<i>deleted</i>		
4.2.3.143.4	<i>deleted</i>		
4.2.3.143.5	<i>deleted</i>		
4.2.3.143.6	<i>deleted</i>		
4.2.3.143.7	Maximum <b>driveway</b> width	5.5 m	
4.2.3.143.8	Maximum <b>garage</b> width: measured from the inside face of the <b>garage</b> side walls	5.7 m	

4.2.3.144	Exception: RS-144	Map # 38E	By-law: 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RS-144 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RS zone except that the following <b>uses</b> /regulations shall apply:			
<b>Regulations</b>			
4.2.3.144.1	<i>deleted</i>		
4.2.3.144.2	Maximum <b>lot coverage</b>	45%	
4.2.3.144.3	<i>deleted</i>		
4.2.3.144.4	<i>deleted</i>		
4.2.3.144.5	<i>deleted</i>		
4.2.3.144.6	<i>deleted</i>		
4.2.3.144.7	<i>deleted</i>		
4.2.3.144.8	<i>deleted</i>		
4.2.3.144.9	<i>deleted</i>		
4.2.3.144.10	<i>deleted</i>		
4.2.3.144.11	Maximum <b>driveway</b> width	6.0 m	
4.2.3.144.12	Maximum <b>garage</b> width: measured from the inside face of the <b>garage</b> side walls	6.0 m	

4.2.3.145	Exception: RS-145	Map # 30	By-law: 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RS-145 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RS zone except that the following <b>uses</b> /regulations shall apply:			
<b>Regulations</b>			
4.2.3.145.1	<i>deleted</i>		
4.2.3.145.2	<i>deleted</i>		
4.2.3.145.3	<i>deleted</i>		
4.2.3.145.4	<i>deleted</i>		
4.2.3.145.5	<i>deleted</i>		
4.2.3.145.6	<i>deleted</i>		
4.2.3.145.7	<i>deleted</i>		
4.2.3.145.8	<i>deleted</i>		
4.2.3.145.9	Maximum <b>driveway</b> width	5.5 m	
4.2.3.145.10	Maximum <b>garage</b> width: measured from the inside face of the <b>garage</b> side walls	5.5 m	

4.2.3.146	Exception: RS-146	Map # 30	By-law: 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RS-146 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RS zone except that the following <b>uses</b> /regulations shall apply:			
<b>Regulations</b>			
4.2.3.146.1	<i>deleted</i>		
4.2.3.146.2	<i>deleted</i>		
4.2.3.146.3	<i>deleted</i>		
4.2.3.146.4	<i>deleted</i>		
4.2.3.146.5	<i>deleted</i>		
4.2.3.146.6	<i>deleted</i>		
4.2.3.146.7	<i>deleted</i>		
4.2.3.146.8	<i>deleted</i>		
4.2.3.146.9	Maximum <b>driveway</b> width	6.5 m	
4.2.3.146.10	Maximum <b>garage</b> width: measured from the inside face of the <b>garage</b> side walls	5.5 m	

4.2.3.147	Exception: RS-147	Map # 57	By-law: 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RS-147 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RS zone except that the following <b>uses</b> /regulations shall apply:			
Regulations			
4.2.3.147.1	A <b>detached dwelling</b> shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1) minimum <b>lot area - interior lot</b>	275 m <sup>2</sup>	
	(2) minimum setback to <b>garage face</b>	4.0 m	
4.2.3.147.2	deleted		
4.2.3.147.3	deleted		
4.2.3.147.4	deleted		
4.2.3.147.5	deleted		
4.2.3.147.6	Maximum <b>driveway</b> width	6.5 m	
4.2.3.147.7	Maximum <b>garage</b> width: measured from the inside face of the <b>garage</b> side walls	5.5 m	

4.2.3.148	Exception: RS-148	Map # 57	By-law: 0048-2025
In a RS-148 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RS zone except that the following <b>uses</b> /regulations shall apply:			
<b>Regulations</b>			
4.2.3.148.1	The regulations of Lines 9.1 and 9.2 contained in Table 4.2.1 of this By-law shall not apply		
4.2.3.148.2	A <b>detached dwelling</b> shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1) minimum <b>lot area - interior lot</b>	275 m <sup>2</sup>	
4.2.3.148.3	<i>deleted</i>		
4.2.3.148.4	<i>deleted</i>		
4.2.3.148.5	<i>deleted</i>		
4.2.3.148.6	Minimum setback of a detached <b>garage</b> to a <b>rear lot line</b>	0.5 m	
4.2.3.148.7	Minimum distance between a detached <b>garage</b> and a <b>detached dwelling</b> on the same <b>lot</b>	6.0 m	
4.2.3.148.8	Minimum setback of a detached <b>garage</b> located in a <b>rear yard</b> to a side <b>lot line</b>	0.85 m on one side and 0.0 m on the other side	
4.2.3.148.9	Maximum <b>driveway</b> width	6.5 m	
4.2.3.148.10	Maximum <b>garage</b> width: measured from the inside face of the <b>garage</b> side walls	5.5 m	
4.2.3.148.11	The <b>lot line</b> abutting a <b>street</b> with a width of 17.0 m or greater shall be deemed to be the <b>front lot line</b>		
4.2.3.148.12	A detached <b>garage</b> in the <b>rear yard</b> shall be provided		

4.2.3.149	Exception: RS-149	Map # 58	By-law: 0048-2025
In a RS-149 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RS zone except that the following <b>uses</b> /regulations shall apply:			
<b>Regulations</b>			
4.2.3.149.1	<i>deleted</i>		
4.2.3.149.2	<i>deleted</i>		
4.2.3.149.3	<i>deleted</i>		
4.2.3.149.4	<i>deleted</i>		
4.2.3.149.5	<i>deleted</i>		
4.2.3.149.6	Minimum setback of a <b>detached dwelling</b> or <b>semi-detached</b> to all lands zoned U-3		16.0 m
4.2.3.149.7	Maximum <b>driveway</b> width		6.5 m
4.2.3.149.8	Maximum <b>garage</b> width: measured from the inside face of the <b>garage</b> side walls		5.5 m

4.2.3.150	Exception: RS-150	Map # 44W	By-law: 0048-2025
In a RS-150 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RS zone except that the following <b>uses</b> /regulations shall apply:			
<b>Regulations</b>			
4.2.3.150.1	<i>deleted</i>		
4.2.3.150.2	<i>deleted</i>		
4.2.3.150.3	<i>deleted</i>		
4.2.3.150.4	<i>deleted</i>		
4.2.3.150.5	<i>deleted</i>		
4.2.3.150.6	Maximum <b>driveway</b> width	5.5 m	
4.2.3.150.7	Maximum <b>garage</b> width: measured from the inside face of the <b>garage</b> side walls	5.5 m	

4.2.3.151	Exception: RS-151	Map # 57	By-law: 0325-2008, 0048-2025
In a RS-151 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RS zone except that the following <b>uses</b> /regulations shall apply:			
<b>Regulations</b>			
4.2.3.151.1	<i>deleted</i>		
4.2.3.151.2	<i>deleted</i>		
4.2.3.151.3	<i>deleted</i>		
4.2.3.151.4	<i>deleted</i>		
4.2.3.151.5	<i>deleted</i>		
4.2.3.151.6	Minimum setback of a <b>detached dwelling</b> or <b>semi-detached</b> to all lands zoned U-3	14.9 m	
4.2.3.151.7	Maximum <b>driveway</b> width	6.5 m	
4.2.3.151.8	Minimum <b>garage</b> width: measured from the inside face of the <b>garage</b> side walls	5.5 m	

4.2.3.152	Exception: RS-152	Map # 57	By-law: 0048-2025
In a RS-152 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RS zone except that the following <b>uses</b> /regulations shall apply:			
<b>Regulations</b>			
4.2.3.152.1	<i>deleted</i>		
4.2.3.152.2	<i>deleted</i>		
4.2.3.152.3	<i>deleted</i>		
4.2.3.152.4	<i>deleted</i>		
4.2.3.152.5	<i>deleted</i>		
4.2.3.152.6	Minimum setback of a <b>detached dwelling</b> or <b>semi-detached</b> to all lands zoned U-3	13.2 m	
4.2.3.152.7	Minimum <b>driveway</b> width	6.5 m	
4.2.3.152.8	Minimum <b>garage</b> width: measured from the inside face of the <b>garage</b> side walls	5.5 m	

4.2.3.153	Exception: RS-153	Map # 57	By-law: 0048-2025
In a RS-153 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RS zone except that the following <b>uses</b> /regulations shall apply:			
<b>Regulations</b>			
4.2.3.153.1	<i>deleted</i>		
4.2.3.153.2	<i>deleted</i>		
4.2.3.153.3	<i>deleted</i>		
4.2.3.153.4	<i>deleted</i>		
4.2.3.153.5	A <b>detached dwelling</b> shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1) minimum <b>rear yard</b>	4.9 m	
4.2.3.153.6	Maximum <b>driveway</b> width	6.5 m	
4.2.3.153.7	Maximum <b>garage</b> width: measured from the inside face of the <b>garage</b> side walls	5.5 m	

4.2.3.154	Exception: RS-154	Map # 57	By-law: 0048-2025
In a RS-154 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RS zone except that the following <b>uses</b> /regulations shall apply:			
<b>Regulations</b>			
4.2.3.154.1	<i>deleted</i>		
4.2.3.154.2	<i>deleted</i>		
4.2.3.154.3	<i>deleted</i>		
4.2.3.154.4	<i>deleted</i>		
4.2.3.154.5	A <b>detached dwelling</b> shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1) minimum <b>rear yard</b>	6.18 m	
4.2.3.154.6	Maximum <b>driveway</b> width	6.5 m	
4.2.3.154.7	Maximum <b>garage</b> width: measured from the inside face of the <b>garage</b> side walls	5.5 m	

4.2.3.155	Exception: RS-155	Map # 57	By-law: 0048-2025
In a RS-155 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RS zone except that the following <b>uses</b> /regulations shall apply:			
<b>Regulations</b>			
4.2.3.155.1	<i>deleted</i>		
4.2.3.155.2	<i>deleted</i>		
4.2.3.155.3	<i>deleted</i>		
4.2.3.155.4	<i>deleted</i>		
4.2.3.155.5	<i>deleted</i>		
4.2.3.155.6	Maximum <b>driveway</b> width	6.5 m	
4.2.3.155.7	Maximum <b>garage</b> width: measured from the inside face of the <b>garage</b> side walls	5.5 m	

4.2.3.156	Exception: RS-156	Map # 57	By-law: 0048-2025
In a RS-156 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RS zone except that the following <b>uses</b> /regulations shall apply:			
<b>Regulations</b>			
4.2.3.156.1	<i>deleted</i>		
4.2.3.156.2	<i>deleted</i>		
4.2.3.156.3	<i>deleted</i>		
4.2.3.156.4	<i>deleted</i>		
4.2.3.156.5	A <b>detached dwelling</b> shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1) minimum <b>rear yard</b>	6.4 m	
4.2.3.156.6	Maximum <b>driveway</b> width	6.5 m	
4.2.3.156.7	Maximum <b>garage</b> width: measured from the inside face of the <b>garage</b> side walls	5.5 m	

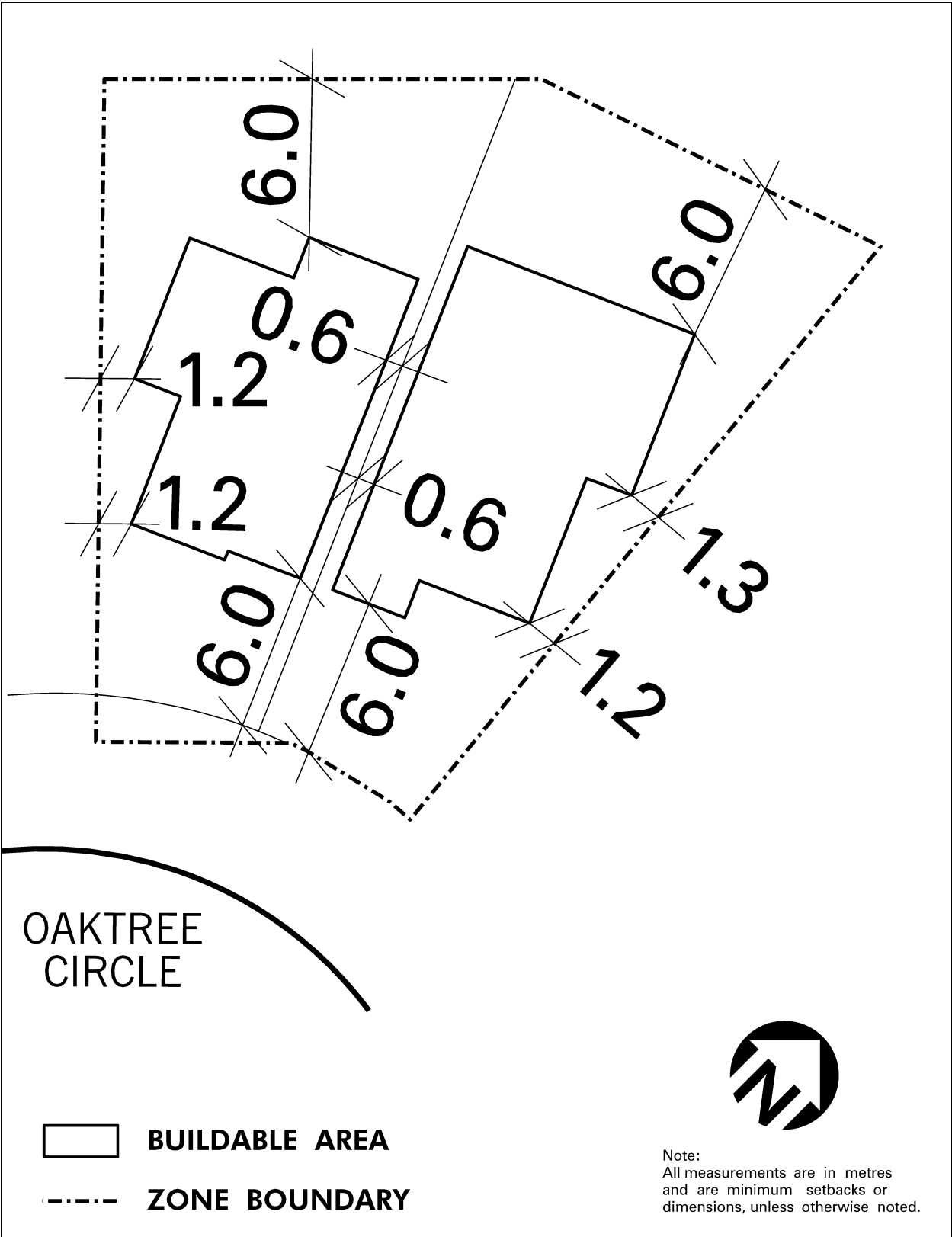
4.2.3.157	Exception: RS-157	Map # 57	By-law: 0048-2025
In a RS-157 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RS zone except that the following <b>uses</b> /regulations shall apply:			
<b>Regulations</b>			
4.2.3.157.1	<i>deleted</i>		
4.2.3.157.2	<i>deleted</i>		
4.2.3.157.3	<i>deleted</i>		
4.2.3.157.4	<i>deleted</i>		
4.2.3.157.5	<i>deleted</i>		
4.2.3.157.6	Maximum <b>driveway</b> width	6.5 m	
4.2.3.157.7	Maximum <b>garage</b> width: measured from the inside face of the <b>garage</b> side walls	5.5 m	

4.2.3.158	Exception: RS-158	Map # 57	By-law: 0055-2012, 0067-2014, 0048-2025
In a RS-158 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RS zone except that the following <b>uses</b> /regulations shall apply:			
<b>Regulations</b>			
4.2.3.158.1	<i>deleted</i>		
4.2.3.158.2	Minimum <b>rear yard</b> where the <b>rear lot line</b> abuts an 8.0 m public lane	6.0 m	
4.2.3.158.3	Maximum <b>garage</b> width: measured from the inside face of the <b>garage</b> side walls	5.7 m	
4.2.3.158.4	Minimum setback of stairs from the <b>front</b> and <b>exterior side lot lines</b>	1.0 m	

4.2.3.159	Exception: RS-159	Map # 56	By-law: 0114-2015, 0048-2025
In a RS-159 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RS zone except that the following <b>uses</b> /regulations shall apply:			
Regulations			
4.2.3.159.1	A <b>detached dwelling</b> shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1)	minimum <b>lot area - interior lot</b>	279 m <sup>2</sup>
	(2)	minimum <b>interior side yard</b> where a side <b>lot line</b> abuts a B zone	2.0 m
	(3)	minimum <b>rear yard</b> where a <b>lot</b> abuts a B zone	6.5 m
	(4)	maximum <b>height</b> from <b>average grade</b> to lower edge of eaves where a <b>lot</b> abuts lands zoned RS-142	6.0 m
4.2.3.159.2	deleted		
4.2.3.159.3	deleted		
4.2.3.159.4	deleted		
4.2.3.159.5	Maximum <b>gross floor area - residential</b> of third <b>storey</b> where a <b>lot</b> abuts lands zoned RS-142		88 m <sup>2</sup>
4.2.3.159.6	Maximum <b>driveway</b> width		5.4 m
4.2.3.159.7	Maximum <b>garage</b> width: measured from the inside face of the <b>garage</b> side walls		6.0 m



4.2.3.160	Exception: RS-160	Map 44E	By-law: 0105-2024, 0048-2025
In a RS-160 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RS zone except that the following <b>uses</b> /regulations shall apply:			
Regulations			
4.2.3.160.1	A <b>detached dwelling</b> shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1)	minimum <b>lot area - interior lot</b>	215 m <sup>2</sup>
	(2)	minimum <b>lot frontage - interior lot</b>	9.1 m
4.2.3.160.2	All site development plans shall comply with Schedule RS-160 of this Exception		
Holding Provision			
	<p>The holding symbol H is to be removed from the whole or any part of the lands zoned H-RS-160 by further amendment to Map 44E of Schedule B contained in Part 13 of this By-law, as amended, upon satisfaction of the following requirements:</p> <p>(1) delivery of an executed Development Agreement with Municipal and Regional Infrastructure Schedules in a form and on terms satisfactory to The Corporation of the City of Mississauga ("City");</p> <p>(2) submission of a Draft Reference Plan illustrating the required land dedications, conveyances, and easements including part block numbers, to the satisfaction of the City and the Region of Peel ("Region");</p> <p>(3) gratuitous dedication of lands to achieve the ultimate 50.5 m right-of-way of Regional Road 5 (Derry Road West), as well as a 0.3 m reserve, to the satisfaction of the Region;</p> <p>(4) submission of a revised Functional Servicing and Stormwater Management Report to the satisfaction of the City's Transportation and Works Department and the Region;</p> <p>(5) submission of a revised Traffic Impact Study (TIS) to the satisfaction of the City's Transportation and Works Department, Municipal Parking Section, and the Region;</p> <p>(6) submission of a detailed engineering submission for the road and access works impacting Derry Road West, to the satisfaction of the Region;</p> <p>(7) submission of revised Grading and Servicing Plans to the satisfaction of the City's Transportation and Works and Planning and Building Departments;</p> <p>(8) submission of a revised Noise Feasibility Study to the satisfaction of the City's Planning and Building Department;</p> <p>(9) submission of a revised Phase One and Phase Two Environmental Site Assessment, Storm Sewer Use By-law Acknowledgment and related documents required for environmental compliance to the satisfaction of the City's Transportation and Works Department;</p> <p>(10) submission of a revised Tree Inventory/Survey, Tree Preservation Plan, and Arborist Report to the satisfaction of the City's Planning and Building Department.</p>		



Schedule RS-160  
Map 44E

4.2.3.161	Exception: RS-161	Map # 44W	By-law: 0048-2025
In a RS-161 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RS zone except that the following <b>uses</b> /regulations shall apply:			
<b>Regulation</b>			
4.2.3.161.1	Minimum <b>rear yard</b> abutting the G2-1 zone		15.0 m

4.2.3.162	Exception: RS-162	Map # 52E	By-law: 0048-2025
In a RS-162 zone the applicable regulations shall be as specified for a RS zone except that the following <b>uses</b> /regulations shall apply:			
<b>Permitted Use</b>			
4.2.3.162.1	Lands zoned RS-162 shall only be used for the following:		
	(1) A <b>place of religious assembly</b> and support facilities		
<b>Regulations</b>			
4.2.3.162.2	The provisions contained in Article 2.1.9.3 and Subsection 4.2.1 of this By-law shall not apply		
4.2.3.162.3	Minimum <b>front yard - interior lot</b>	56.0 m	
4.2.3.162.4	Minimum <b>interior side yard - interior lot</b>	23.0 m	
4.2.3.162.5	Minimum setback of all <b>buildings</b> and <b>structures</b> and parking to all lands zoned G2-1	5.0 m	
4.2.3.162.6	Maximum <b>height</b>	22.0 m	
4.2.3.162.7	Maximum <b>height</b> : spire	30.0 m	
4.2.3.162.8	"Support Facilities" means a <b>building</b> or <b>structure</b> or part thereof used for administrative offices, <b>private school</b> and a community room accessory to the <b>place of religious assembly</b>		

4.2.3.163	Exception: RS-163	Map # 44W	By-law: 0048-2025
In a RS-163 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RS zone except that the following <b>uses</b> /regulations shall apply:			
<b>Regulations</b>			
4.2.3.163.1	<i>deleted</i>		
4.2.3.163.2	<i>deleted</i>		
4.2.3.163.3	<i>deleted</i>		
4.2.3.163.4	<i>deleted</i>		
4.2.3.163.5	<i>deleted</i>		
4.2.3.163.6	A <b>detached dwelling</b> shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:  (1) minimum <b>rear yard - corner lot</b>		
			3.0 m

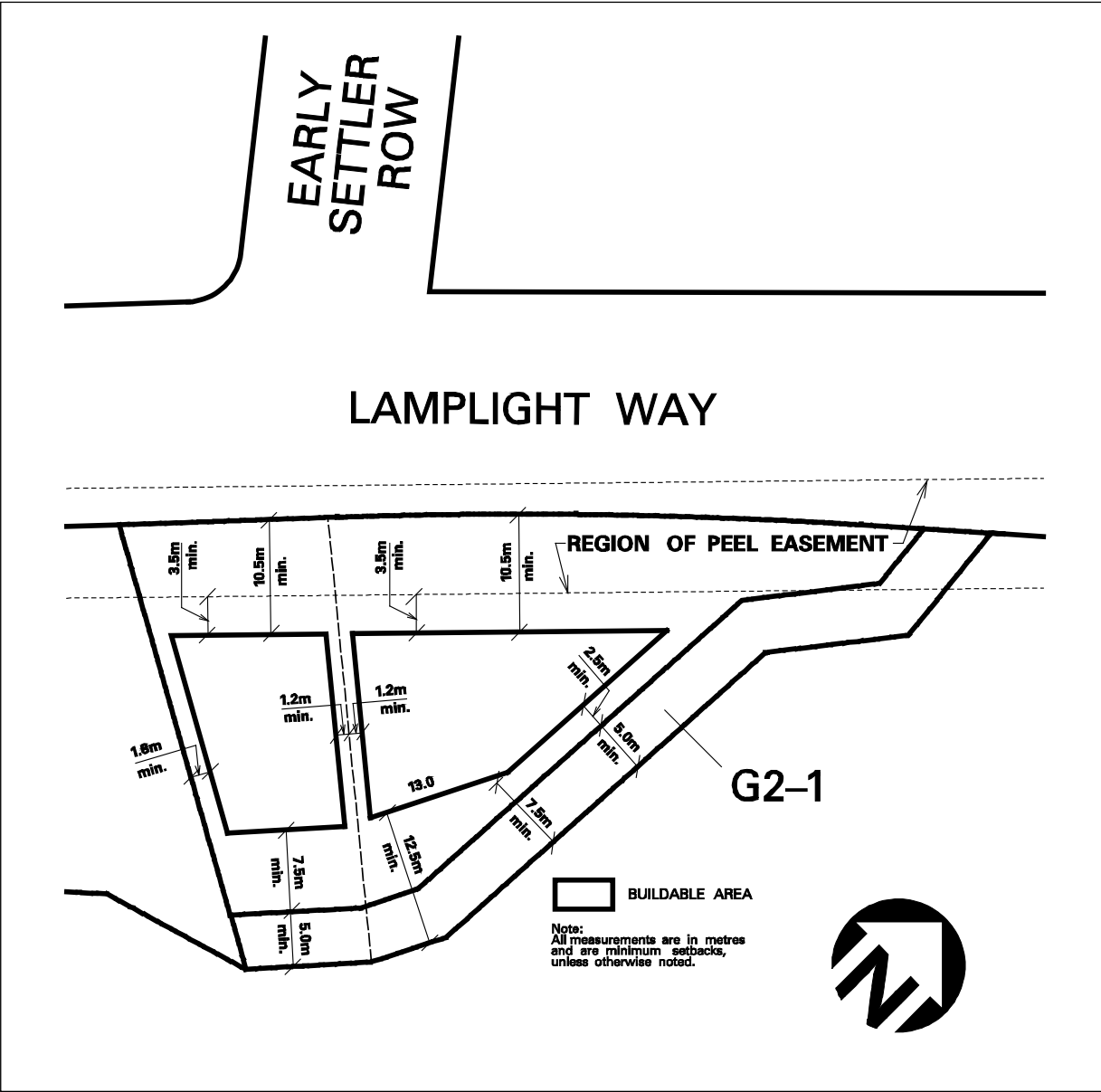
4.2.3.164	Exception: RS-164	Map # 44W, 45E, 52E, 52W	By-law: 0379-2009, 0048-2025
In a RS-164 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RS zone except that the following <b>uses</b> /regulations shall apply:			
Regulations			
4.2.3.164.1	deleted		
4.2.3.164.2	Maximum <b>lot coverage</b> : <div><div>(1)</div>where the <b>garage</b> does not project more than 1.0 m beyond the <b>main entry feature</b>; or45%</div> <div><div>(2)</div>where the <b>garage</b> does not project more than 2.5 m beyond the <b>main front entrance</b> or a <b>habitable room</b> on the <b>first storey</b>; or45%</div> <div><div>(3)</div>where the width of the <b>garage</b> is 5.0 m or less, measured from the outside of opposite exterior walls or from the outside of an exterior wall to the midpoint of an interior wall.45%</div>		
4.2.3.164.3	Maximum projection of a <b>garage</b> beyond the <b>main front entrance</b>		7.0 m

4.2.3.165	Exception: RS-165	Map # 52W	By-law: 0379-2009, 0048-2025
In a RS-165 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RS zone except that the following <b>uses</b> /regulations shall apply:			
Regulations			
4.2.3.165.1	deleted		
4.2.3.165.2	deleted		
4.2.3.165.3	Maximum <b>lot coverage</b> : <div><div>(1)</div>where the <b>garage</b> does not project more than 1.0 m beyond the <b>main entry feature</b>; or45%</div> <div><div>(2)</div>where the <b>garage</b> does not project more than 2.5 m beyond the <b>main front entrance</b> or a <b>habitable room</b> on the <b>first storey</b>; or45%</div> <div><div>(3)</div>where the width of the <b>garage</b> is 5.0 m or less, measured from the outside of opposite exterior walls or from the outside of an exterior wall to the midpoint of an interior wall.45%</div>		
4.2.3.165.4	A <b>detached dwelling</b> shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that: <div><div>(1)</div>minimum <b>exterior side yard</b>3.0 m</div>		
4.2.3.165.5	Maximum projection of a <b>garage</b> beyond the <b>main front entrance</b> 7.0 m		

4.2.3.166	Exception: RS-166	Map # 44W	By-law: 0379-2009, 0048-2025
In a RS-166 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RS zone except that the following <b>uses</b> /regulations shall apply:			
<b>Regulations</b>			
4.2.3.166.1	<i>deleted</i>		
4.2.3.166.2	Maximum <b>lot coverage</b> :		
(1)	where the <b>garage</b> does not project more than 1.0 m beyond the <b>main entry feature</b> ; or	45%	
(2)	where the <b>garage</b> does not project more than 2.5 m beyond the <b>main front entrance</b> or a <b>habitable room</b> on the <b>first storey</b> ; or	45%	
(3)	where the width of the <b>garage</b> is 5.0 m or less, measured from the outside of opposite exterior walls or from the outside of an exterior wall to the midpoint of an interior wall.	45%	
4.2.3.166.3	<i>deleted</i>		
4.2.3.166.4	Maximum projection of a <b>garage</b> beyond the <b>main front entrance</b>	7.0 m	

4.2.3.167	Exception: RS-167	Map # 06, 22	By-law: 0048-2025
In a RS-167 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RS zone except that the following <b>uses</b> /regulations shall apply:			
<b>Regulations</b>			
4.2.3.167.1	Minimum <b>lot area - interior lot</b>	275 m <sup>2</sup>	
4.2.3.167.2	<i>deleted</i>		
4.2.3.167.3	<i>deleted</i>		

4.2.3.168	Exception: RS-168	Map # 45E	By-law: 0379-2009, 0048-2025
In a RS-168 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RS zone except that the following <b>uses</b> /regulations shall apply:			
<b>Regulations</b>			
4.2.3.168.1	<i>deleted</i>		
4.2.3.168.2	Maximum <b>lot coverage</b> :		
(1)	where the <b>garage</b> does not project more than 1.0 m beyond the <b>main entry feature</b> ; or	45%	
(2)	where the <b>garage</b> does not project more than 2.5 m beyond the <b>main front entrance</b> or a <b>habitable room</b> on the <b>first storey</b> ; or	45%	
(3)	where the width of the <b>garage</b> is 5.0 m or less, measured from the outside of opposite exterior walls or from the outside of an exterior wall to the midpoint of an interior wall.	45%	
4.2.3.168.3	Maximum projection of a <b>garage</b> beyond the <b>main front entrance</b>	7.0 m	
4.2.3.168.4	All site development plans shall comply with Schedule RS-168 of this Exception		



Schedule RS-168  
Map 45E

4.2.3.169	Exception: RS-169	Map # 52E	By-law: 0048-2025
In a RS-169 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RS zone except that the following <b>uses</b> /regulations shall apply:			
<b>Regulations</b>			
4.2.3.169.1	Minimum westerly <b>interior side yard - interior lot</b>		4.5 m
4.2.3.169.2	Minimum easterly <b>interior side yard - interior lot</b>		7.5 m
4.2.3.169.3	A <b>detached dwelling</b> shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1)	minimum <b>rear yard - interior lot</b>	1.2 m
	(2)	maximum <b>rear yard - interior lot</b>	2.4 m

4.2.3.170	Exception: RS-170	Map # 52E	By-law: 0379-2009, 0048-2025
In a RS-170 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RS zone except that the following <b>uses</b> /regulations shall apply:			
<b>Regulations</b>			
4.2.3.170.1	<i>deleted</i>		
4.2.3.170.2	Maximum <b>lot coverage</b> :		
	(1)	where the <b>garage</b> does not project more than 1.0 m beyond the <b>main entry feature</b> ; or	45%
	(2)	where the <b>garage</b> does not project more than 2.5 m beyond the <b>main front entrance</b> or a <b>habitable room</b> on the <b>first storey</b> ; or	45%
	(3)	where the width of the <b>garage</b> is 5.0 m or less, measured from the outside of opposite exterior walls or from the outside of an exterior wall to the midpoint of an interior wall.	45%
4.2.3.170.3	Maximum projection of a <b>garage</b> beyond the <b>main front entrance</b>		7.5 m





4.2.3.173	Exception: RS-173	Map #44W	By-law: OLT Order 2022 July 25, 0048-2025
In a RS-173 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RS zone except that the following <b>uses</b> /regulations shall apply:			
<b>Regulations</b>			
4.2.3.173.1	<i>deleted</i>		
4.2.3.173.2	A <b>detached dwelling</b> shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1)	maximum <b>lot coverage</b>	48%
	(2)	minimum setback to <b>garage face - interior lot</b>	5.3 m
4.2.3.173.3	<i>deleted</i>		

4.2.3.174	Exception: RS-174	Map # 44W, 52E, 52W	By-law: 0379-2009, 0048-2025
In a RS-174 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RS zone except that the following <b>uses</b> /regulations shall apply:			
<b>Regulations</b>			
4.2.3.174.1	<i>deleted</i>		
4.2.3.174.2	Maximum <b>lot coverage</b> :		
	(1)	where the <b>garage</b> does not project more than 1.0 m beyond the <b>main entry feature</b> ; or	45%
	(2)	where the <b>garage</b> does not project more than 2.5 m beyond the <b>main front entrance</b> or a <b>habitable room</b> on the <b>first storey</b> ; or	45%
	(3)	where the width of the <b>garage</b> is 5.0 m or less, measured from the outside of opposite exterior walls or from the outside of an exterior wall to the midpoint of an interior wall.	45%
4.2.3.174.3	Maximum projection of a <b>garage</b> beyond the <b>main front entrance</b>		7.0 m

4.2.3.175	Exception: RS-175	Map # 52W	By-law: 0048-2025
In a RS-175 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RS zone except that the following <b>uses</b> /regulations shall apply:			
<b>Regulations</b>			
4.2.3.175.1	<i>deleted</i>		
4.2.3.175.2	<i>deleted</i>		
4.2.3.175.3	A <b>detached dwelling</b> shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1)	minimum <b>exterior side yard</b>	3.0 m
4.2.3.175.4	A one <b>storey</b> portion of the <b>detached dwelling</b> , up to a maximum <b>gross floor area - residential</b> of 8 m <sup>2</sup> , shall be permitted to encroach into the required <b>rear yard</b> to within 6.0 m of the <b>rear lot line</b>		

4.2.3.176	Exception: RS-176	Map # 52W	By-law: 0048-2025
In a RS-176 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RS zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.2.3.176.1	<i>deleted</i>		
4.2.3.176.2	<i>deleted</i>		
4.2.3.176.3	A <b>detached dwelling</b> shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:  (1)     minimum <b>exterior side yard</b> <span style="float:right">3.0 m</span>		
4.2.3.176.4	A one <b>storey</b> portion of the <b>detached dwelling</b> , up to a maximum <b>gross floor area - residential</b> of 8.0 m <sup>2</sup> , shall be permitted to encroach into the required <b>rear yard</b> to within 6.0 m of the <b>rear lot line</b>		
4.2.3.176.5	The <b>lot line</b> abutting a <b>street</b> with a width of 20.0 m or greater shall be deemed to be the <b>front lot line</b>		
4.2.3.176.6	A <b>garage</b> shall only be located in a <b>rear yard</b>		
4.2.3.176.7	Maximum <b>garage</b> width: measured from the outside of the exterior wall on one side to the outside of the exterior wall or midpoint of the interior wall on the other side <span style="float:right">50% of the <b>lot frontage</b></span>		

4.2.3.177	Exception: RS-177	Map # 52E	By-law: 0379-2009, 0048-2025
In a RS-177 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RS zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.2.3.177.1	<i>deleted</i>		
4.2.3.177.2	Maximum <b>lot coverage</b> :  (1)     where the <b>garage</b> does not project more than 1.0 m beyond the <b>main entry feature</b> ; or <span style="float:right">45%</span>  (2)     where the <b>garage</b> does not project more than 2.5 m beyond the <b>main front entrance</b> or a <b>habitable room</b> on the <b>first storey</b> ; or <span style="float:right">45%</span>  (3)     where the width of the <b>garage</b> is 5.0 m or less, measured from the outside of opposite exterior walls or from the outside of an exterior wall to the midpoint of an interior wall. <span style="float:right">45%</span>		
4.2.3.177.3	<i>deleted</i>		
4.2.3.177.4	<i>deleted</i>		
4.2.3.177.5	<i>deleted</i>		
4.2.3.177.6	<i>deleted</i>		
4.2.3.177.7	Maximum projection of a <b>garage</b> beyond the <b>main front entrance</b> <span style="float:right">7.0 m</span>		

4.2.3.178	Exception: RS-178	Map # 52E	By-law: 0379-2009, 0048-2025
In a RS-178 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RS zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.2.3.178.1	<i>deleted</i>		
4.2.3.178.2	Maximum <b>lot coverage</b> :		
	(1) where the <b>garage</b> does not project more than 1.0 m beyond the <b>main entry feature</b> ; or	45%	
	(2) where the <b>garage</b> does not project more than 2.5 m beyond the <b>main front entrance</b> or a <b>habitable room</b> on the <b>first storey</b> ; or	45%	
	(3) where the width of the <b>garage</b> is 6.0 m or less, measured from the outside of opposite exterior walls or from the outside of an exterior wall to the midpoint of an interior wall.	45%	
4.2.3.178.3	Maximum projection of a <b>garage</b> beyond the <b>main front entrance</b>	7.5 m	

4.2.3.179	Exception: RS-179	Map # 44W	By-law: 0379-2009, 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RS-179 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RS zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.2.3.179.1	<i>deleted</i>		
4.2.3.179.2	Maximum <b>lot coverage</b> :		
	(1) where the <b>garage</b> does not project more than 1.0 m beyond the <b>main entry feature</b> ; or	45%	
	(2) where the <b>garage</b> does not project more than 2.5 m beyond the <b>main front entrance</b> or a <b>habitable room</b> on the <b>first storey</b> ; or	45%	
	(3) where the maximum <b>garage</b> width measured from the inside face of the <b>garage</b> side walls is 5.0 m.	45%	
4.2.3.179.3	Minimum <b>interior side yard - interior lot</b>	1.2 m	
4.2.3.179.4	<i>deleted</i>		
4.2.3.179.5	Minimum setback to a <b>sight triangle</b>	0.0 m	
4.2.3.179.6	Maximum projection of a <b>garage</b> beyond the <b>main front entrance</b>	7.0 m	
4.2.3.179.7	A detached <b>garage</b> shall not be permitted		
4.2.3.179.8	Maximum <b>driveway</b> width	5.0 m	

4.2.3.180	Exception: RS-180	Map # 52W	By-law: 0379-2009, 0048-2025
In a RS-180 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RS zone except that the following <b>uses</b> /regulations shall apply:			
<b>Regulations</b>			
4.2.3.180.1	<i>deleted</i>		
4.2.3.180.2	Maximum <b>lot coverage</b> :		
	(1) where the <b>garage</b> does not project more than 1.0 m beyond the <b>main entry feature</b> ; or		45%
	(2) where the <b>garage</b> does not project more than 2.5 m beyond the <b>main front entrance</b> or a <b>habitable room</b> on the <b>first storey</b> ; or		45%
	(3) where the maximum <b>garage</b> width measured from the inside face of the <b>garage</b> side walls is 5.0 m.		45%
4.2.3.180.3	<i>deleted</i>		
4.2.3.180.4	<i>deleted</i>		
4.2.3.180.5	<i>deleted</i>		
4.2.3.180.6	<i>deleted</i>		
4.2.3.180.7	Maximum encroachment of a <b>porch</b> and/or a <b>balcony</b> , up to a maximum floor area of 18 m <sup>2</sup> , into the required <b>front yard - interior lot</b>		2.0 m
4.2.3.180.8	Maximum encroachment of a <b>porch</b> and/or <b>balcony</b> , up to a maximum floor area of 25 m <sup>2</sup> , into the required <b>front</b> and <b>exterior side yard - corner lot</b>		2.0 m
4.2.3.180.9	The floor area of a <b>porch</b> or <b>balcony</b> , up to a maximum of 18 m <sup>2</sup> on an <b>interior lot</b> and a maximum of 25 m <sup>2</sup> on a <b>corner lot</b> shall be excluded from the calculation of <b>lot coverage</b>		
4.2.3.180.10	Maximum encroachment of a window projection with or without a foundation, bay window, box window, <b>chimney</b> , media niche, pilaster or corbel into a required <b>yard</b>		0.61 m
4.2.3.180.11	Maximum projection of a <b>garage</b> beyond the <b>main front entrance</b>		7.0 m

4.2.3.181	Exception: RS-181	Map # 52W	By-law: 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RS-181 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RS zone except that the following <b>uses</b> /regulations shall apply:			
<b>Regulations</b>			
4.2.3.181.1	<i>deleted</i>		
4.2.3.181.2	<i>deleted</i>		
4.2.3.181.3	<i>deleted</i>		
4.2.3.181.4	<i>deleted</i>		
4.2.3.181.5	<i>deleted</i>		
4.2.3.181.6	A <b>detached dwelling</b> shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1) minimum <b>exterior side yard</b>		3.0 m
	(2) minimum setback to <b>garage face</b>		5.2 m
4.2.3.181.7	Maximum encroachment of a <b>porch</b> into the required <b>front yard</b>		2.5 m
4.2.3.181.8	On an <b>interior lot</b> , where a one <b>storey</b> detached or attached <b>garage</b> is located in the <b>rear</b> or <b>interior side yard</b> and where no part of the <b>garage</b> is located closer than 15.0 m to the <b>front lot line</b> :		
	(1)	a maximum of 38 m <sup>2</sup> of the gross <b>floor area</b> of the <b>garage</b> shall be excluded from the calculation of <b>lot coverage</b>	
	(2)	one <b>interior side yard</b> shall be a minimum width of 3.0 m and the other <b>interior side yard</b> may be reduced by 0.6 m, except that the attached <b>garage</b> may encroach a maximum of 2.4 m into the 3.0 m <b>interior side yard</b>	
	(3)	minimum <b>front yard</b> of the <b>detached dwelling</b> may be reduced to 3.5 m	
	(4)	a maximum of 15 m <sup>2</sup> <b>gross floor area - residential</b> of the first <b>storey</b> of the <b>detached dwelling</b> may project a maximum of 1.5 m into the required <b>rear yard</b>	

4.2.3.182	Exception: RS-182	Map # 52E	By-law: 0379-2009, 0048-2025
In a RS-182 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RS zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.2.3.182.1	<i>deleted</i>		
4.2.3.182.2	Maximum <b>lot coverage</b> :		
	(1)	where the <b>garage</b> does not project more than 1.0 m beyond the <b>main entry feature</b> ; or	45%
	(2)	where the <b>garage</b> does not project more than 2.5 m beyond the <b>main front entrance</b> or a <b>habitable room</b> on the <b>first storey</b> ; or	45%
	(3)	where the width of the <b>garage</b> is 5.0 m or less, measured from the outside of opposite exterior walls or from the outside of an exterior wall to the midpoint of an interior wall.	45%
4.2.3.182.3	<i>deleted</i>		
4.2.3.182.4	<i>deleted</i>		
4.2.3.182.5	<i>deleted</i>		
4.2.3.182.6	<i>deleted</i>		
4.2.3.182.7	Maximum projection of a <b>garage</b> beyond the <b>main front entrance</b>		7.0 m

4.2.3.183	Exception: RS-183	Map #	By-law: 0048-2025

4.2.3.184	Exception: RS-184	Map #	By-law: 0048-2025

4.2.3.185	Exception: RS-185	Map # 08	By-law: 0308-2011, 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RS-185 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RS zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.2.3.185.1	The regulations of Line 5.0 contained in Table 4.2.1 of this By-law shall not apply		
4.2.3.185.2	Maximum <b>gross floor area - infill residential</b>	169 m <sup>2</sup> plus 0.20 times the <b>lot area</b> to a maximum of 305 m <sup>2</sup>	
4.2.3.185.3	Minimum <b>landscaped area</b>	40% of the <b>lot area</b>	
4.2.3.185.4	<i>deleted</i>		
4.2.3.185.5	A <b>detached dwelling</b> shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:  (1)     minimum <b>interior and exterior side yards</b>  (2) <i>deleted</i>		3.0 m on one side of the <b>lot</b> and 1.2 m on the other side
4.2.3.185.6	<i>deleted</i>		
4.2.3.185.7	<i>deleted</i>		
4.2.3.185.8	<b>Flat roofs</b> and mansard roofs shall not be permitted		
4.2.3.185.9	Maximum encroachment of a covered <b>porch</b> into a required <b>front, exterior and interior side yard</b>	1.8 m but not closer than 0.2 m to a <b>lot line</b>	
4.2.3.185.10	Minimum setback of a <b>garage face</b> behind the front wall of a <b>detached dwelling</b>	3.0 m	
4.2.3.185.11	Maximum gross <b>floor area</b> of a detached <b>garage</b>	30 m <sup>2</sup>	
4.2.3.185.12	"Front Wall" means the exterior wall containing the door which is designed as the primary access point into the <b>detached dwelling</b>		
4.2.3.185.13	The provisions of By-law Number 0272-2004 made pursuant to the <i>Ontario Heritage Act</i> shall not apply so as to require any reconstruction, alteration and/or enlargement of any <b>building</b> or <b>structure</b> to replicate the exterior faces or the exterior wall features of the <b>building</b> or <b>structure</b>		

4.2.3.186	Exception: RS-186	Map # 02, 08	By-law: <i>deleted by 0359-2009, 0059-2016, 0048-2025</i>
In a RS-186 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RS zone except that the following <b>uses</b> /regulations shall apply:			
<b>Regulations</b>			
4.2.3.186.1	<i>deleted</i>		
4.2.3.186.2	<i>deleted</i>		
4.2.3.186.3	<b>Garage</b> projection: maximum projection of a <b>garage</b> beyond the <b>front wall</b> or <b>exterior side wall</b> of the second <b>storey</b>		0.0 m
4.2.3.186.4	<i>deleted</i>		

4.2.3.187	Exception: RS-187	Map # 08	By-law: 0308-2011, 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RS-187 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RS zone except that the following <b>uses</b> /regulations shall apply:			
Additional Permitted Use			
4.2.3.187.1	(1)	Duplex	
Regulations			
4.2.3.187.2	A <b>detached dwelling</b> and <b>duplex</b> shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1)	the regulations of Line 5.0 contained in Table 4.2.1 of this By-law shall not apply	
	(2)	maximum <b>gross floor area - infill residential</b>	169 m <sup>2</sup> plus 0.20 times the <b>lot area</b> to a maximum of 305 m <sup>2</sup>
	(3)	minimum <b>landscaped area</b>	40% of the <b>lot area</b>
	(4)	<i>deleted</i>	
	(5)	minimum <b>interior</b> and <b>exterior side yards</b>	3.0 m on one side of the <b>lot</b> and 1.2 m on the other side
	(6)	<i>deleted</i>	
	(7)	<i>deleted</i>	
	(8)	<b>flat roofs</b> and mansard roofs shall not be permitted	
	(9)	maximum encroachment of a covered <b>porch</b> into a required <b>front, exterior</b> and <b>interior side yard</b>	1.8 m but not closer than 0.2 m to a <b>lot line</b>
	(10)	minimum setback of a <b>garage face</b> behind the front wall of a <b>detached dwelling</b>	3.0 m
	(11)	maximum gross <b>floor area</b> of a detached <b>garage</b>	30 m <sup>2</sup>
	(12)	"Front Wall" means the exterior wall containing the door which is designed as the primary access point into the <b>detached dwelling</b>	
	(13)	the provisions of By-law Number 0272-2004 made pursuant to the <i>Ontario Heritage Act</i> shall not apply so as to require any reconstruction, alteration and/or enlargement of any <b>building</b> or <b>structure</b> to replicate the exterior faces or the exterior wall features of the <b>building</b> or <b>structure</b>	

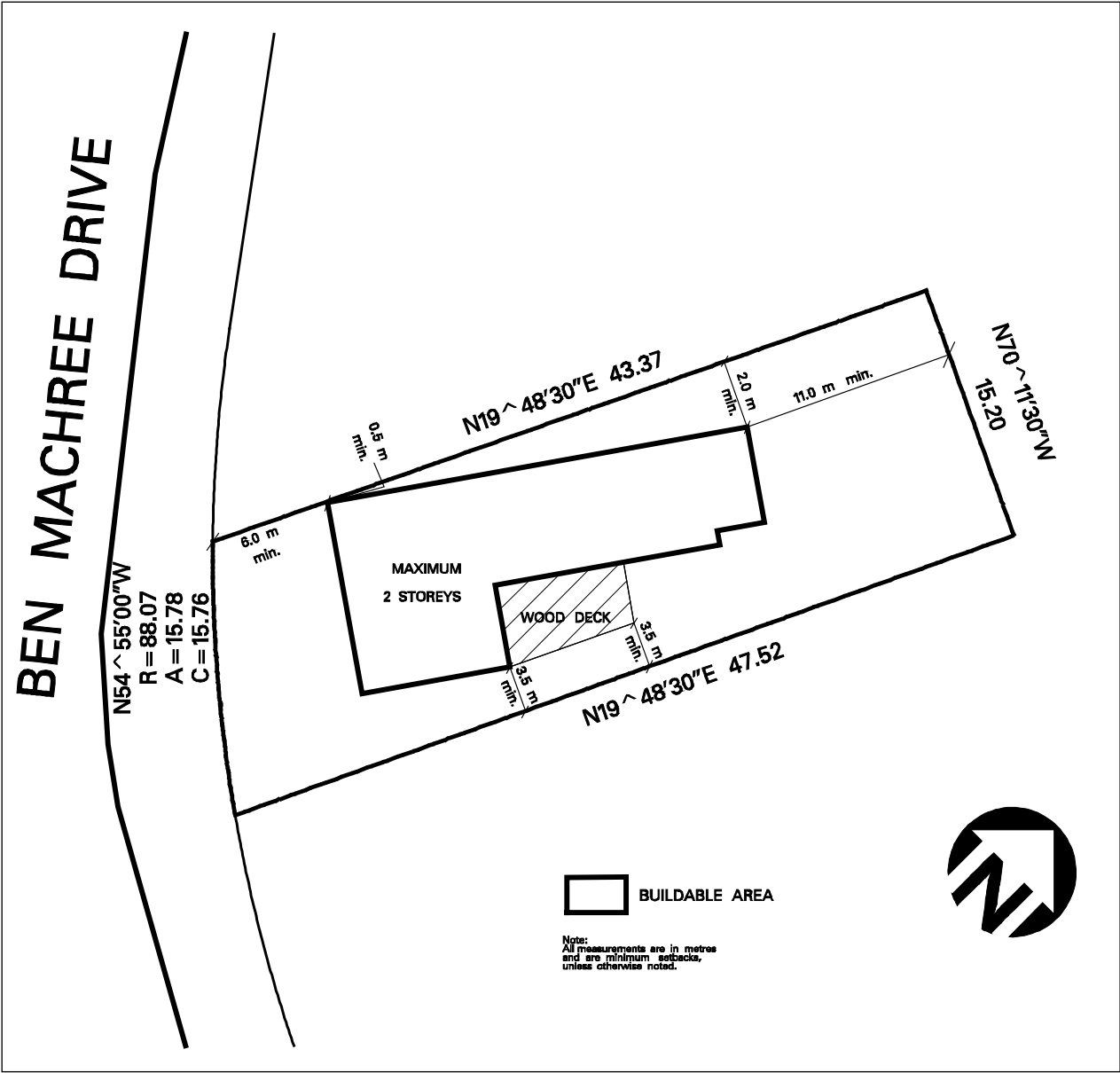
4.2.3.188	Exception: RS-188	Map # 08	By-law: 0048-2025
In a RS-188 zone the applicable regulations shall be as specified for a RS zone except that the following <b>uses</b> /regulations shall apply:			
Permitted Uses			
4.2.3.188.1	Lands zoned RS-188 shall only be used for the following:		
	(1)	Detached Dwelling or	
	(2)	Semi-Detached or	
	(3)	Private Club	



4.2.3.189	Exception: RS-189	Map # 08	By-law: 0308-2011, 0181-2018/LPAT Order 2019 February 15, 0111-2019/LPAT Order 2021 March 09, 0048-2025
In a RS-189 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RS zone except that the following <b>uses/regulations</b> shall apply:			
Additional Permitted Uses			
4.2.3.189.1	(1) <b>Service Establishment</b> (2) <b>Restaurant</b> (3) <b>Office</b> (4) <b>Medical Office - Restricted</b> (5) <b>Dwelling unit</b> located above the <b>first storey</b> , accessory to a permitted <b>use</b> contained in Sentence 4.2.3.189.1 of this Exception		
Regulations			
4.2.3.189.2	The regulations of Line 5.0 contained in Table 4.2.1 of this By-law shall not apply		
4.2.3.189.3	Maximum <b>gross floor area - infill residential</b>	169 m <sup>2</sup> plus 0.20 times the <b>lot area</b> to a maximum of 305 m <sup>2</sup>	
4.2.3.189.4	Minimum <b>landscaped area</b>	40% of the <b>lot area</b>	
4.2.3.189.5	Minimum <b>front yard</b>	5.0 m	
4.2.3.189.6	Minimum <b>interior and exterior side yards</b>	3.0 m on one side of the <b>lot</b> and 1.2 m on the other side	
4.2.3.189.7	Maximum <b>height - highest ridge: sloped roof</b>	9.0 m and 2 <b>storeys</b>	
4.2.3.189.8	Maximum height of eaves: from <b>average grade</b> to lower edge of the eaves	6.8 m	
4.2.3.189.9	<b>Flat roofs</b> and mansard roofs shall not be permitted		
4.2.3.189.10	Maximum encroachment of a covered <b>porch</b> into a required <b>front, exterior and interior side yard</b>	1.8 m but not closer than 0.2 m to a <b>lot line</b>	
4.2.3.189.11	Minimum setback of a <b>garage face</b> behind the front wall of a <b>detached dwelling</b>	3.0 m	
4.2.3.189.12	Maximum gross <b>floor area</b> of a detached <b>garage</b>	30 m <sup>2</sup>	
4.2.3.189.13	"Front Wall" means the exterior wall containing the door which is designed as the primary access point into the <b>detached dwelling</b>		
4.2.3.189.14	The provisions of By-law Number 0272-2004 made pursuant to the <i>Ontario Heritage Act</i> shall not apply so as to require any reconstruction, alteration and/or enlargement of any <b>building</b> or <b>structure</b> to replicate the exterior faces or the exterior wall features of the <b>building</b> or <b>structure</b>		

4.2.3.190	Exception: RS-190	Map # 08	By-law: 0059-2016, 0174-2017, 0048-2025
In a RS-190 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RS zone except that the following <b>uses</b> /regulations shall apply:			
<b>Additional Permitted Uses</b>			
4.2.3.190.1	(1) <b>Duplex</b> legally <b>existing</b> on the date of passing of this By-law; or (2) <b>Triplex</b> legally <b>existing</b> on the date of passing of this By-law		
<b>Regulations</b>			
4.2.3.190.2	<i>deleted</i>		
4.2.3.190.3	<i>deleted</i>		
4.2.3.190.4	<b>Garage</b> projection: maximum projection of a <b>garage</b> beyond the <b>front wall</b> or <b>exterior side wall</b> of the second <b>storey</b>		0.0 m
4.2.3.190.5	<i>deleted</i>		

4.2.3.191	Exception: RS-191	Map # 08	By-law: 0308-2011, 0059-2016, 0174-2017, 0208-2022, 0048-2025
In a RS-191 zone the applicable regulations shall be as specified for a RS zone except that the following <b>uses</b> /regulations shall apply:			
Permitted Uses			
4.2.3.191.1	Lands zoned RS-191 shall only be used for the following:  (1) <b>Detached Dwelling</b> ; or (2) <b>Semi-Detached</b> or (3) <b>Triplex</b>		
Regulations			
4.2.3.191.2	A <b>triplex</b> shall comply with the RM7 zone regulations contained in Subsection 4.13.1 of this By-law except that:  (1) maximum <b>gross floor area - residential</b> 280 m <sup>2</sup> (2) minimum <b>landscaped area</b> 24% of the <b>lot area</b> (3) no floor level of any <b>habitable room</b> may be located below <b>average grade</b> (4) maximum <b>height</b> 9.2 m and 2 <b>storeys</b> (5) maximum projection of a <b>porch</b> and external stairs outside the <b>buildable area</b> identified on Schedule RS-191 of this Exception into the required <b>front yard</b> 3.2 m (6) minimum <b>aisle</b> width 5.0 m (7) all site development plans shall comply with Schedule RS-191 of this Exception		
4.2.3.191.3	A <b>detached dwelling</b> shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:  (1) <i>deleted</i> (2) <i>deleted</i> (3) <b>garage</b> projection: 0.0 m maximum projection of a <b>garage</b> beyond the <b>front wall</b> or <b>exterior side wall</b> of the second <b>storey</b> (4) <i>deleted</i>		



Schedule RS-191  
Map 08

4.2.3.192	Exception: RS-192	Map # 07	By-law: 0203-2013/OMB Order 2014 March 26, 0190-2014, 0048-2025
In a RS-192 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RS zone except that the following <b>uses</b> /regulations shall apply:			
<b>Regulations</b>			
4.2.3.192.1	<i>deleted</i>		
4.2.3.192.2	<i>deleted</i>		
4.2.3.192.3	<i>deleted</i>		
4.2.3.192.4	<b>Garage</b> projection: maximum projection of a <b>garage</b> beyond the <b>front wall</b> or <b>exterior side wall</b> of the second <b>storey</b>		0.0 m
4.2.3.192.5	<i>deleted</i>		

4.2.3.193	Exception: RS-193	Map # 07	By-law: 0203-2013/OMB Order 2014 March 26, 0190-2014, 0048-2025
In a RS-193 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RS zone except that the following <b>uses</b> /regulations shall apply:			
<b>Regulation</b>			
4.2.3.193.1	<i>deleted</i>		
4.2.3.193.2	<i>deleted</i>		
4.2.3.193.3	<i>deleted</i>		
4.2.3.193.4	<i>deleted</i>		
4.2.3.193.5	<i>deleted</i>		
4.2.3.193.6	<i>deleted</i>		
4.2.3.193.7	<b>Garage</b> projection: maximum projection of a <b>garage</b> beyond the <b>front wall</b> or <b>exterior side wall</b> of the second <b>storey</b>		0.0 m

4.2.3.194	Exception: RS-194	Map #	By-law: <i>deleted by 0048-2025</i>

4.2.3.195	Exception: RS-195	Map # 21, 26, 27, 28, 30, 55, 56	By-law: 0048-2025
In a RS-195 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RS zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.2.3.195.1	<b>Detached Dwelling:</b>		
	(1)	minimum <b>lot area - interior lot</b>	275 m <sup>2</sup>
	(2)	minimum <b>lot frontage - interior lot</b>	9.0 m
	(3)	maximum <b>gross floor area - residential</b>	0.6 times the <b>lot area</b>

4.2.3.196	Exception: RS-196	Map # 36W, 39W, 55	By-law: 0174-2017, 0048-2025
In a RS-196 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RS zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.2.3.196.1	Minimum setback to all lands zoned E2-1		15.0 m
4.2.3.196.2	Minimum setback of <b>detached dwelling</b> and <b>semi-detached</b> to Thomas Street, Winston Churchill Boulevard and Erin Centre Boulevard		7.5 m
4.2.3.196.3	Minimum setback to Derry Road West		13.5 m
4.2.3.196.4	Maximum encroachment of a <b>porch</b> into the Winston Churchill Boulevard and Erin Centre Boulevard setbacks		1.8 m

4.2.3.197	Exception: RS-197	Map # 20, 26, 29, 30, 46W, 55	By-law: 0174-2017, 0048-2025
In a RS-197 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RS zone except that the following <b>uses/regulations</b> shall apply:			
<b>Additional Permitted Use</b>			
4.2.3.197.1	(1)	<b>Linked Dwelling</b>	
<b>Regulation</b>			
4.2.3.197.2	A <b>linked dwelling</b> shall comply with the RS zone regulations for a <b>semi-detached</b> contained in Subsection 4.2.1 of this By-law		

4.2.3.198	Exception: RS-198	Map # 36W, 45W, 53E	By-law: 0048-2025
In a RS-198 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RS zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.2.3.198.1	Minimum <b>exterior side yard</b> - all <b>corner lots</b> abutting Bristol Road East		4.5 m
4.2.3.198.2	Minimum <b>exterior side yard</b> - all other <b>corner lots</b>		3.0 m

4.2.3.199	Exception: RS-199	Map # 44W	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RS-199 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RS zone except that the following <b>uses/regulations</b> shall apply:			
Regulations			
4.2.3.199.1	<i>deleted</i>		
4.2.3.199.2	<b>Semi-Detached:</b> <div><div>(1) maximum <b>lot coverage</b>:</div><div><div>(1) where the <b>garage</b> does not project more than 1.0 m beyond the <b>main entry feature</b> or 2.5 m beyond the <b>main front entrance</b> or a <b>habitable room</b> on the <b>first storey</b> or</div><div>(2) where the width of the <b>garage</b> is 3.8 m or less, measured from the inside face of the <b>garage</b> side walls or</div><div>(3) all other <b>lots</b></div></div><div><div>(2) for a <b>semi-detached</b> more than one <b>storey in height</b>, where the <b>garage</b> projects beyond the <b>main front entrance</b>, the <b>garage</b> shall be covered by a second <b>storey</b> which may be set back a maximum of 2.5 m from the <b>garage face</b></div><div>(3) minimum setback to <b>garage face</b></div><div>(4) minimum setback to a <b>sight triangle</b></div><div>(5) maximum <b>driveway</b> width</div><div>(6) maximum <b>porch</b> area in a <b>front yard - interior lot</b></div><div>(7) maximum total <b>porch</b> area in <b>front</b> and <b>exterior side yards - corner lot</b></div><div>(8) the area of all <b>porches</b> in <b>front</b> and <b>exterior side yards</b> shall be excluded from the calculation of <b>lot coverage</b></div><div>(9) a detached <b>garage</b> is not permitted</div></div></div>		

4.2.3.200	Exception: RS-200	Map # 44W	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RS-200 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RS zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.2.3.200.1	A <b>detached dwelling</b> shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law		
4.2.3.200.2	<b>Semi-Detached:</b> <div><div>(1) maximum <b>lot coverage</b>:</div><div><div>(1) where the <b>garage</b> does not project more than 1.0 m beyond the <b>main entry feature</b> or 2.5 m beyond the <b>main front entrance</b> or a <b>habitable room</b> on the <b>first storey</b> or</div><div>(2) where the width of the <b>garage</b> is 3.8 m or less, measured from the inside face of the <b>garage</b> side walls or</div><div>(3) all other <b>lots</b></div></div><div><div>(2) for a <b>detached dwelling</b> more than one <b>storey</b> in <b>height</b>, where the <b>garage</b> projects beyond the <b>main front entrance</b>, the <b>garage</b> shall be covered by a second <b>storey</b> which may be set back a maximum of 2.5 m from the <b>garage face</b></div><div>(3) minimum setback to a <b>sight triangle</b></div><div>(4) maximum <b>driveway</b> width</div><div>(5) maximum <b>porch</b> area in a <b>front yard - interior lot</b></div><div>(6) maximum total <b>porch</b> area in <b>front</b> and <b>exterior side yards - corner lot</b></div><div>(7) the area of all <b>porches</b> in <b>front</b> and <b>exterior side yards</b> shall be excluded from the calculation of <b>lot coverage</b></div><div>(8) a detached <b>garage</b> is not permitted</div></div><div><div>45%</div><div>45%</div><div>40%</div><div>0.0 m</div><div>3.8 m</div><div>12 m<sup>2</sup></div><div>20 m<sup>2</sup></div><div></div><div></div></div></div>		

4.2.3.201	Exception: RS-201	Map # 39E	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RS-201 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RS zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.2.3.201.1	<b>Semi-Detached:</b> <div><div>(1) minimum <b>lot area - corner lot</b></div><div>(2) <i>deleted</i></div><div>(3) <i>deleted</i></div><div>(4) <i>deleted</i></div><div>(5) minimum <b>exterior side yard</b></div><div>(6) minimum <b>rear yard</b></div><div>(7) <i>deleted</i></div></div> <div><div>240 m<sup>2</sup></div><div></div><div></div><div></div><div>3.0 m</div><div>6.0 m</div><div></div></div>		

4.2.3.202	Exception: RS-202	Map #	By-law: 0181-2018/LPAT Order 2019 February 15, <i>deleted by 0048-2025</i>

4.2.3.203	Exception: RS-203	Map # 22	By-law: 0174-2017, 0048-2025
In a RS-203 zone the applicable regulations shall be as specified for a RS zone except that the following <b>uses</b> /regulations shall apply:			
<b>Permitted Use</b>			
4.2.3.203.1	Lands zoned RS-203 shall only be used for the following:		
	(1) <b>Semi-Detached</b>		
<b>Regulations</b>			
4.2.3.203.2	<i>deleted</i>		
4.2.3.203.3	The area of all <b>porches</b> in <b>front</b> and <b>exterior side yards</b> shall be excluded from the calculation of <b>lot coverage</b>		

4.2.3.204	Exception: RS-204	Map # 22	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RS-204 zone the applicable regulations shall be as specified for a RS zone except that the following <b>uses</b> /regulations shall apply:			
<b>Permitted Use</b>			
4.2.3.204.1	Lands zoned RS-204 shall only be used for the following:		
	(1) <b>Semi-Detached</b>		
<b>Regulations</b>			
4.2.3.204.2	<i>deleted</i>		
4.2.3.204.3	Maximum <b>driveway</b> width	3.8 m	
4.2.3.204.4	The area of all <b>porches</b> in <b>front</b> and <b>exterior side yards</b> shall be excluded from the calculation of <b>lot coverage</b>		
4.2.3.204.5	<i>deleted</i>		



4.2.3.205	Exception: RS-205	Map # 10	By-law: 0174-2017, 0048-2025
<p>In a RS-205 zone the applicable regulations shall be as specified for a RS zone except that the following <b>uses</b>/regulations shall apply:</p>			
<b>Permitted Use</b>			
4.2.3.205.1	Lands zoned RS-205 shall only be used for the following:		
	(1) <b>Semi-Detached</b>		
<b>Regulations</b>			
4.2.3.205.2	<i>deleted</i>		
4.2.3.205.3	<i>deleted</i>		
4.2.3.205.4	Maximum <b>driveway</b> width		3.8 m

4.2.3.206	Exception: RS-206	Map # 53E, 53W	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RS-206 zone the applicable regulations shall be as specified for a RS zone except that the following <b>uses</b> /regulations shall apply:			
<b>Permitted Use</b>			
4.2.3.206.1	Lands zoned RS-206 shall only be used for the following:		
	(1) <b>Semi-Detached</b>		
<b>Regulations</b>			
4.2.3.206.2	<i>deleted</i>		
4.2.3.206.3	<i>deleted</i>		
4.2.3.206.4	<i>deleted</i>		
4.2.3.206.5	<i>deleted</i>		
4.2.3.206.6	Minimum <b>front yard</b>	3.65 m	
4.2.3.206.7	<i>deleted</i>		
4.2.3.206.8	Minimum setback to <b>garage face</b>	4.5 m	

4.2.3.207	Exception: RS-207	Map # 53E, 53W	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RS-207 zone the applicable regulations shall be as specified for a RS zone except that the following <b>uses</b> /regulations shall apply:			
<b>Permitted Use</b>			
4.2.3.207.1	Lands zoned RS-207 shall only be used for the following:		
	(1) <b>Semi-Detached</b>		
<b>Regulations</b>			
4.2.3.207.2	<i>deleted</i>		
4.2.3.207.3	<i>deleted</i>		
4.2.3.207.4	<i>deleted</i>		
4.2.3.207.5	<i>deleted</i>		
4.2.3.207.6	Minimum <b>front yard</b>	3.65 m	
4.2.3.207.7	<i>deleted</i>		
4.2.3.207.8	Minimum setback to <b>garage face</b>	5.5 m	

4.2.3.208	Exception: RS-208	Map # 53E	By-law: 0174-2017, 0048-2025
In a RS-208 zone the applicable regulations shall be as specified for a RS zone except that the following <b>uses</b> /regulations shall apply:			
<b>Permitted Use</b>			
4.2.3.208.1      Lands zoned RS-208 shall only be used for the following:			
(1) <b>Semi-Detached</b>			
<b>Regulations</b>			
4.2.3.208.2      Minimum <b>exterior side yard</b>		2.45 m	
4.2.3.208.3      Maximum permitted encroachment of a bay window and <b>chimney</b> , with or without foundation, into an <b>exterior side yard</b>		0.5 m	

4.2.3.209	Exception: RS-209	Map # 37W	By-law: 0174-2017, 0048-2025
In a RS-209 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RS zone except that the following <b>uses</b> /regulations shall apply:			
<b>Regulation</b>			
4.2.3.209.1 <b>Semi-Detached:</b>			
(1) <i>deleted</i>			
(2) <i>deleted</i>			
(3) <i>deleted</i>			
(4) <i>deleted</i>			
(5)      minimum <b>exterior side yard</b>		3.0 m	

4.2.3.210	Exception: RS-210	Map # 38E	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RS-210 zone the applicable regulations shall be as specified for a RS zone except that the following <b>uses/regulations</b> shall apply:			
<b>Permitted Use</b>			
4.2.3.210.1	Lands zoned RS-210 shall only be used for the following:		
	(1) <b>Semi-Detached</b>		
<b>Regulations</b>			
4.2.3.210.2	<i>deleted</i>		
4.2.3.210.3	Minimum <b>lot area - corner lot</b>	260 m <sup>2</sup>	
4.2.3.210.4	Minimum <b>lot frontage - interior lot</b>	6.1 m	
4.2.3.210.5	Minimum <b>lot frontage - corner lot</b>	8.2 m	
4.2.3.210.6	<i>deleted</i>		
4.2.3.210.7	Minimum <b>exterior side yard</b>	3.0 m	
4.2.3.210.8	<i>deleted</i>		
4.2.3.210.9	The areas of all <b>porches</b> in <b>front</b> and <b>exterior side yards</b> shall be excluded from the calculation of <b>lot coverage</b>		
4.2.3.210.10	Maximum <b>driveway</b> width - <b>interior lot</b>	3.8 m	
4.2.3.210.11	Maximum <b>driveway</b> width - <b>corner lot</b>	5.0 m	

4.2.3.211	Exception: RS-211	Map # 57, 58	By-law: 0449-2007, 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RS-211 zone the applicable regulations shall be as specified for a RS zone except that the following <b>uses/regulations</b> shall apply:			
<b>Permitted Use</b>			
4.2.3.211.1	Lands zoned RS-211 shall only be used for the following:		
	(1) <b>Semi-Detached</b>		
<b>Regulations</b>			
4.2.3.211.2	The regulations of Line 5.0 contained in Table 4.2.1 of this By-law shall not apply		
4.2.3.211.3	<i>deleted</i>		
4.2.3.211.4	<i>deleted</i>		
4.2.3.211.5	<i>deleted</i>		
4.2.3.211.6	<i>deleted</i>		
4.2.3.211.7	Minimum <b>front yard - lots</b> without a municipal sidewalk adjacent the <b>front lot line</b>	3.5 m	
4.2.3.211.8	Minimum <b>exterior side yard - lots</b> without a municipal sidewalk adjacent the <b>exterior side lot line</b>	3.5 m	
4.2.3.211.9	Minimum <b>exterior side yard - lots</b> abutting a <b>street</b> with a right-of-way width less than 17.0 m	1.8 m	
4.2.3.211.10	Minimum setback to <b>garage face</b>	5.8 m	
4.2.3.211.11	<i>deleted</i>		

Exception RS-211 continued on next page

4.2.3.211	Exception: RS-211	Map # 57, 58	By-law: 0449-2007, 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025
<b>Exception RS-211 continued from previous page</b>			
4.2.3.211.12	Minimum setback to a <b>sight triangle</b>		0.0 m
4.2.3.211.13	Maximum encroachment of a <b>porch</b> or <b>balcony</b> into required <b>front</b> or <b>exterior side yard</b>		2.0 m
4.2.3.211.14	Maximum projection of a <b>garage</b> beyond either the <b>main front entrance</b> or beyond the <b>main entry feature</b> where provided		2.5 m
4.2.3.211.15	Where a <b>main entry feature</b> has been provided, the maximum projection of a <b>garage</b> beyond a <b>main front entrance</b>		5.0 m
4.2.3.211.16	For a <b>semi-detached</b> more than one <b>storey</b> in <b>height</b> , where the <b>garage</b> projects beyond the <b>main front entrance</b> , the <b>garage</b> shall be covered by a second <b>storey</b> which may be set back a maximum of 2.5 m from the <b>garage face</b>		
4.2.3.211.17	Maximum <b>driveway</b> width - <b>interior lot</b>		4.3 m
4.2.3.211.18	Maximum <b>driveway</b> width - <b>corner lot</b>		4.7 m
4.2.3.211.19	Maximum <b>garage</b> width: measured from the inside face of the <b>garage</b> side walls		3.8 m
4.2.3.211.20	Detached <b>garage</b> shall not be permitted		

4.2.3.212	Exception: RS-212	Map # 57	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RS-212 zone the applicable regulations shall be as specified for a RS zone except that the following uses/regulations shall apply:			
Permitted Uses			
4.2.3.212.1	Lands zoned RS-212 shall only be used for the following:  (1) <b>Semi-Detached</b> (2) <b>Public school</b> in compliance with the provisions contained in Article 2.1.9.1 of this By-law		
Regulations			
4.2.3.212.2	The regulations of Line 5.0 contained in Table 4.2.1 of this By-law shall not apply		
4.2.3.212.3	Minimum <b>front yard - lots</b> without a municipal sidewalk adjacent the <b>front lot line</b>		3.5 m
4.2.3.212.4	Minimum <b>exterior side yard - lots</b> without a municipal sidewalk adjacent the <b>exterior side lot line</b>		3.5 m
4.2.3.212.5	Minimum <b>exterior side yard - lots</b> abutting a <b>street</b> with a right-of-way width less than 17.0 m		1.8 m
4.2.3.212.6	Minimum <b>exterior side yard</b> with a 0.3 m reserve along the <b>exterior side lot line</b>		4.2 m
4.2.3.212.7	Minimum setback to <b>garage face</b>		5.8 m
4.2.3.212.8	Minimum setback to a <b>sight triangle</b>		0.0 m
4.2.3.212.9	Maximum encroachment of a <b>porch</b> or <b>balcony</b> into required <b>front</b> and <b>exterior side yard</b>		2.0 m
4.2.3.212.10	Maximum projection of a <b>garage</b> beyond either the <b>main front entrance</b> or beyond the <b>main entry feature</b> where provided		2.5 m

**Exception RS-212 continued on next page**

4.2.3.212	Exception: RS-212	Map # 57	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025
Exception RS-212 continued from previous page			
4.2.3.212.11	Where a <b>main entry feature</b> has been provided, the maximum projection of a <b>garage</b> beyond a <b>main front entrance</b>		5.0 m
4.2.3.212.12	For a <b>semi-detached</b> more than one <b>storey</b> in <b>height</b> , where the <b>garage</b> projects beyond the <b>main front entrance</b> , the <b>garage</b> shall be covered by a second <b>storey</b> which may be set back a maximum of 2.5 m from the <b>garage face</b>		
4.2.3.212.13	Maximum <b>driveway</b> width - <b>interior lot</b>		4.3 m
4.2.3.212.14	Maximum <b>driveway</b> width - <b>corner lot</b>		4.7 m
4.2.3.212.15	Maximum <b>garage</b> width: measured from the inside face of the <b>garage</b> side walls		3.8 m
4.2.3.212.16	Detached <b>garage</b> shall not be permitted		

4.2.3.213	Exception: RS-213	Map # 36W	By-law: 0174-2017, 0048-2025
In a RS-213 zone the applicable regulations shall be as specified for a RS zone except that the following <b>uses</b> /regulations shall apply:			
<b>Permitted Use</b>			
4.2.3.213.1	Lands zoned RS-213 shall only used for the following:		
	(1) <b>Semi-Detached</b>		
<b>Regulations</b>			
4.2.3.213.2	<i>deleted</i>		
4.2.3.213.3	Minimum <b>lot frontage - corner lot</b>		9.5 m
4.2.3.213.4	<i>deleted</i>		
4.2.3.213.5	Minimum <b>exterior side yard</b>		2.9 m

4.2.3.214	Exception: RS-214	Map # 44W	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RS-214 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RS zone except that the following <b>uses</b> /regulations shall apply:			
<b>Regulations</b>			
4.2.3.214.1	A <b>detached dwelling</b> shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law, except that:  (1)     maximum projection of a <b>garage</b> beyond the <b>main front entrance</b>		7.0 m
4.2.3.214.2	<b>Semi-Detached:</b>  (1) <i>deleted</i>  (2) <i>deleted</i>  (3) <i>deleted</i>		

Exception RS-214 continued on next page

4.2.3.214	Exception: RS-214	Map # 44W	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025
Exception RS-214 continued from previous page			
4.2.3.214.2 (continued)	(4) for a <b>semi-detached</b> more than one <b>storey</b> in <b>height</b> , where the <b>garage</b> projects beyond the <b>main front entrance</b> , the <b>garage</b> shall be covered by a second <b>storey</b> which may be set back a maximum of 2.5 m from the <b>garage face</b>		
	(5)	maximum projection of a <b>garage</b> beyond the <b>main front entrance</b>	7.0 m
	(6)	maximum <b>porch</b> area in a <b>front yard - interior lot</b>	12 m <sup>2</sup>
	(7)	maximum total <b>porch</b> area in <b>front</b> and <b>exterior side yards - corner lot</b>	20 m <sup>2</sup>
	(8)	the area of all <b>porches</b> in <b>front</b> and <b>exterior side yards</b> shall be excluded from the calculation of <b>lot coverage</b>	
	(9)	<b>accessory buildings</b> and <b>structures</b> shall not be located in the <b>front yard</b> or <b>exterior side yard</b>	

4.2.3.215	Exception: RS-215	Map # 56	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RS-215 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RS zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.2.3.215.1	<i>deleted</i>		
4.2.3.215.2	Minimum <b>parking spaces</b> per <b>dwelling unit</b>		3
4.2.3.215.3	<b>Detached Dwelling:</b>		
	(1)	maximum <b>garage</b> width: measured from the inside face of the <b>garage</b> side walls	5.7 m
4.2.3.215.4	<b>Semi-Detached:</b>		
	(1)	<b>chimney</b> , chimney breast, <b>porch</b> , central air conditioning unit or heat pump are not permitted to encroach within the required <b>interior</b> or <b>exterior side yards</b>	

4.2.3.216	Exception: RS-216	Map # 38E	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0143-2021, 0048-2025
In a RS-216 zone the applicable regulations shall be as specified for a RS zone except that the following <b>uses</b> /regulations shall apply:			
<b>Permitted Use</b>			
4.2.3.216.1	Lands zoned RS-216 shall only be used for the following:		
	(1) <b>Semi-Detached</b>		
<b>Regulations</b>			
4.2.3.216.2	The regulations of Line 5.0 contained in Table 4.2.1 of this By-law shall not apply		
4.2.3.216.3	<i>deleted</i>		
4.2.3.216.4	Minimum setback to a <b>sight triangle</b>	0.0 m	
4.2.3.216.5	Maximum encroachment of a <b>porch</b> or <b>balcony</b> into minimum required <b>front</b> or <b>exterior side yard</b>	2.0 m	
4.2.3.216.6	Maximum projection of a <b>garage</b> beyond either the <b>main front entrance</b> or beyond the <b>main entry feature</b> where provided	3.5 m	
4.2.3.216.7	Maximum setback of the <b>main front entrance</b> from the <b>garage face</b> where a <b>main entry feature</b> is provided	5.0 m	
4.2.3.216.8	Maximum <b>driveway</b> width	3.8 m	
4.2.3.216.9	Maximum <b>garage</b> width: measured from the inside face of the <b>garage</b> side walls	3.8 m	
4.2.3.216.10	Detached <b>garage</b> shall not be permitted		

4.2.3.217	Exception: RS-217	Map # 55	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RS-217 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RS zone except that the following <b>uses</b> /regulations shall apply:			
Regulations			
4.2.3.217.1	deleted		
4.2.3.217.2	Maximum encroachment of a <b>porch</b> or <b>deck</b> including landings and stairs into the required <b>rear yard</b>	2.5 m	
4.2.3.217.3	<b>Detached Dwelling:</b>		
	(1) minimum <b>lot area - interior lot</b>	270 m <sup>2</sup>	
	(2) deleted		
	(3) maximum <b>driveway</b> width	5.6 m	
	(4) maximum <b>garage</b> width: measured from the inside face of the <b>garage</b> side walls	5.6 m	
4.2.3.217.4	<b>Semi-Detached:</b>		
	(1) the regulations of Line 5.0 contained in Table 4.2.1 of this By-law shall not apply		
	(2) maximum <b>gross floor area - residential</b>	0.75 times the <b>lot area</b>	
	(3) maximum <b>driveway</b> width	3.8 m	
	(4) maximum <b>garage</b> width: measured from the inside face of the <b>garage</b> side walls	3.8 m	

4.2.3.218	Exception: RS-218	Map # 55	By-law: 0174-2017, 0048-2025
In a RS-218 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RS zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.2.3.218.1	<b>Semi-Detached:</b>		
	(1)	the regulations of Line 5.0 contained in Table 4.2.1 of this By-law shall not apply	
	(2)	maximum <b>gross floor area - residential</b>	0.75 times the <b>lot area</b>
	(3)	maximum encroachment of <b>porch or deck</b> including landings and stairs into the required <b>rear yard</b>	2.5 m

4.2.3.219	Exception: RS-219	Map # 37W	By-law: 0048-2025
In a RS-219 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RS zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulation</b>			
4.2.3.219.1	<b>Detached Dwelling:</b>		
	(1)	maximum <b>lot coverage</b>	45%

4.2.3.220	Exception: RS-220	Map # 57	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RS-220 zone the applicable regulations shall be as specified for a RS zone except that the following <b>uses/regulations</b> shall apply:			
<b>Permitted Use</b>			
4.2.3.220.1	Lands zoned RS-220 shall only be used for the following:		
	(1)	<b>Semi-Detached</b>	
<b>Regulations</b>			
4.2.3.220.2	The regulations of Line 5.0 contained in Table 4.2.1 of this By-law shall not apply		
4.2.3.220.3	Minimum <b>front yard - lots</b> without a municipal sidewalk adjacent the <b>front lot line</b>		3.5 m
4.2.3.220.4	Minimum <b>exterior side yard - lots</b> without a municipal sidewalk adjacent the <b>exterior side lot line</b>		3.5 m
4.2.3.220.5	Minimum <b>exterior side yard - lots</b> with a 0.3 m reserve along the <b>exterior side lot line</b>		4.2 m
4.2.3.220.6	Minimum setback to <b>garage face</b>		4.0 m
4.2.3.220.7	Minimum setback to a <b>sight triangle</b>		0.0 m
4.2.3.220.8	Maximum encroachment of a <b>porch or balcony</b> into the required <b>front and exterior side yard</b>		2.0 m
4.2.3.220.9	Maximum projection of a <b>garage</b> beyond either the <b>main front entrance</b> or beyond the <b>main entry feature</b> where provided		2.5 m

Exception RS-220 continued on next page



4.2.3.220	Exception: RS-220	Map # 57	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025
Exception RS-220 continued from previous page			
4.2.3.220.10	Where a <b>main entry feature</b> has been provided, the maximum projection of a <b>garage</b> beyond a <b>main front entrance</b>		5.0 m
4.2.3.220.11	For a <b>semi-detached</b> more than one <b>storey</b> in <b>height</b> , where the <b>garage</b> projects beyond the <b>main front entrance</b> , the <b>garage</b> shall be covered by a second <b>storey</b> which may be set back a maximum of 2.5 m from the <b>garage face</b>		
4.2.3.220.12	Maximum <b>driveway</b> width - <b>interior lot</b>		4.3 m
4.2.3.220.13	Maximum <b>driveway</b> width - <b>corner lot</b>		4.7 m
4.2.3.220.14	Maximum <b>garage</b> width: measured from the inside face of the <b>garage</b> side walls		3.8 m
4.2.3.220.15	Detached <b>garage</b> shall not be permitted		

4.2.3.221	Exception: RS-221	Map # 55	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RS-221 zone the applicable regulations shall be as specified for a RS zone except that the following <b>uses/regulations</b> shall apply:			
<b>Permitted Use</b>			
4.2.3.221.1	Lands zoned RS-221 shall only be used for the following:		
	(1) <b>Semi-Detached</b>		
<b>Regulations</b>			
4.2.3.221.2	Minimum setback of a <b>semi-detached</b> to the <b>garage face</b>		5.0 m
4.2.3.221.3	Minimum setback of a <b>semi-detached</b> to Tenth Line West		4.5 m
4.2.3.221.4	Maximum <b>driveway</b> width		5.2 m
4.2.3.221.5	Maximum <b>garage</b> width: measured from the inside face of the <b>garage</b> side walls		5.2 m

4.2.3.222	Exception: RS-222	Map # 38E	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0143-2021, 0048-2025
In a RS-222 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RS zone except that the following <b>uses</b> /regulations shall apply:			
<b>Regulations</b>			
4.2.3.222.1	A <b>detached dwelling</b> shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:  (1) <i>deleted</i> (2) <i>deleted</i> (3) <i>deleted</i> (4) <i>deleted</i> (5) <i>deleted</i> (6) <i>deleted</i> (7) <i>deleted</i> (8) <i>deleted</i> (9) minimum setback of a <b>porch</b> to a <b>sight triangle</b> 1.5 m (10) maximum <b>driveway</b> width 5.7 m (11) maximum <b>garage</b> width: 5.7 m measured from the inside face of the <b>garage</b> side walls		
4.2.3.222.2	<b>Semi-Detached:</b>  (1) the regulations of Line 5.0 contained in Table 4.2.1 of this By-law shall not apply (2) maximum <b>gross floor area - residential</b> 0.75 times the <b>lot area</b> (3) maximum projection of a <b>garage</b> beyond either the <b>main front entrance</b> or beyond the <b>main entry feature</b> where provided 2.5 m (4) where a <b>main entry feature</b> has been provided, the maximum projection of a <b>garage</b> beyond a <b>main front entrance</b> 5.0 m (5) for a <b>semi-detached</b> more than one <b>storey</b> in <b>height</b> , where the <b>garage</b> projects beyond the <b>main front entrance</b> , the <b>garage</b> shall be covered by a second <b>storey</b> which may be set back a maximum of 2.5 m from the <b>garage face</b> (6) maximum encroachment of a <b>porch</b> or <b>balcony</b> into required <b>front</b> or <b>exterior side yard</b> 2.0 m (7) maximum <b>driveway</b> width 3.8 m (8) maximum <b>garage</b> width: 3.8 m measured from the inside face of the <b>garage</b> side walls (9) detached <b>garage</b> shall not be permitted		

4.2.3.223	Exception: RS-223	Map # 58	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RS-223 zone the applicable regulations shall be as specified for a RS zone except that the following uses/regulations shall apply:			
Permitted Use			
4.2.3.223.1	Lands zoned RS-223 shall only be used for the following:		
	(1) Semi-Detached		
Regulations			
4.2.3.223.2	The regulations of Line 5.0 contained in Table 4.2.1 of this By-law shall not apply		
4.2.3.223.3	deleted		
4.2.3.223.4	deleted		
4.2.3.223.5	deleted		
4.2.3.223.6	deleted		
4.2.3.223.7	deleted		
4.2.3.223.8	deleted		
4.2.3.223.9	Minimum exterior side yard - lots abutting a street with a right-of-way width less than 17.0 m	1.8 m	
4.2.3.223.10	Minimum setback to garage face	5.8 m	
4.2.3.223.11	Minimum interior side yard - unattached side	1.2 m	
4.2.3.223.12	Minimum setback to a sight triangle	0.0 m	
4.2.3.223.13	Minimum setback of a semi-detached to all lands zoned U-3	11.0 m	
4.2.3.223.14	Maximum encroachment of a porch or balcony into required front or exterior side yard	2.0 m	
4.2.3.223.15	Maximum projection of a garage beyond either the main front entrance or beyond the main entry feature where provided	2.5 m	
4.2.3.223.16	Where a main entry feature has been provided, the maximum projection of a garage beyond a main front entrance	5.0 m	
4.2.3.223.17	For a semi-detached more than one storey in height, where the garage projects beyond the main front entrance, the garage shall be covered by a second storey which may be set back a maximum of 2.5 m from the garage face		
4.2.3.223.18	Maximum driveway width	3.8 m	
4.2.3.223.19	Maximum garage width: measured from the inside face of the garage side walls	3.8 m	
4.2.3.223.20	Detached garage shall not be permitted		

4.2.3.224	Exception: RS-224	Map # 22	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RS-224 zone the applicable regulations shall be as specified for a RS zone except that the following <b>uses/regulations</b> shall apply:			
<b>Permitted Use</b>			
4.2.3.224.1	Lands zoned RS-224 shall only be used for the following:		
	(1) <b>Semi-Detached</b>		
<b>Regulations</b>			
4.2.3.224.2	The area of all <b>porches</b> in <b>front</b> and <b>exterior side yards</b> shall be excluded from the calculation of <b>lot coverage</b>		
4.2.3.224.3	<i>deleted</i>		
4.2.3.224.4	<i>deleted</i>		
4.2.3.224.5	Maximum <b>driveway</b> width		5.6 m

4.2.3.225	Exception: RS-225	Map # 44E, 52E	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RS-225 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RS zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.2.3.225.1	A <b>detached dwelling</b> shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law		
4.2.3.225.2	<b>Semi-Detached:</b>		
	(1)	maximum <b>lot coverage</b> - where the <b>garage</b> does not project more than 1.0 m beyond the <b>main entry feature</b> or 2.5 m beyond the <b>main front entrance - interior lot</b>	45%
	(2)	<i>deleted</i>	
	(3)	maximum projection of a <b>garage</b> beyond either the <b>main front entrance</b> or beyond the <b>main entry feature</b> where provided - <b>interior lot</b>	2.5 m
	(4)	where a <b>main entry feature</b> has been provided, the maximum projection of a <b>garage</b> beyond a <b>main front entrance - interior lot</b>	4.0 m
	(5)	for a <b>semi-detached</b> more than one <b>storey</b> in <b>height</b> , where the <b>garage</b> projects beyond the <b>main front entrance</b> , the <b>garage</b> shall be covered by a second <b>storey</b> which may be set back a maximum of 2.5 m from the <b>garage face - interior lot</b>	
	(6)	maximum <b>porch</b> area in a <b>front yard - interior lot</b>	12 m <sup>2</sup>
	(7)	maximum total <b>porch</b> area in <b>front</b> and <b>exterior side yards - corner lot</b>	20 m <sup>2</sup>
	(8)	the area of all <b>porches</b> in <b>front</b> and <b>exterior side yards</b> shall be excluded from the calculation of <b>lot coverage</b>	
	(9)	<b>accessory buildings</b> and <b>structures</b> shall not be located in the <b>front yard</b> or <b>exterior side yard</b>	

4.2.3.226	Exception: RS-226	Map # 44W, 45E, 52E, 52W	By-law: 0325-2008, 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RS-226 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RS zone except that the following <b>uses</b> /regulations shall apply:			
<b>Regulations</b>			
4.2.3.226.1	A <b>detached dwelling</b> shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that: <ol style="list-style-type: none"><li>(1) maximum <b>lot coverage</b> - where the width of the <b>garage</b> is 5.0 m or less, measured from the outside of opposite exterior walls or from the outside of the exterior wall to the midpoint of an interior wall45%</li><li>(2) maximum <b>lot coverage</b> - where the projection of a <b>garage</b> beyond the <b>main front entrance</b> or the <b>main entry feature</b>, where provided, is less than or equal to 1.0 m or the projection of a <b>garage</b> beyond the <b>main front entrance</b> is less than or equal to 2.5 m45%</li><li>(3) maximum projection of a <b>garage</b> beyond the <b>main front entrance</b>7.5 m</li></ol>		
4.2.3.226.2	<b>Semi-Detached:</b> <ol style="list-style-type: none"><li>(1) <i>deleted</i></li><li>(2) maximum projection of a <b>garage</b> beyond the <b>main front entrance</b>7.5 m</li><li>(3) for a <b>semi-detached</b> more than one <b>storey in height</b>, where the <b>garage</b> projects beyond the <b>main front entrance</b>, the <b>garage</b> shall be covered by a second <b>storey</b> which may be set back a maximum of 2.5 m from the <b>garage face</b></li><li>(4) maximum <b>porch</b> area in a <b>front yard - interior lot</b>12 m<sup>2</sup></li><li>(5) maximum total <b>porch</b> area in <b>front and exterior side yards - corner lot</b>20 m<sup>2</sup></li><li>(6) the area of all <b>porches</b> in <b>front and exterior side yards</b> shall be excluded from the calculation of <b>lot coverage</b></li><li>(7) <b>accessory buildings</b> and <b>structures</b> shall not be located in the <b>front yard</b> or <b>exterior side yard</b></li></ol>		

4.2.3.227	Exception: RS-227	Map # 27	By-law: 0174-2017, 0048-2025
In a RS-227 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RS zone except that the following <b>uses</b> /regulations shall apply:			
Additional Permitted Use			
4.2.3.227.1	(1)	Linked Dwelling	
Regulations			
4.2.3.227.2	Minimum front yard		7.5 m
4.2.3.227.3	A <b>linked dwelling</b> shall comply with the RS zone regulations for a <b>semi-detached</b> contained in Subsection 4.2.1 of this By-law except that:		
	(1)	minimum front yard	7.5 m

4.2.3.228	Exception: RS-228	Map # 27	By-law: 0174-2017, 0048-2025
In a RS-228 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RS zone except that the following <b>uses</b> /regulations shall apply:			
Additional Permitted Use			
4.2.3.228.1	(1)	Linked Dwelling	
Regulations			
4.2.3.228.2	deleted		
4.2.3.228.3	deleted		
4.2.3.228.4	A <b>linked dwelling</b> shall comply with the RS zone regulations for a <b>semi-detached</b> contained in Subsection 4.2.1 of this By-law except that:		
	(1)	minimum <b>front yard</b>	7.5 m

4.2.3.229	Exception: RS-229	Map # 44W	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RS-229 zone the applicable regulations shall be as specified for a RS zone except that the following uses/regulations shall apply:			
Permitted Use			
4.2.3.229.1	Lands zoned RS-229 shall only be used for the following:		
	(1) <b>Semi-Detached</b>		
Regulations			
4.2.3.229.2	(1)	maximum <b>lot coverage</b> - where the <b>garage</b> does not project more than 1.0 m beyond the <b>main entry feature</b> or 2.5 m beyond the <b>main front entrance</b> or a <b>habitable room</b> on the <b>first storey</b> or	45%
	(2)	where the width of the <b>garage</b> is 3.5 m or less, measured from the outside of opposite exterior walls or from the outside of an exterior wall to the midpoint of an interior wall or	45%
	(3)	all other <b>lots</b>	40%
4.2.3.229.3	Maximum projection of a <b>garage</b> beyond the <b>main front entrance</b>		7.5 m
4.2.3.229.4	For a <b>semi-detached</b> more than one <b>storey</b> in <b>height</b> , where the <b>garage</b> projects beyond the <b>main front entrance</b> , the <b>garage</b> shall be covered by a second <b>storey</b> which may be set back a maximum of 2.5 m from the <b>garage face</b>		
4.2.3.229.5	Maximum <b>porch</b> area in a <b>front yard</b> - <b>interior lot</b>		12 m <sup>2</sup>
4.2.3.229.6	Maximum total <b>porch</b> area in <b>front</b> and <b>exterior side yards</b> - <b>corner lot</b>		20 m <sup>2</sup>
4.2.3.229.7	The area of all <b>porches</b> in <b>front</b> and <b>exterior side yards</b> shall be excluded from the calculation of <b>lot coverage</b>		
4.2.3.229.8	<b>Accessory buildings</b> and <b>structures</b> shall not be located in the <b>front yard</b> or <b>exterior side yard</b>		

4.2.3.230	Exception: RS-230	Map # 36W	By-law: 0174-2017, 0048-2025
In a RS-230 zone the applicable regulations shall be as specified for a RS zone except that the following <b>uses</b> /regulations shall apply:			
<b>Permitted Use</b>			
4.2.3.230.1	Lands zoned RS-230 shall only be used for the following:		
	(1) <b>Semi-Detached</b>		
<b>Regulations</b>			
4.2.3.230.2	The regulations of Line 5.0 contained in Table 4.2.1 of this By-law shall not apply		
4.2.3.230.3	<i>deleted</i>		
4.2.3.230.4	Minimum <b>rear yard - lot</b> that contains a noise attenuation wall and/or a berm		6.0 m

4.2.3.231	Exception: RS-231	Map # 57	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RS-231 zone the applicable regulations shall be as specified for a RS zone except that the following uses/regulations shall apply:			
Permitted Use			
4.2.3.231.1	Lands zoned RS-231 shall only be used for the following:		
	(1) <b>Semi-Detached</b>		
Regulations			
4.2.3.231.2	The regulations of Line 5.0 contained in Table 4.2.1 of this By-law shall not apply		
4.2.3.231.3	deleted		
4.2.3.231.4	deleted		
4.2.3.231.5	deleted		
4.2.3.231.6	deleted		
4.2.3.231.7	Minimum <b>front yard - lots</b> without a municipal sidewalk adjacent the <b>front lot line</b>	3.5 m	
4.2.3.231.8	deleted		
4.2.3.231.9	Minimum <b>exterior side yard - lots</b> abutting a <b>street</b> with a right-of-way width less than 17.0 m	1.8 m	
4.2.3.231.10	Minimum setback to <b>garage face</b>	5.8 m	
4.2.3.231.11	deleted		
4.2.3.231.12	Minimum setback to a <b>sight triangle</b>	0.0 m	
4.2.3.231.13	Minimum setback of a <b>semi-detached</b> to all lands zoned U-3	13.2 m	
4.2.3.231.14	Maximum encroachment of a <b>porch</b> or <b>balcony</b> into required <b>front</b> and <b>exterior side yard</b>	2.0 m	
4.2.3.231.15	Maximum projection of a <b>garage</b> beyond either the <b>main front entrance</b> or beyond the <b>main entry feature</b> where provided	2.5 m	

Exception RS-231 continued on next page

4.2.3.231	Exception: RS-231	Map # 57	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025
<b>Exception RS-231 continued from previous page</b>			
4.2.3.231.16	Where a <b>main entry feature</b> has been provided, the maximum projection of a <b>garage</b> beyond a <b>main front entrance</b>		5.0 m
4.2.3.231.17	For a <b>semi-detached</b> more than one <b>storey</b> in <b>height</b> , where the <b>garage</b> projects beyond the <b>main front entrance</b> , the <b>garage</b> shall be covered by a second <b>storey</b> which may be set back a maximum of 2.5 m from the <b>garage face</b>		
4.2.3.231.18	Maximum <b>driveway</b> width - <b>interior lot</b>		4.3 m
4.2.3.231.19	Maximum <b>driveway</b> width - <b>corner lot</b>		4.7 m
4.2.3.231.20	Maximum <b>garage</b> width: measured from the inside face of the <b>garage</b> side walls		3.8 m
4.2.3.231.21	Detached <b>garage</b> shall not be permitted		

4.2.3.232	Exception: RS-232	Map # 57	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RS-232 zone the applicable regulations shall be as specified for a RS zone except that the following <b>uses/regulations</b> shall apply:			
<b>Permitted Use</b>			
4.2.3.232.1	Lands zoned RS-232 shall only be used for the following:		
	(1) <b>Semi-Detached</b>		
<b>Regulations</b>			
4.2.3.232.2	The regulations of Line 5.0 contained in Table 4.2.1 of this By-law shall not apply		
4.2.3.232.3	<i>deleted</i>		
4.2.3.232.4	<i>deleted</i>		
4.2.3.232.5	<i>deleted</i>		
4.2.3.232.6	<i>deleted</i>		
4.2.3.232.7	Minimum <b>front yard - lots</b> without a municipal sidewalk adjacent the <b>front lot line</b>	3.5 m	
4.2.3.232.8	<i>deleted</i>		
4.2.3.232.9	Minimum <b>exterior side yard - lots</b> abutting a <b>street</b> with a right-of-way width less than 17.0 m	1.8 m	
4.2.3.232.10	Minimum setback to <b>garage face</b>	5.8 m	
4.2.3.232.11	<i>deleted</i>		
4.2.3.232.12	Minimum setback to a <b>sight triangle</b>	0.0 m	
4.2.3.232.13	Minimum setback of a <b>semi-detached</b> to all lands zoned U-3	14.9 m	
4.2.3.232.14	Maximum encroachment of a <b>porch</b> or <b>balcony</b> into required <b>front</b> and <b>exterior side yard</b>	2.0 m	
4.2.3.232.15	Maximum projection of a <b>garage</b> beyond either the <b>main front entrance</b> or beyond the <b>main entry feature</b> where provided	2.5 m	

**Exception RS-232 continued on next page**

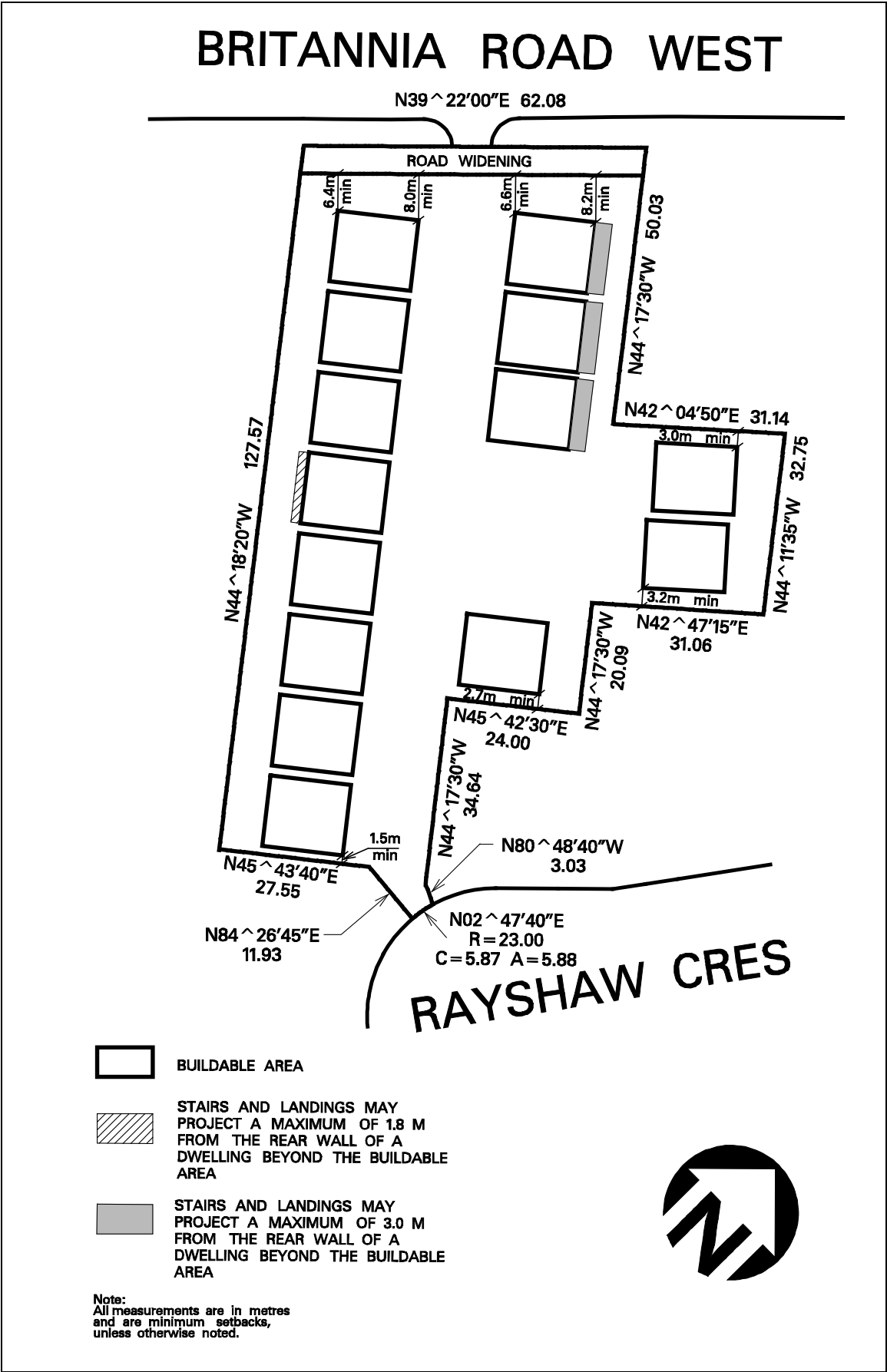


4.2.3.232	Exception: RS-232	Map # 57	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025
<b>Exception RS-232 continued from previous page</b>			
4.2.3.232.16	Where a <b>main entry feature</b> has been provided, the maximum projection of a <b>garage</b> beyond a <b>main front entrance</b>		5.0 m
4.2.3.232.17	For a <b>semi-detached</b> more than one <b>storey</b> in <b>height</b> , where the <b>garage</b> projects beyond the <b>main front entrance</b> , the <b>garage</b> shall be covered by a second <b>storey</b> which may be set back a maximum of 2.5 m from the <b>garage face</b>		
4.2.3.232.18	Maximum <b>driveway</b> width - <b>interior lot</b>		4.3 m
4.2.3.232.19	Maximum <b>driveway</b> width - <b>corner lot</b>		4.7 m
4.2.3.232.20	Maximum <b>garage</b> width: measured from the inside face of the <b>garage</b> side walls		3.8 m
4.2.3.232.21	Detached <b>garage</b> shall not be permitted		

4.2.3.233	Exception: RS-233	Map # 57	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RS-233 zone the applicable regulations shall be as specified for a RS zone except that the following uses/regulations shall apply:			
Permitted Use			
4.2.3.233.1	Lands zoned RS-233 shall only be used for the following:		
	(1)     Semi-Detached		
Regulations			
4.2.3.233.2	The regulations of Line 5.0 contained in Table 4.2.1 of this By-law shall not apply		
4.2.3.233.3	Minimum front yard - lots without a municipal sidewalk adjacent the front lot line		3.5 m
4.2.3.233.4	deleted		
4.2.3.233.5	deleted		
4.2.3.233.6	Minimum exterior side yard - corner lots with a 0.3 m reserve along the exterior side lot line		4.2 m
4.2.3.233.7	Minimum setback to garage face		5.8 m
4.2.3.233.8	Minimum setback to a sight triangle		0.0 m
4.2.3.233.9	Maximum encroachment of a porch or balcony into a required front and exterior side yard		2.0 m
4.2.3.233.10	Maximum projection of a garage beyond either the main front entrance or beyond the main entry feature where provided		2.5 m
4.2.3.233.11	Where a main entry feature has been provided, the maximum projection of a garage beyond a main front entrance		5.0 m
4.2.3.233.12	For a semi-detached more than one storey in height, where the garage projects beyond the main front entrance, the garage shall be covered by a second storey which may be set back a maximum of 2.5 m from the garage face		
4.2.3.233.13	Maximum garage width: measured from the inside face of the garage side walls		3.8 m
4.2.3.233.14	Detached garage shall not be permitted		

4.2.3.234	Exception: RS-234	Map #	By-law: 0024-2011, <i>deleted by 0137-2013</i> , 0171-2015/OMB Order 2016 April 04, 0193-2016/OMB Order 2017 May 30, 0007-2022, <i>deleted by 0048-2025</i>

4.2.3.235	Exception: RS-235	Map # 39E	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0208-2022, 0048-2025
In a RS-235 zone the applicable regulations shall be as specified for a RS zone except that the following <b>uses</b> /regulations shall apply:			
<b>Permitted Use</b>			
4.2.3.235.1	Lands zoned RS-235 shall only be used for the following:		
	(1) <b>Semi-Detached</b>		
<b>Regulations</b>			
4.2.3.235.2	The regulations of Line 5.0 contained in Table 4.2.1 of this By-law shall not apply		
4.2.3.235.3	Maximum number of semi-detached <b>dwelling units</b> on all lands zoned RS-235	28	
4.2.3.235.4	Minimum <b>landscaped area</b>	40% of the <b>lot area</b>	
4.2.3.235.5	Maximum <b>height - highest ridge: sloped roof</b>	11.0 m	
4.2.3.235.6	Minimum setback to the front wall of a <b>semi-detached</b> from a <b>condominium road</b>	4.5 m	
4.2.3.235.7	Minimum setback to the rear wall of a <b>semi-detached</b> from a <b>lot line</b>	7.5 m	
4.2.3.235.8	Minimum separation between <b>semi-detached</b>	1.8 m	
4.2.3.235.9	Minimum setback to <b>garage face</b> from a <b>condominium road</b>	6.0 m	
4.2.3.235.10	Maximum projection of stairs and landings from the front wall of a dwelling outside the <b>buildable area</b> identified on Schedule RS-235 of this Exception	1.8 m	
4.2.3.235.11	Minimum number of common visitor <b>parking spaces</b> per <b>dwelling unit</b>	0.32	
4.2.3.235.12	All site development plans shall comply with Schedule RS-235 of this Exception		



4.2.3.236	Exception: RS-236	Map # 29	By-law: 0174-2017, 0048-2025
In a RS-236 zone the applicable regulations shall be as specified for a RS zone except that the following <b>uses/regulations</b> shall apply:			
<b>Permitted Use</b>			
4.2.3.236.1	Lands zoned RS-236 shall only be used for the following:		
	(1) <b>Semi-Detached</b>		
<b>Regulations</b>			
4.2.3.236.2	<i>deleted</i>		
4.2.3.236.3	<i>deleted</i>		
4.2.3.236.4	<i>deleted</i>		
4.2.3.236.5	<i>deleted</i>		
4.2.3.236.6	Minimum setback to a <b>sight triangle</b>	0.0 m	
4.2.3.236.7	Minimum setback of a <b>semi-detached</b> to all lands zoned PB1	17.15 m	
4.2.3.236.8	Maximum encroachment of a <b>porch</b> or <b>balcony</b> into a required <b>front</b> and <b>exterior side yard</b>	2.0 m	
4.2.3.236.9	Maximum <b>driveway</b> width	3.8 m	
4.2.3.236.10	Maximum <b>garage</b> width: measured from the inside face of the <b>garage</b> side walls	3.8 m	
4.2.3.236.11	Each dwelling shall have an attached <b>garage</b>		
4.2.3.236.12	Detached <b>garage</b> shall not be permitted		

4.2.3.237	Exception: RS-237	Map # 20	By-law: 0308-2011, 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RS-237 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RS zone except that the following <b>uses/regulations</b> shall apply:			
Permitted Use			
4.2.3.237.1	Lands zoned RS-237 shall only be used for the following:  (1) <b>Semi-Detached</b>		
Regulations			
4.2.3.237.2	The provisions contained in Subsection 2.1.14 of this By-law shall not apply		
4.2.3.237.3	Maximum <b>lot coverage</b> - where the <b>garage</b> does not project more than 1.0 m beyond the <b>main entry feature</b> or 2.5 m beyond the <b>main front entrance</b> - <b>interior lot</b>	45%	
4.2.3.237.4	Maximum <b>lot coverage</b> - all other <b>lots</b>	40%	
4.2.3.237.5	<i>deleted</i>		
4.2.3.237.6	Minimum <b>interior side yard</b> - unattached side	0.9 m	
4.2.3.237.7	Maximum <b>height</b>	9.0 m and 2 <b>storeys</b>	
4.2.3.237.8	Maximum projection of a <b>garage</b> beyond either the <b>main front entrance</b> or beyond the <b>main entry feature</b> where provided - <b>interior lot</b>	2.5 m	

Exception RS-237 continued on next page

4.2.3.237	Exception: RS-237	Map # 20	By-law: 0308-2011, 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025
<b>Exception RS-237 continued from previous page</b>			
4.2.3.237.9	Where a <b>main entry feature</b> has been provided, the maximum projection of a <b>garage</b> beyond a <b>main front entrance - interior lot</b>		4.0 m
4.2.3.237.10	For a <b>semi-detached</b> more than one <b>storey</b> in <b>height</b> , where the <b>garage</b> projects beyond the <b>main front entrance</b> , the <b>garage</b> shall be covered by a second <b>storey</b> which may be set back a maximum of 2.5 m from the <b>garage face - interior lot</b>		
4.2.3.237.11	Maximum <b>porch</b> area in a <b>front yard - interior lot</b>		12 m <sup>2</sup>
4.2.3.237.12	Maximum total <b>porch</b> area in <b>front</b> and <b>exterior side yards - corner lot</b>		20 m <sup>2</sup>
4.2.3.237.13	The area of all <b>porches</b> in <b>front</b> and <b>exterior side yards</b> shall be excluded from the calculation of <b>lot coverage</b>		
4.2.3.237.14	<b>Accessory buildings</b> and <b>structures</b> shall not be located in the <b>front yard</b> or <b>exterior side yard</b>		

4.2.3.238	Exception: RS-238	Map # 20	By-law: 0308-2011, 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RS-238 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RS zone except that the following <b>uses</b> /regulations shall apply:			
Permitted Use			
4.2.3.238.1	Lands zoned RS-238 shall only be used for the following:		
	(1) <b>Semi-Detached</b>		
Regulations			
4.2.3.238.2	The provisions contained in Subsection 2.1.14 of this By-law shall not apply		
4.2.3.238.3	Maximum <b>lot coverage</b> - where the <b>garage</b> does not project more than 1.0 m beyond the <b>main entry feature</b> or 2.5 m beyond the <b>main front entrance - interior lot</b>		45%
4.2.3.238.4	Maximum <b>lot coverage</b> - all other <b>lots</b>		40%
4.2.3.238.5	<i>deleted</i>		
4.2.3.238.6	Minimum <b>interior side yard</b> - unattached side		1.8 m on one side of the dwelling and 0.9 m on the other
4.2.3.238.7	Maximum <b>height</b>		9.0 m and 2 <b>storeys</b>
4.2.3.238.8	Maximum projection of a <b>garage</b> beyond either the <b>main front entrance</b> or beyond the <b>main entry feature</b> where provided - <b>interior lot</b>		2.5 m
4.2.3.238.9	Where a <b>main entry feature</b> has been provided, the maximum projection of a <b>garage</b> beyond a <b>main front entrance - interior lot</b>		4.0 m
4.2.3.238.10	For a <b>semi-detached</b> more than one <b>storey</b> in <b>height</b> , where the <b>garage</b> projects beyond the <b>main front entrance</b> , the <b>garage</b> shall be covered by a second <b>storey</b> which may be set back a maximum of 2.5 m from the <b>garage face - interior lot</b>		

Exception RS-238 continued on next page

4.2.3.238	Exception: RS-238	Map # 20	By-law: 0308-2011, 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025
<b>Exception RS-238 continued from previous page</b>			
4.2.3.238.11	Maximum <b>porch</b> area in a <b>front yard - interior lot</b>		12 m <sup>2</sup>
4.2.3.238.12	Maximum total <b>porch</b> area in <b>front</b> and <b>exterior side yards - corner lot</b>		20 m <sup>2</sup>
4.2.3.238.13	The area of all <b>porches</b> in <b>front</b> and <b>exterior side yards</b> shall be excluded from the calculation of <b>lot coverage</b>		
4.2.3.238.14	<b>Accessory buildings</b> and <b>structures</b> shall not be located in the <b>front yard</b> or <b>exterior side yard</b>		

4.2.3.239	Exception: RS-239	Map # 20	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RS-239 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RS zone except that the following <b>uses/regulations</b> shall apply:			
Permitted Use			
4.2.3.239.1	Lands zoned RS-239 shall only be used for the following:		
	(1) <b>Semi-Detached</b>		
Regulations			
4.2.3.239.2	The provisions contained in Subsection 2.1.14 of this By-law shall not apply		
4.2.3.239.3	Maximum <b>lot coverage</b> - where the <b>garage</b> does not project more than 1.0 m beyond the <b>main entry feature</b> or 2.5 m beyond the <b>main front entrance - interior lot</b>	45%	
4.2.3.239.4	Maximum <b>lot coverage</b> - all other <b>lots</b>	40%	
4.2.3.239.5	Minimum <b>interior side yard</b> - unattached side	0.9 m	
4.2.3.239.6	Maximum projection of a <b>garage</b> beyond either the <b>main front entrance</b> or beyond the <b>main entry feature</b> where provided - <b>interior lot</b>	2.5 m	
4.2.3.239.7	Where a <b>main entry feature</b> has been provided, the maximum projection of a <b>garage</b> beyond a <b>main front entrance - interior lot</b>	4.0 m	
4.2.3.239.8	For a <b>semi-detached</b> more than one <b>storey</b> in <b>height</b> , where the <b>garage</b> projects beyond the <b>main front entrance</b> , the <b>garage</b> shall be covered by a second <b>storey</b> which may be set back a maximum of 2.5 m from the <b>garage face - interior lot</b>		
4.2.3.239.9	Maximum <b>porch</b> area in a <b>front yard - interior lot</b>	12 m <sup>2</sup>	
4.2.3.239.10	Maximum total <b>porch</b> area in <b>front</b> and <b>exterior side yards - corner lot</b>	20 m <sup>2</sup>	
4.2.3.239.11	The area of all <b>porches</b> in <b>front</b> and <b>exterior side yards</b> shall be excluded from the calculation of <b>lot coverage</b>		
4.2.3.239.12	<b>Accessory buildings</b> and <b>structures</b> shall not be located in the <b>front yard</b> or <b>exterior side yard</b>		

4.2.3.240	Exception: RS-240	Map # 19	By-law: 0212-2015, 0174-2017, 0048-2025
In a RS-240 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RS zone except that the following <b>uses</b> /regulations shall apply:			
<b>Regulations</b>			
4.2.3.240.1	<b>Semi-Detached:</b>		
	(1)	minimum <b>lot area - interior lot</b>	191 m <sup>2</sup>
	(2)	the <b>front lot line</b> shall be deemed to be the easterly <b>lot line</b> abutting lands zoned OS2	

4.2.3.241	Exception: RS-241	Map # 30	By-law: 0184-2008, 0174-2017, 0048-2025
In a RS-241 zone the applicable regulations shall be as specified for a RS zone except that the following <b>uses</b> /regulations shall apply:			
<b>Permitted Use</b>			
4.2.3.241.1	Lands zoned RS-241 shall only be used for the following:		
	(1) <b>Semi-Detached</b>		
<b>Regulations</b>			
4.2.3.241.2	<i>deleted</i>		
4.2.3.241.3	Minimum <b>lot area - corner lot</b>	250 m <sup>2</sup>	
4.2.3.241.4	Minimum <b>lot frontage - corner lot</b>	8.2 m	
4.2.3.241.5	Maximum <b>lot coverage</b>	50%	
4.2.3.241.6	<i>deleted</i>		
4.2.3.241.7	Minimum <b>interior side yard</b> - unattached side	1.2 m	
4.2.3.241.8	Maximum encroachment of a <b>porch</b> or a <b>balcony</b> into the required <b>front yard</b> or <b>exterior side yard</b>	2.0 m	
4.2.3.241.9	Maximum <b>height</b>	11.0 m	
4.2.3.241.10	Maximum <b>driveway</b> width	3.8 m	
4.2.3.241.11	Minimum setback to a <b>sight triangle</b>	0.0 m	
4.2.3.241.12	Maximum area of a <b>balcony</b> on top of an attached <b>garage</b>	6 m <sup>2</sup>	
4.2.3.241.13	A detached <b>garage</b> shall not be permitted		

4.2.3.242	Exception: RS-242	Map # 30	By-law: 0184-2008, 0174-2017, 0048-2025
In a RS-242 zone the applicable regulations shall be as specified for a RS zone except that the following <b>uses</b> /regulations shall apply:			
<b>Permitted Use</b>			
4.2.3.242.1	Lands zoned RS-242 shall only be used for the following:		
	(1) <b>Semi-Detached</b>		
<b>Regulations</b>			
4.2.3.242.2	<i>deleted</i>		
4.2.3.242.3	Minimum <b>lot area - corner lot</b>	250 m <sup>2</sup>	
4.2.3.242.4	<i>deleted</i>		
4.2.3.242.5	<i>deleted</i>		
4.2.3.242.6	Maximum <b>lot coverage</b>	50%	
4.2.3.242.7	<i>deleted</i>		
4.2.3.242.8	Minimum <b>interior side yard</b> - unattached side	1.2 m	
4.2.3.242.9	Minimum <b>rear yard</b>	6.0 m	
4.2.3.242.10	Maximum encroachment of a <b>porch</b> or a <b>balcony</b> into the required <b>front yard</b> or <b>exterior side yard</b>	2.0 m	
4.2.3.242.11	Maximum <b>height</b>	11.0 m	
4.2.3.242.12	Maximum <b>driveway</b> width	50% of <b>lot frontage</b>	
4.2.3.242.13	Minimum setback to a <b>sight triangle</b>	0.0 m	
4.2.3.242.14	Maximum area of a <b>balcony</b> on top of an attached <b>garage</b>	6 m <sup>2</sup>	
4.2.3.242.15	A detached <b>garage</b> shall not be permitted		

4.2.3.243	Exception: RS-243	Map # 29	By-law: 0286-2008, 0379-2009, 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RS-243 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RS zone except that the following <b>uses</b> /regulations shall apply:			
<b>Regulations</b>			
4.2.3.243.1	<b>Detached Dwelling:</b>		
	(1)	the regulations of Subsection 2.1.14 of this By-law shall not apply	
	(2)	maximum <b>lot coverage</b>	45%
	(3)	minimum setback to <b>garage face</b>	7.0 m
	(4)	<i>deleted</i>	
	(5)	minimum setback to Eglinton Avenue West	7.5 m
	(6)	minimum setback to Confederation Parkway	6.0 m
	(7)	maximum area of a <b>balcony</b> on top of an attached <b>garage</b>	12 m <sup>2</sup>

Exception RS-243 continued on next page



4.2.3.243	Exception: RS-243	Map # 29	By-law: 0286-2008, 0379-2009, 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025
Exception RS-243 continued from previous page			
4.2.3.243.2	<b>Semi-Detached:</b>		
	(1)	the regulations of Subsection 2.1.14 of this By-law shall not apply	
	(2)	maximum <b>lot coverage</b>	48%
	(3)	minimum setback to <b>garage face</b>	7.0 m
	(4)	minimum <b>interior side yard</b> - unattached side	1.2 m
	(5)	minimum <b>rear yard</b>	7.0 m
	(6)	minimum setback to Eglinton Avenue West	7.5 m
	(7)	minimum setback to Confederation Parkway	6.0 m
	(8)	maximum area of a <b>balcony</b> on top of an attached <b>garage</b>	12 m <sup>2</sup>

4.2.3.244	Exception: RS-244	Map # 37W	By-law: 0024-2011, 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RS-244 zone the applicable regulations shall be as specified for a RS zone except that the following <b>uses/regulations</b> shall apply:			
<b>Permitted Use</b>			
4.2.3.244.1	Lands zoned RS-244 shall only be used for the following:		
	(1)	<b>Semi-Detached</b>	
<b>Regulations</b>			
4.2.3.244.2	<i>deleted</i>		
4.2.3.244.3	<i>deleted</i>		
4.2.3.244.4	<i>deleted</i>		
4.2.3.244.5	Maximum <b>lot coverage</b>		50%
4.2.3.244.6	Minimum setback to <b>garage face</b>		7.0 m
4.2.3.244.7	Minimum <b>rear yard</b>		7.0 m
4.2.3.244.8	Maximum encroachment of a <b>porch</b> or a <b>deck</b> , located at and accessible from the <b>first storey</b> or below the <b>first storey</b> of the dwelling, inclusive of stairs, into a required <b>front</b> and/or <b>exterior side yard</b>		2.0 m

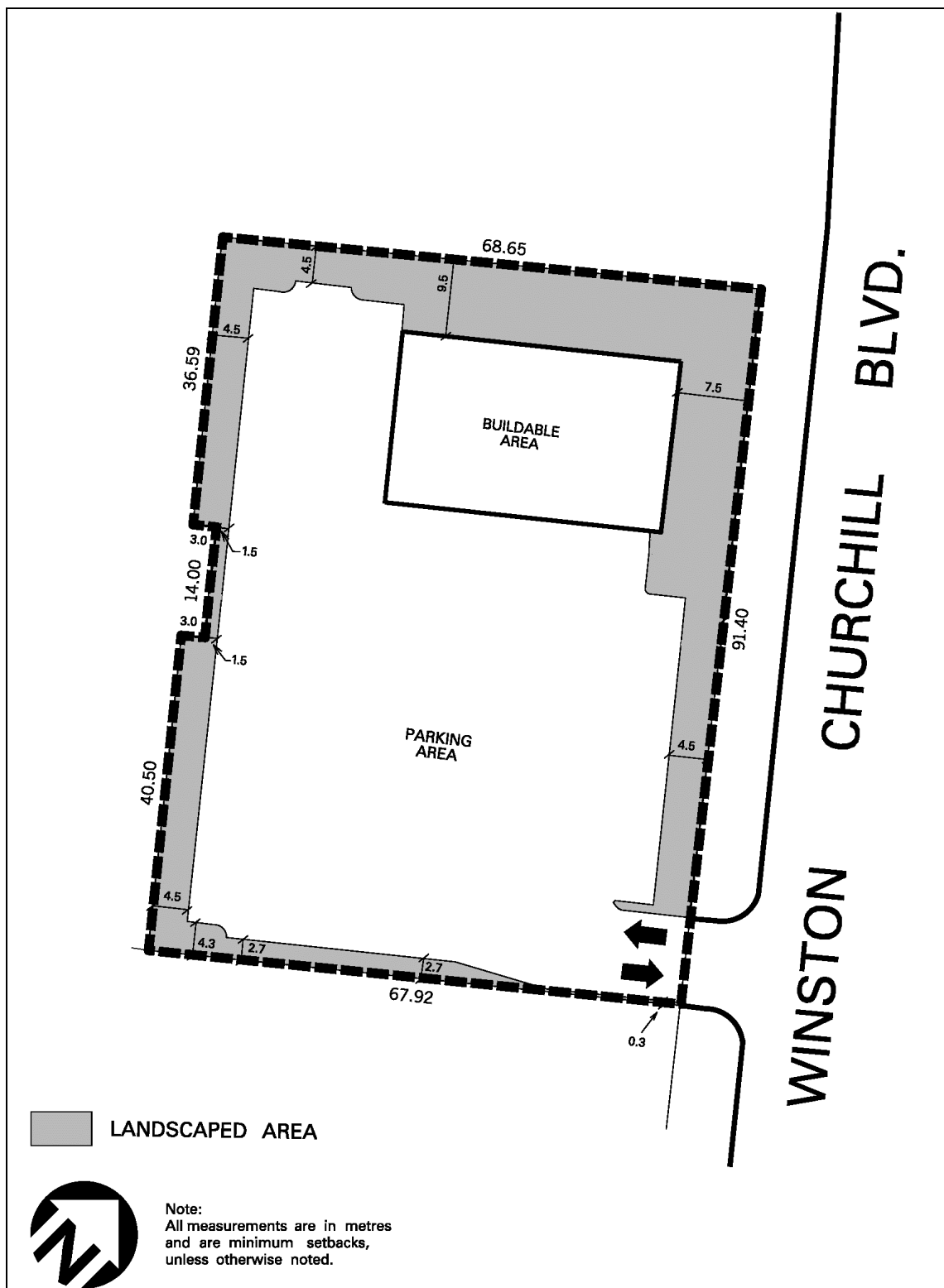
4.2.3.245	Exception: RS-245	Map # 37W	By-law: 0024-2011, 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RS-245 zone the applicable regulations shall be as specified for a RS zone except that the following <b>uses/regulations</b> shall apply:			
<b>Permitted Use</b>			
4.2.3.245.1	Lands zoned RS-245 shall only be used for the following:		
	(1) <b>Semi-Detached</b>		
<b>Regulations</b>			
4.2.3.245.2	<i>deleted</i>		
4.2.3.245.3	Minimum <b>lot area - corner lot</b>	260 m <sup>2</sup>	
4.2.3.245.4	Maximum <b>lot coverage</b>	50%	
4.2.3.245.5	Minimum setback to <b>garage face</b>	7.0 m	
4.2.3.245.6	Minimum <b>rear yard</b>	7.0 m	
4.2.3.245.7	Maximum encroachment of a <b>porch</b> or a <b>deck</b> , located at and accessible from the <b>first storey</b> or below the <b>first storey</b> of the dwelling, inclusive of stairs, into a required <b>front</b> and/or <b>exterior side yard</b>	2.0 m	

4.2.3.246	Exception: RS-246	Map # 56	By-law: 0146-2012, 0174-2017, 0048-2025
In a RS-246 zone the applicable regulations shall be as specified for a RS zone except that the following uses/regulations shall apply:			
Permitted Use			
4.2.3.246.1	Lands zoned RS-246 shall only be used for the following:		
	(1) <b>Semi-Detached</b>		
Regulations			
4.2.3.246.2	The provisions contained in Subsection 2.1.14 of this By-law shall not apply		
4.2.3.246.3	The <b>lot line</b> abutting Ninth Line shall be deemed to be the <b>front lot line</b>		
4.2.3.246.4	Minimum <b>lot frontage - interior lot</b>	6.7 m	
4.2.3.246.5	Minimum <b>rear yard</b>	6.0 m	
4.2.3.246.6	Detached <b>garage</b>	Required	
4.2.3.246.7	Minimum setback of a <b>semi-detached</b> to a detached <b>garage</b>	5.7 m	

4.2.3.247	Exception: RS-247	Map # 57	By-law: 0055-2012, 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RS-247 zone the applicable regulations shall be as specified for a RS zone except that the following uses/regulations shall apply:			
Permitted Use			
4.2.3.247.1	Lands zoned RS-247 shall only be used for the following:		
	(1) <b>Semi-Detached</b>		
Regulations			
4.2.3.247.2	Minimum <b>lot area - interior lot</b>	193 m <sup>2</sup>	
4.2.3.247.3	Minimum <b>lot area - corner lot</b>	252 m <sup>2</sup>	
4.2.3.247.4	<i>deleted</i>		
4.2.3.247.5	Maximum <b>lot coverage</b>	55%	
4.2.3.247.6	Minimum <b>front yard - lots</b> without a municipal sidewalk adjacent the <b>front lot line</b>	3.5 m	
4.2.3.247.7	<i>deleted</i>		
4.2.3.247.8	Minimum <b>interior side yard</b> - unattached side	1.2 m	
4.2.3.247.9	Minimum <b>rear yard</b> where the <b>rear lot line</b> abuts an 8.0 m public lane	6.0 m	
4.2.3.247.10	Minimum <b>rear yard</b> - all other <b>lots</b>	7.0 m	
4.2.3.247.11	Minimum setback to <b>garage face</b>	5.8 m	
4.2.3.247.12	Maximum <b>driveway</b> width - <b>interior lot</b>	4.3 m	
4.2.3.247.13	Maximum <b>driveway</b> width - <b>corner lot</b>	4.7 m	
4.2.3.247.14	Maximum <b>garage</b> width: measured from the inside face of the <b>garage</b> side walls	3.8 m	
4.2.3.247.15	Maximum encroachment of a <b>porch</b> or <b>balcony</b> into the required <b>front</b> and <b>exterior side yards</b>	2.0 m	
4.2.3.247.16	Minimum setback of stairs from the <b>front</b> and <b>exterior side</b> <b>lot lines</b>	1.0 m	
4.2.3.247.17	Maximum projection of a <b>garage</b> beyond either the <b>main front</b> <b>entrance</b> or beyond the <b>main entry feature</b> , where provided	2.5 m	
4.2.3.247.18	Where a <b>main entry feature</b> has been provided, the maximum projection of a <b>garage</b> beyond a <b>main front entrance</b>	5.0 m	
4.2.3.247.19	For a <b>semi-detached</b> more than one <b>storey</b> in <b>height</b> , where the <b>garage</b> projects beyond the <b>main front entrance</b> , a minimum of 75% of the width of the <b>garage</b> measured from the inside face of the <b>garage</b> walls, shall be covered by a second <b>storey</b> which may be set back a maximum of 2.5 m from the <b>garage face</b>		
4.2.3.247.20	Maximum area of a <b>balcony</b> above an attached <b>garage</b>	10 m <sup>2</sup>	
4.2.3.247.21	Maximum projection of a <b>balcony</b> above an attached <b>garage</b>	1.0 m	
4.2.3.247.22	Minimum setback to a <b>sight triangle</b>	0.0 m	

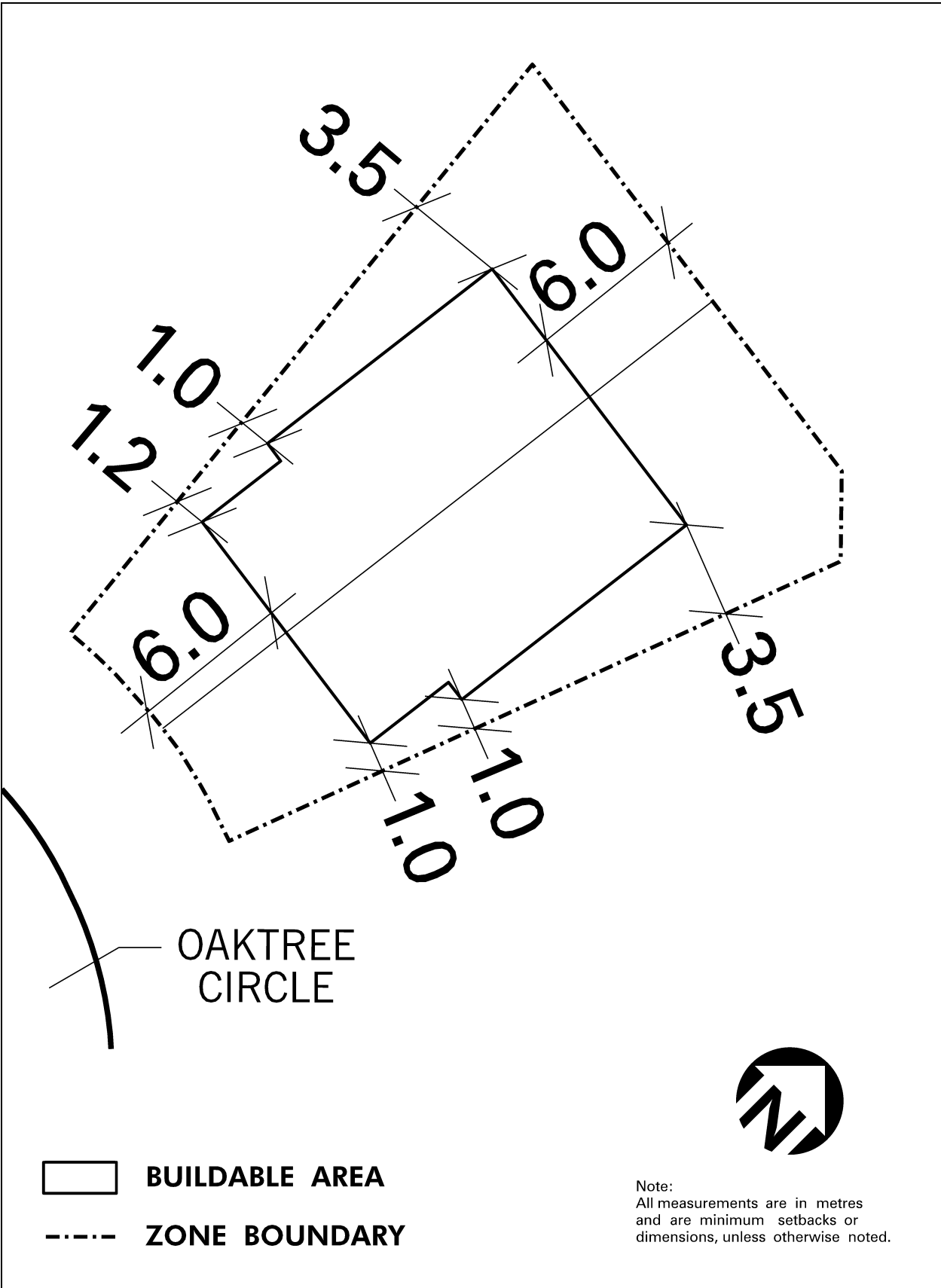
4.2.3.248	Exception: RS-248	Map # 57	By-law: 0055-2012, 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RS-248 zone the applicable regulations shall be as specified for a RS zone except that the following <b>uses/regulations</b> shall apply:			
<b>Permitted Use</b>			
4.2.3.248.1	Lands zoned RS-248 shall only be used for the following:		
	(1) <b>Semi-Detached</b>		
<b>Regulations</b>			
4.2.3.248.2	<i>deleted</i>		
4.2.3.248.3	<i>deleted</i>		
4.2.3.248.4	Minimum <b>lot area - corner lot</b>	224 m <sup>2</sup>	
4.2.3.248.5	<i>deleted</i>		
4.2.3.248.6	Minimum <b>lot frontage - corner lot</b>	7.6 m	
4.2.3.248.7	Maximum <b>lot coverage</b>	55%	
4.2.3.248.8	Minimum <b>front yard - lots</b> without a municipal sidewalk adjacent the <b>front lot line</b>	3.5 m	
4.2.3.248.9	<i>deleted</i>		
4.2.3.248.10	Detached <b>garage</b> shall be required and shall only be permitted in the <b>rear yard</b>		
4.2.3.248.11	Minimum setback of a detached <b>garage</b> to <b>interior side lot line</b> unattached side - <b>interior lot</b>	0.8 m	
4.2.3.248.12	Minimum setback of a detached <b>garage</b> to <b>interior side lot line</b> attached side - <b>interior lot</b>	0.0 m	
4.2.3.248.13	Minimum <b>rear yard</b> where the <b>rear lot line</b> abuts an 8.0 m public lane	6.0 m	
4.2.3.248.14	Minimum <b>rear yard</b> - all other <b>lots</b>	7.0 m	
4.2.3.248.15	Minimum setback to <b>garage face</b>	5.8 m	
4.2.3.248.16	Minimum setback of a detached <b>garage</b> to a <b>rear lot line</b>	0.5 m	
4.2.3.248.17	Maximum <b>driveway</b> width	6.5 m	
4.2.3.248.18	Maximum <b>garage</b> width: measured from the inside face of the <b>garage</b> side walls	5.7 m	
4.2.3.248.19	Minimum setback of a detached <b>garage</b> to the <b>semi-detached</b> on the same <b>lot</b>	6.0 m	
4.2.3.248.20	Maximum encroachment of a <b>porch</b> or <b>balcony</b> into the required <b>front</b> and <b>exterior side yards</b>	2.0 m	
4.2.3.248.21	Minimum setback of stairs from the <b>front</b> and <b>exterior side</b> <b>lot lines</b>	1.0 m	
4.2.3.248.22	Minimum setback to a <b>sight triangle</b>	0.0 m	
4.2.3.248.23	The <b>lot line</b> abutting Tenth Line West shall be deemed to be the <b>front lot line</b>		

4.2.3.249	Exception: RS-249	Map # 56	By-law: 0032-2017, 0048-2025
In a RS-249 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RS zone except that the following <b>uses</b> /regulations shall apply:			
<b>Regulations</b>			
4.2.3.249.1	A <b>place of religious assembly</b> shall comply with the regulations contained in Article 2.1.9.3 of this By-law except that:		
(1)	maximum <b>gross floor area - non-residential</b>	1 140 m <sup>2</sup>	
(2)	maximum <b>worship area</b>	325 m <sup>2</sup>	
(3)	all site development plans for a <b>place of religious assembly</b> shall comply with Schedule RS-249 of this Exception		



**Schedule RS-249**  
Map 56

4.2.3.250	Exception: RS-250	Map # 44E	By-law: 0105-2024, 0048-2025
In a RS-250 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RS zone except that the following <b>uses</b> /regulations shall apply:			
Regulations			
4.2.3.250.1	Minimum <b>lot area - interior lot</b>		190 m <sup>2</sup>
4.2.3.250.2	A <b>porch</b> or <b>deck</b> may project outside the <b>buildable area</b> identified on Schedule RS-250 of this Exception		
4.2.3.250.3	Notwithstanding Sentence 4.2.3.250.4 of this Exception, a <b>porch</b> or <b>deck</b> shall comply with the provisions contained in Subsection 4.1.5 of this By-law		
4.2.3.250.4	All site development plans shall comply with Schedule RS-250 of this Exception		
Holding Provision			
<p>The holding symbol H is to be removed from the whole or any part of the lands zoned H-RS-250 by further amendment to Map 44E of Schedule B contained in Part 13 of this By-law, as amended, upon satisfaction of the following requirements:</p> <p>(1) delivery of an executed Development Agreement with Municipal and Regional Infrastructure Schedules in a form and on terms satisfactory to The Corporation of the City of Mississauga ("City");</p> <p>(2) submission of a Draft Reference Plan illustrating the required land dedications, conveyances, and easements including part block numbers, to the satisfaction of the City and the Region of Peel ("Region");</p> <p>(3) gratuitous dedication of lands to achieve the ultimate 50.5 m right-of-way of Regional Road 5 (Derry Road West), as well as a 0.3 m reserve, to the satisfaction of the Region;</p> <p>(4) submission of a revised Functional Servicing and Stormwater Management Report to the satisfaction of the City's Transportation and Works Department and the Region;</p> <p>(5) submission of a revised Traffic Impact Study (TIS) to the satisfaction of the City's Transportation and Works Department, Municipal Parking Section, and the Region;</p> <p>(6) submission of a detailed engineering submission for the road and access works impacting Derry Road West, to the satisfaction of the Region;</p> <p>(7) submission of revised Grading and Servicing Plans to the satisfaction of the City's Transportation and Works and Planning and Building Departments;</p> <p>(8) submission of a revised Noise Feasibility Study to the satisfaction of the City's Planning and Building Department;</p> <p>(9) submission of a revised Phase One and Phase Two Environmental Site Assessment, Storm Sewer Use By-law Acknowledgment and related documents required for environmental compliance to the satisfaction of the City's Transportation and Works Department;</p> <p>(10) submission of a revised Tree Inventory/Survey, Tree Preservation Plan, and Arborist Report to the satisfaction of the City's Planning and Building Department.</p>			



Schedule RS-250  
Map 44E

4.2.3.251	Exception: RS-251	Map # 48W	By-law: 0132-2017, 0048-2025
In a RS-251 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RS zone except that the following <b>uses</b> /regulations shall apply:			
<b>Regulation</b>			
4.2.3.251.1	Maximum number of semi-detached <b>dwelling units</b>		26
<b>Holding Provision</b>			
<p>The holding symbol H is to be removed from the whole or any part of the lands zoned H-RS-251 by further amendment to Map 48W of Schedule B contained in Part 13 of this By-law, as amended, upon satisfaction of the following requirements:</p> <p>(1) submission of a complete Record of Site Condition (RSC) and final Environmental Report satisfactory to the City confirming satisfactory environmental remediation of the lands;</p> <p>(2) delivery of an executed agreement for community benefits pursuant to section 37 of the <i>Planning Act</i>, as amended, in a form and on terms satisfactory to the City.</p>			

4.2.3.252	Exception: RS-252	Map # 15	By-law: 0084-2021, 0048-2025
In a RS-252 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RS zone except that the following <b>uses</b> /regulations shall apply:			
<b>Regulation</b>			
4.2.3.252.1	A <b>semi-detached</b> shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:		
(1)	minimum <b>lot frontage - corner lot</b>		9.0 m

4.2.3.253	Exception: RS-253	Map # 44W	By-law: 0009-2022, 0048-2025
In a RS-253 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RS zone except that the following <b>uses</b> /regulations shall apply:			
<b>Regulation</b>			
4.2.3.253.1	Maximum <b>lot coverage</b>		48%

4.2.3.254	Exception: RS-254	Map #	By-law: 0048-2025