

**4.14 RM9 AND RM10 ZONES
(BACK TO BACK AND STACKED TOWNHOUSES)**

4.14.1 RM9 and RM10 Permitted Uses and Zone Regulations

All **buildings** and **structures** shall comply with the provisions contained in Parts 1 to 3 and Section 4.1 of this By-law, and the **uses** and zone regulations specified within the applicable zone column contained in Table 4.14.1 - RM9 and RM10 Permitted Uses and Zone Regulations. (0181-2018/LPAT Order 2019 February 15/2019 September 11)

Table 4.14.1 - RM9 and RM10 Permitted Uses and Zone Regulations
(0181-2018/LPAT Order 2019 February 15/2019 September 11), (0018-2021)

Column A		B	C
Line 1.0	ZONES	RM9	RM10
PERMITTED USES			
2.0	RESIDENTIAL		
2.1	Stacked Townhouse	✓	
2.2	Back to back townhouse on a condominium road		✓
ZONE REGULATIONS			
3.0	MINIMUM LOT FRONTAGE	38.0 m	38.0 m
4.0	MINIMUM DWELLING UNIT WIDTH	4.5 m	4.5 m
5.0	MAXIMUM DWELLING HEIGHT		
5.1	MAXIMUM HEIGHT - HIGHEST RIDGE: sloped roof	17.0 m and 4 storeys	15.0 m and 3 storeys
5.2	MAXIMUM HEIGHT: flat roof	13.0 m and 4 storeys	11.0 m and 3 storeys
5.2.1	Calculation of maximum height shall be exclusive of structures for rooftop access, provided that the structure complies with the following:		
5.2.1.1	maximum height	3.0 m	3.0 m
5.2.1.2	maximum floor area	20.0 m ²	20.0 m ²
5.2.1.3	minimum setback from the exterior edge of the building	3.0 m	3.0 m
6.0	MINIMUM FRONT YARD	7.5 m ⁽²⁾	7.5 m ⁽²⁾
7.0	MINIMUM EXTERIOR SIDE YARD	7.5 m ⁽²⁾	7.5 m ⁽²⁾
8.0	MINIMUM INTERIOR SIDE YARD	4.5 m ⁽²⁾	4.5 m ⁽²⁾
8.1	Where any portion of the interior side lot line abuts a zone permitting detached dwellings and/or semi-detached	9.0 m ⁽²⁾	7.5 m ⁽²⁾
8.2	Where the interior side lot line abuts a RM4, RM5, RM6, RM7 (only for duplex or triplex), RM8, RM9, RM10, RM11, or RM12 zone and the rear wall of the building abuts the interior side lot line	7.5 m ⁽²⁾	n/a
8.3	Where the front wall of a building abuts the interior side lot line	9.0 m ⁽²⁾	9.0 m ⁽²⁾
9.0	MINIMUM REAR YARD	7.5 m ⁽²⁾	7.5 m ⁽²⁾
9.1	Where any portion of the rear lot line abuts a zone permitting detached dwellings and/or semi-detached	9.0 m ⁽²⁾	7.5 m ⁽²⁾
9.2	Where the front wall of the building abuts the rear lot line	9.0 m ⁽²⁾	9.0 m ⁽²⁾

Table 4.14.1 continued on next page

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Column A		B	C
Line 1.0	ZONES	RM9	RM10
Table 4.14.1 continued from previous page			
10.0	PROJECTIONS		
10.1	Maximum projection of a balcony , awning or deck , exclusive of stairs, from the outermost face or faces of the building	2.0 m	2.0 m
10.2	Maximum projection of any part of a building , including architectural features but exclusive of stairs, above a below grade patio	50% of the depth of the patio	n/a
11.0	MINIMUM INTERNAL SETBACKS		
11.1	From a garage face to a condominium road or sidewalk	6.0 m	6.0 m
11.2	From a garage face to a condominium road or sidewalk, where the garage and driveway are accessed at the rear of the dwelling unit	1.0 m	n/a
11.3	From the front wall of a building to a condominium road , sidewalk, walkway or parking space not located on a driveway	4.5 m	4.5 m
11.4	From a porch , exclusive of stairs, located at and accessible from the first storey or below the first storey , to a condominium road , sidewalk, walkway or parking space	2.5 m	2.5 m
11.5	From a rear wall of a building to a side wall of another building on the same lot	12.0 m	n/a
11.6	From a rear wall of a building to a rear wall of another building on the same lot	15.0 m	n/a
11.7	From a side wall of a building to a side wall of another building on the same lot	3.0 m	3.0 m
11.8	From a side wall of any building to a walkway	1.5 m	1.5 m
11.9	From a side wall of a building to a condominium road , sidewalk, or parking space	3.0 m	3.0 m
11.10	From a front wall of a building to a front wall of another building on the same lot , where the building is less than or equal to three storeys	12.0 m or where there are buildings with different heights on one lot , the average of the required setbacks	12.0 m
11.11	From a front wall of a building to a front wall of another building on the same lot , where the building is less than or equal to three storeys and contains a dwelling unit in the basement	15.0 m	n/a
11.12	From a front wall of a building to a front wall of another building on the same lot , where the building is four storeys	15.0 m or where there are buildings with different heights on one lot , the average of the required setbacks	n/a
11.13	From a front wall of a building to a side wall of another building on the same lot	9.0 m or where there are buildings with different heights on one lot , the average of the required setbacks	9.0 m
11.14	The area created by the minimum separation distance between buildings may not include the required amenity area		
12.0	ATTACHED GARAGE, PARKING AND DRIVEWAY		
12.1	Attached garage	Permitted ⁽⁵⁾	Permitted ⁽⁵⁾
12.2	Minimum parking spaces	✓ ⁽⁶⁾ ⁽⁷⁾	✓ ⁽⁶⁾ ⁽⁷⁾

Table 4.14.1 continued on next page

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Column A		B	C
Line 1.0	ZONES	RM9	RM10
Table 4.14.1 continued from previous page			
12.3	Minimum visitor parking spaces	✓ ⁽⁶⁾	✓ ⁽⁶⁾
12.4	Maximum driveway width	2.6 m ⁽⁷⁾	2.6 m ⁽⁷⁾
13.0	PARKING AREAS AND PARKING STRUCTURE SETBACKS		
13.1	Minimum setback between a parking space and an interior side lot line and/or rear lot line	3.0 m	3.0 m
13.2	Minimum setback of a parking structure constructed above or partially above finished grade to any lot line	6.0 m	6.0 m
13.3	Minimum setback of a parking structure constructed completely below finished grade to any lot line	3.0 m	3.0 m
14.0	CONDOMINIUM ROADS, SIDEWALKS AND WALKWAYS		
14.1	Minimum width of a condominium road	7.0 m	7.0 m
14.2	Condominium roads are permitted to be shared with abutting lands zoned to permit back to back townhouse, stacked townhouse, townhouse or apartment , or any combination thereof	✓	✓
14.3	Minimum width of a sidewalk traversed by a driveway	2.0 m	2.0 m
14.4	Minimum width of a sidewalk not traversed by a driveway	1.5 m	1.5 m
15.0	MINIMUM AMENITY AREA AND LANDSCAPED AREA		
15.1	Minimum landscaped area	40% of lot area	40% of lot area
15.2	Minimum required landscaped soft area	50% of landscaped area	50% of landscaped area
15.3	Minimum landscaped buffer abutting any side and rear lot line	3.0 m	3.0 m
15.4	Minimum contiguous amenity area , excluding private outdoor space	The greater of 2.8 m ² per dwelling unit or 5% of the lot area	The greater of 2.8 m ² per dwelling unit or 5% of the lot area
15.5	Minimum setback from an amenity area to a building and to any type of road	3.0 m	3.0 m
15.6	A setback from an amenity area shall be unencumbered except for a perpendicular walkway and shall consist of only soft landscaped material	✓	✓
15.7	Minimum contiguous private outdoor space per unit	6.0 m ²	6.0 m ²
15.8	Notwithstanding Line 15.7 of this Table, minimum contiguous private outdoor space per unit when located on a balcony	4.5 m ²	4.5 m ²
15.9	Minimum setback of a rooftop amenity space from all exterior edges of a building adjacent to low density residential development	1.0 m	1.0 m

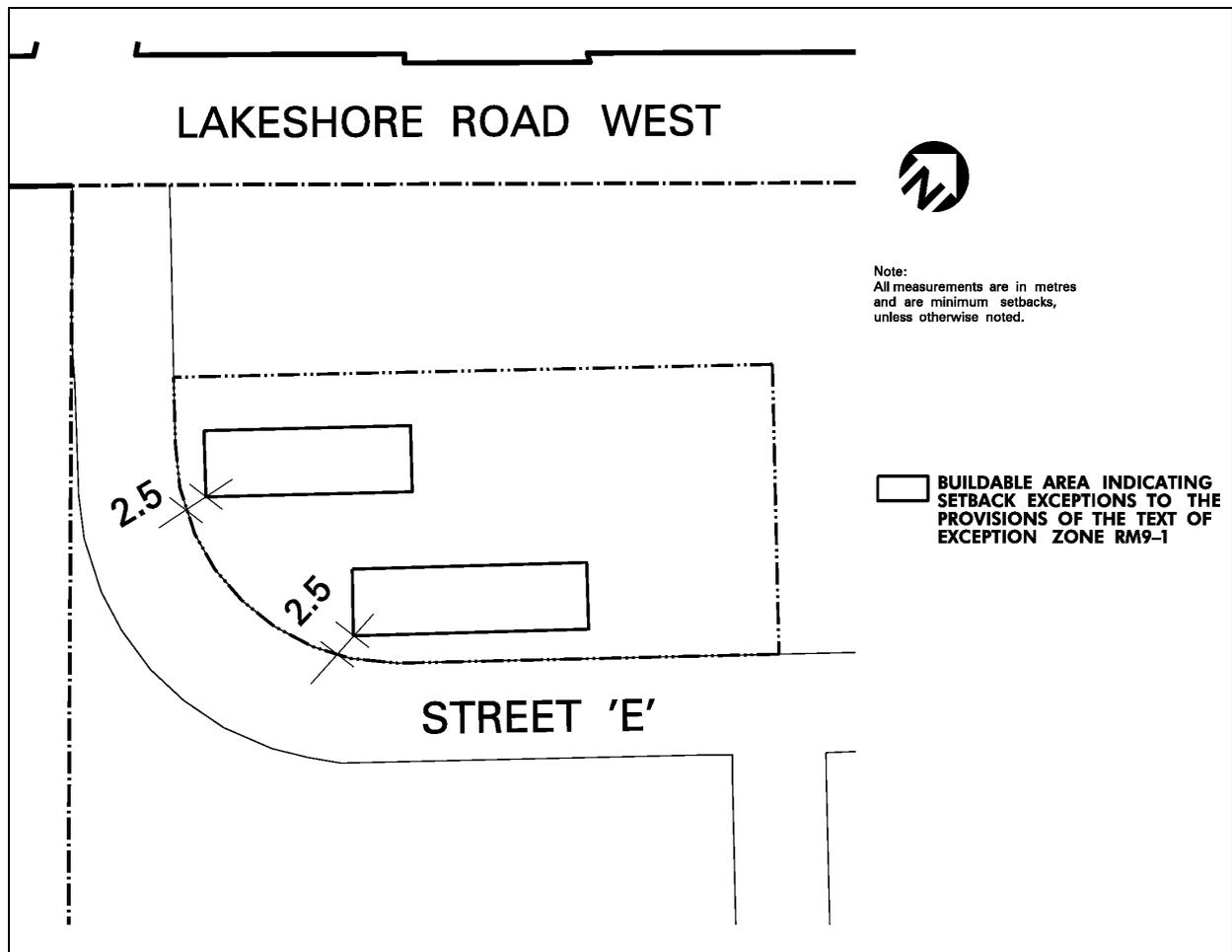
- NOTES:**
- (1) *deleted by 0018-2021.*
 - (2) See also Subsections 4.1.7 and 4.1.8 of this By-law.
 - (3) *deleted by 0018-2021.*
 - (4) *deleted by 0018-2021.*
 - (5) See also Subsection 4.1.12 of this By-law.
 - (6) See also Part 3 of this By-law.
 - (7) See also Subsection 4.1.9 of this By-law.
 - (8) *deleted by 0018-2021.*
 - (9) *deleted by 0018-2021.*

Part 4 - Residential Zones

4.14.2 RM9 Exception Zones

Refer to Article 1.1.2.3 - Exception Zones and Exception Zone Schedules

4.14.2.1	Exception: RM9-1	Map # 08	By-law: <i>deleted by 0181-2018/LPAT Order 2019 February 15, LPAT Order 2019 November 15</i>
In a RM9-1 zone the permitted uses and applicable regulations shall be as specified for a RM9 zone except that the following uses/regulations shall apply:			
Regulations			
4.14.2.1.1	The regulations of Line 15.3 contained in Table 4.14.1 of this By-law shall not apply		
4.14.2.1.2	Minimum landscaped area	30% of the lot area	
4.14.2.1.3	Minimum setback to a road or condominium road	4.0 m	
4.14.2.1.4	Minimum setback of a parking structure constructed completely below finished grade to any lot line	1.0 m	
4.14.2.1.5	Minimum number of resident parking spaces per dwelling unit	1.0	
4.14.2.1.6	Minimum number of visitor parking spaces per dwelling unit	0.15	
4.14.2.1.7	All site development plans shall comply with Schedule RM9-1 of this Exception		

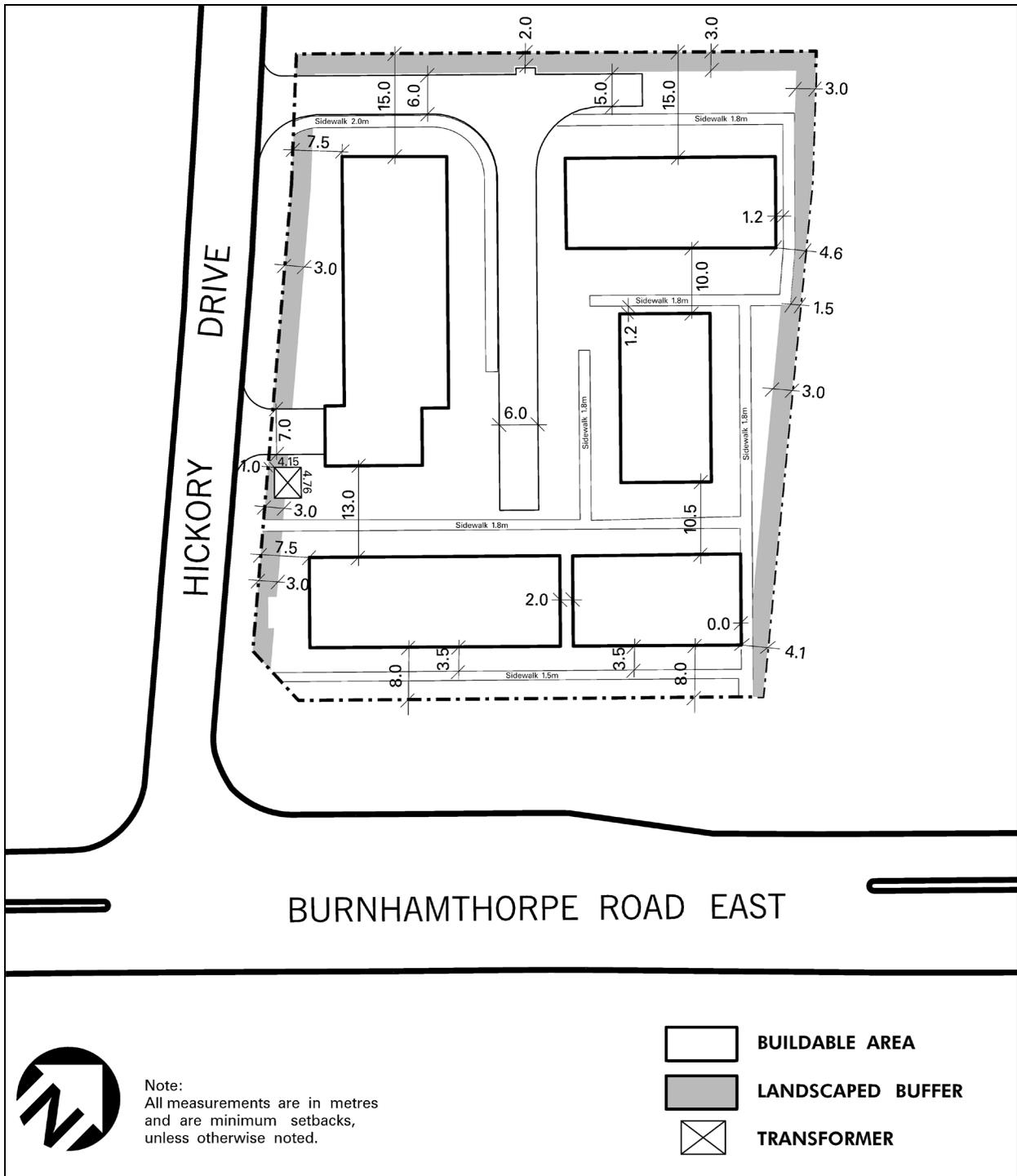


Schedule RM9-1
Map 08

Part 4 - Residential Zones

4.14.2.2	Exception: RM9-2	Map # 27	By-law: <i>deleted by 0181-2018/LPAT Order 2019 February 15, OLT Order 2021 September 24</i>
In a RM9-2 zone the permitted uses and applicable regulations shall be as specified for a RM9 zone except that the following uses/regulations shall apply:			
Regulations			
4.14.2.2.1	The regulations of Lines 11.4 and 15.5 contained in Table 4.14.1 of this By-law shall not apply		
4.14.2.2.2	Maximum number of dwelling units on all lands zoned RM9-2		102
4.14.2.2.3	Maximum floor space index		1.3
4.14.2.2.4	Notwithstanding Sentence 4.14.2.2.12 of this Exception, maximum projection of a porch, balcony , awning or deck , exclusive of stairs, from the outermost face or faces of the building		1.5 m
4.14.2.2.5	Notwithstanding Sentence 4.14.2.2.12 of this Exception, maximum encroachment of a porch, balcony , awning or deck , exclusive of stairs, into a required yard		1.5 m
4.14.2.2.6	Minimum setback from a porch , exclusive of stairs, located at and accessible from the first storey or below the first storey , to a condominium road , sidewalk or parking space		1.5 m
4.14.2.2.7	Minimum number of resident parking spaces per dwelling unit		1.4
4.14.2.2.8	Minimum number of visitor parking spaces		21
4.14.2.2.9	Minimum required landscaped soft area		39% of landscaped area
4.14.2.2.10	Maximum area of the condominium road that may be considered landscaped area		285 m ²
4.14.2.2.11	Minimum contiguous private outdoor space per unit		2.5 m ²
4.14.2.2.12	All site development plans shall comply with Schedule RM9-2 of this Exception		

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Schedule RM9-2
Map 27

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4.14.2.3	Exception: RM9-3	Map # 01	By-law: <i>deleted by 0181-2018/LPAT Order 2019 February 15, 0119-2022</i>
In a RM9-3 zone the permitted uses and applicable regulations shall be as specified for a RM9 zone except that the following uses/regulations shall apply:			
Additional Permitted Uses			
4.14.2.3.1	(1) Back to back townhouse on a condominium road (2) Back to back townhouse on a CEC - road (3) Townhouse (4) Townhouse on a CEC - road		
Regulations			
4.14.2.3.2	The provisions of Lines 9.0 and 9.2 contained in Table 4.14.1 of this By-law shall not apply		
4.14.2.3.3	Minimum exterior side yard		3.5 m
4.14.2.3.4	Minimum interior side yard		3.5 m
4.14.2.3.5	Maximum projection of a balcony , awning, porch or deck , exclusive of stairs, from the outermost face of the front wall of the building		2.4 m
4.14.2.3.6	Maximum projection of an awning, porch or deck , located at and accessible from the first storey or below the first storey , inclusive of stairs from the outermost face of the rear wall of the building		4.5 m
4.14.2.3.7	Maximum encroachment of an awning, porch or deck , located at and accessible from the first storey or below the first storey , inclusive of stairs, into the required rear yard		4.5 m
4.14.2.3.8	Minimum setback from a garage face to a street, condominium road, CEC - road , sidewalk or walkway		6.0 m
4.14.2.3.9	Minimum setback from the front wall of a building to an abutting condominium rear lot line or interior side lot line		7.5 m
4.14.2.3.10	Minimum setback from a rear wall of a building to a side wall of another building on the same lot		9.0 m
4.14.2.3.11	Minimum setback from a side wall of a building to an abutting condominium rear lot line		3.5 m
4.14.2.3.12	Minimum setback from a side wall of a building to a condominium road, CEC - road, CEC - amenity area , sidewalk, walkway or parking space		2.5 m
4.14.2.3.13	Minimum setback from the front or rear wall of a building to an abutting OS2-18 zone		4.5 m
4.14.2.3.14	Minimum setback of all buildings and structures to a G2-5 zone		3.5 m
4.14.2.3.15	Maximum driveway width		3.0 m
4.14.2.3.16	Minimum setback between a surface parking space and an interior side lot line or rear lot line		2.0 m
4.14.2.3.17	Minimum setback of a parking structure constructed above or partially above finished grade to any lot line		4.5 m
4.14.2.3.18	Minimum setback of a parking structure constructed completely below finished grade to any lot line		1.0 m
4.14.2.3.19	Notwithstanding Sentence 4.14.2.3.18 of this Exception, minimum setback of a parking structure constructed completely below finished grade to an OS2-18 zone		1.5 m
4.14.2.3.20	Required parking areas located in an underground parking structure, amenity area and landscaped area are permitted to be shared with abutting lands zoned RA5-59 and C4-76		

Exception RM9-3 continued on next page

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4.14.2.3	Exception: RM9-3	Map # 01	By-law: <i>deleted by 0181-2018/LPAT Order 2019 February 15, 0119-2022</i>
Exception RM9-3 continued from previous page			
4.14.2.3.21	Minimum width of a condominium road		6.1 m
4.14.2.3.22	Landscaped areas and landscaped soft areas may include decks and patios		
4.14.2.3.23	Minimum landscaped buffer abutting lands zoned OS2-18		1.5 m
4.14.2.3.24	A stacked townhouse shall comply with the following regulations:		
	(1) minimum dwelling unit width		4.5 m
	(2) minimum front yard		4.5 m
	(3) minimum setback from the front wall of a townhouse to a street line, condominium road , sidewalk, walkway or visitor parking space		4.5 m
	(4) minimum setback from the rear wall of a townhouse to a street line, lot line, condominium road , sidewalk, walkway or visitor parking space		6.0 m
	(5) maximum encroachment of a balcony, porch , awning or deck , exclusive of stairs into the required front yard		2.4 m
	(6) minimum landscaped area		30%
4.14.2.3.25	A back to back townhouse on a condominium road shall comply with the following regulations:		
	(1) minimum dwelling unit width		4.5 m
	(2) minimum front yard		3.5 m
	(3) minimum setback from the front wall of a townhouse to a street line, condominium road , sidewalk, walkway or visitor parking space		3.5 m
	(4) maximum encroachment of a balcony, porch awning or deck , exclusive of stairs into the required front yard		2.4 m
	(5) minimum landscaped area		30%
4.14.2.3.26	A back to back townhouse on a CEC - road shall comply with the following regulations:		
	(1) the provisions of Lines 3.0 and 15.1 contained in Table 4.14.1 of this By-law shall not apply		
	(2) minimum dwelling unit width		4.8 m
	(3) minimum front yard		4.5 m
	(4) minimum interior side yard - attached side		0.0 m
	(5) minimum interior side yard - unattached side		1.5 m
	(6) minimum interior side yard where the interior side lot line abuts a CEC - landscaped buffer		3.5 m
	(7) minimum exterior side yard where the exterior side lot line abuts a CEC - road or CEC - sidewalk		2.5 m
	(8) maximum encroachment of a balcony, porch , awning or deck inclusive of stairs located at and accessible from the first storey or below the first storey into the required front and exterior side yards		1.5 m
	(9) minimum CEC - landscaped buffer abutting any side and rear lot line		3.0 m
	(10) minimum contiguous CEC - amenity area		The greater of 2.8 m ² per dwelling unit or 5% of the lot area

Exception RM9-3 continued on next page

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4.14.2.3	Exception: RM9-3	Map # 01	By-law: <i>deleted by 0181-2018/LPAT Order 2019 February 15, 0119-2022</i>
Exception RM9-3 continued from previous page			
4.14.2.3.27	A townhouse shall comply with the following regulations:		
	(1) minimum dwelling unit width	4.8 m	
	(2) minimum front yard	3.5 m	
	(3) minimum setback from the front wall of a townhouse to a street line, condominium road , sidewalk, walkway or visitor parking space	3.5 m	
	(4) minimum setback from the rear wall of a townhouse to any lot line, condominium road , sidewalk, walkway, or visitor parking space	6.0 m	
	(5) maximum encroachment of a balcony, porch , awning or deck , exclusive of stairs into the required front yard	2.4 m	
	(6) minimum landscaped area	30%	
4.14.2.3.28	A townhouse on a CEC - road shall comply with the following regulations:		
	(1) the provisions of Line 3.0 contained in Table 4.14.1 of this By-law shall not apply		
	(2) minimum dwelling unit width	4.8 m	
	(3) minimum front yard	4.5 m	
	(4) minimum interior side yard - unattached side	0.0 m	
	(5) minimum interior side yard - attached side	1.5 m	
	(6) minimum interior side yard where interior side lot line is the rear lot line of an abutting parcel	2.5 m	
	(7) minimum exterior side yard where the exterior side lot line abuts a CEC - road or CEC - sidewalk	2.5 m	
	(8) minimum rear yard	6.0 m	
	(9) maximum encroachment of a balcony, porch , awning or deck inclusive of stairs located at and accessible from the first storey or below the first storey into the required front and exterior side yards	1.5 m	
	(10) minimum landscaped area	20%	
4.14.2.3.29	A public school shall comply with the provisions contained in Table 2.1.9.1 of this By-law except that:		
	(1) minimum front, side and rear yard - public school	3.0 m	
	(2) maximum height - public school	25.0 m	
	(3) minimum amount of required parking to be located underground	80%	
Holding Provision			
The holding symbol H is to be removed from the whole or any part of the lands zoned H-RM9-3 by further amendment to Map 01 of Schedule B contained in Part 13 of this By-law, as amended, upon satisfaction of the following requirement:			
	(1) the provisions contained in Article 2.1.33.7 of this By-law as they relate to lands zoned H-RM9-3 and subject to holding provisions H1, H2, H3, H4 and H5.		

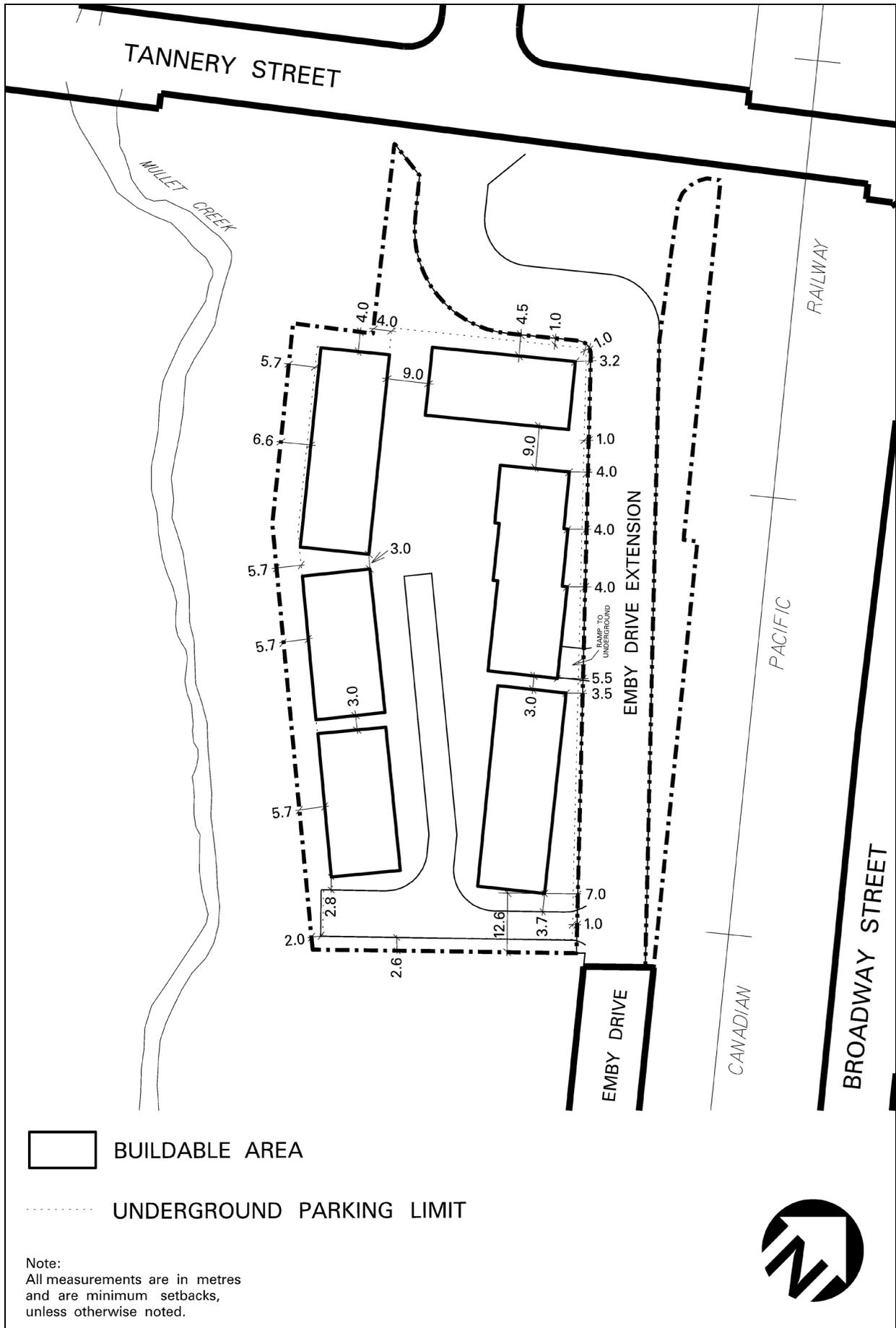
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4.14.2.4	Exception: RM9-4	Map # 39E	By-law: 0365-2007, <i>deleted by 0181-2018/LPAT Order 2019 February 15</i> , 0259-2021/OLT Order 2023 March 03, 0208-2022
In a RM9-4 zone the permitted uses and applicable regulations shall be as specified for a RM9 zone except that the following uses/regulations shall apply:			
Regulations			
4.14.2.4.1	The provisions contained in Subsections 2.1.30, 4.1.7, 4.1.8, and the regulations of Lines 10.1, 11.0, 13.2, 13.3, 15.3 and 15.6 contained in Table 4.14.1 of this By-law shall not apply		
4.14.2.4.2	A dwelling unit shall be permitted in the basement of a stacked townhouse provided that the finished floor level of the dwelling unit is not more than 1.3 m below the highest grade level immediately adjacent to the dwelling unit at any point		
4.14.2.4.3	Maximum height	12.5 m and 4 storeys	
4.14.2.4.4	For the purpose of this Exception, the height of a stacked townhouse shall be measured from established grade		
4.14.2.4.5	Notwithstanding Sentence 4.14.2.4.11 of this Exception, maximum encroachment of an awning or deck , exclusive of stairs into a required yard abutting Emby Drive	2.0 m	
4.14.2.4.6	Notwithstanding Sentence 4.14.2.4.11 of this Exception, maximum encroachment of an awning or deck , exclusive of stairs into a required yard abutting a G1 zone	2.0 m	
4.14.2.4.7	Notwithstanding Sentence 4.14.2.4.11 of this Exception, maximum projection outside the buildable area identified on Schedule RM9-4 of this Exception, of a below grade patio, awning or deck , inclusive of stairs from a stacked townhouse	5.8 m	
4.14.2.4.8	Minimum number of resident parking spaces per condominium stacked townhouse dwelling unit	1.3	
4.14.2.4.9	Minimum number of visitor parking spaces per condominium stacked townhouse dwelling unit	0.20	
4.14.2.4.10	Minimum width of a condominium road	6.0 m	

Exception RM9-4 continued on next page

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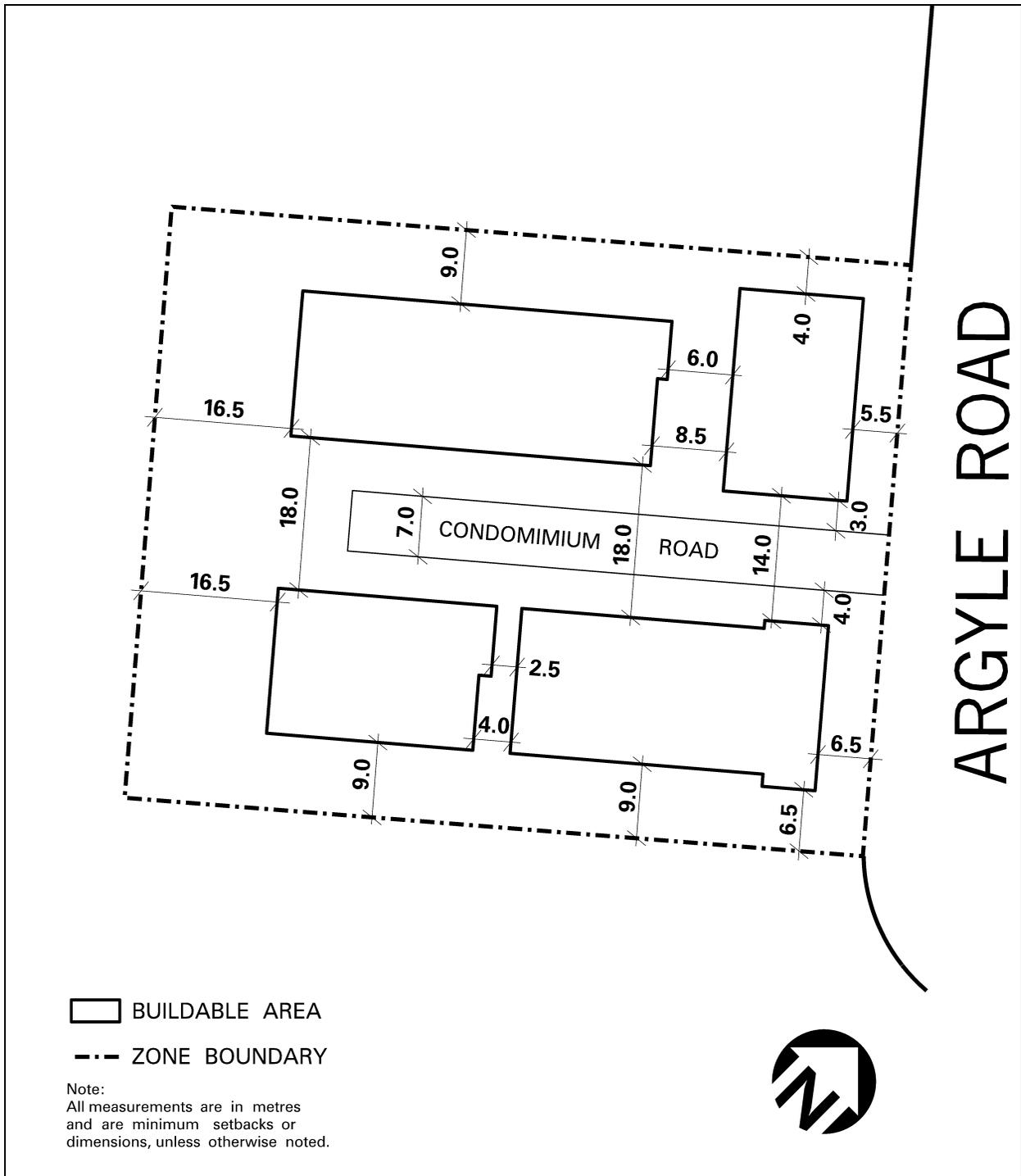
4.14.2.4	Exception: RM9-4	Map # 39E	By-law: 0365-2007, <i>deleted by 0181-2018/LPAT Order 2019 February 15</i> , 0259-2021/OLT Order 2023 March 03, 0208-2022
Exception RM9-4 continued from previous page			
4.14.2.4.11	All site development plans shall comply with Schedule RM9-4 of this Exception		
Holding Provision			
<p>The holding symbol H is to be removed from the whole or any part of the lands zoned H-RM9-4 by further amendment to Map 39E of Schedule B contained in Part 13 of this By-law, as amended, upon satisfaction of the following requirements:</p> <ol style="list-style-type: none"> (1) delivery of an executed Development Agreement in a form and on terms satisfactory to The Corporation of the City of Mississauga ("City") and the Region of Peel ("Region"), including provisions related to the following items but not limited to: detailed design and construction of the required crash wall/berm abutting the Canadian Pacific Railway ("CPR") lands, grading and drainage of abutting lands, land dedication and easements, and municipal infrastructure detailed design; (2) submission of a risk assessment including the details of any proposed risk management measures, which must be to the satisfaction of the Transportation and Works Department for any lands being dedicated to the City; (3) confirmation that the required Record(s) of Site Condition(s) have been filed with the Ministry of Environment, Conservation and Parks, and the submission of all supporting environmental reports to the satisfaction of the Transportation and Works Department; (4) confirmation from CPR that final grading and drainage plans are satisfactory and certification from CPR and/or a professional consulting engineer that the ultimate design and construction of the required crash wall/berm complies with CPR design criteria. 			



Schedule RM9-4
Map 39E

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4.14.2.5	Exception: RM9-5	Map # 15	By-law: 0449-2007, <i>deleted by 0181-2018/LPAT Order 2019 February 15</i> , OLT Order 2023 May 16
In a RM9-5 zone the permitted uses and applicable regulations shall be as specified for a RM9 zone except that the following uses/regulations shall apply:			
Regulations			
4.14.2.5.1	Maximum number of dwelling units on all lands zoned RM9-5		101
4.14.2.5.2	Maximum floor space index		1.5
4.14.2.5.3	Maximum height: flat roof		16.0 m and 4 storeys
4.14.2.5.4	Notwithstanding Sentence 4.14.2.5.20 of this Exception, maximum projection of a balcony, deck, patio, and porch , exclusive of stairs, from the outermost face or faces of the building		3.4 m
4.14.2.5.5	Notwithstanding Sentence 4.14.2.5.20 of this Exception, maximum projection of an awning or window well, exclusive of stairs, from the outermost face or faces of the building		1.0 m
4.14.2.5.6	Notwithstanding Sentence 4.14.2.5.20 of this Exception, a building projection, with windows that cover a minimum of 50% of the total projection, may project a maximum of 0.61 m from the outermost face or faces of the building , provided that the building projection is not more than 3.6 m wide		
4.14.2.5.7	Minimum internal setback from a porch or patio, exclusive of stairs, located at and accessible from the first storey or below the first storey to a condominium road , sidewalk, walkway or parking space		0.0 m
4.14.2.5.8	Minimum internal setback from a front wall of a building to a condominium road , sidewalk, walkway or parking space		3.3 m
4.14.2.5.9	Minimum internal setback from a side wall of a building to a walkway		0.0 m
4.14.2.5.10	Minimum number of resident parking spaces per studio and one-bedroom dwelling units		1.1
4.14.2.5.11	Minimum number of resident parking spaces per two-bedroom dwelling unit		1.3
4.14.2.5.12	Minimum number of resident parking spaces per three-bedroom dwelling unit		1.4
4.14.2.5.13	Minimum number of visitor parking spaces per dwelling unit		0.25
4.14.2.5.14	Minimum setback of a parking structure constructed completely below finished grade to the front lot line		0.4 m
4.14.2.5.15	Minimum setback of a parking structure constructed completely below finished grade to the northerly side lot line		2.0 m
4.14.2.5.16	Minimum setback of a parking structure constructed completely below finished grade to the southerly side lot line		3.3 m
4.14.2.5.17	Minimum landscaped buffer abutting any side and rear lot line		2.3 m
4.14.2.5.18	Minimum setback from an amenity area to a building and to any type of road		0.0 m
4.14.2.5.19	Minimum contiguous private outdoor space per dwelling unit when located on a balcony		3.8 m ²
4.14.2.5.20	All site development plans shall comply with Schedule RM9-5 of this Exception		



Schedule RM9-5
Map 15

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4.14.2.6	Exception: RM9-6	Map #	By-law: 0218-2010, 0179-2018, <i>deleted by 0181-2018/LPAT Order 2019 February 15</i>

4.14.2.7	Exception: RM9-7	Map #	By-law: 0168-2011, <i>deleted by 0181-2018/LPAT Order 2019 February 15</i>

4.14.2.8	Exception: RM9-8	Map #	By-law: 0176-2012, <i>deleted by 0181-2018/LPAT Order 2019 February 15</i>

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4.14.2.9	Exception: RM9-9	Map #	By-law: 0118-2017, <i>deleted by 0181-2018/LPAT Order 2019 February 15</i>

4.14.2.10	Exception: RM9-10	Map #	By-law: 0010-2018, <i>deleted by 0181-2018/LPAT Order 2019 February 15</i>

4.14.2.11	Exception: RM9-11	Map #	By-law: 0031-2018, <i>deleted by 0181-2018/LPAT Order 2019 February 15</i>

4.14.2.12	Exception: RM9-12	Map #	By-law: 0171-2018, <i>deleted by 0181-2018/LPAT Order 2019 February 15</i>

4.14.3 RM10 Exception Zones

Refer to Article 1.1.2.3 - Exception Zones and Exception Zone Schedules

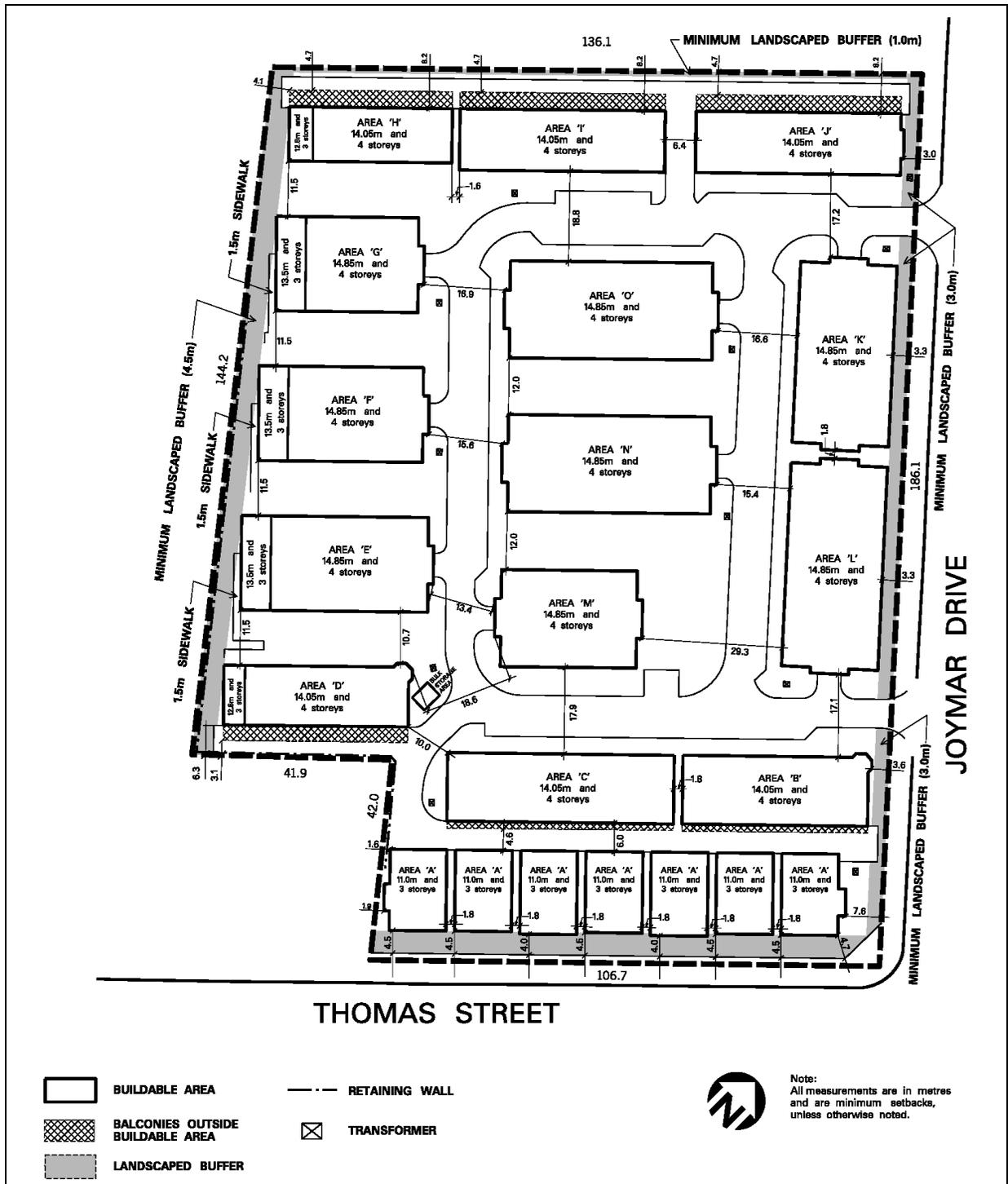
4.14.3.1	Exception: RM10-1	Map # 39E	By-law: LPAT Order 2020 July 22, 0208-2022
In a RM10-1 zone the permitted uses and applicable regulations shall be as specified for a RM10 zone except that the following uses/regulations shall apply:			
Additional Permitted Uses			
4.14.3.1.1	(1) Semi-Detached (2) Townhouse		
Regulations			
4.14.3.1.2	The provisions contained in Subsections 2.1.14 and 2.1.30, Line 2.1 contained in Table 4.1.12.1, Article 4.1.12.4 and the regulations of Lines 8.1, 11.1, 11.3, 11.4, 11.8, 11.9, 12.4, 15.4 and 15.5 contained in Table 4.14.1 of this By-law shall not apply		
4.14.3.1.3	For the purposes of this By-law, all lands zoned RM10-1 shall be considered one lot		
4.14.3.1.4	Height shall exclude any mechanical penthouse and/or access stairs		
4.14.3.1.5	A balcony with a maximum area of 18 m ² is permitted		
4.14.3.1.6	Notwithstanding Sentence 4.14.3.1.20 of this Exception, maximum projection of an awning, window, chimney , pilaster, corbel, window well, gas meter, air conditioning unit or porch inclusive of stairs and risers outside the buildable area identified on Schedule RM10-1 of this Exception		2.5 m
4.14.3.1.7	Maximum projection of a wing wall outside the buildable area identified on Schedule RM10-1 of this Exception		1.2 m
4.14.3.1.8	Maximum projection of a planter box and retaining wall outside the buildable area identified on Schedule RM10-1 of this Exception		2.1 m
4.14.3.1.9	Minimum number of visitor parking spaces per dwelling unit		0.2
4.14.3.1.10	Minimum width of a condominium road and an aisle		6.0 m
4.14.3.1.11	Minimum width of a sidewalk		1.5 m
4.14.3.1.12	Minimum landscaped area		33% of the lot area
4.14.3.1.13	Maximum encroachment into a required yard and landscaped buffer abutting the west property line		0.6 m
4.14.3.1.14	Minimum contiguous amenity area		555 m ²

Exception RM10-1 continued on next page

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4.14.3.1	Exception: RM10-1	Map # 39E	By-law: LPAT Order 2020 July 22, 0208-2022
Exception RM10-1 continued from previous page			
4.14.3.1.15	<p>Semi-Detached:</p> <ol style="list-style-type: none"> (1) the provisions contained in Sentences 3.1.1.4.3, 3.1.1.4.4 and 3.1.1.8.1 of this By-law shall not apply to the resident parking spaces in Clause 4.14.3.1.15(6) of this Exception (2) shall only be located within Area 'A', identified on Schedule RM10-1 of this Exception (3) minimum dwelling unit width 5.9 m (4) height of dwellings shall be measured from established grade (5) notwithstanding Sentence 4.14.3.1.20 of this Exception, maximum projection of a porch or deck attached to the front wall of a dwelling, inclusive of stairs, outside the buildable area identified on Schedule RM10-1 of this Exception 2.0 m (6) one additional parking space may be provided using stacked parking spaces 		
4.14.3.1.16	<p>Townhouse:</p> <ol style="list-style-type: none"> (1) the provisions contained in Sentences 3.1.1.4.3, 3.1.1.4.4 and 3.1.1.8.1 of this By-law shall not apply to the resident parking spaces in Clause 4.14.3.1.16(4) of this Exception (2) shall only be located within Areas 'B', 'C', 'D', 'H', 'I', and 'J', identified on Schedule RM10-1 of this Exception (3) minimum dwelling unit width 4.2 m (4) one additional parking space may be provided using stacked parking spaces (5) tandem parking spaces within a garage may be included in the calculation of the number of parking spaces required 		
4.14.3.1.17	<p>Back to Back Townhouse:</p> <ol style="list-style-type: none"> (1) the provisions contained in Sentences 3.1.1.4.3, 3.1.1.4.4 and 3.1.1.8.1 of this By-law shall not apply to the resident parking spaces in Clause 4.14.3.1.17(6) of this Exception (2) shall only be located within Areas 'E', 'F', 'G', 'K', 'L', 'M', 'N', and 'O', identified on Schedule RM10-1 of this Exception (3) minimum dwelling unit width 4.5 m (4) minimum number of resident parking spaces per two-bedroom dwelling unit 1.3 (5) minimum number of resident parking spaces per three-bedroom dwelling unit 1.4 (6) resident parking spaces may be provided using stacked parking spaces 		
4.14.3.1.18	<p>"Semi-Detached" means a building with two attached dwelling units that are divided vertically above grade by a party wall at least 5.0 m in length and at least 2.0 m in height</p>		
4.14.3.1.19	<p>"Stacked Parking Space" means a parking space that is positioned above another parking space and is accessed only by means of an elevating device</p>		
4.14.3.1.20	<p>All site development plans shall comply with Schedule RM10-1 of this Exception</p>		

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Schedule RM10-1
Map 39E

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4.14.3.2	Exception: RM10-2	Map # 08	By-law: LPAT Order 2019 November 15
In a RM10-2 zone the permitted uses and applicable regulations shall be as specified for a RM10 zone except that the following uses/regulations shall apply:			
Regulations			
4.14.3.2.1	Minimum landscaped area		30% of the lot area
4.14.3.2.2	Minimum setback to a lot line		4.0 m
4.14.3.2.3	Minimum number of resident parking spaces per dwelling unit		1.0
4.14.3.2.4	Minimum number of visitor parking spaces per dwelling unit		0.15

4.14.3.3	Exception: RM10-3	Map # 08	By-law: LPAT Order 2019 November 15
In a RM10-3 zone the permitted uses and applicable regulations shall be as specified for a RM10 zone except that the following uses/regulations shall apply:			
Additional Permitted Uses			
4.14.3.3.1	(1) Passive Recreational Uses (2) Active Recreational Uses (3) Stormwater Management Facility		
Regulations			
4.14.3.3.2	Minimum landscaped area		30% of the lot area
4.14.3.3.3	Minimum setback to a lot line or a road		4.0 m
4.14.3.3.4	Minimum number of resident parking spaces per dwelling unit		1.0
4.14.3.3.5	Minimum number of visitor parking spaces per dwelling unit		0.15
4.14.3.3.6	Uses contained in Sentence 4.14.3.3.1 of this Exception shall comply with the OS1 zone regulations contained in Subsection 9.2.1 of this By-law		