

**4.12 RM6 ZONE  
(TOWNHOUSES ON A CEC - ROAD)**

**4.12.1 RM6 Permitted Uses and Zone Regulations**

All **buildings** and **structures** shall comply with the provisions contained in Parts 1 to 3 and Section 4.1 of this By-law, and the **uses** and zone regulations specified within the applicable zone column contained in Table 4.12.1 - RM6 Permitted Uses and Zone Regulations.

**Table 4.12.1 - RM6 Permitted Uses and Zone Regulations**  
(0325-2008), (0379-2009), (0297-2013), (0190-2014), (0144-2016), (0174-2017), (0181-2018/LPAT Order 2019 February 15), (0018-2021), (0182-2024)

Column A		B
Line 1.0	ZONES	RM6
<b>PERMITTED USES</b>		
2.0	RESIDENTIAL	
2.1	Townhouses on a CEC - road	✓
<b>ZONE REGULATIONS</b>		
3.0	MINIMUM LOT AREA	
3.1	Interior lot	115 m <sup>2</sup>
3.2	CEC - corner lot	190 m <sup>2</sup>
4.0	MINIMUM LOT FRONTAGE	
4.1	Interior lot	5.0 m
4.2	CEC - corner lot	8.3 m
5.0	MINIMUM DWELLING UNIT WIDTH	5.0 m
6.0	MINIMUM FRONT YARD	
6.1	Interior lot/CEC - corner lot	4.5 m <sup>(3)</sup>
6.2	Minimum setback from a garage face to a street, CEC - road or CEC - sidewalk	6.0 m
7.0	MINIMUM EXTERIOR SIDE YARD	
7.1	Lot with an exterior side lot line that is a street line of a designated right-of-way 20.0 m or greater identified in Subsection 2.1.14 of this By-law	7.5 m <sup>(3)</sup>
7.2	Lot with an exterior side lot line abutting a street	4.5 m <sup>(3)</sup>
7.3	Lot with an exterior side lot line abutting a CEC - road	4.5 m
7.4	Lot with an exterior side lot line abutting a CEC - sidewalk	3.3 m
7.5	Minimum setback from a garage face to a street, CEC - road or CEC - sidewalk	6.0 m
8.0	MINIMUM INTERIOR SIDE YARD	
8.1	Attached side	0.0 m
8.2	Unattached side	1.5 m <sup>(3)</sup>
8.3	Where interior side lot line is the rear lot line of an abutting parcel	2.5 m
9.0	MINIMUM REAR YARD	
9.1	Interior lot/CEC - corner lot	7.5 m <sup>(3)</sup>
9.2	Wing wall	3.0 m
10.0	MAXIMUM HEIGHT	10.7 m and 3 storeys

Table 4.12.1 continued on next page

**Part 4 - Residential Zones**

Column A		B
Line 1.0	ZONES	RM6
<b>Table 4.12.1 continued from previous page</b>		
<b>11.0</b>	<b>MINIMUM LANDSCAPED AREA</b>	25% of the <b>lot area</b>
<b>12.0</b>	<b>ENCROACHMENTS, PROJECTIONS AND SETBACKS</b>	
12.1	Maximum encroachment of a <b>porch</b> or <b>deck</b> inclusive of stairs located at and accessible from the <b>first storey</b> or below the <b>first storey</b> into the required <b>front</b> and <b>exterior side yards</b>	1.5 m <sup>(3)</sup>
12.2	Maximum encroachment of an awning, window, <b>chimney</b> , pilaster or corbel, window well, and stairs with a maximum of three risers, into the required <b>front</b> and <b>exterior side yards</b>	0.6 m <sup>(3)</sup>
12.3	Maximum encroachment of a <b>porch</b> or <b>deck</b> inclusive of stairs located at and accessible from the <b>first storey</b> or below the <b>first storey</b> , or awning into the required <b>rear yard</b>	5.0 m <sup>(3)</sup>
12.4	For a <b>lot</b> with a <b>townhouse</b> requiring a 0.0 m <b>interior side yard</b> , the setback to the <b>interior side yard lot line</b> from a <b>porch</b> or <b>deck</b> inclusive of stairs permitted in the <b>rear yard</b> , shall also be 0.0 m	✓
12.5	Maximum encroachment of a <b>balcony</b> , window, <b>chimney</b> , pilaster or corbel, window well, and stairs with a maximum of three risers, into the required <b>rear yard</b>	1.0 m <sup>(3)</sup>
12.6	Minimum setback of a <b>townhouse</b> to a CEC - visitor <b>parking space</b>	3.3 m
12.7	Minimum setback of a <b>townhouse</b> to a CEC - <b>amenity area</b>	1.5 m
<b>13.0</b>	<b>ATTACHED GARAGE, PARKING AND DRIVEWAY</b>	
13.1	Attached <b>garage</b>	Required <sup>(4)</sup>
13.2	<i>deleted by 0379-2009</i>	
13.3	Minimum <b>parking spaces</b>	✓ <sup>(5)</sup>
13.4	Minimum visitor <b>parking spaces</b>	✓ <sup>(5)(6)</sup>
13.5	Maximum <b>driveway</b> width	✓ <sup>(7)</sup>
<b>14.0</b>	<b>CEC - ROAD, AISLES AND SIDEWALKS</b>	
14.1	Minimum width of a CEC - <b>road</b>	7.0 m <sup>(8)</sup>
14.2	Minimum width of a CEC - <b>road</b> with an abutting parallel visitor <b>parking space</b>	6.0 m <sup>(8)</sup>
14.3	CEC - <b>roads</b> and <b>aisles</b> are permitted to be shared with abutting lands with the same Base Zone and/or Exception Zone	✓
14.4	Minimum width of a sidewalk	2.0 m
<b>15.0</b>	<b>ACCESSORY BUILDINGS AND STRUCTURES</b>	✓ <sup>(9)</sup>

- NOTES:**
- (1) *deleted by 0018-2021.*
  - (2) *deleted by 0018-2021.*
  - (3) See also Subsections 4.1.7 and 4.1.8 of this By-law.
  - (4) See Subsection 4.1.12 of this By-law.
  - (5) See Part 3 of this By-law.
  - (6) See Article 4.1.14.1 of this By-law.
  - (7) See Subsection 4.1.9 of this By-law.
  - (8) See also Article 4.1.14.2 of this By-law.
  - (9) See Subsection 4.1.2 of this By-law.

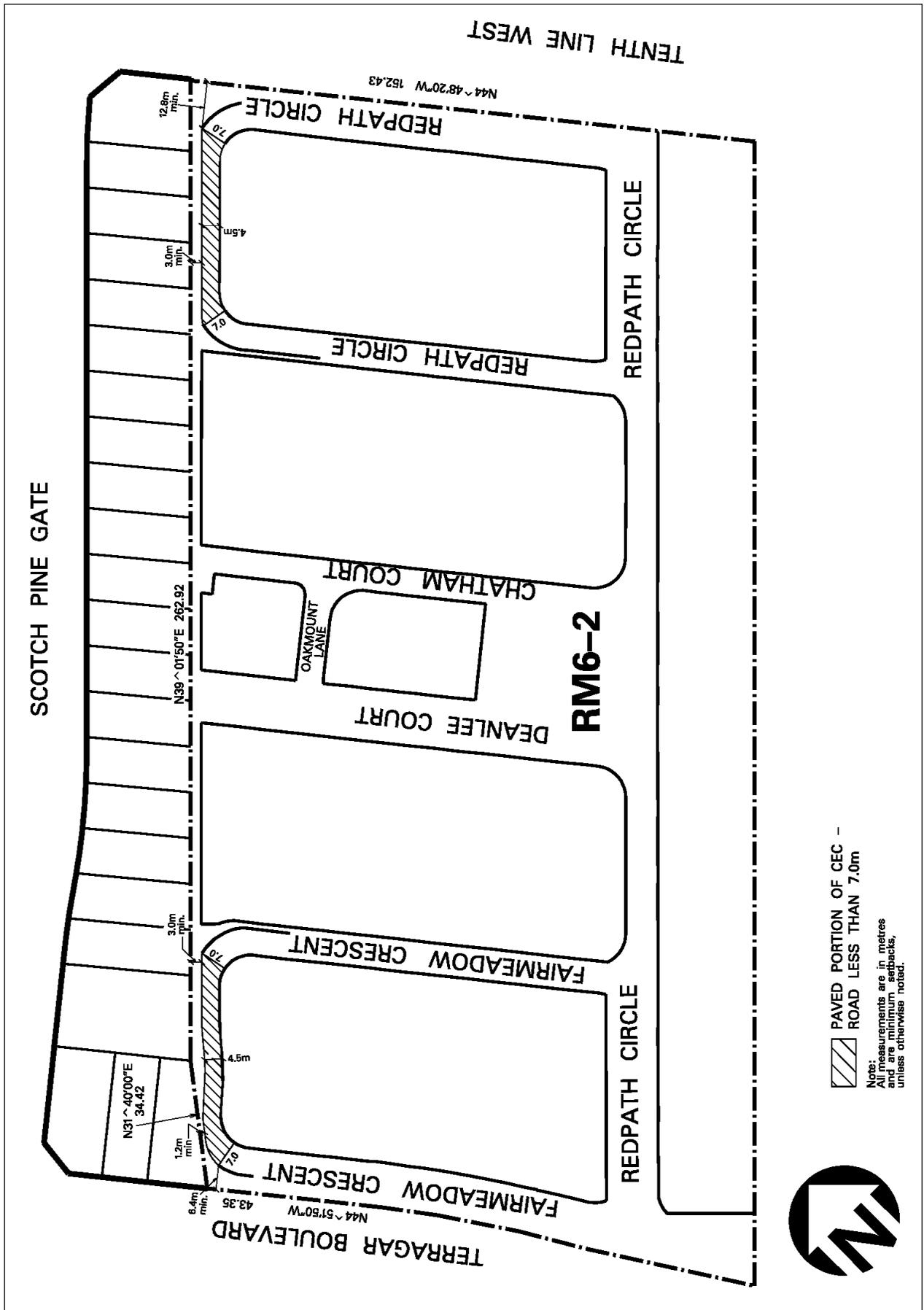
**Part 4 - Residential Zones**

**4.12.2 RM6 Exception Zones**

Refer to Article 1.1.2.3 - Exception Zones and Exception Zone Schedules

4.12.2.1	Exception: RM6-1	Map # 37W	By-law:
In a RM6-1 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM6 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.12.2.1.1	Maximum number of <b>dwelling units</b> on all lands zoned RM6-1		133
4.12.2.1.2	Trailer and recreational vehicle parking shall not be permitted		
4.12.2.1.3	Maximum <b>driveway</b> width		3.8 m

4.12.2.2	Exception: RM6-2	Map # 55	By-law: 0325-2008, 0181-2018/LPAT Order 2019 February 15
In a RM6-2 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM6 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.12.2.2.1	Maximum number of <b>dwelling units</b> on all lands zoned RM6-2		236
4.12.2.2.2	Minimum <b>lot area - interior lot</b>		109 m <sup>2</sup>
4.12.2.2.3	Minimum <b>lot area - corner lot</b>		170 m <sup>2</sup>
4.12.2.2.4	Minimum <b>lot frontage - interior lot</b>		4.27 m
4.12.2.2.5	Minimum <b>lot frontage - corner lot</b>		6.63 m
4.12.2.2.6	Minimum <b>exterior side yard</b>		1.8 m
4.12.2.2.7	Minimum setback to Tenth Line West		4.5 m
4.12.2.2.8	Minimum setback to Terragar Boulevard		16.0 m
4.12.2.2.9	Maximum encroachment of a <b>porch</b> including stairs into a required <b>yard</b> that abuts a <b>CEC - amenity area</b>		1.1 m
4.12.2.2.10	Trailer and recreational vehicle parking shall not be permitted		
4.12.2.2.11	Maximum <b>driveway</b> width		3.8 m
4.12.2.2.12	Minimum width of the paved portion of a <b>CEC - road</b> may be reduced as identified on Schedule RM6-2 of this Exception		
4.12.2.2.13	Maximum projection of a <b>balcony</b> or <b>deck</b> into a required <b>rear yard</b>		2.5 m
4.12.2.2.14	All site development plans shall comply with Schedule RM6-2 of this Exception		



Schedule RM6-2  
Map 55

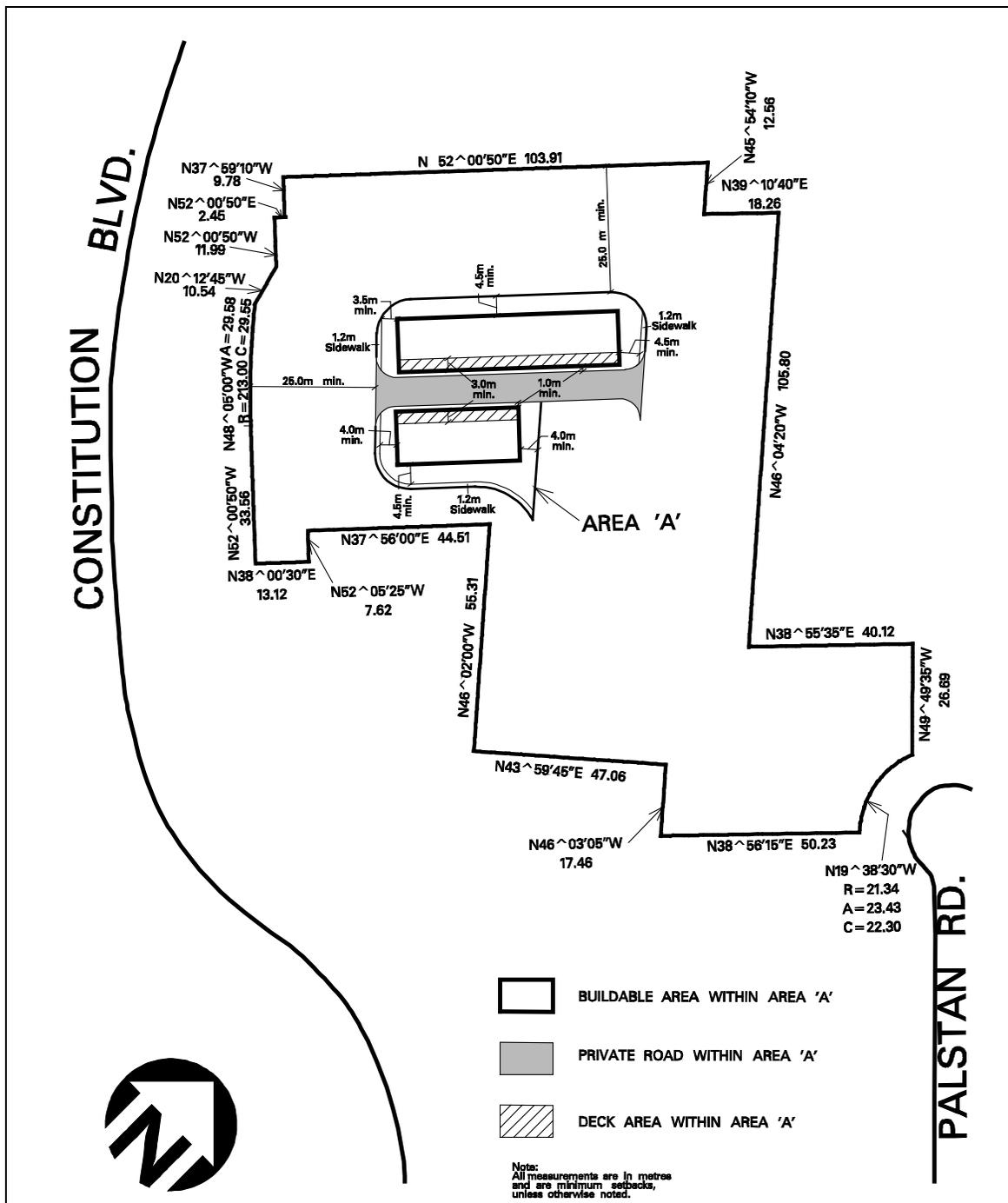
**Part 4 - Residential Zones**

4.12.2.3	Exception: RM6-3	Map # 38E	By-law: 0181-2018/LPAT Order 2019 February 15, 0208-2022
In a RM6-3 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM6 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.12.2.3.1	Maximum number of <b>dwelling units</b> on all lands zoned RM6-3		42
4.12.2.3.2	Maximum <b>gross floor area - residential</b>		0.75 times the <b>lot area</b>
4.12.2.3.3	Minimum <b>landscaped area</b>		39.6% of the <b>lot area</b>
4.12.2.3.4	Maximum encroachment of awnings, window projections with or without a foundation and architectural features, such as, but not limited to, <b>chimneys</b> , pilasters and corbels outside the <b>buildable area</b> identified on Schedule RM6-3 of this Exception, into required <b>front and rear yards</b>		0.6 m
4.12.2.3.5	Maximum encroachment of awnings, window projections with or without a foundation and architectural features, such as, but not limited to, <b>chimneys</b> , pilasters and corbels outside the <b>buildable area</b> identified on Schedule RM6-3 of this Exception, into required <b>interior and exterior side yards</b>		0.3 m
4.12.2.3.6	Maximum encroachment of a <b>porch</b> , exclusive of stairs, outside <b>Buildable Areas 'A', 'B' and 'C'</b> identified on Schedule RM6-3 of this Exception into the required <b>front yard</b>		1.5 m
4.12.2.3.7	Maximum encroachment of a <b>balcony/deck</b> outside the <b>buildable area</b> identified on Schedule RM6-3 of this Exception, into the required <b>rear yard</b>		2.5 m
4.12.2.3.8	Trailer and recreational vehicle parking shall not be permitted		
4.12.2.3.9	Minimum number of additional CEC - visitor <b>parking spaces</b> to be provided within the <b>common element area</b>		6
4.12.2.3.10	All <b>lot lines</b> abutting Eglinton Avenue West and Terry Fox Way shall be deemed to be the front lot line		
4.12.2.3.11	Maximum <b>driveway</b> width		3.8 m
4.12.2.3.12	"Front Lot Line" means the line that divides a <b>lot</b> from a <b>CEC - road</b> or a <b>street</b>		
4.12.2.3.13	All site development plans shall comply with Schedule RM6-3 of this Exception		



Part 4 - Residential Zones

4.12.2.4	Exception: RM6-4	Map # 20	By-law: 0181-2018/LPAT Order 2019 February 15
<p>In a RM6-4 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM6 zone except that the following <b>uses/regulations</b> shall apply:</p>			
<b>Regulations</b>			
4.12.2.4.1	Maximum number of <b>dwelling units</b> on all lands zoned RM6-4	71	
4.12.2.4.2	Minimum <b>rear yard - lot</b> that abuts Palstan Road	4.5 m	
4.12.2.4.3	Minimum setback to a <b>CEC - road sight triangle</b>	3.3 m	
4.12.2.4.4	Trailer and recreational vehicle parking shall not be permitted		
4.12.2.4.5	Maximum <b>driveway</b> width	3.8 m	
4.12.2.4.6	All site development plans within Area 'A' shall comply with Schedule RM6-4 of this Exception		



Schedule RM6-4  
Map 20

**Part 4 - Residential Zones**

4.12.2.5	Exception: RM6-5	Map # 27	By-law:
In a RM6-5 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM6 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.12.2.5.1	Maximum number of <b>dwelling units</b> on all lands zoned RM6-5		98
4.12.2.5.2	Trailer and recreational vehicle parking shall not be permitted		
4.12.2.5.3	Maximum <b>driveway</b> width		3.8 m

4.12.2.6	Exception: RM6-6	Map # 40E	By-law: 0181-2018/LPAT Order 2019 February 15
In a RM6-6 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM6 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.12.2.6.1	Maximum number of <b>dwelling units</b> on all lands zoned RM6-6		135
4.12.2.6.2	Setbacks required to <b>lot lines</b> adjacent to a <b>CEC - road</b> shall be measured to that edge of the curb adjacent to the property line		
4.12.2.6.3	Trailer and recreational vehicle parking shall not be permitted		
4.12.2.6.4	Maximum <b>driveway</b> width		3.8 m

4.12.2.7	Exception: RM6-7	Map # 20	By-law: 0390-2007, 0181-2018/LPAT Order 2019 February 15
In a RM6-7 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM6 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.12.2.7.1	Maximum number of <b>dwelling units</b> on all lands zoned RM6-7		71
4.12.2.7.2	Minimum setback to a <b>street</b>		7.5 m
4.12.2.7.3	Minimum setback to a <b>CEC - road sight triangle</b>		3.3 m
4.12.2.7.4	Maximum projection of a <b>balcony</b> or <b>deck</b> into the required <b>rear yard</b>		2.5 m
4.12.2.7.5	Maximum projection of a <b>porch</b> or <b>deck</b> into the required <b>exterior side yard</b>		0.3 m
4.12.2.7.6	Trailer and recreational vehicle parking shall not be permitted		
4.12.2.7.7	Maximum <b>driveway</b> width		3.8 m

**Part 4 - Residential Zones**

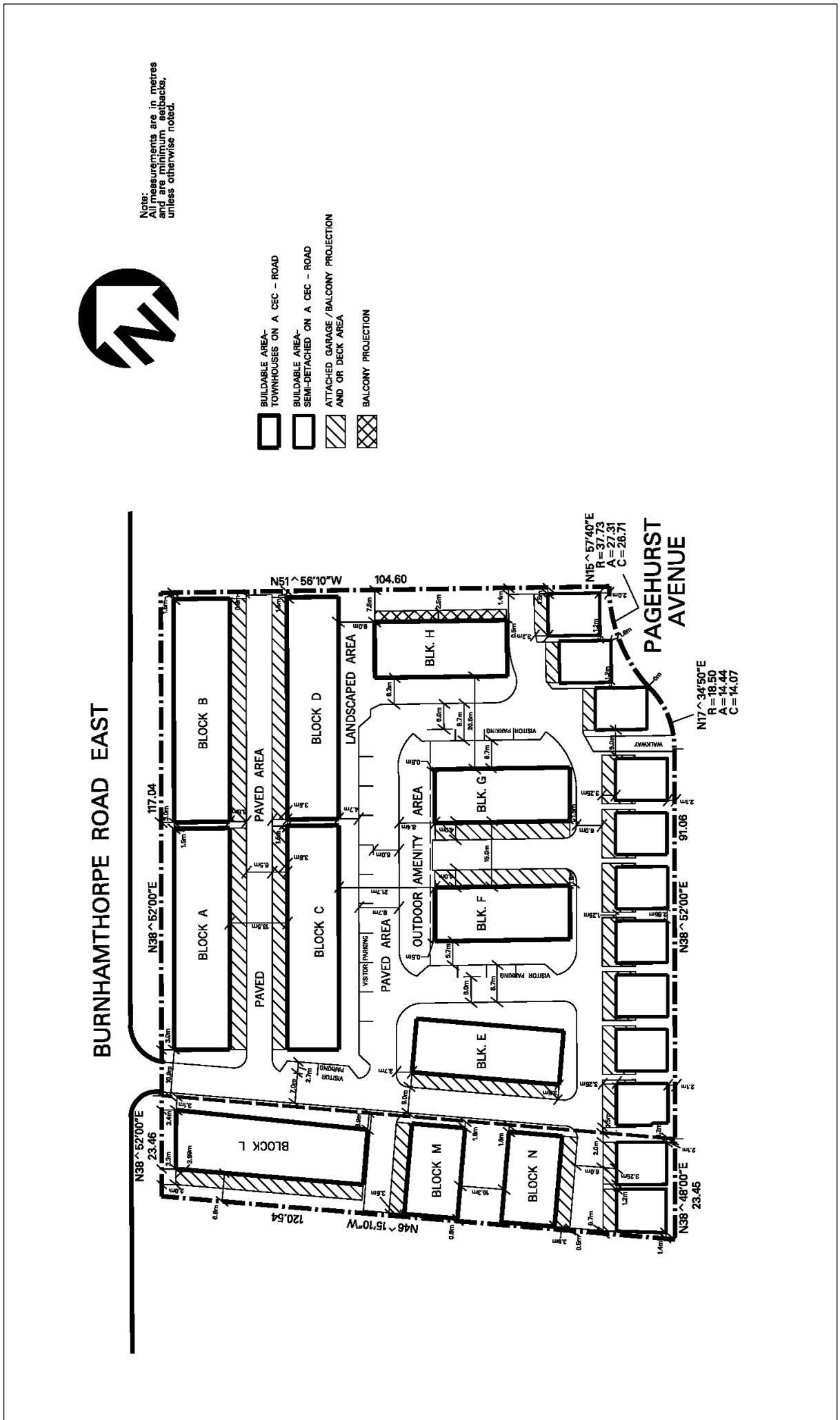
4.12.2.8	Exception: RM6-8	Map # 36E	By-law: 0181-2018/LPAT Order 2019 February 15
In a RM6-8 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM6 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.12.2.8.1	Maximum number of <b>dwelling units</b> on all lands zoned RM6-8		163
4.12.2.8.2	Minimum setback to a <b>street</b>		7.5 m
4.12.2.8.3	Minimum setback to a <b>CEC - road sight triangle</b>		3.3 m
4.12.2.8.4	Maximum projection of a <b>balcony</b> or <b>deck</b> into the required <b>rear yard</b>		2.5 m
4.12.2.8.5	Maximum projection of a <b>porch</b> or <b>deck</b> into the required <b>exterior side yard</b>		0.3 m
4.12.2.8.6	Trailer and recreational vehicle parking shall not be permitted		
4.12.2.8.7	Maximum <b>driveway</b> width		3.8 m

4.12.2.9	Exception: RM6-9	Map # 19	By-law: OMB Order 2008 March 27, 0196-2010, 0308-2011, 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0208-2022
In a RM6-9 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM6 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Additional Permitted Uses</b>			
4.12.2.9.1	(1) <b>Semi-detached</b> on a <b>CEC - road</b> (2) A model home		
<b>Regulations</b>			
4.12.2.9.2	A townhouse on a CEC - road and a <b>semi-detached</b> on a <b>CEC - road</b> shall comply with the RM6 zone regulations except that:		
	(1) the provisions contained in Subsection 2.1.14, Article 4.1.12.3 and the regulations of Lines 3.1, 3.2, 4.1, 4.2, 12.6 and 13.2 contained in Table 4.12.1 of this By-law shall not apply		
	(2) maximum number of townhouse <b>dwelling units</b> on all lands zoned RM6-9		96
	(3) maximum number of semi-detached <b>dwelling units</b> on all lands zoned RM6-9		24
	(4) maximum <b>gross floor area - residential</b> on all lands zoned RM6-9		1.2 times the <b>lot area</b>
	(5) minimum <b>landscaped area</b> on all lands zoned RM6-9		20% of the <b>lot area</b>
	(6) minimum <b>dwelling unit width</b>		4.2 m
	(7) maximum <b>height</b>		12.4 m
	(8) maximum encroachment of awnings, window projections with or without a foundation and architectural features, such as but not limited to, <b>chimneys</b> , pilasters and corbels outside the <b>buildable area</b> identified on Schedule RM6-9 of this Exception, into the <b>front, rear and exterior side yards</b> of the <b>dwelling unit</b>		0.8 m

**Exception RM6-9 continued on next page**

**Part 4 - Residential Zones**

4.12.2.9	Exception: RM6-9	Map # 19	By-law: OMB Order 2008 March 27, 0196-2010, 0308-2011, 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0208-2022
<b>Exception RM6-9 continued from previous page</b>			
4.12.2.9.2 (continued)	(9)	maximum encroachment of a planter box and retaining wall, outside the <b>buildable area</b> identified on Schedule RM6-9 of this Exception, into a <b>front yard</b> of the <b>dwelling unit</b>	2.1 m
	(10)	maximum encroachment of a planter box, outside the <b>buildable area</b> for Block 'H' identified on Schedule RM6-9 of this Exception, into a <b>rear yard</b> of the <b>dwelling unit</b>	4.1 m
	(11)	air conditioning units shall only be permitted on a <b>balcony</b> area identified on Schedule RM6-9 of this Exception	
	(12)	minimum number of visitor <b>parking spaces</b> per <b>dwelling unit</b> on all lands zoned RM6-9	0.21
	(13)	trailer and recreational vehicle parking shall not be permitted	
	(14)	minimum width of the paved portion of a <b>CEC - road</b> may be reduced as identified on Schedule RM6-9 of this Exception	
	(15)	minimum width of a CEC - sidewalk	1.2 m
	(16)	in Clause 4.12.2.9.2(9) of this Exception, the <b>yard</b> abutting Burnhamthorpe Road East shall be deemed to be the <b>front yard</b> in Blocks A and B identified on Schedule RM6-9 of this Exception	
	(17)	in Clause 4.12.2.9.2(9) of this Exception, the <b>yard</b> abutting Pagehurst Avenue shall be deemed to be the <b>front yard</b> for <b>semi-detached</b> on a <b>CEC - road</b> identified on Schedule RM6-9 of this Exception	
	(18)	"Townhouse on a CEC - Road" means one of more than two attached <b>dwelling units</b> , not exceeding four storeys in <b>height</b> that are divided vertically above grade by a <b>party wall</b> at least 5.0 m in length and at least 2.0 m in <b>height</b> , having a frontage on a <b>CEC - road</b>	
	(19)	<b>Tandem parking spaces</b> within a <b>garage</b> may be included in the calculation of the number of <b>parking spaces</b> required	
	(20)	all site development plans shall comply with Schedule RM6-9 of this Exception	
	(21)	for the purposes of this By-law, all lands zoned RM6-9 shall be considered one property	
4.12.2.9.3	A model home shall comply with the following:		
	(1)	maximum number of <b>dwelling units</b>	12
	(2)	shall only be located in Block A or B identified on Schedule RM6-9 of this Exception	
	(3)	shall comply with Sentence 4.12.2.9.2 of this Exception, except Clause 4.12.2.9.2(12) of this Exception	
	(4)	"Model Home" means a townhouse on a CEC - road constructed for the purpose of display and sale of <b>dwelling units</b>	



Schedule RM6-9  
Map 19

**Part 4 - Residential Zones**

4.12.2.10	Exception: RM6-10	Map # 03	By-law: 0281-2008, 0410-2008, 0181-2018/LPAT Order 2019 February 15, 0208-2022
In a RM6-10 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM6 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Additional Permitted Use</b>			
4.12.2.10.1	(1)	<b>Detached dwelling</b> on a <b>CEC - road</b>	
<b>Regulations</b>			
4.12.2.10.2	Maximum number of <b>townhouses</b> on a <b>CEC - road</b> in Area 'A' identified on Schedule RM6-10 of this Exception		61
4.12.2.10.3	Maximum number of <b>detached dwellings</b> on a <b>CEC - road</b> in Area 'A' identified on Schedule RM6-10 of this Exception		2
4.12.2.10.4	Maximum number of <b>townhouses</b> on a <b>CEC - road</b> in Area 'B' identified on Schedule RM6-10 of this Exception		18
4.12.2.10.5	Minimum <b>lot area - interior lot</b>		111 m <sup>2</sup>
4.12.2.10.6	Minimum <b>lot area - corner lot</b>		166 m <sup>2</sup>
4.12.2.10.7	Minimum <b>lot frontage - corner lot</b>		7.3 m
4.12.2.10.8	The <b>lot lines</b> abutting Lakeshore Road West or Southdown Road shall be deemed to be the <b>front lot line</b>		
4.12.2.10.9	Maximum encroachment of a <b>porch</b> or <b>deck</b> inclusive of stairs located at and accessible from the <b>first storey</b> or below the <b>first storey</b> into the required <b>front</b> and <b>exterior side yards</b> outside the <b>buildable area</b> identified on Schedule RM6-10 of this Exception		1.5 m
4.12.2.10.10	Maximum encroachment of an awning, window, <b>chimney</b> , pilaster or corbel, window well, and stairs with a maximum of three risers into the required <b>front</b> and <b>exterior side yards</b> outside the <b>buildable area</b> identified on Schedule RM6-10 of this Exception		0.6 m
4.12.2.10.11	Maximum encroachment of a <b>porch</b> or <b>deck</b> inclusive of stairs located at and accessible from the <b>first storey</b> or below the <b>first storey</b> , or awning into the required <b>rear yard</b> outside the <b>buildable area</b> identified on Schedule RM6-10 of this Exception		5.0 m
4.12.2.10.12	For a <b>lot</b> with a <b>townhouse</b> requiring a 0.0 m <b>interior side yard</b> , the setback to the <b>interior side lot line</b> from a <b>porch</b> or <b>deck</b> inclusive of stairs permitted in the <b>rear yard</b> , shall also be 0.0 m		
4.12.2.10.13	Maximum encroachment of a window, <b>chimney</b> , heating and/or air conditioning equipment, pilaster or corbel, window well, and stairs with a maximum of three risers into the required <b>rear yard</b> outside the <b>buildable area</b> identified on Schedule RM6-10 of this Exception		1.0 m
4.12.2.10.14	Maximum encroachment of a <b>balcony</b> into the required <b>rear yard</b> outside the <b>buildable area</b> identified on Schedule RM6-10 of this Exception		2.5 m
4.12.2.10.15	A <b>townhouse</b> on a <b>CEC - road</b> fronting on Lakeshore Road West or Southdown Road is permitted to have a <b>balcony</b> with a maximum area of 16.5 m <sup>2</sup> on top of an attached <b>garage</b> provided that the balcony does not project beyond the <b>garage face</b>		
4.12.2.10.16	Trailer and recreational vehicle parking shall not be permitted		
4.12.2.10.17	Maximum <b>driveway</b> width, unless otherwise identified on Schedule RM6-10 of this Exception		3.0 m

**Exception RM6-10 continued on next page**



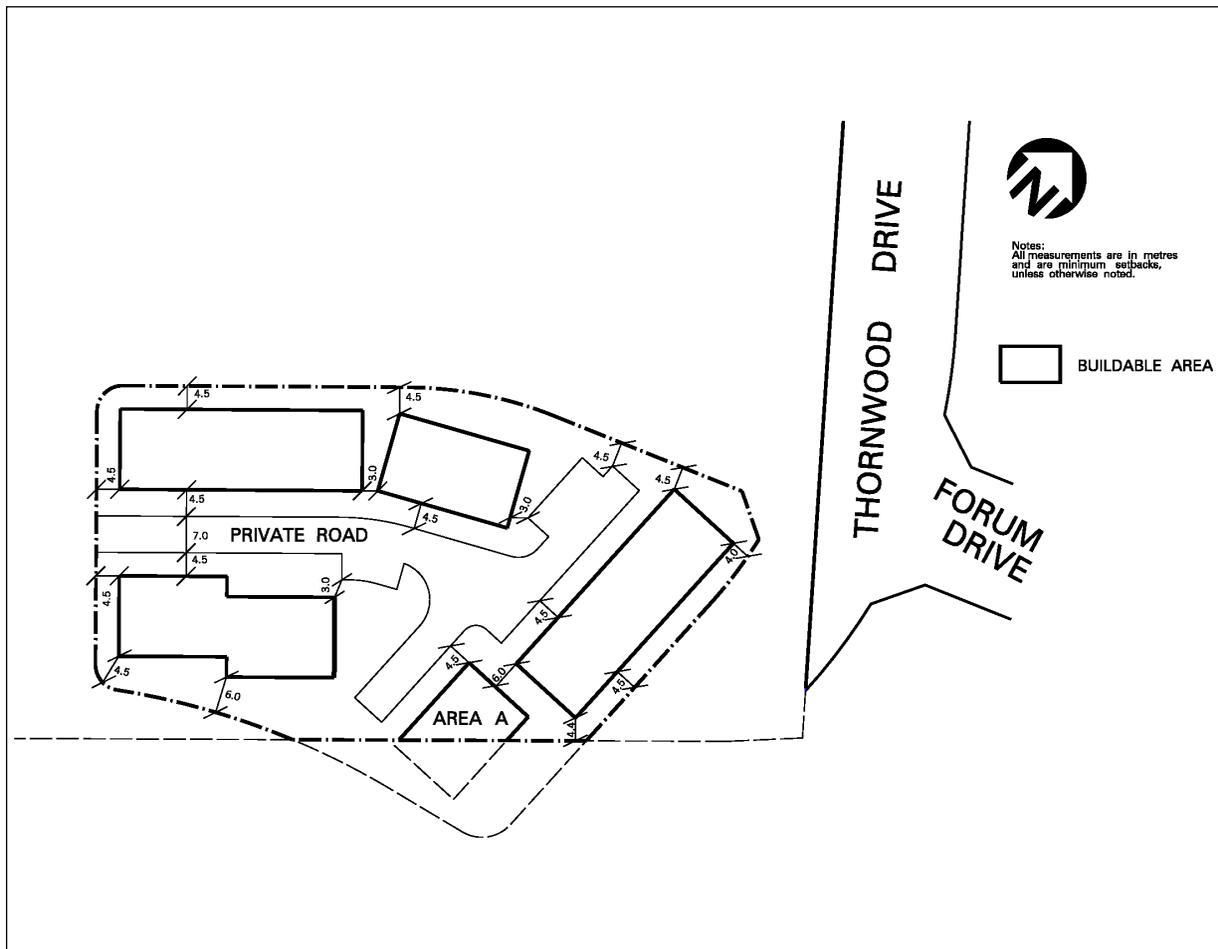
**Part 4 - Residential Zones**

4.12.2.11	Exception: RM6-11	Map # 52E	By-law: 0403-2008, 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RM6-11 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM6 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.12.2.11.1	The provisions contained in Subsection 2.1.14 of this By-law shall not apply		
4.12.2.11.2	Minimum setback to McLaughlin Road		6.0 m
4.12.2.11.3	Minimum <b>exterior side yard</b> within 25.0 m of McLaughlin Road		2.7 m
4.12.2.11.4	Maximum <b>building height</b> within 30.0 m of all lands zoned RS		11.3 m
4.12.2.11.5	Minimum width of a <b>CEC - road</b> within 45.0 m of McLaughlin Road		6.0 m
4.12.2.11.6	Maximum <b>driveway</b> width		3.2 m

4.12.2.12	Exception: RM6-12	Map # 07	By-law: OMB Order 2009 February 04, <i>deleted by 0222-2015,</i> 0076-2017, 0181-2018/LPAT Order 2019 February 15
In a RM6-12 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM6 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.12.2.12.1	The provision of Line 7.1 contained in Table 4.12.1 of this By-law shall not apply		
4.12.2.12.2	Minimum <b>lot area - interior lot</b>		135 m <sup>2</sup>
4.12.2.12.3	Minimum setback of all <b>buildings</b> and <b>structures</b> to a <b>sight triangle</b>		2.0 m
4.12.2.12.4	Minimum <b>exterior side yard</b> abutting South Service Road		3.0 m
4.12.2.12.5	Notwithstanding the RM6 zone, a maximum of eight <b>townhouses</b> shall be permitted to front a <b>street</b>		

**Part 4 - Residential Zones**

4.12.2.13	Exception: RM6-13	Map # 36W	By-law: 0088-2013/OMB Order 2013 November 18, 0259-2020, 0208-2022
<p>In a RM6-13 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM6 zone except that the following <b>uses/regulations</b> shall apply:</p>			
<b>Regulations</b>			
4.12.2.13.1	Maximum number of <b>dwelling units</b> on all lands zoned RM6-13 excluding lands in <b>Buildable Area 'A'</b> identified on Schedule RM6-13 of this Exception		30
4.12.2.13.2	Maximum number of <b>dwelling units</b> on lands in <b>Buildable Area 'A'</b> identified on Schedule RM6-13 of this Exception		4
4.12.2.13.3	Maximum <b>height</b>		13.0 m
4.12.2.13.4	Trailer and recreational vehicle parking shall not be permitted		
4.12.2.13.5	Maximum <b>driveway</b> width		3.8 m
4.12.2.13.6	All site development plans shall comply with Schedule RM6-13 of this Exception		



**Schedule RM6-13**  
Map 36W

**Part 4 - Residential Zones**

4.12.2.14	Exception: RM6-14	Map # 38E	By-law: 0132-2012, 0181-2018/LPAT Order 2019 February 15
In a RM6-14 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM6 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.12.2.14.1	Maximum number of <b>dwelling units</b> on all lands zoned RM6-14		104
4.12.2.14.2	Minimum <b>lot area - corner lot</b>		127 m <sup>2</sup>
4.12.2.14.3	Minimum <b>lot frontage - corner lot</b>		5.1 m
4.12.2.14.4	Minimum <b>exterior side yard</b> abutting Creditview Road		4.5 m
4.12.2.14.5	Minimum <b>exterior side yard</b> abutting a CEC - <b>road</b>		2.6 m
4.12.2.14.6	Minimum <b>interior side yard</b> - unattached side		1.2 m
4.12.2.14.7	Minimum <b>rear yard</b>		7.0 m
4.12.2.14.8	Notwithstanding Sentence 4.12.2.14.7, minimum <b>rear yard</b> for a minimum of 12 <b>dwelling units</b> with a <b>rear lot line</b> abutting the southerly RM6-14 zone boundary		8.2 m
4.12.2.14.9	Minimum setback of a <b>townhouse</b> to a CEC - visitor <b>parking space</b>		2.0 m

4.12.2.15	Exception: RM6-15	Map # 15	By-law: OMB Order 2015 January 22, 0130-2017, 0181-2018/LPAT Order 2019 February 15
In a RM6-15 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM6 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.12.2.15.1	The provision of Line 12.5 contained in Table 4.12.1 of this By-law shall not apply		
4.12.2.15.2	Maximum number of <b>dwelling units</b>		120
4.12.2.15.3	Minimum outdoor <b>amenity area</b>		650 m <sup>2</sup>
4.12.2.15.4	Minimum <b>landscaped area</b>		22%
4.12.2.15.5	Maximum encroachment of a <b>porch</b> or <b>deck</b> inclusive of stairs located at and accessible from the <b>first storey</b> or below the <b>first storey</b> or a <b>balcony</b> into the required <b>front, rear</b> and <b>exterior side yards</b>		3.0 m
4.12.2.15.6	Minimum number of resident <b>parking spaces per dwelling unit</b>		2
4.12.2.15.7	Total number of shared visitor and non-residential <b>parking spaces</b> provided for all lands zoned RM6-15 and C4-8		72
4.12.2.15.8	<b>Driveways, aisles</b> and CEC - <b>roads</b> may be shared with abutting lands zoned C4-8		
4.12.2.15.9	Minimum width of a sidewalk		1.2 m
4.12.2.15.10	A <b>townhouse</b> on a CEC - <b>road</b> located within Area 'A' as identified on Schedule RM6-15 of this Exception shall comply with the RM6 zone regulations except:		
	(1) minimum <b>lot area - interior lot</b>		85 m <sup>2</sup>
	(2) minimum <b>lot area - corner lot</b>		110 m <sup>2</sup>
	(3) minimum <b>lot frontage - interior lot</b>		4.75 m
	(4) minimum <b>lot frontage - corner lot</b>		6.25 m

**Exception RM6-15 continued on next page**

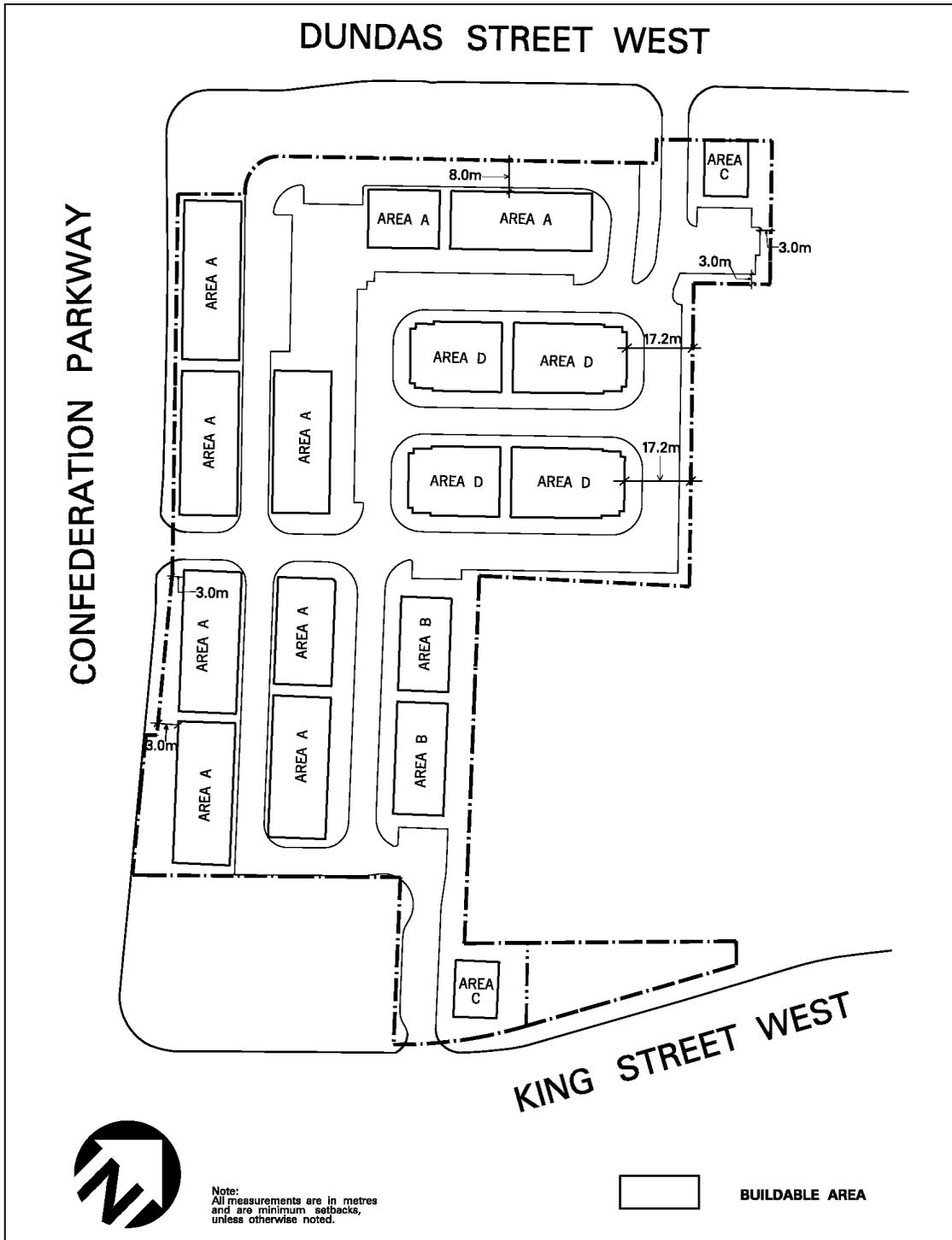
**Part 4 - Residential Zones**

4.12.2.15	Exception: RM6-15	Map # 15	By-law: OMB Order 2015 January 22, 0130-2017, 0181-2018/LPAT Order 2019 February 15
<b>Exception RM6-15 continued from previous page</b>			
4.12.2.15.10 (continued)	(5)	minimum <b>dwelling unit width</b>	4.75 m
	(6)	minimum <b>front yard</b>	1.5 m
	(7)	minimum <b>exterior side yard</b>	3.0 m
	(8)	minimum setback from a <b>garage face</b> to a <b>CEC - road</b> or CEC - sidewalk	5.5 m
	(9)	minimum <b>rear yard - interior lot</b>	1.0 m
	(10)	maximum <b>height</b>	12.5 m
	(11)	maximum <b>driveway width</b>	4.75 m
4.12.2.15.11	A <b>townhouse</b> on a <b>CEC - road</b> located within Area 'B' as identified on Schedule RM6-15 of this Exception shall comply with the RM6 zone regulations except:		
	(1)	minimum <b>lot area - interior lot</b>	120 m <sup>2</sup>
	(2)	minimum <b>lot area - corner lot</b>	190 m <sup>2</sup>
	(3)	minimum <b>lot frontage - interior lot</b>	5.0 m
	(4)	minimum <b>lot frontage - corner lot</b>	8.0 m
	(5)	minimum <b>front yard</b>	4.5 m
	(6)	minimum setback from a <b>garage face</b> to a <b>CEC - road</b> or CEC - sidewalk	5.5 m
	(7)	minimum <b>rear yard</b>	6.5 m
	(8)	maximum <b>height</b>	12.0 m
	(9)	minimum setback of a <b>townhouse</b> on a <b>CEC - road</b> to a CEC - visitor <b>parking space</b>	3.0 m
4.12.2.15.12	A <b>townhouse</b> on a <b>CEC - road</b> located within Area 'C' as identified on Schedule RM6-15 of this Exception shall comply with the RM6 zone regulations except:		
	(1)	minimum <b>lot area - interior lot</b>	110 m <sup>2</sup>
	(2)	minimum <b>lot area - exterior lot</b>	170 m <sup>2</sup>
	(3)	minimum <b>lot frontage - interior lot</b>	5.0 m
	(4)	minimum <b>lot frontage - exterior lot</b>	8.0 m
	(5)	minimum <b>front yard</b>	4.5 m
	(6)	minimum side yard setback to abutting lands zoned C4-8	0.0 m
	(7)	minimum <b>exterior side yard</b> for a <b>lot</b> with an <b>exterior side yard</b> abutting a <b>street</b>	3.5 m
	(8)	minimum setback from a <b>garage face</b> to a <b>CEC - road</b> or CEC - sidewalk	5.5 m
	(9)	minimum <b>rear yard</b>	6.5 m
	(10)	maximum <b>height</b>	12.0 m
	(11)	minimum setback of a <b>townhouse</b> on a <b>CEC - road</b> to a CEC - visitor <b>parking space</b>	3.0 m
4.12.2.15.13	A <b>townhouse</b> on a <b>CEC - road</b> located within Area 'D' as identified on Schedule RM6-15 of this Exception shall comply with the RM6 zone regulations except:		
	(1)	minimum <b>lot area - interior lot</b>	70 m <sup>2</sup>
	(2)	minimum <b>lot area - corner lot</b>	98 m <sup>2</sup>
	(3)	minimum <b>lot frontage - interior lot</b>	6.1 m

**Exception RM6-15 continued on next page**

Part 4 - Residential Zones

4.12.2.15	Exception: RM6-15	Map # 15	By-law: OMB Order 2015 January 22, 0130-2017, 0181-2018/LPAT Order 2019 February 15
<b>Exception RM6-15 continued from previous page</b>			
4.12.2.15.13 (continued)	(4)	minimum lot frontage - corner lot	9.1 m
	(5)	minimum dwelling unit width	6.1 m
	(6)	minimum front yard abutting a CEC - road	3.0 m
	(7)	minimum exterior side yard abutting a CEC - road	3.0 m
	(8)	minimum setback from a garage face to a CEC - road or CEC - sidewalk	5.5 m
	(9)	minimum rear yard	0.0 m
	(10)	maximum height	12.0 m
4.12.2.15.14	All site development plans shall comply with Schedule RM6-15 of this Exception		



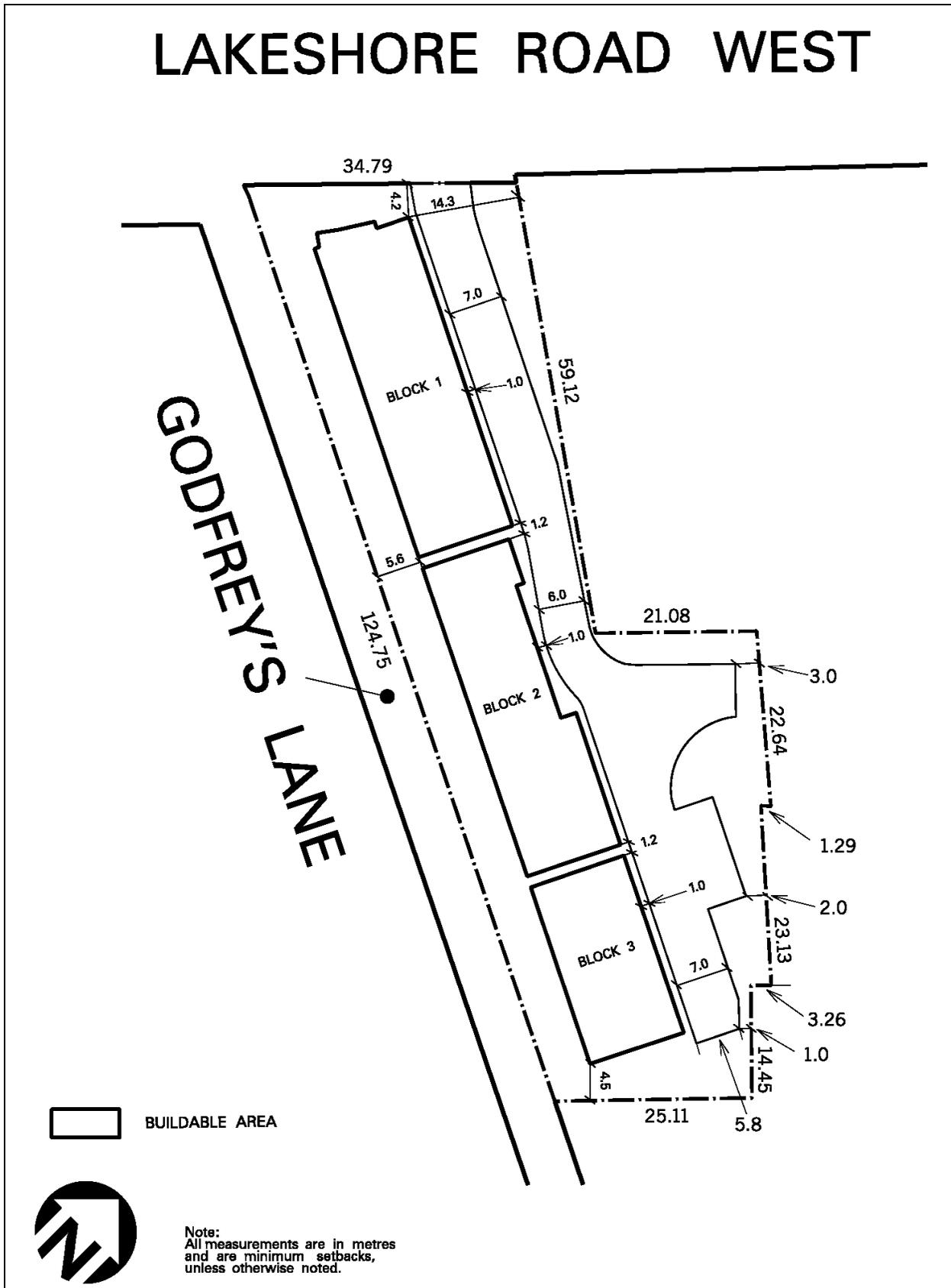
Schedule RM6-15  
Map 15

**Part 4 - Residential Zones**

4.12.2.16	Exception: RM6-16	Map # 07	By-law: 0222-2013, 0181-2018/LPAT Order 2019 February 15
In a RM6-16 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM6 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.12.2.16.1	Minimum <b>exterior side yard - lot</b> with an <b>exterior side lot line</b> abutting a <b>CEC - road</b>		3.0 m
4.12.2.16.2	Minimum <b>interior side yard - lot</b> with an <b>interior side lot line</b> abutting a C4-61 zone		2.0 m
4.12.2.16.3	Minimum <b>interior side yard - lot</b> with an <b>interior side lot line</b> abutting a C4-14 zone		1.2 m
4.12.2.16.4	Maximum <b>driveway</b> width of a <b>dwelling unit</b> with a two car <b>garage</b>		5.0 m
4.12.2.16.5	Maximum encroachment of a <b>balcony</b> into the required <b>rear yard</b>		1.5 m
4.12.2.16.6	<b>Driveways, aisles,</b> and visitor parking may be shared with abutting lands zoned C4-61		
4.12.2.16.7	For the purposes of this By-law, all lands zoned RM6-16 and C4-61 shall be considered as one <b>lot</b>		

4.12.2.17	Exception: RM6-17	Map 08	By-law: 0189-2014, 0181-2018/LPAT Order 2019 February 15, 0208-2022
In a RM6-17 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM6 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.12.2.17.1	Minimum <b>lot area - interior lot</b>		82 m <sup>2</sup>
4.12.2.17.2	Minimum <b>lot area - corner lot</b>		140 m <sup>2</sup>
4.12.2.17.3	Minimum <b>lot frontage - interior lot</b>		6.0 m
4.12.2.17.4	Minimum <b>lot frontage - corner lot</b>		7.0 m
4.12.2.17.5	Minimum <b>dwelling unit width</b>		6.0 m
4.12.2.17.6	Maximum <b>height</b>		13.0 m and 4 <b>storeys</b>
4.12.2.17.7	Maximum encroachment of a <b>porch</b> or <b>deck</b> inclusive of stairs located at and accessible from the <b>first storey</b> outside the <b>buildable area</b> identified on Schedule RM6-17 of this Exception		1.9 m
4.12.2.17.8	Maximum encroachment of a <b>balcony</b> outside the <b>buildable area</b> identified on Schedule RM6-17 of this Exception		1.9 m
4.12.2.17.9	Maximum <b>driveway</b> width		6.0 m
4.12.2.17.10	"Townhouse" means a <b>building</b> or <b>structure</b> not exceeding four <b>storeys</b> in <b>height</b> consisting of more than two attached <b>dwelling units</b> , which are divided vertically above grade by a <b>party wall</b> at least 5.0 m in length and at least 2.0 m in <b>height</b> , and having a <b>yard</b> abutting at least two exterior walls of each <b>dwelling unit</b>		
4.12.2.17.11	All site development plans shall comply with Schedule RM6-17 of this Exception		

# LAKESHORE ROAD WEST



Schedule RM6-17  
Map 08

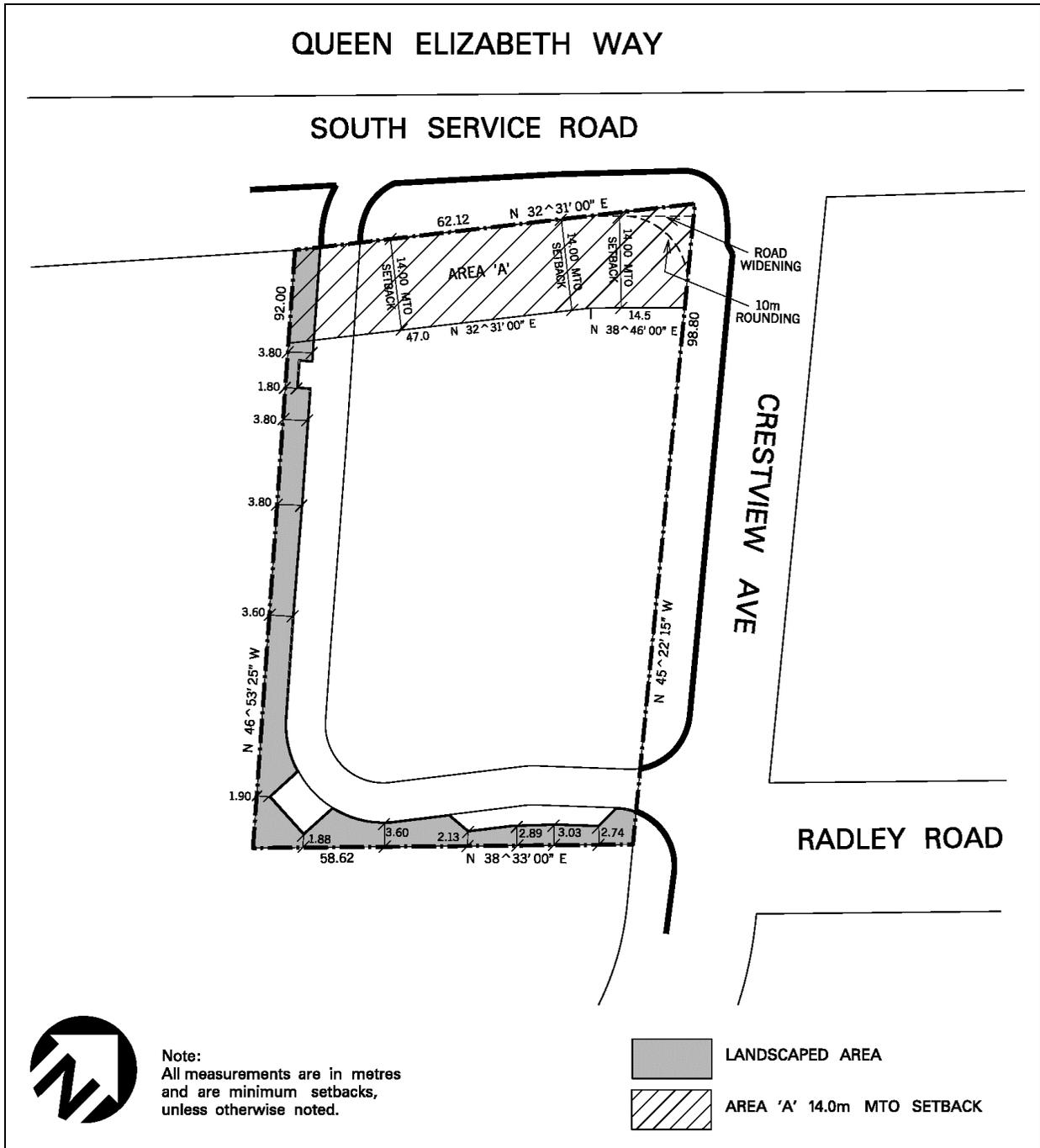
**Part 4 - Residential Zones**

4.12.2.18	Exception: RM6-18	Map # 07	By-law: OMB Order 2017 November 28, 0181-2018/LPAT Order 2019 February 15, 0126-2019
<p>In a RM6-18 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM6 zone except that the following <b>uses/regulations</b> shall apply:</p>			
<b>Regulations</b>			
4.12.2.18.1	The provisions contained in Subsection 2.1.14 and the regulations of Lines 10.0 and 12.1 contained in Table 4.12.1 of this By-law shall not apply		
4.12.2.18.2	Maximum number of <b>dwelling units</b> on all lands zoned RM6-18		20
4.12.2.18.3	Minimum <b>lot area - CEC - corner lot</b>		189 m <sup>2</sup>
4.12.2.18.4	All <b>lot lines</b> abutting Crestview Avenue shall be deemed to be the front lot line		
4.12.2.18.5	Minimum <b>exterior side yard</b> setback to:		
	(1) <b>CEC - road</b>		4.0 m
	(2) <b>CEC - sidewalk</b>		2.5 m
4.12.2.18.6	Minimum <b>exterior side yard</b> setback of a <b>porch</b> or <b>deck</b> , exclusive of stairs, located at and accessible from the <b>first storey</b> or below the <b>first storey</b> to:		
	(1) <b>CEC - road</b>		2.9 m
	(2) <b>CEC - sidewalk</b>		1.6 m
4.12.2.18.7	Minimum <b>rear yard</b>		6.5 m
4.12.2.18.8	Maximum <b>height - highest ridge</b>		10.5 m
4.12.2.18.9	Minimum setback to the <b>lot line</b> abutting Area 'A' as identified on Schedule RM6-18 of this Exception		1.8 m
4.12.2.18.10	Minimum setback from a <b>porch</b> or <b>deck</b> , exclusive of stairs, located at and accessible from the <b>first storey</b> or below the <b>first storey</b> to the <b>lot line</b> abutting Area 'A' as identified on Schedule RM6-18 of this Exception		1.5 m
4.12.2.18.11	Maximum encroachment of a <b>balcony</b> located at and accessible from the second <b>storey</b> into the required <b>rear yard</b>		1.5 m
4.12.2.18.12	Maximum projection of a box or bay window containing <b>floor area</b> , located above the <b>first storey</b> , into a required <b>front yard</b> and/or <b>rear yard</b> , provided such box or bay window does not exceed 50% of the width of the <b>dwelling unit</b>		0.5 m
4.12.2.18.13	Maximum encroachment of a <b>porch</b> or <b>deck</b> , exclusive of stairs, located at and accessible from the <b>first storey</b> or below the <b>first storey</b> , into the required <b>front yard</b>		1.5 m
4.12.2.18.14	A <b>balcony</b> shall not be permitted to encroach into the <b>front</b> or <b>exterior side yards</b>		
4.12.2.18.15	Maximum number of risers between a <b>porch</b> or <b>deck</b> of a townhouse <b>dwelling unit</b> and a <b>lot line</b> that divides a <b>lot</b> from a <b>CEC - road</b> or a <b>street</b>		3
4.12.2.18.16	Minimum setback to a <b>sight triangle</b>		2.0 m
4.12.2.18.17	Maximum angle of a sloped roof for the front and side elevations only		60°
4.12.2.18.18	Maximum allowable roof area dedicated to architectural features measured for each roof elevation for the front and side elevations only		50%
4.12.2.18.19	Maximum sloped roof angle shall not apply to architectural features contained within the roof area		
4.12.2.18.20	Minimum width of a <b>CEC - road</b>		6.0 m

**Exception RM6-18 continued on next page**

Part 4 - Residential Zones

4.12.2.18	Exception: RM6-18	Map # 07	By-law: OMB Order 2017 November 28, 0181-2018/LPAT Order 2019 February 15, 0126-2019
<b>Exception RM6-18 continued from previous page</b>			
4.12.2.18.21	Minimum aisle width		6.0 m
4.12.2.18.22	Minimum width of a sidewalk		1.6 m
4.12.2.18.23	"Front Lot Line" means the line that divides a lot from a CEC - road or a street		
4.12.2.18.24	All site development plans shall comply with Schedule RM6-18 of this Exception		



Schedule RM6-18  
Map 07

**Part 4 - Residential Zones**

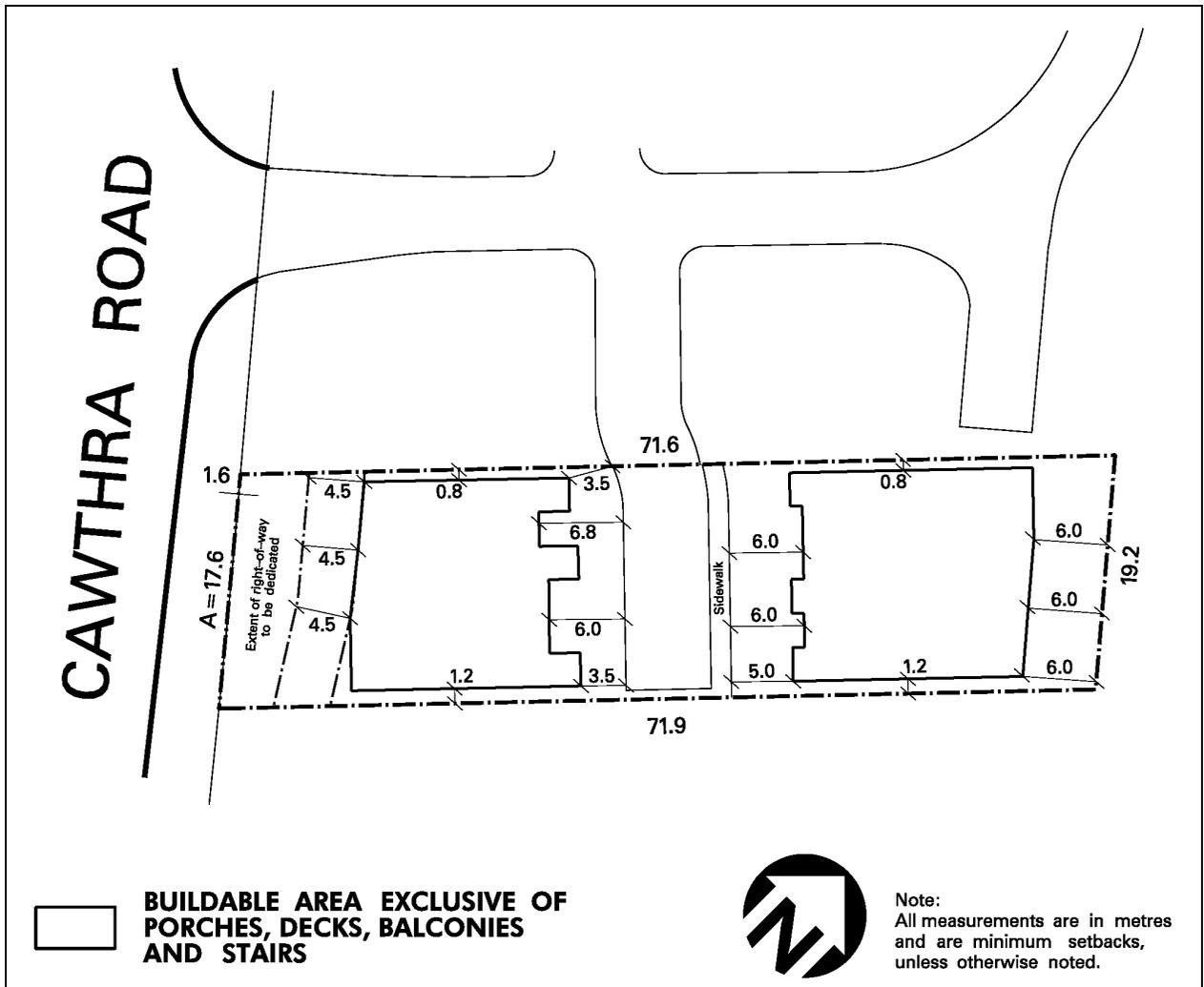
4.12.2.19	Exception: RM6-19	Map # 38W	By-law: LPAT Order 2019 February 08, 0128-2020
<p>In a RM6-19 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM6 zone except that the following <b>uses/regulations</b> shall apply:</p>			
<b>Additional Permitted Uses</b>			
4.12.2.19.1	(1) <b>Back to back townhouse</b> on a CEC - road		
	(2) <b>Semi-detached</b> on a CEC - road		
<b>Regulations</b>			
4.12.2.19.2	The provisions contained in Article 2.1.3.1, Subsection 2.1.14, and the regulations of Line 13.1 contained in Table 4.12.1 of this By-law shall not apply		
4.12.2.19.3	Minimum width of a sidewalk		1.5 m
4.12.2.19.4	Lands identified as Area 'A' on Schedule RM6-19 of this Exception shall only be used for <b>back to back townhouses</b> and shall comply with the following:		
	(1) maximum number of <b>dwelling units</b>		4
	(2) minimum number of resident <b>parking spaces</b> for <b>back to back townhouses</b>		7
	(3) all <b>parking spaces</b> for <b>back to back townhouses</b> shall be provided on the paved <b>parking area</b>		
4.12.2.19.5	Lands identified as Area 'B' on Schedule RM6-19 of this Exception shall only be used for <b>semi-detached</b> and shall comply with the following:		
	(1) maximum number of <b>dwelling units</b>		2
	(2) maximum <b>height - highest ridge</b>		12.8 m
	(3) minimum area of a <b>balcony</b> over an attached <b>garage</b>		10 m <sup>2</sup>
	(4) the <b>main front entrance</b> for Unit 1 shall face Mississauga Road		
	(5) the <b>main front entrance</b> for Unit 2 shall face the <b>CEC - road</b>		
	(6) access for <b>semi-detached</b> shall be via a CEC - shared driveway		
	(7) "CEC - Shared Driveway" means a designated access for <b>semi-detached</b>		
4.12.2.19.6	Lands identified as Area 'C' on Schedule RM6-19 of this Exception shall only be used for <b>townhouses</b> and shall comply with the RM6 zone regulations except:		
	(1) maximum encroachment of a <b>balcony</b> into the required <b>rear yard</b>		1.7 m
	(2) maximum <b>height</b>		10.9 m and 3 storeys
4.12.2.19.7	All site development plans shall comply with Schedule RM6-19 of this Exception		



**Part 4 - Residential Zones**

4.12.2.20	Exception: RM6-20	Map # 03	By-law: 0166-2018
In a RM6-20 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM6 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.12.2.20.1	Minimum <b>lot area - interior lot</b>		135 m <sup>2</sup>
4.12.2.20.2	Minimum <b>lot frontage - interior lot</b>		6.4 m
4.12.2.20.3	Minimum <b>front yard - interior lot</b>		3.8 m
4.12.2.20.4	Minimum <b>rear yard</b>		7.0 m
4.12.2.20.5	Maximum encroachment of a <b>balcony</b> into a required <b>rear yard</b>		2.5 m
4.12.2.20.6	Minimum width of a sidewalk		1.2 m

4.12.2.21	Exception: RM6-21	Map # 20	By-law: LPAT Order 2019 March 26, 0221-2022
In a RM6-21 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM6 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.12.2.21.1	The provisions contained in Subsections 2.1.14 and 2.1.30 and the regulations of Line 11.0 contained in Table 4.12.1 of this By-law shall not apply		
4.12.2.21.2	Maximum <b>height</b>		11.5 m and 3 <b>storeys</b>
4.12.2.21.3	Maximum encroachment of a <b>porch</b> or <b>deck</b> , exclusive of stairs accessible from the <b>first storey</b> or below the <b>first storey</b> into a required <b>yard</b>		1.8 m
4.12.2.21.4	Maximum encroachment of a <b>balcony</b> or <b>deck</b> inclusive of stairs, located at and accessible from the second <b>storey</b> into a required <b>yard</b>		2.5 m
4.12.2.21.5	Minimum width of a sidewalk		1.5 m
4.12.2.21.6	Minimum number of visitor <b>parking spaces</b> provided on lands zoned RM8-15		2
4.12.2.21.7	A <b>balcony</b> with a maximum area of 20 m <sup>2</sup> is permitted on top of an attached <b>garage</b> , provided that the <b>balcony</b> does not project more than 3.0 m beyond the <b>garage face</b>		
4.12.2.21.8	All site development plans shall comply with Schedule RM6-21 of this Exception		



**Schedule RM6-21**  
Map 20

**Part 4 - Residential Zones**

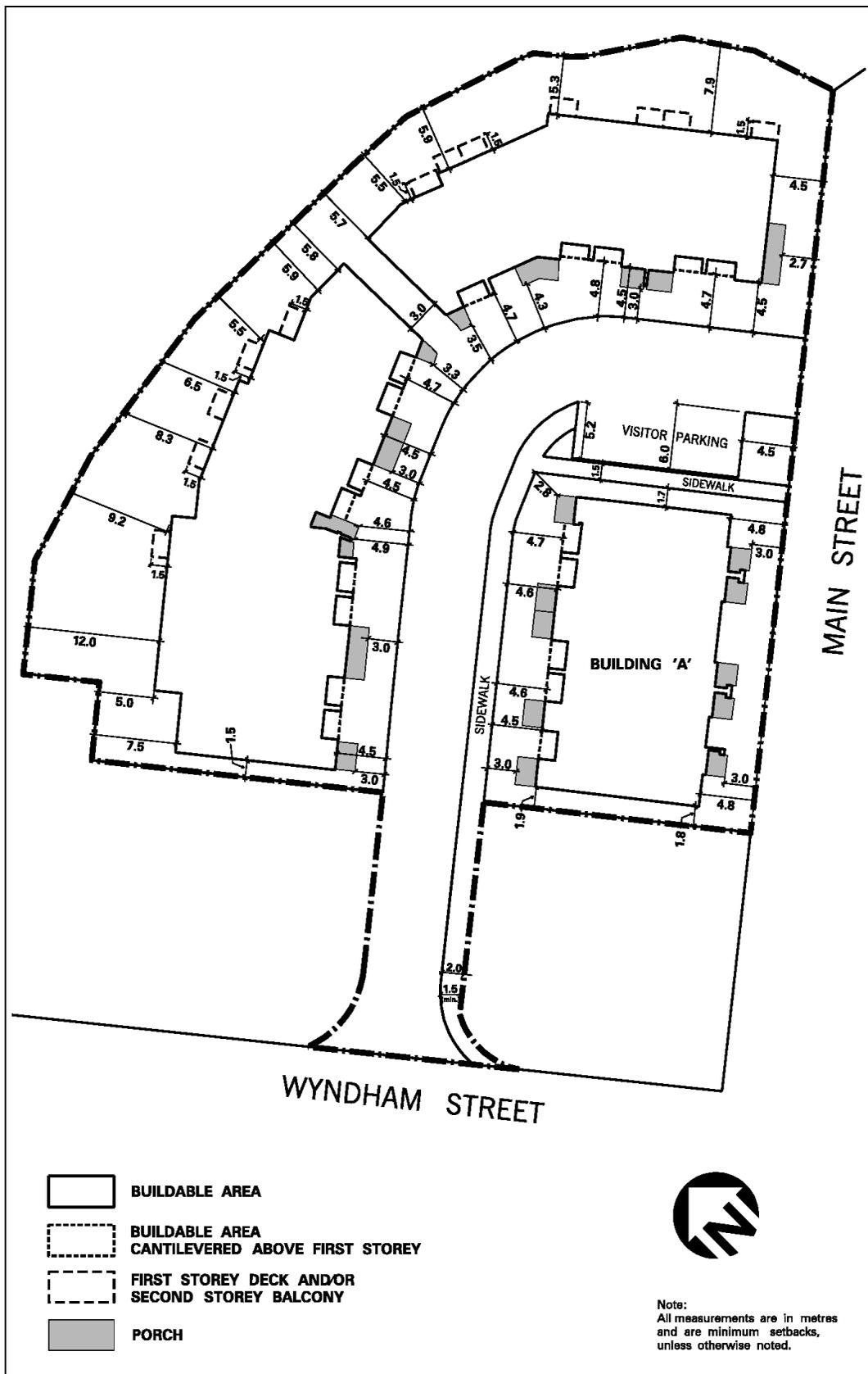
4.12.2.22	Exception: RM6-22	Map # 38W	By-law: 0162-2019
In a RM6-22 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM6 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.12.2.22.1	The provisions contained in Subsection 2.1.30 of this By-law shall not apply		
4.12.2.22.2	Minimum setback of a <b>dwelling unit</b> to a railway right-of-way		25.0 m
4.12.2.22.3	Maximum number of <b>dwelling units</b>		75
4.12.2.22.4	Minimum <b>interior side yard</b> - unattached side		1.2 m
4.12.2.22.5	Minimum <b>rear yard</b>		7.0 m
4.12.2.22.6	Maximum number of <b>dwelling units</b> with a minimum <b>rear yard</b> of 6.0 m		1
4.12.2.22.7	Maximum <b>height</b>		14.0 m and 4 <b>storeys</b>
4.12.2.22.8	Maximum encroachment of a <b>porch</b> or <b>deck</b> inclusive of stairs into a required <b>front yard</b>		2.5 m
4.12.2.22.9	Maximum encroachment of stairs into an <b>interior side yard</b> provided that the <b>interior side yard</b> is a minimum of 1.2 m		0.6 m
4.12.2.22.10	Minimum depth of a <b>balcony</b> on the highest <b>storey</b> of a <b>townhouse</b> measured from the <b>front wall</b> of the <b>building</b>		3.0 m
4.12.2.22.11	Minimum setback of a <b>townhouse</b> to a CEC - visitor <b>parking space</b>		1.8 m

4.12.2.23	Exception: RM6-23	Map # 38W	By-law: 0029-2021, 0050-2022, 0048-2025
In a RM6-23 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM6 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.12.2.23.1	The provisions contained in Subsections 2.1.14 and 4.1.8 and the regulations of Lines 7.1 and 8.3 contained in Table 4.12.1 of this By-law shall not apply		
4.12.2.23.2	Minimum <b>lot area</b> - CEC - corner lot		170 m <sup>2</sup>
4.12.2.23.3	Minimum <b>lot frontage</b> - interior lot		4.7 m
4.12.2.23.4	Minimum <b>lot frontage</b> - CEC - corner lot		7.0 m
4.12.2.23.5	Minimum <b>dwelling unit width</b>		4.2 m
4.12.2.23.6	Minimum <b>landscaped area</b>		19% of the <b>lot area</b>
4.12.2.23.7	Notwithstanding Sentence 4.12.2.23.13 of this Exception, maximum encroachment of eaves into a required <b>yard</b>		0.7 m
4.12.2.23.8	Notwithstanding Sentence 4.12.2.23.13 of this Exception, maximum encroachment of stairs attached to a <b>deck</b> located at and accessible from the <b>first storey</b> or below the <b>first storey</b> of the dwelling into a required <b>rear yard</b>		2.8 m
4.12.2.23.9	Notwithstanding Sentence 4.12.2.23.13 of this Exception, maximum encroachment of a third <b>storey balcony</b> into a required <b>rear yard</b>		1.0 m
4.12.2.23.10	Notwithstanding Sentence 4.12.2.23.9 of this Exception, a third <b>storey balcony</b> shall not be permitted within 12.0 m of a RL zone		

**Exception RM6-23 continued on next page**

Part 4 - Residential Zones

4.12.2.23	Exception: RM6-23	Map # 38W	By-law: 0029-2021, 0050-2022, 0048-2025
<b>Exception RM6-23 continued from previous page</b>			
4.12.2.23.11	Notwithstanding Sentence 4.12.2.23.13 of this Exception, external heating, air conditioning, and home back-up generator equipment is permitted between Building 'A' identified on Schedule RM6-23 of this Exception and a <b>CEC - road</b>		
4.12.2.23.12	Notwithstanding Sentence 4.12.2.23.13 of this Exception, external heating, air conditioning, and home back-up generator equipment is permitted in a required <b>rear yard</b>		
4.12.2.23.13	All site development plans shall comply with Schedule RM6-23 of this Exception		



Schedule RM6-23  
Map 38W

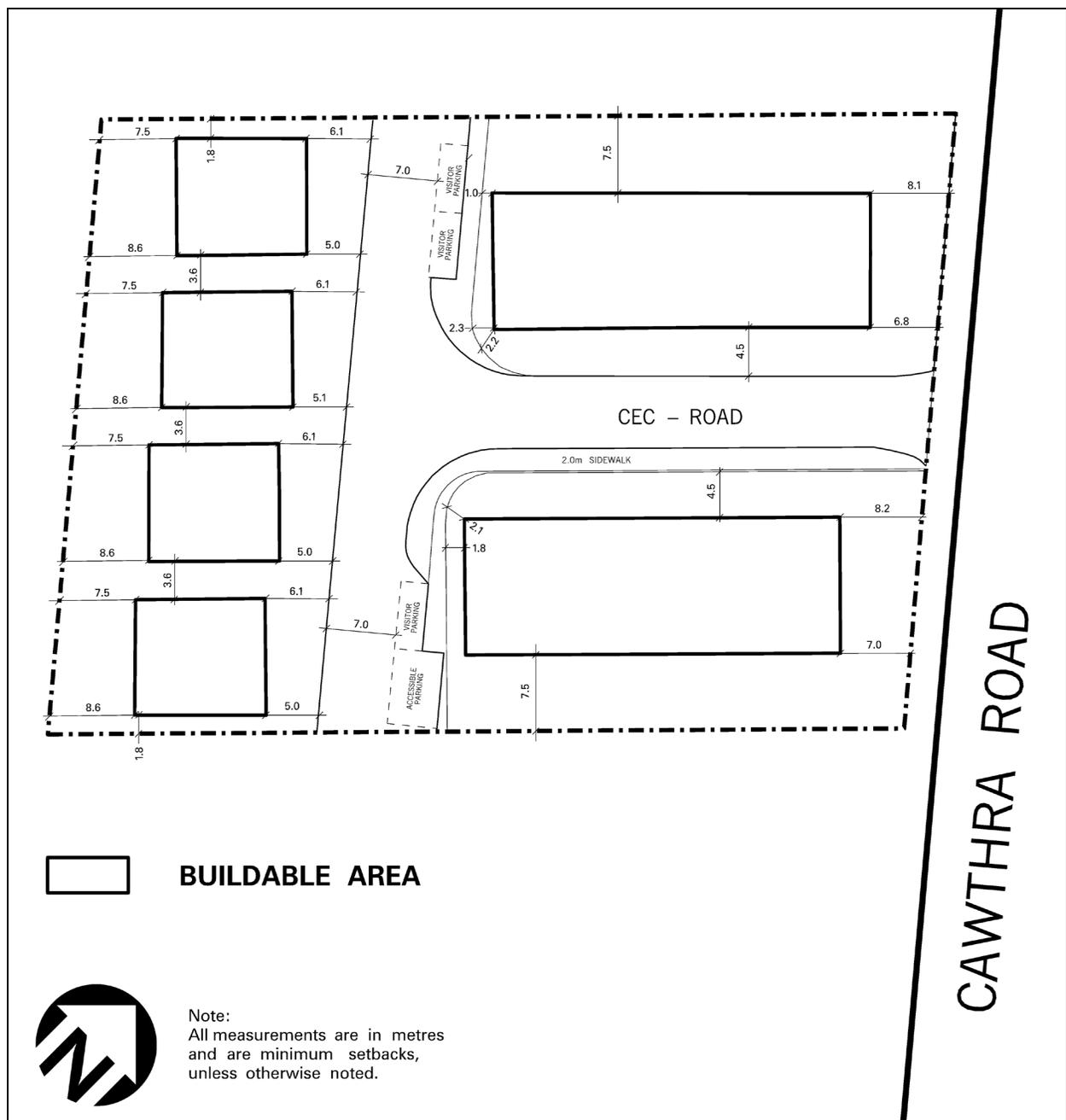
**Part 4 - Residential Zones**

4.12.2.24	Exception: RM6-24	Map # 07	By-law: 0068-2022
In a RM6-24 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM6 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Additional Permitted Use</b>			
4.12.2.24.1	(1)	<b>Detached dwelling on a CEC - road</b>	
<b>Regulations</b>			
4.12.2.24.2		<b>Flat roofs</b> shall not be permitted	
4.12.2.24.3		Maximum number of <b>detached dwellings</b> on a <b>CEC - road</b> on all lands zoned RM6-24	4
4.12.2.24.4		Maximum number of <b>townhouses</b> on a <b>CEC - road</b> on all lands zoned RM6-24	12
4.12.2.24.5		Notwithstanding Sentence 4.12.2.24.12 of this Exception, minimum <b>front yard</b> setback from a <b>garage face</b> to a <b>CEC - road</b> or CEC - sidewalk	6.0 m
4.12.2.24.6		Notwithstanding Sentence 4.12.2.24.12 of this Exception, maximum encroachment of a <b>porch</b> or <b>deck</b> inclusive of stairs located at and accessible from the <b>first storey</b> or below the <b>first storey</b> , or awning into the required <b>rear yard</b>	3.5 m
4.12.2.24.7		The nearest part of a <b>driveway</b> shall have a minimum setback of 1.8 m from any side lot line other than the common side lot line separating an attached <b>townhouse</b> on a <b>CEC - road</b>	
4.12.2.24.8		A <b>townhouse</b> on a <b>CEC - road</b> shall comply with the RM6 zone regulations except that:	
	(1)	minimum <b>lot area - interior lot</b>	150 m <sup>2</sup>
	(2)	minimum <b>lot area - CEC - corner lot</b>	185 m <sup>2</sup>
	(3)	minimum <b>lot frontage - CEC - corner lot</b>	8.0 m
	(4)	a <b>townhouse</b> on a <b>CEC - road</b> with an <b>exterior side lot line</b> abutting Cawthra Road shall have the <b>main front entrance</b> and <b>main entry feature</b> facing Cawthra Road	
	(5)	maximum height - highest ridge of a townhouse on a CEC - road	9.9 m and 3 storeys
	(6)	notwithstanding Sentence 4.12.2.24.12 of this Exception, maximum encroachment of a <b>porch</b> or <b>deck</b> inclusive of stairs located at and accessible from the <b>first storey</b> or below the <b>first storey</b> into the required <b>front yard</b> or <b>exterior side yard</b>	1.6 m
	(7)	notwithstanding Sentence 4.12.2.24.12 of this Exception, maximum encroachment of a window, <b>chimney</b> , pilaster or corbel, and window well into the required <b>rear yard</b>	1.0 m
	(8)	minimum setback of a <b>townhouse</b> on a <b>CEC - road</b> to a CEC - visitor <b>parking space</b>	2.3 m
4.12.2.24.9		A <b>detached dwelling</b> on a <b>CEC - road</b> shall comply with the RM6 zone regulations except that:	
	(1)	minimum <b>lot area</b>	400 m <sup>2</sup>
	(2)	minimum <b>lot frontage</b>	15.0 m
	(3)	minimum <b>interior side yard</b>	1.8 m
	(4)	maximum height - highest ridge of a detached dwelling on a CEC - road	9.0 m and 2 storeys
	(5)	minimum <b>landscaped area</b>	45% of the lot area

**Exception RM6-24 continued on next page**

**Part 4 - Residential Zones**

4.12.2.24	Exception: RM6-24	Map # 07	By-law: 0068-2022
<b>Exception RM6-24 continued from previous page</b>			
4.12.2.24.9 (continued)	(6)	notwithstanding Sentence 4.12.2.24.12 of this Exception, maximum encroachment of a <b>porch</b> or <b>deck</b> inclusive of stairs located at and accessible from the <b>first storey</b> or below the <b>first storey</b> into the required <b>front yard</b>	2.0 m
	(7)	notwithstanding Sentence 4.12.2.24.12 of this Exception, maximum encroachment of a window, <b>chimney</b> , pilaster or corbel, and window well into the required <b>interior side yard</b> and <b>rear yard</b>	1.0 m
	(8)	maximum <b>driveway</b> width	6.5 m
4.12.2.24.10	"Height - Highest Ridge of a Detached Dwelling on a CEC - Road" means with reference to the height of a <b>detached dwelling</b> on a <b>CEC - road</b> , the vertical distance between <b>established grade</b> and the highest ridge of a <b>sloped roof</b>		
4.12.2.24.11	"Height - Highest Ridge of a Townhouse on a CEC - Road" means with reference to the height of a <b>townhouse</b> on a <b>CEC - road</b> , the vertical distance between <b>established grade</b> and the highest ridge of a <b>sloped roof</b>		
4.12.2.24.12	All site development plans shall comply with Schedule RM6-24 of this Exception		



**Schedule RM6-24**  
Map 07

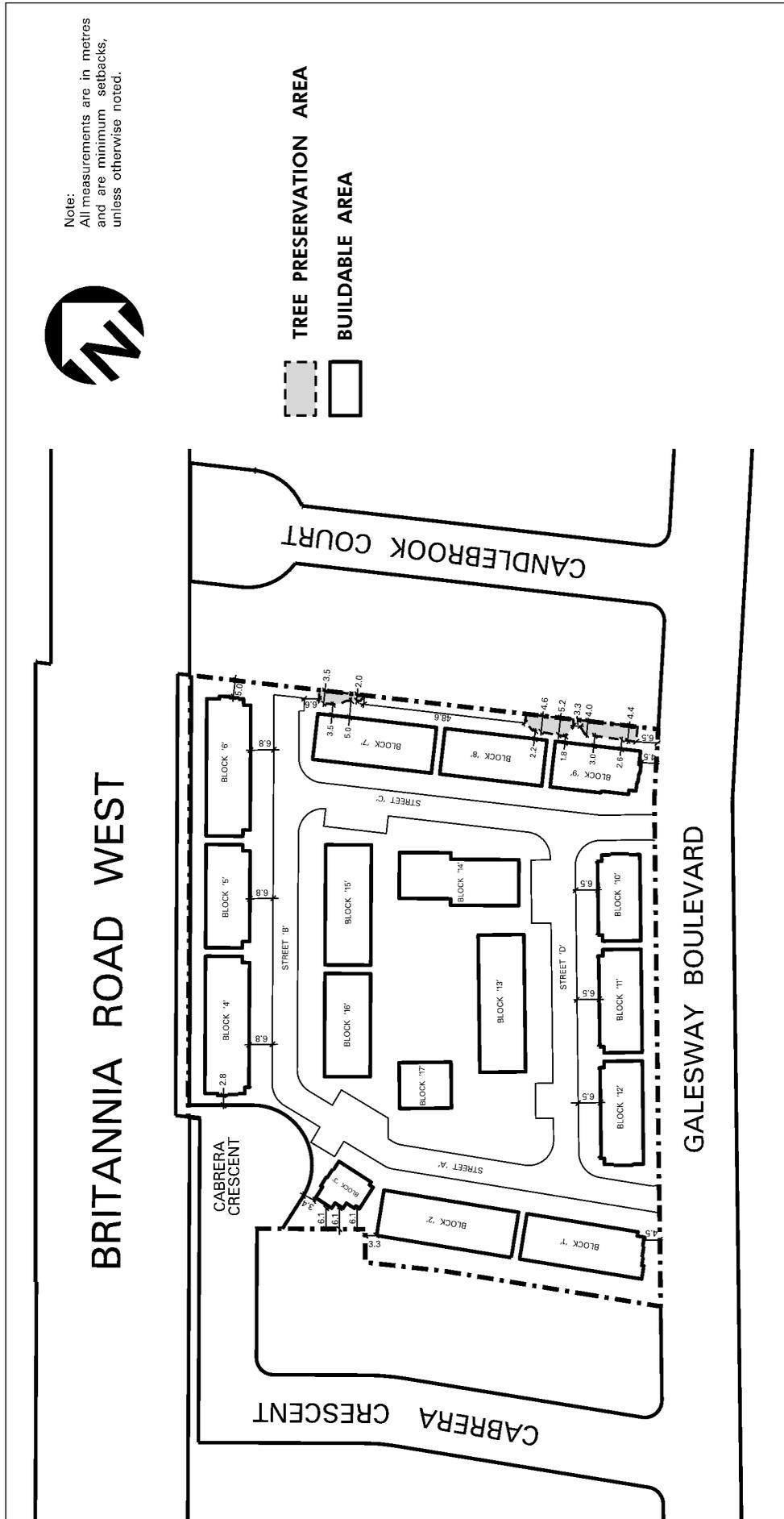
**Part 4 - Residential Zones**

4.12.2.25	Exception: RM6-25	Map # 38E	By-law: 0143-2021, 0072-2024
<p>In a RM6-25 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM6 zone except that the following <b>uses/regulations</b> shall apply:</p>			
<b>Regulations</b>			
4.12.2.25.1	Maximum number of <b>dwelling units</b> on all lands zoned RM6-25		105
4.12.2.25.2	The <b>lot line</b> abutting Britannia Road West for Blocks '4' to '6' identified on Schedule RM6-25 of this Exception shall be deemed to be the front lot line		
4.12.2.25.3	The <b>lot line</b> abutting Galesway Boulevard for Blocks '10' to '12' identified on Schedule RM6-25 of this Exception shall be deemed to be the front lot line		
4.12.2.25.4	Minimum <b>lot area - CEC - corner lot</b>		160 m <sup>2</sup>
4.12.2.25.5	Minimum <b>lot frontage - CEC - corner lot</b>		6.4 m
4.12.2.25.6	Minimum <b>exterior side yard</b> abutting a <b>street</b>		3.4 m
4.12.2.25.7	Minimum <b>exterior side yard</b> abutting a CEC - sidewalk		1.2 m
4.12.2.25.8	Minimum <b>interior side yard</b> - unattached side		1.2 m
4.12.2.25.9	Minimum <b>interior side yard</b> where the <b>interior side lot line</b> is the <b>rear lot line</b> of an abutting parcel		1.2 m
4.12.2.25.10	Minimum <b>rear yard - interior lot/CEC - corner lot</b>		7.0 m
4.12.2.25.11	Maximum <b>height</b>		13.0 m and 3 storeys
4.12.2.25.12	Notwithstanding Sentence 4.12.2.25.23 of this Exception, maximum encroachment of a <b>porch</b> or <b>deck</b> inclusive of stairs located at and accessible from the <b>first storey</b> or below the <b>first storey</b> into the required <b>rear yard</b> for Blocks '4' to '6' and '10' to '12'		2.5 m
4.12.2.25.13	Notwithstanding Sentence 4.12.2.25.23 of this Exception, maximum encroachment of a <b>balcony</b> into the required <b>rear yard</b> for Blocks '4' to '6' and '10' to '12'		2.5 m
4.12.2.25.14	Notwithstanding Sentence 4.12.2.25.23 of this Exception, maximum encroachment of a <b>balcony</b> or <b>deck</b> inclusive of stairs into the required <b>rear yard</b> for Blocks '1' to '3' and '7' to '9'		1.5 m
4.12.2.25.15	Notwithstanding Sentence 4.12.2.25.23 of this Exception, maximum encroachment of a <b>balcony</b> or <b>deck</b> inclusive of stairs into the required <b>rear yard</b> for Blocks '13' to '17'		2.5 m
4.12.2.25.16	Notwithstanding Sentence 4.12.2.25.23 of this Exception, external heating and air conditioning equipment is permitted on a <b>balcony</b> for Blocks '4' to '6' and '10' to '12'		
4.12.2.25.17	Minimum setback of a <b>townhouse</b> to a CEC - visitor <b>parking space</b>		1.8 m
4.12.2.25.18	Maximum <b>driveway</b> width of an end unit for Blocks '4' to '6'		6.2 m
4.12.2.25.19	The areas identified on Schedule RM6-25 of this Exception as a tree preservation area, shall only be used for conservation purposes, and no <b>buildings</b> or <b>structures</b> , <b>swimming pools</b> , tennis courts or any like recreational facilities, except for fences along the <b>lot lines</b> , shall be permitted		
4.12.2.25.20	Minimum <b>CEC - amenity area</b> for all lands zoned RM6-25 to be provided in one contiguous area		630 m <sup>2</sup>
4.12.2.25.21	Minimum setback of a <b>townhouse</b> to a CEC - <b>amenity area</b>		1.2 m

**Exception RM6-25 continued on next page**

Part 4 - Residential Zones

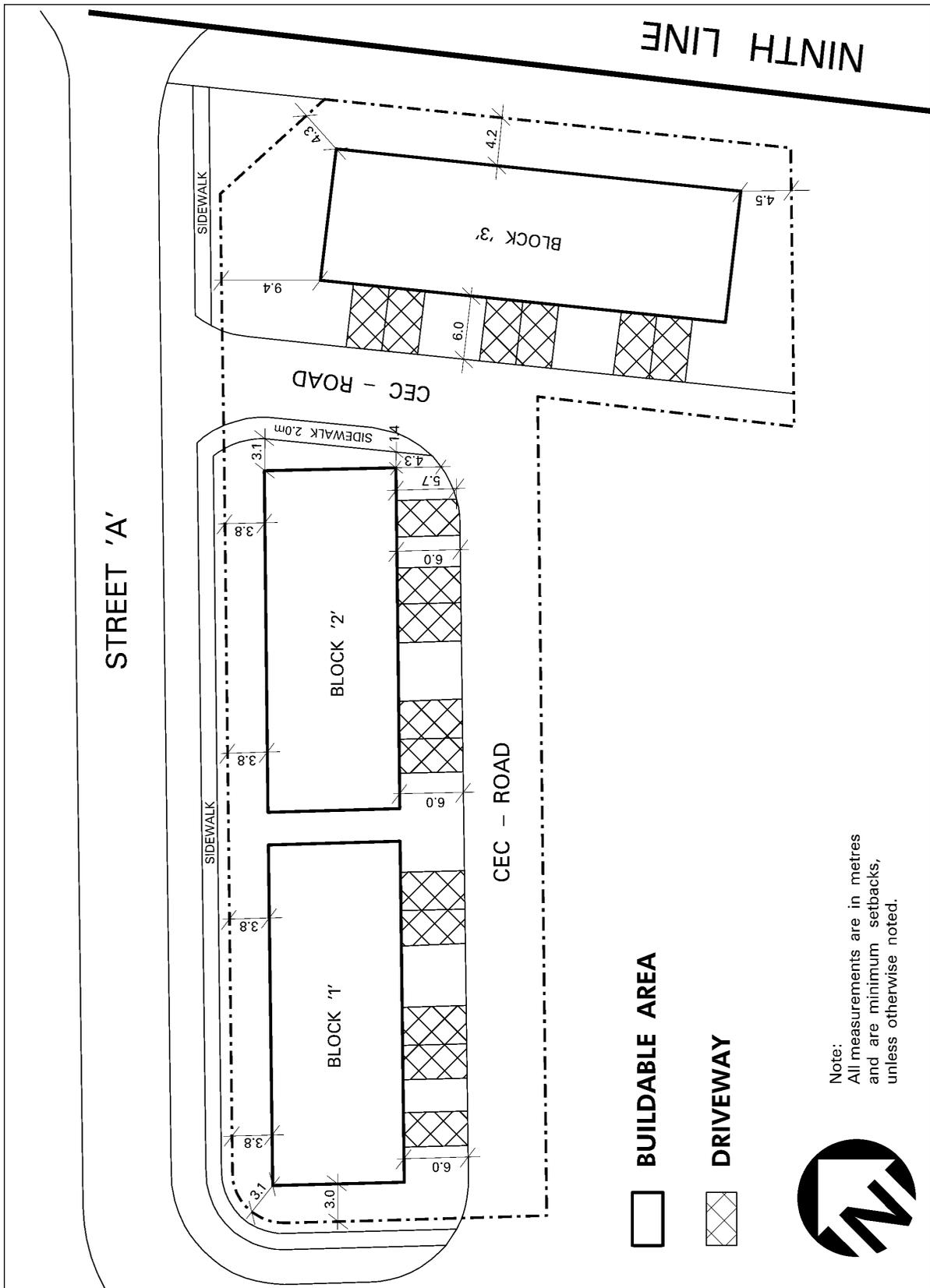
4.12.2.25	Exception: RM6-25	Map # 38E	By-law: 0143-2021, 0072-2024
<b>Exception RM6-25 continued on next page</b>			
4.12.2.25.22	"Front Lot Line" means the line that divides a lot from a CEC - road or a street		
4.12.2.25.23	All site development plans shall comply with Schedule RM6-25 of this Exception		



Schedule RM6-25  
Map 38E

**Part 4 - Residential Zones**

4.12.2.26	Exception: RM6-26	Map # 57	By-law: 0209-2021
<p>In a RM6-26 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM6 zone except that the following <b>uses/regulations</b> shall apply:</p>			
<b>Regulations</b>			
4.12.2.26.1	The provisions contained in Article 4.1.5.9 and Subsection 4.1.6 of this By-law shall not apply		
4.12.2.26.2	Minimum <b>lot area - CEC - corner lot</b>		185 m <sup>2</sup>
4.12.2.26.3	Maximum <b>height</b>		13.5 m and 3 <b>storeys</b>
4.12.2.26.4	Minimum <b>landscaped area</b>		21% of the <b>lot area</b>
4.12.2.26.5	Notwithstanding Sentence 4.12.2.26.16 of this Exception, maximum encroachment of a <b>porch</b> inclusive of stairs into the required <b>front yard</b>		1.6 m
4.12.2.26.6	Notwithstanding Sentence 4.12.2.26.16 of this Exception, maximum encroachment of a <b>porch</b> inclusive of stairs into the required <b>exterior side yard</b> for Blocks '1' and '3'		2.0 m
4.12.2.26.7	Notwithstanding Sentence 4.12.2.26.16 of this Exception, maximum encroachment of a <b>porch</b> inclusive of stairs into the required rear yard		2.1 m
4.12.2.26.8	Notwithstanding Sentence 4.12.2.26.16 of this Exception, maximum encroachment of a second <b>storey balcony</b> into the required <b>front yard</b>		0.5 m
4.12.2.26.9	Notwithstanding Sentence 4.12.2.26.16 of this Exception, maximum encroachment of a building projection above the <b>first storey</b> that is not more than 3.0 m wide with windows and/or doors covering a minimum of 15% of the total projection into a required <b>yard</b>		0.61 m
4.12.2.26.10	Notwithstanding Sentence 4.12.2.26.16 of this Exception, maximum encroachment of eaves into a required <b>yard</b>		0.61 m
4.12.2.26.11	External heating, air conditioning, home back-up generator shall be permitted in an <b>interior</b> or <b>exterior side yard</b> and on a second or third <b>storey balcony</b> in any <b>yard</b> , provided that it is not closer than 0.5 m to any <b>lot line</b>		
4.12.2.26.12	Required number of visitor <b>parking spaces</b>		0
4.12.2.26.13	Maximum <b>driveway</b> width		3.6 m
4.12.2.26.14	<b>CEC - roads and aisles</b> are permitted to be shared with abutting lands zoned RM6-27		
4.12.2.26.15	"Rear Yard" means any <b>yard</b> that contains a <b>driveway</b>		
4.12.2.26.16	All site development plans shall comply with Schedule RM6-26 of this Exception		
<b>Holding Provision</b>			
<p>The holding symbol H is to be removed from the whole or any part of the lands zoned H-RM6-26 by further amendment to Map 57 of Schedule B contained in Part 13 of this By-law, as amended, upon satisfaction of the following requirements:</p> <ol style="list-style-type: none"> <li>(1) confirmation from the City of Mississauga ("City") Transportation and Works Department that the temporary turning circle is no longer required;</li> <li>(2) confirmation from the City Fire and Emergency Services that the temporary emergency access lane is no longer required.</li> </ol>			



Note:  
All measurements are in metres  
and are minimum setbacks,  
unless otherwise noted.

Schedule RM6-26  
Map 57

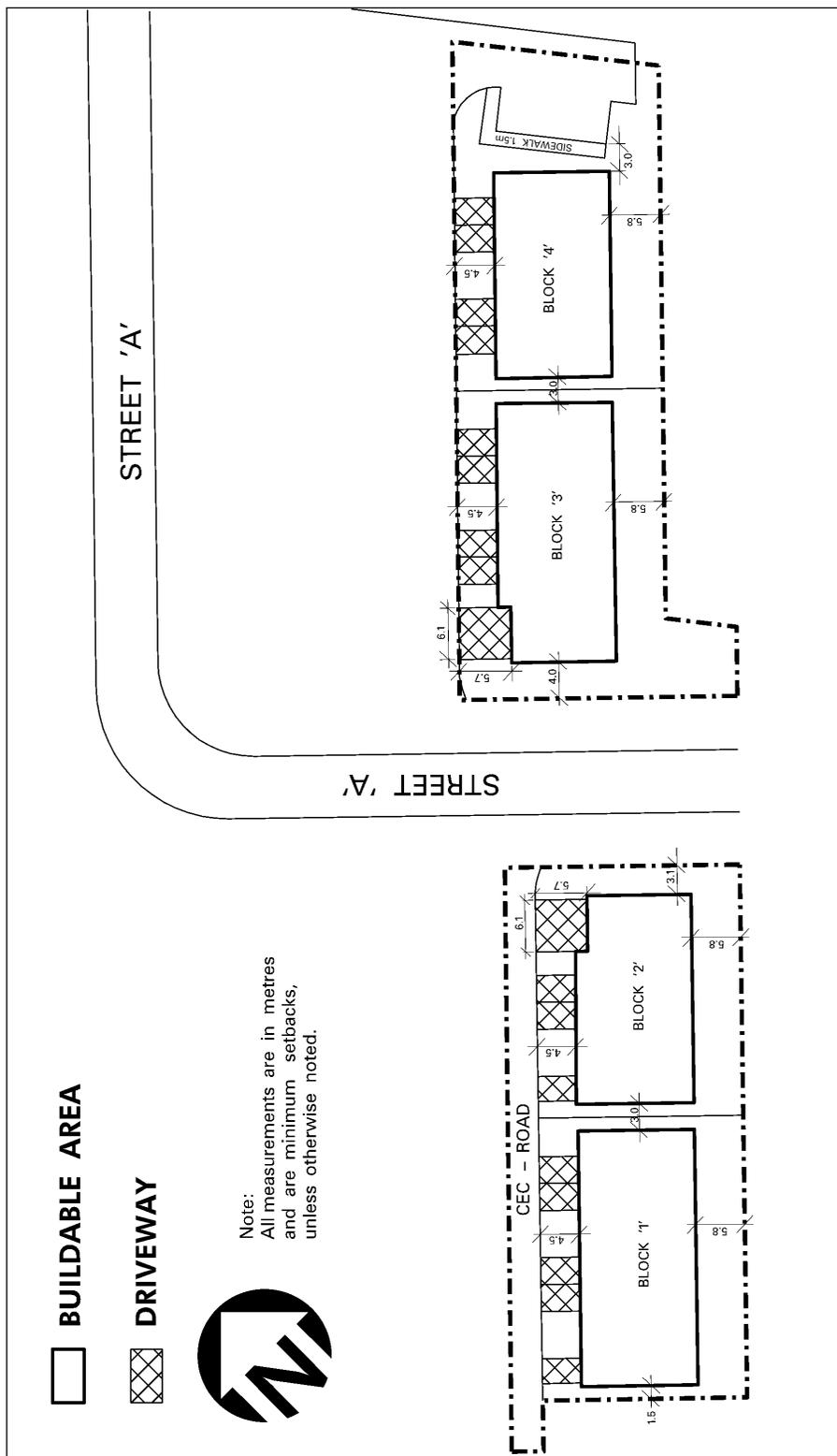
**Part 4 - Residential Zones**

4.12.2.27	Exception: RM6-27	Map # 57	By-law: 0209-2021
In a RM6-27 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM6 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.12.2.27.1	The provisions contained in Article 4.1.5.9 of this By-law shall not apply		
4.12.2.27.2	Notwithstanding Sentence 4.12.2.27.17 of this Exception, minimum <b>front yard - garage face</b>		6.0 m
4.12.2.27.3	Maximum <b>height</b>		15.0 m and 3 <b>storeys</b>
4.12.2.27.4	Notwithstanding Sentence 4.12.2.27.17 of this Exception, maximum encroachment of a <b>porch</b> inclusive of stairs into the required <b>front yard</b>		1.5 m
4.12.2.27.5	Notwithstanding Sentence 4.12.2.27.17 of this Exception, maximum encroachment of a <b>porch</b> inclusive of stairs into the required <b>exterior side yard</b> for Block '2'		2.0 m
4.12.2.27.6	Notwithstanding Sentence 4.12.2.27.17 of this Exception, maximum encroachment of a <b>porch</b> inclusive of stairs into the required <b>exterior side yard</b> for Block '3'		1.5 m
4.12.2.27.7	Notwithstanding Sentence 4.12.2.27.17 of this Exception, maximum encroachment of a second <b>storey balcony</b> into the required <b>front yard</b>		1.5 m
4.12.2.27.8	Notwithstanding Sentence 4.12.2.27.17 of this Exception, maximum encroachment of a <b>first storey porch</b> inclusive of stairs into the required <b>rear yard</b>		2.5 m
4.12.2.27.9	Notwithstanding Sentence 4.12.2.27.17 of this Exception, maximum encroachment of a second <b>storey balcony</b> into the required <b>rear yard</b>		2.5 m
4.12.2.27.10	Notwithstanding Sentence 4.12.2.27.17 of this Exception, maximum area of a second <b>storey balcony</b> in the <b>rear yard</b>		6 m <sup>2</sup>
4.12.2.27.11	Notwithstanding Sentence 4.12.2.27.17 of this Exception, maximum encroachment of a building projection above the <b>first storey</b> that is not more than 3.0 m wide with windows and/or doors covering a minimum of 15% of the total projection into a required <b>yard</b>		0.61 m
4.12.2.27.12	Notwithstanding Sentence 4.12.2.27.17 of this Exception, maximum encroachment of eaves into a required <b>yard</b>		0.61 m
4.12.2.27.13	External heating, air conditioning, home back-up generator may be located in a <b>yard</b> , other than the <b>front yard</b> provided it is not closer than 0.1 m to any <b>lot line</b>		
4.12.2.27.14	Required number of visitor <b>parking spaces</b>		5
4.12.2.27.15	Maximum <b>driveway</b> width		3.4 m
4.12.2.27.16	<b>CEC - roads and aisles</b> are permitted to be shared with abutting lands zoned RM6-26 and RM11-1		

**Exception RM6-27 continued on next page**

**Part 4 - Residential Zones**

4.12.2.27	Exception: RM6-27	Map # 57	By-law: 0209-2021
<b>Exception RM6-27 continued from previous page</b>			
4.12.2.27.17	All site development plans shall comply with Schedule RM6-27 of this Exception		
<b>Holding Provision</b>			
<p>The holding symbol H is to be removed from the whole or any part of the lands zoned H-RM6-27 by further amendment to Map 57 of Schedule B contained in Part 13 of this By-law, as amended, upon satisfaction of the following requirements:</p> <ol style="list-style-type: none"> <li>(1) confirmation from the City of Mississauga ("City") Transportation and Works Department that the temporary turning circle is no longer required;</li> <li>(2) confirmation from the City Fire and Emergency Services that the temporary emergency access lane is no longer required.</li> </ol>			

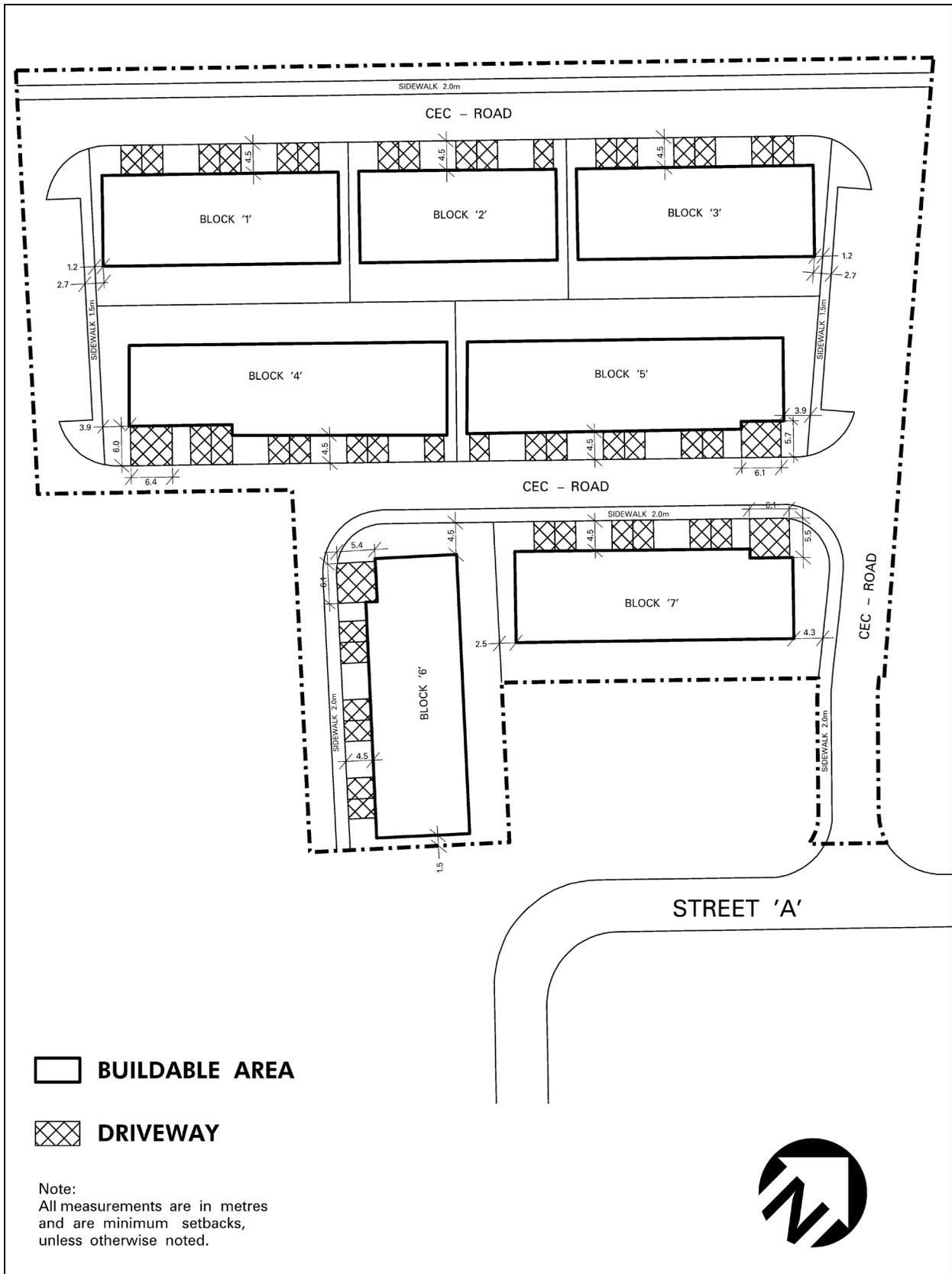


**Schedule RM6-27**  
Map 57

**Part 4 - Residential Zones**

4.12.2.28	Exception: RM6-28	Map # 57	By-law: 0209-2021
<p>In a RM6-28 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM6 zone except that the following <b>uses/regulations</b> shall apply:</p>			
<b>Regulations</b>			
4.12.2.28.1	The provisions contained in Article 4.1.5.9 of this By-law shall not apply		
4.12.2.28.2	Minimum <b>lot area - CEC - corner lot</b>		155 m <sup>2</sup>
4.12.2.28.3	Minimum <b>lot frontage - CEC - corner lot</b>		7.8 m
4.12.2.28.4	Notwithstanding Sentence 4.12.2.28.19 of this Exception, minimum <b>front yard - garage face</b>		6.0 m
4.12.2.28.5	Minimum <b>rear yard - interior lot/CEC - corner lot</b>		6.0 m
4.12.2.28.6	Maximum <b>height</b>		15.0 m and 3 <b>storeys</b>
4.12.2.28.7	Notwithstanding Sentence 4.12.2.28.19 of this Exception, maximum encroachment of a <b>porch</b> inclusive of stairs into the required <b>front yard</b>		1.5 m
4.12.2.28.8	Notwithstanding Sentence 4.12.2.28.19 of this Exception, maximum encroachment of a <b>porch</b> inclusive of stairs into the required <b>exterior side yard</b> for Blocks '4' to '7'		1.5 m
4.12.2.28.9	Notwithstanding Sentence 4.12.2.28.19 of this Exception, maximum encroachment of a <b>first storey porch</b> inclusive of stairs into the required <b>rear yard</b>		2.5 m
4.12.2.28.10	Notwithstanding Sentence 4.12.2.28.19 of this Exception, maximum encroachment of a second <b>storey balcony</b> into the required <b>front yard</b>		1.5 m
4.12.2.28.11	Notwithstanding Sentence 4.12.2.28.19 of this Exception, maximum encroachment of a second <b>storey balcony</b> into the required <b>rear yard</b>		2.5 m
4.12.2.28.12	Notwithstanding Sentence 4.12.2.28.19 of this Exception, maximum area of a second <b>storey balcony</b> in the <b>rear yard</b>		6 m <sup>2</sup>
4.12.2.28.13	Notwithstanding Sentence 4.12.2.28.19 of this Exception, maximum encroachment of a building projection above the <b>first storey</b> that is not more than 3.0 m wide with windows and/or doors covering a minimum of 15% of the total projection into a required <b>yard</b>		0.61 m
4.12.2.28.14	Notwithstanding Sentence 4.12.2.28.19 of this Exception, maximum encroachment of eaves into a required <b>yard</b>		0.61 m
4.12.2.28.15	External heating, air conditioning, home back-up generator may be located in a <b>yard</b> , other than the <b>front yard</b> provided it is not closer than 0.1 m to any <b>lot line</b>		
4.12.2.28.16	Required number of visitor <b>parking spaces</b>		26
4.12.2.28.17	Maximum <b>driveway</b> width		3.4 m
4.12.2.28.18	<b>CEC - roads and aisles</b> are permitted to be shared with abutting lands zoned RM11-1		
4.12.2.28.19	All site development plans shall comply with Schedule RM6-28 of this Exception		

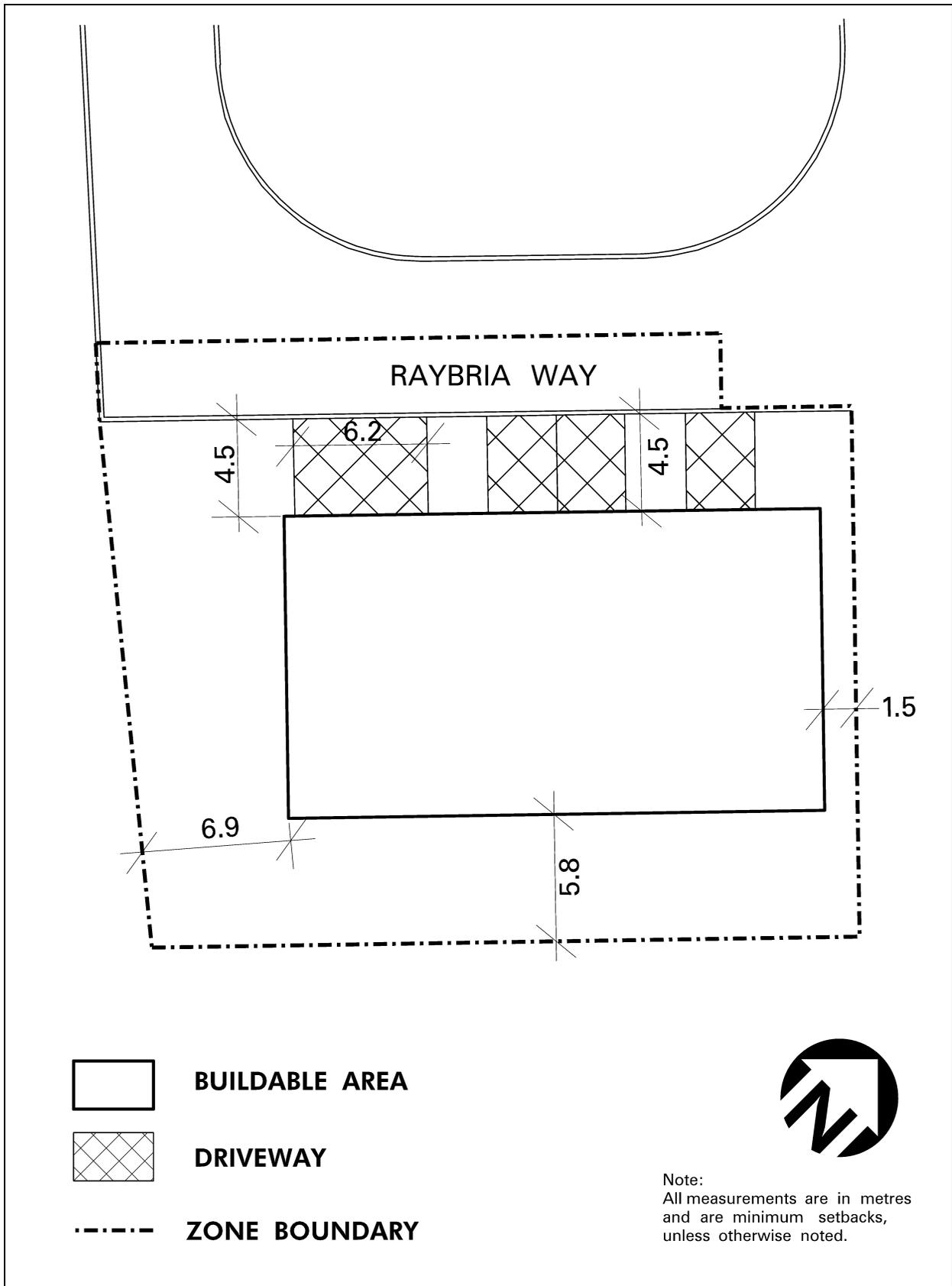
Part 4 - Residential Zones



Schedule RM6-28  
Map 57

**Part 4 - Residential Zones**

4.12.2.29	Exception: RM6-29	Map # 57	By-law: 0005-2023
<p>In a RM6-29 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM6 zone except that the following <b>uses/regulations</b> shall apply:</p>			
<b>Regulations</b>			
4.12.2.29.1	The provisions contained in Articles 2.1.3.1 and 4.1.5.9 of this By-law shall not apply		
4.12.2.29.2	Notwithstanding Sentence 4.12.2.29.17 of this Exception, minimum <b>front yard - garage face</b>		6.0 m
4.12.2.29.3	Maximum <b>height</b>		15.0 m and 3 storeys
4.12.2.29.4	Minimum <b>landscaped area</b>		24% of the <b>lot area</b>
4.12.2.29.5	Notwithstanding Sentence 4.12.2.29.17 of this Exception, maximum projection of a <b>porch</b> inclusive of stairs outside the <b>buildable area</b> and into the required <b>front yard</b>		1.5 m
4.12.2.29.6	Notwithstanding Sentence 4.12.2.29.17 of this Exception, maximum projection of a <b>porch</b> inclusive of stairs outside the <b>buildable area</b> and into the required <b>exterior side yard</b>		1.8 m
4.12.2.29.7	Notwithstanding Sentence 4.12.2.29.17 of this Exception, maximum projection of a <b>first storey porch</b> inclusive of stairs outside the <b>buildable area</b> and into the required <b>rear yard</b>		2.5 m
4.12.2.29.8	Notwithstanding Sentence 4.12.2.29.17 of this Exception, maximum projection of a second <b>storey balcony</b> outside the <b>buildable area</b> and into the required <b>front yard</b>		1.5 m
4.12.2.29.9	Notwithstanding Sentence 4.12.2.29.17 of this Exception, maximum projection of a second <b>storey balcony</b> outside the <b>buildable area</b> and into the required <b>rear yard</b>		2.5 m
4.12.2.29.10	Notwithstanding Sentence 4.12.2.29.17 of this Exception, maximum area of a second <b>storey balcony</b> in the <b>rear yard</b>		6 m <sup>2</sup>
4.12.2.29.11	Notwithstanding Sentence 4.12.2.29.17 of this Exception, maximum projection of a <b>building</b> above the <b>first storey</b> and outside the <b>buildable area</b> that is not more than 3.0 m wide with windows and/or doors covering a minimum of 15% of the total projection into a required <b>yard</b>		0.61 m
4.12.2.29.12	Notwithstanding Sentence 4.12.2.29.17 of this Exception, maximum projection of eaves outside the <b>buildable area</b> and into a required <b>yard</b>		0.61 m
4.12.2.29.13	External heating, air conditioning, home back-up generator may be located in a <b>yard</b> , other than the <b>front yard</b> provided it is not closer than 0.1 m to any <b>lot line</b>		
4.12.2.29.14	Minimum number of visitor <b>parking spaces</b> per <b>dwelling unit</b>		0
4.12.2.29.15	Maximum <b>driveway</b> width		3.4 m
4.12.2.29.16	<b>CEC - roads and aisles</b> are permitted to be shared with abutting lands zoned RM11-2		
4.12.2.29.17	All site development plans shall comply with Schedule RM6-29 of this Exception		



**Schedule RM6-29**  
Map 57

Part 4 - Residential Zones

4.12.2.30	Exception: RM6-30	Map #	By-law:

4.12.2.31	Exception: RM6-31	Map #	By-law:

4.12.2.32	Exception: RM6-32	Map #	By-law:

4.12.2.33	Exception: RM6-33	Map #	By-law:

4.12.2.34	Exception: RM6-34	Map #	By-law:

Part 4 - Residential Zones

4.12.2.35	Exception: RM6-35	Map #	By-law:

4.12.2.36	Exception: RM6-36	Map #	By-law:

4.12.2.37	Exception: RM6-37	Map #	By-law:

4.12.2.38	Exception: RM6-38	Map #	By-law:

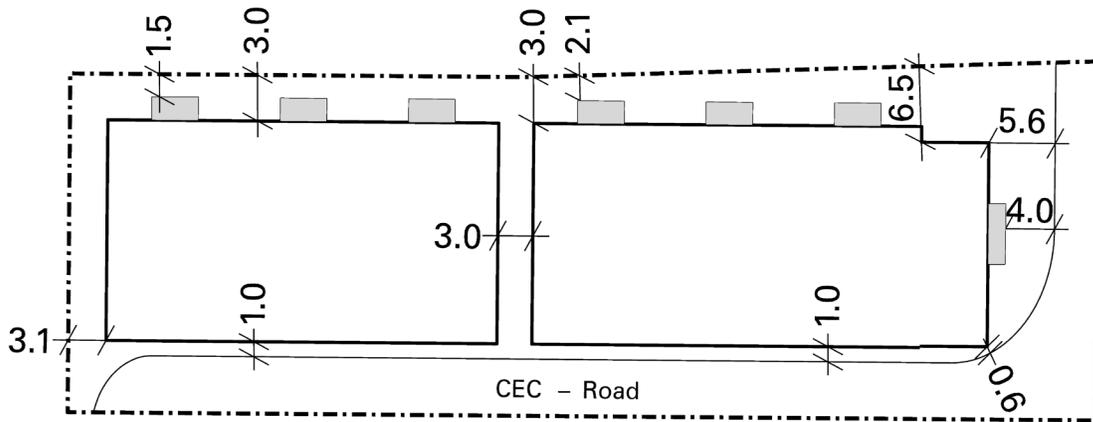
**Part 4 - Residential Zones**

4.12.2.39	Exception: RM6-39	Map # 44E	By-law: 0105-2024
In a RM6-39 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM6 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.12.2.39.1	The provisions contained in Subsection 2.1.14 of this By-law shall not apply		
4.12.2.39.2	Minimum <b>lot area - interior lot</b>		100 m <sup>2</sup>
4.12.2.39.3	Minimum <b>lot area - CEC - corner lot</b>		160 m <sup>2</sup>
4.12.2.39.4	Minimum setback from a <b>garage face</b> to a <b>CEC - road</b> or <b>CEC - sidewalk</b>		1.0 m
4.12.2.39.5	For the purposes of this By-law, all lands zoned RM6-39 shall be considered a <b>townhouse</b> on a <b>CEC - road</b>		
4.12.2.39.6	Maximum <b>height</b>		15.0 m and 3 <b>storeys</b>
4.12.2.39.7	Minimum <b>landscaped area</b>		10% of the <b>lot area</b>
4.12.2.39.8	Total number of shared visitor <b>parking spaces</b> provided for all lands zoned RM6-39, RM6-40 and RM11-8		30
4.12.2.39.9	CEC - visitor <b>parking spaces</b> shall be provided within a <b>common element</b> area and on abutting lands zoned RM6-40 and RM11-8		
4.12.2.39.10	Maximum <b>driveway</b> width		5.5 m
4.12.2.39.11	<b>CEC - roads</b> and <b>aisles</b> are permitted to be shared with abutting lands zoned RM6-40, RM11-8 and C2		
4.12.2.39.12	All site development plans shall comply with Schedule RM6-39 of this Exception		

**Exception RM6-39 continued on next page**

4.12.2.39	Exception: RM6-39	Map # 44E	By-law: 0105-2024
<b>Exception RM6-39 continued from previous page</b>			
<b>Holding Provision</b>			
<p>The holding symbol H is to be removed from the whole or any part of the lands zoned H-RM6-39 by further amendment to Map 44E of Schedule B contained in Part 13 of this By-law, as amended, upon satisfaction of the following requirements:</p> <ol style="list-style-type: none"> <li>(1) delivery of an executed Development Agreement with Municipal and Regional Infrastructure Schedules in a form and on terms satisfactory to The Corporation of the City of Mississauga ("City");</li> <li>(2) submission of a Draft Reference Plan illustrating the required land dedications, conveyances, and easements including part block numbers, to the satisfaction of the City and the Region of Peel ("Region");</li> <li>(3) gratuitous dedication of lands to achieve the ultimate 50.5 m right-of-way of Regional Road 5 (Derry Road West), as well as a 0.3 m reserve, to the satisfaction of the Region;</li> <li>(4) submission of a revised Functional Servicing and Stormwater Management Report to the satisfaction of the City's Transportation and Works Department and the Region;</li> <li>(5) submission of a revised Traffic Impact Study (TIS) to the satisfaction of the City's Transportation and Works Department, Municipal Parking Section, and the Region;</li> <li>(6) submission of a detailed engineering submission for the road and access works impacting Derry Road West, to the satisfaction of the Region;</li> <li>(7) submission of revised Grading and Servicing Plans to the satisfaction of the City's Transportation and Works and Planning and Building Departments;</li> <li>(8) submission of a revised Noise Feasibility Study to the satisfaction of the City's Planning and Building Department;</li> <li>(9) submission of a revised Phase One and Phase Two Environmental Site Assessment, Storm Sewer Use By-law Acknowledgment and related documents required for environmental compliance to the satisfaction of the City's Transportation and Works Department;</li> <li>(10) submission of a revised Tree Inventory/Survey, Tree Preservation Plan, and Arborist Report to the satisfaction of the City's Planning and Building Department.</li> </ol>			

# DERRY ROAD WEST



-  **BUILDABLE AREA**
-  **ZONE BOUNDARY**
-  **PORCH**



Note:  
All measurements are in metres  
and are minimum setbacks or  
dimensions, unless otherwise noted.

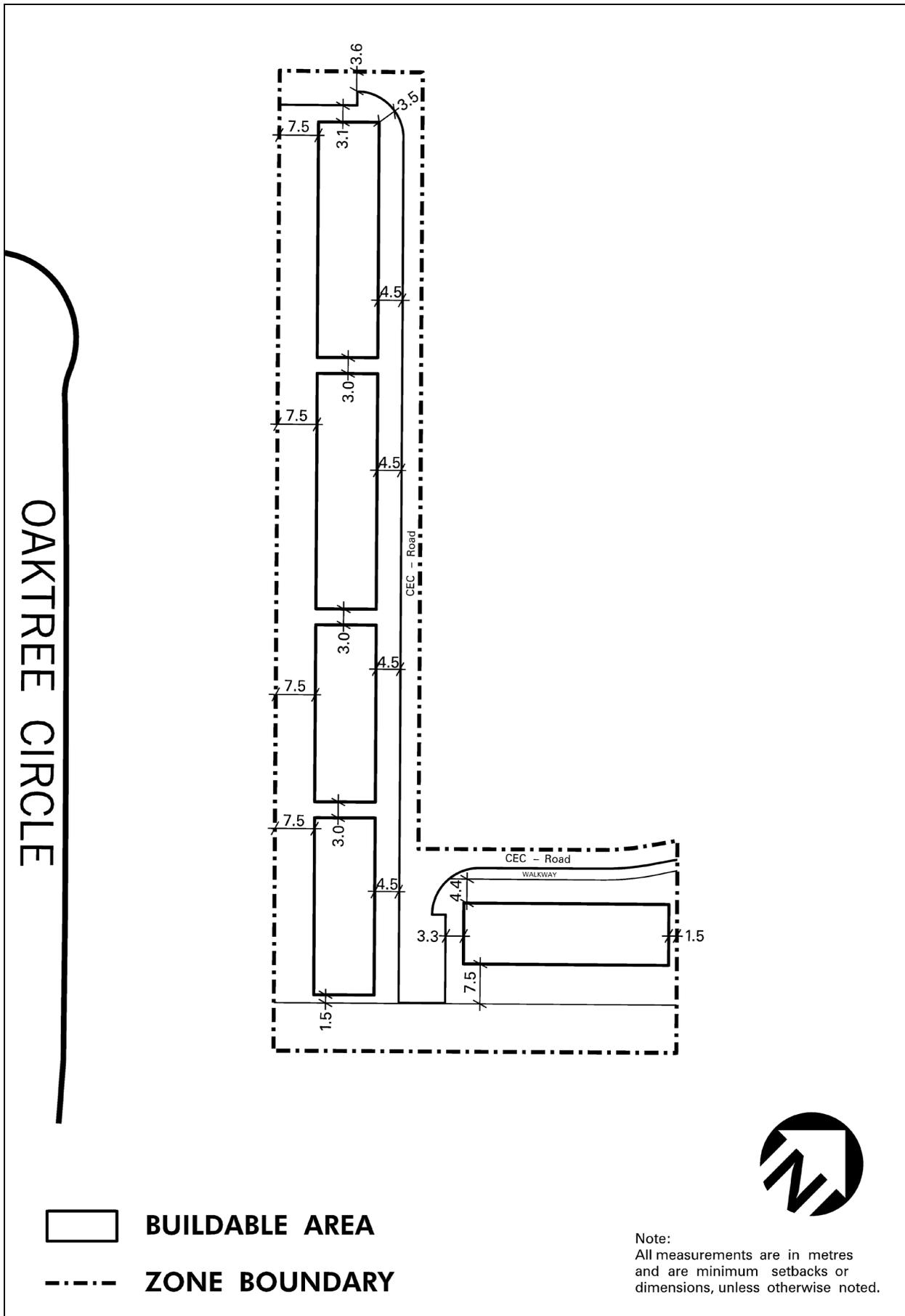
**Schedule RM6-39**  
Map 44E

**Part 4 - Residential Zones**

4.12.2.40	Exception: RM6-40	Map # 44E	By-law: 0105-2024
In a RM6-40 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM6 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.12.2.40.1	Minimum <b>lot area - CEC - corner lot</b>		168 m <sup>2</sup>
4.12.2.40.2	Minimum <b>lot frontage - CEC - corner lot</b>		7.2 m
4.12.2.40.3	Maximum <b>height</b>		15.0 m and 3 <b>storeys</b>
4.12.2.40.4	Minimum <b>landscaped area</b>		10% of the <b>lot area</b>
4.12.2.40.5	A <b>porch</b> or <b>deck</b> , inclusive of stairs and a <b>balcony</b> may project outside the <b>buildable area</b> identified on Schedule RM6-40 of this Exception		
4.12.2.40.6	Notwithstanding Sentence 4.12.2.40.10 of this Exception, a <b>porch, deck, or balcony</b> shall comply with the regulations of Lines 12.1, 12.3, 12.4 and 12.5 contained in Table 4.12.1 of this By-law		
4.12.2.40.7	Total number of shared visitor <b>parking spaces</b> provided for all lands zoned RM6-39, RM6-40 and RM11-8		30
4.12.2.40.8	CEC - visitor <b>parking spaces</b> shall be provided within a <b>common element</b> area and on abutting lands zoned RM6-39 and RM11-8		
4.12.2.40.9	<b>CEC - roads and aisles</b> are permitted to be shared with abutting lands zoned RM6-39, RM11-8 and C2		
4.12.2.40.10	All site development plans shall comply with Schedule RM6-40 of this Exception		

**Exception RM6-40 continued on next page**

4.12.2.40	Exception: RM6-40	Map # 44E	By-law: 0105-2024
<b>Exception RM6-40 continued from previous page</b>			
<b>Holding Provision</b>			
<p>The holding symbol H is to be removed from the whole or any part of the lands zoned H-RM6-40 by further amendment to Map 44E of Schedule B contained in Part 13 of this By-law, as amended, upon satisfaction of the following requirements:</p> <ol style="list-style-type: none"> <li>(1) delivery of an executed Development Agreement with Municipal and Regional Infrastructure Schedules in a form and on terms satisfactory to The Corporation of the City of Mississauga ("City");</li> <li>(2) submission of a Draft Reference Plan illustrating the required land dedications, conveyances, and easements including part block numbers, to the satisfaction of the City and the Region of Peel ("Region");</li> <li>(3) gratuitous dedication of lands to achieve the ultimate 50.5 m right-of-way of Regional Road 5 (Derry Road West), as well as a 0.3 m reserve, to the satisfaction of the Region;</li> <li>(4) submission of a revised Functional Servicing and Stormwater Management Report to the satisfaction of the City's Transportation and Works Department and the Region;</li> <li>(5) submission of a revised Traffic Impact Study (TIS) to the satisfaction of the City's Transportation and Works Department, Municipal Parking Section, and the Region;</li> <li>(6) submission of a detailed engineering submission for the road and access works impacting Derry Road West, to the satisfaction of the Region;</li> <li>(7) submission of revised Grading and Servicing Plans to the satisfaction of the City's Transportation and Works and Planning and Building Departments;</li> <li>(8) submission of a revised Noise Feasibility Study to the satisfaction of the City's Planning and Building Department;</li> <li>(9) submission of a revised Phase One and Phase Two Environmental Site Assessment, Storm Sewer Use By-law Acknowledgment and related documents required for environmental compliance to the satisfaction of the City's Transportation and Works Department;</li> <li>(10) submission of a revised Tree Inventory/Survey, Tree Preservation Plan, and Arborist Report to the satisfaction of the City's Planning and Building Department.</li> </ol>			



**Schedule RM6-40**  
 Map 44E