

4.11	RM5 ZONE (STREET TOWNHOUSES)
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4.11.1 RM5 Permitted Uses and Zone Regulations

All **buildings** and **structures** shall comply with the provisions contained in Parts 1 to 3 and Section 4.1 of this By-law, and the **uses** and zone regulations specified within the applicable zone column contained in Table 4.11.1 - RM5 Permitted Uses and Zone Regulations.

Table 4.11.1 - RM5 Permitted Uses and Zone Regulations
(0174-2017), (0181-2018/LPAT Order 2019 February 15), (0182-2024)

Column A		B
Line 1.0	ZONES	RM5
PERMITTED USES		
2.0	RESIDENTIAL	
2.1	Street Townhouse	✓
ZONE REGULATIONS		
3.0	MINIMUM LOT AREA	
3.1	Interior lot	200 m ²
3.2	Corner lot	280 m ²
4.0	MINIMUM LOT FRONTAGE	
4.1	Interior lot	6.8 m
4.2	Corner lot	9.8 m
5.0	MINIMUM FRONT YARD	4.5 m ⁽¹⁾
5.1	Garage face	6.0 m
6.0	MINIMUM EXTERIOR SIDE YARD	4.5 m ⁽¹⁾
6.1	Garage face	6.0 m
7.0	MINIMUM INTERIOR SIDE YARD	
7.1	Attached side	0.0 m
7.2	Unattached side	1.5 m ⁽¹⁾
7.3	Attached garage - unattached side	1.2 m ⁽¹⁾
8.0	MINIMUM REAR YARD	7.5 m ⁽¹⁾
9.0	MAXIMUM HEIGHT	10.7 m and 3 storeys
10.0	MINIMUM LANDSCAPED AREA	25% of the lot area
11.0	MAXIMUM GROSS FLOOR AREA - RESIDENTIAL	0.75 times the lot area
12.0	ATTACHED GARAGE, PARKING AND DRIVEWAY	
12.1	Attached garage	Required ⁽²⁾
12.2	Minimum parking spaces	✓ ⁽³⁾⁽⁴⁾
12.3	Maximum driveway width	✓ ⁽⁴⁾
13.0	ACCESSORY BUILDINGS AND STRUCTURES	✓ ⁽⁵⁾

- NOTES:**
- (1) See also Subsections 4.1.7 and 4.1.8 of this By-law.
 - (2) See Subsection 4.1.12 of this By-law.
 - (3) See Part 3 of this By-law.
 - (4) See Subsection 4.1.9 of this By-law.
 - (5) See Subsection 4.1.2 of this By-law.

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4.11.2 RM5 Exception Zones

Refer to Article 1.1.2.3 - Exception Zones and Exception Zone Schedules

4.11.2.1	Exception: RM5-1	Map # 21	By-law:
In a RM5-1 zone the permitted uses and applicable regulations shall be as specified for a RM5 zone except that the following uses/regulations shall apply:			
Regulations			
4.11.2.1.1	Minimum lot frontage		6.0 m
4.11.2.1.2	Minimum front yard		7.5 m
4.11.2.1.3	Minimum exterior side yard		7.5 m
4.11.2.1.4	Minimum interior side yard		3.0 m
4.11.2.1.5	Minimum rear yard		10.5 m

4.11.2.2	Exception: RM5-2	Map # 16, 17	By-law:
In a RM5-2 zone the permitted uses and applicable regulations shall be as specified for a RM5 zone except that the following uses/regulations shall apply:			
Additional Permitted Use			
4.11.2.2.1	(1)	Linked Dwelling	

4.11.2.3	Exception: RM5-3	Map # 09, 10, 28, 38E	By-law: 0174-2017, 0048-2025
In a RM5-3 zone the permitted uses and applicable regulations shall be as specified for a RM5 zone except that the following uses/regulations shall apply:			
Additional Permitted Uses			
4.11.2.3.1	(1)	Detached Dwelling	
	(2)	Semi-Detached	
Regulations			
4.11.2.3.2	A detached dwelling shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law		
4.11.2.3.3	A semi-detached shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law		

4.11.2.4	Exception: RM5-4	Map # 16	By-law:
In a RM5-4 zone the permitted uses and applicable regulations shall be as specified for a RM5 zone except that the following uses/regulations shall apply:			
Regulation			
4.11.2.4.1	Minimum rear yard - interior lot		15.0 m

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4.11.2.5	Exception: RM5-5	Map # 28, 39E	By-law: 0174-2017, 0048-2025
In a RM5-5 zone the permitted uses and applicable regulations shall be as specified for a RM5 zone except that the following uses/regulations shall apply:			
Additional Permitted Uses			
4.11.2.5.1	(1) Detached Dwelling (2) Semi-Detached		
Regulations			
4.11.2.5.2	A detached dwelling shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1) minimum lot area - interior lot		275 m ²
	(2) minimum lot frontage - interior lot		9.0 m
4.11.2.5.3	A semi-detached shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law		

4.11.2.6	Exception: RM5-6	Map # 30	By-law:
In a RM5-6 zone the permitted uses and applicable regulations shall be as specified for a RM5 zone except that the following uses/regulations shall apply:			
Regulations			
4.11.2.6.1	Minimum lot area - interior lot		275 m ²
4.11.2.6.2	Minimum lot area - corner lot		395 m ²
4.11.2.6.3	Minimum lot frontage - interior lot		9.0 m
4.11.2.6.4	Minimum lot frontage - corner lot		13.0 m
4.11.2.6.5	Minimum front yard		6.0 m
4.11.2.6.6	Minimum setback from a habitable room to the street line		10.0 m

4.11.2.7	Exception: RM5-7	Map # 28	By-law: 0174-2017, 0048-2025
In a RM5-7 zone the permitted uses and applicable regulations shall be as specified for a RM5 zone except that the following uses/regulations shall apply:			
Additional Permitted Use			
4.11.2.7.1	(1) Semi-Detached		
Regulations			
4.11.2.7.2	A semi-detached shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1) minimum lot area - interior lot		240 m ²
	(2) minimum lot area - corner lot		375 m ²
	(3) minimum lot frontage - interior lot		8.0 m
	(4) minimum lot frontage - corner lot		12.5 m

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4.11.2.8	Exception: RM5-8	Map # 37E	By-law: 0048-2025
In a RM5-8 zone the permitted uses and applicable regulations shall be as specified for a RM5 zone except that the following uses/regulations shall apply:			
Additional Permitted Use			
4.11.2.8.1	(1)	Detached Dwelling	
Regulations			
4.11.2.8.2	A detached dwelling shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1)	minimum lot area - interior lot	275 m ²
	(2)	maximum lot coverage	45%

4.11.2.9	Exception: RM5-9	Map # 37W	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RM5-9 zone the permitted uses and applicable regulations shall be as specified for a RM5 zone except that the following uses/regulations shall apply:			
Additional Permitted Use			
4.11.2.9.1	(1)	Semi-Detached	
Regulations			
4.11.2.9.2	Street Townhouse:		
	(1)	minimum rear yard - where a lot includes a natural protection area , shall be measured from the natural protection area identified on Schedule RM5-9 of this Exception and not from the rear lot line	
	(2)	the area identified on Schedule RM5-9 of this Exception as a natural protection area shall comply with the following:	
	(2.1)	the natural protection area shall only be used for the protection and natural regeneration of the existing woodlot, including trees and vegetation, together with the planting of trees and vegetation intended to ensure the retention of the existing woodlot	
	(2.2)	all buildings and structures , swimming pools , tennis courts or any like recreational or other facilities shall not be permitted within the natural protection area	
	(2.3)	outdoor storage of equipment and materials shall not be permitted within the natural protection area	
	(2.4)	fencing shall only be permitted on the perimeter of the natural protection area and not within the natural protection area	
	(3)	all site development plans shall comply with Schedule RM5-9 of this Exception	

Exception RM5-9 continued on next page

4.11.2.9	Exception: RM5-9	Map # 37W	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025
Exception RM5-9 continued from previous page			
4.11.2.9.3	<p>A semi-detached shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:</p> <ul style="list-style-type: none"> (1) the regulations of Line 5.0 contained in Table 4.2.1 of this By-law shall not apply (2) minimum lot area - interior lot 195 m² (3) minimum lot frontage - interior lot 6.5 m (4) maximum gross floor area - residential 0.75 times the lot area (5) minimum rear yard - where a lot includes a natural protection area, shall be measured from the natural protection area identified on Schedule RM5-9 of this Exception and not from the rear lot line (6) the area identified on Schedule RM5-9 of this Exception as a natural protection area shall comply with the following: <ul style="list-style-type: none"> (6.1) the natural protection area shall only be used for the protection and natural regeneration of the existing woodlot, including trees and vegetation, together with the planting of trees and vegetation intended to ensure the retention of the existing woodlot (6.2) all buildings and structures, swimming pools, tennis courts or any like recreational or other facilities shall not be permitted within the natural protection area (6.3) outdoor storage of equipment and materials shall not be permitted within the natural protection area (6.4) fencing shall only be permitted on the perimeter of the natural protection area and not within the natural protection area (7) all site development plans shall comply with Schedule RM5-9 of this Exception 		

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4.11.2.10	Exception: RM5-10	Map # 06	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025																				
<p>In a RM5-10 zone the permitted uses and applicable regulations shall be as specified for a RM5 zone except that the following uses/regulations shall apply:</p>																							
<p>Additional Permitted Uses</p>																							
4.11.2.10.1	(1) Detached Dwelling (2) Semi-Detached																						
<p>Regulations</p>																							
4.11.2.10.2	<p>Street Townhouse:</p> <table border="0"> <tr> <td>(1) minimum lot area - interior lot</td> <td align="right">100 m²</td> </tr> <tr> <td>(2) minimum lot frontage - interior lot</td> <td align="right">4.0 m</td> </tr> <tr> <td>(3) maximum lot coverage</td> <td align="right">55%</td> </tr> <tr> <td>(4) minimum setback to garage face</td> <td align="right">4.5 m</td> </tr> <tr> <td>(5) minimum interior side yard - unattached side</td> <td align="right">1.2 m</td> </tr> <tr> <td>(6) minimum rear yard unless otherwise identified on Schedule RM5-10 of this Exception</td> <td align="right">7.5 m</td> </tr> <tr> <td>(7) minimum parking spaces per dwelling unit, one of which may be partially located on adjacent lands zoned U</td> <td align="right">3</td> </tr> <tr> <td>(8) maximum driveway width</td> <td align="right">3.0 m</td> </tr> <tr> <td>(9) all site development plans shall comply with Schedule RM5-10 of this Exception</td> <td></td> </tr> </table>			(1) minimum lot area - interior lot	100 m ²	(2) minimum lot frontage - interior lot	4.0 m	(3) maximum lot coverage	55%	(4) minimum setback to garage face	4.5 m	(5) minimum interior side yard - unattached side	1.2 m	(6) minimum rear yard unless otherwise identified on Schedule RM5-10 of this Exception	7.5 m	(7) minimum parking spaces per dwelling unit , one of which may be partially located on adjacent lands zoned U	3	(8) maximum driveway width	3.0 m	(9) all site development plans shall comply with Schedule RM5-10 of this Exception			
(1) minimum lot area - interior lot	100 m ²																						
(2) minimum lot frontage - interior lot	4.0 m																						
(3) maximum lot coverage	55%																						
(4) minimum setback to garage face	4.5 m																						
(5) minimum interior side yard - unattached side	1.2 m																						
(6) minimum rear yard unless otherwise identified on Schedule RM5-10 of this Exception	7.5 m																						
(7) minimum parking spaces per dwelling unit , one of which may be partially located on adjacent lands zoned U	3																						
(8) maximum driveway width	3.0 m																						
(9) all site development plans shall comply with Schedule RM5-10 of this Exception																							
4.11.2.10.3	<p>A detached dwelling shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:</p> <table border="0"> <tr> <td>(1) minimum lot area - interior lot</td> <td align="right">190 m²</td> </tr> <tr> <td>(2) minimum lot area - corner lot</td> <td align="right">210 m²</td> </tr> <tr> <td>(3) minimum lot frontage - interior lot</td> <td align="right">8.0 m</td> </tr> <tr> <td>(4) minimum lot frontage - corner lot</td> <td align="right">9.5 m</td> </tr> <tr> <td>(5) minimum exterior side yard</td> <td align="right">1.4 m</td> </tr> <tr> <td>(6) minimum setback to garage face</td> <td align="right">4.5 m</td> </tr> <tr> <td>(7) minimum interior side yard - unattached side</td> <td align="right">0.6 m</td> </tr> <tr> <td>(8) minimum rear yard unless otherwise identified on Schedule RM5-10 of this Exception</td> <td align="right">7.5 m</td> </tr> <tr> <td>(9) minimum parking spaces per dwelling unit, one of which may be partially located on adjacent lands zoned U</td> <td align="right">3</td> </tr> <tr> <td>(10) all site development plans shall comply with Schedule RM5-10 of this Exception</td> <td></td> </tr> </table>			(1) minimum lot area - interior lot	190 m ²	(2) minimum lot area - corner lot	210 m ²	(3) minimum lot frontage - interior lot	8.0 m	(4) minimum lot frontage - corner lot	9.5 m	(5) minimum exterior side yard	1.4 m	(6) minimum setback to garage face	4.5 m	(7) minimum interior side yard - unattached side	0.6 m	(8) minimum rear yard unless otherwise identified on Schedule RM5-10 of this Exception	7.5 m	(9) minimum parking spaces per dwelling unit , one of which may be partially located on adjacent lands zoned U	3	(10) all site development plans shall comply with Schedule RM5-10 of this Exception	
(1) minimum lot area - interior lot	190 m ²																						
(2) minimum lot area - corner lot	210 m ²																						
(3) minimum lot frontage - interior lot	8.0 m																						
(4) minimum lot frontage - corner lot	9.5 m																						
(5) minimum exterior side yard	1.4 m																						
(6) minimum setback to garage face	4.5 m																						
(7) minimum interior side yard - unattached side	0.6 m																						
(8) minimum rear yard unless otherwise identified on Schedule RM5-10 of this Exception	7.5 m																						
(9) minimum parking spaces per dwelling unit , one of which may be partially located on adjacent lands zoned U	3																						
(10) all site development plans shall comply with Schedule RM5-10 of this Exception																							

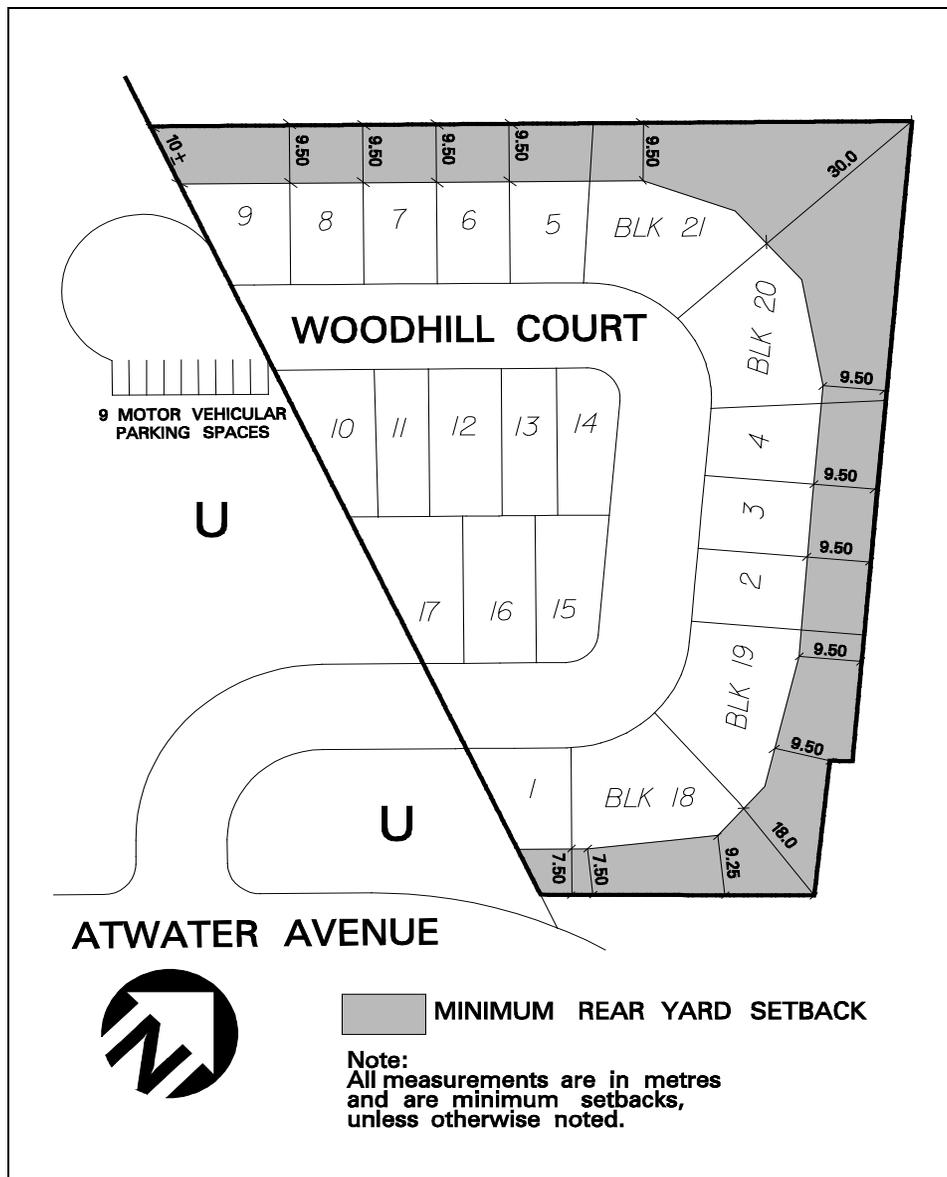
Exception RM5-10 continued on next page

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4.11.2.10	Exception: RM5-10	Map # 06	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025
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Exception RM5-10 continued from previous page

4.11.2.10.4	A semi-detached shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:		
(1)	the regulations of Line 5.0 contained in Table 4.2.1 of this By-law shall not apply		
(2)	minimum lot area - interior lot		130 m ²
(3)	minimum lot frontage - interior lot		5.2 m
(4)	maximum lot coverage		40%
(5)	minimum setback to garage face		4.5 m
(6)	minimum interior side yard - unattached side		1.2 m
(7)	minimum rear yard unless otherwise identified on Schedule RM5-10 of this Exception		7.5 m
(8)	minimum parking spaces per dwelling unit , one of which may be partially located on adjacent lands zoned U		3
(9)	maximum driveway width		3.8 m
(10)	all site development plans shall comply with Schedule RM5-10 of this Exception		



Schedule RM5-10
Map 06

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4.11.2.11	Exception: RM5-11	Map # 36E, 56	By-law:
In a RM5-11 zone the permitted uses and applicable regulations shall be as specified for a RM5 zone except that the following uses/regulations shall apply:			
Regulations			
4.11.2.11.1	Minimum lot area - interior lot		165 m ²
4.11.2.11.2	Minimum lot frontage - interior lot		5.5 m
4.11.2.11.3	Maximum gross floor area - residential		1.0 times the lot area

4.11.2.12	Exception: RM5-12	Map # 37W, 38E, 53E, 53W, 56	By-law: 0174-2017, 0048-2025
In a RM5-12 zone the permitted uses and applicable regulations shall be as specified for a RM5 zone except that the following uses/regulations shall apply:			
Additional Permitted Use			
4.11.2.12.1	(1) Semi-Detached		
Regulation			
4.11.2.12.2	A semi-detached shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1)	the regulations of Line 5.0 contained in Table 4.2.1 of this By-law shall not apply	
	(2)	maximum gross floor area - residential	0.75 times the lot area

4.11.2.13	Exception: RM5-13	Map # 37W, 38E, 55, 56	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RM5-13 zone the permitted uses and applicable regulations shall be as specified for a RM5 zone except that the following uses/regulations shall apply:			
Additional Permitted Uses			
4.11.2.13.1	(1) Detached Dwelling		
	(2) Semi-Detached		
Regulations			
4.11.2.13.2	Street Townhouse:		
	(1)	minimum rear yard - where lands abut a B zone	15.0 m
4.11.2.13.3	A detached dwelling shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1)	minimum rear yard - where lands abut a B zone	15.0 m
4.11.2.13.4	A semi-detached shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1)	the regulations of Line 5.0 contained in Table 4.2.1 of this By-law shall not apply	
	(2)	maximum gross floor area - residential	0.75 times the lot area
	(3)	minimum rear yard - where lands abut a B zone	15.0 m

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4.11.2.14	Exception: RM5-14	Map # 45E	By-law: 0181-2018/LPAT Order 2019 February 15
In a RM5-14 zone the permitted uses and applicable regulations shall be as specified for a RM5 zone except that the following uses/regulations shall apply:			
Regulations			
4.11.2.14.1	The lot line abutting a street with a width of 20.0 m or greater shall be deemed to be the front lot line		
4.11.2.14.2	Minimum exterior side yard		3.3 m
4.11.2.14.3	A detached garage shall be permitted only in the rear yard		
4.11.2.14.4	Minimum setback from a detached garage to the rear lot line		5.2 m
4.11.2.14.5	Minimum setback from a detached garage located in the rear yard to a street townhouse		7.5 m

4.11.2.15	Exception: RM5-15	Map # 53W	By-law:
In a RM5-15 zone the permitted uses and applicable regulations shall be as specified for a RM5 zone except that the following uses/regulations shall apply:			
Regulations			
4.11.2.15.1	Minimum lot area - interior lot		180 m ²
4.11.2.15.2	Minimum lot area - corner lot		250 m ²
4.11.2.15.3	Minimum exterior side yard		3.6 m
4.11.2.15.4	Maximum encroachment of a porch into the required front and exterior side yards		1.8 m
4.11.2.15.5	Minimum length of a parking space located on a driveway where lands abut a G2-1 zone		4.5 m
4.11.2.15.6	Minimum length of a parking space located on a driveway - all other lots		5.5 m

4.11.2.16	Exception: RM5-16	Map # 53E, 53W	By-law: 0181-2018/LPAT Order 2019 February 15
In a RM5-16 zone the permitted uses and applicable regulations shall be as specified for a RM5 zone except that the following uses/regulations shall apply:			
Regulations			
4.11.2.16.1	Minimum lot area - interior lot		240 m ²
4.11.2.16.2	Minimum lot area - corner lot		330 m ²
4.11.2.16.3	Minimum lot frontage - interior lot		8.0 m
4.11.2.16.4	Minimum lot frontage - corner lot		11.0 m
4.11.2.16.5	Minimum front yard		3.6 m
4.11.2.16.6	Minimum exterior side yard		3.6 m
4.11.2.16.7	Minimum setback to garage face		5.5 m
4.11.2.16.8	Minimum interior side yard - unattached side		1.5 m
4.11.2.16.9	Maximum encroachment of a porch into the required front and exterior side yards		1.8 m
4.11.2.16.10	Minimum setback of a street townhouse to all lands zoned G2-1		7.5 m

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4.11.2.17	Exception: RM5-17	Map # 22	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RM5-17 zone the permitted uses and applicable regulations shall be as specified for a RM5 zone except that the following uses/regulations shall apply:			
Additional Permitted Use			
4.11.2.17.1	(1)	Semi-Detached	
Regulations			
4.11.2.17.2	Street Townhouse:		
	(1)	minimum setback to garage face	7.0 m
4.11.2.17.3	A semi-detached shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1)	the regulations of Line 5.0 contained in Table 4.2.1 of this By-law shall not apply	
	(2)	minimum exterior side yard	3.5 m
	(3)	maximum driveway width	5.5 m
	(4)	minimum setback to garage face	7.0 m

4.11.2.18	Exception: RM5-18	Map # 22	By-law: 0174-2017, 0048-2025
In a RM5-18 zone the permitted uses and applicable regulations shall be as specified for a RM5 zone except that the following uses/regulations shall apply:			
Additional Permitted Use			
4.11.2.18.1	(1)	Semi-Detached	
Regulation			
4.11.2.18.2	A semi-detached shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1)	minimum exterior side yard	3.5 m

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4.11.2.19	Exception: RM5-19	Map # 38E	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025
<p>In a RM5-19 zone the permitted uses and applicable regulations shall be as specified for a RM5 zone except that the following uses/regulations shall apply:</p>			
<p>Additional Permitted Use</p>			
<p>4.11.2.19.1 (1) Semi-Detached</p>			
<p>Regulations</p>			
<p>4.11.2.19.2 Street Townhouse:</p>			
<p>(1) minimum lot area 200 m²</p>			
<p>(2) minimum lot frontage 10.0 m</p>			
<p>(3) minimum front yard 3.0 m</p>			
<p>(4) minimum exterior side yard 1.8 m</p>			
<p>(5) maximum encroachment of a window into required front and exterior side yards 0.3 m</p>			
<p>(6) maximum encroachment of an attached garage into the required rear yard 1.0 m</p>			
<p>(7) maximum driveway width 5.5 m</p>			
<p>4.11.2.19.3 A semi-detached shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:</p>			
<p>(1) the regulations of Line 5.0 contained in Table 4.2.1 of this By-law shall not apply</p>			
<p>(2) minimum lot area 200 m²</p>			
<p>(3) minimum lot frontage 10.0 m</p>			
<p>(4) maximum gross floor area - residential 0.75 times the lot area</p>			
<p>(5) minimum front yard 3.0 m</p>			
<p>(6) minimum exterior side yard 1.8 m</p>			
<p>(7) minimum interior side yard - unattached side 1.5 m</p>			
<p>(8) maximum encroachment of a window into required front and exterior side yards 0.3 m</p>			
<p>(9) maximum encroachment of an attached garage into the required rear yard 1.0 m</p>			
<p>(10) maximum driveway width 5.5 m</p>			

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4.11.2.20	Exception: RM5-20	Map # 22	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RM5-20 zone the permitted uses and applicable regulations shall be as specified for a RM5 zone except that the following uses/regulations shall apply:			
Additional Permitted Use			
4.11.2.20.1	(1)	Semi-Detached	
Regulations			
4.11.2.20.2	Street Townhouse:		
	(1)	minimum setback to garage face	7.0 m
4.11.2.20.3	A semi-detached shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1)	the regulations of Line 5.0 contained in Table 4.2.1 of this By-law shall not apply	
	(2)	maximum gross floor area - residential	0.75 times the lot area
	(3)	minimum setback to garage face	7.0 m

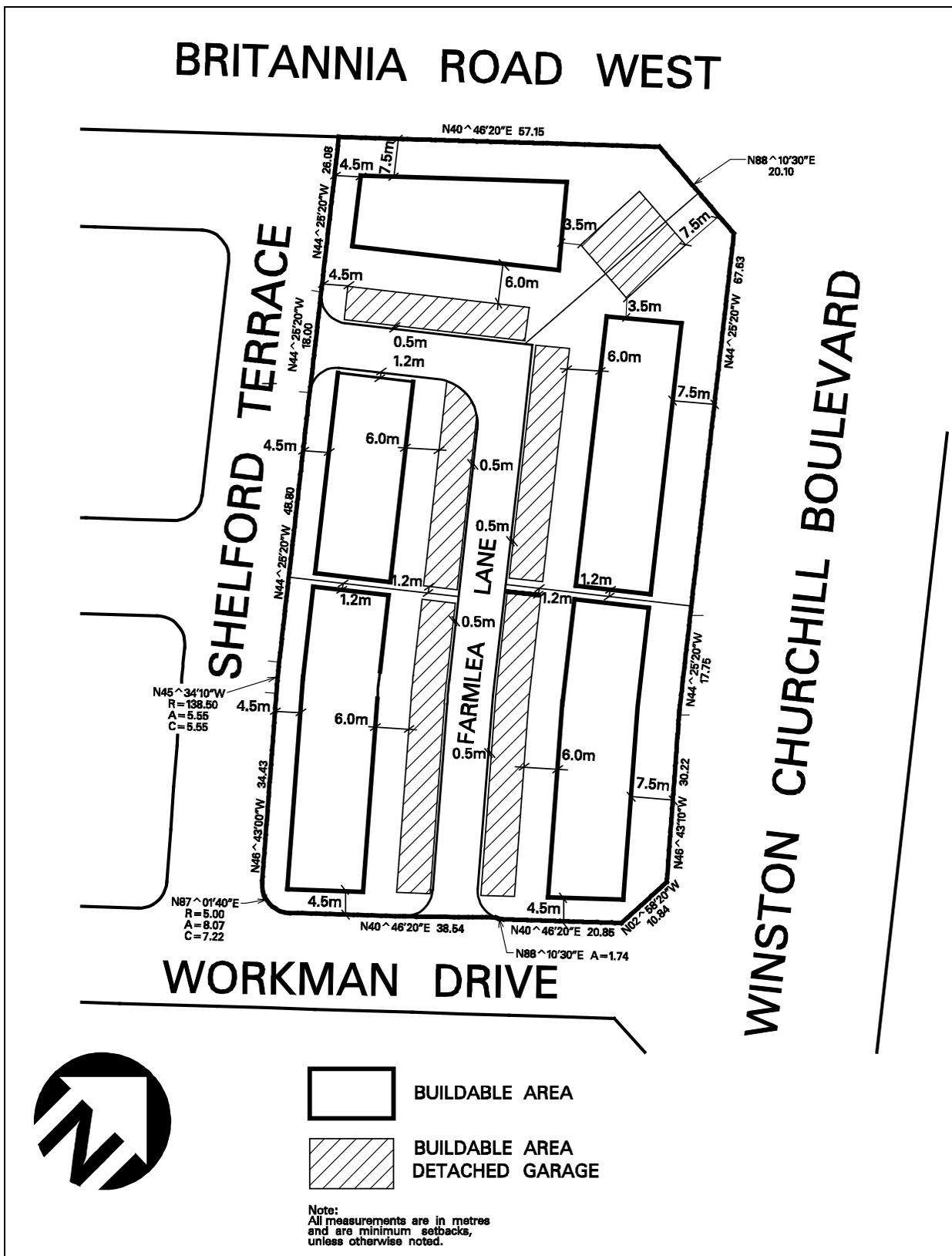
4.11.2.21	Exception: RM5-21	Map # 57, 58	By-law: 0181-2018/LPAT Order 2019 February 15
In a RM5-21 zone the permitted uses and applicable regulations shall be as specified for a RM5 zone except that the following uses/regulations shall apply:			
Regulations			
4.11.2.21.1	The regulations of Line 11.0 contained in Table 4.11.1 of this By-law shall not apply		
4.11.2.21.2	Minimum lot area - interior lot		183 m ²
4.11.2.21.3	Minimum lot area - corner lot		292 m ²
4.11.2.21.4	Minimum lot frontage - interior lot		6.1 m
4.11.2.21.5	Minimum lot frontage - corner lot		9.75 m
4.11.2.21.6	Minimum front yard - lots without a municipal sidewalk adjacent the front lot line		3.5 m
4.11.2.21.7	Minimum exterior side yard - lots without a municipal sidewalk adjacent the exterior side lot line		3.5 m
4.11.2.21.8	Minimum setback to garage face		5.8 m
4.11.2.21.9	Minimum interior side yard - unattached side		1.2 m
4.11.2.21.10	Maximum encroachment of a porch or balcony into the required front and exterior side yards		2.0 m
4.11.2.21.11	Maximum encroachment of an awning into the required front yard		0.6 m
4.11.2.21.12	Maximum encroachment of an awning into the required exterior side yard		0.3 m
4.11.2.21.13	Maximum projection of a garage beyond either the main front entrance or beyond the main entry feature where provided		2.5 m
4.11.2.21.14	Where a main entry feature has been provided, the maximum projection of a garage beyond a main front entrance		5.0 m

Exception RM5-21 continued on next page

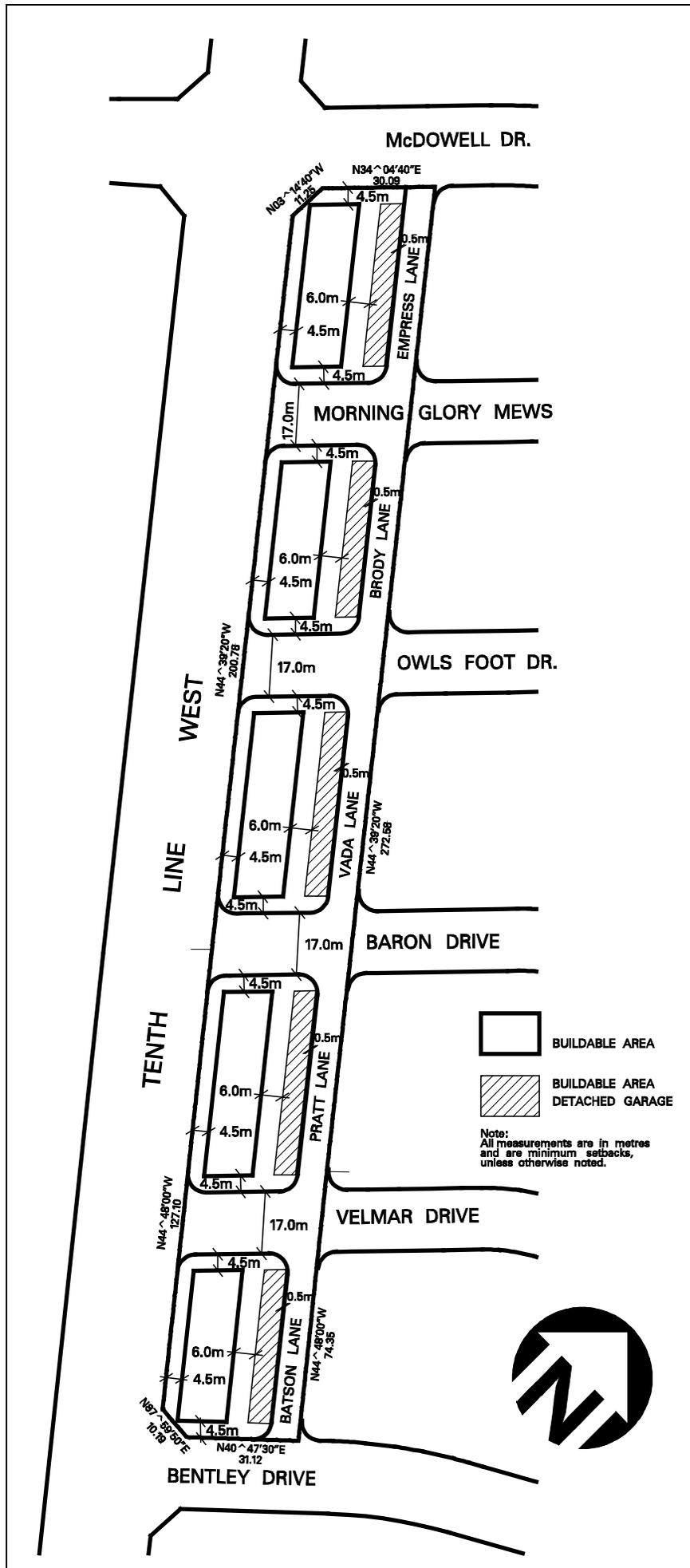
Part 4 - Residential Zones

4.11.2.21	Exception: RM5-21	Map # 57, 58	By-law: 0181-2018/LPAT Order 2019 February 15
Exception RM5-21 continued from previous page			
4.11.2.21.15	For a street townhouse more than one storey in height , where the garage projects beyond the main front entrance , the garage shall be covered by a second storey which may be set back a maximum of 2.5 m from the garage face		
4.11.2.21.16	Minimum setback to a sight triangle		0.0 m
4.11.2.21.17	Maximum driveway width		3.8 m
4.11.2.21.18	Maximum garage width: measured from the inside face of the garage side walls		3.8 m

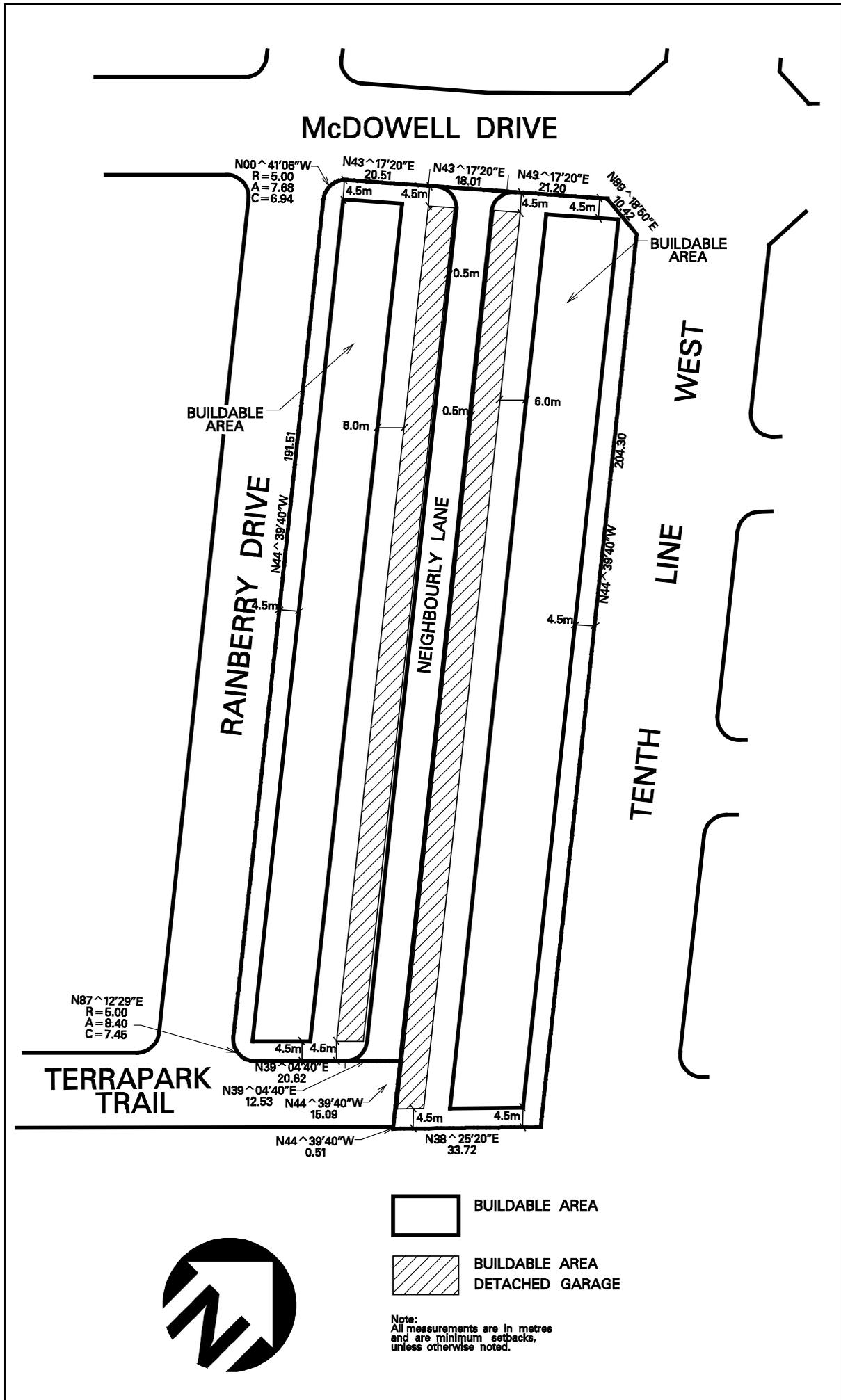
4.11.2.22	Exception: RM5-22(1), RM5-22(2), RM5-22(3), RM5-22(4), RM5-22(5), RM5-22(6), RM5-22(7), RM5-22(8)	Map # 57, 58	By-law: 0208-2022
In a RM5-22(1), RM5-22(2), RM5-22(3), RM5-22(4), RM5-22(5), RM5-22(6), RM5-22(7) and RM5-22(8) zone the permitted uses and applicable regulations shall be as specified for a RM5 zone except that the following uses/regulations shall apply:			
Regulations			
4.11.2.22.1	The regulations of Line 11.0 contained in Table 4.11.1 of this By-law shall not apply		
4.11.2.22.2	Minimum lot area - corner lot		315 m ²
4.11.2.22.3	Minimum lot frontage - corner lot		10.5 m
4.11.2.22.4	Minimum front yard - lot without a municipal sidewalk adjacent the front lot line		3.5 m
4.11.2.22.5	Minimum exterior side yard - lot without a municipal sidewalk adjacent the exterior side lot line		3.5 m
4.11.2.22.6	Maximum encroachment of a porch or balcony outside the buildable area identified on Schedules RM5-22(1) to RM5-22(8) of this Exception, into the required front and exterior side yards		2.0 m
4.11.2.22.7	Maximum encroachment of an awning outside the buildable area identified on Schedules RM5-22(1) to RM5-22(8) of this Exception, into the required exterior side yard		0.3 m
4.11.2.22.8	Maximum driveway width		6.5 m
4.11.2.22.9	A detached garage shall be permitted in the buildable area - detached garage identified on Schedules RM5-22(1) to RM5-22(8) of this Exception		
4.11.2.22.10	Maximum garage width: measured from the inside face of the garage side walls		5.5 m
4.11.2.22.11	Minimum interior side yard on one side of a detached garage located in the rear yard		0.8 m
4.11.2.22.12	Minimum setback of all buildings and structures except a detached garage to a sight triangle		0.0 m
4.11.2.22.13	"Rear Lot Line" means the lot line that divides the lot from the public lane identified and named as a "lane" on Schedules RM5-22(1) to RM5-22(8) of this Exception		
4.11.2.22.14	"Front Lot Line" means the lot line opposite the rear lot line		
4.11.2.22.15	All site development plans shall comply with Schedules RM5-22(1) to RM5-22(8) of this Exception		



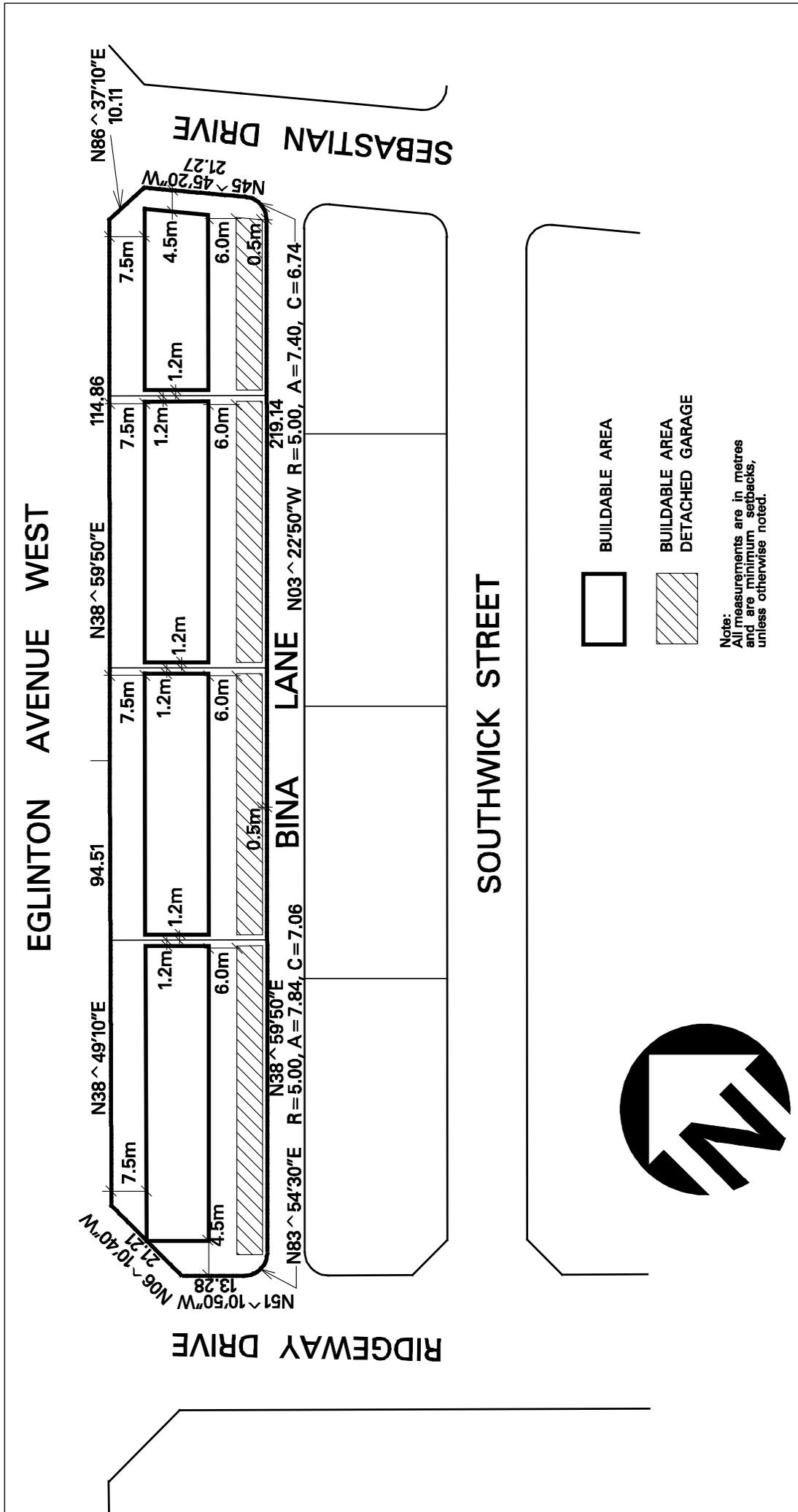
Schedule RM5-22(2)
Map 57



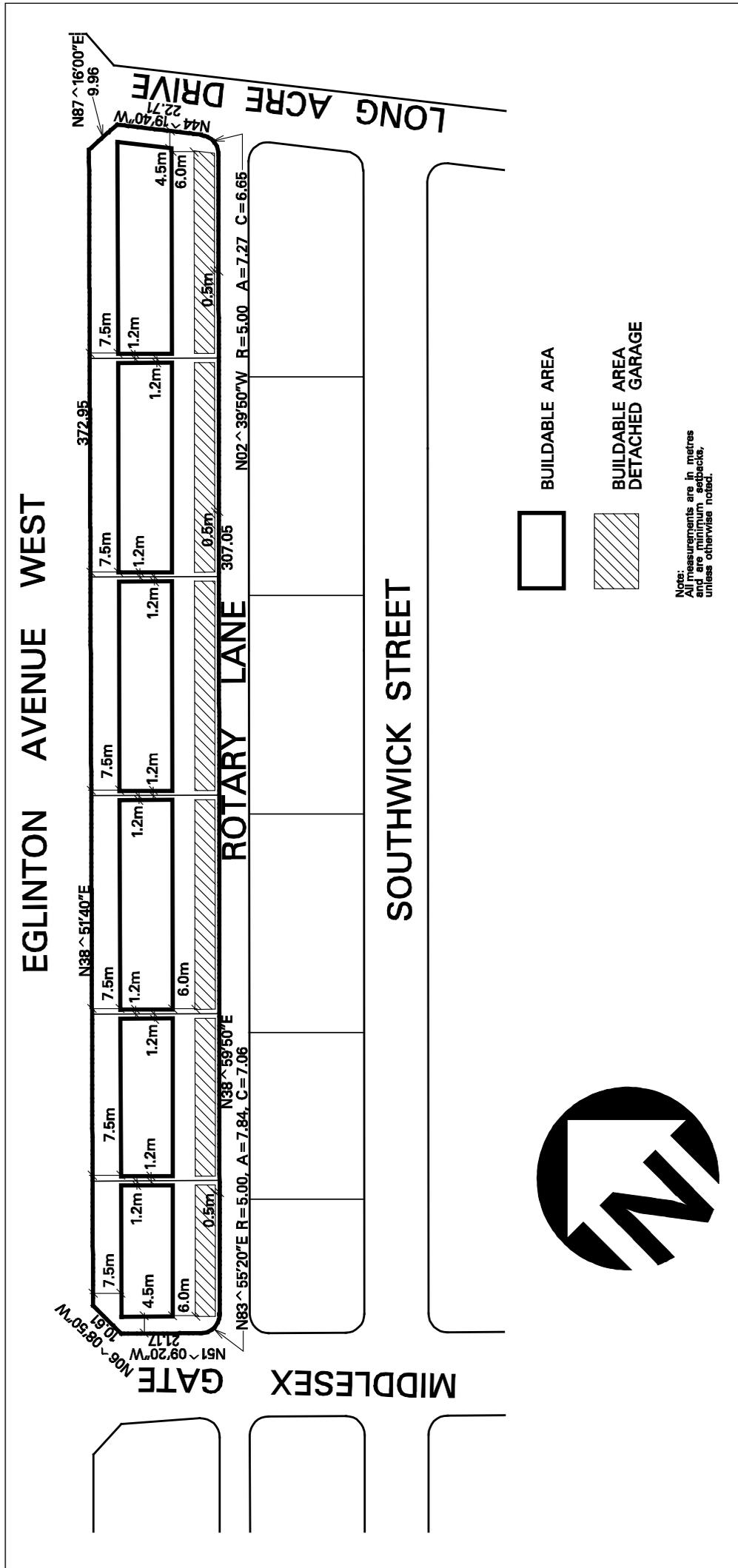
Schedule RM5-22(3)
Map 57



Schedule RM5-22(5)
Map 57



Schedule RM5-22(6)
 Map 58



Schedule RM5-22(8)
Map 58

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4.11.2.23	Exception: RM5-23	Map # 44W	By-law: 0181-2018/LPAT Order 2019 February 15
In a RM5-23 zone the permitted uses and applicable regulations shall be as specified for a RM5 zone except that the following uses/regulations shall apply:			
Regulations			
4.11.2.23.1	Minimum front yard - lot without a municipal sidewalk adjacent the front lot line		3.5 m
4.11.2.23.2	Minimum exterior side yard - lot without a municipal sidewalk adjacent the exterior side lot line		3.5 m
4.11.2.23.3	Minimum setback to garage face		5.8 m
4.11.2.23.4	Maximum encroachment of a porch into the required front and exterior side yards		1.8 m
4.11.2.23.5	Maximum encroachment of a balcony into the required front and exterior side yards		2.0 m
4.11.2.23.6	Maximum encroachment of an awning into the required exterior side yard		0.3 m
4.11.2.23.7	Maximum projection of a garage beyond either the main front entrance or beyond the main entry feature where provided		2.5 m
4.11.2.23.8	Where a main entry feature has been provided, the maximum projection of a garage beyond a main front entrance		5.0 m
4.11.2.23.9	For a street townhouse more than one storey in height , where the garage projects beyond the main front entrance , the garage shall be covered by a second storey which may be set back a maximum of 2.5 m from the garage face		
4.11.2.23.10	Minimum setback to a sight triangle		0.0 m
4.11.2.23.11	Maximum driveway width		3.8 m
4.11.2.23.12	Maximum garage width: measured from the inside face of the garage side walls		3.8 m

4.11.2.24	Exception: RM5-24	Map # 28	By-law: 0181-2018/LPAT Order 2019 February 15
In a RM5-24 zone the permitted uses and applicable regulations shall be as specified for a RM5 zone except that the following uses/regulations shall apply:			
Regulations			
4.11.2.24.1	The regulations of Line 11.0 contained in Table 4.11.1 of this By-law shall not apply		
4.11.2.24.2	Minimum lot area - interior lot		195 m ²
4.11.2.24.3	Minimum lot area - corner lot		260 m ²
4.11.2.24.4	Minimum lot frontage - interior lot		7.5 m
4.11.2.24.5	Minimum lot frontage - corner lot		10.0 m
4.11.2.24.6	Minimum front yard - lot without a municipal sidewalk adjacent the front lot line		3.5 m
4.11.2.24.7	Minimum exterior side yard - lot without a municipal sidewalk adjacent the exterior side lot line		3.5 m
4.11.2.24.8	Minimum setback to garage face where a lot abuts a PB1 zone		7.0 m
4.11.2.24.9	Minimum setback to garage face - all other lots		6.0 m
4.11.2.24.10	Minimum interior side yard - unattached side		1.2 m

Exception RM5-24 continued on next page

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4.11.2.24	Exception: RM5-24	Map # 28	By-law: 0181-2018/LPAT Order 2019 February 15
Exception RM5-24 continued from previous page			
4.11.2.24.11	Minimum rear yard		7.0 m
4.11.2.24.12	Minimum setback of a street townhouse to all lands zoned PB1		18.5 m
4.11.2.24.13	Maximum encroachment of a porch or balcony into required front and exterior side yards		1.8 m
4.11.2.24.14	Maximum encroachment of an awning into the required exterior side yard		0.3 m
4.11.2.24.15	Maximum projection of a garage beyond either the main front entrance or beyond the main entry feature where provided		2.5 m
4.11.2.24.16	Where a main entry feature has been provided, the maximum projection of a garage beyond a main front entrance		5.0 m
4.11.2.24.17	For a street townhouse more than one storey in height , where the garage projects beyond the main front entrance , the garage shall be covered by a second storey which may be set back a maximum of 2.5 m from the garage face		
4.11.2.24.18	Minimum setback to a sight triangle		0.0 m
4.11.2.24.19	Maximum driveway width		3.8 m
4.11.2.24.20	Maximum garage width: measured from the inside face of the garage side walls		3.8 m

4.11.2.25	Exception: RM5-25	Map # 36W	By-law:
In a RM5-25 zone the permitted uses and applicable regulations shall be as specified for a RM5 zone except that the following uses/regulations shall apply:			
Regulations			
4.11.2.25.1	Minimum lot area - interior lot		163 m ²
4.11.2.25.2	Minimum lot frontage - interior lot		6.1 m
4.11.2.25.3	Minimum setback to Hurontario Street		3.2 m

4.11.2.26	Exception: RM5-26	Map # 44E	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0105-2024, 0048-2025
In a RM5-26 zone the permitted uses and applicable regulations shall be as specified for a RM5 zone except that the following uses/regulations shall apply:			
Additional Permitted Use			
4.11.2.26.1	(1) Semi-Detached		
Regulations			
4.11.2.26.2	Street Townhouse:		
	(1) maximum lot coverage - where the garage does not project more than 1.0 m beyond the main entry feature or 2.5 m beyond the main front entrance - interior lot		45%
	(2) maximum lot coverage - all other lots		40%
	(3) minimum rear yard where lands abut a C5-12 zone		10.0 m

Exception RM5-26 continued on next page

Part 4 - Residential Zones

4.11.2.26	Exception: RM5-26	Map # 44E	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0105-2024, 0048-2025
Exception RM5-26 continued from previous page			
4.11.2.26.2 (continued)	(4)	maximum projection of a garage beyond either the main front entrance or beyond the main entry feature where provided - interior lot	2.5 m
	(5)	where a main entry feature has been provided, the maximum projection of a garage beyond a main front entrance - interior lot	4.0 m
	(6)	for a street townhouse more than one storey in height , where the garage projects beyond the main front entrance , the garage shall be covered by a second storey which may be set back a maximum of 2.5 m from the garage face	
	(7)	maximum porch area in a front yard - interior lot	12 m ²
	(8)	maximum porch area in front and exterior side yards - corner lot	20 m ²
	(9)	the area of all porches in front and exterior side yards shall be excluded from the calculation of lot coverage	
	(10)	accessory buildings and structures shall not be located in the front yard or exterior side yard	
4.11.2.26.3	A semi-detached shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1)	maximum lot coverage - where the garage does not project more than 1.0 m beyond the main entry feature or 2.5 m beyond the main front entrance - interior lot	45%
	(2)	maximum lot coverage - all other lots	40%
	(3)	minimum rear yard where lands abut an C5-12 zone	10.0 m
	(4)	maximum projection of a garage beyond either the main front entrance or beyond the main entry feature where provided - interior lot	2.5 m
	(5)	where a main entry feature has been provided, the maximum projection of a garage beyond a main front entrance - interior lot	4.0 m
	(6)	for a semi-detached more than one storey in height , where the garage projects beyond the main front entrance , the garage shall be covered by a second storey which may be set back a maximum of 2.5 m from the garage face - interior lot	
	(7)	maximum porch area in a front yard - interior lot	12 m ²
	(8)	maximum total porch area in front and exterior side yards - corner lot	20 m ²
	(9)	the area of all porches in front and exterior side yards shall be excluded from the calculation of lot coverage	
	(10)	accessory buildings and structures shall not be located in the front yard or exterior side yard	

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4.11.2.27	Exception: RM5-27	Map # 44W, 45E, 52W	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025																																	
<p>In a RM5-27 zone the permitted uses and applicable regulations shall be as specified for a RM5 zone except that the following uses/regulations shall apply:</p>																																				
<p>Additional Permitted Use</p>																																				
<p>4.11.2.27.1 (1) Semi-Detached</p>																																				
<p>Regulations</p>																																				
<p>4.11.2.27.2 Street Townhouse:</p> <table border="0" style="width: 100%;"> <tr> <td style="width: 5%;">(1)</td> <td style="width: 75%;">maximum lot coverage:</td> <td style="width: 20%;"></td> </tr> <tr> <td></td> <td>(1.1) where the garage does not project more than 1.0 m beyond the main entry feature or 2.5 m beyond the main front entrance or a habitable room on the first storey or</td> <td align="right">45%</td> </tr> <tr> <td></td> <td>(1.2) where the width of the garage is 3.5 m or less, measured from the outside of opposite exterior walls or from the outside of an exterior wall to the midpoint of an interior wall or</td> <td align="right">45%</td> </tr> <tr> <td></td> <td>(1.3) all other lots</td> <td align="right">40%</td> </tr> <tr> <td>(2)</td> <td>minimum setback to Old Derry Road</td> <td align="right">9.0 m</td> </tr> <tr> <td>(3)</td> <td>maximum projection of a garage beyond the main front entrance</td> <td align="right">7.0 m</td> </tr> <tr> <td>(4)</td> <td>for a street townhouse more than one storey in height, where the garage projects beyond the main front entrance, the garage shall be covered by a second storey which may be set back a maximum of 2.5 m from the garage face</td> <td></td> </tr> <tr> <td>(5)</td> <td>maximum porch area in a front yard - interior lot</td> <td align="right">12 m²</td> </tr> <tr> <td>(6)</td> <td>maximum total porch area in front and exterior side yards - corner lot</td> <td align="right">20 m²</td> </tr> <tr> <td>(7)</td> <td>the area of all porches in front and exterior side yards shall be excluded from the calculation of lot coverage</td> <td></td> </tr> <tr> <td>(8)</td> <td>accessory building and structures shall not be located in the front yard or exterior side yard</td> <td></td> </tr> </table>				(1)	maximum lot coverage:			(1.1) where the garage does not project more than 1.0 m beyond the main entry feature or 2.5 m beyond the main front entrance or a habitable room on the first storey or	45%		(1.2) where the width of the garage is 3.5 m or less, measured from the outside of opposite exterior walls or from the outside of an exterior wall to the midpoint of an interior wall or	45%		(1.3) all other lots	40%	(2)	minimum setback to Old Derry Road	9.0 m	(3)	maximum projection of a garage beyond the main front entrance	7.0 m	(4)	for a street townhouse more than one storey in height , where the garage projects beyond the main front entrance , the garage shall be covered by a second storey which may be set back a maximum of 2.5 m from the garage face		(5)	maximum porch area in a front yard - interior lot	12 m ²	(6)	maximum total porch area in front and exterior side yards - corner lot	20 m ²	(7)	the area of all porches in front and exterior side yards shall be excluded from the calculation of lot coverage		(8)	accessory building and structures shall not be located in the front yard or exterior side yard	
(1)	maximum lot coverage:																																			
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	(1.3) all other lots	40%																																		
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(8)	accessory building and structures shall not be located in the front yard or exterior side yard																																			
<p>4.11.2.27.3 A semi-detached shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:</p> <table border="0" style="width: 100%;"> <tr> <td style="width: 5%;">(1)</td> <td style="width: 75%;">maximum lot coverage:</td> <td style="width: 20%;"></td> </tr> <tr> <td></td> <td>(1.1) where the garage does not project more than 1.0 m beyond the main entry feature or 2.5 m beyond the main front entrance or a habitable room on the first storey or</td> <td align="right">45%</td> </tr> <tr> <td></td> <td>(1.2) where the width of the garage is 3.5 m or less, measured from the outside of opposite exterior walls or from the outside of an exterior wall to the midpoint of an interior wall or</td> <td align="right">45%</td> </tr> <tr> <td></td> <td>(1.3) all other lots</td> <td align="right">40%</td> </tr> <tr> <td>(2)</td> <td>minimum setback to Old Derry Road</td> <td align="right">9.0 m</td> </tr> <tr> <td>(3)</td> <td>maximum projection of a garage beyond the main front entrance</td> <td align="right">7.0 m</td> </tr> </table>				(1)	maximum lot coverage:			(1.1) where the garage does not project more than 1.0 m beyond the main entry feature or 2.5 m beyond the main front entrance or a habitable room on the first storey or	45%		(1.2) where the width of the garage is 3.5 m or less, measured from the outside of opposite exterior walls or from the outside of an exterior wall to the midpoint of an interior wall or	45%		(1.3) all other lots	40%	(2)	minimum setback to Old Derry Road	9.0 m	(3)	maximum projection of a garage beyond the main front entrance	7.0 m															
(1)	maximum lot coverage:																																			
	(1.1) where the garage does not project more than 1.0 m beyond the main entry feature or 2.5 m beyond the main front entrance or a habitable room on the first storey or	45%																																		
	(1.2) where the width of the garage is 3.5 m or less, measured from the outside of opposite exterior walls or from the outside of an exterior wall to the midpoint of an interior wall or	45%																																		
	(1.3) all other lots	40%																																		
(2)	minimum setback to Old Derry Road	9.0 m																																		
(3)	maximum projection of a garage beyond the main front entrance	7.0 m																																		

Exception RM5-27 continued on next page

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4.11.2.27	Exception: RM5-27	Map # 44W, 45E, 52W	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025
Exception RM5-27 continued from previous page			
4.11.2.27.3 (continued)	(4)	for a semi-detached more than one storey in height , where the garage projects beyond the main front entrance , the garage shall be covered by a second storey which may be set back a maximum of 2.5 m from the garage face	
	(5)	maximum porch area in a front yard - interior lot	12 m ²
	(6)	maximum total porch area in front and exterior side yards - corner lot	20 m ²
	(7)	the area of all porches in front and exterior side yards shall be excluded from the calculation of lot coverage	
	(8)	accessory buildings and structures shall not be located in the front yard or exterior side yard	

4.11.2.28	Exception: RM5-28	Map # 52E	By-law: 0325-2008, 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RM5-28 zone the permitted uses and applicable regulations shall be as specified for a RM5 zone except that the following uses/regulations shall apply:			
Additional Permitted Uses			
4.11.2.28.1	(1)	Detached Dwelling	
	(2)	Semi-Detached	
Regulations			
4.11.2.28.2	Street Townhouse:		
	(1)	maximum lot coverage:	
	(1.1)	where the garage does not project more than 1.0 m beyond the main entry feature or 2.5 m beyond the main front entrance or a habitable room on the first storey or	45%
	(1.2)	where the width of the garage is 3.5 m or less, measured from the outside of opposite exterior walls or from the outside of an exterior wall to the midpoint of an interior wall or	45%
	(1.3)	all other lots	40%
	(2)	maximum projection of a garage beyond the main front entrance	7.0 m
	(3)	for a street townhouse more than one storey in height , where the garage projects beyond the main front entrance , the garage shall be covered by a second storey which may be set back a maximum of 2.5 m from the garage face	
	(4)	maximum porch area in a front yard - interior lot	12 m ²
	(5)	maximum total porch area in front and exterior side yards - corner lot	20 m ²
	(6)	the area of all porches in front and exterior side yards shall be excluded from the calculation of lot coverage	
	(7)	accessory buildings and structures shall not be located in the front yard or exterior side yard	

Exception RM5-28 continued on next page

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4.11.2.28	Exception: RM5-28	Map # 52E	By-law: 0325-2008, 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025
Exception RM5-28 continued from previous page			
4.11.2.28.3	A detached dwelling shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1) maximum lot coverage - where the width of the garage is 5.0 m or less, measured from the outside of opposite exterior walls or from the outside of an exterior wall to the midpoint of an interior wall		45%
	(2) maximum lot coverage - where the projection of a garage beyond the main front entrance or the main entry feature , where provided, is less than or equal to 1.0 m or the projection of a garage beyond the main front entrance is less than or equal to 2.5 m		45%
4.11.2.28.4	A semi-detached shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1) maximum lot coverage :		
	(1.1) where the garage does not project more than 1.0 m beyond the main entry feature or 2.5 m beyond the main front entrance or a habitable room on the first storey or		45%
	(1.2) where the width of the garage is 3.5 m or less, measured from the outside of opposite exterior walls or from the outside of an exterior wall to the midpoint of an interior wall or		45%
	(1.3) all other lots		40%
	(2) maximum projection of a garage beyond the main front entrance		7.0 m
	(3) for a semi-detached more than one storey in height , where the garage projects beyond the main front entrance , the garage shall be covered by a second storey which may be set back a maximum of 2.5 m from the garage face		
	(4) maximum porch area in a front yard - interior lot		12 m ²
	(5) maximum total porch in front and exterior side yards - corner lot		20 m ²
	(6) the area of all porches in front and exterior side yards shall be excluded from the calculation of lot coverage		
	(7) accessory buildings and structures shall not be located in the front yard or exterior side yard		

4.11.2.29	Exception: RM5-29	Map # 52E	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RM5-29 zone the permitted uses and applicable regulations shall be as specified for a RM5 zone except that the following uses/regulations shall apply:			
Additional Permitted Uses			
4.11.2.29.1	(1)	Detached Dwelling	
	(2)	Semi-Detached	

Exception RM5-29 continued on next page

Part 4 - Residential Zones

4.11.2.29	Exception: RM5-29	Map # 52E	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025
Exception RM5-29 continued from previous page			
Regulations			
4.11.2.29.2	Street Townhouse:		
	(1) maximum lot coverage - where the garage does not project more than 1.0 m beyond the main entry feature or 2.5 m beyond the main front entrance - interior lot		45%
	(2) maximum lot coverage - all other lots		40%
	(3) maximum projection of a garage beyond either the main front entrance or beyond the main entry feature where provided - interior lot		2.5 m
	(4) where a main entry feature has been provided, the maximum projection of a garage beyond a main front entrance - interior lot		4.0 m
	(5) for a street townhouse more than one storey in height , where the garage projects beyond the main front entrance , the garage shall be covered by a second storey which may be set back a maximum of 2.5 m from the garage face		
	(6) maximum porch area in a front yard - interior lot		12 m ²
	(7) maximum porch area in front and exterior side yards		20 m ²
	(8) the area of all porches in front and exterior side yards shall be excluded from the calculation of lot coverage		
	(9) accessory buildings and structures shall not be located in the front yard or exterior side yard		
4.11.2.29.3	A detached dwelling shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law		
4.11.2.29.4	A semi-detached shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1) maximum lot coverage - where the garage does not project more than 1.0 m beyond the main entry feature or 2.5 m beyond the main front entrance - interior lot		45%
	(2) maximum lot coverage - all other lots		40%
	(3) maximum projection of a garage beyond either the main front entrance or beyond the main entry feature where provided - interior lot		2.5 m
	(4) where a main entry feature has been provided, the maximum projection of a garage beyond a main front entrance - interior lot		4.0 m
	(5) for a semi-detached more than one storey in height , where the garage projects beyond the main front entrance , the garage shall be covered by a second storey which may be set back a maximum of 2.5 m from the garage face - interior lot		
	(6) maximum porch area in a front yard - interior lot		12 m ²
	(7) maximum total porch area in front and exterior side yards - corner lot		20 m ²
	(8) the area of all porches in front and exterior side yards shall be excluded from the calculation of lot coverage		
	(9) accessory buildings and structures shall not be located in the front yard or exterior side yard		

Part 4 - Residential Zones

4.11.2.30	Exception: RM5-30	Map # 44W	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15
In a RM5-30 zone the permitted uses and applicable regulations shall be as specified for a RM5 zone except that the following uses/regulations shall apply:			
Regulations			
4.11.2.30.1	Minimum lot area - corner lot		325 m ²
4.11.2.30.2	Minimum lot frontage - corner lot		10.5 m
4.11.2.30.3	Maximum lot coverage :		
	(1) where the garage does not project more than 1.0 m beyond the main entry feature or 2.5 m beyond the main front entrance or habitable room on the first storey or		45%
	(2) where the width of the garage is 3.8 m or less, measured from the inside face of the garage side walls or		45%
	(3) all other lots		40%
4.11.2.30.4	Minimum setback to garage face		7.0 m
4.11.2.30.5	Maximum encroachment of a porch into the required front and exterior side yards		1.5 m
4.11.2.30.6	For a semi-detached more than one storey in height , where the garage projects beyond the main front entrance , the garage shall be covered by a second storey which may be set back a maximum of 2.5 m from the garage face		
4.11.2.30.7	Maximum porch area in a front yard - interior lot		12 m ²
4.11.2.30.8	Maximum total porch area in front and exterior side yards - corner lot		20 m ²
4.11.2.30.9	The area of all porches in front and exterior side yards shall be excluded from the calculation of lot coverage		
4.11.2.30.10	Maximum driveway width		3.8 m
4.11.2.30.11	Minimum setback to a sight triangle		0.0 m
4.11.2.30.12	Accessory buildings and structures shall not be located in the front yard or exterior side yard		

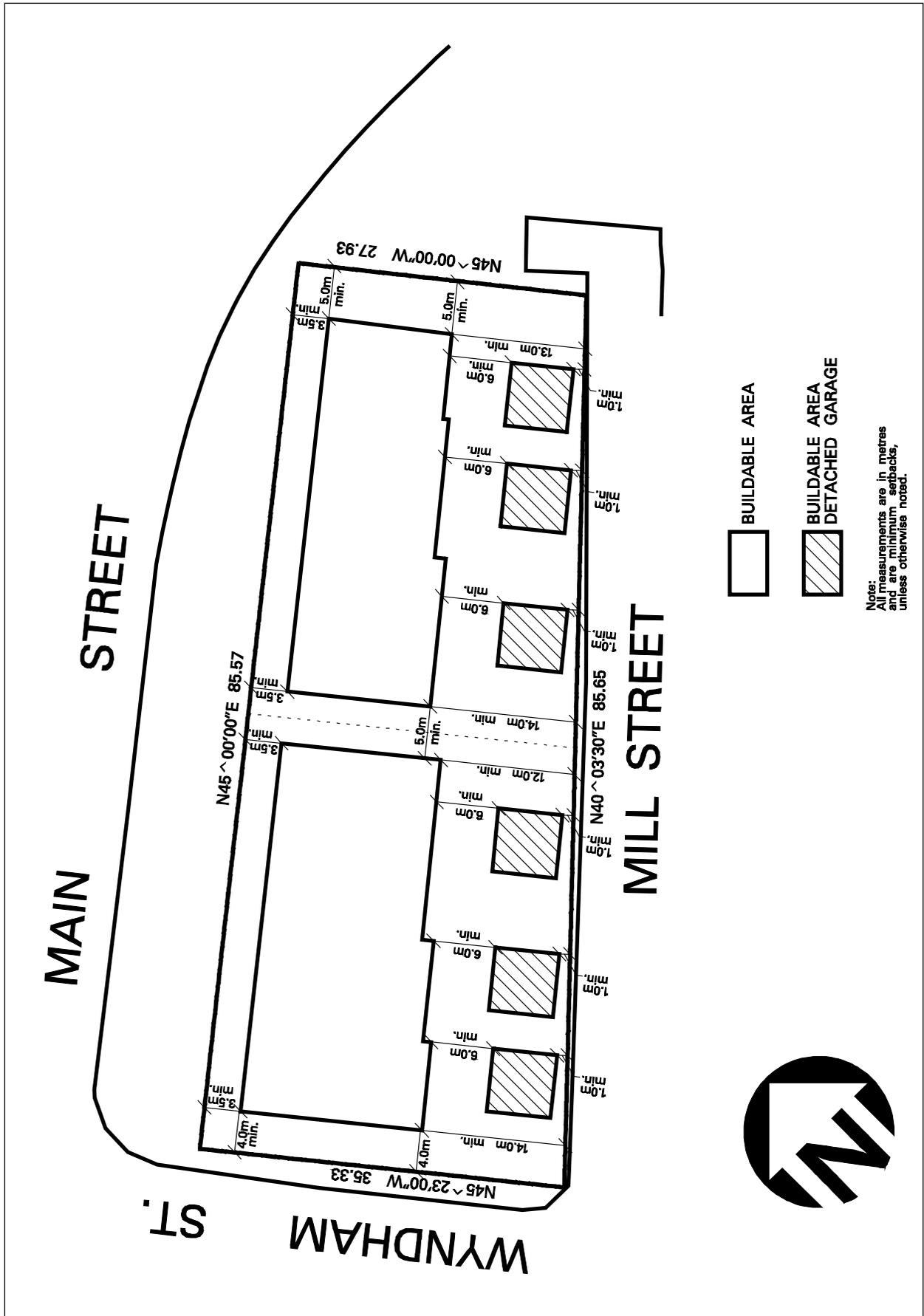
4.11.2.31	Exception: RM5-31	Map # 37W	By-law: 0174-2017, 0048-2025
In a RM5-31 zone the permitted uses and applicable regulations shall be as specified for a RM5 zone except that the following uses/regulations shall apply:			
Additional Permitted Use			
4.11.2.31.1	(1) Semi-Detached		
Regulations			
4.11.2.31.2	A semi-detached shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1) minimum lot area - interior lot		195 m ²
	(2) minimum lot frontage - interior lot		6.5 m
	(3) maximum gross floor area - residential		0.75 times the lot area

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4.11.2.32	Exception: RM5-32	Map # 38W	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RM5-32 zone the permitted uses and applicable regulations shall be as specified for a RM5 zone except that the following uses/regulations shall apply:			
Additional Permitted Uses			
4.11.2.32.1	(1) Detached Dwelling (2) Semi-Detached		
Regulations			
4.11.2.32.2	Street Townhouse:		
	(1) minimum lot area		186 m ²
	(2) minimum interior side yard - unattached side		1.2 m
4.11.2.32.3	A detached dwelling shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1) minimum lot area		247 m ²
4.11.2.32.4	A semi-detached shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1) minimum lot area		186 m ²

4.11.2.33	Exception: RM5-33	Map # 38W	By-law:
In a RM5-33 zone the permitted uses and applicable regulations shall be as specified for a RM5 zone except that the following uses/regulations shall apply:			
Regulations			
4.11.2.33.1	Minimum lot frontage - interior lot		8.0 m
4.11.2.33.2	Minimum lot frontage - corner lot		11.5 m
4.11.2.33.3	Minimum exterior side yard		3.6 m

4.11.2.34	Exception: RM5-34	Map # 38W	By-law: 0176-2010
In a RM5-34 zone the permitted uses and applicable regulations shall be as specified for a RM5 zone except that the following uses/regulations shall apply:			
Regulations			
4.11.2.34.1	The regulations of Lines 3.0 to 8.0, 10.0 to 12.1 and 13.0 contained in Table 4.11.1 of this By-law shall not apply		
4.11.2.34.2	All site development plans shall comply with Schedule RM5-34 of this Exception		



Note: All measurements are in metres and are minimum setbacks, unless otherwise noted.

Schedule RM5-34
Map 38W

Part 4 - Residential Zones

4.11.2.35	Exception: RM5-35	Map # 39E	By-law: 0181-2018/LPAT Order 2019 February 15
In a RM5-35 zone the permitted uses and applicable regulations shall be as specified for a RM5 zone except that the following uses/regulations shall apply:			
Regulations			
4.11.2.35.1	Minimum lot area - interior lot		170 m ²
4.11.2.35.2	Minimum lot area - corner lot		230 m ²
4.11.2.35.3	Minimum lot frontage - interior lot		5.9 m
4.11.2.35.4	Minimum setback to garage face		10.5 m
4.11.2.35.5	Minimum exterior side yard		4.1 m
4.11.2.35.6	Maximum encroachment of a porch into the required front and exterior side yards		1.8 m
4.11.2.35.7	Maximum encroachment of a deck into the required rear yard		2.0 m
4.11.2.35.8	Minimum number of parking spaces		3

4.11.2.36	Exception: RM5-36	Map # 30	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RM5-36 zone the permitted uses and applicable regulations shall be as specified for a RM5 zone except that the following uses/regulations shall apply:			
Additional Permitted Use			
4.11.2.36.1	(1) Semi-Detached		
Regulations			
4.11.2.36.2	Street Townhouse:		
	(1) minimum setback from a street townhouse to all lands zoned PB1		10.0 m
	(2) minimum setback to a sight triangle		0.0 m
	(3) maximum encroachment of a porch or balcony into the required front and exterior side yards		2.0 m
	(4) maximum driveway width		3.8 m
	(5) maximum garage width: measured from the inside face of the garage side walls		3.8 m
4.11.2.36.3	A semi-detached shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1) minimum setback from a semi-detached to all lands zoned PB1		10.0 m
	(2) minimum setback to a sight triangle		0.0 m
	(3) maximum encroachment of a porch or balcony into the required front and exterior side yards		2.0 m
	(4) maximum driveway width		3.8 m
	(5) maximum garage width: measured from the inside face of the garage side walls		3.8 m

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4.11.2.37	Exception: RM5-37	Map # 57, 58	By-law: 0449-2007, 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025
<p>In a RM5-37 zone the permitted uses and applicable regulations shall be as specified for a RM5 zone except that the following uses/regulations shall apply:</p>			
<p>Additional Permitted Use</p>			
4.11.2.37.1	(1)	Semi-Detached	
<p>Regulations</p>			
4.11.2.37.2	Street Townhouse:		
	(1)	the regulations of Line 11.0 contained in Table 4.11.1 of this By-law shall not apply	
	(2)	minimum lot area - interior lot	183 m ²
	(3)	minimum lot area - corner lot	292 m ²
	(4)	minimum lot frontage - interior lot	6.1 m
	(5)	minimum lot frontage - corner lot	9.75 m
	(6)	minimum front yard - lots without a municipal sidewalk adjacent the front lot line	3.5 m
	(7)	minimum exterior side yard - lots without a municipal sidewalk adjacent the exterior side lot line	3.5 m
	(8)	minimum setback to garage face	5.8 m
	(9)	minimum interior side yard - unattached side	1.2 m
	(10)	minimum rear yard	6.0 m
	(11)	minimum setback from a street townhouse to all lands zoned U-3	11.0 m
	(12)	maximum encroachment of a porch or balcony into required front and exterior side yards	2.0 m
	(13)	maximum projection of a garage beyond either the main front entrance or beyond the main entry feature where provided	2.5 m
	(14)	where a main entry feature has been provided, the maximum projection of a garage beyond a main front entrance	5.0 m
	(15)	for a street townhouse more than one storey in height , where the garage projects beyond the main front entrance , the garage shall be covered by a second storey which may be set back a maximum of 2.5 m from the garage face	
	(16)	maximum driveway width - interior lot	4.3 m
	(17)	maximum driveway width - corner lot	4.7 m
	(18)	maximum garage width: measured from the inside face of the garage side walls	3.8 m
	(19)	minimum setback to a sight triangle	0.0 m

Exception RM5-37 continued on next page

4.11.2.37	Exception: RM5-37	Map # 57, 58	By-law: 0449-2007, 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025
Exception RM5-37 continued from previous page			
4.11.2.37.3	<p>A semi-detached shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:</p> <ol style="list-style-type: none"> (1) the regulations of Line 5.0 contained in Table 4.2.1 of this By-law shall not apply (2) minimum front yard - lots without a municipal sidewalk adjacent the front lot line 3.5 m (3) minimum exterior side yard - lots without a municipal sidewalk adjacent the exterior side lot line 3.5 m (4) minimum exterior side yard - lots abutting a street with a right-of-way width less than 17.0 m 1.8 m (5) minimum exterior side yard - corner lots with a 0.3 m reserve along the exterior side lot line 4.2 m (6) minimum setback to garage face 5.8 m (7) maximum encroachment of a porch or balcony into required front and exterior side yards 2.0 m (8) maximum projection of a garage beyond either the main front entrance or beyond the main entry feature where provided 2.5 m (9) where a main entry feature has been provided, the maximum projection of a garage beyond a main front entrance 5.0 m (10) for a semi-detached more than one storey in height, where the garage projects beyond the main front entrance, the garage shall be covered by a second storey which may be set back a maximum of 2.5 m from the garage face (11) minimum setback to a sight triangle 0.0 m (12) maximum driveway width - interior lot 4.3 m (13) maximum driveway width - corner lot 4.7 m (14) maximum garage width: measured from the inside face of the garage side walls 3.8 m 		

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4.11.2.38	Exception: RM5-38	Map # 57, 58	By-law: 0265-2016, 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025
<p>In a RM5-38 zone the permitted uses and applicable regulations shall be as specified for a RM5 zone except that the following uses/regulations shall apply:</p>			
<p>Additional Permitted Uses</p>			
4.11.2.38.1	(1) Detached Dwelling (2) Semi-Detached		
<p>Regulations</p>			
4.11.2.38.2	<p>Street Townhouse:</p>		
	(1) the regulations of Line 11.0 contained in Table 4.11.1 of this By-law shall not apply		
	(2) minimum lot area - interior lot	183 m ²	
	(3) minimum lot area - corner lot	292 m ²	
	(4) minimum lot frontage - interior lot	6.1 m	
	(5) minimum lot frontage - corner lot	9.75 m	
	(6) minimum front yard - lots without a municipal sidewalk adjacent the front lot line	3.5 m	
	(7) minimum exterior side yard - lots without a municipal sidewalk adjacent the exterior side lot line	3.5 m	
	(8) minimum setback to garage face	5.8 m	
	(9) minimum interior side yard - unattached side	1.2 m	
	(10) minimum rear yard	6.0 m	
	(11) minimum setback from a street townhouse to all lands zoned U-3	11.0 m	
	(12) maximum encroachment of a porch or balcony into required front and exterior side yards	2.0 m	
	(13) maximum projection of a garage beyond either the main front entrance or beyond the main entry feature where provided	2.5 m	
	(14) where a main entry feature has been provided, the maximum projection of a garage beyond a main front entrance	5.0 m	
	(15) for a street townhouse more than one storey in height , where the garage projects beyond the main front entrance , the garage shall be covered by a second storey which may be set back a maximum of 2.5 m from the garage face		
	(16) maximum driveway width - interior lot	4.3 m	
	(17) maximum driveway width - corner lot	4.7 m	
	(18) maximum garage width: measured from the inside face of the garage side walls	3.8 m	
	(19) minimum setback to a sight triangle	0.0 m	

Exception RM5-38 continued on next page

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4.11.2.38	Exception: RM5-38	Map # 57, 58	By-law: 0265-2016, 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025
Exception RM5-38 continued from previous page			
4.11.2.38.3	A detached dwelling shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1) minimum lot area - interior lot	275 m ²	
	(2) minimum lot area - corner lot	380 m ²	
	(3) minimum lot frontage - interior lot	9.75 m	
	(4) minimum lot frontage - corner lot	13.5 m	
	(5) minimum setback from a detached dwelling to all lands zoned G1	11.0 m	
	(6) minimum rear yard	7.5 m	
	(7) maximum driveway width	6.5 m	
	(8) maximum garage width: measured from the inside face of the garage side walls	5.5 m	
4.11.2.38.4	A semi-detached shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1) the regulations of Line 5.0 contained in Table 4.2.1 of this By-law shall not apply		
	(2) minimum front yard - lots without a municipal sidewalk adjacent the front lot line	3.5 m	
	(3) minimum exterior side yard - lots without a municipal sidewalk adjacent the exterior side lot line	3.5 m	
	(4) minimum exterior side yard - lots abutting a street with a right-of-way width less than 17.0 m	1.8 m	
	(5) minimum exterior side yard - corner lots with a 0.3 m reserve along the exterior side lot line	4.2 m	
	(6) minimum setback to garage face	5.8 m	
	(7) maximum encroachment of a porch or balcony into required front and exterior side yards	2.0 m	
	(8) maximum projection of a garage beyond either the main front entrance or beyond the main entry feature where provided	2.5 m	
	(9) where a main entry feature has been provided, the maximum projection of a garage beyond a main front entrance	5.0 m	
	(10) for a semi-detached more than one storey in height , where the garage projects beyond the main front entrance , the garage shall be covered by a second storey which may be set back a maximum of 2.5 m from the garage face		
	(11) minimum setback to a sight triangle	0.0 m	
	(12) maximum driveway width - interior lot	4.3 m	
	(13) maximum driveway width - corner lot	4.7 m	
	(14) maximum garage width: measured from the inside face of the garage side walls	3.8 m	

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4.11.2.39	Exception: RM5-39	Map # 57	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025
<p>In a RM5-39 zone the permitted uses and applicable regulations shall be as specified for a RM5 zone except that the following uses/regulations shall apply:</p>			
<p>Additional Permitted Use</p>			
<p>4.11.2.39.1 (1) Semi-Detached</p>			
<p>Regulations</p>			
<p>4.11.2.39.2 Street Townhouse:</p> <ul style="list-style-type: none"> (1) the regulations of Line 11.0 contained in Table 4.11.1 of this By-law shall not apply (2) minimum front yard - lots without a municipal sidewalk adjacent the front lot line 3.5 m (3) minimum exterior side yard - lots without a municipal sidewalk adjacent the exterior side lot line 3.5 m (4) minimum setback to a sight triangle 0.0 m (5) maximum encroachment of a porch or balcony into the required front and exterior side yards 2.0 m (6) minimum setback of a detached garage to the rear lot line 0.5 m (7) minimum setback of a detached garage to the interior side lot line 0.85 m on one side and 0.0 m on the other side (8) maximum driveway width 6.5 m (9) maximum garage width: measured from the inside face of the garage side walls 5.5 m (10) a detached garage shall be provided in the rear yard (11) minimum setback from a detached garage to a street townhouse 6.0 m (12) the lot line abutting a street with a width of 17.0 m or greater shall be deemed to be the front lot line 			
<p>4.11.2.39.3 A semi-detached shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:</p> <ul style="list-style-type: none"> (1) the regulations of Line 5.0 contained in Table 4.2.1 of this By-law shall not apply (2) minimum front yard - lots without a municipal sidewalk adjacent the front lot line 3.5 m (3) minimum exterior side yard - lots without a municipal sidewalk adjacent the exterior side lot line 3.5 m (4) maximum driveway width 6.5 m (5) maximum encroachment of a porch or balcony into the required front and exterior side yards 2.0 m (6) minimum setback of a detached garage to the rear lot line 0.5 m (7) minimum setback of a detached garage to the interior side lot line 0.85 m on one side and 0.0 m on the other side (8) maximum garage width: measured from the inside face of the garage side walls 5.5 m (9) minimum setback to a sight triangle 0.0 m 			

Exception RM5-39 continued on next page

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4.11.2.39	Exception: RM5-39	Map # 57	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025
Exception RM5-39 continued from previous page			
4.11.2.39.3 (continued)	(10)	a detached garage shall be provided in the rear yard	
	(11)	minimum setback from a detached garage to a semi-detached	6.0 m
	(12)	the lot line abutting a street with a width of 17.0 m or greater shall be deemed to be the front lot line	

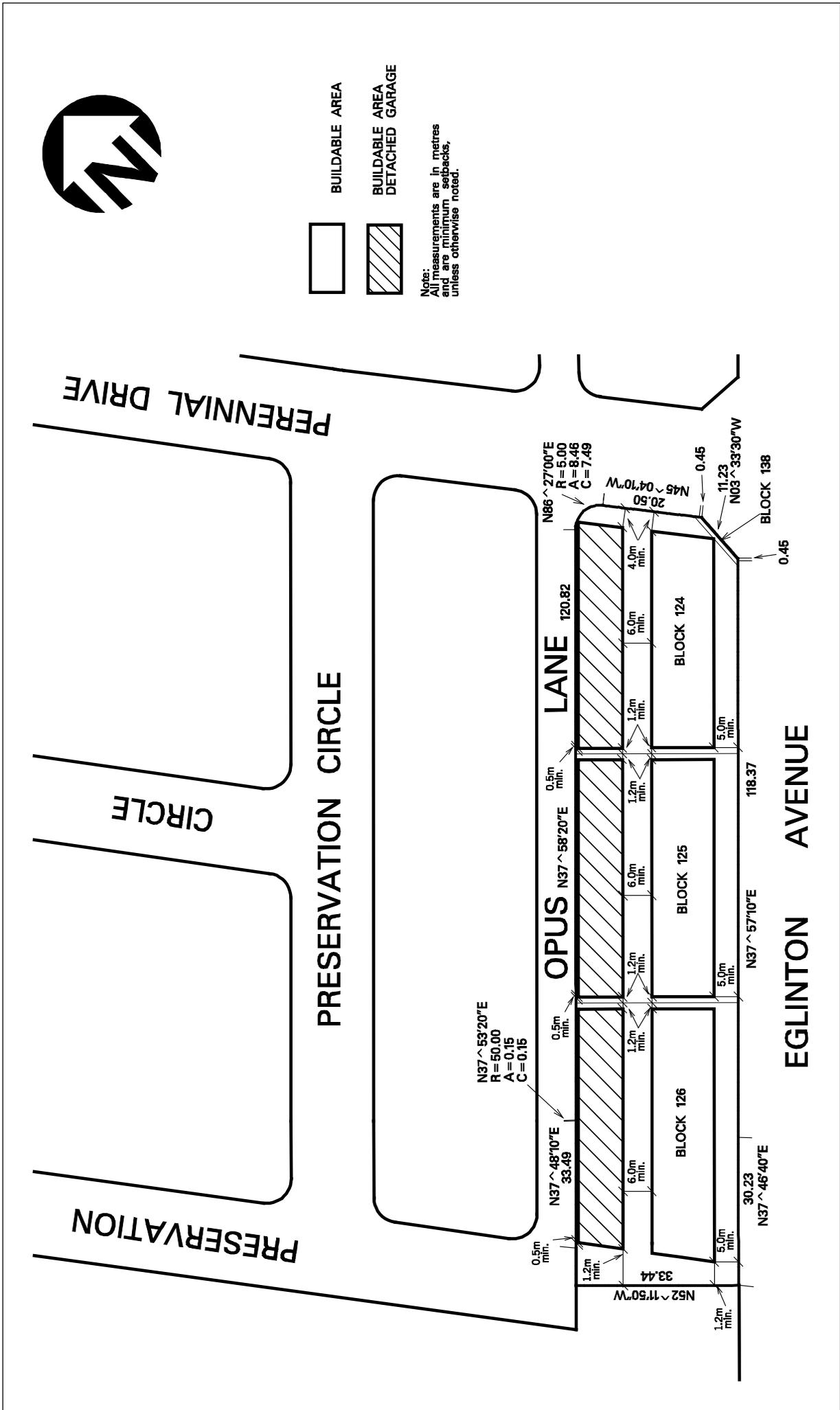
4.11.2.40	Exception: RM5-40	Map # 25, 37W	By-law: 0174-2017, 0048-2025
In a RM5-40 zone the permitted uses and applicable regulations shall be as specified for a RM5 zone except that the following uses/regulations shall apply:			
Additional Permitted Use			
4.11.2.40.1	(1)	Semi-Detached	
Regulation			
4.11.2.40.2		A semi-detached shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law	

4.11.2.41	Exception: RM5-41(1), RM5-41(2), RM5-41(3)	Map # 57	By-law: 0181-2018/LPAT Order 2019 February 15, 0111-2019/LPAT Order 2021 March 09, 0208-2022
In a RM5-41(1), RM5-41(2), and RM5-41(3) zone the permitted uses and applicable regulations shall be as specified for a RM5 zone except that the following uses/regulations shall apply:			
Additional Permitted Uses			
4.11.2.41.1		The following uses are permitted within a street townhouse :	
	(1)	Office	
	(2)	Medical Office - Restricted	
	(3)	Service Establishment	
	(4)	Repair Service	
	(5)	Retail Store	
	(6)	Tutoring	
Uses Not Permitted			
4.11.2.41.2	(1)	Dry-cleaning establishment or depot	
	(2)	Carpet or floor covering cleaning service	
	(3)	Pet Shop	
	(4)	Laundromat or laundry depot	
Regulations			
4.11.2.41.3		Street Townhouse:	
	(1)	the regulations of Line 11.0 contained in Table 4.11.1 of this By-law shall not apply	
	(2)	the uses permitted in Sentence 4.11.2.41.1 of this Exception, except the uses not permitted in Sentence 4.11.2.41.2 of this Exception, shall only be located within the first storey of a street townhouse	

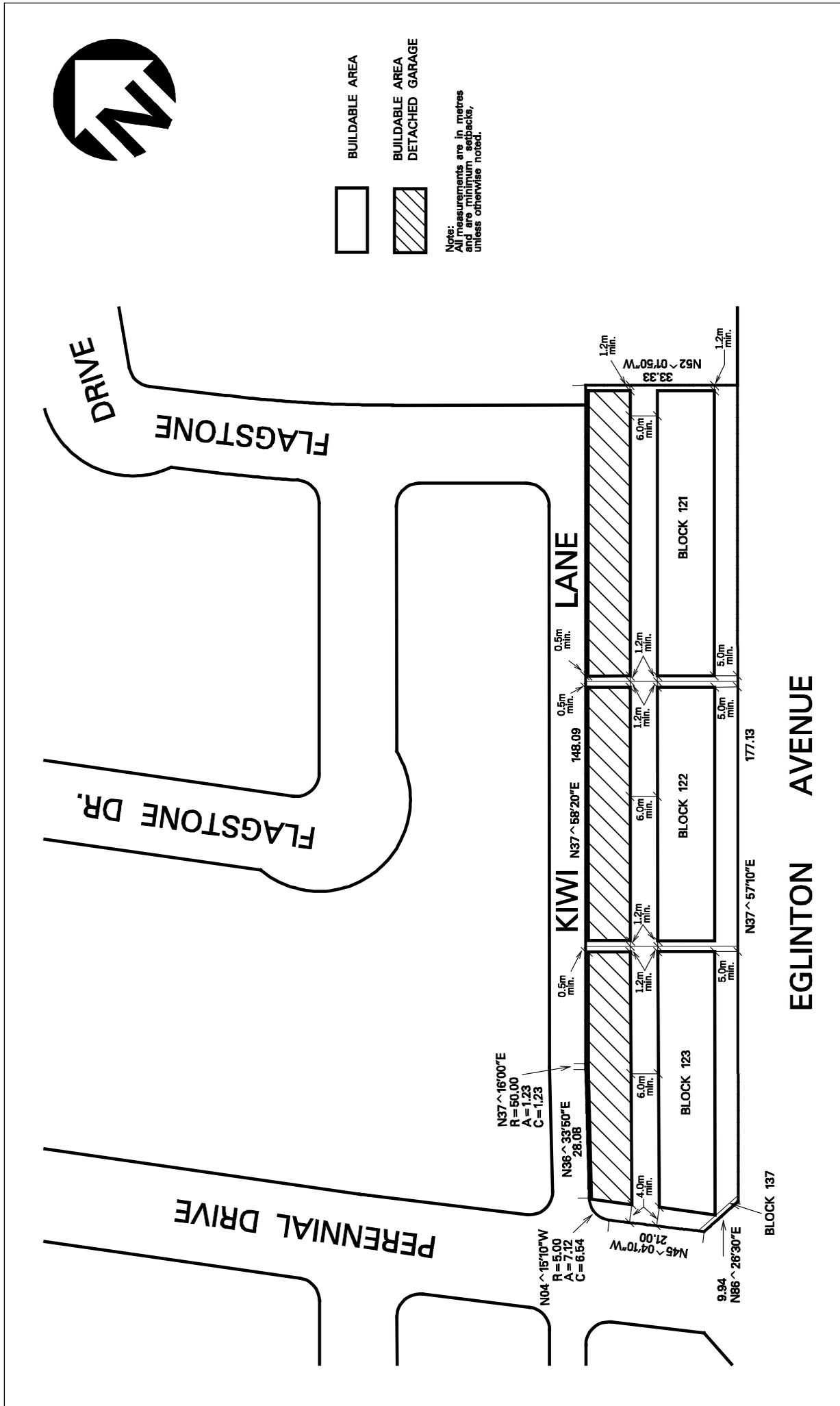
Exception RM5-41(1), RM5-41(2), and RM5-41(3) continued on next page

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4.11.2.41	Exception: RM5-41(1), RM5-41(2), RM5-41(3)	Map # 57	By-law: 0181-2018/LPAT Order 2019 February 15, 0111-2019/LPAT Order 2021 March 09, 0208-2022
Exception RM5-41(1), RM5-41(2), and RM5-41(3) continued from previous page			
4.11.2.41.3 (continued)	(3) maximum number of uses permitted in Sentence 4.11.2.41.1 of this Exception, except the uses not permitted in Sentence 4.11.2.41.2 of this Exception, per street townhouse dwelling unit	1	
	(4) maximum gross floor area - non-residential	65 m ²	
	(5) minimum lot area - corner lot	315 m ²	
	(6) minimum lot frontage - corner lot	10.5 m	
	(7) maximum lot coverage - detached garage	17%	
	(8) minimum front yard - lots without a municipal sidewalk adjacent the front lot line	4.0 m	
	(9) minimum exterior side yard - lots without a municipal sidewalk adjacent the exterior side lot line	4.0 m	
	(10) maximum encroachment of a porch or balcony into the required front and exterior side yards	2.0 m	
	(11) maximum encroachment of a deck beyond the buildable area identified on Schedules RM5-41(1) to RM5-41(3) of this Exception between a street townhouse and a detached garage	2.0 m	
	(12) maximum driveway width	6.1 m	
	(13) a detached garage shall be permitted in the buildable area - detached garage identified on Schedules RM5-41(1) to RM5-41(3) of this Exception		
	(14) maximum garage width: measured from the inside face of the garage side walls - interior lot	5.5 m	
	(15) maximum garage width: measured from the inside face of the garage side walls - corner lot	5.9 m	
	(16) minimum interior side yard on one side of a detached garage located in the rear yard	0.85 m	
	(17) minimum setback of all buildings and structures except a detached garage to a sight triangle	0.0 m	
	(18) notwithstanding Schedules RM5-41(1) to RM5-41(3) of this Exception, attached garages may be permitted in the rear yard of Blocks 122, 125, 132, 133 and 134, identified on Schedules RM5-41(1) to RM5-41(3) of this Exception, in compliance with the following:		
	(18.1) maximum garage width: measured from the inside face of the garage side walls	3.8 m	
	(18.2) maximum driveway width	4.3 m	
	(18.3) minimum rear yard	6.0 m	
	(19) "Rear Lot Line" means the lot line that divides the lot from a public lane identified and named as a "lane" on Schedules RM5-41(1) to RM5-41(3) of this Exception		
	(20) "Front Lot Line" means the lot line opposite the rear lot line		
	(21) all site development plans shall comply with Schedules RM5-41(1) to RM5-41(3) of this Exception		



Schedule RM5-41(1)
Map 57



Schedule RM5-41(2)
Map 57

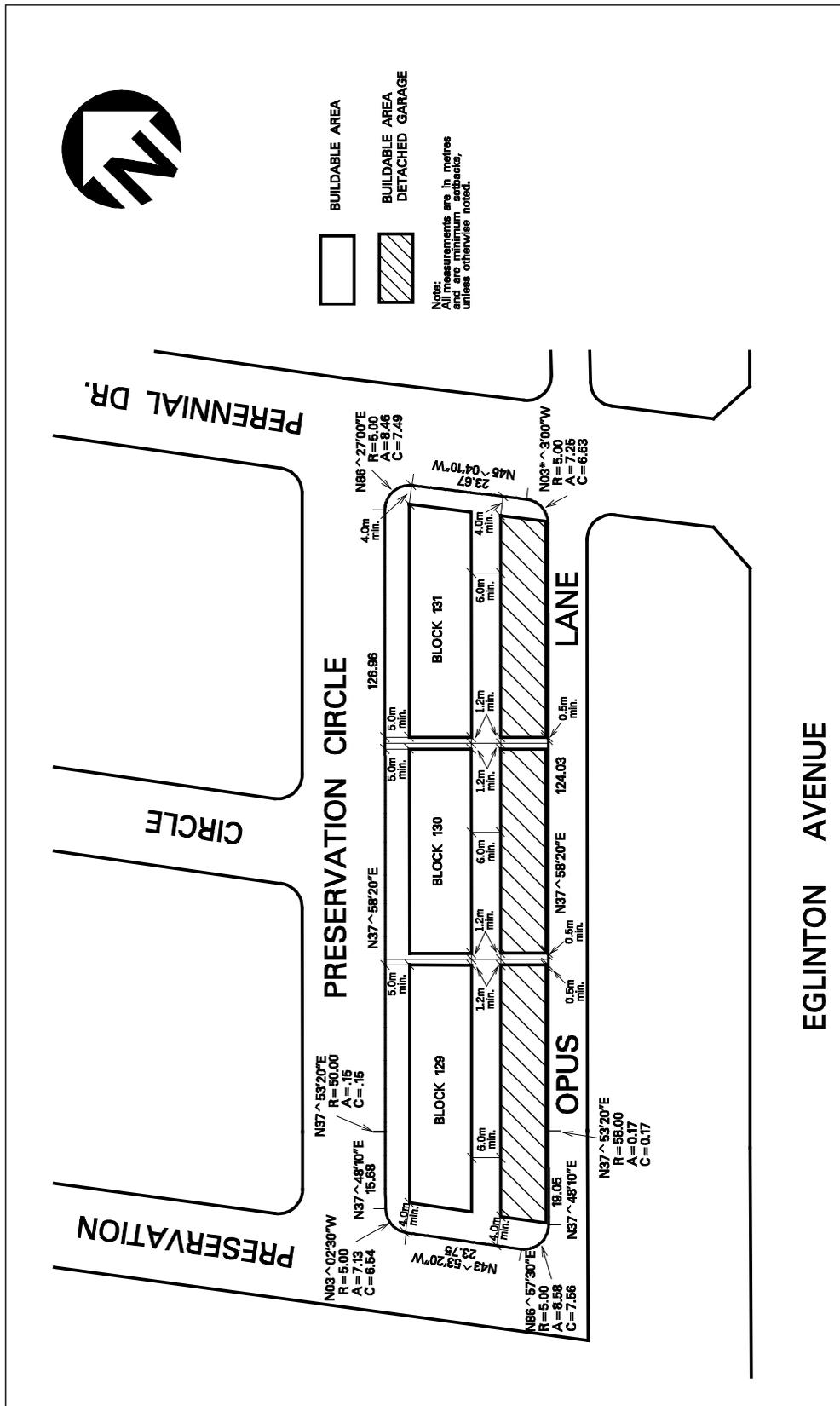
Part 4 - Residential Zones

4.11.2.42	Exception: RM5-42(1), RM5-42(2), RM5-42(3), RM5-42(4), RM5-42(5)	Map # 57	By-law: 0181-2018/LPAT Order 2019 February 15, 0208-2022
In a RM5-42(1), RM5-42(2), RM5-42(3), RM5-42(4) and RM5-42(5) zone the permitted uses and applicable regulations shall be as specified for a RM5 zone except that the following uses/regulations shall apply:			
Regulations			
4.11.2.42.1	The regulations of Line 11.0 contained in Table 4.11.1 of this By-law shall not apply		
4.11.2.42.2	Minimum lot area - corner lot		315 m ²
4.11.2.42.3	Minimum lot frontage - corner lot		10.5 m
4.11.2.42.4	Maximum lot coverage - detached garage		17%
4.11.2.42.5	Minimum front yard - lots without a municipal sidewalk adjacent the front lot line		4.0 m
4.11.2.42.6	Minimum exterior side yard - lots without a municipal sidewalk adjacent the exterior side lot line		4.0 m
4.11.2.42.7	Maximum encroachment of a porch or balcony into the required front and exterior side yards		2.0 m
4.11.2.42.8	Maximum encroachment of a deck outside the buildable area identified on Schedules RM5-42(1) to RM5-42(5) of this Exception between a street townhouse and a detached garage		2.0 m
4.11.2.42.9	Maximum driveway width		6.1 m
4.11.2.42.10	A detached garage shall be permitted in the buildable area - detached garage identified on Schedules RM5-42(1) to RM5-42(5) of this Exception		
4.11.2.42.11	Maximum garage width: measured from the inside face of the garage side walls - interior lot		5.5 m
4.11.2.42.12	Maximum garage width: measured from the inside face of the garage side walls - corner lot		5.9 m
4.11.2.42.13	Minimum setback from one side of a detached garage , located in the rear yard to an interior side lot line		0.8 m
4.11.2.42.14	Minimum setback of all buildings and structures except a detached garage to a sight triangle		0.0 m
4.11.2.42.15	Notwithstanding Schedules RM5-42(1) to RM5-42(5) of this Exception, attached garages may be permitted in the rear yard Block 130 identified on Schedule RM5-42(1) of this Exception; Blocks 126, 127, 128 and 129 identified on Schedule RM5-42(3) of this Exception; Block 122 identified on Schedule RM5-42(4) of this Exception; and Blocks 125 and 126 identified on Schedule RM5-42(5) of this Exception, in compliance with the following:		
	(1) maximum garage width: measured from the inside face of the garage side walls		3.8 m
	(2) maximum driveway width		4.3 m
	(3) minimum rear yard		6.0 m

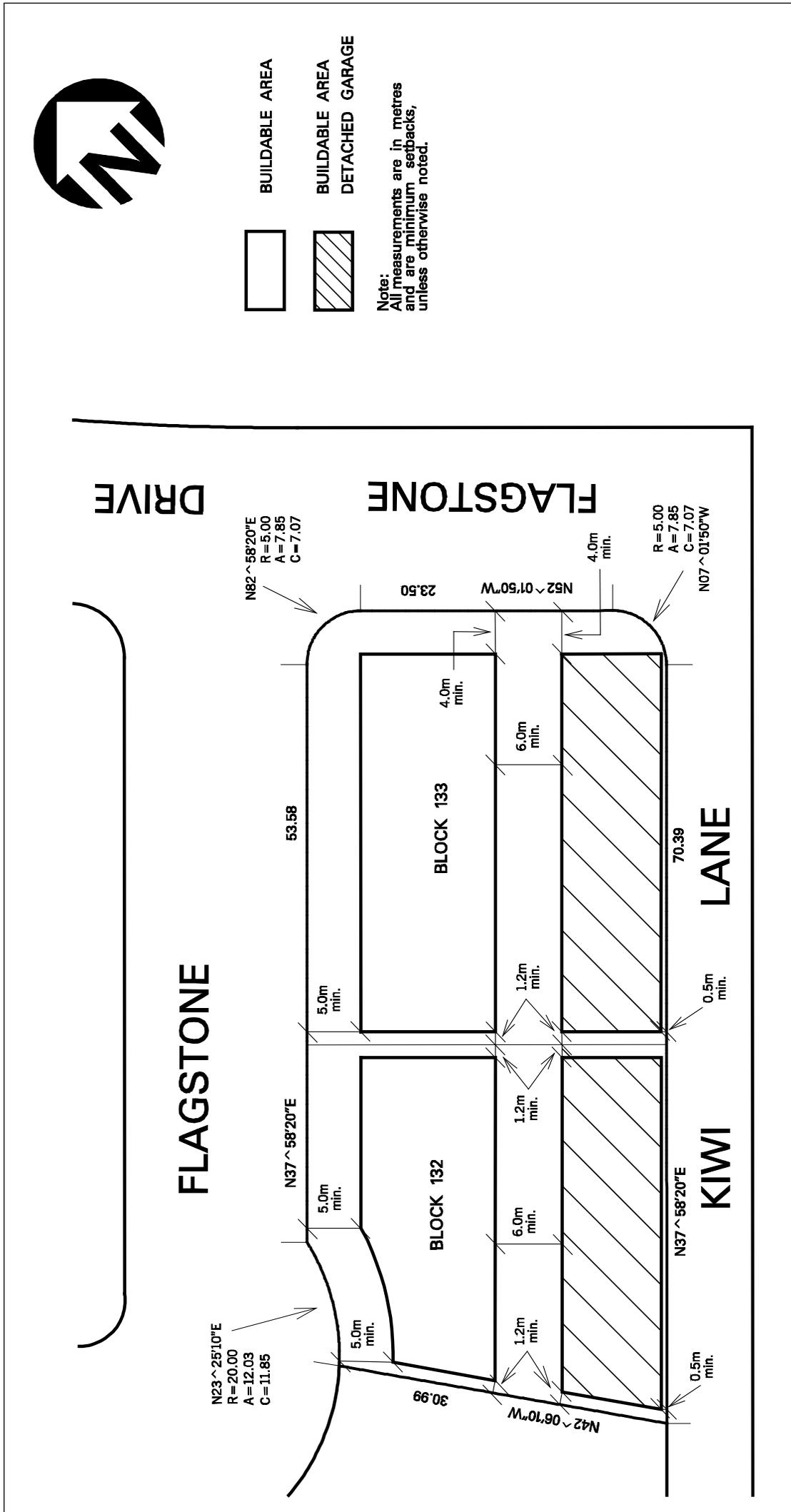
Exception RM5-42(1), RM5-42(2), RM5-42(3), RM5-42(4) and RM5-42(5) continued on next page

Part 4 - Residential Zones

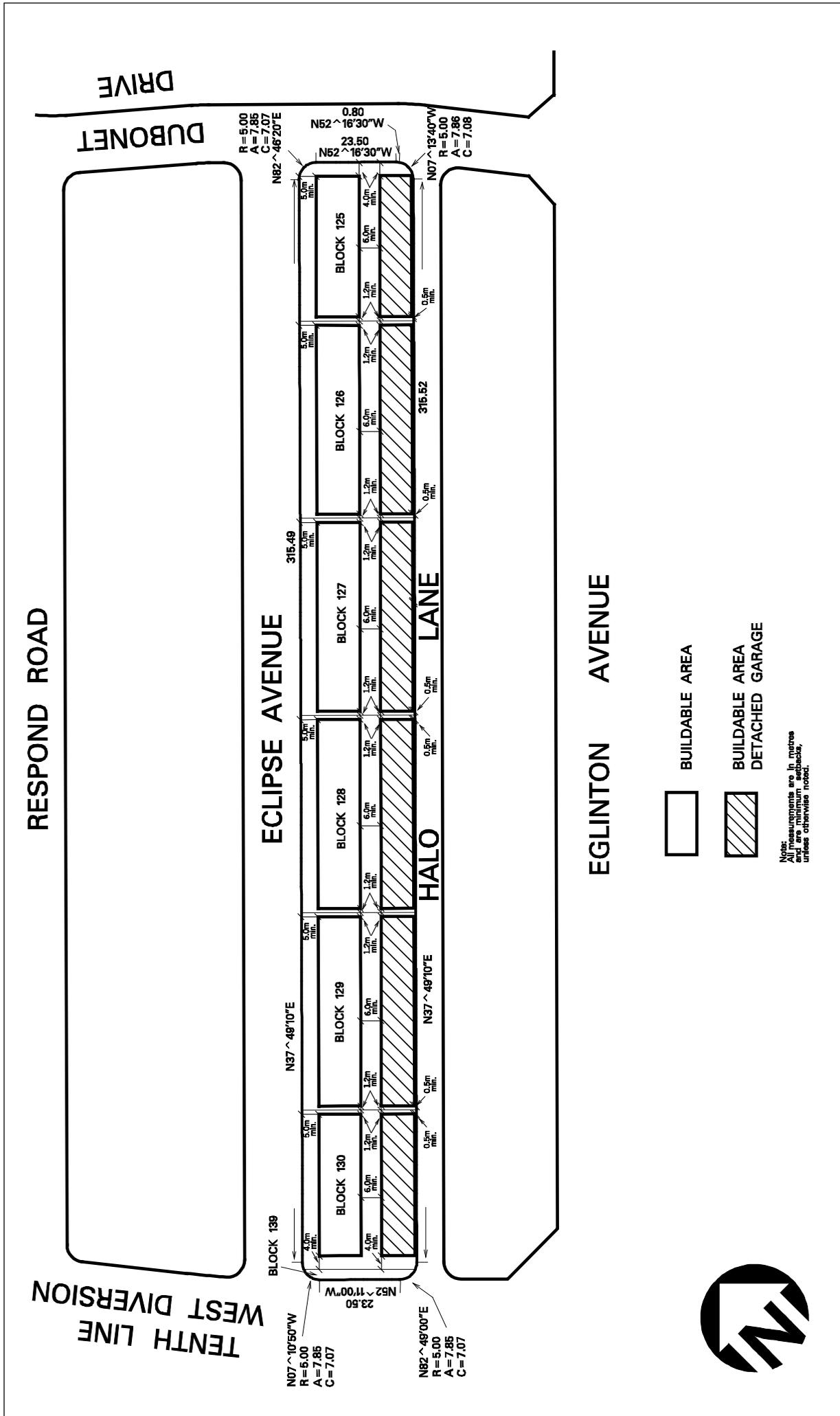
4.11.2.42	Exception: RM5-42(1), RM5-42(2), RM5-42(3), RM5-42(4), RM5-42(5)	Map # 57	By-law: 0181-2018/LPAT Order 2019 February 15, 0208-2022
Exception RM5-42(1), RM5-42(2), RM5-42(3), RM5-42(4) and RM5-42(5) continued from previous page			
4.11.2.42.16	"Rear Lot Line" means the lot line that divides the lot from a public lane identified and named as a "lane" on Schedules RM5-42(1) to RM5-42(5) of this Exception		
4.11.2.42.17	"Front Lot Line" means the lot line opposite the rear lot line		
4.11.2.42.18	All site development plans shall comply with Schedules RM5-42(1) to RM5-42(5) of this Exception		



Schedule RM5-42(1)
Map 57



Schedule RM5-42(2)
Map 57



Schedule RM5-42(3)
Map 57

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4.11.2.43	Exception: RM5-43	Map # 57	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025																																																			
<p>In a RM5-43 zone the permitted uses and applicable regulations shall be as specified for a RM5 zone except that the following uses/regulations shall apply:</p>																																																						
<p>Additional Permitted Use</p>																																																						
<p>4.11.2.43.1 (1) Semi-Detached</p>																																																						
<p>Regulations</p>																																																						
<p>4.11.2.43.2 Street Townhouse:</p> <table border="0" style="width: 100%;"> <tr> <td style="width: 5%;">(1)</td> <td style="width: 85%;">the regulations of Line 11.0 contained in Table 4.11.1 of this By-law shall not apply</td> <td style="width: 10%;"></td> </tr> <tr> <td>(2)</td> <td>minimum lot area - interior lot</td> <td align="right">183 m²</td> </tr> <tr> <td>(3)</td> <td>minimum lot area - corner lot</td> <td align="right">292 m²</td> </tr> <tr> <td>(4)</td> <td>minimum lot frontage - interior lot</td> <td align="right">6.1 m</td> </tr> <tr> <td>(5)</td> <td>minimum lot frontage - corner lot</td> <td align="right">9.75 m</td> </tr> <tr> <td>(6)</td> <td>minimum front yard - lots without a municipal sidewalk adjacent the front lot line</td> <td align="right">3.5 m</td> </tr> <tr> <td>(7)</td> <td>minimum exterior side yard - lots without a municipal sidewalk adjacent the exterior side lot line</td> <td align="right">3.5 m</td> </tr> <tr> <td>(8)</td> <td>minimum setback to garage face</td> <td align="right">5.8 m</td> </tr> <tr> <td>(9)</td> <td>minimum interior side yard - unattached side - all lots</td> <td align="right">1.2 m</td> </tr> <tr> <td>(10)</td> <td>minimum rear yard</td> <td align="right">6.0 m</td> </tr> <tr> <td>(11)</td> <td>maximum encroachment of a porch or balcony into required front and exterior side yards</td> <td align="right">2.0 m</td> </tr> <tr> <td>(12)</td> <td>maximum projection of a garage beyond either the main front entrance or beyond the main entry feature where provided</td> <td align="right">2.5 m</td> </tr> <tr> <td>(13)</td> <td>where a main entry feature has been provided, the maximum projection of a garage beyond a main front entrance</td> <td align="right">5.0 m</td> </tr> <tr> <td>(14)</td> <td>for a street townhouse more than one storey in height, where the garage projects beyond the main front entrance, the garage shall be covered by a second storey which may be set back a maximum of 2.5 m from the garage face</td> <td></td> </tr> <tr> <td>(15)</td> <td>minimum setback to a sight triangle</td> <td align="right">0.0 m</td> </tr> <tr> <td>(16)</td> <td>maximum driveway width</td> <td align="right">3.8 m</td> </tr> <tr> <td>(17)</td> <td>maximum garage width: measured from the inside face of the garage side walls</td> <td align="right">3.8 m</td> </tr> </table>				(1)	the regulations of Line 11.0 contained in Table 4.11.1 of this By-law shall not apply		(2)	minimum lot area - interior lot	183 m ²	(3)	minimum lot area - corner lot	292 m ²	(4)	minimum lot frontage - interior lot	6.1 m	(5)	minimum lot frontage - corner lot	9.75 m	(6)	minimum front yard - lots without a municipal sidewalk adjacent the front lot line	3.5 m	(7)	minimum exterior side yard - lots without a municipal sidewalk adjacent the exterior side lot line	3.5 m	(8)	minimum setback to garage face	5.8 m	(9)	minimum interior side yard - unattached side - all lots	1.2 m	(10)	minimum rear yard	6.0 m	(11)	maximum encroachment of a porch or balcony into required front and exterior side yards	2.0 m	(12)	maximum projection of a garage beyond either the main front entrance or beyond the main entry feature where provided	2.5 m	(13)	where a main entry feature has been provided, the maximum projection of a garage beyond a main front entrance	5.0 m	(14)	for a street townhouse more than one storey in height , where the garage projects beyond the main front entrance , the garage shall be covered by a second storey which may be set back a maximum of 2.5 m from the garage face		(15)	minimum setback to a sight triangle	0.0 m	(16)	maximum driveway width	3.8 m	(17)	maximum garage width: measured from the inside face of the garage side walls	3.8 m
(1)	the regulations of Line 11.0 contained in Table 4.11.1 of this By-law shall not apply																																																					
(2)	minimum lot area - interior lot	183 m ²																																																				
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(17)	maximum garage width: measured from the inside face of the garage side walls	3.8 m																																																				

Exception RM5-43 continued on next page

4.11.2.43	Exception: RM5-43	Map # 57	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025
Exception RM5-43 continued from previous page			
4.11.2.43.3	<p>A semi-detached shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:</p> <ol style="list-style-type: none"> (1) the regulations of Line 5.0 contained in Table 4.2.1 of this By-law shall not apply (2) minimum front yard - lots without a municipal sidewalk adjacent the front lot line 3.5 m (3) minimum exterior side yard - lots without a municipal sidewalk adjacent the exterior side lot line 3.5 m (4) minimum exterior side yard - corner lots with a 0.3 m reserve along the exterior side lot line 4.2 m (5) minimum setback to garage face 5.8 m (6) minimum interior side yard 1.2 m (7) maximum encroachment of a porch or balcony into required front and exterior side yard 2.0 m (8) maximum projection of a garage beyond either the main front entrance or beyond the main entry feature where provided 2.5 m (9) where a main entry feature has been provided, the maximum projection of a garage beyond a main front entrance 5.0 m (10) for a semi-detached more than one storey in height, where the garage projects beyond the main front entrance, the garage shall be covered by a second storey which may be set back a maximum of 2.5 m from the garage face (11) minimum setback to a sight triangle 0.0 m (12) maximum garage width: 3.8 m measured from the inside face of the garage side walls 		

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4.11.2.44	Exception: RM5-44	Map # 57	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RM5-44 zone the permitted uses and applicable regulations shall be as specified for a RM5 zone except that the following uses/regulations shall apply:			
Additional Permitted Uses			
4.11.2.44.1	(1) Detached Dwelling (2) Semi-Detached		
Regulations			
4.11.2.44.2	Street Townhouse:		
	(1) the regulations of Line 11.0 contained in Table 4.11.1 of this By-law shall not apply		
	(2) minimum lot area - interior lot		183 m ²
	(3) minimum lot area - corner lot		292 m ²
	(4) minimum lot frontage - interior lot		6.1 m
	(5) minimum lot frontage - corner lot		9.75 m
	(6) minimum front yard - lots without a municipal sidewalk adjacent the front lot line		3.5 m
	(7) minimum exterior side yard - lots without a municipal sidewalk adjacent the exterior side lot line		3.5 m
	(8) minimum setback to garage face		5.8 m
	(9) minimum interior side yard - unattached side		1.2 m
	(10) minimum rear yard		6.0 m
	(11) minimum setback from a street townhouse to all lands zoned U-3		11.6 m
	(12) maximum encroachment of a porch or balcony into required front and exterior side yards		2.0 m
	(13) maximum projection of a garage beyond either the main front entrance or beyond the main entry feature where provided		2.5 m
	(14) where a main entry feature has been provided, the maximum projection of a garage beyond a main front entrance		5.0 m
	(15) for a street townhouse more than one storey in height , where the garage projects beyond the main front entrance , the garage shall be covered by a second storey which may be set back a maximum of 2.5 m from the garage face		
	(16) maximum driveway width - interior lot		4.3 m
	(17) maximum driveway width - corner lot		4.7 m
	(18) maximum garage width: measured from the inside face of the garage side walls		3.8 m
	(19) minimum setback to a sight triangle		0.0 m

Exception RM5-44 continued on next page

Part 4 - Residential Zones

4.11.2.44	Exception: RM5-44	Map # 57	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025																																													
Exception RM5-44 continued from previous page																																																
4.11.2.44.3	<p>A detached dwelling shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:</p> <table border="0"> <tr> <td data-bbox="386 473 427 505">(1)</td> <td data-bbox="483 473 1239 505">minimum lot area - interior lot</td> <td data-bbox="1255 473 1336 505">275 m²</td> </tr> <tr> <td data-bbox="386 526 427 559">(2)</td> <td data-bbox="483 526 1239 559">minimum lot area - corner lot</td> <td data-bbox="1255 526 1336 559">380 m²</td> </tr> <tr> <td data-bbox="386 580 427 612">(3)</td> <td data-bbox="483 580 1239 612">minimum lot frontage - interior lot</td> <td data-bbox="1255 580 1336 612">9.75 m</td> </tr> <tr> <td data-bbox="386 634 427 666">(4)</td> <td data-bbox="483 634 1239 666">minimum lot frontage - corner lot</td> <td data-bbox="1255 634 1336 666">13.5 m</td> </tr> <tr> <td data-bbox="386 688 427 720">(5)</td> <td data-bbox="483 688 1239 720">minimum rear yard</td> <td data-bbox="1255 688 1336 720">7.5 m</td> </tr> <tr> <td data-bbox="386 741 427 774">(6)</td> <td data-bbox="483 741 1239 795">minimum setback of a detached dwelling to all lands zoned U-3</td> <td data-bbox="1255 741 1336 774">11.6 m</td> </tr> <tr> <td data-bbox="386 822 427 854">(7)</td> <td data-bbox="483 822 1239 854">maximum driveway width</td> <td data-bbox="1255 822 1336 854">6.5 m</td> </tr> <tr> <td data-bbox="386 876 427 908">(8)</td> <td data-bbox="483 876 1239 930">maximum garage width: measured from the inside face of the garage side walls</td> <td data-bbox="1255 876 1336 908">5.5 m</td> </tr> </table>			(1)	minimum lot area - interior lot	275 m ²	(2)	minimum lot area - corner lot	380 m ²	(3)	minimum lot frontage - interior lot	9.75 m	(4)	minimum lot frontage - corner lot	13.5 m	(5)	minimum rear yard	7.5 m	(6)	minimum setback of a detached dwelling to all lands zoned U-3	11.6 m	(7)	maximum driveway width	6.5 m	(8)	maximum garage width: measured from the inside face of the garage side walls	5.5 m																					
(1)	minimum lot area - interior lot	275 m ²																																														
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(8)	maximum garage width: measured from the inside face of the garage side walls	5.5 m																																														
4.11.2.44.4	<p>A semi-detached shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:</p> <table border="0"> <tr> <td data-bbox="386 1037 427 1069">(1)</td> <td data-bbox="483 1037 1239 1091">the regulations of Line 5.0 contained in Table 4.2.1 of this By-law shall not apply</td> <td></td> </tr> <tr> <td data-bbox="386 1118 427 1150">(2)</td> <td data-bbox="483 1118 1239 1171">minimum front yard - lots without a municipal sidewalk adjacent the front lot line</td> <td data-bbox="1255 1118 1336 1150">3.5 m</td> </tr> <tr> <td data-bbox="386 1198 427 1231">(3)</td> <td data-bbox="483 1198 1239 1252">minimum exterior side yard - lots without a municipal sidewalk adjacent the exterior side lot line</td> <td data-bbox="1255 1198 1336 1231">3.5 m</td> </tr> <tr> <td data-bbox="386 1279 427 1311">(4)</td> <td data-bbox="483 1279 1239 1333">minimum exterior side yard - lots abutting a street with a right-of-way width less than 17.0 m</td> <td data-bbox="1255 1279 1336 1311">1.8 m</td> </tr> <tr> <td data-bbox="386 1360 427 1392">(5)</td> <td data-bbox="483 1360 1239 1413">minimum exterior side yard with a 0.3 m reserve along the exterior side lot line</td> <td data-bbox="1255 1360 1336 1392">4.2 m</td> </tr> <tr> <td data-bbox="386 1440 427 1473">(6)</td> <td data-bbox="483 1440 1239 1473">minimum setback to garage face</td> <td data-bbox="1255 1440 1336 1473">5.8 m</td> </tr> <tr> <td data-bbox="386 1494 427 1526">(7)</td> <td data-bbox="483 1494 1239 1526">minimum setback to a sight triangle</td> <td data-bbox="1255 1494 1336 1526">0.0 m</td> </tr> <tr> <td data-bbox="386 1548 427 1580">(8)</td> <td data-bbox="483 1548 1239 1602">minimum setback of a semi-detached to all lands zoned U-3</td> <td data-bbox="1255 1548 1336 1580">11.6 m</td> </tr> <tr> <td data-bbox="386 1628 427 1661">(9)</td> <td data-bbox="483 1628 1239 1682">maximum encroachment of a porch or balcony into a required front and exterior side yards</td> <td data-bbox="1255 1628 1336 1661">2.0 m</td> </tr> <tr> <td data-bbox="386 1709 427 1741">(10)</td> <td data-bbox="483 1709 1239 1763">maximum projection of a garage beyond either the main front entrance or beyond the main entry feature where provided</td> <td data-bbox="1255 1709 1336 1741">2.5 m</td> </tr> <tr> <td data-bbox="386 1790 427 1822">(11)</td> <td data-bbox="483 1790 1239 1843">where a main entry feature has been provided, the maximum projection of a garage beyond a main front entrance</td> <td data-bbox="1255 1790 1336 1822">5.0 m</td> </tr> <tr> <td data-bbox="386 1870 427 1903">(12)</td> <td data-bbox="483 1870 1239 1924">for a semi-detached more than one storey in height, where the garage projects beyond the main front entrance, the garage shall be covered by a second storey which may be set back a maximum of 2.5 m from the garage face</td> <td></td> </tr> <tr> <td data-bbox="386 1951 427 1983">(13)</td> <td data-bbox="483 1951 1239 1983">maximum driveway width - interior lot</td> <td data-bbox="1255 1951 1336 1983">4.3 m</td> </tr> <tr> <td data-bbox="386 2005 427 2037">(14)</td> <td data-bbox="483 2005 1239 2037">maximum driveway width - corner lot</td> <td data-bbox="1255 2005 1336 2037">4.7 m</td> </tr> <tr> <td data-bbox="386 2059 427 2091">(15)</td> <td data-bbox="483 2059 1239 2112">maximum garage width: measured from the inside face of the garage side walls</td> <td data-bbox="1255 2059 1336 2091">3.8 m</td> </tr> </table>			(1)	the regulations of Line 5.0 contained in Table 4.2.1 of this By-law shall not apply		(2)	minimum front yard - lots without a municipal sidewalk adjacent the front lot line	3.5 m	(3)	minimum exterior side yard - lots without a municipal sidewalk adjacent the exterior side lot line	3.5 m	(4)	minimum exterior side yard - lots abutting a street with a right-of-way width less than 17.0 m	1.8 m	(5)	minimum exterior side yard with a 0.3 m reserve along the exterior side lot line	4.2 m	(6)	minimum setback to garage face	5.8 m	(7)	minimum setback to a sight triangle	0.0 m	(8)	minimum setback of a semi-detached to all lands zoned U-3	11.6 m	(9)	maximum encroachment of a porch or balcony into a required front and exterior side yards	2.0 m	(10)	maximum projection of a garage beyond either the main front entrance or beyond the main entry feature where provided	2.5 m	(11)	where a main entry feature has been provided, the maximum projection of a garage beyond a main front entrance	5.0 m	(12)	for a semi-detached more than one storey in height , where the garage projects beyond the main front entrance , the garage shall be covered by a second storey which may be set back a maximum of 2.5 m from the garage face		(13)	maximum driveway width - interior lot	4.3 m	(14)	maximum driveway width - corner lot	4.7 m	(15)	maximum garage width: measured from the inside face of the garage side walls	3.8 m
(1)	the regulations of Line 5.0 contained in Table 4.2.1 of this By-law shall not apply																																															
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(10)	maximum projection of a garage beyond either the main front entrance or beyond the main entry feature where provided	2.5 m																																														
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(12)	for a semi-detached more than one storey in height , where the garage projects beyond the main front entrance , the garage shall be covered by a second storey which may be set back a maximum of 2.5 m from the garage face																																															
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(14)	maximum driveway width - corner lot	4.7 m																																														
(15)	maximum garage width: measured from the inside face of the garage side walls	3.8 m																																														

Part 4 - Residential Zones

4.11.2.45	Exception: RM5-45	Map # 57	By-law: 0181-2018/LPAT Order 2019 February 15, 0208-2022
In a RM5-45 zone the permitted uses and applicable regulations shall be as specified for a RM5 zone except that the following uses/regulations shall apply:			
Regulations			
4.11.2.45.1	The provisions contained in Subsection 2.1.14 and the regulations of Line 11.0 contained in Table 4.11.1 of this By-law shall not apply		
4.11.2.45.2	Minimum lot area - interior lot		170 m ²
4.11.2.45.3	Minimum lot area - corner lot		235 m ²
4.11.2.45.4	Minimum lot frontage - interior lot		7.5 m
4.11.2.45.5	Minimum lot frontage - corner lot		10.5 m
4.11.2.45.6	Minimum setback of all buildings and structures except a detached garage to a sight triangle		0.0 m
4.11.2.45.7	Minimum height		8.5 m
4.11.2.45.8	Minimum height - street townhouse with an unattached side		8.0 m
4.11.2.45.9	Maximum projection of a porch or balcony outside the buildable area identified on Schedule RM5-45 of this Exception into the front and/or exterior side yard provided that the width of the porch or balcony shall not exceed 50% of the width of the street townhouse		1.5 m
4.11.2.45.10	Maximum projection of an awning outside the buildable area identified on Schedule RM5-45 of this Exception into the required front yard		0.6 m
4.11.2.45.11	Maximum projection of an awning outside the buildable area identified on Schedule RM5-45 of this Exception into the required exterior side yard		0.3 m
4.11.2.45.12	Maximum projection of a window projection, with or without a foundation, chimney , pilaster or corbel outside the buildable area identified on Schedule RM5-45 of this Exception into a required yard		0.6 m
4.11.2.45.13	Maximum area of a deck in the buildable area identified on Schedule RM5-45 of this Exception		10 m ²
4.11.2.45.14	Maximum garage width: measured from the inside face of the garage side walls - interior lot		5.5 m
4.11.2.45.15	Maximum garage width: measured from the inside face of the garage side walls - corner lot		5.9 m
4.11.2.45.16	Maximum height - attached garage with no habitable rooms above: measured from established grade to the highest point of the garage roof		4.6 m
4.11.2.45.17	Maximum height - attached garage with habitable rooms above: measured from established grade to the highest point of the roof		8.5 m
4.11.2.45.18	Minimum interior side yard on one side of an attached garage		0.85 m
4.11.2.45.19	Maximum driveway width		6.5 m

Exception RM5-45 continued on next page

Part 4 - Residential Zones

4.11.2.46	Exception: RM5-46	Map # 57	By-law: 0181-2018/LPAT Order 2019 February 15
<p>In a RM5-46 zone the permitted uses and applicable regulations shall be as specified for a RM5 zone except that the following uses/regulations shall apply:</p>			
Regulations			
4.11.2.46.1	The regulations of Line 11.0 contained in Table 4.11.1 of this By-law shall not apply		
4.11.2.46.2	Minimum lot area - interior lot		170 m ²
4.11.2.46.3	Minimum lot area - corner lot		235 m ²
4.11.2.46.4	Minimum lot frontage - interior lot		5.4 m
4.11.2.46.5	Minimum lot frontage - corner lot		10.5 m
4.11.2.46.6	Minimum front yard - lot without a municipal sidewalk adjacent the front lot line		3.5 m
4.11.2.46.7	Minimum exterior side yard		3.5 m
4.11.2.46.8	Minimum rear yard		7.0 m
4.11.2.46.9	Maximum encroachment of a porch or balcony into the required front and exterior side yards		2.0 m
4.11.2.46.10	Maximum encroachment of an awning into the required front yard		0.6 m
4.11.2.46.11	Maximum encroachment of an awning into the required exterior side yard		0.3 m
4.11.2.46.12	Maximum projection of a garage beyond either the main front entrance or beyond the main entry feature where provided		2.5 m
4.11.2.46.13	Where a main entry feature has been provided, the maximum projection of a garage beyond a main front entrance		5.0 m
4.11.2.46.14	For a street townhouse more than one storey in height , where the garage projects beyond the main front entrance , a minimum of 60% of the width of the garage shall be covered by a second storey which may be set back a maximum of 2.5 m from the garage face		
4.11.2.46.15	Minimum setback to a sight triangle		0.0 m
4.11.2.46.16	Maximum driveway width - interior lot		3.8 m
4.11.2.46.17	Maximum driveway width - corner lot		4.2 m
4.11.2.46.18	Maximum garage width: measured from the inside face of the garage side walls		3.8 m

Part 4 - Residential Zones

4.11.2.47	Exception: RM5-47	Map # 38W	By-law: 0426-2008, 0181-2018/LPAT Order 2019 February 15
In a RM5-47 zone the permitted uses and applicable regulations shall be as specified for a RM5 zone except that the following uses/regulations shall apply:			
Regulations			
4.11.2.47.1	The provisions contained in Sentence 3.1.1.2.1 of this By-law shall not apply		
4.11.2.47.2	Minimum lot area - interior lot		155 m ²
4.11.2.47.3	Minimum lot frontage - interior lot		6.0 m
4.11.2.47.4	Minimum front yard		3.2 m
4.11.2.47.5	Minimum front yard - garage face		2.2 m
4.11.2.47.6	Minimum interior side yard - unattached side		1.3 m
4.11.2.47.7	Maximum height		13.0 m
4.11.2.47.8	Maximum gross floor area - residential		295 m ²
4.11.2.47.9	Maximum driveway width		5.72 m
4.11.2.47.10	"Gross Floor Area - Residential" means the sum of the areas of each storey of a building above established grade measured from the exterior of outside walls but shall not include any part of the building used for motor vehicle parking		

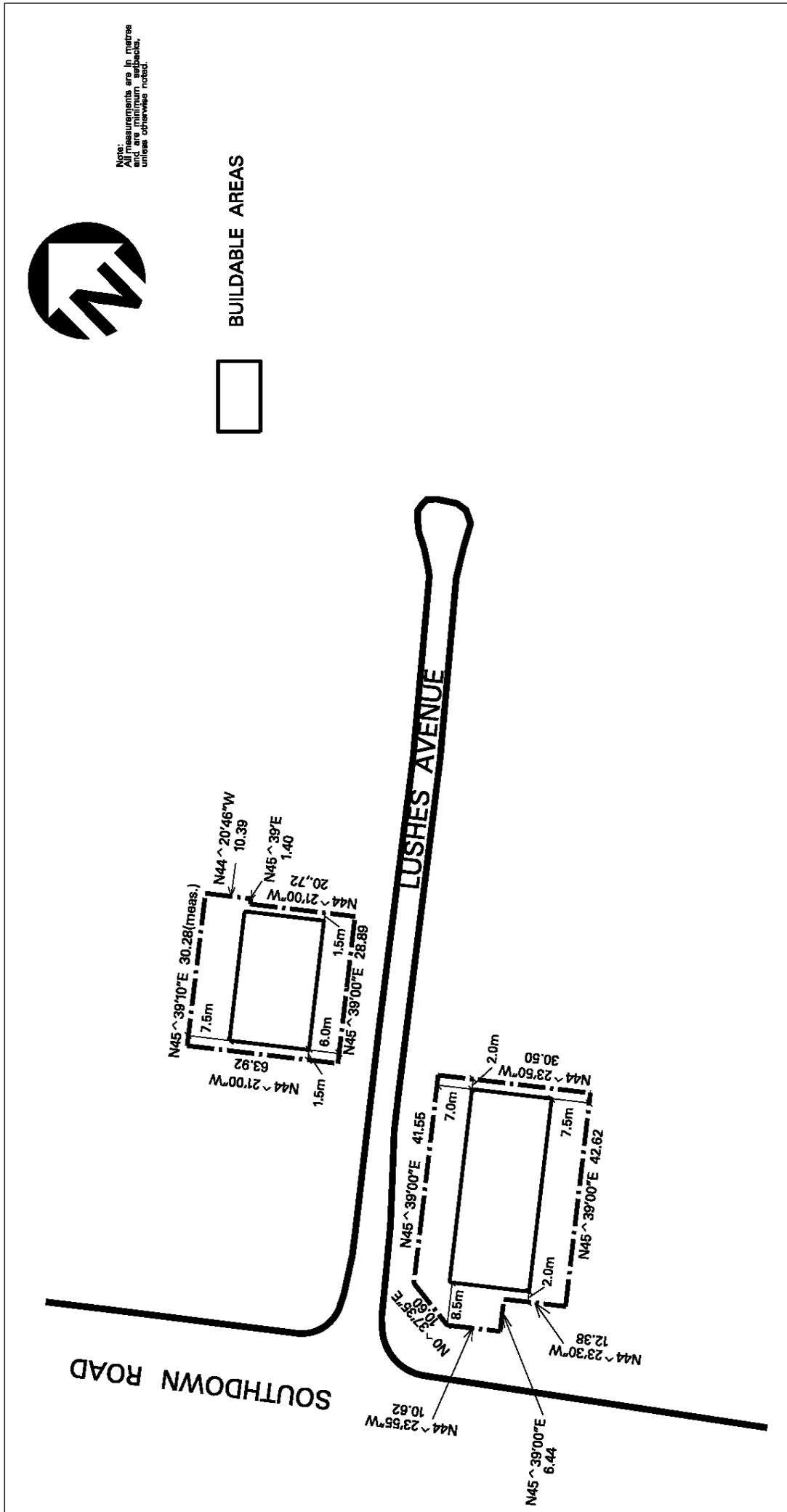
4.11.2.48	Exception: RM5-48	Map # 57	By-law: 0455-2007, 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RM5-48 zone the permitted uses and applicable regulations shall be as specified for a RM5 zone except that the following uses/regulations shall apply:			
Additional Permitted Uses			
4.11.2.48.1	(1) Detached Dwelling (2) Semi-Detached		
Regulations			
4.11.2.48.2	A detached dwelling shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1) maximum number of detached dwelling units permitted within 185.0 m of Thomas Street		1
	(2) minimum setback of a lot to Winston Churchill Boulevard		108.0 m
	(3) minimum lot area - interior lot		275 m ²
	(4) minimum lot frontage - interior lot		9.75 m
	(5) minimum lot frontage - corner lot		13.0 m
	(6) maximum driveway width		6.5 m
	(7) maximum garage width: measured from the inside face of the garage side walls		5.5 m
	(8) a balcony with a maximum area of 10 m ² is permitted on top of an attached garage provided that the balcony does not project more than 1.0 m beyond the garage face		

Exception RM5-48 continued on next page

4.11.2.48	Exception: RM5-48	Map # 57	By-law: 0455-2007, 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025
Exception RM5-48 continued from previous page			
4.11.2.48.3	<p>A semi-detached shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:</p> <ol style="list-style-type: none"> (1) the regulations of Lines 5.0 and 11.0 contained in Table 4.2.1 of this By-law shall not apply (2) minimum front yard - lots without a municipal sidewalk adjacent the front lot line 3.5 m (3) minimum setback to garage face 5.8 m (4) minimum exterior side yard - lots without a municipal sidewalk adjacent the exterior side lot line 3.5 m (5) minimum exterior side yard - lots abutting a street with a right-of-way width less than 17.0 m 1.8 m (6) minimum exterior side yard - corner lots with a 0.3 m reserve along the exterior side lot line 4.2 m (7) minimum rear yard 7.0 m (8) maximum encroachment of a porch or balcony into required front and exterior side yards 2.0 m (9) maximum projection of a garage beyond either the main front entrance or beyond the main entry feature where provided 2.5 m (10) where a main entry feature has been provided, the maximum projection of a garage beyond a main front entrance 5.0 m (11) for a semi-detached more than one storey in height, where the garage projects beyond the main front entrance, a minimum of 75% of the width of the garage, measured from the inside face of the garage walls, the garage shall be covered by a second storey which may be set back a maximum of 2.5 m from the garage face (12) minimum setback to a sight triangle 0.0 m (13) maximum driveway width - interior lot 4.3 m (14) maximum driveway width - corner lot 4.7 m (15) maximum garage width: measured from the inside face of the garage side walls 3.8 m (16) a balcony with a maximum area of 10 m² is permitted on top of an attached garage provided that the balcony does not project more than 1.0 m beyond the garage face 		

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4.11.2.49	Exception: RM5-49	Map # 03	By-law: 0281-2008, 0410-2008, 0181-2018/LPAT Order 2019 February 15, 0208-2022
In a RM5-49 zone the permitted uses and applicable regulations shall be as specified for a RM5 zone except that the following uses/regulations shall apply:			
Regulations			
4.11.2.49.1	Minimum lot area - interior lot		188 m ²
4.11.2.49.2	Minimum lot frontage - interior lot		6.3 m
4.11.2.49.3	Maximum gross floor area - residential		1.16 times the lot area
4.11.2.49.4	Maximum encroachment of a porch or deck inclusive of stairs located at and accessible from the first storey or below the first storey into the required front and exterior side yards outside the buildable area identified on Schedule RM5-49 of this Exception		1.6 m
4.11.2.49.5	Maximum encroachment of an awning, window, chimney , pilaster or corbel, window well, and stairs with a maximum of three risers into the required front and exterior side yards outside the buildable area identified on Schedule RM5-49 of this Exception		0.61 m
4.11.2.49.6	Maximum encroachment of a porch or deck inclusive of stairs located at and accessible from the first storey or below the first storey , or awning into the required rear yard outside the buildable area identified on Schedule RM5-49 of this Exception		5.0 m
4.11.2.49.7	For a lot with a townhouse requiring a 0.0 m interior side yard , the setback to the interior side lot line from a porch or deck inclusive of stairs permitted in the rear yard , shall also be 0.0 m		
4.11.2.49.8	Maximum encroachment of a balcony into the required front , exterior side or rear yard outside the buildable area identified on Schedule RM5-49 of this Exception		1.0 m
4.11.2.49.9	Maximum encroachment of a window, chimney , heating and/or air conditioning equipment, pilaster or corbel, window well, and stairs with a maximum of three risers into the required rear yard outside the buildable area identified on Schedule RM5-49 of this Exception		1.0 m
4.11.2.49.10	All site development plans shall comply with Schedule RM5-49 of this Exception		



Schedule RM5-49
Map 03

Part 4 - Residential Zones

4.11.2.50	Exception: RM5-50	Map # 30	By-law: 0184-2008
In a RM5-50 zone the permitted uses and applicable regulations shall be as specified for a RM5 zone except that the following uses/regulations shall apply:			
Regulations			
4.11.2.50.1	The regulations of Line 11.0 contained in Table 4.11.1 of this By-law shall not apply		
4.11.2.50.2	Minimum lot area - interior lot		145 m ²
4.11.2.50.3	Minimum lot area - corner lot		255 m ²
4.11.2.50.4	Minimum lot frontage - interior lot		6.0 m
4.11.2.50.5	Minimum lot frontage - corner lot		10.5 m
4.11.2.50.6	Minimum rear yard		6.0 m
4.11.2.50.7	Maximum encroachment of a porch or a balcony into the required front yard or exterior side yard		2.0 m
4.11.2.50.8	Maximum height		11.0 m
4.11.2.50.9	Maximum driveway width		3.0 m
4.11.2.50.10	Maximum area of a balcony on top of an attached garage		6 m ²

4.11.2.51	Exception: RM5-51	Map # 15	By-law: 0389-2009, 0188-2010
In a RM5-51 zone the permitted uses and applicable regulations shall be as specified for a RM5 zone except that the following uses/regulations shall apply:			
Regulations			
4.11.2.51.1	Minimum lot area - interior lot		195 m ²
4.11.2.51.2	Minimum lot area - corner lot		384 m ²
4.11.2.51.3	Minimum lot frontage - corner lot		13.6 m
4.11.2.51.4	Minimum exterior side yard		7.2 m
4.11.2.51.5	Minimum interior side yard - unattached side		1.2 m
4.11.2.51.6	Maximum gross floor area - residential		1.37 times the lot area
4.11.2.51.7	Maximum encroachment of a porch or a deck , located at and accessible from the first storey or below the first storey of the dwelling, inclusive of stairs, into a required front yard		2.0 m
4.11.2.51.8	Maximum encroachment of a balcony into a required rear yard		2.5 m
4.11.2.51.9	Maximum driveway width		3.75 m
4.11.2.51.10	Maximum garage door width		3.0 m

Part 4 - Residential Zones

4.11.2.52	Exception: RM5-52	Map # 15	By-law: 0389-2009, 0188-2010, 0048-2025
<p>In a RM5-52 zone the permitted uses and applicable regulations shall be as specified for a RM5 zone except that the following uses/regulations shall apply:</p>			
Regulations			
4.11.2.52.1	Minimum lot area - interior lot		250 m ²
4.11.2.52.2	Minimum lot frontage - interior lot		7.5 m
4.11.2.52.3	Minimum interior side yard - unattached side abutting a RL zone		3.0 m
4.11.2.52.4	Maximum gross floor area - residential		1.08 times the lot area
4.11.2.52.5	Maximum encroachment of a porch or a deck , located at and accessible from the first storey or below the first storey of the dwelling, inclusive of stairs, into a required front yard		2.0 m
4.11.2.52.6	Maximum encroachment of a balcony into a required rear yard		2.5 m
4.11.2.52.7	Maximum driveway width		3.75 m
4.11.2.52.8	Maximum garage door width		3.0 m
4.11.2.52.9	Minimum number of parking spaces per dwelling unit		3.0
4.11.2.52.10	Tandem parking is permitted within a garage		
4.11.2.52.11	A hammerhead shall be permitted on a lot with a lot frontage greater than or equal to 7.5 m		

4.11.2.53	Exception: RM5-53	Map # 36W	By-law: 0088-2013/OMB Order 2013 November 18/ 2014 November 11, 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025
<p>In a RM5-53 zone the permitted uses and applicable regulations shall be as specified for a RM5 zone except that the following uses/regulations shall apply:</p>			
Additional Permitted Use			
4.11.2.53.1	(1)	Semi-Detached	
Regulations			
4.11.2.53.2	Street Townhouse:		
	(1)	minimum lot area - interior lot	162 m ²
	(2)	minimum lot area - corner lot	255 m ²
	(3)	minimum lot frontage - interior lot	6.0 m
	(4)	minimum lot frontage - corner lot	9.5 m
	(5)	minimum exterior side yard	4.0 m
	(6)	minimum interior side yard - unattached side	0.91 m
	(7)	maximum height	11.0 m
	(8)	maximum gross floor area - residential	1.2 times the lot area
	(9)	maximum encroachment of a porch or balcony into the required front yard	2.0 m
	(10)	a porch or a deck , exceeding 0.61 m in height above grade at any point, shall not project from the rear wall of a dwelling	

Exception RM5-53 continued on next page

Part 4 - Residential Zones

4.11.2.53	Exception: RM5-53	Map # 36W	By-law: 0088-2013/OMB Order 2013 November 18/ 2014 November 11, 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025
Exception RM5-53 continued from previous page			
4.11.2.53.2 (continued)	(11)	Article 4.1.5.2 and Article 4.1.5.7 of this By-law shall only apply to a porch or deck 0.61 m or less in height above grade at any point	
	(12)	a balcony shall not project from the rear wall of a dwelling	
4.11.2.53.3	A semi-detached shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1)	minimum lot area - interior lot	162 m ²
	(2)	minimum lot frontage - interior lot	6.0 m
	(3)	maximum lot coverage	48%
	(4)	minimum exterior side yard	4.0 m
	(5)	maximum height	11.0 m
	(6)	maximum gross floor area - residential	1.2 times the lot area
	(7)	maximum encroachment of a porch or balcony into the required front yard	2.0 m
	(8)	a porch or a deck , exceeding 0.61 m in height above grade at any point, shall not project from the rear wall of a dwelling	
	(9)	Article 4.1.5.2 and Article 4.1.5.7 of this By-law shall only apply to a porch or deck 0.61 m or less in height above grade at any point	
	(10)	a balcony shall not project from the rear wall of a dwelling	
	(11)	minimum interior side yard	0.9 m

4.11.2.54	Exception: RM5-54	Map # 57	By-law: 0055-2012, 0181-2018/LPAT Order 2019 February 15
In a RM5-54 zone the permitted uses and applicable regulations shall be as specified for a RM5 zone except that the following uses/regulations shall apply:			
Regulations			
4.11.2.54.1	Minimum lot area - interior lot		183 m ²
4.11.2.54.2	Minimum lot area - corner lot		292 m ²
4.11.2.54.3	Minimum lot frontage - interior lot		6.1 m
4.11.2.54.4	Minimum lot frontage - corner lot		9.7 m
4.11.2.54.5	Minimum front yard - lots without a municipal sidewalk adjacent the front lot line		3.5 m
4.11.2.54.6	Minimum exterior side yard - lots without a municipal sidewalk adjacent the exterior side lot line		3.5 m
4.11.2.54.7	Minimum interior side yard - unattached side		1.2 m
4.11.2.54.8	Minimum rear yard		6.0 m
4.11.2.54.9	Minimum setback to garage face		5.8 m

Exception RM5-54 continued on next page

Part 4 - Residential Zones

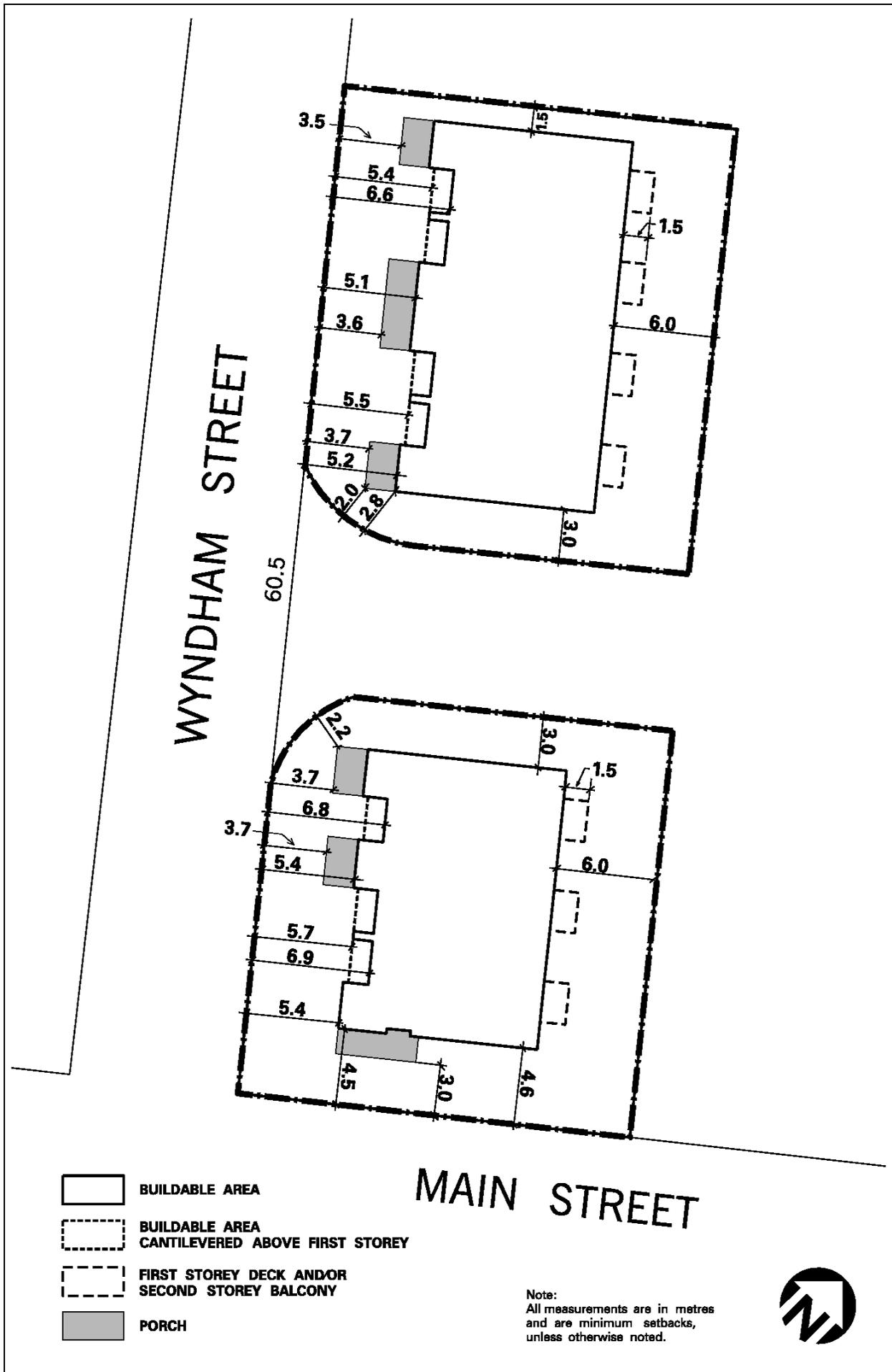
4.11.2.54	Exception: RM5-54	Map # 57	By-law: 0055-2012, 0181-2018/LPAT Order 2019 February 15
Exception RM5-54 continued from previous page			
4.11.2.54.10	Maximum gross floor area - residential		1.0 times the lot area
4.11.2.54.11	Maximum encroachment of a porch or balcony into the required front and exterior side yards		2.0 m
4.11.2.54.12	Minimum setback of stairs from the front and exterior side lot lines		1.0 m
4.11.2.54.13	Maximum projection of a garage beyond either the main front entrance or beyond the main entry feature , where provided		2.5 m
4.11.2.54.14	Where a main entry feature has been provided, the maximum projection of a garage beyond a main front entrance		5.0 m
4.11.2.54.15	For a street townhouse more than one storey in height , where the garage projects beyond the main front entrance , the garage shall be covered by a second storey which may be set back a maximum of 2.5 m from the garage face		
4.11.2.54.16	Maximum driveway width - interior lot		4.3 m
4.11.2.54.17	Maximum driveway width - corner lot		4.7 m
4.11.2.54.18	Maximum garage width: measured from the inside face of the garage side walls		3.8 m
4.11.2.54.19	Minimum setback to a sight triangle		0.0 m

4.11.2.55	Exception: RM5-55	Map # 19	By-law: OMB Order 2015 December 03, 0181-2018/LPAT Order 2019 February 15
In a RM5-55 zone the permitted uses and applicable regulations shall be as specified for a RM5 zone except that the following uses/regulations shall apply:			
Regulations			
4.11.2.55.1	Minimum lot area - interior lot		191 m ²
4.11.2.55.2	Minimum lot frontage - interior lot		7.8 m
4.11.2.55.3	Minimum front yard		6.2 m
4.11.2.55.4	Minimum setback to the garage face		6.5 m
4.11.2.55.5	Minimum interior side yard abutting lands zoned any zone other than RM5-55		3.0 m
4.11.2.55.6	Maximum gross floor area - residential		1.15 times the lot area

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4.11.2.56	Exception: RM5-56	Map # 03	By-law: 0166-2018
In a RM5-56 zone the permitted uses and applicable regulations shall be as specified for a RM5 zone except that the following uses/regulations shall apply:			
Regulations			
4.11.2.56.1	Minimum lot area - interior lot		135 m ²
4.11.2.56.2	Minimum lot frontage - interior lot		6.4 m
4.11.2.56.3	Minimum rear yard		7.0 m
4.11.2.56.4	Maximum gross floor area - residential		175 m ²
4.11.2.56.5	Maximum encroachment of a porch or stairs into a required front yard		1.0 m
4.11.2.56.6	Maximum encroachment of a balcony into a required rear yard		2.5 m

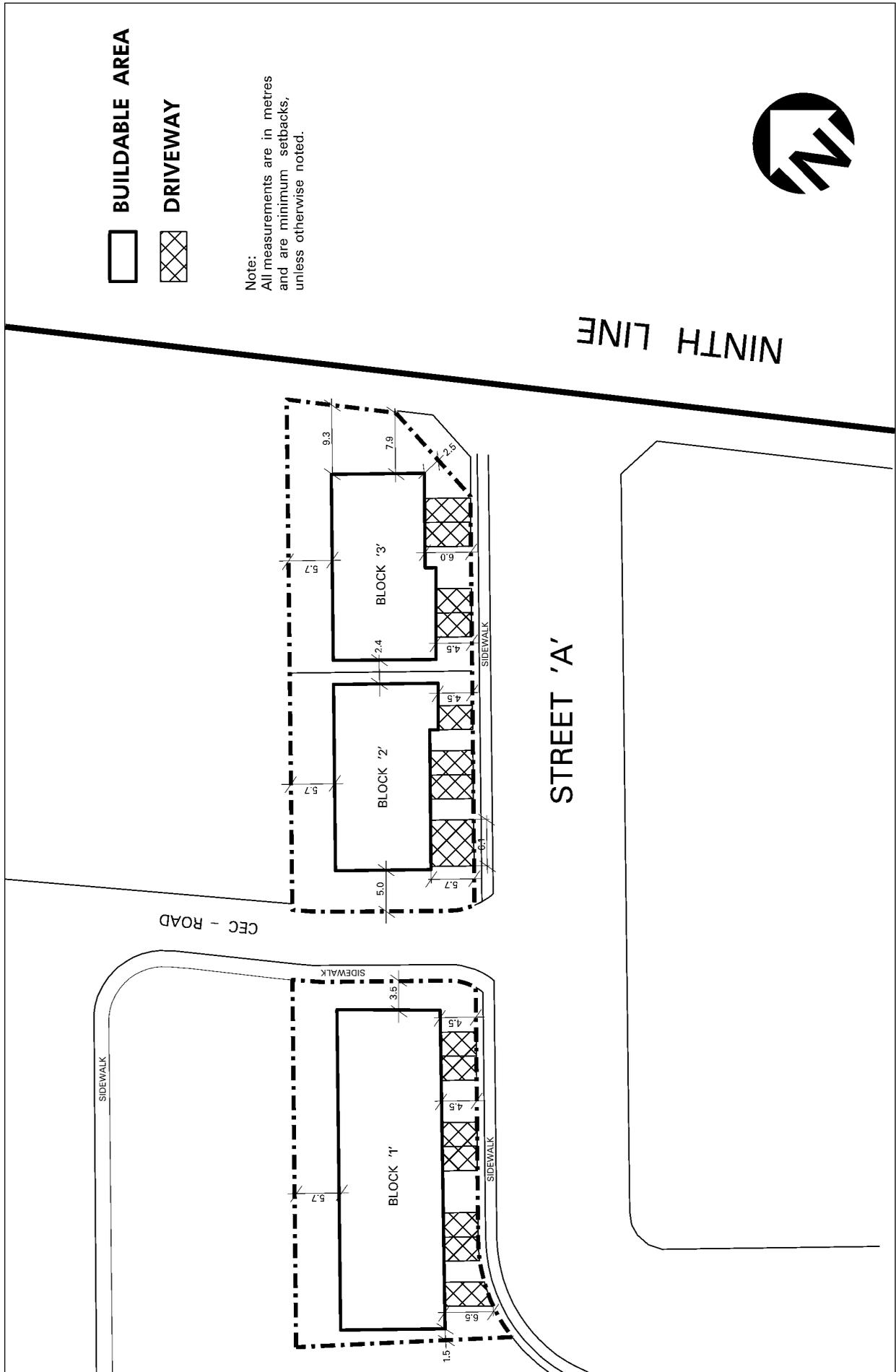
4.11.2.57	Exception: RM5-57	Map # 38W	By-law: 0029-2021, 0050-2022
In a RM5-57 zone the permitted uses and applicable regulations shall be as specified for a RM5 zone except that the following uses/regulations shall apply:			
Regulations			
4.11.2.57.1	The provisions contained in Subsection 2.1.14 and the regulations of Line 11.0 contained in Table 4.11.1 of this By-law shall not apply		
4.11.2.57.2	Minimum lot area - interior lot		127 m ²
4.11.2.57.3	Minimum lot area - corner lot		195 m ²
4.11.2.57.4	Minimum lot frontage - interior lot		5.4 m
4.11.2.57.5	Minimum lot frontage - corner lot		8.5 m
4.11.2.57.6	Notwithstanding Sentence 4.11.2.57.10 of this Exception, maximum encroachment of eaves into a required yard		0.7 m
4.11.2.57.7	Notwithstanding Sentence 4.11.2.57.10 of this Exception, maximum encroachment of stairs attached to a deck located at and accessible from the first storey or below the first storey of the dwelling into a required rear yard		2.2 m
4.11.2.57.8	Notwithstanding Sentence 4.11.2.57.10 of this Exception, maximum encroachment of a third storey balcony into a required rear yard		1.0 m
4.11.2.57.9	Notwithstanding Sentence 4.11.2.57.10 of this Exception, external heating, air conditioning, and home back-up generator equipment is permitted in a required rear yard		
4.11.2.57.10	All site development plans shall comply with Schedule RM5-57 of this Exception		



Schedule RM5-57
Map 38W

Part 4 - Residential Zones

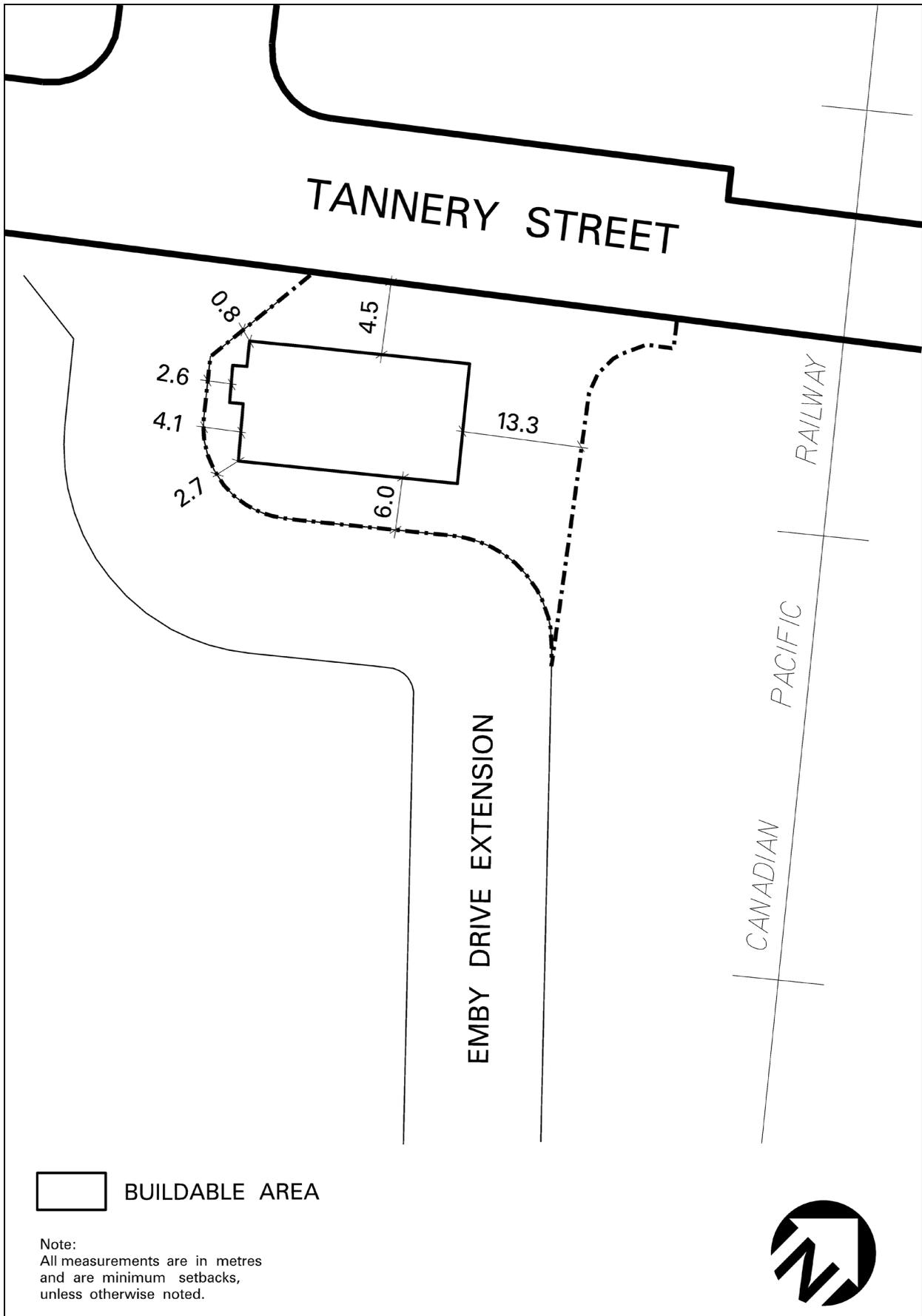
4.11.2.58	Exception: RM5-58	Map # 57	By-law: 0209-2021
In a RM5-58 zone the permitted uses and applicable regulations shall be as specified for a RM5 zone except that the following uses/regulations shall apply:			
Regulations			
4.11.2.58.1	The provisions contained in Article 4.1.5.9 of this By-law shall not apply		
4.11.2.58.2	Minimum lot area - interior lot		145 m ²
4.11.2.58.3	Minimum lot area - corner lot		240 m ²
4.11.2.58.4	Minimum lot frontage - interior lot		6.0 m
4.11.2.58.5	Notwithstanding Sentence 4.11.2.58.17 of this Exception, minimum front yard - garage face		6.0 m
4.11.2.58.6	Maximum height		15.0 m and 3 storeys
4.11.2.58.7	Maximum gross floor area - residential		1.5 times the lot area
4.11.2.58.8	Notwithstanding Sentence 4.11.2.58.17 of this Exception, maximum encroachment of a porch inclusive of stairs into the required front yard		1.5 m
4.11.2.58.9	Notwithstanding Sentence 4.11.2.58.17 of this Exception, maximum encroachment of a porch inclusive of stairs into the required exterior side yard for Blocks '2' and '3'		1.5 m
4.11.2.58.10	Notwithstanding Sentence 4.11.2.58.17 of this Exception, maximum encroachment of a first storey porch inclusive of stairs into the required rear yard		2.5 m
4.11.2.58.11	Notwithstanding Sentence 4.11.2.58.17 of this Exception, maximum encroachment of a second storey balcony into the required front yard		1.5 m
4.11.2.58.12	Notwithstanding Sentence 4.11.2.58.17 of this Exception, maximum encroachment of a second storey balcony into the required rear yard		2.5 m
4.11.2.58.13	Notwithstanding Sentence 4.11.2.58.17 of this Exception, maximum area of a second storey balcony in the rear yard		6 m ²
4.11.2.58.14	Notwithstanding Sentence 4.11.2.58.17 of this Exception, maximum encroachment of a building projection above the first storey that is not more than 3.0 m wide with windows and/or doors covering a minimum of 15% of the total projection into a required yard		0.61 m
4.11.2.58.15	Notwithstanding Sentence 4.11.2.58.17 of this Exception, maximum encroachment of eaves into a required yard		0.61 m
4.11.2.58.16	External heating, air conditioning, home back-up generator may be located in a yard , other than the front yard provided it is not closer than 0.1 m to any lot line		
4.11.2.58.17	All site development plans shall comply with Schedule RM5-58 of this Exception		



Schedule RM5-58
 Map 57

Part 4 - Residential Zones

4.11.2.59	Exception: RM5-59	Map # 39E	By-law: 0259-2021/ OLT Order 2023 March 03
<p>In a RM5-59 zone the permitted uses and applicable regulations shall be as specified for a RM5 zone except that the following uses/regulations shall apply:</p>			
Regulations			
4.11.2.59.1	The regulations of Lines 11.0 and 12.3 contained in Table 4.11.1 of this By-law shall not apply		
4.11.2.59.2	Minimum lot area - interior lot		110 m ²
4.11.2.59.3	Minimum lot area - corner lot		165 m ²
4.11.2.59.4	Minimum lot frontage - interior/corner lot		4.7 m
4.11.2.59.5	Maximum height		11.5 m and 3 storeys
4.11.2.59.6	For the purpose of this Exception, the height of a street townhouse shall be measured from established grade		
4.11.2.59.7	Minimum landscaped area		15% of the lot area
4.11.2.59.8	Notwithstanding Sentence 4.11.2.59.12 of this Exception, maximum encroachment of a balcony , awning or deck , exclusive of stairs into a required yard		1.6 m
4.11.2.59.9	Notwithstanding Sentence 4.11.2.59.12 of this Exception, maximum projection of a balcony , awning or deck , exclusive of stairs from the front or rear of a townhouse		1.6 m
4.11.2.59.10	A balcony with a maximum area of 10 m ² is permitted on top of an attached garage , provided that the balcony does not project more than 1.8 m beyond the garage face		
4.11.2.59.11	Maximum driveway width		3.0 m
4.11.2.59.12	All site development plans shall comply with Schedule RM5-59 of this Exception		
Holding Provision			
<p>The holding symbol H is to be removed from the whole or any part of the lands zoned H-RM5-59 by further amendment to Map 39E of Schedule B contained in Part 13 of this By-law, as amended, upon satisfaction of the following requirements:</p> <ol style="list-style-type: none"> (1) delivery of an executed Development Agreement in a form and on terms satisfactory to The Corporation of the City of Mississauga ("City") and the Region of Peel ("Region"), including provisions related to the following items but not limited to: detailed design and construction of the required crash wall/berm abutting the Canadian Pacific Railway ("CPR") lands, grading and drainage of abutting lands, land dedication and easements, and municipal infrastructure detailed design; (2) submission of a risk assessment including the details of any proposed risk management measures, which must be to the satisfaction of the Transportation and Works Department for any lands being dedicated to the City; (3) confirmation that the required Record(s) of Site Condition(s) have been filed with the Ministry of Environment, Conservation and Parks, and the submission of all supporting environmental reports to the satisfaction of the Transportation and Works Department; (4) confirmation from CPR that final grading and drainage plans are satisfactory and certification from CPR and/or a professional consulting engineer that the ultimate design and construction of the required crash wall/berm complies with CPR design criteria. 			



Schedule RM5-59
Map 39E

Part 4 - Residential Zones

4.11.2.60	Exception: RM5-60	Map # 09	By-law: 0261-2021, 0208-2022, 0001-2024
In a RM5-60 zone the permitted uses and applicable regulations shall be as specified for a RM5 zone except that the following uses/regulations shall apply:			
Regulations			
4.11.2.60.1	The provisions contained in Article 4.1.8.1 and the regulations of Line 11.0 contained in Table 4.11.1 of this By-law shall not apply		
4.11.2.60.2	Maximum number of dwelling units on all lands zoned RM5-60		6
4.11.2.60.3	Minimum lot area - interior lot		143 m ²
4.11.2.60.4	Minimum lot area - corner lot		250 m ²
4.11.2.60.5	Minimum lot frontage - interior lot/corner lot		6.0 m
4.11.2.60.6	The lot line abutting Albertson Crescent shall be deemed to be the front lot line		
4.11.2.60.7	Maximum height		9.6 m and 3 storeys
4.11.2.60.8	Notwithstanding Sentence 4.11.2.60.13 of this Exception, maximum encroachment of a porch inclusive of stairs into a required yard		3.8 m
4.11.2.60.9	Notwithstanding Sentence 4.11.2.60.13 of this Exception, maximum encroachment of a window, chimney , heating and/or air conditioning equipment, window well, and stairs with a maximum of three risers into a required yard		1.0 m
4.11.2.60.10	Notwithstanding Sentence 4.11.2.60.13 of this Exception, maximum encroachment of a balcony into a required rear yard		3.0 m
4.11.2.60.11	Maximum area of a balcony permitted outside the buildable area identified on Schedule RM5-60 of this Exception		5 m ²
4.11.2.60.12	Maximum driveway width		3.6 m
4.11.2.60.13	All site development plans shall comply with Schedule RM5-60 of this Exception		

