4.11 RM5 ZONE (STREET TOWNHOUSES)

4.11.1 RM5 Permitted Uses and Zone Regulations

All **buildings** and **structures** shall comply with the provisions contained in Parts 1 to 3 and Section 4.1 of this By-law, and the **uses** and zone regulations specified within the applicable zone column contained in Table 4.11.1 - RM5 Permitted Uses and Zone Regulations.

Table 4.11.1 - RM5 Permitted Uses and Zone Regulations

(0174-2017), (0181-2018/LPAT Order 2019 February 15), (0182-2024)

Colun	nn A	В
Line 1.0	ZONES	RM5
PERN	MITTED USES	
2.0	RESIDENTIAL	
2.1	Street Townhouse	✓
ZONI	REGULATIONS	
3.0	MINIMUM LOT AREA	
3.1	Interior lot	200 m ²
3.2	Corner lot	280 m^2
4.0	MINIMUM LOT FRONTAGE	
4.1	Interior lot	6.8 m
4.2	Corner lot	9.8 m
5.0	MINIMUM FRONT YARD	4.5 m ⁽¹⁾
5.1	Garage face	6.0 m
6.0	MINIMUM EXTERIOR SIDE YARD	4.5 m ⁽¹⁾
6.1	Garage face	6.0 m
7.0	MINIMUM INTERIOR SIDE YARD	
7.1	Attached side	0.0 m
7.2	Unattached side	1.5 m ⁽¹⁾
7.3	Attached garage - unattached side	1.2 m ⁽¹⁾
8.0	MINIMUM REAR YARD	7.5 m ⁽¹⁾
9.0	MAXIMUM HEIGHT	10.7 m and 3 storeys
10.0	MINIMUM LANDSCAPED AREA	25% of the lot area
11.0	MAXIMUM GROSS FLOOR AREA - RESIDENTIAL	0.75 times the lot area
12.0	ATTACHED GARAGE, PARKING AND DRIVEWAY	
12.1	Attached garage	Required (2)
12.2	Minimum parking spaces	√ (3)(4)
12.3	Maximum driveway width	√ (4)
13.0	ACCESSORY BUILDINGS AND STRUCTURES	√ (5)

NOTES:

- (1) See also Subsections 4.1.7 and 4.1.8 of this By-law.
- (2) See Subsection 4.1.12 of this By-law.
- (3) See Part 3 of this By-law.
- (4) See Subsection 4.1.9 of this By-law.
- (5) See Subsection 4.1.2 of this By-law.

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4.11.2 RM5 Exception Zones

Refer to Article 1.1.2.3 - Exception Zones and Exception Zone Schedules

4.11.2.1	Exception: RM5-1	Map # 21	By-law:				
	In a RM5-1 zone the permitted uses and applicable regulations shall be as specified for a RM5 zone except that the following uses /regulations shall apply:						
Regulations							
4.11.2.1.1	Minimum lot frontage		6.0 m				
4.11.2.1.2	Minimum front yard		7.5 m				
4.11.2.1.3	Minimum exterior side yar	·d	7.5 m				
4.11.2.1.4	Minimum interior side yar	d	3.0 m				
4.11.2.1.5	Minimum rear yard		10.5 m				

4.11.2.2	Exception: RM5-2	By-law:					
In a RM5-2 zone the permitted uses and applicable regulations shall be as specified for a RM5 zone except that the following uses /regulations shall apply:							
Additional Permitted Use							
4.11.2.2.1	(1) Linked Dwelling						

4.11.2.3	Exception: RM5-3	Map # 09, 10, 28, 38E	By-law: 0174-2017, 0048-2025			
In a RM5-3 zone the permitted uses and applicable regulations shall be as specified for a RM5 zone except that the following uses /regulations shall apply:						
Additional Per	rmitted Uses					
4.11.2.3.1	(1) Detached Dwelling (2) Semi-Detached					
Regulations						
4.11.2.3.2	A.11.2.3.2 A detached dwelling shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law					
4.11.2.3.3	A semi-detached shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law					

4.11.2.4	Exception: RM5-4	By-law:					
In a RM5-4 zone the permitted uses and applicable regulations shall be as specified for a RM5 zone except that the following uses /regulations shall apply:							
Regulation	Regulation						
4.11.2.4.1 Minimum rear yard - interior lot 15.0 m							

4.11.2.5	Except	ion: RM5-5	Map # 28, 39E	By-law: 0174-2017, 0048-2025				
	In a RM5-5 zone the permitted uses and applicable regulations shall be as specified for a RM5 zone except that the following uses /regulations shall apply:							
Additional Per	mitted	Uses						
4.11.2.5.1	` /	Detached Dwelling Semi-Detached						
Regulations								
4.11.2.5.2			comply with the RS zone regulation.1 of this By-law except that:	lations				
	(1) minimum lot area - interior lot 275 m^2							
	(2)	minimum lot front	age - interior lot	9.0 m				
4.11.2.5.3	A semi-detached shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law							

4.11.2.6	Exception: RM5-6	Map # 30	By-law:				
In a RM5-6 zone the permitted uses and applicable regulations shall be as specified for a RM5 zone except that the following uses /regulations shall apply:							
Regulations							
4.11.2.6.1	Minimum lot area - interi	Minimum lot area - interior lot					
4.11.2.6.2	Minimum lot area - corne	Minimum lot area - corner lot					
4.11.2.6.3	Minimum lot frontage - in	nterior lot		9.0 m			
4.11.2.6.4	Minimum lot frontage - co	orner lot		13.0 m			
4.11.2.6.5	Minimum front yard			6.0 m			
4.11.2.6.6	Minimum setback from a I	nabitable room to the s	street line	10.0 m			

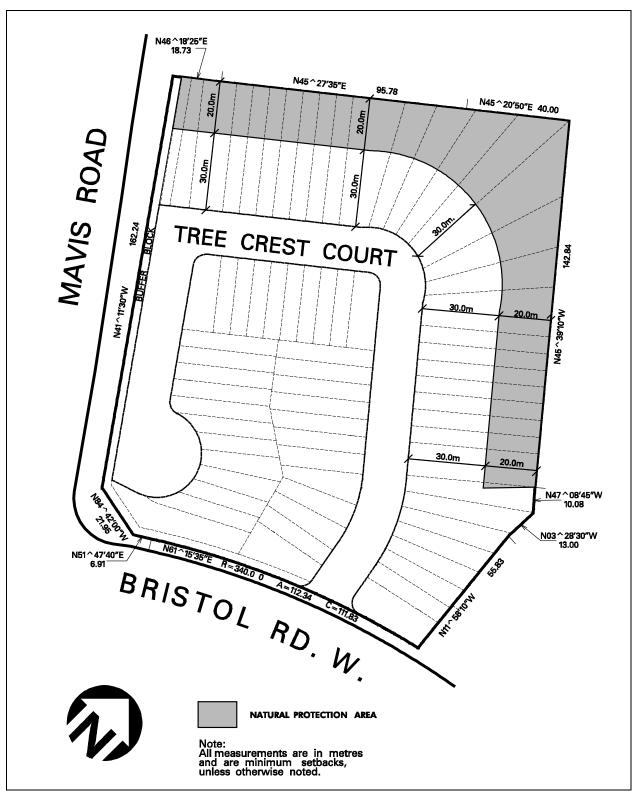
4.11.2.7	Except	tion: RM5-7	Map # 28	By-law: 0174-2017, 0048-2025				
	In a RM5-7 zone the permitted uses and applicable regulations shall be as specified for a RM5 zone except that the following uses /regulations shall apply:							
Additional Per	rmitted	Use						
4.11.2.7.1	(1)	Semi-Detached						
Regulations								
4.11.2.7.2			aply with the RS zone regulation1 of this By-law except that:	ons				
	(1)	minimum lot area	- interior lot	240 m^2				
	(2)	minimum lot area	- corner lot	375 m^2				
	(3)	minimum lot front	age - interior lot	8.0 m				
	(4)	minimum lot front	age - corner lot	12.5 m				

4.11.2.8	Exception: RM5-8	Map # 37E	By-law: 0048-2025				
In a RM5-8 zone the permitted uses and applicable regulations shall be as specified for a RM5 zone except that the following uses /regulations shall apply:							
Additional Per	mitted Use						
4.11.2.8.1	(1) Detached Dwelling						
Regulations							
4.11.2.8.2	4.11.2.8.2 A detached dwelling shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:						
	(1) minimum lot area -	interior lot	275 m^2				
	(2) maximum lot cover	age	45%				

4.11.2.9	Exception: RM5-9		15-9	Map # 37W	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025	
In a RM5-9 zor except that the					all be as specified for a RM5 zone	
Additional Per	rmitted	Use				
4.11.2.9.1	(1)	Semi-D	Detached			
Regulations						
4.11.2.9.2	Street	Townh	ouse:			
	(1)	protect protect	minimum rear yard - where a lot includes a natural protection area, shall be measured from the natural protection area identified on Schedule RM5-9 of this Exception and not from the rear lot line			
	(2)		tural protect	n Schedule RM5-9 of tion area shall comply	•	
		(2.1)	for the prote existing wood together with	protection area shall ection and natural rege odlot, including trees h the planting of trees ensure the retention of	neration of the and vegetation, and vegetation	
		(2.2)	all buildings and structures , swimming pools , tennis courts or any like recreational or other facilities shall not be permitted within the natural protection area			
		(2.3)		age of equipment and itted within the natur		
		(2.4)	of the natur	l only be permitted or ral protection area ar tection area	•	
	(3)		_	plans shall comply w this Exception	ith	

Exception RM5-9 continued on next page

4.11.2.9	Excep	Exception: RM5-9		Map # 37W	0181-2	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025		
Exception R	sception RM5-9 continued from previous page							
4.11.2.9.3			-detached shall comply with the RS zone regulations and in Subsection 4.2.1 of this By-law except that:					
	(1)	_	gulations of Li y-law shall no	ine 5.0 contained in Table apply	4.2.1 of			
	(2)	minim	um lot area -	interior lot		195 m^2		
	(3)	minim	um lot front a	nge - interior lot		6.5 m		
	(4)	maxim	num gross flo	or area - residential		0.75 times the lot area		
	(5)	prote prote	nimum rear yard - where a lot includes a natural otection area, shall be measured from the natural otection area identified on Schedule RM5-9 of this ception and not from the rear lot line					
	(6)		itural protec	n Schedule RM5-9 of this tion area shall comply wi	•			
		(6.1)	for the prote existing wo together wit	protection area shall only ection and natural regeneral odlot, including trees and the the planting of trees and ensure the retention of the	ation of the vegetation, vegetation			
		(6.2)	tennis court facilities sha	s and structures, swimms s or any like recreational call not be permitted within otection area	or other			
		(6.3)		rage of equipment and mat permitted within the natu area				
		(6.4)	of the natur	ll only be permitted on the ral protection area and notection area				
	(7)			t plans shall comply with this Exception				

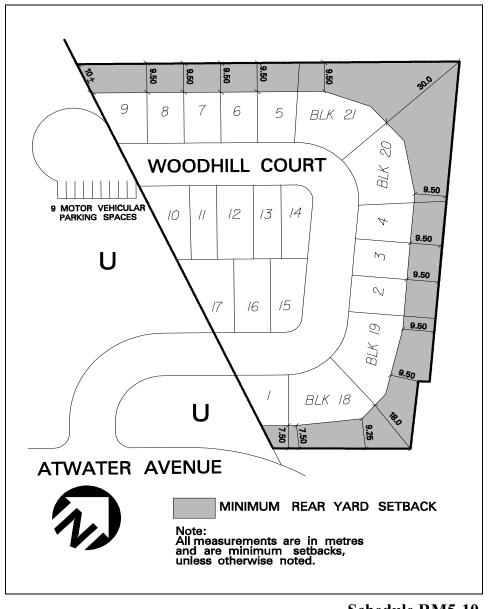


Schedule RM5-9 Map 37W

4.11.2.10	Exception: RM5-10		Map # 06	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025
		permitted uses and a ing uses /regulations s	pplicable regulations shall be a shall apply:	s specified for a RM5 zone
Additional Po	ermitted	d Uses		
4.11.2.10.1	(1) (2)	Detached Dwelling Semi-Detached	5	
Regulations				
4.11.2.10.2	Stree	t Townhouse:		
	(1)	minimum lot area -	interior lot	100 m^2
	(2)	minimum lot fronta	age - interior lot	4.0 m
	(3)	maximum lot cover	rage	55%
	(4)	minimum setback to	garage face	4.5 m
	(5)	minimum interior	side yard - unattached side	1.2 m
	(6)	minimum rear yard Schedule RM5-10 d	d unless otherwise identified on of this Exception	7.5 m
	(7)		spaces per dwelling unit , one cally located on adjacent lands ze	
	(8)	maximum drivewa ;	y width	3.0 m
	(9)	all site development Schedule RM5-10 of	t plans shall comply with of this Exception	
4.11.2.10.3			comply with the RS zone regu 2.1 of this By-law except that:	lations
	(1)	minimum lot area -	interior lot	190 m^2
	(2)	minimum lot area -	corner lot	210 m^2
	(3)	minimum lot fronta	age - interior lot	8.0 m
	(4)	minimum lot fronta	age - corner lot	9.5 m
	(5)	minimum exterior	side yard	1.4 m
	(6)	minimum setback to	garage face	4.5 m
	(7)	minimum interior s	side yard - unattached side	0.6 m
	(8)	minimum rear yard Schedule RM5-10 d	d unless otherwise identified on of this Exception	7.5 m
	(9)		spaces per dwelling unit, one of ally located on adjacent lands ze	
	(10)	all site development Schedule RM5-10 of	t plans shall comply with of this Exception	

Exception RM5-10 continued on next page

4.11.2.10	Excep	otion: RM5-10	Map # 06	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025		
Exception RI	Exception RM5-10 continued from previous page					
4.11.2.10.4		A semi-detached shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:				
	(1)	the regulations of Li this By-law shall no	ine 5.0 contained in Table 4.2. t apply	1 of		
	(2)	minimum lot area -	interior lot	130 m^2		
	(3)	minimum lot fronta	minimum lot frontage - interior lot			
	(4)	maximum lot cover	age	40%		
	(5)	minimum setback to	minimum setback to garage face			
	(6)	minimum interior s	minimum interior side yard - unattached side			
	(7)	•	minimum rear yard unless otherwise identified on Schedule RM5-10 of this Exception			
	(8)		spaces per dwelling unit, one ally located on adjacent lands a			
	(9)	maximum driveway	width	3.8 m		
	(10)	all site development Schedule RM5-10 o	plans shall comply with f this Exception			



Schedule RM5-10 Map 06

4.11.2.11	Exception: RM5-11	Map # 36E, 56	By-law:		
In a RM5-11 zone the permitted uses and applicable regulations shall be as specified for a RM5 zone except that the following uses /regulations shall apply:					
Regulations					
4.11.2.11.1	Minimum lot area - interio	or lot	165 m^2		
4.11.2.11.2	Minimum lot frontage - int	terior lot	5.5 m		
4.11.2.11.3	Maximum gross floor area	- residential	1.0 times the lot area		

4.11.2.12	Except	ion: RM5-12	Map # 37W, 38E, 53E, 53W, 56	By-law: 0174-2017, 0048-2025	
In a RM5-12 zone the permitted uses and applicable regulations shall be as specified for a RM5 zone except that the following uses /regulations shall apply:					
Additional Per	rmitted	Use			
4.11.2.12.1	(1)	Semi-Detached			
Regulation					
4.11.2.12.2	1.2.12.2 A semi-detached shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:				
	(1)	the regulations of L this By-law shall no	ine 5.0 contained in Table 4.2 ot apply	.1 of	
	(2)	maximum gross flo	or area - residential	0.75 times the lot area	

4.11.2.13	Except	ion: RM5-13	Map # 37W, 38E, 55, 56	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025		
	In a RM5-13 zone the permitted uses and applicable regulations shall be as specified for a RM5 zone except that the following uses /regulations shall apply:					
Additional Pe	rmitted	Uses				
4.11.2.13.1	(1) (2)	Detached Dwelling Semi-Detached	9			
Regulations						
4.11.2.13.2	Street	Townhouse:				
	(1)	minimum rear yar	d - where lands abut a B zone	15.0 m		
4.11.2.13.3			comply with the RS zone regulation.1 of this By-law except that:	lations		
	(1)	minimum rear yar	d - where lands abut a B zone	15.0 m		
4.11.2.13.4			uply with the RS zone regulation.1 of this By-law except that:	ons		
	(1)	the regulations of L this By-law shall no	tine 5.0 contained in Table 4.2 ot apply	.1 of		
	(2)	maximum gross flo	or area - residential	0.75 times the lot area		
	(3)	minimum rear yar	d - where lands abut a B zone	15.0 m		

4.11.2.14	Exception: RM5-14	Map # 45E	By-law: 0181-2018/LPAT Order 2019 February 15		
In a RM5-14 zone the permitted uses and applicable regulations shall be as specified for a RM5 zone except that the following uses /regulations shall apply:					
Regulations					
4.11.2.14.1	.1 The lot line abutting a street with a width of 20.0 m or greater shall be deemed to be the front lot line				
4.11.2.14.2	Minimum exterior side yard 3.3 m				
4.11.2.14.3	4.11.2.14.3 A detached garage shall be permitted only in the rear yard				
4.11.2.14.4	Minimum setback from a detached garage to the rear lot line 5.2 m				
4.11.2.14.5	Minimum setback from a detached garage located in the rear yard to a street townhouse 7.5 m				

4.11.2.15	Exception: RM5-15	Map # 53W	By-law:			
	In a RM5-15 zone the permitted uses and applicable regulations shall be as specified for a RM5 zone except that the following uses /regulations shall apply:					
Regulations						
4.11.2.15.1	Minimum lot area - interio	r lot		180 m ²		
4.11.2.15.2	Minimum lot area - corner		250 m^2			
4.11.2.15.3	Minimum exterior side yar		3.6 m			
4.11.2.15.4	Maximum encroachment of exterior side yards	a porch into the required from	nt and	1.8 m		
4.11.2.15.5	Minimum length of a parki where lands abut a G2-1 zon	ng space located on a drivew	ay	4.5 m		
4.11.2.15.6	Minimum length of a parki other lots	ng space located on a drivew	ay - all	5.5 m		

4.11.2.16	Exception: RM5-16	Map # 53E, 53W	By-law: 0181-2018/LF Order 2019 February 1			
	In a RM5-16 zone the permitted uses and applicable regulations shall be as specified for a RM5 zone except that the following uses /regulations shall apply:					
Regulations						
4.11.2.16.1	Minimum lot area - interio	or lot	240 m ²	!		
4.11.2.16.2	Minimum lot area - corner	· lot	330 m^2			
4.11.2.16.3	Minimum lot frontage - interior lot					
4.11.2.16.4	.4 Minimum lot frontage - corner lot					
4.11.2.16.5	Minimum front yard		3.6 m			
4.11.2.16.6	Minimum exterior side yai	rd	3.6 m			
4.11.2.16.7	Minimum setback to garag	e face	5.5 m			
4.11.2.16.8	Minimum interior side yar	d - unattached side	1.5 m			
4.11.2.16.9	Maximum encroachment of exterior side yards	a porch into the required	front and 1.8 m			
4.11.2.16.10	Minimum setback of a stree	et townhouse to all lands a	zoned G2-1 7.5 m			

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4.11.2.17	Except	ion: RM5-17	Map # 22	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025	
	In a RM5-17 zone the permitted uses and applicable regulations shall be as specified for a RM5 zone except that the following uses /regulations shall apply:				
Additional Per	mitted	Use			
4.11.2.17.1	(1)	Semi-Detached			
Regulations					
4.11.2.17.2	Street	Townhouse:			
	(1)	minimum setback to	o garage face	7.0 m	
4.11.2.17.3			uply with the RS zone regulation.1 of this By-law except that:	ons	
	(1)	the regulations of Line 5.0 contained in Table 4.2.1 of this By-law shall not apply			
	(2)	minimum exterior side yard 3.5 m			
	(3)	maximum driveway width 5.5 m			
	(4)	minimum setback to	o garage face	7.0 m	

4.11.2.18	Exception: RM5-18	Map # 22	By-law: 0174-2017, 0048-2025		
In a RM5-18 zone the permitted uses and applicable regulations shall be as specified for a RM5 zone except that the following uses /regulations shall apply:					
Additional Per	rmitted Use				
4.11.2.18.1	(1) Semi-Detached				
Regulation	Regulation				
4.11.2.18.2 A semi-detached shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:					
	(1) minimum exterior	side yard	3.5 m		

4.11.2.19	Except	tion: RM5-19	Map # 38E	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025
		permitted uses and a ng uses /regulations s	pplicable regulations shall be a hall apply:	s specified for a RM5 zone
Additional Pe	rmitted	Use		
4.11.2.19.1	(1)	Semi-Detached		
Regulations				
4.11.2.19.2	Street	Townhouse:		
	(1)	minimum lot area		200 m^2
	(2)	minimum lot front	age	10.0 m
	(3)	minimum front ya	rd	3.0 m
	(4)	minimum exterior	side yard	1.8 m
	(5)	maximum encroach front and exterior	nment of a window into require side yards	ed 0.3 m
	(6)	maximum encroach required rear yard	to the 1.0 m	
	(7)	maximum drivewa	y width	5.5 m
4.11.2.19.3			apply with the RS zone regulation1 of this By-law except that:	ons
	(1)	the regulations of I this By-law shall no	ine 5.0 contained in Table 4.2 ot apply	1 of
	(2)	minimum lot area		200 m^2
	(3)	minimum lot front	age	10.0 m
	(4)	maximum gross flo	oor area - residential	0.75 times the lot area
	(5)	minimum front ya	rd	3.0 m
	(6)	minimum exterior	side yard	1.8 m
	(7)	minimum interior side yard - unattached side		1.5 m
	(8)	maximum encroach front and exterior	nment of a window into require side yards	ed 0.3 m
	(9)	maximum encroach the required rear y	nment of an attached garage in ard	to 1.0 m
	(10)	maximum drivewa	y width	5.5 m

4.11.2.20	Except	ion: RM5-20	Map # 22	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025	
	In a RM5-20 zone the permitted uses and applicable regulations shall be as specified for a RM5 zone except that the following uses /regulations shall apply:				
Additional Per	mitted	Use			
4.11.2.20.1	(1)	Semi-Detached			
Regulations					
4.11.2.20.2	Street	Townhouse:			
	(1)	minimum setback t	o garage face	7.0 m	
4.11.2.20.3			apply with the RS zone regulation1 of this By-law except that:	ons	
	(1)	the regulations of L this By-law shall no	tine 5.0 contained in Table 4.2 ot apply	1 of	
	(2)	maximum gross flo	oor area - residential	0.75 times the lot area	
	(3)	minimum setback t	o garage face	7.0 m	

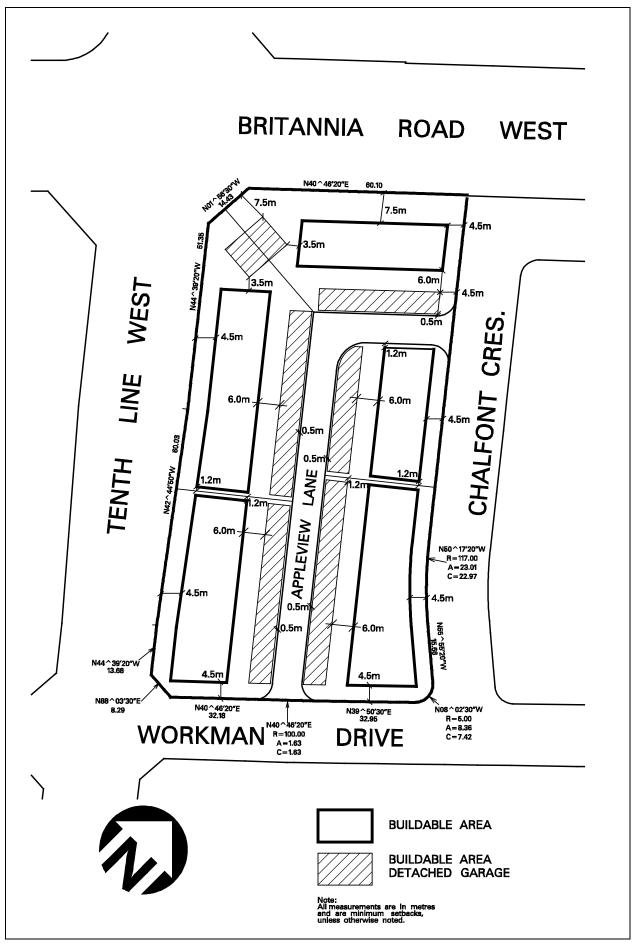
4.11.2.21	Exception: RM5-21	Map # 57, 58	By-law: 0181-2018/LPAT Order 2019 February 15			
In a RM5-21 zone the permitted uses and applicable regulations shall be as specified for a RM5 zone except that the following uses /regulations shall apply:						
Regulations						
4.11.2.21.1	The regulations of Line 11.0 By-law shall not apply	0 contained in Table 4.11.1 of	this			
4.11.2.21.2	Minimum lot area - interio	or lot	183 m^2			
4.11.2.21.3	Minimum lot area - corner	·lot	292 m ²			
4.11.2.21.4	Minimum lot frontage - int	terior lot	6.1 m			
4.11.2.21.5	Minimum lot frontage - co	rner lot	9.75 m			
4.11.2.21.6	Minimum front yard - lots adjacent the front lot line	without a municipal sidewalk	3.5 m			
4.11.2.21.7	Minimum exterior side yar adjacent the exterior side le	rd - lots without a municipal s	idewalk 3.5 m			
4.11.2.21.8	Minimum setback to garag	e face	5.8 m			
4.11.2.21.9	Minimum interior side yar	d - unattached side	1.2 m			
4.11.2.21.10	Maximum encroachment of front and exterior side yar	a porch or balcony into the reds	required 2.0 m			
4.11.2.21.11	Maximum encroachment of front yard	an awning into the required	0.6 m			
4.11.2.21.12	Maximum encroachment of exterior side yard	an awning into the required	0.3 m			
4.11.2.21.13	1 0	arage beyond either the main in entry feature where provide				
4.11.2.21.14	Where a main entry feature projection of a garage beyon	re has been provided, the maxiond a main front entrance	mum 5.0 m			

Exception RM5-21 continued on next page

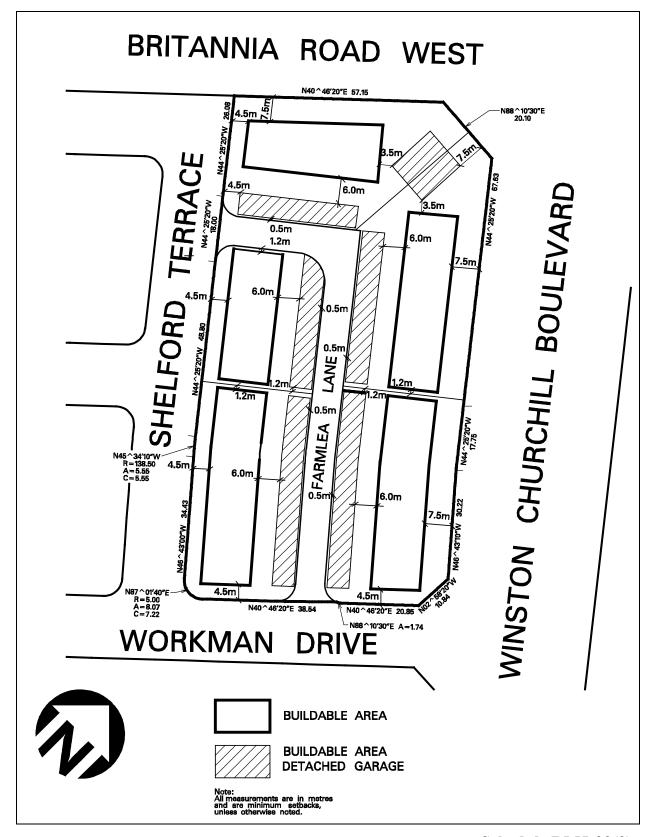
4.11.2.21	Exception: RM5-21	Map # 57, 58	By-law: 0181-2018/LPAT Order 2019 February 15				
Exception RM	Exception RM5-21 continued from previous page						
4.11.2.21.15	4.11.2.21.15 For a street townhouse more than one storey in height , where the garage projects beyond the main front entrance , the garage shall be covered by a second storey which may be set back a maximum of 2.5 m from the garage face						
4.11.2.21.16	Minimum setback to a sight	triangle	0.0 m				
4.11.2.21.17	Maximum driveway width 3.8 m						
4.11.2.21.18	Maximum garage width: measured from the inside face of the garage side walls 3.8 m						

4.11.2.22	Exception: RM5-22(1), RM5-22(2), RM5-22(3), RM5-22(4), RM5-22(5), RM5-22(6), RM5-22(7), RM5-22(8)	Map # 57, 58	By-law: 0208-2022
RM5-22(8) zo		M5-22(4), RM5-22(5), RM5- blicable regulations shall be as hall apply:	
Regulations			
4.11.2.22.1	The regulations of Line 11. By-law shall not apply	0 contained in Table 4.11.1 of	this
4.11.2.22.2	Minimum lot area - corner	· lot	315 m^2
4.11.2.22.3	Minimum lot frontage - co	rner lot	10.5 m
4.11.2.22.4	Minimum front yard - lot adjacent the front lot line	without a municipal sidewalk	3.5 m
4.11.2.22.5	Minimum exterior side yar adjacent the exterior side le	rd - lot without a municipal si ot line	dewalk 3.5 m
4.11.2.22.6	buildable area identified o	f a porch or balcony outside to n Schedules RM5-22(1) to on, into the required front and	
4.11.2.22.7	Maximum encroachment of buildable area identified o RM5-22(8) of this Exception exterior side yard	n Schedules RM5-22(1) to	0.3 m
4.11.2.22.8	Maximum driveway width		6.5 m
4.11.2.22.9		permitted in the buildable ar on Schedules RM5-22(1) to	rea -
4.11.2.22.10	Maximum garage width: measured from the inside fa	ace of the garage side walls	5.5 m
4.11.2.22.11	Minimum interior side yar located in the rear yard	d on one side of a detached g	arage 0.8 m
4.11.2.22.12	Minimum setback of all bu detached garage to a sight	ildings and structures except triangle	a 0.0 m
4.11.2.22.13	"Rear Lot Line" means the the public lane identified an Schedules RM5-22(1) to RI		om
4.11.2.22.14	"Front Lot Line" means the	lot line opposite the rear lot l	ine
4.11.2.22.15	All site development plans Schedules RM5-22(1) to RI		

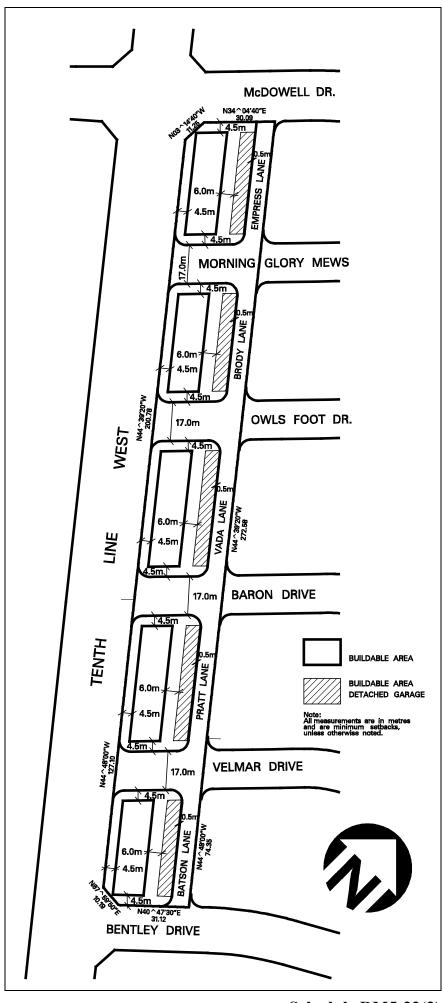
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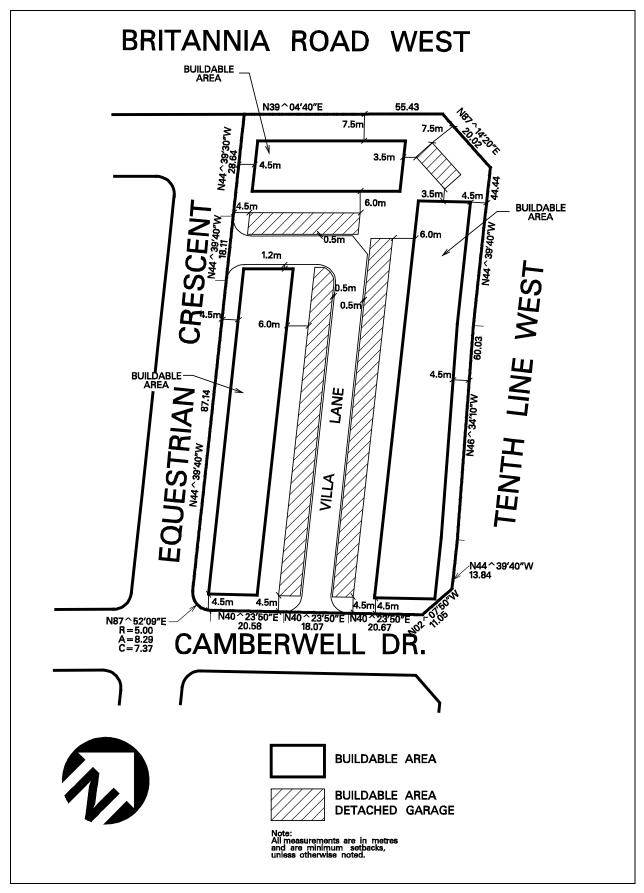
Schedule RM5-22(1) Map 57



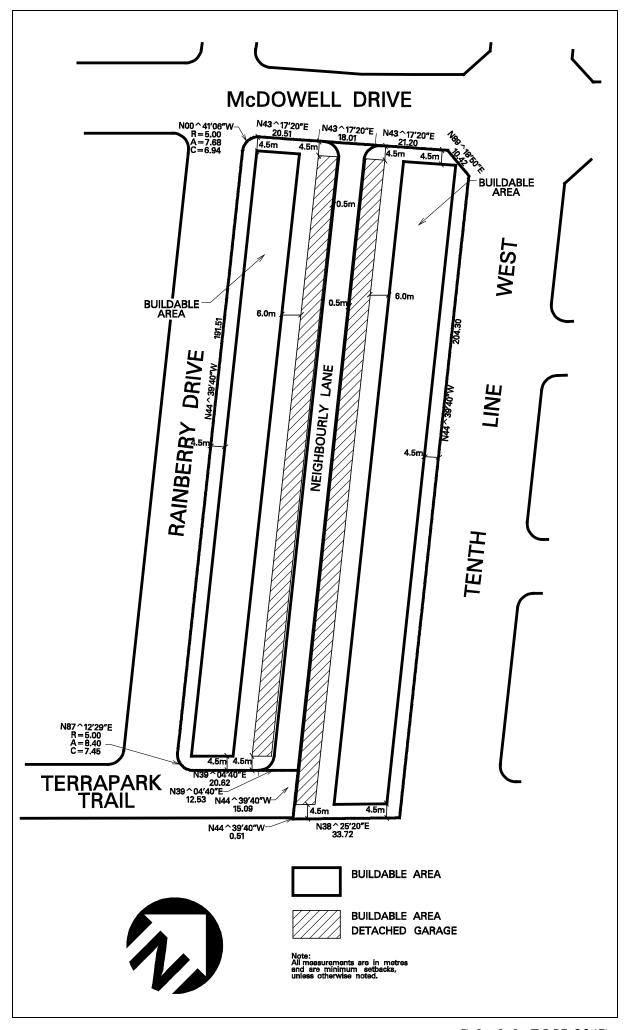
Schedule RM5-22(2) Map 57



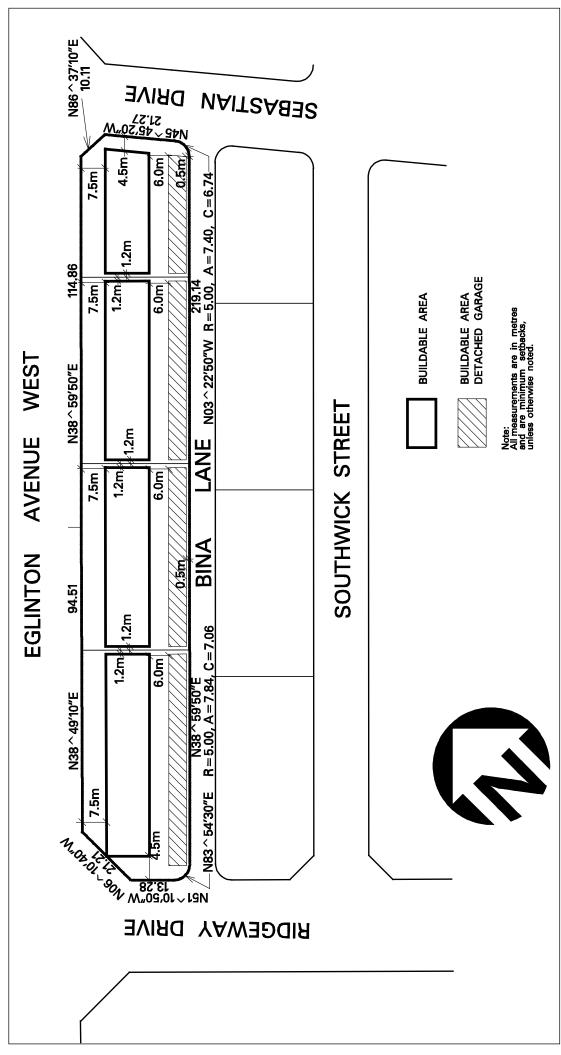
Schedule RM5-22(3) Map 57



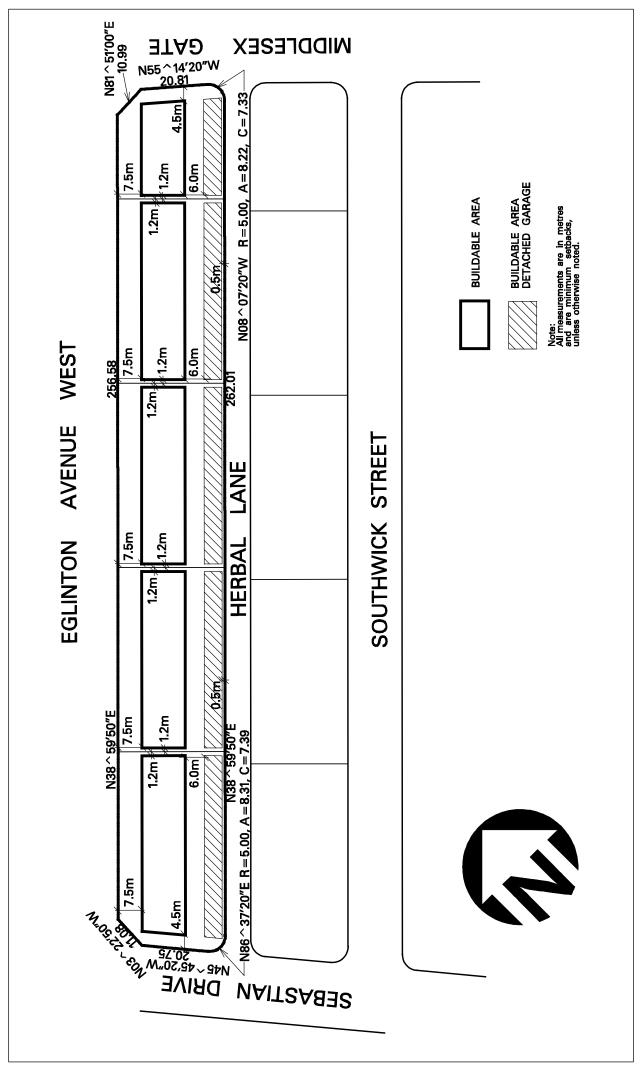
Schedule RM5-22(4) Map 57



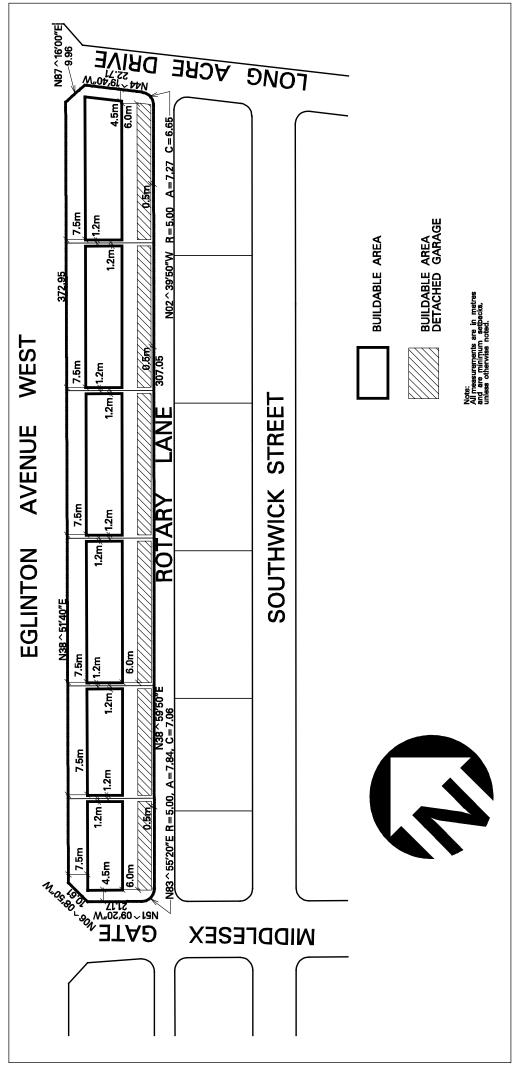
Schedule RM5-22(5) Map 57



Schedule RM5-22(6) Map 58



Schedule RM5-22(7) Map 58



Schedule RM5-22(8) Map 58

4.11.2.23	Exception: RM5-23	Map # 44W	By-law: 0181 Order 2019 F	-2018/LPAT ebruary 15
	zone the permitted uses and a following uses /regulations s		as specified for	a RM5 zone
Regulations				
4.11.2.23.1	Minimum front yard - lot adjacent the front lot line	without a municipal sidewalk	ζ	3.5 m
4.11.2.23.2	Minimum exterior side ya adjacent the exterior side l	rd - lot without a municipal sot line	sidewalk	3.5 m
4.11.2.23.3	Minimum setback to garag	ge face		5.8 m
4.11.2.23.4	Maximum encroachment or exterior side yards	f a porch into the required fr	ont and	1.8 m
4.11.2.23.5	Maximum encroachment or and exterior side yards	f a balcony into the required	front	2.0 m
4.11.2.23.6	Maximum encroachment of exterior side yard	f an awning into the required		0.3 m
4.11.2.23.7		garage beyond either the main entry feature where prov		2.5 m
4.11.2.23.8	Where a main entry feature projection of a garage beyon	re has been provided, the man	ximum	5.0 m
4.11.2.23.9	the garage projects beyond	ore than one storey in height. I the main front entrance, the d storey which may be set be e garage face	e garage	
4.11.2.23.10	Minimum setback to a sigh	t triangle		0.0 m
4.11.2.23.11	Maximum driveway width			3.8 m
4.11.2.23.12	Maximum garage width: measured from the inside fa	ace of the garage side walls		3.8 m

4.11.2.24	Exception: RM5-24	Map # 28	By-law: 0181-2018/LPAT Order 2019 February 15					
	In a RM5-24 zone the permitted uses and applicable regulations shall be as specified for a RM5 zone except that the following uses /regulations shall apply:							
Regulations								
4.11.2.24.1	4.11.2.24.1 The regulations of Line 11.0 contained in Table 4.11.1 of this By-law shall not apply							
4.11.2.24.2	Minimum lot area - interio	or lot	195 m ²					
4.11.2.24.3	Minimum lot area - corner	260 m^2						
4.11.2.24.4	Minimum lot frontage - interior lot 7.5 m							
4.11.2.24.5	Minimum lot frontage - co	rner lot	10.0 m					
4.11.2.24.6	Minimum front yard - lot without a municipal sidewalk 3.5 m adjacent the front lot line							
4.11.2.24.7	Minimum exterior side yar adjacent the exterior side le		pal sidewalk 3.5 m					
4.11.2.24.8	Minimum setback to garag	e face where a lot abuts	a PB1 zone 7.0 m					
4.11.2.24.9	Minimum setback to garag	e face - all other lots	6.0 m					
4.11.2.24.10	Minimum interior side yar	d - unattached side	1.2 m					

Exception RM5-24 continued on next page

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4.11.2.24	Exception: RM5-24	Map # 28	By-law: 0181 Order 2019 F					
Exception RN	Exception RM5-24 continued from previous page							
4.11.2.24.11	Minimum rear yard			7.0 m				
4.11.2.24.12	Minimum setback of a stree	et townhouse to all lands zone	ed PB1	18.5 m				
4.11.2.24.13		Maximum encroachment of a porch or balcony into required 1.8 m front and exterior side yards						
4.11.2.24.14	Maximum encroachment of exterior side yard	0.3 m						
4.11.2.24.15		arage beyond either the main in entry feature where provide		2.5 m				
4.11.2.24.16	Where a main entry featur projection of a garage beyo	e has been provided, the maxind a main front entrance	imum	5.0 m				
4.11.2.24.17	the garage projects beyond	re than one storey in height , we the main front entrance , the distorey which may be set back a garage face	garage					
4.11.2.24.18	Minimum setback to a sight	triangle		0.0 m				
4.11.2.24.19	Maximum driveway width			3.8 m				
4.11.2.24.20	Maximum garage width: measured from the inside fa	ce of the garage side walls		3.8 m				

4.11.2.25	Exception: RM5-25	Map # 36W	By-law:				
In a RM5-25 zone the permitted uses and applicable regulations shall be as specified for a RM5 zone except that the following uses /regulations shall apply:							
Regulations							
4.11.2.25.1	Minimum lot area - interio	or lot	163 m^2				
4.11.2.25.2 Minimum lot frontage - interior lot 6.1 m							
4.11.2.25.3	Minimum setback to Huron	tario Street	3.2 m				

4.11.2.26	Except	ion: RM5-26	Map # 44E	By-law: 0174-2 0181-2018/LP2 2019 February 0105-2024, 004	AT Order 15,		
In a RM5-26 zone the permitted uses and applicable regulations shall be as specified for a RM5 zone except that the following uses /regulations shall apply:							
Additional Per	rmitted	Use					
4.11.2.26.1	(1)	Semi-Detached					
Regulations							
4.11.2.26.2	Street	Townhouse:					
	(1)	project more than 1	rage - where the garage does at .0 m beyond the main entry fe main front entrance - inter	eature	45%		
	(2)	maximum lot cover	rage - all other lots		40%		
	(3)	minimum rear yar	d where lands abut a C5-12 zo	ne	10.0 m		

Exception RM5-26 continued on next page

4.11.2.26	Excep	tion: RM5-26	Map # 44E	By-law: 0174- 0181-2018/LP 2019 February 0105-2024, 00	AT Order 15,
Exception RN	15-26 co	ontinued from previ	ous page		
4.11.2.26.2 (continued)	(4)		on of a garage beyond either to ce or beyond the main entry to aterior lot		2.5 m
	(5)		y feature has been provided, ection of a garage beyond a ce - interior lot		4.0 m
	(6) for a street townhouse more than one storey in height , where the garage projects beyond the main front entrance , the garage shall be covered by a second storey which may be set back a maximum of 2.5 m from the garage face				
	(7)	maximum porch an	rea in a front yard - interior l	lot	12 m^2
	(8)	maximum porch an corner lot	rea in front and exterior side	yards -	20 m^2
	(9) the area of all porches in front and exterior side yards shall be excluded from the calculation of lot coverage				
	(10)		gs and structures shall not be rexterior side yard	located	
4.11.2.26.3			nply with the RS zone regulation1 of this By-law except that:	ons	
	(1)	project more than 1	rage - where the garage does .0 m beyond the main entry to main front entrance - inter	feature	45%
	(2)	maximum lot cove	rage - all other lots		40%
	(3)	minimum rear yar	d where lands abut an C5-12	zone	10.0 m
	(4)	1 0	on of a garage beyond either to ce or beyond the main entry to terior lot		2.5 m
	(5)	•	y feature has been provided, to on of a garage beyond a main tot		4.0 m
	(6)	where the garage pentrance, the gara	d more than one storey in hei projects beyond the main fron ge shall be covered by a secon be set back a maximum of 2.5 ce - interior lot	t nd	
	(7)	maximum porch an	rea in a front yard - interior l	lot	12 m^2
	(8)	-	ch area in front and exterior		20 m^2
	(9)	_	hes in front and exterior side rom the calculation of lot cover	-	
	(10)		gs and structures shall not be rexterior side yard	located	

4.11.2.27	Excep	otion: RM5-	27	Map # 44W, 45E, 52W		74-2017, LPAT Order ary 15, 0048-2025	
In a RM5-27 z				pplicable regulations shall be shall apply:	as specified f	or a RM5 zone	
Additional Po	ermitted	d Use					
4.11.2.27.1	(1)	Semi-De	tached				
Regulations							
4.11.2.27.2	Street	t Townhous	se:				
	(1)	maximum lot coverage:					
		(1.1)	1.0 m be 2.5 m be	ne garage does not project mo eyond the main entry feature eyond the main front entrance le room on the first storey or	e or ce or a	45%	
		(1.2)	less, me exterior	ne width of the garage is 3.5 is assured from the outside of op walls or from the outside of a wall to the midpoint of an int	posite in	45%	
		(1.3)	all other	lots		40%	
	(2)	minimum	setback	to Old Derry Road		9.0 m	
	(3)		maximum projection of a garage beyond the 7.0 m main front entrance				
	(4)	for a street townhouse more than one storey in height, where the garage projects beyond the main front entrance, the garage shall be covered by a second storey which may be set back a maximum of 2.5 m from the garage face					
	(5)	maximun	n porch a	rea in a front yard - interior	lot	12 m^2	
	(6)	maximum total porch area in front and exterior side yards - corner lot 20 m ²			20 m^2		
	(7)		the area of all porches in front and exterior side yards shall be excluded from the calculation of lot coverage				
	(8)		accessory building and structures shall not be located in the front yard or exterior side yard				
4.11.2.27.3				nply with the RS zone regulat 2.1 of this By-law except that:			
	(1)	maximun	ı lot cove	rage:			
		(1.1)	1.0 m be 2.5 m be	ne garage does not project mo eyond the main entry feature eyond the main front entrance le room on the first storey or	e or ce or a	45%	
		(1.2)	less, me exterior	ne width of the garage is 3.5 is assured from the outside of op walls or from the outside of a wall to the midpoint of an int	posite m	45%	
		(1.3)	all other	lots		40%	
	(2)	minimum	setback	to Old Derry Road		9.0 m	
	(3)	maximun main fro		on of a garage beyond the ce		7.0 m	

Exception RM5-27 continued on next page

4.11.2.27	Excep	otion: RM5-27	Map # 44W, 45E, 52W	By-law: 0174 0181-2018/L 2019 Februar	· · · · · · · · · · · · · · · · · · ·
Exception RN	И5-27 с	ontinued from previo	ous page		
4.11.2.27.3 (continued)	(4)	for a semi-detached more than one storey in height, where the garage projects beyond the main front entrance, the garage shall be covered by a second storey which may be set back a maximum of 2.5 m from the garage face			
	(5)	maximum porch are	ea in a front yard - interior l	ot	12 m^2
	(6)	maximum total poro yards - corner lot	ch area in front and exterior	side	20 m^2
	(7)	the area of all porches in front and exterior side yards shall be excluded from the calculation of lot coverage			
	(8)	accessory buildings in the front yard or	s and structures shall not be lexterior side yard	ocated	

4.11.2.28	Excep	otion: RM5	-28	Map # 52E		25-2008, 0181-2018/LPAT February 15,
In a RM5-28 at except that the				pplicable regulations sh hall apply:	all be as specified f	for a RM5 zone
Additional Po	ermitted	l Uses				
4.11.2.28.1	(1) (2)	Detache Semi-De	d Dwelling etached	g		
Regulations						
4.11.2.28.2	Street	t Townhou	ise:			
	(1)	maximuı	m lot cove	rage:		
		(1.1)	1.0 m be 2.5 m be	ne garage does not projection the main entry for eyond the main front entry for room on the first sto	eature or ntrance or a	45%
		(1.2)	less, mea	he width of the garage is assured from the outside walls or from the outside wall to the midpoint of	of opposite le of an	45%
		(1.3)	all other	lots		40%
	(2)		n projectiont entran	on of a garage beyond t	he	7.0 m
	(3)	where th	e garage p e, the gara thich may l	ouse more than one stor or ojects beyond the mai ge shall be covered by a be set back a maximum	n front a second	
	(4)	maximuı	m porch ai	rea in a front yard - int	terior lot	12 m^2
	(5)		n total po r corner lot	rch area in front and ex	terior side	20 m^2
	(6)			hes in front and exterior the calculation of le		
	(7)		•	gs and structures shall r exterior side yard	not be located	

Exception RM5-28 continued on next page

4.11.2.28	Exception: RM5-28		5-28	Map # 52E		25-2008, 0181-2018/LPAT February 15,
Exception RI	M5-28 c	ontinued	from previ	ous page		
4.11.2.28.3				comply with the RS zone re 1 of this By-law except tha		
	(1)	is 5.0 m exterior	or less, me walls or fro	rage - where the width of the asured from the outside of on the outside of an exterior interior wall	opposite	45%
	(2)	garage main en equal to	maximum lot coverage - where the projection of a garage beyond the main front entrance or the main entry feature, where provided, is less than or equal to 1.0 m or the projection of a garage beyond the main front entrance is less than or equal to 2.5 m			45%
4.11.2.28.4				nply with the RS zone regula1 of this By-law except tha		
	(1)	maximum lot coverage:				
	, ,	1.0 m bey beyond th	garage does not project more ond the main entry feature main front entrance or a croom on the first storey of	e or 2.5 m	45%	
		(1.2)	measured walls or f	width of the garage is 3.5 from the outside of opposition the outside of an exterion of an interior wall or	te exterior	45%
		(1.3)	all other I	ots		40%
	(2)		ım projectio	on of a garage beyond the ce		7.0 m
	(3)	where the entrance storey	he garage p ce, the gara	d more than one storey in herojects beyond the main froge shall be covered by a second set back a maximum of 2 ce	ont cond	
	(4)	maximı	ım porch aı	rea in a front yard - interio	or lot	12 m^2
	(5)		maximum total porch in front and exterior side yards - corner lot			20 m^2
	(6)			hes in front and exterior sirom the calculation of lot co		
	(7)			gs and structures shall not b r exterior side yard	be located	

4.11.2.29	Exception: RM5-29	Map # 52E	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025					
	In a RM5-29 zone the permitted uses and applicable regulations shall be as specified for a RM5 zone except that the following uses /regulations shall apply:							
Additional Per	Additional Permitted Uses							
4.11.2.29.1	(1) Detached Dwellin	g						
	(2) Semi-Detached							

Exception RM5-29 continued on next page

4.11.2.29	Excep	otion: RM5-29	Map # 52E	By-law: 0174-2 0181-2018/LPA 2019 February	AT Order
Exception RN	15-29 c	ontinued from previ	ous page	·	
Regulations					
4.11.2.29.2	Street	t Townhouse:			
	(1)	project more than 1	rage - where the garage does .0 m beyond the main entry to main front entrance - inter	feature	45%
	(2)	maximum lot cover	rage - all other lots		40%
	(3)		on of a garage beyond either to ce or beyond the main entry to aterior lot		2.5 m
	(4)		y feature has been provided, to on of a garage beyond a main tot		4.0 m
	(5)	where the garage pentrance, the garage	ouse more than one storey in larojects beyond the main from ge shall be covered by a second set back a maximum of 2.5	t nd	
	(6)	maximum porch ar	rea in a front yard - interior	lot	12 m^2
	(7)	maximum porch ar	rea in front and exterior side	yards	20 m^2
	(8)		hes in front and exterior side com the calculation of lot cover		
	(9)		s and structures shall not be rexterior side yard	located	
4.11.2.29.3		ached dwelling shall ined in Subsection 4.2	comply with the RS zone regr .1 of this By-law	ulations	
4.11.2.29.4			uply with the RS zone regulation.1 of this By-law except that:	ons	
	(1)	project more than 1	rage - where the garage does .0 m beyond the main entry to main front entrance - inter	feature	45%
	(2)	maximum lot cover	rage - all other lots		40%
	(3)	1 0	on of a garage beyond either to ce or beyond the main entry to terior lot		2.5 m
	(4)	-	y feature has been provided, to on of a garage beyond a main tot		4.0 m
	(5)	where the garage pentrance, the garage	d more than one storey in hei projects beyond the main from ge shall be covered by a secon be set back a maximum of 2.5 ce - interior lot	t nd	
	(6)	maximum porch ar	rea in a front yard - interior	lot	12 m^2
	(7)	maximum total por yards - corner lot	rch area in front and exterior	side	20 m^2
	(8)	_	hes in front and exterior side om the calculation of lot cover	-	
	(9)		s and structures shall not be rexterior side yard	located	

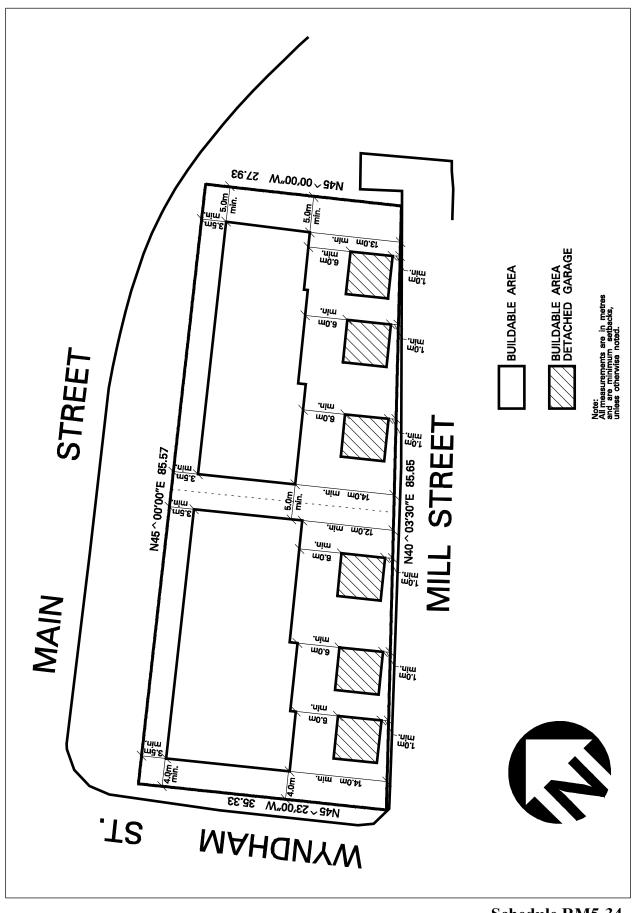
4.11.2.30	Exception: RM5-30	Map # 44W	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15			
	one the permitted uses and following uses /regulations		be as specified for a RM5 zone			
Regulations						
4.11.2.30.1	Minimum lot area - corn	er lot	325 m ²			
4.11.2.30.2	Minimum lot frontage - c	orner lot	10.5 m			
4.11.2.30.3	Maximum lot coverage:					
	(1) where the garage does not project more than 1.0 m beyond the main entry feature or 2.5 m beyond the main front entrance or habitable room on the first storey or					
		of the garage is 3.8 m or less, ace of the garage side walls of				
	(3) all other lots		40%			
4.11.2.30.4	Minimum setback to gara	ge face	7.0 m			
4.11.2.30.5	Maximum encroachment exterior side yards	of a porch into the required 1	Front and 1.5 m			
4.11.2.30.6	garage projects beyond th	te than one storey in height, when the main front entrance, the pand storey which may be set the garage face	garage			
4.11.2.30.7	Maximum porch area in a	front yard - interior lot	12 m ²			
4.11.2.30.8	Maximum total porch are corner lot	yards - 20 m ²				
4.11.2.30.9	The area of all porches in excluded from the calcula	front and exterior side yard	ds shall be			
4.11.2.30.10	Maximum driveway widt	h	3.8 m			
4.11.2.30.11	Minimum setback to a sig	ht triangle	0.0 m			
4.11.2.30.12	Accessory buildings and front yard or exterior sid	structures shall not be locate le yard	ed in the			

4.11.2.31	Except	ion: RM5-31	Map # 37W	By-law: 0174-2017, 0048-2025			
In a RM5-31 zone the permitted uses and applicable regulations shall be as specified for a RM5 zone except that the following uses /regulations shall apply:							
Additional Per	mitted	Use					
4.11.2.31.1	(1)	Semi-Detached					
Regulations							
4.11.2.31.2	4.11.2.31.2 A semi-detached shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:						
	(1)) minimum lot area - interior lot 195 m ²					
	(2)	minimum lot front	age - interior lot	6.5 m			
	(3)	maximum gross flo	or area - residential	0.75 times the lot area			

4.11.2.32	Except	ion: RM5-32	Map # 38W	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025				
except that the	In a RM5-32 zone the permitted uses and applicable regulations shall be as specified for a RM5 zone except that the following uses /regulations shall apply:							
Additional Per	rmitted	Uses						
4.11.2.32.1	(1) (2)	Detached Dwelling Semi-Detached	9					
Regulations								
4.11.2.32.2	Street	Townhouse:						
	(1)	minimum lot area		186 m^2				
	(2)	minimum interior	side yard - unattached side	1.2 m				
4.11.2.32.3		_	comply with the RS zone regulation. 1 of this By-law except that:	lations				
	(1)	minimum lot area		247 m^2				
4.11.2.32.4	2.4 A semi-detached shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:							
	(1)	minimum lot area		186 m^2				

4.11.2.33	Exception: RM5-33	Map # 38W	By-law:				
In a RM5-33 zone the permitted uses and applicable regulations shall be as specified for a RM5 zone except that the following uses /regulations shall apply:							
Regulations							
4.11.2.33.1	Minimum lot frontage - int	terior lot	8.0 m				
4.11.2.33.2 Minimum lot frontage - corner lot 11.5 m							
4.11.2.33.3	Minimum exterior side yar	·d	3.6 m				

4.11.2.34	Exception: RM5-34	Map # 38W	By-law: 0176-2010				
In a RM5-34 zone the permitted uses and applicable regulations shall be as specified for a RM5 zone except that the following uses /regulations shall apply:							
Regulations							
4.11.2.34.1	4.11.2.34.1 The regulations of Lines 3.0 to 8.0, 10.0 to 12.1 and 13.0 contained in Table 4.11.1 of this By-law shall not apply						
4.11.2.34.2 All site development plans shall comply with Schedule RM5-34 of this Exception							



Schedule RM5-34 Map 38W

4.11.2.35	Exception: RM5-35	Map # 39E	By-law: 0181-2018/LPAT Order 2019 February 15				
	In a RM5-35 zone the permitted uses and applicable regulations shall be as specified for a RM5 zone except that the following uses /regulations shall apply:						
Regulations							
4.11.2.35.1	.2.35.1 Minimum lot area - interior lot						
4.11.2.35.2	Minimum lot area - corner	230 m^2					
4.11.2.35.3	Minimum lot frontage - int	5.9 m					
4.11.2.35.4	10.5 m						
4.11.2.35.5	Minimum exterior side yar	rd	4.1 m				
4.11.2.35.6	Maximum encroachment of exterior side yards	nt and 1.8 m					
4.11.2.35.7	2.35.7 Maximum encroachment of a deck into the required rear yard						
4.11.2.35.8	Minimum number of parki	3					

4.11.2.36	Exception: RM5-36		Map # 30	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-202	
		permitted uses and ap ng uses /regulations sl	oplicable regulations shall be a hall apply:	as specified for a	a RM5 zone
Additional Pe	rmitted	Use			
4.11.2.36.1	(1)	Semi-Detached			
Regulations					
4.11.2.36.2	Street	Townhouse:			
	(1)	minimum setback fi	rom a street townhouse to all	lands	10.0 m
	(2)	minimum setback to a sight triangle 0.0 m			0.0 m
	(3)		ament of a porch or balcony i exterior side yards	nto the	2.0 m
	(4)	maximum drivewa	y width		3.8 m
	(5)	maximum garage we measured from the	vidth: inside face of the garage side	walls	3.8 m
4.11.2.36.3			aply with the RS zone regulation.1 of this By-law except that:	ons	
	(1)	minimum setback fi zoned PB1	rom a semi-detached to all la	nds	10.0 m
	(2)	minimum setback to	o a sight triangle		0.0 m
	(3)		ament of a porch or balcony in exterior side yards	nto the	2.0 m
	(4)	maximum drivewa	y width		3.8 m
	(5)	maximum garage we measured from the	vidth: inside face of the garage side	walls	3.8 m

4.11.2.37	Exception: RM5-37		Map # 57, 58		49-2007, , 0181-2018/LPAT) February 15,
		permitted uses and a ng uses /regulations s	pplicable regulations sha hall apply:	ll be as specified t	for a RM5 zone
Additional P	ermitted	Use			
4.11.2.37.1	(1)	Semi-Detached			
Regulations					
4.11.2.37.2	Street	Townhouse:			
	(1)	the regulations of I this By-law shall no	Line 11.0 contained in Ta ot apply	ble 4.11.1 of	
	(2)	minimum lot area	- interior lot		183 m^2
	(3)	minimum lot area	- corner lot		292 m^2
	(4)	minimum lot front	age - interior lot		6.1 m
	(5)	minimum lot front	age - corner lot		9.75 m
	(6)	minimum front ya adjacent the front l	rd - lots without a munic lot line	cipal sidewalk	3.5 m
	(7)		side yard - lots without the exterior side lot line	a municipal	3.5 m
	(8)	minimum setback t	o garage face		5.8 m
	(9)	minimum interior	side yard - unattached si	ide	1.2 m
	(10)	minimum rear yar	rd		6.0 m
	(11)	minimum setback f zoned U-3	from a street townhouse	to all lands	11.0 m
	(12)		nment of a porch or balc exterior side yards	eony into	2.0 m
	(13)		on of a garage beyond eitheyond the main entry f or		2.5 m
	(14)		y feature has been provi on of a garage beyond a		5.0 m
	(15)	where the garage pentrance, the gara	buse more than one store projects beyond the main ge shall be covered by a be set back a maximum of	front second	
	(16)	maximum drivewa	y width - interior lot		4.3 m
	(17)	maximum drivewa	y width - corner lot		4.7 m
	(18)	maximum garage v	width:		3.8 m
		measured from the	inside face of the garage	e side walls	
	(19)	minimum setback t	o a sight triangle		0.0 m

Exception RM5-37 continued on next page

4.11.2.37	Excep	otion: RM5-37	Map # 57, 58	By-law: 0449 0174-2017, 0 Order 2019 I 0048-2025	0181-2018/LPAT
Exception R	M5-37 c	ontinued from previ	ous page		
4.11.2.37.3			nply with the RS zone regulation. I of this By-law except that:	ions	
	(1)	the regulations of I this By-law shall no	tine 5.0 contained in Table 4.2 ot apply	2.1 of	
	(2)	minimum front ya adjacent the front l	rd - lots without a municipal slot line	sidewalk	3.5 m
	(3)		side yard - lots without a mu he exterior side lot line	ınicipal	3.5 m
	(4)		side yard - lots abutting a str width less than 17.0 m	reet	1.8 m
	(5) minimum exterior side yard - corner lots with a 0.3 m reserve along the exterior side lot line		a 0.3 m	4.2 m	
	(6)	minimum setback t	o garage face		5.8 m
	(7)	maximum encroachment of a porch or balcony into required front and exterior side yards		into	2.0 m
	(8)		on of a garage beyond either t ce or beyond the main entry		2.5 m
	(9)		y feature has been provided, ection of a garage beyond a ce		5.0 m
	(10)	where the garage pentrance, the gara	d more than one storey in heir projects beyond the main from ge shall be covered by a second be set back a maximum of 2.5 ce	nt nd	
	(11)	minimum setback t			0.0 m
	(12)		y width - interior lot		4.3 m
	(13)		y width - corner lot		4.7 m
	(14)	maximum garage was measured from the	width: inside face of the garage side	e walls	3.8 m

4.11.2.38	Exception: RM5-38		Map # 57, 58		65-2016, 0181-2018/LPAT February 15,
		permitted uses and a ing uses /regulations s	pplicable regulations sha shall apply:	all be as specified f	For a RM5 zone
Additional P	ermitted	l Uses			
4.11.2.38.1	(1) (2)	Detached Dwellin Semi-Detached	g		
Regulations					
4.11.2.38.2	Street	t Townhouse:			
	(1)	the regulations of I of this By-law shal	Line 11.0 contained in Tall not apply	able 4.11.1	
	(2)	minimum lot area	- interior lot		183 m^2
	(3)	minimum lot area	- corner lot		292 m^2
	(4)	minimum lot front	age - interior lot		6.1 m
	(5)	minimum lot front	tage - corner lot		9.75 m
	(6)	minimum front ya adjacent the front	rd - lots without a munic lot line	cipal sidewalk	3.5 m
	(7)		side yard - lots without the exterior side lot line		3.5 m
	(8)	minimum setback	to garage face		5.8 m
	(9)	minimum interior	side yard - unattached s	ide	1.2 m
	(10)	minimum rear yar	·d		6.0 m
	(11)	minimum setback i zoned U-3	from a street townhouse	to all lands	11.0 m
	(12)		hment of a porch or balc exterior side yards	cony into	2.0 m
	(13)		on of a garage beyond ei		2.5 m
	(14)		y feature has been provi ection of a garage beyon ace		5.0 m
	(15)	where the garage pentrance, the gara	ouse more than one store projects beyond the main ge shall be covered by a be set back a maximum of	second	
	(16)	maximum drivewa	y width - interior lot		4.3 m
	(17)	maximum drivewa	y width - corner lot		4.7 m
	(18)	maximum garage measured from the	width: inside face of the garage	e side walls	3.8 m
	(19)	minimum setback	to a sight triangle		0.0 m

Exception RM5-38 continued on next page

4.11.2.38	Exception: RM5-38		Map # 57, 58	By-law: 0265-2016, 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025
Exception RI	M5-38 c	ontinued from previ	ous page	
4.11.2.38.3		9	comply with the RS zone reg 2.1 of this By-law except that:	ulations
	(1)	minimum lot area	- interior lot	275 m^2
	(2)	minimum lot area	- corner lot	380 m^2
	(3)	minimum lot front	tage - interior lot	9.75 m
	(4)	minimum lot front	tage - corner lot	13.5 m
	(5)	minimum setback t lands zoned G1	from a detached dwelling to a	ll 11.0 m
	(6)	minimum rear yar	·d	7.5 m
	(7)	maximum drivew a	ny width	6.5 m
	(8)	maximum garage measured from the	width: inside face of the garage side	5.5 m
4.11.2.38.4			nply with the RS zone regulation. 2.1 of this By-law except that:	ons
	(1)	the regulations of I of this By-law shal	Line 5.0 contained in Table 4.2 I not apply	2.1
	(2)	minimum front ya adjacent the front	rd - lots without a municipal s lot line	sidewalk 3.5 m
	(3)		side yard - lots without a muthe exterior side lot line	nicipal 3.5 m
	(4)		side yard - lots abutting a str width less than 17.0 m	reet 1.8 m
	(5)		side yard - corner lots with a xterior side lot line	a 0.3 m 4.2 m
	(6)	minimum setback t	to garage face	5.8 m
	(7)		hment of a porch or balcony in exterior side yards	2.0 m
	(8)		on of a garage beyond either the or beyond the main entry	
	(9)		y feature has been provided, on of a garage beyond a main	
	(10)	where the garage pentrance, the gara	ed more than one storey in heiprojects beyond the main from the stall be covered by a second be set back a maximum of 2.5 the	t nd
	(11)	minimum setback t	to a sight triangle	0.0 m
	(12)	maximum drivewa	ny width - interior lot	4.3 m
	(13)		ny width - corner lot	4.7 m
	(14)	maximum garage measured from the	width: inside face of the garage side	3.8 m

4.11.2.39	Excep	tion: RM5-39		181-20	0174-2017, 018/LPAT Order bruary 15, 0048-2025
		permitted uses and and and uses/regulations s.	pplicable regulations shall be as hall apply:	specifi	ed for a RM5 zone
Additional Pe	ermitted	Use			
4.11.2.39.1	(1)	Semi-Detached			
Regulations					
4.11.2.39.2	Street	Townhouse:			
	(1)	the regulations of L of this By-law shall	ine 11.0 contained in Table 4.11 I not apply	1.1	
	(2)	minimum front ya adjacent the front l	rd - lots without a municipal sid ot line	lewalk	3.5 m
	(3)		side yard - lots without a munic he exterior side lot line	cipal	3.5 m
	(4)	minimum setback t	o a sight triangle		0.0 m
	(5)		nment of a porch or balcony into exterior side yards	o the	2.0 m
	(6)	minimum setback of a detached garage to the rear lot line			0.5 m
	(7)	minimum setback of interior side lot lin	of a detached garage to the ne		0.85 m on one side and 0.0 m on the other side
	(8)	maximum drivewa	y width		6.5 m
	(9)	maximum garage we measured from the	width: inside face of the garage side w	alls	5.5 m
	(10)	a detached garage	shall be provided in the rear yar	rd	
	(11)	minimum setback f street townhouse	rom a detached garage to a		6.0 m
	(12)	•	g a street with a width of 17.0 m med to be the front lot line	or	
4.11.2.39.3			nply with the RS zone regulation1 of this By-law except that:	ıs	
	(1)	the regulations of L this By-law shall no	ine 5.0 contained in Table 4.2.1 ot apply	of	
	(2)	minimum front yan adjacent the front l	rd - lots without a municipal sid ot line	lewalk	3.5 m
	(3)		side yard - lots without a munic he exterior side lot line	cipal	3.5 m
	(4)	maximum drivewa	y width		6.5 m
	(5)		nment of a porch or balcony into exterior side yards	o the	2.0 m
	(6)	minimum setback o	of a detached garage to the		0.5 m
	(7)	minimum setback of interior side lot lin	of a detached garage to the ne		0.85 m on one side and 0.0 m on the other side
	(8)	maximum garage was measured from the	width: inside face of the garage side w	alls	5.5 m
	(9)	minimum setback t	o a sight triangle		0.0 m

Exception RM5-39 continued on next page

4.11.2.39	Excep	tion: RM5-39	Map # 57	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025		
Exception RI	Exception RM5-39 continued from previous page					
4.11.2.39.3 (continued)	(10)	a detached garage shall be provided in the rear yard				
	(11)	minimum setback fi semi-detached	rom a detached garage to	o a 6.0 m		
	(12)	_	g a street with a width of med to be the front lot li			

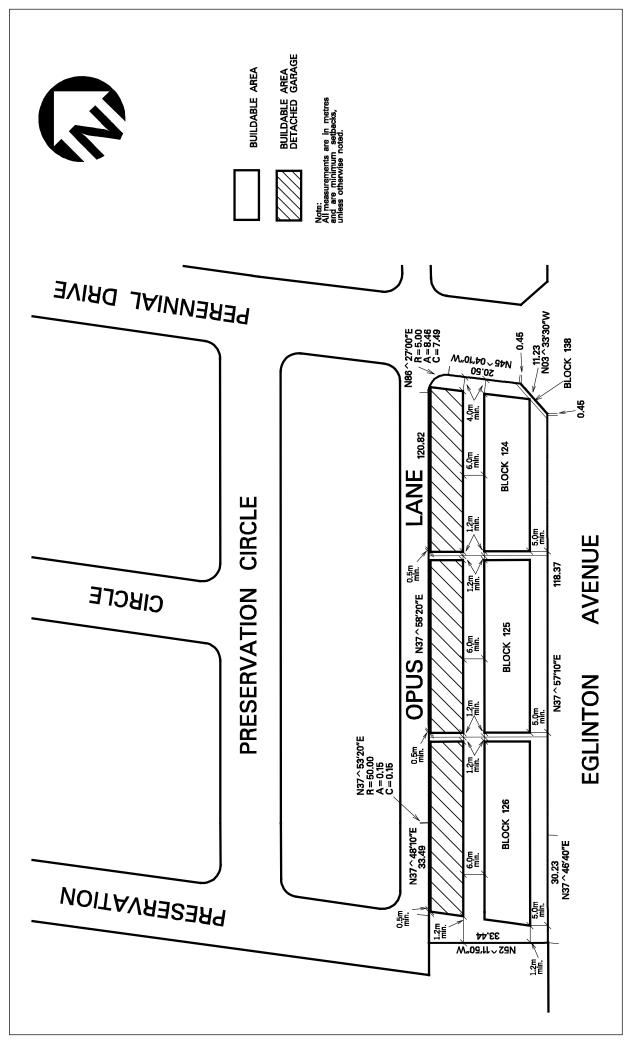
4.11.2.40	Exception: RM5-40	Map # 25, 37W	By-law: 0174-2017, 0048-2025			
In a RM5-40 zone the permitted uses and applicable regulations shall be as specified for a RM5 zone except that the following uses /regulations shall apply:						
Additional Per						
4.11.2.40.1	(1) Semi-Detached					
Regulation						
4.11.2.40.2 A semi-detached shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law						

4.11.2.41	Excep RM5-4 RM5-4	41(1), RM5-41(2),	Map # 57	By-law: 0181-2018/LPAT Order 2019 February 15, 0111-2019/LPAT Order 2021 March 09, 0208-2022
be as specified	for a R	M5 zone except that	3) zone the permitted the following uses /reg	uses and applicable regulations shall gulations shall apply:
Additional Po	ermitted	Uses		
4.11.2.41.1	The fo	ollowing uses are peri	mitted within a street	townhouse:
	(1) (2) (3) (4) (5) (6)	Office Medical Office - R Service Establishn Repair Service Retail Store Tutoring		
Uses Not Per	mitted			
4.11.2.41.2	(1) (2) (3) (4)	Dry-cleaning estable Carpet or floor cov Pet Shop Laundromat or laun	ering cleaning service	,
Regulations				
4.11.2.41.3	Street	Townhouse:		
	(1)	the regulations of L this By-law shall no	Line 11.0 contained in ot apply	Table 4.11.1 of
	(2)	Exception, except t Sentence 4.11.2.41	in Sentence 4.11.2.41. the uses not permitted .2 of this Exception, s first storey of a street	in hall only be

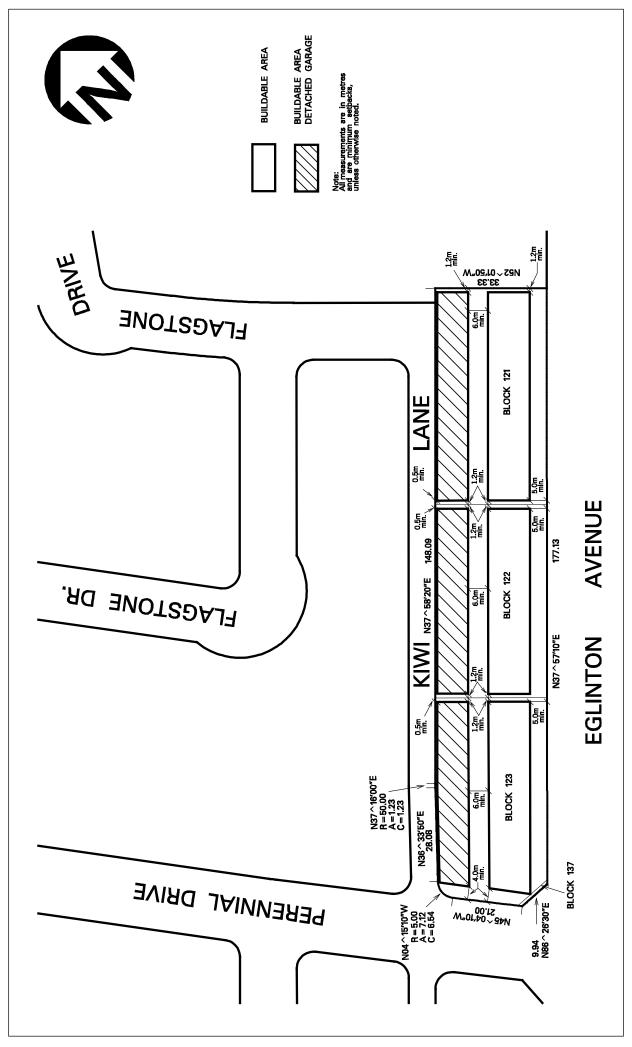
Exception RM5-41(1), RM5-41(2), and RM5-41(3) continued on next page

4.11.2.41	RM5-4	41(1), RM5-41(2), 41(3)	Map # 57	By-law: 0181-2018/LPAT Order 2019 February 15, 0111-2019/LPAT Order 2021 March 09, 0208-202	
Exception R	M5-41(1)), RM5-41(2), and R	M5-41(3) continued from pr	evious page	
4.11.2.41.3 (continued)	(3)	Sentence 4.11.2.41 not permitted in Se	maximum number of uses permitted in 1 Sentence 4.11.2.41.1 of this Exception, except the uses not permitted in Sentence 4.11.2.41.2 of this Exception, per street townhouse dwelling unit		
	(4)	maximum gross flo	oor area - non-residential		65 m^2
	(5)	minimum lot area	- corner lot		315 m^2
	(6)	minimum lot front	age - corner lot		10.5 m
	(7)	maximum lot cove	rage - detached garage		17%
	(8)	minimum front ya adjacent the front le	rd - lots without a municipal sot line	sidewalk	4.0 m
	(9)		side yard - lots without a mu he exterior side lot line	nicipal	4.0 m
	(10)		nment of a porch or balcony i exterior side yards	nto the	2.0 m
	(11)	buildable area ide	nment of a deck beyond the ntified on Schedules RM5-41(is Exception between a street letached garage	2.0 m	
	(12)	maximum driveway width			6.1 m
	(13)	buildable area - de	shall be permitted in the etached garage identified on (1) to RM5-41(3) of this Exce	eption	
	(14)	maximum garage measured from the interior lot	width: inside face of the garage side	walls -	5.5 m
	(15)	maximum garage was measured from the corner lot	width: inside face of the garage side	walls -	5.9 m
	(16)	minimum interior garage located in t	side yard on one side of a det he rear yard	ached	0.85 m
	(17)	minimum setback of a detached garage	of all buildings and structure to a sight triangle	s except	0.0 m
	(18)	this Exception, atta rear yard of Block identified on Sched	chedules RM5-41(1) to RM5-4 ched garages may be permitted as 122, 125, 132, 133 and 134, lules RM5-41(1) to RM5-41(3) bliance with the following:	ed in the	
			m garage width: d from the inside face of the g ls	arage	3.8 m
		(18.2) maximu	m driveway width		4.3 m
		(18.3) minimur	n rear yard		6.0 m
	(19)	from a public lane	eans the lot line that divides the identified and named as a "lan (1) to RM5-41(3) of this Exce	e" on	
	(20)	"Front Lot Line" m rear lot line	eans the lot line opposite the		
	(21)		nt plans shall comply with (1) to RM5-41(3) of this Exce	eption	

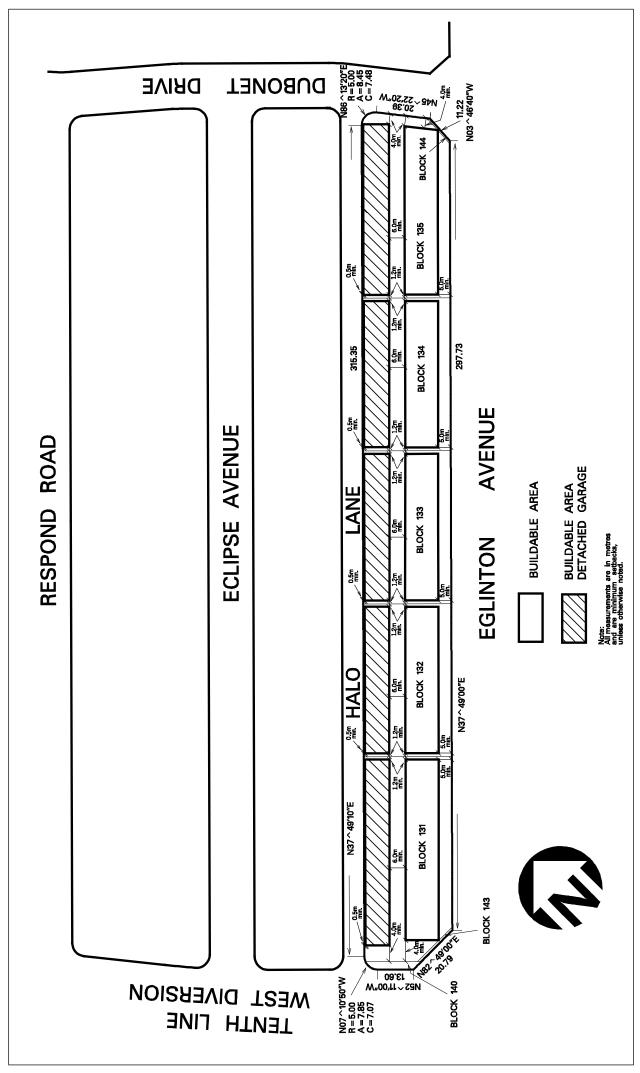
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Schedule RM5-41(1) Map 57



Schedule RM5-41(2) Map 57



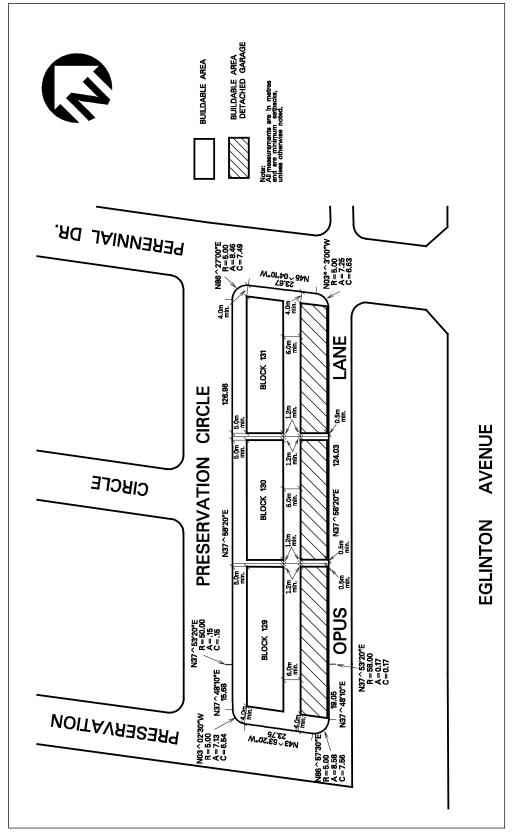
Schedule RM5-41(3) Map 57

4.11.2.42	Exception: RM5-42(1), RM5-42(2), RM5-42(3), RM5-42(4), RM5-42(5)	By-law: 0181-2018/LPAT Order 2019 February 15, 0208-2022			
		RM5-42(4) and RM5-42(5) zor I for a RM5 zone except that the			
Regulations					
4.11.2.42.1	The regulations of Line 11 By-law shall not apply	1.0 contained in Table 4.11.1 of	this		
4.11.2.42.2	Minimum lot area - corne	er lot	315 m^2		
4.11.2.42.3	Minimum lot frontage - c	orner lot	10.5 m		
4.11.2.42.4	Maximum lot coverage -	detached garage	17%		
4.11.2.42.5	Minimum front yard - lo t adjacent the front lot line	ts without a municipal sidewalk	4.0 m		
4.11.2.42.6	Minimum exterior side yadjacent the exterior side	ard - lots without a municipal s lot line	idewalk 4.0 m		
4.11.2.42.7	Maximum encroachment of front and exterior side ya	of a porch or balcony into the rards	required 2.0 m		
4.11.2.42.8	identified on Schedules R	of a deck outside the buildable M5-42(1) to RM5-42(5) of this et townhouse and a detached ga			
4.11.2.42.9	Maximum driveway widt	h	6.1 m		
4.11.2.42.10		be permitted in the buildable ar d on Schedules RM5-42(1) to ion	ea -		
4.11.2.42.11	Maximum garage width: measured from the inside interior lot	face of the garage side walls -	5.5 m		
4.11.2.42.12	Maximum garage width: measured from the inside corner lot	face of the garage side walls -	5.9 m		
4.11.2.42.13	Minimum setback from or in the rear yard to an into	ne side of a detached garage , lo	cated 0.8 m		
4.11.2.42.14	Minimum setback of all b detached garage to a sigh	uildings and structures except t triangle	a 0.0 m		
4.11.2.42.15					
	(1) maximum garage measured from the	width: e inside face of the garage side	3.8 m walls		
	(2) maximum drivew	ay width	4.3 m		
	(3) minimum rear ya	rd	6.0 m		

Exception RM5-42(1), RM5-42(2), RM5-42(3), RM5-42(4) and RM5-42(5) continued on next page

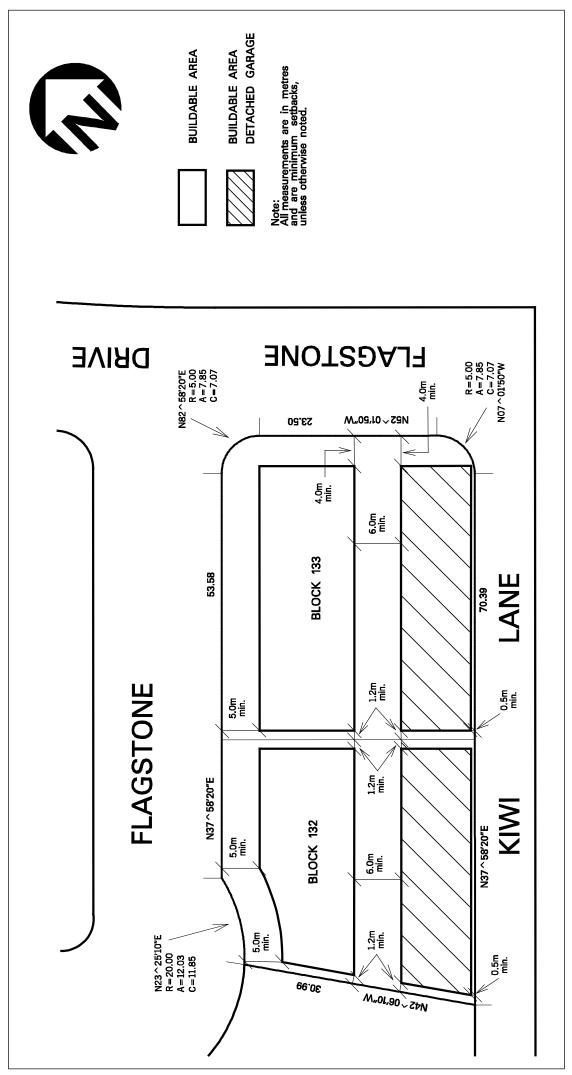
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4.11.2.42	Exception: RM5-42(1), RM5-42(2), RM5-42(3), RM5-42(4), RM5-42(5)	Map # 57	By-law: 0181-2018/LPAT Order 2019 February 15, 0208-2022			
_	Exception RM5-42(1), RM5-42(2), RM5-42(3), RM5-42(4) and RM5-42(5) continued from previous page					
4.11.2.42.16	4.11.2.42.16 "Rear Lot Line" means the lot line that divides the lot from a public lane identified and named as a "lane" on Schedules RM5-42(1) to RM5-42(5) of this Exception					
4.11.2.42.17	4.11.2.42.17 "Front Lot Line" means the lot line opposite the rear lot line					
4.11.2.42.18	All site development plans Schedules RM5-42(1) to RI	¥ •				

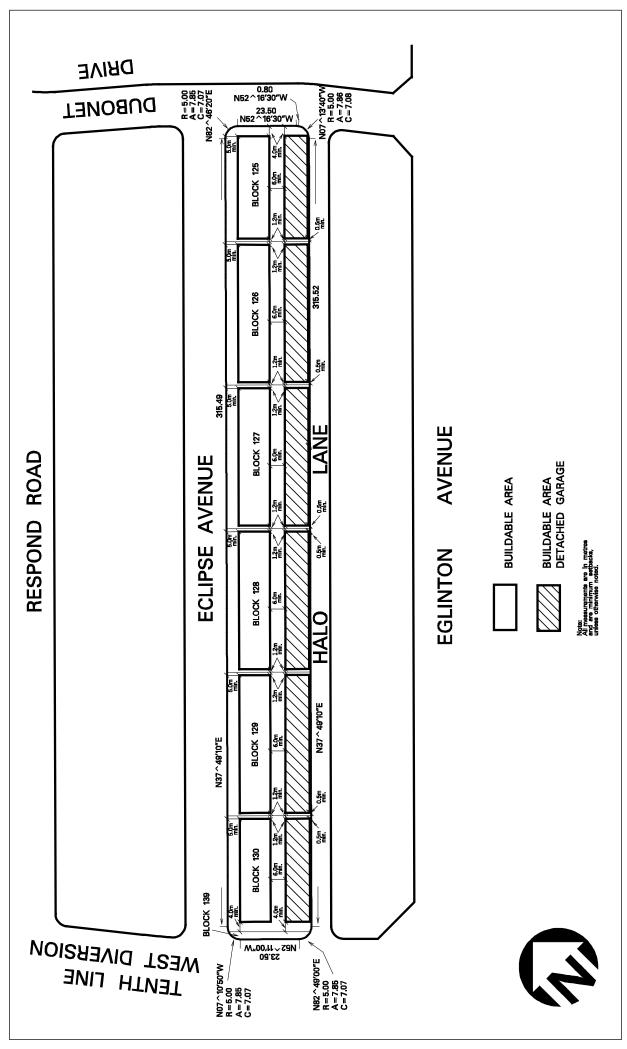


Schedule RM5-42(1)

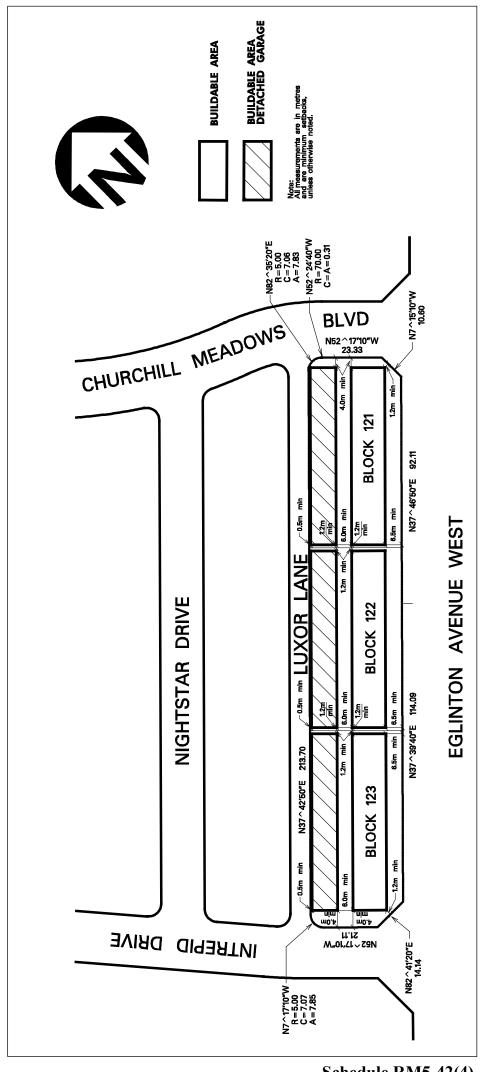
Map 57



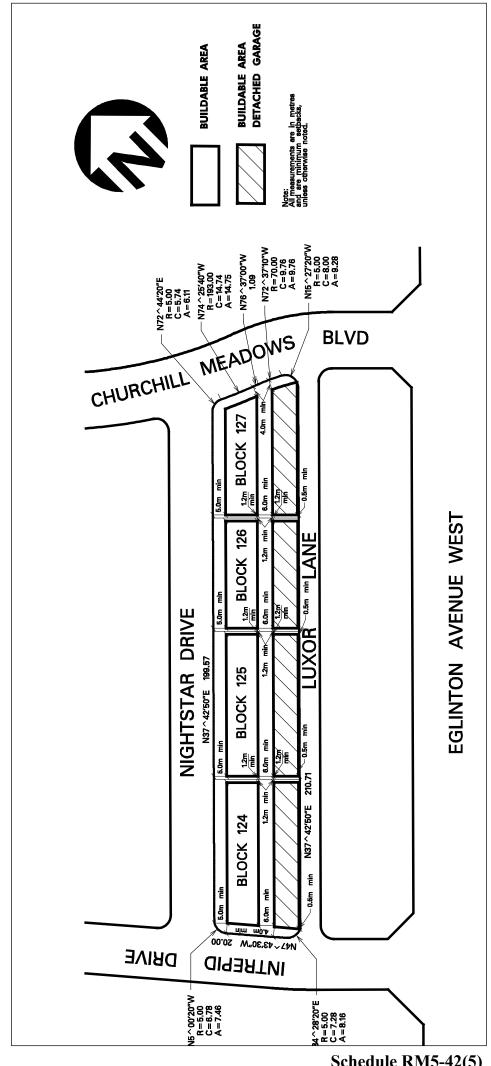
Schedule RM5-42(2) Map 57



Schedule RM5-42(3) Map 57



Schedule RM5-42(4) Map 57



Schedule RM5-42(5) Map 57

4.11.2.43	Exception: RM5-43		Map # 57	By-law: 0174- 0181-2018/LP 2019 February	
		permitted uses and a ng uses /regulations s	pplicable regulations shall be a hall apply:	s specified for	a RM5 zone
Additional Po	ermitted	l Use			
4.11.2.43.1	(1)	Semi-Detached			
Regulations					
4.11.2.43.2	Street	Townhouse:			
	(1)	the regulations of I of this By-law shal	Line 11.0 contained in Table 4. l not apply	11.1	
	(2)	minimum lot area	- interior lot		183 m^2
	(3)	minimum lot area	- corner lot		292 m^2
	(4)	minimum lot front	age - interior lot		6.1 m
	(5)	minimum lot frontage - corner lot			9.75 m
	(6)	minimum front ya adjacent the front l	rd - lots without a municipal salot line	idewalk	3.5 m
	(7)		side yard - lots without a mur the exterior side lot line	nicipal	3.5 m
	(8)	minimum setback t	to garage face		5.8 m
	(9)	minimum interior	side yard - unattached side - a	ll lots	1.2 m
	(10)	minimum rear yar	rd		6.0 m
	(11)		nment of a porch or balcony in exterior side yards	nto	2.0 m
	(12)	1 0	on of a garage beyond either the ce or beyond the main entry f		2.5 m
	(13)		y feature has been provided, ection of a garage beyond a ce		5.0 m
	(14)	where the garage pentrance, the gara	buse more than one storey in horojects beyond the main front ge shall be covered by a secon be set back a maximum of 2.5	t d	
	(15)	minimum setback t	o a sight triangle		0.0 m
	(16)	maximum drivewa	y width		3.8 m
	(17)	maximum garage measured from the	width: inside face of the garage side	walls	3.8 m

Exception RM5-43 continued on next page

4.11.2.43	Ехсер	tion: RM5-43	Map # 57	By-law: 0174 0181-2018/LF 2019 February	
Exception R	M5-43 c	ontinued from previ	ous page		
4.11.2.43.3			nply with the RS zone regulat 2.1 of this By-law except that		
	(1)	the regulations of I this By-law shall n	Line 5.0 contained in Table 4. ot apply	2.1 of	
	(2)		minimum front yard - lots without a municipal sidewalk 3.5 m adjacent the front lot line		
	(3)		side yard - lots without a muthe exterior side lot line	unicipal	3.5 m
	(4)		minimum exterior side yard - corner lots with a 0.3 m reserve along the exterior side lot line		4.2 m
	(5)	minimum setback to garage face			5.8 m
	(6)	minimum interior	side yard		1.2 m
	(7)		hment of a porch or balcony exterior side yard	into	2.0 m
	(8)	1 0	on of a garage beyond either ace or beyond the main entry		2.5 m
	(9)		y feature has been provided, ection of a garage beyond a ace		5.0 m
	(10)	where the garage pentrance, the gara	ed more than one storey in he projects beyond the main from ge shall be covered by a second be set back a maximum of 2.3 are	nt ond	
	(11)	minimum setback	to a sight triangle		0.0 m
	(12)	maximum garage measured from the	width: inside face of the garage sid	e walls	3.8 m

4.11.2.44	Excep	tion: RM5-44		By-law: 0174-2017, 0181-2018/LPAT Or 2019 February 15, 00	
		permitted uses and a ng uses /regulations s	pplicable regulations shall be as shall apply:	specified for a RM5	zone
Additional P	ermitted	l Uses			
4.11.2.44.1	(1) (2)	Detached Dwellin Semi-Detached	g		
Regulations					
4.11.2.44.2	Street	Townhouse:			
	(1)	the regulations of I of this By-law shal	Line 11.0 contained in Table 4.1 l not apply	1.1	
	(2)	minimum lot area	- interior lot	183 r	m^2
	(3)	minimum lot area	- corner lot	292 r	m^2
	(4)	minimum lot front	age - interior lot	6.1 1	n
	(5)	minimum lot front	tage - corner lot	9.75	m
	(6)	minimum front ya adjacent the front	rd - lots without a municipal sic lot line	dewalk 3.5 r	n
	(7)		side yard - lots without a muni the exterior side lot line	cipal 3.5 r	n
	(8)	minimum setback	to garage face	5.8 1	n
	(9)	minimum interior	side yard - unattached side	1.2 r	n
	(10)	minimum rear yar	·d	6.0 1	n
	(11)	minimum setback i zoned U-3	from a street townhouse to all l	ands 11.6	m
	(12)		hment of a porch or balcony interesterior side yards	2.0 r	n
	(13)		on of a garage beyond either the ice or beyond the main entry fe		n
	(14)		y feature has been provided, ection of a garage beyond a ace	5.0 r	n
	(15)	where the garage pentrance, the gara	ouse more than one storey in he projects beyond the main front age shall be covered by a second be set back a maximum of 2.5 mace		
	(16)	maximum drivewa	y width - interior lot	4.3 1	n
	(17)	maximum drivew a	ny width - corner lot	4.7 ı	n
	(18)	maximum garage measured from the	width: inside face of the garage side w	3.8 ı valls	n
	(19)	minimum setback	to a sight triangle	0.0 1	n

Exception RM5-44 continued on next page

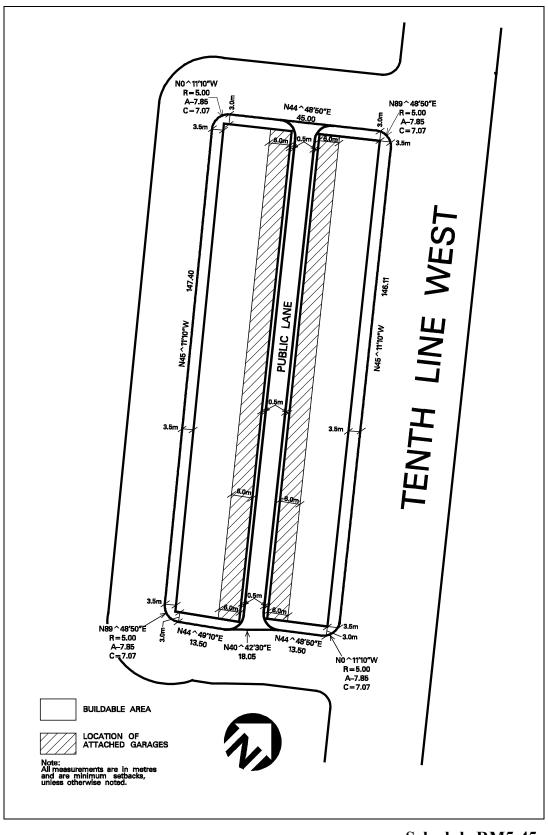
4.11.2.44	Excep	tion: RM5-44	Map # 57	By-law: 017 0181-2018/I 2019 Februa	
Exception RI	M5-44 co	ontinued from previ	ous page		
4.11.2.44.3		C	comply with the RS zone re 2.1 of this By-law except tha	•	
	(1)	minimum lot area	- interior lot		275 m^2
	(2)	minimum lot area	- corner lot		380 m^2
	(3)	minimum lot front	tage - interior lot		9.75 m
	(4)	minimum lot front	tage - corner lot		13.5 m
	(5)	minimum rear yar	·d		7.5 m
	(6)	minimum setback of zoned U-3	of a detached dwelling to al	l lands	11.6 m
	(7)	maximum drivewa	ny width		6.5 m
	(8)	maximum garage measured from the	width: inside face of the garage side	de walls	5.5 m
4.11.2.44.4			nply with the RS zone regula 2.1 of this By-law except tha		
	(1)	the regulations of I this By-law shall n	Line 5.0 contained in Table 4 ot apply	4.2.1 of	
	(2)	minimum front ya adjacent the front	rd - lots without a municipa lot line	l sidewalk	3.5 m
	(3)	minimum exterior side yard - lots without a municipal sidewalk adjacent the exterior side lot line		nunicipal	3.5 m
	(4)	minimum exterior a right-of-way wid	side yard - lots abutting a sth less than 17.0 m	treet with	1.8 m
	(5)	minimum exterior the exterior side lo	side yard with a 0.3 m resent line	rve along	4.2 m
	(6)	minimum setback t	to garage face		5.8 m
	(7)	minimum setback t	to a sight triangle		0.0 m
	(8)	minimum setback ozoned U-3	of a semi-detached to all lar	nds	11.6 m
	(9)		hment of a porch or balcony exterior side yards	y into a	2.0 m
	(10)		on of a garage beyond either ace or beyond the main entr		2.5 m
	(11)		y feature has been provided ection of a garage beyond a ace		5.0 m
	(12)	where the garage pentrance, the gara	ed more than one storey in horojects beyond the main froge shall be covered by a sec be set back a maximum of 2 ace	ont ond	
	(13)	maximum drivewa	ny width - interior lot		4.3 m
	(14)	maximum drivewa	y width - corner lot		4.7 m
	(15)	maximum garage measured from the	width: inside face of the garage side	de walls	3.8 m

4.11.2.45	Exception: RM5-45	Map # 57	By-law: 0181-2018/LPAT Order 2019 February 15, 0208-2022
	cone the permitted uses and a collowing uses /regulations s	pplicable regulations shall be hall apply:	as specified for a RM5 zone
Regulations			
4.11.2.45.1	The provisions contained in regulations of Line 11.0 co. By-law shall not apply	n Subsection 2.1.14 and the ntained in Table 4.11.1 of this	
4.11.2.45.2	Minimum lot area - interio	or lot	170 m^2
4.11.2.45.3	Minimum lot area - corne	r lot	235 m^2
4.11.2.45.4	Minimum lot frontage - in	terior lot	7.5 m
4.11.2.45.5	Minimum lot frontage - co	orner lot	10.5 m
4.11.2.45.6	Minimum setback of all bu detached garage to a sight	ildings and structures except	t a 0.0 m
4.11.2.45.7	Minimum height		8.5 m
4.11.2.45.8	Minimum height - street to	ownhouse with an unattached	side 8.0 m
4.11.2.45.9	buildable area identified of into the front and/or exteri	orch or balcony outside the on Schedule RM5-45 of this Exor side yard provided that the all not exceed 50% of the wid	e width
4.11.2.45.10		awning outside the buildable 5-45 of this Exception into the	
4.11.2.45.11		awning outside the buildable 5-45 of this Exception into the	
4.11.2.45.12	· · · · · · · · · · · · · · · · · · ·	vindow projection, with or ney , pilaster or corbel outside on Schedule RM5-45 of this Ex	
4.11.2.45.13	Maximum area of a deck in Schedule RM5-45 of this E	n the buildable area identified xception	d on 10 m ²
4.11.2.45.14	Maximum garage width: measured from the inside fainterior lot	ace of the garage side walls -	5.5 m
4.11.2.45.15	Maximum garage width: measured from the inside factorner lot	ace of the garage side walls -	5.9 m
4.11.2.45.16	above:	d garage with no habitable regrade to the highest point of	
4.11.2.45.17		d garage with habitable roon	ns 8.5 m
	measured from established	grade to the highest point of	the roof
4.11.2.45.18	Minimum interior side yar	rd on one side of an attached	garage 0.85 m
4.11.2.45.19	Maximum driveway width	<u> </u>	6.5 m

Exception RM5-45 continued on next page

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4.11.2.45	Exception: RM5-45	Map # 57	By-law: 0181-2018/LPAT Order 2019 February 15, 0208-2022	
Exception RM	15-45 continued from previ	ous page		
4.11.2.45.20	"Rear Lot Line" means the lot line that divides the lot from a public lane identified and named as a "lane" on Schedule RM5-45 of this Exception			
4.11.2.45.21	"Front Lot Line" means the lot line opposite the rear lot line			
4.11.2.45.22	All site development plans of this Exception	plans shall comply with Schedule RM5-45		



Schedule RM5-45 Map 57

4.11.2.46	Exception: RM5-46	Map # 57	By-law: 0181-2018/LPAT Order 2019 February 15
	zone the permitted uses and a e following uses /regulations		ll be as specified for a RM5 zone
Regulations			
4.11.2.46.1	The regulations of Line 11 By-law shall not apply	.0 contained in Table 4.1	1.1 of this
4.11.2.46.2	Minimum lot area - interi	or lot	170 m^2
4.11.2.46.3	Minimum lot area - corne	r lot	235 m^2
4.11.2.46.4	Minimum lot frontage - in	nterior lot	5.4 m
4.11.2.46.5	Minimum lot frontage - co	orner lot	10.5 m
4.11.2.46.6	Minimum front yard - lot adjacent the front lot line	without a municipal side	walk 3.5 m
4.11.2.46.7	Minimum exterior side ya	rd	3.5 m
4.11.2.46.8	Minimum rear yard		7.0 m
4.11.2.46.9	Maximum encroachment of front and exterior side ya		o the required 2.0 m
4.11.2.46.10	Maximum encroachment of front yard	f an awning into the requ	ired 0.6 m
4.11.2.46.11	Maximum encroachment o	of an awning into the requ	ired 0.3 m
4.11.2.46.12	Maximum projection of a gentrance or beyond the maximum		
4.11.2.46.13	Where a main entry featu projection of a garage bey		
4.11.2.46.14	For a street townhouse me the garage projects beyond minimum of 60% of the was a second storey which may from the garage face	d the main front entranc idth of the garage shall b	e, a e covered by
4.11.2.46.15	Minimum setback to a sigh	nt triangle	0.0 m
4.11.2.46.16	Maximum driveway width	a - interior lot	3.8 m
4.11.2.46.17	Maximum driveway width	n - corner lot	4.2 m
4.11.2.46.18	Maximum garage width: measured from the inside f	ace of the garage side w	3.8 m

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4.11.2.47	Exception: RM5-47	Map # 38W	By-law: 0426-2008, 0181-2018/LPAT Order 2019 February 15			
	In a RM5-47 zone the permitted uses and applicable regulations shall be as specified for a RM5 zone except that the following uses /regulations shall apply:					
Regulations						
4.11.2.47.1	4.11.2.47.1 The provisions contained in Sentence 3.1.1.2.1 of this By-law shall not apply					
4.11.2.47.2	Minimum lot area - interio	or lot	155 m^2			
4.11.2.47.3	Minimum lot frontage - in	6.0 m				
4.11.2.47.4	Minimum front yard	Minimum front yard				
4.11.2.47.5	Minimum front yard - gar	2.2 m				
4.11.2.47.6	Minimum interior side yar	d - unattached side	1.3 m			
4.11.2.47.7	Maximum height		13.0 m			
4.11.2.47.8	Maximum gross floor area	- residential	295 m^2			
4.11.2.47.9	Maximum driveway width		5.72 m			
4.11.2.47.10	"Gross Floor Area - Reside each storey of a building a from the exterior of outside of the building used for mo	bove established grade walls but shall not include	measured			

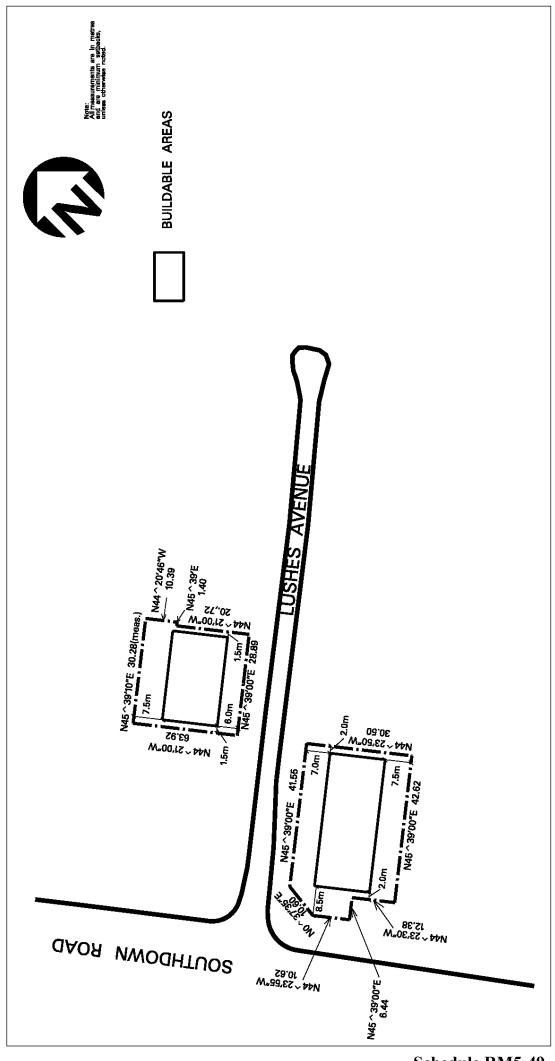
4.11.2.48	Ехсер	tion: RM5-48	Map # 57	By-law: 0455-2007, 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025
		permitted uses and ap ng uses /regulations s	pplicable regulations shall be a	as specified for a RM5 zone
Additional Pe	rmitted	Uses		
4.11.2.48.1	(1) (2)	Detached Dwelling Semi-Detached	5	
Regulations				
4.11.2.48.2		O	comply with the RS zone region. 1 of this By-law except that:	ılations
	(1)		of detached dwelling units 25.0 m of Thomas Street	1
	(2)	minimum setback o Boulevard	of a lot to Winston Churchill	108.0 m
	(3)	minimum lot area	- interior lot	275 m^2
	(4)	minimum lot front	age - interior lot	9.75 m
	(5)	minimum lot front	age - corner lot	13.0 m
	(6)	maximum drivewa	y width	6.5 m
	(7)	maximum garage we measured from the	vidth: inside face of the garage side	5.5 m walls
	(8)	on top of an attache	aximum area of 10 m ² is permed garage provided that the ba ore than 1.0 m beyond the gar	lcony

Exception RM5-48 continued on next page

4.11.2.48	Ехсер	otion: RM5-48	Map # 57	By-law: 0455 0174-2017, 0 Order 2019 F 0048-2025	181-2018/LPAT
Exception R	M5-48 c	ontinued from previo	ous page		
4.11.2.48.3			uply with the RS zone regulati .1 of this By-law except that:	ons	
	(1)		ines 5.0 and 11.0 contained in By-law shall not apply	1	
	(2)	minimum front yar sidewalk adjacent tl	rd - lots without a municipal he front lot line		3.5 m
	(3)	minimum setback to	o garage face		5.8 m
	(4)		side yard - lots without a adjacent the exterior side lot	line	3.5 m
	(5)	minimum exterior a right-of-way width	side yard - lots abutting a str h less than 17.0 m	eet with	1.8 m
	(6)	minimum exterior reserve along the ex	side yard - corner lots with a aterior side lot line	ı 0.3 m	4.2 m
	(7)	minimum rear yard	d		7.0 m
	(8)	maximum encroach required front and o	ament of a porch or balcony i exterior side yards	nto	2.0 m
	(9)		n of a garage beyond either the ce or beyond the main entry to		2.5 m
	(10)	·	y feature has been provided, t n of a garage beyond a main		5.0 m
	(11)	where the garage prentrance, a minimum easured from the ingarage shall be cov	d more than one storey in heir rojects beyond the main from am of 75% of the width of the inside face of the garage wall ered by a second storey which aum of 2.5 m from the garage	t garage, s, the h may	
	(12)	minimum setback to	o a sight triangle		0.0 m
	(13)	maximum driveway	y width - interior lot		4.3 m
	(14)	maximum drivewa ;	y width - corner lot		4.7 m
	(15)	maximum garage w measured from the	vidth: inside face of the garage side	walls	3.8 m
	(16)	on top of an attache	aximum area of 10 m ² is permed garage provided that the ba are than 1.0 m beyond the gar age	lcony	

4.11.2.49	Exception: RM5-49	Map # 03	By-law: 0281 0410-2008, 0 Order 2019 F 0208-2022	181-2018/LPAT
	one the permitted uses and a following uses /regulations s	pplicable regulations shall be a hall apply:	as specified for	a RM5 zone
Regulations				
4.11.2.49.1	Minimum lot area - interio	or lot		188 m^2
4.11.2.49.2	Minimum lot frontage - in	terior lot		6.3 m
4.11.2.49.3	Maximum gross floor area	a - residential	1.16	times the lot area
4.11.2.49.4	located at and accessible from first storey into the require	f a porch or deck inclusive of om the first storey or below the ed front and exterior side yar identified on Schedule RM5-4	ne ds	1.6 m
4.11.2.49.5	pilaster or corbel, window three risers into the required	f an awning, window, chimne well, and stairs with a maximud front and exterior side yard identified on Schedule RM5-4	ım of ls	0.61 m
4.11.2.49.6	located at and accessible frefirst storey, or awning into	f a porch or deck inclusive of om the first storey or below the the required rear yard outsic on Schedule RM5-49 of this Ex	ne le the	5.0 m
4.11.2.49.7	the setback to the interior	requiring a 0.0 m interior side lot line from a porch or did in the rear yard, shall also be	leck	
4.11.2.49.8		f a balcony into the required f outside the buildable area ides Exception		1.0 m
4.11.2.49.9	air conditioning equipment stairs with a maximum of the	f a window, chimney , heating, pilaster or corbel, window whree risers into the required re identified on Schedule RM5-4	ell, and ar yard	1.0 m
4.11.2.49.10	All site development plans of this Exception	shall comply with Schedule R	M5-49	

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Schedule RM5-49 Map 03

4.11.2.50	Exception: RM5-50	Map # 30	By-law: 0184-2008			
	In a RM5-50 zone the permitted uses and applicable regulations shall be as specified for a RM5 zone except that the following uses /regulations shall apply:					
Regulations						
4.11.2.50.1	The regulations of Line 11. By-law shall not apply	0 contained in Table 4.1	1.1 of this			
4.11.2.50.2	Minimum lot area - interio	or lot	145 m^2			
4.11.2.50.3	Minimum lot area - corner	· lot	255 m^2			
4.11.2.50.4	Minimum lot frontage - in	terior lot	6.0 m			
4.11.2.50.5	Minimum lot frontage - co	rner lot	10.5 m			
4.11.2.50.6	Minimum rear yard		6.0 m			
4.11.2.50.7	Maximum encroachment of required front yard or exte		nto the 2.0 m			
4.11.2.50.8	Maximum height		11.0 m			
4.11.2.50.9	Maximum driveway width		3.0 m			
4.11.2.50.10	Maximum area of a balcon	y on top of an attached g	garage 6 m ²			

4.11.2.51	Exception: RM5-51	Map # 15	By-law: 0188-20	0389-2009, 10		
	In a RM5-51 zone the permitted uses and applicable regulations shall be as specified for a RM5 zone except that the following uses /regulations shall apply:					
Regulations						
4.11.2.51.1	Minimum lot area - interio	or lot		195 m ²		
4.11.2.51.2	Minimum lot area - corner	·lot		384 m^2		
4.11.2.51.3	Minimum lot frontage - co	rner lot		13.6 m		
4.11.2.51.4	Minimum exterior side yai	·d		7.2 m		
4.11.2.51.5	Minimum interior side yar	d - unattached side		1.2 m		
4.11.2.51.6	Maximum gross floor area	- residential		1.37 times the lot area		
4.11.2.51.7		Fa porch or a deck, located at orey or below the first storey, into a required front yard		2.0 m		
4.11.2.51.8	Maximum encroachment of	a balcony into a required rea	r yard	2.5 m		
4.11.2.51.9	Maximum driveway width			3.75 m		
4.11.2.51.10	Maximum garage door wid	th		3.0 m		

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4.11.2.52	Exception: RM5-52	Map # 15		: 0389-2009, 010, 0048-2025	
In a RM5-52 zone the permitted uses and applicable regulations shall be as specified for a RM5 zone except that the following uses /regulations shall apply:					
Regulations					
4.11.2.52.1	Minimum lot area - interio	or lot		250 m^2	
4.11.2.52.2	Minimum lot frontage - in	terior lot		7.5 m	
4.11.2.52.3	Minimum interior side yard - unattached side abutting a RL zone			3.0 m	
4.11.2.52.4	Maximum gross floor area - residential			1.08 times the lot area	
4.11.2.52.5	4.11.2.52.5 Maximum encroachment of a porch or a deck , located at and accessible from the first storey or below the first storey of the dwelling, inclusive of stairs, into a required front yard			2.0 m	
4.11.2.52.6	Maximum encroachment of	a balcony into a requir	red rear yard	2.5 m	
4.11.2.52.7	Maximum driveway width			3.75 m	
4.11.2.52.8	Maximum garage door wid	lth		3.0 m	
4.11.2.52.9	Minimum number of parki	ng spaces per dwelling	unit	3.0	
4.11.2.52.10	Tandem parking is permitte	ed within a garage			
4.11.2.52.11	A hammerhead shall be pergreater than or equal to 7.5		lot frontage		

4.11.2.53	Excep	tion: RM5-53	·	Order 20 2014 No 0174-20	0088-2013/OMB 013 November 18/ vember 11, 17, 0181-2018/LPAT 019 February 15, 25
		permitted uses and a ing uses /regulations s	pplicable regulations shall be as hall apply:	s specifie	ed for a RM5 zone
Additional Po	ermitted	l Use			
4.11.2.53.1	(1)	Semi-Detached			
Regulations					
4.11.2.53.2	Street	Townhouse:			
	(1)	minimum lot area	- interior lot		162 m^2
	(2)	minimum lot area	- corner lot		255 m^2
	(3)	minimum lot front	age - interior lot		6.0 m
	(4)	minimum lot front	age - corner lot		9.5 m
	(5)	minimum exterior	side yard		4.0 m
	(6)	minimum interior	side yard - unattached side		0.91 m
	(7)	maximum height			11.0 m
	(8)	maximum gross fl o	oor area - residential		1.2 times the lot area
	(9)	maximum encroach required front yard	nment of a porch or balcony in	to the	2.0 m
	(10)		exceeding 0.61 m in height about shall not project from the rear w		

Exception RM5-53 continued on next page

4.11.2.53	Excep	tion: RM5-53	Map # 36W	Order 20 2014 No 0174-20	0088-2013/OMB 013 November 18/ ovember 11, 17, 0181-2018/LPAT 019 February 15, 25
Exception RN	M5-53 co	ontinued from previo	ous page		
4.11.2.53.2 (continued)	(11)	only apply to a porc	Article 4.1.5.2 and Article 4.1.5.7 of this By-law shall only apply to a porch or deck 0.61 m or less in height above grade at any point		
	(12)	a balcony shall not dwelling	project from the rear wall of	a	
4.11.2.53.3			ply with the RS zone regulat .1 of this By-law except that:		
	(1)	minimum lot area -	interior lot		162 m^2
	(2)	minimum lot fronta	minimum lot frontage - interior lot		
	(3)	maximum lot coverage			48%
	(4)	minimum exterior side yard		4.0 m	
	(5)	maximum height		11.0 m	
	(6)	maximum gross flo	maximum gross floor area - residential maximum encroachment of a porch or balcony into the required front yard		1.2 times the lot area
	(7)	maximum encroach required front yard			2.0 m
	(8)		exceeding 0.61 m in height a shall not project from the rear		
	(9)		Article 4.1.5.7 of this By-law ch or deck 0.61 m or less in le		
	(10)	a balcony shall not dwelling	project from the rear wall of	a	
	(11)	minimum interior s	side yard		0.9 m

4.11.2.54	Exception: RM5-54	Map # 57	By-law: 0055-2012, 0181-2018/LPAT Order 2019 February 15			
	In a RM5-54 zone the permitted uses and applicable regulations shall be as specified for a RM5 zone except that the following uses /regulations shall apply:					
Regulations						
4.11.2.54.1	Minimum lot area - interio	or lot	183 m^2			
4.11.2.54.2	Minimum lot area - corner	292 m^2				
4.11.2.54.3	Minimum lot frontage - int	6.1 m				
4.11.2.54.4	Minimum lot frontage - co	9.7 m				
4.11.2.54.5	Minimum front yard - lots adjacent the front lot line	3.5 m				
4.11.2.54.6	Minimum exterior side yard - lots without a municipal sidewalk adjacent the exterior side lot line		idewalk 3.5 m			
4.11.2.54.7	Minimum interior side ya	1.2 m				
4.11.2.54.8	Minimum rear yard	6.0 m				
4.11.2.54.9	Minimum setback to garage	5.8 m				

Exception RM5-54 continued on next page

4.11.2.54	Exception: RM5-54	Map # 57	0181-20	0055-2012, 18/LPAT Order bruary 15
Exception RN	M5-54 continued from previo	ous page		
4.11.2.54.10	Maximum gross floor area	- residential		1.0 times the lot area
4.11.2.54.11		Maximum encroachment of a porch or balcony into the required front and exterior side yards		
4.11.2.54.12	Minimum setback of stairs to lot lines	Minimum setback of stairs from the front and exterior side 1.0 1.0		
4.11.2.54.13	Maximum projection of a garage beyond either the main front entrance or beyond the main entry feature, where provided			2.5 m
4.11.2.54.14	Where a main entry feature has been provided, the maximum projection of a garage beyond a main front entrance			5.0 m
4.11.2.54.15	For a street townhouse more than one storey in height, where the garage projects beyond the main front entrance, the garage shall be covered by a second storey which may be set back a maximum of 2.5 m from the garage face			
4.11.2.54.16	Maximum driveway width - interior lot			4.3 m
4.11.2.54.17	Maximum driveway width - corner lot			4.7 m
4.11.2.54.18	Maximum garage width: measured from the inside face of the garage side walls		3.8 m	
4.11.2.54.19	Minimum setback to a sight triangle			0.0 m

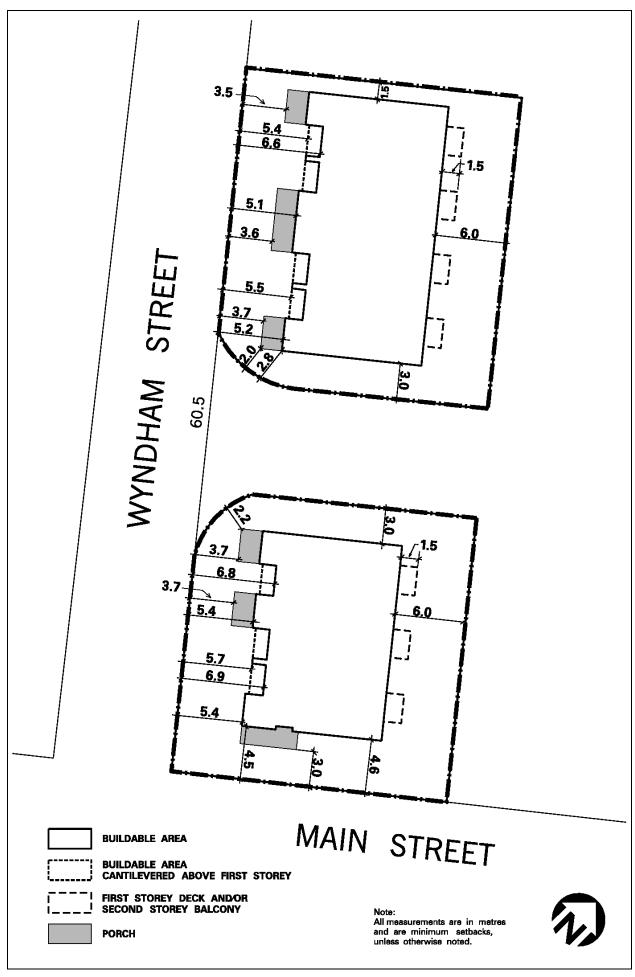
4.11.2.55	Exception: RM5-55	Map # 19	By-law: OMB Order 2015 December 03, 0181-2018/LPAT Order 2019 February 15
	one the permitted uses and applications so		all be as specified for a RM5 zone
4.11.2.55.1	Minimum lot area - interio	or lot	191 m ²
4.11.2.55.2	Minimum lot frontage - in	7.8 m	
4.11.2.55.3	Minimum front yard	6.2 m	
4.11.2.55.4	Minimum setback to the ga	rage face	6.5 m
4.11.2.55.5	Minimum interior side yard abutting lands zoned any zone other than RM5-55		any zone 3.0 m
4.11.2.55.6	Maximum gross floor area	- residential	1.15 times the lot area

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4.11.2.56	Exception: RM5-56	Map # 03	By-law: 0166-2018		
	In a RM5-56 zone the permitted uses and applicable regulations shall be as specified for a RM5 zone except that the following uses /regulations shall apply:				
Regulations					
4.11.2.56.1	Minimum lot area - interio	or lot	135 m^2		
4.11.2.56.2	Minimum lot frontage - int	terior lot	6.4 m		
4.11.2.56.3	Minimum rear yard		7.0 m		
4.11.2.56.4	Maximum gross floor area	- residential	175 m ²		
4.11.2.56.5	Maximum encroachment of front yard	a porch or stairs into a requir	red 1.0 m		
4.11.2.56.6	Maximum encroachment of	a balcony into a required rea	r yard 2.5 m		

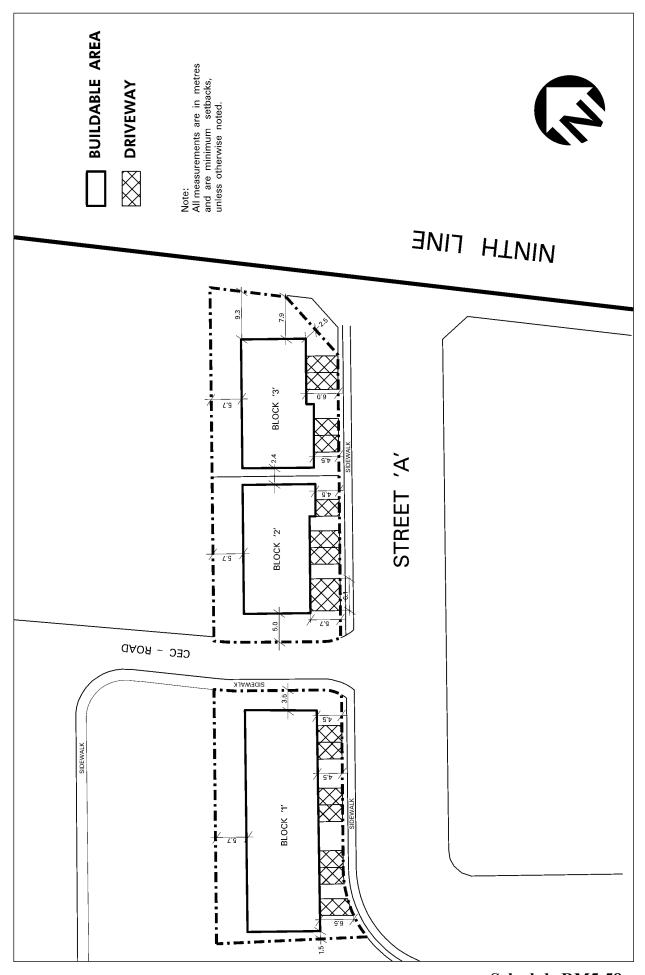
4.11.2.57	Exception: RM5-57	Map # 38W	By-law: 0029-2021, 0050-2022		
	one the permitted uses and ap following uses /regulations sl	pplicable regulations shall be hall apply:	as specified for a RM5 zone		
Regulations					
4.11.2.57.1	4.11.2.57.1 The provisions contained in Subsection 2.1.14 and the regulations of Line 11.0 contained in Table 4.11.1 of this By-law shall not apply				
4.11.2.57.2	Minimum lot area - interio	or lot	127 m^2		
4.11.2.57.3	Minimum lot area - corner	r lot	195 m^2		
4.11.2.57.4	Minimum lot frontage - in	5.4 m			
4.11.2.57.5	Minimum lot frontage - co	8.5 m			
4.11.2.57.6	Notwithstanding Sentence 2 maximum encroachment of	n, 0.7 m			
4.11.2.57.7	Notwithstanding Sentence 4 maximum encroachment of and accessible from the firs the dwelling into a required	ated at			
4.11.2.57.8	Notwithstanding Sentence 4 maximum encroachment of required rear yard				
4.11.2.57.9	Notwithstanding Sentence 4.11.2.57.10 of this Exception, external heating, air conditioning, and home back-up generator equipment is permitted in a required rear yard				
4.11.2.57.10	All site development plans shall comply with Schedule RM5-57 of this Exception				

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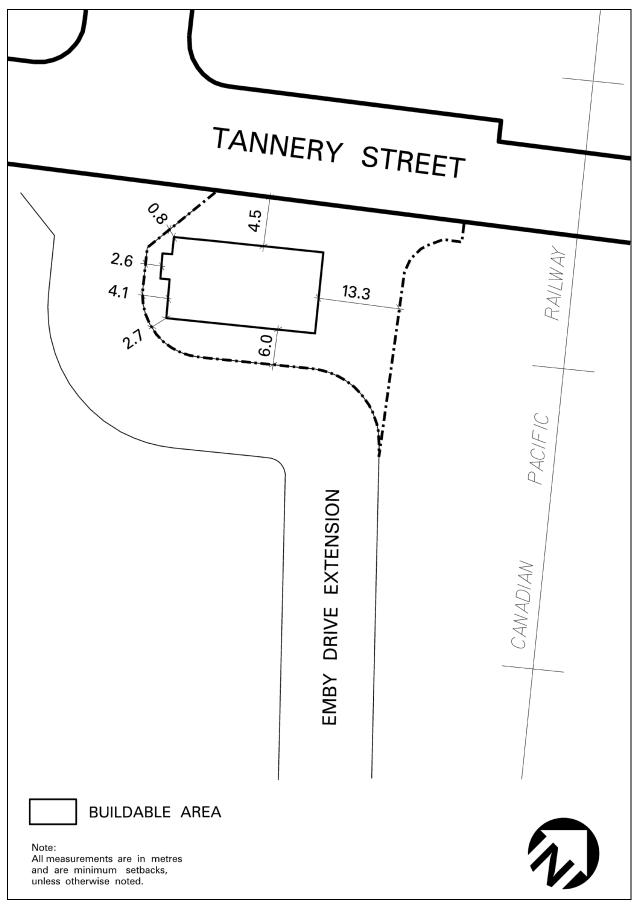
Schedule RM5-57 Map 38W

4.11.2.58	Exception: RM5-58	Map # 57	By-law: 0209-2021		
In a RM5-58 zone the permitted uses and applicable regulations shall be as specified for a RM5 zone except that the following uses /regulations shall apply:					
Regulations					
4.11.2.58.1	The provisions contained in shall not apply	Article 4.1.5.9 of this By-law			
4.11.2.58.2	Minimum lot area - interio	or lot	145 m ²		
4.11.2.58.3	Minimum lot area - corne	r lot	240 m^2		
4.11.2.58.4	Minimum lot frontage - in	terior lot	6.0 m		
4.11.2.58.5	Notwithstanding Sentence minimum front yard - gar	4.11.2.58.17 of this Exception, age face	6.0 m		
4.11.2.58.6	Maximum height		15.0 m and 3 storeys		
4.11.2.58.7	Maximum gross floor area	ı - residential	1.5 times the lot area		
4.11.2.58.8		4.11.2.58.17 of this Exception, a porch inclusive of stairs into	1.5 m		
4.11.2.58.9	•	4.11.2.58.17 of this Exception, a porch inclusive of stairs into I for Blocks '2' and '3'	1.5 m		
4.11.2.58.10		4.11.2.58.17 of this Exception, a first storey porch inclusive yard	2.5 m		
4.11.2.58.11		4.11.2.58.17 of this Exception, a second storey balcony into t	1.5 m		
4.11.2.58.12		4.11.2.58.17 of this Exception, a second storey balcony into t	2.5 m		
4.11.2.58.13		4.11.2.58.17 of this Exception, storey balcony in the rear yar	6 m ²		
4.11.2.58.14	maximum encroachment of first storey that is not more	4.11.2.58.17 of this Exception, a building projection above the than 3.0 m wide with windows nimum of 15% of the total projection.	s		
4.11.2.58.15	Notwithstanding Sentence maximum encroachment of	4.11.2.58.17 of this Exception, eaves into a required yard	0.61 m		
4.11.2.58.16		ioning, home back-up generator than the front yard provided it line			
4.11.2.58.17	All site development plans of this Exception	shall comply with Schedule RM	M5-58		



Schedule RM5-58 Map 57

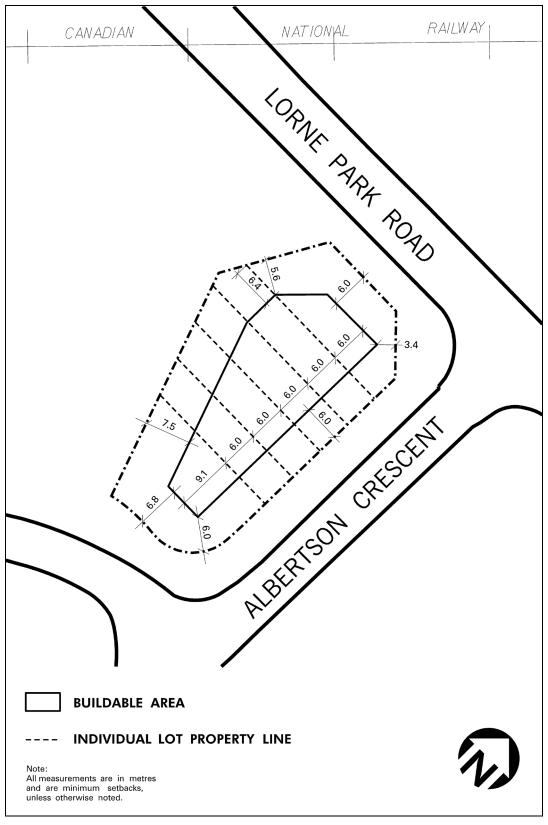
4.11.2.59	Exception: RM5-59	Map # 39E	By-law: 0259-2021/ OLT Order 2023 March 03		
In a RM5-59 zone the permitted uses and applicable regulations shall be as specified for a RM5 zone except that the following uses /regulations shall apply:					
Regulations					
4.11.2.59.1	The regulations of Lines 11 of this By-law shall not app	1.0 and 12.3 contained in Table	e 4.11.1		
4.11.2.59.2	Minimum lot area - interio	or lot	110 m^2		
4.11.2.59.3	Minimum lot area - corner	r lot	165 m^2		
4.11.2.59.4	Minimum lot frontage - in	terior/corner lot	4.7 m		
4.11.2.59.5	Maximum height		11.5 m and 3 storeys		
4.11.2.59.6	For the purpose of this Exc street townhouse shall be	eption, the height of a measured from established gr	ade		
4.11.2.59.7	Minimum landscaped area	a	15% of the lot area		
4.11.2.59.8	•	4.11.2.59.12 of this Exception f a balcony , awning or deck , quired yard	, 1.6 m		
4.11.2.59.9		4.11.2.59.12 of this Exception palcony, awning or deck, exclusion of a townhouse			
4.11.2.59.10	A balcony with a maximum an attached garage , provide more than 1.8 m beyond the	m area of 10 m ² is permitted or ed that the balcony does not p e garage face	n top of roject		
4.11.2.59.11	Maximum driveway width		3.0 m		
4.11.2.59.12	All site development plans of this Exception	shall comply with Schedule R	M5-59		
Holding Provi	sion				
	part of the lands zoned H-R Map 39E of Schedule B co	be removed from the whole of RM5-59 by further amendment intained in Part 13 of this By-late of the following requirements	to nw, as		
	form and on terms City of Mississauga ("Region"), includi items but not limite of the required cras Pacific Railway ("Cabutting lands, land	uted Development Agreement satisfactory to The Corporation ("City") and the Region of Pong provisions related to the fored to: detailed design and consth wall/berm abutting the Cana CPR") lands, grading and drain dedication and easements, and cture detailed design;	n of the eel llowing truction dian nage of		
	 submission of a risk any proposed risk reto the satisfaction of Department for any confirmation that the 	k assessment including the det management measures, which of the Transportation and Work v lands being dedicated to the ne required Record(s) of Site been filed with the Ministry of	must be cs City;		
	Environment, Cons submission of all su to the satisfaction of Department; (4) confirmation from plans are satisfacto a professional cons	servation and Parks, and the apporting environmental report of the Transportation and Work CPR that final grading and drawy and certification from CPR sulting engineer that the ultimation of the required crash wall	ts cs ainage and/or te		



Schedule RM5-59 Map 39E

4.11.2.60	Exception: RM5-60	Map # 09	By-law: 0261-2021, 0208-2022, 0001-2024			
	In a RM5-60 zone the permitted uses and applicable regulations shall be as specified for a RM5 zone except that the following uses /regulations shall apply:					
Regulations						
4.11.2.60.1	.2.60.1 The provisions contained in Article 4.1.8.1 and the regulations of Line 11.0 contained in Table 4.11.1 of this By-law shall not apply					
4.11.2.60.2	Maximum number of dwell	ling units on all lands zoned R	M5-60 6			
4.11.2.60.3	Minimum lot area - interio	or lot	143 m ²			
4.11.2.60.4	Minimum lot area - corner	r lot	250 m^2			
4.11.2.60.5	Minimum lot frontage - in	terior lot/corner lot	6.0 m			
4.11.2.60.6	The lot line abutting Albert the front lot line	tson Crescent shall be deemed	to be			
4.11.2.60.7	Maximum height		9.6 m and 3 storeys			
4.11.2.60.8		4.11.2.60.13 of this Exception, a porch inclusive of stairs into	3.8 m			
4.11.2.60.9	maximum encroachment of	4.11.2.60.13 of this Exception, f a window, chimney , heating a , window well, and stairs with a to a required yard				
4.11.2.60.10		4.11.2.60.13 of this Exception, a balcony into a required rear	3.0 m			
4.11.2.60.11	Maximum area of a balcon buildable area identified o	y permitted outside the n Schedule RM5-60 of this Ex-	5 m ²			
4.11.2.60.12	Maximum driveway width		3.6 m			
4.11.2.60.13	All site development plans of this Exception	shall comply with Schedule RI	M5-60			

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Schedule RM5-60 Map 09

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