

**4.2 R1 TO R5 ZONES  
(DETACHED DWELLINGS - TYPICAL LOTS)**

**4.2.1 R1 to R5 Permitted Uses and Zone Regulations**

All **buildings** and **structures** shall comply with the provisions contained in Parts 1 to 3 and Section 4.1 of this By-law, and the **uses** and zone regulations specified within the applicable zone column contained in Table 4.2.1 - R1 to R5 Permitted Uses and Zone Regulations.

**Table 4.2.1 - R1 to R5 Permitted Uses and Zone Regulations**

(0379-2009), (0190-2014), (0181-2018/LPAT Order 2019 February 15), (0111-2019/LPAT Order 2021 March 09), (0018-2021), (0182-2024)

Column	A	B	C	D	E	F
Line 1.0	ZONES	R1	R2	R3	R4	R5
<b>PERMITTED USES</b>						
2.0	RESIDENTIAL					
2.1	Detached Dwelling	✓ <sup>(1)</sup>	✓ <sup>(1)</sup>	✓ <sup>(1)</sup>	✓ <sup>(1)</sup>	✓ <sup>(1)</sup>
<b>ZONE REGULATIONS</b>						
3.0	MINIMUM LOT AREA					
3.1	Interior lot	750 m <sup>2</sup>	695 m <sup>2</sup>	550 m <sup>2</sup>	365 m <sup>2</sup>	295 m <sup>2</sup>
3.2	Corner lot	835 m <sup>2</sup>	810 m <sup>2</sup>	720 m <sup>2</sup>	500 m <sup>2</sup>	415 m <sup>2</sup>
4.0	MINIMUM LOT FRONTAGE					
4.1	Interior lot	22.5 m	18.0 m	15.0 m	12.0 m	9.75 m
4.2	Corner lot	22.5 m	21.0 m	19.5 m	16.5 m	13.5 m
5.0	MAXIMUM LOT COVERAGE	25%	30%	35%	40%	40%
6.0	MINIMUM FRONT YARD					
6.1	Interior lot	9.0 m or 12.0 m where the lot abuts a lot with an existing front yard of 12.0 m or more on the same street <sup>(2)</sup>	9.0 m <sup>(2)</sup>	7.5 m <sup>(2)</sup>	6.0 m <sup>(2)</sup>	4.5 m <sup>(2)</sup>
6.2	Corner lot	7.5 m <sup>(2)</sup>	7.5 m <sup>(2)</sup>	6.0 m <sup>(2)</sup>	6.0 m <sup>(2)</sup>	4.5 m <sup>(2)</sup>
6.3	Garage face - interior lot	Equal to the front yard	Equal to the front yard	Equal to the front yard	Equal to the front yard	6.0 m
6.4	Garage face - corner lot	Equal to the front yard	Equal to the front yard	Equal to the front yard	Equal to the front yard	6.0 m
7.0	MINIMUM EXTERIOR SIDE YARD	7.5 m <sup>(2)</sup>	7.5 m <sup>(2)</sup>	6.0 m <sup>(2)</sup>	4.5 m <sup>(2)</sup>	4.5 m <sup>(2)</sup>
7.1	Garage face	Equal to the exterior side yard	Equal to the exterior side yard	Equal to the exterior side yard	6.0 m <sup>(2)</sup>	6.0 m <sup>(2)</sup>

Table 4.2.1 continued on next page

**Part 4 - Residential Zones**

Column	A	B	C	D	E	F
Line 1.0	ZONES	R1	R2	R3	R4	R5
<b>Table 4.2.1 continued from previous page</b>						
<b>8.0</b>	<b>MINIMUM INTERIOR SIDE YARD</b>					
8.1	<b>Interior lot</b>	1.8 m on one side of the <b>lot</b> and 4.2 m on the other side <sup>(2)</sup>	1.8 m + 0.61 m for each additional <b>storey</b> or portion thereof above one <b>storey</b> <sup>(2)</sup>	1.2 m + 0.61 m for each additional <b>storey</b> or portion thereof above one <b>storey</b> <sup>(2)</sup>	1.2 m <sup>(2)</sup>	1.2 m on one side of the <b>lot</b> and 0.61 m on the other side <sup>(2)</sup>
8.2	<b>Corner lot</b>	3.0 m <sup>(2)</sup>	3.0 m <sup>(2)</sup>	1.2 m + 0.61 m for each additional <b>storey</b> above one <b>storey</b> <sup>(2)</sup>	1.2 m <sup>(2)</sup>	1.2 m <sup>(2)</sup>
<b>9.0</b>	<b>MINIMUM REAR YARD</b>					
9.1	<b>Interior lot</b>	7.5 m <sup>(2)</sup>	7.5 m <sup>(2)</sup>	7.5 m <sup>(2)</sup>	7.5 m <sup>(2)</sup>	7.5 m <sup>(2)</sup>
9.2	<b>Corner lot</b>	3.0 m <sup>(2)</sup>	3.0 m <sup>(2)</sup>	3.0 m <sup>(2)</sup>	7.5 m <sup>(2)</sup>	7.5 m <sup>(2)</sup>
<b>10.0</b>	<b>MAXIMUM HEIGHT</b>	10.7 m	10.7 m	10.7 m	10.7 m	10.7 m
<b>11.0</b>	<b>ENCROACHMENTS, PROJECTIONS AND SETBACKS</b>					
11.1	Maximum projection of a <b>garage</b> beyond either the <b>main front entrance</b> or beyond the <b>main entry feature</b> where provided	n/a	n/a	n/a	n/a	2.5 m
11.2	Where a <b>main entry feature</b> has been provided, the maximum projection of a <b>garage</b> beyond a <b>main front entrance</b>	n/a	n/a	n/a	n/a	5.0 m
11.3	For a <b>detached dwelling</b> more than one <b>storey</b> in <b>height</b> , where the <b>garage</b> projects beyond the <b>main front entrance</b> , a minimum of 75% of the width of the <b>garage</b> , measured from the inside face of the garage walls, shall be covered by a second <b>storey</b> which may be set back a maximum of 2.5 m from the <b>garage face</b>	n/a	n/a	n/a	n/a	✓
<b>12.0</b>	<b>ATTACHED GARAGE, PARKING AND DRIVEWAY</b>					
12.1	Attached <b>garage</b>	Permitted <sup>(3)</sup>	Permitted <sup>(3)</sup>	Permitted <sup>(3)</sup>	Permitted <sup>(3)</sup>	Required <sup>(3)</sup>
12.2	Minimum <b>parking spaces</b>	✓ <sup>(4)(5)</sup>	✓ <sup>(4)(5)</sup>	✓ <sup>(4)(5)</sup>	✓ <sup>(4)(5)</sup>	✓ <sup>(4)(5)</sup>
12.3	Maximum <b>driveway</b> width	✓ <sup>(4)</sup>	✓ <sup>(4)</sup>	✓ <sup>(4)</sup>	✓ <sup>(4)</sup>	✓ <sup>(4)</sup>
12.4	Minimum <b>landscaped soft area</b> in the yard containing the <b>driveway</b>	40% of the <b>front yard</b> and/or <b>exterior side yard</b>	40% of the <b>front yard</b> and/or <b>exterior side yard</b>	40% of the <b>front yard</b> and/or <b>exterior side yard</b>	40% of the <b>front yard</b> and/or <b>exterior side yard</b>	30% of the <b>front yard</b> and/or <b>exterior side yard</b>

Table 4.2.1 continued on next page

**Part 4 - Residential Zones**

Column A		B	C	D	E	F
Line 1.0	ZONES	R1	R2	R3	R4	R5
<b>Table 4.2.1 continued from previous page</b>						
<b>13.0</b>	<b>ACCESSORY BUILDINGS AND STRUCTURES</b>	✓ <sup>(6)</sup>	✓ <sup>(6)</sup>	✓ <sup>(6)</sup>	✓ <sup>(6)</sup>	✓ <sup>(6)</sup>

- NOTES:**
- (1) See Subsections 4.1.1, 4.1.16 and 4.1.17 of this By-law.
  - (2) See also Subsections 4.1.7 and 4.1.8 of this By-law.
  - (3) See Subsection 4.1.12 of this By-law.
  - (4) See Subsection 4.1.9 of this By-law.
  - (5) See Part 3 of this By-law.
  - (6) See Subsection 4.1.2 of this By-law.
  - (7) *deleted by 0018-2021.*
  - (8) *(0379-2009), (0181-2018/LPAT Order 2019 February 15), deleted by 0018-2021.*
  - (9) *(0379-2009), (0181-2018/LPAT Order 2019 February 15), deleted by 0018-2021.*



**4.2.2 R1 Exception Zones**

Refer to Article 1.1.2.3 - Exception Zones and Exception Zone Schedules

In addition to the **uses** and regulations contained in Subsection 4.2.1 - R1 to R5 Permitted Uses and Regulations, the regulations contained in Subsection 4.2.2 - R1 Infill Exception Regulations shall apply where specified by an R1 Exception Zone.

**Table 4.2.2 - R1 Infill Exception Regulations**

Column A		B
Line		
<b>1.0</b>	<b>MINIMUM INTERIOR SIDE YARD</b>	
1.1	<b>Interior lot</b>	1.8 m + 0.61 m for each additional <b>storey</b> or portion thereof above one (1) <b>storey</b>
<b>2.0</b>	<b>MINIMUM COMBINED WIDTH OF SIDE YARDS: interior lots having a lot frontage equal to or greater than 18.0 m</b>	
2.1	One (1) <b>storey detached dwelling</b>	20% of the <b>lot frontage</b>
2.2	Dwelling having more than one (1) <b>storey</b>	27% of the <b>lot frontage</b>
<b>3.0</b>	<b>MAXIMUM HEIGHT - HIGHEST RIDGE: lots having a lot frontage equal to or greater than 22.5 m sloped roof</b>	9.5 m
<b>4.0</b>	<b>MAXIMUM HEIGHT - HIGHEST RIDGE: lots having a lot frontage less than 22.5 m sloped roof</b>	9.0 m
<b>5.0</b>	<b>MAXIMUM HEIGHT: flat roof</b>	7.5 m
<b>6.0</b>	<b>MAXIMUM HEIGHT OF EAVES: from average grade to lower edge of the eaves</b>	6.4 m
<b>7.0</b>	<b>MAXIMUM GROSS FLOOR AREA - INFILL RESIDENTIAL</b>	190 m <sup>2</sup> plus 0.20 times the <b>lot area</b>
<b>8.0</b>	<b>GARAGE PROJECTION: maximum projection of the garage beyond the front wall or exterior side wall of the first storey (0325-2008), (0308-2011)</b>	0.0 m
<b>9.0</b>	<b>MAXIMUM DWELLING UNIT DEPTH</b>	20.0 m
<b>10.0</b>	<i>deleted by 0190-2014</i>	



**Part 4 - Residential Zones**

4.2.2.1	Exception: R1-1	Map # 02, 07, 08	By-law: 0226-2022
In a R1-1 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R1 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulation</b>			
4.2.2.1.1	The regulations contained in Subsection 4.2.2 of this By-law shall apply		

4.2.2.2	Exception: R1-2	Map # 02, 03, 07, 08, 09	By-law:
In a R1-2 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R1 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.2.2.2.1	The regulations contained in Subsection 4.2.2 of this By-law shall apply		
4.2.2.2.2	<b>Minimum lot frontage</b>		30.0 m

4.2.2.3	Exception: R1-3	Map # 08	By-law:
In a R1-3 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R1 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.2.2.3.1	The regulations contained in Subsection 4.2.2 of this By-law shall apply		
4.2.2.3.2	<b>Minimum lot area</b>		1 160 m <sup>2</sup>
4.2.2.3.3	<b>Minimum lot frontage</b>		24.0 m

4.2.2.4	Exception: R1-4	Map # 10	By-law:
In a R1-4 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R1 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.2.2.4.1	<b>Minimum lot area</b>		2 160 m <sup>2</sup>
4.2.2.4.2	<b>Minimum lot frontage</b>		45.0 m
4.2.2.4.3	<b>Minimum setback from Clarkson Road North</b>		18.0 m

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4.2.2.5	Exception: R1-5	Map # 17	By-law: 0379-2009
<p>In a R1-5 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R1 zone except that the following <b>uses/regulations</b> shall apply:</p>			
<b>Regulations</b>			
4.2.2.5.1	The provisions contained in Subsection 4.1.16 and 4.1.17 of this By-law shall not apply		
4.2.2.5.2	Minimum <b>lot area</b> - <b>interior lot</b> fronting on Mississauga Road		2 023 m <sup>2</sup>
4.2.2.5.3	Minimum <b>lot area</b> - all other <b>lots</b>		3 035 m <sup>2</sup>
4.2.2.5.4	Minimum <b>lot frontage</b> - <b>interior lot</b> fronting on Mississauga Road		30.0 m
4.2.2.5.5	Minimum <b>lot frontage</b> - all other <b>lots</b>		38.0 m
4.2.2.5.6	Minimum <b>front yard</b> :		
	(1) where a <b>detached dwelling</b> is to be constructed adjacent to a <b>lot</b> with an <b>existing</b> dwelling		distance equal to the <b>front yard</b> of the <b>existing</b> dwelling on the adjacent <b>lot</b>
	(2) where a <b>detached dwelling</b> is to be constructed between two (2) <b>lots</b> , each with an <b>existing</b> dwelling		distance equal to the average of the <b>front yards</b> of the two <b>existing</b> dwellings
	(3) all other <b>lots</b>		12.0 m
4.2.2.5.7	Minimum <b>interior side yard</b>		6.0 m
4.2.2.5.8	Tennis courts or any like recreational facilities shall not be permitted in the <b>front yard</b>		

4.2.2.6	Exception: R1-6	Map # 15	By-law:
<p>In a R1-6 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R1 zone except that the following <b>uses/regulations</b> shall apply:</p>			
<b>Regulations</b>			
4.2.2.6.1	Minimum <b>lot area</b>		3 500 m <sup>2</sup>
4.2.2.6.2	Minimum <b>lot frontage</b>		30.0 m

4.2.2.7	Exception: R1-7	Map # 10, 15, 24, 55	By-law:
<p>In a R1-7 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R1 zone except that the following <b>uses/regulations</b> shall apply:</p>			
<b>Regulations</b>			
4.2.2.7.1	Minimum <b>lot area</b>		1 140 m <sup>2</sup>
4.2.2.7.2	Minimum <b>lot frontage</b>		30.0 m
4.2.2.7.3	Minimum setback from Mississauga Road		9.0 m



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4.2.2.8	Exception: R1-8	Map # 15, 16	By-law:
In a R1-8 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R1 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.2.2.8.1	Minimum <b>lot area</b>		1 400 m <sup>2</sup>
4.2.2.8.2	Minimum <b>lot frontage</b>		30.0 m

4.2.2.9	Exception: R1-9	Map # 16	By-law:
In a R1-9 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R1 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.2.2.9.1	Maximum <b>lot coverage</b>		35%
4.2.2.9.2	Minimum <b>front yard - interior lot</b>		7.5 m
4.2.2.9.3	Minimum <b>front yard - corner lot</b>		6.0 m
4.2.2.9.4	Minimum <b>exterior side yard</b>		6.0 m
4.2.2.9.5	Minimum <b>interior side yard</b>		1.2 m + 0.61 m for each additional <b>storey</b> or portion thereof above one (1) <b>storey</b>

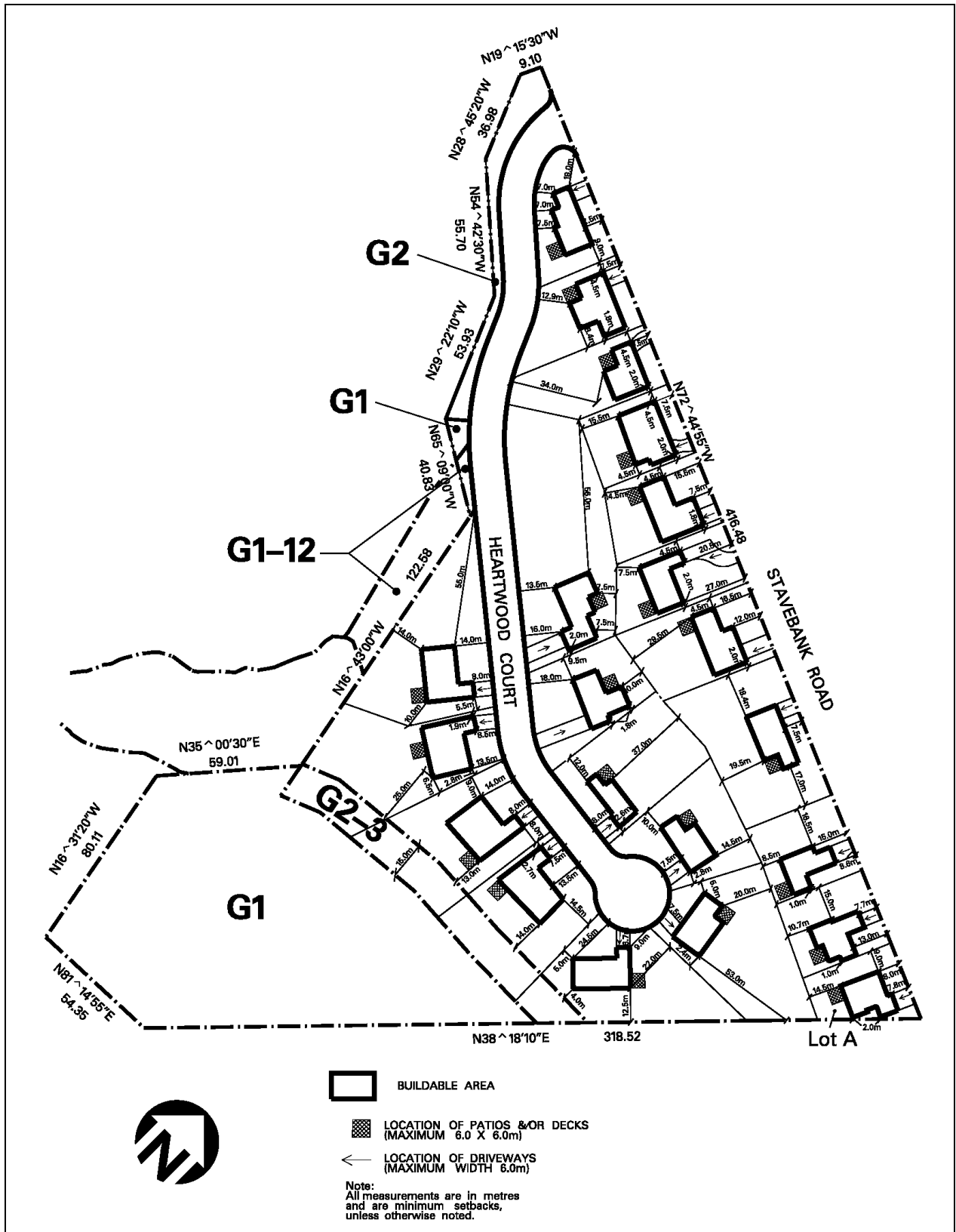
4.2.2.10	Exception: R1-10	Map # 24	By-law:
In a R1-10 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R1 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.2.2.10.1	Minimum <b>lot area</b>		803 m <sup>2</sup>
4.2.2.10.2	Minimum <b>lot frontage</b>		18.1 m
4.2.2.10.3	Minimum <b>interior side yard - interior lot</b>		1.8 m + 0.61 m for each additional <b>storey</b> or portion thereof above one (1) <b>storey</b>
4.2.2.10.4	Maximum <b>height - highest ridge: sloped roof</b>		9.5 m
4.2.2.10.5	Maximum <b>height: flat roof</b>		9.5 m
4.2.2.10.6	Minimum number of <b>parking spaces per dwelling unit</b>		2
4.2.2.10.7	Maximum projection of a <b>garage</b> beyond the <b>main front entrance</b>		0.0 m
4.2.2.10.8	Maximum <b>garage</b> width: measured from the inside face of the <b>garage</b> side walls		5.5 m
4.2.2.10.9	Maximum <b>driveway</b> width per <b>lot</b>		5.5 m

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4.2.2.11	Exception: R1-11	Map # 31	By-law: 0308-2011
In a R1-11 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R1 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.2.2.11.1	Maximum <b>lot coverage</b>		35%
4.2.2.11.2	Minimum <b>front yard</b>		6.5 m
4.2.2.11.3	Minimum <b>exterior side yard</b>		4.5 m
4.2.2.11.4	Minimum <b>interior side yard - interior lot</b>		1.2 m on one side and 0.61 m on the other side
4.2.2.11.5	Minimum <b>interior side yard - corner lot</b>		1.2 m
4.2.2.11.6	Minimum setback to the <b>rear lot line</b> , where lands contain or abut a G2-3 or G2-4(12) zone		29.0 m

4.2.2.12	Exception: R1-12	Map # 38W	By-law:
In a R1-12 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R1 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulation</b>			
4.2.2.12.1	Minimum <b>front yard</b>		7.5 m

4.2.2.13	Exception: R1-13	Map # 15	By-law: 0325-2008, 0208-2022
In a R1-13 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R1 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.2.2.13.1	Minimum <b>lot area</b>		1 200 m <sup>2</sup>
4.2.2.13.2	Minimum <b>lot area</b> - Lot 'A' identified on Schedule R1-13 of this Exception		995 m <sup>2</sup>
4.2.2.13.3	Minimum <b>lot frontage</b>		23.5 m
4.2.2.13.4	The areas outside the <b>buildable areas</b> and <b>driveway</b> locations identified on Schedule R1-13 of this Exception are tree preservation areas and shall only be used for conservation purposes and no <b>buildings</b> or <b>structures</b> , <b>swimming pools</b> , tennis courts or any like recreational facilities shall be permitted outside the <b>buildable areas</b> , except for fences along the <b>lot lines</b> , patios and/or <b>decks</b>		
4.2.2.13.5	All site development plans shall comply with Schedule R1-13 of this Exception		



Schedule R1-13  
Map 15

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4.2.2.14	Exception: R1-14	Map # 31	By-law: 0308-2011
In a R1-14 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R1 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.2.2.14.1	Maximum <b>lot coverage</b>		35%
4.2.2.14.2	Minimum <b>front yard</b>		6.5 m
4.2.2.14.3	Minimum <b>interior side yard</b>		1.8 m + 0.61 m for each additional <b>storey</b> or portion thereof above one (1) <b>storey</b>
4.2.2.14.4	Minimum setback to the <b>rear lot line</b>		30.0 m
4.2.2.14.5	Notwithstanding Sentence 4.2.2.14.4, minimum setback to the <b>rear lot line</b> of all <b>accessory buildings</b> and <b>structures</b> and <b>swimming pools</b>		15.0 m

4.2.2.15	Exception: R1-15	Map # 38W	By-law:
In a R1-15 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R1 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.2.2.15.1	Maximum <b>lot coverage - detached dwelling</b> not exceeding one (1) <b>storey</b>		40%
4.2.2.15.2	Maximum <b>lot coverage - detached dwelling</b> more than one (1) <b>storey</b>		35%
4.2.2.15.3	Minimum <b>front yard</b>		7.5 m
4.2.2.15.4	Minimum <b>interior side yard - interior lot</b>		1.8 m + 0.61 m for each additional <b>storey</b> or portion thereof above one (1) <b>storey</b>
4.2.2.15.5	Minimum <b>rear yard</b>		30.0 m
4.2.2.15.6	Minimum setback to the <b>rear lot line</b> of all <b>accessory buildings</b> and <b>structures</b> and <b>swimming pools</b>		15.0 m

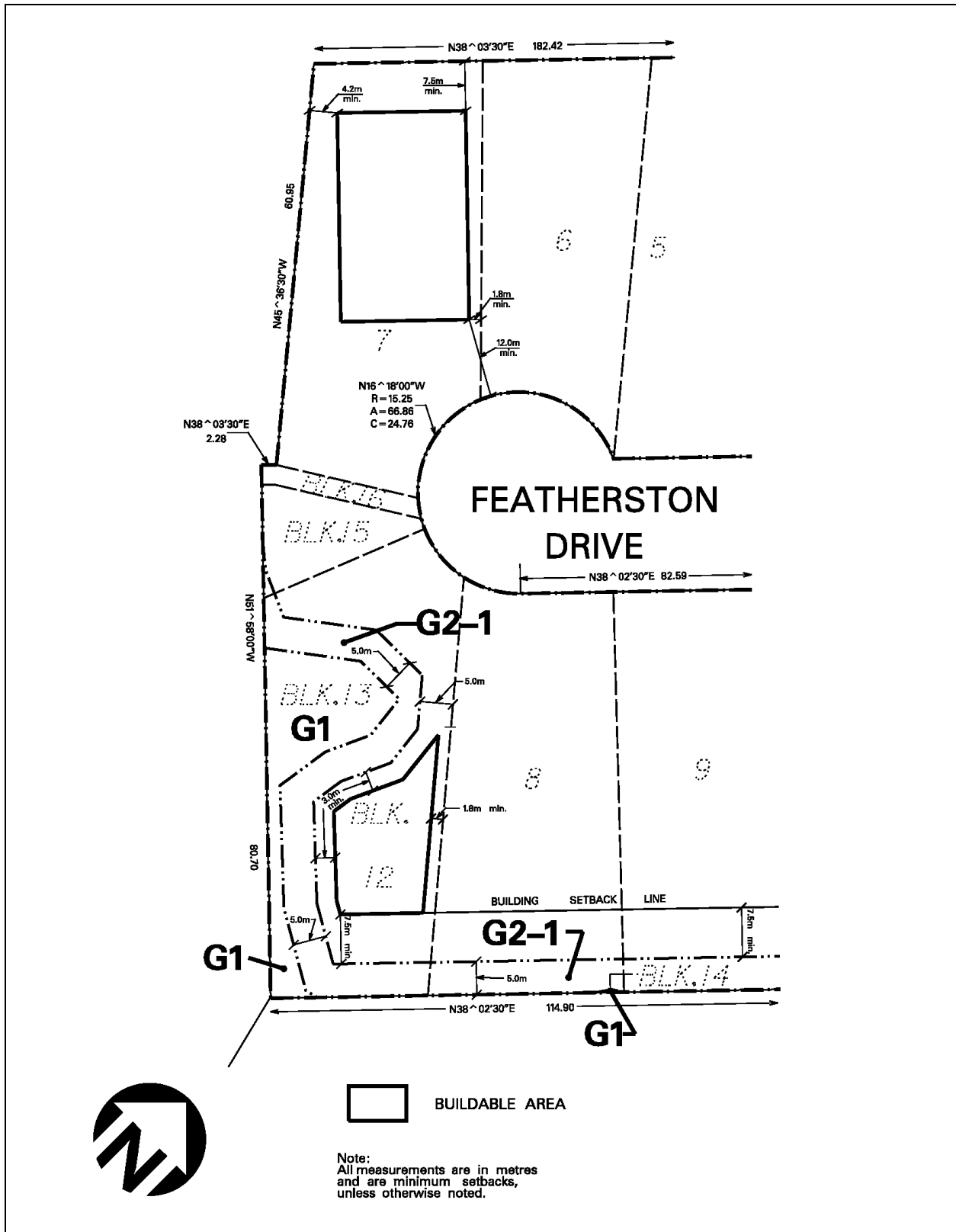
4.2.2.16	Exception: R1-16	Map # 39E	By-law:
In a R1-16 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R1 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.2.2.16.1	Maximum <b>lot coverage - detached dwelling</b> not exceeding one (1) <b>storey</b>		40%
4.2.2.16.2	Maximum <b>lot coverage - detached dwelling</b> more than one (1) <b>storey</b>		35%
4.2.2.16.3	Minimum <b>front yard</b>		7.5 m
4.2.2.16.4	Minimum <b>interior side yard - interior lot</b>		1.8 m + 0.61 m for each additional <b>storey</b> or portion thereof above one (1) <b>storey</b>

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4.2.2.17	Exception: R1-17	Map # 56	By-law:
In a R1-17 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R1 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Additional Permitted Use</b>			
4.2.2.17.1	(1)	Veterinary Clinic	
<b>Regulations</b>			
4.2.2.17.2	A veterinary clinic shall comply with the R1 zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1)	minimum depth of a <b>landscaped buffer</b> measured from the <b>lot line</b> abutting Britannia Road West	4.5 m
	(2)	"Veterinary Clinic" means a <b>building, structure</b> or part thereof, where domesticated animals, excluding livestock, are given medical and/or surgical treatment, grooming or care by a veterinarian licensed by the Province of Ontario. Indoor overnight boarding of animals shall be permitted.	

4.2.2.18	Exception: R1-18	Map # 24	By-law:
In a R1-18 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R1 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.2.2.18.1	Minimum <b>lot area - interior lot</b>		1 200 m <sup>2</sup>
4.2.2.18.2	Minimum <b>lot frontage - interior lot</b>		22.8 m
4.2.2.18.3	Maximum <b>lot coverage</b>		285 m <sup>2</sup>
4.2.2.18.4	Minimum <b>front yard - interior lot</b>		12.0 m
4.2.2.18.5	Minimum <b>interior side yard - interior lot</b>		4.2 m on one side and 1.8 m + 0.61 m for each additional <b>storey</b> or portion thereof above one (1) <b>storey</b> on the other side
4.2.2.18.6	Minimum <b>rear yard - interior lot</b> that abuts an R2 zone		7.5 m
4.2.2.18.7	Minimum <b>rear yard - all other interior lots</b>		12.5 m
4.2.2.18.8	Maximum <b>height - highest ridge: sloped roof</b>		9.5 m
4.2.2.18.9	All site development plans shall comply with Schedule R1-18 of this Exception		

Part 4 - Residential Zones

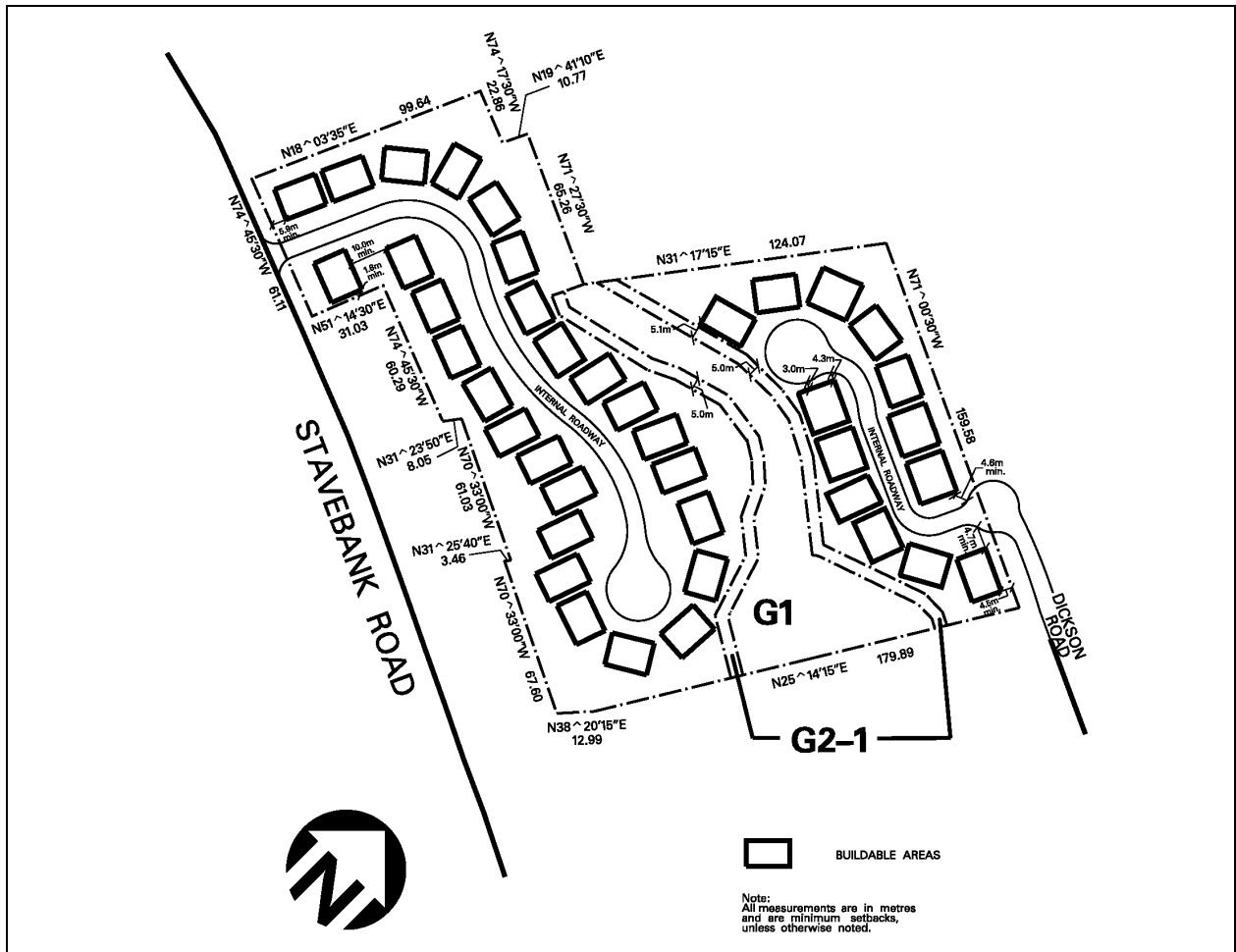


Schedule R1-18  
Map 24

**Part 4 - Residential Zones**

4.2.2.19	Exception: R1-19	Map # 15	By-law: 0181-2018/LPAT Order 2019 February 15, 0208-2022
<p>In a R1-19 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R1 zone except that the following <b>uses/regulations</b> shall apply:</p>			
<b>Regulations</b>			
4.2.2.19.1	Maximum number of <b>dwelling units</b> on all lands zoned R1-19		40
4.2.2.19.2	Minimum <b>landscaped area</b>		45% of <b>lot area</b>
4.2.2.19.3	Maximum <b>gross floor area - residential per detached dwelling</b>		445 m <sup>2</sup>
4.2.2.19.4	Minimum setback to a <b>condominium road</b>		4.5 m
4.2.2.19.5	Minimum setback of a <b>garage face</b> to a <b>condominium road</b>		6.0 m
4.2.2.19.6	Minimum distance between <b>buildings</b>		3.0 m
4.2.2.19.7	Minimum setback of all <b>buildings</b> and <b>structures</b> to any <b>lot line</b> or lands zoned G1		7.5 m
4.2.2.19.8	Maximum <b>height - highest ridge: sloped roof</b>		11.5 m
4.2.2.19.9	Maximum <b>height: flat roof</b>		7.5 m
4.2.2.19.10	<b>Height</b> of all <b>buildings</b> and <b>structures</b> shall be measured from <b>established grade</b>		
4.2.2.19.11	Maximum projection of a <b>porch</b> or <b>deck</b> outside the <b>buildable area</b> identified on Schedule R1-19 of this Exception, provided that the minimum distance between any <b>building</b> or <b>structure</b> shall be 3.0 m		2.5 m
4.2.2.19.12	Maximum projection of a bay window, with or without a foundation or <b>chimney</b> outside the <b>buildable area</b> identified on Schedule R1-19 of this Exception, provided that the minimum distance between any <b>buildings</b> or <b>structures</b> shall be 3.0 m		1.5 m
4.2.2.19.13	Minimum number of <b>parking spaces per dwelling unit</b>		4
4.2.2.19.14	All site development plans shall comply with Schedule R1-19 of this Exception		

Part 4 - Residential Zones



Schedule R1-19  
Map 15



**Part 4 - Residential Zones**

4.2.2.20	Exception: R1-20	Map # 07	By-law: 0054-2009, 0171-2015/OMB Order 2016 April 04, 0193-2016/ OMB Order 2017 May 30
In a R1-20 zone the applicable regulations shall be as specified for a R1 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Permitted Use</b>			
4.2.2.20.1	Lands zoned R1-20 shall only be used for the following:		
	<ul style="list-style-type: none"> <li>(1) <b>Detached Dwelling</b> or</li> <li>(2) <b>Office</b> or</li> <li>(3) <b>Office with one dwelling unit</b></li> <li>(4) Outdoor <b>swimming pool</b> accessory to an <b>office</b> or an <b>office with one dwelling unit</b></li> </ul>		
<b>Regulations</b>			
4.2.2.20.2	Minimum <b>lot frontage - interior lot</b>		30.0 m
4.2.2.20.3	Maximum <b>gross floor area - non-residential</b>		383 m <sup>2</sup>
4.2.2.20.4	Maximum <b>driveway</b> width for an <b>office</b> or an <b>office with one dwelling unit</b>		13.0 m
4.2.2.20.5	Minimum depth of a <b>landscaped buffer</b> adjacent to Hurontario Street		7.5 m
4.2.2.20.6	Maximum <b>height - highest ridge</b> of a <b>detached dwelling: sloped roof</b>		9.5 m
4.2.2.20.7	Maximum <b>height</b> of a <b>detached dwelling: flat roof</b>		7.5 m
4.2.2.20.8	Maximum height of eaves of a <b>detached dwelling: from average grade to lower edge of eaves</b>		6.4 m
4.2.2.20.9	Maximum <b>dwelling unit depth</b>		20.0 m
4.2.2.20.10	Maximum number of <b>accessory buildings</b> and <b>structures</b> for an <b>office</b> or an <b>office with one dwelling unit</b>		2
4.2.2.20.11	Maximum number of <b>tandem parking spaces</b>		4
4.2.2.20.12	An <b>aisle</b> adjacent to <b>tandem parking spaces</b> shall not be required		
4.2.2.20.13	<b>Parking areas</b> may be constructed of a permeable type of material		
4.2.2.20.14	An outdoor <b>swimming pool</b> permitted in Clause 4.2.2.20.1(4) shall comply with the provisions contained in Sentences 4.1.4.1.1 and 4.1.4.1.2 of this By-law		

**Part 4 - Residential Zones**

4.2.2.21	Exception: R1-21	Map # 07	By-law: 0171-2015/OMB Order 2016 April 04, 0212-2015, 0193-2016/OMB Order 2017 May 30
In a R1-21 zone the applicable regulations shall be as specified for a R1 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Permitted Uses</b>			
4.2.2.21.1	Lands zoned R1-21 shall only be used for the following:		
	<ul style="list-style-type: none"> <li>(1) <b>Detached Dwelling</b> or</li> <li>(2) <b>Office</b></li> <li>(3) <b>Medical Office - Restricted</b></li> </ul>		
<b>Regulation</b>			
4.2.2.21.2	Maximum total <b>gross floor area - non-residential</b>		130 m <sup>2</sup>
4.2.2.21.3	Maximum <b>height - highest ridge</b> of a <b>detached dwelling: sloped roof</b>		9.5 m
4.2.2.21.4	Maximum <b>height</b> of a <b>detached dwelling: flat roof</b>		7.5 m
4.2.2.21.5	Maximum height of eaves of a <b>detached dwelling:</b> from <b>average grade</b> to lower edge of eaves		6.4 m
4.2.2.21.6	Maximum <b>dwelling unit depth</b>		20.0 m
4.2.2.21.7	<i>deleted</i>		

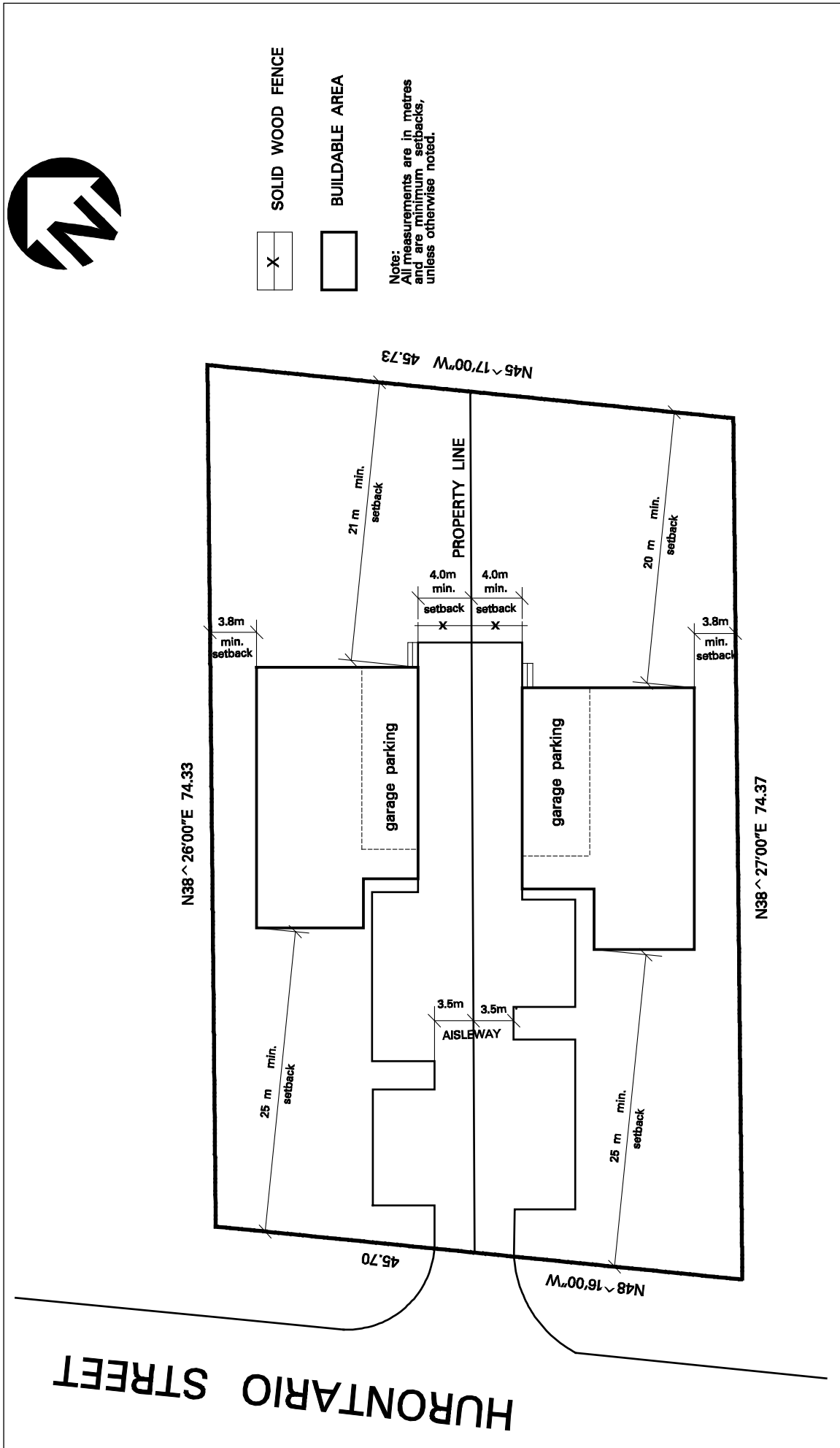
4.2.2.22	Exception: R1-22	Map # 07	By-law: 0171-2015/OMB Order 2016 April 04, 0193-2016/OMB Order 2017 May 30
In a R1-22 zone the applicable regulations shall be as specified for a R1 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Permitted Uses</b>			
4.2.2.22.1	Lands zoned R1-22 shall only be used for the following:		
	<ul style="list-style-type: none"> <li>(1) <b>Detached Dwelling</b> or</li> <li>(2) Dental Laboratory or</li> <li>(3) <b>Office</b> and/or <b>Medical Office - Restricted</b></li> </ul>		
<b>Regulations</b>			
4.2.2.22.2	Minimum <b>lot frontage</b>		20.0 m
4.2.2.22.3	Maximum <b>height - highest ridge</b> of a <b>detached dwelling: sloped roof</b>		9.5 m
4.2.2.22.4	Maximum <b>height</b> of a <b>detached dwelling: flat roof</b>		7.5 m
4.2.2.22.5	Maximum height of eaves of a <b>detached dwelling:</b> from <b>average grade</b> to lower edge of eaves		6.4 m
4.2.2.22.6	Maximum <b>dwelling unit depth</b>		20.0 m
4.2.2.22.7	A dental laboratory, <b>office</b> and a <b>medical office - restricted</b> shall comply with the R1 zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1) minimum <b>lot frontage - interior lot</b>		20.0 m
	(2) maximum total <b>gross floor area - non-residential</b>		80 m <sup>2</sup>
	(3) minimum <b>parking spaces</b> per 100 m <sup>2</sup> <b>gross floor area - non-residential</b> used for a dental laboratory		3.2

**Part 4 - Residential Zones**

4.2.2.23	Exception: R1-23	Map # 07	By-law:
In a R1-23 zone the applicable regulations shall be as specified for a R1 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Permitted Uses</b>			
4.2.2.23.1	Lands zoned R1-23 shall only be used for the following:		
	(1)	<b>Office</b>	
	(2)	<b>Medical Office - Restricted</b>	
<b>Regulations</b>			
4.2.2.23.2	Minimum <b>lot frontage - interior lot</b>		30.0 m
4.2.2.23.3	Maximum total <b>gross floor area - non-residential</b>		585 m <sup>2</sup>

4.2.2.24	Exception: R1-24	Map # 07	By-law:
In a R1-24 zone the applicable regulations shall be as specified for a R1 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Permitted Uses</b>			
4.2.2.24.1	Lands zoned R1-24 shall only be used for the following:		
	(1)	<b>Office</b>	
	(2)	<b>Medical Office - Restricted</b>	
<b>Regulations</b>			
4.2.2.24.2	Maximum <b>gross floor area - non-residential</b>		418 m <sup>2</sup>
4.2.2.24.3	An <b>office</b> and <b>medical office - restricted</b> shall not be permitted below <b>average grade</b>		
4.2.2.24.4	Minimum number of <b>parking spaces</b> for a <b>medical office - restricted</b>		The greater of 5.0 spaces per practitioner, or 6.5 spaces per 100 m <sup>2</sup> <b>gross floor area - non-residential</b>
4.2.2.24.5	No <b>outdoor storage</b> shall be permitted		
4.2.2.24.6	All site development plans shall comply with Schedule R1-24 of this Exception		

Part 4 - Residential Zones



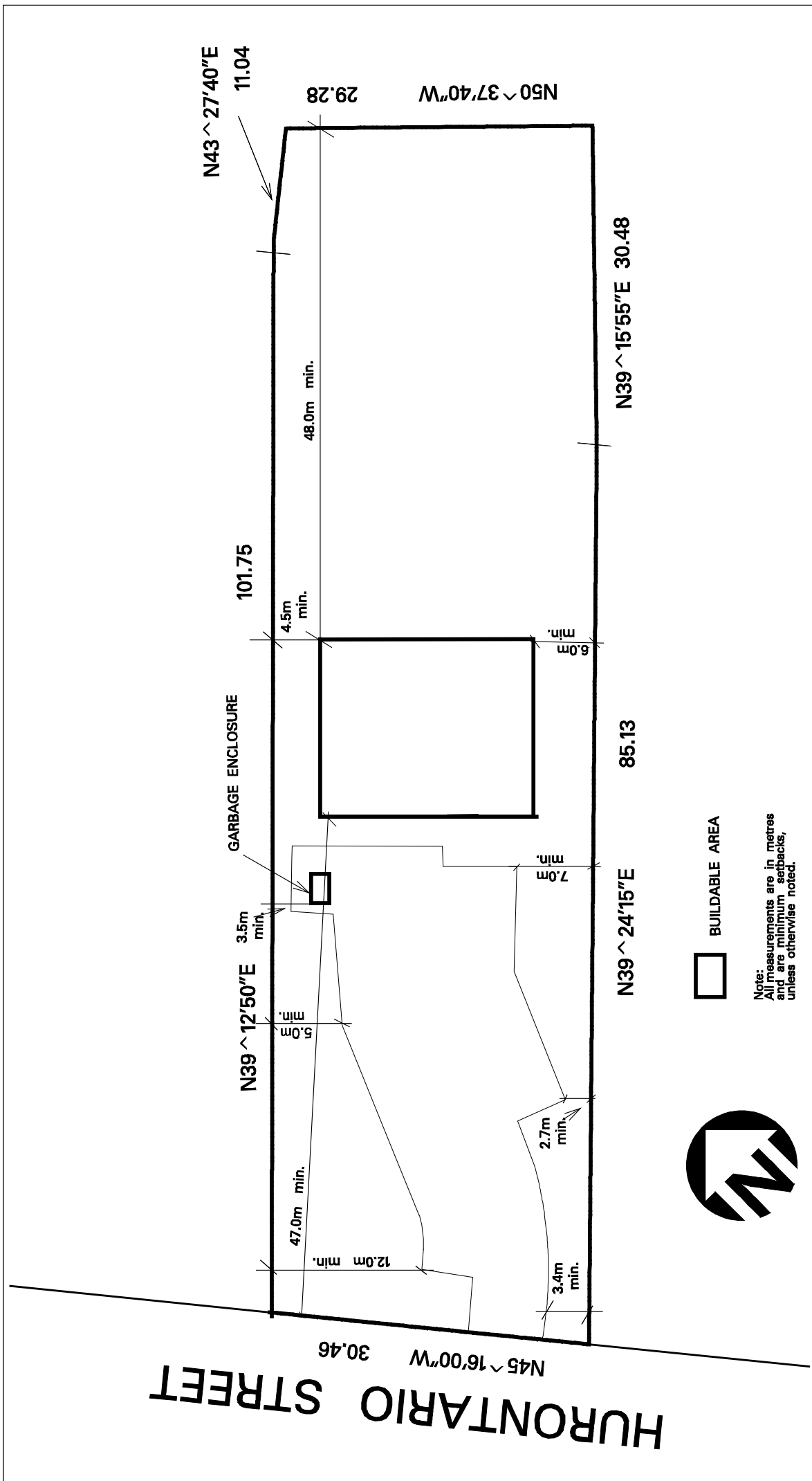
HURONTARIO STREET

Schedule R1-24  
Map 07

**Part 4 - Residential Zones**

4.2.2.25	Exception: R1-25	Map # 15	By-law:
In a R1-25 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R1 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.2.2.25.1	The regulations of Line 4.1 contained in Table 4.2.1 of this By-law shall not apply		
4.2.2.25.2	Minimum setback of all <b>buildings</b> and <b>structures</b> to G1 and G1-12 zones		10.0 m
4.2.2.25.3	Access shall be permitted from lands zoned G1-12		

4.2.2.26	Exception: R1-26	Map # 07	By-law: 0208-2022
In a R1-26 zone the applicable regulations shall be as specified for a R1 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Permitted Uses</b>			
4.2.2.26.1	Lands zoned R1-26 shall only be used for the following:		
	(1)	<b>Office</b>	
	(2)	<b>Medical Office - Restricted</b>	
<b>Use Not Permitted</b>			
4.2.2.26.2	(1)	<b>Office</b> and/or <b>medical office - restricted</b> that requires more than 23 <b>parking spaces</b>	
<b>Regulations</b>			
4.2.2.26.3	Minimum <b>landscaped area</b>		65% of <b>lot area</b>
4.2.2.26.4	Maximum <b>gross floor area - non-residential</b>		552 m <sup>2</sup>
4.2.2.26.5	The use of any part of the <b>building</b> below <b>established grade</b> shall be restricted to the following:		
	(1)	climate control, electrical, energy generation and distribution, mechanical equipment related to the operation or maintenance of the <b>building</b> ;	
	(2)	areas of stairwells, washrooms or elevators;	
	(3)	collection or storage of disposable or recyclable waste generated within the <b>building</b> ;	
	(4)	storage incidental to permitted uses in the <b>building</b> ;	
	(5)	lunch rooms, lounges or washrooms for the personal needs of occupants of the <b>building</b> .	
4.2.2.26.6	Maximum <b>height - highest ridge: sloped roof</b>		11.6 m
4.2.2.26.7	Maximum encroachment of a <b>porch</b> outside the <b>buildable area</b> identified on Schedule R1-26 of this Exception, into the required <b>front yard</b>		1.7 m
4.2.2.26.8	Maximum encroachment of an uncovered ramp for handicapped access outside the <b>buildable area</b> identified on Schedule R1-26 of this Exception into the required northerly <b>interior side yard</b>		3.0 m
4.2.2.26.9	Maximum number of <b>parking spaces</b>		23
4.2.2.26.10	All site development plans shall comply with Schedule R1-26 of this Exception		



Schedule R1-26  
Map 07

**Part 4 - Residential Zones**

4.2.2.27	Exception: R1-27	Map # 17	By-law:
In a R1-27 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R1 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulation</b>			
4.2.2.27.1	Minimum <b>interior side yard - interior lot</b>		1.8 m plus 0.61 m for each additional <b>storey</b> or portion thereof above one (1) <b>storey</b>

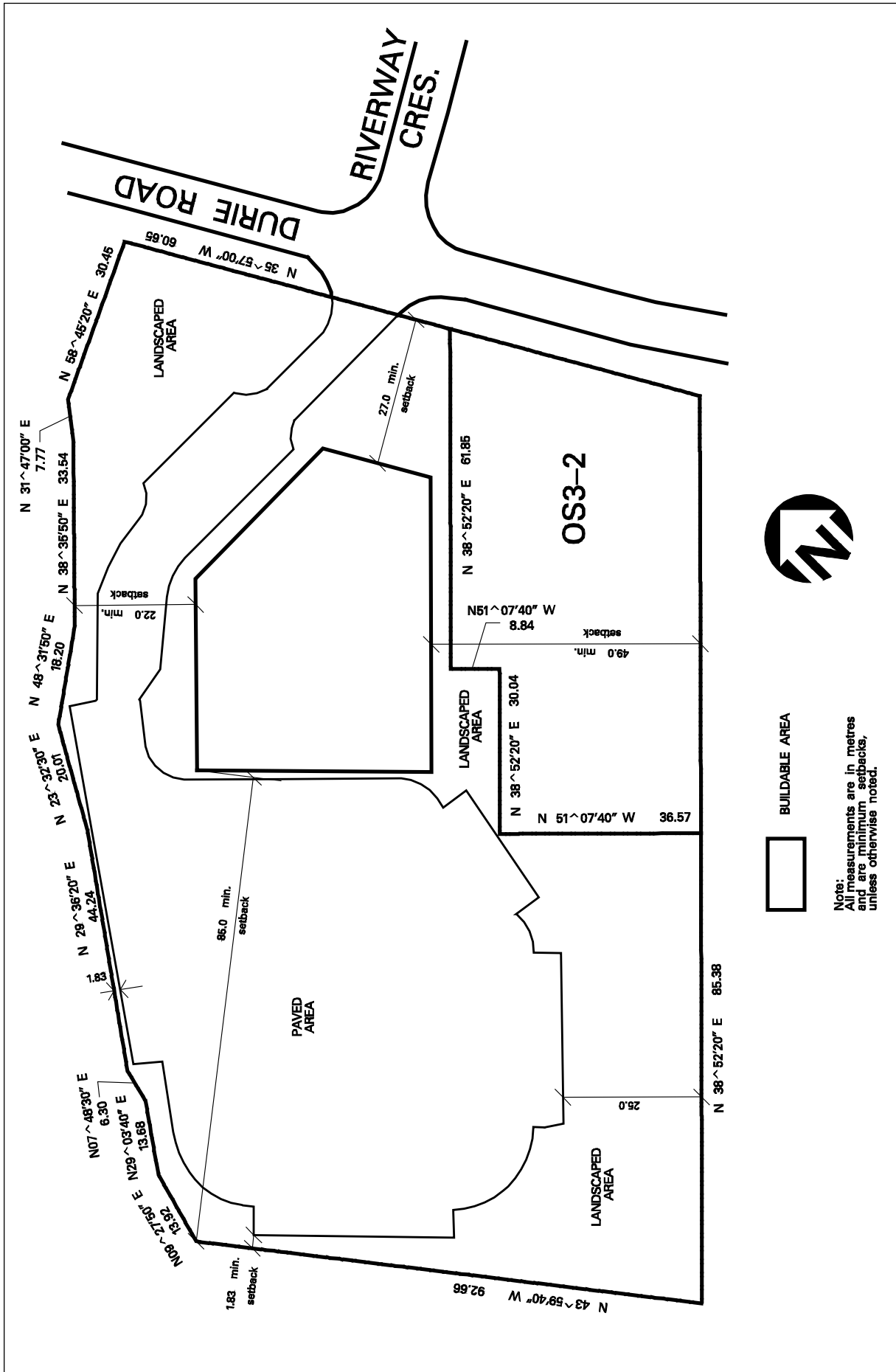
4.2.2.28	Exception: R1-28	Map # 38E	By-law:
In a R1-28 zone the applicable regulations shall be as specified for a R1 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Permitted Uses</b>			
4.2.2.28.1	Lands zoned R1-28 shall only be used for the following:		
	(1)	<b>Place of Religious Assembly</b>	
	(2)	<b>Accessory uses to a place of religious assembly</b>	
<b>Regulations</b>			
4.2.2.28.2	The regulations of Line 2.2 contained in Table 2.1.9.3 of this By-law shall not apply		
4.2.2.28.3	Minimum <b>interior side yard - interior lot</b>		12.0 m
4.2.2.28.4	Maximum <b>height</b>		13.5 m
4.2.2.28.5	<b>Accessory uses to a place of religious assembly</b> shall only include administrative <b>offices</b> associated with a <b>place of religious assembly</b> , a <b>day care</b> and a private community centre		

4.2.2.29	Exception: R1-29	Map # 38W, 45E	By-law:
In a R1-29 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R1 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.2.2.29.1	Minimum <b>lot area - interior lot</b>		2 000 m <sup>2</sup>
4.2.2.29.2	Minimum <b>lot frontage - interior lot</b>		19.0 m

**Part 4 - Residential Zones**

4.2.2.30	Exception: R1-30	Map # 38W	By-law:
In a R1-30 zone the applicable regulations shall be as specified for a R1 zone except that the following uses/regulations shall apply:			
<b>Permitted Uses</b>			
4.2.2.30.1	Lands zoned R1-30 shall only be used for the following:		
	(1) <b>Place of Religious Assembly</b>		
	(2) <b>Accessory uses to a place of religious assembly</b>		
<b>Regulations</b>			
4.2.2.30.2	Maximum <b>gross floor area - non-residential</b>		1 430 m <sup>2</sup>
4.2.2.30.3	Minimum <b>front yard - interior lot</b>		27.0 m
4.2.2.30.4	Minimum <b>interior side yard - interior lot</b>		49.0 m on one side and 22.0 m on the other side
4.2.2.30.5	Minimum <b>rear yard - interior lot</b>		85.0 m
4.2.2.30.6	Maximum <b>height</b> including any steeple or spire		12.2 m
4.2.2.30.7	Minimum number of <b>parking spaces</b>		198
4.2.2.30.8	A <b>basement</b> shall not be permitted under the nave or parish hall		
4.2.2.30.9	Maximum seating within the nave, based on a seat width of 0.51 m per person and 0.914 m between the back of each seat and the back of the seat immediately behind it		690 persons
4.2.2.30.10	The interior wall separating the nave and the parish hall shall be of solid block construction, with no doorway, windows or openings of any kind		
4.2.2.30.11	<b>Accessory uses to a place of religious assembly</b> shall only include a parish hall, rectory and <b>office</b> , but shall not include a <b>day care</b>		
4.2.2.30.12	All site development plans shall comply with Schedule R1-30 of this Exception		





Schedule R1-30  
Map 38W

**Part 4 - Residential Zones**

4.2.2.31	Exception: R1-31	Map # 37E	By-law:
In a R1-31 zone the applicable regulations shall be as specified for a R1 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Permitted Use</b>			
4.2.2.31.1	Lands zoned R1-31 shall only be used for the following:		
	(1)	<b>Detached Dwelling</b> or	
	(2)	<b>Medical Office - Restricted</b>	
<b>Regulations</b>			
4.2.2.31.2	A <b>medical office - restricted</b> shall comply with the R1 zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1)	maximum number of <b>physicians, dentists, drugless practitioners</b> or <b>health professionals</b> permitted to practise	2
	(2)	minimum <b>lot frontage</b>	60.0 m
	(3)	minimum <b>front yard</b>	20.0 m
	(4)	minimum <b>interior side yard</b>	13.0 m
	(5)	minimum <b>parking spaces</b> per professional/practitioner	5

4.2.2.32	Exception: R1-32	Map # 44W, 45E, 52W, 53E	By-law: 0308-2011, 0192-2014, 0181-2018/LPAT Order 2019 February 15
In a R1-32 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R1 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.2.2.32.1	The regulations of Sentence 3.1.1.7.1 of this By-law shall not apply		
4.2.2.32.2	Minimum <b>lot area</b>		1 050 m <sup>2</sup>
4.2.2.32.3	Minimum combined width of side <b>yards</b> :		
	(1)	one <b>storey detached dwelling</b>	20% of the <b>lot frontage</b>
	(2)	two <b>storey detached dwelling</b>	27% of the <b>lot frontage</b>
4.2.2.32.4	A <b>flat roof</b> shall not be permitted		
4.2.2.32.5	Maximum <b>height - highest ridge: sloped roof</b>		7.5 m
4.2.2.32.6	Maximum <b>gross floor area - infill residential</b>		160 m <sup>2</sup> plus 0.10 times the <b>lot area</b>
4.2.2.32.7	An attached <b>garage</b> shall not be permitted		
4.2.2.32.8	Maximum <b>floor area</b> of a detached <b>garage</b>		50 m <sup>2</sup>
4.2.2.32.9	Maximum projection of the <b>garage face</b> of a detached <b>garage</b> beyond any portion of the first floor <b>front wall</b> or <b>exterior side wall</b>		0.0 m
4.2.2.32.10	Maximum <b>driveway</b> width		3.0 m

**Part 4 - Residential Zones**

4.2.2.33	Exception: R1-33	Map # 03	By-law:
In a R1-33 zone the applicable regulations shall be as specified for a R1 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Permitted Uses</b>			
4.2.2.33.1	Lands zoned R1-33 shall only be used for the following:		
	(1)	<b>Detached Dwelling</b>	or
	(2)	<b>Office</b>	
	(3)	<b>Medical Office - Restricted</b>	

4.2.2.34	Exception: R1-34	Map # 18	By-law:
In a R1-34 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R1 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.2.2.34.1	Minimum <b>lot area</b>		1 575 m <sup>2</sup>
4.2.2.34.2	Minimum <b>lot frontage</b>		30.0 m

4.2.2.35	Exception: R1-35	Map # 38W	By-law: 0174-2017
In a R1-35 zone the applicable regulations shall be as specified for a R1 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Permitted Use</b>			
4.2.2.35.1	Lands zoned R1-35 shall only be used for the following:		
	(1)	<b>Long-Term Care Building</b>	
<b>Regulations</b>			
4.2.2.35.2	A <b>long-term care building</b> shall comply with the RA1 zone regulations contained in Subsection 4.15.1 of this By-law except that:		
	(1)	the provisions contained in Article 4.1.15.1 of this By-law shall apply	
	(2)	maximum <b>lot coverage</b>	30%
	(3)	minimum <b>landscaped area</b>	30% of the <b>lot area</b>
	(4)	minimum <b>front yard</b>	7.5 m
	(5)	minimum <b>exterior side yard</b>	7.5 m
	(6)	minimum <b>interior side yard</b>	6.0 m
	(7)	minimum <b>rear yard</b>	7.5 m
	(8)	maximum <b>height - highest ridge: sloped roof</b>	12.2 m

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4.2.2.36	Exception: R1-36	Map # 03	By-law: 0308-2011, 0174-2017
In a R1-36 zone the applicable regulations shall be as specified for a R1 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Permitted Use</b>			
4.2.2.36.1	Lands zoned R1-36 shall only be used for the following:		
	(1) <b>Retirement Building</b>		
<b>Regulations</b>			
4.2.2.36.2	A <b>retirement building</b> shall comply with the RA1 zone regulations contained in Subsection 4.15.1 of this By-law except that:		
	(1) the provisions contained in Article 4.1.15.1 of this By-law shall apply		
	(2) maximum <b>height</b>	10.7 m and 3 <b>storeys</b>	

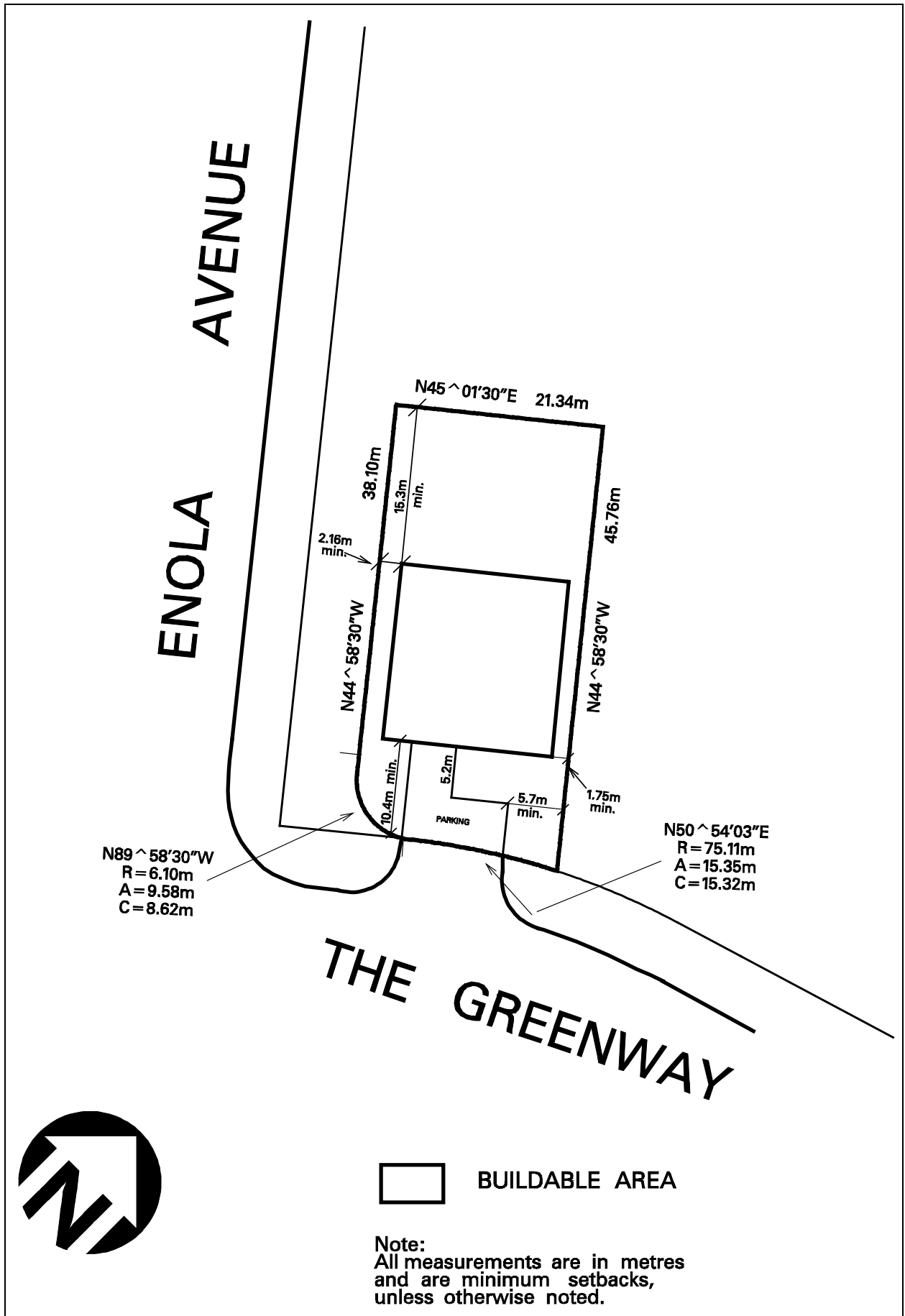
4.2.2.37	Exception: R1-37	Map # 07	By-law:
In a R1-37 zone the applicable regulations shall be as specified for a R1 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Permitted Uses</b>			
4.2.2.37.1	Lands zoned R1-37 shall only be used for the following:		
	(1) <b>Office</b>		
	(2) <b>Medical Office - Restricted</b>		
<b>Regulations</b>			
4.2.2.37.2	Maximum number of <b>physicians, dentists, drugless practitioners</b> or <b>health professionals</b> permitted to practise	1	
4.2.2.37.3	Maximum <b>lot coverage</b>	25%	
4.2.2.37.4	Minimum <b>landscaped area</b>	40% of the <b>lot area</b>	
4.2.2.37.5	Maximum total <b>gross floor area - non-residential</b>	420 m <sup>2</sup>	
4.2.2.37.6	Maximum <b>gross floor area - non-residential</b> used for a <b>medical office - restricted</b>	138 m <sup>2</sup>	
4.2.2.37.7	The use of any part of the <b>building</b> below grade shall be restricted to the following:		
	(1) climate control, electrical, energy generation and distribution, mechanical equipment related to the operation or maintenance of the <b>building</b> ;		
	(2) areas of stairwells, washrooms or elevators;		
	(3) collection or storage of disposable or recyclable waste generated within the <b>building</b> ;		
	(4) storage incidental to permitted uses in the <b>building</b> ;		
	(5) lunch rooms, lounges or fitness rooms for the personal needs of occupants of the <b>building</b> .		
4.2.2.37.8	Maximum <b>height - highest ridge: sloped roof</b>	10.7 m	
4.2.2.37.9	Maximum <b>height: flat roof</b>	7.5 m	
4.2.2.37.10	Minimum required <b>parking spaces</b> per 100 m <sup>2</sup> <b>gross floor area - non- residential</b> used for a dental <b>office</b>	4.3	

**Exception R1-37 continued on next page**

**Part 4 - Residential Zones**

4.2.2.37	Exception: R1-37	Map # 07	By-law:
<b>Exception R1-37 continued from previous page</b>			
4.2.2.37.11	Maximum number of <b>parking spaces</b>		14
4.2.2.37.12	Maximum number of <b>tandem parking spaces</b>		4
4.2.2.37.13	Maximum encroachment of an uncovered ramp for handicapped access into required <b>yards</b> as follows:		
	(1) northerly side <b>yard</b>		1.0 m
	(2) <b>front yard</b>		8.0 m

4.2.2.38	Exception: R1-38	Map # 07	By-law: 0171-2015/OMB Order 2016 April 04, 0193-2016/OMB Order 2017 May 30, 0174-2017
In a R1-38 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R1 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Additional Permitted Use</b>			
4.2.2.38.1	(1) <b>Retirement Building</b>		
<b>Regulations</b>			
4.2.2.38.2	Maximum <b>height - highest ridge</b> of a <b>detached dwelling: sloped roof</b>		9.5 m
4.2.2.38.3	Maximum <b>height</b> of a <b>detached dwelling: flat roof</b>		7.5 m
4.2.2.38.4	Maximum height of eaves of a <b>detached dwelling: from average grade</b> to lower edge of eaves		6.4 m
4.2.2.38.5	Maximum <b>dwelling unit depth</b>		20.0 m
4.2.2.38.6	A <b>retirement building</b> shall comply with the R1 zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1) maximum <b>gross floor area - apartment zone</b>		417 m <sup>2</sup>
	(2) maximum number of <b>retirement dwelling units</b>		14
	(3) maximum <b>height - highest ridge: sloped roof</b>		10.7 m
	(4) minimum number of resident <b>parking spaces per retirement dwelling unit</b>		0.15
	(5) minimum number of visitor <b>parking spaces per retirement dwelling unit</b>		0.15
	(6) maximum number of <b>tandem parking spaces</b>		3
	(7) all site development plans shall comply with Schedule R1-38 of this Exception		

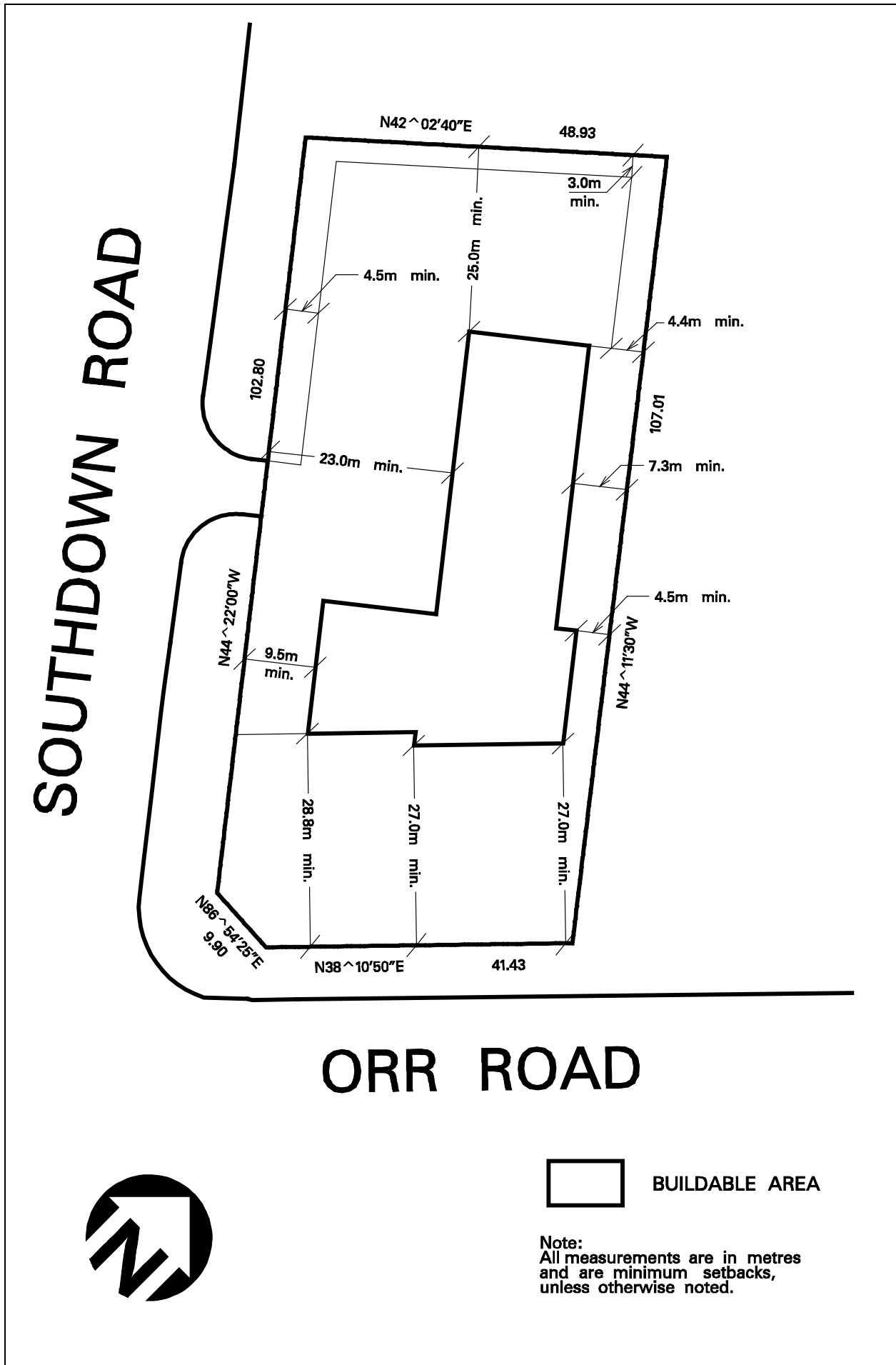


Schedule R1-38  
 Map 07

**Part 4 - Residential Zones**

4.2.2.39	Exception: R1-39	Map # 11	By-law: 0174-2017, 0092-2021
In a R1-39 zone the applicable regulations shall be as specified for a R1 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Permitted Use</b>			
4.2.2.39.1	Lands zoned R1-39 shall only be used for the following:		
	(1) <b>Long-Term Care Building</b>		
<b>Regulation</b>			
4.2.2.39.2	A <b>long-term care building</b> shall comply with the RA1 zone regulations contained in Subsection 4.15.1 of this By-law except that:		
	(1) the provisions contained in Article 4.1.15.1 of this By-law shall apply		

4.2.2.40	Exception: R1-40	Map # 03	By-law: 0174-2017
In a R1-40 zone the applicable regulations shall be as specified for a R1 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Permitted Uses</b>			
4.2.2.40.1	Lands zoned R1-40 shall only be used for the following:		
	(1) Supportive Housing Dwelling		
	(2) <b>Office</b> accessory to a supportive housing dwelling		
<b>Regulations</b>			
4.2.2.40.2	A supportive housing dwelling and <b>office</b> accessory to a supportive housing dwelling shall comply with the RA1 zone regulations contained in Subsection 4.15.1 of this By-law except that:		
	(1)	maximum number of bedrooms	14
	(2)	maximum total <b>gross floor area - apartment zone</b> and <b>gross floor area - non-residential</b>	2 100 m <sup>2</sup>
	(3)	maximum <b>gross floor area - non-residential</b> of <b>office</b>	560 m <sup>2</sup>
	(4)	maximum <b>height</b>	10.7 m
	(5)	minimum number of <b>parking spaces</b>	38
	(6)	"Supportive Housing Dwelling" means a <b>building</b> or part thereof which is licensed, approved or supervised by the Province under the Supportive Housing Program: Family Violence Initiative, approved under the <i>Ministry of Community and Social Services Act</i> , R.S.O. 1990, c.M.20, and its regulations	
	(7)	all site development plans shall comply with Schedule R1-40 of this Exception	



Schedule R1-40  
Map 03

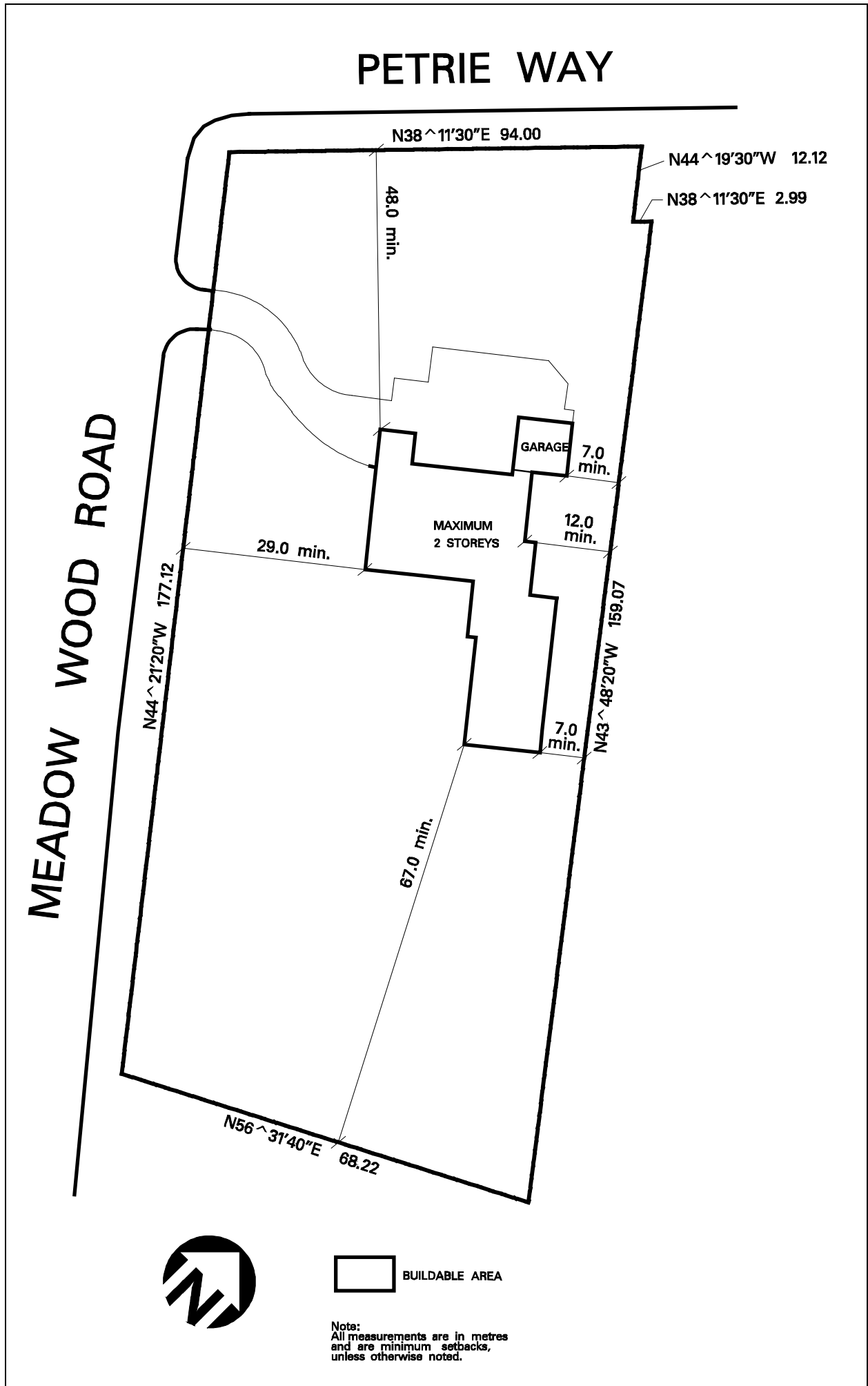


**Part 4 - Residential Zones**

4.2.2.41	Exception: R1-41	Map # 52W	By-law: 0174-2017, 0112-2019																																																									
<p>In a R1-41 zone the applicable regulations shall be as specified for a R1 zone except that the following uses/regulations shall apply:</p>																																																												
<p><b>Permitted Use</b></p>																																																												
4.2.2.41.1	<p>Lands zoned R1-41 shall only be used for the following:</p> <p>(1)     <b>Long-Term Care Building</b></p>																																																											
<p><b>Regulations</b></p>																																																												
4.2.2.41.2	<p>A <b>long-term care building</b> shall comply with the RA1 zone regulations contained in Subsection 4.15.1 of this By-law except that:</p> <table border="0"> <tr> <td>(1)</td> <td>the provisions contained in Article 4.1.15.1 of this By-law shall apply</td> <td></td> </tr> <tr> <td>(2)</td> <td>maximum number of beds</td> <td align="right">140</td> </tr> <tr> <td>(3)</td> <td>maximum <b>lot coverage</b></td> <td align="right">22%</td> </tr> <tr> <td>(4)</td> <td>minimum <b>landscaped area</b></td> <td align="right">55% of <b>lot area</b></td> </tr> <tr> <td>(5)</td> <td>maximum <b>gross floor area - apartment zone</b></td> <td align="right">4 181 m<sup>2</sup></td> </tr> <tr> <td>(6)</td> <td>minimum <b>front yard - corner lot</b></td> <td align="right">26.0 m</td> </tr> <tr> <td>(7)</td> <td>minimum <b>exterior side yard</b></td> <td align="right">30.0 m</td> </tr> <tr> <td>(8)</td> <td>minimum <b>interior side yard - corner lot</b></td> <td align="right">7.5 m</td> </tr> <tr> <td>(9)</td> <td>minimum <b>rear yard - corner lot</b></td> <td align="right">7.5 m</td> </tr> <tr> <td>(10)</td> <td>maximum <b>height</b></td> <td align="right">2 <b>storeys</b></td> </tr> <tr> <td>(11)</td> <td>minimum number of <b>parking spaces</b> per bed</td> <td align="right">0.34</td> </tr> <tr> <td>(12)</td> <td>minimum setback of a <b>parking area</b> to the <b>street</b></td> <td align="right">7.5 m</td> </tr> <tr> <td>(13)</td> <td>minimum setback of a <b>parking area</b> to any other <b>lot line</b></td> <td align="right">1.5 m</td> </tr> <tr> <td>(14)</td> <td>minimum setback of a <b>parking area</b> to a wall of a dwelling that does not have a window or any other opening into a <b>habitable room</b></td> <td align="right">1.5 m</td> </tr> <tr> <td>(15)</td> <td>minimum setback of parking to any other wall of a dwelling</td> <td align="right">6.0 m</td> </tr> <tr> <td>(16)</td> <td>a maximum of one gazebo is permitted accessory to a <b>long-term care dwelling</b></td> <td></td> </tr> <tr> <td>(17)</td> <td>maximum area of a gazebo</td> <td align="right">49 m<sup>2</sup></td> </tr> <tr> <td>(18)</td> <td>minimum setback of a gazebo to any <b>lot line</b></td> <td align="right">8.0 m</td> </tr> <tr> <td>(19)</td> <td>maximum <b>height</b> of a gazebo</td> <td align="right">6.5 m</td> </tr> </table>			(1)	the provisions contained in Article 4.1.15.1 of this By-law shall apply		(2)	maximum number of beds	140	(3)	maximum <b>lot coverage</b>	22%	(4)	minimum <b>landscaped area</b>	55% of <b>lot area</b>	(5)	maximum <b>gross floor area - apartment zone</b>	4 181 m <sup>2</sup>	(6)	minimum <b>front yard - corner lot</b>	26.0 m	(7)	minimum <b>exterior side yard</b>	30.0 m	(8)	minimum <b>interior side yard - corner lot</b>	7.5 m	(9)	minimum <b>rear yard - corner lot</b>	7.5 m	(10)	maximum <b>height</b>	2 <b>storeys</b>	(11)	minimum number of <b>parking spaces</b> per bed	0.34	(12)	minimum setback of a <b>parking area</b> to the <b>street</b>	7.5 m	(13)	minimum setback of a <b>parking area</b> to any other <b>lot line</b>	1.5 m	(14)	minimum setback of a <b>parking area</b> to a wall of a dwelling that does not have a window or any other opening into a <b>habitable room</b>	1.5 m	(15)	minimum setback of parking to any other wall of a dwelling	6.0 m	(16)	a maximum of one gazebo is permitted accessory to a <b>long-term care dwelling</b>		(17)	maximum area of a gazebo	49 m <sup>2</sup>	(18)	minimum setback of a gazebo to any <b>lot line</b>	8.0 m	(19)	maximum <b>height</b> of a gazebo	6.5 m
(1)	the provisions contained in Article 4.1.15.1 of this By-law shall apply																																																											
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(19)	maximum <b>height</b> of a gazebo	6.5 m																																																										
4.2.2.41.3	<p>"Gazebo" means an unenclosed <b>structure</b> with a roof</p>																																																											

**Part 4 - Residential Zones**

4.2.2.42	Exception: R1-42	Map # 03	By-law:															
<p>In a R1-42 zone the applicable regulations shall be as specified for a R1 zone except that the following uses/regulations shall apply:</p>																		
<p><b>Permitted Use</b></p>																		
4.2.2.42.1	<p>Lands zoned R1-42 shall only be used for the following:</p> <p>(1) Supportive Housing Dwelling</p>																	
<p><b>Regulations</b></p>																		
4.2.2.42.2	<p>A supportive housing dwelling shall comply with the R1 zone regulations contained in Subsection 4.2.1 of this By-law except that:</p> <table border="0"> <tr> <td data-bbox="386 741 427 782">(1)</td> <td data-bbox="480 741 1141 876">maximum number of self-contained apartment <b>dwelling units</b> used to accommodate a maximum of eight (8) adults and sixteen (16) children requiring specialized or group care</td> <td data-bbox="1287 741 1304 782">8</td> </tr> <tr> <td data-bbox="386 903 427 943">(2)</td> <td data-bbox="480 903 1125 970">maximum total <b>gross floor area</b> used for an apartment <b>dwelling unit</b> for staff and an <b>office</b></td> <td data-bbox="1255 903 1336 943">580 m<sup>2</sup></td> </tr> <tr> <td data-bbox="386 983 427 1024">(3)</td> <td data-bbox="480 983 1024 1024">minimum number of <b>parking spaces</b> required</td> <td data-bbox="1279 983 1312 1024">10</td> </tr> <tr> <td data-bbox="386 1037 427 1077">(4)</td> <td colspan="2" data-bbox="480 1037 1149 1239"> <p>"Supportive Housing Dwelling" means a <b>building</b> or part thereof which is licensed, approved or supervised by the Province under the Supportive Housing Program: Family Violence Initiative, approved under the <i>Ministry of Community and Social Services Act</i>, R.S.O. 1990, c.M.20, and its regulations</p> </td> </tr> <tr> <td data-bbox="386 1252 427 1292">(5)</td> <td colspan="2" data-bbox="480 1252 1122 1319">all site development plans shall comply with Schedule R1-42 of this Exception</td> </tr> </table>			(1)	maximum number of self-contained apartment <b>dwelling units</b> used to accommodate a maximum of eight (8) adults and sixteen (16) children requiring specialized or group care	8	(2)	maximum total <b>gross floor area</b> used for an apartment <b>dwelling unit</b> for staff and an <b>office</b>	580 m <sup>2</sup>	(3)	minimum number of <b>parking spaces</b> required	10	(4)	<p>"Supportive Housing Dwelling" means a <b>building</b> or part thereof which is licensed, approved or supervised by the Province under the Supportive Housing Program: Family Violence Initiative, approved under the <i>Ministry of Community and Social Services Act</i>, R.S.O. 1990, c.M.20, and its regulations</p>		(5)	all site development plans shall comply with Schedule R1-42 of this Exception	
(1)	maximum number of self-contained apartment <b>dwelling units</b> used to accommodate a maximum of eight (8) adults and sixteen (16) children requiring specialized or group care	8																
(2)	maximum total <b>gross floor area</b> used for an apartment <b>dwelling unit</b> for staff and an <b>office</b>	580 m <sup>2</sup>																
(3)	minimum number of <b>parking spaces</b> required	10																
(4)	<p>"Supportive Housing Dwelling" means a <b>building</b> or part thereof which is licensed, approved or supervised by the Province under the Supportive Housing Program: Family Violence Initiative, approved under the <i>Ministry of Community and Social Services Act</i>, R.S.O. 1990, c.M.20, and its regulations</p>																	
(5)	all site development plans shall comply with Schedule R1-42 of this Exception																	



Schedule R1-42  
Map 03

**Part 4 - Residential Zones**

4.2.2.43	Exception: R1-43	Map # 38E	By-law:
In a R1-43 zone the applicable regulations shall be as specified for a R1 zone except that the following <b>uses</b> /regulations shall apply:			
<b>Permitted Use</b>			
4.2.2.43.1	Lands zoned R1-43 shall only be used for the following:		
	(1)	<b>Detached Dwelling</b> or	
	(2)	<b>Medical Office - Restricted</b>	

4.2.2.44	Exception: R1-44	Map # 38W	By-law:
In a R1-44 zone the applicable regulations shall be as specified for a R1 zone except that the following <b>uses</b> /regulations shall apply:			
<b>Permitted Use</b>			
4.2.2.44.1	Lands zoned R1-44 shall only be used for the following:		
	(1)	<b>Detached Dwelling</b> or	
	(2)	<b>Private Club</b>	

4.2.2.45	Exception: R1-45	Map # 17	By-law:
In a R1-45 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R1 zone except that the following <b>uses</b> /regulations shall apply:			
<b>Regulation</b>			
4.2.2.45.1	Minimum <b>exterior side yard</b>		6.4 m

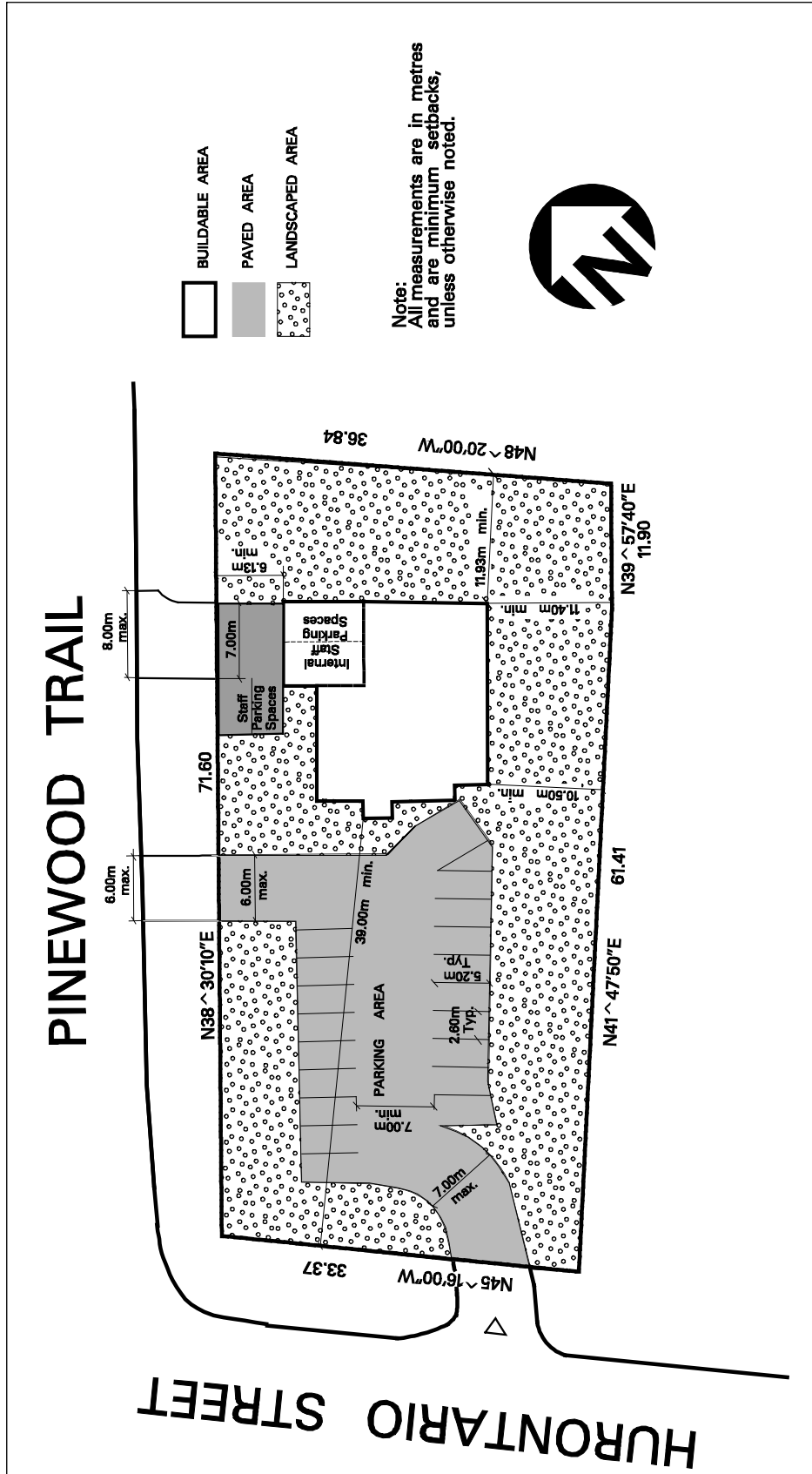
**Part 4 - Residential Zones**

4.2.2.46	Exception: R1-46	Map # 07	By-law: 0208-2022
<p>In a R1-46 zone the applicable regulations shall be as specified for a R1 zone except that the following <b>uses/regulations</b> shall apply:</p>			
<b>Permitted Uses</b>			
4.2.2.46.1	Lands zoned R1-46 shall only be used for the following:		
	<ul style="list-style-type: none"> <li>(1) <b>Office</b></li> <li>(2) <b>Medical Office - Restricted</b></li> </ul>		
<b>Use Not Permitted</b>			
4.2.2.46.2	(1) <b>Office</b> and/or <b>medical office - restricted</b> that requires more than 23 <b>parking spaces</b>		
<b>Regulations</b>			
4.2.2.46.3	<p>An <b>office</b> and <b>medical office - restricted</b> shall comply with the R1 zone regulations contained in Subsection 4.2.1 of this By-law except that:</p>		
	(1)	maximum number of <b>physicians, dentists, drugless practitioners</b> or <b>health professionals</b> permitted to practice at any one time	5
	(2)	maximum gross floor area	350 m <sup>2</sup>
	(3)	maximum <b>lot coverage</b>	13%
	(4)	minimum <b>landscaped area</b>	50% of <b>lot area</b>
	(5)	<p>the use of any part of the <b>building</b> below <b>established grade</b> shall be restricted to the following:</p>	
	(5.1)	lunch rooms, lounges or fitness rooms for the personal needs of occupants of the <b>building</b> ;	
	(5.2)	storage incidental to permitted <b>uses</b> in the <b>building</b> ;	
	(5.3)	stairwells;	
	(5.4)	mechanical equipment related to heating, ventilation, and air conditioning of the <b>building</b> ;	
	(5.5)	communication devices, the electrical distribution panel, and accessory equipment;	
	(5.6)	storage of disposable or recyclable waste generated within the <b>building</b> .	
	(6)	maximum <b>height - highest ridge: sloped roof</b>	7.5 m
	(7)	maximum projection of a <b>porch</b> outside the <b>buildable area</b> identified on Schedule R1-46 of this Exception	1.8 m
	(8)	maximum number of <b>parking spaces</b>	23
	(9)	the <b>parking area</b> identified on Schedule R1-46 of this Exception for clients and visitors shall have full access to Pinewood Trail and restricted access to Hurontario Street	
	(10)	the four <b>parking spaces</b> identified on Schedule R1-46 of this Exception that have access from the easterly <b>driveway</b> on Pinewood Trail shall be reserved for use by staff only	
	(11)	a ramp for disabled persons may project outside the <b>buildable area</b> identified on Schedule R1-46 of this Exception	

**Exception R1-46 continued on next page**

Part 4 - Residential Zones

4.2.2.46	Exception: R1-46	Map # 07	By-law: 0208-2022
<b>Exception R1-46 continued from previous page</b>			
4.2.2.46.3 (continued)	(12)	minimum aisle width for the two parking spaces in the garage	6.13 m
	(13)	"Gross Floor Area" means the sum of the areas of each storey measured between the exterior of the faces of the exterior walls excluding the garage and any part of the building located below established grade	
	(14)	all site development plans shall comply with Schedule R1-46 of this Exception	



Schedule R1-46  
Map 07

**Part 4 - Residential Zones**

4.2.2.47	Exception: R1-47	Map # 56	By-law: <i>deleted by 0389-2009, 0146-2012</i>
In a R1-47 zone the applicable regulations shall be as specified for a R1 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Permitted Uses</b>			
4.2.2.47.1	Lands zoned R1-47 shall only be used for the following:		
	(1)	The <b>existing</b> heritage dwelling	
	(2)	The <b>existing</b> heritage outbuilding	

4.2.2.48	Exception: R1-48	Map # 17	By-law: 0174-2017
In a R1-48 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R1 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Additional Permitted Uses</b>			
4.2.2.48.1	(1)	<b>Retirement building</b> legally <b>existing</b> on the date of passing of this By-law	
	(2)	Convent legally <b>existing</b> on the date of passing of this By-law	

4.2.2.49	Exception: R1-49	Map # 53E	By-law: 0180-2021
In a R1-49 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R1 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.2.2.49.1	The regulations of Sentence 3.1.1.7.1 contained in Article 3.1.1.7 of this By-law shall not apply		
4.2.2.49.2	A <b>detached dwelling</b> shall comply with the R3 zone provisions contained in Subsection 4.2.1 of this By-law		

4.2.2.50	Exception: R1-50	Map # 53E	By-law: 0192-2014
In a R1-50 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R1-32 zone except that the following regulation shall apply:			
<b>Regulation</b>			
4.2.2.50.1	Minimum <b>lot area</b>	900 m <sup>2</sup>	

**Part 4 - Residential Zones**

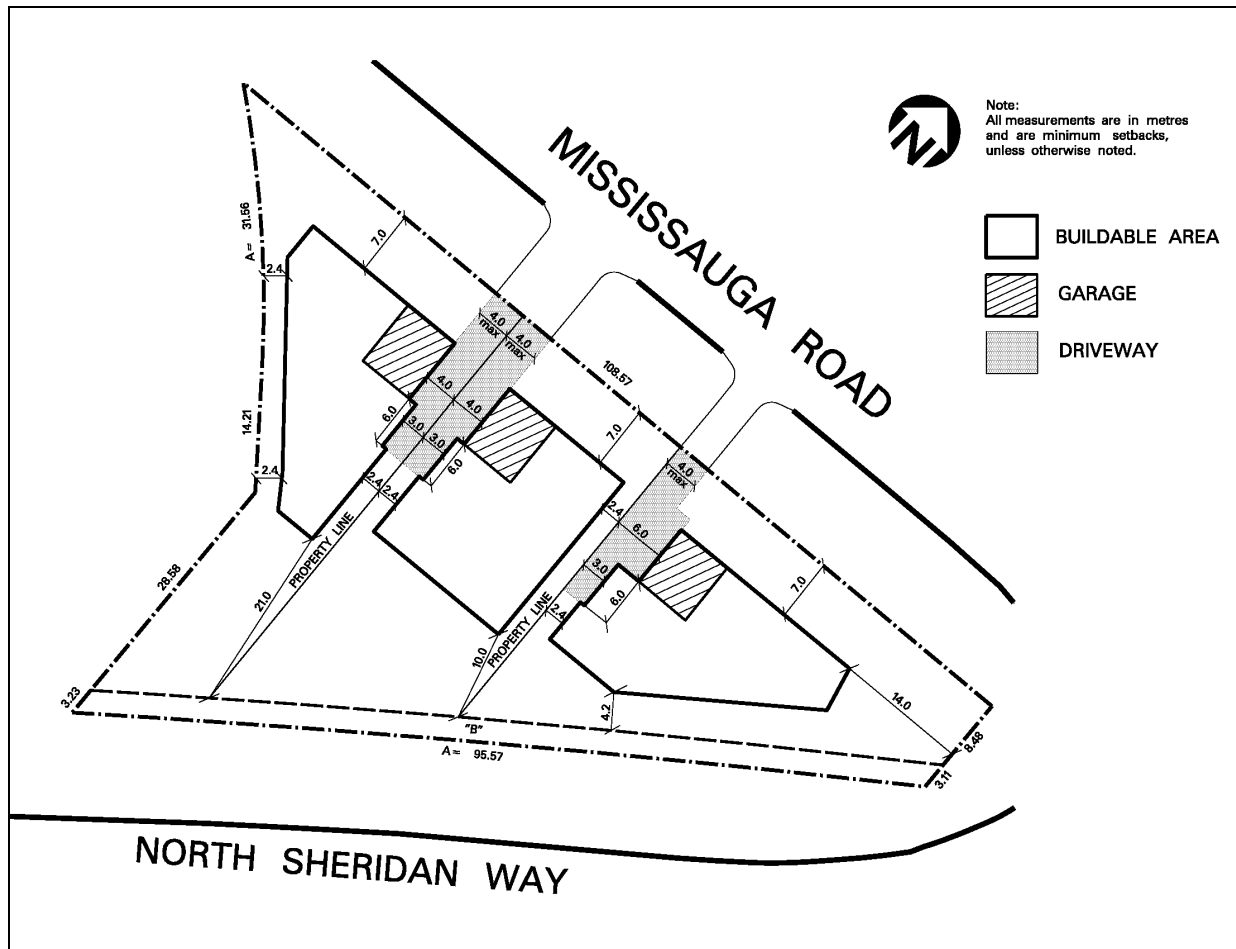
4.2.2.51	Exception: R1-51	Map # 05, 07	By-law: 0171-2015/ OMB Order 2016 April 04, 0193-2016/OMB Order 2017 May 30
In a R1-51 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R1 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.2.2.51.1	Maximum <b>height - highest ridge: sloped roof</b>		9.5 m
4.2.2.51.2	Maximum <b>height: flat roof</b>		7.5 m
4.2.2.51.3	Maximum height of eaves: from <b>average grade</b> to lower edge of eaves		6.4 m
4.2.2.51.4	Maximum <b>dwelling unit depth</b>		20.0 m

4.2.2.52	Exception: R1-52	Map # 16	By-law: OMB Order 2015 August 11
In a R1-52 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R1 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.2.2.52.1	Minimum <b>lot frontage</b>		20.0 m
4.2.2.52.2	Maximum <b>lot coverage</b>		35%
4.2.2.52.3	Minimum <b>front yard - interior lot</b>		9.0 m
4.2.2.52.4	Minimum <b>interior side yard</b>		1.2 m + 0.61 m for each additional <b>storey</b> or portion thereof above 2 <b>storeys</b>



Part 4 - Residential Zones

4.2.2.53	Exception: R1-53	Map # 16	By-law: 0181-2016, 0208-2022
<p>In a R1-53 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R1 zone except that the following <b>uses/regulations</b> shall apply:</p>			
<b>Regulations</b>			
4.2.2.53.1	Minimum <b>lot area</b>	1 000 m <sup>2</sup>	
4.2.2.53.2	Minimum <b>lot frontage - interior lot</b>	23.0 m	
4.2.2.53.3	Minimum <b>lot frontage - corner lot</b>	45.0 m	
4.2.2.53.4	Maximum <b>lot coverage</b>	35%	
4.2.2.53.5	The <b>lot line</b> abutting Mississauga Road shall be deemed to be the <b>front lot line</b>		
4.2.2.53.6	Maximum <b>height - highest ridge: sloped roof</b>	10.4 m	
4.2.2.53.7	Maximum height of eaves: from <b>average grade</b> to lower edge of the eaves	7.5 m	
4.2.2.53.8	<b>Driveways and parking areas</b> shall be constructed of a <b>pervious material</b>		
4.2.2.53.9	<b>Accessory buildings and structures and swimming pools</b> may be located outside the <b>buildable area</b> and shall only be located in the <b>rear yard</b>		
4.2.2.53.10	All site development plans shall comply with Schedule R1-53 of this Exception		



Schedule R1-53  
Map 16

