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PURPOSE

The purpose of this Part is to provide a number of Residential Zones, that allow for a variety of housing forms in appropriate locations throughout the City. ¹

4.1GENERAL PROVISIONS FOR RESIDENTIAL ZONES

In addition to the provisions contained in Parts 1 to 3 of this By-law, the following General Provisions for Residential Zones shall also apply:

4.1.1Additional Residential Unit (ARU)
(0174-2017), (0181-2018/LPAT Order 2019 February 15), (0174-2023), (0048-2025)

4.1.1.1 A maximum of two **attached ARUs**, or a maximum of one **attached ARU** and one **detached ARU**, are permitted per **lot**, and shall comply with the provisions contained in Table 4.1.1.1 - Additional Residential Unit (ARU).

Table 4.1.1.1 - Additional Residential Unit (ARU)

Column A		B
Line		
1.0	A maximum of two attached ARUs are permitted only in these zones	RL, RS, R12 to R14, R16, RM3, RM5, RM6 and RM7 ⁽¹⁾
2.0	A maximum of one attached ARU and one detached ARU are permitted only in these zones	RL, RS, R12 to R14, R16, RM3, RM5 ⁽²⁾ , RM6 ⁽²⁾ and RM7 ⁽¹⁾
3.0	An attached ARU shall comply with the regulations of the zone in which it is located and with the provisions contained in Subsection 4.1.1 of this By-law	✓
4.0	A detached ARU shall comply with the provisions contained in Subsection 4.1.1 and Table 4.1.1.14 of this By-law	✓

NOTES: (1) See Article 4.1.1.12 of this By-law.
(2) See Article 4.1.1.13 of this By-law.

4.1.1.2 Additional **parking spaces** shall not be required for an **attached ARU** or a **detached ARU**.

4.1.1.3 A **home occupation** shall not be permitted in an **attached ARU** or **detached ARU**.

4.1.1.4 A **lot** with an **attached ARU(s)** and/or a **detached ARU** shall have one and not more than one **driveway**.

4.1.1.5 An addition to facilitate an **attached ARU(s)** shall not alter the **existing use** of the subject dwelling as defined by this By-law.

4.1.1.6 Notwithstanding Line 2.0 contained in Table 4.1.1.14 of this By-law, a two **storey detached ARU** shall be permitted on **through lots** and shall be:

- (1) subject to the two **storey detached ARU** provisions contained in Table 4.1.1.14 of this By-law; and
- (2) permitted up to a maximum of 100 m² in **floor area - detached ARU**.

4.1.1.7 For the purposes of Subsection 4.1.1, a **building** or **structure** that contains a **garage** and a one **storey detached ARU** shall be subject to:

- (1) lines 2.2 and 2.3 contained in Table 4.1.12.1 of this By-law; and
- (2) the one **storey detached ARU** provisions contained in Table 4.1.1.14 of this By-law.

¹ The purpose statement is for clarification purposes and does not form part of this By-law.

- 4.1.1.8For the purposes of Subsection 4.1.1, a **building** or **structure** that contains a **garage** and a two **storey detached ARU** shall be subject to:

(1)lines 2.2 and 2.3 contained in Table 4.1.12.1 of this By-law; and

(2)the two **storey detached ARU** provisions contained in Table 4.1.1.14 of this By-law.
- 4.1.1.9The overall maximum **lot coverage** of a **lot** shall be permitted to increase by up to an additional 10%, of which 10% is solely calculated towards a **detached ARU**.
- 4.1.1.10A **balcony** or **deck** shall not be permitted on the second **storey** of a two **storey detached ARU**.
- 4.1.1.11Notwithstanding Table 4.1.1.14 of this By-law, a **detached ARU** shall not have a **height - highest ridge** greater than the **height** of the primary dwelling on the **lot** and a **lot coverage** greater than the primary dwelling of the **lot** in which they are located.
- 4.1.1.12Notwithstanding Article 4.1.1.1 and Lines 1.0 and 2.0 contained in Table 4.1.1.1 of this By-law, only RM7 zones with **lots** containing a **detached dwelling** or **semi-detached** shall permit an **attached ARU** and/or **detached ARU**.
- 4.1.1.13Notwithstanding Article 4.1.1.1 and Line 2.0 contained in Table 4.1.1.1 of this By-law, only RM5 and RM6 zones with **corner lots** and **through lots** shall permit a **detached ARU**.
- 4.1.1.14A **detached ARU** shall comply with the provisions contained in Table 4.1.1.14 - Detached Residential Unit (Detached ARU).

Table 4.1.1.14 - Detached Additional Residential Unit (Detached ARU)

Column A		B	
Line 1.0	TYPE	One Storey Detached ARU	Two Storey Detached ARU
2.0	MAXIMUM SIZE:		
2.1	Lot area less than or equal to 750 m²	✓	
2.2	Lot area greater than 750 m²	✓	✓
3.0	LOCATION	Rear Yard	
		Rear yard and/or exterior side yard for corner lots zoned RL and RS	
4.0	MAXIMUM FLOOR AREA - DETACHED ARU:		
4.1	Lot area less than or equal to 550 m²	55 m²	n/a
4.2	Lot area greater than 550 m²	10% of the lot area , up to a maximum of 100 m²	
5.0	MAXIMUM HEIGHT - HIGHEST RIDGE:		
5.1	sloped roof	4.6 m	6.8 m
5.2	flat roof	3.0 m	5.8 m
6.0	SETBACKS:		
6.1	Minimum setback to interior side lot line	0.6 m ⁽¹⁾	1.8 m ⁽¹⁾
6.2	Minimum setback to rear lot line	1.8 m ⁽¹⁾	1.8 m ⁽¹⁾
6.3	Minimum setback to exterior side lot line	2.5 m ⁽¹⁾	4.5 m ⁽¹⁾

NOTE: n/a means not applicable
(1) See Subsection 4.1.8 of this By-law.

- 4.1.2 **Accessory Buildings and Structures**
(0379-2009), (0308-2011), (0297-2013), (0112-2019), (0181-2018/LPAT Order 2019 February 15), (0018-2021), (0174-2023), (0048-2025)
- 4.1.2.1 **Accessory buildings and structures** shall be permitted on a **lot** in RL, RS, R12 to R14, R16, RM3 to RM9 and RA1 to RA5 zones in compliance with the regulations contained in Table 4.1.2.2 - Accessory Buildings and Structures.
- 4.1.2.1.1 *deleted by 0112-2019*
- 4.1.2.2 For the purpose of Subsection 4.1.2 of this By-law, an outdoor fireplace within 3.0 m of the roof or walls of a dwelling shall be exempt from Line 4.0 contained in Table 4.1.2.2 - Accessory Buildings and Structures.

Table 4.1.2.2 - Accessory Buildings and Structures

Column A		B	
Line 1.0	TYPE	Accessory Buildings and Structures	
		Lot Area Greater than or Equal to 750 m ²	Lot Area Less than 750 m ²
2.0	SIZE:		
2.1	Maximum area occupied per accessory building and structure	20 m ²	10 m ²
2.2	Maximum area occupied combined for all accessory buildings and structures	60 m ²	30 m ²
3.0	MAXIMUM LOT COVERAGE: combined for all accessory buildings and structures	5% of the lot area ⁽¹⁾	n/a ⁽¹⁾
4.0	MAXIMUM HEIGHT: to highest point of the building or structure	3.5 m	3.0 m
5.0	LOCATION	Not permitted between the front wall of the dwelling and the front lot line	
6.0	SETBACKS:		
6.1	Minimum setback to exterior side lot line	The exterior side yard regulations of the applicable zone shall apply	
6.2	Minimum setback to interior side lot line for accessory buildings and structures located in an interior side yard	The interior side yard regulations of the applicable zone shall apply ⁽²⁾⁽³⁾	
6.3	Minimum setback to interior side and rear lot lines for accessory buildings and structures located in the rear yard	1.2 m ⁽⁴⁾	0.61 m ⁽⁴⁾

- NOTES: n/a means not applicable.
- (1)

See Article 4.1.2.6 of this By-law.
- (2)

See Article 4.1.2.7 of this By-law.
- (3)

See Article 4.1.2.8 of this By-law.
- (4)

See Subsection 4.1.8 of this By-law.

- 4.1.2.3 **Decks** and/or **balconies** are not permitted on top, above or projecting from any part of an accessory building or structure.
- 4.1.2.4 For the purposes of Subsection 4.1.2 of this By-law, a **deck**, **porch**, **balcony**, **detached ARU**, and/or detached **garage** shall not be considered to be an accessory building or structure.

- 4.1.2.5

For the purpose of Subsection 4.1.2 of this By-law, a **building** or **structure**, other than an attached **garage**, that is connected to a dwelling by an underground corridor or hallway, or by a corridor or hallway above grade with a width less than 5.0 m at any point, shall be considered an **accessory building** or **structure**.
- 4.1.2.6

The maximum **lot coverage** in an applicable zone is inclusive of the combined total area used for all **accessory buildings** and **structures**, as well as a detached **garage**.
- 4.1.2.7

In zones where the **interior side yard** is regulated by the number of **storeys**, the **interior side yard** to an accessory **structure**, and a detached **garage** shall comply with the **yard** required for a one **storey** dwelling.
- 4.1.2.8

In zones having a combined width of **interior side yards** regulation, accessory **structures**, as well as a detached **garage** shall comply with the required **interior side yard** regulation and the combined width of **interior side yards** regulation.

4.1.3

Play Equipment
(0297-2013), (0181-2018/LPAT Order 2019 February 15), (0196-2023)

- 4.1.3.1

Play equipment is permitted accessory to a **detached, semi-detached, linked, duplex, triplex, fourplex** and **street townhouse** and shall comply with the regulations contained in Table 4.1.3.1 - Play Equipment Regulations.

Table 4.1.3.1 - Play Equipment Regulations

Column A		B
Line		
1.0	MAXIMUM AREA OCCUPIED	5.5 m ²
2.0	MAXIMUM HEIGHT: from established grade to highest point of the structure	3.0 m
3.0	LOCATION	rear yard only
4.0	MAXIMUM PERCENTAGE OF THE TOTAL PERIMETER OF THE PLAY EQUIPMENT PERMITTED TO BE ENCLOSED BY WALLS, DOORS AND/OR WINDOWS BUT EXCLUDING SCREENING	50%
5.0	MINIMUM SETBACKS TO INTERIOR SIDE AND REAR LOT LINES	0.61 m

- 4.1.3.2

Play equipment accessory to a **detached, semi-detached, linked, duplex, triplex, fourplex** and **street townhouse** that does not comply with the regulations contained in Table 4.1.3.1 - Play Equipment Regulations shall be considered to be an **accessory building** or **structure** and shall comply with the regulations contained in Table 4.1.2.2 - Accessory Buildings and Structures.

4.1.4

Swimming Pool
(0297-2013), (0181-2018/LPAT Order 2019 February 15), (0196-2023)

- 4.1.4.1

An outdoor **swimming pool** is permitted accessory to a **detached, semi-detached, linked, duplex, triplex, fourplex** and **street townhouse** subject to the following regulations:
- 4.1.4.1.1

No part of an outdoor **swimming pool** is permitted in a **front** or required **exterior side yard**;
- 4.1.4.1.2

An outdoor **swimming pool** shall be set back a minimum of 1.5 m from all **lot lines**, measured from the inside wall of the outdoor **swimming pool**.
- 4.1.4.2

An outdoor **swimming pool** is permitted as an **accessory use** on **lots** containing any other form of residential dwelling not identified in Article 4.1.4.1 of this By-law, provided that an outdoor **swimming pool** shall be set back a minimum of 3.0 m from any **lot line**, measured from the inside wall of the outdoor **swimming pool**.
- 4.1.4.3

A **swimming pool** shall also be permitted within a **building, structure** or part thereof which shall comply with the regulations of the zone in which it is located.

4.1.5 Encroachments and Projections

(0325-2008), (0158-2013), (0297-2013), (0190-2014), (0144-2016), (0181-2018/LPAT Order 2019 February 15), (0208-2022), (0174-2023), (0196-2023)

Unless otherwise regulated within this By-law, all required **yards** for **detached, semi-detached, linked, duplex, triplex, fourplex** and **street townhouses** shall be unobstructed except for the following:

4.1.5.1 A **porch** or a **deck**, located at and accessible from the **first storey** or below the **first storey** of the dwelling, inclusive of stairs, may encroach:

- (1) a maximum of 1.6 m into a required **front** and/or **exterior side yard**;
- (2) a maximum of 5.0 m into a required **rear yard**.

4.1.5.2 Notwithstanding the provisions contained in Article 4.1.5.1 of this By-law, a **porch** or **deck** that is located at and accessible from the **first storey** or below the **first storey** of the dwelling, inclusive of stairs, and is located in the **rear yard** shall have a minimum setback of:

- (1) 1.5 m from the **rear lot line**;
- (2) 0.0 m from an **interior side lot line** for a **lot** with a dwelling requiring a 0.0 m **interior side yard**;
- (3) 0.61 m from an **interior side lot line** for a **lot** with a dwelling requiring more than a 0.0 m **interior side yard**;
- (4) 0.61 m from an **exterior side lot line**.

4.1.5.3 A **porch** or **deck**, located at and accessible from the **first storey** or below the **first storey** of the dwelling inclusive of stairs, and is located in an **interior side yard** may encroach a maximum of 0.6 m provided that the **interior side yard** is a minimum of 1.2 m.

4.1.5.4 An awning may encroach a maximum of 0.61 m into a required **front yard** and/or **exterior side yard**; a maximum of 5.0 m into a required **rear yard** provided that the awning shall have a minimum setback of 1.5 m to a **lot line**; and a maximum of 0.61 m into a required **interior side yard** provided that the **interior side yard** is a minimum of 1.2 m.

4.1.5.5 A window, **chimney**, pilaster or corbel, window well, and stairs may encroach a maximum of 0.6 m into a required **yard** provided that the **yard** is a minimum of 1.2 m.

4.1.5.6 Notwithstanding the provisions contained in Articles 4.1.5.1 to 4.1.5.6 and 4.1.5.8 to 4.1.5.11 of this By-law, encroachments and/or projections shall not be permitted in a minimum required setback to a Greenlands Zone contained in Table 4.1.8.1 of this By-law.

4.1.5.7 Decorative paving, pool decking, and other hard surfaced landscape material are permitted an unlimited encroachment in a required **rear yard**, provided that they do not exceed 0.3 m in height above grade at any point, and maintain a minimum setback to any **lot line** of 0.61 m.

4.1.5.8 Notwithstanding the provisions contained in Article 4.1.5.5 of this By-law, stairs, stairwells or retaining walls to facilitate an entrance below grade at any point shall be permitted in required **rear yards** and **interior side yards** provided that the minimum setback to an **interior side lot line** and **rear lot line** shall be 1.2 m.

4.1.5.8.1 Stairs, stairwells or retaining walls to facilitate an entrance below grade at any point shall not be permitted in **front yards** or **exterior side yards**.

4.1.5.9 A building projection, with windows that cover a minimum of 50% of the total projection, may encroach a maximum of 0.61 m into a required **front, exterior** and/or **rear yard**, provided that the building projection is not more than 3.0 m wide.

4.1.5.10 A **balcony** may encroach a maximum of 1.0 m into a required **front, exterior side** or **rear yard**.

4.1.5.11 A freestanding **deck** may be located in a **rear yard** provided that it does not exceed 1.2 m in height above grade at any point, is uncovered and is not closer than 0.61 m to any side **lot line** and 1.5 m to any **rear lot line**.

4.1.5.12 A window well may encroach a maximum of 1.2 m into a required **rear yard**.

4.1.5.13 No projections outside of a **buildable area** shall be permitted unless specified through a site specific Exception Zone or Exception Schedule. Where a projection is permitted, the portion of the projection that is outside of the **buildable area** shall not be considered a **yard** encroachment.

4.1.6 **External Heating, Air Conditioning, Home Back-up Generator, and Pool Heating/Filtering Equipment**
(0212-2015), (0181-2018/LPAT Order 2019 February 15), (0048-2025)

4.1.6.1 External heating, air conditioning, home back-up generator, and pool heating/filtering equipment may be located in a required **yard**, other than a **front yard**, provided that it is not closer than 0.61 m to any **lot line**.

4.1.6.2 Roof top external heating and/or air conditioning equipment are not permitted in RL, RS, R12 to R14, R16 and RM3 to RM7 zones.

4.1.7 **Setback to Railway Right-of-Way**
(0111-2019/LPAT Order 2021 March 09)

The minimum setback from the closest exterior wall of a **dwelling unit** to a railway right-of-way shall be 30.0 m.

4.1.8 **Setbacks to Greenlands Zones**
(0179-2018)

4.1.8.1 The minimum setback for all **buildings, structures, parking areas** and **swimming pools** in Residential Zones to all lands zoned G1 or G2 Base Zone, shall be the greater of 5.0 m or the required **yard/setback**.

4.1.8.2 The setback for an outdoor **swimming pool** shall be measured from the inside wall of the **swimming pool** to a G1 or G2 Base Zone or a G1 or G2 Exception Zone.

4.1.9 **Driveways and Parking**
(0325-2008), (0379-2009), (0308-2011), (0297-2013), (0190-2014), (0212-2015), (0174-2017), (0181-2018/LPAT Order 2019 February 15), (0111-2019/LPAT Order 2021 March 09), (0196-2023), (0182-2024), (0048-2025)

All **driveways** and parking in Residential Zones shall comply with the provisions contained in Part 3 of this By-law and the following:

Table 4.1.9A - Maximum Driveway Width

Column A		B	C	D
Line 1.0		LOT FRONTAGE RANGES		
		Less than 6.0 m	6.1 m - 16.9 m	17.0 m or Greater
2.0	Maximum driveway width	3.0 m	6.0 m	8.5 m

4.1.9A.1 Notwithstanding Sentences 1.1.2.3.1 and 1.1.2.3.2 of this By-law, on a **lot** with an Exception Zone, or subject to area specific provisions in this By-law, or where a minor variance has been approved by the Committee of Adjustment on or before October 09, 2024, the maximum **driveway** width shall be based upon the greater measurement between the regulations contained in Part 4 of this By-law and the maximum **driveway** width permissions identified in the Exception Zone, Exception Zone Schedule, or minor variance.

4.1.9A.2 Notwithstanding Article 4.1.9A.1 of this By-law, Article 4.1.9A.1 shall not apply to all lands zoned RM4, RM8, RM9, RM10 and RA1 to RA5, including Exception Zones.

- 4.1.9.1 The calculation of **driveway** width shall include any continuous hard surface area that may be used for the parking of **motor vehicles**;
- 4.1.9.1.1 Where a **driveway** width includes a required **aisle**, the maximum **driveway** width shall not apply;
- 4.1.9.1.2 A maximum of one **driveway** shall be permitted per **lot** in RL, RS, R12 to R14, R16, RM3 and RM6 zones;
- 4.1.9.2 Any hard surface area used or accessible for the purpose of parking a **motor vehicle** shall be included in the **driveway** width calculation;
- 4.1.9.2.1 Notwithstanding Article 4.1.9.2 of this By-law, one walkway attached to a **driveway** with a maximum attachment of 1.5 m shall be permitted on each side of a **driveway**;
- See Illustration No. 14 - Section 1.3 - Illustrations
- 4.1.9.2.2 Parking of **motor vehicles** shall not be permitted on a **landscaped soft area**;
- 4.1.9.3 Tandem parking is permitted on a **driveway** in all Residential Zones except RA1 to RA5 zones;
- 4.1.9.4 The nearest part of a **driveway** or any other **parking area** for a **detached, semi-detached, linked, duplex, triplex, fourplex** and end unit of a **street townhouse** shall be a minimum distance of 0.6 m from a **rear lot line** and any side **lot line** other than the common side **lot line** separating an attached **semi-detached**, an attached **street townhouse** or a detached **garage** with a joint party wall;
- 4.1.9.5 A **hammerhead** shall only be permitted on a **lot** with a **lot frontage** greater than or equal to 15.0 m;
- 4.1.9.6 A **hammerhead** shall have a maximum width of 2.6 m and a maximum length of 3.0 m extending perpendicularly from the **driveway** and shall be set back a minimum of 0.6 m from the front, interior and exterior **lot lines**;
- See Illustration No. 5 - Section 1.3 - Illustrations.
- 4.1.9.7 The outdoor parking of a **motor vehicle** shall only be permitted on a **driveway** and/or **parking space**;
- 4.1.9.8 **Parking spaces** shall only be accessed by a **driveway** and/or **aisle**;
- 4.1.9.9 A **circular driveway** shall only be permitted on a **lot** with a **lot frontage** greater than or equal to 22.5 m, provided that the **circular driveway** is located in a **front** or **exterior side yard**;
- See Illustration No. 12 - Section 1.3 - Illustrations.
- 4.1.9.10 A **circular driveway** and the access points shall only be located in one **yard**;
- 4.1.9.11 A **circular driveway** shall not cover more than 50% of the **yard** in which it is located;
- 4.1.9.12 The combined width of the two points of access of a **circular driveway** shall not exceed 8.5 m;
- 4.1.9.13 For **lots** having a **lot frontage** of 18.0 m or greater, a **driveway** shall be subject to the following:
- (1) the maximum width shall be 8.5 m;
 - (2) the maximum width may be increased to 10.5 m for that portion of the **driveway** that is within 6.0 m of the **garage face** and which is providing direct vehicular access to the **garage**;
 - (3) the **driveway** shall not cover more than 50% of the area of the **front yard** and/or **exterior side yard**.
- See Illustration No. 11 - Section 1.3 - Illustrations.
- 4.1.9.14 *deleted by 0212-2015*

4.1.10 Parking of Commercial Motor Vehicles
(0325-2008)

The parking of a **commercial motor vehicle** in Residential Zones shall comply with the provisions contained in Part 3 of this By-law and the following:

- 4.1.10.1 A **commercial motor vehicle** shall only be parked on a **driveway** or within a **garage**;
- 4.1.10.2 A maximum of one **commercial motor vehicle** shall be parked on a **lot** in a Residential Zone subject to the following:
 - 4.1.10.2.1 The **commercial motor vehicle** shall be less than or equal to 3 000 kg registered gross weight or 2 600 kg vehicle curb weight and be less than 5.6 m in length and 2.0 m in **height**;
 - 4.1.10.2.2 The required number of **motor vehicle parking spaces** for the applicable Residential Zone shall be maintained, not including the space used for the parking of a **commercial motor vehicle**;
- 4.1.10.3 A **commercial motor vehicle** that is actively engaged in a delivery and/or service is deemed not to be in contravention of this By-law;
- 4.1.10.4 A maximum of one **commercial motor vehicle** shall be permitted to park entirely within an enclosed **garage** provided that the vehicle can legally access the property and provided that the required number of **parking spaces** for the applicable Residential Zone is maintained;
- 4.1.10.5 The outdoor parking of school buses shall be permitted on lands used for a **place of religious assembly, public school or private school**, provided that such parking shall not be permitted within the required **yards**.

4.1.11 Trailer and Recreational Vehicle Parking
(0325-2008), (0308-2011), (0297-2013)

- 4.1.11.1 Outdoor parking of a trailer, with or without a boat, personal watercraft or snowmobile, or a recreational vehicle shall only be permitted in a Residential Zone, in compliance with the provisions contained in Part 3 of this By-law and Sentence 4.1.11.1.1 or 4.1.11.1.2 of this By-law.
 - 4.1.11.1.1 One trailer, with or without one boat, or up to two personal watercraft or snowmobiles, or one recreational vehicle, is permitted on a **driveway** subject to the following:
 - (1) the maximum combined length of a trailer, exclusive of tongue, with or without a boat, inclusive of attached motor, personal watercraft or snowmobile, or a recreational vehicle shall be 5.2 m;
 - (2) the maximum combined **height** of a trailer, with or without a boat, inclusive of attached motor, personal watercraft or snowmobile, or a recreational vehicle shall be 2.0 m;
 - (3) the **parking space** used for a trailer, with or without a boat, personal watercraft or snowmobile, or a recreational vehicle shall be in addition to the required number of **parking spaces** for the applicable Residential Zone;
 - (4) the minimum setback of a trailer, with or without a boat, personal watercraft or snowmobile, or a recreational vehicle to a **lot line** shall be 0.6 m.
 - 4.1.11.1.2 One trailer, with or without one boat, or up to two personal watercraft or snowmobiles, or one recreational vehicle, is permitted subject to the following:
 - (1) the maximum combined length of a trailer, exclusive of tongue, with or without a boat, inclusive of attached motor, personal watercraft or snowmobile, or a recreational vehicle shall be 7.0 m;
 - (2) the maximum combined **height** of a trailer, with or without a boat, inclusive of attached motor, personal watercraft or snowmobile, or a recreational vehicle shall be 3.0 m;

- (3)

the **parking space** used for a trailer, with or without a boat, personal watercraft or snowmobile, or a recreational vehicle shall be in addition to the required number of **parking spaces** for the applicable Residential Zone;
- (4)

the trailer, with or without a boat, personal watercraft or snowmobile, or a recreational vehicle shall be parked only in an **interior side yard** behind the **front wall** of the dwelling or in the **rear yard**;
- (5)

the minimum setback of a trailer, with or without a boat, personal watercraft or snowmobile, or a recreational vehicle to an **interior side lot line** or **rear lot line** shall be 1.2 m;
- (6)

the minimum setback of a trailer, with or without a boat, personal watercraft or snowmobile, or a recreational vehicle to the **exterior side lot line** and/or **rear lot line**, where the **rear lot line** abuts a **street**, shall be 7.5 m.

4.1.11.2

Notwithstanding Sentence 4.1.11.1.1 of this By-law, a maximum of one trailer exclusive of tongue, with or without one boat inclusive of attached motor, personal watercraft or snowmobile, or one recreational vehicle, less than or equal to 7.0 m in length, and less than 3.0 m in combined **height**, may be parked on a **driveway** in a Residential Zone, on a temporary basis for a period of not more than 72 hours in any one calendar month.

4.1.12

Garage Regulations
(0325-2008), (0297-2013), (0181-2018/LPAT Order 2019 February 15), (0112-2019), (0018-2021), (0208-2022), (0048-2025)

4.1.12.1

An attached **garage** in RL, RS, R12 to R14, R16 and RM3 to RM12 zones shall comply with the regulations contained in Table 4.1.12.1 - Garage Regulations.

4.1.12.2

A detached **garage** in RL, RS, RM7 and RM8 zones shall comply with the regulations contained in Table 4.1.12.1 - Garage Regulations.

Table 4.1.12.1 - Garage Regulations

Column A		B	C
Line		Attached Garage	Detached Garage
1.0	MAXIMUM NUMBER PERMITTED PER LOT	1 ⁽¹⁾	1 ⁽¹⁾
2.0	SIZE:		
2.1	Maximum floor area measured from the inside face of walls	75 m ²	75 m ²
2.2	Minimum rectangular area measured from the inside face of walls (width x length)	2.75 m x 6.0 m	2.75 m x 6.0 m
2.3	Minimum unobstructed area for parking (width x length x height)	2.75 m x 5.2 m x 2.0 m	2.75 m x 5.2 m x 2.0 m
3.0	MAXIMUM LOT COVERAGE	The maximum lot coverage for the dwelling in the applicable zone is inclusive of the attached garage	10% of the lot area ⁽³⁾
4.0	MAXIMUM HEIGHT:		
4.1	Sloped roof - highest ridge	The maximum height for the dwelling in the applicable zone	4.6 m
4.2	Flat roof	The maximum height for the dwelling in the applicable zone	3.0 m
4.3	Maximum height of eaves	n/a	3.0 m

Table 4.1.12.1 continued on next page

Column A		B	C
Line		Attached Garage	Detached Garage
Table 4.1.12.1 continued from previous page			
5.0	LOCATION	n/a	Not permitted between the front wall of the dwelling and the front lot line
6.0	SETBACKS:		
6.1	Minimum setback to exterior side lot line	The exterior side yard regulations of the applicable zone shall apply	The exterior side yard regulations of the applicable zone shall apply
6.2	Minimum setback to interior side lot line for garage located in an interior side yard	The interior side yard regulations of the applicable zone shall apply	The interior side yard regulations of the applicable zone shall apply ⁽⁴⁾⁽⁵⁾
6.3	Minimum setbacks to interior side and rear lot lines for detached garage located in the rear yard where lot area greater than or equal to 750 m ²	n/a	1.2 m ⁽⁶⁾⁽⁷⁾
6.4	Minimum setbacks to interior side and rear lot lines for detached garage located in the rear yard where lot area less than 750 m ²	n/a	0.61 m ⁽⁶⁾⁽⁷⁾
6.5	Minimum setback of a detached garage located in the rear yard to the dwelling on the same lot	n/a	1.2 m
7.0	MINIMUM AREA OF ATTACHMENT OF A DWELLING AND ATTACHED GARAGE ABOVE GRADE	5.0 m in length and 2.0 m in height	n/a

- NOTES: n/a means not applicable.
- (1) See Article 4.1.12.5 of this By-law.
 - (2) *deleted by 0018-2021.*
 - (3) See Article 4.1.2.6 of this By-law.
 - (4) See Article 4.1.2.7 of this By-law.
 - (5) See Article 4.1.2.8 of this By-law.
 - (6) See Subsection 4.1.8 of this By-law.
 - (7) See Article 4.1.12.6 of this By-law.

- 4.1.12.3A **deck** is not permitted on top, above or projecting from an attached or detached **garage**.
- 4.1.12.4A **balcony** with a maximum area of 10 m² is permitted on top of an attached **garage**, provided that the **balcony** does not project more than 1.0 m beyond the **garage face**.
- 4.1.12.5Only one attached **garage** or one detached **garage** shall be permitted per **lot**, except in RM4 and RM7 to RM12 zones.
- 4.1.12.6On two adjoining **lots** in a Residential Zone, a detached **garage** with a joint **party wall** is permitted.
- 4.1.13*deleted by 0048-2025*

4.1.14 Common Element Condominium (CEC)
(0297-2013)

4.1.14.1 CEC - visitor **parking spaces** shall be provided within a **common element** area.

4.1.14.2 The width of the paved portion of a **CEC - road** shall be the perpendicular distance measured between the inside faces of opposing curbs. At the point where a CEC - visitor parallel **parking space** abuts a **CEC - road**, the width of the paved portion of the **CEC - road** shall be the perpendicular distance measured between the CEC - visitor parallel **parking space** and the inside face of the opposing curb.
(0181-2018/LPAT Order 2019 February 15)

4.1.15 Apartment Zones

4.1.15.1 Additional Uses

Additional **uses** are permitted within RA1 to RA5 zones, subject to the following provisions:
(0325-2008), (0174-2017), (0111-2019/LPAT Order 2021 March 09)

4.1.15.1.1 Additional **uses** are limited to a **retail store, service establishment, financial institution, office and medical office - restricted**;

4.1.15.1.2 An additional **use** shall be contained within an **apartment building**;

4.1.15.1.3 An additional **use** shall not be permitted above the **first storey** of an **apartment building**;

4.1.15.1.4 Additional on-site parking is not required for additional **uses** permitted in Sentence 4.1.15.1.1 of this By-law;

4.1.15.1.5 *deleted by 0111-2019/LPAT Order 2021 March 09*

4.1.15.1.6 *deleted by 0111-2019/LPAT Order 2021 March 09*

4.1.15.1.7 *deleted by 0111-2019/LPAT Order 2021 March 09*

4.1.15.2 Long-Term Care Buildings

For the purpose of calculating the number of **dwelling units** in a **long-term care building**, two long-term care beds shall equal one long-term care **dwelling unit**.
(0174-2017)

4.1.15.3 *deleted by 0111-2019/LPAT Order 2021 March 09*

4.1.15.4 Reduced Landscaped Buffer

The required **landscaped buffer** of two abutting properties with zoning to permit **apartment, long-term care** and/or **retirement buildings** may be reduced to 0.0 m for that portion of the common **lot line** where there are shared **driveways** and/or **aisles**.
(0174-2017)

4.1.15.5 Guest Units

Guest units are permitted within RA1 to RA5 zones, subject to the following:
(0190-2014)

4.1.15.5.1 Guest units shall only be permitted in an **apartment** having 75 or more **dwelling units**, or in a **long-term care building** having 75 or more beds, or in a **retirement building** having 75 or more **retirement dwelling units**; *(0174-2017)*

4.1.15.5.2 A maximum of 5 guest units are permitted;

4.1.15.5.3 The maximum size of a guest unit shall not exceed 30 m²;

4.1.15.5.4 A kitchen is not permitted within a guest unit;

4.1.15.5.5 Additional on-site parking is not required for a guest unit permitted in Article 4.1.15.5.

4.1.16 Home Occupation

(0297-2013), (0144-2016), (0111-2019/LPAT Order 2021 March 09)

4.1.16.1 A **home occupation** is permitted within a **detached dwelling** in a Residential Zone subject to the following:

4.1.16.1.1 The following **home occupations** are permitted:

- (1) tutoring;
- (2) music instruction;
- (3) artist or artisan;
- (4) **office**.

4.1.16.1.2 The total area used for a **home occupation** shall not exceed 25% of the **gross floor area - residential** of the **detached dwelling**, to a maximum of 50 m²;

4.1.16.1.3 For the purpose of calculating the area devoted to a **home occupation**, **gross floor area - residential** shall include all areas above and below **established grade** used for the **home occupation**;

4.1.16.1.4 A **home occupation** shall be conducted wholly within a **detached dwelling**;

4.1.16.1.5 Only one **home occupation** shall be permitted within a **detached dwelling**;

4.1.16.1.6 The dwelling in which the **home occupation** is located shall be the principal private residence of a person or persons conducting the **home occupation** and they must not be an occasional or casual resident thereof;

4.1.16.1.7 A **home occupation** shall not employ staff who are not a resident of the **detached dwelling**;

4.1.16.1.8 **Outdoor storage** or outdoor display of merchandise, material or equipment associated with a **home occupation** is not permitted;

4.1.16.1.9 There shall be no visible indication from the exterior of the **detached dwelling** that a **home occupation** is carried on in the **detached dwelling**;

4.1.16.1.10 The maximum number of clients attending a **home occupation** at any one time shall be two;

4.1.16.1.11 A **home occupation** shall not create noise, vibration, fumes, odour, dust, glare, or radiation which is detectable outside of the **detached dwelling**;

4.1.16.1.12 In addition to the required number of **parking spaces** for the **detached dwelling**, one additional **parking space** for the **home occupation** shall be provided;

4.1.16.1.13 **Tandem parking spaces** shall be permitted;

4.1.16.1.14 An **aisle** adjacent to **parking spaces** is not required.

4.1.16.2 *(0297-2013), deleted by 0144-2016*

4.1.17 Resident Physician, Dentist, Drugless Practitioner or Health Professional

(0111-2019/LPAT Order 2021 March 09)

Where an **office** of a resident **physician, dentist, drugless practitioner** or **health professional** is legally **existing** on the date of passing of this By-law, it is deemed to be in compliance with the regulations of this By-law.

4.1.18 **Group Home**

A **group home** shall only be permitted within a **detached dwelling** in a Residential Zone.
(0379-2009), (0111-2019/LPAT Order 2021 March 09)

4.1.18.1 *deleted by 0111-2019/LPAT Order 2021 March 09*

4.1.18.2 *(0379-2009), deleted by 0111-2019/LPAT Order 2021 March 09*

4.1.18.3 *(0308-2011), deleted by 0111-2019/LPAT Order 2021 March 09*

4.1.19 **Receiving/Telecommunication Device**

A **receiving/telecommunication device** with a dish diameter exceeding 1.0 m shall comply with the regulations contained in Table 4.1.19 - Receiving/Telecommunication Device Regulations.

Table 4.1.19 - Receiving/Telecommunication Device Regulations

Column A		B
Line		
1.0	Location	Rear yard only or on the roof of a dwelling with more than three storeys
2.0	Maximum height from established grade to top of receiving/telecommunication device located in a rear yard	4.0 m
3.0	Minimum setback to any lot line where a receiving/telecommunication device is located in a rear yard	1.8 m

4.1.20 *(0158-2013), (0190-2014), (0174-2017), (0181-2018/LPAT Order 2019 February 15), (0111-2019/LPAT Order 2021 March 09), (0117-2022), deleted by 0174-2023*

4.1.21 **Height**
(0174-2017), (0111-2019/LPAT Order 2021 March 09), (0158-2023), (0203-2023/OLT Order 2024 September 09)

4.1.21.1 Notwithstanding any other provisions of this By-law, the calculation of **height** for **apartment, long-term care and retirement buildings** and **stacked townhouses**, shall be exclusive of mechanical or architectural appurtenances such as mechanical equipment, mechanical penthouse, elevator machine rooms, telecommunication equipment and enclosures, **parapets**, turrets, cupolas, and elevator and stair enclosures, located on the roof of a dwelling provided that the maximum **height** of the top of such elements is no higher than 6.0 m above the **height** limit otherwise applicable.

4.1.21.2 Notwithstanding any other provisions of this By-law, the calculation of **height** for **apartment, long-term care and retirement buildings**, shall be exclusive of an enclosed rooftop **amenity area** provided that:

(1) the enclosed **amenity area** does not occupy more than 30% of the rooftop;

(2) it is setback a minimum of 3.0 m from the outermost edge of the rooftop; and,

(3) the **height** of such element is no higher than 4.5 m above the **height** limit otherwise applicable.

4.1.22 **Maximum Gross Floor Area (GFA) - Infill Residential**

The **gross floor area (GFA) infill - residential** may be reduced by the area of void in a floor, to a maximum of 10% of the permitted maximum **gross floor area (GFA) infill - residential**. (0208-2022)

4.1.23

Fourplex
(0196-2023), (0182-2024), (0048-2025)

4.1.23.1

In addition to the provisions contained in Parts 1 to 3 and Section 4.1 (excluding Subsection 4.1.1 until such time as By-law 0174-2023 is in force and effect) of this By-law, new **fourplexes** shall comply with the provisions contained in Table 4.1.23.1 - New Fourplex.

Table 4.1.23.1 - New Fourplex

Column A		B
Line		
1.0	A new fourplex is permitted only in these zones	RL, RS, R16 and RM7
2.0	MINIMUM LOT AREA	
2.1	Interior lot	295 m ²
2.2	Corner lot	415 m ²
3.0	MINIMUM LOT FRONTAGE	
3.1	Interior lot	9.75 m
3.2	Corner lot	13.5 m
4.0	MAXIMUM LOT COVERAGE	✓ ⁽¹⁾
5.0	MINIMUM FRONT YARD	6.0 m
6.0	MINIMUM EXTERIOR SIDE YARD	4.5 m
7.0	MINIMUM INTERIOR SIDE YARD	1.2 m
8.0	MINIMUM REAR YARD	7.5 m
9.0	MAXIMUM DWELLING UNIT DEPTH	20.0 m
10.0	MAXIMUM HEIGHT - HIGHEST RIDGE: sloped roof	10.6 m
11.0	MAXIMUM HEIGHT: flat roof	8.1 m
12.0	PARKING AND DRIVEWAY	
12.1	Minimum parking spaces	✓ ⁽²⁾⁽³⁾
12.2	Maximum driveway width	✓ ⁽²⁾⁽³⁾

NOTES: (1) See Article 4.1.23.3 of this By-law.
 (2) See Subsection 4.1.9 of this By-law.
 (3) See Part 3 of this By-law.

4.1.23.2 The conversion of a **detached dwelling, semi-detached, linked dwelling, street townhouse, duplex or triplex** to a **fourplex** is permitted subject to the provisions contained in Table 4.1.23.2 and Article 4.1.23.4 of this By-law.

Table 4.1.23.2 - Conversion of an Existing Detached Dwelling, Semi-Detached, Linked Dwelling, Street Townhouse, Duplex and Triplex to a Fourplex

Column A		B
Line		
1.0	Conversion of a detached dwelling, semi-detached, linked dwelling, street townhouse, duplex or triplex legally existing on December 06, 2023, to a fourplex shall comply with the regulations of the zone in which it is located	✓ ⁽¹⁾
2.0	The enlargement of a detached dwelling, semi-detached, linked dwelling, street townhouse, duplex or triplex , legally existing on December 06, 2023, for the purposes of conversion to a fourplex shall not be permitted	✓

NOTE: (1) See Article 4.1.23.4 of this By-law.

4.1.23.3 The overall maximum **lot coverage** of a **lot** shall be permitted to increase by up to an additional 10% from the base zone requirement, of which 10% is solely calculated towards a new **fourplex**.

4.1.23.4 Notwithstanding the provisions of Line 12.2 contained in Table 4.1.23.1, Line 1.0 contained in Table 4.1.23.2, and Articles 4.1.9.1 and 4.1.9.2 of this By-law, maximum **driveway** width shall not apply to a **parking area** in a **rear yard**, subject to the following:

- (1)

the **parking area** shall only be accessed by a **driveway** in an **interior side yard** or **rear yard**;
- (2)

maximum of four **parking spaces** within the **parking area**.

4.2RL AND RS ZONES
(DETACHED DWELLINGS AND SEMI-DETACHED -
TYPICAL LOTS)

4.2.1RL and RS Permitted Uses and Zone Regulations
(0048-2025)

All **buildings** and **structures** shall comply with the provisions contained in Parts 1 to 3 and Section 4.1 of this By-law, and the **uses** and zone regulations specified within the applicable zone column contained in Table 4.2.1 - RL and RS Permitted Uses and Zone Regulations.

Table 4.2.1 - RL and RS Permitted Uses and Zone Regulations
(0379-2009), (0190-2014), (0181-2018/LPAT Order 2019 February 15), (0111-2019/LPAT Order 2021 March 09), (0018-2021), (0182-2024), (0048-2025)

Column A		B	C
Line 1.0	ZONES	RL Residential Large Lot	RS Residential Small Lot
2.0	RESIDENTIAL		
2.1	Detached Dwelling	✓ ⁽¹⁾⁽⁷⁾	✓ ⁽¹⁾⁽⁷⁾
2.2	Semi-Detached	✓ ⁽¹⁾	✓ ⁽¹⁾
3.0	MINIMUM LOT AREA		
3.1	Interior lot	Detached Dwelling: 550 m ²	Detached Dwelling: 285 m ²
		Semi-Detached: 340 m ²	Semi-Detached: 200 m ²
3.2	Corner lot	Detached Dwelling: 720 m ²	Detached Dwelling: 370 m ²
		Semi-Detached: 400 m ²	Semi-Detached: 280 m ²
4.0	MINIMUM LOT FRONTAGE		
4.1	Interior lot	Detached Dwelling: 15.0 m	Detached Dwelling: 9.75 m
		Semi-Detached: 9.0 m	Semi-Detached: 6.8 m
4.2	Corner lot	Detached Dwelling: 19.5 m	Detached Dwelling: 12.0 m
		Semi-Detached: 12.0 m	Semi-Detached: 9.8 m
5.0	MAXIMUM LOT COVERAGE	35%	Detached Dwelling: 40%
			Semi-Detached: 45%
6.0	MINIMUM FRONT YARD		
6.1	Interior lot	Detached Dwelling: 7.5 m ⁽²⁾	Detached Dwelling: 3.5 m ⁽²⁾
		Semi-Detached: 6.0 m ⁽²⁾	Semi-Detached: 4.5 m ⁽²⁾
6.2	Corner lot	Detached Dwelling: 6.0 m ⁽²⁾	Detached Dwelling: 3.5 m ⁽²⁾
		Semi-Detached: 6.0 m ⁽²⁾	Semi-Detached: 4.5 m ⁽²⁾

Table 4.2.1 continued on next page

Column A		B	C
Line 1.0	ZONES	RL Residential Large Lot	RS Residential Small Lot
Table 4.2.1 continued from previous page			
6.3	Garage face	Equal to the front yard	Detached Dwelling: 5.8 m
			Semi-Detached: 6.0 m
7.0	MINIMUM EXTERIOR SIDE YARD	6.0 m ⁽²⁾	3.5 m ⁽²⁾
7.1	Garage face	Equal to the exterior side yard	Detached Dwelling: 5.8 m
			Semi-Detached: 6.0 m
8.0	MINIMUM INTERIOR SIDE YARD		
8.1	Interior lot - Unattached side	Detached Dwelling: 1.2 m ⁽²⁾	Detached Dwelling: 1.2 m on one side of the lot and 0.61 m on the other side ⁽²⁾
		Semi-Detached: 1.8 m ⁽²⁾	Semi-Detached: 1.2 m ⁽²⁾
8.2	Interior lot - Attached side	0.0 m ⁽²⁾	0.0 m ⁽²⁾
8.3	Corner lot	Detached Dwelling: 1.2 m ⁽²⁾	Detached Dwelling: 0.61 m ⁽²⁾
9.0	MINIMUM REAR YARD		
9.1	Interior lot	7.5 m ⁽²⁾	Detached Dwelling: 7.0 m ⁽²⁾
			Semi-Detached: 7.5 m ⁽²⁾
9.2	Corner lot	Detached Dwelling: 3.0 m ⁽²⁾	Detached Dwelling: 7.0 m ⁽²⁾
		Semi-Detached: 7.5 m ⁽²⁾	Semi-Detached: 7.5 m ⁽²⁾
10.0	MAXIMUM HEIGHT - HIGHEST RIDGE sloped roof	10.7 m	10.7 m
11.0	MAXIMUM HEIGHT: flat roof	7.5 m	7.5 m
12.0	ATTACHED GARAGE, PARKING AND DRIVEWAY		
12.1	Attached garage	Permitted ⁽³⁾	Permitted ⁽³⁾
12.2	Minimum parking spaces	✓ ⁽⁴⁾⁽⁵⁾	✓ ⁽⁴⁾⁽⁵⁾
12.3	Maximum driveway width	✓ ⁽⁴⁾	✓ ⁽⁴⁾
12.4	Minimum landscaped soft area in the yard containing the driveway	Detached Dwelling: 40% of the front yard or exterior side yard	Detached Dwelling: 30% of the front yard or exterior side yard
		Semi-Detached: n/a	Semi-Detached: n/a

Table 4.2.1 continued on next page

Column A		B	C
Line 1.0	ZONES	RL Residential Large Lot	RS Residential Small Lot
Table 4.2.1 continued from previous page			
13.0	ACCESSORY BUILDINGS AND STRUCTURES	✓ ⁽⁶⁾	✓ ⁽⁶⁾
14.0	MAXIMUM DWELLING UNIT DEPTH	20.0 m	20.0 m

- NOTES:
- (1) See also Subsections 4.1.1 and 4.1.17 of this By-law.
 - (2) See also Subsections 4.1.7 and 4.1.8 of this By-law.
 - (3) See Subsection 4.1.12 of this By-law.
 - (4) See Subsection 4.1.9 of this By-law.
 - (5) See Part 3 of this By-law.
 - (6) See Subsection 4.1.2 of this By-law.
 - (7) See also Subsection 4.1.16 of this By-law.

4.2.2

Residential Large Lot Exception Zones
(0048-2025)

Refer to Article 1.1.2.3 - Exception Zones and Exception Zone Schedules

In addition to the **uses** and regulations contained in Subsection 4.2.1 - RL and RS Permitted Uses and Zone Regulations, the regulations contained in Table 4.2.2 - Residential Large Lot Infill Exception Regulations shall apply where specified by a RL Exception Zone.

Table 4.2.2 - Residential Large Lot Infill Exception Regulations
(0325-2008), (0308-2011), (0048-2025)

Column A		B
Line		
1.0	MINIMUM INTERIOR SIDE YARD	
1.1	Interior lot - detached dwelling - with a lot frontage less than 18.0 m	1.2 m
1.2	Interior lot - detached dwelling - with a lot frontage equal to or greater than 18.0 m	1.8 m
2.0	MINIMUM COMBINED WIDTH OF SIDE YARDS	
2.1	One storey dwelling	20% of the lot frontage
2.2	Dwelling with more than one storey	27% of the lot frontage
3.0	MAXIMUM GROSS FLOOR AREA - INFILL RESIDENTIAL	Detached Dwelling: 190 m ² plus 0.20 times the lot area
		Semi-Detached: 150 m ² plus 0.20 times the lot area
4.0	GARAGE PROJECTION: maximum projection of the garage beyond the front wall or exterior side wall of the first storey	2.5 m

4.2.2.1	Exception: RL-1	Map # 02, 07, 08	By-law: 0226-2022, 0048-2025
In a RL-1 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Regulation			
4.2.2.1.1	The regulations contained in Subsection 4.2.2 of this By-law shall apply		

4.2.2.2	Exception: RL-2	Map # 02, 03, 07, 08, 09	By-law: 0048-2025
In a RL-2 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Regulation			
4.2.2.2.1	The regulations contained in Subsection 4.2.2 of this By-law shall apply		
4.2.2.2.2	<i>deleted</i>		

4.2.2.3	Exception: RL-3	Map # 08	By-law: 0048-2025
In a RL-3 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Regulation			
4.2.2.3.1	The regulations contained in Subsection 4.2.2 of this By-law shall apply		
4.2.2.3.2	<i>deleted</i>		
4.2.2.3.3	<i>deleted</i>		

4.2.2.4	Exception: RL-4	Map # 02, 03, 08, 09, 10	By-law: OLT Order 2021 August 10/ 2021 November 09, 0048-2025
In a RL-4 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Regulation			
4.2.2.4.1	The regulations contained in Subsection 4.2.2 of this By-law shall apply		

4.2.2.5	Exception: RL-5	Map # 09	By-law: 0048-2025
In a RL-5 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Regulations			
4.2.2.5.1	The regulations contained in Subsection 4.2.2 of this By-law shall apply		
4.2.2.5.2	<i>deleted</i>		

4.2.2.6	Exception: RL-6	Map # 02, 03, 07, 08, 09, 10	By-law: 0225-2017, LPAT Order 2020 June 01, 0048-2025
In a RL-6 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Regulation			
4.2.2.6.1	The regulations contained in Subsection 4.2.2 of this By-law shall apply		
4.2.2.6.2	<i>deleted</i>		

4.2.2.7	Exception: RL-7	Map # 02, 03, 07, 08, 09, 10	By-law: 0247-2016, 0131-2024, 0048-2025
In a RL-7 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Regulations			
4.2.2.7.1	The regulations contained in Subsection 4.2.2 of this By-law shall apply		
4.2.2.7.2	<i>deleted</i>		

4.2.2.8	Exception: RL-8	Map # 07	By-law: 0048-2025
In a RL-8 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Regulations			
4.2.2.8.1	The regulations contained in Subsection 4.2.2 of this By-law shall apply		
4.2.2.8.2	The regulations of Line 4.1 contained in Table 4.2.1 of this By-law shall not apply		
4.2.2.8.3	Access to all lots shall be via a common frontage on Carmen Drive		

4.2.2.9	Exception: RL-9	Map # 03, 07, 08, 09, 10	By-law: 0131-2019, OLT Order 2021 August 10/ 2021 November 09, 0068-2022, 0048-2025
In a RL-9 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Regulation			
4.2.2.9.1	The regulations contained in Subsection 4.2.2 of this By-law shall apply		

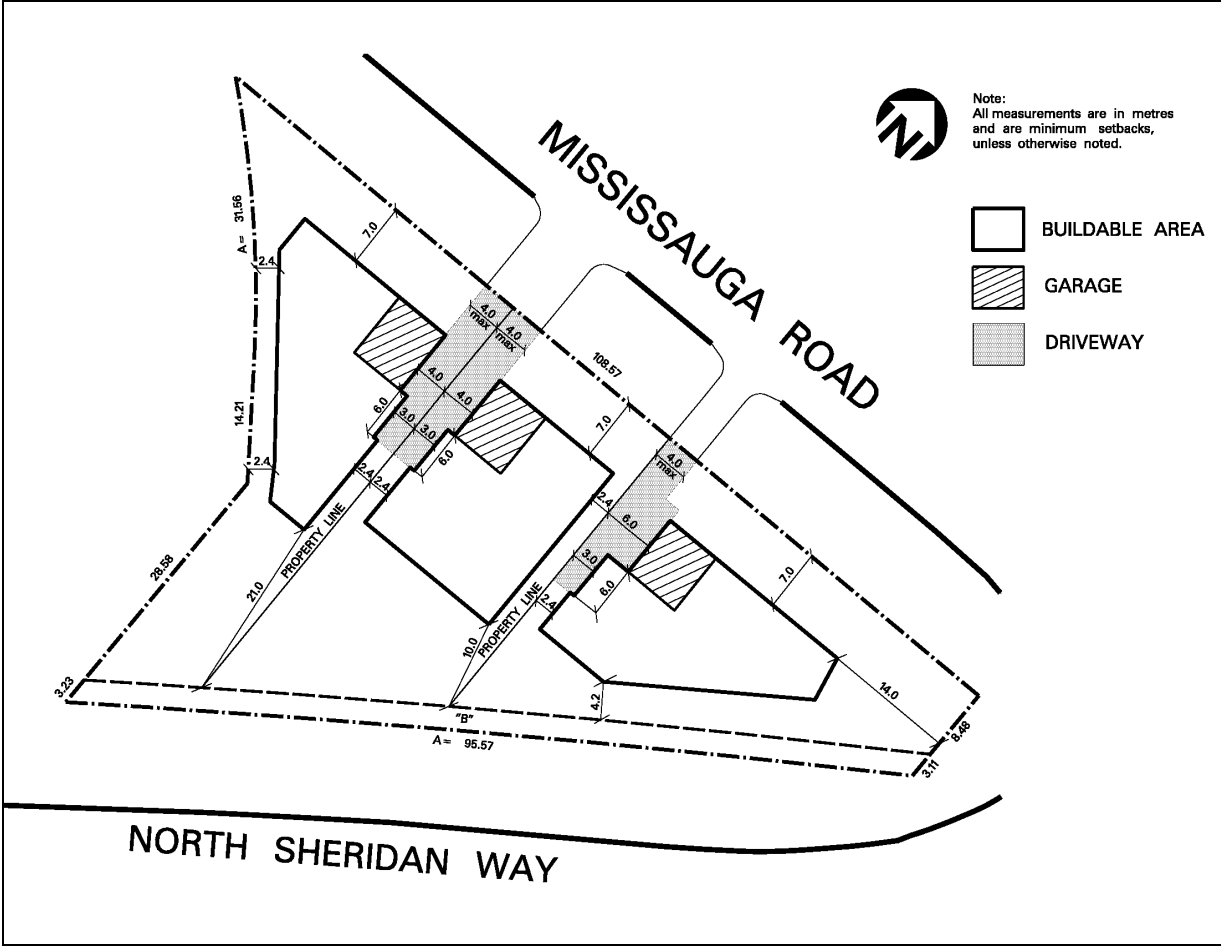
4.2.2.10	Exception: RL-10	Map # 03, 07, 08, 10	By-law: 0048-2025
In a RL-10 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Regulation			
4.2.2.10.1	The regulations contained in Subsection 4.2.2 of this By-law shall apply		
4.2.2.10.2	<i>deleted</i>		

4.2.2.11	Exception: RL-11	Map # 03, 07, 08, 10	By-law: 0048-2025
In a RL-11 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Regulation			
4.2.2.11.1	The regulations contained in Subsection 4.2.2 of this By-law shall apply		
4.2.2.11.2	<i>deleted</i>		

4.2.2.12	Exception: RL-12	Map # 09	By-law: 0048-2025												
In a RL-12 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:															
Regulations															
4.2.2.12.1	The regulations contained in Subsection 4.2.2 of this By-law shall apply														
4.2.2.12.2	A detached dwelling shall comply with the RL zone regulations contained in Subsection 4.2.1 of this By-law except that: <table><tr><td>(1)</td><td>minimum lot area - interior lot</td><td>420 m²</td></tr><tr><td>(2)</td><td>minimum lot area - corner lot</td><td>585 m²</td></tr><tr><td>(3)</td><td>minimum lot frontage - interior lot</td><td>14.0 m</td></tr><tr><td>(4)</td><td>minimum lot frontage - corner lot</td><td>18.0 m</td></tr></table>			(1)	minimum lot area - interior lot	420 m ²	(2)	minimum lot area - corner lot	585 m ²	(3)	minimum lot frontage - interior lot	14.0 m	(4)	minimum lot frontage - corner lot	18.0 m
(1)	minimum lot area - interior lot	420 m ²													
(2)	minimum lot area - corner lot	585 m ²													
(3)	minimum lot frontage - interior lot	14.0 m													
(4)	minimum lot frontage - corner lot	18.0 m													

4.2.2.13	Exception: RL-13	Map #	By-law: <i>deleted by LPAT Order 2019 August 20, 0048-2025</i>

4.2.2.14	Exception: RL-14	Map # 16	By-law: 0181-2016, 0208-2022, 0048-2025
In a RL-14 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses/regulations shall apply:			
Regulations			
4.2.2.14.1	<i>deleted</i>		
4.2.2.14.2	<i>deleted</i>		
4.2.2.14.3	<i>deleted</i>		
4.2.2.14.4	<i>deleted</i>		
4.2.2.14.5	The lot line abutting Mississauga Road shall be deemed to be the front lot line		
4.2.2.14.6	<i>deleted</i>		
4.2.2.14.7	<i>deleted</i>		
4.2.2.14.8	Driveways and parking areas shall be constructed of a pervious material		
4.2.2.14.9	Accessory buildings and structures and swimming pools may be located outside the buildable area and shall only be located in the rear yard		
4.2.2.14.10	All site development plans shall comply with Schedule RL-14 of this Exception		



Schedule RL-14
Map 16

4.2.2.15	Exception: RL-15	Map # 10	By-law: 0048-2025
In a RL-15 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Regulations			
4.2.2.15.1	<i>deleted</i>		
4.2.2.15.2	<i>deleted</i>		
4.2.2.15.3	Minimum setback from Clarkson Road North		18.0 m

4.2.2.16	Exception: RL-16	Map # 17	By-law: 0379-2009, 0048-2025
In a RL-16 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Regulations			
4.2.2.16.1	The provisions contained in Subsection 4.1.16 and 4.1.17 of this By-law shall not apply		
4.2.2.16.2	<i>deleted</i>		
4.2.2.16.3	<i>deleted</i>		
4.2.2.16.4	<i>deleted</i>		
4.2.2.16.5	<i>deleted</i>		
4.2.2.16.6	<i>deleted</i>		
4.2.2.16.7	<i>deleted</i>		
4.2.2.16.8	Tennis courts or any like recreational facilities shall not be permitted in the front yard		

4.2.2.17	Exception: RL-17	Map #	By-law: <i>deleted by 0048-2025</i>

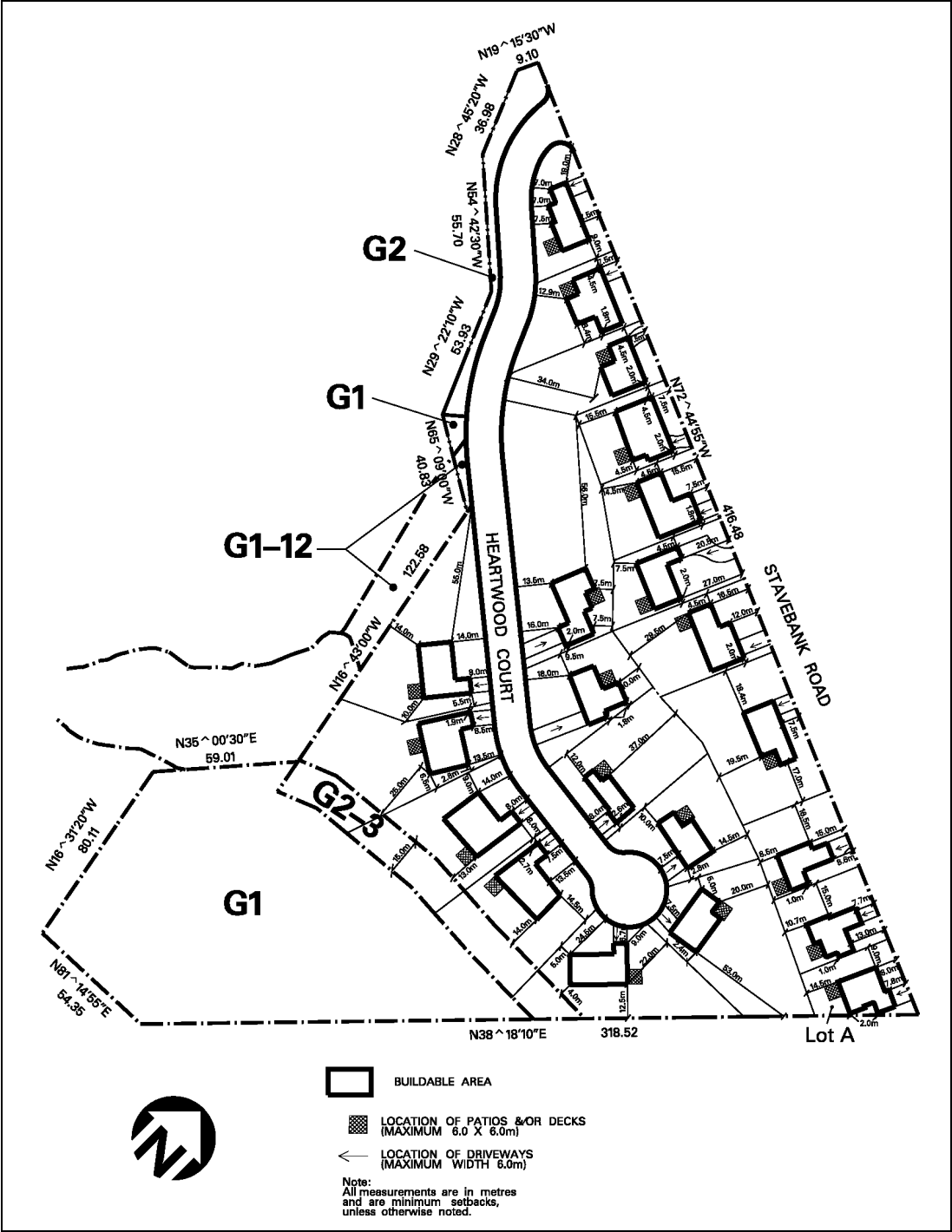
4.2.2.18	Exception: RL-18	Map #	By-law: <i>deleted by 0048-2025</i>

4.2.2.19	Exception: RL-19	Map # 24	By-law: 0048-2025
In a RL-19 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Regulations			
4.2.2.19.1	<i>deleted</i>		
4.2.2.19.2	<i>deleted</i>		
4.2.2.19.3	<i>deleted</i>		
4.2.2.19.4	<i>deleted</i>		
4.2.2.19.5	<i>deleted</i>		
4.2.2.19.6	Minimum number of parking spaces per dwelling unit	2	
4.2.2.19.7	Maximum projection of a garage beyond the main front entrance	0.0 m	
4.2.2.19.8	Maximum garage width: measured from the inside face of the garage side walls	5.5 m	
4.2.2.19.9	Maximum driveway width per lot	5.5 m	

4.2.2.20	Exception: RL-20	Map # 31	By-law: 0308-2011, 0048-2025
In a RL-20 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Regulations			
4.2.2.20.1	<i>deleted</i>		
4.2.2.20.2	A detached dwelling shall comply with the RL zone regulations contained in Subsection of this By-law except that:		
	(1) minimum front yard	6.5 m	
	(2) minimum exterior side yard	4.5 m	
	(3) minimum setback to the rear lot line , where lands contain or abut a G2-3 or G2-4(12) zone	29.0 m	

4.2.2.21	Exception: RL-21	Map #	By-law: <i>deleted by 0048-2025</i>

4.2.2.22	Exception: RL-22	Map # 15	By-law: 0325-2008, 0208-2022, 0048-2025
In a RL-22 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses/regulations shall apply:			
Regulations			
4.2.2.22.1	<i>deleted</i>		
4.2.2.22.2	<i>deleted</i>		
4.2.2.22.3	<i>deleted</i>		
4.2.2.22.4	The areas outside the buildable areas and driveway locations identified on Schedule RL-22 of this Exception are tree preservation areas and shall only be used for conservation purposes and no buildings or structures , swimming pools , tennis courts or any like recreational facilities shall be permitted outside the buildable areas , except for fences along the lot lines , patios and/or decks		
4.2.2.22.5	All site development plans shall comply with Schedule RL-22 of this Exception		



Schedule RL-22
Map 15

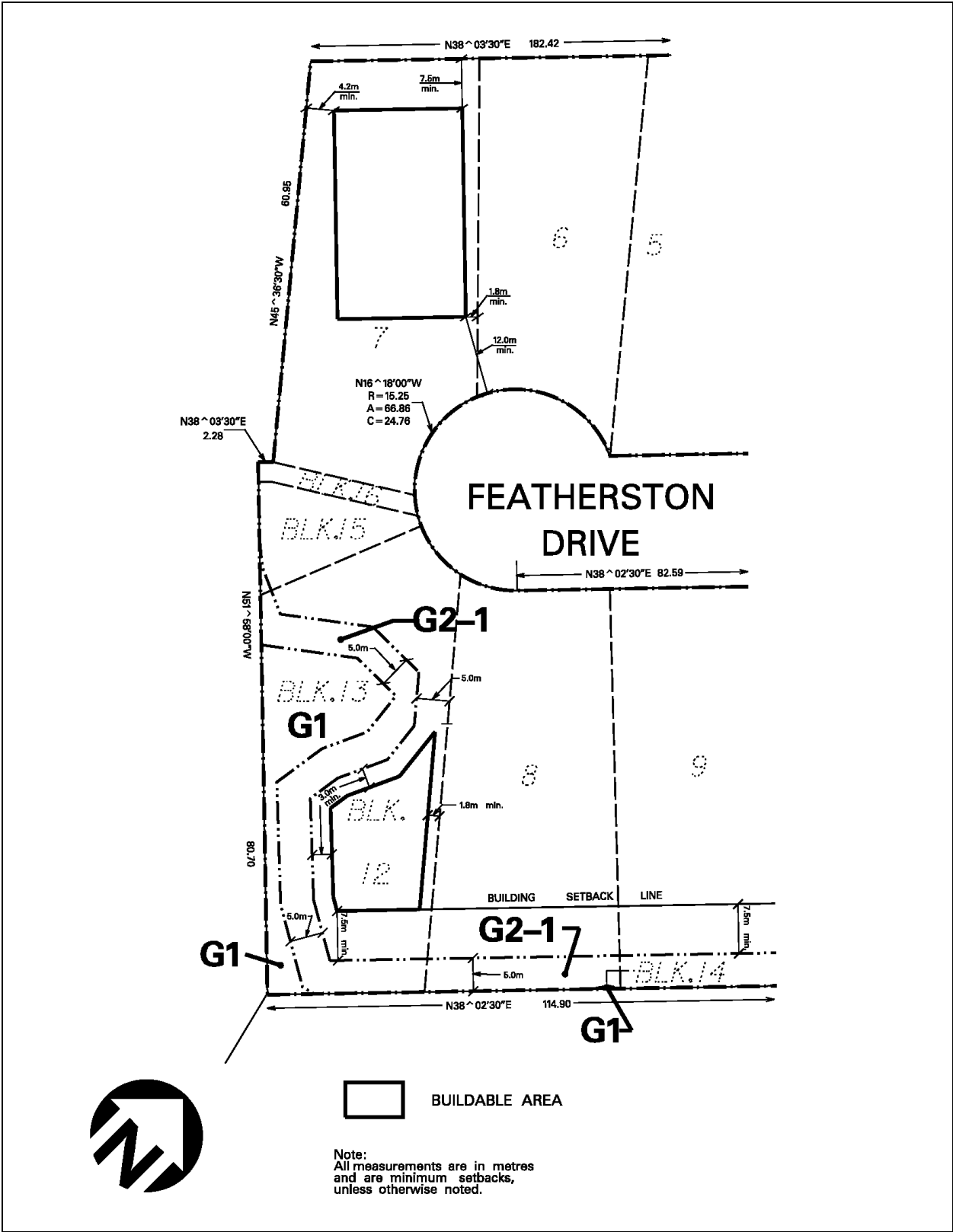
4.2.2.23	Exception: RL-23	Map # 31	By-law: 0308-2011, 0048-2025
In a RL-23 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Regulations			
4.2.2.23.1	<i>deleted</i>		
4.2.2.23.2	A detached dwelling shall comply with the RL zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1) minimum front yard	6.5 m	
4.2.2.23.3	<i>deleted</i>		
4.2.2.23.4	Minimum setback to the rear lot line	30.0 m	
4.2.2.23.5	Notwithstanding Sentence 4.2.2.23.4, minimum setback to the rear lot line of all accessory buildings and structures and swimming pools	15.0 m	

4.2.2.24	Exception: RL-24	Map # 38W	By-law: 0048-2025
In a RL-24 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Regulations			
4.2.2.24.1	Maximum lot coverage - detached dwelling not exceeding one storey	40%	
4.2.2.24.2	<i>deleted</i>		
4.2.2.24.3	<i>deleted</i>		
4.2.2.24.4	<i>deleted</i>		
4.2.2.24.5	Minimum rear yard	30.0 m	
4.2.2.24.6	Minimum setback to the rear lot line of all accessory buildings and structures and swimming pools	15.0 m	

4.2.2.25	Exception: RL-25	Map # 39E	By-law: 0048-2025
In a RL-25 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Regulation			
4.2.2.25.1	Maximum lot coverage - detached dwelling not exceeding one storey		40%
4.2.2.25.2	deleted		
4.2.2.25.3	deleted		
4.2.2.25.4	deleted		

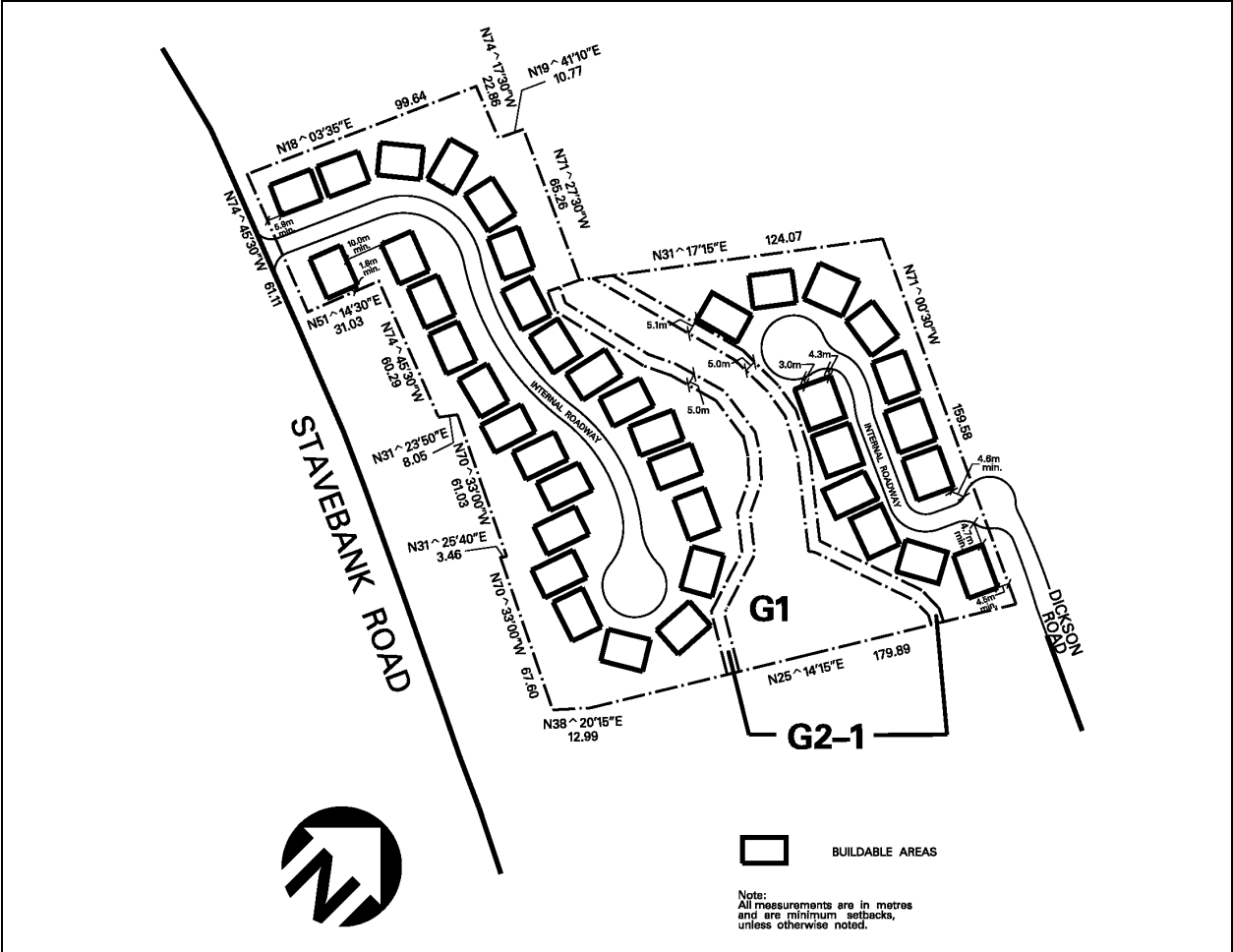
4.2.2.26	Exception: RL-26	Map # 56	By-law: 0048-2025
In a RL-26 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses/regulations shall apply:			
Additional Permitted Use			
4.2.2.26.1	(1)	Veterinary Clinic	
Regulations			
4.2.2.26.2	A veterinary clinic shall comply with the RL zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1)	minimum depth of a landscaped buffer measured from the lot line abutting Britannia Road West	4.5 m
	(2)	"Veterinary Clinic" means a building, structure or part thereof, where domesticated animals, excluding livestock, are given medical and/or surgical treatment, grooming or care by a veterinarian licensed by the Province of Ontario. Indoor overnight boarding of animals shall be permitted.	

4.2.2.27	Exception: RL-27	Map # 24	By-law: 0048-2025
In a RL-27 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses/regulations shall apply:			
Regulations			
4.2.2.27.1	Minimum lot area - interior lot		1200 m ²
4.2.2.27.2	Minimum lot frontage - interior lot		22.8 m
4.2.2.27.3	Maximum lot coverage		285 m ²
4.2.2.27.4	Minimum front yard - interior lot		12.0 m
4.2.2.27.5	Minimum interior side yard - interior lot		4.2 m on one side and 1.8 m + 0.61 m for each additional storey or portion thereof above one storey on the other side
4.2.2.27.6	Minimum rear yard - interior lot that abuts an RL zone		7.5 m
4.2.2.27.7	Minimum rear yard - all other interior lots		12.5 m
4.2.2.27.8	Maximum height - highest ridge: sloped roof		9.5 m
4.2.2.27.9	All site development plans shall comply with Schedule RL-27 of this Exception		



Schedule RL-27
Map 24

4.2.2.28	Exception: RL-28	Map # 15	By-law: 0181-2018/LPAT Order 2019 February 15, 0208-2022, 0048-2025
In a RL-28 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses/regulations shall apply:			
Regulations			
4.2.2.28.1	Maximum number of dwelling units on all lands zoned RL-28		40
4.2.2.28.2	Minimum landscaped area		45% of lot area
4.2.2.28.3	Maximum gross floor area - residential per detached dwelling		445 m ²
4.2.2.28.4	Minimum setback to a condominium road		4.5 m
4.2.2.28.5	Minimum setback of a garage face to a condominium road		6.0 m
4.2.2.28.6	Minimum distance between buildings		3.0 m
4.2.2.28.7	Minimum setback of all buildings and structures to any lot line or lands zoned G1		7.5 m
4.2.2.28.8	Maximum height - highest ridge: sloped roof		11.5 m
4.2.2.28.9	<i>deleted</i>		
4.2.2.28.10	Height of all buildings and structures shall be measured from established grade		
4.2.2.28.11	Maximum projection of a porch or deck outside the buildable area identified on Schedule RL-28 of this Exception, provided that the minimum distance between any building or structure shall be 3.0 m		2.5 m
4.2.2.28.12	Maximum projection of a bay window, with or without a foundation or chimney outside the buildable area identified on Schedule RL-28 of this Exception, provided that the minimum distance between any buildings or structures shall be 3.0 m		1.5 m
4.2.2.28.13	Minimum number of parking spaces per dwelling unit		4
4.2.2.28.14	All site development plans shall comply with Schedule RL-28 of this Exception		



Schedule RL-28
Map 15

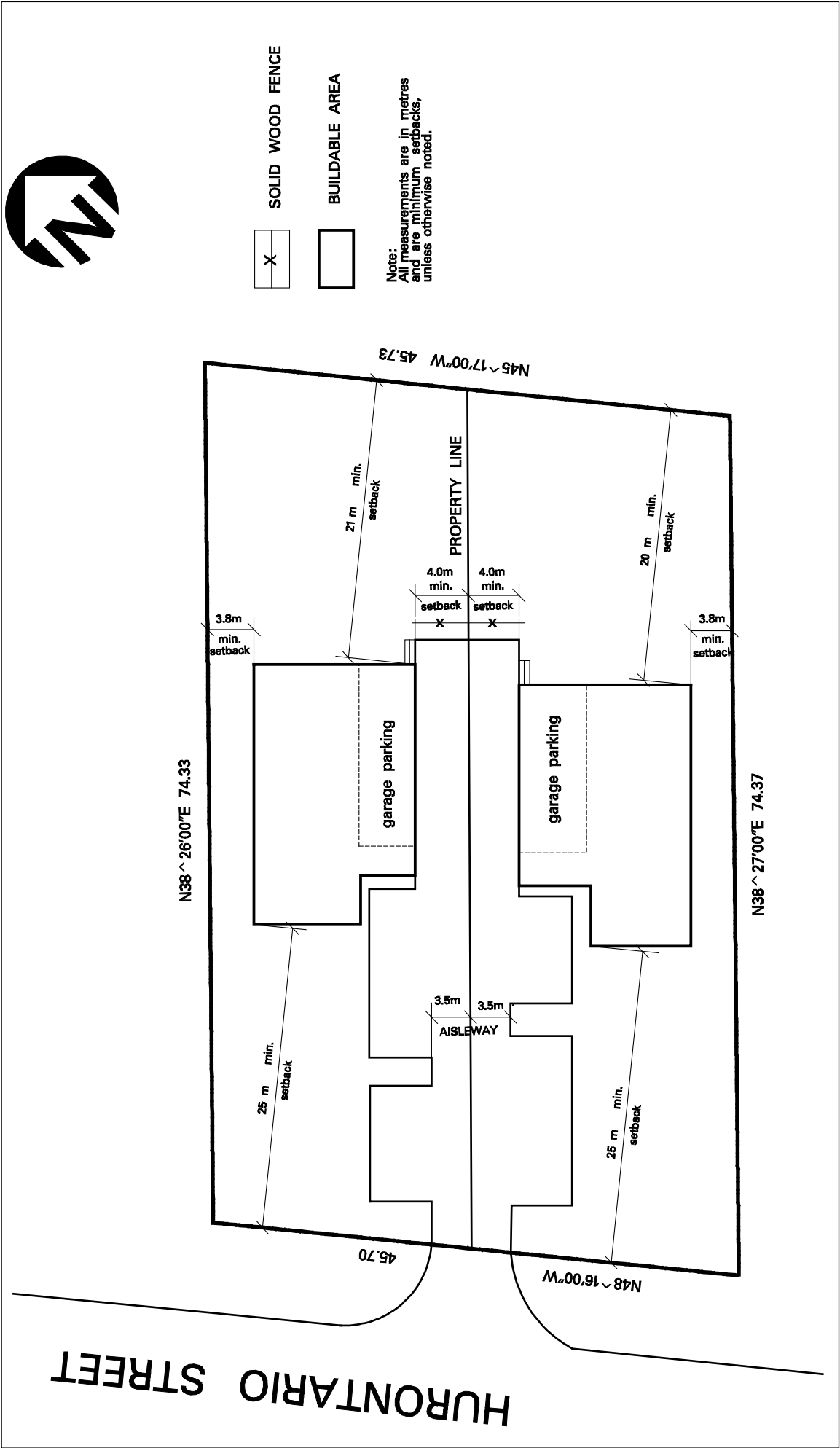
4.2.2.29	Exception: RL-29	Map # 07	By-law: 0054-2009, 0171-2015/OMB Order 2016 April 04, 0193-2016/ OMB Order 2017 May 30, 0048-2025
In a RL-29 zone the applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Permitted Uses			
4.2.2.29.1	Lands zoned RL-29 shall only be used for the following: (1) Detached Dwelling or (2) Semi-Detached or (3) Office or (4) Office with one dwelling unit (5) Outdoor swimming pool accessory to an office or an office with one dwelling unit		
Regulations			
4.2.2.29.2	<i>deleted</i>		
4.2.2.29.3	Maximum gross floor area - non-residential	383 m ²	
4.2.2.29.4	Maximum driveway width for an office or an office with one dwelling unit	13.0 m	
4.2.2.29.5	Minimum depth of a landscaped buffer adjacent to Hurontario Street	7.5 m	
4.2.2.29.6	<i>deleted</i>		
4.2.2.29.7	<i>deleted</i>		
4.2.2.29.8	<i>deleted</i>		
4.2.2.29.9	<i>deleted</i>		
4.2.2.29.10	Maximum number of accessory buildings and structures for an office or an office with one dwelling unit	2	
4.2.2.29.11	Maximum number of tandem parking spaces	4	
4.2.2.29.12	An aisle adjacent to tandem parking spaces shall not be required		
4.2.2.29.13	Parking areas may be constructed of a permeable type of material		
4.2.2.29.14	An outdoor swimming pool permitted in Clause 4.2.2.29.1(5) of this Exception shall comply with the provisions contained in Sentences 4.1.4.1.1 and 4.1.4.1.2 of this By-law		

4.2.2.30	Exception: RL-30	Map # 07	By-law: 0171-2015/OMB Order 2016 April 04, 0212-2015, 0193-2016/ OMB Order 2017 May 30, 0048-2025
In a RL-30 zone the applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Permitted Uses			
4.2.2.30.1	Lands zoned RL-30 shall only be used for the following:		
	(1) Detached Dwelling or		
	(2) Semi-Detached or		
	(3) Office		
	(4) Medical Office - Restricted		
Regulation			
4.2.2.30.2	Maximum total gross floor area - non-residential	130 m ²	
4.2.2.30.3	<i>deleted</i>		
4.2.2.30.4	<i>deleted</i>		
4.2.2.30.5	<i>deleted</i>		
4.2.2.30.6	<i>deleted</i>		
4.2.2.30.7	<i>deleted</i>		

4.2.2.31	Exception: RL-31	Map # 07	By-law: 0171-2015/OMB Order 2016 April 04, 0193-2016/OMB Order 2017 May 30, 0048-2025
In a RL-31 zone the applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Permitted Uses			
4.2.2.31.1	Lands zoned RL-31 shall only be used for the following:		
	(1) Detached Dwelling or		
	(2) Semi-Detached or		
	(3) Dental Laboratory or		
	(4) Office and/or Medical Office - Restricted		
Regulations			
4.2.2.31.2	<i>deleted</i>		
4.2.2.31.3	<i>deleted</i>		
4.2.2.31.4	<i>deleted</i>		
4.2.2.31.5	<i>deleted</i>		
4.2.2.31.6	<i>deleted</i>		
4.2.2.31.7	A dental laboratory, office and a medical office - restricted shall comply with the RL zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1)	minimum lot frontage - interior lot	20.0 m
	(2)	maximum total gross floor area - non-residential	80 m ²
	(3)	minimum parking spaces per 100 m ² gross floor area - non-residential used for a dental laboratory	3.2

4.2.2.32	Exception: RL-32	Map # 07	By-law: 0048-2025
In a RL-32 zone the applicable regulations shall be as specified for a RL zone except that the following uses/regulations shall apply:			
Permitted Uses			
4.2.2.32.1	Lands zoned RL-32 shall only be used for the following:		
	(1) Office		
	(2) Medical Office - Restricted		
Regulations			
4.2.2.32.2	Minimum lot frontage - interior lot		30.0 m
4.2.2.32.3	Maximum total gross floor area - non-residential		585 m ²

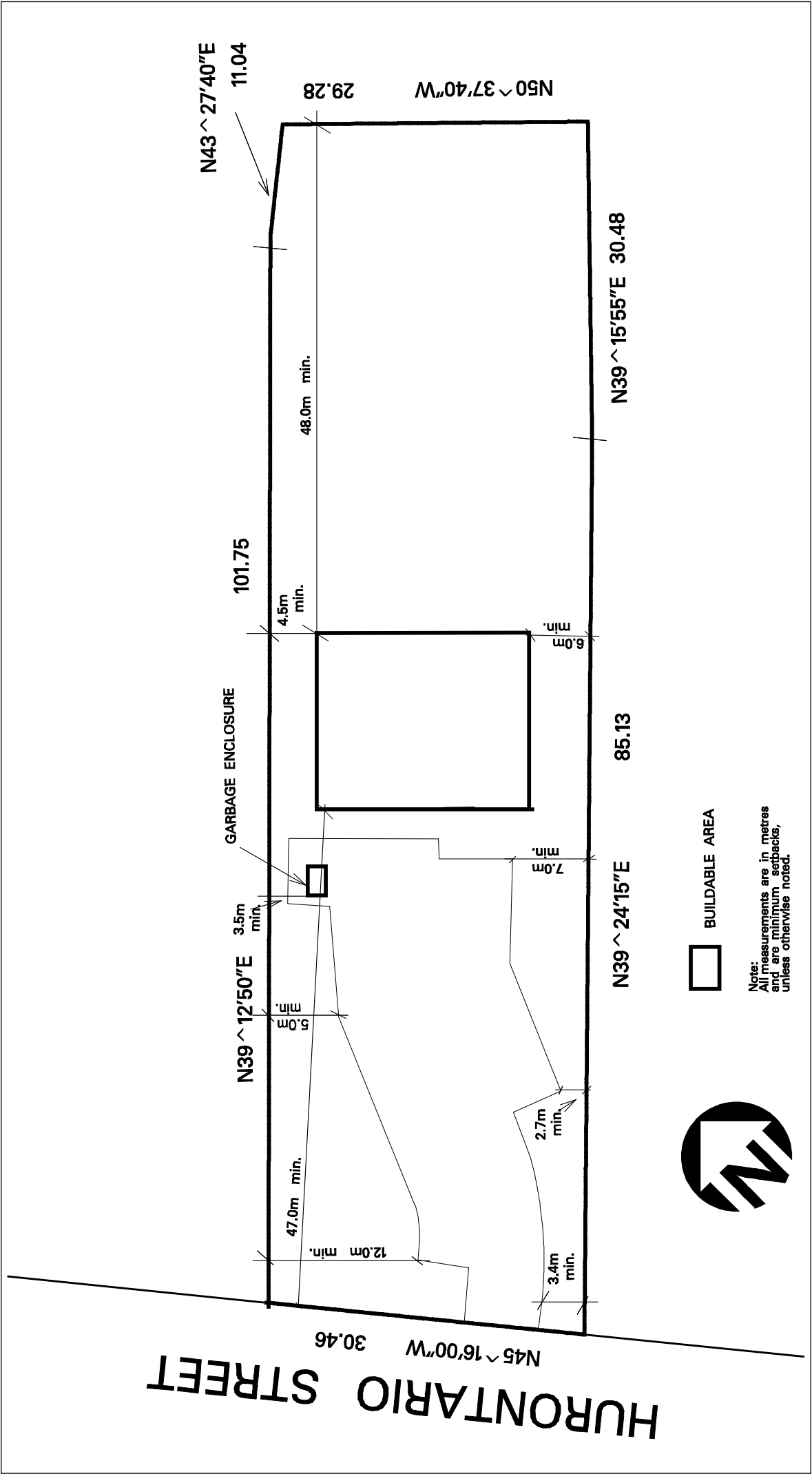
4.2.2.33	Exception: RL-33	Map # 07	By-law: 0048-2025
In a RL-33 zone the applicable regulations shall be as specified for a RL zone except that the following uses/regulations shall apply:			
Permitted Uses			
4.2.2.33.1	Lands zoned RL-33 shall only be used for the following:		
	(1) Office		
	(2) Medical Office - Restricted		
Regulations			
4.2.2.33.2	Maximum gross floor area - non-residential		418 m ²
4.2.2.33.3	An office and medical office - restricted shall not be permitted below average grade		
4.2.2.33.4	Minimum number of parking spaces for a medical office - restricted		The greater of 5.0 spaces per practitioner, or 6.5 spaces per 100 m ² gross floor area - non-residential
4.2.2.33.5	No outdoor storage shall be permitted		
4.2.2.33.6	All site development plans shall comply with Schedule RL-33 of this Exception		



Schedule RL-33
Map 07

4.2.2.34	Exception: RL-34	Map # 15	By-law: 0048-2025
In a RL-34 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses/regulations shall apply:			
Regulations			
4.2.2.34.1	The regulations of Line 4.1 contained in Table 4.2.1 of this By-law shall not apply		
4.2.2.34.2	Minimum setback of all buildings and structures to G1 and G1-12 zones		10.0 m
4.2.2.34.3	Access shall be permitted from lands zoned G1-12		

4.2.2.35	Exception: RL-35	Map # 07	By-law: 0208-2022, 0048-2025
In a RL-35 zone the applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Permitted Uses			
4.2.2.35.1	Lands zoned RL-35 shall only be used for the following:		
	(1) Office (2) Medical Office - Restricted		
Use Not Permitted			
4.2.2.35.2	(1) Office and/or medical office - restricted that requires more than 23 parking spaces		
Regulations			
4.2.2.35.3	Minimum landscaped area	65% of lot area	
4.2.2.35.4	Maximum gross floor area - non-residential	552 m ²	
4.2.2.35.5	The use of any part of the building below established grade shall be restricted to the following:		
	(1) climate control, electrical, energy generation and distribution, mechanical equipment related to the operation or maintenance of the building ; (2) areas of stairwells, washrooms or elevators; (3) collection or storage of disposable or recyclable waste generated within the building ; (4) storage incidental to permitted uses in the building ; (5) lunch rooms, lounges or washrooms for the personal needs of occupants of the building .		
4.2.2.35.6	Maximum height - highest ridge: sloped roof	11.6 m	
4.2.2.35.7	Maximum encroachment of a porch outside the buildable area identified on Schedule RL-35 of this Exception, into the required front yard	1.7 m	
4.2.2.35.8	Maximum encroachment of an uncovered ramp for handicapped access outside the buildable area identified on Schedule RL-35 of this Exception into the required northerly interior side yard	3.0 m	
4.2.2.35.9	Maximum number of parking spaces	23	
4.2.2.35.10	All site development plans shall comply with Schedule RL-35 of this Exception		



Schedule RL-35
Map 07

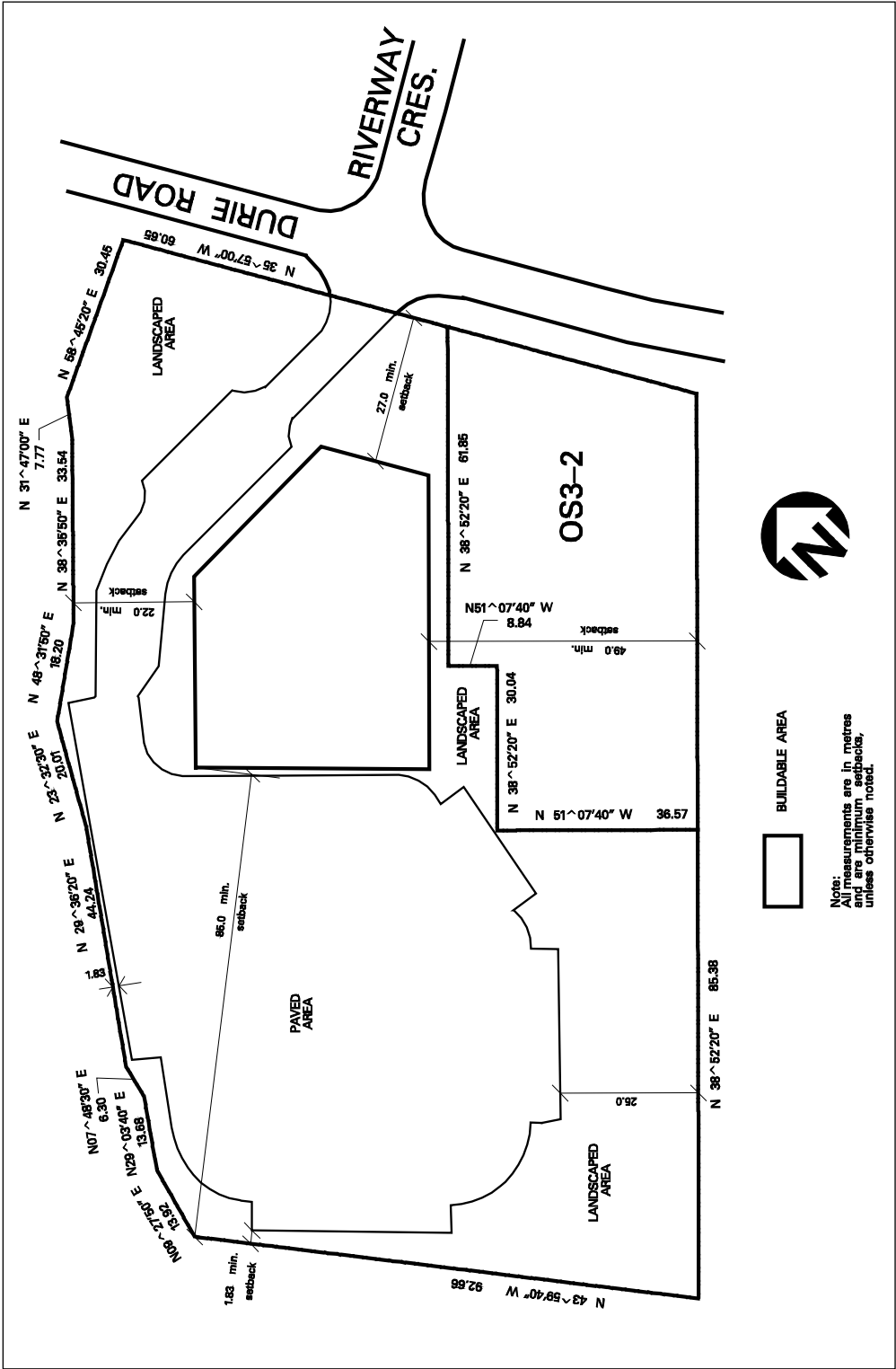
4.2.2.36	Exception: RL-36	Map #	By-law: <i>deleted by 0048-2025</i>

4.2.2.37	Exception: RL-37	Map # 38E	By-law: 0048-2025
In a RL-37 zone the applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Permitted Uses			
4.2.2.37.1	Lands zoned RL-37 shall only be used for the following:		
	(1) Place of Religious Assembly		
	(2) Accessory uses to a place of religious assembly		
Regulations			
4.2.2.37.2	The regulations of Line 2.2 contained in Table 2.1.9.3 of this By-law shall not apply		
4.2.2.37.3	Minimum interior side yard - interior lot	12.0 m	
4.2.2.37.4	Maximum height	13.5 m	
4.2.2.37.5	Accessory uses to a place of religious assembly shall only include administrative offices associated with a place of religious assembly , a day care and a private community centre		

4.2.2.38	Exception: RL-38	Map # 38W	By-law: 0048-2025
In a RL-38 zone the applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Permitted Uses			
4.2.2.38.1	Lands zoned RL-38 shall only be used for the following:		
	(1) Place of Religious Assembly		
	(2) Accessory uses to a place of religious assembly		
Regulations			
4.2.2.38.2	Maximum gross floor area - non-residential	1 430 m ²	
4.2.2.38.3	Minimum front yard - interior lot	27.0 m	
4.2.2.38.4	Minimum interior side yard - interior lot	49.0 m on one side and 22.0 m on the other side	
4.2.2.38.5	Minimum rear yard - interior lot	85.0 m	
4.2.2.38.6	Maximum height including any steeple or spire	12.2 m	
4.2.2.38.7	Minimum number of parking spaces	198	

Exception RL-38 continued on next page

4.2.2.38	Exception: RL-38	Map # 38W	By-law: 0048-2025
Exception RL-38 continued from previous page			
4.2.2.38.8	A basement shall not be permitted under the nave or parish hall		
4.2.2.38.9	Maximum seating within the nave, based on a seat width of 0.51 m per person and 0.914 m between the back of each seat and the back of the seat immediately behind it	690 persons	
4.2.2.38.10	The interior wall separating the nave and the parish hall shall be of solid block construction, with no doorway, windows or openings of any kind		
4.2.2.38.11	Accessory uses to a place of religious assembly shall only include a parish hall, rectory and office , but shall not include a day care		
4.2.2.38.12	All site development plans shall comply with Schedule RL-38 of this Exception		



Schedule RL-38
Map 38W

4.2.2.39	Exception: RL-39	Map # 37E	By-law: 0048-2025
In a RL-39 zone the applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Permitted Uses			
4.2.2.39.1	Lands zoned RL-39 shall only be used for the following:		
	(1)	Detached Dwelling or	
	(2)	Semi-Detached or	
	(3)	Medical Office - Restricted	
Regulations			
4.2.2.39.2	A medical office - restricted shall comply with the RL zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1)	maximum number of physicians, dentists, drugless practitioners or health professionals permitted to practise	2
	(2)	minimum lot frontage	60.0 m
	(3)	minimum front yard	20.0 m
	(4)	minimum interior side yard	13.0 m
	(5)	minimum parking spaces per professional/practitioner	5

4.2.2.40	Exception: RL-40	Map # 44W, 45E, 52W, 53E	By-law: 0308-2011, 0192-2014, 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RL-40 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Regulations			
4.2.2.40.1	The regulations of Sentence 3.1.1.7.1 of this By-law shall not apply		
4.2.2.40.2	<i>deleted</i>		
4.2.2.40.3	Minimum combined width of side yards :		
	(1)	one storey detached dwelling	20% of the lot frontage
	(2)	two storey detached dwelling	27% of the lot frontage
4.2.2.40.4	A flat roof shall not be permitted		
4.2.2.40.5	Maximum height - highest ridge: sloped roof		7.5 m
4.2.2.40.6	Maximum gross floor area - infill residential		160 m ² plus 0.10 times the lot area
4.2.2.40.7	An attached garage shall not be permitted		
4.2.2.40.8	Maximum floor area of a detached garage		50 m ²
4.2.2.40.9	Maximum projection of the garage face of a detached garage beyond any portion of the first floor front wall or exterior side wall		0.0 m
4.2.2.40.10	Maximum driveway width		3.0 m

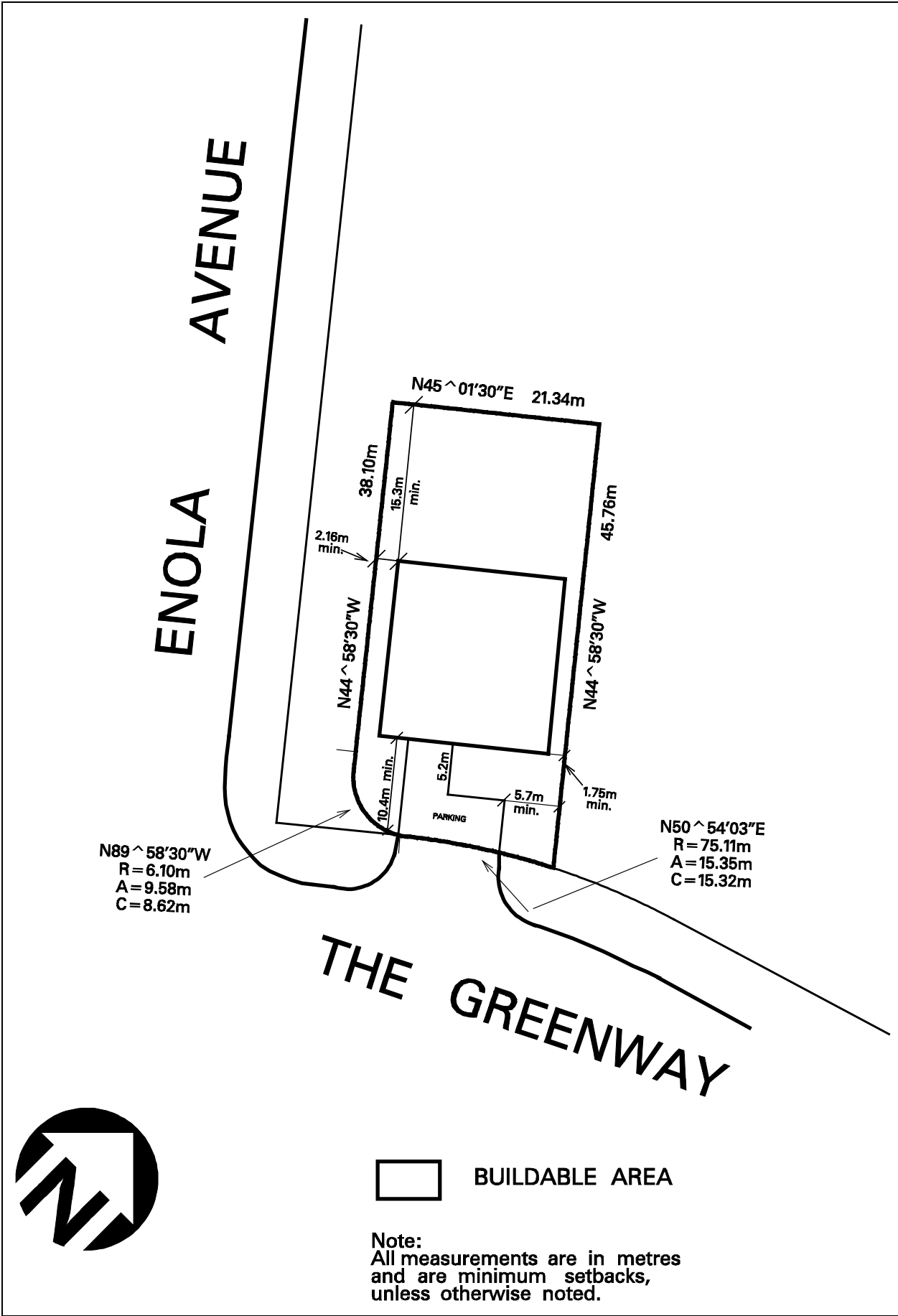
4.2.2.41	Exception: RL-41	Map # 03	By-law: 0048-2025
In a RL-41 zone the applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Permitted Uses			
4.2.2.41.1	Lands zoned RL-41 shall only be used for the following:		
	(1)	Detached Dwelling or	
	(2)	Semi-Detached or	
	(3)	Office	
	(4)	Medical Office - Restricted	

4.2.2.42	Exception: RL-42	Map # 38W	By-law: 0174-2017, 0048-2025
In a RL-42 zone the applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Permitted Use			
4.2.2.42.1	Lands zoned RL-42 shall only be used for the following:		
	(1)	Long-Term Care Building	
Regulations			
4.2.2.42.2	A long-term care building shall comply with the RA1 zone regulations contained in Subsection 4.15.1 of this By-law except that:		
	(1)	the provisions contained in Article 4.1.15.1 of this By-law shall apply	
	(2)	maximum lot coverage	30%
	(3)	minimum landscaped area	30% of the lot area
	(4)	minimum front yard	7.5 m
	(5)	minimum exterior side yard	7.5 m
	(6)	minimum interior side yard	6.0 m
	(7)	minimum rear yard	7.5 m
	(8)	maximum height - highest ridge: sloped roof	12.2 m

4.2.2.43	Exception: RL-43	Map # 03	By-law: 0308-2011, 0174-2017, 0048-2025
In a RL-43 zone the applicable regulations shall be as specified for a RL zone except that the following uses/regulations shall apply:			
Permitted Use			
4.2.2.43.1	Lands zoned RL-43 shall only be used for the following:		
	(1) Retirement Building		
Regulations			
4.2.2.43.2	A retirement building shall comply with the RA1 zone regulations contained in Subsection 4.15.1 of this By-law except that:		
	(1) the provisions contained in Article 4.1.15.1 of this By-law shall apply		
	(2) maximum height		10.7 m and 3 storeys

4.2.2.44	Exception: RL-44	Map # 07	By-law: 0048-2025
In a RL-44 zone the applicable regulations shall be as specified for a RL zone except that the following uses/regulations shall apply:			
Permitted Uses			
4.2.2.44.1	Lands zoned RL-44 shall only be used for the following:		
	(1)	Office	
	(2)	Medical Office - Restricted	
Regulations			
4.2.2.44.2	Maximum number of physicians, dentists, drugless practitioners or health professionals permitted to practise		1
4.2.2.44.3	Maximum lot coverage		25%
4.2.2.44.4	Minimum landscaped area		40% of the lot area
4.2.2.44.5	Maximum total gross floor area - non-residential		420 m ²
4.2.2.44.6	Maximum gross floor area - non-residential used for a medical office - restricted		138 m ²
4.2.2.44.7	The use of any part of the building below grade shall be restricted to the following:		
	(1)	climate control, electrical, energy generation and distribution, mechanical equipment related to the operation or maintenance of the building ;	
	(2)	areas of stairwells, washrooms or elevators;	
	(3)	collection or storage of disposable or recyclable waste generated within the building ;	
	(4)	storage incidental to permitted uses in the building ;	
	(5)	lunch rooms, lounges or fitness rooms for the personal needs of occupants of the building .	
4.2.2.44.8	Maximum height - highest ridge: sloped roof		10.7 m
4.2.2.44.9	Maximum height: flat roof		7.5 m
4.2.2.44.10	Minimum required parking spaces per 100 m ² gross floor area - non- residential used for a dental office		4.3
4.2.2.44.11	Maximum number of parking spaces		14
4.2.2.44.12	Maximum number of tandem parking spaces		4
4.2.2.44.13	Maximum encroachment of an uncovered ramp for handicapped access into required yards as follows:		
	(1)	northerly side yard	1.0 m
	(2)	front yard	8.0 m

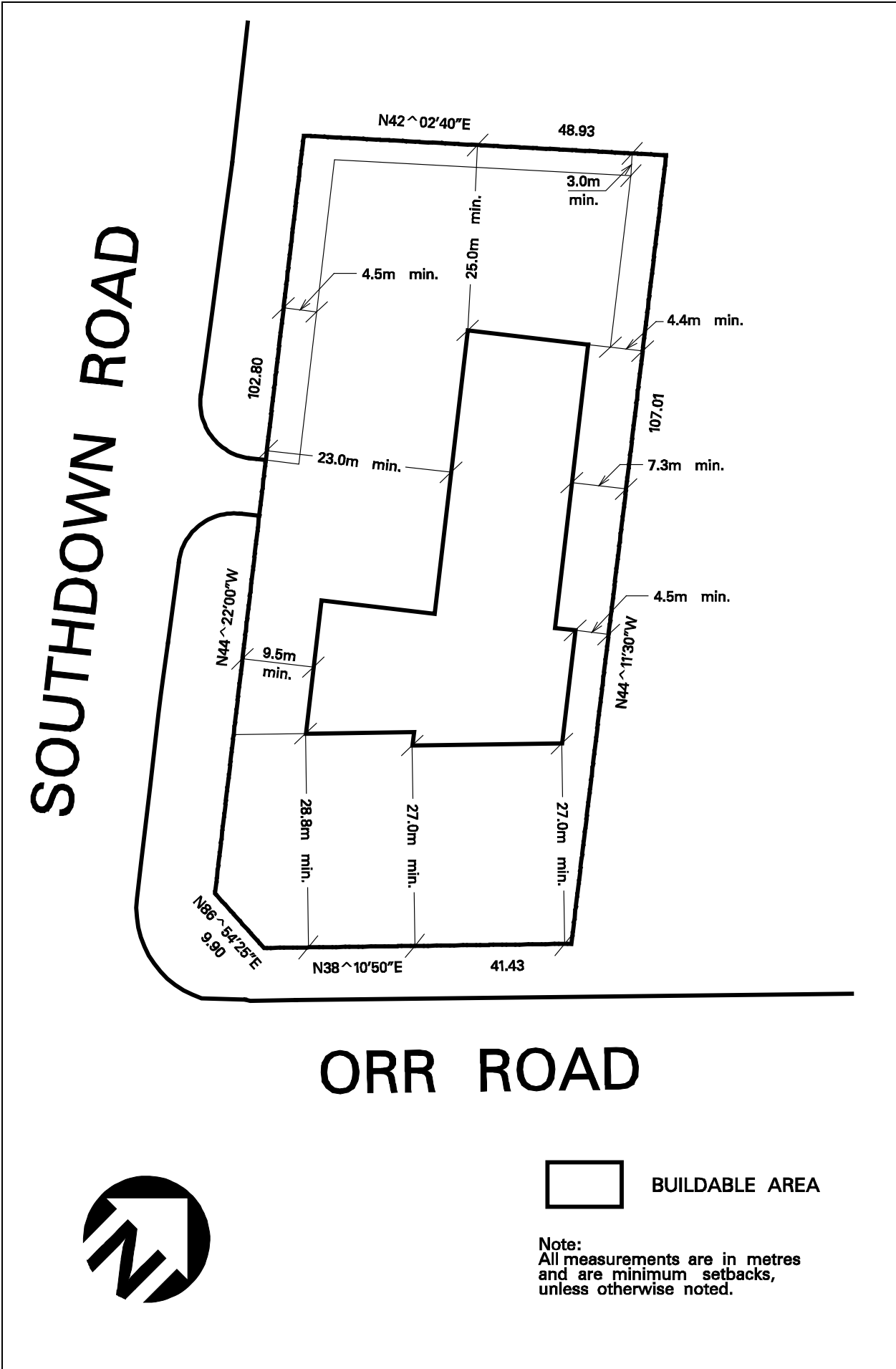
4.2.2.45	Exception: RL-45	Map # 07	By-law: 0171-2015/OMB Order 2016 April 04, 0193-2016/OMB Order 2017 May 30, 0174-2017, 0048-2025
In a RL-45 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses/regulations shall apply:			
Additional Permitted Use			
4.2.2.45.1	(1) Retirement Building		
Regulations			
4.2.2.45.2	Maximum height - highest ridge of a detached dwelling: sloped roof		9.5 m
4.2.2.45.3	Maximum height of a detached dwelling: flat roof		7.5 m
4.2.2.45.4	Maximum height of eaves of a detached dwelling: from average grade to lower edge of eaves		6.4 m
4.2.2.45.5	Maximum dwelling unit depth		20.0 m
4.2.2.45.6	A retirement building shall comply with the RL zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1)	maximum gross floor area - apartment zone	417 m ²
	(2)	maximum number of retirement dwelling units	14
	(3)	maximum height - highest ridge: sloped roof	10.7 m
	(4)	minimum number of resident parking spaces per retirement dwelling unit	0.15
	(5)	minimum number of visitor parking spaces per retirement dwelling unit	0.15
	(6)	maximum number of tandem parking spaces	3
	(7)	all site development plans shall comply with Schedule RL-45 of this Exception	



Schedule RL-45
Map 07

4.2.2.46	Exception: RL-46	Map # 11	By-law: 0174-2017, 0092-2021, 0048-2025
In a RL-46 zone the applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Permitted Use			
4.2.2.46.1	Lands zoned RL-46 shall only be used for the following:		
	(1) Long-Term Care Building		
Regulation			
4.2.2.46.2	A long-term care building shall comply with the RA1 zone regulations contained in Subsection 4.15.1 of this By-law except that:		
	(1) the provisions contained in Article 4.1.15.1 of this By-law shall apply		

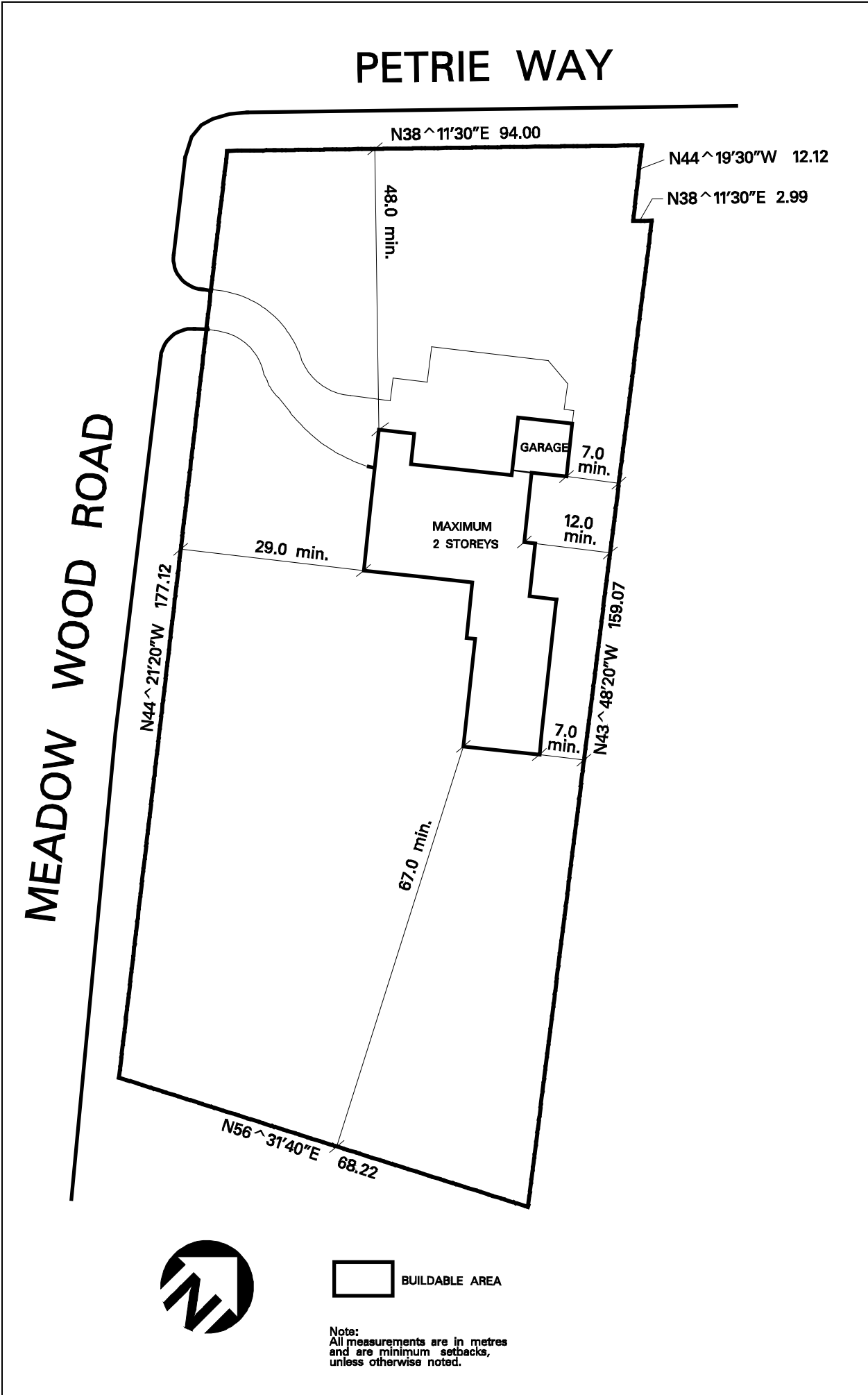
4.2.2.47	Exception: RL-47	Map # 03	By-law: 0174-2017, 0048-2025
In a RL-47 zone the applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Permitted Uses			
4.2.2.47.1	Lands zoned RL-47 shall only be used for the following:		
	(1) Supportive Housing Dwelling		
	(2) Office accessory to a supportive housing dwelling		
Regulations			
4.2.2.47.2	A supportive housing dwelling and office accessory to a supportive housing dwelling shall comply with the RA1 zone regulations contained in Subsection 4.15.1 of this By-law except that:		
	(1)	maximum number of bedrooms	14
	(2)	maximum total gross floor area - apartment zone and gross floor area - non-residential	2 100 m ²
	(3)	maximum gross floor area - non-residential of office	560 m ²
	(4)	maximum height	10.7 m
	(5)	minimum number of parking spaces	38
	(6)	"Supportive Housing Dwelling" means a building or part thereof which is licensed, approved or supervised by the Province under the Supportive Housing Program: Family Violence Initiative, approved under the <i>Ministry of Community and Social Services Act</i> , R.S.O. 1990, c.M.20, and its regulations	
	(7)	all site development plans shall comply with Schedule RL-47 of this Exception	



Schedule RL-47
Map 03

4.2.2.48	Exception: RL-48	Map # 52W	By-law: 0174-2017, 0112-2019, 0048-2025
In a RL-48 zone the applicable regulations shall be as specified for a RL zone except that the following uses/regulations shall apply:			
Permitted Use			
4.2.2.48.1	Lands zoned RL-48 shall only be used for the following:		
	(1) Long-Term Care Building		
Regulations			
4.2.2.48.2	A long-term care building shall comply with the RA1 zone regulations contained in Subsection 4.15.1 of this By-law except that:		
	(1) the provisions contained in Article 4.1.15.1 of this By-law shall apply		
	(2) maximum number of beds		140
	(3) maximum lot coverage		22%
	(4) minimum landscaped area		55% of lot area
	(5) maximum gross floor area - apartment zone		4 181 m ²
	(6) minimum front yard - corner lot		26.0 m
	(7) minimum exterior side yard		30.0 m
	(8) minimum interior side yard - corner lot		7.5 m
	(9) minimum rear yard - corner lot		7.5 m
	(10) maximum height		2 storeys
	(11) minimum number of parking spaces per bed		0.34
	(12) minimum setback of a parking area to the street		7.5 m
	(13) minimum setback of a parking area to any other lot line		1.5 m
	(14) minimum setback of a parking area to a wall of a dwelling that does not have a window or any other opening into a habitable room		1.5 m
	(15) minimum setback of parking to any other wall of a dwelling		6.0 m
	(16) a maximum of one gazebo is permitted accessory to a long-term care dwelling		
	(17) maximum area of a gazebo		49 m ²
	(18) minimum setback of a gazebo to any lot line		8.0 m
	(19) maximum height of a gazebo		6.5 m
4.2.2.48.3	"Gazebo" means an unenclosed structure with a roof		

4.2.2.49	Exception: RL-49	Map # 03	By-law: 0048-2025
In a RL-49 zone the applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Permitted Use			
4.2.2.49.1	Lands zoned RL-49 shall only be used for the following:		
	(1) Supportive Housing Dwelling		
Regulations			
4.2.2.49.2	A supportive housing dwelling shall comply with the RL zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1)	maximum number of self-contained apartment dwelling units used to accommodate a maximum of eight adults and 16 children requiring specialized or group care	8
	(2)	maximum total gross floor area used for an apartment dwelling unit for staff and an office	580 m ²
	(3)	minimum number of parking spaces required	10
	(4)	"Supportive Housing Dwelling" means a building or part thereof which is licensed, approved or supervised by the Province under the Supportive Housing Program: Family Violence Initiative, approved under the <i>Ministry of Community and Social Services Act</i> , R.S.O. 1990, c.M.20, and its regulations	
	(5)	all site development plans shall comply with Schedule RL-49 of this Exception	



Schedule RL-49
Map 03

4.2.2.50	Exception: RL-50	Map # 38E	By-law: 0190-2014, 0048-2025
In a RL-50 zone the applicable regulations shall be as specified for a RL zone except that the following uses/regulations shall apply:			
Permitted Uses			
4.2.2.50.1	Lands zoned RL-50 shall only be used for the following:		
	(1) Detached Dwelling or		
	(2) Semi-Detached or		
	(3) Medical Office - Restricted		

4.2.2.51	Exception: RL-51	Map # 38W	By-law: 0171-2015/ OMB Order 2016 April 04, 0193-2016/OMB Order 2017 May 30, 0048-2025
In a RL-51 zone the applicable regulations shall be as specified for a RL zone except that the following uses/regulations shall apply:			
Permitted Uses			
4.2.2.51.1	Lands zoned RL-51 shall only be used for the following:		
	(1) Detached Dwelling or		
	(2) Semi-Detached or		
	(3) Private Club		

4.2.2.52	Exception: RL-52	Map #	By-law: deleted by 0048-2025

4.2.2.53	Exception: RL-53	Map # 07	By-law: 0208-2022, 0048-2025
In a RL-53 zone the applicable regulations shall be as specified for a RL zone except that the following uses/regulations shall apply:			
Permitted Uses			
4.2.2.53.1	Lands zoned RL-53 shall only be used for the following:		
	(1)	Office	
	(2)	Medical Office - Restricted	
Use Not Permitted			
4.2.2.53.2	(1)	Office and/or medical office - restricted that requires more than 23 parking spaces	
Regulations			
4.2.2.53.3	An office and medical office - restricted shall comply with the RL zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1)	maximum number of physicians, dentists, drugless practitioners or health professionals permitted to practice at any one time	5
	(2)	maximum gross floor area	350 m ²
	(3)	maximum lot coverage	13%
	(4)	minimum landscaped area	50% of lot area
	(5)	the use of any part of the building below established grade shall be restricted to the following:	
	(1)	lunch rooms, lounges or fitness rooms for the personal needs of occupants of the building ;	
	(2)	storage incidental to permitted uses in the building ;	
	(3)	stairwells;	
	(4)	mechanical equipment related to heating, ventilation, and air conditioning of the building ;	
	(5)	communication devices, the electrical distribution panel, and accessory equipment;	
	(6)	storage of disposable or recyclable waste generated within the building .	
	(6)	maximum height - highest ridge: sloped roof	7.5 m
	(7)	maximum projection of a porch outside the buildable area identified on Schedule RL-53 of this Exception	1.8 m
	(8)	maximum number of parking spaces	23
	(9)	the parking area identified on Schedule RL-53 of this Exception for clients and visitors shall have full access to Pinewood Trail and restricted access to Hurontario Street	
	(10)	the four parking spaces identified on Schedule RL-53 of this Exception that have access from the easterly driveway on Pinewood Trail shall be reserved for use by staff only	
	(11)	a ramp for disabled persons may project outside the buildable area identified on Schedule RL-53 of this Exception	

Exception RL-53 continued on next page

4.2.2.54	Exception: RL-54	Map # 56	By-law: <i>deleted by 0389-2009, 0146-2012, 0048-2025</i>
In a RL-54 zone the applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Permitted Uses			
4.2.2.54.1	Lands zoned RL-54 shall only be used for the following:		
	(1)	The existing heritage dwelling	
	(2)	The existing heritage outbuilding	

4.2.2.55	Exception: RL-55	Map #	By-law: 0174-2017, <i>deleted by 0230-2024, 0048-2025</i>

4.2.2.56	Exception: RL-56	Map # 53E	By-law: 0180-2021, 0048-2025
In a RL-56 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Regulations			
4.2.2.56.1	The regulations of Sentence 3.1.1.7.1 contained in Article 3.1.1.7 of this By-law shall not apply		
4.2.2.56.2	<i>deleted</i>		

4.2.2.57	Exception: RL-57	Map #	By-law: 0192-2014, <i>deleted by 0048-2025</i>

4.2.2.58	Exception: RL-58	Map #	By-law: 0171-2015/ OMB Order 2016 April 04, 0193-2016/OMB Order 2017 May 30, <i>deleted by</i> <i>0048-2025</i>

4.2.2.59	Exception: RL-59	Map #	By-law: OMB Order 2015 August 11, <i>deleted by</i> <i>0048-2025</i>

4.2.2.60	Exception: RL-60	Map # 39E, 45W	By-law: 0325-2008, 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RL-60 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses/regulations shall apply:			
Regulation			
4.2.2.60.1	<i>deleted</i>		
4.2.2.60.2	<i>deleted</i>		
4.2.2.60.3	Minimum setback to garage face - interior lot		7.5 m

4.2.2.61	Exception: RL-61	Map # 38W, 39E	By-law: 0048-2025
In a RL-61 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses/regulations shall apply:			
Regulations			
4.2.2.61.1	Maximum lot coverage - detached dwelling not exceeding one storey		40%
4.2.2.61.2	<i>deleted</i>		
4.2.2.61.3	<i>deleted</i>		
4.2.2.61.4	<i>deleted</i>		

4.2.2.62	Exception: RL-62	Map # 38W, 39E	By-law: 0048-2025
In a RL-62 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Regulations			
4.2.2.62.1	Maximum lot coverage - detached dwelling not exceeding one storey		40%
4.2.2.62.2	<i>deleted</i>		
4.2.2.62.3	<i>deleted</i>		
4.2.2.62.4	Minimum number of parking spaces per lot		6

4.2.2.63	Exception: RL-63	Map # 44W, 45E	By-law: 0308-2011, 0048-2025
In a RL-63 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Regulations			
4.2.2.63.1	<i>deleted</i>		
4.2.2.63.2	A flat roof shall not be permitted		
4.2.2.63.3	<i>deleted</i>		
4.2.2.63.4	Maximum projection of the garage beyond any portion of the front wall or exterior side wall of the first storey		0.0 m

4.2.2.64	Exception: RL-64	Map # 31	By-law: 0308-2011, 0048-2025
In a RL-64 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Regulations			
4.2.2.64.1	<i>deleted</i>		
4.2.2.64.2	Minimum front yard		6.5 m
4.2.2.64.3	<i>deleted</i>		
4.2.2.64.4	Minimum setback to the rear lot line where lands abut a G2-3 zone		30.0 m
4.2.2.64.5	Notwithstanding Sentence 4.2.2.64.4, minimum setback of all accessory buildings and structures and swimming pools to the rear lot line where lands abut a G2-3 zone		15.0 m

4.2.2.65	Exception: RL-65	Map # 31	By-law: 0325-2008, 0048-2025
In a RL-65 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses/regulations shall apply:			
Regulation			
4.2.2.65.1	Minimum setback of all buildings and structures and swimming pools to the rear lot line where lands abut a G1 zone		7.6 m

4.2.2.66	Exception: RL-66	Map # 24	By-law: 0048-2025
In a RL-66 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses/regulations shall apply:			
Regulations			
4.2.2.66.1	<i>deleted</i>		
4.2.3.66.2	<i>deleted</i>		
4.2.3.66.3	<i>deleted</i>		
4.2.2.66.4	<i>deleted</i>		
4.2.2.66.5	Minimum rear yard where lands abut a PB1 zone		11.5 m
4.2.2.66.6	Minimum setback of a swimming pool to the rear lot line where lands abut a PB1 zone		5.5 m

4.2.2.67	Exception: RL-67	Map # 24	By-law: 0048-2025
In a RL-67 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses/regulations shall apply:			
Regulation			
4.2.2.67.1	<i>deleted</i>		
4.2.2.67.2	Minimum front yard		6.0 m
4.2.2.67.3	<i>deleted</i>		

4.2.2.68	Exception: RL-68	Map # 31	By-law: 0048-2025
In a RL-68 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses/regulations shall apply:			
Regulations			
4.2.2.68.1	<i>deleted</i>		
4.2.2.68.2	<i>deleted</i>		
4.2.2.68.3	<i>deleted</i>		
4.2.2.68.4	Minimum rear yard - interior lot		3.0 m
4.2.2.68.5	Every lot shall have a circular driveway		

4.2.2.69	Exception: RL-69	Map # 38W	By-law: 0379-2009, 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RL-69 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Regulations			
4.2.2.69.1	<i>deleted</i>		
4.2.2.69.2	Maximum lot coverage	40%	
4.2.2.69.3	Minimum front yard	4.5 m	
4.2.2.69.4	<i>deleted</i>		
4.2.2.69.5	Minimum setback of a detached dwelling and semi-detached to all lands zoned G2-3	15.0 m	
4.2.2.69.6	Minimum setback to garage face	6.0 m	

4.2.2.70	Exception: RL-70	Map # 38W	By-law: 0048-2025
In a RL-70 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Regulation			
4.2.2.70.1	Maximum lot coverage		40%
4.2.2.70.2	<i>deleted</i>		

4.2.2.71	Exception: RL-71	Map # 38W	By-law: 0048-2025
In a RL-71 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Regulation			
4.2.2.71.1	<i>deleted</i>		
4.2.2.71.2	<i>deleted</i>		
4.2.2.71.3	Minimum setback of a detached dwelling and semi-detached to all lands zoned G2-3	15.0 m	

4.2.2.72	Exception: RL-72	Map # 24	By-law: 0048-2025
In a RL-72 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Regulations			
4.2.2.72.1	Minimum lot frontage - interior lot	5.0 m	
4.2.2.72.2	Minimum setback of all buildings and structures and swimming pools to all lands zoned PB1	3.0 m	

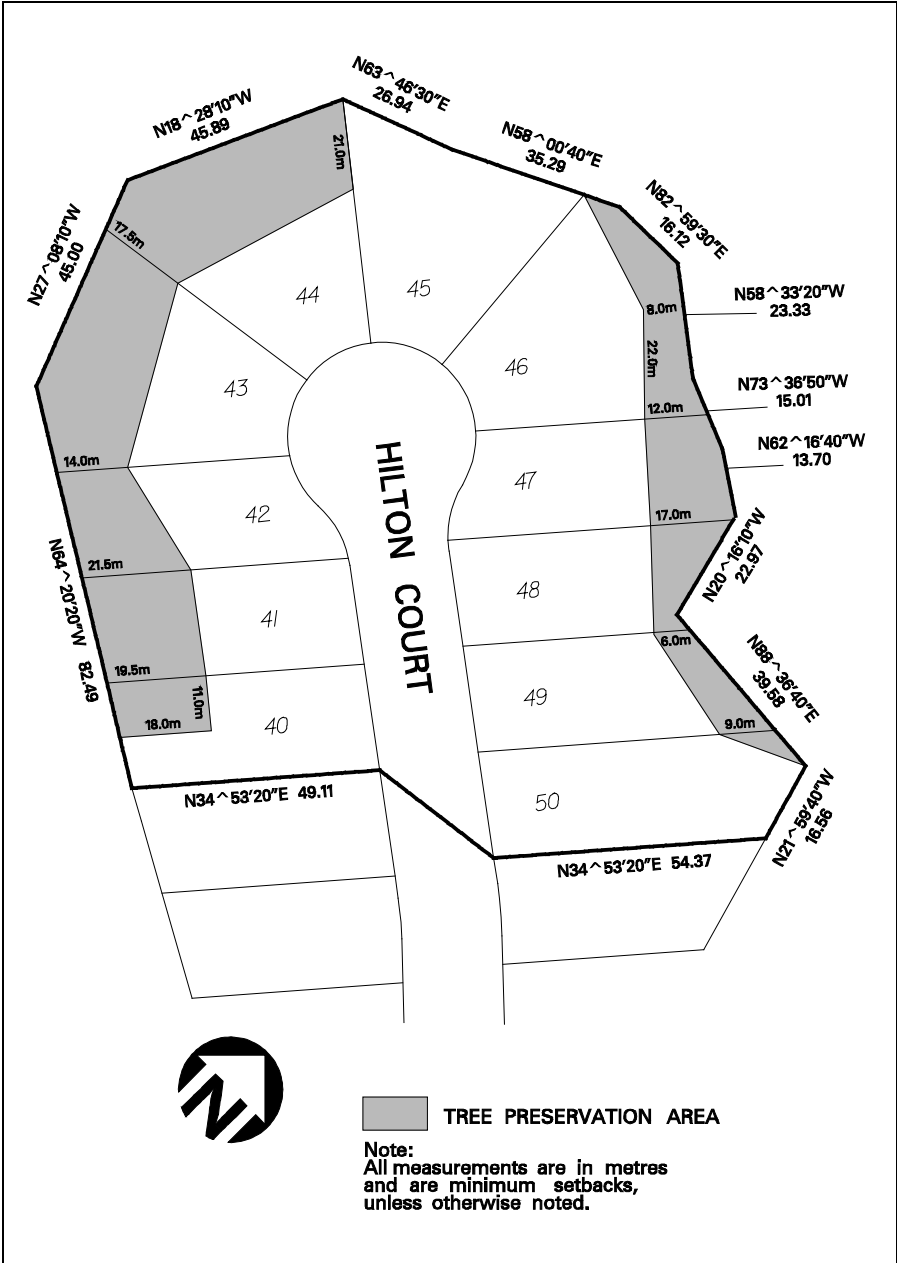
4.2.2.73	Exception: RL-73	Map # 45W	By-law: 0048-2025
In a RL-73 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Regulation			
4.2.2.73.1	<i>deleted</i>		
4.2.2.73.2	<i>deleted</i>		
4.2.2.73.3	Minimum setback of all buildings and structures and swimming pools to all lands zoned G1		15.0 m

4.2.2.74	Exception: RL-74	Map # 45W	By-law: 0048-2025
In a RL-74 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Regulations			
4.2.2.74.1	Minimum front yard		6.5 m
4.2.2.74.2	<i>deleted</i>		
4.2.2.74.3	Minimum setback of a detached dwelling and semi-detached to all lands zoned G2-3		15.0 m
4.2.2.74.4	Minimum setback of a detached dwelling and semi-detached to all lands zoned G1		17.5 m

4.2.2.75	Exception: RL-75	Map #	By-law: <i>deleted by 0048-2025</i>

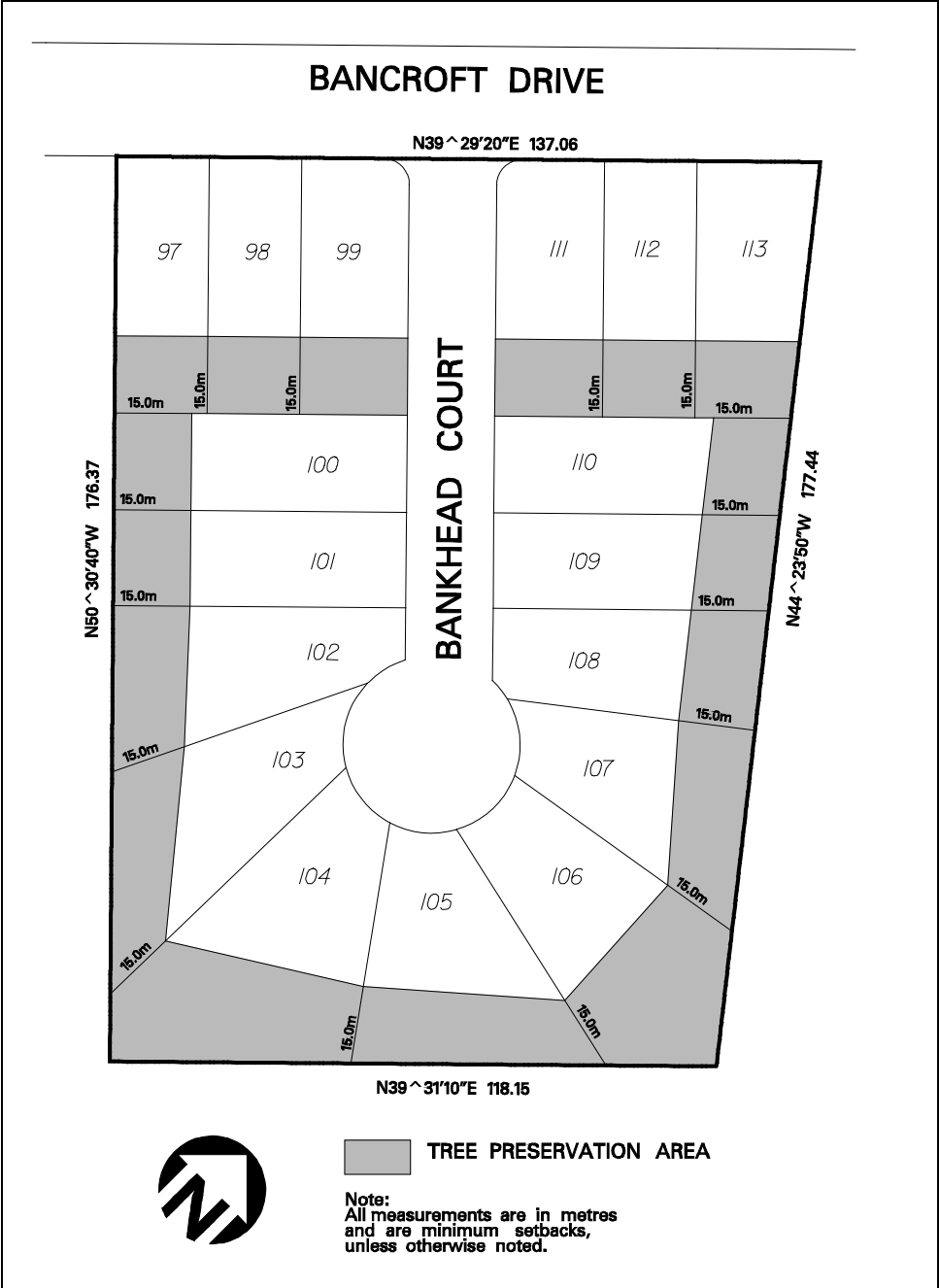
4.2.2.76	Exception: RL-76	Map # 24	By-law: 0048-2025
In a RL-76 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Regulations			
4.2.2.76.1	A detached dwelling shall comply with the RL zone regulations contained in Subsection 4.2.1 of this By-law except that: (1) minimum lot area - corner lot		
			700 m ²
4.2.2.76.2	<i>deleted</i>		
4.2.2.76.3	<i>deleted</i>		
4.2.2.76.4	Minimum setback of all accessory buildings and structures and swimming pools to all lands zoned PB1		3.0 m

4.2.2.77	Exception: RL-77	Map # 39E	By-law: 0048-2025
In a RL-77 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses/regulations shall apply:			
Regulations			
4.2.2.77.1	Maximum lot coverage - detached dwelling not exceeding one storey	40%	
4.2.2.77.2	<i>deleted</i>		
4.2.2.77.3	<i>deleted</i>		
4.2.2.77.4	<i>deleted</i>		
4.2.2.77.5	The areas identified on Schedule RL-77 of this Exception as a tree preservation area, shall only be used for conservation purposes, and no buildings or structures , swimming pools , tennis courts or any like recreational facilities, except for fences along the lot lines , shall be permitted		
4.2.2.77.6	Minimum interior side yard - interior lot that includes and/or abuts a tree preservation area, measured from the limit of the tree preservation area	3.0 m	
4.2.2.77.7	Minimum rear yard - lot that includes a tree preservation area, measured from the limit of the tree preservation area and not from the rear lot line	7.5 m	



Schedule RL-77
Map 39E

4.2.2.78	Exception: RL-78	Map # 45E	By-law: 0048-2025
In a RL-78 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses/regulations shall apply:			
Regulations			
4.2.2.78.1	<i>deleted</i>		
4.2.2.78.2	<i>deleted</i>		
4.2.2.78.3	<i>deleted</i>		
4.2.2.78.4	The areas identified on Schedule RL-78 of this Exception as a tree preservation area, shall only be used for conservation purposes, and no buildings or structures , swimming pools , tennis courts or any like recreational facilities, except for fences along the lot lines , shall be permitted		
4.2.2.78.5	Minimum interior side yard - interior lot that includes and/or abuts a tree preservation area, measured from the limit of the tree preservation area	3.0 m	
4.2.2.78.6	Minimum rear yard - lot that includes a tree preservation area, measured from the limit of the tree preservation area and not from the rear lot line	7.5 m	



Schedule RL-78
Map 45E

4.2.2.79	Exception: RL-79	Map # 45E	By-law: 0048-2025
In a RL-79 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Regulations			
4.2.2.79.1	<i>deleted</i>		
4.2.2.79.2	Minimum setback of a dwelling to all lands zoned G2-4(9)	15.0 m	
4.2.2.79.3	Minimum setback of all accessory buildings and structures and swimming pools to all lands zoned G1	9.0 m	

4.2.2.80	Exception: RL-80	Map # 45E	By-law: 0048-2025
In a RL-80 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Regulations			
4.2.2.80.1	<i>deleted</i>		
4.2.2.80.2	Minimum setback of a dwelling to all lands zoned G2-3	15.0 m	
4.2.2.80.3	Minimum setback of all accessory buildings and structures and swimming pools to all lands zoned G1	15.0 m	

4.2.2.81	Exception: RL-81	Map # 24	By-law: 0048-2025
In a RL-81 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Regulations			
4.2.2.81.1	<i>deleted</i>		
4.2.2.81.2	<i>deleted</i>		
4.2.2.81.3	<i>deleted</i>		
4.2.2.81.4	Minimum rear yard where lands abut a G2-1 zone	8.5 m	

4.2.2.82	Exception: RL-82	Map # 08, 09	By-law: 0308-2011, 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RL-82 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses/regulations shall apply:			
Regulations			
4.2.2.82.1	<i>deleted</i>		
4.2.2.82.2	A detached dwelling shall comply with the RL zone regulations contained in Subsection 4.2.1 of this By-law except that: (1) minimum lot area - corner lot 700 m²		
4.2.2.82.3	<i>deleted</i>		
4.2.2.82.4	<i>deleted</i>		
4.2.2.82.5	Maximum lot coverage , excluding the area of a porch or balcony , or breezeway 35%		
4.2.2.82.6	Maximum gross floor area - residential 190 m² plus 0.33 times the lot area		
4.2.2.82.7	Minimum front yard 6.0 m		
4.2.2.82.8	Minimum exterior side yard 4.5 m		
4.2.2.82.9	<i>deleted</i>		
4.2.2.82.10	<i>deleted</i>		
4.2.2.82.11	Minimum setback to a sight triangle 1.5 m		
4.2.2.82.12	<i>deleted</i>		
4.2.2.82.13	<i>deleted</i>		
4.2.2.82.14	<i>deleted</i>		
4.2.2.82.15	Maximum encroachment of a porch or balcony into the required exterior side yard 2.0 m		
4.2.2.82.16	Maximum encroachment of window projections and architectural elements, with or without a foundation, such as, but not limited to, chimneys , media niches, pilasters and corbels: (1) into the required front, rear or exterior side yard 1.0 m (2) into the required interior side yard 0.6 m		
4.2.2.82.17	Minimum setback to a garage face 6.0 m		
4.2.2.82.18	Maximum encroachment of a side wall of a garage into the required front yard 1.5 m		
4.2.2.82.19	Maximum projection of a garage face beyond any portion of the first floor front wall or exterior side wall of a detached dwelling 0.0 m		
4.2.2.82.20	Maximum projection of a garage face beyond any portion of the first floor front wall or exterior side wall of a detached dwelling , where a main entry feature is provided 2.5 m		
4.2.2.82.21	Maximum garage width: measured from the inside face of the garage side walls 8.0 m		

Exception RL-82 continued on next page

4.2.2.82	Exception: RL-82	Map # 08, 09	By-law: 0308-2011, 0181-2018/LPAT Order 2019 February 15, 0048-2025
Exception RL-82 continued from previous page			
4.2.2.82.22	A detached garage shall only be permitted in a rear yard on lots with a minimum frontage of 19.5 m which do not abut lands zoned G2-2, subject to the following:		
(1)	minimum interior side yard on the side of the detached dwelling where the driveway is located	3.0 m	
(2)	minimum interior side yard on the side of the detached dwelling where the mutual driveway is located, where garages on two adjoining lots are located in their respective rear yards and accessed by a mutual driveway crossing the front lot line	2.4 m	
(3)	the garage may be attached to the detached dwelling by a breezeway which shall not be considered a component of the dwelling for the purposes of determining building setbacks		
(4)	minimum exterior side yard	3.0 m	
(5)	maximum garage width: measured from the inside face of each of the garage walls	8.5 m	
(6)	maximum garage depth: measured from the garage face to the inside face of the rear garage wall	7.5 m	
(7)	minimum slope of a garage roof shall have a ratio of the vertical rise to the horizontal run of at least one in three		
(8)	maximum garage height - highest ridge: sloped roof - excluding skylights, cupolas, or other ornamental features	6.6 m	
(9)	maximum height of eaves: from established grade to lower edge of the eaves	4.5 m	
(10)	maximum floor area	113 m ²	
4.2.2.82.23	Minimum setback of all buildings and structures, decks and swimming pools to a G1 zone	3.0 m	

4.2.2.83	Exception: RL-83	Map # 08, 09	By-law: 0308-2011, 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RL-83 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses/regulations shall apply:			
Regulations			
4.2.2.83.1	<i>deleted</i>		
4.2.2.83.2	<i>deleted</i>		
4.2.2.83.3	<i>deleted</i>		
4.2.2.83.4	<i>deleted</i>		
4.2.2.83.5	Maximum lot coverage excluding the area of a porch or balcony, or breezeway	35%	
4.2.2.83.6	Maximum gross floor area - residential	190 m ² plus 0.33 times the lot area	

Exception RL-83 continued on next page

4.2.2.83	Exception: RL-83	Map # 08, 09	By-law: 0308-2011, 0181-2018/LPAT Order 2019 February 15, 0048-2025
Exception RL-83 continued from previous page			
4.2.2.83.7	Minimum front yard	6.0 m	
4.2.2.83.8	Minimum exterior side yard	4.5 m	
4.2.2.83.9	<i>deleted</i>		
4.2.2.83.10	<i>deleted</i>		
4.2.2.83.11	Minimum setback to a sight triangle	1.5 m	
4.2.2.83.12	Maximum height - highest ridge on lots which abut or contain a G1 or G2-2 zone: sloped roof	10.8 m	
4.2.2.83.13	<i>deleted</i>		
4.2.2.83.14	<i>deleted</i>		
4.2.2.83.15	Maximum height of eaves on lots which abut or contain a G1 or G2-2 zone: from average grade to lower edge of the eaves	7.7 m	
4.2.2.83.16	<i>deleted</i>		
4.2.2.83.17	Maximum encroachment of a porch or balcony into the required exterior side yard	2.0 m	
4.2.2.83.18	Maximum encroachment of window projections and architectural elements, with or without a foundation, such as, but not limited to, chimneys , media niches, pilasters and corbels: (1) into the required front, rear or exterior side yard (2) into the required interior side yard	1.0 m 0.6 m	
4.2.2.83.19	Minimum setback of a garage face to the street line	6.0 m	
4.2.2.83.20	Maximum encroachment of a side wall of a garage into the required front yard	1.5 m	
4.2.2.83.21	Maximum projection of a garage face beyond any portion of the first floor front wall or exterior side wall of a detached dwelling	0.0 m	
4.2.2.83.22	Maximum setback of the first floor front wall or exterior side wall of a detached dwelling from the garage face , where a main entry feature is provided	2.5 m	
4.2.2.83.23	Maximum garage width: from the inside face of the garage side walls	8.0 m	
4.2.2.83.24	A detached garage shall only be permitted in a rear yard on lots which do not abut lands zoned G2-2, subject to the following: (1) minimum interior side yard on the side of the detached dwelling where the driveway is located (2) minimum interior side yard on the side of the detached dwelling where the mutual driveway is located, where garages on two adjoining lots are located in their respective rear yards and accessed by a mutual driveway crossing the front lot line (3) the garage may be attached to the detached dwelling by a breezeway which shall not be considered a component of the dwelling for the purposes of determining building setbacks	3.0 m 2.4 m	

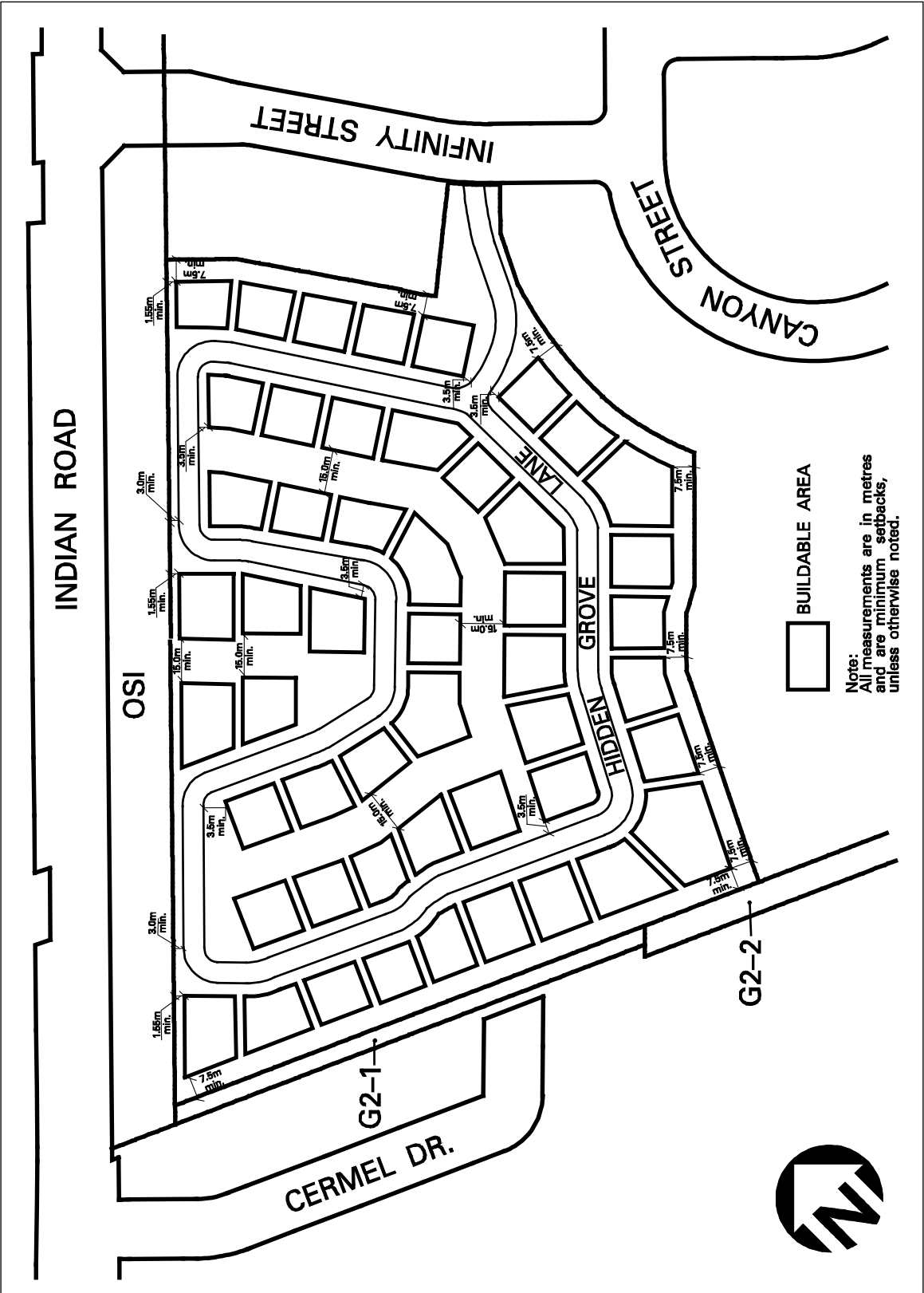
Exception RL-83 continued on next page

4.2.2.83	Exception: RL-83	Map # 08, 09	By-law: 0308-2011, 0181-2018/LPAT Order 2019 February 15, 0048-2025
Exception RL-83 continued from previous page			
4.2.2.83.24 (continued)	(4)	minimum exterior side yard	3.0 m
	(5)	maximum garage width: measured from the inside face of the garage side walls	11.0 m
	(6)	maximum garage width: measured from the inside face of the garage side walls, may be increased to 13.2 m, if the garage width in excess of 11.0 m is set back a minimum of 3.0 m from the garage face	
	(7)	maximum garage depth: measured from the garage face to the inside face of the rear garage wall	7.5 m
	(8)	minimum slope of a garage roof shall have a ratio of the vertical rise to the horizontal run of at least one in three	
	(9)	maximum height - highest ridge: sloped roof - excluding skylights, cupolas, or other ornamental features	6.6 m
	(10)	maximum height of eaves: from established grade to lower edge of the eaves	4.5 m
	(11)	maximum gross floor area	113 m ²
4.2.2.83.25	Minimum setback of all buildings or structures, decks and swimming pools to a G2 zone		3.0 m

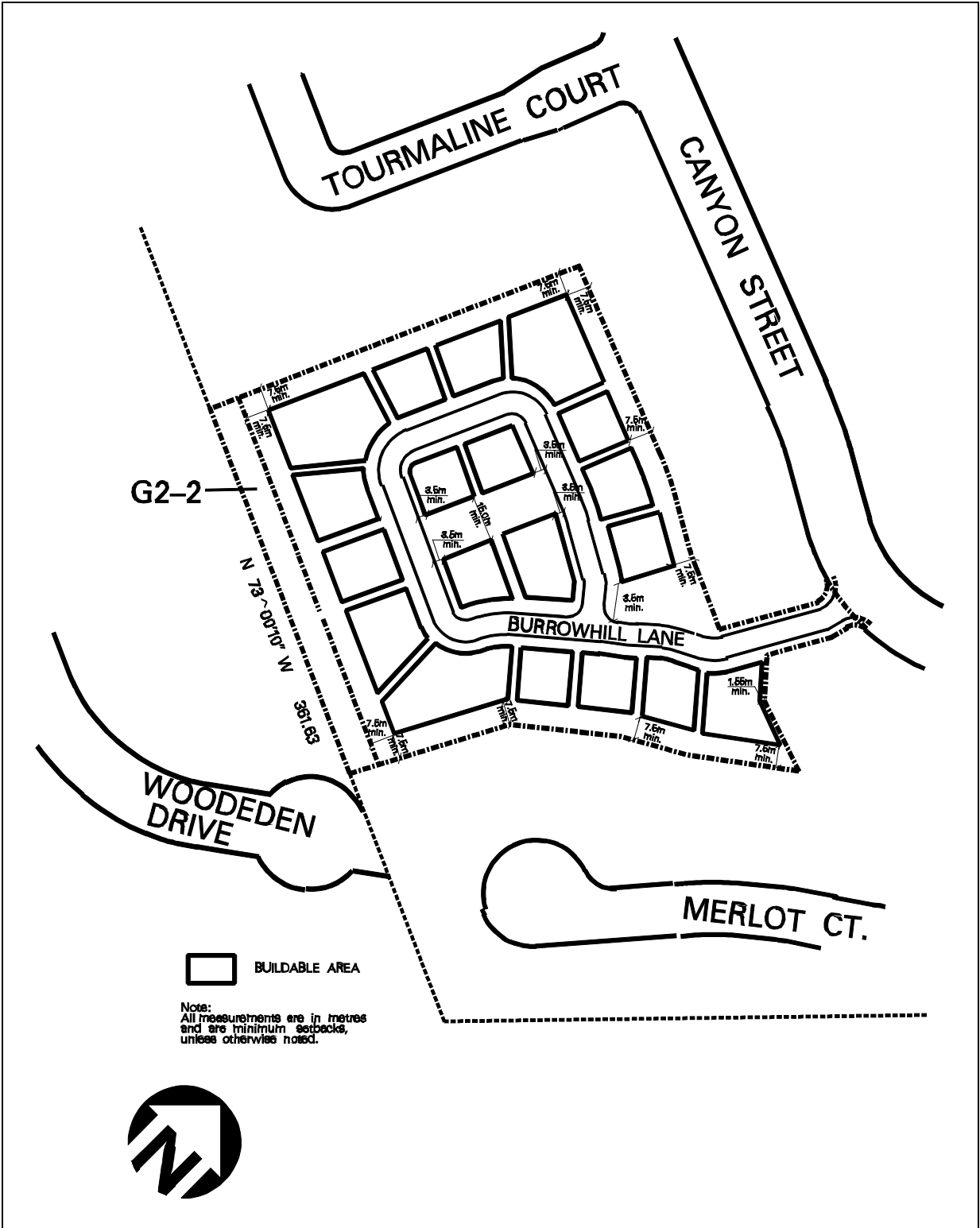
4.2.2.84	Exception: RL-84(1) and RL-84(2)	Map # 08, 09	By-law: 0308-2011, 0181-2018/LPAT Order 2019 February 15, 0208-2022, 0048-2025
In a RL-84(1) and RL-84(2) zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses/regulations shall apply:			
Regulations			
4.2.2.84.1	Maximum number of dwelling units on all lands zoned RL-84(1) and RL-84(2)		69
4.2.2.84.2	Maximum gross floor area - residential per detached dwelling		400 m ²
4.2.2.84.3	Maximum gross floor area - residential , permitted on the second floor of a detached dwelling		60.3 m ²
4.2.2.84.4	Minimum setback to a condominium road		4.5 m
4.2.2.84.5	Minimum detached dwelling separation		3.1 m
4.2.2.84.6	Maximum height - highest ridge on lots which abut or contain a G2-1 or G2-2 zone: sloped roof		10.3 m
4.2.2.84.7	Maximum height - highest ridge on all other lots: sloped roof		9.0 m
4.2.2.84.8	<i>deleted</i>		7.5 m

Exception RL-84(1) and RL-84(2) continued on next page

4.2.2.84	Exception: RL-84(1) and RL-84(2)	Map # 08, 09	By-law: 0308-2011, 0181-2018/LPAT Order 2019 February 15, 0208-2022, 0048-2025
Exception RL-84(1) and RL-84(2) continued from previous page			
4.2.2.84.9	Maximum height of eaves on lots which abut or contain a G2-1 or G2-2 zone: from established grade to lower edge of the eaves		5.8 m
4.2.2.84.10	Maximum height of eaves on all other lots : from established grade to lower edge of the lowest eave		4.5 m
4.2.2.84.11	Height of all buildings and structures shall be measured from established grade		
4.2.2.84.12	Maximum projection of a porch or balcony :		
	(1) outside the buildable area identified on Schedules RL-84(1) and RL-84(2) of this Exception abutting a front wall of a detached dwelling , which includes a garage face		0.3 m
	(2) outside the buildable area identified on Schedules RL-84(1) and RL-84(2) of this Exception abutting a side wall of a detached dwelling not containing a garage face , which faces a condominium road		2.0 m
4.2.2.84.13	Maximum projection of window and architectural elements, with or without a foundation, such as, but not limited to, chimneys , media niches, pilasters and corbels:		
	(1) outside the buildable area identified on Schedules RL-84(1) and RL-84(2) of this Exception abutting a side wall of a detached dwelling		0.6 m
	(2) outside the buildable area identified on Schedules RL-84(1) and RL-84(2) of this Exception abutting a front wall of a detached dwelling , which includes a garage face		1.0 m
	(3) outside the buildable area identified on Schedules RL-84(1) and RL-84(2) of this Exception abutting a side wall of a detached dwelling not containing a garage face , which faces a condominium road		1.0 m
	(4) outside the buildable area identified on Schedules RL-84(1) and RL-84(2) of this Exception abutting a rear wall of a detached dwelling		1.0 m
4.2.2.84.14	A detached garage shall not be permitted		
4.2.2.84.15	Minimum setback to garage face from a condominium road		5.5 m
4.2.2.84.16	Maximum projection of a garage face beyond any portion of the first floor front wall or exterior side wall of a detached dwelling		0.0 m
4.2.2.84.17	Maximum setback of the first floor front wall or exterior side wall of a detached dwelling from the garage face , where a main entry feature is provided		2.5 m
4.2.2.84.18	Maximum garage width: measured from the inside face of the garage side walls		8.0 m
4.2.2.84.19	All site development plans shall comply with Schedules RL-84(1) and RL-84(2) of this Exception		

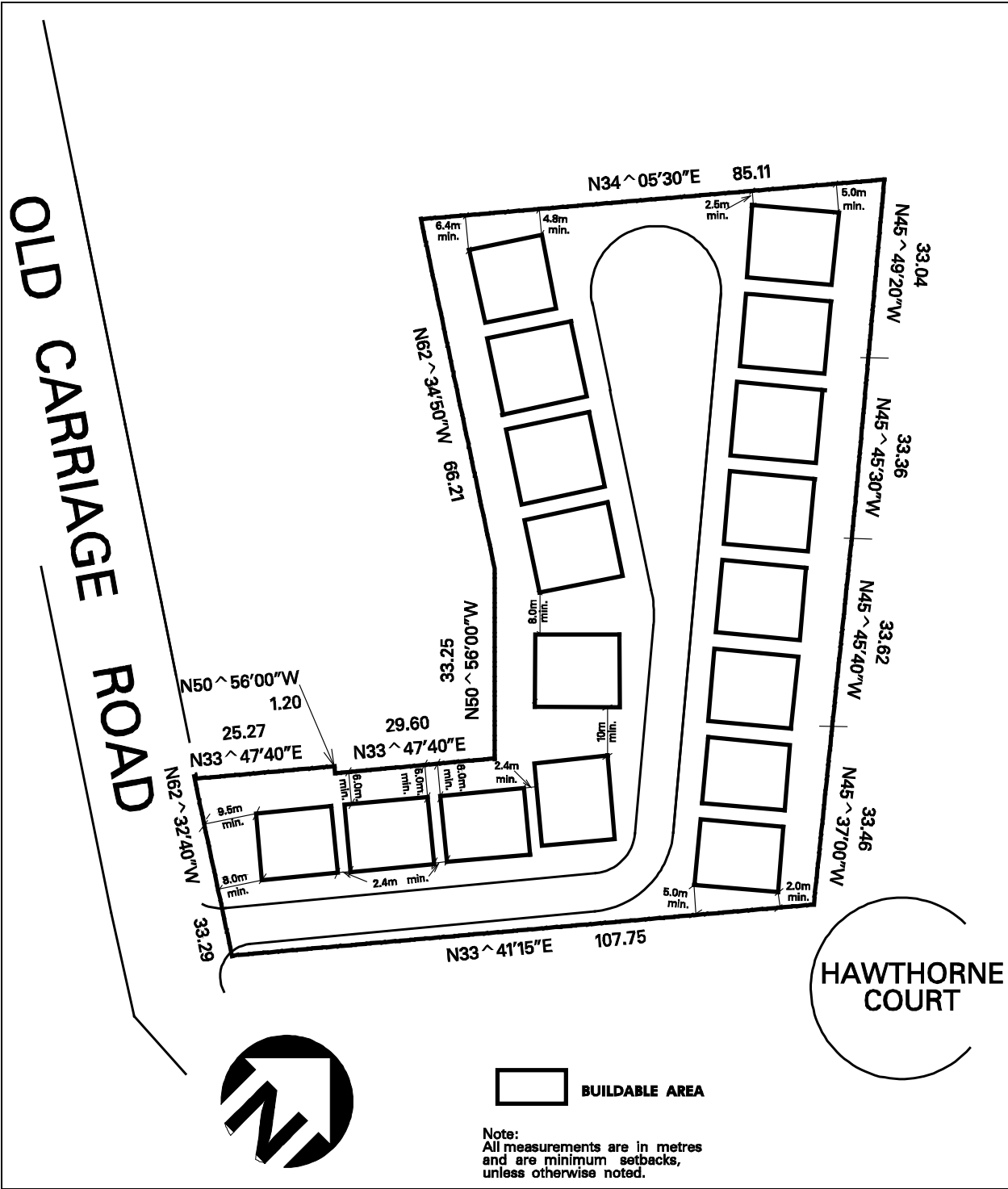


Schedule RL-84(1)
Maps 08 and 09



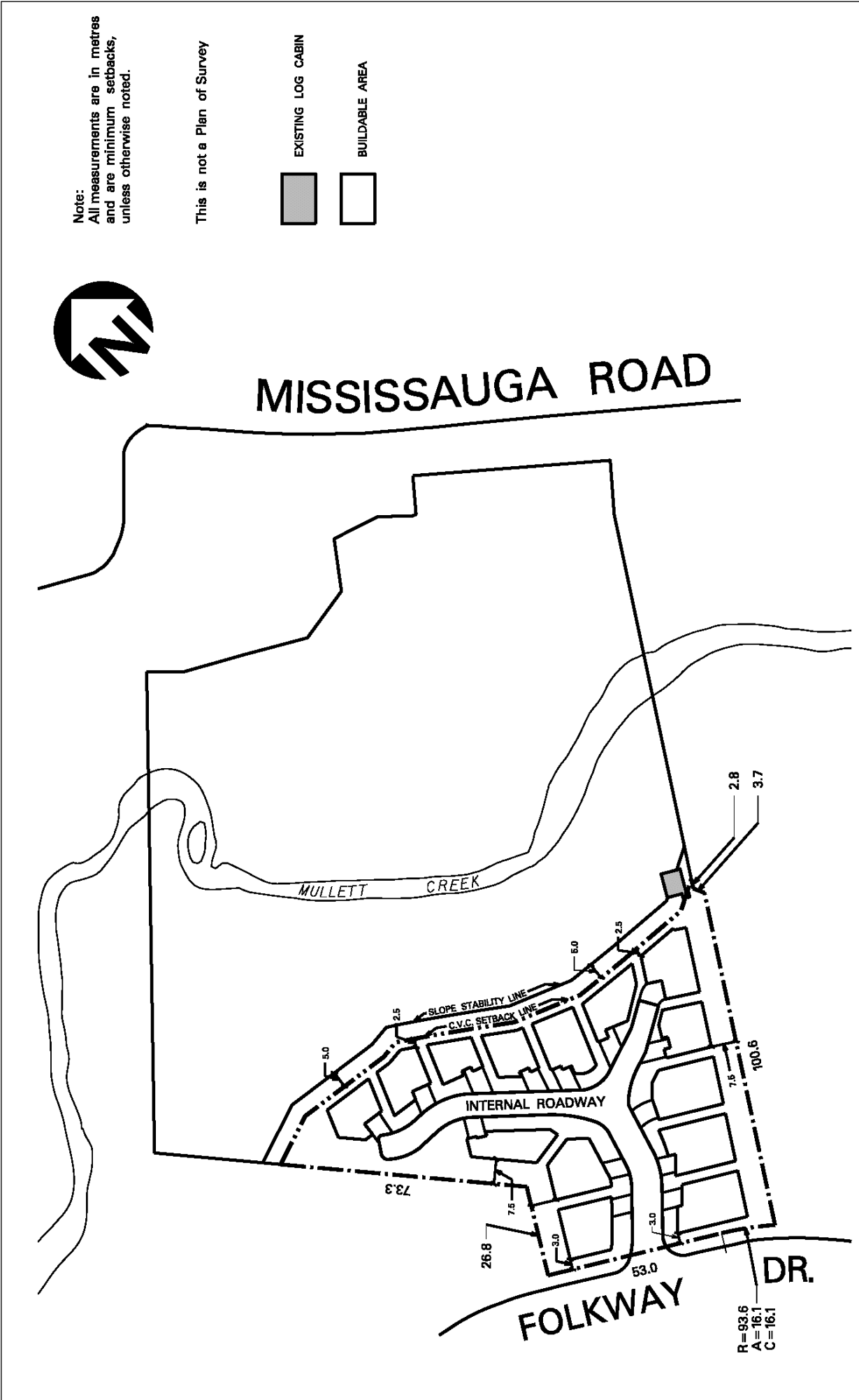
Schedule RL-84(2)
Map 09

4.2.2.85	Exception: RL-85	Map # 16	By-law: 0181-2018/LPAT Order 2019 February 15, 0208-2022, 0048-2025
In a RL-85 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses/regulations shall apply:			
Regulations			
4.2.2.85.1	Maximum number of dwelling units on all lands zoned RL-85	17	
4.2.2.85.2	Maximum gross floor area - residential per detached dwelling	275 m ²	
4.2.2.85.3	Maximum gross floor area - residential , permitted on the second storey of a detached dwelling	75 m ²	
4.2.2.85.4	Minimum setback to a condominium road	4.5 m	
4.2.2.85.5	Minimum setback to any lot line	7.5 m	
4.2.2.85.6	Minimum detached dwelling separation	3.0 m	
4.2.2.85.7	Maximum height - highest ridge: sloped roof	8.0 m	
4.2.2.85.8	Maximum height: flat roof	4.5 m	
4.2.2.85.9	Height of all buildings and structures shall be measured from established grade		
4.2.2.85.10	Maximum projection of a porch outside the buildable area identified on Schedule RL-85 of this Exception	2.0 m	
4.2.2.85.11	Maximum projection of a deck , outside the buildable area identified on Schedule RL-85 of this Exception, abutting the rear wall of a detached dwelling	3.8 m	
4.2.2.85.12	Maximum projection of window and architectural elements, with or without a foundation, such as, but not limited to, chimneys , pilasters, corbels, and awnings outside the buildable area identified on Schedule RL-85 of this Exception	0.6 m	
4.2.2.85.13	Minimum setback to garage face from a condominium road	6.0 m	
4.2.2.85.14	Minimum number of parking spaces per dwelling unit	4	
4.2.2.85.15	All site development plans shall comply with Schedule RL-85 of this Exception		



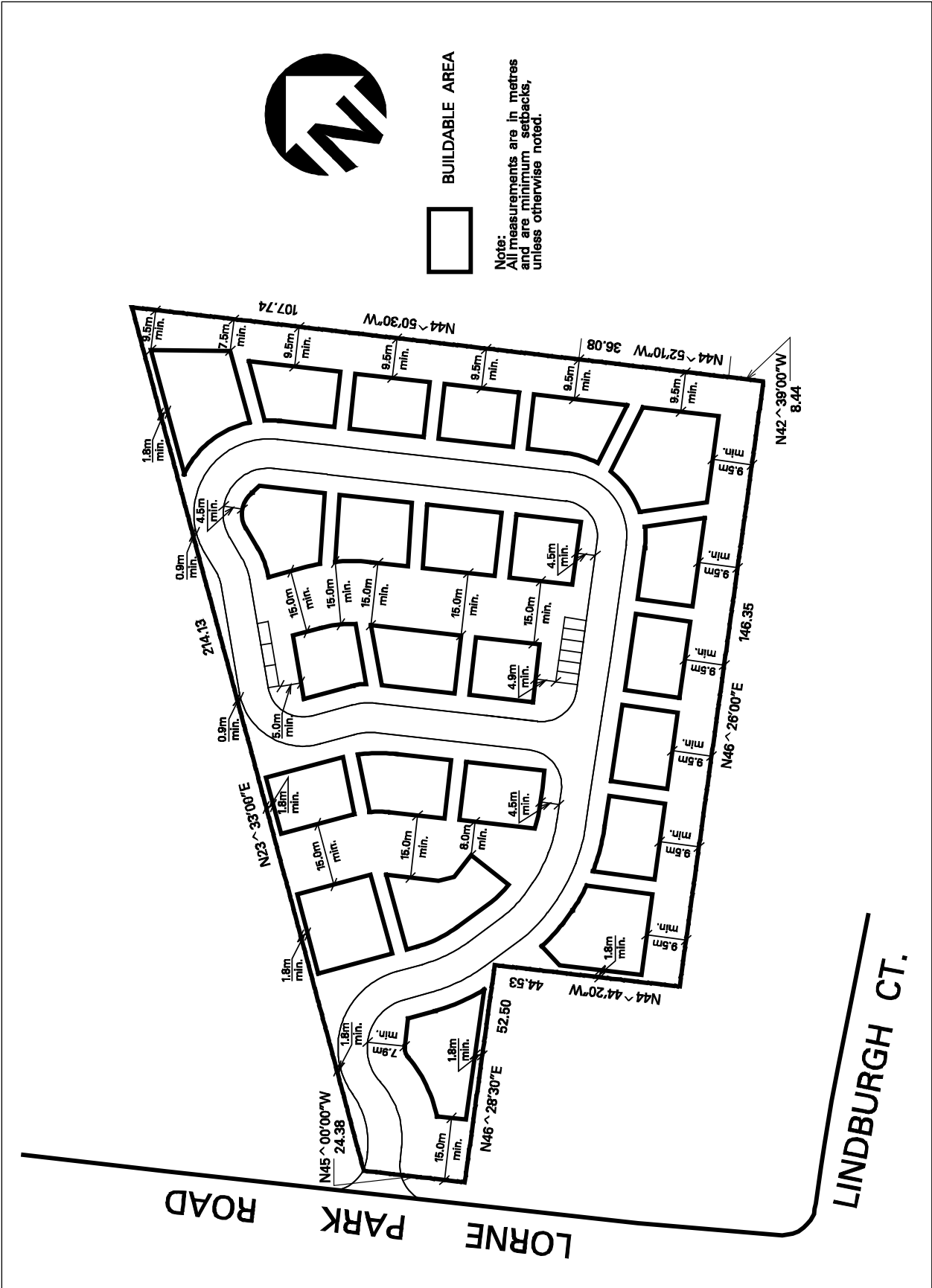
Schedule RL-85
Map 16

4.2.2.86	Exception: RL-86	Map # 31	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0208-2022, 0048-2025
In a RL-86 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Regulations			
4.2.2.86.1	Maximum number of dwelling units on all lands zoned RL-86	14	
4.2.2.86.2	Maximum coverage of a detached dwelling within each buildable area identified on Schedule RL-86 of this Exception	288 m ²	
4.2.2.86.3	Maximum gross floor area - residential per detached dwelling	372 m ²	
4.2.2.86.4	Minimum setback to a condominium road	4.5 m	
4.2.2.86.5	Minimum detached dwelling separation	3.0 m	
4.2.2.86.6	Minimum setback between a detached dwelling and the CVC Setback Line identified on Schedule RL-86 of this Exception	2.5 m	
4.2.2.86.7	Minimum setback between a detached dwelling and the Slope Stability Line identified on Schedule RL-86 of this Exception	7.5 m	
4.2.2.86.8	Minimum setback from a garage face to a condominium road	6.0 m	
4.2.2.86.9	Maximum height - highest ridge: sloped roof	9.5 m	
4.2.2.86.10	Height of all buildings and structures shall be measured from established grade		
4.2.2.86.11	Minimum number of parking spaces per dwelling unit	4	
4.2.2.86.12	Minimum number of visitor parking spaces	10	
4.2.2.86.13	Maximum driveway width	8.5 m	
4.2.2.86.14	All site development plans shall comply with Schedule RL-86 of this Exception		
Holding Provision			
The holding symbol H is to be removed from the whole or any part of the lands zoned H-RL-86 by further amendment to Map 31 of Schedule B contained in Part 13 of this By-law, as amended, upon satisfaction of the following requirements: (1) arrangements being made to the satisfaction of the City of Mississauga Planning and Building Department for additional visitor parking on the west block of lands abutting Folkway Drive; (2) arrangements being made to the satisfaction of the City of Mississauga Planning and Building Department and the Community Services Department for a pathway in the Mullett Creek watershed to allow for pedestrian linkage to the north and south of the site with the applicant to bear the responsibility for construction, including all associated costs thereof; (3) that the applicant has fulfilled all other requirements of the City, including the lease agreement, and requirements of any other official agency concerned with the development.			



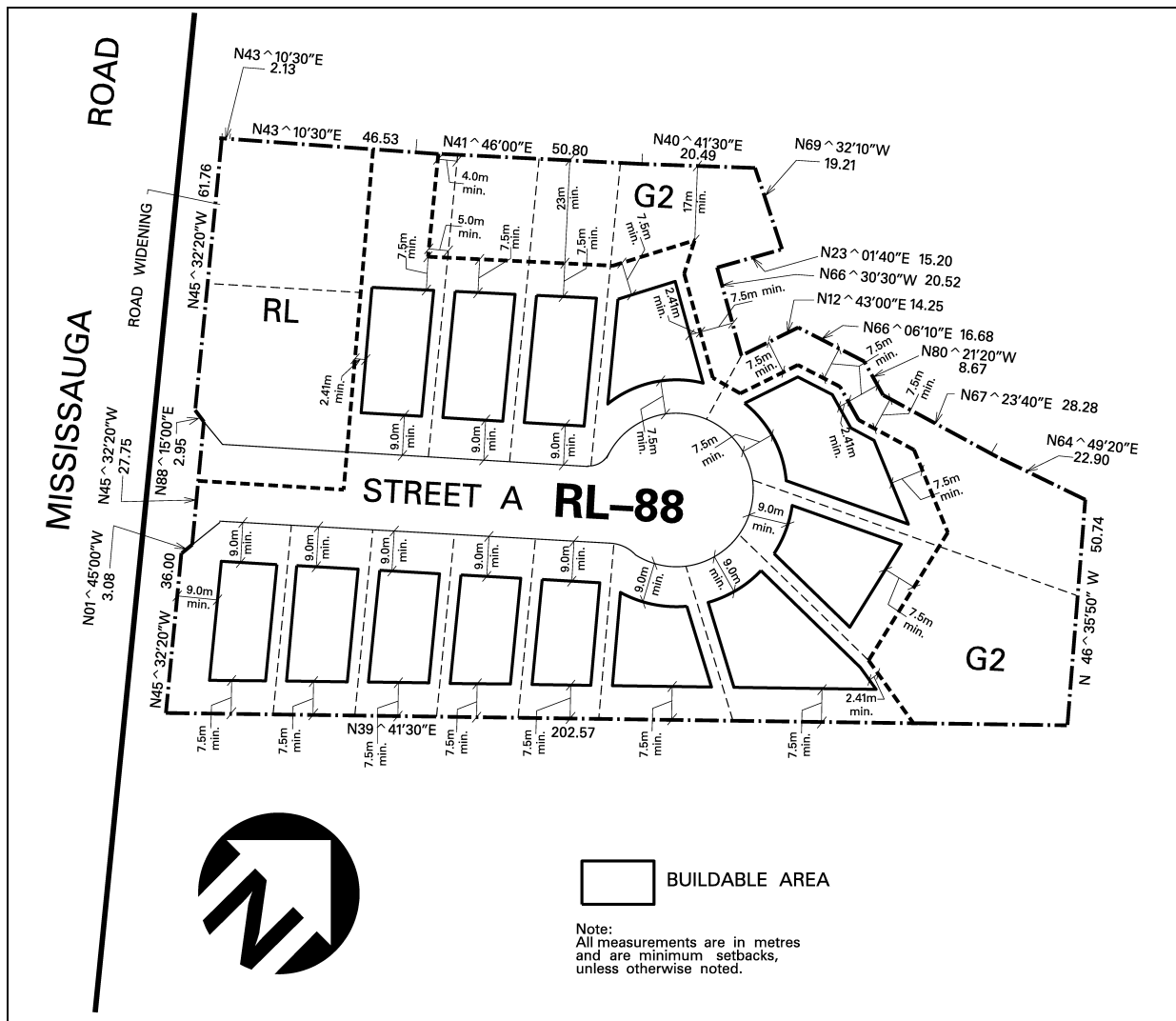
Schedule RL-86
Map 31

4.2.2.87	Exception: RL-87	Map # 09	By-law: 0181-2018/LPAT Order 2019 February 15, 0208-2022, 0048-2025
In a RL-87 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses/regulations shall apply:			
Regulations			
4.2.2.87.1	Maximum number of dwelling units on all lands zoned RL-87	24	
4.2.2.87.2	Maximum coverage of a detached dwelling within each buildable area identified on Schedule RL-87 of this Exception	195 m ²	
4.2.2.87.3	Maximum gross floor area - residential per detached dwelling	260 m ²	
4.2.2.87.4	Maximum gross floor area - residential , permitted on the second storey of a detached dwelling	65 m ²	
4.2.2.87.5	Minimum setback to a condominium road	4.5 m	
4.2.2.87.6	Minimum detached dwelling separation	3.6 m	
4.2.2.87.7	Minimum setback from a garage face to a condominium road	6.0 m	
4.2.2.87.8	Maximum height - highest ridge: sloped roof	7.5 m	
4.2.2.87.9	Height of all buildings and structures shall be measured from established grade		
4.2.2.87.10	Minimum number of parking spaces per dwelling unit	4	
4.2.2.87.11	Maximum driveway width	8.5 m	
4.2.2.87.12	Minimum number of visitor parking spaces	9	
4.2.2.87.13	All site development plans shall comply with Schedule RL-87 of this Exception		



Schedule RL-87
Map 09

4.2.2.88	Exception: RL-88	Map # 24	By-law: 0208-2022, 0048-2025
In a RL-88 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses/regulations shall apply:			
Regulations			
4.2.2.88.1	<i>deleted</i>		
4.2.2.88.2	<i>deleted</i>		
4.2.2.88.3	<i>deleted</i>		
4.2.2.88.4	Accessory buildings and structures shall only be located in a rear yard		
4.2.2.88.5	Porches and decks shall be located in the buildable area identified on Schedule RL-88 of this Exception		
4.2.2.88.6	All site development plans shall comply with Schedule RL-88 of this Exception		



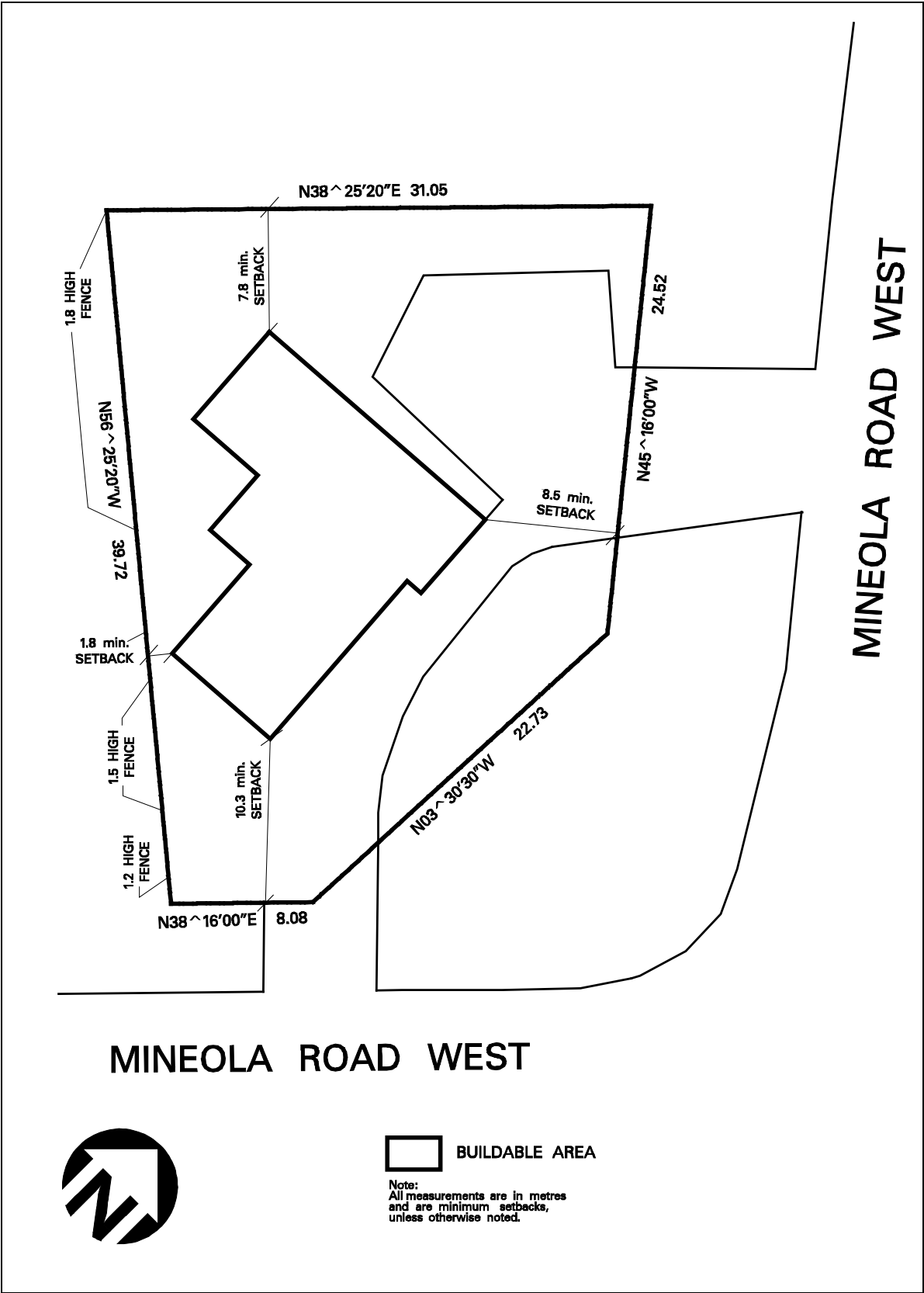
Schedule RL-88
Map 24

4.2.2.89	Exception: RL-89	Map # 31	By-law: 0048-2025
In a RL-89 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Regulations			
4.2.2.89.1	<i>deleted</i>		
4.2.2.89.2	A detached dwelling shall comply with the RL zone regulations contained in Subsection 4.2.1 of this By-law except that: (1) minimum lot area - corner lot (2) maximum lot coverage (3) minimum front yard (4) minimum exterior side yard		
4.2.2.89.3	<i>deleted</i>		
4.2.2.89.4	<i>deleted</i>		

4.2.2.90	Exception: RL-90	Map # 31	By-law: 0048-2025
In a RL-90 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Regulations			
4.2.2.90.1	Minimum interior side yard - detached dwelling		2.4 m
4.2.2.90.2	Minimum interior side yard - attached garage		1.8 m
4.2.2.90.3	<i>deleted</i>		
4.2.2.90.4	Minimum setback of all buildings and structures and swimming pools to the rear lot line		16.0 m

4.2.2.91	Exception: RL-91	Map # 08	By-law: 0193-2016/ OMB Order 2017 May 30, 0048-2025
In a RL-91 zone the applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Permitted Uses			
4.2.2.91.1	Lands zoned RL-91 shall only be used for the following:		
	(1) Detached Dwelling or		
	(2) Semi-Detached or		
	(3) Office		
	(4) Medical Office - Restricted		
Regulations			
4.2.2.91.2	<i>deleted</i>		
4.2.2.91.3	<i>deleted</i>		
4.2.2.91.4	<i>deleted</i>		
4.2.2.91.5	<i>deleted</i>		
4.2.2.91.6	<i>deleted</i>		
4.2.2.91.7	An office and medical office - restricted shall comply with the RL zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1) minimum lot frontage - interior lot	22.5 m	
	(2) maximum gross floor area - non-residential	131 m ²	

4.2.2.92	Exception: RL-92	Map # 08	By-law: 0048-2025
In a RL-92 zone the applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Permitted Uses			
4.2.2.92.1	Lands zoned RL-92 shall only be used for the following:		
	(1) Detached Dwelling or		
	(2) Semi-Detached or		
	(3) Office		
	(4) Medical Office - Restricted		
Regulations			
4.2.2.92.2	An office and medical office - restricted shall comply with the RL zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1)	maximum gross floor area - non-residential	195 m ²
	(2)	all site development plans shall comply with Schedule RL-92 of this Exception	



Schedule RL-92
Map 08

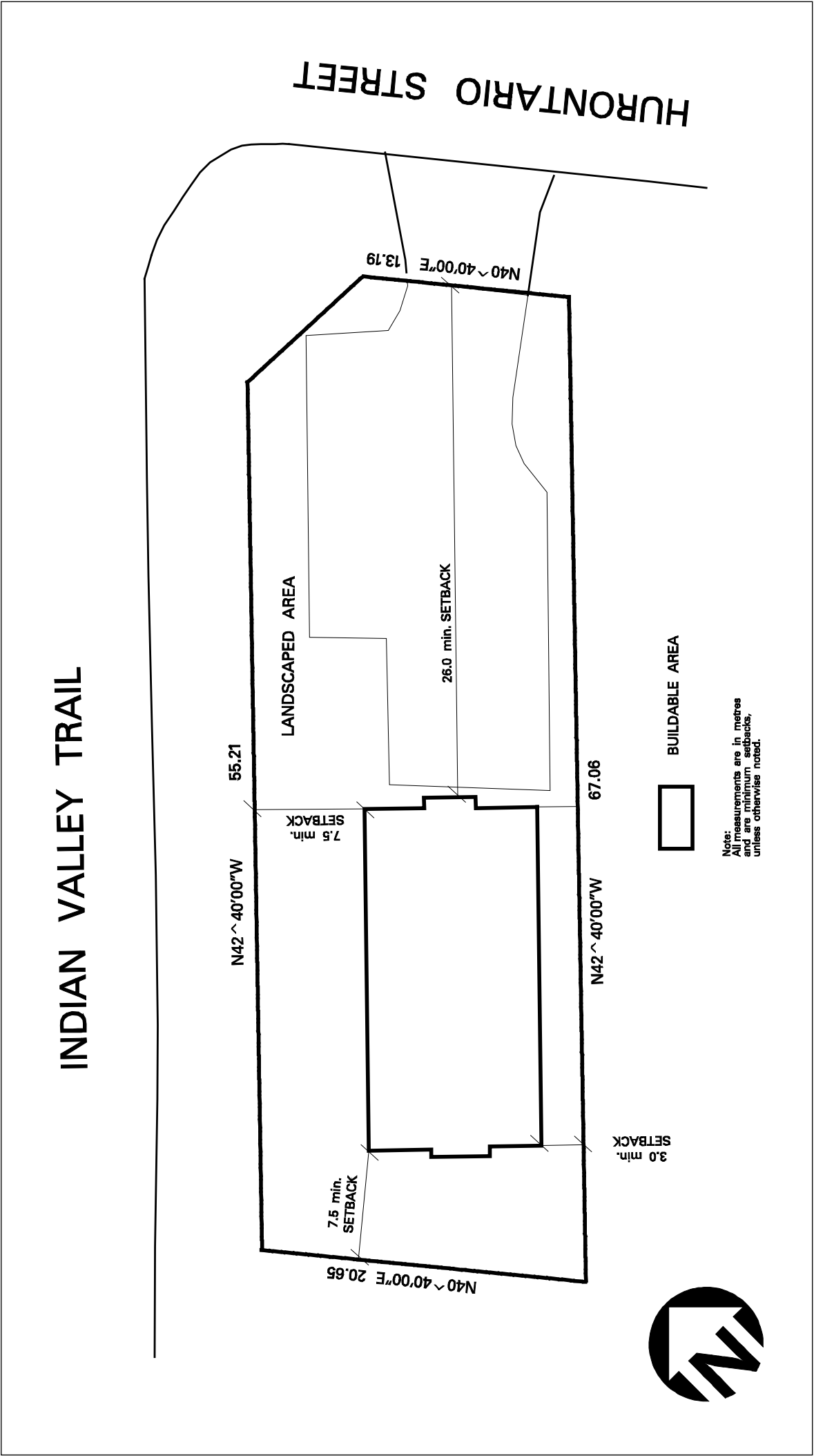
4.2.2.93	Exception: RL-93	Map # 08	By-law: 0193-2016/ OMB Order 2017 May 30, 0048-2025
In a RL-93 zone the applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Permitted Uses			
4.2.2.93.1	Lands zoned RL-93 shall only be used for the following:		
	(1)	Detached Dwelling or	
	(2)	Semi-Detached or	
	(3)	Office	
	(4)	Medical Office - Restricted	
Regulations			
4.2.2.93.2	<i>deleted</i>		
4.2.2.93.3	<i>deleted</i>		
4.2.2.93.4	<i>deleted</i>		
4.2.2.93.5	<i>deleted</i>		
4.2.2.93.6	<i>deleted</i>		
4.2.2.93.7	An office and medical office - restricted shall comply with the RL zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1)	minimum lot frontage - interior lot	30.0 m
	(2)	maximum gross floor area - non-residential	465 m ²
	(3)	maximum number of parking spaces that may be tandem parking spaces	2

4.2.2.94	Exception: RL-94	Map # 08	By-law: 0193-2016/ OMB Order 2017 May 30, 0048-2025
In a RL-94 zone the applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Permitted Uses			
4.2.2.94.1	Lands zoned RL-94 shall only be used for the following:		
	(1) Detached Dwelling or		
	(2) Semi-Detached or		
	(3) Office		
	(4) Medical Office - Restricted		
Regulations			
4.2.2.94.2	<i>deleted</i>		
4.2.2.94.3	<i>deleted</i>		
4.2.2.94.4	<i>deleted</i>		
4.2.2.94.5	<i>deleted</i>		
4.2.2.94.6	<i>deleted</i>		

Exception RL-94 continued on next page

4.2.2.94	Exception: RL-94	Map # 08	By-law: 0193-2016/ OMB Order 2017 May 30, 0048-2025
Exception RL-94 continued from previous page			
4.2.2.94.7	An office and medical office -restricted shall comply with the RL zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1)	minimum lot frontage - interior lot	30.0 m
	(2)	maximum gross floor area - non-residential	225 m ²
	(3)	maximum number of parking spaces that may be tandem parking spaces	2
	(4)	minimum aisle width	4.0 m

4.2.2.95	Exception: RL-95	Map # 08	By-law: 0193-2016/ OMB Order 2017 May 30, 0048-2025
In a RL-95 zone the applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Permitted Uses			
4.2.2.95.1	Lands zoned RL-95 shall only be used for the following:		
	(1)	Detached Dwelling or	
	(2)	Semi-Detached or	
	(3)	Office	
	(4)	Medical Office - Restricted	
Regulations			
4.2.2.95.2	<i>deleted</i>		
4.2.2.95.3	<i>deleted</i>		
4.2.2.95.4	<i>deleted</i>		
4.2.2.95.5	<i>deleted</i>		
4.2.2.95.6	<i>deleted</i>		
4.2.2.95.7	An office and medical office - restricted shall comply with the RL zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1)	minimum lot frontage - corner lot	20.0 m
	(2)	maximum gross floor area - non-residential	420 m ²
	(3)	maximum number of parking spaces that may be tandem parking spaces	4
	(4)	all site development plans shall comply with Schedule RL-95 of this Exception	



Schedule RL-95
Map 08

4.2.2.96	Exception: RL-96	Map # 08	By-law: 0193-2016/ OMB Order 2017 May 30, 0048-2025
In a RL-96 zone the applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Permitted Uses			
4.2.2.96.1	Lands zoned RL-96 shall only be used for the following:		
	(1) Detached Dwelling or		
	(2) Semi-Detached or		
	(3) Office		
	(4) Medical Office - Restricted		
Regulations			
4.2.2.96.2	<i>deleted</i>		
4.2.2.96.3	<i>deleted</i>		
4.2.2.96.4	<i>deleted</i>		
4.2.2.96.5	<i>deleted</i>		
4.2.2.96.6	<i>deleted</i>		
4.2.2.96.7	An office and medical office - restricted shall comply with the RL zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1)	minimum lot frontage - interior lot	30.0 m
	(2)	maximum gross floor area - non-residential	180 m ²

4.2.2.97	Exception: RL-97	Map # 08	By-law: 0193-2016/ OMB Order 2017 May 30, 0048-2025
In a RL-97 zone the applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Permitted Uses			
4.2.2.97.1	Lands zoned RL-97 shall only be used for the following:		
	(1) Detached Dwelling or		
	(2) Semi-Detached or		
	(3) Office		
	(4) Medical Office - Restricted		
Regulations			
4.2.2.97.2	<i>deleted</i>		
4.2.2.97.3	<i>deleted</i>		
4.2.2.97.4	<i>deleted</i>		
4.2.2.97.5	<i>deleted</i>		
4.2.2.97.6	<i>deleted</i>		
4.2.2.97.7	An office and medical office - restricted shall comply with the RL zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1)	minimum lot frontage - interior lot	30.0 m
	(2)	maximum total gross floor area - non-residential	420 m ²
	(3)	minimum rear yard for an office and medical office - restricted	12.0 m

4.2.2.98	Exception: RL-98	Map # 44W	By-law: 0048-2025
In a RL-98 zone the applicable regulations shall be as specified for a RL zone except that the following uses/regulations shall apply:			
Permitted Uses			
4.2.2.98.1	Lands zoned RL-98 shall only be used for the following: (1) Detached Dwelling or (2) Semi-Detached or (3) Restaurant (4) Office (5) Medical Office - Restricted (6) Day Care		
Regulations			
4.2.2.98.2	A restaurant, office, medical office - restricted and day care shall comply with the RL zone regulations contained in Subsection 4.2.1 of this By-law except that: (1) a restaurant, office and medical office - restricted shall be contained within the existing detached dwelling, being the Brown-Vooro house, and its existing accessory structure (2) a day care shall only be permitted within the existing detached dwelling, being the Brown-Vooro house (3) notwithstanding Clauses 4.2.2.98.2(1) and (2) of this Exception, the gross floor area - non-residential existing at the time of passing of this By-law may be increased by a maximum of 3 m²		
4.2.2.98.3	Play equipment accessory to a day care may be located in a front yard		

4.2.2.99	Exception: RL-99	Map # 08	By-law: 0193-2016/ OMB Order 2018 February 15, 0048-2025
In a RL-99 zone the applicable regulations shall be as specified for a RL zone except that the following uses/regulations shall apply:			
Permitted Uses			
4.2.2.99.1	Lands zoned RL-99 shall only be used for the following:		
	(1) Detached Dwelling or (2) Semi-Detached or (3) Office (4) Medical Office - Restricted		
Regulations			
4.2.2.99.2	An office and medical office - restricted shall comply with the RL zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1) maximum gross floor area - non-residential	200 m ²	
	(2) minimum front yard - interior lot	7.0 m	
	(3) minimum interior side yard - interior lot	2.5 m	
	(4) minimum rear yard - interior lot	61.8 m	
	(5) minimum number of parking spaces per 100 m ² of gross floor area - non-residential used for an office	4	

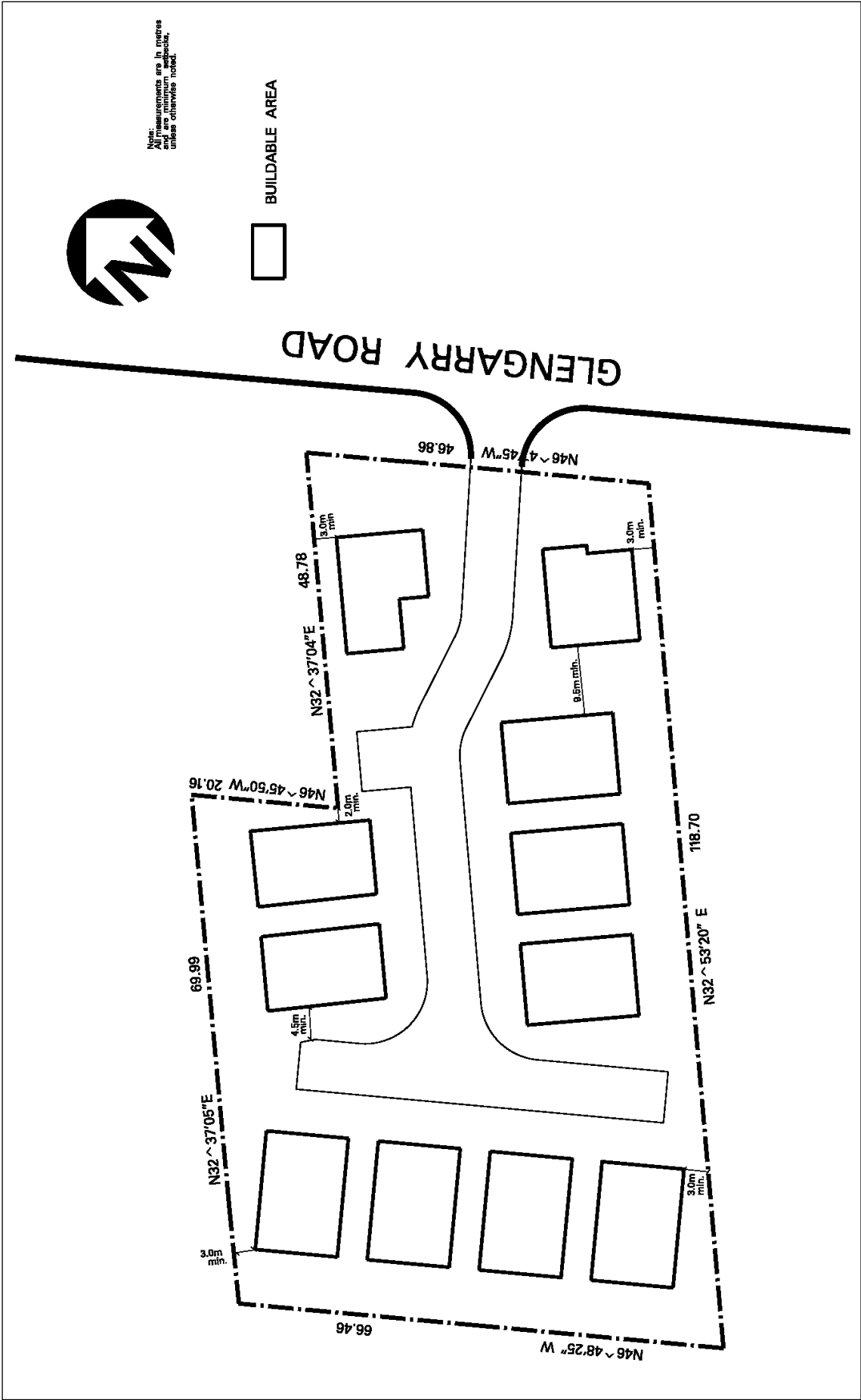
4.2.2.100	Exception: RL-100	Map # 08	By-law: 0048-2025
In a RL-100 zone the applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Permitted Uses			
4.2.2.100.1	Lands zoned RL-100 shall only be used for the following:		
	(1) Detached Dwelling or (2) Semi-Detached or (3) Veterinary clinic in a detached dwelling (4) Office in a detached dwelling (5) Medical office - restricted in a detached dwelling		
Regulations			
4.2.2.100.2	A veterinary clinic, office, medical office - restricted or any combination thereof within a detached dwelling shall comply with the RL zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1) a veterinary clinic, office, medical office - restricted or any combination thereof, shall be contained within the existing detached dwelling (2) minimum lot frontage - interior lot 30.0 m (3) maximum total gross floor area 460 m² (4) maximum gross floor area - non-residential used for a veterinary clinic, office, medical office - restricted or any combination thereof 250 m² (5) minimum front yard - interior lot 9.0 m (6) minimum interior side yard - interior lot 3.5 m (7) minimum rear yard - interior lot 7.5 m (8) maximum height - highest ridge: sloped roof 9.5 m (9) maximum height: flat roof 7.5 m (10) maximum height of eaves: from average grade to lower edge of the eaves 6.4 m (11) parking shall only be permitted in the front yard (12) minimum setback of the parking to the front lot line 4.5 m (13) maximum number of parking spaces 10		

4.2.2.101	Exception: RL-101	Map # 31	By-law: 0048-2025
In a RL-101 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Regulations			
4.2.2.101.1	deleted		
4.2.2.101.2	deleted		
4.2.2.101.3	Minimum lot frontage - interior lot that abuts a G1 zone	17.0 m	
4.2.2.101.4	Minimum lot frontage - corner lot that abuts a G1 zone	20.0 m	
4.2.2.101.5	deleted		
4.2.2.101.6	deleted		
4.2.2.101.7	deleted		

4.2.2.102	Exception: RL-102	Map # 25	By-law: 0048-2025
In a RL-102 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Regulations			
4.2.2.102.1	The regulations of Line 4.1 contained in Table 4.2.1 of this By-law shall not apply		
4.2.2.102.2	Access to all lots shall be via a common frontage on Council Ring Road		

4.2.2.103	Exception: RL-103	Map # 38W, 39E, 45W	By-law: 0380-2009/OMB Order 2010 September 13, 0308-2011, 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RL-103 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Regulations			
4.2.2.103.1	<i>deleted</i>		
4.2.2.103.2	Maximum gross floor area - infill residential		150 m ² plus 0.2 times the lot area
4.2.2.103.3	<i>deleted</i>		
4.2.2.103.4	<i>deleted</i>		
4.2.2.103.5	<i>deleted</i>		
4.2.2.103.6	<i>deleted</i>		
4.2.2.103.7	<i>deleted</i>		
4.2.2.103.8	<i>deleted</i>		
4.2.2.103.9	Garage projection: maximum projection of the garage beyond the front wall or exterior side wall of the first storey		2.0 m
4.2.2.103.10	<i>deleted</i>		

4.2.2.104	Exception: RL-104	Map # 16	By-law: 0206-2008, 0181-2018/LPAT Order 2019 February 15, 0208-2022, 0048-2025
In a RL-104 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Regulations			
4.2.2.104.1	Maximum number of dwelling units on all lands zoned RL-104		11
4.2.2.104.2	Maximum gross floor area - residential per detached dwelling		297 m ²
4.2.2.104.3	Minimum interior side yard unless otherwise identified on Schedule RL-104 of this Exception		7.5 m
4.2.2.104.4	Minimum setback of a detached dwelling to a condominium road or sidewalk unless otherwise identified on Schedule RL-104 of this Exception		3.3 m
4.2.2.104.5	Minimum setback from a garage face to a condominium road		6.0 m
4.2.2.104.6	Minimum detached dwelling separation unless otherwise identified on Schedule RL-104 of this Exception		4.0 m
4.2.2.104.7	Maximum projection of a porch , inclusive of stairs, outside the buildable area identified on Schedule RL-104 of this Exception		1.8 m
4.2.2.104.8	Maximum projection of a deck outside the buildable area identified on Schedule RL-104 of this Exception		1.8 m
4.2.2.104.9	Maximum projection of an awning, window projection, chimney , pilaster or corbel outside the buildable area identified on Schedule RL-104 of this Exception		0.6 m
4.2.2.104.10	Height of all buildings and structures shall be measured from established grade		
4.2.2.104.11	All site development plans shall comply with Schedule RL-104 of this Exception		



Schedule RL-104
Map 16

4.2.2.105	Exception: RL-105	Map # 08	By-law: 0166-2015, 0111-2019/LPAT Order 2021 March 09, 0048-2025
In a RL-105 zone the applicable regulations shall be as specified for a RL zone except that the following uses/regulations shall apply:			
Permitted Uses			
4.2.2.105.1	Lands zoned RL-105 shall only be used for the following:		
	(1) Detached Dwelling or		
	(2) Semi-Detached or		
	(3) Office with one dwelling unit		
Use Not Permitted			
4.2.2.105.2	(1) <i>deleted</i>		
Regulations			
4.2.2.105.3	<i>deleted</i>		
4.2.2.105.4	Maximum gross floor area	467 m ²	
4.2.2.105.5	Maximum gross floor area - non-residential	365 m ²	
4.2.2.105.6	<i>deleted</i>		
4.2.2.105.7	Minimum depth of a landscaped buffer measured from a lot line that is a street line	7.5 m	

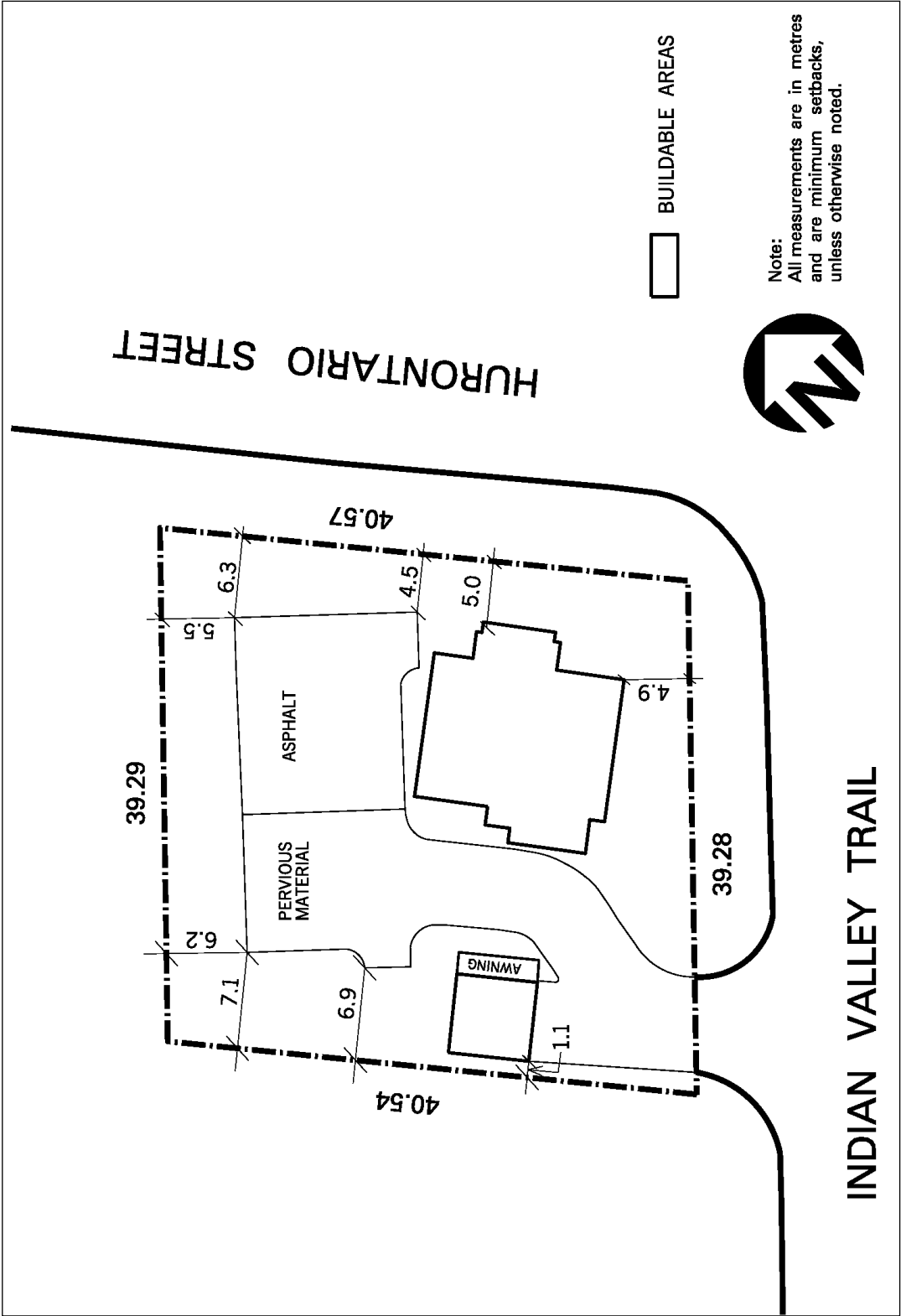
4.2.2.106	Exception: RL-106	Map # 44W	By-law: 0199-2010, 0308-2011, 0048-2025
In a RL-106 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses/regulations shall apply:			
Regulation			
4.2.2.106.1	<i>deleted</i>		
4.2.2.106.2	<i>deleted</i>		
4.2.2.106.3	<i>deleted</i>		
4.2.2.106.4	Maximum projection of the garage beyond any portion of the front wall or exterior side wall of the first storey	0.0 m	

4.2.2.107	Exception: RL-107	Map # 39E	By-law: 0380-2009/OMB Order 2010 October 13, 0308-2011, 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RL-107 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Regulations			
4.2.2.107.1	<i>deleted</i>		
4.2.2.107.2	Maximum gross floor area - infill residential		190 m ² plus 0.2 times the lot area
4.2.2.107.3	<i>deleted</i>		
4.2.2.107.4	<i>deleted</i>		

Exception RL-107 continued on next page

4.2.2.107	Exception: RL-107	Map # 39E	By-law: 0380-2009/OMB Order 2010 October 13, 0308-2011, 0181-2018/LPAT Order 2019 February 15, 0048-2025
Exception RL-107 continued from previous page			
4.2.2.107.5	Minimum setback to garage face - interior lot		7.5 m
4.2.2.107.6	<i>deleted</i>		
4.2.2.107.7	<i>deleted</i>		
4.2.2.107.8	<i>deleted</i>		
4.2.2.107.9	Garage projection: maximum projection of the garage beyond the front wall or exterior side wall of the first storey		2.0 m
4.2.2.107.10	<i>deleted</i>		

4.2.2.108	Exception: RL-108	Map # 08	By-law: OMB Order 2014 March 18, 0193-2016/ OMB Order 2017 May 30, 0048-2025
In a RL-108 zone the applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Permitted Use			
4.2.2.108.1	Lands zoned RL-108 shall only be used for the following: (1) Detached Dwelling or (2) Semi-Detached or (3) Office with one dwelling unit or (4) Medical office - restricted with one dwelling unit		
Regulations			
4.2.2.108.2	<i>deleted</i>		
4.2.2.108.3	Minimum centre line setback from Hurontario Street		19.0 m
4.2.2.108.4	<i>deleted</i>		
4.2.2.108.5	<i>deleted</i>		
4.2.2.108.6	<i>deleted</i>		
4.2.2.108.7	<i>deleted</i>		
4.2.2.108.8	An office and medical office - restricted shall comply with the RL zone regulations contained in Subsection 4.2.1 of this By-law except that: (1) maximum gross floor area - non-residential (2) maximum lot coverage (3) maximum number of parking spaces that may be tandem parking spaces		175 m ² 15% 2
4.2.2.108.9	All site development plans shall comply with Schedule RL-108 of this Exception		



Schedule RL-108
Map 08

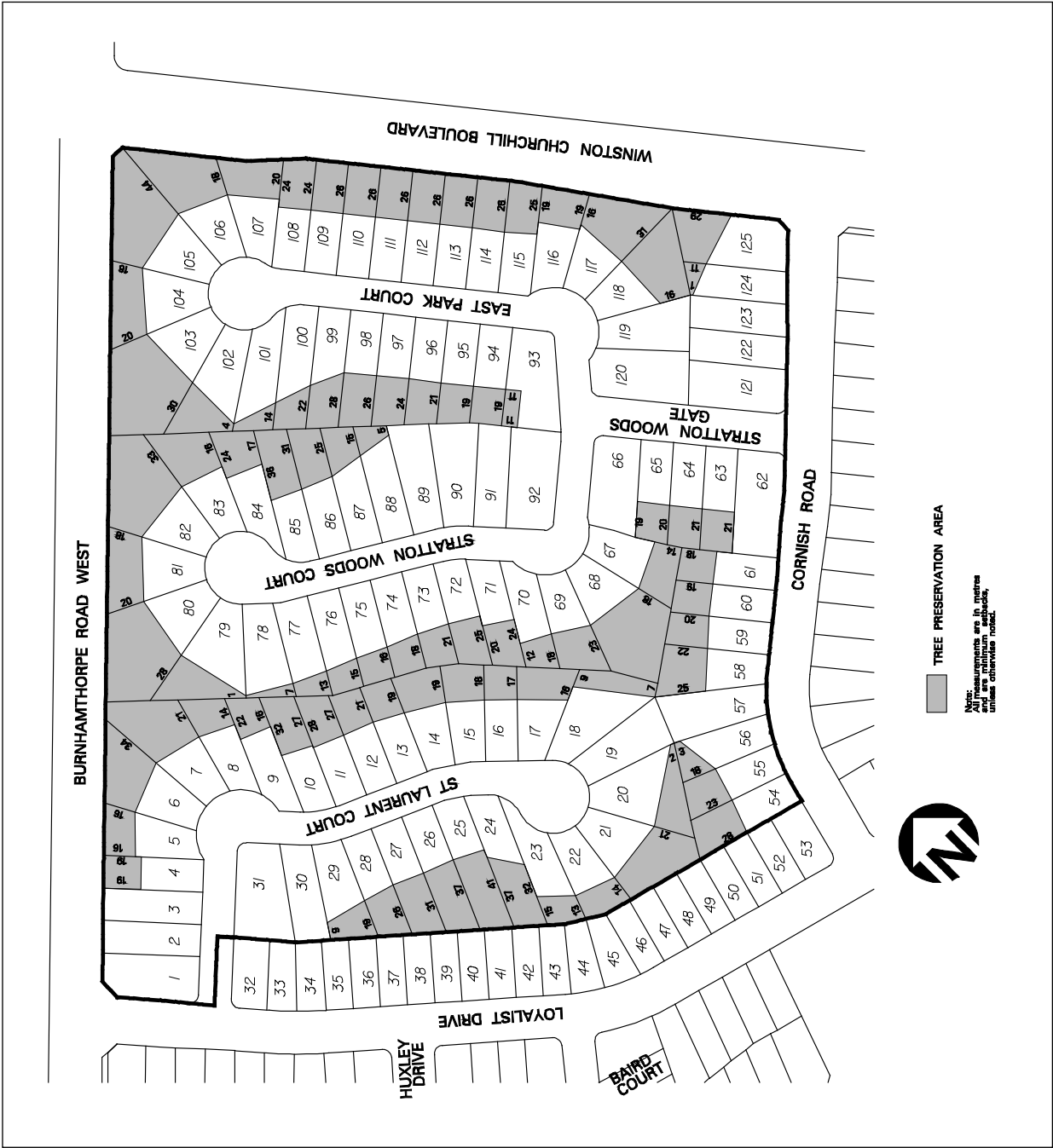
4.2.2.109	Exception: RL-109	Map #	By-law: <i>deleted by 0048-2025</i>

4.2.2.110	Exception: RL-110	Map # 49E	By-law: 0379-2009, 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RL-110 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Regulations			
4.2.2.110.1	A detached dwelling shall comply with the RL zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1)	minimum lot area	424 m ²
	(2)	minimum lot frontage	14.0 m
	(3)	minimum front yard - interior lot	6.0 m
	(4)	minimum interior side yard	0.95 m
	(5)	minimum exterior side yard	3.5 m
	(6)	minimum exterior side yard abutting Scarboro Street	4.5 m
	(7)	minimum setback to garage face	6.0 m

4.2.2.111	Exception: RL-111	Map # 32	By-law: 0048-2025
In a RL-111 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Regulations			
4.2.2.111.1	A detached dwelling shall comply with the RL zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1)	minimum lot area - interior lot	440 m ²
	(2)	minimum lot frontage - interior lot	6.0 m
	(3)	minimum front yard	1.5 m

4.2.2.112	Exception: RL-112	Map # 46W	By-law: 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RL-112 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Regulations			
4.2.2.112.1	The regulations of Lines 3.0 to 14.0 contained in Table 4.2.1 of this By-law shall not apply		
4.2.2.112.2	A detached dwelling shall comply with the RL zone regulations contained in Subsection 4.2.1 of this By-law except that:		
(1)	maximum number of dwelling units per hectare on all lands zoned RL-112	19.8	
(2)	minimum setback to a condominium road	4.5 m	
(3)	minimum distance between buildings	3.0 m	
(4)	minimum setback of all buildings and structures to any lot line	7.5 m	
(5)	minimum setback of a garage face to a condominium road	6.0 m	
(6)	<i>deleted</i>		
(7)	height of all buildings and structures shall be measured from established grade		

4.2.2.113	Exception: RL-113	Map # 59	By-law: 0048-2025
In a RL-113 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Regulations			
4.2.2.113.1	A detached dwelling shall comply with the RL zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1) minimum interior side yard		1.5 m
4.2.2.113.2	Minimum rear yard measured from the limit of the tree preservation area for a lot that includes a tree preservation area, identified on Schedule RL-113 of this Exception		7.5 m
4.2.2.113.3	Minimum setback between a detached dwelling and the tree preservation area for a lot that includes or abuts a tree preservation area, identified on Schedule RL-113 of this Exception		3.0 m
4.2.2.113.4	The areas identified on Schedule RL-113 of this Exception as a tree preservation area, shall only be used for conservation purposes, and no buildings or structures, swimming pools, tennis courts or any like recreational facilities, except for fences along the lot lines , shall be permitted		



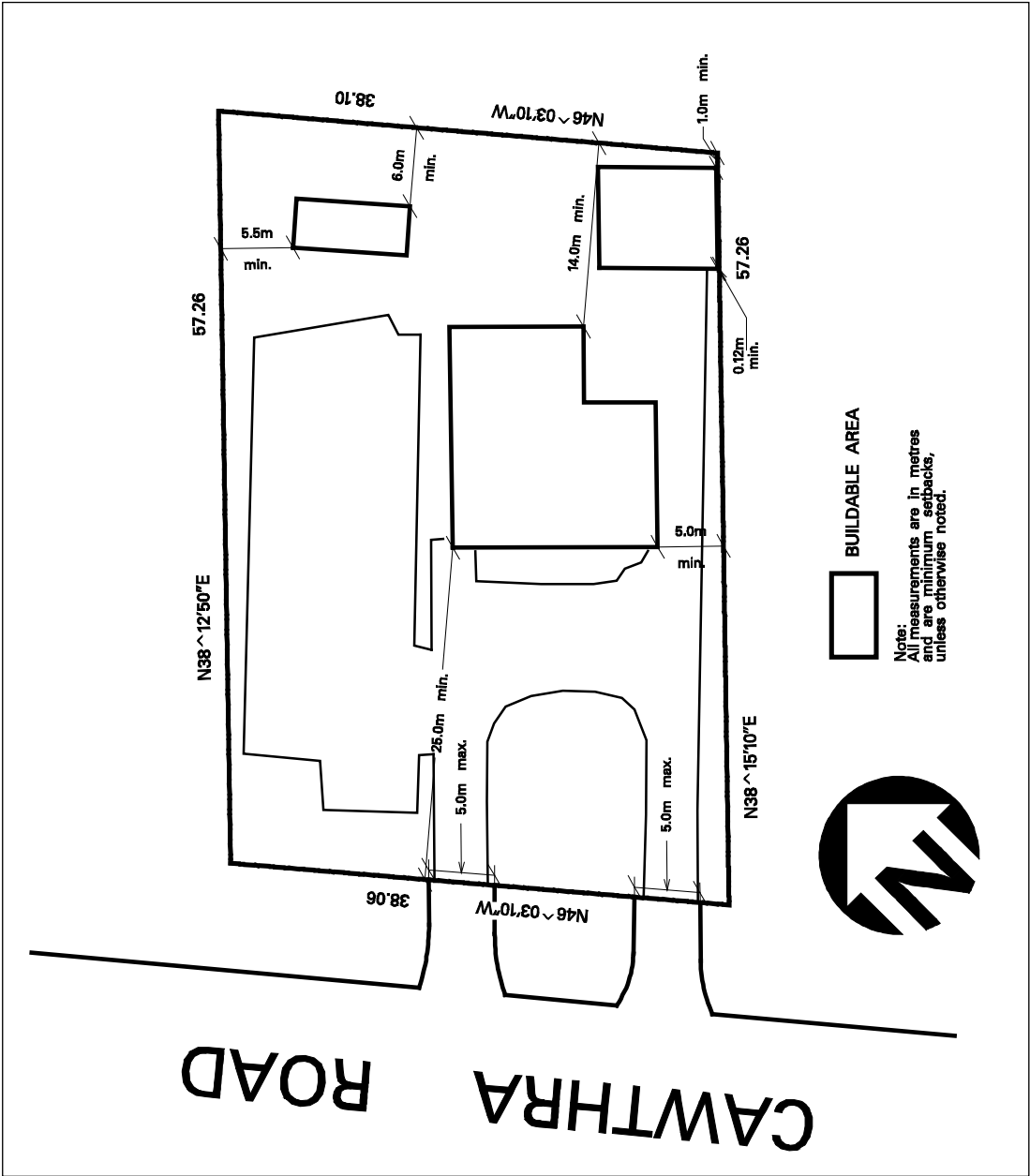
Schedule RL-113
Map 59

4.2.2.114	Exception: RL-114	Map # 38W	By-law: 0048-2025
In a RL-114 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Regulations			
4.2.2.114.1	A detached dwelling shall comply with the RL zone regulations contained in Subsection 4.2.1 of this By-law except that:		
(1)	minimum lot area	500 m ²	
(2)	maximum lot coverage	45%	

4.2.2.115	Exception: RL-115	Map # 10	By-law: 0048-2025
In a RL-115 zone the applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Permitted Use			
4.2.2.115.1	Lands zoned RL-115 shall only be used for the following:		
	(1) A private swimming club and accessory uses such as swimming and wading pools, meeting and changing rooms and washroom facilities		
Regulations			
4.2.2.115.2	Minimum front yard		13.5 m
4.2.2.115.3	Minimum interior side yard		2.4 m
4.2.2.115.4	Minimum rear yard		12.0 m
4.2.2.115.5	Maximum lot coverage		20%
4.2.2.115.6	Maximum height		10.7 m
4.2.2.115.7	Minimum number of parking spaces per 10 m ² of swimming pool area		1
4.2.2.115.8	Minimum setback from a parking space to an interior lot line		1.5 m

4.2.2.116	Exception: RL-116	Map # 08	By-law: 0171-2015/ OMB Order 2016 April 04, 0193-2016/OMB Order 2017 May 30, 0048-2025
In a RL-116 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Regulations			
4.2.2.116.1	A detached dwelling shall comply with the RL zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1)	minimum lot area	535 m ²
	(2)	minimum lot frontage - corner lot	15.0 m
4.2.2.116.2	Minimum front yard - interior lot		6.0 m
4.2.2.116.3	<i>deleted</i>		
4.2.2.116.4	<i>deleted</i>		
4.2.2.116.5	<i>deleted</i>		
4.2.2.116.6	<i>deleted</i>		

4.2.2.117	Exception: RL-117	Map # 20	By-law: 0048-2025
In a RL-117 zone the applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Permitted Uses			
4.2.2.117.1	Lands zoned RL-117 shall only be used for the following:		
	(1) Detached Dwelling or (2) Semi-Detached or (3) Medical Office - Restricted		
Regulations			
4.2.2.117.2	A medical office - restricted shall comply with the RL zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1) maximum gross floor area - non-residential used for a medical office - restricted	433 m ²	
	(2) maximum number of physicians, dentists, drugless practitioners or health professionals permitted to practise	3	
	(3) minimum number of parking spaces	15	
	(4) all site development plans shall comply with Schedule RL-117 of this Exception		



Schedule RL-117
Map 20

4.2.2.118	Exception: RL-118	Map # 30	By-law: 0048-2025
In a RL-118 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Regulation			
4.2.2.118.1	<i>deleted</i>		
4.2.2.118.2	<i>deleted</i>		
4.2.2.118.3	A detached dwelling shall comply with the RL zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1) minimum rear yard	1.7 m	

4.2.2.119	Exception: RL-119	Map # 22, 24, 38W, 44W, 45E	By-law: 0048-2025
In a RL-119 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Regulations			
4.2.2.119.1	A detached dwelling shall comply with the RL zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1) minimum lot area - interior lot	450 m ²	
	(2) minimum lot area - corner lot	550 m ²	
	(3) minimum lot frontage - interior lot	14.0 m	
	(4) minimum lot frontage - corner lot	18.0 m	
	(5) minimum front yard - interior lot	6.0 m	
	(6) minimum interior side yard - interior lot	1.2 m	
	(7) minimum interior side yard - interior lot , for that part of a lot that adjoins a one storey garage or a wall of a main building containing no windows or doors into a habitable room	0.61 m	
	(8) minimum combined width of side yards	1.81 m	
4.2.2.119.2	Minimum exterior side yard		4.5 m

4.2.2.120	Exception: RL-120	Map # 11	By-law: 0048-2025
In a RL-120 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Regulations			
4.2.2.120.1	The provisions contained in Subsection 4.1.17 of this By-law shall not apply		
4.2.2.120.2	Access shall only be permitted from Thetford Court		

4.2.2.121	Exception: RL-121	Map # 31, 37E	By-law: 0379-2009, 0171-2015/OMB Order 2016 April 04, 0181-2018/ LPAT Order 2019 February 15, 0048-2025
In a RL-121 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Regulations			
4.2.2.121.1	A detached dwelling shall comply with the RL zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1)	minimum lot area - interior lot	480 m ²
	(2)	minimum lot area - corner lot	585 m ²
	(3)	minimum lot frontage - corner lot	18.0 m
	(4)	maximum lot coverage	45%
	(5)	minimum front yard - interior lot	6.0 m
	(6)	minimum interior side yard - interior lot	1.2 m on one side and 0.61 m on the other side
	(7)	minimum interior side yard - corner lot	1.2 m
	(8)	minimum exterior side yard	4.5 m
	(9)	minimum exterior side yard - lots abutting Cawthra Road	7.5 m
	(10)	minimum rear yard - corner lot	7.5 m
	(11)	minimum setback to a railway right-of-way	22.0 m
	(12)	minimum setback to a railway right-of-way	6.0 m

4.2.2.122	Exception: RL-122	Map # 45W	By-law: 0048-2025
In a RL-122 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Regulations			
4.2.2.122.1	A detached dwelling shall comply with the RL zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1)	minimum front yard	6.5 m
	(2)	minimum rear yard	30.0 m

4.2.2.123	Exception: RL-123	Map # 45W	By-law: 0048-2025
In a RL-123 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Regulations			
4.2.2.123.1	A detached dwelling shall comply with the RL zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1)	minimum front yard	6.5 m
	(2)	minimum rear yard - lots abutting a G1 zone	17.5 m

4.2.2.124	Exception: RL-124	Map # 32, 39E	By-law: 0048-2025
In a RL-124 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses/regulations shall apply:			
Regulation			
4.2.2.124.1	A detached dwelling shall comply with the RL zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1)	minimum lot area - interior lot	460 m ²

4.2.2.125	Exception: RL-125	Map # 38W	By-law: 0379-2009, 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RL-125 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses/regulations shall apply:			
Regulations			
4.2.2.125.1	A detached dwelling shall comply with the RL zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1)	maximum lot coverage	40%
	(2)	minimum front yard	4.5 m
	(3)	minimum interior side yard	1.2 m
	(4)	minimum setback to garage face	6.0 m

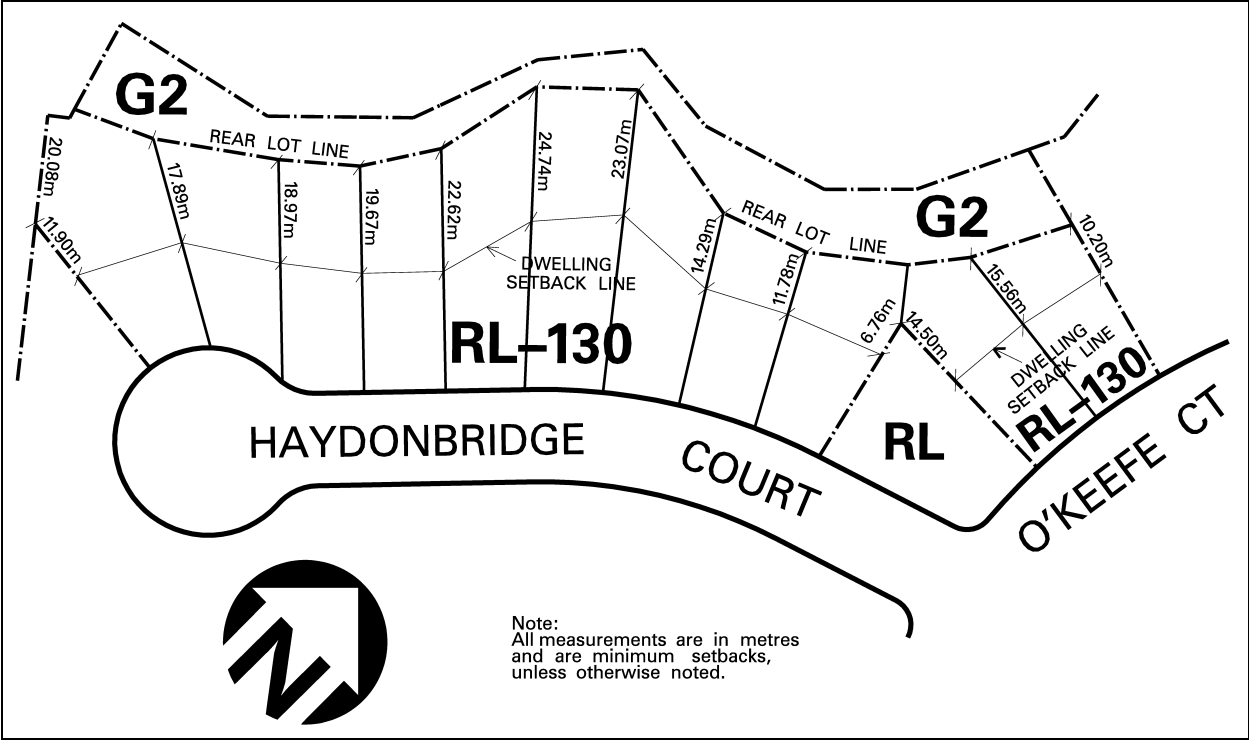
4.2.2.126	Exception: RL-126	Map # 38W	By-law: 0048-2025
In a RL-126 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses/regulations shall apply:			
Regulation			
4.2.2.126.1	A detached dwelling shall comply with the RL zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1)	maximum lot coverage	40%

4.2.2.127	Exception: RL-127	Map # 17, 30, 38W	By-law: 0048-2025
In a RL-127 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses/regulations shall apply:			
Regulations			
4.2.2.127.1	A detached dwelling shall comply with the RL zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1)	maximum lot coverage	40%
	(2)	minimum interior side yard - interior lot	1.2 m

4.2.2.128	Exception: RL-128	Map # 30, 37W, 38E, 38W, 39W	By-law: 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RL-128 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Regulations			
4.2.2.128.1	A detached dwelling shall comply with the RL zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1) minimum lot area - interior lot	560 m ²	
	(2) minimum lot area - corner lot	700 m ²	
	(3) minimum lot frontage - interior lot	14.0 m	
	(4) minimum lot frontage - corner lot	18.5 m	
	(5) maximum lot coverage	40%	
	(6) minimum front yard - interior lot	9.0 m	
	(7) minimum interior side yard - interior lot	1.2 m	
	(8) minimum setback to garage face	12.0 m	

4.2.2.129	Exception: RL-129	Map # 45E	By-law: 0048-2025
In a RL-129 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Regulations			
4.2.2.129.1	Minimum setback of a dwelling to all lands zoned G2-3		15.0 m
4.2.2.129.2	Minimum setback of all accessory buildings and structures and swimming pools to all lands zoned G1		15.0 m

4.2.2.130	Exception: RL-130	Map # 45E	By-law: 0048-2025
In a RL-130 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses/regulations shall apply:			
Regulation			
4.2.2.130.1	Minimum setback of a dwelling to all lands zoned G2	the dwelling setback line identified on Schedule RL-130 of this Exception	



Schedule RL-130
Map 45E

4.2.2.131	Exception: RL-131	Map # 30	By-law: 0379-2009, 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RL-131 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Regulations			
4.2.2.131.1	A detached dwelling shall comply with the RL zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1)	minimum lot area - interior lot	540 m ²
	(2)	minimum lot area - corner lot	680 m ²
	(3)	minimum lot frontage - corner lot	19.0 m
	(4)	maximum lot coverage	40%
	(5)	minimum front yard	4.5 m
	(6)	minimum interior side yard	1.2 m
	(7)	minimum exterior side yard	4.5 m
	(8)	minimum rear yard - corner lot	7.5 m
	(9)	minimum setback to a sight triangle	0.0 m
	(10)	<i>deleted</i>	
	(11)	maximum encroachment of a porch or a balcony into the required front yard or exterior side yard	2.0 m
	(12)	a detached garage shall not be permitted	
	(13)	minimum setback to garage face	6.0 m

4.2.2.132	Exception: RL-132	Map # 24	By-law: 0048-2025
In a RL-132 zone the applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Permitted Uses			
4.2.2.132.1	Lands zoned RL-132 shall only be used for the following:		
	(1)	Detached Dwelling or	
	(2)	Semi-Detached or	
	(3)	Office	

4.2.2.133	Exception: RL-133	Map # 37W	By-law: 0137-2013, 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RL-133 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Regulations			
4.2.2.133.1	A detached dwelling shall comply with the RL zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1)	minimum lot area - interior lot	500 m ²
	(2)	minimum lot area - corner lot	600 m ²
	(3)	minimum lot frontage - interior lot	14.0 m
	(4)	minimum lot frontage - corner lot	17.0 m
	(5)	minimum front yard - interior lot	9.0 m
	(6)	<i>deleted</i>	
	(7)	minimum setback to garage face	12.0 m

4.2.2.134	Exception: RL-134	Map #	By-law: <i>deleted by 0048-2025</i>

4.2.2.135	Exception: RL-135	Map # 45E	By-law: 0048-2025
In a RL-135 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Regulations			
4.2.2.135.1	Maximum gross floor area - infill residential		190 m ² plus 0.20 times the lot area
4.2.2.135.2	Minimum setback to all lands zoned G1		3.0 m

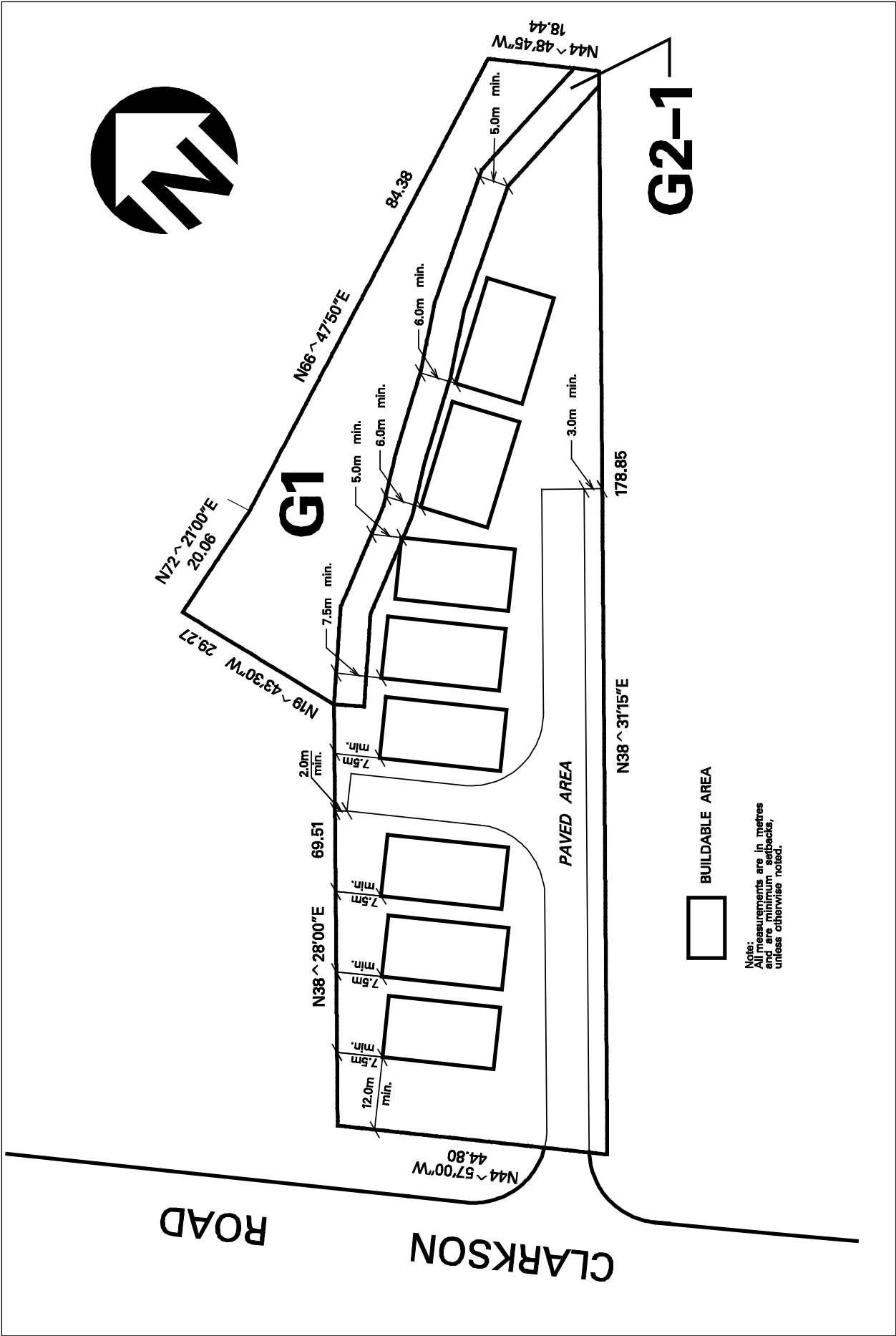
4.2.2.136	Exception: RL-136	Map # 36W	By-law: 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RL-136 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Regulations			
4.2.2.136.1	A detached dwelling shall comply with the RL zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1)	minimum lot area - interior lot	525 m ²
	(2)	minimum lot area - corner lot	660 m ²
	(3)	minimum lot frontage - interior lot	14.0 m
	(4)	minimum lot frontage - corner lot	18.5 m
	(5)	<i>deleted</i>	
	(6)	<i>deleted</i>	
	(7)	minimum setback to garage face	10.4 m

4.2.2.137	Exception: RL-137	Map # 38W	By-law: 0048-2025
In a RL-137 zone the applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Permitted Uses			
4.2.2.137.1	Lands zoned RL-137 shall only be used for the following:		
	(1)	Detached Dwelling or	
	(2)	Semi-Detached or	
	(3)	Veterinary Clinic	
Regulations			
4.2.2.137.2	A veterinary clinic shall comply with the RL zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1)	maximum number of veterinarians permitted to practise	1
	(2)	maximum gross floor area - non-residential	340 m ²
	(3)	minimum front yard - corner lot	3.4 m
	(4)	minimum exterior side yard	75.0 m
	(5)	minimum interior side yard - corner lot	2.8 m
	(6)	minimum rear yard - corner lot	2.5 m
	(7)	outdoor storage shall not be permitted	
	(8)	a veterinary clinic use and all related activities shall be conducted wholly within the existing building	

4.2.2.138	Exception: RL-138	Map # 10	By-law: 0048-2025
In a RL-138 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Regulations			
4.2.2.138.1	A detached dwelling shall comply with the RL zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1)	minimum lot area	523 m ²
	(2)	minimum lot frontage	14.5 m
	(3)	<i>deleted</i>	
	(4)	maximum gross floor area - infill residential identified on Schedule RL-138 of this Exception	
	(5)	minimum front yard	7.5 m
	(6)	minimum exterior side yard	5.0 m
	(7)	minimum rear yard	7.5 m
	(8)	no part of any garage shall be located closer to a street , private road or private lane than the first floor walls of the detached dwellings on Lots 1, 2, 3, 5 and 15 identified on Schedule RL-138 of this Exception	
	(9)	maximum height - highest ridge: sloped roof	9.0 m
	(10)	maximum height: flat roof	7.5 m
	(11)	minimum number of parking spaces per dwelling unit	4
	(12)	maximum driveway width	6.0 m
	(13)	all site development plans shall comply with Schedule RL-138 of this Exception	

4.2.2.139	Exception: RL-139	Map # 36E	By-law: 0379-2009, 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RL-139 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Regulations			
4.2.2.139.1	A detached dwelling shall comply with the RL zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1)	minimum lot area - interior lot	470 m ²
	(2)	minimum lot area - corner lot	600 m ²
	(3)	<i>deleted</i>	
	(4)	minimum front yard	4.5 m
	(5)	<i>deleted</i>	
	(6)	minimum exterior side yard	4.5 m
	(7)	minimum setback to garage face	6.0 m

4.2.2.140	Exception: RL-140	Map # 10	By-law: 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RL-140 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Regulations			
4.2.2.140.1	A detached dwelling shall comply with the RL zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1)	the regulations contained in Article 3.1.1.8 of this By-law shall not apply	
	(2)	maximum number of detached dwellings on all lands zoned RL-140	8
	(3)	minimum landscaped area	50% of the lot area
	(4)	minimum setback to a condominium road	4.5 m
	(5)	minimum setback to garage face from a condominium road	5.2 m
	(6)	minimum separation between detached dwellings	3.0 m
	(7)	maximum height	7.5 m
	(8)	height of all buildings and structures shall be measured from established grade	
	(9)	maximum driveway width	8.5 m
	(10)	minimum number of parking spaces per dwelling unit	4
	(11)	all site development plans shall comply with Schedule RL-140 of this Exception	



Schedule RL-140
Map 10

4.2.2.141	Exception: RL-141	Map # 30	By-law: 0184-2008, 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RL-141 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Regulations			
4.2.2.141.1	A detached dwelling shall comply with the RL zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1)	minimum lot area - interior lot	480 m ²
	(2)	maximum lot coverage	45%
	(3)	minimum front yard - interior lot	4.5 m
	(4)	minimum interior side yard - interior lot	1.2 m
	(5)	minimum interior side yard - corner lot	1.2 m
	(6)	minimum setback to garage face - interior lot	6.0 m
	(7)	minimum setback to garage face - interior lot	0.0 m
	(8)	maximum height	11.0 m
	(9)	maximum encroachment of a porch or a balcony into the required front yard or exterior side yard	2.0 m
	(10)	maximum area of a balcony on top of an attached garage	12 m ²
	(11)	a detached garage shall not be permitted	

4.2.2.142	Exception: RL-142	Map # 46W, 54W	By-law: 0048-2025
In a RL-142 zone the applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Permitted Use			
4.2.2.142.1	Lands zoned RL-142 shall only be used for the following:		
	(1)	Day Care	

4.2.2.143	Exception: RL-143	Map # 11	By-law: 0048-2025
In a RL-143 zone the applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Permitted Use			
4.2.2.143.1	Lands zoned RL-143 shall only be used for the following:		
	(1)	Medical Office - Restricted	
Regulation			
4.2.2.143.2	Maximum number of physicians, dentists, drugless practitioners or health professionals permitted to practise		2

4.2.2.144	Exception: RL-144	Map # 11	By-law: 0048-2025
In a RL-144 zone the applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Permitted Uses			
4.2.2.144.1	Lands zoned RL-144 shall only be used for the following: (1) Detached Dwelling or (2) Semi-Detached or (3) Medical office - restricted in a detached dwelling		
Regulations			
4.2.2.144.2	Maximum gross floor area - non-residential used for a medical office - restricted	100 m ²	
4.2.2.144.3	Maximum number of physicians, dentists, drugless practitioners or health professionals permitted to practise	1	
4.2.2.144.4	A medical office - restricted shall only be located in the first storey		

4.2.2.145	Exception: RL-145	Map # 07	By-law: 0208-2022, 0048-2025
In a RL-145 zone the applicable regulations shall be as specified for a RL zone except that the following uses/regulations shall apply:			
Permitted Uses			
4.2.2.145.1	Lands zoned RL-145 shall only be used for the following:		
	(1) Detached Dwelling or (2) Semi-Detached or (3) Office (4) Medical Office - Restricted		
Uses Not Permitted			
4.2.2.145.2	(1) Office and/or medical office - restricted that requires more than 14 parking spaces		
Regulations			
4.2.2.145.3	Detached Dwelling:		
	(1) the regulations contained in Subsection 4.2.2 of this By-law shall apply		
	(2) deleted		
	(3) maximum height: flat roof		9.0 m

Exception RL-145 continued on next page

4.2.2.145	Exception: RL-145	Map # 07	By-law: 0208-2022, 0048-2025
Exception RL-145 continued from previous page			
4.2.2.145.4	An office and medical office - restricted shall comply with the RL zone regulations contained in Subsection 4.2.1 of this By-law except that:		
(1)	maximum gross floor area - non-residential	420 m ²	
(2)	that part of the building located below average grade shall only be used for the following:		
(1)	climate control, electrical, energy generation and distribution, mechanical equipment related to the operation or maintenance of the building ;		
(2)	areas of stairwells, washrooms or elevators;		
(3)	collection or storage of disposable or recyclable waste generated within the building ;		
(4)	storage incidental to permitted uses in the building ;		
	or		
(5)	lunch rooms, lounges or fitness rooms for the personal needs of occupants of the building .		
(3)	maximum height - highest ridge: sloped roof	10.0 m	
(4)	maximum height: flat roof	9.0 m	
(5)	minimum number of parking spaces per 100 m ² gross floor area - non-residential used for a plastic surgery clinic	3.2	
(6)	maximum encroachment of an awning outside the buildable area identified on Schedule RL-145 of this Exception into the required front yard	4.5 m	
(7)	maximum encroachment of an awning outside the buildable area identified on Schedule RL-145 of this Exception into the northerly required interior side yard	2.0 m	
(8)	"Plastic Surgery Clinic" means a medical office - restricted containing the office of a maximum of one medical practitioner in which plastic, reconstructive and/or cosmetic procedures are undertaken		
(9)	maximum number of parking spaces	14	
(10)	all site development plans shall comply with Schedule RL-145 of this Exception		

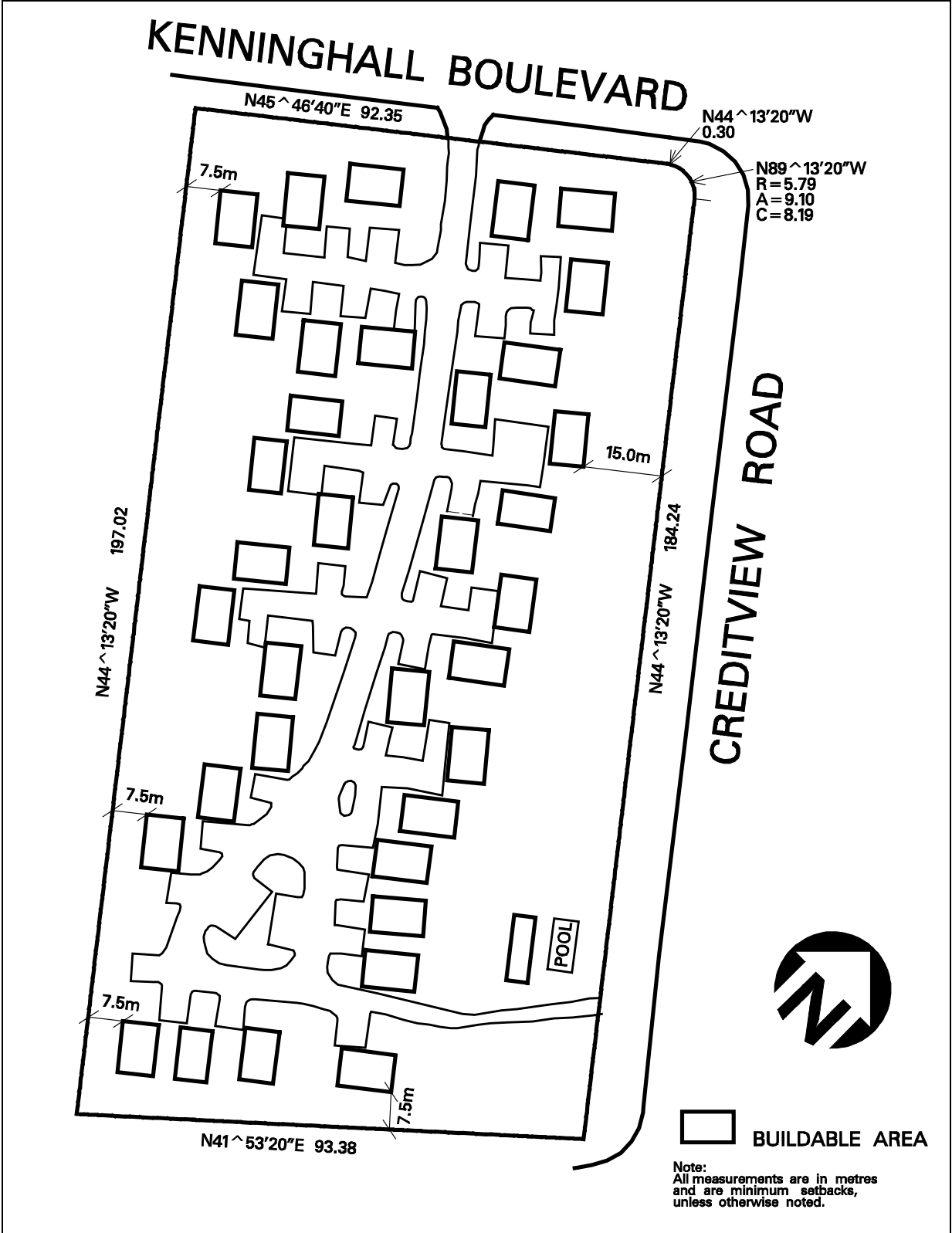
4.2.2.146	Exception: RL-146	Map # 15	By-law: 0048-2025
In a RL-146 zone the applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Permitted Uses			
4.2.2.146.1	Lands zoned RL-146 shall only be used for the following:		
	(1) Detached Dwelling or		
	(2) Semi-Detached or		
	(3) Office		
	(4) Medical Office - Restricted		
Regulation			
4.2.2.146.2	An office and medical office - restricted shall comply with the RL zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1)	maximum gross floor area - non-residential	125 m ²

4.2.2.147	Exception: RL-147	Map # 07	By-law: 0171-2015/ OMB Order 2016 April 04, 0193-2016/OMB Order 2017 May 30, 0048-2025
In a RL-147 zone the applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Permitted Uses			
4.2.2.147.1	Lands zoned RL-147 shall only be used for the following:		
	(1) Detached Dwelling or		
	(2) Semi-Detached or		
	(3) Office		
	(4) Medical Office - Restricted		
Regulations			
4.2.2.147.2	<i>deleted</i>		
4.2.2.147.3	<i>deleted</i>		
4.2.2.147.4	<i>deleted</i>		
4.2.2.147.5	<i>deleted</i>		
4.2.2.147.6	<i>deleted</i>		
4.2.2.147.7	An office and medical office - restricted shall comply with the RL zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1)	maximum gross floor area - non-residential	190 m ²

4.2.2.148	Exception: RL-148	Map # 15	By-law: 0048-2025
In a RL-148 zone the applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Permitted Uses			
4.2.2.148.1	Lands zoned RL-148 shall only be used for the following:		
	(1) Detached Dwelling or		
	(2) Semi-Detached or		
	(3) Medical Office - Restricted		
Regulations			
4.2.2.148.2	A medical office - restricted shall comply with the RL zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1)	maximum gross floor area - non-residential used for a medical office - restricted	130 m ²
	(2)	minimum front yard - interior lot	0.0 m
	(3)	minimum westerly interior side yard	0.61 m
	(4)	maximum number of physicians, dentists, drugless practitioners or health professionals permitted to practise	2
	(5)	minimum number of parking spaces	8

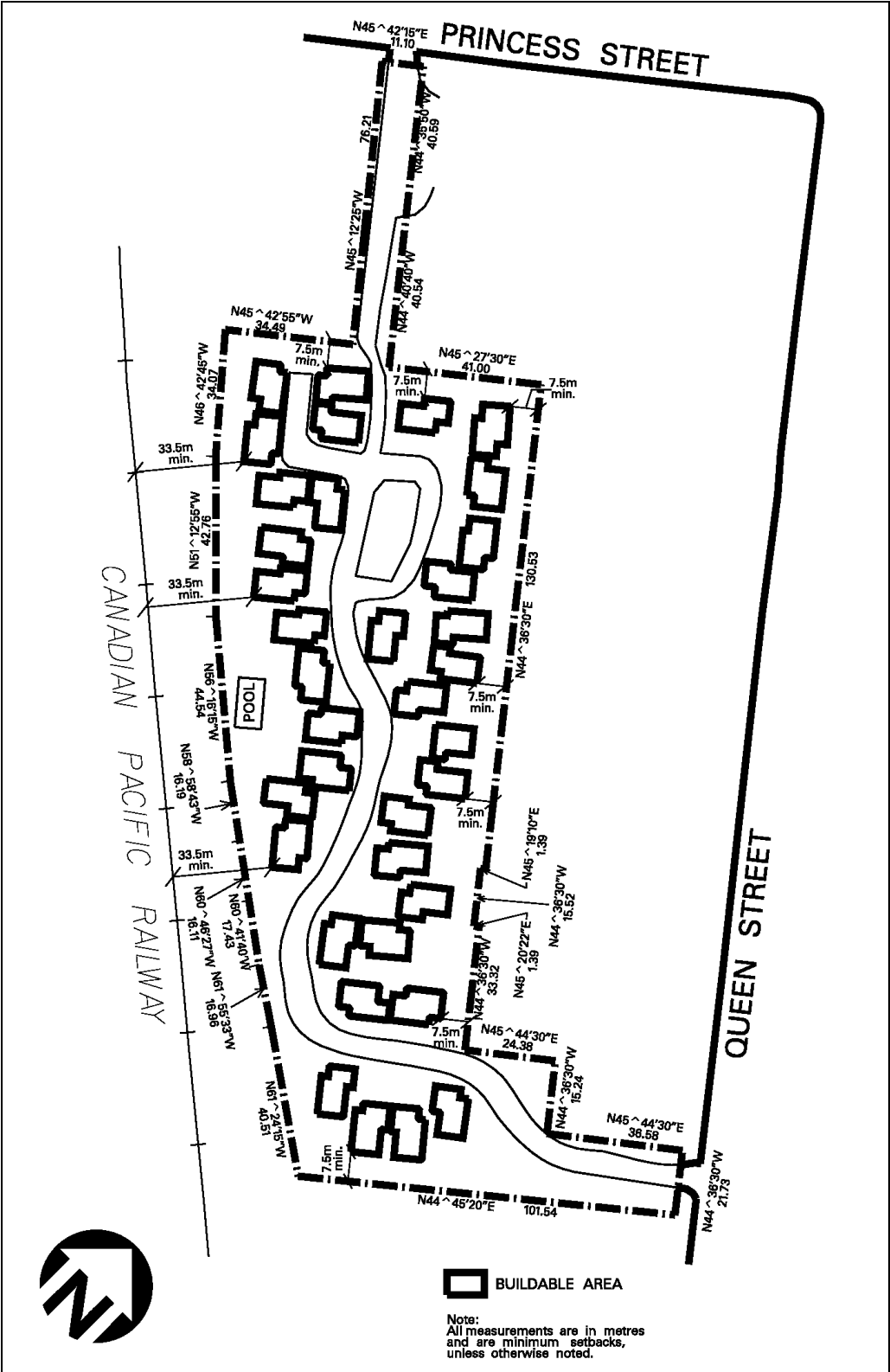
4.2.2.149	Exception: RL-149	Map # 07	By-law: 0171-2015/ OMB Order 2016 April 04, 0193-2016/OMB Order 2017 May 30, 0048-2025
In a RL-149 zone the applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Permitted Uses			
4.2.2.149.1	Lands zoned RL-149 shall only be used for the following:		
	(1)	Detached Dwelling or	
	(2)	Semi-Detached or	
	(3)	Office	
	(4)	Medical Office - Restricted	
Regulations			
4.2.2.149.2	<i>deleted</i>		
4.2.2.149.3	<i>deleted</i>		
4.2.2.149.4	<i>deleted</i>		
4.2.2.149.5	<i>deleted</i>		
4.2.2.149.6	An office and medical office - restricted shall comply with the RL zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1)	maximum gross floor area - non-residential	210 m ²
	(2)	minimum rear yard	12.0 m

4.2.2.150	Exception: RL-150	Map # 45W	By-law: 0048-2025
In a RL-150 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses/regulations shall apply:			
Regulations			
4.2.2.150.1	Maximum number of detached dwellings		35
4.2.2.150.2	Height of all buildings and structures shall be measured from established grade		
4.2.2.150.3	All site development plans shall comply with Schedule RL-150 of this Exception		



Schedule RL-150
Map 45W

4.2.2.151	Exception: RL-151	Map # 39E	By-law: 0048-2025
In a RL-151 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses/regulations shall apply:			
Regulations			
4.2.2.151.1	Maximum number of detached dwellings		36
4.2.2.151.2	Minimum separation distance between detached dwellings		3.6 m
4.2.2.151.3	Minimum separation distance between garages		1.2 m
4.2.2.151.4	Height of all buildings and structures shall be measured from established grade		
4.2.2.151.5	All site development plans shall comply with Schedule RL-151 of this Exception		

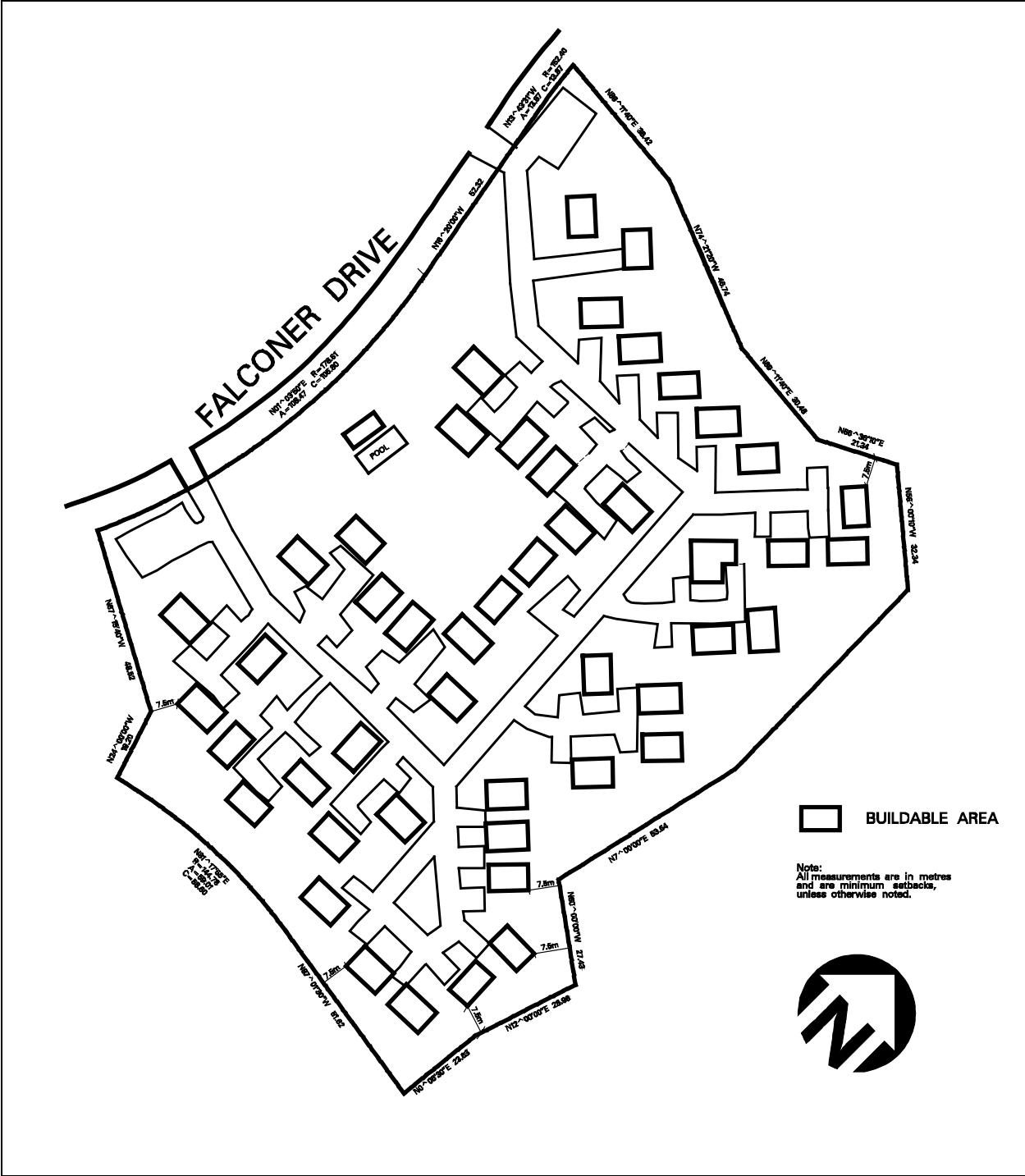


Schedule RL-151
Map 39E

4.2.2.152	Exception: RL-152	Map # 13	By-law: 0308-2011, 0171-2015/OMB Order 2016 April 04, 0193-2016/ OMB Order 2017 May 30, 0111-2019/LPAT Order 2021 March 09, 0048-2025
In a RL-152 zone the applicable regulations shall be as specified for a RL zone except that the following uses/regulations shall apply:			
Permitted Uses			
4.2.2.152.1	Lands zoned RL-152 shall only be used for the following:		
	(1) Detached Dwelling or (2) Semi-Detached or (3) Service Establishment (4) Office		
Regulations			
4.2.2.152.2	deleted		
4.2.2.152.3	deleted		
4.2.2.152.4	deleted		
4.2.2.152.5	deleted		
4.2.2.152.6	A service establishment and/or office shall comply with the RL zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1)	maximum gross floor area - non-residential on all lands zoned RL-152	350 m²
	(2)	maximum gross floor area - non-residential used for a service establishment on all lands zoned RL-152	200 m²
	(3)	a service establishment shall only be permitted on the ground floor	
	(4)	minimum lot frontage for lands fronting onto Baldwin Road	12.0 m
	(5)	minimum landscaped area	30% of the lot area
	(6)	maximum height	10.7 m and 2 storeys
	(7)	minimum depth of a landscaped buffer required along the entire length of the Stanfield Road lot frontage	4.5 m

4.2.2.153	Exception: RL-153	Map # 15	By-law: 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RL-153 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Regulations			
4.2.2.153.1	A detached dwelling shall comply with the RL zone regulations contained in Subsection 4.2.1 of this By-law except that: (1) minimum lot area - interior lot515 m² (2) minimum lot frontage - interior lot14.7 m		
4.2.2.153.2	Maximum projection of a garage beyond either the main front entrance or beyond the main entry feature where provided		2.5 m
4.2.2.153.3	Where a main entry feature has been provided, the maximum projection of a garage beyond a main front entrance		5.0 m
4.2.2.153.4	For a detached dwelling more than one storey in height , where the garage projects beyond the main front entrance , the garage shall be covered by a second storey which may be set back a maximum of 2.5 m from the garage face		

4.2.2.154	Exception: RL-154	Map # 45W	By-law: 0048-2025
In a RL-154 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Regulations			
4.2.2.154.1	Maximum number of detached dwellings		48
4.2.2.154.2	Height of all buildings and structures shall be measured from established grade		
4.2.2.154.3	All site development plans shall comply with Schedule RL-154 of this Exception		



Schedule RL-154
Map 45W

4.2.2.155	Exception: RL-155	Map # 08	By-law: 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RL-155 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Regulations			
4.2.2.155.1	A detached dwelling shall comply with the RL zone regulations contained in Subsection 4.2.1 of this By-law except that:		
(1)	minimum lot area - interior lot	375 m ²	
(2)	minimum lot area - corner lot	425 m ²	
(3)	minimum lot area - corner lot	13.5 m	
(4)	minimum lot frontage - corner lot	15.5 m	
(5)	maximum lot coverage of all buildings and structures excluding the area of a porch or balcony	50%	
(6)	maximum gross floor area - infill residential	190 m ² plus 0.33 times the lot area	
(7)	minimum front yard - corner lot	4.5 m	
(8)	minimum exterior side yard	3.5 m	
(9)	<i>deleted</i>		
(10)	minimum interior side yard - interior lot	1.2 m on one side and 2.4 m on the other side	
(11)	minimum rear yard	6.5 m to first storey	
(12)	minimum rear yard	0.6 m to detached or attached garage and second storey	
(13)	minimum setback to a sight triangle	0.0 m	
(14)	<i>deleted</i>		
(15)	<i>deleted</i>		
(16)	<i>deleted</i>		
(17)	maximum encroachment of a porch or balcony into the required exterior side yard	2.0 m	
(18)	maximum encroachment of window projections and architectural elements, with or without a foundation, such as, but not limited to, chimneys , media niches, pilasters and corbels:		
(1)	into the required front yard	1.0 m	
(2)	into the required interior or exterior side yard	0.6 m	
(19)	the lot line abutting a street with a width of 18.0 m or greater shall be deemed to be the front lot line		
(20)	no parking of motor vehicles or driveways shall be permitted in any part of a front or exterior side yard		
(21)	setback to garage face from the rear lot line	less than 1.0 m; or between 1.8 m and 2.0 m; or greater than 4.5 m	
(22)	minimum number of parking spaces per lot	2	
(23)	where the garage face is set back less than 1.0 m from the rear lot line , an unobstructed area measuring 2.6 m by 5.2 m shall be provided between the garage and one side lot line		
(24)	maximum garage width: measured from the inside face of the garage side walls	11.0 m	

4.2.2.156	Exception: RL-156	Map # 08, 09	By-law: 0379-2009, 0308-2011, 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RL-156 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses/regulations shall apply:			
Regulations			
4.2.2.156.1	A detached dwelling shall comply with the RL zone regulations contained in Subsection 4.2.1 of this By-law except that:		
(1)	minimum lot area - interior lot	500 m ²	
(2)	minimum lot area - corner lot	600 m ²	
(3)	minimum lot frontage - corner lot	18.0 m	
(4)	maximum lot coverage of all buildings and structures , excluding the area of a porch or balcony	40%	
(5)	maximum gross floor area - infill residential	190 m ² plus 0.33 times the lot area	
(6)	minimum front yard - corner lot	6.0 m	
(7)	minimum exterior side yard	4.5 m	
(8)	minimum interior side yard	1.5 m	
(9)	minimum rear yard - corner lot	7.5 m	
(10)	minimum setback to a sight triangle	1.5 m	
(11)	<i>deleted</i>		
(12)	<i>deleted</i>		
(13)	<i>deleted</i>		
(14)	maximum encroachment of a porch or balcony into the required exterior side yard	2.0 m	
(15)	maximum encroachment of window projections and architectural elements, with or without a foundation, such as, but not limited to, chimneys , media niches, pilasters and corbels:		
(1)	into the required front, rear or exterior side yard	1.0 m	
(2)	into the required interior side yard	0.6 m	
(16)	maximum encroachment of a side wall of a garage into the required front yard	1.5 m	
(17)	maximum projection of a garage face beyond any portion of the first floor front wall or exterior side wall of a detached dwelling	0.0 m	
(18)	maximum projection of a garage face beyond any portion of the first floor front wall or exterior side wall of a detached dwelling , where a main entry feature is provided	2.5 m	
(19)	a detached garage shall not be permitted		
(20)	maximum garage width: measured from the inside face of the garage side walls	8.0 m	
(21)	minimum setback to garage face	6.0 m	

4.2.2.157	Exception: RL-157	Map # 09	By-law: 0379-2009, 0308-2011, 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RL-157 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses/regulations shall apply:			
Regulations			
4.2.2.157.1	A detached dwelling shall comply with the RL zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1) minimum lot area - interior lot	500 m ²	
	(2) minimum lot area - corner lot	600 m ²	
	(3) minimum lot frontage - corner lot	18.0 m	
	(4) maximum lot coverage of all buildings and structures , excluding the area of a porch or balcony	40%	
	(5) maximum gross floor area - infill residential	190 m ² plus 0.33 times the lot area	
	(6) <i>deleted</i>		
	(7) minimum exterior side yard	4.5 m	
	(8) <i>deleted</i>		
	(9) <i>deleted</i>		
4.2.2.157.2	Minimum setback to a sight triangle	1.5 m	
4.2.2.157.3	<i>deleted</i>		
4.2.2.157.4	<i>deleted</i>		
4.2.2.157.5	<i>deleted</i>		
4.2.2.157.6	Maximum encroachment of a porch or balcony into the required exterior side yard	2.0 m	
4.2.2.157.7	Maximum encroachment of window projections and architectural elements, with or without a foundation, such as, but not limited to, chimneys , media niches, pilasters and corbels:		
	(1) into the required front, rear or exterior side yard	1.0 m	
	(2) into the required interior side yard	0.6 m	
4.2.2.157.8	Maximum encroachment of a side wall of a garage into the required front yard	1.5 m	
4.2.2.157.9	Maximum projection of a garage face beyond any portion of the first floor front wall or exterior side wall of a detached dwelling	0.0 m	
4.2.2.157.10	Maximum projection of a garage face beyond any portion of the first floor front wall or exterior side wall of a detached dwelling where a main entry feature is provided	2.5 m	
4.2.2.157.11	A detached garage shall not be permitted		
4.2.2.157.12	Maximum garage width: measured from the inside face of the garage side walls	8.0 m	
4.2.2.157.13	Minimum setback to garage face	6.0 m	

4.2.2.158	Exception: RL-158	Map # 14	By-law: 0048-2025
In a RL-158 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Regulation			
4.2.2.158.1	The provisions contained in Subsection 2.1.24 of this By-law shall apply		
Holding Provision			
The holding symbol H is to be removed from the whole or any part of the lands zoned H-RL-158 by further amendment to Map 14 of Schedule B contained in Part 13 of this By-law, as amended, upon satisfaction of the following requirements:			
(1) a letter from a Registered Professional Engineer in the Province of Ontario certifying that the building meets the requirements for flood proofing to the satisfaction of the City and Credit Valley Conservation;			
(2) confirmation in writing from Credit Valley Conservation that safe access to the site has been provided.			

4.2.2.159	Exception: RL-159	Map # 20	By-law: 0048-2025
In a RL-159 zone the applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Permitted Use			
4.2.2.159.1	Lands zoned RL-159 shall only be used for the following:		
	(1) Day Care		
Regulation			
4.2.2.159.2	Minimum number of parking spaces		22

4.2.2.160	Exception: RL-160	Map # 08	By-law: 0171-2015/ OMB Order 2016 April 04, 0193-2016/OMB Order 2017 May 30, 0048-2025
In a RL-160 zone the applicable regulations shall be as specified for a RL zone except that the following uses/regulations shall apply:			
Permitted Uses			
4.2.2.160.1	Lands zoned RL-160 shall only be used for the following:		
	(1) Detached Dwelling or (2) Semi-Detached or (3) Office (4) Medical Office - Restricted		
Regulations			
4.2.2.160.2	deleted		
4.2.2.160.3	deleted		
4.2.2.160.4	deleted		
4.2.2.160.5	deleted		
4.2.2.160.6	An office and medical office - restricted shall comply with the RL zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1)	minimum lot frontage - interior lot	22.5 m
	(2)	maximum gross floor area - non-residential	355 m²

4.2.2.161	Exception: RL-161	Map # 48W	By-law: 0048-2025
In a RL-161 zone the applicable regulations shall be as specified for a RL zone except that the following uses/regulations shall apply:			
Permitted Uses			
4.2.2.161.1	Lands zoned RL-161 shall only be used for the following:		
	(1) A Place of Religious Assembly		
	(2) A funeral preparation room accessory to a place of religious assembly		
Regulations			
4.2.2.161.2	The regulations of Articles 2.1.13.1 and 2.1.9.3 of this By-law shall not apply		
4.2.2.161.3	Maximum gross floor area		1 600 m²
4.2.2.161.4	Maximum gross floor area - non-residential of the worship area		184 m²
4.2.2.161.5	Maximum gross floor area - non-residential of the multi-use rooms		183 m²
4.2.2.161.6	Minimum side yard		6.0 m
4.2.2.161.7	Maximum height		12.5 m
4.2.2.161.8	Maximum height: spire, ornamental dome, cupola, minaret or other like feature		25.0 m
4.2.2.161.9	"Multi-Use Room" means any room or rooms located within a place of religious assembly that are used or intended to be used as a place of conduct of social, recreational and charitable activities, and any rooms deemed accessory to such a room or rooms		

4.2.2.162	Exception: RL-162	Map # 20	By-law: 0048-2025
In a RL-162 zone the applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Permitted Uses			
4.2.2.162.1	Lands zoned RL-162 shall only be used for the following:		
	(1) Detached Dwelling or (2) Semi-Detached or (3) Showroom for the retail display of windows and doors and accessory office		
Regulations			
4.2.2.162.2	A showroom for the retail display of windows and doors and accessory office shall comply with the RL zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1)	maximum gross floor area - non-residential used for a showroom for the retail display of windows and doors and accessory office	150 m ²
	(2)	minimum landscaped area	50% of the lot area
	(3)	maximum lot coverage	15%
	(4)	minimum setback of all buildings, structures and parking areas to the rear lot line	9.0 m

4.2.2.163	Exception: RL-163	Map # 06	By-law: 0048-2025
In a RL-163 zone the applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Permitted Uses			
4.2.2.163.1	Lands zoned RL-163 shall only be used for the following:		
	(1) Detached Dwelling or (2) Semi-Detached or (3) Private Club		

4.2.2.164	Exception: RL-164	Map # 19	By-law: 0048-2025
In a RL-164 zone the applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Permitted Uses			
4.2.2.164.1	Lands zoned RL-164 shall only be used for the following: (1) Detached dwelling legally existing on the date of passing of this By-law (2) Accessory veterinary clinic within the existing detached dwelling		
Regulations			
4.2.2.164.2	The detached dwelling shall be the principal private residence of the veterinarian and the veterinarian must not be an occasional or casual resident thereof		
4.2.2.164.3	Maximum gross floor area - non-residential used for a veterinary clinic	150 m ²	
4.2.2.164.4	Outdoor storage shall not be permitted		
4.2.2.164.5	A veterinary clinic and all related activities shall be conducted wholly within the existing detached dwelling		

4.2.2.165	Exception: RL-165	Map # 25	By-law: 0048-2025
In a RL-165 zone the applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Permitted Uses			
4.2.2.165.1	Lands zoned RL-165 shall only be used for the following: (1) Detached Dwelling (2) Semi-Detached or (3) Garden Centre		
Regulation			
4.2.2.165.2	Minimum lot area - garden centre		0.3 ha

4.2.2.166	Exception: RL-166	Map # 56	By-law: <i>deleted by 0131-2019, 0232-2024, 0048-2025</i>
In a RL-166 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Regulations			
4.2.2.166.1	<i>deleted</i>		
4.2.2.166.2	<i>deleted</i>		
4.2.2.166.3	<i>deleted</i>		
4.2.2.166.4	A detached dwelling shall comply with the RL zone regulations contained in Subsection 4.2.1 of this By-law except that: (1)maximum lot coverage50% (2)minimum exterior side yard3.0 m (3)maximum height11.0 m (4)<i>deleted</i>		
4.2.2.166.5	<i>deleted</i>		
4.2.2.166.6	<i>deleted</i>		
4.2.2.166.7	<i>deleted</i>		
4.2.2.166.8	Minimum rear yard - interior lot		6.0 m

4.2.2.167	Exception: RL-167	Map # 15	By-law: 0174-2015, 0048-2025
In a RL-167 zone the applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Permitted Use			
4.2.2.167.1	Lands zoned RL-167 shall only be used for the following:		
	(1) Detached Dwelling or		
	(2) Semi-Detached		
Regulations			
4.2.2.167.2	Minimum lot frontage		13.0 m
4.2.2.167.3	<i>deleted</i>		
4.2.2.167.4	<i>deleted</i>		

4.2.2.168	Exception: RL-168	Map # 39E	By-law: 0048-2025
In a RL-168 zone the applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Permitted Uses			
4.2.2.168.1	Lands zoned RL-168 shall only be used for the following:		
	(1) Detached Dwelling or (2) Semi-Detached or (3) Dental Office		
Regulation			
4.2.2.168.2	A dental office shall comply with the RL zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1) maximum lot coverage	14%	

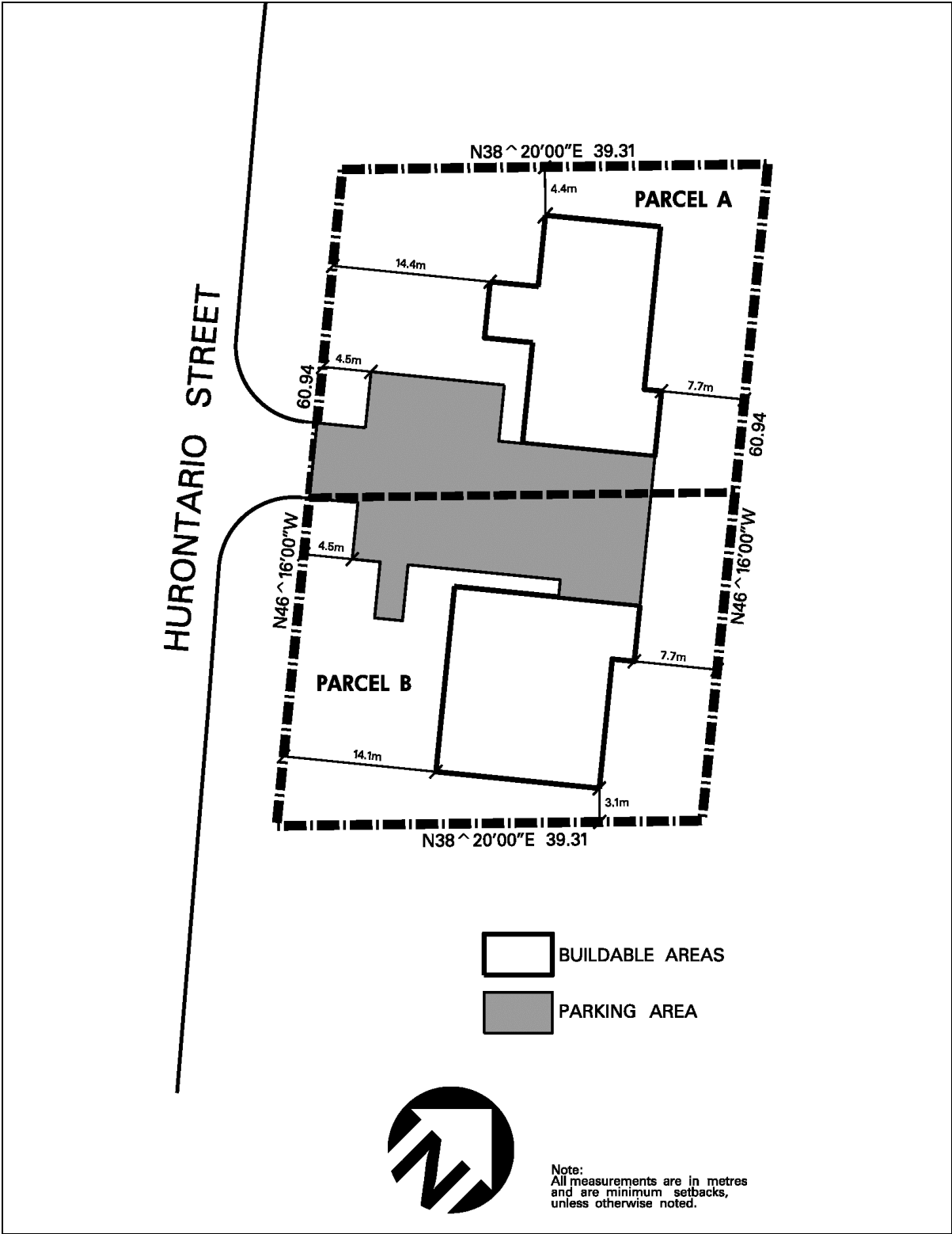
4.2.2.169	Exception: RL-169	Map # 07	By-law: 0019-2008, 0048-2025
In a RL-169 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses/regulations shall apply:			
Permitted Uses			
4.2.2.169.1	(1) Detached Dwelling or (2) Semi-Detached or (3) Office (4) Medical Office - Restricted		
Uses Not Permitted			
4.2.2.169.2	(1) Office and/or medical office - restricted that requires more than thirteen parking spaces		
Regulations			
4.2.2.169.3	Detached Dwelling: (1) the regulations contained in Subsection 4.2.2 of this By-law shall apply (2) minimum interior side yard (3) minimum combined width of side yards - one storey detached dwelling (4) maximum dwelling unit depth	4.27 m on one side of the lot and 0.31 m on the other side 4.58 m 22.0 m	
4.2.2.169.4	An office and medical office - restricted shall comply with the RL zone regulations contained in Subsection 4.2.1 of this By-law except that: (1) the regulations contained in Subsection 4.2.2 of this By-law shall apply (2) maximum number of physicians, dentists, drugless practitioners, or health professionals permitted to practise at one time (3) maximum total gross floor area - non-residential (4) maximum gross floor area - non-residential used for a medical office - restricted (5) minimum interior side yard (6) minimum combined width of side yards - one storey building (7) maximum building depth (8) maximum number of parking spaces (9) maximum number of tandem parking spaces (10) minimum aisle width	1 230 m ² 170 m ² 4.27 m on one side of the lot and 0.31 m on the other side 4.58 m 22.0 m 13 6 4.24 m	

4.2.2.170	Exception: RL-170	Map # 15	By-law: 0112-2008, 0048-2025
In a RL-170 zone the applicable regulations shall be as specified for a RL zone except that the following uses/regulations shall apply:			
Permitted Uses			
4.2.2.170.1	Lands zoned RL-170 shall only be used for the following:		
	(1) Detached Dwelling or		
	(2) Semi-Detached or		
	(3) Office		
Regulations			
4.2.2.170.2	An office shall comply with the RL zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1) the provisions contained in Article 3.1.3.1 of this By-law shall not apply		
	(2) the office use and all related activities shall be conducted wholly within the detached dwelling legally existing on the date of passing of this By-law		
	(3) maximum number of persons employed on the site	2	
	(4) minimum landscaped area	40% of the lot area	
	(5) minimum number of parking spaces	4	

4.2.2.171	Exception: RL-171	Map # 07	By-law: 0079-2010, 0111-2019/LPAT Order 2021 March 09, 0048-2025
In a RL-171 zone the applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Permitted Use			
4.2.2.171.1	Lands zoned RL-171 shall only be used for the following:		
	(1) Office		
Use Not Permitted			
4.2.2.171.2	(1) <i>deleted</i>		
Regulations			
4.2.2.171.3	Maximum lot coverage for Parcel 'A' and Parcel 'B', respectively, identified on Schedule RL-171 of this Exception	25% of the parcel area	
4.2.2.171.4	Maximum gross floor area - non-residential in Parcel 'A' identified on Schedule RL-171 of this Exception	315 m ²	
4.2.2.171.5	Maximum gross floor area - non-residential in Parcel 'B' identified on Schedule RL-171 of this Exception	350 m ²	
4.2.2.171.6	Minimum number of parking spaces per 100 m ² gross floor area - non-residential in Parcel 'A' identified on Schedule RL-171 of this Exception	2.2	
4.2.2.171.7	Tandem parking spaces are permitted in Parcel 'B' identified on Schedule RL-171 of this Exception		
4.2.2.171.8	Maximum number of tandem parking spaces permitted in Parcel 'B' identified on Schedule RL-171 of this Exception	6	

Exception RL-171 continued on next page

4.2.2.171	Exception: RL-171	Map # 07	By-law: 0079-2010, 0111-2019/LPAT Order 2021 March 09, 0048-2025
Exception RL-171 continued from previous page			
4.2.2.171.9	Parking areas may be constructed of a permeable type of material		
4.2.2.171.10	Parcel 'A' and Parcel 'B' identified on Schedule RL-171 of this Exception may share driveways and aisles		
4.2.2.171.11	All site development plans shall comply with Schedule RL-171 of this Exception		



Schedule RL-171
Map 07

4.2.2.172	Exception: RL-172	Map # 10	By-law: 0084-2009, 0111-2019/LPAT Order 2021 March 09, 0048-2025
In a RL-172 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses/regulations shall apply:			
Additional Permitted Use			
4.2.2.172.1	(1)	Office	
Use Not Permitted			
4.2.2.172.2	(1)	<i>deleted</i>	
Regulations			
4.2.2.172.3	The provisions of Line 3.4 contained in Table 2.1.9.4 of this By-law shall not apply		
4.2.2.172.4	The regulations of Line 12.3 contained in Table 4.2.1 of this By-law shall not apply		
4.2.2.172.5	The regulations contained in Subsection 4.2.2 of this By-law shall apply except that:		
	(1)	minimum combined width of side yards for a building or structure having more than one storey - interior lots having a lot frontage equal to or greater than 18.0 m	20% of the lot frontage
4.2.2.172.6	Maximum gross floor area - non-residential		320 m ²
4.2.2.172.7	Maximum amount of parking area		64% of the front yard
4.2.2.172.8	Minimum setback of a parking area to an interior side lot line abutting a Residential Zone		3.5 m

4.2.2.173	Exception: RL-173	Map # 38W, 39E, 45W	By-law: 0380-2009/ OMB Order 2010 September 13, 0308-2011, 0048-2025
In a RL-173 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses/regulations shall apply:			
Regulations			
4.2.2.173.1	A detached dwelling shall comply with the RL zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1)	<i>deleted</i>	
	(2)	maximum gross floor area - infill residential	150 m ² plus 0.2 times the lot area
4.2.2.173.3	<i>deleted</i>		
4.2.2.173.4	<i>deleted</i>		
4.2.2.173.5	<i>deleted</i>		
4.2.2.173.6	Garage projection: maximum projection of the garage beyond the front wall or exterior side wall of the first storey		2.0 m
4.2.2.173.7	<i>deleted</i>		

4.2.2.174	Exception: RL-174	Map # 37W	By-law: 0024-2011, 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RL-174 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses/regulations shall apply:			
Regulations			
4.2.2.174.1	A detached dwelling shall comply with the RL zone regulations contained in Subsection 4.2.1 of this By-law except that:		
(1)	minimum lot area - interior lot	435 m	
(2)	minimum lot area - corner lot	550 m ²	
(3)	minimum lot frontage - interior lot	14.0 m	
(4)	minimum lot frontage - corner lot	17.0 m	
(5)	maximum lot coverage	40%	
(6)	minimum front yard	9.0 m	
(7)	minimum setback to garage face	12.0 m	
(8)	minimum exterior side yard	4.5 m	
(9)	<i>deleted</i>		
(10)	<i>deleted</i>		
(11)	minimum rear yard	7.0 m	
(12)	maximum encroachment of a porch or a deck , located at and accessible from the first storey or below the first storey of the dwelling, inclusive of stairs, into a required front and/or exterior side yard	2.0 m	
(13)	a hammerhead shall be permitted on a lot with a lot frontage greater than or equal to 14.0 m		

4.2.2.175	Exception: RL-175	Map # 39E	By-law: 0014-2012, 0048-2025
In a RL-175 zone the applicable regulations shall be as specified for a RL zone except that the following uses/regulations shall apply:			
Permitted Uses			
4.2.2.175.1	Lands zoned RL-175 shall only be used for the following:		
	(1) Detached Dwelling and/or		
	(2) Office		
	(3) Semi-Detached and/or		
	(4) Office		
Regulations			
4.2.2.175.2	A detached dwelling shall comply with the RL zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1) minimum front yard	4.2 m	
	(2) minimum interior side yard	1.6 m	
4.2.2.175.3	Parking for an office shall only be permitted in the rear yard		

Schedule RL-176
Map 17

4.2.2.177	Exception: RL-177	Map # 39E	By-law: 0139-2014, 0048-2025
In a RL-177 zone the applicable regulations shall be as specified for a RL zone except that the following uses/regulations shall apply:			
Permitted Uses			
4.2.2.177.1	Lands zoned RL-177 shall only be used for the following:		
	(1) Detached Dwelling or (2) Semi-Detached or (3) Office or (4) Office with one dwelling unit		
Regulations			
4.2.2.177.2	Minimum parking space width	2.45 m	
4.2.2.177.3	An office shall comply with the RL zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1) maximum gross floor area - non-residential	138.5 m ²	
	(2) maximum number of tandem parking spaces	3	
	(3) minimum depth of a landscaped buffer abutting Queen Street South	7.5 m	
	(4) minimum aisle width	6.0 m	

4.2.2.178	Exception: RL-178	Map # 38W	By-law: 0246-2014, 0048-2025
In a RL-178 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Regulations			
4.2.2.178.1	An office of a physician, dentist, drugless practitioner or health professional shall comply with the RL zone regulations contained in Subsection 4.2.1 of this By-law except that:		
(1)	the provisions contained in Articles 4.1.17.2 and 4.1.17.8 of this By-law shall not apply		
(2)	one resident physician, dentist, drugless practitioner or health professional , one non-resident physician, dentist, drugless practitioner or health professional and three employees shall be permitted		
(3)	maximum gross floor area - non-residential		136 m ²
(4)	minimum rear yard		6.7 m
(5)	minimum aisle width		6.0 m
(6)	minimum landscaped buffer between a parking space and the front lot line		2.8 m
(7)	minimum number of parking spaces per 100 m ² gross floor area - non-residential		5.8
(8)	required number of parking spaces for residential use		2
(9)	an access ramp for persons with disabilities shall be permitted to encroach into the required front yard		

4.2.2.179	Exception: RL-179	Map #	By-law: 0171-2015/ OMB Order 2016 April 04, 0193-2016/OMB Order 2017 May 30/2018 January 10, 0198-2019, 0183-2021, OLT Order 2021 October 14, 0007-2022, 0162-2022, <i>deleted by 0048-2025</i>

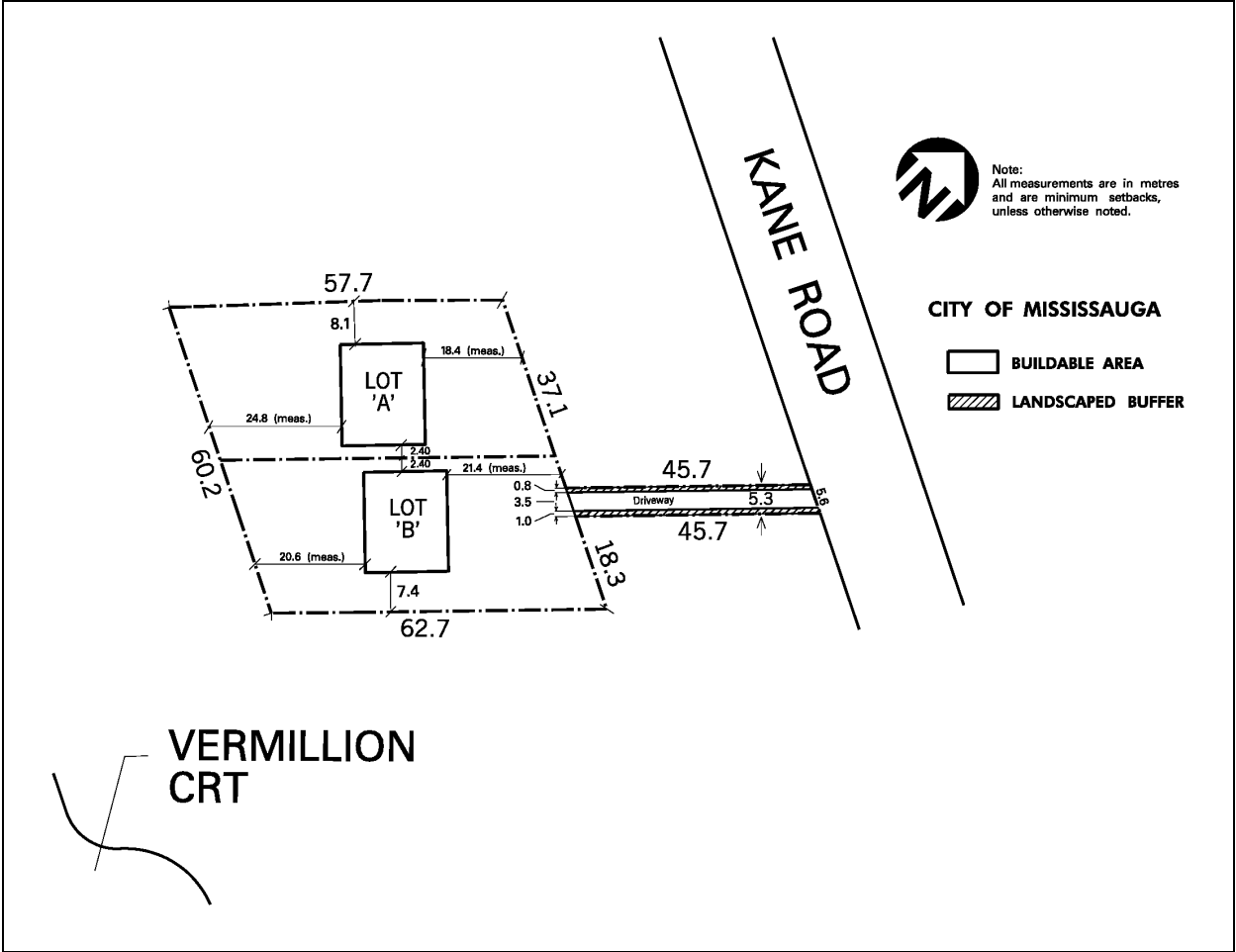
4.2.2.180	Exception: RL-180	Map # 07	By-law: 0171-2015/ OMB Order 2016 April 04, 0193-2016/OMB Order 2017 May 30, 0181-2018/ LPAT Order 2019 February 15, 0048-2025
In a RL-180 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Regulations			
4.2.2.180.1	A detached dwelling shall comply with the RL zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1)	minimum lot area - interior lot	480 m ²
	(2)	minimum lot area - corner lot	585 m ²
	(3)	minimum lot frontage - corner lot	18.0 m
	(4)	maximum lot coverage	45%
	(5)	minimum front yard - interior lot	6.0 m
	(6)	minimum exterior side yard	4.5 m
	(7)	minimum exterior side yard - lots abutting Cawthra Road	7.5 m
	(8)	minimum setback to garage face	6.0 m
	(9)	minimum interior side yard - interior lot	1.2 m on one side and 0.61 m on the other side
	(10)	minimum interior side yard - corner lot	1.2 m
	(11)	minimum rear yard - corner lot	7.5 m
	(12)	minimum setback to a railway right-of-way	22.0 m
	(13)	maximum height - highest ridge: sloped roof	9.5 m
	(14)	maximum height: flat roof	7.5 m
	(15)	maximum height of eaves: from average grade to lower edge of eaves	6.4 m
	(16)	maximum dwelling unit depth	20.0 m

4.2.2.181	Exception: RL-181	Map #	By-law: 0193-2016/OMB Order 2018 January 10, <i>deleted by 0048-2025</i>

4.2.2.182	Exception: RL-182	Map #	By-law: 0193-2016/OMB Order 2018 January 10, <i>deleted by 0048-2025</i>

4.2.2.183	Exception: RL-183	Map #	By-law: 0193-2016/OMB Order 2018 January 10, <i>deleted by 0048-2025</i>

4.2.2.184	Exception: RL-184	Map # 08	By-law: LPAT Order 2019 August 20, 0208-2022, 0048-2025
In a RL-184 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Regulations			
4.2.2.184.1	A detached dwelling shall comply with the RL zone regulations contained in Subsection 4.2.1 of this By-law except that: (1) the regulations contained in Subsection 4.2.2 of this By-law shall apply (2) the regulations of Line 4.0 contained in Table 4.2.2 and Line 14.0 contained in Table 4.2.1 of this By-law and shall not apply (3) the provisions contained in Article 2.1.3.1 of this By-law shall not apply to Lot 'A' (4) minimum lot frontage - interior lot for Lot 'B' 5.5 m (5) minimum setback of accessory buildings and structures to a rear lot line 7.5 m (6) accessory buildings and structures and swimming pools are permitted outside the buildable area identified in Schedule RL-184 of this Exception, but shall only be located in the rear yard, and shall not include a detached garage (7) for Lot 'A', the most easterly property line parallel to Kane Road shall be deemed to be the front lot line (8) all site development plans shall comply with Schedule RL-184 of this Exception		



Schedule RL-184
Map 08

4.2.2.185	Exception: RL-185	Map # 45E	By-law: 0048-2025
In a RL-185 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Regulations			
4.2.2.185.1	A detached dwelling shall comply with the RL zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1)	minimum lot area - corner lot	660 m ²
	(2)	minimum lot frontage - corner lot	18.8 m
	(3)	<i>deleted</i>	
	(4)	<i>deleted</i>	
	(5)	maximum encroachment of a porch into the required front and exterior side yards - corner lot	4.0 m

4.2.2.186	Exception: RL-186	Map # 52W	By-law: 0174-2017, 0111-2019/LPAT Order 2021 March 09, 0180-2021, 0048-2025
In a RL-186 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Additional Permitted Uses			
4.2.2.186.1	On lands zoned RL-186 the following uses shall also be permitted provided that they are carried on within the existing heritage building or within an addition to the existing heritage building :		
	(1)	Art Gallery	
	(2)	Financial Institution	
	(3)	Office	
	(4)	Community centre or private community centre	
	(5)	Library	
	(6)	Medical Office - Restricted	
	(7)	Overnight Accommodation	
	(8)	Service Establishment	
	(9)	Private Club	
	(10)	Private School	
	(11)	Commercial School	
	(12)	Restaurant	
	(13)	Apartment	
Regulations			
4.2.2.186.2	The provisions contained in Article 2.1.2.1 and the regulations of Sentence 3.1.1.7.1 contained in Article 3.1.1.7 of this By-law shall not apply		
4.2.2.186.3	Minimum lot area - corner lot	1.37 ha	
4.2.2.186.4	Maximum gross floor area	1 500 m ²	
4.2.2.186.5	Accessory buildings and structures shall be permitted in the exterior side yard		
4.2.2.186.6	For the purpose of this Exception, a commercial school shall include a music school, a dance school, a martial arts school and tutoring		
4.2.2.186.7	"Gross Floor Area" means the aggregate of the areas of each storey above established grade , measured between the exterior faces of the exterior walls, but shall not include a garage used for the parking of motor vehicles		

4.2.2.187	Exception: RL-187	Map # 45E	By-law: 0048-2025
In a RL-187 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses/regulations shall apply:			
Regulations			
4.2.2.187.1	A detached dwelling shall comply with the RL zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1) minimum lot frontage - interior lot	8.5 m	
4.2.2.187.2	Minimum setback of all buildings and structures to the southerly interior side lot line		3.0 m
4.2.2.187.3	Minimum setback of all buildings and structures to all other lot lines		5.0 m

4.2.2.188	Exception: RL-188	Map # 52W	By-law: 0048-2025
In a RL-188 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses/regulations shall apply:			
Regulations			
4.2.2.188.1	<i>deleted</i>		
4.2.2.188.2	Minimum front yard - interior lot		6.0 m
4.2.2.188.3	<i>deleted</i>		
4.2.2.188.4	Maximum encroachment of a porch into the required front yard - interior lot		5.5 m
4.2.2.188.5	Maximum encroachment of a porch into the required front yard - corner lot		4.0 m
4.2.2.188.6	Maximum encroachment of a porch into the required exterior side yard		4.0 m

4.2.2.189	Exception: RL-189	Map # 52W	By-law: 0308-2011, 0048-2025
In a RL-189 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses/regulations shall apply:			
Regulations			
4.2.2.189.1	<i>deleted</i>		
4.2.2.189.2	<i>deleted</i>		
4.2.2.189.3	Minimum front yard - interior lot		6.0 m
4.2.2.189.4	<i>deleted</i>		
4.2.2.189.5	<i>deleted</i>		
4.2.2.189.6	Maximum encroachment of a porch into the required front yard - interior lot		5.5 m
4.2.2.189.7	Maximum encroachment of a porch into the required front yard - corner lot		4.0 m
4.2.2.189.8	Maximum encroachment of a porch into the required exterior side yard		4.0 m
4.2.2.189.9	Maximum projection of the garage beyond any portion of the front wall or exterior side wall of the first storey		0.0 m

4.2.2.190	Exception: RL-190	Map # 57	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RL-190 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Regulations			
4.2.2.190.1	A detached dwelling shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law		
4.2.2.190.2	Semi-Detached: (1) the regulations of Line 5.0 contained in Table 4.2.1 of this By-law shall not apply (2) minimum lot area - interior lot 220 m ² (3) minimum lot area - corner lot 252 m ² (4) minimum lot frontage - interior lot 8.5 m (5) minimum lot frontage - corner lot 9.75 m (6) minimum front yard - lots with a municipal sidewalk adjacent the front lot line 4.5 m (7) minimum front yard - lots without a municipal sidewalk adjacent the front lot line 3.5 m (8) minimum exterior side yard - lots with a municipal sidewalk adjacent the exterior side lot line 4.5 m (9) minimum exterior side yard - lots without a municipal sidewalk adjacent the exterior side lot line 3.5 m (10) minimum exterior side yard - lots abutting a street with a right-of-way width less than 17.0 m 1.8 m (11) minimum setback to garage face 5.8 m (12) minimum interior side yard - unattached side 1.2 m (13) minimum rear yard where lot abuts a lot with a minimum rear yard of 7.5 m 6.0 m (14) where the abutting lot to the rear of the subject lot has a minimum rear yard of 7.0 m, the minimum rear yard of the subject lot may be reduced to 6.0 m for a maximum of 50% of the width of the rear wall of the semi-detached (15) minimum rear yard where lands abut a pipeline easement 14.5 m (16) minimum rear yard where lands abut a C1 zone 7.5 m (17) minimum rear yard - all other lots 7.0 m (18) maximum encroachment of a porch or balcony into required front or exterior side yard 2.0 m (19) minimum setback to a sight triangle 0.0 m (20) maximum projection of a garage beyond either the main front entrance or beyond the main entry feature where provided 2.5 m (21) where a main entry feature has been provided, the maximum projection of a garage beyond a main front entrance 5.0 m		

Exception RL-190 continued on next page

4.2.2.190	Exception: RL-190	Map # 57	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025
Exception RL-190 continued from previous page			
4.2.2.190.2 (continued)	(22)	for a semi-detached more than one storey in height , where the garage projects beyond the main front entrance , the garage shall be covered by a second storey which may be set back a maximum of 2.5 m from the garage face	
	(23)	maximum driveway width - interior lot	4.3 m
	(24)	maximum driveway width - corner lot	4.7 m
	(25)	maximum garage width: measured from the inside face of the garage side walls	3.8 m
	(26)	detached garage shall not be permitted	

4.2.2.191	Exception: RL-191	Map # 23, 30	By-law: 0174-2017, 0048-2025
In a RL-191 zone the applicable regulations shall be as specified for a RL zone except that the following uses/regulations shall apply:			
Permitted Use			
4.2.2.191.1	Lands zoned RL-191 shall only be used for the following:		
	(1)	Semi-Detached	
Regulation			
4.2.2.191.2	Minimum lot area - interior lot		305 m ²

4.2.2.192	Exception: RL-192	Map # 26, 29, 30	By-law: 0379-2009, 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RL-192 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses/regulations shall apply:			
Regulations			
4.2.2.192.1	Detached Dwelling:		
	(1)	minimum lot area - interior lot	275 m ²
	(2)	minimum lot frontage - interior lot	9.0 m
	(3)	maximum driveway width	6.0 m
	(4)	minimum front yard	4.5 m
	(5)	minimum exterior side yard	4.5 m
	(6)	minimum setback to garage face	6.0 m
4.2.2.192.2	Semi-Detached:		
	(1)	minimum lot area - interior lot	275 m ²
	(2)	minimum lot area - corner lot	350 m ²
	(3)	minimum front yard	4.5 m
	(4)	minimum exterior side yard	4.5 m
	(5)	minimum setback to garage face	6.0 m

4.2.2.193	Exception: RL-193	Map # 30	By-law: 0379-2009, 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RL-193 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses/regulations shall apply:			
Regulations			
4.2.2.193.1	Detached Dwelling:		
	(1)	minimum lot area - interior lot	370 m ²
	(2)	minimum lot area - corner lot	460 m ²
	(3)	minimum lot frontage - interior lot	12.0 m
	(4)	minimum lot frontage - corner lot	15.0 m
	(5)	minimum rear yard where lands abut an OS1 zone	6.0 m
	(6)	minimum front yard	4.5 m
	(7)	minimum exterior side yard	4.5 m
	(8)	minimum setback to garage face	6.0 m
4.2.2.193.2	Semi-Detached:		
	(1)	minimum lot area - interior lot	277 m ²
	(2)	minimum lot area - corner lot	325 m ²
	(3)	minimum front yard	4.5 m
	(4)	minimum exterior side yard	4.5 m
	(5)	minimum rear yard where lands abut an OS1 zone	6.0 m
	(6)	minimum setback to garage face	6.0 m

4.2.2.194	Exception: RL-194	Map # 56	By-law: 0379-2009, 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RL-194 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses/regulations shall apply:			
Regulations			
4.2.2.194.1	Detached Dwelling:		
	(1)	minimum lot frontage - interior lot	9.0 m
	(2)	maximum gross floor area - residential	0.6 times the lot area
	(3)	maximum driveway width	6.0 m
	(4)	minimum front yard	4.5 m
	(5)	minimum exterior side yard	4.5 m
	(6)	minimum setback to garage face	6.0 m
4.2.2.194.2	Semi-Detached:		
	(1)	maximum gross floor area - residential	0.7 times the lot area
	(2)	minimum front yard	4.5 m
	(3)	minimum exterior side yard	4.5 m
	(4)	minimum interior side yard	0.9 m
	(5)	minimum setback to garage face	6.0 m

4.2.2.195	Exception: RL-195	Map # 27	By-law: 0379-2009, 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RL-195 zone the applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Permitted Use			
4.2.2.195.1	Lands zoned RL-195 shall only be used for the following:		
	(1) Semi-Detached		
Regulations			
4.2.2.195.2	Semi-Detached:		
	(1)	<i>deleted</i>	
	(2)	minimum exterior side yard	4.5 m
	(3)	minimum interior side yard unattached side - interior lot	1.2 m
	(4)	minimum interior side yard unattached side - interior lot , for that part of a lot that adjoins a one storey garage or a wall of a main building containing no windows or doors into a habitable room	0.9 m
	(5)	minimum rear yard where lands abut a PB1 zone or Dixie Road	13.5 m
	(6)	minimum setback to garage face	6.0 m

4.2.2.196	Exception: RL-196	Map # 31	By-law: 0174-2017, 0048-2025
In a RL-196 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Additional Permitted Use			
4.2.2.196.1	(1)	Linked Dwelling	
Regulations			
4.2.2.196.2	Detached Dwelling:		
	(1)	minimum lot frontage - interior lot	9.0 m
	(2)	minimum lot frontage - corner lot	12.0 m
	(3)	deleted	
	(4)	minimum landscaped area	25% of the lot area
	(5)	deleted	
	(6)	deleted	
	(7)	deleted	
	(8)	maximum driveway width	6.0 m
4.2.2.196.3	A linked dwelling shall comply with the RL zone regulations for a semi-detached contained in Subsection 4.2.1 of this By-law		

4.2.2.197	Exception: RL-197	Map # 57	By-law: 0325-2008, 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RL-197 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Regulations			
4.2.2.197.1	A detached dwelling shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1) minimum setback of a detached dwelling to all lands zoned U-3 on lots located east of Longford Drive	13.0 m	
	(2) minimum setback of a detached dwelling to all lands zoned U-3 on lots located west of Longford Drive or east of Churchill Meadows Boulevard	11.0 m	
4.2.2.197.2	Semi-Detached:		
	(1) the regulations of Line 5.0 contained in Table 4.2.1 of this By-law shall not apply		
	(2) minimum lot area - interior lot	220 m ²	
	(3) minimum lot area - corner lot	300 m ²	
	(4) minimum lot frontage - interior lot	8.7 m	
	(5) minimum lot frontage - corner lot	10.2 m	
	(6) maximum gross floor area- residential	0.75 times the lot area	
	(7) minimum front yard - lots without a municipal sidewalk adjacent the front lot line	3.5 m	
	(8) minimum front yard - all other lots	4.5 m	
	(9) minimum exterior side yard - lots without a municipal sidewalk adjacent the exterior side lot line	3.5 m	
	(10) minimum exterior side yard - lots adjacent to a street with a right-of-way width of less than 17.0 m	1.8 m	
	(11) minimum exterior side yard - all other lots	4.5 m	
	(12) minimum interior side yard - unattached side	1.2 m	
	(13) minimum rear yard - where lot abuts a lot with a minimum rear yard of 7.5 m	6.0 m	
	(14) where the abutting lot to the rear of the subject lot has a minimum rear yard of 7.0 m, the minimum rear yard of the subject lot may be reduced to 6.0 m for a maximum of 50% of the width of the rear wall of the semi-detached		
	(15) minimum rear yard - all other lots	7.0 m	
	(16) minimum setback of a semi-detached to all lands zoned U-3 on lots located east of Longford Drive	13.0 m	
	(17) minimum setback of a semi-detached to all lands zoned U-3 on lots located west of Longford Drive	11.0 m	
	(18) minimum setback to garage face	5.8 m	
	(19) minimum setback to a sight triangle	0.0 m	
	(20) maximum encroachment of a porch or balcony into required front or exterior side yard	2.0 m	
	(21) maximum projection of a garage beyond either the main front entrance or beyond the main entry feature where provided	2.5 m	

Exception RL-197 continued from previous page

4.2.2.197	Exception: RL-197	Map # 57	By-law: 0325-2008, 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025
Exception RL-197 continued from previous page			
4.2.2.197.2 (continued)	(22)	where a main entry feature has been provided, the maximum projection of a garage beyond a main front entrance	5.0 m
	(23)	for a semi-detached more than one storey in height , where the garage projects beyond the main front entrance , the garage shall be covered by a second storey which may be set back a maximum of 2.5 m from the garage face	
	(24)	maximum driveway width - interior lot	4.3 m
	(25)	maximum driveway width - corner lot	4.7 m
	(26)	maximum garage width: measured from the inside face of the garage side walls	3.8 m
	(27)	detached garage shall not be permitted	

4.2.2.198	Exception: RL-198	Map # 37W	By-law: 0174-2017, 0048-2025
In a RL-198 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses/regulations shall apply:			
Additional Permitted Use			
4.2.2.198.1	(1)	Linked Dwelling	
Regulations			
4.2.2.198.2	A linked dwelling and semi-detached shall comply with the RL zone regulations for a semi-detached contained in Subsection 4.2.1 of this By-law except that:		
	(1)	minimum lot area - interior lot	305 m ²
	(2)	minimum lot area - corner lot	390 m ²
	(3)	maximum lot coverage	40%
	(4)	minimum front yard	6.0 m

4.2.2.199	Exception: RL-199	Map # 25	By-law: 0048-2025
In a RL-199 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses/regulations shall apply:			
Regulation			
4.2.2.199.1	Minimum elevation of all openings in any building or structure		167.95 m above sea level
4.2.2.199.2	<i>deleted</i>		

4.2.2.200	Exception: RL-200	Map # 20	By-law: 0048-2025
In a RL-200 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Regulations			
4.2.2.200.1	The regulations of Line 4.1 contained in Table 4.2.1 of this By-law shall not apply		
4.2.2.200.2	Frontage to the lots shall be provided by mutual right-of-way		

4.2.2.201	Exception: RL-201	Map # 09	By-law: 0379-2009, 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RL-201 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Additional Permitted Use			
4.2.2.201.1	(1)	Linked Dwelling	
Regulations			
4.2.2.201.2	A linked dwelling and semi-detached shall comply with the RL zone regulations for a semi-detached contained in Subsection 4.2.1 of this By-law except that:		
	(1)	minimum front yard	4.5 m
	(2)	minimum interior side yard to the attached garage - attached side	0.0 m
	(3)	minimum setback to garage face	6.0 m

4.2.2.202	Exception: RL-202	Map # 55	By-law: 0174-2017, 0048-2025
In a RL-202 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Regulations			
4.2.2.202.1	Minimum setback of detached dwelling and semi-detached to all lands zoned G1		7.6 m
4.2.2.202.2	Minimum interior side yard - unattached side		0.9 m
4.2.2.202.3	Semi-Detached:		
	(1)	minimum lot area - interior lot	295 m ²
	(2)	minimum lot frontage - interior lot	8.5 m

4.2.2.203	Exception: RL-203	Map # 28, 57, 58	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RL-203 zone the applicable regulations shall be as specified for a RL zone except that the following uses/regulations shall apply:			
Permitted Uses			
4.2.2.203.1	Lands zoned RL-203 shall only be used for the following: (1) Semi-Detached (2) Public school in compliance with the provisions contained in Article 2.1.9.1 of this By-law		
Regulations			
4.2.2.203.2	The regulations of Line 5.0 contained in Table 4.2.1 of this By-law shall not apply		
4.2.2.203.3	Minimum lot area - interior lot	220 m ²	
4.2.2.203.4	Minimum lot area - corner lot	252 m ²	
4.2.2.203.5	Minimum lot frontage - interior lot	8.5 m	
4.2.2.203.6	Minimum lot frontage - corner lot	9.75 m	
4.2.2.203.7	Minimum front yard - lots with a municipal sidewalk adjacent the front lot line	4.5 m	
4.2.2.203.8	Minimum front yard - lots without a municipal sidewalk adjacent the front lot line	3.5 m	
4.2.2.203.9	Minimum exterior side yard - lots with a municipal sidewalk adjacent the exterior side lot line	4.5 m	
4.2.2.203.10	Minimum exterior side yard - lots without a municipal sidewalk adjacent the exterior side lot line	3.5 m	
4.2.2.203.11	Minimum exterior side yard - lots abutting a street with a right-of-way width less than 17.0 m	1.8 m	
4.2.2.203.12	Minimum interior side yard - unattached side	1.2 m	
4.2.2.203.13	Minimum rear yard where lot abuts a lot with a minimum rear yard of 7.5 m	6.0 m	
4.2.2.203.14	Where the abutting lot to the rear of the subject lot has a minimum rear yard of 7.0 m, the minimum rear yard of the subject lot may be reduced to 6.0 m for a maximum of 50% of the width of the rear wall of the semi-detached		
4.2.2.203.15	Minimum rear yard where lands abut a pipeline easement	14.5 m	
4.2.2.203.16	Minimum rear yard where lands abut a C1 zone	7.5 m	
4.2.2.203.17	Minimum rear yard - all other lots	7.0 m	
4.2.2.203.18	Minimum setback to garage face	5.8 m	
4.2.2.203.19	Minimum setback to all lands zoned PB1	18.5 m	
4.2.2.203.20	Minimum setback to a sight triangle	0.0 m	
4.2.2.203.21	Maximum encroachment of a porch or balcony into required front or exterior side yard	2.0 m	
4.2.2.203.22	Maximum projection of a garage beyond either the main front entrance or beyond the main entry feature where provided	2.5 m	
4.2.2.203.23	Where a main entry feature has been provided, the maximum projection of a garage beyond a main front entrance	5.0 m	
4.2.2.203.24	For a semi-detached more than one storey in height , where the garage projects beyond the main front entrance , the garage shall be covered by a second storey which may be set back a maximum of 2.5 m from the garage face		

Exception RL-203 continued on next page

4.2.2.203	Exception: RL-203	Map # 28, 57, 58	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025
Exception RL-203 continued from previous page			
4.2.2.203.25	Maximum driveway width - interior lot		4.3 m
4.2.2.203.26	Maximum driveway width - corner lot		4.7 m
4.2.2.203.27	Maximum garage width: measured from the inside face of the garage side walls		3.8 m
4.2.2.203.28	Detached garage shall not be permitted		

4.2.2.204	Exception: RL-204	Map # 38E	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RL-204 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Regulations			
4.2.2.204.1	A detached dwelling shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1)	minimum lot area - corner lot	365 m ²
	(2)	minimum lot frontage - corner lot	14.0 m
	(3)	minimum setback to garage face	7.0 m
	(4)	minimum setback of a porch to a sight triangle	1.5 m
	(5)	maximum driveway width	5.5 m
	(6)	maximum garage width: measured from the inside face of the garage side walls	5.7 m
	(7)	detached garage shall not be permitted	
4.2.2.204.2	Semi-Detached:		
	(1)	the regulations of Line 5.0 contained in Table 4.2.1 of this By-law shall not apply	
	(2)	minimum lot area - interior lot	225 m ²
	(3)	minimum lot area - corner lot	265 m ²
	(4)	minimum lot frontage - interior lot	8.7 m
	(5)	minimum lot frontage - corner lot	10.2 m
	(6)	maximum gross floor area - residential	0.75 times the lot area
	(7)	minimum front yard	3.6 m
	(8)	minimum exterior side yard	3.6 m
	(9)	minimum setback to garage face	7.0 m
	(10)	minimum interior side yard - unattached side	1.2 m
	(11)	minimum rear yard	7.0 m
	(12)	maximum encroachment of a porch or balcony into required front or exterior side yard	2.0 m
	(13)	maximum projection of a garage beyond either the main front entrance or beyond the main entry feature where provided	2.5 m
	(14)	where a main entry feature has been provided, the maximum projection of a garage beyond a main front entrance	5.0 m

Exception RL-204 continued on next page

4.2.2.204	Exception: RL-204	Map # 38E	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025
Exception RL-205 continued from previous page			
4.2.2.204.2 (continued)	(15)	for a semi-detached more than one storey in height , where the garage projects beyond the main front entrance , the garage shall be covered by a second storey which may be set back a maximum of 2.5 m from the garage face	
	(16)	maximum driveway width	3.8 m
	(17)	maximum garage width: measured from the inside face of the garage side walls	3.8 m
	(18)	detached garage shall not be permitted	

4.2.2.205	Exception: RL-205	Map # 21	By-law: 0174-2017, 0048-2025
In a RL-205 zone the applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Permitted Use			
4.2.2.205.1	Lands zoned RL-205 shall only be used for the following:		
	(1)	Semi-Detached	
Regulations			
4.2.2.205.2	Semi-Detached:		
	(1)	minimum lot area - interior lot	300 m ²
	(2)	deleted	
	(3)	minimum interior side yard - unattached side	0.9 m

4.2.2.206	Exception: RL-206	Map # 44W, 45E	By-law: 0379-2009, 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RL-206 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses/regulations shall apply:			
Regulations			
4.2.2.206.1	A detached dwelling shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1)	maximum lot coverage - where the width of the garage is 5.0 m or less, measured from the outside of opposite exterior walls or from the outside of an exterior wall to the midpoint of an interior wall	45%
	(2)	maximum projection of a garage beyond the main front entrance	7.0 m
4.2.2.206.2	Semi-Detached:		
	(1)	minimum lot area - interior lot	225 m ²
	(2)	minimum lot area - corner lot	300 m ²
	(3)	minimum front yard	4.5 m

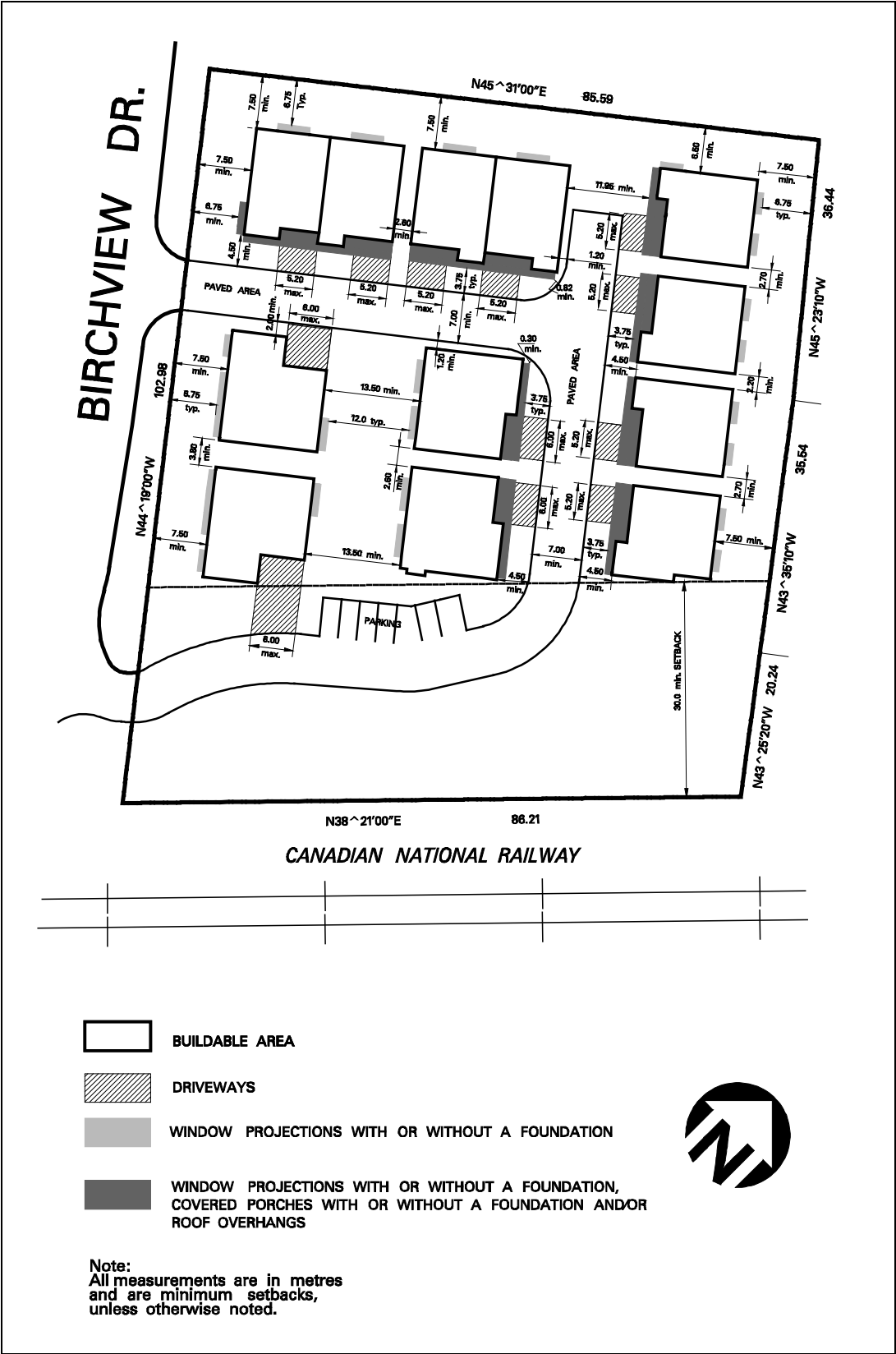
Exception RL-206 continued on next page

4.2.2.206	Exception: RL-206	Map # 44W, 45E	By-law: 0379-2009, 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025
Exception RL-206 continued from previous page			
4.2.2.206.2 (continued)	(4)	minimum exterior side yard	4.5 m
	(5)	minimum interior side yard - unattached side	0.9 m
	(6)	maximum lot coverage:	
	(1)	where the garage does not project more than 1.0 m beyond the main entry feature or 2.5 m beyond the main front entrance or a habitable room on the first storey or	45%
	(2)	where the width of the garage is 5.0 m or less, measured from the outside of opposite exterior walls or from the outside of an exterior wall to the midpoint of an interior wall or	45%
	(3)	all other lots	40%
	(7)	maximum projection of a garage beyond the main front entrance	7.0 m
	(8)	for a semi-detached more than one storey in height, where the garage projects beyond the main front entrance, the garage shall be covered by a second storey which may be set back a maximum of 2.5 m from the garage face	
	(9)	maximum porch area in a front yard - interior lot	12 m ²
	(10)	maximum total porch area in front and exterior side yards - corner lot	20 m ²
	(11)	the area of all porches in front and exterior side yards shall be excluded from the calculation of lot coverage	
	(12)	accessory buildings and structures shall not be located in the front yard or exterior side yard	
	(13)	minimum setback to garage face	6.0 m

4.2.2.207	Exception: RL-207	Map # 09	By-law: 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RL-207 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses/regulations shall apply:			
Regulations			
4.2.2.207.1	The regulations of Line 5.0 contained in Table 4.2.1 of this By-law shall not apply		
4.2.2.207.2	Maximum number of detached dwelling units		8
4.2.2.207.3	Maximum number of semi-detached dwelling units		4
4.2.2.207.4	Minimum setback to garage face from a condominium road		6.0 m
4.2.2.207.5	deleted		
4.2.2.207.6	deleted		

Exception RL-207 continued on next page

4.2.2.207	Exception: RL-207	Map # 09	By-law: 0181-2018/LPAT Order 2019 February 15, 0048-2025
Exception RL-207 continued from previous page			
4.2.2.207.7	Height of all buildings and structures shall be measured from established grade		
4.2.2.207.8	Maximum number of storeys	2	
4.2.2.207.9	Minimum number of parking spaces per dwelling unit	2	
4.2.2.207.10	Minimum number of visitor parking spaces	7	
4.2.2.207.11	All site development plans shall comply with Schedule RL-207 of this Exception		



Schedule RL-207
Map 09

4.2.2.208	Exception: RL-208	Map # 39E, 45W	By-law: 0048-2025
In a RL-208 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Regulation			
4.2.2.208.1	A detached dwelling shall comply with the RL zone regulations contained in Subsection 4.2.1 of this By-law		

4.2.2.209	Exception: RL-209	Map # 16, 27	By-law: 0174-2017, 0048-2025
In a RL-209 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Additional Permitted Use			
4.2.2.209.1	(1)	Linked Dwelling	
Regulation			
4.2.2.209.2	A linked dwelling shall comply with the RL zone regulations for a semi-detached contained in Subsection 4.2.1 of this By-law		

4.2.2.210	Exception: RL-210	Map # 30	By-law: 0379-2009, 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RL-210 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Additional Permitted Use			
4.2.2.210.1	(1)	Linked Dwelling	
Regulations			
4.2.2.210.2	Detached Dwelling:		
	(1)	minimum lot area - interior lot	275 m ²
	(2)	minimum lot frontage	9.0 m
	(3)	maximum driveway width	6.0 m
	(4)	minimum front yard	4.5 m
	(5)	minimum exterior side yard	4.5 m
	(6)	minimum setback to garage face	6.0 m
4.2.2.210.3	Semi-Detached:		
	(1)	minimum lot area - interior lot	275 m ²
	(2)	minimum lot area - corner lot	350 m ²
	(3)	minimum front yard	4.5 m
	(4)	minimum exterior side yard	4.5 m
	(5)	minimum setback to garage face	6.0 m

Exception RL-210 continued on next page

4.2.2.210	Exception: RL-210	Map # 30	By-law: 0379-2009, 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025
Exception RL-210 continued from previous page			
4.2.2.210.4	A linked dwelling shall comply with the RL zone regulations for a semi-detached contained in Subsection 4.2.1 of this By-law except that:		
	(1)	minimum lot area - interior lot	275 m ²
	(2)	minimum lot area - corner lot	350 m ²
	(3)	minimum front yard	4.5 m
	(4)	minimum exterior side yard	4.5 m
	(5)	minimum setback to garage face	6.0 m

4.2.2.211	Exception: RL-211	Map # 21	By-law: 0325-2008, 0055-2009, 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RL-211 zone the applicable regulations shall be as specified for a RL zone except that the following uses/regulations shall apply:			
Permitted Use			
4.2.2.211.1	Lands zoned RL-211 shall only be used for the following:		
	(1)	Double Duplex Dwelling	
Regulations			
4.2.2.211.2	A double duplex dwelling shall comply with the RM7 zone regulations contained in Subsection 4.13.1 of this By-law, except that:		
	(1)	the regulations of Article 4.1.9.3 and Lines 12.2 and 13.5 contained in Table 4.13.1 of this By-law shall not apply	
	(2)	maximum number of dwelling units on all lands zoned RL-211	4
	(3)	maximum lot coverage	30% of the lot area
	(4)	maximum gross floor area	400 m ²
	(5)	minimum area used for tenant facilities	166 m ²
	(6)	minimum landscaped area	40% of the lot area
	(7)	minimum front yard	15.0 m
	(8)	minimum interior side yard	1.7 m
	(9)	minimum rear yard	11.0 m
	(10)	maximum height: highest ridge of a sloped roof	10.7 m
	(11)	minimum number of resident parking spaces per dwelling unit	1.36
	(12)	minimum number of visitor parking spaces per dwelling unit	0.20

Exception RL-211 continued on next page

4.2.2.211	Exception: RL-211	Map # 21	By-law: 0325-2008, 0055-2009, 0181-2018/LPAT Order 2019 February 15, 0048-2025
Exception RL-211 from previous page			
4.2.2.211.2 (continued)	(13)	no dwelling units , or portions thereof, shall be located below grade	
	(14)	the area used for tenant facilities shall be measured from the centre line of joint interior partitions and from the exterior of outside walls of the building or structure	
	(15)	"Double Duplex Dwelling" means a building that is divided horizontally and vertically into four separate dwelling units , each with an entrance that is either independent or through a common vestibule	
	(16)	"Tenant Facilities" means any part of a building or structure used for furnace rooms, laundry rooms, garbage storage rooms or general storage rooms	
	(17)	"Gross Floor Area" means the aggregate of the areas of each storey above or below established grade measured between the exterior faces of the exterior wall of the building or structure at the level of each storey exclusive of any part of the building or structure used for tenant facilities, stairs or garbage storage	
	(18)	minimum lot frontage	18.0 m
	(19)	maximum area of a deck above an attached garage	10 m ²
	(20)	maximum driveway width	Lesser of 8.5 m or 50% of lot frontage
	(21)	minimum aisle width	6.0 m

4.2.2.212	Exception: RL-212	Map # 57	By-law: 0325-2008, 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RL-212 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses/regulations shall apply:			
Regulations			
4.2.2.212.1	A detached dwelling shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1)	minimum setback of a detached dwelling to all lands zoned U-3 on lots located east of Longford Drive	11.0 m
	(2)	maximum garage width: measured from the inside face of the garage side walls	6.1 m
4.2.2.212.2	Semi-Detached:		
	(1)	the regulations of Line 5.0 contained in Table 4.2.1 of this By-law shall not apply	
	(2)	minimum lot area - interior lot	220 m ²
	(3)	minimum lot area - corner lot	300 m ²
	(4)	minimum lot frontage - interior lot	8.7 m
	(5)	minimum lot frontage - corner lot	10.2 m

Exception RL-212 continued on next page

4.2.2.212	Exception: RL-212	Map # 57	By-law: 0325-2008, 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025
Exception RL-212 continued from previous page			
4.2.2.212.2 (continued)	(6)	maximum gross floor area- residential	0.75 times the lot area
	(7)	minimum front yard - lots without a municipal sidewalk adjacent the front lot line	3.5 m
	(8)	minimum front yard - all other lots	4.5 m
	(9)	minimum exterior side yard - lots without a municipal sidewalk adjacent the exterior side lot line	3.5 m
	(10)	minimum exterior side yard - lots adjacent to a street with a right-of-way width of less than 17.0 m	1.8 m
	(11)	minimum exterior side yard - all other lots	4.5 m
	(12)	minimum interior side yard - unattached side	1.2 m
	(13)	minimum rear yard - where lot abuts a lot with a minimum rear yard of 7.5 m	6.0 m
	(14)	where the abutting lot to the rear of the subject lot has a minimum rear yard of 7.0 m, the minimum rear yard of the subject lot may be reduced to 6.0 m for a maximum of 50% of the width of the rear wall of the semi-detached	
	(15)	minimum rear yard - all other lots	7.0 m
	(16)	minimum setback of a semi-detached to all lands zoned U-3 on lots located east of Longford Drive	11.0 m
	(17)	minimum setback to garage face	5.8 m
	(18)	minimum setback to a sight triangle	0.0 m
	(19)	maximum encroachment of a porch or balcony into required front yard	2.0 m
	(20)	maximum encroachment of a porch or balcony into required exterior side yard	2.0 m
	(21)	maximum projection of a garage beyond either the main front entrance or beyond the main entry feature where provided	2.5 m
	(22)	where a main entry feature has been provided, the maximum projection of a garage beyond a main front entrance	5.0 m
	(23)	for a semi-detached more than one storey in height , where the garage projects beyond the main front entrance , the garage shall be covered by a second storey which may be set back a maximum of 2.5 m from the garage face	
	(24)	maximum driveway width - interior lot	4.3 m
	(25)	maximum driveway width - corner lot	4.7 m
	(26)	maximum garage width: measured from the inside face of the garage side walls	3.8 m
	(27)	detached garage shall not be permitted	

4.2.2.213	Exception: RL-213	Map # 57	By-law: 0455-2007, 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RL-213 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses/regulations shall apply:			
Regulations			
4.2.2.213.1	A detached dwelling shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that: (1)minimum lot area - interior lot275 m² (2)minimum lot frontage - interior lot9.75 m (3)minimum lot frontage - corner lot13.0 m (4)maximum driveway width6.5 m (5)maximum garage width:5.5 m measured from the inside face of the garage side walls (6)minimum setback of a lot to Winston Churchill Boulevard108.0 m (7)a balcony with a maximum area of 10 m² is permitted on top of an attached garage provided that the balcony does not project more than 1.0 m beyond the garage face		
4.2.2.213.2	Semi-Detached: (1)the regulations of Line 5.0 contained in Table 4.2.1 of this By-law shall not apply (2)minimum lot area - interior lot220 m² (3)minimum lot area - corner lot252 m² (4)minimum lot frontage - interior lot8.5 m (5)minimum lot frontage - corner lot9.75 m (6)minimum front yard - lots with a municipal sidewalk adjacent the front lot line4.5 m (7)minimum front yard - lots without a municipal sidewalk adjacent the front lot line3.5 m (8)minimum exterior side yard - lots with a municipal sidewalk adjacent the exterior side lot line4.5 m (9)minimum exterior side yard - lots without a municipal sidewalk adjacent the exterior side lot line3.5 m (10)minimum setback to garage face5.8 m (11)minimum interior side yard - unattached side1.2 m (12)minimum rear yard7.0 m (13)maximum encroachment of a porch or balcony into required front or exterior side yard2.0 m (14)minimum setback to a sight triangle0.0 m (15)maximum projection of a garage beyond either the main front entrance or beyond the main entry feature where provided2.5 m (16)where a main entry feature has been provided, the maximum projection of a garage beyond a main front entrance5.0 m		

Exception RL-213 continued on next page

4.2.2.213	Exception: RL-213	Map # 57	By-law: 0455-2007, 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025
Exception RL-213 continued from previous page			
4.2.2.213.2 (continued)	(17) for a semi-detached more than one storey in height , where the garage projects beyond the main front entrance , a minimum of 75% of the width of the garage , measured from the inside face of the garage walls, shall be covered by a second storey which may be set back a maximum of 2.5 m from the garage face		
	(18)	maximum driveway width - interior lot	4.3 m
	(19)	maximum driveway width - corner lot	4.7 m
	(20)	maximum garage width: measured from the inside face of the garage side walls	3.8 m
	(21)	attached garage is required	
	(22)	detached garage shall not be permitted	
	(23)	a balcony with a maximum area of 10 m ² is permitted on top of an attached garage provided that the balcony does not project more than 1.0 m beyond the garage face	

4.2.2.214	Exception: RL-214	Map # 57	By-law: 0117-2014, 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RL-214 zone the permitted uses and applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Regulations			
4.2.2.214.1	A detached dwelling shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law		
4.2.2.214.2	Semi-Detached: (1) the provisions of Line 5.0 contained in Table 4.2.1 of this By-law shall not apply (2) minimum lot area - interior lot 190 m ² (3) minimum lot area - corner lot 252 m ² (4) minimum lot frontage - interior lot 7.5 m (5) minimum lot frontage - corner lot 9.5 m (6) minimum front yard - lots without a municipal sidewalk adjacent the front lot line 3.5 m (7) minimum front yard - lots without a municipal sidewalk adjacent the exterior side lot line 3.5 m (8) minimum setback to the garage face 5.8 m (9) minimum exterior side yard - lots abutting a street 1.8 m (10) minimum interior side yard - unattached side 1.2 m (11) minimum rear yard 6.0 m (12) maximum encroachment of a porch or balcony into required front or exterior side yard 2.0 m		

Exception RL-214 continued on next page

4.2.2.214	Exception: RL-214	Map # 57	By-law: 0117-2014, 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025
Exception RL-214 continued from previous page			
4.2.2.214.2 (continued)	(13)	maximum projection of a garage beyond either the main front entrance or beyond the main entry feature where provided	2.5 m
	(14)	where a main entry feature has been provided, the maximum projection of a garage beyond a main front entrance	5.0 m
	(15)	for a semi-detached more than one storey in height , where the garage projects beyond the main front entrance , the garage shall be covered by a second storey which may be set back a maximum of 2.5 m from the garage face	
	(16)	maximum driveway width - interior lot	4.5 m
	(17)	maximum driveway width - corner lot	5.0 m
	(18)	maximum garage width : measured from the inside face of the garage side walls	3.8 m
	(19)	detached garage shall not be permitted	

4.2.2.215	Exception: RL-215	Map #	By-law: 0171-2015/ OMB Order 2016 April 04, 0193-2016/OMB Order 2017 May 30, <i>deleted by</i> 0048-2025

4.2.2.216	Exception: RL-216	Map # 48E, 48W	By-law: 0225-2016, 0174-2017, 0048-2025
In a RL-216 zone the applicable regulations shall be as specified for a RL zone except that the following uses /regulations shall apply:			
Permitted Uses			
4.2.2.216.1	Lands zoned RL-216 shall only be used for the following:		
	(1)	Detached dwelling in compliance with the RS-61 zone regulations	
	(2)	Semi-Detached	

4.2.3Residential Small Lot Exception Zones
(0048-2025)

Refer to Article 1.1.2.3 - Exception Zones and Exception Zone Schedules

4.2.3.1	Exception: RS-1	Map # 48W	By-law: 0225-2016, 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RS-1 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:			
Regulations			
4.2.3.1.1	<i>deleted</i>		
4.2.3.1.2	<i>deleted</i>		
4.2.3.1.3	<i>deleted</i>		
4.2.3.1.4	A detached dwelling shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that: (1) minimum interior side yard		
			1.2 m + 0.61 m for each additional storey , or portion thereof, above one storey
4.2.3.1.5	<i>deleted</i>		
4.2.3.1.6	<i>deleted</i>		
4.2.3.1.7	<i>deleted</i>		
4.2.3.1.8	<i>deleted</i>		
4.2.3.1.9	Maximum gross floor area - infill residential		100 m ² plus 0.2 times the lot area
4.2.3.1.10	Garage projection: maximum projection of the garage beyond the front wall or exterior side wall of the first storey		2.0 m
4.2.3.1.11	<i>deleted</i>		

4.2.3.2	Exception: RS-2	Map #	By-law: 0379-2009, 0181-2018/LPAT Order 2019 February 15, <i>deleted by</i> <i>0048-2025</i>

4.2.3.3	Exception: RS-3	Map # 26, 55	By-law: 0379-2009, 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RS-3 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:			
Regulations			
4.2.3.3.1	<i>deleted</i>		
4.2.3.3.2	<i>deleted</i>		
4.2.3.3.3	Minimum interior side yard - interior lot		1.2 m
4.2.3.3.4	Minimum interior side yard - interior lot , for that part of a lot that adjoins a one storey garage or a wall of a main building containing no windows or doors into a habitable room		0.61 m
4.2.3.3.5	<i>deleted</i>		
4.2.3.3.6	<i>deleted</i>		

4.2.3.4	Exception: RS-4	Map # 47, 48E	By-law: 0379-2009, 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RS-4 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:			
Regulations			
4.2.3.4.1	<i>deleted</i>		
4.2.3.4.2	<i>deleted</i>		
4.2.3.4.3	Maximum gross floor area - residential		0.6 times the lot area
4.2.3.4.4	<i>deleted</i>		
4.2.3.4.5	<i>deleted</i>		

4.2.3.5	Exception: RS-5	Map # 27	By-law: 0048-2025
In a RS-5 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:			
Regulations			
4.2.3.5.1	Minimum interior side yard - interior lot		1.2 m
4.2.3.5.2	Minimum interior side yard - interior lot , for that part of a lot that adjoins a one storey garage or a wall of a main building containing no windows or doors into a habitable room		0.61 m
4.2.3.5.3	<i>deleted</i>		
4.2.3.5.4	Minimum rear yard where lands abut a PB1 zone		13.5 m

4.2.3.6	Exception: RS-6	Map # 21	By-law: 0048-2025
In a RS-6 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:			
Regulations			
4.2.3.6.1	<i>deleted</i>		
4.2.3.6.2	<i>deleted</i>		
4.2.3.6.3	Minimum interior side yard - interior lot		1.2 m
4.2.3.6.4	Minimum interior side yard - interior lot , for that part of a lot that adjoins a one storey garage or a wall of a main building containing no windows or doors into a habitable room		0.61 m
4.2.3.6.5	<i>deleted</i>		
4.2.3.6.6	<i>deleted</i>		

4.2.3.7	Exception: RS-7	Map # 28	By-law: 0379-2009, 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RS-7 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:			
Regulations			
4.2.3.7.1	<i>deleted</i>		
4.2.3.7.2	<i>deleted</i>		
4.2.3.7.3	<i>deleted</i>		
4.2.3.7.4	Minimum interior side yard - interior lot	1.2 m	
4.2.3.7.5	Minimum interior side yard - interior lot , for that part of a lot that adjoins a one storey garage or a wall of a main building containing no windows or doors into a habitable room	0.61 m	
4.2.3.7.6	<i>deleted</i>		
4.2.3.7.7	A detached dwelling shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that: (1) minimum interior side yard - corner lot (2) minimum rear yard - corner lot		
		7.5 m	
		1.2 m	
4.2.3.7.8	<i>deleted</i>		

4.2.3.8	Exception: RS-8	Map # 28	By-law: 0379-2009, 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RS-8 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:			
Regulations			
4.2.3.8.1	<i>deleted</i>		
4.2.3.8.2	<i>deleted</i>		
4.2.3.8.3	A detached dwelling shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that: (1) minimum rear yard 1.2 m		
4.2.3.8.4	The lot line abutting Wilcox Road shall be deemed to be the front lot line		
4.2.3.8.5	<i>deleted</i>		

4.2.3.9	Exception: RS-9	Map #	By-law: 0379-2009, 0181-2018/LPAT Order 2019 February 15, <i>deleted by</i> <i>0048-2025</i>

4.2.3.10	Exception: RS-10	Map # 24	By-law: 0048-2025
In a RS-10 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:			
Regulation			
4.2.3.10.1	<i>deleted</i>		
4.2.3.10.2	<i>deleted</i>		
4.2.3.10.3	Minimum gross floor area - residential 148 m²		

4.2.3.11	Exception: RS-11	Map #	By-law: 0379-2009, 0181-2018/LPAT Order 2019 February 15, <i>deleted by</i> <i>0048-2025</i>

4.2.3.12	Exception: RS-12	Map # 10, 31	By-law: 0048-2025
In a RS-12 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:			
Regulations			
4.2.3.12.1	Minimum interior side yard of all buildings and structures and swimming pools where lands abut a G1 and/or B zone		3.0 m
4.2.3.12.2	Minimum setback of a swimming pool to the rear lot line where lands abut a G1 zone		3.0 m

4.2.3.13	Exception: RS-13	Map #	By-law: 0379-2009, 0181-2018/LPAT Order 2019 February 15, <i>deleted by 0048-2025</i>

4.2.3.14	Exception: RS-14	Map # 26, 28, 29, 36W	By-law: 0379-2009, 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RS-14 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:			
Regulations			
4.2.3.14.1	<i>deleted</i>		
4.2.3.14.2	<i>deleted</i>		
4.2.3.14.3	<i>deleted</i>		
4.2.3.14.4	Maximum lot coverage		45%
4.2.3.14.5	<i>deleted</i>		
4.2.3.14.6	<i>deleted</i>		
4.2.3.14.7	Maximum gross floor area - residential		0.6 times the lot area
4.2.3.14.8	<i>deleted</i>		

4.2.3.15	Exception: RS-15	Map # 10, 38W	By-law: 0048-2025
In a RS-15 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:			
Regulation			
4.2.3.15.1	<i>deleted</i>		
4.2.3.15.2	Maximum gross floor area - residential		0.6 times the lot area

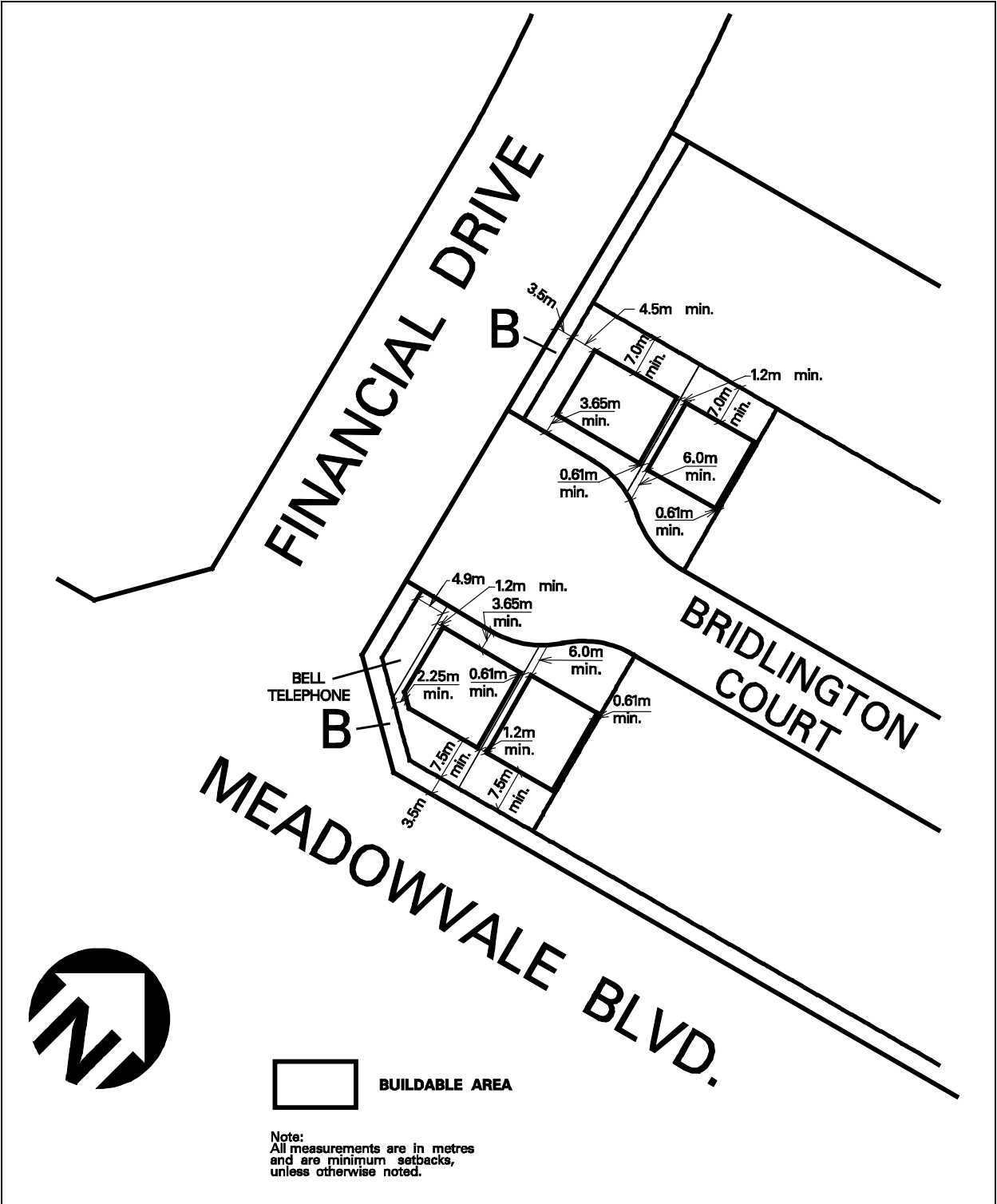
4.2.3.16	Exception: RS-16	Map # 36W, 37E	By-law: 0048-2025
In a RS-16 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:			
Regulations			
4.2.3.16.1	<i>deleted</i>		
4.2.3.16.2	<i>deleted</i>		
4.2.3.16.3	Maximum lot coverage	45%	
4.2.3.16.4	Maximum gross floor area - residential	0.6 times the lot area	

4.2.3.17	Exception: RS-17	Map # 31	By-law: 0048-2025
In a RS-17 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:			
Regulation			
4.2.3.17.1	Minimum setback of a detached dwelling to a railway right-of-way	22.0 m	

4.2.3.18	Exception: RS-18	Map # 37W, 38W	By-law: 0048-2025
In a RS-18 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:			
Regulation			
4.2.3.18.1	<i>deleted</i>		
4.2.3.18.2	<i>deleted</i>		
4.2.3.18.3	Maximum lot coverage	45%	

4.2.3.19	Exception: RS-19	Map # 22, 27, 29, 37E, 37W, 38E, 38W	By-law: 0379-2009, 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RS-19 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:			
Regulations			
4.2.3.19.1	<i>deleted</i>		
4.2.3.19.2	<i>deleted</i>		
4.2.3.19.3	<i>deleted</i>		
4.2.3.19.4	Maximum lot coverage	45%	
4.2.3.19.5	<i>deleted</i>		
4.2.3.19.6	<i>deleted</i>		
4.2.3.19.7	<i>deleted</i>		

4.2.3.20	Exception: RS-20	Map # 53W	By-law: 0048-2025
In a RS-20 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:			
Regulations			
4.2.3.20.1	<i>deleted</i>		
4.2.3.20.2	<i>deleted</i>		
4.2.3.20.3	<i>deleted</i>		
4.2.3.20.4	Maximum lot coverage		45%
4.2.3.20.5	Maximum encroachment of a porch into the required front and exterior side yards		1.8 m
4.2.3.20.6	All site development plans shall comply with Schedule RS-20 of this Exception		



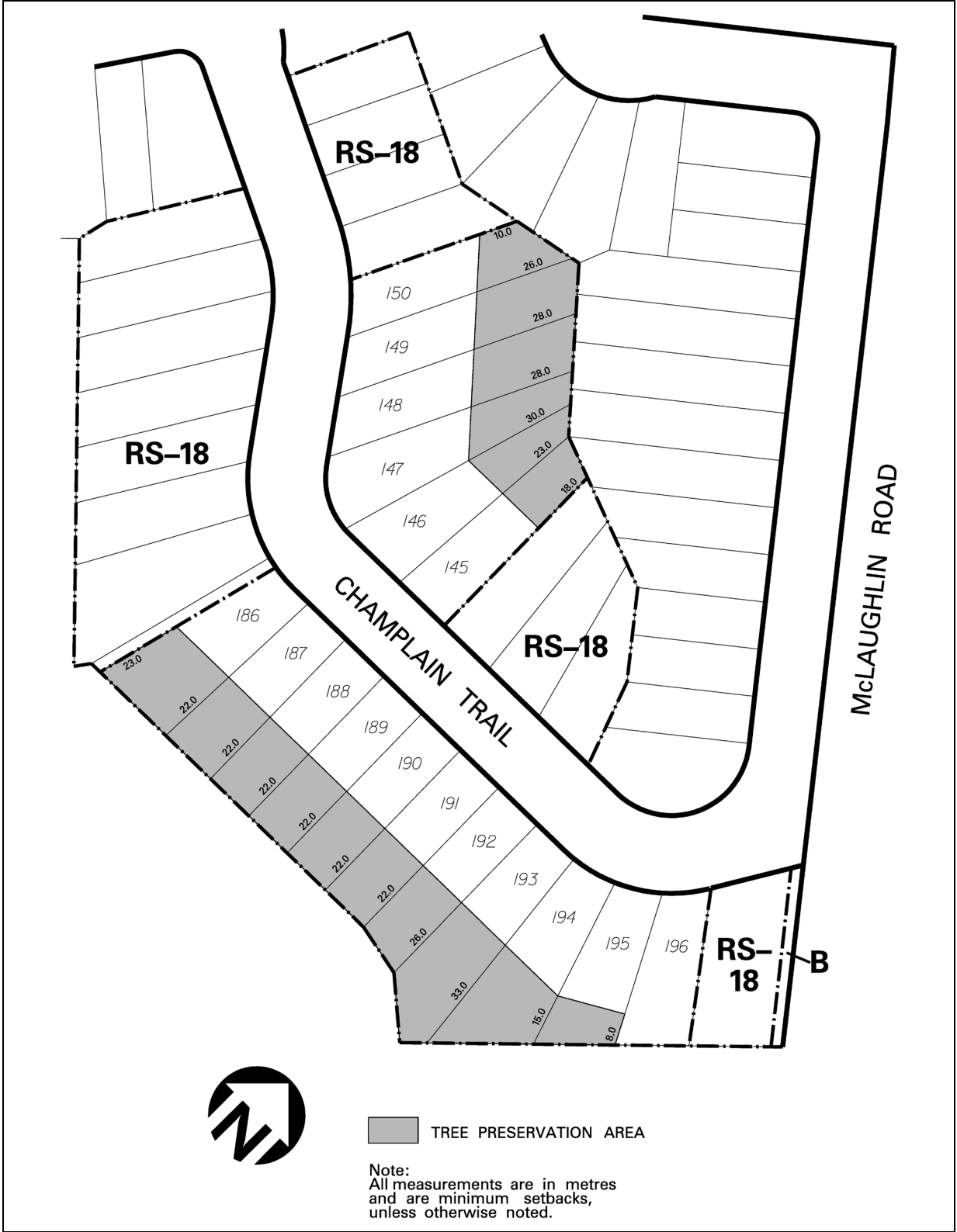
Schedule RS-20
Map 53W

4.2.3.21	Exception: RS-21	Map # 22, 30, 36W, 37E, 37W	By-law: 0379-2009, 0265-2016, 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RS-21 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:			
Regulations			
4.2.3.21.1	<i>deleted</i>		
4.2.3.21.2	<i>deleted</i>		
4.2.3.21.3	<i>deleted</i>		
4.2.3.21.4	<i>deleted</i>		
4.2.3.21.5	Maximum lot coverage		45%
4.2.3.21.6	<i>deleted</i>		
4.2.3.21.7	<i>deleted</i>		
4.2.3.21.8	Minimum setback of a detached dwelling , excluding attached garage , to a railway right-of-way		30.0 m
4.2.3.21.9	<i>deleted</i>		

4.2.3.22	Exception: RS-22	Map #	By-law: 0379-2009, 0181-2018/LPAT Order 2019 February 15, <i>deleted by 0048-2025</i>

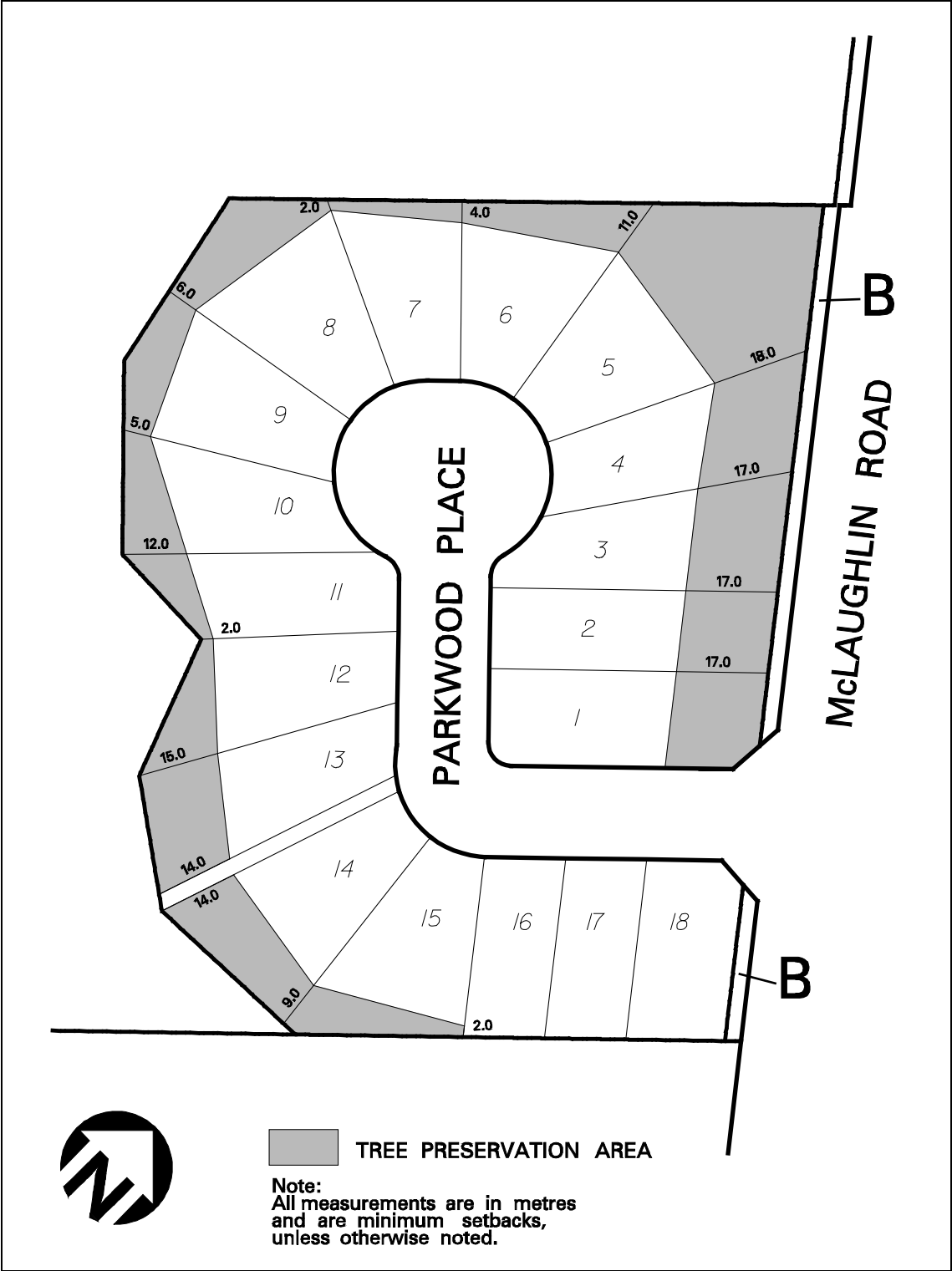
4.2.3.23	Exception: RS-23	Map #	By-law: <i>deleted by 0048-2025</i>

4.2.3.24	Exception: RS-24	Map # 37W	By-law: 0048-2025
In a RS-24 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses/regulations shall apply:			
Regulation			
4.2.3.24.1	The areas identified on Schedule RS-24 of this Exception as a tree preservation area, shall only be used for conservation purposes, and no buildings or structures , swimming pools , tennis courts or any like recreational facilities, except for fences along the lot lines , shall be permitted		



Schedule RS-24
Map 37W

4.2.3.25	Exception: RS-25	Map # 37W	By-law: 0048-2025
In a RS-25 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:			
Regulations			
4.2.3.25.1	The areas identified on Schedule RS-25 of this Exception as a tree preservation area, shall only be used for conservation purposes, and no buildings or structures , swimming pools , tennis courts or any like recreational facilities, except for fences along the lot lines , shall be permitted		
4.2.3.25.2	Minimum setback of all buildings and structures to the tree preservation area identified on Schedule RS-25 of this Exception	7.0 m	



Schedule RS-25
Map 37W

Part 4 - Residential Zones

4.2.3.26	Exception: RS-26	Map # 54W	By-law: 0048-2025
In a RS-26 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses/regulations shall apply:			
Regulations			
4.2.3.26.1	Minimum rear yard - where rear lot line abuts a B zone		19.0 m
4.2.3.26.2	Minimum setback of all buildings and structures and in-ground swimming pools to all lands zoned U-3		16.0 m

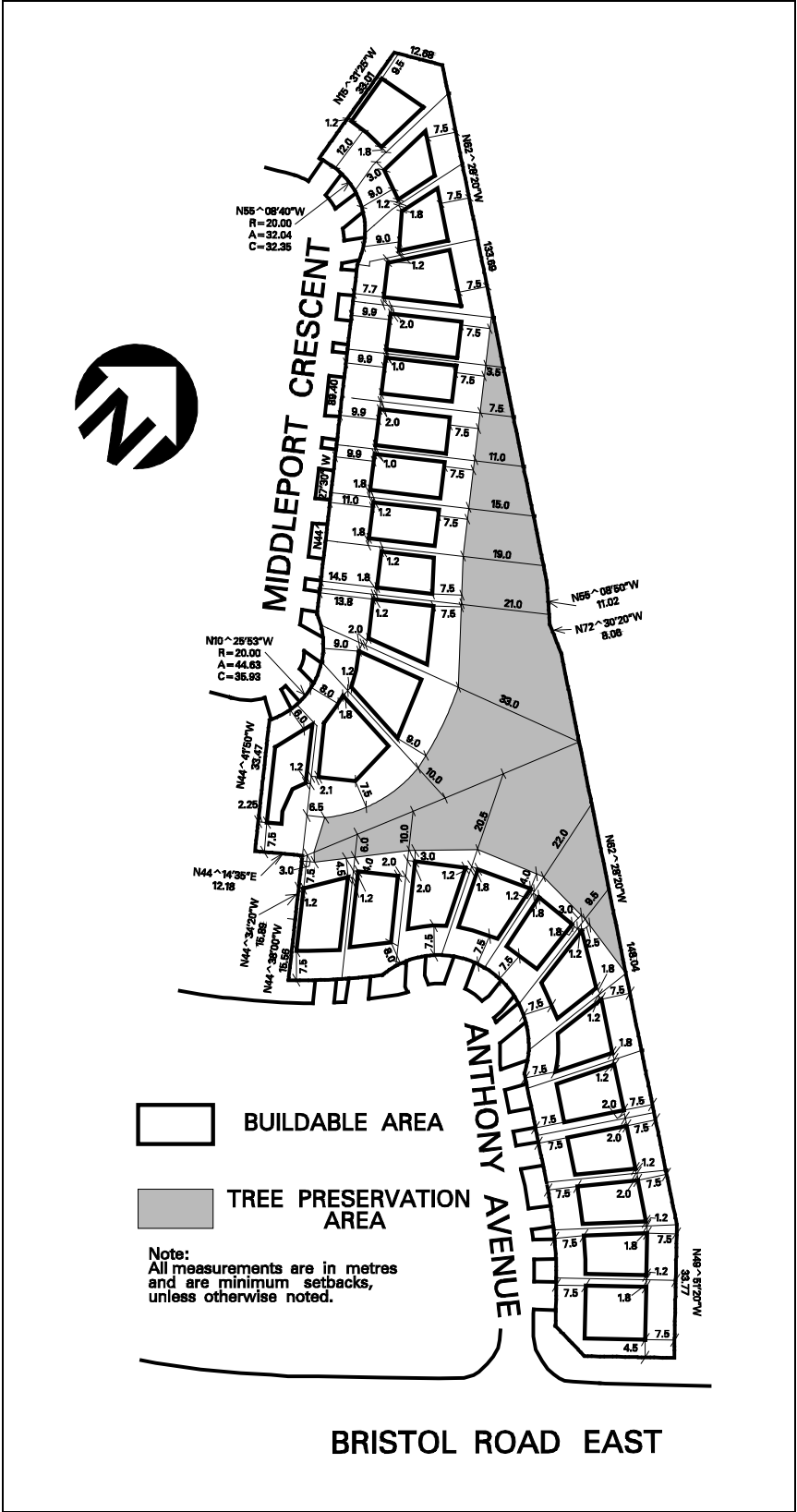
4.2.3.27	Exception: RS-27	Map # 37W, 54W	By-law: 0048-2025
In a RS-27 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses/regulations shall apply:			
Regulation			
4.2.3.27.1	<i>deleted</i>		
4.2.3.27.2	Minimum setback of all buildings and structures and in-ground swimming pools to all lands zoned U-3		13.0 m

4.2.3.28	Exception: RS-28	Map # 10	By-law: 0048-2025
In a RS-28 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses/regulations shall apply:			
Regulations			
4.2.3.28.1	Minimum setback of all buildings and structures and swimming pools to a side lot line abutting a G1 zone		4.5 m
4.2.3.28.2	Minimum rear yard - where rear lot line abuts a B zone		16.5 m

4.2.3.29	Exception: RS-29	Map # 56	By-law: 0048-2025
In a RS-29 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses/regulations shall apply:			
Regulation			
4.2.3.29.1	Minimum setback of all buildings and structures to a gas line transmission easement located within the abutting G1 and U-3 zones		15.0 m

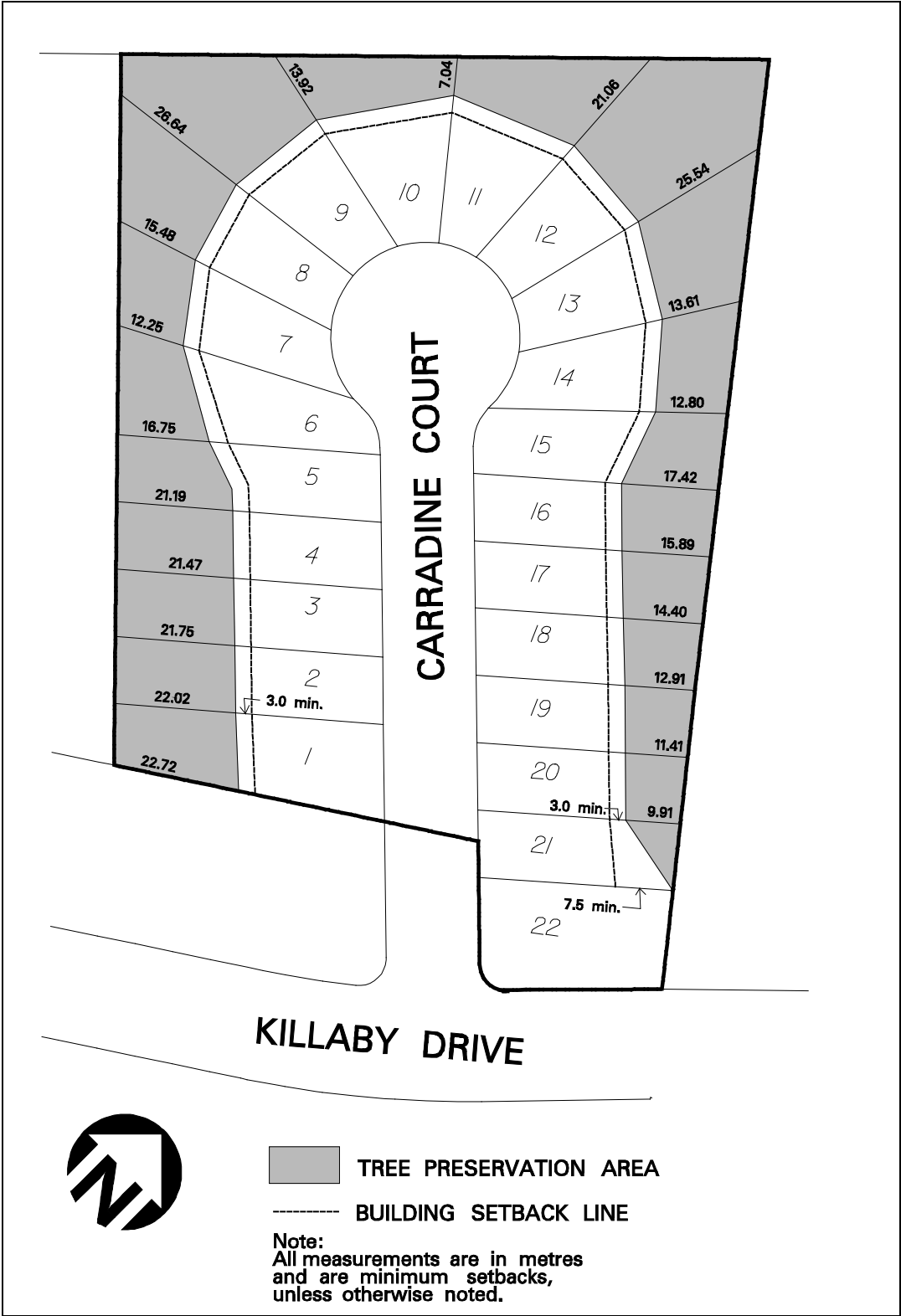
4.2.3.30	Exception: RS-30	Map # 36W	By-law: 0048-2025
In a RS-30 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses/regulations shall apply:			
Regulation			
4.2.3.30.1	<i>deleted</i>		
4.2.3.30.2	Minimum interior side yard - interior lot , for that part of the side yard that adjoins an attached garage		0.9 m

4.2.3.31	Exception: RS-31	Map # 36W	By-law: 0048-2025
In a RS-31 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses/regulations shall apply:			
Regulations			
4.2.3.31.1	The areas identified on Schedule RS-31 of this Exception as a tree preservation area, shall only be used for conservation purposes, and no buildings or structures , swimming pools , tennis courts or any like recreational facilities, except for fences along the lot lines , shall be permitted		
4.2.3.31.2	All site development plans shall comply with Schedule RS-31 of this Exception		



Schedule RS-31
Map 36W

4.2.3.32	Exception: RS-32	Map # 45E	By-law: 0048-2025
In a RS-32 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses/regulations shall apply:			
Regulation			
4.2.3.32.1	<i>deleted</i>		
4.2.3.32.2	The areas identified on Schedule RS-32 of this Exception as a tree preservation area, shall only be used for conservation purposes, and no buildings or structures , swimming pools , tennis courts or any like recreational facilities, except for fences along the lot lines , shall be permitted		



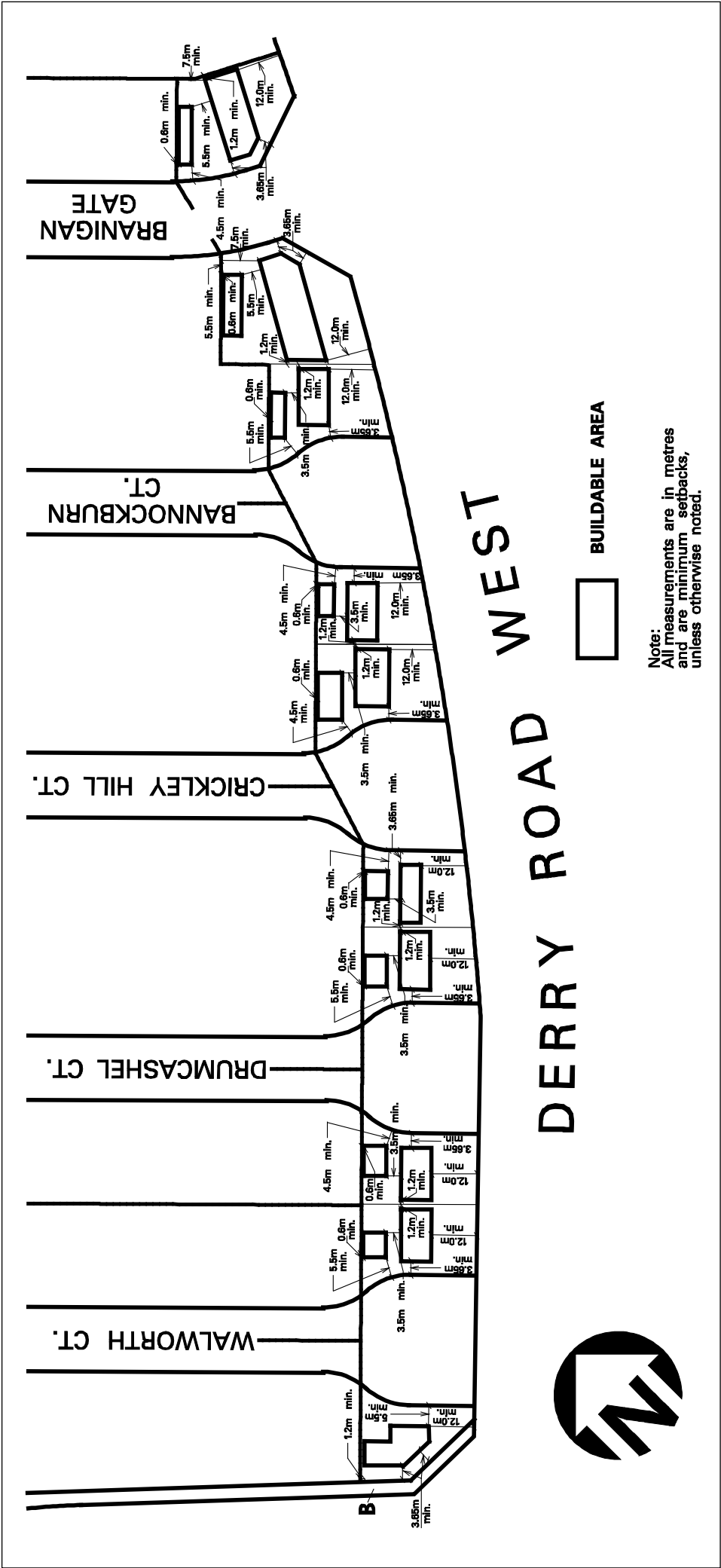
Schedule RS-32
Map 45E

4.2.3.33	Exception: RS-33	Map # 56	By-law: 0379-2009, 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RS-33 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:			
Regulation			
4.2.3.33.1	deleted		
4.2.3.33.2	deleted		
4.2.3.33.3	Minimum encroachment of a porch into a required front yard		0.5 m
4.2.3.33.4	deleted		
4.2.3.33.5	deleted		

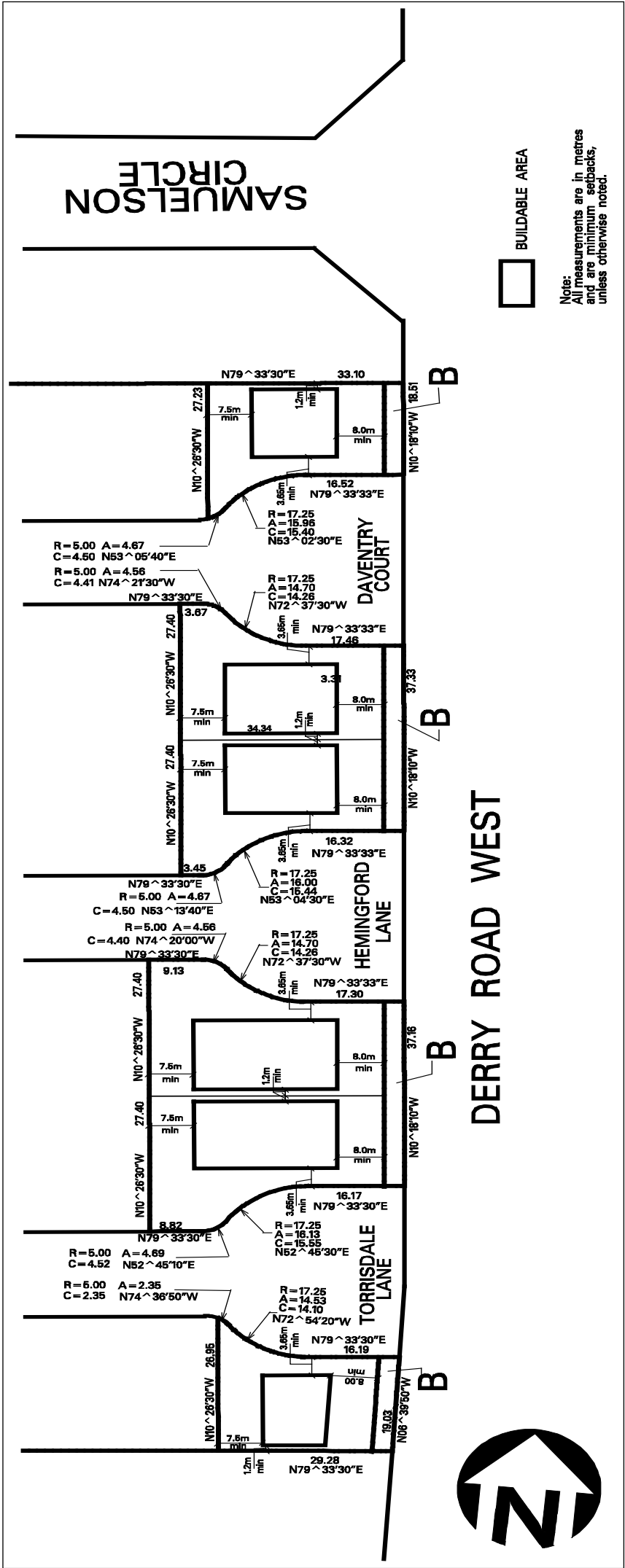
4.2.3.34	Exception: RS-34	Map # 53E, 53W	By-law: 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RS-34 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:			
Regulations			
4.2.3.34.1	<i>deleted</i>		
4.2.3.34.2	<i>deleted</i>		
4.2.3.34.3	<i>deleted</i>		
4.2.3.34.4	Maximum lot coverage	45%	
4.2.3.34.5	<i>deleted</i>		
4.2.3.34.6	<i>deleted</i>		
4.2.3.34.7	<i>deleted</i>		
4.2.3.34.8	Maximum encroachment of a porch into the required front and exterior side yards	1.8 m	
4.2.3.34.9	The area of all porches in front and exterior side yards shall be excluded from the calculation of lot coverage		
4.2.3.34.10	A detached dwelling shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that: (1) minimum setback to garage face		
		4.5 m	

4.2.3.35	Exception: RS-35	Map # 53E, 53W	By-law: 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RS-35 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses/regulations shall apply:			
Regulations			
4.2.3.35.1	<i>deleted</i>		
4.2.3.35.2	<i>deleted</i>		
4.2.3.35.3	<i>deleted</i>		
4.2.3.35.4	Maximum lot coverage	45%	
4.2.3.35.5	<i>deleted</i>		
4.2.3.35.6	<i>deleted</i>		
4.2.3.35.7	<i>deleted</i>		
4.2.3.35.8	Maximum encroachment of a porch into the required front and exterior side yards	1.8 m	
4.2.3.35.9	The area of all porches in front and exterior side yards shall be excluded from the calculation of lot coverage		
4.2.3.35.10	A detached dwelling shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1) Minimum setback to garage face	5.5 m	

4.2.3.36	Exception: RS-36(1) and RS-36(2)	Map # 53E, 53W	By-law: 0048-2025
In a RS-36(1) and RS-36(2) zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses/regulations shall apply:			
Regulations			
4.2.3.36.1	<i>deleted</i>		
4.2.3.36.2	<i>deleted</i>		
4.2.3.36.3	<i>deleted</i>		
4.2.3.36.4	Maximum lot coverage		45%
4.2.3.36.5	Maximum encroachment of a porch into the required front and exterior side yards		1.8 m
4.2.3.36.6	The area of all porches in front and exterior side yards shall be excluded from the calculation of lot coverage		
4.2.3.36.7	All site development plans shall comply with Schedules RS-36(1) and RS-36(2) of this Exception		



Schedule RS-36(1)
Map 53W



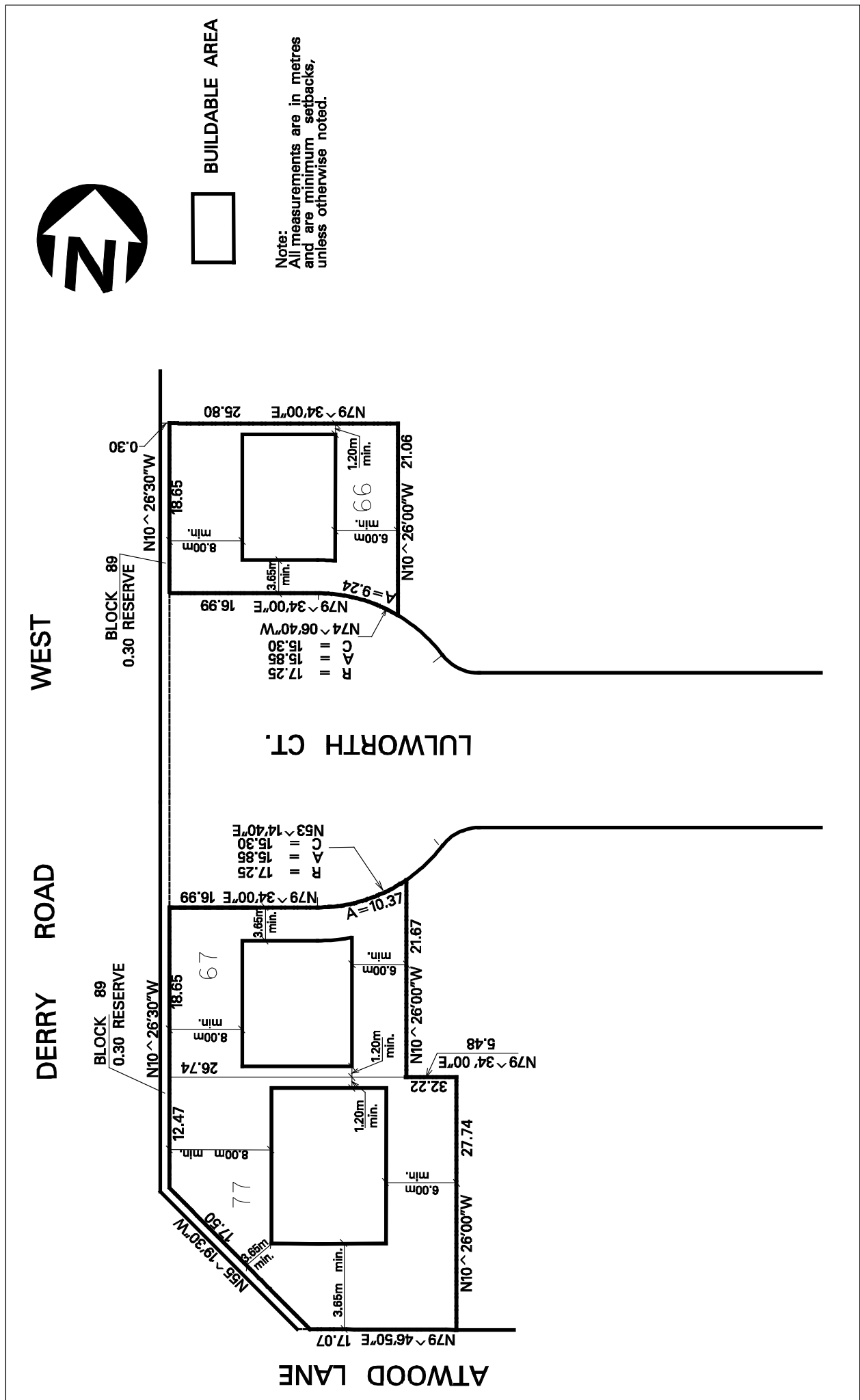
Schedule RS-36(2)
Map 53E

	N39°14'35"E	123.00		
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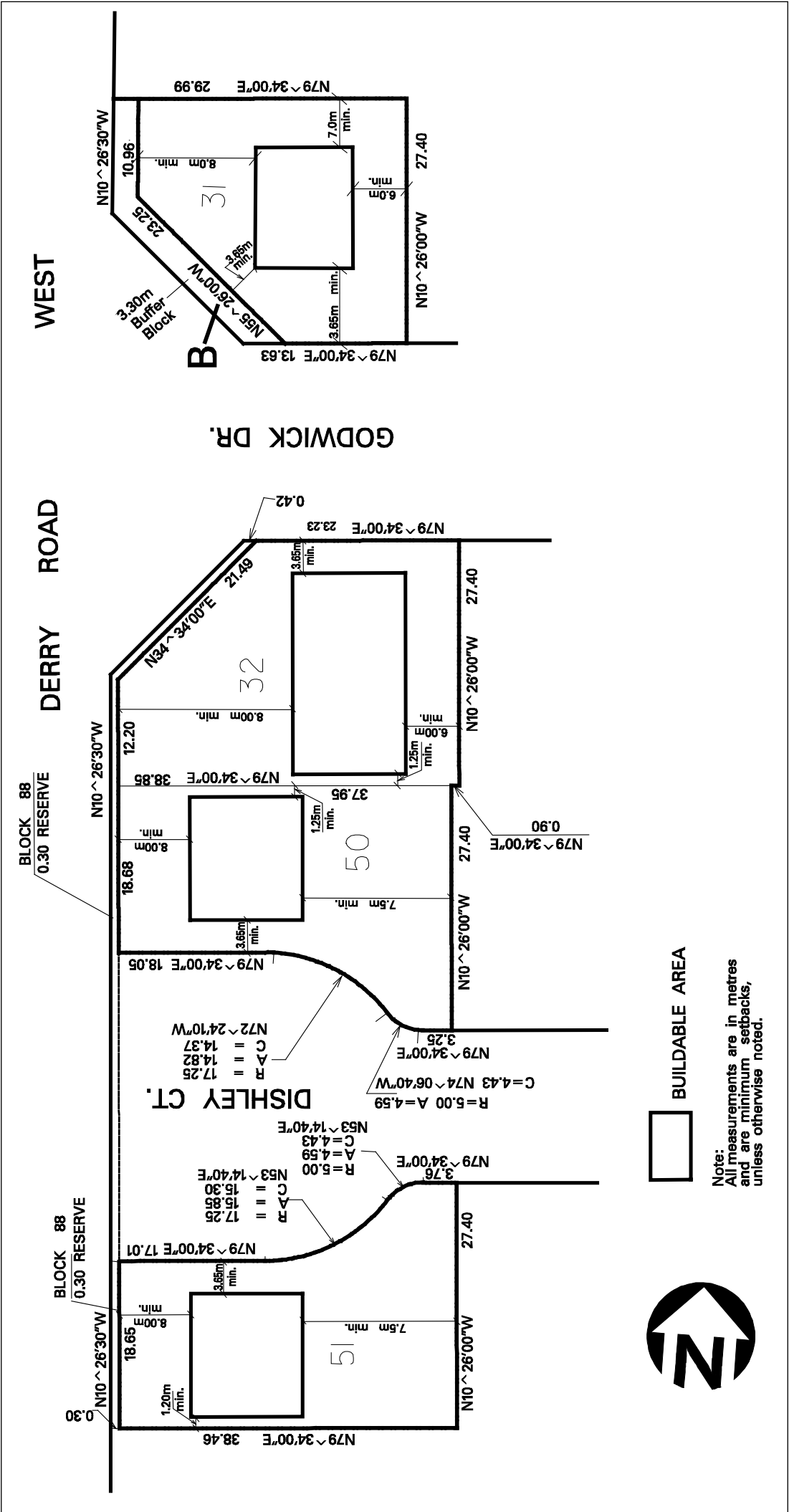


4.2.3.38	Exception: RS-38	Map # 18	By-law: 0048-2025
In a RS-38 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:			
Regulation			
4.2.3.38.1	<i>deleted</i>		
4.2.3.38.2	Minimum setback of a detached dwelling or semi-detached to all lands zoned G1		8.5 m

4.2.3.39	Exception: RS-39(1) and RS-39(2)	Map # 53E	By-law: 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RS-39(1) and RS-39(2) zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:			
Regulations			
4.2.3.39.1	Minimum lot coverage		45%
4.2.3.39.2	A detached dwelling shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that: (1) minimum setback to garage face		
			5.5 m
4.2.3.39.3	All site development plans shall comply with Schedules RS-39(1) and RS-39(2) of this Exception		

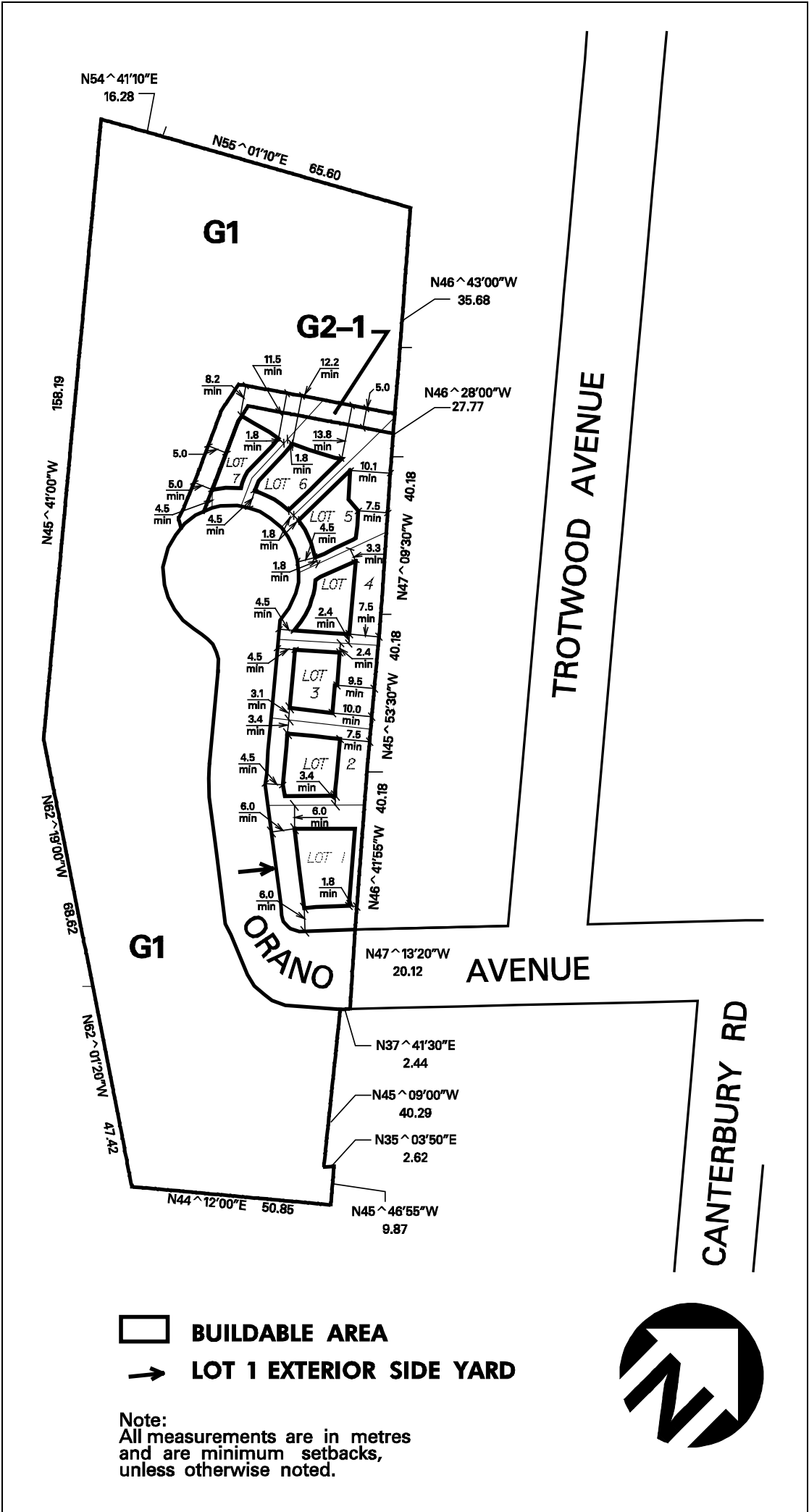


Schedule RS-39(1)
Map 53E



Schedule RS-39(2)
Map 53E

4.2.3.40	Exception: RS-40	Map # 07	By-law: 0308-2011, 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RS-40 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:			
Regulations			
4.2.3.40.1	<i>deleted</i>		
4.2.3.40.2	<i>deleted</i>		
4.2.3.40.3	Maximum gross floor area - residential		190 m ² plus 0.2 times the lot area
4.2.3.40.4	<i>deleted</i>		
4.2.3.40.5	<i>deleted</i>		
4.2.3.40.6	<i>deleted</i>		
4.2.3.40.7	<i>deleted</i>		
4.2.3.40.8	Maximum projection of a garage face beyond any portion of the first floor front wall or exterior side wall of a detached dwelling		0.0 m
4.2.3.40.9	Maximum garage width: measured from the inside face of the garage side walls		50% of the width of the front wall of the detached dwelling
4.2.3.40.10	The width of the front wall of the detached dwelling in Sentence 4.2.3.40.9 of this Exception shall be the total width of the parts of the front wall of the dwelling that face the street		
4.2.3.40.11	Vehicular access for Lot 1, shall only be permitted through the exterior side yard identified on Schedule RS-40 of this Exception		
4.2.3.40.12	All site development plans shall comply with Schedule RS-40 of this Exception		



Schedule RS-40
Map 07

4.2.3.41	Exception: RS-41	Map # 30	By-law: 0379-2009, 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RS-41 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:			
Regulations			
4.2.3.41.1	<i>deleted</i>		
4.2.3.41.2	<i>deleted</i>		
4.2.3.41.3	Minimum setback of all buildings and structures to all lands zoned PB1	10.0 m	
4.2.3.41.4	Minimum setback of all buildings and structures to a sight triangle	0.0 m	
4.2.3.41.5	<i>deleted</i>		
4.2.3.41.6	Maximum encroachment of a porch or balcony into the required front or exterior side yard	2.0 m	
4.2.3.41.7	A detached garage shall not be permitted		
4.2.3.41.8	<i>deleted</i>		

4.2.3.42	Exception: RS-42	Map # 55	By-law: 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RS-42 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:			
Regulations			
4.2.3.42.1	<i>deleted</i>		
4.2.3.42.2	<i>deleted</i>		
4.2.3.42.3	<i>deleted</i>		
4.2.3.42.4	A detached dwelling shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1) maximum lot coverage	48%	
	(2) minimum setback to garage face	4.0 m	
4.2.3.42.5	Maximum garage width: measured from the inside face of the garage side walls	6.0 m	
4.2.3.42.6	Maximum driveway width	6.0 m	

4.2.3.43	Exception: RS-43	Map # 55	By-law: 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RS-43 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:			
Regulations			
4.2.3.43.1	<i>deleted</i>		
4.2.3.43.2	<i>deleted</i>		
4.2.3.43.3	<i>deleted</i>		4.0 m
4.2.3.43.4	A detached dwelling shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that: (1) maximum lot coverage 48% (2) minimum setback to garage face 5.0 m		
4.2.3.43.5	Maximum garage width: measured from the inside face of the garage side walls		6.0 m
4.2.3.43.6	Maximum driveway width		6.0 m

4.2.3.44	Exception: RS-44	Map # 13	By-law: 0048-2025
In a RS-44 zone the applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:			
Permitted Uses			
4.2.3.44.1	Lands zoned RS-44 shall only be used for the following: (1) Detached Dwelling or (2) Semi-Detached or (3) Medical Office - Restricted		
Regulation			
4.2.3.44.2	A medical office - restricted shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that: (1) maximum number of physicians, dentists, drugless practitioners or health professionals permitted to practise		
			4

4.2.3.45	Exception: RS-45	Map # 20	By-law: 0048-2025
In a RS-45 zone the applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:			
Permitted Uses			
4.2.3.45.1	Lands zoned RS-45 shall only be used for the following:		
	(1) Detached Dwelling or (2) Semi-Detached or (3) Medical office - restricted in a detached dwelling		
Regulations			
4.2.3.45.2	A medical office - restricted shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1)	maximum number of physicians, dentists, drugless practitioners or health professionals permitted to practise	4

4.2.3.46	Exception: RS-46	Map # 23	By-law: 0048-2025
In a RS-46 zone the applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:			
Permitted Uses			
4.2.3.46.1	Lands zoned RS-46 shall only be used for the following:		
	(1) Detached Dwelling or (2) Semi-Detached or (3) Medical Office - Restricted		
Regulations			
4.2.3.46.2	A medical office - restricted shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1)	maximum number of physicians, dentists, drugless practitioners or health professionals permitted to practise	4
	(2)	all site development plans shall comply with Schedule RS-46 of this Exception	



Schedule RS-46
Map 23

4.2.3.47	Exception: RS-47	Map #	By-law: <i>deleted by 0048-2025</i>

4.2.3.48	Exception: RS-48	Map # 55	By-law: 0379-2009, 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RS-48 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:			
Additional Permitted Use			
4.2.3.48.1	(1)	Linked Dwelling	
Regulations			
4.2.3.48.2	A linked dwelling shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1)	minimum lot frontage - corner lot	15.0 m
	(2)	minimum front yard	4.5 m
	(3)	minimum interior side yard - interior lot	1.2 m
	(4)	minimum interior side yard - interior lot , for that part of a lot that adjoins a one storey garage or a wall of a main building containing no windows or doors into a habitable room	0.61 m
	(5)	minimum setback to garage face	6.0 m

4.2.3.49	Exception: RS-49	Map # 38W	By-law: 0379-2009, 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RS-49 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:			
Regulation			
4.2.3.49.1	<i>deleted</i>		
4.2.3.49.2	<i>deleted</i>		
4.2.3.49.3	<i>deleted</i>		
4.2.3.49.4	<i>deleted</i>		
4.2.3.49.5	<i>deleted</i>		
4.2.3.49.6	<i>deleted</i>		
4.2.3.49.7	<i>deleted</i>		
4.2.3.49.8	A detached dwelling shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1)	minimum rear yard	6.0 m
4.2.3.49.9	<i>deleted</i>		

4.2.3.50	Exception: RS-50	Map # 19	By-law: 0379-2009, 0048-2025
In a RS-50 zone the applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:			
Permitted Uses			
4.2.3.50.1	Lands zoned RS-50 shall only be used for the following: (1) Mobile home or land lease community home or any combination thereof, with accessory administrative facilities		
Regulations			
4.2.3.50.2	Maximum number of mobile homes and/or land lease community homes on all lands zoned RS-50		239
4.2.3.50.3	Access shall be permitted from lands zoned C3-23 and RA2-18		
4.2.3.50.4	Minimum number of parking spaces per mobile home or land lease community home		1.0
4.2.3.50.5	"Administrative Facilities" means any building or structure that is accessory to the operation of mobile homes and land lease community homes		
4.2.3.50.6	"Land Lease Community Home" means a detached dwelling that is a permanent structure where the owner of the dwelling leases the land used or intended for use as the site for the dwelling, but does not include a mobile home		
4.2.3.50.7	"Mobile Home" means a detached dwelling that is designed to be made mobile, and constructed or manufactured to provide a permanent residence for one or more persons, but does not include a travel trailer or tent trailer or trailer otherwise designed		

4.2.3.51	Exception: RS-51	Map #	By-law: <i>deleted by 0048-2025</i>

4.2.3.52	Exception: RS-52	Map #	By-law: <i>deleted by 0048-2025</i>

4.2.3.53	Exception: RS-53	Map # 39E	By-law: 0379-2009, 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RS-53 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:			
Regulations			
4.2.3.53.1	<i>deleted</i>		
4.2.3.53.2	<i>deleted</i>		
4.2.3.53.3	<i>deleted</i>		
4.2.3.53.4	Maximum lot coverage	45%	
4.2.3.53.5	<i>deleted</i>		
4.2.3.53.6	<i>deleted</i>		
4.2.3.53.7	Maximum driveway width	6.0 m	
4.2.3.53.8	Each detached dwelling shall have an attached garage		
4.2.3.53.9	<i>deleted</i>		

4.2.3.54	Exception: RS-54	Map # 31	By-law: 0325-2008, 0048-2025
In a RS-54 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:			
Regulations			
4.2.3.54.1	<i>deleted</i>		
4.2.3.54.2	<i>deleted</i>		
4.2.3.54.3	<i>deleted</i>		
4.2.3.54.4	Minimum interior side yard of all buildings and structures and swimming pools where lands abut a G1 zone	3.0 m	
4.2.3.54.5	Minimum setback of a swimming pool to the rear lot line where lands abut a G1 zone	3.0 m	

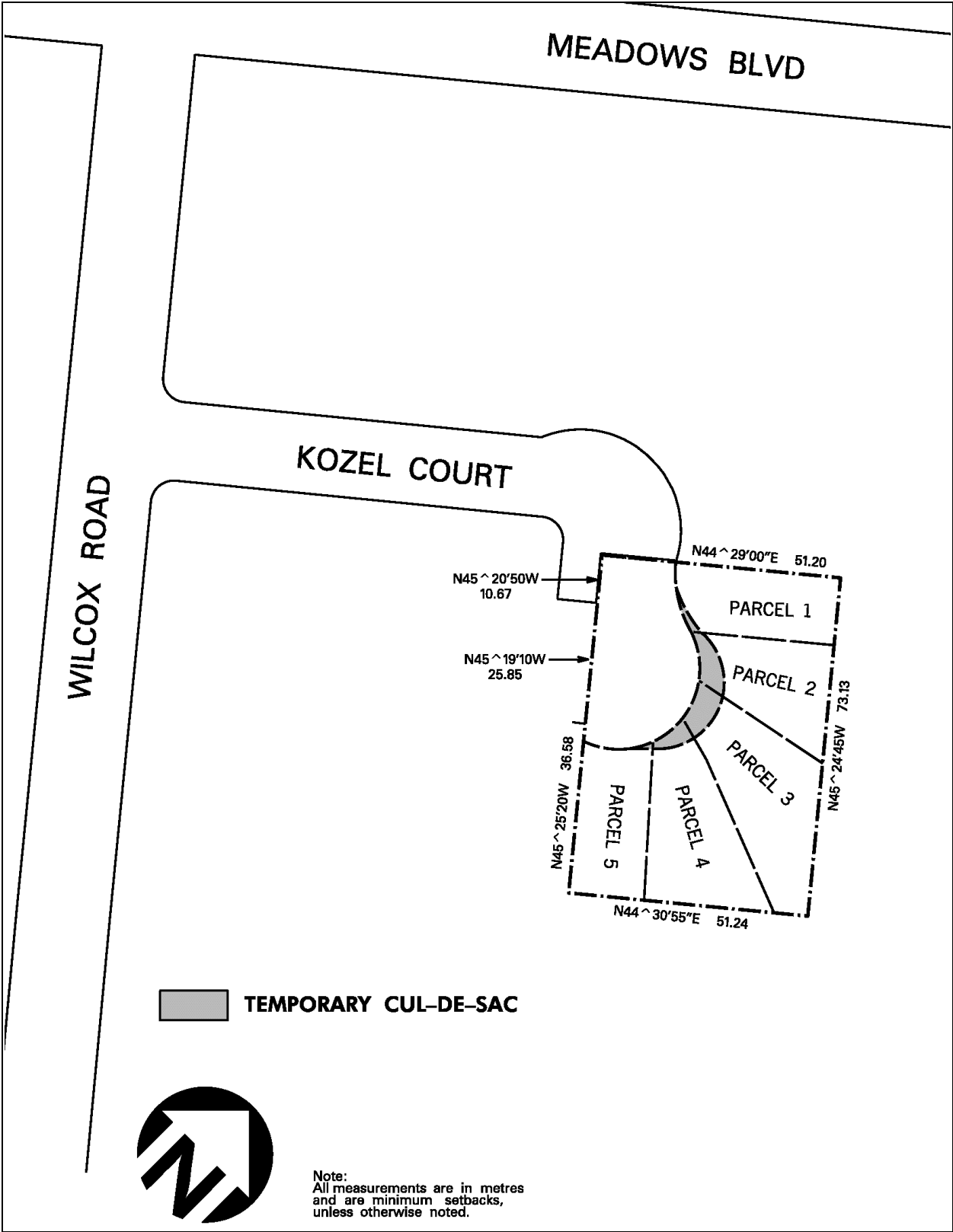
4.2.3.55	Exception: RS-55	Map # 32	By-law: 0048-2025
In a RS-55 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:			
Regulation			
4.2.3.55.1	A detached dwelling shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that: (1) minimum front yard		
		1.5 m	

4.2.3.56	Exception: RS-56	Map # 20	By-law: 0325-2008, 0048-2025
In a RS-56 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:			
Regulation			
4.2.3.56.1	<i>deleted</i>		
4.2.3.56.2	A detached dwelling shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that: (1) minimum interior side yard - interior lot 0.61 m		

4.2.3.57	Exception: RS-57	Map # 19	By-law: OMB Order 2008 March 27, 0196-2010, 0144-2016, 0048-2025
In a RS-57 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:			
Regulations			
4.2.3.57.1	The regulations of Lines 6.3 and 7.1 contained in Table 4.2.1 of this By-law shall not apply		
4.2.3.57.2	<i>deleted</i>		
4.2.3.57.3	A detached dwelling shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that: (1) minimum lot area - corner lot 325 m² (2) minimum exterior side yard 1.2 m		
4.2.3.57.4	<i>deleted</i>		
4.2.3.57.5	<i>deleted</i>		
4.2.3.57.6	<i>deleted</i>		
4.2.3.57.7	Maximum projection of a porch, deck or a balcony , exceeding 0.61 m in height above grade at any point, from the rear wall of a dwelling		1.83 m
4.2.3.57.8	Maximum area of a porch, deck or a balcony , excluding stairs, identified in Sentence 4.2.3.57.7 of this Exception		6.2 m ²
4.2.3.57.9	Article 4.1.5.2 and/or Article 4.1.5.7 of this By-law shall apply to a porch or deck 0.61 m or less in height above grade at any point		
4.2.3.57.10	Article 4.1.5.10 of this By-law shall not apply to a balcony in the rear yard		

4.2.3.58	Exception: RS-58	Map # 30	By-law: 0184-2008, 0379-2009, 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RS-58 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:			
Regulations			
4.2.3.58.1	<i>deleted</i>		
4.2.3.58.2	<i>deleted</i>		
4.2.3.58.3	<i>deleted</i>		
4.2.3.58.4	Maximum lot coverage		45%
4.2.3.58.5	<i>deleted</i>		
4.2.3.58.6	<i>deleted</i>		
4.2.3.58.7	<i>deleted</i>		
4.2.3.58.8	<i>deleted</i>		
4.2.3.58.9	<i>deleted</i>		
4.2.3.58.10	Minimum setback to a sight triangle		0.0 m
4.2.3.58.11	<i>deleted</i>		
4.2.3.58.12	Maximum encroachment of a porch or a balcony into the required front yard or exterior side yard		2.0 m
4.2.3.58.13	Maximum area of a balcony on top of an attached garage		12 m ²
4.2.3.58.14	A detached garage shall not be permitted		
4.2.3.58.15	<i>deleted</i>		

4.2.3.59	Exception: RS-59	Map # 28	By-law: 0218-2009, 0048-2025
In a RS-59 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:			
Regulation			
4.2.3.59.1	Each lot , comprised of a parcel and a portion of the temporary cul-de-sac identified on Schedule RS-59 of this Exception, shall be considered a lot for the purposes of this By-law		

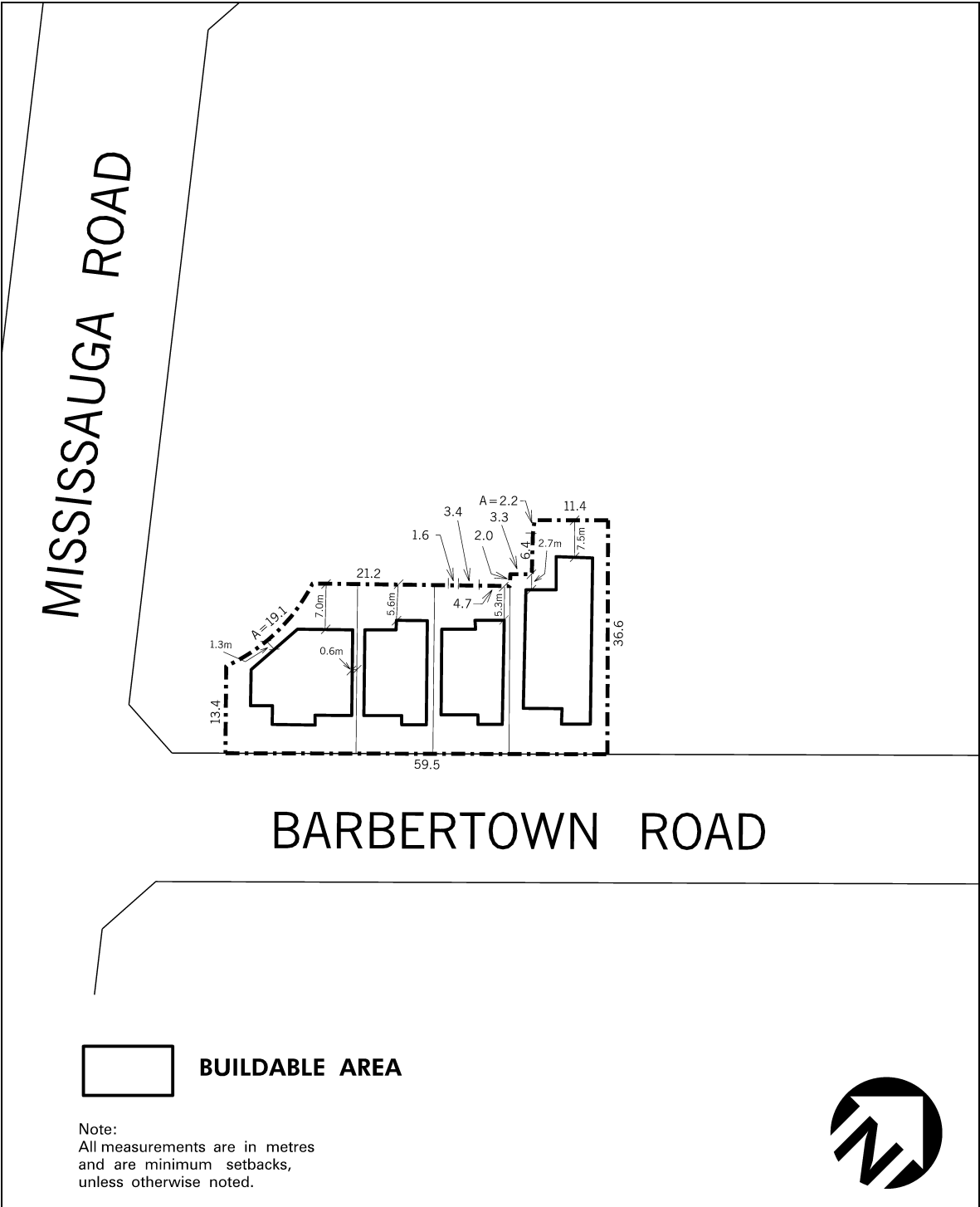


Schedule RS-59
Map 28

4.2.3.60	Exception: RS-60	Map #	By-law: 0048-2025

4.2.3.61	Exception: RS-61	Map # 48E, 48W	By-law: 0225-2016, 0048-2025
In a RS-61 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:			
Regulations			
4.2.3.61.1	<i>deleted</i>		
4.2.3.61.2	Minimum interior side yard	1.2 m + 0.61 m for each additional storey or portion thereof above one storey	
4.2.3.61.3	<i>deleted</i>		
4.2.3.61.4	<i>deleted</i>		
4.2.3.61.5	<i>deleted</i>		
4.2.3.61.6	Maximum gross floor area - infill residential	150 m ² plus 0.2 times the lot area	
4.2.3.61.7	Garage projection: maximum projection of the garage beyond the front wall or exterior side wall of the first storey		2.0 m
4.2.3.61.8	<i>deleted</i>		

4.2.3.62	Exception: RS-62	Map # 38W	By-law: LPAT Order 2019 February 08, 0128-2020, 0048-2025
In a RS-62 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:			
Regulations			
4.2.3.62.1	<i>deleted</i>		
4.2.3.62.2	<i>deleted</i>		
4.2.3.62.3	A detached dwelling shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that: (1) maximum lot coverage		
4.2.3.62.4	<i>deleted</i>		
4.2.3.62.5	All site development plans shall comply with Schedule RS-62 of this Exception		



Schedule RS-62
Map 38W

4.2.3.63	Exception: RS-63	Map # 13	By-law: 0198-2019, 0048-2025
In a RS-63 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:			
Regulations			
4.2.3.63.1	Maximum number of dwelling units on all lands zoned RS-63		8
4.2.3.63.2	<i>deleted</i>		
4.2.3.63.3	A detached dwelling shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1) minimum lot area - corner lot		345 m ²
	(2) minimum exterior side yard		3.0 m
4.2.3.63.4	The lot line abutting Primate Road shall be deemed to be the front lot line		
4.2.3.63.5	<i>deleted</i>		
4.2.3.63.6	<i>deleted</i>		
4.2.3.63.7	<i>deleted</i>		
4.2.3.63.8	<i>deleted</i>		
4.2.3.63.9	Maximum encroachment of a porch , inclusive of stairs into the required front yard		1.5 m

4.2.3.64	Exception: RS-64	Map # 15	By-law: 0132-2019, 0048-2025
In a RS-64 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:			
Regulation			
4.2.3.64.1	<i>deleted</i>		
4.2.3.64.2	A detached dwelling shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1) maximum lot coverage	43%	

4.2.3.65	Exception: RS-65	Map # 56	By-law: 0232-2024, 0048-2025
In a RS-65 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:			
Regulations			
4.2.3.65.1	<i>deleted</i>		
4.2.3.65.2	A detached dwelling shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that: (1) <i>deleted</i> (2) minimum lot frontage - corner lot 13.5 m (3) maximum lot coverage 50% (4) <i>deleted</i> (5) minimum landscaped soft area in the yard containing the driveway 34% of the front yard and/or exterior side yard		
4.2.3.65.3	<i>deleted</i>		
4.2.3.65.4	<i>deleted</i>		
4.2.3.65.5	<i>deleted</i>		
4.2.3.65.6	<i>deleted</i>		

4.2.3.66	Exception: RS-66	Map # 22	By-law: 0048-2025
In a RS-66 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:			
Regulations			
4.2.3.66.1	The provisions contained in Subsection 4.1.7 of this By-law shall not apply		
4.2.3.66.2	Minimum setback of a habitable room to a railway right-of-way		20.0 m

4.2.3.67	Exception: RS-67	Map #	By-law: <i>deleted by 0048-2025</i>

4.2.3.68	Exception: RS-68	Map # 22, 29, 36W, 37E, 37W, 38W, 39E, 56	By-law: 0048-2025
In a RS-68 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:			
Regulation			
4.2.3.68.1	A detached dwelling shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that: (1) maximum lot coverage 45%		

4.2.3.69	Exception: RS-69	Map # 30, 37W, 38E, 39E, 39W, 45E, 54W, 55, 56	By-law: 0048-2025
In a RS-69 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses/regulations shall apply:			
Regulations			
4.2.3.69.1	<i>deleted</i>		
4.2.3.69.2	<i>deleted</i>		
4.2.3.69.3	<i>deleted</i>		
4.2.3.69.4	<i>deleted</i>		
4.2.3.69.5	A detached dwelling shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1)	minimum interior side yard - interior lot	1.2 m

4.2.3.70	Exception: RS-70	Map # 46W	By-law: 0048-2025
In a RS-70 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses/regulations shall apply:			
Additional Permitted Use			
4.2.3.70.1	(1)	Linked Dwelling	
Regulation			
4.2.3.70.2	A linked dwelling shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1)	minimum lot frontage - interior lot	9.0 m

4.2.3.71	Exception: RS-71	Map #	By-law: <i>deleted by 0048-2025</i>

4.2.3.72	Exception: RS-72	Map # 18, 22, 25, 26, 29, 30, 55	By-law: 0048-2025
In a RS-72 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:			
Regulations			
4.2.3.72.1	A detached dwelling shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:		
(1)	minimum lot area - interior lot	275 m ²	
(2)	minimum lot frontage - interior lot	9.0 m	
(3)	maximum gross floor area - residential	0.6 times the lot area	

4.2.3.73	Exception: RS-73	Map # 30	By-law: 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RS-73 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:			
Regulations			
4.2.3.73.1	A detached dwelling shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:		
(1)	maximum gross floor area - residential	0.6 times the lot area	
4.2.3.73.2	Minimum interior side yard - where the side lot line is also the side lot line of a townhouse		1.2 m

4.2.3.74	Exception: RS-74	Map # 22, 37E, 37W	By-law: 0048-2025
In a RS-74 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:			
Regulations			
4.2.3.74.1	A detached dwelling shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1) minimum lot area - interior lot	275 m ²	
	(2) maximum lot coverage	45%	
4.2.3.74.2	<i>deleted</i>		

4.2.3.75	Exception: RS-75	Map # 22, 38E	By-law: 0048-2025
In a RS-75 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:			
Regulations			
4.2.3.75.1	<i>deleted</i>		
4.2.3.75.2	Maximum lot coverage	45%	
4.2.3.75.3	Minimum exterior side yard - lots abutting Confederation Parkway or Central Parkway West		6.0 m

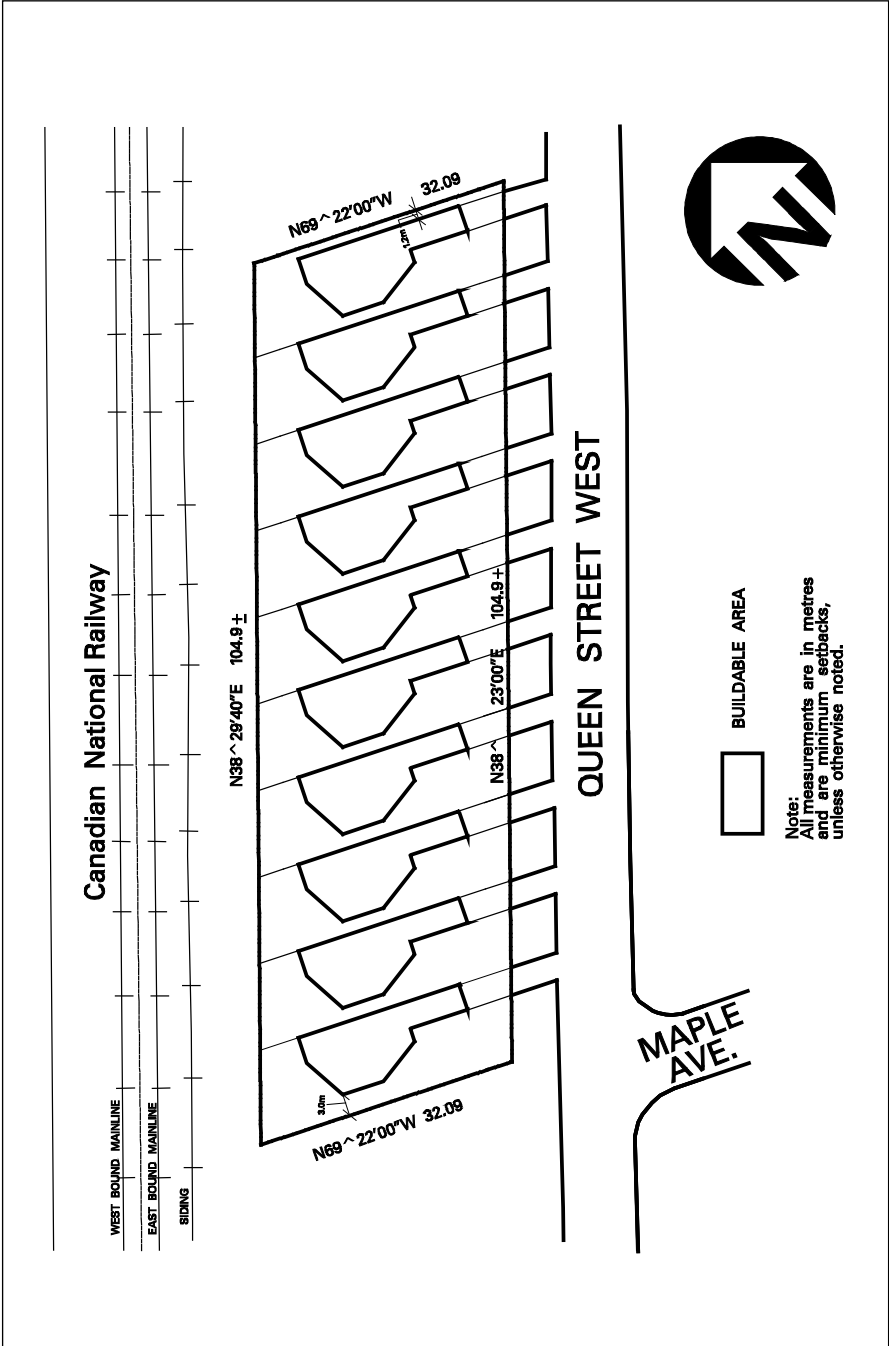
4.2.3.76	Exception: RS-76	Map # 27	By-law: 0048-2025
In a RS-76 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:			
Regulation			
4.2.3.76.1	<i>deleted</i>		
4.2.3.76.2	A detached dwelling shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that: (1) minimum lot frontage 9.0 m		

4.2.3.77	Exception: RS-77	Map # 54W	By-law: 0048-2025
In a RS-77 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:			
Regulations			
4.2.3.77.1	Minimum rear yard where lands abut a B zone		19.0 m
4.2.3.77.2	Minimum setback of all buildings and structures and swimming pools to all lands zoned U-3		13.0 m

4.2.3.78	Exception: RS-78	Map #	By-law: <i>deleted by 0048-2025</i>

4.2.3.79	Exception: RS-79	Map # 55	By-law: 0048-2025
In a RS-79 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:			
Regulation			
4.2.3.79.1	Minimum rear yard where lands abut a B zone		15.0 m

4.2.3.80	Exception: RS-80	Map # 08	By-law: 0048-2025
In a RS-80 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses/regulations shall apply:			
Regulations			
4.2.3.80.1	<i>deleted</i>		
4.2.3.80.2	<i>deleted</i>		
4.2.3.80.3	<i>deleted</i>		
4.2.3.80.4	A detached dwelling shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that: (1) minimum interior side yard - interior lot, unless otherwise identified on Schedule RS-80 of this Exception 1.8 m (2) minimum interior side yard - interior lot, for that part of a lot that adjoins an attached garage, unless otherwise identified on Schedule RS-80 of this Exception 0.0 m (3) minimum rear yard 3.75 m		
4.2.3.80.5	All site development plans shall comply with Schedule RS-80 of this Exception		

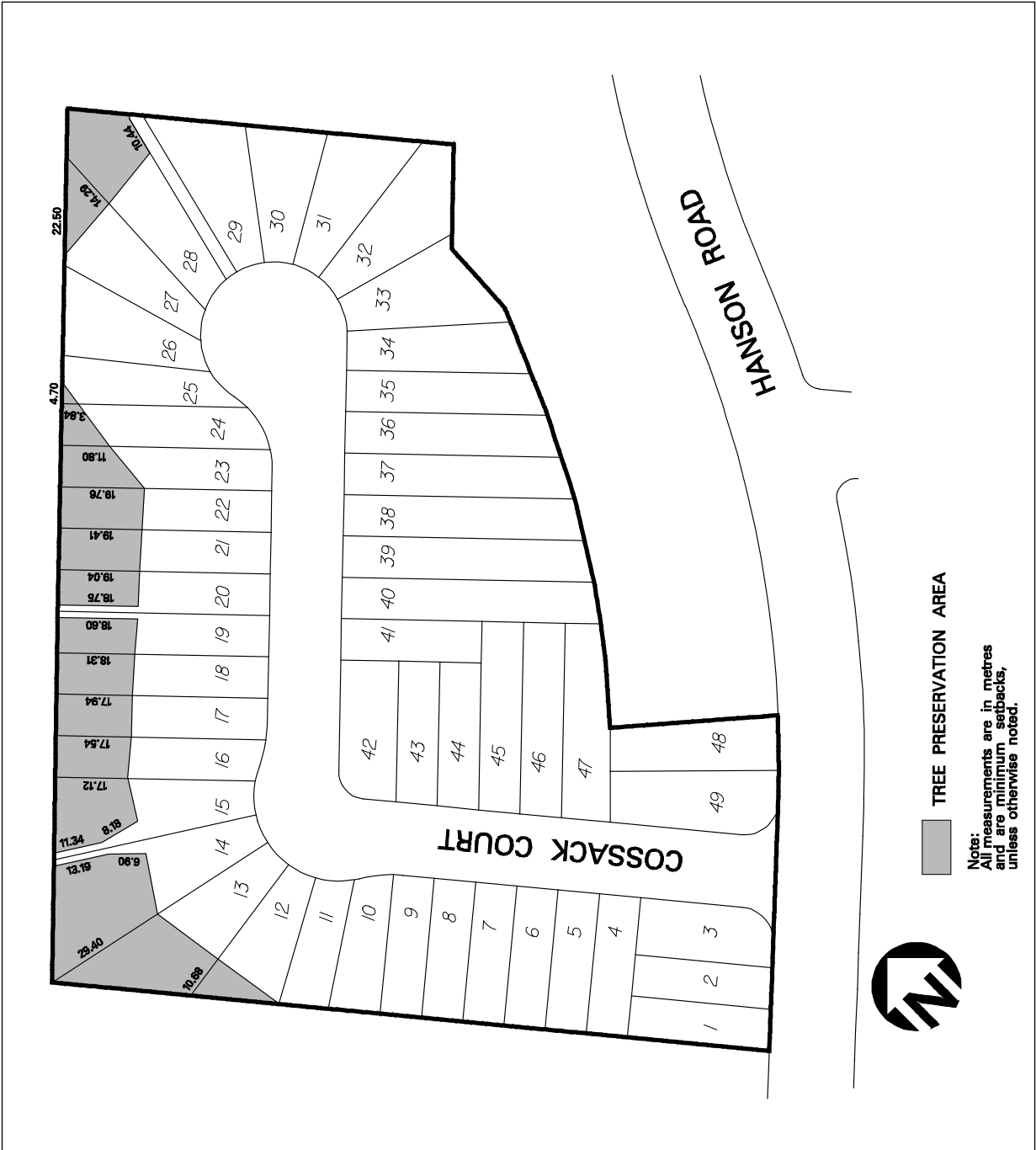


Schedule RS-80
Map 08

4.2.3.81	Exception: RS-81	Map # 56	By-law: 0048-2025
In a RS-81 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:			
Regulations			
4.2.3.81.1	A detached dwelling shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1)	minimum lot frontage - interior lot	4.5 m
	(2)	minimum setback of a detached dwelling to Britannia Road West	13.5 m

4.2.3.82	Exception: RS-82	Map # 36W	By-law: 0048-2025
In a RS-82 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:			
Regulation			
4.2.3.82.1	Minimum rear yard where lands abut an E2-1 zone		15.0 m

4.2.3.83	Exception: RS-83	Map # 56	By-law: 0048-2025
In a RS-83 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:			
Regulations			
4.2.3.83.1	A detached dwelling shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1)	minimum lot area - interior lot	260 m ²
	(2)	minimum lot area - corner lot	305 m ²
	(3)	maximum encroachment of a porch , into the required front and exterior side yards	1.8 m
	(4)	the area of all porches in front and exterior side yards shall be excluded from the calculation of lot coverage	
4.2.3.83.2	<i>deleted</i>		
4.2.3.83.3	<i>deleted</i>		
4.2.3.83.4	<i>deleted</i>		
4.2.3.83.5	<i>deleted</i>		
4.2.3.83.6	<i>deleted</i>		



Schedule RS-85
Map 22

4.2.3.86	Exception: RS-86	Map # 53W	By-law: 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RS-86 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses/regulations shall apply:			
Regulations			
4.2.3.86.1	A detached dwelling shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1) maximum lot coverage		45%
	(2) minimum setback to garage face		4.5 m
	(3) maximum encroachment of a porch into the required front or exterior side yard		1.8 m
	(4) the area of all porches in front and exterior side yards shall be excluded from the calculation of lot coverage		
4.2.3.86.2	<i>deleted</i>		
4.2.3.86.3	<i>deleted</i>		

4.2.3.87	Exception: RS-87	Map # 53W	By-law: 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RS-87 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses/regulations shall apply:			
Regulations			
4.2.3.87.1	A detached dwelling shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1) maximum lot coverage		45%
	(2) minimum setback to garage face		5.5 m
	(3) maximum encroachment of a porch into the required front or exterior side yard		1.8 m
	(4) the area of all porches in front and exterior side yards shall be excluded from the calculation of lot coverage		
4.2.3.87.2	<i>deleted</i>		
4.2.3.87.3	<i>deleted</i>		

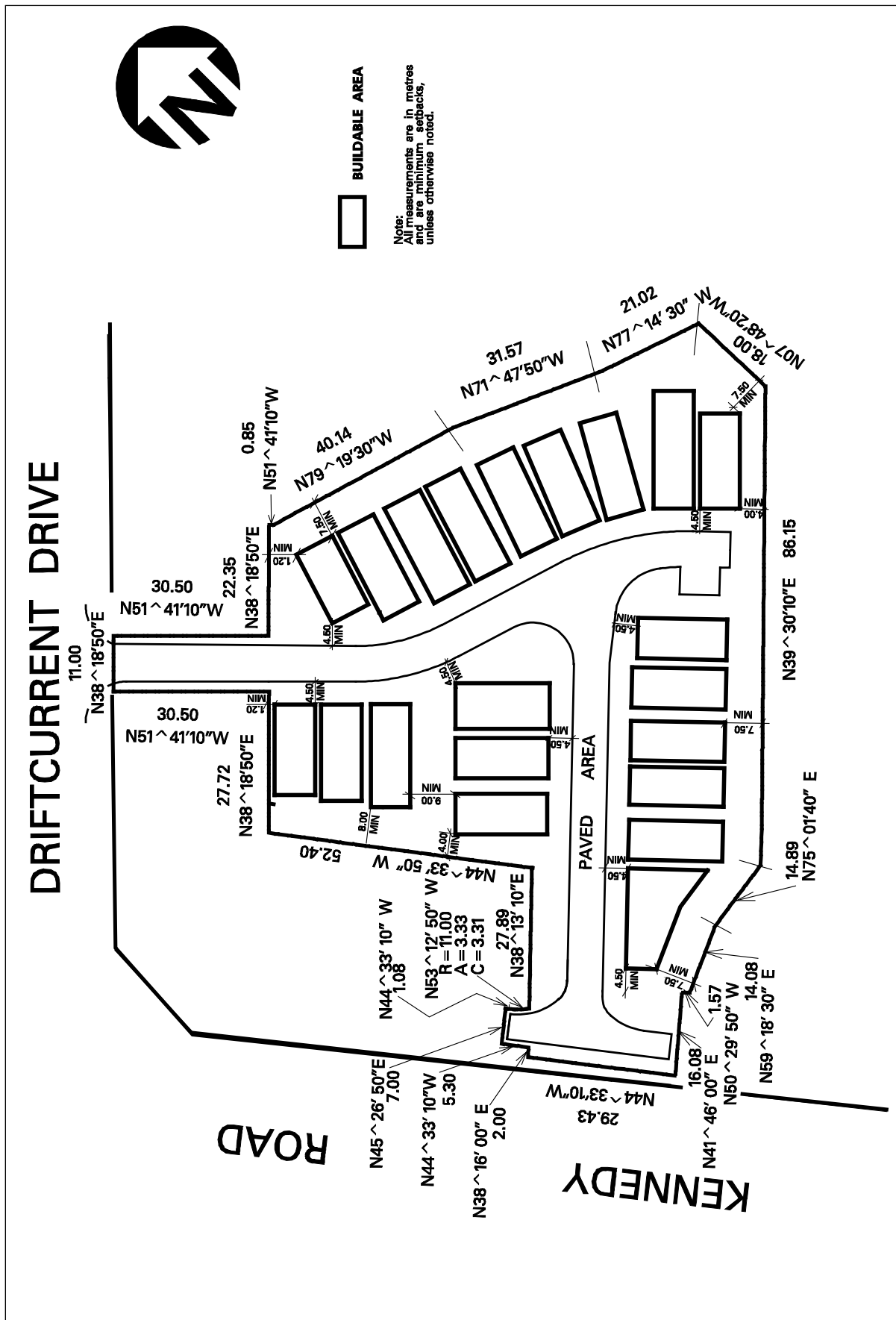
4.2.3.88	Exception: RS-88	Map # 27	By-law: 0048-2025
In a RS-88 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses/regulations shall apply:			
Regulations			
4.2.3.88.1	A detached dwelling shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1) minimum lot frontage - interior lot		9.2 m
	(2) minimum interior side yard		1.2 m
	(3) maximum driveway width		3.8 m
4.2.3.88.2	<i>deleted</i>		

4.2.3.89	Exception: RS-89	Map # 53W	By-law: 0048-2025
In a RS-89 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses/regulations shall apply:			
Regulations			
4.2.3.89.1	A detached dwelling shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1)	maximum lot coverage	45%
	(2)	maximum encroachment of a porch , into the required front or exterior side yard	1.8 m
4.2.3.89.2	<i>deleted</i>		

4.2.3.90	Exception: RS-90	Map # 22	By-law: 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RS-90 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses/regulations shall apply:			
Regulations			
4.2.3.90.1	A detached dwelling shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1)	minimum lot area - interior lot	260 m ²
	(2)	minimum lot area - corner lot	335 m ²
	(3)	maximum lot coverage	45%
	(4)	minimum front yard	3.0 m
	(5)	minimum setback to garage face	7.0 m
	(6)	maximum driveway width	3.8 m
	(7)	maximum encroachment of a porch , into the required front yard	0.65 m
	(8)	maximum encroachment of a bay window into the required exterior side yard	0.5 m
	(9)	the area of all porches in the front yard shall be excluded from the calculation of lot coverage	
4.2.3.90.2	<i>deleted</i>		
4.2.3.90.3	<i>deleted</i>		
4.2.3.90.4	<i>deleted</i>		
4.2.3.90.5	<i>deleted</i>		

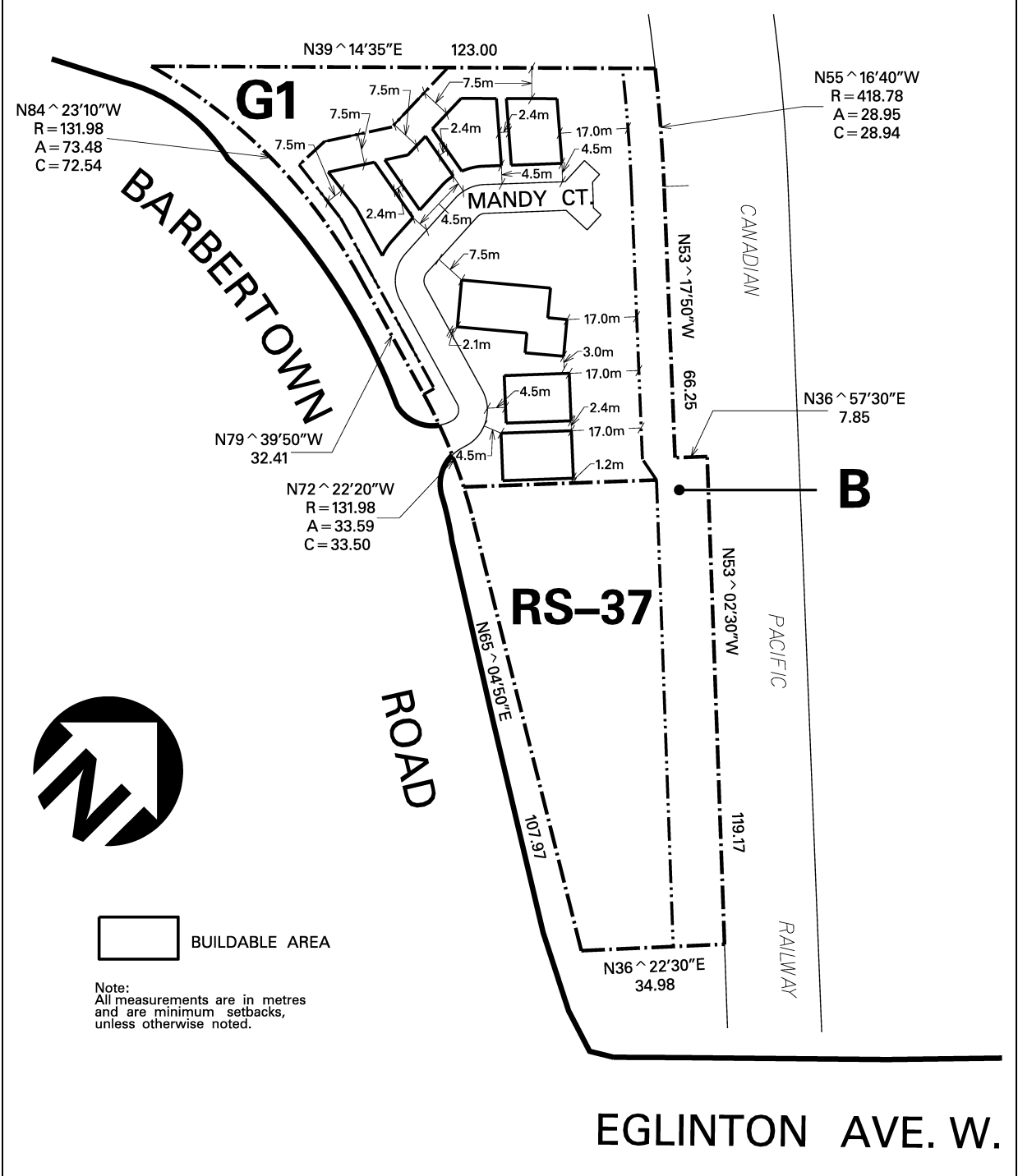
4.2.3.91	Exception: RS-91	Map # 55	By-law: 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RS-91 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:			
Regulations			
4.2.3.91.1	A detached dwelling shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1) minimum lot area - interior lot	280 m ²	
	(2) minimum setback to garage face	7.0 m	
4.2.3.91.2	<i>deleted</i>		
4.2.3.91.3	<i>deleted</i>		
4.2.3.91.4	<i>deleted</i>		

4.2.3.92	Exception: RS-92	Map # 36E	By-law: 0208-2022, 0048-2025
In a RS-92 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:			
Regulations			
4.2.3.92.1	Maximum number of dwelling units on all lands zoned RS-92		21
4.2.3.92.2	Minimum landscaped area		55% of lot area
4.2.3.92.3	Minimum separation between detached dwellings		1.2 m
4.2.3.92.4	Height of all buildings and structures shall be measured from established grade		
4.2.3.92.5	Bay windows are permitted to project beyond the rear wall of a detached dwelling outside the buildable area identified on Schedule RS-92 of this Exception		
4.2.3.92.6	Minimum number of parking spaces per dwelling unit		3
4.2.3.92.7	All site development plans shall comply with Schedule RS-92 of this Exception		



Schedule RS-92
Map 36E

4.2.3.93	Exception: RS-93	Map # 38W	By-law: 0048-2025
In a RS-93 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses/regulations shall apply:			
Regulations			
4.2.3.93.1	A detached dwelling shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that: (1) height of all buildings and structures shall be measured from established grade (2) all site development plans shall comply with Schedule RS-93 of this Exception		



Schedule RS-93
Map 38W

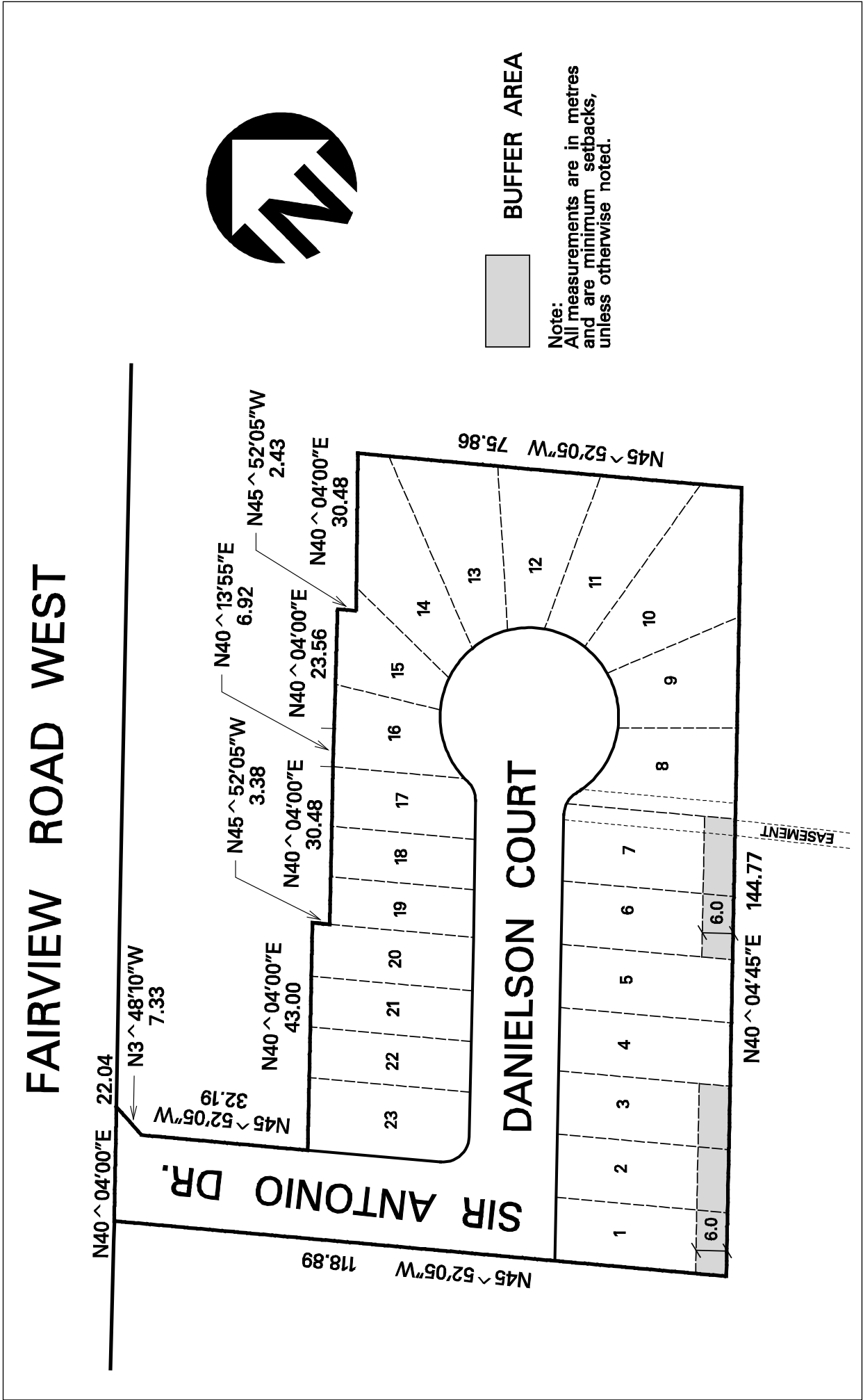
4.2.3.97	Exception: RS-97	Map # 55	By-law: 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RS-97 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:			
Regulations			
4.2.3.97.1	<i>deleted</i>		
4.2.3.97.2	<i>deleted</i>		
4.2.3.97.3	<i>deleted</i>		
4.2.3.97.4	A detached dwelling shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that: (1) maximum lot coverage 45% (2) minimum setback to garage face 4.5 m (3) maximum garage width: measured from the inside face of the garage side walls 6.0 m		
4.2.3.97.5	<i>deleted</i>		
4.2.3.97.6	<i>deleted</i>		

4.2.3.98	Exception: RS-98	Map # 09	By-law: 0048-2025
In a RS-98 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:			
Regulations			
4.2.3.98.1	A detached dwelling shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that: (1) minimum lot area - interior lot 225 m² (2) minimum lot frontage - interior lot 7.5 m (3) maximum gross floor area – residential 0.6 times the lot area		
4.2.3.98.2	<i>deleted</i>		
4.2.3.98.3	<i>deleted</i>		
4.2.3.98.4	<i>deleted</i>		
4.2.3.98.5	<i>deleted</i>		

4.2.3.99	Exception: RS-99	Map # 30	By-law: 0048-2025
In a RS-99 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:			
Additional Permitted Use			
4.2.3.99.1	(1)	Linked Dwelling	
Regulation			
4.2.3.99.2	A linked dwelling shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law		

4.2.3.100	Exception: RS-100	Map # 03	By-law: 0048-2025
In a RS-100 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses/regulations shall apply:			
Additional Permitted Use			
4.2.3.100.1	(1)	Linked Dwelling	
Regulations			
4.2.3.100.2	A detached dwelling shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1)	minimum lot area - interior lot	275 m ²
	(2)	minimum lot frontage - interior lot	9.0 m
	(3)	maximum gross floor area – residential	0.6 times the lot area
4.2.3.100.3	A linked dwelling shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1)	minimum lot area - interior lot	275 m ²
	(2)	minimum lot frontage - interior lot	9.0 m
	(3)	maximum gross floor area - residential	0.6 times the lot area

4.2.3.101	Exception: RS-101	Map # 22	By-law: 0048-2025
In a RS-101 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses/regulations shall apply:			
Regulations			
4.2.3.101.1	A detached dwelling shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1)	minimum lot area - interior lot	270 m ²
	(2)	minimum lot frontage - interior lots containing a buffer area identified on Schedule RS-101 of this Exception	12.2 m
	(3)	minimum setback of a detached dwelling or semi-detached to a buffer area identified on Schedule RS-101 of this Exception	6.0 m
4.2.3.101.2	No buildings or structures, swimming pools , tennis courts or any like recreational facilities, except for fences along the lot lines , shall be permitted within the buffer area identified on Schedule RS-101 of this Exception		



Schedule RS-101
Map 22

4.2.3.102	Exception: RS-102	Map # 56	By-law: <i>deleted by 0137-2013, 0229-2014, 0048-2025</i>
In a RS-102 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses/regulations shall apply:			
Regulations			
4.2.3.102.1	<i>deleted</i>		
4.2.3.102.2	A detached dwelling shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that: (1)maximum lot coverage48% (2)minimum rear yard - interior lot6.5 m (3)maximum encroachment of a porch, exclusive of stairs, into the required front yard2.0 m (4)minimum setback of stairs from the front lot line1.3 m (5)maximum driveway width where the lot frontage is less than 11.0 m3.5 m (6)the area of all porches shall be excluded from the calculation of lot coverage		
4.2.3.102.3	Minimum interior side yard where a lot abuts lands zoned B	3.1 m	
4.2.3.102.4	Maximum encroachment of a building projection not more than 3.0 m wide, consisting of a minimum of 50% windows, into a required interior side yard where a lot abuts lands zoned B	0.61 m	

4.2.3.103	Exception: RS-103	Map # 39E	By-law: 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RS-103 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses/regulations shall apply:			
Regulations			
4.2.3.103.1	<i>deleted</i>		
4.2.3.103.2	Minimum front yard	7.5 m	
4.2.3.103.3	A detached dwelling shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that: (1) minimum rear yard		

4.2.3.104	Exception: RS-104	Map # 06	By-law: 0048-2025
In a RS-104 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses/regulations shall apply:			
Regulation			
4.2.3.104.1	A detached dwelling shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1)	minimum setback of a detached dwelling to the most northerly rear lot line	5.0 m

4.2.3.105	Exception: RS-105	Map # 29	By-law: 0048-2025
In a RS-105 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses/regulations shall apply:			
Regulations			
4.2.3.105.1	A detached dwelling shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1)	maximum lot coverage	45%
	(2)	maximum encroachment of a porch or balcony into a required front, interior or exterior side yard	2.0 m
	(3)	maximum driveway width	6.0 m
	(4)	maximum garage width: measured from the inside face of the garage side walls	5.5 m

4.2.3.106	Exception: RS-106	Map # 29	By-law: 0048-2025
In a RS-106 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses/regulations shall apply:			
Regulations			
4.2.3.106.1	A detached dwelling shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1)	minimum lot area - interior lot	275 m ²
	(2)	minimum lot area - corner lot	365 m ²
	(3)	maximum lot coverage	45%
	(4)	maximum encroachment of a porch or balcony into a required front, interior or exterior side yard	2.0 m
	(5)	maximum driveway width	6.0 m
	(6)	maximum garage width: measured from the inside face of the garage side walls	5.5 m

4.2.3.107	Exception: RS-107	Map # 06	By-law: 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RS-107 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:			
Regulations			
4.2.3.107.1	<i>deleted</i>		
4.2.3.107.2	A detached dwelling shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that: (1) maximum lot coverage		

4.2.3.108	Exception: RS-108	Map # 29	By-law: 0286-2008, 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RS-108 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:			
Regulations			
4.2.3.108.1	The provisions contained in Subsection 2.1.14 of this By-law shall not apply		
4.2.3.108.2	A detached dwelling shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1)	maximum lot coverage	45%
	(2)	minimum setback to garage face	7.0 m
	(3)	minimum setback to Eglinton Avenue West	7.5 m
	(4)	maximum area of a balcony on top of an attached garage	12 m ²
4.2.3.108.3	<i>deleted</i>		

4.2.3.109	Exception: RS-109	Map # 15	By-law: 0389-2009, 0188-2010, 0048-2025									
In a RS-109 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:												
Regulations												
4.2.3.109.1	<i>deleted</i>											
4.2.3.109.2	<i>deleted</i>											
4.2.3.109.3	A detached dwelling shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that: <table><tr><td>(1)</td><td>maximum lot coverage</td><td>49.5%</td></tr><tr><td>(2)</td><td>maximum encroachment of a porch or a deck, located at and accessible from the first storey or below the first storey of the dwelling, inclusive of stairs, into a required front yard</td><td>2.0 m</td></tr><tr><td>(3)</td><td>maximum encroachment of a balcony into a required rear yard</td><td>2.5 m</td></tr></table>			(1)	maximum lot coverage	49.5%	(2)	maximum encroachment of a porch or a deck , located at and accessible from the first storey or below the first storey of the dwelling, inclusive of stairs, into a required front yard	2.0 m	(3)	maximum encroachment of a balcony into a required rear yard	2.5 m
(1)	maximum lot coverage	49.5%										
(2)	maximum encroachment of a porch or a deck , located at and accessible from the first storey or below the first storey of the dwelling, inclusive of stairs, into a required front yard	2.0 m										
(3)	maximum encroachment of a balcony into a required rear yard	2.5 m										
4.2.3.109.4	<i>deleted</i>											
4.2.3.109.5	Minimum interior side yard abutting a RL zone		3.0 m									
4.2.3.109.6	<i>deleted</i>											

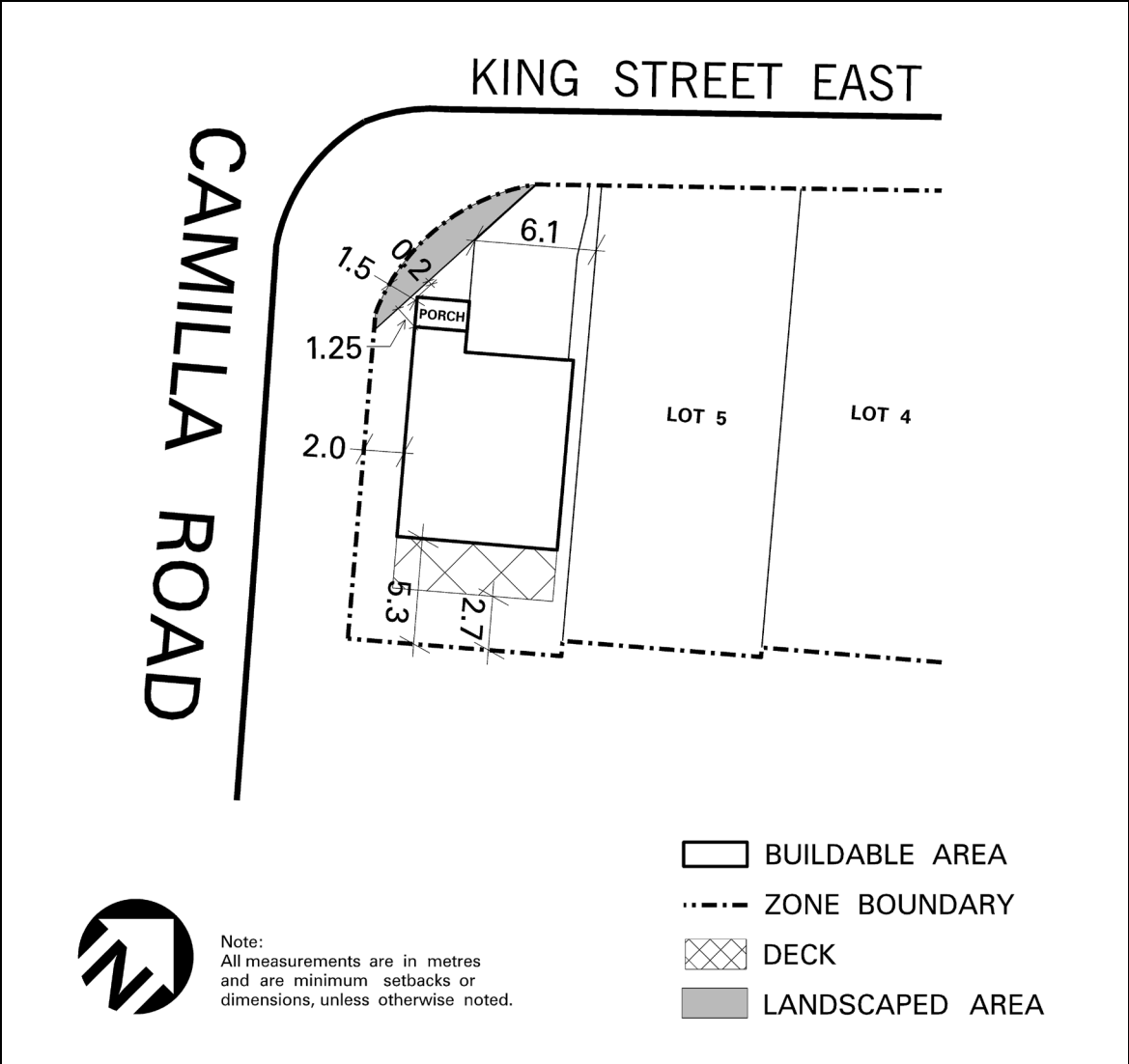
4.2.3.110	Exception: RS-110	Map # 37W	By-law: 0024-2011, 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RS-110 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:			
Regulations			
4.2.3.110.1	<i>deleted</i>		
4.2.3.110.2	<i>deleted</i>		
4.2.3.110.3	<i>deleted</i>		
4.2.3.110.4	<i>deleted</i>		
4.2.3.110.5	A detached dwelling shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that: (1) maximum lot coverage		

4.2.3.111	Exception: RS-111	Map # 06	By-law: OMB Order 2011 September 29, 0048-2025
In a RS-111 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:			
Regulation			
4.2.3.111.1	A detached dwelling shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1) minimum interior side yard - interior lot	1.2 m on one side of the lot and 0.35 m on the other side	

4.2.3.112	Exception: RS-112	Map # 06	By-law: 0148-2015, 0048-2025
In a RS-112 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:			
Regulation			
4.2.3.112.1	<i>deleted</i>		
4.2.3.112.2	Minimum interior side yard where a lot abuts a side lot line of lands zoned RL		2.0 m
4.2.3.112.3	<i>deleted</i>		

4.2.3.113	Exception: RS-113	Map # 20	By-law: LPAT Order 2019 March 26, 0048-2021, 0048-2025
In a RS-113 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:			
Regulations			
4.2.3.113.1	A detached dwelling shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1) minimum interior side yard	1.0 m	
	(2) minimum rear yard	6.0 m	
	(3) maximum encroachment of a porch, deck or balcony into a front yard	1.8 m	
	(4) maximum encroachment of a balcony into a rear yard	1.7 m	

4.2.3.114	Exception: RS-114	Map # 14	By-law: OLT Order 2023 March 07, 0048-2025																								
In a RS-114 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses/regulations shall apply:																											
Regulations																											
4.2.3.114.1	A detached dwelling shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that: <table><tr><td>(1)</td><td>minimum lot area - interior lot</td><td>229 m²</td></tr><tr><td>(2)</td><td>minimum lot area - corner lot</td><td>228 m²</td></tr><tr><td>(3)</td><td>minimum lot frontage</td><td>10.0 m</td></tr><tr><td>(4)</td><td>maximum lot coverage</td><td>45%</td></tr><tr><td>(5)</td><td>minimum rear yard</td><td>6.0 m</td></tr><tr><td>(6)</td><td>maximum encroachment of a porch or deck, inclusive of stairs, located at and accessible from the first storey or below the first storey of the dwelling into the required front yard</td><td>1.5 m</td></tr><tr><td>(7)</td><td>maximum encroachment of a porch or deck, inclusive of stairs, located at and accessible from the first storey or below the first storey of the dwelling into the required rear yard</td><td>3.5 m</td></tr><tr><td>(8)</td><td colspan="2">all site development plans shall comply with Schedule RS-114 of this Exception</td></tr></table>			(1)	minimum lot area - interior lot	229 m ²	(2)	minimum lot area - corner lot	228 m ²	(3)	minimum lot frontage	10.0 m	(4)	maximum lot coverage	45%	(5)	minimum rear yard	6.0 m	(6)	maximum encroachment of a porch or deck , inclusive of stairs, located at and accessible from the first storey or below the first storey of the dwelling into the required front yard	1.5 m	(7)	maximum encroachment of a porch or deck , inclusive of stairs, located at and accessible from the first storey or below the first storey of the dwelling into the required rear yard	3.5 m	(8)	all site development plans shall comply with Schedule RS-114 of this Exception	
(1)	minimum lot area - interior lot	229 m ²																									
(2)	minimum lot area - corner lot	228 m ²																									
(3)	minimum lot frontage	10.0 m																									
(4)	maximum lot coverage	45%																									
(5)	minimum rear yard	6.0 m																									
(6)	maximum encroachment of a porch or deck , inclusive of stairs, located at and accessible from the first storey or below the first storey of the dwelling into the required front yard	1.5 m																									
(7)	maximum encroachment of a porch or deck , inclusive of stairs, located at and accessible from the first storey or below the first storey of the dwelling into the required rear yard	3.5 m																									
(8)	all site development plans shall comply with Schedule RS-114 of this Exception																										
4.2.3.114.2	deleted																										
4.2.3.114.3	deleted																										



Schedule RS-114
Map 14

4.2.3.115	Exception: RS-115	Map # 56	By-law: 0232-2024, 0048-2025
In a RS-115 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:			
Regulations			
4.2.3.115.1	Minimum lot area - corner lot - semi-detached		340 m ²
4.2.3.115.2	<i>deleted</i>		
4.2.3.115.3	<i>deleted</i>		
4.2.3.115.4	<i>deleted</i>		
4.2.3.115.5	<i>deleted</i>		
4.2.3.115.6	Maximum lot coverage - semi-detached		50%
4.2.3.115.7	Minimum exterior side yard - semi-detached		3.0 m
4.2.3.115.8	Minimum rear yard - interior lot/corner lot - semi-detached		6.0 m
4.2.3.115.9	Maximum height - semi-detached		11.0 m

4.2.3.116	Exception: RS-116	Map # 22	By-law: 0218-2014, 0048-2025
In a RS-116 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:			
Regulations			
4.2.3.116.1	Minimum lot area - corner lot that abuts a CEC - road		320 m ²
4.2.3.116.2	Minimum lot frontage - corner lot that abuts a CEC - road		9.4 m
4.2.3.116.3	Minimum exterior side yard - corner lot with an exterior side lot line abutting CEC - road		1.5 m
4.2.3.116.4	Minimum setback of a detached dwelling to a sight triangle		1.8 m
4.2.3.116.5	Minimum setback of a porch to a sight triangle		0.8 m

4.2.3.117	Exception: RS-117	Map # 57, 58	By-law: 0048-2025
In a RS-117 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:			
Regulations			
4.2.3.117.1	<i>deleted</i>		
4.2.3.117.2	<i>deleted</i>		
4.2.3.117.3	<i>deleted</i>		
4.2.3.117.4	<i>deleted</i>		
4.2.3.117.5	<i>deleted</i>		
4.2.3.117.6	Minimum setback of a detached dwelling or semi-detached to all lands zoned U-3		16.0 m
4.2.3.117.7	Maximum driveway width		Lesser of 6.1 m or 50% of the lot frontage
4.2.3.117.8	Maximum garage width: measured from the inside face of the garage side walls		Lesser of 6.1 m or 50% of the lot frontage

4.2.3.118	Exception: RS-118	Map # 28	By-law: 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RS-118 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:			
Regulations			
4.2.3.118.1	The regulations of Lines 9.1 and 9.2 contained in Table 4.2.1 of this By-law shall not apply		
4.2.3.118.2	<i>deleted</i>		
4.2.3.118.3	<i>deleted</i>		
4.2.3.118.4	<i>deleted</i>		
4.2.3.118.5	<i>deleted</i>		
4.2.3.118.6	<i>deleted</i>		
4.2.3.118.7	Minimum setback of a detached dwelling to all lands zoned PB1		18.5 m
4.2.3.118.8	Maximum driveway width		6.0 m
4.2.3.118.9	Maximum garage width: measured from the inside face of the garage side walls		6.0 m

4.2.3.119	Exception: RS-119	Map # 57	By-law: 0048-2025
In a RS-119 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:			
Regulations			
4.2.3.119.1	<i>deleted</i>		
4.2.3.119.2	<i>deleted</i>		
4.2.3.119.3	<i>deleted</i>		
4.2.3.119.4	<i>deleted</i>		
4.2.3.119.5	<i>deleted</i>		
4.2.3.119.6	Minimum setback of a detached dwelling or semi-detached to all lands zoned U-3		14.0 m
4.2.3.119.7	Maximum driveway width		Lesser of 6.1 m or 50% of the lot frontage
4.2.3.119.8	Maximum garage width: measured from the inside face of the garage side walls		Lesser of 6.1 m or 50% of the lot frontage

4.2.3.120	Exception: RS-120	Map # 57	By-law: 0048-2025
In a RS-120 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:			
Regulations			
4.2.3.120.1	<i>deleted</i>		
4.2.3.120.2	<i>deleted</i>		
4.2.3.120.3	<i>deleted</i>		
4.2.3.120.4	<i>deleted</i>		
4.2.3.120.5	<i>deleted</i>		
4.2.3.120.6	Minimum setback of a detached dwelling or semi-detached to all lands zoned U-3		14.0 m
4.2.3.120.7	Maximum driveway width		Lesser of 6.1 m or 50% of the lot frontage
4.2.3.120.8	Maximum garage width: measured from the inside face of the garage side walls		Lesser of 6.1 m or 50% of the lot frontage

4.2.3.121	Exception: RS-121	Map # 57	By-law: 0048-2025
In a RS-121 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:			
Regulations			
4.2.3.121.1	<i>deleted</i>		
4.2.3.121.2	<i>deleted</i>		
4.2.3.121.3	<i>deleted</i>		
4.2.3.121.4	<i>deleted</i>		
4.2.3.121.5	<i>deleted</i>		
4.2.3.121.6	Minimum setback of a detached dwelling or semi-detached to all lands zoned U-3		12.7 m
4.2.3.121.7	Maximum driveway width		Lesser of 6.1 m or 50% of the lot frontage
4.2.3.121.8	Maximum garage width: measured from the inside face of the garage side walls		Lesser of 6.1 m or 50% of the lot frontage

4.2.3.122	Exception: RS-122	Map # 57	By-law: 0048-2025
In a RS-122 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:			
Regulations			
4.2.3.122.1	<i>deleted</i>		
4.2.3.122.2	<i>deleted</i>		
4.2.3.122.3	<i>deleted</i>		
4.2.3.122.4	<i>deleted</i>		
4.2.3.122.5	<i>deleted</i>		
4.2.3.122.6	Minimum setback of a detached dwelling or semi-detached to all lands zoned U-3		12.7 m
4.2.3.122.7	Maximum driveway width		Lesser of 6.1 m or 50% of the lot frontage
4.2.3.122.8	Maximum garage width: measured from the inside face of the garage side walls		Lesser of 6.1 m or 50% of the lot frontage

4.2.3.123	Exception: RS-123	Map # 57	By-law: 0048-2025
In a RS-123 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:			
Regulations			
4.2.3.123.1	<i>deleted</i>		
4.2.3.123.2	<i>deleted</i>		
4.2.3.123.3	<i>deleted</i>		
4.2.3.123.4	<i>deleted</i>		
4.2.3.123.5	<i>deleted</i>		
4.2.3.123.6	Minimum setback of a detached dwelling or semi-detached to all lands zoned U-3		14.9 m
4.2.3.123.7	Maximum driveway width		Lesser of 6.1 m or 50% of the lot frontage
4.2.3.123.8	Maximum garage width: measured from the inside face of the garage side walls		Lesser of 6.1 m or 50% of the lot frontage

4.2.3.124	Exception: RS-124	Map # 57	By-law: 0048-2025
In a RS-124 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:			
Regulations			
4.2.3.124.1	<i>deleted</i>		
4.2.3.124.2	<i>deleted</i>		
4.2.3.124.3	<i>deleted</i>		
4.2.3.124.4	<i>deleted</i>		
4.2.3.124.5	<i>deleted</i>		
4.2.3.124.6	Minimum setback of a detached dwelling or semi-detached to all lands zoned U-3		13.6 m
4.2.3.124.7	Maximum driveway width		Lesser of 6.1 m or 50% of the lot frontage
4.2.3.124.8	Maximum garage width: measured from the inside face of the garage side walls		Lesser of 6.1 m or 50% of the lot frontage

4.2.3.125	Exception: RS-125	Map # 57	By-law: 0048-2025
In a RS-125 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:			
Regulations			
4.2.3.125.1	<i>deleted</i>		
4.2.3.125.2	<i>deleted</i>		
4.2.3.125.3	<i>deleted</i>		
4.2.3.125.4	<i>deleted</i>		
4.2.3.125.5	<i>deleted</i>		
4.2.3.125.6	Minimum setback of a detached dwelling or semi-detached to all lands zoned U-3		16.0 m
4.2.3.125.7	Maximum driveway width		Lesser of 6.1 m or 50% of the lot frontage
4.2.3.125.8	Maximum garage width: measured from the inside face of the garage side walls		Lesser of 6.1 m or 50% of the lot frontage

4.2.3.126	Exception: RS-126	Map # 57	By-law: 0048-2025
In a RS-126 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:			
Regulation			
4.2.3.126.1	A detached dwelling shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1) minimum rear yard	6.86 m	

4.2.3.127	Exception: RS-127	Map # 57	By-law: 0048-2025
In a RS-127 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:			
Regulations			
4.2.3.127.1	<i>deleted</i>		
4.2.3.127.2	<i>deleted</i>		
4.2.3.127.3	<i>deleted</i>		
4.2.3.127.4	<i>deleted</i>		
4.2.3.127.5	A detached dwelling shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1) minimum rear yard	6.3 m	
4.2.3.127.6	Minimum setback of a detached dwelling or semi-detached to all lands zoned U-3		14.0 m
4.2.3.127.7	Maximum driveway width		Lesser of 6.1 m or 50% of the lot frontage
4.2.3.127.8	Maximum garage width: measured from the inside face of the garage side walls		Lesser of 6.1 m or 50% of the lot frontage

4.2.3.128	Exception: RS-128	Map # 57	By-law: 0048-2025
In a RS-128 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:			
Regulations			
4.2.3.128.1	<i>deleted</i>		
4.2.3.128.2	<i>deleted</i>		
4.2.3.128.3	<i>deleted</i>		
4.2.3.128.4	<i>deleted</i>		
4.2.3.128.5	A detached dwelling shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1) minimum rear yard	6.01 m	
4.2.3.128.6	Minimum setback of a detached dwelling or semi-detached to all lands zoned U-3	14.0 m	
4.2.3.128.7	Maximum driveway width	Lesser of 6.1 m or 50% of the lot frontage	
4.2.3.128.8	Maximum garage width: measured from the inside face of the garage side walls	Lesser of 6.1 m or 50% of the lot frontage	

4.2.3.129	Exception: RS-129	Map # 57	By-law: 0048-2025
In a RS-129 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:			
Regulations			
4.2.3.129.1	<i>deleted</i>		
4.2.3.129.2	<i>deleted</i>		
4.2.3.129.3	<i>deleted</i>		
4.2.3.129.4	<i>deleted</i>		
4.2.3.129.5	A detached dwelling shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1) minimum rear yard	5.77 m	
4.2.3.129.6	Minimum setback of a detached dwelling or semi-detached to all lands zoned U-3	14.0 m	
4.2.3.129.7	Maximum driveway width	Lesser of 6.1 m or 50% of the lot frontage	
4.2.3.129.8	Maximum garage width: measured from the inside face of the garage side walls	Lesser of 6.1 m or 50% of the lot frontage	

4.2.3.130	Exception: RS-130	Map # 57	By-law: 0048-2025
In a RS-130 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:			
Regulations			
4.2.3.130.1	<i>deleted</i>		
4.2.3.130.2	<i>deleted</i>		
4.2.3.130.3	<i>deleted</i>		
4.2.3.130.4	<i>deleted</i>		
4.2.3.130.5	A detached dwelling shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1) minimum rear yard	6.22 m	
4.2.3.130.6	Minimum setback of a detached dwelling or semi-detached to all lands zoned U-3	14.0 m	
4.2.3.130.7	Maximum driveway width	Lesser of 6.1 m or 50% of the lot frontage	
4.2.3.130.8	Maximum garage width: measured from the inside face of the garage side walls	Lesser of 6.1 m or 50% of the lot frontage	

4.2.3.131	Exception: RS-131	Map # 57	By-law: 0048-2025
In a RS-131 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:			
Regulations			
4.2.3.131.1	<i>deleted</i>		
4.2.3.131.2	<i>deleted</i>		
4.2.3.131.3	<i>deleted</i>		
4.2.3.131.4	<i>deleted</i>		
4.2.3.131.5	A detached dwelling shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1) minimum rear yard	6.73 m	
4.2.3.131.6	Minimum setback of a detached dwelling or semi-detached to all lands zoned U-3	14.0 m	
4.2.3.131.7	Maximum driveway width	Lesser of 6.1 m or 50% of the lot frontage	
4.2.3.131.8	Maximum garage width: measured from the inside face of the garage side walls	Lesser of 6.1 m or 50% of the lot frontage	

4.2.3.132	Exception: RS-132	Map # 57	By-law: 0048-2025
In a RS-132 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses/regulations shall apply:			
Regulations			
4.2.3.132.1	<i>deleted</i>		
4.2.3.132.2	<i>deleted</i>		
4.2.3.132.3	<i>deleted</i>		
4.2.3.132.4	<i>deleted</i>		
4.2.3.132.5	A detached dwelling shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1) minimum rear yard	6.57 m	
4.2.3.132.6	Minimum setback of a detached dwelling or semi-detached to all lands zoned U-3		14.0 m
4.2.3.132.7	Maximum driveway width		Lesser of 6.1 m or 50% of the lot frontage
4.2.3.132.8	Maximum garage width: measured from the inside face of the garage side walls		Lesser of 6.1 m or 50% of the lot frontage

4.2.3.133	Exception: RS-133	Map # 30	By-law: 0184-2008, 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RS-133 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses/regulations shall apply:			
Regulations			
4.2.3.133.1	<i>deleted</i>		
4.2.3.133.2	<i>deleted</i>		
4.2.3.133.3	<i>deleted</i>		
4.2.3.133.4	<i>deleted</i>		
4.2.3.133.5	<i>deleted</i>		
4.2.3.133.6	A detached dwelling shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that: (1) minimum rear yard - interior lot		

4.2.3.134	Exception: RS-134	Map # 57	By-law: 0077-2012, 0048-2025
In a RS-134 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses/regulations shall apply:			
Additional Permitted Use			
4.2.3.134.1	(1) A detached dwelling with one second unit		
Regulations			
4.2.3.134.2	deleted		
4.2.3.134.3	deleted		
4.2.3.134.4	Minimum rear yard - interior lot for a one storey detached dwelling	6.0 m	
4.2.3.134.5	Maximum driveway width	46.5% of the lot frontage	
4.2.3.134.6	Maximum garage width: measured from the inside face of the garage side walls	46.5% of the lot frontage	
4.2.3.134.7	Minimum setback of stairs from the front and exterior side lot lines	1.0 m	
4.2.3.134.8	A detached dwelling with a second unit shall also comply with the following: (1) the provisions contained in Articles 4.1.1.1 and 4.1.1.3 of this By-law shall not apply (2) notwithstanding the provisions contained in Article 4.1.5.8 of this By-law, stairs, stairwells or retaining walls, to facilitate an entrance located below grade at any point, or to facilitate a direct entrance only to the basement , shall be permitted to encroach into the required rear yard (3) minimum gross floor area - residential of a second unit 32.5 m ² (4) not more than one pedestrian entrance to a detached dwelling shall face a street (5) an entrance to a second unit shall not be located within an attached garage (6) in addition to the required number of parking spaces for a detached dwelling , one additional parking space shall be required for a second unit (7) a lot with a second unit shall have one and not more than one driveway (8) "Second Unit" means a self-contained dwelling unit within a detached dwelling with its own kitchen, sanitary facilities, bedroom(s)/sleeping area and entrance.		

4.2.3.135	Exception: RS-135	Map # 57	By-law: 0048-2025
In a RS-135 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses/regulations shall apply:			
Regulation			
4.2.3.135.1	Maximum garage width: measured from the inside face of the garage side walls - lots with lot frontage of 12.5 m or greater	Lesser of 6.1 m or 45% of the lot frontage	

4.2.3.136	Exception: RS-136	Map # 44W	By-law: 0048-2025
In a RS-136 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:			
Regulations			
4.2.3.136.1	<i>deleted</i>		
4.2.3.136.2	A detached dwelling shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1) minimum lot area - interior lot	280 m ²	
4.2.3.136.3	<i>deleted</i>		
4.2.3.136.4	Maximum driveway width	3.8 m	
4.2.3.136.5	Maximum garage width: measured from the inside face of the garage side walls	3.8 m	

4.2.3.137	Exception: RS-137	Map # 28	By-law: 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RS-137 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:			
Regulations			
4.2.3.137.1	<i>deleted</i>		
4.2.3.137.2	A detached dwelling shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1) minimum lot area - interior lot	280 m ²	
	(2) minimum lot area - corner lot	335 m ²	
4.2.3.137.3	<i>deleted</i>		
4.2.3.137.4	<i>deleted</i>		
4.2.3.137.5	<i>deleted</i>		
4.2.3.137.6	Minimum setback of a detached dwelling or semi-detached to all lands zoned PB1	18.5 m	
4.2.3.137.7	Maximum driveway width - interior lot	4.3 m	
4.2.3.137.8	Maximum driveway width - corner lot	4.7 m	
4.2.3.137.9	Maximum garage width: measured from the inside face of the garage side walls	3.8 m	

4.2.3.138	Exception: RS-138	Map # 28	By-law: 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RS-138 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:			
Regulations			
4.2.3.138.1	<i>deleted</i>		
4.2.3.138.2	A detached dwelling shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1) minimum lot area - interior lot	280 m ²	
	(2) minimum lot area - corner lot	335 m ²	
4.2.3.138.3	<i>deleted</i>		
4.2.3.138.4	<i>deleted</i>		
4.2.3.138.5	<i>deleted</i>		
4.2.3.138.6	Minimum setback of a detached dwelling or semi-detached to all lands zoned PB1	18.5 m	
4.2.3.138.7	Maximum driveway width - interior lot	4.3 m	
4.2.3.138.8	Maximum driveway width - corner lot	4.7 m	
4.2.3.138.9	Maximum garage width: measured from the inside face of the garage side walls	3.8 m	

4.2.3.139	Exception: RS-139	Map # 57	By-law: 0449-2007, 0048-2025
In a RS-139 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:			
Regulations			
4.2.3.139.1	<i>deleted</i>		
4.2.3.139.2	<i>deleted</i>		
4.2.3.139.3	<i>deleted</i>		
4.2.3.139.4	<i>deleted</i>		
4.2.3.139.5	<i>deleted</i>		
4.2.3.139.6	Maximum driveway width		6.5 m
4.2.3.139.7	Maximum garage width: measured from the inside face of the garage side walls		5.5 m

4.2.3.140	Exception: RS-140	Map # 57, 58	By-law: 0048-2025
In a RS-140 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:			
Regulations			
4.2.3.140.1	A detached dwelling shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1) minimum lot area - interior lot		275 m ²
4.2.3.140.2	<i>deleted</i>		
4.2.3.140.3	<i>deleted</i>		
4.2.3.140.4	<i>deleted</i>		
4.2.3.140.5	Minimum setback of a detached dwelling or semi-detached to all lands zoned U-3		11.0 m
4.2.3.140.6	<i>deleted</i>		
4.2.3.140.7	Maximum driveway width		6.5 m
4.2.3.140.8	Maximum garage width: measured from the inside face of the garage side walls		5.5 m

4.2.3.141	Exception: RS-141	Map # 56	By-law: 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RS-141 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:			
Regulations			
4.2.3.141.1	<i>deleted</i>		
4.2.3.141.2	A detached dwelling shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1) minimum lot area - corner lot		365 m ²
4.2.3.141.3	<i>deleted</i>		
4.2.3.141.4	<i>deleted</i>		
4.2.3.141.5	<i>deleted</i>		
4.2.3.141.6	Maximum driveway width		6.0 m
4.2.3.141.7	Maximum garage width: measured from the inside face of the garage side walls		5.7 m
4.2.3.141.8	Minimum number of parking spaces		3

4.2.3.142	Exception: RS-142	Map # 56	By-law: 0048-2025
In a RS-142 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:			
Regulations			
4.2.3.142.1	<i>deleted</i>		
4.2.3.142.2	A detached dwelling shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1) minimum lot area - corner lot	365 m ²	
4.2.3.142.3	<i>deleted</i>		
4.2.3.142.4	<i>deleted</i>		
4.2.3.142.5	Minimum interior side yard where side lot line abuts a G1 zone	3.0 m	
4.2.3.142.6	Maximum driveway width	6.0 m	
4.2.3.142.7	Maximum garage width: measured from the inside face of the garage side walls	5.7 m	
4.2.3.142.8	Minimum number of parking spaces	3	

4.2.3.143	Exception: RS-143	Map # 38E	By-law: 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RS-143 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:			
Regulations			
4.2.3.143.1	<i>deleted</i>		
4.2.3.143.2	A detached dwelling shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that: (1) maximum lot coverage		

4.2.3.144	Exception: RS-144	Map # 38E	By-law: 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RS-144 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:			
Regulations			
4.2.3.144.1	<i>deleted</i>		
4.2.3.144.2	Maximum lot coverage	45%	
4.2.3.144.3	<i>deleted</i>		
4.2.3.144.4	<i>deleted</i>		
4.2.3.144.5	<i>deleted</i>		
4.2.3.144.6	<i>deleted</i>		
4.2.3.144.7	<i>deleted</i>		
4.2.3.144.8	<i>deleted</i>		
4.2.3.144.9	<i>deleted</i>		
4.2.3.144.10	<i>deleted</i>		
4.2.3.144.11	Maximum driveway width	6.0 m	
4.2.3.144.12	Maximum garage width: measured from the inside face of the garage side walls	6.0 m	

4.2.3.145	Exception: RS-145	Map # 30	By-law: 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RS-145 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:			
Regulations			
4.2.3.145.1	<i>deleted</i>		
4.2.3.145.2	<i>deleted</i>		
4.2.3.145.3	<i>deleted</i>		
4.2.3.145.4	<i>deleted</i>		
4.2.3.145.5	<i>deleted</i>		
4.2.3.145.6	<i>deleted</i>		
4.2.3.145.7	<i>deleted</i>		
4.2.3.145.8	<i>deleted</i>		
4.2.3.145.9	Maximum driveway width	5.5 m	
4.2.3.145.10	Maximum garage width: measured from the inside face of the garage side walls	5.5 m	

4.2.3.146	Exception: RS-146	Map # 30	By-law: 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RS-146 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:			
Regulations			
4.2.3.146.1	<i>deleted</i>		
4.2.3.146.2	<i>deleted</i>		
4.2.3.146.3	<i>deleted</i>		
4.2.3.146.4	<i>deleted</i>		
4.2.3.146.5	<i>deleted</i>		
4.2.3.146.6	<i>deleted</i>		
4.2.3.146.7	<i>deleted</i>		
4.2.3.146.8	<i>deleted</i>		
4.2.3.146.9	Maximum driveway width	6.5 m	
4.2.3.146.10	Maximum garage width: measured from the inside face of the garage side walls	5.5 m	

4.2.3.147	Exception: RS-147	Map # 57	By-law: 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RS-147 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:			
Regulations			
4.2.3.147.1	A detached dwelling shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1)	minimum lot area - interior lot	275 m ²
	(2)	minimum setback to garage face	4.0 m
4.2.3.147.2	<i>deleted</i>		
4.2.3.147.3	<i>deleted</i>		
4.2.3.147.4	<i>deleted</i>		
4.2.3.147.5	<i>deleted</i>		
4.2.3.147.6	Maximum driveway width		6.5 m
4.2.3.147.7	Maximum garage width: measured from the inside face of the garage side walls		5.5 m

4.2.3.148	Exception: RS-148	Map # 57	By-law: 0048-2025
In a RS-148 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:			
Regulations			
4.2.3.148.1	The regulations of Lines 9.1 and 9.2 contained in Table 4.2.1 of this By-law shall not apply		
4.2.3.148.2	A detached dwelling shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1) minimum lot area - interior lot	275 m ²	
4.2.3.148.3	<i>deleted</i>		
4.2.3.148.4	<i>deleted</i>		
4.2.3.148.5	<i>deleted</i>		
4.2.3.148.6	Minimum setback of a detached garage to a rear lot line	0.5 m	
4.2.3.148.7	Minimum distance between a detached garage and a detached dwelling on the same lot	6.0 m	
4.2.3.148.8	Minimum setback of a detached garage located in a rear yard to a side lot line	0.85 m on one side and 0.0 m on the other side	
4.2.3.148.9	Maximum driveway width	6.5 m	
4.2.3.148.10	Maximum garage width: measured from the inside face of the garage side walls	5.5 m	
4.2.3.148.11	The lot line abutting a street with a width of 17.0 m or greater shall be deemed to be the front lot line		
4.2.3.148.12	A detached garage in the rear yard shall be provided		

4.2.3.149	Exception: RS-149	Map # 58	By-law: 0048-2025
In a RS-149 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:			
Regulations			
4.2.3.149.1	<i>deleted</i>		
4.2.3.149.2	<i>deleted</i>		
4.2.3.149.3	<i>deleted</i>		
4.2.3.149.4	<i>deleted</i>		
4.2.3.149.5	<i>deleted</i>		
4.2.3.149.6	Minimum setback of a detached dwelling or semi-detached to all lands zoned U-3		16.0 m
4.2.3.149.7	Maximum driveway width		6.5 m
4.2.3.149.8	Maximum garage width: measured from the inside face of the garage side walls		5.5 m

4.2.3.150	Exception: RS-150	Map # 44W	By-law: 0048-2025
In a RS-150 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:			
Regulations			
4.2.3.150.1	<i>deleted</i>		
4.2.3.150.2	<i>deleted</i>		
4.2.3.150.3	<i>deleted</i>		
4.2.3.150.4	<i>deleted</i>		
4.2.3.150.5	<i>deleted</i>		
4.2.3.150.6	Maximum driveway width	5.5 m	
4.2.3.150.7	Maximum garage width: measured from the inside face of the garage side walls	5.5 m	

4.2.3.151	Exception: RS-151	Map # 57	By-law: 0325-2008, 0048-2025
In a RS-151 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:			
Regulations			
4.2.3.151.1	<i>deleted</i>		
4.2.3.151.2	<i>deleted</i>		
4.2.3.151.3	<i>deleted</i>		
4.2.3.151.4	<i>deleted</i>		
4.2.3.151.5	<i>deleted</i>		
4.2.3.151.6	Minimum setback of a detached dwelling or semi-detached to all lands zoned U-3	14.9 m	
4.2.3.151.7	Maximum driveway width	6.5 m	
4.2.3.151.8	Minimum garage width: measured from the inside face of the garage side walls	5.5 m	

4.2.3.152	Exception: RS-152	Map # 57	By-law: 0048-2025
In a RS-152 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:			
Regulations			
4.2.3.152.1	<i>deleted</i>		
4.2.3.152.2	<i>deleted</i>		
4.2.3.152.3	<i>deleted</i>		
4.2.3.152.4	<i>deleted</i>		
4.2.3.152.5	<i>deleted</i>		
4.2.3.152.6	Minimum setback of a detached dwelling or semi-detached to all lands zoned U-3	13.2 m	
4.2.3.152.7	Minimum driveway width	6.5 m	
4.2.3.152.8	Minimum garage width: measured from the inside face of the garage side walls	5.5 m	

4.2.3.153	Exception: RS-153	Map # 57	By-law: 0048-2025
In a RS-153 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:			
Regulations			
4.2.3.153.1	<i>deleted</i>		
4.2.3.153.2	<i>deleted</i>		
4.2.3.153.3	<i>deleted</i>		
4.2.3.153.4	<i>deleted</i>		
4.2.3.153.5	A detached dwelling shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1) minimum rear yard	4.9 m	
4.2.3.153.6	Maximum driveway width	6.5 m	
4.2.3.153.7	Maximum garage width: measured from the inside face of the garage side walls	5.5 m	

4.2.3.154	Exception: RS-154	Map # 57	By-law: 0048-2025
In a RS-154 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:			
Regulations			
4.2.3.154.1	<i>deleted</i>		
4.2.3.154.2	<i>deleted</i>		
4.2.3.154.3	<i>deleted</i>		
4.2.3.154.4	<i>deleted</i>		
4.2.3.154.5	A detached dwelling shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1) minimum rear yard	6.18 m	
4.2.3.154.6	Maximum driveway width	6.5 m	
4.2.3.154.7	Maximum garage width: measured from the inside face of the garage side walls	5.5 m	

4.2.3.155	Exception: RS-155	Map # 57	By-law: 0048-2025
In a RS-155 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:			
Regulations			
4.2.3.155.1	<i>deleted</i>		
4.2.3.155.2	<i>deleted</i>		
4.2.3.155.3	<i>deleted</i>		
4.2.3.155.4	<i>deleted</i>		
4.2.3.155.5	<i>deleted</i>		
4.2.3.155.6	Maximum driveway width	6.5 m	
4.2.3.155.7	Maximum garage width: measured from the inside face of the garage side walls	5.5 m	

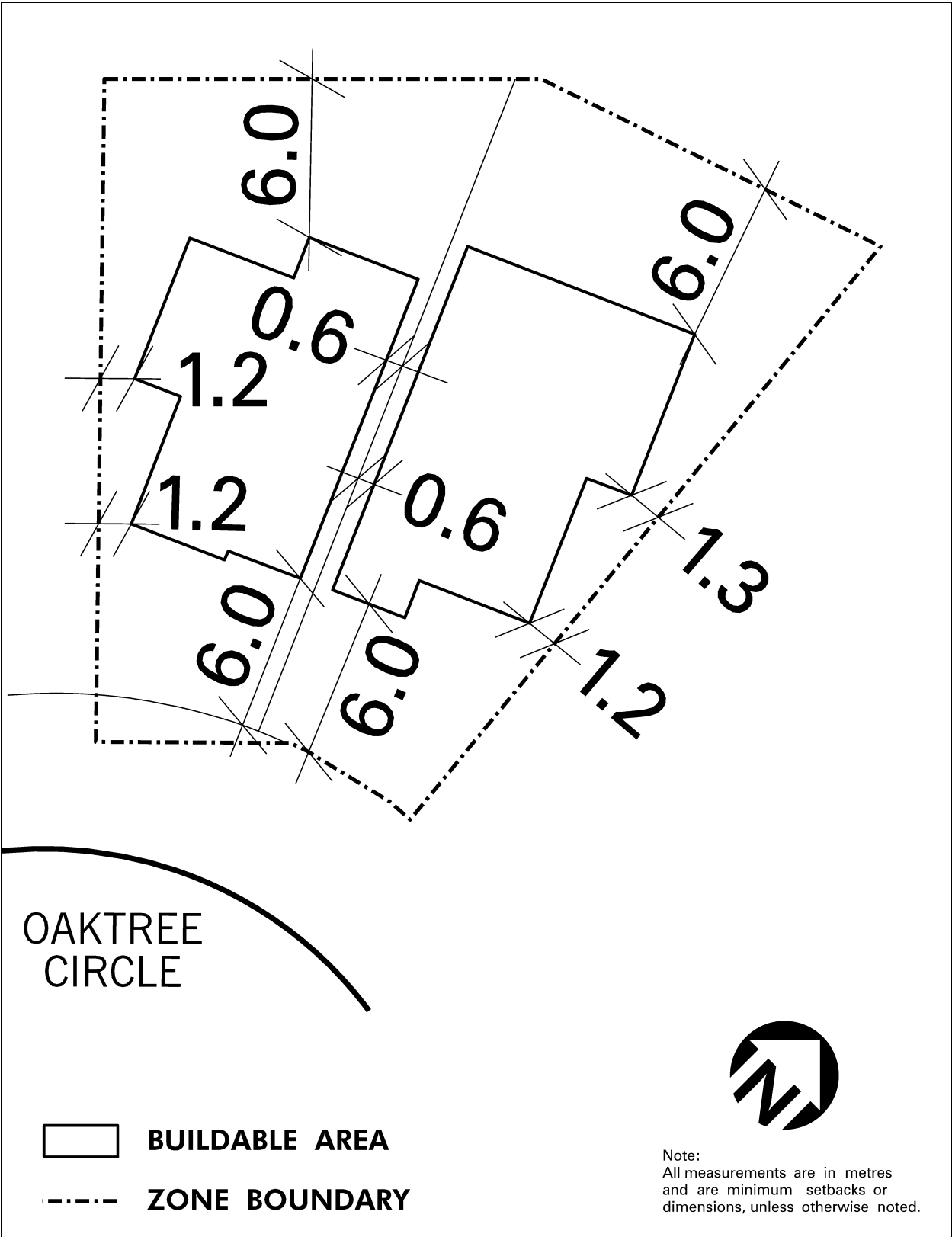
4.2.3.156	Exception: RS-156	Map # 57	By-law: 0048-2025
In a RS-156 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:			
Regulations			
4.2.3.156.1	<i>deleted</i>		
4.2.3.156.2	<i>deleted</i>		
4.2.3.156.3	<i>deleted</i>		
4.2.3.156.4	<i>deleted</i>		
4.2.3.156.5	A detached dwelling shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1) minimum rear yard	6.4 m	
4.2.3.156.6	Maximum driveway width	6.5 m	
4.2.3.156.7	Maximum garage width: measured from the inside face of the garage side walls	5.5 m	

4.2.3.157	Exception: RS-157	Map # 57	By-law: 0048-2025
In a RS-157 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:			
Regulations			
4.2.3.157.1	<i>deleted</i>		
4.2.3.157.2	<i>deleted</i>		
4.2.3.157.3	<i>deleted</i>		
4.2.3.157.4	<i>deleted</i>		
4.2.3.157.5	<i>deleted</i>		
4.2.3.157.6	Maximum driveway width	6.5 m	
4.2.3.157.7	Maximum garage width: measured from the inside face of the garage side walls	5.5 m	

4.2.3.158	Exception: RS-158	Map # 57	By-law: 0055-2012, 0067-2014, 0048-2025
In a RS-158 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:			
Regulations			
4.2.3.158.1	<i>deleted</i>		
4.2.3.158.2	Minimum rear yard where the rear lot line abuts an 8.0 m public lane	6.0 m	
4.2.3.158.3	Maximum garage width: measured from the inside face of the garage side walls	5.7 m	
4.2.3.158.4	Minimum setback of stairs from the front and exterior side lot lines	1.0 m	

4.2.3.159	Exception: RS-159	Map # 56	By-law: 0114-2015, 0048-2025
In a RS-159 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:			
Regulations			
4.2.3.159.1	A detached dwelling shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1)	minimum lot area - interior lot	279 m ²
	(2)	minimum interior side yard where a side lot line abuts a B zone	2.0 m
	(3)	minimum rear yard where a lot abuts a B zone	6.5 m
	(4)	maximum height from average grade to lower edge of eaves where a lot abuts lands zoned RS-142	6.0 m
4.2.3.159.2	<i>deleted</i>		
4.2.3.159.3	<i>deleted</i>		
4.2.3.159.4	<i>deleted</i>		
4.2.3.159.5	Maximum gross floor area - residential of third storey where a lot abuts lands zoned RS-142		88 m ²
4.2.3.159.6	Maximum driveway width		5.4 m
4.2.3.159.7	Maximum garage width: measured from the inside face of the garage side walls		6.0 m

4.2.3.160	Exception: RS-160	Map 44E	By-law: 0105-2024, 0048-2025
In a RS-160 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:			
Regulations			
4.2.3.160.1	A detached dwelling shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1)	minimum lot area - interior lot	215 m ²
	(2)	minimum lot frontage - interior lot	9.1 m
4.2.3.160.2	All site development plans shall comply with Schedule RS-160 of this Exception		
Holding Provision			
	The holding symbol H is to be removed from the whole or any part of the lands zoned H-RS-160 by further amendment to Map 44E of Schedule B contained in Part 13 of this By-law, as amended, upon satisfaction of the following requirements: (1) delivery of an executed Development Agreement with Municipal and Regional Infrastructure Schedules in a form and on terms satisfactory to The Corporation of the City of Mississauga ("City"); (2) submission of a Draft Reference Plan illustrating the required land dedications, conveyances, and easements including part block numbers, to the satisfaction of the City and the Region of Peel ("Region"); (3) gratuitous dedication of lands to achieve the ultimate 50.5 m right-of-way of Regional Road 5 (Derry Road West), as well as a 0.3 m reserve, to the satisfaction of the Region; (4) submission of a revised Functional Servicing and Stormwater Management Report to the satisfaction of the City's Transportation and Works Department and the Region; (5) submission of a revised Traffic Impact Study (TIS) to the satisfaction of the City's Transportation and Works Department, Municipal Parking Section, and the Region; (6) submission of a detailed engineering submission for the road and access works impacting Derry Road West, to the satisfaction of the Region; (7) submission of revised Grading and Servicing Plans to the satisfaction of the City's Transportation and Works and Planning and Building Departments; (8) submission of a revised Noise Feasibility Study to the satisfaction of the City's Planning and Building Department; (9) submission of a revised Phase One and Phase Two Environmental Site Assessment, Storm Sewer Use By-law Acknowledgment and related documents required for environmental compliance to the satisfaction of the City's Transportation and Works Department; (10) submission of a revised Tree Inventory/Survey, Tree Preservation Plan, and Arborist Report to the satisfaction of the City's Planning and Building Department.		



Schedule RS-160
Map 44E

4.2.3.161	Exception: RS-161	Map # 44W	By-law: 0048-2025
In a RS-161 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:			
Regulation			
4.2.3.161.1	Minimum rear yard abutting the G2-1 zone		15.0 m

4.2.3.162	Exception: RS-162	Map # 52E	By-law: 0048-2025
In a RS-162 zone the applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:			
Permitted Use			
4.2.3.162.1	Lands zoned RS-162 shall only be used for the following:		
	(1) A place of religious assembly and support facilities		
Regulations			
4.2.3.162.2	The provisions contained in Article 2.1.9.3 and Subsection 4.2.1 of this By-law shall not apply		
4.2.3.162.3	Minimum front yard - interior lot	56.0 m	
4.2.3.162.4	Minimum interior side yard - interior lot	23.0 m	
4.2.3.162.5	Minimum setback of all buildings and structures and parking to all lands zoned G2-1	5.0 m	
4.2.3.162.6	Maximum height	22.0 m	
4.2.3.162.7	Maximum height : spire	30.0 m	
4.2.3.162.8	"Support Facilities" means a building or structure or part thereof used for administrative offices, private school and a community room accessory to the place of religious assembly		

4.2.3.163	Exception: RS-163	Map # 44W	By-law: 0048-2025
In a RS-163 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:			
Regulations			
4.2.3.163.1	<i>deleted</i>		
4.2.3.163.2	<i>deleted</i>		
4.2.3.163.3	<i>deleted</i>		
4.2.3.163.4	<i>deleted</i>		
4.2.3.163.5	<i>deleted</i>		
4.2.3.163.6	A detached dwelling shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that: (1) minimum rear yard - corner lot		
			3.0 m

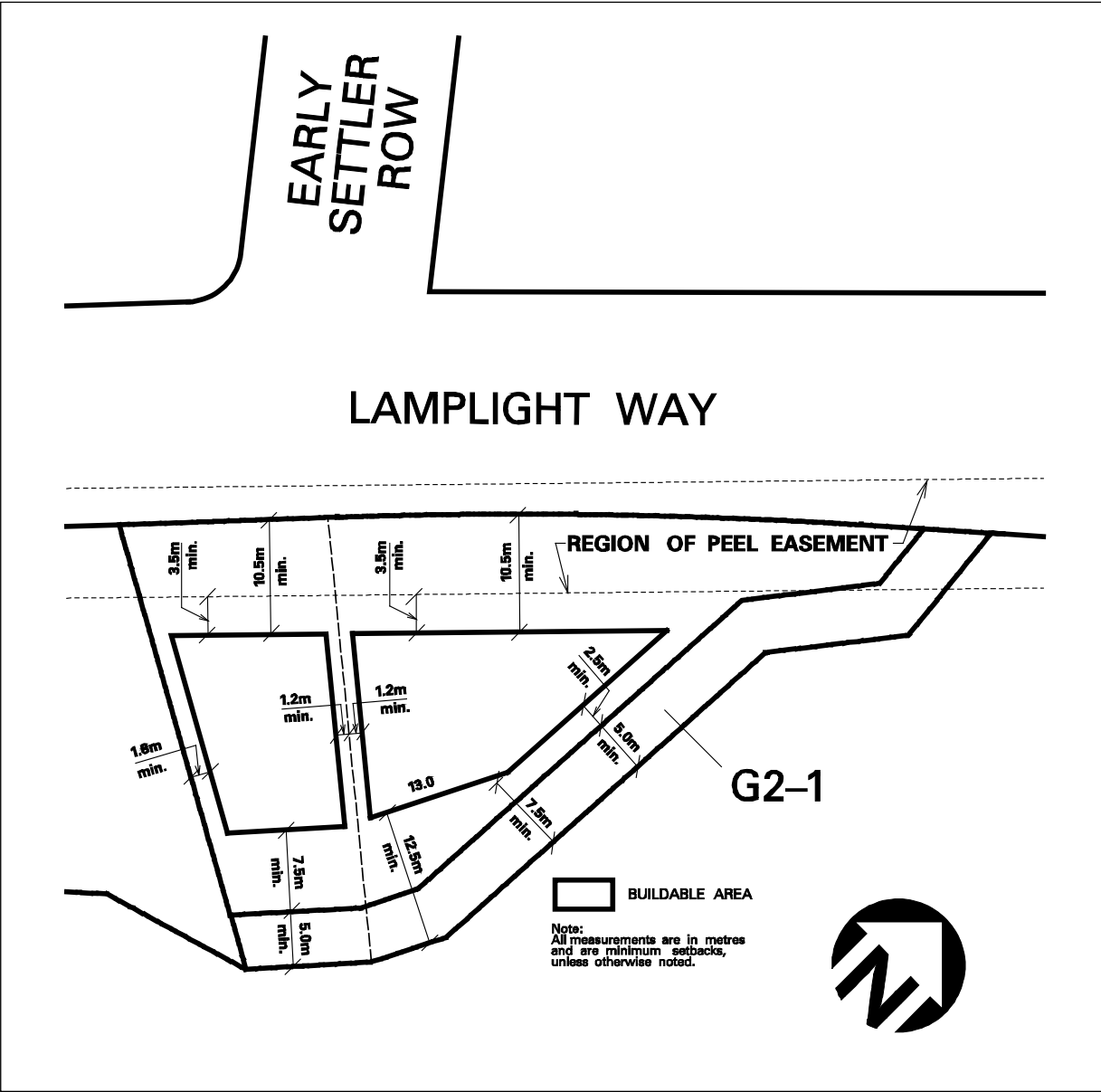
4.2.3.164	Exception: RS-164	Map # 44W, 45E, 52E, 52W	By-law: 0379-2009, 0048-2025
In a RS-164 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:			
Regulations			
4.2.3.164.1	<i>deleted</i>		
4.2.3.164.2	Maximum lot coverage : (1) where the garage does not project more than 1.0 m beyond the main entry feature; or45% (2) where the garage does not project more than 2.5 m beyond the main front entrance or a habitable room on the first storey; or45% (3) where the width of the garage is 5.0 m or less, measured from the outside of opposite exterior walls or from the outside of an exterior wall to the midpoint of an interior wall.45%		
4.2.3.164.3	Maximum projection of a garage beyond the main front entrance		7.0 m

4.2.3.165	Exception: RS-165	Map # 52W	By-law: 0379-2009, 0048-2025
In a RS-165 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:			
Regulations			
4.2.3.165.1	deleted		
4.2.3.165.2	deleted		
4.2.3.165.3	Maximum lot coverage : (1) where the garage does not project more than 1.0 m beyond the main entry feature; or45% (2) where the garage does not project more than 2.5 m beyond the main front entrance or a habitable room on the first storey; or45% (3) where the width of the garage is 5.0 m or less, measured from the outside of opposite exterior walls or from the outside of an exterior wall to the midpoint of an interior wall.45%		
4.2.3.165.4	A detached dwelling shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that: (1) minimum exterior side yard3.0 m		
4.2.3.165.5	Maximum projection of a garage beyond the main front entrance 7.0 m		

4.2.3.166	Exception: RS-166	Map # 44W	By-law: 0379-2009, 0048-2025
In a RS-166 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:			
Regulations			
4.2.3.166.1	<i>deleted</i>		
4.2.3.166.2	Maximum lot coverage :		
	(1) where the garage does not project more than 1.0 m beyond the main entry feature ; or		45%
	(2) where the garage does not project more than 2.5 m beyond the main front entrance or a habitable room on the first storey ; or		45%
	(3) where the width of the garage is 5.0 m or less, measured from the outside of opposite exterior walls or from the outside of an exterior wall to the midpoint of an interior wall.		45%
4.2.3.166.3	<i>deleted</i>		
4.2.3.166.4	Maximum projection of a garage beyond the main front entrance		7.0 m

4.2.3.167	Exception: RS-167	Map # 06, 22	By-law: 0048-2025
In a RS-167 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses/regulations shall apply:			
Regulations			
4.2.3.167.1	Minimum lot area - interior lot		275 m ²
4.2.3.167.2	<i>deleted</i>		
4.2.3.167.3	<i>deleted</i>		

4.2.3.168	Exception: RS-168	Map # 45E	By-law: 0379-2009, 0048-2025
In a RS-168 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:			
Regulations			
4.2.3.168.1	<i>deleted</i>		
4.2.3.168.2	Maximum lot coverage :		
	(1) where the garage does not project more than 1.0 m beyond the main entry feature ; or		45%
	(2) where the garage does not project more than 2.5 m beyond the main front entrance or a habitable room on the first storey ; or		45%
	(3) where the width of the garage is 5.0 m or less, measured from the outside of opposite exterior walls or from the outside of an exterior wall to the midpoint of an interior wall.		45%
4.2.3.168.3	Maximum projection of a garage beyond the main front entrance		7.0 m
4.2.3.168.4	All site development plans shall comply with Schedule RS-168 of this Exception		



Schedule RS-168
Map 45E

4.2.3.169	Exception: RS-169	Map # 52E	By-law: 0048-2025
In a RS-169 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:			
Regulations			
4.2.3.169.1	Minimum westerly interior side yard - interior lot		4.5 m
4.2.3.169.2	Minimum easterly interior side yard - interior lot		7.5 m
4.2.3.169.3	A detached dwelling shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1)	minimum rear yard - interior lot	1.2 m
	(2)	maximum rear yard - interior lot	2.4 m

4.2.3.170	Exception: RS-170	Map # 52E	By-law: 0379-2009, 0048-2025
In a RS-170 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:			
Regulations			
4.2.3.170.1	<i>deleted</i>		
4.2.3.170.2	Maximum lot coverage :		
	(1)	where the garage does not project more than 1.0 m beyond the main entry feature ; or	45%
	(2)	where the garage does not project more than 2.5 m beyond the main front entrance or a habitable room on the first storey ; or	45%
	(3)	where the width of the garage is 5.0 m or less, measured from the outside of opposite exterior walls or from the outside of an exterior wall to the midpoint of an interior wall.	45%
4.2.3.170.3	Maximum projection of a garage beyond the main front entrance		7.5 m

4.2.3.171	Exception: RS-171	Map # 52E	By-law: 0379-2009, 0048-2025
In a RS-171 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses/regulations shall apply:			
Regulations			
4.2.3.171.1	<i>deleted</i>		
4.2.3.171.2	<i>deleted</i>		
4.2.3.171.3	Maximum lot coverage :		
	(1)	where the garage does not project more than 1.0 m beyond the main entry feature ; or	45%
	(2)	where the garage does not project more than 2.5 m beyond the main front entrance or a habitable room on the first storey ; or	45%
	(3)	where the width of the garage is 5.0 m or less, measured from the outside of opposite exterior walls or from the outside of an exterior wall to the midpoint of an interior wall.	45%
4.2.3.171.4	Maximum projection of a garage beyond the main front entrance		7.0 m

4.2.3.172	Exception: RS-172	Map # 52E	By-law: 0379-2009, 0048-2025
In a RS-172 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses/regulations shall apply:			
Regulations			
4.2.3.172.1	<i>deleted</i>		
4.2.3.172.2	Maximum lot coverage :		
	(1)	where the garage does not project more than 1.0 m beyond the main entry feature ; or	45%
	(2)	where the garage does not project more than 2.5 m beyond the main front entrance or a habitable room on the first storey ; or	45%
	(3)	where the width of the garage is 5.0 m or less, measured from the outside of opposite exterior walls or from the outside of an exterior wall to the midpoint of an interior wall.	45%
4.2.3.172.3	Minimum setback of a detached dwelling or semi-detached to all lands zoned G2-1		7.0 m
4.2.3.172.4	Maximum projection of a garage beyond the main front entrance		7.0 m

4.2.3.173	Exception: RS-173	Map #44W	By-law: OLT Order 2022 July 25, 0048-2025
In a RS-173 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:			
Regulations			
4.2.3.173.1	<i>deleted</i>		
4.2.3.173.2	A detached dwelling shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1)	maximum lot coverage	48%
	(2)	minimum setback to garage face - interior lot	5.3 m
4.2.3.173.3	<i>deleted</i>		

4.2.3.174	Exception: RS-174	Map # 44W, 52E, 52W	By-law: 0379-2009, 0048-2025
In a RS-174 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:			
Regulations			
4.2.3.174.1	<i>deleted</i>		
4.2.3.174.2	Maximum lot coverage :		
	(1)	where the garage does not project more than 1.0 m beyond the main entry feature ; or	45%
	(2)	where the garage does not project more than 2.5 m beyond the main front entrance or a habitable room on the first storey ; or	45%
	(3)	where the width of the garage is 5.0 m or less, measured from the outside of opposite exterior walls or from the outside of an exterior wall to the midpoint of an interior wall.	45%
4.2.3.174.3	Maximum projection of a garage beyond the main front entrance		7.0 m

4.2.3.175	Exception: RS-175	Map # 52W	By-law: 0048-2025
In a RS-175 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:			
Regulations			
4.2.3.175.1	<i>deleted</i>		
4.2.3.175.2	<i>deleted</i>		
4.2.3.175.3	A detached dwelling shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1)	minimum exterior side yard	3.0 m
4.2.3.175.4	A one storey portion of the detached dwelling , up to a maximum gross floor area - residential of 8 m ² , shall be permitted to encroach into the required rear yard to within 6.0 m of the rear lot line		

4.2.3.176	Exception: RS-176	Map # 52W	By-law: 0048-2025
In a RS-176 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses/regulations shall apply:			
Regulations			
4.2.3.176.1	<i>deleted</i>		
4.2.3.176.2	<i>deleted</i>		
4.2.3.176.3	A detached dwelling shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that: (1) minimum exterior side yard 3.0 m		
4.2.3.176.4	A one storey portion of the detached dwelling , up to a maximum gross floor area - residential of 8.0 m ² , shall be permitted to encroach into the required rear yard to within 6.0 m of the rear lot line		
4.2.3.176.5	The lot line abutting a street with a width of 20.0 m or greater shall be deemed to be the front lot line		
4.2.3.176.6	A garage shall only be located in a rear yard		
4.2.3.176.7	Maximum garage width: measured from the outside of the exterior wall on one side to the outside of the exterior wall or midpoint of the interior wall on the other side 50% of the lot frontage		

4.2.3.177	Exception: RS-177	Map # 52E	By-law: 0379-2009, 0048-2025
In a RS-177 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses/regulations shall apply:			
Regulations			
4.2.3.177.1	<i>deleted</i>		
4.2.3.177.2	Maximum lot coverage : (1) where the garage does not project more than 1.0 m beyond the main entry feature ; or 45% (2) where the garage does not project more than 2.5 m beyond the main front entrance or a habitable room on the first storey ; or 45% (3) where the width of the garage is 5.0 m or less, measured from the outside of opposite exterior walls or from the outside of an exterior wall to the midpoint of an interior wall. 45%		
4.2.3.177.3	<i>deleted</i>		
4.2.3.177.4	<i>deleted</i>		
4.2.3.177.5	<i>deleted</i>		
4.2.3.177.6	<i>deleted</i>		
4.2.3.177.7	Maximum projection of a garage beyond the main front entrance 7.0 m		

4.2.3.178	Exception: RS-178	Map # 52E	By-law: 0379-2009, 0048-2025
In a RS-178 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses/regulations shall apply:			
Regulations			
4.2.3.178.1	<i>deleted</i>		
4.2.3.178.2	Maximum lot coverage :		
	(1) where the garage does not project more than 1.0 m beyond the main entry feature ; or	45%	
	(2) where the garage does not project more than 2.5 m beyond the main front entrance or a habitable room on the first storey ; or	45%	
	(3) where the width of the garage is 6.0 m or less, measured from the outside of opposite exterior walls or from the outside of an exterior wall to the midpoint of an interior wall.	45%	
4.2.3.178.3	Maximum projection of a garage beyond the main front entrance	7.5 m	

4.2.3.179	Exception: RS-179	Map # 44W	By-law: 0379-2009, 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RS-179 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses/regulations shall apply:			
Regulations			
4.2.3.179.1	<i>deleted</i>		
4.2.3.179.2	Maximum lot coverage :		
	(1) where the garage does not project more than 1.0 m beyond the main entry feature ; or	45%	
	(2) where the garage does not project more than 2.5 m beyond the main front entrance or a habitable room on the first storey ; or	45%	
	(3) where the maximum garage width measured from the inside face of the garage side walls is 5.0 m.	45%	
4.2.3.179.3	Minimum interior side yard - interior lot	1.2 m	
4.2.3.179.4	<i>deleted</i>		
4.2.3.179.5	Minimum setback to a sight triangle	0.0 m	
4.2.3.179.6	Maximum projection of a garage beyond the main front entrance	7.0 m	
4.2.3.179.7	A detached garage shall not be permitted		
4.2.3.179.8	Maximum driveway width	5.0 m	

4.2.3.180	Exception: RS-180	Map # 52W	By-law: 0379-2009, 0048-2025
In a RS-180 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses/regulations shall apply:			
Regulations			
4.2.3.180.1	<i>deleted</i>		
4.2.3.180.2	Maximum lot coverage : (1) where the garage does not project more than 1.0 m beyond the main entry feature ; or 45% (2) where the garage does not project more than 2.5 m beyond the main front entrance or a habitable room on the first storey ; or 45% (3) where the maximum garage width measured from the inside face of the garage side walls is 5.0 m. 45%		
4.2.3.180.3	<i>deleted</i>		
4.2.3.180.4	<i>deleted</i>		
4.2.3.180.5	<i>deleted</i>		
4.2.3.180.6	<i>deleted</i>		
4.2.3.180.7	Maximum encroachment of a porch and/or a balcony , up to a maximum floor area of 18 m ² , into the required front yard - interior lot		2.0 m
4.2.3.180.8	Maximum encroachment of a porch and/or balcony , up to a maximum floor area of 25 m ² , into the required front and exterior side yard - corner lot		2.0 m
4.2.3.180.9	The floor area of a porch or balcony , up to a maximum of 18 m ² on an interior lot and a maximum of 25 m ² on a corner lot shall be excluded from the calculation of lot coverage		
4.2.3.180.10	Maximum encroachment of a window projection with or without a foundation, bay window, box window, chimney , media niche, pilaster or corbel into a required yard		0.61 m
4.2.3.180.11	Maximum projection of a garage beyond the main front entrance		7.0 m

4.2.3.181	Exception: RS-181	Map # 52W	By-law: 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RS-181 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:			
Regulations			
4.2.3.181.1	<i>deleted</i>		
4.2.3.181.2	<i>deleted</i>		
4.2.3.181.3	<i>deleted</i>		
4.2.3.181.4	<i>deleted</i>		
4.2.3.181.5	<i>deleted</i>		
4.2.3.181.6	A detached dwelling shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1) minimum exterior side yard		3.0 m
	(2) minimum setback to garage face		5.2 m
4.2.3.181.7	Maximum encroachment of a porch into the required front yard		2.5 m
4.2.3.181.8	On an interior lot , where a one storey detached or attached garage is located in the rear or interior side yard and where no part of the garage is located closer than 15.0 m to the front lot line :		
	(1)	a maximum of 38 m ² of the gross floor area of the garage shall be excluded from the calculation of lot coverage	
	(2)	one interior side yard shall be a minimum width of 3.0 m and the other interior side yard may be reduced by 0.6 m, except that the attached garage may encroach a maximum of 2.4 m into the 3.0 m interior side yard	
	(3)	minimum front yard of the detached dwelling may be reduced to 3.5 m	
	(4)	a maximum of 15 m ² gross floor area - residential of the first storey of the detached dwelling may project a maximum of 1.5 m into the required rear yard	

4.2.3.182	Exception: RS-182	Map # 52E	By-law: 0379-2009, 0048-2025
In a RS-182 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses/regulations shall apply:			
Regulations			
4.2.3.182.1	<i>deleted</i>		
4.2.3.182.2	Maximum lot coverage :		
	(1)	where the garage does not project more than 1.0 m beyond the main entry feature ; or	45%
	(2)	where the garage does not project more than 2.5 m beyond the main front entrance or a habitable room on the first storey ; or	45%
	(3)	where the width of the garage is 5.0 m or less, measured from the outside of opposite exterior walls or from the outside of an exterior wall to the midpoint of an interior wall.	45%
4.2.3.182.3	<i>deleted</i>		
4.2.3.182.4	<i>deleted</i>		
4.2.3.182.5	<i>deleted</i>		
4.2.3.182.6	<i>deleted</i>		
4.2.3.182.7	Maximum projection of a garage beyond the main front entrance		7.0 m

4.2.3.183	Exception: RS-183	Map #	By-law: 0048-2025

4.2.3.184	Exception: RS-184	Map #	By-law: 0048-2025

4.2.3.185	Exception: RS-185	Map # 08	By-law: 0308-2011, 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RS-185 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses/regulations shall apply:			
Regulations			
4.2.3.185.1	The regulations of Line 5.0 contained in Table 4.2.1 of this By-law shall not apply		
4.2.3.185.2	Maximum gross floor area - infill residential	169 m ² plus 0.20 times the lot area to a maximum of 305 m ²	
4.2.3.185.3	Minimum landscaped area	40% of the lot area	
4.2.3.185.4	<i>deleted</i>		
4.2.3.185.5	A detached dwelling shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that: (1) minimum interior and exterior side yards (2) <i>deleted</i>	3.0 m on one side of the lot and 1.2 m on the other side	
4.2.3.185.6	<i>deleted</i>		
4.2.3.185.7	<i>deleted</i>		
4.2.3.185.8	Flat roofs and mansard roofs shall not be permitted		
4.2.3.185.9	Maximum encroachment of a covered porch into a required front, exterior and interior side yard	1.8 m but not closer than 0.2 m to a lot line	
4.2.3.185.10	Minimum setback of a garage face behind the front wall of a detached dwelling	3.0 m	
4.2.3.185.11	Maximum gross floor area of a detached garage	30 m ²	
4.2.3.185.12	"Front Wall" means the exterior wall containing the door which is designed as the primary access point into the detached dwelling		
4.2.3.185.13	The provisions of By-law Number 0272-2004 made pursuant to the <i>Ontario Heritage Act</i> shall not apply so as to require any reconstruction, alteration and/or enlargement of any building or structure to replicate the exterior faces or the exterior wall features of the building or structure		

4.2.3.186	Exception: RS-186	Map # 02, 08	By-law: <i>deleted by 0359-2009, 0059-2016, 0048-2025</i>
In a RS-186 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses/regulations shall apply:			
Regulations			
4.2.3.186.1	<i>deleted</i>		
4.2.3.186.2	<i>deleted</i>		
4.2.3.186.3	Garage projection: maximum projection of a garage beyond the front wall or exterior side wall of the second storey		0.0 m
4.2.3.186.4	<i>deleted</i>		

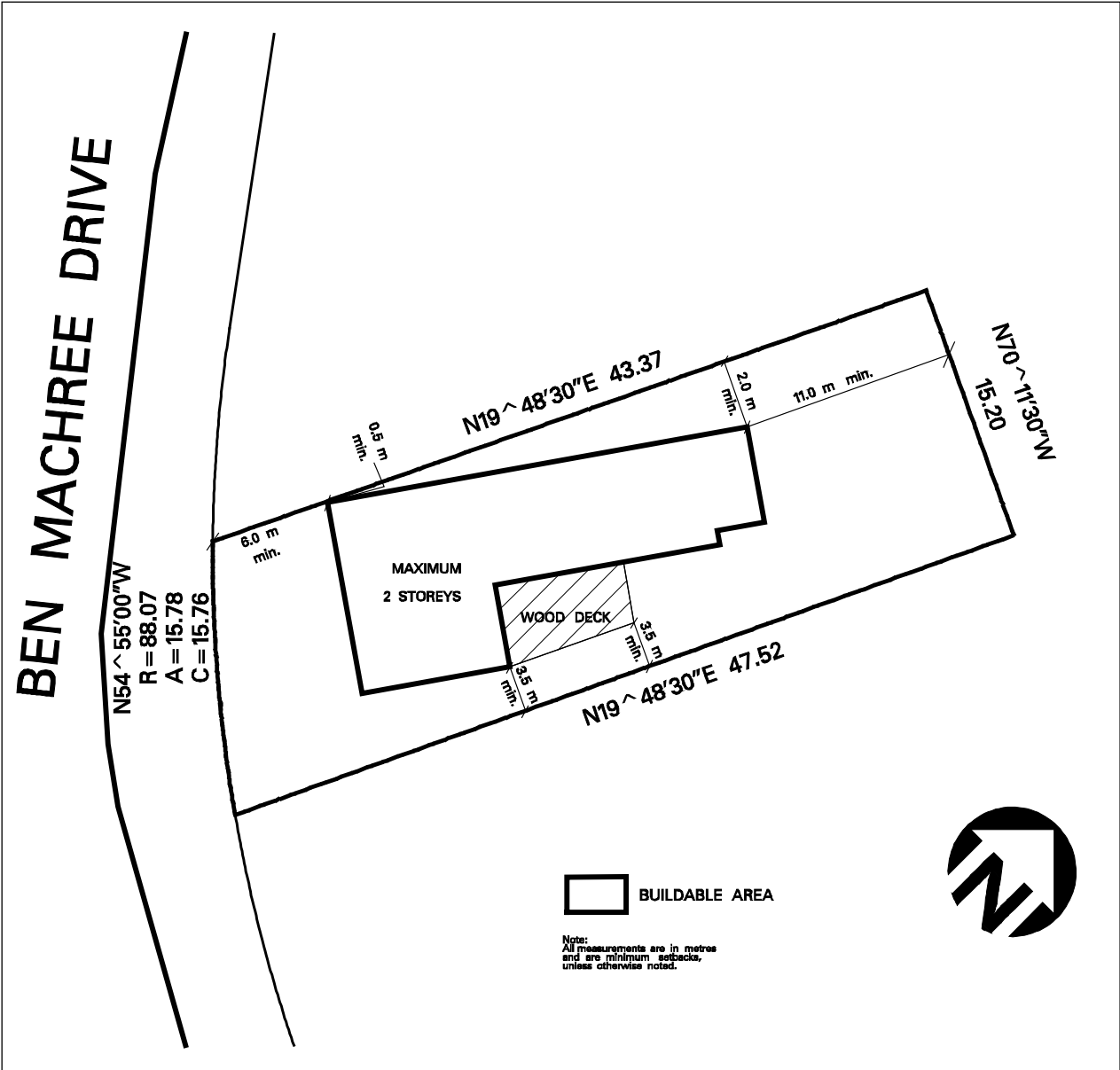
4.2.3.187	Exception: RS-187	Map # 08	By-law: 0308-2011, 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RS-187 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses/regulations shall apply:			
Additional Permitted Use			
4.2.3.187.1	(1)	Duplex	
Regulations			
4.2.3.187.2	A detached dwelling and duplex shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1)	the regulations of Line 5.0 contained in Table 4.2.1 of this By-law shall not apply	
	(2)	maximum gross floor area - infill residential	169 m ² plus 0.20 times the lot area to a maximum of 305 m ²
	(3)	minimum landscaped area	40% of the lot area
	(4)	<i>deleted</i>	
	(5)	minimum interior and exterior side yards	3.0 m on one side of the lot and 1.2 m on the other side
	(6)	<i>deleted</i>	
	(7)	<i>deleted</i>	
	(8)	flat roofs and mansard roofs shall not be permitted	
	(9)	maximum encroachment of a covered porch into a required front, exterior and interior side yard	1.8 m but not closer than 0.2 m to a lot line
	(10)	minimum setback of a garage face behind the front wall of a detached dwelling	3.0 m
	(11)	maximum gross floor area of a detached garage	30 m ²
	(12)	"Front Wall" means the exterior wall containing the door which is designed as the primary access point into the detached dwelling	
	(13)	the provisions of By-law Number 0272-2004 made pursuant to the <i>Ontario Heritage Act</i> shall not apply so as to require any reconstruction, alteration and/or enlargement of any building or structure to replicate the exterior faces or the exterior wall features of the building or structure	

4.2.3.188	Exception: RS-188	Map # 08	By-law: 0048-2025
In a RS-188 zone the applicable regulations shall be as specified for a RS zone except that the following uses/regulations shall apply:			
Permitted Uses			
4.2.3.188.1	Lands zoned RS-188 shall only be used for the following:		
	(1)	Detached Dwelling or	
	(2)	Semi-Detached or	
	(3)	Private Club	

4.2.3.189	Exception: RS-189	Map # 08	By-law: 0308-2011, 0181-2018/LPAT Order 2019 February 15, 0111-2019/LPAT Order 2021 March 09, 0048-2025
In a RS-189 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses/regulations shall apply:			
Additional Permitted Uses			
4.2.3.189.1	(1) Service Establishment (2) Restaurant (3) Office (4) Medical Office - Restricted (5) Dwelling unit located above the first storey , accessory to a permitted use contained in Sentence 4.2.3.189.1 of this Exception		
Regulations			
4.2.3.189.2	The regulations of Line 5.0 contained in Table 4.2.1 of this By-law shall not apply		
4.2.3.189.3	Maximum gross floor area - infill residential	169 m ² plus 0.20 times the lot area to a maximum of 305 m ²	
4.2.3.189.4	Minimum landscaped area	40% of the lot area	
4.2.3.189.5	Minimum front yard	5.0 m	
4.2.3.189.6	Minimum interior and exterior side yards	3.0 m on one side of the lot and 1.2 m on the other side	
4.2.3.189.7	Maximum height - highest ridge: sloped roof	9.0 m and 2 storeys	
4.2.3.189.8	Maximum height of eaves: from average grade to lower edge of the eaves	6.8 m	
4.2.3.189.9	Flat roofs and mansard roofs shall not be permitted		
4.2.3.189.10	Maximum encroachment of a covered porch into a required front, exterior and interior side yard	1.8 m but not closer than 0.2 m to a lot line	
4.2.3.189.11	Minimum setback of a garage face behind the front wall of a detached dwelling	3.0 m	
4.2.3.189.12	Maximum gross floor area of a detached garage	30 m ²	
4.2.3.189.13	"Front Wall" means the exterior wall containing the door which is designed as the primary access point into the detached dwelling		
4.2.3.189.14	The provisions of By-law Number 0272-2004 made pursuant to the <i>Ontario Heritage Act</i> shall not apply so as to require any reconstruction, alteration and/or enlargement of any building or structure to replicate the exterior faces or the exterior wall features of the building or structure		

4.2.3.190	Exception: RS-190	Map # 08	By-law: 0059-2016, 0174-2017, 0048-2025
In a RS-190 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:			
Additional Permitted Uses			
4.2.3.190.1	(1) Duplex legally existing on the date of passing of this By-law; or (2) Triplex legally existing on the date of passing of this By-law		
Regulations			
4.2.3.190.2	<i>deleted</i>		
4.2.3.190.3	<i>deleted</i>		
4.2.3.190.4	Garage projection: maximum projection of a garage beyond the front wall or exterior side wall of the second storey		0.0 m
4.2.3.190.5	<i>deleted</i>		

4.2.3.191	Exception: RS-191	Map # 08	By-law: 0308-2011, 0059-2016, 0174-2017, 0208-2022, 0048-2025
In a RS-191 zone the applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:			
Permitted Uses			
4.2.3.191.1	Lands zoned RS-191 shall only be used for the following: (1) Detached Dwelling ; or (2) Semi-Detached or (3) Triplex		
Regulations			
4.2.3.191.2	A triplex shall comply with the RM7 zone regulations contained in Subsection 4.13.1 of this By-law except that: (1) maximum gross floor area - residential 280 m ² (2) minimum landscaped area 24% of the lot area (3) no floor level of any habitable room may be located below average grade (4) maximum height 9.2 m and 2 storeys (5) maximum projection of a porch and external stairs outside the buildable area identified on Schedule RS-191 of this Exception into the required front yard 3.2 m (6) minimum aisle width 5.0 m (7) all site development plans shall comply with Schedule RS-191 of this Exception		
4.2.3.191.3	A detached dwelling shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that: (1) <i>deleted</i> (2) <i>deleted</i> (3) garage projection: 0.0 m maximum projection of a garage beyond the front wall or exterior side wall of the second storey (4) <i>deleted</i>		



Schedule RS-191
Map 08

4.2.3.192	Exception: RS-192	Map # 07	By-law: 0203-2013/OMB Order 2014 March 26, 0190-2014, 0048-2025
In a RS-192 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:			
Regulations			
4.2.3.192.1	<i>deleted</i>		
4.2.3.192.2	<i>deleted</i>		
4.2.3.192.3	<i>deleted</i>		
4.2.3.192.4	Garage projection: maximum projection of a garage beyond the front wall or exterior side wall of the second storey		0.0 m
4.2.3.192.5	<i>deleted</i>		

4.2.3.193	Exception: RS-193	Map # 07	By-law: 0203-2013/OMB Order 2014 March 26, 0190-2014, 0048-2025
In a RS-193 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:			
Regulation			
4.2.3.193.1	<i>deleted</i>		
4.2.3.193.2	<i>deleted</i>		
4.2.3.193.3	<i>deleted</i>		
4.2.3.193.4	<i>deleted</i>		
4.2.3.193.5	<i>deleted</i>		
4.2.3.193.6	<i>deleted</i>		
4.2.3.193.7	Garage projection: maximum projection of a garage beyond the front wall or exterior side wall of the second storey		0.0 m

4.2.3.194	Exception: RS-194	Map #	By-law: <i>deleted by 0048-2025</i>

4.2.3.195	Exception: RS-195	Map # 21, 26, 27, 28, 30, 55, 56	By-law: 0048-2025
In a RS-195 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses/regulations shall apply:			
Regulations			
4.2.3.195.1	Detached Dwelling:		
	(1)	minimum lot area - interior lot	275 m ²
	(2)	minimum lot frontage - interior lot	9.0 m
	(3)	maximum gross floor area - residential	0.6 times the lot area

4.2.3.196	Exception: RS-196	Map # 36W, 39W, 55	By-law: 0174-2017, 0048-2025
In a RS-196 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses/regulations shall apply:			
Regulations			
4.2.3.196.1	Minimum setback to all lands zoned E2-1		15.0 m
4.2.3.196.2	Minimum setback of detached dwelling and semi-detached to Thomas Street, Winston Churchill Boulevard and Erin Centre Boulevard		7.5 m
4.2.3.196.3	Minimum setback to Derry Road West		13.5 m
4.2.3.196.4	Maximum encroachment of a porch into the Winston Churchill Boulevard and Erin Centre Boulevard setbacks		1.8 m

4.2.3.197	Exception: RS-197	Map # 20, 26, 29, 30, 46W, 55	By-law: 0174-2017, 0048-2025
In a RS-197 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses/regulations shall apply:			
Additional Permitted Use			
4.2.3.197.1	(1)	Linked Dwelling	
Regulation			
4.2.3.197.2	A linked dwelling shall comply with the RS zone regulations for a semi-detached contained in Subsection 4.2.1 of this By-law		

4.2.3.198	Exception: RS-198	Map # 36W, 45W, 53E	By-law: 0048-2025
In a RS-198 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses/regulations shall apply:			
Regulations			
4.2.3.198.1	Minimum exterior side yard - all corner lots abutting Bristol Road East		4.5 m
4.2.3.198.2	Minimum exterior side yard - all other corner lots		3.0 m

4.2.3.199	Exception: RS-199	Map # 44W	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RS-199 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses/regulations shall apply:			
Regulations			
4.2.3.199.1	<i>deleted</i>		
4.2.3.199.2	Semi-Detached:		
	(1)	maximum lot coverage :	
	(1)	where the garage does not project more than 1.0 m beyond the main entry feature or 2.5 m beyond the main front entrance or a habitable room on the first storey or	45%
	(2)	where the width of the garage is 3.8 m or less, measured from the inside face of the garage side walls or	45%
	(3)	all other lots	40%
	(2)	for a semi-detached more than one storey in height , where the garage projects beyond the main front entrance , the garage shall be covered by a second storey which may be set back a maximum of 2.5 m from the garage face	
	(3)	minimum setback to garage face	7.0 m
	(4)	minimum setback to a sight triangle	0.0 m
	(5)	maximum driveway width	3.8 m
	(6)	maximum porch area in a front yard - interior lot	12 m ²
	(7)	maximum total porch area in front and exterior side yards - corner lot	20 m ²
	(8)	the area of all porches in front and exterior side yards shall be excluded from the calculation of lot coverage	
	(9)	a detached garage is not permitted	

4.2.3.200	Exception: RS-200	Map # 44W	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RS-200 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses/regulations shall apply:			
Regulations			
4.2.3.200.1	A detached dwelling shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law		
4.2.3.200.2	Semi-Detached: (1) maximum lot coverage : (1) where the garage does not project more than 1.0 m beyond the main entry feature or 2.5 m beyond the main front entrance or a habitable room on the first storey or 45% (2) where the width of the garage is 3.8 m or less, measured from the inside face of the garage side walls or 45% (3) all other lots 40% (2) for a detached dwelling more than one storey in height , where the garage projects beyond the main front entrance , the garage shall be covered by a second storey which may be set back a maximum of 2.5 m from the garage face (3) minimum setback to a sight triangle 0.0 m (4) maximum driveway width 3.8 m (5) maximum porch area in a front yard - interior lot 12 m ² (6) maximum total porch area in front and exterior side yards - corner lot 20 m ² (7) the area of all porches in front and exterior side yards shall be excluded from the calculation of lot coverage (8) a detached garage is not permitted		

4.2.3.201	Exception: RS-201	Map # 39E	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RS-201 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses/regulations shall apply:			
Regulations			
4.2.3.201.1	Semi-Detached: (1) minimum lot area - corner lot 240 m ² (2) <i>deleted</i> (3) <i>deleted</i> (4) <i>deleted</i> (5) minimum exterior side yard 3.0 m (6) minimum rear yard 6.0 m (7) <i>deleted</i>		

4.2.3.202	Exception: RS-202	Map #	By-law: 0181-2018/LPAT Order 2019 February 15, <i>deleted by 0048-2025</i>

4.2.3.203	Exception: RS-203	Map # 22	By-law: 0174-2017, 0048-2025
In a RS-203 zone the applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:			
Permitted Use			
4.2.3.203.1	Lands zoned RS-203 shall only be used for the following:		
	(1) Semi-Detached		
Regulations			
4.2.3.203.2	<i>deleted</i>		
4.2.3.203.3	The area of all porches in front and exterior side yards shall be excluded from the calculation of lot coverage		

4.2.3.204	Exception: RS-204	Map # 22	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RS-204 zone the applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:			
Permitted Use			
4.2.3.204.1	Lands zoned RS-204 shall only be used for the following:		
	(1) Semi-Detached		
Regulations			
4.2.3.204.2	<i>deleted</i>		
4.2.3.204.3	Maximum driveway width	3.8 m	
4.2.3.204.4	The area of all porches in front and exterior side yards shall be excluded from the calculation of lot coverage		
4.2.3.204.5	<i>deleted</i>		

4.2.3.205	Exception: RS-205	Map # 10	By-law: 0174-2017, 0048-2025
In a RS-205 zone the applicable regulations shall be as specified for a RS zone except that the following uses/regulations shall apply:			
Permitted Use			
4.2.3.205.1	Lands zoned RS-205 shall only be used for the following:		
	(1) Semi-Detached		
Regulations			
4.2.3.205.2	<i>deleted</i>		
4.2.3.205.3	<i>deleted</i>		
4.2.3.205.4	Maximum driveway width		3.8 m

4.2.3.206	Exception: RS-206	Map # 53E, 53W	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RS-206 zone the applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:			
Permitted Use			
4.2.3.206.1	Lands zoned RS-206 shall only be used for the following:		
	(1) Semi-Detached		
Regulations			
4.2.3.206.2	<i>deleted</i>		
4.2.3.206.3	<i>deleted</i>		
4.2.3.206.4	<i>deleted</i>		
4.2.3.206.5	<i>deleted</i>		
4.2.3.206.6	Minimum front yard	3.65 m	
4.2.3.206.7	<i>deleted</i>		
4.2.3.206.8	Minimum setback to garage face	4.5 m	

4.2.3.207	Exception: RS-207	Map # 53E, 53W	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RS-207 zone the applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:			
Permitted Use			
4.2.3.207.1	Lands zoned RS-207 shall only be used for the following:		
	(1) Semi-Detached		
Regulations			
4.2.3.207.2	<i>deleted</i>		
4.2.3.207.3	<i>deleted</i>		
4.2.3.207.4	<i>deleted</i>		
4.2.3.207.5	<i>deleted</i>		
4.2.3.207.6	Minimum front yard	3.65 m	
4.2.3.207.7	<i>deleted</i>		
4.2.3.207.8	Minimum setback to garage face	5.5 m	

4.2.3.208	Exception: RS-208	Map # 53E	By-law: 0174-2017, 0048-2025
In a RS-208 zone the applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:			
Permitted Use			
4.2.3.208.1	Lands zoned RS-208 shall only be used for the following:		
	(1) Semi-Detached		
Regulations			
4.2.3.208.2	Minimum exterior side yard		2.45 m
4.2.3.208.3	Maximum permitted encroachment of a bay window and chimney , with or without foundation, into an exterior side yard		0.5 m

4.2.3.209	Exception: RS-209	Map # 37W	By-law: 0174-2017, 0048-2025
In a RS-209 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:			
Regulation			
4.2.3.209.1	Semi-Detached:		
	(1)	<i>deleted</i>	
	(2)	<i>deleted</i>	
	(3)	<i>deleted</i>	
	(4)	<i>deleted</i>	
	(5)	minimum exterior side yard	3.0 m

4.2.3.210	Exception: RS-210	Map # 38E	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RS-210 zone the applicable regulations shall be as specified for a RS zone except that the following uses/regulations shall apply:			
Permitted Use			
4.2.3.210.1	Lands zoned RS-210 shall only be used for the following:		
	(1) Semi-Detached		
Regulations			
4.2.3.210.2	<i>deleted</i>		
4.2.3.210.3	Minimum lot area - corner lot	260 m ²	
4.2.3.210.4	Minimum lot frontage - interior lot	6.1 m	
4.2.3.210.5	Minimum lot frontage - corner lot	8.2 m	
4.2.3.210.6	<i>deleted</i>		
4.2.3.210.7	Minimum exterior side yard	3.0 m	
4.2.3.210.8	<i>deleted</i>		
4.2.3.210.9	The areas of all porches in front and exterior side yards shall be excluded from the calculation of lot coverage		
4.2.3.210.10	Maximum driveway width - interior lot	3.8 m	
4.2.3.210.11	Maximum driveway width - corner lot	5.0 m	

4.2.3.211	Exception: RS-211	Map # 57, 58	By-law: 0449-2007, 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RS-211 zone the applicable regulations shall be as specified for a RS zone except that the following uses/regulations shall apply:			
Permitted Use			
4.2.3.211.1	Lands zoned RS-211 shall only be used for the following:		
	(1) Semi-Detached		
Regulations			
4.2.3.211.2	The regulations of Line 5.0 contained in Table 4.2.1 of this By-law shall not apply		
4.2.3.211.3	<i>deleted</i>		
4.2.3.211.4	<i>deleted</i>		
4.2.3.211.5	<i>deleted</i>		
4.2.3.211.6	<i>deleted</i>		
4.2.3.211.7	Minimum front yard - lots without a municipal sidewalk adjacent the front lot line	3.5 m	
4.2.3.211.8	Minimum exterior side yard - lots without a municipal sidewalk adjacent the exterior side lot line	3.5 m	
4.2.3.211.9	Minimum exterior side yard - lots abutting a street with a right-of-way width less than 17.0 m	1.8 m	
4.2.3.211.10	Minimum setback to garage face	5.8 m	
4.2.3.211.11	<i>deleted</i>		

Exception RS-211 continued on next page

4.2.3.211	Exception: RS-211	Map # 57, 58	By-law: 0449-2007, 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025
Exception RS-211 continued from previous page			
4.2.3.211.12	Minimum setback to a sight triangle		0.0 m
4.2.3.211.13	Maximum encroachment of a porch or balcony into required front or exterior side yard		2.0 m
4.2.3.211.14	Maximum projection of a garage beyond either the main front entrance or beyond the main entry feature where provided		2.5 m
4.2.3.211.15	Where a main entry feature has been provided, the maximum projection of a garage beyond a main front entrance		5.0 m
4.2.3.211.16	For a semi-detached more than one storey in height , where the garage projects beyond the main front entrance , the garage shall be covered by a second storey which may be set back a maximum of 2.5 m from the garage face		
4.2.3.211.17	Maximum driveway width - interior lot		4.3 m
4.2.3.211.18	Maximum driveway width - corner lot		4.7 m
4.2.3.211.19	Maximum garage width: measured from the inside face of the garage side walls		3.8 m
4.2.3.211.20	Detached garage shall not be permitted		

4.2.3.212	Exception: RS-212	Map # 57	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RS-212 zone the applicable regulations shall be as specified for a RS zone except that the following uses/regulations shall apply:			
Permitted Uses			
4.2.3.212.1	Lands zoned RS-212 shall only be used for the following: (1) Semi-Detached (2) Public school in compliance with the provisions contained in Article 2.1.9.1 of this By-law		
Regulations			
4.2.3.212.2	The regulations of Line 5.0 contained in Table 4.2.1 of this By-law shall not apply		
4.2.3.212.3	Minimum front yard - lots without a municipal sidewalk adjacent the front lot line		3.5 m
4.2.3.212.4	Minimum exterior side yard - lots without a municipal sidewalk adjacent the exterior side lot line		3.5 m
4.2.3.212.5	Minimum exterior side yard - lots abutting a street with a right-of-way width less than 17.0 m		1.8 m
4.2.3.212.6	Minimum exterior side yard with a 0.3 m reserve along the exterior side lot line		4.2 m
4.2.3.212.7	Minimum setback to garage face		5.8 m
4.2.3.212.8	Minimum setback to a sight triangle		0.0 m
4.2.3.212.9	Maximum encroachment of a porch or balcony into required front and exterior side yard		2.0 m
4.2.3.212.10	Maximum projection of a garage beyond either the main front entrance or beyond the main entry feature where provided		2.5 m

Exception RS-212 continued on next page

4.2.3.212	Exception: RS-212	Map # 57	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025
Exception RS-212 continued from previous page			
4.2.3.212.11	Where a main entry feature has been provided, the maximum projection of a garage beyond a main front entrance		5.0 m
4.2.3.212.12	For a semi-detached more than one storey in height , where the garage projects beyond the main front entrance , the garage shall be covered by a second storey which may be set back a maximum of 2.5 m from the garage face		
4.2.3.212.13	Maximum driveway width - interior lot		4.3 m
4.2.3.212.14	Maximum driveway width - corner lot		4.7 m
4.2.3.212.15	Maximum garage width: measured from the inside face of the garage side walls		3.8 m
4.2.3.212.16	Detached garage shall not be permitted		

4.2.3.213	Exception: RS-213	Map # 36W	By-law: 0174-2017, 0048-2025
In a RS-213 zone the applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:			
Permitted Use			
4.2.3.213.1	Lands zoned RS-213 shall only used for the following:		
	(1) Semi-Detached		
Regulations			
4.2.3.213.2	<i>deleted</i>		
4.2.3.213.3	Minimum lot frontage - corner lot		9.5 m
4.2.3.213.4	<i>deleted</i>		
4.2.3.213.5	Minimum exterior side yard		2.9 m

4.2.3.214	Exception: RS-214	Map # 44W	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RS-214 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:			
Regulations			
4.2.3.214.1	A detached dwelling shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law, except that: (1) maximum projection of a garage beyond the main front entrance		7.0 m
4.2.3.214.2	Semi-Detached: (1) <i>deleted</i> (2) <i>deleted</i> (3) <i>deleted</i>		

Exception RS-214 continued on next page

4.2.3.214	Exception: RS-214	Map # 44W	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025
Exception RS-214 continued from previous page			
4.2.3.214.2 (continued)	(4) for a semi-detached more than one storey in height , where the garage projects beyond the main front entrance , the garage shall be covered by a second storey which may be set back a maximum of 2.5 m from the garage face		
	(5)	maximum projection of a garage beyond the main front entrance	7.0 m
	(6)	maximum porch area in a front yard - interior lot	12 m ²
	(7)	maximum total porch area in front and exterior side yards - corner lot	20 m ²
	(8)	the area of all porches in front and exterior side yards shall be excluded from the calculation of lot coverage	
	(9)	accessory buildings and structures shall not be located in the front yard or exterior side yard	

4.2.3.215	Exception: RS-215	Map # 56	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RS-215 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses/regulations shall apply:			
Regulations			
4.2.3.215.1	<i>deleted</i>		
4.2.3.215.2	Minimum parking spaces per dwelling unit		3
4.2.3.215.3	Detached Dwelling:		
	(1)	maximum garage width: measured from the inside face of the garage side walls	5.7 m
4.2.3.215.4	Semi-Detached:		
	(1)	chimney , chimney breast, porch , central air conditioning unit or heat pump are not permitted to encroach within the required interior or exterior side yards	

4.2.3.218	Exception: RS-218	Map # 55	By-law: 0174-2017, 0048-2025
In a RS-218 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses/regulations shall apply:			
Regulations			
4.2.3.218.1	Semi-Detached:		
	(1)	the regulations of Line 5.0 contained in Table 4.2.1 of this By-law shall not apply	
	(2)	maximum gross floor area - residential	0.75 times the lot area
	(3)	maximum encroachment of porch or deck including landings and stairs into the required rear yard	2.5 m

4.2.3.219	Exception: RS-219	Map # 37W	By-law: 0048-2025
In a RS-219 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses/regulations shall apply:			
Regulation			
4.2.3.219.1	Detached Dwelling:		
	(1)	maximum lot coverage	45%

4.2.3.220	Exception: RS-220	Map # 57	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RS-220 zone the applicable regulations shall be as specified for a RS zone except that the following uses/regulations shall apply:			
Permitted Use			
4.2.3.220.1	Lands zoned RS-220 shall only be used for the following:		
	(1)	Semi-Detached	
Regulations			
4.2.3.220.2	The regulations of Line 5.0 contained in Table 4.2.1 of this By-law shall not apply		
4.2.3.220.3	Minimum front yard - lots without a municipal sidewalk adjacent the front lot line		3.5 m
4.2.3.220.4	Minimum exterior side yard - lots without a municipal sidewalk adjacent the exterior side lot line		3.5 m
4.2.3.220.5	Minimum exterior side yard - lots with a 0.3 m reserve along the exterior side lot line		4.2 m
4.2.3.220.6	Minimum setback to garage face		4.0 m
4.2.3.220.7	Minimum setback to a sight triangle		0.0 m
4.2.3.220.8	Maximum encroachment of a porch or balcony into the required front and exterior side yard		2.0 m
4.2.3.220.9	Maximum projection of a garage beyond either the main front entrance or beyond the main entry feature where provided		2.5 m

Exception RS-220 continued on next page

4.2.3.220	Exception: RS-220	Map # 57	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025
Exception RS-220 continued from previous page			
4.2.3.220.10	Where a main entry feature has been provided, the maximum projection of a garage beyond a main front entrance		5.0 m
4.2.3.220.11	For a semi-detached more than one storey in height , where the garage projects beyond the main front entrance , the garage shall be covered by a second storey which may be set back a maximum of 2.5 m from the garage face		
4.2.3.220.12	Maximum driveway width - interior lot		4.3 m
4.2.3.220.13	Maximum driveway width - corner lot		4.7 m
4.2.3.220.14	Maximum garage width: measured from the inside face of the garage side walls		3.8 m
4.2.3.220.15	Detached garage shall not be permitted		

4.2.3.221	Exception: RS-221	Map # 55	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RS-221 zone the applicable regulations shall be as specified for a RS zone except that the following uses/regulations shall apply:			
Permitted Use			
4.2.3.221.1	Lands zoned RS-221 shall only be used for the following:		
	(1) Semi-Detached		
Regulations			
4.2.3.221.2	Minimum setback of a semi-detached to the garage face		5.0 m
4.2.3.221.3	Minimum setback of a semi-detached to Tenth Line West		4.5 m
4.2.3.221.4	Maximum driveway width		5.2 m
4.2.3.221.5	Maximum garage width: measured from the inside face of the garage side walls		5.2 m

4.2.3.222	Exception: RS-222	Map # 38E	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0143-2021, 0048-2025
In a RS-222 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:			
Regulations			
4.2.3.222.1	A detached dwelling shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that: (1) <i>deleted</i> (2) <i>deleted</i> (3) <i>deleted</i> (4) <i>deleted</i> (5) <i>deleted</i> (6) <i>deleted</i> (7) <i>deleted</i> (8) <i>deleted</i> (9) minimum setback of a porch to a sight triangle 1.5 m (10) maximum driveway width 5.7 m (11) maximum garage width: 5.7 m measured from the inside face of the garage side walls		
4.2.3.222.2	Semi-Detached: (1) the regulations of Line 5.0 contained in Table 4.2.1 of this By-law shall not apply (2) maximum gross floor area - residential 0.75 times the lot area (3) maximum projection of a garage beyond either the main front entrance or beyond the main entry feature where provided 2.5 m (4) where a main entry feature has been provided, the maximum projection of a garage beyond a main front entrance 5.0 m (5) for a semi-detached more than one storey in height , where the garage projects beyond the main front entrance , the garage shall be covered by a second storey which may be set back a maximum of 2.5 m from the garage face (6) maximum encroachment of a porch or balcony into required front or exterior side yard 2.0 m (7) maximum driveway width 3.8 m (8) maximum garage width: 3.8 m measured from the inside face of the garage side walls (9) detached garage shall not be permitted		

4.2.3.223	Exception: RS-223	Map # 58	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RS-223 zone the applicable regulations shall be as specified for a RS zone except that the following uses/regulations shall apply:			
Permitted Use			
4.2.3.223.1	Lands zoned RS-223 shall only be used for the following:		
	(1) Semi-Detached		
Regulations			
4.2.3.223.2	The regulations of Line 5.0 contained in Table 4.2.1 of this By-law shall not apply		
4.2.3.223.3	deleted		
4.2.3.223.4	deleted		
4.2.3.223.5	deleted		
4.2.3.223.6	deleted		
4.2.3.223.7	deleted		
4.2.3.223.8	deleted		
4.2.3.223.9	Minimum exterior side yard - lots abutting a street with a right-of-way width less than 17.0 m	1.8 m	
4.2.3.223.10	Minimum setback to garage face	5.8 m	
4.2.3.223.11	Minimum interior side yard - unattached side	1.2 m	
4.2.3.223.12	Minimum setback to a sight triangle	0.0 m	
4.2.3.223.13	Minimum setback of a semi-detached to all lands zoned U-3	11.0 m	
4.2.3.223.14	Maximum encroachment of a porch or balcony into required front or exterior side yard	2.0 m	
4.2.3.223.15	Maximum projection of a garage beyond either the main front entrance or beyond the main entry feature where provided	2.5 m	
4.2.3.223.16	Where a main entry feature has been provided, the maximum projection of a garage beyond a main front entrance	5.0 m	
4.2.3.223.17	For a semi-detached more than one storey in height, where the garage projects beyond the main front entrance, the garage shall be covered by a second storey which may be set back a maximum of 2.5 m from the garage face		
4.2.3.223.18	Maximum driveway width	3.8 m	
4.2.3.223.19	Maximum garage width: measured from the inside face of the garage side walls	3.8 m	
4.2.3.223.20	Detached garage shall not be permitted		

4.2.3.224	Exception: RS-224	Map # 22	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RS-224 zone the applicable regulations shall be as specified for a RS zone except that the following uses/regulations shall apply:			
Permitted Use			
4.2.3.224.1	Lands zoned RS-224 shall only be used for the following:		
	(1) Semi-Detached		
Regulations			
4.2.3.224.2	The area of all porches in front and exterior side yards shall be excluded from the calculation of lot coverage		
4.2.3.224.3	deleted		
4.2.3.224.4	deleted		
4.2.3.224.5	Maximum driveway width		5.6 m

4.2.3.225	Exception: RS-225	Map # 44E, 52E	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RS-225 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses/regulations shall apply:			
Regulations			
4.2.3.225.1	A detached dwelling shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law		
4.2.3.225.2	Semi-Detached:		
	(1)	maximum lot coverage - where the garage does not project more than 1.0 m beyond the main entry feature or 2.5 m beyond the main front entrance - interior lot	45%
	(2)	<i>deleted</i>	
	(3)	maximum projection of a garage beyond either the main front entrance or beyond the main entry feature where provided - interior lot	2.5 m
	(4)	where a main entry feature has been provided, the maximum projection of a garage beyond a main front entrance - interior lot	4.0 m
	(5)	for a semi-detached more than one storey in height , where the garage projects beyond the main front entrance , the garage shall be covered by a second storey which may be set back a maximum of 2.5 m from the garage face - interior lot	
	(6)	maximum porch area in a front yard - interior lot	12 m ²
	(7)	maximum total porch area in front and exterior side yards - corner lot	20 m ²
	(8)	the area of all porches in front and exterior side yards shall be excluded from the calculation of lot coverage	
	(9)	accessory buildings and structures shall not be located in the front yard or exterior side yard	

4.2.3.228	Exception: RS-228	Map # 27	By-law: 0174-2017, 0048-2025
In a RS-228 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses/regulations shall apply:			
Additional Permitted Use			
4.2.3.228.1	(1)	Linked Dwelling	
Regulations			
4.2.3.228.2	deleted		
4.2.3.228.3	A detached dwelling shall comply with the RL zone regulations contained in Subsection 4.2.1 of this By-law except that: (1) deleted (2) deleted		
4.2.3.228.4	A linked dwelling shall comply with the RS zone regulations for a semi-detached contained in Subsection 4.2.1 of this By-law except that: (1) minimum front yard		
			7.5 m

4.2.3.229	Exception: RS-229	Map # 44W	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RS-229 zone the applicable regulations shall be as specified for a RS zone except that the following uses/regulations shall apply:			
Permitted Use			
4.2.3.229.1	Lands zoned RS-229 shall only be used for the following:		
	(1) Semi-Detached		
Regulations			
4.2.3.229.2	(1)	maximum lot coverage - where the garage does not project more than 1.0 m beyond the main entry feature or 2.5 m beyond the main front entrance or a habitable room on the first storey or	45%
	(2)	where the width of the garage is 3.5 m or less, measured from the outside of opposite exterior walls or from the outside of an exterior wall to the midpoint of an interior wall or	45%
	(3)	all other lots	40%
4.2.3.229.3	Maximum projection of a garage beyond the main front entrance		7.5 m
4.2.3.229.4	For a semi-detached more than one storey in height , where the garage projects beyond the main front entrance , the garage shall be covered by a second storey which may be set back a maximum of 2.5 m from the garage face		
4.2.3.229.5	Maximum porch area in a front yard - interior lot		12 m ²
4.2.3.229.6	Maximum total porch area in front and exterior side yards - corner lot		20 m ²
4.2.3.229.7	The area of all porches in front and exterior side yards shall be excluded from the calculation of lot coverage		
4.2.3.229.8	Accessory buildings and structures shall not be located in the front yard or exterior side yard		

4.2.3.230	Exception: RS-230	Map # 36W	By-law: 0174-2017, 0048-2025
In a RS-230 zone the applicable regulations shall be as specified for a RS zone except that the following uses/regulations shall apply:			
Permitted Use			
4.2.3.230.1	Lands zoned RS-230 shall only be used for the following:		
	(1) Semi-Detached		
Regulations			
4.2.3.230.2	The regulations of Line 5.0 contained in Table 4.2.1 of this By-law shall not apply		
4.2.3.230.3	<i>deleted</i>		
4.2.3.230.4	Minimum rear yard - lot that contains a noise attenuation wall and/or a berm		6.0 m

4.2.3.231	Exception: RS-231	Map # 57	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RS-231 zone the applicable regulations shall be as specified for a RS zone except that the following uses/regulations shall apply:			
Permitted Use			
4.2.3.231.1	Lands zoned RS-231 shall only be used for the following:		
	(1) Semi-Detached		
Regulations			
4.2.3.231.2	The regulations of Line 5.0 contained in Table 4.2.1 of this By-law shall not apply		
4.2.3.231.3	<i>deleted</i>		
4.2.3.231.4	<i>deleted</i>		
4.2.3.231.5	<i>deleted</i>		
4.2.3.231.6	<i>deleted</i>		
4.2.3.231.7	Minimum front yard - lots without a municipal sidewalk adjacent the front lot line	3.5 m	
4.2.3.231.8	<i>deleted</i>		
4.2.3.231.9	Minimum exterior side yard - lots abutting a street with a right-of-way width less than 17.0 m	1.8 m	
4.2.3.231.10	Minimum setback to garage face	5.8 m	
4.2.3.231.11	<i>deleted</i>		
4.2.3.231.12	Minimum setback to a sight triangle	0.0 m	
4.2.3.231.13	Minimum setback of a semi-detached to all lands zoned U-3	13.2 m	
4.2.3.231.14	Maximum encroachment of a porch or balcony into required front and exterior side yard	2.0 m	
4.2.3.231.15	Maximum projection of a garage beyond either the main front entrance or beyond the main entry feature where provided	2.5 m	

Exception RS-231 continued on next page

4.2.3.231	Exception: RS-231	Map # 57	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025
Exception RS-231 continued from previous page			
4.2.3.231.16	Where a main entry feature has been provided, the maximum projection of a garage beyond a main front entrance		5.0 m
4.2.3.231.17	For a semi-detached more than one storey in height , where the garage projects beyond the main front entrance , the garage shall be covered by a second storey which may be set back a maximum of 2.5 m from the garage face		
4.2.3.231.18	Maximum driveway width - interior lot		4.3 m
4.2.3.231.19	Maximum driveway width - corner lot		4.7 m
4.2.3.231.20	Maximum garage width: measured from the inside face of the garage side walls		3.8 m
4.2.3.231.21	Detached garage shall not be permitted		

4.2.3.232	Exception: RS-232	Map # 57	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RS-232 zone the applicable regulations shall be as specified for a RS zone except that the following uses/regulations shall apply:			
Permitted Use			
4.2.3.232.1	Lands zoned RS-232 shall only be used for the following:		
	(1) Semi-Detached		
Regulations			
4.2.3.232.2	The regulations of Line 5.0 contained in Table 4.2.1 of this By-law shall not apply		
4.2.3.232.3	<i>deleted</i>		
4.2.3.232.4	<i>deleted</i>		
4.2.3.232.5	<i>deleted</i>		
4.2.3.232.6	<i>deleted</i>		
4.2.3.232.7	Minimum front yard - lots without a municipal sidewalk adjacent the front lot line	3.5 m	
4.2.3.232.8	<i>deleted</i>		
4.2.3.232.9	Minimum exterior side yard - lots abutting a street with a right-of-way width less than 17.0 m	1.8 m	
4.2.3.232.10	Minimum setback to garage face	5.8 m	
4.2.3.232.11	<i>deleted</i>		
4.2.3.232.12	Minimum setback to a sight triangle	0.0 m	
4.2.3.232.13	Minimum setback of a semi-detached to all lands zoned U-3	14.9 m	
4.2.3.232.14	Maximum encroachment of a porch or balcony into required front and exterior side yard	2.0 m	
4.2.3.232.15	Maximum projection of a garage beyond either the main front entrance or beyond the main entry feature where provided	2.5 m	

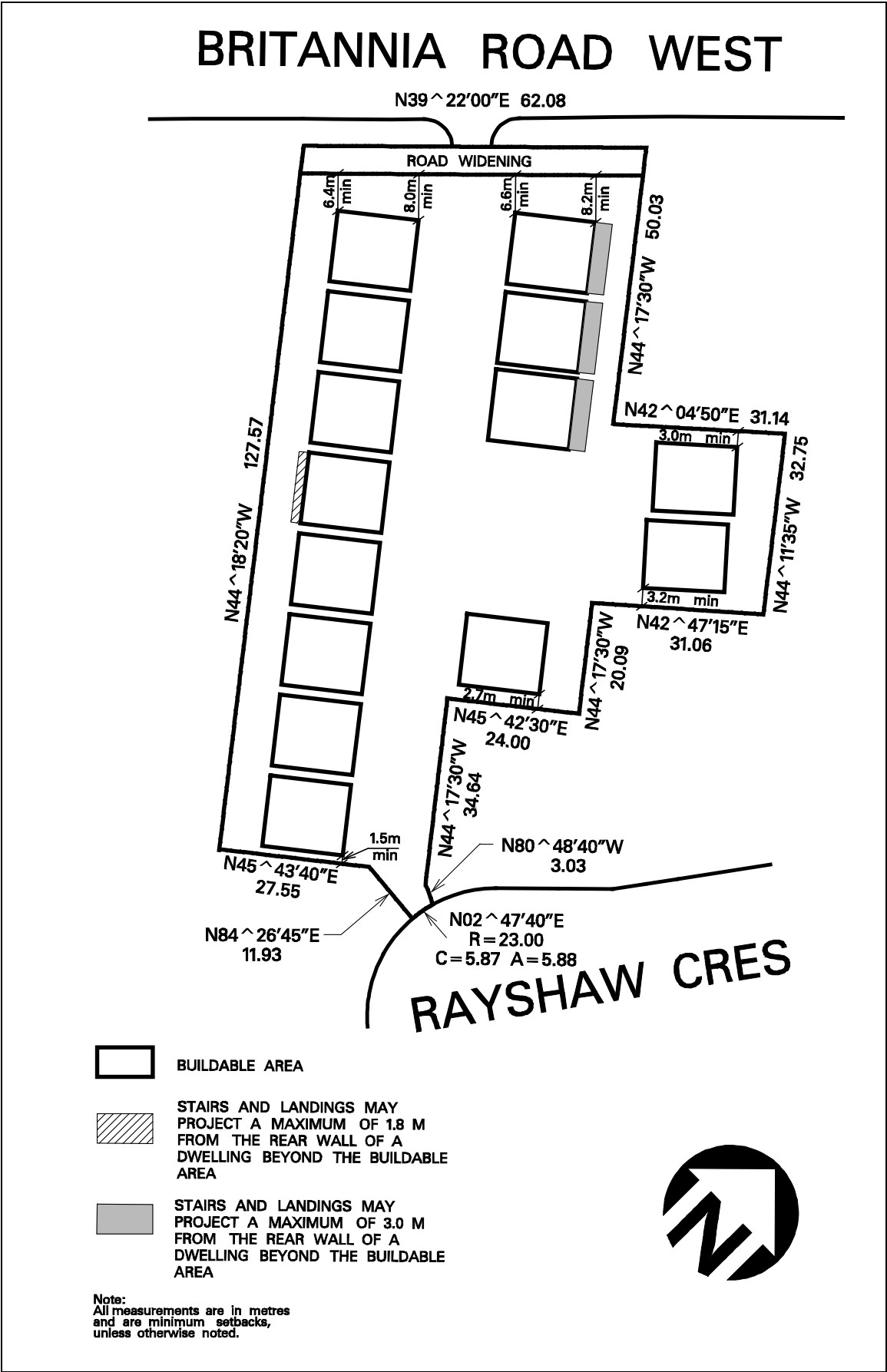
Exception RS-232 continued on next page

4.2.3.232	Exception: RS-232	Map # 57	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025
Exception RS-232 continued from previous page			
4.2.3.232.16	Where a main entry feature has been provided, the maximum projection of a garage beyond a main front entrance		5.0 m
4.2.3.232.17	For a semi-detached more than one storey in height , where the garage projects beyond the main front entrance , the garage shall be covered by a second storey which may be set back a maximum of 2.5 m from the garage face		
4.2.3.232.18	Maximum driveway width - interior lot		4.3 m
4.2.3.232.19	Maximum driveway width - corner lot		4.7 m
4.2.3.232.20	Maximum garage width: measured from the inside face of the garage side walls		3.8 m
4.2.3.232.21	Detached garage shall not be permitted		

4.2.3.233	Exception: RS-233	Map # 57	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RS-233 zone the applicable regulations shall be as specified for a RS zone except that the following uses/regulations shall apply:			
Permitted Use			
4.2.3.233.1	Lands zoned RS-233 shall only be used for the following:		
	(1) Semi-Detached		
Regulations			
4.2.3.233.2	The regulations of Line 5.0 contained in Table 4.2.1 of this By-law shall not apply		
4.2.3.233.3	Minimum front yard - lots without a municipal sidewalk adjacent the front lot line		3.5 m
4.2.3.233.4	deleted		
4.2.3.233.5	deleted		
4.2.3.233.6	Minimum exterior side yard - corner lots with a 0.3 m reserve along the exterior side lot line		4.2 m
4.2.3.233.7	Minimum setback to garage face		5.8 m
4.2.3.233.8	Minimum setback to a sight triangle		0.0 m
4.2.3.233.9	Maximum encroachment of a porch or balcony into a required front and exterior side yard		2.0 m
4.2.3.233.10	Maximum projection of a garage beyond either the main front entrance or beyond the main entry feature where provided		2.5 m
4.2.3.233.11	Where a main entry feature has been provided, the maximum projection of a garage beyond a main front entrance		5.0 m
4.2.3.233.12	For a semi-detached more than one storey in height, where the garage projects beyond the main front entrance, the garage shall be covered by a second storey which may be set back a maximum of 2.5 m from the garage face		
4.2.3.233.13	Maximum garage width: measured from the inside face of the garage side walls		3.8 m
4.2.3.233.14	Detached garage shall not be permitted		

4.2.3.234	Exception: RS-234	Map #	By-law: 0024-2011, <i>deleted by 0137-2013</i> , 0171-2015/OMB Order 2016 April 04, 0193-2016/OMB Order 2017 May 30, 0007-2022, <i>deleted by 0048-2025</i>

4.2.3.235	Exception: RS-235	Map # 39E	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0208-2022, 0048-2025
In a RS-235 zone the applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:			
Permitted Use			
4.2.3.235.1	Lands zoned RS-235 shall only be used for the following:		
	(1) Semi-Detached		
Regulations			
4.2.3.235.2	The regulations of Line 5.0 contained in Table 4.2.1 of this By-law shall not apply		
4.2.3.235.3	Maximum number of semi-detached dwelling units on all lands zoned RS-235	28	
4.2.3.235.4	Minimum landscaped area	40% of the lot area	
4.2.3.235.5	Maximum height - highest ridge: sloped roof	11.0 m	
4.2.3.235.6	Minimum setback to the front wall of a semi-detached from a condominium road	4.5 m	
4.2.3.235.7	Minimum setback to the rear wall of a semi-detached from a lot line	7.5 m	
4.2.3.235.8	Minimum separation between semi-detached	1.8 m	
4.2.3.235.9	Minimum setback to garage face from a condominium road	6.0 m	
4.2.3.235.10	Maximum projection of stairs and landings from the front wall of a dwelling outside the buildable area identified on Schedule RS-235 of this Exception	1.8 m	
4.2.3.235.11	Minimum number of common visitor parking spaces per dwelling unit	0.32	
4.2.3.235.12	All site development plans shall comply with Schedule RS-235 of this Exception		



4.2.3.236	Exception: RS-236	Map # 29	By-law: 0174-2017, 0048-2025
In a RS-236 zone the applicable regulations shall be as specified for a RS zone except that the following uses/regulations shall apply:			
Permitted Use			
4.2.3.236.1	Lands zoned RS-236 shall only be used for the following:		
	(1) Semi-Detached		
Regulations			
4.2.3.236.2	<i>deleted</i>		
4.2.3.236.3	<i>deleted</i>		
4.2.3.236.4	<i>deleted</i>		
4.2.3.236.5	<i>deleted</i>		
4.2.3.236.6	Minimum setback to a sight triangle	0.0 m	
4.2.3.236.7	Minimum setback of a semi-detached to all lands zoned PB1	17.15 m	
4.2.3.236.8	Maximum encroachment of a porch or balcony into a required front and exterior side yard	2.0 m	
4.2.3.236.9	Maximum driveway width	3.8 m	
4.2.3.236.10	Maximum garage width: measured from the inside face of the garage side walls	3.8 m	
4.2.3.236.11	Each dwelling shall have an attached garage		
4.2.3.236.12	Detached garage shall not be permitted		

4.2.3.237	Exception: RS-237	Map # 20	By-law: 0308-2011, 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RS-237 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses/regulations shall apply:			
Permitted Use			
4.2.3.237.1	Lands zoned RS-237 shall only be used for the following: (1) Semi-Detached		
Regulations			
4.2.3.237.2	The provisions contained in Subsection 2.1.14 of this By-law shall not apply		
4.2.3.237.3	Maximum lot coverage - where the garage does not project more than 1.0 m beyond the main entry feature or 2.5 m beyond the main front entrance - interior lot	45%	
4.2.3.237.4	Maximum lot coverage - all other lots	40%	
4.2.3.237.5	<i>deleted</i>		
4.2.3.237.6	Minimum interior side yard - unattached side	0.9 m	
4.2.3.237.7	Maximum height	9.0 m and 2 storeys	
4.2.3.237.8	Maximum projection of a garage beyond either the main front entrance or beyond the main entry feature where provided - interior lot	2.5 m	

Exception RS-237 continued on next page

4.2.3.237	Exception: RS-237	Map # 20	By-law: 0308-2011, 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025
Exception RS-237 continued from previous page			
4.2.3.237.9	Where a main entry feature has been provided, the maximum projection of a garage beyond a main front entrance - interior lot		4.0 m
4.2.3.237.10	For a semi-detached more than one storey in height , where the garage projects beyond the main front entrance , the garage shall be covered by a second storey which may be set back a maximum of 2.5 m from the garage face - interior lot		
4.2.3.237.11	Maximum porch area in a front yard - interior lot		12 m ²
4.2.3.237.12	Maximum total porch area in front and exterior side yards - corner lot		20 m ²
4.2.3.237.13	The area of all porches in front and exterior side yards shall be excluded from the calculation of lot coverage		
4.2.3.237.14	Accessory buildings and structures shall not be located in the front yard or exterior side yard		

4.2.3.238	Exception: RS-238	Map # 20	By-law: 0308-2011, 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RS-238 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:			
Permitted Use			
4.2.3.238.1	Lands zoned RS-238 shall only be used for the following:		
	(1) Semi-Detached		
Regulations			
4.2.3.238.2	The provisions contained in Subsection 2.1.14 of this By-law shall not apply		
4.2.3.238.3	Maximum lot coverage - where the garage does not project more than 1.0 m beyond the main entry feature or 2.5 m beyond the main front entrance - interior lot	45%	
4.2.3.238.4	Maximum lot coverage - all other lots	40%	
4.2.3.238.5	<i>deleted</i>		
4.2.3.238.6	Minimum interior side yard - unattached side	1.8 m on one side of the dwelling and 0.9 m on the other	
4.2.3.238.7	Maximum height	9.0 m and 2 storeys	
4.2.3.238.8	Maximum projection of a garage beyond either the main front entrance or beyond the main entry feature where provided - interior lot	2.5 m	
4.2.3.238.9	Where a main entry feature has been provided, the maximum projection of a garage beyond a main front entrance - interior lot	4.0 m	
4.2.3.238.10	For a semi-detached more than one storey in height , where the garage projects beyond the main front entrance , the garage shall be covered by a second storey which may be set back a maximum of 2.5 m from the garage face - interior lot		

Exception RS-238 continued on next page

4.2.3.238	Exception: RS-238	Map # 20	By-law: 0308-2011, 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025
Exception RS-238 continued from previous page			
4.2.3.238.11	Maximum porch area in a front yard - interior lot		12 m ²
4.2.3.238.12	Maximum total porch area in front and exterior side yards - corner lot		20 m ²
4.2.3.238.13	The area of all porches in front and exterior side yards shall be excluded from the calculation of lot coverage		
4.2.3.238.14	Accessory buildings and structures shall not be located in the front yard or exterior side yard		

4.2.3.239	Exception: RS-239	Map # 20	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RS-239 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses/regulations shall apply:			
Permitted Use			
4.2.3.239.1	Lands zoned RS-239 shall only be used for the following:		
	(1) Semi-Detached		
Regulations			
4.2.3.239.2	The provisions contained in Subsection 2.1.14 of this By-law shall not apply		
4.2.3.239.3	Maximum lot coverage - where the garage does not project more than 1.0 m beyond the main entry feature or 2.5 m beyond the main front entrance - interior lot	45%	
4.2.3.239.4	Maximum lot coverage - all other lots	40%	
4.2.3.239.5	Minimum interior side yard - unattached side	0.9 m	
4.2.3.239.6	Maximum projection of a garage beyond either the main front entrance or beyond the main entry feature where provided - interior lot	2.5 m	
4.2.3.239.7	Where a main entry feature has been provided, the maximum projection of a garage beyond a main front entrance - interior lot	4.0 m	
4.2.3.239.8	For a semi-detached more than one storey in height , where the garage projects beyond the main front entrance , the garage shall be covered by a second storey which may be set back a maximum of 2.5 m from the garage face - interior lot		
4.2.3.239.9	Maximum porch area in a front yard - interior lot	12 m ²	
4.2.3.239.10	Maximum total porch area in front and exterior side yards - corner lot	20 m ²	
4.2.3.239.11	The area of all porches in front and exterior side yards shall be excluded from the calculation of lot coverage		
4.2.3.239.12	Accessory buildings and structures shall not be located in the front yard or exterior side yard		

4.2.3.240	Exception: RS-240	Map # 19	By-law: 0212-2015, 0174-2017, 0048-2025
In a RS-240 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:			
Regulations			
4.2.3.240.1	Semi-Detached:		
	(1)	minimum lot area - interior lot	191 m ²
	(2)	the front lot line shall be deemed to be the easterly lot line abutting lands zoned OS2	

4.2.3.241	Exception: RS-241	Map # 30	By-law: 0184-2008, 0174-2017, 0048-2025
In a RS-241 zone the applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:			
Permitted Use			
4.2.3.241.1	Lands zoned RS-241 shall only be used for the following:		
	(1) Semi-Detached		
Regulations			
4.2.3.241.2	<i>deleted</i>		
4.2.3.241.3	Minimum lot area - corner lot	250 m ²	
4.2.3.241.4	Minimum lot frontage - corner lot	8.2 m	
4.2.3.241.5	Maximum lot coverage	50%	
4.2.3.241.6	<i>deleted</i>		
4.2.3.241.7	Minimum interior side yard - unattached side	1.2 m	
4.2.3.241.8	Maximum encroachment of a porch or a balcony into the required front yard or exterior side yard	2.0 m	
4.2.3.241.9	Maximum height	11.0 m	
4.2.3.241.10	Maximum driveway width	3.8 m	
4.2.3.241.11	Minimum setback to a sight triangle	0.0 m	
4.2.3.241.12	Maximum area of a balcony on top of an attached garage	6 m ²	
4.2.3.241.13	A detached garage shall not be permitted		

4.2.3.242	Exception: RS-242	Map # 30	By-law: 0184-2008, 0174-2017, 0048-2025
In a RS-242 zone the applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:			
Permitted Use			
4.2.3.242.1	Lands zoned RS-242 shall only be used for the following:		
	(1) Semi-Detached		
Regulations			
4.2.3.242.2	<i>deleted</i>		
4.2.3.242.3	Minimum lot area - corner lot	250 m ²	
4.2.3.242.4	<i>deleted</i>		
4.2.3.242.5	<i>deleted</i>		
4.2.3.242.6	Maximum lot coverage	50%	
4.2.3.242.7	<i>deleted</i>		
4.2.3.242.8	Minimum interior side yard - unattached side	1.2 m	
4.2.3.242.9	Minimum rear yard	6.0 m	
4.2.3.242.10	Maximum encroachment of a porch or a balcony into the required front yard or exterior side yard	2.0 m	
4.2.3.242.11	Maximum height	11.0 m	
4.2.3.242.12	Maximum driveway width	50% of lot frontage	
4.2.3.242.13	Minimum setback to a sight triangle	0.0 m	
4.2.3.242.14	Maximum area of a balcony on top of an attached garage	6 m ²	
4.2.3.242.15	A detached garage shall not be permitted		

4.2.3.243	Exception: RS-243	Map # 29	By-law: 0286-2008, 0379-2009, 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RS-243 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:			
Regulations			
4.2.3.243.1	Detached Dwelling:		
	(1)	the regulations of Subsection 2.1.14 of this By-law shall not apply	
	(2)	maximum lot coverage	45%
	(3)	minimum setback to garage face	7.0 m
	(4)	<i>deleted</i>	
	(5)	minimum setback to Eglinton Avenue West	7.5 m
	(6)	minimum setback to Confederation Parkway	6.0 m
	(7)	maximum area of a balcony on top of an attached garage	12 m ²

Exception RS-243 continued on next page

4.2.3.243	Exception: RS-243	Map # 29	By-law: 0286-2008, 0379-2009, 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025
Exception RS-243 continued from previous page			
4.2.3.243.2	Semi-Detached: (1)the regulations of Subsection 2.1.14 of this By-law shall not apply (2)maximum lot coverage 48% (3)minimum setback to garage face 7.0 m (4)minimum interior side yard - unattached side 1.2 m (5)minimum rear yard 7.0 m (6)minimum setback to Eglinton Avenue West 7.5 m (7)minimum setback to Confederation Parkway 6.0 m (8)maximum area of a balcony on top of an attached garage 12 m²		

4.2.3.244	Exception: RS-244	Map # 37W	By-law: 0024-2011, 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RS-244 zone the applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:			
Permitted Use			
4.2.3.244.1	Lands zoned RS-244 shall only be used for the following:		
	(1) Semi-Detached		
Regulations			
4.2.3.244.2	<i>deleted</i>		
4.2.3.244.3	<i>deleted</i>		
4.2.3.244.4	<i>deleted</i>		
4.2.3.244.5	Maximum lot coverage	50%	
4.2.3.244.6	Minimum setback to garage face	7.0 m	
4.2.3.244.7	Minimum rear yard	7.0 m	
4.2.3.244.8	Maximum encroachment of a porch or a deck , located at and accessible from the first storey or below the first storey of the dwelling, inclusive of stairs, into a required front and/or exterior side yard	2.0 m	

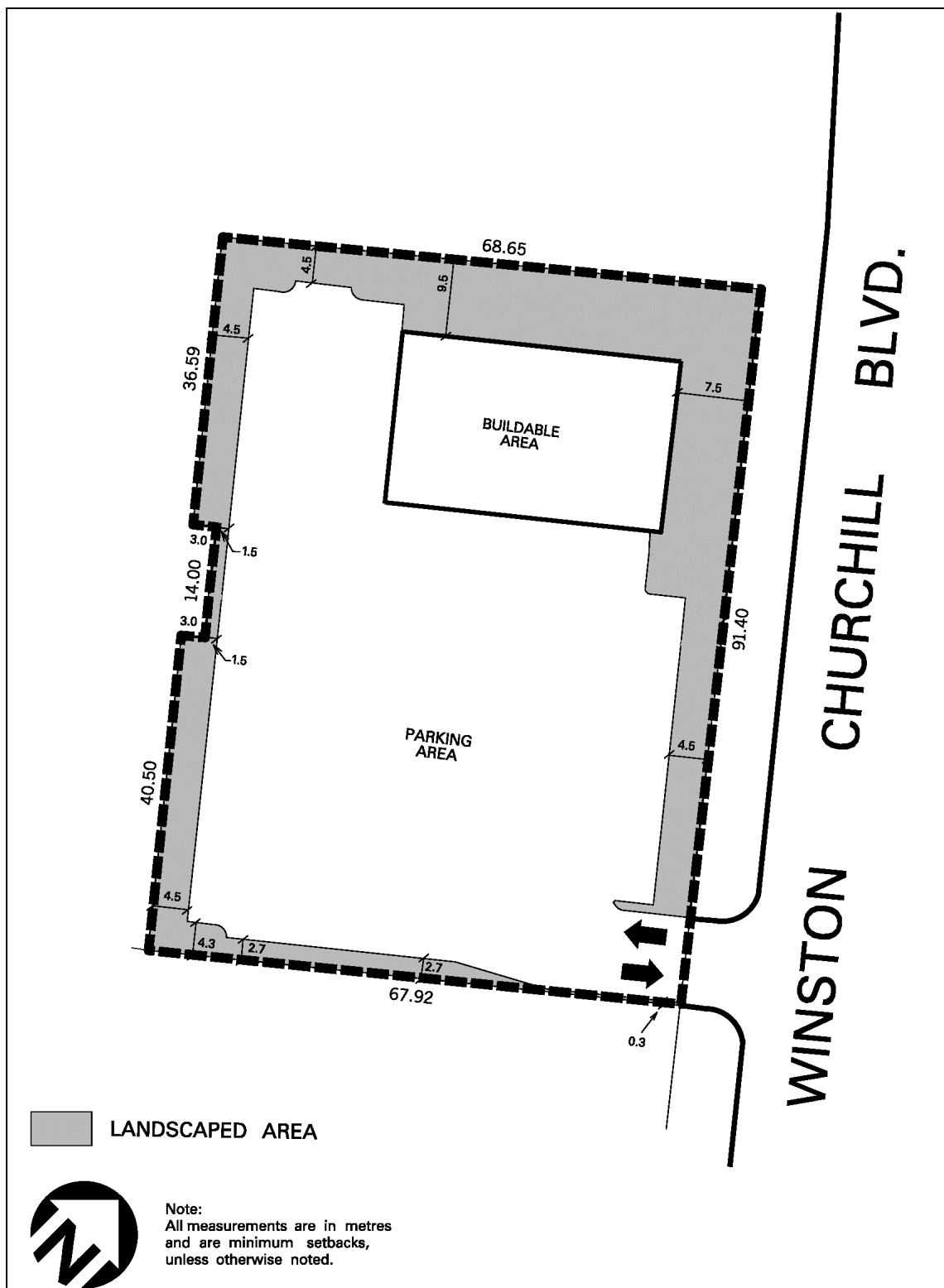
4.2.3.245	Exception: RS-245	Map # 37W	By-law: 0024-2011, 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RS-245 zone the applicable regulations shall be as specified for a RS zone except that the following uses/regulations shall apply:			
Permitted Use			
4.2.3.245.1	Lands zoned RS-245 shall only be used for the following:		
	(1) Semi-Detached		
Regulations			
4.2.3.245.2	<i>deleted</i>		
4.2.3.245.3	Minimum lot area - corner lot	260 m ²	
4.2.3.245.4	Maximum lot coverage	50%	
4.2.3.245.5	Minimum setback to garage face	7.0 m	
4.2.3.245.6	Minimum rear yard	7.0 m	
4.2.3.245.7	Maximum encroachment of a porch or a deck , located at and accessible from the first storey or below the first storey of the dwelling, inclusive of stairs, into a required front and/or exterior side yard	2.0 m	

4.2.3.246	Exception: RS-246	Map # 56	By-law: 0146-2012, 0174-2017, 0048-2025
In a RS-246 zone the applicable regulations shall be as specified for a RS zone except that the following uses/regulations shall apply:			
Permitted Use			
4.2.3.246.1	Lands zoned RS-246 shall only be used for the following:		
	(1) Semi-Detached		
Regulations			
4.2.3.246.2	The provisions contained in Subsection 2.1.14 of this By-law shall not apply		
4.2.3.246.3	The lot line abutting Ninth Line shall be deemed to be the front lot line		
4.2.3.246.4	Minimum lot frontage - interior lot	6.7 m	
4.2.3.246.5	Minimum rear yard	6.0 m	
4.2.3.246.6	Detached garage	Required	
4.2.3.246.7	Minimum setback of a semi-detached to a detached garage	5.7 m	

4.2.3.247	Exception: RS-247	Map # 57	By-law: 0055-2012, 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RS-247 zone the applicable regulations shall be as specified for a RS zone except that the following uses/regulations shall apply:			
Permitted Use			
4.2.3.247.1	Lands zoned RS-247 shall only be used for the following:		
	(1) Semi-Detached		
Regulations			
4.2.3.247.2	Minimum lot area - interior lot	193 m ²	
4.2.3.247.3	Minimum lot area - corner lot	252 m ²	
4.2.3.247.4	<i>deleted</i>		
4.2.3.247.5	Maximum lot coverage	55%	
4.2.3.247.6	Minimum front yard - lots without a municipal sidewalk adjacent the front lot line	3.5 m	
4.2.3.247.7	<i>deleted</i>		
4.2.3.247.8	Minimum interior side yard - unattached side	1.2 m	
4.2.3.247.9	Minimum rear yard where the rear lot line abuts an 8.0 m public lane	6.0 m	
4.2.3.247.10	Minimum rear yard - all other lots	7.0 m	
4.2.3.247.11	Minimum setback to garage face	5.8 m	
4.2.3.247.12	Maximum driveway width - interior lot	4.3 m	
4.2.3.247.13	Maximum driveway width - corner lot	4.7 m	
4.2.3.247.14	Maximum garage width: measured from the inside face of the garage side walls	3.8 m	
4.2.3.247.15	Maximum encroachment of a porch or balcony into the required front and exterior side yards	2.0 m	
4.2.3.247.16	Minimum setback of stairs from the front and exterior side lot lines	1.0 m	
4.2.3.247.17	Maximum projection of a garage beyond either the main front entrance or beyond the main entry feature , where provided	2.5 m	
4.2.3.247.18	Where a main entry feature has been provided, the maximum projection of a garage beyond a main front entrance	5.0 m	
4.2.3.247.19	For a semi-detached more than one storey in height , where the garage projects beyond the main front entrance , a minimum of 75% of the width of the garage measured from the inside face of the garage walls, shall be covered by a second storey which may be set back a maximum of 2.5 m from the garage face		
4.2.3.247.20	Maximum area of a balcony above an attached garage	10 m ²	
4.2.3.247.21	Maximum projection of a balcony above an attached garage	1.0 m	
4.2.3.247.22	Minimum setback to a sight triangle	0.0 m	

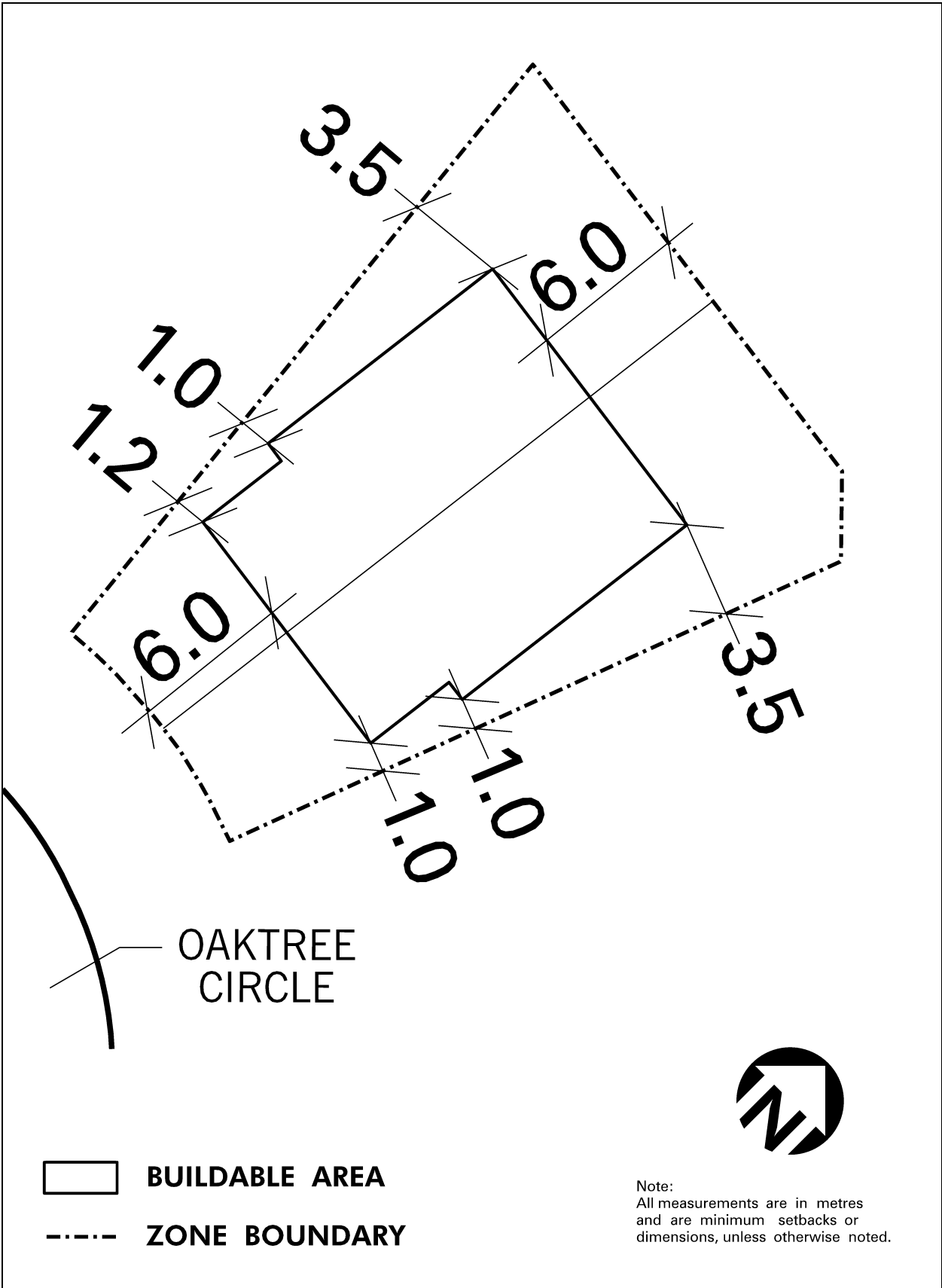
4.2.3.248	Exception: RS-248	Map # 57	By-law: 0055-2012, 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0048-2025
In a RS-248 zone the applicable regulations shall be as specified for a RS zone except that the following uses/regulations shall apply:			
Permitted Use			
4.2.3.248.1	Lands zoned RS-248 shall only be used for the following:		
	(1) Semi-Detached		
Regulations			
4.2.3.248.2	<i>deleted</i>		
4.2.3.248.3	<i>deleted</i>		
4.2.3.248.4	Minimum lot area - corner lot	224 m ²	
4.2.3.248.5	<i>deleted</i>		
4.2.3.248.6	Minimum lot frontage - corner lot	7.6 m	
4.2.3.248.7	Maximum lot coverage	55%	
4.2.3.248.8	Minimum front yard - lots without a municipal sidewalk adjacent the front lot line	3.5 m	
4.2.3.248.9	<i>deleted</i>		
4.2.3.248.10	Detached garage shall be required and shall only be permitted in the rear yard		
4.2.3.248.11	Minimum setback of a detached garage to interior side lot line unattached side - interior lot	0.8 m	
4.2.3.248.12	Minimum setback of a detached garage to interior side lot line attached side - interior lot	0.0 m	
4.2.3.248.13	Minimum rear yard where the rear lot line abuts an 8.0 m public lane	6.0 m	
4.2.3.248.14	Minimum rear yard - all other lots	7.0 m	
4.2.3.248.15	Minimum setback to garage face	5.8 m	
4.2.3.248.16	Minimum setback of a detached garage to a rear lot line	0.5 m	
4.2.3.248.17	Maximum driveway width	6.5 m	
4.2.3.248.18	Maximum garage width: measured from the inside face of the garage side walls	5.7 m	
4.2.3.248.19	Minimum setback of a detached garage to the semi-detached on the same lot	6.0 m	
4.2.3.248.20	Maximum encroachment of a porch or balcony into the required front and exterior side yards	2.0 m	
4.2.3.248.21	Minimum setback of stairs from the front and exterior side lot lines	1.0 m	
4.2.3.248.22	Minimum setback to a sight triangle	0.0 m	
4.2.3.248.23	The lot line abutting Tenth Line West shall be deemed to be the front lot line		

4.2.3.249	Exception: RS-249	Map # 56	By-law: 0032-2017, 0048-2025
In a RS-249 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:			
Regulations			
4.2.3.249.1	A place of religious assembly shall comply with the regulations contained in Article 2.1.9.3 of this By-law except that:		
(1)	maximum gross floor area - non-residential	1 140 m ²	
(2)	maximum worship area	325 m ²	
(3)	all site development plans for a place of religious assembly shall comply with Schedule RS-249 of this Exception		



Schedule RS-249
Map 56

4.2.3.250	Exception: RS-250	Map # 44E	By-law: 0105-2024, 0048-2025
In a RS-250 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:			
Regulations			
4.2.3.250.1	Minimum lot area - interior lot		190 m ²
4.2.3.250.2	A porch or deck may project outside the buildable area identified on Schedule RS-250 of this Exception		
4.2.3.250.3	Notwithstanding Sentence 4.2.3.250.4 of this Exception, a porch or deck shall comply with the provisions contained in Subsection 4.1.5 of this By-law		
4.2.3.250.4	All site development plans shall comply with Schedule RS-250 of this Exception		
Holding Provision			
The holding symbol H is to be removed from the whole or any part of the lands zoned H-RS-250 by further amendment to Map 44E of Schedule B contained in Part 13 of this By-law, as amended, upon satisfaction of the following requirements: (1) delivery of an executed Development Agreement with Municipal and Regional Infrastructure Schedules in a form and on terms satisfactory to The Corporation of the City of Mississauga ("City"); (2) submission of a Draft Reference Plan illustrating the required land dedications, conveyances, and easements including part block numbers, to the satisfaction of the City and the Region of Peel ("Region"); (3) gratuitous dedication of lands to achieve the ultimate 50.5 m right-of-way of Regional Road 5 (Derry Road West), as well as a 0.3 m reserve, to the satisfaction of the Region; (4) submission of a revised Functional Servicing and Stormwater Management Report to the satisfaction of the City's Transportation and Works Department and the Region; (5) submission of a revised Traffic Impact Study (TIS) to the satisfaction of the City's Transportation and Works Department, Municipal Parking Section, and the Region; (6) submission of a detailed engineering submission for the road and access works impacting Derry Road West, to the satisfaction of the Region; (7) submission of revised Grading and Servicing Plans to the satisfaction of the City's Transportation and Works and Planning and Building Departments; (8) submission of a revised Noise Feasibility Study to the satisfaction of the City's Planning and Building Department; (9) submission of a revised Phase One and Phase Two Environmental Site Assessment, Storm Sewer Use By-law Acknowledgment and related documents required for environmental compliance to the satisfaction of the City's Transportation and Works Department; (10) submission of a revised Tree Inventory/Survey, Tree Preservation Plan, and Arborist Report to the satisfaction of the City's Planning and Building Department.			



Schedule RS-250
Map 44E

4.2.3.251	Exception: RS-251	Map # 48W	By-law: 0132-2017, 0048-2025
In a RS-251 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:			
Regulation			
4.2.3.251.1	Maximum number of semi-detached dwelling units		26
Holding Provision			
The holding symbol H is to be removed from the whole or any part of the lands zoned H-RS-251 by further amendment to Map 48W of Schedule B contained in Part 13 of this By-law, as amended, upon satisfaction of the following requirements:			
(1) submission of a complete Record of Site Condition (RSC) and final Environmental Report satisfactory to the City confirming satisfactory environmental remediation of the lands;			
(2) delivery of an executed agreement for community benefits pursuant to section 37 of the <i>Planning Act</i> , as amended, in a form and on terms satisfactory to the City.			

4.2.3.252	Exception: RS-252	Map # 15	By-law: 0084-2021, 0048-2025
In a RS-252 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:			
Regulation			
4.2.3.252.1	A semi-detached shall comply with the RS zone regulations contained in Subsection 4.2.1 of this By-law except that:		
(1)	minimum lot frontage - corner lot		9.0 m

4.2.3.253	Exception: RS-253	Map # 44W	By-law: 0009-2022, 0048-2025
In a RS-253 zone the permitted uses and applicable regulations shall be as specified for a RS zone except that the following uses /regulations shall apply:			
Regulation			
4.2.3.253.1	Maximum lot coverage		48%

4.2.3.254	Exception: RS-254	Map #	By-law: 0048-2025