

Amendment No. #

to

Mississauga Official Plan

By-law No. _____

A by-law to Adopt Mississauga Official Plan Amendment No. #

WHEREAS in accordance with the provisions of sections 17 or 21 of the *Planning Act*, R.S.O. 1990, c.P.13, as amended, ("*Planning Act*") Council may adopt an Official Plan or an amendment thereto;

AND WHEREAS, pursuant to subsection 17(10) of the *Planning Act*, the Ministry of Municipal Affairs and Housing authorized the Regional Municipality of Peel ("Region" or "Regional"), an approval authority, to exempt from its approval any or all proposed Local Municipal Official Plan Amendments;

AND WHEREAS, Regional Council passed By-law Number 1-2000 which exempted all Local Municipal Official Plan Amendments adopted by local councils in the Region after March 1, 2000, provided that they conform with the Regional Official Plan and comply with conditions of exemption;

AND WHEREAS, the Commissioner of Public Works for the Region has advised that, with regard to Amendment No. #, in his or her opinion the amendment conforms with the Regional Official Plan and is exempt;

AND WHEREAS, Council desires to adopt certain amendments to Mississauga Official Plan regarding policy changes/mapping modifications within the Lakeview Local Area Plan;

NOW THEREFORE the Council of The Corporation of the City of Mississauga ENACTS as follows:

1. The document attached hereto, constituting Amendment No. # to Mississauga Official Plan, is hereby adopted.

ENACTED and PASSED this _____ day of _____, 2020.

Signed _____
MAYOR

Signed _____
CLERK

Amendment No. #
to
Mississauga Official Plan

The following text and Maps "A", "B", "C", "D", and "E" attached constitute Amendment No. #.

Also attached but not constituting part of the Amendment are Appendices I and II.

Appendix I is a description of the Public Meeting held in connection with this Amendment.

Appendix II is a copy of the Planning and Building Department report dated XX, pertaining to this Amendment.

PURPOSE

The purpose of this Amendment is to permit a 7-storey rental apartment building with non-residential floor space located on the ground floor and to change the land use designation of the subject lands from Mixed Use and Residential Low Density II to Residential High Density.

This Amendment also amends the designated maximum building height from 4 to 7 storeys.

LOCATION

The lands affected by this Amendment are located on the south west corner of East Avenue and Lakeshore Road East. The subject lands are located in the Lakeview Neighbourhood Character Area, as identified in Mississauga Official Plan.

BASIS

Mississauga Official Plan came into effect on November 14, 2012, save and except for the outstanding site-specific appeals to the Local Planning Appeal Tribunal.

The subject lands are designated Mixed Use and Residential Low Density II which permits a mix of uses including commercial, institutional, office, residential uses with non-residential uses required at grade along Lakeshore Road East.

An Official Plan Amendment is required to permit residential uses on the ground floor of the proposed building and to increase the maximum building height permitted from 4 storeys to 7 storeys.

The proposed Amendment is acceptable from a planning standpoint and should be approved for the following reasons:

1. The proposal meets the intent, goals and objectives of the Mississauga Official Plan.
2. The site is well served by a variety of existing and planned public transportation and active transportation options, community services, public open spaces, retail, commercial, employment and institutional uses.
3. The proposal supports the affordable housing objectives of the City of Mississauga and will optimize the provision of affordable rental housing options on the site.
4. The lands are suitable for the proposed uses and height as they are located in an ideal location for intensification as per the Mississauga Official Plan within a Corridor and in walking distance to planned higher order transit.
5. An appropriate transition in built form that respects the existing and planned surrounding context will be achieved. The significant separation distance and existing and proposed landscaping will provide an appropriate transition and separation to the existing residential area to the west and south west. The proposed massing and height will be compatible with the planned vision for the Lakeshore Road East Corridor and Lakeview Waterfront Major Node to the east.

DETAILS OF THE AMENDMENT AND POLICIES RELATIVE THERETO

Schedule/Map Amendments

1. Schedule 1, Urban System, of the Mississauga Official Plan is hereby amended by removing the Green System designation from the subject lands, as shown on Map “A” of this Amendment.
2. Schedule 1a, Urban System – Green System, of the Mississauga Official Plan is hereby amended by removing the Green System designation from the subject lands, as shown on Map “B” of this Amendment.
3. Schedule 4, Parks and Open Space, of the Mississauga Official Plan is hereby amended by removing the Educational Facilities designation from the subject lands, as shown on Map “C” of this Amendment.
4. Schedule 10, Land Use Designations, of the Mississauga Official Plan, is hereby amended by changing the land use designation for the site from Mixed Use and Residential Low Density II to Residential High Density, as shown on Map “D” of this Amendment.
5. Map 3, Lakeview Local Area Plan Height Limits, of the Mississauga Official Plan Lakeview Local Area Plan is hereby amended by adding a site-specific height permission of 4 to 7 storeys for the subject lands, as shown on Map “E” of this Amendment.

IMPLEMENTATION

Upon the approval of this Amendment by the Council of the Corporation of the City of Mississauga, Mississauga Official Plan will be amended in accordance with this Amendment.

The lands will be rezoned to implement this Amendment.

This Amendment has been prepared based on the Office Consolidation of Mississauga Official Plan November 22, 2019.

INTERPRETATION


The provisions of Mississauga Official Plan, as amended from time to time regarding the interpretation of that Plan, will apply in regard to this Amendment.






This Amendment supplements the intent and policies of Mississauga Official Plan.




(File XXX)


Maps

MAP 'A' - PART OF
Schedule 1
Urban System

Green System
 Green System

City Structure
 Downtown
 Major Node
 Community Node
 Neighbourhood
 Corporate Centre
 Employment Area
 Special Purpose Area

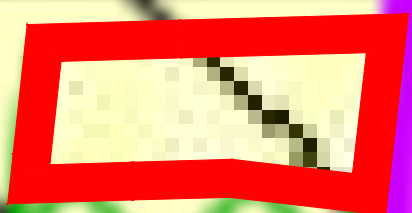
Corridors
 Corridor
 Intensification Corridor
 **SUBJECT PROPERTY**

 SCALE 1:3000
APRIL 21, 2020

LAKESHORE
ROAD EAST



LAKESHORE
ROAD EAST



EXISTING LAND USE DESIGNATIONS

PROPOSED LAND USE DESIGNATIONS

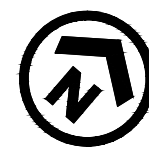
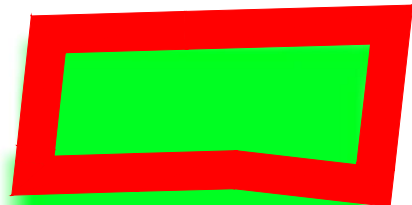
MAP 'B' - PART OF
Schedule 1a
Urban System -
Green System



SUBJECT PROPERTY

LAKESHORE
ROAD EAST

LAKESHORE
ROAD EAST



SCALE 1:3000
APRIL 21, 2020

EXISTING LAND USE DESIGNATIONS

PROPOSED LAND USE DESIGNATIONS








MISSISSAUGA

MAP 'C' - PART OF
Schedule 4
Parks and
Open Spaces

LAKESHORE
ROAD EAST

LAKESHORE
ROAD EAST

-  Public and Private Open Spaces
-  Parkway Belt West
-  Educational Facilities
-  Utilities
-  **SUBJECT PROPERTY**
















SCALE 1:3000
APRIL 21, 2020

EXISTING LAND USE DESIGNATIONS

PROPOSED LAND USE DESIGNATIONS

MAP 'D' - PART OF Schedule 10 Land Use Designations

LAND USE DESIGNATIONS		 SUBJECT PROPERTY
	Residential Low Density I	 Industrial
	Residential Low Density II	 Airport
	Residential Medium Density	 Institutional
	Residential High Density	 Public Open Space
	Mixed Use	 Private Open Space
	Convenience Commercial	 Greenlands
	Motor Vehicle Commercial	 Parkway Belt West
	Office	 Utility
	Business Employment	 Partial Approval Area

BASE MAP INFORMATION			
	Heritage Conservation District		Civic Centre (City Hall)
	1996 NEP/2000 NEF Composite Noise Contours		City Centre Transit Terminal
	LBPIA Operating Area Boundary See Aircraft Noise Policies		GO Rail Transit Station
	Area Exception from LBPIA Operating Area		Transitway Station
	Natural Hazards		Public School
			Catholic School
			Hospital
			Community Facilities

City Structure



Downtown




Corporate Centre



Major Node



Employment Area



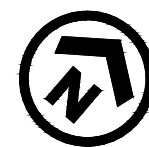
Community Node



Special Purpose Area



Neighbourhood



SCALE 1:3000
APRIL 21, 2020







EXISTING LAND USE DESIGNATIONS

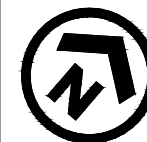


PROPOSED LAND USE DESIGNATIONS

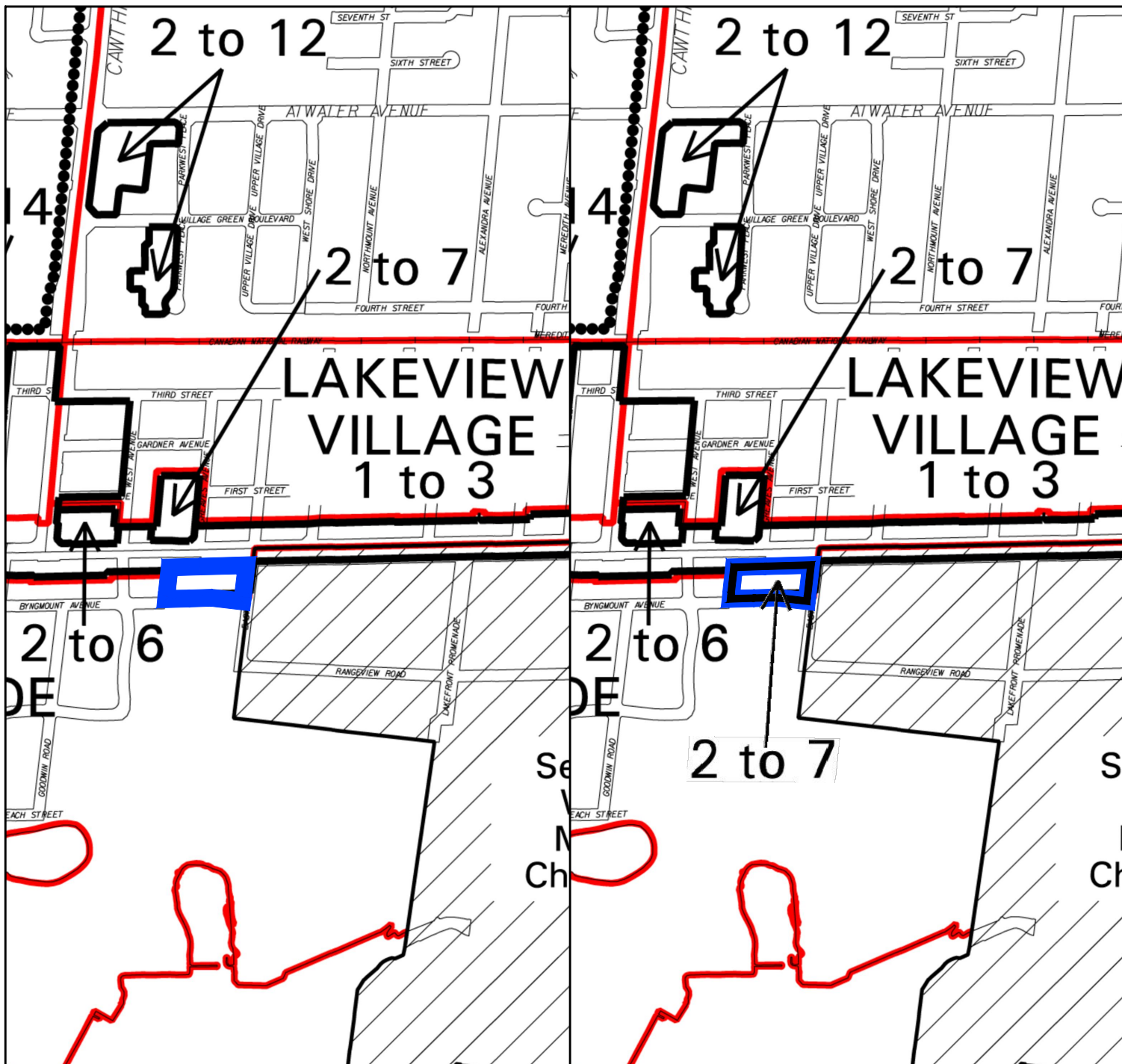
MAP 'E' - PART OF Map 3 Lakeview Local Area Plan Height Limits

Legend

-  Sub-Area Boundary
-  To Be Determined
-  Local Area Plan Boundary
-  SUBJECT PROPERTY



SCALE 1:10,000
APRIL 21, 2020



EXISTING LAND USE DESIGNATIONS

PROPOSED LAND USE DESIGNATIONS

APPENDIX I

PUBLIC MEETING

All property owners within a radius of 120 m of the subject lands were invited to attend a Public Meeting of the Planning and Development Committee held on XXX in connection with this proposed Amendment.

APPENDIX II

City Planning and Development Committee Report – Dated XXX

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