

ROADS

1. ALL FILL WITH ROAD ALLOWANCE AND EASEMENTS TO BE COMPACTED TO MIN 95% STANDARD PROCTOR DENSITY. THE SUITABILITY AND COMPACTION OF ALL FILL MATERIALS TO BE USED SHALL BE CONFIRMED BY A REGISTERED SOIL CONSULTANT TO THE CITY ENGINEER AND THE SUBGRADE OF ALL ROADWAYS SHALL BE PROOF ROLLED UNDER THE SUPERVISION OF THE SOILS CONSULTANT PRIOR TO THE INSTALLATION OF ANY ROAD BASE MATERIALS.
2. THE DEVELOPER/CONTRACTOR IS RESPONSIBLE FOR LOCATING AND PROTECTING ALL EXISTING UTILITIES PRIOR TO AND DURING CONSTRUCTION. LOCATION OF EXISTING UTILITIES, WATERMANS, SEWERS AND OTHER UNDERGROUND OR ABOVEGROUND UTILITIES AND STRUCTURES ARE NOT NECESSARILY SHOWN ON THE DRAWINGS. PRIOR TO COMMENCEMENT OF WORK, CONTRACTOR MUST EXAMINE THE ACCURACY OF SUCH EXISTING UTILITIES AND STRUCTURES WHETHER SHOWN OR NOT AND ASSUME ALL LIABILITY FOR DAMAGE TO THEM. ANY DISCREPANCIES TO LOCATION OF EXISTING WATERMANS AND SEWERS TO BE RECTIFIED AT DEVELOPER/ CONTRACTOR'S EXPENSE.
3. THE DEVELOPER/CONTRACTOR MUST ENSURE THAT A SUBGRADE CERTIFICATE IS ISSUED BY THE GEOTECHNICAL SOILS CONSULTANT TO THE ENGINEER. ONLY UPON VERIFICATION AND APPROVAL OF THE SUBGRADE BY THE LOCAL AUTHORITY INSPECTION DEPARTMENT, WILL COMMENCEMENT OF ANY ROAD BASE MATERIALS BE PLACED. FAILURE TO FOLLOW THIS PROCEDURE WILL MEAN THE REMOVAL OF ROAD BASE MATERIALS AND/OR ADDITIONAL TESTING THAT PROPER COMPACTION HAS BEEN ACHIEVED AT THE SUBGRADE AT DEVELOPER/CONTRACTOR'S EXPENSE.
4. TRENCH BACKFILLING ON PROPOSED ROADS SHALL COMPLY WITH CITY OF MISSISSAUGA SECTION 42.04 - TRENCH BACKFILLING ON ROADS AS PROVIDED IN THE CITY'S DEVELOPMENT REQUIREMENT MANUAL.
 - a. THE TOP 100mm OF THE SUBGRADE IS TO BE COMPACTED TO A MINIMUM 95% OF SPD WITHIN 2% OF THE OPTIMUM MOISTURE CONTENT.
 - b. ALL CONNECTIONS WITHIN PAVED PORTION OF ANY EXISTING ROAD TO BE BACKFILLED WITH UNSHRIKABLE BACKFILL MATERIAL AS PER C.M. STD. 2226.03, 2226.01 AND 2226.02, UNLESS OTHERWISE SPECIFIED PRIOR APPROVAL FOR OTHER BACKFILL MATERIAL HAS BEEN OBTAINED.
 - c. ALL OTHER EXCAVATIONS WITHIN EXISTING ROAD ALLOWANCE SHALL BE BACKFILLED TO SUBGRADE ELEVATION WITH GRANULAR C MATERIAL AND COMPACTED TO A MINIMUM OF 95% STANDARD PROCTOR DENSITY. SURFACE RESTORATION SHALL BE EQUAL TO OR BETTER THAN EXISTING CONDITION IN ACCORDANCE WITH O.P.S. 897.
 - d. CURB TO BE AS PER O.P.S. 89.06.04.06 UNLESS OTHERWISE NOTED.
 - e. SUBRAIN UNDERNEATH ALL CURBS TO BE MINIMUM 100mm AS PER C.M. STD. 2226.04 AND 2226.05 AND ON EXISTING ROADS.
5. ALL DISTURBED AREAS WITHIN EXISTING ROAD ALLOWANCE TO BE REINSTATED WITH TOPSOIL AND 300 TO THE SATISFACTION OF CITY OF MISSISSAUGA.
6. SEDIMENT CONTROL FENCE TO BE INSTALLED AS PER C.M. STD. 2443.010.

GENERAL NOTES

1. THE CONTRACTOR IS TO CHECK AND VERIFY ALL DIMENSIONS. IF ANY DISCREPANCIES, THEY MUST BE REPORTED TO THE ENGINEER IMMEDIATELY PRIOR TO CONSTRUCTION.
2. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND PROTECTING ALL UTILITIES DURING CONSTRUCTION. GAS, HYDRO, TELEPHONE OR ANY OTHER UTILITIES THAT MAY EXIST ON THE SITE OR WITHIN THE STREETLINES MUST BE LOCATED BY ITS OWN UTILITIES AND VERIFIED PRIOR TO CONSTRUCTION.
3. ALL CONNECTIONS SHALL BE INSTALLED AS PER MUNICIPAL STANDARDS AND SPECIFICATIONS.
4. BUILDER IS TO VERIFY TO THE ENGINEER THAT THE FINAL FOOTING ELEVATION AND TOP OF FOUNDATION WALL ELEVATION IS IN CONFORMITY WITH THE BUILDING CODE AND THE CERTIFIED GRADING PLAN PRIOR TO PROCEEDING.
5. THE ELEVATION OF THE SIDE SWALE AT THE BUILDING LINE SHALL BE A MINIMUM OF 150mm BELOW THE BUILDING LINE AT THE CENTRE OF THE SWALE.
6. OUTSIDE FINISHED GRADE TO BE A MINIMUM OF 150mm BELOW BRICK VENEER ELEVATION.
7. PRIOR TO ANY SOILING, THE BUILDER IS TO ENGINEER TO THE SOILS CONSULTANT AND/OR THE ENGINEER THAT THE LOT HAS BEEN GRADED AND TOPSOILED AND SOILED COMPLETELY WITH A MINIMUM DEPTH OF 150mm OF TOPSOIL AND NOT IN NURSERY SOIL AND A MINIMUM DEPTH OF 150mm OF CRUSSED STONE TO BE PROVIDED ON THE ENTIRE LENGTH OF EACH DRIVEWAY ON A FIRM SUBGRADE AND THE DRIVEWAY TO BE PAVED WITH A MINIMUM COMPACTED DEPTH OF 75mm OF ASPHALT BETWEEN THE CURB AND THE GARAGE.
8. NO SOILING ON ANY LOTS IS PERMITTED UNTIL PRELIMINARY INSPECTION IS DONE BY THE ENGINEER AND THE BUILDER.
9. THE DRIVEWAY GRADE WILL BE COMPATIBLE WITH THE EXISTING OR FUTURE SIDEWALK AND CURB DEPRESSION WILL BE PROVIDED FOR EACH ENTRANCE.
10. DRIVEWAY GRADES SHOULD NOT BE LESS THAN 2% AND NOT GREATER THAN 8%.
11. LAWN AND SWALES SHALL HAVE A MINIMUM SLOPE OF 2% AND A MAXIMUM SLOPE OF 6%.
12. WHERE GRADES IN EXCESS OF 6% ARE REQUIRED, THE MAXIMUM SLOPE SHALL BE 3:1 GRADE CHANGES IN EXCESS OF 150mm TO BE ACCOMPLISHED BY USE OF A RETAINING WALL. RETAINING WALLS HIGHER THAN 0.9m SHALL HAVE A FENCE INSTALLED ON THE HIGH SIDE.
13. ALL BACKFILL FOR SEWERS, WATERMANS AND UTILITIES ON THE ROAD ALLOWANCE AND THE INTERNAL SITE MUST BE COMPACTED TO MINIMUM 95% S.P.D. EXCEPT FOR TOP 300mm WHICH MUST BE COMPACTED TO 95% S.P.D. ON THE ROAD ALLOWANCE UNLESS OTHERWISE NOTED AND UNDER THE DIRECT SUPERVISION OF THE GEOTECHNICAL SOILS CONSULTANT.
14. THE SERVICE CONNECTION TRENCH WITHIN THE TRAVELLED PORTION OF THE ROAD ALLOWANCE SHALL BE BACKFILLED WITH UNSHRIKABLE BACKFILL MATERIAL AS PER C.M. STD. 2226.03, 2226.01 AND 2226.02 UNLESS OTHERWISE SPECIFIED PRIOR APPROVAL FOR OTHER BACKFILL MATERIAL HAS BEEN OBTAINED.
15. ALL WATERMANS AND WASTE SERVICE MATERIALS AND CONSTRUCTION METHODS MUST CORRESPOND TO CURRENT MUNICIPAL STANDARDS AND SPECIFICATIONS.
16. SEDIMENT CONTROL FENCE TO BE INSTALLED AS PER C.M. STD. 2443.010.

ALL INTERNAL EXISTING SERVICES AND APPURTENANCES NOT UTILIZED FOR SERVICING OF THIS PROJECT ARE TO BE REMOVED OFF SITE UNLESS OTHERWISE DIRECTED BY THE ENGINEER.

INFORMATION SHOWN HEREON REGARDING THE SIZE AND LOCATION OF EXISTING SERVICES AND/OR UTILITIES IS FURNISHED AS THE BEST AVAILABLE INFORMATION AND SHALL BE INTERPRETED AS THE CONTRACTOR SEES FIT WITH THE UNDERSTANDING THAT THE OWNER DISCLAIMS ALL RESPONSIBILITY FOR ITS SUFFICIENCY AND/OR ACCURACY.

NOTE: FOR ADDITIONAL INFORMATION, DETAILS, DIMENSIONS AND CONFORMITY TO THE SITE PLAN, THE CONTRACTOR MUST REFER TO THE ARCHITECTURAL SITE PLAN.

PRIOR TO ANY CONSTRUCTION, CONTRACTOR TO VERIFY LOCATION AND DEPTHS OF EXISTING WATER AND SANITARY CONNECTION / OR EXISTING UTILITIES AND IF ANY DISCREPANCIES, THE CONTRACTOR TO REPORT TO THE ENGINEER IMMEDIATELY.

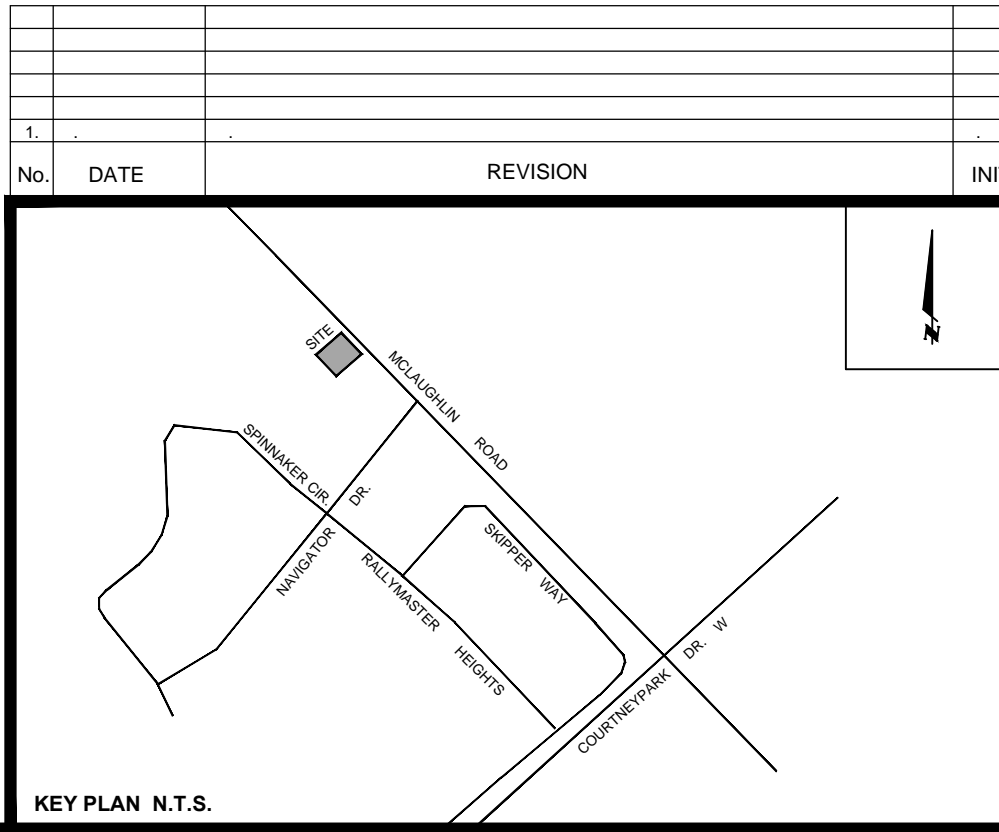
IT IS THE BUILDERS RESPONSIBILITY TO ENSURE GRAVITY FLOW OF THE SANITARY SEWER FROM PROPOSED BASEMENT FLOOR ELEVATION. IF A GRAVITY CONNECTION CANNOT BE ACHIEVED FROM THE PROPOSED BASEMENT FLOOR ELEVATION (OR U/S FTG) A SEWAGE EJECTOR PUMP IS TO BE INSTALLED AS PER OBC AND MUNICIPAL REQUIREMENTS.

SURVEY NOTE: INFORMATION FOR THIS SITE PLAN WAS TAKEN IN PART FROM PLAN OF SURVEY, LOT 15 REG. PLAN 983 CITY OF MISSISSAUGA AND PREPARED BY AVANTI SURVEYING INC. ONTARIO LAND SURVEYOR, NOVEMBER 26 2016.

PRIOR TO ANY CONSTRUCTION, THE CONTRACTOR MUST VERIFY THE EXISTING SANITARY, STORM SEWER AND WATERMAIN, ELEVATION AND LOCATION AND ADVISE THE ENGINEER OF ANY DISCREPANCIES.

THE APPLICANT WILL BE REQUIRED TO CONTACT ALL UTILITY COMPANIES TO OBTAIN ALL REQUIRED LOCATES PRIOR TO THE INSTALLATION OF HOARDING WITHIN MUNICIPAL RIGHT-OF-WAY.

- LEGEND**
- EXISTING ELEVATION TO REMAIN
 - EXISTING ELEVATION
 - DIRECTION OF SURFACE FLOW
 - PROPOSED ELEVATION
 - PROPOSED CATCHBASIN
 - PROPOSED CATCHBASIN WITH TEMPORARY SEDIMENT CONTROL
 - EXISTING TREE TO REMAIN
 - EXISTING TREE TO BE REMOVED
 - EXISTING TREE TO BE RELOCATED
 - SUMP PUMP
 - HYDRO METER
 - GAS METER
 - SANITARY SEWAGE EJECTOR
 - METER ROOM
 - ROOF DOWNSPOUTS
 - AREA DRAIN
 - SEDIMENT CONTROL FENCE
 - TREE HOARDING
 - FRAMED TREE HOARDING
 - SOLID PLYWOOD HOARDING
 - PROPOSED GAS MAIN
 - PROPOSED HYDRO



C.M. BENCHMARK No. 075023034 ELEVATION: 181.881
 DESCRIPTION: BRIDGE CAP BEYOND TOP OF CONCRETE SUBWALL LOCATED AT THE WEST SIDE OF MCLAUGHLIN ROAD, 8 METRES WEST OF THE CENTRELINE OF MCLAUGHLIN ROAD AND 155 METRES NORTH OF THE CENTRELINE OF NAVIGATOR DRIVE.

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PROPOSED 6 STOREY CONDO AND RESIDENTIAL SUBDIVISION
 PART OF LOT 9, CONCESSION 2, WEST OF HURONTARIO STREET

6616 MCLAUGHLIN ROAD

CITY PARK HOMES INC
 950 NASHVILLE RD, KLEINBURG ONTARIO



CONCEPT GRADING PLAN
 S.P.

DATE: JUL 2020	AREA: Z-44	DWG No. C102
SCALE: 1:300	DRAWN BY: E.K.	PROJECT No. 219-M112
CITY FILE: XXXXXX	REGION FILE: XXXXXX	