



## AGENDA

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THE CORPORATION OF THE CITY OF MISSISSAUGA

### PLANNING & DEVELOPMENT COMMITTEE

**MONDAY, MAY 5, 2014 - 7:00 P.M.**

COUNCIL CHAMBER, 2<sup>ND</sup> FLOOR - CIVIC CENTRE  
300 CITY CENTRE DRIVE, MISSISSAUGA, ONTARIO L5B 3C1  
<http://www.mississauga.ca>

#### Members

Mayor Hazel McCallion	
Councillor Jim Tovey	Ward 1
Councillor Pat Mullin	Ward 2
Councillor Chris Fonseca	Ward 3
Councillor Frank Dale	Ward 4
Councillor Bonnie Crombie	Ward 5
Councillor Ron Starr	Ward 6
Councillor Nando Iannicca	Ward 7
Councillor Katie Mahoney	Ward 8 <b>(Chair)</b>
Councillor Pat Saito	Ward 9
Councillor Sue McFadden	Ward 10
Councillor George Carlson	Ward 11

Mumtaz Alikhan, Legislative Coordinator, Office of the City Clerk  
905-615-3200 ext. 5425 / Fax 905-615-4181  
email: [mumtaz.alikhan@mississauga.ca](mailto:mumtaz.alikhan@mississauga.ca)

**LIVE STREAMING:** <http://www.mississauga.ca/videos>



## **PLANNING & DEVELOPMENT COMMITTEE – MAY 5, 2014**

**PUBLIC MEETING STATEMENT:** In accordance with the *Ontario Planning Act*, if you do not make a verbal submission to the Committee or Council, or make a written submission prior to City Council making a decision on the proposal, you will not be entitled to appeal the decision of the City of Mississauga to the Ontario Municipal Board (OMB), and may not be added as a party to the hearing of an appeal before the OMB.

***Send written submissions or request notification of future meetings to:***

Mississauga City Council  
c/o Planning and Building Department – 6<sup>th</sup> Floor  
Att: Development Assistant  
300 City Centre Drive, Mississauga, ON, L5B 3C1  
Or Email: [application.info@mississauga.ca](mailto:application.info@mississauga.ca)

### **CALL TO ORDER**

### **DECLARATIONS OF CONFLICT OF INTEREST**

### **APPROVAL OF PREVIOUS MINUTES**

Planning and Development Committee Meeting of April 14, 2014

### **MATTERS TO BE CONSIDERED**

1. Sign Variance Applications – Sign By-law 0054-2002, as amended  
File: BL.03-SIG (2014)
2. **PUBLIC MEETING**  
Information Report on Rezoning Application to permit a four storey self-storage facility, 3995 Ninth Line, Southeast corner of Burnhamthorpe Road West and Ninth Line  
Owner: The Erin Mills Development Corporation  
Applicant: Stantec Consulting Limited, **Bill 51**  
File: OZ 12/011 W8
3. **PUBLIC MEETING**  
Information Report on Rezoning Application to permit two apartment buildings with heights of 23 and 26 storeys, 5025 and 5033 Four Springs Avenue, Northwest quadrant of Hurontario Street and Eglinton Avenue West  
Applicant/Owner: Pinnacle International (Ontario) Limited, **Bill 51**  
File: OZ 13/020 W5

4. Information Status Report on Removal of the “H” Holding Symbol Application to permit two residential apartment buildings with heights of 43 and 50 storeys, 0 Enfield Place, 3606 and 3618 Hurontario Street, Southwest corner of Matthews Gate and Hurontario Street  
Owner: Armdale Estates Inc., Lima Valley Inc., (1077022 Ontario Inc., and Touchtone Construction Ltd.)  
Applicant: Kirkor Architects and Planners, **Bill 51** (Ward 7)  
File: H-OZ 13/006 W7
5. General Amendment to Mississauga Official Plan – Report on Comments  
File: CD-02.MIS
6. Mississauga Official Plan Conformity Amendment to the Region of Peel Official Plan  
File: CD.03.MIS
7. Site Plan Control By-law Update – Ninth Line  
City of Mississauga  
File: CD.21.SIT (Ward 10)

## **ADJOURNMENT**



# Corporate Report

Clerk's Files

Originator's  
Files

BL.03-SIG (2014)

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**DATE:** April 15, 2014

**TO:** Chair and Members of Planning and Development Committee  
Meeting Date: May 5, 2014

**FROM:** Edward R. Sajecki  
Commissioner of Planning and Building

**SUBJECT:** **Sign By-law 0054-2002, as amended**  
**Sign Variance Applications**

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**RECOMMENDATION:** That the report dated April 15, 2014 from the Commissioner of Planning and Building regarding Sign By-law 0054-2002, as amended, to permit the requested three (3) Sign Variance Applications described in Appendices 1 to 3, be adopted in accordance with the following:

1. That the following Sign Variances **be granted:**

- (a) Sign Variance Application 14-00054  
Ward 5  
Beer Store  
5900 Explorer Drive

To permit the following:

- (i) Two (2) fascia signs erected on the second storey of the building.
- (b) Sign Variance 13-06524  
Ward 8

Retirement Life Communities



1665 The Collegeway

To permit the following:

- (i) One (1) ground sign for a residential use located on a commercial zoned property.
- (c) Sign Variance 14-00345  
Ward 8  
Food Basics  
3476 Glen Erin Drive

To permit the following:

- (i) One (1) sign projecting above the roof of the building.
- (ii) One (1) sign projecting 2.86m (9.38 ft.) from exterior wall of the building.

**BACKGROUND:**

The *Municipal Act* states that Council may, upon application of any person, authorize minor variances from the Sign By-law if in the opinion of Council the general intent and purpose of the By-law is maintained.

**COMMENTS:**

The Planning and Building Department has received three (3) Sign Variance Applications (see Appendices 1 to 3) for approval by Council. Each application is accompanied by a summary page prepared by the Planning and Building Department which includes information pertaining to the site location; the applicant's proposal; the variance required; an assessment of the merits (or otherwise) of the application; and a recommendation on whether the variance should or should not be granted.

**FINANCIAL IMPACT:** Not applicable.

**CONCLUSION:**

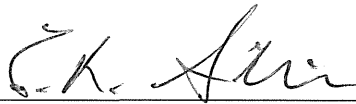
Council may authorize minor variances from Sign By-law 0054-002, as amended, if in the opinion of Council, the general intent and purpose of the By-law is maintained. Sign By-law 0054-2002, as amended, was passed pursuant to the *Municipal Act*. In this respect, there is not a process to appeal the decision of Council to the Ontario Municipal Board, as in a development application under the *Planning Act*.

**ATTACHMENTS:**

Beer Store  
Appendix 1-1 to 1-7

Retirement Life Communities  
Appendix 2-1 to 2-7

Food Basics  
Appendix 3-1 to 3-6



Edward R. Sajecki  
Commissioner of Planning and Building

Prepared By: Darren Bryan, Supervisor, Sign Unit





**SIGN VARIANCE APPLICATION REPORT**  
**Planning and Building Department**

April 15, 2014

**FILE:** 14-00054

**RE:** Beer Store  
 5900 Explorer Drive - Ward 5

The applicant requests the following variance to section 13 of Sign By-law 0054-2002, as amended.

Section 13	Proposed
A fascia sign shall not be erected above the upper limit of the first storey.	Two (2) fascia signs erected on the second storey of the building.

**COMMENTS:**

The sign is proposed to be located between the limits of the upper floor and parapet on a two storey office building. On an office building over three storeys in height, two fascia signs would be permitted between the limits of the upper floor and the parapet.

The proposed signs would be in compliance with the Sign By-law requirements for size and location if proposed on the top floor of an office building exceeding three storeys in height. The Planning and Building Department finds the proposed location for the fascia sign to be in character with the design of the building and to have design merit, and therefore have no objections.



255 PINEBUSH ROAD, CAMBRIDGE ONTARIO CANADA N1T 1B9

**PRIDE SIGNS**

TEL: 519.622.4040 FAX: 519.622.4031 WWW.PRIDESIGNS.COM

City of Mississauga  
300 City Centre Drive  
Mississauga ON  
L5B 3C1

February 3, 2014

Attn: Planning and Building

Re: 5900 Explorer Drive, Mississauga ON, L4W 5L2 – Sign Variance – The Beer Store

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To whom it may concern,

Please accept this letter as part of the application package for The Beer Store proposal attached. We are requesting a variance to allow for two signs on the West elevation, going in place of two existing fascia signs. The variance is required as the by-law only allows for signage on the top storey of a building which is over 3 storeys in height. This building is 2 storeys with the West elevation having a total area of 466.83m<sup>2</sup>. We are proposing two fascia signs, one at 8.3m<sup>2</sup> and one at 14.77m<sup>2</sup> which total 23.07m<sup>2</sup> in area representing a mere 4.9% of the overall facade.

The existing signage has been in place for over 12 years. The signs no longer reflect the current branding of The Beer Store and as a result must be replaced. The replacement involves removal of the existing signs and installation of new, P.Eng designed individual channel letters on backer panels. The individual channel letters are the only illuminated component of this sign and as a result would be the only portion of the sign which is visible at night.

The overall aesthetics of the building would be minimally impacted as the proposal is replacing signs which have existed for over a decade. The more modern design would actually compliment the building's curved glass facade while continuing to be an identifier for traffic along the 401 corridor as well as an identifier for Explorer Drive. The sign designs would also be P.Eng certified and guaranteed to be a safe structure.

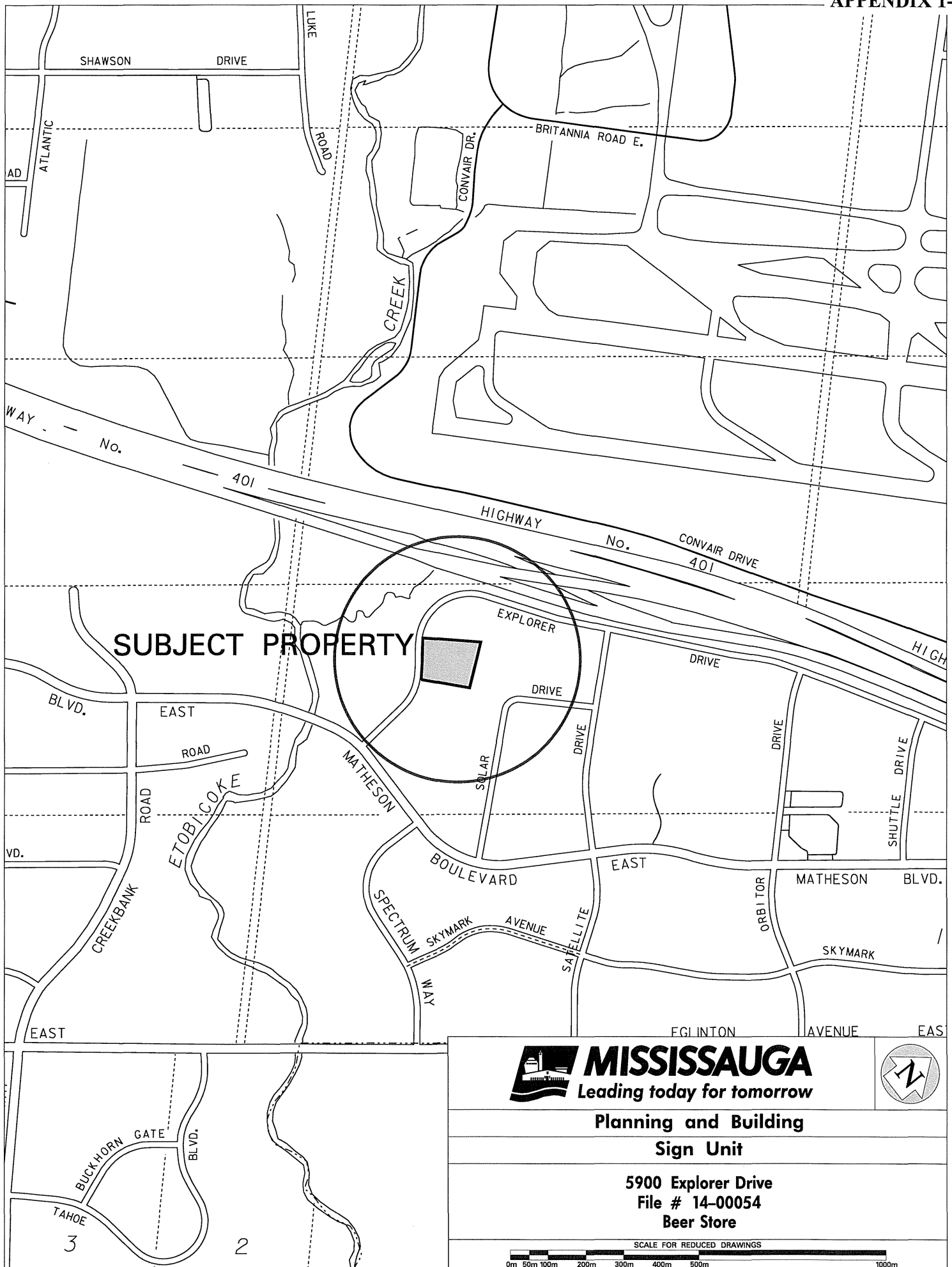
Based on the above I would ask for your support and approval of this proposal. The signage is replacing existing signs and is a necessary identifier for this location. The signage does not appear overbearing with the building and the style is harmonious with the architecture. The elevation on which it is proposed and blends in well with other building signage in this area. For any questions or concerns regarding this proposal please contact the undersigned.

Thank you,

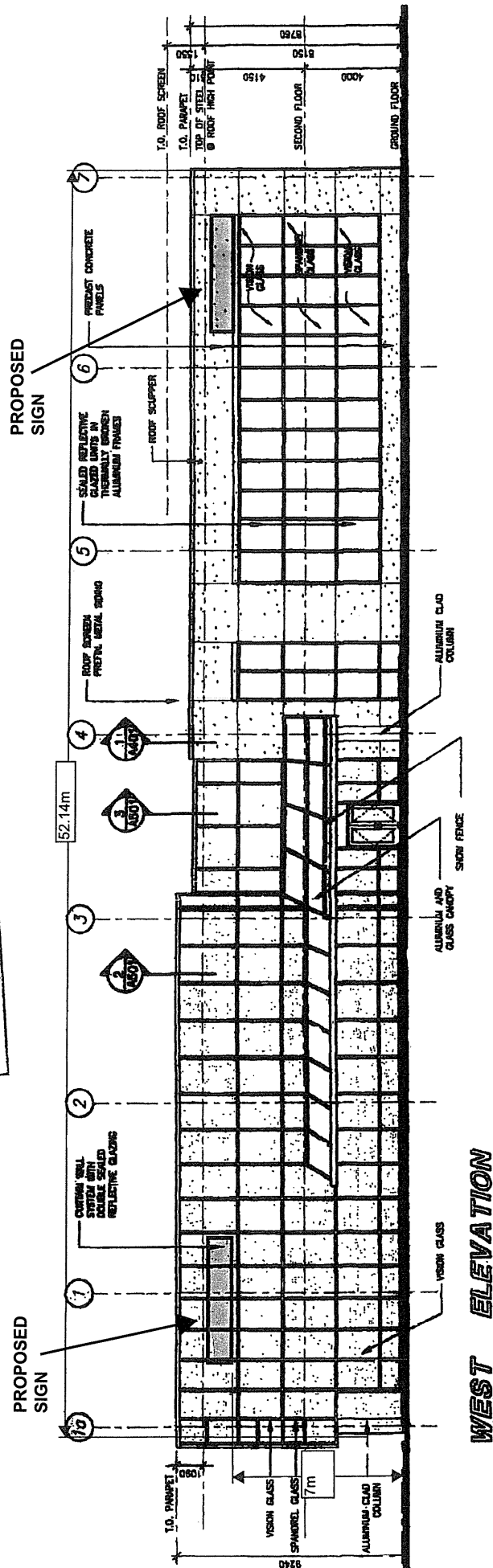
Nathan Dart, CPT - Senior Permit Specialist

T: 519-622-4040x274 - F: 519-622-4031 - E: [ndart@pridesigns.com](mailto:ndart@pridesigns.com)

<b>BUILDING DIVISION</b>	
BUILDING DEPT. FILE:	
DATE REC'D	FEB 11 2014
ROUTE TO:	REC'D BY:



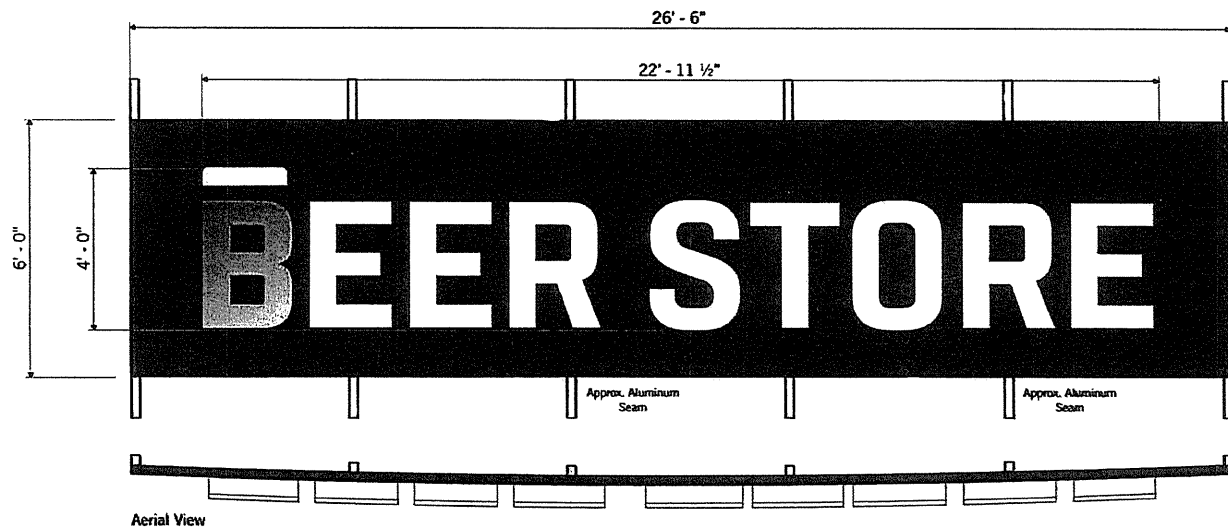




BUILDING	
DEPT. FILE:	
<u>BUILDING DIVISION</u>	
DATE RECD	FEB 11 2014
ROUTE TO:	RECD BY:
	DATE:

**Illuminated Channel Letters + Backer Panel (1 Required)**  
Scale: N.T.S

AREA = 14.77m<sup>2</sup>



**Material Specifications**

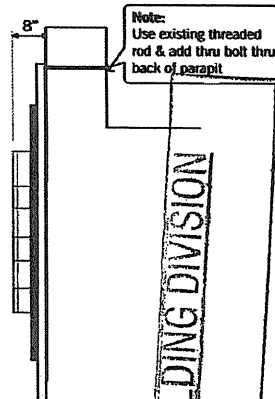
- Aluminum constructed pre-finished white returns
- 3/16" white LD #2447 acrylic faces with translucent digital vinyl applied to first surface
- 1" white trimcap
- White L.E.D illumination

**Colours:**

- Digital image printed to translucent white digital media with matte laminate protective film
- Recommended ICC media profile / 2 layer print required (Clear/White)

- Aluminum constructed 2" deep backer panel to be painted cool grey 11c
- Tube mounting structure to be painted brushed aluminum

Note: Back of sign is NOT visible - do not paint!



Drawing No:  
TBS -CLL4W5L2.120A1

Refer to file:  
TBS -MSL4W5L2

Total Sq. Footage =

BUILDING DIVISION

BUILDING DEPT. FILE:

DATE REC'D FEB 11 2014  
ROUTE TO: REC'D BY: DATE:

Electrical Requirements  
120V

1. All electrical work must be done in accordance with the National Electrical Code (NEC) and all applicable local codes. 2. All electrical work must be done by a licensed electrician. 3. All electrical work must be done in accordance with the manufacturer's instructions. 4. All electrical work must be done in accordance with the applicable building codes. 5. All electrical work must be done in accordance with the applicable fire codes. 6. All electrical work must be done in accordance with the applicable safety codes. 7. All electrical work must be done in accordance with the applicable health codes. 8. All electrical work must be done in accordance with the applicable environmental codes. 9. All electrical work must be done in accordance with the applicable accessibility codes. 10. All electrical work must be done in accordance with the applicable security codes. 11. All electrical work must be done in accordance with the applicable privacy codes. 12. All electrical work must be done in accordance with the applicable data protection codes. 13. All electrical work must be done in accordance with the applicable intellectual property codes. 14. All electrical work must be done in accordance with the applicable consumer protection codes. 15. All electrical work must be done in accordance with the applicable financial services codes. 16. All electrical work must be done in accordance with the applicable telecommunications codes. 17. All electrical work must be done in accordance with the applicable transportation codes. 18. All electrical work must be done in accordance with the applicable energy codes. 19. All electrical work must be done in accordance with the applicable climate change codes. 20. All electrical work must be done in accordance with the applicable sustainable development codes. 21. All electrical work must be done in accordance with the applicable human rights codes. 22. All electrical work must be done in accordance with the applicable anti-discrimination codes. 23. All electrical work must be done in accordance with the applicable labour codes. 24. All electrical work must be done in accordance with the applicable trade union codes. 25. All electrical work must be done in accordance with the applicable professional codes. 26. All electrical work must be done in accordance with the applicable industry codes. 27. All electrical work must be done in accordance with the applicable standards codes. 28. All electrical work must be done in accordance with the applicable best practices codes. 29. All electrical work must be done in accordance with the applicable state-of-the-art codes. 30. All electrical work must be done in accordance with the applicable cutting-edge codes. 31. All electrical work must be done in accordance with the applicable innovative codes. 32. All electrical work must be done in accordance with the applicable creative codes. 33. All electrical work must be done in accordance with the applicable artistic codes. 34. All electrical work must be done in accordance with the applicable cultural codes. 35. All electrical work must be done in accordance with the applicable social codes. 36. All electrical work must be done in accordance with the applicable economic codes. 37. All electrical work must be done in accordance with the applicable political codes. 38. All electrical work must be done in accordance with the applicable legal codes. 39. All electrical work must be done in accordance with the applicable ethical codes. 40. All electrical work must be done in accordance with the applicable moral codes. 41. All electrical work must be done in accordance with the applicable religious codes. 42. All electrical work must be done in accordance with the applicable philosophical codes. 43. All electrical work must be done in accordance with the applicable scientific codes. 44. All electrical work must be done in accordance with the applicable technological codes. 45. All electrical work must be done in accordance with the applicable medical codes. 46. All electrical work must be done in accordance with the applicable health codes. 47. All electrical work must be done in accordance with the applicable education codes. 48. All electrical work must be done in accordance with the applicable research codes. 49. All electrical work must be done in accordance with the applicable development codes. 50. All electrical work must be done in accordance with the applicable innovation codes. 51. All electrical work must be done in accordance with the applicable progress codes. 52. All electrical work must be done in accordance with the applicable advancement codes. 53. All electrical work must be done in accordance with the applicable growth codes. 54. All electrical work must be done in accordance with the applicable expansion codes. 55. 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All electrical work must be done in accordance with the applicable expansion codes. 100. All electrical work must be done in accordance with the applicable development codes.

Site check required

Preliminary artwork  
Approved for Production

**CLIENT APPROVAL**

REVISION DATES:  
December 4, 2013 J. Lewis  
December 9, 2013 J. Lewis



Mississauga, Ontario

BEER STORE

DRAWN BY: J. Lewis  
DATE: October 11, 2013



**PRIDE SIGNS**



INTERNATIONAL  
SIGN ASSOCIATION

sacplace

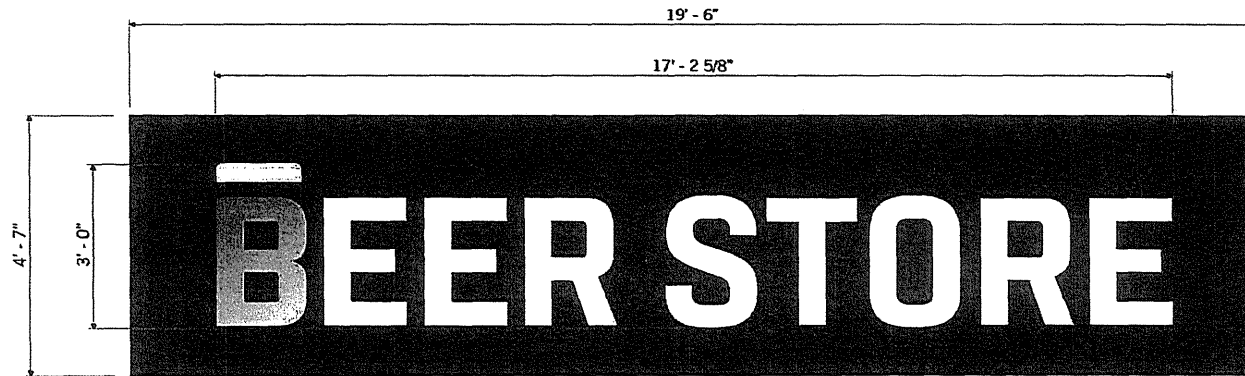


255 FIVEBUSH ROAD - CAMBRIDGE ONTARIO CANADA TEL: 519.622.4040 FAX: 519.622.4031 WWW.PRIDEDESIGNS.COM



**Illuminated Channel Letters + Backer Panel (1 Required)**  
Scale: N.T.S

8.3m2



Approx. Aluminum  
Seam

**Material Specifications**

- Aluminum constructed pre-finished white returns
- 3/16" white LD #2447 acrylic faces with translucent digital vinyl applied to first surface
- 1" white trimcap
- White L.E.D illumination

**Colours:**

- Digital image printed to translucent white digital media with matte laminate protective film
- Recommended ICC media profile / 2 layer print required (Clear/White)
- Aluminum constructed curved 2" deep backer panel to be painted cool grey 11c



BUILDING DIVISION

BUILDING  
DEPT. FILE:

DATE REC'D FEB 11 2014

ROUTE TO: REC'D BY:

Drawing No. TBS - CLL4W5L2, 120B1	
Refer to file TBS - MS14W5L2	
DATE REC'D FEB 11 2014	
ROUTE TO:	REC'D BY:

**Electrical Requirements**  
120V

Electrical requirements for this sign should be provided by the client. The sign manufacturer is not responsible for any electrical issues. The sign manufacturer is not responsible for any electrical issues. The sign manufacturer is not responsible for any electrical issues.

Site / back request

- Preliminary Artwork
- Approved for Production

**CLIENT APPROVAL**  
REVISION DATES:  
December 4, 2013  
December 9, 2013  
J. Lewis  
J. Lewis

Mississauga, Ontario

**BEER STORE**

DRAWN BY: J. Lewis  
DATE: October 11, 2013



**SIGN VARIANCE APPLICATION REPORT**  
**Planning and Building Department**

April 15, 2014

**FILE:** 13-06524

**RE:** Retirement Life Communities  
 1665 The Collegeway – Ward 8

The applicant requests the following variances to section 4 of Sign By-law 0054-2002, as amended.

Section 4(6)	Proposed
Any sign not expressly permitted by this By-law is prohibited.	One (1) ground sign for a residential use located on a commercial zoned property.

**COMMENTS:**

The requested variance is required as a ground sign is not permitted for a residential use. The building is a retirement community which shares a common driveway entrance with the Glen Erin Inn. The proposed sign will assist in locating the entrance to the subject property.

Therefore, the Planning and Building Department support the requested variance provided the existing ground signs and/or construction signs are removed from the subject property.



February 27, 2014

Dear Mr. Toliao

Further to our submission for a sign variance in relation to the above noted address, our rationale for requesting the variance is as follows:

- The property requires an identifying sign, noting the name of the building, as well as the address.
- The sign must be as close as possible to The Collegeway because the building is set back quite a ways away from the street, so much so that no persons or vehicle would be able to see the address if it was located on the building itself, from the street.
- The property is located on the same grounds (separate address) as another business - The Glen Erin Inn. Without having an address sign at the driveway, it is very difficult for anyone to understand which building is on the property.

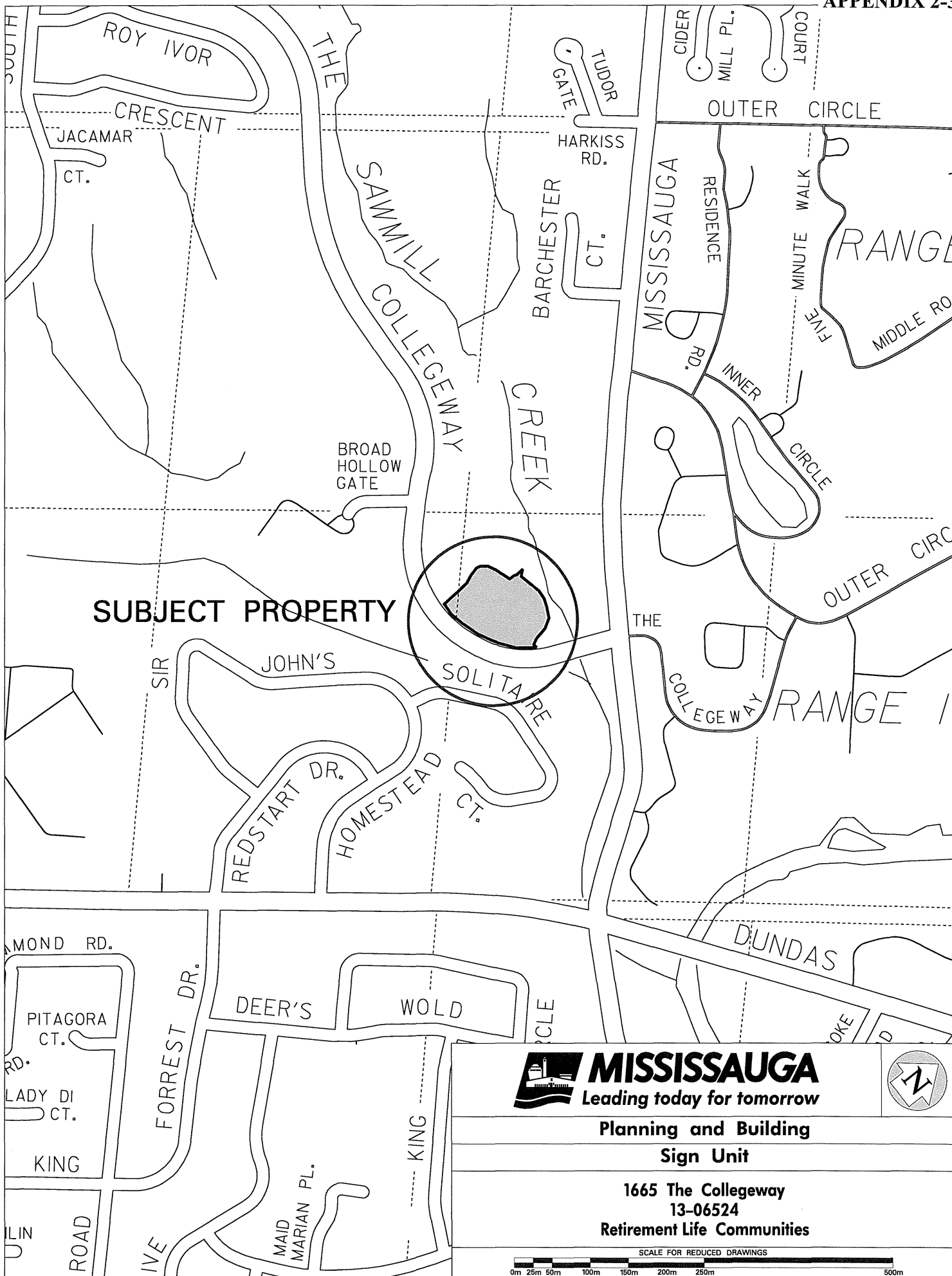
I trust these reasons are sufficient. Thank you for your consideration. If you have any further questions, please do not hesitate to contact me.

Sincerely,

Daniel Ger

Vice President  
Retirement Life Communities  
W:(416)-486-5438  
C: (416)-802-2982  
[www.retirementlifecommunities.com](http://www.retirementlifecommunities.com)

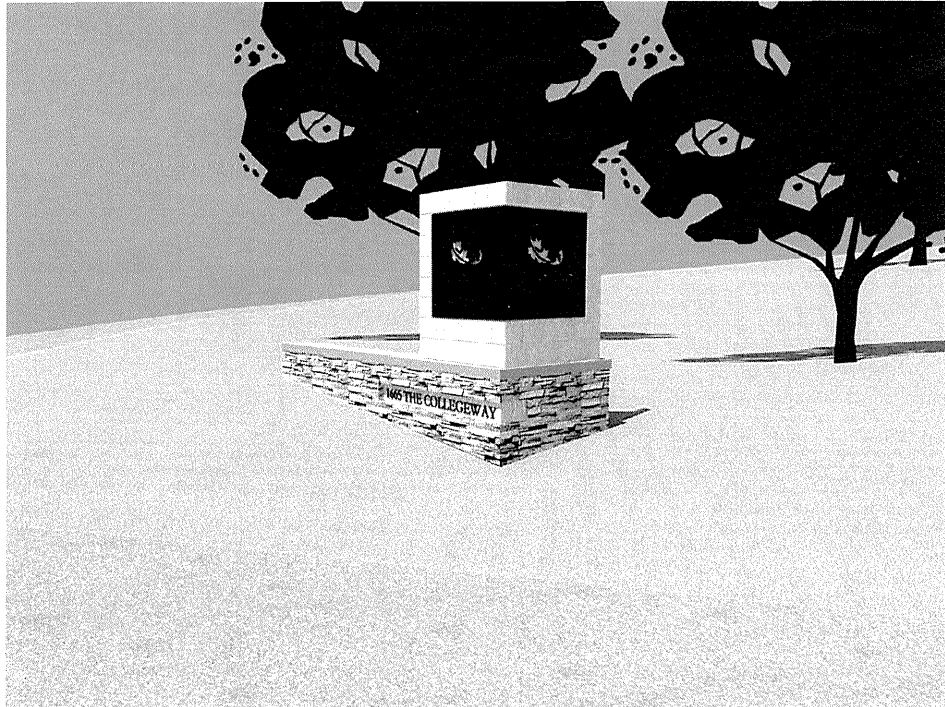


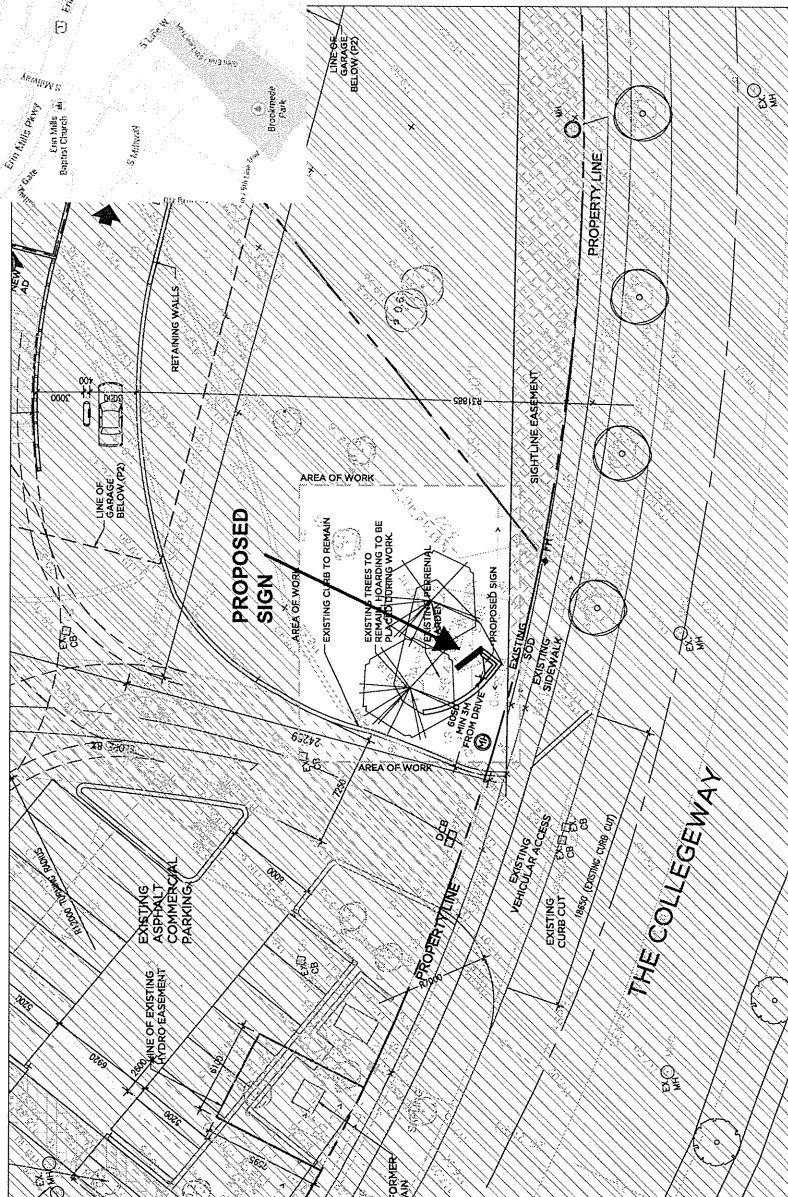


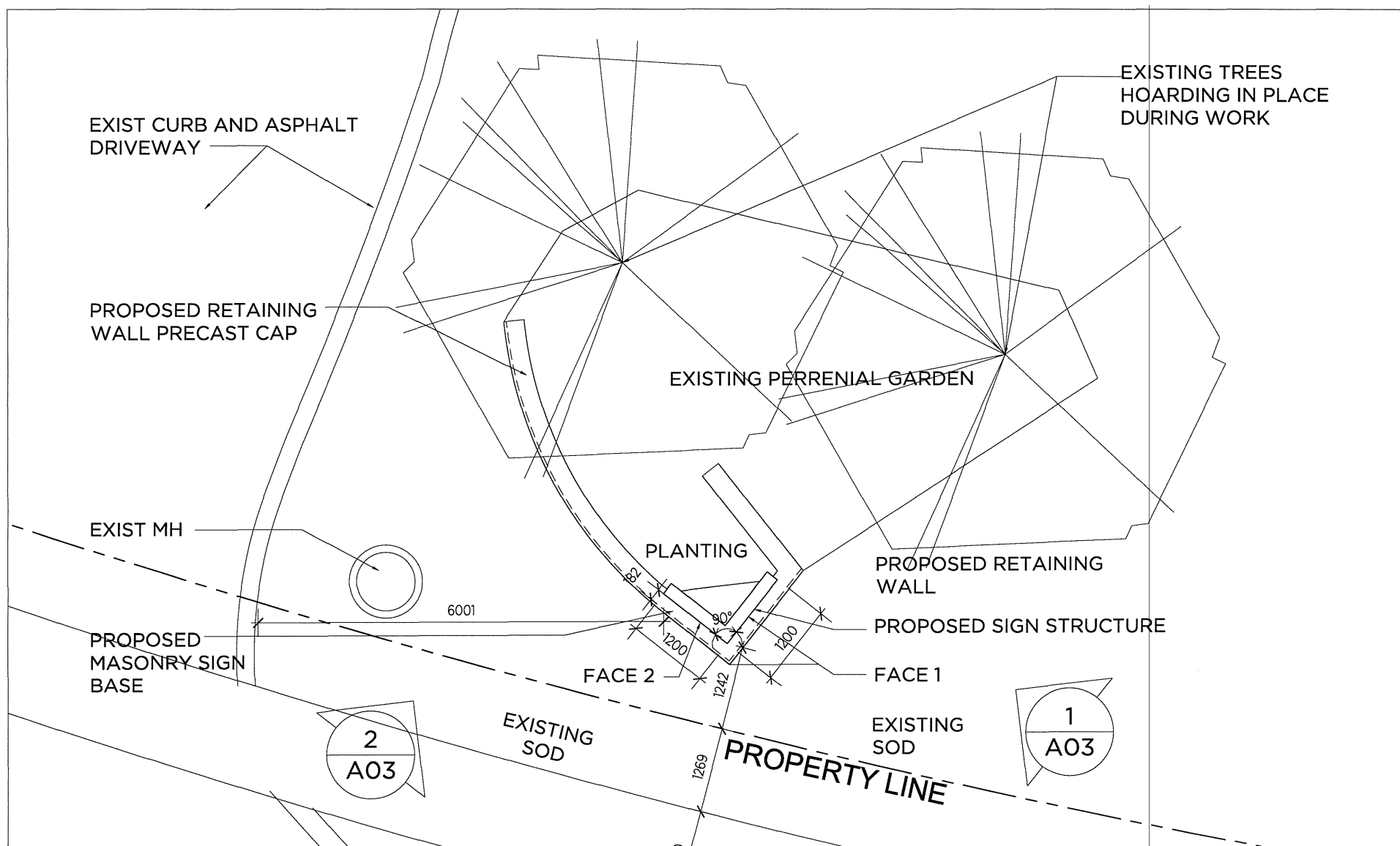
# PALISADES RETIREMENT COMMUNITY ENTRY SIGN

1665 The Collegeway  
Mississauga, Ontario  
for  
Retirement Life Communities

Project 13021  
Date 07 October, 2013  
ISSUED FOR SIGN PERMIT

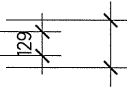






1665 THE COLLEGEWAY

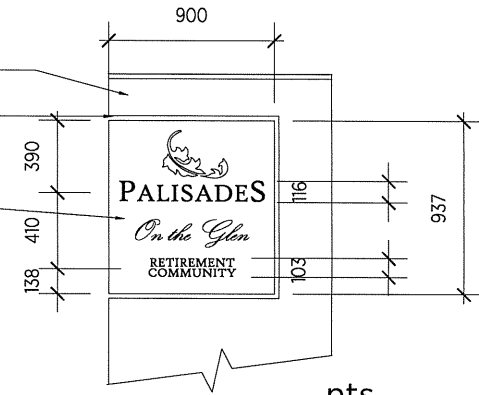
129mm LETTERS AND  
NUMBERS ON  
OFFSTAND, CENTRED IN  
OPENING, PAINTED  
PARGING ON BLOCK  
BEHIND



256

CONCRETE FINISH  
REVEAL

BACKLIT LASER  
CUT METAL SIGN.  
AFFIX ON  
STANDOFF  
MECHANICAL  
FASTNERS



nts

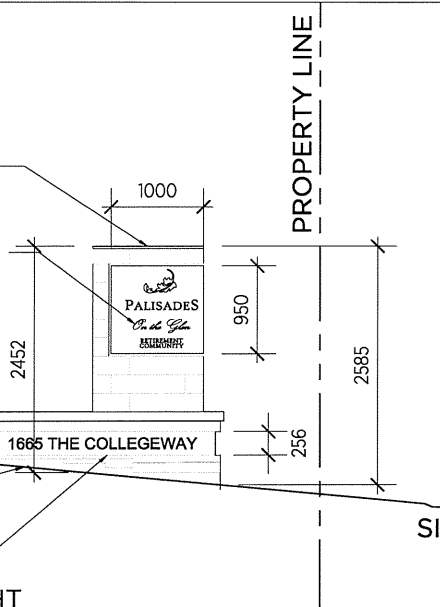
FLASHING

SIGN, FACE 2, AREA = 0.95M<sup>2</sup>

PROPOSED MASONRY  
LANDSCAPE WALL AND  
PRECAST CAP

EXISTING GRADE

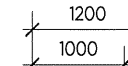
PROPOSED ADDRESS  
LETTERING (MAX TEXT HEIGHT  
150mm)



SI

PROPERTY LINE

EXISTING  
SIDEWALK

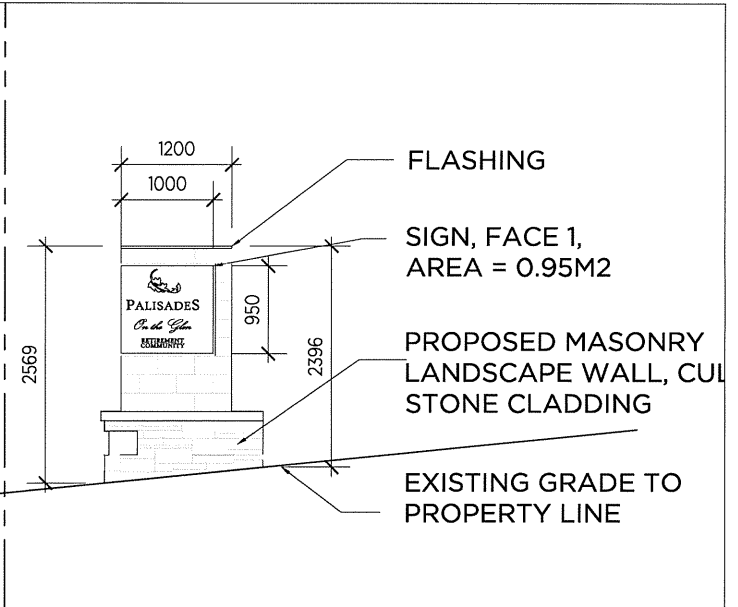


FLASHING

SIGN, FACE 1,  
AREA = 0.95M<sup>2</sup>

PROPOSED MASONRY  
LANDSCAPE WALL, CUL  
STONE CLADDING

EXISTING GRADE TO  
PROPERTY LINE



**RAW**

Plan  
Glenerin Sign  
RLC  
1:50

**A03**  
20131007





**SIGN VARIANCE APPLICATION REPORT**  
**Planning and Building Department**

April 15, 2014

**FILE:** 14-00345

**RE: Food Basics**  
**3476 Glen Erin Drive – Ward 8**

The applicant requests the following variances to sections 4 and 17 of Sign By-law 0054-2002, as amended.

<b>Section 4(6)</b>	<b>Proposed</b>
A sign is not permitted to project above the roof.	One (1) sign projecting above the roof of the building.
<b>Section 17(1)</b>	<b>Proposed</b>
A sign may not project out from the exterior wall of the building more than 0.60m (1.97 ft.).	One (1) sign projecting 2.86m (9.38 ft.) from the exterior wall of the building.

**COMMENTS:**

The proposed fascia sign is located on the south elevation of the tenant's unit. The roof on which the sign is located covers an entrance vestibule and is lower than the main parapet of the building. The proposed sign does not extend higher than the main parapet of the building and identifies the unit entrance. In this regard, the Planning and Building Department finds the variance acceptable from a design perspective.

## Permit World inc.

12 Rock Avenue, Kitchener, ON N2M 2P1 T: 519-585-1201 F: 519-208-7008

February 11, 2014

City Hall  
Planning & Building Department, Sign Unit  
300 City Centre Drive  
Mississauga, ON  
L5B 3C1

Attn: Darren Bryan

**Re: Sign variance application for Food Basics, 3476 Glen Erin Drive**

Dear Sir:

Please accept this letter as a formal request for a sign variance to allow an illuminated sign to be installed on the sloped portion below the roof line and in front of the flat upper wall section on the south elevation of the existing Food Basics store in a commercial zone at the above-mentioned address. A sign installed on the sloped portion is not permitted under Sec. 4(6)(f) of the sign by-law.

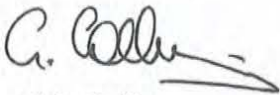
Food Basics are in the process of renovating this store and part of that process includes changing the front elevation. The previous elevation featured a primarily sloped roof with a single portion being flat where the existing sign was installed. That flat portion is being extended for most of the length of the building and the Food Basics tag line sign "Always More for Less" will be installed on that section. The proposed sign identifying "Food Basics" is designed to be installed over the front doors where the sloped portion will remain and is partially glass.

There is no suitable alternative location for this sign to be installed and it is this lack of another location which has generated our request for a variance. The proposed sign will not extend above the roof line, is similar in size to the existing Food Basics wall sign and will be complimentary to the building design. In addition, it will not have a negative impact on the surrounding properties.

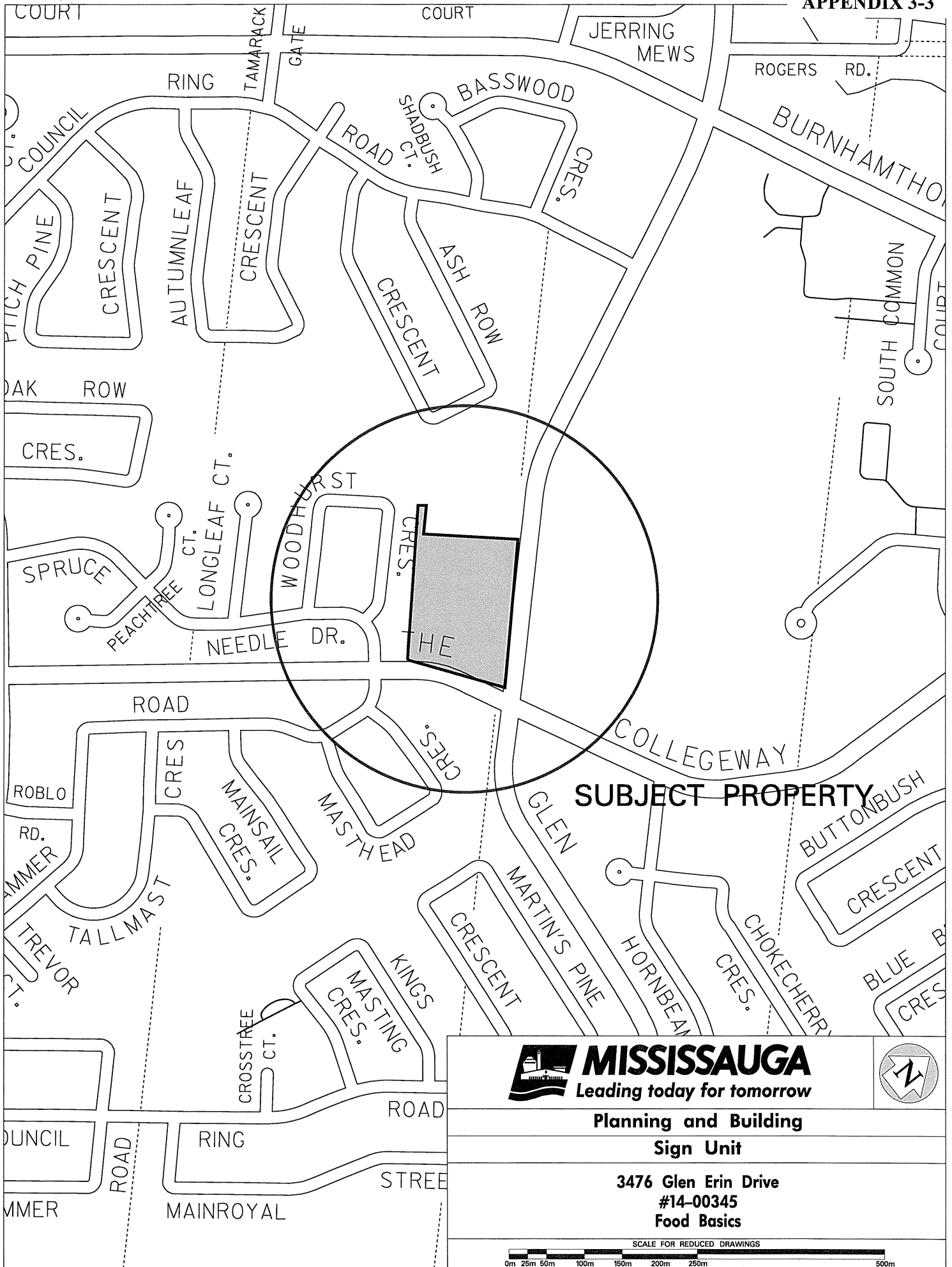
Altogether both of the proposed signs will occupy 13.4% of the elevation where they will be installed which is within the allowable signage in a commercial zone.

We are respectfully requesting your support in this matter. If you require additional information or have any questions, feel free to contact the undersigned.

Yours sincerely,



Gilda Collins  
admin@permitworld.ca



**MISSISSAUGA**

Leading today for tomorrow

**Planning and Building**

**Sign Unit**

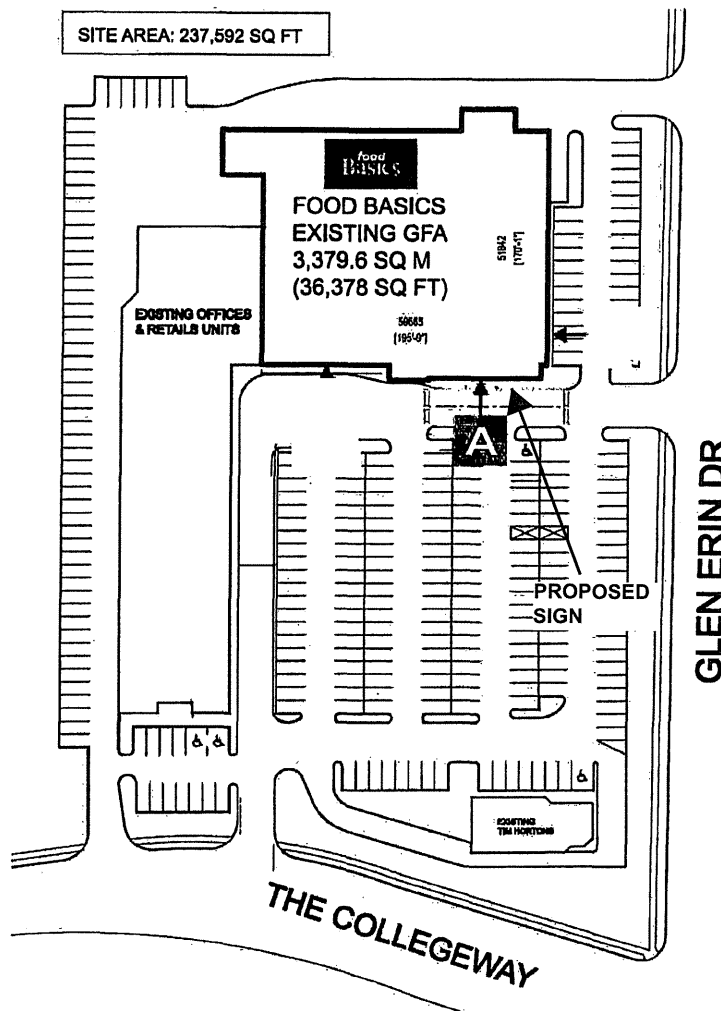
**3476 Glen Erin Drive**

**#14-00345**

**Food Basics**

SCALE FOR REDUCED DRAWINGS

0m 25m 50m 100m 150m 200m 250m 500m



## SITE PLAN

SCALE: NTS

FOOD BASIC\$ • #669 - Mississauga, ON

**ENSEIGNES TRANSWORLD**  
TRANSWORLD SIGNS  
du groupe Trans Products / A Trans Products Company

9510 Pincourt, Montréal (Québec) H1J 1H7  
Tél / Tel : 514 352-8030 / 1 888 858-8030  
Fax : 514 352-0380

info@transworldsigns.com  
www.transworldsigns.com

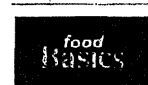
### Avis / Notice

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### Client



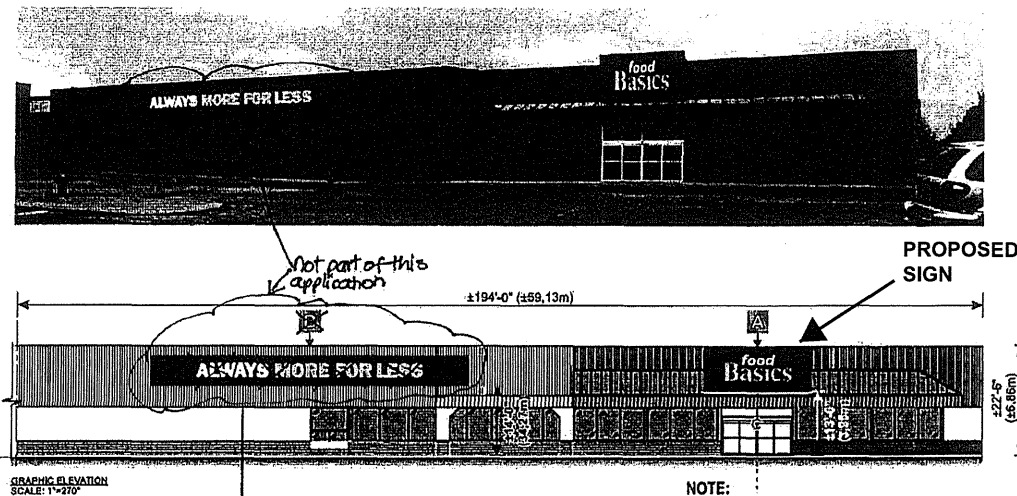
Adr./Add. : 3476, Glen Erin, Mississauga, ON

Date : 2013 / 08 / 01 Rep : Bergeron M. #Des/Draw# : 260104m8

Des. : CD V.O. : Ref. # :

### Révision / Revision

#	Description	Par/By	Date
01	DIVERS	CH	2013/08/15
02	Signage, incluant la conception graphique de ses détails techniques et la seule propriété d'Enseignes Transworld s.e. et ne doit être reproduit, copié ou utilisé pour l'obtention sans l'autorisation préalable d'Enseignes Transworld s.e.	CH	2013/08/24
03	Plan de site, incluant la conception graphique de ses détails techniques et la seule propriété d'Enseignes Transworld s.e. et ne doit être reproduit, copié ou utilisé pour l'obtention sans l'autorisation préalable d'Enseignes Transworld s.e.	CH	2013/08/24
04	Plan de site, incluant la conception graphique de ses détails techniques et la seule propriété d'Enseignes Transworld s.e. et ne doit être reproduit, copié ou utilisé pour l'obtention sans l'autorisation préalable d'Enseignes Transworld s.e.	CH	2013/08/24
05	Plan de site, incluant la conception graphique de ses détails techniques et la seule propriété d'Enseignes Transworld s.e. et ne doit être reproduit, copié ou utilisé pour l'obtention sans l'autorisation préalable d'Enseignes Transworld s.e.	CH	2013/08/24
06	Plan de site, incluant la conception graphique de ses détails techniques et la seule propriété d'Enseignes Transworld s.e. et ne doit être reproduit, copié ou utilisé pour l'obtention sans l'autorisation préalable d'Enseignes Transworld s.e.	CH	2013/08/24
07	Plan de site, incluant la conception graphique de ses détails techniques et la seule propriété d'Enseignes Transworld s.e. et ne doit être reproduit, copié ou utilisé pour l'obtention sans l'autorisation préalable d'Enseignes Transworld s.e.	CH	2013/08/24
08	Plan de site, incluant la conception graphique de ses détails techniques et la seule propriété d'Enseignes Transworld s.e. et ne doit être reproduit, copié ou utilisé pour l'obtention sans l'autorisation préalable d'Enseignes Transworld s.e.	CH	2013/08/24
09	Plan de site, incluant la conception graphique de ses détails techniques et la seule propriété d'Enseignes Transworld s.e. et ne doit être reproduit, copié ou utilisé pour l'obtention sans l'autorisation préalable d'Enseignes Transworld s.e.	CH	2013/08/24
10	Plan de site, incluant la conception graphique de ses détails techniques et la seule propriété d'Enseignes Transworld s.e. et ne doit être reproduit, copié ou utilisé pour l'obtention sans l'autorisation préalable d'Enseignes Transworld s.e.	CH	2013/08/24



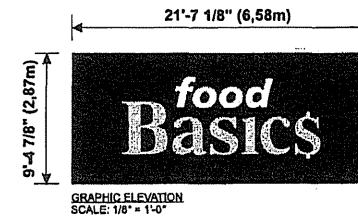
This sign approved: Permir # 13-6965  
Sign area = 35.49 m<sup>2</sup>

NOTE:  
SIGN WILL BE INSTALLED  
FLUSH WITH THE TOP  
OF THE ROOF.

Building area = 405.63 m<sup>2</sup>  
Existing sign area = 35.49 m<sup>2</sup>  
Proposed sign area = 18.88 m<sup>2</sup>  
Total sign area = 54.37 m<sup>2</sup>  
= 13.4%



Sign A



A  
1x

NEW ILLUMINATED SIGN

AREA: 18.88 m<sup>2</sup>

- ALUMINUM SIGN BOX PAINTED GREEN GRIP-GUARD
- FRAMELESS REMOVABLE FRAME PAINTED GREEN GRIP-GUARD
- FRAMELESS WHITE PANAGRAPHIC 3 FLEXIBLE VINYL FACE WITH GRAPHIC PRINTED ON A 3M / 8 COLORS PROCESS VINYL, WITH 3M UV INK + 3M GPS PROTECTION
- ILLUMINATION WILL BE PROVIDED BY H/O FLUORESCENT LAMPS
- STRUCTURE WILL BE FIXED TO THE BACK OF THE SIGN FOR INSTALLATION ON THE ROOF (TBD)

LEGEND:

G.C. RESPONSIBILITY: REPAIR WALL AS REQUIRED.

ALL SIGNAGE SUBJECT TO CITY APPROVAL AND SITE SURVEY

FOOD BASICS • #669 • Mississauga, ON

**ENSEIGNES TRANSWORLD**  
TRANSWORLD SIGNS  
A group of Hand Products / A Hand Products Company

3010 Parkway, Montreal (Quebec) H1J 1N7  
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Fax: 514 352-8036

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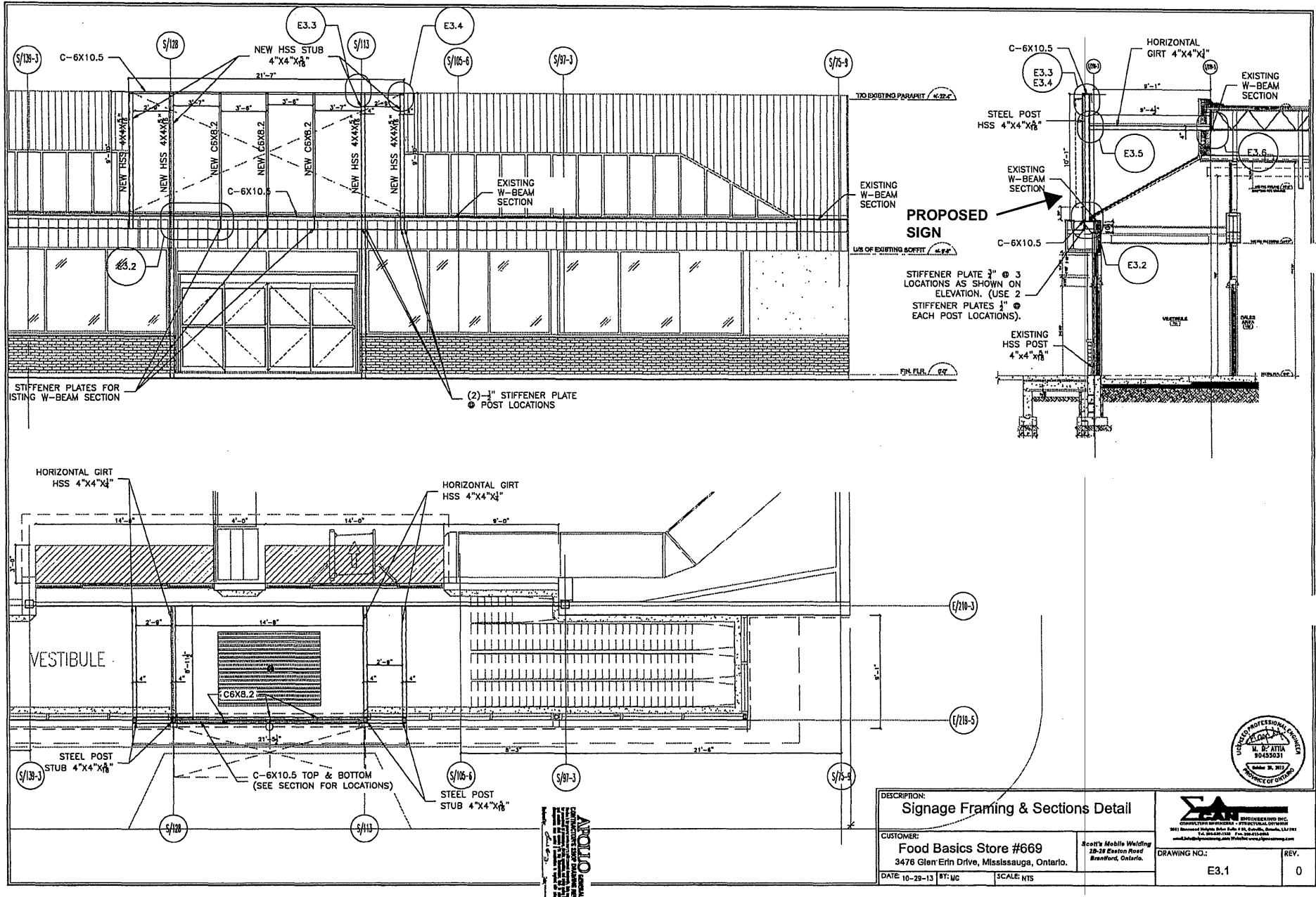
#### Client

food  
Basics

Adr./Add.: 3476, Glen Erin, Mississauga, ON  
Date: 2013 / 08 / 01, Rep: Bergeron M., #Des/Drawl: 260104m2  
Des.: CD, V.C.O.: , Ref. #:

#### Révision / Revision

#	Description / Revision	Par/By	Date
01	DIVERS	CH	2013-08-15
02	Spill pages, checked with survey, add pylon faces, add jacks	ND	2013-10-24
03	Revised 12, add note "no" and note "no" and note "no"	ND	2013-10-29
04	Revised 12, add note "no" and note "no"	ND	2013-10-29
05	Revised 12, add note "no" and note "no"	ND	2013-10-29
06	Revised 12, add note "no" and note "no"	ND	2013-10-29
07	Revised 12, add note "no" and note "no"	ND	2013-10-29
08	Revised 12, add note "no" and note "no"	ND	2013-10-29





# Corporate Report

Clerk's Files

 Originator's  
Files OZ 12/011 W8

**DATE:** April 15, 2014

**TO:** Chair and Members of Planning and Development Committee  
Meeting Date: May 5, 2014

**FROM:** Edward R. Sajecki  
Commissioner of Planning and Building

**SUBJECT:** **Information Report**  
**Rezoning Application**  
**To permit a four storey self-storage facility**  
**3995 Ninth Line**  
**Southeast corner of Burnhamthorpe Road West and Ninth Line**  
**Owner: The Erin Mills Development Corporation**  
**Applicant: Stantec Consulting Limited**  
**Bill 51**

**Public Meeting** **Ward 8**

**RECOMMENDATION:** That the Report dated April 15, 2014, from the Commissioner of Planning and Building regarding the application to change the Zoning from "E2-93" (Employment - Exception) to "E2 - Exception" (Employment - Exception), to permit a four storey self-storage facility under file OZ 12/011 W8, The Erin Mills Development Corporation, 3995 Ninth Line, southeast corner of Burnhamthorpe Road West and Ninth Line, be received for information.

**REPORT  
HIGHLIGHTS:**

- To date there have been no community concerns identified;
- Prior to the preparation of a Supplementary Report, matters to be addressed include the appropriateness of the proposed rezoning, outstanding department and agency comments, and the submission and review of supporting information and studies.

**BACKGROUND:**

The above-noted application has been circulated for technical comments. The purpose of this report is to provide preliminary information on the application and to seek comments from the community.

**COMMENTS:**

Details of the proposal are as follows:

<b>Development Proposal</b>	
Application submitted:	Received: September 25, 2012 Deemed complete: November 5, 2012
Height:	4 storeys
Lot Coverage:	66.82%
Floor Space Index:	2.93
Landscaped Area:	54.6%
Gross Floor Area:	14 382.3 m <sup>2</sup> (154,809.4 sq. ft.)
Number of storage units:	938
Parking Required:	86 spaces based on 0.6 spaces per 100 m <sup>2</sup> (1,076.42 sq. ft.) of gross floor area (GFA) – non – residential
Parking Provided:	16 spaces based on 0.11 spaces per 100 m <sup>2</sup> (1,076.42 sq. ft.) of gross floor area (GFA) – non – residential
Supporting Documents:	Planning Justification Report Plan of Survey Functional Servicing Report Phase 1 Environmental Site Assessment Existing Conditions Plan Preliminary Site Plan Draft Zoning By-law Parking Justification Study

**Site Characteristics**

Frontage:	20.29 m (66.56 ft.) along Ninth Line 151.71 m (497.73 ft.) along Burnhamthorpe Road West
Depth:	94.72 m (310.76 ft.) Irregular
Gross Lot Area:	1.21 ha (3 ac.)
Existing Use:	Vacant



In addition to the above, the following details are provided to assist in understanding the development as proposed:

- The applicant is proposing to construct the self-storage facility in two phases. Phase 1 will comprise a gross floor area (GFA) of 11 583 m<sup>2</sup> (124,678 sq. ft.), and the Phase 2 expansion will comprise 2 799.3 m<sup>2</sup> (30,131.4 sq. ft.) of GFA, as shown on Appendix I-5;
- The Region of Halton in coordination with the City of Mississauga is conducting an Environmental Assessment (EA) at the intersection of Ninth Line and Burnhamthorpe Road West. Two options are currently being reviewed: the first being intersection improvements including lane additions and the second being the feasibility of a roundabout. As a result of preliminary design work the applicant is required to dedicate additional right-of-way on Ninth Line over and above the ultimate 35.0 m (115 ft.) right-of-way requirements. The exact dimensions are to be finalized through the final design as part of the EA by the Region of Halton. The future property line is shown on the concept plan (see Appendix I-5);
- On November 22, 2012, a consent application to create a new lot for the proposed self-storage facility was approved. The consent has now expired. In the event the rezoning application is approved, the applicant will need to reapply for consent and obtain final approval, prior to zoning by-law enactment.

Additional information is provided in Appendices I-1 to I-8.

### **Green Development Initiatives**

The applicant has identified that the following green development initiatives will be incorporated into the development: Bio-retention areas; grass and dry swales; and new tree planting and native vegetation.

### Neighbourhood Context

The subject property is located on the western boundary of the Western Business Park Employment Area. A cell tower and accessory equipment shed exists on the northeast corner of the intersection. There is limited vegetation on the property and the site is generally flat with a berm along Highway 403.

Information regarding the history of the site is found in Appendix I-1.

The surrounding land uses are described as follows:

- North: Vacant employment lands across Burnhamthorpe Road West
- East: Vacant lands and employment uses across Highway 403
- South: Vacant employment lands
- West: Vacant agricultural lands across Ninth Line (Town of Oakville)

### Official Plan

#### Current Mississauga Official Plan Designation and Policies for the Western Business Park Employment Area

The subject site is designated "**Business Employment – Special Site 3**". The "**Business Employment**" designation permits an integrated mix of business activities that operate mainly within enclosed buildings. "**Business Employment**" activities along City boundaries, major roads and adjacent to park, greenbelt or residential lands; will through design, siting and landscaping, present a higher standard of building, landscape and streetscape design. A self-storage facility is a permitted use within the "**Business Employment**" designation. In addition to the uses permitted, the **Special Site 3 policies** permit a cemetery use. There are other policies in Mississauga Official Plan which are also applicable in the review of this application including:

### **Urban Design Policies for the Western Business Park Employment Area**

Section 17.10.1.1 (a) - For lands with direct exposure to Highway 403, limited parking will be permitted between the building and the Highway 403 property line.

Section 17.10.1.1 (b) - Upgraded building elevations will be required for lots abutting Highway 403 and Ninth Line.

Section 17.10.1.2 - Loading bays and waste collection areas should not face onto Provincial Highway 403 or Ninth Line.

The application is in conformity with the land use designation and no official plan amendment is proposed.

### **Existing Zoning**

**"E2-93" (Employment – Exception)**, which permits only active recreational uses and a cemetery.

### **Proposed Zoning By-law Amendment**

**"E2-Exception" (Employment – Exception)**, to permit a self-storage facility in accordance with the following proposed zone standards:

	<b>Required Zoning By-law Standard</b>	<b>Proposed "E2 - Exception" Zoning By-law Standard</b>
Parking	0.6 spaces per 100 m <sup>2</sup> (1,076.42 sq. ft.) of gross floor area (GFA) – non – residential	0.11 spaces per 100 m <sup>2</sup> (1,076.42 sq. ft.) of gross floor area (GFA) – non – residential
Landscape Buffer	4.5 m (14.76 ft.)	1.2 m (3.93 ft.)

The applicant has submitted a Parking Justification Study prepared by Stantec Consulting Ltd. dated November 20, 2013 which satisfactorily justifies the requested parking reduction.

There may be an opportunity to increase the proposed 1.2 m (3.93 ft.) landscape buffer through a re-adjustment of the parking lot and staff will explore this possibility with the applicant.

### **COMMUNITY ISSUES**

No community meetings were held and no written comments were received by the Planning and Building Department.

### **DEVELOPMENT ISSUES**

Agency comments are summarized in Appendix I-7. Based on the comments received and the applicable Mississauga Official Plan policies, the following matters will have to be addressed prior to the Supplementary Report:

- Submission of a revised Functional Servicing Report to the satisfaction of the Ministry of Transportation, Region of Peel, Region of Halton and City of Mississauga;
- Submission of preliminary building elevations;
- Additional landscaping near the proposed driveway access and an increased landscape buffer near the proposed parking spaces located closest to Ninth Line;
- The Region of Halton has requested that the access on Ninth Line be restricted to only right-in/right-out movements. The applicant has indicated that they will be providing a Traffic Analysis to address these concerns.

### **OTHER INFORMATION**

#### **Development Requirements**

In conjunction with the proposed development, there are certain other engineering and conservation matters with respect to noise attenuation and stormwater management, which will require the applicant to enter into appropriate agreements with the City.

#### **FINANCIAL IMPACT:**

Development charges will be payable in keeping with the requirements of the applicable Development Charges By-law of


the City as well as financial requirements of any other official agency concerned with the development of the lands.

**CONCLUSION:**

All agency and City department comments have been received and after the public meeting has been held and all outstanding issues are resolved, the Planning and Building Department will be in a position to make a recommendation regarding this application.

**ATTACHMENTS:**

Appendix I-1: Site History  
Appendix I-2: Aerial Photograph  
Appendix I-3: Excerpt of Western Business Park EA Character Area Land Use Map  
Appendix I-4: Excerpt of Existing Land Use Map  
Appendix I-5: Concept Plan  
Appendix I-6: Concept Renderings  
Appendix I-7: Agency Comments  
Appendix I-8: General Context Map



Edward R. Sajecki  
Commissioner of Planning and Building

*Prepared By: Sheena Harrington Slade, Development Planner*

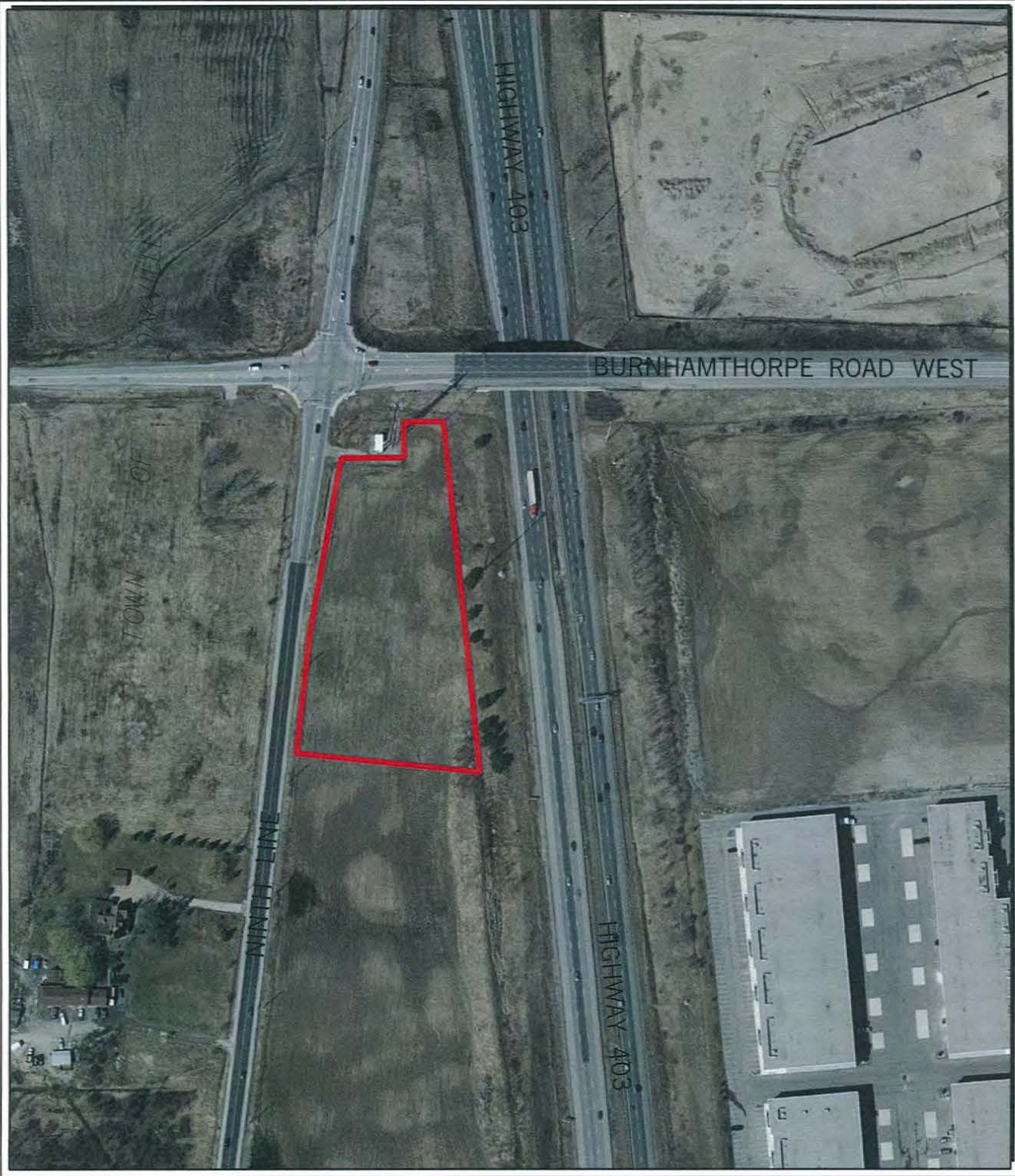


The Erin Mills Development Corporation

File: OZ 12/011 W8

### Site History

- June 12, 2003 – The Committee of Adjustment approved consent application 'B' 41/03 permitting the conveyance of a parcel of land having an area of approximately 2.833 ha (7 ac.). The effect of the application was to create a new lot for a ball hockey facility. The consent expired.
- December 13, 2004 – Site Plan Application SP 03/204 W8 for a new ball hockey facility was cancelled.
- November 22, 2012 – The Committee of Adjustment approved consent application 'B' 88/12 permitting the conveyance and lease of a parcel land of approximately 1.048 ha (2.589 ac). The effect of the application was to create a new lot for a self-storage facility. The consent expired.

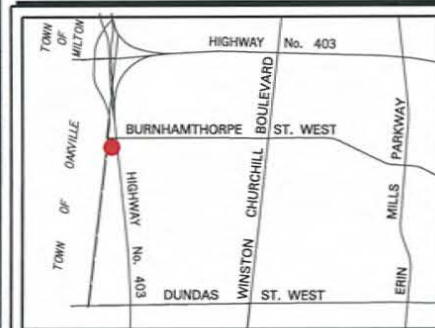


**LEGEND:**

**SUBJECT LANDS**



**SUBJECT: THE ERIN MILLS DEVELOPMENT CORPORATION**

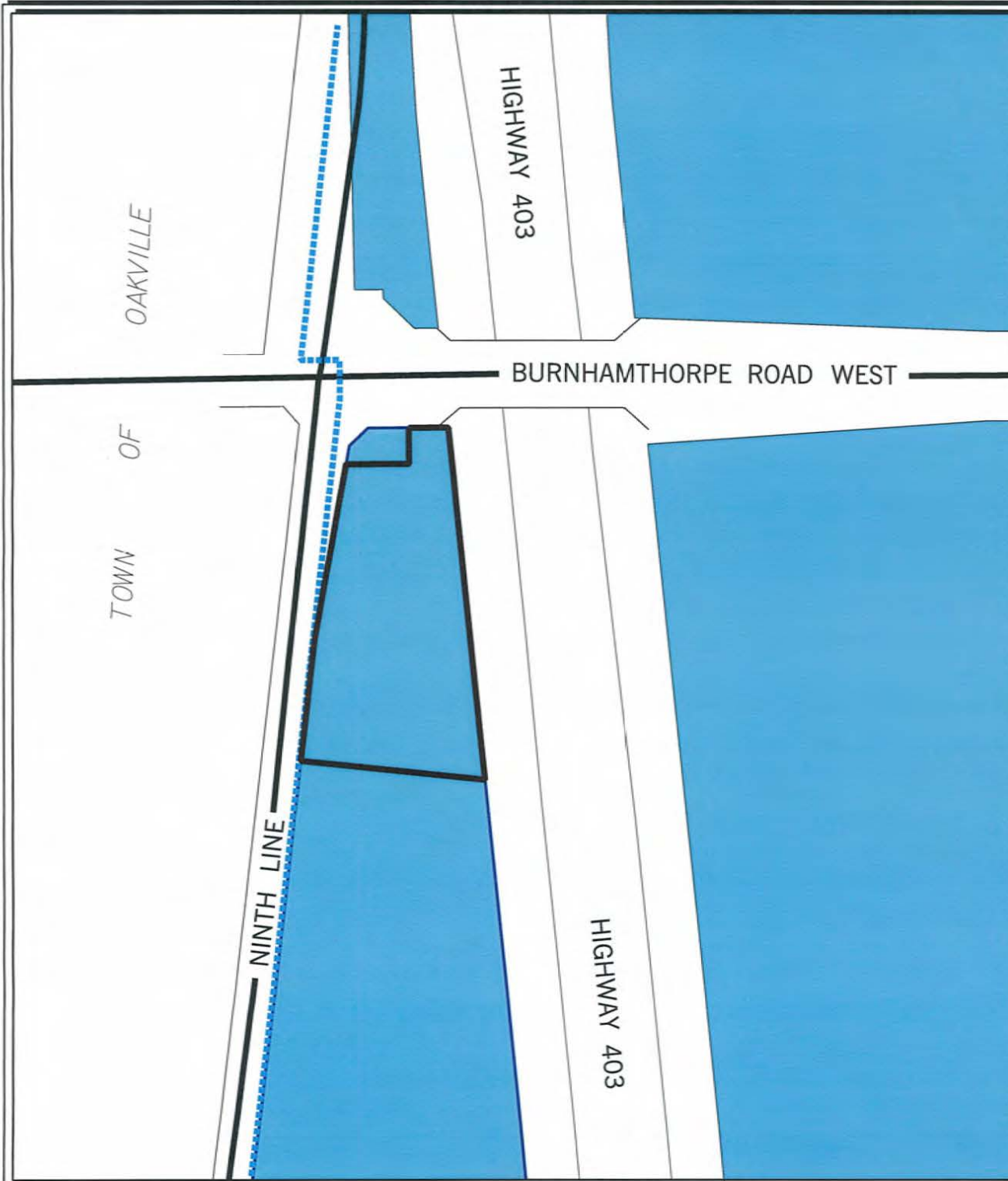


<b>FILE NO:</b> OZ 12 011 W8	
<b>DWG. NO:</b> 12011A	
<b>SCALE:</b> 1:3000	
<b>PDC DATE:</b> 2014 05 05	<b>APPENDIX I-2</b>
<b>DRAWN BY:</b> B. KRUGER	

**MISSISSAUGA**  
Planning and Building

Produced by  
**T&W, Geomatics**





# **PART OF SCHEDULE 10 LAND USE DESIGNATIONS OF MISSISSAUGA OFFICIAL PLAN**

## **LAND USE DESIGNATIONS**

Residential Low Density I	Business Employment
Residential Low Density II	Industrial
Residential Medium Density	Airport
Residential High Density	Institutional
Downtown Mixed Use	Public Open Space
Downtown Core Commercial	Private Open Space
Mixed Use	Greenbelt
Convenience Commercial	Parkway Belt West
Motor Vehicle Commercial	Utility
Office	To Be Determined

## **LAND USE LEGEND**

Heritage Conservation District	Civic Centre (City Hall)
1996 NEP/2000 NEF Composite Noise Contours	City Centre Transit Terminal
LBPIA Operating Area Boundary See Aircraft Noise Policies	GO Rail Transit Station
Area Exempt from LBPIA Operating Area	Public School
Natural Hazards	Catholic School
	Hospital
	Community Facilities

## **CITY STRUCTURE**

### **Elements**

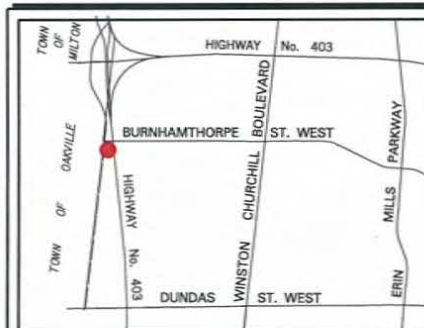
Downtown	Corporate Centre
Major Node	Employment Area
Community Node	Special Purpose Area
Neighbourhood	

ND2 Region of Peel Non-Decision

**SUBJECT LANDS**



**SUBJECT: THE ERIN MILLS DEVELOPMENT CORPORATION**



**FILE NO:**  
OZ 12 011 W8

**DWG. NO:**  
12011L

**SCALE:**  
1:3000

**PDC DATE:**  
2014 05 05

**DRAWN BY:**  
B. KRUGER

**APPENDIX I-3**

**MISSISSAUGA**  
Planning and Building

*Produced by*  
**T&W, Geomatics**



TOWN OF OAKVILLE

CELL TOWER

NINTH LINE

D  
VACANT

HIGHWAY 403

E2-24  
VACANT

BURNHAMTHORPE ROAD WEST

VACANT

E2-80


BUSINESS  
EMPLOYMENT

E2-93  
VACANT

HIGHWAY 403



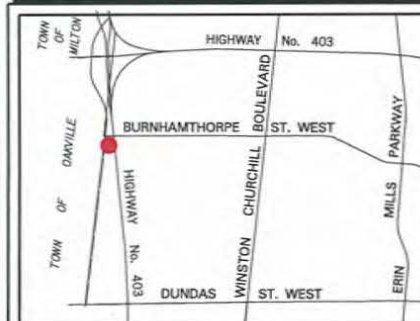
# LEGEND:

 PROPOSED REZONING FROM 'E2-93' (EMPLOYMENT-EXCEPTION) TO 'E2-EXCEPTION' (EMPLOYMENT-EXCEPTION) TO PERMIT A SELF-STORAGE FACILITY.

NOTE: EXISTING ZONING DELINEATED ON THE PLAN  
PROPOSED ZONING INDICATED BY SHADING WITHIN  
THE APPLICATION AREA.  
THIS IS NOT A PLAN OF SURVEY.



SUBJECT: THE ERIN MILLS DEVELOPMENT CORPORATION



FILE NO:  
OZ 12 011 W8  
DWG. NO:  
12011R  
SCALE:  
1:3000  
PDC DATE:  
2014 05 05  
DRAWN BY:  
B. KRUGER

APPENDIX I-4

 **MISSISSAUGA**  
Planning and Building

Produced by  
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SITE DATA  
 PROPOSED SITE AREA: 1.214 ha (3.000 ac)  
 DEVELOPABLE AREA: 0.609 ha (1.504 ac)

PHASE 1  
 MAIN FLOOR AREA: 2,583.8 m<sup>2</sup> (27,793 sf)  
 UPPER TYPICAL 2nd, 3rd + 4th FLOOR AREAS: 3,000 m<sup>2</sup> (32,292 sf)  
 TOTAL BUILDING AREA: 11,583 m<sup>2</sup> (124,678 sf) (4 Levels)

PHASE 2  
 MAIN FLOOR AREA: 699.8 m<sup>2</sup> (7,533 sf)  
 UPPER TYPICAL 2nd, 3rd + 4th FLOOR AREAS: 2,099.4 m<sup>2</sup> (22,598 sf)  
 TOTAL BUILDING AREA: 2,799.2 m<sup>2</sup> (30,130 sf) (4 Levels)

TOTAL  
 MAIN FLOOR AREA: 3,282.8 m<sup>2</sup> (35,335.8 sf)  
 UPPER TYPICAL 2nd, 3rd + 4th FLOOR AREAS: 5,099.4 m<sup>2</sup> (54,889.5 sf)  
 TOTAL BUILDING AREA: 14,382.3 m<sup>2</sup> (154,809.8 sf) (4 Levels)

PARKING SPACES PROVIDED: 16 PARKING STALLS TOTAL (INCLUDES 1 HANDICAP)  
 PARKING SPACES REQUIRED: RATE OF 0.11 PER 100m<sup>2</sup> GFA (non-res)  
 LOT COVERAGE - (BUILDING AREA / LOT AREA)  
 PHASE 1 - 52.58%      PHASE 2 - 14.24%      TOTAL - 66.82%

FLOOR SPACE INDEX - (TOTAL FLOOR SPACE AREA / LOT AREA)  
 PHASE 1 - 2.36 AREA / SITE      PHASE 2 - 0.57 AREA / SITE      TOTAL - 2.93 AREA / SITE

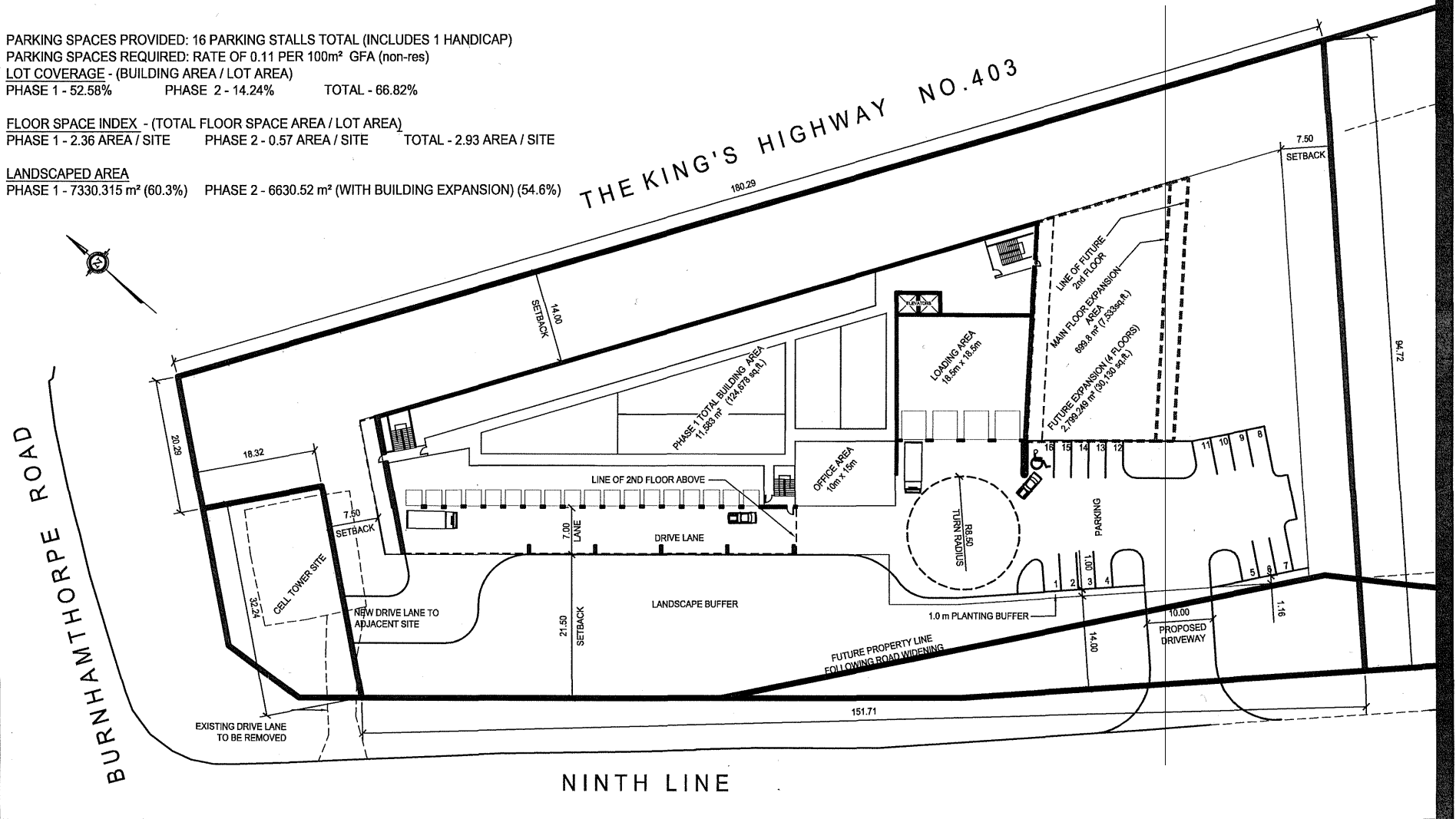
LANDSCAPED AREA  
 PHASE 1 - 7330.315 m<sup>2</sup> (60.3%)      PHASE 2 - 6630.52 m<sup>2</sup> (WITH BUILDING EXPANSION) (54.6%)

LOT AREA - 4912.9 m<sup>2</sup> / 1.214 ha (3.000 ac)  
 FRONTAGE - 151.71 m ALONG NINTH LINE ROAD EXCLUDING CELL TOWER SITE  
 FRONTAGE - 20.29 m ALONG BURNHAMTHORPE ROAD EXCLUDING CELL TOWER SITE

DEPTH - 60.55 m (AVERAGE)

UNITS PROPOSED  
 PHASE 1 - 756 UNITS      PHASE 2 - 182 UNITS      TOTAL - 938 UNITS

APPLICATION NUMBER - OZ 12/011 W8





VIEW FROM HWY 403 LOOKING NORTH



VIEW FROM NINTH LINE LOOKING NORTH



VIEW FROM NINTH LINE LOOKING SOUTH

**SENTINEL**  
DESIGN CORP

OPTION F5 FEBRUARY 13 2012

The Erin Mills Development Corporation

File: OZ 12/011 W8

**Agency Comments**

The following is a summary of comments from agencies and departments regarding the application.

Agency / Comment Date	Comment
Ministry of Transportation (January 8, 2014)	<p>The Ministry has no objection to the proposed Rezoning and confirms that the setback requirements are acceptable. A Building and Land Use Permit is required prior to any grading/construction activities.</p> <p>Should the application be approved, the Ministry requests to be circulated on the Site Plan Application for MTO review and approval.</p> <p>The Functional Servicing Report (FSR) has been forwarded to the Drainage Department for review, detailed comments will be provided as soon as possible.</p>
Region of Peel (January 22, 2014)	<p>The FSR received as part of the submission on December 20, 2013 needs to be revised to include fire flow calculations, hydrant flow tests and domestic water demand calculations.</p> <p>The FSR will not be circulated for review until all requirements are addressed.</p>
Halton Region (March 7, 2014)	<p>Any lands that are part of the subject property and have been identified as required for the future widening and/or realignment of Burnhamthorpe Road and/or Ninth Line, as identified in the New North Oakville Transportation Corridor (NNOTC) Detailed Design Project, shall be dedicated to the Regional Municipality of Halton for the purpose of road right-of-way widening, realignment and future road improvements.</p> <p>The proposed southerly access is located approximately 100 m (328.08 ft.) from the intersection and must be restricted to a right-in/right-out movements.</p>

The Erin Mills Development Corporation

File: OZ 12/011 W8

Agency / Comment Date	Comment
	<p>The FSR has been forwarded to the consultant for the New North Oakville Transportation Corridor (NNOTC) Detailed Design project for review and comment.</p> <p>Generally, Halton Transportation issues at a conceptual level are:</p> <ul style="list-style-type: none"> <li>• Determining the impact of stormwater drainage from the development area to existing and planned Regional roadways, including potential impact upon existing and planned stormwater drainage systems within a Regional roadway, including mitigation;</li> <li>• Determining the feasibility and benefit of incorporating existing and future drainage from Regional roadways into development area stormwater management infrastructure.</li> </ul>
<p>City Community Services Department – Parks and Forestry Division/Park Planning Section (March 21, 2014)</p>	<p>In the event that the application is approved, the Community Services Department - Park Planning note the following conditions:</p> <ul style="list-style-type: none"> <li>• Prior to By-law Enactment, the applicant is required to make a cash contribution for street tree planting;</li> <li>• Prior to the issuance of building permits for each lot or block cash-in-lieu for park or other public recreational purposes is required pursuant to Section 42 of the <i>Planning Act</i> (R.S.O. 1990, c.P. 13, as amended) and in accordance with City's Policies and By-laws.</li> </ul>
<p>City Community Services Department – Fire and Emergency Services Division (March 25, 2014)</p>	<p>This area is not located close to an existing fire station. At the present time the expected average response time to emergencies in this area will be greater, relative to the average response time for the City in total.</p> <p>An actual flow test of the existing water supply system in an area adjacent to this location indicates the potential for an adequate supply of water for fire protection purposes. Confirmation will be required that the flows necessary for adequate fire protection are available at the site, prior to the issuance of any building permits.</p>

The Erin Mills Development Corporation

File: OZ 12/011 W8

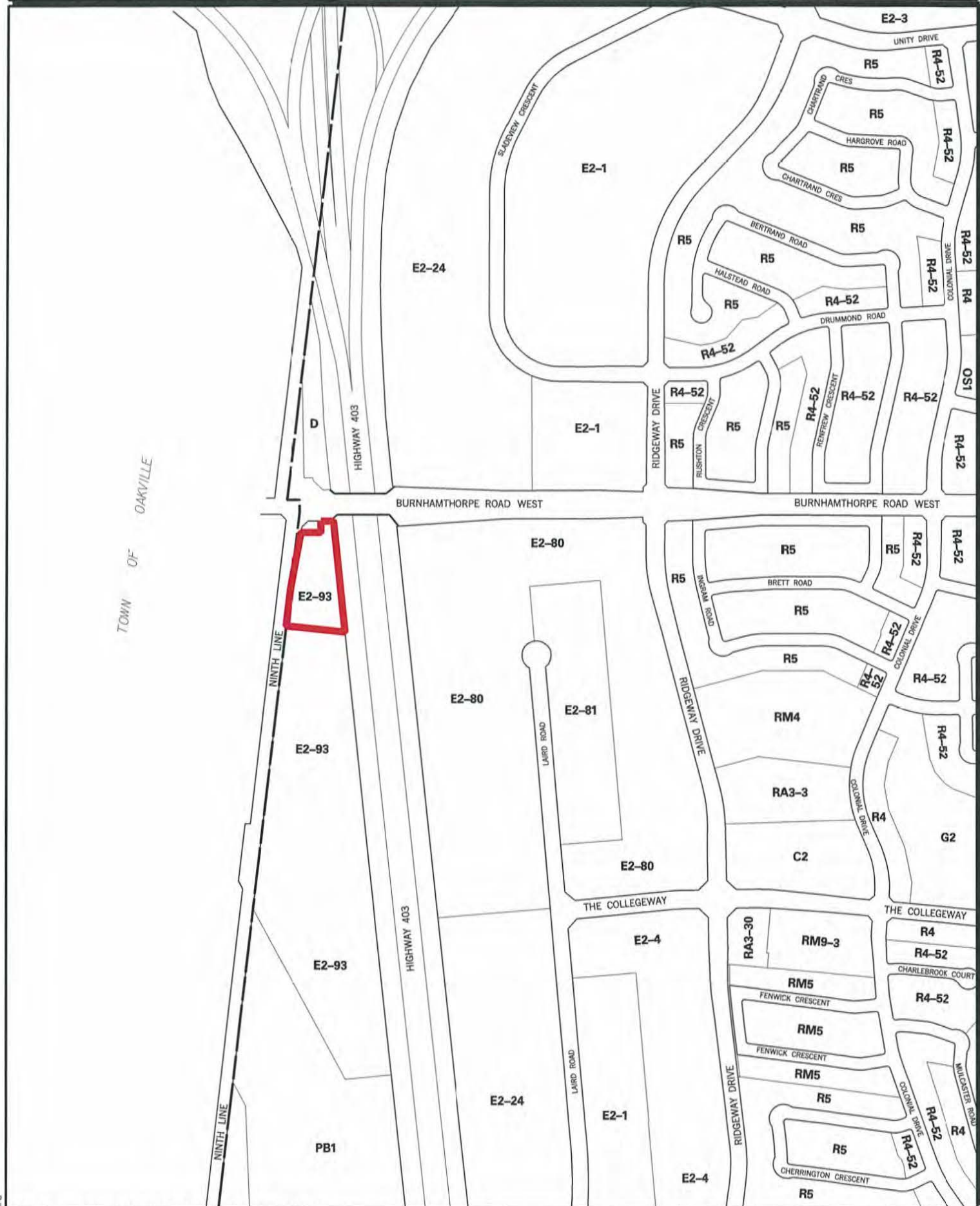
Agency / Comment Date	Comment
<p>City Transportation and Works Department (February 28, 2014)</p>	<p>This department is in receipt of a FSR and Phase 1 and 2 Environment Site Assessment which are currently under review.</p> <p>Prior to the Supplementary Report proceeding to Council, the applicant's consultant is to provide additional information to ensure that the subject site will match the proposed intersection improvement works at Burnhamthorpe Road West and Ninth Line as part of an Environmental Assessment being undertaken by the Region of Halton.</p> <p>This site is within the Permit Control Area of the MTO and therefore will require their approval related to any access, grading, property and setback requirements. In addition, approval will be required from the Region of Halton and Town of Oakville regarding any stormwater management requirements.</p> <p>Further detailed comments will be provided prior to the Supplementary Meeting pending the review of the foregoing.</p>
<p>Other City Departments and External Agencies</p>	<p>The following City Departments and external agencies offered no objection to this application provided that all technical matters are addressed in a satisfactory manner:</p> <ul style="list-style-type: none"> <li>• Economic Development Office</li> <li>• Enersource Hydro Mississauga</li> <li>• Halton Region Conservation Authority</li> <li>• Town of Oakville</li> <li>• Canada Post Corporation</li> <li>• Rogers Cable</li> <li>• Bell Canada</li> </ul>
	<p>The following City Departments and external agencies were circulated the application but provided no comments:</p> <ul style="list-style-type: none"> <li>• City Realty Services</li> <li>• Town of Milton</li> <li>• Enbridge Gas</li> </ul>



## GENERAL CONTEXT MAP

OZ 12011 W8

APPENDIX I-8





# Corporate Report

Clerk's Files

 Originator's  
Files OZ 13/020 W5

**DATE:** April 15, 2014

**TO:** Chair and Members of Planning and Development Committee  
Meeting Date: May 5, 2014

**FROM:** Edward R. Sajecki  
Commissioner of Planning and Building

**SUBJECT:** **Information Report**  
**Rezoning Application**  
**To permit two apartment buildings**  
**with heights of 23 and 26 storeys**  
**5025 and 5033 Four Springs Avenue**  
**Northwest quadrant of Hurontario Street**  
**and Eglinton Avenue West**  
**Applicant / Owner: Pinnacle International (Ontario) Limited**  
**Bill 51**

**Public Meeting** **Ward 5**

**RECOMMENDATION:** That the Report dated April 15, 2014, from the Commissioner of Planning and Building regarding the application to amend the "RA5-42" (Apartment Dwellings-Exception) zone provisions to permit two apartment buildings with heights of 23 and 26 storeys under File OZ 13/020 W5, Pinnacle International (Ontario) Limited, 5025 and 5033 Four Springs Avenue, be received for information.

**REPORT  
HIGHLIGHTS:**

- The proposal is to permit two apartment buildings with heights of 23 and 26 storeys whereas 3 apartment buildings with heights of 15, 20 and 20 storeys were previously permitted. No



increase in the number of apartment dwelling units is being sought.

- Prior to the Supplementary Report, matters to be further evaluated include an assessment of the appropriateness of the proposed zoning standards.

## **BACKGROUND:**

Applications for development on the subject sites were approved by Council on December 12, 2012 under Files OZ/OPA 07/025 W5 which redesignated the subject land to "Residential High Density-Special Site 6" and the zoning to "RA5-42" (Apartment Dwellings-Exception). The draft plan of subdivision was subsequently approved on March 6, 2013 by the Commissioner of Planning and Building under File T-M07006 W5.

The subject lands are located within Phase 3 of the Pinnacle Master Development Plan which consists of five development phases (See Appendix I-5).

The zoning by-law for Phase 3 permits three apartment buildings, one with a height of 15 storeys and the other two with heights of 20 storeys each. Although the applicant is not proposing to revise the total number of apartment units permitted (454), there is a desire to redistribute the units onsite, by removing one tower, and increasing the heights of the two other buildings to 23 and 26 storeys, respectively. The location of the buildings are also being adjusted and there has been a request to allow architectural encroachments, which includes a maximum projection of 2.50 m (8.20 ft.) for cornices, canopies and balconies.

In order to ensure the community is mixed-use in nature, the zoning by-law also required a minimum of 1 000 m<sup>2</sup> (10,764 sq. ft.) accessory commercial uses which is now being proposed to be moved to another portion of the site; from "Area A" to "Area C", which is Phase 5 of the Master Plan (See Appendix I-7).

An amendment to the Pinnacle Master Plan to recognize these changes will be required as well as an alteration to the phasing line

between Phases 3 and 5 to accommodate a transformer at the southeast corner of the site adjacent to Little Creek Road.

The above-noted application has been circulated for technical comments and no community meeting has been held. The purpose of this report is to provide preliminary information on the application and to seek comments from the community.

#### COMMENTS:

The development proposal is for two residential apartment buildings located on Block 1 on the associated Draft Plan of Subdivision (See Appendix I-8).

Details of the proposal are as follows:

<b>Development Proposal</b>	
Application submitted:	Received: January 3, 2014 Deemed complete: January 31, 2014
Height:	26 storeys 23 storeys
Existing Permitted Floor Space Index:	7.11
Proposed Floor Space Index:	6.88
Maximum Number of apartment dwelling units	454
Parking Required:	568
Parking Provided:	595
Supporting Documents:	Site Plan under file SP 13/162 W5

<b>Site Characteristics - Block 1</b>	
Frontage:	83.8 m (274.9 ft.)
Depth:	61.5 m (201.8 ft.)
Net Lot Area:	0.5 ha (1.3 ac.)
Existing Use:	Vacant

### **Green Development Initiatives**

The applicant has identified that the following green development initiatives will be incorporated into the development:

- Green roof system: Where feasible, all portions of the roofs on the residential buildings will have either a high solar reflectance surface or a "green roof";
- A tri-sorter system will be installed for convenient separation and disposal of recyclables and refuse;
- Bicycle parking spaces have been proposed to encourage bicycle use as an alternative form of transportation.

### **Neighbourhood Context**

The subject property, which is part of a larger mixed use development application approved in 2012, is located within the Uptown Major Node Character Area. Information regarding the history of the site is found in Appendix I-1.

The surrounding land uses are described as follows:

- North: Vacant land zoned for townhouses and apartment buildings. A 10 storey apartment building (fronting on Hurontario Street); townhouse dwellings fronting onto Salishan Circle; Cooksville Creek Public School
- East: Vacant land zoned for mixed use apartment buildings. Across Hurontario Street, a retail commercial centre. To the north of the centre, the land is vacant but zoned and designated for high density mixed residential uses
- South: Two apartment dwellings under construction and an Esso automotive service station
- West: Vacant land zoned for townhouses. West of Cooksville Creek, vacant land zoned for parkland and greenbelt purposes

### **Mississauga Official Plan Designation and Policies for the Uptown Major Node Character Area (November 14, 2012)**

The subject lands are located within the Uptown Major Node Character Area and are part of an area designated "**Residential High Density-Special Site 6**" which permits a maximum of 1,969 dwelling units, a minimum of 11 000 m<sup>2</sup> (118,406.88 sq. ft.) and a maximum of 25 200 m<sup>2</sup> (271,259.41 sq. ft.) commercial and office uses contained within the first three storeys of the residential buildings. The land subject to this application has been allocated a portion of these permissions and is regulated through the Zoning By-law.

The application is in conformity with the land use designations and no Official Plan amendments are proposed.

#### **Urban Design Policies**

The urban design policies of Mississauga Official Plan require that building, landscaping and site design are compatible with site conditions and will create appropriate transition, with respect to visual and functional relationships between individual buildings, groups of buildings, and open spaces.

There are other policies in Mississauga Official Plan that are also applicable in the review of this application, which are found in Appendix I-11.

#### **Existing Zoning**

**"RA5-42" (Apartment Dwellings-Exception)**, which permits three apartment dwellings with a maximum height of 20 storeys and additional permitted uses including; office; medical office-restricted; retail store; financial institution; restaurant, take-out restaurant; and personal service establishment. These uses are limited to a total gross floor area (GFA) of 15 000 m<sup>2</sup> (161,459 sq. ft.) on all lands zoned "RA5-42".

### **Proposed Zoning By-law Amendment**

The applicant has proposed revised zone standards as detailed in Appendix I-12 that regulate podium and tower height, and architectural canopy and balcony projections. Amendments to the "RA5-42" Exception Zone schedule are also required to allow the additional height and to transfer the minimum 1 000 m<sup>2</sup> (10,764 sq. ft.) gross floor area-non-residential (commercial) use requirement from the proposed building located in "Area A" to the podium of the proposed building in "Area C" (See Appendices I-6 to I-7).

### **COMMUNITY ISSUES**

No community meetings have been held and no written comments were received by the Planning and Building Department.

### **DEVELOPMENT ISSUES**

Agency comments are summarized in Appendix I-10. Based on the comments received and the applicable Mississauga Official Plan policies, prior to proceeding to the supplementary meeting, the following matters will have to be addressed:

- Identify any community issues that have been raised at the public meeting;
- Assess the appropriateness of the proposed zoning standards.

### **Development Requirements**

In conjunction with the proposed development, there are certain items resulting from revisions to the Pinnacle Master Plan, which will require the applicant to confirm whether or not amendments to the executed servicing agreements are necessary.

**FINANCIAL IMPACT:** Development charges will be payable in keeping with the requirements of the applicable Development Charges By-law of the City as well as financial requirements of any other official agency concerned with the development of the lands.

**CONCLUSION:** All agency and City department comments have been received and after the public meeting has been held, the Planning and Building Department will be in a position to make a recommendation regarding this application.

**ATTACHMENTS:**

- Appendix I-1: Site History
- Appendix I-2: Aerial Photograph
- Appendix I-3: Excerpt of Uptown Major Node Character Area Land use Map
- Appendix I-4: Excerpt of Existing Land Use Map
- Appendix I-5: Phasing Plan
- Appendix I-6: Previous and Current development proposal
- Appendix I-7: Existing Exception Schedule for RA5-42
- Appendix I-8: Draft Plan of Subdivision
- Appendix I-9: Elevations
- Appendix I-10: Agency Comments
- Appendix I-11: Relevant Mississauga Official Plan policies
- Appendix I-12: Proposed Zoning Standards
- Appendix I-13: General Context Map



Edward R. Sajecki

Commissioner of Planning and Building

*Prepared By: Lauren Eramo-Russo, Development Planner*

Pinnacle International (Ontario) Limited

File: OZ 13/020 W5

### Site History

- May 5, 2003- The Region of Peel approved the Mississauga Plan policies for the Hurontario District, designating the subject lands as "Residential Low Density I", "Residential Medium Density I", "Residential High Density II" and "Public Open Space".
- June 20, 2007- Zoning By-law 0225-2007 came into force except for those sites which were appealed. The matter was originally appealed by the applicant (Appeal No.18) and was withdrawn in November 2008. The subject lands were initially zoned "D" (Development).
- November 14, 2012- Mississauga Official Plan came into force except for those policies which have been appealed. As no appeals have been filed, the policies of the new Mississauga Official Plan apply. The subject lands are designated "Residential High Density- Special Site 6" in the Uptown Major Node Character Area.
- December 12, 2012- City Council enacts By-law 0275-2012 which changed the zoning of the entire property from "D" (Development) to "RM4-74" (Townhouse Dwellings-Exception), "RA4-41" (Apartment Dwellings-Exception), "RA5-42" (Apartment Dwellings-Exception) and "OS1" (Community Park) under File OZ 07/025 W5.
- December 12, 2012- City Council enacts By-law 0276-2012 to amend Mississauga Official Plan (MOPA3) from "Residential Low Density II", Residential Medium Density I", "Residential High Density II" and "Public Open Space" to "Residential-Medium Density I" "Residential High Density-Special Site 6", "Public Open Space" and "Greenbelt".
- February 13, 2013- A Notice of Decision to approve the Draft Plan of Subdivision was issued. The Plan is currently draft approved and is close to registration.
- June 18, 2013- A proposal for two apartment buildings is presented at the Urban Design Advisory Panel along with a Master Plan Concept for the entire development.





**LEGEND:**



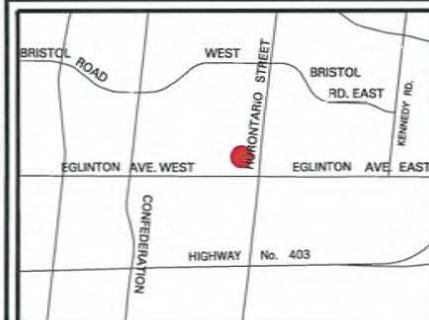
**SUBJECT LANDS**

**DATE OF IMAGERY: SPRING 2013**



**SUBJECT:**

**PINNACLE INTERNATIONAL LIMITED**



**FILE NO:**  
OZ 13/020

**DWG. NO:**  
13020A

**SCALE:**  
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**DATE:**  
2014/05/05

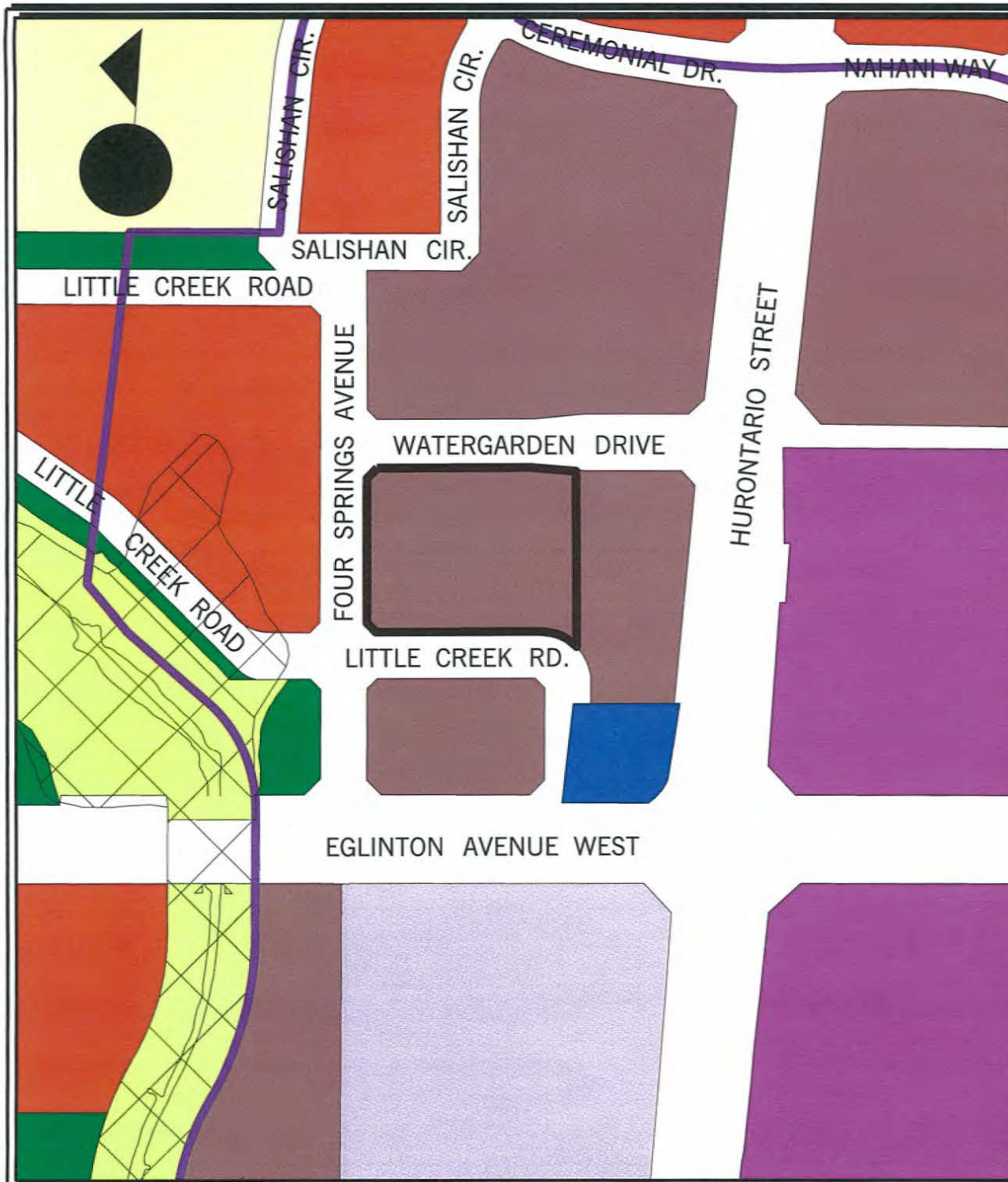
**DRAWN BY:**  
A.SHAH

**APPENDIX I-2**

**MISSISSAUGA**  
Planning and Building

*Produced by*  
**T&W, Geomatics**





# **PART OF SCHEDULE 10 LAND USE DESIGNATIONS OF MISSISSAUGA OFFICIAL PLAN**

## **LAND USE DESIGNATIONS**

Residential Low Density I	Business Employment
Residential Low Density II	Industrial
Residential Medium Density	Airport
Residential High Density	Institutional
Downtown Mixed Use	Public Open Space
Downtown Core Commercial	Private Open Space
Mixed Use	Greenbelt
Convenience Commercial	Parkway Belt West
Motor Vehicle Commercial	Utility
Office	To Be Determined

## **LAND USE LEGEND**

Heritage Conservation District	Civic Centre (City Hall)
1996 NEP/2000 NEF Composite Noise Contours	City Centre Transit Terminal
LBPIA Operating Area Boundary See Aircraft Noise Policies	GO Rail Transit Station
Area Exempt from LBPIA Operating Area	Public School
Natural Hazards	Catholic School
	Hospital
	Community Facilities

## **CITY STRUCTURE**

### **Elements**

Downtown	Corporate Centre
Major Node	Employment Area
Community Node	Special Purpose Area
Neighbourhood	



**SUBJECT LANDS**



**SUBJECT:**

**PINNACLE INTERNATIONAL LIMITED**



**FILE NO:**  
**OZ 13/020**

**DWG. NO:**  
**13020L**

**SCALE:**  
**1:1500**

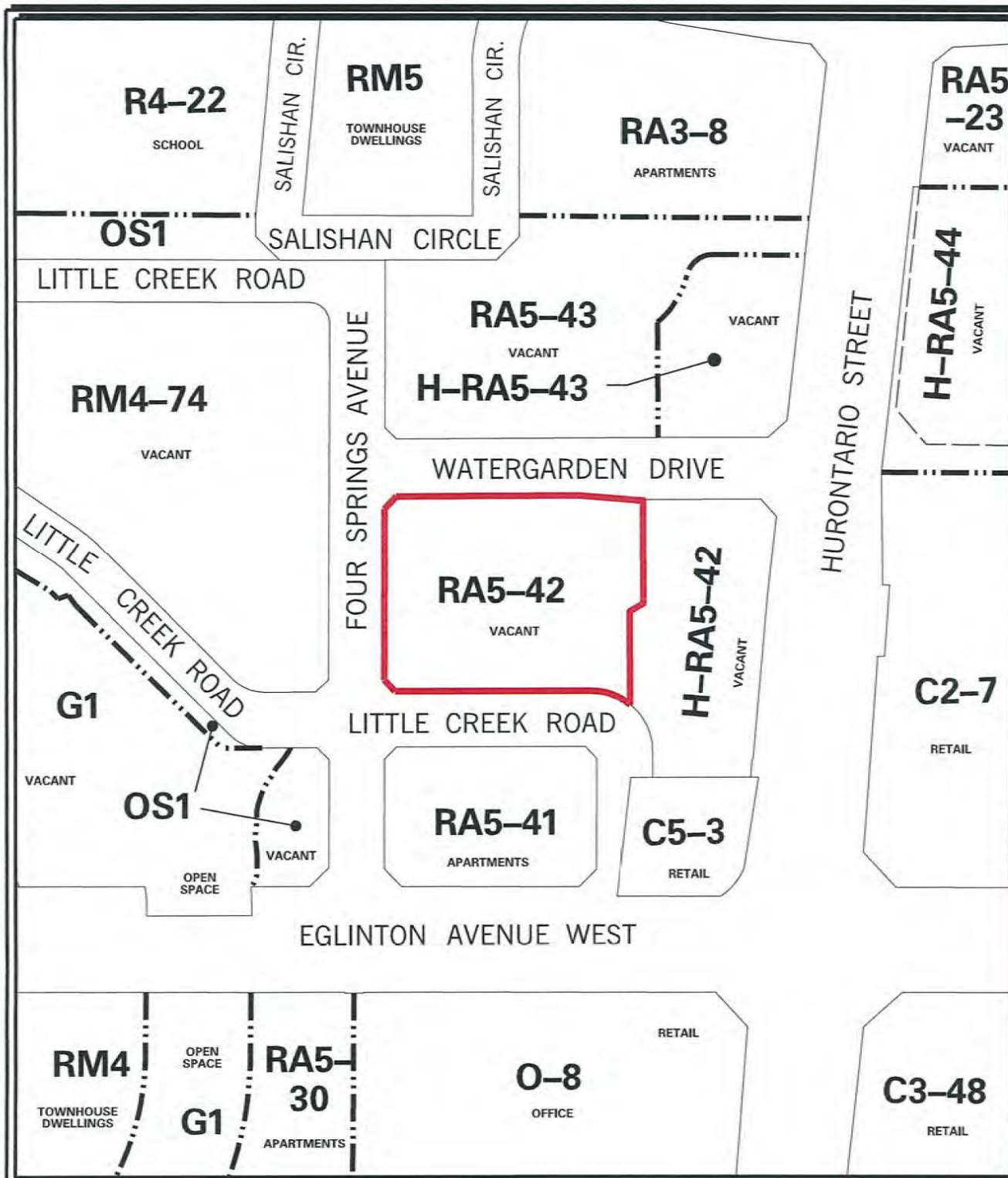
**DATE:**  
**2014/05/05**

**DRAWN BY:**  
**A.SHAH**

**MISSISSAUGA**  
**Planning and Building**

**Produced by**  
**T&W, Geomatics**

**APPENDIX I-3**



# LEGEND:



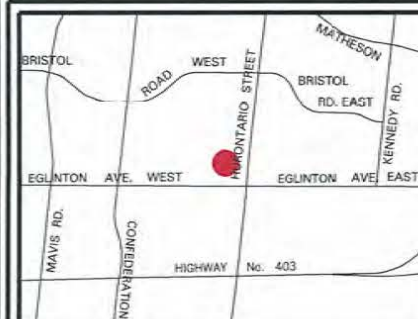
PROPOSED ZONING BY-LAW AMENDMENT TO THE "RA5-EXCEPTION" ZONE TO PERMIT TWO APARTMENT BUILDINGS WITH HEIGHTS OF 23 AND 26 STOREYS WHEREAS THREE APARTMENT BUILDINGS WITH HEIGHTS OF 15, 20 AND 20 STOREYS IS CURRENTLY PERMITTED ON THESE LANDS.

THIS IS NOT A PLAN OF SURVEY.



## SUBJECT:

PINNACLE INTERNATIONAL LIMITED



FILE NO:  
OZ 13/020

DWG. NO:  
13020R

SCALE:  
1:2500

DATE:  
2014/05/05

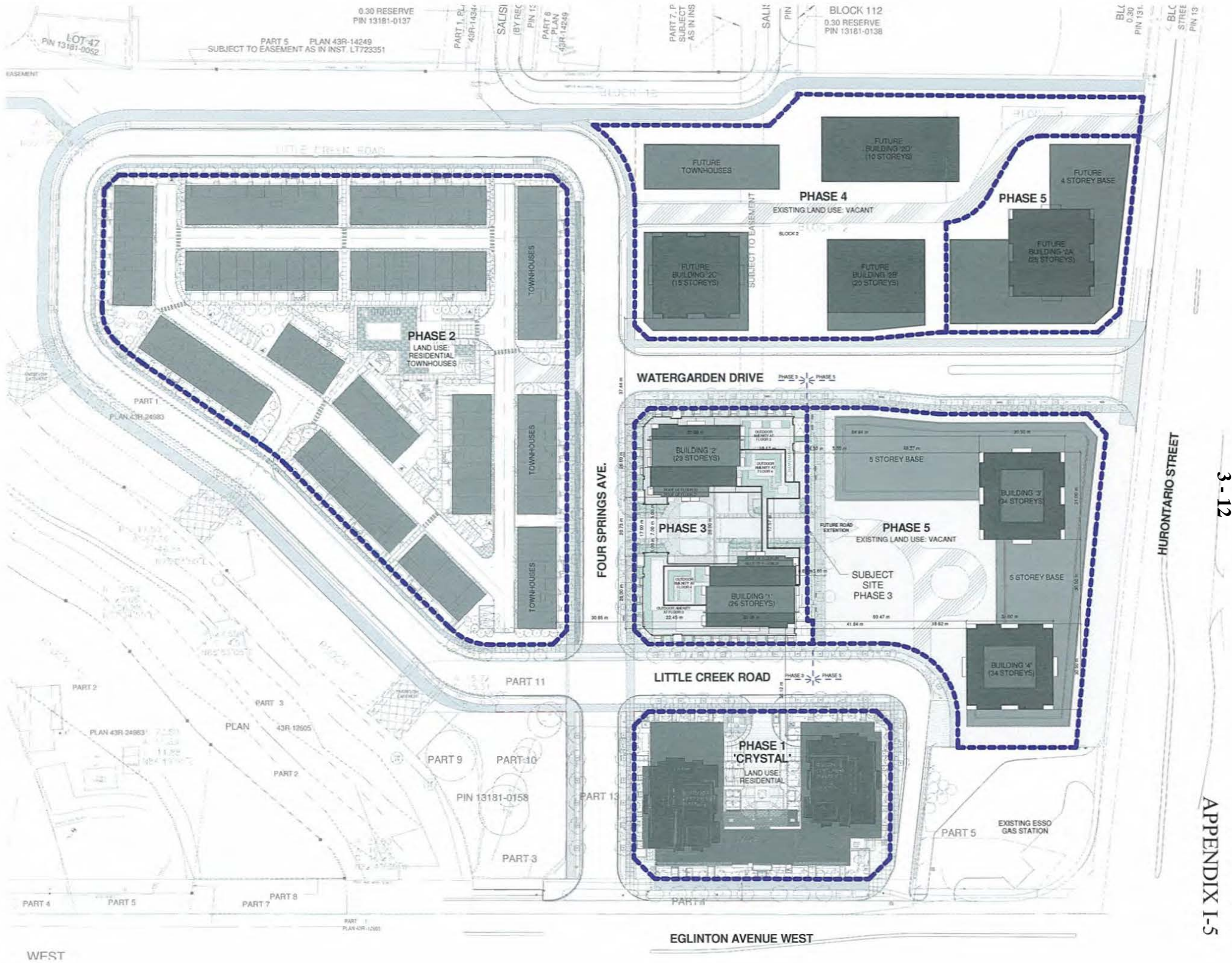
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A.SHAH

APPENDIX 1-4

**MISSISSAUGA**  
Planning and Building

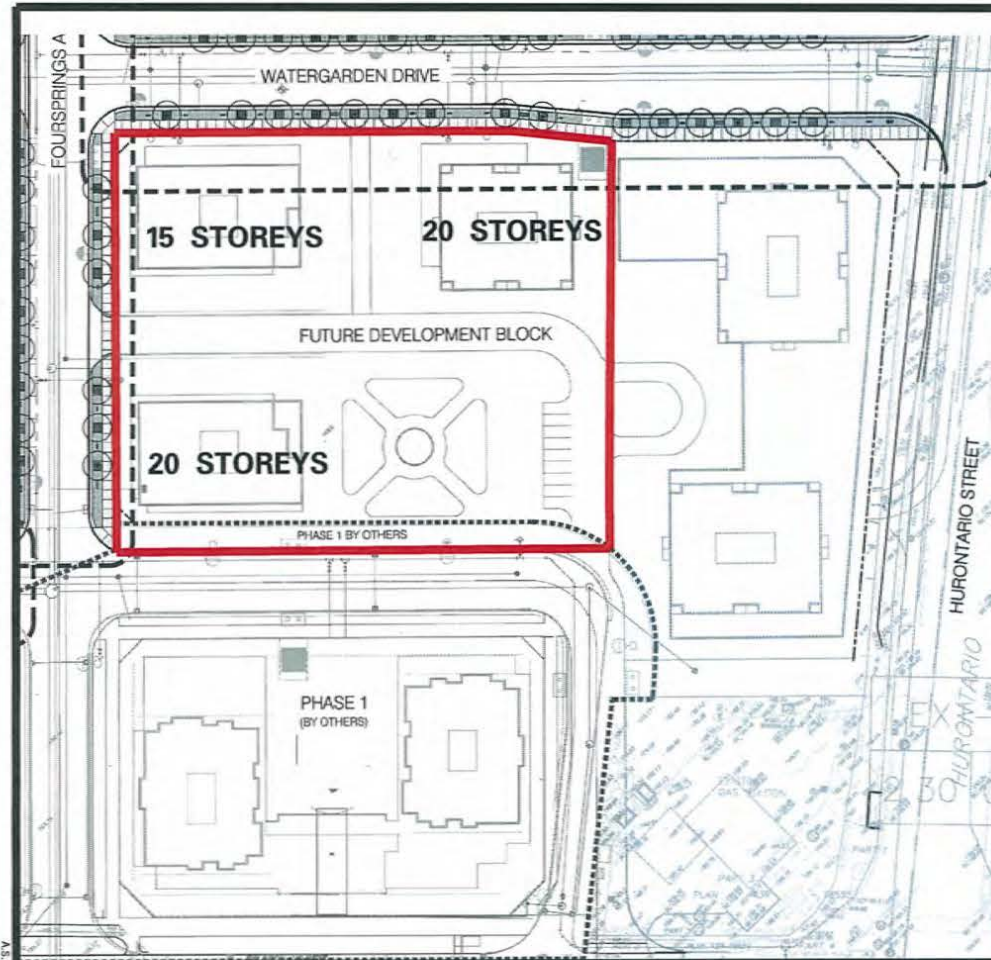
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T&W, Geomatics





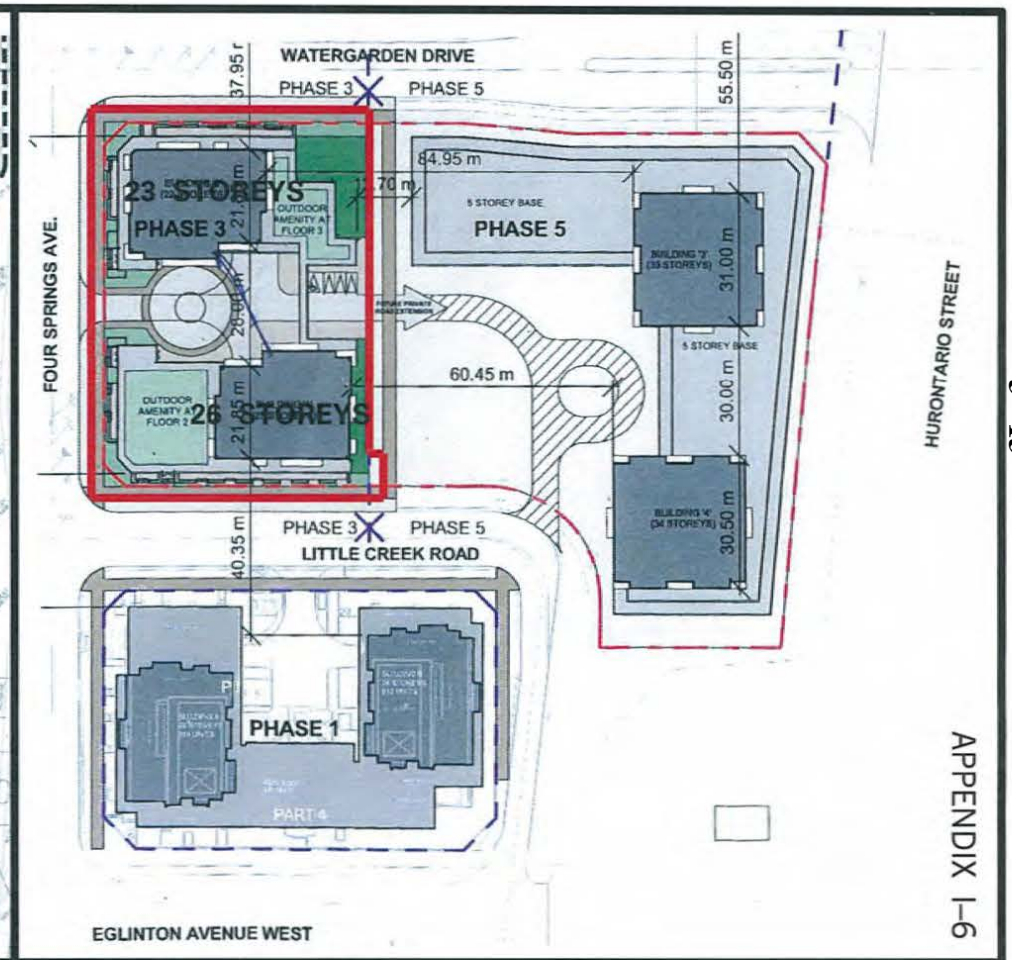


## PREVIOUS PROPOSAL



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## CURRENT PROPOSAL



FOUR SPRINGS AVE.

STREET 'A'

AREA A

AREA C

AREA D

AREA B

AREA E

WALKWAY

Private Road

LITTLE CREEK RD.

HURONTARIO STREET



Note:  
All measurements are in metres  
and are minimum setbacks,  
unless otherwise noted.

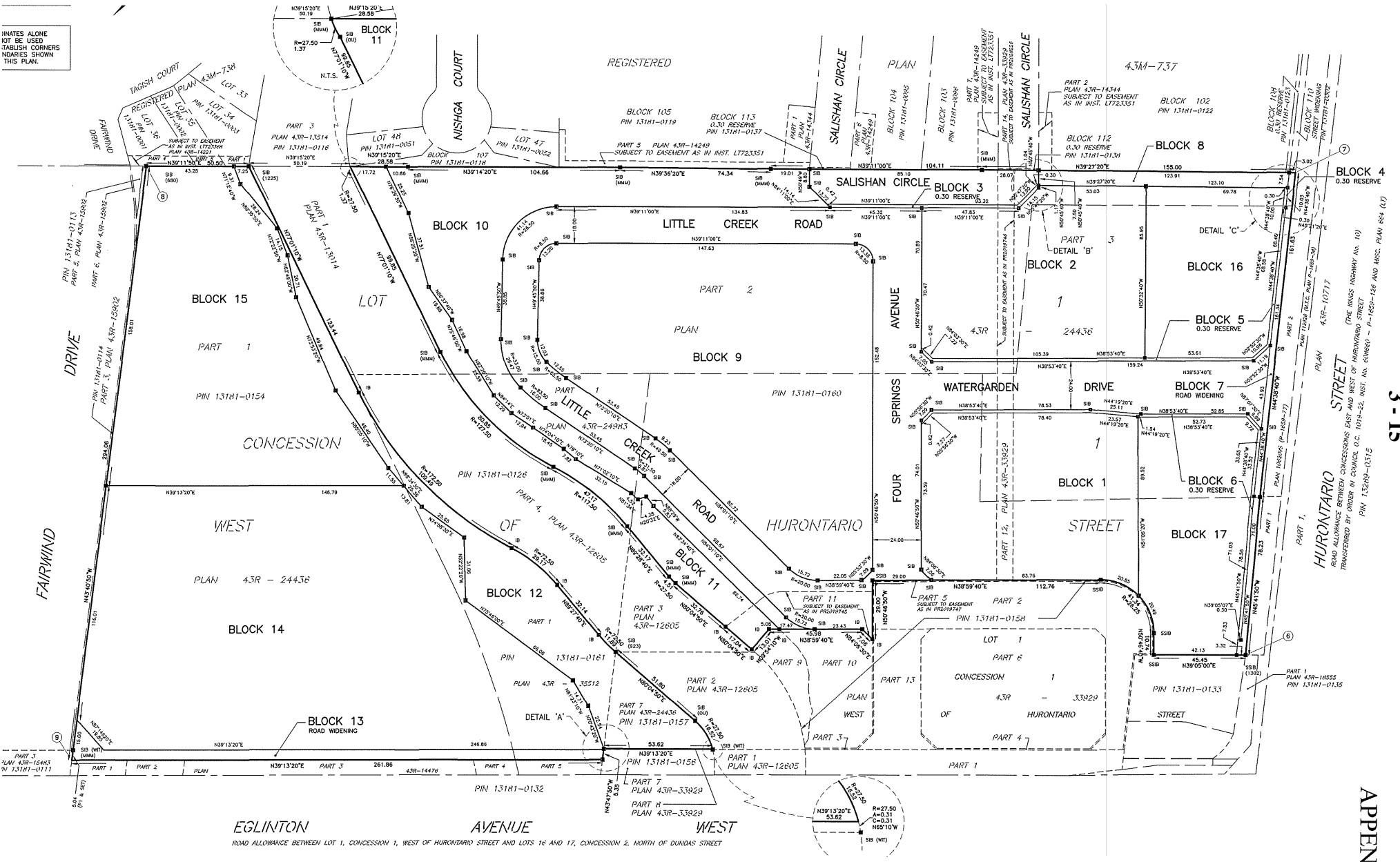
Build-to-Line  
3.0 from Streetline

THIS IS SCHEDULE "RA5-42"

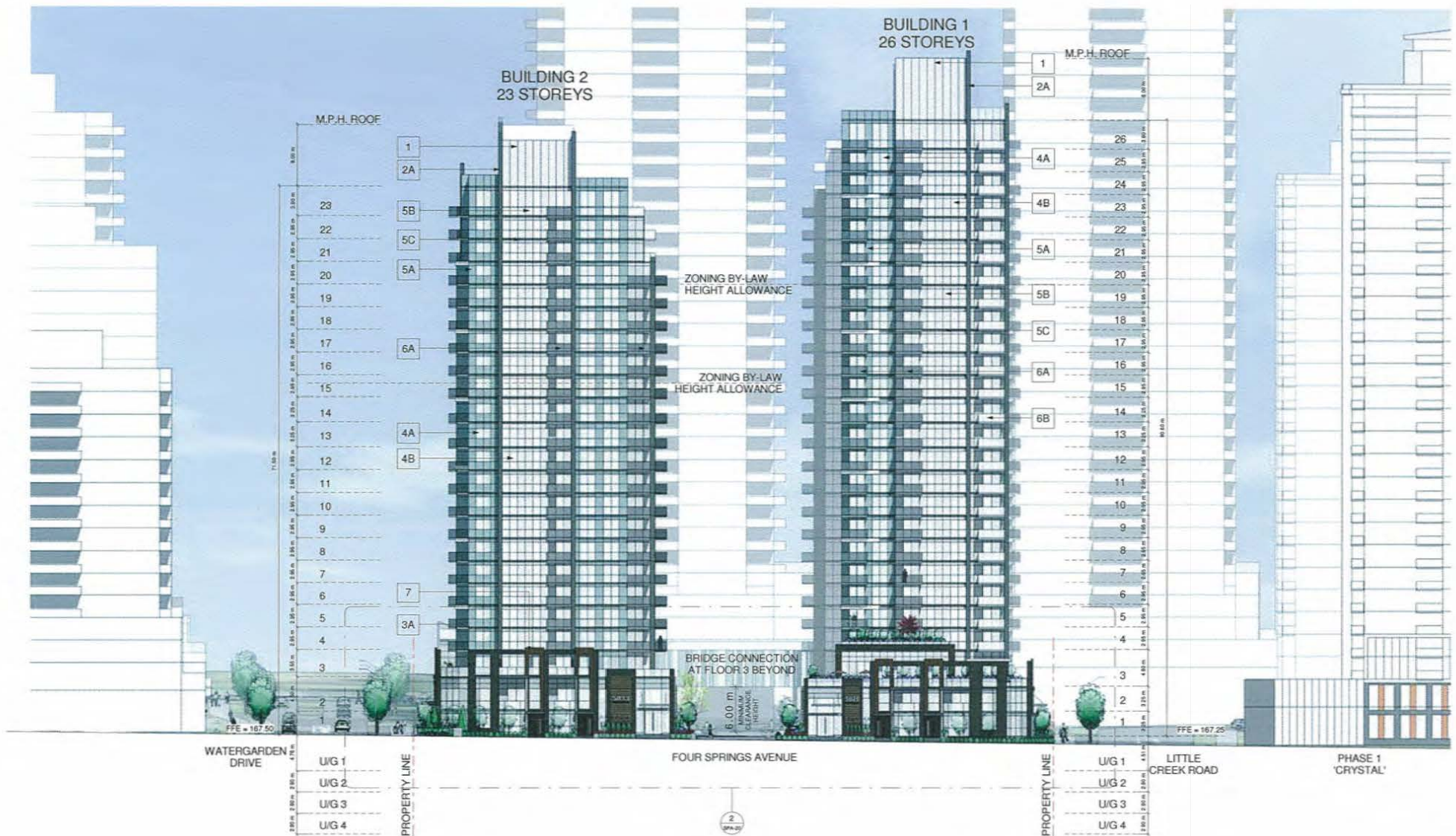
AS ATTACHED TO BY-LAW \_\_\_\_\_

PASSED BY COUNCIL ON \_\_\_\_\_

INATES ALONE  
NOT BE USED  
TABULISH CORNERS  
NDAIRES SHOWN  
THIS PLAN.







ELEVATIONS

**Pinnacle International (Ontario) Limited****File: OZ 13/020 W5****Agency Comments**

The following is a summary of comments from agencies and departments regarding the application.

Agency / Comment Date	Comment
Region of Peel (February 2, 2014)	This Agency indicated no objection to the proposed Rezoning Application. All site plan conditions will be dealt through the associated Site Plan Application under file SP13/162 W5
City Community Services Department – Parks and Forestry Division/Park Planning Section (February 18, 2014)	No comment.
City Transportation and Works Department (March 3, 2014)	This Department indicated that prior to the Supplementary Report meeting, the applicant's engineering consultant shall confirm to the City's satisfaction, that the amended building locations for Phase 3 will not require any amendment to the location of municipal services and connections proposed/installed to the concerned Phase 3 and 5, in accordance with the executed servicing agreement for the development. In the event that any amendments are required, the details will be addressed to the satisfaction of this Department prior to the supplementary report meeting.



Pinnacle International (Ontario) Limited

File: OZ 13/020 W5

**Relevant Mississauga Official Plan Policies**

	<b>Specific Policies</b>	<b>General Intent</b>
<b>Section 5 – Direct Growth</b>	Section 5.3.2 <i>Major Nodes</i> Section 5.4.11 <i>Corridors</i> Section 5.5.1 <i>Intensification Areas</i> Section 5.5.8 Section 5.5.10	The Mississauga Official Plan (MOP) will ensure that Major Nodes will develop as prominent centres with a regional and city focus, and be served by higher order transit. Major Nodes will provide a mix of uses including employment, commercial, residential, educational and open space. Corridors connect the City and link communities. Dundas Street and Hurontario Street have been identified as areas where growth will be directed. Intensification Areas will be attractive mixed use areas, developed at densities that are sufficiently high to support frequent transit service and a variety of services and amenities.
<b>Section 8 – Creating a Multi Modal City</b>	Section 8.1.6 Section 8.1.7 Section 8.1.16	The MOP will ensure that the transportation system will provide connectivity among transportation modes for the efficient movement of people and goods.
<b>Section 8.2.2– Road Network</b>	Section 8.2.2.3 Section 8.2.2.4 Section 8.2.2.5 Section 8.2.2.7 Section 8.2.2.10 Section 8.2.4.3	The MOP will ensure that a fine grained system of roads will be established to increase the number of road intersections and overall connectivity throughout the city.
<b>Section 9 Build a Desirable Urban Form</b>	Section 9.2.1.22 Section 9.2.1.26 Section 9.2.1.28 Section 9.2.1.36 Section 9.2.1.37 Section 9.2.1.38 Section 9.2.1.39	The MOP will ensure that tall buildings will provide built form transitions to surrounding sites, be appropriately spaced to provide privacy and permit light and sky views, minimize adverse microclimatic impacts on the public realm and private amenity areas and incorporate podiums to mitigate pedestrian wind conditions.

## Pinnacle International (Ontario) Limited

File: OZ 13/020 W5

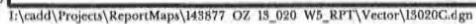
	Specific Policies	General Intent
Other related policies	<i>Public Realm</i> Sections 9.3.1.4, 9.3.1.7 <i>Site Development and Building</i> Sections 9.5.1, 9.5.1.2, 9.5.1.5, 9.5.1.8, 9.5.1.9 <i>Site Development</i> Sections 9.5.2.1, 9.5.2.2, 9.5.2.3 <i>Buildings</i> Sections 9.5.3.9	Built form policies with respect to the Public Realm, Site Development and Building provide direction on ensuring compatibility with existing built form, natural heritage features and creating an attractive and functional public realm.
Section 10- Foster a Strong Economy	Section 10.1.8	Transit supportive development with compact built form and minimal surface parking will be encouraged in Corporate Centres, <i>Major Transit Station Areas</i> and <i>Corridors</i> .
Section 13.3 Uptown	Section 13.3.1 <i>Urban Design Policies</i> 13.3.2 <i>Land Use</i> 13.3.3 <i>Transportation</i>	In order to enhance a sense of community, it is proposed that a number of major streetscapes be developed in a manner that will impart a sense of character. Community Form along Hurontario Street should be integrated with the overall community design by providing for a graduated transition in development intensity and building scale, as well as the orientation of buildings.

Pinnacle International (Ontario) Limited

File: OZ 13/020 W5

## Proposed Zoning Standards

	"RA5-42" Regulations	Proposed "RA5-42" Zoning By-law Standards
Minimum total <b>gross floor area-non-residential</b> used for accessory commercial uses in "Areas A, C and D"	1 000 m <sup>2</sup> (10,764 sq. ft.) in Area A	Removed from "Area A" but will be accommodated in "Areas C and D"
Apartment <b>dwelling units</b> shall not be permitted on the <b>first storey</b> of <b>buildings</b> located within "Area A", "Area C" and "Area D" identified on Schedule RA5-42 of this Exception	The current "Area A" on the existing "RA5-42" schedule restricted apartment dwellings units from being located on the first storey of any building located within this area	"Area A" is now being removed from this regulation. "Area C" and "Area D" will continue to restrict apartment dwellings from being located on the first storey of the apartment buildings. This area is typically reserved for the accessory commercial.
Maximum building height	Area A- 15 Storeys Area B- 20 Storeys	Area A- 23 Storeys Area B- 26 Storeys
Minimum height of a podium	No minimum for Area B	2 storeys for Area B
Minimum setback to a private road	3.0 m (9.84 ft.)	3.55 m (11.64 ft.)
Minimum above grade separation between buildings for that portion of the building above six (6) storeys	28.0 m (91.86 ft.)	Will remain as 28.0 m (91.86 ft.) except as identified on the exception schedule for Area A and B where it is 22.0 m (72 ft.)
Maximum projections of architectural elements, fins and cornices from the exterior building wall	No provision	1.75 m (5.74 ft.)
Maximum projection of a canopy from the exterior building wall of a podium	No provision	2.50 m (8.20 ft.)
Maximum projection of a balcony from the exterior wall of a tower	No provision	1.75 m (5.74 ft.)





# Corporate Report

Clerk's Files

Originator's

Files H-OZ 13/006 W7

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**DATE:** April 15, 2014

**TO:** Chair and Members of Planning and Development Committee  
Meeting Date: May 5, 2014

**FROM:** Edward R. Sajecki  
Commissioner of Planning and Building

**SUBJECT:** **Information Status Report**  
**Removal of the "H" Holding Symbol Application**  
**To permit two residential apartment buildings**  
**with heights of 43 and 50 storeys**  
**0 Enfield Place, 3606 and 3618 Hurontario Street**  
**Southwest corner of Matthews Gate and Hurontario Street**  
**Owner: Armdale Estates Inc., Lima Valley Inc.,**  
**(1077022 Ontario Inc., and Touchtone Construction Ltd.)**  
**Applicant: Kirkor Architects and Planners**

Bill 51

Ward 7

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**RECOMMENDATION:** That the Report dated April 15, 2014, from the Commissioner of Planning and Building, outlining the details of the application for removal of the "H" Holding Symbol to permit two residential apartment buildings with heights of 43 and 50 storeys under file H-OZ 13/006 W7, Armdale Estates Inc., Lima Valley Inc., (1077022 Ontario Inc. and Touchtone Construction Ltd.), 0 Enfield Place, 3606 and 3618 Hurontario Street, be received for information.

<b>REPORT HIGHLIGHTS:</b>	<ul style="list-style-type: none"> <li>The "H" Holding Symbol is proposed to be removed from the zoning on the lands at the southwest corner of Matthews Gate and Hurontario Street in order to permit two residential apartment buildings with heights of 43 and 50 storeys upon the execution of Servicing and Development Agreements;</li> </ul>
-------------------------------	---

- The original H-OZ-09-001 application (3606 Hurontario Street) has been withdrawn and incorporated into the current "H" Holding Symbol application with the property to the north (3618 Hurontario Street);
- Site Plan applications have been submitted for both properties and are currently under review; and
- This report is provided as information and outlines the details of the proposal.

**BACKGROUND:**

On July 2, 2008, City Council adopted PDC Recommendation PDC-0053-2008 which requires that prior to approval of an application to remove the "H" Holding Symbol for all lands located within the Downtown, the Planning and Building Department prepare an Information Status Report for consideration by Planning and Development Committee and Council, outlining the details of the development proposal.

The subject application is for two separately owned properties located on the west side of Hurontario Street, south of Matthews Gate within the Downtown Core area of the City. Architecturally, both properties will appear to function as one, particularly along Hurontario Street; however, both properties will be independent with separate accesses, amenity space and parking.

Originally in 2009, an application to remove the "H" Holding Symbol (H-OZ-09-001) was received for the southerly property, 3606 Hurontario Street, in conjunction with a site plan application to permit a 43 storey residential apartment building under file SP09/27 W7. In consultation with the northerly property, Armdale Estates Inc., the southerly property owner agreed to withdraw the original "H" Holding Symbol application (see Appendix I-1), and do a joint application.

A new application for the removal of the "H" Holding symbol (H-OZ 13/006 W7) for both properties was received on December 9, 2013. Armdale Estates Inc. submitted a revised Site Plan for the southerly property on March 25, 2014 and a Site Plan application for the northerly property proposing a 50 storey residential apartment



building under file SP 14/020 W7 was submitted by Lima Valley Inc. and Touchtone Construction Ltd. on February 26, 2014.

The Removal of the "H" Holding Symbol Application has been circulated for technical comments and once the Servicing and Development Agreements have been approved and executed, the requirements for lifting of the "H" Holding Symbol will have been met.

#### COMMENTS:

For simplicity, the northerly property owned by Lima Valley Inc. and Touchtone Construction Ltd. will be identified as (A) while the southerly property, owned by Armdale Estates Inc. will be identified as (B). See Appendix I-6. Details of the proposal are as follows:

<b>Development Proposal</b>	
Application submitted:	December 9, 2013
Height:	50 storeys (A) 43 storeys (B)
Site Plan Applications	SP 14/020 W7 (A) SP 09/027 W7 (B)
Landscaped Area:	540.1 m <sup>2</sup> (5,814 sq. ft.) (15.7%)
Gross Floor Area:	36 581 m <sup>2</sup> (393,573 sq. ft.) (A) 31 428.2 m <sup>2</sup> (338,301 sq. ft.) (B) 67 991.2 m <sup>2</sup> (731,874 sq. ft.) total
Number of units:	472 (A) 402 (B) 874 total number of units
Anticipated Population	2,185 *Average household sizes for all units (by type) for the year 2011 (city average) based on the 2013 Growth Forecasts for the City of Mississauga
Parking Required:	590 spaces (A) 462 spaces (B) 1,052 total spaces required
Parking	599 spaces (A)

<b>Development Proposal</b>	
Provided:	452 spaces (B) 1,051 total spaces provided
Floor Space Index (FSI)	7.5 (A) 10.65 (B)

<b>Site Characteristics</b>	
Frontage:	46.7 m (153.2 ft.) (A) - Hurontario Street 54.6 m (179.1 ft.) (B) - Hurontario Street
Depth:	Irregular
Net Area:	0.34 ha (0.84 ac) (A) 0.41 ha (1.01ac) (B)
Existing Use:	Vacant

### **Neighbourhood Context**

The subject property is located within the Downtown Core and is currently vacant.

The surrounding land uses are described as follows  
(see Appendix I-2):

- North: A 10 storey office building located on the north side of Matthews Gate and a 39 storey residential apartment building on Enfield Place
- East: Across Hurontario Street are several residential apartment buildings ranging in height from 20 to 25 storeys
- South: 30 storey residential apartment building; and
- West: A 25 storey residential apartment building and a private parking lot

### **Current Mississauga Plan Designation and Policies for City Centre (November 14, 2012) (see Appendix I-3)**

**"Downtown Mixed Use"** which permits retail commercial uses (except for those with a drive-through facility, motor vehicle sales, motor vehicle repair, motor vehicle wrecking and truck washes), restaurants, major and secondary offices, residential apartments, hotel

and conference facilities, entertainment facilities, recreational facilities, parkland, and civic and cultural facilities.

City Council approved amendments to the Downtown Core Local Area Plan, Zoning By-law 0225-2007 and the Site Plan Control By-law 0293-2006, as amended, on March 6, 2013 to implement new Built Form Standards for the Downtown Core. The Official Plan and Zoning By-law amendments have been appealed to the Ontario Municipal Board and therefore are not yet in effect. The Built Form Standards are in effect and are being met in the current Site Plans.

City Council also approved Official Plan Amendment No. 8 on March 6, 2013. Parts of the Official Plan Amendment have been appealed to the Ontario Municipal Board. The Street "B" provisions have not been appealed and are in effect. The subject property abuts a Street "B" frontage provision. Street "B" provisions include proposed buildings having direct vehicular access to off-street parking, access for deliveries, garbage pick-up, servicing and loading. The proposed developments will have direct vehicular access from a Street "B" providing off-street parking, access, servicing and loading. The applications meet the Street "B" frontage provisions in Official Plan Amendment No. 8.

### **Existing Zoning**

"H-CC2(2)" (City Centre-Mixed Use), which permits a wide variety of uses including office, medical office, apartment, long-term care and retirement dwellings, banquet hall, conference center, convention centre, hospital, university/college, staff/student residence, commercial school, active and passive recreational use, parking lot, parking structure, overnight accommodation, centre for the performing arts and farmers markets (see Appendix I-4).

## COMMUNITY ISSUES

The removal of the "H" Holding Symbol is not a public process and only requires the delivery of executed Servicing and Development Agreements in a form satisfactory to the Corporation of the City of Mississauga, addressing and agreeing to the installation of municipal works, parkland, easements, and the provision of required securities.

### Site Plan (see Appendix I-6)

#### *3618 Hurontario Street (A) (Northerly Property)*

A concurrent site plan application under file SP 14/020 W7 includes a 50 storey apartment building with a proposed 5 storey podium on the north side of the property abutting the intersection of Matthews Gate and Hurontario Street. A 969 m<sup>2</sup> (10,431 sq. ft.) retail commercial area is also being proposed on the ground floor with direct access to Hurontario Street. A total of 2 536 m<sup>2</sup> (27,298 sq. ft.) of outdoor and indoor amenity space is being provided on the sixth floor of this building. The main pedestrian and vehicle access and parking is proposed along Matthews Gate to service this site.

#### *3606 Hurontario Street (B) (Southerly Property)*

A concurrent site plan application under file SP 09/027 W7) proposes a 43 storey apartment building which includes a 6 storey podium abutting Hurontario Street transitioning down to a 5 storey podium on the west side of the subject property. A total of 756.36 m<sup>2</sup> (8,141 sq. ft.) of outdoor and indoor amenity space is proposed on the first and sixth floors of this building. An access easement is also required from 156 Enfield Place (the property located west of the subject property) to provide the main vehicle access and parking into this site. The submission of the access agreement will be required prior to the lifting of the "H" Holding Symbol.

The "H" Holding Symbol must be removed prior to the issuance of site plan approval for any building permit.

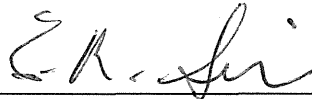
**FINANCIAL IMPACT:** Not applicable.

**CONCLUSION:**

The details regarding the proposed future development on the southwest corner of Matthews Gate and Hurontario Street are outlined in this report to provide Planning and Development Committee with information about the development applications prior to seeking authorization to prepare the by-law to remove the "H" Holding Symbol. Once the proposed site plans reach a satisfactory stage and upon execution of necessary agreements, Development and Design will prepare a Removal of "H" Holding Symbol report to remove the "H" Holding Symbol in the by-law.

**ATTACHMENTS:**

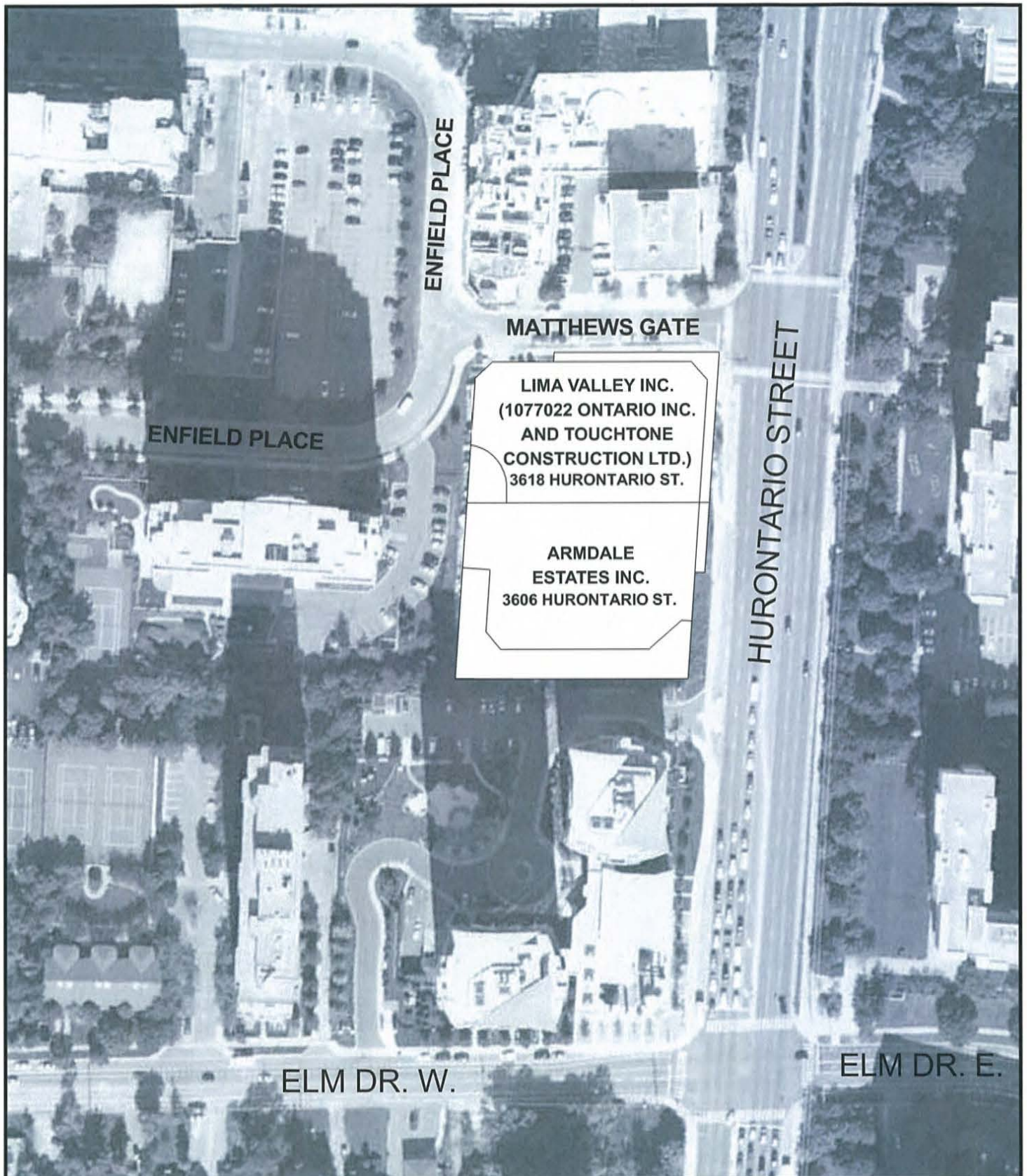
Appendix I-1: Site Area  
Appendix I-2: Aerial Photograph  
Appendix I-3: Excerpt of City Centre District Land Use Map  
Appendix I-4: Excerpt of Existing Land Use Map  
Appendix I-5: General Context Plan  
Appendix I-6: Site Plan 3606 and 3618 Hurontario Street  
Appendix I-7: Elevations



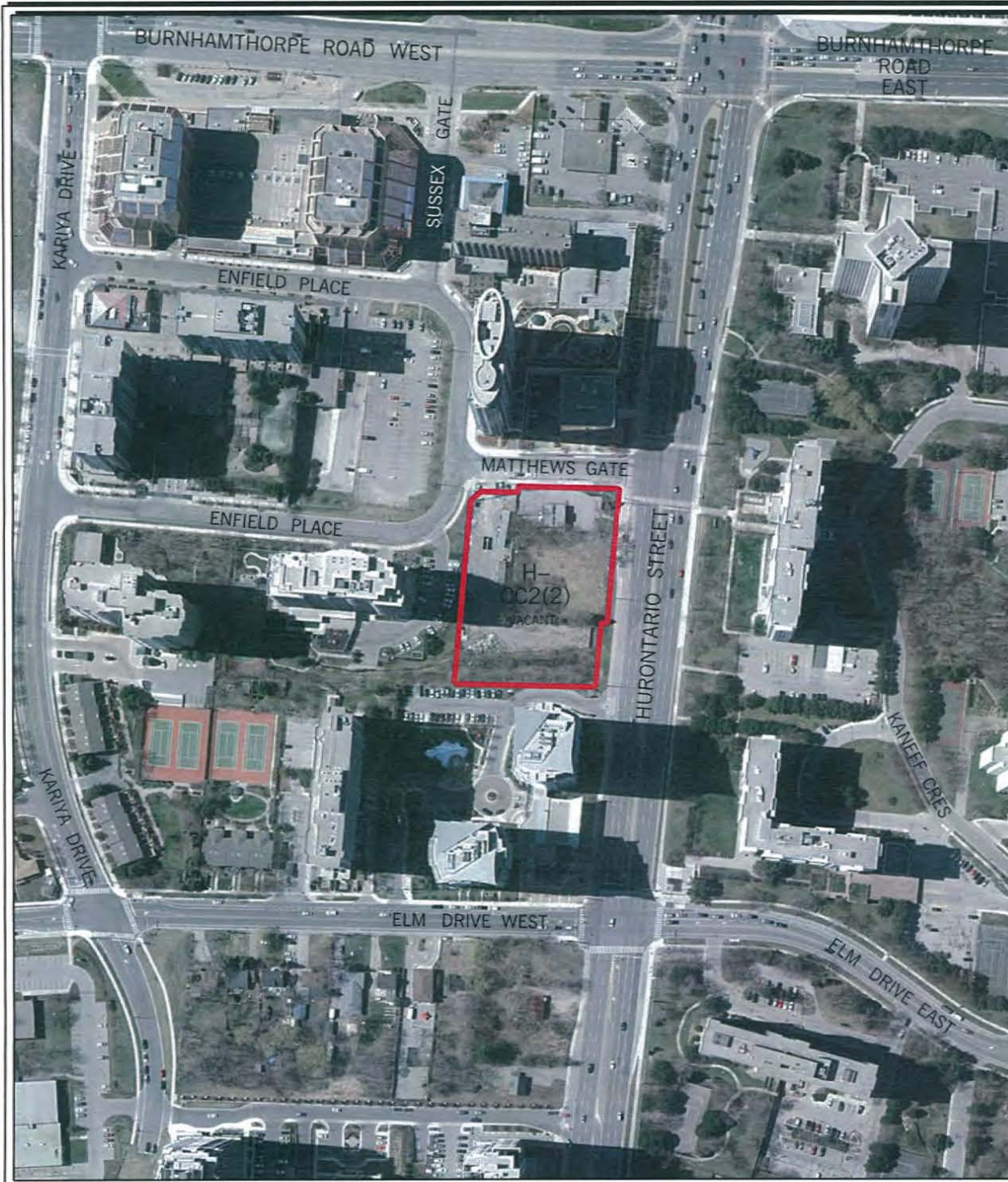
Edward R. Sajecki  
Commissioner of Planning and Building

*Prepared By: Michael Hynes, Development Planner*









# LEGEND:



SUBJECT LANDS

NOTE: DATE OF AERIAL PHOTO: 4 2013



SUBJECT: ARMDALE ESTATES INC., 1077022 INC.  
TOUCHTONE CONSTRUCTION LTD.



FILE NO:  
H-OZ 13006 W7

DWG. NO:  
H13006A

SCALE:  
1:3000

PDC DATE:  
2014 05 05

DRAWN BY:  
B. KRUGER

APPENDIX 1-2

**MISSISSAUGA**  
Planning and Building

Produced by  
T&W, Geomatics





# PART OF SCHEDULE 10 LAND USE DESIGNATIONS OF MISSISSAUGA OFFICIAL PLAN

## LAND USE DESIGNATIONS

Residential Low Density I	Business Employment
Residential Low Density II	Industrial
Residential Medium Density	Airport
Residential High Density	Institutional
Downtown Mixed Use	Public Open Space
Downtown Core Commercial	Private Open Space
Mixed Use	Greenbelt
Convenience Commercial	Parkway Belt West
Motor Vehicle Commercial	Utility
Office	To Be Determined

## LAND USE LEGEND

Heritage Conservation District	Civic Centre (City Hall)
1996 NEP/2000 NEF Composite Noise Contours	City Centre Transit Terminal
LBPIA Operating Area Boundary See Aircraft Noise Policies	GO Rail Transit Station
Area Exempt from LBPIA Operating Area	Public School
Natural Hazards	Catholic School
	Hospital
	Community Facilities

## CITY STRUCTURE

### Elements

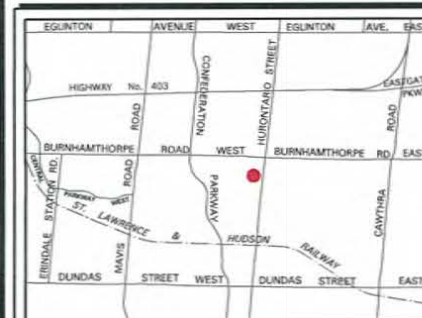
Downtown	Corporate Centre
Major Node	Employment Area
Community Node	Special Purpose Area
Neighbourhood	

ND2 Region of Peel Non-Decision

**SUBJECT LANDS**



**SUBJECT: ARMDALE ESTATES INC., 1077022 INC.  
TOUCHTONE CONSTRUCTION LTD.**



**FILE NO:**  
H-OZ 13006 W7

**DWG. NO:**  
H13006L

**SCALE:**  
1:3000

**PDC DATE:**  
2014 05 05

**DRAWN BY:**  
B. KRUGER

APPENDIX 1-3

**MISSISSAUGA**  
Planning and Building

Produced by  
T&W, Geomatics



**LEGEND:**



PROPOSED REMOVAL OF  
THE "H" (HOLDING SYMBOL)



**SUBJECT: ARMDALE ESTATES INC., 1077022 INC.  
TOUCHTONE CONSTRUCTION LTD.**



**FILE NO:**  
H-OZ 13006 W7

**DWG. NO:**  
H13006R

**SCALE:**  
1:3000

**PDC DATE:**  
2014 05 05

**DRAWN BY:**  
B. KRUGER

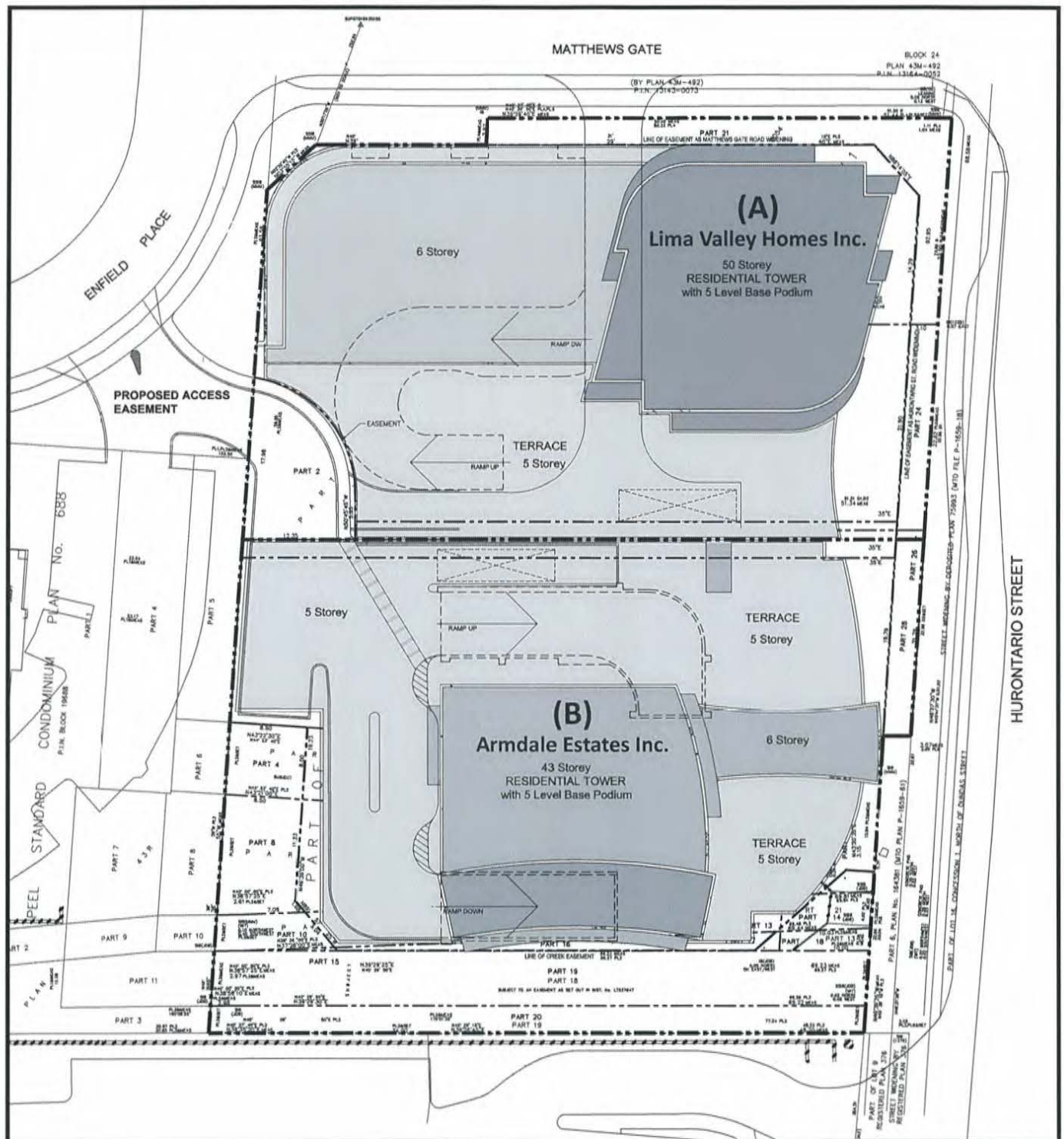
**APPENDIX 14**

**MISSISSAUGA**  
Planning and Building

Produced by  
**T&W, Geomatics**











**RESIDENTIAL DEVELOPMENT** | HURONTARIO STREET & MATTHEWS GATE  
CITY OF MISSISSAUGA

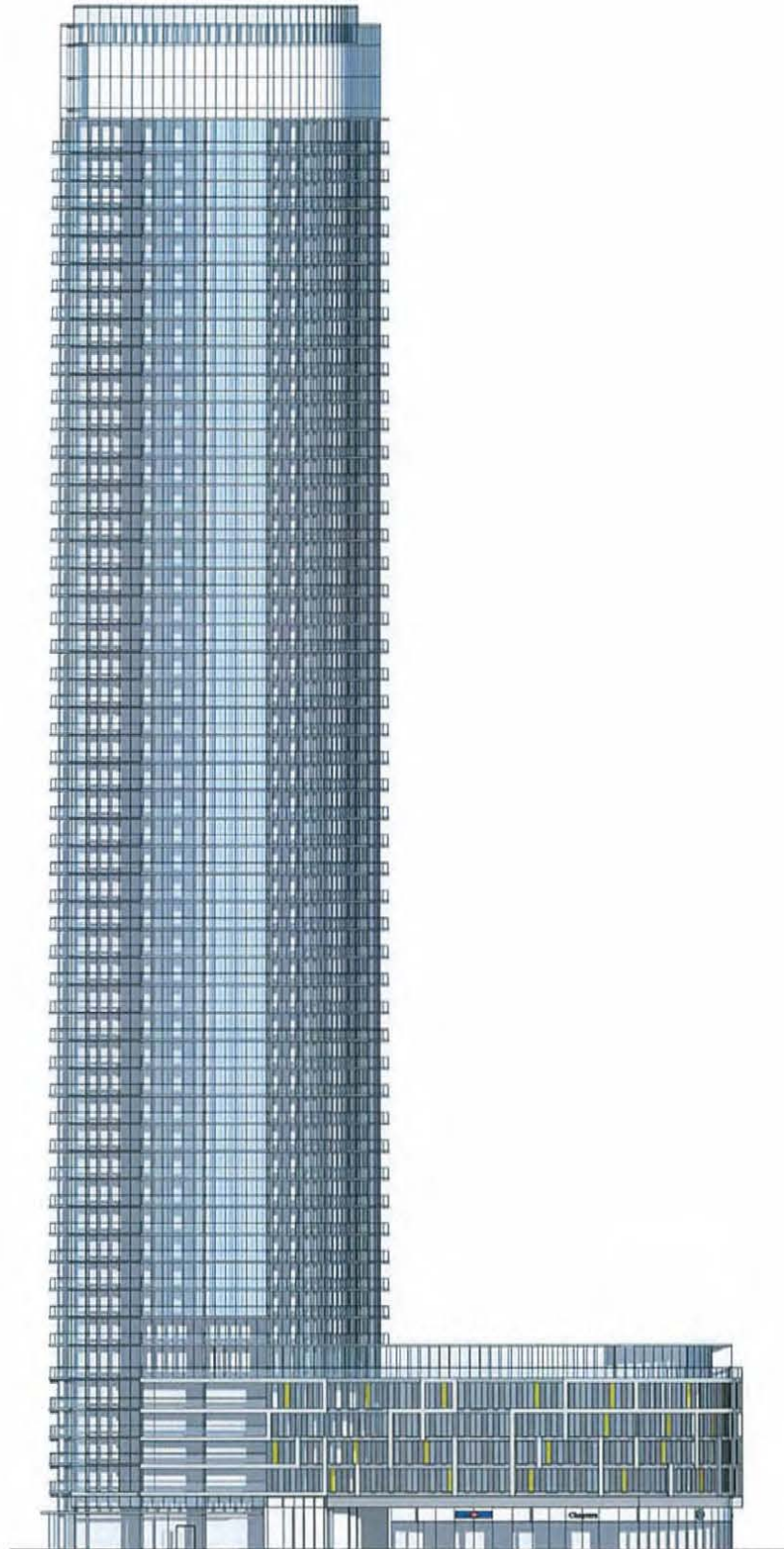
ENFIELD PLACE II | 3600 HURONTARIO STREET  
THE CONSERVATORY GROUP | ARMDALE ESTATES INC.

NOVEMBER 28, 2011



**KIRKOR** | architects  
& planners





**RESIDENTIAL DEVELOPMENT** | HURONTARIO STREET & MATTHEWS GATE  
CITY OF MISSISSAUGA

ENFIELD PLACE II | 3600 HURONTARIO STREET  
THE CONSERVATORY GROUP | ARMDALE ESTATES INC.

NOVEMBER 28, 2011



**KIRKOR** | architects  
& planners



**RESIDENTIAL DEVELOPMENT** | HURONTARIO STREET & MATTHEWS GATE  
CITY OF MISSISSAUGA

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NOVEMBER 28, 2011

EL RICHMOND  
ARCHITECTS  
LTD

**KIRKOR** | architects  
& planners



**RESIDENTIAL DEVELOPMENT** | HURONTARIO STREET & MATTHEWS GATE  
CITY OF MISSISSAUGA

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ENFIELD PLACE II  
THE CONSERVATORY GROUP | 3600 HURONTARIO STREET  
ARMDALE ESTATES INC.

NOVEMBER 28, 2011



**KIRKOR** | architects  
& planners



# Corporate Report

Clerk's Files

Originator's  
Files

CD-02.MIS

**DATE:** April 15, 2014

**TO:** Chair and Members of Planning and Development Committee  
Meeting Date: May 5, 2014

**FROM:** Edward R. Sajecki  
Commissioner of Planning and Building

**SUBJECT:** **General Amendment to Mississauga Official Plan - Report on Comments**

**RECOMMENDATION:** That the proposed amendments to Mississauga Official Plan contained in the report titled "General Amendment to Mississauga Official Plan-Report on Comments" dated April 15, 2014, from the Commissioner of Planning and Building, be approved.

## **REPORT HIGHLIGHTS:**

- A public meeting was held on January 13, 2014 to hear comments regarding the proposed Mississauga Official Plan – General Amendment;
- In response to comments received, it is proposed that:
  - Policy 1.1.4.c. clarify the parameters of a local area review and the local area review implementation process;
  - Terminology be modified, where appropriate, from "local area plan" to "local area review" or "character area policy";
  - The intent of Policy 9.5.4.6 to ensure outdoor storage is not visually intrusive or creating blank wall conditions and that it applies to all sensitive land uses, not just residential lands, be clarified;

- The proposed amendment to replace the term “will” with “may” throughout Part 3 of the Plan, be withdrawn and instead that the definition of “will” be expanded to include the need for permitted land uses to meet all other policies of the Plan; and
- Sections 1.1.4 and 11.1 clarify that the uses in Part 3 of the Plan will be permitted provided that all other policies of the Plan are met.

**BACKGROUND:**

On November 11, 2013, City Council considered the report titled, “Mississauga Official Plan – General Amendment” dated October 22, 2013, from the Commissioner of Planning and Building<sup>1</sup> and directed that a public meeting be held to consider proposed official plan amendments as recommended in the report. Prior to the November 11, 2013 Planning and Development Committee meeting, a letter dated November 11, 2013 from Jim Levac, Weston Consulting, was received.

The statutory public meeting, to fulfill the requirements of the *Planning Act*, was held by the Planning and Development Committee on January 13, 2014.

At its meeting of January 22, 2014, City Council adopted the following recommendations:

1. That the submissions made at the public meeting held at the Planning and Development Committee meeting on January 13, 2014 to consider the proposed amendment as outlined in the report titled “Mississauga Official Plan – General Amendment”, (reference Item 3 of the November 11, 2013 PDC Agenda, available online at this link: [www7.mississauga.ca/documents/agendas/committees/pdc/11\\_11\\_13\\_PDC\\_Agenda.pdf](http://www7.mississauga.ca/documents/agendas/committees/pdc/11_11_13_PDC_Agenda.pdf)) dated October 22, 2013, from the Commissioner of Planning and Building, be received.

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<sup>1</sup>This report is available at the following link:  
[www7.mississauga.ca/documents/agendas/committees/pdc/11\\_11\\_13\\_PDC\\_Agenda.pdf](http://www7.mississauga.ca/documents/agendas/committees/pdc/11_11_13_PDC_Agenda.pdf)



2. That staff report back to the Planning and Development Committee on the submissions made with respect to the report titled "Mississauga Official Plan – General Amendment" dated October 22, 2013, from the Commissioner of Planning and Building.
3. That the letter dated January 10, 2014 from Mr. Philip Stewart, Pound and Stewart Planning Consultants, be received.

Subsequent to the public meeting, no further correspondence has been received. The two letters are attached as Appendix 1 to this report.

#### **COMMENTS:**

This report responds to the comments received regarding the recommendations to amend Mississauga Official Plan (MOP) as proposed in the report titled "Mississauga Official Plan – General Amendment" dated October 22, 2013. Based on the comments received, some revisions to the proposed amendment to MOP are recommended. They are outlined below.

#### **1. Letter dated November 11, 2013 from Jim Levac, Weston Consulting**

##### *Issue/Comment*

Regarding Section 16.1.2.1, the proposed amendment intends to make infill common element or standard plans of condominium subject to the same requirements as new lots created by land division. The proposed amendment will discourage this type of infill redevelopment which is otherwise permitted under the R16 zone category.

##### *Response*

Policy 16.1.2.1 pertains to infill residential development in low density residential neighbourhoods in Neighbourhood Character Areas. Under the City Structure, Neighbourhoods are characterized as physically stable areas with a character that is to be protected and are not considered appropriate areas for significant intensification. Where infill development is proposed,

it is to be compatible in built form and scale to surrounding development. Neighbourhood policies support this intent.

The proposed amendment will update Policy 16.1.2.1 to recognize the various legal mechanisms used in the land development process. In addition to new lots being created by land division, the City is also seeing infill development applications for units or POTLs (a “parcel of tied land”) created by standard or common element condominiums, respectively.

Regardless if infill development is in the form of new lots, units or POTLs, it should be subject to the same criteria under Policy 16.1.2.1, to preserve the character of residential low density neighbourhoods and meet the intent of the Neighbourhood Character Area policies in MOP.

#### *Recommendation*

No change to the proposed amendment to Policy 16.1.2.1 is recommended.

## **2. Letter dated January 10, 2014 from Philip Stewart, Pound & Stewart**

Mr. Stewart commented on three MOP amendment items. Based on these comments modifications/amendments to the previous comments are proposed. Where deletions to policies are proposed they are shown as ~~strikeouts~~ and additions are highlighted.

### *2.1 Issue/Comment*

It should be clarified that the local area reviews are not MOP policy and do not, by themselves, establish any binding development criteria and are to be made binding by processing and adopting an official plan amendment (OPA).

*Response*

It is agreed that the definition and parameters for a “local area review” require clarification. A local area review may be undertaken for all or part of one or more Character Areas and may result in an amendment to city wide policies or Character Area policies which may be contained within a Local Area Plan. An OPA is needed to implement any new or amended policies resulting from a local area review.

In view of the concerns expressed, the following is proposed:

- Clarification to the “Local Area Plans” definition under Policy 1.1.3, Part 4 – Implementation and Glossary, that Local Area Plans may be made up of all or part of one or more Character Areas;
- Clarification to the “local area review” definition in Policy 1.1.4.c.;
- Where appropriate, replacement of the term “local area plan” with “character area policies”, meaning the approved policies resulting from a local area review; and
- Where appropriate, replacement of the term “local area plan” with “local area review”, where a policy refers to a process to confirm, determine, consider, or identify Character Area boundaries, land uses or other policies.

Several policies in Chapter 5, Direct Growth, and Chapter 10, Foster a Strong Economy, were under appeal at the time of the preparation of the MOP General Amendment report. The appeal affecting these policies has been withdrawn, allowing for proposed amendments to replace the term “local area plan” with either “local area review” or “character area policies”.

*Recommendation*

That policies be amended as outlined in Appendix 2, to replace “local area plan” with the appropriate terminology, “local area review” or “character area policies”.

*2.2 Issue/Comment*

Policy 9.5.4.6, pertaining to outdoor storage, should be further amended by deleting reference to “located adjacent to, or be” as the policy is meant to address the concept of “visibility” rather than “location” from the public realm.

*Response*

The recommendation was to amend the word “should” to “will” in Policy 9.5.4.6 is to ensure that outdoor storage is not located adjacent to, or be visible from city boundaries, the public realm or residential land uses.

Narrowing the scope of this policy to only the visual impacts does not address other potential outdoor storage nuisances such as odor or dust. Also, screening should not result in blank wall conditions, particularly when adjacent to highly visible locations such as arterial roads or highways.

Further, the impacts of outdoor storage extend beyond residential land uses to all sensitive land uses, including but not limited to, day care centres, educational facilities and health facilities. A further modification is proposed to Policy 9.5.4.6 to broaden the reference from residential lands to all sensitive land uses.

*Recommendation*

That Policy 9.5.4.6. be modified as follows:

9.5.4.6 Outdoor storage ~~should~~ will not be located adjacent to, or be visible from city boundaries, the public realm or ~~residential lands~~ sensitive land uses by incorporating the use of appropriate setbacks, screening, landscaping and buffering.

### 2.3 Issue/Comment

Terminology amendments in Chapters 11 – 18 that replace “will” with “may” in phrases including “*will be permitted*” and “*will also be permitted*” are not supported. This approach appears to restrict current permitted uses, and adds a ‘subjective’ or ‘discretionary’ aspect that presently does not exist.

#### *Response*

It is intended that the uses in Part 3 of MOP will be permitted provided that all other policies of the Plan are met. To alleviate the concern that a discretionary aspect is being added with the use of “may” and to clarify the intent, the following approach is proposed:

- Expand the definition of “will” to include the need for permitted land uses to meet all other policies of MOP; and
- Expand sections Section 1.1.4, How to Read Mississauga Official Plan, and in Section 11.1 Introduction, of Chapter 11, General Land Use Designations, to clarify how the list of permitted uses is intended to be read.

With these proposed changes, the original recommended amendment to replace “will” with “may” is no longer required.

#### *Recommendations*

That the proposal to replace the term “will” with “may” throughout Part 3 of MOP be withdrawn, and instead the following policies be revised as shown:



- Section 1.1.4, How to Read Mississauga Official Plan (paragraph 1):

To understand the planning rationale and policy objectives of Mississauga Official Plan, also referred to as “Official Plan”, “the Plan” or “this Plan”, it should be read in its entirety and all relevant text, tables, and schedules are to be applied to each situation. The uses listed in Part 3 of this Plan will be permitted provided that all other policies of this Plan are met.

- 1.1.4.11

“will” denotes a mandatory requirement of the Plan. “Will” used in conjunction with a permitted land use means the use is permitted if all other policies of the plan are met.

- Section 11.1, Introduction (paragraph 2):

General policies applicable city wide for all land use designations are included in this chapter. Chapters 12 to 18 contain modifications to the general policies specific to each of the above City Structure elements. These modifications may add or delete permitted uses. Uses permitted in Chapters 11 to 18 will be permitted provided that all other policies of this Plan are met.

## **STRATEGIC PLAN:**

MOP is an important tool to implement the land use components of the Strategic Plan. The results of the “Our Future Mississauga – Be part of the Conversation” public consultation informed the preparation of the Plan. The policy themes of MOP advance the strategic pillars for change, which are:

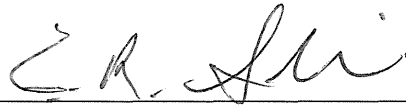
Move:	Developing a Transit Oriented City
Belong:	Ensuring Youth, Older Adults and New Immigrants Thrive

Connect: Complete Our Neighbourhoods  
Prosper: Cultivating Creative and Innovative Businesses  
Green: Living Green


**FINANCIAL IMPACT:** Not applicable.

**CONCLUSION:** The comments and issues raised in the two letters received have been reviewed and addressed. Amendments are proposed to clarify “local area review” terminology, address the visibility of outdoor storage and clarify the definition of “will”.

**ATTACHMENTS:** Appendix 1: Written Comments Received  
Appendix 2: Response to Comments Regarding Local Area Reviews



Edward R. Sajecki  
Commissioner of Planning and Building

 Prepared By: Sharleen Bayovo, Planner, Policy Planning Division

**APPENDIX 1**

Written Comments Received

- (a) Letter dated November 11, 2013 from Jim Levac, Weston Consulting
- (b) Letter dated January 10, 2014 from Philip Stewart, Pound & Stewart Associates Limited

APPENDIX  
ITEM #1aWESTON  
CONSULTING

planning + urban design

VIA EMAIL

November 11, 2013

File: 5643

Chairman and Members of the  
Planning & Development Committee  
City of Mississauga  
300 City Centre Drive,  
Mississauga, Ontario L5B 3C1

Attn: Ms. Mumtaz Alikhan, Legislative Coordinator

Dear Ms. Alikhan:

Re: PDC Agenda Item # 3: Mississauga Official Plan  
Proposed Housekeeping Amendments

Please be advised that we wish to go on record as having concerns with the attached proposed Official Plan housekeeping amendment pertaining to Section 16.1.2.1. In the past, we have written on behalf of numerous clients regarding the general intent of this policy as discouraging intensification in all residential neighbourhoods. Our previous concern pertained more specifically to its application to condominium blocks. In regards to a previous OP withdraw on behalf of our client for file OZ 12/002 W7, we received confirmation from the City (see attached letter) that the Clergy principle would apply to our condominium development based on the time the application was received. Despite this, City staff have continued to make reference to Policy 16.1.2.1 in their reporting on this application. The proposed housekeeping amendment intends to make infill common element or standard plans of condominium subject to the same requirements. The R16 zone category was created in 2007 to recognize and allow these types of developments to occur. In our opinion, the proposed amendment will discourage this type of infill redevelopment which is otherwise permitted under the R16 zone category.

Yours truly,  
Weston Consulting Group Inc.

Per:

Jim Levac, BAA, MCIP, RPP  
Senior Associate  
Encl.

Copy: Mary Flynn-Guglietti, McMillan LLP  
Raffi Konialian

---

**POUND & STEWART**  
PLANNING CONSULTANTS • CITYPLAN.COM

January 10, 2014

**BY EMAIL & REGULAR MAIL**

City of Mississauga  
300 City Centre Drive  
Mississauga, Ontario  
L5B 3C1

**Attn: Chair & Members of Committee**

**Re: Planning & Development Committee, January 13, 2014 Public Meeting  
Item 2 – Mississauga Official Plan – General Amendment  
City of Mississauga  
Our File No. 1421**

We are the planners of record writing on behalf of Orlando Corporation (herein referred to as 'Orlando'), a major landowner and commercial/industrial developer with significant properties located within the City of Mississauga. Our comments are as follows regarding the above captioned Item 2 'General Amendment' which concerns proposed modifications to the Mississauga Official Plan.

**LOCAL AREA REVIEWS ARE ONLY BINDING WHERE PROCESSED & ADOPTED AS AN OPA**

A new concept of Local Area Review [LAR] is proposed to substantially replace many existing policy references to Local Area Plan (LAP) *"for consistency with policy 1.1.4.c. that refers to a local area review."*

For greater certainty and clarity on this proposed modification we request that the City confirms through the Official Plan that LARs:

- (i) are not OP policy and do not, by themselves, establish any binding development criteria...they are only reviews that might lead to an OPA; and
- (ii) are to be made binding by processing and adopting an OPA.

---

POUND & STEWART ASSOCIATES LIMITED

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1 800 250 9056 • WWW.CITYPLAN.COM • INFO@CITYPLAN.COM



Accordingly, we request that the proposed OP modifications to Sections 1.1.4, 3.2, 8.2.2 and 17.1.1 and Policies 7.4.1.9, 10.2.4 and 19.5.2, and others as applicable, specifically make provision for the above understanding.

For example, in Section 17.1.1, per the second sentence of the proposed modification Policy 17.1.1.1, this should be revised to make clear that an LAR does not, by itself, establish maximum height requirements, ...it can only recommend same. And, in reference to proposed modification 19.5.2, it should be made clear that the LAR itself does not constitute an OPA.

Further, where a LAR process is contemplated for a given area it is recommended that development and re-development should not be unduly restricted pending completion of the LAR, and the potential implementation of a LAP, where the development and re-development proposal can demonstrate that it satisfies the policies of the in effect Official Plan.

#### **CLARIFICATION IS REQUIRED FOR OUTDOOR STORAGE POLICY 9.5.4.6.**

Proposed modified Policy 9.5.4.6 reads as follows:

*"Outdoor storage ~~should~~ will not be located adjacent to, or be visible from city boundaries, the public realm or residential lands by incorporating the use of appropriate setbacks, screening, landscaping and buffering."*

This proposed modified policy should be amended by deleting reference to "located adjacent to, or be" as the proposed policy is meant to address the concept of "visibility" rather than "location" from the public realm.

Outdoor storage is permitted in the Business Employment designation as an accessory use, and as a primary use in the Industrial designation. The City's concern appears to be one of visibility. Therefore if outdoor storage is not visible from the public realm then the intent of the policy has been achieved in our opinion. Accordingly there should be no specific reference to the location of outdoor storage in this policy, unless the outdoor storage is to be located next to an existing sensitive land use.

## TERMINOLOGY AMENDMENTS IN CHAPTERS 11 - 18 TO REPLACE "WILL" WITH "MAY"

City Staff express concern that the phrases "*will be permitted*" and "*will also be permitted*" to identify permitted uses by land use designations or conditions where a use may be permitted, may be interpreted to mean that all of the listed uses will be permitted regardless of the circumstance. Replacing "*will be permitted*" with "*may be permitted*" for example appears to restrict current permitted uses, and adds a 'subjective' or 'discretionary' aspect that presently does not exist. Replacing "*will also be permitted*" with "*may also be permitted*" is also not supported.

Proposed policy 11.2 and other related policies [12, 13, 14, 15 and 16] should not be amended as proposed for the following reasons.

Employment Areas and Corporate Centres benefit from the certainty and clarity with the present approach. Avoiding this 'subjective' or 'discretionary' approach provides clarity and a higher level of certainty to achieving planned function, and the economic development objectives of the City, which are to promote and encourage economic development and competitiveness, as established in the Official Plan. Given the changes to the *Planning Act*, per Bill 51, *Planning and Conservation Statute Law Amendment Act, 2006*, which has occurred through Mississauga Official Plan concerning the protection of employment lands and areas, we question the value in furthering this contemplated 'subjective' or 'discretionary' approach.

From a planning hierarchical approach this 'subjective' or 'discretionary' aspect is not generally evident in Provincial and Regional planning policy themes or documents that relate to municipal land use planning. As well, this 'subjective' or 'discretionary' approach is typically not evident in the Official Plans of municipalities surrounding the City of Mississauga.

Furthermore there are numerous planning and development controls in place that govern and regulate permitted uses as set out in the Official Plan, such as;

- Official Plan policy requirements ;
- Zoning By-law Regulations;
- Site Plan Control Agreements;
- Building Code and Fire Code Permits;
- Development Permits from Conservation Authorities;
- Environmental Compliance Approvals from the MOE, etc.
- Development Agreements;
- Among others.

Notwithstanding the foregoing, we support the use of "may be permitted" as it relates to a particular new use, typically not located in Employment Areas and/or Corporate Centres, that may be disruptive to the planned function of traditional Employment Area uses, as set out in Provincial, Regional and City planning policy documents.

Thank-you for the opportunity to provide our submission and we welcome the opportunity to meet with Staff as required to discuss these matters in further detail. Please provide written notification regarding any future public notices, reports, by-laws, and Committee and Council decisions regarding the above captioned item.

Yours truly,  
Pound & Stewart Associates Limited



Philip Stewart, MCIP, RPP

la/

1421ltr.Mississauga.PDC.Jan.10.14

- cc. Ms. M. Alikhan, Legislative Coordinator, City of Mississauga
- cc. Ms. C. Greer, City Clerk, City of Mississauga
- cc. Mr. E. Sajecki, Commissioner of Planning & Building, City of Mississauga
- cc. Mr. B. Hill, Manager, Region of Peel
- cc. Mr. L. Longo, Aird & Berlis
- cc. Orlando Corporation

POUND & STEWART ASSOCIATES LIMITED

POLICY/ SECTION	RECOMMENDATIONS TO MISSISSAUGA OFFICIAL PLAN (MOP)
1. Introduction	
1.1.3.	<p>That Policy 1.1.3, Part 4 - Implementation and Glossary, Local Area Plans, be amended as follows:</p> <p>Local Area Plans are also part of Mississauga Official Plan. Local area plans address unique circumstances particular to a specific area and must be read in conjunction with Parts 1 to 4 and the schedules of this document. <u>Local area plans may be made up of all or part of one or more Character Areas.</u></p>
1.1.4.c. (second bullet)	<p>That Policy 1.1.4.c. be amended as follows:</p> <p>A local area review <u>may be undertaken for all or part of one or more</u> of a Character Areas. <del>Corridor or Major Transit Station Area</del> is typically undertaken by or on behalf of the City and will be incorporated into this Plan by amendment. <u>It may develop a vision for the study area as well as address a variety of matters such as land use, transportation, environment or urban design. While a local area review would generally result in an amendment to Character Area policies which may be contained within a Local Area Plan, it may also identify a need for amendments to city wide policies. These reviews are typically undertaken by or on behalf of the City. An official plan amendment would be required to implement the results of a local area review.</u></p>
3. Promote Collaboration	
3.2.2	<p>That Policy 3.2.2 be amended as follows:</p> <p>The City may consider establishing a Local Advisory Panel as input to the local area plan review.</p>
5. Direct Growth	
5.3.1.7	<p>That Policy 5.3.1.7 be amended as follows:</p> <p><del>Local area plans</del> <u>Character Area policies</u> will determine <u>establish</u> how the density and population to employment targets will be achieved within the Downtown.</p>
5.3.2.2	<p>That Policy 5.3.2.2 be amended as follows:</p> <p>Local area plans <u>reviews</u> will confirm or determine detailed boundaries for Major Nodes.</p>
5.3.2.7	<p>That Policy 5.3.2.7 be amended as follows:</p> <p><del>Local area plans</del> <u>Character Area policies</u> will determine <u>establish</u> how the density and population to employment targets will be achieved within Major Nodes.</p>

POLICY/ SECTION	RECOMMENDATIONS TO MISSISSAUGA OFFICIAL PLAN (MOP)
5.3.3.2	<p>That Policy 5.3.3.2 be amended as follows:</p> <p>Local area plans <u>reviews</u> will confirm or determine detailed boundaries for Community Nodes.</p>
5.3.3.7	<p>That Policy 5.3.3.7 be amended as follows:</p> <p><del>Local area plans</del> <u>Character Area policies</u> will <del>determine</del> <u>establish</u> how the density and population to employment targets will be achieved within Community Nodes.</p>
5.3.4.2	<p>That Policy 5.3.4.2 be amended as follows:</p> <p>Local area plans <u>reviews</u> will confirm or determine detailed boundaries for Corporate Centres.</p>
5.3.4.7	<p>That Policy 5.3.4.7 be amended as follows:</p> <p><del>Local area plans</del> <u>Character Area policies</u> will address the mix of business uses and density requirements within each Corporate Centre. These <del>Plans</del> <u>policies</u> may result in the establishment of minimum employment and building densities, building heights, urban design standards or transportation policies, among other matters.</p>
5.3.5.3	<p>That Policy 5.3.5.3 be amended as follows:</p> <p>Where higher density uses are proposed, they should be located <del>on-sites</del> <u>on sites</u> identified by a local area plan <u>review</u>, along <b>Corridors</b> or in conjunction with existing apartment sites or commercial centres.</p>
5.4.6	<p>That Policy 5.4.6 be amended as follows:</p> <p>Local area plans <u>reviews</u> will <del>review</del> <u>propose</u> land use and design policies for <b>Corridors</b> and <u>delineation</u> <del>may delineate the boundaries of</del> <b>Corridors</b> <u>boundaries</u>.</p>
5.4.10	<p>That Policy 5.4.10 be amended as follows:</p> <p>Local area plans <u>reviews</u> will consider the appropriateness of transit supportive uses at the intersection of two <b>Corridors</b>. Local area plans <u>policies</u> may permit additional heights and densities at these locations provided that the development reduces the dependency on cars and supports the policies of this Plan.</p>
5.5.2	<p>That Policy 5.5.2 be amended as follows:</p> <p>Local area plans <u>reviews</u> for the Downtown, Major Nodes, Community Nodes and Corporate Centres will determine appropriate locations for intensification within these areas.</p>



POLICY/ SECTION	RECOMMENDATIONS TO MISSISSAUGA OFFICIAL PLAN (MOP)
<b>7. Complete Communities</b>	
7.4.1.9	<p>Original proposed amendment to Policy 7.4.1.9 (PDC Report, October 22, 2013):</p> <p>Local area plans <u>reviews</u> may suggest ways to protect cultural heritage resources of major significance by prohibiting uses or development that would have a deleterious effect on the cultural heritage resource, and encouraging uses and development that preserve, maintain and enhance the cultural heritage resource.</p> <p><b>That the proposed amendment to Policy 7.4.1.9 be modified as follows:</b></p> <p><del>Local area plans</del> <u>Character Area policies</u> may <del>suggest ways to protect</del> <u>identify means of protecting</u> cultural heritage resources of major significance by prohibiting uses or development that would have a deleterious effect on the cultural heritage resource, and encouraging uses and development that preserve, maintain and enhance the cultural heritage resource.</p>
<b>8. Create a Multi-Modal City</b>	
8.2.2.1.b. (last sentence)	<p>Original proposed amendment to Policy 8.2.2.1.b. (PDC Report, October 22, 2013):</p> <p>Local area plans <u>reviews</u> may provide further guidance on vehicular access.</p> <p><b>That the last sentence of Policy 8.2.2.1.b. be modified as follows:</b></p> <p><del>Local area plans</del> <u>Character Area policies</u> may provide further guidance on vehicular access.</p>
8.2.2.5 (first sentence)	<p>Original proposed amendment to Policy 8.2.2.5 (PDC Report, October 22, 2013):</p> <p>Additional roads may be identified during the review of development applications and <del>the preparation of</del> <u>through</u> local area plans <u>reviews</u>.</p> <p><b>That the first sentence of Policy 8.2.2.5 be modified as follows:</b></p> <p>Additional roads may be identified during the review of development applications and <del>the preparation of</del> <u>through the</u> local area plans <u>review process</u>.</p>
<b>10. Foster a Strong Economy</b>	
10.2.4	<p>Original proposed amendment to Policy 10.2.4 (PDC Report, October 22, 2013):</p> <p>Within Intensification Areas, ground floor retail uses are encouraged within office buildings. Local Area Plans <u>area reviews</u> may determine where ground floor retail uses will be required.</p>

POLICY/ SECTION	RECOMMENDATIONS TO MISSISSAUGA OFFICIAL PLAN (MOP)
	<p>That Policy 10.2.4 be modified as follows:</p> <p>Within Intensification Areas, ground floor retail uses are encouraged within office buildings. <del>Local Area Plans</del> <u>Character Area policies</u> may <del>determine</del> <u>identify</u> where ground floor retail uses will be required.</p>
10.4.2	<p>That Policy 10.4.2 be amended as follows:</p> <p>Retail uses will be permitted within Corporate Centres, where they support employment uses and employees. Character Area policies <del>or local area plans</del> will identify appropriate locations and types of uses.</p>
10.4.3	<p>That Policy 10.4.3 be amended as follows:</p> <p>Retail uses may be permitted within Neighbourhoods to provide retail uses convenient to the local residents. Character Area policies <del>or local area plans</del> will identify appropriate locations and types of uses.</p>
10.4.5	<p>That Policy 10.4.5 be amended as follows:</p> <p>Retail uses outside the Downtown, Major Nodes and Community Nodes will be directed to <b>Corridors</b> and <b>Major Transit Station Areas</b> or in locations as identified in Character Area policies <del>or local area plans</del>.</p>
10.4.8	<p>That Policy 10.4.8 be amended as follows:</p> <p>Local area plans <u>reviews</u> or planning studies will consider alternative land uses for lands designated for retail uses within Employment Areas.</p>
<b>17. Employment Areas</b>	
17.1.1 (second sentence)	<p>Original proposed amendment to Policy 17.1.1 (PDC Report, October 22, 2013):</p> <p>Local area plans <u>reviews</u> or planning studies may establish maximum height requirements.</p> <p>That the second sentence of Policy 17.1.1.1 be modified as follows:</p> <p><del>Local area plans</del> <u>Character Area policies</u> <del>or planning studies</del> may establish maximum height requirements.</p>



# Corporate Report

Clerk's Files

Originator's  
Files

CD.03.MIS

**DATE:** April 15, 2014

**TO:** Chair and Members of Planning and Development Committee  
Meeting Date: May 5, 2014

**FROM:** Edward R. Sajecki  
Commissioner of Planning and Building

**SUBJECT:** **Mississauga Official Plan Conformity Amendment to the Region of Peel Official Plan**

**RECOMMENDATION:** That a public meeting be held to consider proposed official plan amendments as recommended in the report titled "Mississauga Official Plan Conformity Amendment to the Region of Peel Official Plan" dated April 15, 2014, from the Commissioner of Planning and Building.

**REPORT  
HIGHLIGHTS:**

- The purpose of this report is to propose modifications to Mississauga Official Plan that are required to conform with amendments resulting from the Peel Region Official Plan Review (PROPR).
- Amendments required to bring Mississauga Official Plan into conformity with the Region of Peel Official Plan are:
  - an amendment to the Designated Greenfield Area policy;
  - an update to the Designated Greenfield Area map;
  - a reference to Greenfield Density Target; and
  - adding policies relating to Human-Made Hazards.

**BACKGROUND:**

The Peel Region Official Plan Review (PROPR) conducted from 2008 to 2011 resulted in seven amendments to the Region of Peel Official Plan (ROPAs 20-26). City Council has supported all the amendments to the Region of Peel Official Plan.<sup>1</sup>

The purpose of this report is to propose amendments to Mississauga Official Plan that are required to achieve conformity to the Regional Official Plan based on the PROPR review.

Selected policies in the PROPR amendments are still under appeal. These appeals relate primarily to the GTA West Corridor and natural heritage policies. Resolutions of the appeals are in process and will be addressed in Mississauga Official Plan policies through amendments to natural heritage policies or in a future general amendment to Mississauga Official Plan.

**COMMENTS:**

In consultation with Regional Staff, the following amendments to Mississauga Official Plan are proposed to bring Mississauga Official plan into conformity with the Region of Peel Official Plan:

- amendment to the Designated Greenfield Area policy;
- an update of Map 16.4-1 Designated Greenfield Area;
- a reference to the Greenfield Density Target; and
- addition of Human-Made Hazards policies.

**Designated Greenfield Area**

The Growth Plan requires that the designated greenfield areas of each upper or single tier municipality achieve a minimum density target of 50 residents and jobs combined per hectare (20 residents and jobs combined per acre). In the Region of Peel, a Land Budget was prepared to illustrate that Peel meets the Growth Plan targets and a density target for each of the area municipalities was developed.

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<sup>1</sup> The Region of Peel has commenced another official plan review referred to as “Peel 2041” and is proposing two amendments. On April 14, 2014, Planning and Development Committee considered the first amendment through a report titled “Regional Official Plan Amendment (ROPA) 27 – Peel 2041” from the Commissioner of Planning and Building. The second amendment is anticipated in 2015.

Mississauga's density target reflects current development patterns and supports the achievement of the Regional density target. To conform with the greenfield density target for Mississauga in the Region of Peel Official Plan, Policy 16.4.1.1 in Mississauga Official Plan is proposed to be revised as follows:

*16.4.1.1 The designated greenfield area will be planned to achieve a minimum density of ~~75~~ 77 residents and jobs combined per hectare, excluding permitted environmental take-outs.*

### **Designated Greenfield Area Map**

Minor adjustments are required to Map 16.4-1 Designated Greenfield Area in Mississauga Official Plan to reflect the depiction of the designated greenfield area in the Region of Peel Official Plan. Appendix 1 illustrates the existing and revised Map 16.4-1.

### **Greenfield Density Target**

Reference to the greenfield density target is required to be included in Mississauga Official Plan. Policy 5.6.1 is proposed to be revised by adding the following highlighted text:

*5.6.1 Character area policies may specify alternative density requirements, provided the total designated greenfield area in the Region will achieve a minimum density target of 50 residents and jobs combined per hectare, excluding environmental take outs.*

### **Human-Made Hazards**

In order to be consistent with the direction in the Provincial Policy Statement, the Region of Peel included policies relating to human-made hazards such as oil, gas and salt hazards. These direct the area municipalities to include corresponding policies regarding development on or near these hazards. To address this issue the following is proposed to be included immediately after Section 6.7 Brownfield Sites (identified 6.X as a placeholder):



## 6.X Human-Made Hazards

Human-made hazards may have potential adverse impacts on public safety and property and occur when sites have not been properly rehabilitated. They are generally associated with oil, gas and salt hazards and former mineral aggregate and petroleum resource operations.

6.X.X Development will be directed away from human-made hazards. Development may be permitted only if rehabilitation or mitigation of known or suspected hazards has been completed.

In addition, Section 1.1.4.mm is proposed to be amended to identify the following terms that are referenced in these policies:

- Oil, gas and salt hazards;
- Mineral aggregate operations;
- Petroleum resource operations;

The definitions of these terms from the Provincial Policy Statement are found in Appendix 2 and should be added to Mississauga Official Plan Appendix A: Terms Defined in the Provincial Policy Statement (2005) and the Growth Plan for the Greater Golden Horseshoe (2006).

**STRATEGIC PLAN:** Not applicable.

**FINANCIAL IMPACT:** Not applicable.

**CONCLUSION:** Mississauga Official Plan is required to conform with amendments to the Region of Peel Official Plan associated with the Peel Region Official Plan Review (2008-2011). Amendments required to bring Mississauga Official Plan into conformity are:

- an amendment to the Designated Greenfield Area policy;
- an update of the Designated Greenfield Area map;
- a reference to Greenfield Density Target; and
- adding policies relating to Human-Made Hazards.

**ATTACHMENTS:**

Appendix 1: Map 16.4-1 Designated Greenfield Area

Appendix 2: Definitions from the Provincial Policy Statement

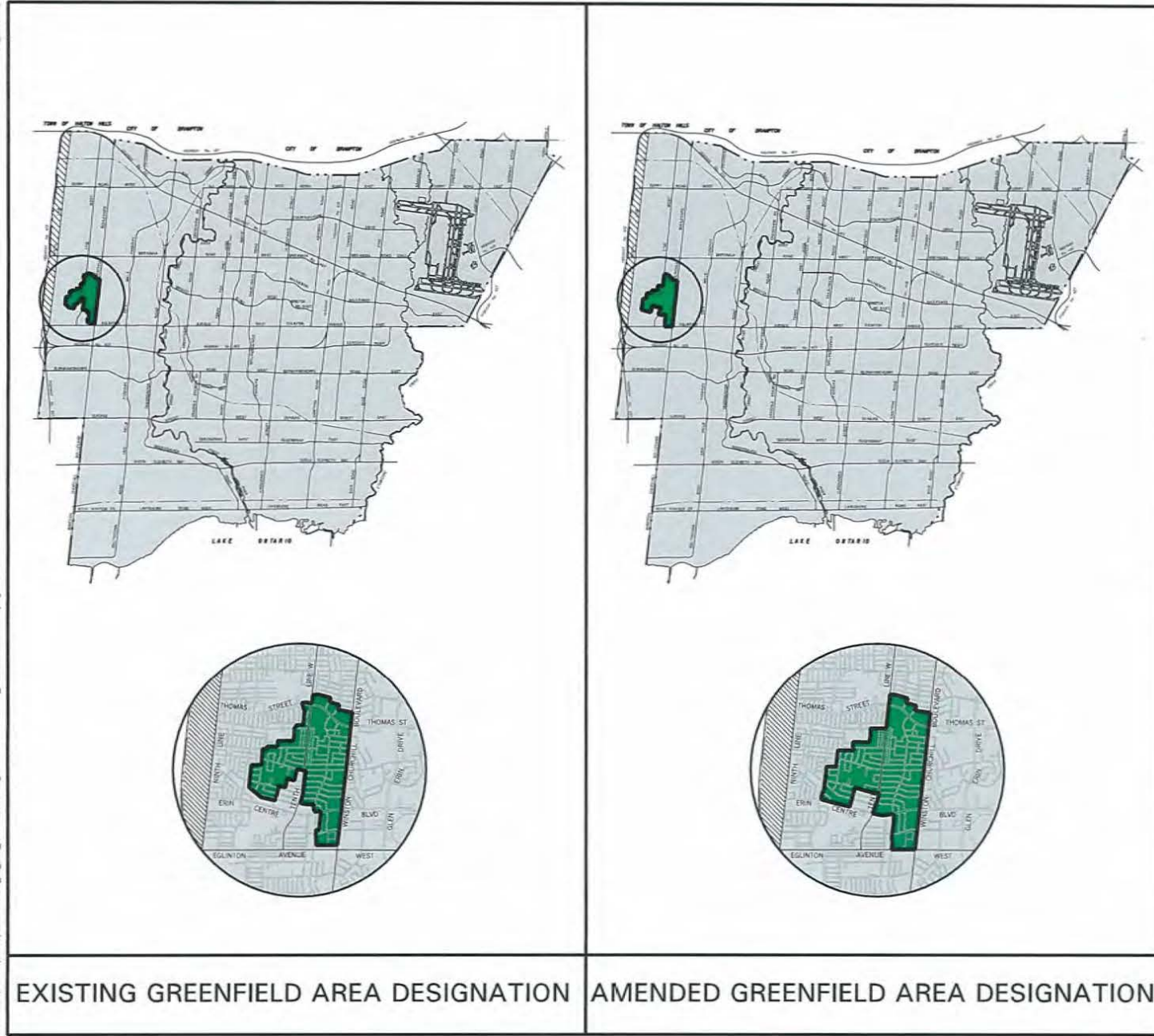


Edward R. Sajecki

Commissioner of Planning and Building

*Prepared By: Emily Irvine, Policy Planner*

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# Designated Greenfield Area

- Designated Greenfield Area
- Built-up Area
- Special Study Area
- City Limits

AREA OF AMENDMENT NO. ???

**DRAFT**



Map 16-4.1  
Designated Greenfield Area  
of Mississauga Official Plan

City of Mississauga

V 1.001

Appendix 1

## Appendix 2

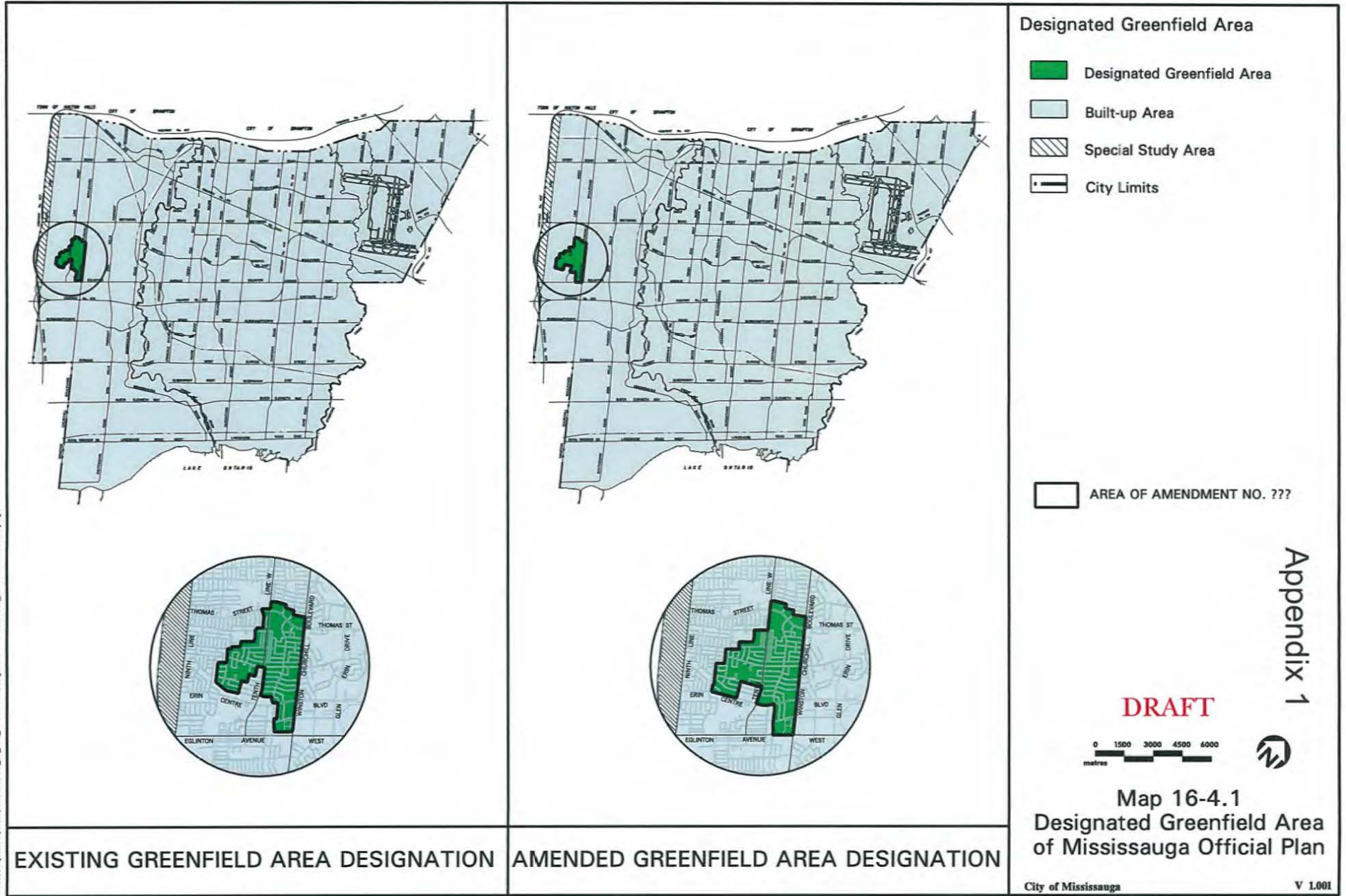
**Definitions from the Provincial Policy Statement**

**Oil, gas and salt hazards:** means any feature of a well or work as defined under the *Oil, Gas and Salt Resources Act*, or any related disturbance of the ground that has not been rehabilitated.

**Mineral aggregate operation:** means

- a) lands under license or permit, other than for *wayside pits and quarries*, issued in accordance with the *Aggregate Resources Act*;
- b) for lands not designated under the *Aggregate Resources Act*, established pits and quarries that are not in contravention of municipal zoning by-laws and including adjacent land under agreement with or owned by the operator, to permit continuation of the operation; and
- c) associated facilities used in extraction, transport, beneficiation, processing or recycling of *mineral aggregate resources* and derived products such as asphalt and concrete, or the production of secondary related products.

**Petroleum resource operations:** means oil, gas and salt wells and associated facilities and other drilling operations, oil field fluid disposal wells and associated facilities, and wells and facilities for the underground storage of natural gas and other hydrocarbons.





# Corporate Report

Clerk's Files

Originator's  
Files CD.21.SIT

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**DATE:** April 15, 2014

**TO:** Chair and Members of Planning and Development Committee  
Meeting Date: May 5, 2014

**FROM:** Edward R. Sajecki  
Commissioner of Planning and Building

**SUBJECT:** **Site Plan Control By-law Update - Ninth Line**  
**City of Mississauga** **Ward 10**

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**RECOMMENDATION:** That Site Plan Control By-law 0293-2006, as amended, be further amended in accordance with the draft By-law attached as Appendix 2 to the report dated April 15, 2014, from the Commissioner of Planning and Building.

**BACKGROUND:** In June 2006, the City of Mississauga's Site Plan Control By-law was consolidated and updated, and was adopted by City Council under By-law 0293-2006. In addition to periodic reviews of this By-law by the Planning and Building Department, City Council may also adopt recommendations from staff with respect to development applications or land use studies that necessitate updates to the By-law. This Corporate Report addresses further changes to the Site Plan Control By-law as a result of development along the east side of Ninth Line, north and south of Britannia Road West.

**COMMENTS:** There are five properties along the east side of Ninth Line that were not developed at the same time as the subdivisions that now comprise the Churchill Meadows Character Area.



In order that future development on these parcels addresses design matters and issues related to stormwater management, staff recommend that these properties be subject to site plan control. Two of these properties, 6155 and 6565 Ninth Line, are subject to current rezoning and plan of subdivision applications, however the recommendation from staff to place the properties under site plan control is not contingent upon the outcome or approval of these applications. The remaining vacant lots are at 5329, 6543 and 6553 Ninth Line. All five properties are shown on a Context Plan, attached as Appendix 1, to this report. Appendix 2 is the draft by-law to amend the Site Plan Control By-law.

It is therefore recommended that a new item (u) be added to Subsection 5 as follows:

- (u) All development or redevelopment of the lands shown on Schedule 13 attached to this By-law.

### **Mapping Update**

To clearly illustrate the properties identified above, it is recommended that new Schedules "13", "13A", "13B" and "13C" be added to the Site Plan Control By-law.

### **COMMUNITY ISSUES**

No community or public meetings are required to be held under the provisions of the *Planning Act*, R.S.O. 1990, c.P.13.

**FINANCIAL IMPACT:** Not applicable.

**CONCLUSION:** Staff recommend that the five undeveloped properties along the east side of Ninth Line, north and south of Britannia Road West, be placed under site plan control to ensure that design and drainage issues are addressed at such time as development is approved. This recommendation is not contingent upon the outcome of the development applications currently in process for two of these parcels.

**ATTACHMENTS:**

Appendix 1: Context Plan

Appendix 2: Draft By-law to Amend the Site Plan Control  
By-law



Edward R. Sajecki

Commissioner of Planning and Building

*Prepared By: Lisa Christie, Zoning By-law Review Planner*





A by-law to amend By-law Number 0293-2006, as amended, being  
the Site Plan Control By-law.

WHEREAS pursuant to section 41 of the *Planning Act*, R.S.O. 1990, c.P.13, as amended, the council of a local municipality may by by-law, designate the whole or any part of the municipality as a Site Plan Control Area, where in the Official Plan the area is shown or described as a proposed Site Plan Control Area;

AND WHEREAS the Corporation of the City of Mississauga enacted By-law 0293-2006, as amended, being a Site Plan Control By-law;

NOW THEREFORE the Council of The Corporation of the City of Mississauga ENACTS as follows:

1. By-law Number 0293-2006, as amended, being the City of Mississauga Site Plan Control By-law, is amended as follows:
  - (1) Section 5 is amended by adding:
 

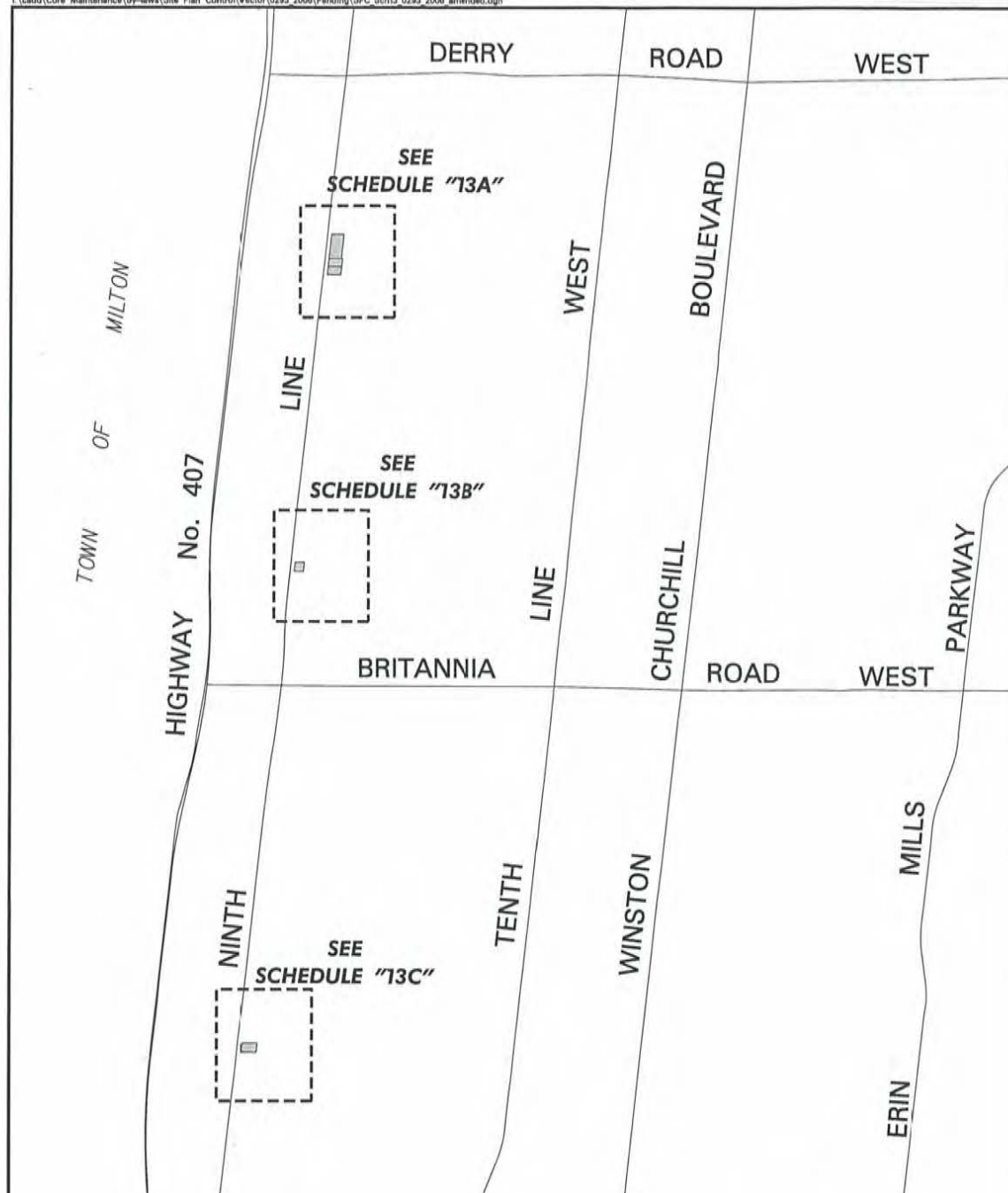
"(u) All development or redevelopment on the lands shown on Schedule "13" attached to this By-law."
  - (2) Adding Schedules "13", "13A", "13B" and "13C" attached hereto.

ENACTED and PASSED this \_\_\_\_\_ day of \_\_\_\_\_ 2014.

\_\_\_\_\_  
MAYOR

\_\_\_\_\_  
CLERK

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SITE PLAN CONTROL AREA

# DRAFT

THIS IS SCHEDULE "13" TO

BY-LAW 0293-2006

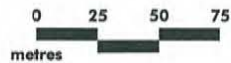
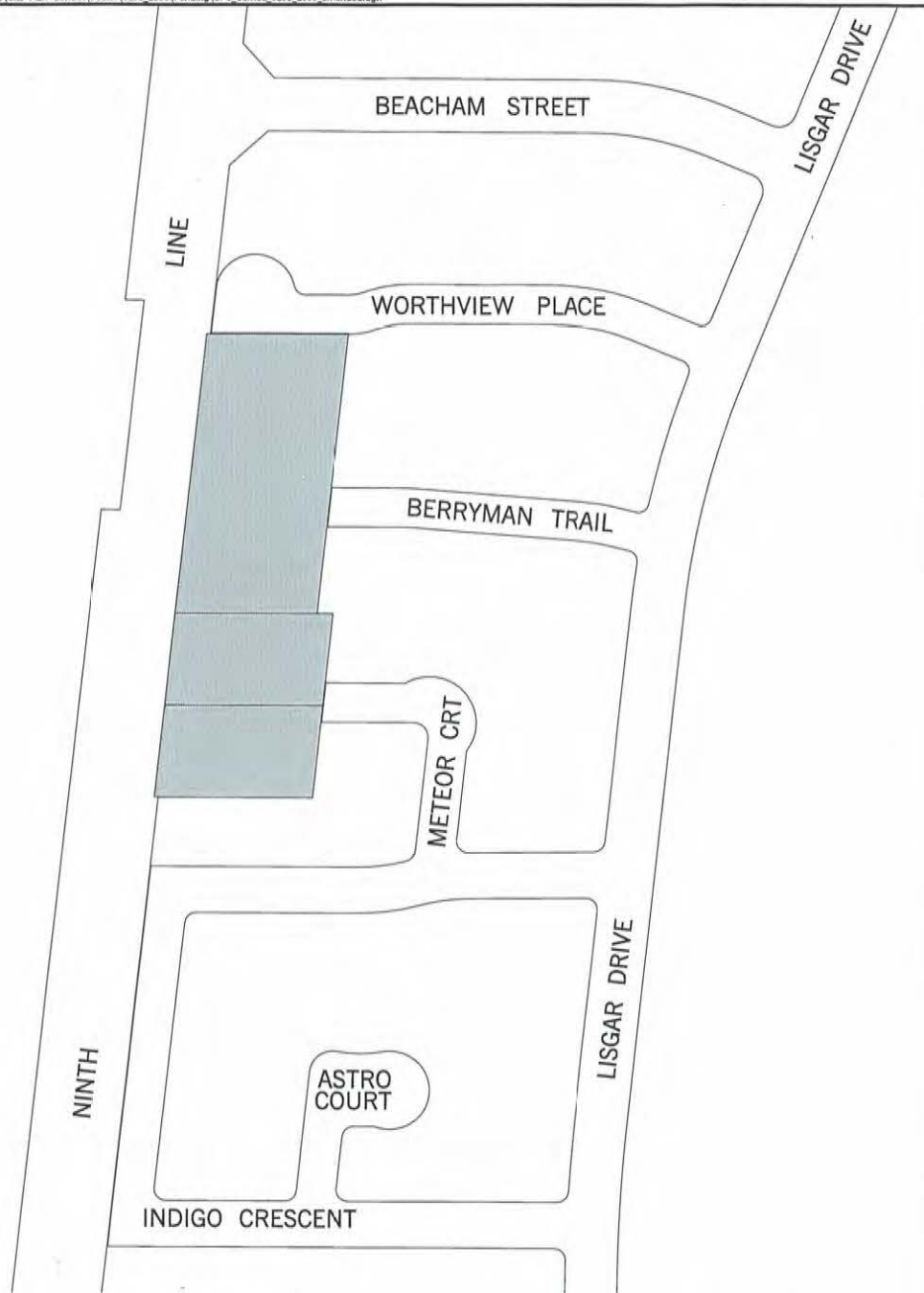
AS AMENDED BY

BY-LAW \_\_\_\_\_

PASSED BY COUNCIL ON

CITY OF MISSISSAUGA

\_\_\_\_\_



 SITE PLAN CONTROL AREA

# DRAFT

THIS IS SCHEDULE "13A" TO  
BY-LAW 0293-2006

AS AMENDED BY

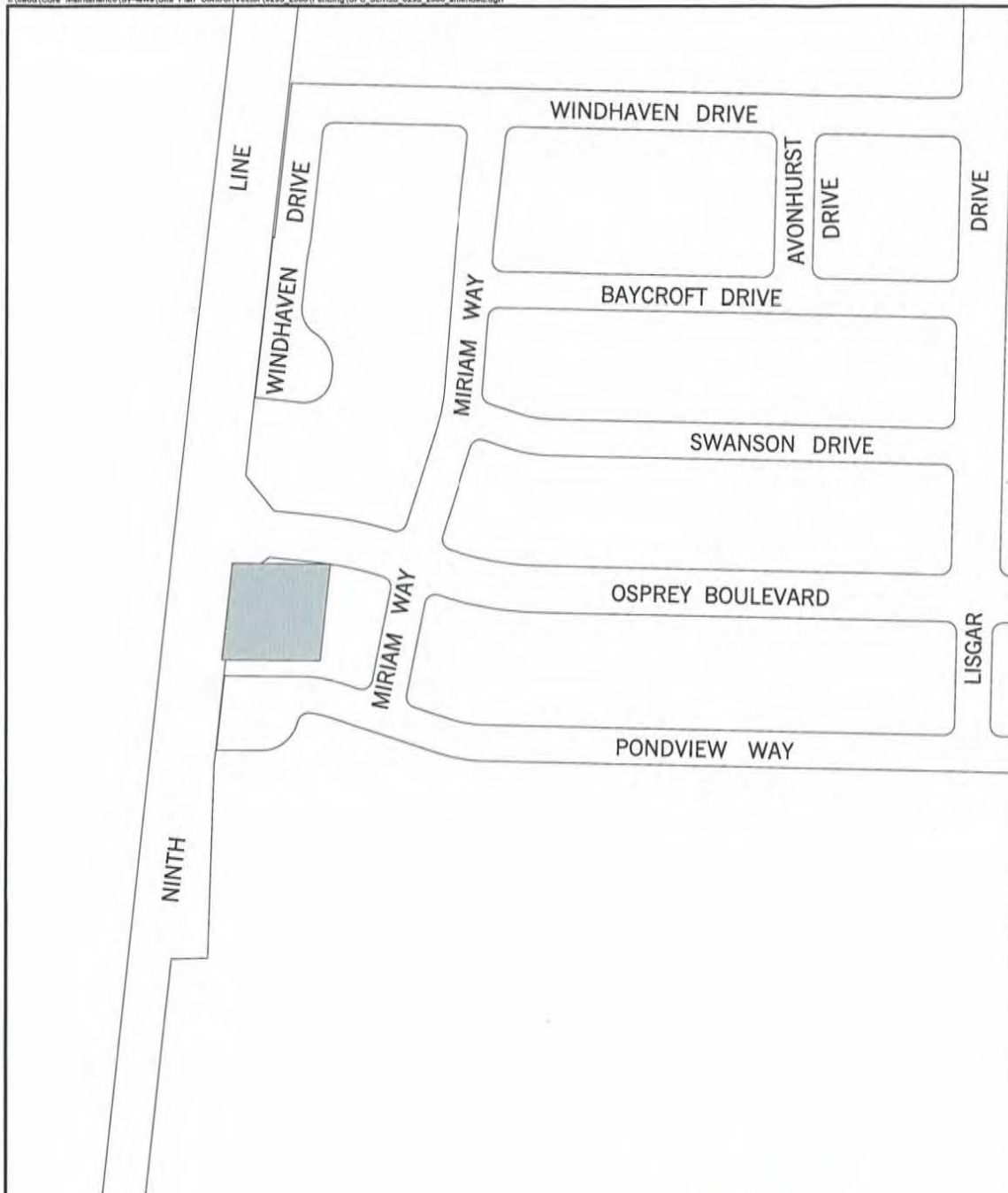
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PASSED BY COUNCIL ON

CITY OF MISSISSAUGA

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SITE PLAN CONTROL AREA

# DRAFT

THIS IS SCHEDULE "13B" TO

BY-LAW 0293-2006

AS AMENDED BY

BY-LAW \_\_\_\_\_

PASSED BY COUNCIL ON

\_\_\_\_\_

CITY OF MISSISSAUGA

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 SITE PLAN CONTROL AREA

# DRAFT

THIS IS SCHEDULE "13C" TO  
BY-LAW 0293-2006

AS AMENDED BY

BY-LAW \_\_\_\_\_

PASSED BY COUNCIL ON

CITY OF MISSISSAUGA

\_\_\_\_\_