

AGENDA



HERITAGE ADVISORY COMMITTEE

THE CORPORATION OF THE CITY OF MISSISSAUGA

TUESDAY, NOVEMBER 19, 2013 – 9:30 A.M.

COUNCIL CHAMBER

SECOND FLOOR, CIVIC CENTRE

300 CITY CENTRE DRIVE, MISSISSAUGA, ONTARIO, L5B 3C1

www.mississauga.ca

Members

Councillor George Carlson, Ward 11 (CHAIR)

Councillor Jim Tovey, Ward 1 (VICE-CHAIR)

Robert Cutmore, Citizen Member

David Dodaro, Citizen Member

Mohammad N. Haque, Citizen Member

James Holmes, Citizen Member

Rick Mateljan, Citizen Member

Cameron McCuaig, Citizen Member

Deanna Natalizio, Citizen Member

Michael Spaziani, Citizen Member

Michelle Walmsley, Citizen Member

Matthew N. Wilkinson, Citizen Member

**** PLEASE NOTE LATER START TIME (9:30 A.M.) ****

CONTACT PERSON: Julie Lavertu, Legislative Coordinator

Office of the City Clerk, Telephone: 905-615-3200, ext. 5471; Fax 905-615-4181

Julie.Lavertu@mississauga.ca

CALL TO ORDERDECLARATIONS OF DIRECT (OR INDIRECT) PECUNIARY INTERESTPRESENTATIONS/DEPUTATIONSMATTERS TO BE CONSIDERED1. Approval of Minutes of Previous Meeting

Minutes of the meeting held October 22, 2013.

RECOMMEND APPROVAL2. Heritage Tree Subcommittee

Corporate Report dated November 1, 2013 from the Commissioner of Community Services with respect to the Heritage Tree Subcommittee.

RECOMMENDATION

1. That the mandate of the Heritage Tree Subcommittee to investigate the feasibility of a Heritage Tree Program has been fulfilled and therefore the subcommittee can be dissolved.
2. That the designation of Heritage Trees under the *Ontario Heritage Act* be addressed through the Heritage Designation Subcommittee.

RECOMMEND APPROVAL3. Request to Demolish a Heritage Listed Property, 4067 Mississauga Road, Ward 8

Corporate Report dated October 18, 2013 from the Commissioner of Community Services with respect to a request to demolish a heritage listed property located at 4067 Mississauga Road.

RECOMMENDATION

That the property at 4067 Mississauga Road, which is listed on the City's Heritage Register, is not worthy of heritage designation, and consequently, that the owner's request to demolish the structure proceed through the applicable process.

RECOMMEND APPROVAL4. Heritage Impact Statement, 1370 Milton Avenue, Ward 1

Memorandum dated October 18, 2013 from Laura Waldie, Heritage Coordinator, with respect to the Heritage Impact Statement for the property located at 1370 Milton Avenue.

(4.) RECOMMEND RECEIPT

5. Municipal Water Servicing within the Willow Lane Right-of-Way, Ward 11

Memorandum dated November 4, 2013 from Elaine Eigl, Heritage Coordinator, with respect to municipal water servicing within the Willow Lane right-of-way.

RECOMMEND RECEIPT

6. 2013 Cultural Heritage Program Award of Excellence Expenditure

Memorandum dated November 5, 2013 from Elaine Eigl, Heritage Coordinator, with respect to 2013 Cultural Heritage Program Award of Excellence expenditure.

RECOMMEND RECEIPT

7. Heritage Advisory Committee's Budget and Spending History

Memorandum dated November 12, 2013 from Julie Lavertu, Legislative Coordinator, Heritage Advisory Committee, with respect to the Heritage Advisory Committee's budget and spending history.

RECOMMEND RECEIPT

8. Status of Outstanding Issues Chart from the Heritage Advisory Committee

Chart dated November 19, 2013 from Julie Lavertu, Legislative Coordinator, Heritage Advisory Committee, with respect to the status of outstanding issues from the Heritage Advisory Committee.

RECOMMEND RECEIPT

SUBCOMMITTEE UPDATES FROM CHAIRS

9. Heritage Designation Subcommittee

10. Heritage Tree Subcommittee

11. Meadowvale Village Heritage Conservation District Review Committee

12. Public Awareness Subcommittee

INFORMATION ITEMS

13. 2014 Volunteer Service Awards Program

Correspondence dated November 2013 from the Honourable Michael Coteau, Minister of Citizenship and Immigration, with respect to the 2014 Volunteer Service Awards Program.

RECOMMEND RECEIPT

DATE OF NEXT MEETING – Tuesday, January 21, 2014 at 9 a.m., Council Chamber

OTHER BUSINESS

ADJOURNMENT

**IT IS RECOMMENDED THAT HERITAGE ADVISORY COMMITTEE MEMBERS
VISIT THE PROPERTIES LISTED ON THE AGENDA PRIOR TO THE MEETING.**

NOV 19 2013



MINUTES

HERITAGE ADVISORY COMMITTEE

THE CORPORATION OF THE CITY OF MISSISSAUGA

TUESDAY, OCTOBER 22, 2013 – 9 A.M.

COUNCIL CHAMBER

SECOND FLOOR, CIVIC CENTRE

300 CITY CENTRE DRIVE, MISSISSAUGA, ONTARIO, L5B 3C1

www.mississauga.ca

MEMBERS PRESENT:

Councillor George Carlson, Ward 11 (CHAIR)
 Councillor Jim Tovey, Ward 1 (VICE-CHAIR) (arrived at 9:11 a.m. due to Other Municipal Business)
 Robert Cutmore, Citizen Member
 David Dodaro, Citizen Member
 Mohammad N. Haque, Citizen Member (departed at 10:31 a.m.)
 James Holmes, Citizen Member
 Rick Mateljan, Citizen Member
 Cameron McCuaig, Citizen Member
 Michelle Walmsley, Citizen Member (arrived at 9:11 a.m.)
 Matthew N. Wilkinson, Citizen Member

MEMBERS ABSENT:

Deanna Natalizio, Citizen Member
 Michael Spaziani, Citizen Member

STAFF PRESENT:

Elaine Eigl, Heritage Coordinator
 Laura Waldie, Heritage Coordinator
 Andrew Whittemore, Manager, Culture and Heritage Planning

CONTACT PERSON: Julie Lavertu, Legislative Coordinator

Office of the City Clerk, Telephone: 905-615-3200, ext. 5471; Fax 905-615-4181

Julie.Lavertu@mississauga.ca

**NOTE: The Committee changed the order of the Agenda during the meeting.
These Minutes reflect the order of the meeting.**

CALL TO ORDER – 9:04 a.m.

DECLARATIONS OF DIRECT (OR INDIRECT) PECUNIARY INTEREST

Mr. Dodaro declared conflicts on Items 4, 5, and 6, noting that he works in the office of the architect who is looking after these projects, and left the Council Chamber during the discussion of these items. Later in the meeting, prior to Item 19, Mr. Mateljan declared a conflict on Item 21 and left the Council Chamber during the discussion of Items 19-21.

PRESENTATIONS/DEPUTATIONS – Nil

MATTERS CONSIDERED

1. Approval of Minutes of Previous Meeting

Minutes of the meeting held September 17, 2013.

Approved (J. Holmes)

2. Request to Alter a Heritage Designated Property, 863 Sangster Avenue, Ward 2

Corporate Report dated October 4, 2013 from the Commissioner of Community Services with respect to a request to alter a heritage designated property located at 863 Sangster Avenue.

Recommendation

HAC-0082-2013

1. That the request to make an alteration to the property at 863 Sangster Avenue, as described in the Corporate Report dated October 4, 2013 from the Commissioner of Community Services, be approved as the property owner has agreed to the following conditions:
 - a. Replacing the existing wood siding with wood fish scale shingles on the south and west facades of the house's upper floor;
 - b. Adding muntin bars to each of the windows located on the west façade of the house; and
 - c. Providing a Letter of Credit in an amount determined by the Director of Culture prior to issuance of the heritage permit and commencement of any work.
2. That the correspondence dated October 9, 2013 from Candice Chilton, the property owner of 863 Sangster Avenue, with respect to a request to alter a heritage designated property located at 863 Sangster Avenue, be received.

Approved (R. Cutmore)

6. Request to Alter a Heritage Designated Property, Derry House on the Adamson Estate, 875 Enola Avenue, Ward 1

Corporate Report dated September 20, 2013 from the Commissioner of Community Services with respect to a request to alter a heritage designated property, the Derry House on the Adamson Estate, located at 875 Enola Avenue.

Jason DeBrun, Associate, Michael Spaziani Architect Inc., said that Mr. Spaziani's firm has been retained by the City to work on alterations to the Derry House on the Adamson Estate, the Bradley Museum Barn and Wood Shed, and the Benares Estate's Main House, Dairy House, Barn, and Potting Shed. He discussed the alterations to the property which involve waterproofing the foundation and removing and closing in basement windows.

Recommendation

HAC-0083-2013

That the request to make alterations to the Derry House on the Adamson Estate, as described in the Corporate Report dated September 20, 2013 from the Commissioner of Community Services, be approved and that the appropriate City officials be authorized and directed to take the necessary action to give effect thereto.

Approved (R. Mateljan)

5. Request to Alter a Heritage Designated Property, Bradley Museum Barn and Wood Shed, 1620 Orr Road, Ward 1

Corporate Report dated September 23, 2013 from the Commissioner of Community Services with respect to a request to alter a heritage designated property, the Bradley Museum Barn and Wood Shed, located at 1620 Orr Road.

Mr. DeBrun discussed the alterations to the property's Barn and Wood Shed which involve removing and replacing the board and batten wood siding to keep the buildings enclosed. In response to Mr. Mateljan, Mr. DeBrun discussed the age, condition, and suitability of the Barn's materials for reuse at the Bradley Museum and Benares Estate.

Recommendation

HAC-0084-2013

That the request to alter the Bradley House Museum located at 1620 Orr Road, as described in the Corporate Report dated September 23, 2013 from the Commissioner of Community Services, be approved and that the appropriate City officials be authorized and directed to take the necessary action to give effect thereto.

Approved (R. Mateljan)

4. Request to Alter a Heritage Designated Property, Benares Estate: Main House, Dairy House, Barn, and Potting Shed, 1503 Clarkson Road, Ward 2

Corporate Report dated September 23, 2013 from the Commissioner of Community Services with respect to a request to alter a heritage designated property, the Benares Estate: Main House, Dairy House, Barn, and Potting Shed, located at 1503 Clarkson Road.

Mr. DeBrun discussed the alterations to the property's Barn and Potting Shed which involve reusing materials from the Bradley Museum Barn to redo the rotten wood floor boards. He added that the Dairy House's roof will be repaired and reclad with new and/or reclaimed shingles from the Bradley Museum Barn and that the Main House's non-heritage hardwood flooring will be removed and the original flooring will be restored.

The Vice-Chair and Ms. Walmsley arrived at 9:11 a.m.

Recommendation

HAC-0085-2013

That the request to make alterations to the Benares Main House, Dairy House, Barn and Potting Shed, as described in the Corporate Report dated September 23, 2013 from the Commissioner of Community Services, be approved and that the appropriate City officials be authorized and directed to take the necessary action to give effect thereto.

Approved (R. Mateljan)

3. Proposed Heritage Designation, Outdoor Firing Range, 1300 Lakeshore Road East, Ward 1

Corporate Report dated September 23, 2013 from the Commissioner of Community Services with respect to a proposed heritage designation for the Outdoor Firing Range located at 1300 Lakeshore Road East.

Edward J. F. Bavington, Ward 1 resident, discussed the property and its history, various features, and former occupants, his 2007 petition submitted to the Vice-Chair that the property be used for emergency housing, the Corporate Report and its recommendation, his archives regarding Lakeview's history, the United Church of Canada and the work and advocacy of Gordon Graydon vis-à-vis the property and its former occupants, his research and upcoming book regarding Lakeview and its history, a letter to the editor that he recently wrote to the *Mississauga News* regarding infrastructure funding in the City, and the City's past designation of the Indoor Firing Range. He also requested that the Vice-Chair ask Councillor Pat Mullin, Ward 2, to telephone him in the near future.

The Vice-Chair discussed the designation of the Indoor and Outdoor Firing Ranges and thanked Mr. Bavington for his work, support, and advocacy on this matter, and discussed the history and overall importance of the property. He directed Heritage staff to meet with Mr. Bavington to review his archival materials and to determine whether some documents could be copied and supplied to heritage-related groups like Heritage Mississauga. The Vice-Chair thanked Heritage staff for their work in this regard and the Region of Peel for supporting the designation of the property. The Vice-Chair stated that the Port Credit Business Improvement Area and local residents are excited about the property's redevelopment, as it is approximately twice the size of Port Credit Memorial

Park and could house a concert area for thousands of people overlooking Lake Ontario.

In response to the Vice-Chair, Ms. Waldie confirmed that the City designated the Indoor Firing Range a few years ago. In response to Mr. McCuaig, the Vice-Chair said that the redevelopment plans for the property will likely take five to ten years, that the scope of work for the Small Arms Building is a priority, that the Region needs to clean up the property, that he is confident that the Region will include funding in its capital plan regarding this matter because of its heritage and importance to the community, and that alterations to the property will be brought back to the Committee for their consideration.

Recommendation

HAC-0086-2013

That the Outdoor Firing Range located at 1300 Lakeshore Road East be designated under Section 29. (1) of the *Ontario Heritage Act* for its historical/associative, contextual, and physical value and that the appropriate City officials be authorized and directed to take the necessary action to give effect thereto.

Approved (Councillor J. Tovey)

7. Request to Demolish a Heritage Listed Property, 3650 Eglinton Avenue West, Ward 8

Corporate Report dated September 23, 2013 from the Commissioner of Community Services with respect to a request to demolish a heritage listed property located at 3650 Eglinton Avenue West.

Mr. Wilkinson discussed the property and its overall value, stating that it has been subject to two Heritage Impact Statements in recent years and that is the last remnant heritage property in this area of the City. He spoke about the property vis-à-vis the Dowling House, the possibility of incorporating the property in the future development and adjacent residential areas, the property's heritage, architecture, and current condition including water damage in the basement, other heritage properties that were demolished in this area of the City, and the *Ontario Heritage Act's* criteria for designating properties.

Committee members discussed the property and its overall value and current condition including water damage in the basement, the Committee's consideration of the property in the past, the possibility of Heritage staff and/or Committee members taking a second look at the property via a site visit, the possibility of designating the property due to its heritage merit, the possibility of the property owners restoring the water damage in the basement, the past plans for developing the site, the possibility of incorporating the property in the future development like other heritage properties in the City (e.g., the Mad Hatter Pub), the property's history, connection to a founding family, and cultural value, the timelines for this application under the *Ontario Heritage Act*, the possibility of deferring this matter to the Committee's next meeting, the supplementary Building Condition Report, the possibility of allowing the property owner to demolish the addition and deferring the demolition of the main property, the status of the property's Site Plan, and Ms. Bangash's desire to preserve the property's natural heritage as much as possible.

Ms. Waldie discussed the past and current development plans, the property's condition,

zoning status, and materials, the supplementary Building Condition Report vis-à-vis the property's designation or salvage, and the timelines for this application under the *Ontario Heritage Act*. She spoke about the Committee's interest in designating the property and expressed concern in meeting the legislative requirements, as many of the property's architectural features have been changed over the years and are no longer original. Ms. Waldie said that she would need to speak to the property owner to get approval for the Committee to do a site visit and that Heritage staff could encourage the property owner to integrate the property's heritage features in the future development. Mr. Whittemore said that the Committee could choose to pass a recommendation with specific terms and conditions (e.g., that the property owner reuse and/or relocate the property as part of the future development) or could recommend to Council that the property be designated.

The Chair said that he was not familiar with the property and its history and context, but that the property appeared to be in fairly good condition overall. He suggested that the Committee conduct a site visit to assess its current condition and noted that it would be premature for the Committee to delist the property and permit demolition without seeing its Site Plan. The Vice-Chair asked if a Site Plan had been submitted to the City.

Neelam Bangash, Urban Planner/Design Lead, MB Architects & Planners, said that the property owner is selling the property, that demolition is tied to property's sale, and the Site Plan is preliminary. She discussed the property and its condition, noting that it is structurally unsafe, that it has few original features, and that the basement contains water and mold. Ms. Bangash discussed the future development plans for a commercial plaza, the possibility of incorporating the property's heritage into the design, and the possibility of retaining the existing trees and landscaped areas. In response to the Vice-Chair, she spoke about the site's zoning and size and the property's east elevation and condition. Ms. Bangash said that her firm had not yet been retained by the future property owner.

The Chair requested that the minutes indicate that the Committee's primary interest is the preservation of the original property so that the Committee's intentions are clear.

Recommendation HAC-0087-2013

That the request to demolish the heritage listed property located at 3650 Eglinton Avenue West be deferred until the property owners and/or his agents submit a detailed Site Plan to Heritage staff for consideration at a future Heritage Advisory Committee meeting.

Direction/Deferred (M. Wilkinson)

8. Request to Demolish a Heritage Listed Property, 7181 Lancaster Avenue, Ward 5

Corporate Report dated September 23, 2013 from the Commissioner of Community Services with respect to a request to demolish a heritage listed property located at 7181 Lancaster Avenue.

Recommendation HAC-0088-2013

That the property at 7181 Lancaster Avenue, which is listed on the City's Heritage

Register, is not worthy of designation, and consequently, that the owner's request to demolish proceed through the applicable process.

Approved (Councillor J. Tovey)

9. Request to Demolish a Heritage Listed Property, 930 Whittier Crescent, Ward 1

Corporate Report dated September 11, 2013 from the Commissioner of Community Services with respect to a request to demolish a heritage listed property located at 930 Whittier Crescent.

Recommendation

HAC-0089-2013

That the property at 930 Whittier Crescent, which is listed on the City's Heritage Register, is not worthy of designation, and consequently, that the owner's request to demolish proceed through the applicable process.

Approved (Councillor J. Tovey)

10. Heritage Impact Statement, 40 Veronica Drive, Ward 1

Memorandum dated September 11, 2013 from Laura Waldie, Heritage Coordinator, with respect to the Heritage Impact Statement for the property located at 40 Veronica Drive.

Ms. Walmsley said that she was unable to open the agenda with her Mac computer due to its large attachments. She asked if the property owner had submitted an arborist report and requested clarification regarding which properties require arborist reports and when archaeological assessments are required. The Vice-Chair discussed the arborist report requirements for property owners in Cultural Landscapes and suggested that Heritage staff follow up with Legal Services staff regarding their ability to request tree preservation plans and arborist reports from property owners in Cultural Landscapes.

Ms. Waldie discussed the property, noting that it is vacant land which was recently severed from 36 Veronica Drive, and added that arborist reports are required via Site Plan applications and discussed the reasons why an arborist report was not required for this property. Ms. Eigl discussed archaeological assessments and when they are required and said that she would email Ms. Walmsley the *Ontario Regulations* on this matter for her information. Mr. Whittemore said that the Committee considered two Memorandums regarding arborist report requirements in the recent past and that he would follow up on this matter and report back to the Committee during one of its upcoming meetings.

Recommendation

HAC-0090-2013

That the Memorandum dated September 11, 2013 from Laura Waldie, Heritage Coordinator, entitled "Heritage Impact Statement, 40 Veronica Drive (Ward 1)," be received.

Received (R. Cutmore)

11. Internal Renovations and Addition of Dormers, 869 Whittier Crescent, Ward 2

Memorandum dated September 11, 2013 from Laura Waldie, Heritage Coordinator, with respect to the internal renovations and addition of dormers for the property located at 869 Whittier Crescent.

Recommendation

HAC-0091-2013

That the Memorandum dated September 11, 2013 from Laura Waldie, Heritage Coordinator, entitled "Internal Renovations and Addition of Dormers (Ward 2)," with respect to the property located at 869 Whittier Crescent, be received.

Received (M. Haque)

12. Window Replacement at Rear of Property, 1496 Adamson Street, Ward 7

Memorandum dated September 24, 2013 from Laura Waldie, Heritage Coordinator, with respect to the window replacement at the rear of the property located at 1496 Adamson Street.

Recommendation

HAC-0092-2013

That the Memorandum dated September 24, 2013 from Laura Waldie, Heritage Coordinator, entitled "Window Replacement at Rear of Property (Ward 7)," with respect to the property located at 1496 Adamson Street, be received.

Received (M. Wilkinson)

13. Addition of Rear Yard Gazebo, 2300 Speakman Drive, Ward 2

Memorandum dated October 1, 2013 from Laura Waldie, Heritage Coordinator, with respect to the addition of a rear yard gazebo for the property located at 2300 Speakman Drive.

Recommendation

HAC-0093-2013

That the Memorandum dated October 1, 2013 from Laura Waldie, Heritage Coordinator, entitled "Addition of Rear Yard Gazebo (Ward 2)," with respect to the property located at 2300 Speakman Drive, be received.

Received (D. Dodaro)

14. Demolition of a Heritage Listed Property, 275/277 Queen Street South, Ward 11

Memorandum dated October 1, 2013 from Elaine Eigl, Heritage Coordinator, with respect to the demolition of a heritage listed property located at 275/277 Queen Street South.

The Chair discussed its status and noted that the property has been abandoned for about 25 years and is not habitable. He noted that the property is part of the Mississauga Road Scenic Route Cultural Landscape and that this demolition is long overdue.

Recommendation

HAC-0094-2013

That the Memorandum dated October 1, 2013 from Elaine Eigl, Heritage Coordinator, entitled "Demolition of a Listed Property (Ward 11)," with respect to the property located at 275/277 Queen Street South, be received.

Received (Councillor J. Tovey)

15. Proposed Exterior Restoration and Replication Work, 296 Queen Street South, Ward 11

Memorandum dated October 1, 2013 from Elaine Eigl, Heritage Coordinator, with respect to the proposed exterior restoration and replication work for the property located at 296 Queen Street South.

The Chair said that this is an excellent project that needs to be done in Streetsville.

Recommendation

HAC-0095-2013

That the Memorandum dated October 1, 2013 from Elaine Eigl, Heritage Coordinator, entitled "Proposed Exterior Restoration and Replication Work (Ward 11)," with respect to the property located at 296 Queen Street South, be received.

Received (Councillor J. Tovey)

16. Heritage Toronto Awards & William Kilbourn Memorial Lecture

Correspondence from Heritage Toronto with respect to the Heritage Toronto Awards & William Kilbourn Memorial Lecture entitled "Building Heritage with Innovation" on Tuesday, October 15, 2013 at Koerner Hall in the Royal Conservatory of Music in Toronto, Ontario.

Ms. Lavertu said she had emailed this correspondence to Committee members several weeks ago for their information and placed it on the agenda in case any Citizen Members had attended and sought to be reimbursed for their costs from the Committee's budget.

The Vice-Chair discussed the correspondence and said that the Committee should consider attending this event as a group next year, like they have in the past, because it is an interesting and educational event that features various speakers, attendees, and venues. The Chair discussed the value of attending this event in the past and, in particular, a notable speech on heritage issues by David Miller, a former City of Toronto Mayor.

Recommendation

HAC-0096-2013

That the correspondence from Heritage Toronto with respect to the Heritage Toronto

Awards & William Kilbourn Memorial Lecture entitled "Building Heritage with Innovation" on Tuesday, October 15, 2013 at Koerner Hall in the Royal Conservatory of Music in Toronto, Ontario, be received.

Received (R. Cutmore)

17. "The Credits": Heritage Mississauga Awards

Correspondence dated October 3, 2013 from Jayme Gaspar, Executive Director, Heritage Mississauga, with respect to "The Credits": Heritage Mississauga Awards on Thursday, November 21, 2013 at the Mississauga Grand Banquet and Convention Centre in Mississauga, Ontario.

In response to the Chair, Ms. Lavertu discussed the matter and suggested that the Committee pass a recommendation authorizing a certain number of Citizen Members to attend the Awards. She added that she would email all Citizen Members information regarding the Awards and ask that those interested contact her so that the correct number of tickets could be purchased. Mr. Wilkinson said that he would be attending the Awards as a Heritage Mississauga staff member and requested that any Committee members in attendance join him in presenting the Cultural Heritage Property Awards of Excellence.

Recommendation

HAC-0097-2013

1. That the correspondence dated October 3, 2013 from Jayme Gaspar, Executive Director, Heritage Mississauga, with respect to "The Credits": Heritage Mississauga Awards on Thursday, November 21, 2013 at the Mississauga Grand Banquet and Convention Centre in Mississauga, Ontario, be received; and
2. That up to nine Heritage Advisory Committee Citizen Members be authorized to attend "The Credits": Heritage Mississauga Awards on Thursday, November 21, 2013 at the Mississauga Grand Banquet and Convention Centre in Mississauga, Ontario and that funds be allocated in the Heritage Advisory Committee's 2013 budget (Account #28609) to cover approximately \$585 for tickets.

Received/Direction (D. Dodaro)

18. Status of Outstanding Issues from the Heritage Advisory Committee

Chart dated October 22, 2013 from Julie Lavertu, Legislative Coordinator, Heritage Advisory Committee, with respect to the status of outstanding issues from the Heritage Advisory Committee.

Recommendation

HAC-0098-2013

That the chart dated October 22, 2013 from Julie Lavertu, Legislative Coordinator, Heritage Advisory Committee, with respect to the status of outstanding issues from the Heritage Advisory Committee, be received.

Received (C. McCuaig)

SUBCOMMITTEE UPDATES FROM CHAIRS

At this point, Mr. Mateljan declared a conflict on Item 21, noting that his firm is involved with this project, and left the Council Chamber during the discussion of Items 19-21.

- 19. Heritage Designation Subcommittee – Nil
- 20. Heritage Tree Subcommittee – Nil
- 21. Meadowvale Village Heritage Conservation District Review Committee

- 21.1 Correspondence dated September 20, 2013 from James P. Holmes, Chairman, Meadowvale Village Heritage Conservation District Review Committee, with respect to the Gamisz-McMenemy residence located at 1125 Willow Lane in Ward 11.

Mr. Holmes said that this is the best outcome for the property, noting that the property owners have gone through a few architects and finally went with Mr. Mateljan's firm. He said that the Review Committee believes that Mr. Mateljan's firm has done a great job preserving the original structure and, at the same time, providing the property owners with much-needed living space. The Chair agreed that this property was challenging.

Recommendation

HAC-0099-2013

That the correspondence dated September 20, 2013 from James P. Holmes, Chairman, Meadowvale Village Heritage Conservation District Review Committee, entitled "1125 Willow Lane, Meadowvale Village – Gamisz-McMenemy Residence," be received.

Received (J. Holmes)

- 22. Public Awareness Subcommittee – Nil

INFORMATION ITEMS

- 23. Notice of Objection to Proposed Heritage Designation, Gooderham Farmhouse, 7235 Second Line West, Ward 11

Correspondence dated July 29, 2013 from Justin A. Malfara, Land Development Coordinator, Dunsire Developments Inc., with respect to a notice of objection to the proposed heritage designation of the Gooderham Farmhouse located at 7235 Second Line West.

In response to Mr. Wilkinson, Ms. Waldie discussed the process for Notice of Objections to heritage designations, noting that they are forwarded to the Conservation Review Board (CRB). She added that the City has forwarded the Notice of Objection and relevant information to the CRB regarding this matter, but that a Hearing date has not yet been set. Ms. Waldie said that the Committee would be advised once the Hearing date is finalized.

The Chair discussed the property owner's various reasons for objecting to the heritage designation. Ms. Waldie discussed the matter and said that the property owner is opposed to a covenant placed by Planning and Building Department staff and that the Notice of Objection appears to be a misunderstanding. In response to the Chair, Ms. Waldie said that she does not believe that the property is at risk of being demolished at this point.

Recommendation

HAC-0100-2013

That the correspondence dated July 29, 2013 from Justin A. Malfara, Land Development Coordinator, Dunsire Developments Inc., with respect to a notice of objection to the proposed heritage designation of the Gooderham Farmhouse located at 7235 Second Line West, be received.

Received (J. Holmes)

24. June Callwood Outstanding Achievement Award for Voluntarism in Ontario

Correspondence dated October 2013 from the Honourable Michael Coteau, Minister of Citizenship and Immigration, with respect to the June Callwood Outstanding Achievement Award for Voluntarism in Ontario.

Recommendation

HAC-0101-2013

That the correspondence dated October 2013 from the Honourable Michael Coteau, Minister of Citizenship and Immigration, with respect to the June Callwood Outstanding Achievement Award for Voluntarism in Ontario, be received.

Received (R. Mateljan)

25. City of Mississauga Notice of Public Information Centre #2, Municipal Class Environmental Assessment Study for Ninth Line

Correspondence from Farhad Shahla, Project Manager, City of Mississauga, and Laurie M. Bruce, Consultant Project Manager, Arup Canada Inc., with respect to the City of Mississauga Notice of Public Information Centre #2, Municipal Class Environmental Assessment Study for Ninth Line.

Recommendation

HAC-0102-2013

That the correspondence from Farhad Shahla, Project Manager, City of Mississauga, and Laurie M. Bruce, Consultant Project Manager, Arup Canada Inc., with respect to the City of Mississauga Notice of Public Information Centre #2, Municipal Class Environmental Assessment Study for Ninth Line, be received.

Received (R. Cutmore)

26. Request to Alter a Heritage Designated Property, 863 Sangster Avenue, Ward 2*

Correspondence dated October 9, 2013 from Candice Chilton, the property owner of 863 Sangster Avenue, with respect to a request to alter a heritage designated property located at 863 Sangster Avenue.

In response to the Chair, Ms. Waldie said that this matter is linked to Item 2 and was listed separately because it was submitted late. In response to Mr. Mateljan, Ms. Waldie discussed the process for adding muntin bars, via vinyl inserts, to the windows on the property's west façade. She said that this is not ideal, but that this is the best solution to restore the windows to as close to what the property looked like when it was designated.

* Please refer to Item 2 on page 1 of the minutes for the recommendation on this matter.

DATE OF NEXT MEETING – Tuesday, November 19, 2013 at 9 a.m., Council Chamber

OTHER BUSINESS

Clarkson General Store, 1130-1132 Clarkson Road North, and William Clarkson House, 1140 Clarkson Road North, Ward 2

Mr. McCuaig discussed the above-noted properties and their condition, noting that they were recently subject to arson. He suggested that staff begin preparing a Cultural Heritage Assessment to designate the properties for consideration at the Committee's next meeting, noting that designation would provide the City with further powers to protect the properties which are not currently available under their heritage listed status.

Mr. Whittemore said that there is no clear property owner at this time and that, pursuant to the *Ontario Heritage Act*, the notice of intention to designate properties must be served on the correct property owner. He suggested that Heritage staff pursue this matter once the ownership of the properties has been resolved. Ms. Waldie said that Legal Services staff has advised that the parties have until the end of November 2013 to file their appeals with the courts and that it is unclear when this issue will be formally resolved. Mr. Whittemore said that Heritage staff would ask Legal Services staff about the possibility of seeking clarity from the courts vis-à-vis the ownership of the properties.

The Vice-Chair and Chair discussed the City's new Property Standards By-Law, heritage listed and designated properties vis-à-vis property standards issues, and the importance of discussing the status of the properties with Councillor Pat Mullin, Ward 2, and Legal Services staff. Ms. Waldie said that she has been forwarding any complaints regarding the properties to Licensing and Enforcement staff and encouraged Committee members and residents to contact them about any violations or concerns regarding the properties.

Mr. Haque departed at 10:31 a.m.

Committee members discussed the properties, the importance of notifying the current

property owner of the City's notice of intention to designate their properties, the possibility of designating the properties at a future date, the possibility of the City expropriating the properties due to the fact that they have been vacant and not lived in for years, and the possibility of obtaining the ownership of the properties by examining who is on title, determining who has been cleaning up and doing minor work on the properties in recent months, and/or reviewing who has been paying taxes on the properties.

The Chair discussed the City's ability to expropriate properties and said that these powers are very restrictive. He spoke about the properties and their potential for the Clarkson area. Mr. Whittemore discussed the *Municipal Act* vis-à-vis expropriations and said that Heritage staff would consult with Legal Services staff regarding the City's powers.

Recommendation

HAC-0103-2013

That Heritage staff prepare a Cultural Heritage Assessment to designate the Clarkson General Store and William Clarkson House properties located at 1130-1132 and 1140 Clarkson Road North, respectively, for consideration at a future Heritage Advisory Committee meeting once the ownership of the properties has been determined by the judicial system.

Direction (C. McCuaig)

Notice of Public Information Centre #2, Queen Elizabeth Way Improvements from Evans Avenue to Cawthra Road, Preliminary Design and Class Environmental Assessment Study

Recommendation

HAC-0104-2013

That the correspondence dated October 8, 2013 from Michael Chiu, Consultant Project Manager, McCormick Rankin, with respect to the Notice of Public Information Centre #2, Queen Elizabeth Way Improvements from Evans Avenue to Cawthra Road, Preliminary Design and Class Environmental Assessment Study, be received.

Received (Councillor J. Tovey)

At this point, the Chair asked that Heritage staff email Committee members a Memorandum and/or any updates regarding the heritage listed property located at 3650 Eglinton Avenue West (Item 7 on the Committee's October 22, 2013 agenda).

ADJOURNMENT – 10:44 a.m. (M. Wilkinson)

NOV 19 2013



Corporate Report

Clerk's Files

Originator's
Files PM.12-
TRE

DATE: November 1, 2013

TO: Chair and Members of the Heritage Advisory Committee
Meeting Date: November 19 , 2013

FROM: Paul A. Mitcham, P. Eng., MBA
Commissioner of Community Services

SUBJECT: **Heritage Tree Subcommittee**

RECOMMENDATION:

1. That the mandate of the Heritage Tree Subcommittee to investigate the feasibility of a Heritage Tree Program has been fulfilled and therefore the subcommittee can be dissolved.
2. That the designation of Heritage Trees under the *Ontario Heritage Act* be addressed through the Heritage Designation Subcommittee.

**REPORT
HIGHLIGHTS:**

- In 2007, the Heritage Tree Subcommittee was established to investigate the feasibility of a Heritage Tree Program which resulted in the Mississauga Heritage Tree Proposals report.
- Staff worked with the subcommittee to implement a recognition and regulation program consistent with the City's practices.
- Trees may be designated under the *Ontario Heritage Act* if the cultural heritage criteria as outlined in Regulation 9/06 are met
- Forestry implemented an interactive, web-based List of Significant Trees on Public Lands
- The Private Tree Protection By-law was enacted, strengthening the regulation of removal of trees on private lands

- The mandate of the Heritage Tree Subcommittee has been fulfilled
- The designation of Heritage Trees can be addressed through the Designation Subcommittee.

BACKGROUND:

On January 17, 2007, Council approved a recommendation from the Heritage Advisory Committee (HAC) to establish a Heritage Tree Subcommittee to investigate the feasibility of a Heritage Tree Program. The subcommittee researched best practices which were included in the report, Mississauga Heritage Tree Proposals, which was presented to General Committee at the February 20, 2008 meeting. General Committee referred the report to Community Services staff for further clarification on how a Heritage Tree Program could be implemented.

A Corporate Report dated February 9, 2009 from the Commissioner of Community Services outlining staff's response to the Heritage Tree Proposals Report was received by General Committee on February 18, 2009 (and is attached in Appendix 1). The Corporate Report identified six main recommendations made by the Subcommittee and provides a Departmental recommendation in response as listed below:

Establish a program to designate trees under the Ontario Heritage Act (OHA).
<i>Department Response:</i>
<i>The City's current designation practices are consistent with the OHA and can be used to identify properties with trees of significant cultural heritage. The physiological health of the tree(s) would be confirmed by an independent arborist report and/ or evaluation by Forestry staff. HAC would be responsible for confirming the cultural heritage of the tree(s) only.</i>
<i>2009 Status: Completed.</i>
Establish three levels for the recognition of trees with specific definitions
<i>Department Response:</i>
<i>If a Tree Recognition Program is initiated, it should focus on one level of recognition; "Trees of Significance"</i>
<i>2009 Status: Completed.</i>

Establish a program to review the creation of a list, regulation and awareness campaign program for trees on public lands
<i>Department Response:</i>
<i>Formalize a list and mapping to identify significant trees on public lands. Staff will continue to liaise with residents, developers, builders, City Departments and other agencies to promote the protection and preservation of significant trees on public lands. A web based awareness program can be initiated using existing resources.</i>
<i>2009 Status: Action Required</i>
If the program is successful on public lands, consider a program to review the creation of a list, regulation and awareness campaign on private lands.
<i>Departmental Response:</i>
<i>Given the current regulatory framework, there is merit in establishing a Tree Recognition Program on public lands first and to consider expanding the program to private lands in the future in the even that there are amendments to the Tree Permit By-law in the future that regulate the protection of single, significant trees.</i>
<i>2009 Status: Action Required</i>
A subcommittee of HAC would responsible for the tree recognition program
<i>Departmental Response:</i>
<i>Forestry staff will be responsible for the administration of a Tree Recognition Program on public lands.</i>
<i>2009 Status: Completed</i>
Establish an action plan and a budget for the Tree Recognition Program
<i>Departmental Response:</i>
<i>Using existing resources, Forestry Staff will initiate a Tree Recognition Program that will consist of a list of "Trees of Significance" on public lands as well as a web based awareness program.</i>
<i>2009 Status: Action Required</i>

A deputation made by Ms. Gay Peppin, Chair, and Don McDiarmid, Member, Heritage Tree Subcommittee, was also received for information at the February 18, 2009 General Committee Meeting. The recommendations made by General Committee (GC-0044-2009) were further amended by Council to include the following:

1. That Urban Forestry staff initiate a Tree Recognition Program consisting of a list of individual trees on public lands and an awareness program with the City of Mississauga for the purpose of identifying, protecting and promoting Trees of Significance;
2. That staff be directed to meet with the Heritage Tree Subcommittee to discuss:
 - a) how volunteers would work with Urban Forestry staff to initiate a Tree Recognition Program across the municipality such as being part of Arbor Week celebrations in the City;
 - b) the plan to implement a Heritage Tree by-law for Mississauga as either a stand-alone document or as part of the Mississauga City Tree Permit By-law.

Following the 2009 General Committee meeting, staff met with the Heritage Tree Subcommittee on numerous occasions regarding the regulation of trees on private lands and the recognition of Significant Trees. These discussions were key contributors to the establishment of the web based Significant Trees Program and enactment of the Private Tree Protection By-law in 2013.

At its meeting on July 9, 2013, the Heritage Advisory Committee recommended (HAC-0069-2013) (as outlined in Appendix 2) that "...the correspondence dated July 9, 2013 from Sean Stuckless, Ward 6 resident, entitled "Participation Request, Heritage Tree Subcommittee" be received and deferred until the Heritage Advisory Committee considers a Corporate Reportregarding the Heritage Tree Subcommittee's mandate and future..."

COMMENTS:

The following provides staff comments on how Council's recommendations has been addressed and the mandate of the Heritage Tree Subcommittee has been fulfilled:

That Urban Forestry staff initiate a Tree Recognition Program consisting of a list of individual trees on public lands and an awareness program with the City of Mississauga for the purpose of identifying, protecting and promoting Trees of Significance;

<i>Department Response:</i>
<p><i>In April 2013, the Significant Trees Program was launched by Forestry staff to recognize those trees on public lands within the City that have historical significance, unique form, are rare within the region or have extraordinary height or diameter. The Significant Tree web page is an interactive site containing information and the location of multiple significant trees on public lands. The public may nominate trees to be evaluated by Forestry staff to be considered as Significant Trees and included on the web-based list.</i></p> <p><i>The Forestry website has also been updated to include additional information regarding all aspects of Forestry programs.</i></p>
<i>2013 Status: Completed</i>
<p>That staff be directed to meet with the Heritage Tree Subcommittee to discuss:</p> <p>a) how volunteers would work with Urban Forestry staff to initiate a Tree Recognition Program across the municipality such as being part of Arbor Week celebrations in the City;</p>
<i>Departmental Response:</i>
<p><i>The public may nominate trees to be evaluated by Forestry staff to be considered as Significant Trees and included on the web-based list. Other Forestry initiatives such as the One Million Trees Mississauga Program and community plantings encourage the public to be actively involved in the stewardship of the urban forest canopy.</i></p>
<i>2013 Status: Completed</i>
<p>b) the plan to implement a Heritage Tree by-law for Mississauga as either a stand-alone document or as part of the Mississauga City Tree Permit By-law.</p>
<i>Departmental Response:</i>
<p><i>The regulatory framework for the protection and preservation of trees in the City of Mississauga should be straightforward and easy to understand and administer. A stand-alone Heritage Tree by-law is not recommended.</i></p> <p><i>Concurrent to discussions with the Heritage Tree Subcommittee, staff were directed by Council in April 2011 to investigate the regulation of single, large trees on private</i></p>

lands. An extensive public engagement and education process concluded that while there was public support for strengthening Tree Permit By-law 475-05, there was not sufficient support to regulate the removal of single trees on private property.

On March 1st 2013, the City implemented the amended Tree Permit By-law, now known as the Private Tree Protection By-law (02540-2012). A permit is required to remove three (3) or more trees with a diameter greater than 15cm (6in) per calendar year where previously a permit was required to remove five (5) or more trees with a diameter greater than 15 cm (6 in) per calendar year.

2013 Status: Completed

FINANCIAL IMPACT: Not applicable.

CONCLUSION: The Heritage Tree Subcommittee was formed to investigate the feasibility of creating a Heritage Tree Program in the City of Mississauga. The resulting Heritage Tree Proposals report recommended both recognition and regulation programs. In April 2013, Forestry launched an interactive, web based list of Significant Trees on Public Lands. The designation of Heritage Trees can follow the existing designation processes under the *Ontario Heritage Act*. The regulation of the removal of trees on private lands was strengthened with the adoption of the Private Tree Protection By-law in March 2013. The mandate of the Heritage Tree Subcommittee has been fulfilled. The designation of Heritage Trees can be addressed through the Heritage Designation Subcommittee.

ATTACHMENTS: Appendix 1: Corporate Report entitled "Tree Recognition Program" dated February 9, 2009
Appendix 2: HAC Recommendation - 0069-2013



Paul A. Mitcham, P. Eng., MBA
Commissioner of Community Services

Prepared By: Jane Darragh, OALA, OPPI, Planner, Community Services

Appendix 1



Corporate Report

Clerk's Files

 Originator's
Files
PM12-TRE

DATE: February 9, 2009

TO: Chair and Members of General Committee
Meeting Date: February 18, 2009

FROM: Paul A. Mitcham, P. Eng., MBA
Commissioner of Community Services

SUBJECT: Tree Recognition Program

- RECOMMENDATION:**
1. That the Corporate Report dated February 9, 2009 from the Commissioner of Community Services regarding the Heritage Tree Proposals Report be received.
 2. That Urban Forestry staff initiate a Tree Recognition Program consisting of a list for individual trees on public lands and an awareness program within the City of Mississauga for the purpose of identifying, protecting, and promoting trees of significance.

BACKGROUND: On January 17, 2007, Council approved a recommendation from the Heritage Advisory Committee (HAC) to establish a Heritage Tree Subcommittee to investigate the feasibility of a Heritage Tree Program. The subcommittee devoted over 500 volunteer hours to develop a proposal including an assessment of the best practices. At the February 20, 2008 meeting of General Committee, Ms. Gay Peppin, Chair, Heritage Tree Subcommittee and Mr. Don McDiarmid, Member, the Heritage Tree Subcommittee made a deputation with respect to the Heritage Tree Proposal.

General Committee recognized the significant volunteer effort that was devoted to preparing the Heritage Tree Proposals Report as well as the growing public interest in natural heritage and the environment.

Questions were raised regarding the difference between the identification of significant trees versus the designation of heritage trees and how trees on public versus private lands would be dealt with. It was also noted that on-going efforts are undertaken by City staff to protect and preserve significant trees on public lands. General Committee agreed that further clarification was required on how a Heritage Tree Program could be implemented. As a result, the deputation was received and referred to Community Services for further review.

COMMENTS:

The recommendations of the HAC Subcommittee are attached in Appendix 1 and can be found on page 8 of the Heritage Tree Proposals Report. For the purposes of this Corporate Report, the recommendations are summarized as follows:

1. Establish a program to designate trees under the Ontario Heritage Act;
2. Establish three levels for the recognition of trees with specific definitions;
3. Establish a program to review the creation of a list, regulation and awareness campaign program for trees on public lands;
4. If the program is successful on public lands, consider a program to review the creation of a list, regulation and awareness campaign program for trees on private lands;
5. A subcommittee of HAC would be responsible for this program; and
6. Establish an action plan and a budget for the program.

The following provides staff comments on each of the HAC Subcommittee recommendations noted above and concludes with a staff recommendation.

1. ESTABLISH A PROGRAM TO DESIGNATE TREES UNDER THE ONTARIO HERITAGE ACT

To designate a property under the Ontario Heritage Act (OHA), the property must meet the cultural heritage values as set out in the Act (Appendix 2). Trees are not specifically addressed in the OHA and an individual tree cannot be designated. Therefore in order to recognise an individual tree, the whole property must be designated. The designating by-law must outline the heritage attributes of the property and this may include, but not be limited to, significant trees. Even though a tree may be notable for its size, form, shape, or age,

physiological features are difficult to justify under the provisions of the Act. In order to designate a property because of a tree, high standards must be met to demonstrate the tree has cultural value or interest as outlined in the OHA. Unless there are some extraordinary cultural or historical aspects of a tree, it is unlikely that Heritage staff would recommend designation of a property based solely on the physiological characteristics of a tree.

Furthermore the OHA does not address trees when an alteration is proposed for a designated property. The OHA requires Council approval for the demolition of buildings or structures but not for landscaping or trees.

For example, the City makes reference to trees within property designations. However the designation does not prevent the removal of individual trees on the property. Therefore in order to protect individual trees on designated properties that are privately owned, an amendment to the City's Tree Permit By-Law would be required.

Staff are of the opinion that the City's current heritage policies and processes accurately reflect the OHA's approach to trees and no changes to the City's current designation practices are necessary.

Departmental Recommendation: The City's current designation practices are consistent with the OHA and can be used to identify properties with trees of significant cultural heritage value.

2. ESTABLISH THREE LEVELS FOR THE RECOGNITION OF TREES WITH SPECIFIC DEFINITIONS

The Heritage Tree Subcommittee recommends three different levels of tree recognition: "Trees of Interest", "Trees of Significance" and "Heritage Trees".

"Heritage" is usually associated with a property that is designated or listed under the Heritage Act. As individual trees are not specifically addressed under the Act, using the term "Heritage Tree" as a recognition level creates confusion and therefore is not recommended. It is simpler within an evaluation system to use one term and rank the trees accordingly based on defined criteria. An evaluation system was developed by the subcommittee and included in their report.

In assessing the two remaining terms, staff note that the term "Trees of Interest" is described in the HAC Subcommittee report as a broad, tertiary category whereas the term "Trees of Significance" is meant to describe individual trees that have been evaluated for their unique characteristics within the Mississauga landscape. Therefore the term "Trees of Significance" is the most appropriate term to identify trees worthy of recognition.

Departmental Recommendation: If a Tree Recognition Program is initiated, it should focus on one level of recognition; "Trees of Significance."

3. ESTABLISH A PROGRAM TO REVIEW THE CREATION OF A LIST, REGULATION AND AWARENESS CAMPAIGN PROGRAM FOR TREES ON PUBLIC LANDS

For the purposes of this report, public lands are considered as lands owned by any level of government as well as any Conservation Authority. The importance of identifying significant trees on public lands is to protect and maintain these assets for the future.

Creation of a List

As indicated previously, the subcommittee developed a criteria system to rate trees based on their physiological characteristics, history and prominence. A preliminary list of approximately 50 trees was created by Forestry staff in conjunction with the Heritage Tree Proposals Report. Further development of a list does not require amendments to City By-laws or to the City's Official Plan. It can be initiated by using existing staff resources to evaluate and classify significant trees on public lands. Such a list would be developed for use by City, Credit Valley Conservation (CVC), and Toronto Region Conservation Authority (TRCA) staff.

Regulation of Trees

Trees on public lands are exempt from the Tree Permit By-law 474-05. Development on public lands can include new buildings, infrastructure projects, park development, and/or transportation facilities. Trees on public lands adjacent to development on private lands can also be impacted by construction. Currently, Urban Forestry

liaises with residents, developers, and builders as well as City departments, and associated agencies on a site by site basis to promote the protection and preservation of significant trees.

Awareness of Trees

With respect to awareness measures, there is no City program that focuses on individual trees; however the City has initiatives for raising awareness of conservation and environmental measures in natural areas (i.e. Natural Area Survey and community group plantings). An awareness program for individual trees as outlined in the subcommittee's report entails brochures promoting the program, web site, walking tours, plaques, signs, letter of recognition and special events.

As will be outlined in the upcoming budget section of this report, the mandate for a Tree Recognition Program, if it is to proceed, is to implement the program with minimal costs and to maintain existing service levels. This could be achieved by implementing an awareness program that is web based. For example, articles outlining the importance of significant trees can be posted on the Urban Forestry webpage.

Departmental Recommendation: Formalize a list and mapping to identify significant trees on public lands. Staff will continue to liaise with residents, developers, builders, City departments and other agencies to promote the protection and preservation of significant trees on public lands. A web based awareness program can be initiated using existing resources.

4. IF THE PROGRAM IS SUCCESSFUL ON PUBLIC LANDS, CONSIDER A PROGRAM TO REVIEW THE CREATION OF A LIST, REGULATION AND AWARENESS CAMPAIGN PROGRAM FOR TREES ON PRIVATE LANDS

For the purposes of this report, private lands are considered as those privately owned lands zoned commercial, industrial or residential. The importance of identifying significant trees on private lands is to encourage owners to protect and maintain these assets for the future.

Creation of a List

The development of a list of significant trees on private lands would use the same criteria as for trees located on public lands. However, permission of the private property owner would be required in order to include their tree on a list. If a list was to apply to private trees, a policy would also be required to determine what the level of protection should be when development occurs that could impact an identified tree. It could be as simple as stating that attempts to retain the tree are to be pursued or as far reaching as regulating the protection of the tree through a bylaw.

Regulation of Trees

Trees on private lands are subject to the provisions of the Tree Permit By-law 474- 05. When consideration for the Tree Permit By-law was undertaken in 2001, there was a lack of public support for the regulation of single large trees due to the potential impact on property owner's rights. The Tree By-Law allows for up to four trees to be removed within one calendar year without a permit. As a result, individual trees are not protected under the Tree Permit By-law.

Currently, single significant trees at risk due to a development proposal are evaluated by City staff and mitigative measures are suggested to preserve the tree. However, as the City's Tree Permit By-law does not pertain to individual trees on private lands, the final decision to preserve a single significant tree rests with the property owner.

In order to regulate the protection of individual trees on private lands, an amendment to the Tree Permit By-law would be required. Official Plan policies may also be required.

Resident opinion does not seem to have changed since the implementation of the Tree Permit By-law in 2001. If there is no support to preserve individual significant trees on private lands through an amendment to the Tree Permit By-law, there is little merit in creating a list to identify them.

Creation of an Awareness Program

A campaign to educate the public about the urban forest should be broad enough to demonstrate the importance of Trees of Significance regardless of their location on private or public lands. Such a program may eventually result in wider public support for the regulation of individual significant trees on private lands as well as the development of a list of Trees of Significance on private lands.

Departmental Recommendation: Given the current regulatory framework, there is merit in establishing a Tree Recognition Program on public lands first and to consider expanding the program to private lands in the future in the event that there are amendments to the Tree By-law that regulate the protection of single, significant trees.

5. A SUBCOMMITTEE OF THE HERITAGE ADVISORY COMMITTEE WOULD BE RESPONSIBLE FOR THE TREE RECOGNITION PROGRAM

The role of the Heritage Advisory Committee (HAC) is to "assist municipal council on all matters relating to the legal designation and conservation of property of cultural heritage value or interest (Ontario Heritage Tool Kit)." HAC is therefore the appropriate forum for designating Heritage properties including those with trees of cultural heritage value. However, any matter outside of the designation process dealing with specific trees and their physiological value is beyond the scope of responsibility of HAC.

The majority of the trees that are recommended to be listed as "significant trees" will be based on their physiological characteristics. Evaluating these characteristics requires a background in arboriculture or the environment. If the list only involves public lands, then City Forestry and Environmental staff have the capability of assessing whether a tree merits placement on a list. Heritage staff can assist the Forestry and Environmental staff in this evaluation when trees are recommended for the list based on their history or prominence. Therefore if a Tree Recognition Program is recommended on public lands, it can be administered by the City staff. If the program expands to include trees on private lands, a committee of volunteers as recommended by the HAC subcommittee, could be formed to assist Urban Forestry.

Departmental Recommendation: Urban Forestry Staff will be responsible for the administration of a Tree Recognition Program on public lands.

6. ESTABLISH AN ACTION PLAN AND A BUDGET FOR THE TREE RECOGNITION PROGRAM

The proposal from the Heritage Tree Subcommittee to create a Tree Recognition Program has merit, specifically with regards to a program that identifies significant trees on public lands. Such a program will assist City staff in their efforts to protect the natural heritage and urban forest canopy of Mississauga.

Given current budgetary pressures, there is a mandate to implement a program with minimal cost that will maintain existing service levels. This can be achieved by using existing staff resources to establish an internal list for city use as well as an in house web based awareness program.

Departmental Recommendation: Using existing resources, Urban Forestry Staff will initiate a Tree Recognition Program that will consist of a list of "Trees of Significance" on public lands as well as a web based awareness program.

RECOMMENDATION FOR A TREE RECOGNITION PROGRAM

The overall goal of the HAC subcommittee to create a Tree Recognition Program has merit as such a program can assist the City of Mississauga in the protection and preservation of its natural heritage. As indicated above, each of the recommendations contained in the Heritage Tree Proposals Report needs to be evaluated in the context of the Ontario Heritage Act and City of Mississauga Regulatory Framework, the role and responsibilities of the HAC Advisory Committee, as well as City resources and current business practices. With this in mind, staff recommend that a Tree Recognition Program be implemented that focuses on the creation of a list of "Trees of Significance" on public lands. The Urban Forestry Section will be responsible for the creation and maintenance of the list as well as a web based awareness program that will promote the importance of "Trees of Significance" to the general public.

FINANCIAL IMPACT: The Tree Recognition Program will utilize existing resources so that there will be no financial impact.

CONCLUSION: The recommendations of the Heritage Tree Proposals Report have been fully considered in the context of the Ontario Heritage Act, responsibilities of the Heritage Advisory Committee as well as current practices of classifying trees. Under the current regulatory framework, there is merit in creating a list of significant trees on public lands. The Urban Forestry Section will establish a Tree Recognition Program using existing City resources for individual significant trees on public lands within the City of Mississauga for the purpose of identifying, protecting and preserving these trees.

ATTACHMENTS: Appendix 1: Heritage Tree Proposals Report
Appendix 2: Ontario Regulation 9/06 from the Ontario Heritage Act.



Paul A. Mitcham, P. Eng., MBA
Commissioner of Community Services

Prepared By: Jane Darragh, Planner, Community Services

**Corporate Services Department
Legislative Services Division
Office of the City Clerk**

**City of Mississauga
300 City Centre Drive
MISSISSAUGA ON L5B 3C1**

FAX: 905-615-4181
www.mississauga.ca



Appendix 2

Leading today for tomorrow

July 24, 2013

Sean Stuckless

Re: HAC Report 6-2013 – Participation Request, Heritage Tree Subcommittee

The Heritage Advisory Committee at its meeting on July 23, 2013 considered your correspondence dated July 9, 2013 regarding the above noted matter and recommended the following:

HAC-0069-2013

That the correspondence dated July 9, 2013 from Sean Stuckless, Ward 6 resident, entitled "Participation Request, Heritage Tree Subcommittee" be received and deferred until the Heritage Advisory Committee considers a Corporate Report in the fall of 2013 regarding the Heritage Tree Subcommittee's mandate and future, in accordance with By-law 0139-2013, A By-law to establish the Procedures of Council and its Committees and to Repeal By-law 421-03 and, specifically, Section 89 of the By-law entitled "Delegation to Staff during Summer and Election Recess."
(HAC-0069-2013)

This recommendation was approved by the Director, Culture Division on July 23, 2013, in accordance with By-law 0139-2013, A By-law to establish the Procedures of Council and its Committees and to Repeal By-law 421-03 and, specifically, Section 89 of the By-law entitled "Delegation to Staff during Summer and Election Recess."

Regards,

Julie J. Lavertu

Julie Lavertu, Legislative Coordinator
City of Mississauga
Legislative Services Division, Office of the City Clerk
905-615-3200, ext. 5471, Julie.Lavertu@mississauga.ca

cc (by email). Councillor George Carlson, Ward 11
Susan Burt, Director, Culture Division
Elaine Eigl, Heritage Coordinator
Paul Mitcham, Commissioner, Community Services
Laura Waidie, Heritage Coordinator
Andrew Whittemore, Manager, Culture and Heritage Planning
Michelle Walmsley, Chair, Heritage Tree Subcommittee



Corporate Report

Clerk's Files

Originator's
Files

Heritage Advisory Committee

NOV 19 2013

DATE: October 18, 2013

TO: Chair and Members of the Heritage Advisory Committee
Meeting Date: November 19, 2013

FROM: Paul A. Mitcham, P.Eng, MBA
Commissioner of Community Service

SUBJECT: **Request to Demolish a Heritage Listed Property**
4067 Mississauga Road
(Ward 8)

RECOMMENDATION: That the property at 4067 Mississauga Road, which is listed on the City's Heritage Register, is not worthy of heritage designation, and consequently, that the owner's request to demolish the structure proceed through the applicable process.

BACKGROUND: The subject property was Listed on the City's Heritage Register in 2005 as part of the Mississauga Road Scenic Route Cultural Landscape, noted for its historical origins and scenic quality as one of the oldest original roads within Mississauga.

The original Crown Grant for this property was awarded to Peter McDougall on May 1, 1833. The subject property eventually transferred to John Crozier by 1877. Since the early turn of the twentieth century, this land has been subdivided several times. The current structure on the subject property was constructed in approximately 1953 by David and Katherine Gillespie. It is a modest one and a half storey, Victory-style house, which was a common architectural design found in Canada from 1945 until 1960.

COMMENTS:

Section 27.3 of the *Ontario Heritage Act* states that structures or buildings on property listed on the City's Heritage Register cannot be removed or demolished without at least 60 days notice to Council. This legislation allows time for Council to review the property's cultural heritage value to determine if the property merits designation.

The property owner has submitted a Site Plan application SPI 13/088, for the purpose of removing an existing single detached dwelling and replacing it with new construction of a single detached dwelling. The applicant has provided a Heritage Impact Statement compiled by Owen Scott of CHC Ltd. (Appendix 1). It is the consultant's conclusion that the house at 4067 Mississauga Road is not worthy of heritage designation under Regulation 9/06 of the Ontario Heritage Act. Heritage staff has reviewed the finding of the Heritage Impact Statement and concurs with this opinion.

FINANCIAL IMPACT: There is no financial impact.

CONCLUSION:

The owner of 4067 Mississauga Road has requested permission to demolish a structure on a property that is listed within a Cultural Landscape on the City's Heritage Register. The subject property is not worthy of designation and the request for demolition should, therefore, be recommended for approval.

ATTACHMENTS:

Appendix 1: Heritage Impact Statement from CHC Ltd.



Paul A. Mitcham, P.Eng, MBA
Commissioner of Community Service

Prepared By: Laura Waldie, Heritage Coordinator

NOV 19 2013

MemorandumCommunity Services Department
Culture Division

TO: Chair and Members of the Heritage Advisory Committee

FROM: Laura Waldie, Heritage Coordinator

DATE: October 18, 2013

FILE: SPI 13/102

SUBJECT: **Heritage Impact Statement**
1370 Milton Ave (Ward 1)

The subject property is listed on the City's Heritage Register as it forms part of the Mineola West Neighbourhood Cultural Landscape. The Site Plan Application, SPI 13/102 proposes a partial second floor addition to the existing single family dwelling on this lot.

Because this property is Listed, and the addition increases the footprint of the property, a Heritage Impact Statement was required. Therefore, the Heritage Impact Statement attached is for your information only.

A handwritten signature in cursive script that reads "Laura Waldie".

Laura Waldie
Heritage Coordinator
Culture Division
905-615-3200, ext. 5366
laura.waldie@mississauga.ca

ATTACHMENTS: Appendix 1: Heritage Impact Statement by Ann Gillespie

NOV 19 2013

MemorandumCommunity Services Department
Culture Division

TO: Chair and Members of the Heritage Advisory Committee

FROM: Elaine Eigl, Heritage Coordinator

DATE: November 4, 2013

FILE: Meadowvale Village Heritage Conservation District

SUBJECT: **Municipal Water Servicing within the Willow Lane Right-of-Way (Ward 11)**

The City designated the subject property under Part V of the Ontario Heritage Act in 1980 as part of the Meadowvale Village Heritage Conservation District (HCD). The city's Heritage By-Law (215-07, amended by 384-09) defines an alteration as, amongst other things, any activity which disturbs the area.

The Region of Peel seeks to install a 50mm diameter watermain to service the residents of 1125, 1147 and 1155 Willow Lane. The installation shall occur within the existing road right-of-way and will be undertaken via trenchless methods due to the narrow road width and limited access for local residents. Further, because of the proximity of the historically significant mill race remnants immediately to the south-east of Willow Lane; their ecologically sensitive nature; and their high potential for archaeological significance, the contractor is required to ensure that excavation will not occur within softscaped areas. A Stage 1 Archaeological Assessment was undertaken and determined that no further investigation was required as the scope of the project will not impact any undisturbed lands with archaeological potential.

Construction of the watermain is estimated to take approximately one week.

Considering the Region's recommended mitigative measures, which will ensure the preservation of both the horizontal and vertical road alignment of the existing roadway, as well as the many mature trees and vegetation along the shoulders of Willow Lane, Heritage staff has no concerns with the work proposed.

Elaine Eigl
Heritage Coordinator
Culture Division
905-615-3200, Ext. 5070
Elaine.Eigl@Mississauga.ca

ATTACHMENTS: Appendix 1: Heritage Permit Application, Technical
Memorandum, engineering drawings and photo log.

Heritage Property Permit Application



The Corporation of the City of Mississauga
Community Services
Culture Division
201 City Centre Drive, Suite 202
Mississauga, ON L5B 2T4
FAX: 905-615-3828
www.mississauga.ca/heritageplanning

Personal information collected on this form and other required documents is collected under the authority of the Ontario Heritage Act, s.33(1)(2) and s.42 (1.2.1, 2.2) and City of Mississauga Heritage By-law 215-07 as amended. The information will be used to process the application. Questions about the collection of this personal information should be directed to the Senior Heritage Coordinator, 201 City Centre Drive, Mississauga ON L5B 2T4, Telephone 905-615-3200 ext. 5386.

LOCATION DETAILS

(Please Print Clearly)

For Office Use Only:

Heritage Property Permit Number: _____

Will the Heritage Advisory Committee review be required? ☐ Yes ☐ No

Municipal Address: Willow Lane Road Right of Way, from Property # 1115 to 1155

Legal Address: Willow Lane

Property Owner: Region of Peel Contact Address: 10 Peel Centre Drive, Brampton Ontario L6T 4B9

Phone: 905-791-7800 ext. 7836 Fax: 905-791-1442 Email address: lyle.ledrew@peelregion.ca

HERITAGE DESIGNATION BY-LAW NUMBER (if applicable): _____

What type of Permit is Required?

Alteration or addition ☐ Yes ☒ No

Demolition ☐ Yes ☒ No

New Construction ☒ Yes ☐ No

Repeal of Designation By-law ☐ Yes ☒ No

Is there a corresponding application, such as:

a) Building permit number N/A

b) Site Plan application number N/A

c) Rezoning application number N/A

d) Other N/A

Description of Work to be Completed:

Please attach drawings, site plans, and photographs to better illustrate the project. These may be required depending on the scale of the project.

Refer to the attached technical memorandum for a description of proposed works; photos of existing conditions; and engineering drawings.

Name:

Lyle Ledrew
Please Print.

Date:

2013/10/28
YYYY / MM / DD

Signature (of property owner):

For information or assistance please contact "Heritage Planning, Community Services" at 905-615-3200 ext. 5070 or ext. 5366



AECOM
3 - 30 Hannover Drive
St. Catharines, ON, Canada L2W 0A1
www.aecom.com

905 682 0212 tel
905 682 4495 fax

October 28, 2013

Elaine Eigl
Heritage Coordinator
City of Mississauga, Community Services
201 City Centre Drive, 2nd Floor
Mississauga, Ontario L5B 2T4

Project No: 60119706

**Regarding: Region of Peel, Municipal Water Servicing for Willow Lane:
Heritage Permit Application**

Dear Ms. Eigl:

As you are aware, the Region of Peel has completed its design for the new 50mm diameter watermain that will be constructed along Willow Lane to service properties 1125, 1147 and 1155. As per your October 18, 2013 email requesting additional information, please find enclosed the following:

- **Signed Heritage Property Permit Application** (we have assumed that the property owner is the Region, since the water system is under the Region's jurisdiction, and have included contact information for the Region's Project Manager, Lyle LeDrew);
- **A technical memorandum** describing the proposed works as well as a summary table of questions and responses;
- **Figure 2.4** illustrating the location of the new watermain and temporary pit locations;
- **Engineering drawings** of the proposed works; and
- **A photo log** illustrating existing condition.

Also enclosed is a copy of the Stage 1 Archaeological Assessment.

As per your phone conversation with Jessica Mollo, we have not included a signed statement from the Region authorizing this work as we assumed that the Heritage Permit Application covers this requirement.

With respect to your question regarding property owners and contractors, the property owner will be solely responsible for finding their own contractors for connection to the new watermain.



We trust that that attached information is satisfactory to the City. As the Region would like to commence construction within the next month, it would be appreciated if you could review this heritage application at your earliest convenience. If you have any questions or require additional information, please feel free to contact Jessica Mollo at 905-346-3742 or jessica.mollo@aecom.com. Alternatively you can contact myself at 905-346-3749 or neil.harvey@aecom.com.

Sincerely,
AECOM Canada Ltd.

A handwritten signature in dark ink, appearing to read "J. Neil Harvey", is written over a horizontal line.

J. Neil Harvey, P.Eng., PMP
Senior Project Manager

JM:nh
Encl.
cc:



AECOM

3 - 30 Hannover Drive
St. Catharines, ON, Canada L2W 0A1
www.aecom.com

905 682 0212 tel
905 682 4495 fax

Memorandum

To	Elaine Eigl, City of Mississauga	Page 1
cc	Lyle LeDrew, Region of Peel	
Subject	Region of Peel, Municipal Water Servicing for Willow Lane: Description of Proposed Works	
From	Neil Harvey & Jessica Mollo	
Date	October 28, 2013	Project Number 60119706

The following memo outlines the proposed works for the construction of the new Willow Lane 50mm diameter watermain and a summary table of questions and responses.

Description of Proposed Works

The proposed 50mm diameter watermain to service the residents at 1125, 1147 and 1155 Willow Lane will be constructed via trenchless methods due to the narrow road width and limited access for local residents. The watermain shall be installed using horizontal direction drilling (HDD) within the existing road right of way. The proposed construction sequencing involves drilling from the west end (1155 Willow Lane) to the east end connection point at 1115 Willow Lane and pulling the high-density polyethylene (HDPE) watermain back through the drilled path. Two shafts will be required at the entrance and exit locations of the connection points and will be approximately 1.5m x 1.5m, both located within the existing road right of way. The tie in connection shall be made to the existing copper or polyethylene (contractor to confirm) 50mm diameter watermain, which is located 1.7m below grade. Once the main pipe is installed, a flushing station will be placed at the west end of the watermain and the service connections will be made. Two additional shafts will be required to connect water services to the proposed 50mm diameter watermain at 1147 and 1125 Willow Lane. The contractor shall ensure that excavation will not occur within softscaped areas. Areas to be impacted will only occur to hardscaped areas, within the existing road right of way. The contractor shall make good any damages incurred as a result of the watermain and water service installations.

Construction of this watermain is estimated to be approximately 1 week. To address construction related vibration impacts in nearby buildings, pre-construction surveys will be completed prior to construction. It should be noted that the method of construction using HDD is a mitigation to vibration. The surveys will document existing building conditions, as well as identify sensitive structures to be considered during construction.

Refer to the enclosed engineering drawings illustrating the proposed works and Figure 2.4 for the location of the proposed works. Also enclosed is a photo log (photos taken in May 2013) of existing conditions.

Summary of Questions and Responses

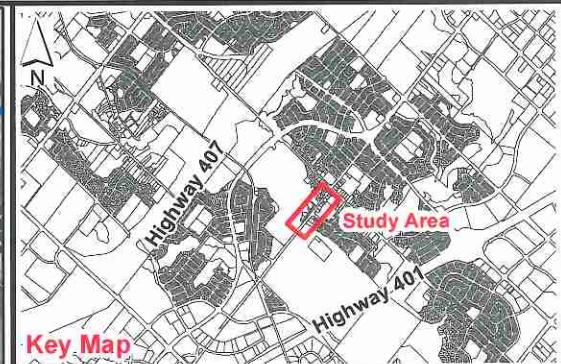
The following table summarizes City of Mississauga questions and AECOM's responses.



City of Mississauga Question	AECOM Response
1. Specifically, when work is completed will the road surface be returned to the same surface that currently exists?	Yes, the road surface will be returned to the same surface that currently exists.
2. Will the roadway be widened in any way?	No, the Region is not widening the road.
3. Will any heavy equipment encroach into the mill race to the south of the ROW?	No, all works are to take place within the existing right of way.
4. Has the CVC been contacted to determine if there are any species at risk within the immediate area (I understand that there is a turtle population in the mill race area)?	Yes, the Region and AECOM has met with CVC to discuss this project. They did not identify any species at risk within the immediate area. AECOM ecological and aquatic staff completed field investigations and have confirmed that there are no species at risk. An application was submitted to CVC on October 7, 2013.
5. What vegetation will be impacted during the proposed work?	No vegetation is expected to be impacted.
6. Is there a plan in place to replace any vegetation that is negatively impacted?	Yes, although no vegetation is expected to be impacted during construction, the following mitigation measures have been added to the tender documents: <ul style="list-style-type: none"> Any vegetation removal that may be required should not occur during the breeding bird season. This will be achieved by a fall construction schedule; Any removals should be kept to a minimum and within the road right of way; Re-vegetation of areas disturbed during construction should be completed promptly; and Native species which are typically associated with the vegetation communities within the study area should be utilized in re-vegetation plans where feasible.
7. Can you clarify what impacts, if any, there will be to the heritage structures during the installation of the service connection between the buildings and the main pipe?	Based on our review of the Meadowvale Village Heritage Conservation District-List of Properties Information, provided to us from the City, any features that were mentioned (e.g., Prebble Bridge abutments, etc.) were identified on the south side of Willow Lane. The Region is only installing service connections on the north side of Willow Lane to the property line. The homeowner is responsible for connection to their homes.
8. Is it possible to get copies of any existing building condition reports created during the pre-construction survey phase?	Yes, the contractor will be responsible for this. Once they are complete the Region will provide these to you.
9. Yes please, a copy of the Stage 1 Archaeological Assessment would be appreciated.	We will forward a copy to you as soon as it is finalized.

In Closing...

We trust that the above and enclosed information is satisfactory to the City. Should you require any additional information, feel free to contact us.



Municipal Water Servicing for Willow Lane Option 4

Legend

- Existing Water Distribution System
- Existing Water Service (Approximate)
- Culvert
- Address
- - - Proposed 50mm Watermain (Trenchless)
- Temporary Pit

0 15 30 60
Meters

November, 2012

Figure 2.4

AECOM



Photograph 1. ↑
Looking west on Willow Lane



Photograph 2. ↑
Looking west, in front of 1115 Willow Lane.



Photograph 3. ↑
Looking west on Willow Lane.



Photograph 4. ↑
Looking west on Willow Lane.



Photograph 5. ↑
Looking west on Willow Lane.



Photograph 6. ↑
Looking west at Willow Lane dead end (1155 Willow Lane on the north side).

NOV 19 2013

**Memorandum**Community Services Department
Culture Division

TO: Chair and Members of the Heritage Advisory Committee

FROM: Elaine Eigl, Heritage Coordinator

DATE: November 5, 2013

FILE: Meadowvale Village Heritage Conservation District

SUBJECT: 2013 Cultural Heritage Property Award of Excellence expenditure

The Heritage Advisory Committee has an annual operating budget maintained through the Office of the City Clerk. This is to advise the committee that for the 2013 Cultural Heritage Property Award of Excellence an estimated expenditure of \$70.00 is anticipated.

Approval for funding for the project is requested so that this Heritage Advisory Committee awareness program, launched in 2009, may continue in 2013.

Regards,

Elaine Eigl
Heritage Coordinator
Culture Division
905-615-3200, Ext. 5070
Elaine.Eigl@Mississauga.ca

Memorandum



Heritage Advisory Committee

NOV 19 2013

DATE: November 12, 2013

TO: Chair and Members of the Heritage Advisory Committee

RE: Heritage Advisory Committee's Budget and Spending History
Clerk's File Number: MG.07

This Memorandum responds to the first item on the Committee's Status of Outstanding Issues Chart (see Item 8 on the Committee's agenda for November 19, 2013) and is being provided to the Committee at this time because the City Committees of Council Structure Review has been completed.

A. Background Information Regarding Committee's Budget-Related Information Request and Recommendation

During its meeting on April 26, 2011, the Committee made the following recommendation which was approved by General Committee on May 4, 2011 and subsequently adopted by City Council on May 11, 2011:

HAC-0023-2011

That the Legislative Coordinator for the Heritage Advisory Committee, in consultation with the Director of Arts and Culture, prepare a Memorandum for the Heritage Advisory Committee's May 24, 2011 meeting regarding the Heritage Advisory Committee's draft 2011 budget and include information about budget allocations for the City of Mississauga's other Advisory Committees of Council and the Heritage Advisory Committee's budget and spending history.

The Committee considered a Memorandum regarding its draft 2011 budget and information about budget allocations for the City of Mississauga's other Advisory Committees of Council during its meeting on May 24, 2011 (attached as Appendix 1). This Memorandum addresses the last part of the above-noted recommendation regarding the Committee's budget and spending history (attached as Appendix 2).

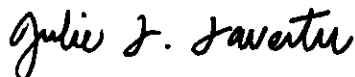
B. Upcoming Changes to Committee Budgets from the City Committees of Council Structure Review

Please note that, during its meeting on April 10, 2013, City Council approved changes to Committee budgets as part of the City Committees of Council Structure Review and

directed that these changes be implemented for the next term of Council (2015-2018). Specifically, Part 2I. of General Committee Recommendation GC-0187-2013 states:

- I. That the Clerk's Office work with the Finance division to redefine the budgetary processes and accounting associated with the running of the Committees of Council by:
 - a. Creating a single operating budget account that supports all typical annual expenditures for the Committees of Council including a policy outlining approved expenditures.
 - b. Developing a system by which Committees of Council can receive Council-approved project funding in stand-alone capital accounts.

Sincerely,



Julie Lavertu
Legislative Coordinator
Legislative Services Division
905-615-3200, ext. 5471
Julie.Lavertu@mississauga.ca

Encl.

ATTACHMENTS:

Appendix 1: Memorandum dated May 17, 2011 from Julie Lavertu, Legislative Coordinator, entitled "Heritage Advisory Committee's 2011 Budget, Clerk's File Number: MG.07."

Appendix 2: Heritage Advisory Committee's Budget and Spending History, 2010-2013.

Memorandum



Heritage Advisory Committee
MAY 24 2011

APPENDIX 1

DATE: May 17, 2011

TO: Chair and Members of the Heritage Advisory Committee

RE: Heritage Advisory Committee's 2011 Budget
Clerk's File Number: MG.07

During the Heritage Advisory Committee's meeting on April 26, 2011, the Committee made the following recommendation:

HAC-0023-2011

That the Legislative Coordinator for the Heritage Advisory Committee, in consultation with the Director of Arts and Culture, prepare a Memorandum for the Heritage Advisory Committee's May 24, 2011 meeting regarding the Heritage Advisory Committee's draft 2011 budget and include information about budget allocations for the City of Mississauga's other Advisory Committees of Council and the Heritage Advisory Committee's budget and spending history.

Please find attached, for your information, the Heritage Advisory Committee's actual and potential expenditures for 2011 and the budgets for other Advisory Committees of Council.

As part of the Office of the City Clerk's 2011 Workplan, an overall review will be undertaken of the budgets for the City of Mississauga's Advisory Committees of Council. As such, I will provide the Committee with a Memorandum regarding the Heritage Advisory Committee's budget and spending history once this overall review has been completed.

Sincerely,

Julie Lavertu
Legislative Coordinator
Legislative Services Division
905-615-3200, Ext. 5471
Julie.Lavertu@mississauga.ca

Encl.

**HERITAGE ADVISORY COMMITTEE
ACTUAL EXPENDITURES 2011 - UPDATED ON May 17, 2011**

FOR DISCUSSION PURPOSES ONLY

HAC BUDGET 2011	\$	4,900.00
Requested Additional Funds HAC-0010-2010	\$	5,110.00
TOTAL BUDGET	\$	10,010.00

Membership/Dues

\$ -

Subtotal

Conferences

Heritage Mississauga's 2011 Heritage Awards (1)	25.00	
Does Designation Work? Heritage Symposium (1)	284.08	

Subtotal **\$ 309.08**

Mileage

April 26, 2011 HAC Meeting Site Visits	22.72	
--	-------	--

Subtotal **\$ 22.72**

Committee Awareness

Cultural Heritage Property Award of Excellence Program	317.00	
--	--------	--

Subtotal **\$ 317.00**

TOTAL **\$ 648.80**

**HERITAGE ADVISORY COMMITTEE
POTENTIAL EXPENDITURES 2011 - UPDATED ON May 17, 2011**

FOR DISCUSSION PURPOSES ONLY

HAC BUDGET 2011	\$ 4,900.00
Requested Additional Funds HAC-0010-2010	\$ 5,110.00
TOTAL BUDGET	\$ 10,010.00

Membership/Dues

Annual Community Heritage Ontario

125.00

Subtotal

\$ 125.00

Conferences

Ontario Conference (2 with lodging, mileage, per diem)

1,600.00

Architectural Styles Workshop (2)

375.00

Heritage Toronto Event (12)

1,400.00

Mississauga (sic.) Golf and Country Club Site Visit

150.00

Subtotal

\$ 3,525.00

Mileage

Citizen Member Mileage for site visits (10 Citizen Members
@\$15/mtg @ 7mtgs/year)

1,050.00

Subtotal

\$ 1,050.00

Committee Awareness

Heritage 4 Lecture (2) (6/yr @ \$150/4 groups)

300.00

Annual Peel Joint Heritage Meeting (4 groups rotation)

1,000.00

Subtotal

\$ 1,300.00

TOTAL

\$ 6,000.00

*All potential costs are estimates

As amended at HAC Feb 23/10 HAC-0010-2010

ADVISORY COMMITTEES OF COUNCIL
2011 ANNUAL ALLOTTED BUDGET

COMMITTEE	2011 ANNUAL ALLOTTED BUDGET*
Accessibility Advisory Committee	\$4,900
Environmental Advisory Committee	0
Heritage Advisory Committee	\$10,010
Mississauga Celebration Square Events Committee	0
Mississauga Cycling Advisory Committee	\$9,000
Museums of Mississauga Advisory Committee	0
Public Vehicle Advisory Committee	0
Road Safety Mississauga Advisory Committee	\$40,000
Tow Truck Advisory Committee	0
Traffic Safety Council	\$50,000

* Committee expenditures with no allotted budget are funded by departmental operations.

Appendix 2:
Heritage Advisory Committee's Budget and Spending History, 2010-2013

Year	Budget Total	Budget Spent	Detailed Breakdown of Expenditures Incurred
2013	\$9,400	\$86.40*	<ul style="list-style-type: none"> ➤ \$65.88 for mileage costs for Citizen Members to conduct site visits for properties on agendas ➤ \$20.52 for refreshments for a Heritage Designation Subcommittee meeting
2012	\$9,400	\$2,803.64	<ul style="list-style-type: none"> ➤ \$99 for the Committee's annual Community Heritage Ontario membership ➤ \$1,126.86 for conferences and events ➤ \$155.98 for mileage costs for Citizen Members to conduct site visits for properties on agendas and parking reimbursement for Citizen Member ➤ \$1,421.80 for the Committee's orientation session and site visit at the Mississauga (sic.) Golf and Country Club (facility rental costs and refreshments), honorarium for the Heritage Speakers Series, work by the City's Creative Services staff for the Cultural Heritage Property Awards of Excellence Program certificates, and speaker fee, facility rental costs, and refreshments for the Wood Window Restoration Workshop hosted by the Committee
2011	\$10,000	\$2,660.79	<ul style="list-style-type: none"> ➤ \$99 for the Committee's annual Community Heritage Ontario membership ➤ \$1,777.86 for conferences and events ➤ \$160.85 for mileage costs for Citizen Members to conduct site visits for properties on agendas ➤ \$623.08 for work by the City's Creative Services staff for the Cultural Heritage Property Awards of Excellence Program certificates and web banner
2010	\$10,000	\$6,492.86	<ul style="list-style-type: none"> ➤ \$78 for the Committee's annual Community Heritage Ontario membership ➤ \$150 for honorarium for the Heritage Speakers Series ➤ \$1,719.24 for conferences and events ➤ \$4,153.03 for the Committee's portable display ➤ \$392.59 for the Joint Peel Heritage Committees Conference hosted by the City

* Please note that this figure does not include the following three expenditures totalling approximately \$777 which have not yet been formally incurred on the Committee's 2013 budget, namely:

- 1) Tickets to Heritage Mississauga's "The Credits": Heritage Mississauga Awards (up to \$585) which was considered by the Committee during its meeting on October 22, 2013;
- 2) Work by the City's Creative Services staff on the Cultural Heritage Property Awards of Excellence Program certificates (approximately \$70) which will be considered by the Committee during its meeting on November 19, 2013; and
- 3) The Committee's annual Community Heritage Ontario membership (approximately \$122).

STATUS OF OUTSTANDING ISSUES FROM THE HERITAGE ADVISORY COMMITTEE
Prepared by Julie Lavertu, Legislative Coordinator, for the November 19, 2013 Heritage Advisory Committee Agenda

Property Name, Address or Issue	Property Address	HAC Recommendation (if passed)	Latest Status
Heritage Advisory Committee's Budget	N/A	HAC-0023-2011	<p>That the Legislative Coordinator for the Heritage Advisory Committee, in consultation with the Director of Arts and Culture, prepare a Memorandum for the Heritage Advisory Committee's May 24, 2011 meeting regarding the Heritage Advisory Committee's draft 2011 budget and include information about budget allocations for the City of Mississauga's other Advisory Committees of Council and the Heritage Advisory Committee's budget and spending history.</p> <p><i>Information regarding the Committee's budget and spending history will be provided to the Committee after the completion of the City Council Committee Structure Review in 2013.</i></p> <p>UPDATE: Please refer to Item 7 on the Heritage Advisory Committee's November 19, 2013 agenda.</p>
Heritage Tree Subcommittee	N/A	HAC-0069-2013	<p>That the correspondence dated July 9, 2013 from Sean Stuckless, Ward 6 resident, entitled "Participation Request, Heritage Tree Subcommittee" be received and deferred until the Heritage Advisory Committee considers a Corporate Report in the fall of 2013 regarding the Heritage Tree Subcommittee's mandate and future, in accordance with By-law 0139-2013, A By-law to establish the Procedures of Council and its Committees and to Repeal By-law 421-03 and, specifically, Section 89 of the By-law entitled "Delegation to Staff during Summer and Election Recess."</p> <p>UPDATE: Please refer to Item 2 on the Heritage Advisory Committee's November 19, 2013 agenda.</p>

Property Name, Address or Issue	Property Address	HAC Recommendation (if passed)	Latest Status
N/A	3650 Eglinton Avenue West	HAC-0087-2013	That the request to demolish the heritage listed property located at 3650 Eglinton Avenue West be deferred until the property owners and/or his agents submit a detailed Site Plan to Heritage staff for consideration at a future Heritage Advisory Committee meeting.
Clarkson General Store and William Clarkson House	1130-1132 Clarkson Road North and 1140 Clarkson Road North, respectively	HAC-0103-2013	That Heritage staff prepare a Cultural Heritage Assessment to designate the Clarkson General Store and William Clarkson House properties located at 1130-1132 and 1140 Clarkson Road North, respectively, for consideration at a future Heritage Advisory Committee meeting once the ownership of the properties has been determined by the judicial system.

NOV 19 2013

**Ministry of Citizenship
and Immigration****Minister**

6th Floor
400 University Avenue
Toronto ON M7A 2R9
Tel.: (416) 325-6200
Fax: (416) 325-6195

**Ministère des Affaires civiles
et de l'immigration****Ministre**

6^e étage
400, avenue University
Toronto ON M7A 2R9
Tél. : (416) 325-6200
Télééc. : (416) 325-6195



November, 2013

Dear friends,

I am pleased to invite your organization to participate in the 2014 Volunteer Service Awards program. The VSA ceremonies have become a long-standing tradition in Ontario.

Volunteering is the most fundamental act of citizenship in our society. Every day thousands of Ontarians of all ages voluntarily give their time and talent to thousands of community organizations. By caring and contributing their time, volunteers help hold our communities together.

The VSA program recognizes volunteers from all sectors for their continuous years of service in a community organization. It provides a way for your organization and the Ontario government to thank them in a meaningful way.

Once again, in recognition of the important role our youth play currently and in the future of volunteering, each organization may nominate up to 9 volunteers, 3 of whom must be youth. If all your nominees are adults, the number you may nominate remains at 6.

Please take this opportunity to nominate your volunteers and feel free to share this letter with other organizations that may be interested in recognizing their volunteers at a VSA ceremony. By submitting your nominations you can help ensure that your volunteers receive the recognition they deserve.

Nomination forms and program information are available on the Ministry of Citizenship and Immigration website at www.ontario.ca/honoursandawards

You may also contact the Ontario Honours and Awards Secretariat by phone at: 416-314-7526 or 1-877-832-8622; by TTY at 416-327-2391; or by fax at 416-314-7743

The deadline date for submissions is **January 25** of each year, but you may submit nomination forms at any time. Nominations received after the deadline will be considered for the following year.

I look forward to celebrating the achievements of Ontario's volunteers.

Sincerely,

A handwritten signature in dark ink, appearing to read "Michael Coteau".

Michael Coteau
Minister

**Cultural Landscape
Heritage Impact Statement**

Heritage Advisory Committee

NOV 19 2013

**4067 Mississauga Road
Mississauga, ON**



prepared by

CHC Ltd.

landscape architects, heritage planners
87 Liverpool Street, Guelph, ON N1H 2L2
(519) 824-3210
email oscott87@rogers.com

July 4, 2013

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Appendix 2	CHAIN of TITLE - PIN 13382-0415	
Appendix 3	<i>Cultural Landscape Inventory</i> excerpt: City of Mississauga	
Appendix 4	Qualifications of the author	

all photographs by Owen R. Scott of CHC Ltd., May 30, 2013 unless otherwise noted.

1.0 BACKGROUND - CULTURAL LANDSCAPE HERITAGE IMPACT STATEMENT (HIS)

This Heritage Impact Statement (HIS) follows the *City of Mississauga Cultural Heritage Landscape Heritage Impact Statement Terms of Reference*,¹ accessed from City's web site June 2013 (Appendix 1) and was prepared in response to a request from Mr. Jim Levac, Planner.

The property at 4067 Mississauga Road is within the Mississauga Road Scenic Route Cultural Landscape. It is not designated under Part IV of the *Ontario Heritage Act* and no adjacent properties are designated.² A single family house currently occupies the property. The City of Mississauga's *Cultural Landscape Heritage Impact Statement Terms of Reference*, specifically related to the *Mississauga Road Scenic Route F-TC-4* cultural landscape, are employed in the conduct of this HIS.

Figure 1 illustrates the location of the property and the Scenic Route Cultural Landscape in Mississauga. The Mississauga Road Scenic Route is one of the oldest roads in Mississauga, its alignment being curvilinear in the south following the west bank of the Credit River and its tributaries.

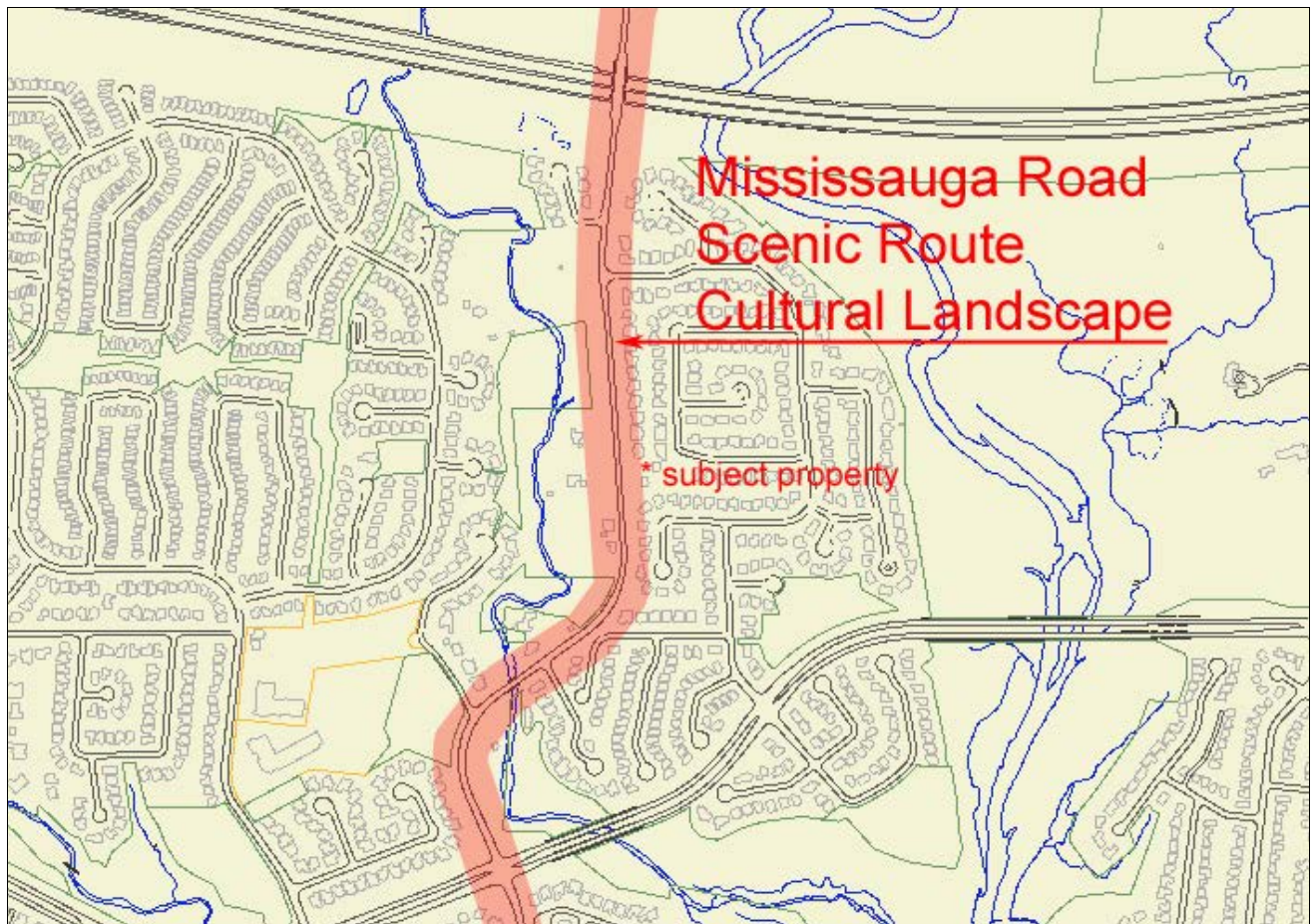


Figure 1

Mississauga Road Scenic Route Cultural Landscape & Subject Property location

<http://www.mississauga.ca/portal/services/property>

¹ *Cultural Heritage Landscape Heritage Impact Statement Terms of Reference*, Culture Division Community Services Department, City of Mississauga, accessed June 2013

² City of Mississauga heritage files - <http://www.mississauga.ca/portal/services/property>, accessed June 4, 2013

Figure 2 shows the location of the property within the Cultural Landscape.

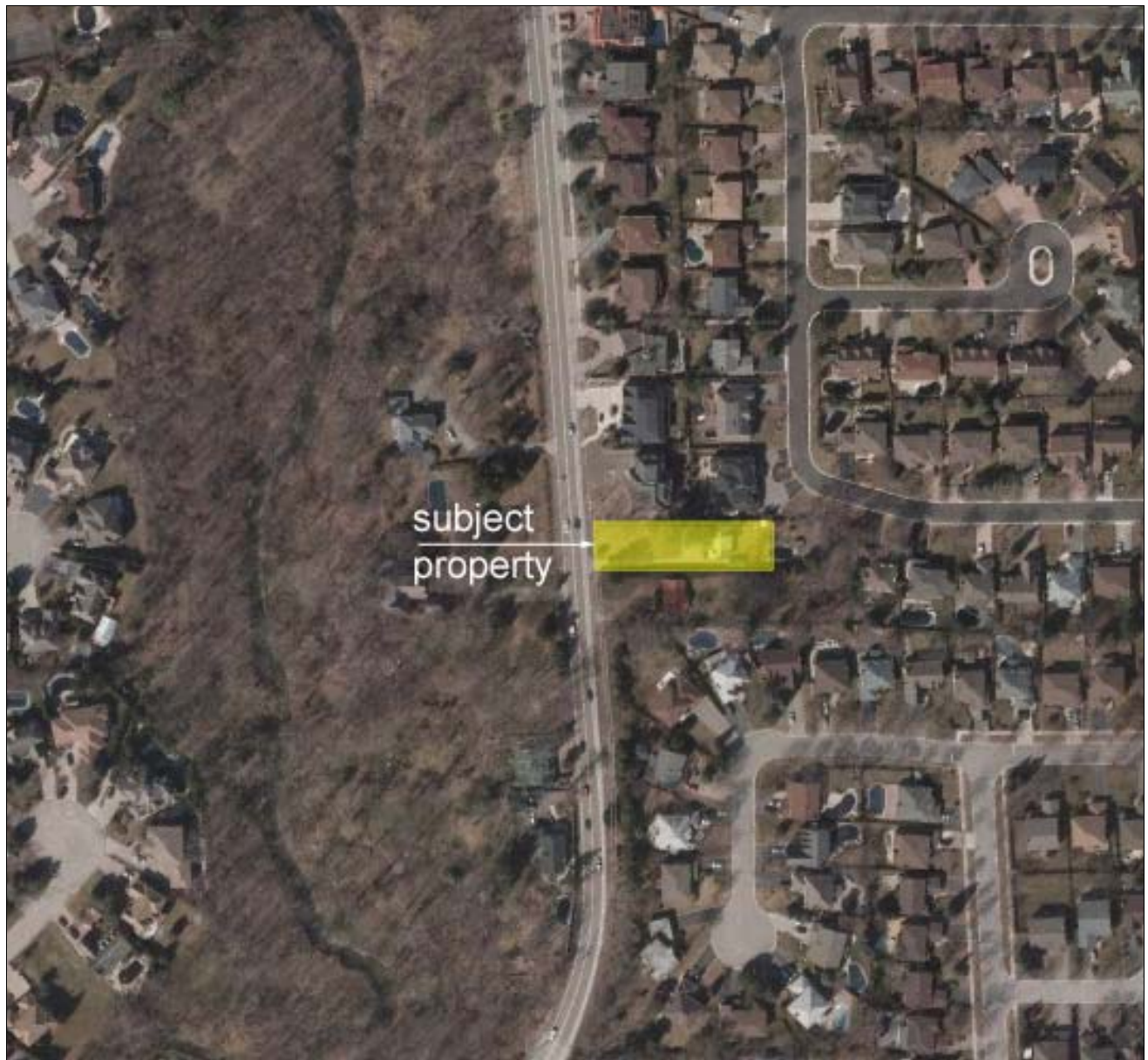


Figure 2

4067 Mississauga Road

<http://www.mississauga.ca/portal/services/property>

2.0 THE CULTURAL LANDSCAPE HERITAGE IMPACT STATEMENT

2.1 Property owner contact information

Manuel Fernandes and Maria da Cunha
c/o Jim Levac
Weston Consulting
201 Millway Ave., Suite 19, Vaughan, ON L4K 5K8
email: jlevac@westonconsulting.com

2.2 Property information

The property lies between Highway 403 and Burnhamthorpe Road (Figure 3).



Figure 3

property location <http://www.mississauga.ca/portal/services/property>

The subject lands are a small portion of Lot 3, 4th Range, North of Dundas Street, formerly in the Township of Toronto, County of Peel, now in the City of Mississauga, Region of Peel granted 1st of May 1833 by the Crown to Peter McDougall. Peter McDougall built an inn before 1840 at what is now 4034 Mississauga Road North. The building was rebuilt about 1860 after a fire (Figure 4). Acquired in 1865 by John C. Crozier who occupied the house until 1907. The family retained the house until 1936. It is designated under the Ontario Heritage Act.³

The original grant was subdivided into farms, with the subject property in 1858 becoming part of the lands shown in Figure 5 (from *Illustrated Historical Atlas of the County of Peel, 1877*). The 100 acre farm changed hands a number of times from 1858 through sometime in the early 20th



Figure 4

Crozier-McNicoll House,
Mississauga Library System

³ Mississauga Library System

[illegible]

Further subdivision of the lands led to lots of 1 to 3 acres being created, upon which single family homes were built. Historic air photos from 1944 through 2007 (Figures 7 through 12, source <http://www.mississauga.ca/portal/services/property>) show the progression of development surrounding the subject property. The subject property was likely created as a one acre lot in 1942 when it was sold to David and Katherine Gillespie for \$500 (Figure 6). It was further subdivided longitudinally to create its present configuration (highlighted on the historic air photos). The house on the subject property was likely built *circa* 1953 when a mortgage for \$6,000 was taken out by the Gillespies.

July 4, 2013

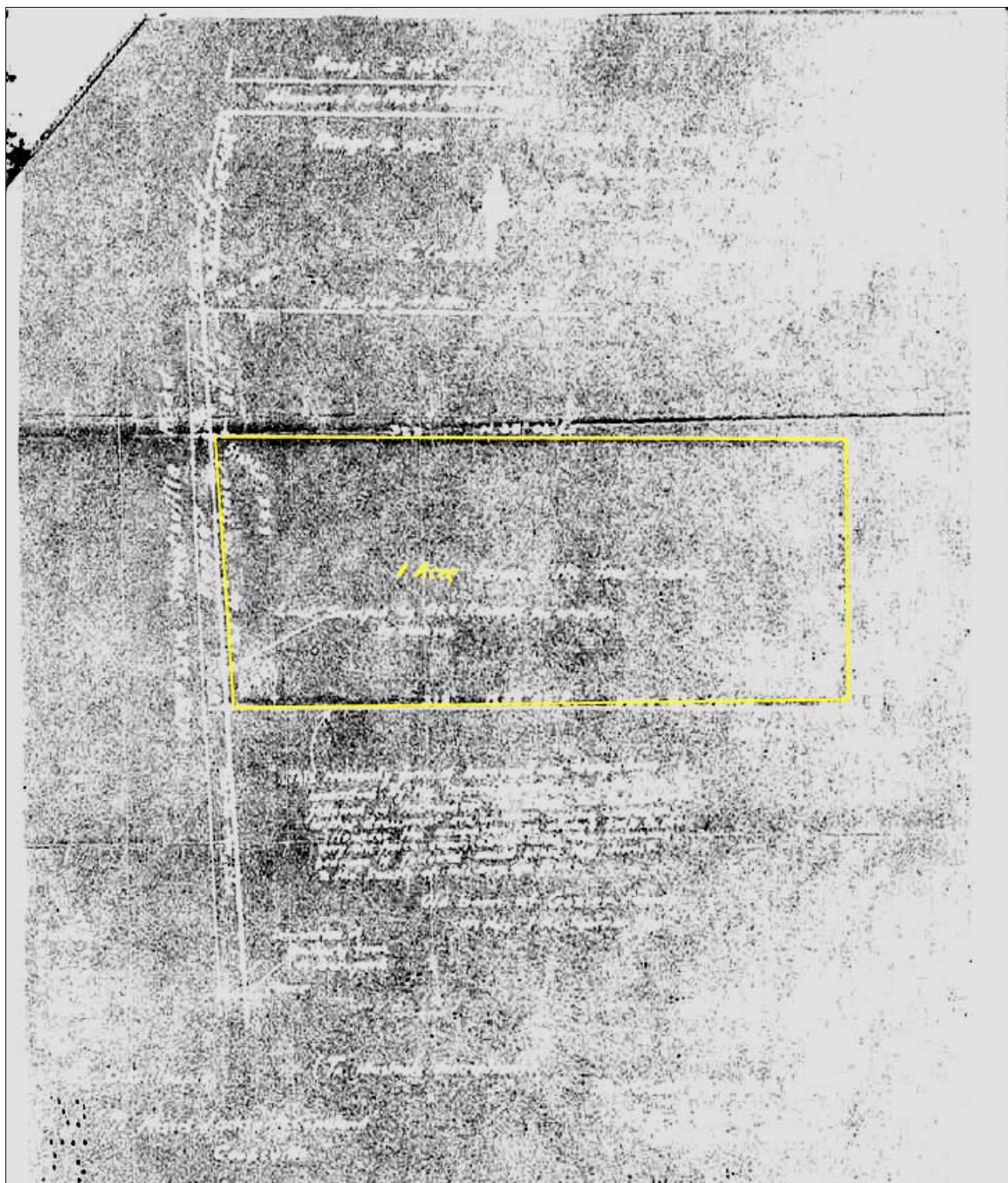


Figure 6 survey of D. Gillespie property by *Messrs. Jackson & Copeland, Cooksville*, September ??, 1942

Figure 6 shows the one acre lot created for David Gillespie in September 1942.



Figure 7

1944 aerial photo



Figure 8

1954 aerial photo

The 1944 aerial photograph (Figure 7) shows farm fields and forested creek/river valleys, with no buildings on the property; although, there appears to be tree planting surrounding the subject property and the lot to the south of it. By 1954, houses have been built on the subject property, the lots to the south and across Mississauga Road (Figure 8). The present-day road pattern is superimposed on the photos.



Figure 9

1966 aerial photo



Figure 10

1980 aerial photo

Agriculture remains the predominant land use in 1966 (Fig 9). By 1980, (Fig 10) the present-day subdivision roads have been rough graded and there is one more home to the north of the subject property on Mississauga Road.



Figure 11

1985 aerial photo

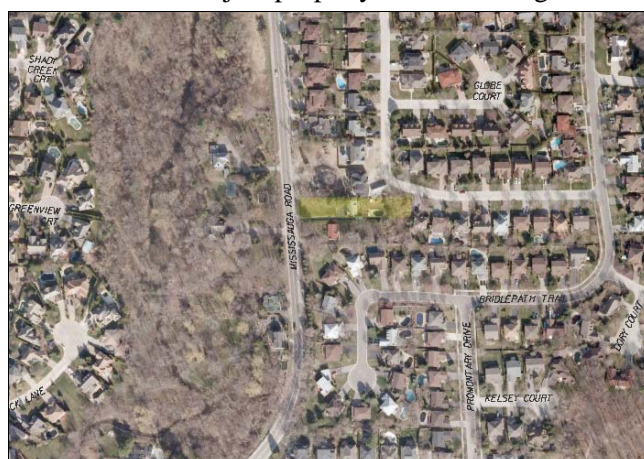


Figure 12

2007 aerial photo

In the intervening years between 1980 and 1985 the area, with the exception of the creek/river valleys was completely developed with housing, leaving the few original built lots on Mississauga Road, including the subject property. Little evidence of change can be seen between the 1985 and 2007 photos (Figures 11 and 12).

The current streetscape in the vicinity of the subject property on the east side of Mississauga Road is comprised of single family homes of the late 1980s to the present-day (Figures 13 to 19). The west side houses (Figures 21 and 22) are on larger lots, set well back from the street. Paddock Cres. houses (Fig. 20) are contemporary homes.



Figure 13 looking north from property on Mississauga Rd



Figure 14 looking south from property on Mississauga Rd



Figure 15 north on Mississauga Road



Figure 16 adjacent (north on Mississauga Road)

Adjacent and nearby homes on the east side of Mississauga Road are a mix of contemporary styles with fairly consistent setbacks (Figures 15 and 16). The adjacent lot to the south contains the only other *circa* 1950s house on this section of the street (Figures 17, 18 and 19). It is currently for sale for redevelopment.



Figure 17 adjacent (south) on Mississauga Road



Figure 18 4059 Mississauga Road - rear elevation



Figure 19 4059 Mississauga Road



Figure 20 adjacent (Paddock Crescent)

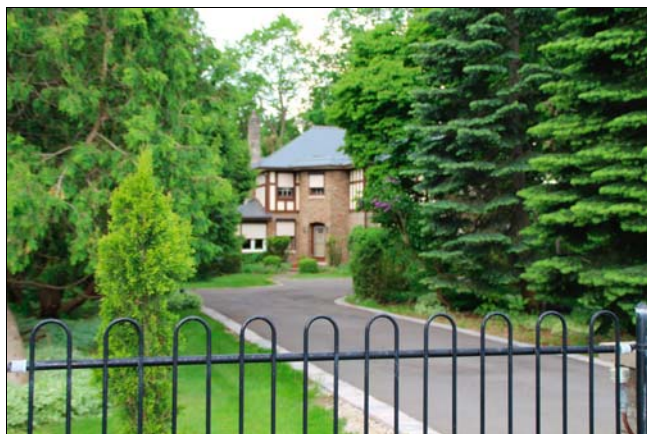


Figure 21 opposite (west side Mississauga Road)



Figure 22 opposite (west side Mississauga Road)

A *circa* 1953 house occupies the subject property. The house is typical of the period, commonly known as a

“Victory House”⁵. Victory houses were generally 1½ storey with a steep roof, and shallow eaves. This house has small gable dormers on the front which appear to be original, and a large shed dormer at the rear which may, or may not be a later addition. (Figures 23 - 29)



Figure 23

front (west) facade 4067 Mississauga Road

Windows have been replaced; sliding glass doors and a picture window have been added. Horizontal clapboard was the most common siding; this example has been replaced with aluminum siding, including soffits, troughs and downspouts. Narrow eaves with minimal overhang is also typical of the style and era. The rug brick chimney may be original. The foundation is parged concrete block.



Figure 24

rear (east) facade

⁵ www.ArchitectureOntario.com, accessed July 4, 2013



Figure 25

side elevation - south facade



Figure 26 front dormer detail



Figure 28 soffit & chimney detail



Figure 27 window well/foundation detail



Figure 29 foundation/corner detail

A topographic site plan illustrates the existing condition and proposed redevelopment at 4067 Mississauga Road. (Figure 30) The existing dwelling is set back some distance from the street, unlike the more contemporary houses adjacent. A row of mature maple, pine and spruce trees flanks the north property line. These are evident in the earliest aerial photographs and may pre-date the house at 4067 Mississauga Road. (Figure 31) Mature trees also line parts of the south property line, but are on the neighbouring property.



Figure 31 trees on north property line

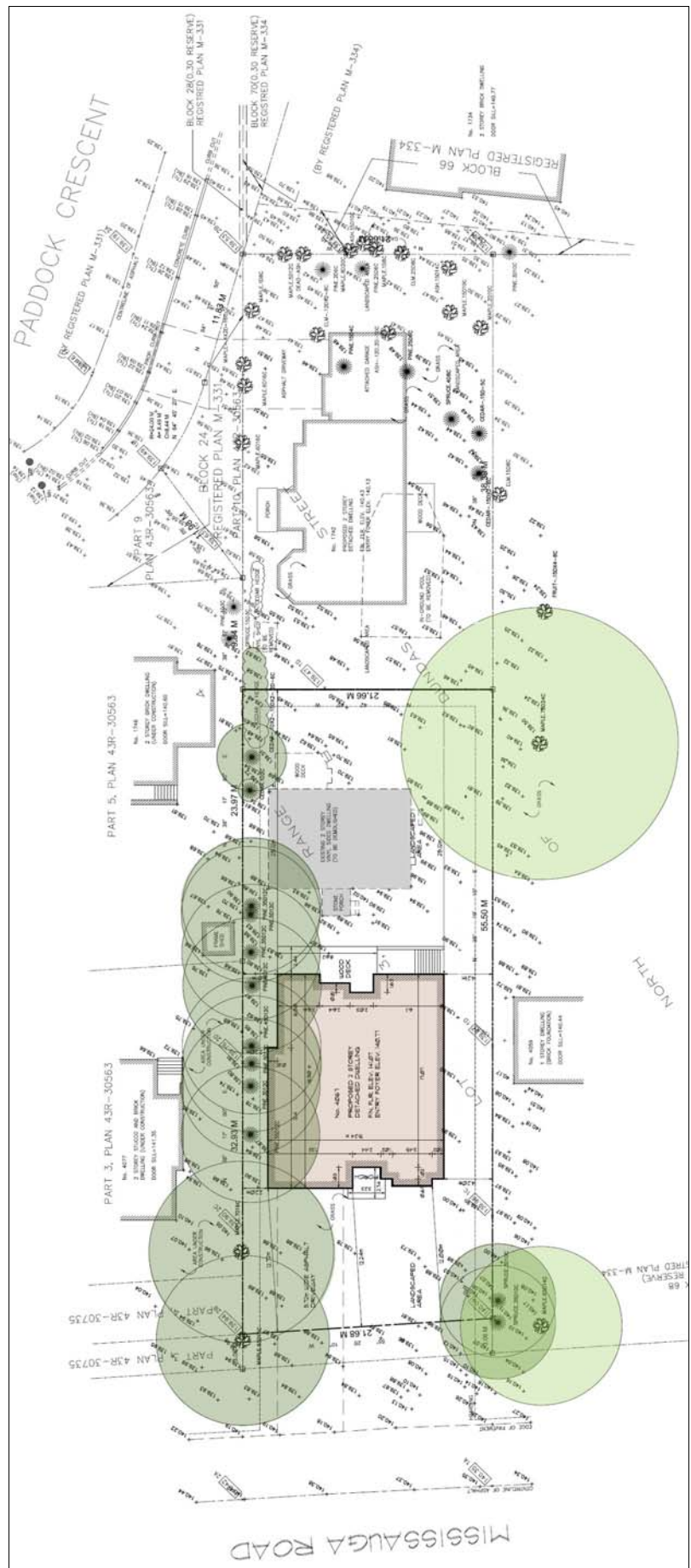


Figure 30

Site Plan

2.3 Addressing the Cultural Landscape criteria ⁶

Cultural Heritage Landscape Inventory Heritage Impact Statements must demonstrate how the proposed development will conserve the criteria that render it a cultural heritage landscape and / or feature. Each cultural heritage landscape and feature includes a checklist of criteria. The checked criteria for the Mississauga Road Scenic Landscape are:

LANDSCAPE ENVIRONMENT

- ☒ Scenic and Visual Quality
- ☒ Horticultural Interest
- ☒ Landscape Design, Type and Technological Interest

HISTORICAL ASSOCIATION

- ☒ Illustrates Style, Trend or Pattern
- ☒ Illustrates Important Phase in Mississauga's Social or Physical Development

BUILT ENVIRONMENT

- ☒ Aesthetic/Visual Quality

OTHER

- ☒ Historic or Archaeological Interest

To conserve the “landscape environment”, “historical association”, “built environment qualities” and “historic or archaeological interest” criteria, the proposed alteration must be consistent with the retention of the appearance of the streetscape to ensure that the character of the street remains intact. The scenic quality of Mississauga Road is notable because it traverses a variety of topography and varying land use. The adjacent landscapes are home to some of the oldest and most spectacular trees in the City. It is acknowledged as an important cultural landscape because of its role as a pioneer road and its scenic interest and quality.

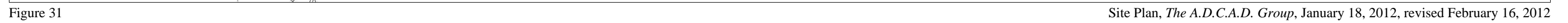
2.4 Proposed alterations

The project site is comprised of a double-deep lot which has been severed to provide frontage on Mississauga Road and Paddock Crescent respectively. The existing house is to be demolished and replaced with a contemporary home. A site plan and elevations of the proposed development are found in Figures 31 through 33. The proposed Site Plan (Figure 31) shows the house, its relationship to the street, and the existing trees to remain.

The brick and stone, 3-storey houses are substantial, with steeply pitched cedar-shingled roofs, articulated facades, multi-paned windows and tall chimneys. Although unique, they have similar characteristics as other larger homes on Mississauga Road.

The existing trees will be retained. The streetscape is to be enhanced by a landscape planting with the house set back from the street consistent with its neighbours

⁶ *Cultural Landscape Inventory, City of Mississauga, The Landplan Collaborative Ltd., January 2005*
http://www5.mississauga.ca/pdfs/Cultural_Landscape_Inventory_Jan05.pdf. accessed June 30, 2013



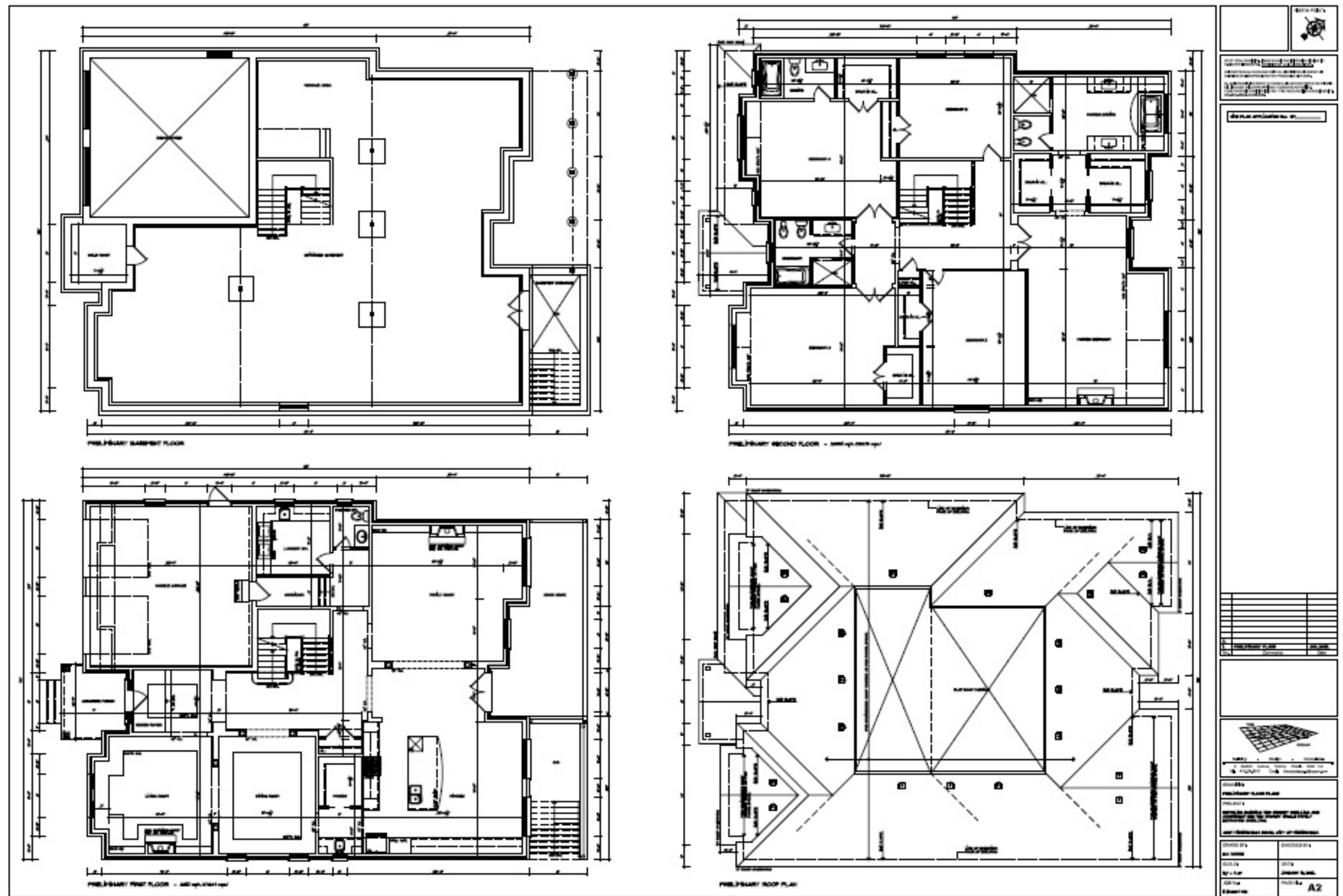


Figure 32

Floor Plans, *The A.D.C.A.D. Group*, January 18, 2012



Figure 33

Elevations, The A.D.C.A.D. Group, January 18, 2012

From a landscape perspective, the Mississauga Road streetscape will be altered by constructing the new home with a similar setback to those on the east side of the street. The existing mature vegetation along the north property line will be retained.

A plan view shows the relationship of the proposed house with its neighbours on the street (Figure 34). The proposed front yard setback is consistent with houses on the east side of the street. Further description as to how the proposed redevelopment affects the streetscape can be found in paragraph 2.5 - *Impact of development or site alteration*.



Figure 34

Proposed house superimposed on 2012 air photo
<http://www.mississauga.ca/portal/services/maps>

2.5 Impact of development or site alteration

Potential negative impacts and an assessment of the proposed site alteration development follows.

<i>Potential Negative Impact</i>	<i>Assessment</i>
<ul style="list-style-type: none"> • Destruction of any, or part of any, significant heritage attributes or features 	no impact
<ul style="list-style-type: none"> • Removal of natural heritage features, including trees 	no impact

<i>Potential Negative Impact</i>	<i>Assessment</i>
<ul style="list-style-type: none"> • Alteration that is not sympathetic, or is incompatible, with the historic fabric and appearance 	historic appearance of this site is a 1950s residence, one of only two remaining on the street in this area. New home will be more compatible with the streetscape.
<ul style="list-style-type: none"> • Shadows created that alter the appearance of a heritage attribute or change the viability of an associated natural feature, or plantings, such as a garden 	no impact expected
<ul style="list-style-type: none"> • Isolation of a heritage attribute from its surrounding environment, context or a significant relationship 	not applicable
<ul style="list-style-type: none"> • Direct or indirect obstruction of significant views or vistas within, from, or of built and natural features 	no impact expected
<ul style="list-style-type: none"> • A change in land use where the change in use negates the property's cultural heritage value 	not applicable
<ul style="list-style-type: none"> • Land disturbances such as change in grade that alter soils, and drainage patterns that adversely affect cultural heritage resources 	no impact expected

The impact of the proposed development / site alteration is a minor change to the view from Mississauga Road from a out-of-character home to a neighbourhood/streetscape compatible home.

2.6 Mitigating measures

Alternative methods to minimize the negative impact on the cultural landscape component (view of woodlot) include the following.

- *Alternative development approaches* - rather than redevelop this property, the existing house could be retained. Because the house is not of heritage significance and is out of character with its neighbours, it would appear to be appropriate to redevelop the property in a manner that is consistent with the character of the street.
- *Isolating development and site alteration from the significant built and natural heritage features and vistas* - the significance associated with this property is the streetscape comprised of contemporary houses and mature trees. Redevelopment will integrate, rather than isolate the property from its scenic environment.
- *Design guidelines that harmonize mass, setback, setting and materials* - the mass, setback, setting and materials of the proposed residence is in keeping with similar developments along the Mississauga Road scenic route.

The view of this property from Mississauga Road will be consistent with much of the Mississauga Road streetscape in this area of the cultural landscape (see Figures 13 - 22).

3.0 RECOMMENDATION

Section 2 of the *Planning Act* indicates that City of Mississauga Council shall have regard to matters of Provincial interest such as the conservation of features of significant architectural, cultural, historical, archaeological or scientific interest. In addition, Section 3 of the *Planning Act* requires that decisions of Council shall be consistent with the *Provincial Policy Statement* (PPS). Policy 2.6.1 of the PPS requires that significant built heritage resources and significant cultural heritage landscapes shall be conserved.⁷

The PPS defines “built heritage resource” as one or more significant buildings, structures, monuments, installations or remains associated with architectural, cultural, social, political economic or military history and identified as being important to a community. These resources may be identified through designation or heritage conservation easement under the *Ontario Heritage Act*, or listed by local provincial or federal Jurisdictions. The term “significant” means resources **valued for the important contribution they make to our understanding of the history of a place, an event, or a people**. “Conserved” means the identification, protection, use and/or management of cultural heritage and archaeological resources in such a way that their heritage values, attributes and integrity are retained. This may be addressed through a conservation plan or heritage impact assessment.

The property does not contain a built heritage resource that has cultural value and interest per the criteria for heritage designation under the Ontario Regulation 9/06 of the *Ontario Heritage Act*.

The terms of reference require the consultant to provide a recommendation as to whether the subject property is worthy of heritage designation in accordance with the heritage designation criteria per Regulation 9/06, *Ontario Heritage Act*. Should the consultant not support heritage designation then it must be clearly stated as to why the subject property does not meet the criteria as stated in Regulation 9/06. The following questions should be answered in the final recommendation of the report:

- Does the property meet the criteria for heritage designation under the Ontario Regulation 9/06, *Ontario Heritage Act*?

Ontario Regulation 9/06 states: A property may be designated under section 29 of the Act if it meets one or more of the following criteria for determining whether it is of cultural heritage value or interest:

1. *The property has design value or physical value because it,*
 - *is a rare, unique, representative or early example of a style, type, expression, material or construction method,*
 - *displays a high degree of craftsmanship or artistic merit, or*
 - *demonstrates a high degree of technical or scientific achievement.*
- *The property has historical value or associative value because it,*
 - *has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community,*
 - *yields, or has the potential to yield, information that contributes to an understanding of a community or culture, or*
 - *demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.*
- *The property has contextual value because it,*
 - *is important in defining, maintaining or supporting the character of an area,*

⁷ *Provincial Policy Statement (PPS, 2005) Cultural Heritage and Archaeology Policies 2.6, InfoSheet #5, Heritage Impact Assessments and Conservation Plans, Winter 2006*

- ☐ is physically, functionally, visually or historically linked to its surroundings, or
- ☐ is a landmark.

The property does not meet the criteria for heritage designation under the Ontario Regulation 9/06, *Ontario Heritage Act*.

2. *If the subject property does not meet the criteria for heritage designation then it must be clearly stated as to why it does not.*

The property does not contain a built cultural heritage resource. It is a component of the Mississauga Road cultural landscape.

3. *Regardless of the failure to meet criteria for heritage designation, does the property warrant conservation as per the definition in the Provincial Policy Statement.*

Conserved: means the identification, protection, use and/or management of cultural heritage and archaeological resources in such a way that their heritage values, attributes and integrity are retained. This may be addressed through a conservation plan or heritage impact assessment.

Mitigating measures to preserve the existing trees at the north property line and to landscape the Mississauga Road frontage will enhance the view from the road.

This cultural landscape heritage impact statement is respectfully submitted by:

CHC Limited



per: Owen R. Scott, OALA, FCSLA, CAHP

CITY OF MISSISSAUGA
HERITAGE IMPACT STATEMENT
TERMS OF REFERENCE

1. Background: The City Plan

The City's Official Plan introduces cultural heritage resources in the following manner:

Mississauga's cultural heritage resources reflect the social, cultural and ethnic heritage of the city and, as such, are imperative to conserve and protect. Cultural heritage resources are structures, sites, environments, artifacts and traditions that are of cultural, historical, architectural, or archaeological value, significance or interest.

In compliance with the City's policy 7.4.1.10, as stated below, the City of Mississauga is seeking to conserve, record, and protect its heritage resources:

Applications for development involving cultural heritage resources will be required to include a Heritage Impact Statement prepared to the satisfaction of the City and other appropriate authorities having jurisdiction.

A Heritage Impact Statement is a study to determine the impacts to known and potential heritage resources within a defined area proposed for future development. The study would include an inventory of all heritage resources within the planning application area. The study results in a report which identifies all known heritage resources, an evaluation of the significance of the resources, and makes recommendations toward mitigative measures that would minimize negative impacts to those resources. A Heritage Impact Statement may be required on a property which is listed on the City's Heritage Register, a property designated under the *Ontario Heritage Act*, or where development is proposed adjacent to a known heritage resource. The requirement may also apply to unknown or recorded heritage resources which are discovered during the development application stage or construction.¹

The City's Heritage Register includes properties that comprise cultural landscapes. Cultural landscapes include neighbourhoods, roadways and waterways. Individual properties within these landscapes may or may not have cultural heritage value independent of the landscape. Heritage Impact Statements are required to ascertain the property's cultural heritage value and to ensure that any development maintains the cultural landscape criteria, available at http://www5.mississauga.ca/pdfs/Cultural_Landscape_Inventory_Jan05.pdf.

To determine the specific heritage status of a particular property visit <http://www.mississauga.ca/portal/services/property>. Submit the desired address and click on the "Heritage" tab. Further information is available by clicking the underlined "INV#." This last tab explains the reason why the property is listed or designated.

2. Heritage Impact Statement Requirements

It is important to recognize the need for Heritage Impact Statements in the earliest possible stage of development or alteration. Notice will be given to the property owner and/or his representative as early as

¹ For the definition of "development," please refer to the Mississauga City Plan.

Mississauga Cultural Landscape Heritage Impact Statement Terms of Reference

possible. When the subject property is a Plan of Subdivision, or Site Plan application, notice of a Heritage Impact Statement requirement will be given at the preapplication meeting, followed by a written notification. The notice will inform the property owner of any known heritage resources specific to the subject property and provide a guideline to completing the study.

3. The following minimum requirements will be requested in a Heritage Impact Statement:

3.1 A detailed site history to include a listing of owners from the Land Registry Office, and a history of the site use(s). Please note: Heritage Impact Statements are published online on the City's Heritage Advisory Committee agenda. As such, personal information may be redacted to ensure that reports comply with the Freedom of Information and Protection of Privacy Act.

3.2 A complete listing and full written description of all existing structures, with specific mention of all heritage resources on the subject property to include: structures, buildings, building elements, building materials, architectural and interior finishes, natural heritage elements, landscaping, and archaeological resources. Description will also include a chronological history of the structure(s) developments, such as additions, deletions, conversions, etc. The report will include a clear statement of the conclusions regarding the significance and heritage attributes of the cultural heritage resource.

A location map will be provided, with indications of existing land use, zoning, as well as the zoning and land use of adjacent properties.

3.3 Documentation of the heritage resource will include current legible photographs, from each elevation, and/or measured drawings, floor plans, and a site map, at an appropriate scale for the given application (i.e. site plan as opposed to subdivision), indicating the context in which the heritage resource is situated. Also to include historical photos, drawings, or other archival material that may be available or relevant.

The applicant must provide a description of all relevant municipal or agency requirements which will be applied to the subject property, and when implemented may supplement, supersede and/or affect the conservation of heritage resources (i.e. Building Code requirements, Zoning requirements, Transportation and Works requirements.)

3.4 An outline of the proposed development, its context and how it will impact the heritage resource and neighbouring properties will be provided. This may include such issues as the pattern of lots, roadways, setbacks, massing, relationship to natural and built heritage features, recommended building materials, etc. The outline should address the influence of the development on the setting, character and use of lands on the subject property and adjacent lands.

Note: A drawing indicating the subject property streetscape and properties to either side of the subject lands will be provided. The purpose of this drawing is to provide a schematic view of how the new construction is oriented and integrates with the adjacent properties from a streetscape perspective. The drawing must therefore show, within the limits of defined property lines, an outline of the building mass of the subject property and the existing neighbouring properties, along with significant trees or any other landscape or landform features. A composite photograph may accomplish the same purpose with a schematic of the

Mississauga Cultural Landscape Heritage Impact Statement Terms of Reference

proposed building drawn in.

3.5 An assessment of alternative development options and mitigation measures that should be considered in order to avoid or limit the negative impact on the cultural heritage resources. Methods of minimizing or avoiding negative impact on a cultural heritage resource as stated in the Ontario Heritage Tool Kit (InfoSheet #5, Ministry of Culture) include, but are not limited to:

- Alternative development approaches
- Isolating development and site alteration from the significant built and natural heritage features and vistas
- Design guidelines that harmonize mass, setback, setting and materials
- Limiting height and density
- Allowing only compatible infill and additions
- Reversible alterations

3.6 A summary of conservation principles and how they will be used must be included. The conservation principles may be found in publications such as: Parks Canada – *Standards and Guidelines for the Conservation of Historic Places in Canada*; *Eight Guiding Principles in the Conservation of Historic Properties*, Ontario Ministry of Culture. (Both publications are available online.)

3.7 Proposed demolition/alterations must be explained as to the loss of cultural heritage value interests in the site and the impact on the streetscape and sense of place.

3.8 When a property cannot be conserved, alternatives will be considered for salvage mitigation. Only when other options can be demonstrated not to be viable will options such as relocation, ruinification, or symbolic conservation be considered.

Relocation of a heritage resource may indicate a move within or beyond the subject property. The appropriate context of the resource must be considered in relocation. Ruinification allows for the exterior only of a structure to be maintained on a site. Symbolic conservation refers to the recovery of unique heritage resources and incorporating those components into new development, or using a symbolic design method to depict a theme or remembrance of the past.

All recommendations shall be as specific as possible indicating the exact location of the preferred option, site plan, building elevations, materials, landscaping, and any impact on neighbouring properties, if relevant.

3.9 The qualifications and background of the person(s) completing the Heritage Impact Statement will be included in the report. The author(s) must demonstrate a level of professional understanding and competence in the heritage conservation field of study. The Statement will also include a reference for any literature cited, and a list of people contacted during the study and referenced in the report.

4. Summary Statement and Conservation Recommendations

The summary should provide a full description of:

- The significance and heritage attributes of the cultural heritage resource, including the reference to a listing on the Heritage Register, or designation by-law if it is applicable
- The identification of any impact that the proposed development will have on the cultural heritage

Mississauga Cultural Landscape Heritage Impact Statement Terms of Reference

resource

- An explanation of what conservation or mitigative measures, or alternative development, or site alteration approaches are recommended
- Clarification as to why conservation or mitigative measures, or alternative development or site alteration approaches are not appropriate

5. Mandatory Recommendation

The consultant must write a recommendation as to whether the subject property is worthy of heritage designation in accordance with the heritage designation criteria per Regulation 9/06, *Ontario Heritage Act*. Should the consultant not support heritage designation then it must be clearly stated as to why the subject property does not meet the criteria as stated in Regulation 9/06.

The following questions **must** be answered in the final recommendation of the report:

- Does the property meet the criteria for heritage designation under the Ontario Regulation 9/06, *Ontario Heritage Act*?
- If the subject property does not meet the criteria for heritage designation then it must be clearly stated as to why it does not
- Regardless of the failure to meet criteria for heritage designation, does the property warrant conservation as per the definition in the Provincial Policy Statement:

Conserved:

means the identification, protection, use and/or management of cultural heritage and archaeological resources in such a way that their heritage values, attributes and integrity are retained. This may be addressed through a conservation plan or heritage impact assessment.

Please note that failure to provide a clear recommendation as per the significance and direction of the identified cultural heritage resource will result in the rejection of the Heritage Impact Statement.

6. Approval Process

Four hard copies of the Heritage Impact Statement, along with a PDF version, will be provided to the Heritage Coordinator. Hard copies must be single sided and pages must be no larger than 11 x 17 inches. Staff will ensure that copies are distributed to the Planning and Building Department and relevant staff and stakeholders within the Corporation. The Heritage Impact Statement will be reviewed by City staff to determine whether all requirements have been met and to evaluate the preferred option(s). The applicant will be notified of Staff's comments and acceptance, or rejection of the report.

All Heritage Impact Statements will be sent to the City's Heritage Advisory Committee for information. i.e. please note: Heritage Impact Statements are included on the City's Heritage Advisory Committee agendas, which are published online.

An accepted Heritage Impact Statement will become part of the further processing of a development application under the direction of the Planning and Building Department.

The recommendations within the final approved version of the Heritage Impact Statement will be incorporated into development related legal agreements between the City and the proponent at the discretion of the

Mississauga Cultural Landscape Heritage Impact Statement Terms of Reference

municipality.

References:

Applicants looking for professional assistance may wish to refer to the Canadian Association of Heritage Professionals. website: www.caphc.ca.

For more information on Heritage Planning at the City of Mississauga, visit us online at www.mississauga.ca/heritageplanning

Interpretation Services: <http://www.mississauga.ca/portal/cityhall/languages>

CHAIN of TITLE - PIN 13382-0415 - 4067 MISSISSAUGA ROAD

date	action	from - to	instrument no.
1 May 1833	Patent	Crown to Peter McDougall	
break in title			
7 Jan 1858	Bargain & Sale	Edmond Mount to George P. McDougall	4607
15 Oct 1858	Mortgage	Edward Mount to George McDougall	5845
5 Mar 1859	Assignment of Mortgage	George P. McDougall to Henry McGill	6536
23 May 1859	Mortgage	Edmund Mount to George P. McDougall	6886
23 July 1862	Bargain & Sale	Henry McGill to George P. McDougall	10408
31 Mar 1865	Bargain & Sale	George P. McDougall to Richard Crozier	13349
6 Mar 1881	Will	Richard Crozier to John Crozier	5590
3 Dec 1902	Bargain & Sale	John Crozier to George C. Crozier	10953
Registry Office records from 1906 to 1912 are missing - title prior to 1942 is vague and uncertifiable due to title transferences between members of the Crozier family with illegible/unavailable documents and obtuse metes and bounds descriptions			
7 Oct 1942	Grant	Mabel Olive Crozier to David Gillespie and Katherine Gillespie	42234
20 Jan 1953	Mortgage*	Christina Conn to David Gillespie and Katherine Gillespie	75290
5 Apr 1955	Grant	David and Katherine Gillespie to Charles W. and Betty McDonald	87453
26 Mar 1970	Grant	Estate of Betty McDonald to Clark A. and Shirley Burgess	136457VS
2010/01/19	Transfer	Clark A. and Shirley Burgess to Manuel Fernandes and Maria Da Cunha	PR1765669
2012/12/19	Easement	Manuel Fernandes and Maria Da Cunha to City of Mississauga	PR2312127
2013/05/17	Transfer	Maria Da Cunha to Nelson Fernandes	PR2370559

* likely date of construction of present house

CHAIN of TITLE - PIN 13382-0415 - 4067 MISSISSAUGA ROAD





Cultural Landscape Inventory

Mississauga Road Scenic Route

F-TC-4

Heritage or Other Designation Scenic Road**Location** Parallels the Credit River on its west bank**Landscape Type** Transportation

LANDSCAPE ENVIRONMENT

- ☒ Scenic and Visual Quality
- ☐ Natural Environment
- ☒ Horticultural Interest
- ☒ Landscape Design, Type and Technological Interest

BUILT ENVIRONMENT

- ☒ Aesthetic/Visual Quality
- ☐ Consistent Early Environs (pre-World War II)
- ☐ Consistent Scale of Built Features
- ☐ Unique Architectural Features/Buildings
- ☐ Designated Structures

HISTORICAL ASSOCIATION

- ☒ Illustrates Style, Trend or Pattern
- ☐ Direct Association with Important Person or Event
- ☒ Illustrates Important Phase in Mississauga's Social or Physical Development
- ☐ Illustrates Work of Important Designer

OTHER

- ☒ Historical or Archaeological Interest
- ☐ Outstanding Features/Interest
- ☐ Significant Ecological Interest
- ☐ Landmark Value



Cultural Landscape Inventory

Mississauga Road Scenic Route

F-TC-4

SITE DESCRIPTION

Mississauga Road is one of the oldest roads in Mississauga. Its alignment varies from being part of the normal road grid in the north to a curvilinear alignment in the south following the top of bank of the Credit River. The scenic quality of the road is notable because it traverses a variety of topography and varying land use from old established residential neighbourhoods to new industrial and commercial areas. From Streetsville south the boulevards and adjacent landscapes are home to some of the oldest and most spectacular trees in the City. It is acknowledged as an important cultural landscape because of its role as a pioneer road and its scenic interest and quality.

Qualifications of the Author

OWEN R. SCOTT, OALA, FCSLA, CAHP

Education:

Master of Landscape Architecture (M.L.A.) University of Michigan, 1967

Bachelor of Science in Agriculture (Landscape Horticulture), (B.S.A.) University of Guelph, 1965

Professional Experience:

1965 - present President, Canadian Horticultural Consulting Company Limited, Guelph, Ontario

1977 - present President, The Landplan Collaborative Ltd., Guelph, Ontario

1977 - 1985 Director, The Pacific Landplan Collaborative Ltd., Vancouver and Nanaimo, BC

1975 - 1981 Editor and Publisher, *Landscape Architecture Canada*, Ariss, Ontario

1969 - 1981 Associate Professor, School of Landscape Architecture, University of Guelph

1975 - 1979 Director and Founding Principal, Ecological Services for Planning Limited, Guelph, Ontario

1964 - 1969 Landscape Architect, Project Planning Associates Limited, Toronto, Ontario

Historical Research, Heritage Landscape Planning and Restoration Experience and Expertise

Current Professional Heritage Associations Affiliations:

Member: Alliance for Historic Landscape Preservation

Member: Canadian Association of Heritage Professionals (formerly CAPHC)

Member: Association for Preservation Technology

Community and Professional Society Service (Heritage):

Director: Canadian Association of Heritage Professionals (CAHP), 2002 - 2003

Member: Advisory Board, Architectural Conservancy of Ontario, 1980 - 2002

Member: City of Guelph Local Architectural Conservation Advisory Committee (LACAC), 1987 - 2000 (Chair 1988 - 1990)

Member: Advisory Council, Centre for Canadian Historical Horticultural Studies, 1985 - 1988

Personal and Professional Honours and Awards (Heritage):

National Award 2009 Heritage Canada Foundation National Achievement, Alton Mill, Alton, ON

Award of Merit 2009 Canadian Association of Heritage Professionals Awards, Alton Mill, Alton, ON

Award 2001 Ontario Heritage Foundation Certificate of Achievement

Award 1998 Province of Ontario, Volunteer Award (10 year award)

Award 1994 Province of Ontario, Volunteer Award (5 year award)

Regional Merit 1990 Canadian Society of Landscape Architects (CSLA), Britannia School Farm Master Plan

National Honour 1990 CSLA Awards, Confederation Boulevard, Ottawa

Citation 1989 City of Mississauga Urban Design Awards, Britannia School Farm Master Plan

Honour Award 1987 *Canadian Architect*, Langdon Hall Landscape Restoration, Cambridge, ON

Citation 1986 *Progressive Architecture*, The Ceremonial Routes (Confederation Boulevard), Ottawa,

National Citation 1985 CSLA Awards, Tipperary Creek Heritage Conservation Area Master Plan, Saskatoon, SK

National Merit 1984 CSLA Awards, St. James Park Victorian Garden, Toronto, ON

Award 1982 Ontario Ministry of Municipal Affairs Ontario Renews Awards, Millside, Guelph, ON

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Following is a **representative listing of some of the many heritage landscape projects undertaken by Owen R. Scott** in his capacity as a landscape architect with Project Planning Associates Ltd., as principal of Owen R. Scott & Associates Limited, as principal of The Landplan Collaborative Ltd., and principal of CHC Limited.

- Acton Quarry Cultural Heritage Landscape & Built Heritage Study & Assessment Peer Review, Acton, ON
- Alton Mill Landscape, Caledon, ON
- Belvedere Terrace - Peer Review, Assessment of Proposals for Heritage Property, Parry Sound, ON
- Black Creek Pioneer Village Master Plan, Toronto, ON
- Britannia School Farm Master Plan, Peel Board of Education/Mississauga, ON
- Confederation Boulevard (Sussex Drive) Urban Design, Site Plans, NCC/Ottawa, ON
- Swift Current CPR Station Gardens condition report and feasibility study for rehabilitation/reuse, Swift Current, SK
- Cruickston Park Farm - Cultural Heritage Resources Study, Cambridge, ON
- Doon Heritage Crossroads Master Plan and Site Plans, Region of Waterloo/Kitchener, ON
- Downtown Guelph Private Realm Improvements Manual, City of Guelph, ON
- Downtown Guelph Public Realm Plan, City of Guelph, ON
- Dundurn Castle Landscape Restoration Feasibility Study, City of Hamilton, ON
- Elam Martin Heritage Farmstead Master Plan, City of Waterloo, ON
- Exhibition Park Master Plan, City of Guelph, ON
- Feasibility Study for a Heritage Resource Centre, Regional Municipality of Waterloo, ON
- George Brown House Landscape Restoration, Toronto, ON
- Government of Ontario Light Rail Transit Route Selection, Cultural and Natural Resources Inventory for Environmental Assessment, Hamilton/Burlington, ON
- *Grand River Corridor Conservation Plan*, GRCA/Regional Municipality of Waterloo, ON
- Hespeler West Secondary Plan - Heritage Resources Assessment, City of Cambridge, ON
- John Galt Park, City of Guelph, ON
- Judy LaMarsh Memorial Park Master Plan, NCC/Ottawa, ON
- Lakewood Golf Course Cultural Landscape Assessment, Tecumseh, ON
- Landfill Site Selection, Cultural Heritage Inventory for Environmental Assessment, Region of Halton, ON
- Langdon Hall Gardens Restoration and Site Plans, Cambridge, ON
- MacGregor/Albert Heritage Conservation District Study and Plan, City of Waterloo, ON
- Museum of Natural Science/Magnet School 59/ Landscape Restoration and Site Plans, City of Buffalo, NY
- Muskoka Pioneer Village Master Plan, MNR/Huntsville, ON
- Peel Heritage Centre Adaptive Re-use, Landscape Design, Brampton, ON
- Phyllis Rawlinson Park Master Plan (winning design competition), Town of Richmond Hill, ON
- Prime Ministerial Precinct and Rideau Hall Master Plan, NCC/Ottawa, ON
- Queen/Picton Streets Streetscape Plans, Town of Niagara-on-the-Lake, ON
- Regional Heritage Centre Feasibility Study and Site Selection, Region of Waterloo, ON
- Rockway Gardens Master Plan, Kitchener Horticultural Society/City of Kitchener, ON
- South Kitchener Transportation Study, Heritage Resources Assessment, Region of Waterloo, ON
- St. George's Square, City of Guelph, ON
- St. James Park Victorian Garden, City of Toronto, ON
- Tipperary Creek (Wanuskewin) Heritage Conservation Area Master Plan, MVA/Saskatoon, SK
- University of Toronto Heritage Conservation District Study, City of Toronto, ON

Qualifications of the Author

- Waterloo Valleylands Study, Heritage and Recreational Resources mapping and policies, Region of Waterloo
- Woodside National Historic Park Landscape Restoration, Parks Canada/Kitchener, ON
- 255 Geddes Street, Elora, ON, heritage opinion evidence - Ontario Superior Court of Justice

Heritage Impact Assessments, Heritage Impact Statements and Heritage Conservation Plans:

- Barra Castle Heritage Impact Assessment, Kitchener, ON
- Biltmore Hat Factory Heritage Impact Assessment, Guelph, ON
- 140 Blue Heron Ridge Heritage Impact Assessment, Cambridge, ON
- 51 Breithaupt Street Heritage Impact Assessment, Kitchener, ON
- 51 Breithaupt Street Heritage Conservation Plan, Kitchener, ON
- Bridge #20 Cultural Heritage Evaluation Report & Heritage Impact Assessment, Blandford-Blenheim Township, ON
- Bridge #25 Cultural Heritage Evaluation Report & Heritage Impact Assessment, Blandford-Blenheim Township, ON
- Cambridge Retirement Complex on the former Tiger Brand Lands, Heritage Impact Assessment, Cambridge, ON
- 27-31 Cambridge Street, Heritage Impact Assessment, Cambridge, ON
- 3075 Cawthra Road Heritage Impact Statement, Mississauga, ON
- City Centre Heritage Impact Assessment, Kitchener, ON
- 175 Cityview Drive Heritage Impact Assessment, Guelph, ON
- Cordingly House Heritage Impact Statement, Mississauga, ON
- 264 Crawley Road Heritage Impact Assessment, Guelph, ON
- 31-43 David Street (25 Joseph Street) Heritage Impact Assessment, Kitchener, ON
- 35 David Street (Phase II) Heritage Impact Assessment, Kitchener, ON
- 1261 Dundas Street South Heritage Impact Assessment, Cambridge, ON
- Grey Silo Golf Course/Elam Martin Farmstead Heritage Impact Assessment, City of Waterloo, ON
- GRCA Lands, 748 Zeller Drive Heritage Impact Assessment Addendum, Kitchener, ON
- Hamilton Psychiatric Hospital Conservation Plan, for Infrastructure Ontario, Hamilton, ON
- Hancock Woodlands Cultural Heritage Assessment and Heritage Impact Statement, City of Mississauga, ON
- Hart Farm Heritage Impact Assessment, Guelph, ON
- Kip Co. Lands Developments Ltd. Cultural Heritage Resource Impact Assessment - Woodbridge Heritage Conservation District, City of Vaughan, ON
- 117 Liverpool Street Heritage Impact Assessment, Guelph, ON
- 30 - 40 Margaret Avenue Heritage Impact Assessment, Kitchener, ON
- 2610, 2620 and 2630 Mississauga Road, Cultural Landscape Heritage Impact Statement, Mississauga, ON
- 1245 Mona Road, Heritage Impact Statement, Mississauga, ON
- 324 Old Huron Road Heritage Impact Assessment, Kitchener, ON
- 40 Queen Street South Heritage Impact Statement, Mississauga, (Streetsville), ON
- Rockway Holdings Limited Lands north of Fairway Road Extension Heritage Impact Assessment, Kitchener, ON
- Thorny-Brae Heritage Impact Statement, Mississauga, ON
- University of Guelph, Trent Institute Cultural Heritage Resource Assessment, Guelph, ON
- University of Guelph, 1 and 10 Trent Lane Cultural Heritage Resource Assessments, Guelph, ON
- University of Guelph, Gordon Street Houses, Heritage Impact Assessment, Guelph, ON
- 927 Victoria Road South Heritage Impact Assessment, Guelph, ON
- Winzen Developments Heritage Impact Assessment, Cambridge, ON

Expert Witness Experience:

Owen R. Scott has been called as an expert witness at a number of hearings and trials. These include **Ontario Municipal Board Hearings, Conservation Review Board Hearings, Environmental Assessment Board** and **Environmental Protection Act Board Hearings**, and civil and criminal trials. The heritage evidence he has presented has been related to cultural heritage issues where historical and landscape resources were evaluated.



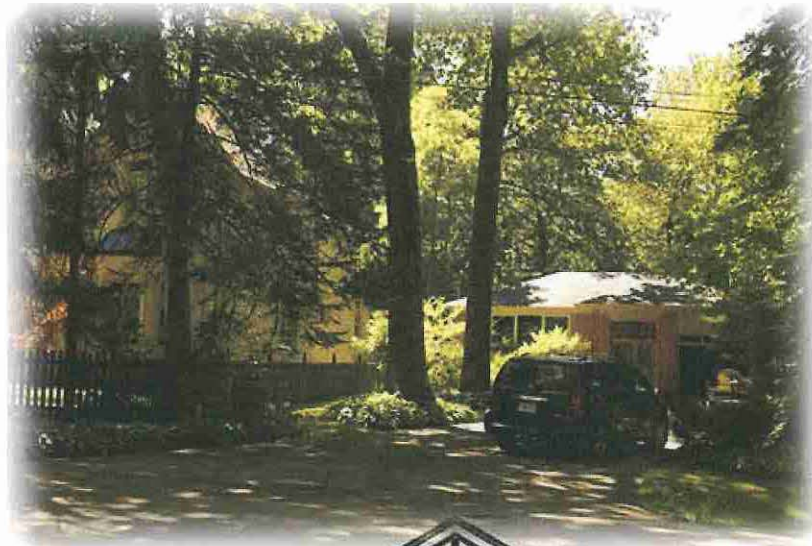
Heritage Impact Statement

Heritage Advisory Committee
NOV 19 2013

1370 Milton Avenue

Mineola West Cultural Landscape
City of Mississauga

2 October 2013



Gillespie Heritage Consulting

2 Mayfair Court, Dundas, ON, L9H 3P2 905 627-8607

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1 INTRODUCTION

1.1 Intent of Heritage Impact Statement for 1370 Milton Avenue

Figure 1; Figure 2; cover illustration

The parcel of land with the municipal address, 1370 Milton Avenue in the Mineola residential neighbourhood, was purchased by Jesse and Tania Migliaro in April 2007 from Adriano and Maria Torresan (Tania's parents). Between 2001, when they moved in, and taking possession of the property, some modest improvements were made to the existing dwelling. Since 2007, they have developed plans to enlarge and stylistically modify their home, in order to more comfortably accommodate a growing family and better suit their architectural taste.

The property is listed on the Heritage Register because it is located in the Mineola West Cultural Landscape, identified as a significant "cultural landscape" (residential category) in the *Cultural Landscape Inventory for the City of Mississauga*.¹ Accordingly, the City of Mississauga requires that a Heritage Impact Statement be prepared for the proposed alterations and additions.

This Heritage Impact Statement adheres to the *Cultural Landscape Heritage Impact Statement Terms of Reference* prepared by the Community Services Department of the City of Mississauga in June 2012. Its completion and acceptance by Heritage staff is a condition of final approval of the Site Plan Application.

1.2 Background on the Mineola West Cultural Landscape

Figure 1; Figure 2; Photo 1 to Photo 23

The City of Mississauga adopted a *Cultural Landscape Inventory* in 2005. All properties located in one of the approximately 60 *cultural landscapes* are listed on the City's Heritage Register regardless of individual architectural / historic interest. Cultural landscapes and features include historic settlements; agricultural, industrial, urban, residential, civic and natural areas; parks; scenic views; scenic roadways; bridges; and wall formations.

The Mineola West Cultural Landscape is bounded by the QEW, Hurontario Street, the Credit River and the CNR corridor. It is one of several residential areas identified as cultural landscapes, which include a similar low-density residential community known as Lorne Park Estate (along the lakeshore to the west). The following character description is taken from the Heritage section of the Property Information for all individual lots within the Mineola West Cultural Landscape on the City of Mississauga website.² A more detailed description may be found in the City of Mississauga's *Cultural Landscape Inventory* (L-RES-6).³

The Mineola [west residential area] has been identified as a significant cultural landscape due to the development of this area in a time when natural elements respected the lot pattern and road system. These elements include rolling topography, natural drainage and mature trees. The

¹ Landplan Collaborative Ltd., *Cultural Landscape Inventory* (January 2005); available on the CM website: <http://www.mississauga.ca/portal/residents/culturallandscapeinventory>

² www.mississauga.ca/portal/services/property

³ *Cultural Landscape Inventory*, Appendix 2: Cultural Landscapes.

roads wind, rise and fall with the natural topography. There are no curbs. This softens the transition from landscaped yards to the street edge. What has evolved is a neighbourhood with a variety of quality housing stock and a rich stimulating landscape that blends houses with their natural and manicured surroundings. The balance of built form and natural surroundings on generally larger lots has given this neighbourhood a distinct character within Mississauga.

The Mineola area of Mississauga is situated north-west of the Port Credit business district. Mineola West is notable for its forest-like setting with creeks, ravines and an abundance of mature deciduous and coniferous trees and very generous lot sizes. Suburban development began in earnest after the Second World War and continued at an accelerated pace after the 'cloverleaf' interchange at Hurontario and the QEW was constructed. In terms of the street layout and housing, Mineola West is fairly typical of the low-density suburban residential areas built in Ontario towns and cities during the 1950s and 60s, when land was plentiful and relatively inexpensive and most middle class families were able to afford at least one car to satisfy transportation needs that could not be adequately met by public transit. This resulted in the construction of modest single-family dwellings, mostly 1 or 1½ storeys in height, on relatively large lots, originally serviced with septic systems. Cars were first accommodated in carports or detached garages and later in garages attached to the dwelling. The original roadways were surfaced with gravel; hence, the absence of curbs and sidewalks. Water is drained by means of a network of ditches as there are no storm sewers. Driveways were also first surfaced with gravel, then asphalt and more recently a variety of more attractive materials such as brick, concrete slabs and pavers and environmentally friendly materials such as pervious concrete and grass planted in a geo-grid support structure.

The desirability of the Lorne Park and Mineola West residential areas has led to escalating land prices over the past decade accompanied by the demand for more spacious family homes. The current trend towards larger dwellings on relatively small lots in new subdivisions reflects these requirements. Mineola West, with its combined assets of large lots, watersheds, mature landscaping and treescapes, has been attracting buyers with the financial resources to replace generally sound and well-maintained modest houses with considerably larger two-storey single-family dwellings. This trend appears to have begun around the mid 1990s but is now happening at an accelerated pace. As a result, Mineola West is a residential area in rapid transition, with much larger homes replacing the original housing stock at an almost alarming rate. With average land values in Mineola West now in the \$800,000 to \$1 million range, the value of most redeveloped properties has increased to \$2 million and up.

1.3 Architectural Styles in Mineola West

Figure 3; Figure 4; Figure 5; Figure 7; Photo 7 to Photo 23

Although the subject property is located in a Plan of Subdivision laid out in 1913, almost all of the housing stock within its boundaries post-dates the Second World War. Throughout North America, house styles from 1945 up to the late 1960s may be broadly grouped under the general category of *Modern or Mid-Century Modern* (which should now be more accurately identified as *Mid-20th Century Modern*). It includes the following subtypes: *minimal traditional*, *ranch*, *split level*, *contemporary*, and *shed*. Builder-designed houses tended to be variations of

the first three sub-types whereas architects favoured the *contemporary* and *shed* styles, which completely eschewed traditional form and detail.⁴

Most relevant to the existing dwelling at 1370 Milton Avenue is the *Ranch* subtype, popular in Canadian suburbs from the late 1950s through the 1960s. With the living/dining areas, kitchen and bedroom wing all located on one level, *ranch* houses were economically feasible at a time when land surrounding urban centres was cheap and surveys were laid out with relatively large lots, even for the construction of modest dwellings. Basements were often partly finished by the first owners, to accommodate a family room and laundry facilities in addition to storage and workshop space. Another typical feature was the attached carport or garage, which appeared in the 1950s when middle-class families were first able to afford cars. *Ranch* houses were rectangular or L-shaped with low-pitched, side-gabled, cross-gabled or hipped roofs. Wood-framed construction was typically clad with brick veneer or clapboard, with natural stone often used in a decorative manner for chimneys or wall areas on the front facade. Windows on the earliest examples retained the traditional vertical sash with tripartite windows (living room) consisting of a wider fixed centre pane flanked by two narrow sash windows. Subsequently, picture windows tended to be fixed multi-pane units— flat or curved. Individual or paired sash windows were gradually replaced through the 1960s by horizontal sliding units. Traditional detailing survived in the form of ornamental metal railings and porch supports, turned wood columns and window shutters.

Beginning in the 1970s, the stylistic trend in residential architecture has leaned towards massing, materials and decorative elements based on traditional forms. The many different styles may be grouped together under the general category of *Neoelectic*.⁵ The most common subtypes include *Mansard*, *Neo-Colonial*, *Neo-French*, *Neo-Tudor*, and *Neoclassical Revival*. In addition to the disparity in scale between the original houses and the new replacement ones, there is an obvious stylistic difference. To date, the majority of replacement houses in Mineola West fall into the *Neoelectic* category and most could be loosely identified as *Neo-French* or *Neo-Tudor* or an eclectic combination of both. This trend has also influenced the design of alterations and new additions to existing original dwellings built in the 1950s and 60s.

However, there are also a few notable examples inspired by the early 20th century *Craftsman* and the *Mid-20th Century Modern* styles. The author of this report was pleasantly surprised to receive and review a set of plans for a *Modern Contemporary* replacement dwelling for the property at 1171 Stavebank Road, for which a Heritage Impact Statement was completed earlier this year.⁶ (Figure 4) There is now evidence that this design trend is gaining favour with

⁴ These stylistic categories are borrowed from *A Field Guide to American Houses*: “American Houses since 1940: Modern”, pp. 476-485. See **Section 6.1: Sources** for full citation. They are equally applicable to Canadian house styles. The Ontario Architecture website includes a number of Canadian examples of residential architecture, categorized as *Mid-Century Modern*: www.ontarioarchitecture.com > Building Styles

NOTE: The most *contemporary Ranch* style house, within the 1913 Plan of Subdivision, found on Google street view, is located on the south-west side (third lot from corner) of Victor Avenue. It features a wide facade with an asymmetrical front-gabled roof and a flat-roofed carport extending from the main facade. The overall design, amount of glazing and interesting fenestration suggests that this dwelling was architect-designed..

⁵ *A Field Guide to American Houses*: “Neoelectic, ca. 1965 to present”, pp. 486–95.

⁶ *Heritage Impact Statement for 1171 Stavebank Road, in the Mineola West Cultural Landscape, City of Mississauga* (April 2013)

buyers of property in Mineola West. It is hoped that a potential revival of interest in *Modern Contemporary* residential architecture will foster a greater respect for surviving examples of *Mid-Century Modern* which still maintain a high degree of integrity, in particular, the architect-designed examples of the *Contemporary* and *Shed* subtypes. A new *Modern Contemporary* replacement dwelling is currently under construction on the dead end of Kenollie Avenue, originally Lot 15 of Plan of Subdivision E. **(Photo 18)** In contrast, the vast majority of new dwellings have until very recently fallen into the *Neoelectic* category.

The stylistic category most relevant to the subject property, in terms of the proposed additions and alterations, is *Arts and Crafts* or *Craftsman*, one the prevailing eclectic styles of the early 20th century. *A Field Guide to American Houses* identifies four principal subtypes, primarily distinguished by their roof shapes: front-gabled, cross-gabled, side-gabled, and hipped.⁷ The front-gabled subtype was the most common with full- or partial-width porches. **(Figure 5)** Most examples of this sub-type are one-storey but 1½ and two storey examples are not uncommon. Other features include wide eaves with exposed rafters and full or partial width porches. Less prevalent are dormers, more commonly found on the other three sub-types. Columns for supporting the porch roofs typically consist of short, square upper columns resting upon more massive piers or a solid balustrade, often constructed of fieldstone as are chimneys. The most common siding materials are wood clapboard and wood shingles. Vertical sash windows often have smaller multi-paned upper sashes with single pane lower sashes. Canadian examples may be found on the Ontario Architecture website.⁸

1.4 Early Settlement History

Figure 6

The roots of the Mississauga area can be traced back to its settlement in the 1700s by the Mississaugas, an Ojibway band from the north shore of Lake Huron. In August 1805, representatives of the British Crown and the native Mississaugas signed Treaty 13A, which surrendered a vast tract of land to the British Crown. Referred to as the “Mississauga Purchase” or the “First Purchase”, the Crown acquired over 74,000 acres of land excluding a 1 mile strip on each side of the Credit River from the waterfront to the base line (now Eglinton Avenue), which became known as the Credit Indian Reserve. The First Purchase was surveyed in 1806, then named Toronto Township, and subsequently opened up to settlement. The Mississaugas signed two other treaties in 1820, which surrendered much of the Credit Indian Reserve lands set aside in 1805 and relocated in 1847 to the New Credit Reserve at Hagersville near Brantford.⁹

Like many other properties in the Mineola West Cultural Landscape, 1370 Milton Avenue is located on lands which formed part of the Credit Indian Reserve (C.I.R.), specifically Range 2. The area is still historically significant due to its association with the native Mississaugas but few tangible remains of their occupancy survive, except for some archaeological findings.

⁷ *A Field Guide to American Houses*, “Eclectic Houses: Craftsman, 1905-1930”, pp. 452 -463.

⁸ See the Ontario Architecture website for photos of Canadian examples: www.ontarioarchitecture.com > Building Styles > Arts and Crafts (1890 – 1940).

⁹ Heritage Mississauga website: www.heritagemississauga.com/page/History

2 SETTING AND SITE DESCRIPTION

2.1 Present Setting

Figure 1; Figure 2; Photo 2 to

The position of 1370 Milton Avenue within the Mineola West Cultural Landscape is about mid-way between the Q.E.W. and the CNR line but closer to Hurontario Street than the Credit River. The roadways in this area vary from straight to gently curving. Milton Avenue is one of the perfectly straight roadways. Its character is typical in terms of the tree canopies and housing mix. Almost all of the existing housing is post-war construction and the majority of dwellings are still the original ones. The existing housing stock ranges from small, brick or wood-clad 1950s bungalows to recent and for the most part considerably larger two-storey residences faced in brick and stone veneer. The most notable feature of Milton Avenue is the impressive tree canopy formed by a variety of mature and some very tall deciduous trees on the City road allowance, where there is also an abundance of mature coniferous trees. As larger residences continue to be built, however, this tree canopy will be eroded at least to some extent. The loss of trees on private property is also a concern, as trees inevitably need to be removed to provide construction access and foundation work for residences with often considerably larger footprints. This was the case, with 1358 Milton Avenue, adjacent to the subject property, where according to Tania Migliaro, about two dozen trees, including two massive oak trees were removed.¹⁰ A survey of driveway materials on Milton Avenue revealed only two exceptions to asphalt: one replacement dwelling close to Kenollie Avenue, which has a driveway made of concrete pavers and a short double driveway for an original dwelling facing Mineola Road West with a gravel driveway.

2.2 Site Description

Figure 7; Figure 8; Figure 9; Photo 22; Photo 24; Photo 26; Photo 29

1370 Milton Avenue comprises Lot 33, Registered Plan E-13, City of Mississauga (formerly Township of Toronto, County of Peel). As shown on the 1962 survey plan, the approximate dimensions of the skewed rectangular lot are 53' along the front property line (marked by the neighbour's fence at #1358) and 158' from the front to the rear lot line. (Figure 9) Trees include native oaks, pine, hemlock and maple. There is a low wood picket fence along the frontyard property line of the neighbouring property at #1358, which extends back to the board fence erected around the side and rear yards of the subject property. This fencing, which encloses the backyard garden, provides screening and privacy. The small dwelling sits comfortably on its lot with an ample setback from the street, like its original neighbours. Unfortunately, its immediate setting is now marred by the much larger house next door which has a much shallower setback. In contrast the original one-storey dwelling to the west at #1374 has an even deeper setback than #1370 and is barely visible from the street. However, it too could one day be replaced by a residence comparable in size to the one at #1358. The subject

¹⁰ The roof structure of the original house appears on earlier aerial photos, before it was demolished in 2007. The width of the lot at that time was greater than the original standard lot size of just under 53', thereby allowing for the construction of a wider building.

property and both of its adjacent neighbours have asphalt driveways: the newest one at #1358 has a border of concrete pavers which gives it a more formal appearance. The current owners of #1370 intend to maintain the asphalt driveway, resurfacing it when needed. One built landscaping feature in the frontyard, is a low L-shaped retaining wall beside the front walkway, which is to be removed.

3 HISTORY AND ARCHITECTURE

3.1 Chain of Ownership, Building and Subdivision History

Figure 6: Figure 7; Figure 8; Figure 9; Appendix A: Chain of Ownership

The title search indicates that the subject property was located on a parcel of land comprising the S.W. part of Lot 3 in Range 2 of the Credit Indian Reserve, awarded to James Cotton as a Crown grant in 1854. It is known that James W. Cotton also received lots 1 to 8 in Range 1.¹¹

Due to gaps in the registry records, it is only possible to record the land transfers from the time that the Plan of Subdivision was registered in April 1913. This new and relatively small subdivision comprised a parcel of land in the shape of a parallelogram, whose south-east boundary was formed by the road allowance between ranges 1 and 2. It was bounded to the south-east by the rear property lines of lots laid out on Milton Avenue, to the north-west by the rear property lines of lots laid out on Kenollie Avenue and to the south-west by lots laid out on Victor Avenue. The subdivision was jointly owned by three partners, including Leslie H. Pallett and A.J. Leslie.

A number of land transfers described as Lot 33 and other lands took place between 1915 and 1961, when Lot 33 was sold by Mabel and David Jackson to Harry Futti, H.F. Construction Co., who must have been the builder for the existing dwelling. As it is known from the survey plan that the dwelling was under construction in 1962, it is reasonable to assume that the house was completed by the time the property was sold in April 1963 to John and Iris Ramsden. In 1972, this couple sold their property to Roger Brown, who, in turn sold it to Adriano and Maria Torresan in 1974. The Torresans lived there until 2000, when they moved out and their daughter Tania and spouse Jesse Migliaro moved in. In 2007, they sold the property to their daughter and son-in-law. Alterations made to the existing dwelling during their occupancy are described in Section 3.3.

The subdivision was originally laid out with 83 lots, all with a parallelogram shape but dimensions that varied somewhat according to the street and location. All of the lots fronting onto Milton Avenue except for two at the corner of Kenollie Avenue had a street frontage of 52' 7 ½" and a depth of 157' 10 ½". (**Figure 7**) A comparison of the Plan of Subdivision with a current aerial photograph showing property boundaries reveals that only 18 lots facing or abutting Milton Avenue have retained their original dimensions, including Lot 33 comprising the subject property at 1370 Milton Avenue. (**Figure 2**) The severance of some empty lots to create some wider ones started before some of the original post-war dwellings were built. This reflects the relatively low cost of the land and the stylistic shift in residential architecture, which favoured one-storey dwellings with larger and wider footprints than the narrower two-storey

¹¹ See *Heritage Impact Statement for 1171 Stavebank Road...*, pp. 3-4 and Figure 5.

dwelling that would have been built if the development of the subdivision had begun in the 1920s. It is possible that some of the largest and recently constructed replacement residences were built on two or more merged lots.

3.2 Historical Associations

All of the Mineola West properties located within the boundaries of the original 1913 Plan of Subdivision have historical associations with a well-known family in Toronto Township: the Pallett family, whose Upper Canadian lineage may be traced back to the arrival from England in 1835 of William and Mary Pallett, who first settled in Toronto. According to Kathleen Hick's detailed family history, they raised seven children. Two of their sons, Robert (1828-1906) and Thomas ((1834-1909) purchased hundreds of acres of land for agriculture north and south of Dundas Street. In 1873, Robert sold 1.1 acres at \$70 an acre to the Credit Valley Railway for the proposed railroad. Robert married Mary Armstrong, with whom he had five children, one of whom was Leslie Howard (1888-1963), part owner of the parcel of land developed as Plan of Subdivision E-13 in Range 2.

Leslie Howard Pallett was a man with political ambitions, beginning as a councillor in 1913. He then served as deputy reeve from 1914- 1917, reeve from 1924- 1925 and 1931- 1937, and warden of Peel County in 1925. He became known as "Mr. Dixie" after the Dixie Fruit Market on Lot 4, Con.1, N.D.S, which he opened in 1918. He also had a second market called the Highway Market in the 1950s. Hicks' account does not mention his investment in property in Lot 3 Range 2 for the purpose of building a subdivision (1913 Plan E-13) but it does refer to his purchase of part of Lot 7, Con.1, N.D.S with the same intent in 1952. Clearly, Pallett also had financial ambitions.¹²

3.3 Building Description and Style

Figure 10; Figure 13; Photo 26 to Photo 36 (exterior); Photo 37 to Photo 51 (interior)

The existing brick masonry bungalow, built in 1962 or 62-3 consists of one main level on a raised concrete block basement with a built-in garage at grade level. It has a hipped roof covered with asphalt shingles. Below the living room window is a continuous sill with coursed stone veneer extending to grade level. Both the living and family room windows are 2005 replacements for the original windows. The living room window comprises three units of equal size, with a fixed centre pane flanked by two casement windows. Directly below and aligned with the living room window is a narrow fixed pane tripartite window in the family room. The hipped roof extends over the projecting garage and a small area in front of the main entrance to create a porch with a lower parapet wall built of the same stone as the wall veneer and an iron or aluminum support with decorative scrollwork between the two rods. The replacement metal front doorway at grade level consists of double glazed panelled doors surmounted by a large transom window, all with decorative leaded glass. (interior view: **Photo 37**) The side doorway to the garage has its original wood slab door. As the roof over the garage is the same height as the main roof, the garage has a higher than average ceiling, allowing for a transom

¹² Kathleen A. Hicks, *Dixie: Orchards to Industry*, Part 2, 1851-1900, "Palletts 1858", pp. 78-88; paragraph on Leslie Howard Pallett: p.79. .

window over the garage door, which is the overhead rolling metal type and fabricated of vinyl. It was installed in 2002 to replace the original or an earlier aluminum one.

After Tania's parents purchased the property in 1974, the raised basement was extended at the rear to create a storage room and concrete deck above, with the intent of building an addition at a later date. Double sliding glass doors, which must have provided access to a wood deck, existed at the time of purchase but have since been replaced. There are three original vertical sash wood windows with aluminum storms on the rear facades, a small bathroom window facing the deck, and one window on the side wall shared with the garage. There are also several above grade basement windows. Other more minor exterior alterations made since the house was built include the replacement of the front doorway by Tania's parents (pre-2001), the covering of original wood soffits and fascia with aluminum (most recently in 2002 when white was replaced with beige), the replacement that year of the garage door, and the replacement of the original living and family room windows in 2005. As suspected and confirmed by a 2001 photograph, the original living room window consisted of a wider fixed pane flanked by two narrow vertical sash windows, typical of builder designs of the 1950s.¹³
(Photo 27)

One enters the house into a small vestibule, with two half flights of stairs leading down to the basement and up to the main level. To the left is the living room with the large picture window. It has an open concept living/-dining area that forms an L-shape. Between the living and dining areas is a floor to ceiling stone faced fireplace with a projecting stone hearth, which is turned at about a thirty degree angle to face the living room. The coursed stonework is similar in pattern to that used on the front facade but more variegated in colour. A built-in bench with a stone slab seat in a nook at the top of the stairs is faced with the same stonework. Straight ahead from the top of the stairs is a narrow corridor with a powder room and bedroom on the right and the kitchen on the left, with a second doorway to the dining area. The rear wing includes the main bathroom on the left and two bedrooms overlooking the backyard.

The original hardwood flooring has been maintained throughout the main floor (except where alternate materials were installed in the kitchen and bathrooms). The original staircase consists of painted wood risers with natural wood treads. A railing extends from the side wall behind the built-in bench to the top of the stairs down to the entrance foyer and curves around to continue down the stairs to the basement. Twisted aluminum balusters with decorative scrollwork support a wood railing with a natural finish. Four short balusters are fixed to the stone top of the bench, thereby integrating the design of two otherwise separate elements. Baseboards, doors and windows have narrow wood frames with a simple curved profile. All of the entrance doorways (as opposed to closet) maintain their original flat slab doors with brass knobs.

At the bottom of the stairs to the basement one enters the family room with its adjacent bar area separated by an angled fireplace, similar to the one in the living room but with a different pattern and colour of stonework. A wood shelf has been added to simulate a mantel. A doorway from the family room leads to a partially finished basement, where the laundry facility is located. A doorway from the bar area leads to a storage room below the rear concrete deck.

¹³ Dates for alterations provided by Jesse Migliaro.

The dwelling was soundly constructed and has been well-maintained by a succession of owners. Stylistically, the house belongs to the *Ranch* subtype of *Mid-Century Modern*. Typical features include the low-pitched hipped roof, the decorative use of stone on the front facade, vertical sash windows, and the traditional detailing of the porch support. Given that the house was built in 1961-2, the window fenestration was conservative in that more contemporary versions of the *Ranch* subtype would have by then had double-paned horizontal sliding windows. A more progressive feature was the built-in garage, which first became common in builder-designed dwellings in the 1960s. Prior to that time, suburban dwellings either had no garage or a detached one, but carports and attached garages were often added from the 1960s on. For a builder-designed house, the interior of #1370 is notable for its distinctive angled stone fireplaces in the living and family rooms and the integrated construction of the bench and balustrade.

4 EVALUATION

4.1 Evaluation based on the Heritage Designation Criteria, Regulation 9/06 of the Ontario Heritage Act

The following evaluation of the property is based on the *Criteria for Determining Cultural Heritage Value or Interest, O. Reg. 9/06*, of the Ontario Heritage Act (abbreviated as OHA). A property may be designated under Section 29 if it meets one or more of 9 criteria (3 in each category).

1. DESIGN OR PHYSICAL VALUE:

The dwelling on the subject property is well built with its original exterior features largely preserved intact and exhibits a medium degree of craftsmanship. The house is typical of vernacular residential architecture of the 1950s/ 60s built by tract developers or individual builders. With a raised basement and entry at grade level, it is a variation of the *Ranch* style in the *Modern* category. The exterior is not particularly distinctive but the house does have some interior features of interest from the standpoint of modernist design, as identified in Section 3.3. In sum, the existing dwelling does not rank high enough in any of the three criteria under Item 1 to merit OHA designation: it is not a rare, unique, or early example of a style, type, expression, material or construction method; it does not display a high degree of craftsmanship or artistic merit; nor does it demonstrate a high degree of technical or scientific achievement.

2. HISTORICAL OR ASSOCIATIVE VALUE:

The subject property has remote historical associations with the Cotton family, early settlers to the area and prominent members of the Port Credit community, as do many properties in Mineola West. It also has closer connections with the Pallett family. Henry Leslie Pallett, a prominent citizen of Toronto Township, was part owner of the parcel of land developed as the Plan of Subdivision E-13. However, it is not a unique connection with 1370 Milton Avenue. No evidence was found to support a strong ranking in any of the three criteria under Item 2: It is not known to have any significance relating to a theme, event, belief, person, activity, organization or institution in the community; it is not known to possess any characteristics that

contribute to an enhanced understanding of the community or culture; nor does it represent the work of a well-known architect, artist, designer or theorist in the community.

3. CONTEXTUAL VALUE

The subject property does have some contextual value with respect to criteria 3ii, in that it is to some extent physically, functionally, visually and historically linked to its surroundings, as are all the Mineola West properties with original dwellings of modest size on large well-treed lots. The house is complimentary to nearby original *Mid-Century Modern* dwellings in terms of its scale, massing, materials and setbacks. The small scale of the dwelling compared to the overall size of the lot and the mature trees in the front yard and on neighbouring properties all contribute to the defining character of the Mineola West Cultural Landscape, as identified prior to the accelerated pace of the trend towards much larger-scale replacement residences. The existing dwelling is not a landmark (3iii) but the house and lot together, similarly to other properties retaining original housing stock, collectively define, maintain and support the character of Mineola West.

As per the nine criteria set out in Regulation 9/06 of the Ontario Heritage Act, the subject property is not considered to be worthy of OHA designation. This conclusion supports its listing on the Heritage Register only as part of the Mineola West Cultural Landscape and not for its individual architectural or historical significance or contextual value.

4.2 Evaluation for Conservation according to the Provincial Policy Statement Definition

Part 2.6 of the *Ontario Provincial Policy Statement* (Cultural Heritage and Archeology) states that “Significant built heritage resources and significant cultural heritage landscapes shall be preserved.”¹⁴ As there is no definition of *significant*, it must be assumed in the case of built heritage resources, to mean properties designated or eligible for designation under the Ontario Heritage Act. As part of the Mineola West Cultural Landscape, the subject property clearly has some contextual value for the reasons given above. Moreover, although it was determined that the property does not merit designation under the Ontario Heritage, the main dwelling has been well-maintained and will be preserved with some minor additions and a stylistic transformation.

4.3 Mitigation Measures

As the existing dwelling will be substantially preserved there is little to recommend in the way of mitigation measures. The author of this report would have preferred to see the two original stone fireplaces preserved intact but assurances have been given by the owners that they intend to reuse the stones and stone slabs in rebuilding the fireplaces flat against the wall. It is also unfortunate that the integrated stairway balustrade and bench cannot be maintained but this is not possible as the stairway has to be entirely reconfigured for the reasons previously given. However, if there is no suitable place for the bench to be moved within the house,

¹⁴ *Ontario Provincial Policy Statement*, p. 21 (see SOURCES: Section 6.1.3).

perhaps it could be relocated to the backyard to serve as a landscaping feature and outdoor seating.¹⁵ The stonework from the low retaining wall, to be removed, could also be salvaged for reuse.

5 PROPOSED ADDITIONS AND ALTERATIONS

5.1 Description of Proposed Additions and Alterations

Figure 11 to Figure 17

Plans to enlarge the existing dwelling include three small additions: a verandah encompassing the projecting vestibule, a rear addition on the existing concrete deck and a partial second floor addition. From a practical standpoint, the proposed additions and alterations provide extra space and rooms to better accommodate family needs and bring the house up to current standards with an open concept kitchen and casual dining area as well as a master bedroom with an ensuite bathroom. The addition of a projecting foyer creates the space needed for two full flights of stairs, one to the basement and one to the second floor. Access to the new entrance foyer on the main level is provided by a short flight of stairs up to a front-gabled verandah extending from the side wall of the garage to the side wall of the living room. Projecting slightly beyond the garage facade, the proposed verandah will provide semi-private living space facing Milton Avenue, which is a very attractive streetscape. Its disadvantage is that some natural light will be cut off from the living room and the horizontal family room window will be eliminated. The entire roof structure will be rebuilt with a new asphalt-shingled roof. The exterior walls will be entirely reclad with *Hardie Board* siding, a patented fiber cement product, which simulates the look of clapboard but has practical advantages in terms of maintenance and insulation.

Given that the owners preferred a more traditional look than the bungalow's *Mid-Century Modern* character, they have opted to redesign the exterior in the manner of the *Craftsman* style. The proposed adaptation of the *Craftsman* style to the existing hip-roofed bungalow is a 1½ storey variation of the front-gabled subtype. Many authentic features are incorporated into the design but the principal distinguishing feature is the retention of the existing built-in garage, with the second storey addition being located over the garage. Characteristic *Craftsman* features include the look of wood siding, the use of fieldstone veneer for the porch piers, balustrade and chimney, the wood piers on stone bases, windows with narrower multi-paned upper sashes, and the roof shape and detailing. The main roof features gables on both sides: a small decorative gabled dormer on the south-east facade and a larger shed-roofed dormer with a tripartite window on the north-west side.

¹⁵ It should be noted that in its existing interior location, the bench has only two exposed stone faces and the stone slab may be entirely supported on a two-sided base. Perhaps it could be placed against the rear concrete foundation wall between the two basement windows.

5.2 Design Evaluation of Proposed Additions and Alterations

5.2.1 MINEOLA DISTRICT PLANNING POLICIES

The Mineola West Cultural Landscape represents approximately the western half of a larger planning area identified as the Mineola District, which extends eastward from Hurontario Street to Cawthra Road. Planning policies are provided in section 4.24 of Mississauga Plan (Mineola). The Mineola District Policies first came into effect in 1997 and have since been amended only by the addition of two new policies (Mississauga Plan Amendment 25, 2007).

The Planning Context (4.24.1) provides the following description of the district:

“Most of the lands within the Mineola District are developed for detached dwellings, predominantly one storey (more recent construction is 1½ and 2 storeys) on large lots with generous setbacks. Mineola is a stable residential community with limited potential for *development*” ...“The streets, which have natural shoulders without sidewalks in many places, developed in a variable pattern ranging from a grid to crescents and cul-de-sac and are discontinuous in some places due to the *watercourse* valleys.”

The Development Concept (4.24.2) describes the Mineola District as follows:

“The Mineola District is generally a stable, established Residential District, which has, in many parts, evolved into a unique area which is characterized by low density housing on large, spacious and often heavily treed lots. The focus of these policies is on preserving the low density, low intensity *character* of existing neighbourhoods, and identifying areas for appropriate *development*. *Infill development* on detached dwelling lots will be required to recognize and *enhance* the scale and *character* of existing residential areas by having regard to the natural vegetation, lot frontages and areas, building height, coverage, mass, setbacks, privacy and overview”.

Since these policies were first written, the Mineola West area (now recognized as a cultural landscape) has proven to have significantly greater redevelopment potential than originally envisaged due to the skyrocketing value of real estate and the recent trend towards the replacement of existing dwellings with larger scale residences. If this trend continues as anticipated, the original and valued low ratio of house footprint to lot size and hence, the low intensity character of the neighbourhood will certainly be undermined. Only restrictions imposed by changes to the Zoning By-law could reduce the maximum size of the dwellings currently allowed, which seems unlikely to occur given the increased property tax base resulting from the construction of these larger residences.

5.2.2 DESIGN GUIDELINES AND SITE PLAN REQUIREMENTS

The Mineola District is designated as a Site Plan Control area. As such, City Council has endorsed specific design guidelines for dwellings which are applied in the review and approval of Site Plan applications. Site Plan approval must be obtained before a Building Permit can be issued. In April 2007, the Development and Design Division released a document entitled *Design Guidelines and Site Plan Requirements [for] New Dwellings, Replacement Housing and Additions*. The guidelines are very general as they are intended to have a City-wide application and will not be dealt with in this report but it is still the responsibility of the project architect to ensure that these guidelines are met. Many of these guidelines, however, are compatible with the specific policies developed for the Mineola District. In the absence of any design guidelines

for the Mineola West Cultural Landscape, the Mineola District Policies of Mississauga Plan were used in past reports to evaluate new replacement dwellings. However, this exercise seemed redundant in the case of the property at 1370 Milton Avenue, given that the existing dwelling is to be retained, modestly enlarged, and stylistically altered. Therefore, only the Cultural Landscape Criteria will be addressed, as required.

5.2.3 CULTURAL LANDSCAPE CRITERIA

The following checklist of criteria to be addressed for the Mineola West Cultural Landscape is found in the *City of Mississauga Cultural Landscape Inventory*, Section: L-RES-6. This Heritage Impact Statement must demonstrate how the proposed development will conserve the following criteria that define the character of Mineola West as a cultural landscape.

LANDSCAPE ENVIRONMENT

Scenic and Visual Quality: The scenic/ visual quality of the site will not be adversely affected as no changes are contemplated at this time to the landscaping in conjunction with the proposed modest additions and alterations to the existing dwelling.

Natural Environment: Given that all of the mature coniferous/ deciduous trees and other natural vegetation on the property are to be preserved, the natural environment of the site will not be adversely affected.

Landscape Design, Type and Technological Interest: The existing landscaping will be retained and there are no features of technological interest on the subject property.

HISTORICAL ASSOCIATIONS

Illustrates Style, Trend, or Pattern: The proposed *Craftsman* restyling of the existing dwelling does not have strong historical associations with the predominant subtypes of the post-war *Modern* style. It reflects the prevailing *Neoelectic* trend established for new replacement dwellings since the turn of this century.

Illustrates Important Phase in Mississauga's Social or Physical Development: Mineola West represents an important stage in Mississauga's physical development when land was relatively cheap and many residential surveys sprang up with similar characteristics after WWII. Virtually all new dwellings are significantly altering the house footprint to lot size ratio, which over time will change the character of the neighbourhood. By contrast, the existing dwelling with minor additions, alterations and restyling will preserve the original character of the neighbourhood, with its large, well-treed lots and relatively small dwellings.

BUILT ENVIRONMENT

Aesthetic/ Visual Quality: The *Craftsman* restyling of the enlarged dwelling is not as authentic as the new *Modern Contemporary* residences, given that few houses were built in Mineola West before WWII and there are no known examples of authentic Craftsman houses within the cultural landscape boundaries. The vast majority of the houses, built after the war, fall loosely into the *Modern* category, ranging from the ubiquitous unpretentious builder-designed bungalows to the less common, larger and more distinguished one to two storey architect-designed residences. However, the proposed restyling is consistent with the many variations of

the prevailing Neoelectic style chosen for most new replacement dwellings in the neighbourhood.

Consistent Scale of Built Features: The proposed new additions respect and in no way overwhelm the modest scale of the original dwelling. The change from a bungalow to a part 1½ storey structure will scarcely be noticeable from street, especially when one considers the overly large scale and shallower setback of the recently constructed two-storey residence next door at #1358.

5.3 Evaluation Summary and General Comments

The alterations and additions to the existing dwelling have been well thought out by project architect Zoran Tirnanic (*Selectus Architecture*) from a functional standpoint and, given his clients' more traditional tastes, the *Craftsman* style is a good fit for the house as enlarged in a modest way. While there are few, if any, examples of authentic *Craftsman* houses within the Mineola West Cultural Landscape, there is also little precedent for the *Neoelectic* style of the vast majority of replacement residences built to date.

Nevertheless, in the opinion of the author of this report, the most sympathetic exterior treatment for #1370 would have been to respect and enhance the *Mid-Century Modern* character of the original dwelling, certainly an option which could have been pursued. On the plus side, the final design was found to be sensitively executed by the project architect and demonstrates a good knowledge of the defining characteristics of the original early 20th century *Craftsman* style. The proposed restyling is therefore supported as a compromise with the modest size of the additions, only two of which are visible from the street. This in itself is a most welcome change from the intrusion of much larger-scale replacement residences in the neighbourhood, which not only have a significant visual impact on the streetscape but their construction inevitably leads to the loss of mature trees that are an important defining character of the cultural landscape. In terms of preserving the original character of the site, the transfer of ownership by Adriano and Maria Torresan to their daughter and spouse was most fortuitous. In any other scenario, whereby the property had been sold on the open market, the dwelling would certainly have been demolished and replaced with a larger scale residence and at least some of the mature frontyard trees removed for construction. In sum, the end result is judged to be an acceptable compromise: a modestly enlarged but stylistically altered dwelling to meet the practical family needs and aesthetic preferences of the current owners.

While the majority of original dwellings in the Mineola West Cultural Landscape, built after the Second World War, belong stylistically to the *Modern* category, as the housing stock continues to be replaced, the dominant architectural character of the neighbourhood will inevitably change. Over time there will certainly be more large-scale residences, which will eventually outnumber the original smaller dwellings and most will likely follow the predominant *Neoelectic* trend. The very recent *Modern Contemporary* trend is encouraging in that this style lends itself to the design of houses which are a better fit for Mineola West from the standpoint of historical continuity with the *Mid-Century Modern* style prevalent in the 1950s and 60s. Moreover, housing of that era, particularly architect-designed examples, had a more symbiotic relationship with the natural environment as do the recently built examples.

6 SOURCES, CONTACTS, SITE VISITS AND QUALIFICATIONS

NOTE: A number of the sources cited below are on-line resources provided by the City of Mississauga on its website (abbreviated as CM). Navigation links are provided for documents available on-line.

6.1 Sources

6.1.1 City of Mississauga and Heritage Mississauga Documents

Landplan Collaborative Ltd., *Cultural Landscape Inventory* (January 2005)

Property Information for 1370 Milton Avenue and other nearby properties: CM > Services Online > Plan & Build eServices > Property Information.

City of Mississauga Zoning By-law and Index Map: CM > Residents > Planning & Building > Official Plans & Zoning By-laws > Zoning By-Law

Mississauga Plan District Land Use Index Map and Mississauga Plan, Section 2.4: Mineola District Policies of Mississauga Plan: Section 4.24 (amended September 2007): CM > Residents > Planning & Building > Official Plans & Zoning By-laws > Mississauga Plan

City of Mississauga, *Cultural Landscape Heritage Impact Statement Terms of Reference*, June 2012

CM> 1996 Census Profile – Mineola (Mississauga Data: www.mississauga.ca/data)

CM> Aerial Photos, 1952 to 2010: CM > eMaps > Map Layers > Aerial Photography

Heritage Mississauga: www.heritagemississauga.com/page/History

6.1.2 Secondary Sources

Virginia and Lee McAlester, *A Field Guide to American Houses* (Alfred A. Knopf Inc.: 1984)

Ontario Architecture website created by Shannon Kyles, Mohawk College, City of Hamilton: <http://www.ontarioarchitecture.com> > Building Styles > Arts and Crafts (1890 – 1940)

Kathleen A. Hicks, *Dixie: Orchards to Industry* (Friends of the Mississauga Library System: 2006), Part 2: www.mississauga.ca/portal/residents/ebooks

Kathleen A Hicks, *Port Credit: Past to Present* (Friends of the Mississauga Library System: first edition, 2007)

Meaghan Fitzgibbon, “*The Mississaugas: The Treaty Period*”; Internship Research Project through the University of Toronto for Heritage Mississauga, 2007

Mississauga’s Heritage: The Formative Years, 1798-1879 (City of Mississauga: 1983)

6.1.3 Miscellaneous

Ontario Ministry of Municipal Affairs and Housing, *Provincial Policy Statement*, 2005: PDF version available online at www.mah.gov.on.ca/Asset1421.aspx

Former reports by Gillespie Heritage Consulting: see Section **16**

Site Plan and Architectural Drawings by *Selectus Architecture*

Topographical Survey Plan prepared by GTA Surveying Inc., 31 May 2012: **Figure 10**

Peel – Land Registry Office #43: Title search documents including the 1913 Plan of Subdivision E-13. -

6.2 Contacts

Tania and Jesse Migliaro, joint owners of 1370 Milton Avenue

CONTACT INFORMATION: Jesse Migliaro, 3170 Milton Avenue, City of Mississauga LG5 2C6
905 891 7818

Laura Waldie, Heritage Co-ordinator, Community Services, City of Mississauga

Chris Aplin, M.C.A. Paralegal Services, Brampton (title search for 1370 Milton Avenue, completed August 2013)

6.3 Site Visits

One site visit was made on August 9th, when Stewart Patch (spouse) and myself met with Tania Migliaro, whose husband had planned to meet us but was unavailable at the last minute. Photos were then taken of the site, setting and the house exterior and interior.

6.4 Qualifications of the Author

The author of this Heritage Impact Statement, Ann Gillespie, graduated in 1985 from the Institute of Canadian Studies, Carleton University, Ottawa with an M.A. (1985) specializing in the history of Canadian architecture and building technology. Her thesis topic focused on the manufacture and use of decorative sheet-metal building components in Canada from 1870 to 1930 (galvanized iron cornices, pressed-metal ceilings, etc.).

After graduation I joined the Research Sub-committee of the Hamilton LACAC (Local Architectural Conservation Advisory Committee) and soon afterwards gained employment with the City of Hamilton as a research assistant to Architectural Historian Nina Chapple. I remained with the City in the position of Heritage Researcher/ Planner for 16 years. During this time I researched and prepared numerous designation reports for buildings to be designated under Part IV the Ontario Heritage Act and contributed to the research for and preparation of feasibility studies and plans for several heritage conservation districts in the former City of Hamilton, notably the *St. Boulevard Heritage Conservation District and Plan* (April 1992) for which I was the principal author. After taking early retirement at the end of 2001, I became a part-time heritage consultant and have been a member of CAHP (Canadian Association of Heritage Professionals) since 2002.

Most relevant to this report are the following Heritage Impact Statements previously undertaken for properties in the City of Mississauga by Gillespie Heritage Consulting:

Heritage Impact Statement for 1171 Stavebank Road, in the Mineola West Cultural Landscape, City of Mississauga (April 2013)

Heritage Impact Statement for 350 Indian Valley Road, in the Mineola West Cultural Landscape, City of Mississauga (October 2011)

Heritage Impact Statement for 7157 Lancaster Avenue, Malton, City of Mississauga (May 2011)

Heritage Impact Statement for 60 Inglewood Drive, in the Mineola West Cultural Landscape, City of Mississauga (March 2009)

Heritage Impact Statement for 1525 Glenburnie Road, in the Mineola West Cultural Landscape, City of Mississauga (February 2008)

Heritage Impact Statement for 14 Princess Street, Streetsville, City of Mississauga (December 2007)

Heritage Impact Statement for 16 Front Street, Old Port Credit Heritage Conservation District, City of Mississauga (November 2006)

7 ILLUSTRATIONS

The following illustrations, identified as **Figure 1, 2**, etc., include maps, aerial photos, site plans and floor plans of the existing dwelling and for the proposed additions/ alterations. References to links from City of Mississauga website may be abbreviated as CM > [specific page].

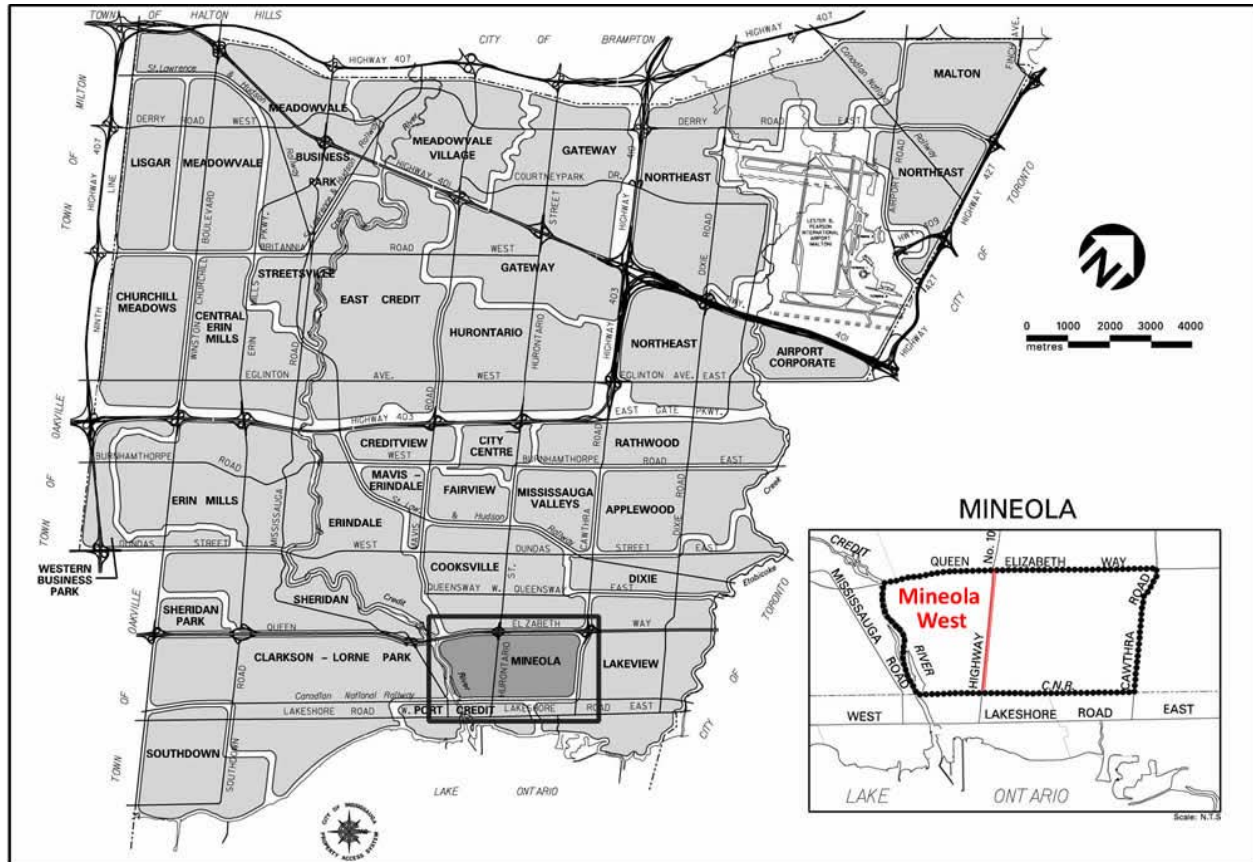


Figure 1: City of Mississauga map showing all of the neighbourhoods identified for planning purposes, with the Mineola Neighbourhood highlighted and the Mineola West portion located west of Hurontario Street (Highway 10) identified in the detailed map.

SOURCE: Mississauga Data: 1996 Census Profile – Mineola: www5.mississauga.ca/research_catalogue/B-28_mineola1.PDF; detailed map annotated by the author of this report.



Figure 2: Location map and more detailed aerial photo showing the location of Milton Avenue and the subject property at #1370.

SOURCE: CM > eMaps > Map Layers; annotations by the author of this report. NOTE: Google provides an excellent location map with all the streets identified but views cannot be copied for use in a Word document.

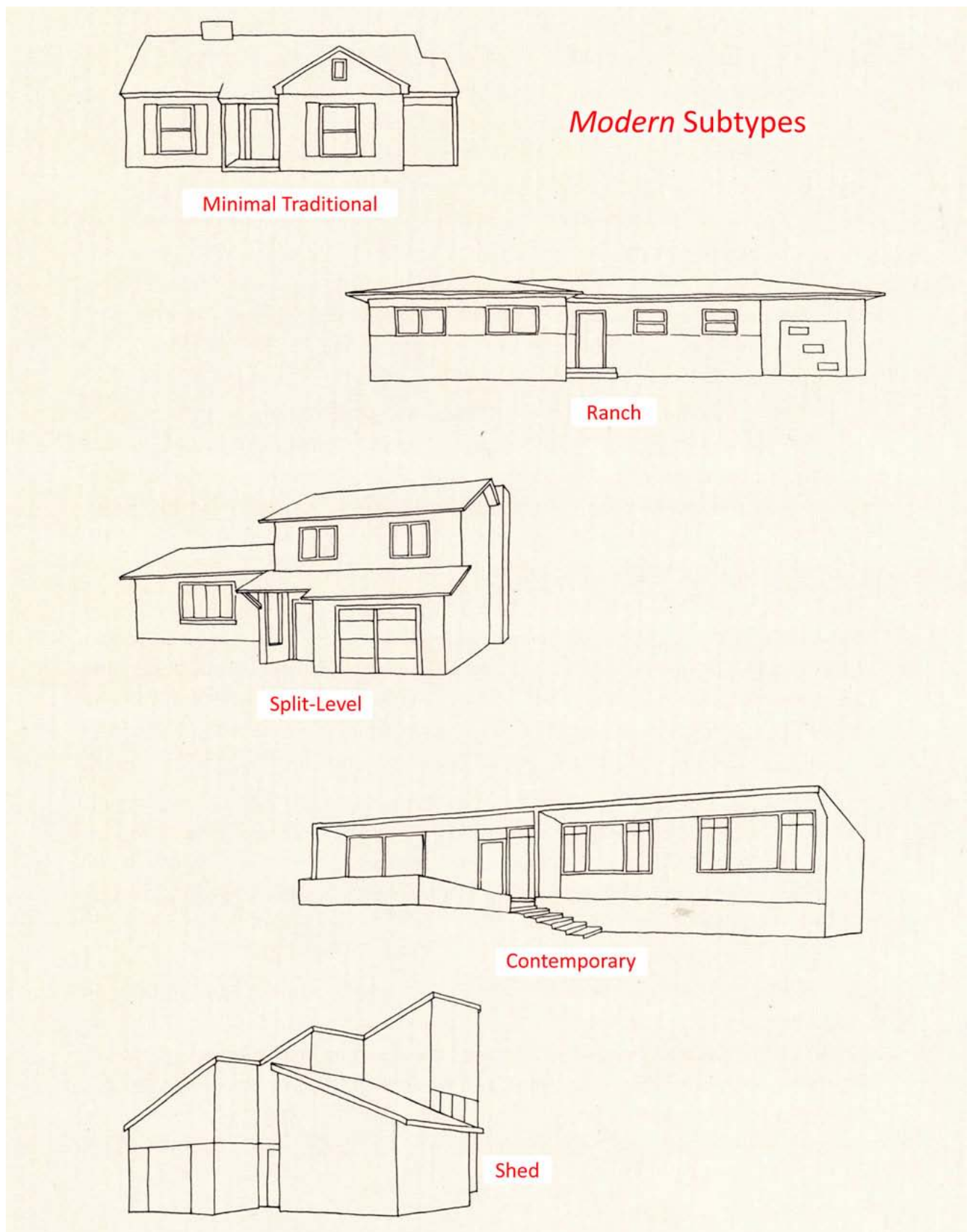


Figure 3: Drawings of the five sub-types of the *Modern* style.

SOURCE: *A Field Guide to American Houses*, p. 477; text annotations by the author of this report



Figure 4: Existing late 1930s bungalow at 1171 Stavebank Road to be replaced with the *Modern Contemporary* two-storey residence shown in the front elevation, part of a set of drawings prepared by the project architect, Linebox Studio Inc. Demolition of the existing house and construction of the new dwelling had not begun at the time of our site visit to 1370 Milton Avenue on August 9.

SOURCE: Cover illustration for the *Heritage Impact Statement for 1171 Stavebank Road in the Mineola West Cultural Landscape*, City of Mississauga (Gillespie Heritage Consulting, April 2013).



Craftsman or Arts and Crafts

Example of the front-gabled version of a *Craftsman* bungalow, featuring a raised basement, entrance porch with heavy tapered piers supporting paired columns, exposed rafters and false beams below the eaves, and windows with multi-paned upper sashes.

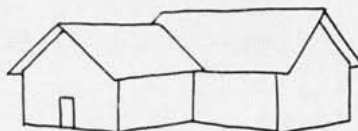
In Ontario wall materials include natural stone, brick, wood, shingles, and roughcast stucco, or a combination for decorative effect.

Principal Subtypes

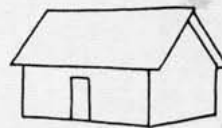
Front-Gabled Roof



Cross-Gabled Roof



Side-Gabled Roof



Hipped Roof



Figure 5: Drawings of the four subtypes of the *Craftsman* style.

SOURCE: *A Field Guide to American Houses*, p. 452; text annotations by the author of this report.

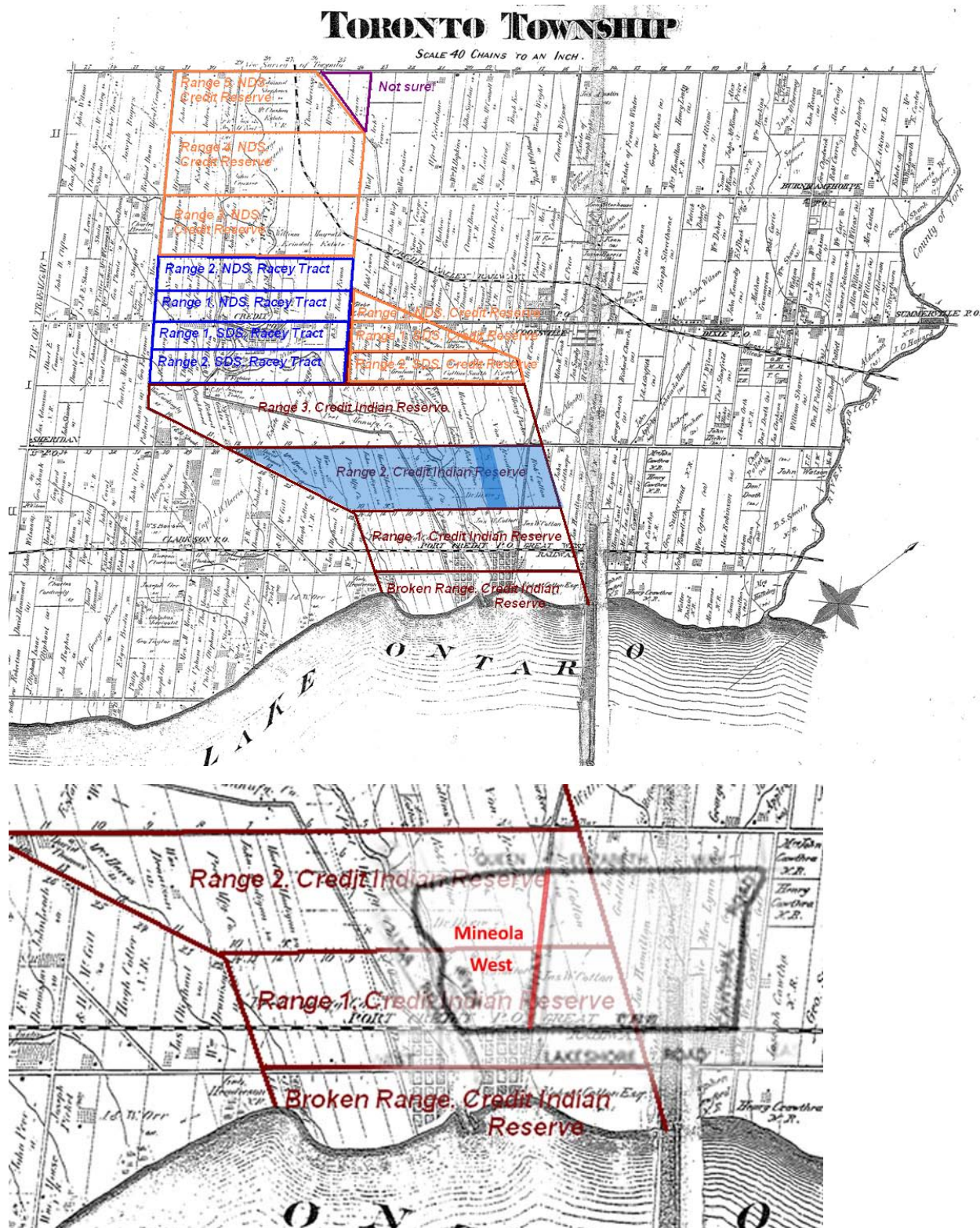


Figure 6: 1877 Map of Toronto Township showing Range 2 Lot 3 of the Credit Indian Reserve; below a detail superimposing a map of the Mineola Neighbourhood showing Mineola West and its east boundary formed by Hurontario Street.

SOURCE: Digital copy provided by Matthew Wilkinson, Heritage Mississauga; base map from the 1877 *Illustrated Historical Atlas of the County of Peel*; highlighting of Ranges 1 and 2 and Mineola West layer added by the author of this report.

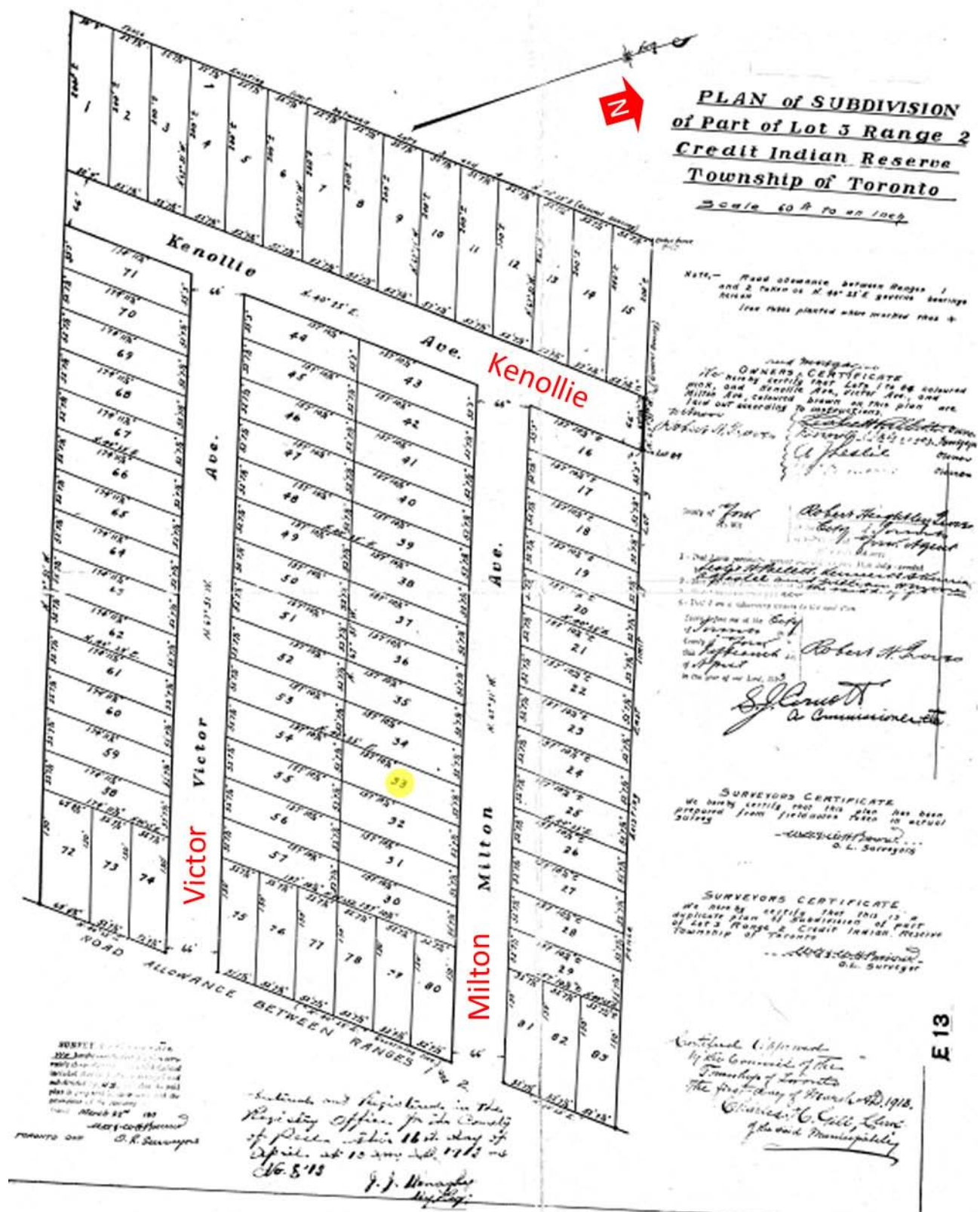


Figure 7: Plan of Subdivision of Part of Lot 3 Range 2 Credit Indian Reserve Township of Toronto, prepared by [name?], O.L. Surveyor.

SOURCE: White print obtained by Chris Aplin from the Peel Land Registry Office.

NOTE: Colour annotations on this figure and the following ones are by the author of this report.

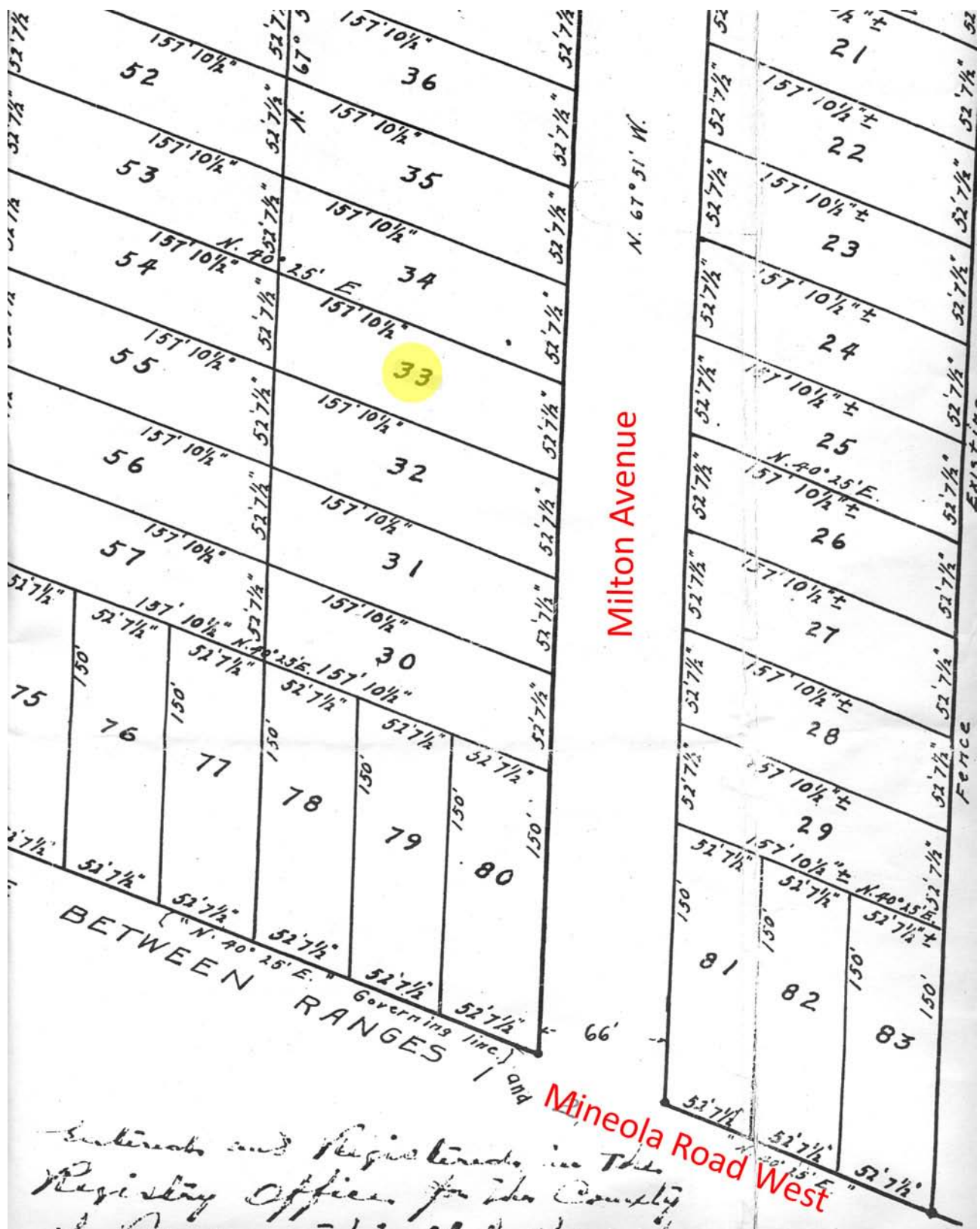
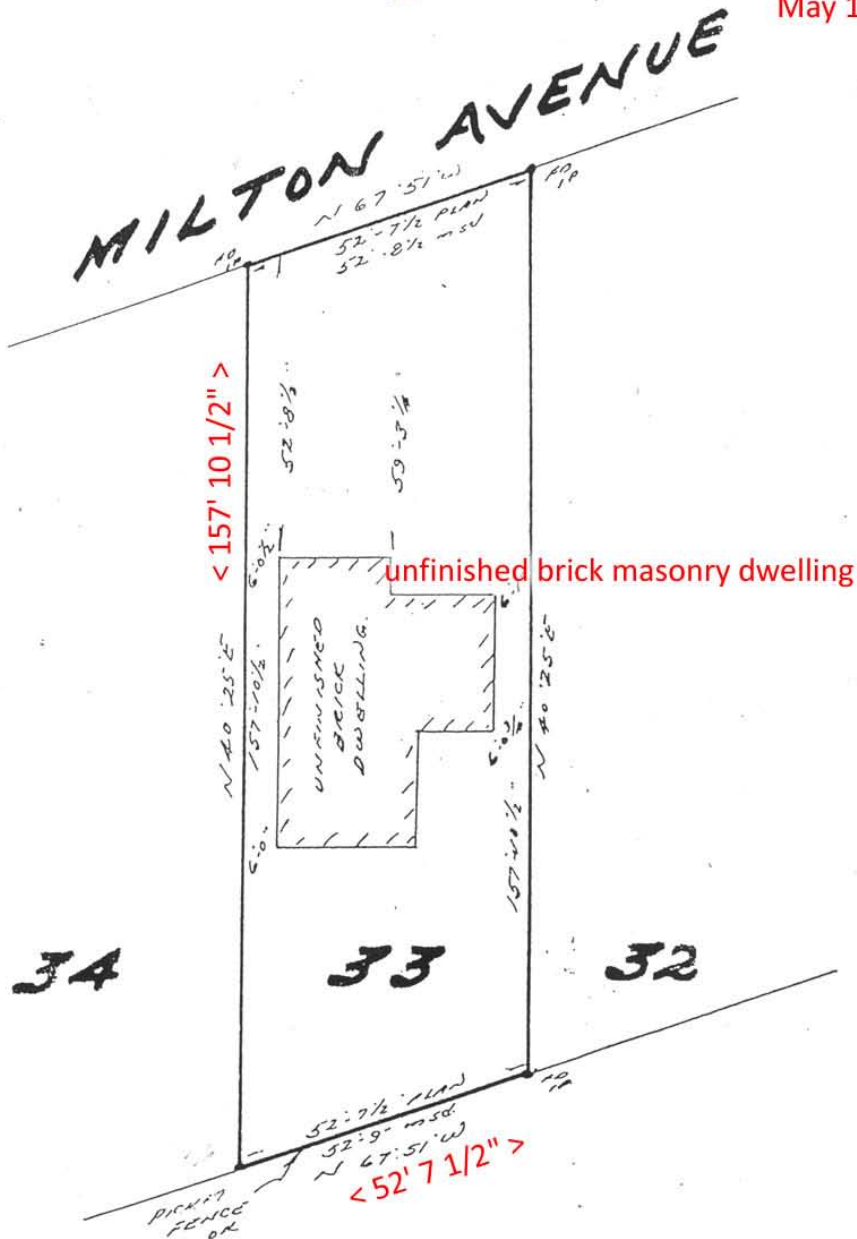


Figure 8: Section of above Plan of Subdivision, showing Lot 33.

SCALE: 1"=30'

NTAF 17, 1962

May 17, 1962



SOURCE: Scan of hard copy provided by the current owners.

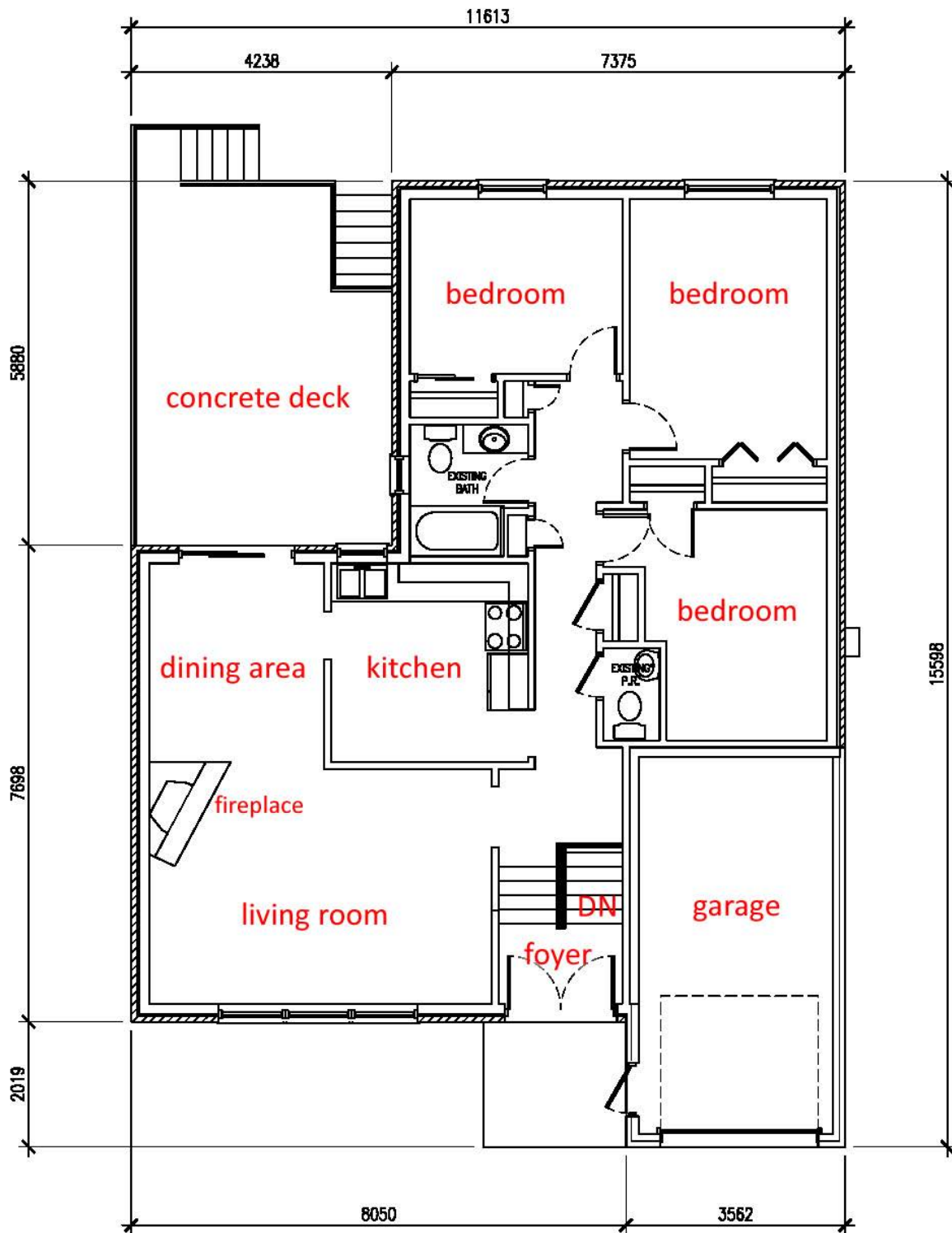


Figure 10: Existing ground floor plan with rooms identified.

SOURCE: Cropped section of PDF provided by the current owners as part of a set of 4 drawings prepared by *Selectus Architecture* for the proposed additions and alterations, June 2013. NOTE: PDF versions of the original set of architectural drawings, the site plan and streetscape elevation are provided on the accompanying CD.

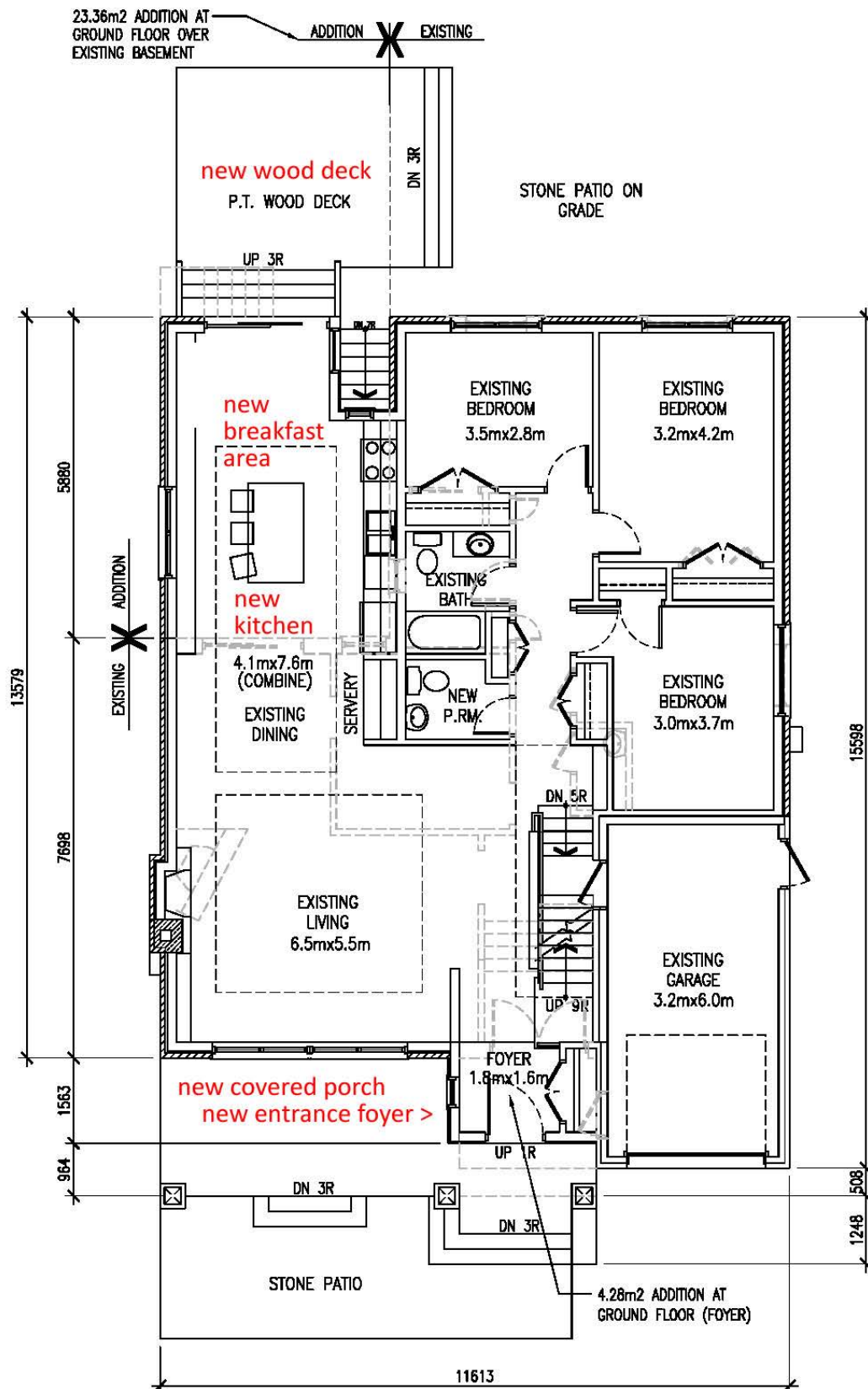


Figure 12: Proposed ground floor plan, with new spaces identified and new wall construction highlighted by the author of this report. SOURCE: See **Figure 10**.

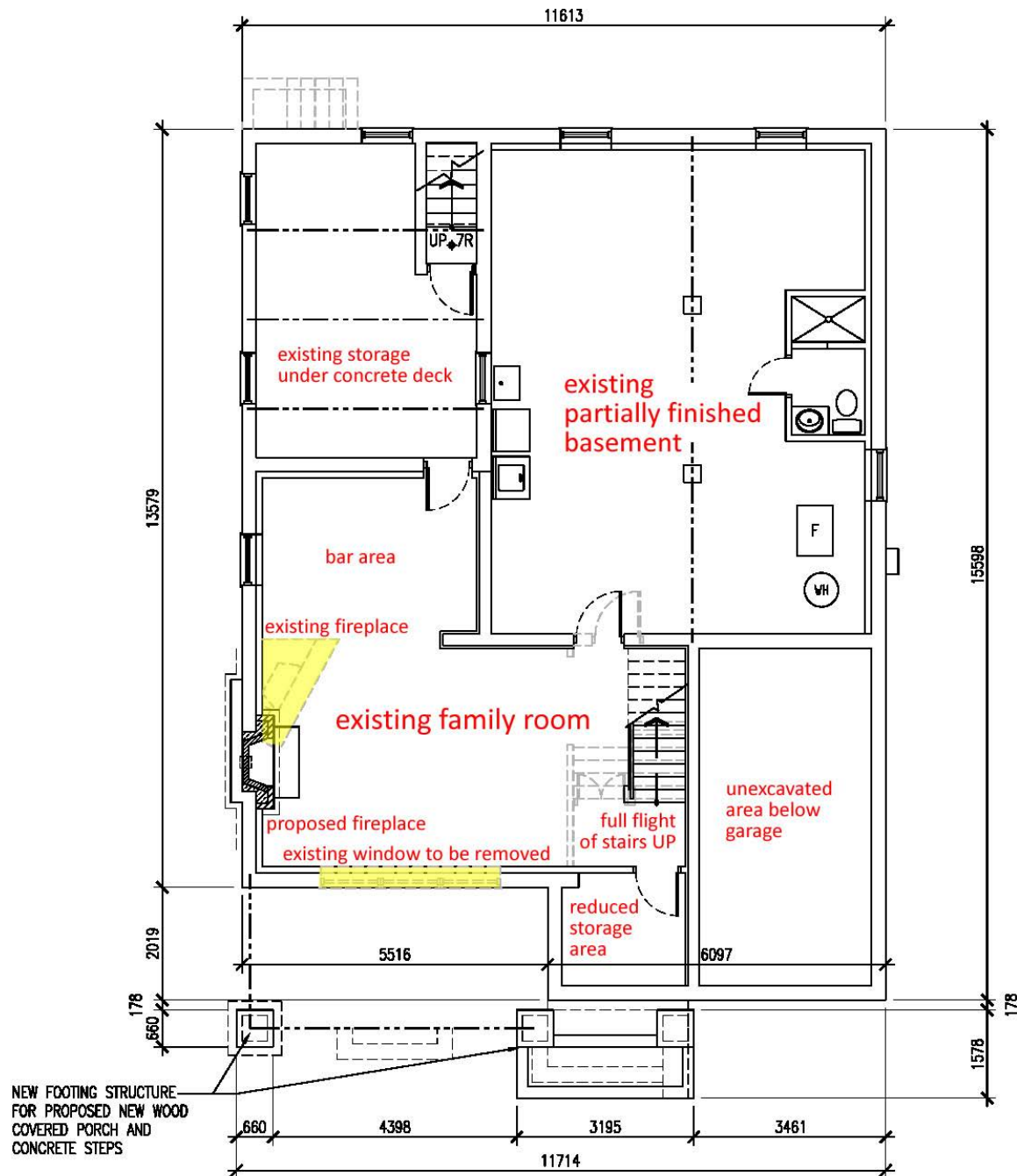


Figure 13: Proposed alterations to basement with existing features to be modified highlighted in yellow. With the entrance foyer to be raised to the main floor level, a full staircase from the basement will be needed and its direction reversed, thereby eliminating a portion of the existing storage area (with double doors).

SOURCE: See **Figure 10**.

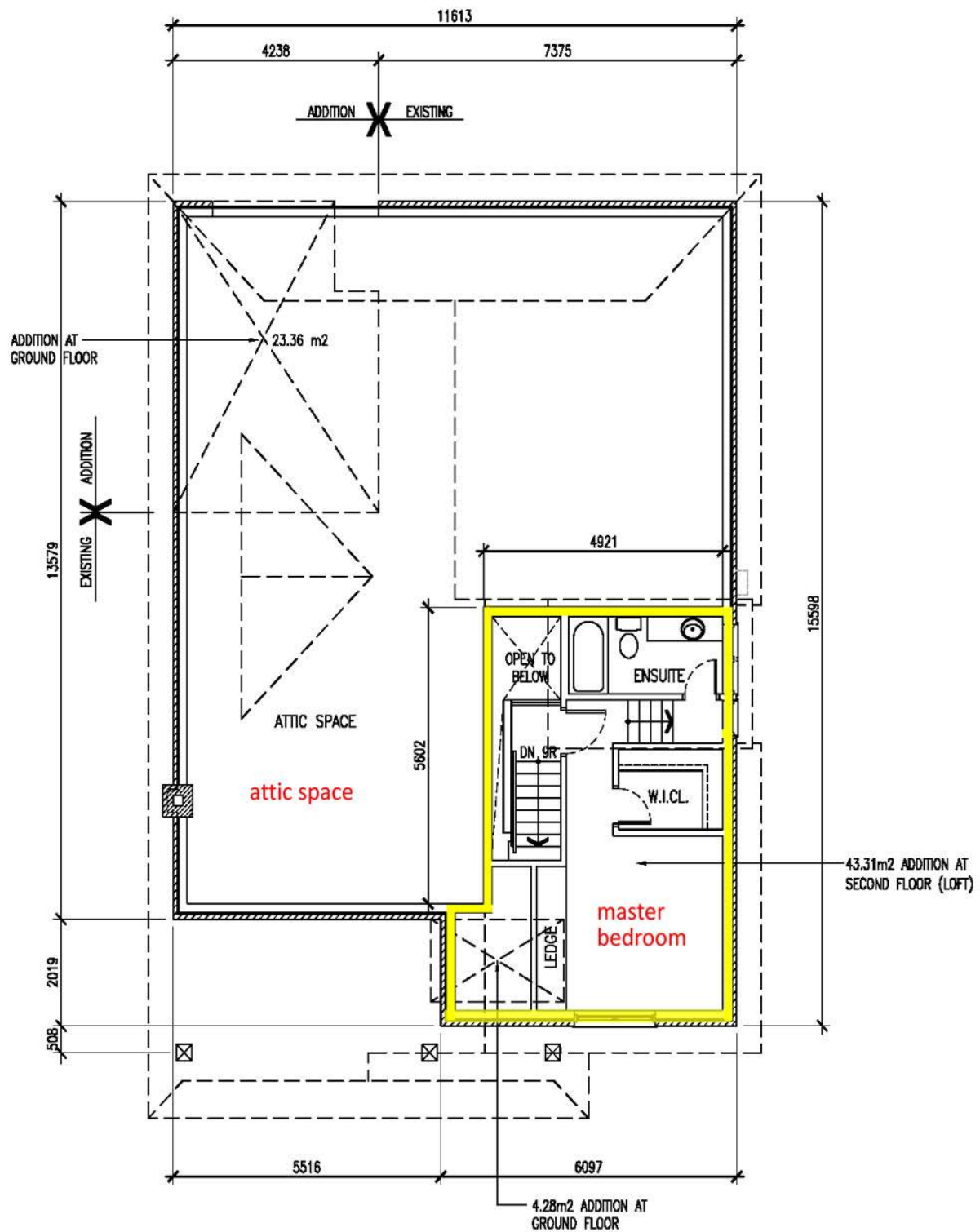


Figure 14: Proposed second floor plan, with new wall construction highlighted and text annotations by the author of this report.

SOURCE: See **Figure 10**.

Front (north-east) elevation



Rear (south-west) elevation

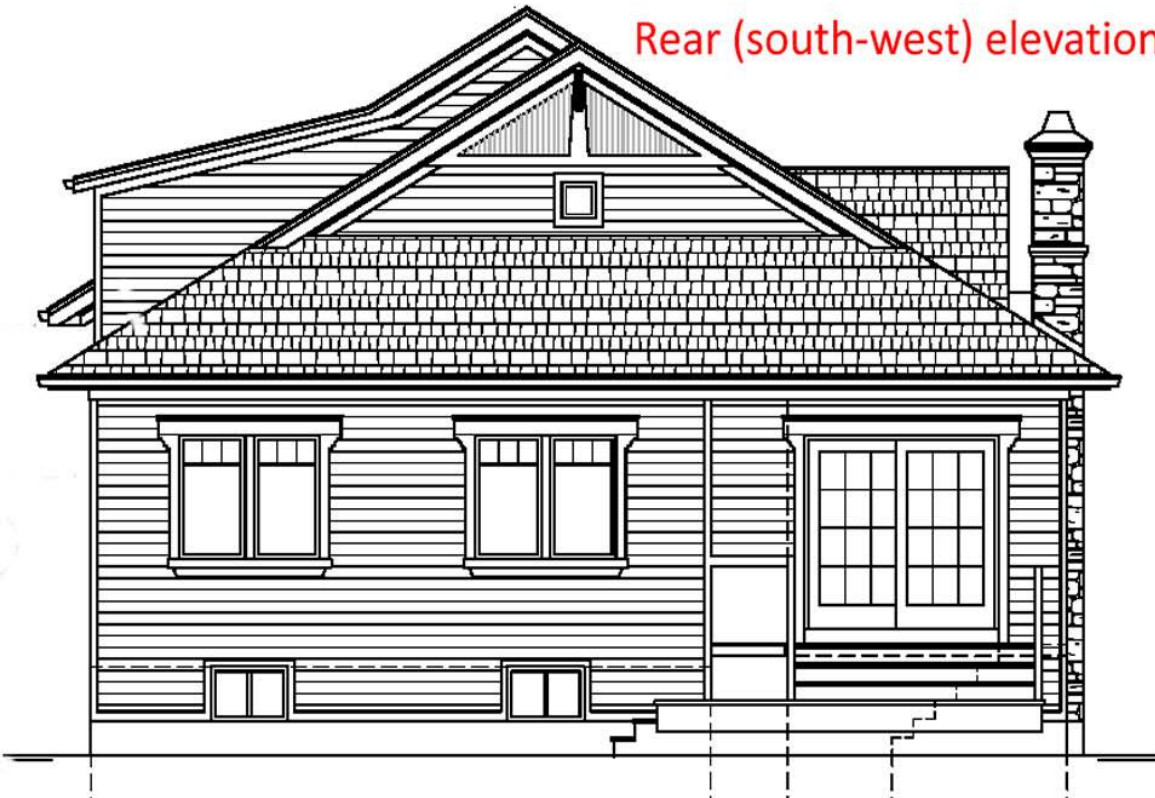


Figure 15: Proposed front and side elevations, with text annotations by the author of this report. Main floor windows, front doorway, garage entrance and sliding patio doors are all new.

SOURCE: See **Figure 10**.

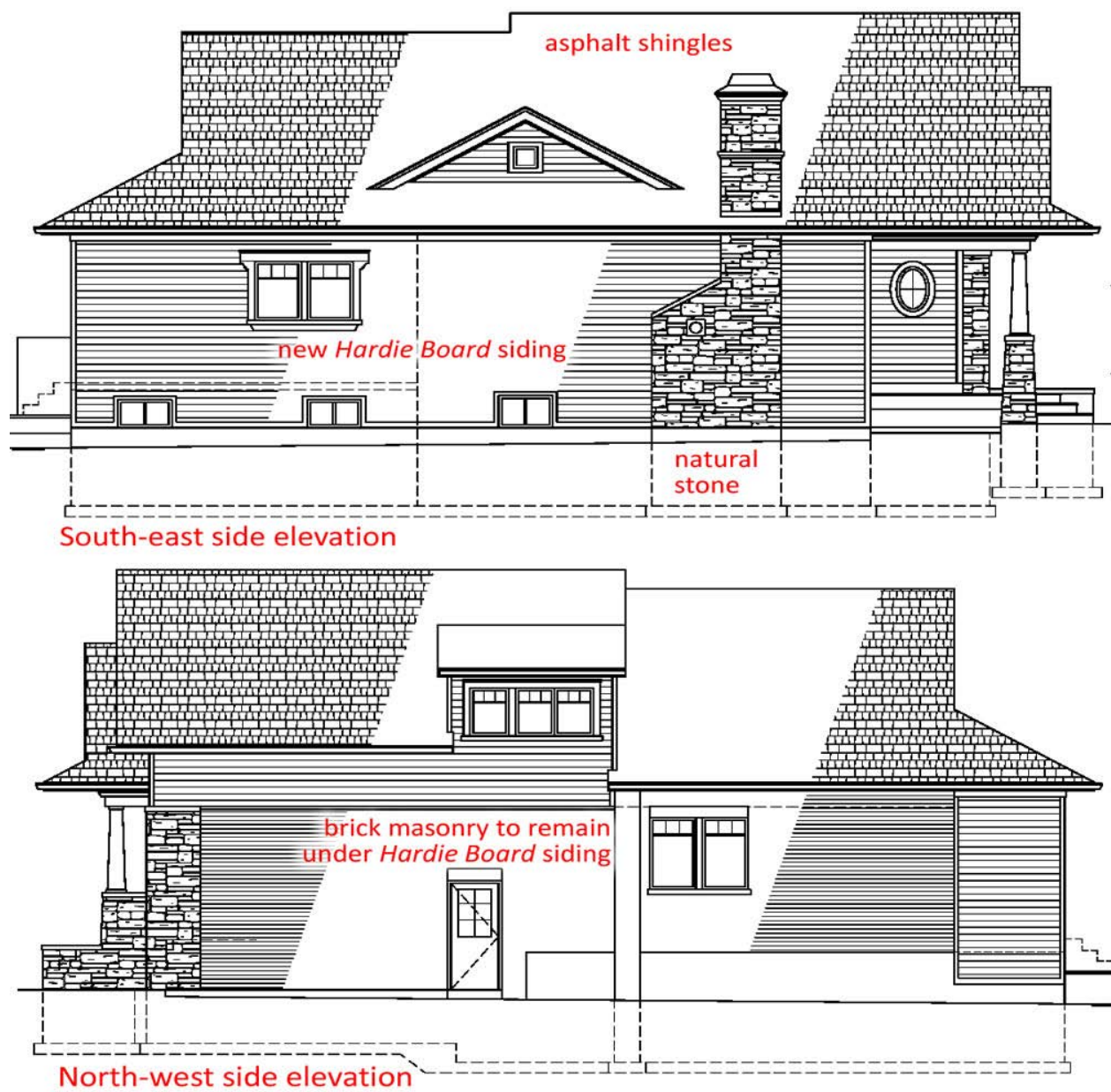


Figure 16: Proposed side elevations, with text annotations by the author of this report.

SOURCE: See **Figure 10**.



Figure 17: Streetscape elevation showing the front facades of 1370 Milton Avenue, to the left a large *Neoelectec* replacement residence at #1358 and to the right an original side-gabled *Ranch* house at #1374. SOURCE: Rendering prepared by *Selectus Architecture* for this report.

8 SITE VISIT PHOTOGRAPHS

NOTE: Except where otherwise indicated, photos taken by Stewart Patch, August 2013.

8.1 Setting: General Views

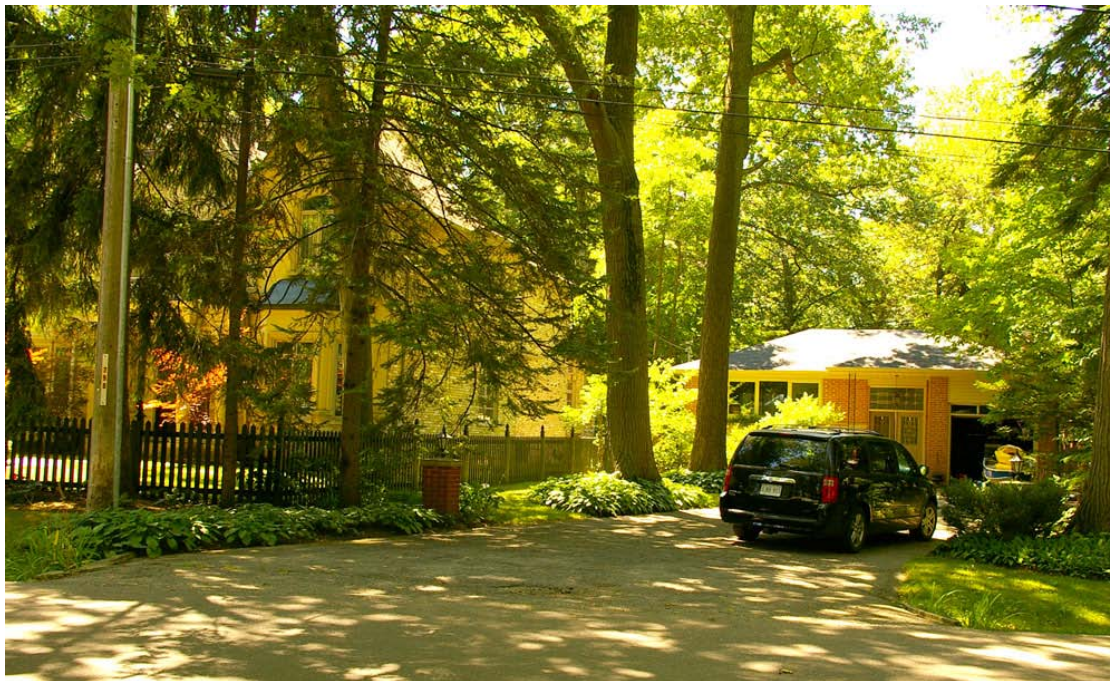


Photo 1: View looking almost directly south of 1370 Milton Avenue and the adjacent property at #1358.



Photo 2: View looking west on Milton Avenue with #1370 on the far left. Shows the rustic character of the roadways in Mineola West where there are no sidewalks. The only parked car belongs to the author of this report.



Photo 3: Same view showing both sides of Milton Avenue looking towards its junction with Kenollie Avenue. This photo clearly shows the scenic quality of the street with its continuous canopy formed by numerous mature trees standing close to the roadway.



Photo 4: View looking south-west of the property at #1365 directly across from #1370 and the adjacent property at #1371.

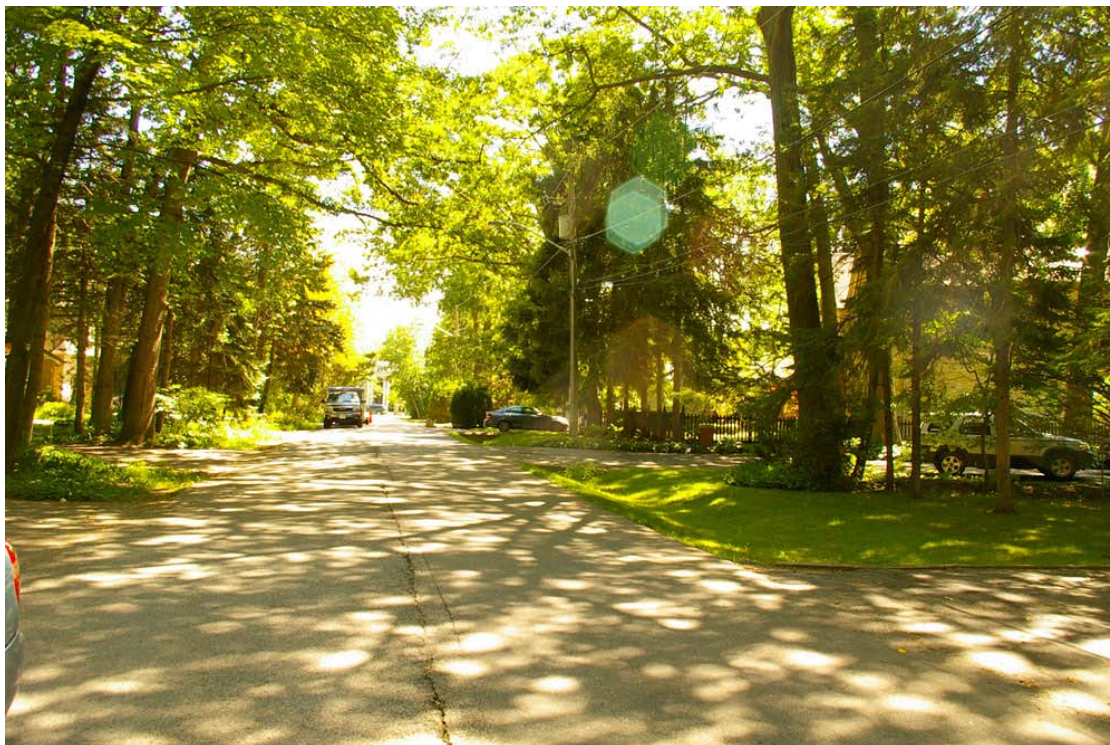


Photo 5: View looking from the author's car in the opposite direction (south-east) towards Mineola Road West. Driveway with parked car on the right is 1370 Milton Avenue.

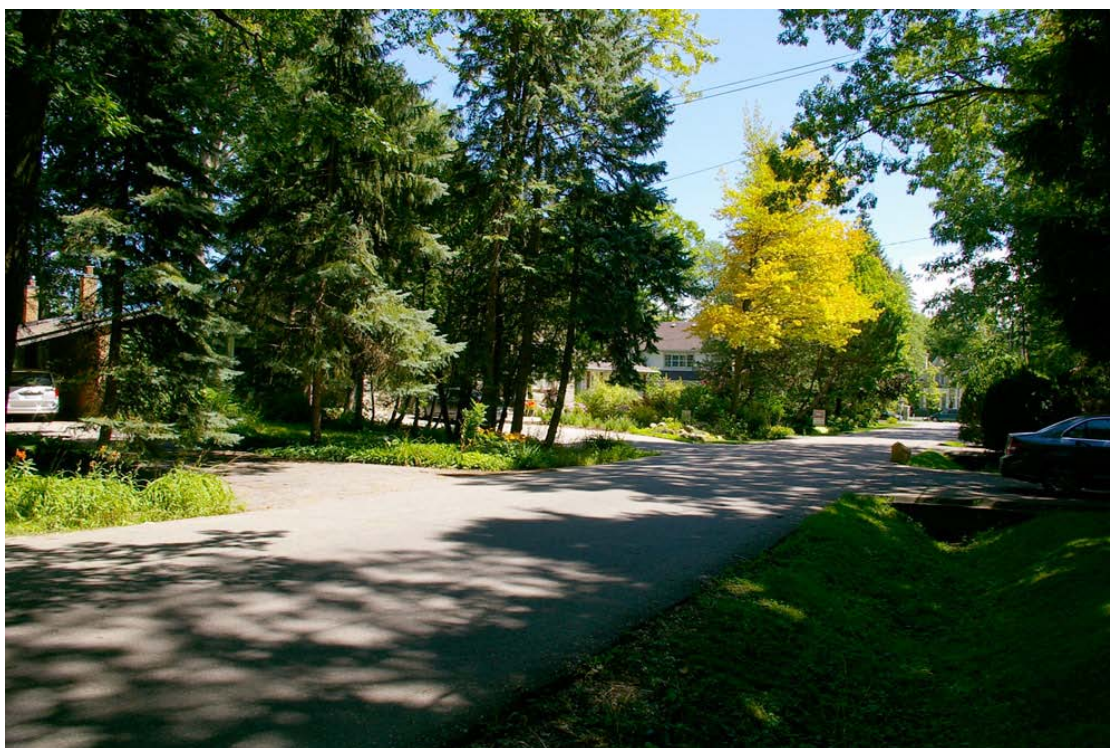


Photo 6: View looking almost directly east with a house on Mineola Road West visible at the end of the street. Realty sign is on the property at 1343 Milton Avenue, shown in the following photo.

8.2 Setting: Individual Houses

NOTE: The following photos are organized chronologically and by house type: original houses > enlarged and altered original dwellings > new replacement residences. Building Permit records on the CM website provided approximate construction dates for replacement dwellings.



Photo 7: 1353 Milton Avenue: A *Miminal Traditional* raised brick masonry bungalow, with a moderately-pitched hipped roof and projecting gable over the hexagonal window bay with a stone-faced base, and original windows. Estimated date of construction: late 1940s or early 50s. Facade little altered except for the front doorway. Photo taken by Jesse Migliaro in 2006, just before the dwelling was demolished for the construction of a new two-storey residence. Visible to the right is the existing bungalow at #1343.



Photo 8: 1343 Milton Avenue: A circa 1950s *Ranch* style brick masonry bungalow with a raised basement, and low-pitched hipped roof but no garage. Facade little altered apart from the replacement casement windows.

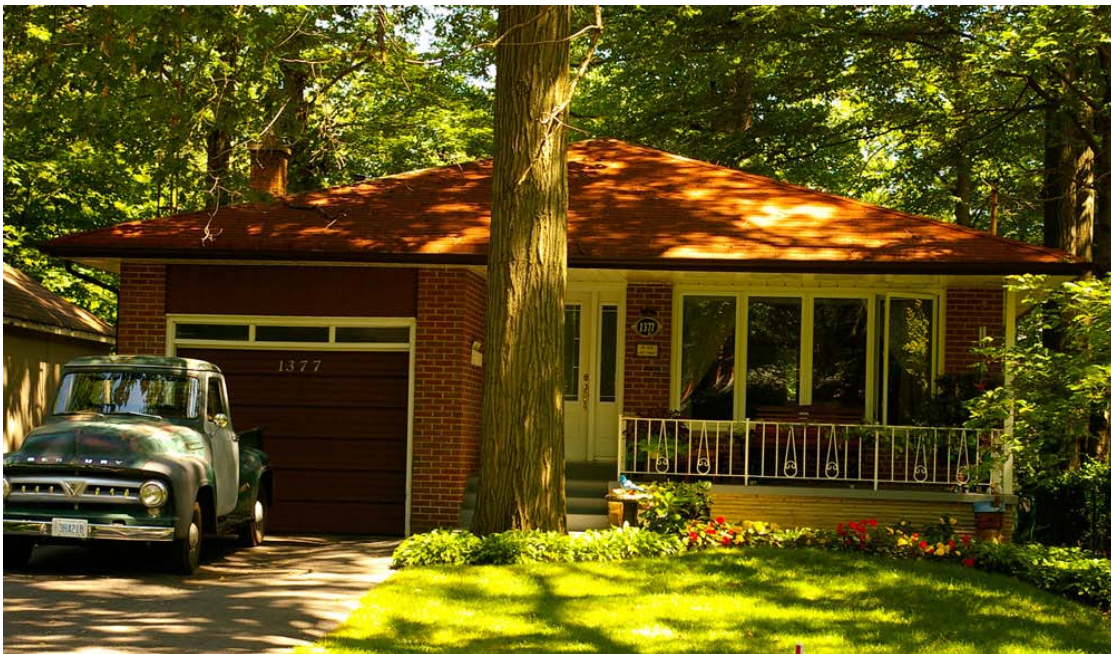


Photo 9: 1377 Milton Avenue: A variation of the post-war *Ranch* style brick-masonry bungalow with a hipped roof, slightly raised basement, and built-in garage. Similar in design to the subject property except the front entrance is at the same level as the main floor and it has a full verandah extending from the exposed side wall of the garage. Facade altered only by the replacement doorway and four-unit casement window.



Photo 10: 1384 Milton Avenue: Another variation of the post-war *Ranch* style brick masonry bungalow with a hipped roof, slightly raised basement, and an attached garage with a lower hipped roof (appears to be original not added). Similarly to #1343 and #1377, the main entrance is at the same level as the main floor.



Photo 11: 1394 Milton Avenue: A post-war bungalow with a raised basement and side-gabled roof. Recent alterations include the addition of raised beds on either side of a central stairway up to the front entrance with a *Neoelectic* style front-gabled porch. Replacement windows likely reflect the configuration of the original windows with a wide fixed unit flanked by vertical sash windows.



Photo 12: 1404 Milton Avenue: A wider but shallower wood-frame *Ranch* style house with a side-gabled roof. Cladding consists of wide horizontal boards (may not be original) with brick veneer below the windows on the front facade. An attached garage appears to be a later addition. The original picture window on the left features a wide fixed centre unit flanked by narrow vertical sash units.

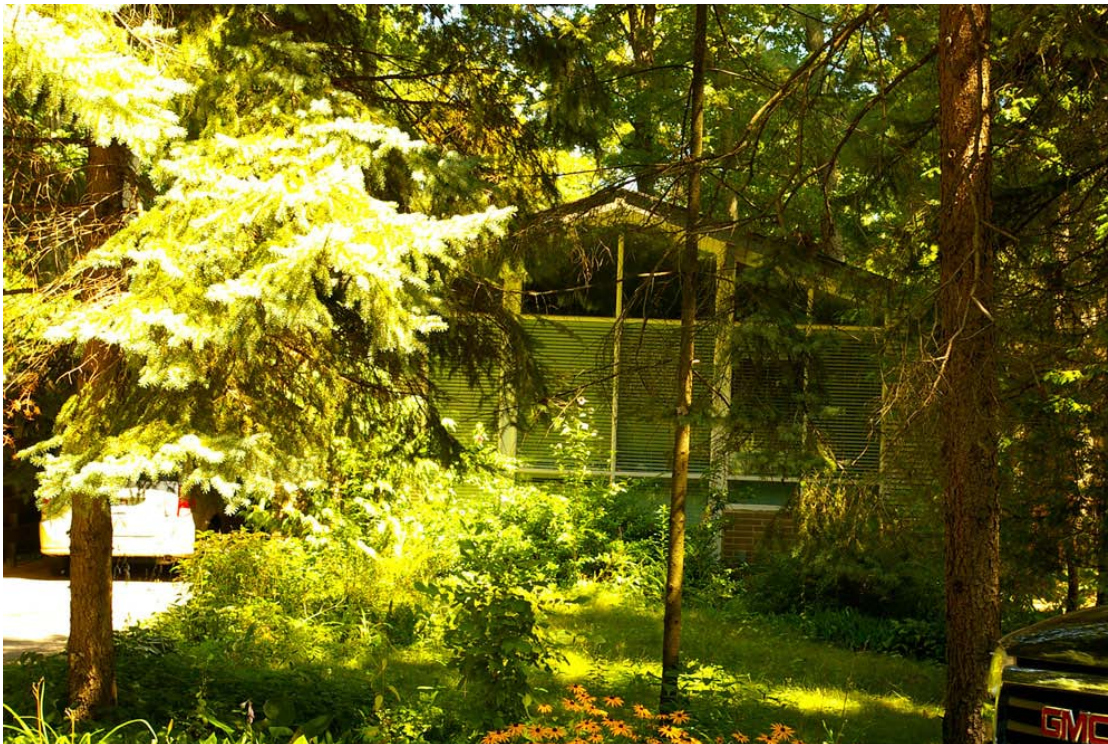


Photo 13: 1359 Milton Avenue: A front-gabled *Ranch*-style house with a large multi-paned picture window extending up to the roof gable. The roof extends to the left beyond the side wall to form a carport (obscured behind the tree foliage). See facade elevation of a similar dwelling with built-in carport #1374. (**Figure 17**)



Photo 14: 1413 Milton Avenue: Appears to be an original pre-WWII two-storey dwelling with a wrap-around one-storey addition, including a garage, with the look of a colonnade. According to Building Permit records, it was altered in 1964, which is certainly an early date for such an extensive addition. Photo clearly shows the drainage ditches found throughout Mineola West.



Photo 15: 1389 Milton Avenue: Appears to be an original one-storey dwelling, possibly with an attached garage, with a partial second storey addition. With its complex steep-pitched roof with dormers, stucco facing and replacement front doorway and windows, what must have been a *Ranch*-style dwelling has been altered beyond recognition (in 1988 according to Building Permit records).



Photo 16: 1365 Milton Avenue: An original *Ranch* style dwelling with a carport converted to living space on the left, a second storey addition and carport extension. According to Building Permit records, an addition was put on in 1993.

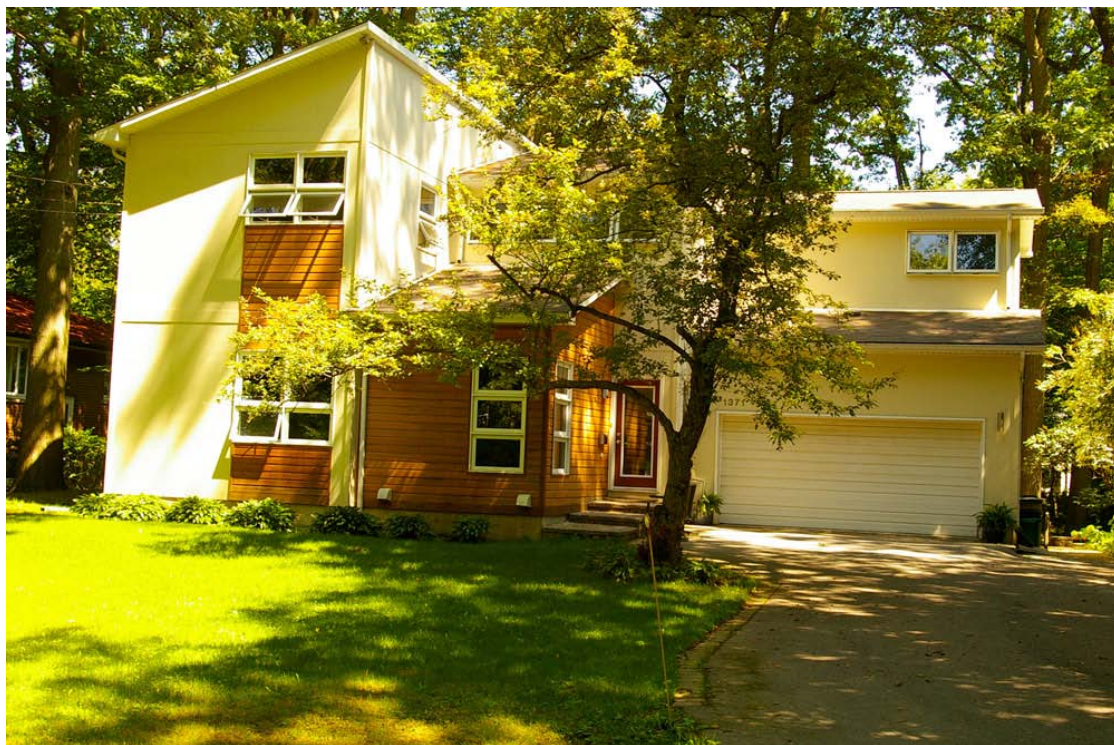


Photo 17: 1371 Milton Avenue: A new one to two-storey *Modern Contemporary* dwelling, built in 2006, with a double garage, stucco-like finish with horizontal wood board accents. A pleasing design for a not overly large residence that complements the original *Mid-20th-Century Modern* character of most original dwellings. .



Photo 18: 123 Kenollie Avenue: A second *Modern Contemporary* house currently under construction on the dead end of Kenollie (lots 14 and 15 of the 1913 Plan of Subdivision). Still atypical of the design of replacement dwellings in Mineola West, as illustrated by the following examples.



Photo 19: 137 Kenollie Avenue (adjacent to #123): A recent and very substantial replacement residence built in 1910 on a wide lot facing Milton Avenue. This dwelling is both wide and deep with a side-facing double garage. Typical *Neoelectic* features include a steep-pitched complex roof form with gables, arched, multi-paned windows, and natural stone veneer facing.



Photo 20: 1405 Milton Avenue: A typical large two-storey *Neoeclectic* residence built in 2006. Built on an original lot (#18), the relatively narrow front facade is deceptive as the house is much deeper than it is wide. Similar design features and wall cladding to the house at 137 Kenollie Avenue.

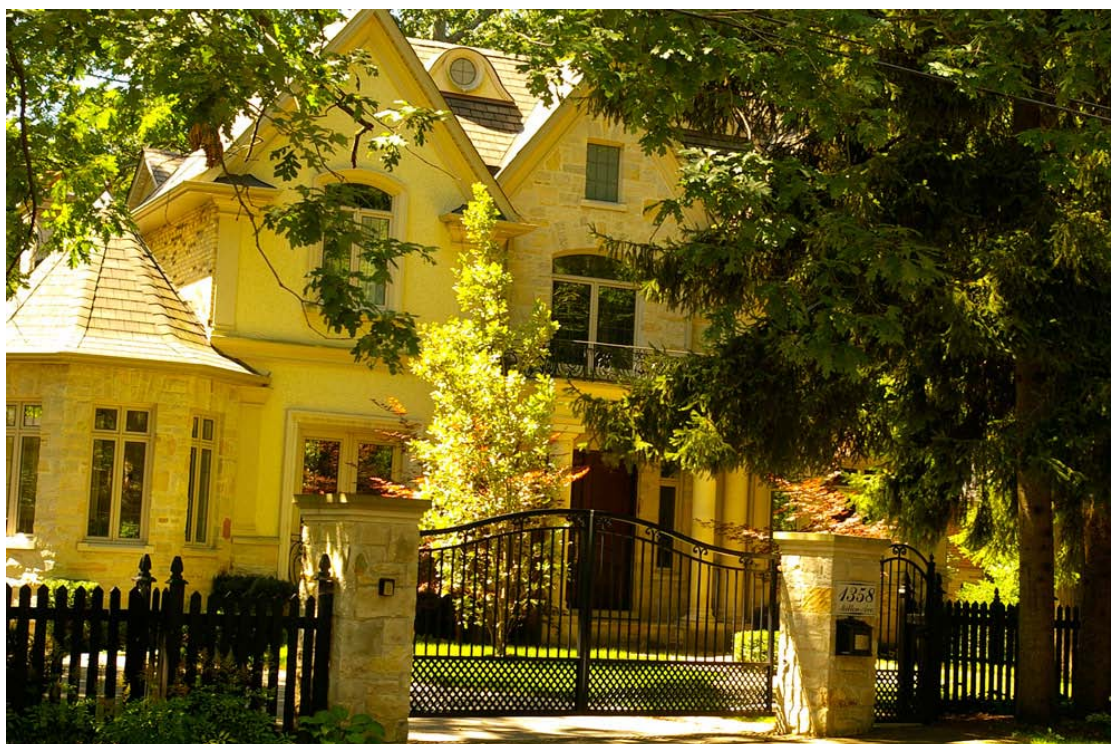


Photo 21: 1358 Milton Avenue (adjacent to #1370): Another substantial two-storey *Neoeclectic* residence built in 2007 on a wider lot. Driveway leads to a side-facing double garage behind the turreted hexagonal conservatory extension. Wall cladding is natural stone veneer with stucco accents.



Photo 22: 1358 Milton Avenue: Angled view from the driveway of #1370, showing the building depth and massive side wall that towers above the subject property.



Photo 23: 1380 Milton Avenue: A two-storey frame dwelling erected in 2010 to replace a one-storey post-war bungalow on an original lot (Lot 35). A fairly attractive and not excessively large dwelling whose design has some simplified *Craftsman* features such as the roof shape with its flared eaves and open verandah. Siding resembles horizontal wood siding and could be *Hardie Board*.

8.3 Subject Property: Lot and House Exterior



Photo 24: View showing the full facade and chimney, with the side wall of #1358 partially visible. Photo taken by Jesse Migliaro, September 2013.



Photo 25: View of the driveway, frontyard and front facade of the house, partially obscured by trunks of the two mature oak trees.



Photo 26: Closer view of front facade looking south-west.



Photo 27: Partial view of front facade showing the original living and family room windows (with aluminum storm windows and decorative shutters since removed), the coursed stone veneer from grade level to a continuous rock-faced concrete sill course below the living room window. 2001 photo by current owners.



Photo 28: Partial view of the front facade showing the existing entrance doors and transom window (with leaded glass) and decorative metal porch support. Also shows the original metal garage door (since replaced) and the aluminum soffits and fascia panels covering the original wood soffit and fascia. (2001)



Photo 29: Backyard looking south-west towards the board fence along the rear property line and a new replacement residence on Victor Avenue. Mature deciduous and coniferous trees on the subject and adjacent properties provide summer shade and visual screening (partial in winter).

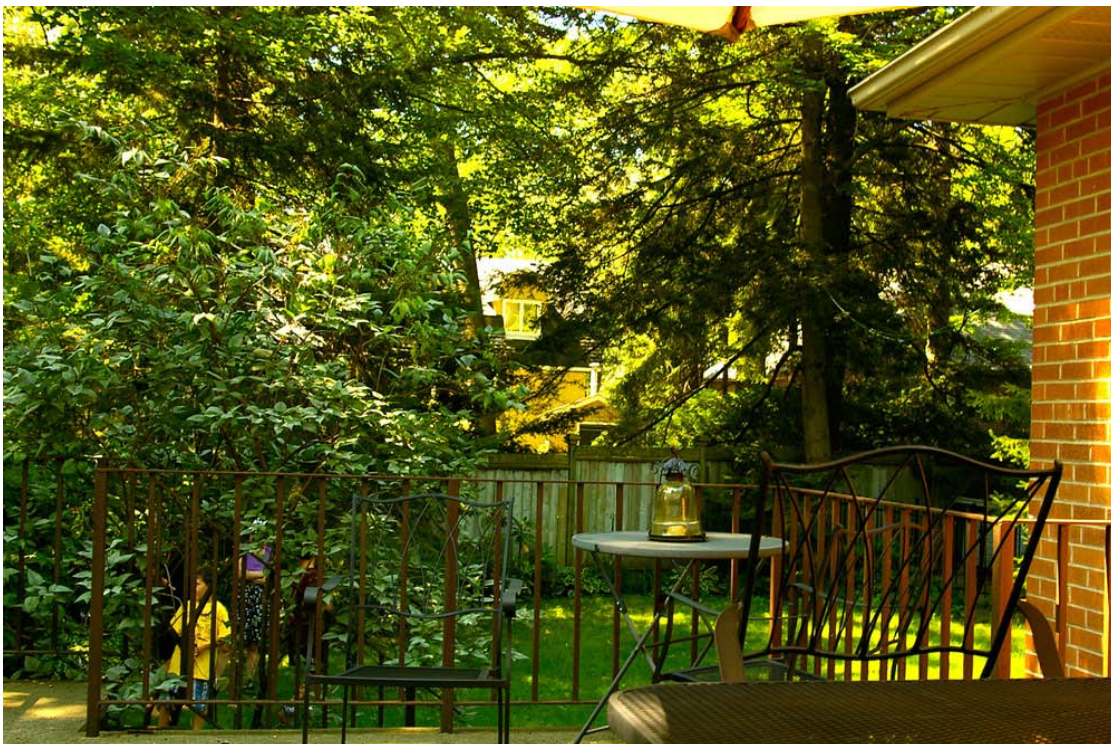


Photo 30: View of the backyard from the concrete deck looking slightly more to the south.



Photo 31: View of the rear facade (bedroom wing) looking north-east, with the concrete deck partially visible to the right. Shows the original wood windows with sills comprising a row of header bricks and aluminum storm windows.

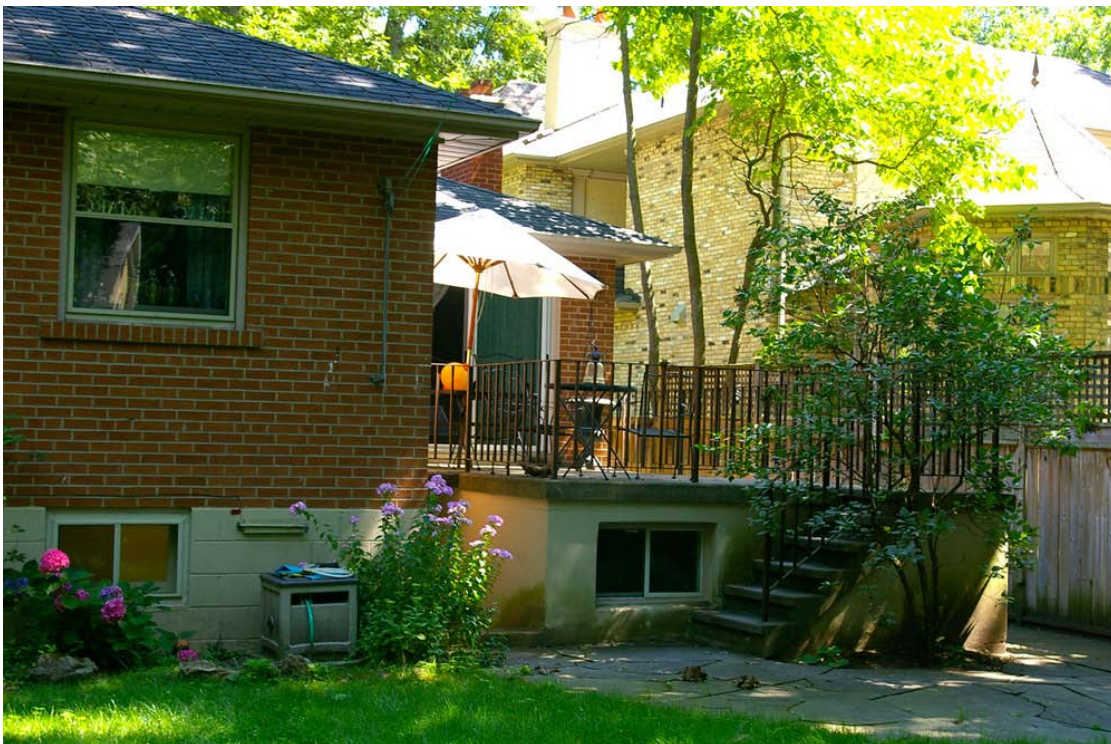


Photo 32: Partial view of the main rear facade showing the entire concrete deck on top of a basement extension which projects beyond the main facade. Also shows the visual impact of the adjacent two-storey replacement residence at 1358 Milton Avenue.



Photo 33:

Side wall of the main house and basement/deck addition looking towards the frontyard (south-east elevation), with the sliding glass doors that must have replaced an original window in the dining room.

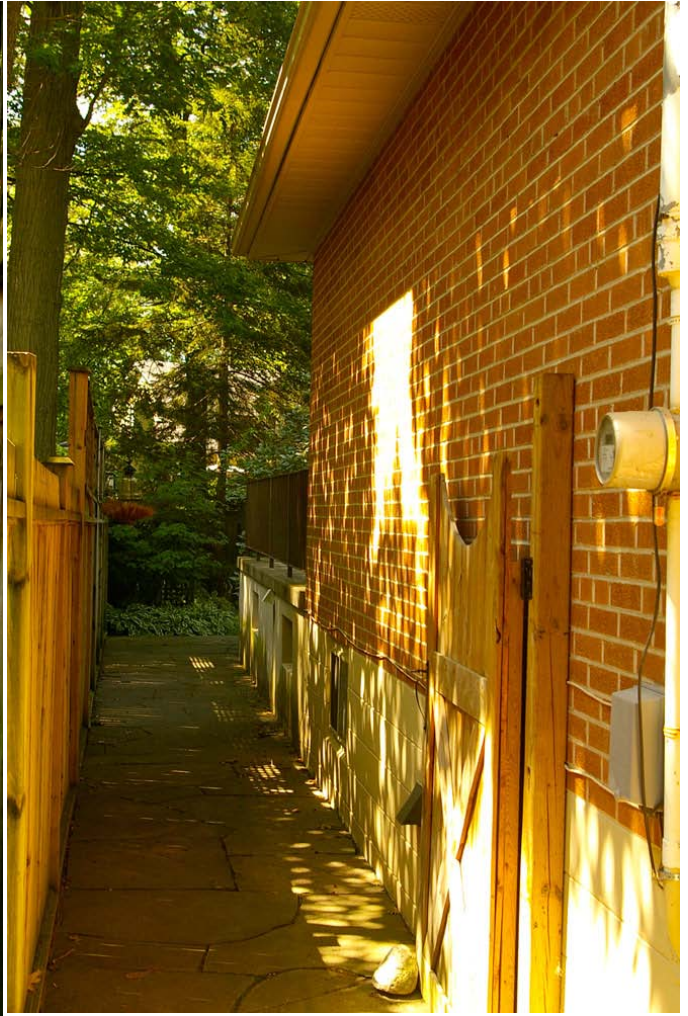


Photo 34:

Side wall of the main house and basement/deck addition looking towards the backyard (south-east elevation).

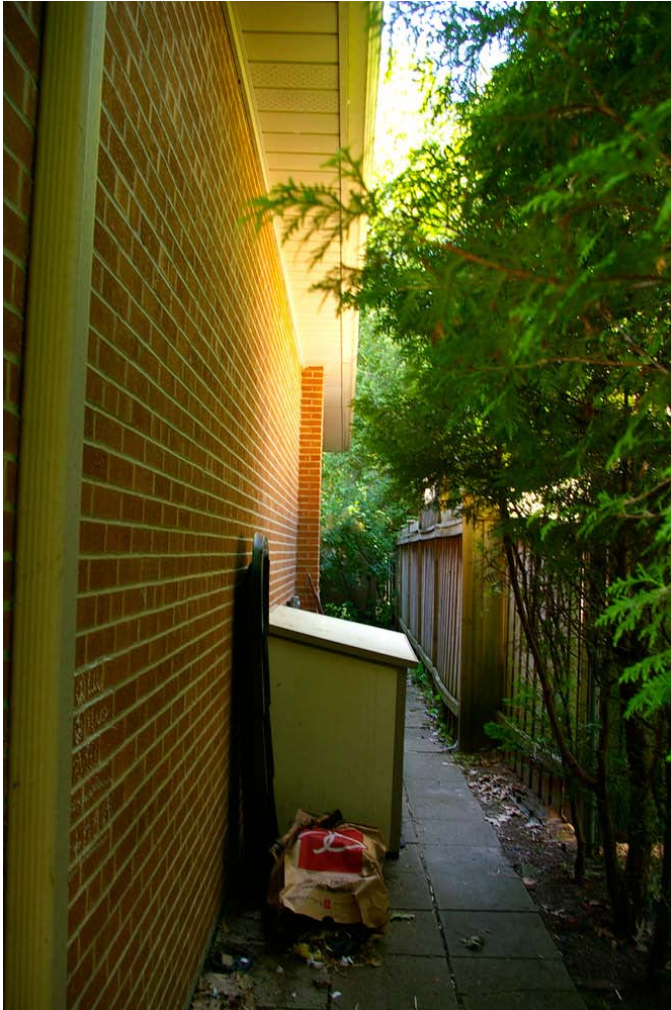


Photo 35:

Side wall on the garage side looking towards the backyard (north-west elevation).

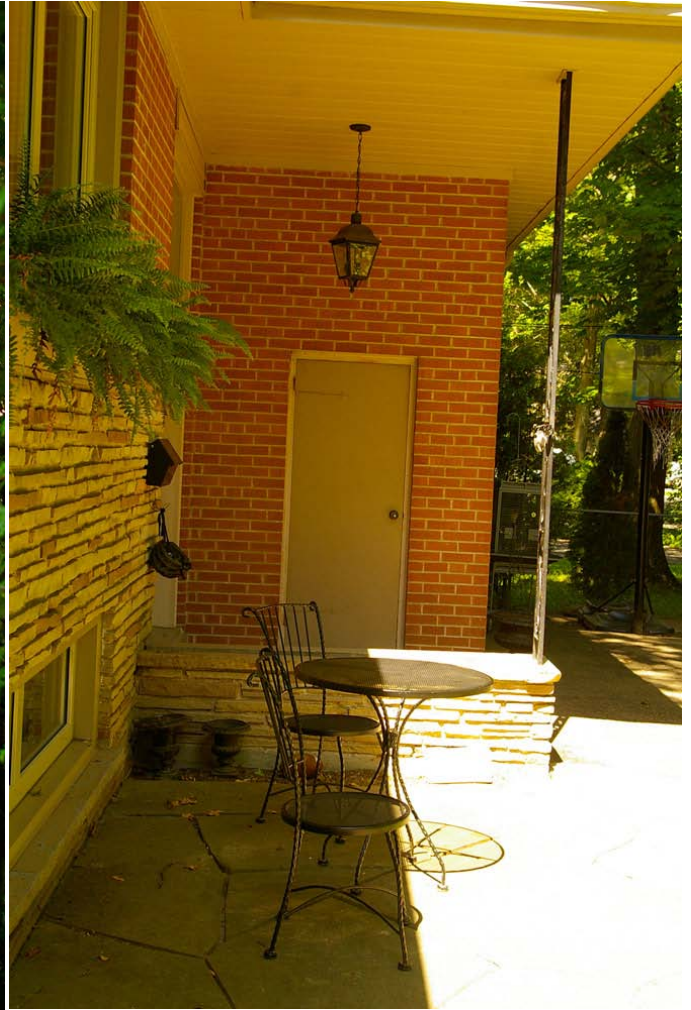


Photo 36:

View looking west of the entrance porch and projecting side wall of the garage, with a section of the stone veneer and the family and living room windows on the front facade partially visible.

8.4 House Interior

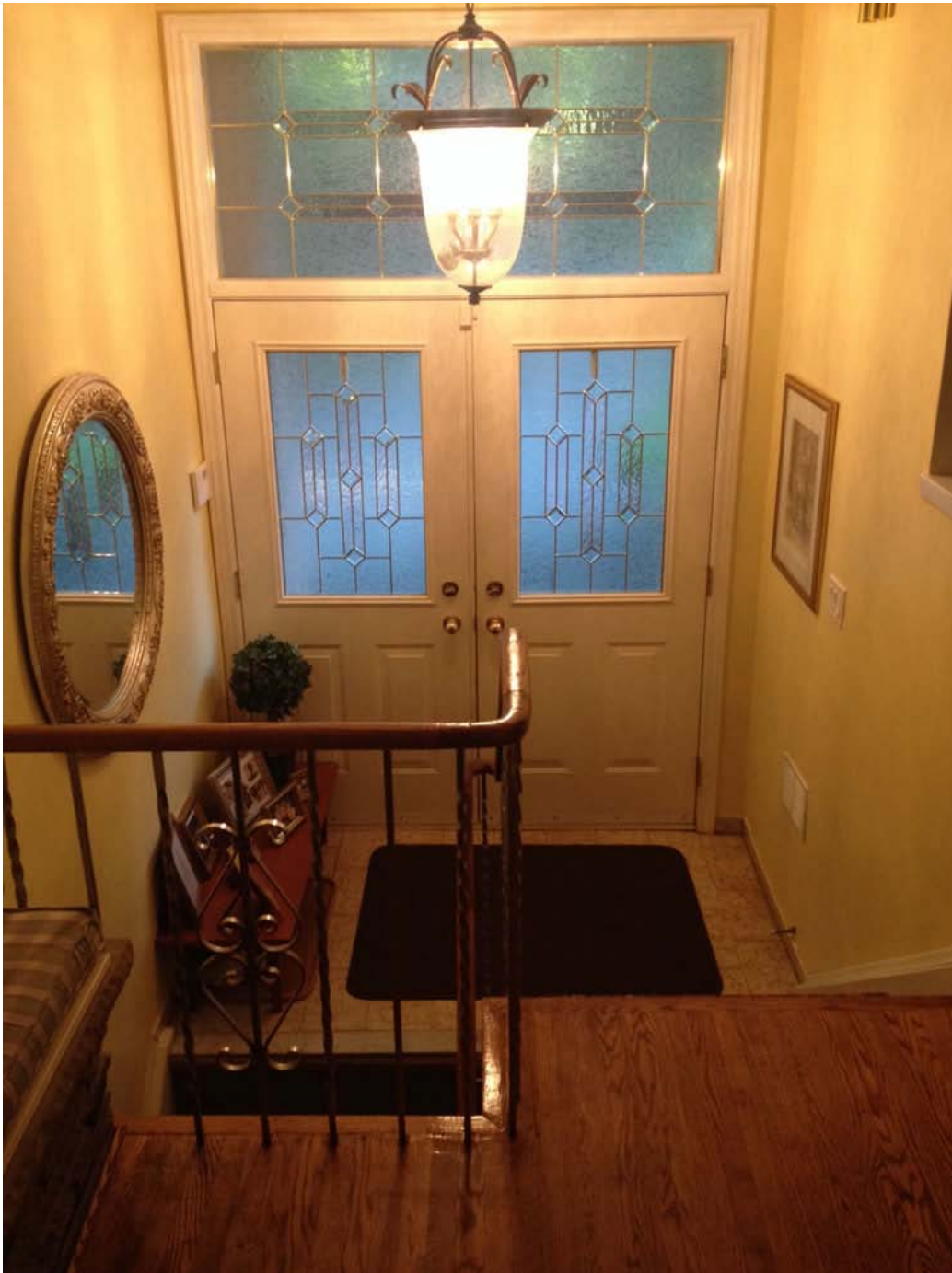


Photo 37: Entrance foyer from the top of the stairs looking towards the front doorway. Shows part of the balustrade with its twisted metal supports embellished with scroll ornamentation, and corner of stone bench. Photo taken by Jesse Migliaro, September 2013.



Photo 38

View from the threshold of the entrance foyer looking up the half flight of stairs to the main level with built-in bench to the right and corridor to bedroom wing straight ahead.



Photo 39

View down corridor to the door to a small bedroom overlooking the backyard. On the right: doors to a small half bathroom, bedroom, and master bedroom. On the left: doorway to the kitchen and door to the full bathroom.



Photo 40: View of the living room from the top of the stairs with picture window facing the frontyard to the left and stone fireplace partially visible to the right. An open concept feel is created by the half wall beside the staircase down to the foyer.



Photo 41: View of living room looking towards the angled floor-to-ceiling stone fireplace with the dining area partially visible to the right.



Photo 42: View from the dining room with the open doorway to the kitchen on the left and the living room to the right. Cove moulding may be an added decorative feature, given the simple profile of the wood mouldings of the doorway surrounds.



Photo 43: View from beside the living room fireplace looking into the dining room with the sliding glass door to the deck partially visible.



Photo 44:

Kitchen looking towards the open doorway to the corridor. Ceramic tile flooring is not original.



Photo 45:

Side bedroom overlooking the wood fence between 1358 Milton Avenue and the subject property.



Photo 46: View of the master bedroom with the original window comprising paired vertical wood sash units.



Photo 47: Master bedroom looking towards the doorway to the corridor. This original doorway, like others throughout the house, is preserved intact with its slab door and spherical brass door handles. The panelled accordion door of the closet to the left is not original.



Photo 48: View of the family room looking towards the front corner of the house adjacent to 1358 Milton Avenue. Partially visible are the narrow band window (to be eliminated) and the stone fireplace (to be reconstructed and realigned parallel to the side wall).

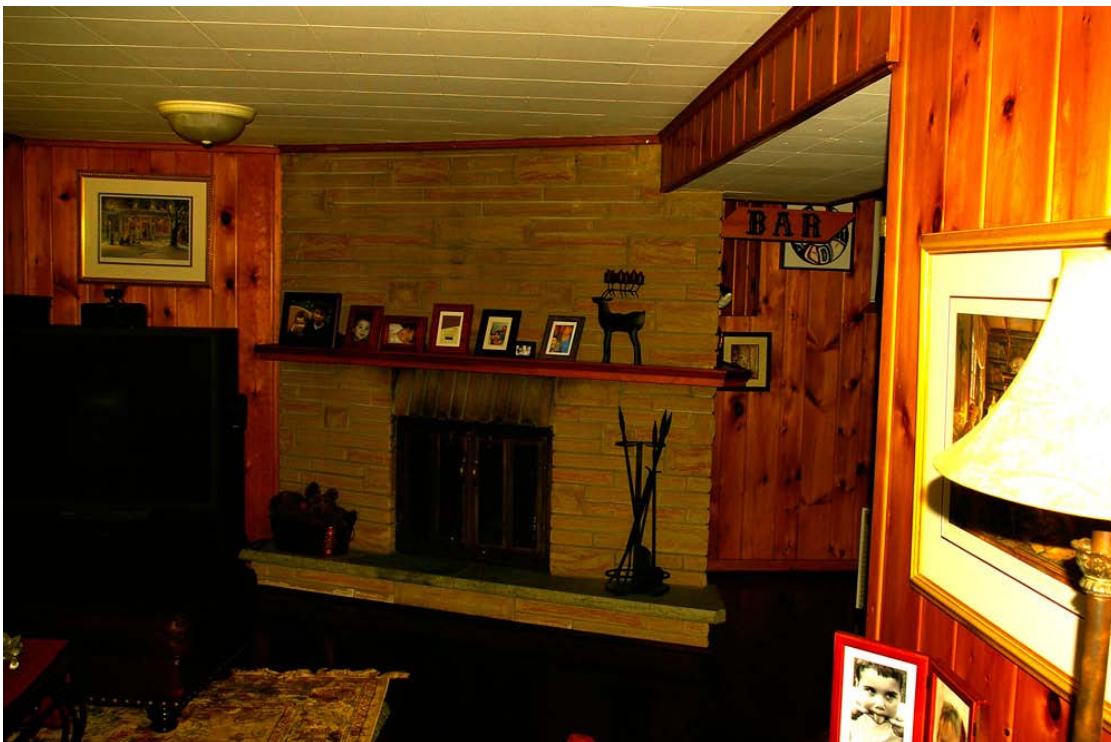


Photo 49: View of the family room showing the angled fireplace with the original bar area to the right. The flooring is engineered wood (not original) on concrete.



Photo 50: View of the bar area now also serving as home office space with the doorway into the unfinished basement area under the concrete deck behind the chair. Wood panelling throughout the finished basement area was typical of the 1950s and 1960s.



Photo 51: Partially finished basement with supporting concrete block piers and laundry facility to the left.

APPENDIX A: Chain of Ownership

Legal Description: Lot 33, Registered Plan of Subdivision E-13, Part of Lot 3 Range 2, Credit Indian Reserve, Township of Toronto; registered April 16, 1913.

Reg. Num.	Date Yr/mth/day	Instrument Type	Grantor	Grantee	Lands
PR1242341	2007/04/17	Transfer	Adriano and Maria Torresan	Tania and Jesse Migliaro	Lot 33, Subdivision E-13
307111	1974/02/20	Grant	Roger Brown	Adriano and Maria Torresan	All
23164	1972/09/20	Grant	John and Iris Ramsden	Roger Brown	All
153777?	1963/04/05	Grant	Harry Futti, H.F. Construction Co.	John and Iris Ramsden	All
142461	1961/11/20	Grant	Mabel and David Jackson	Harry Futti (sp.?), H.F. Construction Co.	All
60553	1950/09/28	Grant	James Clare et ux	Mabel and David Jackson	All & O.L. (Lot 33 and other lands)
55537	1949/04/25	Grant	George and Florence Porter	James Clare	"
44409	1944/07/3	Grant	Alexander and Andrea Shedden	George and Florence Porter	"
39302	1939/06/15	Grant	Kenneth Skinner et ux	Alexander and Andrea Shedden	"
32571	1930/03/15	P.O.P.	Kenneth Skinner	Monarch Securities Ltd.	"
30357	1928/05/20	Grant	Gladys Pallett	Monarch Securities Ltd.	"

30237	1928/04/21	Grant	Kenneth Skinner et ux	Gladys Pallett	"
29796	1928/01/11	Grant	Gladys Pallett	Leslie Pallett	"
25589	1924/12/22	Grant	Leslie Pallett	Gladys Pallett	"
17405	1915/02/27	B.&S.	Albert Leslie, William Moore, Leslie Pallett	Albert and Leslie Pallett	"
E-13	1913/03/01	Plan	Leslie Pallett et al: see note below	Subdivision of part of lot 3	NOTE: no size given – see calculation below
15112	1912/07/21	Grant	Kenneth Skinner et ux	Leslie Pallett	20 acres (pt N.E. pt Lot 3)
15113	1912/07/21	Grant	Leslie Pallett et ux	Albert Leslie, Wm. Moore (builder) and Leslie Pallett	Pt 20 acres (pt N.E. pt of Lot 3) see NOTE below
13265	1908/11/14	Grant	George and Ellen Payne (widow of James)	Kenneth Skinner	59 ¾ acres (N.E.pt Lot 3) NOTE: According to the Deed of Land, James died in 1906.
13210	1903/11/5	Will	James Payne	George (son) and Ellen (wife) Payne	60 acres (pt Lot 3) (Book C, p. 551)
NOTE: First subsequent page for Lot 3 Range 2 found in Book C (above).					
13361	1854/07/11	Patent	The Crown	James Cotton	S.W. part Lot 3 Range 2 (Book A)

NOTE: The title searcher provided the Deed of Land for instruments 15112, 15113, 13265 and 13210 as there were clearly name connections with Leslie Pallett who owned the parcel that was subdivided in the S.W. part of Lot 3.

The owners of the parcel of land named on the Plan of Subdivision are: Leslie H. Pallett, A.J. Leslie and a third party whose name is illegible. Kenneth Skinner is named as the mortgage holder. Subsequent land transfers described as **All** (Lot 33) and other lands could refer to all or some of the other lots in the subdivision.