

AGENDA



HERITAGE ADVISORY COMMITTEE

THE CORPORATION OF THE CITY OF MISSISSAUGA

TUESDAY, OCTOBER 22, 2013 – 9 A.M.

COUNCIL CHAMBER

SECOND FLOOR, CIVIC CENTRE

300 CITY CENTRE DRIVE, MISSISSAUGA, ONTARIO, L5B 3C1

www.mississauga.ca

Members

Councillor George Carlson, Ward 11 (CHAIR)

Councillor Jim Tovey, Ward 1 (VICE-CHAIR)

Robert Cutmore, Citizen Member

David Dodaro, Citizen Member

Mohammad N. Haque, Citizen Member

James Holmes, Citizen Member

Rick Mateljan, Citizen Member

Cameron McCuaig, Citizen Member

Deanna Natalizio, Citizen Member

Michael Spaziani, Citizen Member

Michelle Walmsley, Citizen Member

Matthew N. Wilkinson, Citizen Member

CONTACT PERSON: Julie Lavertu, Legislative Coordinator
Office of the City Clerk, Telephone: 905-615-3200, ext. 5471; Fax 905-615-4181

Julie.Lavertu@mississauga.ca

CALL TO ORDERDECLARATIONS OF DIRECT (OR INDIRECT) PECUNIARY INTERESTPRESENTATIONS/DEPUTATIONSMATTERS TO BE CONSIDERED1. Approval of Minutes of Previous Meeting

Minutes of the meeting held September 17, 2013.

RECOMMEND APPROVAL2. Request to Alter a Heritage Designated Property, 863 Sangster Avenue, Ward 2

Corporate Report dated October 4, 2013 from the Commissioner of Community Services with respect to a request to alter a heritage designated property located at 863 Sangster Avenue.

The above-noted agenda item should be reviewed in conjunction with Item 26.

RECOMMENDATION

That the request to make an alteration to the property at 863 Sangster Avenue, as described in the report from the Commissioner of Community Services, dated October 4, 2013, be approved as the property owner has agreed to the following conditions:

1. Replacing the existing wood siding with wood fish scale shingles on the south and west facades of the house's upper floor;
2. Adding muntin bars to each of the windows located on the west façade of the house and;
3. Providing a Letter of Credit in an amount determined by the Director of Culture prior to issuance of the heritage permit and commencement of any work.

RECOMMEND APPROVAL3. Proposed Heritage Designation, Outdoor Firing Range, 1300 Lakeshore Road East, Ward 1

Corporate Report dated September 23, 2013 from the Commissioner of Community Services with respect to a proposed heritage designation for the Outdoor Firing Range located at 1300 Lakeshore Road East.

RECOMMENDATION

That the Outdoor Firing Range located at 1300 Lakeshore Road East, be designated under Section 29. (1) of the *Ontario Heritage Act* for its historical/associative, contextual and

- (3.) physical value and that the appropriate City officials be authorized and directed to take the necessary action to give effect thereto.

RECOMMEND APPROVAL

4. Request to Alter a Heritage Designated Property, Benares Estate: Main House, Dairy House, Barn, and Potting Shed, 1503 Clarkson Road, Ward 2

Corporate Report dated September 23, 2013 from the Commissioner of Community Services with respect to a request to alter a heritage designated property, the Benares Estate: Main House, Dairy House, Barn, and Potting Shed, located at 1503 Clarkson Road.

RECOMMENDATION

That the request to make alterations to the Benares Main House, Dairy House, Barn and Potting Shed, as described in the report from the Commissioner of Community Services, dated September 23, 2013 be approved and that the appropriate City officials be authorized and directed to take the necessary action to give effect thereto.

RECOMMEND APPROVAL

5. Request to Alter a Heritage Designated Property, Bradley Museum Barn and Wood Shed, 1620 Orr Road, Ward 1

Corporate Report dated September 23, 2013 from the Commissioner of Community Services with respect to a request to alter a heritage designated property, the Bradley Museum Barn and Wood Shed, located at 1620 Orr Road.

RECOMMENDATION

That the request to alter the Bradley House Museum located at 1620 Orr Road, as described in the report from the Commissioner of Community Services, dated September 23, 2013 be approved, and that the appropriate City officials be authorized and directed to take the necessary action to give effect thereto.

RECOMMEND APPROVAL

6. Request to Alter a Heritage Designated Property, Derry House on the Adamson Estate, 875 Enola Avenue, Ward 1

Corporate Report dated September 20, 2013 from the Commissioner of Community Services with respect to a request to alter a heritage designated property, the Derry House on the Adamson Estate, located at 875 Enola Avenue.

RECOMMENDATION

That the request to make alterations to the Derry House on the Adamson Estate as described in the report from the Commissioner of Community Services, dated September 20, 2013, be approved and that the appropriate City officials be authorized and directed to take the necessary action to give effect thereto.

(6.) RECOMMEND APPROVAL

7. Request to Demolish a Heritage Listed Property, 3650 Eglinton Avenue West, Ward 8

Corporate Report dated September 23, 2013 from the Commissioner of Community Services with respect to a request to demolish a heritage listed property located at 3650 Eglinton Avenue West.

RECOMMENDATION

That the property at 3650 Eglinton Avenue West, which is listed on the City's Heritage Register, is not worthy of designation, and consequently, that the owner's request to demolish proceed through the applicable process.

RECOMMEND APPROVAL

8. Request to Demolish a Heritage Listed Property, 7181 Lancaster Avenue, Ward 5

Corporate Report dated September 23, 2013 from the Commissioner of Community Services with respect to a request to demolish a heritage listed property located at 7181 Lancaster Avenue.

RECOMMENDATION

That the property at 7181 Lancaster Avenue, which is listed on the City's Heritage Register, is not worthy of designation, and consequently, that the owner's request to demolish proceed through the applicable process.

RECOMMEND APPROVAL

9. Request to Demolish a Heritage Listed Property, 930 Whittier Crescent, Ward 1

Corporate Report dated September 11, 2013 from the Commissioner of Community Services with respect to a request to demolish a heritage listed property located at 930 Whittier Crescent.

RECOMMENDATION

That the property at 930 Whittier Crescent, which is listed on the City's Heritage Register, is not worthy of designation, and consequently, that the owner's request to demolish proceed through the applicable process.

RECOMMEND APPROVAL

10. Heritage Impact Statement, 40 Veronica Drive, Ward 1

Memorandum dated September 11, 2013 from Laura Waldie, Heritage Coordinator, with respect to the Heritage Impact Statement for the property located at 40 Veronica Drive.

RECOMMEND RECEIPT

11. Internal Renovations and Addition of Dormers, 869 Whittier Crescent, Ward 2

Memorandum dated September 11, 2013 from Laura Waldie, Heritage Coordinator, with respect to the internal renovations and addition of dormers for the property located at 869 Whittier Crescent.

RECOMMEND RECEIPT

12. Window Replacement at Rear of Property, 1496 Adamson Street, Ward 7

Memorandum dated September 24, 2013 from Laura Waldie, Heritage Coordinator, with respect to the window replacement at the rear of the property located at 1496 Adamson Street.

RECOMMEND RECEIPT

13. Addition of Rear Yard Gazebo, 2300 Speakman Drive, Ward 2

Memorandum dated October 1, 2013 from Laura Waldie, Heritage Coordinator, with respect to the addition of a rear yard gazebo for the property located at 2300 Speakman Drive.

RECOMMEND RECEIPT

14. Demolition of a Heritage Listed Property, 275/277 Queen Street South, Ward 11

Memorandum dated October 1, 2013 from Elaine Eigl, Heritage Coordinator, with respect to the demolition of a heritage listed property located at 275/277 Queen Street South.

RECOMMEND RECEIPT

15. Proposed Exterior Restoration and Replication Work, 296 Queen Street South, Ward 11

Memorandum dated October 1, 2013 from Elaine Eigl, Heritage Coordinator, with respect to the proposed exterior restoration and replication work for the property located at 296 Queen Street South.

RECOMMEND RECEIPT

16. Heritage Toronto Awards & William Kilbourn Memorial Lecture

Correspondence from Heritage Toronto with respect to the Heritage Toronto Awards & William Kilbourn Memorial Lecture entitled "Building Heritage with Innovation" on Tuesday, October 15, 2013 at Koerner Hall in the Royal Conservatory of Music in Toronto, Ontario.

DIRECTION REQUIRED

17. “The Credits”: Heritage Mississauga Awards

Correspondence dated October 3, 2013 from Jayme Gaspar, Executive Director, Heritage Mississauga, with respect to “The Credits”: Heritage Mississauga Awards on Thursday, November 21, 2013 at the Mississauga Grand Banquet and Convention Centre in Mississauga, Ontario.

DIRECTION REQUIRED18. Status of Outstanding Issues from the Heritage Advisory Committee

Chart dated October 22, 2013 from Julie Lavertu, Legislative Coordinator, Heritage Advisory Committee, with respect to the status of outstanding issues from the Heritage Advisory Committee.

RECOMMEND RECEIPTSUBCOMMITTEE UPDATES FROM CHAIRS19. Heritage Designation Subcommittee20. Heritage Tree Subcommittee21. Meadowvale Village Heritage Conservation District Review Committee

21.1 Correspondence dated September 20, 2013 from James P. Holmes, Chairman, Meadowvale Village Heritage Conservation District Review Committee, with respect to the Gamisz-McMenemy residence located at 1125 Willow Lane in Ward 11.

RECOMMEND RECEIPT22. Public Awareness SubcommitteeINFORMATION ITEMS23. Notice of Objection to Proposed Heritage Designation, Gooderham Farmhouse, 7235 Second Line West, Ward 11

Correspondence dated July 29, 2013 from Justin A. Malfara, Land Development Coordinator, Dunsire Developments Inc., with respect to a notice of objection to the proposed heritage designation of the Gooderham Farmhouse located at 7235 Second Line West.

During its meeting on September 18, 2013, City Council referred the above-noted correspondence to the Heritage Advisory Committee.

(23.) RECOMMEND RECEIPT

24. June Callwood Outstanding Achievement Award for Voluntarism in Ontario

Correspondence dated October 2013 from the Honourable Michael Coteau, Minister of Citizenship and Immigration, with respect to the June Callwood Outstanding Achievement Award for Voluntarism in Ontario.

RECOMMEND RECEIPT

25. City of Mississauga Notice of Public Information Centre #2, Municipal Class Environmental Assessment Study for Ninth Line

Correspondence from Farhad Shahla, Project Manager, City of Mississauga, and Laurie M. Bruce, Consultant Project Manager, Arup Canada Inc., with respect to the City of Mississauga Notice of Public Information Centre #2, Municipal Class Environmental Assessment Study for Ninth Line.

RECOMMEND RECEIPT

26. Request to Alter a Heritage Designated Property, 863 Sangster Avenue, Ward 2

Correspondence dated October 9, 2013 from Candice Chilton, the property owner of 863 Sangster Avenue, with respect to a request to alter a heritage designated property located at 863 Sangster Avenue.

The above-noted agenda item should be reviewed in conjunction with Item 2.

RECOMMEND RECEIPT

DATE OF NEXT MEETING – Tuesday, November 19, 2013 at 9 a.m., Council Chamber

OTHER BUSINESS

ADJOURNMENT

IT IS RECOMMENDED THAT HERITAGE ADVISORY COMMITTEE MEMBERS VISIT THE PROPERTIES LISTED ON THE AGENDA PRIOR TO THE MEETING.



MINUTES

HERITAGE ADVISORY COMMITTEE

THE CORPORATION OF THE CITY OF MISSISSAUGA

TUESDAY, SEPTEMBER 17, 2013 – 9 A.M.

COUNCIL CHAMBER

SECOND FLOOR, CIVIC CENTRE

300 CITY CENTRE DRIVE, MISSISSAUGA, ONTARIO, L5B 3C1

www.mississauga.ca

MEMBERS PRESENT: Councillor George Carlson, Ward 11 (CHAIR)
 Councillor Jim Tovey, Ward 1 (VICE-CHAIR)
 Robert Cutmore, Citizen Member
 David Dodaro, Citizen Member
 Mohammad N. Haque, Citizen Member
 James Holmes, Citizen Member (arrived at 9:04 a.m.)
 Rick Mateljan, Citizen Member
 Cameron McCuaig, Citizen Member
 Deanna Natalizio, Citizen Member
 Matthew N. Wilkinson, Citizen Member (arrived at 9:10 a.m.)

MEMBERS ABSENT: Michael Spaziani, Citizen Member
 Michelle Walmsley, Citizen Member

STAFF PRESENT: Susan Burt, Director, Culture Division
 Elaine Eigl, Heritage Coordinator
 Laura Waldie, Heritage Coordinator
 Andrew Whittemore, Manager, Culture and Heritage Planning

CONTACT PERSON: Julie Lavertu, Legislative Coordinator
 Office of the City Clerk, Telephone: 905-615-3200, ext. 5471; Fax 905-615-4181
Julie.Lavertu@mississauga.ca

NOTE: The Committee changed the order of the Agenda during the meeting. These Minutes reflect the order of the meeting.

CALL TO ORDER – 9:01 a.m.

DECLARATIONS OF DIRECT (OR INDIRECT) PECUNIARY INTEREST

Mr. Mateljan declared a conflict on Item 3, noting that his firm has worked on the project, and left the Council Chamber during discussion of this item.

PRESENTATIONS/DEPUTATIONS

- A. Item 2 Gregory H. Dell, Greg Dell & Associates, with respect to a request to demolish a heritage listed property located at 200 Oakhill Road.

Mr. Dell said that he was in attendance to support the application and to answer questions from the Committee, as he is involved in processing a building permit for the addition.

The Committee dealt with Item 2 at this time.

2. Request to Demolish a Heritage Listed Property, 200 Oakhill Road, Ward 1

Corporate Report dated August 6, 2013 from the Commissioner of Community Services with respect to a request to demolish a heritage listed property located at 200 Oakhill Road.

Recommendation

HAC-0071-2013

That the property at 200 Oakhill Road, which is listed on the City's Heritage Register, is not worthy of designation, and consequently, that the owner's request to demolish proceed through the applicable process.

Approved (Councillor J. Tovey)

Mr. Holmes arrived at 9:04 a.m.

- B. Gregory H. Dell, Greg Dell & Associates, with respect to a heritage designated property, the Dowling House, located at 2285 Britannia Road West.

Mr. Dell said that the property's Conservation Review Plan was updated and resubmitted to Heritage staff and discussed the property's relocation, restoration, and overall status, including work that has been done and/or is proposed to be done in the near future to the property's walls, floors, roof, windows, doors, insulation, chimneys, and siding.

MATTERS CONSIDERED

1. Approval of Minutes of Previous Meeting

Minutes of the meeting held July 23, 2013.

Approved (J. Holmes)

3. Request to Alter a Heritage Designated Property, Meadowvale Village Heritage Conservation District, 1125 Willow Lane, Ward 11

Corporate Report dated August 29, 2013 from the Commissioner of Community Services with respect to a request to alter a heritage designated property in the Meadowvale Village Heritage Conservation District located at 1125 Willow Lane.

Denise Baker, Townsend and Associates Barristers and Solicitors and the property owner's Legal Counsel, and Alison Strickland, Partner, Strickland Mateljan Design + Architecture, discussed the property and its history, design, and proposed alterations, the Corporate Report and its contents, the Meadowvale Village Heritage Conservation District (MVHCD) Review Committee's comments and suggestions regarding the proposed alterations, and recent revisions to the architectural drawings due to the latter.

Mr. Holmes discussed the elevations and said that the MVHCD Review Committee and area residents will be pleased with the end result and the property's preservation, as it is the MVHCD's (and possibly the City's) oldest property. The Chair congratulated the property owners on the overall design and asked if Credit Valley Conservation staff had approved the proposed alterations. Ms. Strickland responded to the Committee's above-noted comments and questions. In response to the Chair, Mr. Holmes said that the MVHCD Review Committee had not yet seen the revised architectural drawings and, for this reason, had not yet granted their approval on the proposed alterations.

Mr. Whittemore said that the MVHCD Review Committee needs to review the revised architectural drawings and provide a letter of approval as per the Committee's usual processes. He discussed the *Ontario Heritage Act* vis-à-vis alterations and timelines and the need for the MVHCD Review Committee to approve the proposed alterations.

Mr. Wilkinson arrived at 9:10 a.m.

Ms. Baker discussed the need for the MVHCD Review Committee to approve the proposed alterations based on the revised architectural drawings as soon as possible, the timelines in the *Ontario Heritage Act*, and the importance of receiving an email message from Ms. Eigl regarding outstanding supplementary documentation about the property.

In response to Ms. Baker, Ms. Eigl discussed the Heritage Impact Statement and the need for the property owner's agents to provide supplementary documentation, the proposed alterations, and other outstanding matters regarding the proposed alterations. Mr. Holmes said that the MVHCD Review Committee could provide their comments to the property owners and their agents regarding the revised architectural drawings by September 23, 2013. Ms. Burt said that Ms. Eigl would email the property owner's agents regarding outstanding supplementary documentation about the property by September 23, 2013.

In response to Mr. Dodaro, Ms. Lavertu obtained the revised architectural drawings from Ms. Baker and distributed them to the Committee for their information and review.

Recommendation

HAC-0072-2013

1. That the nine elevation, floor plan, and streetscape drawings for 1125 Willow Lane presented by Alison Strickland, Strickland Mateljan Design + Architecture, and Denise Baker, Townsend and Associates Barristers and Solicitors, to the Heritage Advisory Committee on September 17, 2013, be received; and
2. That the request to alter the property at 1125 Willow Lane, as described in the Corporate Report dated August 29, 2013 from the Commissioner of Community Services, be approved and that the issuance of a heritage permit be subject to the following three conditions:
 - (a) The property owners satisfying the conditions outlined within the body of the above-noted Corporate Report;
 - (b) The property owners obtaining support in writing from the Meadowvale Village Heritage Conservation District Review Committee for the above-noted request to alter by Monday, September 23, 2013; and
 - (c) The property owner's agents receiving an email message from Heritage staff regarding outstanding matters with respect to the request to alter by Monday, September 23, 2013.

Received/Direction (J. Holmes)

4. Request to Demolish Structures on a Heritage Listed Property, 800 Hydro Road, Ward 1

Corporate Report dated August 15, 2013 from the Commissioner of Community Services with respect to a request to demolish structures on a heritage listed property located at 800 Hydro Road.

The Vice-Chair discussed the status of the Inspiration Lakeview Master Plan process, the property's heritage and the willingness of senior Ontario Power Generation staff to celebrate its heritage and Ontario Hydro overall, the demolition of the Nanticoke coal plant, and the possibility of using an old generator as a piece of public art in the City. The Chair discussed an old generator/turbine that is on display in downtown Streetsville.

Recommendation

HAC-0073-2013

1. That the request by the property owners of 800 Hydro Road listed on the City's Heritage Register to demolish three remaining structures, as described in the Corporate Report dated August 15, 2013 from the Commissioner of Community Services be permitted and allowed to follow the applicable process; and
2. That the property at 800 Hydro Road, formerly known as the Lakeview Generation Plant, be removed from the City's Heritage Register.

Approved (Councillor J. Tovey)

5. Request to Demolish a Heritage Listed Property, 1392 Stavebank Road, Ward 1

Corporate Report dated August 6, 2013 from the Commissioner of Community Services with respect to a request to demolish a heritage listed property located at 1392 Stavebank Road.

Recommendation

HAC-0074-2013

That the property at 1392 Stavebank Road, which is listed on the City's Heritage Register, is not worthy of designation, and consequently, that the owner's request to demolish proceed through the applicable process.

Approved (Councillor J. Tovey)

6. Request to Demolish a Heritage Listed Property, 1285 Minaki Road, Ward 1

Corporate Report dated August 17, 2013 from the Commissioner of Community Services with respect to a request to demolish a heritage listed property located at 1285 Minaki Road.

Recommendation

HAC-0075-2013

That the property at 1285 Minaki Road, which is listed on the City's Heritage Register, is not worthy of designation, and consequently, that the owner's request to demolish proceed through the applicable process as described in the Corporate Report dated August 17, 2013 from the Commissioner of Community Services.

Approved (Councillor J. Tovey)

7. Request to Demolish a Heritage Listed Property, 3669 Mississauga Road, Ward 8

Corporate Report dated August 14, 2013 from the Commissioner of Community Services with respect to a request to demolish a heritage listed property located at 3669 Mississauga Road.

Recommendation

HAC-0076-2013

That the dwelling located on the property at 3669 Mississauga Road, which is listed on the City's Heritage Register, is not worthy of designation, and consequently, that the owner's request to demolish proceed through the applicable process.

Approved (M. Wilkinson)

8. Heritage Impact Statement, 2610, 2620, and 2630 Mississauga Road, Ward 8

Memorandum dated August 13, 2013 from Laura Waldie, Heritage Coordinator, with respect to the Heritage Impact Statement for 2610, 2620, and 2630 Mississauga Road.

Recommendation

HAC-0077-2013

That the Memorandum dated August 13, 2013 from Laura Waldie, Heritage Coordinator, entitled "Heritage Impact Statement, 2610, 2620, and 2630 Mississauga Road," be received.

Received (D. Dodaro)

9. 2014 Heritage Advisory Committee Meeting Dates

Memorandum dated September 4, 2013 from Julie Lavertu, Legislative Coordinator, Heritage Advisory Committee, with respect to the 2014 Heritage Advisory Committee meeting dates.

Recommendation

HAC-0078-2013

That the Memorandum dated September 4, 2013 from Julie Lavertu, Legislative Coordinator, Heritage Advisory Committee, entitled "2014 Heritage Advisory Committee Meeting Dates," be received.

Received (C. McCuaig)

10. Heritage Conservation Districts & Heritage Property Insurance Workshop

Correspondence from Community Heritage Ontario and the Town of Ajax with respect to the Heritage Conservation Districts & Heritage Property Insurance Workshop on October 3, 2013 at the Doric Masonic Hall (formerly the Quaker Meeting House) in Ajax, Ontario.

Ms. Lavertu suggested that the Committee pass a recommendation authorizing two Citizen Members to attend the Workshop. She added that she would email all Citizen Members information regarding the Workshop and ask those interested to contact her so that appropriate arrangements (e.g., registrations) are made by the deadline.

Recommendation

HAC-0079-2013

1. That the correspondence from Community Heritage Ontario and the Town of Ajax with respect to the Heritage Conservation Districts & Heritage Property Insurance Workshop on October 3, 2013 at the Doric Masonic Hall (formerly the Quaker Meeting House) in Ajax, Ontario be received; and
2. That up to two Heritage Advisory Committee Citizen Members be authorized to attend the Heritage Conservation Districts & Heritage Property Insurance Workshop on October 3, 2013 at the Doric Masonic Hall (formerly the Quaker Meeting House) in Ajax, Ontario and that funds be allocated in the Heritage Advisory Committee's 2013 budget (Account #28609) to cover approximately \$70 for registration fees and approximately \$200 for mileage.

Received/Direction (M. Haque)

11. Status of Outstanding Issues from the Heritage Advisory Committee

Chart dated September 17, 2013 from Julie Lavertu, Legislative Coordinator, Heritage Advisory Committee, with respect to the status of outstanding issues from the Heritage Advisory Committee.

Mr. Dodaro requested an update on the Clarkson General Store and William Clarkson House, located at 1130-1132 and 1140 Clarkson Road North respectively, noting that renovations may be taking place, that several second-storey windows on the properties are broken, and there is a tarp on the roof of one of the properties. Ms. Waldie said that she was not aware of anything that is being done to the properties, aside from the City possibly following up on property standards issues, and did not know the status of the court case regarding the ownership of the properties. She said that she would follow up with Planning and Building staff on whether any permits have been issued and with Legal staff on the status of the court case. Mr. Dodaro noted that property standards issues that were identified and reported on the properties last year were addressed.

Committee members discussed the City's Property Standards By-Law vis-à-vis boarded up buildings like the above-noted properties. The Chair and Vice-Chair discussed recent amendments to the by-law vis-à-vis abandoned and heritage properties, including a provision providing property owners with a six-month timeline to remediate their properties to the standard of their street. Ms. Waldie discussed the by-law vis-à-vis properties, in general, and heritage properties, in particular. The Chair said that it is preferable for property owners to maintain their properties in the first place.

Ms. Eigl suggested that Committee members and others concerned by abandoned and/or poorly-maintained properties in the City should contact 3-1-1 to share their concerns.

Recommendation

HAC-0080-2013

That the chart dated September 17, 2013 from Julie Lavertu, Legislative Coordinator, Heritage Advisory Committee, with respect to the status of outstanding issues from the Heritage Advisory Committee, be received.

Received (D. Dodaro)

SUBCOMMITTEE UPDATES FROM CHAIRS

12. Heritage Designation Subcommittee – Nil
13. Heritage Tree Subcommittee – Nil
14. Meadowvale Village Heritage Conservation District Review Committee – Nil
15. Public Awareness Subcommittee – Nil

INFORMATION ITEMS

Notice of Study Commencement: Municipal Class Environmental Assessment Study for Creditview Road from Bancroft Drive to Old Creditview Road

Ms. Lavertu distributed a letter to the Committee for their review and consideration. In response to the Chair, Ms. Eigl said that the Committee was notified of this matter because Creditview Road is a Cultural Landscape. The Chair said that he was setting up a Committee and Public Information Centre on this matter with local residents and that he would ensure that any heritage-related issues and concerns are reviewed and addressed.

Recommendation

HAC-0081-2013

That the correspondence dated September 16, 2013 from Mirjana Osojniski, Senior Environmental Planner, AECOM, with respect to the Notice of Study Commencement: Municipal Class Environmental Assessment Study for Creditview Road from Bancroft Drive to Old Creditview Road, be received.

Received (R. Mateljan)

DATE OF NEXT MEETING – Tuesday, October 22, 2013 at 9 a.m., Council Chamber

OTHER BUSINESS

Doors Open Mississauga Event on Saturday, September 28, 2013

Mr. Cutmore discussed the Small Arms Building and the number of visitors last year and the anticipated number for this year and various plans and exhibits for Doors Open such as the display of a tank and various artillery, the involvement of re-enactors and active machine gun crews, a model railroad display that may become permanent and be expanded in the future, the participation of more than 30 artists selling and demonstrating their different art forms, and a singer performing various songs from the era.

Mr. Wilkinson discussed the overall event and its 44 sites and value, noting that Heritage Mississauga staff will be at the Dixie Union Chapel and Cemetery where War of 1812 veterans will be honoured via a plaque. He added that Ms. Eigl will be leading walking tours in the MVHCD and that Terry Wilson's Miniature Meadowvale Village is worth visiting. Mr. Wilkinson encouraged Committee members to attend and/or volunteer for the event, noting that every ward and part of the City is being showcased.

The Chair encouraged Committee members to visit the Holcim Waterfront Estate in Clarkson, as it was considered by the Committee and has been renovated to accommodate weddings and other events. Mr. Dodaro said that Michael Spaziani's architect office will also be participating in the event and encouraged Committee members to drop by.

ADJOURNMENT – 9:45 a.m. (Councillor J. Tovey)



Corporate Report

Clerk's Files

Originator's
Files

Heritage Advisory Committee

OCT 22 2013

DATE: October 4, 2013

TO: Chair and Members of the Heritage Advisory Committee
Meeting Date: October 22, 2013

FROM: Paul A. Mitcham, P. Eng, MBA
Commissioner of Community Services

SUBJECT: **Request to Alter a Heritage Designated Property**
863 Sangster Avenue
(Ward 2)

RECOMMENDATION: That the request to make an alteration to the property at 863 Sangster Avenue, as described in the report from the Commissioner of Community Services, dated October 4, 2013, be approved as the property owner has agreed to the following conditions:

1. Replacing the existing wood siding with wood fish scale shingles on the south and west facades of the house's upper floor;
2. Adding muntin bars to each of the windows located on the west façade of the house and;
3. Providing a Letter of Credit in an amount determined by the Director of Culture prior to issuance of the heritage permit and commencement of any work.

BACKGROUND: The subject property is located at 863 Sangster Avenue in Lorne Park Estates. Toronto businessman William J. Davis commissioned one of Canada's most historically significant architectural firms, Langley and Burke, to design the structure in 1888. Not only did the firm design this specific dwelling, they were also responsible for the planning and design of the entire Toronto and Lorne Park Summer Resort as a whole, at its 1886 inception. A rare surviving example of a

historically-planned community, Lorne Park Estates is significant as a late nineteenth-century pleasure ground for Toronto's elite.

The property was Designated under Part IV of the Ontario Heritage Act in 2006. As per Regulation 9/06 of the Ontario Heritage Act, this property was originally designated due to its significant contextual, historical and associative cultural heritage value as one of the original Langley and Burke cottages constructed in the Park. The size, shape and massing of the cottage is still in-tact. The property retains its historical and associative value with William J. Davis and the development of Lorne Park Estates in the 1880s. Contextually, the property retains its cultural heritage significance because of the structure's siting within the boundary of the lot and the open green space to the south.

The property owner is applying to make repairs to the roof of the south side addition due to damage occurred in constructing the wrap around verandah. Appendix 1 contains the site drawings and structural reviews for this proposed alteration.

COMMENTS:

Upon receipt of the application for a heritage permit, heritage planning staff became aware of numerous alterations to the property without authority or permits from Heritage Planning. Appendix 2 and 3 contains photographs of the property taken at the time of Designation and again in September 2013. These alterations, which were specifically mentioned in the 2007 Designation By-law, include:

- The replacement of windows including muntin bars and;
- The removal of the fish scale shingles

In addition, an eyebrow window has been installed which was not present at the time of Designation and is not consistent with the original style.

Although the structure's exterior detailing in terms of building materials have been significantly altered, it is staff's opinion the property still provides significant contextual, historical and associative cultural heritage value and remains worthy of retaining its designation. Furthermore, it is staff's opinion every effort should be made to reinstate some of the original heritage attributes in

association with the latest proposed alteration.

In several discussions with the property owner, it has been discussed that the following attributes will be restored in conjunction with the proposed alteration:

- Wood fish scale shingles on the south and west facades of the house's upper floor will be replaced;
- Muntin bars will be added to the windows on the west façade of the house; and

The property owner has agreed to restoring these lost heritage attributes.

FINANCIAL IMPACT: There is no financial impact.

CONCLUSION: The owner of 863 Sangster Avenue has requested permission to alter a Designated property. Heritage Planning staff recommend the request be approved on condition that three conditions be met. These conditions address restoring previously lost heritage attributes.

ATTACHMENTS: Appendix 1: 2006 Photos
Appendix 2: 2013 Photos
Appendix 3: Site plan and structural assessment of porch area



Paul A. Mitcham, P. Eng, MBA
Commissioner of Community Services

Prepared By: Laura Waldie, Heritage Coordinator







2-7









Ehsan Tawhidi & Associates, Civil/Structural design, analysis, inspection and detailing
www.ehsantawhidiandassociates.com HST: 85735 2835 RT 0001, MB License 200137115

The residents of,
 863 Sangster Avenue,
 Mississauga, Ontario

August 11th, 2013

Attn : Mr. Jim Ryan

Project:- **Structural review of existing covered deck**

Dear Mr. Ryan,

As per your request we have performed a site visit of the subjected property on August 10th, 2013. We visually inspected the wood framing of the existing wooden covered deck and field measured the size, section and spacing of wood framing members where possible. Some of the pictures of the existing deck are attached below for reference.

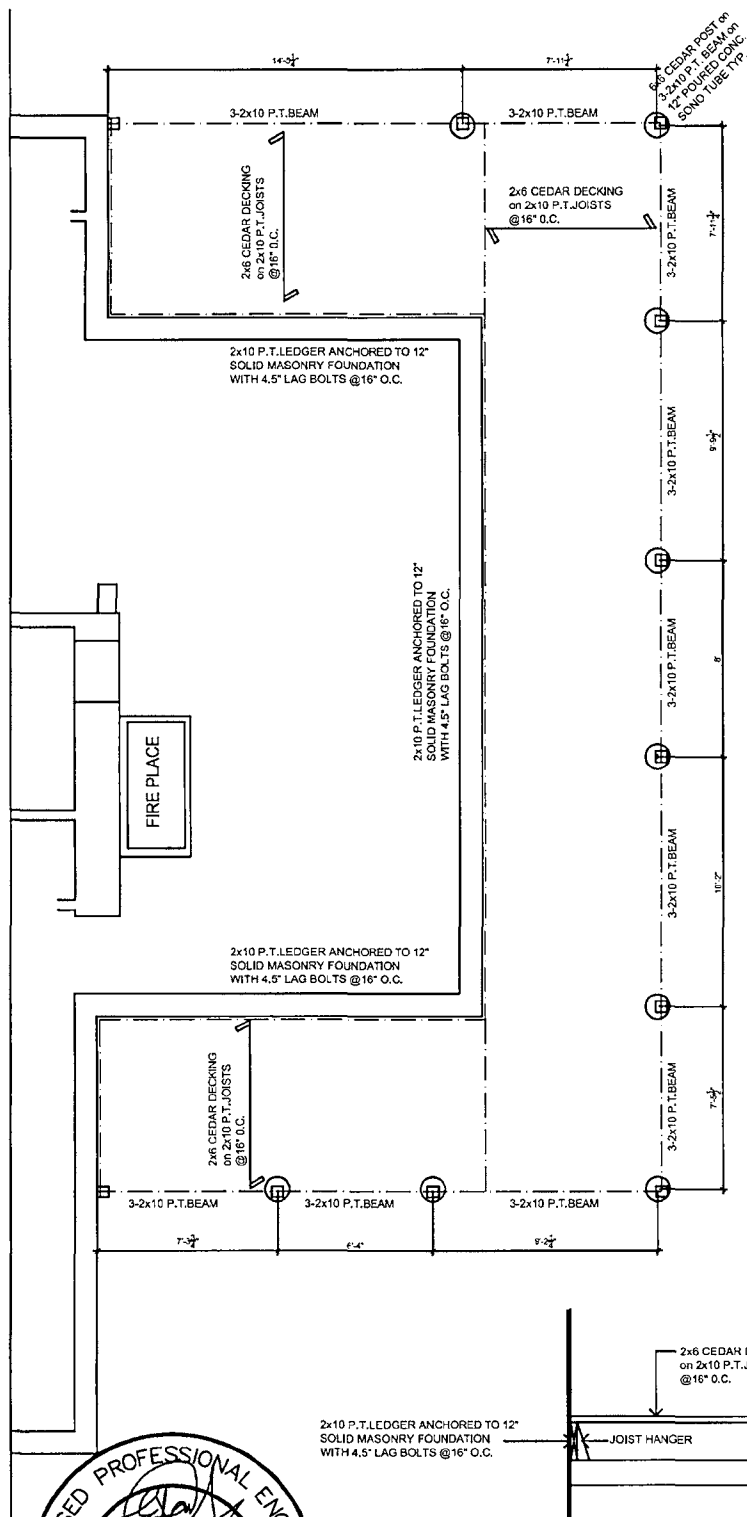


We were informed that the deck was built six years before and the drawings attached shows it's construction material type, size and dimensions etc. In our opinion, based on our field review of the work done, in general, the as-built covered deck is satisfactory and is as per Ontario Building code.

Please feel free to contact us if you need any further engineering advice.

Yours truly,
 Ehsan Tawhidi, P.E., P.Eng.





STRUCTURAL NOTES:-

1. Workmanship and materials shall be in accordance with part 9 of the Ontario Building Code and local regulations.
2. See Architectural drawings for dimensions, elevations and finishes.
3. All structural components shall be interconnected to resist code mandated live, dead and environmental loads.
4. Design Live loads are:
Roof: $S_s = 0.9$ KPA, $S_r = 0.4$ KPA
Floors: 40 psf
Wind: $1/50 = 0.49$ KPA, $1/10 = 0.37$ KPA
Earthquake: $S_a (0.2) 0.32$

Foundations

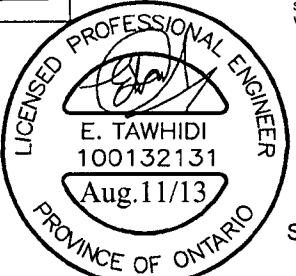
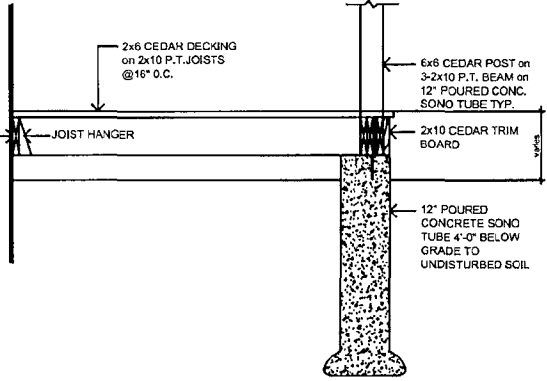
1. Footings shall be placed on undisturbed soil capable of supporting 5000 psf.
2. Footings excavations shall be inspected by soils engineer before concrete is placed.
3. Footings exposed to freezing shall be placed at least 4'-0" below finished grade.
4. Protect footings exposed to frost action during construction by 4'-0" minimum of soil or its equivalent.
5. The line of slope between adjacent footings or excavations or along stepped footings shall not exceed a rise of 7 in a run of 10, maximum step shall be 2'-0".
6. Where a foundation wall retains soil on each side, place backfill on both sides simultaneously.
7. Foundation walls retaining earth between slabs at different levels shall be shored until the slab at higher level is in place and has reached its required strength.

Concrete specification

1. The ultimate 28 days compressive strength of concrete shall be 20.0 MPa unless noted otherwise.
2. The ultimate 28 days compressive strength of concrete exposed to freezing and thawing (exterior slabs, garage floor slab, side walks, curbs, retaining walls, etc) shall be 32 MPa with minimum air entrainment content of 5%-8% and maximum water/cement ratio by mass of 0.45.
3. Do not use calcium chloride or other salts in concrete.
4. Reinforcing steel shall be deformed bars to CSA G30.18 with a minimum yield strength of 400 MPa.
5. Welded wire mesh shall conform to CSA G30.5, welded steel wire fabric for concrete reinforcement.
6. Detail reinforcing in accordance with reinforcing steel manual of standard practice prepared by RSIG.
7. Only ready mix concrete is permitted on this job, the concrete supplier shall be responsible for concrete mix design.
8. Supply and install concrete, reinforcing steel and formwork including placing, finishing and curing as shown on the drawings in accordance with CSA A23 and CSA G30.
9. Non-shrink, non-metallic groll shall be used by Sika Canada inc. or an approved equal.

Wood

1. All wood construction to be in accordance with CSA standard CAN3-086-01.
2. All lumber to be grade stamped and shall be dry spruce #1 or #2 conforming to CSA-086-01 unless otherwise.
3. Lumber for stud walls shall be spruce stud grade unless otherwise.
4. Trus joists, LSL and PSL beams shall be as manufactured by Trus Joist Canada Ltd. or an approved equal, the supplier shall be responsible for design of all connections and shall submit shop drawings bearing a stamp of P. Eng. responsible for the design.
5. All connections, unless noted otherwise, to be in accordance with O.B.C. 2006.
6. All load bearing stud walls shall have one row of solid blocking at mid height unless noted otherwise.
7. Bridging for trus joists shall be as recommended by the manufacturer, however, spacing of bridging shall not exceed 12 feet.
8. Metal hangers shall be made from light gauge galvanized metal and shall have allowable load capacity (as per manufacturer's data) greater than reactions produced by loading conditions. Use Simpson Strong-tie or equal.
9. Protect lumber in direct contact with concrete or mortar with 10 mil. polyethylene sheet.
10. Provide adequate temporary bracing for all stud walls during construction.
11. Double up studs at each end of an opening unless noted otherwise.
12. Plywood as per CSA O 86.1



SECTION AT DECK

Prepared for: CANDICE CHILTON 80 LAKESHORE RD E TORONTO, ONTARIO	ADDRESS: 863 SANGSTER AVENUE PORT CREDIT	LOCATION PLAN: SANGSTER AVENUE	Date: JULY 10, 2013	Scale: Not To Scale
	TITLE: EXIST. FOUNDATION AND DETAIL		ArchCAD Design Inc. 416.919.5756 BRAMPTON, ONTARIO paul@archcad.com	

OCT 22 2013



Corporate Report

Clerk's Files

Originator's
Files

DATE: September 23, 2013

TO: Chair and Members of the Heritage Advisory Committee
Meeting Date: October 22, 2013

FROM: Paul A. Mitcham, P.Eng, MBA
Commissioner of Community Services

SUBJECT: **Proposed Heritage Designation**
Outdoor Firing Range,
1300 Lakeshore Road East
(Ward 1)

RECOMMENDATION: That the Outdoor Firing Range located at 1300 Lakeshore Road East, be designated under Section 29. (1) of the *Ontario Heritage Act* for its historical/associative, contextual and physical value and that the appropriate City officials be authorized and directed to take the necessary action to give effect thereto.

BACKGROUND: The federal government established rifle ranges on this property beginning in 1891. The ranges extended as far west as Aviation Road and as far east as the Etobicoke Creek. Originally established in Toronto, the ranges were set up as a means toward national defense leading up to Canada's participation in the Boer War in 1899. The property hosted annual shooting competitions and served as a rifle testing facility during the Great War and World War II. The City of Toronto leased the barracks after the war for emergency housing. The Rifle Ranges ceased operation in 1957. The remnants of the Outdoor Firing Range consist of 16 wooden baffles constructed in about 1910 and a concrete backstop in about 1925.

The Region of Peel purchased the property from the Province in 1998. The City added the property to the Heritage Register in 2001. A Cultural Heritage Assessment (Appendix 1) prepared by Heritage staff

and the Region of Peel Council's Resolution to Designate (Appendix 2) are attached.

COMMENTS:

The City's Mississauga Plan, Section 3.17.1.2b, states, "... heritage resources of significant value will be identified, protected, and preserved." The Plan further states, under Section 3.17.2.6, that "heritage resources must be maintained in a manner that prevents deterioration and protects the heritage qualities of the resource."

Regulation 9/06 of the Ontario Heritage Act, prescribes the criteria for determining a property's cultural heritage value or interest. Upon review, it has been determined that the Outdoor Firing Range remnants meet the following criteria:

Historical/Associative Value

The Outdoor Firing Range remnants have direct associations with the federal government, the Ontario Rifle Association, the Boer War, the Great War, World War II, the A-25 Small Arms School (Eastern Canada), later S-3 Canadian Small Arms School, and postwar housing. The property yields information that contributes to an understanding of late nineteenth and early twentieth century warfare in Canada.

Contextual Value

The Outdoor Firing Range is physically, functionally, visually and historically linked to its surroundings, including Lake Ontario, Long Branch and the Small Arms factory to the east. The property is important in defining the militaristic/industrial character of the area. The wooden baffle remnants represent the last of their kind from this era in Ontario.

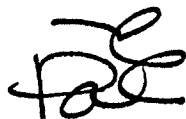
Physical Value

The Outdoor Firing Range remnants are a very rare example of late nineteenth/early twentieth century rifle ranges remaining not just in Ontario, but in Canada.

FINANCIAL IMPACT: There is no financial impact.

CONCLUSION: The Outdoor Firing Range is a unique piece of Canadian National Defence history in Ontario and across Canada. It serves as a reminder of the type of warfare that has been replaced by more modern rifle technologies. The close proximity of the remnants to the Small Arms Inspection Building – increase the contextual significance of both properties. For its contextual, physical and historical/associative value, the Outdoor Firing Range merits designation under Part IV of the *Ontario Heritage Act*.

ATTACHMENTS: Appendix 1: Cultural Heritage Assessment
Appendix 2: Region of Peel Council Resolution to Designate



Paul A. Mitcham, P.Eng, MBA
Commissioner of Community Services

Prepared By: Laura Waldie, Heritage Coordinator



Corporate Report

Clerk's Files

Originator's
Files

Heritage Advisory Committee

OCT 22 2013

DATE: September 23, 2013

TO: Chair and Members of the Heritage Advisory Committee
Meeting Date: October 22, 2013

FROM: Paul A. Mitcham, P.Eng, MBA
Commissioner of Community Services

SUBJECT: **Request to Alter a Heritage Designated Property**
Benares Estate: Main House, Dairy House, Barn and Potting Shed
1503 Clarkson Road
(Ward 2)

RECOMMENDATION: That the request to make alterations to the Benares Main House, Dairy House, Barn and Potting Shed, as described in the report from the Commissioner of Community Services, dated September 23, 2013 be approved and that the appropriate City officials be authorized and directed to take the necessary action to give effect thereto.

BACKGROUND: The Benares Estate is owned by the City of Mississauga. It is located on Clarkson Road North, between Truscott Road and the QEW. Some of the out-buildings on the property date to the original Edgar Neave Estate, circa 1835. The main house, a two storey brick and stone structure is rectangular in shape with a long single storey stone portion to the rear. The rear stone part of the building is the Dairy House and dates to 1835. The colours of the Main House were done to reflect the 1890 period. The house has been retrofitted and generally restored based on research and informed detailing on the inside and out from 1990 to 1995, by the Ontario Heritage Foundation. This site is an important cultural landscape as the six acre parcel provides a link to the area's agrarian past with its historic elements, mature trees, open

space, all within an urban context. The Benares Estate was Designated in 1977 by By-law 493-77 under Part IV, Section 29. (1) of the Ontario Heritage Act .

COMMENTS:

Michael Spaziani Architect Inc. has been retained by the City of Mississauga to undertake required restoration and repair work on a number of City owned heritage properties including the Bradley Museum and Anchorage. Appendix 1 outlines the scope of work required to repair the wood floors of the Main House, Barn and Potting Shed. The roof of the Dairy House will also be repaired. Any flooring or roofing materials needing to be replaced, will be done so with like-for-like materials and installed in the same way as the original material. As this is considered a significant alteration to these structures as per Part II of the City of Mississauga's Heritage By-law 215-07, a Heritage Property Permit is required. Heritage Planning staff supports the proposed work.

FINANCIAL IMPACT: There is no financial impact

CONCLUSION:

The proposed alteration to the Main House, Barn and Potting Shed floors and Dairy House roof on the subject property represents a significant alteration to these heritage assets and so requires a heritage permit. Heritage Planning staff support these alterations to improve the buildings' integrity and longevity.

ATTACHMENTS:

Appendix 1: Scope of Work from David Dodaro of Michael Spaziani Architect Inc.

Appendix 2: Architectural Drawings of Proposed Work



Paul A. Mitcham, P.Eng, MBA
Commissioner of Community Services

Prepared By: Laura Waldie, Heritage Coordinator

OCT 22 2013



Corporate Report

Clerk's Files

Originator's
Files

DATE: September 23, 2013

TO: Chair and Members of the Heritage Advisory Committee
Meeting Date: October 22, 2013

FROM: Paul A. Mitcham, P.Eng, MBA
Commissioner of Community Services

SUBJECT: **Request to Alter a Heritage Designated Property
Bradley Museum Barn and Wood Shed,
1620 Orr Road
(Ward 1)**

RECOMMENDATION: That the request to alter the Bradley House Museum located at 1620 Orr Road, as described in the report from the Commissioner of Community Services, dated September 23, 2013 be approved, and that the appropriate City officials be authorized and directed to take the necessary action to give effect thereto.

BACKGROUND: The property at 1620 Orr Road is a complex of buildings owned by the City, which includes the Anchorage, the Bradley House, a log cabin and a barn. The Bradley House was built by Lewis Bradley, a United Empire Loyalist in 1830. The house still stands on the original land owned by Bradley but was moved away from its original location closer to the lake, to its current location in 1961. The Anchorage is a Regency style cottage that was built in 1820 on land near Southdown and Lakeshore Roads. It was named "The Anchorage" by its second inhabitant, retired British Navy Commander John Skynner (1762-1842). The barn was built on the property and is a replica of a gambrel style barn, a style representative of late nineteenth century farm buildings. The City designated the Bradley property under Section 29.

(1) of the Ontario Heritage Act in 1977. The designation By-law, 477-77 highlights the property's physical and design value.

COMMENTS:

Michael Spaziani Architect Inc. has been retained by the City of Mississauga to undertake required restoration and repair work on a number of City owned heritage properties including the Bradley Museum and Anchorage. Appendix 1 outlines the scope of work required to remove and replace the board and batten wood siding on the subject property's Barn and Wood Shed. The siding has deteriorated significantly over the years and is in need of replacement. Architectural drawings outlining the elevation views and materials to be used are provided in Appendix 2. The materials will be replaced with the same materials and installed in a similar direction to what exists. As this is considered a significant alteration to these heritage assets, as per Part II of the City of Mississauga's Heritage By-law 215-07, a Heritage Property Permit is required. Heritage Planning staff supports the proposed work.

FINANCIAL IMPACT: There is no financial impact.

CONCLUSION:

The proposed alteration to the Barn and Wood Shed on the subject property represents a significant alteration to these heritage assets and so requires a heritage permit. Heritage Planning staff support the alteration of the siding to improve the buildings' structural integrity and longevity.

ATTACHMENTS:

Appendix 1: Scope of Work from David Dodaro of Michael Spaziani Architect Inc.

Appendix 2: Architectural Drawings of Proposed Work



Paul A. Mitcham, P.Eng, MBA
Commissioner of Community Services

Prepared By: Laura Waldie, Heritage Coordinator

OCT 22 2013



Corporate Report

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Files

DATE: September 20, 2013

TO: Chair and Members of the Heritage Advisory Committee
Meeting Date: October 22, 2013

FROM: Paul A. Mitcham, P.Eng, MBA
Commissioner of Community Services

SUBJECT: **Request to Alter a Heritage Designated Property
Derry House on the Adamson Estate,
875 Enola Avenue
(Ward 1)**

RECOMMENDATION: That the request to make alterations to the Derry House on the Adamson Estate as described in the report from the Commissioner of Community Services, dated September 20, 2013, be approved and that the appropriate City officials be authorized and directed to take the necessary action to give effect thereto.

BACKGROUND: The Adamson Estate property is located on Enola Avenue, south of Lakeshore Road East and West of Cawthra Road. The large property consists of two houses, a gateway, barn and other outbuildings. This property has a long history going back to the first Crown grant to Joseph Cawthra in 1804 and letters patented in 1809. It is believed a small log structure once stood on the property which was followed by a larger Swiss chateau style structure added to the water side. The Derry House, is associated with Anthony Adamson, who was awarded the Order of Canada in 1974 for his contributions to Canadian architecture. Adamson was a professor at the University of Toronto and was best known as one of the leaders in Canadian architectural conservation. The Derry House is a good example of the Regency and

Greek Revival styles. The remnants of the original estate with its house, barn, out buildings and grounds are significant as a cultural landscape because they provide a window into the past of an important pioneer family and the lifestyle associated with an early twentieth century country estate.

The City designated the Adamson Estate property under the *Ontario Heritage Act* in 1992 for its physical, historical and contextual value.

COMMENTS:

The Adamson Estate is owned by the City of Mississauga. Each year, the Facilities and Property Management staff evaluate and prioritize Lifecycle and repairs work required for all City owned buildings, including heritage properties. This year's review has uncovered a number of projects which need to be addressed to ensure the continued protection of these designated heritage buildings as well as provide a safe environment for visitors, tenants and employees.

The basement windows and foundation of the Derry House, were assessed for the City by Michael Spaziani Architect Inc. in September 2013. Currently, four basement windows have failed causing significant water damage in the basement over the years. The attached letter from David Dodaro of Michael Spaziani Architect Inc. (Appendix 1) indicates the need for the removal of the windows and openings to be closed in with concrete block. The foundation walls will also be repointed and waterproofed from the footings to six inches above grade. Drawings of the proposed work are attached as Appendix 2.

FINANCIAL IMPACT: There is no financial impact

CONCLUSION:

Staff from Facility and Property Management propose repairs to the Derry House to mitigate water damage. This work represents significant alterations to these heritage assets and thus requires a Heritage Permit. The blocking of the four basement windows and foundation repairs will provide protection from water damage and prolong the life of the structure. Heritage Planning staff supports these alterations and recommends approval.

ATTACHMENTS:

Appendix 1: Scope of Work from David Dodaro of Michael Spaziani Architect Inc.

Appendix 2: Architectural Drawings of Proposed Work



Paul A. Mitcham, P.Eng, MBA
Commissioner of Community Services

Prepared By: Laura Waldie, Heritage Coordinator

OCT 22 2013



Corporate Report

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DATE: September 23, 2013

TO: Chair and Members of the Heritage Advisory Committee
Meeting Date: October 22, 2013

FROM: Paul A. Mitcham, P. Eng, MBA
Commissioner of Community Services

SUBJECT: **Request to Demolish a Heritage Listed Property**
3650 Eglinton Avenue West
(Ward 8)

RECOMMENDATION: That the property at 3650 Eglinton Avenue West, which is listed on the City's Heritage Register, is not worthy of designation, and consequently, that the owner's request to demolish proceed through the applicable process.

BACKGROUND: The subject property was built by William Albertson in 1865. Born in New Jersey in 1794, Albertson came to Upper Canada as a Loyalist in 1810. Albertson fought for the English at Queenston Heights during the War of 1812. As a war veteran, he was granted several acres of land along Eglinton Avenue where he built a number of residences, including the subject property, for himself and various members of his family. Albertson died in 1877 and is buried in Erindale.

Section 27.3 of the Ontario Heritage Act states that structures or buildings on property listed on the City's Heritage Register cannot be removed or demolished without at least a 60 day notice to Council. This legislation allows time for Council to review the property's cultural heritage value to determine if the property merits designation.

The subject property is zoned D in the City's Official Plan, meaning it is zoned as developable land. The current owner wishes to sell the property to a developer who plans to demolish the dwelling and construct a shopping mall complex. No Site Plan has been registered for this proposed development.

COMMENTS:

The subject property was listed on the City's Heritage Register in 1989 for its architectural style and merit. At the time, it was considered a good example of a mid nineteenth century farmhouse which were prevalent at the time in this part of Mississauga. Since being Listed on the Register, this property has now become the only farmhouse left as the area has seen an influx of commercial and townhouse developments. However, since 1989, the structure has suffered extensive water damage in the basement, deterioration of the brickwork and suffered from general neglect. Two Heritage Impact Statements have been produced for this property since 2007 by two separate heritage consultants, both of whom have assessed the property holds no significant heritage value to warrant designation due to its deteriorated state.

The property owner requests permission to demolish the existing structure. A Heritage Impact Statement, with supplementary Building Condition Report, prepared by Dr. Robert J Burns PhD, CAHP is attached as Appendix 1.

FINANCIAL IMPACT: There is no financial impact.

CONCLUSION: The owner of 3650 Eglinton Avenue West has requested permission to demolish a structure on a property listed on the City's Heritage Register. The applicant has submitted documentation which provides information stating the structure holds no merit for designation under the *Ontario Heritage Act*.

ATTACHMENTS: Appendix 1: Heritage Impact Statement



Paul A. Mitcham, P. Eng, MBA
Commissioner of Community Services

Prepared By: Laura Waldie, Heritage Coordinator

OCT 22 2013



Corporate Report

Clerk's Files

Originator's
Files

DATE: September 23, 2013

TO: Chair and Members of the Heritage Advisory Committee
Meeting Date: October 22, 2013

FROM: Paul A. Mitcham, P. Eng, MBA
Commissioner of Community Services

SUBJECT: **Request to Demolish a Heritage Listed Property**
7181 Lancaster Avenue
(Ward 5)

RECOMMENDATION: That the property at 7181 Lancaster Avenue, which is listed on the City's Heritage Register, is not worthy of designation, and consequently, that the owner's request to demolish proceed through the applicable process.

BACKGROUND: Section 27.3 of the *Ontario Heritage Act* states that structures or buildings on property listed on the City's Heritage Register cannot be removed or demolished without at least 60 days' notice to Council. This legislation allows time for Council to review the property's cultural heritage value to determine if the property merits designation.

The subject property is listed on the City's Heritage Register as it forms part of the Wartime Housing Cultural Landscape in Malton. (A location map is attached as Appendix 1). This planned subdivision is located opposite the northeast corner of Pearson International Airport. The neighbourhood is close to where the original Malton Terminal was located and remains close to the present airplane manufacturing and service industry. Although some of the original houses have been altered many still retain characteristics typical of the period.

According to local sources, one in four houses in the area was

According to local sources, one in four houses in the area was relocated from Bramalea Road when the airport expanded in 1950. Developed during the post-war period, many street names commemorate this history; examples being roads such as Churchill Avenue, Victory Crescent and Lancaster Avenue, to name a few.

COMMENTS:

The property owner requests permission to demolish the existing structure. The Heritage Impact Statement, authored by Paul Dilse, Heritage Planning Consultant, is attached as Appendix 2. It is the consultant's conclusion that the structure, located at 7181 Lancaster Avenue, is itself not worthy of heritage designation. The subject property is one of many remnant original homes in the Victory Housing area. Research indicates it does not hold any particular historical, architectural or contextual interest which would warrant heritage designation under Part IV of the *Ontario Heritage Act*, and permission to demolish the structure at 7181 Lancaster Avenue should be granted.

Based on the criteria outlined in Ontario Regulation 09/06, *Ontario Heritage Act*, Heritage staff concurs with the opinion of the consultant.

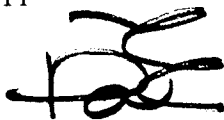
FINANCIAL IMPACT: There is no financial impact.

CONCLUSION: The owner of 7181 Lancaster Avenue has requested permission to demolish the structure on a property that is listed on the City's Heritage Register. The applicant has submitted a report that provides information which does not support the building's merit for designation under the *Ontario Heritage Act*.

ATTACHMENTS:

Appendix 1: Location map

Appendix 2: Heritage Impact Statement



Paul A. Mitcham, P. Eng, MBA
Commissioner of Community Services

Prepared By: E. Eigl, Heritage Coordinator

OCT 22 2013



Corporate Report

Clerk's Files

Originator's
Files

DATE: September 11, 2013

TO: Chair and Members of the Heritage Advisory Committee
Meeting Date: October 22, 2013

FROM: Paul A. Mitcham, P. Eng, MBA
Commissioner of Community Services

SUBJECT: **Request to Demolish a Heritage Listed Property**
930 Whittier Crescent
(Ward 1)

RECOMMENDATION: That the property at 930 Whittier Crescent, which is listed on the City's Heritage Register, is not worthy of designation, and consequently, that the owner's request to demolish proceed through the applicable process.

BACKGROUND: Section 27.3 of the *Ontario Heritage Act* states that structures or buildings on property listed on the City's Heritage Register cannot be removed or demolished without at least a 60 day notice to Council. This legislation allows time for Council to review the property's cultural heritage value to determine if the property merits designation.

The owner of the subject property submitted a Site Plan application under file SPI 13 145, to replace the existing single detached dwelling with a new one. A Heritage Impact Statement and Heritage Property Permit application were requested through the Site Plan process. The subject property is listed on the City's Heritage Register as it forms part of the Lorne Park Estates Cultural Landscape.

This enclave was a planned resort community designed by Edmund

Burke of the Toronto based architectural firm, Langley and Burke. It succeeded the park's original use as a public "pleasure ground" in the early 1880s.

COMMENTS:

The property owner requests permission to demolish the existing structure. The Heritage Impact Statement, by David Small Designs, is attached as Appendix 1. It is the consultant's conclusion that the house at 930 Whittier Crescent is not worthy of heritage designation. Staff concurs with this opinion.

The landscaping and urban design related components will be reviewed as part of the Site Plan review process.

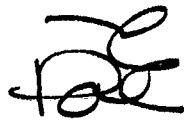
FINANCIAL IMPACT: There is no financial impact.

CONCLUSION:

The owner of 930 Whittier Crescent has requested permission to demolish a structure on a property listed on the City's Heritage Register. Staff have found the property does not merit designation under the *Ontario Heritage Act*.

ATTACHMENTS:

Appendix 1: Heritage Impact Statement



Paul A. Mitcham, P. Eng, MBA
Commissioner of Community Services

Prepared By: Laura Waldie, Heritage Coordinator

OCT 22 2013

**Memorandum**Community Services Department
Culture Division

TO: Chair and Members of the Heritage Advisory Committee

FROM: Laura Waldie, Heritage Coordinator

DATE: September 11, 2013

FILE: SPI 11/008

SUBJECT: **Heritage Impact Statement
40 Veronica Drive (Ward 1)**

The subject property is listed on the City's Heritage Register as it forms part of the Mineola West Neighbourhood Cultural Landscape. The site plan application proposes a single family dwelling on this lot, which was severed off the lot adjacent at 36 Veronica Drive. This severance took place in 2012.

Because this new property is Listed, a Heritage Impact Statement was required. However, because the land is vacant, there was no request to demolish. Therefore, the Heritage Impact Statement attached is for your information only.

Laura Waldie
Heritage Coordinator
Culture Division
905-615-3200, ext. 5366
laura.waldie@mississauga.ca

ATTACHMENTS: Appendix 1: Heritage Impact Statement by David Small Designs

OCT 22 2013

**Memorandum**Community Services Department
Culture Division

TO: Chair and Members of the Heritage Advisory Committee

FROM: Laura Waldie, Heritage Coordinator

DATE: September 11, 2013

FILE: 869 Whittier Crescent

SUBJECT: **Internal renovations and addition of dormers (Ward 2)**

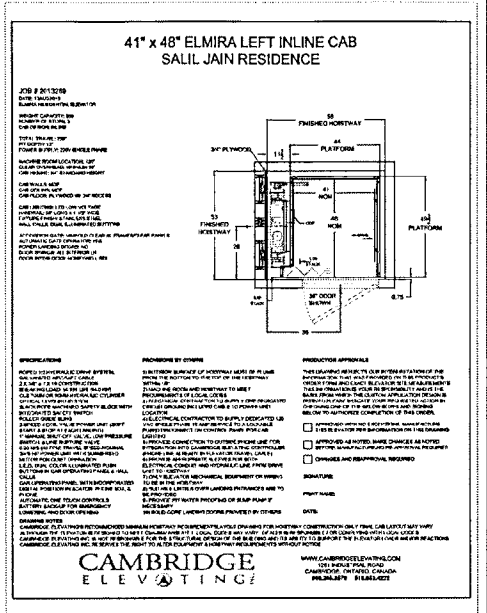
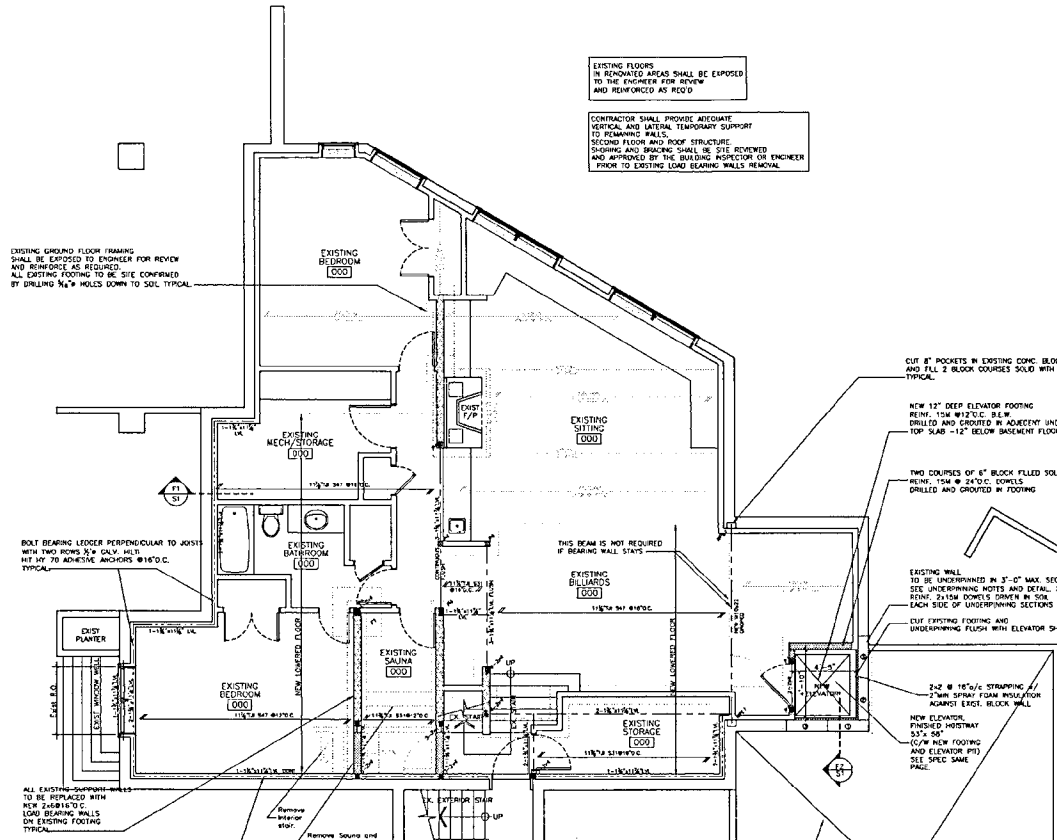
The subject property is listed on the City's Heritage Register as it forms part of the Lorne Park Estates Cultural Landscape. This structure was constructed in 1987 and the new owners wish to make some interior modifications to accommodate a wheelchair lift. As a result of these interior modifications, two dormers are required to be added. Heritage Planning staff have no concerns with the addition of these dormers.

Because this property is Listed, Heritage Planning requested to view the drawings of the proposed dormers. Those drawings are attached for your information.

Laura Waldie
Heritage Coordinator
Culture Division
905-615-3200, ext. 5366
laura.waldie@mississauga.ca

ATTACHMENTS: Appendix 1: Photos and Drawings





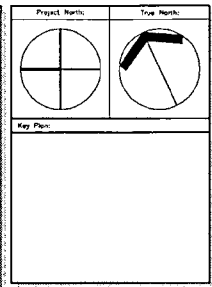
GENERAL NOTES:

- THE CONTRACTOR SHALL CHECK ALL EXISTING CONSTRUCTION AND DIMENSIONS WITH THE LATEST SETS OF CONSTRUCTION DRAWINGS. REPORT ANY DISCREPANCIES TO THE ARCHITECT / ENGINEER BEFORE PROCEEDING WITH WORK.
- CONTRACTOR TO ENSURE THAT ALL SAFETY REQUIREMENTS ARE FULFILLED.
- ALL CONSTRUCTION TO BE PERFORMED IN ACCORDANCE WITH ONTARIO BUILDING CODE, LAST EDITION, LOCAL BYLAWS AND HEALTH AND SAFETY REGULATIONS.
- IT IS CONTRACTOR'S RESPONSIBILITY TO MAKE SURE THAT EVERY EDUCATION IS UNDERTAKEN IN SUCH A MANNER AS TO PREVENT ACCIDENTS WHICH MIGHT CAUSE DAMAGE TO SMALL PROPERTY, EXISTING STRUCTURES, UTILITIES, ROADS AND SIDEWALKS AT ALL STAGES OF CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR DESIGN, SUPPLY, INSTALLATION, MAINTENANCE AND REMOVAL OF ALL TEMPORARY WORKS REQUIRED FOR PERMANENT STRUCTURE INSTALLATION AND CONSTRUCTION SAFETY.
- FIELD REVIEWS BY THE ENGINEER OR RECORDS (SEE 103) IS REQUIRED TO ACCEPT THAT CONTRACTOR'S WORK IS IN GENERAL COMPLIANCE WITH PERMITS AND OTHER CONTRACT DOCUMENTS. FIELD REVIEWS DO NOT FULLY RELEASE THE CONTRACTOR FROM THE ACE OF OMISSION BY THE CONTRACTOR, SUBCONTRACTOR OR ANY OTHER PERSON PERFORMING THE WORK OR FOR THE FAILURE OF ANY OF THEM TO COMPLY WITH THE WORK IN ACCORDANCE WITH CONTRACT DOCUMENTS.
- CONTRACTOR TO PROVIDE 48 HOURS NOTICE FOR ALL PRELIMINARY FIELD REVIEWS AT THE TIME OF THE REVIEW THE WORK INCLUDING RECORD INSTALLATION SHALL BE COMPLETELY COMPLETED. ENGINEER RESERVES RIGHT TO REQUEST RE-INSPECTION OF INCOMPLETE WORK AT ADDITIONAL COST TO THE OWNER.

FOUNDATION NOTES:

- FOUND ALL NEW FOOTINGS ON UNDISTURBED NATIVE SOIL, CAPABLE OF SAFELY SUPPORTING 3,000 PSF. FOOTINGS CONSTRUCTED IN THE PRESENCE OF WATER TABLE SHALL BE IN ACCORDANCE TO SECTION 84.4.3 O.B.C. BEARING ELEVATIONS AND WATER TABLE LEVEL SHALL BE CONFIRMED BY GEOTECHNICAL ENGINEER PRIOR TO ANY FORM REPAIR OR CONCRETE PLACEMENT.
- ALL EXISTING FOOTINGS SHALL BE SITE INSPECTED BY THE ENGINEER, WHERE EXISTING FOOTING IS NOT CHECKED THE CONTRACTOR SHALL DRILL 'PEEP' HOLES TO DETERMINE MINIMUM THICK CONCRETE UNDER NEW SUPPORT WALLS. PROVIDE 4\"/>

FOUNDATIONS SCHEDULE (Soil capacity = 3,000 PSF)		
Mark	Size	Reinforcing
F1	3'-6\"/>	



No.	Date	Issue/Revision	By
02	Aug 12, 13	Issued for Building Permit	C.R.
01	Aug 12, 13	Issued for Planning Review	C.R.

GREEN WEIS ARCHITECT & ASSOCIATES

1005 BRUCE PARK ROAD
CAMDEN, ONTARIO
N6M 4K2

Architect: **JAIN RESIDENCE**

Professional Engineer: **GREEN WEIS ARCHITECT & ASSOCIATES**

244 King Street
Camden, Ontario
N6M 2G3
Tel: 519-824-1514
Fax: 519-824-1510

JAIN RESIDENCE

889 Whittaker Crescent
Whittaker, Ontario, L5H 2X3

Project: **JAIN RESIDENCE**

85% S&S Jan
Tel: (519) 305-8245

EXISTING BASEMENT FLOOR PLAN

Design By: **G.W.** Drawn By: **A.Z.** Approve By: **G.W.**

Scale: 1/4" = 1'-0" Date: July 2013 Project No.: 13.42

Drawing No.: **A2.1**

#B69 WHITTIER CRESCENT

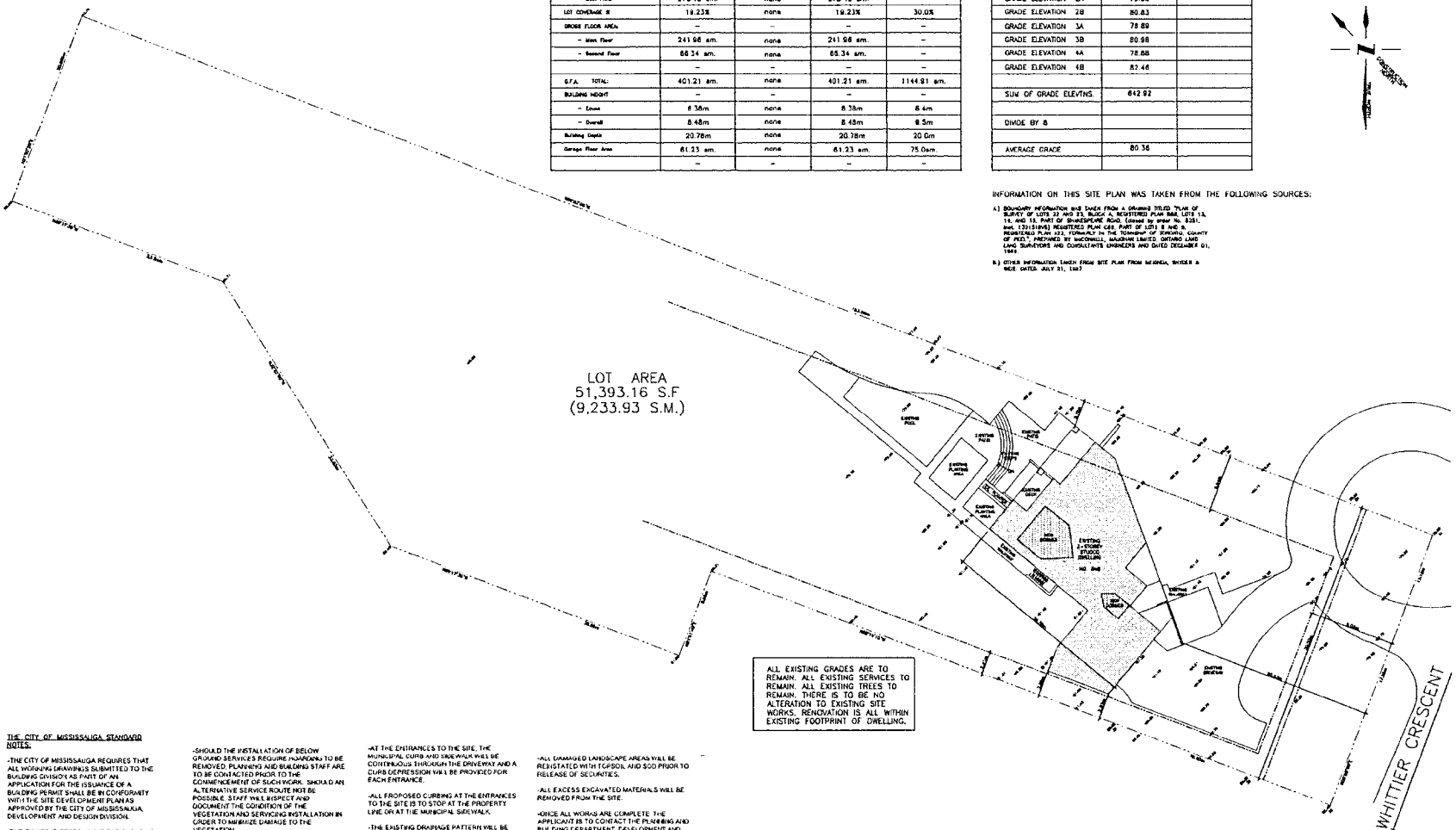
30 JULY 2013

SITE STATISTICS				
DESCRIPTION	EXISTING	PROPOSED	TOTAL	BY-LAW
ZONE	R2-5	--	--	--
LOT AREA	4,774.56 sq.m.	--	--	--
LOT FRONTAGE @ 9m	30.52 m.	--	30.52 m.	30.0 m.
FOOTPRINT AREA	--	--	--	--
- 1st Floor	275.49 sq.m.	none	275.49 sq.m.	--
LOT COVERAGE @	19.23%	none	19.23%	30.0%
GROSS FLOOR AREA	--	--	--	--
- 1st Floor	241.66 sq.m.	none	241.66 sq.m.	--
- 2nd Floor	66.34 sq.m.	none	66.34 sq.m.	--
G.F.A. TOTAL	401.21 sq.m.	none	401.21 sq.m.	1144.91 sq.m.
BUILDING HEIGHT	--	--	--	--
- 1st Floor	8.58m	none	8.58m	8.4m
- Overall	8.48m	none	8.48m	8.5m
Building Depth	20.78m	none	20.78m	20.0m
Garage Floor Area	61.23 sq.m.	none	61.23 sq.m.	75.0sq.m.

AVG. GRADE CALCULATION		
GRADE ELEVATION 1A	78.90	
GRADE ELEVATION 1A	82.48	
GRADE ELEVATION 2A	79.50	
GRADE ELEVATION 2B	80.83	
GRADE ELEVATION 3A	78.80	
GRADE ELEVATION 3B	80.98	
GRADE ELEVATION 4A	78.88	
GRADE ELEVATION 4B	82.48	
SUM OF GRADE ELEVATIONS	642.92	
DIVIDE BY 8		
AVERAGE GRADE	80.36	

INFORMATION ON THIS SITE PLAN WAS TAKEN FROM THE FOLLOWING SOURCES:

- 1) Boundary Measurement was taken from a Deeded PLOD, Title of SURVEY OF LOTS 22 AND 23, BLOCK A, REGISTERED PLAN 884, LOTS 11, 12, AND 14, PART OF BRIDGEVIEW BOUL, (Created by order No. 432), and 13(1-2009) REGISTERED PLAN (AS PART OF LOTS 8 AND 9, BRIDGEVIEW BOUL, FORMED BY THE TOWNSHIP OF BRANT, COUNTY OF BRANT, PREPARED BY WOODWELL, WOODHEAD LIMITED, SURVEYORS AND CONSULTANTS ENGINEERS AND DATED DECEMBER 01, 2009).
- 2) OTHER INFORMATION TAKEN FROM SITE PLAN FROM MISSISSAUGA, DIVISION 8, DATE: JULY 21, 2007.



LOT AREA
51,393.16 S.F.
(9,233.93 S.M.)

ALL EXISTING GRADES ARE TO REMAIN. ALL EXISTING SERVICES TO REMAIN. THERE IS TO BE NO ALTERATION TO EXISTING SITE WORKS. RENOVATION IS ALL WITHIN EXISTING FOOTPRINT OF DWELLING.

THE CITY OF MISSISSAUGA STANDARD RULES

THE CITY OF MISSISSAUGA REQUIRES THAT ALL WORKING DRAWINGS SUBMITTED TO THE BUILDING DIVISION AS PART OF AN APPLICATION FOR THE ISSUANCE OF A BUILDING PERMIT SHALL BE IN CONFORMITY WITH THE SITE DEVELOPMENT STANDARDS APPROVED BY THE CITY OF MISSISSAUGA, DEVELOPMENT AND DESIGN DIVISION.

THE OWNER IS RESPONSIBLE FOR ENSURING THAT THESE PROTECTION HOARDINGS MAINTAINED THROUGHOUT ALL PHASES OF DEMOLITION AND CONSTRUCTION BY THE LOCATION AND CONSTRUCTION AS APPROVED BY THE PLANNING AND BUILDING DEPARTMENT. INFORMATION IS OBLIGING MATERIALS, SOIL, ETC. MAY BE STOCKPILED WITHIN THE AREA OF HOARDINGS. FAILURE TO MAINTAIN THE HOARDINGS AS CRIMINALLY APPROVED OR THE STORAGE OF MATERIALS WITHIN THE HOARDINGS WILL BE CAUSE FOR THE BETTER OF CREDIT TO BE HELD FOR TWO (2) YEARS FOLLOWING COMPLETION OF ALL SITE WORKS.

Owners Signature _____ Date _____

- SHOULD THE INSTALLATION OF BELOW GROUND SERVICES REQUIRING HANDHOLES TO BE REMOVED, PLANNERS AND BUILDING STAFF ARE TO BE CONTACTED PRIOR TO THE COMMENCEMENT OF SUCH WORK. SHOULD AN ALTERNATIVE SERVICE ROUTE NOT BE POSSIBLE, STAFF WILL SUSPECT AND DOCUMENT THE CONDITION OF THE VEGETATION AND SERVICE INSTALLATION IN ORDER TO MINIMIZE DAMAGE TO THE VEGETATION.

- THE STRUCTURAL DESIGN OF ANY RETAINING WALL OVER 0.90M (3.0 FT.) IN HEIGHT OR ANY RETAINING WALL 1.1 LOCATED ON A PROPERTY LINE IS SHOWN ON THE SITE PLAN AND ANY WORKING PLAN AND IS TO BE APPROVED BY THE CONSULTING ENGINEER FOR THE PROJECT.

- GRADES MUST BE MET WITHIN 3% MAXIMUM SLOPE AT THE PROPERTY LINES AND WITHIN THE SITE.

- THE PORTIONS OF THE DRIVEWAY WITHIN THE MUNICIPAL BOULEVARD WILL BE PAVED BY THE APPLICANT.

- ALL ENTRANCES TO THE SITE, THE MUNICIPAL CURB AND SIDEWALK WILL BE CORNERPOUS THROUGH THE DRIVEWAY AND A CURB DEPRESSION WILL BE PROVIDED FOR EACH ENTRANCE.

- ALL PROPOSED CURBING AT THE ENTRANCES TO THE SITE IS TO STOP AT THE PROPERTY LINE OR AT THE MUNICIPAL SIDEWALK.

- THE EXISTING DRAINAGE PATTERNS WILL BE MAINTAINED EXCEPT WHERE NOTED.

- ALL UTILITY COMPANIES WILL BE NOTIFIED FOR LOCATES PRIOR TO THE INSTALLATION OF THE HOARDINGS THAT LIES WITHIN THE LIMITS OF THE CITY BOULEVARD AREA.

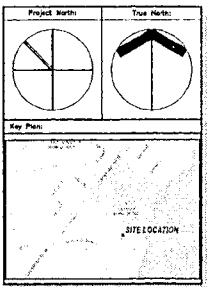
- THE APPLICANT WILL BE RESPONSIBLE FOR THE COST OF ANY UTILITIES RELOCATIONS NECESSITATED BY THE SITE PLAN.

- CONSTRUCTION MATERIALS ARE NOT TO BE PUT OUT FOR COLLECTION.

- ALL UNMANNED LANDSCAPE AREAS WILL BE REVEGETATED WITH TOPSOIL AND SOON PRIOR TO RELEASE OF SECURITIES.

- ALL EXCESS EXCAVATED MATERIALS WILL BE REMOVED FROM THE SITE.

- SINCE ALL WORKS ARE COMPLETE THE APPLICANT IS TO CONTACT THE PLANNERS AND BUILDING DEPARTMENT, DEVELOPMENT AND DESIGN DIVISION, AT (905) 881-1511 FOR AN INSPECTOR PRIOR TO HOARDING BEING REMOVED.



No.	Date	Name/Revision	By
01	Aug 28, 13	Issued for Planning Review	S.A.
02	Aug 28, 13	Issued for Planning Review	S.A.
03	Aug 28, 13	Issued for Planning Review	S.A.
04	Aug 28, 13	Issued for Planning Review	S.A.
05	Aug 28, 13	Issued for Planning Review	S.A.
06	Aug 28, 13	Issued for Planning Review	S.A.
07	Aug 28, 13	Issued for Planning Review	S.A.
08	Aug 28, 13	Issued for Planning Review	S.A.
09	Aug 28, 13	Issued for Planning Review	S.A.
10	Aug 28, 13	Issued for Planning Review	S.A.
11	Aug 28, 13	Issued for Planning Review	S.A.
12	Aug 28, 13	Issued for Planning Review	S.A.
13	Aug 28, 13	Issued for Planning Review	S.A.
14	Aug 28, 13	Issued for Planning Review	S.A.
15	Aug 28, 13	Issued for Planning Review	S.A.
16	Aug 28, 13	Issued for Planning Review	S.A.
17	Aug 28, 13	Issued for Planning Review	S.A.
18	Aug 28, 13	Issued for Planning Review	S.A.
19	Aug 28, 13	Issued for Planning Review	S.A.
20	Aug 28, 13	Issued for Planning Review	S.A.
21	Aug 28, 13	Issued for Planning Review	S.A.
22	Aug 28, 13	Issued for Planning Review	S.A.
23	Aug 28, 13	Issued for Planning Review	S.A.
24	Aug 28, 13	Issued for Planning Review	S.A.
25	Aug 28, 13	Issued for Planning Review	S.A.
26	Aug 28, 13	Issued for Planning Review	S.A.
27	Aug 28, 13	Issued for Planning Review	S.A.
28	Aug 28, 13	Issued for Planning Review	S.A.
29	Aug 28, 13	Issued for Planning Review	S.A.
30	Aug 28, 13	Issued for Planning Review	S.A.

Note:
All dimensions and elevations shown on this drawing shall be checked and verified on site prior to construction and fabrication of all components. Should there be any discrepancy, it shall be the responsibility of the contractor to verify the accuracy of the information on the drawing. The architect shall not be responsible for any errors or omissions in the drawing.

Scale:
Scale of construction and all parts shall be as shown on the drawing. The contractor shall be responsible for any errors or omissions in the drawing.

Materials:
All materials shall be of the highest quality and shall be approved by the architect prior to installation.

Workmanship:
All work shall be done in accordance with the applicable building codes and standards.

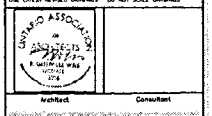
Site Work:
The contractor shall be responsible for obtaining all necessary permits and approvals from the relevant authorities.

Site Access:
The contractor shall be responsible for maintaining access to all adjacent properties at all times.

Site Security:
The contractor shall be responsible for securing the site at all times.

Site Cleanup:
The contractor shall be responsible for cleaning up the site at all times.

Site Restoration:
The contractor shall be responsible for restoring the site to its original condition at all times.



GREEN ARCHITECT AND ASSOCIATES

Project: **JAIN RESIDENCE**
150 Whittier Crescent
Mississauga, Ontario L4H 2K3

Design By:	Drawn By:	Approved By:
G.W.	G.W.	G.W.
Scale:	Date:	Project No.:
1:200	July 2013	12.67
Drawing No.:	SP-1	

OCT 22 2013

**Memorandum**Community Services Department
Culture Division

TO: Chair and Members of the Heritage Advisory Committee

FROM: Laura Waldie, Heritage Coordinator

DATE: September 24, 2013

FILE: 1496 Adamson Street

SUBJECT: **Window Replacement at rear of property (Ward 7)**

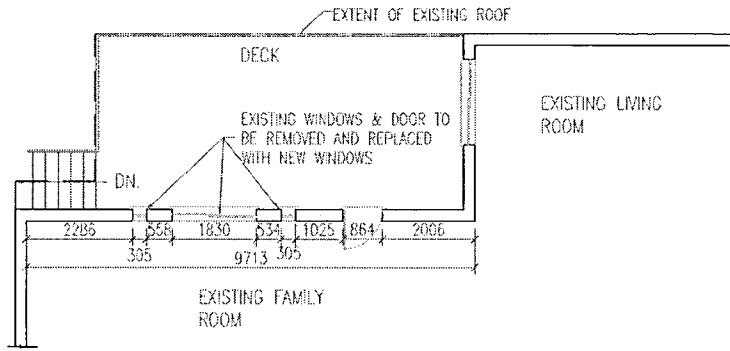
The subject property is listed on the City's Heritage Register as it forms part of the Erindale Village Cultural Landscape. This structure was constructed in 1984 and the current owners wish to enlarge the existing windows at the rear of the property. Because these larger windows will not be visible from the streetscape, nor do they change the overall size, shape and form of the structure, Heritage Planning staff has no concern with this window enlargement.

Because this property is Listed, Heritage Planning requested to view the drawings of the proposed work. Those drawings are attached for your information.

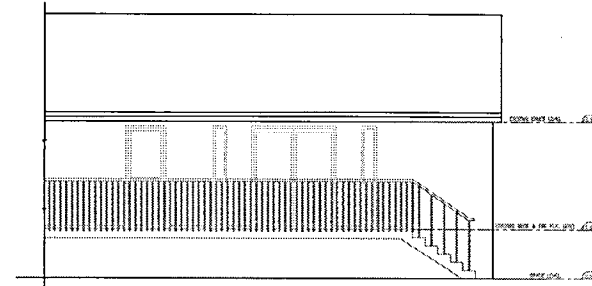
Laura Waldie
Heritage Coordinator
Culture Division
905-615-3200, ext. 5366
laura.waldie@mississauga.ca

ATTACHMENTS: Appendix 1: Drawings

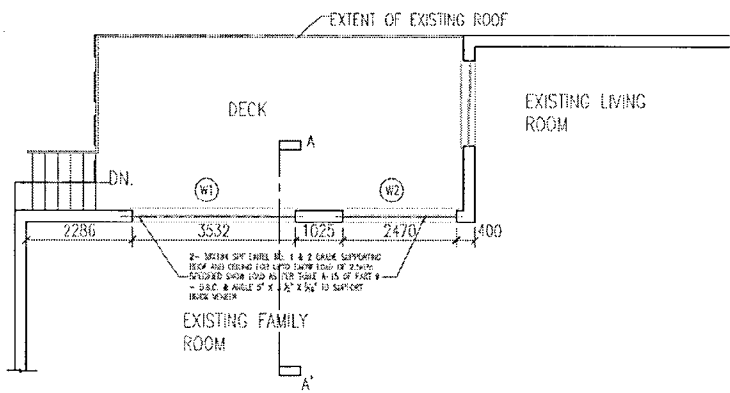
APPENDIX 1



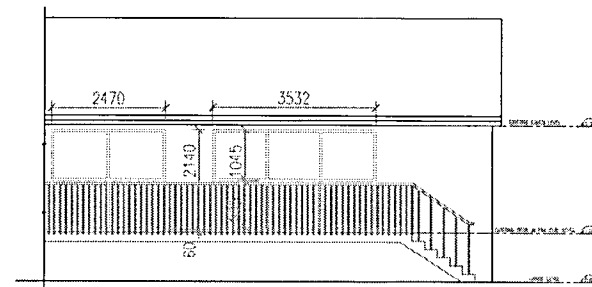
EXISTING FLOOR PLAN



EXISTING REAR ELEVATION



PROPOSED FLOOR PLAN



PROPOSED REAR ELEVATION

CONTRACTORS MUST CHECK AND VERIFY ALL DIMENSIONS ON THE JOB AND REPORT ANY DISCREPANCIES TO THE CONSULTANT BEFORE PROCEEDING WITH THE WORK.
ALL PRINTS & SPECIFICATIONS ARE THE PROPERTY OF THE ARCHITECT AND MUST BE RETURNED AT THE COMPLETION OF THE WORK.

V.A. ARCHITECT INC.

REVISIONS/ISSUED

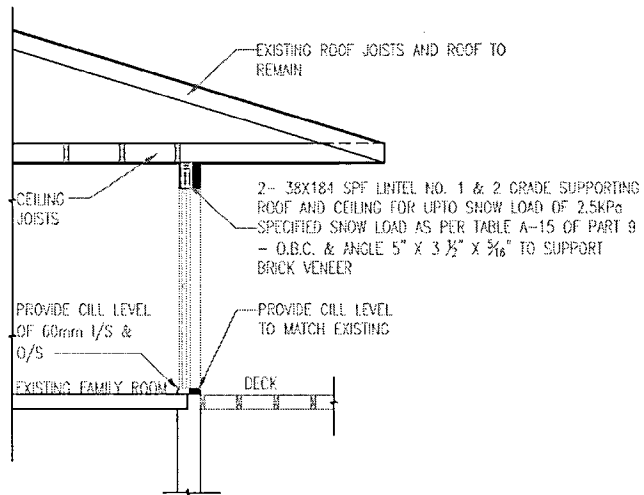
DRAWING TITLE:
FLOOR PLANS

PROJECT TITLE:
1498 ADAMSON STREET,
MISSISSAUGA,
ONTARIO.

PROJECT NO:
VA-18-13

DATE: 2013-09-18 CHECKED:

SCALE: 1:100 DRAWING NO: 02



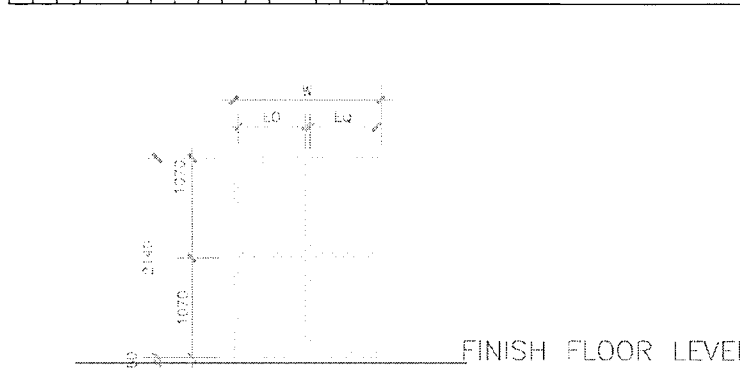
SECTION AA'

NOTES:

1. FOR ENDS OF LINTELS FULLY SUPPORTED BY WALLS, PROVIDE MIN. BEARING LENGTH OF 76mm FOR LINTEL SPANS GREATER THAN 3.0 MTS.
2. OBC REF. 9.23.10.6. - STUDS AT THE SIDES OF THE OPENINGS MUST BE DOUBLED TO PROVIDE SUPPORT TO LINTELS AND TO TRANSFER LOADS
3. OBC REF. 9.7.6.1. - WINDOWS MUST CONFORM TO REQUIREMENTS FOR RESISTANCE TO FORCED ENTRY AS DESCRIBED IN CLAUSE 10.15 OD CAN/CSA A440M, WINDOWS
4. OBC REF. 9.20.15.11. - CAULKING BETWEEN MASONRY VENEER & WINDOW FRAMES TO RESTRICT PRECIPITATION FROM ENTERING THE WALL ASSEMBLY
5. OBC REF. 9.7.3.2. - ALL GLASS IN WINDOWS SHOULD CONFORM TO CAN/CGSB -12.20M
6. OBC REF. 12.3.2.8. - ALL WINDOWS SEPARATING HEATED SPACE FROM UNHEATED SPACE/ OUTDOORS MUST HAVE AN OVERALL COEFFICIENT OF HEAT TRANSFER NOT MORE THAN 1.6W/sq.m. deg.C

WINDOWS SCHEDULE

WINDOW				FRAME				REMARKS								
DOOR NUMBER	ROOM TO	ROOM FROM	SIZE	ELEVATION	FIRE RATED (MFR)	MATERIAL	FINISH	GLASS	HARDWARE GROUP	MATERIAL	FINISH	ELEVATION	DETAILS	ABBREVIATIONS		GLAZING INDEX
														M	ST	GL1
W1			3332 X 2140			HM	PD	GL2		HM	PD					GL2: CLEAR/TEMP/DOUBLE GLAZING
W2			2470 X 2140			HM	PD	GL2		HM	PD					GL2: CLEAR/TEMP/DOUBLE GLAZING GL3: CLEAR/TEMP/SINGLE 12mm GLAZING GL4: CLEAR SINGLE GLAZING



WINDOW PLAN AND ELEVATION

CONTRACTORS MUST CHECK AND VERIFY ALL DIMENSIONS ON THE JOB AND REPORT ANY DISCREPANCIES TO THE CONSULTANT BEFORE PROCEEDING WITH THE WORK.
ALL PRINTS & SPECIFICATIONS ARE THE PROPERTY OF THE ARCHITECT AND MUST BE RETURNED AT THE COMPLETION OF THE WORK.

V.A. ARCHITECT INC.

REVISIONS/ISSUES

DRAWING TITLE:
FLOOR PLANS

PROJECT TITLE:
1496 ADAMSON STREET,
MISSISSAUGA,
ONTARIO.

PROJECT NO:
VA-18-13

DATE:
2013-09-16

SCALE:
1:50

CHECKED:
DRAWING NO:
03

OCT 22 2013

**Memorandum**Community Services Department
Culture Division

TO: Chair and Members of the Heritage Advisory Committee

FROM: Laura Waldie, Heritage Coordinator

DATE: October 1, 2013

FILE: 2300 Speakman Drive

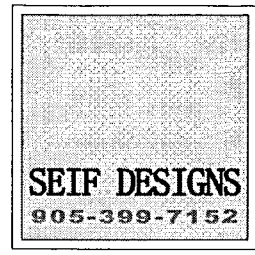
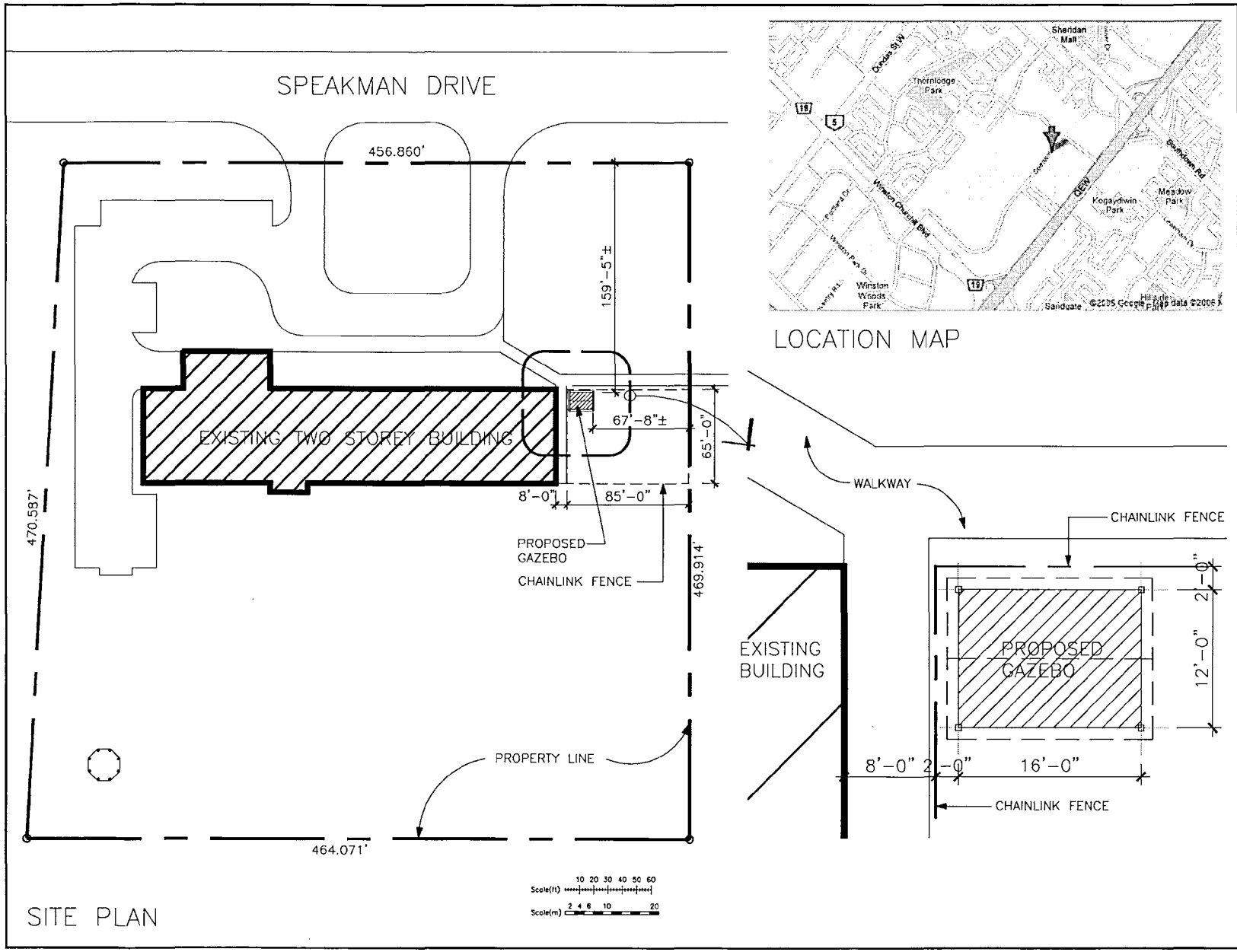
SUBJECT: **Addition of Rear Yard Gazebo (Ward 2)**

The subject property is listed on the City's Heritage Register as it forms part of the Sheridan Park Cultural Landscape. The owner of this property wishes to construct a gazebo at the rear of the property. Heritage Planning staff have no concerns with the addition of this gazebo.

Because this property is Listed, Heritage Planning requested to view the drawings of the proposed gazebo and current photos of the property's rear yard. Those drawings and photos are attached for your information.

Laura Waldie
Heritage Coordinator
Culture Division
905-615-3200, ext. 5366
laura.waldie@mississauga.ca

ATTACHMENTS: Appendix 1: Drawings and photos



Rev.	Description	Date	By

Project Title

OLIVE GROVE SCHOOL

2300 SPEAKMAN DRIVE

MISSISSAUGA, ONTARIO

Drawing Sheet Title

PROPOSED GAZEBO -

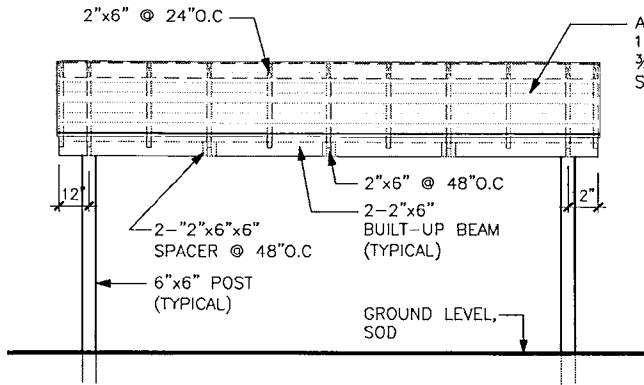
SITE PLAN & MAP

Scale AS NOTED

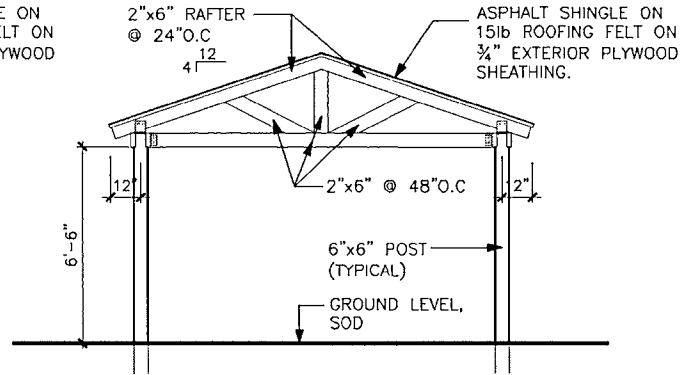
Drawn by IGI Date SEPTEMBER 2013

Date Printed SEPTEMBER 2013

North Point	
Sheet Number	1
Drawing Number	D-1



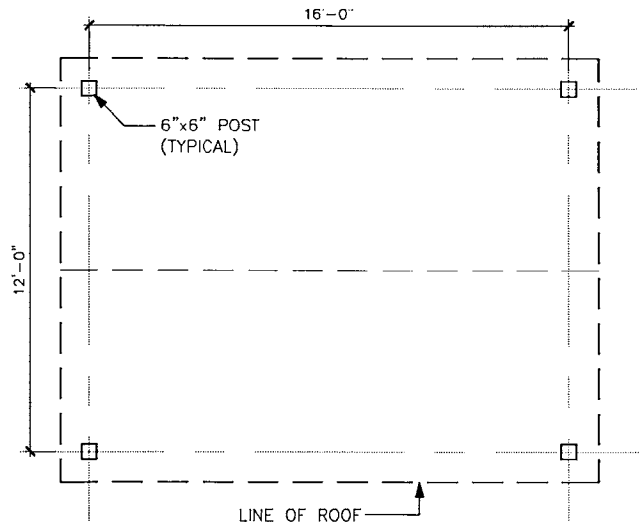
ELEVATION



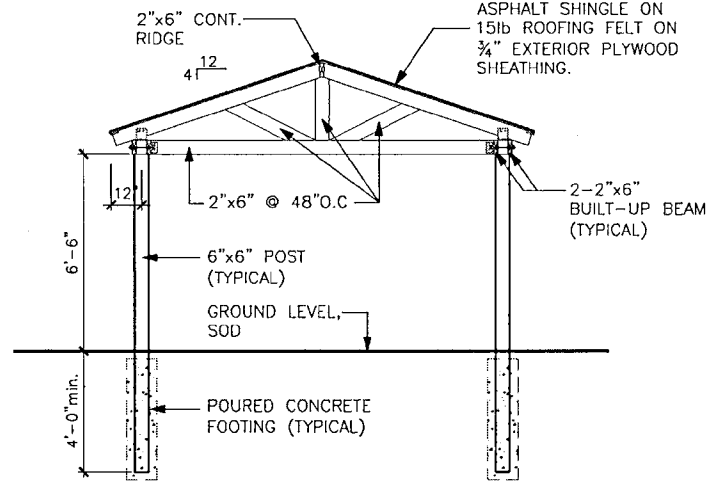
ELEVATION

NOTE:

- ALL WOOD TO BE PRESSURE TREATED WOOD.
- ALL UPPER ROOF RAFTER AND BACE TO BE 2"x6".
- ROOF FRAMING CONNECTIONS TO HAVE STANDARD METAL TIE AS INDICATED.



PLAN



SECTION A-A

SEIF DESIGNS
905-399-7152

Rev.	Description	Date	By

Project Title

OLIVE GROVE SCHOOL
2300 SPEAKMAN DRIVE
MISSISSAUGA, ONTARIO

Drawing Sheet Title

PROPOSED GAZEBO -
PLAN & SECTION

Scale 1/4" = 1'-0"
Drawn by KSJ Date SEPTEMBER 2013
Date Printed SEPTEMBER 2013

North Point

7.4.17 Project Number

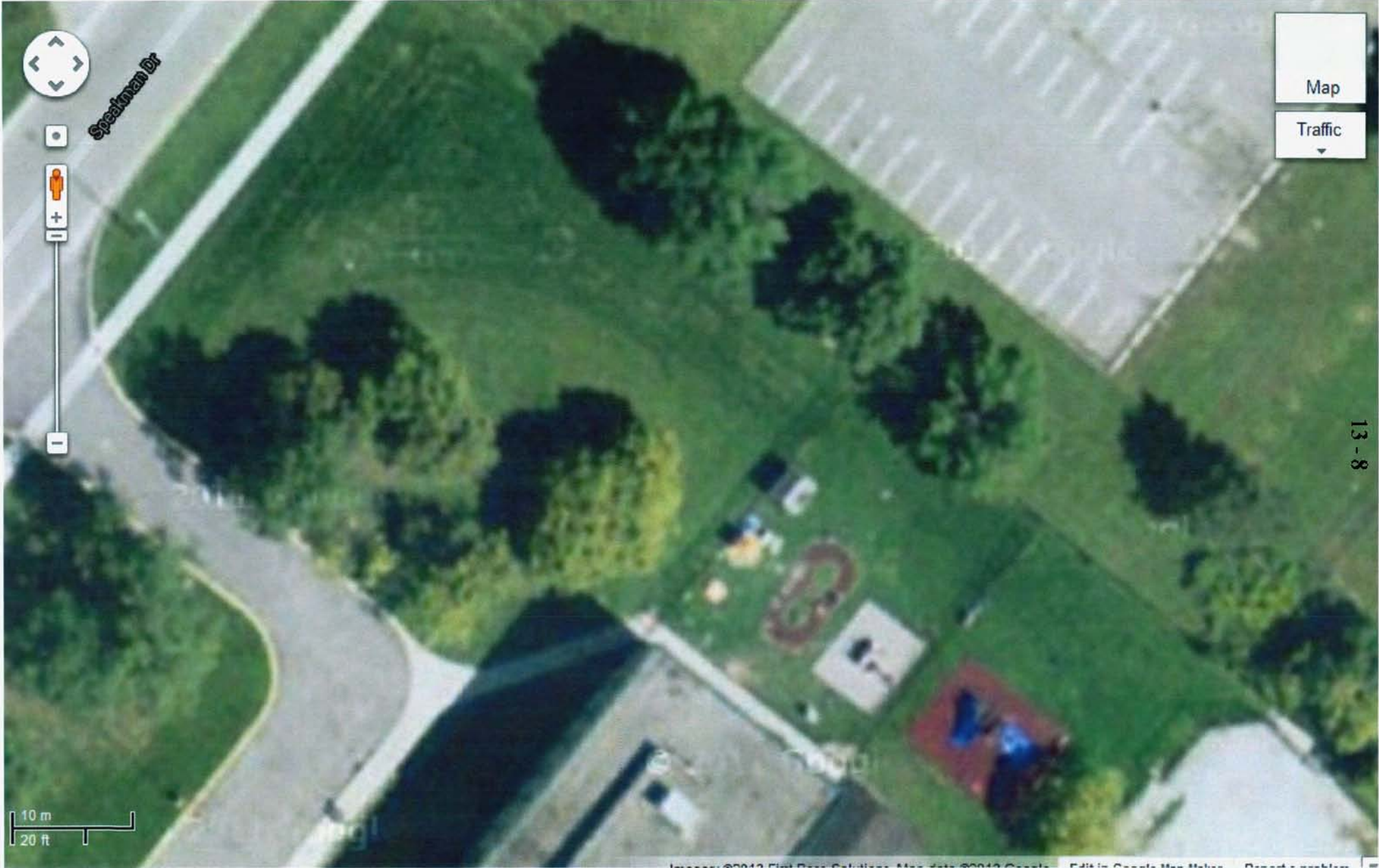
Sheet Number **D-2** Rev. Number -





13-6





13-8

OCT 22 2013

**Memorandum**Community Services Department
Culture Division

TO: Chair and Members of the Heritage Advisory Committee

FROM: Elaine Eigl

DATE: October 1, 2013

FILE: 275/277 Queen Street South

SUBJECT: **Demolition of a listed property (Ward 11)**

The subject property is listed on the City's Heritage Register as it forms part of the Mississauga Road Scenic Route Cultural Landscape. A site plan and photos are included for reference.

Behind the property is a municipal parking lot which is accessed from the west side of Church Street opposite Vic Johnson Arena. This lot, which has 36 parking spaces, can be accessed using a walkway which connects to Queen Street South. Because of its location this parking lot is generally underutilized except during major village events, such as the Bread and Honey and Santa Claus parades.

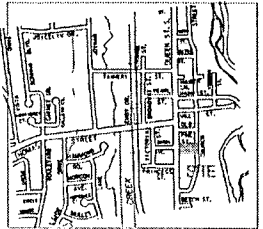
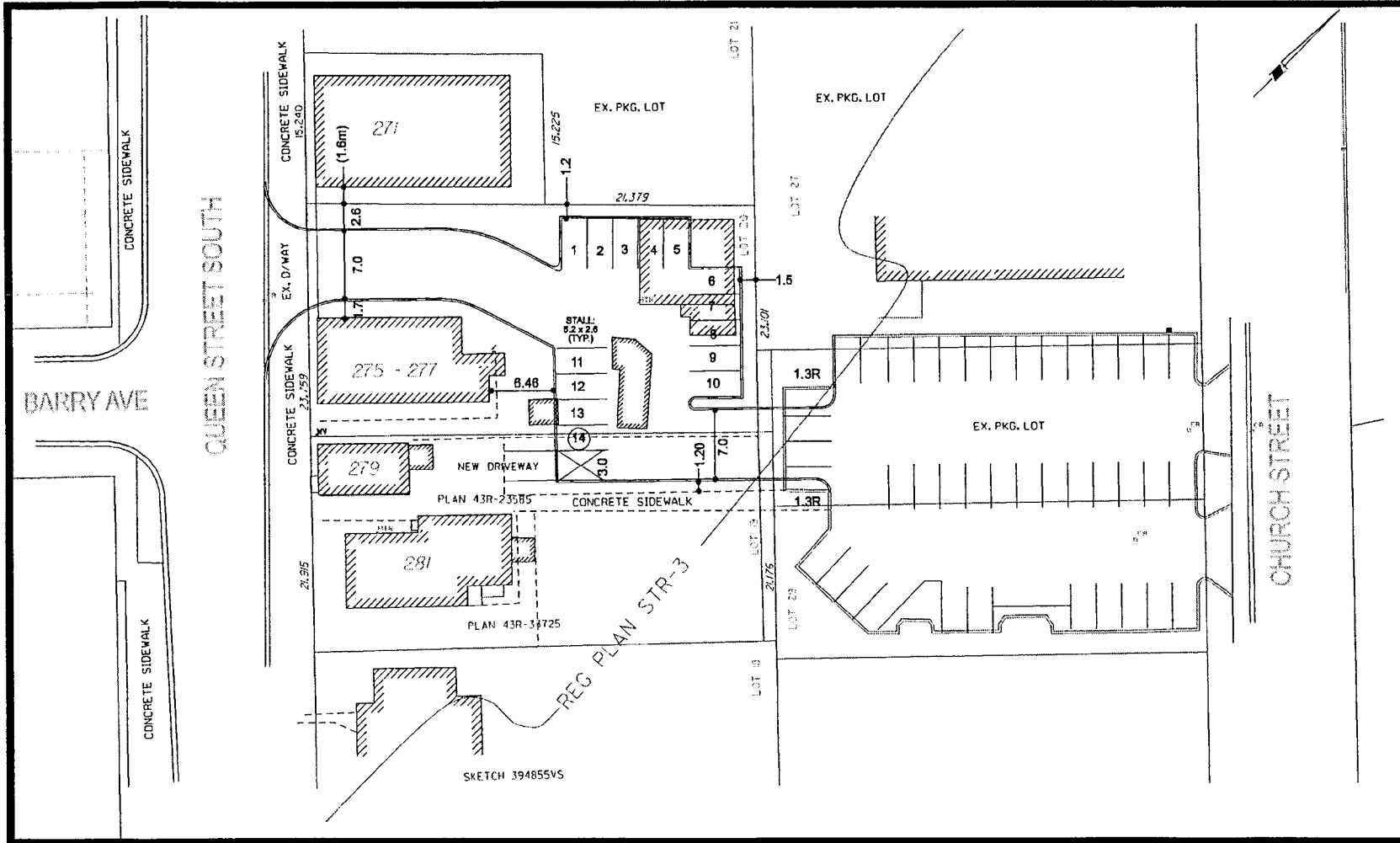
The owners of 275-277 Queen Street South and 279 Queen Street South proposed that a driveway connection, from Queen Street South, be provided to the Church Street municipal parking lot. Agreements have been executed to lease land from the subject property owners, with the intention to construct a shared municipal parking lot on properties know as 275-277 & 279 Queen Street South. This new parking lot will consist of 14 parking spaces and will connect to the existing municipal parking lot located on Church Street. Drawings and photos are attached for your information.

To create this new parking lot, the building at **275 Queen Street South** will be demolished.

There are no further heritage concerns.

Elaine Eigl
Heritage Coordinator
Culture Division
905-615-3200, Ext. 5070
Elaine.Eigl@Mississauga.ca

ATTACHMENTS: Appendix 1: Site plan and photos



KEY MAP

SITE STATISTICS

275 - 277 - 279 QUEEN STREET

14 PARKING STALLS
700 sq. m. ASPHALT AREA

SITE PLAN
PROPOSED PARKING LOT
STREETSVILLE



MARCH 20 2013



277

Notice board with various documents and flyers.

SORRY WE'RE CLOSED
BUSINESS HOURS

Day	Hours
Monday	10:00 - 18:00
Tuesday	10:00 - 18:00
Wednesday	10:00 - 18:00
Thursday	10:00 - 18:00
Friday	10:00 - 18:00
Saturday	10:00 - 18:00
Sunday	10:00 - 18:00



145







OCT 22 2013

MemorandumCommunity Services Department
Culture Division

TO: Chair and Members of the Heritage Advisory Committee

FROM: Elaine Eigl, Heritage Coordinator

DATE: October 1, 2013

FILE: 296 Queen Street South

SUBJECT: **Proposed exterior restoration and replication work (Ward 11)**

The subject property is listed on the City's Heritage Register as it forms part of the Mississauga Road Scenic Route Cultural Landscape, and because of its architectural merit.

This date of construction of this structure has been placed somewhere between the mid-19th century to as late as the 1890s. Earlier changes and additions to the building have resulted in the original character of the building being greatly distorted. These changes have included, but are not limited to, the addition of large windows, siding and angel stone, all of which the current owner proposes to remedy.

Specifically, the owners propose to replace the existing siding; to replace and/or move windows; to replace doors; and to demolish and reconstruct an existing porch. In order to determine if the owner's proposal would be considered a substantial alteration, and as such, if a Heritage Property Permit Application and a Heritage Impact Statement would be required, Heritage Planning staff reviewed the documentation provided by the architect. Drawings and photos are attached for reference purposes. Staff determined that as the proposed alterations are in keeping with the mid to late-19th century architecture, neither a permit nor an HIS is required.

The owner's architect has worked with Heritage Planning Staff, Urban Design in Planning & Building; has referenced the city's *Historic Streetsville Design Guidelines*; and has undertaken research at a variety of local historical organizations in order to arrive at the proposed, sympathetic, alterations. As such, Heritage Planning staff has no concerns with the proposed changes.

Elaine Eigl
Heritage Coordinator
Culture Division
905-615-3200, Ext. 5070
Elaine.Eigl@Mississauga.ca

ATTACHMENTS: Appendix 1: Drawings and photos



Heritage Advisory Committee

OCT 22 2013

HERITAGE TORONTO AWARDS & WILLIAM KILBOURN MEMORIAL LECTURE

BUILDING HERITAGE WITH INNOVATION

**TUESDAY
OCTOBER 15TH
2013** @ KOERNER HALL IN THE
ROYAL CONSERVATORY
OF MUSIC

NOMINEES' RECEPTION
AT 6PM

PROGRAM AT 7.30PM

WITH GUEST SPEAKER,
GAIL DEXTER LORD,
OF LORD CULTURAL RESOURCES

HOSTED BY MARY ITO,
FRESH AIR, CBC RADIO

The Heritage Toronto Awards showcase
excellence in heritage revitalization,
interpretation and promotion.

Follow us on Twitter @HeritageToronto
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Tickets starting at \$15.00! | For more information visit: www.HeritageToronto.org

TO PURCHASE TICKETS CONTACT THE ROYAL CONSERVATORY OF MUSIC BOX OFFICE

By Phone: 416.408.0208 | Online at: performance.rcmusic.ca (click view all events)

Or in person at the box office open Monday to Friday: 10:00 AM to 6:00 PM & Saturday: 12:00 PM to 6:00 PM

PRESENTED BY

WOODCLIFFE
LANDMARK PROPERTIES

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CARPENTERS' UNION



LOCAL 598

MEDIA SPONSOR

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The 39th Annual Heritage Toronto Awards & 16th William Kilbourn Memorial Lecture

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By Phone: 416.408.0208

Online at: performance.rcmusic.ca *(Click view all events)*

Or in person at the box office

Monday to Friday: 10:00 AM to 6:00 PM

Saturday: 12:00 PM to 6:00 PM

TICKET PRICES / INFORMATION

Nominees' Reception

Reception: 6:00 PM – Program: 7:30 PM – Tickets: \$110.00

Ticket includes:

- Admission to the Nominees' Reception at 6:00 PM. Complimentary bar service and hors d'oeuvres catered by Daniel et Daniel
- Admission to the 7:30 PM Heritage Toronto Awards and William Kilbourn Memorial Lecture
- Informal reception following the program and a complimentary wine tasting with Casa-Dea Estates Winery
- \$50.00 tax receipt (all proceeds support Heritage Toronto)

A limited number of tickets available for purchase

General Program

Program: 7:30 PM – Tickets: General Admission\$30.00

Heritage Toronto Member Admission .. \$15.00

Student Admission \$15.00

Group Discount (for 5 or more)\$25.00

Ticket includes:

- Admission to the Heritage Toronto Awards and William Kilbourn Memorial Lecture beginning at 7:30 PM
- Informal reception following the program with complimentary hors d'oeuvres by Daniel et Daniel and a complimentary wine tasting with Casa-Dea Estates Winery

Follow us on Twitter @HeritageToronto and like us on
Facebook at www.facebook.com/heritagetoronto for updates on the
Heritage Toronto Awards and all the other programs we offer.

Heritage Toronto

Historic St. Lawrence Hall, 157 King Street East, 3rd Floor, Toronto ON M5C 1G9
Telephone: 416.338.1338 • Email: info@heritagetoronto.org • www.heritagetoronto.org

Charitable Registration No.: 11926 6609 RR 0001

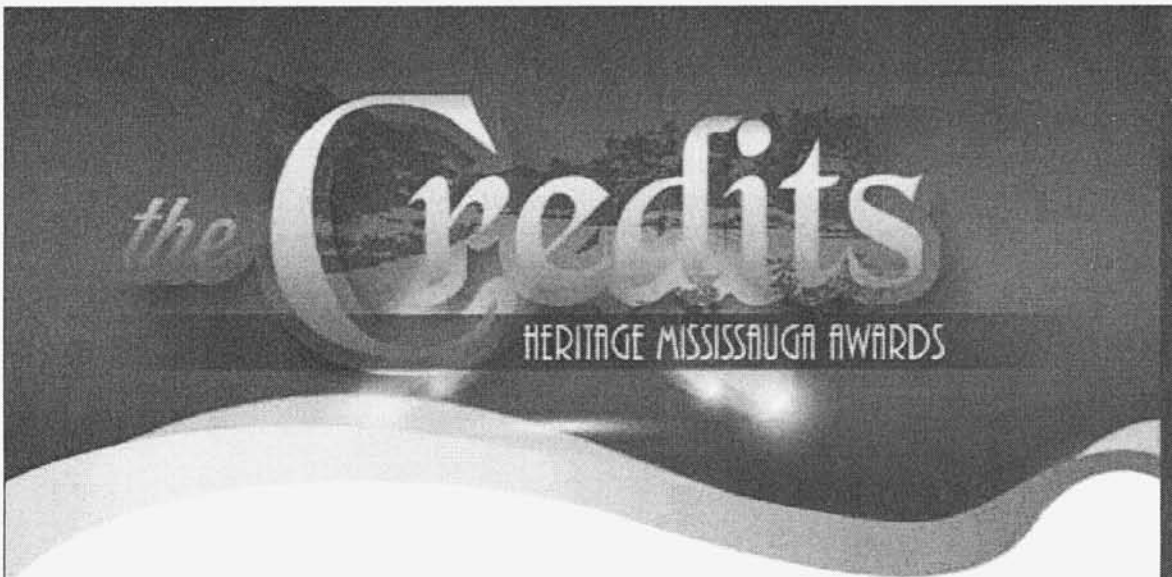


OCT 22 2013

Julie Lavertu

From: jgaspar@heritagemississauga.org on behalf of Heritage Mississauga
<jgaspar@heritagemississauga.org>
Sent: 2013/10/03 5:16 PM
To: Julie Lavertu
Subject: [MARKETING] Announcing The Credits 2013 Nominations

And the nominees are.



Heritage Mississauga is proud to announce the nominations for ***The Credits, Heritage Awards***

On **Thursday November 21st, 2013** at the **Mississauga Grand Banquet and Convention Centre**, we will honour and celebrate heritage contributions in our community.

Congratulations to all the nominees!

Lifetime Achievement Award Nominees

Bernice Cunningham, Jack Jelilian, Mike Toth

Business Leader Award Nominees

**Gears (Ira Kargel and Kevin Wallace), Nance MacDonald,
Mississauga Chinese Centre, Dr. Victoria Santiago**

Community Heritage Award Nominees

Tahir Ali, Canadian Federation of University Women, Culture Philippines of Ontario, Margaret & Gord Hughes, Linda Joanne Krywko, Mississauga

**Chinese Business Association, Rt. Rev. Dr. Roman Pankin, People of
Motherland Cultural Association, Jack Prazeres, Streetsville Ceilidh**

Heritage Champion Award Nominees

MP Mississauga South Brad Butt, City of Mississauga Councillor Pat Mullin

Heritage Youth Award Nominees

**Elizabeth Amos, Jackson Amos, Justine del Rosario and Yvon Laforteza,
Robert Di Pede, Claire Powell, Marek Ruta, Din Selmanovic, Enna Selmanovic**

Natural Heritage Award Nominees

EcoSource, Louise Peacock, Rattray Marsh Restoration Team

Winners will be revealed at the **Awards Gala, Thursday November 21st, Mississauga Grand Banquet and Convention Centre, 35 Brunel Rd, Mississauga**. A photo and biography of each nominee can be found on the Heritage Mississauga website: www.heritagemississauga.com.

During the evening the Cultural Heritage Property Awards will also be presented along with the Members' Choice Award and we will honour a special volunteer with the Betty Ross Volunteer award. **What an evening!** Doors open at 6:00pm, Dinner at 7:00pm with Ceremony to follow.

Tickets are \$65 with a special early bird table price of \$500 with seating for 10 guests (early bird deadline Friday October 18th 5:00pm). Contact Heritage Mississauga today, book your tickets and join us as we celebrate our community heritage at this inaugural event. Ticket forms are available at the Heritage Mississauga website www.heritagemississauga.com, through the office at 1921 Dundas St. W, 905- 828-8411 ext. "0", or by e-mail at: info@heritagemississauga.org.

Join in the celebration, as the sound of the Aboriginal drum begins the festivities and throughout the evening Mississauga youth will entertain.

Tickets are going fast for this inaugural event.

Support your Heritage Resource Centre and join us as we honour and celebrate these deserving nominees.

Heritage Mississauga is a not-for-profit charity dedicated to researching, recording and communicating Mississauga's heritage. They are Mississauga's heritage source and for over 50 years have worked tirelessly to ensure the heritage of our city is preserved for future generations. Funds raised at this event will support the Heritage Resource Centre that the organization operates at The Robinson-Adamson House, The Grange (charitable registration no:11924 5660 RR0001).

For more information contact: Jayme Gaspar, Executive Director
jgaspar@heritagemississauga.org, 905-828-8411 ext. 31.

With thanks to our Sponsors:








Dr. Victoria Santiago Kimberly Phinney The Print Gurus

Forward this email



Try it FREE today.

This email was sent to julie.lavertu@mississauga.ca by jgaspar@heritagemississauga.org |
[Update Profile/Email Address](#) | Instant removal with [SafeUnsubscribe™](#) | [Privacy Policy](#).
 Heritage Mississauga | 1921 Dundas St. W. | Mississauga | Ontario | L5K 1R2 | Canada

STATUS OF OUTSTANDING ISSUES FROM THE HERITAGE ADVISORY COMMITTEE
 Prepared by Julie Lavertu, Legislative Coordinator, for the October 22, 2013 Heritage Advisory Committee Agenda

Property Name or Issue	Property Address	HAC Recommendation (if passed)	Latest Status
Outdoor Rifle Range	1300 Lakeshore Road East	N/A	Heritage staff is currently working with Region of Peel staff to designate this property. UPDATE: Please refer to Item 3 on the Heritage Advisory Committee's October 22, 2013 agenda for the Corporate Report that is proposing to designate this property.
Heritage Advisory Committee's Budget	N/A	HAC-0023-2011	That the Legislative Coordinator for the Heritage Advisory Committee, in consultation with the Director of Arts and Culture, prepare a Memorandum for the Heritage Advisory Committee's May 24, 2011 meeting regarding the Heritage Advisory Committee's draft 2011 budget and include information about budget allocations for the City of Mississauga's other Advisory Committees of Council and the Heritage Advisory Committee's budget and spending history. <i>Information regarding the Committee's budget and spending history will be provided to the Committee after the completion of the City Council Committee Structure Review in 2013.</i>
Heritage Tree Subcommittee	N/A	HAC-0069-2013	That the correspondence dated July 9, 2013 from Sean Stuckless, Ward 6 resident, entitled "Participation Request, Heritage Tree Subcommittee" be received and deferred until the Heritage Advisory Committee considers a Corporate Report in the fall of 2013 regarding the Heritage Tree Subcommittee's mandate and future, in accordance with By-law 0139-2013, A By-law to establish the Procedures of Council and its Committees and to Repeal By-law 421-03 and, specifically, Section 89 of the By-law entitled "Delegation to Staff during Summer and Election Recess."



Meadowvale Village Heritage Conservation District Review Committee

Heritage Advisory Committee

OCT 22 2013

September 20, 2013.

Heritage Advisory Committee
City of Mississauga
300 City Centre Dr.
Mississauga, ON L5M 3C1

Attention: George Carlson, Chairman

Dear Councillor Carlson:

Re: 1125 Willow Lane, Meadowvale Village – Gamisz-McMenemy Residence

The Meadowvale Village Heritage Conservation District Review Committee has reviewed the revised plans dated September 16, 2013 for restoration and an addition to the residence at the above address.

This Committee recommends approval in principle of the plans as submitted. Final approval will be determined after review of the site plan working drawings, which should indicate all exterior materials and window sizes.

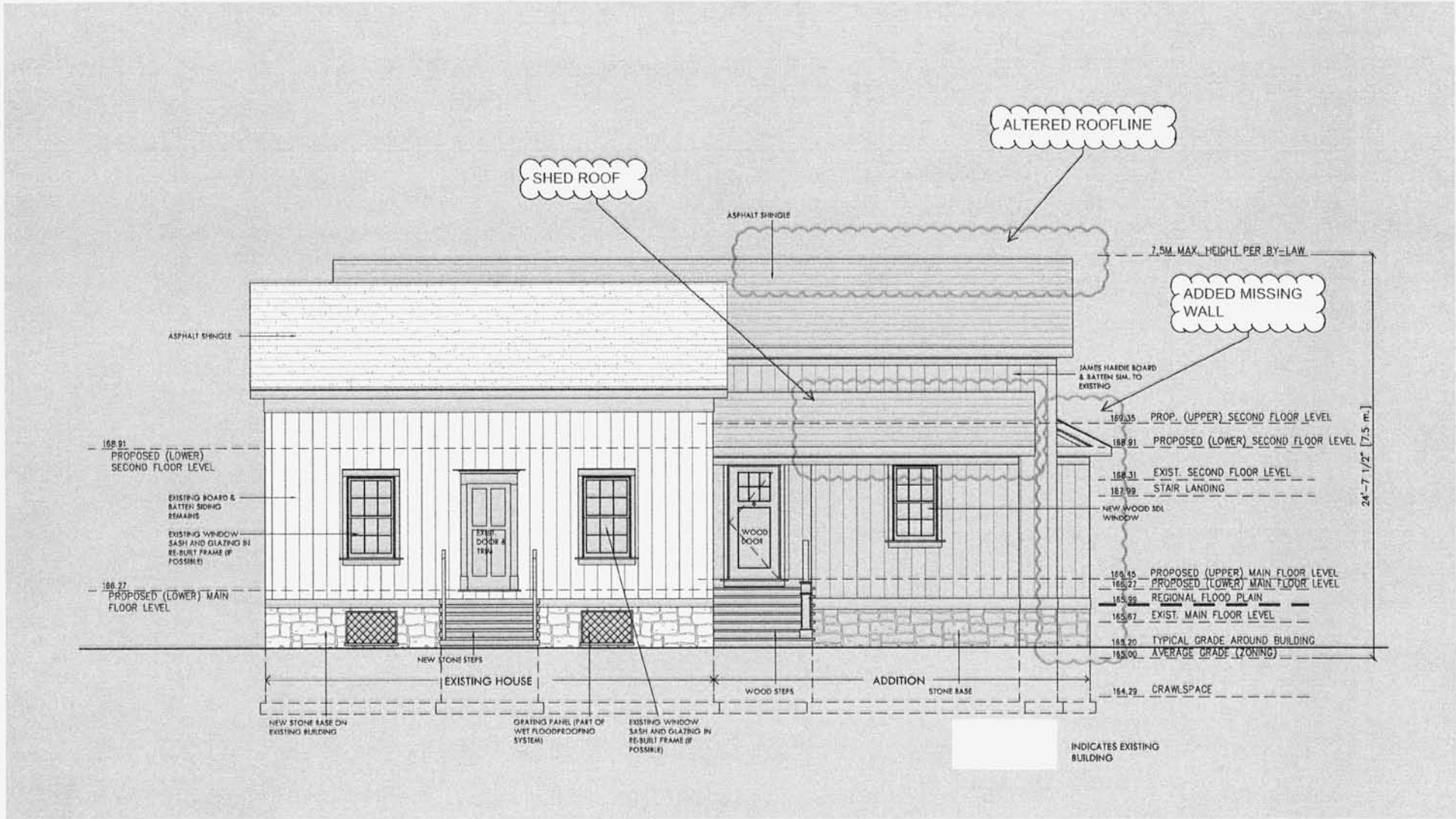
Should further information or comment be required, please do not hesitate to contact the writer.

Yours truly,

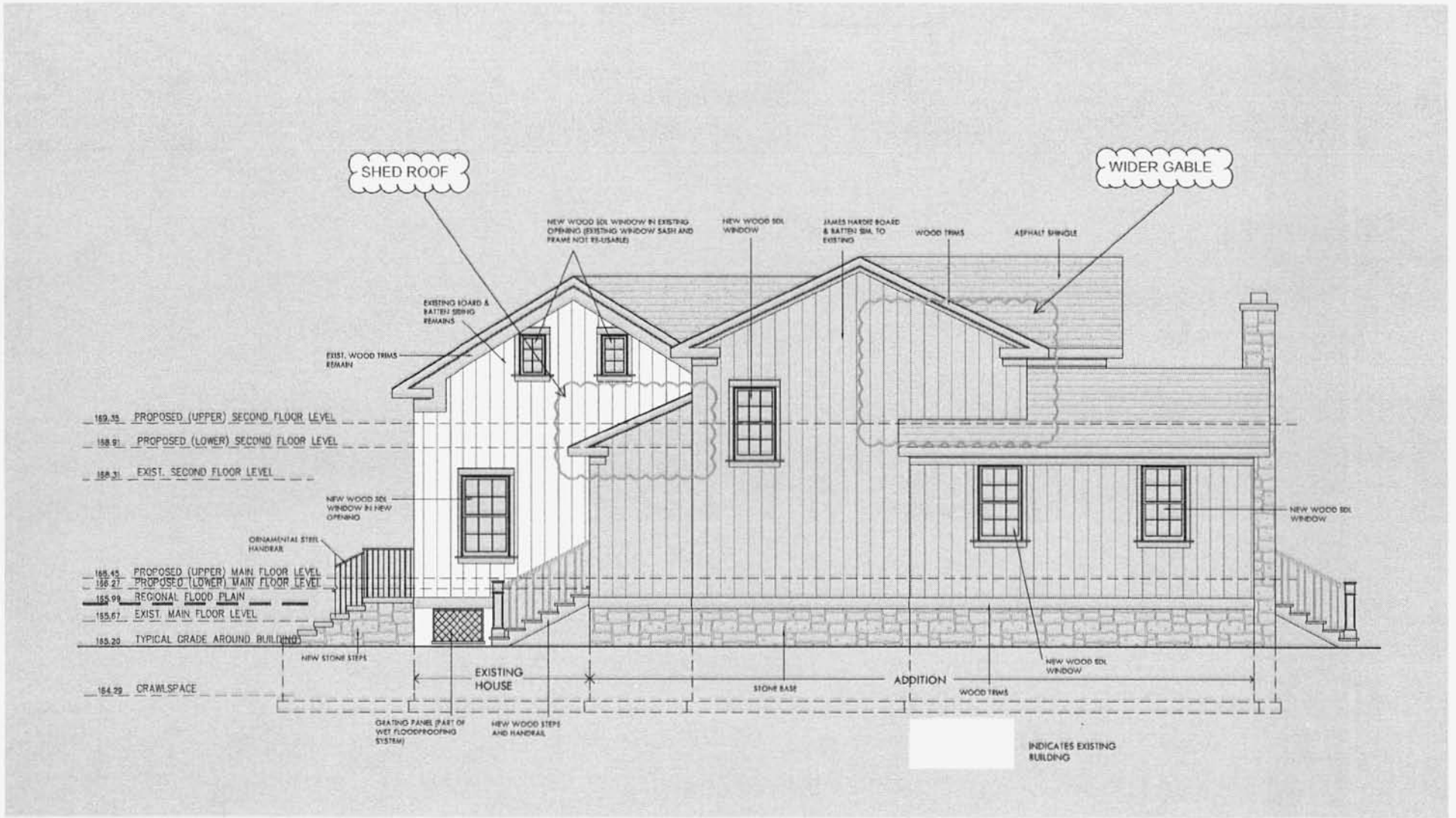
MEADOWVALE VILLAGE H.C.D.R.C.

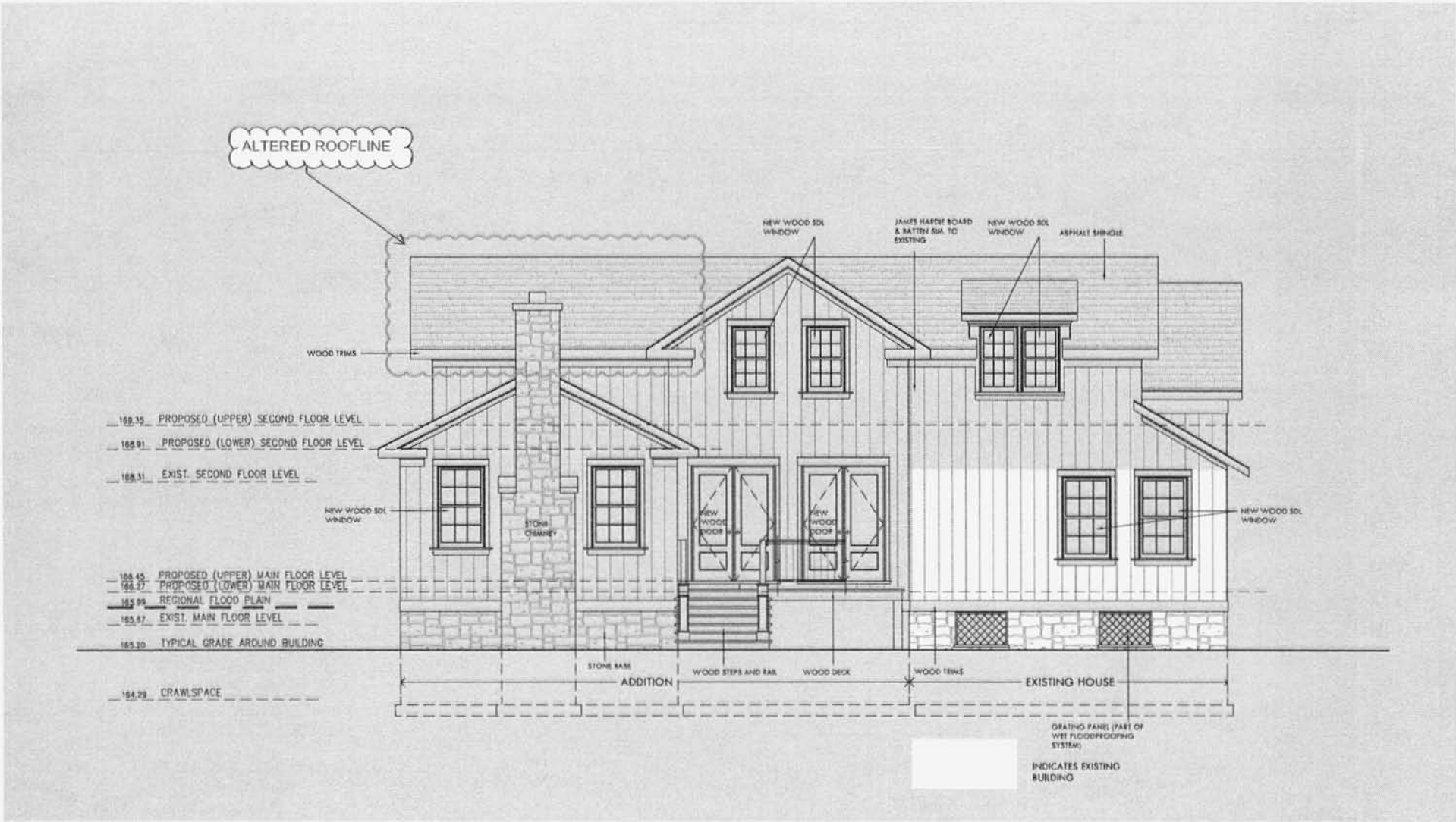


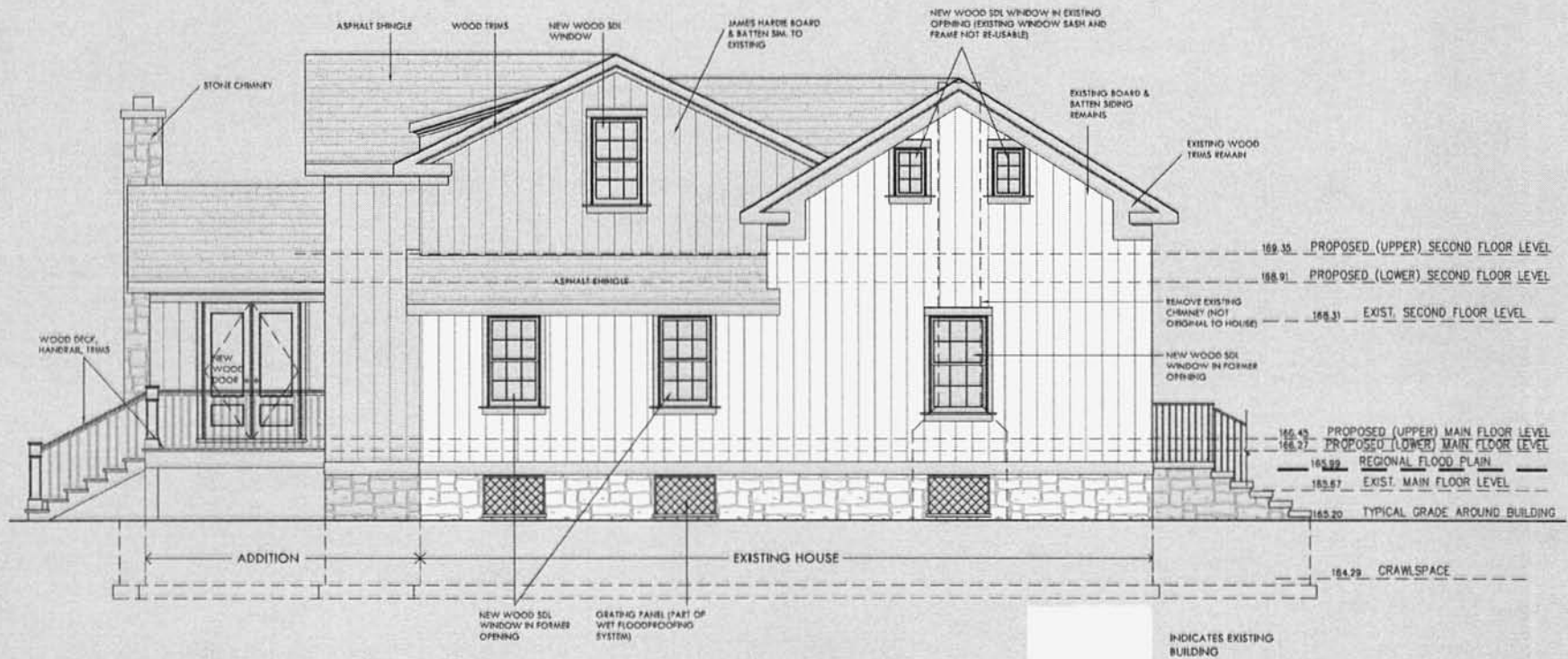
Jas. P. Holmes, Chairman
c.c. Rick Mateljan, architect

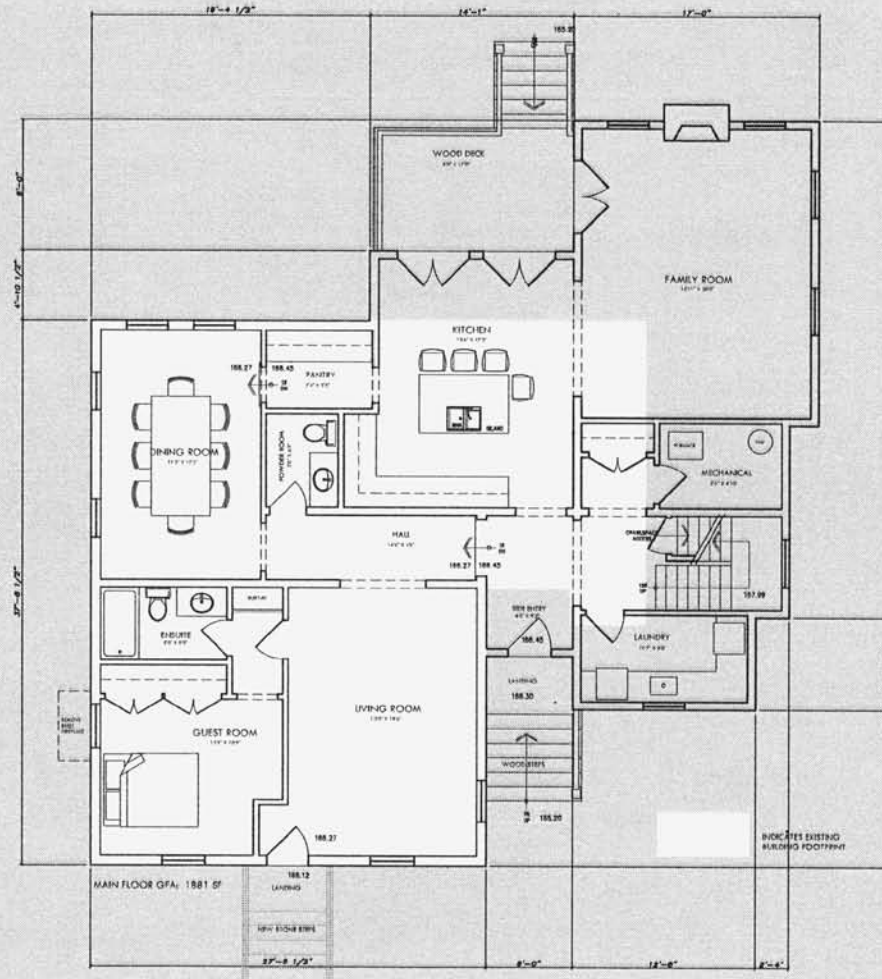


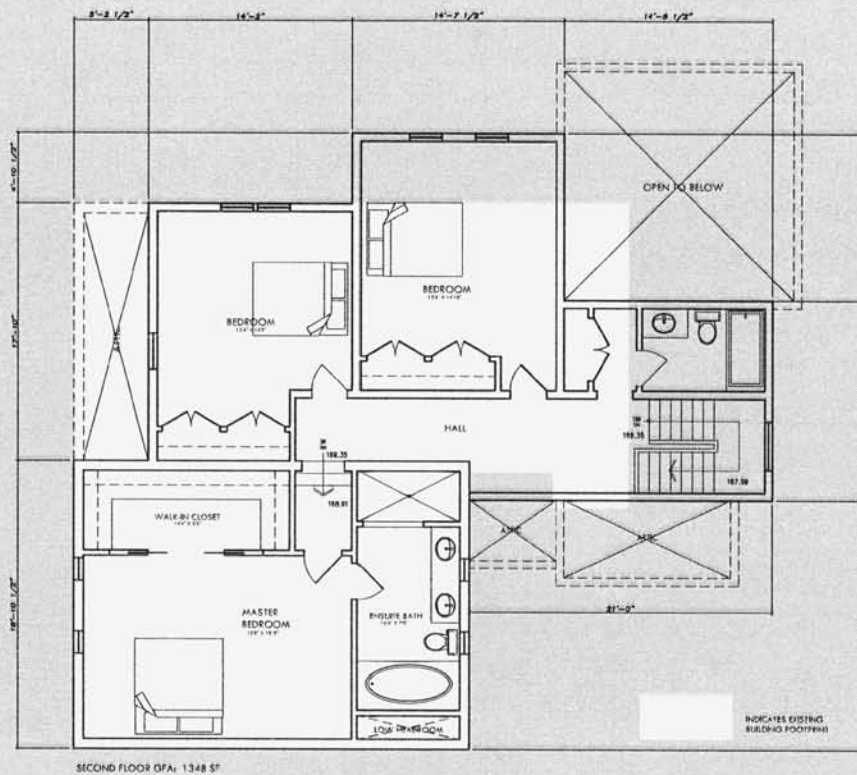
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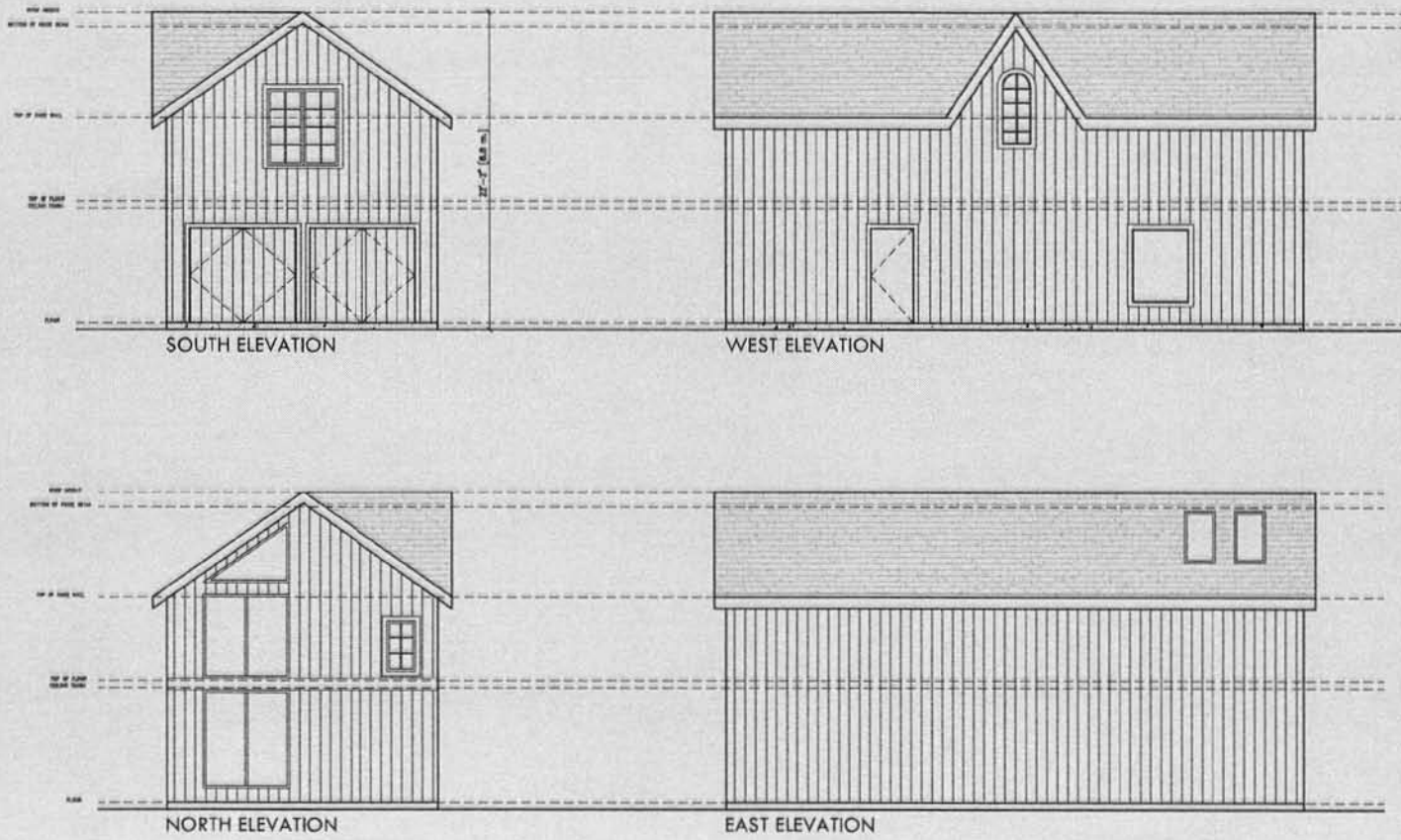




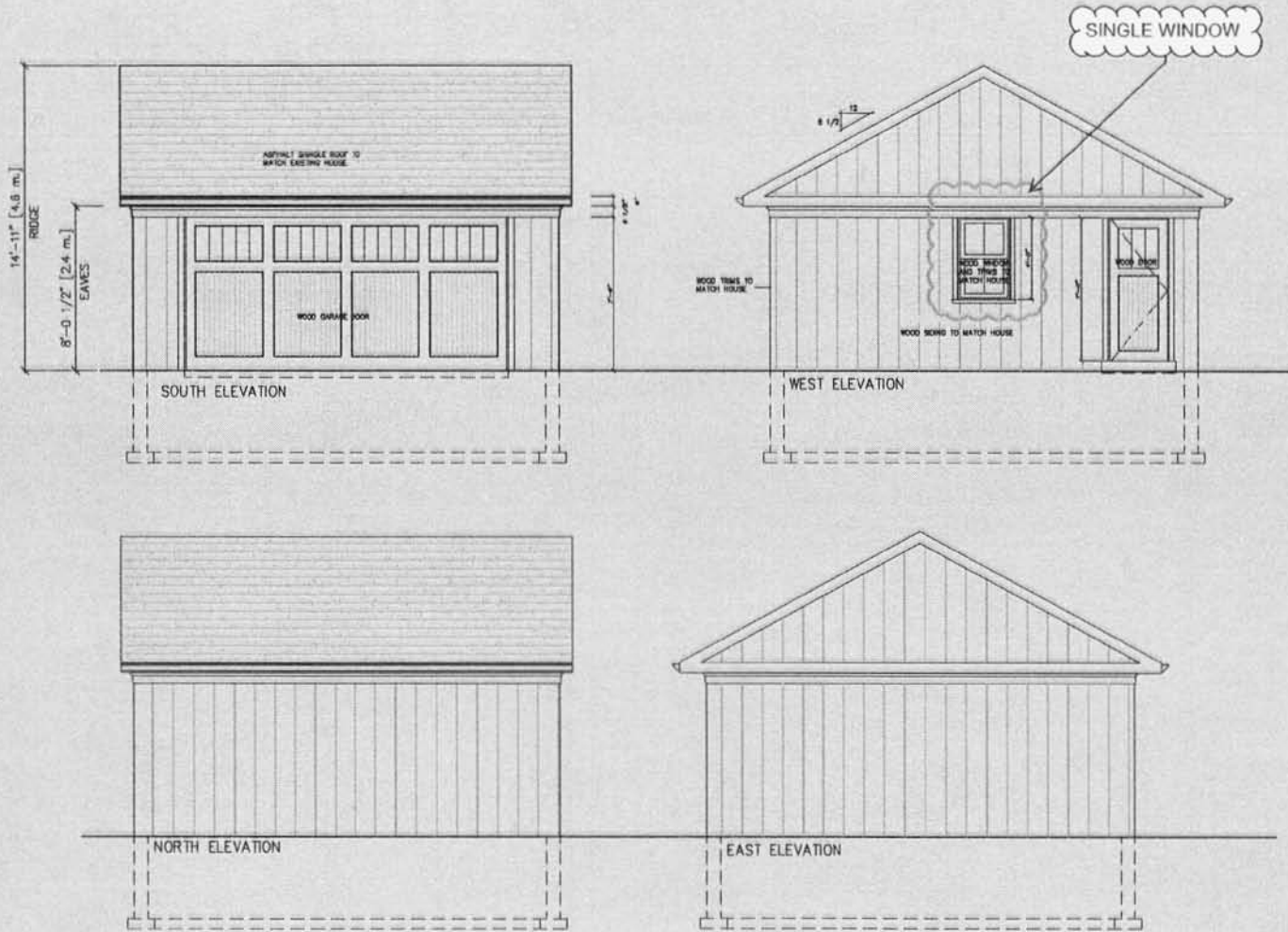








NO CHANGES PROPOSED





SM
DA Strickland
 Mateljan
 Design + Architecture

1125 WILLOW LANE
 PROPOSED STREETScape
 SCALE: +/- 1:250 SEPT 16, 2013



DUNSIRE
DEVELOPMENTS

203A - 465 PHILLIP STREET
WATERLOO, ON
N2L 6C7

July 29, 2013

Legislative Services Division
City of Mississauga
300 City Center Drive 3rd Floor
Mississauga Ontario
LSB 3C1

COUNCIL AGENDA
Sept 18, 2013

Heritage Advisory Committee
OCT 22 2013

Attention: Crystal Greer, Director of Legislative Services and City Clerk

Re: Gooderham Farmhouse at 7235 Second Line West, Proposed Heritage Designation
Council Resolution 0107-2013
Office of the City Clerk File: CS.08.SEC

Good afternoon Ms. Greer:

We wish to **Formally Object** to the proposed heritage designation of the Gooderham Farmhouse at 7235 Second Line West (the "Farmhouse") under the Ontario Heritage Act (the "Act").

At this time we endeavor to work with the City; however, as per our meeting with the City of Mississauga Heritage Planning Department on May 22nd we established a mutual agreement to remove the restrictive covenant on our lands fronting Pine Valley Circle, with our agreement to proceed with a Master Site Plan and allotment for the registration of the existing home. Our Master Site Plan application has been submitted but unfortunately the restrictive covenant has not been removed as per the City's agreement.

We object to the proposed heritage designation of the Property on the following grounds:

1. The Farmhouse does not meet prescribed criteria for heritage designation under the Act, including under Ontario Regulation 9/06;
2. The proposed designation is inconsistent with Provincial policies, including those set out in Provincial Policy Statement, 2005;
3. The proposed designation is inconsistent with the City's Official Plan and Zoning By-law;
4. The proposed designation does not represent good land use or heritage planning;
5. Further and/or in the alternative:
 - a. The proposed designation is premature and any designation should only proceed as part of the Master Site Plan Review :

I-8(a)



DUNSIRE
DEVELOPMENTS

203A – 465 PHILLIP STREET
WATERLOO, ON
N2L 6C7

- b. the proposed Statement of Cultural Heritage Value or Interest is overbroad, exaggerated, and inconsistent with the Act, including, without limitation, its statements with respect to the significance of certain design elements, construction methodologies, contribution to “understanding of nineteenth century culture”, and contextual value;
- c. The proposed Description of Heritage Attributes is overbroad, exaggerated, and inconsistent with prescribed criteria under the Act, including, without limitation, its description of “the elevated placement of the house”, the “entrance drive”, the “house’s modesty”, the “generous open space around the house”, the “setback of the house from ... Second Line West” ; and
- d. The conditions included in the Notice of intention to Designate are inappropriate, excessive, and outside of Council’s jurisdiction in carrying out a designation under the Act.

6. Such further and other grounds as we may advise and the Board permit.

Would you please confirm once our objection has been referred to the Conservation Review Board.

Sincerely,

Justin A. Malfara
Land Development Coordinator

C: 647-385-3760
E: justin.malfara@dunsire.com
A: 203A – 465 Phillip St, Waterloo, ON N2L 2C7
W: www.dunsire.com

<input checked="" type="checkbox"/> Receive	<input type="checkbox"/> Resolution
<input type="checkbox"/> Direction Required	<input type="checkbox"/> Resolution / By-Law
<input type="checkbox"/> Community Services <input type="checkbox"/> Corporate Services <input checked="" type="checkbox"/> <u>Heritage Advisory</u> <input type="checkbox"/> Planning & Building Committee <input type="checkbox"/> Transportation & Works	For <input checked="" type="checkbox"/> Appropriate Action <input type="checkbox"/> Information <input type="checkbox"/> Reply <input type="checkbox"/> Report

OCT 22 2013

Ministry of Citizenship
and Immigration

Minister

6th Floor
400 University Avenue
Toronto ON M7A 2R9
Tel.: (416) 325-6200
Fax: (416) 325-6195

Ministère des Affaires civiques
et de l'Immigration

Ministre

6^e étage
400, avenue University
Toronto ON M7A 2R9
Tél. : (416) 325-6200
Télééc. : (416) 325-6195



October 2013

Dear friends,

It is my pleasure to send out the call for nominations for the **June Callwood Outstanding Achievement Award for Voluntarism in Ontario**.

Volunteers play a significant role in leading and supporting services in their communities; they lay the foundation for a strong and dynamic province. This award recognizes exceptional leadership, innovation and creativity in voluntarism and community service. Recipients of this award can include individual volunteers, volunteer groups, businesses and other organizations which have made outstanding contributions to their communities and the province.

Do you know an individual or group that makes an outstanding contribution? Nomination forms and additional information are available on the Ministry of Citizenship and Immigration website at www.ontario.ca/honoursandawards or by phone at 416 314-7526, toll free 1 877 832-8622, TTY 416 327-2391. Deadline for nominations is **December 5 2013**.

I hope you will take this opportunity to ensure that volunteers receive the recognition they deserve.

Sincerely,

A handwritten signature in black ink, appearing to read 'Michael Coteau'.

Hon. Michael Coteau
Minister

OCT 22 2013



CITY OF MISSISSAUGA

NOTICE OF PUBLIC INFORMATION CENTRE # 2

Municipal Class Environmental Assessment Study for Ninth Line

THE STUDY:

The City of Mississauga has initiated a Class Environmental Assessment (Class EA) Study 'Schedule C' including Preliminary Design for the section of Ninth Line from Derry Road West to the limits south of Highway 401/407. In light of the current conditions and planned development, this study is intended to address pavement needs for Ninth Line, additional network capacity in the area, safety improvements, and to enhance access to the existing and future lands within the study area.

THE PROCESS:

The study is being undertaken in accordance with the planning and design process for "Schedule C" projects as outlined in the Municipal Engineers Association's "Municipal Class Environmental Assessment" (October 2000, as amended in 2011), which is approved under the Ontario *Environmental Assessment Act*. The Class EA process includes public/external agency consultation, an evaluation of alternative solutions and alternative design concepts, an assessment of potential impacts associated with the proposed improvements, and the development of mitigation measures.

PUBLIC CONSULTATION:

Public consultation is an important component of a Class EA study. The project team can meet with the public and other stakeholders at key stages in the project to inform about project progress and to receive public and agency input. The first Public Information Centre (PIC) was held on May 28, 2013 to present the draft results of the assessment of alternative solutions for Ninth Line. PIC #2 has been scheduled to present the preliminary preferred design. Presented in an open house format, interested members of the public and others will have an opportunity to review project information, ask questions of staff and share their comments and concerns associated with this study.

The PIC will be held as follows:

Date: Thursday October 17, 2013
Time: 5 pm – 8 pm
Location: The Garry W. Morden Centre – Mississauga Fire & Emergency Services Classroom #3
 7535 Ninth Line, Mississauga

If you cannot attend and would like to provide comments or wish to be added to the study mailing list, please provide your comments and contact information by October 31, 2013 to either of the listed project team members below:

Project Manager
 Farhad Shahla, M.Eng., P.Eng.
 City of Mississauga
 201 City Centre Drive, Suite 800
 Mississauga, Ontario, L5B 2T4
 Tel: 905-615-3200 ext. 3377
 Fax: 905-615-3173
 E-mail : farhad.shahla@mississauga.ca

Consultant Project Manager
 Laurie M. Bruce, MCIP RPP
 Arup Canada Inc.
 2 Bloor Street East Suite 2400
 Toronto, Ontario, M4W 1A8
 Tel: 647-260-3466
 Fax: 416-515-1635
 E-mail: laurie.bruce@arup.com



Information will be collected in accordance with the *Freedom of Information and Protection of Privacy Act*. With the exception of personal information, all comments will become part of the public record.

OCT 22 2013

Candice Chilton

Oct. 9, 2013

Dear Andrew and members of HAC,

As per our discussions regarding 863 Sangster Ave in Lorne Park Estates, we are willing to make some changes to the house with the replacement of the muntin bars on all the windows on the home.

We will replace the fish scales on the front façade of the home on the second story as well. We are commencing these changes as early as this coming weekend with the windows happening first.

WE can provide a Letter of Credit to the City to assure that we are making said repairs.

Thank you for your help in this matter,



Candice Chilton